



Meeting Agenda

Location:

Village Hall -
10631 Main Street
Roscoe, IL 61073

Zoning Board of Appeals
Wednesday, May 13, 2026
5:30 PM

CALL TO ORDER

1. Administration of Oath of Office and Introduction of Brooke Schlichting

ROLL CALL

APPROVAL OF MINUTES

2. Approval of the Minutes for the meeting of the Zoning Board of Appeals from **April 8, 2026.**

NEW BUSINESS

3. ZBA 2026-009 Design Review for **Site and Sidewalk Improvements located at 10774 Main Street** (PIN: 04-33-332-007).

Applicant Foraged Holdings LLC (Greg & Deanna Osborn)

OLD BUSINESS

PUBLIC COMMENT (Limited to 3 minutes per speaker)

ADJOURNMENT



Meeting Minutes

Location:

Village Hall -
10631 Main Street
Roscoe, IL 61073

Zoning Board of Appeals
Wednesday, April 08, 2026
5:30 PM

CALL TO ORDER

ROLL CALL

PRESENT

- Member Melissa Smith
- Member Teresa Skridla
- Member Daniel Spinazzola
- Member Carla Jorgenson

Village Administrator Josef Kurlinkus

Village Attorney Tom Green

Zoning Consultant Vandewalle Hillary Rottmann

Jay Alms Chief of Fire

Village Clerk Kimberly Garza

ABSENT

- Chairman Richard Butera
- Member Laura Baluch

Tom Green stated that a motion needed to be made to point someone to the Chair.

ZBA Member Spinazzola made a motion to appoint ZBA Member Jorgenson to the Chair, second by ZBA Member Jorgenson. Voting yes: ZBA Members Skridla, Smith, Jorgenson, Spinazzola 4-0-0.

APPROVAL OF MINUTES

- 1. Approval of the Minutes** for the meeting of the Zoning Board of Appeals from **March 11, 2026.**

ZBA Member Jorgenson asked for a motion for the approval of the Minutes.

Motion was made by ZBA Member Smith, second by ZBA Member Jorgenson. Voting yes: ZBA Members Smith, Jorgenson, Spinazzola, Skridla 4-0-0.

NEW BUSINESS

2. ZBA 2026-007 Design Review for **Construction of a 11,952 SF Museum Building located at 13825 Metric Drive** (PIN: 04-16-326-003).

Applicant Wayne Lensing (Arc Design Resources)

Hillary Rottmann Zoning Consultant began by outlining the site's regulatory history: the property was annexed in 2021, zoned IG-General Industrial, and granted a special use to continue expanding both the museum and self-storage operations. the annexation agreement also required roadway dedication and construction of a cul-de-sac at the end of Metric Road, improvements that the applicant is currently coordinating with the village engineer and Roscoe Township. Hillary explained that the proposed building is a steel-panel structure designed to match the existing museum in color and architectural style. the site plan includes compliant parking layout, drive aisles, landscaping, stormwater management, and lighting. All design elements were reviewed under section 15-7-7-6 of the zoning ordinance, which requires design review for non-residential development. Staff recommended approval with several conditions: installation of all reviewed materials, full parking-lot striping, addressing engineering comments and adding wheel stops along the front parking row.

Village Attorney Tom Green Swore in Wayne Lensing Applicant 13750 Metric Drive, Roscoe, IL 61073. & Lauren Downing from Arc Design 5291 Zenith Parkway, Loves Park, IL 61111.

Lauren Downing Arc Design requested a modification to the wheel-stop requirement. because the sidewalk along the building's front facade had been redesigned as a 6-inch raised sidewalk, Lauren stated that traditional parking blocks were no longer necessary.

Joe Kurlinkus Village Administrator stated he spoke with the village engineer and he agreed that the raised sidewalk provides the same functional protection by preventing vehicle overhang into the pedestrian walkway. Lauren Downing stated the only adjustment needed would be modifications to the ADA ramps, since the grade change affects accessibility. Hillary Rottmann confirmed that the intent of the code is fully met with this alternative.

ZBA Member Jorgenson asked clarifying questions about the dual addresses (13750 vs. 13825). Lauren Downing Arc Design explained that although multiple building numbers appear, the entire site is one parcel with different address assignments for individual structures. She also confirmed that the site has one point of access, terminating in the cul-de-sac.

Wayne Lensing owner of the museum explained that he was donated an entire collection of historic fire trucks after the Northern Illinois Fire Truck Museum closed during COVID and was unable to reopen due to a lack of volunteers. After researching the collection, he realized there were significant public interest in antique fire apparatus which motivated him to create a dedicated fire truck exhibit at Historic Auto Attractions. his plans include Showcasing multiple historic fire trucks, including on used in the 1871 Chicago Fire. Building stories and educational displays around the history of these vehicles. Featuring a rare horse-powered water-pumping apparatus, demonstrating how early firefighters generated water pressure before motorized engines existed. Creating an exhibit that highlights the difficult, labor-intensive work

of 19th century firefighting and the evolution of fire equipment. Wayne emphasized that the collection offers unique historical value and will give another reason to come.

Motion was made by ZBA Member Skridla to move to the board for approval, second by ZBA Member Spinazzola. Voting yes: ZBA Members Jorgenson, Skridla, Smith, Spinazzola 4-0-0.

3. ZBA 2026-008 Design Review for **Building Improvements located at 10774 Main Street** (PIN: 04-33-332-007).

Applicant Foraged Holdings LLC (Greg & Deanna Osborn)

Hillary Rottmann Zoning Consultant explained that the property- formally the Lucky Lock building. Had just been rezoned the previous evening from CR (Commercial Retail) to MSC (Main Street Core) to better align with the village's vision for a walkable, cohesive Main Street corridor. She outlined that applicants Deanna Osborne and Greg Osborn of Forged Holdings LLC were seeking approval for Phase 1 of their project, which focuses solely on exterior architectural improvements to prepare the building for their new retail business. Hillary describes the proposed changes in detail: the existing garage door on the east elevation would be removed and replaced with windows designed to match the front facade, creating a unified storefront appearance; two black awnings would be installed over the entrances to enhance pedestrian-scale design; a black individual-letter wall sign would be added, subject to the MSC district's 10% wall-area limit; and new downward-facing, full cutoff wall-mounted light fixtures would be installed to prevent light spillover and comply with Main Street lighting standards. She emphasized that all materials and design elements met applicable code requirements and that Phase 2- covering site and sidewalk improvements-would be submitted later for separate review.

