



# HISTORIC PRESERVATION COMMISSION REGULAR MEETING

City Council Chambers, 448 East First Street, Salida, CO  
October 27, 2022 - 4:00 PM

## AGENDA

Email public comments to: [publiccomment@cityofsalida.com](mailto:publiccomment@cityofsalida.com)

Please register for the Historic Preservation Commission meeting:  
<https://register.gotowebinar.com/register/3554519206418386960>

### CALL TO ORDER

### APPROVAL OF THE MINUTES

#### 1. September 22, 2022 - Draft Minutes

### UNSCHEDULED CITIZENS

### AMENDMENT(S) TO AGENDA

### PUBLIC HEARINGS

Public Hearings will follow the following procedure:

- |                                |                          |
|--------------------------------|--------------------------|
| A. Open Public Hearing         | E. Close Public Hearing  |
| B. Staff Review of Application | F. Commission Discussion |
| C. Applicant's Presentation    | G. Commission Decision   |
| D. Public Input                |                          |

#### 2. Major Certificate of Approval - Moore & Killen Block, Mildred Hotel (The Vic) - 135-143 North F Street

The request is to receive a Certificate of Approval on the following exterior alterations that is being proposed for the Moore & Killen Block, Mildred Hotel located at 143 North F Street and the Indian Grill, Salida Café located at 135 N. F Street.

- 1) Sackett Avenue façade- remove boarding and enlarge one (1) window to restore the original window opening.
- 2) North F Street façade - enlarge two (2) existing window openings to restore the original window openings.
- 3) Remove all of the awnings.
- 4) Repoint and repair the brick as needed.
- 5) Remove and replace deck at the rear of the building.
- 6) Repaint the mural on the Sackett Avenue façade.

The only request for the 135 N. F Street building is to add mechanical screening on the roof of the building for security around the equipment which will also visually hide the equipment. The screening will be placed towards the back alley to reduce its visibility

### COMMISSIONERS' COMMENTS

3. Discuss possible dates in November or December to have a work session on an upcoming application

### ADJOURN

\*\*An alternate can only vote on, or make a motion on an agenda item if they are designated as a voting member at the beginning of an agenda item. If there is a vacant seat or a conflict of interest, the Chairman shall designate the alternate that will vote on the matter. If a Voting member shows up late to a meeting, they cannot vote on the agenda item if the alternate has been designated.

*Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the City Clerk at 448 E. 1st Street, Ste. 112, Salida, CO 81201, Ph. 719-530-2630 at least 48 hours in advance.*



# HISTORIC PRESERVATION COMMISSION REGULAR MEETING

City Council Chambers, 448 East First Street, Salida, CO  
September 22, 2022 - 4:00 PM

## MINUTES

Email public comments to: [publiccomment@cityofsalida.com](mailto:publiccomment@cityofsalida.com)

Please register for the Historic Preservation Commission meeting:  
<https://register.gotowebinar.com/register/3554519206418386960>

### CALL TO ORDER

#### PRESENT

Chairman Keith Krebs  
Commissioner Patrick Regan  
Commissioner Steve Chapman

#### ABSENT

Co-Chairman Steve Harris  
Commissioner Jack Chivvis  
Alternate Commissioner Ryan Short

### APPROVAL OF THE MINUTES

#### 1. June 23, 2022 - Draft Minutes

Motion to approve the minutes was made by Commissioner Chapman, Seconded by Commissioner Regan.  
Voting Yea: Chairman Krebs, Commissioner Regan, Commissioner Chapman

### THE MOTION PASSED.

### UNSCHEDULED CITIZENS- NA

### AMENDMENT(S) TO AGENDA- NA

### PUBLIC HEARINGS

Public Hearings will follow the following procedure:

- |                                |                          |
|--------------------------------|--------------------------|
| A. Open Public Hearing         | E. Close Public Hearing  |
| B. Staff Review of Application | F. Commission Discussion |
| C. Applicant's Presentation    | G. Commission Decision   |
| D. Public Input                |                          |

2. **Sherman Hotel - Major Certificate of Approval** - The applicant, Greg Kenny, is requesting approval to remove three (3) windows and expand the openings to accommodate a single door in each opening at the Sherman Hotel located at 121 G Street.

#### A. Open Public Hearing- 4:03pm

#### B. Staff Review of Application-

Planner Dunleavy, reviewed the application.

**C. Applicant's Presentation-** Applicant Greg Kenny and Cate Kenny were present to answer questions.

#### D. Public Input- NA

**E. Close Public Hearing:** 4:09 pm.

**F. Commissioner Discussion:**

Commission spoke with the applicant about the two light door in the application. They requested that it be a full light door. Applicant Greg Kenny complied with the request.

**G. Commissioner Decision:**

Motion to approve to remove the three windows and expand the openings to accommodate a single door in each opening with a request that the door be a full light door was made by Commissioner Chapman, Seconded by Commissioner Regan.

Voting Yea: Chairman Krebs, Commissioner Regan, Commissioner Chapman

**THE MOTION PASSED.**

**COMMISSIONERS' COMMENTS-** NA

**ADJOURN:** The meeting was adjourned at 4:15pm



### STAFF REPORT

**MEETING DATE:** October 27, 2022  
**AGENDA ITEM TITLE:** Moore & Killen Block, Mildred Hotel, 135-143 N. F Street- Major Certificate of Approval Application  
**AGENDA SECTION:** Public Hearing

**REQUEST:** The request is to receive a Certificate of Approval on the following exterior alterations that is being proposed for the Moore & Killen Block, Mildred Hotel located at 143 North F Street and the Indian Grill, Salida Café located at 135 N. F Street:

- 1) Sackett Avenue façade- remove boarding and enlarge one (1) window to restore the original window opening.
- 2) North F Street façade - enlarge two (2) existing window openings to restore the original window openings.
- 3) Remove all of the awnings.
- 4) Repoint and repair the brick as needed.
- 5) Remove and replace deck at the rear of the building.
- 6) Repaint the mural on the Sackett Avenue façade.



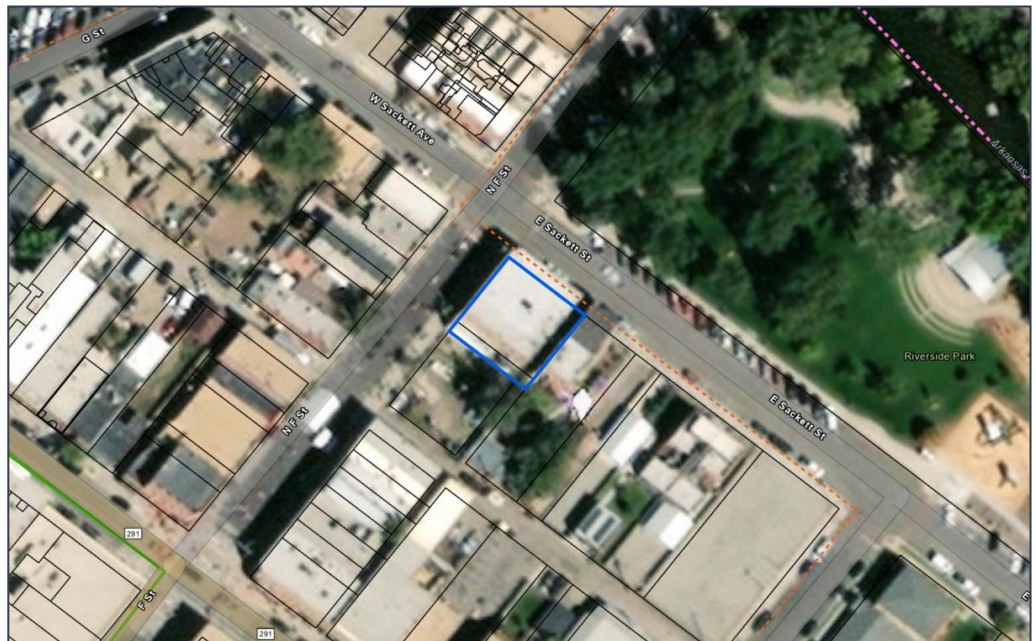
The only request for the 135 N. F Street building is to add mechanical screening on the roof of the building for security around the equipment which will also visually hide the equipment. The screening will be placed towards the back alley to reduce its visibility.

**APPLICANT:**

The applicant is The Vic LLC c/o Andrew Fink, 1900 23<sup>rd</sup> Street, Boulder, CO 80302. The applicant’s representative is Erica Hewitt of Steamboat Architectural Associates.

**LOCATION:**

The property is located at Lots A, B and C, Block 4, in the original site of the Town (now City) of Salida and is addressed as 135-143 North F Street.



**PROCESS:**

A major certificate of approval (CA) shall be reviewed and ruled upon by the Historic Preservation Commission at a regular or special meeting to be conducted within thirty-one days from the date the application was determined complete, or within a longer time period as necessary to reasonably accommodate the application on an HPC agenda.

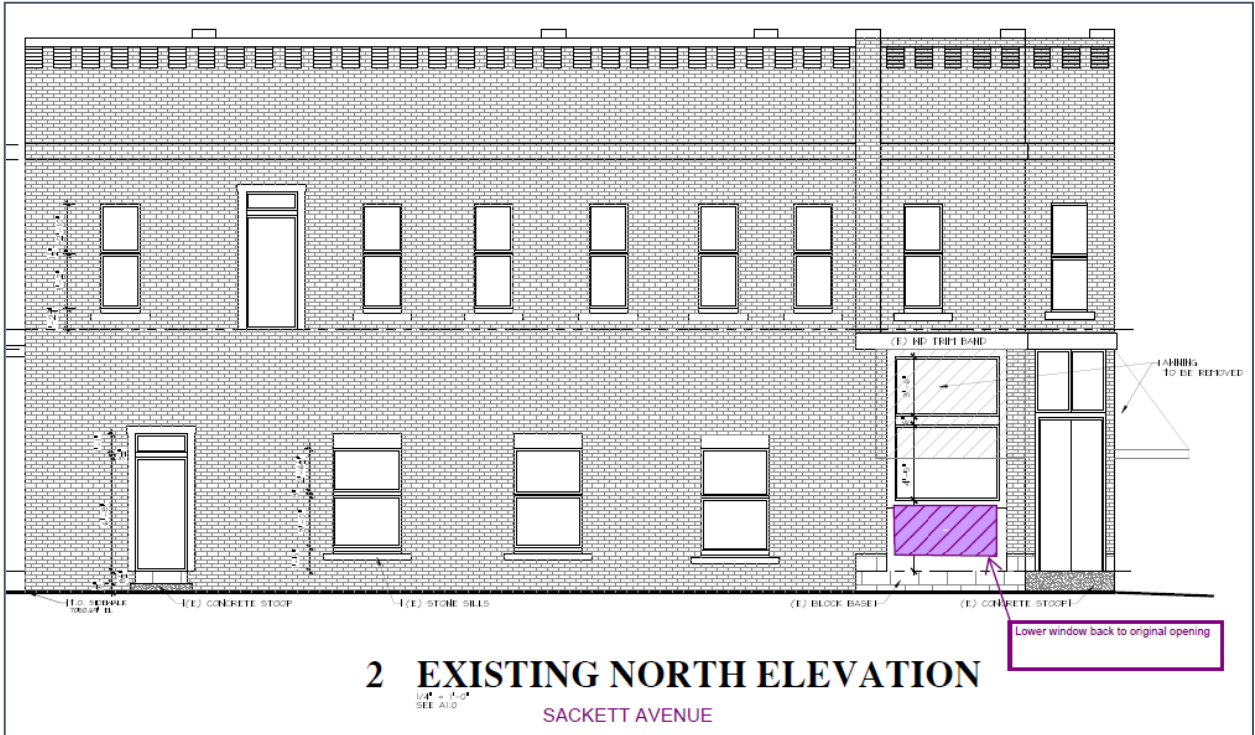
The Commission shall approve, approve with conditions, or deny the application, or remand it back to the applicant with instructions for modification or additional information or action.

**OBSERVATIONS:**

1. The subject property is located within the Central Business (C-2) zone district and the Downtown Historic District and the Central Business Economic Overlay (CBEO).
2. The 143 North F Street building is considered a **contributing** building to the downtown historic district. According to the Architectural Inventory for this property: “this building, is associated with the development of North F Street, having offered furnished rooms and hotel rooms, and having housed a variety of businesses popular on the section of F Street, including saloons, barbers, and pool rooms. The building’s architecture represents the commercial design of the early twentieth century in Salida, and is notable for its corbelled cornice and paneled frieze, brick wall piers and brick columns with stone trim, tall double-hung sash windows with stone sills, and beveled corner. The building is also notable for retaining many of the features of its original storefronts.”
3. The applicant is requesting approval for exterior alterations to the building at 143 North F Street and as part of this project he will also be doing extensive interior renovations (all of the exterior and interior plans are attached for the Commissions review). As part of the renovations they are requesting to restore three (3) windows back to the original openings, two (2) windows on the North F Street elevation and one (1) window on the Sackett Avenue elevation. The request also includes removing all of the awnings.

Awnings to be removed.  
 Brick infill to be removed and windows restored to original openings.





- 4. The remaining requests are to repoint and repair the brick as needed, remove and replace deck on the rear elevation of the building and repaint the mural on the Sackett Avenue façade.

**REVIEW STANDARDS:**

**1. Conformance with Certificate of Approval Review Standards for a contributing building (Section 16-12- 80(a)) using the Design Guidelines in the review):**

A. Architectural Character. Whether and/or to what extent the proposed work will preserve, protect, change, diminish, disguise, obscure, detract from or destroy the appearance or structural integrity of the historic features, design, materials, character or value of the structure or site.

- The request is to restore three (3) windows back to the original openings, two (2) windows on the North F Street elevation and one (1) window on the Sackett Avenue elevation. The proposed work will preserve the original window openings and bring back the original look of the building and storefront windows.

- ✳ The Secretary of Interior Standards for Rehabilitation recommends identifying, retaining, and preserving storefronts – and their functional and decorative features- that are important in defining the overall historic character of the building such as display windows, signs, doors, transoms, kick plates, corner posts and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other later alterations can help reveal the historic character of the storefront.

- The removal and replacement of the deck on the rear elevation is not highly visible from a public street. The proposed changes will be an improvement to the property and will not detract from the appearance of the structure.



- The improvements to the North F Street and Sackett Avenue façades will contribute to the overall integrity and vitality of the downtown. The proposed work would contribute to the pedestrian-friendly street presence.

The historic features will be preserved where possible and replicated when preservation is not possible. The renovations to this building will be an enhancement to the Downtown Historic District.

B. Original Materials. Whether original designs, materials, finishes and construction techniques that characterize the historic value and appearance of a structure or site can be retained, restored or repaired as opposed to replaced, and whether replacement designs, materials or finishes can match and/or accurately replicate the originals.

- The applicants are proposing to retain as much of the original materials as possible and if they aren't able to retain original materials they will replace them with in-kind materials.
  - The applicant will also repoint and repair the brick as needed and will follow the Secretary of Interior Standards.
    - ✱ The Secretary of Interior Standards for Rehabilitation recommends repairing masonry walls and other masonry features by repointing the mortar joints where there is evidence of deterioration such as disintegrating mortar, cracks in mortar joints, loose bricks, damp wall, or damaged plasterwork. Removing deteriorated mortar by carefully hand-raking the joints to avoid damaging the masonry. Duplicating old mortar in strength, composition, color and texture.
  - Salida Design Guidelines – Part 3 Rehabilitation Guidelines states that, “while preservation or repair of the original feature is the preferred alternative, in-kind replacement is also an option. Replacement should occur only if the existing historic material is beyond repair or if it is economically infeasible to repair. If replacement is necessary, the new materials should be in-kind, which means they match that being replaced in material, design, color, texture, and other visual qualities to the fullest extent possible”.
  - Salida Design Guidelines for windows states that, “replacement windows shall match exactly the appearance, function and materials of the original including glazing, including leaded and stained or painted glass”. This guideline has been followed with the submitted proposal.
- C. Minimum Change. Whether and/or to what extent the proposed work will require more than a minimal change to the historic appearance, materials or integrity of the structure or site.
- The original materials that remain and the original storefront windows will be restored. Other elements such as the kick plates and doors will be retained and repainted that are more characteristic of the original style of the building as shown in the historic photos.
  - The change to the overall historic appearance of the building will be restored therefore will have a positive effect to the historic appearance of the structure.
- D. New Construction. New additions, exterior alterations and related work shall not destroy or detract from the existing historic structure and materials to the maximum extent feasible, and such new work or alterations shall be differentiated from, but compatible with, the existing size, scale and exterior architectural features of the structure or site so as to protect its historic identity and integrity.

- The majority of the proposed work is to the interior of the buildings. The proposed exterior alterations will not destroy or detract from the existing historic structure.
- E. Historic Appearance. Work that will protect or return the original historic appearance of a structure or site, especially where documented by photographs, historic research or other credible evidence, shall be encouraged and favored.
- The proposed work will return the original historic appearance of a structure.
  - The applicant is also proposing to repaint the mural. Although the Commission doesn't make decisions on repainting of murals the applicant and the applicant's Architect wanted the Commissions feedback on the proposal.
- F. Work Necessary. Whether the proposed work is required or necessary to comply with a building, fire or other health/safety code.
- The proposed work will comply with all existing building, fire and other health/safety codes, however, it is not necessary that this work be performed in order to comply with those codes.

#### **RECOMMENDED FINDINGS:**

Based upon the observations and review standards outlined above, staff recommends the following:

1. That the application is in compliance with the review standards for contributing structures in the historic district because the changes do not detract from the historic integrity of the structure.
2. The changes will be compatible with the historic district and will enhance the overall district.

#### **RECOMMENDED MOTION:**

Based upon the observations and review standards outlined above, staff recommends **approval** of the application with the following condition:

1. Upon completion of the project the applicant contact staff to schedule an inspection of the approved work with members of the Historic Preservation Commission.
2. Any changes or modifications from the approved application the Historic Preservation Commission's review and approval is required.

Attachment: Application  
Architectural Inventory Form for 135-143 North F. Street

COLORADO CULTURAL RESOURCE SURVEY

# Architectural Inventory Form

Page 1 of 3

- Date \_\_\_\_\_ Initials \_\_\_\_\_
- \_\_\_\_\_ Determined Eligible-NR
- \_\_\_\_\_ Determined Not Eligible-NR
- \_\_\_\_\_ Determined Eligible-SR
- \_\_\_\_\_ Determined Not Eligible-SR
- \_\_\_\_\_ Need Data
- \_\_\_\_\_ Contributes to Eligible NR District
- \_\_\_\_\_ Noncontributing to Eligible NR District

## I. IDENTIFICATION

1. **Resource Number:** 5CF406.58
2. **Temporary Resource Number:** 40
3. **County:** Chaffee
4. **City:** Salida
5. **Historic Building Name:** Indian Grill, Salida Café
6. **Current Building Name:** Pizzaphilia
7. **Building Address:** 135 N. F St.
8. **Owner Name and Address:** Simonson, Peter, 143 N. F Street, Salida, CO 81201

**Parcel Number:** 368132404081  
**SHF Grant Number:** 2001-02-004

## II. GEOGRAPHIC INFORMATION

9. P.M. N.M. Township 50N Range 9E  
 1/4 1/4 SE 1/4 SE 1/4 of Section 32

### 10. UTM Reference

Zone 13 Easting 413669 Northing 4265630

### 11. USGS Quad Name:

Salida East, Colo.  
 Year: 1994 Map Scale: 7.5' Attach photo copy of appropriate map section.

### 12. Lot (s):

11-13 (part)  
 Addition: Salida Original Townsite

Block(s): 4

Year of Addition: 1880

### 13. Boundary Description and Justification:

Boundary includes the building and the urban parcel on which it is situated.

## III. ARCHITECTURAL DESCRIPTION

### 14. Building Plan (footprint, shape):

Rectangular

### 15. Dimensions in Feet: Length

63 X Width 10

### 16. Stories:

1

### 17. Primary External Wall Material(s) (enter no more than two):

Brick

### 18. Roof Configuration (enter no more than one):

Flat

### 19. Primary External Roof Material (enter no more than one):

Asphalt

### 20. Special Features (enter all that apply):

Decorative Cornice

### 21. General Architectural Description:

One-story rectangular brick commercial building with flat roof stepped down toward rear. Cornice composed of bands of multiple courses of brick with piers at each corner projecting above the roof. Brick walls of wire-drawn variegated brick in orange and yellow shades; rowlock course of brick above storefront. Dark brown panel and hanging sign above storefront. Metal lintel across storefront. Clerestory windows and plate glass display windows with brick under windows. Off-center, inset entrance, with wood door with large rectangular light and transom. South wall stuccoed, where an adjacent building was removed.

22. **Architectural Style/Building Type:** Late 19th and Early 20th Century American Movements/Commercial Style

23. **Landscaping or Special Setting Features:**

N/A

24. **Associated Buildings, Features, or Objects:**

None

#### IV. ARCHITECTURAL HISTORY

25. **Date of Construction:** Estimate 1914-1929 Actual

**Source of Information:** Sanborn maps, 1914 and 1929

26. **Architect:** Unknown

**Source of Information:**

27. **Builder/Contractor:** Unknown

**Source of Information:**

28. **Original Owner:** Unknown

**Source of Information:**

29. **Construction History (include description and dates of major additions, alterations, or demolitions):**

This building was not present on the 1914 Sanborn map, but is present on the 1929 map.

30. **Original Location:** Yes **Date of Moves**

#### V. HISTORICAL ASSOCIATIONS

31. **Original Use(s):** Commerce and Trade

32. **Intermediate Use(s)** Commerce and Trade/Restaurant

33. **Current Use(s):** Commerce and Trade/Restaurant

34. **Site Type(s):** Commercial Building

35. **Historical Background:**

This building was erected between 1914 and 1929, based on Sanborn maps. The building was not shown on the 1914 map, but is present on the 1929 map, when it was labeled "store." The 1930-31 city directory indicates the building was vacant. In 1951 the Indian Grill Restaurant, operated by Earl Stevenson, was located here. The restaurant had previously been located in the Central Block. A 1952 photograph shows the Salida Café at this location.

36. **Sources of Information:**

Chaffee County Assessor records; Salida City Directories; Sanborn Insurance Maps; Russ Collman, editor, Trails Among the Columbine (Denver: Sundance Publications, 1992); Salida Walking Tours; Survey Form, 135 N. F., 1981.

#### VI. SIGNIFICANCE

37. **Local Landmark Designation:** No **Date of Designation:**

**Designating Authority:**

38. **Applicable National Register Criteria:**

- A. Associated with events that have made a significant contribution to the broad pattern of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- D. Has yielded, or may be likely to yield, information important to history or prehistory.

Qualifies under Criteria Considerations A through G (See Manual).

X Does not meet any of the above National Register criteria.

39. **Area(s) of Significance:**

40. **Period of Significance:**

**41. Level of Significance:**

**42. Statement of Significance:**

This building is representative of the commercial structures built during the 1910s and 1920s in Salida and is notable for its unaltered appearance.

**43. Assessment of Historic Physical Integrity Related to Significance:**

The building maintains excellent historic physical integrity. The south wall is stuccoed.

**VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT**

**44. National Register Field Eligibility Assessment:** Not eligible

**45. Is there National Register district potential? Discuss.** N/A

This building is located within an existing National Register district, the Salida Downtown Historic District.

**If there is NRHP district potential, indicate contributing status:** N/A

**46. If the building is in an existing NRHP district, indicate contributing status:** Contributing

**VIII. RECORDING INFORMATION**

**47. Photographic Reference(s):** 24: 8, 10

**Negatives Filed At:** City of Salida

**Photographer:** Roger Whitacre

**48. Report Title:** Downtown Salida Historic Buildings Survey, 2001-02

**49. Date(s):** September 2002

**50. Recorder(s):** R.L. Simmons/T.H. Simmons

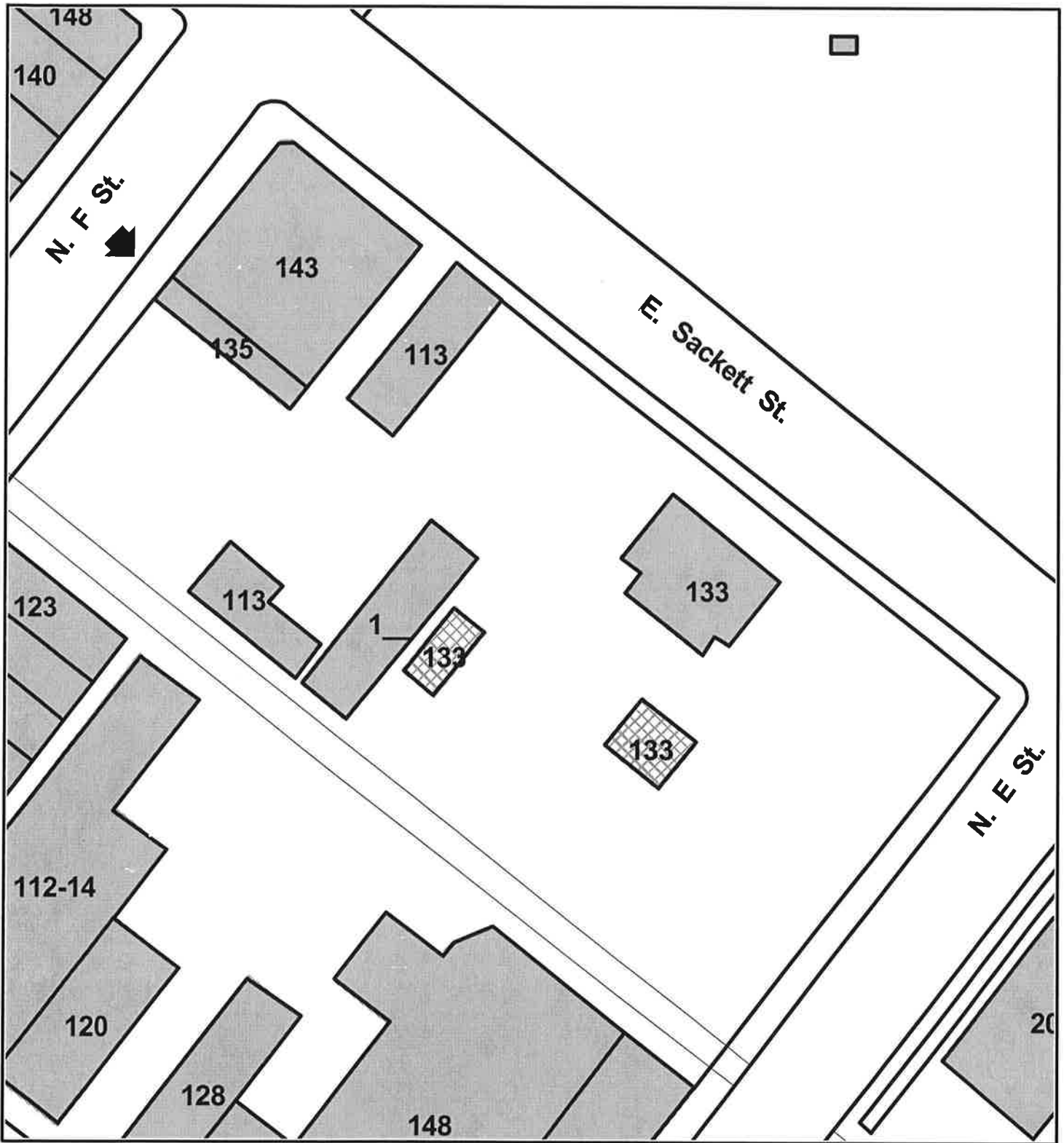
**51. Organization:** Front Range Research Associates, Inc.

**52. Address:** 3635 W. 46th Ave.

**53. Phone Number(s):** (303) 477-7597

NOTE: Please attach a sketch map, a photocopy of the USGS quad map indicating the resource's location, and photographs.

**Colorado Historical Society-Office of Archaeology and Historic Preservation**  
**1300 Broadway, Denver, Colorado 80203 (303) 866-3395**

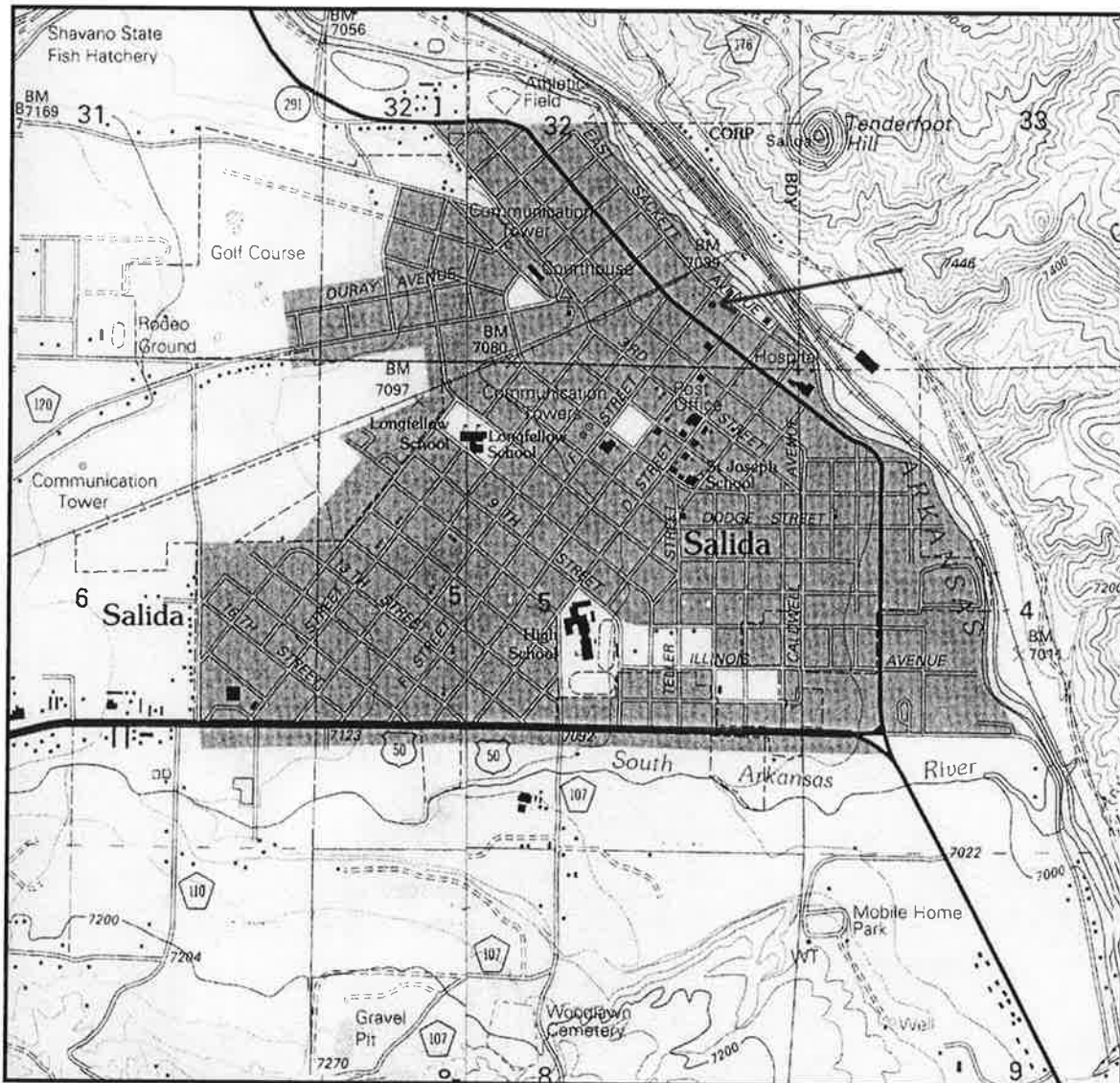


135 N. F Street, 5CF406.58



**Downtown Salida Historic Buildings Survey, 2001-02**  
**USGS Location Map**

135 N F St, 5CF406.58



Mosaic of extracts from U.S. Geological Survey, "Salida East, Colo.," and "Salida West, Colo.," (Denver, Colo.: U.S. Geological Survey, 1994).



