



## **CITY OF ROLLINGWOOD PARK COMMISSION MEETING AGENDA**

**Tuesday, May 12, 2026**

Notice is hereby given that the Park Commission of the City of Rollingwood, Texas will hold a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on May 12, 2026 at 12:00 PM. Members of the public and the Park Commission may participate in the meeting virtually, as long as a quorum of the Park Commission and the presiding officer are physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. The public may watch this meeting live and have the opportunity to comment via audio devices at the link below. The public may also participate in this meeting by dialing one of the toll-free numbers below and entering the meeting ID and Passcode.

**Link:** <https://us02web.zoom.us/j/5307372193?pwd=QmNUbmZBQ1lwUINjNmK5RnJreIRFUT09>

**Toll-Free Numbers:** (833) 548-0276 or (833) 548-0282

**Meeting ID:** 530 737 2193

**Password:** 9fryms

The public will be permitted to offer public comments via their audio devices when logged in to the meeting or telephonically by calling in as provided by the agenda and as permitted by the presiding officer during the meeting. If a member of the public is having difficulties accessing the public meeting, they can contact the city at [citysecretary@rollingwoodtx.gov](mailto:citysecretary@rollingwoodtx.gov). Written questions or comments may be submitted up to two hours before the meeting. A video recording of the meeting will be made and will be posted to the City's website and available to the public in accordance with the Texas Public Information Act upon written request.

### **CALL PARK COMMISSION MEETING TO ORDER**

1. Roll Call

### **PUBLIC COMMENTS**

Citizens wishing to address the Park Commission for items not on the agenda will be received at this time. Please limit comments to 3 minutes. In accordance with the Open Meetings Act, the Park Commission is restricted from discussing or taking action on items not listed on the agenda.

Citizens who wish to address the Park Commission with regard to matters on the agenda will be received at the time the item is considered.

### **CONSENT AGENDA**

## **CONSENT AGENDA**

All Consent Agenda items listed are considered to be routine by the Park Commission and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a Board Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

2. Discussion and possible action on the minutes from the April 14, 2026, Park Commission meeting

## **REGULAR AGENDA**

3. Update from Western Hills Little League and Western Hills Girls Softball
4. Update from Western Hills Athletic Club
5. Discussion, update, and possible action regarding the Rollingwood Park Design Group meeting
6. Discussion and possible action regarding recommendations to City Council for a dog off-leash area
7. Discussion and possible action on east driveway entrance improvements and parking area improvements in Rollingwood Park
8. Discussion and possible action on treatment solutions for mosquitos in the lower park area
9. Discussion, and possible action to improve Friends of Rollingwood Park online presence and fundraising
10. Discussion regarding the purpose and roles of the Park Commission
11. Discussion and possible action to create a list of proposed capital improvement projects to submit to the city for consideration during the budget process per Sec. 20-27(e) of the Rollingwood Code of Ordinances
12. Discussion regarding Quarterly Park Walk Through report from Public Works

## **DEPARTMENT REPORTS**

All reports are posted to inform the public. No discussion or action will take place on items not on the regular or consent agenda.

13. Park Commission Financials through March 30, 2026

## **ADJOURNMENT OF MEETING**

## CERTIFICATION OF POSTING

I hereby certify that the above Notice of Meeting was posted on the bulletin board at the Rollingwood Municipal Building, in Rollingwood, Texas and to the City website at [www.rollingwoodtx.gov](http://www.rollingwoodtx.gov) prior to 5:00 p.m. on May 6, 2026.



Lindsay Saenz, Assistant to the City Administrator

### NOTICE -

The City of Rollingwood is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please contact the City Secretary, at (512) 327-1838 for information. Hearing-impaired or speech-disabled persons equipped with telecommunication devices for the deaf may call (512) 272-9116 or may utilize the stateside Relay Texas Program at 1-800-735-2988.

The Park Commission will announce that it will go into executive session, if necessary, to deliberate any matter listed on this agenda for which an exception to open meetings requirements permits such closed deliberation, including but not limited to consultation with the city's attorney(s) pursuant to Texas Government Code section 551.071, as announced at the time of the closed session.

Consultation with legal counsel pursuant to section 551.071 of the Texas Government Code;  
discussion of personnel matters pursuant to section 551.074 of the Texas Government Code;  
real estate acquisition pursuant to section 551.072 of the Texas Government Code;  
prospective gifts pursuant to section 551.073 of the Texas Government Code;  
security personnel and device pursuant to section 551.076 of the Texas Government Code;  
and/or economic development pursuant to section 551.087 of the Texas Government Code.  
Action, if any, will be taken in open session.



**CITY OF ROLLINGWOOD  
PARK COMMISSION MEETING  
AGENDA**

**Tuesday, April 14, 2026**

The Park Commission of the City of Rollingwood, Texas held a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on April 14, 2026. Members of the public and the Park Commission were able to participate in the meeting virtually, as long as a quorum of the Park Commission and the presiding officer were physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. A video recording of the meeting was made and will be posted to the City’s website and available to the public in accordance with the Texas Public Information Act upon written request.

**CALL PARK COMMISSION MEETING TO ORDER**

- 1. Roll Call

**Chair Melissa Morrow called the meeting to order at 12:03 p.m.**

**Present Members:** Chair Melissa Morrow, Mary Elizabeth Cofer, Sean Downing, Rhett Bennett, Victoria Johnson, and Diana Wallace

**Also Present:** City Administrator Alun Thomas, Assistant to the City Administrator Lindsay Saenz, Development Services Manager Nikki Stautzenberger, Council Member Kevin Glasheen, and Council Member Kevin Schell

Laurie Mills joined the meeting at 12:05 p.m.

**PUBLIC COMMENTS**

Commissioners introduced themselves to welcome new Commissioner Rhett Bennett.

There were no public comments.

**CONSENT AGENDA**

All Consent Agenda items listed are considered to be routine by the Park Commission and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a Board Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

- 2. Discussion and possible action on the minutes from the March 24, 2026 Special Park Commission meeting

**Commissioner Laurie Mills moved to approve the Consent Agenda. Commissioner Rhett Bennett seconded the motion. The motion carried with 7 in favor and 0 against.**

### **REGULAR AGENDA**

3. Update from Western Hills Little League and Western Hills Girls Softball

Steve Franke with the Western Hills Little League reported the league is mid-season, with approximately one month remaining. The weather has impacted game scheduling, and with softball attendance, there is potential for a softball all-star team this year.

4. Update from Western Hills Athletic Club

Chair Melissa Morrow updated the Commission that the Western Hills Athletic Club has scheduled its meeting for the same time as the Park Commission meeting, so the Commission will receive its updates a month later. She noted that their construction is ongoing, with the pool deck expected to be completed this week and full project completion anticipated in May, weather permitting.

Commissioner Sean Downing asked if there was still potential for coordination on perimeter fencing aesthetics and whether tree plantings were in the works. Commissioner Mary Elizabeth Cofer mentioned to remind WHAC to relocate the dumpster to their site.

5. Discussion, update, and possible action regarding the Rollingwood Park Design Group meeting

The Commission reviewed the history and current status of park improvement efforts, noting that completed projects include the retaining wall and recent playground improvements. Ongoing efforts continue to focus on parking redesign, tree planning, and the broader park layout, which has evolved into a more comprehensive planning effort.

Melissa Morrow, Chair of the Park Commission, provided additional context on the design process, explaining that the project has expanded beyond initial parking improvements to include a more holistic evaluation of park use and layout. She noted that multiple design iterations have been developed and refined through ongoing discussion and community input.

The Commission discussed three designs, Option A, B, and C, for potential off-leash areas, along with consideration of maintaining the current shared-use configuration. Members discussed how each option could impact park users, including youth sports organizations, dog park users, and general recreation. It was noted that feedback from Western Hills Little League has been limited despite outreach efforts, likely due to the timing of their active season.

Discussion also included the possibility of an Option D that would retain the current shared-use arrangement while making targeted improvements, including expanded green space. Members expressed interest in ensuring that any recommended option maintains flexibility and reflects the needs of the broader community.

The Commission also discussed potential changes to the parking area, including redesign concepts intended to improve organization and capacity, as well as the possibility of converting

portions of existing parking areas back into green space. Members acknowledged that decisions regarding parking layout are closely tied to broader park design considerations and will need to be coordinated carefully.

*Items 6 and 7 were brought forward.*

Additional conversation addressed construction sequencing and the importance of planning improvements in a way that avoids unnecessary rework or added costs. Material options for the parking surface—including asphalt, concrete, and permeable systems—were also discussed, with members noting differences in durability, maintenance, cost, and environmental impact. It was further noted that engineering analysis is still underway, particularly with respect to drainage requirements and regulatory considerations.

The Commission noted that, despite outreach efforts, limited feedback has been received from Western Hills Little League, likely due to the timing of their active season. Commissioners discussed the importance of balancing the needs of various user groups, including youth sports, dog park users, and general park visitors, while also expressing a shared desire to move the project forward in a timely manner.

**Commissioner Laurie Mills moved to send the parking lot design and versions A, B, and C of the off-leash area to the City Council for their review. Commissioner Victoria Johnson seconded the motion.**

**Commissioner Mary Elizabeth Coffey moved to amend the motion, adding an option D, leaving the fence line as is, and having the soil and excavation done for the back part of the lot. Commissioner Diana Wallace seconded the amendment. Commissioner Rhett Bennett revised the amendment so that option D would also leave the outer fence line as is and remove the inner fence noted in the options. The amendment carried with 7 in favor and 0 against.**

- 6. Discussion and possible action regarding recommendations to City Council for a dog off leash area

*This item was discussed with Item 5.*

- 7. Discussion and possible action on east driveway entrance improvements and parking area improvements in Rollingwood Park

*This item was discussed with Item 5.*

- 8. Discussion and possible action on treatment solutions for mosquitoes in the lower park area

Commissioner Sean Downing spoke to the commission regarding this item. Members of the community have expressed that mosquito control is needed in the lower park area.

Commissioner Mary Elizabeth Coffey expressed concern about mosquito treatments, as the pesticides may affect the pollinators of the Butterfly Garden. Commissioners discussed different companies that offer more natural solutions they personally encountered, as well as the water that puddles in the area, which, if mitigated, could help.

- 9. Discussion, and possible action to improve Friends of Rollingwood Park online presence and fundraising

*This item was not discussed.*

**ADJOURNMENT OF MEETING**

**The meeting was adjourned at 12:08 p.m.**

**Minutes adopted on the 12<sup>th</sup> day of May, 2026.**

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**Melissa Morrow, Chair**

**ATTEST:**

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**Nikki Stautzenberger, Development Services Manager**

# AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Update from Western Hills Little League and Western Hills Girls Softball

**Description:**

This agenda item is included on the Park Commission's agenda for informational purposes only. It allows both Western Hills Little League and Western Hills Girls Softball to provide the Commission with updates on their activities.

**Action Requested:**

No action.

**Fiscal Impacts:**

n/a

**Attachments:**

n/a

# AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Update from Western Hills Athletic Club

**Description:**

This agenda item is included on the Park Commission's agenda to allow Western Hills Athletic Club to provide the Commission with updates on its activities, if it so chooses.

**Action Requested:**

No action is requested or permitted for this item

**Fiscal Impacts:**

No fiscal impact is expected from this item

**Attachments:**

None

## AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Discussion, update, and possible action regarding the Rollingwood Park Design Group meeting

**Description:**

This item is intended to provide an update from the May 8, 2026, Rollingwood Park Design Group meeting.

**Action Requested:**

No action.

**Fiscal Impacts:**

n/a

**Attachments:**

n/a

# AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Discussion and possible action regarding recommendations to City Council for a dog off leash area

**Description:**

The Rollingwood Park Design Group held a meeting on May 8, 2026, to discuss potential ideas for a dog-off-leash area in Rollingwood Park.

This item allows the Park Commission to review proposed designs for an off-leash dog area from Landscape Architect Curt Arnette of Sitio Design and propose a recommendation to City Council.

**Action Requested:**

Discuss and consider a recommendation to City Council regarding an off-leash dog area design.

**Fiscal Impacts:**

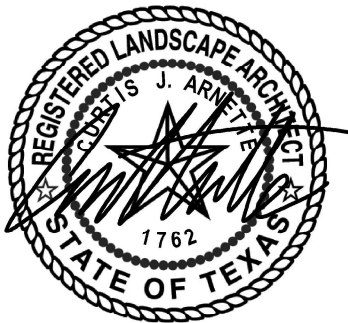
The fiscal impact from this item depends upon the Commission's recommendation and City Council's decision.

**Attachments:**

- Curt Arnette slide show



curt arnetto, asla  
landscape architect  
6114 ginita lane  
austin, texas 78739  
512.415.2097  
mail@sitiodesign.com  
sitiodesign.com



Landscape Development Plan for the  
**Rollingwood Park**  
Rollingwood Drive  
Rollingwood, TX 78746

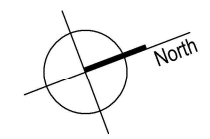
Date: 10/22/2025

Revised:

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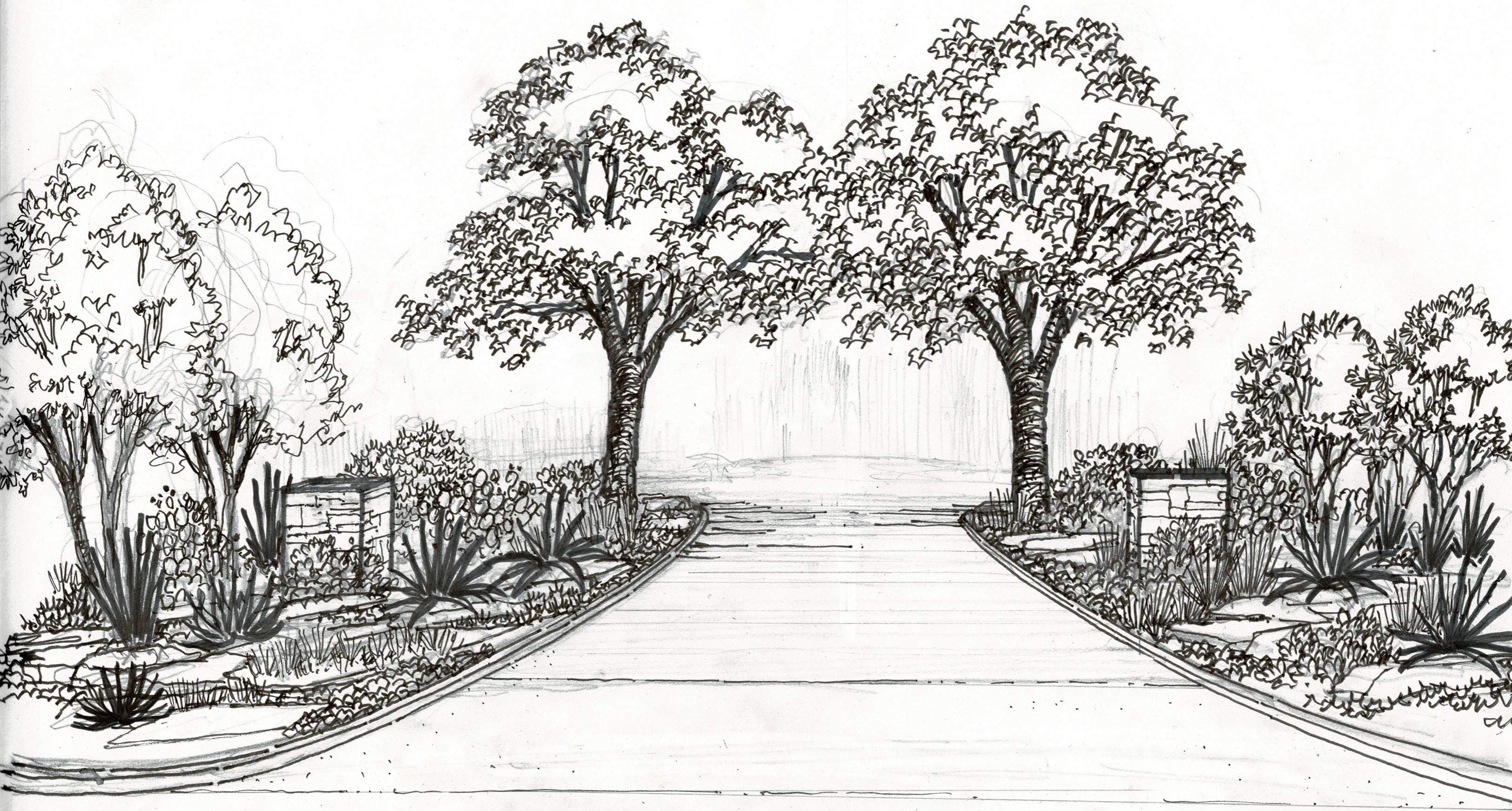
**Landscape Development Plan**  
Scale 1" = 20' - 0"



20' DRAINAGE EASEMENT  
AND P.U.E.  
(PER PLAT)

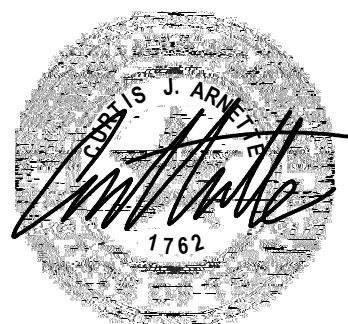
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(C=73.46, A=73.63°)  
(L=13°21'28")  
(R=315.81')

(N76°10'45"W, 103.04')





sitiodesign  
curt arnette, asla  
landscape architect  
6114 ginita lane  
austin, texas 78739  
512.415.2097  
mail@sitiodesign.com  
sitiodesign.com

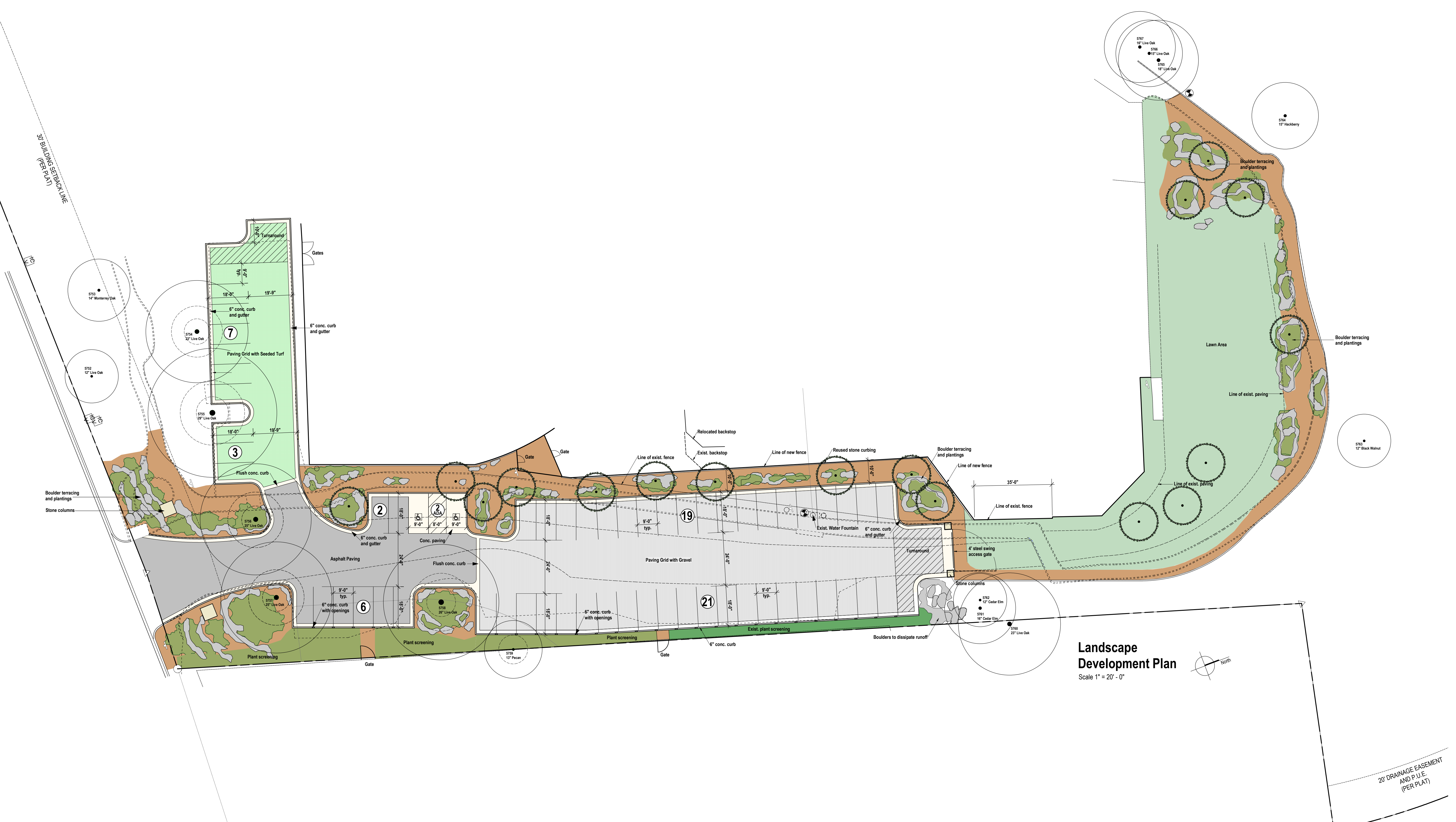


Landscape Development Plan for the  
**Rollingwood Park**  
Rollingwood Drive, TX 78746

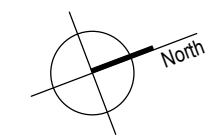
Date: 11/14/2025

Revised:

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\_\_\_\_\_  
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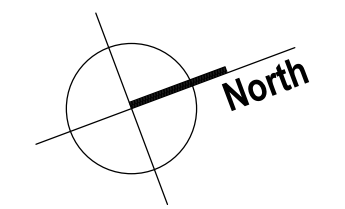


**Landscape Development Plan**  
Scale 1" = 20' - 0"



20' DRAINAGE EASEMENT  
AND P.U.E.  
(PER PLAT)

Scale 1" = 20'-0"



1 acre = 43,560 sf  
 .4 acre = 17,424 sf  
 .6 acre = 26,136 sf

17,790 sf

7,000 sf

LOT 1  
 WESTERN HILLS ATHLETIC CLUB  
 ADDITION  
 BOOK 79, PAGES 355-356  
 P.R.T.C.T.