Village Attorney Tom Green Swore in Deanna and Greg Osborn 11245 Darby Lane Machesney Park, IL

Greg Osborn explained that Phase 1 of their Forge Home Project was limited to a few straightforward exterior updates: replacing the old garage door with windows, installing the new light fixtures, and adding the two black awnings and wall sign. He said that work was pretty self-explanatory and confirmed that everything Hillary presented was accurate. He also mentioned that he had originally hoped to get approval for all improvements inside the property line, including adding grass and cleaning up the site, but understood that the village was requiring a separate Phase 2 for site and sidewalk work.

Motion was made to move to the board for approval by ZBA Member Spinazzola, second by ZBA Member Jorgenson. Voting yes: Spinazzola, Jorgenson, Smith, Skridla 4-0-0.

OLD BUSINESS

PUBLIC COMMENT (Limited to 3 minutes per speaker)

ADJOURNMENT

ZBA Member asked for a motion to adjourn the meeting.

Motion was made ZBA Member Skridla, second by ZBA Member Spinazzola. Voting yes: Skridla, Smith, Spinazzola, Jorgenson 4-0-0.

Meeting adjourned at 5:47 pm.

Item # 2.

Zoning Board of Appeals Meeting of May 13, 2026**Application No. ZBA 2026-009**

Applicant: Foraged Holdings LLC

Location: 10774 Main Street (04-33-332-007)

Requested Action: Approval of Design Review for Site Improvements

Existing Use: Vacant Commercial

Proposed Use: Retail Sales and Services

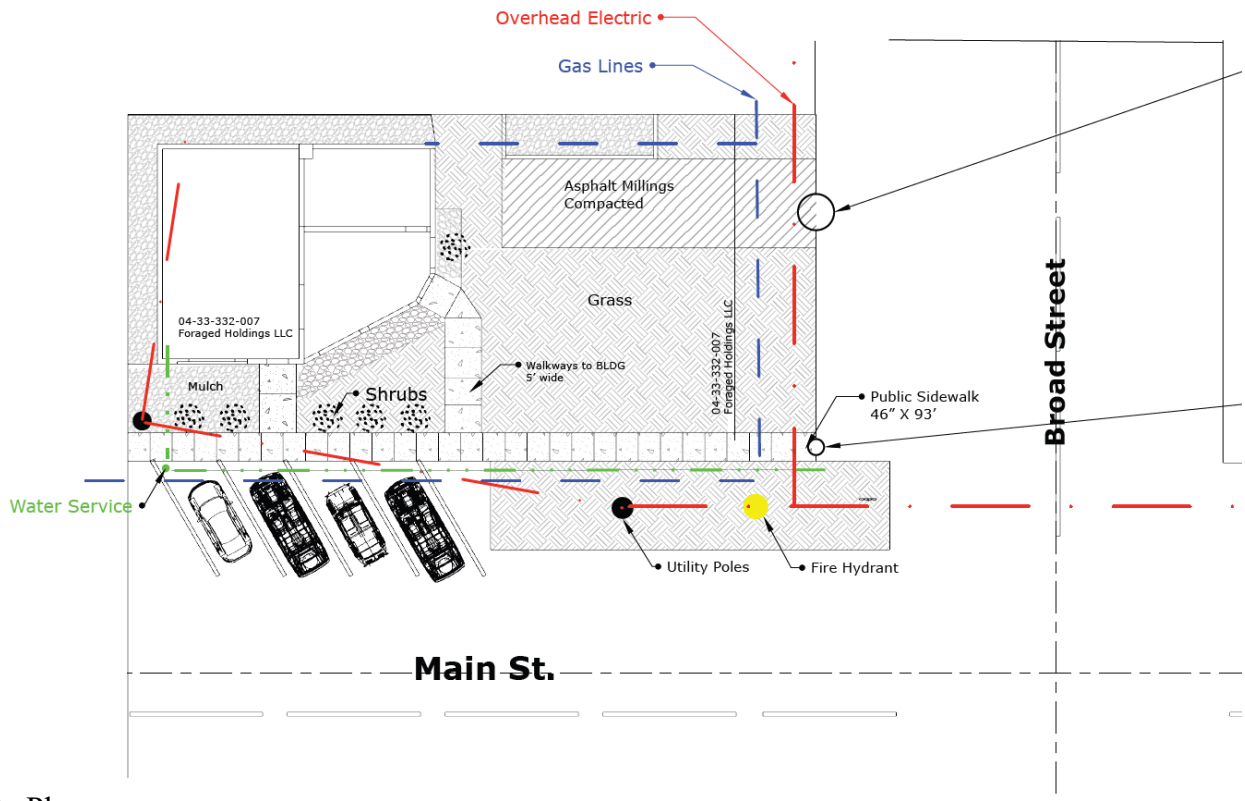
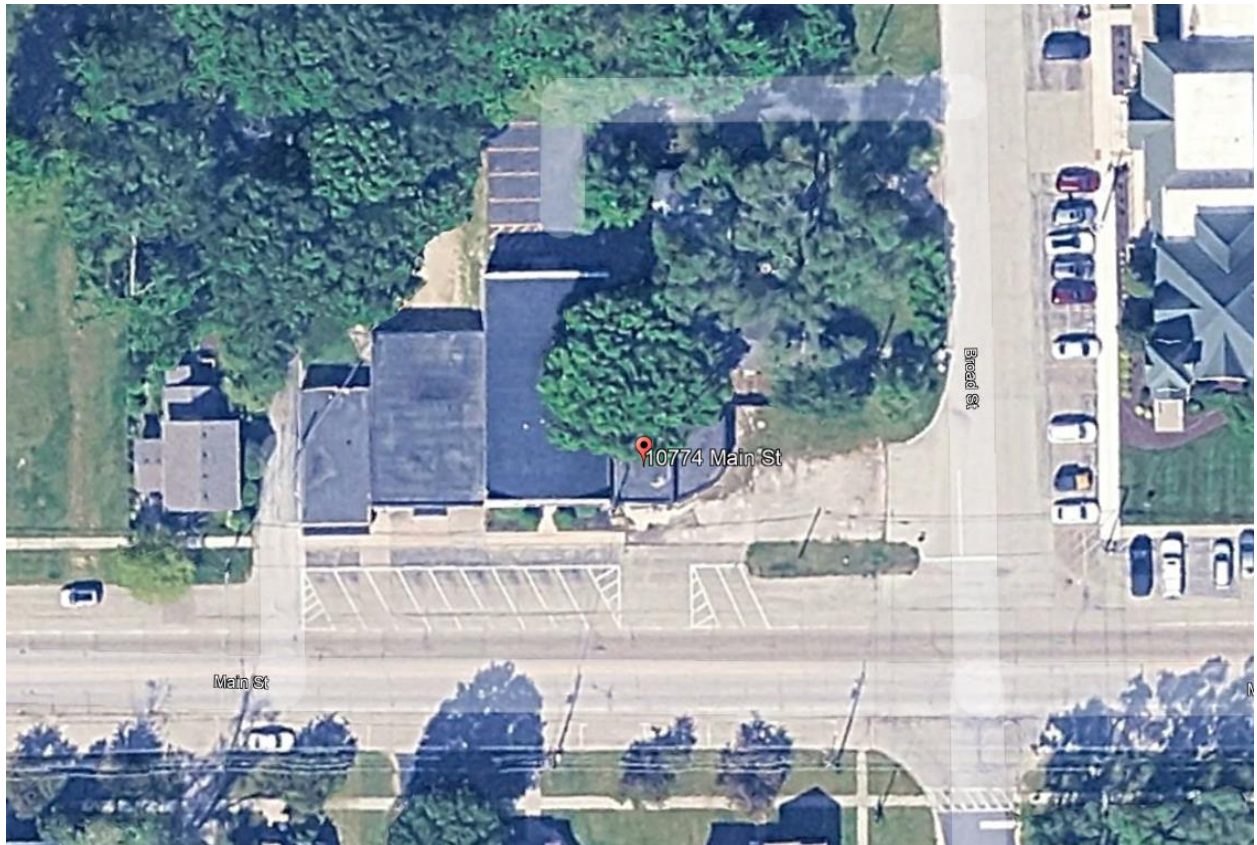
Existing Zoning: MS-C, Main Street-Core, Commercial District

