



# Meeting Agenda

**Location:**

Village Hall -  
10631 Main Street  
Roscoe, IL 61073

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**Zoning Board of Appeals**  
Wednesday, August 12, 2026  
5:30 PM

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**CALL TO ORDER**

**ROLL CALL**

**APPROVAL OF MINUTES**

- 1. Approval of the Minutes** for the meeting of the Zoning Board of Appeals from **July 8, 2026**.

**NEW BUSINESS**

- 2. ZBA 2026-012: Public Hearing and Recommendation for approval of a Planned Unit Development (PUD) General Development Plan (GDP) and Specific Implementation Plan (SIP)** for the property commonly known as **13750 Metric Road (PIN: 04-16-326-003)**

Applicant Wayne Lensing

**OLD BUSINESS**

**PUBLIC COMMENT (Limited to 3 minutes per speaker)**

**ADJOURNMENT**



# Meeting Minutes

## Location:

Village Hall -  
10631 Main Street  
Roscoe, IL 61073

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## Zoning Board of Appeals

Wednesday, July 08, 2026  
5:30 PM

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### CALL TO ORDER

ZBA Chairman Butera called the meeting to order at 5:30 pm.

### ROLL CALL

#### PRESENT

Chairman Richard Butera  
Member Laura Baluch  
Member Carla Jorgenson  
Member Brooke Schlichting  
Member Teresa Skridla  
Member Melissa Smith  
Member Daniel Spinazzola

Village Attorney Tom Green

Village Clerk Kimberly Garza

Zoning Consultant Hillary Rottmann

Chief of Fire Jay Alms

### APPROVAL OF MINUTES

- 1. Approval of the Minutes** for the meeting of the Zoning Board of Appeals from **June 10, 2026.**

ZBA Chairman Butera asked for a motion for the approval of the mins.

Motion was made by ZBA Member Schlichting, second by ZBA Member Jorgenson. Voting yes: Jorgenson, Smith, Butera, Baluch, Schlichting, Skridla, Spinnazola 7-0-0.

### NEW BUSINESS

- 2. ZBA 2026-011: Design Review for a 440 SF Deck Addition with ADA Accessible Ramp located at 11087 Main Street (PIN: 04-33-251-002).**

Applicant CB Main LLC (Chris Rini)

Hillary Rottmann Zoning Consultant presented the application for the (CB Main LLC) Roscoe Chiropractic Centre, building and enhance the functionality of the existing rear entrance. She noted that the property was recently rezoned to the Main Street Core (MC) District, which does not require minimum side yard setbacks, and confirmed that the proposed improvements comply with the applicable zoning requirements. The applicant submitted renderings of the proposed exterior alterations for review. The Engineering Department's only comment was that pavement striping should be incorporated into the rear parking lot as part of the project. Hillary explained that the Design Review process evaluates and approves the proposed exterior design, while the Zoning Board of Appeals (ZBA) is responsible for approving the requested permissions, which requires a minimum of four affirmative votes. Staff recommended approval of the design review for the exterior alterations at 11087 Main Street, subject to the following conditions: the applicant shall install all materials as reviewed and approved by the ZBA, obtain all required building permits, and install pavement striping in the parking lot in accordance with all applicable city ordinances and design standards.

Charman Butera asked for a motion for approval.

Motion was made by ZBA Member Skridla, second by ZBA Member Baluch. Voting yes: Baluch, Schlichting, Jorgenson, Skridla, Spinazzola, Smith, Butera 7-0-0.

## OLD BUSINESS

3. ZBA 2026-010: **Withdrawal of Application** Notification that the applicant, Capo Construction LLC (Ken Salah), and owner, Jon Chapman have withdrawn the request for a Planned Unit Development (PUD) General Development Plan (GDP) for property located at 5745 McDonald Road. - **No further action required.**

ZBA Chairman Butera states a letter was written to the ZBA Board from Ken Salah, also known as Capo Constructions. He is withdrawing his application for a Planned Unit Development (PUD), General Development plan (GDP). for the approval for a portion of the property commonly known as 5745 McDonald Road.

No further action required.

## PUBLIC COMMENT (Limited to 3 minutes per speaker)

No Public Comment.

## ADJOURNMENT

ZBA Chairman Butera asked for a motion to adjourn the meeting.

Motion was made by ZBA Member Baluch, second by ZBA Member Skridla. Voting yes: Schlichting, Jorgenson, Baluch, Smith, Spinnazola, Butera, Skridla 7-0-0.

Meeting adjourned at 5:38pm.

**Zoning Board of Appeals Meeting of August 12, 2026**

**Application No. PUD-2026-012 GDP & SIP**

**Applicant:** Wayne Lensing

**Location:** 13750 Metric Road (04-16-326-003)

**Requested Actions:** PUD, Planned Unit Development for the construction of a new building to expand the existing museum use.

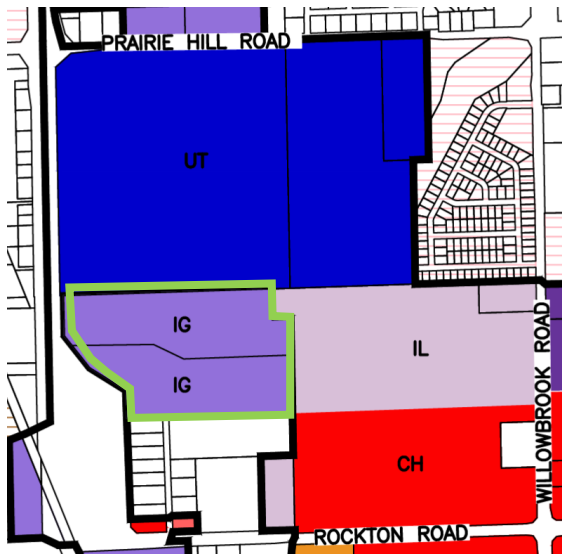
**Existing Use:** Self-Storage, Museum, and Retail Sales

**Proposed Use:** Self-Storage, Museum, and Retail Sales

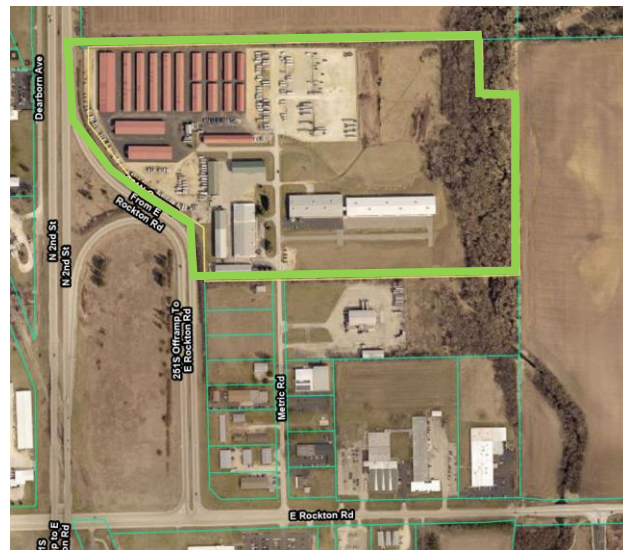
**Existing Zoning:** IG (General Industrial)

**Adjacent Zoning:** North: UT (Urban Transitional)  
East: IL (Light Industrial)  
South: IL (Light Industrial Winnebago County)  
West: Access ramps to and from Route 251

Current Zoning Map



Location Map



**Background:** The subject property was originally developed in unincorporated Winnebago County and was annexed into the Village in 2021. The site contains multiple existing buildings and a mix of uses, including self-storage, museum, and retail sales. These uses were established before annexation.

As part of the annexation process, a map amendment was approved zoning the property IG, General Industrial, along with a Special Use Permit to allow for the continuation and expansion of the existing self-storage and auto museum uses. Additionally, a variance was granted from the requirement to install curb and gutter on site as part of parking lot design standards. The agreement also required the dedication of right-of-way and the construction of a cul-de-sac at the end of Metric Drive.

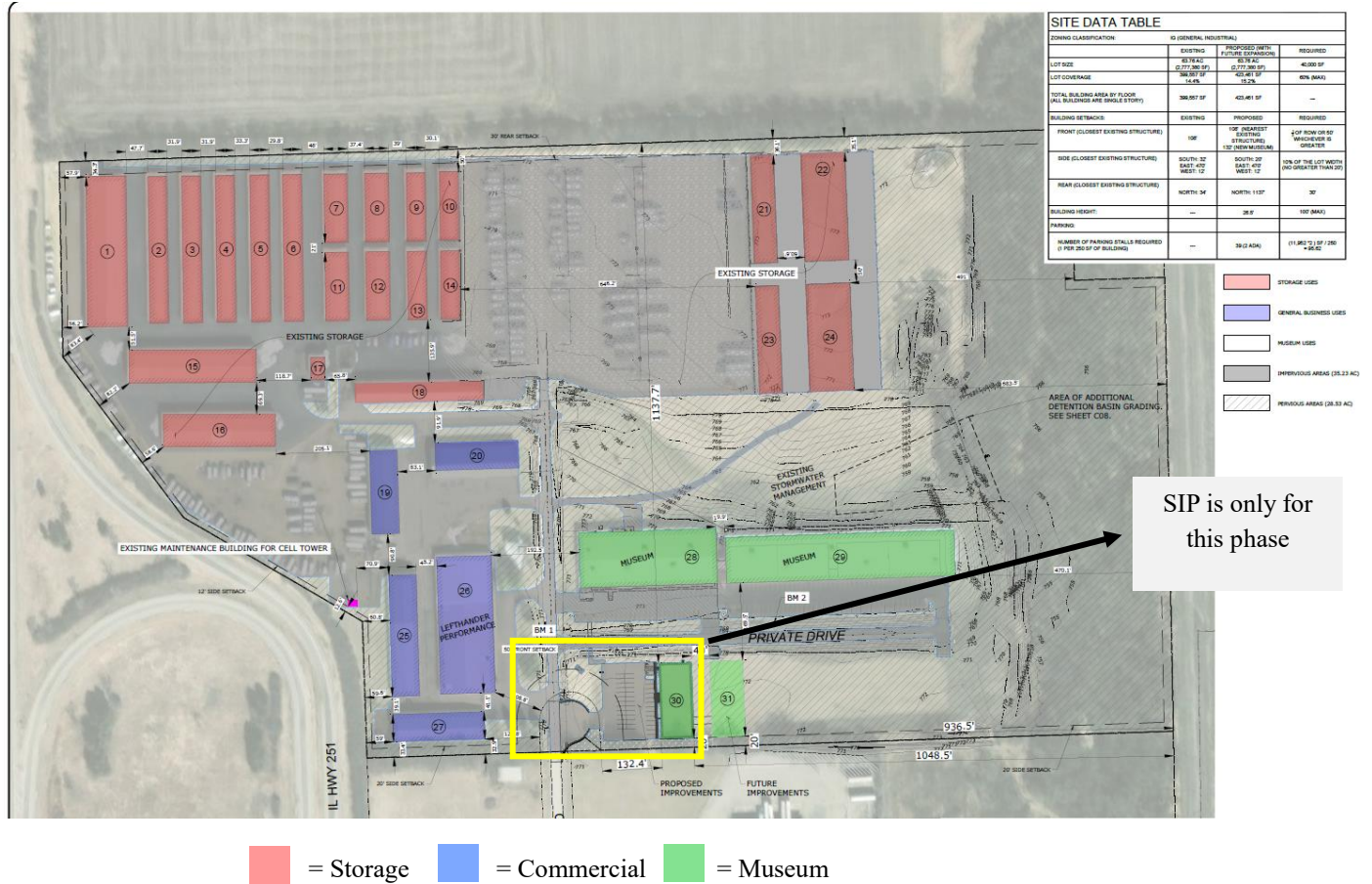
On April 8, 2026, the applicant received Design Review approval for the construction of an 11,952-square-foot building to house a fire truck exhibit, along with associated site improvements for the additional museum building. Following approval, the applicant requested modifications to the approved plans that include deviations from the requirements of the current Zoning Ordinance.

To accommodate the proposed deviations and establish a comprehensive zoning framework for the property moving forward, a Planned Unit Development (PUD) is being established. The PUD will establish a site-specific development plan governing future development on the property while recognizing the existing site configuration and uses. There are no proposed changes to the existing land uses. The SIP/Design Review associated with this application is limited to the proposed new museum building, associated site improvements, and the requested deviations from the Zoning Ordinance.

**Zoning:** The subject property is currently zoned IG, General Industrial. This district is intended to accommodate manufacturing and industrial uses. Through the proposed GDP rezoning, the property will establish a customized GDP and use the IG zoning district as the comparable district under the Planned Unit Development.

**Permitted Uses:** Section 15-460 of the Village of Roscoe Zoning Ordinance lists the permitted, special, and accessory uses of the IG, General Industrial zoning district.

