

# PLANNING & ZONING COMMISSION

## MEETING AGENDA

APRIL 14, 2025, 6:00 PM



PLANNING & ZONING COMMISSION REGULAR MEETING

HISTORIC CHURCH BUILDING - 403 N 7TH STREET, SANGER, TEXAS

### CALL THE REGULAR MEETING TO ORDER AND ESTABLISH A QUORUM

### INVOCATION AND PLEDGE

### CITIZENS COMMENTS

*This is an opportunity for citizens to address the Commission on any matter. Comments related to public hearings will be heard when the specific hearing begins. Citizens are allowed 3 minutes to speak. Each speaker must complete the Speaker's Form and include the topic(s) to be presented. Citizens who wish to address the Commission with regard to matters on the agenda will be received at the time the item is considered. The Commission is not allowed to converse, deliberate or take action on any matter presented during citizen input.*

### CONSENT AGENDA

*All items on the Consent Agenda will be acted upon by one vote without being discussed separately unless requested by a Commissioner to remove the item(s) for additional discussion. Any items removed from the Consent Agenda will be taken up for individual consideration.*

1. Consideration and possible action of the minutes from March 10, 2025 meeting.

### PUBLIC HEARING ITEMS

### ACTION ITEMS

2. Consideration and possible action on a Final Plat of Blue Star Industrial Second Addition, being approximately 14.86 acres of land described as A0725A S.F. LYNCH, TR 14 and 14A(PT), within the City of Sanger, generally located along N Stemmons Frwy and approximately 774 feet north of the intersection of View Rd loop.
3. Consideration and possible action on a Preliminary Plat of Sanger Daycare Addition, being approximately 5.070 acres of land described as MARY H SHIRLEY BLK 14(S PT), 15, and A1241A TIERWESTER, TR 276, generally located on the east side of 2<sup>nd</sup> Street approximately 142 feet north of Jackilu Street.

### FUTURE AGENDA ITEMS

*The purpose of this item is to allow the Chairman and Commissioners to bring forward items they wish to discuss at a future meeting, A Commissioner may inquire about a subject for which notice has not been given. A statement of specific factual information or the recitation of existing policy may be given. Any deliberation shall be limited to a proposal to place the subject on an agenda for a subsequent meeting. Items may be placed on a future meeting agenda with a consensus of the Commission or at the call of the Chairman.*

## **INFORMATIONAL ITEMS**

### **ADJOURN**

**NOTE:** The Commission reserves the right to adjourn into Executive Session as authorized by Texas Government Code, Section 551.001, et seq. (The Texas Open Meetings Act) on any item on its open meeting agenda in accordance with the Texas Open Meetings Act, including, without limitation Sections 551.071-551.087 of the Texas Open Meetings Act.

### **CERTIFICATION**

I certify that a copy of this meeting notice was posted on the bulletin board at City Hall that is readily accessible to the general public at all times and was posted on the City of Sanger website on April 9, 2024, at 5:00 PM.

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Shelley Warner, Secretary

The Historical Church is wheelchair accessible. Request for additional accommodations or sign interpretation or other special assistance for disabled attendees must be requested 48 hours prior to the meeting by contacting the City Secretary's Office at 940.458.7930.



## PLANNING & ZONING COMMISSION COMMUNICATION

**DATE:** April 14, 2025

**FROM:** Shelley Warner, Administrative Assistant

**AGENDA ITEM:** Consideration and possible action of the minutes from March 10, 2025 meeting.

**SUMMARY:**  
N/A

**FISCAL INFORMATION:**

Budgeted: N/A

Amount: N/A

GL Account: N/A

**RECOMMENDED MOTION OR ACTION:**  
N/A

**ATTACHMENTS:**

Minutes from March 10, 2025



## PLANNING & ZONING COMMISSION COMMUNICATION

**DATE:** April 14, 2025

**FROM:** Ramie Hammonds, Development Services Director

**AGENDA ITEM:** Consideration and possible action on a Final Plat of Blue Star Industrial Second Addition, being approximately 14.86 acres of land described as A0725A S.F. LYNCH, TR 14 and 14A(PT), within the City of Sanger, generally located along N Stemmons Frwy and approximately 774 feet north of the intersection of View Rd loop.

### **SUMMARY:**

- This plat is part of the larger Blue Star Development.
- The final plat will dedicate the easements needed to develop the site.
- The lot will be utilized for a proposed Light Industrial Development and will consist of an industrial shell warehouse of approximately 307,400 square feet.
- The site has frontage along N Stemmons Frwy.
- This will be the third warehouse in this development.
- The site will be served by Sanger Electric, Water, and Wastewater.

### **FISCAL INFORMATION:**

Budgeted: N/A

Amount: N/A

GL Account: N/A

### **RECOMMENDED MOTION OR ACTION:**

Staff recommends APPROVAL with the condition all comments are met before City Council approval.

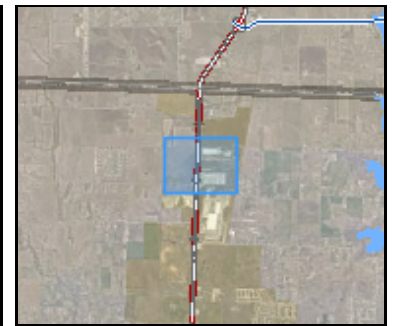
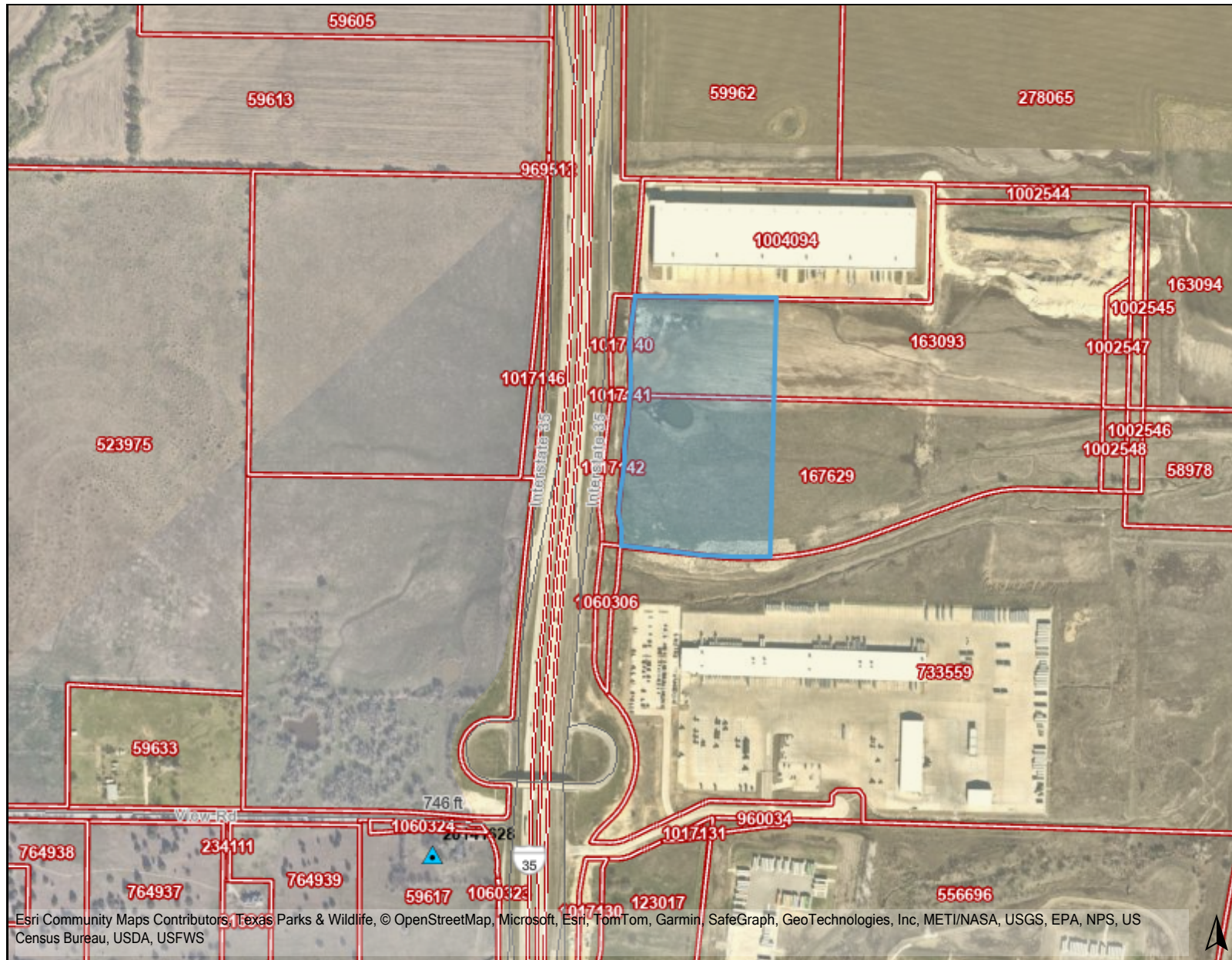
### **ATTACHMENTS:**

Location Map  
Final Plat  
Application  
Letter of Intent  
Planning Comments  
Engineering Comments



# Denton County Landmark Map

Item 2.



## Legend

- 911 Addresses
- Development Permits
- Parcels
- Floodplain**
  - Cross Section Location
  - Base Flood Elevation
  - FEMA Floodway
  - Flood Grid
  - FEMA 100yr Flood Zone A
  - FEMA 100yr Flood Zone AE
  - FEMA 500yr Flood Zone
  - Levee Protected

## Notes

Esri Community Maps Contributors, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

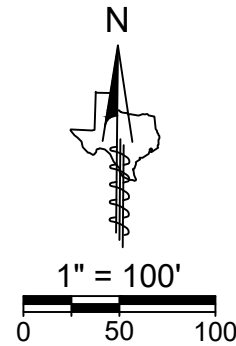


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<https://gis.dentoncounty.gov>  
4/9/2025 7:23:11 PM

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Denton County does not guarantee the correctness or accuracy of any features on this product and assumes no responsibility in connection therewith. This product may be revised at any time with notification to any user.





GENERAL NOTES

- The purpose of this plat is to create one lot of record and dedicate easements.
- This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated April 18, 2011 and is located in Community Number 480786 as shown on Map Number 48121C0070G. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AITerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AITerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).
- The elevations shown on this plat are based on GPS observations utilizing the AITerra RTK Network. North American Vertical Datum of 1988, (Geoid 12A).
- Building setbacks will be 20' from all lot lines.
- Water and Sanitary Sewer are provided by the City of Sanger, PO Box 1729, Sanger, TX 76266, 940-458-2571.
- Electric Service is provided by Sanger Electric Utilities, 202 Railroad Ave., Sanger, TX 76266, 940-458-2064; and Coserv Electric, 7701 S Stemmons Freeway, Corinth, TX 76210, 940-321-7800.
- Telephone service is provided by Century Link, 902-B W Central Texas Expwy, Ste 201, Killeen, TX 76541, 866-916-9905.
- All lots comply with the minimum size requirements of the zoning district.
- This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
- All common areas, drainage easements, and detention facilities, if any, will be owned and maintained by the HOA/POA. Any common area with in the City's right-of-way will require a facilities agreement to be reviewed and approved by the City.
- This plat does not alter or remove existing deed restrictions, if any, on this property.
- Minimum finished floor elevations are at least 2 feet above the 100 year floodplain, if any.
- This property is zoned Industrial-1 (I-1).
- Easements details are shown on page 2.

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §  
COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Sanger, Denton County, Texas.

**PRELIMINARY**  
this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. # 6402

\_\_\_\_\_

Date

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public in and for the State of Texas

Project	2106.072-10	 <b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	03/06/2025	
Drafter	BE/DJJ	

**SURVEYOR**  
Eagle Surveying, LLC  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
Half Associates  
1201 N. Bowser Road  
Richardson, TX 75081

**OWNER/DEVELOPER**  
Crossmar Texas Industrial 1 LLC  
1500 East Central Avenue, Suite 110  
Bentonville, AR 72712

LEGEND

- D.R.D.C.T. Deed Records, Denton County, Texas  
O.R.D.C.T. Official Records, Denton County, Texas  
CIRS Capped Iron Rod Set  
CIRF Capped Iron Rod Found  
IRF Iron Rod Found  
POB Point of Beginning  
W.E. Water Easement  
S.S.E. Sanitary Sewer Easement  
D.E. Drainage Easement  
F.A.D.U.E. Fire Lane, Access, Drainage and Utility Easement

APPROVED AND ACCEPTED

CITY OF SANGER  
DENTON COUNTY, TEXAS

Chairman, Planning & Zoning Commission  
Mayor, City of Sanger, Texas

\_\_\_\_\_

Date

Thomas Muir  
Mayor, City of Sanger, Texas

\_\_\_\_\_

Date

ATTEST:

Kelly Edwards, City Secretary  
City of Sanger, Tx

\_\_\_\_\_

Date

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, **CROSSMAR TEXAS INDUSTRIAL 1 LLC** is the owner of a 14.86 acre tract of land out of the Benjamin Fynch Survey, Abstract Number 725, situated in the City of Sanger, Denton County, Texas, and being a portion of a called 67.22 acre tract of land conveyed to Crossmar Texas Industrial 1 LLC by deed of record in Document Number 2022-85902 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 5/8 inch iron rod with pink plastic cap stamped "TXDOT SURVEY MARKER" found in the East right-of-way line of Interstate Highway 35 (right-of-way width varies), being in the North line of Lot 1, Block 1, of R-L Carriers Addition, a subdivision of record in Document Number 2018-284 of the Plat Records of Denton County, Texas, and being the Southwest corner of said 67.22 acre tract;

THENCE, leaving the North line of said Lot 1, along the East right-of-way line of Interstate Highway 35, being the common West line of said 67.22 acre tract, the following five (5) courses and distances:

- Along a non-tangent curve to the right, having a radius of 16,140.00 feet, a chord bearing of N03°56'37"E, a chord length of 42.91 feet, a delta angle of 00°09'08", an arc length of 42.91 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT SURVEY MARKER" found at the end of said curve;
- N07°28'27"W, a distance of 100.44 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT SURVEY MARKER" found at the beginning of a non-tangent curve to the right;
- Along said non-tangent curve to the right, having a radius of 16,160.00 feet, a chord bearing of N05°08'19"E, a chord length of 503.80 feet, a delta angle of 01°47'11", an arc length of 503.83 feet to a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found at the end of said curve;
- N01°49'32"W, a distance of 200.07 feet to a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found at the beginning of a non-tangent curve to the left;
- Along said non-tangent curve to the left, having a radius of 16,615.00 feet, a chord bearing of N04°40'04"E, a chord length of 221.40 feet, a delta angle of 00°45'49", an arc length of 221.40 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of Lot 2, Block A, of Blue Star Industrial Addition, a subdivision of record in Document Number 2022-197 of said Plat Records;

THENCE, S89°37'16"E, leaving the East right-of-way line of Interstate Highway 35, along the South line of said Lot 2, a distance of 568.63 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;

THENCE, S00°22'44"W, leaving the South line of said Lot 2, over and across said 67.22 acre tract, a distance of 1,101.03 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the North line of said Lot 2, being the common South line of said 67.22 acre tract, from which a 1/2 inch iron rod found bears, along a chord, N77°32'08"E, a distance of 429.66 feet;

THENCE, along the North line of said Lot 2 and the common South line of said 67.22 acre tract, the following two (2) courses and distances:

- Along a non-tangent curve to the right, having a radius of 1,465.00 feet, a chord bearing of N89°07'27"W, a chord length of 250.66 feet, a delta angle of 09°48'55", an arc length of 250.97 feet to a 1/2 inch iron rod found at the end of said curve;
- N84°13'36"W, a distance of 359.18 feet to the POINT OF BEGINNING, and containing an area of 14.86 acres (647,224 square feet) of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **CROSSMAR TEXAS INDUSTRIAL 1 LLC** does hereby adopt this plat, designating herein described property as **LOT 1, BLOCK A, BLUE STAR INDUSTRIAL SECOND ADDITION**, an addition to the City of Sanger, Denton County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the drainage and utility easements as shown. Said drainage and utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the drainage and utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said drainage and utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone.

OWNER: **CROSSMAR TEXAS INDUSTRIAL 1 LLC**

BY: \_\_\_\_\_

\_\_\_\_\_

Date

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

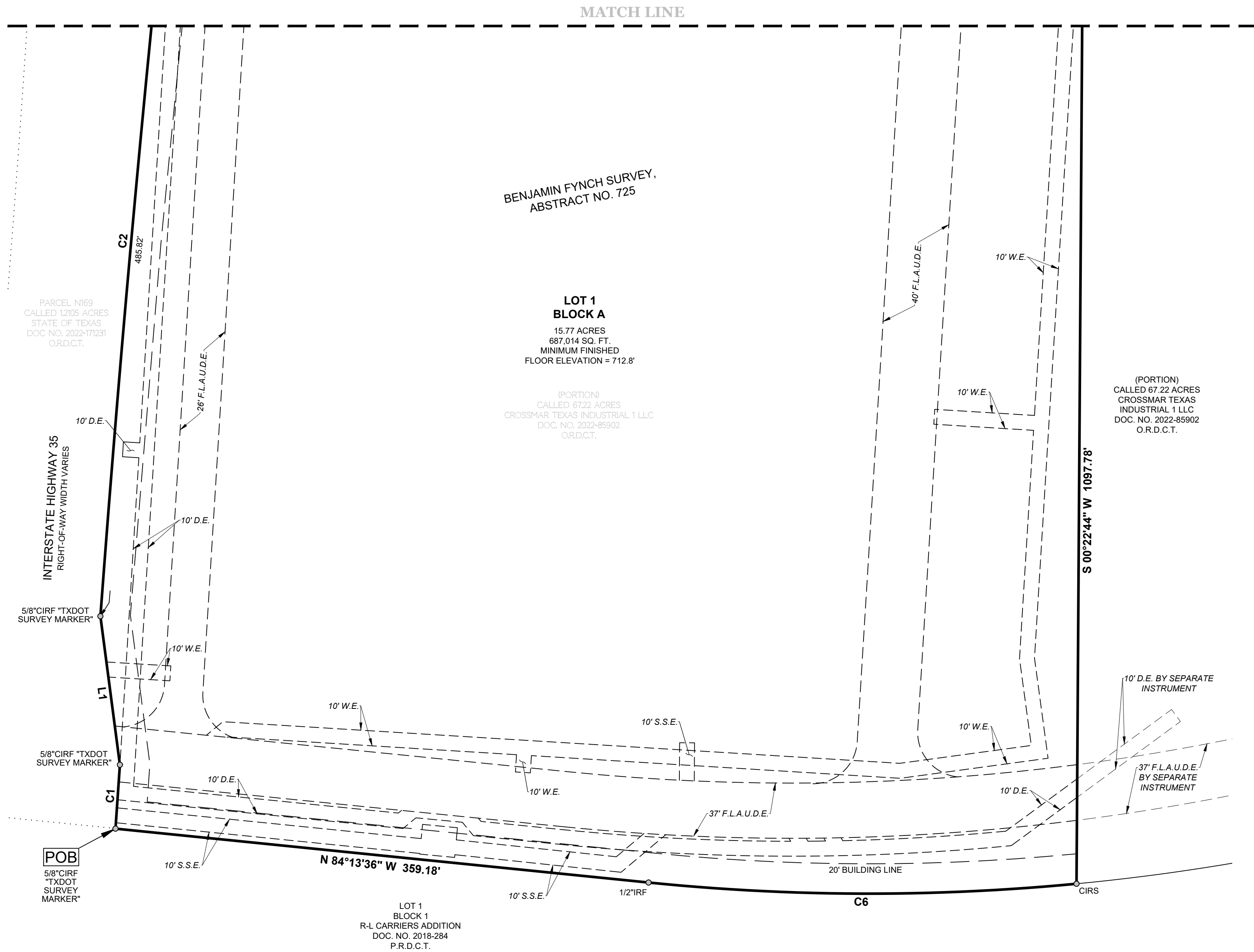
GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public in and for the State of Texas

FINAL PLAT  
**BLUE STAR INDUSTRIAL  
SECOND ADDITION**  
LOT 1, BLOCK A  
14.86 ACRES

BENJAMIN F. LYNCH SURVEY, ABSTRACT No. 725  
CITY OF SANGER, DENTON COUNTY, TEXAS





Project	2106.072-10	 <b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	03/06/2023	
Drafter	BE/DJJ	

**OWNER/DEVELOPER**  
Crossmar Texas Industrial 1 LLC  
1500 East Central Avenue, Suite 110  
Bentonville, AR 72712

BENJAMIN F. LYNCH SURVEY, ABSTRACT No. 725  
CITY OF SANGER, DENTON COUNTY, TEXAS



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

### SUBDIVISION APPLICATION

☐

Preliminary Plat  
Minor Plat

☒

Final Plat/Replat  
Amended Plat

☐

Vacating Plat  
Conveyance Plat

#### Applicant

#### Owner (if different from applicant)

Name: <b>Kaylie E. Flynn</b>	Name: <b>Chris Crossland</b>
Company: <b>Halff Associates</b>	Company: <b>CrossMar Texas Industrial 1 LLC</b>
Address: <b>1201 N Bowser Rd</b>	Address <b>2500 NE 11th St, Suite 300</b>
City, State, Zip: <b>Richardson, TX 75081</b>	City, State, Zip: <b>Bentonville, AR 72712</b>
Phone <b>214-937-3923</b>	Phone: <b>479-876-8377</b>
Fax: <b>214-739-0095</b>	Fax:
Email: <b>kflynn@halff.com</b>	Email: <b>cpcrossland@crossmarinvestments.com</b>

#### Submittal Checklist

	Pre-Application Conference (Date: / / )
<b>X</b>	Application Form (Signed by Owner and Applicant)
<b>X</b>	Letter of Intent
<b>X</b>	Non-Refundable Application Fee (Check Payable to City of Sanger)
<b>X</b>	Applicable Plat Checklist (Completed)
	Additional Required Documents/Traffic & Drainage Studies etc.

Supporting Materials (List if provided): \_\_\_\_\_

R Number(s): **163093 & 167629**

Owner's Signature

Date

Applicant's Signature

**3/10/25**  
**03/10/2025**  
Date



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059 (office) 940-458-4072 (fax) [www.sangertexas.org](http://www.sangertexas.org)

## SUBMITTAL REQUIREMENTS & PROCESS

All plat submittals must include the correct copies of the plat, the completed and signed application form, plat checklist, the application fee, and a Letter of Intent. Some plats may also require additional copies of the plat and/or other supplementary materials. The Pre-Application Conference with city staff will determine the specific submittal requirements for each applicant.

PLAT: The applicant must will submit all items requested on the checklist on to Community Core.

APPLICATION FORM: The application form must be completed and signed by the applicant and the owner(s).

PLAT CHECKLIST: Each item on the applicable plat checklist must be check marked as completed and submitted along with the application form.

APPLICATION FEE: The required application fee must be provided by check made payable to the City of Sanger. If the submittal is complete, the payment will be accepted. If the submittal is incomplete, the check will be returned with the other materials.

LETTER OF INTENT: Each plat submittal must include a Letter of Intent which provides the following:

- The subdivider's name and address
- The contact information of the person(s) preparing the submitted documents
- The designated point of contact for future correspondence
- The intent of the plat application
- A brief description of the location, land area, particulars as to the intended use(s) of the property, and any intended future development on the property
- A request that the plat be reviewed and considered by the appropriate approval body

SUBMITTAL PROCESS: The applicant shall submit the plat application to the online portal Community Core as indicated by the Schedule of Planning Application. A plat application submittal is accepted by the City when the Director of Development Services has certified to the applicant that a complete submittal providing adequate information for a comprehensive review has been received. No plat application will be considered submitted with the city until and unless the prescribed application fees have been paid. All original plat application documents must be submitted to the Department of Development Services through Community Core.



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### FINAL, REPLAT, MINOR, AMENDED, AND CONVEYANCE PLAT CHECKLIST

- ☒ The Plat shall be drawn to a scale of not more than two hundred feet to the inch (1" = 200').
- ☒ The boundary marked with heavy weighted lines with accurate distances and bearings, a mete and bounds description of the boundary (error of closure shall not exceed one (a) in fifty thousand (50,000) for the plat boundary), exact acreage to hundredths, and the exact location and width of all existing or recorded rights-of-way intersecting the boundary of or bordering on the tract. One (1) copy of the traverse closure sheet shall be enclosed.
- ☒ True bearings and distances to the nearest established street lines, official monuments or subdivision corner, which shall be accurately described on the plat. Municipal, township, county or abstract survey lines shall be accurately tied to the lines of the subdivision by the distances and bearings, where applicable.
- ☒ Describe and locate all permanent survey monument, pins, and control points and tie and reference the survey corners at two points to the Texas State Plane Coordinate System North Central Zone 1983- 1999 datum. The Point of Beginning (POB) shall be clearly marked including State Plane Coordinates, NAD 83.
- ☒ An accurate location of at least two (2) corners of the subdivision with reference to original corners of the original survey of which the subdivision is a part or an existing permanent monument to an approved and recorded plat or permanent markers established by and approved by the City Engineer.
- ☒ Subdivision name of adjacent properties (P.R.D.C.T) or ownership information for adjacent unplatted properties (D.R.D.C.T.) with recording information.
- ☒ An accurate location of the subdivision in reference to the deed records of the county which shall include the volume and page of the deed of the property to be subdivided.
- N/A ☐ If the property owner information does not match the Denton Central Appraisal District record, then information related to the purchase must be provided.
- ☒ The exact layout, including:
  - 1) Street and/or alley names
  - 2) The length of all arcs, radii, internal angles and points of curvature, length and bearing of the tangents
  - 3) All existing and proposed easements for right-of-way, public services, utilities or any other easements and any limitations of the easements
  - 4) Show centerline of existing streets. Dimensions from centerline to edges of existing and proposed right-of-way on both sides of the centerline.



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- 5) All lot number and lines, with accurate dimensions in feet and hundredths, with bearings and angles to street and alley lines to the nearest second

- ☒ The accurate location, material, and approximate size of all monuments.
- ☒ The accurate outline description of all property which is offered for dedication for public use, such as parks, etc., with the purpose indicated thereon, and all property that may be reserved by deed covenant for the common use of the property owners in the subdivision.

N/A ☐ A signed and notarized copy of private restriction (if any), that are filed for record in the office of the County Clerk shall be provided with the Final Plat.

- ☒ Name and addresses of the owner, subdivider, engineer, and surveyor.

- ☒ North point, written and graphic scale, and date.

- ☒ 3"x3" recording box at the lower right-hand corner.

- ☒ A Title Block with the following information shall be provided on each page:

- X1) Plat Type (ex: "Final Plat", "Preliminary Plat", etc.)
- X2) Name of the proposed development/addition/subdivision
- X3) Total number of lots and HOA/Open Space lots
- X4) Survey name and abstract number
- X5) Gross acreage

N/A 6) Right-of-Way acreage, if dedicated

- X7) Date of preparation and subsequent revisions

- ☒ Standard Notation to be added on the plat:

- X1) "All lots comply with the minimum size requirements of the zoning district."
- X2) "This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due."
- X3) "All common areas, drainage easements, and detention facilities will be owned and maintained by the HOA/POA. Any common area within the City's right-of-way will require a facilities agreement, to be reviewed and approved by the City."
- X4) "Notice – selling a portion of this addition by metes and bounds is a violation of City ordinance and State Law and is subject to fines and withholding of utilities and building permits."
- X5) "This plat does not alter or remove existing deed restrictions, if any, on this property."
- X6) "Minimum finished floor elevations are at least 2 feet above the 100-year flood plain."
- N/A 7) "The subject property does not lie within a 100 – year floodplain according to Community Panel No. \_\_\_\_\_, dated \_\_\_\_\_."





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of the National Flood Insurance Rate Maps for Denton County, Texas.”

X8) “The purpose of this plat is \_\_\_\_\_ [state the purpose] \_\_\_\_\_”

X9) “Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD ‘83)”

☐ The name, address and phone number of all utilities providing service to the development is required. A signature from each provider or a will-serve letter, signifying their ability to provide service to the subdivision is required.

☒ Location map showing existing and proposed streets and thoroughfares covering an area at least one thousand feet (1000') outside the proposed subdivision.

N/A ☐ One paper copy (24”x36”) and one soft copy (pdf) of approved civil/construction plans, along with GIS/CAD files for all approved public improvements on a CD/DVD.

N/A ☐ For Conveyance Plats Only: All conveyance plats must be titled “Conveyance Plat” and carry the following text:

“A conveyance plat is a record of property approved by the City of Sanger for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit may be issued, nor development begin, nor permanent public utility service provided until a final plat is approved, filed of record and public improvements are accepted in accordance with the City of Sanger Code of Ordinances. Selling a portion of this property by metes and bounds, except as shown on an approved, filed and accepted conveyance plat, final plat or replat is a violation of the state law.”