Adjacent Zoning: North: RM, Multi-Family Residential
East: RM, Multi-Family Residential
South: CR, Retail and Service Commercial
West: R1, One-Family Residential

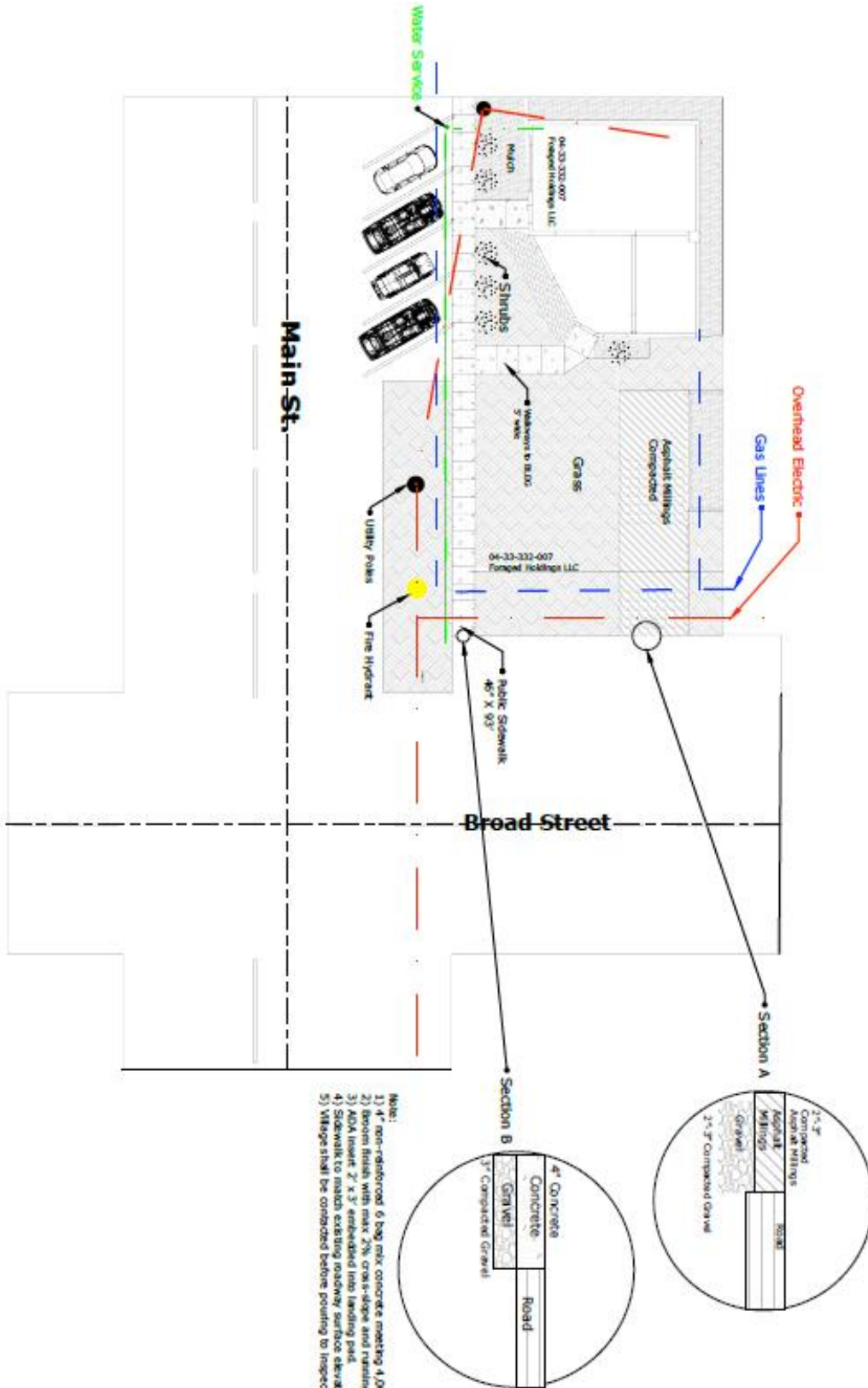
Background: Property was rezoned to from CR, Retail and Service Commercial to MS-C, Main Street Core on April 7, 2026. Design Review for Phase 1 exterior improvements to the building was approved by the Zoning Board of Appeals on April 8, 2026.

Description: The applicant is requesting Design Review and approval for Phase 2 site improvements to the property located at 10774 Main Street for retail sales uses.

Site Design: The subject property, formerly known as Lucky Lock, had its asphalt surface removed by the previous owner before the current owners acquired it. The proposed site improvements include the installation of sod and landscaping where previously paved, as well as the construction of a sidewalk and pedestrian walkways providing access to the building.



