

# PLANNING & ZONING COMMISSION

## MEETING AGENDA

APRIL 13, 2026, 6:00 PM



**PLANNING & ZONING COMMISSION REGULAR MEETING  
HISTORIC CHURCH BUILDING - 403 N 7TH STREET, SANGER, TEXAS**

### **CALL THE REGULAR MEETING TO ORDER AND ESTABLISH A QUORUM**

### **INVOCATION AND PLEDGE**

### **CITIZENS COMMENTS**

*This is an opportunity for citizens to address the Commission on any matter. Comments related to public hearings will be heard when the specific hearing begins. Citizens are allowed 3 minutes to speak. Each speaker must complete the Speaker's Form and include the topic(s) to be presented. Citizens who wish to address the Commission with regard to matters on the agenda will be received at the time the item is considered. The Commission is not allowed to converse, deliberate or take action on any matter presented during citizen input.*

### **CONSENT AGENDA**

*All items on the Consent Agenda will be acted upon by one vote without being discussed separately unless requested by a Commissioner to remove the item(s) for additional discussion. Any items removed from the Consent Agenda will be taken up for individual consideration.*

1. Consideration and possible action of the minutes from March 9, 2026, meeting.

### **ACTION ITEMS**

2. Consideration and possible action on a Final Plat of Elada Ph 1A, being approximately 64.437 acres of land being part of A1241A TIERWESTER, TR 4(PT)1, and part of A1241A TIERWESTER, TR 8, within the City of Sanger, generally located on the north side of Belz Road approximately 915 feet west of the intersection of Belz Road and N Stemmons Frwy.
3. Consideration and possible action on a Final Plat of Fast Electric Addition, being approximately 3.31 acres of land being part of A1241A TIERWESTER, TR 82(PT), within the City of Sanger, generally located on the northwest corner of the intersection of Duck Creek Road and S Stemmons Frwy.
4. Conduct a public hearing on a request for a replat of Sanger Circle Phase 7, Blk O, Lot 4, and 0.628 acres and from A0029A R. BEBEE, TR 74 being approximately 2.475 total

acres of land within the City of Sanger, generally located on the east side of Thistle Drive.

5. Consideration and possible action on a request for a replat of Sanger Circle Phase 7, Blk O, Lot 4, and 0.628 acres and from A0029A R. BEBEE, TR 74 being approximately 2.475 total acres of land within the City of Sanger, generally located on the east side of Thistle Drive.

## **FUTURE AGENDA ITEMS**

*The purpose of this item is to allow the Chairman and Commissioners to bring forward items they wish to discuss at a future meeting, A Commissioner may inquire about a subject for which notice has not been given. A statement of specific factual information or the recitation of existing policy may be given. Any deliberation shall be limited to a proposal to place the subject on an agenda for a subsequent meeting. Items may be placed on a future meeting agenda with a consensus of the Commission or at the call of the Chairman.*

## **INFORMATIONAL ITEMS**

### **ADJOURN**

**NOTE:** The Commission reserves the right to adjourn into Executive Session as authorized by Texas Government Code, Section 551.001, et seq. (The Texas Open Meetings Act) on any item on its open meeting agenda in accordance with the Texas Open Meetings Act, including, without limitation Sections 551.071-551.087 of the Texas Open Meetings Act.

### **CERTIFICATION**

I certify that a copy of this meeting notice was posted on the bulletin board at City Hall that is readily accessible to the general public at all times and was posted on the City of Sanger website on April 7, 2026, at 3:00 PM.

---

Shelley Warner, Secretary

The Historical Church is wheelchair accessible. Request for additional accommodations or sign interpretation or other special assistance for disabled attendees must be requested 48 hours prior to the meeting by contacting the City Secretary's Office at 940.458.7930.

# PLANNING & ZONING COMMISSION

## MEETING MINUTES

MARCH 9, 2026, 6:00 PM

PLANNING & ZONING COMMISSION REGULAR MEETING  
HISTORIC CHURCH BUILDING - 403 N 7TH STREET, SANGER, TEXAS

### CALL THE REGULAR MEETING TO ORDER AND ESTABLISH A QUORUM

There being a quorum Commissioner Skaggs called the Planning and Zoning meeting to order at 6:10 P.M.

### BOARD MEMBERS PRESENT:

- Commissioner, Place 1            Charles Wood
- Commissioner, Place 2            Jon Knabe
- Commissioner, Place 3            Stephanie Holzer
- Commissioner, Place 4            Timothy Skaggs
- Commissioner, Place 5            Luke Leissner
- Commissioner, Place 7            Randy Rippey

### BOARD MEMBERS ABSENT:

- Commissioner, Place 6            Jason Miller

### STAFF MEMBERS PRESENT:

Seated Alternate Lisa Cabrera and Secretary Shelley Warner

### STAFF MEMBERS ABSENT:

Director of Development Services Ramie Hammonds

### INVOCATION AND PLEDGE

Pledge was led by Commissioner Holzer.

## **CITIZENS COMMENTS**

No citizens came forward.

## **CONSENT AGENDA**

1. Consideration and possible action of the minutes from February 9, 2026 meeting.

Commissioner Skaggs read the item.

Commissioner Cabrera makes a motion to approve the consent agenda. Commissioner Leissner seconded the motion.

Voting Yea: Commissioner Holzer, Commissioner Knabe, Commissioner Rippey, and Commissioner Wood.

Commissioner Skaggs abstained from the vote.

The motion passes 6 yeas and 1 abstained.

## **PUBLIC HEARING ITEMS**

Commissioner Skaggs opened the Public Hearing at 6:13 p.m.

2. Conduct a public hearing on a request for a Specific Use Permit (SUP) for Outside Sales and Display for approximately 4.052 acres of land from A0029A R BEEBE, TR 64A, within the City of Sanger and generally located approximately 320 feet south of the intersection of FM 455 and Sable Creek Dr.

Commissioner Skaggs read the item.

Secretary Warner presented the item. 37 notices were mailed. No responses were received. Staff recommends approval.

Commissioner Wood and Commissioner Holzer asked questions. The applicant was present and responded. Commissioner Leissner responded.

Citizen Laura Fernberg was present, commented in favor of the request and asked questions. The applicant responded. Commissioner Holzer, Commissioner Wood and Commissioner Skaggs commented.

Commissioner Skaggs closed the Public Hearing at 6:22 p.m.

## **ACTION ITEMS**

3. Consideration and action on a request for a Specific Use Permit (SUP) for Outside Sales and Display for approximately 4.052 acres of land from A0029A R BEEBE, TR 64A, within the City of Sanger and generally located approximately 320 feet south of the intersection of FM 455 and Sable Creek Dr.

Commissioner Skaggs read the item.

Secretary Warner presented the item. 37 notices were mailed. No responses were received. Staff recommends approval.

Commissioner Leissner makes a motion to approve the request for a Specific Use Permit (SUP) for Outside Sales and Display within the City of Sanger and generally located approximately 320 feet south of the intersection of FM 455 and Sable Creek Dr. Commissioner Wood seconded the motion.

Voting Yea: Commissioner Holzer, Commissioner Knabe, Commissioner Skaggs, Commissioner Rippey, and Commissioner Cabrera.

The motion passes unanimously.

4. Consideration and possible action on a Minor Plat of Giese Addition being approximately 2.581 acres of land with 2.443 acres of land within the A0940A McKinney & Williams, TR 2 and TR 2A, and 0.137 acres of land within the A0071A Burleson, TR 1A, within the City of Sanger, generally located on the east side of Cowling Road, approximately 256 feet south of the intersection of 5th Street and Cowling Road.

Commissioner Skaggs read the item.

Secretary Warner presented the item. Staff recommends denial as not all comments have been met.

The applicant was present and comment. Commissioner Skaggs responded.

Commissioner Holzer makes a motion to deny the Minor Plat of Giese Addition within the City of Sanger, generally located on the east side of Cowling Road, approximately 256 feet south of the intersection of 5th Street and Cowling Road. Commissioner Knabe seconded the motion.

Voting Yea: Commissioner Skaggs, Commissioner Leissner, Commissioner Rippey, Commissioner Wood, and Commissioner Cabrera.

The motion passes unanimously.

5. Consideration and possible action on a Final Plat of Victory at Sanger Addition, being approximately 4.47 acres of land described as A1241A TIERWESTER, TR 61, within the

City of Sanger, generally located on the southwest corner of the intersection of FM 455 and N. Tejas Dr.

Commissioner Skaggs read the item.

Secretary Warner presented the item. Staff recommends approval.

Commissioner Rippey asked questions. Secretary Warner responded.

Commissioner Wood makes a motion to approve the request for the Final Plat of Victory at Sanger Addition within the City of Sanger, generally located on the southwest corner of the intersection of FM 455 and N. Tejas Dr. Commissioner Cabrera seconded the motion.

Voting Yea: Commissioner Holzer, Commissioner Skaggs, Commissioner Knabe, Commissioner Leissner, and Commissioner Rippey.

The motion passes unanimously.

**FUTURE AGENDA ITEMS**

No items were discussed.

**INFORMATIONAL ITEMS**

No items were discussed.

**ADJOURN**

There being no further items Commissioner Skaggs adjourns the meeting at 6:35 P.M.



# PLANNING & ZONING COMMISSION COMMUNICATION

**DATE:** April 13, 2026

**FROM:** Ramie Hammonds, Development Services Director

**AGENDA ITEM:** Consideration and possible action on a Final Plat of Elada Ph 1A, being approximately 64.437 acres of land being part of A1241A TIERWESTER, TR 4(PT)1, and part of A1241A TIERWESTER, TR 8, within the City of Sanger, generally located on the north side of Belz Road approximately 915 feet west of the intersection of Belz Road and N Stemmons Frwy.

**SUMMARY:**

- This plat is the first phase of the Elada Addition.
- The plat will create 183 residential and 9 open space lots.
- This phase will have two points of access from Belz Road.
- This area is zoned PD Planned Development.
- All lots comply with the zoning district requirements.

**FISCAL INFORMATION:**

N/A

**RECOMMENDED MOTION OR ACTION:**

Staff recommends DENIAL on the condition not all comments have been satisfied.

**ATTACHMENTS:**

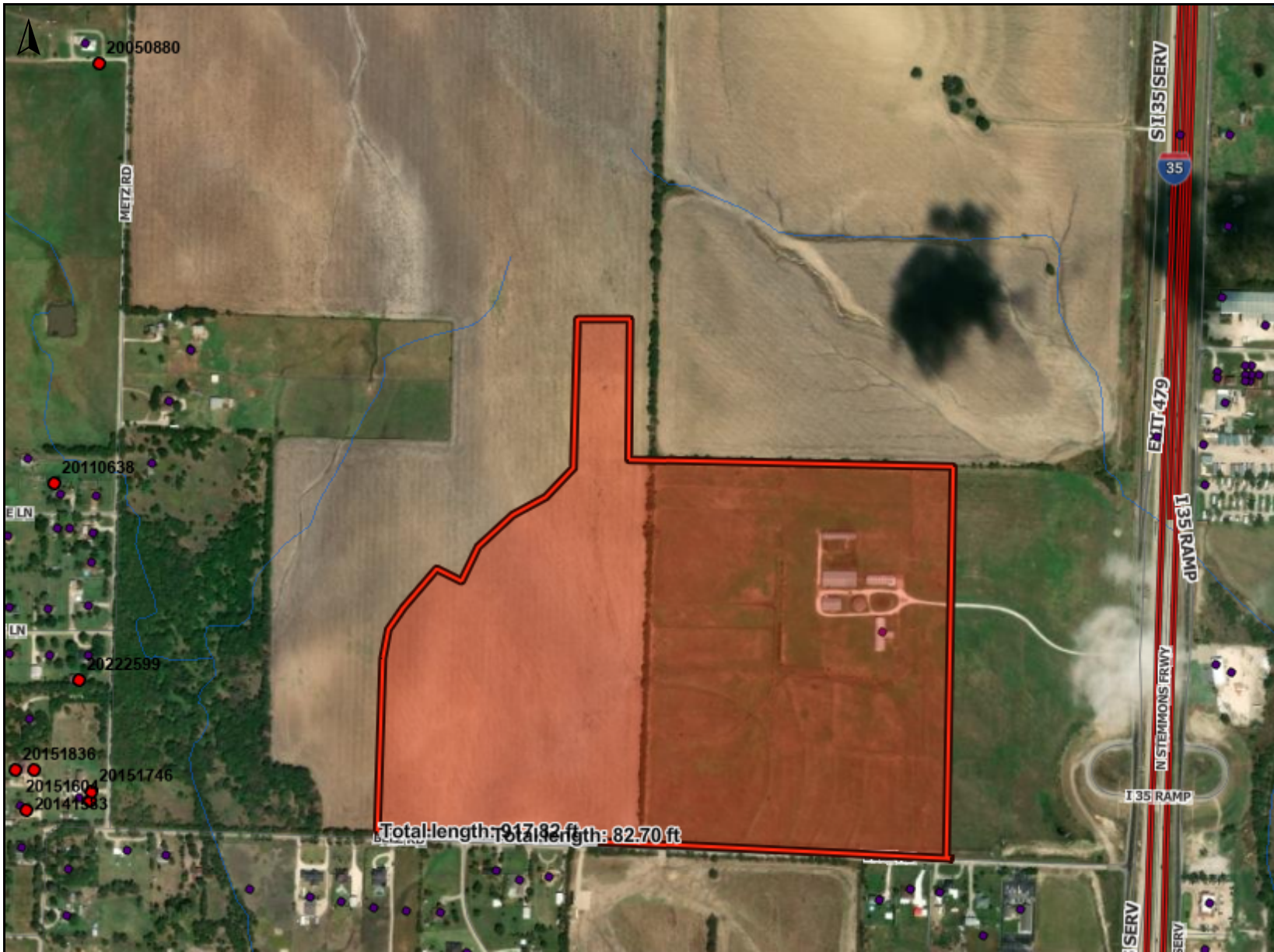
- Location Map
- Final Plat
- Application
- Letter of Intent
- Planning Comments
- Engineering Comments

# Elada Phase 1A

Item 2.

## Legend

- Planning and Zoning
  - Planning and Zoning
  - ▲ WATER WELL
  - PERMITS
- Public Safety
  - Addresses 911
- Lakes and Streams
  - Lakes
  - Streams



### Notes:

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

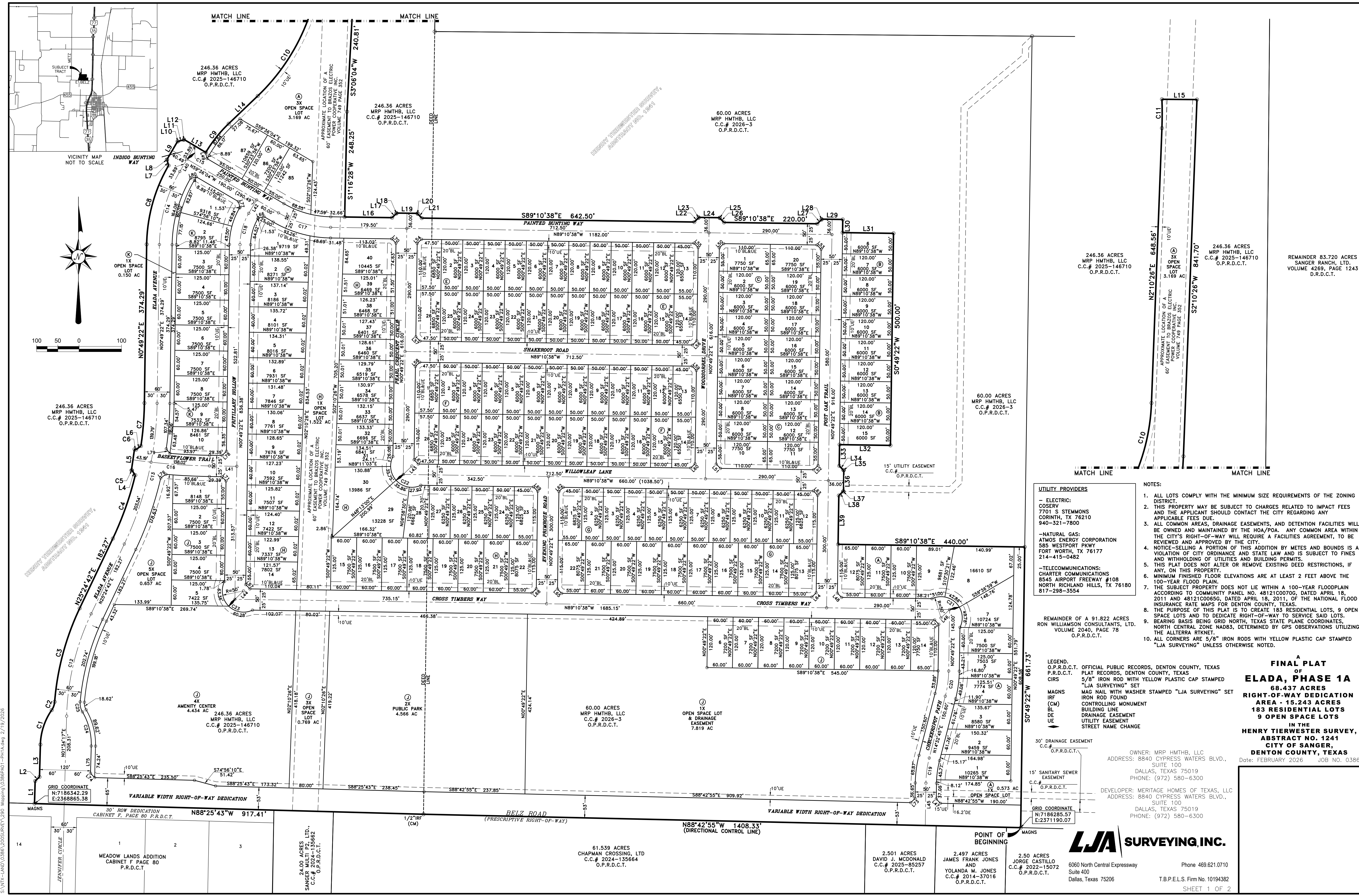
Denton County does not guarantee the correctness or accuracy of any features on this product and assumes no responsibility in connection therewith. This product may be revised at any time without notification to any user.



<https://www.dentoncounty.gov/1147/Geographic-Information-Systems-GIS>

4/7/2026 9:07:30 AM





**UTILITY PROVIDERS**

- ELECTRIC: COSERV 7701 S STEMMONS CORINTH, TX 76210 940-321-7800
- NATURAL GAS: ATMOS ENERGY CORPORATION 585 WESTPORT PKWY FORT WORTH, TX 76177 214-415-0482
- TELECOMMUNICATIONS: CHARTER COMMUNICATIONS 8545 AIRPORT FREEWAY #108 NORTH RICHLAND HILLS, TX 76180 817-298-3554

- NOTES:**
1. ALL LOTS COMPLY WITH THE MINIMUM SIZE REQUIREMENTS OF THE ZONING DISTRICT.
  2. THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICABLE FEES DUE.
  3. ALL COMMON AREAS, DRAINAGE EASEMENTS, AND DETENTION FACILITIES WILL BE OWNED AND MAINTAINED BY THE HOA/POA. ANY COMMON AREA WITHIN THE CITY'S RIGHT-OF-WAY WILL REQUIRE A FACILITIES AGREEMENT, TO BE REVIEWED AND APPROVED BY THE CITY.
  4. NOTICE—SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
  5. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTIONS, IF ANY, ON THIS PROPERTY.
  6. MINIMUM FINISHED FLOOR ELEVATIONS ARE AT LEAST 2 FEET ABOVE THE 100-YEAR FLOOD PLAIN.
  7. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A 100-YEAR FLOODPLAIN ACCORDING TO COMMUNITY PANEL NO. 48121C00700, DATED APRIL 18, 2011 AND 48121C00650, DATED APRIL 18, 2011, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR DENTON COUNTY, TEXAS.
  8. THE PURPOSE OF THIS PLAT IS TO CREATE 183 RESIDENTIAL LOTS, 9 OPEN SPACE LOTS AND TO DEDICATE RIGHT-OF-WAY TO SERVICE SAID LOTS.
  9. BEARING BASIS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE NAD83, DETERMINED BY GPS OBSERVATIONS UTILIZING THE ALLTERRA RTKNET.
  10. ALL CORNERS ARE 5/8" IRON RODS WITH YELLOW PLASTIC CAP STAMPED "LJA SURVEYING" UNLESS OTHERWISE NOTED.

REMAINDER OF A 91.822 ACRES RON WILLIAMSON CONSULTANTS, LTD. VOLUME 2040, PAGE 78 O.P.R.D.C.T.

**LEGEND:**

- O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
- P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
- CIRS 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA SURVEYING" SET
- MAGNS MAG NAIL WITH WASHER STAMPED "LJA SURVEYING" SET
- IRF IRON ROD FOUND
- (CM) CONTROLLING MONUMENT
- BL BUILDING LINE
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- STREET NAME CHANGE

30' DRAINAGE EASEMENT O.P.R.D.C.T.

15' SANITARY SEWER EASEMENT O.P.R.D.C.T.

GRID COORDINATE N:7186342.29 E:2368865.38

**FINAL PLAT**  
**ELADA, PHASE 1A**  
 68.437 ACRES  
 RIGHT-OF-WAY DEDICATION  
 AREA - 15.243 ACRES  
 183 RESIDENTIAL LOTS  
 9 OPEN SPACE LOTS  
 IN THE  
 HENRY TIERWESTER SURVEY,  
 ABSTRACT NO. 1241  
 CITY OF SANGER,  
 DENTON COUNTY, TEXAS  
 Date: FEBRUARY 2026 JOB NO. 0386

**LJA SURVEYING, INC.**  
 6060 North Central Expressway  
 Suite 400  
 Dallas, Texas 75206  
 Phone 469.621.0710  
 T.B.P.E.L.S. Firm No. 10194382  
 SHEET 1 OF 2

S:\NTK-LAND\0386\2025\UPR\200 MapInfo\0386PAD1-PH1A.dwg 2/19/2026

OWNER'S CERTIFICATION

STATE OF TEXAS X
COUNTY OF DENTON X

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT WITHIN THE AREA DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEING A 68.437 ACRE TRACT OF LAND SITUATED IN THE HENRY TIERWESTER SURVEY, ABSTRACT NO. 1241, CITY OF SANGER, DENTON COUNTY, TEXAS, AND BEING PART OF A 60.00 ACRE TRACT OF LAND CONVEYED TO MRP HMTMB, LLC, AS RECORDED IN COUNTY CLERK'S FILE NO. 2026-3, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS AND PART OF A 246.36 ACRE TRACT OF LAND CONVEYED TO MRP HMTMB, LLC, AS RECORDED IN COUNTY CLERK'S FILE NO. 2025-1470, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS. SAID 68.437 ACRE TRACT WITH BEARING BASIS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE NAD83, DETERMINED BY GPS OBSERVATIONS UTILIZING THE ALL TERRA RTKNET AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A MAG NAIL WITH WASHER STAMPED 'LJA SURVEYING' SET FOR THE SOUTHEAST CORNER OF SAID 60.00 ACRE TRACT AND THE COMMON SOUTHWEST CORNER OF THE REMAINDER OF A 16.82 ACRE TRACT OF LAND CONVEYED TO RON WILLIAMSON CONSULTANTS, LTD., AS RECORDED IN VOLUME 2040, PAGE 78, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS. SAID POINT BEING ON THE NORTH LINE OF A 2.20 ACRE TRACT OF LAND CONVEYED TO JORGE CASTILLO, AS RECORDED IN COUNTY CLERK'S FILE NO. 2022-10572, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS AND BEING WITHIN BELZ ROAD, (A PRESCRIPTIVE RIGHT-OF-WAY);

THENCE, NORTH 88 DEGREES 42 MINUTES 55 SECONDS WEST, A DISTANCE OF 14.14 FEET TO SAID 60.00 ACRE TRACT AND THE COMMON NORTH LINE OF SAID 2.20 ACRE TRACT, THE NORTH LINE OF A 2.497 ACRE TRACT OF LAND CONVEYED TO JAMES FRANK JONES AND YOLANDA M. JONES, AS RECORDED IN COUNTY CLERK'S FILE NO. 2014-37018, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS, THE NORTH LINE OF A 2.201 ACRE TRACT OF LAND CONVEYED TO DAVID J. MADONALD, AS RECORDED IN COUNTY CLERK'S FILE NO. 2025-82527, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS, AND THE NORTH LINE OF A 61.539 ACRE TRACT OF LAND CONVEYED TO CHAPMAN CROSSING, LTD., AS RECORDED IN COUNTY CLERK'S FILE NO. 2024-15894, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS, WITH SAID BELZ ROAD, A DISTANCE OF 1406.33 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID 60.00 ACRE TRACT AND THE COMMON SOUTHWEST CORNER OF AFORESAID 246.36 ACRE TRACT;

THENCE, NORTH 88 DEGREES 25 MINUTES 43 SECONDS WEST, ALONG THE SOUTH LINE OF SAID 246.36 ACRE TRACT AND THE COMMON NORTH LINE OF SAID 61.539 ACRE TRACT, THE NORTH LINE OF A 24.00 ACRE TRACT OF LAND CONVEYED TO SANGER MULTI PT, LTD., AS RECORDED IN COUNTY CLERK'S FILE NO. 2024-15892, OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS, AND THE NORTH LINE OF MEADOW LANDS ADDITION, AN ADDITION TO THE CITY OF SANGER, AS RECORDED IN CIBINET F, PAGE 80, PLAT RECORDS, DENTON COUNTY, TEXAS, CONTAINING WITH SAID BELZ ROAD, A DISTANCE OF 911.41 FEET TO A MAG NAIL WITH WASHER STAMPED 'LJA SURVEYING' SET FOR CORNER;

THENCE, OVER AND ACROSS SAID 246.36 ACRE TRACT AND SAID 60.00 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 01 DEGREE 34 MINUTES 17 SECONDS EAST, A DISTANCE OF 53.15 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 44 DEGREES 54 MINUTES 17 SECONDS EAST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 01 DEGREE 34 MINUTES 17 SECONDS EAST, A DISTANCE OF 78.22 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 33 DEGREES 08 MINUTES 35 SECONDS, A RADIUS OF 150.00 FEET, AND A LONG CHORD THAT BEARS NORTH 18 DEGREES 58 MINUTES 34 SECONDS EAST, A DISTANCE OF 85.56 FEET;

ALONG SAID TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 86.77 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A REVERSE CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 36 DEGREES 09 MINUTES 15 SECONDS, A RADIUS OF 40.00 FEET, AND A LONG CHORD THAT BEARS NORTH 19 DEGREES 38 MINUTES 14 SECONDS EAST, A DISTANCE OF 20.81 FEET;

ALONG SAID REVERSE CURVE TO THE LEFT, AN ARC DISTANCE OF 21.05 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A REVERSE CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 2 DEGREES 51 MINUTES 05 SECONDS, A RADIUS OF 630.00 FEET, AND A LONG CHORD THAT BEARS NORTH 14 DEGREES 59 MINUTES 09 SECONDS EAST, A DISTANCE OF 228.01 FEET;

ALONG SAID REVERSE CURVE TO THE RIGHT, AN ARC DISTANCE OF 229.27 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 25 DEGREES 24 MINUTES 42 SECONDS EAST, A DISTANCE OF 192.27 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 11 DEGREES 49 MINUTES 18 SECONDS, A RADIUS OF 770.00 FEET, AND A LONG CHORD THAT BEARS NORTH 19 DEGREES 30 MINUTES 03 SECONDS EAST, A DISTANCE OF 158.59 FEET;

ALONG SAID TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 158.87 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 34 DEGREES 31 MINUTES 02 SECONDS WEST, A DISTANCE OF 13.51 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 0 DEGREES 03 MINUTES 34 SECONDS, A RADIUS OF 1425.00 FEET, AND A LONG CHORD THAT BEARS NORTH 81 DEGREES 47 MINUTES 27 SECONDS WEST, A DISTANCE OF 1.48 FEET;

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 1.48 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 04 DEGREES 14 MINUTES 20 SECONDS EAST, A DISTANCE OF 60.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 0 DEGREES 09 MINUTES 47 SECONDS, A RADIUS OF 1575.00 FEET, AND A LONG CHORD THAT BEARS NORTH 81 DEGREES 50 MINUTES 33 SECONDS EAST, A DISTANCE OF 3.91 FEET;

ALONG SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 3.91 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 03 DEGREES 18 MINUTES 50 SECONDS EAST, A DISTANCE OF 14.25 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 0 DEGREES 07 DEGREES 33 MINUTES 07 SECONDS, A RADIUS OF 770.00 FEET, AND A LONG CHORD THAT BEARS NORTH 04 DEGREES 35 MINUTES 55 SECONDS EAST, A DISTANCE OF 101.42 FEET;

ALONG SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 101.49 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 29 DEGREES 24 MINUTES 32 SECONDS, A RADIUS OF 380.00 FEET, AND A LONG CHORD THAT BEARS NORTH 15 DEGREES 31 MINUTES 38 SECONDS EAST, A DISTANCE OF 192.91 FEET;

ALONG SAID TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 195.05 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 14 DEGREES 38 MINUTES 21 SECONDS WEST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 09 DEGREES 36 MINUTES 04 SECONDS WEST, A DISTANCE OF 0.49 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 30 DEGREES 23 MINUTES 56 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 59 DEGREES 38 MINUTES 04 SECONDS EAST, A DISTANCE OF 0.49 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 75 DEGREES 24 MINUTES 13 SECONDS EAST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 30 DEGREES 40 MINUTES 39 SECONDS EAST, A DISTANCE OF 1.48 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 59 DEGREES 12 MINUTES 39 SECONDS EAST, A DISTANCE OF 60.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 15 DEGREES 32 MINUTES 09 SECONDS, A RADIUS OF 320.00 FEET, AND A LONG CHORD THAT BEARS NORTH 58 DEGREES 33 MINUTES 28 SECONDS EAST, A DISTANCE OF 86.50 FEET;

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 86.77 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 46 DEGREES 19 MINUTES 30 SECONDS EAST, A DISTANCE OF 94.84 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 44 DEGREES 09 MINUTES 04 SECONDS, A RADIUS OF 480.00 FEET, AND A LONG CHORD THAT BEARS NORTH 24 DEGREES 14 MINUTES 58 SECONDS EAST, A DISTANCE OF 360.80 FEET;

ALONG SAID TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 369.88 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 02 DEGREES 10 MINUTES 28 SECONDS EAST, A DISTANCE OF 648.56 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER, AND THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 04 DEGREES 18 MINUTES 26 SECONDS, A RADIUS OF 905.00 FEET, AND A LONG CHORD THAT BEARS NORTH 00 DEGREES 01 MINUTE 13 SECONDS EAST, A DISTANCE OF 66.02 FEET;

ALONG SAID TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 66.03 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 30 MINUTES 06 SECONDS EAST, A DISTANCE OF 62.59 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 02 DEGREES 10 MINUTES 26 SECONDS WEST, A DISTANCE OF 841.70 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 03 DEGREES 06 MINUTES 04 SECONDS WEST, A DISTANCE OF 240.81 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 01 DEGREE 16 MINUTES 28 SECONDS WEST, A DISTANCE OF 248.25 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 11.84 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 44 DEGREES 49 MINUTES 22 SECONDS EAST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 01 DEGREE 48 MINUTES 22 SECONDS EAST, A DISTANCE OF 1.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 00 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 1.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 44 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 642.50 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 44 DEGREES 49 MINUTES 22 SECONDS EAST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 1.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 1.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 44 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 220.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 44 DEGREES 49 MINUTES 22 SECONDS EAST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 00 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 31.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 120.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 1.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 01 DEGREE 34 MINUTES 17 SECONDS EAST, A DISTANCE OF 53.15 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

NORTH 44 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 1.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 44 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 14.14 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, A DISTANCE OF 115.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER;

SOUTH 89 DEGREES 10 MINUTES 38 SECONDS EAST, A DISTANCE OF 400.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED 'LJA SURVEYING' SET FOR CORNER ON THE EAST LINE OF SAID 60.00 ACRE TRACT AND THE COMMON WEST LINE OF THE REMAINDER OF AFORESAID 1.82 ACRE TRACT;

THENCE, SOUTH 00 DEGREES 49 MINUTES 22 SECONDS WEST, ALONG SAID COMMON LINE, A DISTANCE OF 681.73 FEET TO THE POINT OF BEGINNING AND CONTAINING A CALCULATED AREA OF 68.437 ACRES OF LAND;

OWNER'S DEDICATION

STATE OF TEXAS X
COUNTY OF DENTON X

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS: THAT MRP HMTMB, LLC, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICER, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREBY-AFORESAID DESCRIBED PROPERTY AS ELADA, PHASE 1A, AN ADDITION TO THE CITY OF SANGER, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER BY FREE SIMPLE TITLE, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES, ALL STREETS, THOROUGHFARES, ALLEYS, FIRE LANES, DRIVE AISLES, PARKS, AND WATERCOURSES, AND TO THE PUBLIC USE FOREVER EASEMENTS FOR SIDEWALKS, STORM DRAINAGE FACILITIES, UTILITIES AND ANY OTHER PROPERTY NECESSARY TO SERVE THE PLAT AND TO IMPLEMENT THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS AND OTHER CITY CODES AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS TO WARRANT AND TO FOREVER DEFEND THE TITLE ON THE LAND SO DEDICATED. FURTHER, THE UNDERSIGNED COVENANTS AND AGREES THAT HE/SHE SHALL ALWAYS MAINTAIN ALL EASEMENTS AND FACILITIES IN A STATE OF GOOD REPAIR AND FUNCTIONAL CONDITION IN ACCORDANCE WITH CITY CODES AND REGULATIONS, NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE INSTALLED, IF APPROVED BY THE CITY OF SANGER. THE CITY OF SANGER AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO ACCESS AND MAINTAIN ALL RESPECTIVE EASEMENTS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

WITNESS MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

\_\_\_\_\_, OWNER
\_\_\_\_\_, TITLE AND COMPANY (IF APPLICABLE)

STATE OF TEXAS X
COUNTY OF DENTON X

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND, IN THE CAPACITY, THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

TYPE OR PRINT NOTARY'S NAME
MY COMMISSION EXPIRES \_\_\_\_\_

APPROVED AND ACCEPTED

CHARMALL PLANNING & ZONING COMMISSION CITY OF SANGER, TX DATE \_\_\_\_\_

MAYOR CITY OF SANGER, TX DATE \_\_\_\_\_

ATTESTED BY \_\_\_\_\_ DATE \_\_\_\_\_

CITY SECRETARY CITY OF SANGER, TX DATE \_\_\_\_\_

SURVEYOR'S CERTIFICATE

STATE OF TEXAS X
COUNTY OF DALLAS X

THAT I, CHRIS MATTEO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.

WITNESS MY HAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

CHRIS MATTEO
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER: 6501



STATE OF TEXAS X
COUNTY OF DALLAS X

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE ON THIS DAY PERSONALLY APPEARED, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

NOTARY PUBLIC, DALLAS COUNTY, TEXAS

MY COMMISSION EXPIRES: \_\_\_\_\_

A FINAL PLAT OF ELADA, PHASE 1A 68.437 ACRES RIGHT-OF-WAY DEDICATION AREA - 15.243 ACRES 183 RESIDENTIAL LOTS 9 OPEN SPACE LOTS IN THE HENRY TIERWESTER SURVEY, ABSTRACT NO. 1241 CITY OF SANGER, DENTON COUNTY, TEXAS

OWNER: MRP HMTMB, LLC
ADDRESS: 8840 CYPRESS WATERS BLVD., SUITE 100
DALLAS, TEXAS 75019
PHONE: (972) 580-6300
DEVELOPER: MERITAGE HOMES OF TEXAS, LLC
ADDRESS: 8840 CYPRESS WATERS BLVD., SUITE 100
DALLAS, TEXAS 75019
PHONE: (972) 580-6300

Date: FEBRUARY 2026 JOB NO. 0386



6060 North Central Expressway Suite 400 Dallas, Texas 75206 Phone 469.621.0710 T.B.P.E.L.S. Firm No. 10194382 SHEET 2 OF 2

Table with 6 columns: CURVE, CENTRAL ANGLE, RADIUS, CHORD BEARING, CHORD LENGTH, ARC LENGTH. Lists curve data for the survey.

Table with 3 columns: LINE, BEARING, DISTANCE. Lists line data for the survey.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
 940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

**SUBDIVISION APPLICATION**

Preliminary Plat  
 Minor Plat

Final Plat/Replat  
 Amended Plat

Vacating Plat  
 Conveyance Plat

Applicant	Owner (if different from applicant)
Name: <b>Veronica Clark</b>	Name: <b>Ed Hadley</b>
Company: <b>LJA Engineering, Inc.</b>	Company: <b>MRP HMT HB LLC</b>
Address: <b>6060 N Central Expy, Suite 400</b>	Address <b>8840 Cypress Waters Blvd Ste 100</b>
City, State, Zip: <b>Dallas, Texas 75206</b>	City, State, Zip: <b>Coppell, TX 75019</b>
Phone <b>214.451.0877</b>	Phone: <b>520-2147914</b>
Fax:	Fax:
Email: <b>vclark@lja.com</b>	Email: <b>ed.hadley@klservicers.com</b>

**Submittal Checklist**

<input checked="" type="checkbox"/>	Pre-Application Conference (Date: <u>03/28/2024</u> )
<input checked="" type="checkbox"/>	Application Form (Signed by Owner and Applicant)
<input checked="" type="checkbox"/>	Letter of Intent
<input checked="" type="checkbox"/>	Non-Refundable Application Fee (Check Payable to City of Sanger)
<input checked="" type="checkbox"/>	Applicable Plat Checklist (Completed)
<input checked="" type="checkbox"/>	Additional Required Documents/Traffic & Drainage Studies etc.

Supporting Materials (List if provided): N/A

R Number(s): 56328, 77811

Signed by: Ed Hadley  
 Owner's Signature

2/17/2026  
 Date

Signed by: Veronica Clark  
 Applicant's Signature

2/17/2026  
 Date



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

## SUBDIVISION PACKET

A Plat subdividing land within the city limits of Sanger or within Sanger Extraterritorial Jurisdiction (ETJ) requires the approval of the City of Sanger. The platting process involves the preparation of one or more plats by the landowner, a review by staff, and consideration by the Planning & Zoning Commission and City Council.

**PLAT TYPES:** There are seven different types of plats, each with their own function.

- Preliminary Plat – A preliminary plat is required for most subdivisions, particularly those providing for dedication of public right-of-way and construction of public improvements. It is used to determine the layout of the proposed development.
- Final Plat – A final plat will follow a preliminary plat to specify in detail the arrangement of lots, the dedication of public right-of-way, and the provision of public improvements and services.
- Replat – A replat revises an existing plat and is controlling over the preceding plat. A public hearing is required for replat.
- Minor Plat – A minor plat is one creating three lots or fewer, and not requiring the dedication of right-of-way or construction of improvements. Minor plats can be approved with the preparation of a preliminary plat.
- Amended Plat – An amended plat revises a previously platted lot to correct an error or add or modify a feature. Amending plats cannot increase the number of lots.
- Conveyance Plat – A conveyance plat may be used to convey the property or interests therein. It may also be used in lieu of a final plat to record a subdivision or property. A conveyance plat is an interim step in the subdivision of land and shall contain a notation that indicates that no development is intended.
- Vacating Plat – A vacating plat removes/vacates the plat covering a tract of land before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.

**SUBMISSION REQUIREMENTS:** The submittal requirements for each kind of plat are included in this packet.

**SUBMISSION SCHEDULE:** Plats must be submitted during regular business hours before the submittal cut-off date for each Planning and Zoning (P&Z) Commission meeting. Before the application is filed, a mandatory completeness check is required. Application are encouraged to be submitted at least 9 days prior to the submittal cut-off date for completeness check. Plat will be scheduled for P&Z Commission and for City Council according to The Schedule for Planning Applications on the City's website. Staff will provide review comments within 2 weeks of application filing. All corrections must be made prior to the P&Z Commission meeting. If more time is needed for revisions/corrections, the applicant and owner must submit a request in the form of a signed letter a week before the P&Z meeting date. Staff may extend the application review time for up to 25 days upon receipt of the signed letter.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
 940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

**APPLICATION FEES:** The non-refundable application fee covers part of the cost for the city to review and act on the plat application.

- Residential Preliminary or Final Plat / Replat
  - \$600.00 + \$10.00 lot or \$15.00 acre for lot sizes of one acre or more
- Commercial Preliminary or Final Plat / Replat
  - \$700.00 + \$15.00 per acre
- Minor Plat - \$400.00 + \$10.00 per lot, or \$15.00 per acre for lots larger than 1 acre
- Amended Plat - \$400.00 + \$10.00 per lot
- Conveyance Plat - \$400.00 + \$10.00 per lot
- Vacating Plat - \$400.00

### SUBDIVISION PROCEDURE

The process for subdividing land involved the following steps:

1. Pre-Application Conference: Prior to filing of a plat, the owner must consult with the Director of Development Services, and other City staff concerning compliance with all applicable ordinances and regulations, and the provision of adequate infrastructure and public services. Also, the applicable application review and approval procedure for the plat will be identified.
2. Completeness Check: The applicant will provide all required documents and fees along with the signed application and applicable checklist for a completeness check 9 days prior to the submittal cut-off date. Staff will review the documents for completeness of items listed on the checklists and provide feedback about any additional information or documents required from the applicant. Applications deemed to be incomplete at the time of submittal cut-off date will be returned to the applicant without the application being filed.
3. Submission: Upon determination of application completeness, the application will be considered filed with the Development Services Department. The application submittal cut-off date will be considered as the application filing date and as the first day of review of application.
4. Review: City Staff will review the plat for compliance with the Subdivision Ordinance and other city requirements, and provide comments within 2 weeks of application submittal. The applicant may need to make changes and revisions to the plat or supporting materials. The applicant must provide additional copies of the plat if requested by staff prior to the P&Z Commission and City Council meetings.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

5. Planning & Zoning Commission: The Planning & Zoning Commission will consider the plat at a regular meeting. The meeting date will be determined at the time of application filing. Staff will recommend approval of the project only if all of staff's comments have been addressed prior to P&Z meeting. If the plat is approved, it will be forwarded to the City Council. If the plat is denied, applicant may resubmit a response addressing all of staff's comments prior to City Council meeting date.
6. City Council: The City Council will consider the plat at a regular meeting. The meeting date will be determined at the time of application filing. Staff will recommend approval of the project only if all of staff's comments have been addressed prior to City Council meeting. City Council's action will be final. If the plat is denied, staff will provide written statement with specific reasons for disapproval. The applicant may resubmit a response satisfying all reasons for disapproval. Upon resubmittal of the applicant's response, City will have 15 days to either approve or deny the plat. If plat is denied again, the applicant will be required to start a new application. If approved, applicant may schedule a pre-construction meeting with City staff.
7. Filing for Recordation: Following approval by the City Council, and construction and acceptance of any required public improvements, the plat will be signed by the P&Z Chairman, Mayor, sealed by the City Secretary, and filed for record with Denton County. A Plat Execution Package containing the following must be provided to the Development Services to file the plat for record with Denton County:
  - a. three (3) full-sized (24"x36") notarized copies of the plat with all signatures (except P&Z Chairman, Mayor and City Secretary), seals, stamps or other validation/certifications of work as applicable in accordance with State law and local requirements, folded to 8.5"x11" with the title block facing outwards;
  - b. recent original certified & sealed tax certificates showing \$0.00 amount due;
  - c. \$150.00 plat filing fee;

Note: Preliminary Plats are not filed for record

Consult the Schedule of Planning Application for submittal dates and corresponding meeting dates of the Planning & Zoning Commission and City Council.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

## SUBMITTAL REQUIREMENTS & PROCESS

All plat submittals must include the correct copies of the plat, the completed and signed application form, plat checklist, the application fee, and a Letter of Intent. Some plats may also require additional copies of the plat and/or other supplementary materials. The Pre-Application Conference with city staff will determine the specific submittal requirements for each applicant.

PLAT: The applicant must will submit all items requested on the checklist on to Community Core.

APPLICATION FORM: The application form must be completed and signed by the applicant and the owner(s).

PLAT CHECKLIST: Each item on the applicable plat checklist must be check marked as completed and submitted along with the application form.

APPLICATION FEE: The required application fee must be provided by check made payable to the City of Sanger. If the submittal is complete, the payment will be accepted. If the submittal is incomplete, the check will be returned with the other materials.

LETTER OF INTENT: Each plat submittal must include a Letter of Intent which provides the following:

- The subdivider's name and address
- The contact information of the person(s) preparing the submitted documents
- The designated point of contact for future correspondence
- The intent of the plat application
- A brief description of the location, land area, particulars as to the intended use(s) of the property, and any intended future development on the property
- A request that the plat be reviewed and considered by the appropriate approval body

SUBMITTAL PROCESS: The applicant shall submit the plat application to the online portal Community Core as indicated by the Schedule of Planning Application. A plat application submittal is accepted by the City when the Director of Development Services has certified to the applicant that a complete submittal providing adequate information for a comprehensive review has been received. No plat application will be considered submitted with the city until and unless the prescribed application fees have been paid. All original plat application documents must be submitted to the Department of Development Services through Community Core.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
 940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

**FINAL, REPLAT, MINOR, AMENDED, AND CONVEYANCE PLAT CHECKLIST**

- The Plat shall be drawn to a scale of not more than two hundred feet to the inch (1" = 200').
- The boundary marked with heavy weighted lines with accurate distances and bearings, a mete and bounds description of the boundary (error of closure shall not exceed one (a) in fifty thousand (50,000) for the plat boundary), exact acreage to hundredths, and the exact location and width of all existing or recorded rights-of-way intersecting the boundary of or bordering on the tract. One (1) copy of the traverse closure sheet shall be enclosed.
- True bearings and distances to the nearest established street lines, official monuments or subdivision corner, which shall be accurately described on the plat. Municipal, township, county or abstract survey lines shall be accurately tied to the lines of the subdivision by the distances and bearings, where applicable.
- Describe and locate all permanent survey monument, pins, and control points and tie and reference the survey corners at two points to the Texas State Plane Coordinate System North Central Zone 1983- 1999 datum. The Point of Beginning (POB) shall be clearly marked including State Plane Coordinates, NAD 83.
- An accurate location of at least two (2) corners of the subdivision with reference to original corners of the original survey of which the subdivision is a part or an existing permanent monument to an approved and recorded plat or permanent markers established by and approved by the City Engineer.
- Subdivision name of adjacent properties (P.R.D.C.T) or ownership information for adjacent unplatted properties (D.R.D.C.T.) with recording information.
- An accurate location of the subdivision in reference to the deed records of the county which shall include the volume and page of the deed of the property to be subdivided.
- If the property owner information does not match the Denton Central Appraisal District record, then information related to the purchase must be provided.
- The exact layout, including:
  - 1) Street and/or alley names
  - 2) The length of all arcs, radii, internal angles and points of curvature, length and bearing of the tangents
  - 3) All existing and proposed easements for right-of-way, public services, utilities or any other easements and any limitations of the easements
  - 4) Show centerline of existing streets. Dimensions from centerline to edges of existing and proposed right-of-way on both sides of the centerline.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
 940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

- 5) All lot number and lines, with accurate dimensions in feet and hundredths, with bearings and angles to street and alley lines to the nearest second
- The accurate location, material, and approximate size of all monuments.
- The accurate outline description of all property which is offered for dedication for public use, such as parks, etc., with the purpose indicated thereon, and all property that may be reserved by deed covenant for the common use of the property owners in the subdivision.
- A signed and notarized copy of private restriction (if any), that are filed for record in the office of the County Clerk shall be provided with the Final Plat.
- Name and addresses of the owner, subdivider, engineer, and surveyor.
- North point, written and graphic scale, and date.
- 3"x3" recording box at the lower right-hand corner.
- A Title Block with the following information shall be provided on each page:
  - 1) Plat Type (ex: "Final Plat", "Preliminary Plat", etc.)
  - 2) Name of the proposed development/addition/subdivision
  - 3) Total number of lots and HOA/Open Space lots
  - 4) Survey name and abstract number
  - 5) Gross acreage
  - 6) Right-of-Way acreage, if dedicated
  - 7) Date of preparation and subsequent revisions
- Standard Notation to be added on the plat:
  - 1) "All lots comply with the minimum size requirements of the zoning district."
  - 2) "This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due."
  - 3) "All common areas, drainage easements, and detention facilities will be owned and maintained by the HOA/POA. Any common area within the City's right-of-way will require a facilities agreement, to be reviewed and approved by the City."
  - 4) "Notice – selling a portion of this addition by metes and bounds is a violation of City ordinance and State Law and is subject to fines and withholding of utilities and building permits."
  - 5) "This plat does not alter or remove existing deed restrictions, if any, on this property."
  - 6) "Minimum finished floor elevations are at least 2 feet above the 100-year flood plain."
  - 7) "The subject property does not lie within a 100 – year floodplain according to Community Panel No. \_\_\_\_\_, dated \_\_\_\_\_,"



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

of the National Flood Insurance Rate Maps for Denton County, Texas.”