COLORADO CULTURAL RESOURCE SURVEY

# Architectural Inventory Form

Page 1 of 4

- Date \_\_\_\_\_ Initials \_\_\_\_\_
- \_\_\_\_\_ Determined Eligible-NR
  - \_\_\_\_\_ Determined Not Eligible-NR
  - \_\_\_\_\_ Determined Eligible-SR
  - \_\_\_\_\_ Determined Not Eligible-SR
  - \_\_\_\_\_ Need Data
  - \_\_\_\_\_ Contributes to Eligible NR District
  - \_\_\_\_\_ Noncontributing to Eligible NR District

## I. IDENTIFICATION

1. **Resource Number:** 5CF406.56
2. **Temporary Resource Number:** 44
3. **County:** Chaffee
4. **City:** Salida
5. **Historic Building Name:** Moore & Killen Block, Mildred Hotel
6. **Current Building Name:** Victoria Bar
7. **Building Address:** 143 N. F St.
8. **Owner Name and Address:** Simonson, Peter, 143 N. F St., Salida, CO 81201

**Parcel Number:** 368132404079  
**SHF Grant Number:** 2001-02-004

## II. GEOGRAPHIC INFORMATION

9. **P.M.** N.M. **Township** 50N **Range** 9E  
 1/4 1/4 SE 1/4 SE 1/4 **of Section** 32

### 10. UTM Reference

**Zone** 13 **Easting** 413675 **Northing** 4265638

### 11. USGS Quad Name:

Salida East, Colo.  
**Year:** 1994 **Map Scale:** 7.5' Attach photo copy of appropriate map section.

### 12. Lot (s):

11-13 (part)  
**Addition:** Salida Original Townsite

### Block(s):

4  
**Year of Addition:** 1880

### 13. Boundary Description and Justification:

Boundary includes the building and the urban parcel on which it is situated.

## III. ARCHITECTURAL DESCRIPTION

### 14. Building Plan (footprint, shape):

Rectangular  
**Dimensions in Feet: Length** 65 **X Width** 63

### 16. Stories:

2  
**17. Primary External Wall Material(s) (enter no more than two):**

Brick

### 18. Roof Configuration (enter no more than one):

Flat

### 19. Primary External Roof Material (enter no more than one):

Asphalt  
**20. Special Features (enter all that apply):**

Decorative Cornice, Chimneys

### 21. General Architectural Description:

Two-story, rectangular, orange brick commercial building with stone foundation and with beveled corner facing F & Sackett streets. Flat roof with corbelled brick cornice; corbels extend into panels at top of wall. Upper west wall is divided into three bays by brick wall piers extending from multiple courses of molded brick at base of second story to roof. Central bay features four, tall, flat arch, double-hung sash windows with rock-faced stone sills and gauged brick lintels. Multiple courses of molded brick above lintels. Flanking bays of second story have three similar windows each: northern bay has evenly spaced windows while southern bay has unevenly spaced windows.

First story of west wall has continuous metal lintel ornamented with rosettes (paterae) above storefronts, which are divided by square brick columns with stone bases and capitals. Northern bay has plate glass display windows with fabric awnings; area under windows filled with brick. Center bay has entrance with paneled door, sidelights, and multi-light overdoor. Adjacent is storefront with off-center paneled door, wood frame plate glass windows with clerestory windows and paneled kickplates. Southern storefront has center entrance with door with transom and sidelights, wood frame plate glass windows, and paneled kickplates. Storefront is sheltered by fabric awning.

Beveled corner is flanked by slightly projecting brick wall piers on upper story and has corbelled cornice and paneling. One tall double-hung sash window with gauged brick lintel and stone sill on upper story. Projecting sign attached at corner. Corner entrance with tall double wood doors with large rectangular lights and two-part clerestory flanked by brick columns with stone bases and capitals.

North wall continues corbelled cornice and paneled frieze of west wall. First bay (west bay) of north wall is enframed with brick wall piers on upper story and has tall double-hung sash window with gauged brick lintel and stone sill on second story. Six similar windows along north wall, as well as paneled and glazed door with covered transom and evidence of balcony or firestair, now missing. First story continues storefront for one bay at west end, with clerestory windows, plate glass window, and paneled kickplate. Series of three wide double-hung sash windows with stone sills and paneled transoms. At east end of wall is slab door with covered transom, gauged brick lintel, and stone threshold. Rear has one-story projection at northeast corner and chimneys with metal pipe tops on roof.

**22. Architectural Style/Building Type:** Late 19th and Early 20th Century American Movements/Commercial Style

**23. Landscaping or Special Setting Features:**

N/A

**24. Associated Buildings, Features, or Objects:**

None

#### IV. ARCHITECTURAL HISTORY

**25. Date of Construction: Estimate** **Actual** 1901-02

**Source of Information:** Salida Mail, 28 February 1902, 1.

**26. Architect:** Unknown

**Source of Information:**

**27. Builder/Contractor:** Unknown

**Source of Information:**

**28. Original Owner:** Moore & Killen

**Source of Information:** Salida Mail, 28 February 1902

**29. Construction History (include description and dates of major additions, alterations, or demolitions):**

This parcel was vacant in 1898 according to the Sanborn map. The 1904 map shows the present building, divided into three spaces. The footprint of the building remains unchanged.

**30. Original Location:** Yes **Date of Moves**

#### V. HISTORICAL ASSOCIATIONS

**31. Original Use(s):** Commerce and Trade/Department Store/Grocery Store  
Social/Meeting Hall

**32. Intermediate Use(s)** Commerce and Trade/Restaurant/Bar  
Commerce and Trade/Specialty Store

**33. Current Use(s):** Commerce and Trade/Restaurant/Bar

**34. Site Type(s):** Commercial Building

**35. Historical Background:**

This building was erected in 1901-02. The 28 February 1902 Salida Mail reported, "Messrs. Moore and Killen have

their building at the corner of F and Front streets almost completed. The structure is of brick, substantially built, and includes two stories and basement. The room fronts on F street, and presents a neat, up-to-date appearance. The finishing work is now going on, and when completed the building will be rented as a store room." On 1 January 1903, under a list of buildings erected in the previous year, was "Killen & Moore, 2-story business-building, \$6,000." The 1903-04 city directory indicates that the upstairs contained furnished rooms operated by Mildred C. Johnson. [Salida walking tours indicate that the building was actually erected for Mildred Johnson.] The 1904 Sanborn map shows the building divided into three spaces on the ground floor: a grocery (147 F), a meat market (143 F), and a hall (139 F). An April 1904 Opera House program advertised "Cinematograph Theatre--Mildred Block. See Peck's Bad Boy and what happens to him after eating dried apples and drinking sweet cider. Other moving pictures, including Cinderella and the glass slipper. Admission, Ten Cents. Shows every night." By 1905-06, the building was advertised as the Hotel Mildred, Mrs. M.C. Johnson, proprietor, "European plan, first class rooms and accommodations." The 1905-06 city directory listed the Salvation Army Hall in 139 N. F St., while 143 housed Frank Buehring's shooting gallery. In 1906, an Opera House program advertised, "The Mildred Rooms Steam Heated--Modern Conveniences. Headquarters for Theatrical and Commercial People--Rooms on second floor."

The 1909 city directory listed this building as the Mildred Block. In that year, the Nick Muto Saloon occupied the 143 F storefront, the Charles Salerno Grocery was in the 139 F storefront, and the 147 F storefront was vacant. The 1914 Sanborn map showed the following: a cigar store, a barber, and a saloon (147F). By 1922-23, businesses in the building included: Dennis Thotokatos, confectioner, with residence in the building; Nigro & Marchi Billiards and Smokes (F.M. Nigro and Abraham Marchi); and, Clayton C. Honeywell. The upstairs rooms were managed by Hannah McComb. The 1927-28 city directory listed the Mildred Block: C.C. Honeywell, barber; Coscarella & Alloy, billiards; and the furnished rooms were known as "Travelers' Rooms." By 1930-31, the billiard parlor was known as the Eagle Pool Room, operated by Samuel Petratos. In 1951, businesses here included Neal's Pool Room, Neal F. Prunty, owner and manager, and the Victoria Hotel and Bar, Harvey Jackson, owner. By 1952, the Victoria Pool Room was shown in an historic photograph. The Victoria Bar is still located here today.

### 36. Sources of Information:

Chaffee County Assessor records; Salida City Directories; Sanborn Insurance Maps; Salida Walking Tours; Survey Form, 143 N. F St., 1981; Salida Mail, 28 February 1902 and 1 January 1903.

## VI. SIGNIFICANCE

37. Local Landmark Designation: No Date of Designation:

Designating Authority:

### 38. Applicable National Register Criteria:

- A. Associated with events that have made a significant contribution to the broad pattern of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- D. Has yielded, or may be likely to yield, information important to history or prehistory.

Qualifies under Criteria Considerations A through G (See Manual).

X Does not meet any of the above National Register criteria.

### 39. Area(s) of Significance:

### 40. Period of Significance:

### 41. Level of Significance:

### 42. Statement of Significance:

This 1901-02 building is associated with the development of North F Street, having offered furnished rooms and hotel rooms, and having housed a variety of businesses popular on this section of F Street, including saloons, barbers, and pool rooms. The building's architecture represents the commercial design of the early twentieth century in Salida, and is notable for its corbelled cornice and paneled frieze, brick wall piers and brick columns with stone trim, tall double-hung sash windows with stone sills, and beveled corner. The building is also notable for retaining many of the features of its original storefronts.

### 43. Assessment of Historic Physical Integrity Related to Significance:

The building displays substantial integrity. The kickplates of the corner storefront have been altered, and a few of the doors and overdoors have been replaced. A balcony is missing on the north wall.

**VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT**

44. National Register Field Eligibility Assessment: Not eligible

45. Is there National Register district potential? Discuss. N/A

This building is located in an existing National Register district, the Salida Downtown Historic District.

If there is NRHP district potential, indicate contributing status: N/A

46. If the building is in an existing NRHP district, indicate contributing status: Contributing

**VIII. RECORDING INFORMATION**

47. Photographic Reference(s): 24: 12, 14, 16, 20.

Negatives Filed At: City of Salida

Photographer: Roger Whitacre

48. Report Title: Downtown Salida Historic Buildings Survey, 2001-02

49. Date(s): September 2002

50. Recorder(s): R.L. Simmons/T.H. Simmons

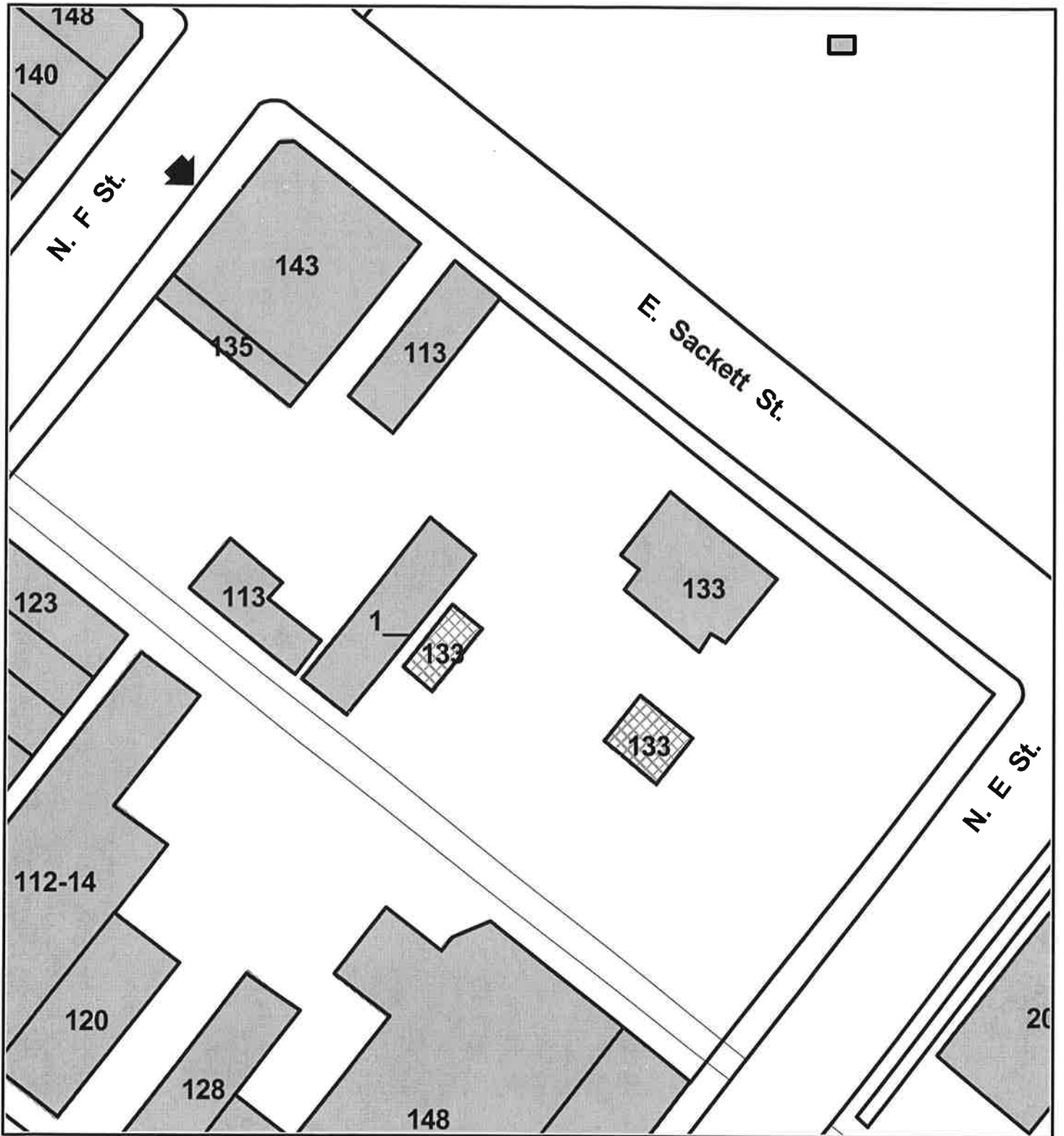
51. Organization: Front Range Research Associates, Inc.

52. Address: 3635 W. 46th Ave.

53. Phone Number(s): (303) 477-7597

NOTE: Please attach a sketch map, a photocopy of the USGS quad map indicating the resource's location, and photographs.

**Colorado Historical Society-Office of Archaeology and Historic Preservation  
1300 Broadway, Denver, Colorado 80203 (303) 866-3395**

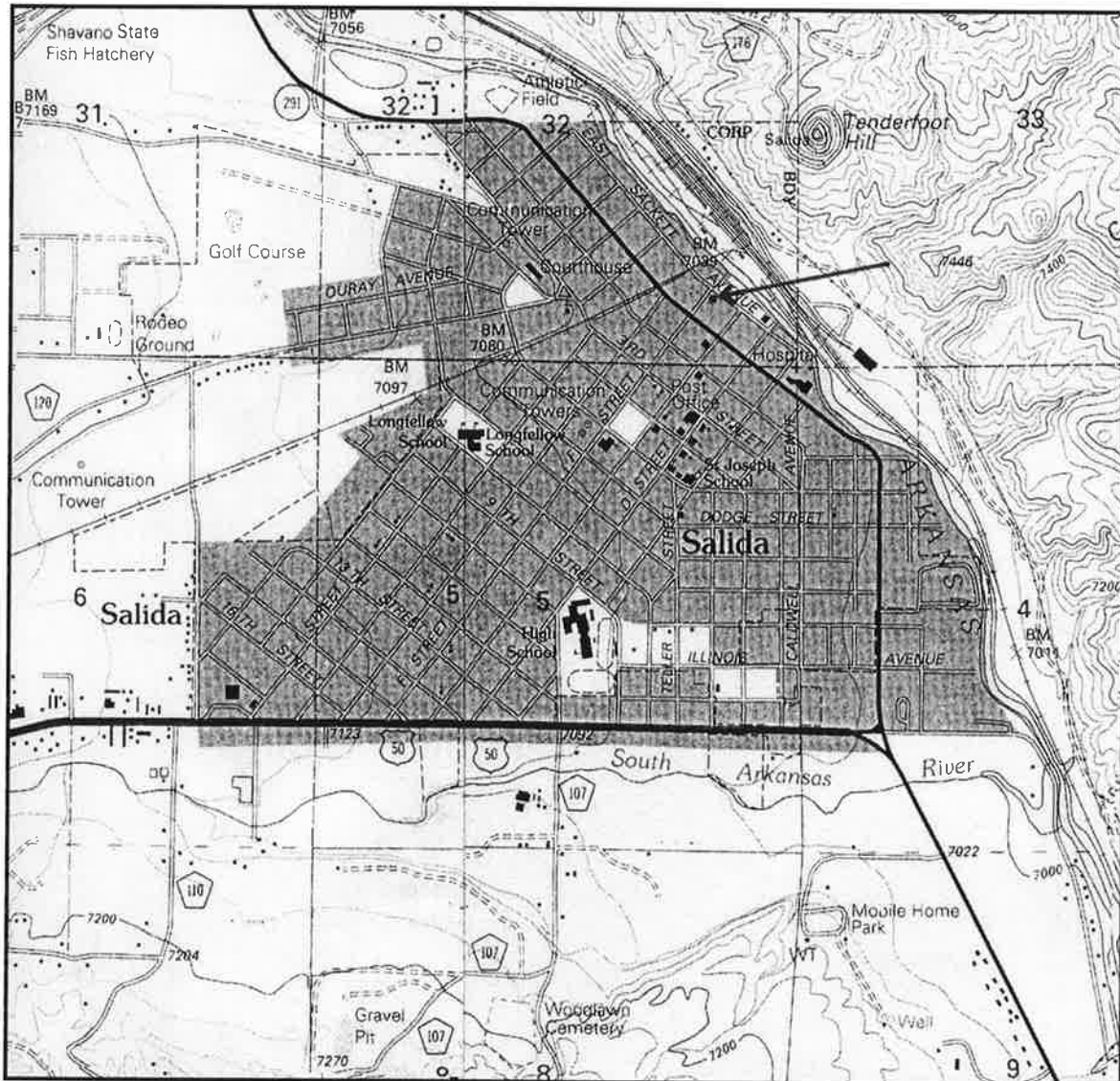


143 N. F Street, 5CF406.56



**Downtown Salida Historic Buildings Survey, 2001-02  
USGS Location Map**

143 N F St, 5CF406.56



Mosaic of extracts from U.S. Geological Survey, "Salida East, Colo.," and "Salida West, Colo.," (Denver, Colo.: U.S. Geological Survey, 1994).

Print File  
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STYLE NO. 35-8P





# GENERAL DEVELOPMENT APPLICATION

448 East First Street, Suite 112  
Salida, CO 81201

Phone: 719-530-2626 Fax: 719-539-5271  
Email: [planning@cityofsalida.com](mailto:planning@cityofsalida.com)

## 1. TYPE OF APPLICATION (Check-off as appropriate)

- Annexation
- Pre-Annexation Agreement
- Appeal Application (Interpretation)
- Certificate of Approval
- Creative Sign Permit
- Historic Landmark/District
- License to Encroach
- Text Amendment to Land Use Code
- Watershed Protection Permit
- Conditional Use
- Administrative Review:  
(Type) \_\_\_\_\_
- Limited Impact Review:  
(Type) \_\_\_\_\_
- Major Impact Review:  
(Type) \_\_\_\_\_
- Other: \_\_\_\_\_

## 2. GENERAL DATA (To be completed by the applicant)

### A. Applicant Information

Name of Applicant: The Vic LLC c/o Andrew Fink

Mailing Address: 1900 23rd Street, Boulder, CO 80302

Telephone Number: 203-856-0526 FAX: \_\_\_\_\_

Email Address: drewfink@gmail.com

Power of Attorney/ Authorized Representative: \_\_\_\_\_  
(Provide a letter authorizing agent to represent you, include representative's name, street and mailing address, telephone number, and FAX)

### B. Site Data

Name of Development: The Victoria Hotel and Bar

Street Address: 143 N F Street and 135 N F Street

Legal Description: Lot \_\_\_\_\_ Block 4 Subdivision \_\_\_\_\_ (attach description)  
A, B, C, & 10' wide alley

Disclosure of Ownership: List all owners' names, mortgages, liens, easements, judgments, contracts and agreements that run with the land. (May be in the form of a current certificate from a title insurance company, deed, ownership and encumbrance report, attorney's opinion, or other documentation acceptable to the City Attorney)

I certify that I have read the application form and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Signature of applicant/agent Erica Hewitt - representative Digitally signed by Erica Hewitt - representative  
DN: c=US, o=Erica@steamboatarchitectural.com, ou=Steamboat Architectural Associates, ou=Architect, cn=Erica Hewitt - representative  
Date: 2022.09.26 13:10:13-0600 Date 7/26/22

Signature of property owner \_\_\_\_\_  Date 9/26/23



# CERTIFICATE OF APPROVAL APPLICATION

448 East First Street, Suite 112  
Salida, CO 81201  
Phone: 719-530-2626 Fax: 719-539-5271  
Email: [planning@cityofsalida.com](mailto:planning@cityofsalida.com)

## 1. TYPE OF APPLICATION (Check-off as appropriate)

### A. Type

1.  **Minor Activity** - means or includes:

- a. The replacement of surface materials such as roofing or siding or an exterior architectural feature with materials and design substantially similar to the existing materials or design;
- b. The installation, removal or replacement of a fence, awning, roofing material or dumpster enclosure;
- c. The reuse of an existing window or door opening which has been covered or filled through installation of a replica of a historic door or glazing;
- d. Those activities deemed to not detrimentally impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be minor upon petition to and determination by the Administrator or his or her designee.

2.  **Major Activity** - means and includes:

- a. An activity not defined or qualifying as an insubstantial or minor activity, including, but not limited to, reconstruction, rehabilitation, remodeling, renovation, relocation or demolition;
- b. Alterations, additions or other work performed on a building, structure or site that result in the increase or decrease of site coverage, floor area or exterior wall or roof surface;
- c. The installation, alteration or removal of a window or door opening;
- d. The replacement or repair of surface materials such as roofing or siding or an exterior architectural feature with materials or design not substantially similar to the existing materials or design;
- e. The cleaning of an exterior surface of a contributing or landmark building or structure by sandblasting, high-pressure spraying or other chemical or mechanical means;
- f. Application of sealant, paint, stucco, texture or other material that would conceal, alter or damage the exterior of any contributing or landmark building with an existing unfinished or unpainted brick, masonry or other unfinished siding or structural element;
- g. Those activities deemed to potentially impact or influence in any substantial way the historic integrity or appearance of a landmark building, structure, site or designated historic district, or as deemed to be major upon petition to and determination by the Administrator or his or her designee.

## 2. PROCEDURE (City Code Section 16-12-80)

### A. Development Process

- 1. Pre-Application Conference. Optional.
- 2. Submit Application.
- 3. Staff Review. Determination of Minor or Major Activity.
  - a) Minor Activity. Administrative Review.
  - b) Major Activity. Posting of Site, Applicant. Notice and Action Taken by the Commission at the public hearing meeting.

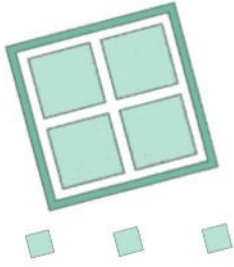
### STAFF USE ONLY

Application received by: \_\_\_\_\_ Date/Time: \_\_\_\_\_  
Code: \_\_\_\_\_ Project Name: \_\_\_\_\_ File Name: \_\_\_\_\_  
Fee: \_\_\_\_\_ Receipt #: \_\_\_\_\_ Check #: \_\_\_\_\_

3. APPLICATION CONTENTS (City Code Section 16-12-80(b)(2))

A. All Projects, 1 copy of all materials are required for major and minor applications:

- 1) **General Development Application.**
- 2) **Photographs.** All applications shall be accompanied by photographs reasonably and accurately depicting the current status of the building, structure or site, or that portion thereof, subject to the application. Include photographs showing all sides of the structure, particularly the front and any side affected by the proposed project and detailed photographs of the features affected by the project.
- 3) **Drawing Format.** Drawings shall be large enough so that all information is legible but no smaller than 11” x 17”. Sketch drawings are acceptable if they provide accurate information and are reasonable drawn to scale.
- 4) **Dimensioned Site Plan.** Site plan showing street locations, existing structure and proposed new elements or structures.
- 5) **Dimensioned Floor Plan(s).** Floor plans showing existing structures and proposed new elements or structures.
- 6) **Dimensioned Roof Plan.** Roof plan showing proposed new roof elements in context of the existing roof.
- 7) **Dimensioned Exterior Elevations.** Exterior elevations showing appearance of proposed project with all materials and indicating finishes.
- 8) **Building Sections and Construction Details.** Sections and details as required adequately explaining and clarifying the project. Note all materials and finishes.
- 9) **Specification of Materials.** Manufacturer’s product literature and material samples. Product literature is required for replacement windows.
- 10) **Bids.** If proposing to replace existing historic materials or features with replicas rather than repair or restore, firm bids must be provided for both restoration and replication.
- 11) **Window Replacement.** If proposing to replace historic windows (aside from wooden replica sash replacement) justification shall be provided as outlined in National Park Service Preservation Brief #9. Submittal must include written assessment of condition of existing windows.
- 12) **New Construction** shall include the following information:
  - a. **Block Site Plan.** A site plan or aerial photograph showing relationship of proposed structure to existing structures.
  - b. **Written Statement.** A written statement of the design philosophy and building program.
  - c. **Massing Model.** A massing model illustrating the relationship between the new structure(s) and existing building(s) on the project site and adjacent lots.
  - d. **Photographs.** Photographs of the surrounding structures including both block faces and side streets.
- 13) **Demolition or relocation** of a building, structure or site shall include the following:
  - a. A detailed description of the reasons supporting or justifying the proposed demolition or relocation, including a delineation and explanation of all economic data where economic hardship or other economic cause is given as a reason for the proposed demolition or relocation.
  - b. A detailed development or redevelopment plan for the demolition and/or receiving relocation site and a schedule for completion of the work.
  - c. Elevations, building sections, construction details, specifications and massing model of proposed replacement structure similar to those required for new construction.
  - d. For landmark or contributing structures the applicant must submit a report prepared by an architect, appraiser, engineer or other qualified person experienced in the rehabilitation, renovation and/or restoration of historic buildings, structures or sites addressing:
    - i) The structural soundness of the building, structure or site and its suitability for rehabilitation, renovation, restoration or relocation.
    - ii) The economic and structural/engineering feasibility of the rehabilitation, renovation and/or restoration of the building, structure or site at its current location.
    - iii) The economic and structural/engineering feasibility of relocating the building, structure or site.
- 14) **Application Fee.** \$50.00 for Minor Activity, \$100 for Major Activity. Cash or check made out to City of Salida.



345 Lincoln Avenue, Suite 200  
P.O. Box 772910  
Steamboat Springs, Colorado 80477

ph: (970) 879-0819  
fax: (970) 879-3406  
email: [saa@steamboatarchitectural.com](mailto:saa@steamboatarchitectural.com)

City of Salida  
Historic Preservation Commission  
c/o Kristi Jefferson  
448 East First Street, Suite 112  
Salida, CO 81201

September 26, 2022

RE: The Historic Victoria Hotel and Bar

Dear Historic Preservation Commission and Chairman Krebs,

On behalf of The Vic, LLC I am representing the owner of the historic Victoria Hotel and Bar and am submitting a certificate of approval for the proposed rehabilitation of the building. All work is meant to follow the City of Salida's Design Guidelines as well as the Secretary of the Interior Standards for the Rehabilitation.

The proposed work includes an interior remodel, along with some minor exterior work to include:

- Lowering the existing windows in the existing bar, on either side of the 45-degree entry door. It appears from a construction standpoint that the current windows have been infilled with brick and plywood. Looking at what remains, the bottom sills match the existing. For the window on the Sackett Street side, the bottom of the existing window lines up with horizontal mullions of the windows. On the F Street windows, the brick infill appears to be different than the rest of the brick, the mortar is slightly different color as are the bricks. The upper transom windows match the rest of the F Street windows and the bottom stone sill matches the rest as well. An older photo provided by the library shows the Mildred from the Sackett Street side and while fuzzy, it appears the window is lower similar to the other storefront windows on F Street. For continuity and to bring back the original look of the building, the windows will be lowered to match the other storefront windows. It's worth mentioning that a window manufacturer has not been called out for the window repair/rehabilitation. Since roughly ½ the window and frame exist, the intent is to rebuild the window using what is there, and if needed rebuild the entire frame matching the existing windows. The glass will need to match what was there previously as well. The GC will work closely with us on how to rebuild to match as the infill is demolished and we have a better idea what is left to rebuild. But the goal was not to replace the entire thing with a pre-manufactured window, but to rebuild exactly as the others were, using NPS Preservation Brief 9 The Repair of Historic Wooden Windows and Brief 11 Rehabilitating Historic Storefronts.
- Removing the awnings. The awnings were installed in the 1980's. Most historic photos of the building show the Victoria without the awnings.
- Repoint and repair the brick as needed using the NPS Preservation Briefs and Technical notes as noted on the plans.

- Repaint wood trim and doors per the NPS Preservation Briefs and Technical notes as noted on the plans.
- At the alley, the old deck will be removed and rebuilt a little bigger, more structurally sound. An egress stair will also be added. The cooler will be removed and a newer smaller one will be added further back in the alley space. An access gate will remain for security and to hide/enclose the dumpsters/trash from street view. The access to the basement is challenging and not to code for access. The current door frame is warped and too small to provide proper access for the mechanical equipment in the basement. A new code compliant stair to the basement will be built. The bricks and wood trim will also be repointed, repaired, and repainted as needed similar to the street elevations. The utilities in the alley are old and disorganized. The gas meters will be moved to a more accessible space, the current electric system will be abandoned and a new code compliant electrical system including transformer will be upgraded. The water and sewer will be upgraded as well. Due to the utility work being done behind the building, most of that area will be disturbed. The current condition of the space and alley behind the building is unsightly. The proposed finish work in this area is meant to make it a more occupiable, attractive, more visible, functional space. An added function of the space is the new tenants would like to provide ADA access into the building. Current ADA access is in the one-story café through the front door. The remodel will bring ADA customers into the bakery and through the kitchen to get to the restaurant seating. They would rather provide access that does not go through the Kitchen, so a concrete sidewalk and ramp at the back of the building has been added. Since it's in the back of the building, it would not affect any frontage elevations or be seen from street.
- The one-story café portion of the building will also be remodeled. The kitchen will be upgraded. The existing exterior wall is a one-wythe brick which is extremely unusual and structurally unsound. Internal columns will be placed along the wall to support. This work will not affect the exterior of the building.
- The work being done to the one-story café internally will need to include strengthening the roof structure. New HVAC equipment is needed to be placed on the roof of the building. Since the work has to be done to the one-story portion regardless, it made sense to strengthen the roof enough to support the new equipment needed for venting, heating and cooling the building. There is some concern from the structural engineer that the upper roof would not be able to handle any additional loads without majorly disturbing the integrity of the building. So the choice was made to disturb less and install on the lower roof. Per code, a mechanical screen is required for security around the equipment which will also visually hide the equipment. Everything is placed towards the back alley as well to diminish it's visibility.
- One last item to discuss with the Commission is murals on Sackett Street. We would like to propose repainting the larger mural with the more historic black background with Victoria in gold letters, similar to what has been on the building historically. The smaller mural that says Victoria Bar, we'd like to request updating with the logo of the Little Red Hen Bakery.