## Concept Plan / General Development Plan (GDP)

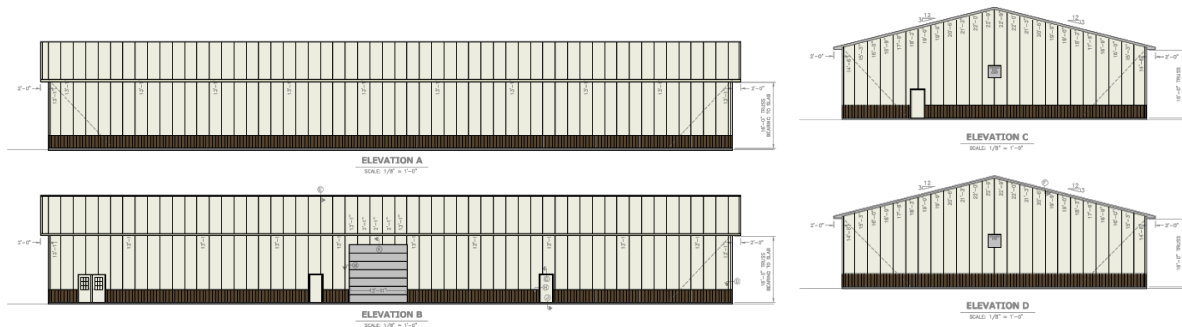


The subject property currently contains 29 buildings. The applicant is proposing the construction of Building 30, which will serve as a Fire Truck Museum. The General Development Plan (GDP) also identifies a future Building 31, located behind Building 30, as a planned museum addition. Building 31 is not included in the current Specific Implementation Plan (SIP) request.

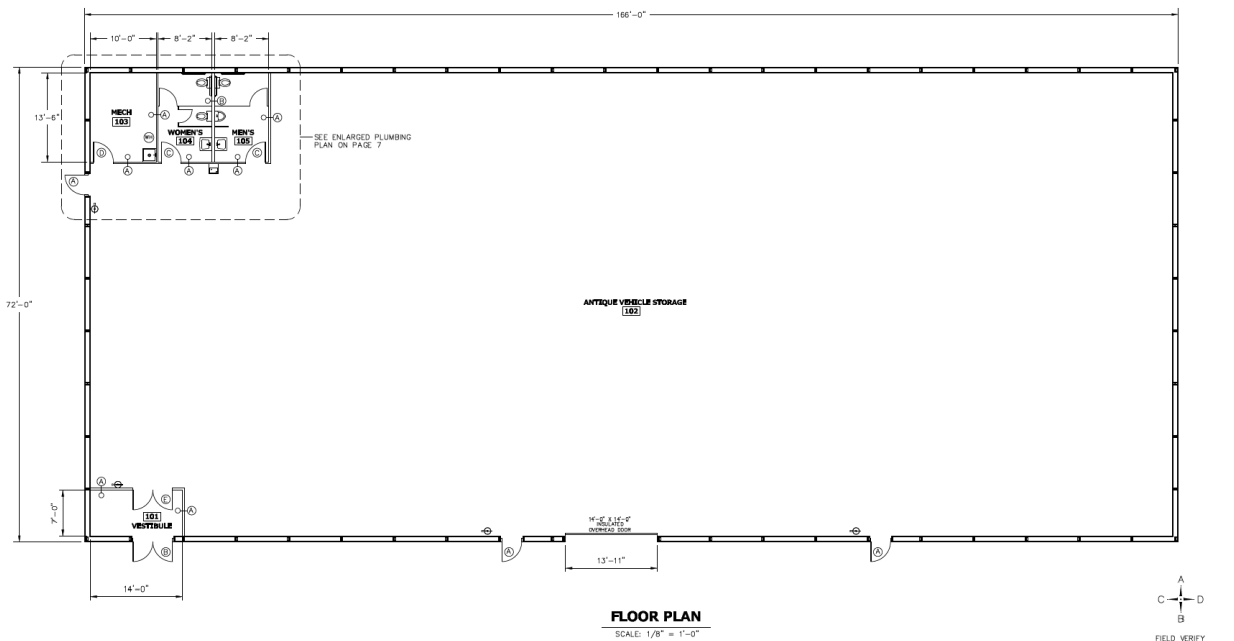
### Specific Implementation Plan (SIP)

Much of the information presented in this section was previously reviewed by the Zoning Board of Appeals at its April 8 meeting. Any modifications made after that review are identified and noted throughout this section.

**Building Design (no change):** The proposed elevations indicate that the exterior will feature Max-Rib II steel panel siding in a light stone color, accented by a 3-foot steel wainscot trim in Tudor Brown, and will be constructed on a concrete slab. The color palette is designed to complement and align with the existing museum's aesthetic. The building's location meets the IG zoning setback requirements and complies with height regulations, as the proposed height of 26.5 feet is well below the maximum allowed.



Building Elevations



Floor Plan

**Lighting (no change):** A photometric plan has been provided demonstrating that the proposed improvements meet the ordinance lighting standards for footcandle levels, mounting height, location, and color temperature of fixtures.

**Bulk Dimensions (no change):** Section 15-459 of the Village of Roscoe Zoning Ordinance provides the bulk dimensions for the IG district. The applicant has not requested any deviations from the General Industrial Bulk Dimensional Standards.

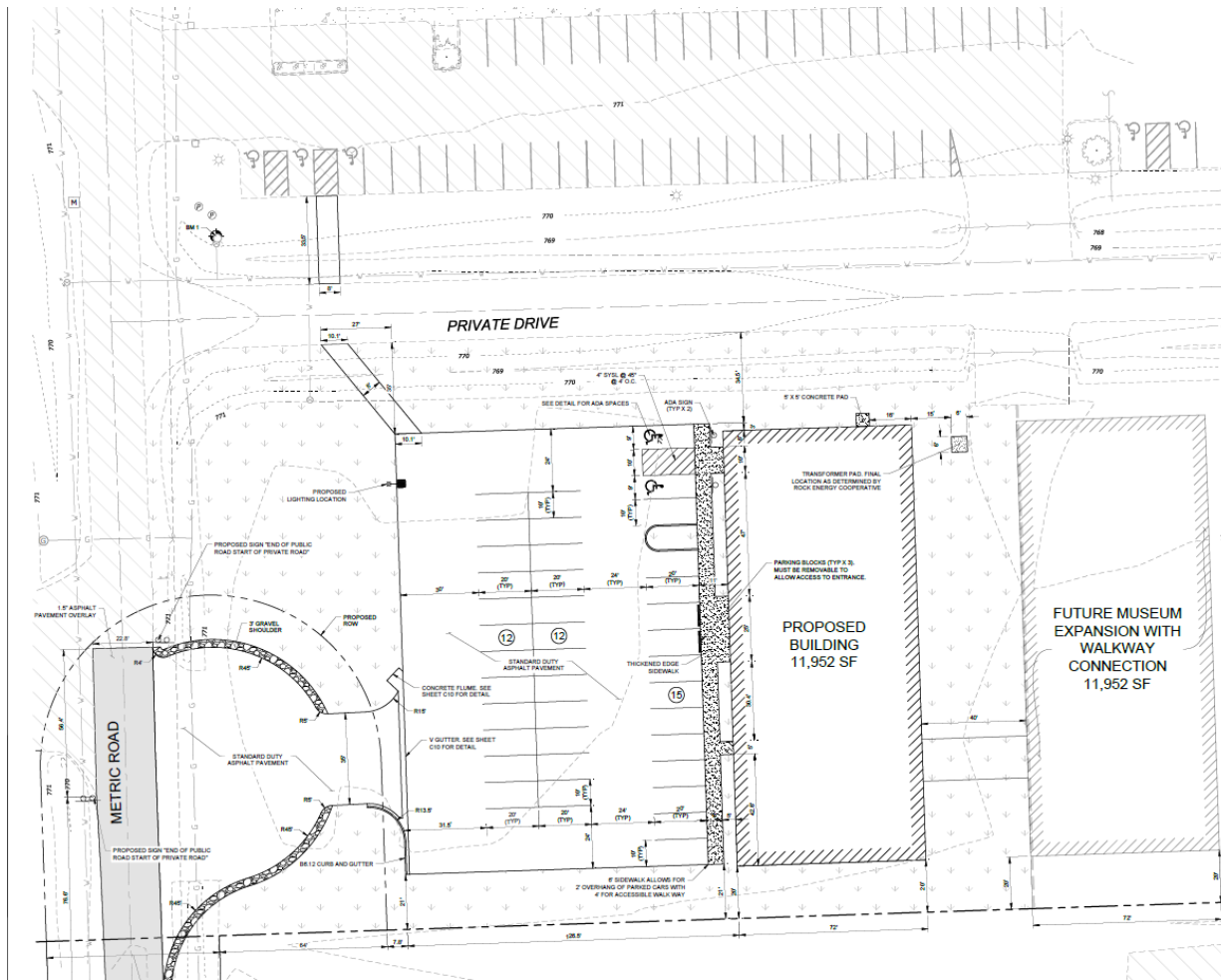
| Lot Requirements     |                                                 |                 |
|----------------------|-------------------------------------------------|-----------------|
|                      | Village Standards IG                            | Proposed        |
| Min. Site Area       | 40,000 sf                                       | 2,777,380 sf    |
| Min. Lot Width       | 120'                                            | +/- 1781.08 ft  |
| Min. Depth           | 150'                                            | +/- 1,332.74 ft |
| Max. Building Height | 100'                                            | 35'             |
| Max Lot Coverage     | 60%                                             | 15.2 %          |
| Front Yard           | ½ of ROW or 50 ft.,<br>whichever is greater (1) | 50 ft           |
| Side Yard            | 10% of the lot width (2)                        | 20 ft           |
| Rear                 | 30'                                             | 34 ft           |

**Parking Lot Design and Layout:** Access to the site will be provided from Metric Road and a new dedicated cul-de-sac, in compliance with the annexation agreement. Wheel guards are required for parking spaces adjacent to sidewalks, pedestrian circulation areas, or landscape areas so that no part of a parked vehicle will encroach, but are not required for interior stalls. The applicant has asked to thicken the sidewalk along the front facade of the building instead of providing wheel stops. Engineering has agreed that this meets the intent of the code.

The proposed parking lot will be surfaced with asphalt, and the parking stall dimensions and drive aisles comply with the Zoning Ordinance. The parking stall width has been increased from 9.5 feet to 10 feet, and the drive aisles range from 24 feet to 31 feet in width, meeting and exceeding applicable code requirements. The reduction in paved area and corresponding increase in setback areas do not create any zoning compliance issues and are consistent with the requirements of the Code.

Pavement surface striping should define each parking space, and shall be a minimum of four inches in width from the length of each space. Striping for each parking space shall be painted yellow or white. Thermoplastic pavement markings are an acceptable alternative. A 5-foot-wide concrete pedestrian access has been added from the existing Museum parking lot to the new proposed parking lot to improve on-site circulation.

Section 15-619 of the Zoning Code regulates off-street parking requirements. Museum land uses require one off-street parking stall per 250 square feet of building. Based on the size of the proposed building, 48 off-street parking spaces are required. The proposed site plan provides 38 parking spaces, including two ADA-compliant accessible spaces. The applicant stated the combination of the existing parking available throughout the site and the 38 spaces proposed for the museum will provide adequate parking to accommodate the anticipated demand for the addition.



Proposed Site Plan

**Landscaping:** The applicant has provided 198 linear feet of landscaping along the building façade, covering 83% of its length and exceeding the 80% minimum requirement. The landscaping includes a mix of trees, shrubs, native grasses, and groundcover. Perimeter landscaping along the parking lot edge, which is required to be at least seven feet wide, is met by clustering shrubs and native grasses in landscaped beds next to the parking area, in line with code allowances. While the landscape layout has been reconfigured from the originally approved plan, the proposed landscaping exceeds the minimum landscape requirements in both the original and proposed plans.

The updated plans removed two interior landscape islands, each measuring 9 feet by 18 feet, that were previously located along the ends of the continuous double rows of parking. The applicant is requesting flexibility from this requirement.

**Stormwater:** A stormwater management report was submitted for review. The report concludes the proposed basin discharge rate exceeds the maximum allowable release rate established by the Stormwater Management Ordinance. A revised stormwater management report is required to be submitted for review and approval by the Village Engineer.

**Background Information about Planned Unit Developments**

Section 15-719 of the Village of Roscoe Zoning Ordinance outlines the purpose, intent, potential zoning flexibilities, and applicability associated with a PUD. Additionally, Section 15-723 of the Zoning Ordinance outlines the procedural steps associated with a PUD.

