



BOARD OF ADJUSTMENT REGULAR MEETING

City Council Chambers, 448 E. 1st Street, Salida, CO

Monday, September 27, 2021 - 6:00 PM

AGENDA

Email public comments to: publiccomment@cityofsalida.com

Please register for the Board of Adjustment meeting: <https://attendee.gotowebinar.com/rt/1909092342220683277>

CALL TO ORDER BY CHAIRMAN

ROLL CALL

APPROVAL OF THE MINUTES

1. July 26, 2021 - Draft Minutes

UNSCHEDULED CITIZENS

AMENDMENT(S) TO AGENDA

PUBLIC HEARINGS

Public Hearings will follow the following procedure:

- | | | |
|---|---|--|
| A. Open Public Hearing | D. Applicant's Presentation (if applicable) | G. Commission Discussion |
| B. Proof of Publication | E. Public Input | H. Commission Decision or Recommendation |
| C. Staff Review of Application/Proposal | F. Close Public Hearing | |

2. **Buskist Variance Application - 325 W. Park Avenue** - The purpose of the request is to receive a variance from the minimum front lot line setback and the minimum rear lot line setback to build a second story addition on the existing nonconforming single-story residence. The single-family residence was built in 1979 "prior to setback requirements" at the current front setback of 28' and at the current rear setback of 7'. The applicant is requesting the variances to construct a second story addition to match the footprint of the existing residence.
3. **Lynna's Lodge Variance - 112 Teller Street** - The purpose of the request is to receive a variance from the minimum setback of twenty feet (20') required for the front and rear yard, and within that setback encroachment, to expand the existing non-conforming structure to two (2) full stories in height where only one and one-half (1.5) stories previously existed.

BOARD COMMENTS

ADJOURN

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the City Clerk at 448 E. 1st Street, Ste. 112, Salida, CO 81201, Ph.719-530-2630 at least 48 hours in advance.

BOARD OF ADJUSTMENT REGULAR MEETING

City Council Chambers, 448 E. 1st Street, Salida, CO

July 26, 2021 - 6:00 PM

MINUTES

Email public comments to: publiccomment@cityofsalida.com

Please register for the Board of Adjustment meeting:
<https://attendee.gotowebinar.com/rt/1909092342220683277>

CALL TO ORDER BY CHAIRMAN

ROLL CALL

PRESENT

- Board Member Chairman Greg Follet
- Board Member Co-Chair Francie Bomer
- Board Member Judith Dockery
- Board Member Giff Kriebel
- Board Member Doug Mendelson
- Board Member Michelle Walker
- Board Member-Alternate Dave Haynes

ABSENT

- Board Member-Alternate – Suzanne Copping

APPROVAL OF THE MINUTES

1. May 24, 2021 - Draft Minutes

Motion made by Board Member Co-Chair Bomer, Seconded by Board Member Dockery.

Voting Yea: Board Member Chairman Follet, Board Member Co-Chair Bomer, Board Member Dockery, Board Member Kriebel, Board Member Mendelson, Board Member Walker, Board Member-Alternate Haynes

UNSCHEDULED CITIZENS – N/A

AMENDMENT(S) TO AGENDA

PUBLIC HEARINGS

Public Hearings will follow the following procedure:

- | | |
|---|--------------------------|
| A. Open Public Hearing | E. Public Input |
| B. Proof of Publication | F. Close Public Hearing |
| C. Staff Review of Application/Proposal | G. Commission Discussion |
| D. Applicant’s Presentation (if applicable) | H. Commission Decision |

2. Hochard Variance Request - The purpose of the request is to receive a variance from the minimum setback of twenty (20) feet required for the rear yard setback of the primary structure. The applicant is requesting a minimum allowed rear yard setback of 12' 10 ½" to remove the existing carport and build an addition on the back of the primary residence.

- A. Open Public hearing - 6:02 pm
- B. Proof of Publication
- C. Staff Review of Application – Staff recommends that the variance be approved with the condition that the applicant submit a building permit meeting the requirements of the building department.
- D. Applicant's Presentation – Sarah Whittington, the architect, represents the applicants and reviews the variance request.
- E. Public Input – Jerry Carpenter, 305 W. Thirteenth Street spoke in favor of the variance application
- F. Close Public Hearing - 6:08 pm
- G. Board of Adjustment Discussion - None
- H. Board of Adjustment decision -

Motion made by Board Member Co-Chair Bomer, Seconded by Board Member Kriebel.

Voting Yea: Board Member Chairman Follet, Board Member Co-Chair Bomer, Board Member Dockery, Board Member Kriebel, Board Member Mendelson, Board Member Walker, Board Member-Alternate Haynes

BOARD COMMENTS

ADJOURN - With no further business to come before the Board, the meeting adjourned at 6:12 p.m.

STAFF REPORT

MEETING DATE: September 27, 2021
AGENDA ITEM TITLE: Buskist Variance Application - 325 W. Park Avenue
AGENDA SECTION: Public Hearing

REQUEST:

The purpose of the request is to receive a variance from the minimum front lot line setback and the minimum rear lot line setback to build a second story addition on the existing nonconforming single-story residence. In the Single-Family Residential (R-1) zone district the required minimum front lot line setback is 30’ and the required minimum rear lot line setback is 30’ for a primary structure. The single-family residence was built in 1979 “prior to setback requirements” at the current front setback of 28’ and at the current rear setback of 7’. The applicant is requesting the variances to construct a second story addition to match the footprint of the existing residence.

APPLICANT:

The applicant is Kyle Buskist, 325 W. Park Ave, Salida CO 81201.

LOCATION:

The subject property is located at 325 W. Park Ave, legally known as Tract in Block 206 of Eddy Bros Addition and Part of Vacated Alley, as well as City of Salida, Chaffee County, Colorado.



PROCESS:

Variances are addressed in the City’s Code of Ordinances, Section 16-4-180, Zoning Variances. Variances may be granted from the standards of the underlying zone district and shall be authorized only for maximum height, minimum floor area, maximum lot coverage, maximum lot size, minimum setbacks and parking requirements.

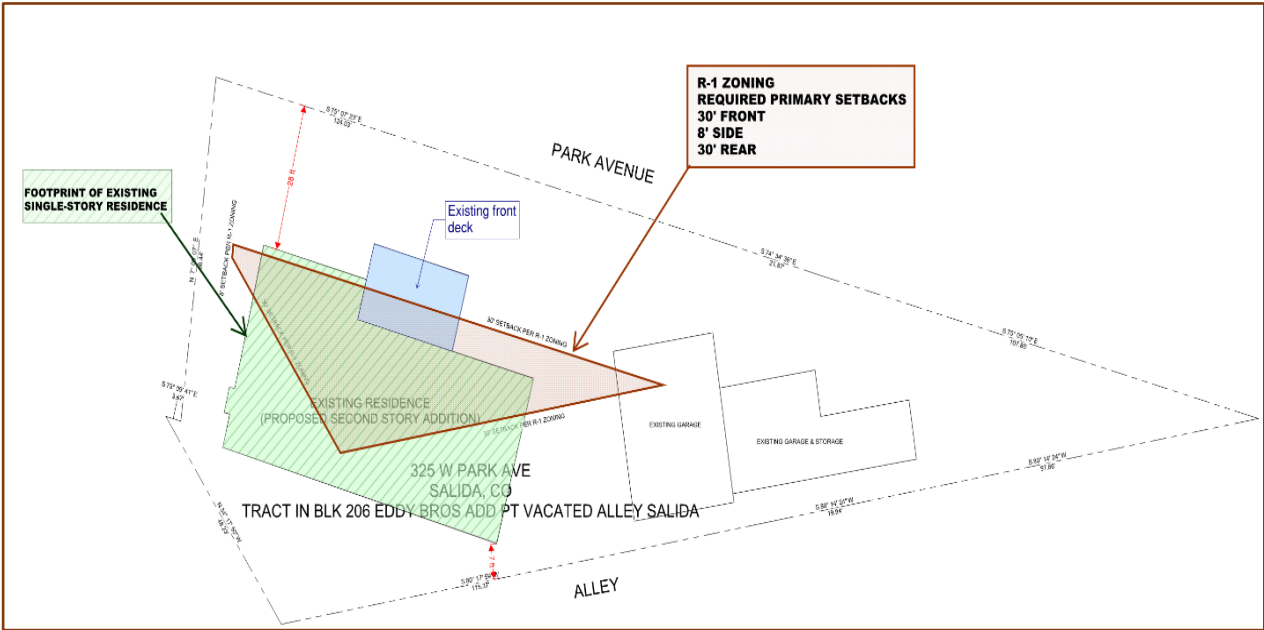
The Board of Adjustment holds a public hearing after fifteen days advance notice of the hearing. The public hearing shall be held, at which any person may appear or be represented by an agent or attorney. The Board may describe appropriate conditions and safeguards in conformity with the Zoning title of the City Code.

OBSERVATIONS:

- 1. The subject property is located within the Single-Family Residential (R-1) zone district. Surrounding properties are also within the (R-1) zone district.
- 2. The existing residence is considered a nonconforming structure. Nonconforming structures are structures that were lawfully established pursuant to the zoning and building regulations in effect at the time of their development which do not now conform to the provisions of the current zoning regulations.



- 3. The existing single-family residence is nonconforming because it does not meet the required front setback of 30' and the required rear setback of 30' for primary structures. The house was built in 1979 with a front setback of 28 feet and rear setback of 7 feet, prior to current setback requirements.
- 4. The applicant is unable to build a single-story or second story addition and meet the current front and rear setback requirements as shown in the site plan.



5. The request is to receive relief from the required minimum 30' front and rear setbacks to construct a second story addition to match the footprint of the existing residence. The applicant is not requesting to increase the nonconformity further into the setbacks, he is requesting the variance to be able to build the second story addition at the existing front and rear setbacks.
6. As of Friday, September 24th staff has not received any opposition to the variance request.

REQUIRED SHOWING (Section 16-4-180): The applicant shall demonstrate that a majority of the following criteria to the Board of Adjustment before a variance may be authorized.

1. Special Circumstances Exist. There are special circumstances or conditions which are peculiar to the land or building for which the variance is sought that do not apply generally to land or buildings in the neighborhood.

Applicant's response: 30' setback but built in 1979. Newer homes appear to have up to date setbacks, variance requested is for existing setbacks.

- The triangular lot does not have the depth to construct the proposed second story addition and meet the required front and rear setbacks of 30'.
 - Special circumstances exist because of the irregular shaped lot and the residence was built in 1979 at the current setbacks prior to the applicant owning the property.
2. Not result of Applicant. The special circumstances and conditions have not resulted from any action of the applicant.

Applicant's response:

- Special circumstances and conditions have not resulted from any action of the applicant. The applicant did not construct the residence within the front and rear setbacks and is requesting the variance to construct the second story addition to accommodate his growing family.
 - The applicant would like to construct the second story addition to create more living space within the residence. With the irregular shape of the lot the applicant is unable to construct a usable single story or second story addition without a variance.
3. Strict Application Deprives Reasonable Use. The special circumstances and conditions are such that the strict application of the provisions of this Chapter would deprive the applicant a reasonable use of the building or land.

Applicant's response: Yes, need more space for our growing family. Don't want to move out of town for more space, would like our children to walk/ride bikes to school and around town.

- Strict application would deprive the applicant of making a functional living space by constructing a second story addition.

4. Variance is Necessary to Provide Reasonable Use. The granting of the variance is necessary to provide the applicant a reasonable use of the land or building.