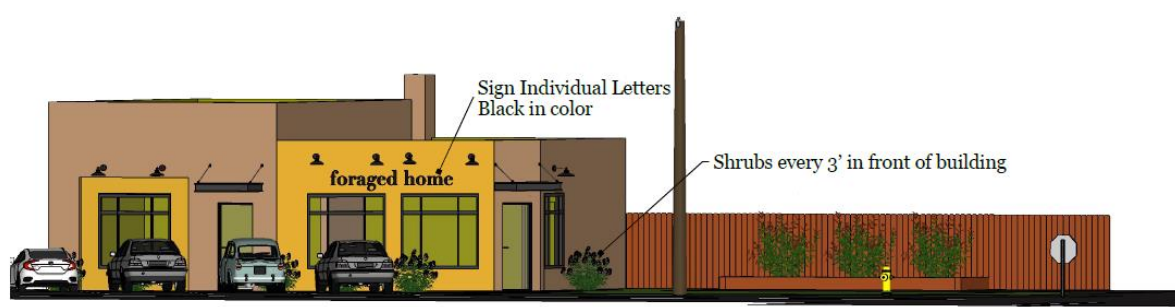
Site Plan



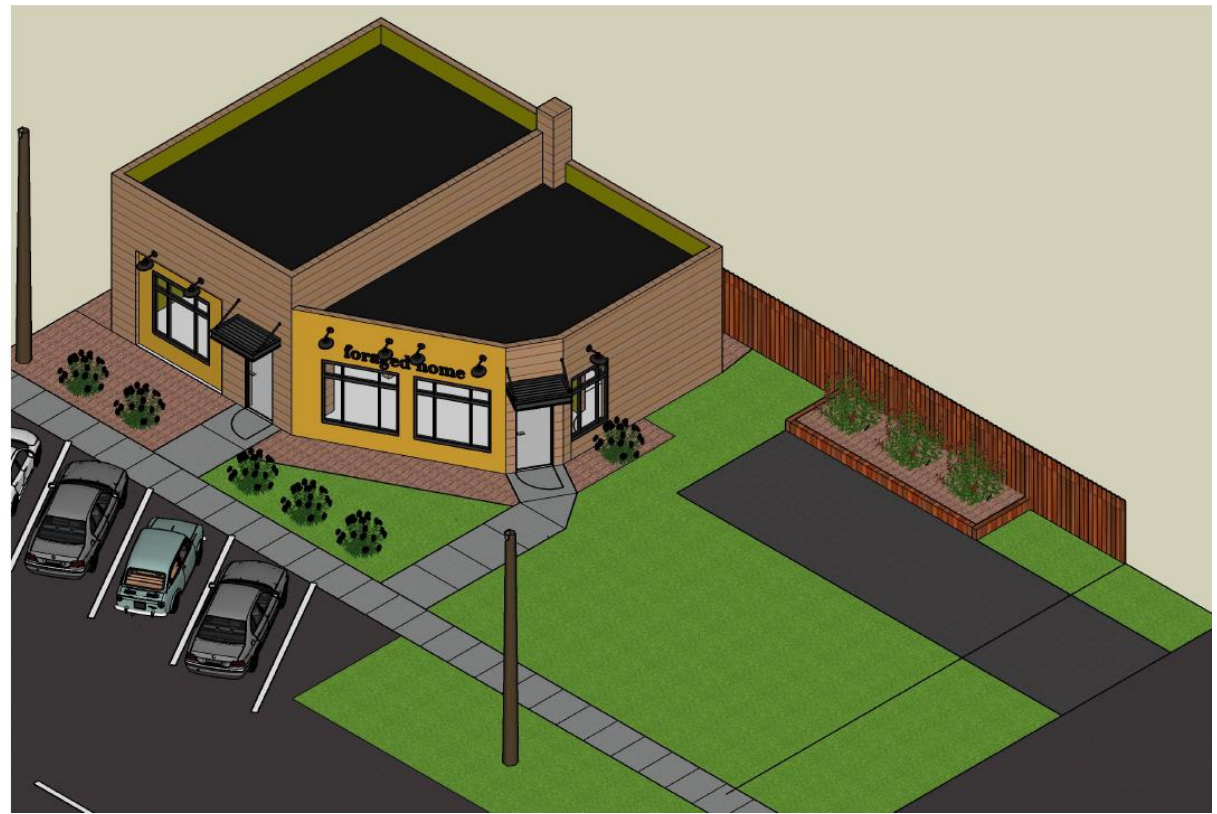
- Note:
- 1) 1" non-reinforced 6 bag mix concrete meeting 4,000 psi minimum compressive strength.
 - 2) 2" non-reinforced 6 bag mix concrete meeting 4,000 psi minimum compressive strength.
 - 3) 2" non-reinforced 6 bag mix concrete meeting 4,000 psi minimum compressive strength.
 - 4) Sidewalk to match existing roadway surface elevation.
 - 5) Village shall be contacted before pouring to inspect.



Site Photos



Front Façade



Site Layout

Development Standards: The proposed development incorporates a clearly defined, accentuated entrance through material projections and a covered entry feature. The primary entrance is oriented towards Main Street, and a 5-foot-wide pedestrian walkway is provided from the Main Street sidewalk.

The applicant will install a sidewalk along the front of the property that abuts Main Street. The property owner will work closely with engineering staff on field coordination during construction to confirm the new sidewalk meets code requirements. The applicant will be responsible for contacting the Village for inspection of all improvements within the public ROW prior to the work taking place.

There is also a proposed asphalt milling pad with access to and from the site via Broad Street. The pad is intended to function as a flexible, multipurpose area supporting outdoor displays, retail sales activities, and occasional food truck operations. This feature is designed to enhance outdoor activation of the site, and is compatible but subordinate to the primary use of the site. Based on the submitted plans, the proposed improvements are consistent with applicable code requirements and design standards.

Parking Requirements: Non-residential uses over 3,000 square feet in area are required to provide 1 space per 500 square feet of building in the MS-C district. The subject property contains a one-story commercial building totaling approximately 1,058 square feet. Therefore, the subject property is exempt from off-street parking requirements; on-street parking is available on Main and Broad Street.

Landscaping: Parkway trees and associated plantings are required to meet applicable regulations and establish a consistent streetscape. For lots under 30,000 square feet (the subject property is 3,484.8 square feet), landscaping must include a minimum of one canopy tree or large evergreen for every 50 linear feet of street frontage, along with one shrub or tall grass for every 10 linear feet. Based on the property's frontage, this results in a requirement of one canopy tree or large evergreen and approximately 13 shrubs or tall grasses to comply with code.