A Planned Unit Development is a unique zoning district that is specific to a particular project or area. In addition to enabling flexibilities from zoning requirements, Planned Unit Developments also enable the implementation of additional standards for design and operation, and/or requirements related to timing. With the resulting combination of customized flexibility and control, every Planned Unit Development is reviewed on its relation to the subject property, nearby properties, and the community as a whole. The applicant has chosen to run the GDP and SIP process concurrently.

Every Planned Unit Development has three steps:

1. Conceptual discussion to identify project concepts and concerns.
  - Completed – February 20, 2026 with Village Staff
2. General Development Plan (GDP) to establish the unique zoning district equivalent to a Zoning Map Amendment.
  - Current Step -August 12, 2026
3. Specific Implementation Plan (SIP) to approve design and operation details equivalent to Site Plan and Design Review.
  - Current Step -August 12, 2026

**Required Findings:** Section 15-721(1) states that no application for a planned unit development shall be approved unless all the following findings are made about the proposal. Indented text below indicates staff-suggested findings for use by the Zoning Board of Appeals.

**a. Comprehensive plan.** The planned unit development shall conform with the general planning policies of the village as set forth in the comprehensive plan.

The proposed project is consistent with the Comprehensive Plan's Future Land Uses Map classification of I, Industrial District. The Industrial designation is intended to accommodate industrial development in areas with appropriate access and separation from sensitive land uses. Complementary commercial uses that support and enhance industrial areas are also permitted. The proposed uses are consistent with the intent of the Industrial land use designation.

**b. Public welfare.** The planned unit development shall be so designed, located, and proposed to be operated and maintained that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.

The proposed Planned Unit Development has been designed, located, and will be operated and maintained in a manner that will not impair access to light and air on adjacent properties. The project will be required to comply with all applicable regulations and will be served by existing public infrastructure and emergency service providers.

c. Impact on other property. The planned unit development shall not be injurious to the use or enjoyment of other property in the neighborhood for the purposes permitted in the district, shall not impede the normal and orderly development and improvement of surrounding properties for uses permitted in the zoning district, shall not be inconsistent with the community character of the neighborhood, shall not alter the essential character of the neighborhood and shall be consistent with the goals, objectives, and policies set forth in the comprehensive plan, and shall not substantially diminish or impair property values within the neighborhood, or be incompatible with other property in the immediate vicinity.

The proposed Planned Unit Development is not expected to negatively impact the use, enjoyment, or orderly development of nearby land. It is not anticipated to adversely affect surrounding property values and is considered compatible with the uses along Metric Road.

d. Impact on public facilities and resources. The planned unit development shall be so designed that adequate utilities, road access, drainage, and other necessary facilities will be provided to serve it. The planned unit development shall include such impact donations as may be reasonably determined by the village board. These required impact donations shall be calculated in reasonable proportion to impact of the planned unit development on public facilities and infrastructure.

The proposed Planned Unit Development is not anticipated to create additional demands on existing public facilities or infrastructure. The property is currently served by private well and septic systems and is not proposing connection to water or sanitary sewer at this time. Access to the site is being improved through the extension and construction of a cul-de-sac at the northernmost point of Metric Road, providing improved circulation and access. Based on the proposed General Development Plan and Specific Implementation Plan, no additional impact donations or contributions are anticipated at this time. Any required impact fees, donations, or infrastructure contributions will be evaluated and collected as applicable in accordance with Village ordinances.

e. Archaeological, historical or cultural impact. The planned unit development shall not substantially adversely impact a known archaeological, historical, or cultural resource located on or off the parcels proposed for development.

There are no known archaeological, historical, or cultural resources on or near the site. The proposed development is not expected to impact any such resources.

f. Parking and traffic. The planned unit development shall have or make adequate provision to provide necessary parking and ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets and provides adequate access for emergency vehicles.

The property consists of approximately 63 acres and provides sufficient area to accommodate the proposed museum use, including current and future parking needs. The property owner has indicated that the existing parking supply is adequate to serve typical museum operations, as well as occasional increases in visitor traffic associated with

special events or periodic influxes. Additionally, the various uses located on the property have different peak demand periods, reducing the likelihood that all uses will require maximum parking capacity at the same time.

g. Adequate buffering. The planned unit development shall have adequate landscaping, public open space, and other buffering features to protect uses within the development and surrounding properties.

The site contains existing buffering features, including a vegetative buffer along the property perimeter and a chain-link fence surrounding the storage use, which provide separation and screening from surrounding properties. The proposed museum building includes a landscape plan that meets applicable Zoning Ordinance requirements and provides appropriate site landscaping and buffering. The existing and proposed improvements provide adequate protection and compatibility with surrounding uses.

**Modification Standards:** Section 15-721(2) states, in addition to the findings required above, the following standards shall be utilized in considering applications for modifications of the conventional zoning and subdivision regulations for a planned unit development. These standards shall not be regarded as inflexible but shall be used as a framework by the village to test the quality of the amenities, benefits to the community, and design and desirability of the proposal. Indented text below indicates staff-suggested findings for use by the Zoning Board of Appeals.

a. Integrated design.

The property contains multiple existing uses and structures that have developed over time. Uses are generally grouped based on their operational needs, with commercial and visitor-oriented uses separated from storage and service-related activities. The property's location at the end of an industrial area, along with existing building setbacks and spacing, provides adequate separation and minimizes conflicts between uses and adjacent properties.

b. Beneficial common open space.

The northeast portion of the site is wooded and undeveloped, but no formal open space is provided; staff does not anticipate that the absence of a dedicated common open space will negatively impact the quality of the development or its compatibility with neighboring properties.

c. Location of taller buildings.

All existing and proposed buildings within the Planned Unit Development are intended to be no taller than 35 feet. This is consistent with the surrounding industrial developments and is not expected to create any adverse impacts on neighboring properties.

d. Functional and mechanical features.

The subject property is relatively isolated, with existing storage and loading areas located in the northern portion of the site and separated from the retail and museum uses. Mechanical equipment associated with the proposed museum expansion will be screened with landscaping and located in accordance with applicable zoning requirements.

e. Visual and acoustical privacy.

The proposed development meets the intent of this standard. Existing site conditions, including the property's location at the end of a public roadway and limited adjacent development, provide adequate separation from neighboring properties. The proposed improvements are not anticipated to create adverse visual or acoustical impacts.

f. Energy efficient design.

The Planned Unit Development is utilizing land efficiently and will incorporate best practices in stormwater management and building design.

g. Landscape conservation and visual enhancement.

The existing tree line along the entire property boundary should be preserved where feasible, where vegetation is in good condition and provides effective screening and landscape value. A landscaping plan has been provided as part of the SIP which meets the required standards.

h. Drives, parking and circulation.

The proposed development meets this standard. The site is accessed from a dedicated public roadway, and improvements to the dead-end portion of the roadway have been required as part of this development phase to improve circulation and emergency access.

i. Surface water drainage.

Stormwater detention has been provided on site. An approved drainage study will be required to demonstrate compliance with applicable stormwater management requirements. Any revisions, comments, and conditions will be addressed through staff.

**Staff Recommendation Regarding the PUD:** Staff recommends approval of the Planned Unit Development (PUD) General Development Plan (GDP) and Specific Implementation Plan (SIP) submitted by Wayne Lensing for the expansion of the museum use within the existing mixed-use development located on the 63.75-acre property at 13750 Metric Road (PIN: 04-16-326-003), finding that the applicable criteria for PUD submittal and approval have been satisfied.

Staff further recommends approval of the associated GDP Zoning Map Amendment to rezone the property from IG, General Industrial District, to PUD, subject to compliance with the approved flexibilities, staff-recommended conditions of approval, and any additional conditions imposed by the Zoning Board of Appeals.

**Approved Flexibilities:**

- Off-Street Parking: Approval of the proposed off-street parking count, including the provision of 38 parking spaces for Building 30, as proposed on the SIP.
- Parking Lot Landscape Islands: Approval to omit interior parking lot landscape islands within the parking lot serving Building 30, as proposed on the SIP.

**Conditions of Approval:**

1. The applicant shall obtain all required state, county, and local permits and approvals before commencement of work.
2. The applicant shall provide a thickened concrete sidewalk adjacent to the parking area along the front façade of Building 30 to serve as a durable vehicle stopping edge in lieu of wheel stops, as approved by the Village Engineer.
3. The parking lot shall be striped in full compliance with all applicable code requirements.
4. All proposed signage shall comply with the applicable sign regulations of the IG, General Industrial zoning district.
5. The project shall maintain adequate fire lanes, emergency access, and fire protection measures as required by the Fire Department.
6. The applicant shall address all Village Engineer comments regarding stormwater, utilities, cul-de-sac construction, and detailed site grading before issuance of an occupancy permit.
7. The approvals, conditions, and deviations previously established through the annexation agreement shall remain in full force and effect. Approval of this Planned Unit Development is intended to build upon the existing approvals and shall not be interpreted to supersede, invalidate, or render null and void any previously approved rights, conditions, or deviations.
8. Development of the site shall substantially conform to the approved General Development Plan and Planned Unit Development documents. If any standards, requirements, or design elements not expressly modified through the Planned Unit Development approval shall comply with the applicable provisions of the IG, General Industrial zoning district, and all other applicable Village ordinances.
9. Future improvements depicted on the approved General Development Plan (GDP) may be approved through the Design Review process, provided the improvements are consistent with the approved GDP and do not require additional deviations from the Zoning Ordinance. Any future additions, alterations, expansions, changes in use, or modifications not shown on the approved GDP, or that require additional zoning deviations, shall require approval of a Planned Unit Development (PUD) amendment prior to issuance of any permits.



ZBA File # \_\_\_\_\_

**APPLICATION FOR DEVELOPMENT APPROVAL:  
PLANNED DEVELOPMENT REVIEW AND APPROVAL**

This form is to be used for all special use Planned Development applications to be heard by the Village of Roscoe. Failure to complete this form properly will delay its consideration.

**PART I. GENERAL INFORMATION**

**A. Project Information**

1. Project/Owner Name: Wayne Lensing
2. Project Location: 13750 Metric Rd - Roscoe, IL 61073
3. Brief Project Description:

We request that the existing site (buildings, drives and parking), as well as the proposed cul-de-sac, parking lot improvements, a proposed museum expansion (72' x 166') and a future museum expansion (72'x166') of the same size and appearance be approved as part of the PUD plan.

4. Project Property Legal Description:  
See attached

5. Project Property Size in Acres and Square Feet: 63.76 AC (2,777,380 SF)

**B. Owner Information**

1. Signature: 
2. Name: Wayne Lensing
3. Address: 13750 Metric Rd. - Roscoe, IL 61073
4. Phone Number:  Fax: \_\_\_\_\_ Email: wayne@leithanderchassis.com

**C. Agent Information (Agent is optional, owner is optional.)**

1. Signature: 
2. Name: Arc Design Resources (Lauren Downing)
3. Address: 5291 Zenith Parkway, Loves Park, IL 61111
4. Phone Number:  Fax: \_\_\_\_\_ Email: ldowning@arcdesign.com

**Official Use Only**

|                         |                                 |                        |
|-------------------------|---------------------------------|------------------------|
| ZBA Pre-App Date: _____ | ZBA Date(s): _____              | Zoning District: _____ |
| App Date: _____         | CA Date(s): _____               | Comp Plan: _____       |
| ZBA Approved: _____     | Approved with conditions: _____ | Denied: _____          |
| CA Approved: _____      | Approved with conditions: _____ | Denied: _____          |

## PART II. APPLICATION REQUIREMENTS

The materials required to be included with an application for a Planned Development are the minimum necessary to submit a complete application. Village staff, consultants, review agencies, commissions, and boards may require additional materials as necessary to fully evaluate the proposed project. A pre-application conference with Village staff is required. At the meeting, the ZBA may add or delete items from this list as they deem appropriate. All information, including this application form, must be submitted electronically in either a PDF or Word format to the email address noted below the table. If the combined file size exceeds 10MB, a Dropbox or zip file must be used.