☒ Certification by a registered public surveyor or licensed state land surveyor, registered in the State of Texas to the effect that the plat represents a survey made by him or under his direct supervision and that all monuments shown thereon have been verified and exist, and that their location, size, and material are correctly shown. Such surveyor’s certificate may be prepared as follows:

*“State of Texas  
County of Denton*

*I hereby certify that this plat is true and correct and was prepared from an actual survey of the property made on the ground under my supervision.*

(Engineer or Surveyor’s Seal)

\_\_\_\_\_  
*Licensed Professional Engineer OR  
Registered Public Land Surveyor Texas R.P.L.S. No.    Date”*





201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059 (office) 940-458-4072 (fax) www.sangertexas.org

- ☒ A certificate of ownership and dedication of all streets, alleys, parks, and playgrounds to public use forever, signed and acknowledged before a notary public, by the owner or authorized representative and lien holder of the land, and a complete and accurate description of the land subdivided, and the streets dedicated. Such owner's certificate may be prepared as follows:

*"State of Texas*

*County of*

*Denton*

*I (we), the undersigned, owner(s) of the land shown on this plat within the area described by metes and bounds as follows:*

(Metes and Bounds Description of Boundary)

*NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:*

*THAT \_\_\_\_\_, acting herein by and through its duly authorized officer, does hereby adopt this plat designating the hereinabove described property as \_\_\_\_\_ (lot/block/subdivision), an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall always maintain all easements and facilities in a state of good repair and functional condition in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.*

*WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.*

\_\_\_\_\_, Owner

\_\_\_\_\_, Title and Company (if applicable)"

*"State of Texas*

*County of*

*Denton*



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059 (office) 940-458-4072 (fax) www.sangertexas.org

(cont.)

*Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated.*

*Given under my hand and seal of office this \_\_\_\_\_ day of \_\_, 20\_\_.*

\_\_\_\_\_  
*Notary Public in and for the State of Texas*

\_\_\_\_\_  
*Type or Print Notary's Name*

*My Commission Expires \_\_\_\_\_."*

- ☒ The following certificate shall be included on the plat in a manner that will allow the signatures of the designated officials and the affixing of the City Seal.

*"Approved and Accepted*

\_\_\_\_\_  
*Chairman, Planning & Zoning*

*Commission e City of Sanger, TX*

\_\_\_\_\_  
*Dat*

\_\_\_\_\_  
*Mayor  
City of Sanger, TX*

\_\_\_\_\_  
*Date*

*Attested by*

\_\_\_\_\_  
*City Secretary  
City of Sanger, TX"*

\_\_\_\_\_  
*Date*



March 10, 2025

City of Sanger, Texas  
Development Services  
201 Bolivar Street  
P.O. Box 1729  
Sanger, TX 76266

Re: Letter of Intent for Final Plat Review

To Whom It May Concern,

We are submitting this Letter of Intent on behalf of the developer and owner of the subject property, for Final Plat Review. This subject property is defined as 14.86 acres of unplatted property in the Bejamin Fynch Survey, Abstract No. 725 in the City of Sanger, Denton County, Texas. The location of the property is just Northeast of the intersection of View Rd and I-35 in Sanger, Texas.

This purpose of this Final Plat is to create one lot of record and dedicate easements for a proposed Light Industrial development, consisting of an industrial shell warehouse building approximately 307,400 sf and its corresponding public improvements and services.

Thank you for your consideration of this submittal.

Sincerely,  
HALFF

A handwritten signature in blue ink that reads "Kaylie E. Flynn".

Kaylie Flynn, P.E.  
Land Development Team Leader  
Halff Associates, Inc.  
214-937-3923



**DATE: 4/7/25**

### **1<sup>st</sup> REVIEW COMMENTS – Final Plat – Blue Star Industrial Second Addition**

The request is for a Final Plat of Blue Star Industrial Second Addition, being approximately 14.86 acres in the A0725A S.F. LYNCH, TR 14, prepared by Eagle Surveying, LLC, submitted on 3/19/25. Below are the comments that should be addressed before City Council approval. Resubmit the revised plat along with a response letter addressing all comments.

### **Planning**

Provide the following;

1. Describe and locate all permanent survey monument, pins, and control points and tie and reference the survey corners at **two** points to the Texas State Plane Coordinate System North Central Zone 1983-1999 datum. The Point of Beginning (POB) shall be clearly marked including State Plane Coordinates, NAD 83.
2. Exact layout including;
  - 1) Street and/or alley names.
  - 2) (Provided)
  - 3) All existing and proposed easements for right-of-way, public services, utilities or any other easements and any limitations of the easements.
  - 4) Show centerline of existing streets. Dimensions from centerline to edges of existing and proposed right-of-way on both sides of the centerline.
  - 5) (Provided)
3. The accurate location, material, and approximate size of all monuments.
4. A signed and notarized copy of private restriction (if any), that are filed for record in the office of the County Clerk shall be provided with the Final Plat.
5. Add -Title Block with the following information:
  - 1) Provided
  - 2) Provided
  - 3) Provided
  - 4) Provided
  - 5) Provided
  - 6) Right-of-Way acreage, if dedicated
  - 7) Provided



6. The name, address and phone number of all utilities providing service to the development is required. A signature from each provider or a will-serve letter, signifying their ability to provide service to the subdivision is required.
7. Remove Mayor from Planning & Zoning Signature

#### **Informational Comments**

1. The property is within the City of Sanger.
2. The Final Plat will be scheduled for Planning and Zoning (P&Z) Commission meeting on Monday, April 14, 2025, and the City Council meeting on Monday, May 5, 2025.



April 7, 2025  
AVO 37449.004

Ms. Ramie Hammonds  
Development Services Director/Building Official  
City of Sanger  
201 Bolivar Street  
P.O. Box 1729  
Sanger, Texas 76266

**Re: Blue Star Industrial 2nd Edition Final Plat - Review #1**

Dear Ms. Hammonds,

Halff was requested by the City of Sanger to review the Final Plat for the Blue Star Industrial 2nd Edition development. The submittal was prepared by Eagle Surveying, and was received March 25, 2025.

We have completed our review and offer the following comments:

Please address comments on attached markups and provide annotated responses on markups. Please note, not all comments are written on letter since some comments are easier to show and explain on the markups. Please annotate markup with responses.

### **Final Plat Comments**

1. The general notes state "Building setbacks will be 20' from all lot lines"; however, setback lines are missing from the north and east lot lines. Explain the missing setback lines and change the general note or add the missing lines accordingly.
2. Confirm the label "F.L.A.U.D.E." and the Legend's "F.A.D.U.E." reference the same easement. If they are the same, consider changing one to match each other.
3. Please explain or delete the two leaders in the lot's northeast corner on Sheet 2 of 2.
4. Confirm that the fire lane access interior and exterior radii meet the minimum requirements of 30' and 50' respectively.
5. Where is Curve C4 located?
6. Confirm if directions and distances are supposed to match.
7. Confirm if curve data is supposed to match.

If you have any questions or need additional information, please do not hesitate to call me at (817) 764-7468.



Sincerely,

*Keith L. Freeman*

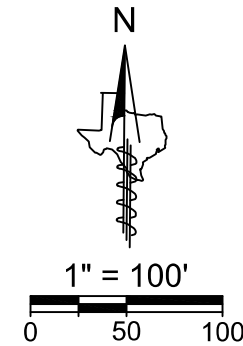
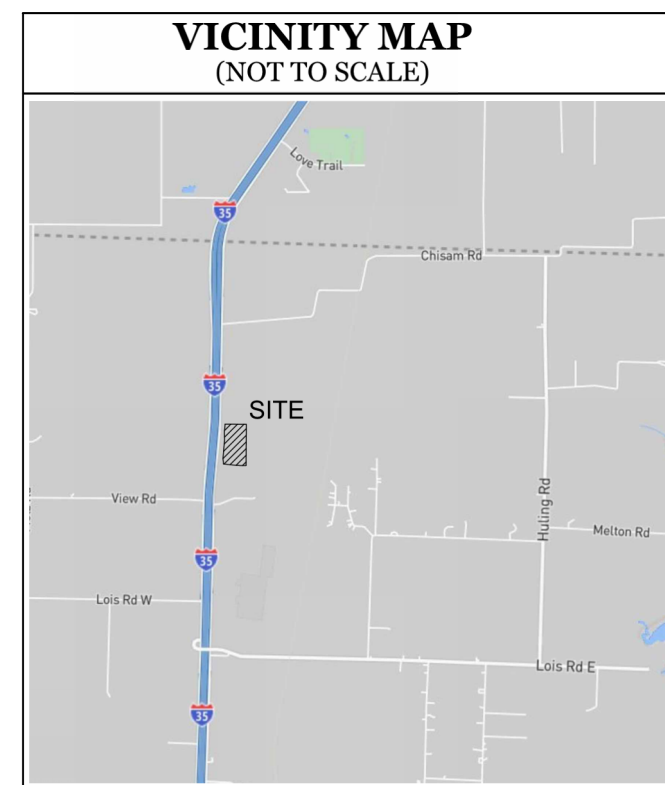
Keith Freeman, PE

**HALFF**

Firm No. 0312

Attachments: Final Plat markups





### GENERAL NOTES

- The purpose of this plat is to create one lot of record and dedicate easements.
- This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated April 18, 2011 and is located in Community Number 480786 as shown on Map Number 48121C0070G. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).
- The elevations shown on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Vertical Datum of 1988, (Geoid 12A).
- Building setbacks will be 20' from all lot lines.
- Water and Sanitary Sewer are provided by the City of Sanger, PO Box 1729, Sanger, TX 76266, 940-458-2571.
- Electric Service is provided by Sanger Electric Utilities, 202 Railroad Ave., Sanger, TX 76266, 940-458-2064; and Coserv Electric, 7701 S Stemmons Freeway, Corinth, TX 76210, 940-321-7800.
- Telephone service is provided by Century Link, 902-B W Central Texas Expwy, Ste 201, Killeen, TX 76541, 866-916-9905.
- All lots comply with the minimum size requirements of the zoning district.
- This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
- All common areas, drainage easements, and detention facilities, if any, will be owned and maintained by the HOA/POA. Any common area with in the City's right-of-way will require a facilities agreement to be reviewed and approved by the City.
- This plat does not alter or remove existing deed restrictions, if any, on this property.
- Minimum finished floor elevations are at least 2 feet above the 100 year floodplain, if any.
- This property is zoned Industrial-1 (I-1).
- Easements details are shown on page 2.

### CERTIFICATE OF SURVEYOR

STATE OF TEXAS §  
COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Sanger, Denton County, Texas.

#### PRELIMINARY

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. # 6402

Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas

Project	2106.072-10	 <b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	03/06/2025	
Drafter	BE/DJJ	

**SURVEYOR**  
Eagle Surveying, LLC  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
Haff Associates  
1201 N. Bowser Road  
Richardson, TX 75081

**OWNER/DEVELOPER**  
Crossmar Texas Industrial 1 LLC  
1500 East Central Avenue, Suite 110  
Bentonville, AR 72712

### LEGEND

D.R.D.C.T. Deed Records, Denton County, Texas  
O.R.D.C.T. Official Records, Denton County, Texas  
CIRS Capped Iron Rod Set  
CIRF Capped Iron Rod Found  
IRF Iron Rod Found  
POB Point of Beginning  
W.E. Water Easement  
S.S.E. Sanitary Sewer Easement  
D.E. Drainage Easement  
F.A.D.U.E. Fire Lane, Access, Drainage and Utility Easement

Update label  
(FLADUE) or legend  
(FADUE) to match

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 07°28'27" W	100.44'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	16140.00'	42.91'	0°09'08"	N 03°56'37" E	42.91'
C2	16160.00'	503.83'	1°47'11"	N 05°08'19" E	503.80'
C3	16615.00'	221.40'	0°45'49"	N 04°40'04" E	221.40'
C4	16632.13'	413.68'	1°25'30"	N 03°44'31" E	413.67'
C5	1465.00'	431.22'	16°51'34"	N 77°32'08" E	429.66'
C6	1465.00'	287.30'	11°14'11"	N 89°50'05" W	286.84'

LOT 2, BLOCK A,  
BLUE STAR INDUSTRIAL ADDITION  
DOC. NO. 2022-197  
P.R.D.C.T.

PARCEL N10B  
CALLED 1649 ACRES  
STATE OF TEXAS  
DOC. NO. 2022-170941  
O.R.D.C.T.

BENJAMIN FYNCH SURVEY,  
ABSTRACT NO. 725

LOT 1  
BLOCK A  
15.77 ACRES  
687,014 SQ. FT.  
MINIMUM FINISHED  
FLOOR ELEVATION = 712.8'

(PORTION)  
CALLED 67.22 ACRES  
CROSSMAR TEXAS INDUSTRIAL 1 LLC  
DOC. NO. 2022-85902  
O.R.D.C.T.

(PORTION)  
CALLED 67.22 ACRES  
CROSSMAR TEXAS INDUSTRIAL 1 LLC  
DOC. NO. 2022-85902  
O.R.D.C.T.

### OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, **CROSSMAR TEXAS INDUSTRIAL 1 LLC** is the owner of a 14.86 acre tract of land out of the Benjamin Fynch Survey, Abstract Number 725, situated in the City of Sanger, Denton County, Texas, and being a portion of a called 67.22 acre tract of land conveyed to Crossmar Texas Industrial 1 LLC by deed of record in Document Number 2022-85902 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 5/8 inch iron rod with pink plastic cap stamped "TXDOT SURVEY MARKER" found in the East right-of-way line of Interstate Highway 35 (right-of-way width varies), being in the North line of Lot 1, Block 1, of R-L Carriers Addition, a subdivision of record in Document Number 2018-284 of the Plat Records of Denton County, Texas, and being the Southwest corner of said 67.22 acre tract;

THENCE, leaving the North line of said Lot 1, along the East right-of-way line of Interstate Highway 35, being the common West line of said 67.22 acre tract, the following five (5) courses and distances:

- Along a non-tangent curve to the right, having a radius of 16,140.00 feet, a chord bearing of N03°56'37"E, a chord length of 42.91 feet, a delta angle of 00°09'08", an arc length of 42.91 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT SURVEY MARKER" found at the end of said curve;
- N07°28'27"W, a distance of 100.44 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT SURVEY MARKER" found at the beginning of a non-tangent curve to the right;
- Along said non-tangent curve to the right, having a radius of 16,160.00 feet, a chord bearing of N05°08'19"E, a chord length of 503.80 feet, a delta angle of 01°47'11", an arc length of 503.83 feet to a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found at the end of said curve;
- N01°49'32"W, a distance of 200.07 feet to a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found at the beginning of a non-tangent curve to the left;
- Along said non-tangent curve to the left, having a radius of 16,615.00 feet, a chord bearing of N04°40'04"E, a chord length of 221.40 feet, a delta angle of 00°45'49", an arc length of 221.40 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of Lot 2, Block A, of Blue Star Industrial Addition, a subdivision of record in Document Number 2022-197 of said Plat Records;

THENCE, S89°37'16"E, leaving the East right-of-way line of Interstate Highway 35, along the South line of said Lot 2, a distance of **568.63** feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;

THENCE, S00°22'44"W, leaving the South line of said Lot 2, over and across said 67.22 acre tract, a distance of **1,101.03** feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the North line of said Lot 2, being the common South line of said 67.22 acre tract, from which a 1/2 inch iron rod found bears, along a chord, N77°32'08"E, a distance of 429.66 feet;

THENCE, along the North line of said Lot 2 and the common South line of said 67.22 acre tract, the following two (2) courses and distances:

- Along a non-tangent curve to the right, having a radius of 1,465.00 feet, a chord bearing of N89°07'27"W, a chord length of 250.66 feet, a delta angle of 09°48'55", an arc length of 250.97 feet to a 1/2 inch iron rod found at the end of said curve;
- N84°13'36"W, a distance of 359.18 feet to the POINT OF BEGINNING, and containing an area of 14.86 acres (647,224 square feet) of land, more or less.

#### NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **CROSSMAR TEXAS INDUSTRIAL 1 LLC** does hereby adopt this plat, designating herein described property as **LOT 1, BLOCK A, BLUE STAR INDUSTRIAL SECOND ADDITION**, an addition to the City of Sanger, Denton County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the drainage and utility easements as shown. Said drainage and utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the drainage and utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said drainage and utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone.

OWNER: **CROSSMAR TEXAS INDUSTRIAL 1 LLC**

BY: \_\_\_\_\_  
Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas

### APPROVED AND ACCEPTED

CITY OF SANGER  
DENTON COUNTY, TEXAS

Chairman, Planning & Zoning Commission  
Mayor, City of Sanger, Texas

Date \_\_\_\_\_

Thomas Muir  
Mayor, City of Sanger, Texas

Date \_\_\_\_\_

#### ATTEST:

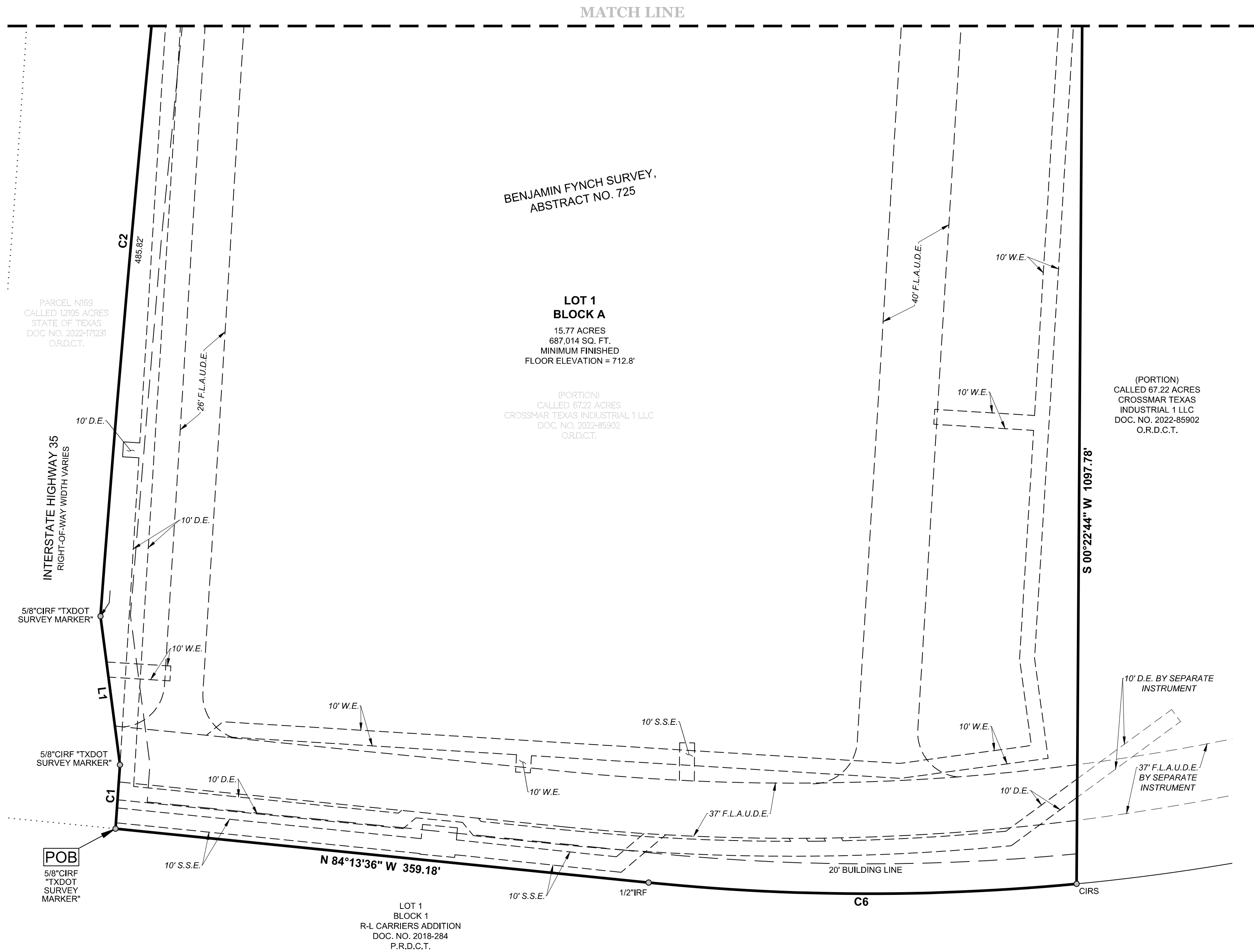
Kelly Edwards, City Secretary  
City of Sanger, Tx

Date \_\_\_\_\_

## FINAL PLAT BLUE STAR INDUSTRIAL SECOND ADDITION LOT 1, BLOCK A 14.86 ACRES

BENJAMIN F. LYNCH SURVEY, ABSTRACT No. 725  
CITY OF SANGER, DENTON COUNTY, TEXAS





Project	2106.072-10	 <b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	03/06/2023	
Drafter	BE/DJJ	



**EAGLE SURVEYING, LLC**  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009  
TX Firm #10194177

**SURVEYOR**  
Eagle Surveying, LLC  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
Halff Associates  
1201 N. Bowser Road  
Richardson, TX 75081

**OWNER/DEVELOPER**  
Crossmar Texas Industrial 1 LLC  
1500 East Central Avenue, Suite 110  
Bentonville, AR 72712

BENJAMIN F. LYNCH SURVEY, ABSTRACT No. 725  
CITY OF SANGER, DENTON COUNTY, TEXAS



## PLANNING & ZONING COMMISSION COMMUNICATION

**DATE:** March 10, 2025

**FROM:** Ramie Hammonds, Development Services Director

**AGENDA ITEM:** Consideration and possible action on a Preliminary Plat of Sanger Daycare Addition, being approximately 5.070 acres of land described as MARY H SHIRLEY BLK 14(S PT), 15, and A1241A TIERWESTER, TR 276, generally located on the east side of 2<sup>nd</sup> Street approximately 142 feet north of Jackilu Street.

### **SUMMARY:**

- The developer is proposing to subdivide two unplatted lots into five developable lots.
- The development consists of approximately 5.070 acres.
- The lots range in size from 0.138 to 2.479 acres
- A proposed daycare will be constructed on Lot 2.
- This site is Zoned I-1 Industrial 1 and all lots comply with the I-1 regulations.

### **FISCAL INFORMATION:**

Budgeted: N/A

Amount: N/A

GL Account: N/A

### **RECOMMENDED MOTION OR ACTION:**

Staff recommends APPROVAL with the condition all comments are met before City Council approval.

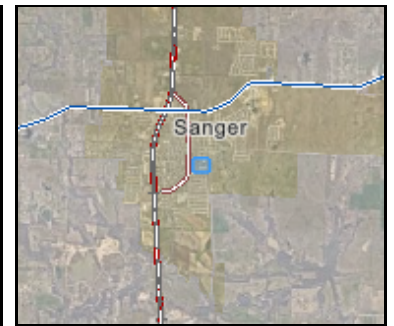
### **ATTACHMENTS:**

Location Map  
Preliminary Plat  
Application  
Letter of Intent  
Planning Comments  
Engineering Comments



# Denton County Landmark Map

Item 3.



## Legend

- 911 Addresses
- Development Permits
- ▭ Parcels
- Floodplain**
  - Cross Section Location
  - Base Flood Elevation
  - ▭ FEMA Floodway
  - ▭ Flood Grid
  - ▭ FEMA 100yr Flood Zone A
  - ▭ FEMA 100yr Flood Zone AE
  - ▭ FEMA 500yr Flood Zone
  - Levee Protected

## Notes

Esri Community Maps Contributors, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS



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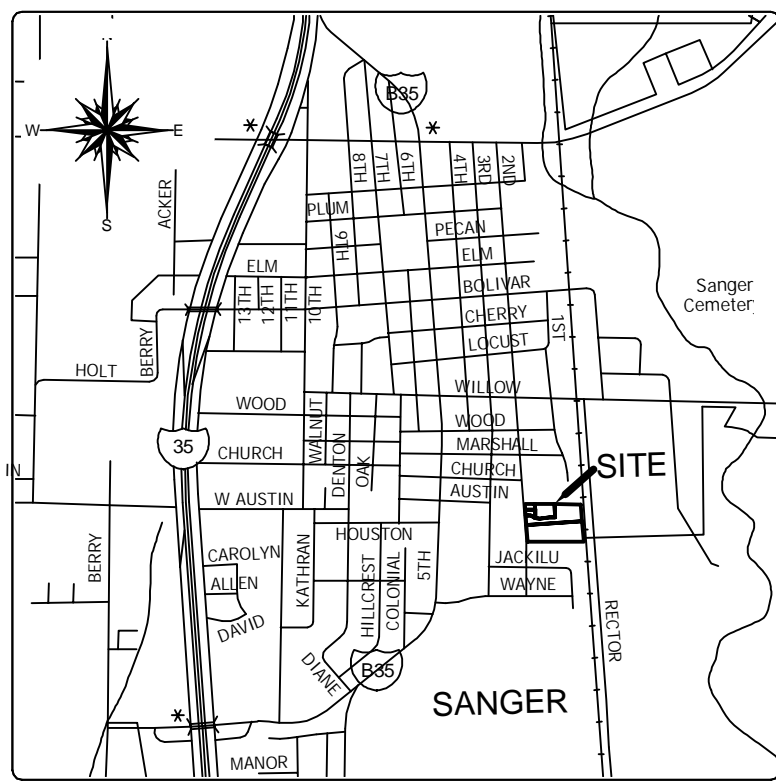
<https://gis.dentoncounty.gov>

4/9/2025 4:53:27 PM

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Denton County does not guarantee the correctness or accuracy of any features on this product and assumes no responsibility in connection therewith. This product may be revised at any time without notification to any user.



VICINITY MAP  
NOT TO SCALE

## GENERAL NOTES:

- ALL LOTS COMPLY WITH THE MINIMUM SIZE REQUIREMENTS OF THE ZONING DISTRICT.
- THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICABLE FEES DUE.
- ALL COMMON AREAS, DRAINAGE EASEMENTS, AND DETENTION FACILITIES WILL BE OWNED AND MAINTAINED BY THE HOA/POA. ANY COMMON AREA WITHIN THE CITY'S RIGHT-OF-WAY WILL REQUIRE A FACILITIES AGREEMENT, TO BE REVIEWED AND APPROVED BY THE CITY.
- NOTICE- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- THIS PLAT DOES NOT REMOVE EXISTING DEED RESTRICTION, IF ANY, ON THIS PROPERTY.
- MINIMUM FINISHED FLOOR ELEVATIONS ARE TO BE AT LEAST 2 FEET ABOVE THE 100-YEAR FLOOD PLAIN.
- FLOOD STATEMENT:** I HAVE REVIEWED THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF SANGER, COMMUNITY NUMBER 480786 EFFECTIVE DATE 04-18-2011 AND THAT MAP INDICATES AS SCALED, THAT THIS PROPERTY IS WITHIN "NON-SHADED ZONE X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD (500-YEAR)" AS SHOWN ON PANEL 210 G OF SAID MAP.
- THE PURPOSE OF THIS PLAT IS TO CREATE 5 LOTS OF RECORD FROM A 5.070 ACRE PARCEL OF LAND.
- BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT.
- THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS.
- PRIVATE IMPROVEMENTS MAY NOT BE BUILT UPON OR ENCRROACH ONTO EXISTING PUBLIC OR PRIVATE EASEMENTS.