In addition, at least 50 percent of the building foundation must be landscaped with plantings or other features, provided at a ratio of one tree or shrub every three feet, or one medium-sized evergreen every eight feet. The applicant also proposes installing additional landscaping along the rear property line adjacent to the existing wood fence, further enhancing site buffering.

Design Review Procedure: Design Review evaluates and approves the design of proposed buildings or development projects to ensure they comply with established design standards and zoning requirements. Under Section 15-776 of the Zoning Ordinance, all land development and construction of nonresidential projects are required to undergo design review approval. The Zoning Board of Appeals (ZBA) is responsible for either approving, disapproving, or requesting revisions to the proposed development. A concurring vote of at least four ZBA members is necessary to grant or deny the application.

Staff Recommendation: Staff recommends approval of the Design Review for site improvements to the subject property located within the MS-C, Main Street Core zoning district at 10774 Main Street, subject to the following conditions:

1. The applicant shall install the materials that have been reviewed and approved by the Zoning Board of Appeals.
2. Previously approved conditions shall remain in full force.
3. Utility locates must be completed before any site work or construction begins and shall be adjusted if underground utilities are identified. Coordination with utility agencies shall be the applicant's responsibility.
4. The applicant shall be responsible for contacting the Village for inspection of all improvements within the public ROW prior to the construction taking place, including but not limited to sidewalk improvements, pavement striping, and utility work.
5. Traffic control shall be required throughout the duration of construction and shall follow IDOT Specifications and Village code requirements.

6. The development shall meet all applicable landscaping requirements. A minimum of one canopy tree or large evergreen and approximately 13 shrubs or tall grasses shall be provided along the street frontage. At least 50 percent of the building foundation shall include landscaping per code.
7. The asphalt milling pad shall be used only as an accessory to the primary retail business and shall not operate as a standalone use. Activities on the pad must coincide with and remain subordinate to indoor operations. The area is prohibited from use as general customer or staff parking.
8. The Applicant and/or its contractor shall obtain all required permits, including any Building Permits and Right-of-Way Construction and Repair Permits, before the commencement of construction activities.



10631 MAIN STREET, P.O. BOX 283, ROSCOE IL 61073
 PHONE: 815-623-2829 FAX: 815-623-1360 EMAIL: permits@roscoeil.gov

DESIGN REVIEW

What Requires Design Review Approval?

Design Review approval from the Zoning Board of Appeals (ZBA) is required before a permit may be issued for:

- All nonresidential developments requiring a village permit.
- New buildings with four or more dwelling units.
- Any exterior alteration, enlargement, or major remodeling of structures in Commercial or Industrial districts.
- All projects subject to site plan, elevation, landscape, lighting, or signage review.

Design Review Submission and Approval Requirements

- To be placed on a Zoning Board of Appeals agenda, Design Review submittals must be received at least one month in advance of the meeting.
- Applicants should anticipate design review to take at least 5 weeks.
- No zoning or building permit will be issued without prior ZBA approval.

Design Review Process

Schedule a pre-application conference with the Zoning Administrator.

Contact: 815-623-2829.



Submit a complete Design Review Application, including all required documents, to the Village by the application deadline.



The Zoning Administrator reviews submitted application and prepares a staff report for the ZBA meeting.



The application is reviewed at the next scheduled ZBA meeting.



ZBA File # _____

Item # 3.

**APPLICATION FOR DEVELOPMENT APPROVAL:
DESIGN REVIEW AND APPROVAL**

This form is to be used for all Design Review applications to be heard by the Village of Roscoe. **Failure to complete this form properly will delay its consideration.**

PART I. GENERAL INFORMATION

A. Project Information

- 1. Project/Owner Name: 10774 Main/ Foraged Holdings LLC (Greg and Deanna Osborn)
- 2. Project Location: 10774 Main St Roscoe, IL 61073
- 3. Brief Project Description:
Revamp corner lot with grass, hardscaping pad, landscaping plants and mulch, sidewalks and walkways to building.
- 4. Project Property Legal Description:
04-33-332-007

5. Project Property Size in Acres and Square Feet: .08 acres / 3,608 sq ft.

B. Owner Information

- 1. Signature: [Redacted]
- 2. Name: Foraged Holdings LLC (Greg and Deanna Osborn)
- 3. Address: 11245 Yarby Ln Machesney Park IL 61115
- 4. Phone Number: [Redacted] Fax: _____ Email: [Redacted]

C. Agent Information (Designation of an agent to act on behalf of the owner is optional.)

- 1. Signature: _____
- 2. Name: _____
- 3. Address: _____
- 4. Phone Number: _____ Fax: _____ Email: _____

Official Use Only					
ZBA Pre-App Date	_____	ZBA Date(s)	_____	Zoning District	_____
App Date	_____	CA Date(s)	_____	Com Date(s)	_____
ZBA	Approved _____	Approved with conditions	_____	Denied	_____
CA	Approved _____	Approved with conditions	_____	Denied	_____

PART II. APPLICATION REQUIREMENTS

The materials required to be included with an application for a Design Review are the minimum necessary to submit a complete application. Village staff, consultants, review agencies, commissions, and boards may require additional materials as necessary to fully evaluate the proposed project. A pre-application conference with Village staff is required. At the meeting, the ZBA may add or delete items from this list as they deem appropriate. All information, including this application form, must be submitted electronically in either a PDF or Word format to the email address noted below the table. If the combined file size exceeds 10MB, a Dropbox or zip file must be used.

Official Use Only

Item #(a)	Application Material	Initial Application		Revisions		Second Set of Revisions	
		Required Materials	# Copies Received	# Copies Required	# Copies Received	# Copies Required	# Copies Received
1.	Completed Development Application	X					
2.	Project Narrative	X					
3.	Basic Application Fee	X					
4.	Agreement for Reimbursement of Professional Consulting Fees	X					
5.	Proof of Ownership	X					
6.	Agent Affidavit	X					
7.	Property Owners within 250 feet	X					
8.	General Location Map	X					
9.	Survey / Legal Description (To include: easements, covenants, and any other restrictions on property)	X					
10.	Site Plan (To include: landscape plan, parking plan, common spaces, etc.)	X					
11.	Building Elevations	X					
12.	Floor Plans	X					
13.	Roof Plan	X					
14.	Color Rendering	X					
15.	Photographs of Existing Property and Area	X					
16.	Village Utility Impact Calculations and Report*	*					
17.	Preliminary Utility Improvement Plans*	*					
18.	Utility Letters*	*					
19.	Traffic Study*	*					
20.	IDOT Permit for Work*	*					
21.	Professional economic analysis*	*					

*= if Village staff deems necessary for analysis and approval.