Included in our submittal per the attached checklist is current day photographs, historic photos, architectural plans including site plan, floor plans, roof plans, and sections.

The owner has also started the application for the state and federal historic preservation tax credit programs. We would appreciate any input the commission might have in regard to the overall project. The building will still be known as the Historic Victoria Building. The Little Red Hen Bakery will be taking over the main level expanding their current business to include a restaurant / bar that will serve

breakfast, lunch, and dinner. The historic bar, layout, floors, tin ceilings, etc will remain. The bathrooms will be refreshed with new fixtures and the lighting will be updated. The kitchen will be expanded but all the walls and floors will remain.

Upstairs will still be nightly rentals but going back to a more traditional hotel experience and will be called the Eddy. The layout upstairs will remain the same with the exception of the 2 toilet rooms and one communal shower room. They will be turned into storage and laundry. Each hotel unit will be made up of 2 rooms and will have its own bathroom. The old kitchen will be upgraded for guest access. A lounge room will also be created out of the old office and storage room.

We look forward to discussing the project with the Commission.

Thanks,



Erica Hewitt  
Project Manager/Historic Preservation Consultant  
Steamboat Architectural Associates



Corner View of the Victoria



F Street Elevation



Sackett Street Elevation



Back Deck / Behind Building



Roof View including one-story Cafe



Behind Building / "Alley"



Cafe side elevation with Hotel upstairs beyond



F Street brick infill windows



Front Elevation of Cafe



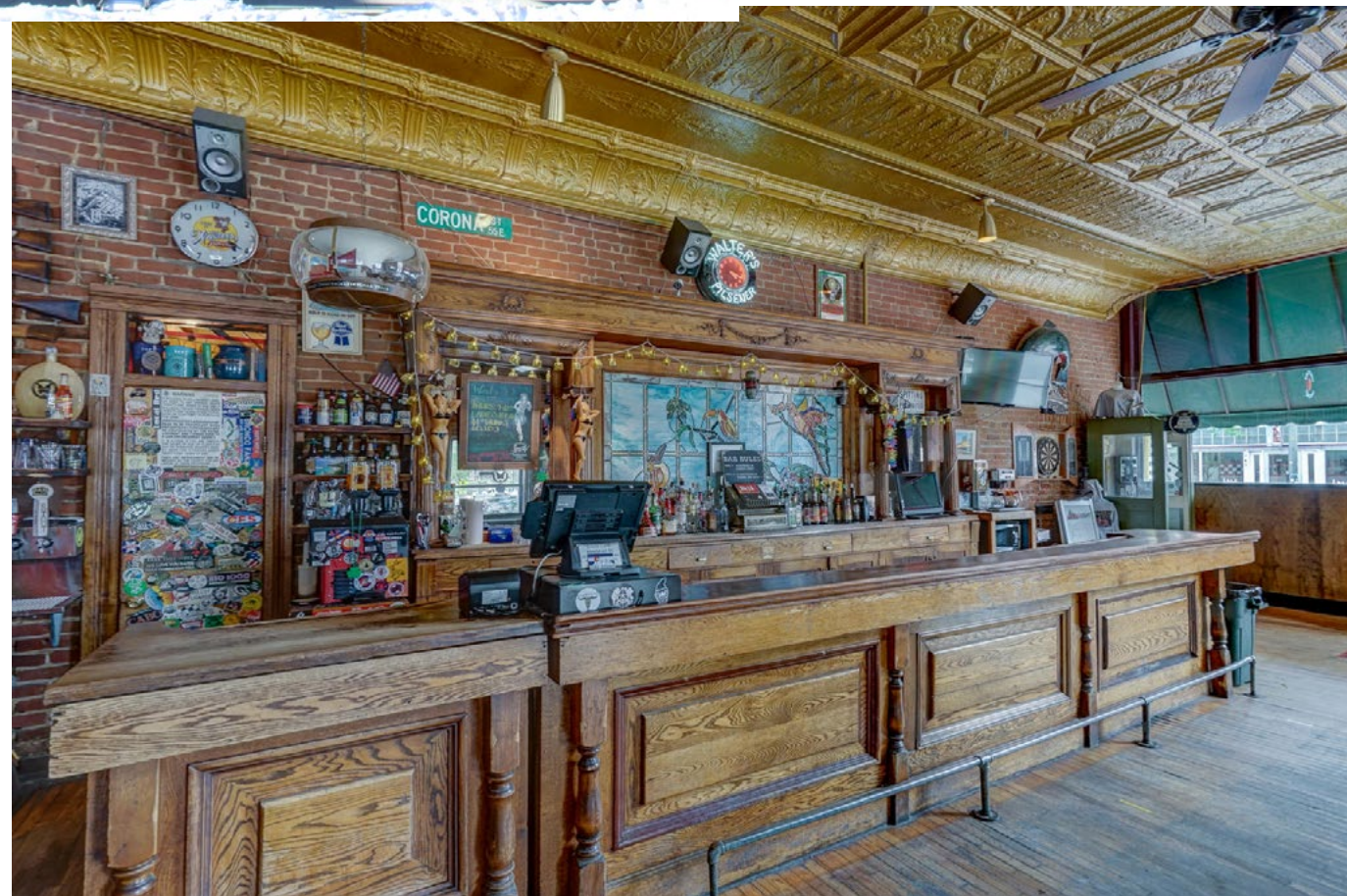
Sacket Street infill window



Sacket Street murals to be repainted



Interior Bar brick walls, floor and interior plywood at F Street window infill



Historic Bar inside - tin ceilings, bar and flooring to remain



Cafe Kitchen



Hotel Entry Stairs and Entry to remain



Hotel room - door in plaster wall to be added to connect room



Hotel Upper Halls to remain



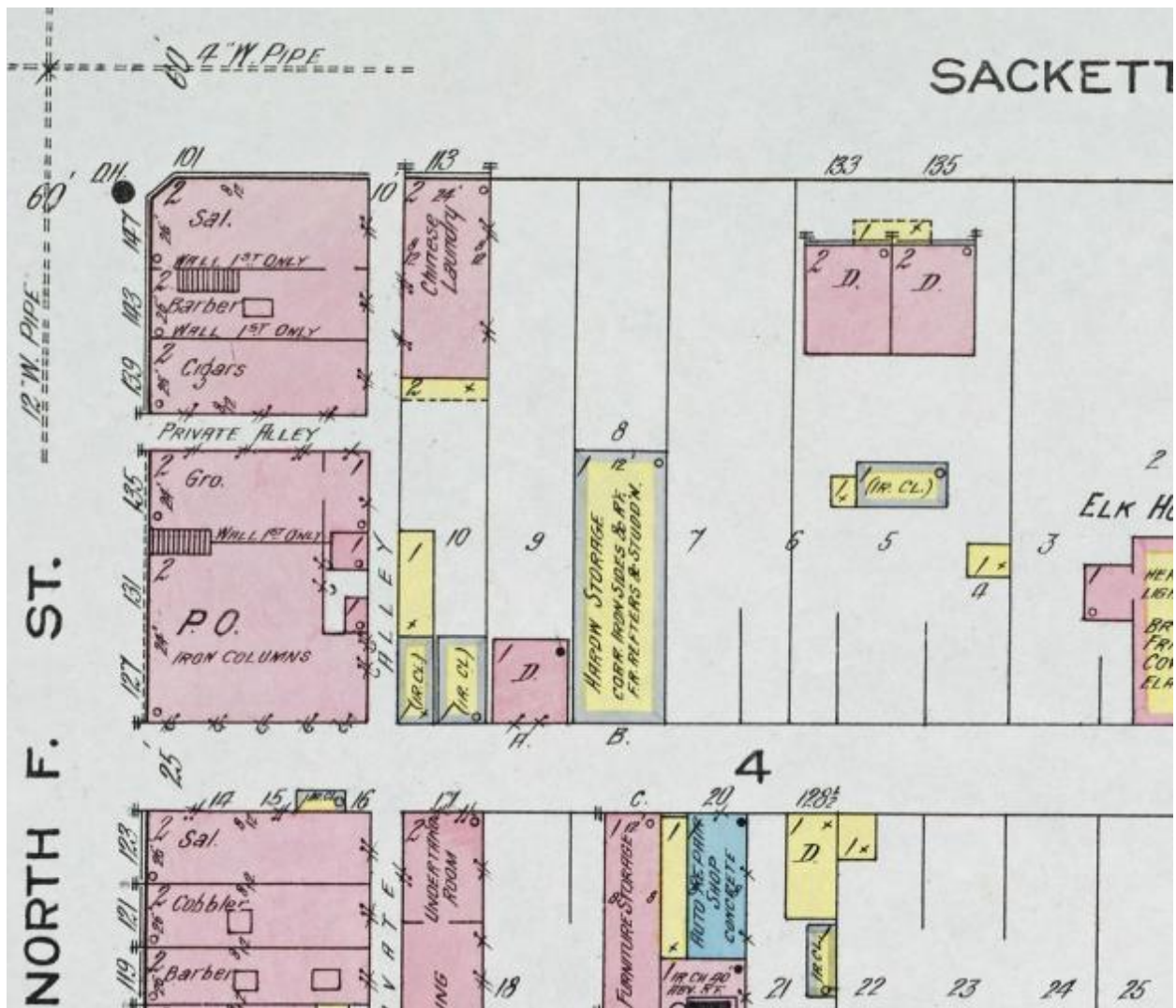
Existing shower for entire hotel space - to become laundry room

# 135 N F Street, Salida Colorado Report

The one-story commercial building at 135 North F Street in Salida was constructed sometime between 1914 and 1929 based on Sanborn fire insurance maps of the city. The 1914 map shows the space it occupies today was at time a private alley.

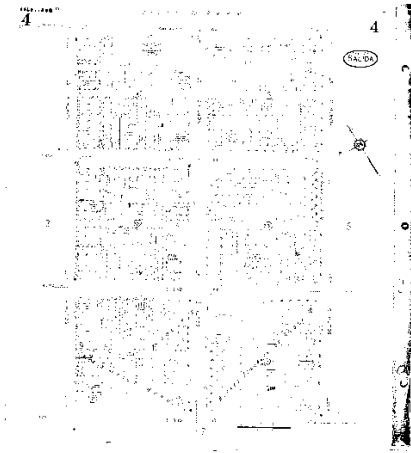


1914 Sanborn fire insurance map, Sheet 4.

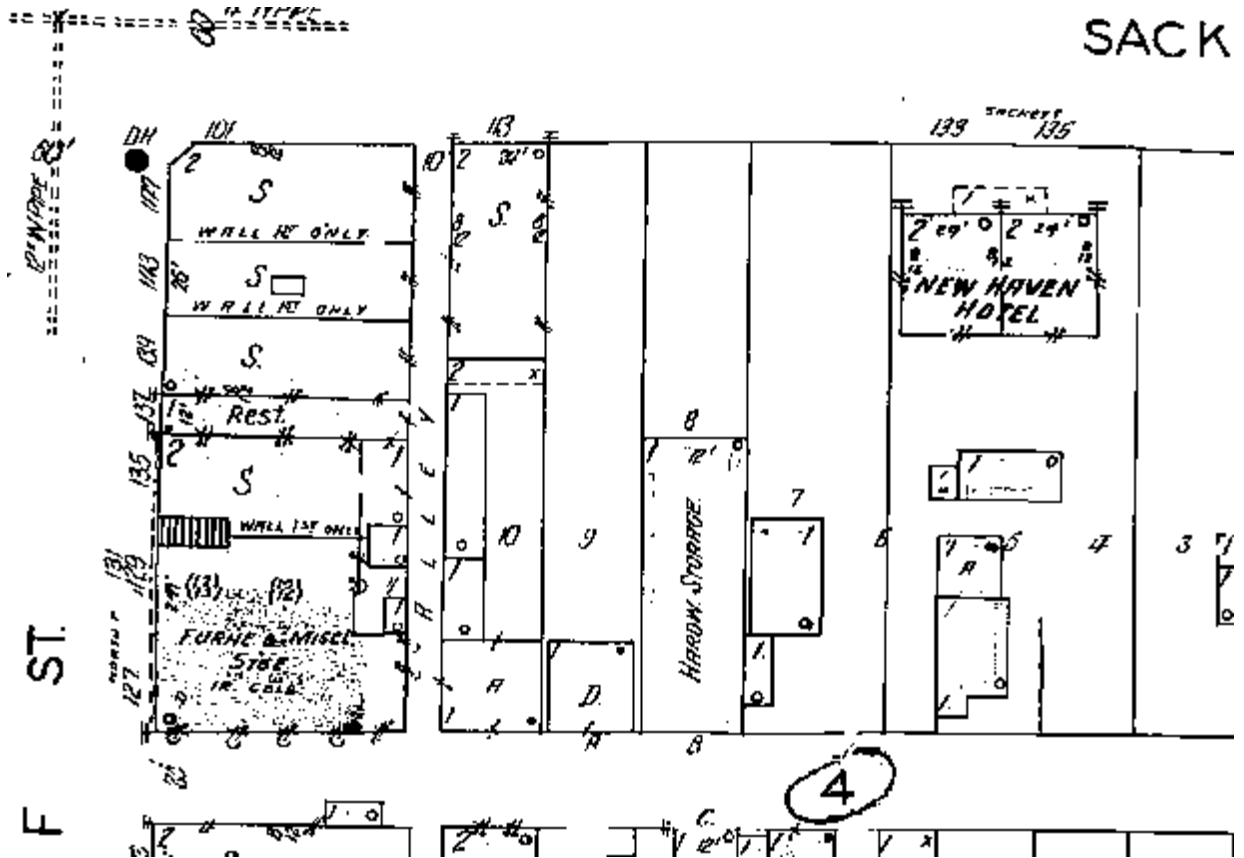


Enlargement of the 1914 Sanborn fire insurance map, Sheet 4.

The building is shown on the 1929 Sanborn map marked as one story and labeled "store."



Sheet 4 of the 1929 Sanborn fire insurance map of Salida, courtesy Denver Public Library via Front Range Research Associates, Inc., T. H. Simmons, Denver, CO. [Salida-Sanborn-192945-Sheet4]



Enlargement of Sheet 4 of the 1929 Sanborn fire insurance map of Salida. [Salida-Sanborn-192945-Sheet4\_inset]

**REAL ESTATE APPRAISAL CARD--URBAN MASTER**

CITY OR TOWN Salida STREET ADDRESS Louis 7<sup>th</sup> INDEX

OWNER'S NAME AND ADDRESS:  
Webb, Angela

CHANGES IN OWNERSHIP:

NAME	ADDRESS	DATE	VOLUME	PAGE	TYPE INSTRUMENT	REMARKS
<del>...</del>	<del>...</del>	<del>...</del>	<del>...</del>	<del>...</del>	<del>...</del>	<del>...</del>
<u>...</u>	<u>...</u>	<u>7/7/52</u>	<u>270</u>	<u>153</u>	<u>...</u>	
<u>...</u>	<u>...</u>	<u>2/28/52</u>	<u>268</u>	<u>135</u>	<u>...</u>	
<u>...</u>	<u>...</u>	<u>3/24/52</u>	<u>269</u>	<u>196</u>	<u>...</u>	

TAXING DISTRICTS: CITY Salida SCHOOL 7 FIRE ... SANITARY ... OTHER ...

LEGAL DESCRIPTION: Near 10' Lots A, B, & C, Block 4 SUB DIVISION OR ADDITION Salida SECTION ... TWP. ... RANGE ... BLOCK ... LOT ...



Courtesy Salida Regional Library, Salida Archive, Real estate appraisal card collection. [1950c\_135 N F St]



1950s. Enlargement - Real estate appraisal card. [1950c\_135 N F St\_en]

Real estate appraisal card caption:

135 Lower (or North) F Street, rear 10', lots A, B, & C, block 4, in Salida, Colorado.

The Victoria Bar & Tavern is visible on the left. This building was erected between 1914 and 1929, based on Sanborn maps. The building was labeled 'store' on the 1929 map.

In 1951, the Indian Grill Restaurant, operated by Earl Stevenson was located here. (M.W. Yale Custom Gunsmithing was located at 133 Lower F, a building which is no longer standing.)

Many of the buildings in downtown Salida retained their original appearance well into the 20th Century and Salida became known for its largely intact historic downtown. Local recognition efforts resulted in the creation of the Salida Downtown Historic District in 1984.

The district is bounded by Arkansas River, former narrow gauge railroad right-of-way, 3rd & D Streets. The district is described in the National Register as follows:

Between 1880 and 1930, downtown Salida became the center of a burgeoning railroad community. Consisting of 111 buildings, the district's size bears witness to the importance of the Denver & Rio Grande Railroad as a local economic force during the period. Although Salida's fortunes declined after 1930, due to changes in the Denver & Rio Grande system, it has managed to survive with a tourism-based economy.

Each of the buildings within the District was photographed and researched as to origin, style of architecture, historical use, historical integrity and significance. Each was evaluated as to whether it is "contributing" or "non-contributing" to the character of the District. The information was recorded on an Architectural Inventory Form for each building with its unique Resource Identification Number.

The original 1981 Salida Historic Buildings Survey contains Architectural Inventory Forms for 111 buildings. The re-survey conducted 2001-02 contains forms for 130 buildings. All the forms are available for download at Salida Regional Library, Salida Archive at:

<http://salidaarchive.info/>



*1981. Photo of 135 N. F St, which is included in the 1981 survey form for this address. Courtesy Salida Regional Library, Salida Archive. [1981\_135 F St]*

In the Downtown Salida Historic Building Survey of 1981, the building at 135 N. F St was up for sale and it appeared that it was being used for storage.



ARCHITECTURAL/HISTORICAL COMPONENT FORM

IMPORTANT: USE IN CONJUNCTION WITH THE GREEN INVENTORY RECORD FORM FOR RECORDING HISTORIC STRUCTURES AND DISTRICTS. USE SEPARATELY FOR RECORDING STRUCTURES LOCATED WITHIN DISTRICT BOUNDARIES.

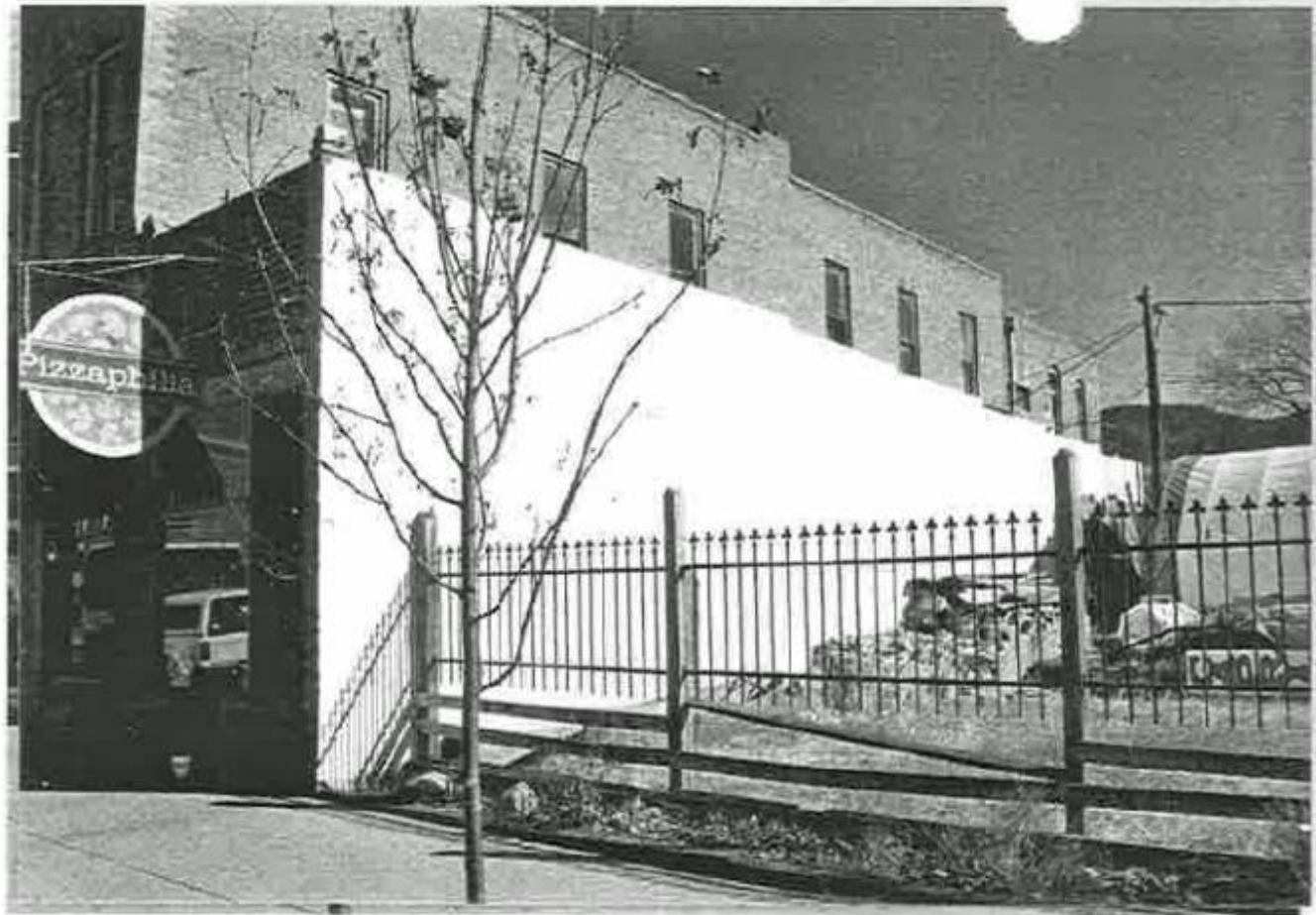
- 1) Resource No. 5CF275 2) Temp No. 64 3) Name Commercial Building
- 4) Address 135 North F 5) District Name Salida Commercial District
- I. INTEGRITY: 6) Condition: Good  Fair  Deteriorated
- 7) Original Use commercial property 8) Present Use commercial property
- 9) Original Site  Moved  Date(s) of Move: \_\_\_\_\_
- 10) Unaltered  Altered  Explain: \_\_\_\_\_

II. DESCRIPTION: 11) Building Materials brick

- 12) Construction Date 1914-1929 13) Architect/Builder unknown  
(1914, 1929 Sanborn Perris Maps)
- 14) Architectural Style(s) n/a

A simple one story brick commercial structure. The narrow building has a recessed entrance and a window display area. The building is currently for sale.

Snapshot of the survey form from the PDF of the 1981 Historic Building Survey. Courtesy Salida Regional Library, Salida Archive.



*September 2002. Photo of 135 N. F St, which is included in the 2001-02 Historic Building survey for this address. [200209\_Survey 2001-02 A]*



*September 2002. Photo of 135 N. F St, which is included in the 2001-02 Historic Building survey for this address [200209\_Survey 2001-02 B]*

In the re-survey of the Downtown Salida Historic Building Survey, 2001-02, the building at 135 N F St. is listed as resource number 5CF406.58. The historic name is Indian Grill, Salida Café. It occupies Lots 11-13 (part) within Block 4. It is described as rectangular, 63 x 10 feet, brick with flat roof (asphalted) and has a decorative cornice.

**General Architectural Description:**

One-story rectangular brick commercial building with flat roof stepped down toward rear. Cornice composed of band of multiple courses of brick with piers at each corner projecting above the roof. Brick walls of wire-drawn variegated brick in orange and yellow shades; rowlock course of brick above storefront. Dark brown panel and hanging sign above storefront. Metal lintel across storefront. Clerestory windows and plate glass display windows with brick under windows. Off-center, inset entrance, with wood door with large rectangular light and transom. South wall stuccoed, where an adjacent building was removed.

**Historical background.** This building was erected between 1914 and 1929, based on Sanborn maps. The building was not shown on the 1914 map, but is present on the 1929 map, when it was labeled "store." The 1930-31 city directory indicates the building was vacant. In 1951 the Indian Grill Restaurant, operated by Earl Stevenson, was located here. The restaurant had previously been located in the Central Block. A 1952 photograph shows the Salida Cafe at this location.

The building was seen to be representative of commercial structures built during the 1910s and 1920s in Salida and notable for its unaltered appearance and excellent historic physical integrity therefore making it "contributing" to the downtown historic appearance. However the building was deemed not to meet National Register criteria.



Aug. 17, 2015. “Gentlemen of the Road Concert” in the big meadow on the edge of the city brought thousands of music fans to Salida in August 2015 and all the downtown merchants decorated their storefronts with British flags. Little Cambodia was the place for a great bowl of Pho. [20150817 Pho]

NOTES: File names of photos are bracketed for future reference

Earle Kittleman  
January 19, 2021

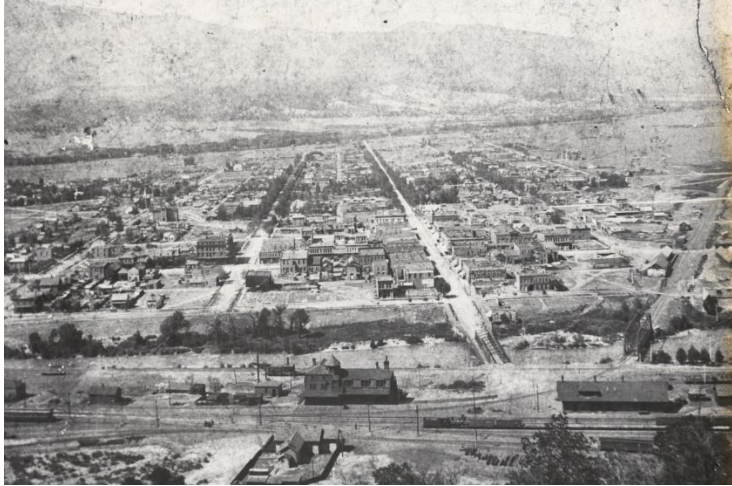
**143 N F Street (Victoria Bar/Hotel)**  
Report PART 1 OF 2

This report is based on historic maps and photographs, which are available online at The Salida Archive of Salida Regional Library at <http://salidaarchive.info/>

Bird's eye view photographs taken from Tenderfoot Mountain show how Salida developed over the years after the railroad arrived here in 1880.



*1883 (approximate). Salida (no longer South Arkansas) was growing in three directions from the river. The Craig Opera House is at the corner of Second and F Streets and the Presbyterian Church, the first designed for religious services, is a little white frame building at the corner of 3rd and F Streets. A few days after this photo was taken in mid-May, the F Street Bridge was seriously damaged by normal spring runoff when two sections were ripped from the center. In the foreground next to the tracks are the Monte Christo Hotel and depot. Salida Museum Association Collection, courtesy Salida Regional Library. [ 1883\_SRL\_SMusColl ]*



1890 view from Tenderfoot. Courtesy Salida Regional Library, Ernest Brownson Collection. [ 1890\_SRL Ernest Brownson Coll ]



1890 view enlarged. Shows corner the F Street corner lots still vacant, but there is a two-story building at 113 E Front St (now the Fritz Restaurant on Sackett).



1910 (approximate) view shows building at 143 N F Street. Courtesy Salida Regional Library, Bob Rush Collection. [ 1910s\_SRL\_BobRushColl ]



1910 (enlargement) shows the building at 143 N F Street. The second-story balcony that has since been removed can be seen faintly in this blowup.

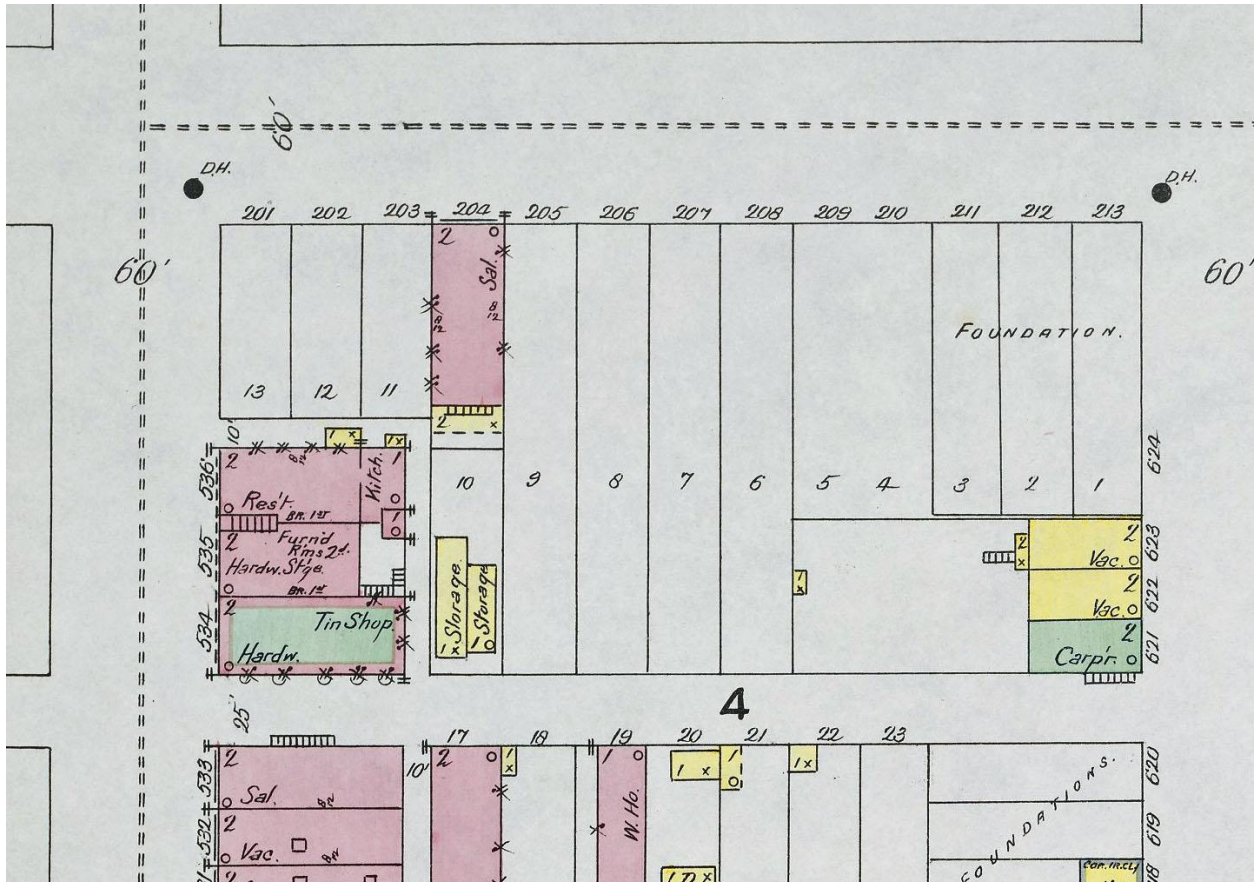
Sanborn-Perris Fire Insurance Maps of Salida from the years 1883 through 1914 show the building footprint; whether the site is residential, commercial, or industrial; potential environmental hazards, and construction details.

Building colors: Yellow = frame, Red = brick, Blue = stone, Grey = iron, Brown = adobe

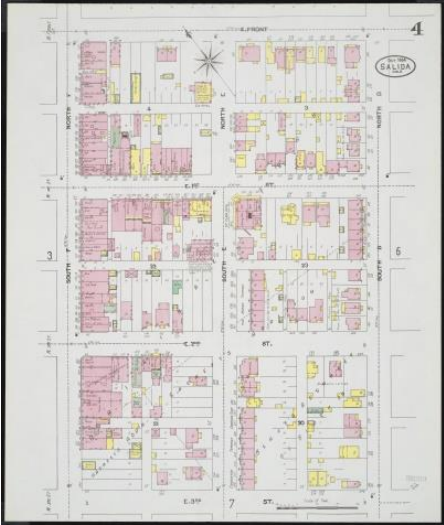
Notations “o” indicates slate or tin roof, “x” indicates shingle roof and “1” or “2” indicates one- or two-stories.