Closure Report Thu Dec 5 09:37:08 2024

Nothing	Easting	Bearing	Distance
---------	---------	---------	----------

7178468.316	2374892.537	N 88°52'34" W	576.154
7178479.616	2374316.493	N 02°48'53" W	389.910
7178869.055	2374297.347	S 88°02'41" E	100.000
7178865.643	2374397.289	S 87°56'56" E	473.369
7178848.700	2374870.354	S 03°20'15" E	381.030
7178468.316	2374892.537		

Closure Error Distance&gt; 0.00000

Total Distance&gt; 1920.463

Polyline Area: 220854 sq ft, 5.070 acres

4321 I-35 SUITE 575  
GAINESVILLE, TX 76205  
(940)382-3446

JOB NUMBER: 230464-02  
DRAWN BY: TEP  
DATE: 1-14-2025

R.P.L.S.  
KENNETH A. ZOLLINGER

SURVEYOR:  
KAZ SURVEYING, INC.  
4321 I-35 SUITE 575  
DENTON, TEXAS 76205  
PHONE: 940-382-3446  
TBPLS FIRM# 10002100

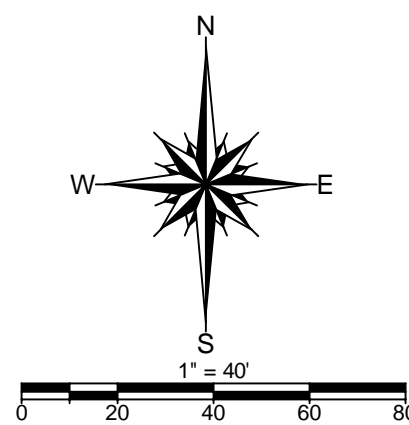
OWNER:  
SPRINGER FAMILY RENTALS LTD.  
P.O. BOX 248  
SANGER, TEXAS 76266  
CONTACT: (940) 458-7758

BOUNDARY LINE TABLE			
LINE	BEARING	DISTANCE	
L1	N 88°52'34" W	17.40	
L2	N 87°31'38" E	17.31	
L3	N 88°51'46" E	96.00	
L4	N 88°55'57" E	158.74	

24' FIRE LANE, ACCESS & WATER EASEMENT LINE TABLE			
LINE	BEARING	DISTANCE	
L5	N 87°31'38" E	17.30	
L6	N 88°51'46" E	97.97	
L7	N 88°55'57" E	63.72	
L8	N 01°04'03" W	100.02	
L9	S 01°04'03" E	94.68	
L10	N 87°49'56" E	25.02	
L11	S 01°58'21" E	15.06	
L12	S 87°56'46" W	38.44	
L13	S 88°55'57" W	137.07	
L14	S 88°51'46" W	97.33	
L15	S 87°31'38" W	17.16	
L16	N 02°48'53" W	24.00	
L17	N 01°04'03" W	45.00	
L18	S 01°04'03" E	45.00	

15' SANITARY SEWER EASEMENT LINE TABLE			
LINE	BEARING	DISTANCE	
L19	S 87°56'56" E	115.07	
L20	S 03°20'15" E	148.00	
L21	S 87°11'07" W	1238.88	
L22	S 01°10'16" W	215.92	
L23	N 88°49'44" W	15.00	
L24	N 01°10'16" E	214.88	
L25	S 87°11'07" W	518.75	
L26	N 02°48'53" W	15.00	

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	113.00	173.16	N 73°55'33" W	71.89
C2	87.00	16.90	S 60°56'37" E	16.87
C3	87.00	41.95	N 80°19'22" W	41.55
C4	112.00	72.51	N 73°55'33" W	71.25
C5	88.00	59.53	N 74°45'29" W	58.40
C6	25.00	39.27	S 43°55'57" W	35.36
C7	49.00	24.81	S 13°29'14" W	24.65
C8	49.00	31.88	N 70°17'45" E	31.32
C9	112.00	75.76	N 74°45'29" W	74.33
C10	88.00	56.97	S 73°55'33" E	55.88
C11	25.00	78.54	S 88°55'57" W	50.00
C12	25.00	78.54	N 88°55'57" E	50.00



LEGEND	
R.O.W.	= RIGHT-OF-WAY
FIR	= FOUND IRON ROD
FIR/CAP	= FOUND IRON ROD W/CAP
SIR/CAP	= SET IRON ROD W/CAP
CM	= CONTROLLING MONUMENT
( )	= PLAT OR DEED CALL
POB	= POINT OF BEGINNING
—	= BOUNDARY LINE
- - -	= BUILDING LINE
- · - · -	= EASEMENT LINE
- · - · -	= ADJOINER LINE
—+—	= CENTERLINE
+++++	= RAILROAD

## OWNERS CERTIFICATION:

WHEREAS SPRINGER FAMILY RENTALS LTD. IS THE OWNER OF ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE HENRY TIERWESTER SURVEY, ABSTRACT NUMBER 1241 DENTON COUNTY, TEXAS AND BEING ALL OF A CALLED 5.062 ACRE TRACT OF LAND DESCRIBED IN DEED TO SPRINGER FAMILY RENTALS, LTD RECORDED IN DOCUMENT NUMBER 2015-68194, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS AND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A 1/2 INCH CAPPED IRON ROD FOUND MAINTAINING THE SOUTHEAST CORNER OF SAID 5.062 ACRE TRACT, THE NORTHEAST CORNER OF V.H. WARD JR. SUBDIVISION, BLOCK 2, AN ADDITION IN THE CITY OF SANGER, TEXAS AS SHOWN BY PLAT OF RECORD IN CABINET A, SLIDE 142, PLAT RECORDS, DENTON COUNTY, TEXAS, AND IN THE WEST LINE OF BURLINGTON NORTHERN, SANTA FE RAILROAD;

**THENCE** NORTH 88 DEGREES 52 MINUTES 34 SECONDS WEST, ALONG THE SOUTH LINE OF SAID 5.062 ACRE TRACT, AND THE NORTH LINE OF SAID BLOCK 2, A DISTANCE OF 576.15 FEET TO A CAPPED IRON ROD SET STAMPED "KAZ" FOR THE SOUTHWEST CORNER OF SAID 5.062 ACRE TRACT, IN THE EAST RIGHT OF WAY LINE OF SECOND STREET, FROM WHICH A 1/2 INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF LOT 1, BLOCK 2, OF SAID V.H. WARD JR. SUBDIVISION, BEARS NORTH 88 DEGREES 52 MINUTES 34 SECONDS WEST, A DISTANCE OF 17.40 FEET;

**THENCE** NORTH 02 DEGREES 48 MINUTES 53 SECONDS WEST, ALONG THE WEST LINE OF SAID 5.062 ACRE TRACT AND SAID EAST RIGHT-OF-WAY LINE, DISTANCE OF 389.91 FEET TO A CAPPED IRON ROD SET STAMPED "KAZ" FOR THE NORTHWEST CORNER OF SAID 5.062 ACRE TRACT AND THE SOUTHWEST CORNER OF A "FIRST TRACT" OF LAND CONVEYED TO STEVE HOLLINGSWORTH AND BARARA H. MARTIN, CO TRUSTEES IN DOCUMENT NUMBER 1007-105088 OF SAID REAL PROPERTY RECORDS;

**THENCE** SOUTH 88 DEGREES 02 MINUTES 41 SECONDS EAST, ALONG THE NORTH LINE OF SAID 5.062 ACRE TRACT AND THE SOUTH LINE OF SAID "FIRST TRACT", A DISTANCE OF 100.00 FEET TO A 1/2 INCH CAPPED IRON ROD SET STAMPED "KAZ" FOR THE SOUTHEAST CORNER OF SAID "FIRST TRACT" AND THE SOUTHWEST CORNER OF A 3.390 ACRE "SECOND TRACT" OF LAND CONVEYED TO STEVE HOLLINGSWORTH AND BARARA H. MARTIN, CO TRUSTEES IN DOCUMENT NUMBER 1007-105088 OF SAID REAL PROPERTY RECORDS;

**THENCE** SOUTH 87 DEGREES 56 MINUTES 56 SECONDS EAST, ALONG THE NORTH LINE OF SAID 5.062 ACRE TRACT AND THE SOUTH LINE OF SAID 3.390 ACRE "SECOND TRACT", A DISTANCE OF 473.37 FEET TO A 1/2 INCH IRON ROD FOUND MAINTAINING THE NORTHEAST CORNER OF SAID 5.062 ACRE TRACT, THE SOUTHEAST CORNER OF SAID 3.390 ACRE "SECOND TRACT", AND IN THE WEST LINE OF SAID BURLINGTON NORTHERN, SANTA FE RAILROAD;

**THENCE** SOUTH 03 DEGREES 20 MINUTES 15 SECONDS EAST, ALONG THE EAST LINE OF SAID 5.062 ACRE TRACT AND THE WEST LINE OF SAID BURLINGTON NORTHERN, SANTA FE RAILROAD, A DISTANCE OF 381.03 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 5.070 ACRES OF LAND, MORE OR LESS.

## OWNER'S DEDICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, SPRINGER FAMILY RENTALS, LTD., through it duly sworn representative, does hereby adopt this Final Plat, designating the hereinabove described property as SANGER DAYCARE ADDITION, an addition to the City of Sanger, Texas, and do hereby dedicate to public use forever by fee simply title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, dive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all items in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to a access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

JEFF SPRINGER DATE  
REPRESENTATIVE SPRINGER FAMILY RENTALS, LTD.

STATE OF TEXAS  
COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **JEFF SPRINGER**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC, DENTON COUNTY, TEXAS.

MY COMMISSION EXPIRES \_\_\_\_\_.

## CERTIFICATE OF SURVEYOR

STATE OF TEXAS  
COUNTY OF DENTON

I, KENNETH A. ZOLLINGER, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AND ACTUAL SURVEY MADE ON THE GROUND AND THAT THE MONUMENTS SHOWN HEREON WERE FOUND OR PLACED WITH 1/2" IRON RODS CAPPED "KAZ" UNDER MY DIRECTION AND SUPERVISION IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF SANGER, DENTON COUNTY, TEXAS.

KENNETH A. ZOLLINGER, R.P.L.S. # 5312 DATE \_\_\_\_\_

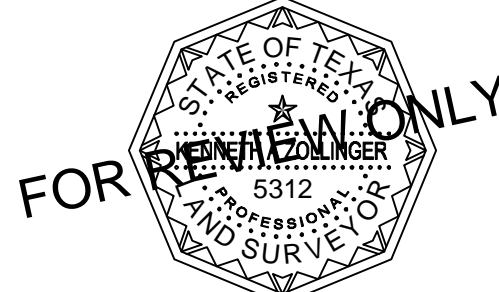
STATE OF TEXAS  
COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KENNETH A. ZOLLINGER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC, DENTON COUNTY, TEXAS.

MY COMMISSION EXPIRES \_\_\_\_\_.



## \*APPROVED AND ACCEPTED

CHAIRMAN, PLANNING & ZONING COMMISSION  
CITY OF SANGER, TEXAS

DATE \_\_\_\_\_

MAYOR  
CITY OF SANGER

DATE \_\_\_\_\_

ATTESTED BY \_\_\_\_\_

CITY SECRETARY  
CITY OF SANGER, TEXAS

DATE \_\_\_\_\_

FINAL PLAT  
LOTS 1-5, BLOCK A  
SANGER DAYCARE ADDITION  
BEING 5.070 ACRES  
IN THE HENRY TIERWESTER SURVEY,  
ABSTRACT NUMBER 1241,  
IN THE CITY OF SANGER,  
DENTON COUNTY, TEXAS

DATE OF PLAT 1-14-2025

## APPROVAL BLOCK



GRADING NOTES

1. A GRADING PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THIS PERMIT AND PAYING ALL ASSOCIATED FEES.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.
3. ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE. ADD 6-INCHES TO SPOT GRADES SHOWN, FOR TOP OF CURB ELEVATIONS.
4. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR FIELD ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE ARE ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING. IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
6. ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY, AND DISPOSED OF BY THE CONTRACTOR, OFF SITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
7. ALL AREAS DISTURBED BY GRADING OPERATIONS SHALL BE SEEDED, TEMPORARILY IRRIGATED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 70% MINIMUM DENSITY, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE, IS ACHIEVED.
8. THE GRADING CONTRACTOR SHALL COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
9. THE CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES TO DETERMINE THEIR BID. ANY DEVIATION FROM A BALANCED CUT AND FILL SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND ANY VARIANCE SHALL BE SPECIFICALLY ITEMIZED ON THE BID.

WATER AND SANITARY SEWER NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WHERE PROPOSED UTILITIES ARE BEING CONNECTED, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN, COORDINATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING AND/OR CROSSING OTHER UTILITIES.
3. ALL WATER AND SANITARY SEWER SERVICES SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING UNLESS OTHERWISE NOTED AND THE END OF THESE SERVICES SHALL BE TIGHTLY PLUGGED OR CAPPED. SEE M.E.P. OR ARCHITECTURAL PLANS FOR CONTINUATION.
4. ALL FIRE LINES SHALL CONFORM TO THE CITY DESIGN CRITERIA.
5. ALL APPURTENANCES USED FOR FIRE PROTECTION SHALL CONFORM TO THE CURRENT CITY DESIGN STANDARDS.
6. FOR PIPES 12" AND SMALLER IN THE PROPOSED OR EXISTING PAVEMENT, DEPTH OF OVER SHALL BE 42". FOR 12" AND SMALLER WATER MAIN IN AREAS WITHOUT PERMANENT PAVING SURFACES WITH BASE, THE MINIMUM DEPTH OF COVER SHALL BE 5 FEET.
7. ALL SANITARY SEWER LINES SHALL BE A MINIMUM OF PVC (SDR-35) PIPE. ALL SANITARY SEWER LINES DEEPER THAN 12 FEET SHALL BE SDR-26. ALL WATER LINES 12" AND SMALLER SHALL BE C900, DR-14 PVC.
8. THE CONTRACTOR SHALL SEQUENCE CONSTRUCTION TO AVOID INTERRUPTION OF WATER AND SANITARY SEWER SERVICE TO SURROUNDING AREAS.
9. EXISTING AND/OR PROPOSED WATER MAINS SHALL BE LOWERED BELOW OR ABOVE PROPOSED SANITARY AND STORM SEWER LINES TO MAINTAIN A MINIMUM OF 2.0 FEET OR VERTICAL SEPARATION. CONTRACTOR TO MAINTAIN MINIMUM 9'-FEET (OUTSIDE TO OUTSIDE) SEPARATION BETWEEN SANITARY SEWER, WATER AND STORM SEWER MAIN. FIRE HYDRANTS ARE NOT TO BE INSTALLED CLOSER THAN 9 FEET TO ANY WASTEWATER MAIN OR APPURTENANCE.
10. EXISTING MANHOLE TOPS, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER UTILITY APPURTENANCES SHALL BE ADJUSTED, AS REQUIRED, TO MATCH PROPOSED GRADES AS SHOWN ON GRADING PLAN.
11. CONTRACTOR SHALL CONTACT NECESSARY FRANCHISE UTILITY COMPANIES PRIOR TO CONSTRUCTION, IN ORDER TO LOCATE AND/OR DISCONNECT SERVICES.
12. FOR EACH SEWER AND WATER CROSSING, CENTER ONE JOINT OF SEWER PIPE ON THE EXISTING OR PROPOSED WATER MAIN.
13. ALL VALVES AND FITTINGS SHALL HAVE MEGALUG ANCHORS.
14. ALL CONNECTIONS TO EXISTING WATER MAINS SHALL BE DONE BY CITY PERSONNEL AT THE CONTRACTOR'S EXPENSE.
15. CONTRACTOR TO COORDINATE WATER SERVICES AND METERS WITH THE MEP PLANS FOR EACH BUILDING.
16. CONTRACTOR TO COORDINATE IRRIGATION SERVICES AND METERS WITH THE LANDSCAPE AND IRRIGATION PLANS.

TRAFFIC CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS, AT LEAST 48 HOURS PRIOR TO ANY WORK IN A CITY RIGHT-OF-WAY.
2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST VERSION.
3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
4. THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
5. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.
6. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, MOST RECENT EDITION WITH REVISIONS) DURING CONSTRUCTION.
7. APPROVED COPIES OF "TRAFFIC CONTROL PLANS" AND LANE/SIDEWALK CLOSURE PERMITS SHALL BE AVAILABLE FOR INSPECTION AT JOB SITE AT ALL TIMES.

EROSION CONTROL NOTES

1. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND A STAND OF GRASS IS ESTABLISHED WITH 70% COVERAGE ACHIEVED.
2. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH TOPSOIL AND VEGETATION.
3. ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE SEEDED AND IRRIGATED UNTIL A PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE.
4. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES AND OBTAIN APPROPRIATE PERMITS ASSOCIATED WITH THE PROJECT. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE AND THE ESTABLISHMENT OF A STAND OF GRASS WITH 70% COVERAGE TO PREVENT EROSION. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS.
5. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
6. CONSTRUCTION ENTRANCE:  
MINIMUM SIZE STONE: 3 INCH DIAMETER  
THICKNESS: NOT LESS THAN 8 INCHES  
A: NOT LESS THAN 50 FEET  
B: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.  
MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS
7. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
8. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF SITE IMPACTS OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY.
11. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS OFF SITE FROM THE EXISTING ROADWAYS AND PROJECT SITE THAT ARE A RESULT OF THE PROPOSED CONSTRUCTION AS REQUESTED BY THE CITY.
12. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
13. CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
14. CONTRACTOR SHALL PROMOTE AND PROVIDE FOR A HEALTHY ESTABLISHMENT OF TURF GRASSES WHILE KEEPING IRRIGATION TO A MINIMUM IN ORDER TO REDUCE EROSION FROM SURFACE RUNOFF.
15. SOD OR SEED MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES AFTER FINAL GRADING AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
16. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q.
17. THE CONTRACTOR MUST CONSTRUCT AND MAINTAIN A PERMANENT STABLE PROTECTIVE COVER (GRASS) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. A PERMANENT STABLE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION.

PAVING AND STRIPING NOTES

1. ALL WORK AND MATERIALS ON SITE SHALL BE IN ACCORDANCE WITH THE CITY DESIGN STANDARDS.
2. ALL PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
3. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER. FOR TESTING MATERIALS, PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
4. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
5. RAISED PAVEMENT MARKERS SHALL BE BONDED TO THE ROADWAY SURFACE WITH ADHESIVE CONFORMING WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE PAVEMENT UPON WHICH THE LANE AND PAVEMENT MARKERS ARE TO BE PLACED SHALL BE PREPARED TO THE APPROVAL OF THE INSPECTOR TO ENSURE PROPER CLEANING OF THE PAVEMENT SURFACE.
7. ALL TRAFFIC STRIPING AT ENTRANCE SHALL BE EXTRUDED THERMOPLASTIC MARKING MATERIAL. STANDARD PARKING STRIPING SHALL BE PAINTED WHITE.
8. SIGN LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY. THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE CITY PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LINES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AND AROUND THE BUILDING AS SHOWN ON THE PLANS.
10. CURBS ADJACENT TO FIRE LANES SHALL BE PAINTED BRIGHT RED IN COLOR FROM THE CURB'S OUTER LINE TO THE TOP, BACK OF CURB.
11. FIRE APPARATUS ACCESS ROADS SHALL BE MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW BOUNDARIES OF THE LANE. THE WORDS "NO PARKING FIRE LANE" OR "FIRE LANE NO PARKING" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AT 20 FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. CITY ORDINANCE CHAPTER 29-2 SECTION 503.3 AMENDING THE 2006 INTERNATIONAL FIRE CODE.
12. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994, AND ALL ADDENDA OR UPDATES.
13. ALL EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE.
14. CONTRACTOR SHALL CONDUCT STABILIZATION ANALYSIS OF SUBGRADE & PROVIDE A REPORT TO THE CITY AND THE CITY ENGINEER DETAILING THE RECOMMENDED AMOUNT OF LIME OR CEMENT TO BE ADDED AND THE APPROPRIATE APPLICATION & COMPACTION METHODS.

GENERAL CONSTRUCTION NOTES

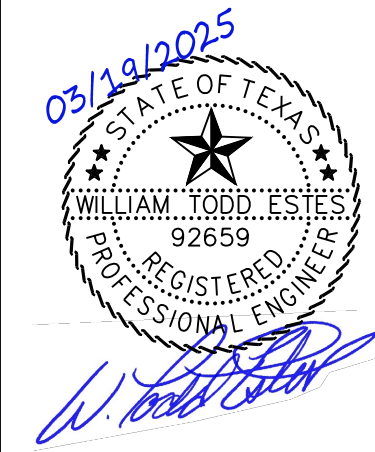
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY DESIGN STANDARDS.
2. THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS ARE CONCEPTUAL.
3. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
4. BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
5. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY RECORDS AND PLANS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
6. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
7. THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
10. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
11. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE CIVIL ENGINEER, CONTRACTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF TEXAS DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
13. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
14. CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
15. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
16. ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
17. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISE UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION. PAYMENT FOR RELOCATION AND INSTALLATION WILL BE NEGOTIATED ONCE IDENTIFIED.
18. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED, IRRIGATED, AND STABILIZED AS SPECIFIED IN THE PLANS, AND MAINTAINED UNTIL SOIL IS STABILIZED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE STABILIZED AND MULCHED AS SHOWN ON THE LANDSCAPE, GRADING, AND EROSION CONTROL PLANS.
19. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE SHOWN.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
21. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q.
22. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
23. ALL WORK ON STATE RIGHT-OF-WAY (ROW) SHALL COMPLY WITH THE TxDOT PERMIT PROVISIONS AND TxDOT STANDARDS.
24. CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
25. ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET. ALL "RECORD" SLOPES SHALL CONFORM TO THE DESIGNED SLOPES PLUS OR MINUS 0.005 FOOT/FOOT.
26. CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS AND REGULATIONS, AS WELL AS ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL HEALTH AND SAFETY STANDARDS, LAWS, OR REGULATIONS. FAILURE TO COMPLY WITH THE REQUIREMENTS SPECIFIED SHALL BE CONSIDERED JUST AND SUFFICIENT CAUSE FOR OWNER TO STOP WORK, PROVISION OF A SAFE AND HEALTHFUL WORK ENVIRONMENT INCLUDES PROVISION OF A TRENCH SAFETY SYSTEM.
27. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE PROJECT AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
28. THE CONTRACTOR SHALL SEED AND FERTILIZE ALL AREAS DISTURBED BY CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY MEASURES INCLUDING TEMPORARY IRRIGATION TO ENSURE FULL COVERAGE OF VEGETATION. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOD SIMILAR TO THAT EXISTING.

MATERIAL NOTES

1. ALL MATERIALS FURNISHED AND INSTALLED SHALL EITHER:  
a) BE AMONGST THOSE LISTED ON CITY'S PROJECT MATERIAL SUBMITTAL CHECKLISTS (IN WHICH CASE APPLICANT NEED NOT PROVIDE MATERIAL SUBMITTALS); OR  
b) BE "OR-EQUAL" MATERIALS, CONFORMING TO THE SPECIFICATIONS ON THAT CHECKLIST (IN WHICH CASE APPLICANT SHALL PROVIDE CORRESPONDING MATERIAL SUBMITTALS TO PUBLIC WORKS INSPECTION DEPT. FOR CITY'S REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.)

REV. 1
REV. 2
REV. 3
REV. 4
REV. 5

2415 N. ELM STREET  
DENTON, TEXAS 76201  
Phone (940) 380-9453  
FAX (940) 380-9431  
Texas Board of  
Professional Engineers  
Registration Number: E-7998  
info@ae-gp.com



Drawn by: JSM  
Checked by: WTE

JEFF SPRINGER  
CONSTRUCTION PLANS  
SANGER DAY CARE  
CITY OF SANGER, DENTON COUNTY, TEXAS  
GENERAL NOTES





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**SUBDIVISION APPLICATION**☒

Preliminary Plat

Minor  
Plat☐Final  
Plat/Replat  
Amended  
Plat☐Vacating  
Plat  
Conveyance  
Plat

Applicant	Owner (if different from applicant)
Name: <b>Jason Monk</b>	Name: <b>Jeff Springer</b>
Company: <b>Allison Engineering Group, Inc.</b>	Company: <b>Springer Family Rentals, LTD</b>
Address: <b>2415 N. Elm St.</b>	Address <b>1807 Westminster Street</b>
City, State, Zip: <b>Allison Engineering Group, Inc.</b>	City, State, Zip: <b>Denton, TX 76205</b>
Phone <b>940-380-9453</b>	Phone: <b>940-387-0404</b>
Fax:	Fax:
Email: <b>info@ae-grp.com; jmonk@ae-grp.com</b>	Email: <b>jeff@springer-lyle.com</b>

**Submittal Checklist**

✓	Pre-Application Conference (Date: <u>1/30/2024</u> )
✓	Application Form (Signed by Owner and Applicant)
✓	Letter of Intent
✓	Non-Refundable Application Fee (Check Payable to City of Sanger)
✓	Applicable Plat Checklist (Completed)
✓	Additional Required Documents/Traffic & Drainage Studies etc.

Supporting Materials (List if provided): \_\_\_\_\_

R Number(s): R57773 & R56810

Owner's Signature

March 18, 2025  
Date

Applicant's Signature

Date



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## SUBDIVISION PACKET

A Plat subdividing land within the city limits of Sanger or within Sanger Extraterritorial Jurisdiction (ETJ) requires the approval of the City of Sanger. The platting process involves the preparation of one or more plats by the landowner, a review by staff, and consideration by the Planning & Zoning Commission and City Council.

**PLAT TYPES:** There are seven different types of plats, each with their own function.

- Preliminary Plat – A preliminary plat is required for most subdivisions, particularly those providing for dedication of public right-of-way and construction of public improvements. It is used to determine the layout of the proposed development.
- Final Plat – A final plat will follow a preliminary plat to specify in detail the arrangement of lots, the dedication of public right-of-way, and the provision of public improvements and services.
- Replat – A replat revises an existing plat and is controlling over the preceding plat. A public hearing is required for replat.
- Minor Plat – A minor plat is one creating three lots or fewer, and not requiring the dedication of right-of-way or construction of improvements. Minor plats can be approved with the preparation of a preliminary plat.
- Amended Plat – An amended plat revises a previously platted lot to correct an error or add or modify a feature. Amending plats cannot increase the number of lots.
- Conveyance Plat – A conveyance plat may be used to convey the property or interests therein. It may also be used in lieu of a final plat to record a subdivision or property. A conveyance plat is an interim step in the subdivision of land and shall contain a notation that indicates that no development is intended.
- Vacating Plat – A vacating plat removes/vacates the plat covering a tract of land before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.

**SUBMISSION REQUIREMENTS:** The submittal requirements for each kind of plat are included in this packet.

**SUBMISSION SCHEDULE:** Plats must be submitted during regular business hours before the submittal cut-off date for each Planning and Zoning (P&Z) Commission meeting. Before the application is filed, a mandatory completeness check is required. Application are encouraged to be submitted at least 9 days prior to the submittal cut-off date for completeness check. Plat will be scheduled for P&Z Commission and for City Council according to The Schedule for Planning Applications on the City's website. Staff will provide review comments within 2 weeks of application filing. All corrections must be made prior to the P&Z Commission meeting. If more time is needed for revisions/corrections, the applicant and owner must submit a request in the form of a signed letter a week before the P&Z meeting date. Staff may extend the application review time for up to 25 days upon receipt of the signed letter.



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**APPLICATION FEES:** The non-refundable application fee covers part of the cost for the city to review and act on the plat application.

- Residential Preliminary or Final Plat / Replat
  - \$600.00 + \$10.00 lot or \$15.00 acre for lot sizes of one acre or more
- Commercial Preliminary or Final Plat / Replat
  - \$700.00 + \$15.00 per acre
- Minor Plat - \$400.00 + \$10.00 per lot, or \$15.00 per acre for lots larger than 1 acre
- Amended Plat - \$400.00 + \$10.00 per lot
- Conveyance Plat - \$400.00 + \$10.00 per lot
- Vacating Plat - \$400.00

### SUBDIVISION PROCEDURE

The process for subdividing land involved the following steps:

1. Pre-Application Conference: Prior to filing of a plat, the owner must consult with the Director of Development Services, and other City staff concerning compliance with all applicable ordinances and regulations, and the provision of adequate infrastructure and public services. Also, the applicable application review and approval procedure for the plat will be identified.
2. Completeness Check: The applicant will provide all required documents and fees along with the signed application and applicable checklist for a completeness check 9 days prior to the submittal cut-off date. Staff will review the documents for completeness of items listed on the checklists and provide feedback about any additional information or documents required from the applicant. Applications deemed to be incomplete at the time of submittal cut-off date will be returned to the applicant without the application being filed.
3. Submission: Upon determination of application completeness, the application will be considered filed with the Development Services Department. The application submittal cut-off date will be considered as the application filing date and as the first day of review of application.
4. Review: City Staff will review the plat for compliance with the Subdivision Ordinance and other city requirements, and provide comments within 2 weeks of application submittal. The applicant may need to make changes and revisions to the plat or supporting materials. The applicant must provide additional copies of the plat if requested by staff prior to the P&Z Commission and City Council meetings.





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5. Planning & Zoning Commission: The Planning & Zoning Commission will consider the plat at a regular meeting. The meeting date will be determined at the time of application filing. Staff will recommend approval of the project only if all of staff's comments have been addressed prior to P&Z meeting. If the plat is approved, it will be forwarded to the City Council. If the plat is denied, applicant may resubmit a response addressing all of staff's comments prior to City Council meeting date.
6. City Council: The City Council will consider the plat at a regular meeting. The meeting date will be determined at the time of application filing. Staff will recommend approval of the project only if all of staff's comments have been addressed prior to City Council meeting. City Council's action will be final. If the plat is denied, staff will provide written statement with specific reasons for disapproval. The applicant may resubmit a response satisfying all reasons for disapproval. Upon resubmittal of the applicant's response, City will have 15 days to either approve or deny the plat. If plat is denied again, the applicant will be required to start a new application. If approved, applicant may schedule a pre-construction meeting with City staff.
7. Filing for Recordation: Following approval by the City Council, and construction and acceptance of any required public improvements, the plat will be signed by the P&Z Chairman, Mayor, sealed by the City Secretary, and filed for record with Denton County. A Plat Execution Package containing the following must be provided to the Development Services to file the plat for record with Denton County:
  - a. three (3) full-sized (24"x36") notarized copies of the plat with all signatures (except P&Z Chairman, Mayor and City Secretary), seals, stamps or other validation/certifications of work as applicable in accordance with State law and local requirements, folded to 8.5"x11" with the title block facing outwards;
  - b. recent original certified & sealed tax certificates showing \$0.00 amount due;
  - c. \$150.00 plat filing fee;

Note: Preliminary Plats are not filed for record

Consult the Schedule of Planning Application for submittal dates and corresponding meeting dates of the Planning & Zoning Commission and City Council.



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## SUBMITTAL REQUIREMENTS & PROCESS

All plat submittals must include the correct copies of the plat, the completed and signed application form, plat checklist, the application fee, and a Letter of Intent. Some plats may also require additional copies of the plat and/or other supplementary materials. The Pre-Application Conference with city staff will determine the specific submittal requirements for each applicant.

PLAT: The applicant must will submit all items requested on the checklist on to Community Core.

APPLICATION FORM: The application form must be completed and signed by the applicant and the owner(s).

PLAT CHECKLIST: Each item on the applicable plat checklist must be check marked as completed and submitted along with the application form.

APPLICATION FEE: The required application fee must be provided by check made payable to the City of Sanger. If the submittal is complete, the payment will be accepted. If the submittal is incomplete, the check will be returned with the other materials.