- 8) “The purpose of this plat is \_\_\_\_\_ [state the purpose] \_\_\_\_\_”
- 9) “Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD ‘83)”

- The name, address and phone number of all utilities providing service to the development is required. A signature from each provider or a will-serve letter, signifying their ability to provide service to the subdivision is required.
- Location map showing existing and proposed streets and thoroughfares covering an area at least one thousand feet (1000’) outside the proposed subdivision.
- One paper copy (24”x36”) and one soft copy (pdf) of approved civil/construction plans, along with GIS/CAD files for all approved public improvements on a CD/DVD.
- For Conveyance Plats Only: All conveyance plats must be titled “Conveyance Plat” and carry the following text:

“A conveyance plat is a record of property approved by the City of Sanger for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit may be issued, nor development begin, nor permanent public utility service provided until a final plat is approved, filed of record and public improvements are accepted in accordance with the City of Sanger Code of Ordinances. Selling a portion of this property by metes and bounds, except as shown on an approved, filed and accepted conveyance plat, final plat or replat is a violation of the state law.”

- Certification by a registered public surveyor or licensed state land surveyor, registered in the State of Texas to the effect that the plat represents a survey made by him or under his direct supervision and that all monuments shown thereon have been verified and exist, and that their location, size, and material are correctly shown. Such surveyor’s certificate may be prepared as follows:

*“State of Texas  
County of Denton*

*I hereby certify that this plat is true and correct and was prepared from an actual survey of the property made on the ground under my supervision.*

(Engineer or Surveyor’s Seal)

\_\_\_\_\_

*Licensed Professional Engineer OR  
Registered Public Land Surveyor Texas R.P.L.S. No. Date”*



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

- A certificate of ownership and dedication of all streets, alleys, parks, and playgrounds to public use forever, signed and acknowledged before a notary public, by the owner or authorized representative and lien holder of the land, and a complete and accurate description of the land subdivided, and the streets dedicated. Such owner's certificate may be prepared as follows:

*"State of Texas*

*County of*

*Denton*

*I (we), the undersigned, owner(s) of the land shown on this plat within the area described by metes and bounds as follows:*

(Metes and Bounds Description of Boundary)

***NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:***

*THAT \_\_\_\_\_, acting herein by and through its duly authorized officer, does hereby adopt this plat designating the hereinabove described property as \_\_\_\_\_ (lot/block/subdivision), an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall always maintain all easements and facilities in a state of good repair and functional condition in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.*

*WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.*

\_\_\_\_\_, *Owner*

\_\_\_\_\_, *Title and Company (if applicable)"*

*"State of Texas*

*County of*

*Denton*



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

(cont.)

*Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated.*

*Given under my hand and seal of office this \_\_\_\_\_ day of \_\_, 20\_\_.*

\_\_\_\_\_

*Notary Public in and for the State of Texas*

\_\_\_\_\_

*Type or Print Notary's Name*

*My Commission Expires \_\_\_\_\_."*

- The following certificate shall be included on the plat in a manner that will allow the signatures of the designated officials and the affixing of the City Seal.

*"Approved and Accepted*

\_\_\_\_\_

*Chairman, Planning & Zoning*

\_\_\_\_\_

*Date*

*Commissioner City of Sanger, TX*

\_\_\_\_\_

*Mayor  
City of Sanger, TX*

\_\_\_\_\_

*Date*

*Attested by*

\_\_\_\_\_

*City Secretary  
City of Sanger, TX"*

\_\_\_\_\_

*Date*

February 20, 2026

Development Services  
City of Sanger  
201 Bolivar Street  
Sanger, TX 76266

Re: Letter of Intent  
Elada, Phase 1A Final Plat Application

Dear Development Services,

As listed in the final plat requirements, please accept this letter of intent for the review and approval of the Final Plat for the Elada, Phase 1A development. This is the first phase of the Elada overall development which will consist of 1,057 single-family residential lots and 18 open space lots on 306.36 acres. Elada, Phase 1A will consist of 183 single family lots, 9 open space lots on 68.437 acres. The property is located west of Interstate 35 and northeast of the intersection of Metz Road and Belz Road. The development is anticipated to be served by the City of Sanger for both water and sewer.

Included with this submittal are the final plat, plat checklist, plat application, will serve letters, warranty deeds, construction plans, and CAD linework. Meritage Homes, located at 8840 Cypress Waters Blvd, Suite 100, Coppell, Texas 75019 is the developer of this property and LJA Engineering, Inc. located at 6060 North Central Expressway, Suite 400, Dallas, Texas 75206 will act as the consulting engineer.

If you have any questions, please feel free to call me.

Sincerely,



Veronica Clark, PE  
Senior Project Engineer  
214.451.0877  
[vclark@lja.com](mailto:vclark@lja.com)



**DATE: 4/06/26**

**1<sup>st</sup> REVIEW COMMENTS – Final Plat – Elada Phase 1A**

The request is for a Final Plat of Elada Phase 1A, being approximately 68.437 acres of land, prepared by LJA Surveying, Inc, submitted on 3/18/26. Below are the planning comments that should be addressed before Planning & Zoning approval. Resubmit the revised plat along with a response letter addressing all comments.

**Planning**

Provide the following;

1. Provide in the legal description the accurate location of the subdivision in reference to the deed records of the county, which shall include the volume and page of the deed of the property.
2. Show the centerline of existing and proposed streets. Dimensions from the centerline to the edges of existing and proposed right-of-way on both sides of the centerline.
3. Provide the accurate location, material, and approximate size of all monuments.
4. Name and addresses of the owner, subdivider, engineer, and surveyor.

**Informational Comments**

1. The property is within the City of Sanger.
2. The Final Plat will be scheduled for Planning and Zoning (P&Z) Commission meeting on Monday, April 13, 2026.

## ENGINEERING COMMENTS –

It appears the submittal we received for review for 26SANZON-0006 - Elada Phase 1A Final Plat is essentially the same as the first submittal on 26SANCV-0002 - Elada Phase IA Civils as both permit numbers are related with the former being the final plat submittal and the latter being the engineering civil plans. We reviewed both under the 26SANCV-0002 - Elada Phase IA Civils and provided comments on 03/09/2026.

I just checked both permit numbers on community core and can confirm that on 02/20/2026, the same documents were uploaded on both permit numbers and it appears that the second submittal was recently uploaded on 03/27/2026 on the 26SANCV-0002 permit number. We will download the files recently uploaded and issue separate comment letters for both permit numbers after review.



# PLANNING & ZONING COMMISSION COMMUNICATION

**DATE:** April 13, 2025

**FROM:** Ramie Hammonds, Development Services Director

**AGENDA ITEM:** Consideration and possible action on a Final Plat of Fast Electric Addition, being approximately 3.31 acres of land being part of A1241A TIERWESTER, TR 82(PT), within the City of Sanger, generally located on the northwest corner of the intersection of Duck Creek Road and S Stemmons Frwy.

**SUMMARY:**

- This plat will create one lot of record.
- The lot is zoned B-2 which is now classified as RC – Regional Commercial
- The lot can have access from S Stemmons Frwy and Duck Creek Road.
- This area is zoned PD Planned Development.
- The lot complies with the zoning district requirements.

**FISCAL INFORMATION:**

N/A

**RECOMMENDED MOTION OR ACTION:**

Staff recommends DENIAL on the condition not all comments have been satisfied.

**ATTACHMENTS:**

- Location Map
- Final Plat
- Application
- Letter of Intent
- Planning Comments
- Engineering Comments
- Electric Comments

# Fast Electric Addition

## Legend

- DCAD (Property Lines)
- Parcels
  -
- Planning and Zoning
- Planning and Zoning
  - ▲ WATER WELL
  - PERMITS
  - Not Approved
  - Approved
- Public Safety
- Addresses 911
  -
- Lakes and Streams
- Lakes
  -
- Streams
  -



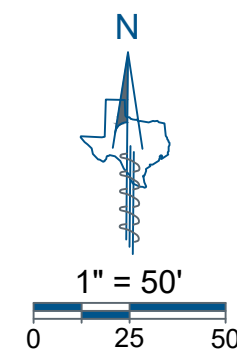
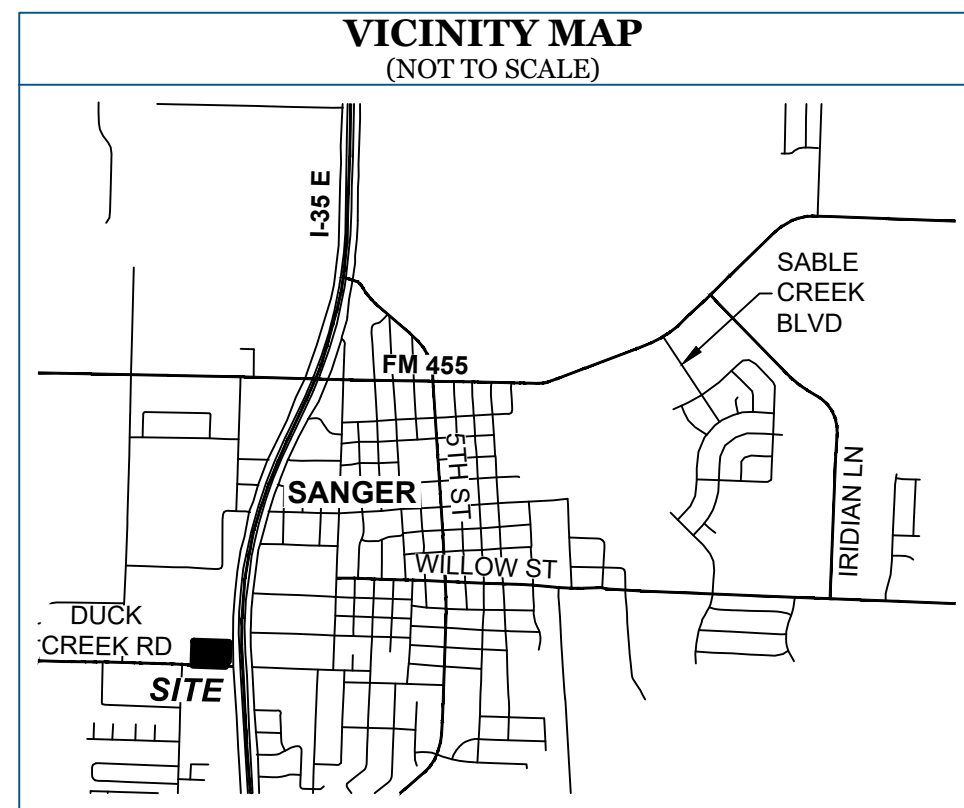
**Notes:**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Denton County does not guarantee the correctness or accuracy of any features on this product and assumes no responsibility in connection therewith. This product may be revised at any time without notification to any user.

<https://www.dentoncounty.gov/1147/Geographic-Information-Systems-GIS>  
4/7/2026 9:31:44 AM





LINE	BEARING	DISTANCE
L1	S 47°17'15" W	49.77'
L2	S 00°00'00" E	30.30'
L3	N 87°44'51" W	18.84'
L4	N 88°26'00" W	99.78'
L5	N 01°34'00" E	15.00'
L6	S 88°26'00" E	99.74'
L7	N 87°49'20" W	33.64'
L8	N 02°10'40" E	88.23'
L9	N 02°10'40" E	92.02'
L10	S 87°49'20" E	93.25'
L11	S 02°10'40" W	93.25'
L12	N 87°49'20" W	93.20'
L13	S 02°10'40" W	32.63'
L14	N 87°49'20" W	93.25'
L15	N 02°10'40" E	93.25'
L16	S 87°49'20" E	93.25'
L17	S 02°10'40" W	93.25'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	9975.00'	251.95'	1°26'50"	S 01°49'22" W	251.94'
C2	3822.68'	15.00'	0°13'29"	S 01°24'39" W	15.00'
C3	30.00'	10.14'	19°22'21"	N 11°51'50" E	10.10'
C4	50.00'	15.88'	18°11'42"	N 11°16'31" E	15.81'
C5	50.00'	15.88'	18°11'42"	N 11°16'31" E	15.81'
C6	55.00'	86.39'	90°00'00"	N 47°10'40" E	77.78'
C7	55.00'	86.39'	90°00'00"	S 42°49'20" W	77.78'
C8	55.00'	86.39'	90°00'00"	S 47°10'40" W	77.78'
C9	30.08'	47.13'	89°46'09"	S 47°13'54" W	42.45'
C10	30.08'	10.80'	20°34'11"	S 08°15'24" W	10.74'
C11	30.00'	47.12'	90°00'00"	N 42°49'20" E	42.43'
C12	30.00'	47.12'	90°00'00"	N 47°10'40" E	42.43'
C13	30.00'	47.12'	90°00'00"	S 42°49'20" E	42.43'
C14	30.00'	47.12'	90°00'00"	S 47°10'40" W	42.43'

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, I(we), JOSE DE LA CRUZ RODRIGUEZ JIMENEZ and YASMINA IVETH JIMENEZ DE RODRIGUEZ, are the owners of 3.31 acres of land out of the Henry Tierwester Survey, Abstract Number 1241, situated in the City of Sanger, Denton County, Texas, being all of a called 3.29 acre tract of land conveyed to Jose de la Cruz Rodriguez Jimenez and Yasmina Iveth Jimenez de Rodriguez by Warranty Deed of record in Document Number 2024-92236 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a mag nail set in Duck Creek Road at the southeast corner of a right-of-way dedication by Powell Addition, a subdivision of record in Document Number 2023-392 of the Plat Records of Denton County, Texas, also being the southwest corner of said 3.29 acre tract and hereof;

THENCE, N01°57'11"E, leaving Duck Creek Road, along the west line of said 3.29 acre tract, in part being the common east line of said right-of-way dedication, and in part being the common east line of Lot 1R, Block 1 of said Powell Addition, a distance of 315.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the south line of Lot 1, Block A of Heaths Hollow Subdivision, a subdivision of record in Document Number 2020-140 of said Plat Records, being the northeast corner of said Lot 1R, also being the northwest corner of said 3.29 acre tract and hereof, from which a 1/2 inch iron rod found at the southwest corner of said Lot 1 bears N88°00'03"W, a distance of 82.63 feet, and from said southwest corner of Lot 1 a railroad spike found at the northwest corner of said Lot 1R bears N88°00'03"W, a distance of 72.23 feet;

THENCE, S88°00'03"E, along the south line of said Lot 1, being the common north line of said 3.29 acre tract, a distance of 459.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the west right-of-way line of Interstate Highway 35 (U.S. Highway 77; right-of-way width varies) and the common west line of a tract of land conveyed as Parcel 66 to The State of Texas by deed of record in Document Number 2021-11250 of said Official Records, being the northeast corner of said Parcel 66, also being the southeast corner of said 3.29 acre tract and hereof;

THENCE, along the west right-of-way line of Interstate Highway 35, the common west line of said Parcel 66, and the common east line of said 3.29 acre tract, the following three (3) courses and distances:

1. Along a non-tangent curve to the right, having a radius of 9,975.00 feet, a chord bearing of S01°49'22"W, a chord length of 251.94 feet, a delta angle of 01°26'50", an arc length of 251.95 feet to a point from which a 5/8 inch iron rod found bears S44°25'57"W, a distance of 0.47 feet;
2. S47°17'15"W, a distance of 49.77 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found;
3. SOUTH, a distance of 30.30 feet to a mag nail set at the intersection of Duck Creek Road and the west right-of-way line of Interstate Highway 35, being the southwest corner of said Parcel 66, also being the southeast corner of said 3.29 acre tract and hereof;

THENCE, N87°49'20"W, along Duck Creek Road and the south line of said 3.29 acre tract, a distance of 426.12 feet to the POINT OF BEGINNING, and containing an area of 3.31 acres (144,186 square feet) of land, more or less.

NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, JOSE DE LA CRUZ RODRIGUEZ JIMENEZ and YASMINA IVETH JIMENEZ DE RODRIGUEZ, acting herein by and through their duly authorized officer(s) do hereby adopt this plat designating hereinabove described property as FAST ELECTRIC ADDITION, LOT 1, BLOCK A, an addition to the City of Sanger, Texas, and do hereby dedicate to public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities, and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed. If approved by the City of Sanger, the City of Sanger and public entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

JOSE DE LA CRUZ RODRIGUEZ JIMENEZ

BY: \_\_\_\_\_ Date \_\_\_\_\_  
Signature \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared JOSE DE LA CRUZ RODRIGUEZ JIMENEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

YASMINA IVETH JIMENEZ DE RODRIGUEZ

BY: \_\_\_\_\_ Date \_\_\_\_\_  
Signature \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared YASMINA IVETH JIMENEZ DE RODRIGUEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

GENERAL NOTES

- 1.) The purpose of this plat is to create one lot of record from an unplatted tract of land and to dedicate easements.
- 2.) This property is located in Zone "X" (Unshaded) within Community Number 480786 as shown on F.E.M.A. Flood Insurance Rate Map Number 48121C0210G, effective April 18, 2011. The location of the Flood Zone is approximate. For additional information regarding Flood Zone designation, contact 1-(877) FEMA MAP.
- 3.) The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative Network, State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83).
- 4.) Notice: Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and withholding of utilities and building permits.
- 5.) All set property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- 6.) Water and Sanitary Sewer, are provided by the City of Sanger, PO Box 1729, Sanger, TX 76266, 940-458-2571. Electric Service is provided by Sanger Electric Utilities, 202 Railroad Ave., Sanger, TX 76266, 940-458-2064.
- 7.) This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
- 8.) All common areas, drainage easements, and detention facilities will be owned and maintained by the HOA/POA. Any common area with in the City's right-of-way will require a facilities agreement, to be reviewed and approved by the City.
- 9.) This plat does not alter or remove existing deed restrictions, if any, on this property.
- 10.) Zoning District for this property is "RC" Regional Commercial.
- 11.) All lots comply with the minimum size requirements of the zoning district.
- 12.) Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.

APPROVED AND ACCEPTED

CITY OF SANGER  
DENTON COUNTY, TEXAS

Chairman, Planning and Zoning Commission  
City of Sanger, Texas Date \_\_\_\_\_

Mayor  
City of Sanger, Texas Date \_\_\_\_\_

ATTEST:

City Secretary  
City of Sanger, Texas Date \_\_\_\_\_

**SURVEYOR**  
Eagle Surveying, LLC  
Contact: Richard Spicer, Jr.  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**OWNER**  
Jose De La Cruz Rodriguez Jimenez &  
Yasmina Iveth Jimenez De Rodriguez  
8025 Jane Long Road  
Sanger, TX 76266  
(940) 297-9678

**ENGINEER**  
Gonzalez & Schneeberg  
801 East Campbell Road, Suite 330  
Richardson, TX 75081  
(972) 516-8855

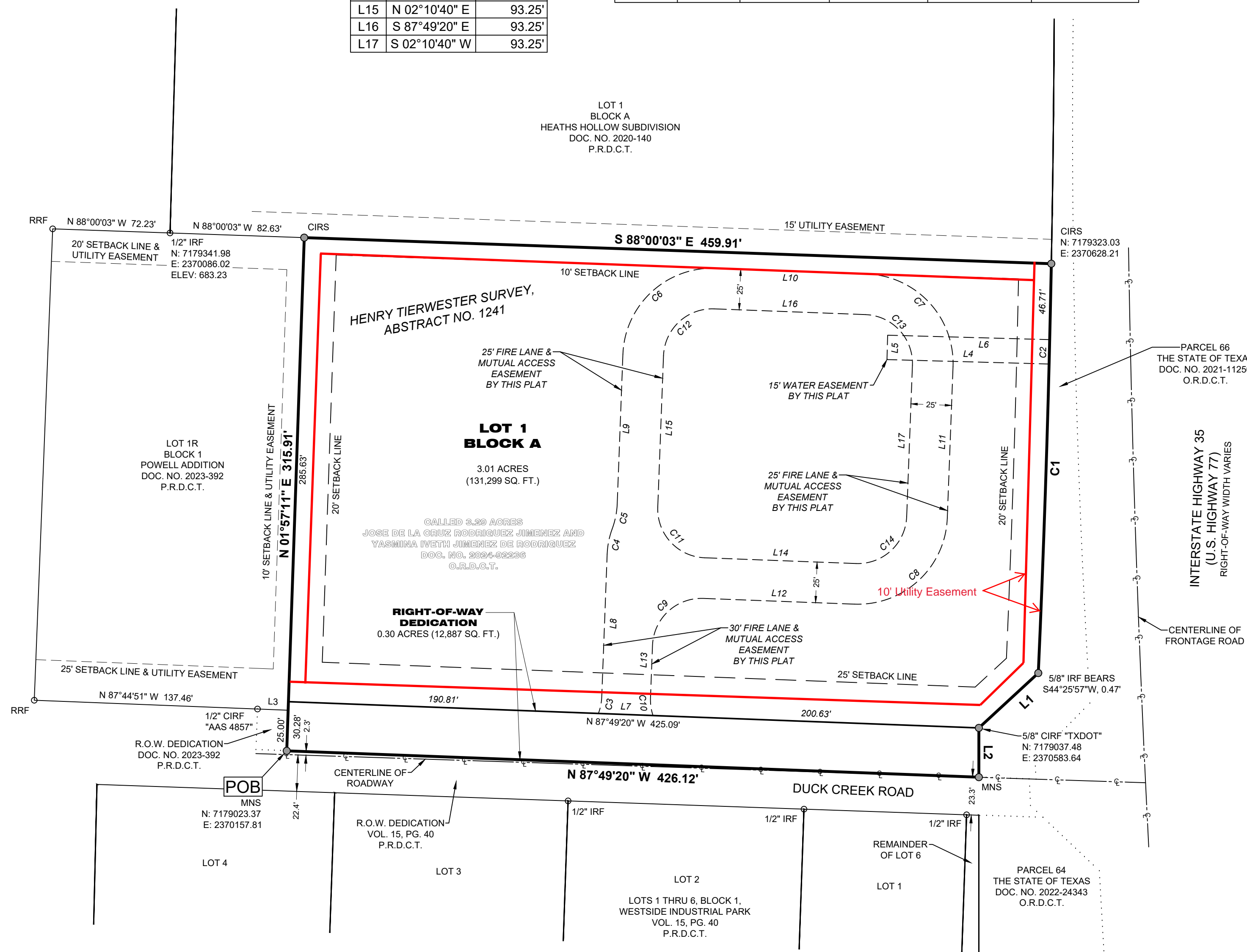
JOB NUMBER  
2509.059

DATE  
11-24-2025

REVISION  
03-08-2026

DRAWN BY  
MMF

Eagle Surveying, LLC  
222 South Elm Street  
Suite: 200  
Denton, TX 76201  
940.222.3009  
www.eaglesurveying.com  
TX Firm # 10194177



CERTIFICATE OF SURVEYOR

STATE OF TEXAS §  
COUNTY OF DENTON §

I, CALEB MCCANLIES, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Sanger, Denton County, Texas.

**PRELIMINARY**  
this document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document  
Caleb McCanlies, R.P.L.S. # 7036

Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared CALEB MCCANLIES, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

LEGEND	
●	BOUNDARY MONUMENT (SUBJECT)
○	BOUNDARY MONUMENT (OTHERS)
POB	POINT OF BEGINNING
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
CIRS	1/2" IRON ROD SET WITH GREEN "EAGLE SURVEYING" CAP
RRF	RAILROAD SPIKE FOUND
MNS	MAG NAIL SET
VOL.	VOLUME
PG.	PAGE
DOC. NO.	DOCUMENT NUMBER
O.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS

FINAL PLAT  
FAST ELECTRIC  
ADDITION  
LOT 1, BLOCK A

3.31 ACRES  
0.30 ACRES - RIGHT-OF-WAY DEDICATION  
HENRY TIERWESTER SURVEY, ABSTRACT NO. 1241,  
CITY OF SANGER, DENTON COUNTY, TEXAS

DATE OF PREPARATION: 11/24/2025



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
 940-458-2059(office) www.sangertexas.org

**SUBDIVISION APPLICATION**

Preliminary  
Plat Minor  
Plat

Final  
Plat/Replat  
Amended Plat

Vacating Plat  
Conveyance  
Plat

Applicant

Owner (if different from applicant)

Name: <b>Michael Fedchak</b>	Name: <b>Jose De La Cruz Rodriguez Jimenez</b>
Company: <b>Eagle Surveying</b>	Company: <b>Fast Electric, LLC</b>
Address: <b>222 South Elm Street, Suite 200</b>	Address <b>8025 Jane Long Road</b>
City, State, Zip: <b>Denton, Texas 76201</b>	City, State, Zip: <b>Sanger, Texas 76266</b>
Phone <b>940 222-3009</b>	Phone: <b>9403150043</b>
Fax:	Fax:
Email: <b>plattngdepartment@eaglesurveying.com</b>	Email: <b>joser@teamfastelectric.com</b>

Submittal Checklist

<input type="checkbox"/>	Pre-Application Conference (Date: ___/___/___)
<input type="checkbox"/>	One (1) Paper Copy of Plat (24"x36", folded to 1/4 size)
<input checked="" type="checkbox"/>	Letter of Intent
<input type="checkbox"/>	Non-Refundable Application Fee (Check Payable to City of Sanger)
<input checked="" type="checkbox"/>	Application Form (Signed by Owner)
<input checked="" type="checkbox"/>	Applicable Plat Checklist (Completed)
<input type="checkbox"/>	Additional Required Documents/Traffic & Drainage Studies etc.
<input checked="" type="checkbox"/>	One (1) PDF Copy of all Documents Provided on a CD/DVD or Emailed to <a href="mailto:development@sangertexas.org">development@sangertexas.org</a>

Supporting Materials (List if provided): \_\_\_\_\_

R Number(s): \_\_\_\_\_

Jose Rodriguez  
 Owner's Signature

03-08-2026  
 Date

Michael Fedchak  
 Applicant's Signature

03-08-2026  
 Date

Office Use: Reviewed by Director of Development Services \_\_\_/\_\_\_/\_\_\_



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

## SUBDIVISION PACKET

A Plat subdividing land within the city limits of Sanger or within Sanger Extraterritorial Jurisdiction (ETJ) requires the approval of the City of Sanger. The platting process involves the preparation of one or more plats by the landowner, a review by staff, and consideration by the Planning & Zoning Commission and City Council.

PLAT TYPES: There are seven different types of plats, each with their own function.

- Preliminary Plat – A preliminary plat is required for most subdivisions, particularly those providing for dedication of public right-of-way and construction of public improvements. It is used to determine the layout of the proposed development.
- Final Plat – A final plat will follow a preliminary plat to specify in detail the arrangement of lots, the dedication of public right-of-way, and the provision of public improvements and services.
- Replat – A replat revises an existing plat and is controlling over the preceding plat. A public hearing is required for replat.
- Minor Plat – A minor plat is one creating three lots or fewer, and not requiring the dedication of right-of-way or construction of improvements. Minor plats can be approved with the preparation of a preliminary plat.
- Amended Plat – An amended plat revises a previously platted lot to correct an error or add or modify a feature. Amending plats cannot increase the number of lots.
- Conveyance Plat – A conveyance plat may be used to convey the property or interests therein. It may also be used in lieu of a final plat to record a subdivision or property. A conveyance plat is an interim step in the subdivision of land and shall contain a notation that indicates that no development is intended.
- Vacating Plat – A vacating plat removes/vacates the plat covering a tract of land before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.

SUBMISSION REQUIREMENTS: The submittal requirements for each kind of plat are included in this packet.

SUBMISSION SCHEDULE: Plats must be submitted during regular business hours before the submittal cut-off date for each Planning and Zoning (P&Z) Commission meeting. Before the application is filed, a mandatory completeness check is required. Applications are encouraged to be submitted at least 9 days prior to the submittal cut-off date for completeness check. Plat will be scheduled for P&Z Commission and for City Council according to The Schedule for Planning Applications on the City's website. Staff will provide review comments within 2 weeks of application filing. All corrections must be made prior to the P&Z Commission meeting. If more time is needed for revisions/corrections, the applicant and owner must submit a request in the form of a signed letter a week before the P&Z meeting date. Staff may extend the application review time for up to 25 days upon receipt of the signed letter.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

**APPLICATION FEES:** The non-refundable application fee covers part of the cost for the city to review and act on the plat application.

- Residential Preliminary or Final Plat /Replat
  - \$400.00 + \$6.00 per lot < 10
  - \$500.00 + \$10.00 per lot > 10
  - \$500.00 + \$15.00/acre for plats with lot sizes of one acre or more
- Commercial Preliminary or Final Plat /Replat
  - Less than five (5) acres - \$500.00 + \$15.00 per acre
  - Five (5) acres to less than 25 acres - \$600.00 + \$15.00 per acre
  - 25 acres to less than 100 acres - \$950.00
  - 100 acres or more - \$950.00 + \$5.00 per acre
- Minor Plat - \$400.00 + \$3.00 per lot, or \$15.00 per acre for lots larger than 1 acre
- Amended Plat - \$200.00 + \$3.00 per lot
- Conveyance Plat - \$200.00 + \$3.00 per lot
- Vacating Plat - \$200.00

### SUBDIVISION PROCEDURE

The process for subdividing land involved the following steps:

1. Pre-Application Conference: Prior to filing of a plat, the owner must consult with the Director of Development Services, and other City staff concerning compliance with all applicable ordinances and regulations, and the provision of adequate infrastructure and public services. Also, the applicable application review and approval procedure for the plat will be identified.
2. Completeness Check: The applicant will provide all required documents and fees along with the signed application and applicable checklist for a completeness check 9 days prior to the submittal cut-off date. Staff will review the documents for completeness of items listed on the checklists and provide feedback about any additional information or documents required from the applicant. Applications deemed to be incomplete at the time of submittal cut-off date will be returned to the applicant without the application being filed.
3. Submission: Upon determination of application completeness, the application will be considered filed with the Development Services Department. The application submittal cut-off date will be considered as the application filing date and as the first day of review of application.
4. Review: City Staff will review the plat for compliance with the Subdivision Ordinance and other city requirements, and provide comments within 2 weeks of application submittal. The applicant may need to make changes and revisions to the plat or supporting materials. The applicant must provide additional copies of the plat if requested by staff prior to the P&Z Commission and City Council meetings.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

5. Planning & Zoning Commission: The Planning & Zoning Commission will consider the plat at a regular meeting. The meeting date will be determined at the time of application filing. Staff will recommend approval of the project only if all of staff's comments have been addressed prior to P&Z meeting. If the plat is approved, it will be forwarded to the City Council. If the plat is denied, applicant may resubmit a response addressing all of staff's comments prior to City Council meeting date.
  
6. City Council: The City Council will consider the plat at a regular meeting. The meeting date will be determined at the time of application filing. Staff will recommend approval of the project only if all of staff's comments have been addressed prior to City Council meeting. City Council's action will be final. If the plat is denied, staff will provide written statement with specific reasons for disapproval. The applicant may resubmit a response satisfying all reasons for disapproval. Upon resubmittal of the applicant's response, City will have 15 days to either approve or deny the plat. If plat is denied again, the applicant will be required to start a new application. If approved, applicant may schedule a pre-construction meeting with City staff.
  
7. Filing for Recordation: Following approval by the City Council, and construction and acceptance of any required public improvements, the plat will be signed by the P&Z Chairman, Mayor, sealed by the City Secretary, and filed for record with Denton County. A Plat Execution Package containing the following must be provided to the Development Services to file the plat for record with Denton County:
  - a. three (3) full-sized (24"x36") notarized copies of the plat with all signatures (except P&Z Chairman, Mayor and City Secretary), seals, stamps or other validation/certifications of work as applicable in accordance with State law and local requirements, folded to 8.5"x11" with the title block facing outwards;
  - b. recent original certified & sealed tax certificates showing \$0.00 amount due;
  - c. \$100.00 plat filing fee;

Note: Preliminary Plats are not filed for record

Consult the Schedule of Planning Application for submittal dates and corresponding meeting dates of the Planning & Zoning Commission and City Council.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

### **SUBMITTAL REQUIREMENTS & PROCESS**

All plat submittals must include the correct copies of the plat, the completed and signed application form, plat checklist, the application fee, and a Letter of Intent. Some plats may also require additional copies of the plat and/or other supplementary materials. The Pre-Application Conference with city staff will determine the specific submittal requirements for each applicant.

PLAT: The applicant must provide one (1) copy of the plat, printed on a 24"x36" paper, folded to one quarter that size, along a pdf copy of the plat provided on a CD/DVD or emailed to [development@sangertexas.org](mailto:development@sangertexas.org). Additional copies of the plat may be required for staff, depending on the nature of the plat. Additional copies may be required prior to the Planning & Zoning Commission and City Council meetings.

APPLICATION FORM: The application form must be completed and signed by the owner(s).

PLAT CHECKLIST: Each item on the applicable plat checklist must be check marked as completed and submitted along with the application form.

APPLICATION FEE: The required application fee must be provided by check made payable to the City of Sanger. If the submittal is complete, the payment will be accepted. If the submittal is incomplete, the check will be returned with the other materials.

LETTER OF INTENT: Each plat submittal must include a Letter of Intent which provides the following:

- The subdivider's name and address
- The contact information of the person(s) preparing the submitted documents
- The designated point of contact for future correspondence
- The intent of the plat application
- A brief description of the location, land area, particulars as to the intended use(s) of the property, and any intended future development on the property
- A request that the plat be reviewed and considered by the appropriate approval body

SUBMITTAL PROCESS: The applicant shall submit the plat application to the Department of Development Services as indicated by the Schedule of Planning Application. A plat application submittal is accepted by the City when the Director of Development Services has certified to the applicant that a complete submittal providing adequate information for a comprehensive review has been received. No plat application will be considered submitted with the city until and unless the prescribed application fees have been paid. All original plat application documents must be submitted to the Department of Development Services, as well as emailed to [development@sangertexas.org](mailto:development@sangertexas.org).



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

### FINAL, REPLAT, MINOR, AMENDED, AND CONVEYANCE PLAT CHECKLIST

- The Plat shall be drawn to a scale of not more than two hundred feet to the inch (1" = 200').
- The boundary marked with heavy weighted lines with accurate distances and bearings, a metes and bounds description of the boundary (error of closure shall not exceed one (a) in fifty thousand (50,000) for the plat boundary), exact acreage to hundredths, and the exact location and width of all existing or recorded rights-of-way intersecting the boundary of or bordering on the tract. One (1) copy of the traverse closure sheet shall be enclosed.
- True bearings and distances to the nearest established street lines, official monuments or subdivision corner, which shall be accurately described on the plat. Municipal, township, county or abstract survey lines shall be accurately tied to the lines of the subdivision by the distances and bearings, where applicable.
- Describe and locate all permanent survey monument, pins, and control points and tie and reference the survey corners at two points to the Texas State Plane Coordinate System North Central Zone 1983-1999 datum. The Point of Beginning (POB) shall be clearly marked including State Plane Coordinates, NAD 83.
- An accurate location of at least two (2) corners of the subdivision with reference to original corners of the original survey of which the subdivision is a part or an existing permanent monument to an approved and recorded plat or permanent markers established by and approved by the City Engineer.
- Subdivision name of adjacent properties (P.R.D.C.T) or ownership information for adjacent unplatted properties (D.R.D.C.T.) with recording information.
- An accurate location of the subdivision in reference to the deed records of the county which shall include the volume and page of the deed of the property to be subdivided.
- If the property owner information does not match the Denton Central Appraisal District record, then information related to the purchase must be provided.
- The exact layout, including:
  - 1) Street and/or alley names
  - 2) The length of all arcs, radii, internal angles and points of curvature, length and bearing of the tangents
  - 3) All existing and proposed easements for right-of-way, public services, utilities or any other easements and any limitations of the easements
  - 4) Show centerline of existing streets. Dimensions from centerline to edges of existing and proposed right-of-way on both sides of the centerline.
  - 5) All lot number and lines, with accurate dimensions in feet and hundredths and with bearings and angles to street and alley lines to the nearest second
- The accurate location, material, and approximate size of all monuments.



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

- The accurate outline description of all property which is offered for dedication for public use, such as parks, etc., with the purpose indicated thereon, and all property that may be reserved by deed covenant for the common use of the property owners in the subdivision.
- A signed and notarized copy of private restriction (if any), that are filed for record in the office of the County Clerk shall be provided with the Final Plat.
- Name and addresses of the owner, subdivider, engineer, and surveyor.

**FINAL, REPLAT, MINOR, AMENDED, AND CONVEYANCE PLAT CHECKLIST**  
**(cont.)**

- North point, written and graphic scale, and date.
- 3"x3" recording box at the lower right hand corner.
- A Title Block with the following information shall be provided on each page:
  - 1) Plat Type (ex: "Final Plat", "Preliminary Plat", etc.)
  - 2) Name of the proposed development/addition/subdivision
  - 3) Total number of lots and HOA/Open Space lots
  - 4) Survey name and abstract number
  - 5) Gross acreage
  - 6) Right-of-Way acreage, if dedicated
  - 7) Date of preparation and subsequent revisions
- Standard Notation to be added on the plat:
  - ✓1) "All lots comply with the minimum size requirements of the zoning district."
  - ✓2) "This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due."
  - ✓3) "All common areas, drainage easements, and detention facilities will be owned and maintained by the HOA/POA. Any common area within the City's right-of-way will require a facilities agreement, to be reviewed and approved by the City."
  - ✓4) "Notice – selling a portion of this addition by metes and bounds is a violation of City ordinance and State Law and is subject to fines and withholding of utilities and building permits."
  - ✓5) "This plat does not alter or remove existing deed restrictions, if any, on this property."
  - ✓6) "Minimum finished floor elevations are at least 2 feet above the 100 year flood plain."
  - ✓7) "The subject property does not lie within a 100 – year floodplain according to Community Panel No. \_\_\_\_\_, dated \_\_\_\_\_, of the National Flood Insurance Rate Maps for Denton County, Texas."
  - ✓8) "The purpose of this plat is \_\_\_\_\_ [state the purpose] \_\_\_\_\_"
  - ✓9) "Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83)"



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

- The name, address and phone number of all utilities providing service to the development is required. A signature from each provider or a will-serve letter, signifying their ability to provide service to the subdivision is required.
- Location map showing existing and proposed streets and thoroughfares covering an area at least one thousand feet (1000') outside the proposed subdivision.
- One paper copy (24"x36") and one soft copy (pdf) of approved civil/construction plans, along with GIS/CAD files for all approved public improvements on a CD/DVD.
- For Conveyance Plats Only: All conveyance plats must be titled "Conveyance Plat" and carry the following text:

"A conveyance plat is a record of property approved by the City of Sanger for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit may be issued, nor development begin, nor permanent public utility service provided until a final plat is approved, filed of record and public improvements are accepted in accordance with the City of Sanger Code of Ordinances. Selling a portion of this property by metes and bounds, except as shown on an approved, filed and accepted conveyance plat, final plat or replat is a violation of the state law."





201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) www.sangertexas.org

**FINAL, REPLAT, MINOR, AMENDED, AND CONVEYANCE PLAT CHECKLIST**  
**(cont.)**

✓ "State of Texas  
County of Denton

*Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.*

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_

Notary Public in and for the State of Texas

\_\_\_\_\_

Type or Print Notary's Name

My Commission Expires\_\_\_\_\_."

The following certificate shall be included on the plat in a manner that will allow the signatures of the designated officials and the affixing of the City Seal.

"Approved and Accepted

\_\_\_\_\_  
Chairman, Planning & Zoning Commission  
City of Sanger, TX

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mayor  
City of Sanger, TX

\_\_\_\_\_  
Date

Attested by  
\_\_\_\_\_  
City Secretary  
City of Sanger, TX"

\_\_\_\_\_  
Date



# Project Narrative / Letter of Intent

Item 3.

---

Date:	March 8, 2026
Plat Type:	Final Plat
Project Name:	Fast Electric
Location:	Sanger, TX / PID 111353
Acreage:	3.31 acres
Zoning:	RC – Regional Commercial – City of Sanger, Denton County, Texas
Distribution:	City of Sanger

---

## **FINAL PLAT – FAST ELECTRIC – Lot 1, Block A**

The purpose of this plat is to create one (1) lot of record from an unplatted tract of land and to dedicate easements.

**City of Sanger, Denton County, Texas**

### **Michael Fedchak**

Platting Department  
Eagle Surveying, LLC  
Office: 940.222.3009  
platingdepartment@eaglesurveying.com



**DATE: 4/06/26**

**1<sup>st</sup> REVIEW COMMENTS – Final Plat – Fast Electric Addition**

The request is for a Final Plat of Fast Electric Addition, being approximately 3.31 acres of land, prepared by Eagle Surveying, submitted on 3/18/26. Below are the planning comments that should be addressed before Planning & Zoning approval. Resubmit the revised plat along with a response letter addressing all comments.

**Planning**

Provide the following;

1. No revisions needed for Planning.

**Informational Comments**

1. The property is within the City of Sanger.
2. The Final Plat will be scheduled for the Planning and Zoning (P&Z) Commission meeting on Monday, April 13, 2026.



April 02, 2026  
AVO 37449.004

Ms. Ramie Hammonds  
Development Services Director/Building Official  
City of Sanger  
201 Bolivar Street  
P.O. Box 1729  
Sanger, Texas 76266

Re: **26SANZON-0007 Fast Electric Addition - Review #1**

Dear Ms. Hammonds,

Halff Associates, Inc. was requested by the City of Sanger to review the Final Plat and Civil Plans for Fast Electric Addition. This submittal was prepared by Gonzalez & Schneeberg, Inc. and was received on March 20, 2026.

### General Comments

1. Please **address comments on attached markups and provide annotated responses on markups**. Please note, not all comments are written on letter since some comments are easier to show and explain on the markups. Please annotate markup with responses.
2. Please note additional comments may be provided in subsequent reviews once additional data/responses is received.

### Final Plat

1. Show the drainage easement related to the pond. A perpetual, non-exclusive drainage easement and maintenance agreement shall be granted for all detention/retention facilities, regardless of size or ownership configuration. The maintenance agreement shall clearly define the responsibilities of all parties involved in the ongoing upkeep of the detention/retention facilities. This shall include provisions for routine maintenance tasks
2. Show Minimum Finished Floor Elevations on plat, must be min 1' above pond WSE.
3. There appears to be existing electric lines along existing southern and eastern property boundary, please verify if there are any existing utility easements along property boundary
4. For any stormwater outside the right of way, please provide a drainage easement
5. Please show dimensions from centerline to edges of existing and proposed right-of-way on both sides of the centerline per Ordinance § SO-6B.6.1.iv
6. Please provide closure report that matches plat acreage

### Dimension Control Plan

1. Sidewalks in commercial areas shall be a minimum width of six (6) feet or extend from the back of the curb to the building line as required by the City per Ordinance § SO-11C.3

Ms. Ramie Hammonds  
 April 02, 2026  
 Page 2 of 4

2. Adjust pond grading and/or SS lateral to avoid running lateral under pond.
3. Please note that any construction related activity within TxDOT ROW will require coordination with TxDOT

### **Paving Plan**

1. Are there future expansion plans for vacant space west of development?
2. Please provide geotechnical engineering report to confirm suggested pavement thicknesses and strengths or ensure proposed paving meets minimum requirements of Ordinance § SO-11B.2

### **Grading Plan**

1. A minimum slope of 0.50% is required for earthen channels and swales per Ordinance § SO-11D.9.c.v
2. Please provide cross sections in locations marked on the plans to show that flows are contained onsite and directed to the proposed pond with 1 ft of freeboard maintained.
3. Channelized flow down the bank is not acceptable. Provide a paved flume or other means (example: grate inlet w/pipe) to convey flow to pond. Subdivide DA 3 to determine flow to this area of the pond
4. Ditch drainage outside the right of way should be placed in a drainage easement. Show DE on plat
5. For the pond
  - a. a 10' crown required (we can possibly discuss a reduced width)
  - b. a 10' access ramp at no more than 15% to pond bottom is required
  - c. provide a spillway at or above the 100 year WSE. Spillway must pass the 100 year design assuming blockage of the closed conduit portion outlet works with 6 inches of freeboard.
  - d. Provide erosion protection down spillway slope to beyond the toe of pond slope. For chosen protection method, provide details/calcs as needed.

### **Drainage Area Map and Calculation Comments**

1. Are the existing TXDOT grate inlets in serviceable condition?
2. Provide flow path calcs for DA1, if calced Tc is less than 10 mins, 10 mins may be used, else use calculated Tc
3. Please refer to City of Sanger Ordinance § SO-11D.2.d for coefficients of runoff
4. Please refer to City of Sanger Ordinance Appendix 11A. Intensity-Duration-Frequency Curve for rainfall intensity values
5. Please apply Cf based on Sanger requirement and provide 2-, 10-, 25-, 50-, and 100-year hydrology
6. Does Drainage Area 2 represent the ROW Dedication area?

Ms. Ramie Hammonds  
 April 02, 2026  
 Page 3 of 4

7. Based on existing conditions, it seems flow might head east. Review and revise delineations as needed.
8. Need to account for pond bypass and reduce allowable pond outflow accordingly. at the 100 year, the allowable pond outfall is ~ 14 cfs (with Cf applied).
9. Must use NCTCOG method for detention which applies an additional volume factor. Please see COG hydrology manual section 1.5.2.
10. Facility volume is based on allowable flow rate and the facility design shall pass the allowable flow rate at the water surface elevation that matches the calculated volume
11. 1 foot of freeboard is required for proposed pond
12. Please account for tailwater in the outlet design

#### **Storm Drain Plan and Profile Comments**

1. City must provide permission for HDPE, else use concrete.
2. Show 100-year headwater and tailwater and 1' of freeboard to top of pavement is required
3. Recommend providing energy dissipation at the outfall (rip rap apron). Provide stone size and apron length calcs if provided.

#### **Detention Plan Comments**

1. Please provide pond cross sections showing provided 1ft freeboard and 1ft sediment storage
2. provide pond elevation, area, and volume charts
3. Provide stage/storage/discharge charts
4. Reminder that facility volume is based on allowable flow rate and the facility design shall pass the allowable flow rate at the water surface elevation that matches the calculated volume. Allowable and actual outlet structure outflow must match within ~1cfs

#### **Storm Sewer Details Comments**

1. Provide pipe bedding details

#### **Wastewater Plan**

1. Per detail, for 6" or larger services, install manhole at connection to main line.
2. Adjust pond grading and/or SS lateral to avoid running lateral under pond.

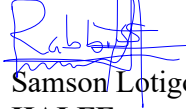
#### **Erosion Control Plan**

1. provide sediment protection for the pond outfall structure
2. Might need a stone overflow along this run of SF. could possibly dam up water without positive drainage.

If you have any questions or need additional information, please do not hesitate to email me at [slotigo@halff.com](mailto:slotigo@halff.com) or call me at (817) 764-7498.