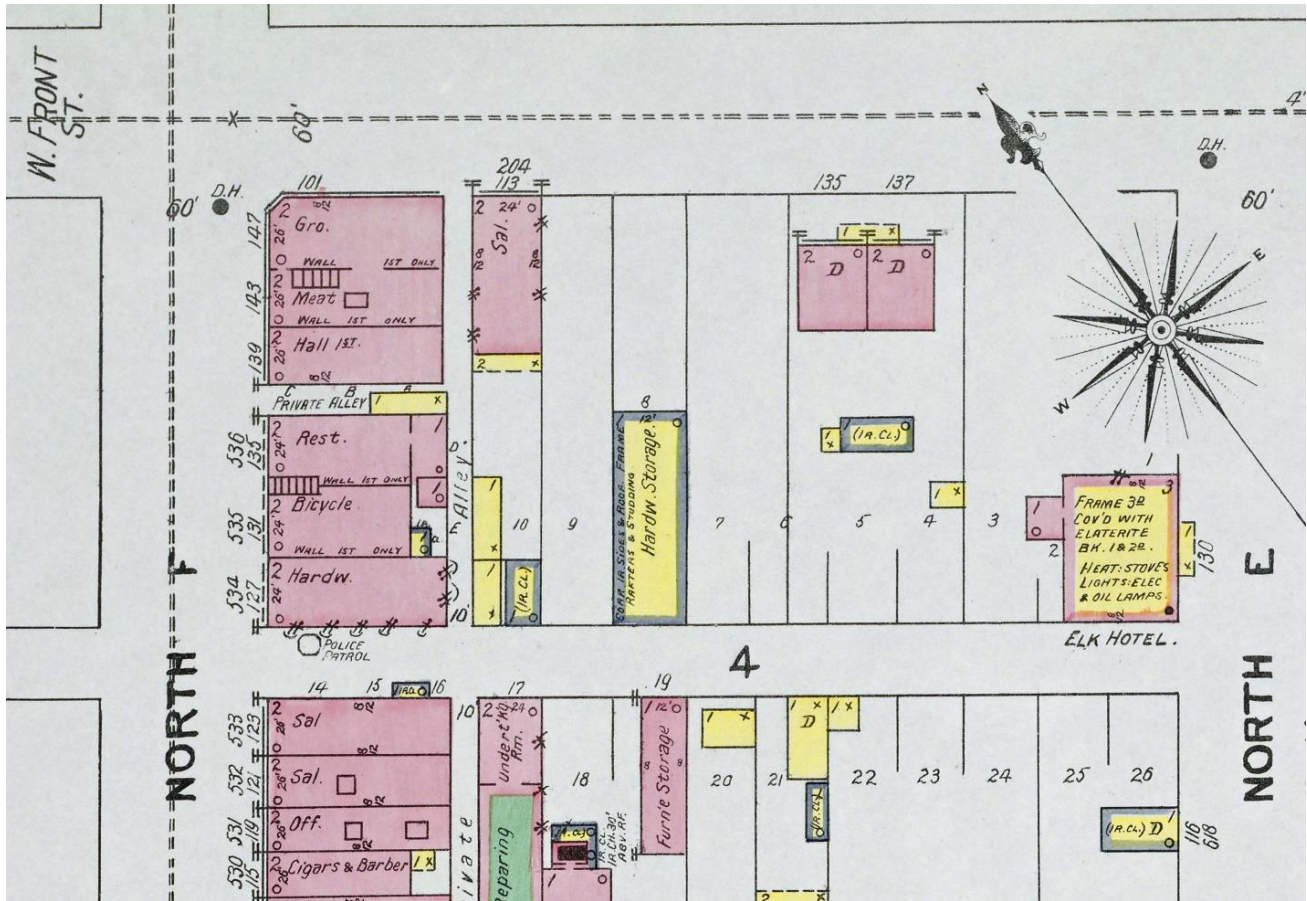
1898 Sanborn Fire Insurance map. Courtesy Salida Regional Library, Salida Archive, Historic Maps



1898 Sanborn Fire Insurance map of Salida (enlargement) showing vacant lots 11-13 at corner of Front Street (later renamed Sackett Av).



1904 Sanborn Fire Insurance map of Salida. Courtesy Salida Regional Library, Salida Archive, Historic maps.



1904 Sanborn Fire Insurance map of Salida (enlargement) showing brick building covering three lots addressed as 139, 143 and 157 N. F Street.

The Salida Archive at the library contains digital scans of many old real estate appraisals cards that were discarded when Chaffee County converted to digital records.

**REAL ESTATE APPRAISAL CARD---URBAN MASTER**

CITY OR TOWNSHIP: Salida STREET ADDRESS: Car Sackett + 7<sup>th</sup> INDEX

OWNER'S NAME AND ADDRESS: Ethel Jackson, Harvey + Frank C. Boster

CHANGES IN OWNERSHIP:

NAME	ADDRESS	DATE	VOLUME	PAGE	TYPE INSTRUMENT	REMARKS
<del>Hemmett, John L. + Kathryn M.</del>		<del>9/8/41</del>	<del>319</del>	<del>407</del>	<del>LAST WILL OF HARVEY JACKSON</del>	
<del>KELLY, M. G. + M. LILLIAN</del>		<del>10/30/62</del>	<del>328</del>	<del>105</del>	<del>W.D.T.</del>	
		<u>7/12/66</u>	<u>355</u>	<u>160</u>	<u>W.D.T.</u>	

LEGAL DISTRICTS: CITY: Salida SCHOOL: 7 FIRE: \_\_\_\_\_ SANITARY: \_\_\_\_\_ OTHER: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_ SUB-DIVISION OR ADDITION: \_\_\_\_\_ SECTION: \_\_\_\_\_ TWP. \_\_\_\_\_ RANGE \_\_\_\_\_ BLOCK \_\_\_\_\_ LOT \_\_\_\_\_

Lots A, B. & C, Block 4 Salida



Real estate appraisal card for the Vic. Courtesy Salida Regional Library, Salida Archive.

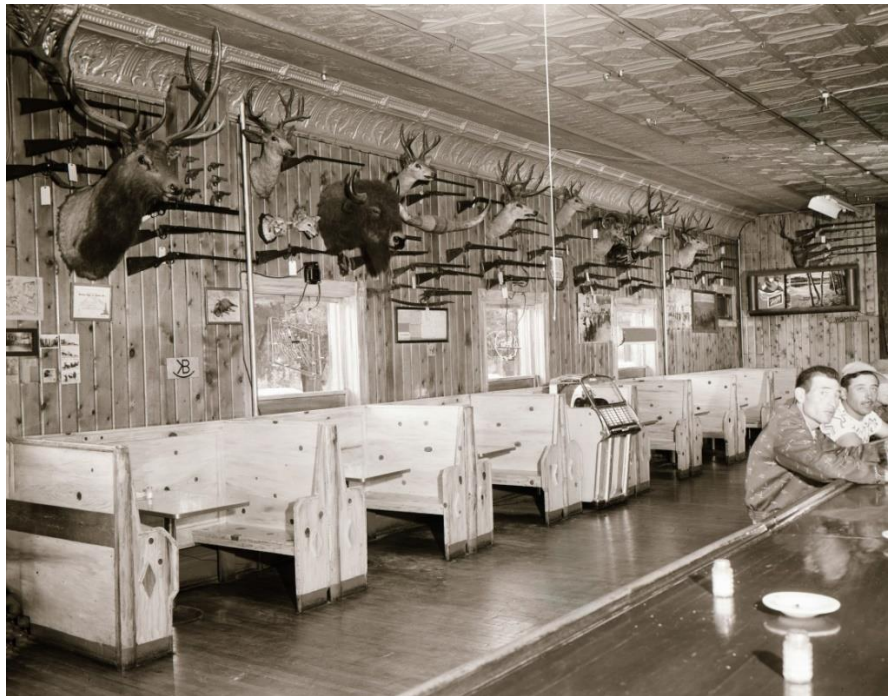


Enlargement, Real estate appraisal card.



1940s

*downtown Salida looking south from F Street Bridge. Courtesy Salida Regional Library, Salida Archive, Hermit of Arbor Villa Photo Collection.*



*The Victoria Hotel &*

*Tavern at 143 Lower F. Courtesy Salida Regional Library, Salida Museum Negatives Collection. (These images were taken around the 1950s & 60s, most likely by local photographer Joe Morris. This collection is part of a larger Motels & Businesses page in the Salida Museum Negatives Collection.) [1950c\_The-Vic\_SRL\_SMNegsCol]*

Many of the buildings in downtown Salida retained their original appearance well into the 20th Century and Salida became known for its largely intact historic downtown. Local recognition efforts resulted in the creation of the Salida Downtown Historic District in 1984.

The district is bounded by Arkansas River, former narrow gauge railroad right-of-way, 3rd & D Streets. The district is described in the National Register as follows:

Between 1880 and 1930, downtown Salida became the center of a burgeoning railroad community. Consisting of 111 buildings, the district's size bears witness to the importance of the Denver & Rio Grande Railroad as a local economic force during the period. Although Salida's fortunes declined after 1930, due to changes in the Denver & Rio Grande system, it has managed to survive with a tourism-based economy.

Each of the buildings within the District was photographed and researched as to origin, style of architecture, historical use, historical integrity and significance. Each was evaluated as to whether it is “contributing” or “non-contributing” to the character of the District. The information was recorded on an Architectural Inventory Form for each building with its unique Resource Identification Number.

The original 1981 Salida Historic Buildings Survey contains Architectural Inventory Forms for 111 buildings. The re-survey conducted 2001-02 contains forms for 130 buildings. All the forms are available for download at Salida Regional Library, Salida Archive at:

<http://salidaarchive.info/>



*Photo of the Victoria Tavern in 1981 taken as part of the nomination of the Downtown Historic District to the National Register of Historic Places. From 1981 Historic Building Survey, courtesy Salida Regional Library.*

Earle Kittleman  
Jan. 18, 2021

END PART 1

## REPORT ON 143 N F STREET

### PART 2 OF 2

The Victoria Tavern at 143 N F Street was assigned resource number 5CF406.56 in the re-survey of the downtown in 2001-02. Its historic name was recorded as Moore & Killen Block, Mildred Hotel, brick, rectangular, dimensions 65 x 63 feet.

The entire survey including this form can be downloaded from Salida Regional Library, Salida Archive, Salida Historic Building Surveys.

The following four photos are attached to the form for the Vic.



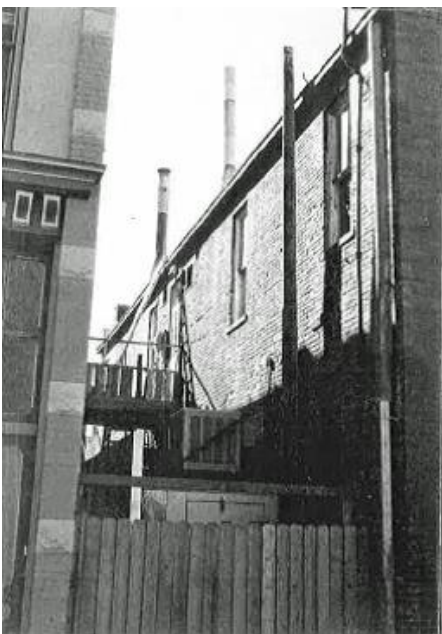
*Four photos of the Victoria Tavern taken during the re-survey of the Downtown Historic District 2001-02 . From North F Street\ Colorado Cultural Resource Survey – Architectural Inventory Forms\The Salida Archive\, courtesy Salida Regional Library.*



2001-02



2001-02



2001-02

The following is a snapshot of the **General Architectural Description** portion of the form for the Vic taken from the PDF:

**21. General Architectural Description:**

Two-story, rectangular, orange brick commercial building with stone foundation and with beveled corner facing F & Sackett streets. Flat roof with corbelled brick cornice; corbels extend into panels at top of wall. Upper west wall is divided into three bays by brick wall piers extending from multiple courses of molded brick at base of second story to roof. Central bay features four, tall, flat arch, double-hung sash windows with rock-faced stone sills and gauged brick lintels. Multiple courses of molded brick above lintels. Flanking bays of second story have three similar windows each; northern bay has evenly spaced windows while southern bay has unevenly spaced windows.

First story of west wall has continuous metal lintel ornamented with rosettes (paterae) above storefronts, which are divided by square brick columns with stone bases and capitals. Northern bay has plate glass display windows with fabric awnings; area under windows filled with brick. Center bay has entrance with paneled door, sidelights, and multi-light overdoor. Adjacent is storefront with off-center paneled door, wood frame plate glass windows with clerestory windows and paneled kickplates. Southern storefront has center entrance with door with transom and sidelights, wood frame plate glass windows, and paneled kickplates. Storefront is sheltered by fabric awning.

Beveled corner is flanked by slightly projecting brick wall piers on upper story and has corbelled cornice and paneling. One tall double-hung sash window with gauged brick lintel and stone sill on upper story. Projecting sign attached at corner. Corner entrance with tall double wood doors with large rectangular lights and two-part clerestory flanked by brick columns with stone bases and capitals.

North wall continues corbelled cornice and paneled frieze of west wall. First bay (west bay) of north wall is enframed with brick wall piers on upper story and has tall double-hung sash window with gauged brick lintel and stone sill on second story. Six similar windows along north wall, as well as paneled and glazed door with covered transom and evidence of balcony or fire stair, now missing. First story continues storefront for one bay at west end, with clerestory windows, plate glass window, and paneled kickplate. Series of three wide double-hung sash windows with stone sills and paneled transoms. At east end of wall is slab door with covered transom, gauged brick lintel, and stone threshold. Rear has one-story projection at northeast corner and chimneys with metal pipe tops on roof.

Here follows retyped portions of the form that are pertinent to this report.

**Historical background:**

This building was erected in 1901-02. The 1902 Salida Mail reported: "Messrs. Moore and Killen have their building at the corner of F and Front streets almost completed. The structure is of brick, substantially built, and includes two stories and a basement. The room fronts on F Street, and presents a neat, up-to-date appearance. The finishing work is now going on, and when completed the building will be rented as a store room."

On January 1, 1903, Killen & Moore's property was valued at \$6,000. The 1903 city directory indicates that the upstairs contained furnished rooms operated by Mildred C. Johnson.

[Salida walking tours indicate that the building was actually erected for Mildred Johnson.]

The 1904 Sanborn map shows the building divided into three spaces on the ground floor: a grocery (147 F), a meat market (143 F), and a hall (139 F). An April 1904 Salida Opera House program advertised "Cinematograph Theatre -- Mildred Block. See Peck's Bad Boy and what happens to him after eating dried apples and drinking sweet cider. Other moving pictures, including Cinderella and the Glass Slipper. Admission: 10 cents. Shows Every Night."

By 1905, the building was advertised as the Hotel Mildred, Mrs. M.C. Johnson, proprietor, "European plan, first class rooms and accommodations." Also housed in the building was the Salvation Army Hall in 139 N. F St, while 143 housed Frank Buehring's Shooting Gallery.

In 1906, an Opera House program advertised: "The Mildred Rooms, Steam-Heated -- Modern Conveniences. Headquarters for Theatrical and Commercial People -- Rooms on Second Floor."

The 1909 city directory listed this building as the Mildred Block. In that year, the Nick Muto Saloon occupied the 143 F Street storefront, the Charles Salerno Grocery was in the 139 F street storefront, and the 147 F storefront was vacant.

The 1914 Sanborn map showed the following: a cigar store, a barber, and a saloon (147 F).

By 1922-23, businesses in the building included: Dennis Thotokatos, confectioner, with residence in the building; Nigro & Marchi Billiard and Smokes (F. M. Nigro and Abraham Marchi); and, Clayton C. Honeywell. The upstairs rooms were managed by Hannah McComb.

The 1914 Sanborn map showed the following: a cigar store, a barber, and a saloon (147 F).

By 1922-23, businesses in the building included: Dennis Thotokatos, confectioner, with residence in the building; Nigro & Marchi Billiards and Smokes (F. M. Nigro and Abraham Marchi); and, Clayton C. Honeywell. The upstairs rooms were managed by Hannah McComb.

The 1927-28 city directory listed the Mildred Block: C. C. Honeywell, barber; Coscarella & Alloy, billiards; and the furnished rooms were known as "Travelers' Rooms."

By 1930-31, the billiard parlor was known as the Eagle Pool Room, operated by Samuel Petratos.

In 1951, businesses here included Neal's Pool Room, Neal F. Prunty, owner and manager, and the Victoria Hotel and Bar, Harvey Jackson, owner.

By 1952, the Victoria Pool Room was shown in an historic photograph. The Victoria Bar is still located here today.

**SIGNIFICANCE**

According to the survey, the building does not meet any of the National Register criteria. But the building is listed as “contributing” to the Downtown Historic District.

**Statement of Significance:**

This 1901-02 building is associated with the development of North F Street, having offered furnished rooms and hotel rooms, and having housed a variety of businesses popular on this section of F Street, including saloons, barbers, and pool rooms. The building's architecture represents the commercial design of the early twentieth century in Salida, and is notable for its corbelled cornice and paneled frieze, brick wall piers and brick columns with stone trim, tall double-hung sash windows with stone sills, and beveled corner. The building is also notable for retaining many of the features of its original storefronts.

**Assessment of Historic Physical Integrity Related to Significance:**

The building displays substantial integrity. The kickplates of the corner storefront have been altered, and a few of the doors and overdoors have been replaced. A balcony is missing on the north wall.



*This photo shows the bar essentially as it appears today. I cannot determine where I found this photo. Probably courtesy of the Salida Archive, Salida Regional Library. [AUR-988\_TheVic]*



*March 11, 2004. [2004-03-11Victoria Tavern]*



*March 11, 2004 a new historic plaque appears by the front door of the Vic. [2004-03-11Vic plaque]*

In 2004 a plaque suddenly appeared without fanfare by the front door of the Vic. It honors the memory of Mildred "Millie" Ohmertz Johnson who developed the property following an ownership dispute with Alexander Cameron Hunt, land agent for the Denver & Rio Grande Railway, who purchased and sold most of the property in early Salida. Rumors still circulate about a love affair gone sour between the two. Hunt, a former territorial governor of Colorado, had an office in Salida and a family residence in Denver.

Donor of the plaque, E Clampus Vitus, is a fraternal organization dedicated to the preservation of the heritage of the American West. The

organization's name is in Dog Latin, and has no known meaning. Members call themselves "Clampers." You have to be invited to join, but you can indicate your desire to be a member. Al Packer Chapter 100 in Colorado was chartered in 2000. This chapter has four encampments statewide for members to get together and socialize. The organization has raised historical plaques in many places throughout the West (often at sites such as bordellos and saloons overlooked by more traditional historical societies), with a traditional "doin's," or party, after each plaque dedication.

This information about E Clampus Vitus comes from Wikipedia.



*May 5, 2005 Bikers congregate annually on lower F Street. [ 05-05-28 Bikes1 ]*



*The space at 135 F St is selling pizza. [ 05-05-28 Bikes2 ]*



*Snowfenced area in Riverside Park where beer sales allowed for Memorial Day concert. [ 20060528\_MemDay ]*



*The Vic in snow, Oct. 28, 2008. [ 20091028\_Vic\_en]*



*The Vic in snow, Oct. 28, 2008. [ 20091028\_Vic snow\_en ]*



June 7, 2013.

New signage on the Vic courtesy of PBR. [2013-06-7 Vic mural 2]



June 7,

2013 [2013-06-7 Vic mural 1]



July 4<sup>th</sup> parade Huey rounds the corner at the Vic. [20160704 Parade 1]



Vietnam veterans parked all day at the Vic. [20160704 Huey 3]



*Vietnam era 1st Cavalry Division exhibit at the Vic. [20160704 Huey 5]*



June 14, 2018. FIBArk festival is held every year during spring runoff on the Arkansas River. Riverside Park opposite the Vic is the scene of a carnival. [20180614\_Ir]



June 13, 2019. FIBArk carnival sets up for the week every year on Sackett Av alongside the Vic. [20190613\_FIBArk 2]

NOTES: File names of photos are bracketed for future reference

Earle Kittleman  
January 18, 2021

END PART 2 OF 2

# A Renovation of the Victoria Hotel & Tavern

143 N. F Street, Salida, Colorado 81201

## ELEVATION



## DISCIPLINE

### OWNER

Drew Fink  
c/o Steamboat Architectural Associates (SAA)  
345 Lincoln Avenue, Suite 200  
P.O. Box 772910  
Steamboat Springs, Colorado 80477  
Phone: 970.879.0819  
Fax: 970.879.3406  
Email: SAA@steamboatarchitectural.com  
Contact: William J. Rangitsch

### GENERAL CONTRACTOR

Bach Builders  
  
Salida, CO 81201  
Phone: 720.320.4850  
Fax: N/A  
Email: franbach65@gmail.com  
Contact: David and Fran Bach

### STRUCTURAL ENGINEER

JVA Consulting Engineers, Inc.  
213 Linden Street, Suite 200  
Fort Collins, CO 80524  
Phone: 303.565.4917  
Fax: N/A  
Email: jschalk@jvajva.com  
Contact: Jeffrey S. Schalk, PE, SE

### MECHANICAL / PLUMBING

BA Consultants, Inc.  
90 Madison Street, Suite #104  
Denver, CO 80206  
Phone: 303-322-1212  
Email: alex.v@ba-consultantsinc.com  
Contact: Alex Valdez

### ARCHITECT

Steamboat Architectural Associates (SAA)  
345 Lincoln Avenue, Suite 200  
P.O. Box 772910  
Steamboat Springs, Colorado 80477  
Phone: 970.879.0819  
Fax: 970.879.3406  
Email: SAA@steamboatarchitectural.com  
Contact: William J. Rangitsch

### CIVIL ENGINEER

Marcin Engineering  
122 E 8th Street  
Leadville, CO 80461  
Phone: 303.803.2140  
Fax: N/A  
Email: tony@marcinengineering.com  
Contact: Tony Vazquez, PE

### BUILDING AUTHORITY

Chaffee County Building Department  
104 Crestone Avenue, PO Box 699  
Salida, CO 81201  
Phone: 719.530.5567  
Fax: N/A  
Email: dsallow@chaffeecounty.org  
Contact: Dan Swallow

### ELECTRICAL

Wilder Engineering  
1170 Blue Sage Drive  
Steamboat Springs, CO 80487  
Phone: 970-819-7848  
Email: andy@wilder-eng.com  
Contact: Andy Wilder, PE

## SHEET INDEX

### ARCHITECTURAL DRAWINGS

- A0.0 Cover Sheet
- A0.1 Specifications
- EX2.0 Existing Lower Level/Demo Plan
- EX2.1 Existing Main Level/Demo Plan
- EX2.2 Existing Upper Level/Demo Plan
- A2.0 Lower Level Floor Plan, Door Schedule
- A2.1 Main Level Floor Plan, Door Schedule
- A2.2 Upper Level Floor Plan, Door Schedule
- A2.3 Roof Plan
- A2.4 Main Level Reflected Ceiling Plan
- A2.5 Upper Level Reflected Ceiling Plan
- A2.6 Enlarged Bar Equipment Plan, Appliance Schedule
- A2.7 Bakery/Kitchen Equipment Plan, Appliance Schedule
- EX3.0 Existing Elevations
- EX3.1 Existing Elevations
- A3.0 Elevations
- A3.1 Elevations
- A4.0 Sections
- A4.1 Sections
- A4.2 Interior Elevations

### CIVIL DRAWINGS

- C-1 Grading & Drainage Plan & Utility Plan
- C-2 Site Details

### STRUCTURAL DRAWINGS

- S1.0 General Notes
- S1.1 Abbreviation, Symbols Key & 3D Schematic View
- S2.0 Foundation/Main Level Plan
- S2.1 Upper Level & Low Roof Framing
- S2.2 Roof Framing Plan
- S5.0 Typical Details
- S5.1 Basement Framing, Sections
- S5.2 Low Roof & Deck, Sections

### ADDITIONAL NOTES

- Contractor and Subcontractor shall be responsible for local code compliance, technical data and system component design as required for design.
- Owner provided equipment shown in these drawings is not part of the General Construction Contract.
- General Contractor and appropriate sub-contractors are responsible for coordination, reinforcing in walls, rough-in, and terminal hook-up of Owner provided equipment.

### MECHANICAL DRAWINGS

- M0.1 General Notes & Legend
- M0.2 Mechanical Schedules
- M0.3 Mechanical Details
- M0.4 Mechanical Details
- M0.5 Hood Details
- M0.6 Hood Drawings & Details
- M0.7 DOAS RTU/Grease Exhaust Fan
- M0.8 Grease Exhaust Fan
- M0.9 DOAS RTU
- M.10 Hood Utility Cabinet
- M1.0 Basement Level Plan
- M1.1 Main Level Plan
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- MD1.0 Basement Level Demo Plan
- MD1.1 Main Level Demo Plan
- MD1.2 Upper Level Demo Plan
- MD1.3 Roof Level Demo Plan
- MP1.0 Mechanical Specifications

### PLUMBING DRAWINGS

- P0.1 Legend, Fixture Schedule
- P0.2 Details
- P0.3 Details
- P1.0 Basement Level Plan
- P1.1 Main Level Plan
- P1.2 Upper Level Plan
- P1.3 Roof Level Plan
- P2.1 Waste and Vent Isometrics
- P3.1 Domestic Water Isometrics
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- PD1.1 Main Level Demo Plan
- PD1.2 Upper Level Demo Plan
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### ELECTRICAL DRAWINGS

- E-1.1 Notes & One Line Diagram
- E-1.2 Electrical Panels
- E-1.3 Electrical Panels
- E-2.1 Electrical Plan Main Level
- E-2.2 Electrical Plan Upper Level
- E-3.1 Main Level Lighting
- E-3.2 Upper Level Lighting
- E-4.1 Electrical Specifications

## CODE ANALYSIS

### LEGAL DESCRIPTION

Lots A, B, C & 10' Vacated Alley, Block 4  
143 N. F Street

### PROJECT DESCRIPTION

The project is located in the Salida Downtown Historic District. The renovation to the existing contributing building will include rehabilitating two front windows exterior windows, as well as remodeling the main and lower levels. The Main Level will be remodeled to accommodate a bakery restaurant and the Upper Level will have bathrooms added to existing hotel rooms.

### CODE COMPLIANCE

- 2015 International Building Code
- 2015 International Existing Building Code
- 2006 International Energy Conservation Code
- 2020 National Electrical Code
- 2015 International Plumbing Code
- 2015 International Mechanical Code

### OCCUPANCY TYPE

Main Level: Group A-2, Tavern/Bar to Restaurant no change  
Upper Level: Group R-1, Hotel to Hotel - no change

### DESIGN CRITERIA

- Table R301.2(1) Climate & Geographic Design Criteria
- Roof Snow Load - 55 PSF Salida Elevation = 8,537 ft
- Wind Speed - 120 MPH
- Seismic Design Category - C
- Exempt per IBC 1613.1 and IRC R301.2.2
- Subject to Damage by Weathering - Severe
- Subject to Damage by Frostline Depth - 30 inches
- Subject to Damage by Termite - None to slight
- Subject to Damage by Decay - None to slight
- Winter Design Temperature - 0°F (-18°C)
- Ice Shield Underlayment Required - Yes
- Flood Hazard - FIRM, February 4, 2005
- Air Freeze Index - 1500
- Mean Annual Temperature - 40°F

### CONSTRUCTION TYPE

Type V, Non-rated, Non-sprinklered

### LAND USE ZONING

Zoning C-2 Central Business District  
Historic Protection Overlay

### GEOTECHNICAL REPORT:

Due to existing conditions behind building, it was determined an Open Pit Test would be performed at time of excavation by Engineer of Record.

### PROJECT SETBACKS

In accordance with the building envelope shown, that indicates the confined area of building. Refer to the site plan for location.

All structures shall comply to setbacks as follows:

- Front Setback: No required
- Rear Setback: No required
- Side Setback: No required

Building Height:

- Max. building height for a primary building: 35'-0"
- Max. building height for a detached accessory building: 25'-0"

### IECC DESIGN CRITERIA

- Table N1102.2 Insulation & Fenestration Requirements by Component - Climate Zone 6 for new construction
- Fenestration U-Factor: 0.35
- Skylight U-Factor: 0.60
- SHGC: NR
- Ceiling R-value: R-49 or per Section N1102.2.1
- Wood Frame Wall R-Value: 19 or 13+5
- Mass Wall R-value: 15
- Floor R-value: 30
- Basement Wall R-value: 10/13
- Slab R-value and Depth: 10, 4 feet
- Crawlspace Wall R-value: 10/13

### BUILDING STATISTICS

Main Level Square Footage Breakdown (Gross s.f.)  
..... 4,869 s.f.  
Total Main Level Square Footage: ..... 4,869 s.f.

Lower Level Square Footage Breakdown (Gross s.f.)  
Mechanical/Storage: ..... 1,032 s.f.  
Total Lower Level Square Footage: ..... 1,032 s.f.

Upper Level Square Footage Breakdown: (Gross s.f.)  
..... 4,125 s.f.  
Total Upper Level Square Footage: ..... 4,125 s.f.

Total Deck Square Footage: ..... 202 s.f.

Total Back Alley Square Footage: ..... 634 s.f.

Total Building Square Footage: ..... 10,026 s.f.