LOT 5A  
 RESUBDIVISION OF LOTS 5 & 6  
 CLARK SUBDIVISION  
 BOOK 83, PAGE 143C  
 P.R.T.C.T.

Rollingwood Drive

Pinto

Shetland

Shetland

20' DRAINAGE EASEMENT AND P.U.E. (PER PLAT)

Property Line

Line of existing asphalt

Line of existing gravel

Line of proposed fence

Line of exist. paving

Existing trail

Concrete

Existing asphalt

Relocated backstop

Exist. backstop

5754 22" Live Oak

5755 20" Live Oak

5756 22" Live Oak

5757 18" Live Oak

5758 20" Live Oak

5759 13" Pecan

5762 18" Live Oak

5761 18" Cedar Elm

5760 22" Live Oak

5767 16" Live Oak

5768 18" Live Oak

5764 15" Hackberry

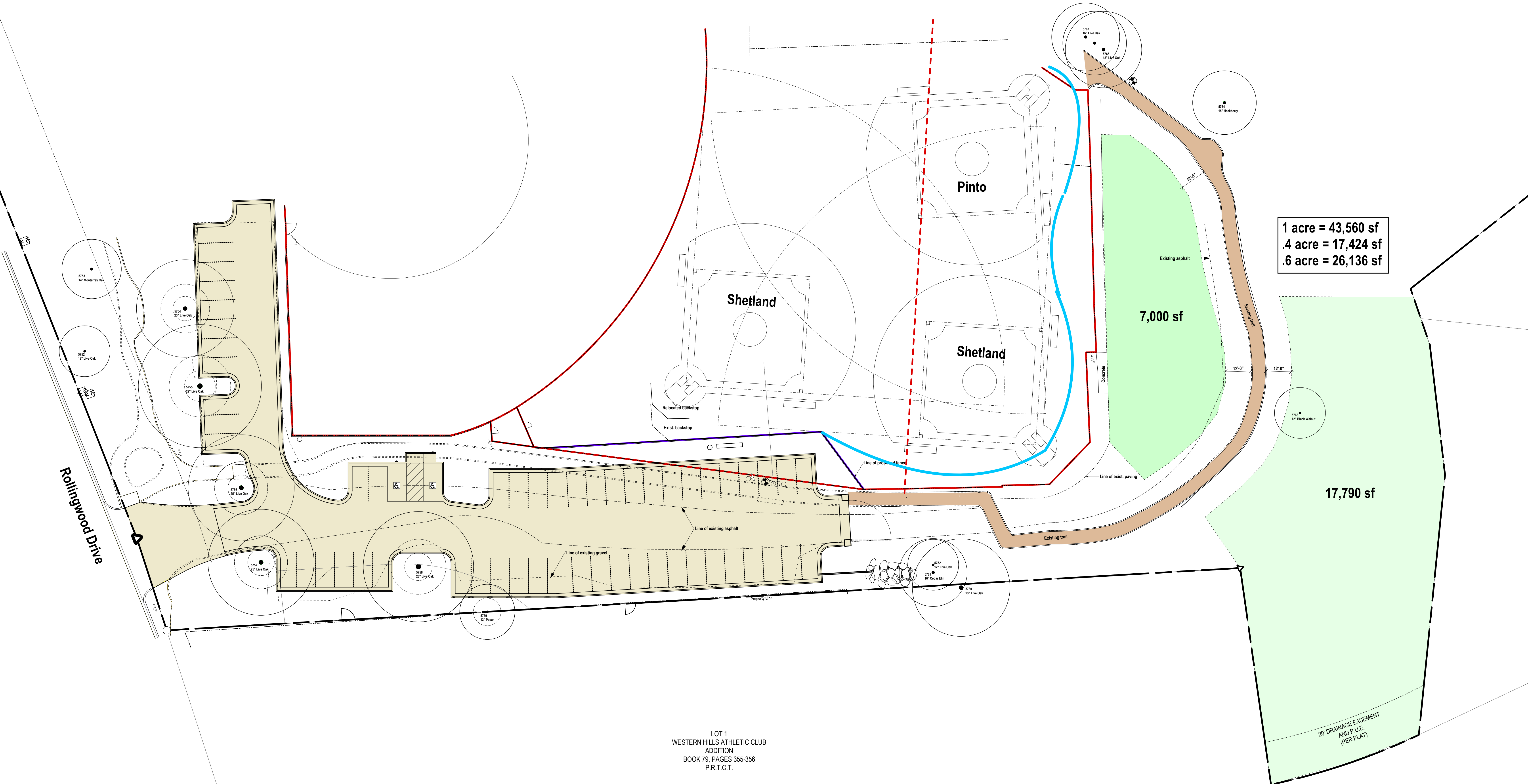
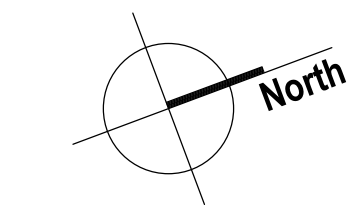
5763 12" Black Walnut

5753 16" Monterey Oak

5752 12" Live Oak

5751 12" Live Oak

Scale 1" = 20'-0"



1 acre = 43,560 sf
.4 acre = 17,424 sf
.6 acre = 26,136 sf

LOT 1  
WESTERN HILLS ATHLETIC CLUB  
ADDITION  
BOOK 79, PAGES 355-356  
P.R.T.C.T.

LOT 5A  
RESUBDIVISION OF LOTS 5 & 6  
CLARK SUBDIVISION  
BOOK 83, PAGE 143C  
P.R.T.C.T.

Rollingwood Drive

Pinto

Shetland

Shetland

7,000 sf

17,790 sf

20' DRAINAGE EASEMENT AND P.U.E. (PER PLAT)

Property Line

Relocated backstop

Exist. backstop

Line of existing asphalt

Line of existing gravel

Line of prop. of fence

Line of exist. paving

Concrete

Existing trail

Existing asphalt

Existing asphalt

Existing asphalt

Existing asphalt

Existing asphalt

Existing asphalt

Existing asphalt

Existing asphalt

Existing asphalt

Existing asphalt

5754 22" Live Oak

5755 20" Live Oak

5756 22" Live Oak

5757 18" Live Oak

5758 20" Live Oak

5759 13" Pecan

5760 18" Live Oak

5761 18" Cedar Elm

5762 22" Live Oak

5763 18" Live Oak

5764 18" Live Oak

5765 18" Live Oak

5766 15" Hackberry

5767 12" Black Walnut

5770 14" Monterey Oak

5771 12" Live Oak

5772 12" Live Oak

5773 12" Live Oak

5774 12" Live Oak

5775 12" Live Oak

5776 12" Live Oak

5777 12" Live Oak

### Dog Park Option 1 Upper Area Only - .4 Acres

\* Pinto Softball Field - shifted southwest 15'  
\* One field eliminated

1 acre = 43,560 sf
.2 acre = 8,712 sf
.4 acre = 17,424 sf
.5 acre = 21,780 sf
.6 acre = 26,136 sf

**KEY**

- Dog Park Area - .4 ac
- Play Field Area - 36,340 sf (.83 ac)
- Existing Walking Trail
- Proposed Modified Walking Trail
- Existing Butterfly Garden - remains the same
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Proposed Shade Tree
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park

North  
Scale 1" = 20'-0"



LOT 1  
WESTERN HILLS ATHLETIC CLUB  
ADDITION  
BOOK 79, PAGES 355-356  
P.R.T.C.T.

LOT 5A  
RESUBDIVISION OF LOTS 5 & 6  
CLARK SUBDIVISION  
BOOK 83, PAGE 143C  
P.R.T.C.T.

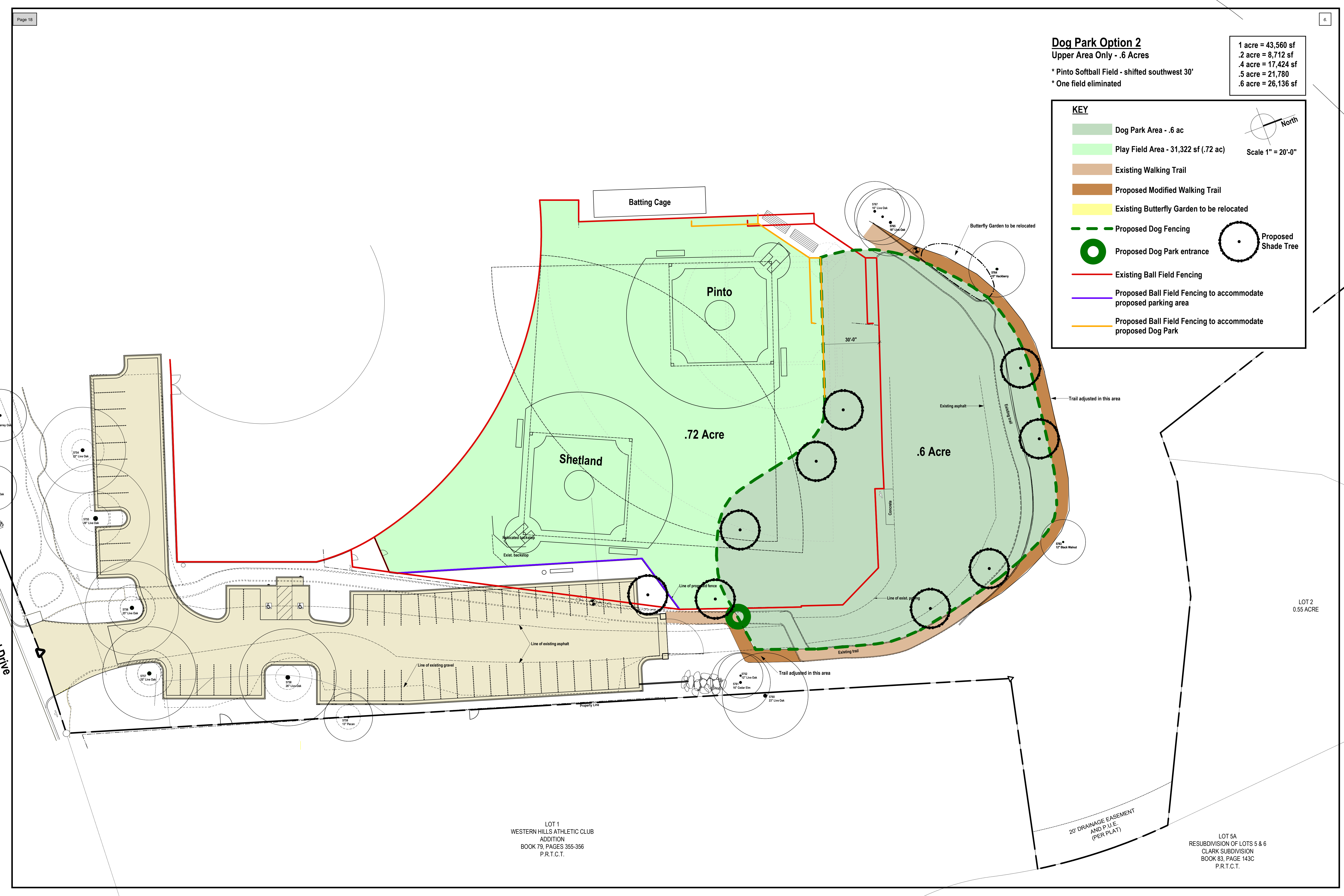
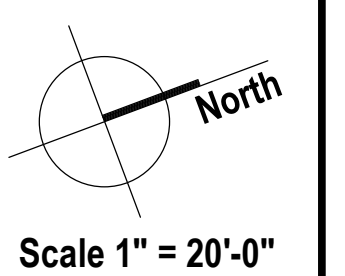
### Dog Park Option 2 Upper Area Only - .6 Acres

\* Pinto Softball Field - shifted southwest 30'  
\* One field eliminated

1 acre = 43,560 sf  
.2 acre = 8,712 sf  
.4 acre = 17,424 sf  
.5 acre = 21,780 sf  
.6 acre = 26,136 sf

#### KEY

- Dog Park Area - .6 ac
- Play Field Area - 31,322 sf (.72 ac)
- Existing Walking Trail
- Proposed Modified Walking Trail
- Existing Butterfly Garden to be relocated
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Proposed Shade Tree
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park



LOT 1  
WESTERN HILLS ATHLETIC CLUB  
ADDITION  
BOOK 79, PAGES 355-356  
P.R.T.C.T.

LOT 5A  
RESUBDIVISION OF LOTS 5 & 6  
CLARK SUBDIVISION  
BOOK 83, PAGE 143C  
P.R.T.C.T.

20' DRAINAGE EASEMENT  
AND P.U.E.  
(PER PLAT)

LOT 2  
0.55 ACRE

### Dog Park Option 3 Upper Area Only - .5 Acres

\* Pinto Softball Field - shifted southwest 20'  
\* One field eliminated

1 acre = 43,560 sf
.2 acre = 8,712 sf
.4 acre = 17,424 sf
.5 acre = 21,780 sf
.6 acre = 26,136 sf

**KEY**

- Dog Park Area - .5 ac
- Play Field Area - 35,033 sf (.80 ac)
- Existing Walking Trail
- Proposed Modified Walking Trail
- Existing Butterfly Garden - remains the same
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Proposed Shade Tree
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park

North  
Scale 1" = 20'-0"



LOT 1  
WESTERN HILLS ATHLETIC CLUB  
ADDITION  
BOOK 79, PAGES 355-356  
P.R.T.C.T.

20' DRAINAGE EASEMENT  
AND P.U.E.  
(PER PLAT)

LOT 5A  
RESUBDIVISION OF LOTS 5 & 6  
CLARK SUBDIVISION

LOT 2  
0.55 ACRE

**Dog Park Option 4**  
 Upper and Lower Areas Separate Fencing -  
 .4 and .2 Acres

1 acre = 43,560 sf  
 .2 acre = 8,712 sf  
 .4 acre = 17,424 sf  
 .5 acre = 21,780 sf  
 .6 acre = 26,136 sf

\* Pinto Softball Field - shifted southwest 15'  
 \* One field eliminated

**KEY**

- Dog Park Areas - .4 ac and .2 ac
- Play Field Area - 32,705 sf (.75 ac)
- Existing Walking Trail
- Proposed Modified Walking Trail
- Existing Butterfly Garden to remain
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Proposed Shade Tree
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park
- Proposed Planting Areas (Additional Butterfly Gardens)
- Boulder terracing created by resetting existing boulders

North  
Scale 1" = 20'-0"



LOT 1  
 WESTERN HILLS ATHLETIC CLUB  
 ADDITION  
 BOOK 79, PAGES 355-356  
 P.R.T.C.T.

LOT 5A  
 RESUBDIVISION OF LOTS 5 & 6  
 CLARK SUBDIVISION

LOT 2  
 0.55 ACRE

**Dog Park Option 5**  
 Upper and Lower Areas Combined Fencing -  
 .4 and .2 Acres

1 acre = 43,560 sf
.2 acre = 8,712 sf
.4 acre = 17,424 sf
.5 acre = 21,780 sf
.6 acre = 26,136 sf

\* Pinto Softball Field - shifted southwest 15'  
 \* One field eliminated

**KEY**

- Dog Park Areas - .4 ac and .2 ac
- Play Field Area - 35,133 sf (.81 ac)
- Existing Walking Trail
- Proposed Modified Walking Trail
- Existing Butterfly Garden to be relocated
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Proposed Shade Tree
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park
- Proposed Planting Areas (Additional Butterfly Gardens)
- Boulder terracing created by resetting existing boulders

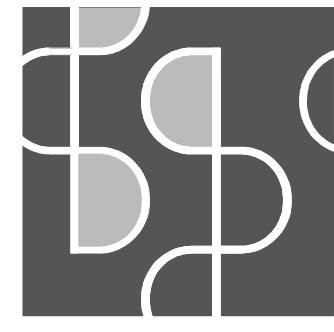
North  
Scale 1" = 20'-0"



**Notes:**  
 Trail alignment stays the same  
 Butterfly garden stays the same  
 One field removed  
 sf still remaining for open space  
 Opportunity to extend butterfly garden  
 on other side of trail  
 beginning of trail to lower area  
 and connection

LOT 1  
 WESTERN HILLS ATHLETIC CLUB  
 ADDITION  
 BOOK 79, PAGES 355-356  
 P.R.T.C.T.

LOT 5A  
 RESUBDIVISION OF LOTS 5 & 6  
 CLARK SUBDIVISION



sitiodesign

curt arnette, asla  
landscape architect  
6 1 1 4 ginita lane  
austin, texas 78739  
512.415.2097  
sitiodesigngroup@yahoo.com  
sitiodesign.com

February 20, 2026

### Dog Park Option 5

.5 Acres

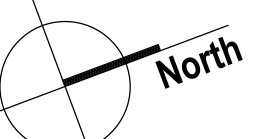
\* Softball Field - shifted south 30', west 10'

\* One field eliminated

1 acre = 43,560 sf  
.2 acre = 8,712 sf  
.4 acre = 17,424 sf  
.5 acre = 21,780 sf  
.6 acre = 26,136 sf

#### KEY

- Dog Park Area - 21,780 sf (.5 ac)
- Play Field Area - 33,040 sf (.76 ac)
- Existing Walking Trail
- Proposed Modified Walking Trail
- Proposed Planting Areas (Additional Butterfly Gardens)
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Proposed Shade Tree
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park
- Proposed Bench Location



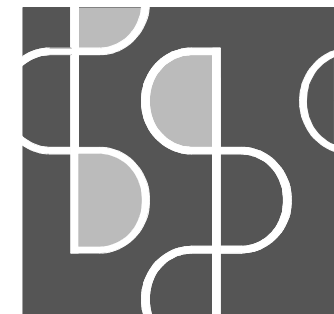
Scale 1" = 20'-0"



LOT 1  
WESTERN HILLS ATHLETIC CLUB  
ADDITION  
BOOK 79, PAGES 355-356  
P.R.T.C.T.