Applicant's response: *Yes, refer to #3*

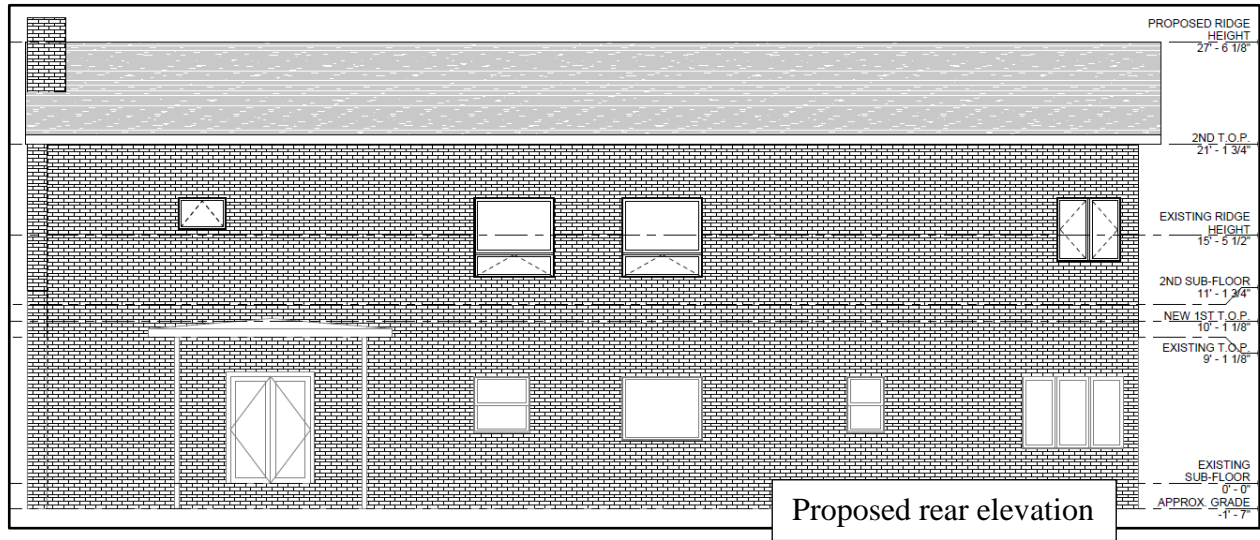
- The variance is not necessary to make reasonable use of the property. The second story addition will allow the applicant additional living space.
- All new construction in the City is required to meet the setback requirements unless some special circumstance exists such as an existing building that does not meet the setback requirements. Currently the residence does not meet the required 30' front and rear setback requirements on the irregular shaped lot.

5. Minimum Variance. The granting of the variance is the minimum necessary to make possible the reasonable use of the land or building.

Applicant's response: *Yes, can't go outwards do to existing decks, yard space, walkways, etc. or without encroaching further than the existing setbacks that already don't meet the 30' setback.*

- Currently the applicant has reasonable use of the property. The proposal is to construct the second story addition and not increase the nonconformity further into the 30' setbacks as the footprint would remain the same.





- 6. No Injury to the Neighborhood. The granting of the variance will not be injurious to the neighborhood surrounding the land where the variance is proposed, and is otherwise not detrimental to the public welfare or the environment.

Applicant’s response:

- The granting of the variance will not be injurious to the neighborhood and the applicant will be able to maintain the addition on his own property.
- The Fire Department has no concerns with the variance request.

- 7. Consistency with Code. The granting of the variance is consistent with the general purposes and intent of this Land Use Code.

Applicant’s response: *Yes*

- The applicant complies with all other aspects of the code.
- Setbacks help provide open space and to address basic safety issues: distances between buildings decrease the potential damage in case of a fire, provide the room necessary for a homeowner to maintain his/her buildings on his/her own property and provide for solar access and ventilation. There will be adequate space which the owner can use for maintenance of the addition.

REVIEW AGENCIES:

Fire Department – Assistant Fire Chief, Kathy Rohrich – Fire Department has no concerns at this time.

REQUIRED ACTIONS BY THE BOARD:

1. The Board shall confirm that adequate notice was provided.
2. The Board shall conduct a public hearing.

3. The Board shall make findings that a majority of the points 1 through 7 of the above section are met by the applicant.

RECOMMENDED FINDINGS:

That the variance requests are in conformance with Section 16-4-180 (e), Required showing, because the variance allows the highest and best use of the property, will not be injurious to the neighbors, maintenance of the addition is feasible, will not impact adjacent neighbors and is in keeping with the general purposes of the Code.

STAFF RECOMMENDATION:

Staff believes the proposed variance meets the preponderance of criteria #'s 1, 2, 3, 4, 5, 6 and 7.

Based on the findings below, staff recommends the Board of Adjustment **APPROVE** the variance request based on the following findings of fact:

1. The irregular lot and existing conditions of the residence are not the result of any action by the applicant.
2. The second story addition will not be injurious to the neighborhood as required by Section 16-4-180(6) and the applicant will be able to maintain the proposed addition on the subject property.

RECOMMENDED MOTION: “I make a motion to approve the Buskist Variance as the requests meet the review standards for Zoning Variances, subject to the following condition.

1. That the applicant submits a building permit that meets the requirements of the building department.

BECAUSE THIS APPLICATION IS FOR A VARIANCE, THE SALIDA BOARD OF ADJUSTMENT SHALL MAKE THE FINAL DECISION ON THIS APPLICATION. THE DECISION OF THE BOARD OF ADJUSTMENT MAY BE APPEALED WITHIN 15 DAYS OF THE DECISION BY AN AGGRIEVED PERSON AS SET FORTH IN SECTION 16-2-70 OF THE LAND USE CODE.

Attachments: Application materials
Agency reviews

From: [Doug Bess](#)
To: [Kristi Jefferson](#)
Cc: [Kathy Rohrich](#)
Subject: Re: 325 W. Park Ave
Date: Wednesday, September 01, 2021 8:18:35 AM

Fire has no concerns.

Doug Bess
Fire Chief
Salida/South Arkansas FPD
(719) 539-2212

Sender and receiver should be mindful that all my incoming and outgoing emails may be subject to the Colorado Open Records Act, § 24-72-100.1, et seq.

On Tue, Aug 31, 2021 at 10:33 AM Kristi Jefferson <kristi.jefferson@cityofsalida.com> wrote:

Doug and Kathy,

The owner at 325 W. Park Avenue has submitted a variance application to construct a second story on the existing non-conforming residence. Please review the attached application materials and let me know if you have any concerns with the requests.

Thank you,

Kristi Jefferson

Planner

City of Salida

448 East First Street

Suite 112

Salida, CO 81201

ph: 719-530-2626

fax: 719-539-5271

Sender and receiver should be mindful that all my incoming and outgoing emails may be subject to the Colorado Open Records Act, § 24-72-100.1, et seq.

**PUBLIC NOTICE
NOTICE OF A PUBLIC HEARING DATE
BEFORE THE BOARD OF ADJUSTMENT
FOR THE CITY OF SALIDA CONCERNING
A VARIANCE APPLICATION**

**TO ALL MEMBERS OF THE PUBLIC AND
INTERESTED PERSONS: PLEASE TAKE**

NOTICE: that on September 27, 2021 at or about the hour of 6:00 p.m., a public hearing will be conducted by the City of Salida Board of Adjustment at City Council Chambers, 448 East First Street, Suite 190, Salida, Colorado on the application of Kyle Buskist. The applicant is requesting approval for a variance on the property located at 325 W. Park Ave, legally known as Tract in Block 206 of Eddy Bros Addition and Part of Vacated Alley, City of Salida, Chaffee County, Colorado.

The purpose of the request is to receive a variance from the minimum front lot line setback and the minimum rear lot line setback to build a second story addition on the existing nonconforming single-story residence. In the Single-Family Residential (R-1) zone district the required minimum front lot line setback is 30' and the required minimum rear lot line setback is 30' for a primary structure. The single-family residence was built in 1979 "prior to setback requirements" at the current front setback of 28' and at the current rear setback of 7'. The applicant is requesting the variances to construct a second story addition to match the footprint of the existing residence.

Interested persons are encouraged to attend the public hearing. Further information on the application may be obtained from the Community Development Department at (719) 530-2626. To review the City's social distancing policy and other regulations, please visit: <https://cityofsalida.com/administration/page/covid-19-information>

*Please note that it is inappropriate to personally contact individual City Councilors or Planning Commissioners, outside of the public hearing, while an application is pending. Such contact is considered ex parte communication and will have to be disclosed as part of the public hearings on the matter. If you have any questions/comments, you should email or write a letter to staff, or present your concerns at the public meeting via the above GoToWebinar link so your comments can be made part of the record.

Published in The Mountain Mail September 10, 2021



GENERAL DEVELOPMENT APPLICATION

448 East First Street, Suite 112

Salida, CO 81201

Phone: 719-530-2626 Fax: 719-539-5271

Email: planning@cityofsalida.com

1. TYPE OF APPLICATION (Check-off as appropriate)

- | | |
|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Administrative Review:
(Type) _____ |
| <input type="checkbox"/> Pre-Annexation Agreement | <input type="checkbox"/> Limited Impact Review:
(Type) _____ |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Major Impact Review:
(Type) _____ |
| <input type="checkbox"/> Appeal Application | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Certificate of Approval | |
| <input type="checkbox"/> Creative Sign Permit | |
| <input type="checkbox"/> Historic Landmark/District | |
| <input type="checkbox"/> License to Encroach | |
| <input type="checkbox"/> Text Amendment to Land Use Code | |
| <input type="checkbox"/> Watershed Protection Permit | |
| <input type="checkbox"/> Conditional Use | |

2. GENERAL DATA (To be completed by the applicant)

A. Applicant Information

Name of Applicant: Kyle Buskist

Mailing Address: 325 W. Park Ave Salida

Telephone Number: 719-239-0655 FAX: _____

Email Address: kyle@moonlightpizza.biz

Power of Attorney/ Authorized Representative: _____
(Provide a letter authorizing agent to represent you, include representative's name, street and mailing address, telephone number, and FAX)

B. Site Data

Name of Development: _____

Street Address: 325 W. Park Ave

Legal Description: Lot _____ Block _____ Subdivision _____ (attach description)

Disclosure of Ownership: List all owners' names, mortgages, liens, easements, judgments, contracts and agreements that run with the land. (May be in the form of a current certificate from a title insurance company, deed, ownership and encumbrance report, attorney's opinion, or other documentation acceptable to the City Attorney)

I certify that I have read the application form and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Signature of applicant/agent Kyle B. J. Date 8/23/21

Signature of property owner _____ Date _____



VARIANCE APPLICATION

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

A. TYPE OF VARIANCE REQUESTED (Fill In Applicable Requests)

1. Variance from Maximum Height: Existing Height (in feet): 17 Proposed Height (in feet): 29.2

2. Minimum Variance from Floor Area: Required Floor Area: _____ Proposed Floor Area: _____

3. Variance from Maximum Lot Coverage: Allowed Lot Coverage: _____ Proposed Lot Coverage: _____

4. Variance from Parking Requirements: Existing Spaces: _____ Required Spaces: _____
Total Spaces Proposed: _____ Percent Reduction Proposed: _____

5. Variance from Minimum Setback Requirements

a. Setback Variance Information:

i. Type of setback: Front yard Rear yard Side yard

ii. Which direction: North South East West
 Northeast Northwest Southeast Southwest

iii. Type of Building: Principal Accessory Building

iv. Current Setback: 38' - Front

v. Proposed Setback: 28'

vi. Required Setback: 30

b. Second Setback Variance Information (if applicable):

i. Type of setback: Front yard Rear yard Side yard

ii. Which direction: North South East West
 Northeast Northwest Southeast Southwest

iii. Type of Building: Principal Accessory Building

iv. Current Setback: 7' Rear

v. Proposed Setback: 7' Rear

vi. Required Setback: 30

6. Variance from Land Use Code Section: _____

B. DEVELOPMENT PROCESS (City Code Section 16-4-180)

- 1. Pre-Application Conference. Optional.
- 2. Submit Application.
- 3. Staff Review. Schedule Hearing. Forward Report to Applicant and Board.
- 4. Public Notice Provided For Hearing.
- 5. Public Hearing Conducted by Board and Action Taken.