### Official Use Only

| Item # <sup>(a)</sup> | Application Material                                                                                  | Initial Application |                   | Revisions         |                   | Second Set of Revisions |                   |
|-----------------------|-------------------------------------------------------------------------------------------------------|---------------------|-------------------|-------------------|-------------------|-------------------------|-------------------|
|                       |                                                                                                       | Required Materials  | # Copies Received | # Copies Required | # Copies Received | # Copies Required       | # Copies Received |
| 1.                    | Completed Development Application                                                                     | X                   |                   |                   |                   |                         |                   |
| 2.                    | Project Narrative                                                                                     | X                   |                   |                   |                   |                         |                   |
| 3.                    | Basic Application Fee                                                                                 | X                   |                   |                   |                   |                         |                   |
| 4.                    | Agreement for Reimbursement of Professional Consulting Fees                                           | X                   |                   |                   |                   |                         |                   |
| 5.                    | Proof of Ownership                                                                                    | X                   |                   |                   |                   |                         |                   |
| 6.                    | Agent Affidavit                                                                                       | X                   |                   |                   |                   |                         |                   |
| 7.                    | Property Owners within 250 feet                                                                       | X                   |                   |                   |                   |                         |                   |
| 8.                    | General Location Map                                                                                  | X                   |                   |                   |                   |                         |                   |
| 9.                    | Survey / Legal Description (To include: easements, covenants, and any other restrictions on property) | X                   |                   |                   |                   |                         |                   |
| 10.                   | Site Plan (To include: landscape plan, parking plan, common spaces, etc.)                             | X                   |                   |                   |                   |                         |                   |
| 11.                   | Building Elevations                                                                                   | X                   |                   |                   |                   |                         |                   |
| 12.                   | Floor Plans                                                                                           | X                   |                   |                   |                   |                         |                   |
| 13.                   | Roof Plan                                                                                             | X                   |                   |                   |                   |                         |                   |
| 14.                   | Color Rendering                                                                                       | X                   |                   |                   |                   |                         |                   |
| 15.                   | Photographs of Existing Property and Area                                                             | X                   |                   |                   |                   |                         |                   |
| 16.                   | Village Utility Impact Calculations and Report*                                                       | *                   |                   |                   |                   |                         |                   |
| 17.                   | Preliminary Utility Improvement Plans*                                                                | *                   |                   |                   |                   |                         |                   |
| 18.                   | Utility Letters*                                                                                      | *                   |                   |                   |                   |                         |                   |
| 19.                   | Traffic Study*                                                                                        | *                   |                   |                   |                   |                         |                   |
| 20.                   | IDOT Permit for Work*                                                                                 | *                   |                   |                   |                   |                         |                   |
| 21.                   | Professional economic analysis*                                                                       | *                   |                   |                   |                   |                         |                   |

\*= if Village staff deems necessary for analysis and approval.

Submit all of the above electronically to: [permits@roscoeil.gov](mailto:permits@roscoeil.gov).

**PART III. SITE DATA TABLE**

Please fill in the following table with information about the site.

|                                                                                                                                                                             |                                                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------|
|                                                                                                                                                                             |                                                        |
| <b>Total Development Size</b>                                                                                                                                               | 63.76 AC                                               |
| <b>Minimum Lot Size(s)</b>                                                                                                                                                  | 63.76 AC                                               |
| <b>Minimum Front Yard Setback(s)</b>                                                                                                                                        | 108' (Nearest Existing Structure)<br>132' (New Museum) |
| <b>Minimum Side Yard Setbacks</b>                                                                                                                                           | 12' (Existing Structure)                               |
| <b>Minimum Rear Yard Setback(s)</b>                                                                                                                                         | 34' (Existing Structure)                               |
| <b>Minimum Impervious Surface Percentage</b>                                                                                                                                | N/A                                                    |
| <b>Maximum Height of Buildings</b>                                                                                                                                          | 26.5'                                                  |
| <b>Maximum Number of Dwelling Units (for residential projects)</b>                                                                                                          | N/A                                                    |
| <b>Average Unit Square Footage</b>                                                                                                                                          | N/A                                                    |
| <b><u>Total Building Area by Floor for Each Building (for non-residential projects)</u></b>                                                                                 | 423,461 SF                                             |
| <b>Minimum Lot Coverage Percentage</b><br><br>This is calculated by adding the total footprint of all buildings and structures on a lot and dividing by the total lot area. | 15.2%                                                  |
| <b>Minimum Number of Underground/Covered Parking Spaces</b>                                                                                                                 | N/A                                                    |
| <b>Minimum Number of Surface/Uncovered Parking Spaces</b>                                                                                                                   | 39 (2 ADA)                                             |

## PART IV. JUSTIFICATION OF THE PROPOSED PLANNED DEVELOPMENT

Please answer all questions, but be concise and brief in your answers. If additional pages are needed to complete your answers, please be sure to include the appropriate and complete question number for each response. **Applicants are encouraged to refer to drawings or other application materials as necessary to add clarity to their answers.**

1. How are the plans, designs, and/or proposals for the proposed Planned Development in harmony with the purposes, goals, objectives, policies and standards of the Village of Roscoe Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The plans and design proposals for the proposed Planned Development are in harmony with the purposes, goals, objectives, and standards of the Village of Roscoe Comprehensive Plan and Zoning Ordinance. The project represents the expansion of the Historic Auto Attractions Museum through the addition of a new Fire Truck Museum (and future expansion). This use is consistent with the site's longstanding identity and consistent with the annexation agreement. The architectural design of the proposed building has been intentionally developed to complement the existing museum structures. The materials, scale, and overall aesthetic are consistent with the current campus, ensuring a cohesive and harmonious visual experience for visitors. By maintaining continuity in architectural character, the expansion supports the Village's objective of promoting attractive, well-coordinated development that enhances community identity and visitor appeal. This property is unique in that it was annexed into the Village of Roscoe, it featured multiple uses on a single property. The project has been designed to meet all zoning, site development, and design requirements, reflecting the applicant's commitment to compliance and collaboration. Furthermore, the proposed Fire Truck Museum is expected to strengthen the economic and cultural contribution the Historic Auto Attractions Museum already provides to the community. By expanding its offerings, the development supports the attracting tourism, encouraging business growth, and providing unique amenities that benefit residents and visitors alike. Overall, the proposed development is consistent with the Village's adopted plans and regulations and represents a positive, community-oriented project that aligns with Roscoe's vision for thoughtful, high-quality development.

2. How does the proposed Planned Development provide reasonable visual and auditory privacy for all dwelling units located within and adjacent to the site?

The proposed development is part of an already developed lot. The adjacent zonings are:

- Light Industrial (Winnebago County) to the south
- IL-251/ Heavy Industrial (Winnebago County)/General Industrial (Roscoe) to the west
- Urban Transitional (Roscoe) to the north
- Light Industrial (Roscoe) to the east

Therefore, there are no residences within close vicinity. Additionally, the development is not anticipated to result in any visual or auditory nuances and will function similarly to other buildings in the General Industrial zoning.

3. How are fences, walls, barriers and/or landscaping arranged in the proposed Planned Development to protect and enhance the property and to enhance the privacy of on-site and neighboring occupants?

Additional plantings are proposed along the west end of the parking lot, and the north and west ends of the proposed building.

Additional plantings are proposed along the south end of the proposed parking lot.

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4. How is the proposed Planned Development designed and arranged to have a minimal negative impact on the use and enjoyment of adjoining property?

The proposed Planned Development are designed and arranged to ensure no negative impact on the use and enjoyment of adjoining properties. The expansion (and future addition)—establishing the new Fire Truck Museum as part of the existing Historic Auto Attractions campus—represents a continuation of the current land use and operational conditions that neighboring parcels have long been accustomed to. Because the development maintains the same general orientation, visitor patterns, and site functions already present on the property, it does not introduce new or incompatible activities that could disrupt adjacent lots. The building placement, circulation layout, and overall site design do not alter traffic flows on neighboring properties, and do not increase noise, lighting, or intensity beyond what currently exists. The project enhances the museum's offerings without changing the established character of the site. Additionally, the architectural design and site improvements have been arranged to align with Village standards, ensuring that the expansion remains visually appropriate. Because the development is an extension of an existing and compatible use, the adjacent lots will continue to enjoy the same conditions they do today, with no anticipated negative impacts on their use or enjoyment.

5. How are all of the elements of the proposed Planned Development designed and arranged so that they exist harmoniously with nearby existing and anticipated development? Elements to consider include: buildings, outdoor storage areas and equipment, utility structures, building and paving coverage, landscaping, lighting, glare, dust, signage, views, noise, and odors.

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All elements of the proposed Planned Development have been designed and arranged to exist harmoniously with nearby existing and anticipated development. The proposed building (and future addition) has been sited to comply with all Village-required setbacks, ensuring appropriate separation from property lines and maintaining compatibility with adjacent uses. The architectural style, building materials, and scale are consistent with the existing structures on the site, promoting a unified visual appearance that blends into the current development character. Site lighting has been engineered to meet the Village's lighting requirements, ensuring that illumination is directed downward and contained within the site. This approach prevents glare or light spillover onto adjoining properties, maintaining nighttime comfort and safety for visitors and neighbors alike. Paving and building coverage remain within allowable zoning limits, and the overall site layout provides logical and efficient circulation. Landscaping enhancements will soften the parking lot provide visual interest, and maintain a welcoming environment consistent with Village design expectations. Because the museum campus is already established and the expansion is a continuation of its existing function, there will be no additional dust, noise, odors, or operational impacts that would affect nearby properties. Signage will remain consistent with current practices and Village standards, contributing to an orderly and harmonious aesthetic.

6. How are noxious emissions or conditions not typical of land uses in the underlying zoning district associated with the proposed Planned Development effectively confined so as not to be injurious or detrimental to nearby properties?

N/A - the museum building does not produce noxious emissions or conditions

7. Are there any uses that need to be permitted by exception? Are they necessary or desirable and appropriate with respect to the primary purpose of the development and not of such a nature, or so located, as to exercise a detrimental influence on the surrounding neighborhood? Explain.

The proposed use of museum campus expansion is consistent with the allowed use in the Annexation agreement.

8. Planned Developments are intended to allow for greater design flexibility than is permitted by the standard district regulations for tracts of land where the planned development would better utilize the topographic and natural character of the site and would produce a more economical and stable development. Planned Developments are intended to be consistent with the spirit of the zoning ordinance and conform with the general character of the Village or the immediate neighborhoods.

In the table below, provide all of the proposed modifications to the standards in the underlying zoning district for the proposed Planned Development. Additionally, provide the justification, based on the intent for planned developments as described in the Village of Roscoe Zoning Ordinance Section 15-721, for these proposed changes. If no modification is proposed, simply respond N/A.

| <b>Code Standard</b>                  | <b>Proposed Modifications</b> | <b>Justification</b> |
|---------------------------------------|-------------------------------|----------------------|
| <b>Uses</b>                           | N/A                           |                      |
| <b>Total Lot Area/<br/>Dimensions</b> | N/A                           |                      |
| <b>Lot Area per<br/>Unit/Density</b>  | N/A                           |                      |
| <b>Floor Area</b>                     | N/A                           |                      |
| <b>Front Setback</b>                  | N/A                           |                      |

|                                                                                                   |                                                                                                                                      |                                                                                                                                                       |
|---------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Side Setback</b>                                                                               | N/A                                                                                                                                  |                                                                                                                                                       |
| <b>Rear Setback</b>                                                                               | N/A                                                                                                                                  |                                                                                                                                                       |
| <b>Building Height</b>                                                                            | N/A                                                                                                                                  |                                                                                                                                                       |
| <b>Open Space/<br/>Lot Coverage</b><br><br>See lot coverage<br>calculation in<br>above data table | N/A                                                                                                                                  |                                                                                                                                                       |
| <b>Accessory<br/>Structures</b>                                                                   | N/A                                                                                                                                  |                                                                                                                                                       |
| <b>Landscaping</b>                                                                                | No Interior landscape islands to be required                                                                                         | To be consistent with the existing parking lots throughout the proposed PUD, the proposed improvements should not require interior landscape islands. |
| <b>Parking</b>                                                                                    | A reduction from 96 required parking stalls to 39 proposed parking stalls for the proposed Fire Truck Museum (with future addition). | Although not over parked by code, the current and anticipated volume of patrons does not demand such a large number of parking spaces.                |