LOT 2  
0.55 ACRE

LOT 5A  
RESUBDIVISION OF LOTS 5 & 6  
CLARK SUBDIVISION



sitiodesign

curt arnette, asla  
landscape architect  
6 1 1 4 ginitia lane  
austin, texas 78739  
512.415.2097  
sitiodesigngroup@yahoo.com  
sitiodesign.com

February 20, 2026

### Dog Park Option 6

.6 Acres

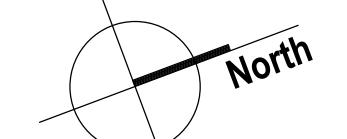
\* Softball Field - shifted south 30', west 10'

\* One field eliminated

1 acre = 43,560 sf  
.2 acre = 8,712 sf  
.4 acre = 17,424 sf  
.5 acre = 21,780 sf  
.6 acre = 26,136 sf

#### KEY

- Dog Park Area - 26,136 sf (.6 ac)
- Play Field Area - 32,685 sf (.75 ac)
- Existing Walking Trail
- Proposed Modified Walking Trail



Scale 1" = 20'-0"

- Proposed Dog Fencing
- Proposed Dog Park entrance
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park
- Proposed Shade Tree



LOT 1  
WESTERN HILLS ATHLETIC CLUB  
ADDITION  
BOOK 79, PAGES 355-356  
P.R.T.C.T.

LOT 2  
0.55 ACRE

20' DRAINAGE EASEMENT  
AND P.U.E.  
(PER PLAT)

LOT 5A  
RESUBDIVISION OF LOTS 5 & 6  
CLARK SUBDIVISION

### Dog Park Version 'A'

.5 Acres

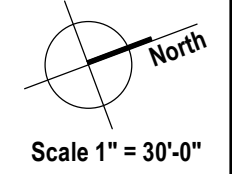
\* Softball Field - shifted south 30', west 10'

\* One field eliminated

1 acre = 43,560 sf
.5 acre = 21,780 sf
.55 acre = 23,958 sf
.6 acre = 26,136 sf

#### KEY

- Dog Park Area - 21,790 sf (.5 ac)
- Play Field Area - 33,186 sf (.76 ac)
- Proposed Planting Areas (Additional Butterfly Gardens)
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Proposed Shade Tree
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park
- Proposed Guardrail



**sitiodesign**  
 curt arnette, asa  
 landscape architect  
 6114 ginilla lane  
 austin, texas 78739  
 512.415.2097  
 sitiodesigngroup@yahoo.com  
 sitiodesign.com  
 April 7, 2026



### Dog Park Version 'C'

.6 Acres

\* Softball Field - shifted south 45', west 10'

\* One field eliminated

1 acre = 43,560 sf  
 .5 acre = 21,780 sf  
 .55 acre = 23,958 sf  
 .6 acre = 26,136 sf

**KEY**

- Dog Park Area - 26,110 sf (.6 ac)
- Play Field Area - 28,540 sf (.66 ac)
- Proposed Planting Areas (Additional Butterfly Gardens)
- Proposed Dog Fencing
- Proposed Dog Park entrance
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park
- Proposed Guardrail

Scale 1" = 30'-0"

North

Proposed Shade Tree

Tree protection fencing



**sitiodesign**

curt arnette, asla  
 landscape architect  
 6 1 1 4 ginita lane  
 austin, texas 78739  
 512.415.2097  
 sitiodesigngroup@yahoo.com  
 sitiodesign.com

April 7, 2026

### Dog Park Version 'E'

.59 Acres

\* Softball Field - shifted south 40', west 10'

\* One field eliminated

1 acre = 43,560 sf  
 .5 acre = 21,780  
 .55 acre = 23,958  
 .6 acre = 26,136 sf

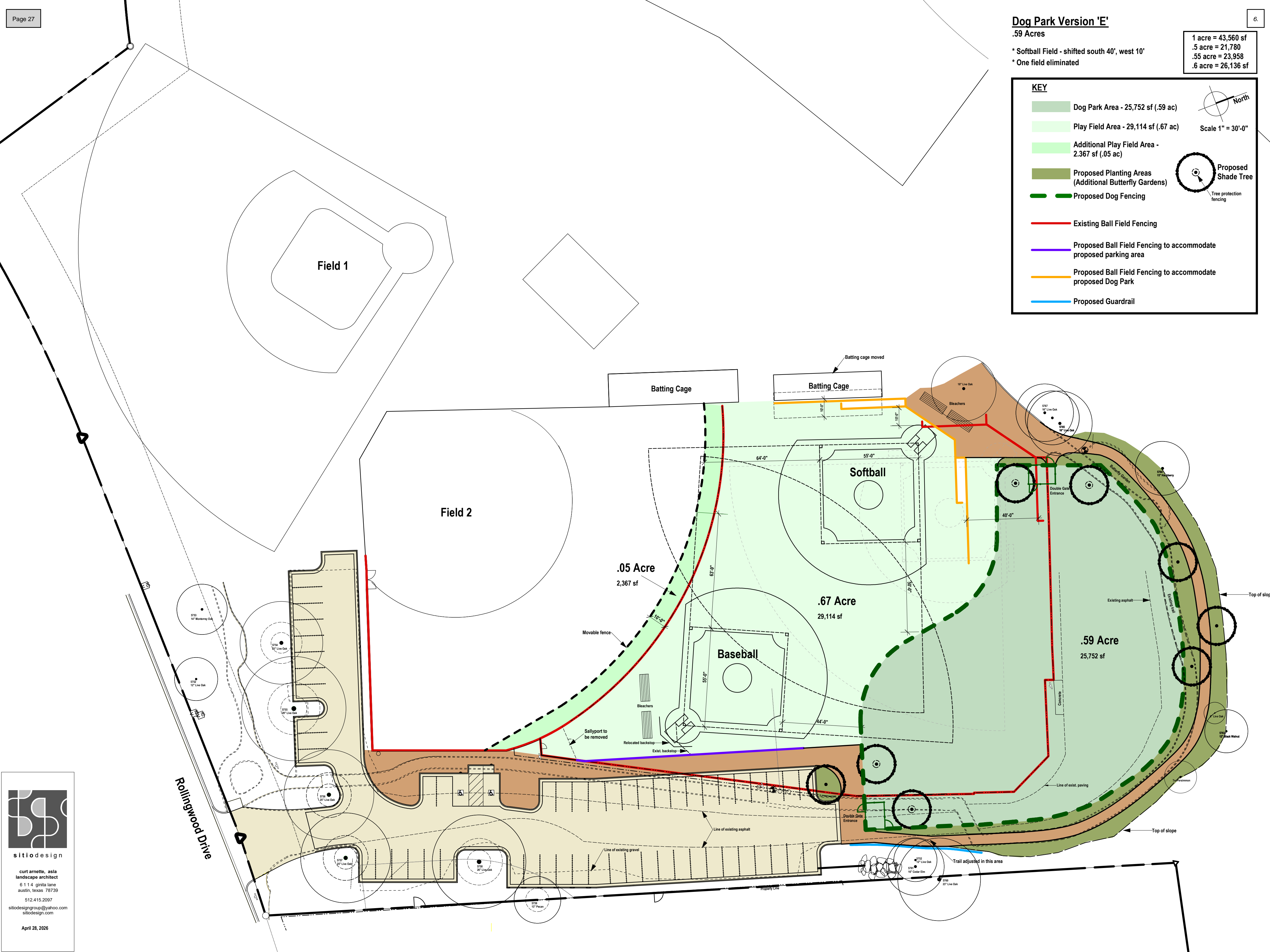
**KEY**

- Dog Park Area - 25,752 sf (.59 ac)
- Play Field Area - 29,114 sf (.67 ac)
- Additional Play Field Area - 2,367 sf (.05 ac)
- Proposed Planting Areas (Additional Butterfly Gardens)
- Proposed Dog Fencing
- Existing Ball Field Fencing
- Proposed Ball Field Fencing to accommodate proposed parking area
- Proposed Ball Field Fencing to accommodate proposed Dog Park
- Proposed Guardrail

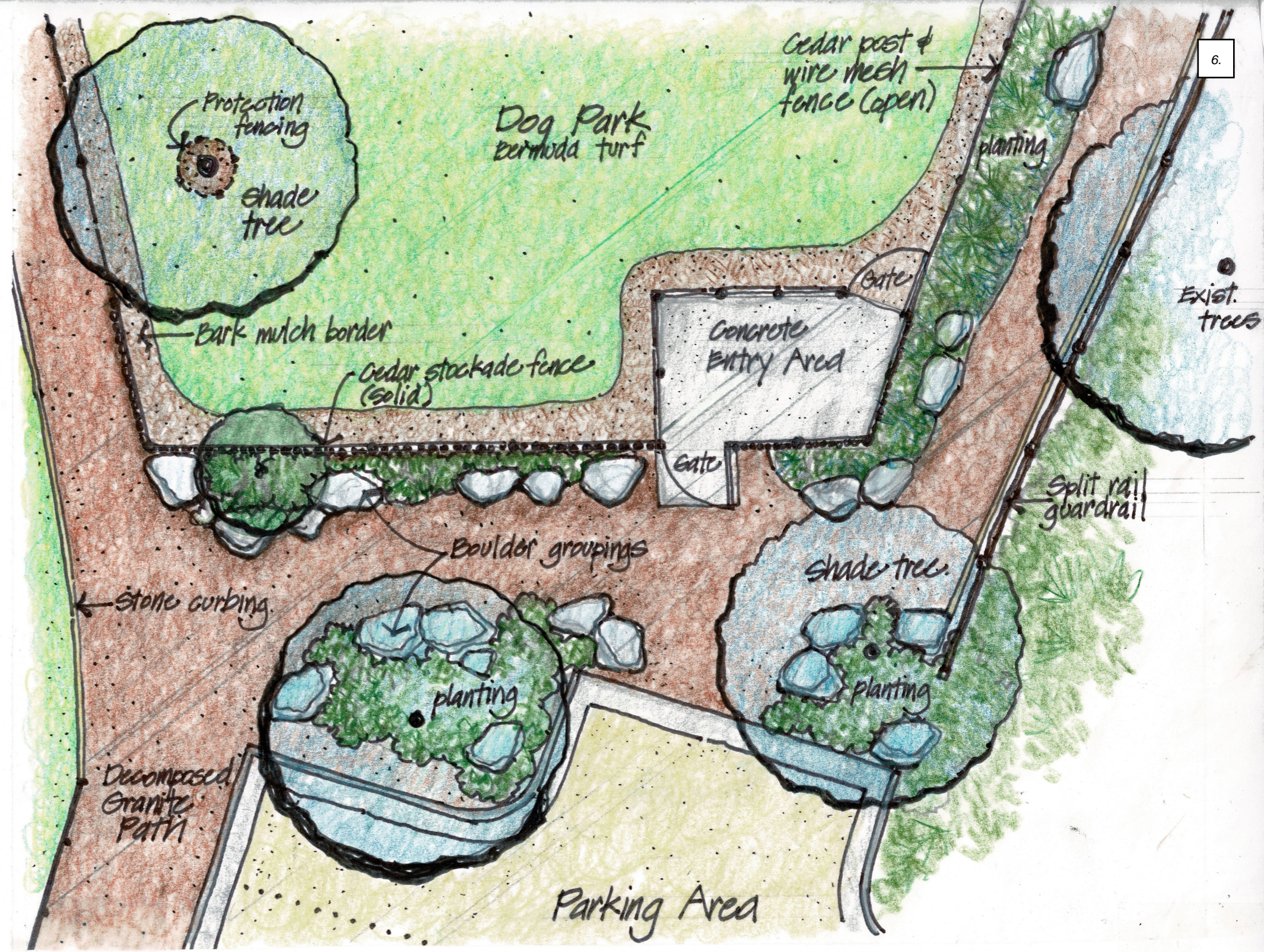
Scale 1" = 30'-0"

Proposed Shade Tree

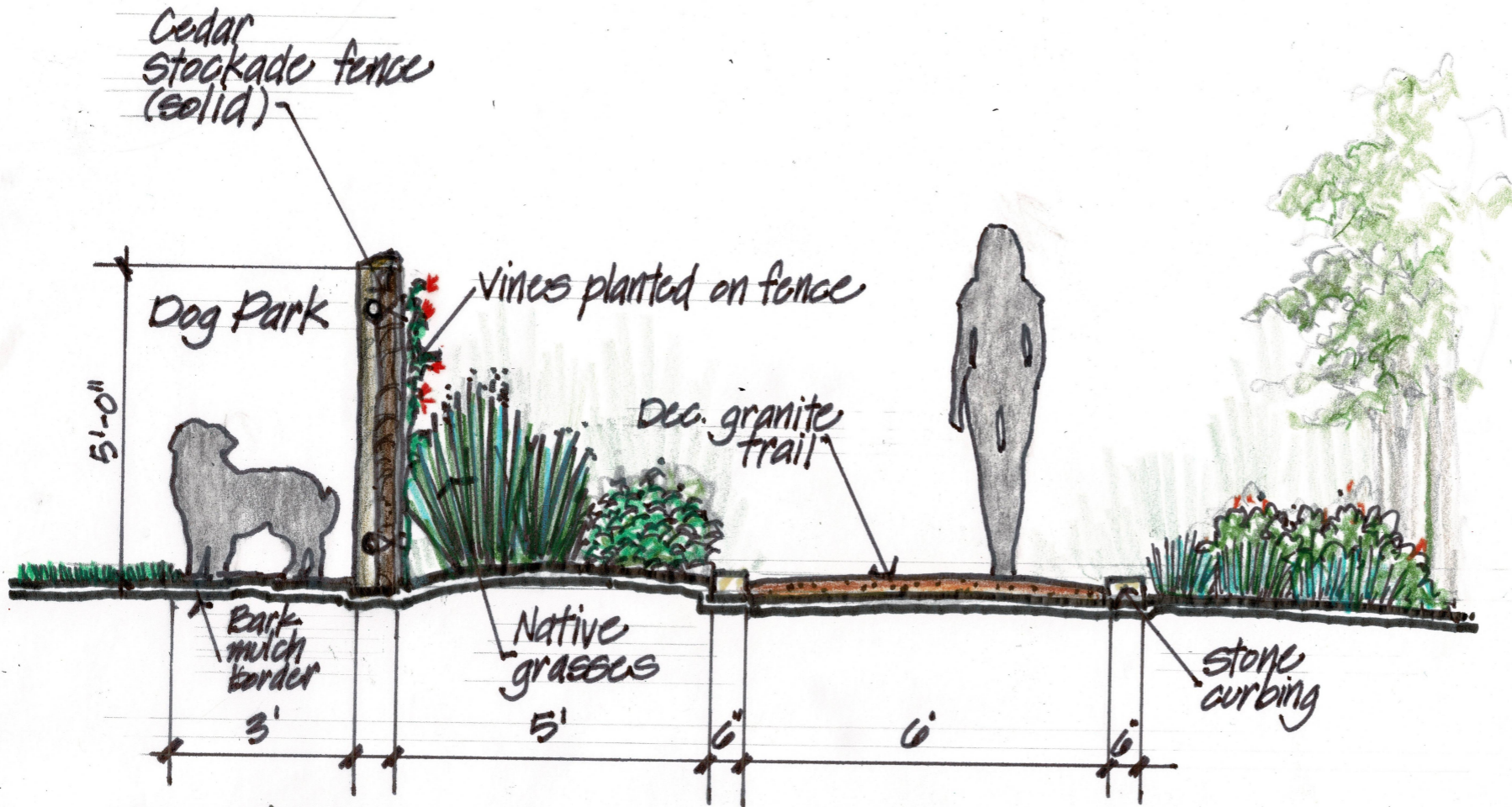
Tree protection fencing



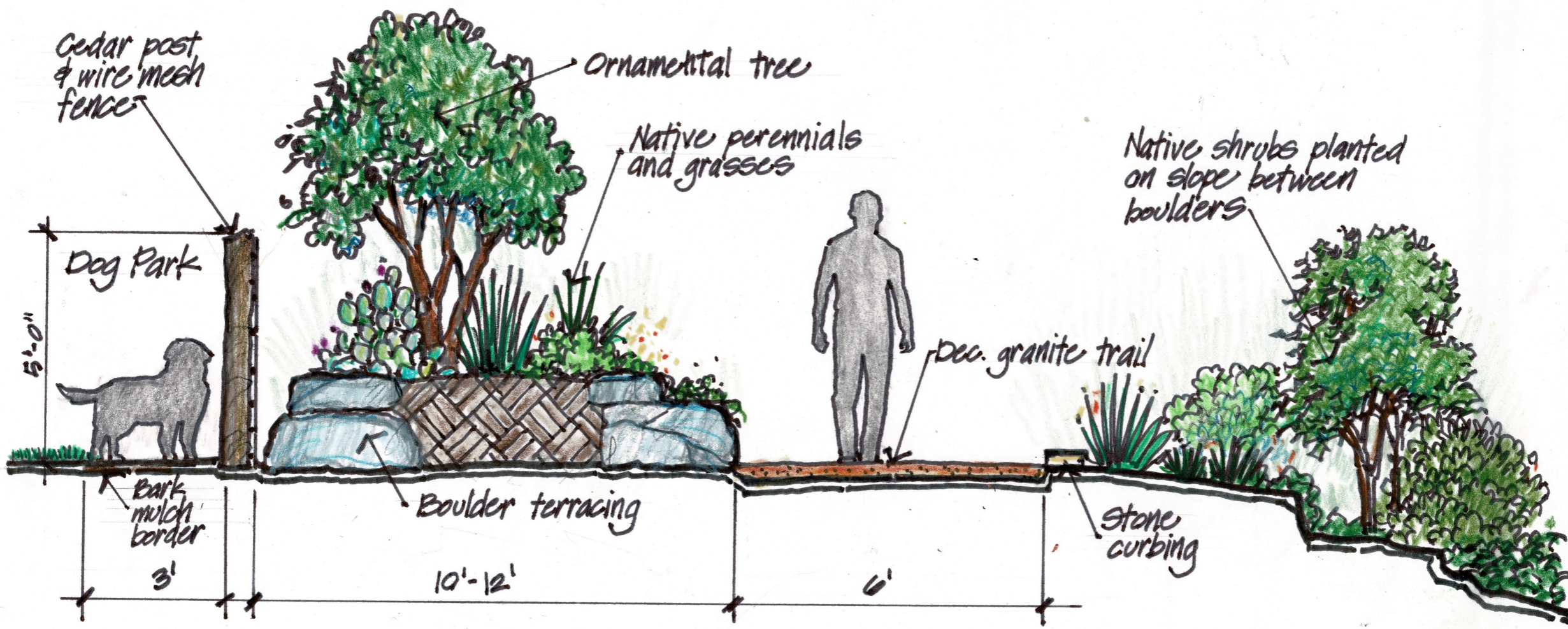
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 curt arnette, asa  
 landscape architect  
 6 1 1 4 ginita lane  
 austin, texas 78739  
 512.415.2097  
 sitiodesigngroup@yahoo.com  
 sitiodesign.com  
 April 28, 2026



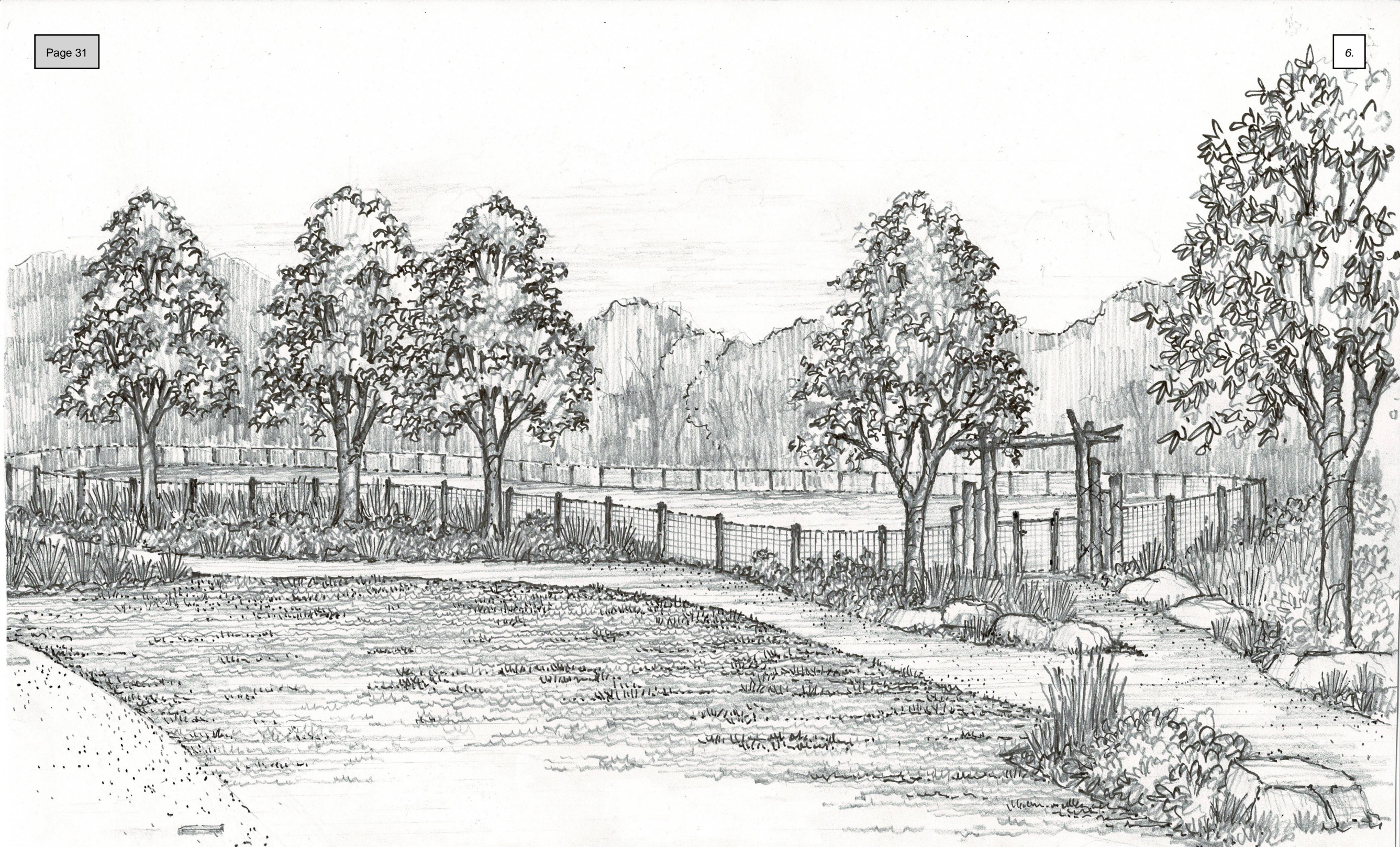
Plan - Dog Park Entrance at Parking Area  
 scale 1/8" = 1'-0"