C. APPLICATION CONTENTS

Twelve (12) copies are required of all application materials.

- 1. **General Development Application**
- 2. **Site Plan.** A site plan of the subject property, showing existing and proposed features, buildings, etc. which are relevant to the review of the application. **The copies shall only be accepted on 8½" x 11", 11" x 17" or 24" x 36" paper.**
- 3. **Required Showing.** The applicant shall indicate the way the proposal meets the required showing as outlined in the application.
- 4. **Public Notice**
 - a) List. A list shall be submitted by the applicant to the city of adjoining property owners' names and addresses. A property owner is considered adjoining if it is within 175 feet of the subject property regardless of public ways. The list shall be created using the current Chaffee County tax records.
 - b) Applicant is responsible for posting the property and mailing public notice to adjoining property owners. Return Address shall be: City of Salida, 448 E. First Street, Suite 112, Salida, CO 81201.
 - c) Applicant is responsible for posting the property and submittal of notarized affidavits, for proof of posting the public notice.
- 5. **Application Fee.** \$400 cash or check made out to City of Salida.
- 6. **Special Fee and Cost Reimbursement Agreement completed.**
- 7. **Outside Review Deposit.** In the event the City must retain professional services to process or evaluate an application, the applicant shall bear the costs for the review, including consultants and attorney review time. A deposit of \$400.00 to cover the reasonable anticipated costs for outside professional services may be required from the applicant at the time of the application.

D. VARIANCES FOR HISTORIC NEIGHBORHOODS

- 1. **Existing Primary Structure.** The Board of Adjustment may grant a variance from a setback requirement for an addition to a primary structure if it continues the existing building line. The Board of Adjustment shall only consider allowing the encroachment into the setback if it can be shown that maintenance of the building addition can be provided on the subject property and that it is not injurious to adjacent neighbors.
- 2. **Traditional Neighborhood Setbacks.** The Board of Adjustment may grant a variance from a front

setback requirement for a primary structure if the neighboring properties encroach into the front setback. The variance shall not permit the structure to encroach further into the front setback than the neighboring primary structures. The Board of Adjustment shall only consider allowing the encroachment into the setback if it can be shown that such encroachments are the existing development pattern of the block on which the subject property is located and that the encroachment would not be injurious to adjacent neighbors.

D. REQUIRED SHOWING (If necessary, attach additional sheets)

The applicant shall demonstrate the following to the Board of Adjustment before a variance may be authorized:

1. **Special Circumstances Exist.** There are special circumstances or conditions which are peculiar to the land or building for which the variance is sought that do not apply generally to land or buildings in the neighborhood.

30' Setback, but built in '79, Newer homes appear to have up to date Setbacks, Variance Requested is for Existing Setbacks.

2. **Not Result of Applicant.** The special circumstances and conditions have not resulted from any act of the applicant.

Correct.

3. **Strict Application Deprives Reasonable Use.** The special circumstances and conditions are such that the strict application of the provisions of this Land Use Code would deprive the applicant of reasonable use of the land or building.

Yes, need more space for our growing family. Don't want to move out of town for more space, would like our children to walk/ride bikes to school, + around town.

4. Variance is Necessary to Provide Reasonable Use. The granting of the variance is necessary to provide the applicant a reasonable use of the land or building.

Yes, refer to #3.

5. Minimum Variance. The granting of the variance is the minimum necessary to make possible the reasonable use of the land or building.

Yes, can't go outwards due to existing Decks, yard space, walkways, etc. Or w/out encroaching further than the existing setbacks that already don't meet the 30' setback.

6. No Injury to Neighborhood. The granting of the variance will not be injurious to the neighborhood surrounding the land where the variance is proposed, and is otherwise not detrimental to the public welfare or the environment.

Not to the best of my knowledge.

7. Consistent with Land Use Code. The granting of the variance is consistent with the general purposes and intent of the City's Land Use Code.

yes

8. Existing Primary Structure. If the proposal is an addition to a primary structure which continues the existing building line the applicant must demonstrate that maintenance of the addition on the subject property is feasible and not injurious to adjacent neighbors.

will do to the best of my ~~ability~~ ability.

STAFF REPORT

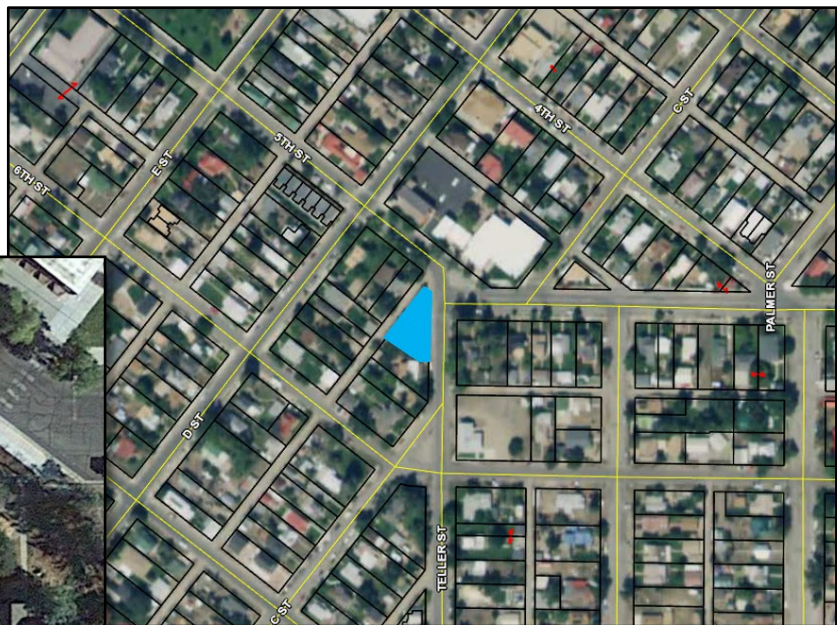
MEETING DATE: September 27, 2021
AGENDA ITEM TITLE: 112 Teller Street Variance Application
AGENDA SECTION: Public Hearing

REQUEST:

The purpose of this request is for a variance from the minimum setback of twenty feet (20') required for the front and rear yard, and within that encroachment, to expand the existing non-conforming structure to two (2) full stories in height where one and one-half (1.5) stories previously existed.

LOCATION:

The property is legally described as Part of Lots 2 through 7 Block 78 Haskell's Addition, Salida, Chaffee County, Colorado. This property is also known as 112 Teller Street.



APPLICANT: The applicant is Lynna's Lodge, LLC, 3220 Cherry Lane, Austin, TX 78703. The applicant's representative is Kurt Wipperfurth of Rincon Construction.

PROCESS: Variances are addressed in the City's Code of Ordinances, Section 16-4-180, Zoning Variances. Variances may be granted from the standards of the underlying zone district and shall be authorized only for maximum height, minimum floor area, maximum lot coverage, maximum lot size, minimum setbacks and parking requirements.

The Board of Adjustment holds a public hearing after fifteen days advance notice of the hearing. The public hearing shall be held, at which any person may appear or be represented by an agent or attorney. The Board may describe appropriate conditions and safeguards in conformity with the Zoning title of the City Code.

BACKGROUND: The applicant’s original building permit approval was for an interior remodel. The original plan proposed an ADU on the second floor along with several storage areas due to low ceiling heights. During construction, significant damage to the roof structure was discovered and the roof was removed. With the need to construct a new roof, the applicant is proposing to build out a full second story rather than trying to mimic the 1.5 story roof with a variety of dormers and ceiling heights, therefore a plan change application was submitted, prompting the need for this variance request. After discussions with staff as to the utilization of this larger second story space, the applicant has agreed to pursue the staff recommendation of utilizing this R-2 zoned, 7,500 square foot lot to its highest and best use by making the structure a duplex (a Permitted use in R-2) with one unit downstairs and one unit upstairs. In the long-term, this provides the owner with better utilization of the space while providing an additional housing unit that maximizes the allowable density on the lot.

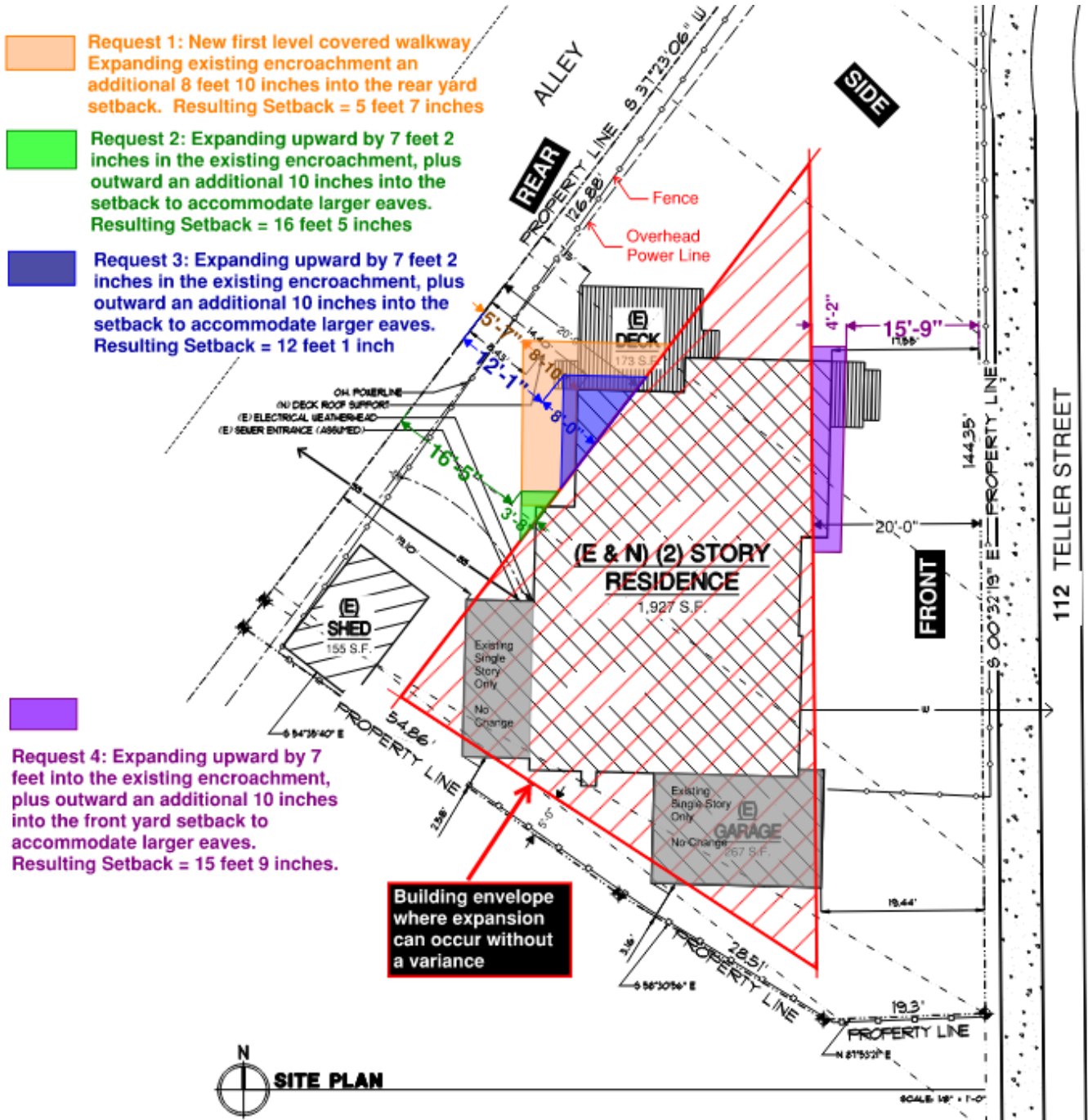
OBSERVATIONS:

1. The subject property and the surrounding properties are located within the Medium Density Residential (R-2) zone district.
2. The subject property is oddly shaped, resulting in a triangular shaped building envelope.
3. The subject property is a corner lot with only one property, 126 Teller Street, directly adjacent to it on the south. The property directly across the street faces Park Avenue with its side lot facing the subject property.
4. The orientation of the existing residence is facing Teller Street and the front setback is along the Teller Street frontage. The rear setback is along an alley. The existing single-family residence is considered nonconforming because it does not meet the current front or rear setbacks of twenty feet (20’). The existing structure encroaches into the setbacks at several points, and at its closest points, has a sixteen feet seven inch (16’ 7”) front setback and a twelve foot 11 inch (12’ 11”) rear setback.