Submit all of the above electronically to: permits@villageofroscoe.com.

If you have any questions, please contact the Village Hall at 815-623-2829.

PART III. SITE DATA TABLE

Please fill in the following table with information about the site.

	<u>Existing</u>	<u>Proposed</u>
<u>Lot Size</u>	44' x 82'	44' x 82'
<u>Lot Coverage</u> (List as both a square footage and a percentage) This includes all buildings and structures located on a lot.	existing building covers 1054 sq ft and 30% of property.	no change
<u>Front Yard Setback</u>	10'	no change
<u>Side Yard Setbacks</u>	4' south 40' north	no change
<u>Rear Yard Setback</u>	4'	no change
<u>Height of Tallest Structure</u>	14 foot	no change
<u>Number of Dwelling (for residential projects)</u>		
<u>Total Building Area by Floor (for non-residential projects)</u>	1054 sq ft	no change

<u>Total Number of Parking Spaces Enclosed and Surface</u>	2 in front of building	4 in front of building
<u>Number of Parking Spaces per Unit (for residential projects)</u>		
<u>Number of Parking Spaces per 1,000 sq. ft. of Building Area (for non-residential projects)</u>	2 in front of building	4 in front of building

PART IV. JUSTIFICATION OF THE PROPOSED DESIGN REVIEW

Please answer all questions, but be concise and brief in your answers. If additional pages are needed to complete your answers, please be sure to include the appropriate and complete question number for each response. **Applicants are encouraged to refer to drawings or other application materials as necessary to add clarity to their answers.**

1. How are the plans, designs, and/or proposals for the proposed Design Review in harmony with the purposes, goals, objectives, policies and standards of the Village of Roscoe Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The plans create a finished landscaped lot in accordance with the Main street Core vision set forth by the Village of Roscoe.

2. How does the proposed Design Review provide reasonable visual and auditory privacy for all dwelling units located within and adjacent to the site?

The proposed design creates a visually appealing space for the NorthWest corner lot of Main St and Broad St.

3. How are fences, walls, barriers and/or landscaping arranged in the proposed Design Review to protect and enhance the property and to enhance the privacy of on-site and neighboring occupants?

There is a privacy fence along the west side of the property that will protect the privacy of residential neighbors.

-
4. How is the proposed Design Review designed and arranged to have a minimal negative impact on the use and enjoyment of adjoining property?

There is no impact to the adjoining properties. The changes are surrounded by Main St and Broad St. There are no adjoining properties on the west and north sides of property affected by changes.

5. How are all of the elements of the proposed Design Review designed and arranged so that they exist harmoniously with nearby existing and anticipated development? Elements to consider include: buildings, outdoor storage areas and equipment, utility structures, building and paving coverage, landscaping, lighting, glare, dust, signage, views, noise, and odors.

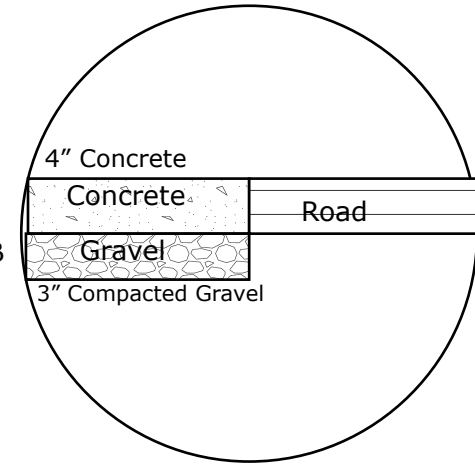
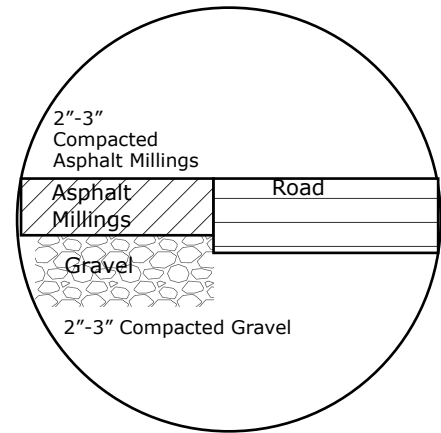
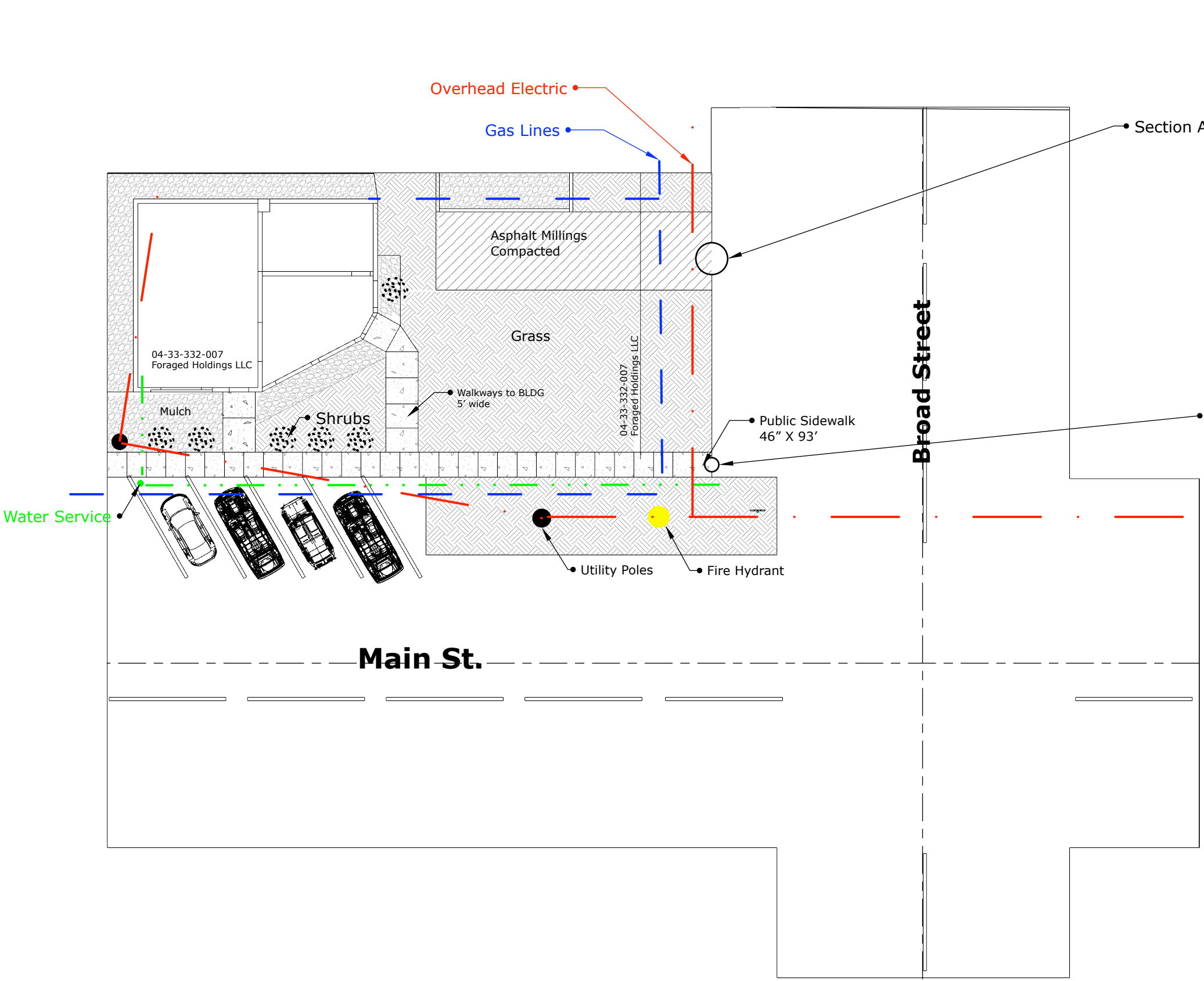
The changes will be arranged to have minimal impact. The sidewalk will allow for easier pedestrian access along Main St and the lighting will be down lighting on building. No accessory buildings are in this plan.