Section - Solid Fence / Planting / Trail  
scale 3/8" = 1'-0"



Section - Open Fence / Berm / Trail  
 scale 3/8" = 1'-0"





**Double gated entrance with concrete paving**



**Maintenance entrance with shade structure in background**



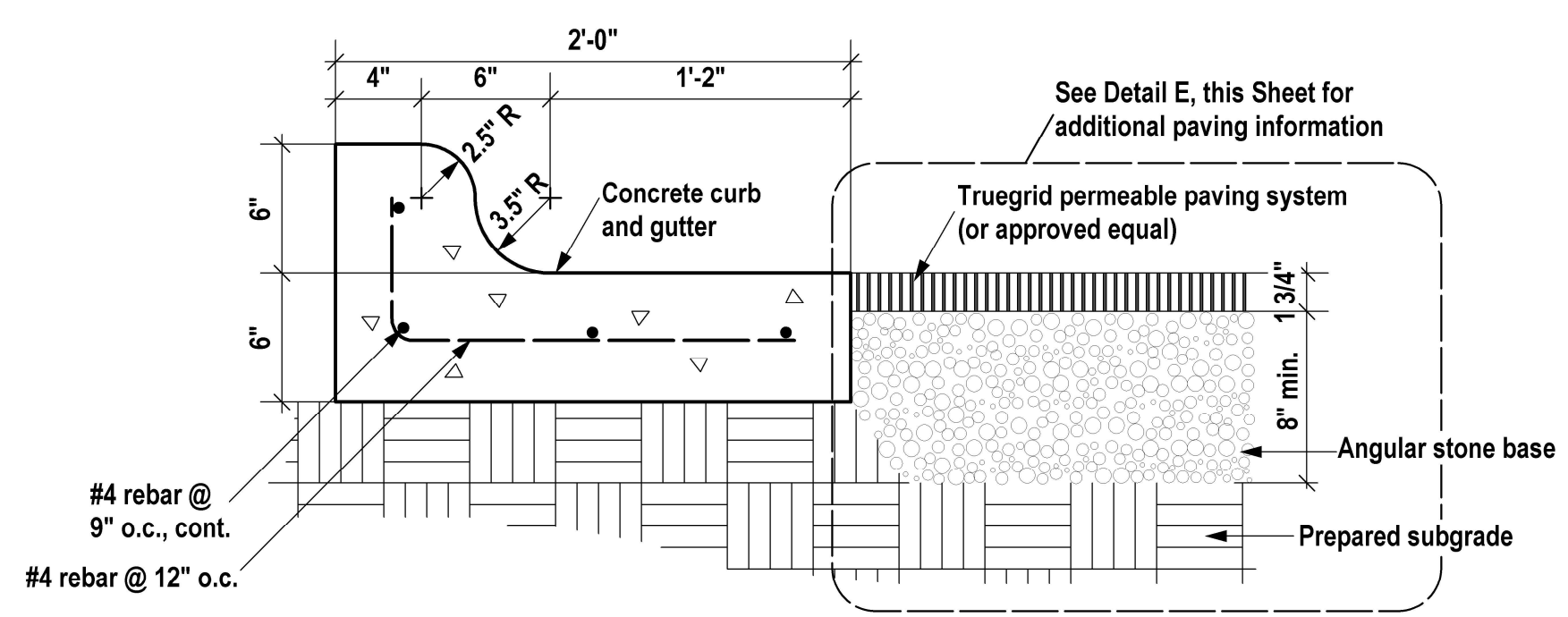
**Dog park fencing also serves as fencing for ball fields**



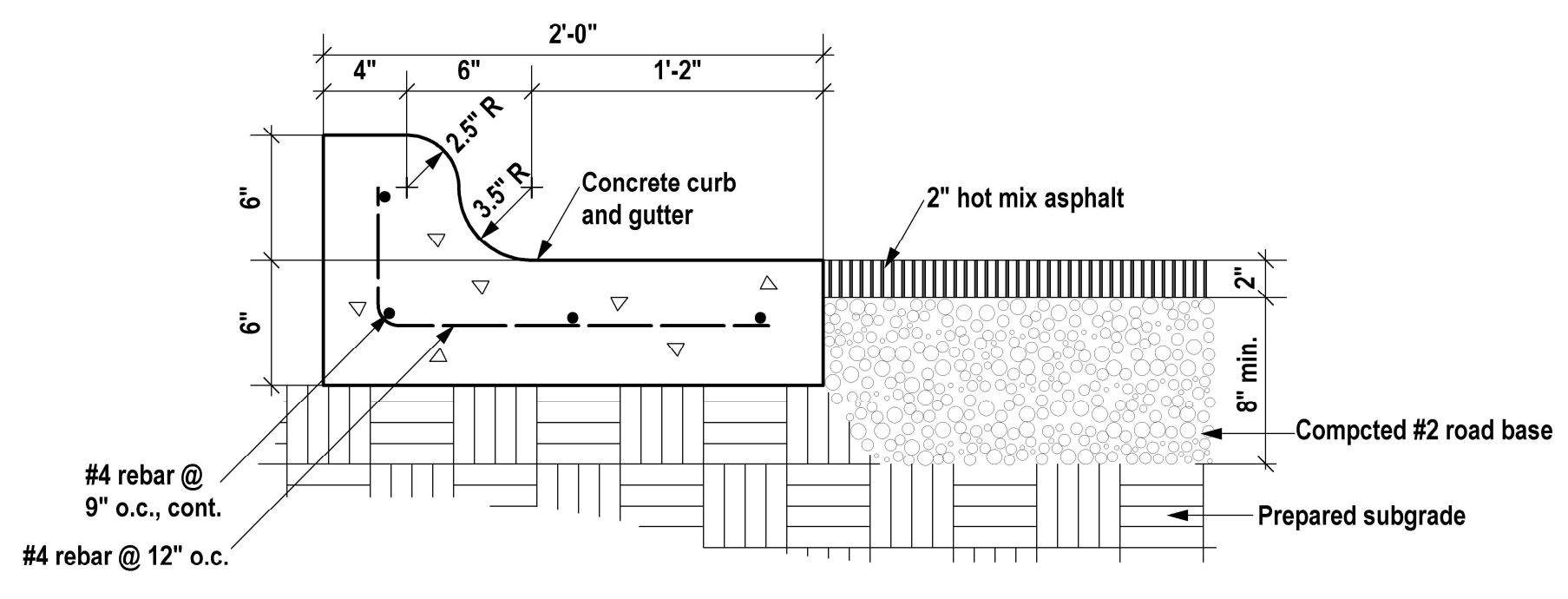
**Cedar Stay Stockade Fence**

### Additional Fencing Ideas

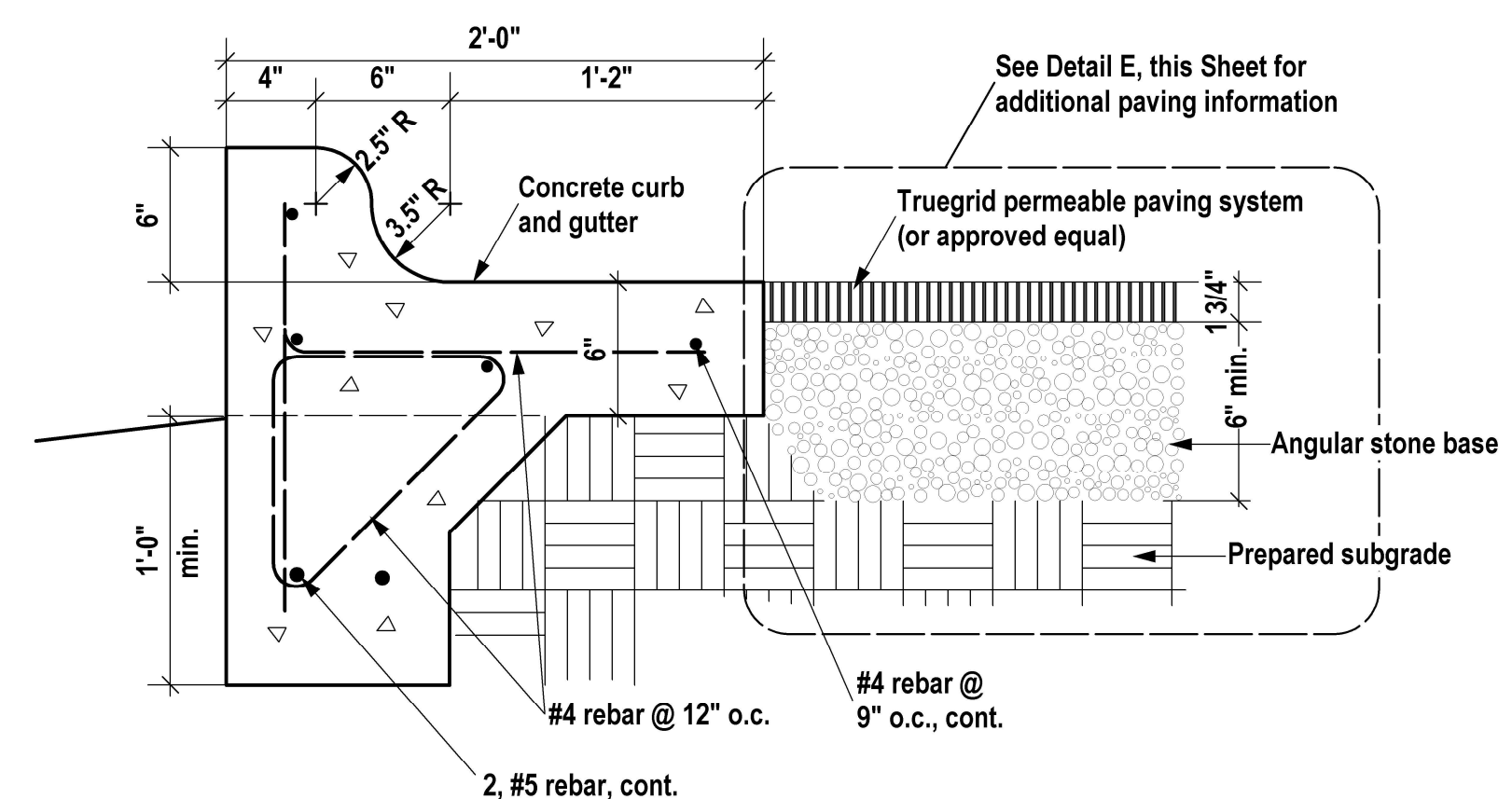




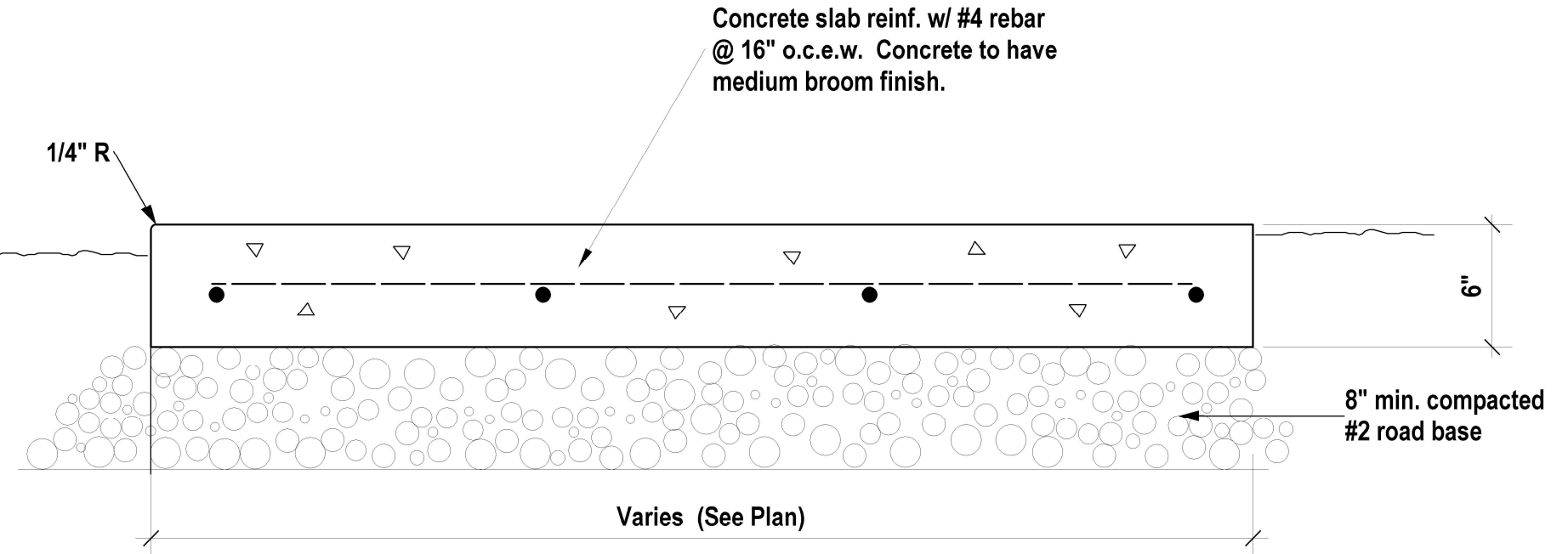
**A Section - Concrete Curb and Gutter (with True Grid)**  
Scale 1 1/2" = 1'-0"



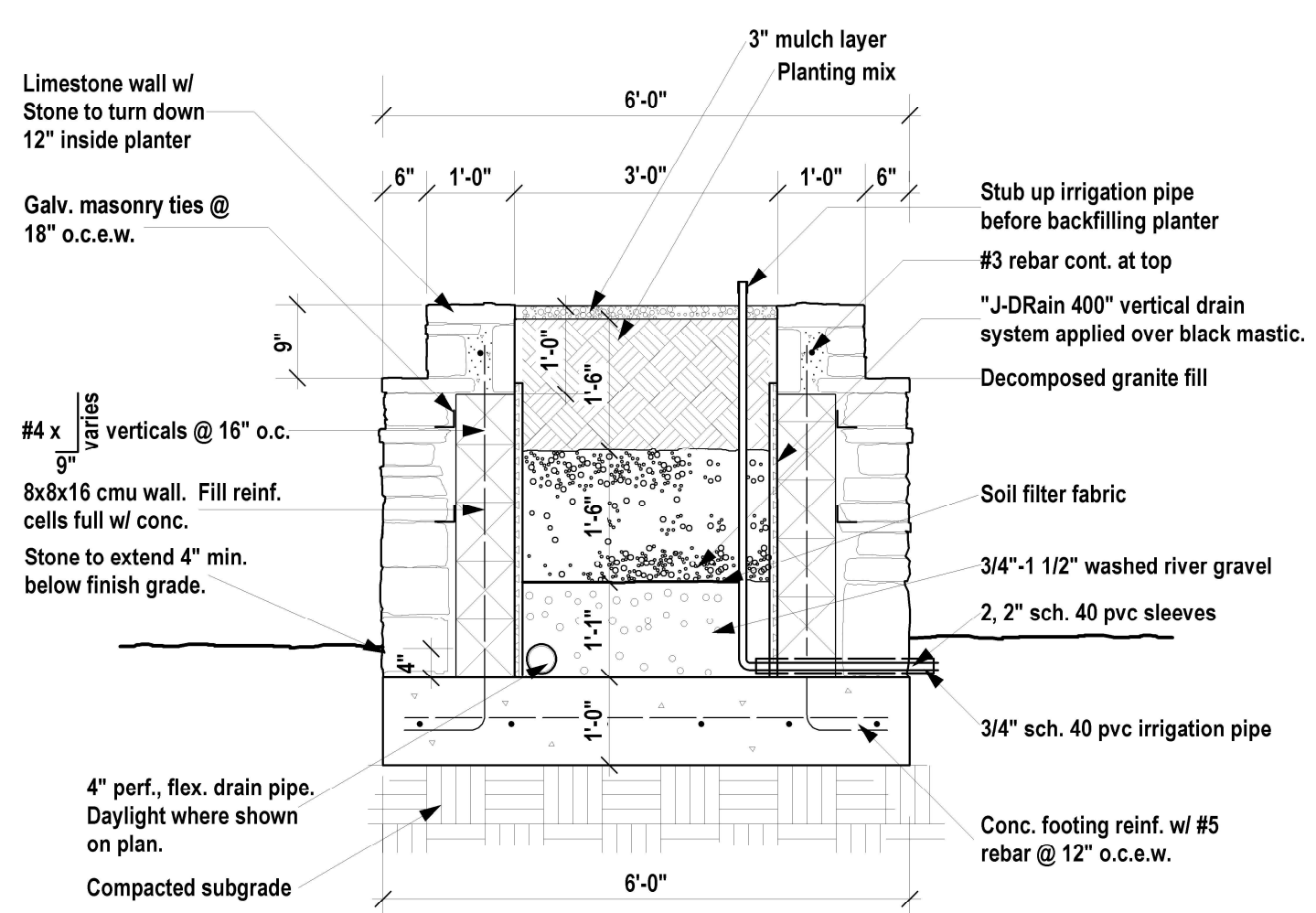
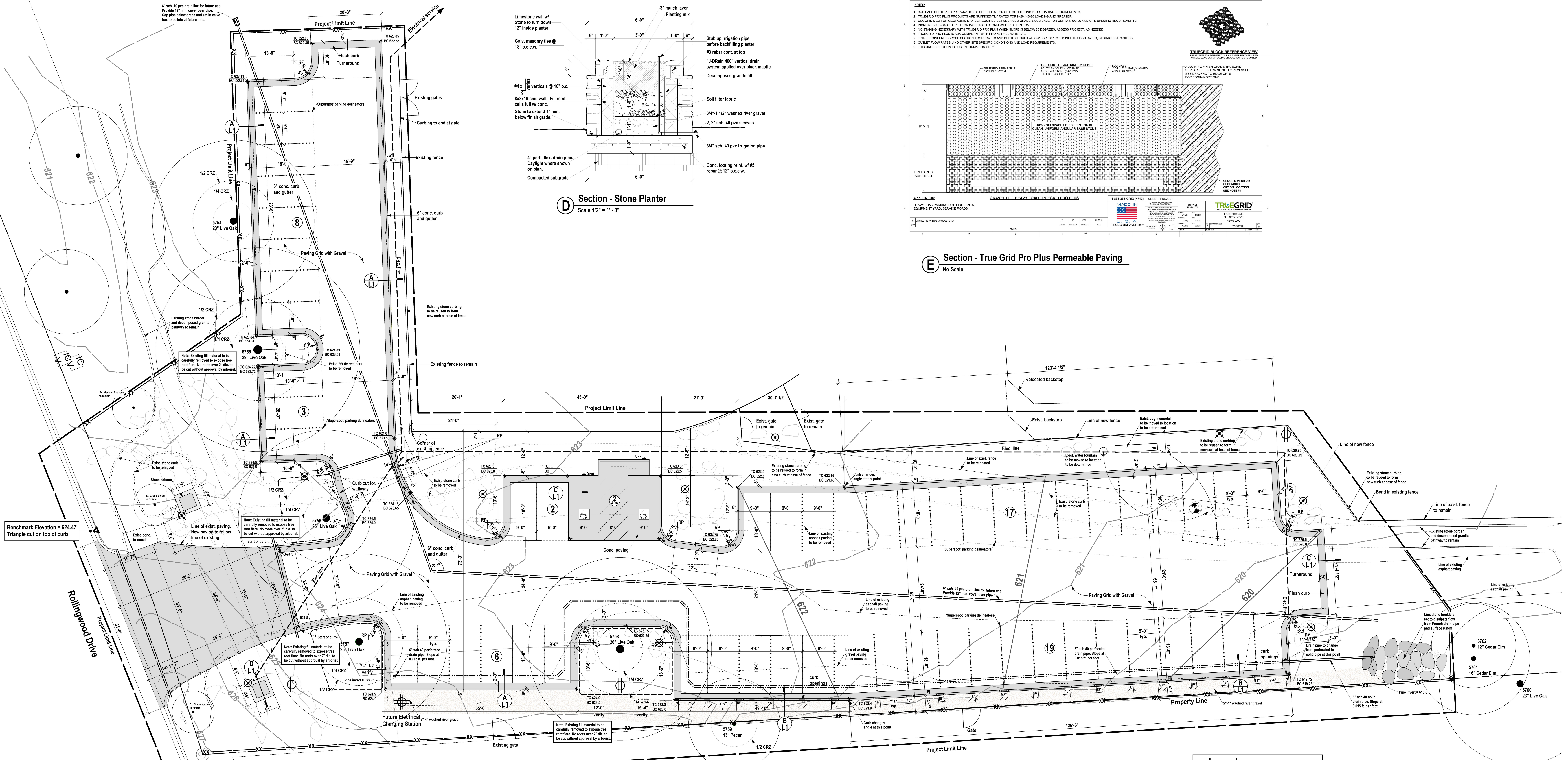
**A1 Alternate Section - Concrete Curb and Gutter (with asphalt)**  
Scale 1 1/2" = 1'-0"