OBSERVATIONS, Continued:

- 5. As of Thursday, September 23rd, staff has not received any opposition to the variance requests from the adjoining neighbors.
- 6. The applicant is requesting to increase the existing non-conformities of both the front and rear setbacks by expanding that non-conformity upward in three different areas, outward due to larger eaves, and to construct a new non-conformity with the addition of a covered area that wraps around a corner of the home. There are four (4) distinct requests, described and illustrated here:



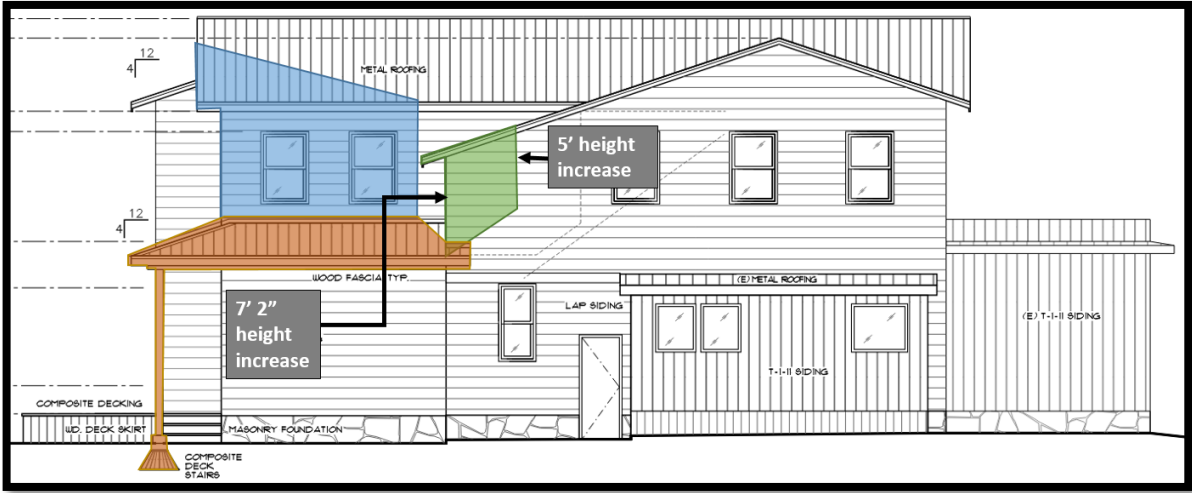


Figure A - View of Rear Elevation from Alley – Proposed Encroachments

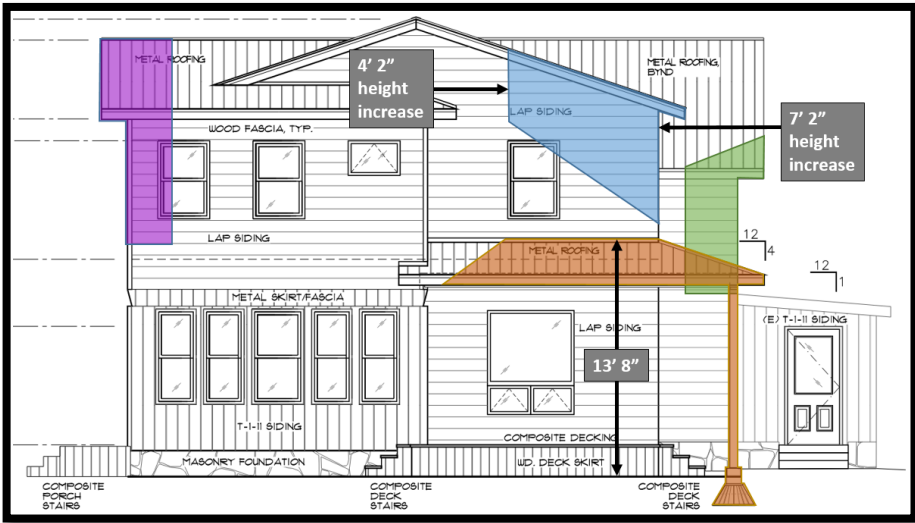


Figure B - View of Side Elevation from Fifth Street – Proposed Encroachments

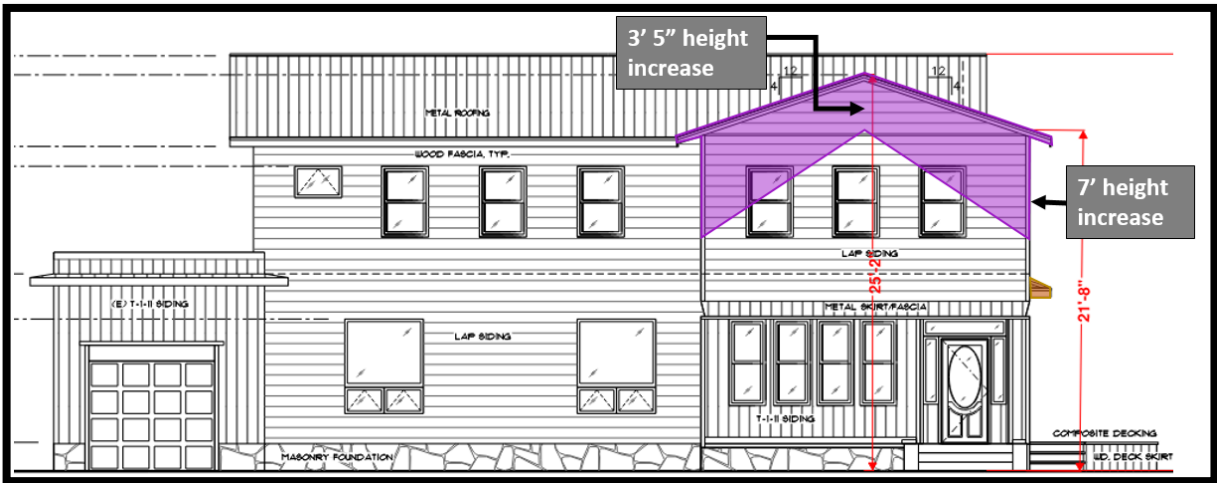


Figure C - View of Front Elevation from Teller Street – Proposed Encroachments

REQUIRED SHOWING (Section 16-4-180): The applicant shall demonstrate that a majority of the following criteria to the Board of Adjustment before a variance may be authorized.

- 1. Special Circumstances Exist. There are special circumstances or conditions which are peculiar to the land or building for which the variance is sought that do not apply generally to land or buildings in the neighborhood.

Applicant's response:

-Triangular shaped lot.

-The period in which building was built and various improvements and additions that were not properly documented.

-Various changes to local building code requirements that post date the original the land use and construction.

- The existing residence was built in 1899 with various updates over the years.
- The subject property is an odd shaped lot resulting in a triangular building envelope, upon which a rectangular shaped home was built, resulting in several corners of the home encroaching into the current setbacks. The required setbacks at the time of the construction of the current configuration of the home are unknown.

- 2. Not result of Applicant. The special circumstances and conditions have not resulted from any action of the applicant.

Applicant's response: *Interior remodel of the 2nd floor exposed damaged, structural deficiencies as well as numerous code violations. Homeowner/contractor determined the best solution would be to demo existing roof that was not built to code to prevent inevitable structural failure.*

- The special circumstances and conditions are not a result of the applicant as they did not construct the existing home within the setbacks.

- 3. Strict Application Deprives Reasonable Use. The special circumstances and conditions are such that the strict application of the provisions of this Chapter would deprive the applicant a reasonable use of the building or land.

Applicant's response:

(16-4-160) Nonconformities

(b;1) Use of nonconforming building or structure shall not be expanded, altered, enlarged or relocated except as permitted.

(c;1) A nonconforming structure may be extended or altered in a manner that does not increase the its nonconformity.

- Strict application of the Code would deprive the owners a second story matching the first story footprint of the building and deprive the owners from maximizing the allowable density on the lot. The covered walkway is the logical location for a possible future entrance to the upstairs unit if a separate entrance is ever created by the current or future owner.

- 4. Variance is Necessary to Provide Reasonable Use. The granting of the variance is necessary to provide the applicant a reasonable use of the land or building.

Applicant's response:

This variance would allow for the:

- increase second floor walls to allow for 8' ceiling.
- install engineered roof (per code).
- provide additional housing.
- improve overall structure integrity and curb appeal.

- Replacing a 1.5 story second floor with a full second story allows for the provision of an additional dwelling unit, which is a reasonable use on this 7,500 square foot R-2 zoned lot.

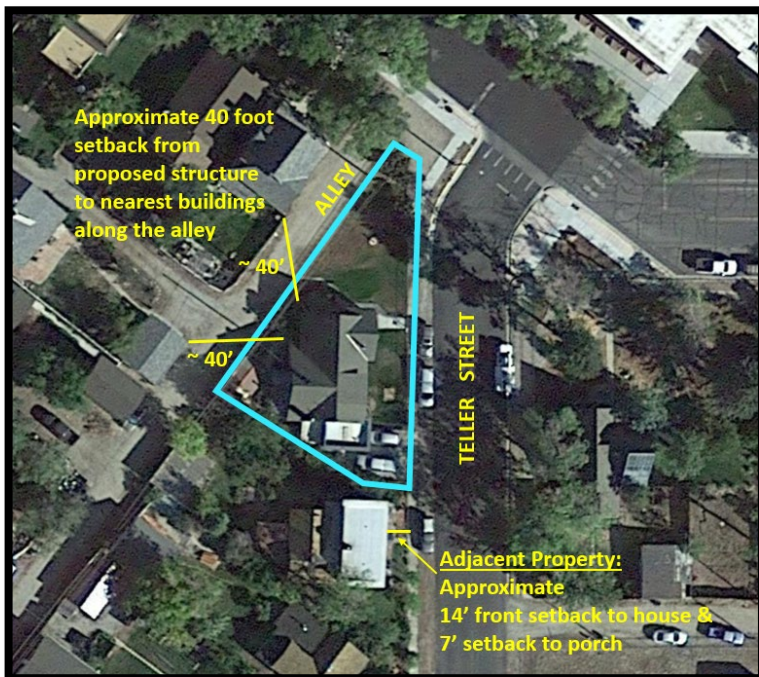
5. Minimum Variance. The granting of the variance is the minimum necessary to make possible the reasonable use of the land or building.

Applicant's response: *The requested variance would allow for maximizing the cubic feet of the existing structure without increasing/altering the existing footprint with no additional encroachment on the ground level.*

- Requests 2, 3 & 4 are upward encroachments utilizing the existing footprint with the addition of twenty inch (20") eaves. Request 1, in addition to being an architectural feature, allows for the option of a future covered entrance and walkway to the upstairs unit.

6. No Injury to the Neighborhood. The granting of the variance will not be injurious to the neighborhood surrounding the land where the variance is proposed, and is otherwise not detrimental to the public welfare or the environment.

