



Meeting Agenda

Location:

Village Hall -
10631 Main Street
Roscoe, IL 61073

Committee of the Whole

Tuesday, September 03, 2024
[immediately following Village Board Meeting]

CALL TO ORDER

ROLL CALL

APPROVAL OF THE MINUTES

- 1. Approval of the Minutes** for the meeting of the Committee of the Whole from **August 20, 2024.**

PUBLIC COMMENT (limited to 3 minutes per speaker)

OLD BUSINESS

NEW BUSINESS

- 2. Discussion and Recommendation** to the Board for approval of **Plat 2 of Glenwood Estates**
- 3. Discussion and Recommendation** to approve an agreement with Axon Enterprise, Inc. in the amount of \$5,278.50 to provide equipment for a newly hired police officer.

PUBLIC COMMENT (limited to 3 minutes per speaker)

PRESENTATIONS

EXECUTIVE SESSION (IF NECESSARY)

ADJOURNMENT



Meeting Minutes

Location:

Village Hall -
10631 Main Street
Roscoe, IL 61073

Committee of the Whole Meeting

Tuesday, August 20, 2024

CALL TO ORDER

Administrator Kurlinkus called to Committee of Whole Meeting

ROLL CALL

PRESENT

Trustee William Babcock
Trustee Stacy Mallicoat
Trustee Susan Petty
Trustee Justin Plock
Trustee Michael Sima
Trustee Michael Wright
Village President Carol Gustafson

APPROVAL OF THE MINUTES

Approval of the Minutes for the meeting of the Committee of the Whole from **August 7, 2024.**

Administrator Kurlinkus entertained a motion;

Motion made by Trustee Sima, Seconded by Trustee Plock.

Voting Yea: Trustee Babcock, Trustee Mallicoat, Trustee Petty, Trustee Plock, Trustee Sima, Trustee Wright

PUBLIC COMMENT (limited to 3 minutes per speaker)

None

OLD BUSINESS

1. **Approval of Resolution 2024-XX**, of entering into an Agreement with **Place Foundry Design PLLC** to provide design and owner's representative services for the construction of the Village's Main Street Business Incubator Project.

Administrator Kurlinkus summarized the request stating that this is the design proposal for Hodges Run and Main Street.

Administrator Kurlinkus entertained a motion;

Motion made by Trustee Plock to send to board as first reading, Seconded by Trustee Mallicoat.

Voting Yea: Trustee Babcock, Trustee Mallicoat, Trustee Petty, Trustee Plock, Trustee Sima, Trustee Wright

Trustee Plock stated he wanted it to be presented as a first reading so there is a formal meeting with the public next week and make the final reading at the next board meeting. Trustee Plock just wants to ensure transparency, so the public doesn't feel this was a done deal. President Gustafson stated that the tentative plan is to have five concrete pads by October.

2. Update and Discussion on **Bridge Street Parking and Multi-use Project**

Administrator Kurlinkus provided the board with an update to the project for Bridge Street Parking and Multi Use. Administrator Kurlinkus presented the board with visual display of the design for the parking lot, identifying the updates that were made to the design plans. There should be coming soon posters which will be 4x8 placed at the sites to provide the public with information of what is coming to the site. Administrator Kurlinkus provided the board with an overview design of the multi-use area, which is currently owned by Velvet Robot and Nick Sommers. The multi space will have an open space design with tables, stamped concrete patio for public use.

Trustee Plock inquired about the white house, is it completed, Administrator Kurlinkus stated the restoration will be completed this week.

Administrator Kurlinkas entertained a motion,

Motion made by Trustee Plock, Seconded by Trustee Mallicoat.

Voting Yea: Trustee Babcock, Trustee Mallicoat, Trustee Petty, Trustee Plock, Trustee Sima, Trustee Wright

NEW BUSINESS

3. **Discussion and Recommendation** to approve conference and travel expenses for Chief Hawley while attending **New Chiefs of Police Orientation**

Administrator Kurlinkus summarized the request for Chief Hawley to attend this training. This training is for Police Chiefs, this request is for per diem. Everything else is included in the training.

Motion made by Trustee Mallicoat, Seconded by Trustee Plock.

Voting Yea: Trustee Babcock, Trustee Mallicoat, Trustee Petty, Trustee Plock, Trustee Sima, Trustee Wright

4. **Discussion and recommendation** to the Board for approval of travel expenses for elected officials and staff attendance at the **2024 Illinois Municipal League Annual Conference on September 19-21, 2024** [estimated expenses of \$1,400.00 per attendee].

Administrator Kurlinkus summarized the request for those interested in attending the IML conferenct in September.

Administrator Kurlinkus entertained a motion;

Motion made by Trustee Plock, Seconded by Trustee Wright.

Voting Yea: Trustee Babcock, Trustee Mallicoat, Trustee Petty, Trustee Plock, Trustee Sima, Trustee Wright

5. Discussion and Recommendation of a **Special Event Permit** for the **Stateline Disc Golf Association (SDGA) & Outta Bounds Disc Golf Tournament** to be held at **Porter Park** on **November 2, 2024**.

Administrator Kurlinkus summarized request for the disc golf tournament. There was a request for use of the cabin for this tournament. The expected attendance is around 150, a little larger than the last one. Discussion around the use of cabin for non-for-profit events to come in the future.

Administrator Kurlinkus entertained a motion;

Motion made by Trustee Sima, Seconded by Trustee Babcock.

Voting Yea: Trustee Babcock, Trustee Mallicoat, Trustee Petty, Trustee Plock, Trustee Sima, Trustee Wright

PUBLIC COMMENT (limited to 3 minutes per speaker)

None

PRESENTATIONS

None

EXECUTIVE SESSION (IF NECESSARY)

ADJOURNMENT

Administrator Kurlinkus entertained a motion;

Motion made by Trustee Petty, Seconded by Trustee Plock.

Voting Yea: Trustee Babcock, Trustee Mallicoat, Trustee Petty, Trustee Plock, Trustee Sima, Trustee Wright

Development: Glenwood Estates Plat 2**PIN: # 04-14-428-001****Applicant: Glenwood Roscoe LLC/Dan Baumann**

The proposed improvements are located a short distance East of White School Road, bordered by Glenwood Drive to the North and Rhonda Drive to the South. New addresses will be assigned to each Lot after the Plat document is recorded.

The project entails the construction of the subdivision infrastructure and residential building construction for the 22 new single-family lots to be subdivided on this currently vacated property.

The infrastructure includes a hot mix asphalt roadway, concrete curb and gutter, storm sewer and a storm water detention area.

Ancillary work includes site grading, improvements of and existing storm water detention pond, installation and maintenance of erosion control best management practices and final site restoration.

Zoning

The Final Plat has been evaluated in accordance with the Development Agreement, Pre-Annexation Agreement, and the Village Code. All proposed lots meet the established requirements. Approval of the Glenwood Estates Final Plat 2 is recommended.

Engineering

The Roadway Improvement Plan, Stormwater Pollution Prevention Plan (SWPPP), Drainage Report, and Final Plat have been assessed for adherence to the Village of Roscoe's code of ordinances. All plans were found compliant with these regulations. A bond or certified check of \$351,080.00 is required to ensure that the developer completes the public improvements within one year from the date of the final plat recording. Approval of Glenwood Estates Final Plat 2 is recommended.

- GENERAL NOTES:**
1. CONTRACTOR SHALL NOTIFY THE VILLAGE OF ROSCOE AND OWNER'S REPRESENTATIVE 48 HOURS PRIOR TO START OF CONSTRUCTION. OWNERS REPRESENTATIVE SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF RESUMING WORK AFTER STOPPAGE AND BEFORE ANY PAVING OR CONCRETE WORK. PAVING, WALKS OR CURB INSTALLED WITHOUT OWNER REPRESENTATIVE APPROVAL OF SUBGRADE, BASE COURSE, FORM OR STRING LINES MAY BE REJECTED FOR PAYMENT.
 2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING DOCUMENTS:
 - a. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS (HEREIN AFTER CALLED "DOT SPECIFICATIONS")
 - b. SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS
 - c. CODE OF ORDINANCES FOR THE VILLAGE OF ROSCOE.
 3. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER AND VILLAGE OF ROSCOE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS & JOBSITE SAFETY AND ANY AND ALL DAMAGE TO EXISTING FACILITIES RESULTING FROM THE PERFORMANCE OF WORK UNDER THIS CONTRACT. CONTRACTOR SHALL CARRY LIABILITY INSURANCE NAMING OWNER, ENGINEER, THE VILLAGE AND ITS CONSULTANTS AS ADDITIONAL INSURERS. MINIMUM INSURANCE COVERAGE SHALL BE IN ACCORDANCE WITH DOT STANDARDS OR APPROVED BY ENGINEER.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS, INCLUDING, A RIGHT-OF-WAY PERMIT FROM ROSCOE TOWNSHIP, THE CONSTRUCTION AND EROSION CONTROL PERMIT FROM THE VILLAGE AND CONNECTION PERMITS FROM THE FOUR RIVERS SANITATION AUTHORITY (FRSA). IN ADDITION TO THESE DRAWINGS AND THE STANDARDS REFERENCE HEREIN, ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PERMITS.
 6. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY RELOCATIONS REQUIRED BY THE WORK IN THIS CONTRACT.
CONTACT JULIE AT 1-800-892-0123 OR DIAL 811
 8. THE STORM WATER DETENTION AREA WAS CONSTRUCTED DURING THE PLAT NO. 1 PROJECT, BUT THE OVERFLOW SPILLWAY WILL BE REVISED TO ACCOMMODATE THE PLAT NO. 2 DEVELOPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE OF THE SITE TO THE EXISTING DETENTION AREA AT THE END OF EACH WORKING DAY.
 9. ALL PAVEMENT AND CURB & GUTTER REMOVAL SHALL BE COMPLETED WITH A CLEAN VERTICAL SAW CUT.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A CONSTRUCTION SITE THAT IS SAFE FOR ALL MOTORISTS, CONSTRUCTION PERSONNEL, PEDESTRIANS AND NEARBY RESIDENTS.
 11. THIS PROJECT INVOLVES MINIMAL IMPACT TO TRAFFIC ON VILLAGE ROADWAYS. NO LANE OR ROAD CLOSURES ARE ALLOWED AS PART OF THIS PROJECT.
 12. CONSTRUCTION VEHICLES SHALL OPERATE CAREFULLY WHEN EXITING THE JOBSITE ONTO BRADLEY DRIVE OR RACCOON RUN.

- EARTHWORK NOTES:**
1. LIMITED GEOTECHNICAL INFORMATION FOR THE PROPOSED IMPROVEMENT AREA IS AVAILABLE. CONTRACTORS SHALL CONTACT THE OWNER AT (779) 423-0548 TO REQUEST ACCESS TO THE SITE TO PERFORM TEST EXCAVATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE EXISTING SOIL LOCATIONS PRIOR TO THE PREPARATION OF A CONSTRUCTION BID.
 2. TOPSOIL UNDER PAVEMENTS SHALL BE STRIPPED AND STOCKPILED ONSITE. INACTIVE STOCKPILES SHALL BE STABILIZED WITH EROSION CONTROL SEEDING AS OUTLINED IN THE EROSION CONTROL NOTES. TOPSOIL SHALL BE RE-Spread FOR SITE RESTORATION IN ALL LAWN AREAS OR USED IN THE CONSTRUCTION OF THE DETENTION AREA BERM AND OVERFLOW SPILLWAY. EXCESS TOPSOIL SHALL BE STORED ONSITE FOR FUTURE PROJECTS UNLESS OTHERWISE DIRECTED BY THE OWNER.
 3. SAND OR CLAY FILL MATERIAL IN EXCAVATED AREAS SHALL BE USED ONSITE AS ENGINEERED FILL UNDER ROADS, DRIVES OR BUILDINGS. INACTIVE STOCKPILES SHALL BE COVERED WITH 4" (MIN.) TOPSOIL AND STABILIZED WITH EROSION CONTROL SEEDING AS OUTLINED IN THE EROSION CONTROL NOTES. EXCESS FILL MATERIAL SHALL NOT BE HAULED OFFSITE UNLESS REQUESTED BY THE OWNER.
- FOUR RIVERS SANITATION AUTHORITY (FRSA) GENERAL NOTES:**
1. THE SANITARY SEWER WITHIN THE PROJECT LIMITS WAS INSTALLED AS PART OF THE PLAT NO. 1 CONSTRUCTION PROJECT, AND PUNCH LIST WORK WAS COMPLETED TO ALLOW CONNECTION OF THE SINGLE FAMILY HOMES CONSTRUCTED ON THE PLAT NO.1 LOTS.
 2. SANITARY SEWER WORK ON THIS PROJECT IS MINIMAL AND CONSISTS OF ADJUSTING THE EXISTING MANHOLE FRAMES AND LIDS WITHIN THE PROPOSED ROADWAY. THE FRSA CHIEF INSPECTOR, BEN CHRISTIANSEN SHALL BE CONTACTED AT (815) 209-7952 PRIOR TO ANY WORK ON THE EXISTING SANITARY SEWER. ALL SANITARY SEWER CONSTRUCTION PERFORMED IN THE ABSENCE OF A FRSA INSPECTOR WILL NOT BE ACCEPTED.
 3. THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN THE STATE OF ILLINOIS, LATEST EDITION, AND THE REQUIREMENTS OF FRSA.
 4. NOTICE ALLOWING CONNECTIONS MUST BE ISSUED BY THE FRSA BEFORE INDIVIDUAL SERVICE CONNECTIONS WILL BE PERMITTED UNDER THE STANDARD FRSA SERVICE CONNECTION PERMIT PROCESS.
 5. THE PERMIT HOLDER IS RESPONSIBLE FOR THE SANITARY SEWER SYSTEM WORKMANSHIP AND MATERIALS FOR 2 YEARS AFTER THE FRSA ISSUED NOTICE OF ACCEPTING THE SEWER, AND FOR SANITARY SEWER TRENCH SETTLEMENT FOR A PERIOD OF THREE (3) YEARS AFTER COMPLETION OF THE PROJECT.
 6. THE SANITARY SEWER SERVICE FOR EACH LOT IN PLAT NO. 2 OF GLENWOOD ESTATES WAS INSTALLED AS PART OF THE PLAT NO. 1 IMPROVEMENT PROJECT. THE LOCATION AND DEPTH OF THE EXISTING PIPE HAS BEEN SHOWN BASED ON FRSA RECORD DRAWINGS. PRIOR TO THE START OF SINGLE FAMILY HOME CONSTRUCTION ON AN INDIVIDUAL LOT, THE EXISTING SANITARY SEWER SERVICE SHALL BE PHYSICALLY LOCATED. IF THE INVERT ELEVATION IS MORE THAN 0.25' HIGHER THAN SHOWN IN THESE DRAWINGS, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.

- WATER MAIN NOTES:**
1. ALL LOTS WILL BE SERVED BY A PRIVATE WELL TO BE INSTALLED DURING CONSTRUCTION OF THE SINGLE FAMILY HOME. THERE ARE NO WATER MAIN IMPROVEMENTS INVOLVED WITHIN THIS PROJECT.
- PAVEMENT NOTES:**
1. HOT MIX ASPHALT (HMA) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH IDOT SECTION 406 AND MEET THE FOLLOWING DESCRIPTION.
HMA SURFACE COURSE: PO 64-22
HMA BINDER COURSE: PO 64-22
• 4% DESIGN AIR VOIDS AT N50
• MIXTURE COMPOSITION IL-9.5 OR SMA-9.5
• FRICTION AGGREGATE C

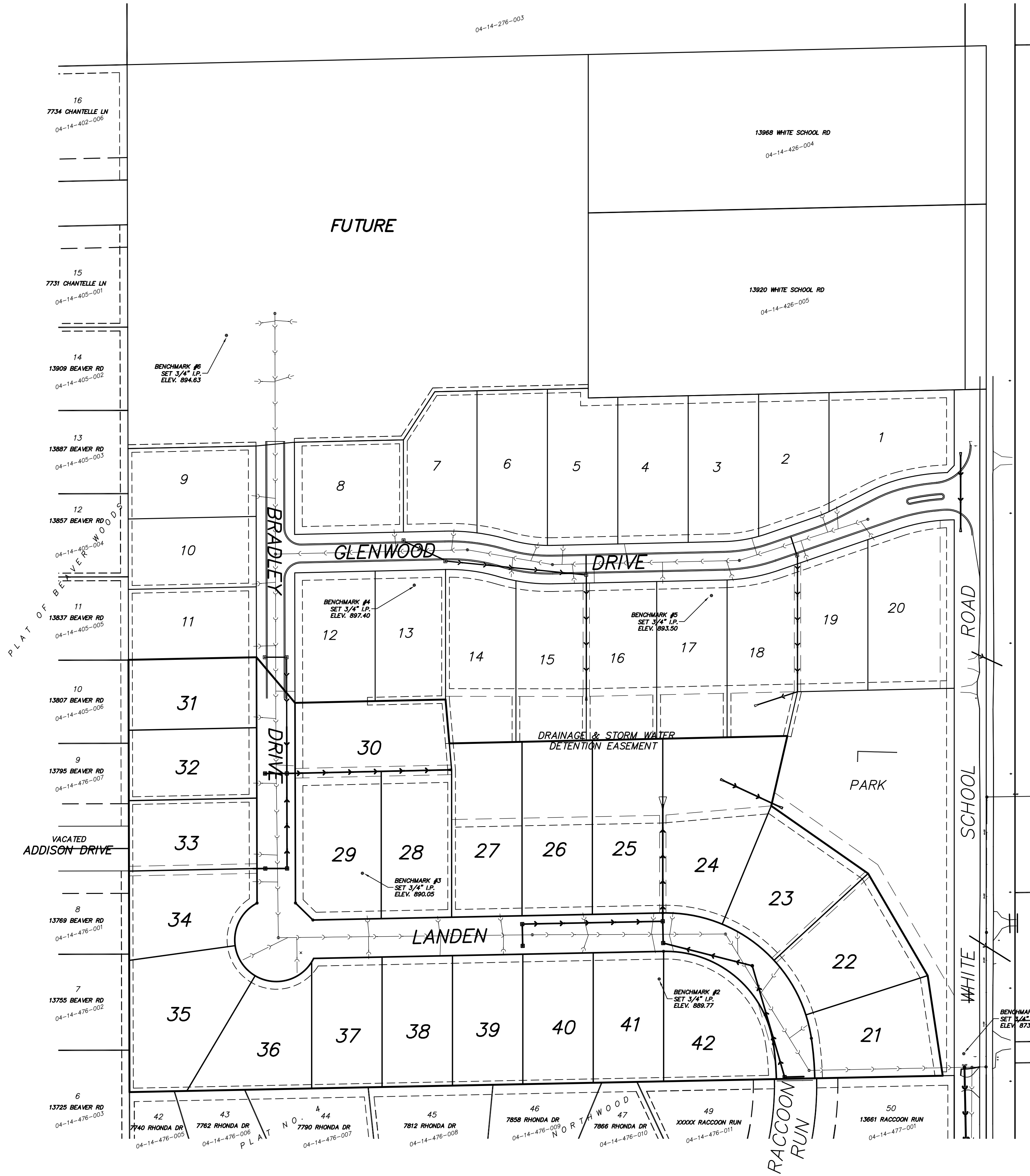
- ALL HMA MIXES SHALL BE IDOT APPROVED
- NO HMA PAVING SHALL BE COMPLETED OVER DETERIORATED OR DIRTY AGGREGATE BASE COURSE OR HMA BINDER COURSE.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE COURSE, THE PROPERLY PREPARED SUBGRADE SHALL UNDERGO A DENSITY TEST PER IDOT ARTICLE 205.06 (ILLINOIS MODIFIED AASHTO T 310 DIRECT TRANSMISSION DENSITY). ALL UNSUITABLE AREAS SHALL BE UNDERCUT PER THE DETAIL.
- PRIOR TO PAVING OF THE HMA BINDER COURSE, THE PREPARED AGGREGATE BASE COURSE SHALL UNDERGO A PROOF ROLL TEST PER IDOT SECTION 351. UNSUITABLE AREAS SHALL BE UNDERCUT PER THE DETAIL.
- PRIOR TO PAVING ON PREPARED AGGREGATE BASES, A PRIME COAT SHALL BE APPLIED. PRIOR TO PAVING ON MILLED HMA AND NEW HMA BINDER COURSE, A TACK COAT SHALL BE APPLIED. THIS WORK SHALL BE COMPLETED IN ACCORDANCE WITH IDOT ARTICLE 406.05.
- CONCRETE CURB & GUTTER SHALL BE CONSTRUCTED PER IDOT SECTION 606.