-
6. How are noxious emissions or conditions not typical of land uses in the underlying zoning district associated with the proposed Design Review effectively confined so as not to be injurious or detrimental to nearby properties?

No non-typical land uses are proposed in this plan.

-
7. Are there any uses that need to be permitted by exception? Are they necessary or desirable and appropriate with respect to the primary purpose of the development and not of such a nature, or so located, as to exercise a detrimental influence on the surrounding neighborhood? Explain.

N/A



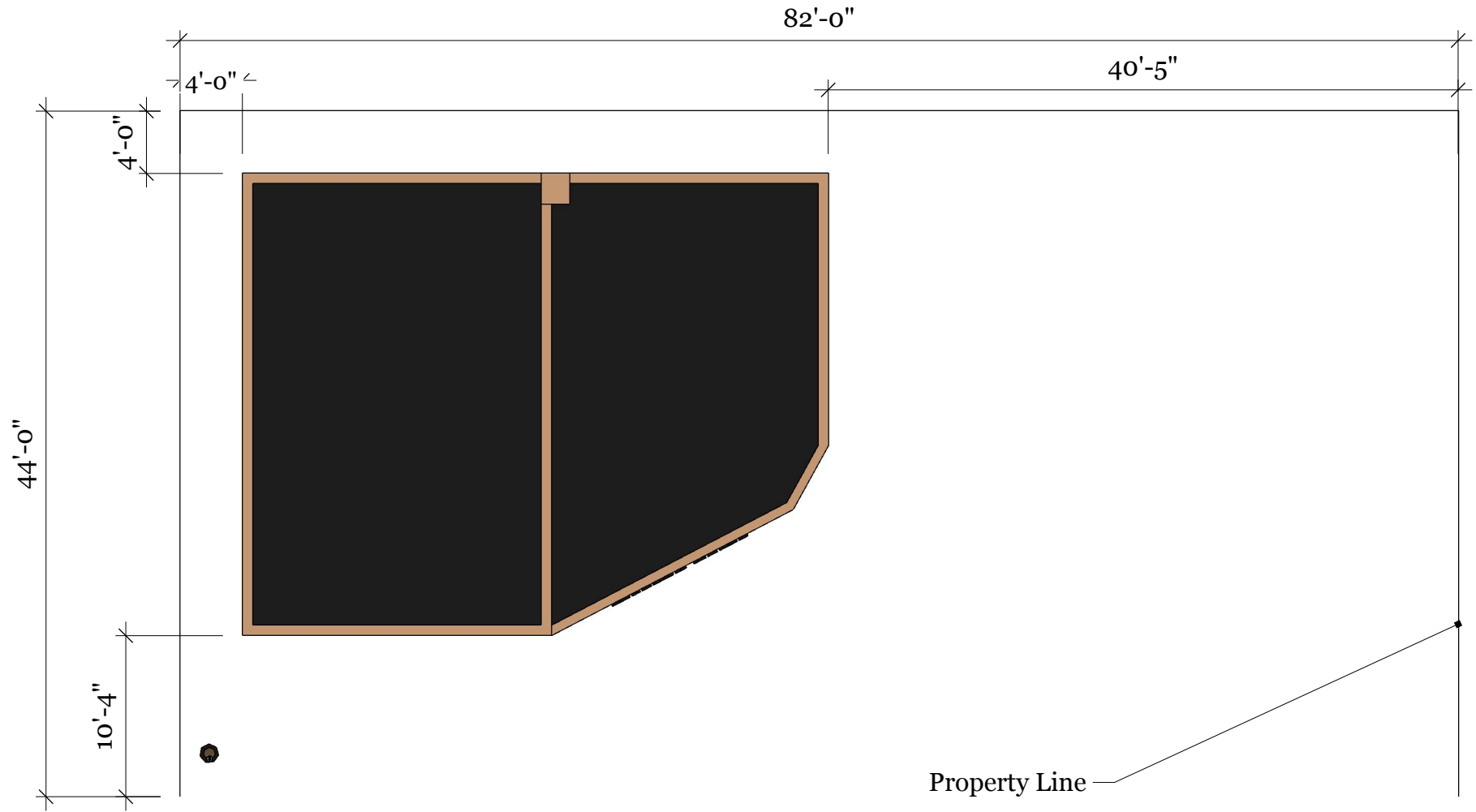
- Note:
- 1) 4" non-reinforced 6 bag mix concrete meeting 4,000 psi minimum compressive strength.
 - 2) Broom finish with max 2% cross-slope and running slope of less than 5%.
 - 3) ADA insert 2' x 3' embedded into landing pad.
 - 4) Sidewalk to match existing roadway surface elevation.
 - 5) Village shall be contacted before pouring to inspect.