Applicant's response: *The proposed variance will not be injurious to the neighborhood and not a determinate to the public welfare or the environment.*



- The granting of the variance will not be injurious to the neighborhood. The rear of the lot is along an alley. There are two lots across the alley that align with this property, and the setback to structures on those properties will be approximately 40 feet or more.

- Only one property has the same orientation facing Teller Street - 126 Teller directly to the south - and it is an existing non-conforming structure with an approximate fourteen foot (14') front setback for the house and seven foot (7') setback for the covered porch.

- The proposed increased encroachments are all adjacent to public right-of-way: Teller Street in the front and the alley along the rear property line.

- The Fire Chief, Public Works Director and Chaffee County Building Official had no concerns. Xcel Energy provided guidance on setbacks from the 120/240 Volt overhead line that is on this property along the alley side. The requirement is a minimum setback of 5 feet from a vertical wall plane, which is currently met.

7. Consistency with Code. The granting of the variance is consistent with the general purposes and intent of this Land Use Code.

Applicant’s response: *The granting of the variance is consistent with the general purposes and intent of this Land Use Code,*

-Encroachments along street and alley.

-No Variance requested for adjacent properties

- The applicant complies with all other aspects of the code besides the encroachments described here.
- Setbacks help provide open space and to address basic safety issues: distances between buildings decrease the potential damage in case of a fire, provide the room necessary for a homeowner to maintain his/her buildings on his/her own property and provide for solar access and ventilation. The proposed encroachments are adjacent to public rights-of-way and there will be adequate space which the owner can use for maintenance of the structures.

REVIEW AGENCIES:

Fire Department – Fire Chief, Doug Bess – No concerns from fire.

Public Works Department – Director, David Lady – No concerns.

Xcel Energy – Sterling Waugh - The existing power line in this area is 120/240 Volt line and the horizontal clearance is five feet from a vertical wall plane. The customer needs to make sure to meet that clearance. I did not see the overhead service to the home mapped on the attachment. If the service goes over the deck it needs to have eleven feet clearance per NESC (Table 234-1 of NESC). They can also pay to underground the service if that is more desirable for the customer.

Chaffee County Building Department, Dan Swallow – No concerns.

REQUIRED ACTIONS BY THE BOARD:

1. The Board shall confirm that adequate notice was provided.
2. The Board shall conduct a public hearing.
3. The Board shall make findings that a majority of the points 1 through 7 of the above section are either met, or not met, by the applicant.

RECOMMENDED FINDINGS:

That the variance requests are in conformance with Section 16-4-180 (e), required showing. A special circumstance exists due to the shape of the lot and the existing non-conforming home. The variance allows the highest and best use of the property, the requests are not injurious to the neighborhood and there is adequate access for maintenance. The requests meet the intent of the Code, will not impact adjacent neighbors, and are in keeping with the general purposes of the Code.

STAFF RECOMMENDATION:

The variance request meets the preponderance of required showing criteria 1 through 7.

Based on the findings, staff recommends the Board APPROVE the variance based on the following findings of fact:

- 1. The shape of the lot and the existing non-conformity and condition of the structure predate the applicant’s ownership, creating a special circumstance.
- 2. The applicant will be able to maintain the proposed encroachments and it will not be injurious to the neighborhood as required by Section 16-4-180 (6).

RECOMMENDED MOTION: I make a motion to approve the Lynna’s Lodge Variance with the following 2 conditions:

- 1. A plan change to City of Salida Building Permit No. 099-21 must be approved prior to construction re-commencing.
- 2. Prior to issuance of a certificate of occupancy, water and wastewater system development fees must be paid, and the current system development fee deferral and suspension agreement must be rescinded via recorded document.

BECAUSE THIS APPLICATION IS FOR A VARIANCE, THE SALIDA BOARD OF ADJUSTMENT SHALL MAKE THE FINAL DECISION ON THIS APPLICATION. THE DECISION OF THE BOARD OF ADJUSTMENT MAY BE APPEALED WITHIN 15 DAYS OF THE DECISION BY AN AGGRIEVED PERSON AS SET FORTH IN SECTION 16-2-70 OF THE LAND USE CODE.

Attachments: Application materials
Agency reviews

Please see attached document and provide any comments (or 'none' if you have none) by September 10th.

Thank you for your time,

Kathryn Dunleavy

Planner, City of Salida
448 E. 1st St. #112
Salida, CO 81201
719.530.2631
Kathryn.dunleavy@cityofsalida.com

<Agency Review - 112 Teller Variance.pdf>

None
Thanks

David Lady P.E.
City of Salida
Director of Public Works
719-539-6257

No concerns from fire.

Thank you.

Doug Bess
Fire Chief
Salida/South Arkansas FPD
(719) 539-2212

Kathryn,

CCBD has no concerns as noted on the attached referral.

Dan Swallow
Director of Development Services
Chaffee County, CO
(719) 530-5567
dswallow@chaffeecounty.org



Hey Kathryn,

To NESC code it is vertical wall plane clearance not a radial clearance. I have seen this broken a lot. Architects should be checking these clearances but happy to help.

I just want to let you know this is not an Xcel code but a national electric safety code.

Sterling S Waugh C:719-717-0041 Mon-Thurs 7-5:30

<https://www.xcelenergy.com/staticfiles/xcel-responsive/Admin/Managed%20Documents%20&%20PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf>

APPLICATION REQUEST

<https://my.xcelenergy.com/BuildingRemodeling/s/>

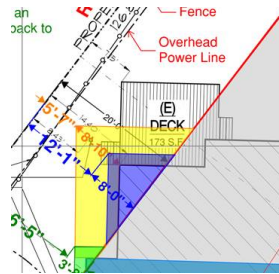
From: Kathryn Dunleavy <kathryn.dunleavy@cityofsalida.com>
Sent: Wednesday, September 15, 2021 2:46 PM
To: Waugh, Sterling S <Sterling.S.Waugh@xcelenergy.com>
Cc: Moffett, Christopher B <Christopher.B.Moffett@xcelenergy.com>
Subject: RE: Comments Requested: Variance Application for 112 Teller Street

Hello Sterling and Chris –

I have a quick clarifying question. For the 5 foot horizontal distance required from the 120/240 Volt line, is that 5 feet from a vertical wall plane or 5 feet from any part of a structure?

The corner of the yellow portion of this drawing is within 5 feet of that power line, but it is a covered walkway - unenclosed, and around 12 feet in height at that outermost point.

Trying to figure out if they need to scale that back or not. Thank you so much!



Kathryn Dunleavy

Planner, City of Salida
448 E. 1st St. #112
Salida, CO 81201
719.530.2631
kathryn.dunleavy@cityofsalida.com

From: Waugh, Sterling S [<mailto:Sterling.S.Waugh@xcelenergy.com>]
Sent: Wednesday, September 1, 2021 8:01 AM
To: Kathryn Dunleavy <kathryn.dunleavy@cityofsalida.com>; Doug Bess <doug.bess@cityofsalida.com>;

Kathy Rohrich <kathy.rohrich@cityofsalida.com>; Chaffee County E-plans <epplans@chaffeecounty.org>; 'David Lady' <david.lady@cityofsalida.com>
Cc: Moffett, Christopher B <Christopher.B.Moffett@xcelenergy.com>
Subject: RE: Comments Requested: Variance Application for 112 Teller Street

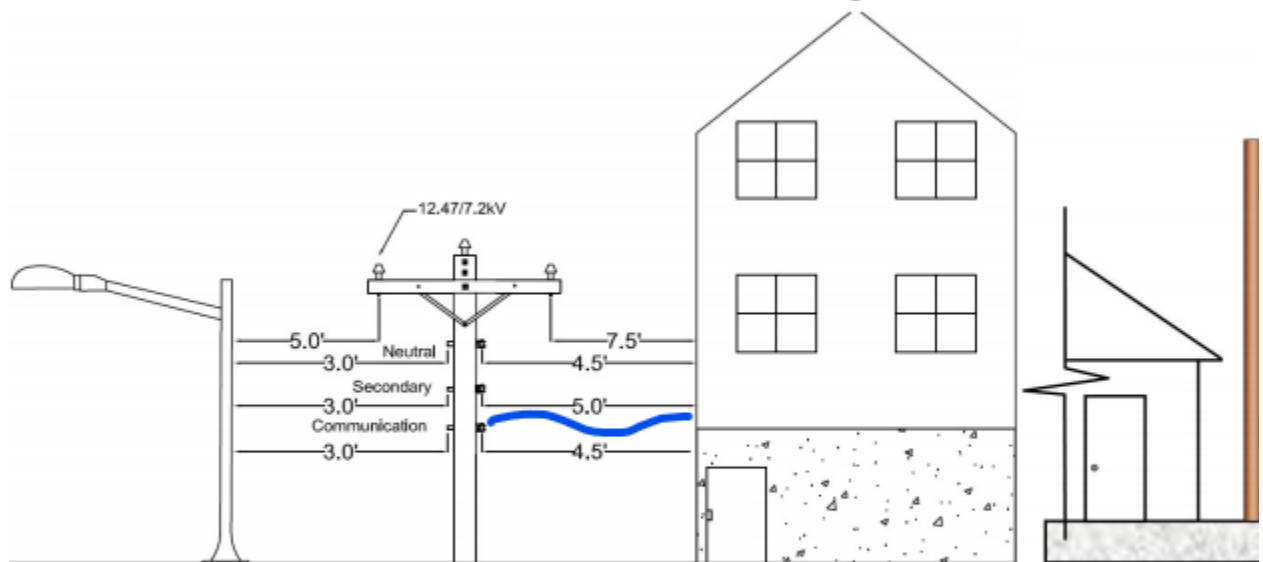
Thanks you Kathryn for giving Xcel the opportunity to respond to this.

I have copied my co-worker Chris Moffett if you could add him next time so if I am out of office he could respond.

The existing power line in this area is 120/240 Volt line and the horizontal clearance is five feet. The customer needs to make sure to meet that clearance.

I did not see the overhead service to the home mapped on the attachment. If the service goes over the deck it needs to have eleven feet clearance per NESC (Table 234-1 of NESC). They can also pay to underground the service if that is more desirable for the customer.

NESC 234 CLEARANCES TO OTHER STRUCTURES
Cables 300 V or less need to be a minimum two feet over the street light.



- NESC TABLE 232-1 VERTICAL CLEARANCE OVER SURFACES**
- NESC TABLE 235-5 VERTICAL CLEARANCE AT SUPPORTS**
- NESC 235C2b(1)(a) SAG RELATED CLEARANCES**
- NESC 235H CLEARANCE AND SPACING BETWEEN COMMUNICATIONS**

Respectfully,

Sterling S Waugh C:719-717-0041 Mon-Thurs 7-5:30

<https://www.xcelenergy.com/staticfiles/xcel-responsive/Admin/Managed%20Documents%20&%20PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf>

APPLICATION REQUEST

<https://my.xcelenergy.com/BuildingRemodeling/s/>

Determination and Administration Act of 1969. Authorized diversions located within the augmentation plan areas included in the plan for augmentation, by either an uncontested approval by the State Engineer or Order of the Court, shall be part of the decreed plan for augmentation.

Public Hearing Notice
The Board of Trustees and Planning & Zoning Commission will meet in person at the Poncha Springs Town Hall. **Members of the public may elect to attend in person OR attend the meeting by telephone by calling 1 (346) 248-7799 Access Code 822 6016 4739.** Attendance can also be done via computer, tablet or smartphone by visiting the following web address: direct: <https://us02.web.zoom.us/j/82260164739> or www.zoom.us.
Published in The Mountain Mail September 10, 2021

**PUBLIC NOTICE
NOTICE OF A PUBLIC HEARING DATE
BEFORE THE BOARD OF ADJUSTMENT
FOR THE CITY OF SALIDA CONCERNING
A VARIANCE APPLICATION**

TO ALL MEMBERS OF THE PUBLIC AND INTERESTED PERSONS: PLEASE TAKE NOTICE: that on September 27, 2021 at or about the hour of 6:00 p.m., a public hearing will be conducted by the City of Salida Board of Adjustment at City Council Chambers, 448 East First Street, Suite 190, Salida, Colorado and online at the following link: <https://attendee.gotowebinar.com/rt/1909092342220683277>

The applicant, Lynna's Lodge, LLC, is requesting approval for a variance on the property located at 112 Teller Street, Salida, CO.