## ANNEXATION PARCEL – LEGAL DESCRIPTION

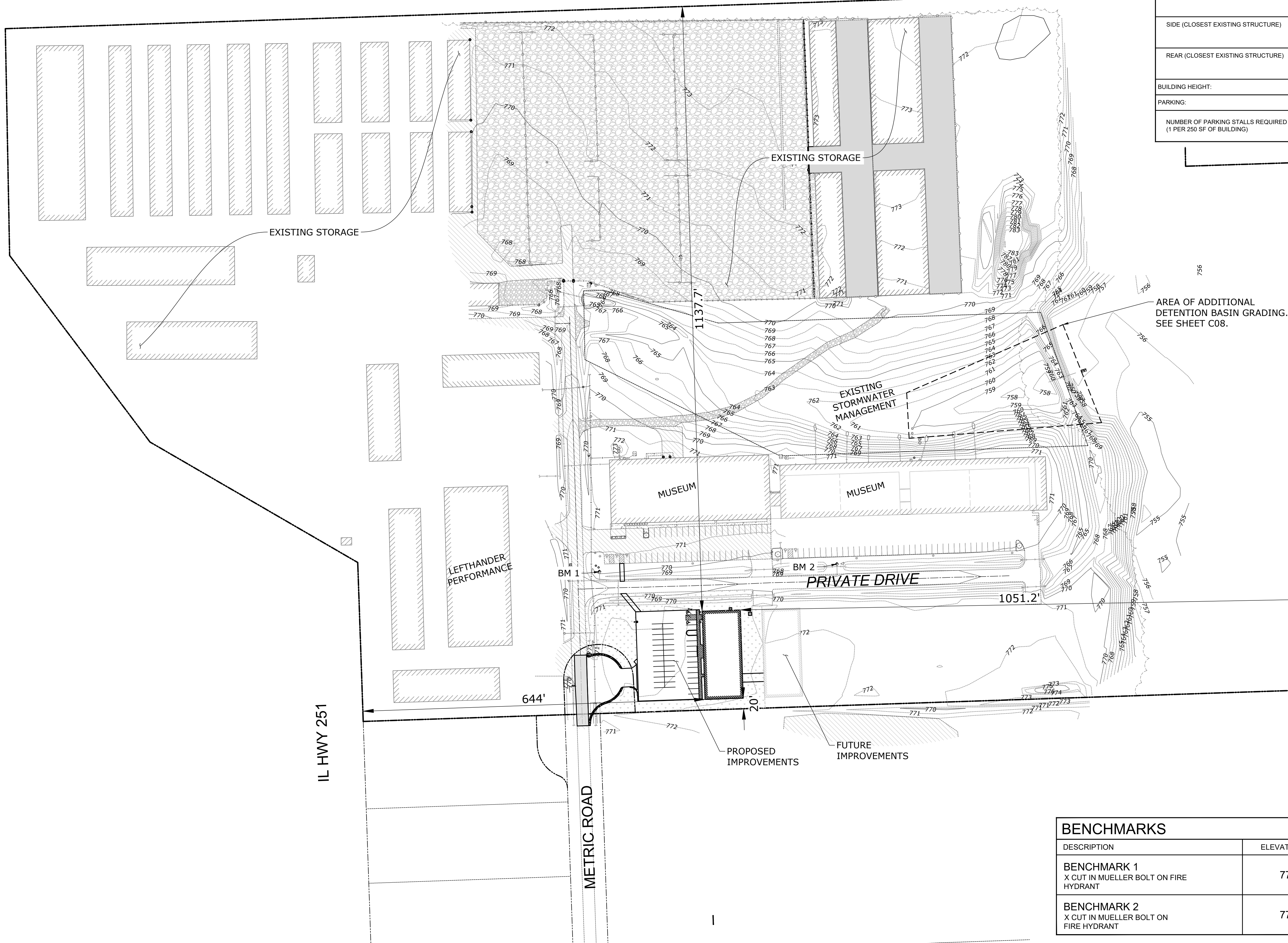
Address: 13750 / 13935 / 13825 Metric Road, Roscoe, IL 61073  
 PIN: 04-16-326-003

**PARCEL I:**

PART OF LOTS 11 AND 12 AS DESIGNATED UPON THE PLAT OF SECTION 16, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE THIRD PRINCIPAL MERIDIAN, THE PLAT OF WHICH SUBDIVISION IS RECORDED IN BOOK 56 OF DEEDS ON PAGE 74 IN THE RECORDER'S OFFICE OF WINNEBAGO COUNTY, ILLINOIS; BOUNDED AND DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTH HALF (1/2) OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16; THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16, A DISTANCE OF 611.06 FEET TO A LINE PARALLEL WITH AND 611.0 FEET PERPENDICULARLY DISTANT NORTH OF THE SOUTH LINE OF THE NORTH HALF (1/2) OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16; THENCE NORTH 89 DEGREES 55 MINUTES 40 SECONDS WEST, ALONG AFORESAID LINE, A DISTANCE OF 1147.56 FEET; THENCE NORTH 64 DEGREES 05 MINUTES 00 SECONDS WEST, A DISTANCE OF 355.56 FEET; THENCE NORTH 88 DEGREES 28 MINUTES 46 SECONDS WEST, A DISTANCE OF 864.70 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF THE EAST-NORTH RAMP OF F.A. ROUTE NO. 188; THENCE SOUTH 35 DEGREES 00 MINUTES 14 SECONDS EAST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID EAST-NORTH RAMP OF F.A. ROUTE NO. 188, A DISTANCE OF 305.0 FEET; THENCE SOUTH 57 DEGREES 55 MINUTES 55 SECONDS EAST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID EAST-NORTH RAMP OF F.A. ROUTE NO. 188, A DISTANCE OF 451.57 FEET; THENCE SOUTH, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID EAST-NORTH RAMP OF F.A. ROUTE NO. 188, A DISTANCE OF 298.98 FEET TO THE SOUTH LINE OF THE NORTH HALF (1/2) OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16; THENCE SOUTH 89 DEGREES 55 MINUTES 40 SECONDS EAST, ALONG AFORESAID LINE, A DISTANCE OF 1764.71 FEET TO THE POINT OF BEGINNING; SITUATED IN THE COUNTY OF WINNEBAGO AND THE STATE OF ILLINOIS.

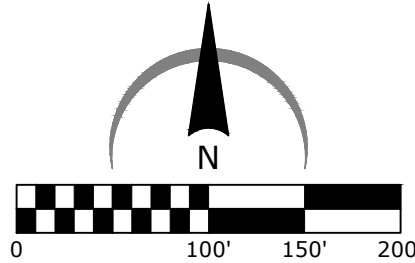
**PARCEL II:**

PART OF LOTS ELEVEN (11) AND TWELVE (12) AS DESIGNATED UPON THE PLAT OF SECTION 16, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE THIRD PRINCIPAL MERIDIAN, THE PLAT OF WHICH SUBDIVISION IS RECORDED IN BOOK 56 OF DEEDS ON PAGE 74 IN THE RECORDERS OFFICE OF WINNEBAGO COUNTY, ILLINOIS; BOUNDED AND DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16, WITH A LINE PARALLEL WITH AND 611.0 FEET PERPENDICULARLY DISTANT NORTH OF THE SOUTH LINE OF THE NORTH HALF (1/2) OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16; THENCE NORTH 89 DEGREES 55 MINUTES 40 SECONDS WEST, ALONG AFORESAID LINE, A DISTANCE OF 1147.56 FEET; THENCE NORTH 64 DEGREES 05 MINUTES 00 SECONDS WEST, A DISTANCE OF 355.56 FEET; THENCE NORTH 88 DEGREES 28 MINUTES 46 SECONDS WEST, A DISTANCE OF 864.70 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF THE EAST-NORTH RAMP OF F.A. ROUTE NO. 188; THENCE NORTH 35 DEGREES 00 MINUTES 14 SECONDS WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID EAST-NORTH RAMP OF F.A. ROUTE NO. 188, A DISTANCE OF 134.2 FEET; THENCE NORTH 00 DEGREES 52 MINUTES 47 SECONDS EAST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID EAST-NORTH RAMP OF F.A. ROUTE NO. 188, A DISTANCE OF 426.57 FEET TO THE NORTH LINE OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16; THENCE SOUTH 89 DEGREES 54 MINUTES 13 SECONDS EAST, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16, A DISTANCE OF 2215.17 FEET TO THE NORTHWEST CORNER OF LOT 10 AS DESIGNATED UPON THE PLAT OF SECTION 16, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE SOUTH 00 DEGREES 53 MINUTES 00 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT 10, A DISTANCE OF 330.0 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 13 SECONDS EAST, ALONG A SOUTHERLY LINE OF SAID LOT 10, A DISTANCE OF 198.0 FEET TO THE EAST LINE OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16; THENCE SOUTH 00 DEGREES 53 MINUTES 00 SECONDS WEST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER (1/4) OF SAID SECTION 16, A DISTANCE OF 382.27 FEET TO THE POINT OF BEGINNING; SITUATED IN THE COUNTY OF WINNEBAGO AND STATE OF ILLINOIS.



| SITE DATA TABLE                                                  |                                       |                                                        |                                               |
|------------------------------------------------------------------|---------------------------------------|--------------------------------------------------------|-----------------------------------------------|
| ZONING CLASSIFICATION:                                           | IG (GENERAL INDUSTRIAL)               |                                                        |                                               |
|                                                                  | EXISTING                              | PROPOSED (WITH FUTURE EXPANSION)                       | REQUIRED                                      |
| LOT SIZE                                                         | 63.76 AC<br>(2,777,380 SF)            | 63.76 AC<br>(2,777,380 SF)                             | 40,000 SF                                     |
| LOT COVERAGE                                                     | 399,557 SF<br>14.4%                   | 423,461 SF<br>15.2%                                    | 60% (MAX)                                     |
| TOTAL BUILDING AREA BY FLOOR<br>(ALL BUILDINGS ARE SINGLE STORY) | 399,557 SF                            | 423,461 SF                                             | ---                                           |
| BUILDING SETBACKS:                                               | EXISTING                              | PROPOSED                                               | REQUIRED                                      |
| FRONT (CLOSEST EXISTING STRUCTURE)                               | 108'                                  | 108' (NEAREST EXISTING STRUCTURE)<br>132' (NEW MUSEUM) | ½ OF ROW OR 50' WHICHEVER IS GREATER          |
| SIDE (CLOSEST EXISTING STRUCTURE)                                | SOUTH: 32'<br>EAST: 470'<br>WEST: 12' | SOUTH: 20'<br>EAST: 470'<br>WEST: 12'                  | 10% OF THE LOT WIDTH<br>(NO GREATER THAN 20') |
| REAR (CLOSEST EXISTING STRUCTURE)                                | NORTH: 34'                            | NORTH: 1137'                                           | 30'                                           |
| BUILDING HEIGHT:                                                 | ---                                   | 26.5'                                                  | 100' (MAX)                                    |
| PARKING:                                                         |                                       |                                                        |                                               |
| NUMBER OF PARKING STALLS REQUIRED<br>(1 PER 250 SF OF BUILDING)  | ---                                   | 39 (2 ADA)                                             | (11,952 '2') SF / 250 = 95.62                 |

| BENCHMARKS                                              |                 |
|---------------------------------------------------------|-----------------|
| DESCRIPTION                                             | ELEVATION (UGS) |
| BENCHMARK 1<br>X CUT IN MUELLER BOLT ON FIRE<br>HYDRANT | 772.54          |
| BENCHMARK 2<br>X CUT IN MUELLER BOLT ON<br>FIRE HYDRANT | 771.73          |

The logo for ARC DESIGN RESOURCES INC. features the word "ARC" in a bold, yellow, sans-serif font, followed by "DESIGN" in a large, black, sans-serif font, and "RESOURCES INC." in a smaller, black, sans-serif font below it. The text is set against a white background with a thin black border. A dashed vertical line separates the text from a large, empty, rounded rectangular shape on the right. Below the text, the address "5291 ZENITH PARKWAY", "LOVES PARK, IL 61111", and phone/fax numbers "VOICE: (815) 484-4300" and "FAX: (815) 484-4303" are listed. At the bottom, the website "www.arcdesign.com" and the license number "Illinois Design Firm License No. 184-001334" are provided.