ISO Property View
Scale: 1" = 10'

10774 Main St Roscoe, IL 61073

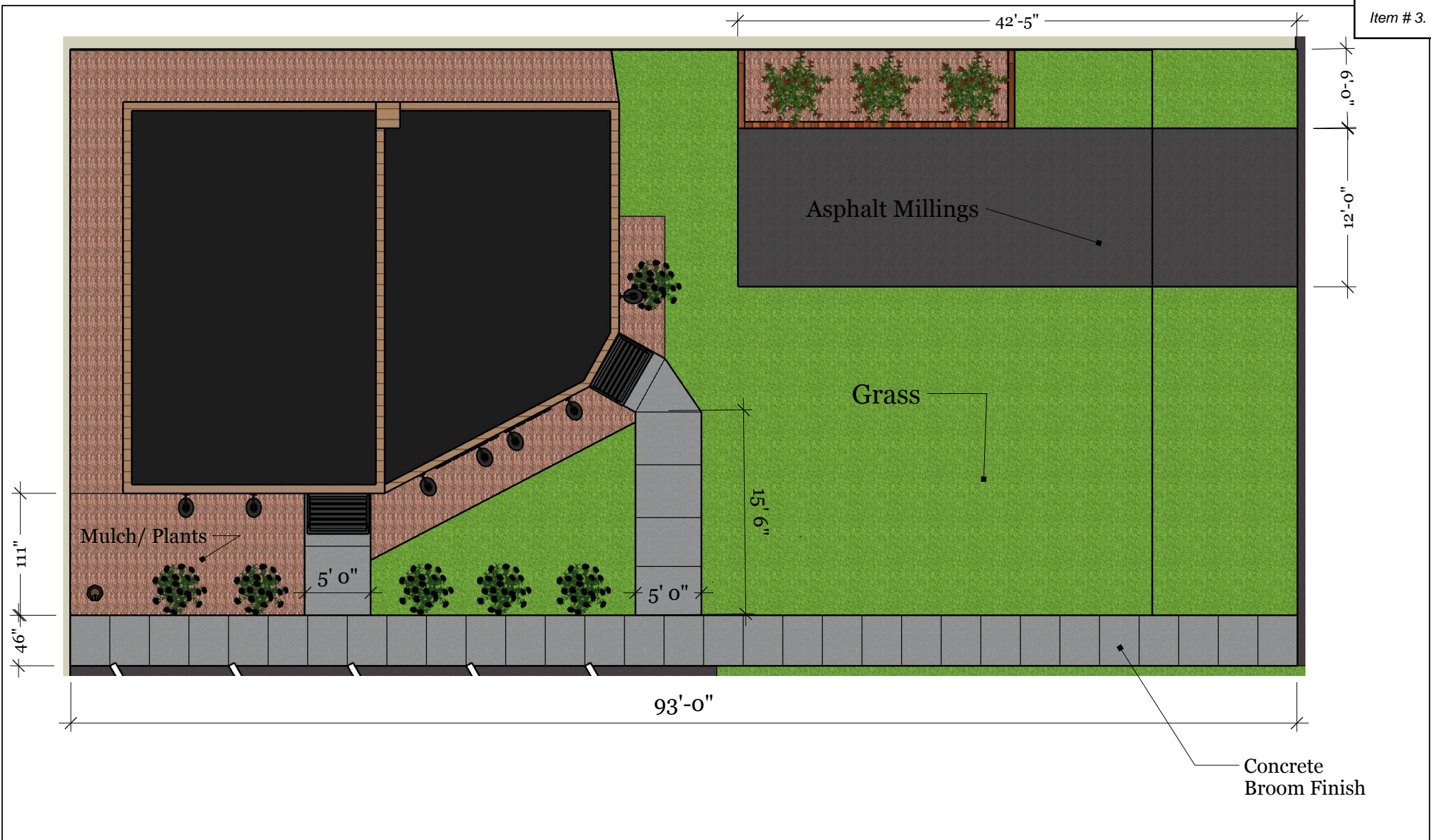
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Property Line Set Backs
 Scale: 1" = 10'

10774 Main St Roscoe, IL 61073

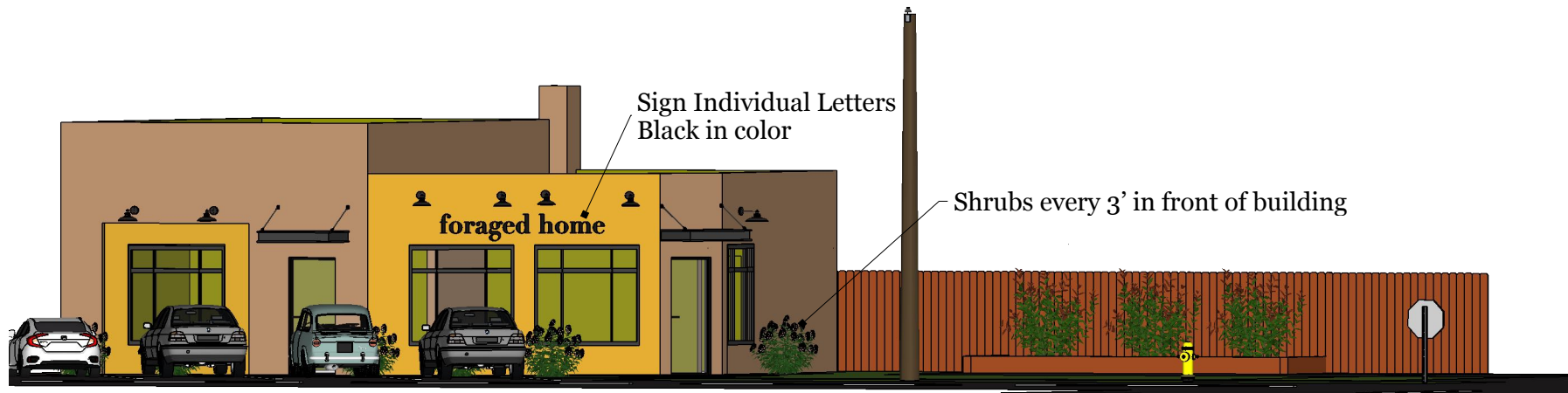
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Top View
Walkways and Landscaping
Scale 1"=10'

10774 Main St Roscoe, IL 61073

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Angked Front Elevation
Scale: 1"=10'

10774 Main St Roscoe, IL 61073

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