LETTER OF INTENT: Each plat submittal must include a Letter of Intent which provides the following:

- The subdivider's name and address
- The contact information of the person(s) preparing the submitted documents
- The designated point of contact for future correspondence
- The intent of the plat application
- A brief description of the location, land area, particulars as to the intended use(s) of the property, and any intended future development on the property
- A request that the plat be reviewed and considered by the appropriate approval body

SUBMITTAL PROCESS: The applicant shall submit the plat application to the online portal Community Core as indicated by the Schedule of Planning Application. A plat application submittal is accepted by the City when the Director of Development Services has certified to the applicant that a complete submittal providing adequate information for a comprehensive review has been received. No plat application will be considered submitted with the city until and unless the prescribed application fees have been paid. All original plat application documents must be submitted to the Department of Development Services through Community Core.



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### PRELIMINARY PLAT CHECKLIST

The plat shall be drawn to a scale of not more than two hundred feet to the inch (1" = 200'). The information to be included and the procedure for submittal are as follows:

- ☒ Legal Description (Metes and Bounds) with total acreage
- ☒ Describe and locate all permanent survey monument, pins, and control points and tie and reference the survey corners at two points to the Texas State Plane Coordinate System North Central Zone 1983- 1999 datum. The Point of Beginning (POB) shall be clearly marked including State Plane Coordinates, NAD 83.
- ☒ An accurate location of at least two (2) corners of the subdivision with reference to original corners of the original survey of which the subdivision is a part or an existing permanent monument to an approved and recorded plat or permanent markers established by and approved by the City Engineer.
- ☒ North Arrow
- ☒ Scale (both graphic and written) appropriate for the level of detail and not more than two hundred feet to the inch (1" =200)
- ☒ Legend for any symbols used
- ☒ Location/Vicinity Map showing the location of the subject property, existing and proposed streets and thoroughfares covering an area at least one thousand feet (1,000') outside the proposed subdivision.
- ☒ Title Block with the following information:
  - 1) Plat Type (ex: "Final Plat", "Preliminary Plat", etc.)
  - 2) Name of the proposed development/addition
  - 3) Total number of lots and HOA/Open Space lots
  - 4) Survey name and abstract number
  - 5) Gross acreage
  - 6) Right-of-Way acreage, if dedicated
  - 7) Date of preparation and subsequent revisions
- ☒ Block with name(s), address, phone number, and email of preparer, owner, developer, engineer, and/or surveyor
- ☒ Existing Features:
  - 1) Location and dimension of all boundary lines (accurate in scale) with dimensions and bearings including lot lines, building lines, and City Limits lines (if any).
  - 2) The location, widths, and names of all existing or platted streets or other public areas, parks, existing permanent structures, land dedicated within or contiguous to the subject property, railroads, rights-of-way, easements, and other important features, such as abstract lines, political subdivision or



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corporation lines, and school district boundaries.

- 3) Existing sewer mains, water mains, drainage culverts or other underground structures within the tract and immediately adjacent thereto with pipe sizes, grades, locations and dimensions indicated.
- 4) Contours with intervals of two feet (2') or less, referred to mean sea level datum. In areas where the terrain is relatively flat, supplementary contours shall be shown so that the average horizontal distance between said lines does not exceed two hundred feet (200').
- 5) Subdivision name of adjacent properties (P.R.D.C.T) or ownership information for adjacent un-platted properties (D.R.D.C.T.) with recording information.
- 6) Location of existing fire hydrants and firelanes

☒ New Features:

- 1) The layout, names, and widths (from centerline to edge as well as from edge to edge) of the proposed streets, fire lanes, drives, alleys and easements.
- 2) Length and radii of all street segments
- 3) Curve table for all streets, drives, and alleys
- 4) Acreage or square footage of right-of-way dedicated should be shown, including corner clips and deceleration/turn lanes on the plat
- 5) Lot and block numbers (lot number are numbers; and block numbers are letters), square footage, and other description according to the real estate records of the city or county auditor and recorder; also, designation of the proposed uses of land within the subdivision.
- 6) All parcels of land intended to be dedicated for public use or reserved in the deeds for the use of all property owner(s) in the proposed subdivision, together with the purpose or limitations of such reservations.
- 7) The layout, numbers, set-back lines, and approximate dimensions of proposed lots, blocks, parks, etc.
- 8) Location of proposed fire hydrants and fire lanes
- 9) USPS Postmaster approved location of mailboxes (if cluster mailboxes)
- 10) Proposed building lines with square footage and proposed use
- 11) Proposed Parking layout

☒ Table showing the following information:

- 1) Listing of the lots with square footage, and the associated lot widths at the front building line
- 2) Square footage of total building footprint and of each land use (if known)
- 3) Number of required and provided parking spaces
- 4) Required and provided total landscaped area and front yard landscaped area

☒ Existing and proposed FEMA 100-year floodplain boundaries and elevation. Include minimum finished floor elevations (minimum 2 feet above the 100-year elevation) of all lots adjacent to floodplain. If the site does not contain a floodplain, note that: "No 100-year floodplain exists on the site." A Floodplain reclamation study will be required with Final Plat if necessary.

☒ Submittals for preliminary plats shall include plans, documents, and information



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adequate for the review of the provision of public improvements to the properties involved. This includes but is not limited to streets, water services, wastewater services, franchise utilities, street lighting, and stormwater detention (ex: preliminary drainage plans, preliminary utility plans, floodplain study, traffic impact study etc.).

- ☒ Two (2) copies of the typical cross-sections of proposed streets showing the width of pavement, type of pavement, and location and widths of sidewalks when not in conformance with standard details.
- ☒ Approval Block:  
The following notice shall be placed on the face of each preliminary plat by the subdivider:

**"Preliminary Plat for Review Purposes Only"**

The following certificates shall be placed on the preliminary plat by the subdivider:

Approved for Preparation of Final Plat

---

City of Sanger, TX  
Planning and Zoning

---

Date



**DATE: 4/14/25**

**1<sup>st</sup> REVIEW COMMENTS – Preliminary Plat – Sanger Daycare Addition**

The request is for a Preliminary Plat of Sanger Daycare Addition, being approximately 5.070 acres in the A1241A TIERWESTER, TR 276, 277, and 278 and MARY H SHIRLEY BLK 13, 14, and 14(S PT), prepared by KAZ Surveying, submitted on 3/19/25. Below are the comments that should be addressed before City Council approval. Resubmit the revised plat along with a response letter addressing all comments.

**Planning**

Provide the following;

1. Add -Title Block with the following information:
  - 1) Provided
  - 2) Provided
  - 3) Total number of lots and HOA/Open Space lots
  - 4) Provided
  - 5) Provided
  - 6) Right-of-Way acreage, if dedicated
  - 7) Provided
2. Existing Features:
  - 1) Provided
  - 2) Provided
  - 3) Provided
  - 4) Contours with intervals of two feet (2') or less, referred to mean sea level datum. In areas where the terrain is relatively flat, supplementary contours shall be shown so that the average horizontal distance between said lines does not exceed two hundred feet (200').
  - 5) Provided
  - 6) Location of existing fire hydrants and fire lanes



3. New Features:
  - 1) Provided
  - 2) Provided
  - 3) Provided
  - 4) Acreage or square footage of right-of-way dedicated should be shown, including corner clips and deceleration/turn lanes on the plat
  - 5) Provided.
  - 6) Provided
  - 7) Provided
  - 8) Location of proposed fire hydrants and fire lanes
  - 9) N/A
  - 10) Provided
  - 11) Provided
4. Table showing the following information:
  - 1) Listing of the lots with square footage, and the associated lot widths at the front building line
  - 2) Square footage of total building footprint and of each land use (if known)
  - 3) N/A
  - 4) N/A
5. Approval Block matching checklist.

### **Informational Comments**

1. The property is within the City of Sanger.
2. The Preliminary Plat will be scheduled for Planning and Zoning (P&Z) Commission meeting on Monday, April 14, 2025, and the City Council meeting on Monday, May 5, 2025.



April 7, 2025  
AVO 37449.004

Ms. Ramie Hammonds  
Development Services Director/Building Official  
City of Sanger  
201 Bolivar Street  
P.O. Box 1729  
Sanger, Texas 76266

**Re: Sanger Daycare - Review #1**

Dear Ms. Hammonds,

Halff was requested by the City of Sanger to review the Construction Plans for the Sanger Day Care development. The submittal was prepared by the Allison Engineering Group and was received March 25, 2025.

We have completed our review and offer the following comments:

Please address comments on attached markups and provide annotated responses on markups. Please note, not all comments are written on letter since some comments are easier to show and explain on the markups. Please annotate markup with responses. Please address all Hydrology and Hydraulics comments provided in a separate letter.

### **Overall**

1. Provide embedment details for water, sanitary sewer services, and storm drain lines installations.
2. Provide pavement repair details for water line and sanitary sewer service connections in the existing concrete Second Street.
3. Confirm sheet names and sheet numbers are labelled correctly.

### **Site and Paving Plan**

1. Consider installing "fire lane no parking" paint along this pavement edge to prevent parking from interfering with fire trucks / emergency vehicles.
2. What will keep vehicle overhang from encroaching into sidewalk? Consider widening sidewalk and/or adding wheel stops.
3. Provide geotech report to verify pavement needed.
4. Clarify where curbs are being placed!

### **Utility Plan**





1. Per ordinance 10.106(e)(2)(B)(v) Eight-inch (8") diameter or larger mains shall be installed in zoning districts commonly referred to as "commercial", "industrial", or "multifamily".... Where dead-ends must exist, eight-inch (8") diameter or larger mains shall be installed.
2. Confirm this existing 6" SS have the capacity to handle sanitary sewer demand from these lots?

If you have any questions or need additional information, please do not hesitate to call me at (817) 764-7468.

Sincerely,

A handwritten signature in black ink that reads "Keith L. Freeman".

Keith Freeman, PE

**HALFF**

Firm No. 0312

Attachments: Final Plat markups

File Name: P:\Projects\SFP2301 - Sanger Daycare Center\DWG\COVER SHEET.dwg

Save Date: Wednesday, March 19, 2025 1:04:59 PM

Plot Style Table: Allison.ctb

Printed By: Jason Mork  
Plot Date: Wednesday, March 19, 2025 1:05:48 PM

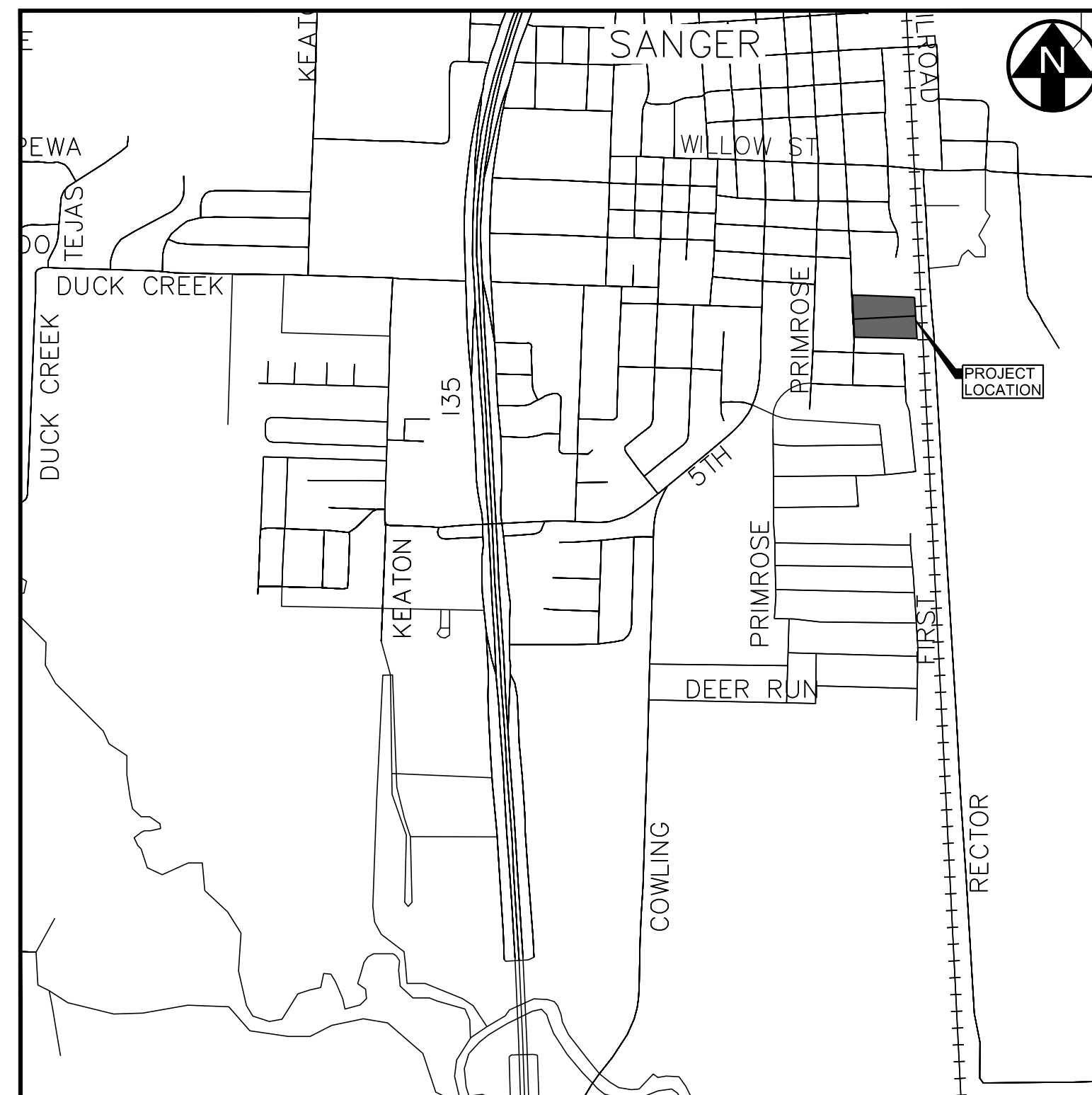
# CONSTRUCTON PLANS FOR SANGER DAY CARE CITY OF SANGER, DENTON COUNTY, TEXAS MARCH 2025

**OWNER:**  
SPRINGER FAMILY RENTALS, LLC  
1807 WESTMINSTER STREET  
DENTON, TX 76205  
(940) 387-0404  
CONTACT: JEFF SPRINGER

**ENGINEER:**  
2415 N. ELM STREET  
DENTON, TEXAS 76201  
(940) 380-9453  
WWW.AE-GRP.COM  
TBPE FIRM REG # 7898  
CONTACT: WILLIAM TODD ESTES, P.E.



**SURVEYOR:**  
KAZ SURVEYING  
4321 I-35, SUITE 575  
SANGER, TX 76240  
(940) 382-3446  
CONTACT: KENNETH A. ZOLLINGER, R.P.L.S.



VICINITY MAP  
1" = 2000'

Inlet calculations and  
STM line sheets are  
not included. Please  
provide.

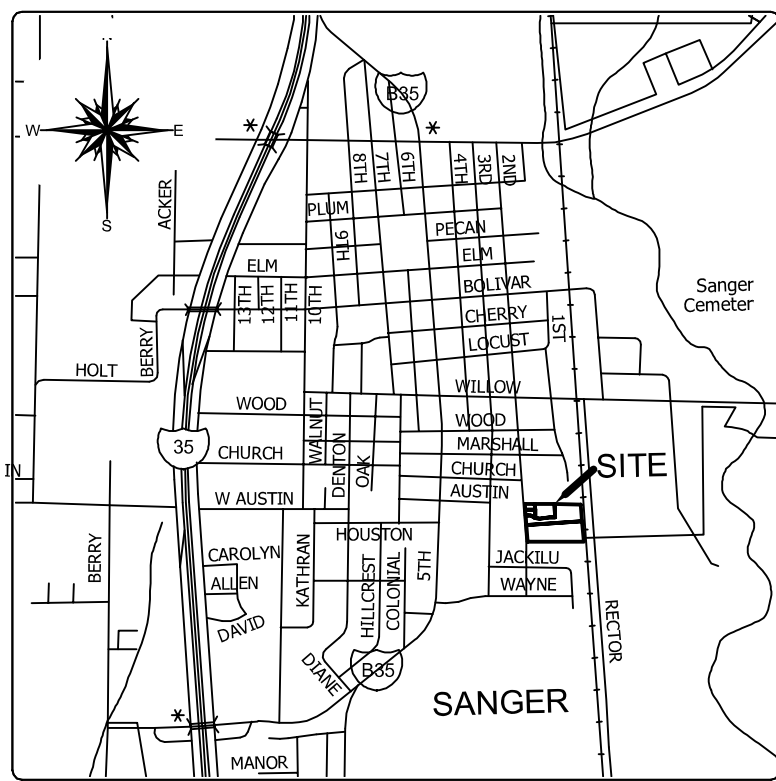
## SHEET INDEX

NO.	SHEET TITLE
00	COVER SHEET
01	FINAL PLAT
02	GENERAL NOTES
04	DRAINAGE AREA MAP
05	GRADING PLAN
06	SITE & PAVING PLAN
07	UTILITY PLAN
08	EROSION CONTROL PLAN
09	EROSION CONTROL DETAILS
10	STANDARD DETAILS - PAVING
11	STANDARD DETAILS - WATER
12	STANDARD DETAILS - SEWER



SUBMITTAL LOG		
NO.	DATE	SUBMITTAL
1.	12/09/2024	1ST SUBMITTAL -- TO CITY FOR REVIEW NOT FOR CONSTRUCTION
2.	03/19/2025	2ND SUBMITTAL -- TO CITY FOR REVIEW NOT FOR CONSTRUCTION



VICINITY MAP  
NOT TO SCALE**GENERAL NOTES:**

- ALL LOTS COMPLY WITH THE MINIMUM SIZE REQUIREMENTS OF THE ZONING DISTRICT.
- THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICABLE FEES DUE.
- ALL COMMON AREAS, DRAINAGE EASEMENTS, AND DETENTION FACILITIES WILL BE OWNED AND MAINTAINED BY THE HOA/POA. ANY COMMON AREA WITHIN THE CITY'S RIGHT-OF-WAY WILL REQUIRE A FACILITIES AGREEMENT, TO BE REVIEWED AND APPROVED BY THE CITY.
- NOTICE- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- THIS PLAT DOES NOT REMOVE EXISTING DEED RESTRICTION, IF ANY, ON THIS PROPERTY.
- MINIMUM FINISHED FLOOR ELEVATIONS ARE TO BE AT LEAST 2 FEET ABOVE THE 100-YEAR FLOOD PLAIN.
- FLOOD STATEMENT:** I HAVE REVIEWED THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF SANGER, COMMUNITY NUMBER 480786 EFFECTIVE DATE 04-18-2011 AND THAT MAP INDICATES AS SCALED, THAT THIS PROPERTY IS WITHIN "NON-SHADED ZONE X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD (500-YEAR)" AS SHOWN ON PANEL 210 G OF SAID MAP.
- THE PURPOSE OF THIS PLAT IS TO CREATE 5 LOTS OF RECORD FROM A 5.070 ACRE PARCEL OF LAND.
- BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT.
- THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS.
- PRIVATE IMPROVEMENTS MAY NOT BE BUILT UPON OR ENCRROACH ONTO EXISTING PUBLIC OR PRIVATE EASEMENTS.

Closure Report Thu Dec 5 09:37:08 2024

Northing	Eastng	Bearing	Distance
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7178468.316	2374892.537	N 88°52'34" W	576.154
7178479.616	2374316.493	N 02°48'53" W	389.910
7178869.055	2374297.347	S 88°02'41" E	100.000
7178865.643	2374397.289	S 87°59'56" E	473.369
7178848.700	2374487.354	S 03°20'15" E	381.030
7178468.316	2374892.537		

Closure Error Distance&gt; 0.00000

Total Distance&gt; 1920.463

Polyline Area: 220854 sq ft, 5.070 acres

4321 I-35 SUITE 575  
GAINESVILLE, TX 76205  
(940) 382-3446

JOB NUMBER: 230464-02  
DRAWN BY: TEP  
DATE: 1-14-2025

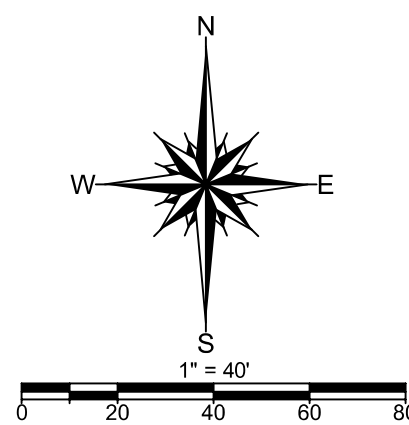
R.P.L.S.  
KENNETH A. ZOLLINGER

SURVEYOR:  
KAZ SURVEYING, INC.  
4321 I-35 SUITE 575  
DENTON, TEXAS 76205  
PHONE: 940-382-3446  
TBPLS FIRM# 10002100

OWNER:  
SPRINGER FAMILY RENTALS LTD.  
P.O. BOX 248  
SANGER, TEXAS 76266  
CONTACT: (940) 458-7758

BOUNDARY LINE TABLE			24" FIRE LANE, ACCESS & WATER EASEMENT LINE TABLE			15" SANITARY SEWER EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 88°52'34" W	17.40	L5	N 87°31'38" E	17.30	L1	N 88°52'34" W	17.40
L2	N 87°31'38" E	17.31	L6	N 88°51'46" E	97.97	L2	N 88°52'34" W	17.40
L3	N 88°51'46" E	98.00	L7	N 88°55'57" E	63.72	L3	N 88°51'46" E	98.00
L4	N 88°55'57" E	150.74	L8	N 01°04'03" W	100.00	L4	N 88°55'57" E	150.74
			L9	S 01°04'03" E	94.68			
			L10	N 87°49'56" E	25.02			
			L11	S 01°06'21" E	15.06			
			L12	S 87°56'46" W	38.44			
			L13	S 88°55'57" W	137.07			
			L14	S 88°51'46" W	97.33			
			L15	S 87°31'38" W	17.16			
			L16	N 02°48'53" W	24.00			
			L17	N 01°04'03" W	45.00			
			L18	S 01°04'03" E	45.00			

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	113.00	173.16	N 73°55'33" W	71.89
C2	87.00	16.90	S 80°56'37" E	16.87
C3	87.00	41.95	N 80°19'22" W	41.55
C4	112.00	72.51	N 73°55'33" W	71.29
C5	88.00	59.53	N 74°45'29" W	58.40
C6	25.00	39.27	S 43°55'57" W	35.36
C7	49.00	24.81	S 13°29'14" W	24.55
C8	49.00	31.88	N 70°17'45" E	31.32
C9	112.00	75.76	N 74°45'29" W	74.33
C10	88.00	56.97	S 73°55'33" E	55.88
C11	25.00	78.54	S 88°55'57" W	50.00
C12	25.00	78.54	N 88°55'57" E	50.00



LEGEND	
R.O.W.	= RIGHT-OF-WAY
FIR	= FOUND IRON ROD
FIR/CAP	= FOUND IRON ROD W/CAP
SIR/CAP	= SET IRON ROD W/CAP
CM	= CONTROLLING MONUMENT
( )	= PLAT OR DEED CALL
POB	= POINT OF BEGINNING
---	= BOUNDARY LINE
- - - -	= BUILDING LINE
- . - . -	= EASEMENT LINE
- - - - -	= ADJOINER LINE
---	= CENTERLINE
+++++	= RAILROAD

**OWNERS CERTIFICATION:**

WHEREAS SPRINGER FAMILY RENTALS LTD. IS THE OWNER OF ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE HENRY TIERWESTER SURVEY, ABSTRACT NUMBER 1241 DENTON COUNTY, TEXAS AND BEING ALL OF A CALLED 5.062 ACRE TRACT OF LAND DESCRIBED IN DEED TO SPRINGER FAMILY RENTALS, LTD RECORDED IN DOCUMENT NUMBER 2015-68194, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS AND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A 1/2 INCH CAPPED IRON ROD FOUND MAINTAINING THE SOUTHEAST CORNER OF SAID 5.062 ACRE TRACT, THE NORTHEAST CORNER OF V.H. WARD JR. SUBDIVISION, BLOCK 2, AN ADDITION IN THE CITY OF SANGER, TEXAS AS SHOWN BY PLAT OF RECORD IN CABINET A, SLIDE 142, PLAT RECORDS, DENTON COUNTY, TEXAS, AND IN THE WEST LINE OF BURLINGTON NORTHERN, SANTA FE RAILROAD;

**THENCE** NORTH 88 DEGREES 52 MINUTES 34 SECONDS WEST, ALONG THE SOUTH LINE OF SAID 5.062 ACRE TRACT, AND THE NORTH LINE OF SAID BLOCK 2, A DISTANCE OF 576.15 FEET TO A CAPPED IRON ROD SET STAMPED "KAZ" FOR THE SOUTHWEST CORNER OF SAID 5.062 ACRE TRACT, IN THE EAST RIGHT OF WAY LINE OF SECOND STREET, FROM WHICH A 1/2 INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF LOT 1, BLOCK 2, OF SAID V.H. WARD JR. SUBDIVISION, BEARS NORTH 88 DEGREES 52 MINUTES 34 SECONDS WEST, A DISTANCE OF 17.40 FEET;

**THENCE** NORTH 02 DEGREES 48 MINUTES 53 SECONDS WEST, ALONG THE WEST LINE OF SAID 5.062 ACRE TRACT AND SAID EAST RIGHT-OF-WAY LINE, DISTANCE OF 389.91 FEET TO A CAPPED IRON ROD SET STAMPED "KAZ" FOR THE NORTHWEST CORNER OF SAID 5.062 ACRE TRACT AND THE SOUTHWEST CORNER OF A "FIRST TRACT" OF LAND CONVEYED TO STEVE HOLLINGSWORTH AND BARARA H. MARTIN, CO TRUSTEES IN DOCUMENT NUMBER 1007-105088 OF SAID REAL PROPERTY RECORDS;

**THENCE** SOUTH 88 DEGREES 02 MINUTES 41 SECONDS EAST, ALONG THE NORTH LINE OF SAID 5.062 ACRE TRACT AND THE SOUTH LINE OF SAID "FIRST TRACT", A DISTANCE OF 100.00 FEET TO A 1/2 INCH CAPPED IRON ROD SET STAMPED "KAZ" FOR THE SOUTHEAST CORNER OF SAID "FIRST TRACT" AND THE SOUTHWEST CORNER OF A 3.390 ACRE "SECOND TRACT" OF LAND CONVEYED TO STEVE HOLLINGSWORTH AND BARARA H. MARTIN, CO TRUSTEES IN DOCUMENT NUMBER 1007-105088 OF SAID REAL PROPERTY RECORDS;

**THENCE** SOUTH 87 DEGREES 56 MINUTES 56 SECONDS EAST, ALONG THE NORTH LINE OF SAID 5.062 ACRE TRACT AND THE SOUTH LINE OF SAID 3.390 ACRE "SECOND TRACT", A DISTANCE OF 473.37 FEET TO A 1/2 INCH IRON ROD FOUND MAINTAINING THE NORTHEAST CORNER OF SAID 5.062 ACRE TRACT, THE SOUTHEAST CORNER OF SAID 3.390 ACRE "SECOND TRACT", AND IN THE WEST LINE OF SAID BURLINGTON NORTHERN, SANTA FE RAILROAD;

**THENCE** SOUTH 03 DEGREES 20 MINUTES 15 SECONDS EAST, ALONG THE EAST LINE OF SAID 5.062 ACRE TRACT AND THE WEST LINE OF SAID BURLINGTON NORTHERN, SANTA FE RAILROAD, A DISTANCE OF 381.03 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 5.070 ACRES OF LAND, MORE OR LESS.

**OWNER'S DEDICATION**

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, SPRINGER FAMILY RENTALS, LTD., through it duly sworn representative, does hereby adopt this Final Plat, designating the hereinabove described property as SANGER DAYCARE ADDITION, an addition to the City of Sanger, Texas, and do hereby dedicate to public use forever by fee simply title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, dive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all items in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to a access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

JEFF SPRINGER DATE  
REPRESENTATIVE SPRINGER FAMILY RENTALS, LTD.

STATE OF TEXAS  
COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **JEFF SPRINGER**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC, DENTON COUNTY, TEXAS.

MY COMMISSION EXPIRES \_\_\_\_\_.

**CERTIFICATE OF SURVEYOR**

STATE OF TEXAS  
COUNTY OF DENTON

I, KENNETH A. ZOLLINGER, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AND ACTUAL SURVEY MADE ON THE GROUND AND THAT THE MONUMENTS SHOWN HEREON WERE FOUND OR PLACED WITH 1/2" IRON RODS CAPPED "KAZ" UNDER MY DIRECTION AND SUPERVISION IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF SANGER, DENTON COUNTY, TEXAS.

KENNETH A. ZOLLINGER, P.L.S. # 5312 DATE \_\_\_\_\_

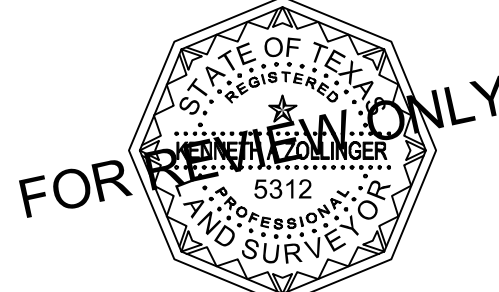
STATE OF TEXAS  
COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KENNETH A. ZOLLINGER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC, DENTON COUNTY, TEXAS.