Ms. Ramie Hammonds  
April 02, 2026  
Page 4 of 4

Sincerely,

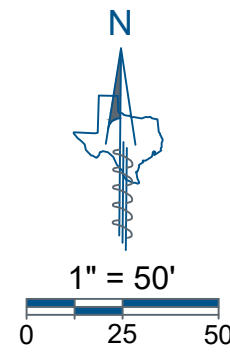
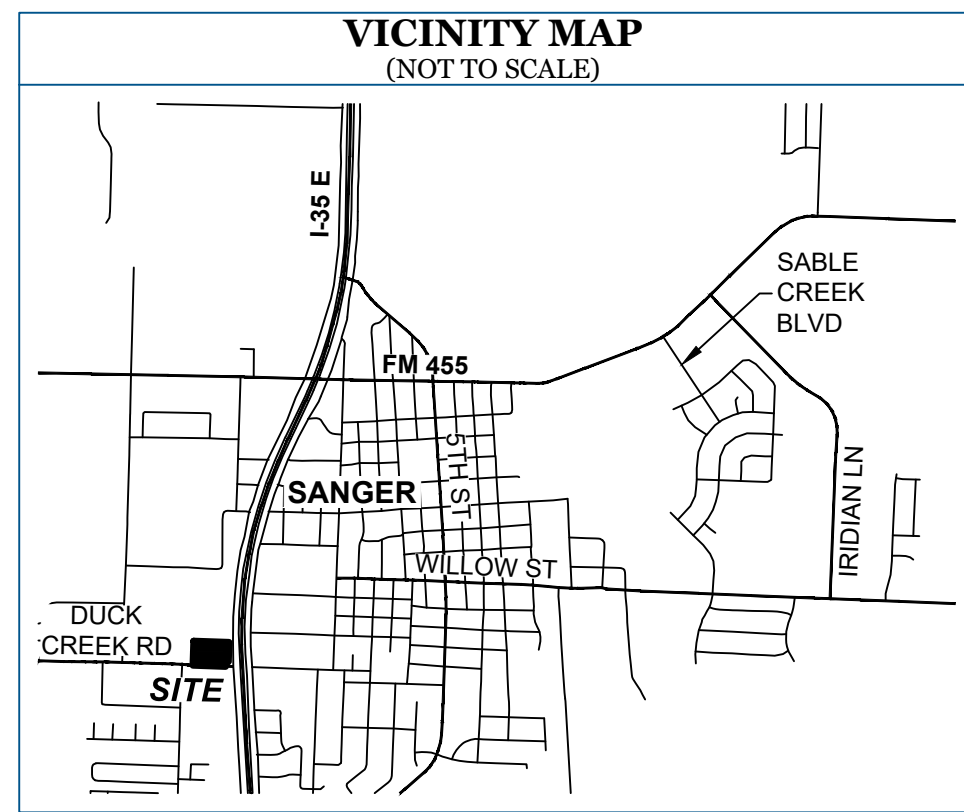


Samson Lotigo, PE

**HALFF**

Firm No. 0312

Attachments: Civil Plans markups



LINE	BEARING	DISTANCE
L1	S 47°17'15" W	49.77'
L2	S 00°00'00" E	30.30'
L3	N 87°44'51" W	18.84'
L4	N 88°26'00" W	99.78'
L5	N 01°34'00" E	15.00'
L6	S 88°26'00" E	99.74'
L7	N 87°49'20" W	33.64'
L8	N 02°10'40" E	88.23'
L9	N 02°10'40" E	92.02'
L10	S 87°49'20" E	93.25'
L11	S 02°10'40" W	93.25'
L12	N 87°49'20" W	93.20'
L13	S 02°10'40" W	32.63'
L14	N 87°49'20" W	93.25'
L15	N 02°10'40" E	93.25'
L16	S 87°49'20" E	93.25'
L17	S 02°10'40" W	93.25'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	9975.00'	251.95'	1°26'50"	S 01°49'22" W	251.94'
C2	3822.68'	15.00'	0°13'29"	S 01°24'39" W	15.00'
C3	30.00'	10.14'	19°22'21"	N 11°51'50" E	10.10'
C4	50.00'	15.88'	18°11'42"	N 11°16'31" E	15.81'
C5	50.00'	15.88'	18°11'42"	N 11°16'31" E	15.81'
C6	55.00'	86.39'	90°00'00"	N 47°10'40" E	77.78'
C7	55.00'	86.39'	90°00'00"	S 42°49'20" E	77.78'
C8	55.00'	86.39'	90°00'00"	S 47°10'40" W	77.78'
C9	30.08'	47.13'	89°46'09"	S 47°13'54" W	42.45'
C10	30.08'	10.80'	20°34'11"	S 08°15'24" W	10.74'
C11	30.00'	47.12'	90°00'00"	N 42°49'20" E	42.43'
C12	30.00'	47.12'	90°00'00"	N 47°10'40" E	42.43'
C13	30.00'	47.12'	90°00'00"	S 42°49'20" E	42.43'
C14	30.00'	47.12'	90°00'00"	S 47°10'40" W	42.43'

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, I(we), JOSE DE LA CRUZ RODRIGUEZ JIMENEZ and YASMINA IVETH JIMENEZ DE RODRIGUEZ, are the owners of 3.31 acres of land out of the Henry Tierwester Survey, Abstract Number 1241, situated in the City of Sanger, Denton County, Texas, being all of a called 3.29 acre tract of land conveyed to Jose de la Cruz Rodriguez Jimenez and Yasmina Iveth Jimenez de Rodriguez by Warranty Deed of record in Document Number 2024-92236 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a mag nail set in Duck Creek Road at the southeast corner of a right-of-way dedication by Powell Addition, a subdivision of record in Document Number 2023-392 of the Plat Records of Denton County, Texas, also being the southwest corner of said 3.29 acre tract and hereof;

THENCE, N01°57'11"E, leaving Duck Creek Road, along the west line of said 3.29 acre tract, in part being the common east line of said right-of-way dedication, and in part being the common east line of Lot 1R, Block 1 of said Powell Addition, a distance of 315.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the south line of Lot 1, Block A of Heaths Hollow Subdivision, a subdivision of record in Document Number 2020-140 of said Plat Records, being the northeast corner of said Lot 1R, also being the northwest corner of said 3.29 acre tract and hereof, from which a 1/2 inch iron rod found at the southwest corner of said Lot 1 bears N88°00'03"W, a distance of 82.63 feet, and from said southwest corner of Lot 1 a railroad spike found at the northwest corner of said Lot 1R bears N88°00'03"W, a distance of 72.23 feet;

THENCE, S88°00'03"E, along the south line of said Lot 1, being the common north line of said 3.29 acre tract, a distance of 459.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the west right-of-way line of Interstate Highway 35 (U.S. Highway 77; right-of-way width varies) and the common west line of a tract of land conveyed as Parcel 66 to The State of Texas by deed of record in Document Number 2021-11250 of said Official Records, being the northeast corner of said 3.29 acre tract and hereof;

THENCE, along the west right-of-way line of Interstate Highway 35, the common west line of said Parcel 66, and the common east line of said 3.29 acre tract, the following three (3) courses and distances:

1. Along a non-tangent curve to the right, having a radius of 9,975.00 feet, a chord bearing of S01°49'22"W, a chord length of 251.94 feet, a delta angle of 01°26'50", an arc length of 251.95 feet to a point from which a 5/8 inch iron rod found bears S44°25'57"W, a distance of 0.47 feet;
2. S47°17'15"W, a distance of 49.77 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found;
3. SOUTH, a distance of 30.30 feet to a mag nail set at the intersection of Duck Creek Road and the west right-of-way line of Interstate Highway 35, being the southwest corner of said Parcel 66, also being the southeast corner of said 3.29 acre tract and hereof;

THENCE, N87°49'20"W, along Duck Creek Road and the south line of said 3.29 acre tract, a distance of 426.12 feet to the POINT OF BEGINNING, and containing an area of 3.31 acres (144,180 square feet) of land, more or less.

NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

E DE LA CRUZ RODRIGUEZ JIMENEZ and YASMINA IVETH JIMENEZ DE RODRIGUEZ, acting herein by and through their duly authorized hereby adopt this plat designating hereinabove described property as FAST ELECTRIC ADDITION, LOT 1, BLOCK A, an addition to the City of Sanger, Texas, and do hereby dedicate to public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities, and any other property to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape may be installed. If approved by the City of Sanger. The City of Sanger and public entities shall have the right to access and maintain all respective without the necessity at any time of procuring permission from anyone.

MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

A CRUZ RODRIGUEZ JIMENEZ

BY: \_\_\_\_\_ Date \_\_\_\_\_  
Signature \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared JOSE DE LA CRUZ RODRIGUEZ JIMENEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

YASMINA IVETH JIMENEZ DE RODRIGUEZ

BY: \_\_\_\_\_ Date \_\_\_\_\_  
Signature \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared YASMINA IVETH JIMENEZ DE RODRIGUEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

- GENERAL NOTES**
- 1.) The purpose of this plat is to create one lot of record from an unplatted tract of land and to dedicate easements.
  - 2.) This property is located in Zone "X" (Unshaded) within Community Number 480786 as shown on F.E.M.A. Flood Insurance Rate Map Number 48121C0210G, effective April 18, 2011. The location of the Flood Zone is approximate. For additional information regarding Flood Zone designation, contact 1-(877) FEMA MAP.
  - 3.) The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative Network, State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83).
  - 4.) Notice: Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and withholding of utilities and building permits.
  - 5.) All set property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
  - 6.) Water and Sanitary Sewer, are provided by the City of Sanger, PO Box 1729, Sanger, TX 76266, 940-458-2571. Electric Service is provided by Sanger Electric Utilities, 202 Railroad Ave., Sanger, TX 76266, 940-458-2064.
  - 7.) This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
  - 8.) All common areas, drainage easements, and detention facilities will be owned and maintained by the HOA/POA. Any common area with in the City's right-of-way will require a facilities agreement, to be reviewed and approved by the City.
  - 9.) This plat does not alter or remove existing deed restrictions, if any, on this property.
  - 10.) Zoning District for this property is "RC" Regional Commercial.
  - 11.) All lots comply with the minimum size requirements of the zoning district.
  - 12.) Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.

**APPROVED AND ACCEPTED**

**CITY OF SANGER**  
DENTON COUNTY, TEXAS

Chairman, Planning and Zoning Commission  
City of Sanger, Texas \_\_\_\_\_ Date \_\_\_\_\_

Mayor  
City of Sanger, Texas \_\_\_\_\_ Date \_\_\_\_\_

**ATTEST:**

City Secretary  
City of Sanger, Texas \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR**  
Eagle Surveying, LLC  
Contact: Richard Spicer, Jr.  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**OWNER**  
Jose De La Cruz Rodriguez Jimenez &  
Yasmina Iveth Jimenez De Rodriguez  
8025 Jane Long Road  
Sanger, TX 76266  
(940) 297-9678

**ENGINEER**  
Gonzalez & Schneberg  
801 East Campbell Road, Suite 330  
Richardson, TX 75081  
(972) 516-8855

**LEGEND**

●	BOUNDARY MONUMENT (SUBJECT)
○	BOUNDARY MONUMENT (OTHERS)
POB	POINT OF BEGINNING
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
CIRS	1/2" IRON ROD SET WITH GREEN "EAGLE SURVEYING" CAP
RRF	RAILROAD SPIKE FOUND
MNS	MAG NAIL SET
VOL.	VOLUME
PG.	PAGE
DOC. NO.	DOCUMENT NUMBER
O.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS

**EAGLE SURVEYING**

Eagle Surveying, LLC  
222 South Elm Street  
Suite: 200  
Denton, TX 76201  
940.222.3009  
www.eaglesurveying.com  
TX Firm # 10194177

**CERTIFICATE OF SURVEYOR**

STATE OF TEXAS §  
COUNTY OF DENTON §

I, CALEB MCCANLIES, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Sanger, Denton County, Texas.

**PRELIMINARY**  
this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Caleb McCanlies, R.P.L.S. # 7036

Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared CALEB MCCANLIES, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

FINAL PLAT  
FAST ELECTRIC  
ADDITION  
LOT 1, BLOCK A

3.31 ACRES  
0.30 ACRES - RIGHT-OF-WAY DEDICATION  
HENRY TIERWESTER SURVEY, ABSTRACT NO. 1241,  
CITY OF SANGER, DENTON COUNTY, TEXAS

DATE OF PREPARATION: 11/24/2025

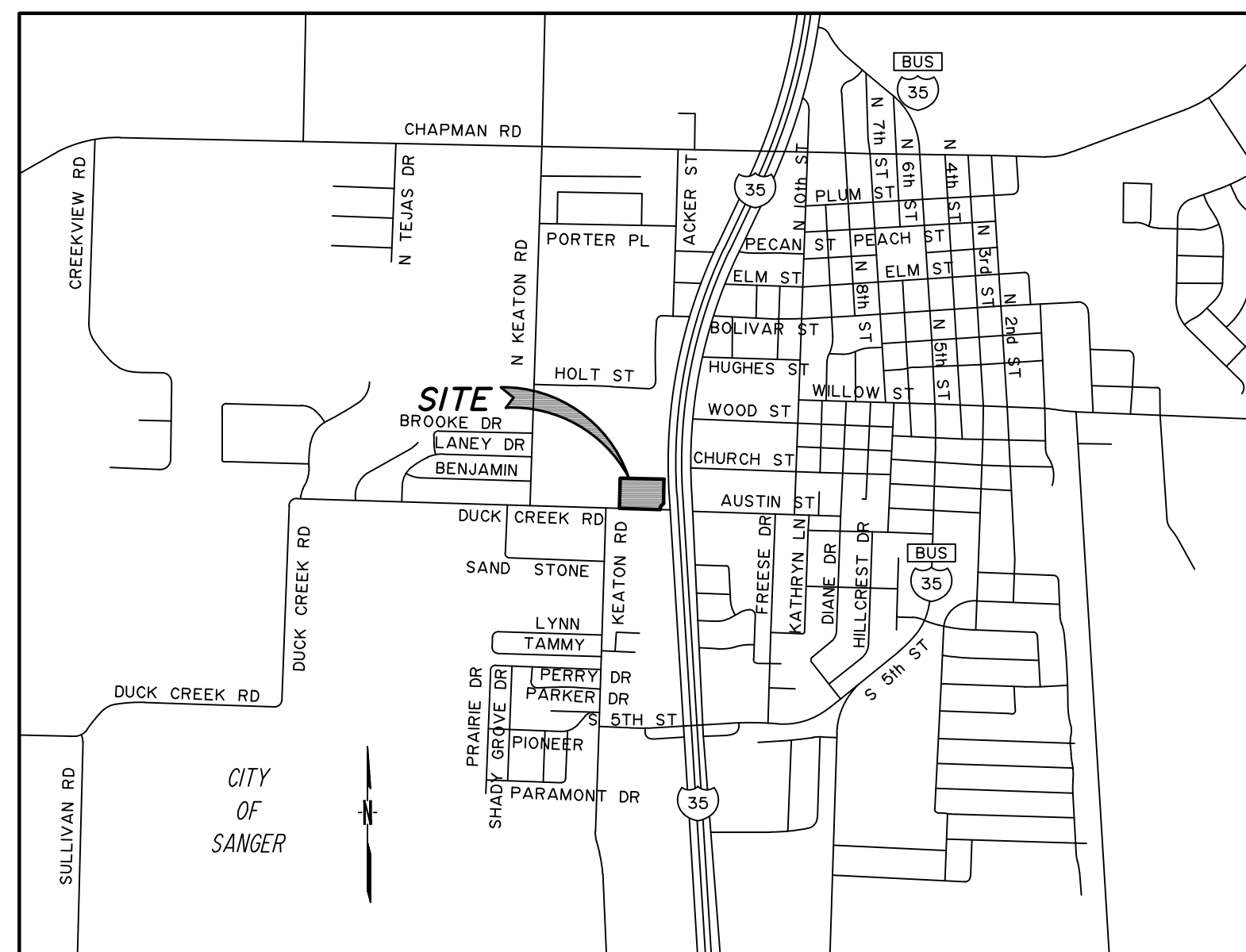
# ENGINEERING PLANS FOR FOR FAST ELECTRIC ADDITION BLOCK A, LOT 1 144,184 S.F. (3.310 ACRE) TRACT CITY OF SANGER, DENTON COUNTY, TEXAS CITY PROJECT NO. XXXX

Erin Storey  
3.26.26  
1st Review

1. txdot permit required for storm drain connection and other work in row  
2. pond maintenance agreement is required  
3. compliance review required

## SHEET INDEX

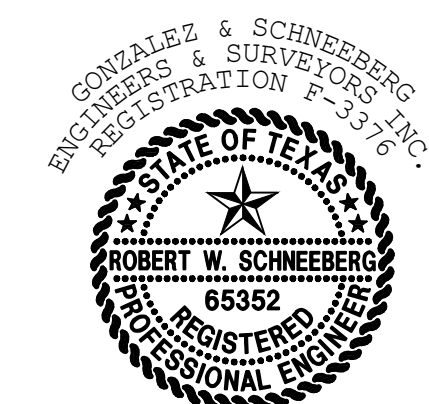
SHEET NO.	DESCRIPTION
C1	COVER SHEET
C02.01	GENERAL NOTES
C03.01	FINAL PLAT
C04.01	EXISTING CONDITION PLAN
C05.01	DIMENSIONAL CONTROL PLAN
C06.01	PAVING PLAN
C07.01	GRADING PLAN
C08.01	EXISTING DRAINAGE AREA MAP
C08.02	PROPOSED DRAINAGE AREA MAP
C09.01	OVERALL STORM SEWER PLAN
C09.02	STORM SEWER PROFILES
C09.03	DETENTION PLAN
C09.50	STORM SEWER DETAILS
C10.01	WATER PLAN
C10.50	WATER DETAILS
C11.01	WASTEWATER PLAN
C11.50	WASTEWATER DETAILS
C12.01	EROSION CONTROL PLAN
C12.50	EROSION CONTROL DETAILS



VICINITY MAP  
NOT TO SCALE

MARCH 10, 2026

*Robert W. Schneeburg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**APPLICANT/OWNER/DEVELOPER:**

FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855 x102  
ROBERT W. SCHNEEBERG, P.E.

THE DETAIL SHEETS SPECIFICALLY IDENTIFIED ABOVE HAVE BEEN SELECTED BY ME UNDER MY RESPONSIBLE SUPERVISION AS BEING APPLICABLE TO THIS PROJECT.

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 10075200  
801 East Campbell Road  
Suite 330, Richardson, Tx 75081

FAST ELECTRIC ADDITION  
DENTON COUNTY, TEXAS

C1

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION OR PRIOR TO MANUFACTURE OF PIPE. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR THE COMPLETENESS OF ANY SUCH INFORMATION AND DATA; AND, THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES. FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND FOR REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  - CITY OF SANGER PUBLIC WORKS 1 940 458 2571
  - CALL BEFORE YOU DIG 8-1-1
  - (800) DIG TEST 1 800 344 8377
  - TEXAS ONE CALL SYSTEM 1 800 245 4545
  - LONESTAR NOTIFICATION CENTER 1 800 669 8344
  - ONCOR 1 903 821 7029
  - AT&T 1 903 415 2028
  - ATMOS ENERGY 1 940 736 5187
  - COOKE COUNTY 1 940 668 5433
- THE CONTRACTOR SHALL COORDINATE WITH SANGER PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO CUTTING OR CONNECTING TO EXISTING UTILITY LINES. PUBLIC WORKS DEPARTMENT PERSONNEL SHALL DETERMINE THE MOST APPROPRIATE TIME FOR THESE ACTIVITIES TO TAKE PLACE. THE CONTRACTOR SHALL CONTACT THE PUBLIC WORKS DIRECTOR AT (940)-458-2571 AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL RE-ESTABLISH ANY PROPERTY MARKER, BENCHMARK, ETC. DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL LOCATION AND ELEVATION.
- CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITY LINES TO BE CONNECTED TO PRIOR TO COMMENCING WORK. IF DISCREPANCY EXISTS BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND TxDOT IMMEDIATELY.
- CONTRACTOR SHALL VERIFY THE ELEVATION, CONFIGURATION AND ANGLATIONS OF EXISTING LINES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VERTICAL AND HORIZONTAL CONTROL SHOWN ON THE PLANS THROUGHOUT THE PROJECT.
- THE CONTRACTOR SHALL MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CITY'S RECORDS. THE CONTRACTOR SHALL PROVIDE THE CITY FULL SIZE REPRODUCIBLE MARKUPS THAT RECORD ALL CONSTRUCTION DEVIATING FROM THE PLANS AT SUBSTANTIAL COMPLETION.
- WHERE THE CONTRACTOR DESIRES TO MOVE EQUIPMENT NOT LICENSABLE FOR OPERATION ON PUBLIC HIGHWAYS OR ACROSS ANY PAVEMENT, HE SHALL PROTECT THE PAVEMENT FROM ALL DAMAGE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (N.C.T.C.O.G.) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, FIFTH EDITION, EXCEPT WHERE MODIFIED IN THESE PLANS OR THE SPECIFICATION.
- ALL PHASES OF CONSTRUCTION MUST BE COORDINATED WITH THE CITY AND TxDOT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PERFORMING ALL CONSTRUCTION LAYOUTS FROM THE SITE LAYOUT CONTROL POINTS, AND FROM THE DIMENSIONS AND CENTERLINES SHOWN. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- UNTIL THE WORK IS ACCEPTED BY THE CITY AND TxDOT, THE PROJECT SHALL BE UNDER THE CHARGE AND CUSTODY OF THE CONTRACTOR AND THE CONTRACTOR SHALL TAKE EVERY NECESSARY PRECAUTION AGAINST INJURY AND/OR DAMAGE TO THE WORK.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY CITY INSPECTOR OF ANY DAMAGE OR CHANGED CONDITION CAUSED BY CONSTRUCTION ACTIVITIES THAT MAY RESULT IN COMPROMISED WATER QUALITY ENTERING THE DISTRIBUTION SYSTEM.
- CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS IN VICINITY OF ANY OVERHEAD ELECTRIC LINES. CONTRACTOR SHALL ABIDE BY NATIONAL ELECTRIC CODE AND ANY REQUIREMENT BY OWNER OF ELECTRIC LINE.
- ALL TESTING SHALL BE IN ACCORDANCE WITH THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (N.C.T.C.O.G.) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, FIFTH EDITION.
- ALL PAVING DIMENSIONS ARE TO EDGE OF PAVEMENT AND/OR FACE OF UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROTECT ALL FRANCHISE UTILITIES (INCLUDING POWER POLES, TELEPHONE RISERS, ETC.) DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL PROTECT AND SALVAGE ALL EXISTING CITY UTILITIES IN ACCORDANCE WITH CITY REQUIREMENTS AND PROVIDE TO THE CITY (IF REMAINING).
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING FENCING ALONG THE PROJECT.
- CONTRACTOR TO COVER ANY OPEN EXCAVATION WITH STEEL PLATE AT THE COMPLETION OF WORK EACH DAY UNLESS OTHERWISE DIRECTED BY THE ENGINEER. STEEL PLATES ARE NOT TO BE USED IN LOCATIONS WHERE PAVEMENT IS OUT AND RESTORED.
- SUBMIT MANUFACTURER'S INFORMATION PRIOR TO PURCHASING MATERIALS.
- PROVIDE AS-BUILTS WITH X,Y,Z COORDINATES AT END POINTS OF LINES AND AT EACH BEND, FITTING, OR APPURTENANCE.

should this be denton county?

latest edition is the 5th edition

5th edition/latest edition

WATER LINE NOTES

- THE CONTRACTOR SHALL VERIFY THE ELEVATION OF ALL UTILITY CROSSINGS PRIOR TO THE INSTALLATION OF ANY PIPE.
- THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO ALL CUSTOMERS THROUGHOUT CONSTRUCTION, BY USE OF TEMPORARY METHODS APPROVED BY THE OWNER. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO THE WATERLINE BY OPEN CUT BID ITEMS AND CONNECTION TO EXISTING WATERLINE BID ITEM.
- CONTRACTOR SHALL INSTALL STANDARD BENDS AT LOCATIONS SHOWN. ALL NON-STANDARD VERTICAL AND HORIZONTAL BENDS SHALL BE INSTALLED USING STANDARD BENDS AND 50% OF THE MAXIMUM ALLOWABLE JOINT DEFLECTIONS AND MINIMUM RADIUS AS RECOMMENDED BY THE PIPE MANUFACTURER.
- ALL WATER LINES SHALL BE PVC (AWWA C-900 DR-18) AS DEFINED IN THE SPECIFICATIONS UNLESS OTHERWISE NOTED. ALL MATERIAL TYPES SHALL CONFORM TO AMERICAN WATERWORKS ASSOCIATION, APPLICABLE LOCAL REQUIREMENTS, AND 30 TAC 290.44(a).
- ALL TEES, BENDS, REDUCERS, AND PLUGS SHALL BE MECHANICALLY RESTRAINED AND BLOCKED. MECHANICAL RESTRAINT SHALL BE BY EBAA MEGALUG FOR PVC PIPE OR APPROVED EQUAL.
- ALL VALVES, FIRE HYDRANTS, FITTINGS, AND OTHER METAL APPURTENANCES LOCATED BELOW GROUND SHALL BE POLYETHYLENE-ENCASED IN ACCORDANCE WITH AWWA C-509.
- WATER PIPE SHALL HAVE A MINIMUM OF 48 INCHES OF COVER (UNLESS NOTED OTHERWISE).
- CONCRETE THRUST BLOCKING SHALL BE USED AT ALL HORIZONTAL AND VERTICAL BENDS, TEES, AND WYES.
- THE CONTRACTOR SHALL INSTALL A FULL JOINT OF PIPE ON BOTH SIDES OF ALL FITTINGS WHERE POSSIBLE.
- CONTRACTOR SHALL INSTALL DETECTABLE WARNING TAPE A MINIMUM OF 12" ABOVE WATER LINES. DETECTABLE WARNING TAPE SHALL BE INCLUDED IN THE PRICE OF THE WATER PIPE. NO SEPARATE PAYMENT WILL BE MADE FOR THIS ITEM.
- WHERE THE CONTRACTOR CROSSES AN EXISTING, NON-PRESSURE RATED WASTEWATER MAIN OR LATERAL, WITH THE NEW POTABLE WATER LINE PIPE, ONE SEGMENT OF THE WATER LINE PIPE SHALL BE CENTERED OVER THE WASTEWATER MAIN OR LATERAL SUCH THAT THE JOINTS OF THE WATER LINE PIPE ARE EQUIDISTANT AND AT LEAST NINE FEET HORIZONTALLY FROM THE CENTERLINE OF THE WASTEWATER MAIN OR LATERAL. THE POTABLE WATER LINE SHALL BE AT LEAST TWO FEET ABOVE THE WASTEWATER MAIN OR LATERAL. WHENEVER POSSIBLE, THE CROSSING SHALL BE CENTERED BETWEEN THE JOINTS OF THE WASTEWATER MAIN OR LATERAL. IF THE EXISTING WASTEWATER MAIN OR LATERAL IS DISTURBED OR SHOWS SIGNS OF LEAKING, IT SHALL BE REPLACED FOR AT LEAST NINE FEET IN BOTH DIRECTIONS (18 FEET TOTAL) WITH AT LEAST 150 PSI PRESSURE RATED PIPE. NO SEPARATE PAY ITEM WILL BE MADE FOR THESE ITEMS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE AWWA, TCEQ AND ASTM STANDARDS FOR CONNECTIONS TO EXISTING ASBESTOS CEMENT PIPES.
- ALL EXISTING FIRE HYDRANTS SHALL BE SALVAGED AND RETURNED TO THE CITY OF SANGER PUBLIC WORKS FACILITY.

Sanger

WATER LINE CONNECTION NOTES

- NOTIFY CITY OF SANGER A MINIMUM OF 48 HOURS PRIOR TO ANY PLANNED CONNECTIONS TO EXISTING WATERLINES.
- CONTRACTOR IS RESPONSIBLE FOR SHUTDOWN AND ISOLATION OF EXISTING MAINS; CUTTING PIPE FOR CONNECTION; DEWATERING THE EXCAVATION; CUSTOMER NOTIFICATION OF SHUTDOWNS; AND ALL OTHER REQUIREMENTS AS DIRECTED BY ENGINEER OR INSPECTOR TO PROVIDE COMPLETION IN A SAFE AND SECURE MANNER. ALL TIE-INS SHALL BE DONE AFTER NORMAL WORKING HOURS (8AM - 5PM). DURING CONSTRUCTION, THE PLANNED SHUTDOWNS SHALL BE COORDINATED THROUGH AND APPROVED BY THE CITY OF SANGER AT A TIME WHICH WILL BE LEAST INCONVENIENT TO THE CUSTOMERS. NO ADDITIONAL COMPENSATION FOR TIE-INS ACCOMPLISHED AFTER NORMAL WORKING HOURS.

SANITARY SEWER NOTES

- SANITARY SEWER SERVICE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AT ALL TIMES. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND OWNER A PLAN PRIOR TO CONSTRUCTION FOR APPROVAL FOR MAINTAINING SANITARY SEWER SERVICE. THE COST FOR MAINTAINING SEWER SERVICE AND ANY ASSOCIATED BYPASS PUMPING SHALL BE CONSIDERED SUBSIDIARY TO THE COST OF THE SANITARY SEWER PIPE INSTALLATION.
- SANITARY SEWER PIPE SHALL BE SDR-35, IN ACCORDANCE WITH N.C.T.C.O.G. TECHNICAL SPECIFICATION 501.17 EXCEPT WHERE OTHERWISE NOTED ON THE PLANS.
- ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE GRADES SHOWN ON THE PLANS.
- ALL SANITARY SEWER MANHOLE COVERS SHALL BE PROVIDED WITH PICK SLOTS. NO PICK HOLE COVERS WILL BE ACCEPTED.
- WHEN INSTALLED IN UNPAVED AREAS, PROPOSED MANHOLE RIMS SHALL BE 6-INCHES ABOVE FINIAL GROUND SURFACES, UNLESS OTHERWISE INDICATED ON THE PLANS. MANHOLES INSTALLED IN EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT ELEVATION. MANHOLES INSTALLED IN PROPOSED PAVEMENT SHALL MATCH PROPOSED PAVEMENT ELEVATION.
- SANITARY SEWER TESTING SHALL BE IN ACCORDANCE WITH N.C.T.C.O.G. TECHNICAL SPECIFICATION ITEM 507.5 FOR TESTING AND INSPECTIONS.
- SEWER LINES SHALL BE CONSTRUCTED PER TEXAS ADMINISTRATIVE CODE, CHAPTER 217, "DESIGN CRITERIA FOR SEWERAGE SYSTEMS."
- ALL SANITARY SEWER LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 4 FEET UNLESS OTHERWISE SPECIFIED.
- ABANDONMENT OF EXISTING SANITARY SEWER LINES AND MANHOLES SHALL CONSIST OF THE WORK, LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO LOCATE, CUT, AND PLUG THE EXISTING SANITARY SEWER LINE AND COLLAPSE THE CONE SECTION OF THE MANHOLE AT THE LOCATIONS IDENTIFIED ON THE PLANS AND IN ACCORDANCE WITH THE REFERENCED DETAIL.

UTILITY NOTES:

- THE LOCATION OF ALL WATER, SANITARY SEWER, TELEPHONE, FIBER-OPTIC, GAS, ELECTRIC AND CABLE TELEVISION UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND HAVE BEEN DERIVED FROM PUBLIC RECORD DOCUMENTS BURIED UTILITY LINES AND INFRASTRUCTURE MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. ACCURATE LOCATIONS AND SIZES OF BURIED UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AFTER CONSULTATION WITH THE RESPECTIVE UTILITY OWNERS OR PROPERTY OWNERS.
- THE CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSINGS.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND AND OVERHEAD FACILITIES AND BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT MANAGER AT ONCE OF ANY CONFLICTS WITH PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT 811 AND THE UTILITY COMPANIES, AS WELL AS ANY OTHER UTILITY COMPANY WITH UTILITY LINES ENCOUNTERED IN THE FIELD, WHETHER THE UTILITY LINES ARE SHOWN IN THE PLANS OR NOT, AT LEAST 48 HOURS PRIOR TO EXCAVATING.
- THERE MAY HAVE BEEN UTILITY IMPROVEMENTS WITHIN THE PROJECT LIMITS AFTER SURVEY WAS COMPLETED. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE ARE EXISTING UTILITY CONFLICTS NOT SHOWN ON THE PLANS.

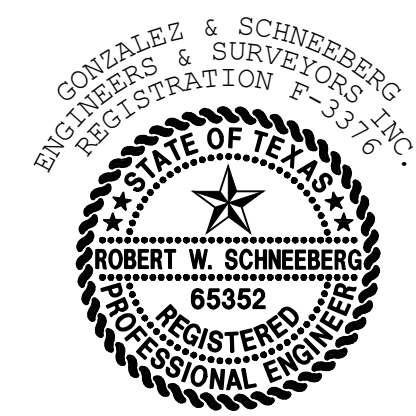
EROSION CONTROL:

- THE CONTRACTOR SHALL PREPARE, IMPLEMENT, AND MAINTAIN AN EROSION CONTROL PLAN AND THE ASSOCIATED EROSION CONTROL MEASURES IN ACCORDANCE WITH THE GUIDELINES CONTAINED IN THESE PLANS.
- IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE ALL AFFECTED AREAS TO ORIGINAL CONDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND SIDEWALKS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS FROM THE CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY CLEAN STREETS AND CORRECT EROSION CONTROLS ON SITE TO PREVENT ADDITIONAL RELEASES OF MUD OR DELETERIOUS MATERIALS ONTO PUBLIC ROADWAYS OR PRIVATE PROPERTY.

HAULING EQUIPMENT:

- THE USE OF RUBBER-TIRED EQUIPMENT WILL BE REQUIRED FOR MOVING DIRT OR OTHER MATERIALS ALONG OR ACROSS PAVED SURFACES. WHERE THE CONTRACTOR DESIRES TO MOVE ANY EQUIPMENT NOT LICENSED FOR OPERATION ON PUBLIC HIGHWAYS, ON OR ACROSS PAVEMENT, THEY SHALL PROTECT THE PAVEMENT FROM DAMAGE AS DIRECTED/APPROVED BY THE PROJECT MANAGER.
- THROUGHOUT CONSTRUCTION OPERATIONS, THE CONTRACTOR WILL BE REQUIRED TO CONDUCT THEIR HAULING OPERATIONS IN A MANNER SUCH THAT VEHICLES WILL NOT HAUL OVER PREVIOUSLY RECOMPACTED SUBGRADE OR COMPACTED BASE MATERIAL EXCEPT IN SHORT SECTIONS FOR DUMPING MANIPULATIONS.

Robert W. Schneeberg



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

C02.01

**APPLICANT/OWNER/DEVELOPER:**  
 FAST ELECTRIC, LLC  
 ATTN: JOSE RODRIGUEZ J.  
 8025 JANE LONG RD  
 SANGER, TX 76266  
 (940) 315-0043

**ENGINEER/SURVEYOR:**  
 ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
 GONZALEZ & SCHNEEBERG, INC.  
 801 EAST CAMPBELL ROAD, SUITE 330  
 RICHARDSON, TEXAS 75081  
 (972) 516-8855

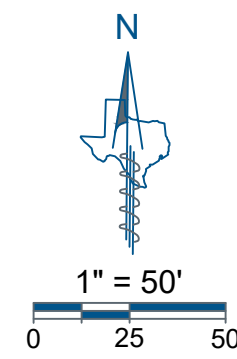
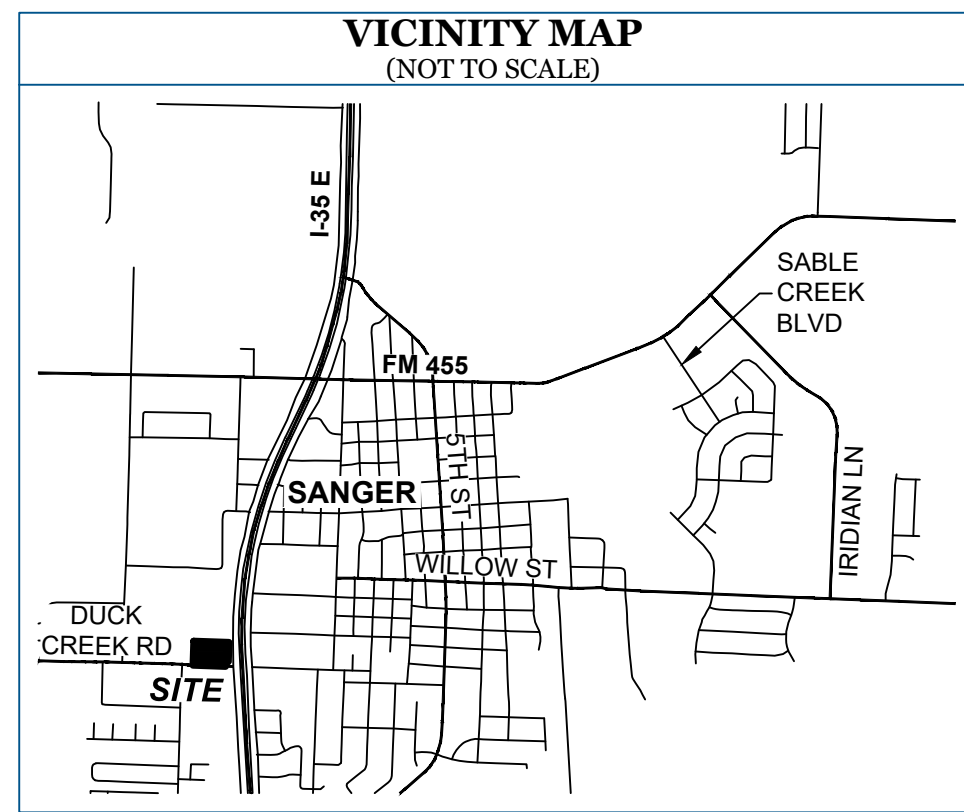
**GONZALEZ & SCHNEEBERG**  
 Engineering Firm No. F-3376  
 Surveying License No. 100752-00  
 801 East Campbell Road, Suite 330  
 Richardson, Texas 75081

PROJ. NO. 7875-25-10-21 DWG. NO. 7875 general notes.dwg  
**Gonzalez & Schneeberg** 801 East Campbell Road  
 engineers ■ surveyors Suite 330, Richardson, Texas 75081  
 ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00 (972) 516-8855

**GENERAL NOTES**  
 FAST ELECTRIC  
 LOT 1, BLOCK A  
 SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:1			###

NO.	DATE	REVISION



LINE	BEARING	DISTANCE
L1	S 47°17'15" W	49.77'
L2	S 00°00'00" E	30.30'
L3	N 87°44'51" W	18.84'
L4	N 88°26'00" W	99.78'
L5	N 01°34'00" E	15.00'
L6	S 88°26'00" E	99.74'
L7	N 87°49'20" W	33.64'
L8	N 02°10'40" E	88.23'
L9	N 02°10'40" E	92.02'
L10	S 87°49'20" E	93.25'
L11	S 02°10'40" W	93.25'
L12	N 87°49'20" W	93.20'
L13	S 02°10'40" W	32.63'
L14	N 87°49'20" W	93.25'
L15	N 02°10'40" E	93.25'
L16	S 87°49'20" E	93.25'
L17	S 02°10'40" W	93.25'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	9975.00'	251.95'	1°26'50"	S 01°49'22" W	251.94'
C2	3822.68'	15.00'	0°13'29"	S 01°24'39" W	15.00'
C3	30.00'	10.14'	19°22'21"	N 11°51'50" E	10.10'
C4	50.00'	15.88'	18°11'42"	N 11°16'31" E	15.81'
C5	50.00'	15.88'	18°11'42"	N 11°16'31" E	15.81'
C6	55.00'	86.39'	90°00'00"	N 47°10'40" E	77.78'
C7	55.00'	86.39'	90°00'00"	S 42°49'20" W	77.78'
C8	55.00'	86.39'	90°00'00"	S 47°10'40" W	77.78'
C9	30.08'	47.13'	89°46'09"	S 47°13'54" W	42.45'
C10	30.08'	10.80'	20°34'11"	S 08°15'24" E	10.74'
C11	30.00'	47.12'	90°00'00"	N 42°49'20" W	42.43'
C12	30.00'	47.12'	90°00'00"	N 47°10'40" E	42.43'
C13	30.00'	47.12'	90°00'00"	S 42°49'20" E	42.43'
C14	30.00'	47.12'	90°00'00"	S 47°10'40" W	42.43'

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, I(we), JOSE DE LA CRUZ RODRIGUEZ JIMENEZ and YASMINA IVETH JIMENEZ DE RODRIGUEZ, are the owners of 3.31 acres of land out of the Henry Tierwester Survey, Abstract Number 1241, situated in the City of Sanger, Denton County, Texas, being all of a called 3.29 acre tract of land conveyed to Jose de la Cruz Rodriguez Jimenez and Yasmina Iveth Jimenez de Rodriguez by Warranty Deed of record in Document Number 2024-92236 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a mag nail set in Duck Creek Road at the southeast corner of a right-of-way dedication by Powell Addition, a subdivision of record in Document Number 2023-392 of the Plat Records of Denton County, Texas, also being the southwest corner of said 3.29 acre tract and hereof;

THENCE, N01°57'11"E, leaving Duck Creek Road, along the west line of said 3.29 acre tract, in part being the common east line of said right-of-way dedication, and in part being the common east line of Lot 1R, Block 1 of said Powell Addition, a distance of 315.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the south line of Lot 1, Block A of Heaths Hollow Subdivision, a subdivision of record in Document Number 2020-140 of said Plat Records, being the northeast corner of said Lot 1R, also being the northwest corner of said 3.29 acre tract and hereof, from which a 1/2 inch iron rod found at the southwest corner of said Lot 1 bears N88°00'03"W, a distance of 82.63 feet, and from said southwest corner of Lot 1 a railroad spike found at the northwest corner of said Lot 1, being the common north line of said 3.29 acre tract, a distance of 459.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the west right-of-way line of Interstate Highway 35 (U.S. Highway 77; right-of-way width varies) and the centerline of said Interstate Highway 35, the common west line of said Parcel 66, and the common east line of said 3.29 acre tract, the

Show the drainage easement related to the pond. A perpetual, non-exclusive drainage easement and maintenance agreement shall be granted for all detention/retention facilities, regardless of size or ownership configuration.

show MFFE on plat, must be min 1' above pond WSE.

The maintenance agreement shall clearly define the responsibilities of all parties involved in the ongoing upkeep of the detention/retention facilities. This shall include provisions for routine maintenance tasks

of said Lot 1, being the common north line of said 3.29 acre tract, a distance of 459.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the west right-of-way line of Interstate Highway 35 (U.S. Highway 77; right-of-way width varies) and the centerline of said Interstate Highway 35, the common west line of said Parcel 66, and the common east line of said 3.29 acre tract, the centerline of said Interstate Highway 35, having a radius of 9,975.00 feet, a chord bearing of S01°49'22"W, a chord length of 251.94 feet, a delta angle of 1°26'50" to a point from which a 5/8 inch iron rod found bears S44°25'57"W, a distance of 0.47 feet; to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found; mag nail set at the intersection of Duck Creek Road and the west right-of-way line of Interstate Highway 35, being the southeast corner of said 3.29 acre tract and hereof; Road and the south line of said 3.29 acre tract, a distance of 426.12 feet to the POINT OF BEGINNING, and containing of land, more or less.

NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, JOSE DE LA CRUZ RODRIGUEZ JIMENEZ and YASMINA IVETH JIMENEZ DE RODRIGUEZ, acting herein by and through their duly authorized officer(s) do hereby adopt this plat designating hereinabove described property as FAST ELECTRIC ADDITION, LOT 1, BLOCK A, an addition to the City of Sanger, Texas, and do hereby dedicate to public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities, and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other City codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed. If approved by the City of Sanger. The City of Sanger and public entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

JOSE DE LA CRUZ RODRIGUEZ JIMENEZ

BY: \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared JOSE DE LA CRUZ RODRIGUEZ JIMENEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

YASMINA IVETH JIMENEZ DE RODRIGUEZ

BY: \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared YASMINA IVETH JIMENEZ DE RODRIGUEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

- GENERAL NOTES**
- The purpose of this plat is to create one lot of record from an unplatted tract of land and to dedicate easements.
  - This property is located in Zone "X" (Unshaded) within Community Number 480786 as shown on F.E.M.A. Flood Insurance Rate Map Number 48121C0210G, effective April 18, 2011. The location of the Flood Zone is approximate. For additional information regarding Flood Zone designation, contact 1-(877) FEMA MAP.
  - The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative Network, State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83).
  - Notice: Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and withholding of utilities and building permits.
  - All set property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
  - Water and Sanitary Sewer, are provided by the City of Sanger, PO Box 1729, Sanger, TX 76266, 940-458-2571. Electric Service is provided by Sanger Electric Utilities, 202 Railroad Ave., Sanger, TX 76266, 940-458-2064.
  - This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
  - All common areas, drainage easements, and detention facilities will be owned and maintained by the HOA/POA. Any common area with in the City's right-of-way will require a facilities agreement, to be reviewed and approved by the City.
  - This plat does not alter or remove existing deed restrictions, if any, on this property.
  - Zoning District for this property is "RC" Regional Commercial.
  - All lots comply with the minimum size requirements of the zoning district.
  - Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.

**APPROVED AND ACCEPTED**

**CITY OF SANGER  
DENTON COUNTY, TEXAS**

Chairman, Planning and Zoning Commission  
City of Sanger, Texas \_\_\_\_\_ Date \_\_\_\_\_

Mayor  
City of Sanger, Texas \_\_\_\_\_ Date \_\_\_\_\_

**ATTEST:**

City Secretary  
City of Sanger, Texas \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR**  
Eagle Surveying, LLC  
Contact: Richard Spicer, Jr.  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**OWNER**  
Jose De La Cruz Rodriguez Jimenez &  
Yasmina Iveth Jimenez De Rodriguez  
8025 Jane Long Road  
Sanger, TX 76266  
(940) 297-9678

**ENGINEER**  
Gonzalez & Schneeberg  
801 East Campbell Road, Suite 330  
Richardson, TX 75081  
(972) 516-8855

**LEGEND**

●	BOUNDARY MONUMENT (SUBJECT)
○	BOUNDARY MONUMENT (OTHERS)
POB	POINT OF BEGINNING
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
CIRS	1/2" IRON ROD SET WITH GREEN "EAGLE SURVEYING" CAP
RRF	RAILROAD SPIKE FOUND
MNS	MAG NAIL SET
VOL.	VOLUME
PG.	PAGE
DOC. NO.	DOCUMENT NUMBER
O.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS

**EAGLE SURVEYING**

Eagle Surveying, LLC  
222 South Elm Street  
Suite: 200  
Denton, TX 76201  
940.222.3009  
www.eaglesurveying.com  
TX Firm # 10194177

**CERTIFICATE OF SURVEYOR**

STATE OF TEXAS §  
COUNTY OF DENTON §

I, CALEB MCCANLIES, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Sanger, Denton County, Texas.