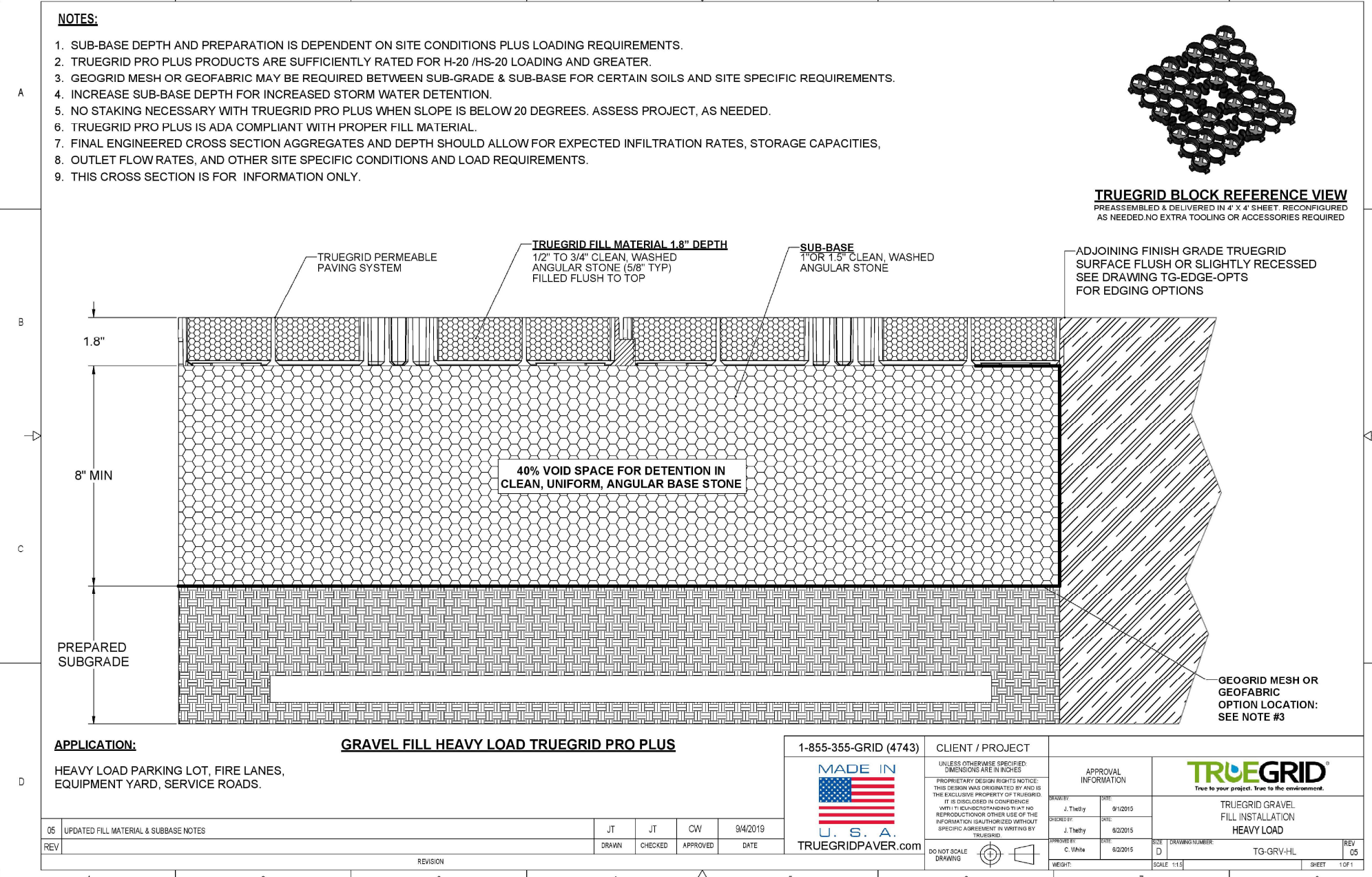
**B Section - Concrete Curb and Gutter with Stem Wall**  
Scale 1 1/2" = 1'-0"  
(with True Grid)



**C Section - Concrete Paving**  
Scale 1 1/2" = 1'-0"



**D Section - Stone Planter**  
Scale 1/2" = 1'-0"

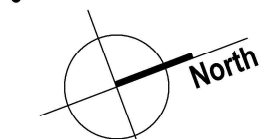


**E Section - True Grid Pro Plus Permeable Paving**  
No Scale

**Legend**

- 624.0' Proposed Finish Grade Elevation
- BC Bottom of Curb Elevation
- TC Top of Curb Elevation
- TW Top of Wall Elevation
- Detail Sheet No.
- 627 Existing Contour Elevation
- 622 Proposed Contour Elevation
- 2, 4" Sch. 40 PVC Sleeves
- XX Silt Fence Location
- Location of Tree Protection Fencing
- Landscape lighting locations
- Electrical outlet locations
- Future Electrical Charging Station

**Hardscape Plan**  
Scale 1" = 10'-0"



Landscape Development Plan for the  
**Rollingwood Park**  
 Rollingwood Drive, Rollingwood, TX 78748

ProgressSet  
Not For Construction

Date: 4/09/2026

Revised:



**sitiodesign**  
 curt arnette, asla  
 landscape architect  
 8114 gnls lane  
 austin, texas 78739  
 512.415.2097  
 mail@sitiodesign.com  
 sitiodesign.com

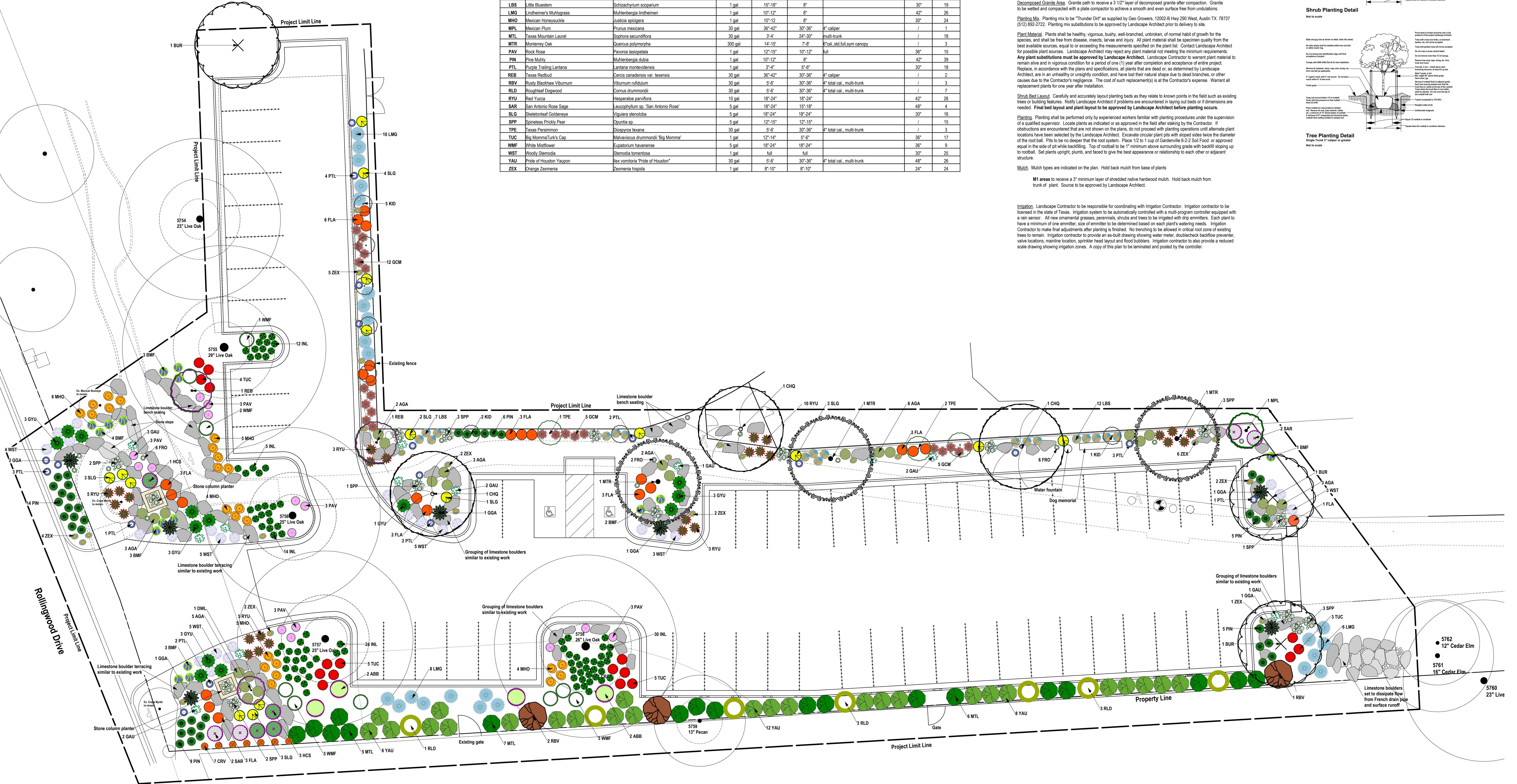
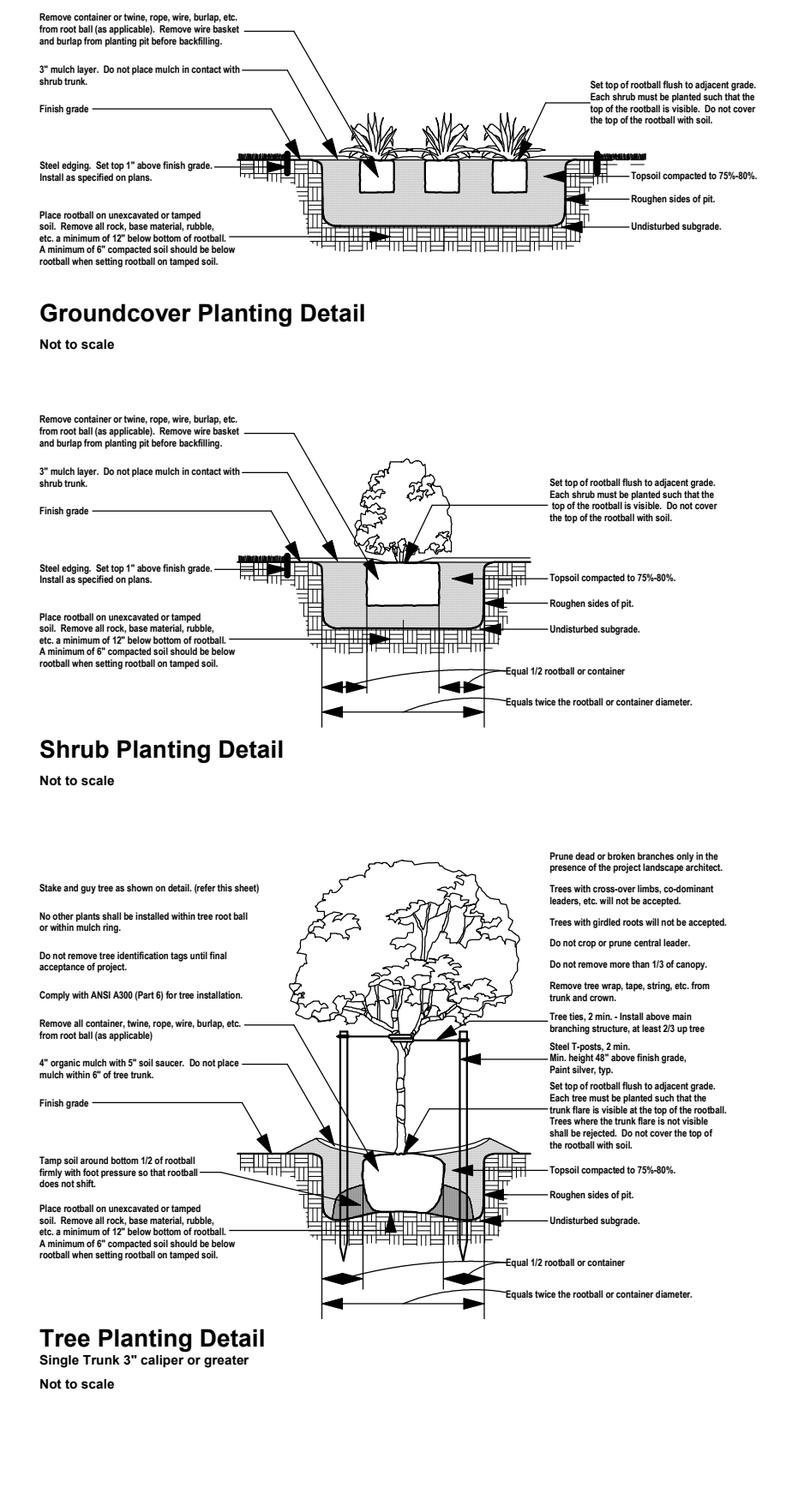
ROLLINGWOOD DRIVE (PLANTING STRUCK LINE)

Plant List

Table with columns: Key, Common Name, Botanical Name, Size, Height, Spread, Remarks, O.C., Qty. Lists various plants like American Beech, Agave, Blue Mistflower, etc.

Landscape Notes

Landscaping with Jobsite: Landscape contractors should thoroughly familiarize themselves with the working area as it relates to the Construction Documents prior to the commencement of any construction activity and notify the Landscape Architect where discrepancies are encountered. Contractor to verify the location of underground utilities prior to any excavation.

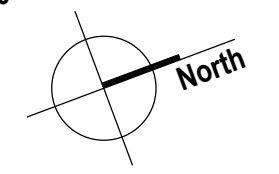


Landscape Development Plan for the Rollingwood Park Rollingwood Drive TX 78746

ProgressSet Not For Construction

Date: 4/09/2026 Revised:

Planting Plan Scale 1" = 10'-0"



Hatley Fields  
Rollingwood Park  
Great Lawn to Field House Concept



Hatley Fields  
Rollingwood Park  
Great Lawn to Field House Concept



Softball Fields

Field House

Great Lawn

Trail

Dogs

Parking

provided by Alex Robinette

## AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff, on behalf of Chairperson Melissa Morrow

**Agenda Item:**

Discussion and possible action on east driveway entrance improvements and parking area improvements in Rollingwood Park

**Description:**

At the January 13, 2026, Park Commission meeting, the Park Commission discussed the proposed parking lot design. The item is intended to provide an update on the project.

**Action Requested:**

To discuss the project and take action if necessary.

**Fiscal Impacts:**

The fiscal impact from this item depends upon the Commission's recommendation and City Council's decision.

**Attachments:**

- L1
- L2

ROLLINGWOOD DRIVE (EXISTING SETBACK LINE)

### Plant List

Key	Common Name	Botanical Name	Size	Height	Spread	Remarks	O.C.	Qty.
ABN	American Beechberry	<i>Zelkova americana</i>	5 gal	24'-28"	20'-24"		42'	4
AGA	Agave	<i>Mahonia trifoliolata</i>	10 gal	30'-36"	30'-36"		42'	24
BMF	Blue Mistleflower	<i>Eupatorium coelestinum</i>	1 gal	10'-12"	8"		24"	16
BUR	Bur Oak	<i>Quercus macrocarpa</i>	300 gal	14'-15'	7'-8"	8' cal. s&f full sym canopy	/	3
CHQ	Chinquapin Oak	<i>Quercus muhlenbergii</i>	300 gal	14'-15'	7'-8"	8' cal. s&f full sym canopy	/	3
CRV	Tangerine Beauty Crossvine	<i>Bignonia capreolata 'Tangerine Beauty'</i>	5 gal	30' spread		attach to fence	/	7
DNL	Baby's Breath Willow	<i>Chipsas linearis 'Baby's'</i>	24" tree	6'-2"	3'-4"	multi-trunk	/	1
FLA	Flame Acanthus	<i>Arisaema quadrifidus variegata</i>	1 gal	12'-15'	10'-12"		36"	24
FRO	Frogfruit	<i>Phyla nodiflora</i>	1 gal	1'-2"	8"		30"	14
GAU	Butterfly Gaura	<i>Deinothera lindheimeri</i>	1 gal	10'-12"	8"	white flowering	24"	11
GCM	Gulf Coast Muley	<i>Muhlenbergia capillaris</i>	1 gal	10'-12"	8"		36"	22
GGA	Green Globe Agave	<i>Agave sp. Green Globe</i>	10 gal	15'-18"	15'-18"	full & symmetrical	/	7
GYU	Young Willow Hesperis	<i>Hesperis matronalis sp. changii</i>	10 gal	30'-36"	18'-20"	full & symmetrical	4' min	13
HCS	Heavenly Cloud Sage	<i>Leucophyllum sp. 'Heavenly Cloud'</i>	5 gal	18'-24"	18'-24"		48"	4
INL	Inland Sea Oats	<i>Chamathum setosum</i>	1 gal	12'-15'	8"		24"	85
KID	Texas Kidneywood	<i>Erytharitia texana</i>	5 gal	30'-36"	12'-15'		/	8
LBS	Little Bluestem	<i>Schizanthus scoparium</i>	1 gal	15'-18"	8"		30"	19
LMG	Lindheimer's Muhlenberg	<i>Muhlenbergia lindheimeri</i>	1 gal	10'-12"	8"		42"	26
MHO	Mexican Hornsuckle	<i>Jasione spicosa</i>	1 gal	10'-12"	8"		30"	24
MPL	Mexican Plum	<i>Prunus mexicana</i>	30 gal	30'-42"	30'-36"	4" caliper	/	1
MTL	Texas Mountain Laurel	<i>Sophora secundiflora</i>	30 gal	3'-4"	24'-30"	multi-trunk	/	18
MTR	Montgomery Oak	<i>Quercus polymorpha</i>	300 gal	14'-15'	7'-8"	8' cal. s&f full sym canopy	/	3
PAV	Rock Rose	<i>Parsonsia lasiocarpa</i>	1 gal	12'-15'	10'-12"	full	36"	15
PN	Pine Mistle	<i>Muhlenbergia diffusa</i>	1 gal	10'-12"	8"		42"	39
PTL	Purple Trailing Lantana	<i>Lantana montevidensis</i>	1 gal	3'-4"	5'-6"		30"	18
REB	Texas Redbud	<i>Cercis canadensis var. texensis</i>	30 gal	30'-42"	30'-36"	4" caliper	/	2
RBV	Rusty Blackhaw Viburnum	<i>Viburnum rufidulum</i>	30 gal	5'-6"	30'-36"	4" total cal., multi-trunk	/	3
RLD	Roughleaf Dogwood	<i>Cornus drummondii</i>	30 gal	5'-6"	30'-36"	4" total cal., multi-trunk	/	7
RYU	Red Yucca	<i>Hesperaloe parviflora</i>	10 gal	18'-24"	18'-24"		42"	26
SAR	San Antonio Rose Sage	<i>Leucophyllum sp. 'San Antonio Rose'</i>	5 gal	18'-24"	18'-18"		48"	4
SLG	Silabovleaf Goldeneye	<i>Viguiera stenolepis</i>	5 gal	18'-24"	18'-24"		30"	16
SPP	Snowless Pinyon Pear	<i>Quercus sp.</i>	5 gal	12'-15'	12'-15'		/	15
TPE	Texas Persimmon	<i>Diospyros texana</i>	30 gal	5'-6"	30'-36"	4" total cal., multi-trunk	/	3
TUC	Big Momma/Turk's Cap	<i>Malvastrum drummondii 'Big Momma'</i>	1 gal	12'-14"	5'-6"		36"	17
WAF	White Mistleflower	<i>Eupatorium havanense</i>	5 gal	18'-24"	18'-24"		36"	9
WST	Windy Clematis	<i>Clematis texensis</i>	1 gal	4'-6"	4'-6"		30"	26
YAU	Yule of Houston Yagou	<i>Ilex vomitoria 'Yule of Houston'</i>	30 gal	5'-6"	30'-36"	4" total cal., multi-trunk	48"	26
ZEX	Orange Zemeza	<i>Zemeza hospita</i>	1 gal	8'-10"	8'-10"		24"	24

### Landscape Notes

**Familiarization with Jobsite:** Landscape contractors should thoroughly familiarize themselves with the working area as it relates to the Construction Documents prior to the commencement of any construction activity and notify the Landscape Architect where discrepancies are encountered. Contractor to verify the location of underground utilities prior to any excavation. Landscape contractor to be responsible for repairing any damage to existing hardscape, underground electrical and existing irrigation to remain.