MY COMMISSION EXPIRES \_\_\_\_\_.

**\*APPROVED AND ACCEPTED**

CHAIRMAN, PLANNING & ZONING COMMISSION  
CITY OF SANGER, TEXAS

MAYOR

CITY OF SANGER

ATTESTED BY

CITY SECRETARY

CITY OF SANGER, TEXAS

DATE

DATE

DATE

FINAL PLAT  
LOTS 1-5, BLOCK A  
SANGER DAYCARE ADDITION  
BEING 5.070 ACRES  
IN THE HENRY TIERWESTER SURVEY,  
ABSTRACT NUMBER 1241,  
IN THE CITY OF SANGER,  
DENTON COUNTY, TEXAS

DATE OF PLAT 1-14-2025

**APPROVAL BLOCK**



GRADING NOTES

1. A GRADING PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THIS PERMIT AND PAYING ALL ASSOCIATED FEES.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.
3. ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE. ADD 6-INCHES TO SPOT GRADES SHOWN, FOR TOP OF CURB ELEVATIONS.
4. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR FIELD ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE ARE ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING. IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
6. ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY, AND DISPOSED OF BY THE CONTRACTOR, OFF SITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
7. ALL AREAS DISTURBED BY GRADING OPERATIONS SHALL BE SEEDED, TEMPORARILY IRRIGATED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 70% MINIMUM DENSITY, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE, IS ACHIEVED.
8. THE GRADING CONTRACTOR SHALL COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
9. THE CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES TO DETERMINE THEIR BID. ANY DEVIATION FROM A BALANCED CUT AND FILL SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND ANY VARIANCE SHALL BE SPECIFICALLY ITEMIZED ON THE BID.

WATER AND SANITARY SEWER NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WHERE PROPOSED UTILITIES ARE BEING CONNECTED, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN, COORDINATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING AND/OR CROSSING OTHER UTILITIES.
3. ALL WATER AND SANITARY SEWER SERVICES SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING UNLESS OTHERWISE NOTED AND THE END OF THESE SERVICES SHALL BE TIGHTLY PLUGGED OR CAPPED. SEE M.E.P. OR ARCHITECTURAL PLANS FOR CONTINUATION.
4. ALL FIRE LINES SHALL CONFORM TO THE CITY DESIGN CRITERIA.
5. ALL APPURTENANCES USED FOR FIRE PROTECTION SHALL CONFORM TO THE CURRENT CITY DESIGN STANDARDS.
6. FOR PIPES 12" AND SMALLER IN THE PROPOSED OR EXISTING PAVEMENT, DEPTH OF OVER SHALL BE 42", FOR 12" AND SMALLER WATER MAIN IN AREAS WITHOUT PERMANENT PAVING SURFACES WITH BASE, THE MINIMUM DEPTH OF COVER SHALL BE 5 FEET.
7. ALL SANITARY SEWER LINES SHALL BE A MINIMUM OF PVC (SDR-35) PIPE, ALL SANITARY SEWER LINES DEEPER THAN 12 FEET SHALL BE SDR-26. ALL WATER LINES 12" AND SMALLER SHALL BE C900, DR-14 PVC.
8. THE CONTRACTOR SHALL SEQUENCE CONSTRUCTION TO AVOID INTERRUPTION OF WATER AND SANITARY SEWER SERVICE TO SURROUNDING AREAS.
9. EXISTING AND/OR PROPOSED WATER MAINS SHALL BE LOWERED BELOW OR ABOVE PROPOSED SANITARY AND STORM SEWER LINES TO MAINTAIN A MINIMUM OF 2.0 FEET OR VERTICAL SEPARATION. CONTRACTOR TO MAINTAIN MINIMUM 9'-FEET (OUTSIDE TO OUTSIDE) SEPARATION BETWEEN SANITARY SEWER, WATER AND STORM SEWER MAIN. FIRE HYDRANTS ARE NOT TO BE INSTALLED CLOSER THAN 9 FEET TO ANY WASTEWATER MAIN OR APPURTENANCE.
10. EXISTING MANHOLE TOPS, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER UTILITY APPURTENANCES SHALL BE ADJUSTED, AS REQUIRED, TO MATCH PROPOSED GRADES AS SHOWN ON GRADING PLAN.
11. CONTRACTOR SHALL CONTACT NECESSARY FRANCHISE UTILITY COMPANIES PRIOR TO CONSTRUCTION, IN ORDER TO LOCATE AND/OR DISCONNECT SERVICES.
12. FOR EACH SEWER AND WATER CROSSING, CENTER ONE JOINT OF SEWER PIPE ON THE EXISTING OR PROPOSED WATER MAIN.
13. ALL VALVES AND FITTINGS SHALL HAVE MEGALUG ANCHORS.
14. ALL CONNECTIONS TO EXISTING WATER MAINS SHALL BE DONE BY CITY PERSONNEL AT THE CONTRACTOR'S EXPENSE.
15. CONTRACTOR TO COORDINATE WATER SERVICES AND METERS WITH THE MEP PLANS FOR EACH BUILDING.
16. CONTRACTOR TO COORDINATE IRRIGATION SERVICES AND METERS WITH THE LANDSCAPE AND IRRIGATION PLANS.

TRAFFIC CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS, AT LEAST 48 HOURS PRIOR TO ANY WORK IN A CITY RIGHT-OF-WAY.
2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST VERSION.
3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
4. THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
5. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.
6. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, MOST RECENT EDITION WITH REVISIONS) DURING CONSTRUCTION.
7. APPROVED COPIES OF "TRAFFIC CONTROL PLANS" AND LANE/SIDEWALK CLOSURE PERMITS SHALL BE AVAILABLE FOR INSPECTION AT JOB SITE AT ALL TIMES.

EROSION CONTROL NOTES

1. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND A STAND OF GRASS IS ESTABLISHED WITH 70% COVERAGE ACHIEVED.
2. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH TOPSOIL AND VEGETATION.
3. ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE SEEDED AND IRRIGATED UNTIL A PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE.
4. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES AND OBTAIN APPROPRIATE PERMITS ASSOCIATED WITH THE PROJECT. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE AND THE ESTABLISHMENT OF A STAND OF GRASS WITH 70% COVERAGE TO PREVENT EROSION. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS.
5. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
6. CONSTRUCTION ENTRANCE:  
MINIMUM SIZE STONE: 3 INCH DIAMETER  
THICKNESS: NOT LESS THAN 8 INCHES  
A: NOT LESS THAN 50 FEET  
B: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.  
MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS
7. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
8. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF SITE IMPACTS OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY.
11. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS OFF SITE FROM THE EXISTING ROADWAYS AND PROJECT SITE THAT ARE A RESULT OF THE PROPOSED CONSTRUCTION AS REQUESTED BY THE CITY.
12. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
13. CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
14. CONTRACTOR SHALL PROMOTE AND PROVIDE FOR A HEALTHY ESTABLISHMENT OF TURF GRASSES WHILE KEEPING IRRIGATION TO A MINIMUM IN ORDER TO REDUCE EROSION FROM SURFACE RUNOFF.
15. SOD OR SEED MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES AFTER FINAL GRADING AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
16. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q.
17. THE CONTRACTOR MUST CONSTRUCT AND MAINTAIN A PERMANENT STABLE PROTECTIVE COVER (GRASS) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. A PERMANENT STABLE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION.

PAVING AND STRIPING NOTES

1. ALL WORK AND MATERIALS ON SITE SHALL BE IN ACCORDANCE WITH THE CITY DESIGN STANDARDS.
2. ALL PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
3. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER. FOR TESTING MATERIALS, PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
4. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
5. RAISED PAVEMENT MARKERS SHALL BE BONDED TO THE ROADWAY SURFACE WITH ADHESIVE CONFORMING WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE PAVEMENT UPON WHICH THE LANE AND PAVEMENT MARKERS ARE TO BE PLACED SHALL BE PREPARED TO THE APPROVAL OF THE INSPECTOR TO ENSURE PROPER CLEANING OF THE PAVEMENT SURFACE.
7. ALL TRAFFIC STRIPING AT ENTRANCE SHALL BE EXTRUDED THERMOPLASTIC MARKING MATERIAL. STANDARD PARKING STRIPING SHALL BE PAINTED WHITE.
8. SIGN LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY. THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE CITY PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LINES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AND AROUND THE BUILDING AS SHOWN ON THE PLANS.
10. CURBS ADJACENT TO FIRE LANES SHALL BE PAINTED BRIGHT RED IN COLOR FROM THE CURB'S OUTER LINE TO THE TOP, BACK OF CURB.
11. FIRE APPARATUS ACCESS ROADS SHALL BE MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW BOUNDARIES OF THE LANE. THE WORDS "NO PARKING FIRE LANE" OR "FIRE LANE NO PARKING" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AT 20 FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. CITY ORDINANCE CHAPTER 29-2 SECTION 503.3 AMENDING THE 2006 INTERNATIONAL FIRE CODE.
12. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994, AND ALL ADDENDA OR UPDATES.
13. ALL EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE.
14. CONTRACTOR SHALL CONDUCT STABILIZATION ANALYSIS OF SUBGRADE & PROVIDE A REPORT TO THE CITY AND THE CITY ENGINEER DETAILING THE RECOMMENDED AMOUNT OF LIME OR CEMENT TO BE ADDED AND THE APPROPRIATE APPLICATION & COMPACTION METHODS.

GENERAL CONSTRUCTION NOTES

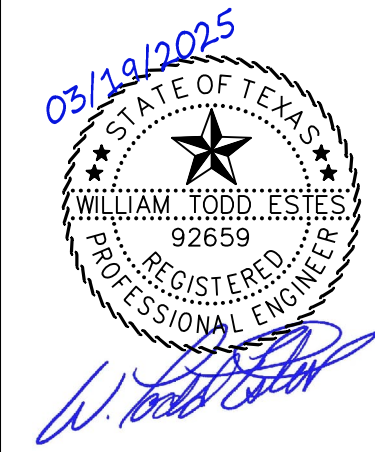
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY DESIGN STANDARDS.
2. THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS ARE CONCEPTUAL.
3. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
4. BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
5. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY RECORDS AND PLANS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
6. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
7. THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
10. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
11. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE CIVIL ENGINEER, CONTRACTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF TEXAS DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
13. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
14. CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
15. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
16. ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
17. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISE UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION. PAYMENT FOR RELOCATION AND INSTALLATION WILL BE NEGOTIATED ONCE IDENTIFIED.
18. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED, IRRIGATED, AND STABILIZED AS SPECIFIED IN THE PLANS, AND MAINTAINED UNTIL SOIL IS STABILIZED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE STABILIZED AND MULCHED AS SHOWN ON THE LANDSCAPE, GRADING, AND EROSION CONTROL PLANS.
19. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE SHOWN.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
21. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q.
22. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
23. ALL WORK ON STATE RIGHT-OF-WAY (ROW) SHALL COMPLY WITH THE TxDOT PERMIT PROVISIONS AND TxDOT STANDARDS.
24. CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
25. ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET. ALL "RECORD" SLOPES SHALL CONFORM TO THE DESIGNED SLOPES PLUS OR MINUS 0.005 FOOT/FOOT.
26. CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS AND REGULATIONS, AS WELL AS ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL HEALTH AND SAFETY STANDARDS, LAWS, OR REGULATIONS. FAILURE TO COMPLY WITH THE REQUIREMENTS SPECIFIED SHALL BE CONSIDERED JUST AND SUFFICIENT CAUSE FOR OWNER TO STOP WORK, PROVISION OF A SAFE AND HEALTHFUL WORK ENVIRONMENT INCLUDES PROVISION OF A TRENCH SAFETY SYSTEM.
27. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE PROJECT AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
28. THE CONTRACTOR SHALL SEED AND FERTILIZE ALL AREAS DISTURBED BY CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY MEASURES INCLUDING TEMPORARY IRRIGATION TO ENSURE FULL COVERAGE OF VEGETATION. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOD SIMILAR TO THAT EXISTING.

MATERIAL NOTES

1. ALL MATERIALS FURNISHED AND INSTALLED SHALL EITHER:  
a) BE AMONGST THOSE LISTED ON CITY'S PROJECT MATERIAL SUBMITTAL CHECKLISTS (IN WHICH CASE APPLICANT NEED NOT PROVIDE MATERIAL SUBMITTALS); OR  
b) BE "OR-EQUAL" MATERIALS, CONFORMING TO THE SPECIFICATIONS ON THAT CHECKLIST (IN WHICH CASE APPLICANT SHALL PROVIDE CORRESPONDING MATERIAL SUBMITTALS TO PUBLIC WORKS INSPECTION DEPT. FOR CITY'S REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.)

REV. 1
REV. 2
REV. 3
REV. 4
REV. 5

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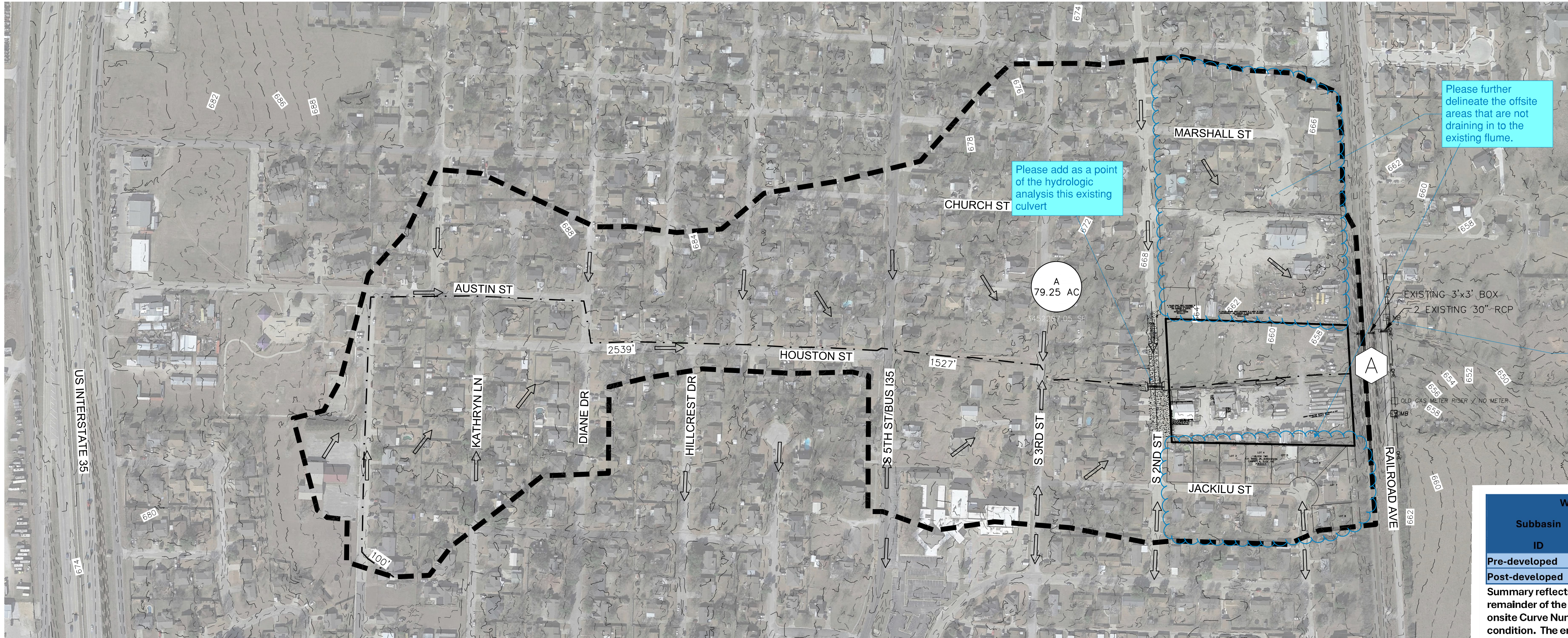


Drawn by: JSM  
Checked by: WTE

JEFF SPRINGER  
CONSTRUCTION PLANS  
SANGER DAY CARE  
CITY OF SANGER, DENTON COUNTY, TEXAS

GENERAL NOTES





Watershed Response Summary (HEC-HMS Results)							
Subbasin ID	Total Area (acres)	Q2 (cfs)	Q5 (cfs)	Q10 (cfs)	Q25 (cfs)	Q50 (cfs)	Q100 (cfs)
Pre-developed	79.25	143.80	189.94	229.12	284.95	328.37	374.32
Post-developed	79.25	143.80	189.94	229.12	284.95	328.37	374.32

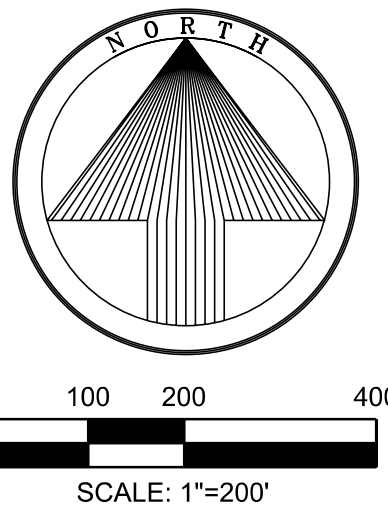
Summary reflects the change in Curve Number for the onsite area only as the remainder of the watershed is currently in the ultimate developed condition. The onsite Curve Number changed from 86 in the existing condition to 92 in the proposed condition. The entire watershed is in soils with a hydrologic soil group of D.

NOTE:  
ENGINEER USED HEC HMS UNIT HYDROGRAPH METHODOLOGY (SCS SYNTHETIC STORM) TO CONFIRM THAT DETENTION IS NOT REQUIRED. PRE AND POST DEVELOPED FLOW FOR THE ENTIRE BASIN SHOW NO INCREASE IN PEAK FLOW TO THE CROSSING UNDER THE RAILROAD AND DOWNSTREAM. THIS IS DUE TO THE DIFFERENTIAL TIMING OF THE HYDROGRAPHS. THE OFFSITE PEAK FLOWS ARRIVE AT THE CULVERT UNDER THE RAILROAD SIGNIFICANTLY LATER THAN THE ONSITE PEAK FLOWS, WHICH GIVE NO NET INCREASE IN PEAK DISCHARGE DOWNSTREAM OF THE RAILROAD

Approval pending. A drainage study should be included showing all the appropriate calculations. The hydrology model and all appropriate supporting files should be included with the submittal package.

BENCHMARK TABLE  
BM #1  
1/2" FIR/CAP  
N: 7,178,468.18  
E: 2,374,892.46  
Z: 662.29  
NAD 83

BM #2 SOUTHEAST CORNER HEADWALL  
N: 7,178,642.13  
E: 2,374,242.47  
Z: 664.62  
NAD 83



LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE DIVIDE
- MAJOR BASIN
- TIME OF CONCENTRATION LINE WITH LENGTH
- FLOW ARROW
- DRAINAGE AREA LABEL
- DESIGN POINT

Calculations should be provided for existing culverts showing that appropriate capacity exists.

Please further delineate the offsite areas that are not draining in to the existing flume.


Please add as a point of the hydrologic analysis this existing culvert



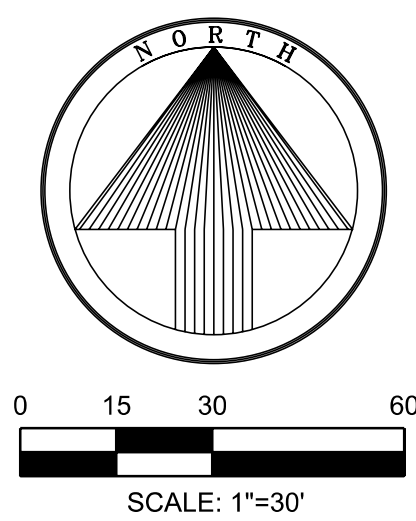
SITE RUNOFF CALCULATIONS FOR MODIFIED RATIONAL METHOD STORAGE CALCULATIONS															
	Area	Ca	Td	I2	Q2	I5	Q5	I10	Q10	I25	Q25	I50	Q50	I100	Q100
	(acres)		(min)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)
Pre-developed	2.6701	0.3	12	4.05	3.25	5.23	4.19	6.11	4.89	7.24	5.80	8.07	6.47	8.89	7.12
Post-developed	2.6701	0.75	10	4.35	8.71	5.62	11.25	6.56	13.14	7.79	15.60	8.69	17.40	9.57	19.16

NOTE:  
ENGINEER USED HEC HMS UNIT HYDROGRAPH METHODOLOGY (SCS SYNTHETIC STORM) TO CONFIRM THAT DETENTION IS NOT REQUIRED. PRE AND POST DEVELOPED FLOW FOR THE ENTIRE BASIN SHOW NO INCREASE IN PEAK FLOW TO THE CROSSING UNDER THE RAILROAD AND DOWNSTREAM. THIS IS DUE TO THE DIFFERENTIAL TIMING OF THE HYDROGRAPHS. THE OFFSITE PEAK FLOWS ARRIVE AT THE CULVERT UNDER THE RAILROAD SIGNIFICANTLY LATER THAN THE ONSITE PEAK FLOWS, WHICH GIVE NO NET INCREASE IN PEAK DISCHARGE DOWNSTREAM OF THE RAILROAD

CAUTION!!



EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF ANY CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.

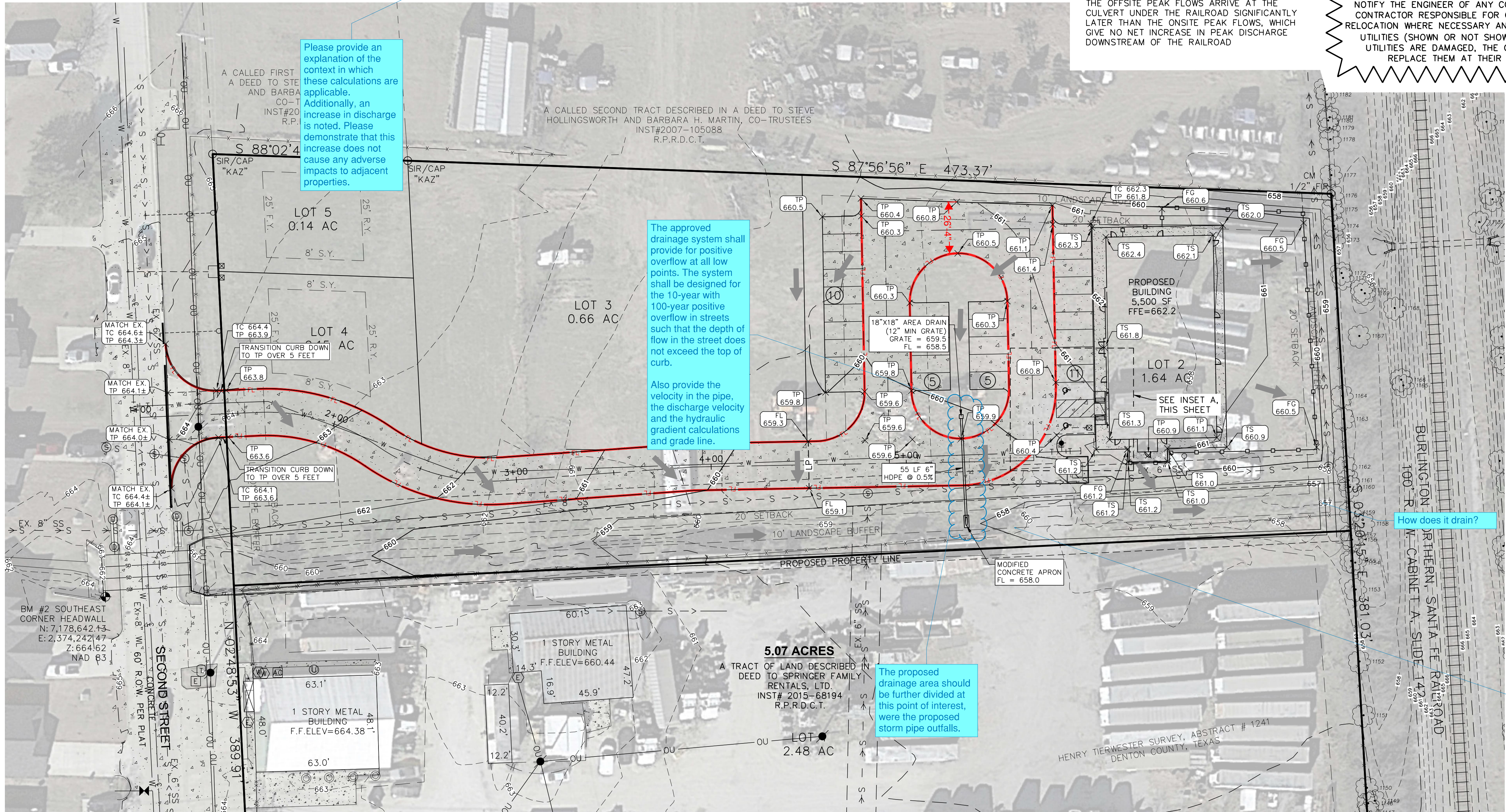


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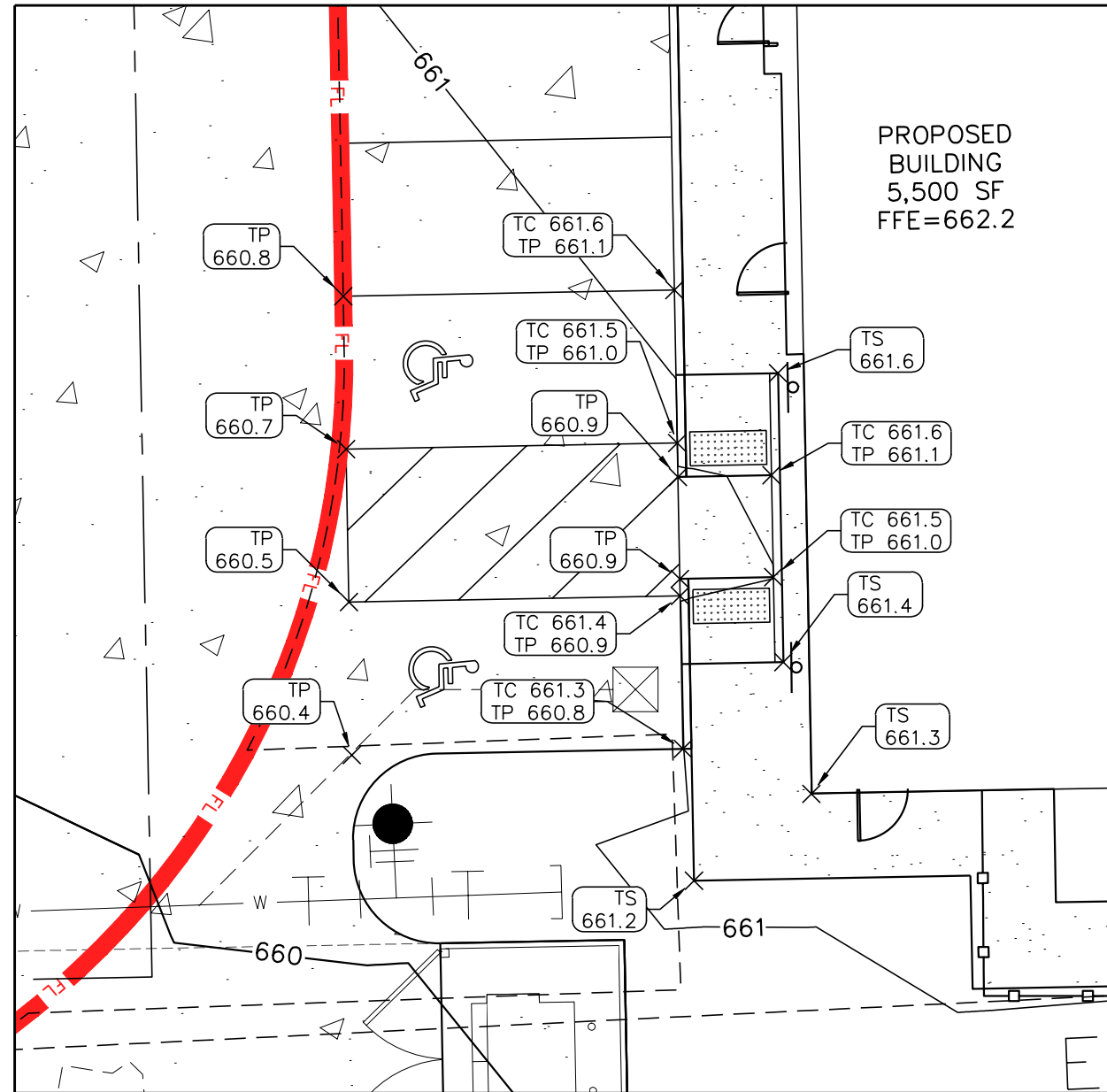
LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- HIGH POINT LINE
- LOW POINT LINE
- DRAINAGE FLOW ARROW
- TOP OF PAVEMENT ELEVATION
- TOP OF SIDEWALK ELEVATION
- FINISHED GROUND ELEVATION
- FLOWLINE ELEVATION
- TOP OF CURB ELEVATION/ TOP OF PAVEMENT ELEVATION
- MATCH EXISTING GROUND



How does it drain?

If the natural channel is to be replaced by an improved channel, the flow from the 100-year design flood must be contained within the improved channel while allowing for one (1) foot of freeboard. Hydraulic calculations should be included for existing ditch, showing no adverse impacts from proposed site.