- EROSION CONTROL NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL (IUM) GOVERNING EROSION AND SEDIMENT CONTROL AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). NOTE THAT THE SWPPP IS A SEPARATE WRITTEN DOCUMENT THAT IS NOT A PART OF THIS PLAN SET.
 2. THE EROSION AND SEDIMENT CONTROL PLAN IS DYNAMIC AND CAN BE CHANGED TO MEET DIFFERING SITE CONDITIONS.
 3. THE STABILIZED CONSTRUCTION ENTRANCES, SILT FENCE AND PROTECTION OF EXISTING STORM INLETS / PIPE CULVERTS SHALL BE INSTALLED BEFORE THE START OF EARTHWORK OR OTHER GROUND DISTURBING ACTIVITIES.
 4. IN AREAS WHERE WORK HAS TEMPORARILY CEASED, SOIL STABILIZATION SHALL BE IMPLEMENTED. EROSION CONTROL SEEDING USED FOR TEMPORARY STABILIZATION SHALL BE COMPLETED IN ACCORDANCE WITH IUM PRACTICE STANDARD 965. MULCHING FOR SOIL STABILIZATION SHALL BE COMPLETED PER IUM PRACTICE STANDARD 875. SOIL STABILIZATION SHALL BE IMPLEMENTED AS SOON AS POSSIBLE AFTER SUSPENSION OF WORK.
 5. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH IUM PRACTICE STANDARD 930. ALL CONSTRUCTION TRAFFIC SHALL ENTER/EXIT THE JOBSITE FROM THE STABILIZED CONSTRUCTION ENTRANCE. IF ADDITIONAL ACCESS POINTS ARE USED FOR THE JOBSITE INGRESS/EGRESS, ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
 6. DISTURBED GROUND IN LAWN / LANDSCAPE AREAS SHALL BE RESTORED WITH 6" (MIN.) TOPSOIL, LAWN SEED AND FERTILIZER IN ACCORDANCE WITH IDOT SECTIONS 211 AND 280. THE TOPSOIL SHALL CONSIST OF ONSITE MATERIAL THAT WAS STRIPPED IN ANTICIPATION OF PAVEMENT OR BUILDING CONSTRUCTION. SEED MIXTURES IN THE RIGHT-OF-WAY AREAS SHALL BE IDOT CLASS 1A (SALT TOLERANT LAWN). SEED MIXTURES ON PRIVATE PROPERTY, INCLUDING ANY DRAINAGE, DETENTION OR STORM SEWER EASEMENT SHALL BE IDOT CLASS 1B (LOW MAINTENANCE LAWN).
 7. HEAVY DUTY EROSION CONTROL BLANKET AND TURF REINFORCEMENT MAT SHALL BE INSTALLED FOR GROUND STABILIZATION AS SHOWN IN THE PLANS. HEAVY DUTY EROSION CONTROL BLANKET SHALL BE S150 OR SC150 BY NORTH AMERICAN GREEN. TURF REINFORCEMENT MAT (TRM) SHALL BE TRM C350 BY NORTH AMERICAN GREEN. ALL DISTURBED SOILS ARE TO BE COVERED WITH HEAVY DUTY EROSION CONTROL BLANKET OR TRM SHALL BE STABILIZED WITH STANDARD EROSION CONTROL BLANKET, CONFORMING TO PRODUCT DS75 BY NORTH AMERICAN GREEN. SUBSTITUTE PRODUCTS ARE ALLOWED IF APPROVED BY THE ENGINEER.
 8. AN INSPECTION OF ALL EROSION CONTROL AND SLOPE STABILIZATION MEASURES SHALL BE PERFORMED EVERY 7 DAYS AND AFTER EACH RAINFALL EVENT OF 0.5" OR MORE. ANY DEFICIENCIES NOTED DURING THIS INSPECTION SHALL BE REPAIRED AS DIRECTED BY THE EROSION CONTROL INSPECTOR. THE REPAIR TIME MAY VARY BASED ON THE URGENCY OF THE SITUATION, BUT SHALL NOT EXCEED 7 DAYS. DURING EXTENDED PERIODS WHEN THE JOBSITE IS INACTIVE DUE TO WINTER OR FROZEN GROUND CONDITIONS, EROSION CONTROL INSPECTIONS SHALL BE PERFORMED A MINIMUM OF ONE TIME PER MONTH, AND AFTER ANY RAINFALL GREATER THAN 0.5" OR EQUIVALENT SNOW MELT.
 9. ADJACENT ROADWAYS SHALL BE INSPECTED AT THE END OF EACH WORK DAY. PAVEMENT SHALL BE CLEANED OR SWEEPED AS NECESSARY TO PREVENT TRACK-OFF OF SEDIMENT.
 10. ROLLED EROSION CONTROL PRODUCTS SHALL BE INSTALLED AS TEMPORARY DITCH CHECKS AS SHOWN IN THE DRAWINGS AND DETAILS. THE DITCH CHECKS SHALL EXTEND ACROSS THE ENTIRE CROSS-SECTION OF THE DRAINAGE DITCH AND/OR SWALE.
 11. FILTERS SHALL BE INSTALLED IMMEDIATELY AFTER THE STORM INLETS HAVE BEEN INSTALLED. FOR SPECIAL INLETS WITH REAR OPENINGS, A FILTER SHALL BE INSTALLED ON BOTH SIDES OF THE STRUCTURE, FOR OPEN GRATE STORM MANHOLES, A DROP-IN FILTER SHALL BE USED.
 12. ALL TOPSOIL STOCKPILES SHALL HAVE SEDIMENT BARRIER PLACED AROUND THE STOCKPILE. THE FOURTH SIDE SHALL BE GRADED SO THAT FLOWS TOWARDS THE STOCKPILE OR RUNOFF FROM THE STOCKPILE WILL BE TRAPPED TO ALLOW SEDIMENT TO SETTLE OUT.
 13. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY CONCRETE WASHOUT FACILITIES PER IUM PRACTICE STANDARD 954. THE LOCATIONS OF THE WASHOUT FACILITIES SHOWN IN THE DRAWINGS ARE APPROXIMATE AND MAY BE RELOCATED AS NEEDED.
 14. ALL TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL GROWTH OF THE FINAL TURF PROVIDES AT LEAST 70 PERCENT COVERAGE AT ANY LOCATION ON THE PROJECT SITE. THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REQUESTED PRIOR TO REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROLS. AFTER THE FINAL INSPECTION IS COMPLETE AND TEMPORARY EROSION CONTROL MEASURES HAVE BEEN REMOVED, THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING THE NOTICE OF TERMINATION FORM TO THE IEPA TO CLOSE-OUT THE NPDES PERMIT.

ROADWAY IMPROVEMENT PLANS

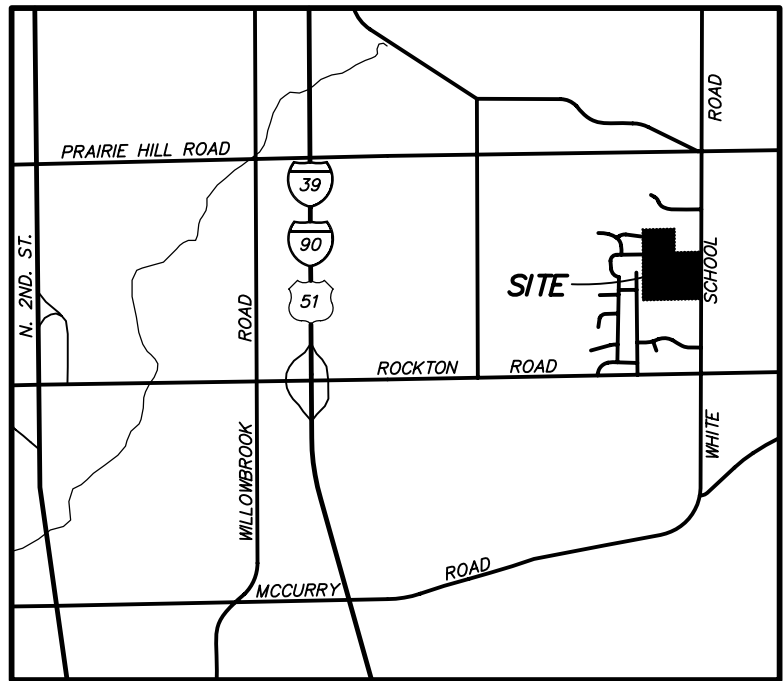
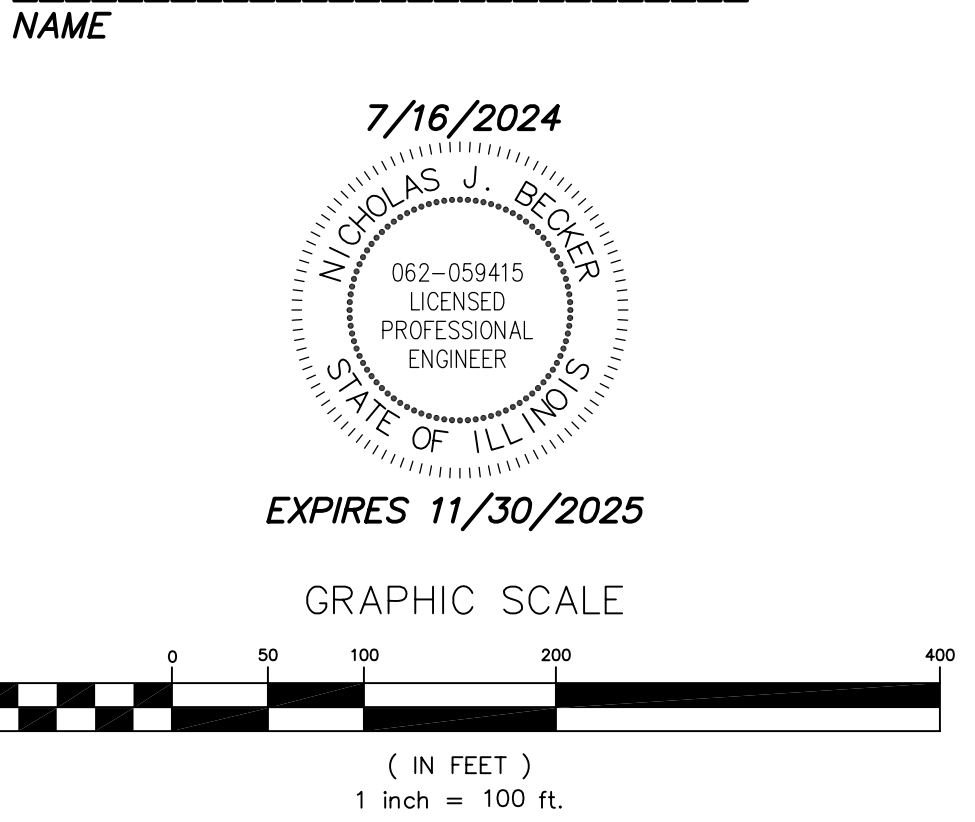
FOR

PLAT NO. 2 OF GLENWOOD ESTATES



SHEET INDEX	
SHEETS	DESCRIPTION
1.	COVER SHEET
2.	BRADLEY DRIVE
3.	LANDEN DRIVE
4.	LANDEN DRIVE
5.	GRADING/EROSION PLAN
6.	STORM SEWER DETAIL
7.	EROSION CONTROL DETAIL

I HEREBY CERTIFY THAT THE ELEVATIONS SHOWN HEREON WERE BASED ON WINGIS MONUMENT 21.2N - 12.1E WHICH HAS A PUBLISHED ELEVATION OF 867.65 AND IS LOCATED NEAR THE INTERSECTION OF ROCKTON ROAD AND COUNTY LINE ROAD.



LOCATION MAP
PREPARED BY:
R.K. JOHNSON & ASSOCIATES, INC.
CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS
1515 WINDSOR ROAD LOVES PARK, ILLINOIS 61111
(815) 633-5097 (815) 633-4593 (FAX)
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004994
FEBRUARY 29, 2024 JOB NO. 14935-2
SHEET 1 OF 7
REVISED PER VILLAGE COMMENTS: 7-16-2024

CALL J.U.L.I.E. 1-800-892-0123
48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS

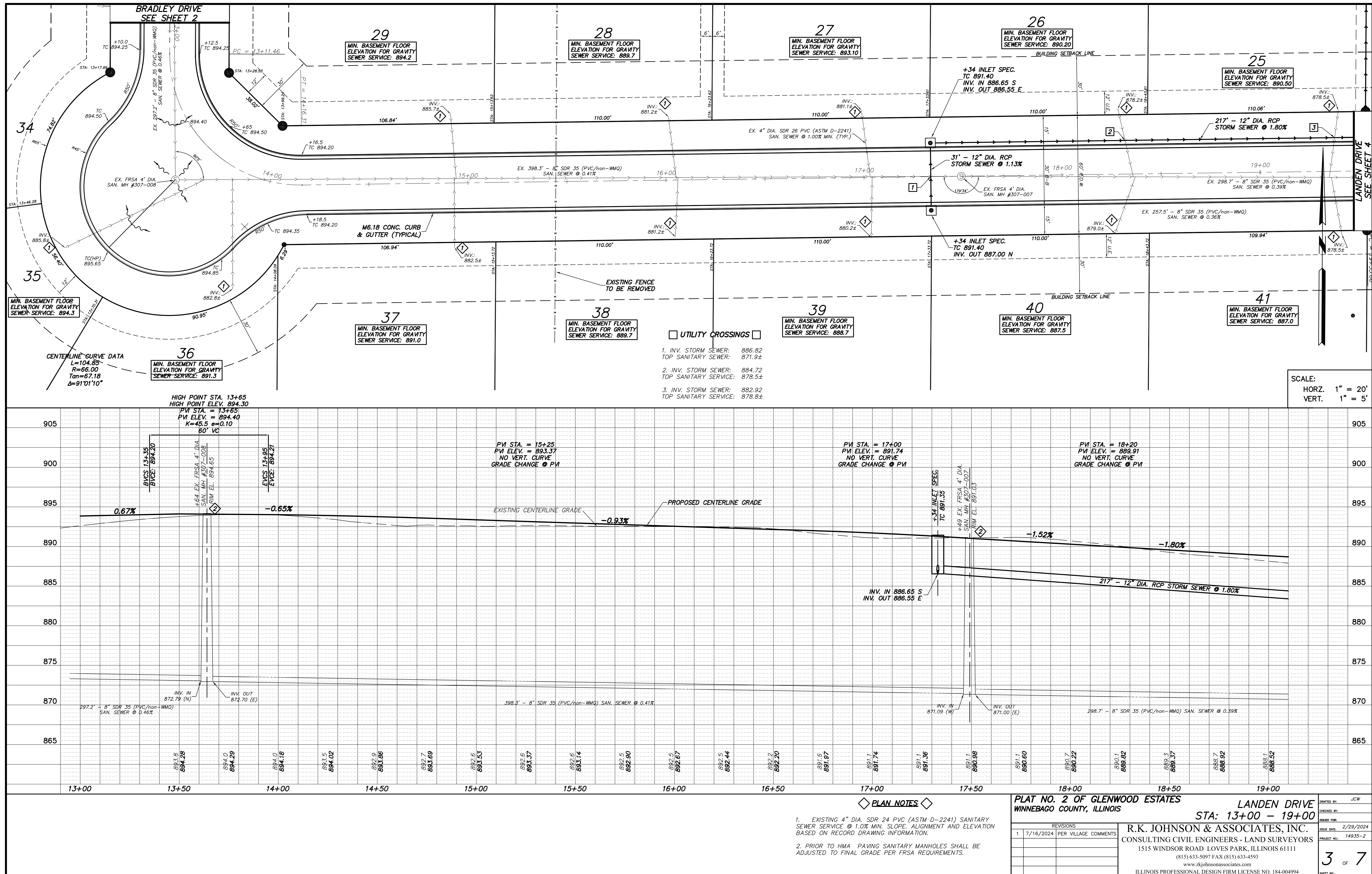


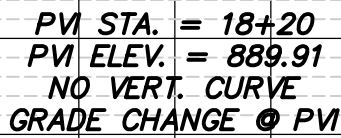
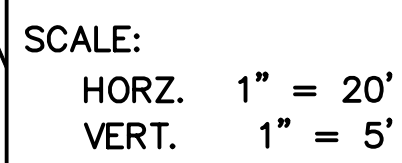
INVERT VARIES SIGNIFICANTLY FROM 891.30, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY. THE SPIGOT END OF THE PIPE SHALL BE CLEANED AND PREPARED WITH MASTIC PRIOR TO INSTALLATION OF NEW RCP STORM SEWER.

4. THE INVERT ELEVATION OF THE EXISTING SPECIAL INLET SHALL BE VERIFIED BY THE CONTRACTOR AT THE START OF THE PROJECT. IF THE ELEVATION VARIES SIGNIFICANTLY FROM 890.60, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.

5. ADJUST STORM INLET TO FINAL GRADE PER IDOT SECTION 602.

PLAT NO. 2 OF GLENWOOD ESTATES WINNEBAGO COUNTY, ILLINOIS		BRADLEY DRIVE STA: 9+00 - 14+00		DRAFTED BY: JCW CHECKED BY:
REVISIONS		R.K. JOHNSON & ASSOCIATES, INC. CONSULTING CIVIL ENGINEERS - LAND SURVEYORS 1515 WINDSOR ROAD, LOVES PARK, ILLINOIS 61111 (815) 633-5097 FAX (815) 633-4593 www.rkjohnsonassociates.com ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004994		ISSUED FOR: ISSUE DATE: 2/29/2024 PROJECT NO.: 14935-2
1	7/16/2024	PER VILLAGE COMMENTS	2 OF 7 SHEET NO.	





LOW POINT STA. 19+54
LOW POINT ELEV. 888.20
PVI STA. = 19+25
PVI ELEV. = 888.02
 $K=39.0$ $e=0.26$
30' VC

OUTH SIDE
V. IN 882.35 E
V. OUT 882.25 N

HIGH POINT STA. 22+00
HIGH POINT ELEV. 889.41
PVI STA. = 22+45.00
PVI ELEV. = 889.66
K = 22.8
e = -0.66
110' VC

3. TAPER CURB HEAD OVER 3'

1. EXISTING 4" DIA. SDR 26 PVC (ASTM D-2241) SANITARY SEWER SERVICE @ 1.0% MIN. SLOPE. ALIGNMENT AND ELEVATION BASED ON RECORD DRAWING INFORMATION.