The purpose of the request is to receive a variance from the minimum setback of twenty feet (20') required for the front and rear yard. The applicant is requesting to expand the existing non-conforming structure to two (2) full stories where only one and one-half (1.5) stories previously existed, resulting in a request to expand the nonconformity by one foot two inches (1' 2") further into the setback and seven feet two inches (7' 2") further upward. The applicant is also requesting to add a covered walkway that would encroach into the rear setback an additional eight feet ten inches (8' 10"). The resulting rear setback will be five feet seven inches (5' 7") at its narrowest point. The resulting front yard setback will be fifteen feet nine inches (15' 9") at its narrowest point. Interested persons are encouraged to attend the public hearing. Further information on the application may be obtained from the Community Development Department, (719) 530-2631.

*Please note that it is inappropriate to personally contact individual City Councilors or Planning Commissioners, outside of the public hearing, while an application is pending. Such contact is considered ex parte communication and will have to be disclosed as part of the public hearings on the matter. If you have any questions/comments, you should email or write a letter to staff, or present your concerns at the

public meeting via the above GoToWebinar link so your comments can be made part of the record.
Published in The Mountain Mail September 10, 2021

PUBLIC NOTICE

a vested property right. The City Council is approving the vested property right subject to the terms and conditions contained in the development plan and this ordinance and failure to abide by such terms and conditions may, at the option of the City Council, after a public hearing, result in the forfeiture of vested property rights.

Section Three

Upon approval by the City Council the applicant shall submit a final Mylar of Exhibit A; and incorporating the following three (3) conditions of approval for the Mayor's signature and recordation:

1. The applicant shall meet the recommendations of the Public Works Director including the installation of sidewalks, curb, and gutter along 3rd Street to support the proposed improvements. Civil drawings and a drainage report shall be included for review.
2. Table 16-F Schedule of Dimensional Standards, Table 16-J Off-Street Parking Standards by use, and Table 16-D Schedule of Uses shall be added to the plat prior to recording the Planned Development.
3. Administrative Review and approval will be required for the 15,000 sq. ft Annex addition.

Section Four

The City Clerk is hereby directed to undertake the following actions upon the adoption of this Ordinance:

1. Publish this Ordinance in a newspaper of general circulation in the City of Salida.
2. Following recording of the Mylar, the Clerk shall promptly amend the official city zoning district map to incorporate and reflect the planned development overlay of the subject property.

Section Five

This Ordinance shall not have any effect on existing litigation and shall not operate as an abatement of any action or proceeding now pending under or by virtue of any ordinance repealed or amended as herein provided, and the same shall be construed and concluded under such prior ordinances.

Section Six

The provisions of this Ordinance are severable and the invalidity of any section, phrase, clause or portion of the Ordinance as determined by a court of competent jurisdiction shall not affect the validity or effectiveness of the remainder of the Ordinance.

INTRODUCED ON FIRST READING, on August 17, 2021, ADOPTED and ORDERED PUBLISHED IN FULL in a newspaper of general circulation in the City of Salida by the City Council on the 20th day of August, 2021 and set for second reading and public hearing on the 7th day of September 2021.

INTRODUCED ON SECOND READING, FINALLY ADOPTED and ORDERED



VARIANCE APPLICATION

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

A. TYPE OF VARIANCE REQUESTED (Fill In Applicable Requests)

- 1. Variance from Maximum Height: Existing Height (in feet): Proposed Height (in feet):
2. Minimum Variance from Floor Area: Required Floor Area: Proposed Floor Area:
3. Variance from Maximum Lot Coverage: Allowed Lot Coverage: Proposed Lot Coverage:
4. Variance from Parking Requirements: Existing Spaces: Required Spaces:
Total Spaces Proposed: Percent Reduction Proposed:

5. Variance from Minimum Setback Requirements

- a. Setback Variance Information:
i. Type of setback: [X] Front yard [] Rear yard [] Side yard
ii. Which direction: [] North [] South [X] East [] West
[] Northeast [] Northwest [] Southeast [] Southwest
iii. Type of Building: [X] Principal [] Accessory Building
iv. Current Setback: 16' 7"
v. Proposed Setback: 15' 9"
vi. Required Setback: 20 feet
b. Second Setback Variance Information (if applicable):
i. Type of setback: [] Front yard [X] Rear yard [] Side yard
ii. Which direction: [] North [] South [] East [X] West
[X] Northeast [] Northwest [] Southeast [] Southwest
iii. Type of Building: [X] Principal [] Accessory Building
iv. Current Setback: 13' 7" & 17' 3"
v. Proposed Setback: 5' 7" & 12' 1" & 16' 5"
vi. Required Setback: 20 feet

6. Variance from Land Use Code Section: 16-4-160 & Table 16-F

B. DEVELOPMENT PROCESS (City Code Section 16-4-180)

- 1. Pre-Application Conference. Optional.
- 2. Submit Application.
- 3. Staff Review. Schedule Hearing. Forward Report to Applicant and Board.
- 4. Public Notice Provided For Hearing.
- 5. Public Hearing Conducted by Board and Action Taken.



C. APPLICATION CONTENTS

A digital copy of all application materials is required.

- 1. **General Development Application**
- 2. **Site Plan.** A site plan of the subject property, showing existing and proposed features, buildings, etc. which are relevant to the review of the application. **The copies shall only be accepted on 8½" x 11", 11" x 17" or 24"x 36" paper.**
- 3. **Required Showing.** The applicant shall indicate the way the proposal meets the required showing as outlined in the application.
- 4. **Public Notice**
 - a) List. A list shall be submitted by the applicant to the city of adjoining property owners' names and addresses. A property owner is considered adjoining if it is within 175 feet of the subject property regardless of public ways. The list shall be created using the current Chaffee County tax records.
 - b) Postage Paid Envelopes. Each name on the list shall be written on a postage-paid envelope. Postage is required for up to one ounce. Return Address shall be: City of Salida, 448 E. First Street, Suite 112, Salida, CO 81201.
 - c) Applicant is responsible for posting the property and submittal of proof of posting the public notice.
- 5. **Application Fee.** \$500 cash or check made out to City of Salida.

D. REQUIRED SHOWING (If necessary, attach additional sheets)

The applicant shall demonstrate the following to the Board of Adjustment before a variance may be authorized:

1. Special Circumstances Exist. There are special circumstances or conditions which are peculiar to the land or building for which the variance is sought that do not apply generally to land or buildings in the neighborhood.

Special Circumstances That Exist:

- Triangular shaped lot.
- The period in which building was built and various improvements and additions that were not properly documented.
- Various changes to local building code requirements that post date the original the land use and construction.

2. Not Result of Applicant. The special circumstances and conditions have not resulted from any act of the applicant.

Interior remodel of the 2nd floor exposed damaged, structural deficiencies as well as numerous code violations. Homeowner/contractor determined the best solution would be to demo existing roof that was not built to code to prevent inevitable structural failure.

3. Strict Application Deprives Reasonable Use. The special circumstances and conditions are such that the strict application of the provisions of this Land Use Code would deprive the applicant of reasonable use of the land or building.

(16-4-160) Nonconforties

(b;1) Use of nonconforming building or structure shall not be expanded, altered, enlarged or relocated except as permitted.

(c;1) A nonconforming structure may be extended or altered in a manner that does not increase the its nonconformity.

4. Variance is Necessary to Provide Reasonable Use. The granting of the variance is necessary to provide the applicant a reasonable use of the land or building.

This variance would allow for the:

- increase second floor walls to allow for 8'ceiling.
- install engineered roof (per code).
- provide additional housing.
- improve overall structure integrity and curb appeal.

5. Minimum Variance. The granting of the variance is the minimum necessary to make possible the reasonable use of the land or building.

The requested variance would allow for maximizing the cubic feet of the existing structure without increasing/altering the existing footprint with no additional encroachment on the ground level.

6. No Injury to Neighborhood. The granting of the variance will not be injurious to the neighborhood surrounding the land where the variance is proposed, and is otherwise not detrimental to the public welfare or the environment.

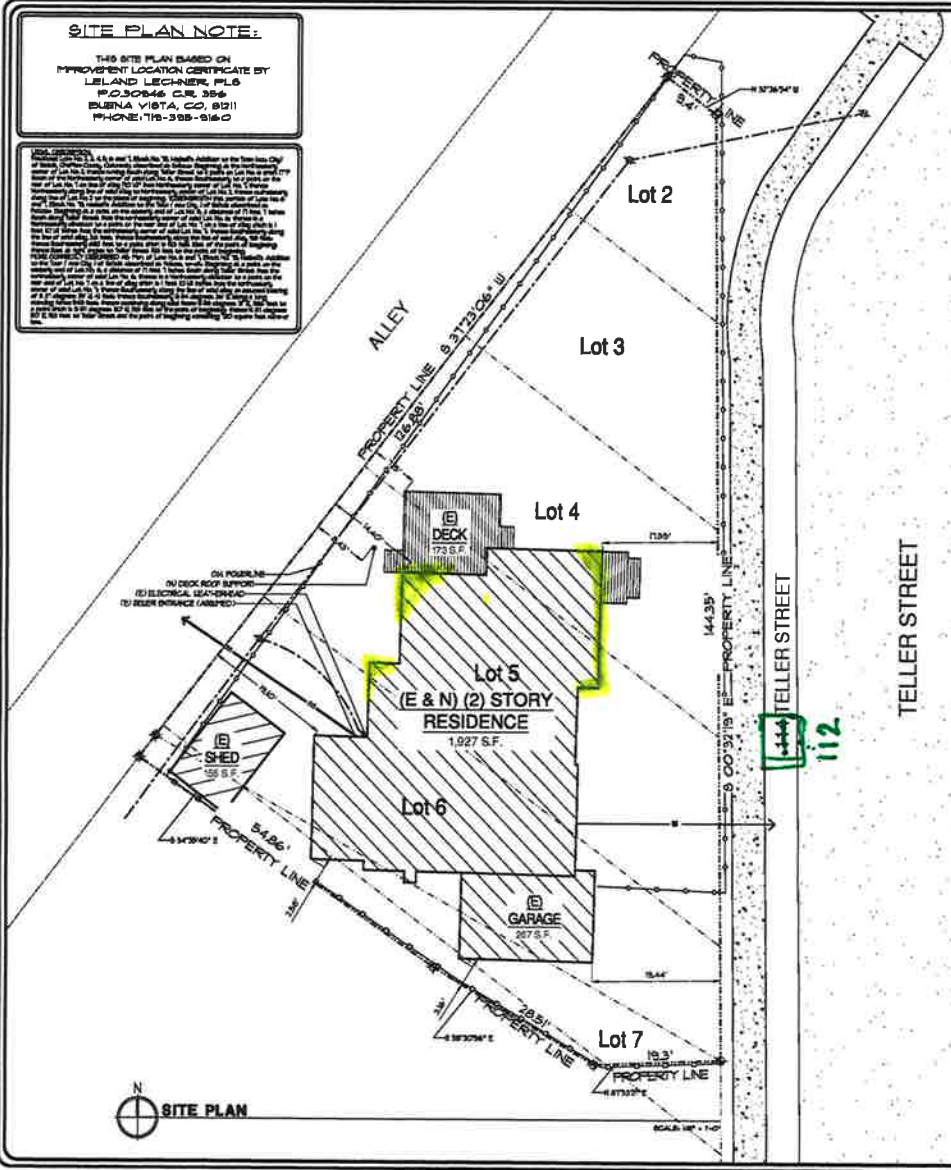
The proposed variance will not be injurious to the neighborhood and not a determinate to the public welfare or the environment.