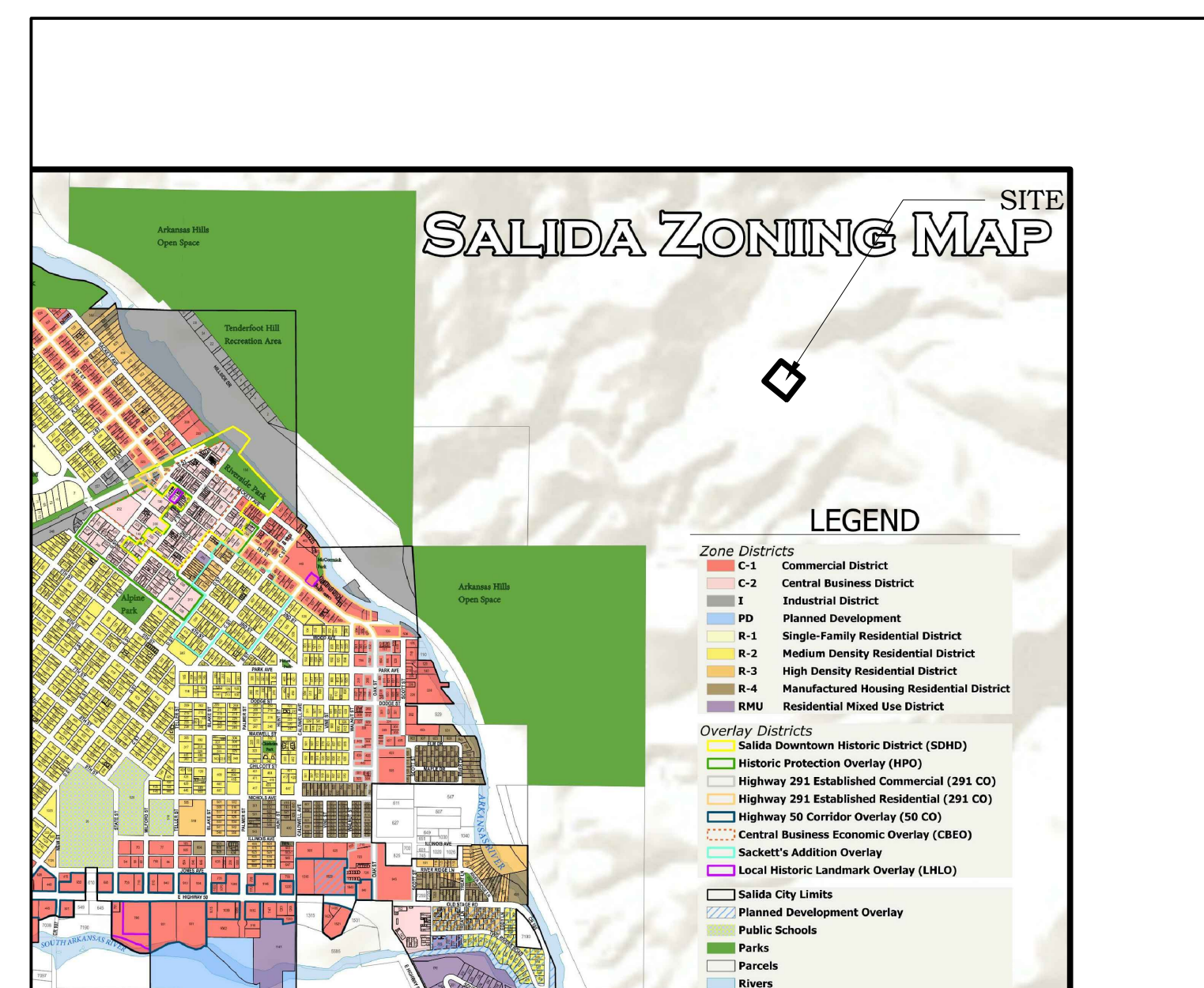
Work Area per IEBC Sections 202 and 501.1-501.2:  
Main Level (Gross s.f.): ..... 1,574 s.f.  
Lower Level (Gross s.f.): ..... 985 s.f.  
Upper Level (Gross s.f.): ..... 1,047 s.f.  
Total Work Area Square Footage: ..... 3,606 s.f.  
% of Work Area (50% Max Allowed): ..... 36%

Refer to sheet A2.8

### SITE STATISTICS

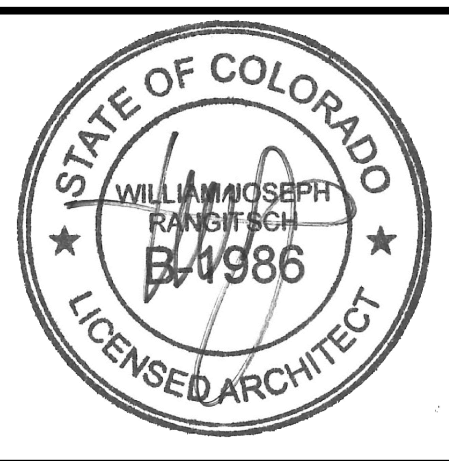
Site Area: ..... 5,532 s.f.  
..... or 0.127 acres  
Minimum Site Size: ..... N/A

## VICINITY MAP

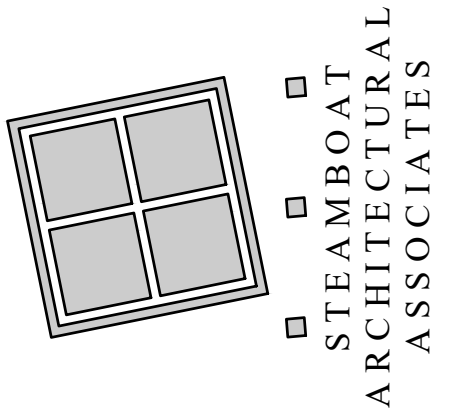


THESE DRAWINGS DO NOT INCLUDE THE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY.  
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ELEVATION  
CODE ANALYSIS  
DISCIPLINE  
VICINITY MAP  
SHEET INDEX



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steamboat springs, co. 80477



A Renovation of the  
**Victoria Hotel & Tavern**  
143 N. F Street  
Salida, Colorado 81201

## SUBMISSION

For Construction

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9/19/2022 7:29 PM P:\M-2\Victoria - Salida\01-Drawings\01-Current\Victoria A0.0

# SPECIFICATIONS

## DIVISION 1 - GENERAL REQUIREMENTS

- 1.1 The contract between Owner and Contractor shall be written on AIA form #A101 - Stipulated Sum, or AIA form #A111 Cost of the Work Plus a Fee with a Guaranteed Maximum price, with AIA General Conditions AIA A201 in effect as if written out in full. The scope of work shall include complete construction of the home, including site work as described in the construction documents.
- 1.2 The General Contractor (GC) shall provide one full time job foreman experienced in construction work, whose sole responsibility is the management of the project. The job foreman is to be available at the site at all times work is in progress.
- 1.3 It shall be the responsibility of the General Contractor (GC) to coordinate the interface between all trades and sub-contracts, including, but not limited to all cutting, patching, aligning, heading, blocking, welding, fitting, adjusting, and touching up, so as to effect a complete and finished product. Coordination costs shall be included in the contract sum.
- 1.4 The General Contractor (GC) shall control the work of all sub-contractors. The organization of the drawings and specifications into types, divisions, sections, and articles, and the arrangement of the drawings shall not control the General Contractor (GC) in dividing the work among sub-contractors or in establishing the extent of work to be performed by any trade.
- 1.5 Where conflicts or discrepancies exist in the drawings and/or specifications, contact the Architect to obtain the necessary clarification and/or decision.
- 1.6 Alternate Bid: An alternate bid is an amount stated in the bid to be added or deducted from the amount of the base bid if the corresponding change in project scope, or material, or method of construction described in the bidding documents is accepted.
- 1.7 Allowance: An allowance is a budgeted amount for a particular product, material, or method of construction described in the bidding documents, which is to be included in the bid at a specified amount. If the product, material or method of construction costs more than, or less than, the budgeted amount, the contract amount will be adjusted to reflect such difference. An allowance may be specified as "materials only", in which case only materials or products are covered by the allowance. Labor to install and complete the finish is to be included in the base bid. If an allowance is specified as "materials and labor", both are to be considered in the allowance and subject to adjustment. Allowances shall be adjusted upon receipt of an allowance report with billings, and a labor summary if applicable, at the time of application for final payment.
- 1.8 All work shall comply with federal, state, and local laws, codes, and ordinances, as amended, and shall be done to the highest standards of craftsmanship by journeymen of the respective trades.
- 1.9 Samples shall be supplied to Architect for all material proposed for substitution of specified materials, and of workmanship representing artistic techniques specified below. Shop drawings shall be provided for fabricated items including, but not limited to, cabinets, structural steel, pre-manufactured wood trusses, railings, glass, countertops, cabinets, all finish materials, lighting fixtures, plumbing, etc.
- 1.10 Temporary facilities for protection of tools and equipment shall conform to local regulations and shall be the contractor's responsibility.
- 1.11 Rental charges, safety expenses, protections expenses, and maintenance of rented equipment shall be the contractor's responsibility and shall be included in the contract price.
- 1.12 Winter protection, heat, and snow removal shall be the responsibility of the General Contractor (GC). All space heating shall be done in a safe, sensible manner, with periodic checks on the system, and shall comply with state industrial commission and O.S.H.A. regulations.
- 1.13 Provide temporary sanitary facilities for construction workers.
- 1.14 Contractor shall submit a schedule of values as outlined in article 9.2.1 of the General Conditions on the form provided by the Architect at the time of signing this contract.
- 1.15 Request for payment shall be submitted to the Architect for approval on AIA form G-703 or approved equivalent.
- 1.16 Contractor, at their expense, shall carry builders risk "all risk", workman's compensation liability, bodily injury, and comprehensive automobile insurance where applicable. All contractors shall be "independent contractors" and not Owner's employees. General liability insurance shall be in each party's interest, and shall be provided to each party during the term of contract.
- 1.17 Contractor shall maintain the job clear of trash and debris as defined in article 3.15 of the General Conditions. All waste materials shall be removed from site prior to substantial completion and prior to final acceptance. Contractor shall present the building to the Owner for acceptance clean and ready for occupancy. All glass shall be cleaned and polished, floors swept, broom clean, carpets vacuumed, fixtures washed with all labels removed, and exterior grounds hand raked free of trash and debris.
- 1.18 Costs for building permits, use tax, sales tax and other charges relative to construction of this project shall be included in the contract price.
- 1.19 These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with all state and federal regulations regarding safety, and compliance with article 10 of the General Conditions is advised and shall be the contractor's responsibility.
- 1.20 Contractor shall visit the site and become familiar with all aspects as a condition precedent to submitting proposal. Contractor shall verify all dimensions and conditions shown on these drawings with those at the site. Any variation which requires physical change shall be brought to the attention of the Architect.
- 1.21 All materials, equipment and workmanship shall be subject to a one year warranty as defined in article 3.5 of the General Conditions.
- 1.22 The soils report and all recommendations therein shall be a part of this specification. "Soils report" relates to design information only. Reliance on this data for estimating purposes shall be at the risk of the contractor. A suitable rock clause will be submitted as part of the proposal, including, but not limited to, unit prices for equipment, truck time, labor charges, and fill materials.
- 1.23 Quantity on all scheduled items shall be verified by contractor before submitting proposal and/or ordering.
- 1.24 There shall be no smoking permitted in the building once framing has started. Dogs are not permitted on-site or restrained to vehicles. Parking shall be in assigned areas only.

## DIVISION 2 - SITE WORK

- Contractor shall provide necessary labor, materials and equipment to perform all site work specified in these documents.
- 2.1 Return to existing conditions areas damaged by construction activities.
  - 2.2 Excavate, fill and re-grade site to finish grades noted on Site Plan. Spread uniform layer of existing topsoil over entire re-graded area. Provide fences, barricades and/or lights around all open trenches, excavations and other hazards.
  - 2.3 Backfilling operations are the responsibility of the contractor. Foundation walls shall be adequately braced before backfilling. All backfill materials shall be approved pit run gravel or other approved granular materials compacted to 95% proctor density.
  - 2.4 Provide road drainage and storm culverts as shown on the Site Plan.
  - 2.5 All utility lines shall be extended from building to utility connection. Trenching, backfilling, materials, equipment, and connection charges shall be included in the cost of work.
    - Electric - from meter box on building to transformer - coordinate with Xcel Energy.
    - Water - from meter and/or shutoff valve inside foundation wall to point of connection. Coordinate with the City of Salida.
    - Sewer - from 10 feet outside of foundation wall to point of connection.
  - Contractor to provide septic design to Chaffee County/Environmental Health Department for approval.
  - Gas from gas meter adjacent to building to point of connection. Coordinate with Atmos Energy.
  - Telephone - from phone box on building to pedestal or point of connection
  - Television - from TV box on building to pedestal or point of connection. Coordinate with selected cable or satellite TV provider.
  - 2.6 Provide 4" diameter perimeter foundation drain and underdrain in compliance with soils engineer's recommendations. Provide cleanouts as required by code and/or field conditions, as needed.
  - 2.7 Provide all exterior walks, steps, and patios as shown on the Site Plan and/or Floor Plans.
  - 2.8 Concrete walks, curbs, retaining walls, parking area and other site amenities shall comply with Section 3 of this specification.
  - 2.9 All carpentry work relating to site shall comply with Section 6 of this specification.
  - 2.10 Wood walks and stairs to be No. 1 Redwood treads with rough saun pine or fir stringers and posts. All pine shall be treated with creosote or pentaprotective prior to installation.

## DIVISION 3 - CONCRETE

- Contractor shall provide all necessary labor, materials and equipment to complete all concrete shown or noted in these documents.
- 3.1 Refer to Structural Specifications for structural requirements of concrete work.
  - 3.2 Exterior Concrete shall develop 3,500 PSI in 28 days.
  - 3.3 Concrete walks shall be poured on compacted materials, as described in the Soils Report. Refer to structural drawings for description of slab and reinforcing required. Slab surfaces shall be smooth and level, or shall have smooth even slope as shown.
  - 3.4 Concrete stairs shall have 1 degree sloped risers with metal edge nosing.
  - 3.5 Concrete finish shall be steel trowel finish for interior floor slabs, and broom finish for exterior walks and stairs.
  - 3.6 No concrete shall be poured subject to freezing conditions or on frozen ground.
  - 3.7 Detectable warning surfaces in concrete to be raised truncated domes with a nominal diameter of 0.9 inches, a nominal height of 0.2 inches, and a spacing of 2.35 inches, per ADA requirements.
  - 3.8 Concrete Quality Control - Perform testing and test reports in accordance with structural specifications.

## DIVISION 4 - MASONRY

- Contractor shall provide necessary labor, materials, and equipment to lay up masonry as shown or specified in these documents. All work shall be plumb, true, and square with filled joints.
- 4.1 Concrete Masonry Units are specified in structural specifications.
  - 4.2 For all masonry repairs and refer to the National Park Service Preservation Brief #2 Repairing Mortar Joints; NPS Preservation Tech Notes Masonry #4 Non-destructive Evaluation Techniques for Masonry Construction. All masonry work must be in-kind and protect the existing historic brick and stone work.

## DIVISION 5 - METALS

- Contractor shall provide necessary labor, materials, and equipment to erect all miscellaneous iron and steel as detailed or noted on the drawings.
- 5.1 Structural Steel and related appurtenances are specified in the structural specifications.

## DIVISION 6 - CARPENTRY

- Contractor shall provide all labor, materials, and equipment to frame up, sheath, and trim out building as shown or specified in these documents.

### FRAMING:

- 6.1 Structural aspects of Framing and related appurtenances are specified in the structural specifications.
- 6.2 Stud wall shall be 2"x4"@16" interior, or as shown, WWPFA stress rated "Standard" or "Studs", fir.
- 6.3 Wood furring to be 2"x4"@16" (for plumbing furr walls) or 2"x2"@16" WWPFA stress rated "Standard" fir or "No 3 common" pine.
- 6.4 Wood blocking shall be solid and match the depth of main members. Solid blocking is required per IBC 2015 and for vertical members at mid-height, for fire blocking, and as backing for cabinets, shelves, fixtures, vertical paneling, hardware and miscellaneous attachments. All blocking and members required by code are in addition to members shown.
- 6.5 Wood decking shall be Trex or similar, or CRA "Construction Grade" redwood - 2"x6" with imperfections removed by contractor at job site.
- 6.6 Cant strips to be fiber board or WWPFA "No 3 common" pine.
- 6.7 Construction Adhesive - Any manufacturer meeting standards of the American Plywood Association.

### FINISH CARPENTRY:

- 6.1 All finish work to be executed by trained journeymen, and shall be filled, sanded smooth, and ready for painter. Finish carpentry includes, but is not limited to, siding, paneling, trim, and shall be executed by hand with finish nails. Staple gun application will not be accepted on finish carpentry. All mitered corners to be glued with weld wood white.
- 6.8 Comply with following Grading Authority brochures:
  - Redwood CRA see brochure 6.7
  - Cedar WRCLA see brochure 6.7
  - Cedar WWPFA see brochure 6.10
  - Pine/Fir WWPFA see brochure 6.10
  - Hardwood NHLA see Paxton 6.7
- 6.9 Balcony railings to be "B" grade redwood, cedar, oak, pine post and metal cable rail members. All deck railing material to be factory stained.
- 6.10 Interior wood trim to match existing in-kind.
- 6.11 Wood flooring to match existing in-kind.
- 6.12 Closet shelving to be per interior designer specs.
- 6.13 Mill work shall be to match existing in-kind.

## DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- Contractor shall provide all labor, materials, and equipment to install insulation as detailed or specified in these documents. Insulation, Roofing and Waterproofing work are not anticipated, unless damaged by construction activities.

### INSULATION:

- Match existing insulation where damaged or needs to be replaced by Construction Activities.

- 7.1 Provide and install wall insulation in new construction between offices for sound protection.

## DIVISION 7 - THERMAL AND MOISTURE PROTECTION:

- Contractor shall provide all labor, materials, and equipment to install insulation, roof and waterproofing as detailed or specified in these documents.

### INSULATION:

- 7.1 Provide and install blow-in insulation between Main and Upper Level Floors for sound protection.
- 7.2 Provide and install blow-in insulation in existing walls between hotel units for sound insulation. Extend walls and insulation over wall top plate.
- 7.3 Building insulation requirements to be as follows:

<b>ROOF/ATTIC:</b>			
where uncompressed insulation extends over the wall top plate at eaves:			
roof/attic	R-38	11" blown-in cellulose	
roof/attic	R-38	16" blown-in fiberglass	
roof	R-43.75	7" sprayed-on urethane	
where uncompressed insulation <u>does not</u> extend over the wall top plate at eaves:			
roof/attic	R-50	16.4" blown-in cellulose	
roof/attic	R-49	20" blown-in fiberglass	
roof	R-50	8" sprayed-on urethane	
<b>WALLS:</b>			
interior stud walls	R-11	3 1/2" blown-in	
interior bathroom walls	R-11	3 1/2" blown-in	
basement walls (exterior)	R-10/13	2 1/8" styrofoam perimate	

### FLOORS:

- |                |      |                 |
|----------------|------|-----------------|
| unheated below | R-30 | 10" blown-in    |
| heated below   | R-11 | 3 1/2" blown-in |

- 7.4 Foam all exterior doors, windows and penetrations thru exterior walls.
- 7.5 Provide EPDM building gaskets behind drywall edge at top plates, bottom plates, around windows and doors, and in gap between window/door bucks and framing. Resource Conservation Technology, Baltimore, Maryland, or approved equal. Drywall BG52 Window/Door Bucks BG44 - BG46

### ROOF AND WATERPROOFING:

- Roofing shall be done only by an experienced roofing contractor. Roof foreman shall discuss installation of flashing and application of roofing with Architect prior to beginning work. General Contractor shall guarantee roof against leaking for two years with the signing of this contract.
- 7.6 Provide bituthane "Ice & Water Guard" below all roofing. Up-slope materials must lap over down-slope material by minimum 2" if needed.
  - 7.7 Membrane Roofing to match existing or approved equal.
  - 7.8 All flashings to be roll formed 24 gauge hot dipped galvanized steel with 20 year Kynar 500 finish. Color to match adjacent materials.
  - 7.9 Foundation to be damp-proofed/water-proofed with spray applied asphaltic mastic. Provide glass fab at all inside corners.
  - 7.10 All caulking to be "DAP" 35 year or equal. Color to match adjacent material finish.

## DIVISION 8 - DOORS, WINDOWS AND GLASS:

- Contractor shall supply and install all doors, windows, and glazing as shown, scheduled, detailed, and/or specified in these documents. U-values for exterior fenestration (windows & doors) shall be a maximum of 0.36. Installed windows & doors shall meet or exceed this requirement and be individually labeled.

### DOORS:

- 8.1 All historic Exterior doors to be rehabilitated and repaired as needed; refer to NPS Preservation Brief #11 Rehabilitating Historic Storefronts; #47 Maintaining the Exterior of Small and Medium Size Historic Buildings
- 8.2 Interior doors to be rehabilitated and repaired as needed.
- 8.3 All doors to be equipped with hardware in manufacturer, style and function to match existing as selected by Owner.
- 8.4 All hardware must meet requirements of the International Building Code (IBC 2015) and the Americans with Disabilities Act (ADA 2010).

### WINDOWS:

- 8.5 All windows to be cleaned and repaired as needed. Refer to NPS Historic Preservation Brief #9 The Repair of Historic Wooden Windows. Any replacement work to be done in-kind, to match existing.
- 8.6 Mirrors to be 1/4" plate glass. Final selection to be determined by Interior Designer.
- 8.7 Glass shower doors to be determined by Interior Designer.
- 8.8 Provide and install interior windows with blinds to match existing interior windows as approved by Owner and determined by Interior Designer.

## DIVISION 9 - INTERIOR FINISHES:

- Contractor shall provide all materials and labor to finish rooms and building exterior, as shown, noted, scheduled or specified in these documents.

- 9.1 Drywall to be 5/8" thick taped, filled, and sanded. Firecode drywall, where required shall be 5/8" thick on walls and ceilings, taped, filled, and sanded. Firecode drywall is required over foam insulation. Water resistant drywall, "Blueboard", is required in damp locations. Tile backer board, "Wonderboard", is required in showers and tile baths. Provide square metal bead at all outside and inside corners, and J or L mold at all edges.
- 9.2 Provide 5/8" firecode drywall at following locations and where shown on drawings: below basement stairs
- 9.3 Provide fire taped, no finish, drywall behind all wood paneling, FRP, and other face applied wall surfaces.
- 9.4 Refer to Finish Schedule in drawings for finish selections.

### FINISHES:

- 9.5 Drywall texture to match existing historic plaster walls and ceilings. Refer to NPS Preservation Brief #21 Repairing Historic Flat Plaster - Walls and Ceilings.
- 9.6 Repair all beam work, trim around doors, windows and base trim as needed.
- 9.7 Patch and repair existing walls, trim and flooring using materials and finishes to match existing.
- 9.8 Provide and install Floor that matches existing floor. Thinnest application in accordance with manufacturer's recommendations. Provide for Owner's use a minimum of 2% of the primary sizes and colors of tiles used, boxed and clearly labeled.
- 9.9 Ceramic tile to be supplied and installed by contractor with all bullnose, base, features, accessories, and corners required. Layout of field tiles to be centered on wall panels. Joints of all features to be precisely aligned with field tiles. Tile setter to review layout of tile work with Architect/Interior Designer prior to beginning work. Coordinate tile layout with the locations of electrical outlets and switch boxes with general Contractor before beginning work.
- 9.10 Wood flooring on a framed deck to be layed over a smooth, scraped, and clean surface. Wood flooring to be handled as a "Materials and Labor" Allowance.
- 9.11 Rubber base to be Johnsontite Mandalay in black if needed.
- 9.12 Wood paneling to be determined by Interior Designer. Commercial only, Flamespread Stack and sticker, pre-stained, store wood paneling inside heated space minimum 10 days prior to installation to minimize shrinkage.
- 9.13 For metal tin ceiling repairs and replacement refer to NPS Preservation Brief #49 Historic Decorative Metal Ceilings and Walls: Use, Repair and Replacement. All tin ceilings need to be rehabilitated, repaired and replaced in-kind.

### PAINTING AND CLEAR COAT FINISH WORK:

- All painting and varnish work shall consist of minimum two (2) coats of the highest quality workmanship, free of runs and sags with straight cuts. Additional coats as required below. Where painting occurs over existing work, one opaque white coat shall precede two (2) coats of color. All stain shall be one (1) coat except as noted below.
- All primer, paint, and stain to be non-toxic, solvent-free products. Submit product specifications to Architect for approval.

- Contractor to supply sample of stain on specimen of actual wood specified for approval of Architect before proceeding with work.

- For all existing painted and stained wood trim, doors, windows and base refer to NPS Preservation Briefs #10 Exterior Paint Problems on Historic Woodwork; #28 Painting Historic Interiors.

- 9.14 If needed, interior Beams and trim (windows, doors and base trim) to receive 1 coat pre-stain conditioner, 1 coat pre-installation stain, including back-staining, 1 coat stain after installation. (to receive 1 coat oil based primer, 2 coats latex enamel)
- 9.15 If needed, interior walls and ceilings to receive 1 coat primer and 2 coats acrylic latex - see Finish Schedule.
- 9.16 Interior shelving to receive 1 coat primer and 2 coats acrylic latex - satin finish.
- 9.17 If needed, interior window, door and miscellaneous wood trim to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with satin finish. (to receive 1 coat oil based primer, 2 coats latex enamel)
- 9.18 If needed, exterior doors to be sealed top, bottom, and all sides. Doors to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with satin finish. (to receive 1 coat oil based primer, 2 coats latex enamel)
- 9.19 Wood handrails to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with UV protective clear eggshell finish. (to receive 1 coat oil based primer, 2 coats latex enamel)
- 9.20 Wood cabinets to be prefinished by cabinet manufacturer with final coat/touch-up coat applied at site by cabinet supplier/installer.
- 9.21 Millwork to receive 1 coat pre-conditioner, 1 coat stain and 2 coats spray lacquer or brush applied polyurethane with satin finish. (to receive 1 coat oil based primer, 2 coats latex enamel)

## DIVISION 10 - SPECIALTY ITEMS:

- Contractor shall provide all labor and materials to install the specialty items shown, noted, or specified in these documents. Alternate hardware may be proposed. Request for substitution must be accompanied by complete HARDWARE SCHEDULE and "cut sheet" and product specification on each item, for approval of Architect. All hardware must meet requirements of the International Building Code (IBC 2015) and the Americans with Disabilities Act (ADA 2010).

- 10.1 Refer to Hardware Schedule for additional items required. Door Hardware to be handled as a "Materials Only" Allowance. Detailed door hardware requirements will be provided by Interior Designer.
- 10.2 Hotel bath accessories and kitchen accessories shall be by Interior Designer. Refer to Interior Elevations for items required. Bath accessories and kitchen accessories to be handled as a "Materials Only" Allowance.
- 10.3 Commercial Kitchen appliances will be provided by tenant.

## DIVISION 11 - EQUIPMENT:

- Contractor shall provide all labor and materials to install equipment shown, noted, or specified in these documents.

- 11.1 Residential equipment and appliances: Refer to Appliance Schedule for specified items. Residential equipment and appliances to be handled as a "Materials Only" Allowance. Detailed Residential equipment and appliances requirements will be provided by Interior Designer. Alternate appliance package may be proposed. Request for substitution must be accompanied by complete appliance schedule and "cut sheet" on each appliance, for approval of Architect. Warranty documents on all equipment and appliances shall be made out in Owner's name and presented to Owner prior to final payment.
- 11.2 Pre-finished wood cabinets: Refer to Floor Plans and Interior Elevations for items required. Wood cabinets to be handled as a "Materials Only" Allowance. Detailed wood cabinet requirements will be provided by Interior Designer. Provide all backing and filler items prefinished to match cabinets. Alternate cabinet package may be proposed. Request for substitution must be accompanied by complete cabinet schedule listing each unit, its size, and comparative product specifications, for approval of Architect. Adjustment to floor plan dimensions resulting from substitution are the responsibility of the General Contractor (GC).

## DIVISION 11 - EQUIPMENT:

- Contractor shall provide all labor and materials to install equipment shown, noted, or specified in these documents.

- 11.1 Equipment and appliances: Refer to Appliance Schedule for specified items. Alternate appliance package may be proposed. Request for substitution must be accompanied by a complete appliance schedule and "cut sheet" on each appliance, for approval of Architect. Warranty documents on all equipment and appliances shall be made out in Owner's name and presented to Owner prior to final payment.
- 11.2 Pre-finished wood cabinets: Refer to Floor Plans and Interior Elevations for items required. Detailed wood cabinet requirements will be provided by Interior Designer. Provide all backing and filler items pre-finished to match cabinets.

- Alternate cabinet package may be proposed. Request for substitution must be accompanied by complete cabinet schedule listing each unit, its size, and comparative product specifications, for approval of Architect. Adjustment to floor plan dimensions resulting from substitution are the responsibility of the General Contractor (GC).

## DIVISION 12 - FURNISHINGS:

- 12.1 Furnishings provided by Owner, determined by Interior Designer.