**PRELIMINARY**  
this document shall not be recorded for any purpose and shall not be used or relied or relied upon as a final survey document

Caleb McCanlies, R.P.L.S. # 7036

Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared CALEB MCCANLIES, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

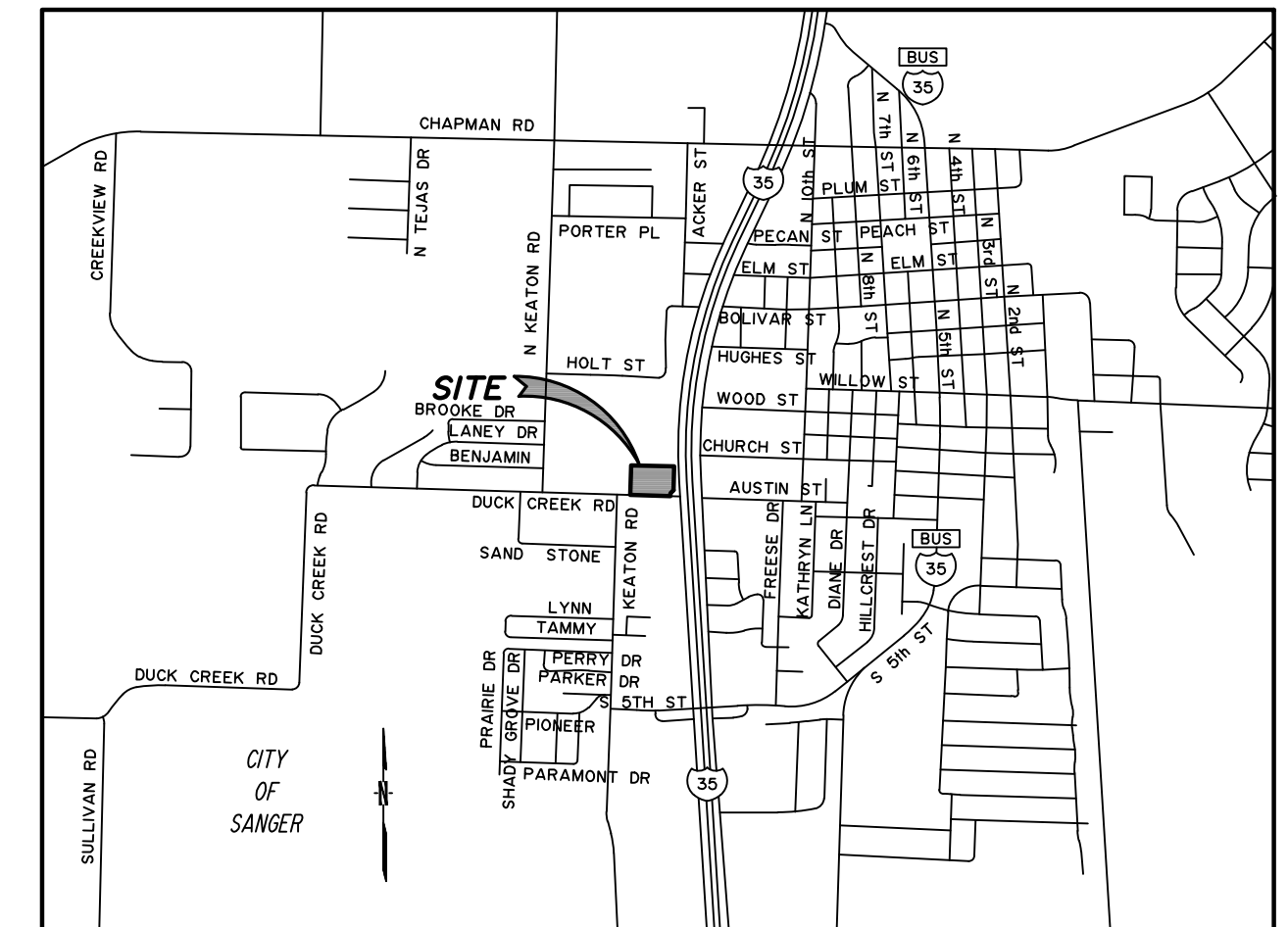
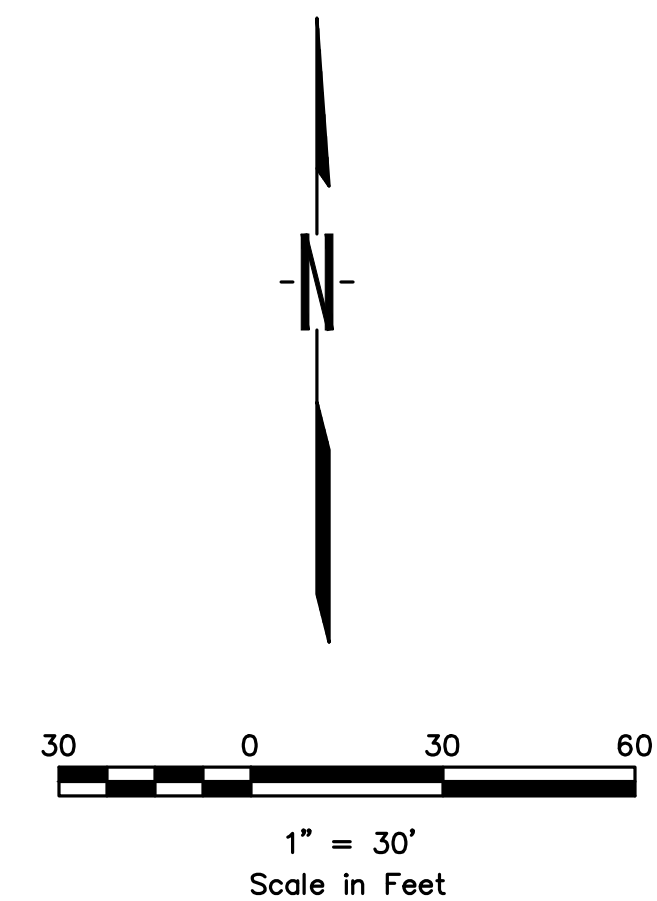
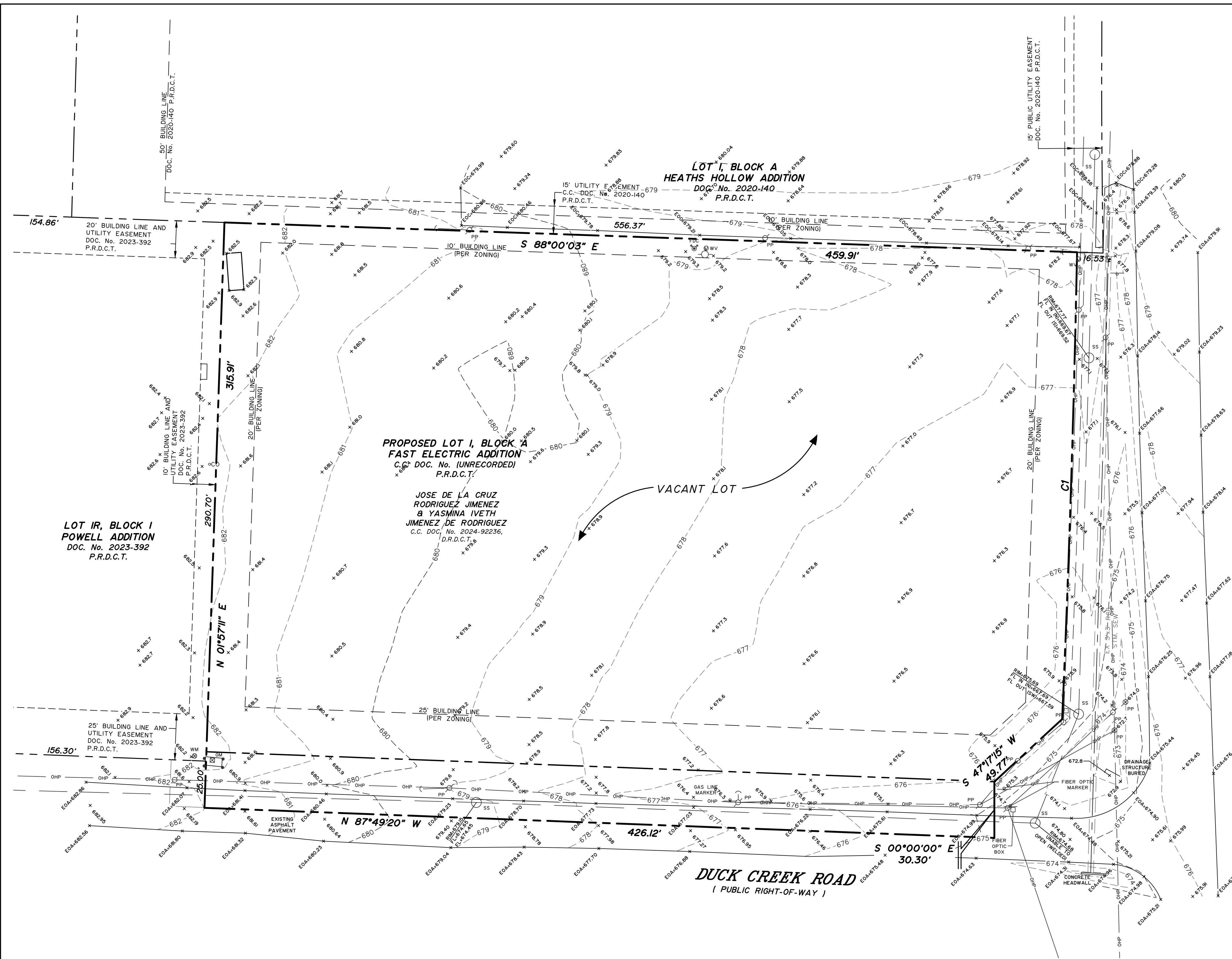
GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

FINAL PLAT  
FAST ELECTRIC  
ADDITION  
LOT 1, BLOCK A

3.31 ACRES  
0.30 ACRES - RIGHT-OF-WAY DEDICATION  
HENRY TIERWESTER SURVEY, ABSTRACT NO. 1241,  
CITY OF SANGER, DENTON COUNTY, TEXAS

DATE OF PREPARATION: 11/24/2025



**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.95'	251.94'	S 01°49'22" W

- LEGEND**
- ⊙<sub>PP</sub> POWER POLE
  - ⊙<sub>WV</sub> WATER VALVE
  - ⊙<sub>WM</sub> WATER METER
  - ⊙<sub>MS</sub> METAL SIGN
  - ⊙<sub>FD</sub> FIRE HYDRANT
  - ⊙<sub>PPA</sub> POWER POLE ANCHOR
  - ⊙<sub>CO</sub> CLEANOUT
  - ⊙<sub>SS</sub> SANITARY SEWER MANHOLE
  - <sub>OHP</sub> OVERHEAD POWER LINE
  - ⊙<sub>GM</sub> GAS METER

**INTERSTATE HIGHWAY 35**  
**(U.S. HIGHWAY 77)**  
( VARIABLE WIDTH PUBLIC RIGHT-OF-WAY )

**LOT 1R, BLOCK 1**  
**POWELL ADDITION**  
DC. No. 2023-392  
P.R.D.C.T.

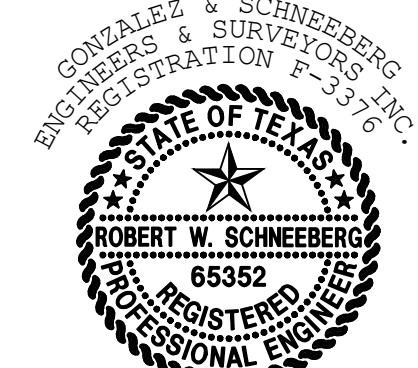
**PROPOSED LOT I, BLOCK A**  
**FAST ELECTRIC ADDITION**  
C.C. DOC. No. (UNRECORDED)  
P.R.D.C.T.

**JOSE DE LA CRUZ**  
**RODRIGUEZ, JIMENEZ**  
**& YASMINA IVETH**  
**JIMENEZ DE RODRIGUEZ**  
C.C. DOC. No. 2024-92236,  
D.R.D.C.T.

**LOT I, BLOCK A**  
**HEATHS HOLLOW ADDITION**  
DC. No. 2020-140  
P.R.D.C.T.

**DUCK CREEK ROAD**  
( PUBLIC RIGHT-OF-WAY )

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**BENCHMARKS:**

BM No. 1  
"X" CUT SET ON CONCRETE SIDEWALK  
APPROXIMATELY 4.6' NORTH AND 11' WEST  
OF THE SOUTHEAST SIDEWALK CORNER  
LOCATED THAT THE NORTHEAST PROPERTY  
CORNER. ELEV.: 677.82

BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST  
SIDE OF THE EAST POWER POLE LOCATED  
AT THE SOUTHWEST CORNER OF PROPERTY  
CORNER CLIP. ELEV.: 675.79

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

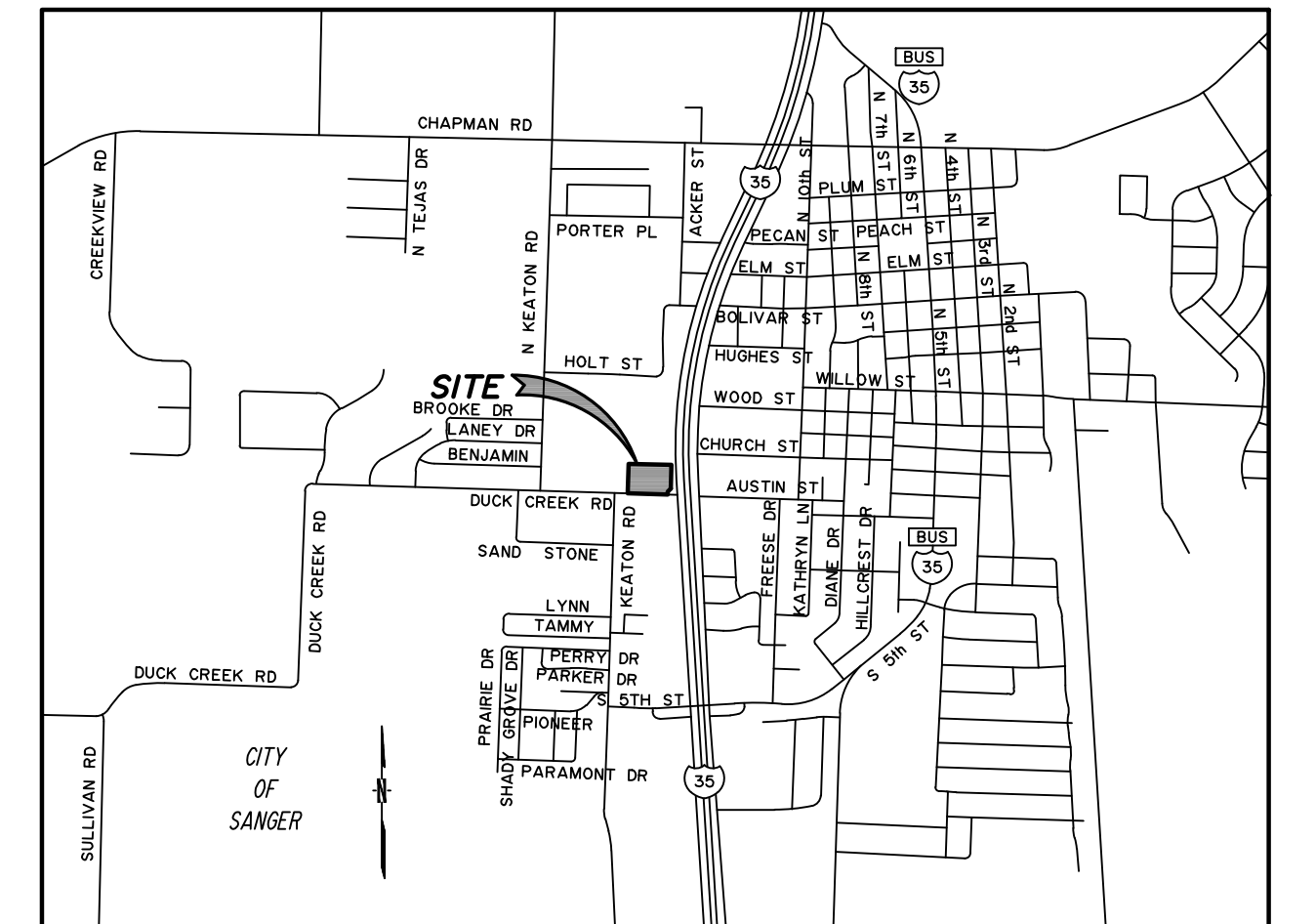
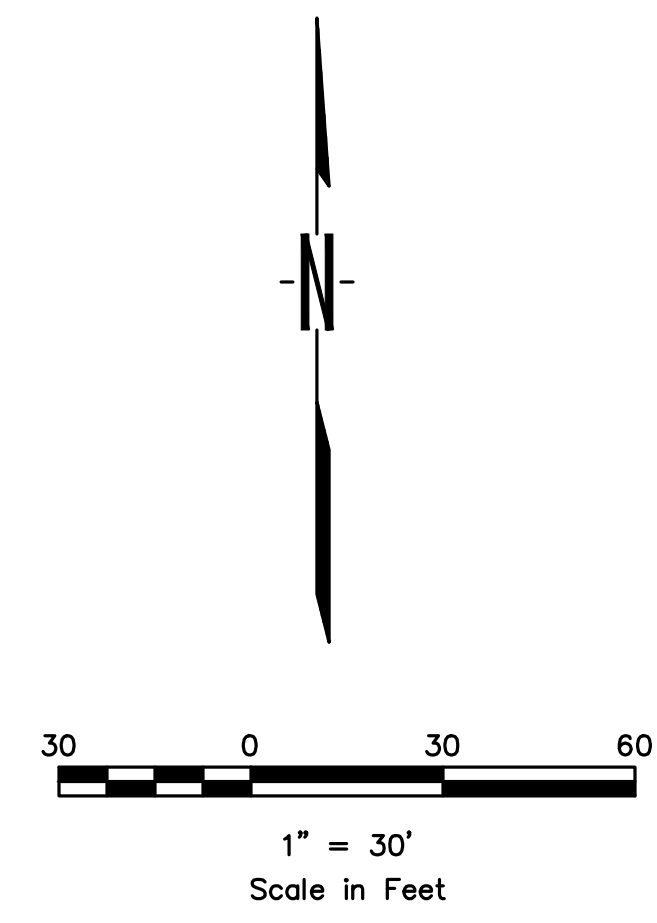
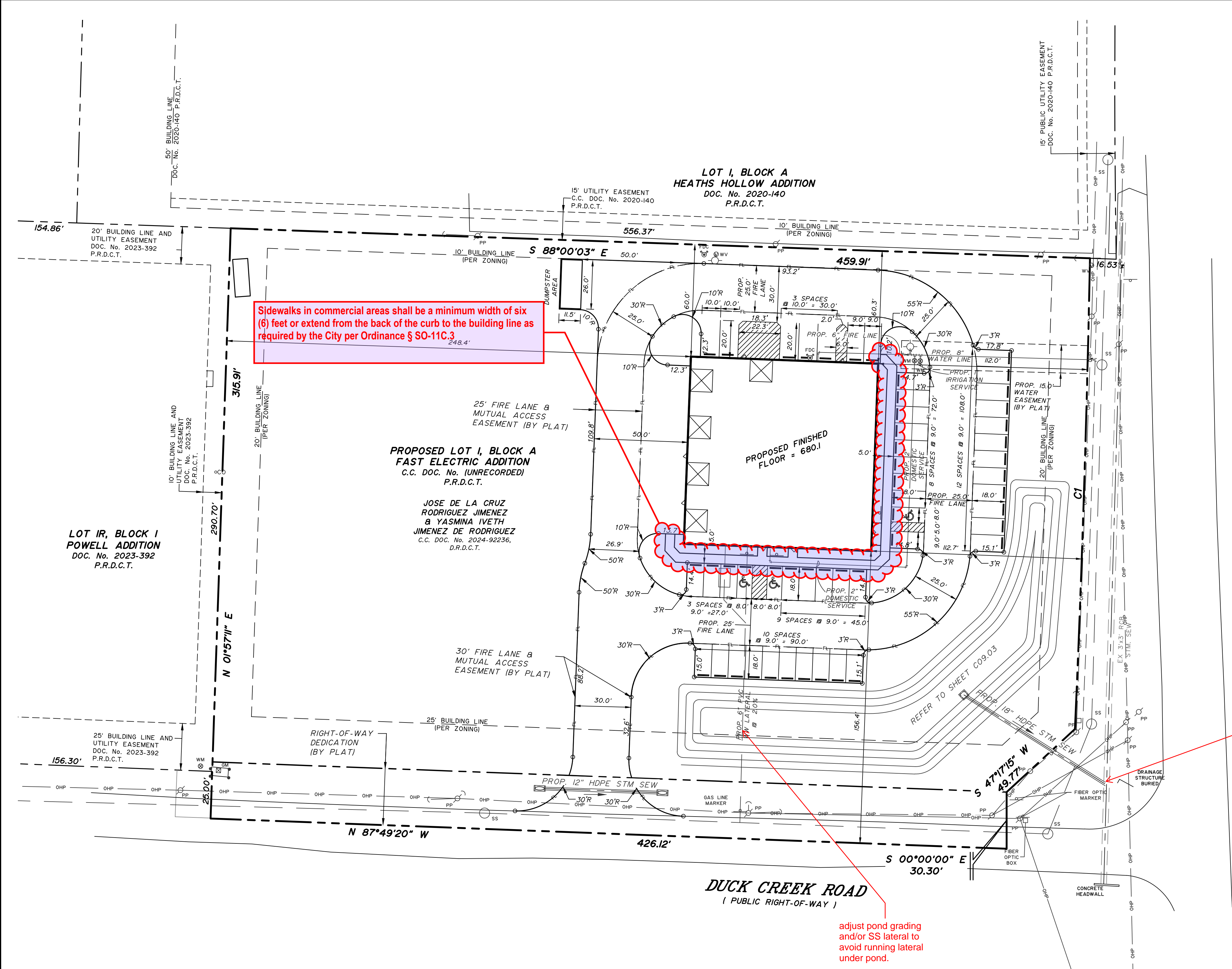
**C04.01**

PROJ. NO. 7875-25-10-21 DWG. NO. 7875 existing condition.dwg  
**Gonzalez & Schneeberg** 801 East Campbell Road  
**engineers & surveyors** Suite 330, Richardson, Texas 75081  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00 (972) 516-8855

**EXISTING CONDITIONS**  
**FAST ELECTRIC**  
**LOT 1, BLOCK A**  
**SANGER, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:80			###

NO.	DATE	REVISION



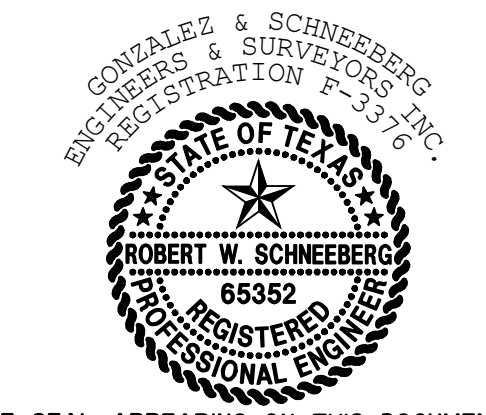
**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.95'	251.94'	S 01°49'22" W

- LEGEND**
- ⊙<sub>PP</sub> POWER POLE
  - ⊙<sub>WV</sub> WATER VALVE
  - ⊙<sub>WM</sub> WATER METER
  - METAL SIGN
  - ⊙<sub>FH</sub> FIRE HYDRANT
  - POWER POLE ANCHOR
  - ⊙<sub>CO</sub> CLEANOUT
  - ⊙<sub>SS</sub> SANITARY SEWER MANHOLE
  - OHP OVERHEAD POWER LINE
  - ⊙<sub>GM</sub> GAS METER

**INTERSTATE HIGHWAY 35**  
(U.S. HIGHWAY 77)  
( VARIABLE WIDTH PUBLIC RIGHT-OF-WAY )

*Robert W. Schneeburg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBURG, P.E., 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**BENCHMARKS:**

- BM No. 1  
" - CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED THAT THE NORTHEAST PROPERTY CORNER. ELEV.: 677.82
- BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP. ELEV.: 675.79

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBURG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBURG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBURG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

**C05.01**

PROJ. NO. 7875-25-10-21 DWG. NO. 7875 dlm.dwg

**Gonzalez & Schneeburg**  
engineers ■ surveyors  
801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

**DIMENSIONAL CONTROL PLAN**

**FAST ELECTRIC**

**LOT 1, BLOCK A**

**SANGER, TEXAS**

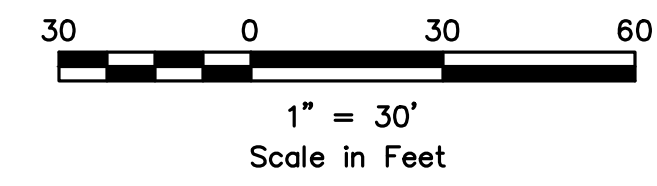
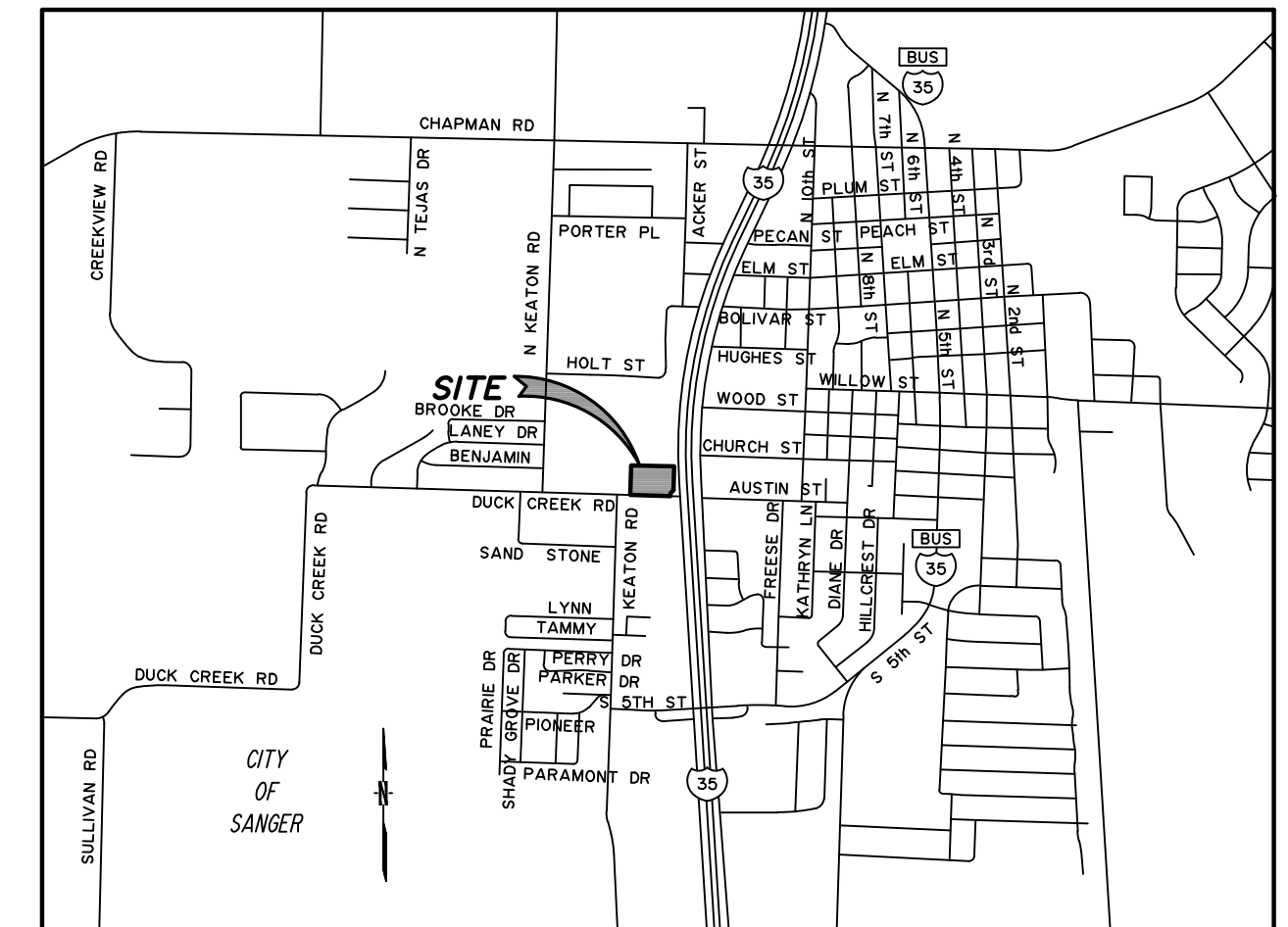
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:80			###

NO.	DATE	REVISION

**WARNING!!!**  
 EXISTING UTILITIES IN THE AREA.  
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE FRANCHISE UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN), IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS/REPLACEMENTS.

**CAUTION!!!!**  
 GAS MAIN MAY BE IN VICINITY OF CONSTRUCTION. CONTACT APPROPRIATE UTILITY FRANCHISE 72 HOURS IN ADVANCE OF CONSTRUCTION FOR UTILITY LOCATION.

**1-800-344-8377 (DIG-TESS)**  
 Contractor shall contact Dig-Tess or other utility locator service no earlier than 14 days and no later than 48 hours prior to construction activity. Gonzalez & Schneeberg Engineers & Surveyors, Inc. is not responsible for knowing all existing utilities or depicting exact location of utilities on drawing.



**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD	CH. BEARING
C1	001°26'50"	8975.00'	125.98'	251.95'	S 01°49'22" W

**PAVING NOTES:**

- ALL CONCRETE FOR PAVEMENT AND SIDEWALKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,600 PSI AT 28 DAYS.
- ALL PAVEMENTS SHALL BE PLACED ON A SCARIFIED AND COMPACTED SUBGRADE. COMPACTION SHALL BE 95% STANDARD PROCTOR DENSITY.
- ALL PAVEMENTS SHALL BE REINFORCED WITH No. 3 BARS ON 18" CENTERS EACH WAY.
- CONTRACTOR SHALL FOLLOW RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PREPARED BY BUILD GEOTECH ENGINEERING GROUP, LLC, INC, DATED 12/09/2025.
- ALL SIDEWALKS, LANDINGS, RAMPS, AND FLARES IN THIS PROJECT COMPLY WITH TAS, ADA, PROWAG AND FHWA STANDARDS.

**LEGEND**

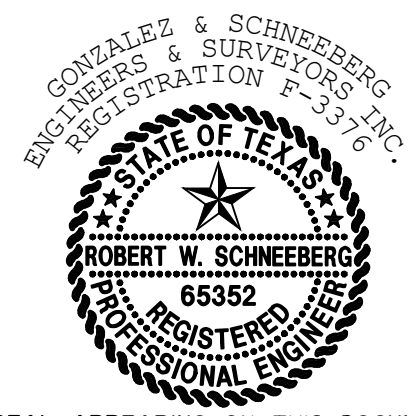
- ⊕ POWER POLE
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ METAL SIGN
- ⊕ FIRE HYDRANT
- ⊕ POWER POLE ANCHOR
- ⊕ CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- OHP OVERHEAD POWER LINE
- FL PROPOSED FIRE LANE
- ⊕ GAS METER
- ▨ PROPOSED 7" CONCRETE CONCRETE FIRELANE OVER WELL-COMPACTED SUBGRADE. (REFER TO GEOTECHNICAL REPORT PREPARED BY BUILD GEOTECH ENGINEERING GROUP, LLC, INC, DATED 12/09/2025)
- ▨ PROPOSED 7" CONCRETE DUMPSTER AREA OVER WELL-COMPACTED SUBGRADE. (REFER TO GEOTECHNICAL REPORT PREPARED BY BUILD GEOTECH ENGINEERING GROUP, LLC, INC, DATED 12/09/2025)
- ▨ PROPOSED 6" PARKING AREA OVER WELL-COMPACTED SUBGRADE. (REFER TO GEOTECHNICAL REPORT PREPARED BY BUILD GEOTECH ENGINEERING GROUP, LLC, INC, DATED 12/09/2025)
- ▨ PROPOSED 5-FIT CONCRETE SIDEWALK 4" THICK

**BENCHMARKS:**

- BM No. 1  
 "X" CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED THAT THE NORTHEAST PROPERTY CORNER. ELEV.: 677.82
- BM No. 2  
 RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP. ELEV.: 675.79

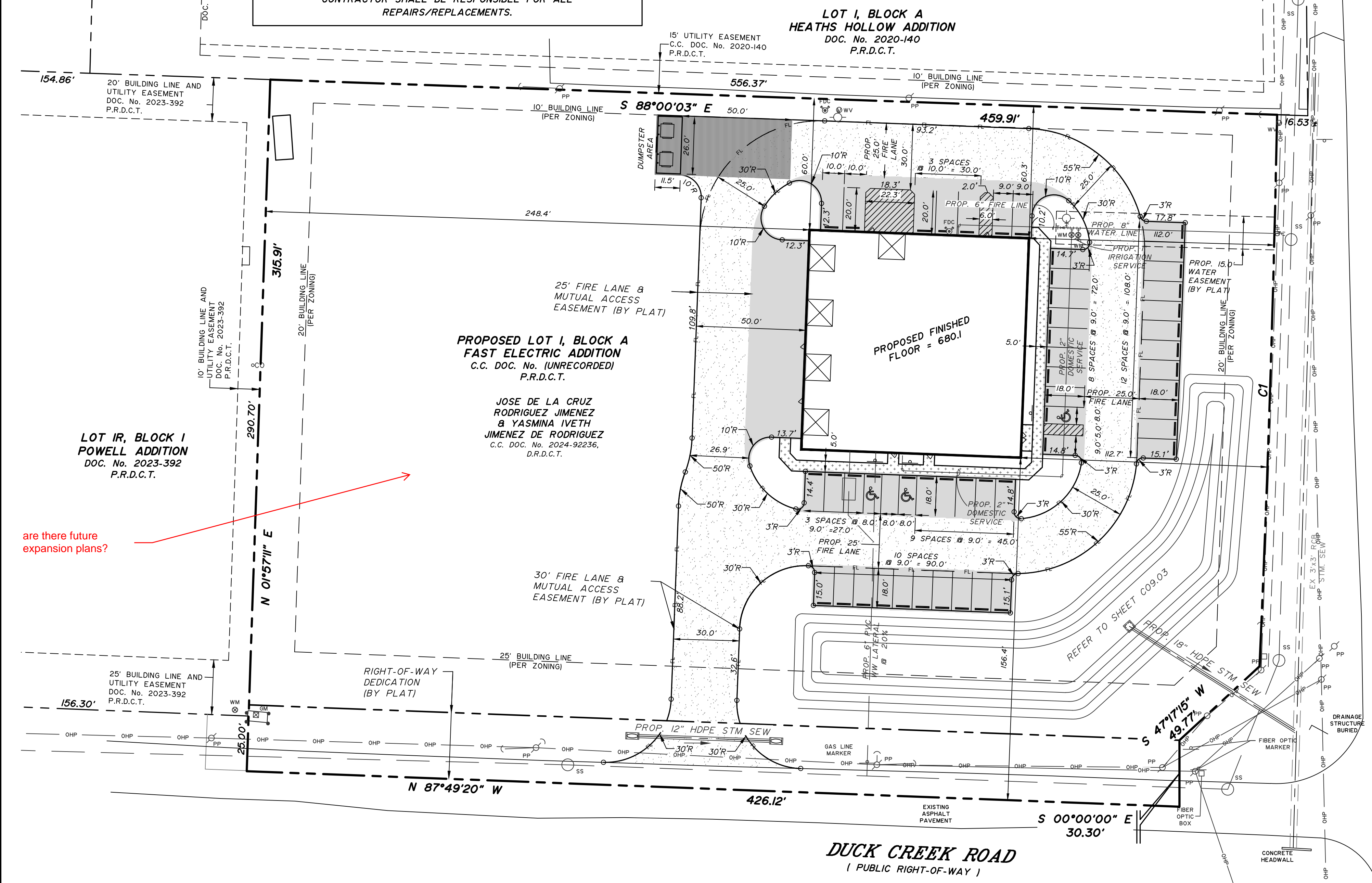
Please provide geotechnical engineering report to confirm suggested pavement thicknesses and strengths

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**C06.01**



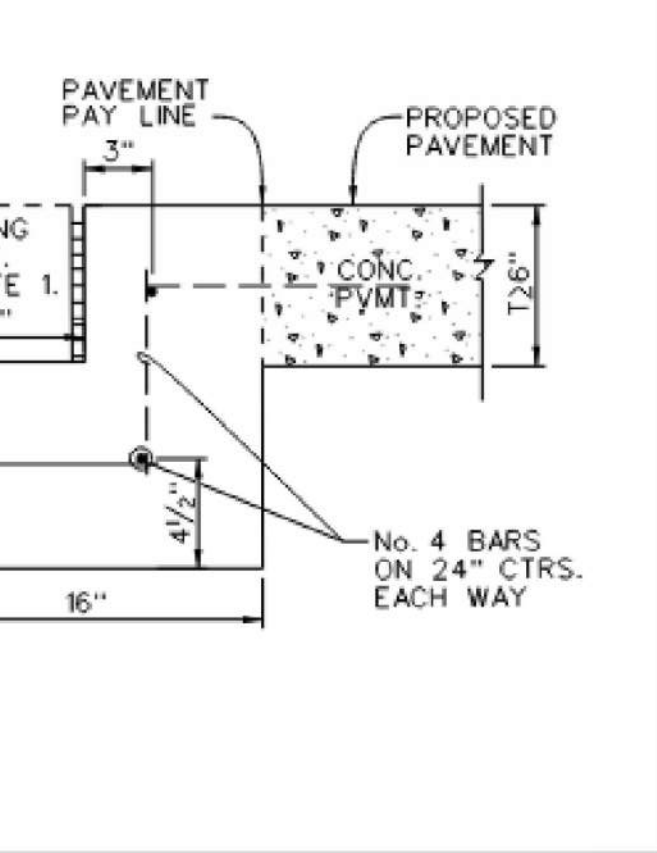
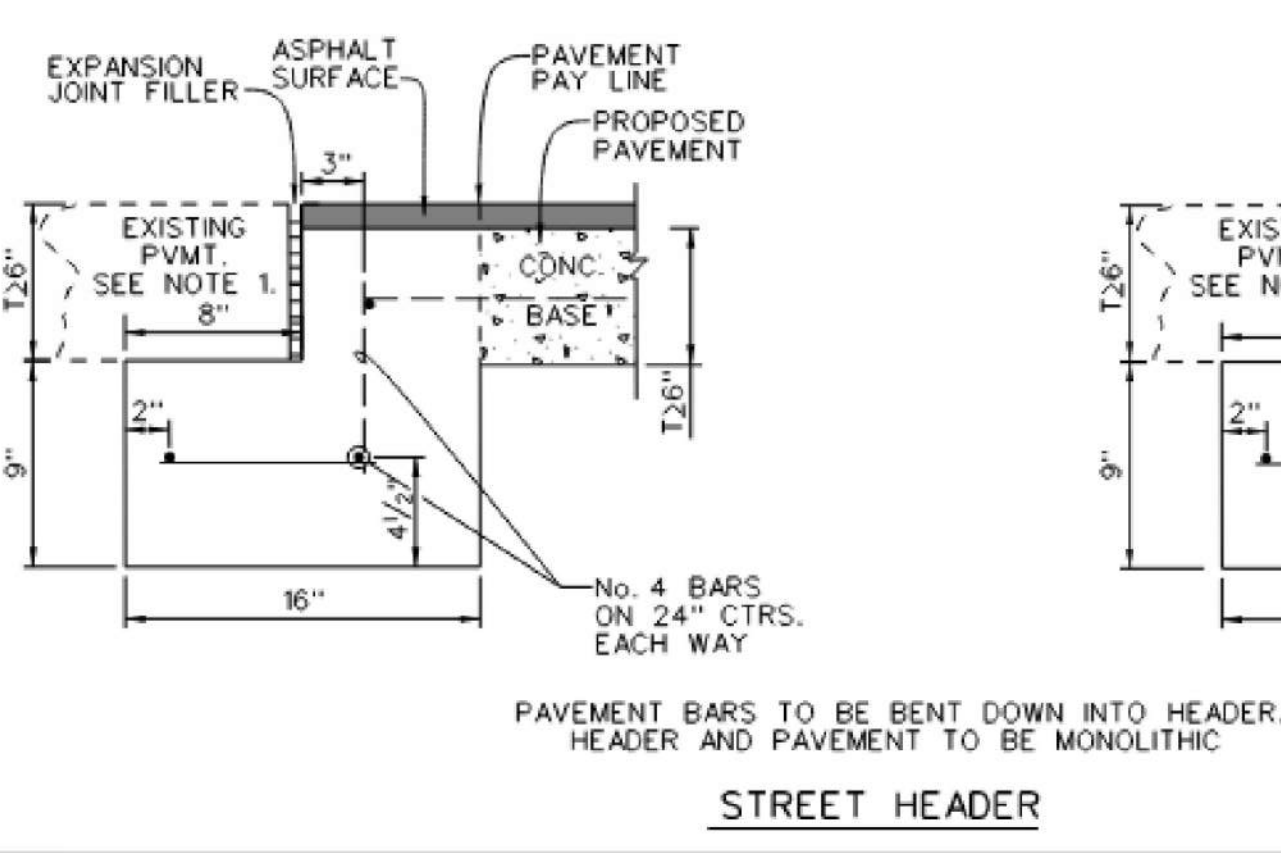
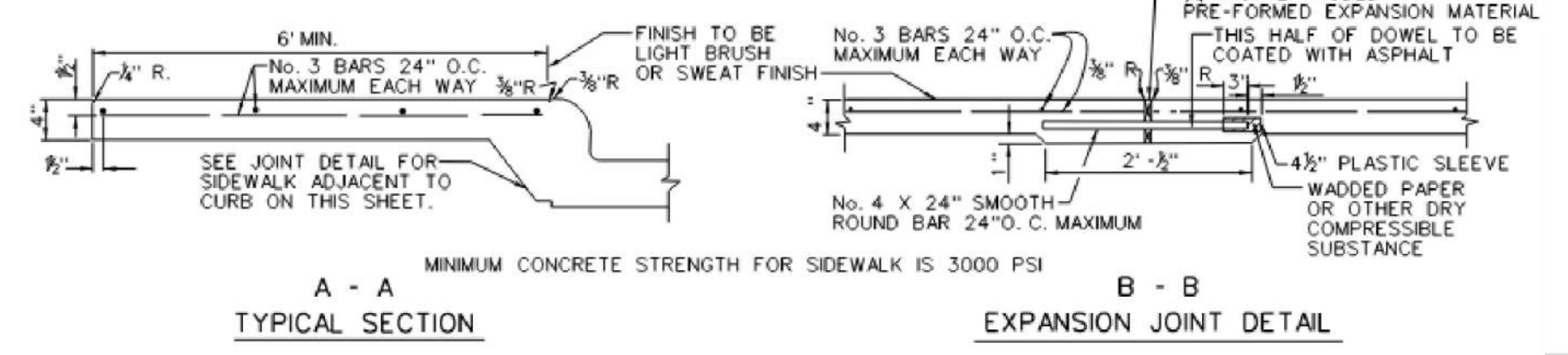
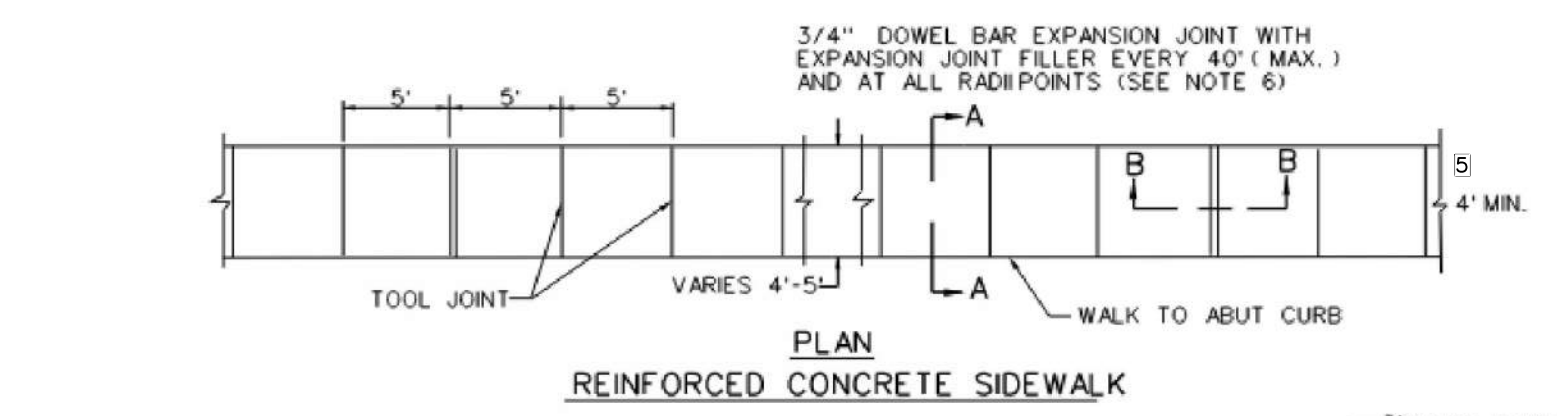
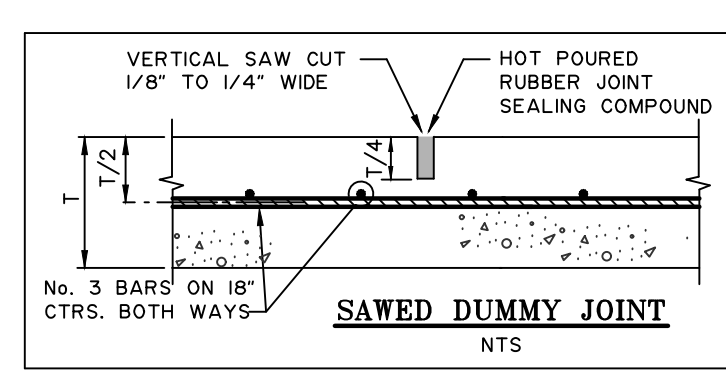
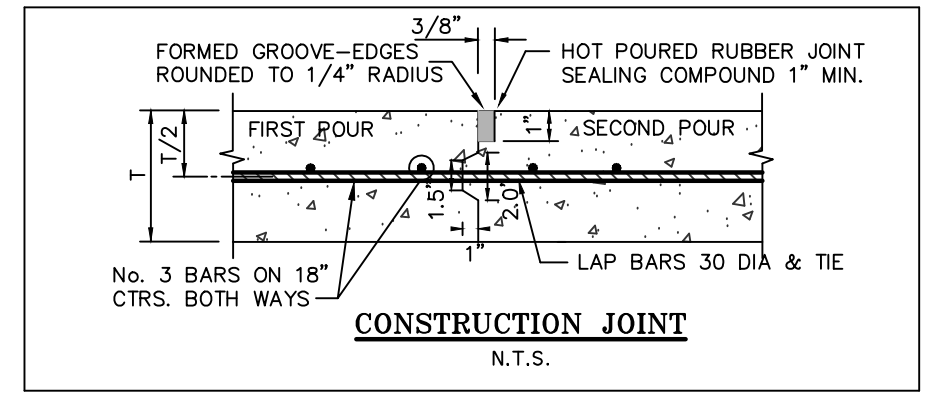
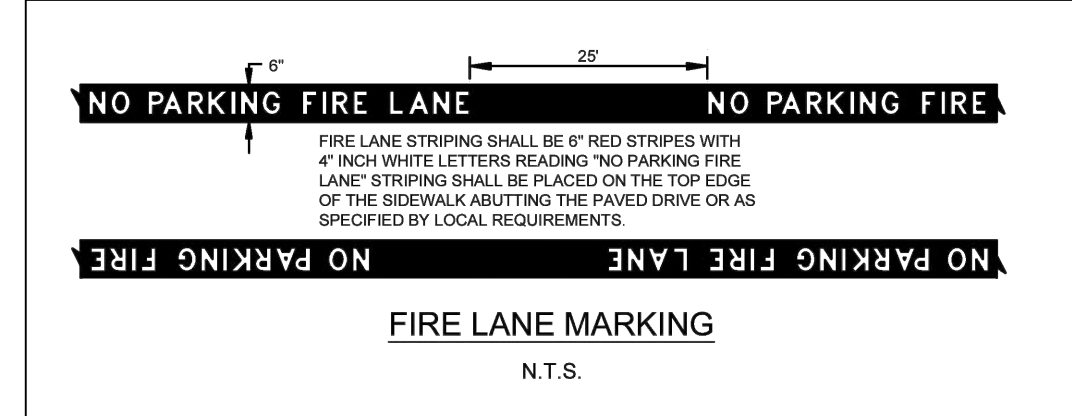
LOT 1R, BLOCK 1 POWELL ADDITION DOC. No. 2023-392 P.R.D.C.T.

PROPOSED LOT 1, BLOCK A FAST ELECTRIC ADDITION C.C. DOC. No. (UNRECORDED) P.R.D.C.T.

JOSE DE LA CRUZ RODRIGUEZ JIMENEZ & YASMINA IVETH JIMENEZ DE RODRIGUEZ C.C. DOC. No. 2024-92236, D.R.D.C.T.

LOT 1, BLOCK A HEATHS HOLLOW ADDITION DOC. No. 2020-140 P.R.D.C.T.

are there future expansion plans?