4. PRIOR TO HMA PAVING SANITARY MANHOLES SHALL BE ADJUSTED TO FINAL GRADE PER FRSA REQUIREMENTS.

2. MATCH EXISTING HMA PAVEMENT ON RACON RUN.
CONTRACTOR SHALL SAW CUT AND REMOVE NARROW STRIP
(1' APPROX.) EXISTING HMA SO THAT THE NEW ROADWAY
CAN MEET THE EXISTING AT A CLEAN, VERTICAL BUTT JOINT
REMOVE EXISTING TEMPORARY TURN AROUND PAVEMENT AS
REQUIRED BY THE VILLAGE.

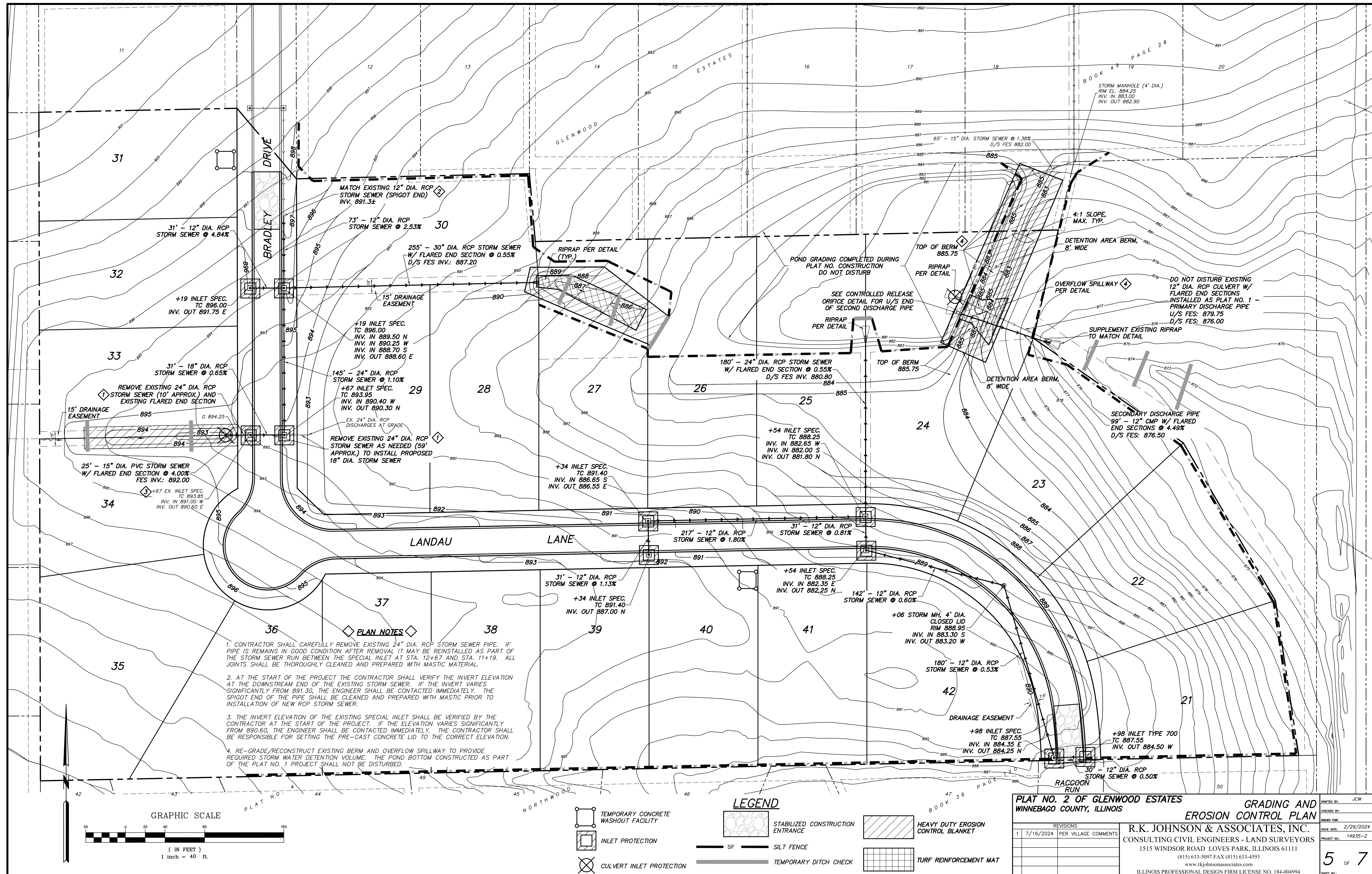
PLAT NO. 2 OF GLENWOOD ESTATES
WINNEBAGO COUNTY, ILLINOIS

LANDEN DRIVE
STA: 17+25 - 23+01

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DRAFTED BY: JCW
CHECKED BY:
ISSUED FOR:
ISSUE DATE: 2/29/2024
PROJECT NO.: 14935-2

4 OF 7



NOTES:

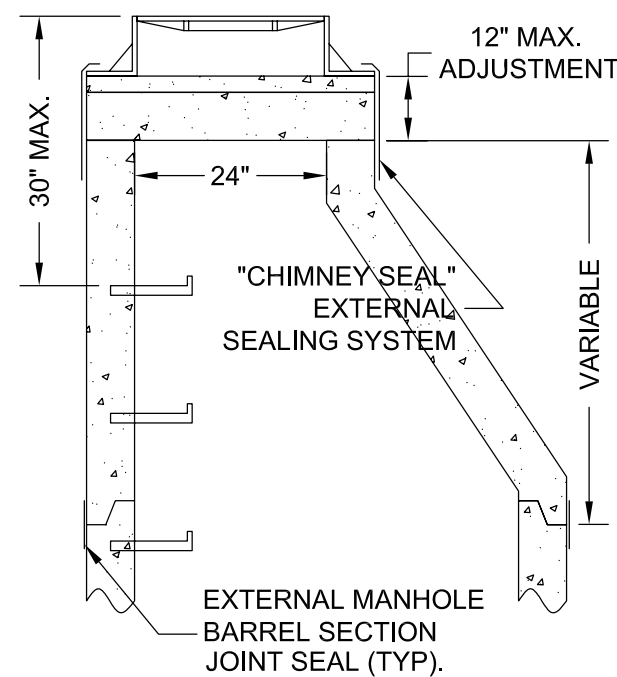
- 1.MANHOLE FRAMES & LIDS SHALL BE PER THE TABLE BELOW.
- 2.FOR MANHOLES CONNECTED TO MAINS 18" DIAMETER OR LARGER, OR FOR MANHOLES LOCATED IN FLOOD PRONE AREAS, FRAMES & LIDS SHALL BE THE BOLT DOWN TYPE.
- 3.ALLOWABLE TYPES OF ADJUSTING RINGS INCLUDE PRECAST CONCRETE (4" HEIGHT MIN.), & EXPANDED POLYPROPYLENE (EPP). THESE CAN BE USED IN CONJUNCTION WITH EACH OTHER, EXCEPT THAT A PRECAST RING SHALL NOT BE PLACED OVER AN EPP RING.
- 4.FOR PRECAST ADJUSTING RINGS, ALL ADJUSTING RING JOINTS AS WELL AS THE FRAME TO ADJUSTING RING JOINT SHALL BE SEALED WITH TWO 1" BEADS OF PRE-FORMED RUBBER BUTYL JOINT SEALANT. WHEN A FRAME REQUIRES PITCHING, EPP TAPER RINGS SHALL BE USED PER NOTE 5.
- 5.FOR EPP ADJUSTING RINGS, RINGS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. WHEN A FRAME REQUIRES PITCHING, THE TOP RING SHALL BE A TAPERED ADJUSTMENT RING PER MANUFACTURER'S INSTRUCTIONS.
- 6.NO TARRING OR GROUTING IS ALLOWED ON THE INSIDE OF MANHOLE OR ADJUSTMENT JOINTS.
- 7.MAXIMUM MANHOLE ADJUSTMENT IS 12". MINIMUM ADJUSTMENT IS 4" UNLESS OFF-ROAD OR IN CURB & GUTTER ROADWAY.
- 8.MANHOLE FRAMES SHALL BE SET 1/4" MIN. TO 3/8" MAX. BELOW PAVED SURFACES, AND AT FINAL GRADE IN TURF AREAS.
- 9.WHEN ADJUSTING EXISTING MANHOLES, THE ENTIRE EXISTING ADJUSTMENT SHALL BE REMOVED AND REPLACED.
- 10.THE COMBINATION OF NEW ADJUSTING RINGS

SHALL BE SUCH THAT THE MINIMUM NUMBER OF RINGS POSSIBLE ARE USED.

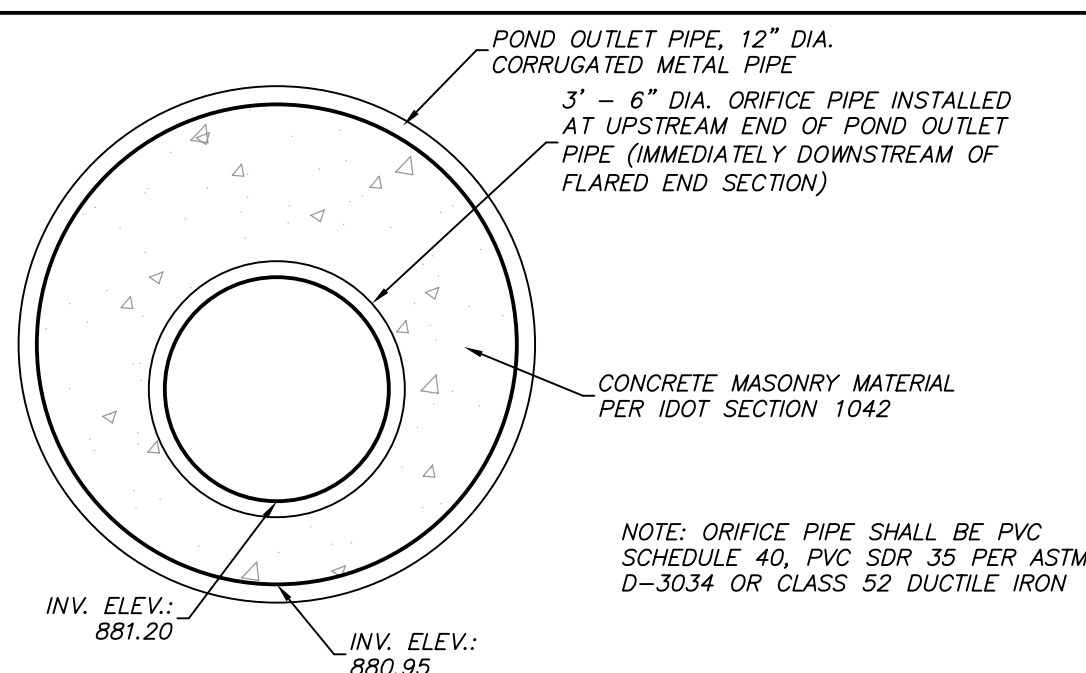
- 11.FLAT-TOPS ARE NOT PERMITTED ON 4" OR 5" DIA. MANHOLES.
- 12.REPLACEMENT OF EXISTING BARREL SECTIONS MAY BE REQUIRED TO MEET THE ABOVE REQUIREMENTS.
- 13.MANHOLE ADJUSTMENT INSERT RISER RINGS ARE NOT APPROVED FOR USE.

APPROVED FRAME & LID TABLE

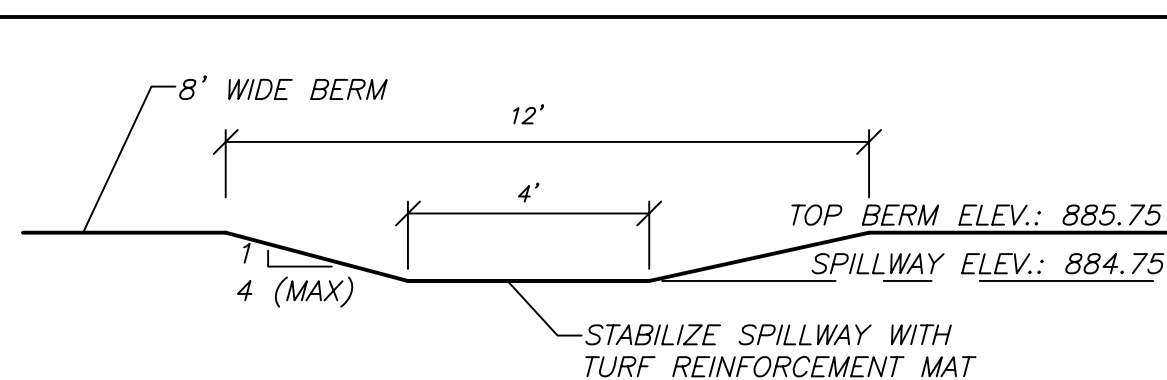
TYPE	NEENAH FRAME	NEENAH LID	EAST JORDAN FRAME	EAST JORDAN LID
REGULAR	1670-2004	R-1670-0358	00111711	00111732
LOW PROFILE	1670-2008	R-1670-0358	—	—
BOLT DOWN	1915JT08	—	—	—



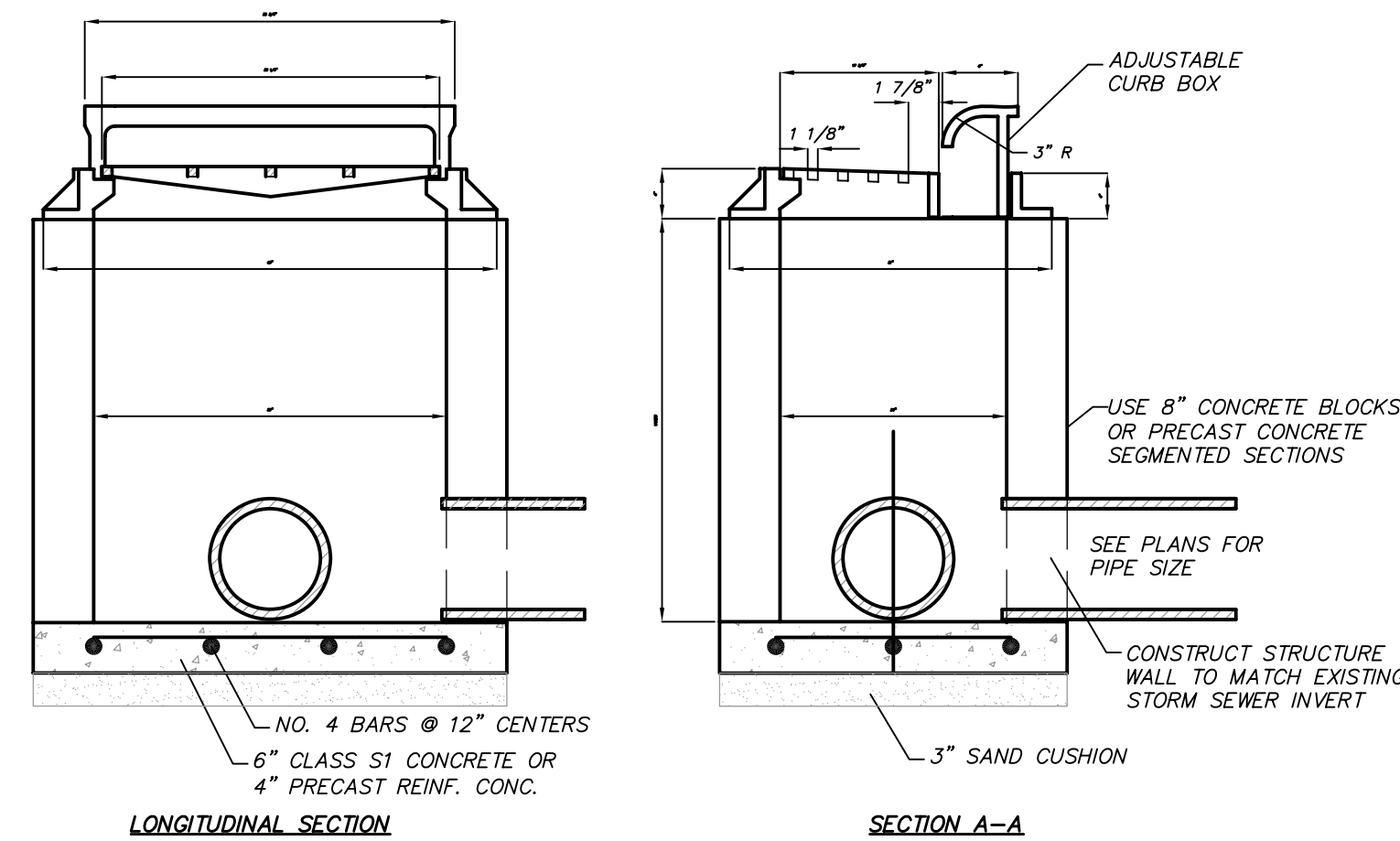
MANHOLE ADJUSTMENT DETAIL
(FOR ADJUSTMENT OF BOTH NEW & EXISTING MANHOLES)