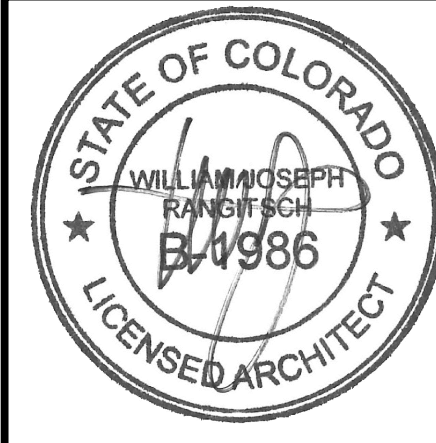
## DIVISION 13 - SPECIAL CONSTRUCTION: NOT USED

## DIVISION 14 - CONVEYING SYSTEMS: NOT USED

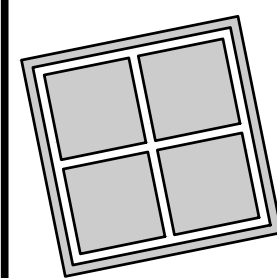
## DIVISION 15 - MECHANICAL AND PLUMBING: REFER TO MP DRAWINGS

## DIVISION 16 - ELECTRICAL: REFER TO ELECTRICAL DRAWINGS

SPECIFICATIONS



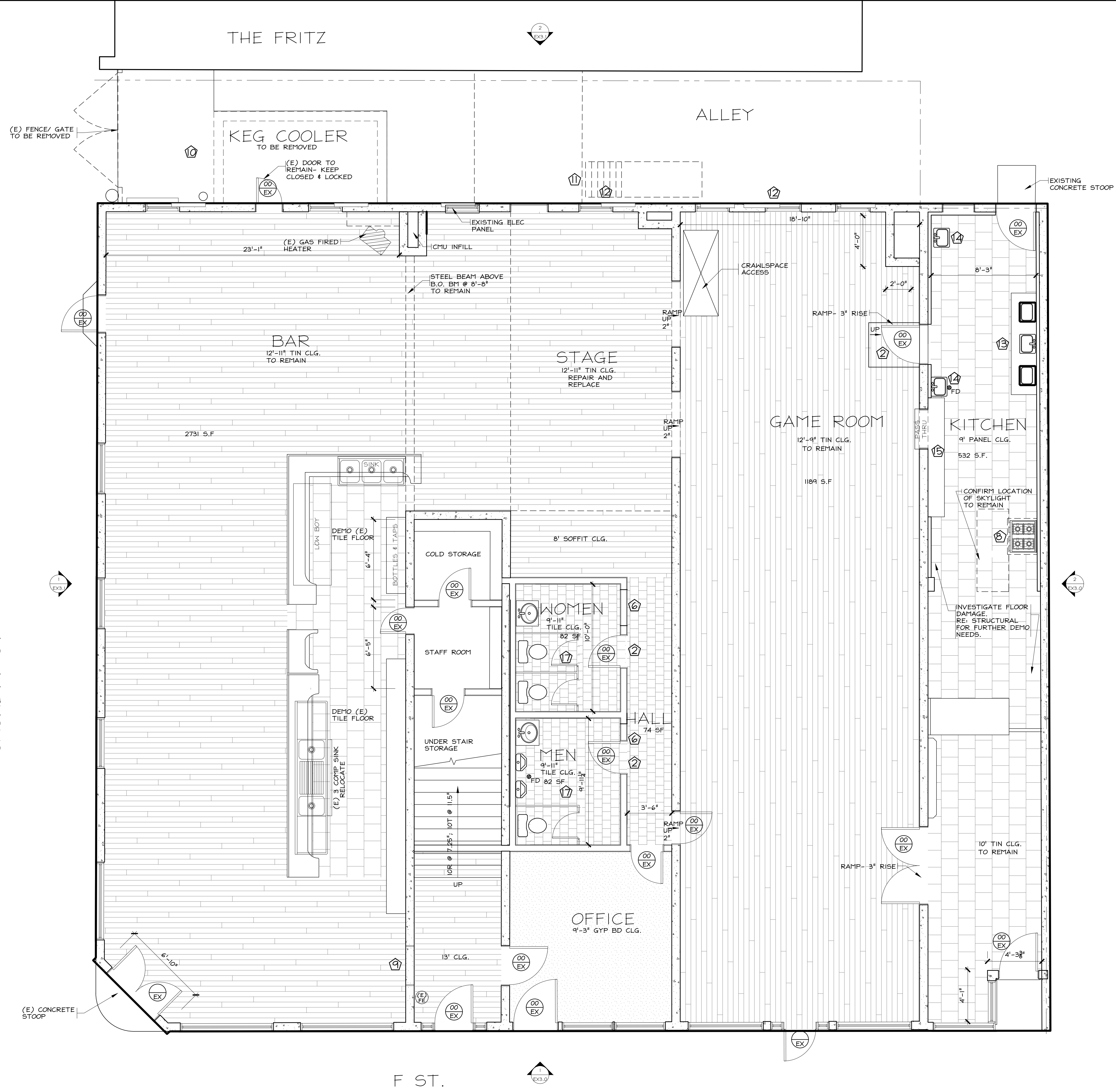
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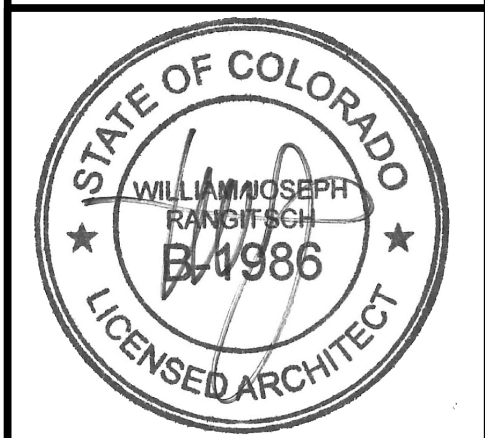
**WALL LEGEND**

- EXISTING PARTITION WALL TO REMAIN
- ==== EXISTING PARTITION WALL TO REMOVED/ DEMOLISHED
- NEW PARTITION WALL TO BE CONSTRUCTED

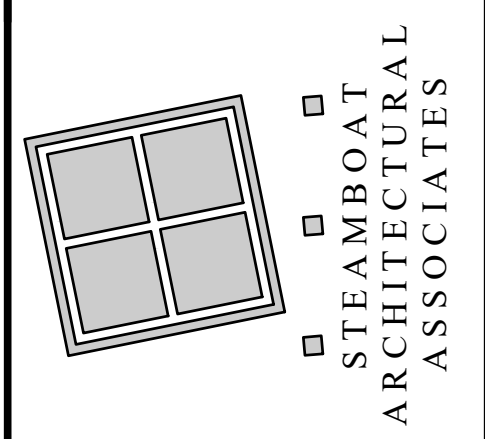
**DEMO KEYNOTES**

- 1 REMOVE EXISTING PARTITION WALL- PLATES, STUDS, GYPSUM BOARD, AND ALL ASSOCIATED TRIM
- 2 REMOVE EXISTING DOOR. ASSOCIATED TRIM AND CASING TO REMAIN AT RE-USED OPENINGS. INFILL OPENING OR PREPARE FOR NEW.
- 3 REMOVE EXISTING BATH FIXTURES, COUNTER, CASEWORK, FLOORING AND PREPARE FOR NEW.
- 4 REMOVE EXISTING REFRIGERATOR, RANGE, SINK, & COUNTERS. COORDINATE WITH OWNER TO RE-FINISH CABINETS AND RE-INSTALL WITH NEW SINK & COUNTER.
- 5 REMOVE EXISTING WATER CLOSET
- 6 DEMO WALL FOR NEW OPENING
- 7 DEMO/ REMOVE EXISTING SINK
- 8 DEMO/ REMOVE EXISTING RANGE/ COOKTOP
- 9 EXISTING INFILLED OPENING TO BE RE-MOVED FOR NEW DOOR
- 10 DEMO/ REMOVE EXISTING WALK-IN COOLER WALLS, FLOOR, CEILING, AND ROOF. INFILL EXISTING DOOR OPENING
- 11 DEMO/ REMOVE EXISTING STAIR TO LOWER LEVEL AND ASSOCIATED RUBBLE WALLS
- 12 DEMO EXISTING OPENING AND PREPARE FOR NEW DOOR
- 13 DEMO/ REMOVE EXISTING 3 COMP SINK
- 14 DEMO/ REMOVE EXISTING HAND SINK
- 15 DEMO/ REMOVE EXISTING SHELVING AND ASSOCIATED HARDWARE
- 16 DEMO/ REMOVE EXISTING DECK AND ASSOCIATED STRUCTURE.
- 17 PREPARE SPACE FOR NEW FINISHES AND FIXTURES
- 18 EXISTING DOOR, TRIM AND HARDWARE TO REMAIN. HARDWARE HOWEVER NEEDS TO BE INOPERABLE AND LOCKED.
- 19 REMOVE AND SAVE EXISTING DOOR AND HINGES, TRIM CASEWORK, ETC TO REMAIN

EXISTING MAIN LEVEL/ DEMO PLAN



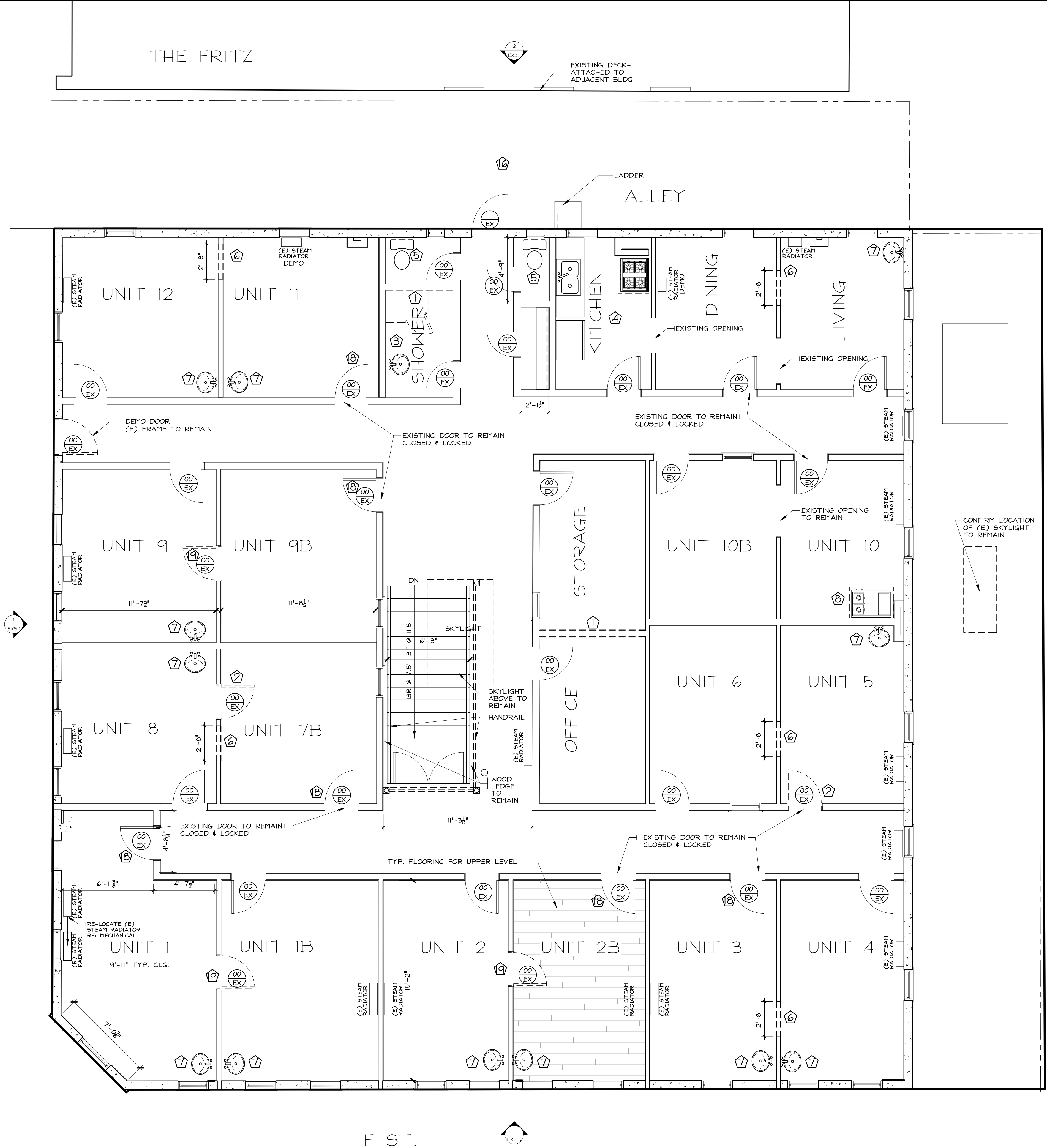
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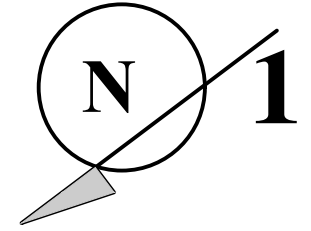
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**1 EXISTING MAIN LEVEL/ DEMO PLAN**  
 1/4" = 1'-0"  
 SEE A1.0

SACKETT ST



F ST.



# EXISTING UPPER LEVEL/ DEMO PLAN

1/4" = 1'-0"  
 SEE A1.0

## WALL LEGEND

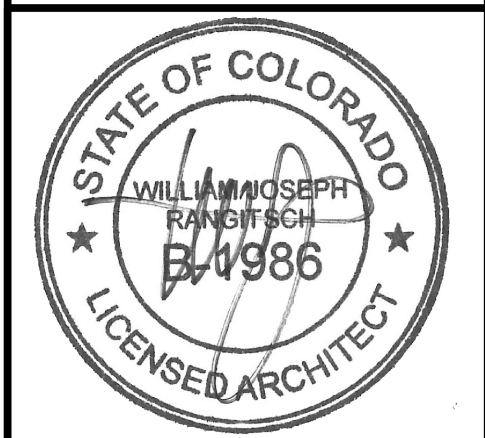
- EXISTING PARTITION WALL TO REMAIN
- EXISTING PARTITION WALL TO REMOVED/ DEMOLISHED
- NEW PARTITION WALL TO BE CONSTRUCTED

## DEMO KEYNOTES

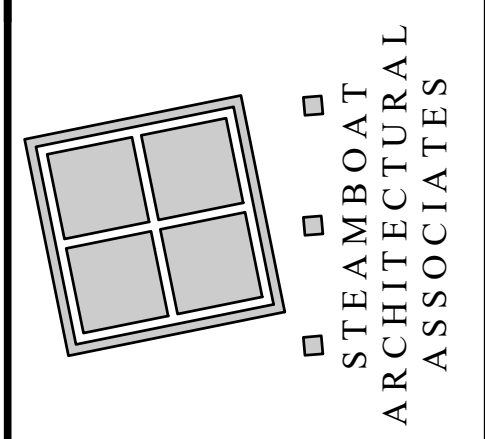
- 1 REMOVE EXISTING PARTITION WALL- PLATES, STUDS, GYPSUM BOARD, AND ALL ASSOCIATED TRIM
- 2 REMOVE EXISTING DOOR. ASSOCIATED TRIM AND CASING TO REMAIN AT RE-USED OPENINGS. INFILL OPENING OR PREPARE FOR NEW.
- 3 REMOVE EXISTING BATH FIXTURES, COUNTER, CASEWORK, FLOORING AND PREPARE FOR NEW.
- 4 REMOVE EXISTING REFRIGERATOR, RANGE, SINK, & COUNTERS. COORDINATE WITH OWNER TO RE-FINISH CABINETS AND RE-INSTALL WITH NEW SINK & COUNTER.
- 5 REMOVE EXISTING WATER CLOSET
- 6 DEMO WALL FOR NEW OPENING
- 7 DEMO/ REMOVE EXISTING SINK
- 8 DEMO/ REMOVE EXISTING RANGE/ COOKTOP
- 9 EXISTING INFILLED OPENING TO BE RE-MOVED FOR NEW DOOR
- 10 DEMO/ REMOVE EXISTING WALK-IN COOLER WALLS, FLOOR, CEILING, AND ROOF. INFILL EXISTING DOOR OPENING
- 11 DEMO/ REMOVE EXISTING STAIR TO LOWER LEVEL AND ASSOCIATED RUBBLE WALLS
- 12 DEMO EXISTING OPENING AND PREPARE FOR NEW DOOR
- 13 DEMO/ REMOVE EXISTING 3 COMP SINK
- 14 DEMO/ REMOVE EXISTING HAND SINK
- 15 DEMO/ REMOVE EXISTING SHELVING AND ASSOCIATED HARDWARE
- 16 DEMO/ REMOVE EXISTING DECK AND ASSOCIATED STRUCTURE.
- 17 PREPARE SPACE FOR NEW FINISHES AND FIXTURES
- 18 EXISTING DOOR, TRIM AND HARDWARE TO REMAIN. HARDWARE HOWEVER NEEDS TO BE INOPERABLE AND LOCKED.
- 19 REMOVE AND SAVE EXISTING DOOR AND HINGES, TRIM CASEWORK, ETC TO REMAIN

NEIGHBOR LOT

EXISTING UPPER LEVEL/ DEMO PLAN



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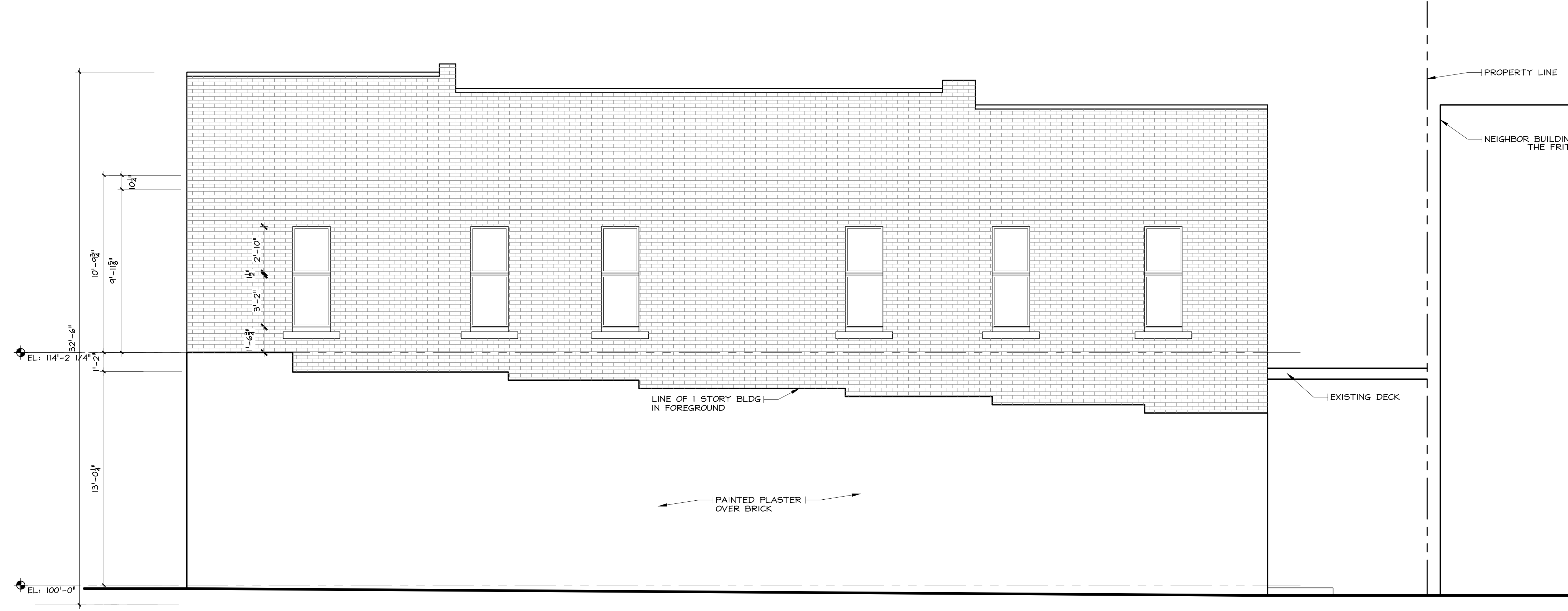


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# 1 EXISTING WEST ELEVATION

1/4" = 1'-0"  
SEE A1.0



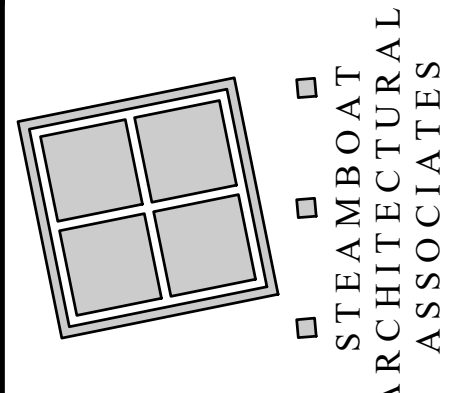
# 2 EXISTING SOUTH ELEVATION

1/4" = 1'-0"  
SEE A1.0

EXISTING WEST ELEVATION  
EXISTING SOUTH ELEVATION



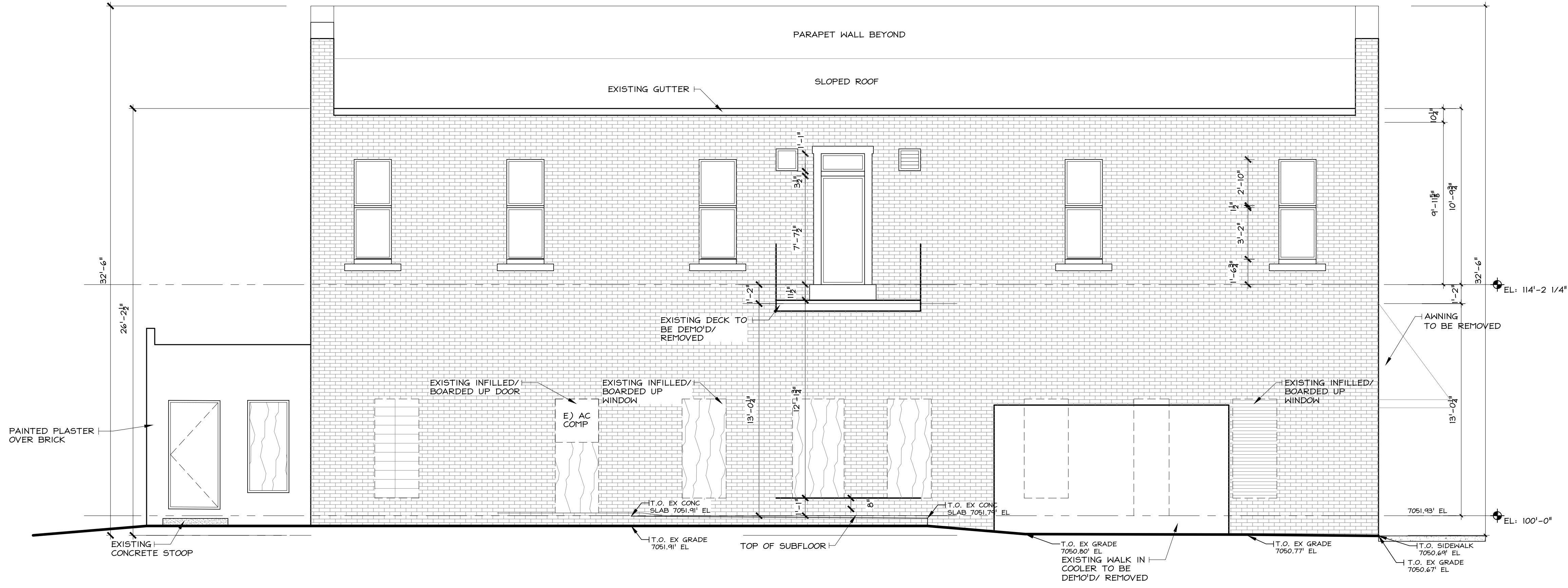
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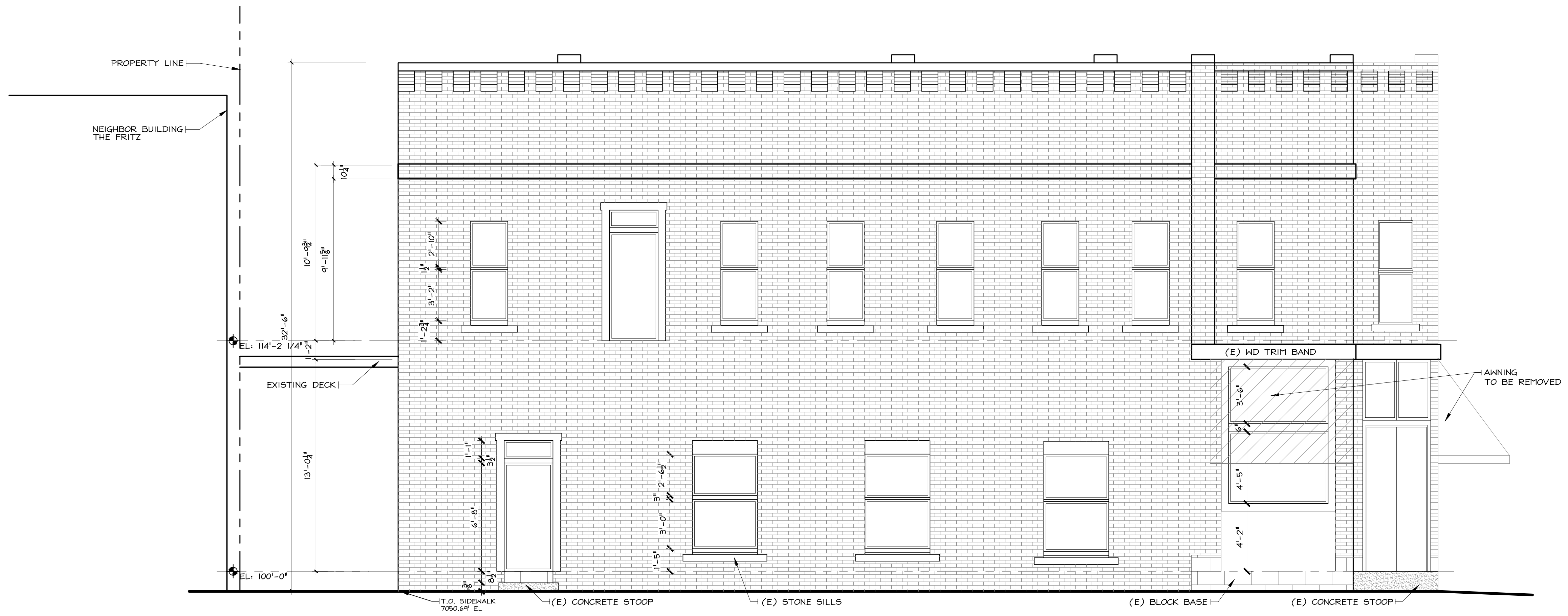
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# 1 EXISTING EAST ELEVATION

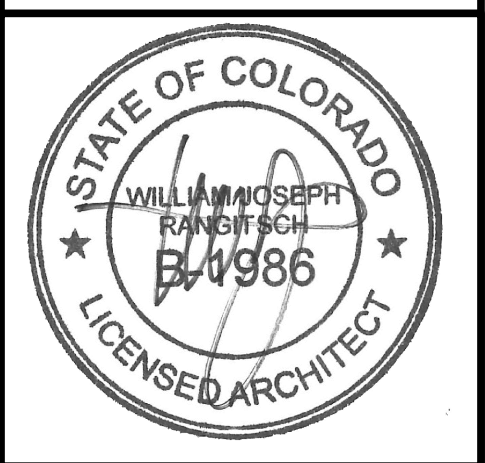
1/4" = 1'-0"  
SEE A1.0



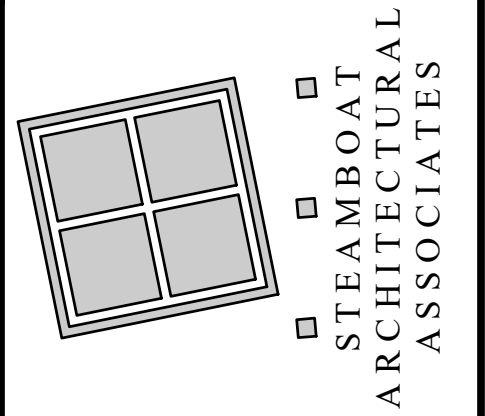
# 2 EXISTING NORTH ELEVATION

1/4" = 1'-0"  
SEE A1.0

EXISTING EAST ELEVATION  
EXISTING NORTH ELEVATION



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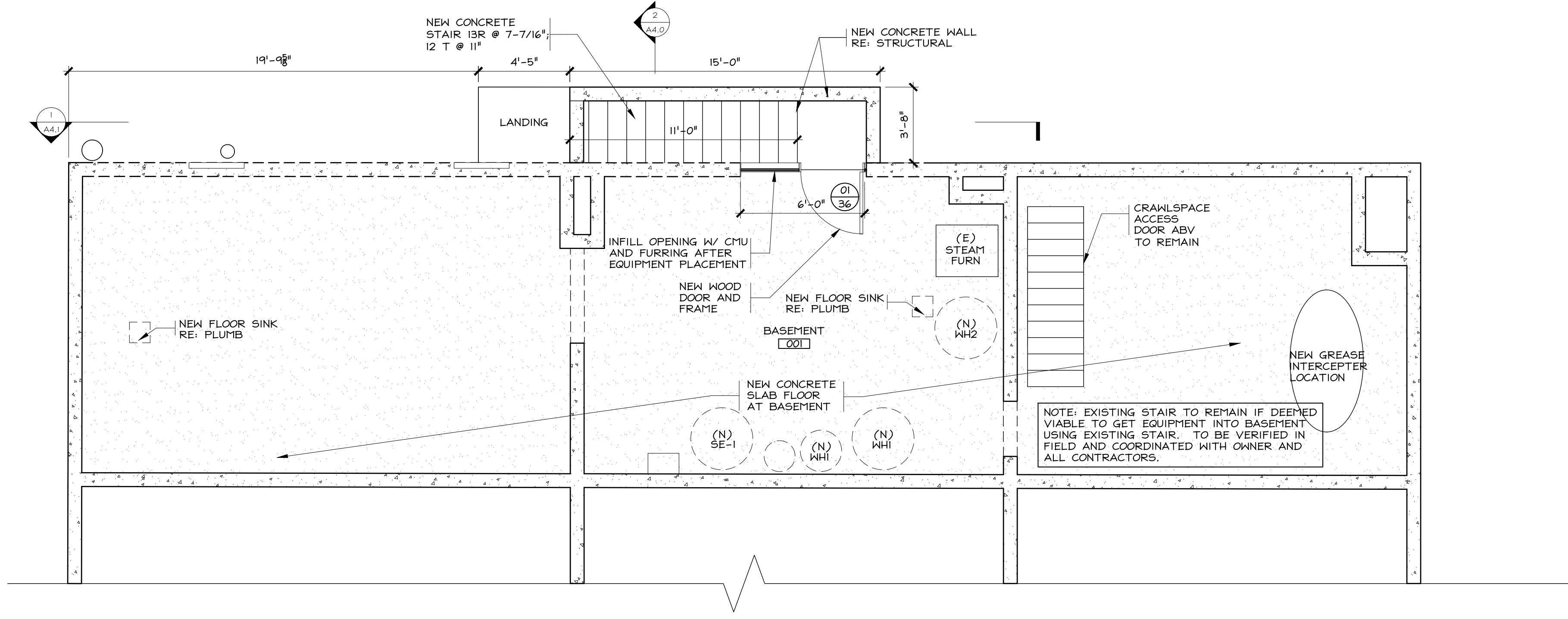
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SACKETT ST

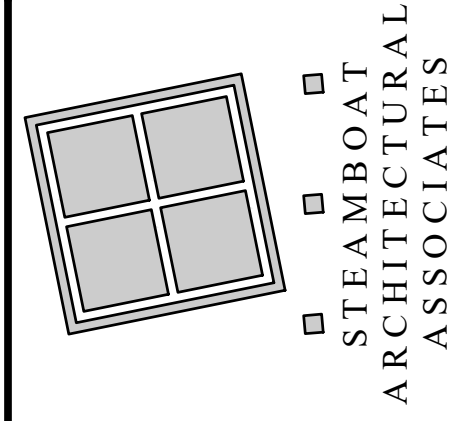
THE FRITZ



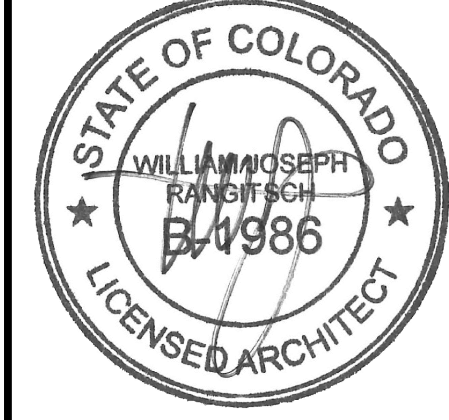
**1 LOWER LEVEL PLAN**  
 1/4" = 1'-0"  
 SEE A1.0

PROPOSED DOORS										
MARK	ELEV	FRAME	HDW	SIZE			ROOM	REMARKS		
				W	X	H	X	T	NUMBER NAME	
01	BASEMENT LEVEL			3'-0"	X	7'-0"	X	1 3/4"	001 BASEMENT	NEW HYDRAULIC EXTERIOR DOOR

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PROPOSED LOWER LEVEL PLAN

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THE FRITZ

GC TO COORDINATE LOCATION OF THE FRITZ KITCHEN EXHAUST HOOD AND THE NEW DECK. IF THERE IS A CONFLICT GC TO COORD WITH ARCHITECT ON DECK DIMENSION

ATTACH NEW DECK TO ADJACENT BLDG PER STRUCTURAL

NEW ELECTRICAL TRANSFORMER- 3' X 5' CMU ENCLOSURE

DOOR SCHEDULE													
PROPOSED DOORS		FRAME		HDW		SIZE		ROOM		REMARKS			
MARK	ELEV					W	H	X	T	NUMBER	NAME		
UPPER LEVEL													
202						2'-6"	7'-0"	X	1	3/4"	202C	UNIT 1- 202C BATH	BARN SLIDER
206						2'-6"	7'-0"	X	1	3/4"	206C	UNIT 2- 206C BATH	BARN SLIDER
207						2'-6"	7'-0"	X	1	3/4"	207C	UNIT 3- 207C BATH	BARN SLIDER
209						2'-6"	7'-0"	X	1	3/4"	209C	UNIT 4- 209C BATH	BARN SLIDER
210						2'-6"	7'-0"	X	1	3/4"	210C	UNIT 5- 210C BATH	BARN SLIDER
212						2'-6"	7'-0"	X	1	3/4"	212C	UNIT 6- 212C BATH	BARN SLIDER
214						2'-6"	7'-0"	X	1	3/4"	214C	UNIT 7- 214C BATH	BARN SLIDER
216						2'-6"	7'-0"	X	1	3/4"	216C	UNIT 8- 216C BATH	BARN SLIDER
218						2'-6"	7'-0"	X	1	3/4"	218C	UNIT 9- 218C BATH	BARN SLIDER

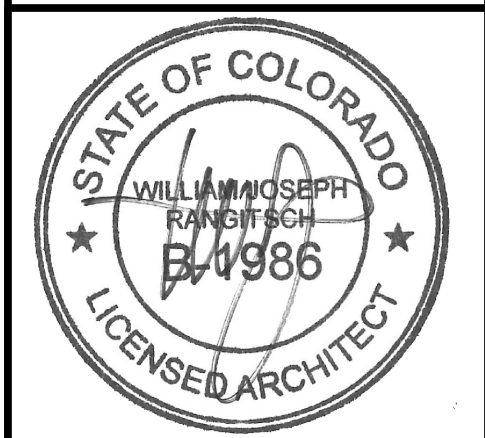
FINISH NOTE:  
ALL EXISTING WALL BOARD IS PLASTER

RENOVATION KEYNOTES

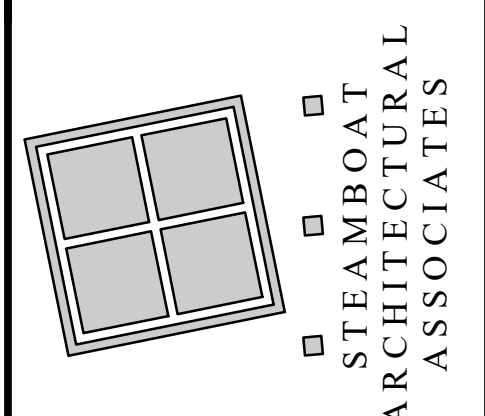
- 1 NEW FRAME PARTITION WALLS, NON RATED- REFER TO ROOM FINISH SCHEDULE FOR WALL FINISH
- 2 NEW DOOR
- 3 NEW CASSED OPENING
- 4 RELOCATED DOOR
- 5 NEW TYPE 1 BATHROOM- NEW DOUBLE LAVATORY, BASE CABINET W/ COUNTERTOP, WATER CLOSET, SHOWER, WALL MIRROR, AND FLOORING. SEE DETAIL 1,2/A4.2
- 6 NEW TYPE 2 BATHROOM- NEW SINGLE LAVATORY, BASE CABINET W/ COUNTERTOP, WATER CLOSET, SHOWER, WALL MIRROR, AND FLOORING. SEE DETAIL 3,4/A4.2
- 7 NA
- 8 NEW KITCHENETTE- WITH DOUBLE SINK/ DISHWASHER, REFRIGERATOR, AND 34" HIGH COUNTERTOP. COORDINATE WITH OWNER TO RE-FINISH/ RE-USE EXISTING CABINETS.
- 9 NEW UPPER LEVEL DECK W/ NEW RAILING PER CODE
- 10 NEW STAIR FROM NEW DECK TO GRADE
- 11 NEW WALK IN COOLER, COORDINATE WITH MANUFACTURER
- 12 NEW STAIR FROM GRADE TO LOWER LEVEL
- 13 NEW CONCRETE RAMP/ FLATWORK @ NEW ALLEY ENTRY
- 14 NA
- 15 NEW EQUIPMENT PER A2.6/ A2.7 EQUIPMENT PLANS AND EQUIPMENT SCHEDULE

INSULATION NOTE:  
ALL UPPER FLOOR CAVITIES ARE TO BE FILLED WITH LIGHT WEIGHT BLOW-IN INSULATION INSTALLED FROM ABOVE.  
ALL UPPER FLOOR CORRIDOR/ PARTY WALLS ARE TO BE FILLED WITH LIGHT WEIGHT BLOW-IN INSULATION R-30 IF POSSIBLE.  
INTERIOR UNIT WALLS ARE TO BE NON-INSULATED, TYPICAL.