7. Consistency With Code. The granting of the variance is consistent with the general purposes and intent of this Land Use Code;

-Encroachments along street and alley.

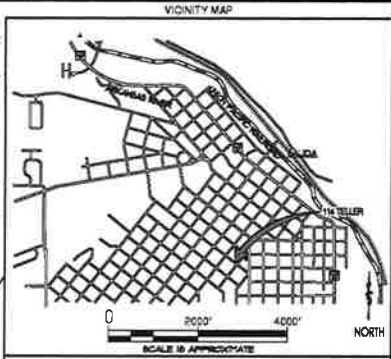
-No Variance requested for adjacent properties

7. Consistent with Land Use Code. The granting of the variance is consistent with the general purposes and intent of the City's Land Use Code.



SITE PLAN NOTE:
 THIS SITE PLAN BASED ON IMPROVEMENT LOCATION CERTIFICATE BY LELAND LECHNER, P.L.S. 11220044, C.R. 306, BUENA VISTA, CO. 81211, PHONE: 719-398-9160

DISCLAIMER:
 I, A. J. Taylor, a duly Licensed Professional Engineer in the State of Colorado, do hereby certify that this site plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Colorado. I am not responsible for any errors or omissions in this site plan or for any consequences that may result therefrom. I am not responsible for any errors or omissions in this site plan or for any consequences that may result therefrom. I am not responsible for any errors or omissions in this site plan or for any consequences that may result therefrom.



PROJECT DATA
 NOTE: PROJECT DATA THIS SHEET SUPERSEDES DATA ON SHEET A1.1

AREA TABULATION

(E) TOTAL LIVING AREA	1807 SF.
(E) 1st FLR. LIVING AREA	1606 SF.
(E) 2nd FLR. LIVING AREA	271 SF.
(N) 1st FLR. LIVING AREA	0 SF.
(N) 2nd FLR. LIVING AREA	184 SF.
(N) 3rd FLR. LIVING AREA (INC. 2ND)	932 SF.
TOTAL (P) LIVING AREA	2820 SF.

PROJECT/LOT INFORMATION
 TOTAL LOT = 0.7478 AC. FT. / 0.16164 ACRES
 PARCELS: 1 2023017000
 PARTS OF LOTS 2-1, BLOCK 18, HARBLETT ADDITION
 REC. 684600; SEE LEGAL DESCRIPTION THIS PAGE.

GENERAL SCOPE OF WORK:
 REVEAL HOPE - 1200 SQ. FT.
 NO CHANGES TO FACE TO (E) BUILDING FOOTPRINT
 NO EXPOSED DECK, GARDEN + GARAGE

TAYLOR DRAFTING
 1047 F STREET
 SALIDA, COLORADO 81201
 719.359.2425

REVISIONS

DATE	REVISION DESCRIPTION
10/05/2023	ISSUED FOR PERMIT

PROJECT CONTACT DATA

OWNER:
 MYNNA'S LODGE, LLC
 2024 LARGESHADE DR.
 AUSTIN, TX 78746
 (802) 429-1864

JOB SITE ADDRESS:
 14 TELLER ST.
 SALIDA, CO 80821

LEGAL DESCRIPTION:
 SEE DESCRIPTION THIS PAGE

BUILDER / CONTRACTOR:
 TBD

DESIGN & DRAFTING:
 STEPHEN TAYLOR
 1047 F STREET
 SALIDA, CO 80821
 719-359-2425

SITE PLAN NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND OTHER SITE CONDITIONS PRIOR TO COMMENCING WORK. IF ANY DISCREPANCY EXISTS, THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL CONTACT UTILITY COMPANIES TO FIELD LOCATE ALL UTILITIES LOCATIONS OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. UTILITIES WHICH CANNOT BE ACCURATELY REPRESENTED ALL UTILITIES SHOWN MAY BE DISCONTINUED DURING CONSTRUCTION.
- EXISTING UTILITIES ARE TO BE MAINTAINED UNLESS OTHERWISE SPECIFIED.
- ALL SITE PLAN INFORMATION PROVIDED BY OWNER SHALL BE CORRECTED AND VERIFIED AS ACCURATE BY OWNER. CONTRACTOR TAKES NO RESPONSIBILITY SHOULD THAT INFORMATION BE INACCURATE.
- ANY ADDITIONAL WORK AS REQUIRED BY LOCAL, STATE, FEDERAL AND FEDERAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ANY SURVEY INFORMATION WITHIN THE AREA OF CONSTRUCTION SHALL BE PROVIDED BY A REGISTERED PROFESSIONAL ENGINEER OR A LICENSED LAND SURVEYOR.
- ANY UTILITIES REQUIRED RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE CONTRACTOR.
- NO SIGNIFICANT TREES SHALL BE REMOVED OR DAMAGED AT THE TIME OF THE SITE WORK OF THE CONTRACTOR.
- NOTE: SUBJECT LOT IS A NON-COVERING LOT. IF A NON-COVERING LOT IS REQUIRED, ALL THE INFORMATION ON THE TITLE OF LOT PROVIDED BY THE CONTRACTOR HAS NOT BEEN PROVIDED AND INFORMATION REQUIRED THEREIN. THE CONTRACTOR SHALL NOT ATTEMPT TO LOCATE THE SET BACK ON THIS SITE PLAN. THE ONLY NEW INFORMATION PROVIDED ON THIS SITE PLAN IS THE EXISTING FOOTPRINT OF THE HOPE IN A SOUTH AND SOUTH EAST CORNER. A PARTIAL COVER OVER THE EXISTING DECK THIS POLE IS IDENTIFIED AND REFERENCED TO THE PROPERTY LINE, AND IS GREATER THAN THE NORMAL HOPE SET BACK CLEARANCE.

STRUCTURAL

ALLOWABLE DESIGN LOADS IS:
 ROOF - 15 PSF AREAS, 20 PSF LOADS
 FLOOR - 20 PSF AREAS, 40 PSF LOADS
 WIND - 90 MPH WIND LOAD

REFER TO DESIGN CONDITIONS: C

THE CONTRACTOR SHALL VERIFY THE COMPLETE EXISTING CONDITION IN FLOOR PLAN, EXISTING CONDITION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE PROPER BRACES AND BRACKETS, IF THE PROVISIONS ARE NOT BE REQUIRED TO ACHIEVE THE FULL COMPLIANT STRUCTURE. SEE STRUCTURAL DESIGN FOR FURTHER INFORMATION.

GENERAL PLANS NOTES

- STEPHEN TAYLOR, TAYLOR DRAFTING OR ARCHITECT SHALL NOT BE HELD LIABLE STRUCTURAL DESIGN OR FUNCTION OF THE PLANS. THE OWNER OR GENERAL CONTRACTOR UNDER THESE PLANS IS SOLELY RESPONSIBLE FOR ACQUISITION OF ENGINEERING VERIFICATION OF APPLICATION.
- ALL CONSTRUCTION OF THIS STRUCTURE SHALL CONFORM ALL APPLICABLE CODES, NOT LIMITED TO THE MINORITY BUILDING CODE AND THE CODES OF AMERICAN BUILDING OFFICIALS. CODES REQUIREMENTS PREVIOUS TO THIS PLAN INCLUSION FOR EXCLUSION IN THESE PLANS.
- IN GENERAL, SPECIFICATIONS SUPERSEDES DRAWING DETAILS OR NOTES DETAILS SUPERSEDES LEGEND SCALE DRAWINGS OR DETAILS.

SHEET INDEX

NO.	DESCRIPTION
AB1	EXISTING CONDITION IN FLOOR PLAN
AB2	EXISTING CONDITION 2ND FLOOR PLAN
AD0	EXISTING CONDITION PROPOSED ELEVATION
AD1	EXISTING CONDITION ROOF ELEVATION
AD2	SITE PLAN PROJECT INFORMATION
AD3	1st FLOOR PLAN
AD4	2nd FLOOR PLAN
AD5	ROOF / REAR ELEVATION
AD6	SIDE ELEVATION
AD7	1st FLOOR ROOF PLAN
AD8	2nd FLOOR ROOF PLAN
AD9	FOUNDATION / IN FLOOR FINISH PLAN / DETAIL
AD10	1st FLOOR FINISHING PLAN / DETAIL
AD11	2nd FLOOR FINISHING PLAN / DETAIL
AD12	3rd FLOOR ROOF FINISHING PLAN / DETAIL

BUILDING CODE

APPLICABLE CODES:
 IBC 2021
 IBC 2021
 IBC 2021
 IBC 2021
 IBC 2021
 IBC 2021

TO MEET ZONING APPROVEMENTS

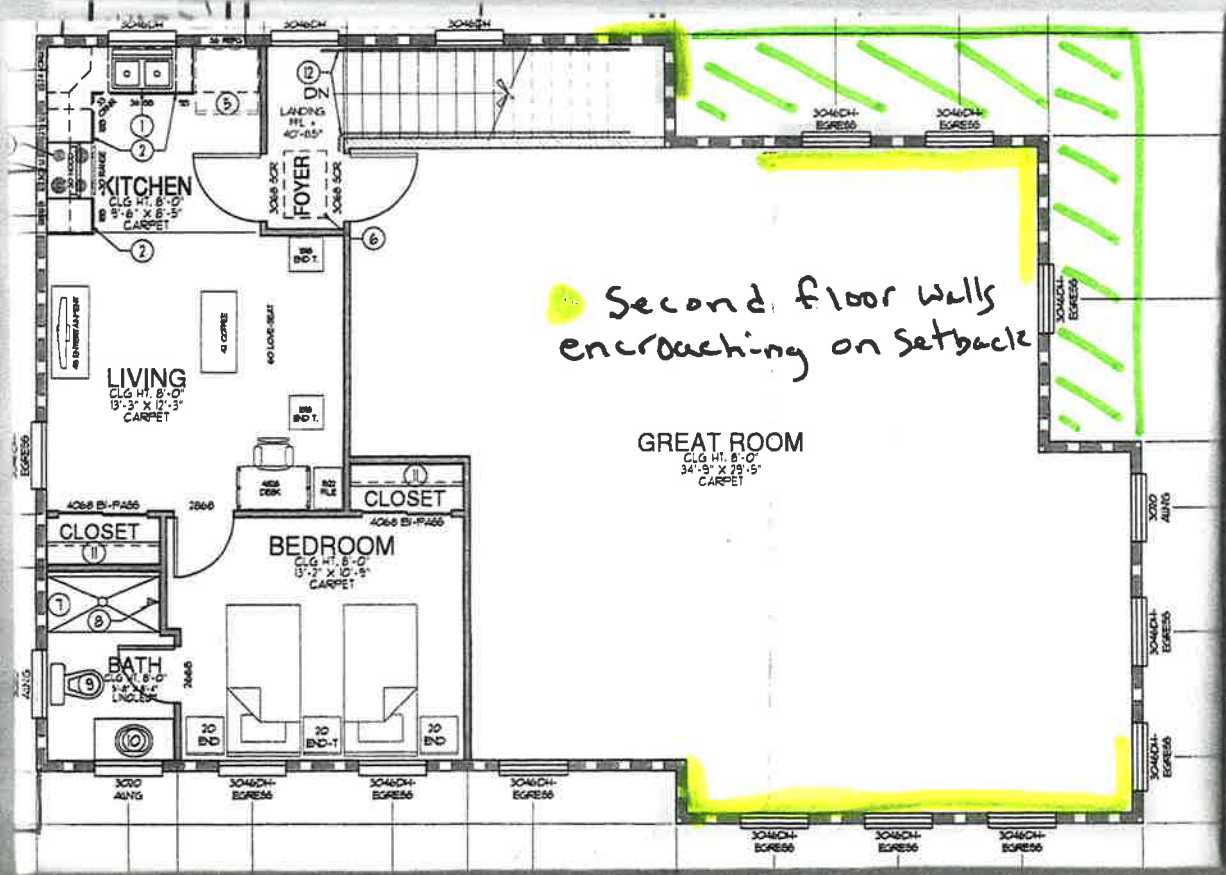
OCCUPANCY TYPE: R3
 SITE ELEVATION: 1011'
 GROUND FINISH LOAD: 40 PSF
 ACTUAL BUILDING HEIGHT: (IN SCOPE OF WORK) = 28'-0"