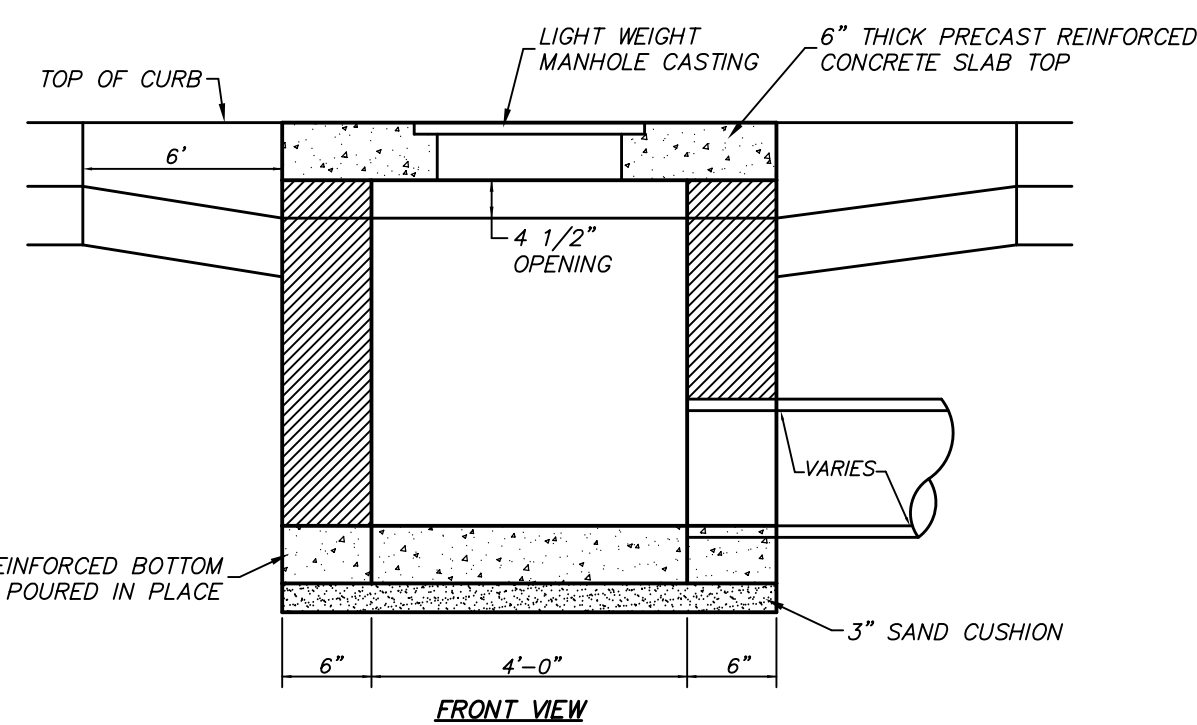
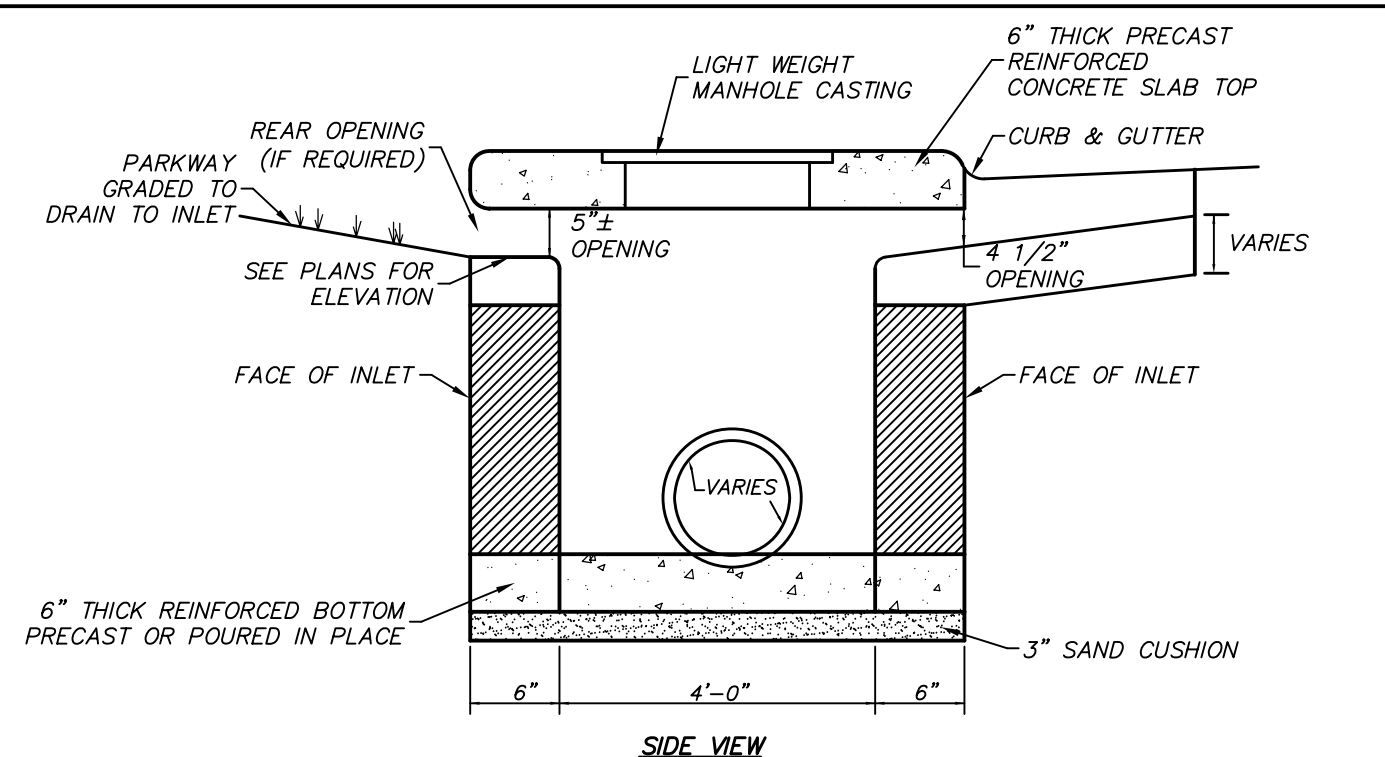
**SECONDARY DISCHARGE PIPE
CONTROLLED RELEASE ORIFICE**



DETENTION AREA OVERFLOW SPILLWAY

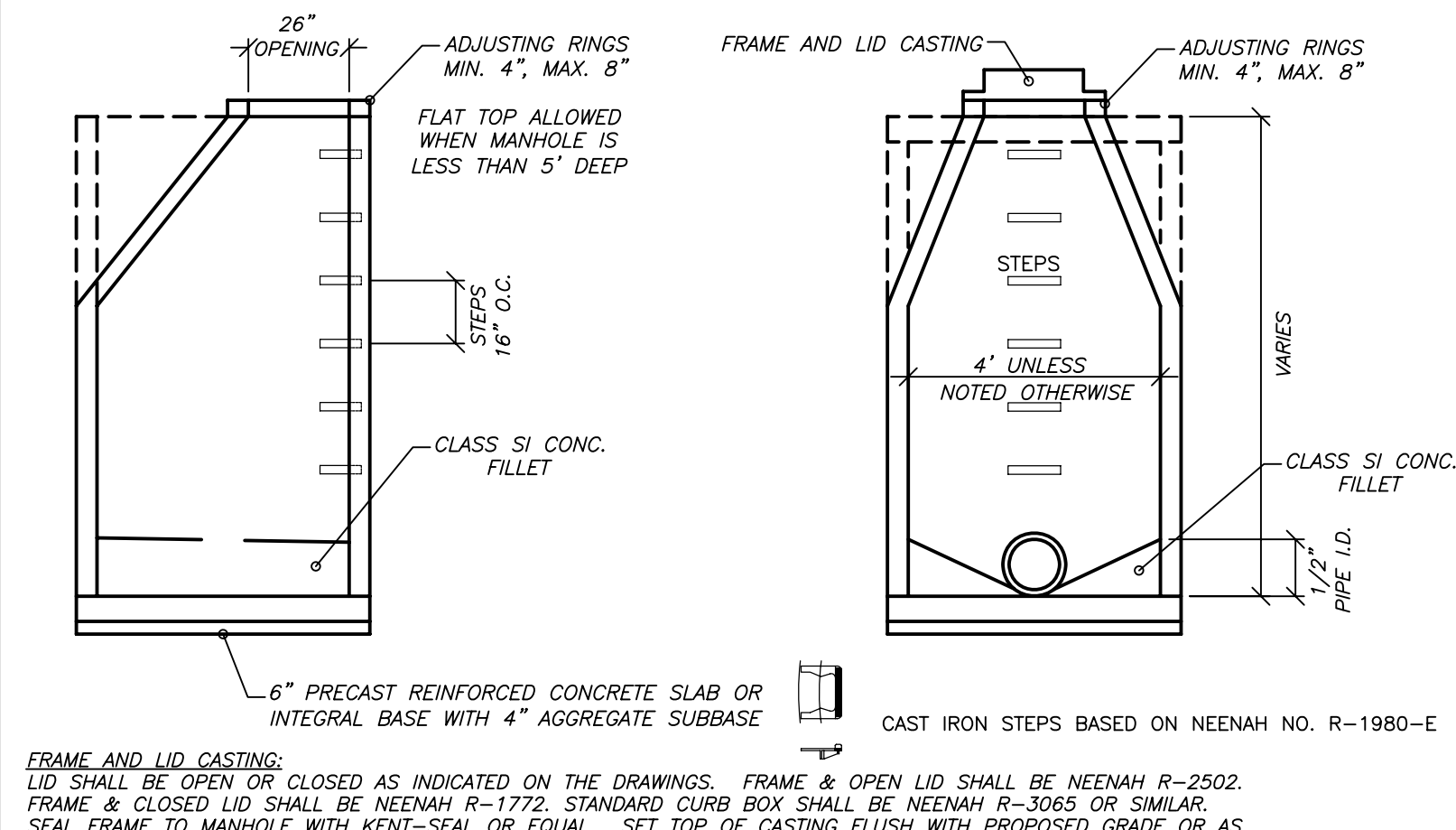


STANDARD INLET TYPE 700

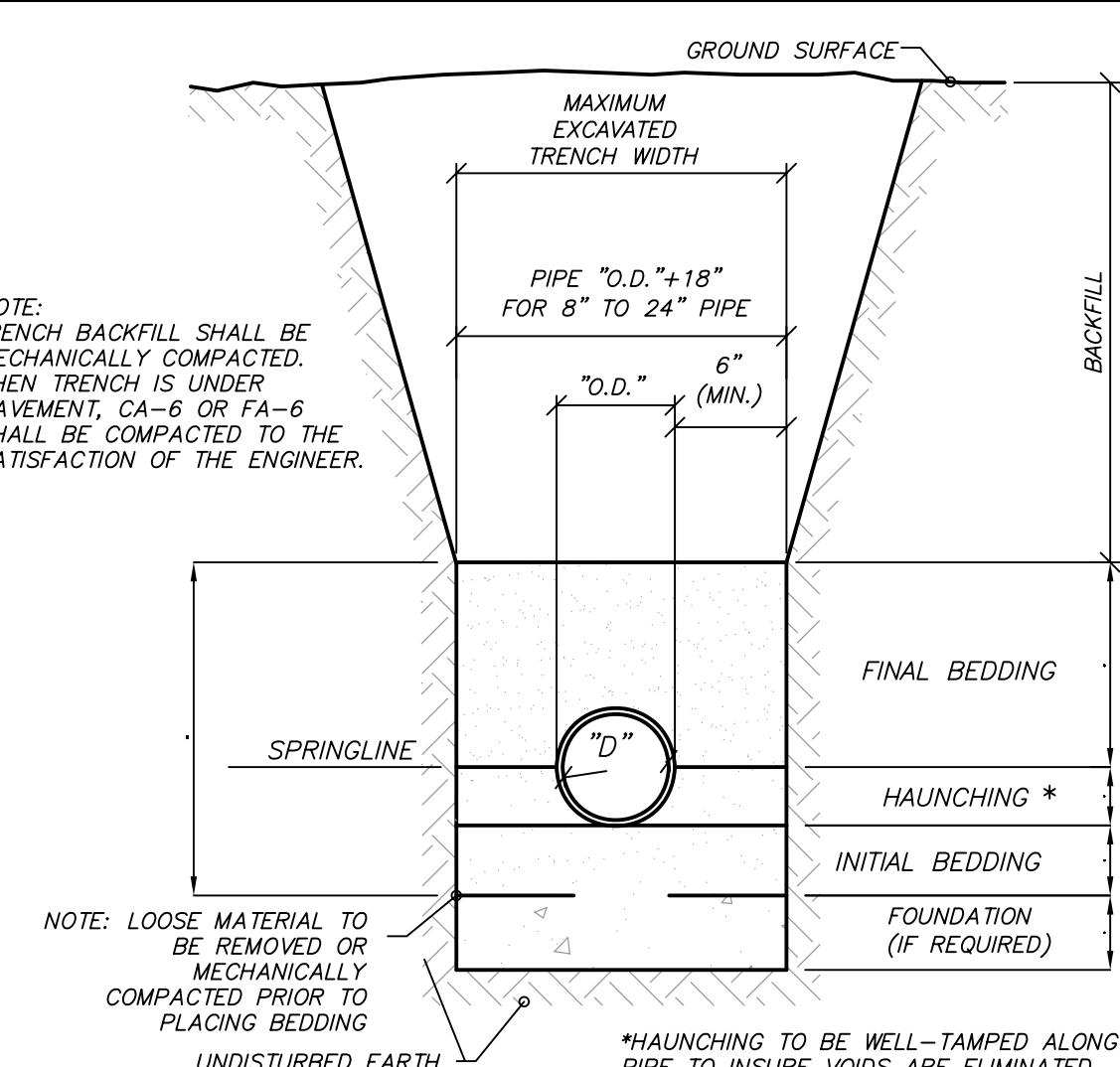


- NOTES:
1. ALL STORM SEWER MANHOLES AND INLETS SHALL BE PRECAST CONCRETE STRUCTURES.
 2. REINFORCEMENT SHALL BE IN ACCORDANCE WITH IDOT DISTRICT 2 STANDARD 79.4g.

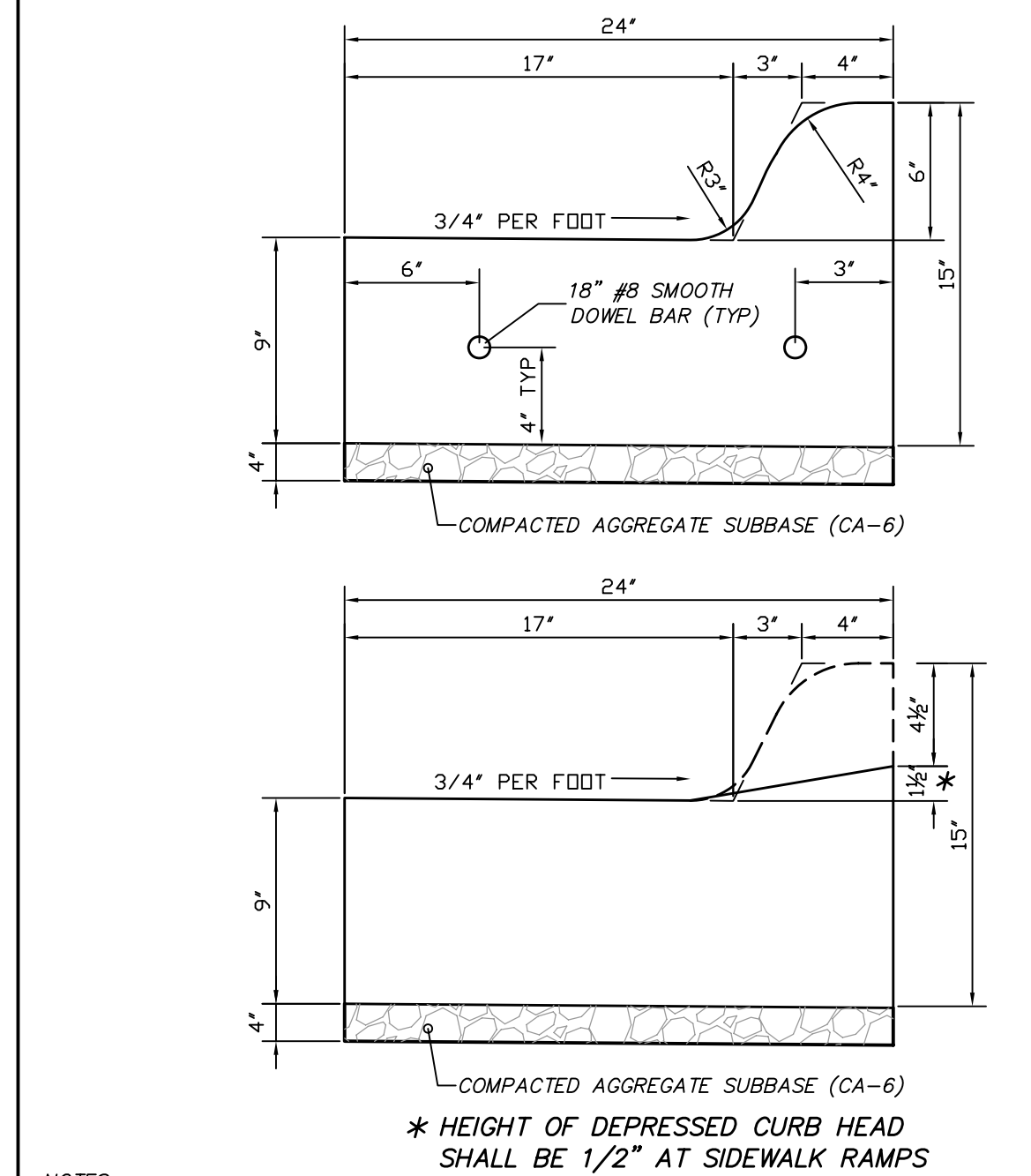
INLET SPECIAL



STORM MANHOLE

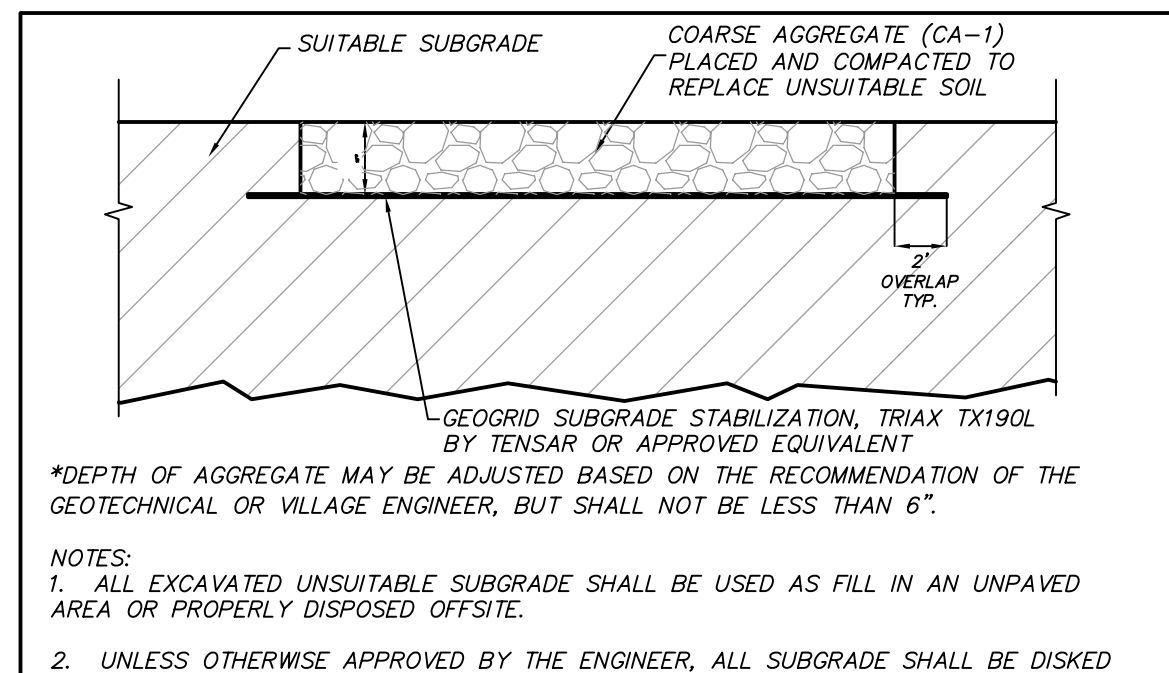


PIPE BEDDING & BACKFILL

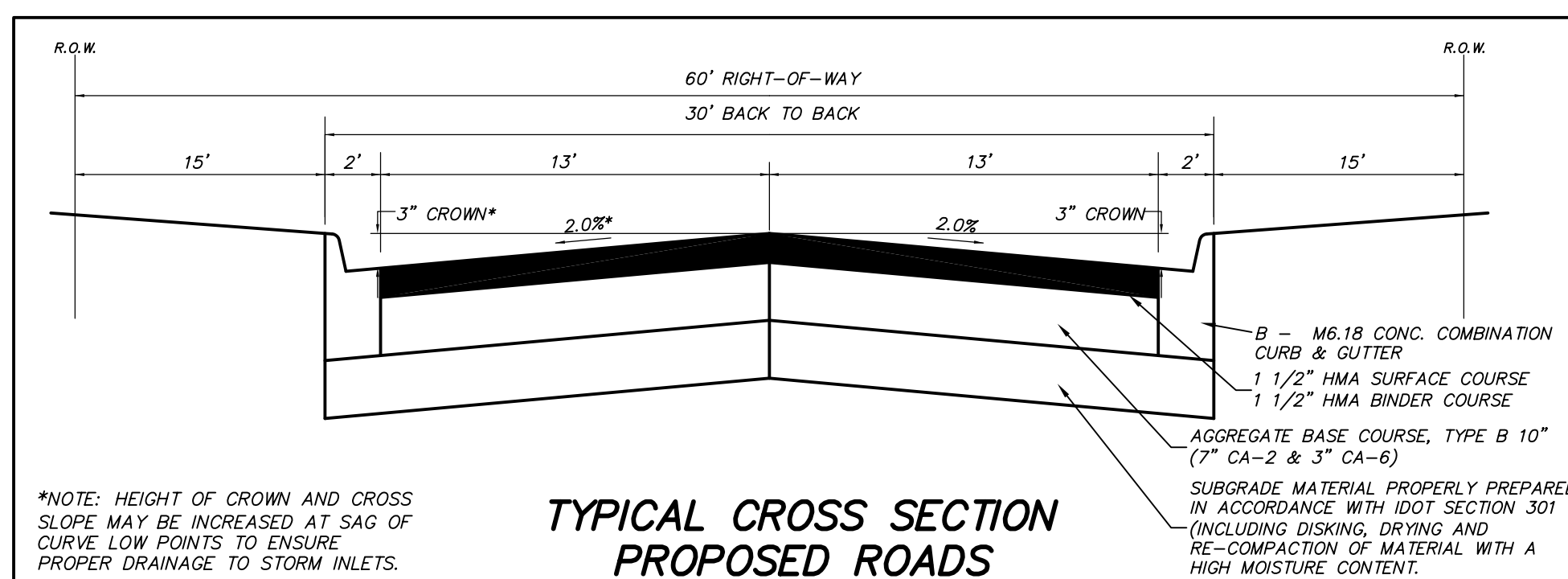


- NOTES:
1. CONCRETE CURB & GUTTER SHALL BE CONSTRUCTED PER IDOT SECTION 606.
 2. "SPILL OUT" CURB SHALL BE CONSTRUCTED AS STANDARD CURB & GUTTER EXCEPT THE GUTTER SHALL DRAIN INTO THE ADJACENT PAVEMENT RATHER THAN TOWARDS THE CURB HEAD. SPILL OUT CURB SHALL BE INSTALLED WHERE EVER THE ADJACENT PAVEMENT SLOPES AWAY FROM THE GUTTER. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH DOWEL BARS AND 3/4" PREFORMED EXPANSION JOINT CUT TO THE SHAPE OF THE CURB & GUTTER. EXPANSION JOINTS SHALL BE SET AT THE ENDS OF ALL CURVES AND AT 50' (MAX) INTERVALS.
 3. TRANSVERSE CONTROL JOINTS SHALL CONSIST OF A 1/8" SAW CUT AT A DEPTH OF 1". TRANSVERSE JOINTS SHALL BE SET AT 15' (MAX) INTERVALS.