APPLICANT/OWNER/DEVELOPER:  
 FAST ELECTRIC, LLC  
 ATTN: JOSE RODRIGUEZ J.  
 8025 JANE LONG RD  
 SANGER, TX 76266  
 (940) 315-0043

ENGINEER/SURVEYOR:  
 ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
 GONZALEZ & SCHNEEBERG, INC.  
 801 EAST CAMPBELL ROAD, SUITE 330  
 RICHARDSON, TEXAS 75081  
 (972) 516-8855

**GONZALEZ & SCHNEEBERG**  
 Engineering Firm No. F-3376  
 Surveying License No. 100752-00  
 801 East Campbell Road, Suite 330  
 Richardson, Texas 75081

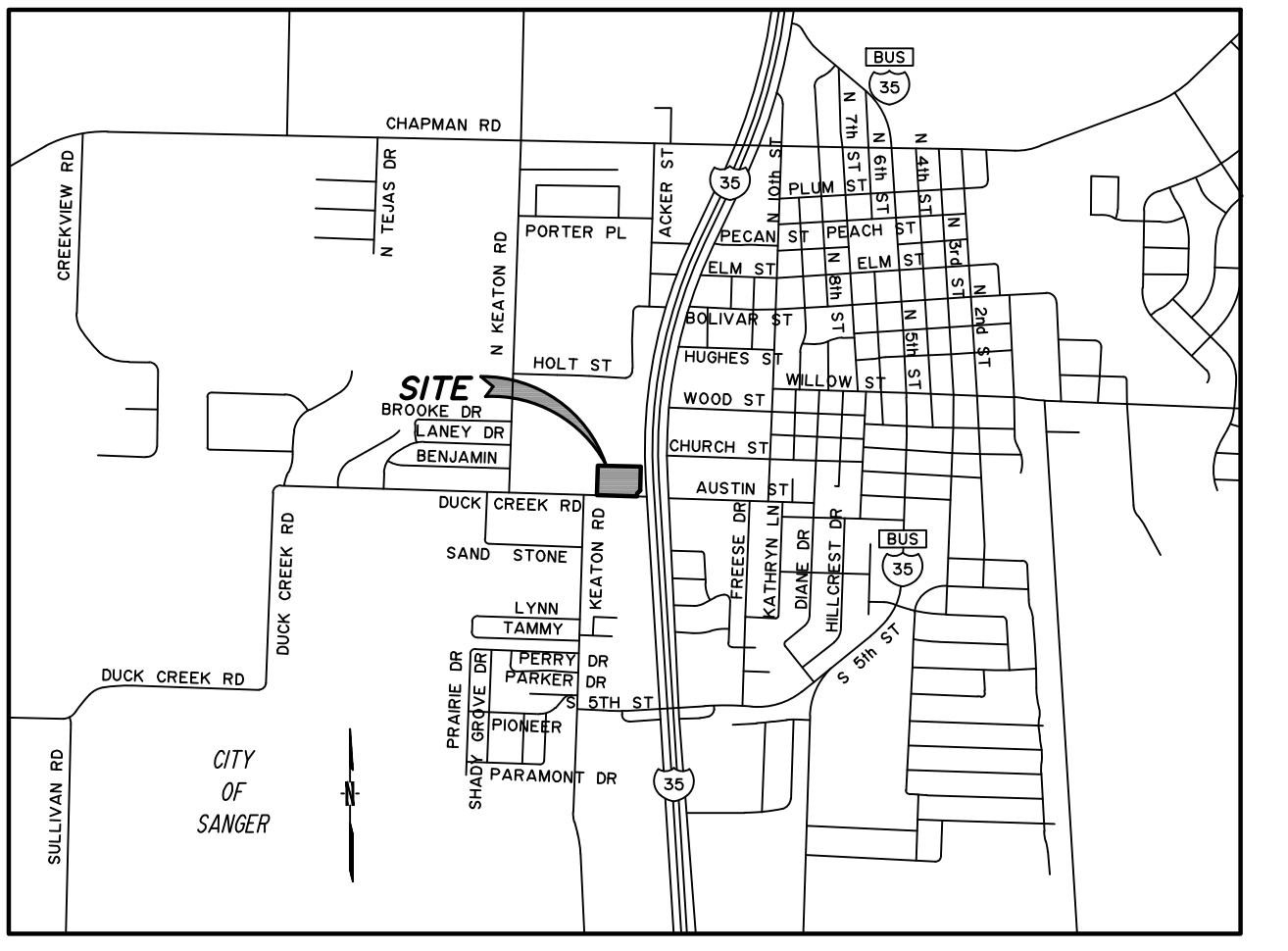
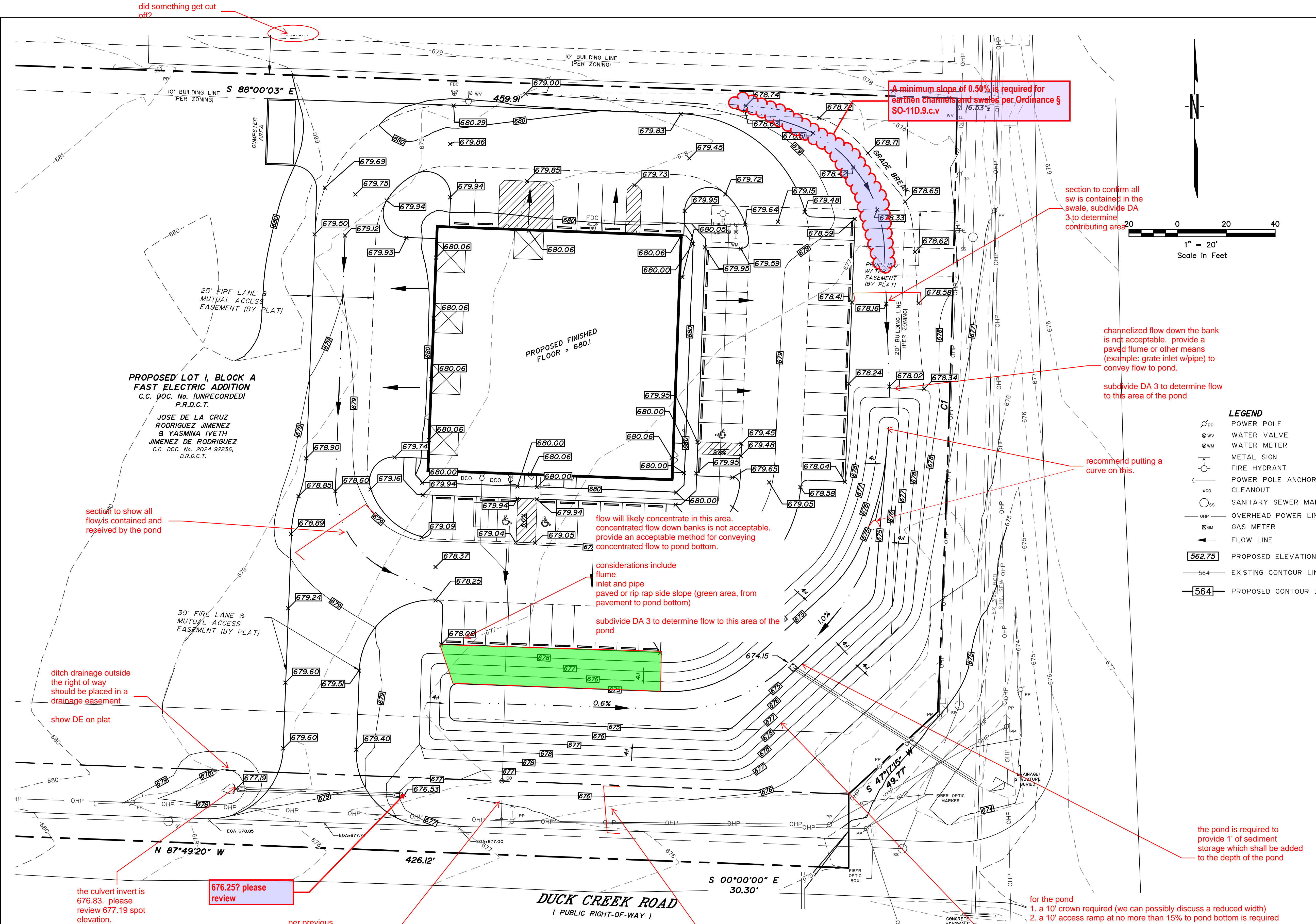
PROJ. NO. 7875-25-10-21 DWG. NO. 7875 pav.dwg

**Gonzalez & Schneeberg**  
 engineers ■ surveyors  
 ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

801 East Campbell Road  
 Suite 330, Richardson, Texas 75081  
 (972) 516-8855

**PAVING PLAN**  
 FAST ELECTRIC  
 LOT 1, BLOCK A  
 SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:80			

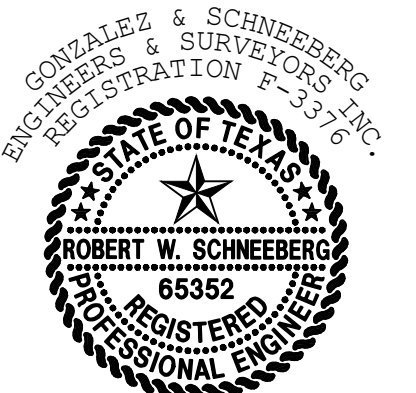


**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.95'	S 01°49'22" W

- LEGEND**
- PP POWER POLE
  - WV WATER VALVE
  - WM WATER METER
  - MS METAL SIGN
  - FH FIRE HYDRANT
  - PA POWER POLE ANCHOR
  - CC CLEANOUT
  - SS SANITARY SEWER MANHOLE
  - OHP OVERHEAD POWER LINE
  - GM GAS METER
  - FL FLOW LINE
  - 678.75 PROPOSED ELEVATIONS
  - 564 EXISTING CONTOUR LINE
  - 564 PROPOSED CONTOUR LINE

*Robert W. Schaefer*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHAEFER, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**C07.01**

**1-800-344-8377 (DIG-TESS)**  
Contractor shall contact Dig-less or other utility locator service no earlier than 14 days and no later than 48 hours prior to construction activity. Gonzalez & Schneeberg Engineers & Surveyors, Inc. is not responsible for knowing all existing utilities or depicting exact location of utilities on drawing.

**WARNING!!!**  
EXISTING UTILITIES IN THE AREA.  
CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE FRANCHISE UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN), IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS/REPLACEMENTS.

**CAUTION!!!!**  
GAS MAIN MAY BE IN VICINITY OF CONSTRUCTION. CONTACT APPROPRIATE UTILITY FRANCHISE 72 HOURS IN ADVANCE OF CONSTRUCTION FOR UTILITY LOCATION.

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

SIDEWALK 'H AND I' WEST ALK CORNER EAST PROPERTY  
ELEV.: 677.82  
  
IN SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP.  
ELEV.: 675.79

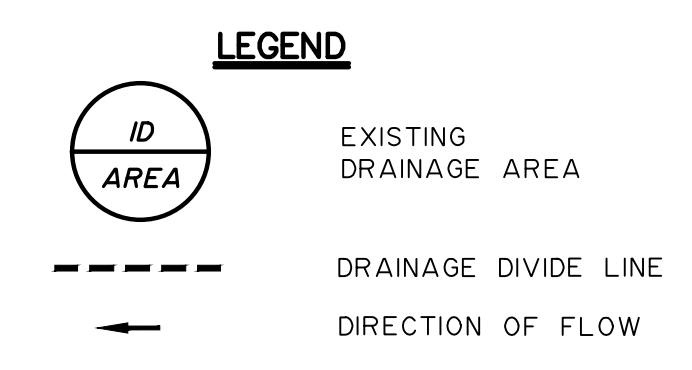
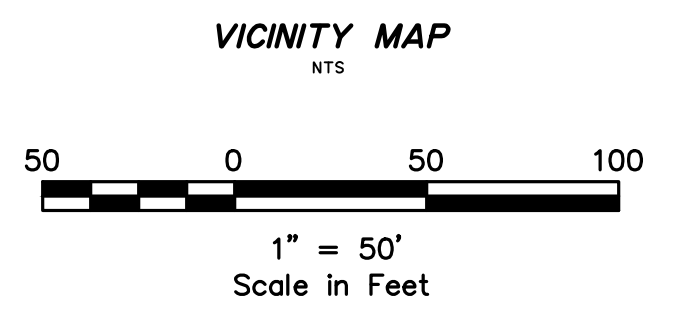
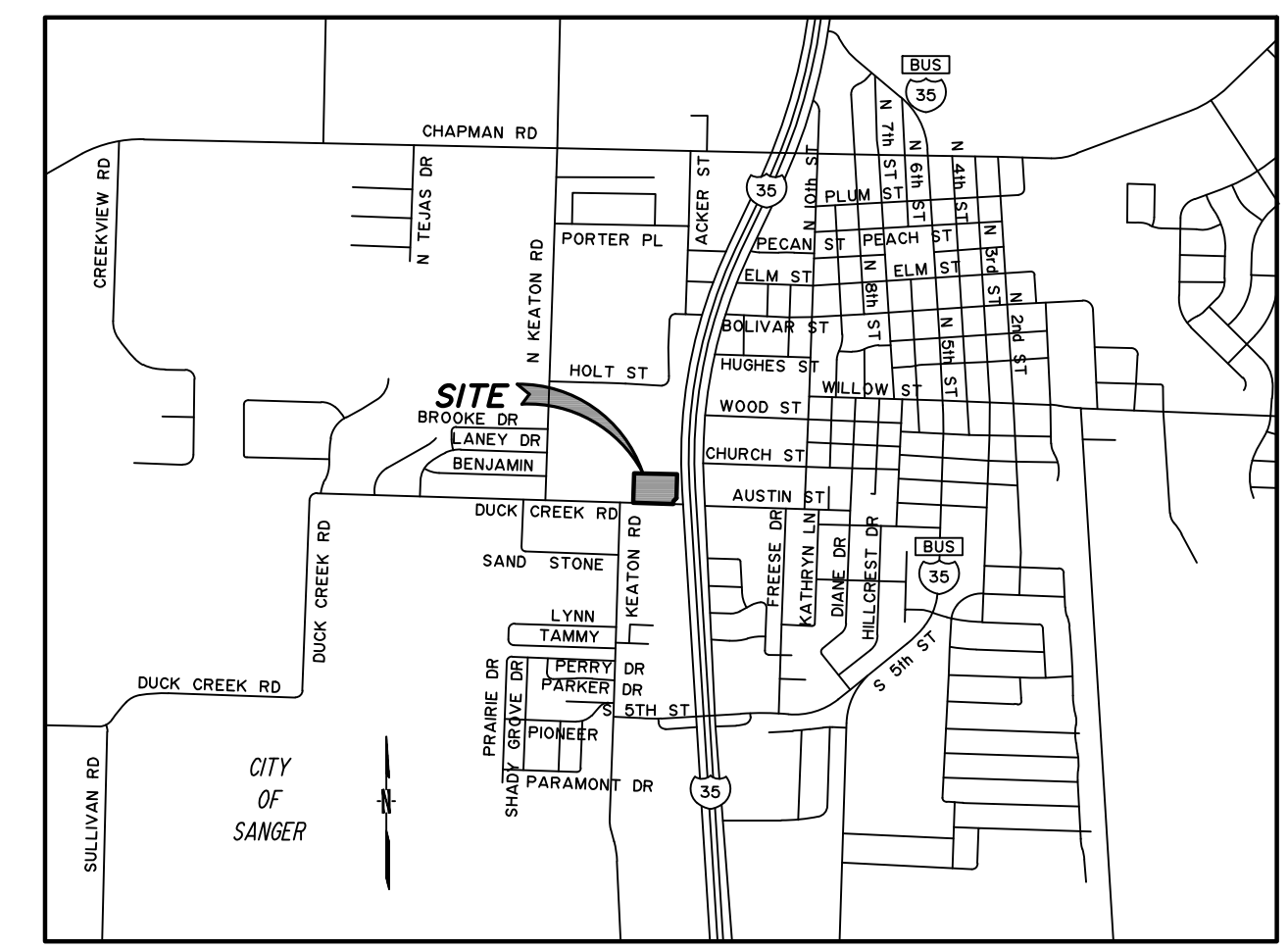
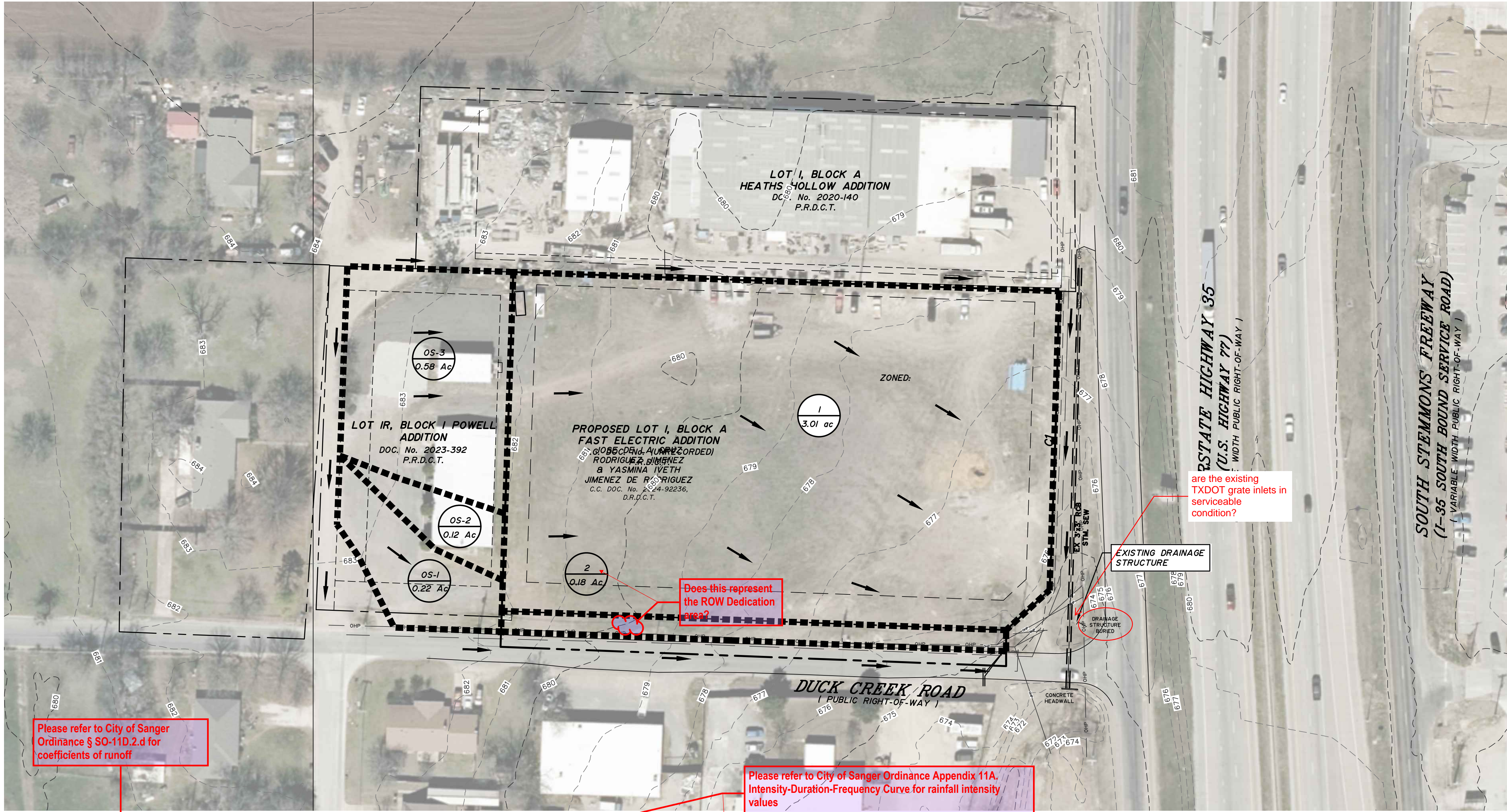
PROJ. NO. 7875-25-10-21 DWG. NO. 7875 grd.dwg

**Gonzalez & Schneeberg** engineers ■ surveyors  
801 East Campbell Road Suite 330, Richardson, Texas 75081 (972) 516-8855  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

**GRADING PLAN**  
FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:20			###

NO.	DATE	REVISION



Please refer to City of Sanger Ordinance § SO-110.2.d for coefficients of runoff

Does this represent the ROW Dedication?

EXISTING DRAINAGE STRUCTURE

are the existing TXDOT grate inlets in serviceable condition?

Please refer to City of Sanger Ordinance Appendix 11A, Intensity-Duration-Frequency Curve for rainfall intensity values

use 0.3 for onsite undeveloped areas

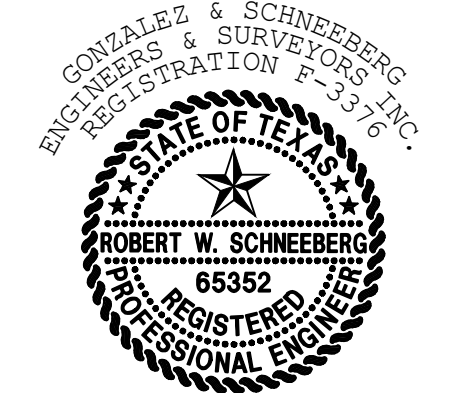
Area No.	Square Feet	Acres	Existing Drainage Conditions			Tc [min]	I100 [in/h]	Q100 [cfs]	Comments
			C	CxA	Q				
1	131116	3.01	0.40	1.20	10	9.59	11.55	sheet flows to existing drainage structure	
2	7841	0.18	0.40	0.07	10	9.59	0.69	sheet flows to existing drainage structure	
OS-1	9583	0.22	0.90	0.20	10	9.59	1.90	sheet flows to DA1	
OS-2	5227	0.12	0.90	1.04	10	9.59	1.04	sheet flows to DA1	
OS-3	25265	0.58	0.90	0.52	10	9.59	5.01	sheet flows to DA 1	

1. apply Cf based on Sanger requirements  
10, Cf = 1  
25, Cf = 1.1  
50, Cf = 1.2  
100, Cf = 1.25
2. provide 2, 10, 25, 50, and 100 year hydrology

provide flow path calcs for DA1, if calced Tc is less than 10 mins, 10 mins may be used, else use calced Tc

- DRAINAGE NOTES:**
1. The Rainfall Intensity values are based on National Oceanic and Atmospheric Administration's (NOAA) National Weather Service (NWS) Precipitation Data Server (PFDS)
  2. NTCOG aerial photography and contours were used to delineate drainage area boundaries.
  3. The runoff coefficients were determined based on existing land use.
  4. Existing storm sewer structures identified during field work are shown in this plan set.

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**BENCHMARKS:**

BM No. 1  
"x" CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED THAT THE NORTHEAST PROPERTY CORNER.  
ELEV.: 677.82

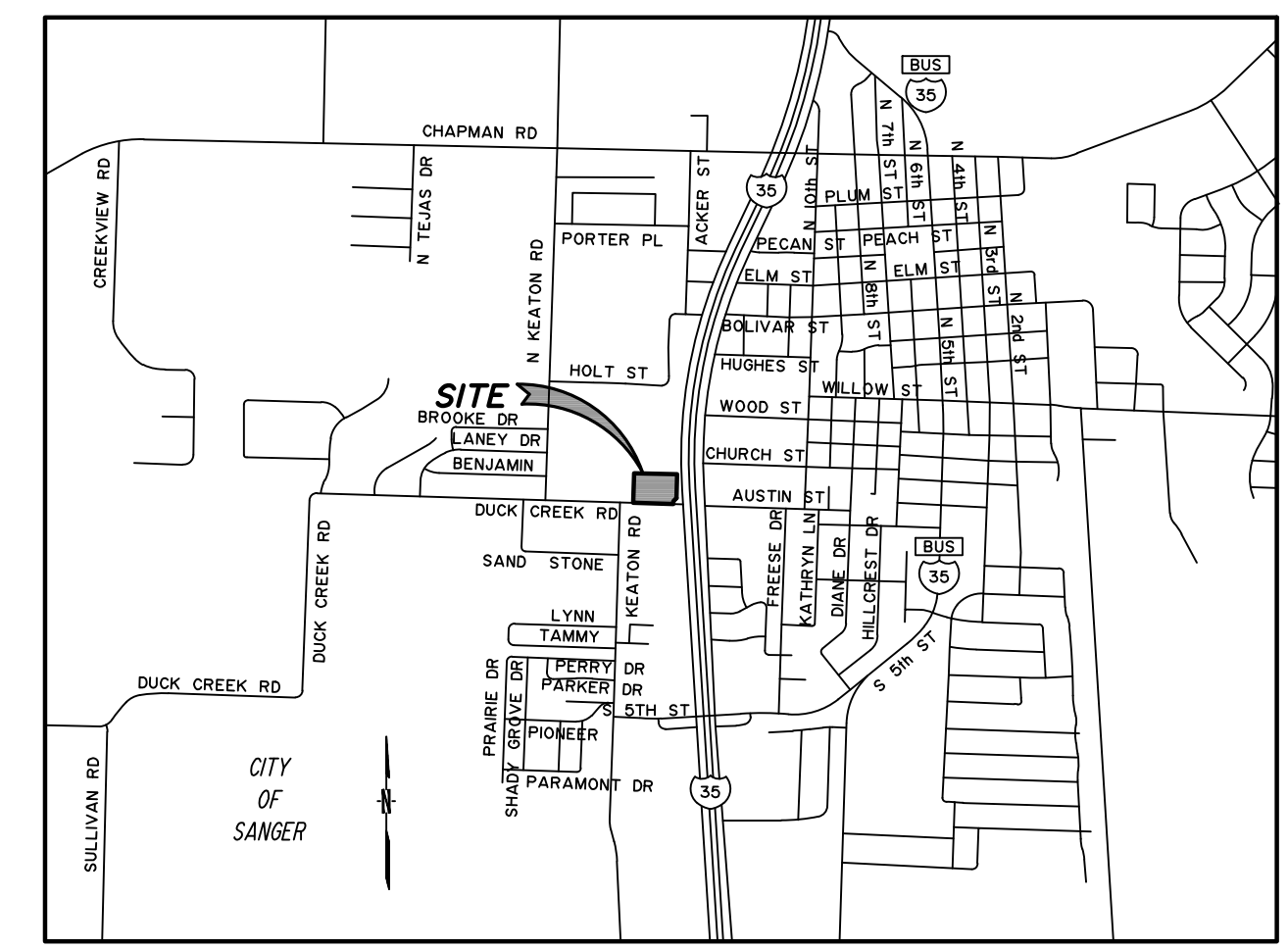
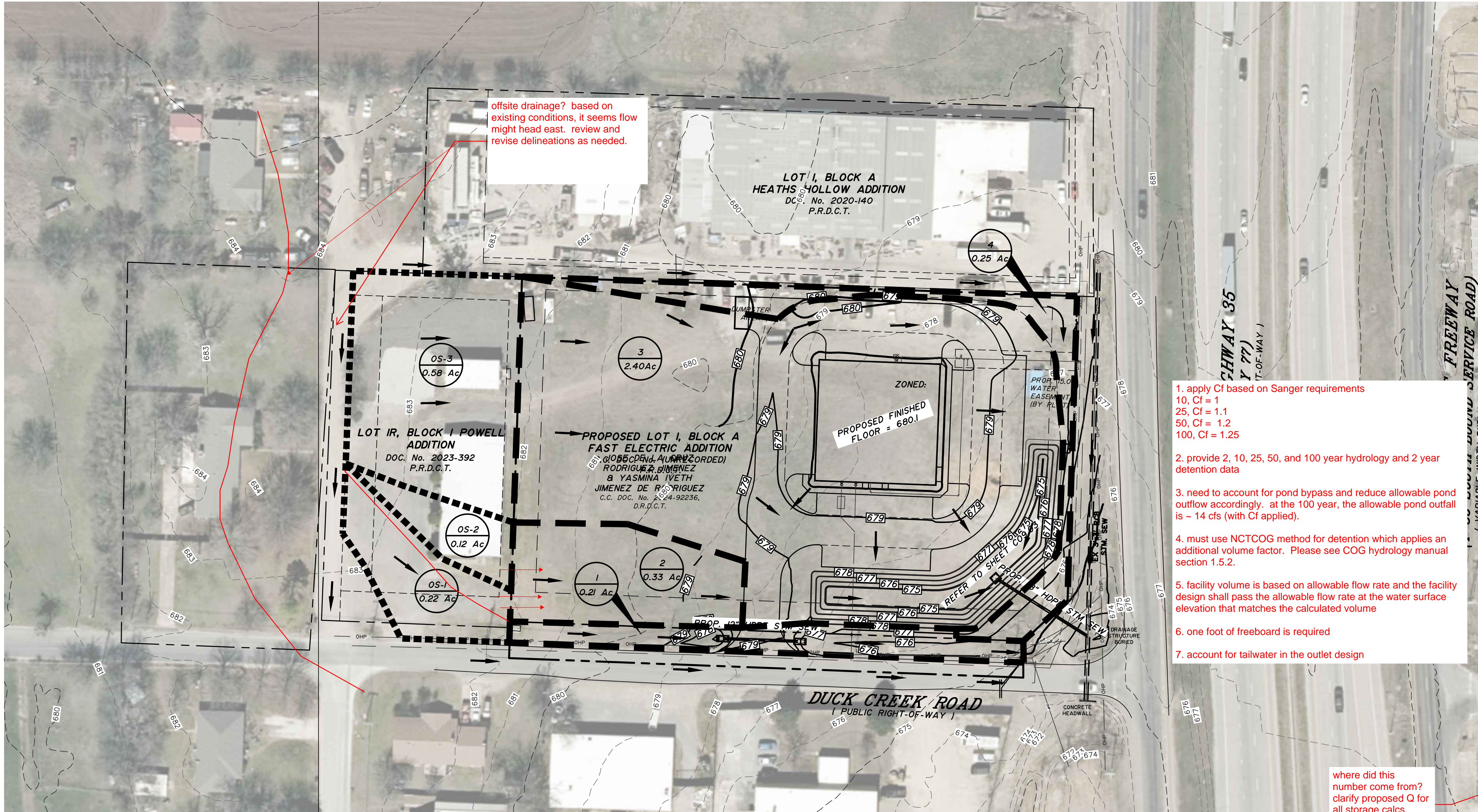
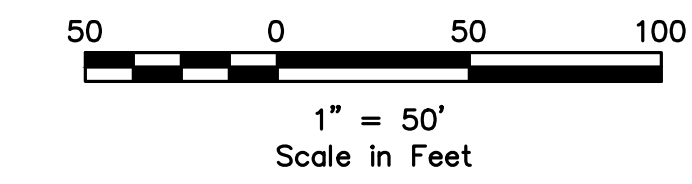
BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP.  
ELEV.: 675.79

**C08.01**

PROJ. NO. 7875-25-10-21		DWG. NO. 7875 Ex DAM.dwg	
<b>Gonzalez &amp; Schneeberg</b> engineers ■ surveyors		801 East Campbell Road Suite 330, Richardson, Texas 75081 (972) 516-8855	
ENGINEERING FIRM NO. F-3376		SURVEYING LICENSE NO. 100752-00	
<b>EXISTING DRAINAGE AREA MAP</b>			
<b>FAST ELECTRIC</b>			
<b>LOT 1, BLOCK A</b>			
<b>SANGER, TEXAS</b>			
DESIGN	DRAWN	DATE	SCALE
GSES	GSES	MARCH 2026	1:50
NOTES	FILE	NO.	
		###	
NO.	DATE	REVISION	

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855



- DRAINAGE NOTES:**
- The Rainfall Intensity values are based on National Oceanic and Atmospheric Administration's (NOAA) National Weather Service (NWS) Precipitation Data Server (PFDS)
  - NTCOG aerial photography and contours were used to delineate offsite drainage area boundaries.
  - The runoff coefficients were determined based on proposed land use and fully developed conditions.
  - Existing storm sewer structures identified during field work are shown in this plan set.

- apply Cf based on Sanger requirements  
10, Cf = 1  
25, Cf = 1.1  
50, Cf = 1.2  
100, Cf = 1.25
- provide 2, 10, 25, 50, and 100 year hydrology and 2 year detention data
- need to account for pond bypass and reduce allowable pond outflow accordingly. at the 100 year, the allowable pond outfall is ~ 14 cfs (with Cf applied).
- must use NCTCOG method for detention which applies an additional volume factor. Please see COG hydrology manual section 1.5.2.
- facility volume is based on allowable flow rate and the facility design shall pass the allowable flow rate at the water surface elevation that matches the calculated volume
- one foot of freeboard is required
- account for tailwater in the outlet design

Refer to previous comment on coefficient of runoff

Proposed Drainage Conditions

Area No.	Square Feet	Acres	C	CxA	Tc [min]	I [in/h]	Q [cfs]	Comments
1	9148	0.21	0.87	0.18	10	9.59	1.75	to ex. drainage structure
2	14375	0.33	0.87	0.29	10	9.59	2.75	to detention pond
3	104544	2.40	0.87	2.09	10	9.59	20.02	to detention pond
4	10890	0.25	0.87	0.22	10	9.59	2.09	to ex. drainage structure
OS-1	9583	0.22	0.90	0.20	10	9.59	1.90	to DA1
OS-2	5227	0.12	0.90	0.11	10	9.59	1.04	to DA2
OS-3	25265	0.58	0.90	0.52	10	9.59	5.01	to DA3

Refer to comment on intensities

**100 - YEAR STORAGE CALCULATIONS**

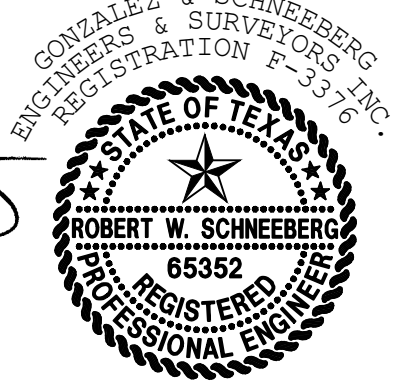
Ex. Drainage Area [ac]:	3.43 (DA2, DA3, OS-2, OS-3)	Prop. Drainage Area [ac]:	3.43
Design Storm [yrs]:	100	Design Storm [yrs]:	100
Existing Conditions [100yr]		Proposed Conditions [100yr]	
C=	0.51 (composite)	C=	0.90
Tc [min]=	10.00	Tc [min]=	10.00
I [in/h]=	9.59	I [in/h]=	9.59
Cf=	1.25	Cf=	1.25
Q [cfs]=	20.97	Q [cfs]=	37.01

Storm Duration	I [in/h]	Q [cfs]	Inflow [cu.ft.]	Outflow [cu.ft.]	Storage [cu.ft.]
10	9.59	37.01	22203	12581.84	9621
15	7.90	30.48	27436	15727.3	11708
20	6.77	26.12	31348	18872.76	12476
30	5.44	20.99	37785	25163.68	12621
40	4.58	17.67	42415	31454.6	10961
50	4.16	16.04	48122	37745.52	10377
60	3.59	13.85	49870	44036.44	5834
120	2.33	8.99	64734	81781.96	-17048
180	1.79	6.91	74597	119527.5	-44930
360	1.10	4.24	91684	232764	-141080

**DETENTION POND**  
12,621 cu.ft.  
STORAGE NEEDED

**DETENTION POND**  
19,396 cu.ft.  
STORAGE PROVIDED

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

C08.02

**10 - YEAR STORAGE CALCULATIONS**

Ex. Drainage Area [ac]:	3.43	Prop. Drainage Area [ac]:	3.43
Design Storm [yrs]:	10	Design Storm [yrs]:	10
Existing Conditions [10-yr]		Proposed Conditions [10-yr]	
C=	0.51 (Composite)	C=	0.90
Tc [min]=	10.00	Tc [min]=	10.00
I [in/h]=	6.62	I [in/h]=	6.62
Cf=	1.00	Cf=	1.00
Q [cfs]=	11.58	Q [cfs]=	20.44

**25 - YEAR STORAGE CALCULATIONS**

Ex. Drainage Area [ac]:	3.43	Prop. Drainage Area [ac]:	3.43
Design Storm [yrs]:	25	Design Storm [yrs]:	25
Existing Conditions [25-yr]		Proposed Conditions [25-yr]	
C=	0.51 (Composite)	C=	0.90
Tc [min]=	10.00	Tc [min]=	10.00
I [in/h]=	7.80	I [in/h]=	7.80
Cf=	1.00	Cf=	1.00
Q [cfs]=	13.64	Q [cfs]=	24.08

**50 - YEAR STORAGE CALCULATIONS**

Ex. Drainage Area [ac]:	3.43	Prop. Drainage Area [ac]:	3.43
Design Storm [yrs]:	50	Design Storm [yrs]:	50
Existing Conditions [50-yr]		Proposed Conditions [50-yr]	
C=	0.51 (Composite)	C=	0.90
Tc [min]=	10.00	Tc [min]=	10.00
I [in/h]=	8.71	I [in/h]=	8.71
Cf=	1.15	Cf=	1.15
Q [cfs]=	17.52	Q [cfs]=	30.92

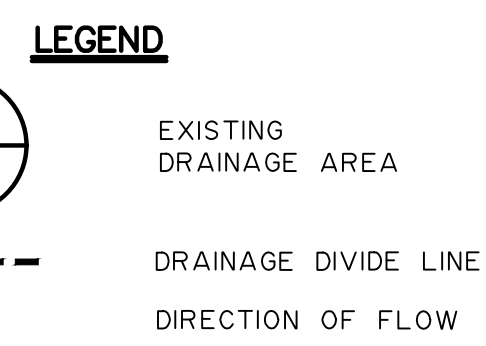
Storm Duration	I [in/h]	Q [cfs]	Inflow [cu.ft.]	Outflow [cu.ft.]	Storage [cu.ft.]
10	6.62	20.44	12262	6948.22	5313
15	5.47	16.89	15197	8685.275	6512
20	4.70	14.51	17411	10422.33	6988
30	3.79	11.70	21060	13896.44	7163
40	3.18	9.82	23560	17370.55	6189
50	2.77	8.55	25653	20844.66	4808
60	2.48	7.66	27561	24318.77	3242
120	1.56	4.82	34673	45163.43	-10490
180	1.17	3.61	39007	66008.09	-27001
360	0.72	2.21	47676	128542.1	-80866

Storm Duration	I [in/h]	Q [cfs]	Inflow [cu.ft.]	Outflow [cu.ft.]	Storage [cu.ft.]
10	7.80	24.08	14447	8186.724	6260
15	6.44	19.88	17892	10233.41	7659
20	5.52	17.04	20448	12280.09	8168
30	4.45	13.74	24727	16373.45	8353
40	3.74	11.55	27709	20466.81	7242
50	3.26	10.06	30191	24560.17	5631
60	2.92	9.01	32451	28653.53	3797
120	1.86	5.74	41341	53213.71	-11873
180	1.41	4.35	47009	77773.88	-30765
360	0.88	2.72	58678	151454.4	-92777

Storm Duration	I [in/h]	Q [cfs]	Inflow [cu.ft.]	Outflow [cu.ft.]	Storage [cu.ft.]
10	8.71	30.92	18553	10513.12	8039
15	7.18	25.49	22940	13141.4	9799
20	6.15	21.83	26199	15769.68	10430
30	4.95	17.57	31631	21026.24	10605
40	4.16	14.77	35444	26282.8	9161
50	3.64	12.92	38767	31539.35	7227
60	3.26	11.57	41663	36795.91	4867
120	2.09	7.42	53421	68335.27	-14914
180	1.60	5.68	61345	99874.62	-38530
360	1.01	3.59	77448	194492.7	-117045

**Weighted Coefficient - Existing**

Area [ac]	C	CA	
OS 1,2,3	0.92	0.90	0.83
DA 1,2,3,4	3.17	0.40	1.27
<b>Total Area</b>	<b>4.09</b>	<b>Total CA</b>	<b>2.10</b>
CA/A=		0.51	



**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**BENCHMARKS:**

BM No. 1  
"-" CUT SET ON CONCRETE SIDEWALK  
APPROXIMATELY 4.6' NORTH AND 11' WEST  
OF THE SOUTHEAST CORNER  
LOCATED AT THE NORTHEAST PROPERTY  
CORNER.  
ELEV.: 677.82

BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST  
SIDE OF THE EAST POWER POLE LOCATED  
AT THE SOUTHWEST CORNER OF PROPERTY  
CORNER CLIP.  
ELEV.: 675.79

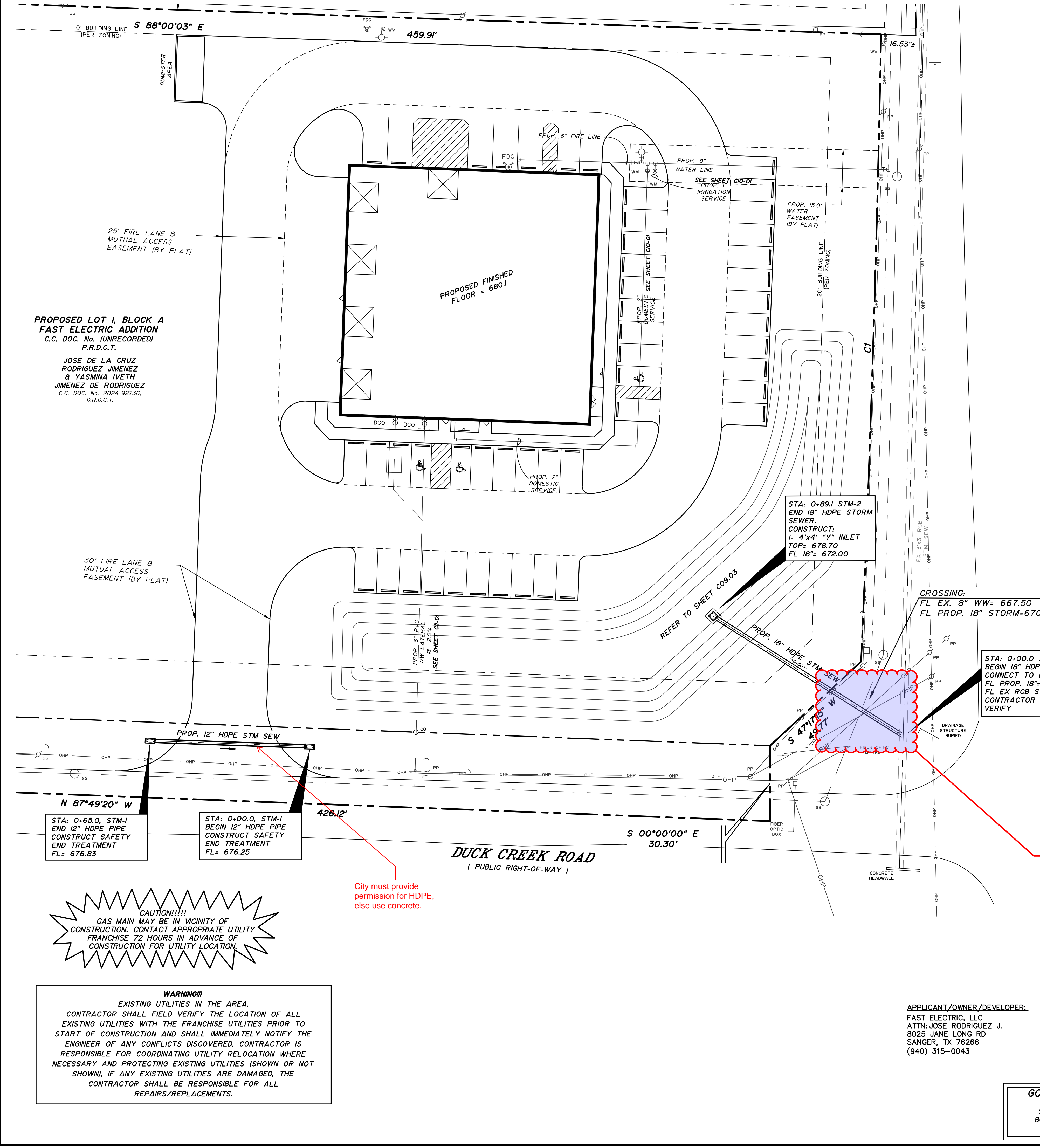
PROJ. NO. 7875-25-10-21 DWG. NO. 7875 Prop DAM.dwg

**Gonzalez & Schneeberg**  
engineers & surveyors  
801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

**PROPOSED DRAINAGE AREA MAP**  
FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:50			###

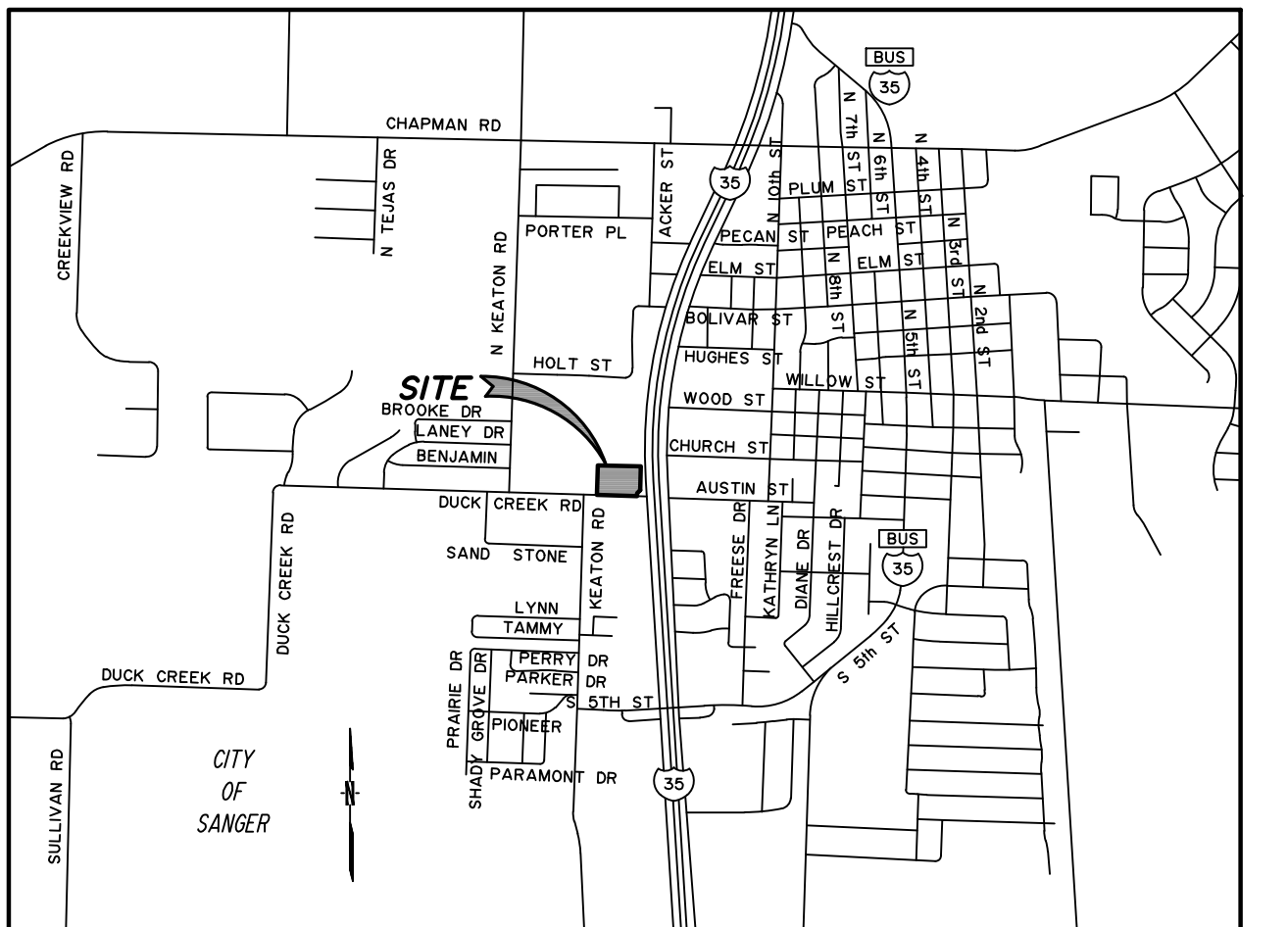
NO.	DATE	REVISION



**PROPOSED LOT 1, BLOCK A  
FAST ELECTRIC ADDITION**  
C.C. DOC. No. (UNRECORDED)  
P.R.D.C.T.

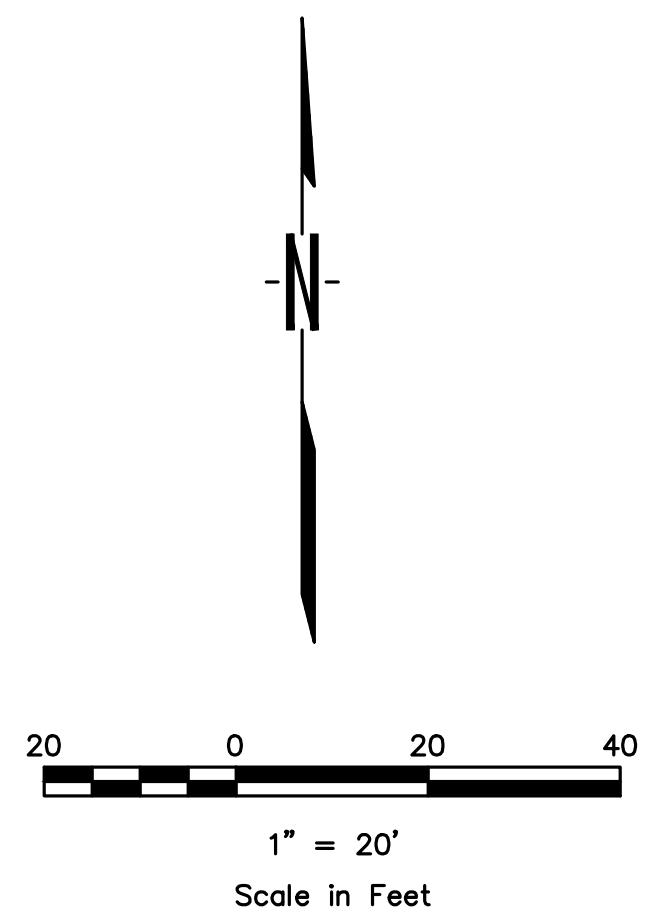
JOSE DE LA CRUZ  
RODRIGUEZ JIMENEZ  
& YASMINA IVETH  
JIMENEZ DE RODRIGUEZ  
C.C. DOC. No. 2024-92236,  
D.R.D.C.T.

**INTERSTATE HIGHWAY 35  
(U.S. HIGHWAY 77)**  
1 VARIABLE WIDTH PUBLIC RIGHT-OF-WAY 1



VICINITY MAP  
NTS

CURVE TABLE					
CURVE	DELTA	RADIUS	TANGENT	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.95'	251.94' S 01°49'22" W



1" = 20'  
Scale in Feet

- LEGEND**
- ⊙ PP POWER POLE
  - ⊙ WV WATER VALVE
  - ⊙ WM WATER METER
  - ⊙ MH METAL SIGN
  - ⊙ FH FIRE HYDRANT
  - ⊙ PPA POWER POLE ANCHOR
  - ⊙ COO CLEANOUT
  - ⊙ SS SANITARY SEWER MANHOLE
  - ⊙ OHP OVERHEAD POWER LINE
  - ⊙ GM GAS METER

STA: 0+65.0, STM-1  
END 12" HDPE PIPE  
CONSTRUCT SAFETY  
END TREATMENT  
FL= 676.83

STA: 0+00.0, STM-1  
BEGIN 12" HDPE PIPE  
CONSTRUCT SAFETY  
END TREATMENT  
FL= 676.25

STA: 0+89.1, STM-2  
END 18" HDPE STORM  
SEWER.  
CONSTRUCT:  
1- 4'x4' "Y" INLET  
TOP= 678.70  
FL 18"= 672.00

STA: 0+00.0, STM-2  
BEGIN 18" HDPE STM. SEW.  
CONNECT TO EX. 3'x3' RCB  
FL PROP. 18"= 669.50  
FL EX RCB STM= 668.56  
CONTRACTOR TO FIELD  
VERIFY

CROSSING:  
FL EX. 8" WW= 667.50  
FL PROP. 18" STORM=670.05

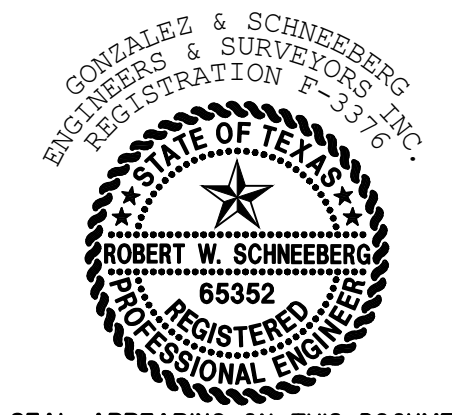
Any construction related activity within TxDOT ROW will require coordination with TxDOT for UIR's. Please provide permits when approved

**CAUTION!!!**  
GAS MAIN MAY BE IN VICINITY OF CONSTRUCTION. CONTACT APPROPRIATE UTILITY FRANCHISE 72 HOURS IN ADVANCE OF CONSTRUCTION FOR UTILITY LOCATION.