PROPOSED UPPER LEVEL PLAN



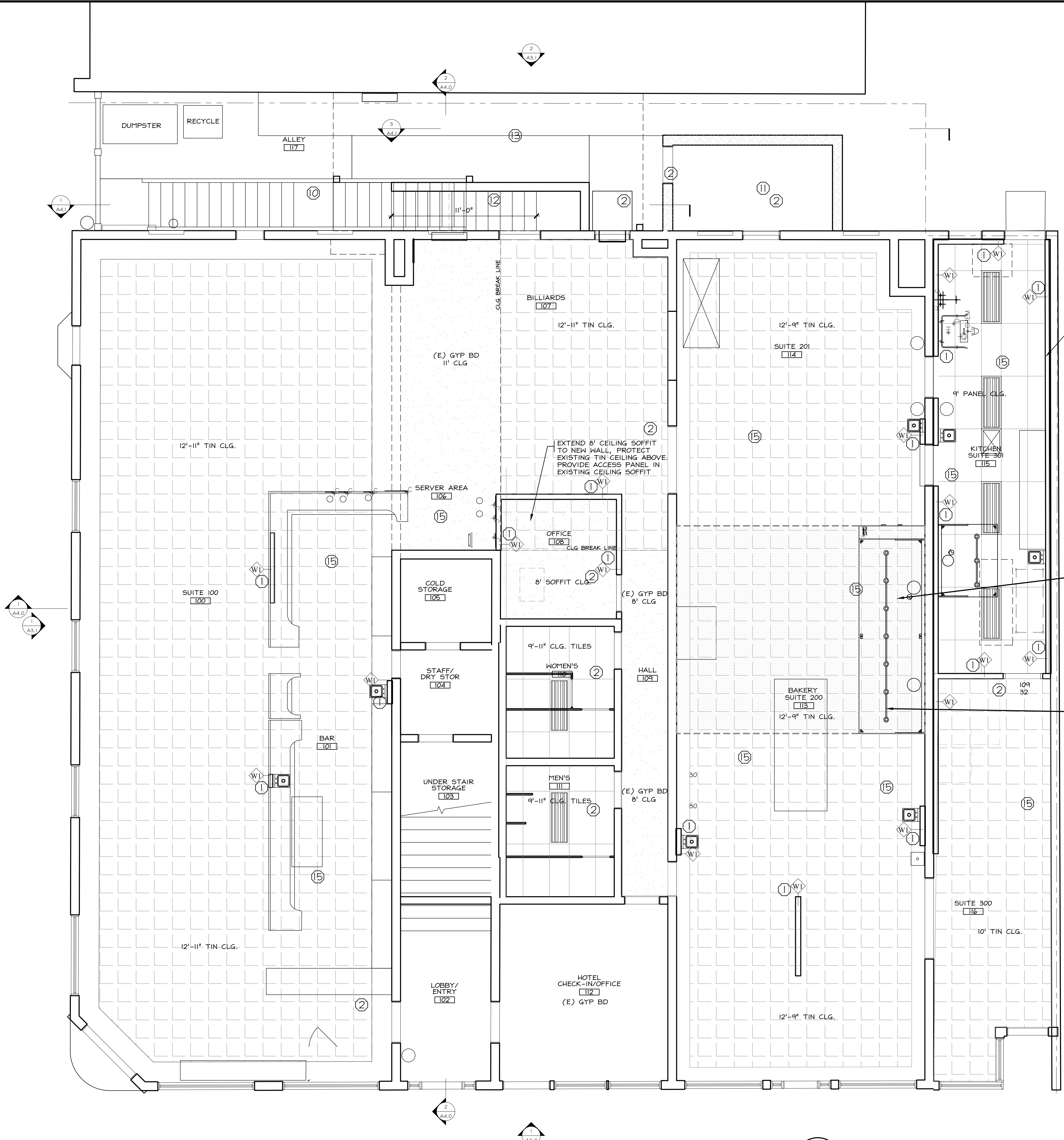
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OPTION 1  
**UPPER LEVEL PLAN**  
1/4" = 1'-0"  
SEE A1.0

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 A2.4 M RCP  
 A2.4 M RCP



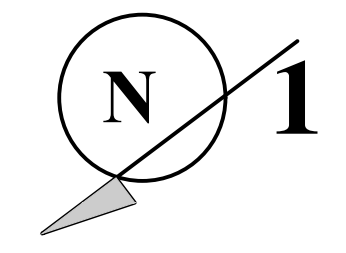
REPAIR & REPLACE DROPPED CEILING TILES, PROTECT TIN CEILING ABOVE

NOTE:  
 TIN CEILINGS TO BE REPAIRED & IF NECESSARY, REPLACED WITH IN-KIND THAT MATCH TO EXISTING

ALL MEP AND LIGHTING TO BE SURFACE MOUNTED WITH MINIMUM DISTURBANCE TO TIN CEILING AS POSSIBLE

NEW HOOD TO BE LOCATED BETWEEN WINDOWS ABOVE AND NOT INTERFERE WITH SKYLIGHT ABOVE RE. MECHANICAL/STRUCTURAL

NEW STRUCTURAL CEILING MEMBERS REQUIRED AT NEW HOOD LOCATION TO BE INSTALLED FROM BELOW, EXISTING TIN CEILING TO BE CAREFULLY REMOVED, PROTECTED, AND PRESERVED FOR RE-INSTALLATION ONCE STRUCTURAL WORK HAS BEEN COMPLETED.

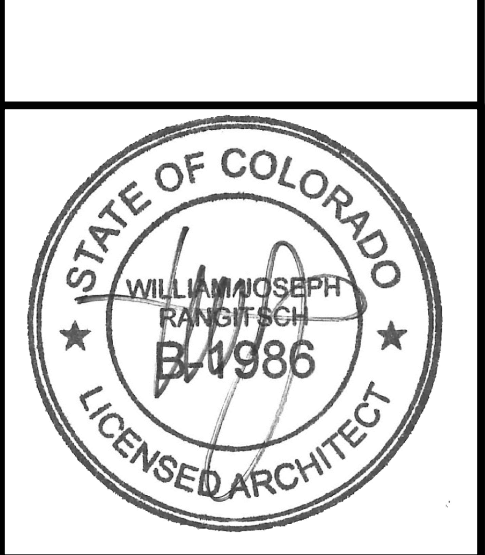


# 1 MAIN LEVEL REFLECTED CEILING PLAN

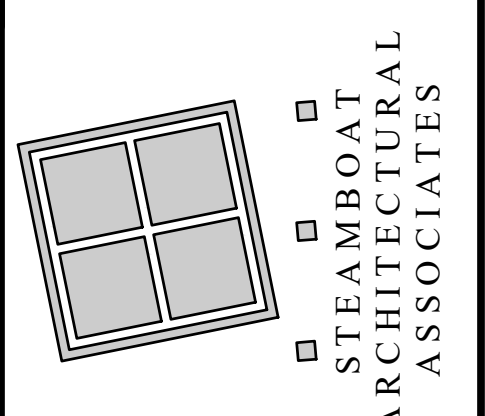
1/4" = 1'-0"  
 SEE A2.1

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PROPOSED MAIN LEVEL REFLECTED CEILING PLAN



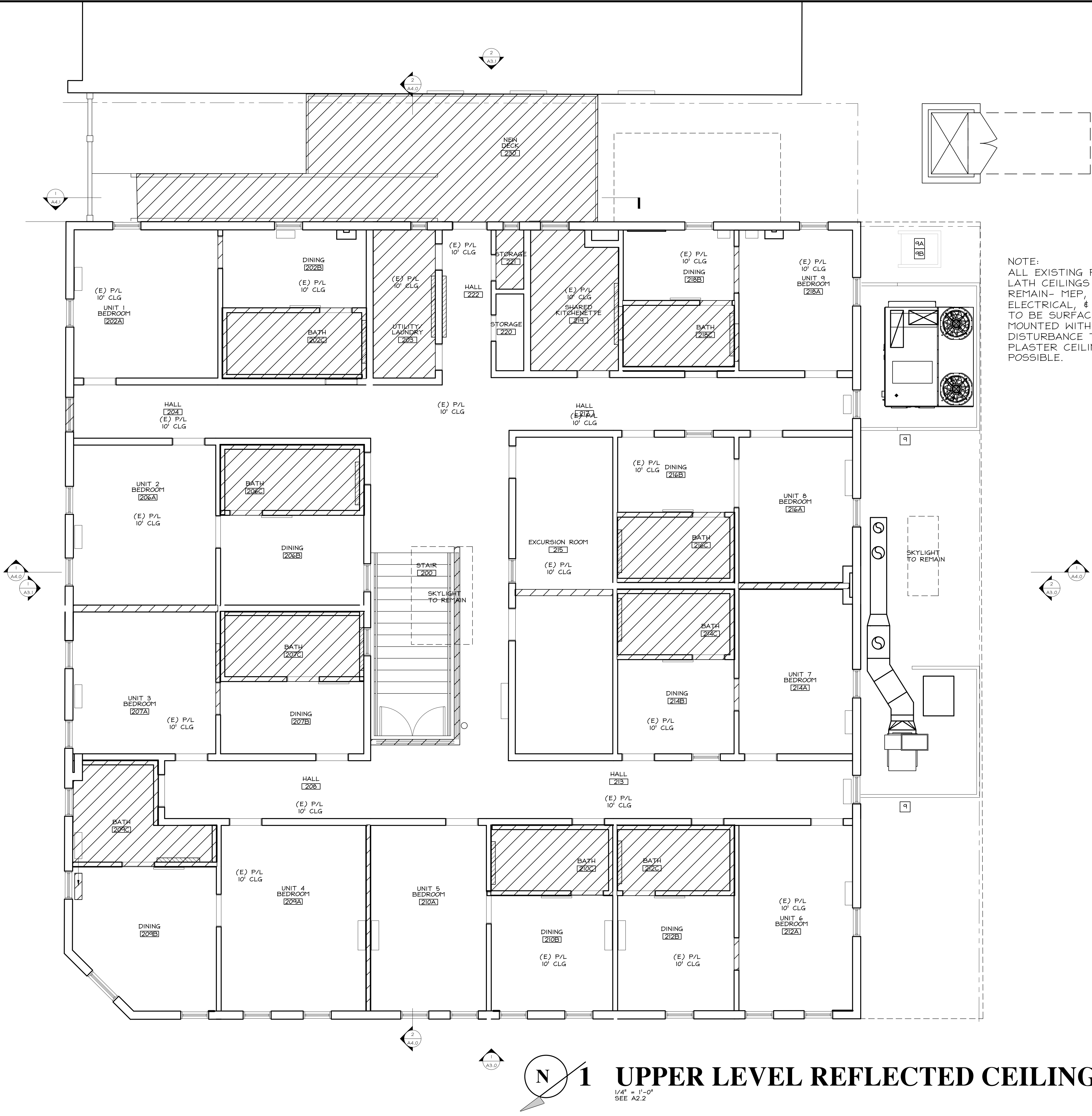
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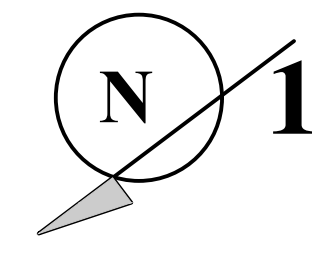
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A2.5 U RCP  
 A2.5 U RCP



NOTE:  
 ALL EXISTING PLASTER &  
 LATH CEILINGS TO  
 REMAIN- MEP, ALL  
 ELECTRICAL, & LIGHTING  
 TO BE SURFACE  
 MOUNTED WITH MINIMUM  
 DISTURBANCE TO  
 PLASTER CEILINGS AS  
 POSSIBLE.

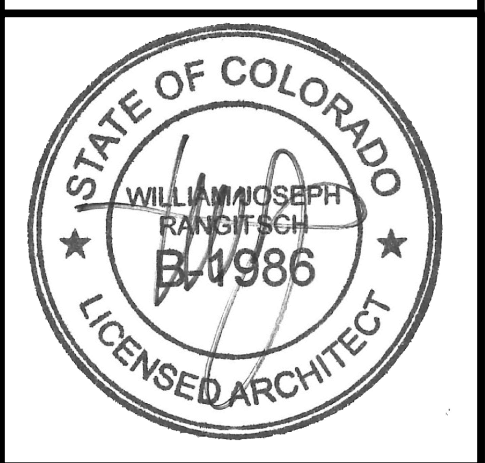


# 1 UPPER LEVEL REFLECTED CEILING PLAN

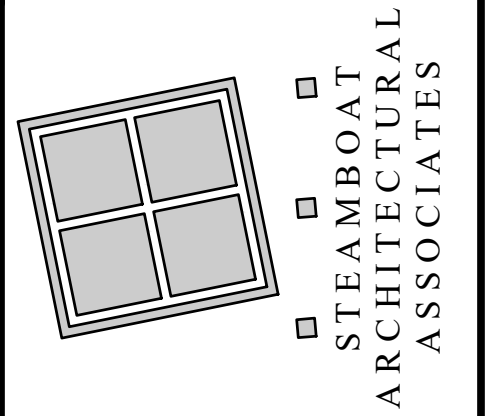
1/4" = 1'-0"  
 SEE A2.2

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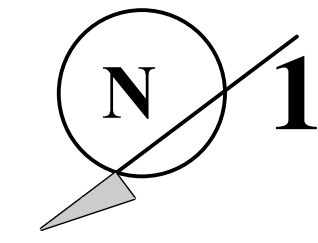
PROPOSED UPPER LEVEL  
 REFLECTED CEILING PLAN



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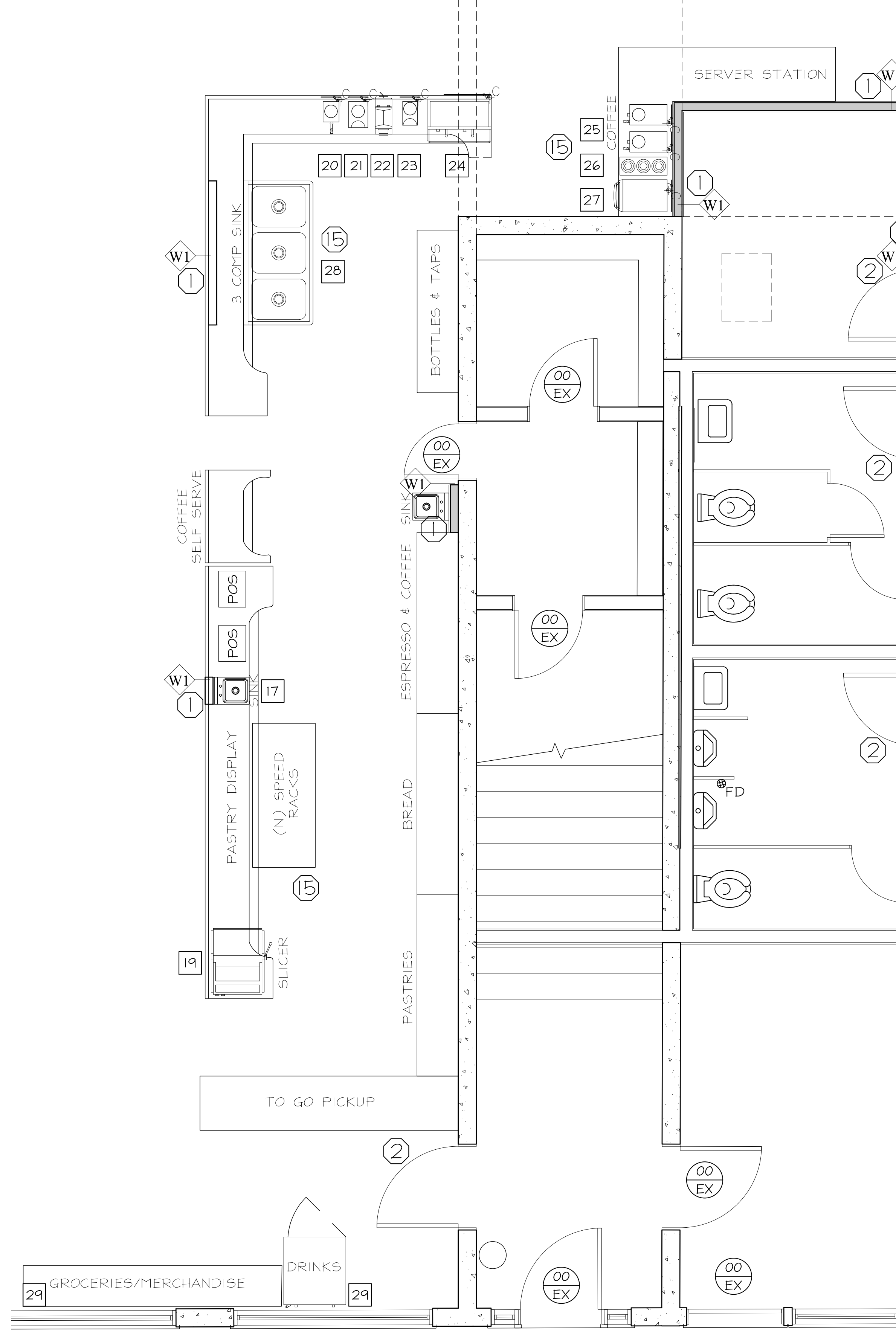


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# 1 ENLARGED BAR EQUIPMENT PLAN

3/8" = 1'-0"  
 SEE A1.0

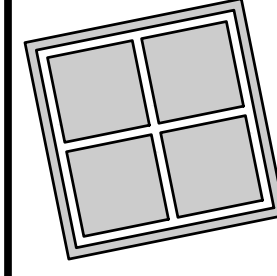


APPLIANCE SCHEDULE							
MAIN LEVEL							
MARK	APPLIANCE	MANUFACTURER	MODEL	COLOR	ROOM NUMBER	ROOM NAME	REMARKS
19	SLICER	OLIVER PRODUCTS CO	7H		101	BAR	
20	HOT WATER MACHINE	BUNN	HW2		101	BAR	
21	BEAN GRINDER	NUOVA SIMONELLI	HDXS		101	BAR	
22	BEAN BULK GRINDER	BUNN	G3		101	BAR	
23	ESPRESSO GRINDER	NUOVA SIMONELLI	G60		101	BAR	
24	ESPRESSO MACHINE	LA MARZOCCO	2 GROUP		101	BAR	
25	COFFEE BREWING SYSTEM	FETCO	CBS-2152XTS-2G		106	SERVER AREA	
26	LID DISPENSER	SAN JAMAR			106	SERVER AREA	
27	HOT CHOCOLATE MACHINE	CURTIS CO.			106	SERVER AREA	
28	3 COMP SINK	ADVANCE TABCO			55	101	BAR
29	WINDOW SCREENS	INSOLROLL	AURORA	C/B	101	BAR	CHARCOAL/ BRONZE
	WINDOW SCREENS	INSOLROLL	AURORA	C/B	112	PRIVATE DINING	CHARCOAL/ BRONZE
	WINDOW SCREENS	INSOLROLL	AURORA	C/B	113	BAKERY-STE 200	CHARCOAL/ BRONZE
	WINDOW SCREENS	INSOLROLL	AURORA	C/B	116	SUPPLIES/ORDERS-STE 300	CHARCOAL/ BRONZE
30	STAIRWELL COVER	BILCO	JD-AL-H20	55	117	ALLEY	DOUBLE DOOR

PAGE 2 OF 2

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STEAMBOAT  
 ARCHITECTURAL  
 ASSOCIATES

**William J. Rangitsch**

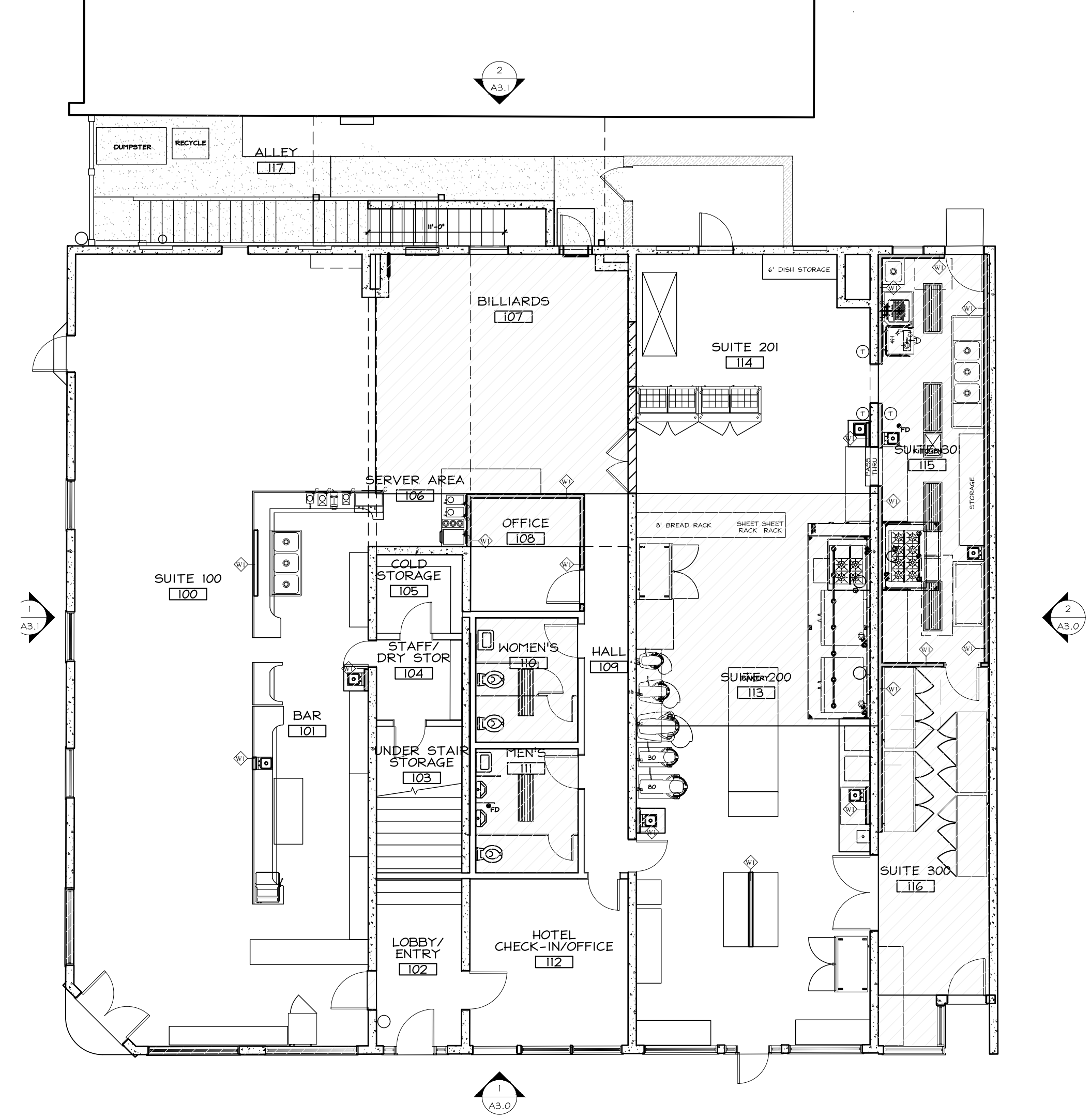
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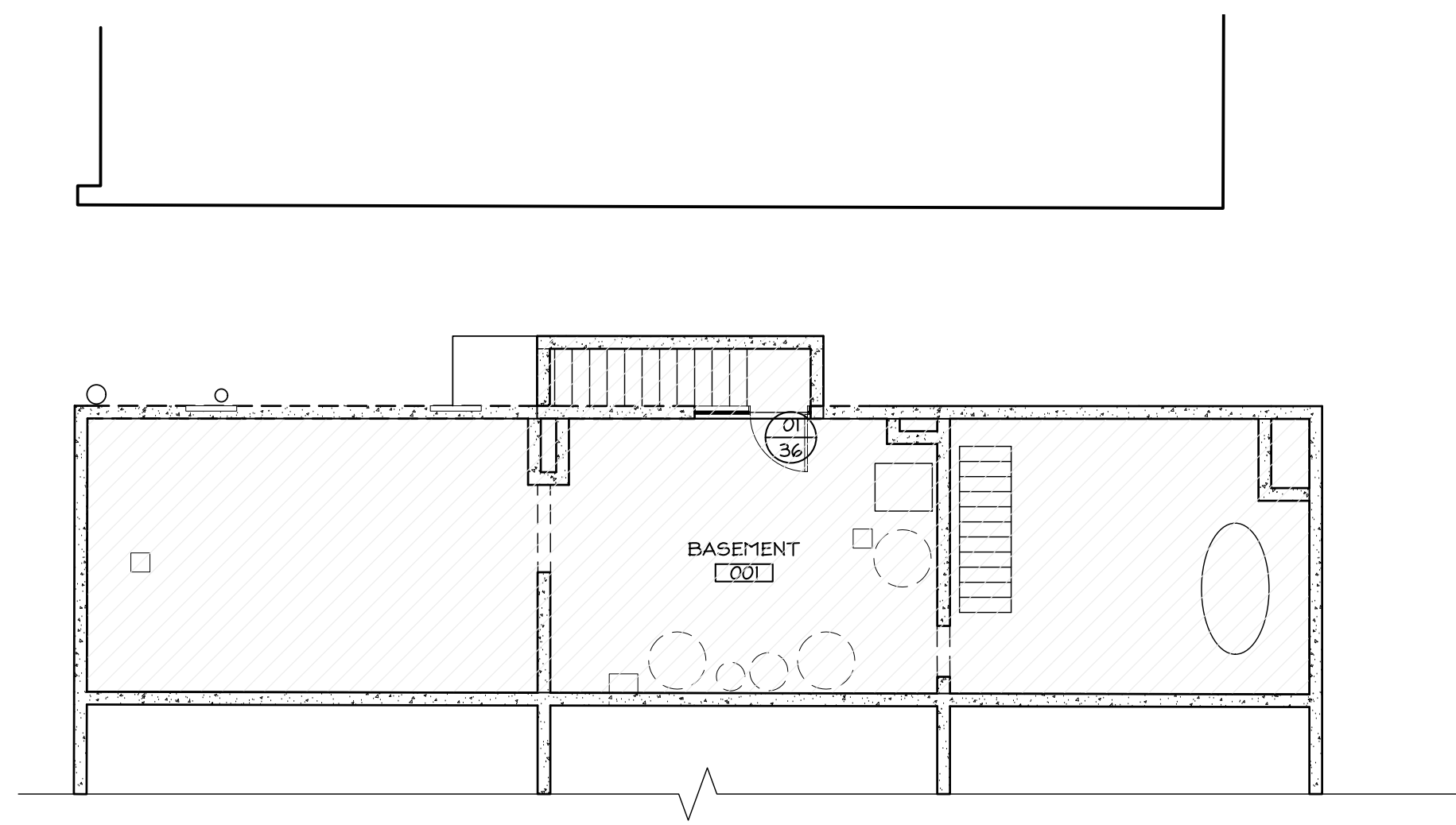
ENLARGED BAR EQUIPMENT PLAN

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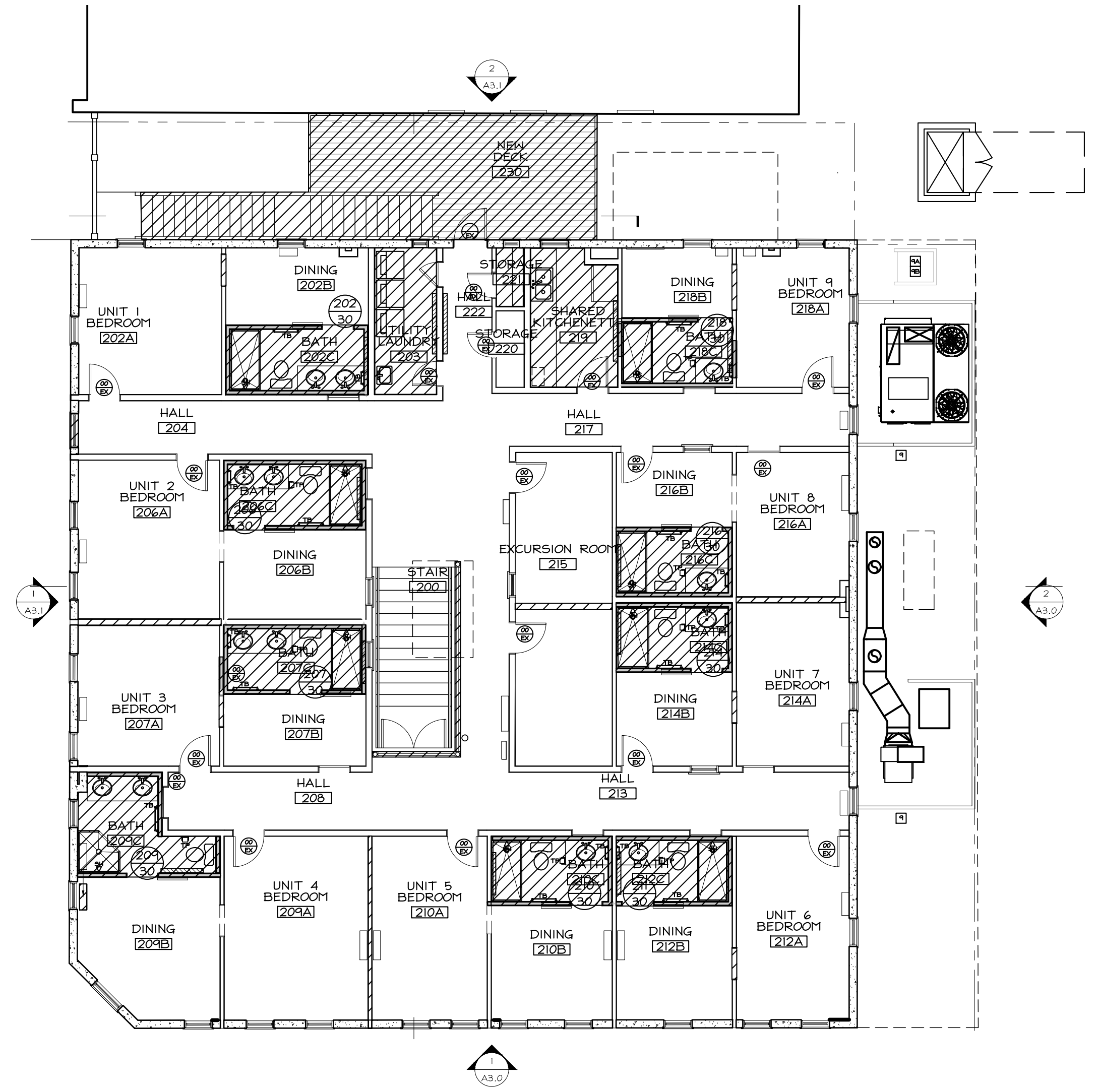
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**2 MAIN LEVEL WORK AREA**  
 WORK AREA SF = 1574  
 1/4" = 1'-0"  
 SEE A1.0