**ARC DESIGN**  
RESOURCES INC.

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LOVES PARK, IL 61111  
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FAX: (815) 484-4303

[www.arcdesign.com](http://www.arcdesign.com)  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**HISTORIC AUTO  
ATTRACTIONS -  
FIRE TRUCK  
MUSEUM**

13825 METRIC ROAD  
ROSCOE, IL  
WINNEBAGO COUNTY

WAYNE LENSING  
13825 METRIC ROAD  
ROSCOE, IL 61073  
(815) 389-7917

**CONSULTANTS**

---

| ISSUED FOR |               | DATE       |
|------------|---------------|------------|
| 1.         | AGENCY REVIEW | 01-28-2026 |
| 2.         | OWNER REVIEW  | 02-24-2026 |
| 3.         | OWNER REVIEW  | 03-06-2026 |
| 4.         | AGENCY REVIEW | 03-10-2026 |
| 5.         | AGENCY REVIEW | 06-04-2026 |
| 6.         | AGENCY REVIEW | 07-08-2026 |
| 7.         | ----          | ----       |
| 8.         | ----          | ----       |
| 9.         | ----          | ----       |
| 10.        | ----          | ----       |
| 11.        | ----          | ----       |
| 12.        | ----          | ----       |
| REVISIONS  |               |            |
| ITEM       |               | DATE       |
| 1.         | ----          | ----       |
| 2.         | ----          | ----       |
| 3.         | ----          | ----       |
| 4.         | ----          | ----       |
| 5.         | ----          | ----       |
| 6.         | ----          | ----       |

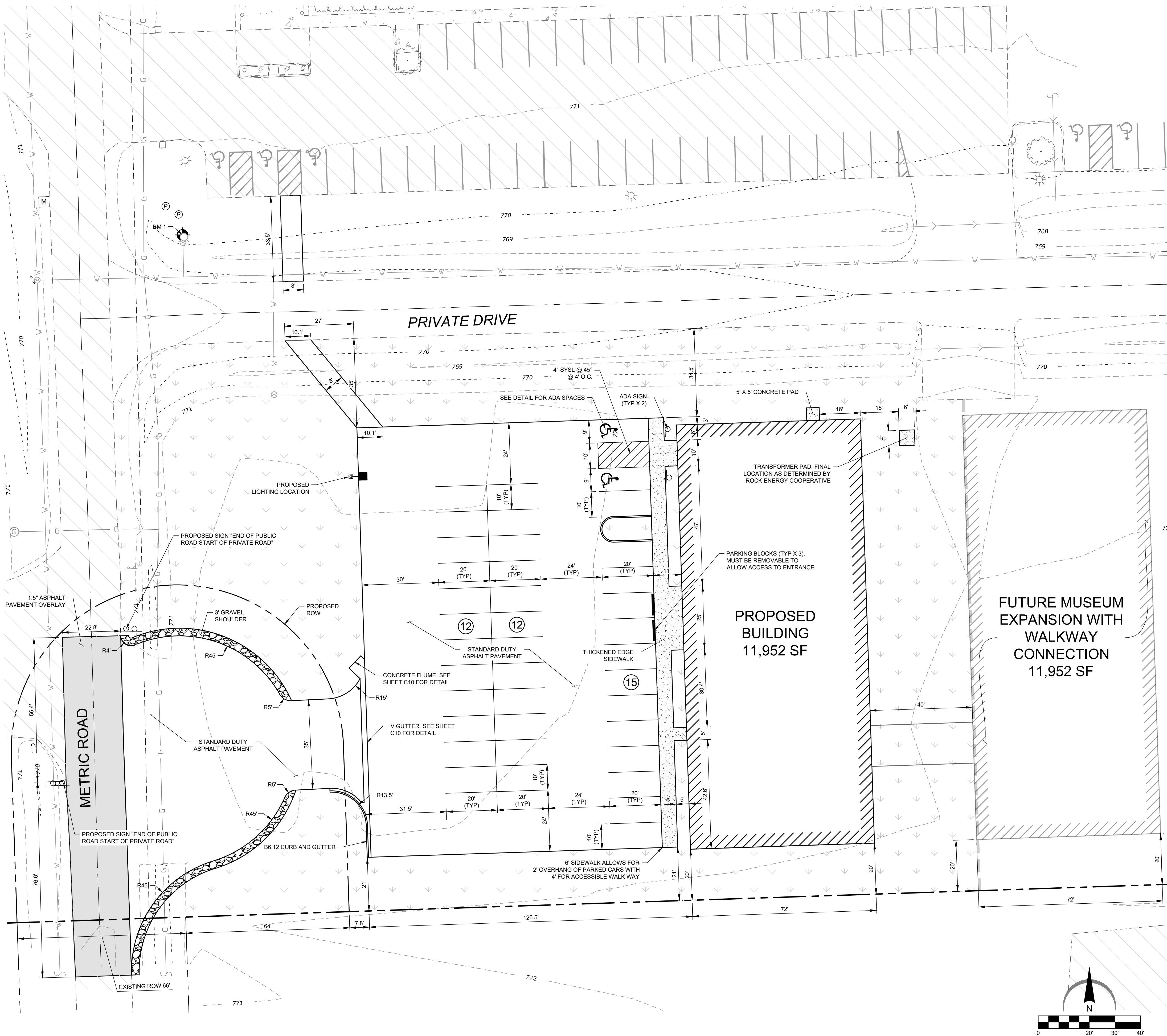
| SHEET TITLE          |  |
|----------------------|--|
| OVERALL<br>SITE PLAN |  |

|         |     |
|---------|-----|
| DRAWN   | JO  |
| CHECKED | LND |
| PM      | RCS |

PROJECT NUMBER  
SHEET NUMBER

20034

C03



LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED BARRIER CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED 1.5" ASPHALT PAVEMENT OVERLAY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED GRAVEL SHOULDER
- LIGHT POLE AND FIXTURE
- PROPOSED ADA PARKING SPACE
- NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED PARKING STALLS
- TURF AND LANDSCAPED AREAS

LAYOUT NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
- ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- FOR REQUIRED PAVEMENT REMOVAL ADJACENT TO THE CURB AND GUTTER REMOVAL WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT SHALL BE UTILIZED AND SHALL NOT BE LESS THAN 2' IN WIDTH.

PARKING TABLE

|                                                                 |                 |
|-----------------------------------------------------------------|-----------------|
| NUMBER OF PARKING STALLS REQUIRED<br>(1 PER 250 SF OF BUILDING) | 96 (4 - A.D.A.) |
| NUMBER OF PARKING STALLS PROPOSED                               | 39 (2 - A.D.A.) |

PROPOSED ROW IS A REQUIREMENT OF A PREVIOUS ANNEXATION AGREEMENT. DEDICATION IS BEING COORDINATED WITH THE VILLAGE CONCURRENT TO THESE CONSTRUCTION PLANS

VARIANCES NEEDED

PARKING: TOTAL 39 SPACES

LANDSCAPING: ISLANDS

BENCHMARKS

| DESCRIPTION                                          | ELEVATION (USGS) |
|------------------------------------------------------|------------------|
| BENCHMARK 1<br>X CUT IN MUELLER BOLT ON FIRE HYDRANT | 772.54           |
| BENCHMARK 2<br>X CUT IN MUELLER BOLT ON FIRE HYDRANT | 771.73           |

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PROJECT NAME  
OWNER'S NAME

HISTORIC AUTO  
ATTRactions -  
FIRE TRUCK  
MUSEUM

13825 METRIC ROAD  
ROSCOE, IL  
WINNEBAGO COUNTY  
WAYNE LENSING  
13825 METRIC ROAD  
ROSCOE, IL 61073  
(815) 369-7917

CONSULTANTS

ISSUED FOR

|                  | DATE       |
|------------------|------------|
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| 6. AGENCY REVIEW | 07-08-2026 |
| 7. ....          | ....       |
| 8. ....          | ....       |
| 9. ....          | ....       |
| 10. ....         | ....       |
| 11. ....         | ....       |
| 12. ....         | ....       |

REVISIONS

| ITEM    | DATE |
|---------|------|
| 1. .... | .... |
| 2. .... | .... |
| 3. .... | .... |
| 4. .... | .... |
| 5. .... | .... |
| 6. .... | .... |