City must provide permission for HDPE, else use concrete.

**WARNING!!!**  
EXISTING UTILITIES IN THE AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE FRANCHISE UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN), IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS/REPLACEMENTS.

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**BENCHMARKS:**

BM No. 1  
"- CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED THAT THE NORTHEAST PROPERTY CORNER. ELEV.: 677.82

BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP. ELEV.: 675.79

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

**C09.01**

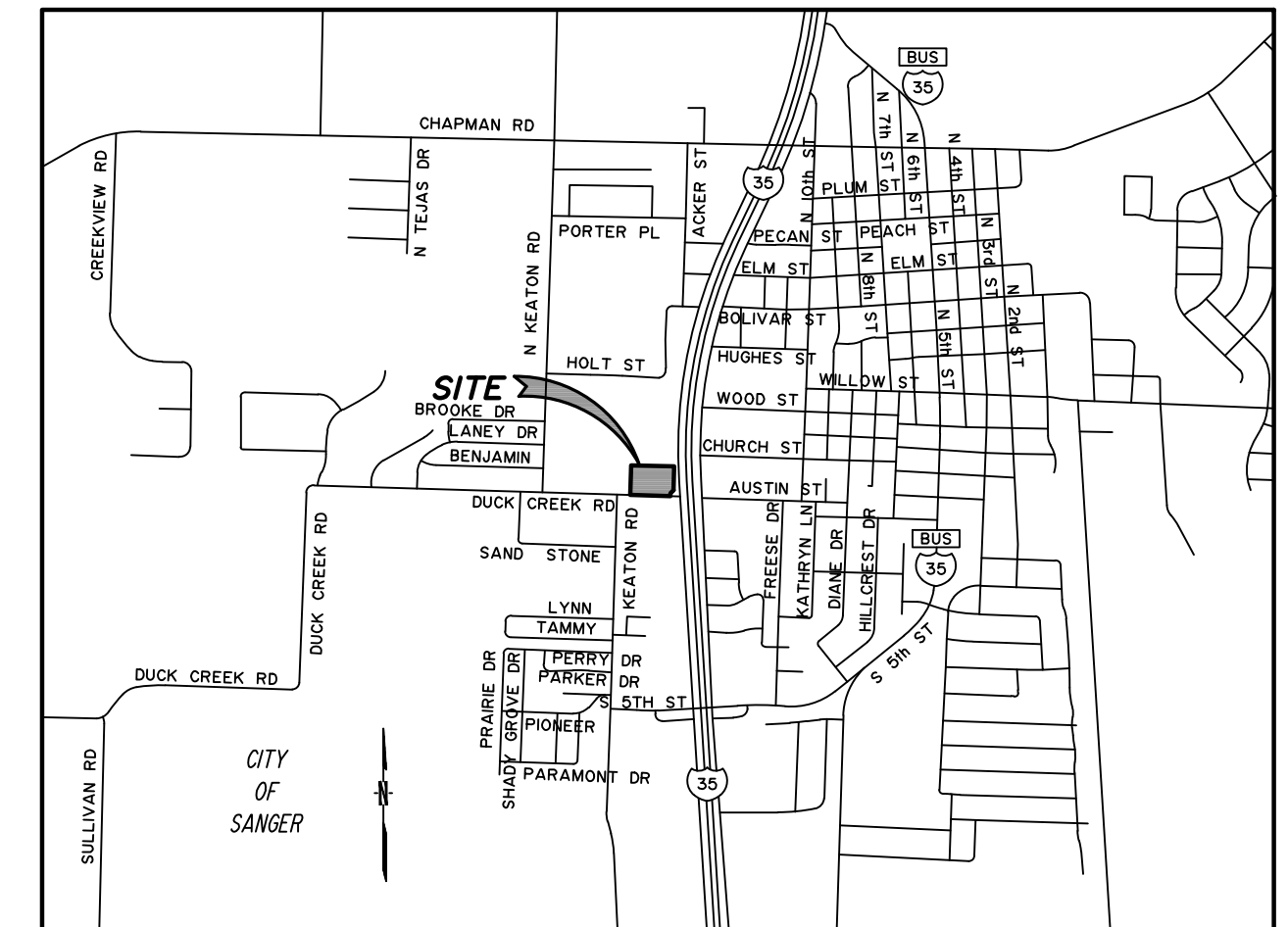
PROJ. NO. 7875-25-10-21 DWG. NO. 7875 storm.dwg

**Gonzalez & Schneeberg**  
engineers ■ surveyors  
801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

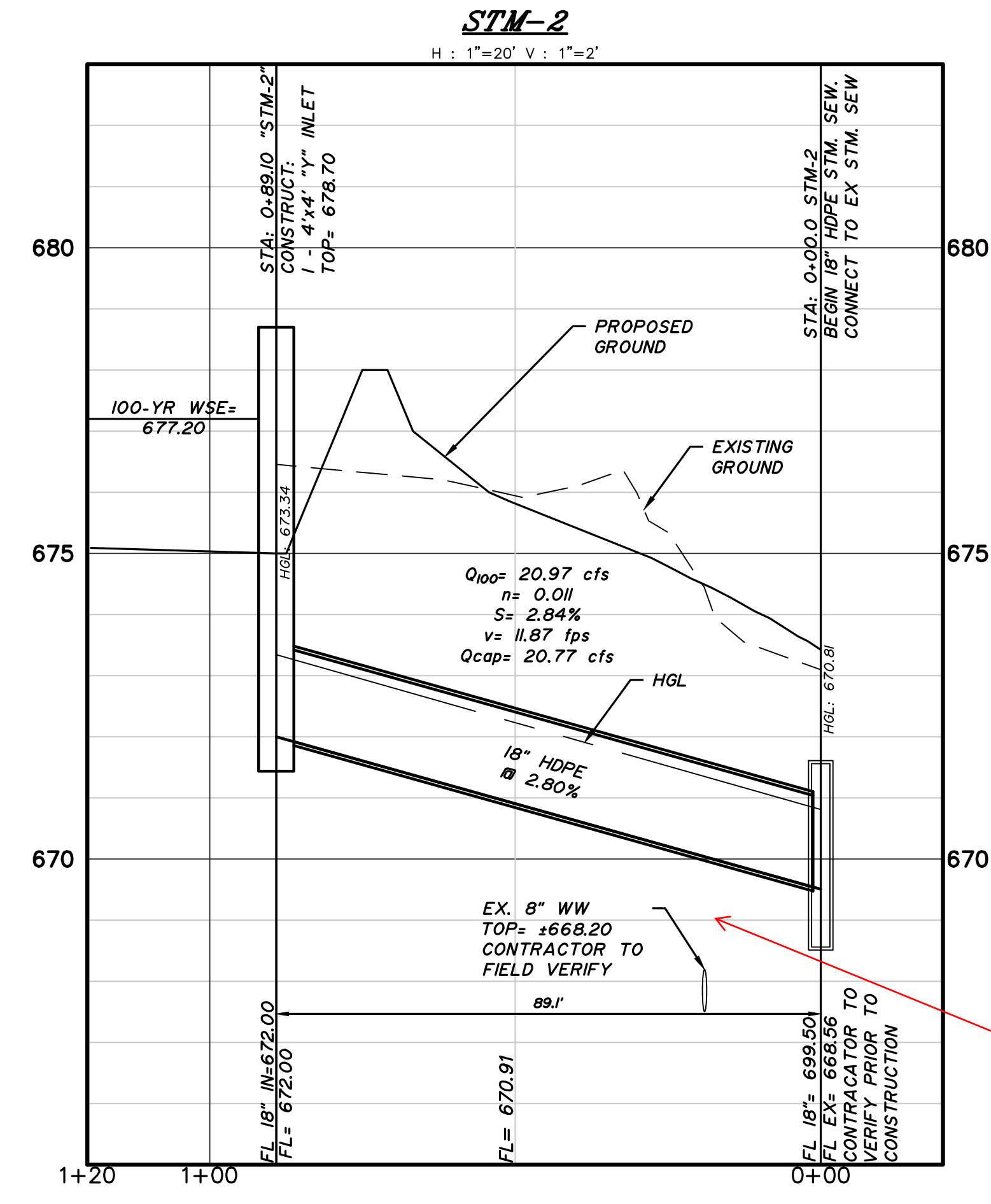
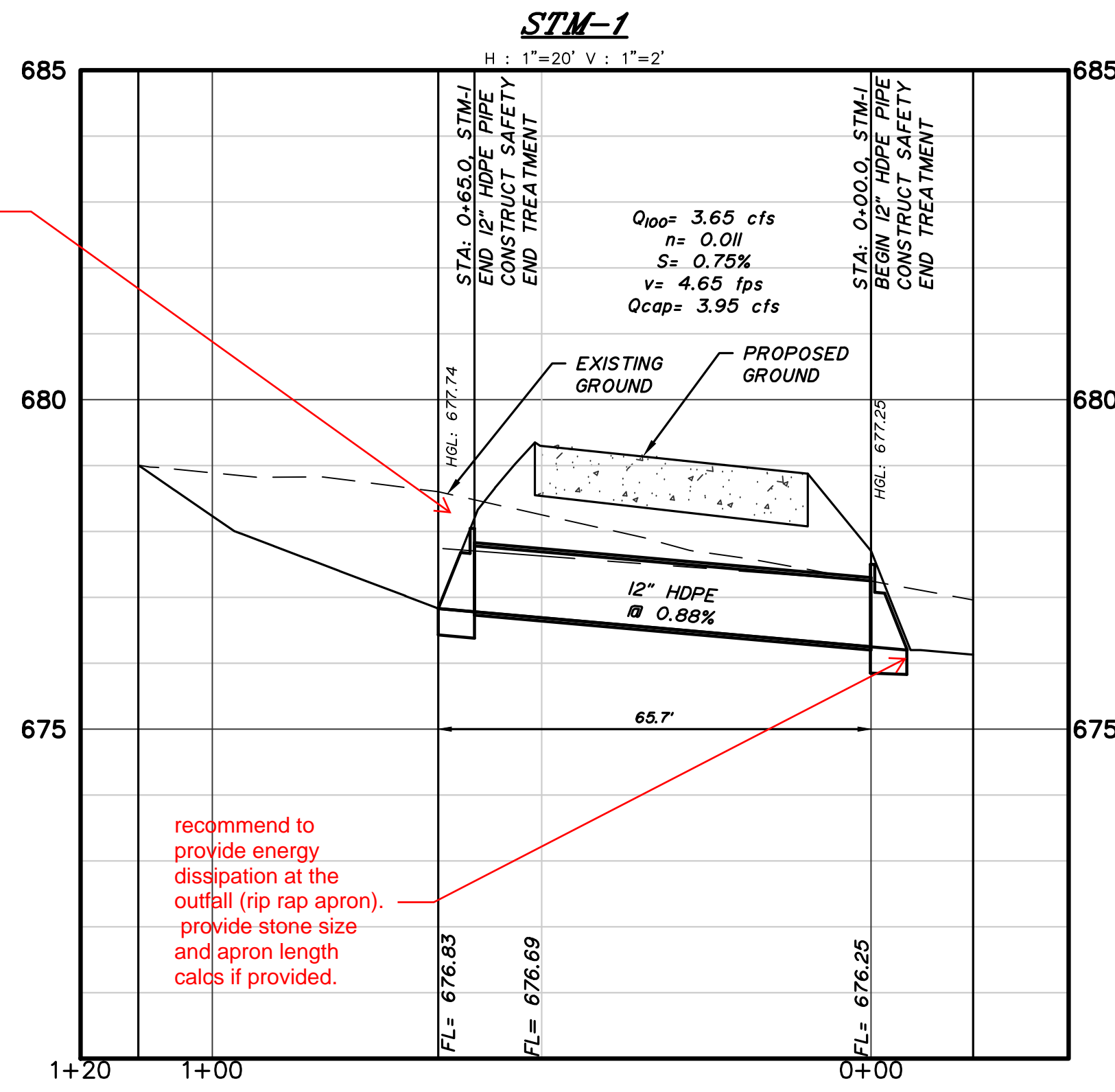
**STORM SEWER PLAN**  
FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:20			###

NO.	DATE	REVISION



VICINITY MAP



show 100 year headwater and tailwater  
1' of freeboard to top of pavement is required

recommend to provide energy dissipation at the outfall (rip rap apron), provide stone size and apron length calcs if provided.

label separation, min 2' required

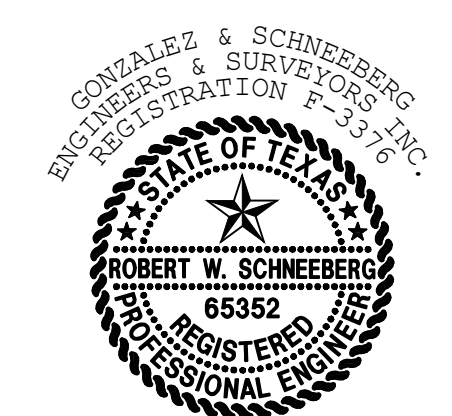
specify units  
update all data as needed based on hydrology revisions

678.4 per Hy-8, please review calcs or provide hy-8 or similar analysis

how was tailwater determined?

POINT NO.		DIST.	DRAINAGE AREA DATA		TOTAL C X A	TIME OF CONCENTRATION			INTENS	FLOW CFS	PIPE SIZE	FRICTION SLOPE	V1 FT/S	V2 FT/S	Junction Loss	HGL UPSTR.	HGL DOWNSTR.	NOTES
FROM	TO		NO.	C X A		TC	TRAVEL	TOT. TIME								677.74	677.25	
STM-1		65.0	DA1, OS1	0.38	0.38	10.0	0.23	10.23	9.59	3.65	12	0.00748		4.65	0.50	677.74	677.25	
STM-2		89.0	DA2, DA3, OS2, OS3	3.01	3.01	10.0	0.13	10.13	9.59	20.97	18	0.0284		11.87	3.28	673.34	670.81	

Robert W. Schneeborg



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBORG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

C09.02

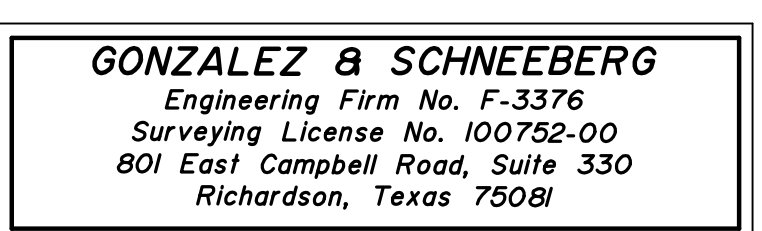
BENCHMARKS:

BM No. 1  
"x" CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED THAT THE NORTHEAST PROPERTY CORNER.  
ELEV.: 677.82

BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP.  
ELEV.: 675.79

APPLICANT/OWNER/DEVELOPER:  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

ENGINEER/SURVEYOR:  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855



PROJ. NO. 7875-25-10-21 DWG. NO. 7875 storm.dwg

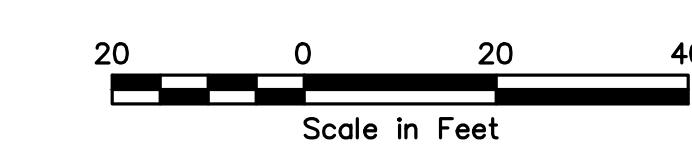
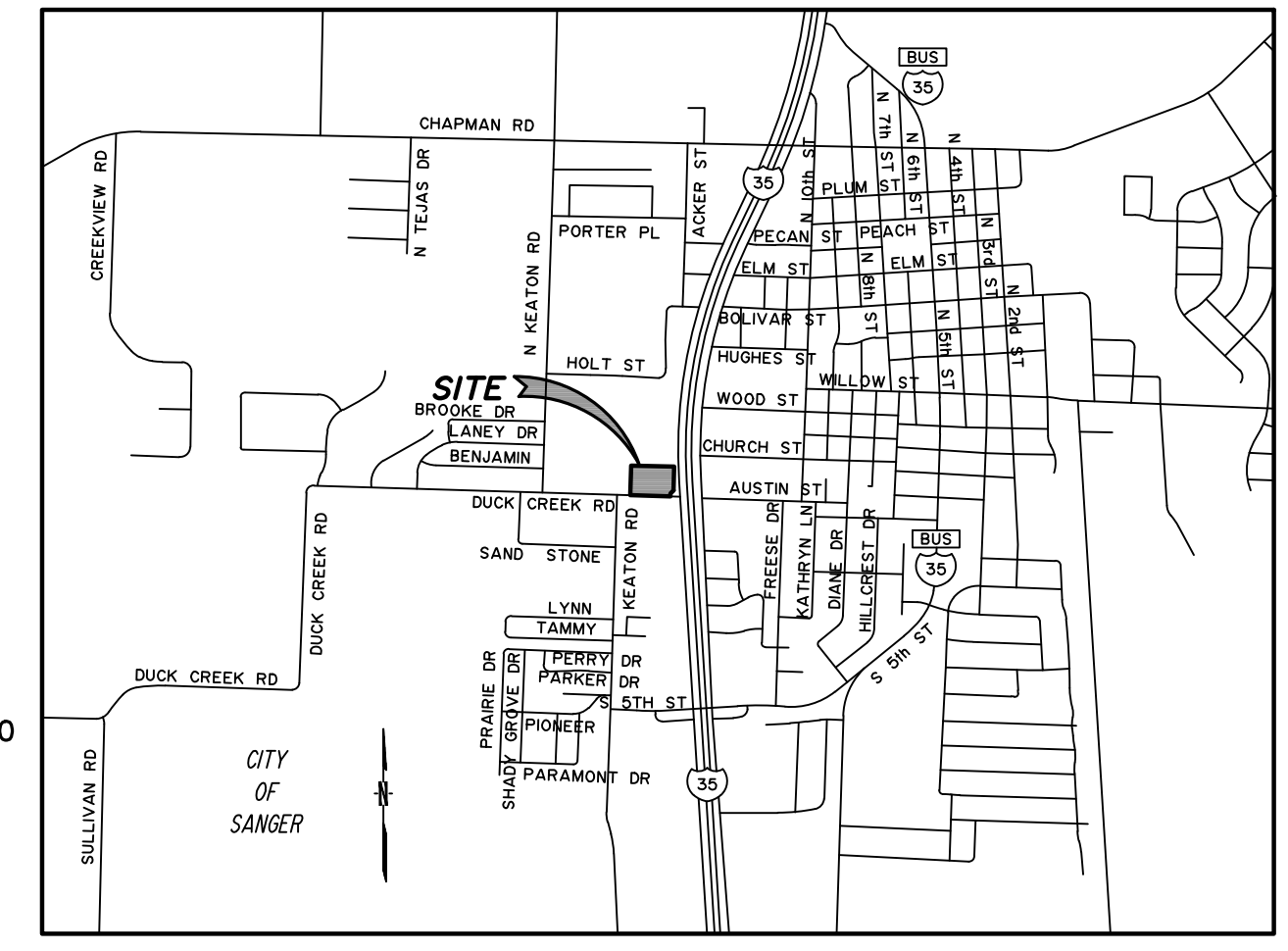
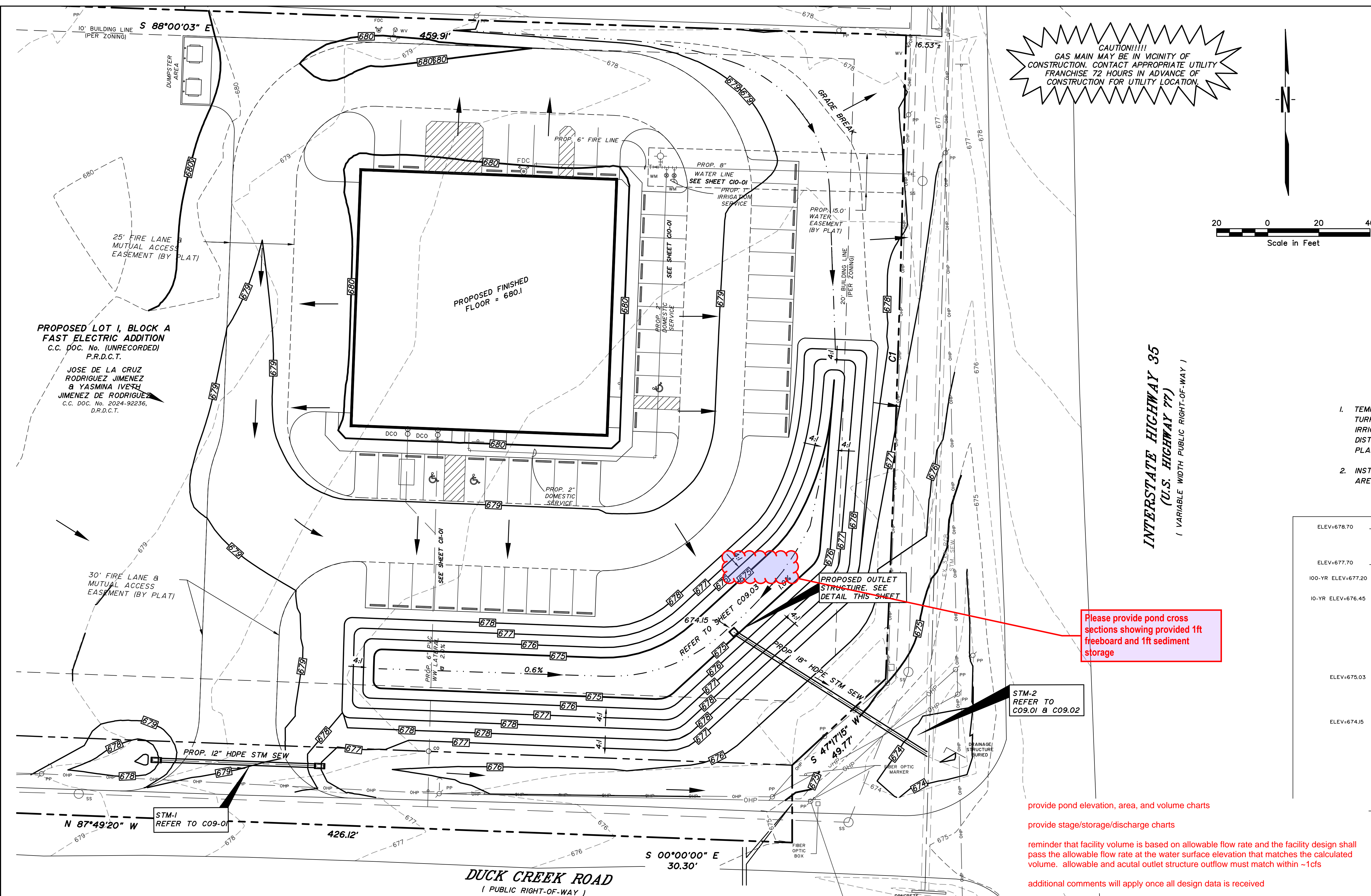
**Gonzalez & Schneeborg**  
engineers & surveyors  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855

**STORM SEWER PROFILES**

FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

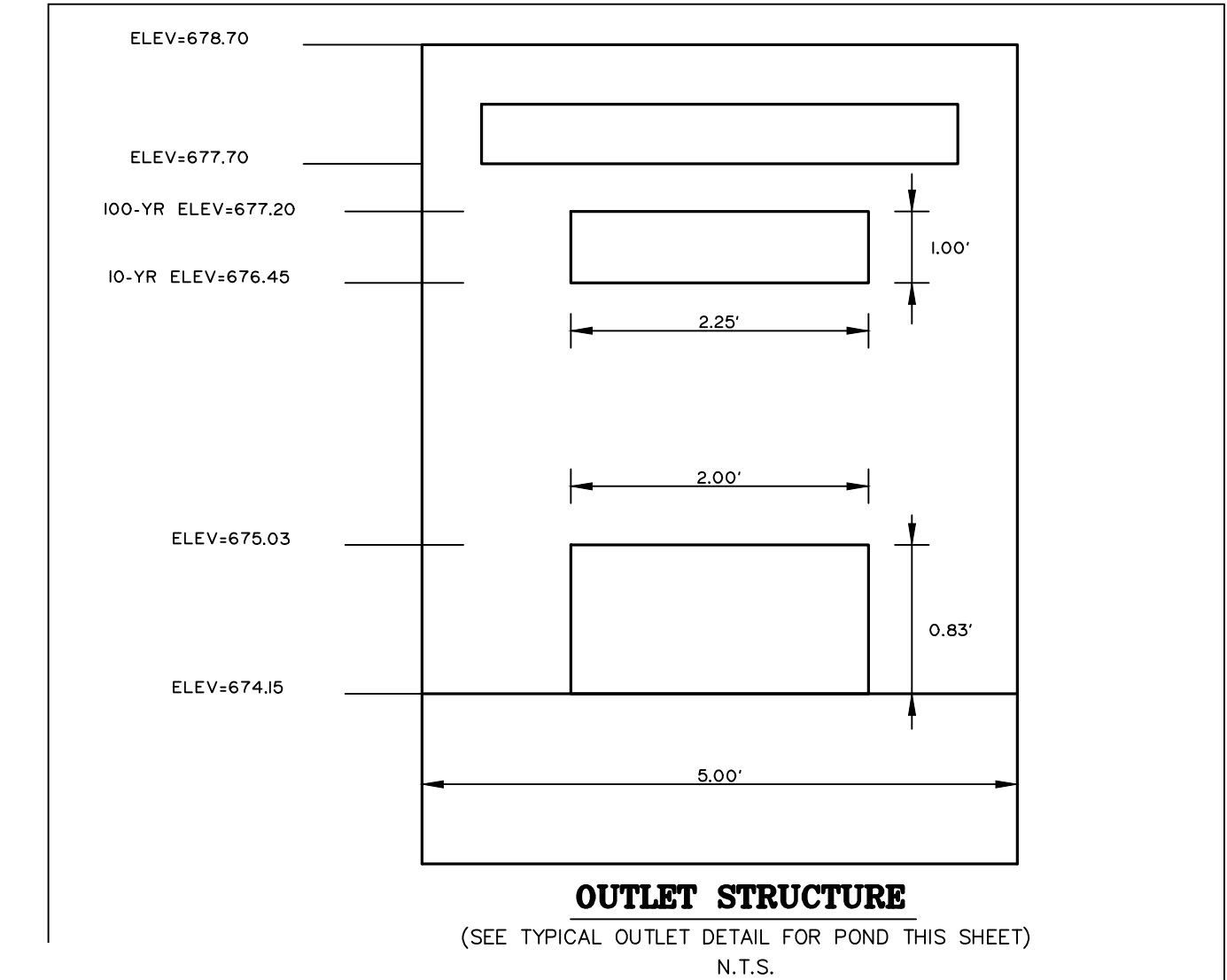
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:20			



CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.95'	251.94'	S 01°49'22" W

- NOTES:
- TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. HYDROMULCH & ESTABLISH TURF IN ALL DISTURBED AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.
  - INSTALL EROSION CONTROL MATTING ON ALL DETENTION AREAS AND HYDROMULCH ON ALL SLOPES AND BOTTOM.

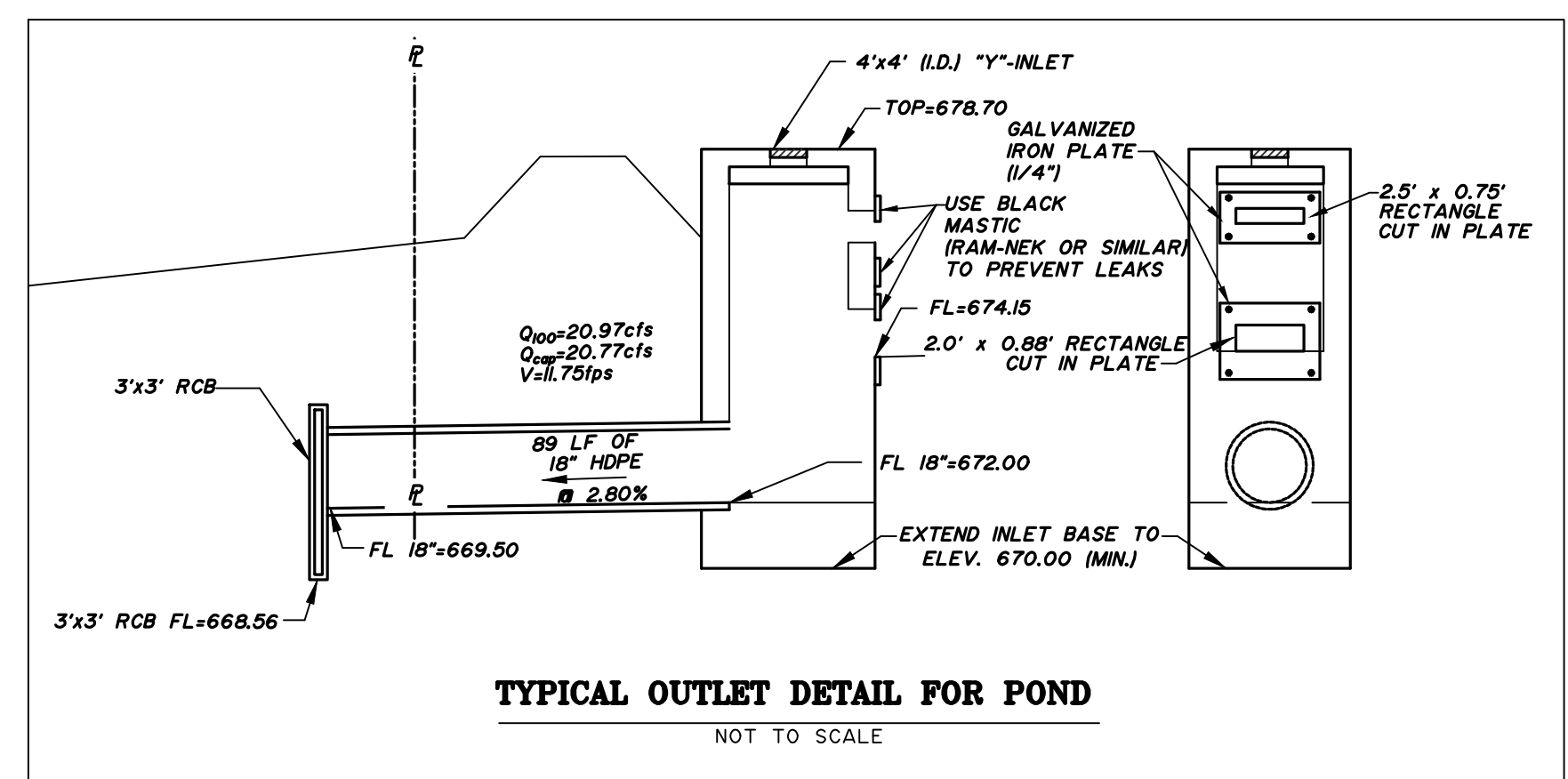


Please provide pond cross sections showing provided 1ft freeboard and 1ft sediment storage

provide pond elevation, area, and volume charts  
provide stage/storage/discharge charts

reminder that facility volume is based on allowable flow rate and the facility design shall pass the allowable flow rate at the water surface elevation that matches the calculated volume. allowable and actual outlet structure outflow must match within -1cfs

additional comments will apply once all design data is received



OUTLET STRUCTURE OUTPUT

	W	H	A	Flowline Elev	Top Elev
Stage 1	2.00	0.88	1.76	674.15	675.03
Stage 2	2.50	0.75	1.88	676.45	677.20

W.S.E.	STAGE 1		STAGE 2	
	h	Q	h	Q
676.45	1.86	11.56	0	0.00
677.20	2.61	13.69	0.375	5.53

Q TOTAL	Q ALLOWED	CHECK % CHANGE	FREQUENCY
11.56	11.58	-0.19	10 year
19.22	20.97	-8.35	100 year

**WARNING!!**  
EXISTING UTILITIES IN THE AREA.  
CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE FRANCHISE UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN), IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS/REPLACEMENTS.

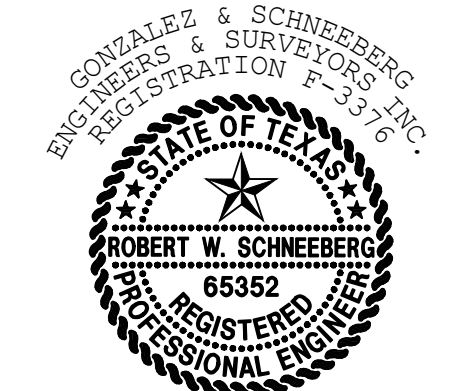
**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**BENCHMARKS:**  
BM No. 1  
"- CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED THAT THE NORTHEAST PROPERTY CORNER.  
ELEV.: 677.82  
BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP.  
ELEV.: 675.79

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PROJ. NO. 7875-25-10-21 DWG. NO. 7875 detention.dwg

**Gonzalez & Schneeberg**  
engineers & surveyors  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855

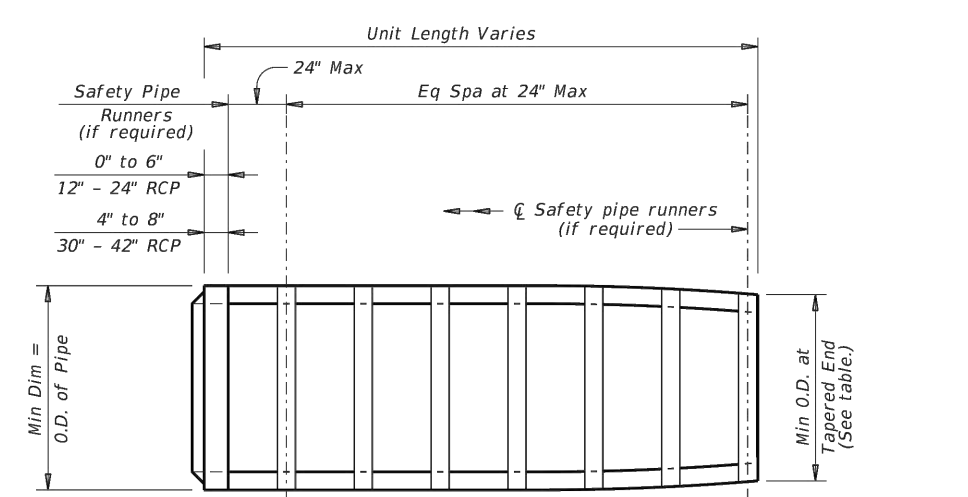
**DETENTION PLAN**  
FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:80			

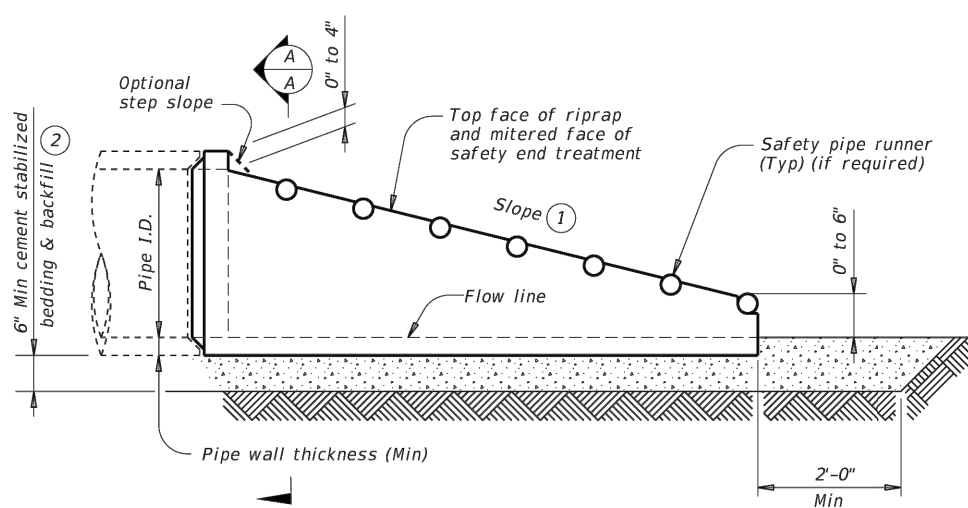
NO. DATE REVISION

C09.03

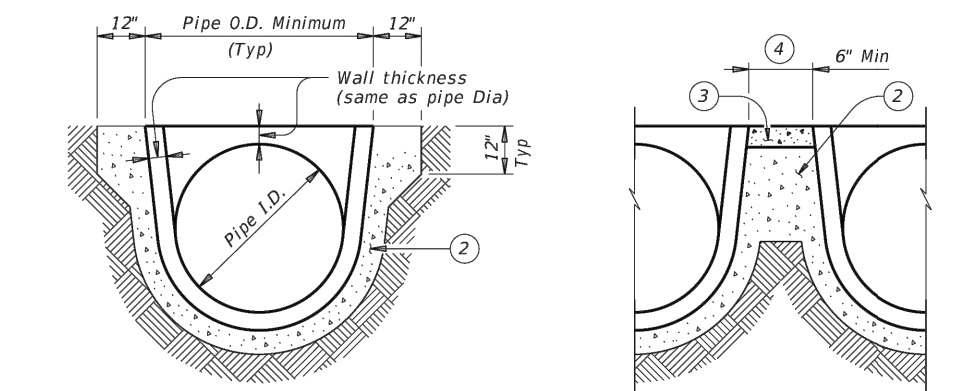
THE USE OF THIS STANDARD IS AUTHORIZED BY THE TEXAS ENGINEERING PRACTICE ACT. NO WARRANTY OF ANY KIND IS MADE BY T&E FOR ANY PURPOSE WHATSOEVER. T&E ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION OF THIS STANDARD OR FOR INADEQUATE RESULTS OR DAMAGES RESULTING FROM ITS USE.



**PLAN VIEW - 12" THRU 24"**  
(Showing spigot end connection.)



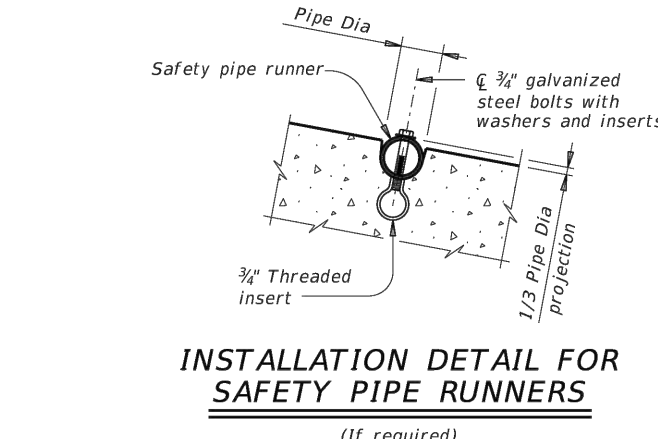
**LONGITUDINAL ELEVATION - 12" THRU 24"**  
(Showing spigot end connection.)



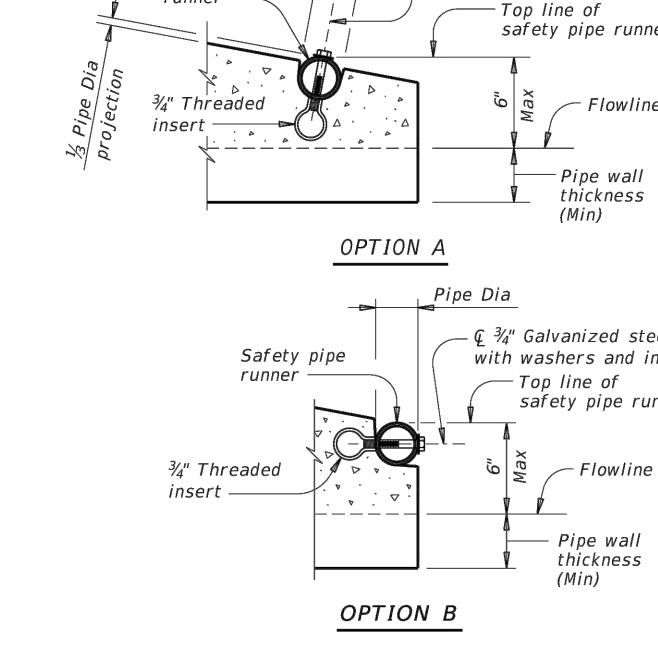
**SECTION A-A**      **MULTIPLE PIPE INSTALLATION**

- 1 Slope as shown elsewhere in the plans. Slope of 6:1 or flatter is required for vehicle safety.
- 2 Provide cement stabilized bedding and backfill in accordance with the Item "Excavation and Backfill for Structures". Bedding and backfill is considered subsidiary to the Item 467, "Safety End Treatment". When concrete riprap is specified around the safety end treatment, backfill as directed by Engineer.
- 3 Fill the top 4" of void between precast and treatments with concrete riprap. Concrete riprap is considered subsidiary to the Item 467, "Safety End Treatment".
- 4 Adjust clear distance between pipes to provide for the minimum distance between safety end treatments.
- 5 Safety pipe runners are required for multiple pipe culverts with more than two pipes.

REQUIREMENTS FOR CULVERT PIPES AND SAFETY PIPE RUNNERS									
Pipe I.D.	Min Wall Thickness	Min O.D.	Min Tapered End O.D.	Min Relief at Requirements (sq. in. per ft. of Pipe)	Max Slope	Min Length of Unit	Single Pipe	Multiple Pipe	Required Pipe Runner Sizes
12"	2"	16"	16"	0.07 Circ.	6:1	4'-0"	No	(5)	3" STD 3.500" 3.068"
15"	2 1/2"	19 1/2"	19"	0.07 Circ.	6:1	5'-0"	No	(5)	3" STD 3.500" 3.068"
18"	2 1/2"	23"	21 1/2"	0.07 Circ.	6:1	7'-3"	No	(5)	3" STD 3.500" 3.068"
24"	3"	30"	27"	0.07 Circ.	6:1	10'-0"	No	(5)	3" STD 3.500" 3.068"
30"	3 1/2"	37"	31"	0.18 Circ.	6:1	12'-1"	No	Yes	4" STD 4.500" 4.026"
36"	4"	44"	36"	0.19 Ellip.	6:1	15'-4"	Yes	Yes	4" STD 4.500" 4.026"
42"	4 1/2"	51"	41 1/2"	0.23 Ellip.	6:1	18'-7"	Yes	Yes	4" STD 4.500" 4.026"



**INSTALLATION DETAIL FOR SAFETY PIPE RUNNERS**  
(If required)



**END DETAILS FOR INSTALLATION OF SAFETY PIPE RUNNERS**  
(If required)

**MATERIAL NOTES:**  
 Synthetic fibers listed on the "Fibers for Concrete" Material Producer List (MPL) may be used in lieu of steel reinforcing in riprap concrete unless noted otherwise.  
 Provide pipe runners meeting the requirements of ASTM A53 (Type E or S, or B), ASTM A500 or B, or API 5LX52.  
 Galvanize steel components except reinforcing steel after fabrication. Repair galvanizing damaged during transport or construction in accordance with the specifications.

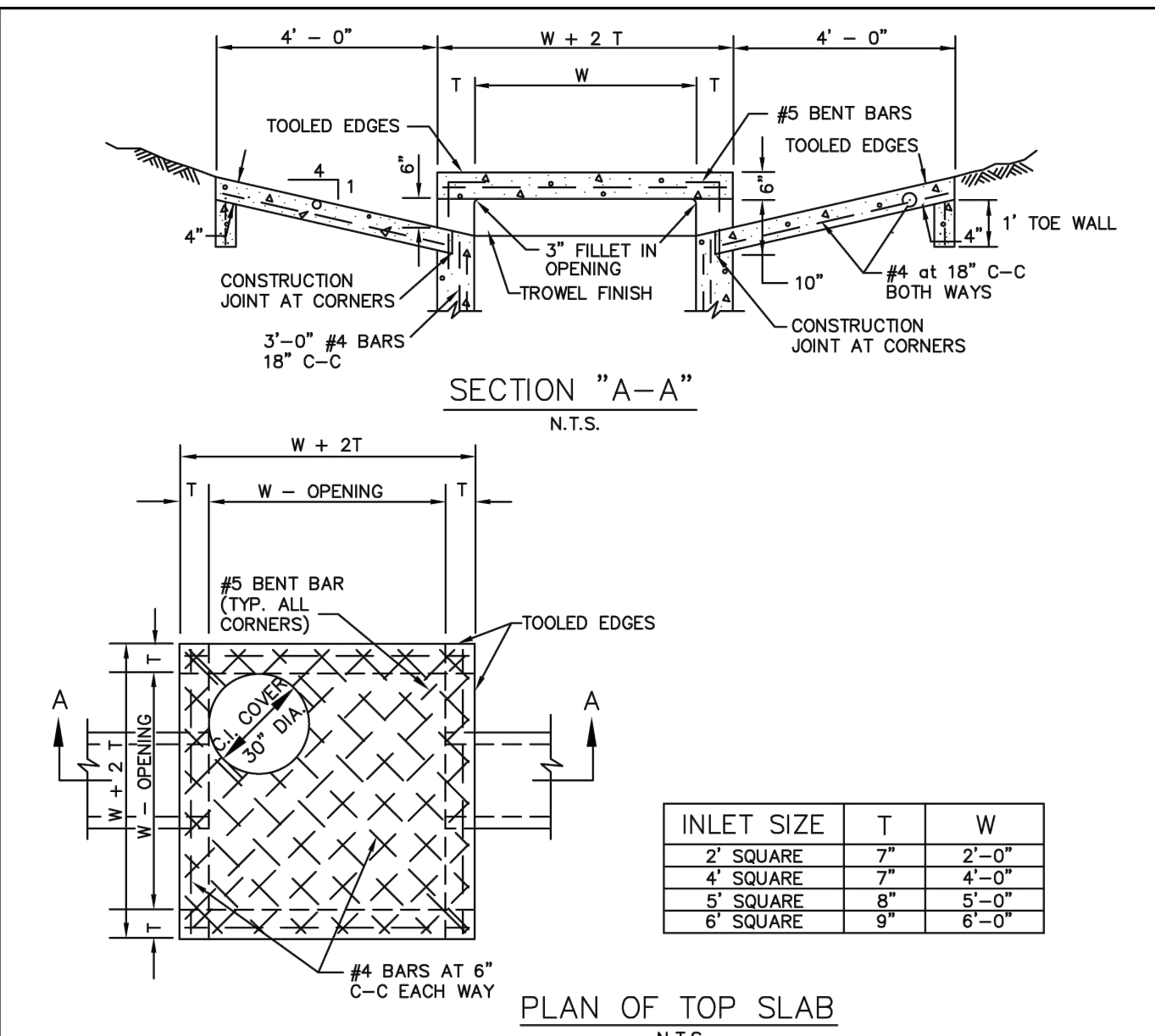
**GENERAL NOTES:**  
 Precast safety end treatment for reinforced concrete pipe (RCP) may be used for TYPE II end treatment as specified in Item 467, "Safety End Treatment."  
 When precast safety end treatment is used as a Contractor's alternate to mirrored RCP, riprap will not be required unless noted otherwise on the plans.  
 Manufacture precast concrete end sections in accordance with Item 464, "Reinforced Concrete Pipe and in accordance with ASTM Specification C-76, Class III, Wall B for circular pipe."  
 Provide precast concrete end sections with a spigot or bell end for compatibility to upstream or downstream end conditions with sufficient annular space to allow for grout, mortar, cold applied asphalt, joint compound or pre-formed plastic gasket material.  
 Methods of lifting shall be provided by the manufacturer for ease of loading, unloading and installation.  
 Pipe runners are designed for a traversing load of 10,000 lbs at yield as recommended by Research Report 280-2F, "Safety Treatment of Roadside Parallel-Drainage Structures", Texas Transportation Institute, March 1981.