**COMBINATION CONCRETE
CURB & GUTTER, TYPE M6.18**



SUBGRADE UNDER CUT DETAIL



**TYPICAL CROSS SECTION
PROPOSED ROADS**

PLAT NO. 2 OF GLENWOOD ESTATES
WINNEBAGO COUNTY, ILLINOIS

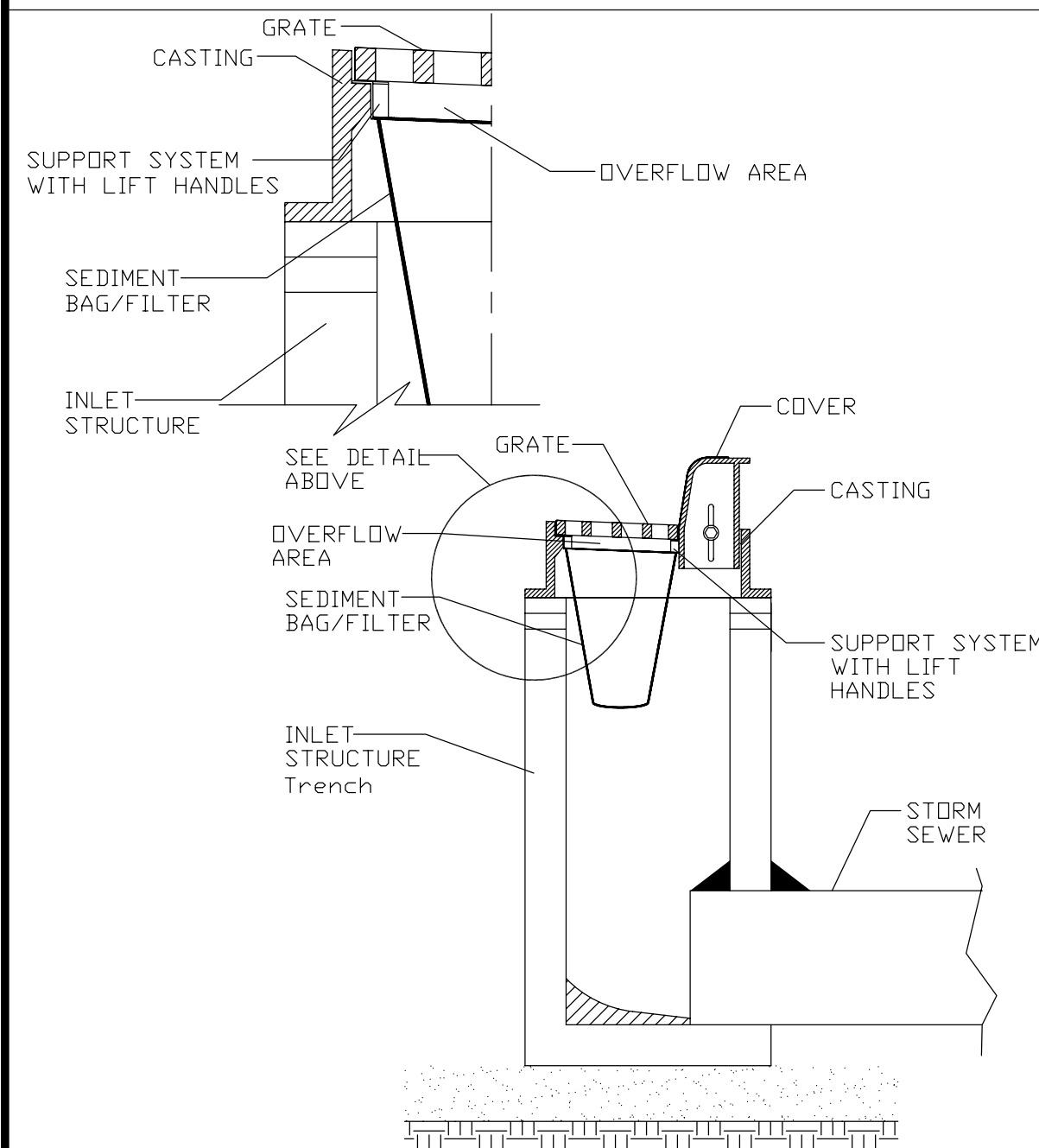
REVISIONS		
1	7/16/2024	PER VILLAGE COMMENTS

R.K. JOHNSON & ASSOCIATES, INC.
CONSULTING CIVIL ENGINEERS - LAND SURVEYORS
1515 WINDSOR ROAD LOVES PARK, ILLINOIS 61111
(815) 633-5097 FAX (815) 633-4593
www.rkjohinsonassociates.com
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004994

DETAILS

DESIGNED BY:	JCW
CHECKED BY:	
ISSUED FOR:	
ISSUE DATE:	2/29/2024
PROJECT NO.:	14935-2
SHEET NO.:	6 OF 7

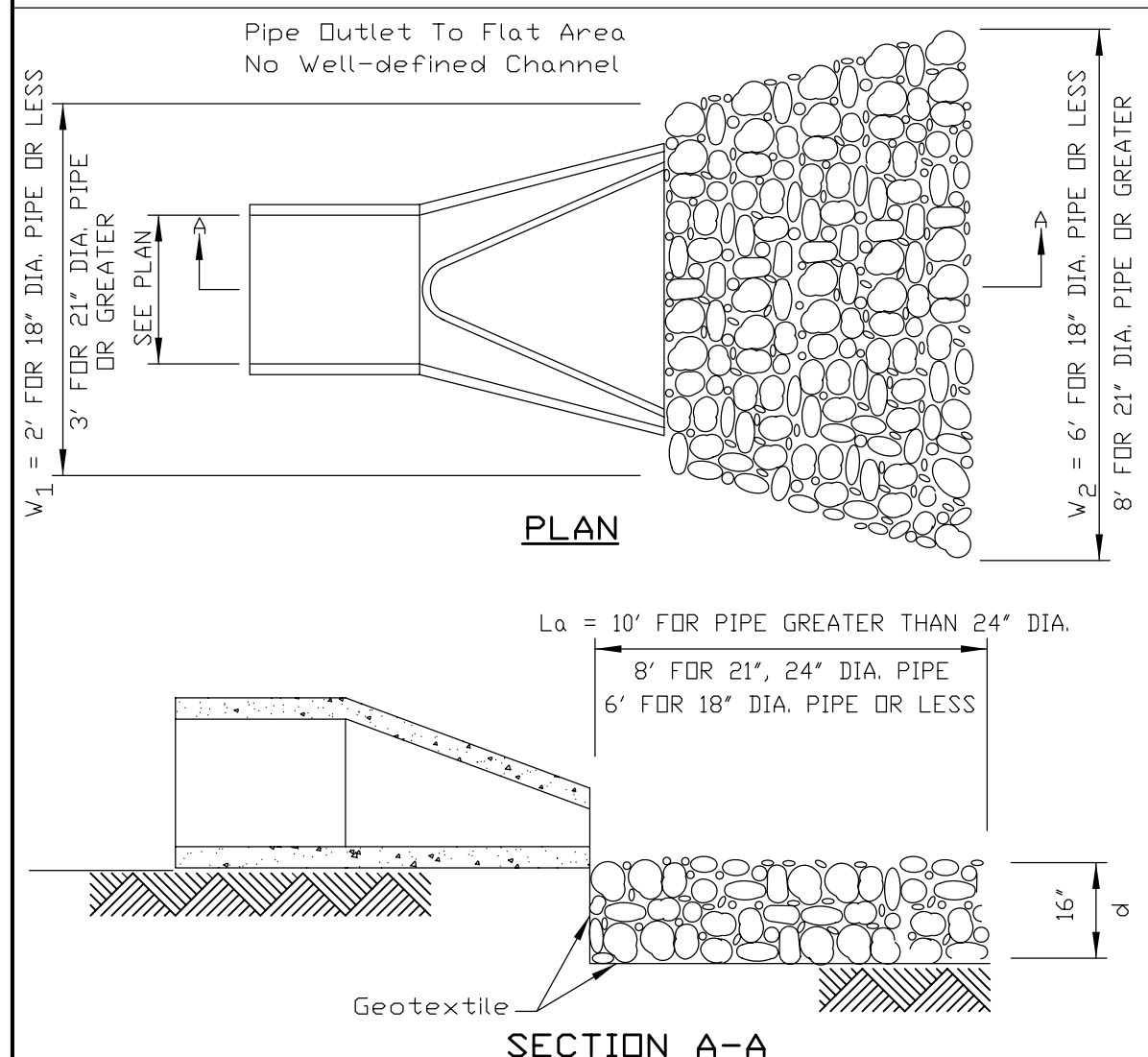
INLET PROTECTION – PAVED AREAS DROP-IN PROTECTION



- NOTES:
1. Staples shall be placed in a diamond pattern at 2 per s.y. for stitched blankets. Non-stitched shall use 4 staples per s.y. of material. This equates to 200 staples with stitched blanket and 400 staples with non-stitched blanket per 100 s.y. of material.
 2. Staple or push pin lengths shall be selected based on soil type and conditions. (minimum staple length is 6")
 3. Erosion control material shall be placed in contact with the soil over a prepared seedbed.
 4. All anchor slots shall be stapled at approximately 12" intervals.

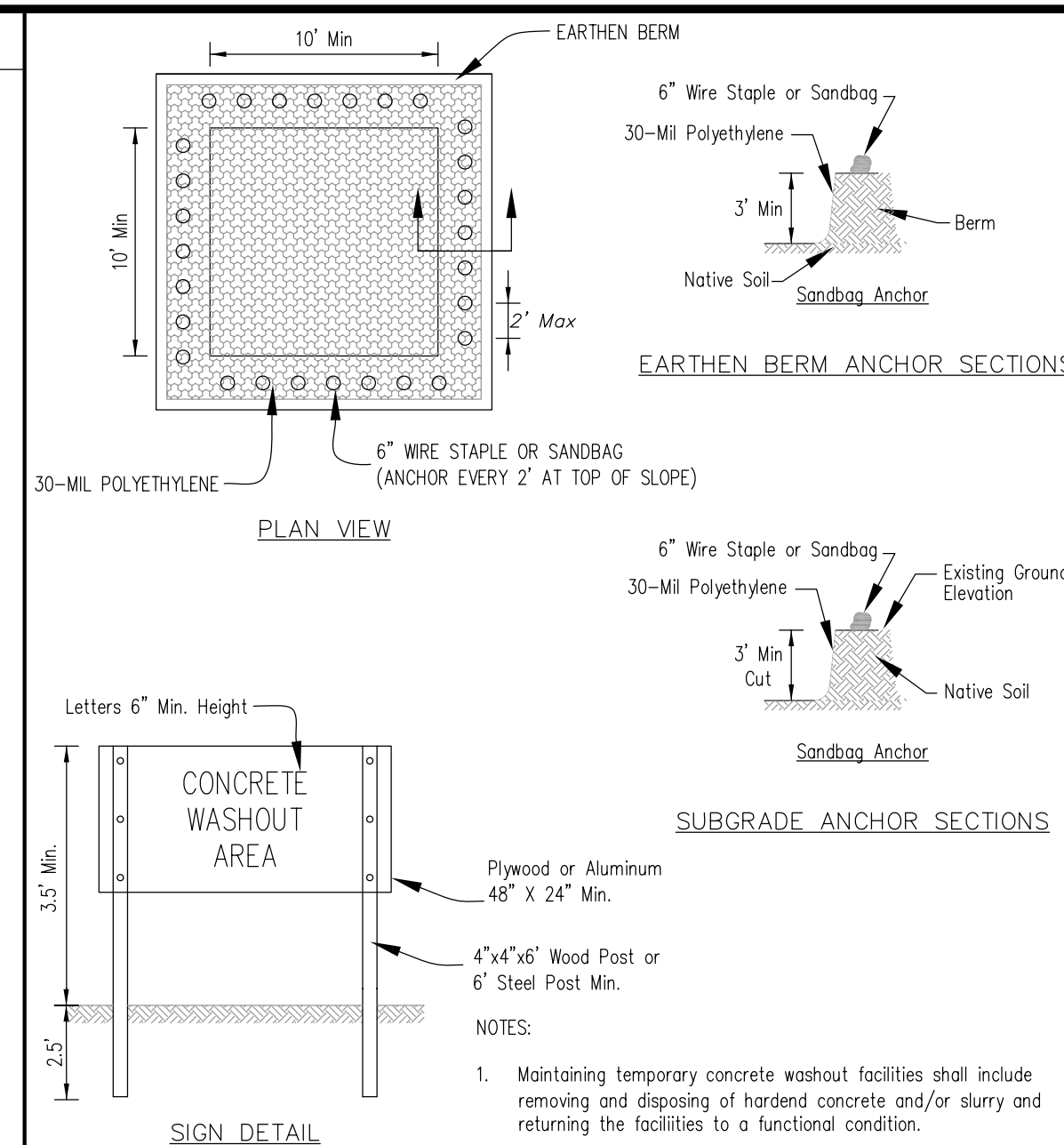
REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IUM-561D
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 01-11-11

PIPE OUTLET TO FLAT AREA



- NOTES:
1. The filter fabric shall meet the requirements in material specifications 592 GEOTEXTILE Table 1 or 2, class **I**, **II** or **III**.
 2. The rock riprap shall meet the IDDT requirements for the following gradation: RR 4, Quality A.
 3. The riprap shall be placed according to construction specification 61 LOOSE ROCK RIPRAP. The rock may be equipment placed.

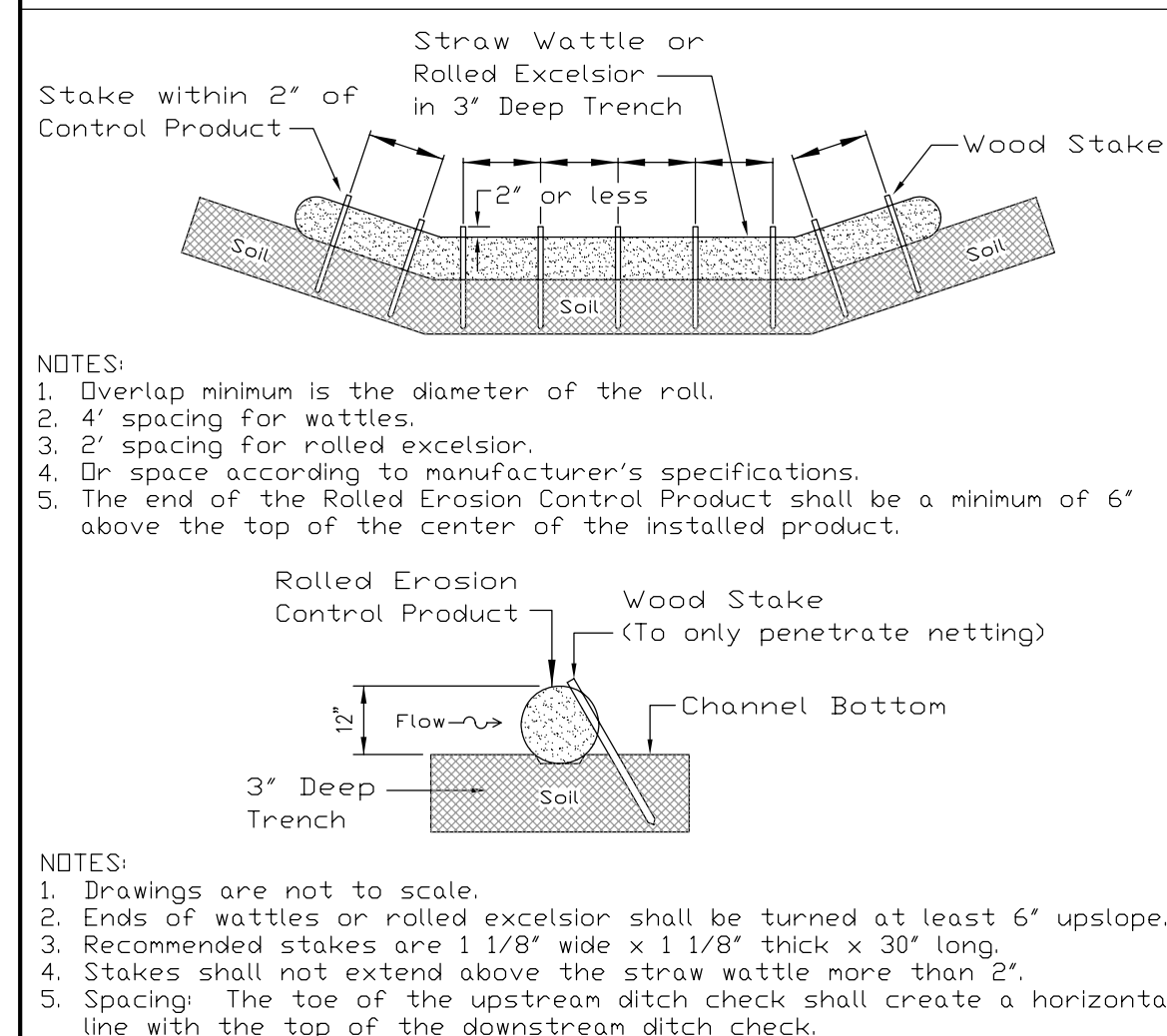
REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IL-610
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 9-18-93



- NOTES:
1. Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
 2. Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.

REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IL-610
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 9-18-93

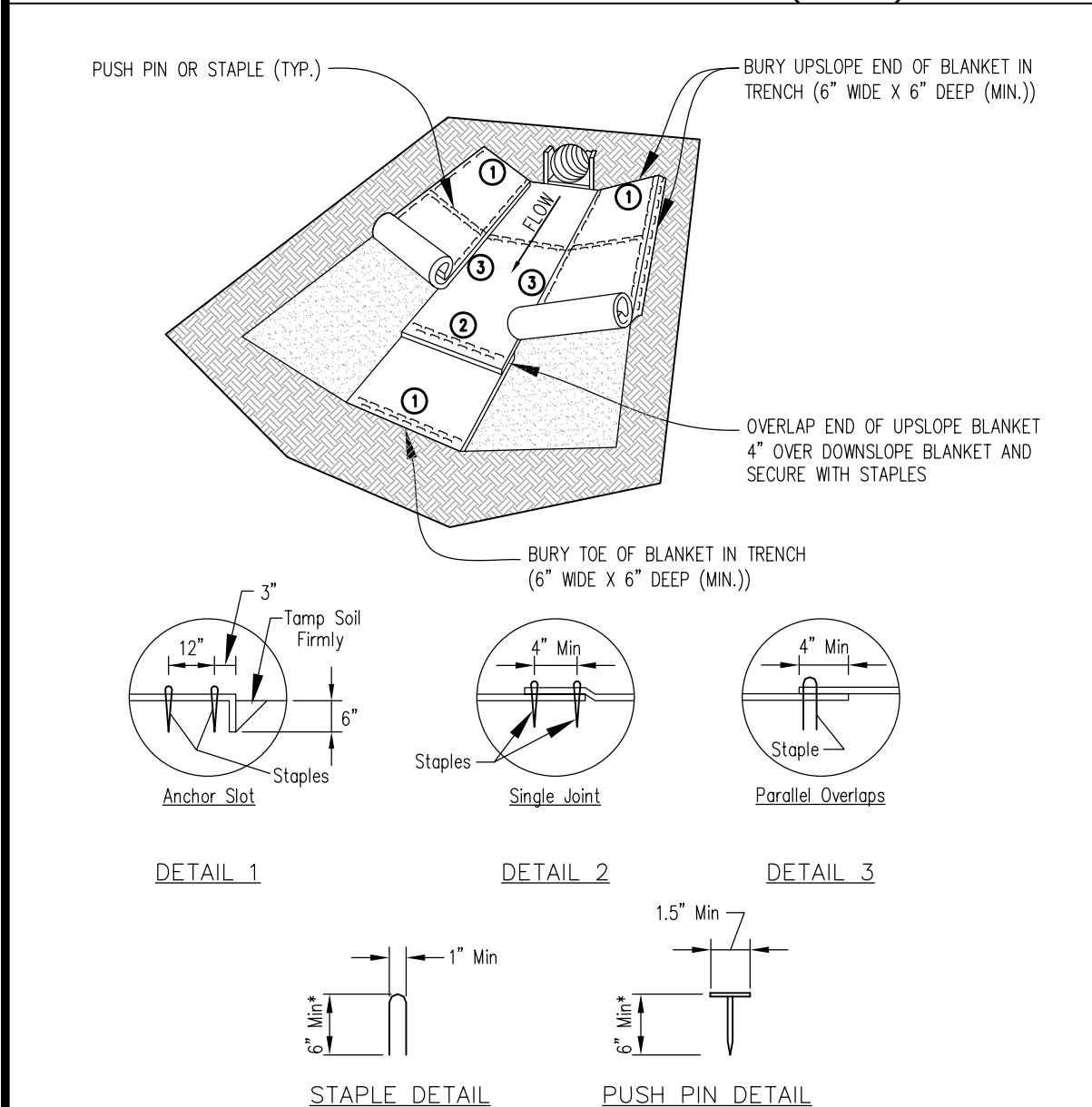
ROLLED EROSION CONTROL PRODUCTS



- NOTES:
1. Drawings are not to scale.
 2. Ends of wattles or rolled excelsior shall be turned at least 6' upslope.
 3. Recommended stakes are 1 1/8" wide x 1 1/8" thick x 30" long.
 4. Stakes shall not extend above the straw wattle more than 2".
 5. Spacing: The toe of the upstream ditch check shall create a horizontal line with the top of the center of the installed product.

REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IUM-514
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 8-08-11

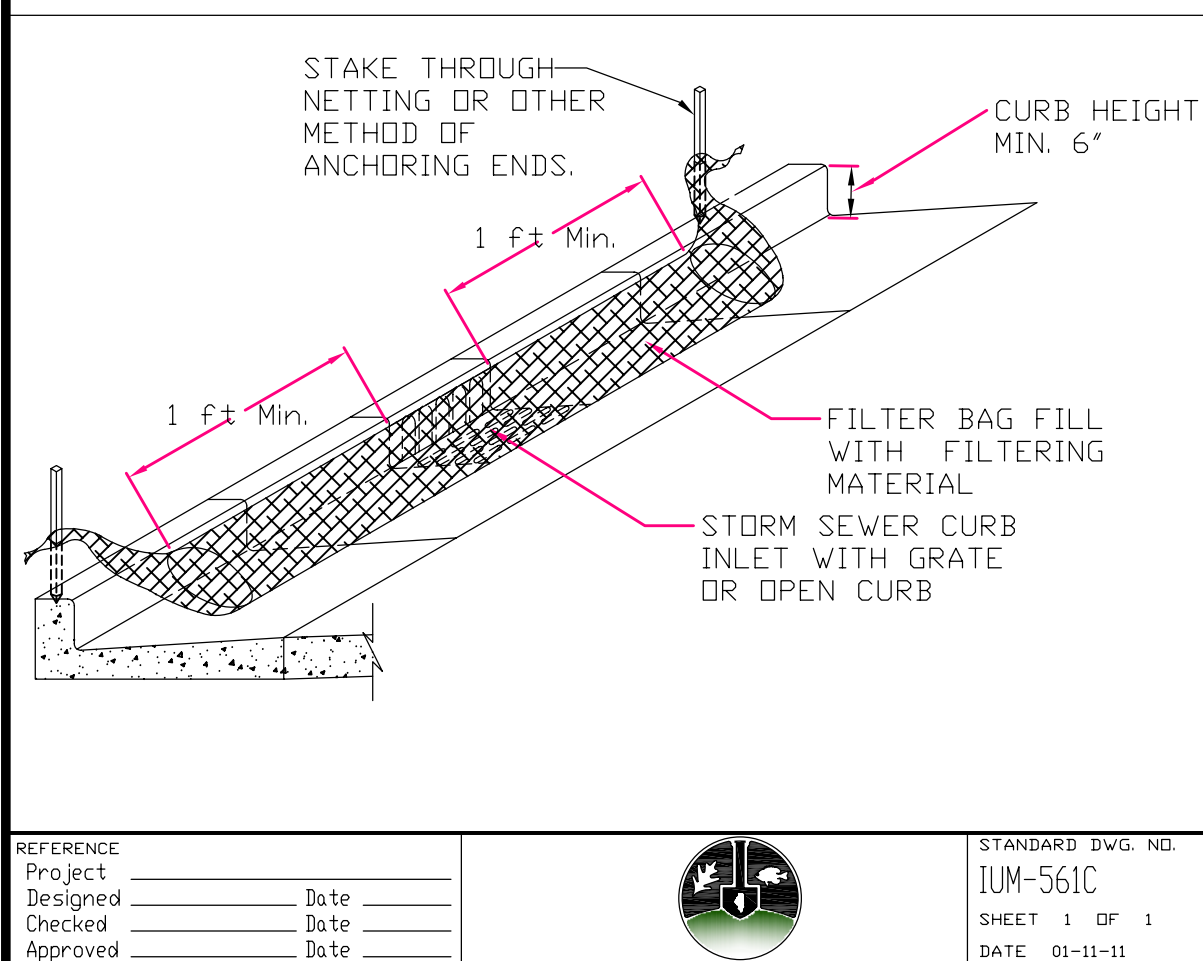
EROSION CONTROL BLANKET – TURF REINFORCEMENT MAT (TRM)



- NOTE:
1. For sandy soil conditions, staple or push pin shall be a minimum 8 inches.

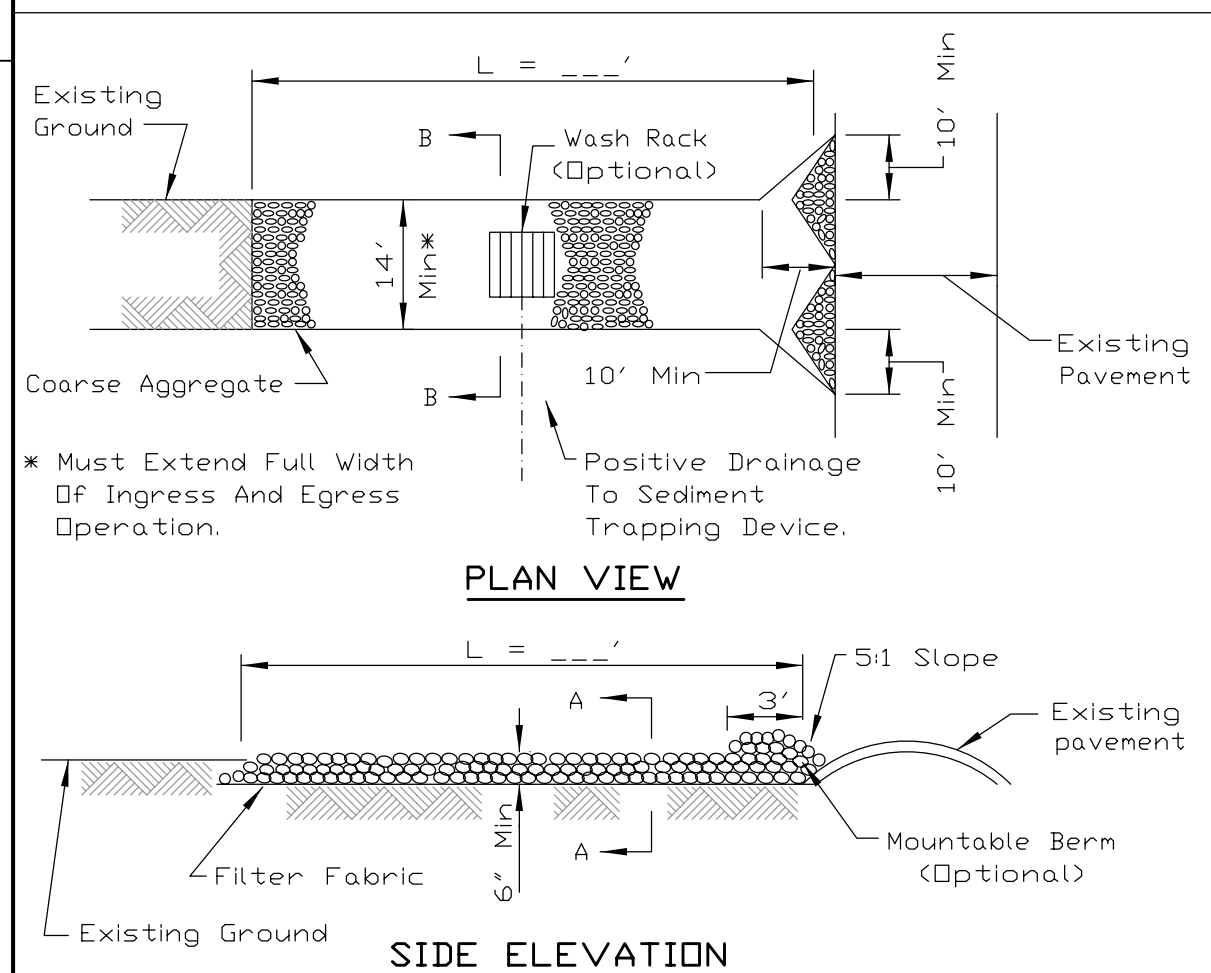
REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IUM-531
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 02-22-11

INLET PROTECTION – PAVED AREAS CURB PROTECTION



REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IUM-561C
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 01-11-11

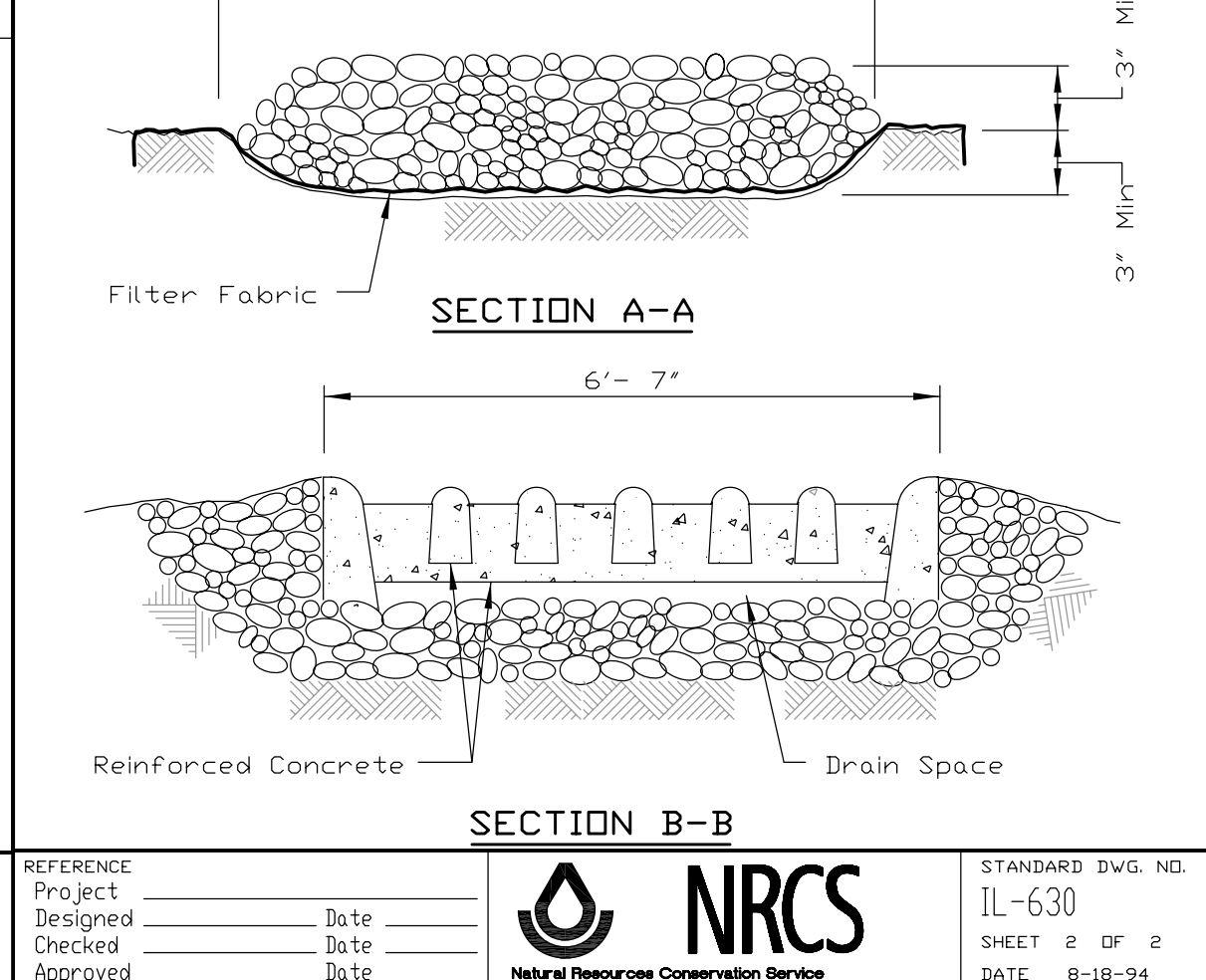
STABILIZED CONSTRUCTION ENTRANCE PLAN



- NOTES:
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class **II**, **III**, and **IV**, and shall be placed over the cleared area prior to the placing of rock.
 2. Rock or reclaimed concrete shall meet one of the following IDDT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class **III** compaction.
 3. Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.
 4. If wash racks are used they shall be installed according to the manufacturer's specifications.

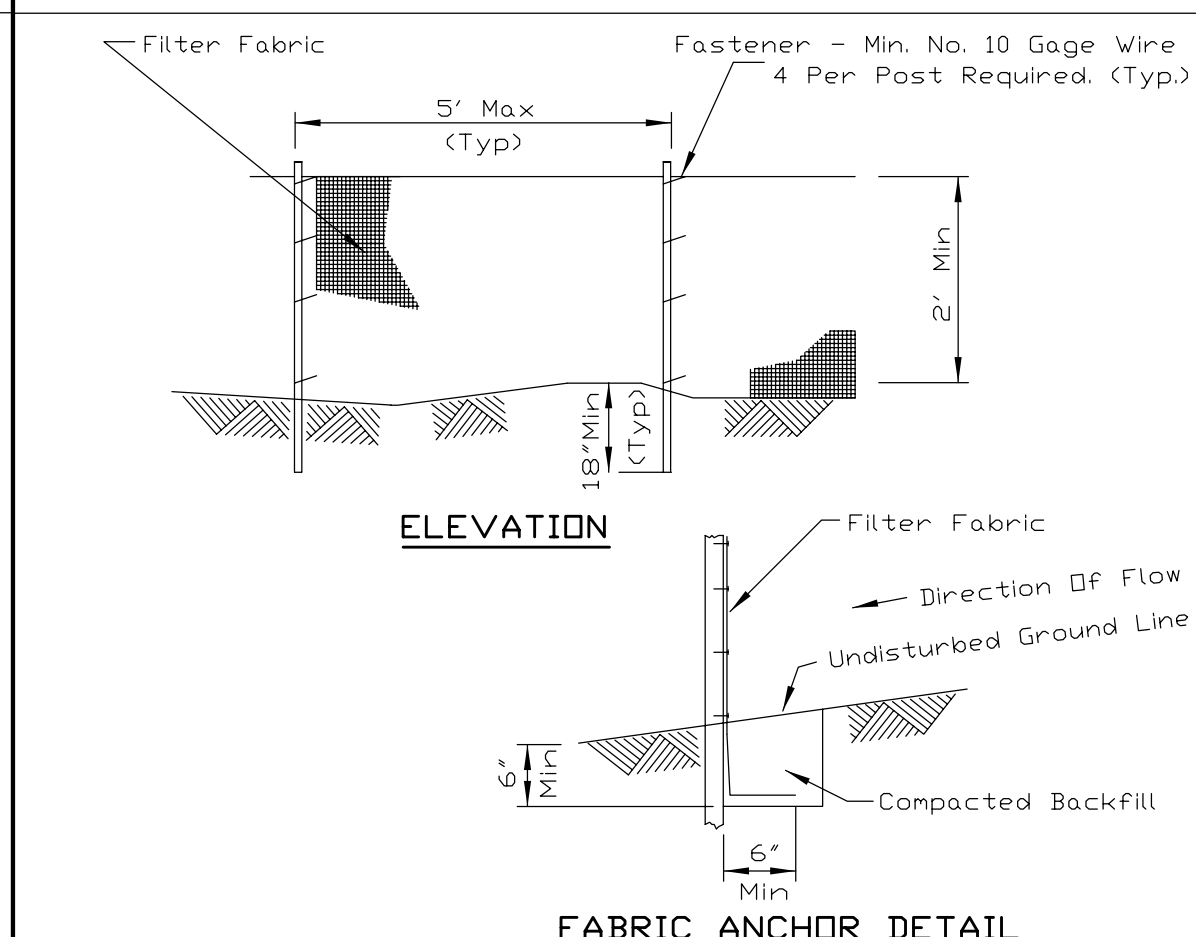
REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IL-630
Checked	_____	_____	SHEET 1 OF 2
Approved	_____	_____	DATE 8-18-94