SHEET TITLE

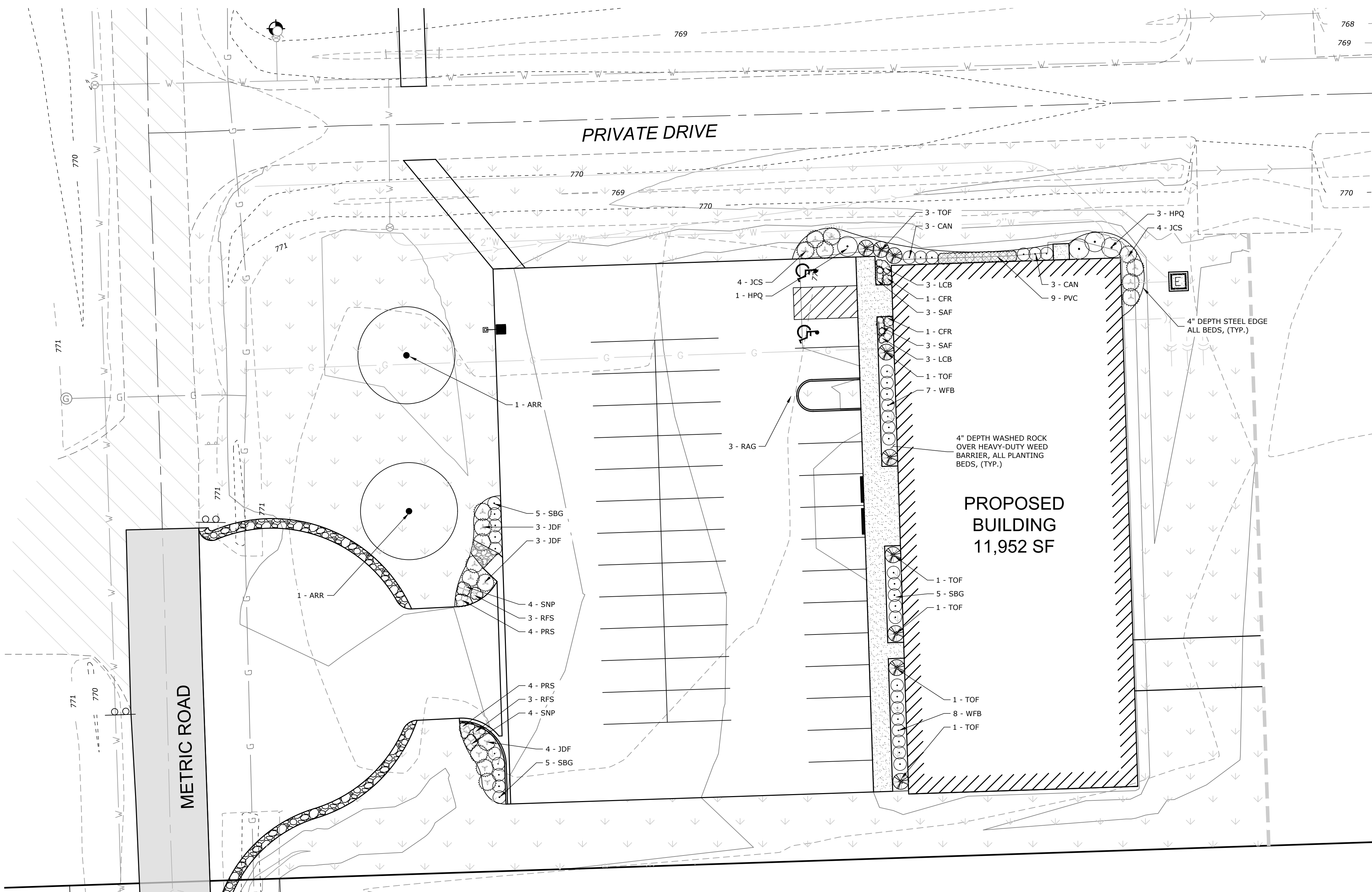
LAYOUT PLAN

DRAWN JO  
CHECKED LND  
PM RCS

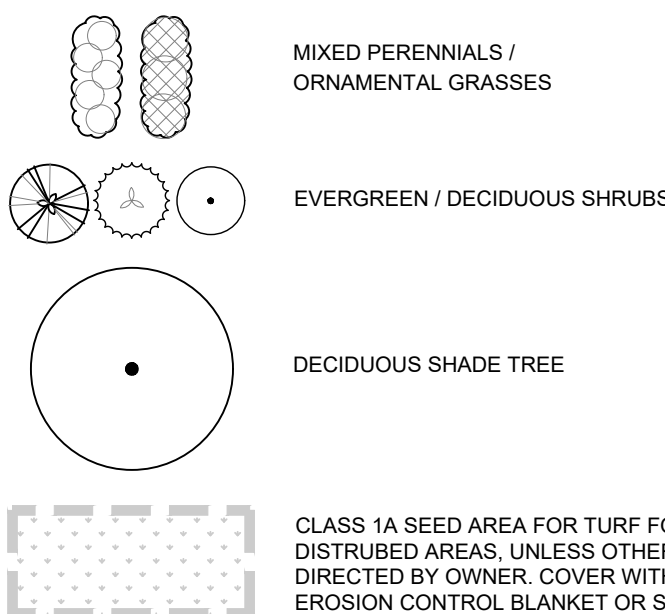
PROJECT NUMBER  
SHEET NUMBER

20034

C05



## PLANT LEGEND



## PLANT LIST

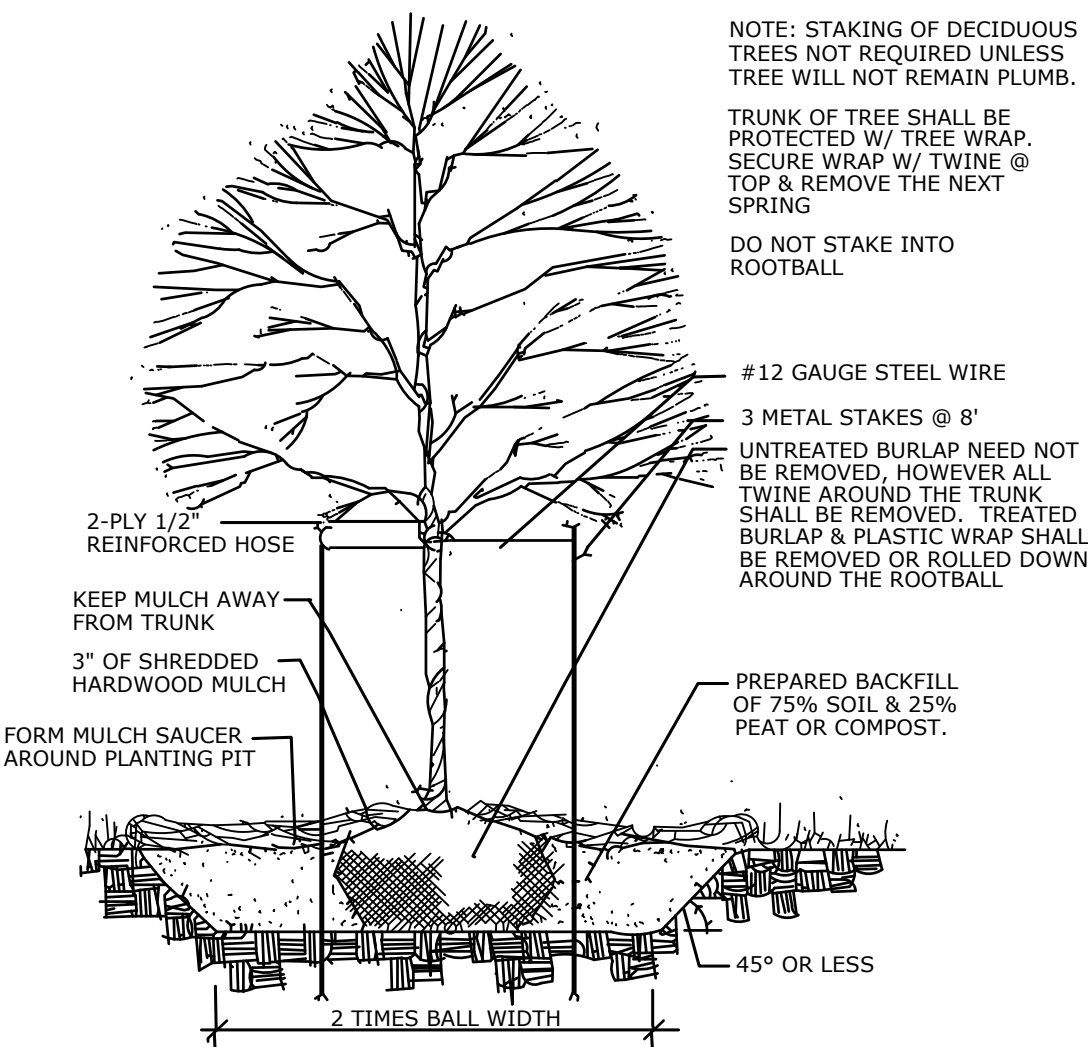
| KEY | QTY | Botanical Name<br>COMMON NAME                                        | SIZE   | REMARKS                 |
|-----|-----|----------------------------------------------------------------------|--------|-------------------------|
| ARR | 2   | Acer rubrum x 'Radiance'<br>RADIANCE HYBRID RED MAPLE                | 2.5"   | DECIDUOUS               |
| CAN | 6   | Ceanothus americanus<br>NEW JERSEY TEA                               | 5 GAL. | NATIVE DECIDUOUS SHRUB  |
| HPQ | 4   | Hydrangea paniculata 'Bulk'<br>QUICK FIRE HYDRANGEA                  | 5 GAL. |                         |
| JCS | 8   | Juniperus chinensis 'Sargentii'<br>GREEN SARGENT JUNIPER             | 5 GAL. | EVERGREEN               |
| JDF | 10  | Juniperus chinensis 'Daubs Frosted'<br>DAUBS FROSTED JUNIPER         | 5 GAL. | EVERGREEN               |
| SBG | 15  | Spiraea bumalda 'Goldflame'<br>GOLDFLAME SPIREA                      | 5 GAL. |                         |
| WFB | 15  | Weigela x 'Dark Horse'<br>DARK HORSE WEIGELA                         | 5 GAL. |                         |
| TOF | 9   | Thuja occidentalis 'Fire Chief'<br>FIRE CHIEF GLOBE ARBORVITAE       | 5 GAL. | EVERGREEN ROUND/COMPACT |
| CFR | 2   | Calamagrostis x 'Karl Foerster'<br>KARL FOERSTER FEATHER REED GRASS  | GAL.   | 3'-0" O.C. - ORN. GRASS |
| LCB | 6   | Lobelia cardinalis 'Black Truffle'<br>BLACK TRUFFLE CARDINAL FLOWER  | GAL.   | 2'-0" O.C. PERENNIAL    |
| PVC | 9   | Panicum virgatum 'Cheyenne Sky'<br>CHEYENNE SKY RED SWITCH GRASS     | GAL.   | 3'-0" O.C. - ORN. GRASS |
| PRS | 8   | Perovskia atriplicifolia 'Little Spire'<br>LITTLE SPIRE RUSSIAN SAGE | GAL.   | 2'-0" O.C. PERENNIAL    |
| RFS | 6   | Rudbeckia fulgida 'Speciosa'<br>SHOWY BLACK EYED SUSAN               | GAL.   | 2'-0" O.C. PERENNIAL    |
| SAF | 6   | Sedum spectabile 'Autumn Fire'<br>AUTUMN FIRE SEDUM                  | GAL.   | 2'-0" O.C. PERENNIAL    |
| SNP | 8   | Salvia nemorosa x 'Balsalpur154'<br>PERPETUAL PURPLE SALVIA          | GAL.   | 2'-0" O.C. PERENNIAL    |

## LANDSCAPE COMPLIANCE DATA

| CATEGORY            | QUANTITY                                          | REQUIREMENT                                                                         | PROVISION                               |
|---------------------|---------------------------------------------------|-------------------------------------------------------------------------------------|-----------------------------------------|
| PARKING PERIMETER   | METRIC ROAD - 89 L.F. AT DEDICATED R.O.W.         | METRIC ROAD - 30 SHRUBS (1 SHRUB PER 3 L.F. W/ MIN. 36" HEIGHT + MIN. 50% OF LENGTH | 35 SHRUBS AT 36" HEIGHT + 50% OF LENGTH |
| PARKING / INTERIOR  | 48 PARKING STALLS W/ THREE PARKING ISLANDS        | 5 TREES (2 PER DOUBLE STALL, 1 PER SINGLE)                                          | 5 TREES                                 |
| BUILDING FOUNDATION | 238 L.F. (TOTAL OF EA. FACADE THAT HAS A SETBACK) | 190 L.F. (80% OF FACADE L.F.)                                                       | 198 L.F. (83% OF REQ.)                  |