**1 LOWER LEVEL WORK AREA**  
 WORK AREA SF = 985  
 1/4" = 1'-0"  
 SEE A1.0

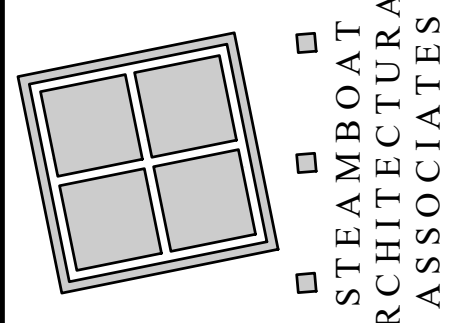


**3 UPPER LEVEL WORK AREA**  
 WORK AREA SF = 1,047  
 1/4" = 1'-0"  
 SEE A1.0

WORK AREA SF



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12 SEPT 22

**A2.8**

21-03

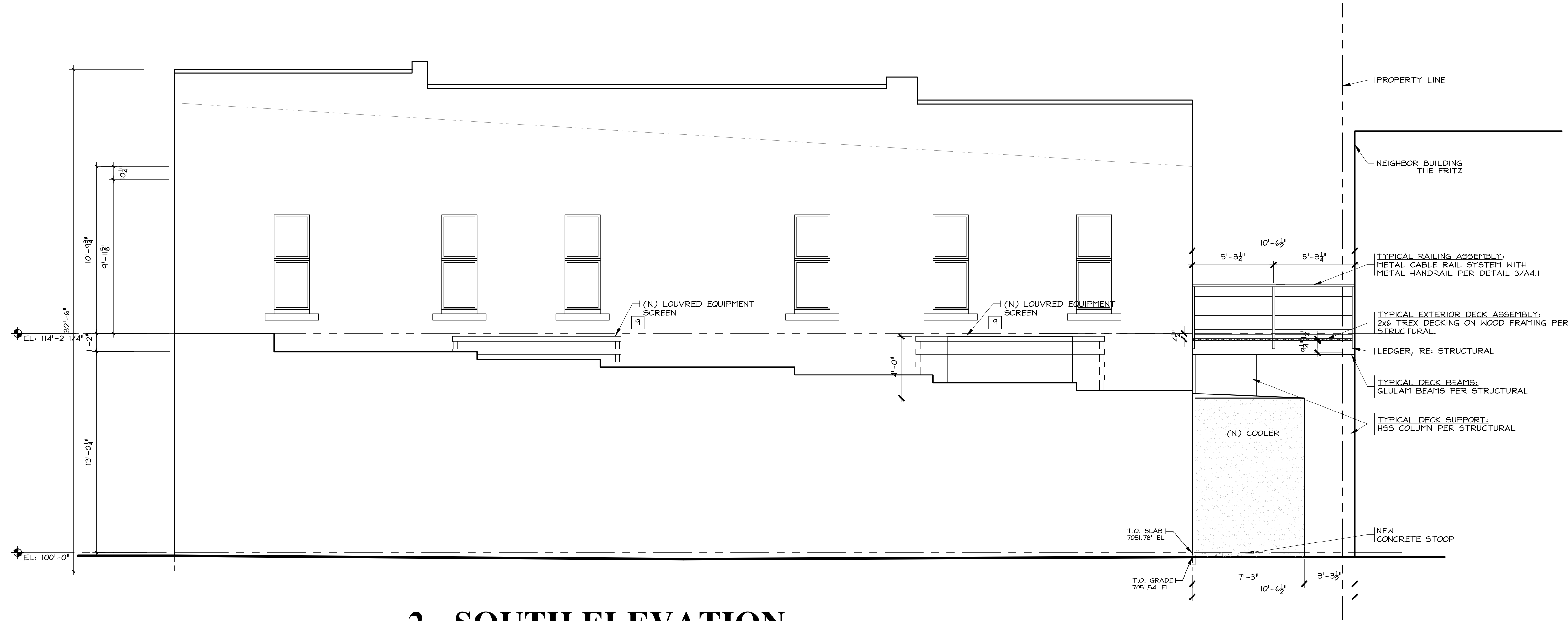
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# 1 WEST ELEVATION

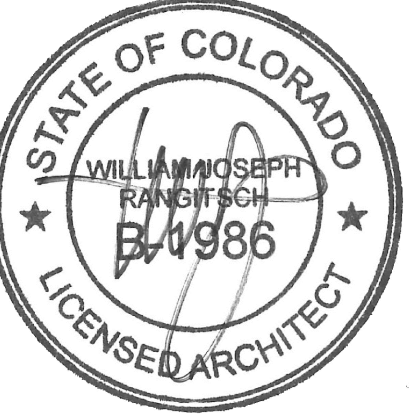
1/4" = 1'-0"  
SEE A1.0



# 2 SOUTH ELEVATION

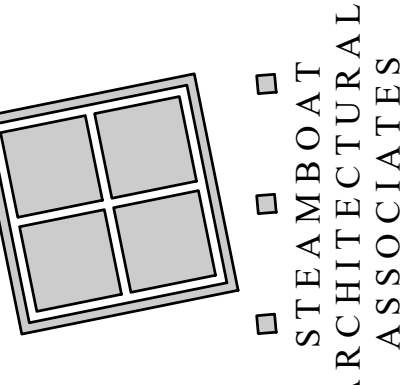
1/4" = 1'-0"  
SEE A1.0

WEST ELEVATION  
SOUTH ELEVATION



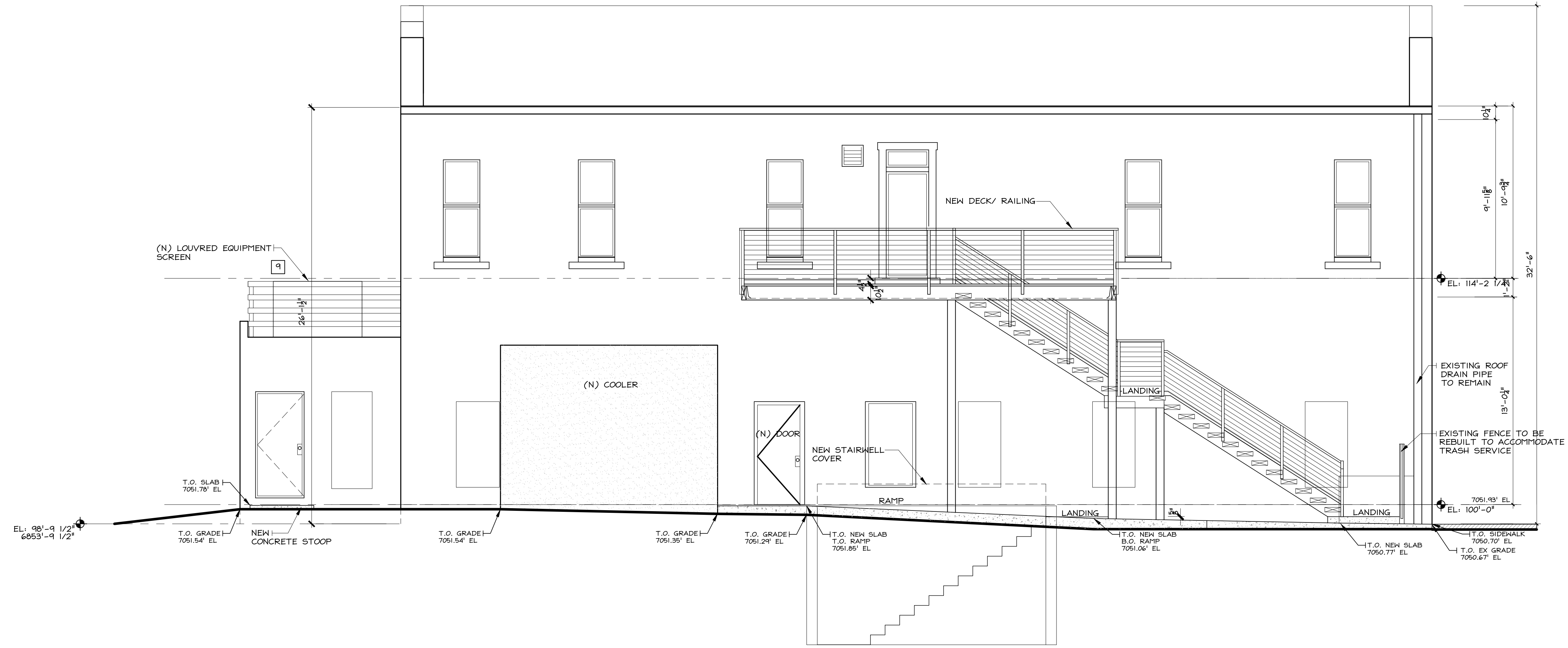
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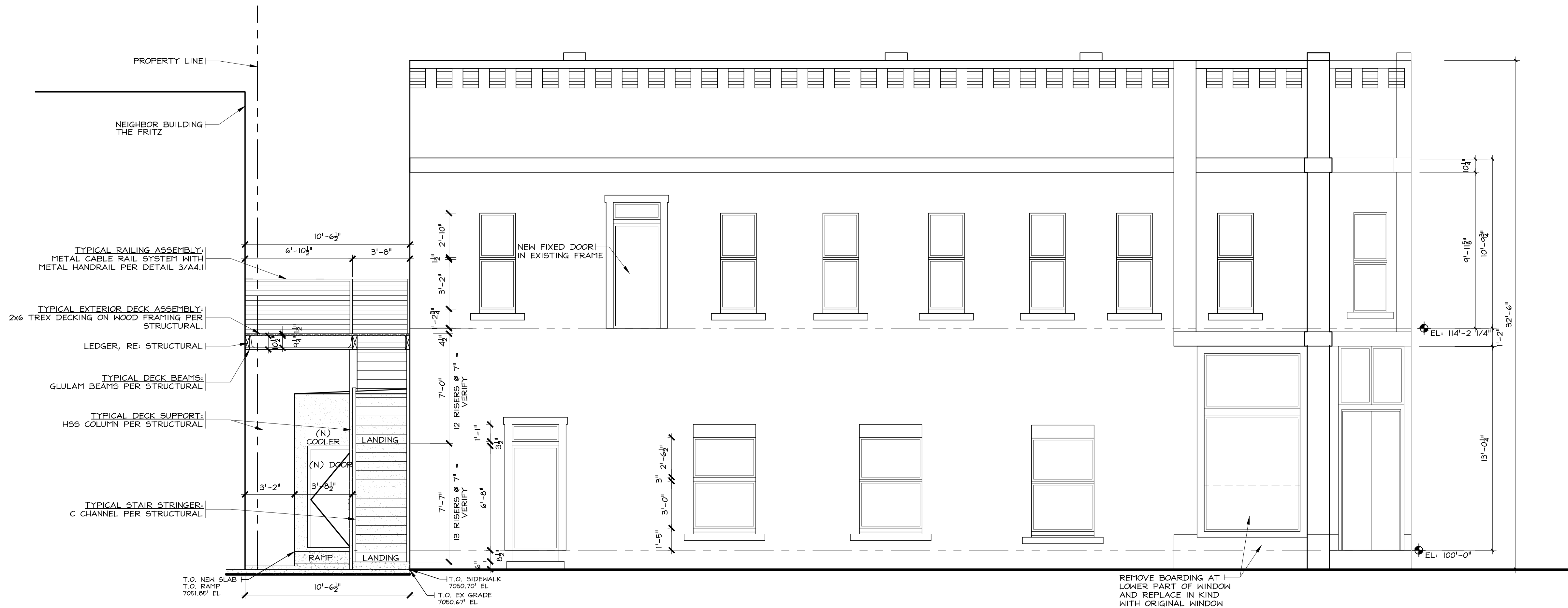
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# 1 EAST ELEVATION

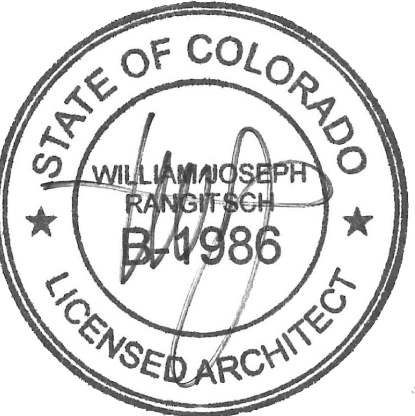
1/4" = 1'-0"  
SEE A1.0



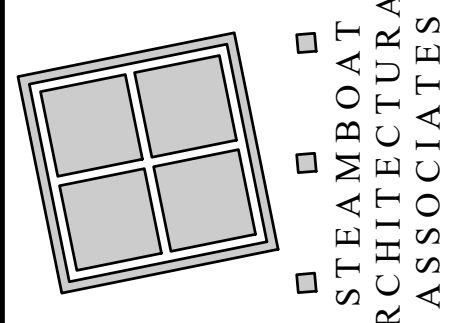
# 2 NORTH ELEVATION

1/4" = 1'-0"  
SEE A1.0

EAST ELEVATION  
NORTH ELEVATION



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A Renovation of the  
**Victoria Hotel & Tavern**  
 143 N. F Street  
 Salida, Colorado 81201

THESE DRAWINGS DO NOT INCLUDE THE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY.  
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9/29/2022 2:32 PM P:\Victoria - 2022\Victoria\Victoria.dwg



### WEST ELEVATION

1/4" = 1'-0"  
SEE A1.0

P-04 SW6994  
COLOR: GREENBLACK  
SHEEN: LOW-LUSTRE  
AT ALL EXISTING TRIM, CASINGS, AND DOORS

REMOVE BOARDING AT LOWER PART OF WINDOW AND REPLACE IN KIND WITH ORIGINAL WINDOW CONFIGURATION

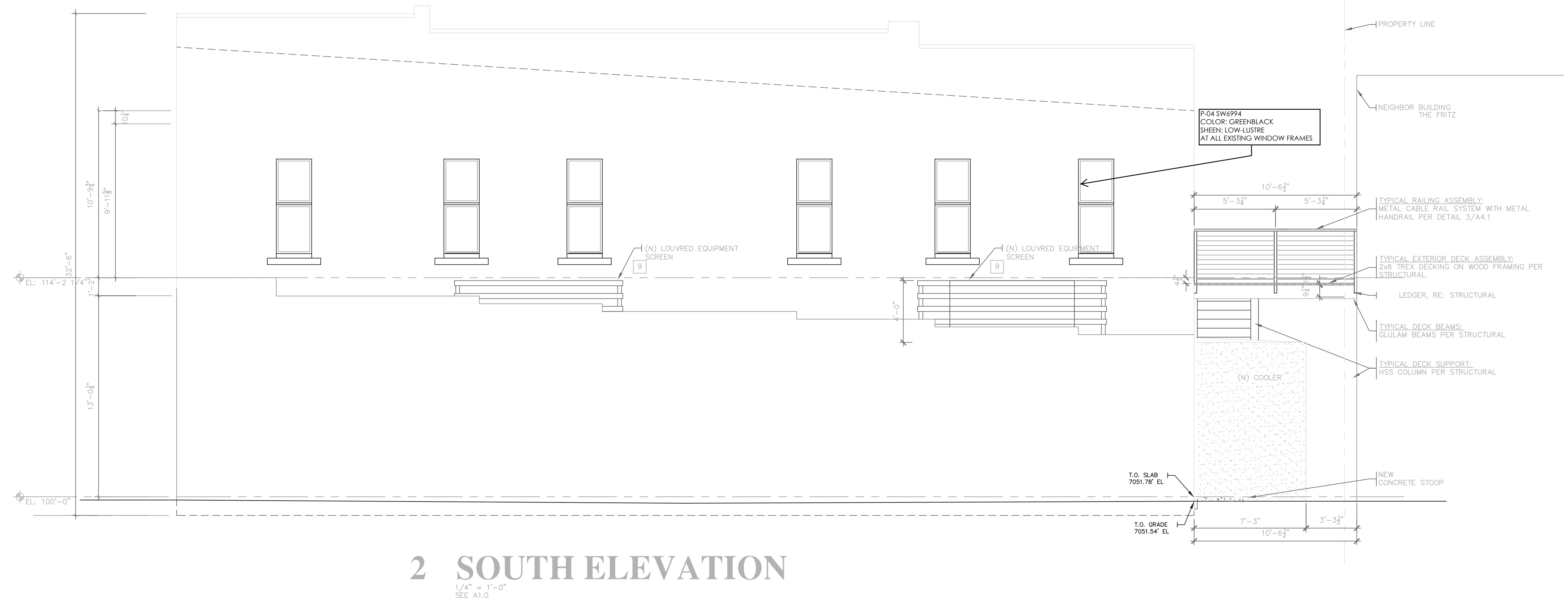
P-04 SW2847  
COLOR: ROYCROFT BOTTLE GREEN  
SHEEN: HIGH GLOSS  
AT THIS ENTRANCE AND EXISTING WINDOWS ONLY

P-04 SW6994  
COLOR: GREENBLACK  
SHEEN: LOW-LUSTRE  
AT ALL EXISTING TRIM, CASINGS, AND DOORS

P-04 SW6994  
COLOR: GREENBLACK  
SHEEN: LOW-LUSTRE  
AT ALL EXISTING WINDOW FRAMES

P-04 SW6994  
COLOR: GREENBLACK  
SHEEN: LOW-LUSTRE  
AT EXISTING TRIM/MOULDING BAND

WEST ELEVATION  
SOUTH ELEVATION



### SOUTH ELEVATION

2

1/4" = 1'-0"  
SEE A1.0

P-04 SW6994  
COLOR: GREENBLACK  
SHEEN: LOW-LUSTRE  
AT ALL EXISTING WINDOW FRAMES

TYPICAL RAILING ASSEMBLY:  
METAL CABLE RAIL SYSTEM WITH METAL HANDRAIL PER DETAIL 3/A4.1

TYPICAL EXTERIOR DECK ASSEMBLY:  
2x6 TREX DECKING ON WOOD FRAMING PER STRUCTURAL

LEDGER, RE: STRUCTURAL

TYPICAL DECK BEAMS:  
GLULAM BEAMS PER STRUCTURAL

TYPICAL DECK SUPPORT:  
HSS COLUMN PER STRUCTURAL

(N) COOLER

NEW CONCRETE STOOP

T.O. SLAB  
7091.78' EL.

T.O. GRADE  
7091.54' EL.

PROPERTY LINE

NEIGHBOR BUILDING THE FRITZ

10'-6 1/2"

5'-3 1/2"

5'-3 1/2"

7'-3"

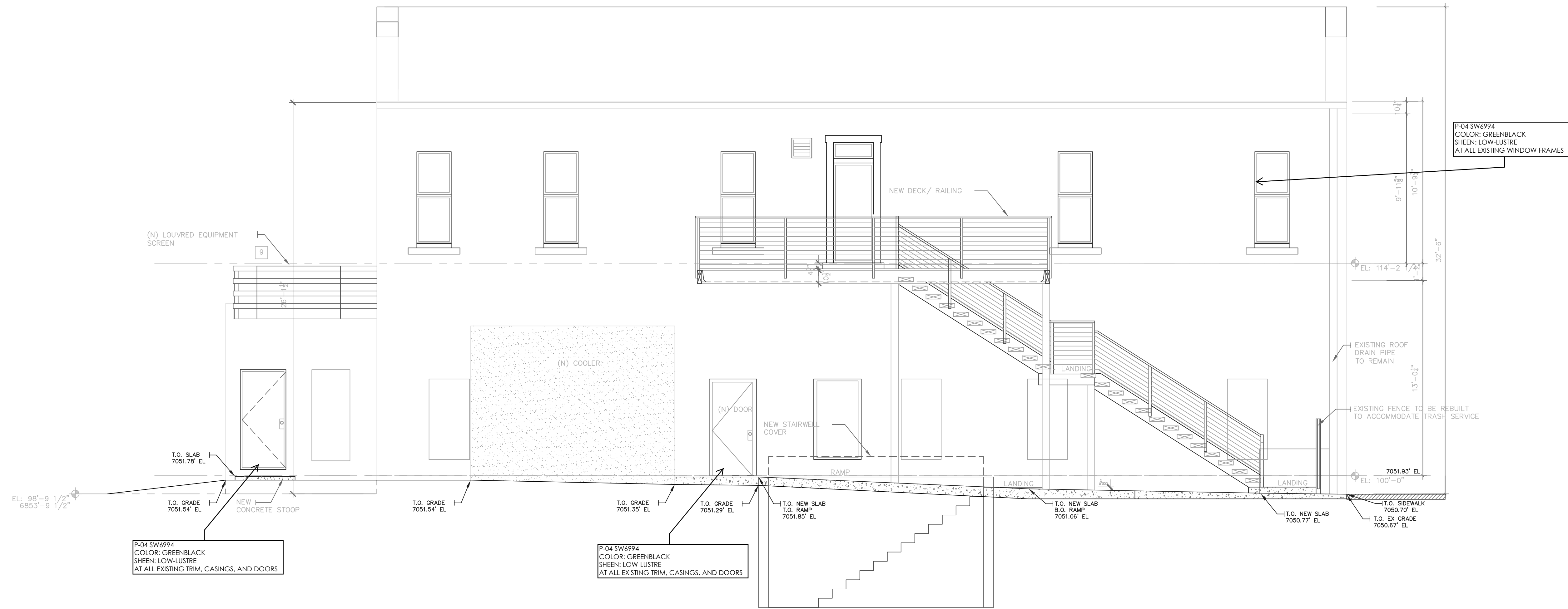
10'-6 1/2"

3'-3 1/2"

**William J. Rangitsch**  
 p.o. box 200  
 Steamboat Springs, CO 80687

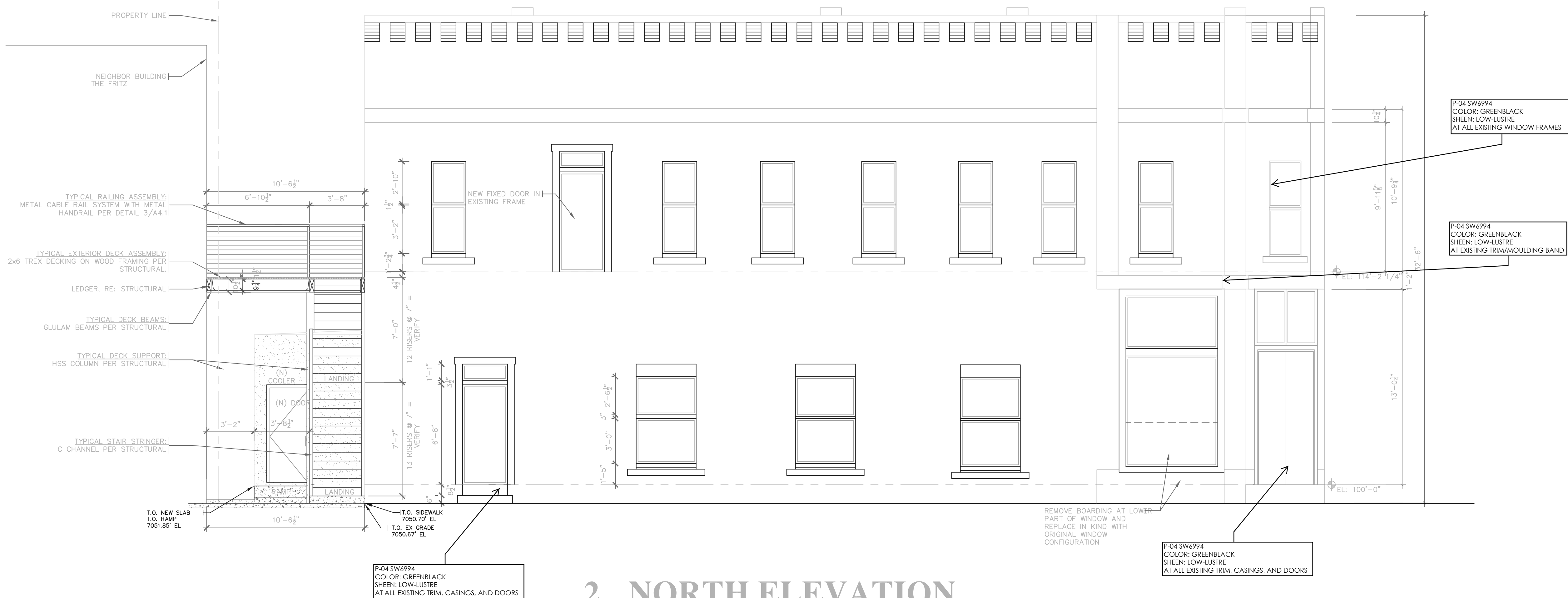
**STEAMBOAT ARCHITECTURAL ASSOCIATES**

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 Salida, Colorado 81201



# 1 EAST ELEVATION

1/4" = 1'-0"  
SEE A1.0



# 2 NORTH ELEVATION

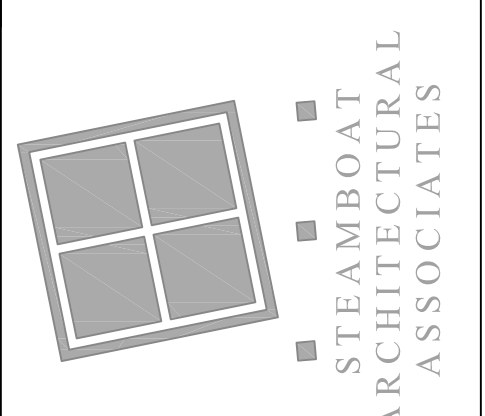
1/4" = 1'-0"  
SEE A1.0

THESE DRAWINGS  
DO NOT INCLUDE  
THE COMPONENTS  
NECESSARY FOR  
CONSTRUCTION  
SAFETY.

EAST ELEVATION  
NORTH ELEVATION

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10 JUNE 22  
A3.1  
21-03

PROGRESS PRINT  
22 JUNE 10  
(NOT FOR CONSTRUCTION)

9/27/2022, 3:31 PM \\VJ0123\p010\Current Project\Drawings - Salida\A3\030 - Elevation\03 - Elevations\From A43\Victoria A10

LOC. TYPE	KEY	MFG.	CONTACT	STYLE #	DESCRIPTION/COLOR	FINISH	SIZE	THICKNESS	LOCATION	NOTE	PHOTOS
<b>* ALL MATERIALS AND FABRICATION METHODS TO COMPLY WITH NATIONAL, STATE, AND LOCAL FIRE SAFETY CODES, HEALTH INSPECTIONS, AND ADA REQUIREMENTS</b>											
ALL ROOMS, ENTRY VESTIBULE, CHECK-IN, CORRIDOR	P-02	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW7756	SW HIGH REFLECTIVE WHITE; PRO MAR 200 ZERO VOC INTERIOR LATEX	FLAT	N/A	N/A	OVERALL CEILING PAINT THROUGHOUT ROOMS, CORRIDORS, ENTRY VESTIBULE	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
ALL ROOMS, ENTRY VESTIBULE, CHECK-IN, CORRIDOR	P-03	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW6994	GREENBLACK NEUTRAL PAINT	SEMI-GLOSS	N/A	N/A	ENTRY VESTIBULE WOOD WALL WAINSCOT BEAD BOARD PAINT. CORRIDOR AND ROOM BASEBOARD, CASING, TRIM, BARN DOOR, AND STAIR RAILING	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
EXTERIOR	P-04	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW6994	GREENBLACK NEUTRAL PAINT; SUPERPAINT EXTERIOR ACRYLIC LATEX	LOW-LUSTRE	N/A	N/A	ALL EXTERIOR PAINTED TRIM, CASINGS, DOORS, AND EXISTING PAINTED AREAS - EXCEPT WHERE NOTED OTHERWISE	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
EXTERIOR	P-05	SHERWIN WILLIAMS	CHRISTIE LYN DEL CIOTTO; 303-345-8754; CHRISTIE.DELCIOTTO@SHERWIN.COM	SW2847	ROYCROFT BOTTLE GREEN PAINT (HISTORIC COLLECTION); SUPERPAINT EXTERIOR ACRYLIC LATEX	HIGH GLOSS	N/A	N/A	SEE DRAWINGS FOR SPECIFIC LOCATIONS	SEE MANUFACTURERS GUIDES FOR INSTALLATION & STANDARDS	
<b>SL</b>		<b>SLAB SURFACE</b>									
ALL ROOMS	SL-01	DALTILE	DALTILE; JULIANNE YOSS; JULIANNE.YOSS@DAL TILE.COM; 303-722-2800	N/A	AVENUE WHITE QUARTZ SURFACE, WEST VILLAGE SERIES	VELVET POLISHED	VARIES	3 CM	ALL UNIT VANITY COUNTERTOPS	<b>INSTALLATION:</b> SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	
<b>TL</b>		<b>TILE</b>									
ALL ROOMS	TL-01	DALTILE	DALTILE; JULIANNE YOSS; JULIANNE.YOSS@DAL TILE.COM; 303-722-2800	D617	ARCTIC WHITE COLOR WHEEL MOSAIC HEX TILE	GLOSSY	1.5"	N/A	ALL ROOM ACCENT WALLS BEHIND VANITY; SEE DRAWINGS FOR EXACT LOCATION	<b>INSTALLATION:</b> SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	
ALL ROOMS	TL-01B	DALTILE	DALTILE; JULIANNE YOSS; JULIANNE.YOSS@DAL TILE.COM; 303-722-2800	K111	BLACK COLOR WHEEL MOSAIC HEX TILE	GLOSSY	1.5"	N/A	ALL ROOM ACCENT WALLS BEHIND VANITY; SEE DRAWINGS FOR EXACT LOCATION	<b>INSTALLATION:</b> SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	
ALL ROOMS	TL-02	CROSSVILLE	JESSICA MAGEE; JMAGEE@CROSSVILESTU DIOS.COM; 303-718-9012	LWT02	SIMPATICO, FELLOWSHIP GLOSS TILE WHITE	GLOSSY	12 X 24	9.3 MM	OVERALL SHOWER WALL TILE; SEE DRAWINGS FOR EXACT LOCATION	<b>INSTALLATION:</b> SEE MANUFACTURER'S GUIDES FOR INSTALLATION & STANDARDS	