INSET A  
SCALE: 1"=10'

REV. 1

REV. 2

REV. 3


REV. 4

REV. 5


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Planning Communities - Designing the Systems That Serve Them



03/19/2025

Drawn by: JSM  
Checked by: WTE

JEFF SPRINGER  
CONSTRUCTION PLANS

SANGER DAY CARE

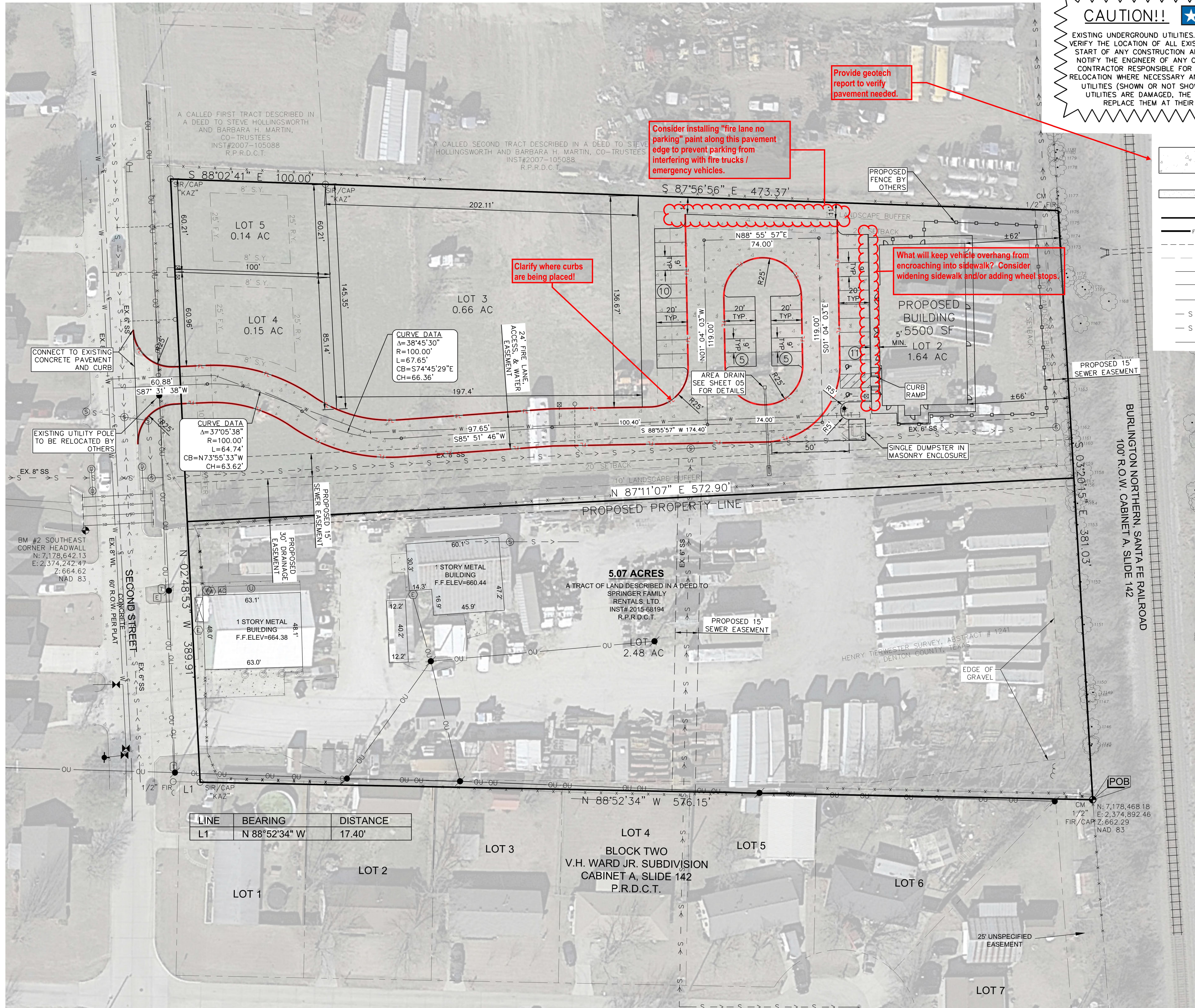
CITY OF SANGER, DENTON COUNTY, TEXAS

GRADING PLAN

Job: SFP2301

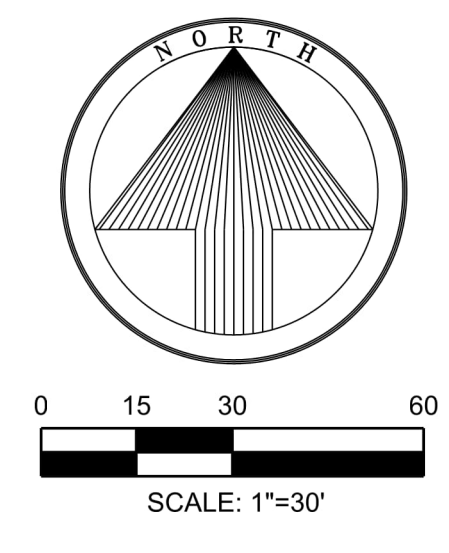
SHEET 05





**CAUTION!!**

EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF ANY CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.



- LEGEND**
- PROPOSED 6" 3,600 PSI CONCRETE PAVEMENT REINF. WITH #3 BARS @ 18" O.C.E.W. ON COMPACTED SUB-BASE (PER CITY STD. OR PER GEOTECH)
  - PROPOSED 4" 3,000 PSI CONCRETE SIDEWALK WITH #3 BARS @ 24" O.C.E.W. (PER CITY STD. OR PER GEOTECH)
  - PROPERTY LINE
  - PROPOSED FIRE LANE STRIPING
  - PROPOSED EASEMENT
  - PROPOSED SETBACK
  - EXISTING WATER LINE
  - EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING SANITARY SEWER LINE
  - EXISTING SANITARY SEWER MANHOLE
  - EXISTING OVERHEAD UTILITIES

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**Allison Engineering Group**

Planning Communities - Designing the Systems That Serve Them

03/19/2025

STATE OF TEXAS

WILLIAM TODD ESTES

REGISTERED PROFESSIONAL ENGINEER

92659

W. Todd Estes

Drawn by: JSM  
Checked by: WTE

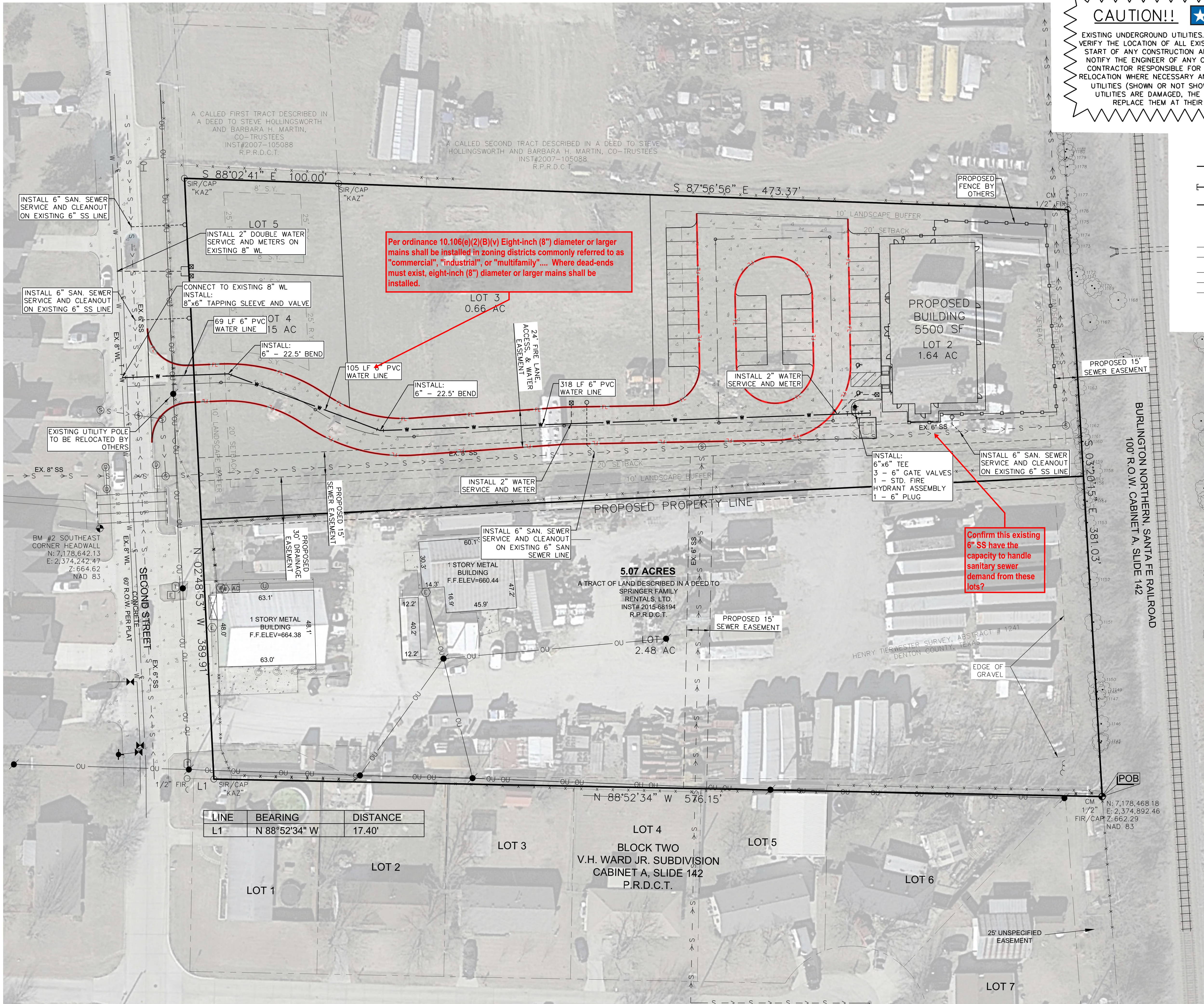
JEFF SPRINGER  
CONSTRUCTION PLANS  
**SANGER DAY CARE**  
CITY OF SANGER, DENTON COUNTY, TEXAS

**SITE & PAVING PLAN**

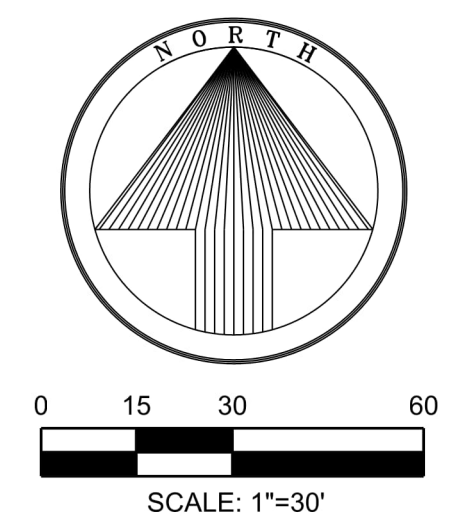
Job: SFP2301

**SHEET 06**





**CAUTION!!**   
EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF ANY CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.



- LEGEND**
- PROPOSED WATER LINE WITH GATE VALVE
  - PROPOSED WATER LINE PLUG AND TEE
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER SERVICE WITH METER
  - PROPOSED SANITARY SEWER SERVICE WITH CLEANOUT
  - EXISTING WATER LINE
  - EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING SANITARY SEWER LINE
  - EXISTING SANITARY SEWER MANHOLE

**BENCHMARK TABLE**

BM #1	1/2" FIR/CAP
N: 7,178,468.18	E: 2,374,892.46
Z: 662.29	NAD 83
BM #2	SOUTHEAST CORNER HEADWALL
N: 7,178,642.13	E: 2,374,242.47
Z: 664.62	NAD 83

REV. 1  
REV. 2  
REV. 3  
REV. 4  
REV. 5

2415 N. ELM STREET  
DENTON, TEXAS 76201  
Phone (940) 380-9453  
FAX (940) 380-9431  
Texas Board of Professional Engineers  
Registration Number: E-7898  
info@ae-grp.com

Planning Communities - Designing the Systems That Serve Them

03/19/2025

Drawn by: JSM  
Checked by: WTE

JEFF SPRINGER  
CONSTRUCTION PLANS  
SANGER DAY CARE  
CITY OF SANGER, DENTON COUNTY, TEXAS

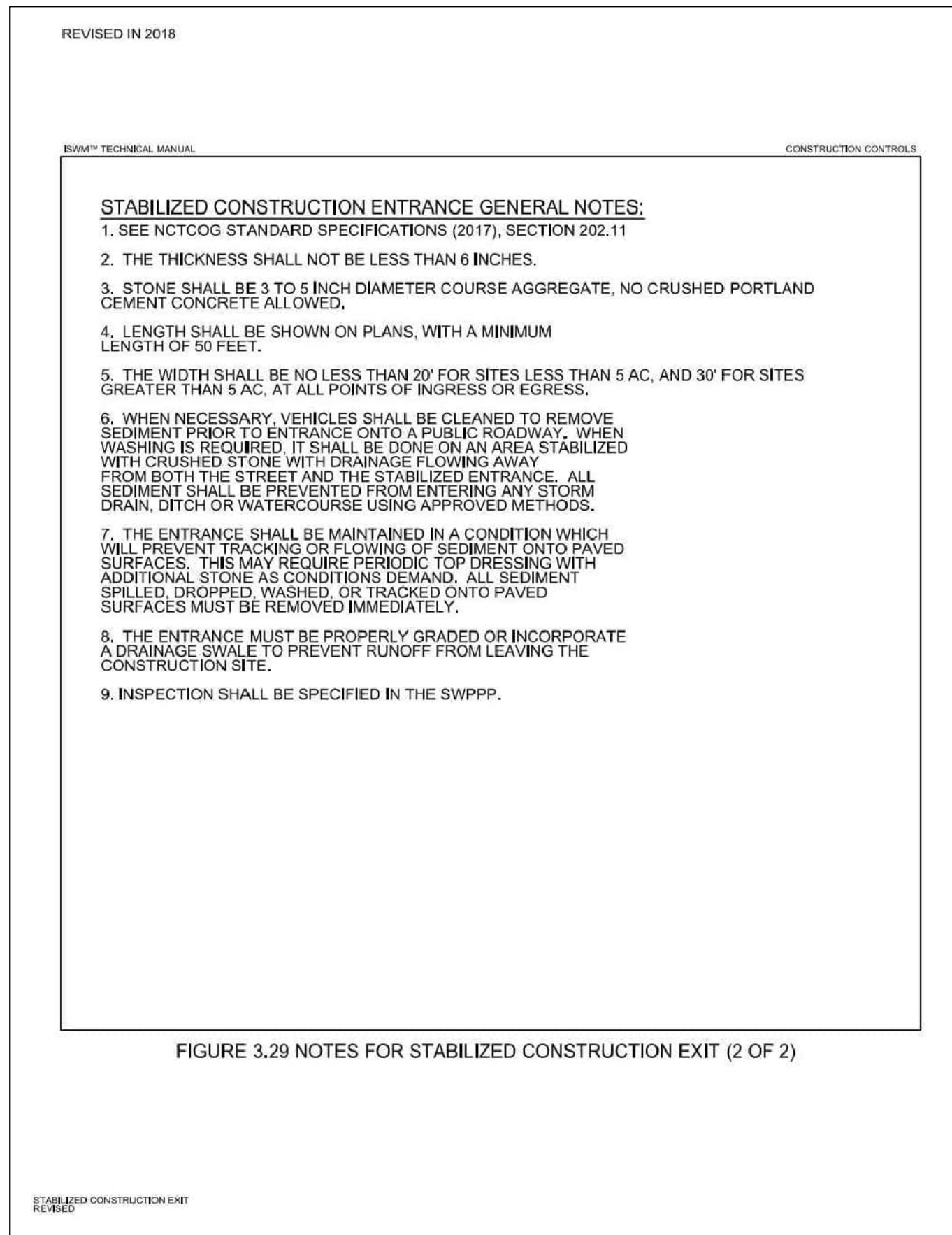
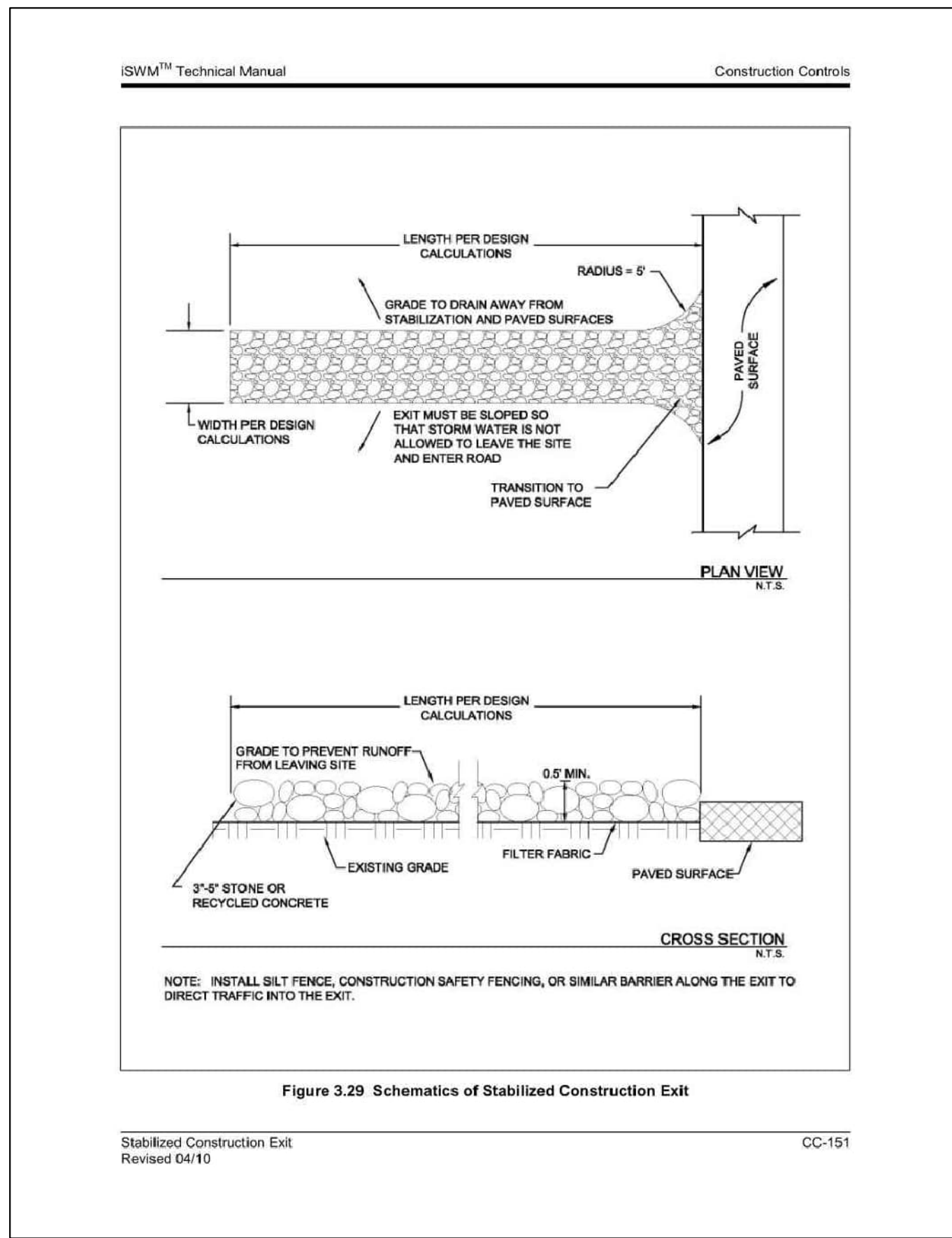
UTILITY PLAN

Job: SFP2301  
SHEET  
07

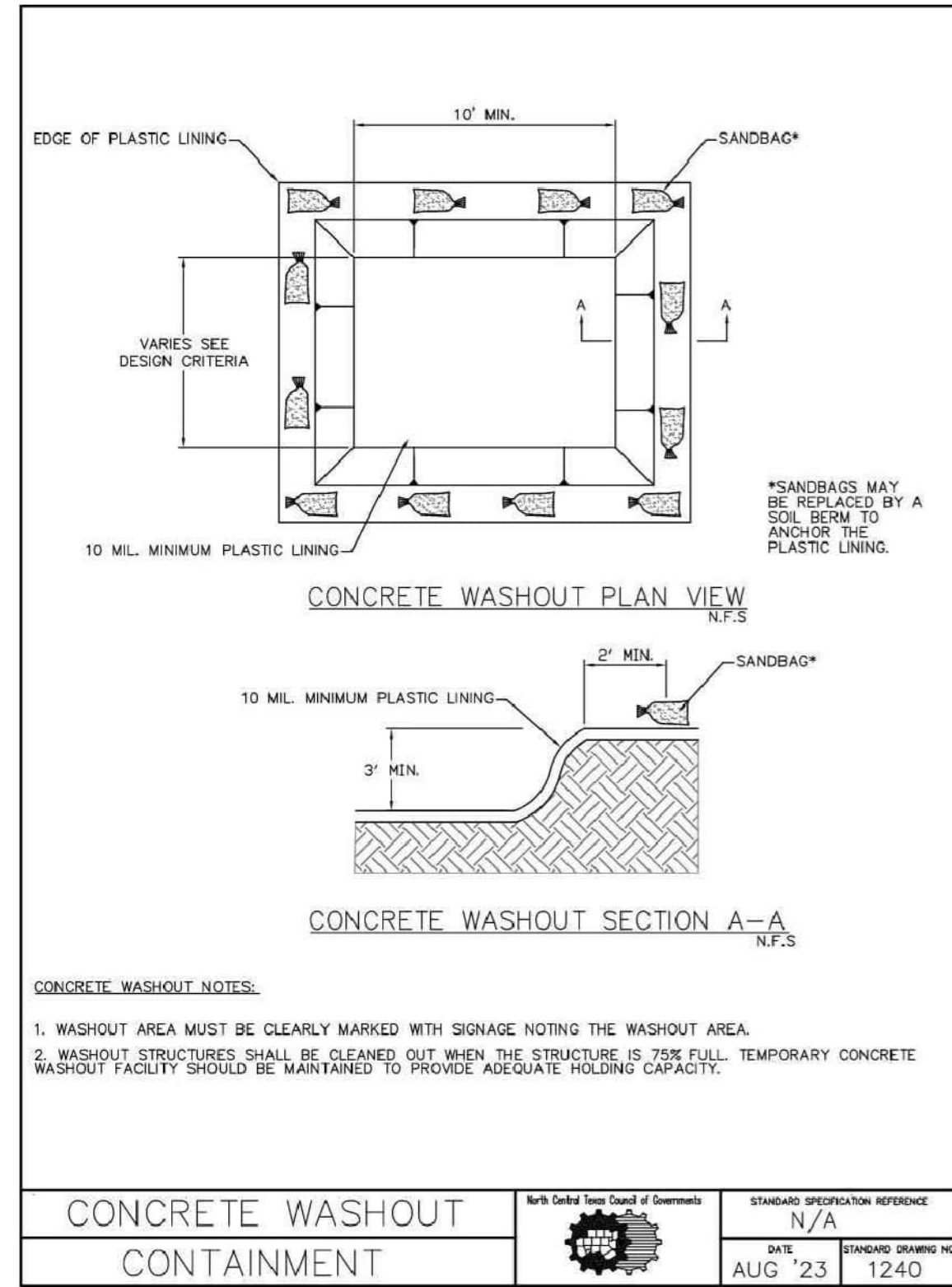
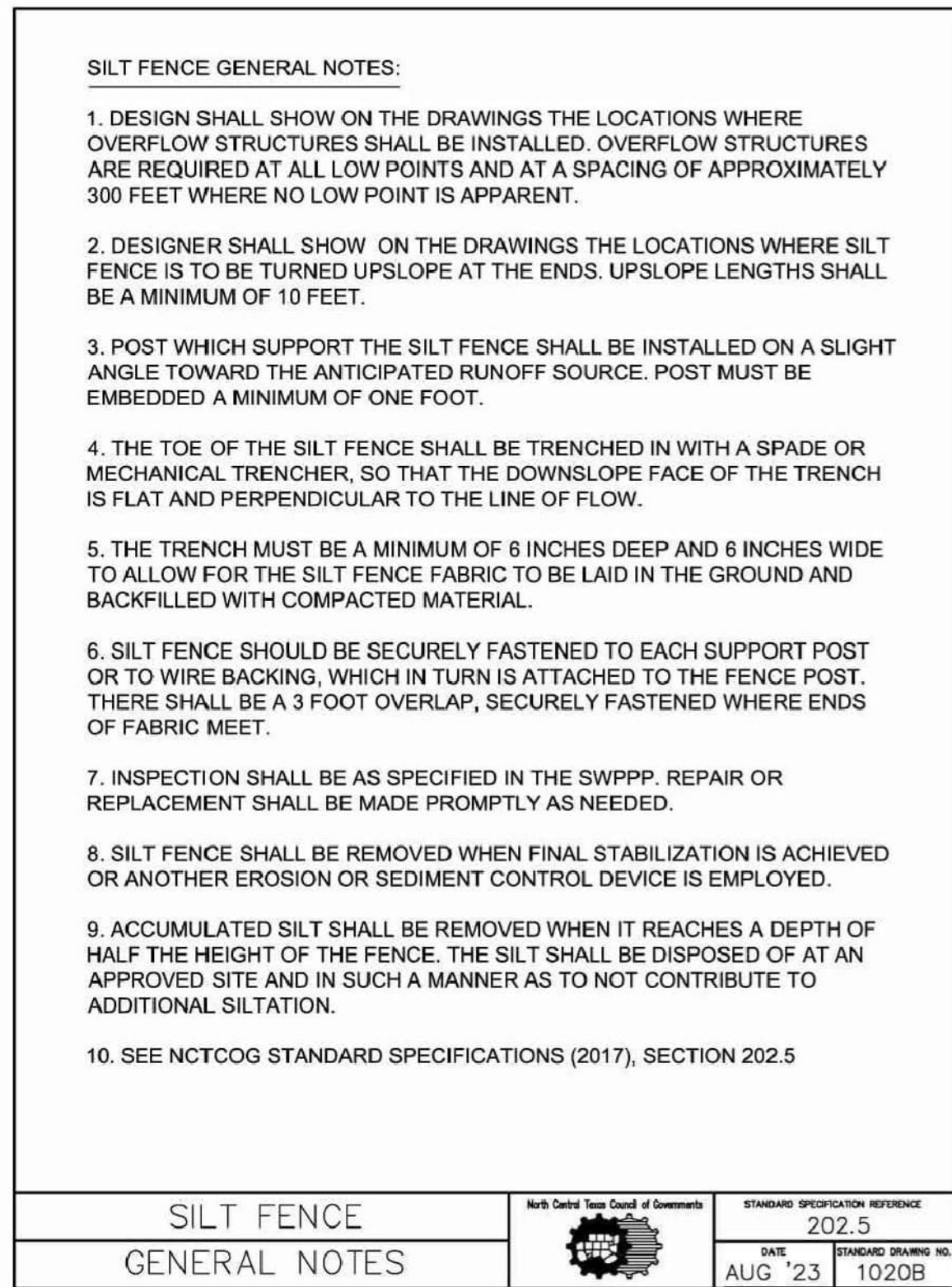
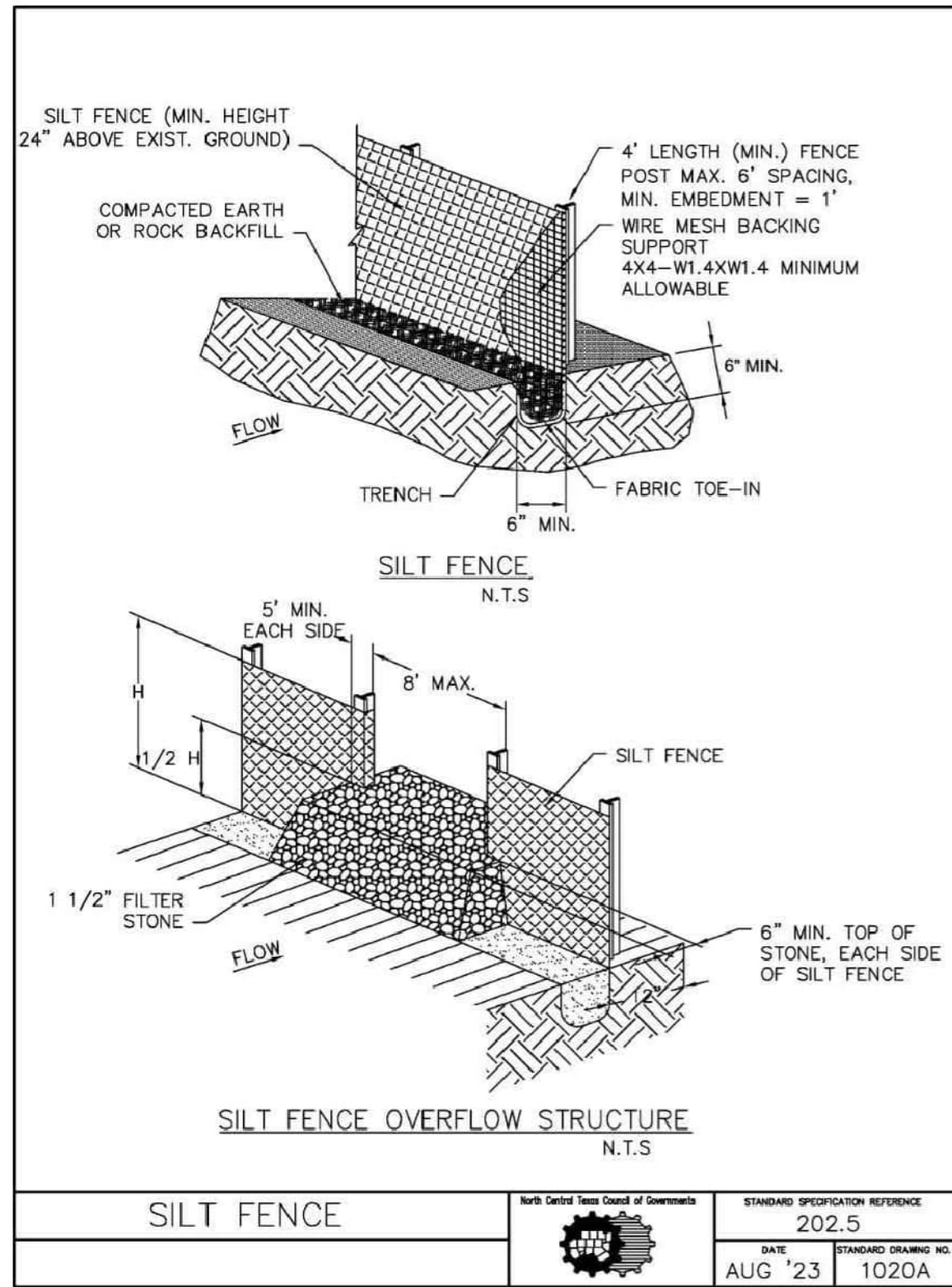