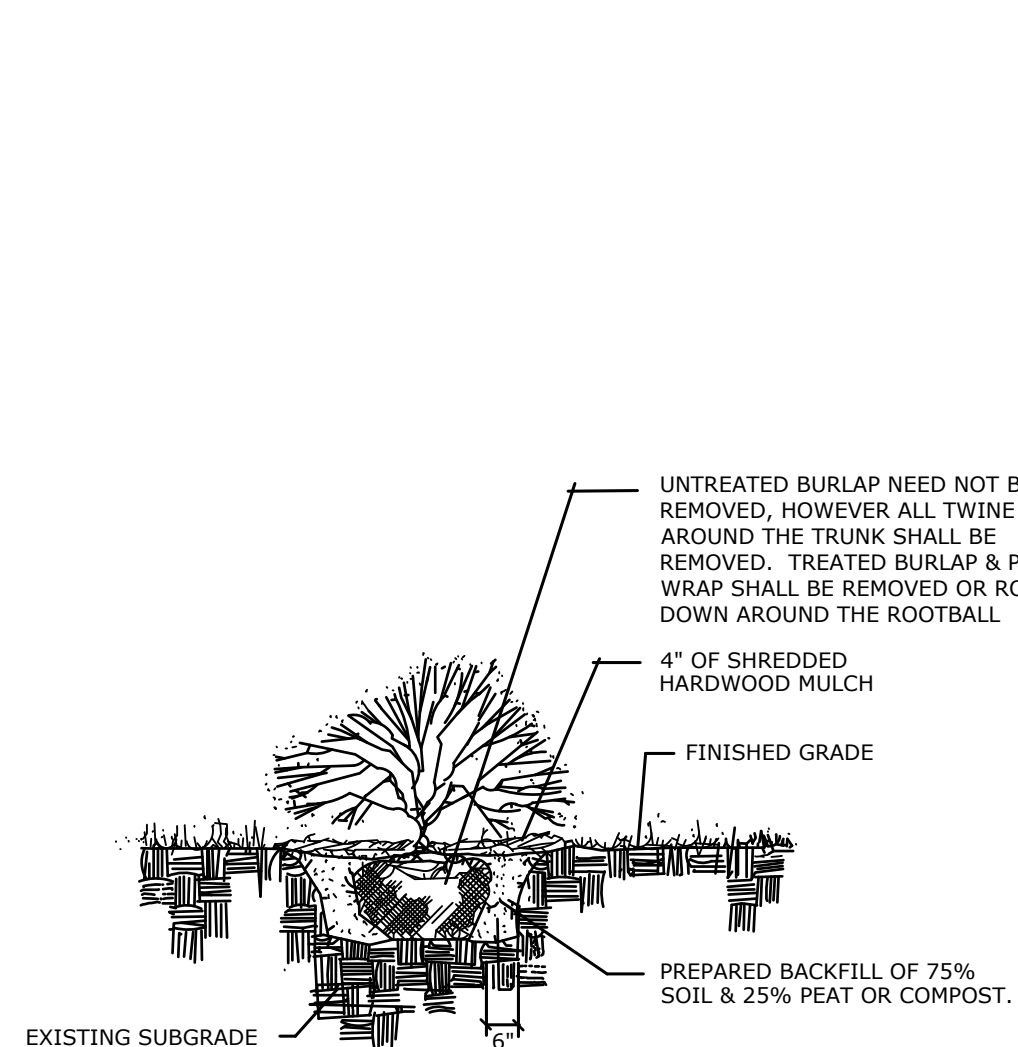
## PLANTING NOTES

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL MAKE A SITE VISIT PRIOR TO BIDDING/CONSTRUCTION TO INSPECT THE CURRENT SITE CONDITIONS AND REVIEW PROPOSED PLANTING PLAN AND RELATED WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE LANDSCAPE ARCHITECT AND/OR OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION CAN BE LOCATED BY CALLING 311. FOR REGIONAL LOCATING, CONTACT "DIGGER'S HOTLINE". ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- FOR DETAILS PERTAINING TO UTILITIES, EASEMENTS, GRADING, RETAINING WALLS, LAYOUT, GEOMETRY, WETLAND/FLOOD PLAIN DELINEATIONS, ETC., OR OTHER TRADES REFER TO ARCHITECTURAL AND CIVIL ENGINEERING PLANS AND/OR OWNER.
- CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND COST OF ALL NECESSARY BUILDING PERMITS AND CODE VERIFICATIONS. SUBMIT COPIES OF ALL DOCUMENTS TO OWNER AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL GRADE ENTIRE SITE TO CORRECT SURFACE IRREGULARITIES IN PREPARATION FOR SOIL/SEED. ROTO-TIL, DISC, DRAG, HARROW OR HAND RAKE SUB GRADE TO A DEPTH OF 4" IN ALL LAWN AREAS AND REMOVE CONSTRUCTION DEBRIS, FOREIGN MATTER OR STONES LARGER THAN 2". GRADING SHALL PROVIDE SLOPES WHICH ARE SMOOTH, CONTINUOUS, FREE FROM DEPRESSIONS OR RIDGES. LEVEL, RAKE AND ROLL AS NECESSARY TO AN EVEN AND TRUE CONDITION AND OBTAIN POSITIVE DRAINAGE IN ALL AREAS. FINISH GRASSES SHALL MEET THE APPROVAL OF OWNER PRIOR TO LAWN INSTALLATION.
- ALL DISTURBED AREAS ARE TO RECEIVE MINIMUM 6" OF TOPSOIL AND BE FINISHED WITH MULCH, STRAW MULCH, SEED, SOD, ETC. OR AS NOTED. ALL LAWN AREAS TO BE WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. (SEE SEED/SOD NOTES FOR ACCEPTANCE DETAILS).
- QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE; HOWEVER, THE CONTRACTOR SHOULD VERIFY ALL QUANTITIES. THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE LISTS.
- PLANTINGS MAY NEED TO BE ADJUSTED IN THE FIELD TO ACCOMMODATE UTILITIES, EASEMENTS, DRAINAGE WAYS, DOWNSPOUTS, ETC.; HOWEVER, QUANTITIES AND SIZES SHALL REMAIN CONSISTENT WITH THESE PLANS.
- SIZE & GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST ADDITION OF ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL BE NURSERY GROWN AND BE EITHER BALLED OR CONTAINER GROWN.
- ALL PLANT SPECIES SPECIFIED ARE SUBJECT TO AVAILABILITY. MATERIAL SHORTAGES IN THE LANDSCAPE INDUSTRY MAY REQUIRE SUBSTITUTIONS. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
- PLANT SYMBOLS ILLUSTRATED ON THIS PLAN ARE A GRAPHIC REPRESENTATION OF PROPOSED PLANT MATERIAL TYPES AND ARE INTENDED TO PROVIDE FOR VISUAL CLARITY. HOWEVER, THE SYMBOLS DO NOT NECESSARILY REPRESENT ACTUAL PLANT SPREAD AT THE TIME OF INSTALLATION. SIZES AND/OR SPREAD ON PLANT LIST REPRESENT MINIMUM REQUIREMENTS AT THE TIME OF INSTALLATION; MATURE GROWTH MAY EXCEED FIGURES LISTED.
- ANY PLANT MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUN SCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED BY LANDSCAPE ARCHITECT AND/OR OWNER. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED FOR IN THE PLANT LIST AS MULTI-STEM OR CLUMP.
- UPON INSPECTION AND ACCEPTANCE OF ALL LANDSCAPE ITEMS BY LANDSCAPE ARCHITECT AND/OR OWNER THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A PERIOD OF THIRTY (30) DAYS, FOR ALL PLANT MATERIAL, TO INCLUDE: WATERING, CULTIVATING, WEEDING, PRUNING, MULCHING AND SPRAYING AS NECESSARY TO KEEP PLANTS FREE OF INSECTS AND IN A HEALTHY, VIGOROUS CONDITION UNTIL RESPONSIBILITY IS TRANSFERRED TO THE OWNER (SEE BELOW).
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER. AFTER THE FIRST THIRTY (30) DAYS, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES AS DESCRIBED (SEE ABOVE). CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE LANDSCAPE ARCHITECT AT THE END OF ONE (1) YEAR GUARANTEE PERIOD. CONTRACTOR SHALL NOTIFY IMMEDIATELY, IN WRITING, ANY CONCERNS RELATED TO MAINTENANCE PRACTICES.
- PLANTING EDGE DELINEATION AT ALL PLANTING BED LINES AND TREE SAUCERS SHALL REQUIRE A MINIMUM 4" DEPTH "V" SHAPED CULTIVATED, SPADED EDGE WITH A VERTICAL FACE ABUTTING ALL LAWN AREAS AND SLOPED TO INSIDE OF PLANT BED CONTINUOUS WITH LAWN AND MULCHED AREAS AS INDICATED ON PLAN.
- ALL PLANTING BEDS AND TREE SAUCERS SHALL BE MULCHED CONTINUOUS WITH 3" DEPTH SHREDDED HARDWOOD MULCH, SEE PLANTING DETAILS. ALL DECIDUOUS TREES (SHADE / ORNAMENTAL) THAT ARE NOT LOCATED IN IN A PLANTING BED SHALL BE MULCHED WITH A 3'-0" DIAMETER CIRCLE. EVERGREEN TREES SHALL BE MULCHED TO OUTER-MOST BRANCHES AT THE TIME OF INSTALLATION.
- CONTRACTOR TO SEED ALL LAWN AREAS AS INDICATED ON PLAN. SEEDED LAWN TO BE A COMBINATION OF BLUEGRASS, PERENNIAL RYE AND RED FESCUE WITH THE SUGGESTED FOLLOWING ANALYSIS BY WEIGHT: 30% RUGBY KENTUCKY BLUEGRASS, 20% PARK KENTUCKY BLUEGRASS, 20% CREEPING RED FESCUE, 20% SCALDIS HARD FESCUE, AND 10% PERENNIAL RYEGRASS. SEED TO BE APPLIED AT A RATE OF 4 LBS. PER 1,000 S.F.. ALL SEEDED LAWN AREAS SHALL BE COVERED WITH STRAW MULCH OR EROSION CONTROL NETTING, CONSISTING OF HAND OR MACHINE APPLICATION AT A RATE OF 2 TON PER ACRE. MULCH SHALL BE COMPACT ENOUGH TO REDUCE EROSION OF SEED AND TOPSOIL BUT LOOSE ENOUGH TO ALLOW AIR TO CIRCULATE. INSTALL PER METHOD 1, SECTION 251, OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL SEEDED LAWN AREAS SHALL BE FERTILIZED AT INSTALLATION WITH 0-17-17 ANALYSIS, AT A RATE OF 6 LBS. PER 1,000 S.F.. A SECOND APPLICATION OF 17-30-10 TO BE APPLIED AT RATE OF 6 LBS. PER 1,000 S.F. AFTER THE FIRST CUTTING. ACCEPTANCE AND GUARANTEE NOTES SHALL APPLY TO ALL SEEDED AREAS.
- ACCEPTANCE OF GRADING AND SOD AND/OR SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF SIXTY (60) DAYS OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RE-SEEDING (WASH-OFFS), REPLACEMENT (SOD) AND OTHER OPERATIONS NECESSARY TO KEEP LAWN IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEED OR REPLACED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE OR DEAD SPOTS, NONE OF WHICH ARE LARGER THAN ONE (1) SQUARE FOOT AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL LAWN AREA.



## TREE PLANTING DETAIL

NOT TO SCALE



## SHRUB PLANTING DETAIL

NOT TO SCALE

PROJECT NAME  
OWNER'S NAMEHISTORIC AUTO  
ATTRACTIONS -  
FIRE TRUCK  
MUSEUM13825 METRIC ROAD  
ROSCOE, IL  
WINNEBAGO COUNTYWAYNE LENSING  
13825 METRIC ROAD  
ROSCOE, IL 61073  
(815) 369-7917

CONSULTANTS

ISSUED FOR

| 1. AGENCY REVIEW | DATE       |
|------------------|------------|
| 2. OWNER REVIEW  | 01-28-2026 |
| 3. OWNER REVIEW  | 02-24-2026 |
| 4. AGENCY REVIEW | 03-06-2026 |
| 5. AGENCY REVIEW | 03-10-2026 |
| 6. AGENCY REVIEW | 06-04-2026 |
| 7. ....          | 07-08-2026 |
| 8. ....          | ....       |
| 9. ....          | ....       |
| 10. ....         | ....       |
| 11. ....         | ....       |
| 12. ....         | ....       |

REVISIONS

| ITEM    | DATE |
|---------|------|
| 1. .... | .... |
| 2. .... | .... |
| 3. .... | .... |
| 4. .... | .... |
| 5. .... | .... |
| 6. .... | .... |

SHEET TITLE

## LANDSCAPE PLAN

DRAWN JO  
CHECKED LND  
PM RCSPROJECT NUMBER  
SHEET NUMBER

20034

L01



LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED BARRIER CURB
- PROPOSED EDGE OF PAVEMENT
- LIGHT POLE AND FIXTURE



C-AR-A-SAL3-S45L-SCCT-UL\_300W\_3000K.ies

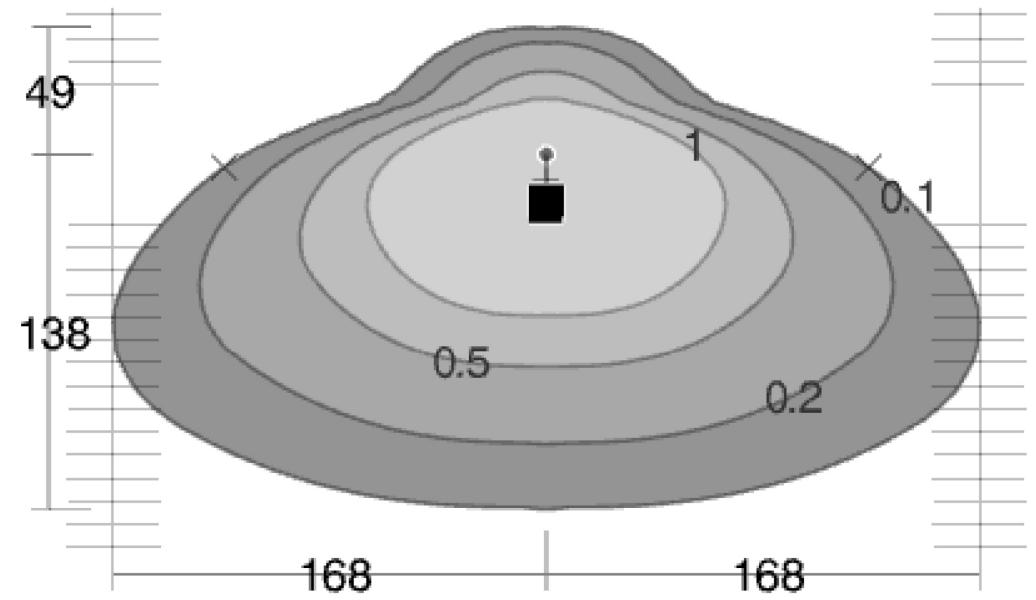
Cree Lighting  
C-AR-A-SAL3-S45L-SCCT-UL-xx (300W-30K) CONFIGURED FROM C-AR-A-SAL3-S30L-SCCT-UL-xx (200W-40K) CONFIGURED FROM C-Lite Area Light, Type III, 30L Adjustable Lumen Package and CCT, (200W-40K) Single (Arm), 20° Tilt



Luminaire Watts 300 W  
Ballast/Driver Factor 1.00  
Light Loss Factor 1.00  
Total Proration Factor 1.00  
Luminaire Lumens 40300 lms

2026-Mar-05  
Page 1/1

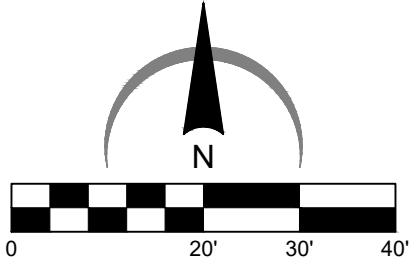
32 ft



Min: 0.10 fc X Avg: 0.76 fc Max: 6.9 fc +  
Max/Avg: 9.1 Avg/Min: 7.6 Max/Min: 69

Version 1.0.0

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BENCHMARKS

| DESCRIPTION                                          | ELEVATION (USGS) |
|------------------------------------------------------|------------------|
| BENCHMARK 1<br>X CUT IN MUELLER BOLT ON FIRE HYDRANT | 772.54           |
| BENCHMARK 2<br>X CUT IN MUELLER BOLT ON FIRE HYDRANT | 771.73           |

ARC DESIGN  
RESOURCES INC.

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VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Illinois Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

HISTORIC AUTO  
ATTRACTIONS -  
FIRE TRUCK  
MUSEUM

13825 METRIC ROAD  
ROSCOE, IL  
WINNEBAGO COUNTY

WAYNE LENSING  
13825 METRIC ROAD  
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| 11. ....         | ....       |
| 12. ....         | ....       |

REVISIONS

| ITEM    | DATE |
|---------|------|
| 1. .... | .... |
| 2. .... | .... |
| 3. .... | .... |
| 4. .... | .... |
| 5. .... | .... |
| 6. .... | .... |

SHEET TITLE

PHOTOMETRIC  
PLAN

DRAWN JO  
CHECKED LMD  
PM RCS

PROJECT NUMBER  
SHEET NUMBER

20034

P-01

**Affidavit - Proof of Publication**

**STATE OF WISCONSIN**  
**Rock County**

} **SS.**

**Michele Richardson** being duly sworn deposes and says that he/she is the principal clerk of Adams Publishing Group of Southern Wisconsin, publishers of **Beloit Daily News, BeloitDailyNews.com**, a newspaper published in Rock County, and that a notice, printed copy of which taken from said newspaper, is hereunto attached, was published in said newspaper on the following dates:

**07/23/26**

Publishing Fees: **\$31.28**

Signature:

[Redacted Signature]

Subscribed and sworn to before me  
 this **23rd day of July, A.D. 2026**

Notary Public

[Redacted Notary Signature]

My Commission Expires: **3/9/27**



VILLAGE OF ROSCOE  
 PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
 LEGAL NOTICE: ZONING BOARD OF APPEALS, ROSCOE, IL.

Public notice is hereby given pursuant to a petition on file in the Village Clerk's Office of the Village of Roscoe, that a public hearing will be held by the Zoning Board of Appeals on August 12, 2026, at 5:30 p.m. at Roscoe Village Hall, 10631 Main Street, Roscoe, Illinois.

The purpose of the public hearing is to consider an application submitted by Wayne Lensing for a Planned Unit Development (PUD) for the property located at 13750 Metric Road, Roscoe, Illinois, PIN: 04-18-326-003. The proposed Planned Unit Development would allow for the construction of a new building to expand the existing museum use. All interested persons are invited to attend the hearing and provide their input.

Respectfully submitted, Hilary Rottmann  
 Consulting Zoning Administrator, Village of Roscoe, IL.  
 Dated 21st Day of July 2026  
 July 23, 2026

WNAXLP