**Protection of Existing Vegetation:** Existing trees scheduled to remain should be protected from injury or damage to roots, trunks, or branches by placing tree protection fencing in areas shown on plan. Damaged trees or vegetation to be repaired immediately in a manner acceptable to the Landscape Architect. Immediately damaged trees or shrubs must be replaced with ones of similar size and shape at the expense of the Contractor. A value to be determined in accordance with the tree evaluation formula as described in "A Guide to the Professional Evaluation of Landscape Trees, Specimen Shrubs and Evergreens", published by the International Society of Arboriculture.

**Treatment of Existing Weeds:** Existing stands of bermudagrass, johnsongrass, nutgrass, and noxious weeds to be treated with herbicide before construction begins. Nutgrass to be treated with "Image" or "Manago". Other weeds to be treated with "Fusatec", "Roundup", or equal herbicide. Use care not to overapply onto existing vegetation to remain. Treatment shall be in strict accordance with manufacturer's specifications and shall be accomplished to allow sufficient time for a complete kill prior to starting any soil preparation.

**Grading and Earthwork:** Contractor to ensure positive drainage. Planting mix to be added to fill any depression that may not exceed 2000 lbs. Contractor to ensure positive drainage. Planting mix to be added to fill any depression that may not exceed 2000 lbs. Final grading to be approved by Landscape Architect.

**Decomposed Granite Area:** Granite path to receive a 3 1/2" layer of decomposed granite after compaction. Granite to be wetted and compacted with a plate compactor to achieve a smooth and even surface free from undulations.

**Planting Mix:** Planting mix to be "Thunder Dirt" as applied by Geo Growers, 12002-B Hwy 290 West, Austin TX 78737 (512) 892-2722. Planting mix substitutions to be approved by Landscape Architect prior to delivery to site.

**Plant Material:** Plants shall be healthy, vigorous, bushy, well-branched, unbroken, of normal habit of growth for the species, and shall be free from disease, insects, larvae and injury. All plant material shall be specimen quality from the best available sources, equal to or exceeding the measurements specified on the plant list. Contact Landscape Architect for possible plant sources. Landscape Architect may reject any plant material not meeting the minimum requirements. Any plant substitutions must be approved by Landscape Architect. Landscape Contractor to warrant plant material to remain alive and in vigorous condition for a period of one (1) year after completion and acceptance of entire project. Replant in accordance with the plans and specifications, all plants that are dead or, as determined by Landscape Architect, are in an unhealthy or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for one year after installation.

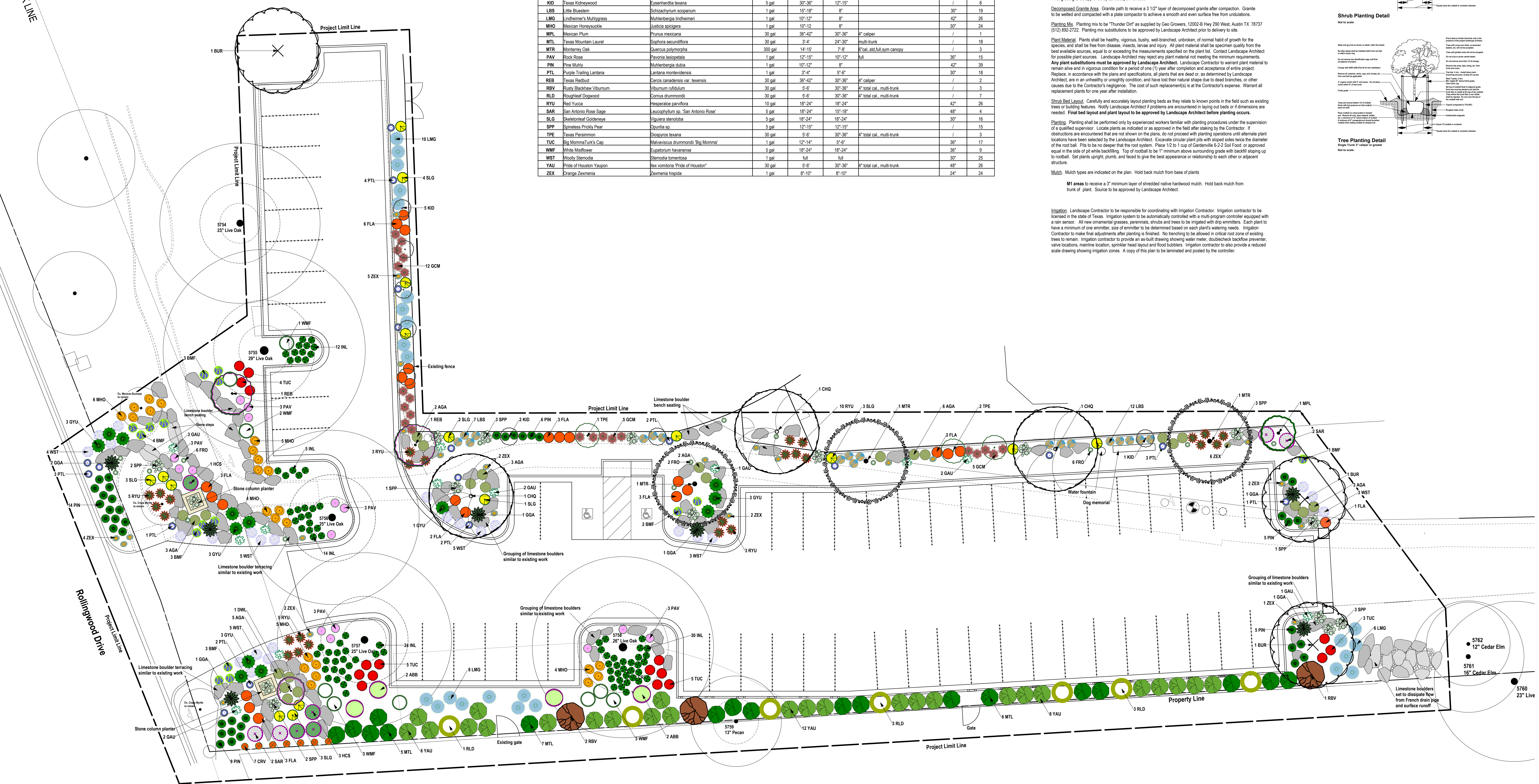
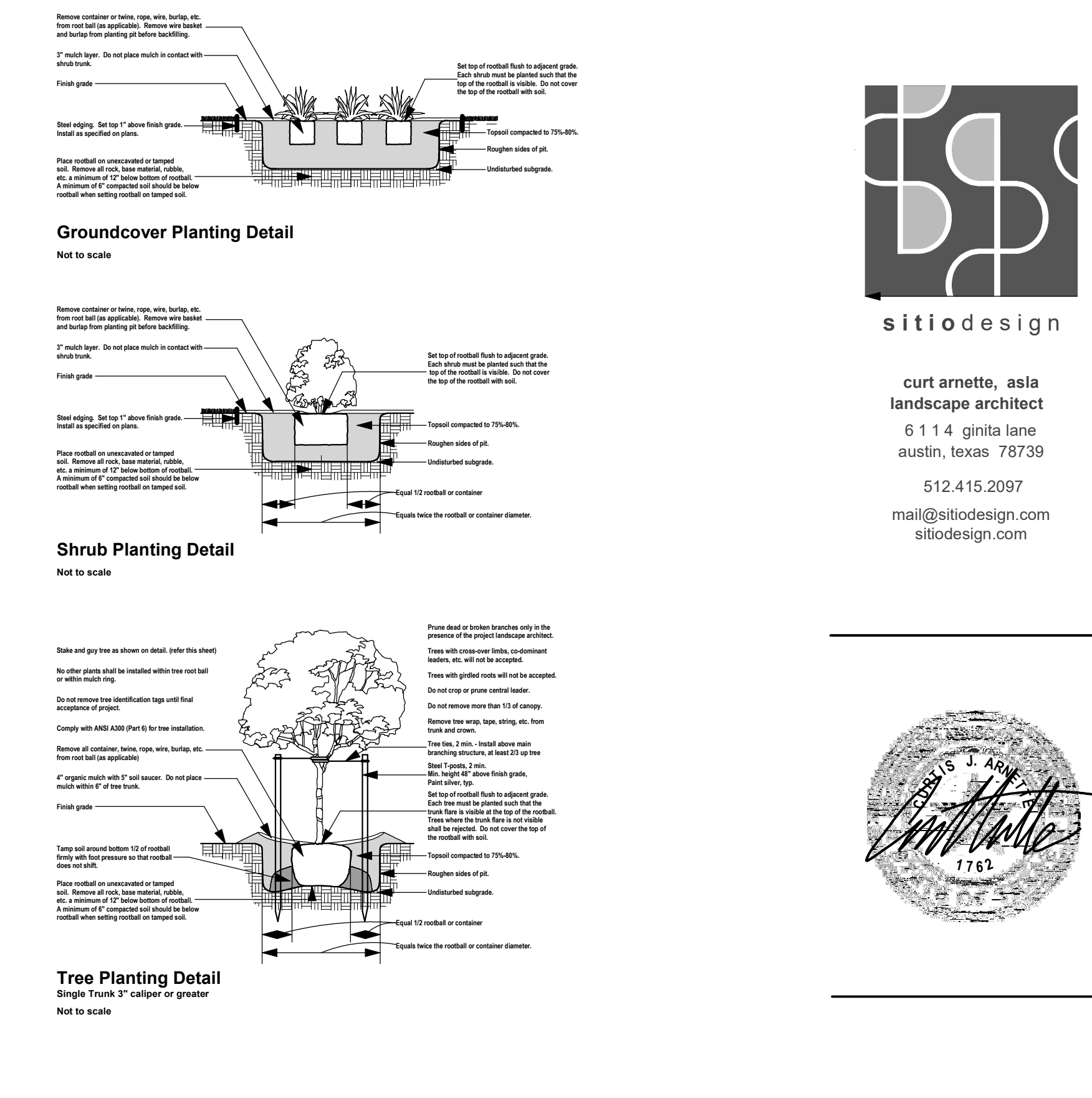
**Shrub Bed Layout:** Carefully and accurately layout planting beds as they relate to known points in the field such as existing trees or building features. Notify Landscape Architect if problems are encountered in laying out beds or if dimensions are needed. Final bed layout and plant layout to be approved by Landscape Architect before planting occurs.

**Planting:** Planting shall be performed only by experienced workers familiar with planting procedures under the supervision of a qualified supervisor. Loose plants as indicated or as approved in the field after staking by the Contractor. If obstructions are encountered that are not shown on the plans, do not proceed with planting operations until alternate plant locations have been selected by the Landscape Architect. Excavate circular plant pits with sloped sides twice the diameter of the root ball. Pits to be no deeper than the root system. Place 1/2 to 1 cup of Gardenville 6-2-2 Soil Food or approved equal in the soil of white backfilling. Top of rootball to be 1" minimum above surrounding grade with backfill sloping up to rootball. Set plants upright, plants, and loose to give the best appearance or relationship to each other or adjacent structure.

**Mulch:** Mulch types are indicated on the plan. Hold back mulch from base of plants.

**M1 areas:** M1 areas to receive a 3" minimum layer of shaded native hardwood mulch. Hold back mulch from trunk of plant. Source to be approved by Landscape Architect.

**Irrigation:** Landscape Contractor to be responsible for coordinating with Irrigation Contractor. Irrigation contractor to be licensed in the state of Texas. Irrigation system to be automatically controlled with a multi-program controller equipped with a rain sensor. All new ornamental grasses, perennials, shrubs and trees to be irrigated with drip emitters. Each plant to have a minimum of one emitter, size of emitter to be determined based on each plant's watering needs. Irrigation Contractor to make final adjustments after planting is finished. No trenching to be allowed in critical root zone of existing trees to remain. Irrigation contractor to provide an as-built drawing showing water meter, doublecheck backflow preventer, valve locations, mainline location, sprinkler head layout and flood bubbles. Irrigation contractor to also provide a reduced scale drawing showing irrigation zones. A copy of this plan to be laminated and posted by the contractor.



curt arnette, asia  
 landscape architect  
 6114 grilla lane  
 austin, texas 78739  
 512.415.2097  
 mail@sitiodesign.com  
 sitiodesign.com

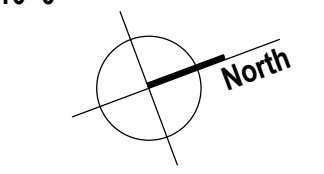


Landscape Development Plan for the  
**Rollingwood Park**  
 Rollingwood Drive, Rollingwood, TX 78746

ProgressSet  
 Not For Construction

Date: 4/09/2026  
 Revised:

Planting Plan  
 Scale 1" = 10'-0"



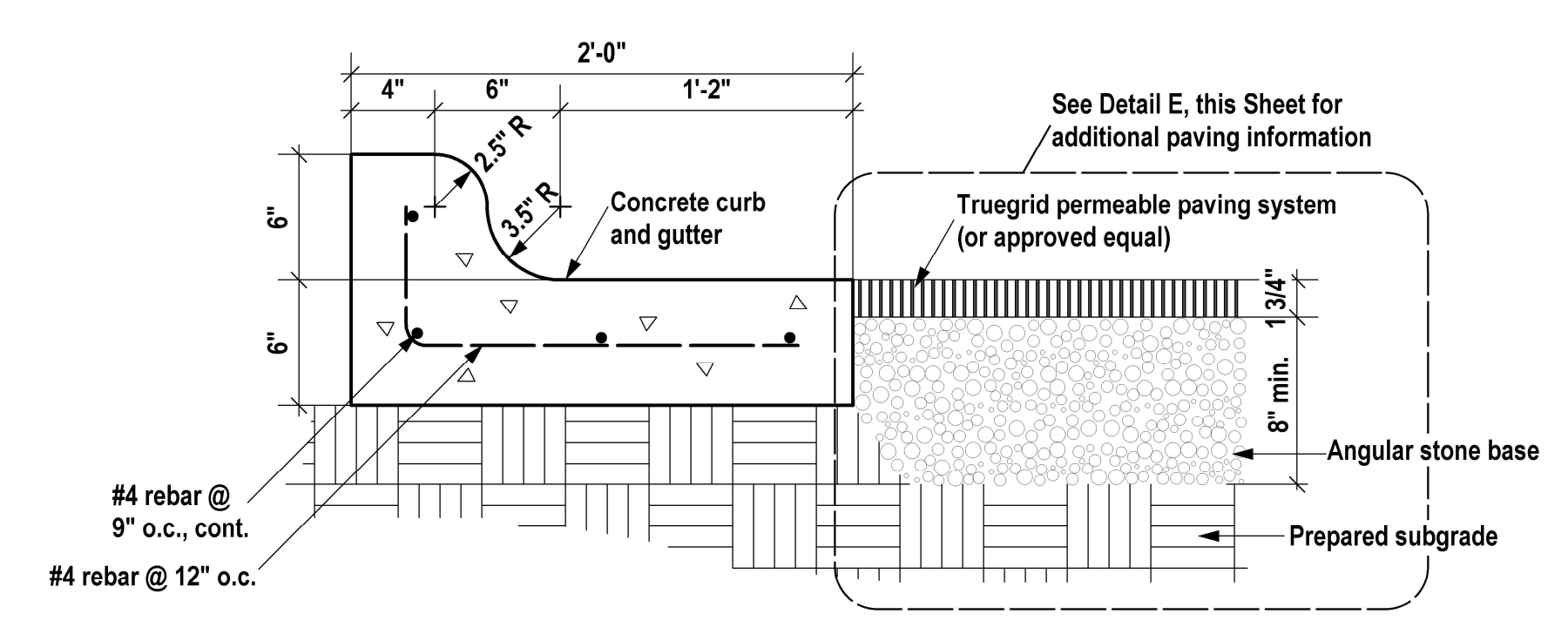


Landscape Development Plan for the  
**Rollingwood Park**  
 Rollingwood Drive, Rollingwood, TX 78748