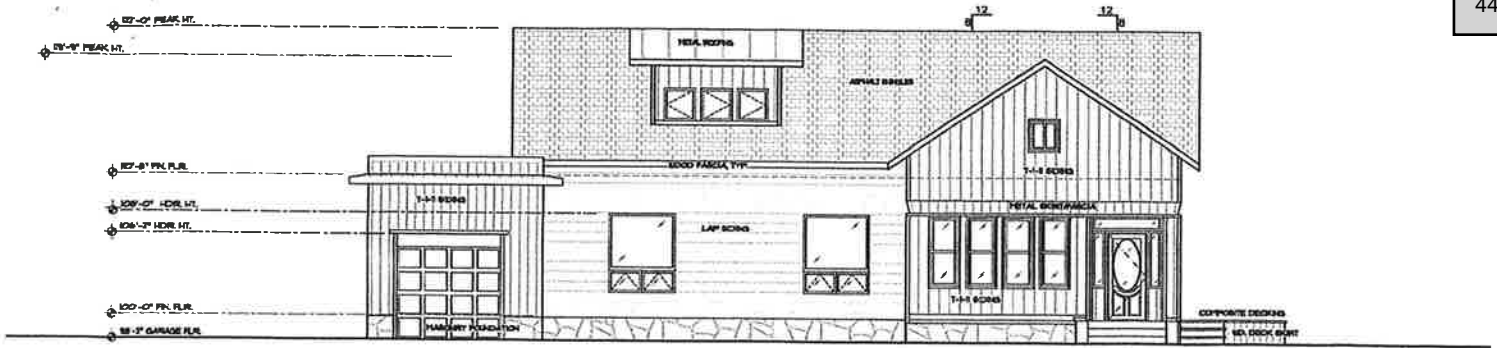
COMMENTS

NO.	DATE	DESCRIPTION
1	10/05/2023	ISSUED FOR PERMIT

MOCKFORD RESIDENCE
SITE PLAN

SHEET
 14 OF 14

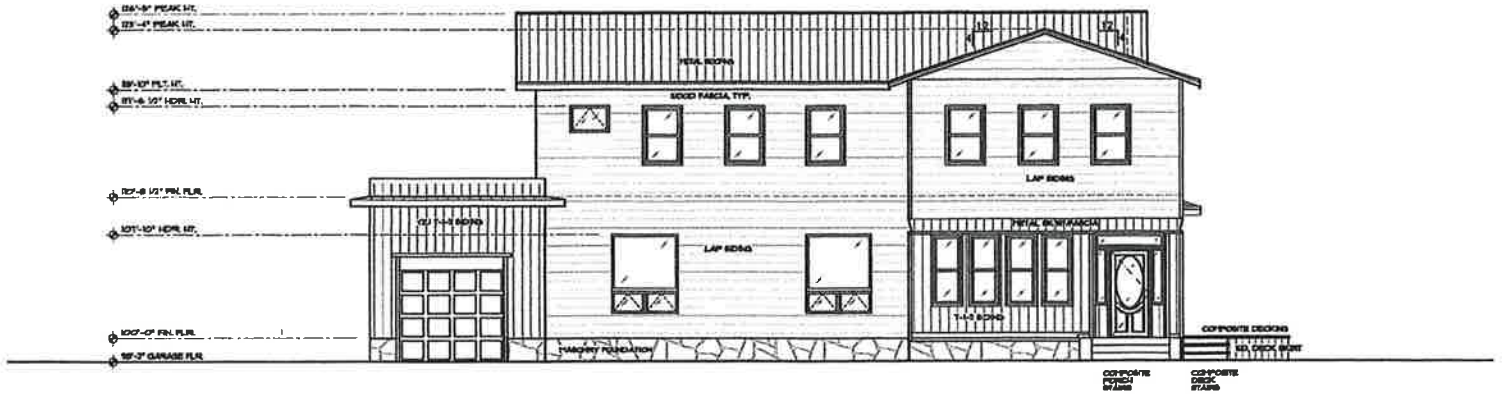




Existing

(E) FRONT ELEVATION

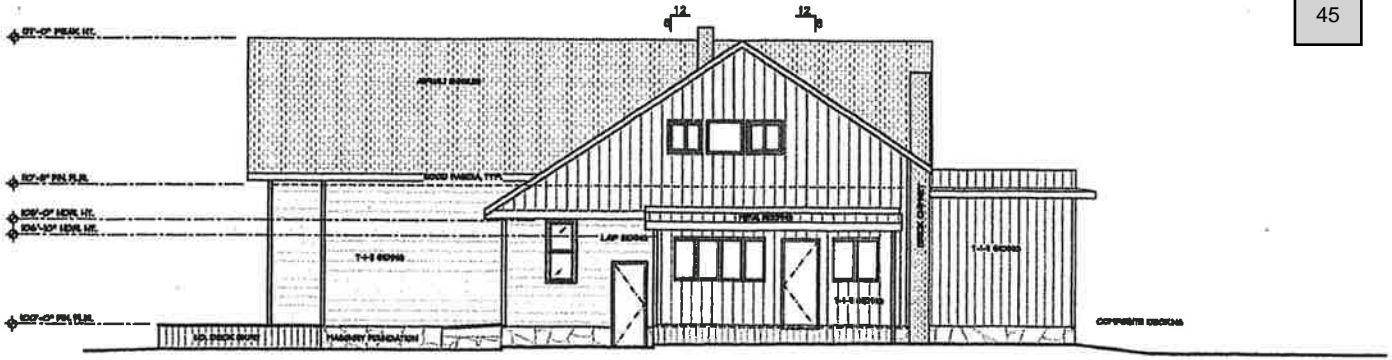
SCALE: 1/4"=1'-0"



Proposed

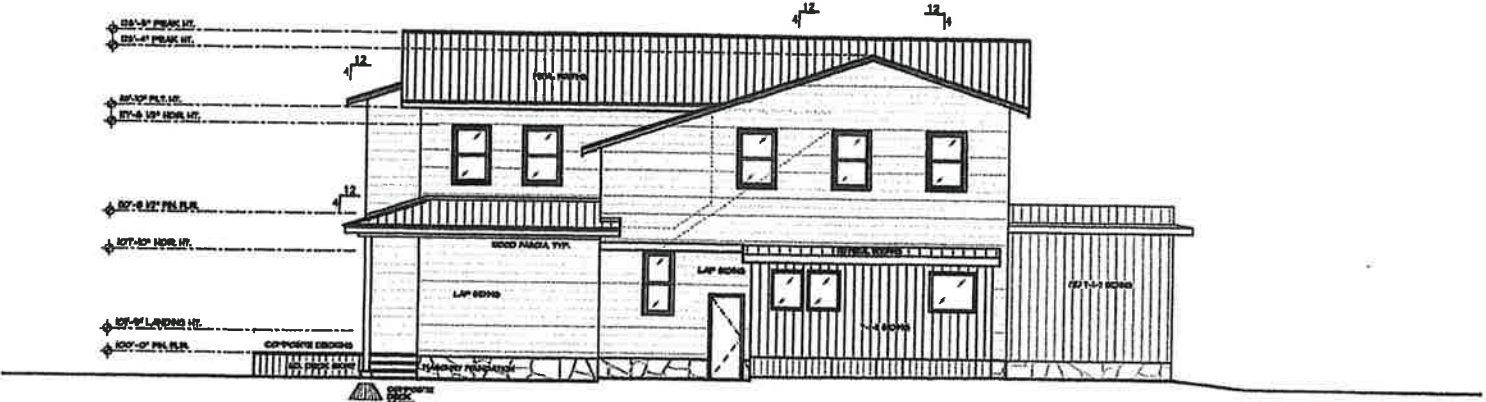
FRONT ELEVATION

SCALE: 1/4"=1'-0"



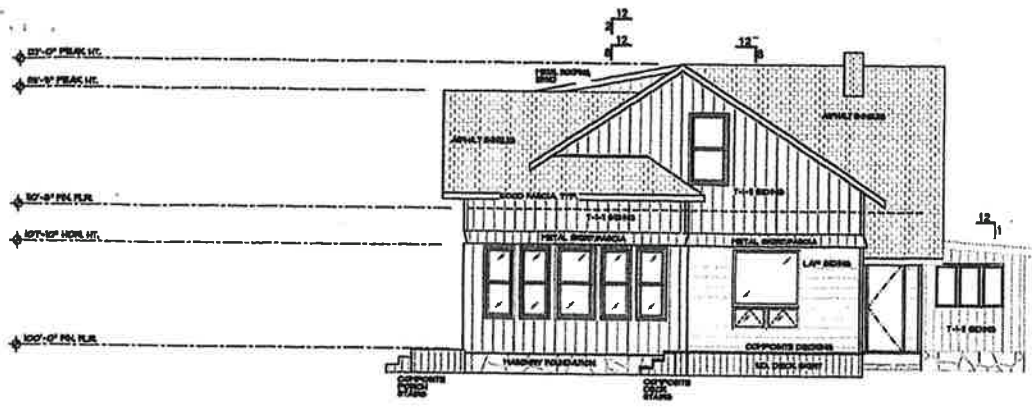
REAR (E) WEST ELEVATION
SCALE: 1/4"=1'-0"

Existing



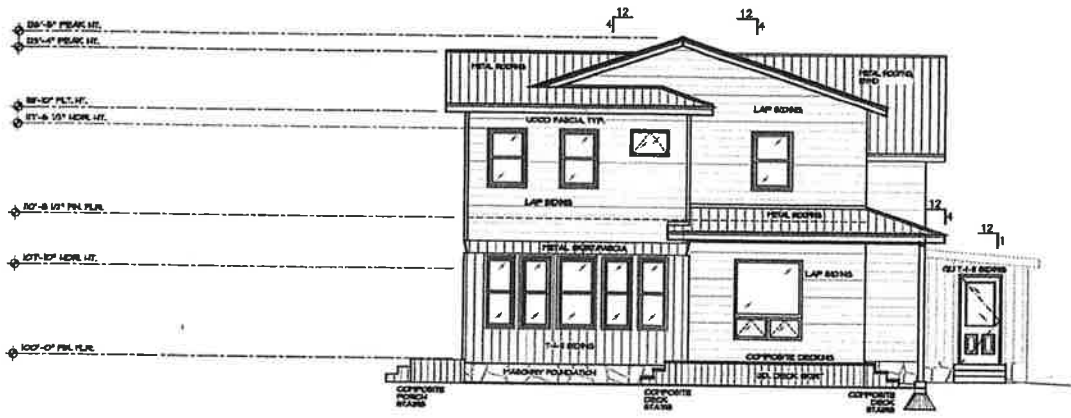
REAR ELEVATION
SCALE: 1/4"=1'-0"

Proposed



(E) NORTH ELEVATION
SCALE: 1/4"=1'-0"

Existing



NORTH ELEVATION
SCALE: 1/4"=1'-0"

Proposed