INLET PROTECTION – PAVED AREAS CURB PROTECTION



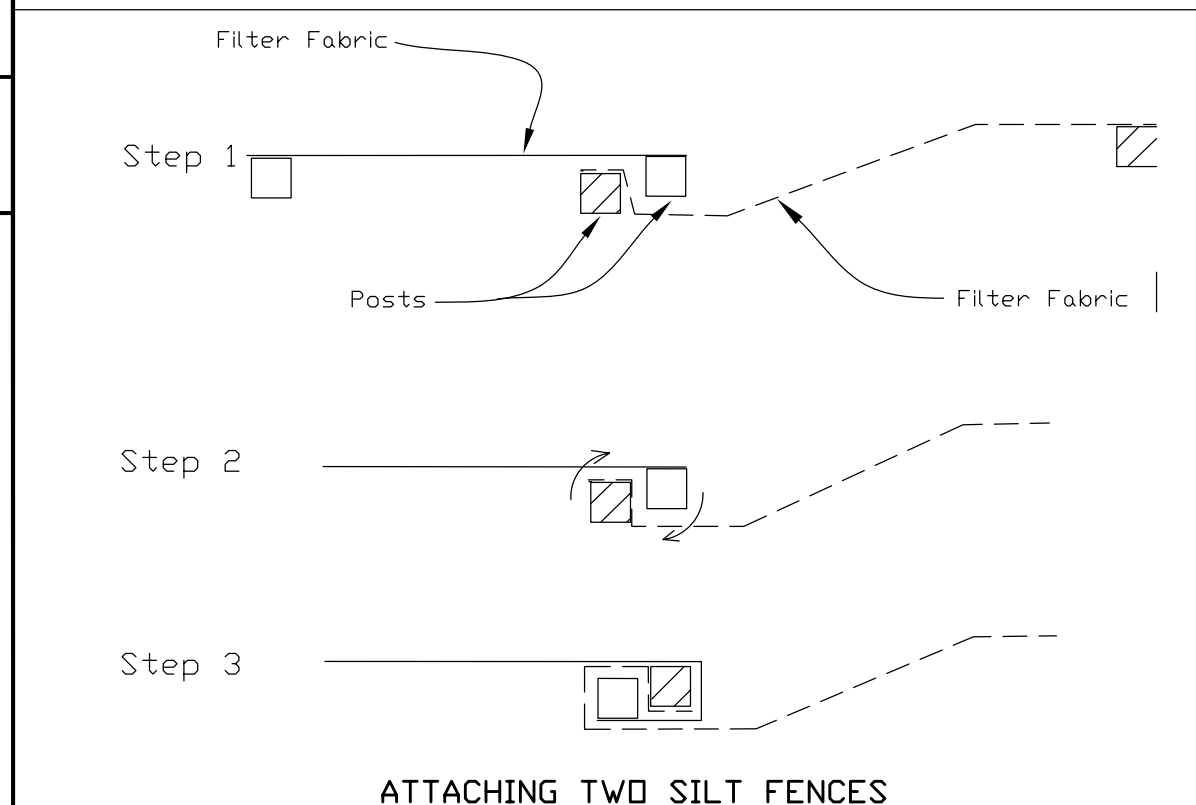
REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IL-630
Checked	_____	_____	SHEET 2 OF 2
Approved	_____	_____	DATE 8-18-94

SILT FENCE PLAN



- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

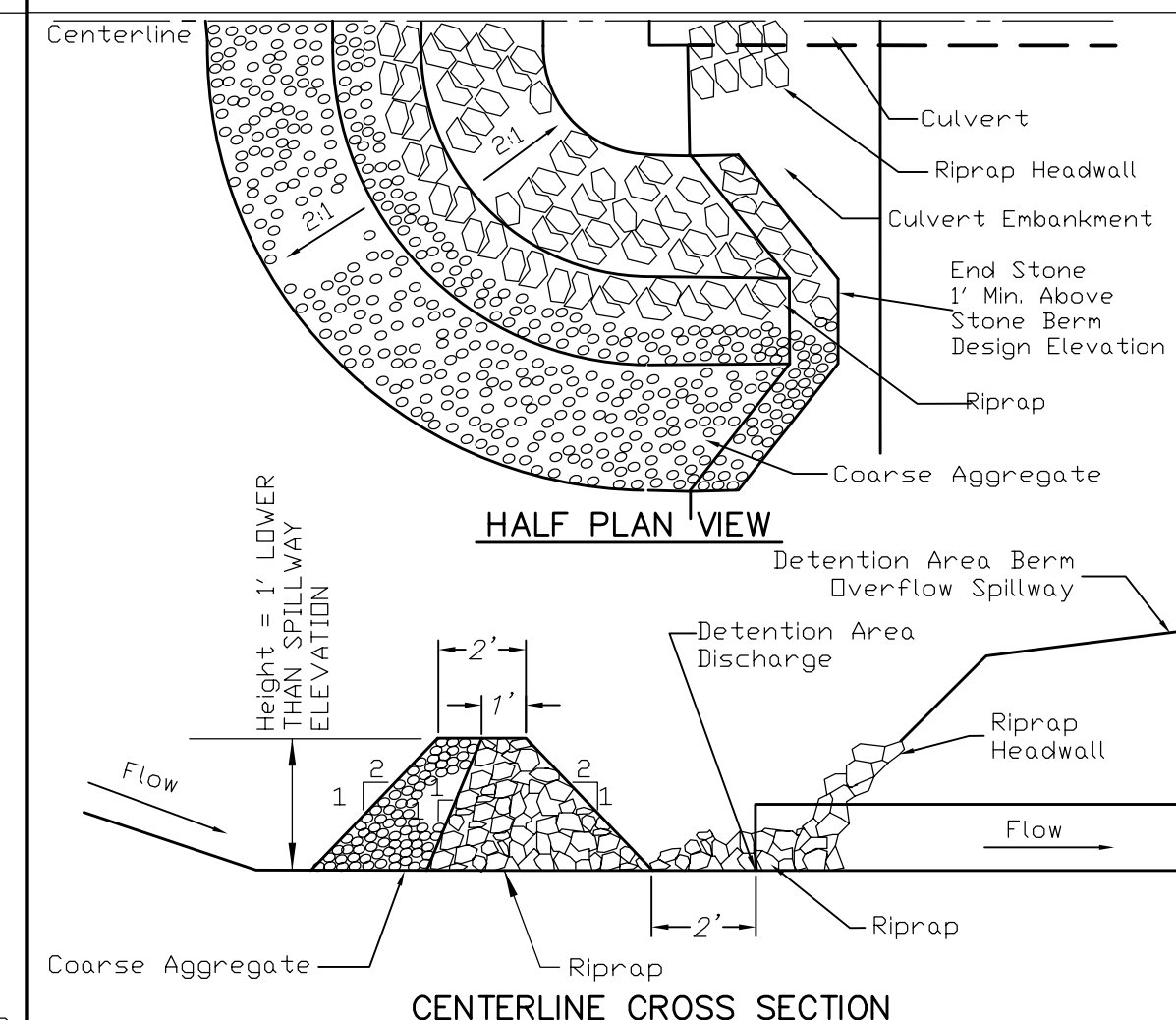
SILT FENCE – SPLICING TWO FENCES



- ATTACHING TWO SILT FENCES
1. Place the end post of the second fence inside the end post of the first fence.
 2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
 3. Cut the fabric near the bottom of the stakes to accommodate the 6" flap.
 4. Drive both posts a minimum of 18 inches into the ground and bury the flap.
 5. Compact backfill (particularly at splices) completely to prevent stormwater piping.

REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IUM-620A/629B(W)
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 9-16-18

CULVERT INLET PROTECTION – STONE



- NOTES:
1. Sediment shall be removed when the sediment has accumulated to one-half the height of the stone berm.
 2. Coarse aggregate shall meet one of the following IDDT coarse aggregate gradations, CA-1, CA-2, CA-3 or CA-4.
 3. Riprap shall meet IDDT gradation RR-3 or RR-4. Any permanent riprap, such as for the culvert headwall, shall meet IDDT Quality Designation A.
 4. Coarse aggregate and riprap shall be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
 5. The maximum drainage area to the culvert being protected is 3 acres.
 6. See plans for H dimension.
 7. Tie the stone berm into the culvert embankment at the design elevation of the detention area overflow spillway.

REFERENCE	Project	Date	STANDARD DWG. NO.
Designed	_____	_____	IL-508ST
Checked	_____	_____	SHEET 1 OF 1
Approved	_____	_____	DATE 1-29-99

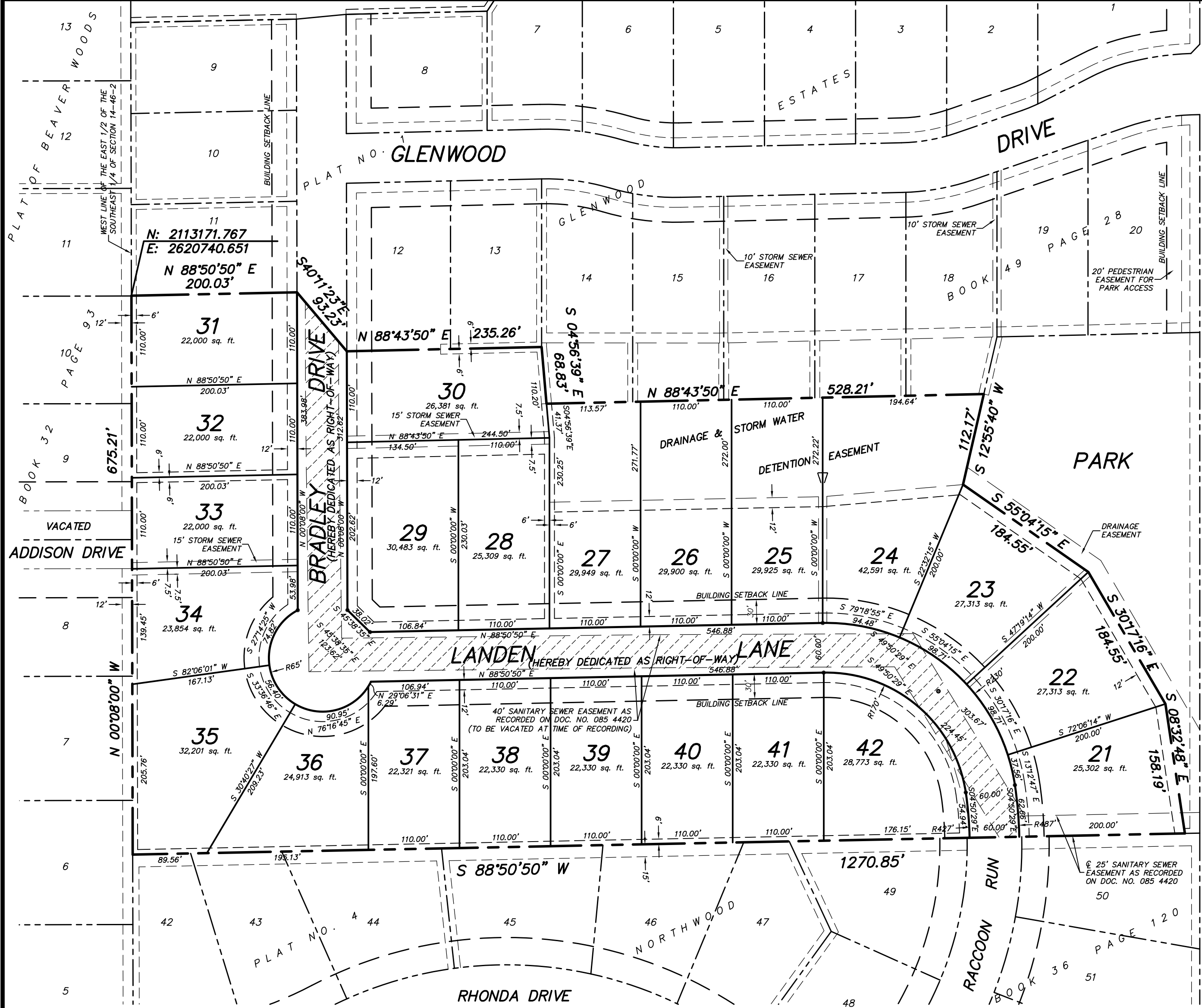
PLAT NO. 2 OF GLENWOOD ESTATES
WINNEBAGO COUNTY, ILLINOIS

EROSION CONTROL
DETAILS

REVISED	DATE	BY

R.K. JOHNSON & ASSOCIATES, INC.
CONSULTING CIVIL ENGINEERS - LAND SURVEYORS
1515 WINDSOR ROAD, LOVES PARK, ILLINOIS 61111
(815) 633-5097 FAX (815) 633-4593
www.rkjohnsonassociates.com
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004994

ISSUED BY:	JCW
CHECKED BY:	
ISSUED FOR:	
ISSUE DATE:	2/29/2024
PROJECT NO.:	14935-2
SHEET NO.:	7 OF 7



PLAT NO. 2
OF
GLENWOOD ESTATES
BEING A SUBDIVISION OF PART OF THE
SOUTHEAST QUARTER OF SECTION 14,
TOWNSHIP 46 NORTH, RANGE 2 EAST OF
THE THIRD PRINCIPAL MERIDIAN
WINNEBAGO COUNTY, ILLINOIS
JUNE 2024
GRAPHIC SCALE

1000 0 50 100 200 400

(IN FEET)
1 inch = 100 ft.

BASIS OF BEARINGS ARE ASSUMED

EAST LINE OF THE SOUTHEAST 1/4
OF SECTION 14-46-2

BRADLEY DRIVE

ADDISON DRIVE

GLENWOOD DRIVE

NORTHWOOD

RHONDA DRIVE

RACCOON RUN

WHITE SCHOOL ROAD

PARK

Easement Provisions
An easement is hereby reserved for and granted to the designated governmental bodies and public utilities, or cable television companies with the necessary authorizations and/or franchisees and their respective successors and assigns within the area as shown by dashed lines on the plat and marked "Easement", to install, lay, construct, renew, operate and maintain storm and sanitary sewers, pipes, conduits, cables, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other properties with telephone, electric, gas and other utility service or cable television service, also is hereby granted, the right to use the streets for said purposes, the right to overhang lots with aerial service wires to serve adjacent lots, the right to enter upon the lots at all times to install, lay, construct, renew, operate and maintain within said easement area said storm and sanitary sewers and water mains, pipes, conduits, cables, poles, wires, braces, guys, anchors and other equipment and finally the right is hereby granted to cut down and remove or trim and keep trimmed any trees, shrubs or saplings that interfere with any of the said public utility or equipment or cable television equipment installed on said easement. No permanent buildings or trees shall be planted on said easement, but same may be used for purposes that do not then or later interfere with the aforesaid uses or rights herein granted.

If the grade of the subdivision property must be so altered or if private storm and sanitary sewer facilities require that the underground utility or cable television equipment be moved or otherwise altered, the property owners, their respective successors and assigns shall reimburse the utility company or cable television company for the necessary expense involved.

The maintenance of the drainage and storm water detention easement shall be the sole responsibility of the individual property owner. The finished grade of the easements shall not be landscaped, altered, or encroached upon by filling, grading or construction of surface improvements that obstruct or redirect the flow of water, nor shall any buildings or structures be erected within this easement.

An easement for serving the subdivision and other property with electric and communications service is hereby reserved for and granted to COMMUNICAL EDISON COMPANY and SBC GRANTEES, their respective licensees, successors and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "Common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "Outlots", "Common Elements", "Open space", "Open area", "Common ground", "parking" and "common areas". The term "common area or areas" and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structure such as a pool, retention pond, or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of the Grantor/Lot Owner, upon written request.

An easement is hereby reserved for and granted to NICOR, INC., its successors and assigns, to install, operate, maintain, repair, replace and remove facilities used in connection with the transmission and distribution of natural gas in, over, under, across, along and upon the surface of the property shown on this plat marked "Easement", "Common Area or Areas" and streets and alleys, whether public or private, and the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", together with the right to install required service connections over or under the surface of each lot and Common Area or Areas to serve improvements thereon, or on adjacent lots, and Common Area or Areas, and to serve other property, adjacent or otherwise, and the right to remove obstructions, including but not limited to, trees, bushes, roots and fences, as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes. Obstructions shall not be placed over NICOR facilities or in, upon or over the property identified on this plat for utility purposes without the prior written consent of NICOR. After installation of any such facilities, the grade of the property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have that meaning set forth for such term in Section 605/2(e) of the "Condominium Property Act" (Illinois Compiled Statutes, Ch. 765, Sec. 605/2(e)), as amended from time to time.

The term "Common Area or Areas" is defined as a lot, parcel or area of real property, including real property surfaced with interior driveways and walkways, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the property, even though such areas may be designated on this plat by other terms.

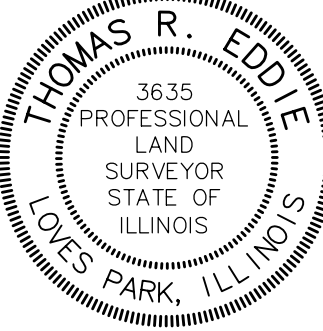
LEGAL DESCRIPTION:

I hereby certify that at the request of the owners, I have surveyed and subdivided according to the attached Plat No. 2 of Glenwood Estates, a part of the Southeast Quarter of Section 14, Township 46 North, Range 2 East of the Third Principal Meridian, bounded and described as follows, to-wit: Beginning at the Southwest corner of Plat No. 1 of Glenwood Estates, being a subdivision of part of the Southeast Quarter of Section 14, Township 46 North, Range 2 East of the Third Principal Meridian, the plot of which subdivision is recorded in Book 49 of Plats on Page 28 in the Recorder's Office of Winnebago County, Illinois; thence North 88°-50'-50" East, 200.03 feet; thence South 40°-11'-23" East, 93.23 feet; thence North 88°-43'-50" East, 235.26 feet; thence South 04°-56'-39" East, 68.83 feet; thence North 88°-43'-50" East, 528.21 feet; thence South 12°-55'-40" West, 112.17 feet; thence South 55°-04'-15" East, 184.55 feet; thence South 30°-17'-16" East, 184.55 feet; thence South 08°-32'-48" East, 158.19 feet to the North line of Plat No. 4 of Northwood, being a subdivision of part of the Southeast Quarter of Section 14-46-2, the plot of which subdivision is recorded in Book 36 of Plats on Page 120 in aforesaid Recorder's Office of Winnebago County, Illinois (the preceding nine courses being along the Southerly line of Plat No. 1 of Glenwood Estates); thence South 88°-50'-50" West, along the North line of said Plat No. 4 of Northwood, 1270.85 feet to the East line of the Plat of Beaver Woods, being a subdivision of part of the West 1/2 of the Southeast 1/4 of Section 14, Township 46 North, Range 2 East of the Third Principal Meridian, the plot of which subdivision is recorded in Book 32 of Plats on Page 93 in aforesaid Recorder's Office of Winnebago County, Illinois; thence North 00°-08'-00" West, along the East line of said Plat of Beaver Woods, 675.21 feet to the point of beginning. Situated in the County of Winnebago and State of Illinois. Containing 15.36 Acres.