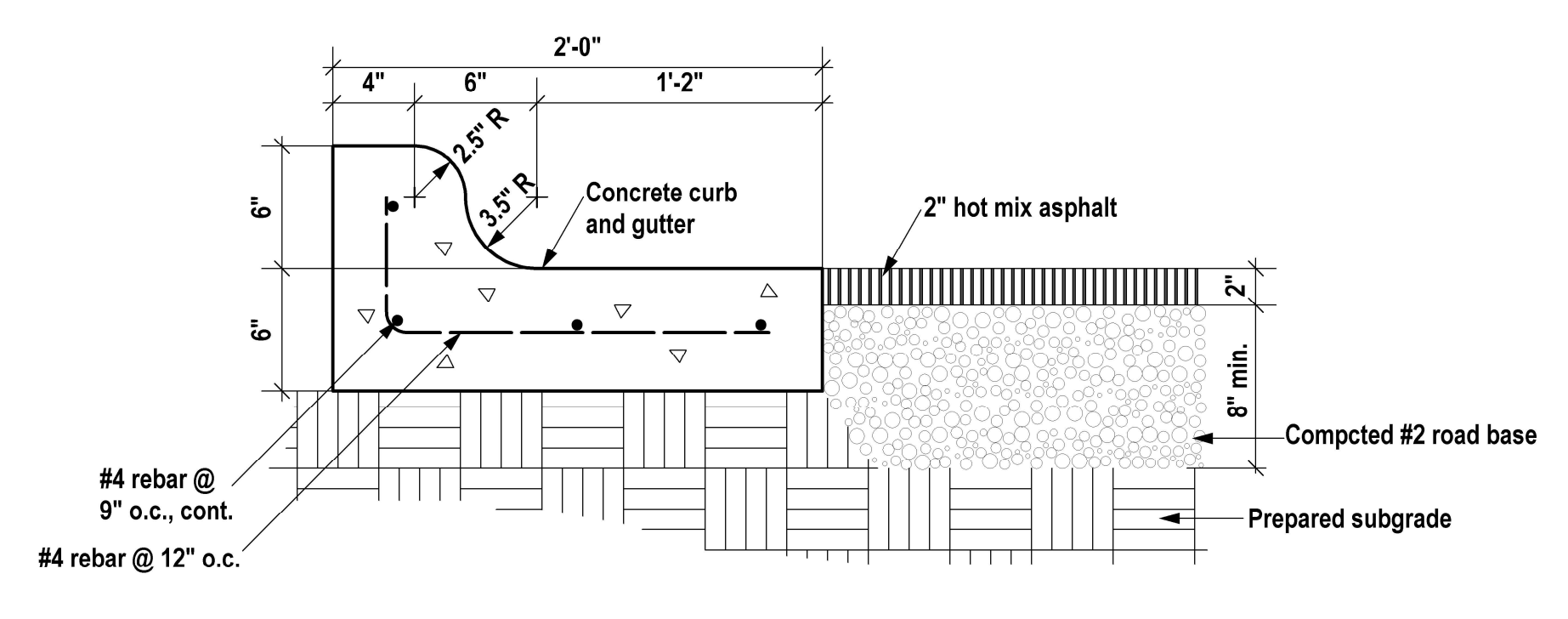
ProgressSet  
 Not For Construction

Date: 4/09/2026

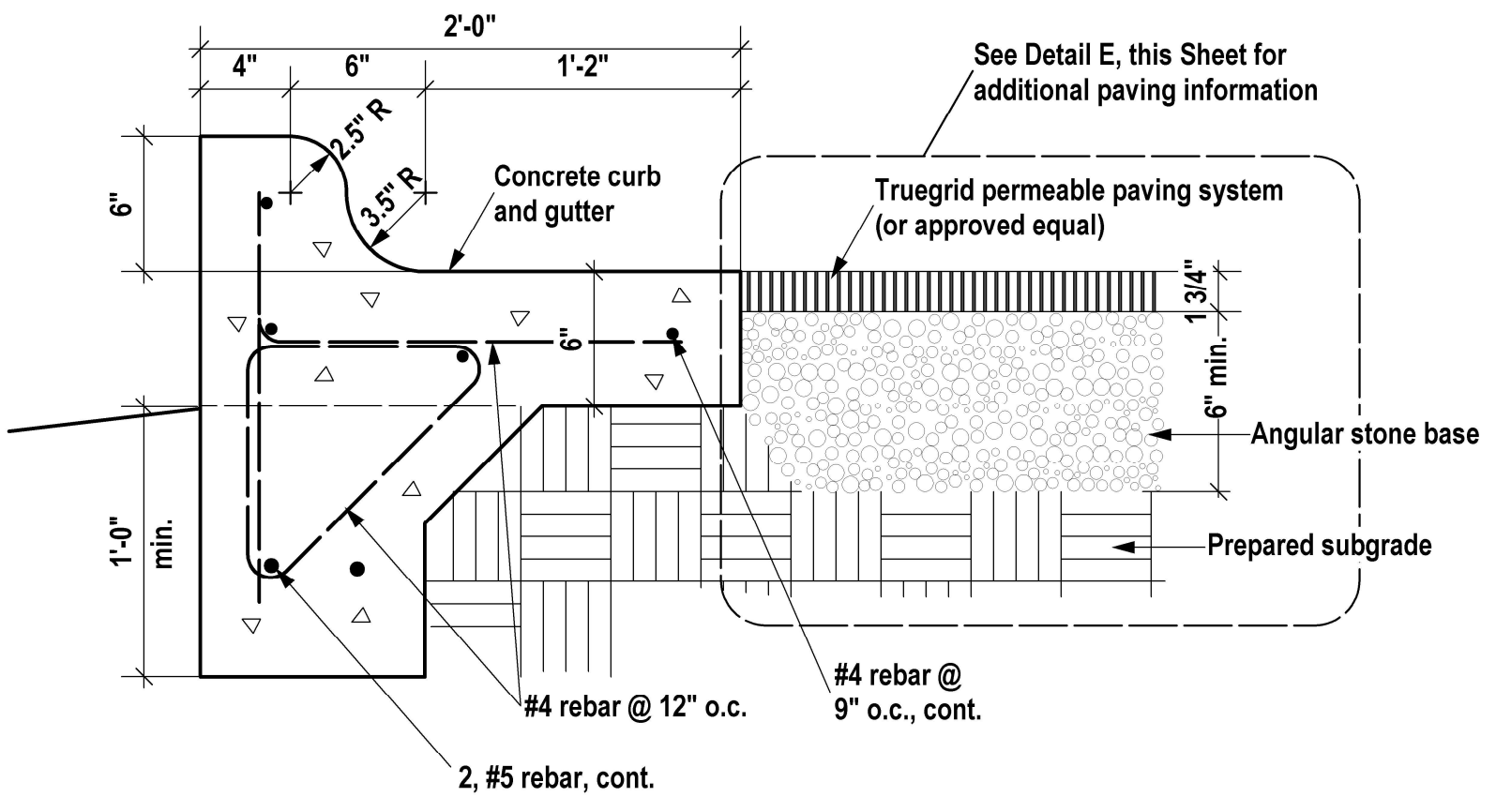
Revised:



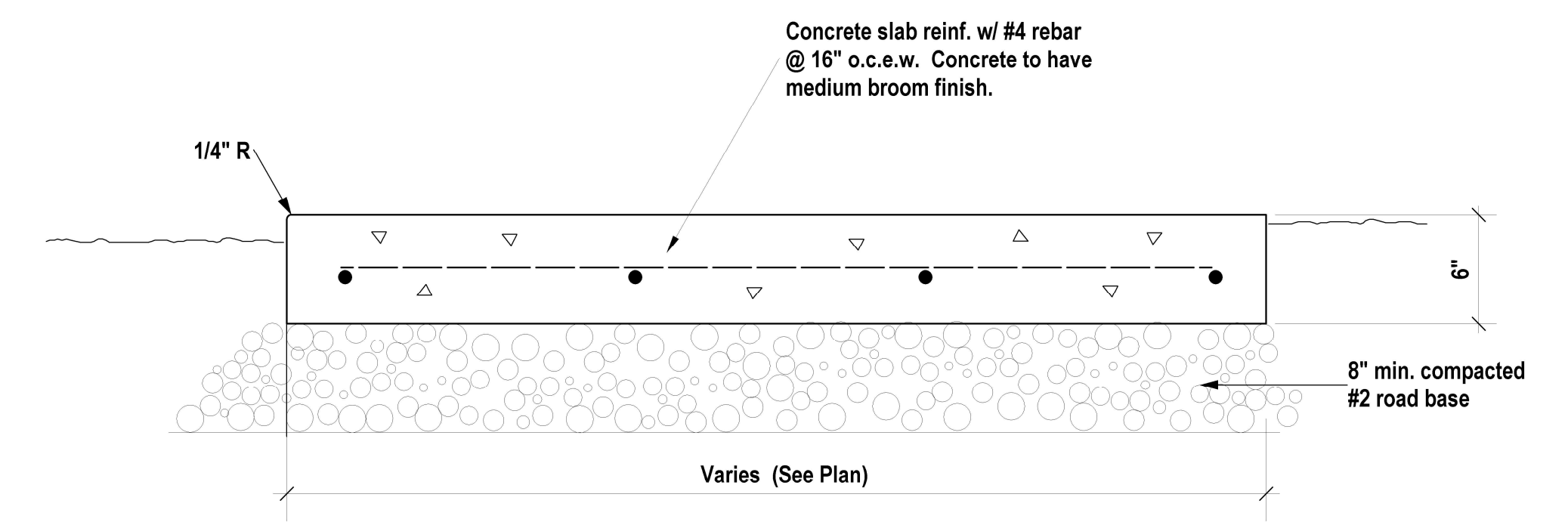
**A Section - Concrete Curb and Gutter (with True Grid)**  
 Scale 1 1/2" = 1'-0"



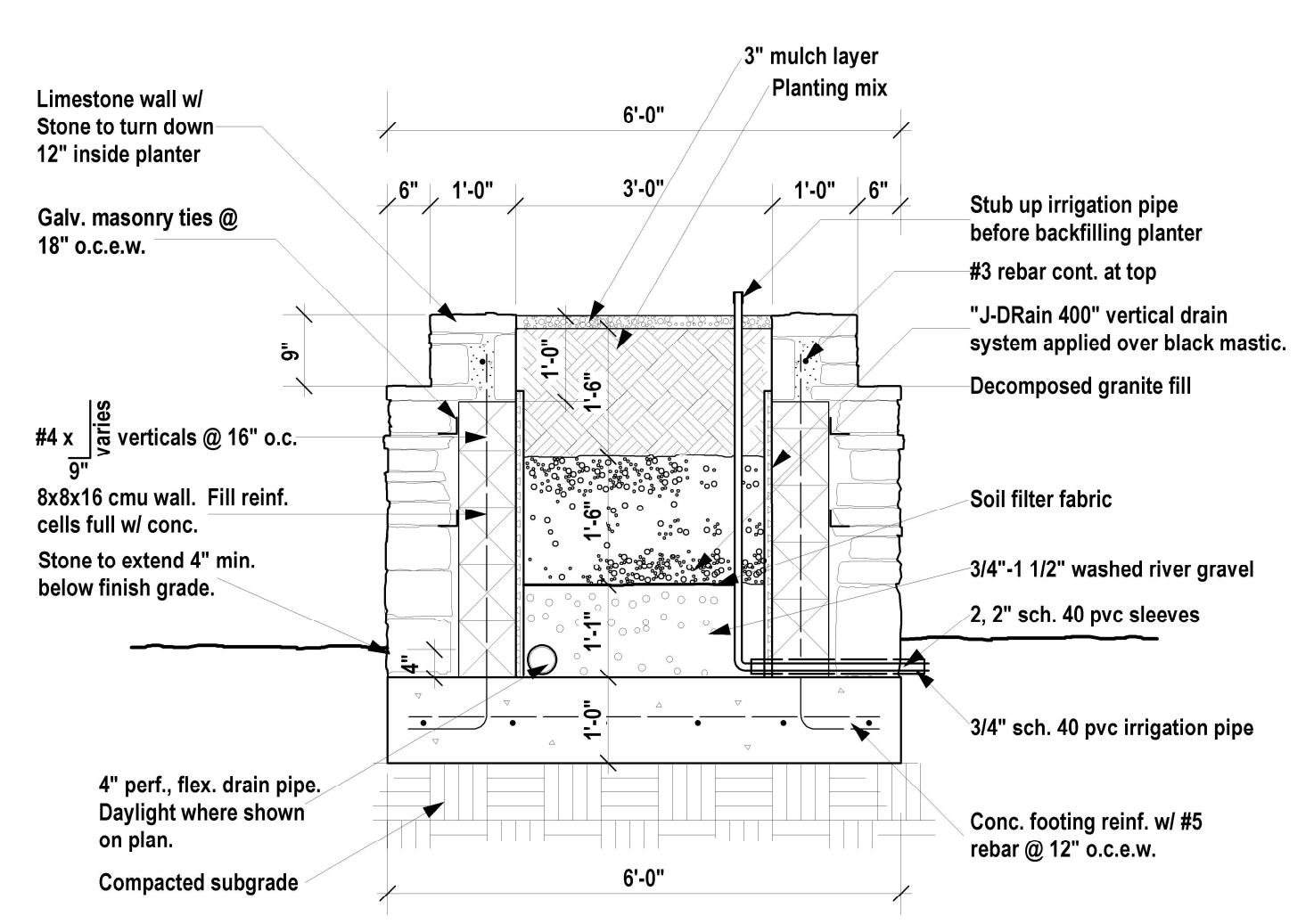
**A1 Alternate Section - Concrete Curb and Gutter (with asphalt)**  
 Scale 1 1/2" = 1'-0"



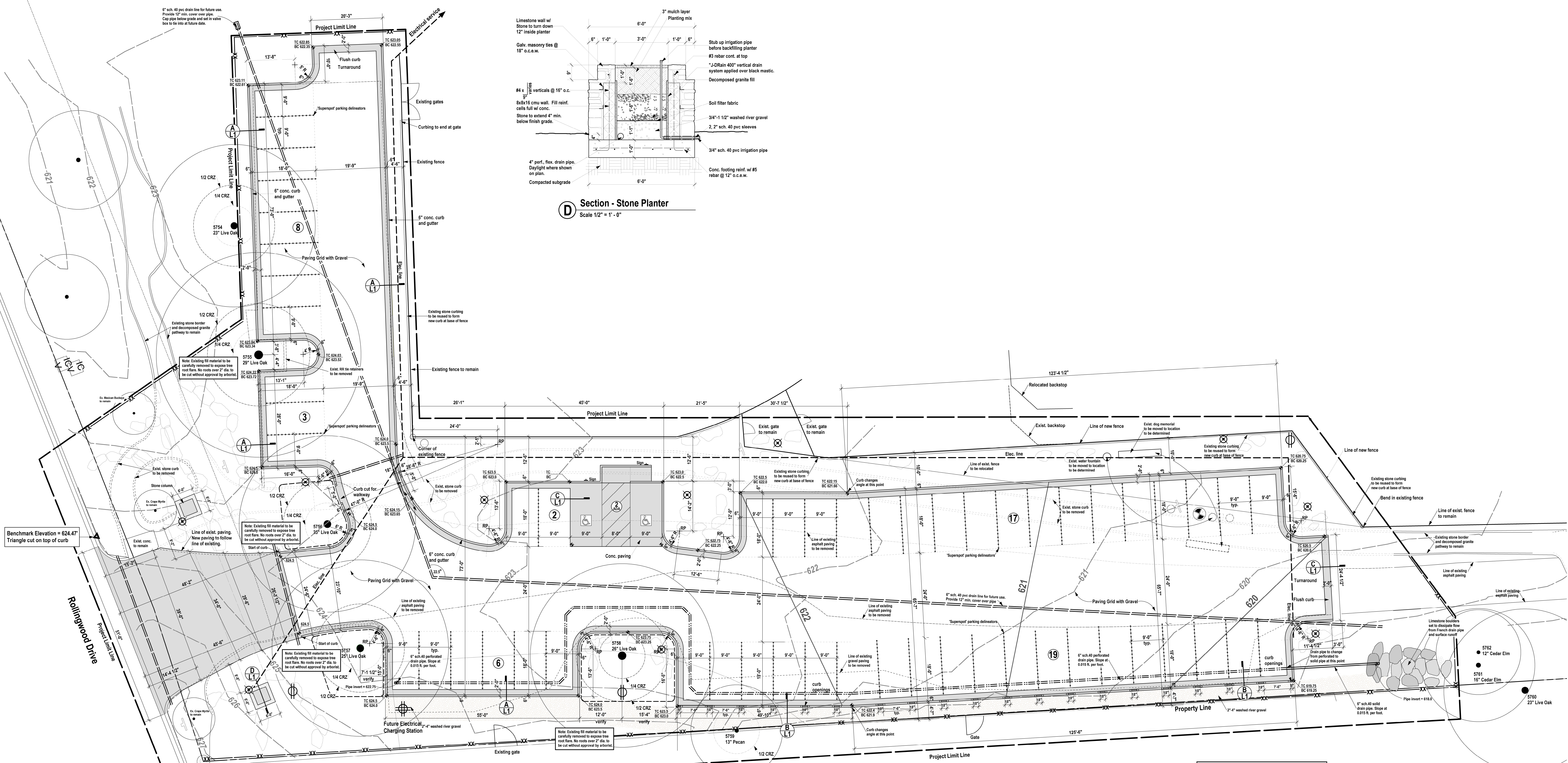
**B Section - Concrete Curb and Gutter with Stem Wall**  
 Scale 1 1/2" = 1'-0" (with True Grid)



**C Section - Concrete Paving**  
 Scale 1 1/2" = 1'-0"



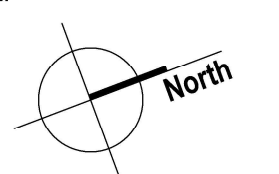
**D Section - Stone Planter**  
 Scale 1/2" = 1'-0"



**Legend**

- 624.0' Proposed Finish Grade Elevation
- BC Bottom of Curb Elevation
- TC Top of Curb Elevation
- TW Top of Wall Elevation
- Detail Sheet No.
- 627 Existing Contour Elevation
- 622 Proposed Contour Elevation
- 2, 4" Sch. 40 PVC Sleeves
- XX Silt Fence Location
- Location of Tree Protection Fencing
- Landscape lighting locations
- Electrical outlet locations
- Future Electrical Charging Station

**Hardscape Plan**  
 Scale 1" = 10'-0"



**MEMORANDUM**

Date: April 29, 2026  
To: Rollingwood Park Commission  
From: Maritza A Almada, PE; Abe Salinas, PE, CFM  
Re: Rollingwood Park Upper Parking Lot – Pavement Option Drainage and Pavement Considerations

**Overview**

HW Lochner, Inc., serving as City Engineer for the City of Rollingwood, has been requested by the Rollingwood Park Commission to review the proposed pavement options for the upper parking lot expansion at Rollingwood Park and to provide input on the drainage and pavement implications of each. This review is based on the Rollingwood Park Landscape Development Plan dated April 9, 2026, prepared by Sitiodesign, which presents TRUEGRID pervious pavers with an aggregate reservoir and underdrain system as one option. The Park Commission also requested consideration of asphalt and concrete pavement options.

The existing upper parking area consists of asphalt pavement and compacted aggregate base; both should be treated as effectively impervious for hydrologic evaluation. The proposed work is therefore best characterized as redevelopment of an existing impervious surface, with any expansion beyond the existing pavement and compacted base footprint potentially increasing runoff and triggering mitigation requirements.

The objectives of this memorandum are to (1) summarize the drainage considerations associated with each pavement option under the City of Rollingwood Drainage Criteria Manual, (2) summarize the pavement considerations that affect long-term cost and durability, (3) provide a side-by-side comparison of the three options, and (4) offer recommendations to assist the Park Commission in selecting an option to advance to design. This memorandum provides planning-level guidance only. It does not constitute a drainage review or approval of impervious-cover credit for any specific pavement section. Final drainage and water quality requirements should be confirmed during design through hydrologic calculations, drainage layout development, TCEQ applicability review, and City permitting review with supporting documentation prepared by Sitiodesign.

**Drainage and Water Quality Considerations**

The City of Rollingwood Drainage Criteria Manual (DCM) governs this project. Section 4.1 of the DCM requires that any project causing an increase in stormwater runoff provide mitigation such that post-development peak flows do not exceed pre-development peak flows along the property perimeter for the 2-, 10-, 25-, and 100-year storm events. The DCM also requires an Operations and Maintenance plan for any drainage facility.

The Rollingwood DCM does not establish a specific impervious-cover value for pervious pavers. However, based on the current Sitiodesign concept, which includes TRUEGRID pervious pavers over an engineered open-graded aggregate reservoir with an underdrain system, it is reasonable for

planning purposes to evaluate the TRUEGRID parking area as 50% impervious for vehicular-use areas. This planning value is consistent with the City of Austin's treatment of vehicular permeable pavement applications and reflects that the system would provide stormwater storage, infiltration opportunity, and controlled release through the aggregate reservoir and underdrain. The remaining 50% should continue to be treated as impervious to account for traffic loading, long-term clogging risk, underdrain discharge, and maintenance dependency. This assumed credit should be used only for planning-level comparison of alternatives. Final impervious-cover credit should be confirmed during design based on the final pavement section, storage volume, underdrain configuration, overflow routing, water quality design, and Operations and Maintenance plan.

Rollingwood lies within the Edwards Aquifer Recharge Zone and is subject to the TCEQ Edwards Aquifer Protection Program (EAPP) under 30 TAC Chapter 213. Because the project includes pavement, drainage, and potential stormwater quality improvements, TCEQ applicability should be confirmed during design based on total disturbed area, new impervious cover, existing park approvals, and whether the work qualifies as a modification, exception, or new Water Pollution Abatement Plan (WPAP) submittal. The Rollingwood DCM requires that, if a BMP is proposed with the site improvements, the applicant identify the BMP method, capture area, runoff storage/detention time, and release rate, if applicable. For planning purposes, if the TRUEGRID section is used as an engineered permeable pavement BMP, it may reduce or potentially eliminate the need for a separate water quality facility for the paver area; however, asphalt, concrete, ADA stalls, drive aisles not constructed as permeable pavement, and any other conventional impervious areas should be evaluated during design for applicable TCEQ Chapter 213 water quality compliance.

An additional drainage consideration specific to this site is the discharge condition along the eastern property line. As illustrated in Figure 1, the existing topography indicates that runoff from the upper parking area sheet flows generally to the east and discharges across the eastern property line onto the adjoining Westlake Athletic Club (WAC) property. There is no recorded drainage easement across the WAC property, and runoff originating from Rollingwood Drive is assumed not to be conveyed onto or treated within the parking lot site. The proposed landscape plan shows the underdrain system discharging at the northeast corner of the parking improvements.