**TEXAS DEPARTMENT OF TRANSPORTATION**      **Bridge Division Standard**

**PRECAST SAFETY END TREATMENT**  
**TYPE II ~ PARALLEL DRAINAGE**

**PSET-RP**

Rev. CD-PSET-RP-2019pp	Rev. 02/20	CD	SET	ADD	REVISE
REVISED	February 2020				

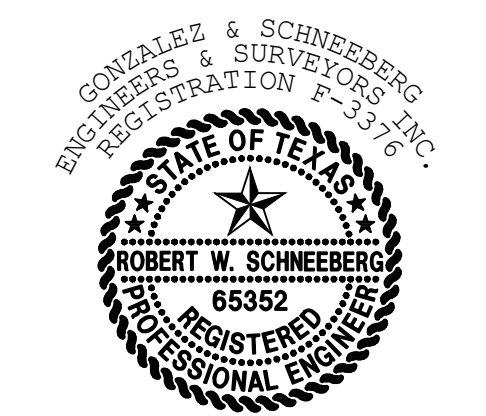


- NOTES:**
1. MATERIAL AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF NCTCOG STANDARD SPECIFICATIONS FOR STANDARD CONCRETE MANHOLES, MINIMUM CLASS "C" CONCRETE.
  2. LAYERS OF REINFORCING STEEL NEAREST THE INTERIOR AND EXTERIOR SURFACES SHALL HAVE A COVER OF 2" CLEAR OF BARS, UNLESS OTHERWISE NOTED.
  3. FOR DETAILS OF REINFORCING OF LOWER PORTION OF INLET SEE APPROPRIATE SQUARE MANHOLE DETAILS.
  4. DEPTH OF DROP INLET FROM FINISHED GRADE TO FLOW LINE OF INLET IS VARIABLE. APPROXIMATE DEPTH WILL BE SHOWN ON PLANS AT LOCATION OF INLET.
  5. ALL STANDARD DROP INLETS SHALL HAVE ONE OPENING ON EACH SIDE UNLESS OTHERWISE SHOWN ON PLANS.
  6. TOP SLAB MAY BE REINFORCED SAME AS 4' SQUARE MANHOLE.
  7. PRECAST PRODUCTS MAY BE USED AT THE APPROVAL OF THE OWNER.
  8. ALLOW 1" MIN CLEAR SPACE BETWEEN OD OF PIPE OR BOX AND INSIDE WALL OF INLET (OD OF PIPE OR BOX SHOULD ACCOUNT FOR SKEWED CONDITIONS).
  9. DEPTHS OF GREATER THAN 10' NEED TO BE STRUCTURALLY ENGINEERED.

<b>DROP INLET</b>	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
2', 4', 5', OR 6' SQUARE		702
	DATE	STANDARD DRAWING NO.
	AUG '23	6040

provide pipe bedding detail

Robert W. Schneeberg



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

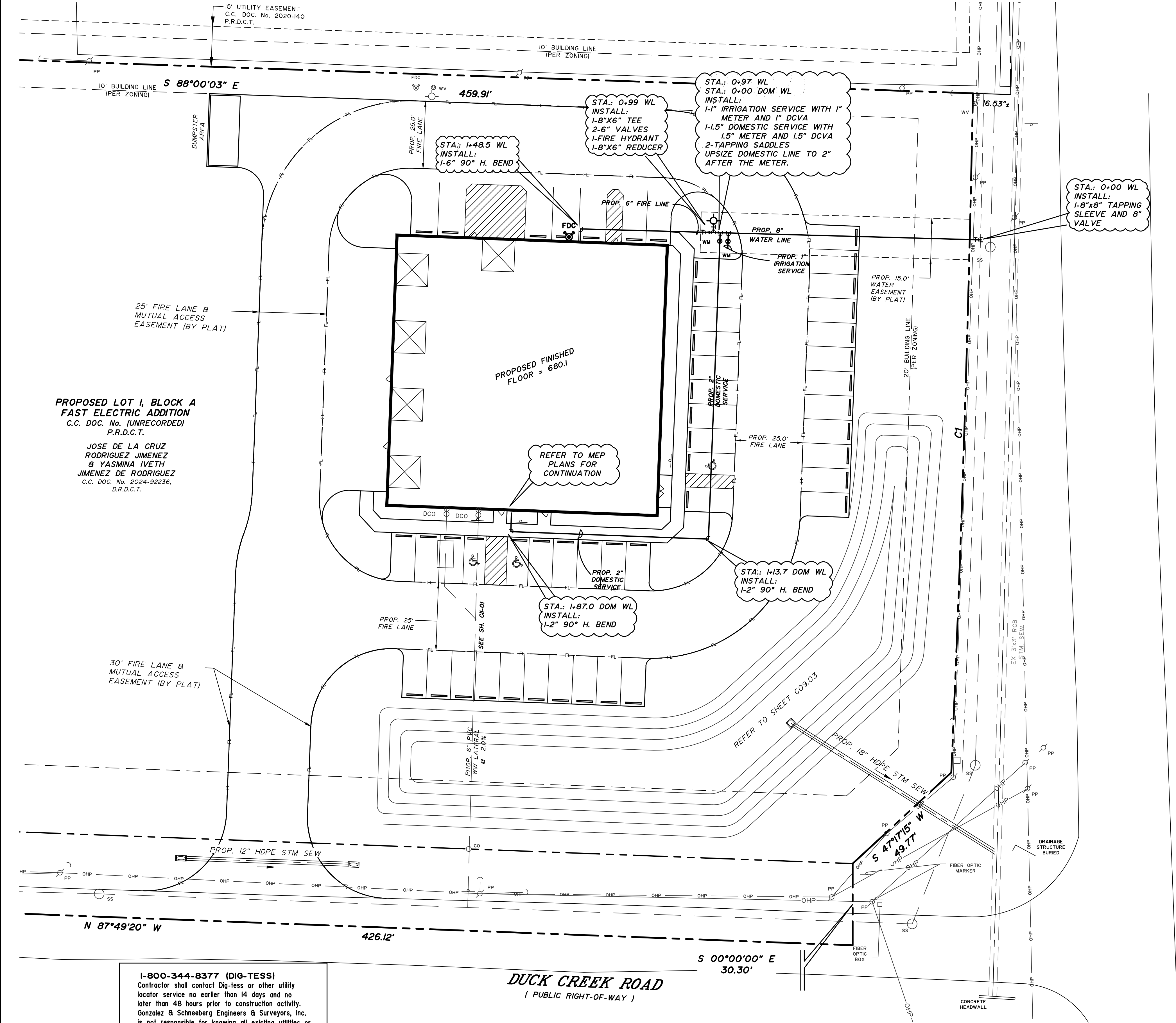
C09.50

**APPLICANT/OWNER/DEVELOPER:**  
 FAST ELECTRIC, LLC  
 ATTN: JOSE RODRIGUEZ J.  
 8025 JANE LONG RD  
 SANGER, TX 76266  
 (940) 315-0043

**ENGINEER/SURVEYOR:**  
 ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
 GONZALEZ & SCHNEEBERG, INC.  
 801 EAST CAMPBELL ROAD, SUITE 330  
 RICHARDSON, TEXAS 75081  
 (972) 516-8855

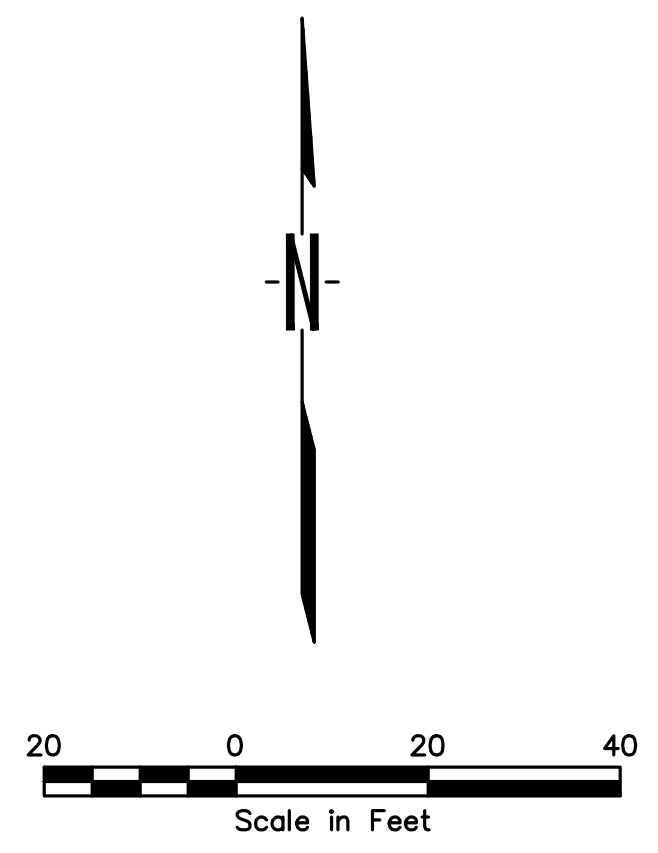
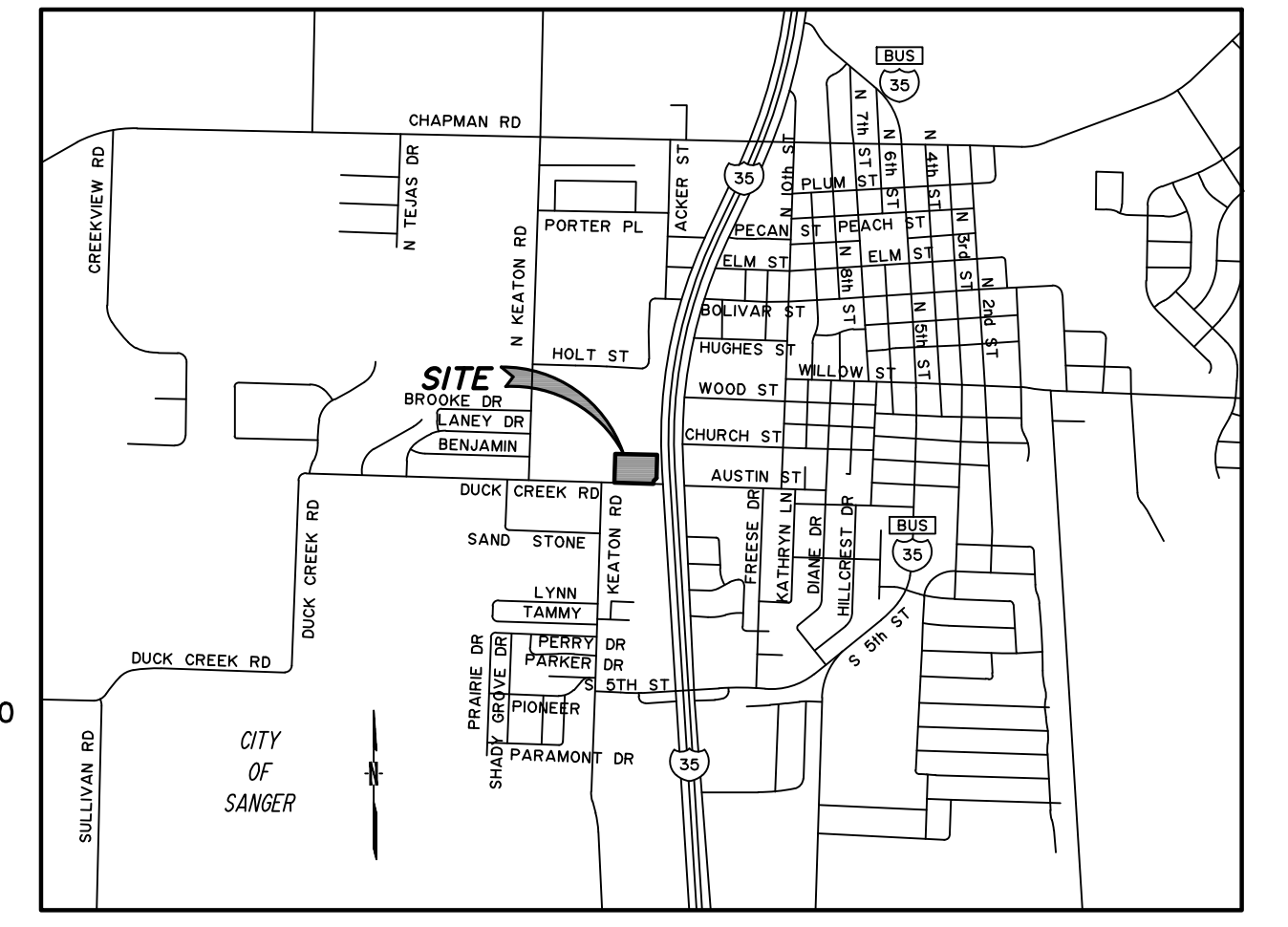
**GONZALEZ & SCHNEEBERG**  
 Engineering Firm No. F-3376  
 Surveying License No. 100752-00  
 801 East Campbell Road, Suite 330  
 Richardson, Texas 75081

PROJ. NO. 7875-25-10-21		DWG. NO. 7875 stm details.dwg	
<b>Gonzalez &amp; Schneeberg</b>		801 East Campbell Road Suite 330, Richardson, Texas 75081 (972) 516-8855	
engineers ■ surveyors		ENGINEERING FIRM NO. F-3376      SURVEYING LICENSE NO. 100752-00	
<b>STORM SEWER DETAILS</b>			
FAST ELECTRIC			
LOT 1, BLOCK A			
SANGER, TEXAS			
DESIGN	DRAWN	DATE	SCALE
GSES	GSES	MARCH 2026	1:2
NOTES	FILE	NO.	
NO.	DATE	REVISION	



**PROPOSED LOT 1, BLOCK A  
FAST ELECTRIC ADDITION**  
C.C. DOC. No. (UNRECORDED)  
P.R.D.C.T.

JOSE DE LA CRUZ  
RODRIGUEZ JIMENEZ  
& YASMINA IVETH  
JIMENEZ DE RODRIGUEZ  
C.C. DOC. No. 2024-92236,  
D.R.D.C.T.

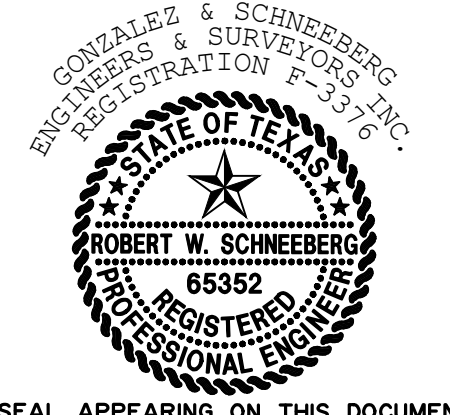


**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.95'	S 01°49'22" W

- LEGEND**
- ⊙ PP POWER POLE
  - ⊙ WV WATER VALVE
  - ⊙ WM WATER METER
  - ⊙ FM METAL SIGN
  - ⊙ FH FIRE HYDRANT
  - ⊙ PA POWER POLE ANCHOR
  - ⊙ CO CLEANOUT
  - ⊙ SS SANITARY SEWER MANHOLE
  - OHP OVERHEAD POWER LINE
  - FL PROPOSED FIRE LANE
  - ⊙ GM GAS METER

*Robert W. Schneeburg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBURG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**1-800-344-8377 (DIG-TESS)**  
Contractor shall contact Dig-Tess or other utility locator service no earlier than 14 days and no later than 48 hours prior to construction activity. Gonzalez & Schneeburg Engineers & Surveyors, Inc. is not responsible for knowing all existing utilities or depicting exact location of utilities on drawing.

**WARNING!!!**  
EXISTING UTILITIES IN THE AREA.  
CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE FRANCHISE UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN), IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS/REPLACEMENTS.

**CAUTION!!!!**  
GAS MAIN MAY BE IN VICINITY OF CONSTRUCTION. CONTACT APPROPRIATE UTILITY FRANCHISE 72 HOURS IN ADVANCE OF CONSTRUCTION FOR UTILITY LOCATION.

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBURG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBURG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBURG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

**BENCHMARKS:**

BM No. 1  
"- CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED AT THE NORTHEAST PROPERTY CORNER. ELEV.: 677.82

BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP. ELEV.: 675.79

**C10.01**

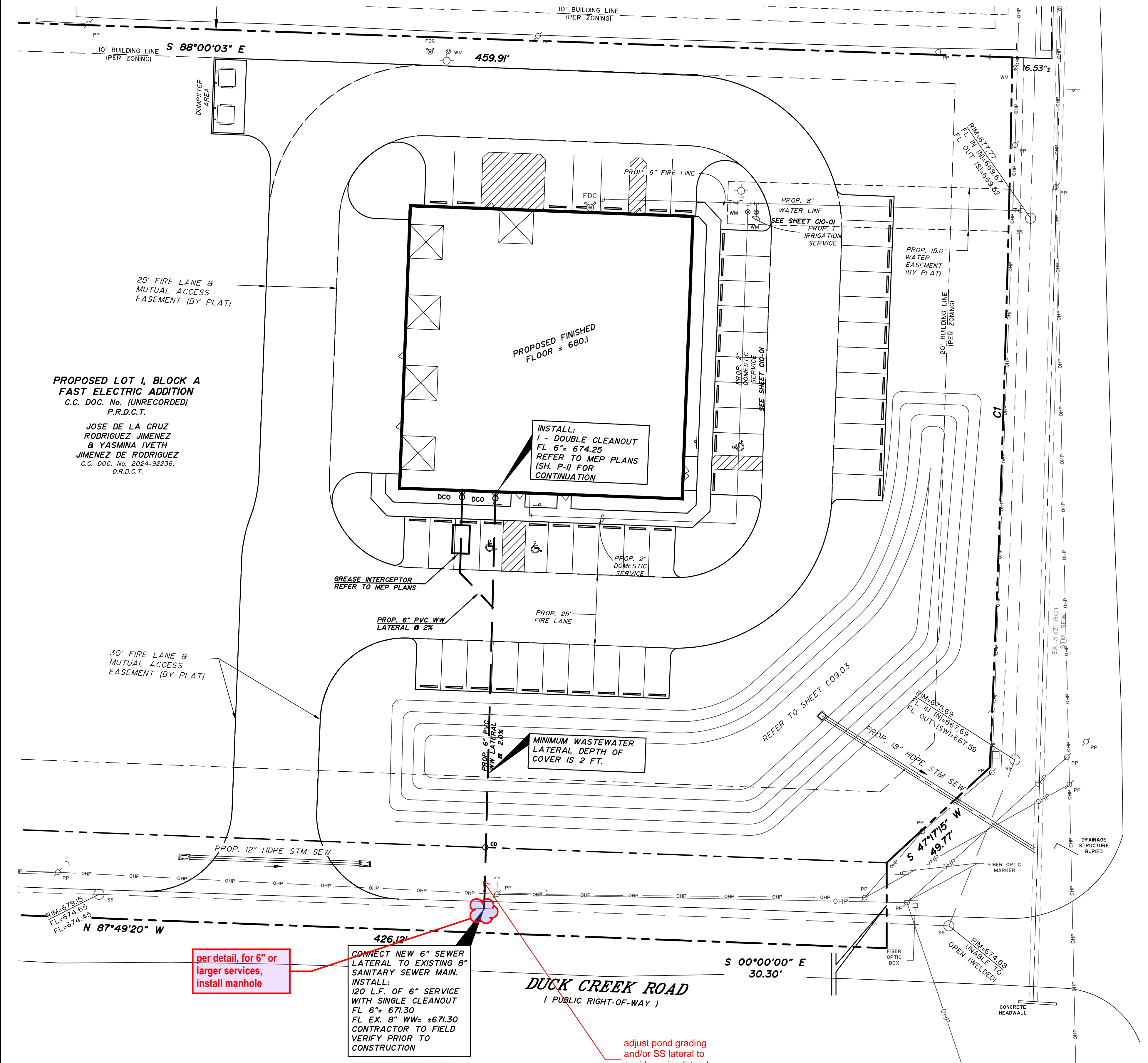
PROJ. NO. 7875-25-10-21 DWG. NO. 7875 water.dwg

**Gonzalez & Schneeburg**  
engineers & surveyors  
801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

**WATER PLAN**  
FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

NO.	DATE	REVISION
GSES	GSES	MARCH 2026





**PROPOSED LOT 1, BLOCK A  
FAST ELECTRIC ADDITION**  
C.C. DOC. No. (UNRECORDED)  
P.R.D.C.T.  
JOSE DE LA CRUZ  
RODRIGUEZ JIMENEZ  
& YASMINA IVETH  
JIMENEZ DE RODRIGUEZ  
C.C. DOC. No. 2024-92236,  
D.R.D.C.T.

INSTALL:  
1 - DOUBLE CLEANOUT  
FL 6"= 674.25  
REFER TO MEP PLANS  
(SH. P-I) FOR  
CONTINUATION

GREASE INTERCEPTOR  
REFER TO MEP PLANS

MINIMUM WASTEWATER  
LATERAL DEPTH OF  
COVER IS 2 FT.

per detail, for 6" or  
larger services,  
install manhole

CONNECT NEW 6" SEWER  
LATERAL TO EXISTING 8"  
SANITARY SEWER MAIN.  
INSTALL:  
120 L.F. OF 6" SERVICE  
WITH SINGLE CLEANOUT  
FL 6"= 671.30  
FL EX. 8" WW= ±671.30  
CONTRACTOR TO FIELD  
VERIFY PRIOR TO  
CONSTRUCTION

adjust pond grading  
and/or SS lateral to  
avoid running lateral  
under pond.

**CAUTION!!!!**  
GAS MAIN MAY BE IN VICINITY OF  
CONSTRUCTION. CONTACT APPROPRIATE UTILITY  
FRANCHISE 72 HOURS IN ADVANCE OF  
CONSTRUCTION FOR UTILITY LOCATION.

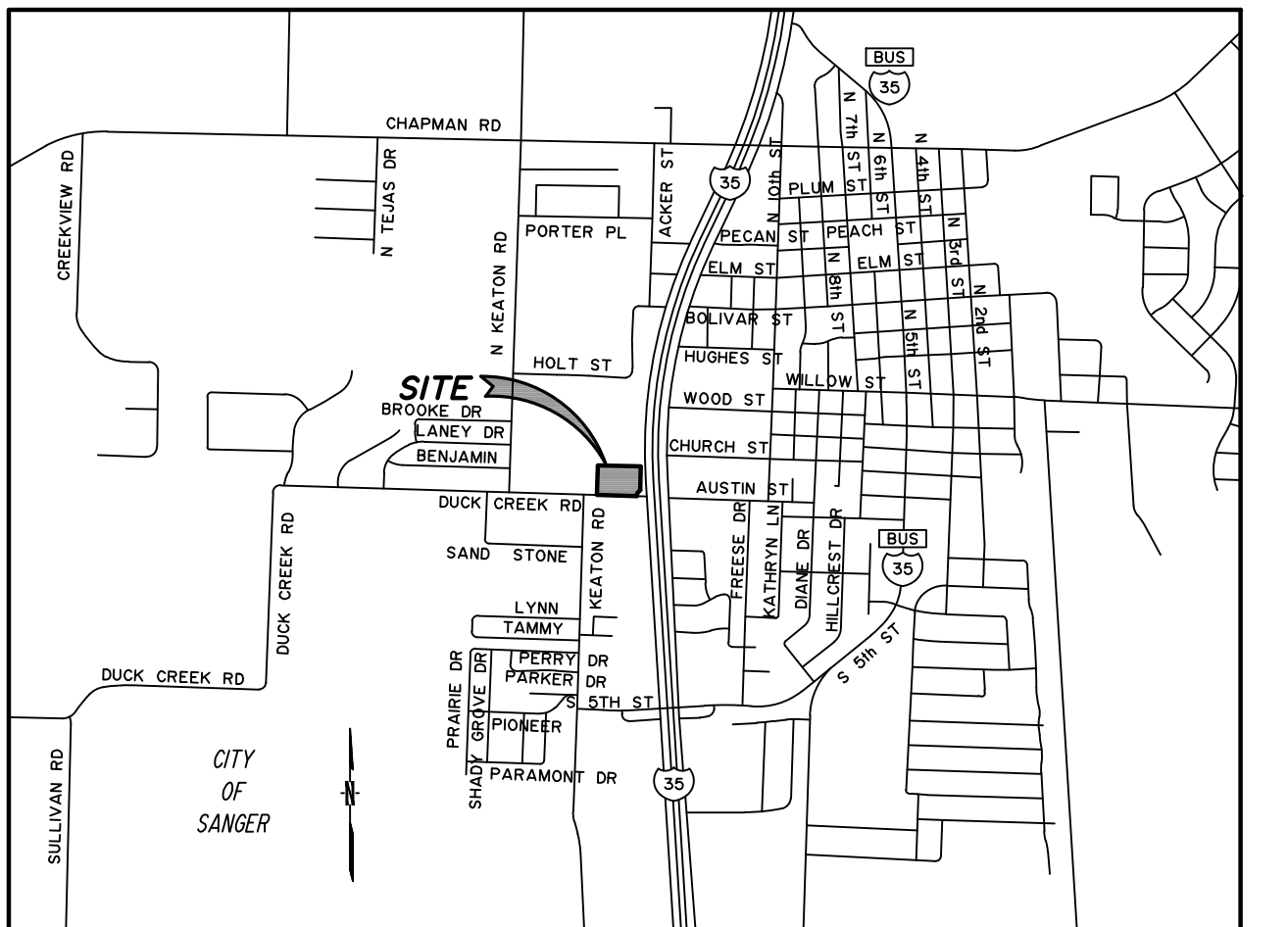
**WARNING!!**  
EXISTING UTILITIES IN THE AREA.  
CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL  
EXISTING UTILITIES WITH THE FRANCHISE UTILITIES PRIOR TO  
START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE  
ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS  
RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE  
NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT  
SHOWN), IF ANY EXISTING UTILITIES ARE DAMAGED, THE  
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL  
REPAIRS/REPLACEMENTS.

**1-800-344-8377 (DIG-TESS)**  
Contractor shall contact Dig-less or other utility  
locator service no earlier than 14 days and no  
later than 48 hours prior to construction activity.  
Gonzalez & Schneeberg Engineers & Surveyors, Inc.  
is not responsible for knowing all existing utilities or  
depicting exact location of utilities on drawing.

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

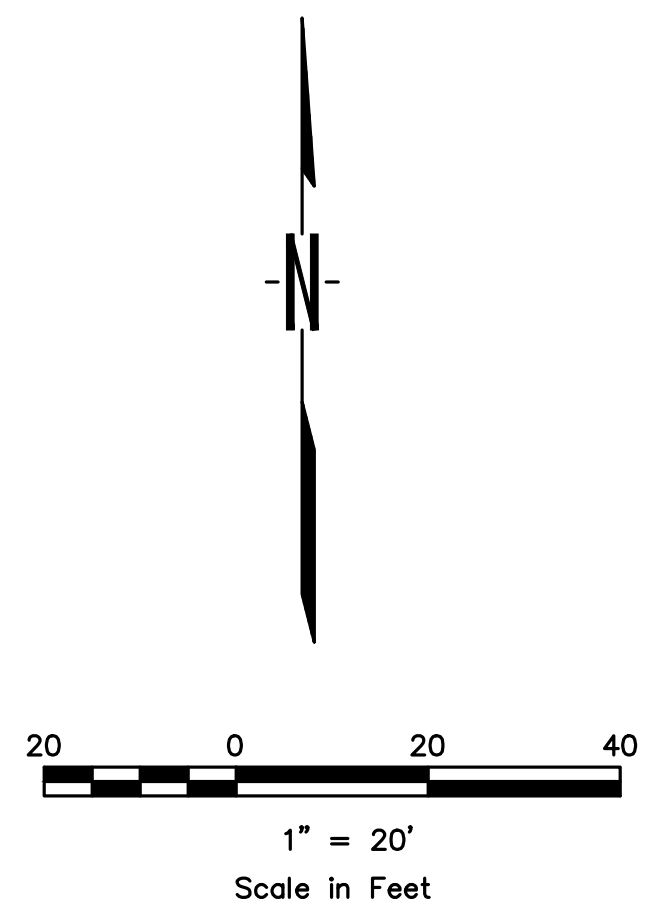
**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081



**CURVE TABLE**

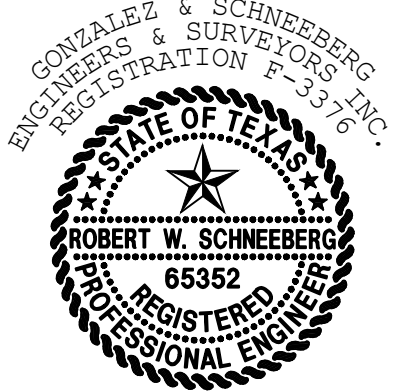
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.95'	251.94'	S 01°49'22" W



- LEGEND**
- ⊙<sub>PP</sub> POWER POLE
  - ⊙<sub>WV</sub> WATER VALVE
  - ⊙<sub>WM</sub> WATER METER
  - ⊙<sub>MS</sub> METAL SIGN
  - ⊙<sub>FD</sub> FIRE HYDRANT
  - ⊙<sub>PPA</sub> POWER POLE ANCHOR
  - ⊙<sub>CO</sub> CLEANOUT
  - ⊙<sub>SS</sub> SANITARY SEWER MANHOLE
  - <sub>OHP</sub> OVERHEAD POWER LINE
  - ⊙<sub>GM</sub> GAS METER

**INTERSTATE HIGHWAY 35**  
**(U.S. HIGHWAY 77)**  
1 VARIABLE WIDTH PUBLIC RIGHT-OF-WAY 1

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS  
AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON  
03/10/2026. ALTERATION OF A SEALED DOCUMENT  
WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE  
ENGINEER IS AN OFFENSE UNDER THE TEXAS  
ENGINEERING PRACTICE ACT.

**BENCHMARKS:**  
BM No. 1  
"X" CUT SET ON CONCRETE SIDEWALK  
APPROXIMATELY 4.6' NORTH AND 11' WEST  
OF THE SOUTHEAST SIDEWALK CORNER  
LOCATED THAT THE NORTHEAST PROPERTY  
CORNER. ELEV.: 677.82  
BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST  
SIDE OF THE EAST POWER POLE LOCATED  
AT THE SOUTHWEST CORNER OF PROPERTY  
CORNER CLIP. ELEV.: 675.79

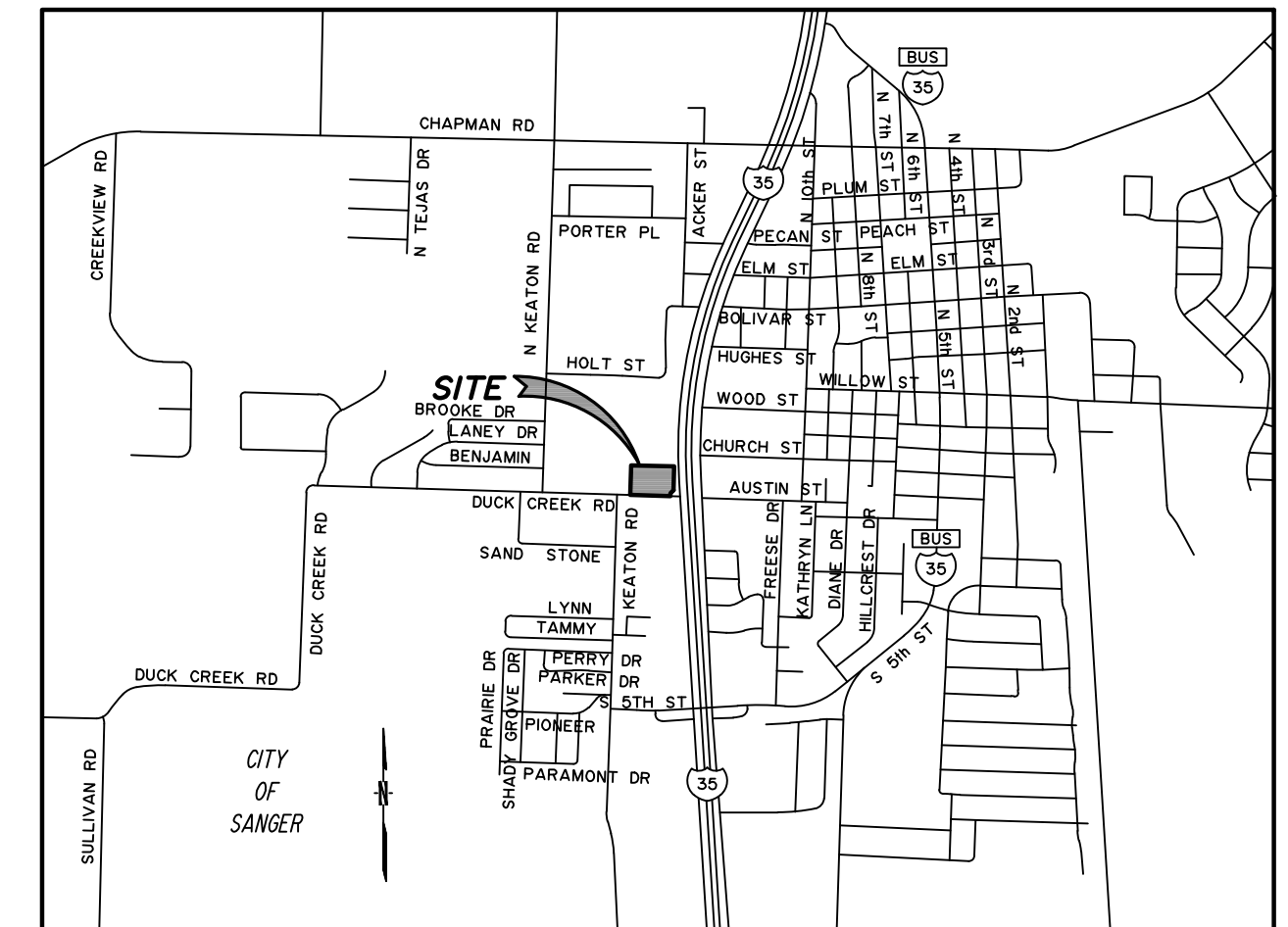
**C11.01**

PROJ. NO. 7875-25-10-21 DWG. NO. 7875 ww.dwg

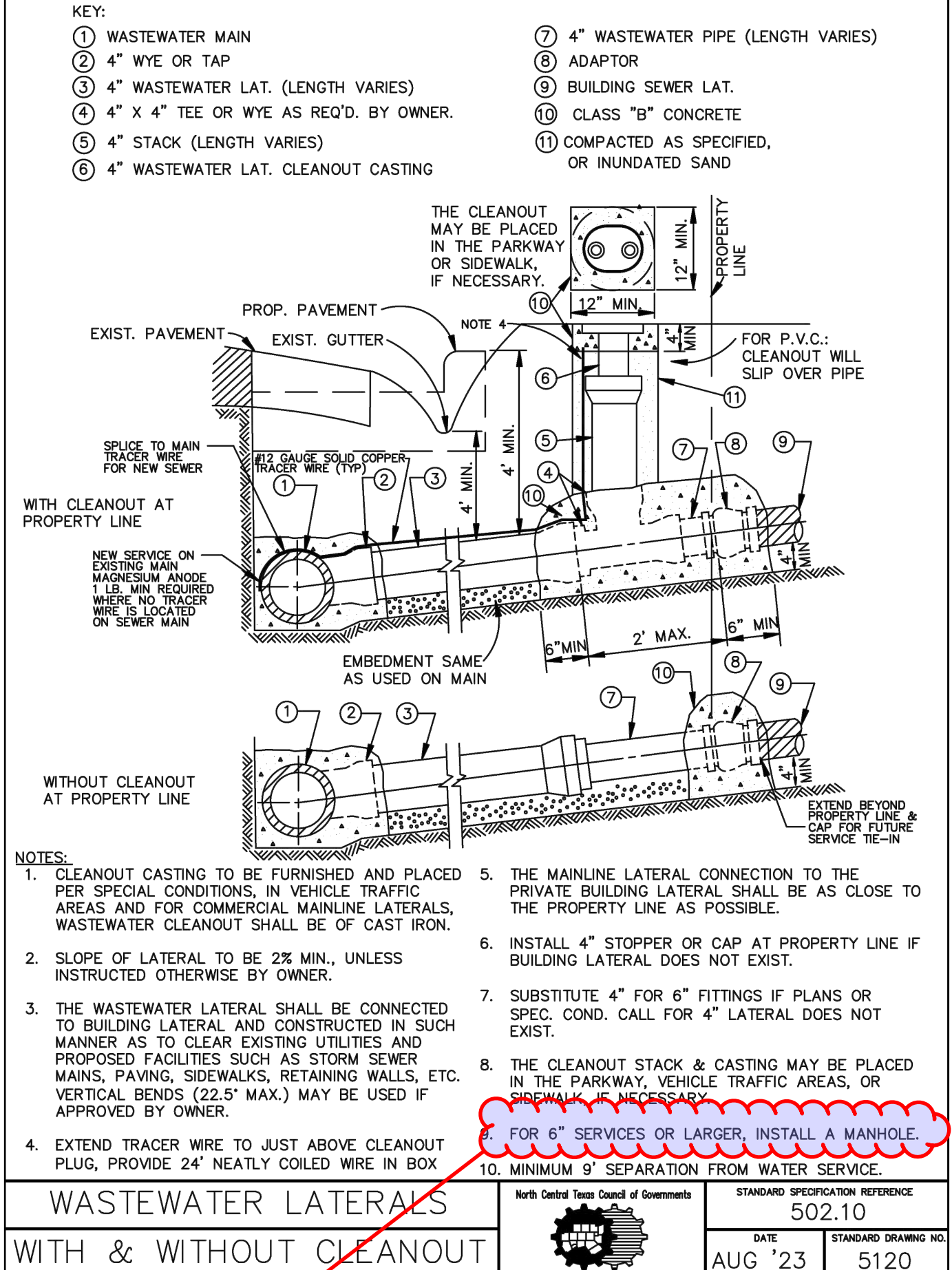
**Gonzalez & Schneeberg**  
engineers ■ surveyors  
801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

**WASTEWATER PLAN**  
FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

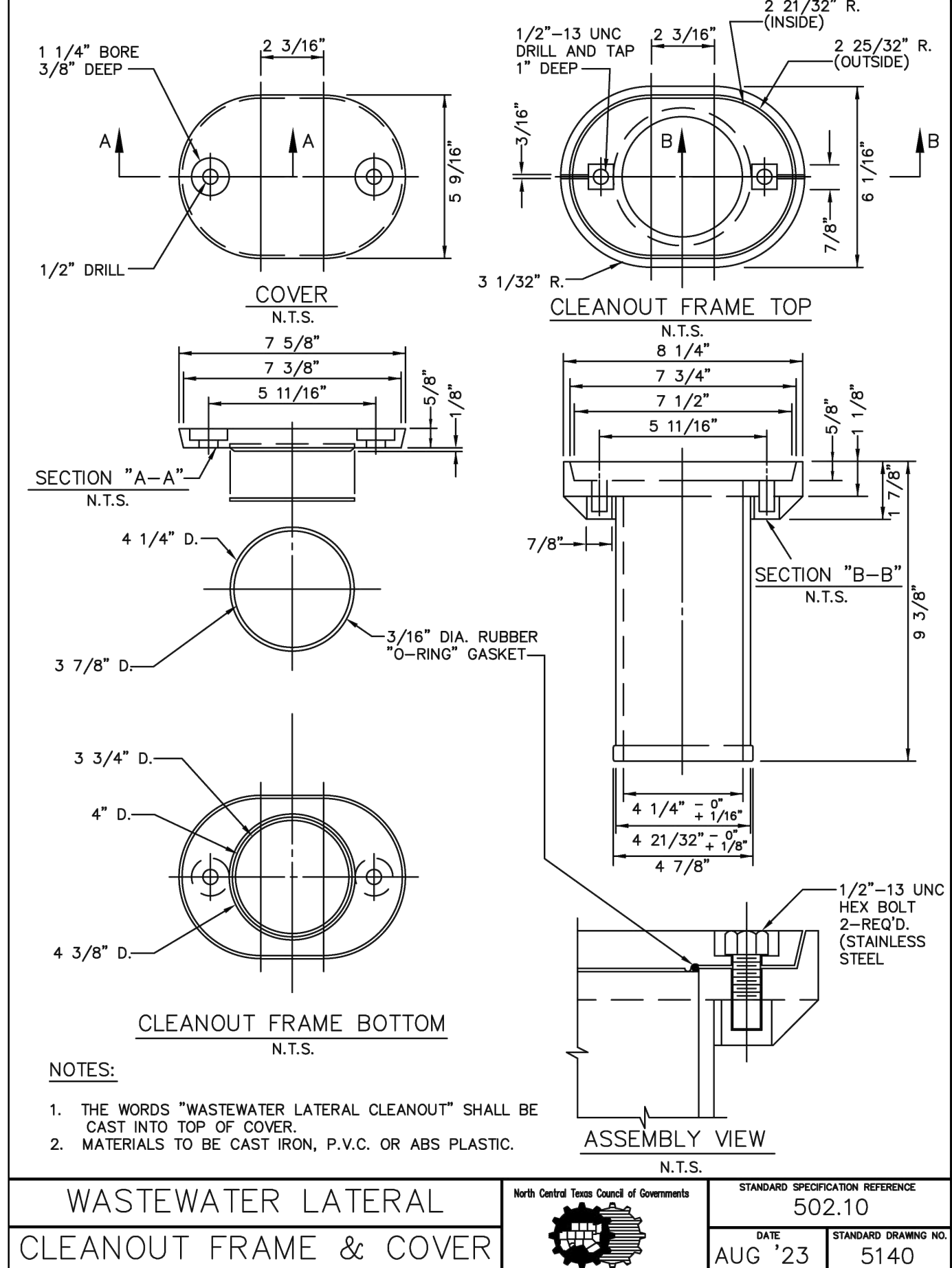
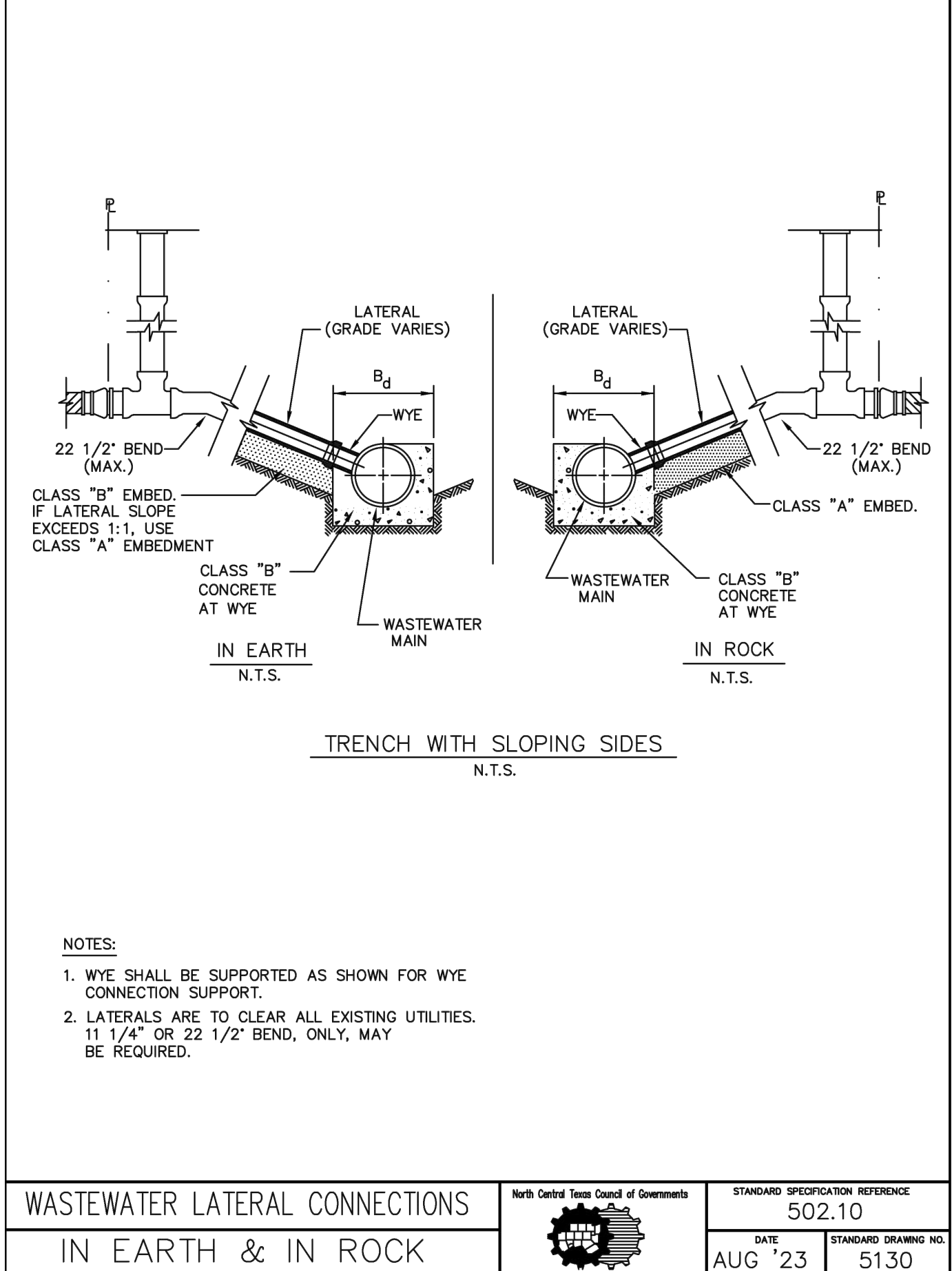
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:80			



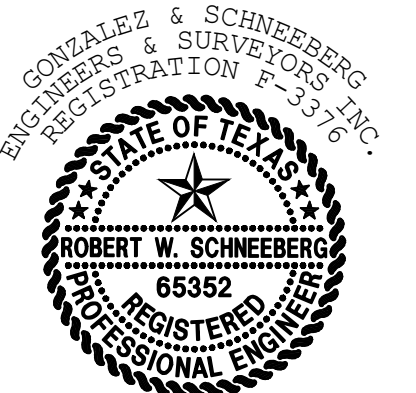
VICINITY MAP  
N.T.S.



per detail, for 6" or larger services, install manhole



*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

C11.50

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

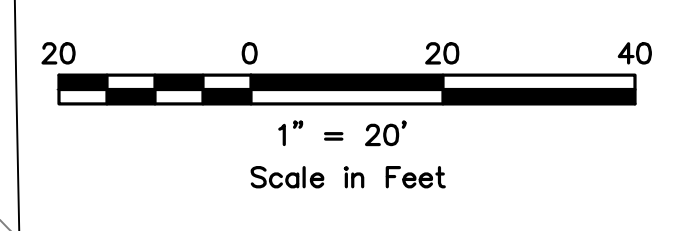
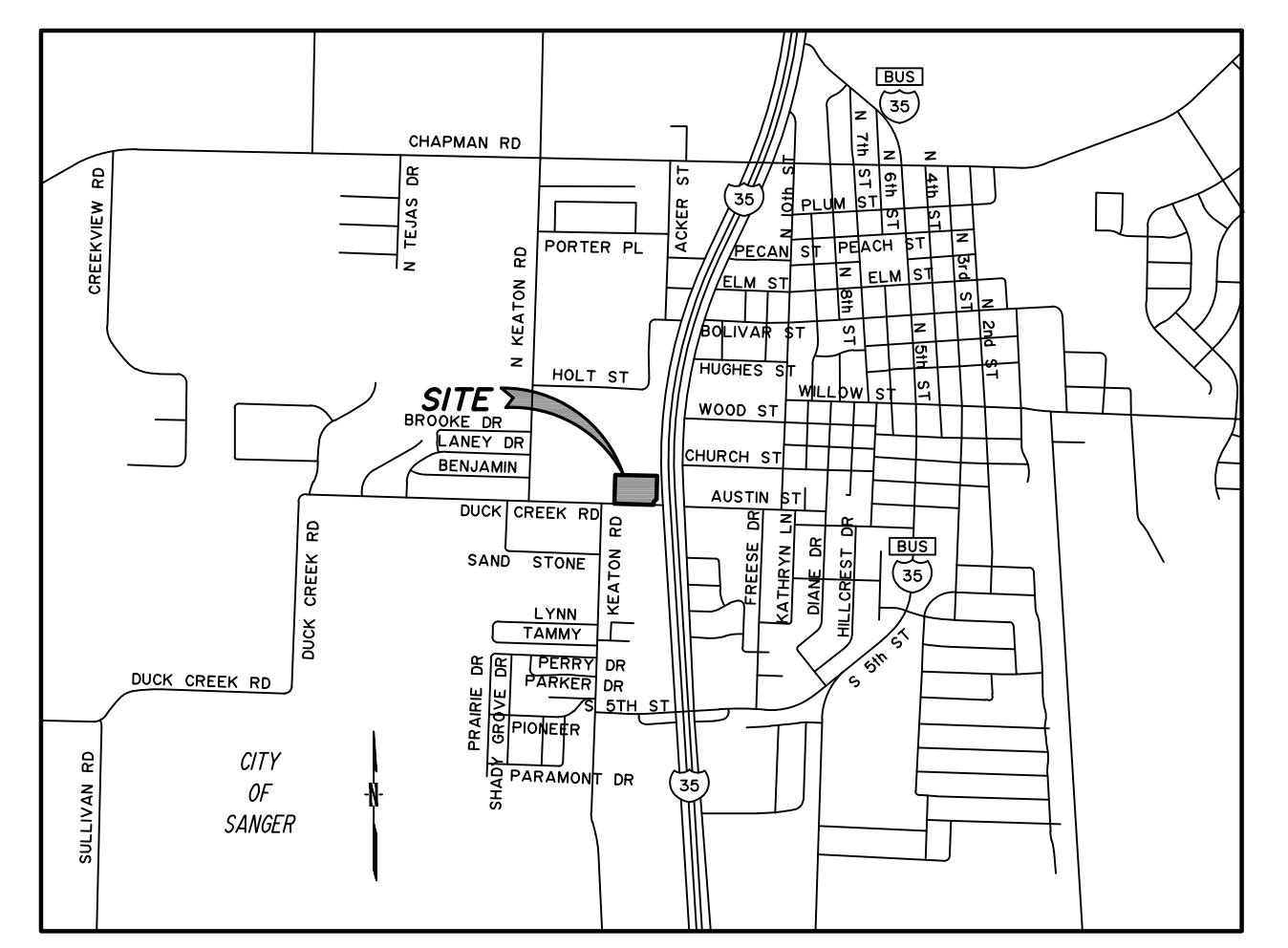
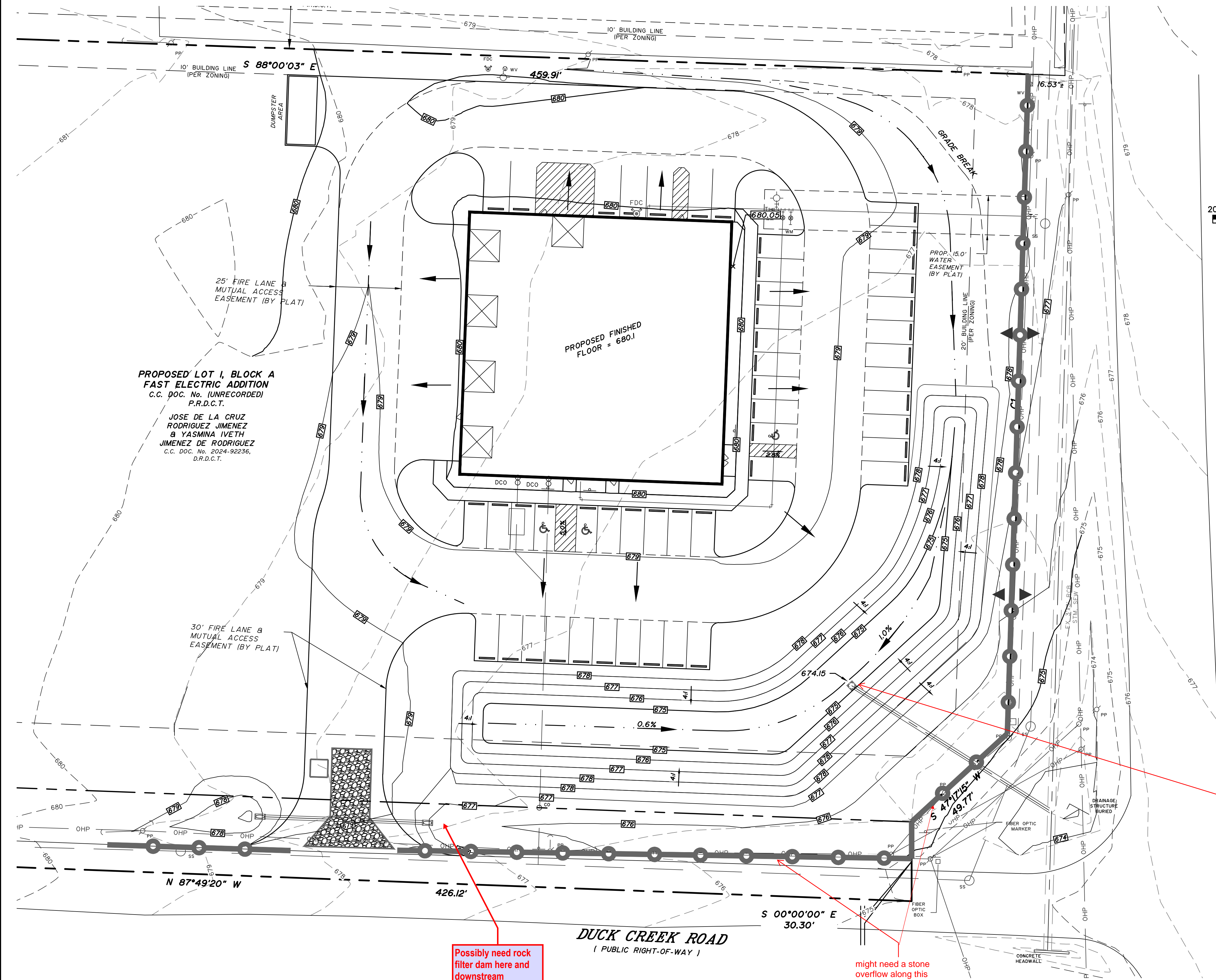
PROJ. NO. 7875-25-10-21 DWG. NO. 7875 ww details.dwg

**Gonzalez & Schneeberg** 801 East Campbell Road  
engineers ■ surveyors Suite 330, Richardson, Texas 75081  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00 (972) 516-8855

**WASTEWATER DETAILS**

FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:2			



**CURVE TABLE**

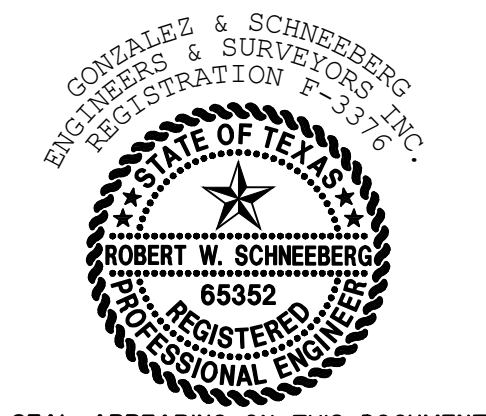
CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD	CH. BEARING
C1	001°26'50"	9975.00'	125.98'	251.94'	S 01°49'22" W

**PROPOSED LOT 1, BLOCK A  
FAST ELECTRIC ADDITION**  
C.C. DOC. No. (UNRECORDED)  
P.R.D.C.T.  
JOSE DE LA CRUZ  
RODRIGUEZ JIMENEZ  
& YASMINA IVETH  
JIMENEZ DE RODRIGUEZ  
C.C. DOC. No. 2024-92236,  
D.R.D.C.T.