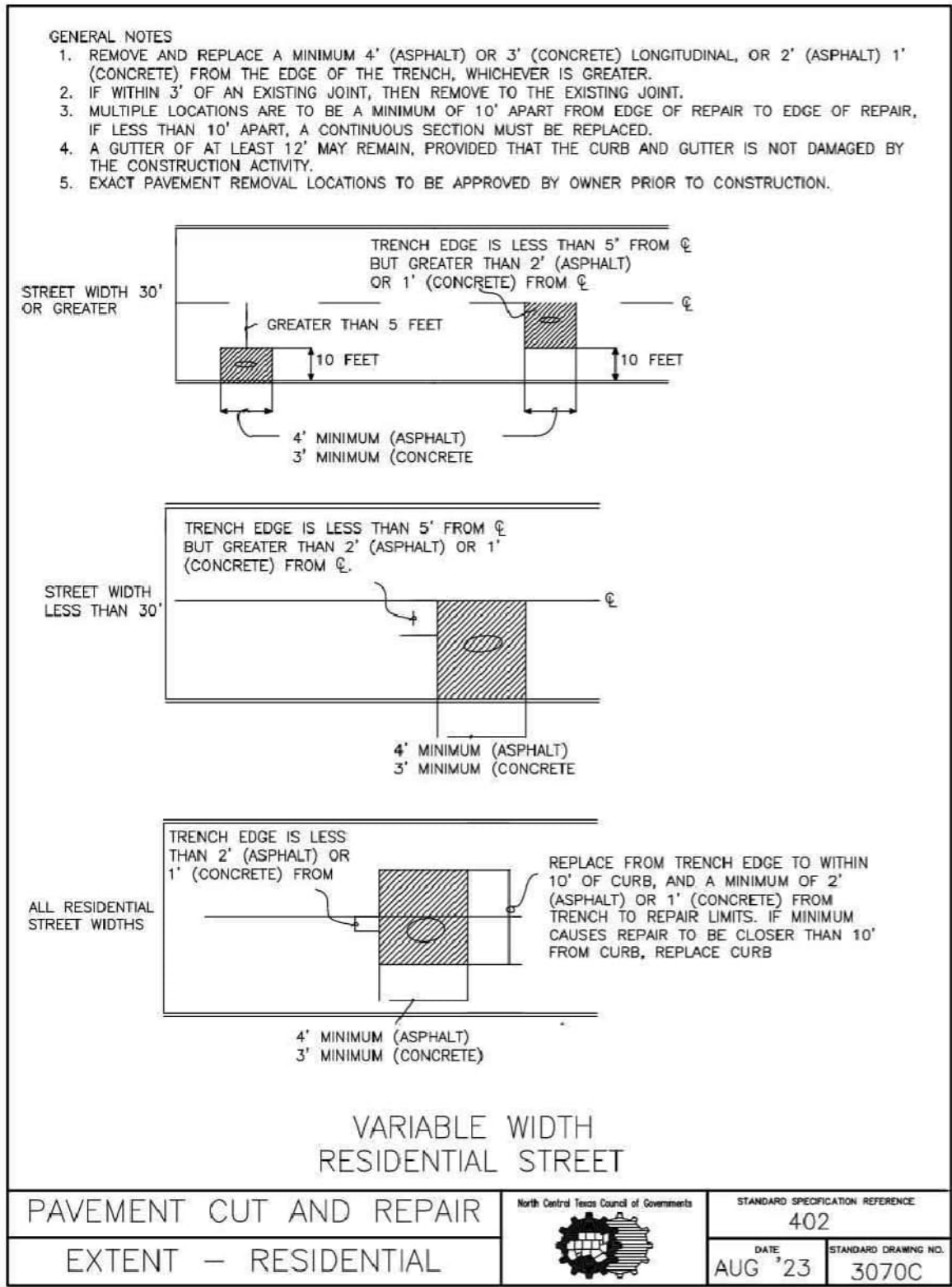
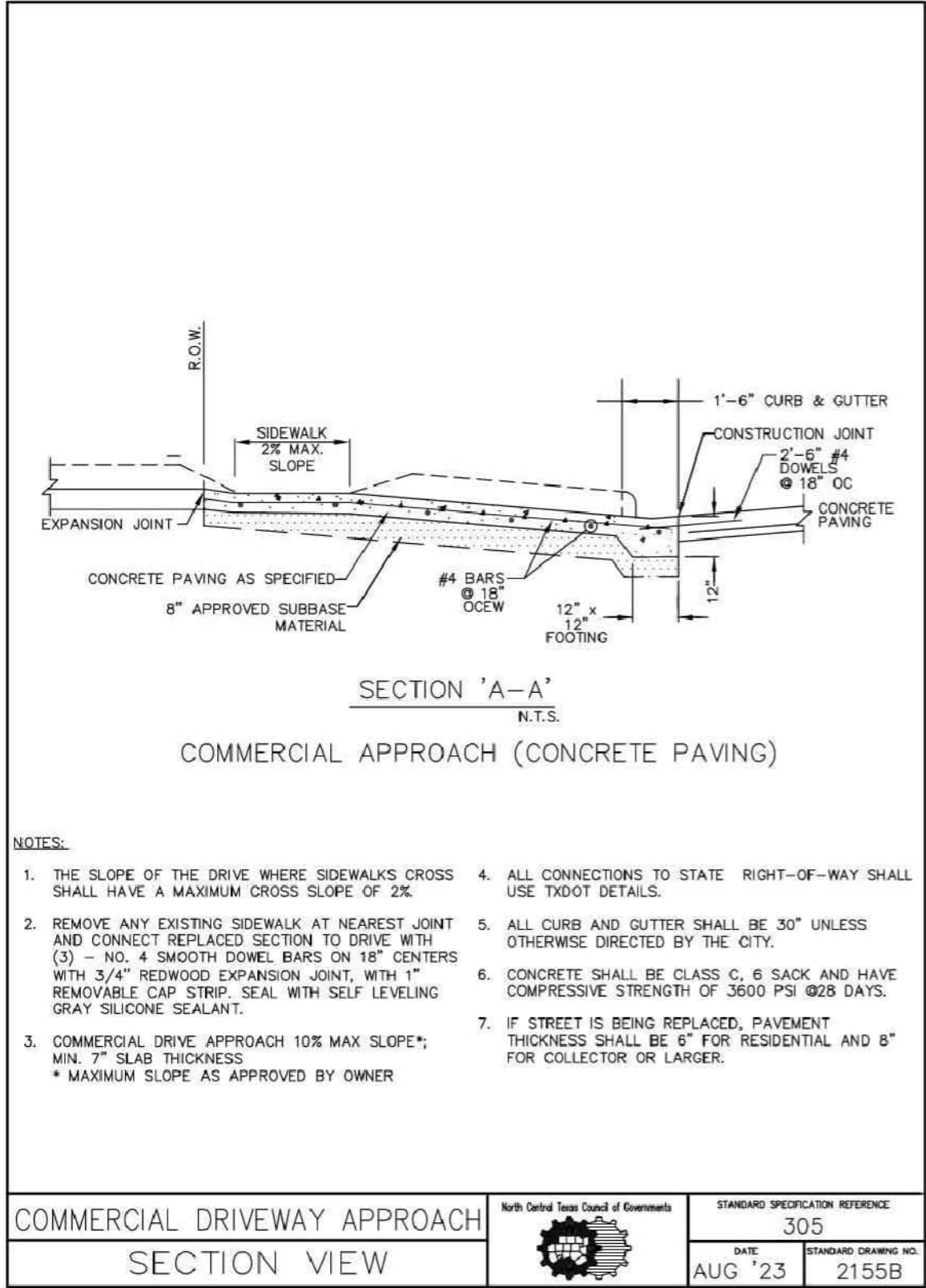
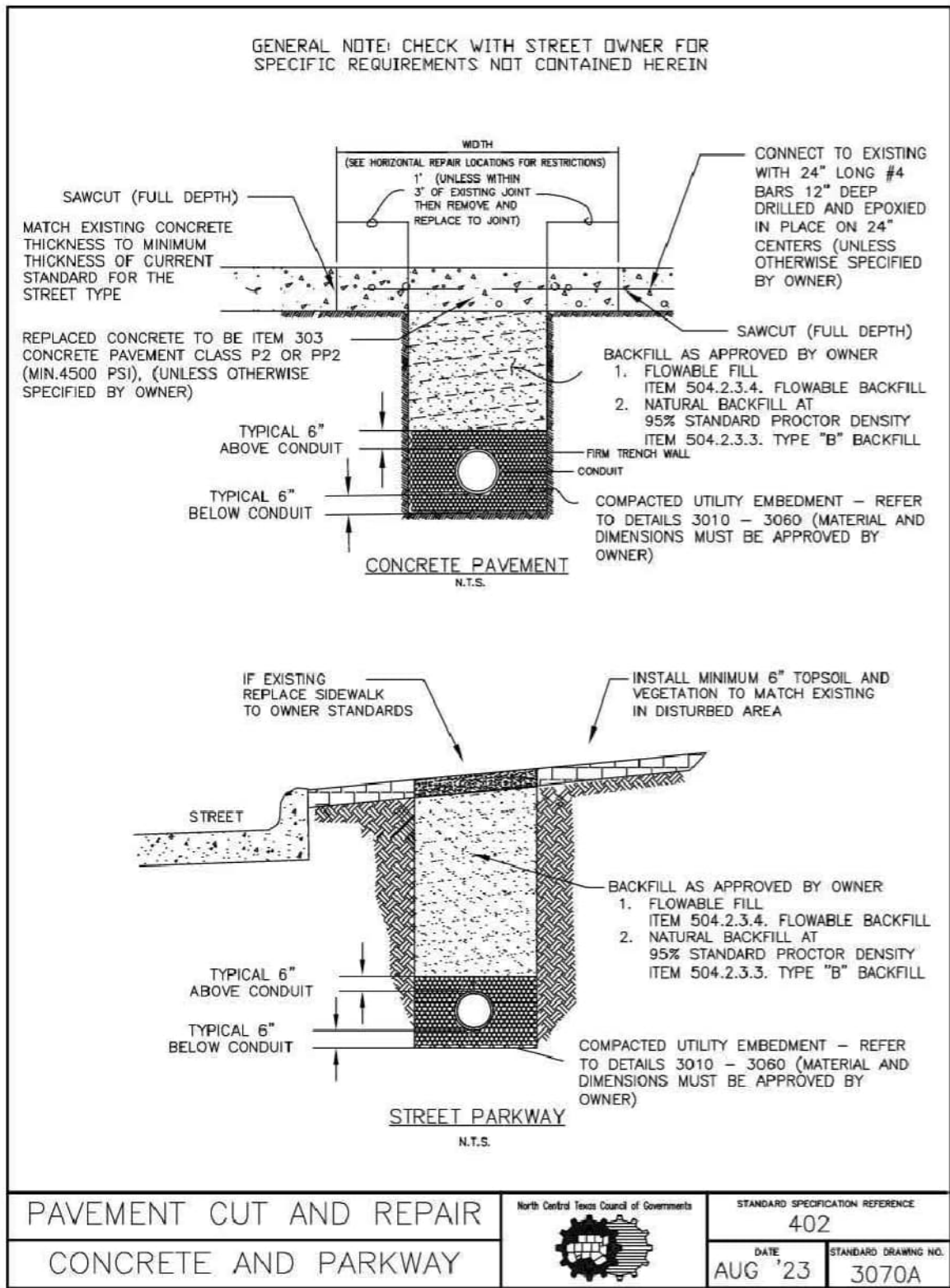
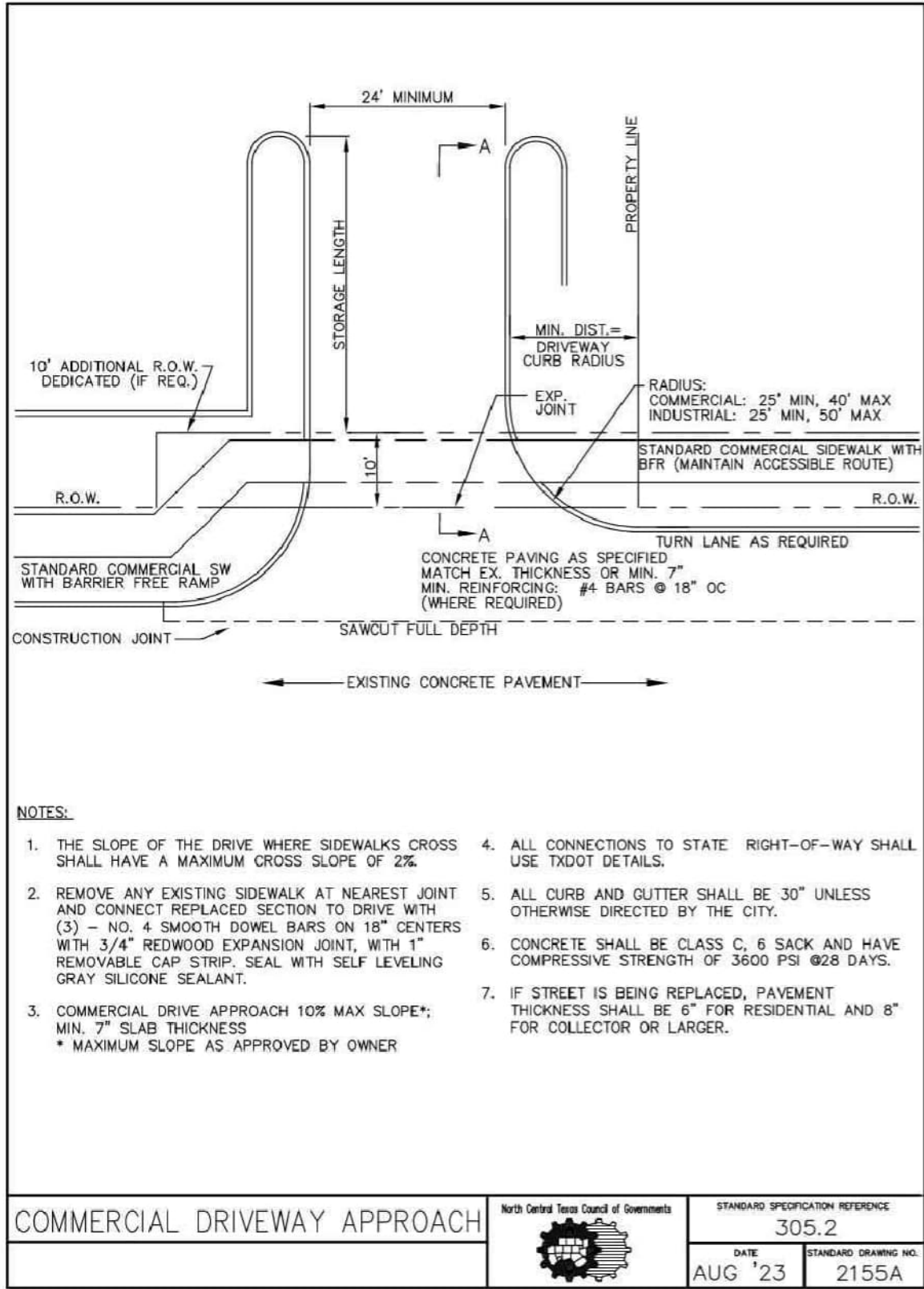




NOTE:  
DETAILS ARE FROM ISWM MANUAL. SIZE AND  
PLACEMENT MUST BE IN ACCORDANCE WITH CITY  
SPECIFICATIONS AND THE INTENT OF THE ISWM MANUAL.







REV. 1  
REV. 2  
REV. 3  
REV. 4  
REV. 5

2445 N. ELM STREET  
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**Allison Engineering Group**  
Planning Communities - Designing the Systems That Serve Them

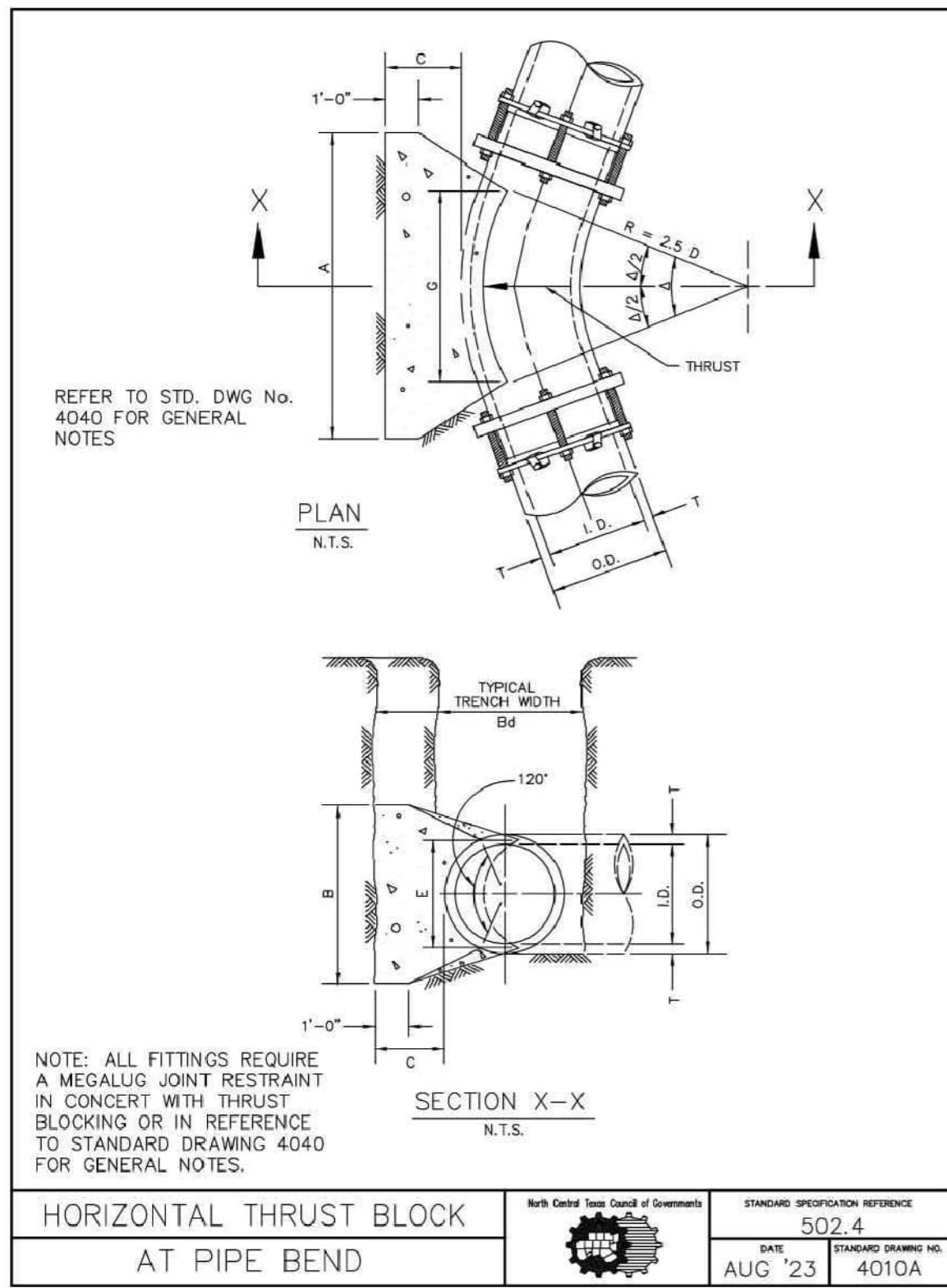
03/18/2025  
STATE OF TEXAS  
WILLIAM TODD ESTES  
92659  
REGISTERED PROFESSIONAL ENGINEER  
W. Todd Estes

Drawn by: JSM  
Checked by: WTE

JEFF SPRINGER  
CONSTRUCTION PLANS  
SANGER DAY CARE  
CITY OF SANGER, DENTON COUNTY, TEXAS  
STANDARD DETAILS - PAVING

Job: SFP2301  
SHEET  
10





I.D. (N.)	T (N.)	A = 11.25° C (FT.)	Δ > 22.50° C (FT.)	E (FT.)
4.6, 8	0.4	1.5	1.5	0.9
10, 12	0.5	1.5	1.5	1.2
16, 18	0.6	1.5	1.5	1.6
20	0.7	1.5	1.5	1.8
24	0.9	1.5	1.5	2.1
30	2.9	1.5	1.9	2.6
36	4.5	1.5	2.3	3.3
42	5.0	1.8	2.6	3.8
48	5.5	2.0	3.0	4.3
54	6.0	2.3	3.4	4.8
60	6.5	2.5	3.8	5.3
66	6.8	2.8	4.1	5.7
72	7.5	3.0	4.5	6.3
78	7.6	3.3	4.9	6.7
84	8.0	3.5	5.3	7.2
90	8.5	3.8	5.6	7.7
96	9.0	4.0	6.0	8.2

Δ = 11.25°						Δ = 22.50°					
I.D. (N.)	G (FT.)	THRUST (TONS)	EARTH		ROCK	I.D. (N.)	G (FT.)	THRUST (TONS)	EARTH		ROCK
			A (FT.)	B (FT.)	VOL. C (CY.)				A (FT.)	B (FT.)	VOL. C (CY.)
4.6, 8	0.4	1.0	1.5	0.1	1.0	1.0	0.1	4.6, 8	0.2	1.5	0.1
10, 12	0.6	2.2	1.5	0.1	1.0	1.5	0.1	10, 12	0.6	2.2	1.5
16, 18	0.8	3.5	2.0	0.3	1.5	2.0	0.2	16, 18	1.0	3.5	2.0
20	0.9	6.2	2.0	0.3	1.5	3.0	0.3	20	1.8	12.5	3.5
24	1.1	8.9	3.0	3.5	0.5	1.5	3.0	24	2.2	17.7	4.0
30	1.4	10.8	3.0	4.5	0.2	3.5	0.4	30	2.7	20.7	5.0
36	1.7	15.0	3.5	0.9	2.0	4.0	0.5	36	3.5	29.8	5.5
42	1.9	20.4	4.5	5.0	1.5	2.5	5.0	42	3.8	40.5	7.0
48	2.2	26.9	4.5	6.0	2.0	3.5	6.1	48	8.0	7.0	5.7
54	2.5	33.7	6.0	8.0	3.0	6.0	1.4	54	4.5	67.0	8.0
60	2.7	41.6	6.0	7.0	3.8	3.0	7.0	60	5.5	82.7	9.5
66	3.0	50.3	6.5	8.0	5.1	3.5	8.0	66	6.0	100.1	10.5
72	3.3	59.9	7.5	8.0	6.3	4.0	8.3	72	6.6	119.1	11.0
78	3.6	70.2	8.0	9.0	8.1	4.0	9.0	78	7.1	139.8	12.0
84	3.8	81.1	8.5	10.0	9.5	4.5	9.3	84	7.6	162.1	13.5
90	4.1	93.5	9.5	10.0	12.0	5.0	9.5	90	8.0	186.1	14.0
96	4.4	106.4	10.0	11.0	15.0	5.0	11.0	96	8.7	217.1	15.0