I further certify that this plat is situated within 1 1/2 miles of the corporate limits of a city which has adopted a city plan and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code, as now or hereafter amended, and that no part of the property covered by this plat is situated within a special Flood hazard area as identified by the Federal Emergency Management Agency for Winnebago County, Illinois on Community-panel number 17201C0154D dated September 6, 2006.

Dimensions are given in feet and decimals of a foot unless otherwise noted. Iron pins 3/4-inch in diameter and 4 feet long have been found or set at all points marked with a solid dot, and iron pins 5/8-inch in diameter and 3 feet long have been found or set at all other lot corners except as noted. All dimensions along curved lines are chord distances unless otherwise noted.

Given under my hand and seal this _____ day of _____, 2024, at Loves Park, Illinois.



Thomas R. Eddie
Illinois Professional Land Surveyor
No. 3635
(Exp. 11-30-24)

As owners, we hereby certify that we have caused the land described in the foregoing affidavit of the surveyor, to be surveyed, divided, and mapped as presented on this plat. All streets, alleys, walkways, parks, playgrounds and school sites shown on this plat are hereby dedicated to the public for public purposes, and all easements shown are subject to the Easement Provisions hereon. We further certify that there are no liens or encumbrances on the property contained in this plat except improvements have been built as required, or security in sufficient amount has been provided for this construction.

Owner: _____
Address: _____

I, _____, a Notary Public in and for the County of Winnebago in the State of Illinois, do hereby certify that _____ personally known to me to be the same person(s) whose name(s) is (are) subscribed to the foregoing instrument, appeared before me this day in person and (severally) acknowledged that he (they) signed, sealed and delivered said instrument as his (their) free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notary Seal this _____ day of _____, 20____.

Notary Public

We hereby certify that to the best of our knowledge and belief, the drainage of surface water will not be changed by the construction of this subdivision or any part thereof, or that if such surface water drainage will be changed, adequate provision has been made for the collection and diversion of such surface waters into water retention areas, public areas, or drains which the subdivider has the right to use, and that such surface waters will not be deposited on the property of adjoining lands in such concentrations as may cause damage to the adjoining property because of the construction of the subdivision.

Registered Professional Engineer _____ Owner or Duty Authorized Attorney _____
Date _____ Date _____

I hereby certify that I have received an approved drainage study for the property embraced within the attached Plat No. 2 Glenwood Estates. Construction plans have been submitted and approved, and all public improvements have been built as required, or security in sufficient amount has been provided for this construction.

Dated this _____ day of _____, 20____.

Village Engineer

Having reviewed the recommendations of the Planning Commission, and finding substantial conformity with all pertinent laws, rules, and regulations including this Drainage and the tentative Plat of this subdivision as conditionally approved, this Plat is given final approval this _____ day of _____, 20____.

Village Plat Officer

This is to certify that the Village of Roscoe has reviewed the attached Plat No. 2 of Glenwood Estates.

In witness whereof, I have hereto set my hand this _____ day of _____, 20____.

President of the Village Board

This is to certify that the Village Board of the Village of Roscoe did, at its meeting on the _____ day of _____ A.D., 20____, approve of the Plat and authorize it to be recorded.

In witness whereof, I _____, Village Clerk of the Village of Roscoe hereto set my hand and affixed the seal of said Village of Roscoe, this _____ day of _____ A.D., 20____.

Village Clerk

I hereby certify that I have reviewed and approved the ties to the Winnebago County Geodetic Control Network for the property embraced within this plat. The Geodetic Control Network Tie Form has been submitted and approved.

WinGIS Program Manager

I, _____, County Clerk of Winnebago County in the State of Illinois, do hereby certify that I find no delinquent general taxes, unpaid current general taxes, delinquent special assessments or unpaid current special assessments against the lands embraced within Plat No. 2 of Glenwood Estates.
In witness whereof, I have hereunto set my hand and seal of the county of Winnebago this _____ day of _____, 20____.

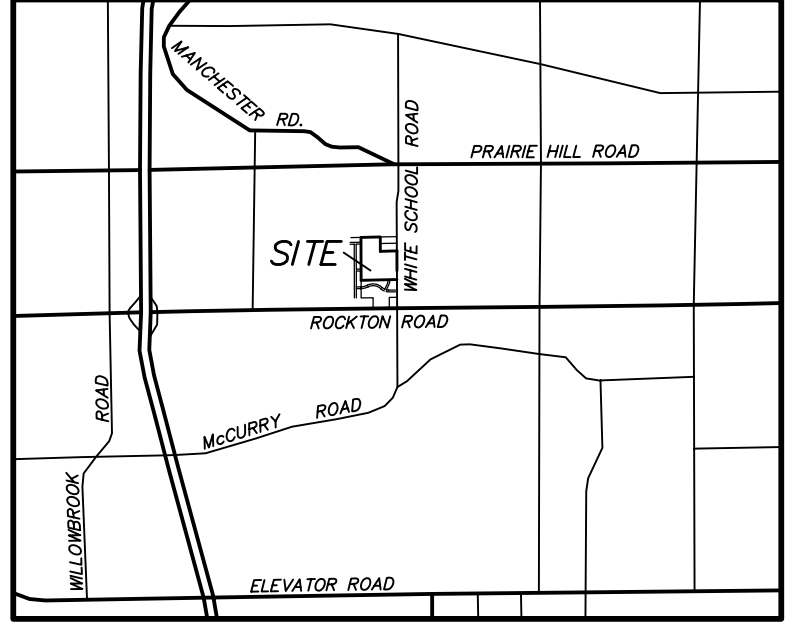
County Clerk

Filed for record this _____ day of _____, 20____, at _____ o'clock _____ M., recorded in Book _____ of Plats, page _____ and examined _____.

County Recorder

Document Number _____

OWNER/DEVELOPER:
GLENWOOD ROSCOE LLC
PO BOX 15717
LOVES PARK, ILLINOIS 61132



LOCATION MAP

PREPARED BY:
R.K. JOHNSON & ASSOCIATES, INC.
CONSULTING CIVIL ENGINEERS - LAND SURVEYORS
1515 WINDSOR ROAD LOVES PARK, ILLINOIS 61111
www.rkjohnsonassociates.com
(815) 633-5097 (815) 633-4593 FAX
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004994
JUNE 4, 2024 JOB NO. 14935
SHEET 1 OF 1

VILLAGE OF ROSCOE

AGENDA ITEM - STAFF REPORT



Item # 3.

Agenda Item: Contract with Axon for additional equipment and service

Date: 09-03-24

Meeting: COTW

Prepared by: Chief Samuel Hawley

Department: Police Dept.

Overview/Background Information

We currently have a contract with Axon for body cameras, tasers, evidence.com and cloud storage. With the addition of a 19th Officer we are in need of adding another bundle which would be done with a separate contract.

Key Issues

Additional bundle for body camera which is required by law.

Fiscal Note/Budget Impact

First payment would be in beginning of 2025 in the amount of \$3,002.38

2026 cost - \$2,276.12

Prior Legislative Actions

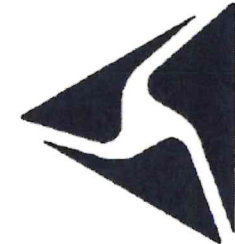
N/A

Action Required/Recommendation

Discussion and Recommendation to approve two year contact with Axon Enterprise, Inc. in the amount of \$5,278.50

Attachments

Contract



Axon Enterprise, Inc.
17800 N 85th St.
Scottsdale, Arizona 85255
United States
VAT: 86-0741227
Domestic: (800) 978-2737
International: +1.800.978.2737

Q-598269-45518.749BC

Issued: 08/14/2024

Quote Expiration:

Estimated Contract Start Date: 02/01/2025

Account Number: 166342

Payment Terms: N30

Delivery Method:

SHIP TO

Roscoe Police Dept. - IL
10595 Main St
Roscoe,
IL
61073-8830
USA

BILL TO

Roscoe Police Dept. - IL
10595 Main St
Roscoe
IL
61073-8830
USA
Email:

SALES REPRESENTATIVE

Bobby Clardy
Phone: 4807404134
Email: bclardy@axon.com
Fax:

PRIMARY CONTACT

Thomas Farone
Phone: (815) 623-7338
Email: tfarone7829@roscoepolice.com
Fax:

Quote Summary

Program Length	25 Months
TOTAL COST	\$5,278.50
ESTIMATED TOTAL W/ TAX	\$5,278.50

Discount Summary

Average Savings Per Year	\$3,306.60
TOTAL SAVINGS	\$6,888.75

Payment Summary

Date	Subtotal	Tax	Total
Jan 2025	\$2,276.13	\$0.00	\$2,276.13
Feb 2025	\$726.25	\$0.00	\$726.25
Feb 2026	\$2,276.12	\$0.00	\$2,276.12
Total	\$5,278.50	\$0.00	\$5,278.50

Quote Unbundled Price: \$12,167.25
Quote List Price: \$5,071.00
Quote Subtotal: \$5,278.50

Pricing

All deliverables are detailed in Delivery Schedules section lower in proposal

Item	Description	Qty	Term	Unbundled	List Price	Net Price	Subtotal	Tax	Total
20347	TRUE UP - AXON CORE PLAN T7 CQ WITH DOCK TRUE UP 1	1	25		\$20.75	\$29.05	\$726.25	\$0.00	\$726.25
M00020	BUNDLE - CORE TASER 7	1	25	\$465.94	\$182.09	\$182.09	\$4,552.25	\$0.00	\$4,552.25
Total							\$5,278.50	\$0.00	\$5,278.50

Delivery Schedule

Hardware

Bundle	Item	Description	QTY	Shipping Location	Estimated Delivery Date
BUNDLE - CORE TASER 7	100147	AXON BODY 4 - CAMERA - NA US FIRST RESPONDER BLK RAPIDLOCK	1	1	01/01/2025
BUNDLE - CORE TASER 7	100201	AXON BODY 4 - DOCK - SINGLE BAY	1	1	01/01/2025
BUNDLE - CORE TASER 7	100466	AXON BODY 4 - CABLE - USB-C TO USB-C	2	1	01/01/2025
BUNDLE - CORE TASER 7	20008	AXON TASER 7 - HANDLE - HIGH VIS GRN LASER CLASS 3R YLW	1	1	01/01/2025
BUNDLE - CORE TASER 7	20018	AXON TASER - BATTERY PACK - TACTICAL	1	1	01/01/2025
BUNDLE - CORE TASER 7	20050	AXON TASER - HOOK-AND-LOOP TRAINING (HALT) SUIT	1	1	01/01/2025
BUNDLE - CORE TASER 7	20160	AXON TASER 7 - HOLSTER - SAFARILAND RH+CARD CARRIER	1	1	01/01/2025
BUNDLE - CORE TASER 7	22175	AXON TASER 7 - CARTRIDGE - LIVE STANDOFF (3.5-DEGREE) NS	2	1	01/01/2025
BUNDLE - CORE TASER 7	22175	AXON TASER 7 - CARTRIDGE - LIVE STANDOFF (3.5-DEGREE) NS	3	1	01/01/2025
BUNDLE - CORE TASER 7	22176	AXON TASER 7 - CARTRIDGE - LIVE CLOSE QUART (12-DEGREE) NS	2	1	01/01/2025
BUNDLE - CORE TASER 7	22176	AXON TASER 7 - CARTRIDGE - LIVE CLOSE QUART (12-DEGREE) NS	3	1	01/01/2025
BUNDLE - CORE TASER 7	22177	AXON TASER 7 - CARTRIDGE - HALT STANDOFF NS	2	1	01/01/2025
BUNDLE - CORE TASER 7	22178	AXON TASER 7 - CARTRIDGE - HALT CLOSE QUART NS	2	1	01/01/2025
BUNDLE - CORE TASER 7	22179	AXON TASER 7 - CARTRIDGE - INERT STANDOFF (3.5-DEGREE) NS	1	1	01/01/2025
BUNDLE - CORE TASER 7	22181	AXON TASER 7 - CARTRIDGE - INERT CLOSE QUART (12-DEGREE) NS	1	1	01/01/2025
BUNDLE - CORE TASER 7	70033	AXON - DOCK WALL MOUNT - BRACKET ASSY	1	1	01/01/2025
BUNDLE - CORE TASER 7	71019	AXON BODY - DOCK POWERCORD - NORTH AMERICA	1	1	01/01/2025
BUNDLE - CORE TASER 7	71104	AXON - DOCK/DATAPORT POWERCORD - NORTH AMERICA	1	1	01/01/2025
BUNDLE - CORE TASER 7	74028	AXON BODY - MOUNT - WING CLIP RAPIDLOCK	2	1	01/01/2025
BUNDLE - CORE TASER 7	74200	AXON TASER - DOCK - SIX BAY PLUS CORE	1	1	01/01/2025

Hardware

Bundle	Item	Description	QTY	Shipping Location	Estimated Delivery Date
BUNDLE - CORE TASER 7	80087	AXON TASER - TARGET - CONDUCTIVE PROFESSIONAL RUGGEDIZED	1	1	01/01/2025
BUNDLE - CORE TASER 7	80090	AXON TASER - TARGET FRAME - PROFESSIONAL 27.5 IN X 7.5 IN	1	1	01/01/2025
BUNDLE - CORE TASER 7	22175	AXON TASER 7 - CARTRIDGE - LIVE STANDOFF (3.5-DEGREE) NS	2	1	01/01/2026
BUNDLE - CORE TASER 7	22176	AXON TASER 7 - CARTRIDGE - LIVE CLOSE QUART (12-DEGREE) NS	2	1	01/01/2026
BUNDLE - CORE TASER 7	22175	AXON TASER 7 - CARTRIDGE - LIVE STANDOFF (3.5-DEGREE) NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	22175	AXON TASER 7 - CARTRIDGE - LIVE STANDOFF (3.5-DEGREE) NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	22175	AXON TASER 7 - CARTRIDGE - LIVE STANDOFF (3.5-DEGREE) NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	22176	AXON TASER 7 - CARTRIDGE - LIVE CLOSE QUART (12-DEGREE) NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	22176	AXON TASER 7 - CARTRIDGE - LIVE CLOSE QUART (12-DEGREE) NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	22177	AXON TASER 7 - CARTRIDGE - HALT STANDOFF NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	22178	AXON TASER 7 - CARTRIDGE - HALT CLOSE QUART NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	22178	AXON TASER 7 - CARTRIDGE - HALT CLOSE QUART NS	2	1	01/01/2027
BUNDLE - CORE TASER 7	73309	AXON BODY - TAP REFRESH 1 - CAMERA	1	1	02/01/2027
BUNDLE - CORE TASER 7	73313	AXON BODY - TAP REFRESH 1 - DOCK SINGLE BAY	1	1	02/01/2027

Software

Bundle	Item	Description	QTY	Estimated Start Date	Estimated End Date
BUNDLE - CORE TASER 7	20248	AXON TASER - EVIDENCE.COM LICENSE	1	02/01/2025	02/28/2027
BUNDLE - CORE TASER 7	20248	AXON TASER - EVIDENCE.COM LICENSE	1	02/01/2025	02/28/2027
BUNDLE - CORE TASER 7	73449	AXON RESPOND - LICENSE	1	02/01/2025	02/28/2027
BUNDLE - CORE TASER 7	73683	AXON EVIDENCE - STORAGE - 10GB A LA CARTE	3	02/01/2025	02/28/2027
BUNDLE - CORE TASER 7	73686	AXON EVIDENCE - STORAGE - UNLIMITED (AXON DEVICE)	1	02/01/2025	02/28/2027
BUNDLE - CORE TASER 7	73746	AXON EVIDENCE - ECOM LICENSE - PRO	1	02/01/2025	02/28/2027

Services

Bundle	Item	Description	QTY
BUNDLE - CORE TASER 7	101193	AXON TASER - ON DEMAND CERTIFICATION	1
BUNDLE - CORE TASER 7	20246	AXON TASER 7 - REPLACEMENT ACCESS PROGRAM - DUTY CARTRIDGE	1

Warranties

Bundle	Item	Description	QTY	Estimated Start Date	Estimated End Date
BUNDLE - CORE TASER 7	80374	AXON TASER - EXT WARRANTY - BATTERY PACK T7/T10	1	01/01/2026	02/28/2027
BUNDLE - CORE TASER 7	80395	AXON TASER 7 - EXT WARRANTY - HANDLE	1	01/01/2026	02/28/2027
BUNDLE - CORE TASER 7	80396	AXON TASER - EXT WARRANTY - DOCK SIX BAY T7/T10	1	01/01/2026	02/28/2027
BUNDLE - CORE TASER 7	80464	AXON BODY - TAP WARRANTY - CAMERA	1	01/01/2026	02/28/2027
BUNDLE - CORE TASER 7	80466	AXON BODY - TAP WARRANTY - SINGLE BAY DOCK	1	01/01/2026	02/28/2027

Shipping Locations

Location Number	Street	City	State	Zip	Country
1	10595 Main St	Roscoe	IL	61073-8830	USA

Payment Details

Jan 2025

Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Year 1	M00020	BUNDLE - CORE TASER 7	1	\$2,276.13	\$0.00	\$2,276.13
Total				\$2,276.13	\$0.00	\$2,276.13

Feb 2025

Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Invoice Upon Fulfillment	20347	TRUE UP - AXON CORE PLAN T7 CQ WITH DOCK TRUE UP 1	1	\$726.25	\$0.00	\$726.25
Invoice Upon Fulfillment	M00020	BUNDLE - CORE TASER 7	1	\$0.00	\$0.00	\$0.00
Total				\$726.25	\$0.00	\$726.25

Feb 2026

Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Year 2	M00020	BUNDLE - CORE TASER 7	1	\$2,276.12	\$0.00	\$2,276.12
Total				\$2,276.12	\$0.00	\$2,276.12

Tax is estimated based on rates applicable at date of quote and subject to change at time of invoicing. If a tax exemption certificate should be applied, please submit prior to invoicing.

Standard Terms and Conditions

Axon Enterprise Inc. Sales Terms and Conditions

Axon Master Services and Purchasing Agreement:

This Quote is limited to and conditional upon your acceptance of the provisions set forth herein and Axon's Master Services and Purchasing Agreement (posted at <https://www.axon.com/sales-terms-and-conditions>), as well as the attached Statement of Work (SOW) for Axon Fleet and/or Axon Interview Room purchase, if applicable. In the event you and Axon have entered into a prior agreement to govern all future purchases, that agreement shall govern to the extent it includes the products and services being purchased and does not conflict with the Axon Customer Experience Improvement Program Appendix as described below.

ACEIP:

The Axon Customer Experience Improvement Program Appendix, which includes the sharing of de-identified segments of Agency Content with Axon to develop new products and improve your product experience (posted at www.axon.com/legal/sales-terms-and-conditions), is incorporated herein by reference. By signing below, you agree to the terms of the Axon Customer Experience Improvement Program.

Acceptance of Terms:

Any purchase order issued in response to this Quote is subject solely to the above referenced terms and conditions. By signing below, you represent that you are lawfully able to enter into contracts. If you are signing on behalf of an entity (including but not limited to the company, municipality, or government agency for whom you work), you represent to Axon that you have legal authority to bind that entity. If you do not have this authority, please do not sign this Quote.

Signature

Date Signed

8/14/2024