- LEGEND**
- PP POWER POLE
  - WV WATER VALVE
  - WM WATER METER
  - MS METAL SIGN
  - FH FIRE HYDRANT
  - PA POWER POLE ANCHOR
  - CS CLEANOUT
  - SS SANITARY SEWER MANHOLE
  - OHP OVERHEAD POWER LINE
  - GM GAS METER
  - FL FLOW LINE
  - 562.75 PROPOSED ELEVATIONS
  - 564 EXISTING CONTOUR LINE
  - 564 PROPOSED CONTOUR LINE
  - SF SILT FENCE
  - CE CONSTRUCTION ENTRANCE
  - OS OVERFLOW STRUCTURE (SEE DETAIL SHEET C12.50)

- GENERAL NOTES:**
- EROSION CONTROL MEASURES SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). ANY CHANGES TO THE SWPPP SHALL BE SUPERSEDED BY THE EROSION CONTROL PLAN. THE SWPPP IS TO BE KEPT ON-SITE AT ALL TIMES WITH THESE CONSTRUCTION DOCUMENTS AS NECESSARY FOR COMPLIANCE WITH THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TDES) GENERAL PERMIT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND MAINTAINING COMPLIANCE WITH THE GENERAL PERMIT.
  - PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND NECESSARY PERIMETER CONTROLS SHALL BE INSTALLED.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, ROUTINE INSPECTION AND/OR MAINTENANCE OF STORM WATER POLLUTION PREVENTION CONTROL MEASURES.
  - AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SHOULD BE STABILIZED BY PER APPLICABLE PROJECT SPECIFICATIONS AND LANDSCAPE PLANS.
  - THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ACCEPTABLE VEGETATION COVERAGE HAS BEEN ACHIEVED IN ACCORDANCE WITH THE GENERAL PERMIT.
  - ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO COMPLY WITH THE SWPPP OR TCEQ STORMWATER REGULATIONS SHALL BE IMPLEMENTED BY CONTRACTOR, AT HIS EXPENSE.
  - CONTRACTOR SHALL PROTECT ALL INLETS FROM DEBRIS DURING CONSTRUCTION. CONTRACTOR SHALL CLEAR ALL DEBRIS FROM LINES AT COMPLETION OF CONSTRUCTION.

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E., 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**C12.01**

**1-800-344-8377 (DIG-TESS)**  
Contractor shall contact Dig-less or other utility locator service no earlier than 14 days and no later than 48 hours prior to construction activity. Gonzalez & Schneeberg Engineers & Surveyors, Inc. is not responsible for knowing all existing utilities or depicting exact location of utilities on drawing.

**WARNING!!!**  
EXISTING UTILITIES IN THE AREA.  
CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE FRANCHISE UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN), IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS/REPLACEMENTS.

**CAUTION!!!!**  
GAS MAIN MAY BE IN VICINITY OF CONSTRUCTION. CONTACT APPROPRIATE UTILITY FRANCHISE 72 HOURS IN ADVANCE OF CONSTRUCTION FOR UTILITY LOCATION.

might need a stone overflow along this run of SF. could possibly dam up water without positive drainage.

Possibly need rock filter dam here and downstream

**BENCHMARKS:**  
BM No. 1  
"X" CUT SET ON CONCRETE SIDEWALK APPROXIMATELY 4.6' NORTH AND 11' WEST OF THE SOUTHEAST SIDEWALK CORNER LOCATED AT THE NORTHEAST PROPERTY CORNER. ELEV.: 677.82  
BM No. 2  
RAIL ROAD SPIKE FOUND ON SOUTHEAST SIDE OF THE EAST POWER POLE LOCATED AT THE SOUTHWEST CORNER OF PROPERTY CORNER CLIP. ELEV.: 675.79

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

PROJ. NO. 7875-25-10-21 DWG. NO. 7875 eros.dwg

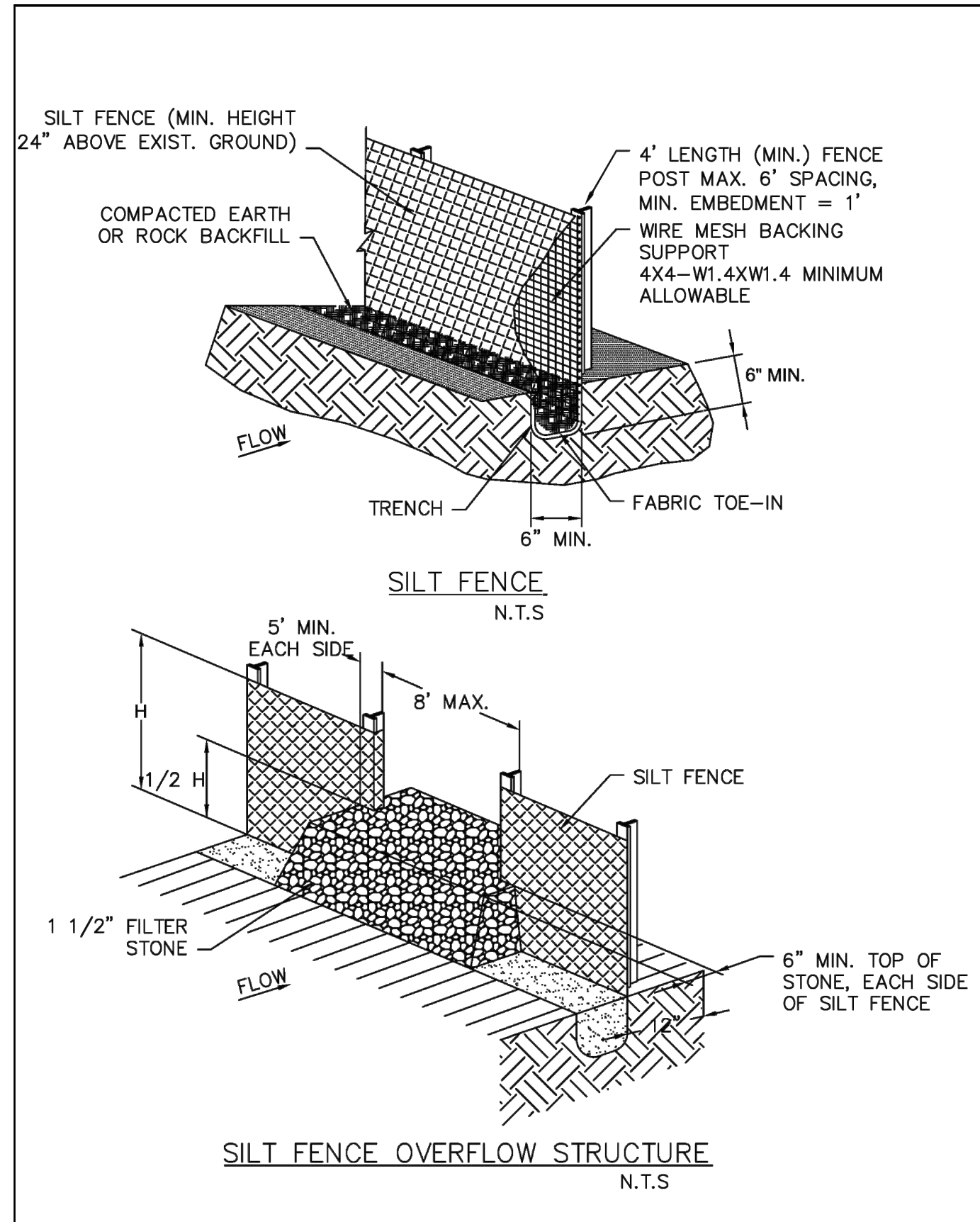
**Gonzalez & Schneeberg**  
engineers & surveyors  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855

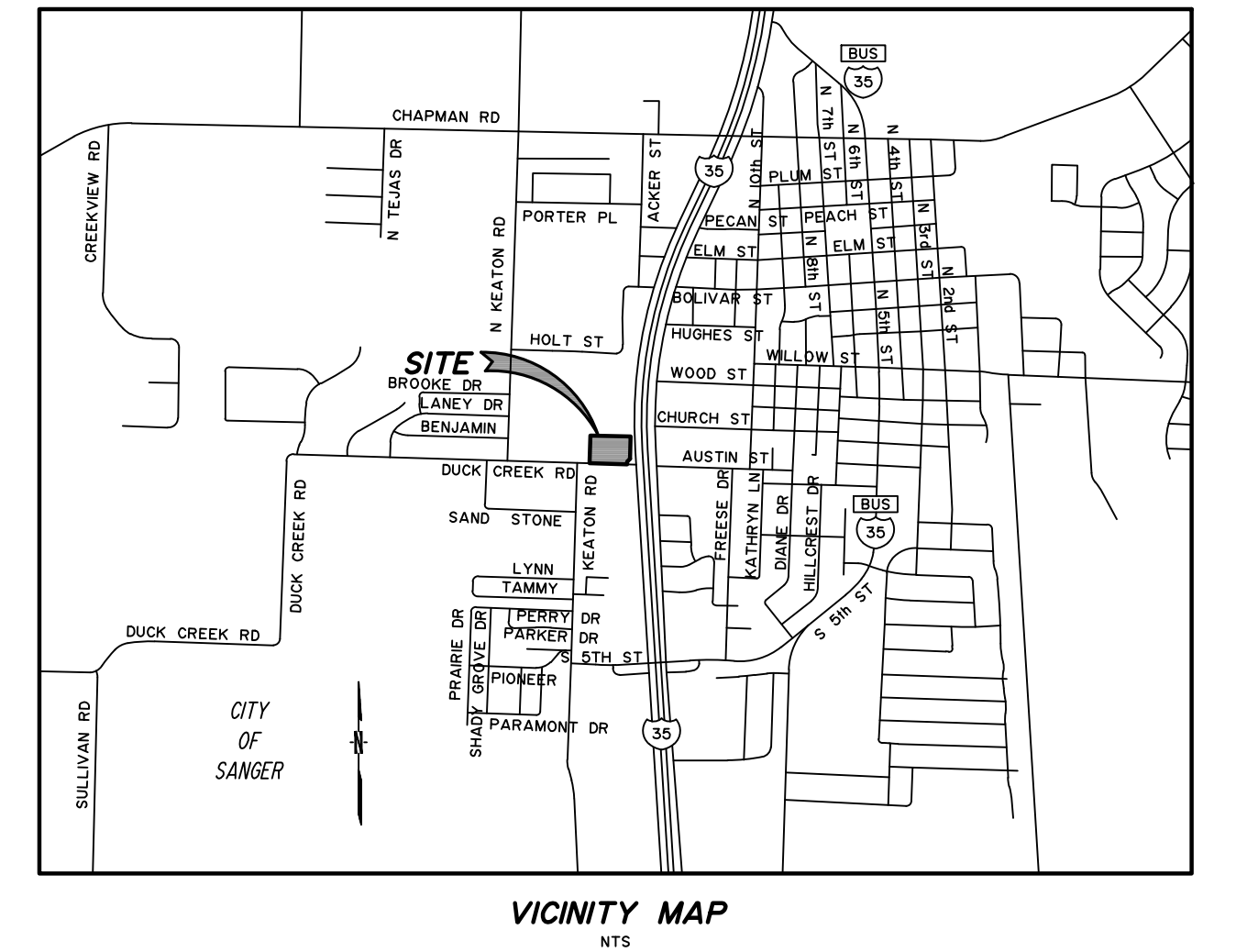
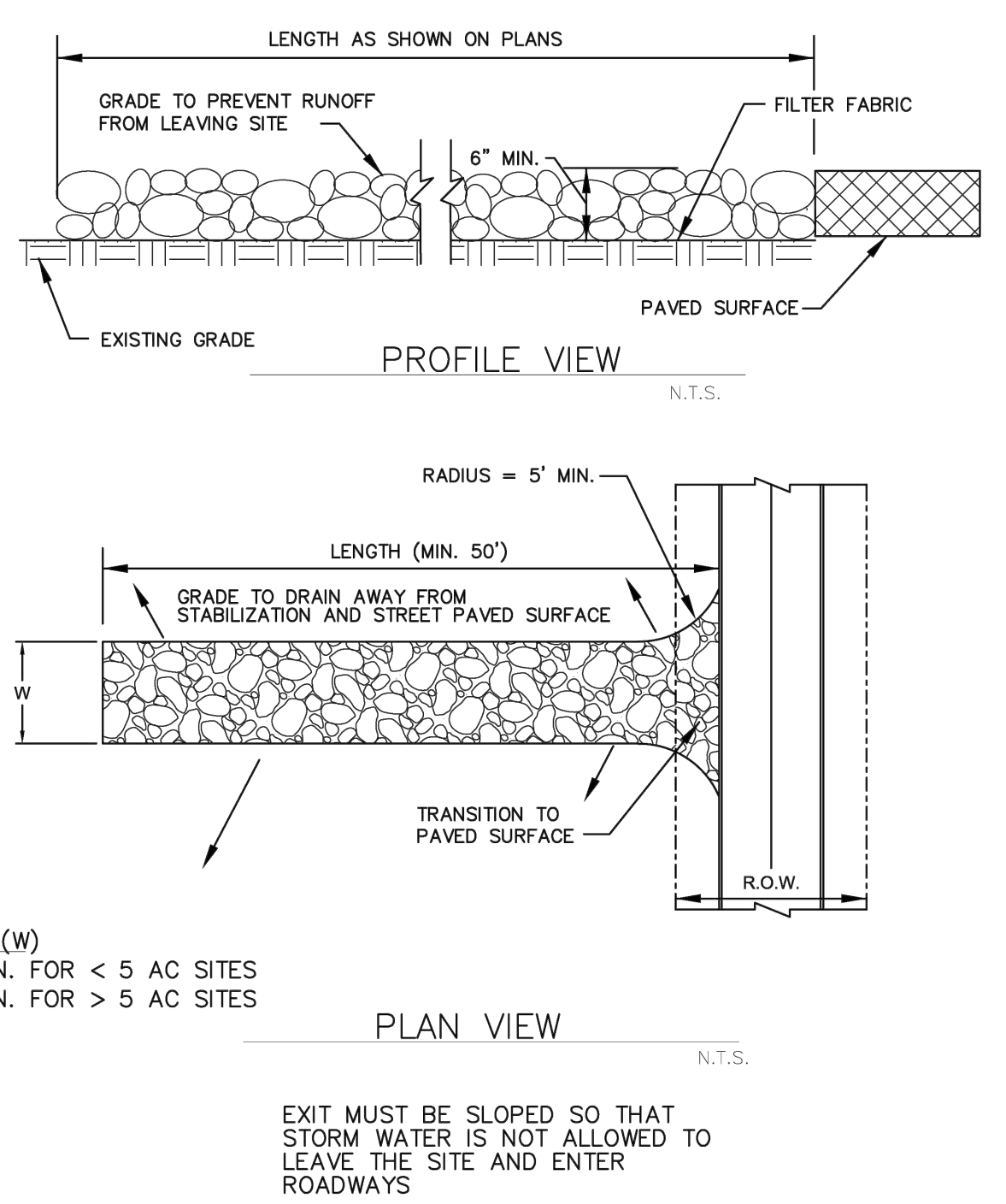
**EROSION CONTROL PLAN**  
FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:20			

NO.	DATE	REVISION



- SILT FENCE GENERAL NOTES:**
- DESIGN SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE OVERFLOW STRUCTURES SHALL BE INSTALLED. OVERFLOW STRUCTURES ARE REQUIRED AT ALL LOW POINTS AND AT A SPACING OF APPROXIMATELY 300 FEET WHERE NO LOW POINT IS APPARENT.
  - DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE SILT FENCE IS TO BE TURNED UPSLOPE AT THE ENDS. UPSLOPE LENGTHS SHALL BE A MINIMUM OF 10 FEET.
  - POST WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
  - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
  - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
  - INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
  - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
  - SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.5



SILT FENCE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		202.5
	DATE	STANDARD DRAWING NO.
	AUG '23	1020A

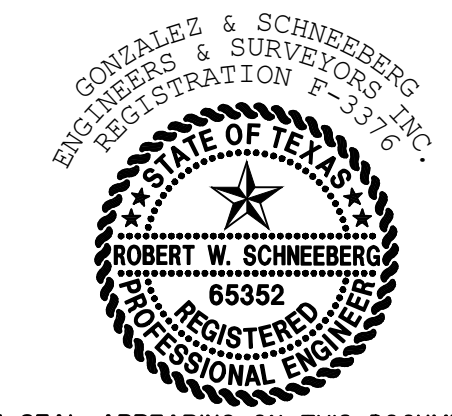
SILT FENCE GENERAL NOTES	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		202.5
	DATE	STANDARD DRAWING NO.
	AUG '23	1020B

STABILIZED CONSTRUCTION EXIT	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		202.11
	DATE	STANDARD DRAWING NO.
	AUG '23	1070A

- STABILIZED CONSTRUCTION EXIT GENERAL NOTES:**
- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.11
  - THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
  - STONE SHALL BE 3 TO 5 INCH DIAMETER COURSE AGGREGATE, NO CRUSHED PORTLAND CEMENT CONCRETE ALLOWED.
  - LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 50 FEET.
  - THE WIDTH SHALL BE NO LESS THAN 20' FOR SITES LESS THAN 5 AC, AND 30' FOR SITES GREATER THAN 5 AC, AT ALL POINTS OF INGRESS OR EGRESS.
  - WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED EXIT. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
  - THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
  - THE EXIT MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
  - INSPECTION SHALL BE SPECIFIED IN THE SWPPP.

STABILIZED CONSTRUCTION EXIT, GENERAL NOTES	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		202.11
	DATE	STANDARD DRAWING NO.
	AUG '23	1070B

*Robert W. Schneeberg*



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 03/10/2026. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**C12.50**

**APPLICANT/OWNER/DEVELOPER:**  
FAST ELECTRIC, LLC  
ATTN: JOSE RODRIGUEZ J.  
8025 JANE LONG RD  
SANGER, TX 76266  
(940) 315-0043

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
801 EAST CAMPBELL ROAD, SUITE 330  
RICHARDSON, TEXAS 75081  
(972) 516-8855

**GONZALEZ & SCHNEEBERG**  
Engineering Firm No. F-3376  
Surveying License No. 100752-00  
801 East Campbell Road, Suite 330  
Richardson, Texas 75081

PROJ. NO. 7875-25-10-21 DWG. NO. 7875 eros details.dwg

**Gonzalez & Schneeberg**  
engineers & surveyors  
ENGINEERING FIRM NO. F-3376 SURVEYING LICENSE NO. 100752-00

801 East Campbell Road  
Suite 330, Richardson, Texas 75081  
(972) 516-8855

**EROSION CONTROL DETAILS**

FAST ELECTRIC  
LOT 1, BLOCK A  
SANGER, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GSES	GSES	MARCH 2026	1:1			



# PLANNING & ZONING COMMISSION COMMUNICATION

**DATE:** April 13, 2026

**FROM:** Ramie Hammonds, Development Services Director

**AGENDA ITEM:** Conduct a public hearing on a request for a replat of Sanger Circle Phase 7, Blk O, Lot 4, and 0.628 acres and from A0029A R. BEBEE, TR 74 being approximately 2.475 total acres of land within the City of Sanger, generally located on the east side of Thistle Drive.

**SUMMARY:**

- This development is located in the City of Sanger.
- The replat will take one open space lot and combine it with an additional 0.628 acres to create 10 new residential lots.
- The lot will have access from Thistle Dr.
- The plat meets all of the zoning regulations.
- Staff mailed 46 notices and at the time of this report has received 1 response in favor.

**FISCAL INFORMATION:**

N/A

**RECOMMENDED MOTION OR ACTION:**

N/A

**ATTACHMENTS:**

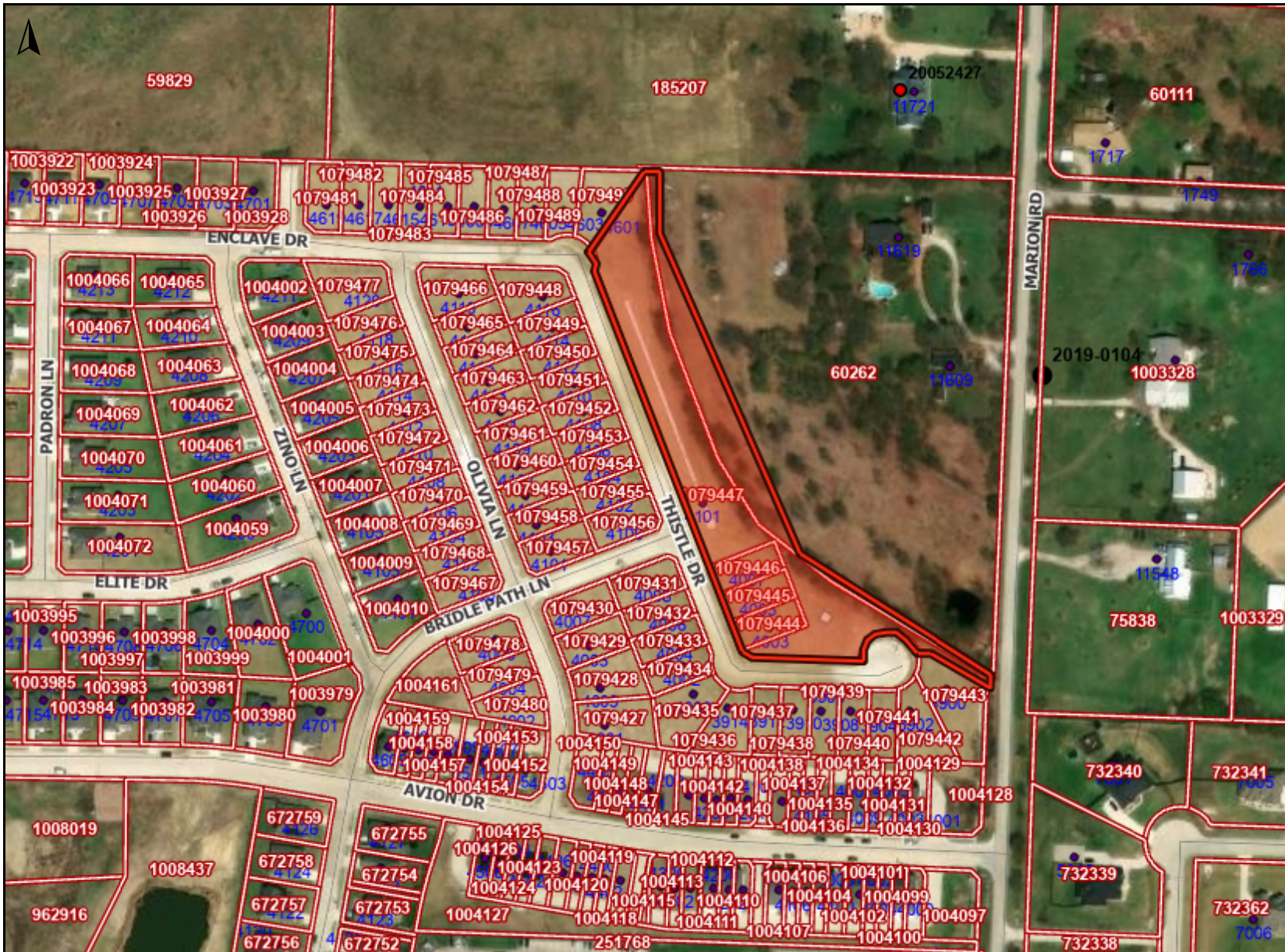
Location Map

# Sanger Circle Ph 7, Block O, Lot 4

Item 4.

## Legend

- DCAD (Property Lines)
- Parcels
  -
- Planning and Zoning
- Planning and Zoning
  - ▲ WATER WELL
  - PERMITS
  - Not Approved
  - Approved
- Public Safety
- Addresses 911
  -
- Lakes and Streams
- Lakes
  -
- Streams
  -



**Notes:**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Denton County does not guarantee the correctness or accuracy of any features on this product and assumes no responsibility in connection therewith. This product may be revised at any time without notification to any user.

<https://www.dentoncounty.gov/1147/Geographic-Information-Systems-GIS>  
4/7/2026 9:41:51 AM





# PLANNING & ZONING COMMISSION COMMUNICATION

**DATE:** April 13, 2026

**FROM:** Ramie Hammonds, Development Services Director

**AGENDA ITEM:** Consideration and possible action on a request for a replat of Sanger Circle Phase 7, Blk O, Lot 4, and 0.628 acres and from A0029A R. BEBEE, TR 74 being approximately 2.475 total acres of land within the City of Sanger, generally located on the east side of Thistle Drive.

**SUMMARY:**

- This development is located in the City of Sanger.
- The replat will take one open space lot and combine it with and additional 0.628 acres to create 10 new residential lots.
- The lot will have access from Thistle Dr.
- The plat meets all of the zoning regulations.
- Staff mailed 46 notices and at the time of this report has received 1 response in favor.

**FISCAL INFORMATION:**

N/A

**RECOMMENDED MOTION OR ACTION:**

Staff recommends DENIAL on the condition not all comments have been satisfied.

**ATTACHMENTS:**

Location Map  
Replat  
Application  
Planning Comments  
Engineering Comments  
Response Form 1 – In Favor





LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, being part of the Reuben Bebee Survey, Abstract No. 29, Denton County, Texas, and being all of Lot 4, Block O of the final plat of Sanger Circle, Phase 7, recorded in Document No. 2025-412 of the Official Records of Denton County, Texas (ORCCT) and a part of that certain called 9.297 acre tract described in a deed to Lou Henry Cooper, recorded in Volume 1005, Page 253 of the Deed Records of Denton County, Texas (ORCCT) and being more completely described as follows, to-wit:

BEGINNING at a 1/2" iron rod (sat) for the northeast corner of the Sanger Circle, Phase 7, the northwest corner of the Lou Henry Cooper tract;

THENCE South 89°46'44" East with the north line of the Henry Cooper tract a distance of 15.08 feet to a 1/2" iron rod (sat) for corner;

THENCE with the west line of the Henry Cooper tract as follows:

South 44°7'03" East a distance of 69.77 feet to a 1/2" iron rod (sat) for corner;

South 21°42'09" East a distance of 603.70 feet to a 1/2" iron rod (sat) for corner;

South 52°50'26" East a distance of 100.16 feet to a 1/2" iron rod (sat) for corner;

South 99°39'33" East a distance of 308.28 feet to a 1/2" iron rod (sat) for corner in the west right of way of Marion Road, a variable right of way;

THENCE South 123°45' West with the west right of way of Marion Road a distance of 171.14 feet to a 1/2" iron rod (sat) for the northeast corner of Lot 40, Block B;

THENCE North 92°39'33" West with the north line of Lot 40, Block B a distance of 107.23 feet to a 1/2" iron rod (sat) for corner;

THENCE North 84°34'34" West a distance of 26.75 feet to a 1/2" iron rod (sat) for corner in the north right of way of Thistle Drive, a 50 foot right of way;

THENCE with the north right of way of Thistle Drive and a curve to the left having a radius of 50.00 feet, a chord of South 80°33'23" West - 98.21 feet a distance of 138.15 feet to a 1/2" iron rod (sat) for corner;

THENCE North 88°35'48" West a distance of 190.00 feet to a 1/2" iron rod (sat) for corner;

THENCE North 55°08'57" West a distance of 16.69 feet to a 1/2" iron rod (sat) for the southwest corner of Lot 1, Block O;

THENCE North 68°7'55" East with the south line of Lot 1, Block O a distance of 120.00 feet to a 1/2" iron rod (sat) for the southeast corner of Lot 1, Block O;

THENCE North 21°42'05" West with the east line of Lots 1, 2, 3 Block O a distance of 151.51 feet to a 1/2" iron rod (sat) for the northeast corner of Lot 3, Block O;

THENCE South 68°7'55" West with the north line of Lot 3, Block O a distance of 120.00 feet to a 1/2" iron rod (sat) for the northwest corner of Lot 3, Block O;

THENCE South 68°7'55" West with the north line of Lot 3, Block O a distance of 120.00 feet to a 1/2" iron rod (sat) for the northwest corner of Lot 3, Block O;

THENCE North 21°42'05" West with the east right of way of Thistle Drive a distance of 537.12 feet to a 1/2" iron rod (sat) for the beginning of a curve to the left having a radius of 50.00 feet, a chord of North 08°42'34" West - 35.10 feet, a distance of 55.67 feet to a 1/2" iron rod (sat) for the southwest corner of Lot 10, Block M;

THENCE North 33°44'09" East with the south line of Lot 10, Block M a distance of 182.14 feet to the place of beginning, containing 2.475 acres or 107,808 square feet of land.

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, Jonathan Wong acting herein by and through its duly authorized officer, does hereby adopt this plat designating the hereinabove described property as REPLAT OF LOT 4, BLOCK O OF SANGER CIRCLE, PHASE 7, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the same, and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and conditions. The City of Sanger shall be responsible for the maintenance and repair of the easements or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity of any time of procuring permission from anyone.

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Owner \_\_\_\_\_ Title and Company \_\_\_\_\_

Notary Public in and for the State of Texas \_\_\_\_\_

Print Notary's Name \_\_\_\_\_

My Commission Expires \_\_\_\_\_

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas \_\_\_\_\_

Print Notary's Name \_\_\_\_\_

My Commission Expires \_\_\_\_\_

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, Lou Cooper, does hereby adopt this plat designating the hereinabove described property as REPLAT OF LOT 4, BLOCK O SANGER CIRCLE, PHASE 7, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use forever easements for sidewalks, storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations that he/she shall maintain all easements and facilities in a state of good repair and functional condition in accordance with City codes and conditions. The City of Sanger shall be responsible for the maintenance and repair of the easements or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity of any time of procuring permission from anyone.

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Owner \_\_\_\_\_ Title and Company \_\_\_\_\_

Notary Public in and for the State of Texas \_\_\_\_\_

Print Notary's Name \_\_\_\_\_

My Commission Expires \_\_\_\_\_

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas \_\_\_\_\_

Print Notary's Name \_\_\_\_\_

My Commission Expires \_\_\_\_\_

APPROV.

Table with 3 columns: No., DATE, REVISION, APPROV.

Middleton & Assoc., LLC CONSULTING CIVIL ENGINEERS & LAND PLANNERS TBPE #F-10900 © Copyright 2026 2785 ROCKBROOK DRIVE, SUITE 105 LEWISVILLE, TEXAS 75067 (972) 393-9800

JOHN COWAN & ASSOCIATES, INC. 10147 CR 135 FLINT, TEXAS 75762 PH: (903) 581-2238 FIRM REGISTRATION CERTIFICATION NO. 10025500

REPLAT OF LOT 4, BLOCK O OF SANGER CIRCLE, PHASE 7 2.475 AC. 10 RES. LOTS - 1 HOA LOTS REUBEN BEBEE SURVEY, ABST. NO. 29 CITY OF SANGER, DENTON, COUNTY, TEXAS

Date: 3-10-26 Dwg Scale: Hor. 1"=40' Vert. Dwg File: 0118002RPT.DWG Project No. 0118002 - T25-076

RPP12



REGISTERED PUBLIC LAND SURVEYOR TEXAS REG. NO. 5515 DATE \_\_\_\_\_

STATE OF TEXAS COUNTY OF DENTON I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.

State of Texas County of Denton Before me, the undersigned authority, on this day personally appeared Phillip W. Cornett, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated. Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas Print Notary's Name \_\_\_\_\_ My Commission Expires \_\_\_\_\_

Table for approval: Approved and Accepted, Date, City of Sanger, TX



201 Bolivar Street/PO Box 1729 \* Sanger, TX 76266  
940-458-2059(office) 940-458-4072(fax) www.sangertexas.org

**SUBDIVISION APPLICATION**

Preliminary Plat  
 Minor Plat

Final Plat/Replat  
 Amended Plat

Vacating Plat  
 Conveyance Plat

Applicant

Owner (if different from applicant)

Name: <b>Eugene Middleton, P.E.</b>	Name: <b>SEE ATTACHED SHEET</b>
Company: <b>Middleton &amp; Associates, LLC</b>	Company:
Address: <b>2785 Rockbrook Dr, #105</b>	Address
City, State, Zip: <b>Lewisville, Tx 75067</b>	City, State, Zip:
Phone <b>972-393-9800</b>	Phone:
Fax: <b>N/A</b>	Fax:
Email: <b>eugene@middleton-associates.com</b>	Email:

Submittal Checklist

N/A	Pre-Application Conference (Date: /___/___)
X	Application Form (Signed by Owner and Applicant)
X	Letter of Intent
X	Non-Refundable Application Fee (Check Payable to City of Sanger)
X	Applicable Plat Checklist (Completed)
X	Additional Required Documents/Traffic & Drainage Studies etc.

Supporting Materials (List if provided): CIVIL PLANS HAVE BEEN SUBMITTED

R Number(s): R 1079447 & R 60262

SEE ATTACHED SHEET

Owner's Signature

Date

*EUGENE MIDDLETON*

3-12-2026

Applicant's Signature

Date

SANGER CIRCLE PH 7 RE-PLAT OWNERSHIPS (THIS INFORMATION WAS TAKEN FROM THE DENTON COUNTY APPRASIAL WEB SITE)

1)

LOU AND PAGE COOPER      0.68 ACRES - R60262  
P.O. BOX 756  
SANGER, TEXAS 76266-0756  
PHONE: 940-453-1938  
EMAIL: cooperhank@msn.com

A0029A R. BEEBE, TR 74, 8.751 ACRES, OLD DCAD SHT 3, TR 25

SIGNATURE: Lou H. Cooper      DATE: 3-13-2026

2)

SANGER TOWN CENTER LLC    LOT 4, BLOCK 0 WITHIN SANGER CIRCLE PH 7 AS RECORDED IN DOC. # 2025-412  
MR. JONATHAN WANG  
101 FOREST BEND DR,  
COPPELL, TX, 75019-2040  
PHONE: 214-316-2256  
EMAIL: wangitc@verizon.net

LOT 4 BLOCK 0      R1079447

SIGNATURE: Jonathan Wang      DATE: March 13, 2026



**DATE: 4/06/26**

**1<sup>st</sup> REVIEW COMMENTS – Replat – Sanger Circle Ph 7, Block O, Lot 4**

The request is for a Final Plat of Fast Electric Addition, being approximately 3.31 acres of land, prepared by Eagle Surveying, submitted on 3/18/26. Below are the planning comments that should be addressed before Planning & Zoning approval. Resubmit the revised plat along with a response letter addressing all comments.

**Planning**

Provide the following;

1. Add standard note;
  - a. Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.

**Informational Comments**

1. The property is within the City of Sanger.
2. The Replat will be scheduled for the Planning and Zoning (P&Z) Commission meeting on Monday, April 13, 2026.



April 03, 2026  
AVO 37449.004

Ms. Ramie Hammonds  
Development Services Director/Building Official  
City of Sanger  
201 Bolivar Street  
P.O. Box 1729  
Sanger, Texas 76266

**Re: Sanger Circle Phase 7 Replat - Review #1**

Dear Ms. Hammonds,

Halff Associates, Inc. was requested by the City of Sanger to review the Replat for Sanger Circle Phase 7. The submittal was prepared by Middleton & Associates, LLC and was received on March 20, 2026.

**General Comments**

1. Please address comments on attached markups and **provide annotated responses** on markups. Please note, not all comments are written on letter since some comments are easier to show and explain on the markups. Please annotate markup with responses.
2. Please note additional comments may be provided in subsequent reviews once additional data/responses is received.

**Replat Comments**

1. Is what is shown the current center line of Marion Road? The City of Sanger Master Thoroughfare plan shows Marion Road a minor arterial classified as an M4U which requires an 80ft minimum ROW. Please confirm that 40ft of ROW is dedicated from the center line of existing Marion Road.
2. Show City Limits per Ordinance § SO-6B.6.s
3. Show centerline of existing street. Dimensions from centerline to edges of existing and proposed right-of-way on both sides of the centerline per Ordinance § SO-6B.6.1.iv
4. Acreage does not match closure report. Error of closure shall not exceed one (1) in fifty thousand (50,000) for the plat boundary per Ordinance § SO-6B.6.b. Provide closure report that matches plat acreage
5. Please verify and confirm that proposed/existing Sanger Phase 7 infrastructure, for example water, sewer and drainage will handle needs from the proposed additional lots.

If you have any questions or need additional information, please do not hesitate to call me at (817) 764-7498.



Sincerely,

A handwritten signature in blue ink, appearing to read "Samson Lotigo".

Samson Lotigo, PE  
**HALFF ASSOCIATES, INC.**  
Firm No. 0312  
Attachments: Plat markups



LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, being part of the Reuben Bebee Survey, Abstract No. 29, Denton County, Texas, and being all of Lot 4, Block O of the final plat of Sanger Circle, Phase 7, recorded in Document No. 2025-412 of the Official Records of Denton County, Texas (ORCCT) and a part of that certain called 9.297 acre tract described in a deed to Lou Henry Cooper, recorded in Volume 1005, Page 253 of the Deed Records of Denton County, Texas (DRDCT) and being more completely described as follows, to-wit:

BEGINNING at a 1/2" iron rod (sat) for the northeast corner of the Sanger Circle, Phase 7, the northwest corner of the Lou Henry Cooper tract;

THENCE South 89°46'44" East with the north line of the Sanger Circle, Phase 7, the northwest corner of the Lou Henry Cooper tract; a distance of 15.08 feet to a 1/2" iron rod (sat) for corner;

THENCE with the west line of the Henry Cooper tract as follows:

South 44°7'03" East a distance of 69.77 feet to a 1/2" iron rod (sat) for corner;

South 21°42'09" East a distance of 603.70 feet to a 1/2" iron rod (sat) for corner;

South 52°30'26" East a distance of 100.16 feet to a 1/2" iron rod (sat) for corner;

South 99°39'33" East a distance of 308.28 feet to a 1/2" iron rod (sat) for corner in the west right of way of Marion Road, a variable right of way;

THENCE South 123°45' West with the west right of way of Marion Road a distance of 171.14 feet to a 1/2" iron rod (sat) for the northeast corner of Lot 40, Block B;

THENCE North 99°39'33" West with the north line of Lot 40, Block B a distance of 107.23 feet to a 1/2" iron rod (sat) for corner;

THENCE North 84°34'34" West a distance of 26.75 feet to a 1/2" iron rod (sat) for corner in the north right of way of Thistle Drive, a 50 foot right of way;

THENCE with the north right of way of Thistle Drive and a curve to the left having a radius of 50.00 feet, a chord of South 80°33'23" West - 98.21 feet a distance of 138.15 feet to a 1/2" iron rod (sat) for corner;

THENCE North 89°35'48" West a distance of 190.00 feet to a 1/2" iron rod (sat) for corner;

THENCE North 55°08'57" West a distance of 16.69 feet to a 1/2" iron rod (sat) for the southwest corner of Lot 1, Block O;

THENCE North 68°7'55" East with the south line of Lot 1, Block O a distance of 120.00 feet to a 1/2" iron rod (sat) for the southeast corner of Lot 1, Block O;

THENCE North 21°42'05" West with the east line of Lots 1, 2, 3 Block O a distance of 151.51 feet to a 1/2" iron rod (sat) for the northeast corner of Lot 3, Block O;

THENCE South 68°7'55" West with the north line of Lot 3, Block O a distance of 120.00 feet to a 1/2" iron rod (sat) for the northwest corner of Lot 3, Block O;

THENCE South 68°7'55" West with the north line of Lot 3, Block O a distance of 120.00 feet to a 1/2" iron rod (sat) for the northwest corner of Lot 3, Block O in the east right of way of Thistle Drive;

THENCE North 21°42'05" West with the east right of way of Thistle Drive a distance of 537.12 feet to a 1/2" iron rod (sat) for the beginning of a curve to the left having a radius of 50.00 feet, a chord of North 08°42'34" West - 35.10 feet, a distance of 25.87 feet to a 1/2" iron rod (sat) for the southwest corner of Lot 10, Block M;

THENCE North 33°44'09" East with the south line of Lot 10, Block M a distance of 182.14 feet to the place of beginning, containing 2.475 acres or 107,808 square feet of land.

Acreeage does not match closure report. error of closure shall not exceed one (1) in fifty thousand (50,000) for the plat boundary per Ordinance § SO-6B.6.b

STATE OF TEXAS  
COUNTY OF DENTON  
I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.



REGISTERED PUBLIC LAND SURVEYOR TEXAS REG. NO. 5515 DATE

State of Texas  
County of Denton

Before me, the undersigned authority, on this day personally appeared Philip W. Cornett, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity hereinafter stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, Jonathan Wang acting herein by and through its duly authorized officer, does hereby adopt this plat designating the hereinabove described property as REPLAT OF LOT 4, BLOCK O OF SANGER CIRCLE, PHASE 7, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the same, and assigns to warrant and to forever defend the title on the land so dedicated.

Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with City codes and other provisions of the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity of any time of procuring permission from anyone.

WITNESS MY HAND this \_\_\_\_ day of \_\_\_\_\_, 2026.

Owner  
Title and Company

Print Owner's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, Lou Cooper, does hereby adopt this plat designating the hereinabove described property as REPLAT OF LOT 4, BLOCK O SANGER CIRCLE, PHASE 7, an addition to the City of Sanger, Texas, and does hereby dedicate to the public use forever all streets, thoroughfares, alleys, fire lanes, drive aisles, parks, and watercourses, and to the public use storm drainage facilities, utilities and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other provisions of the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity of any time of procuring permission from anyone.

Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition in accordance with City codes and other provisions of the City of Sanger. The City of Sanger and public utility entities shall have the right to access and maintain all respective easements without the necessity of any time of procuring permission from anyone.

WITNESS MY HAND this \_\_\_\_ day of \_\_\_\_\_, 2026.

Owner  
Title and Company

Print Owner's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public in and for the State of Texas

Print Notary's Name

My Commission Expires

No.	DATE	REVISION	APPROV.

Middleton & Assoc., LLC  
CONSULTING CIVIL ENGINEERS & LAND PLANNERS  
TBPE #F-10900 © Copyright 2026  
2785 ROCKBROOK DRIVE, SUITE 105  
LEWISVILLE, TEXAS 75067 (972) 393-9800

SURVEYOR  
JOHN COWAN & ASSOCIATES, INC.  
10147 CR 135 FLINT, TEXAS 75762 PH: (903) 581-2238  
FIRM REGISTRATION CERTIFICATION NO. 10025500

REPLAT OF LOT 4, BLOCK O OF SANGER CIRCLE, PHASE 7  
2.475 AC. 10 RES. LOTS - 1 HOA LOTS  
REUBEN BEBEE SURVEY, ABST. NO. 29  
CITY OF SANGER, DENTON, COUNTY, TEXAS

Date: 3-10-26  
Dwg Scale: Hor: 1"=40'  
Vert.  
Dwg File: 0118002RPT.DWG  
Project No. 0118002 - T25-076

RPP12

# Response Form

26SANZON-0010

Sanger Circle Ph 7 – Replat

In order for your opinion to be counted, please complete and mail this form to:

**Development Services Department**

**Attn: Ramie Hammonds**

**P.O. Box 1729**

**Sanger, TX 76266**

You may also email a copy to:

Email: [rhammonds@sangertexas.org](mailto:rhammonds@sangertexas.org)

**Project No:** 26SANZON-0010/Sanger Circle Ph 7 – Replat

**Please circle one:**  In favor of request       Opposed to request

**Comments:**

Signature

*D. L. Booth - DR. Horton - Texas, Ltd.*

Printed Name

*David L Booth*

Mailing Address

*4302 Miller Road*

City, State, Zip

*Rowlett TX 75088*

Phone Number

*469-974-6540*

Email Address

*dbooth@drhorton.com*

Physical Address of Property within 200 feet

*various properties in Sanger Circle 7 (36 lots)*