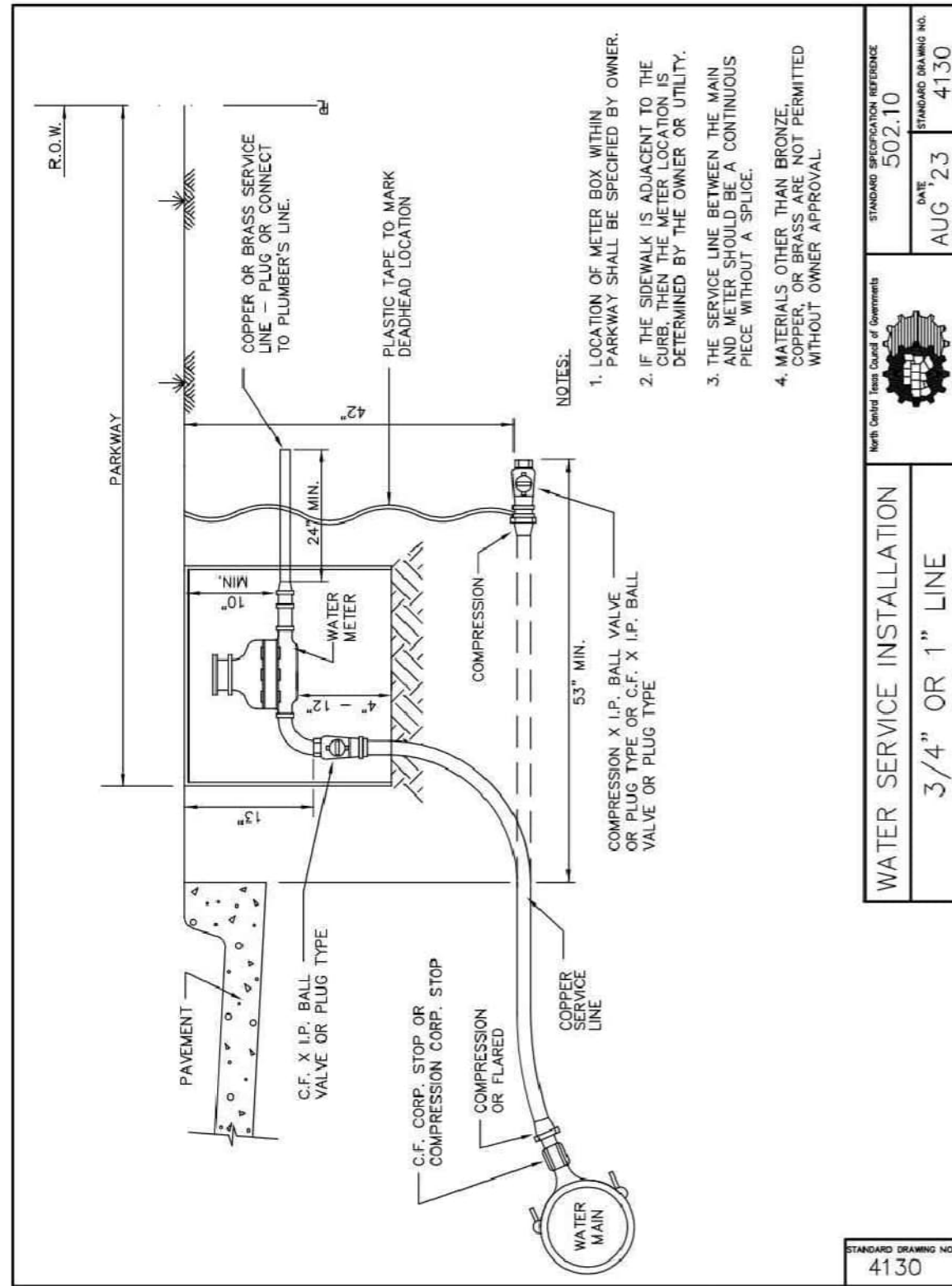
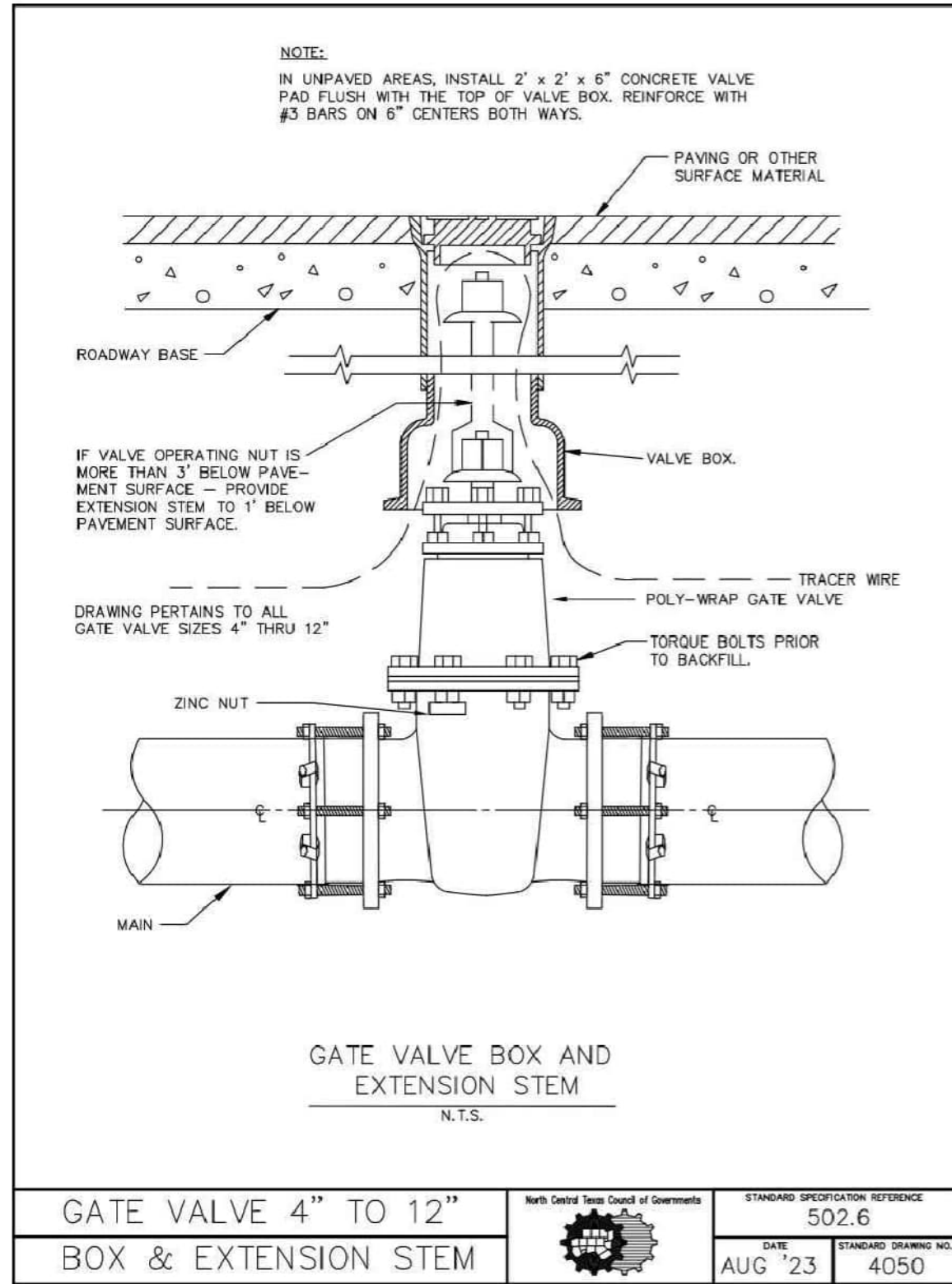
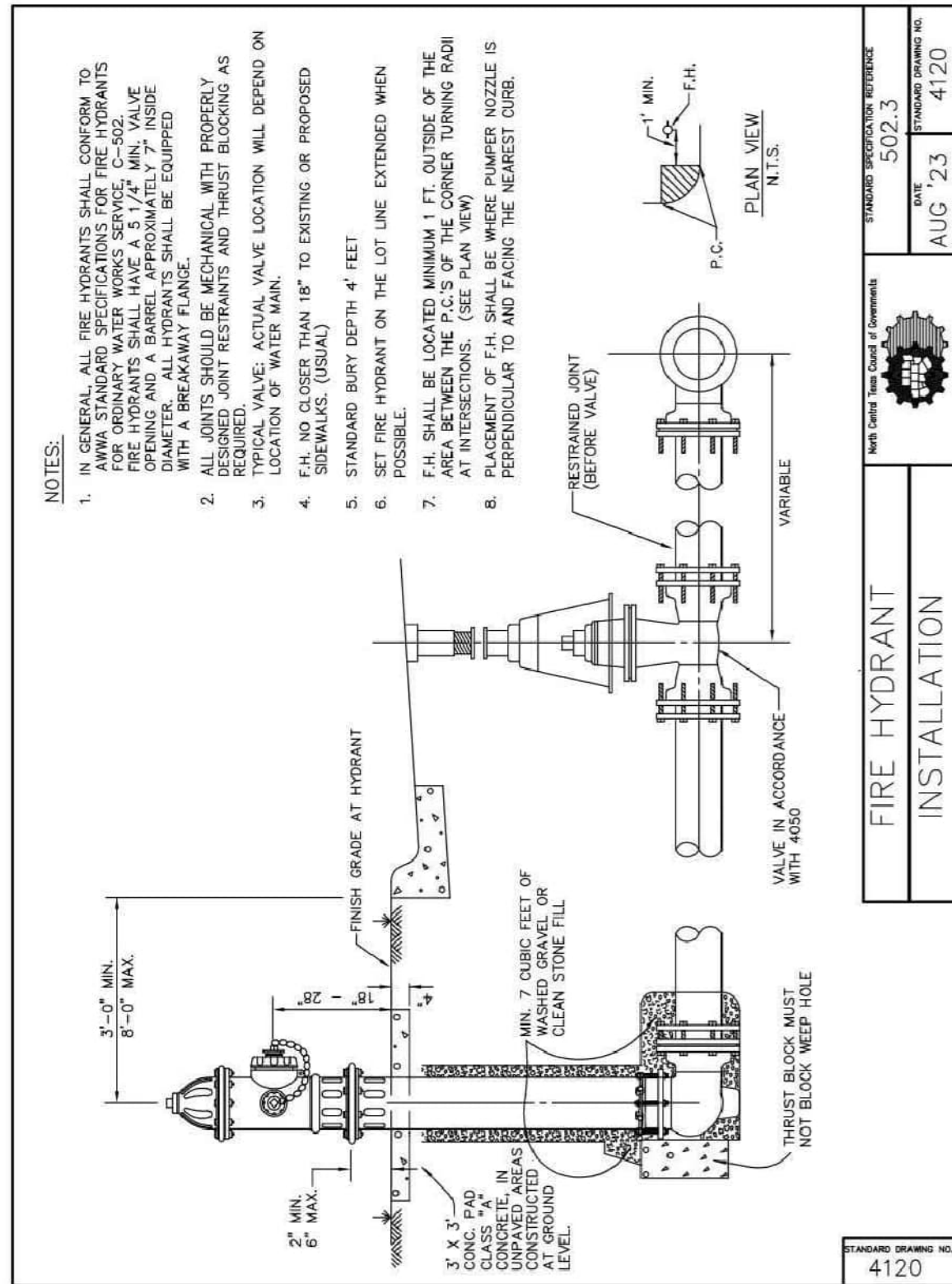
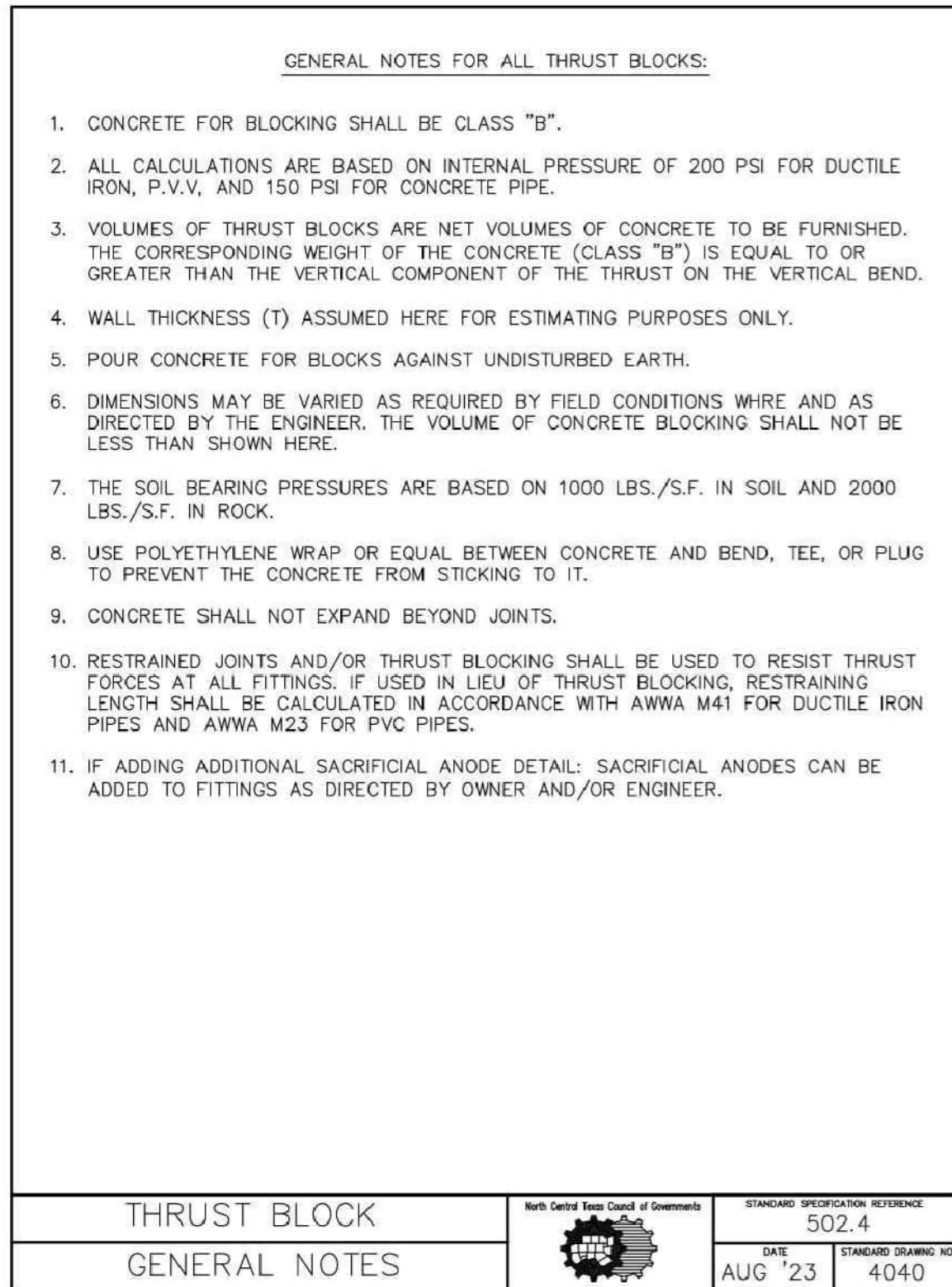
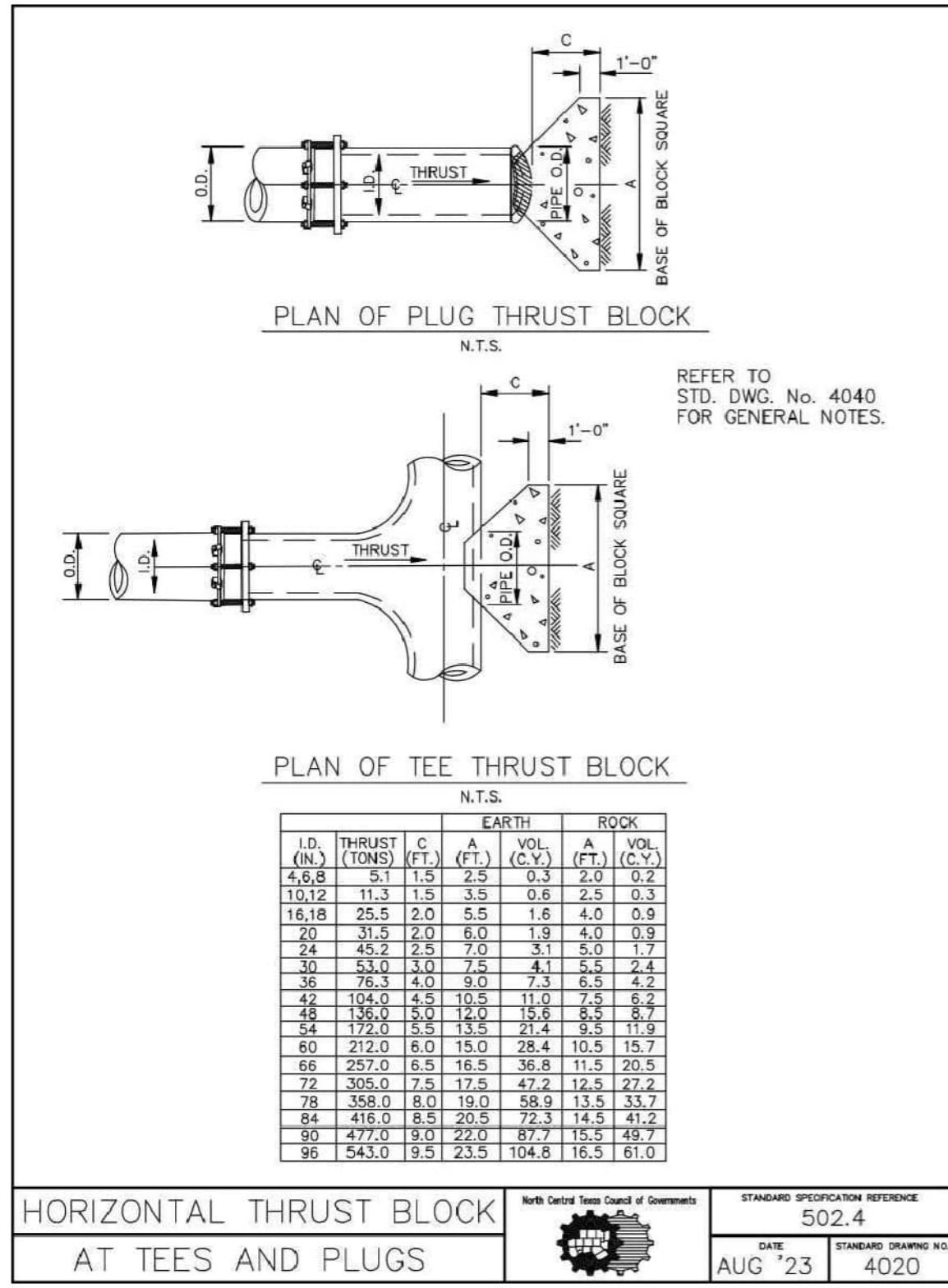
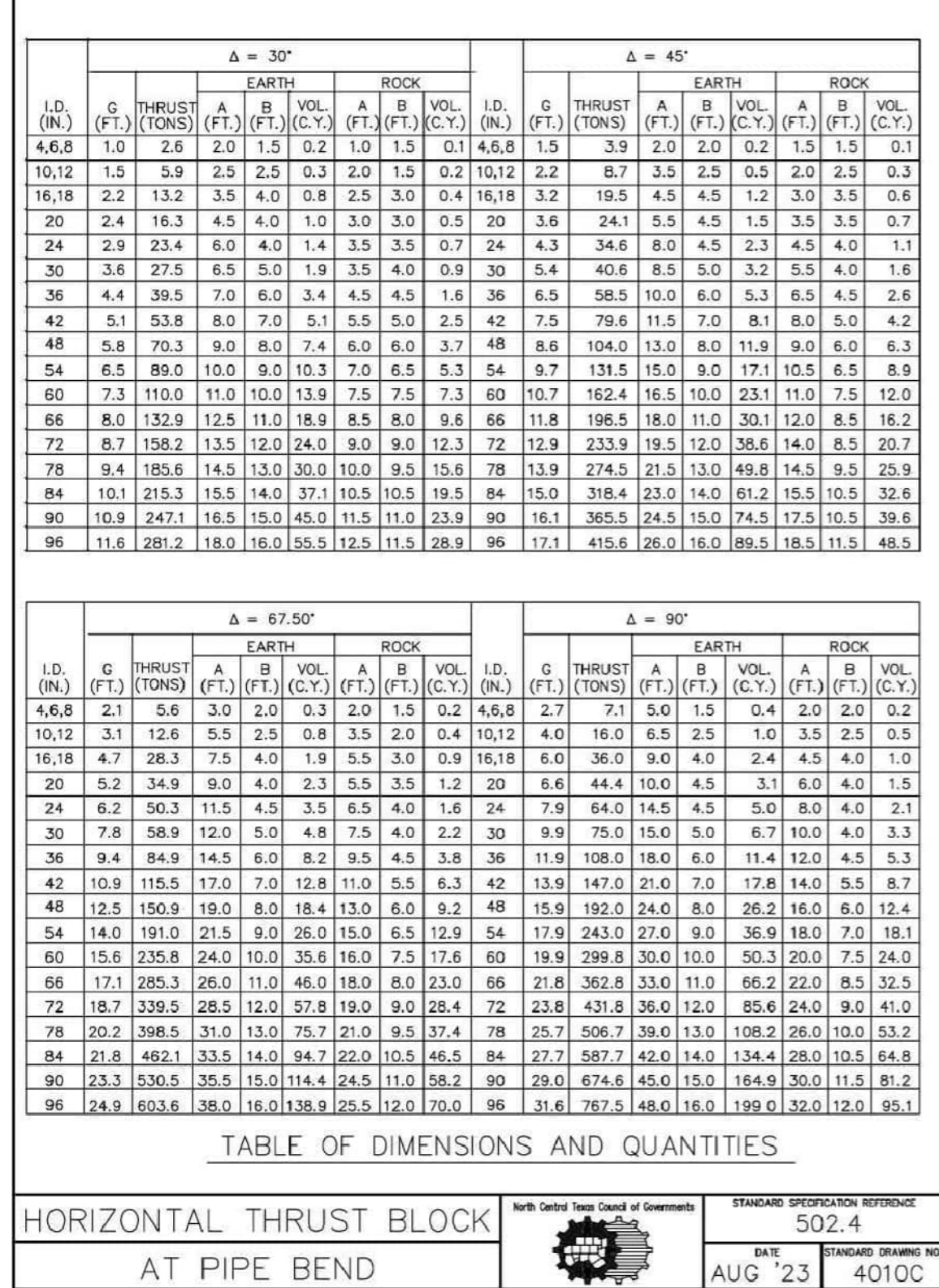
TABLES OF DIMENSIONS AND QUANTITIES

HORIZONTAL THRUST BLOCK  
AT PIPE BEND

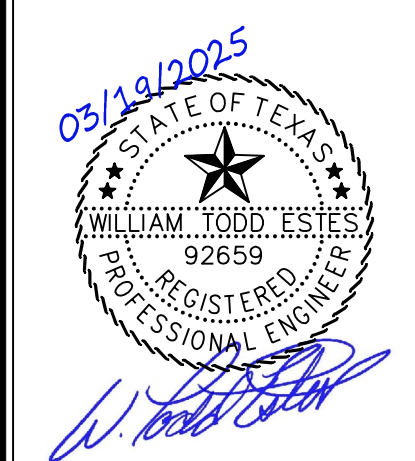
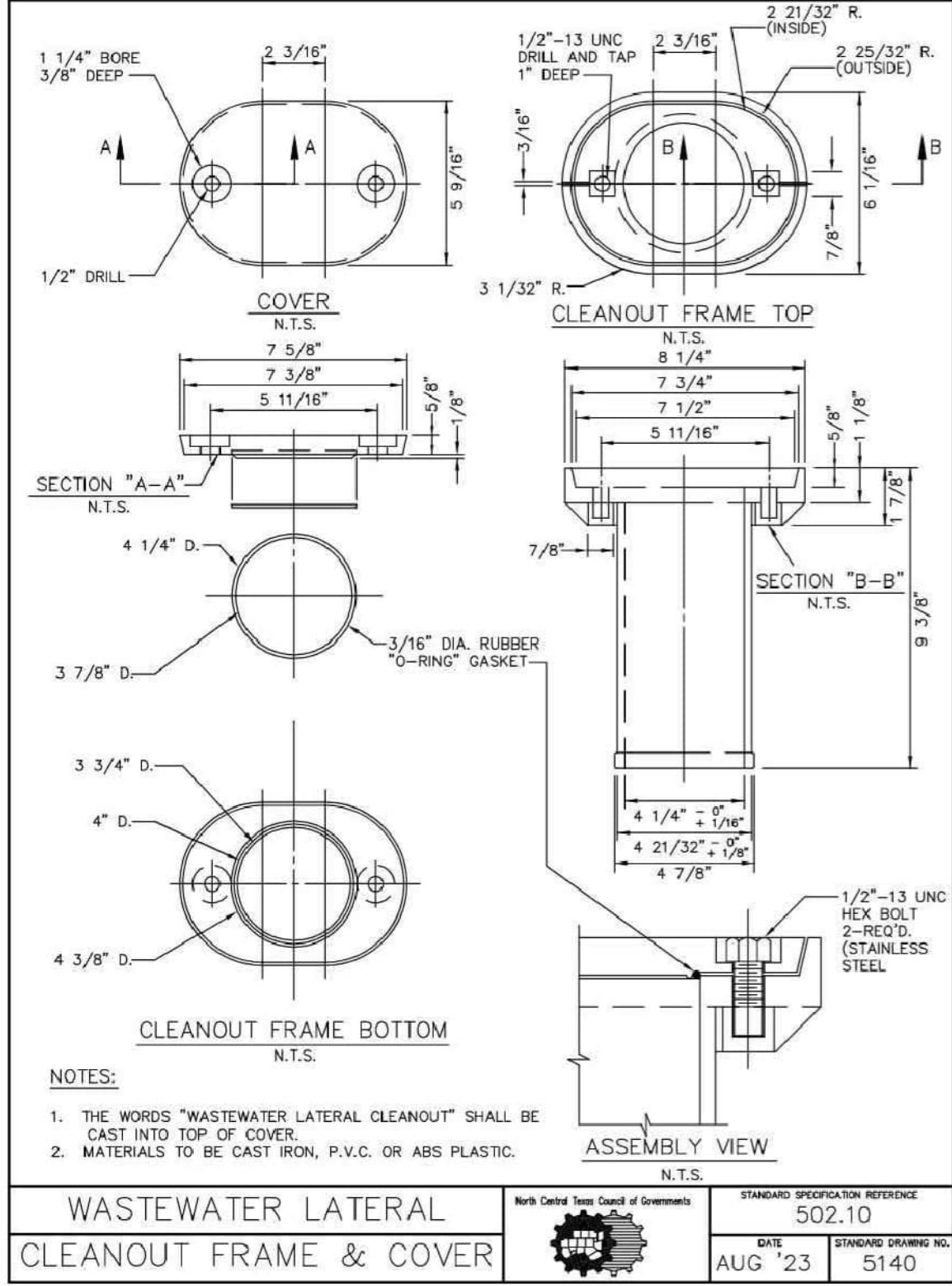
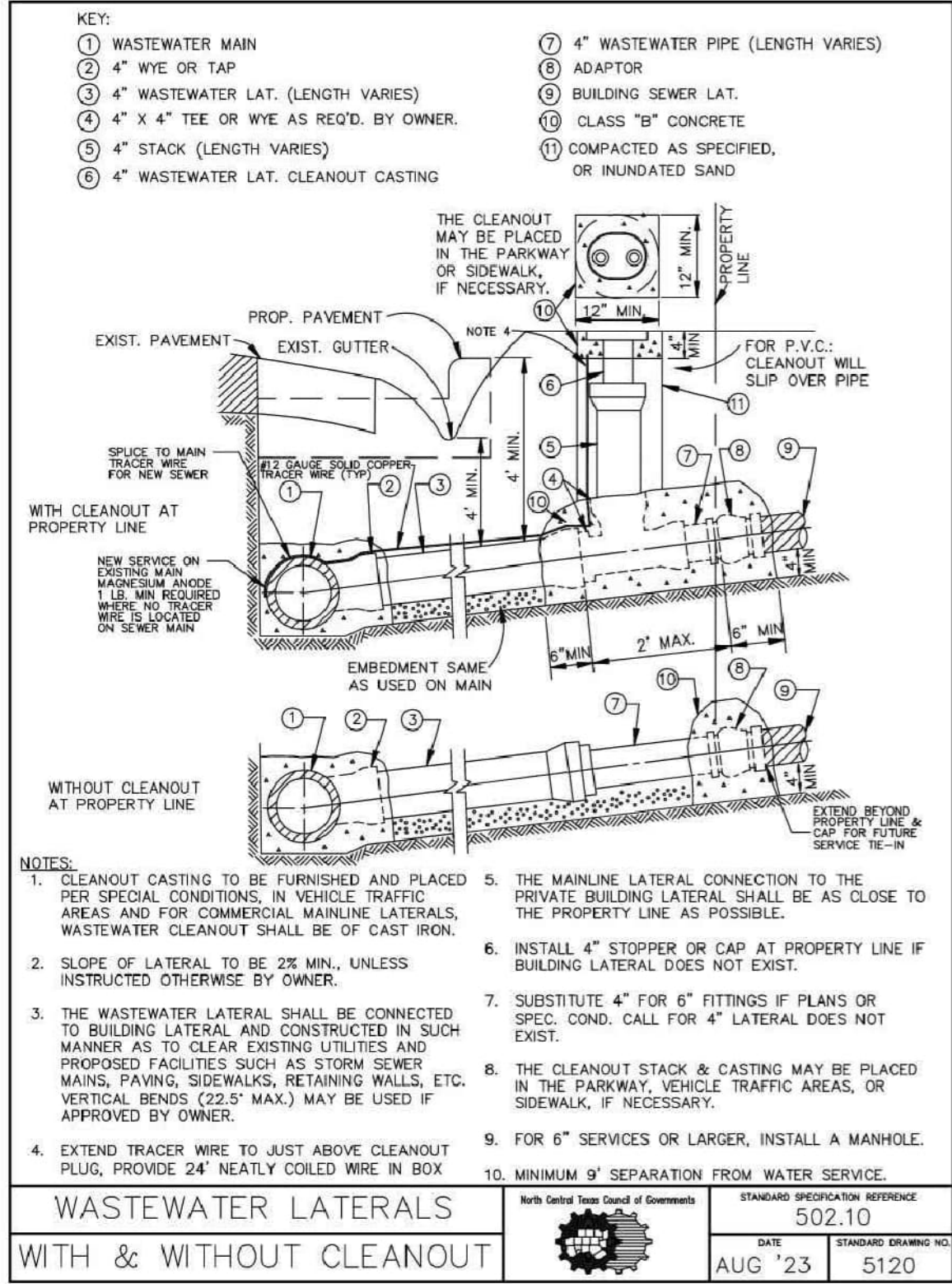
North Central Iron Cast of Gaskets

STANDARD INFORMATION REFERENCE  
502.4

DATE: JAN '23  
STANDARD CODE: 4010B







Drawn by: JSM  
Checked by: WTE

JEFF SPRINGER  
CONSTRUCTOR PLANS  
SANGER DAY CARE  
CITY OF SANGER, DENTON COUNTY, TEXAS

STANDARD DETAILS - SEWER



April 8, 2025  
AVO 37449.004

Ms. Ramie Hammonds  
Development Services Director/Building Official  
City of Sanger  
201 Bolivar Street  
P.O. Box 1729  
Sanger, Texas 76266

**Re: Sanger Daycare – Construction Plans Review**

Dear Ms. Hammonds,

Halff was requested by the City of Sanger to review the Construction Plans for Sanger Daycare. The submittal was prepared by Allison Engineering Group and was received March 25, 2025.

We have completed our review and offer the following comments:

Please address comments on attached markups and provide annotated responses on markups. Please note, not all comments may be written on letter since some comments are easier to show and explain on the markups. Please annotate markup with responses. Please note additional comments may be provided in subsequent reviews once additional data/responses are received.

**General Comments**

1. Approval pending. A drainage study should be included showing all the appropriate calculations. The hydrology model and all appropriate supporting files should be included with the submittal package.

**Construction Plan Comments**

**Cover Sheet:**

1. Inlet calculations and STM line sheets are not included. Please provide.

**Drainage Area Map:**

2. Please further divide the offsite area as shown on the attached markups.
3. Please add a point of hydrologic analysis at the existing culvert under S 2<sup>nd</sup> St.
4. Calculations should be provided for existing culverts showing that appropriate capacity exists.

**Grading Plan**



5. If natural ditch is to be replaced by improved flume, the flow from the 100-year flood must be contained within the improved channel while allowing for one (1) foot of freeboard. Please revise design to account for this. See § 10.106(d)(9)(B)(ii)
6. Please provide an explanation of the context in which these rational method calculations are applicable. Additionally, an increase in discharge is noted. Please demonstrate that this increase does not cause any adverse impacts to adjacent properties.
7. The approved drainage system shall provide for positive overflow at all low points. The system shall be designed for the 10-year with 100-year positive overflow in streets such that the depth of flow in the street does not exceed the top of curb. Also provide the velocity in the pipe, the discharge velocity and the hydraulic gradient calculations and grade line.
8. It appears that no outlet is provided for the revised channel along the south side of the improvement. How does it drain? Please revise or clarify.

If you have any questions or need additional information, please do not hesitate to call me at (214)-937-3921.

Sincerely,

HALFF

TBPELS Firm No. 312

A handwritten signature in black ink, appearing to read "Y. Tong", written over a horizontal line.

Yangbin Tong, PE, CFM