The selected pavement option must therefore include drainage controls sufficient to manage discharge at the eastern property line such that post-development peak flows comply with DCM Section 4.1 and the overall discharge condition, including runoff concentration, timing, volume, erosion potential, and water quality, does not adversely impact the WAC property relative to existing conditions. If concentrated discharge is proposed across the property line, a drainage easement or written downstream acceptance may be required.

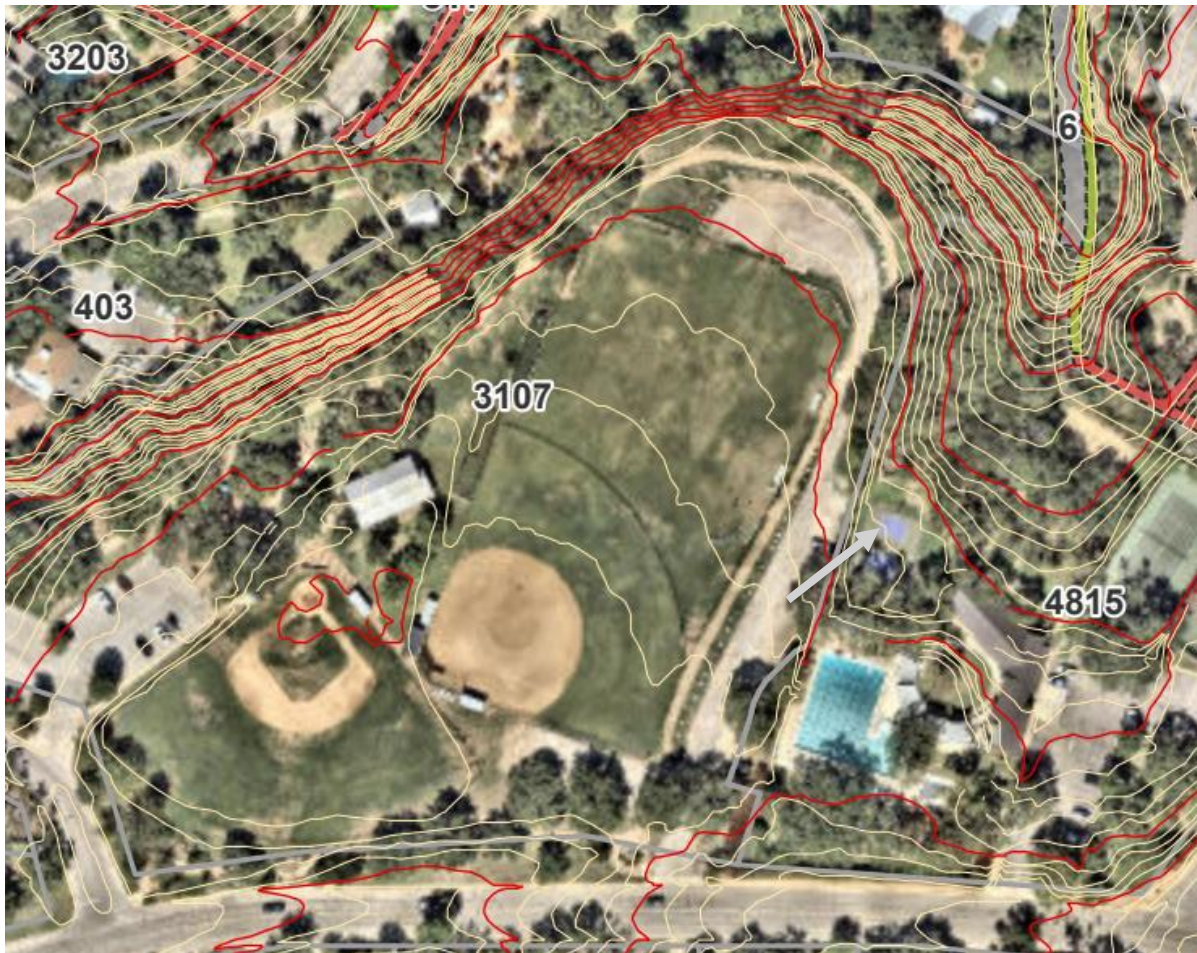


Figure 1 - Rollingwood Park Topography

**Option 1 – TRUEGRID Pervious Pavers**

The pervious paver section as shown on the Sitedesign plans includes an engineered open-graded aggregate reservoir and an underdrain system that captures and slowly releases stormwater. Based on the planning-level 50% impervious assumption for vehicular TRUEGRID areas, the combination of reservoir storage, controlled release, and the existing impervious baseline of the upper parking lot may allow this option to satisfy DCM Section 4.1 without a separate detention facility, subject to confirmation through hydrologic calculations during design.

The pervious paver section may also serve as an engineered permeable pavement BMP for applicable TCEQ Chapter 213 compliance, provided the system is designed, documented, constructed, maintained, and accepted for that purpose. If TRUEGRID is used as a BMP, the Rollingwood DCM requires the BMP method, capture area, runoff storage/detention time, and release rate, if applicable, to be documented for City Engineer review. Discharge from the underdrain at the eastern property line must still be managed to avoid adverse impacts to the WAC property.

The principal risk with this option is that the drainage and water quality benefits are maintenance-dependent. If the system clogs or is not maintained, the City may lose the hydrologic or BMP benefits assumed during design and could be required to restore the system or provide supplemental mitigation.

### **Option 2 – Asphalt**

Asphalt pavement is treated as fully impervious. Within the existing parking lot footprint, replacement of existing asphalt paving areas and compacted aggregate base areas is not expected to create a new impervious-cover impact. Any areas that increase the limits of the existing pavement and compacted base would increase impervious cover and may require detention or equivalent mitigation to demonstrate compliance with DCM Section 4.1. Therefore, if asphalt is selected, the preferred design approach should be to match the existing asphalt and compacted base footprint as closely as practical to avoid or minimize the need for additional drainage mitigation.

A separate water quality BMP may also be required for applicable TCEQ Chapter 213 compliance if new or modified impervious cover is not otherwise addressed by an accepted BMP or existing approval. If a BMP is proposed, the Rollingwood DCM requires the BMP method, capture area, storage/detention time, and release rate, if applicable, to be documented for City Engineer review.

### **Option 3 – Concrete**

From a drainage standpoint, standard Portland cement concrete is treated identically to asphalt: fully impervious, with the same DCM Section 4.1 obligation to mitigate increased runoff and the same potential need for a water quality BMP for applicable TCEQ Chapter 213 compliance. The drainage analysis effort and required mitigation footprint are generally equivalent to Option 2.

## **Pavement Considerations**

Beyond the drainage analysis, several pavement-related factors materially affect the long-term cost and performance of each option. For all three pavement options, long-term performance will depend on subgrade preparation, positive drainage, edge restraint or curb condition, pavement section thickness, anticipated vehicle loading, and construction quality. The final pavement section should be confirmed during design based on anticipated traffic loading, maintenance vehicle access, emergency access, and geotechnical or subgrade condition.

### **Option 1 – TRUEGRID Pervious Pavers**

Anticipated service life is 25 years or more with consistent maintenance, assuming use of the TRUEGRID PRO PLUS commercial-duty product and an engineered pavement section appropriate for public parking lot use. TRUEGRID PRO PLUS is identified by the manufacturer as a commercial-use product for parking lots and heavy loads, with load capacity exceeding H20/HS20 rating when properly filled and installed. The current Sitedesign plans identify TRUEGRID pervious pavers, but the final design should specifically confirm TRUEGRID PRO PLUS or an approved equal, along with the aggregate reservoir section, underdrain configuration, edge restraint, infill material, and design vehicle loading.

Routine maintenance consists of leaf, sediment, and debris removal; periodic inspection of the surface and underdrain outlets; localized gravel refill; weed control; and spot replacement of damaged paver units. Although routine vacuum sweeping is generally not required for TRUEGRID in the same manner as porous asphalt or pervious concrete, vacuum cleaning or other restorative cleaning may be needed as corrective maintenance if sediment accumulation, ponding, clogging, or reduced infiltration is observed.

Periodic localized refilling of the gravel infill and replacement of individual damaged paver units should be anticipated, particularly in high-use areas, in turning radii, and where heavier vehicles such

as maintenance trucks or delivery trucks impose concentrated loads. Failure to maintain the system may result in clogging, loss of pervious function, and loss of the impervious-cover or water quality benefits assumed during design.

TRUEGRID PRO PLUS is identified by the manufacturer as ADA compliant; however, gravel-filled permeable paver areas should still be specifically detailed and reviewed to confirm that accessible parking spaces and accessible routes provide a firm, stable, and slip-resistant surface. A hybrid section with concrete at the ADA-accessible parking stalls remains the lower-risk solution and is consistent with the Sitedesign plans.

For planning purposes, the installed cost of a TRUEGRID PRO PLUS system is assumed to be on the order of \$15 to \$20 per square foot, pavement system only, based on the plan detail showing TRUEGRID with gravel infill over a 6-inch layer of angular stone and prepared subgrade. This estimate should be confirmed by Sitedesign or a contractor during final design based on the final section thickness, stone gradation, underdrain layout, edge restraint, excavation, and outlet configuration

### ***Option 2 – Asphalt***

Anticipated service life is 15 to 20 years with periodic maintenance, assuming a properly designed commercial asphalt pavement section, adequate subgrade preparation, positive drainage, and routine maintenance. Periodic crack sealing and seal coats every 5 to 7 years are typically required, with an eventual overlay near the end of service life.

For planning purposes, installed costs for asphalt are assumed to be on the order of \$15 to \$20 per square foot, pavement only. This range is based on recent City bid pricing for a heavy-duty asphalt section consisting of approximately 10 inches of Type B hot mix asphaltic concrete pavement and 2 inches of Type D hot mix asphaltic concrete pavement. If a thinner standard parking lot section over compacted aggregate base is selected during final design, the asphalt pavement cost may be lower.

Performance risks include rutting under sustained heat, edge raveling, cracking, and faster deterioration relative to concrete. These risks can be mitigated with a thicker base or pavement section, but doing so would increase construction cost.

### ***Option 3 – Concrete***

Anticipated service life is 25 to 40 years with periodic joint and panel maintenance, assuming a properly designed concrete pavement section, adequate subgrade preparation, positive drainage, proper joint layout, and construction quality control. Based on the pavement section shown in the current plans, the concrete option is assumed to consist of 6 inches of reinforced concrete pavement over 8 inches of compacted flexible base.

For planning purposes, installed costs for this section are assumed to be on the order of \$25 to \$30 per square foot, pavement only. This range is generally consistent with recent bid pricing for 6-inch concrete pavement combined with 8 inches of compacted flexible base.

Life-cycle cost may be lower than asphalt over a 30-year horizon because concrete typically requires less frequent structural maintenance. Performance risks are primarily related to joint cracking, isolated panel repair, subgrade movement, and difficulty of future utility or pavement repairs. Concrete is the most rigid of the three options and is generally the most difficult to repair or modify after construction.

### Summary of Options

The following table summarizes the key differences across the criteria most relevant to the Park Commission’s decision.

Consideration	TRUEGRID Pervious Pavers	Asphalt	Concrete
Drainage classification	Planning assumption: 50% impervious for vehicular TRUEGRID areas, subject to final design acceptance	Fully impervious	Fully impervious
Planning-level installed cost	\$15–\$20/sf, pavement system only	\$15–\$20/sf, pavement only	\$25–\$30/sf, pavement only
Service life	25+ years with consistent maintenance	15–20 years with periodic maintenance	25–40 years with periodic joint/panel maintenance
Detention pond / mitigation required	May be avoided, subject to design calculations and City Engineer acceptance	Likely if runoff increases; detention or equivalent mitigation required	Likely if runoff increases; detention or equivalent mitigation required
Separate water quality BMP	May be avoided if accepted as permeable pavement BMP for TCEQ	May be required for applicable TCEQ Chapter 213 compliance if not otherwise addressed by an accepted BMP or existing approval	May be required for applicable TCEQ Chapter 213 compliance if not otherwise addressed by an accepted BMP or existing approval
Ongoing City maintenance	Debris/sediment removal; underdrain inspection; gravel refill; weed control; corrective cleaning if clogged; spot paver repair	Crack sealing and seal coat every 5–7 years; eventual overlay	Joint maintenance; isolated crack/panel repair as needed
Risk if maintenance is deferred	Loss of pervious credit; reduced water quality benefit; potential need for system restoration or supplemental mitigation	Accelerated deterioration	Minor surface cracking; isolated panel deterioration

## Recommendations

Each of the three pavement options is technically viable; the selection should be informed by the City's priorities regarding first cost, life-cycle cost, drainage mitigation footprint, TCEQ Chapter 213 compliance, and willingness to commit to ongoing maintenance.

- If a conventional pavement section and reduced maintenance complexity are the primary drivers, Option 2, asphalt, is a viable option. Asphalt should be considered most favorably if the final design can match the existing asphalt and compacted base footprint as closely as practical, thereby avoiding or minimizing additional drainage mitigation requirements under DCM Section 4.1. The City should anticipate periodic crack sealing, seal coats, and an eventual overlay within the 15-to-20-year service life. If new or modified impervious cover is not otherwise addressed by an accepted BMP or existing approval, a separate water quality BMP may also be required for applicable TCEQ Chapter 213 compliance.
- If long-term pavement durability and lower structural maintenance over a 30-year horizon are the primary drivers, Option 3, concrete, is the recommended conventional pavement option. Drainage requirements are generally equivalent to Option 2 because concrete is fully impervious, but concrete is expected to provide a longer service life with less frequent structural maintenance. The primary tradeoff is higher initial cost, with the current planning-level estimate of \$25 to \$30 per square foot based on the assumed 6-inch reinforced concrete section over 8 inches of compacted flexible base.
- If minimizing drainage mitigation and advancing a more environmentally sensitive pavement approach are the primary drivers, Option 1, TRUEGRID PRO PLUS pervious pavers, is the recommended option. It provides the greatest opportunity to reduce runoff and support TCEQ Chapter 213 water quality compliance, based on a planning assumption of 50% impervious cover for vehicular-use areas. These benefits are subject to final design acceptance and long-term maintenance. A hybrid section with concrete at the ADA-accessible parking stalls is recommended.

The installed cost ranges shown in the comparison table are planning-level values based on the current pavement assumptions, recent City bid pricing where available, and general planning-level pricing for TRUEGRID PRO PLUS permeable pavement systems. Prior to finalizing pavement material selection, we recommend that Sitedesign provide project-specific construction cost estimates for each of the three pavement options. The estimates should include not only pavement costs but also the probable cost of any required drainage mitigation, TCEQ-related water quality BMPs, underdrain outlet improvements, and downstream discharge controls. This will allow the Park Commission to evaluate the full trade-off between capital cost, drainage requirements, pavement service life, and maintenance responsibility.

Once the Commission selects a preferred option, Lochner can assist with formal drainage review, TCEQ applicability coordination, and permitting review during final design.

## Recommended Next Steps

- Confirm existing pavement and compacted base limits and proposed expansion limits.
- Confirm TCEQ Edwards Aquifer Recharge Zone applicability, including whether the work requires a new WPAP, modification, exception, or no separate submittal based on existing approvals.

- Obtain planning-level cost estimates from Sitedesign for all three pavement options, inclusive of probable drainage mitigation, water quality, underdrain, and downstream discharge control costs.
- Park Commission selects a preferred pavement option to advance to design.
- Complete formal hydrologic calculations and confirm whether detention, equivalent drainage mitigation, a TCEQ submittal, or a water quality BMP for applicable TCEQ Chapter 213 compliance is required.
- Develop a drainage layout that controls runoff at the eastern property line and avoids creating an adverse concentrated discharge condition.
- Prepare an Operations and Maintenance plan for any drainage facility or permeable pavement BMP.

## AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Discussion and possible action on treatment solutions for mosquitos in the lower park area

**Description:**

Park Commission member Sean Downing requested to discuss mosquito treatment and possible solutions.

Currently, the Public Works team treats mosquitos by using mosquito tablets to kill mosquito larvae in standing water when needed.

**Action Requested:**

To discuss and consider possible improvements for mosquito treatment in the lower park.

**Fiscal Impacts:**

Fiscal impact depends on any action made by the Commission.

**Attachments:**

- Sean Downing - Barefoot Mosquito Quote
- Sean Downing - Justice Pest Control Mosquito Quote

# Congratulations on choosing the best pest service!!

Please review the following agreement and then sign. You will receive a copy via email for your records.  
Thanks!



## Mosquito Control Agreement

Serving major metropolitan areas in Texas and Oklahoma

\* Call: (888)-277-2899 \* Text: (512)-877-5106 \* sales@barefootmosquito.com

### Customer Information

Name: Sean

Phone: (512) 970-7364

Address: 401 Nixon Drive

Email Address: sdowning@gmail.com

Gate Code: \_\_\_\_\_

### Service Info

Location #: 600731

Initial Date: \_\_\_\_\_

Sold By: Guy Conrad

### Service Plan(s)

Service Name: Service Frequency: Initial Cost:	Recurring Cost:	Billing Frequency:
Mosquito Control as needed/evry 3 wks \$275.00	\$275.00 after each service	
\$	\$	
\$	\$	
Initial Cost Sub Total: \$	\$	

Prices listed do not include tax. Tax is based off office location and will be added when billed.

### Notes

As needed until March. 80-90% reduction warranty

# Barefoot Mosquito & Pest Control

## Mosquito Control Agreement

### Here is a summary of our Terms & Conditions.

You can read the full article, along with our consumer information sheet at <https://www.barefootmosquito.com/terms-of-service/> (<https://www.barefootmosquito.com/terms-of-service/>)

- Pest Control plans have a 12 month agreement, and have an Early Termination fee if canceled early.
- Mosquito Control is scheduled every 21 days, with the exception of the first 2 treatments which are 14 days apart.
- We treat exterior every time for Pest Control, and interior by appointment or request. If live pests come back between our visits, let us know and we can come back out. Many pests are covered, some are not, and some coverages are available separately or as add-ons.
- Services continue until canceled by the client.
- After the 3rd Mosquito treatment, if biting mosquitoes return soon (within 10 days) after service, let us know as soon as possible and we'll be able to retreat.
- Services happen on a schedule that is pre-approved by the client, who is not required to be present for most visits. We'll send notice before service, and we sometimes use yard signs.
- Invoices are charged automatically following services unless on a monthly billing plan. Delinquent invoices can incur late charges, up to and including a collections fee. Service rates may change annually. Payment is due upon receipt if not on Autopay.
- We make use of your hose/spigot. Products we use can harm fish, so clients must take precautions before service. Rodent control products can be harmful, but are used responsibly. Elements of our Mosquito Control service are scented and could be unpleasant for some, but most people like it.

### Terms and Conditions

#### **Express Consent for Text Marketing**

For your benefit, Barefoot uses text messages for Service Reminders and 'on-the-way' announcements from our technicians. However, there are other beneficial text message communication we offer that you first need to agree to before receiving. By agreeing to text marketing, you are agreeing to receive Informational and Promotional text messages from us. You're also expressly consenting to receive such messages using an automated dialing system, which just means that we're sending such messages as a group. Importantly, you acknowledge that your consent is never a condition of purchasing any of our products or services. Standard messaging rates may apply. Of course, you may opt-out of receiving text messages at any time just by replying STOP to any message you receive, or by contacting our customer service team.

#### **Re-Treatment Guarantee for Pest Control Services**

Covered pests include, but aren't limited to, common ants and roaches, scorpions, silverfish, common beetles, centipedes, millipedes, most spiders, earwigs, and most other non-flying structural insects.

Pest Control plans are built around preventative exterior visits being done at regular intervals, which in turn enables an ongoing Re-Treatment Guarantee. In the event that live targeted pests indicated above reappear on the property, upon the client's request Barefoot Mosquito & Pest Control will retreat the property at no additional charge - providing that the client

has corrected any conducive conditions for pests on their property, the client's service schedule has been maintained, and the account balance is in good standing.

Barefoot Mosquito & Pest Control agrees to apply material/s to reduce the presence of pests in accordance with the Terms and Conditions of this agreement. All materials used will comply with Federal, State, and County regulations.

The Pest Control Re-Treatment Guarantee does not include: bees, birds, ornamental pests (a category of exterior pests which includes webworms and aphids), German cockroaches, bed bugs, cicada-killer wasps, Leaf Cutter and tawny crazy ants. Fleas, and wood-destroying insects (such as termites, carpenter ants, and borer beetles) are also not included, but they can be inspected, quoted, and treated separately.

Rodents are guaranteed only in certain plans that were sold to include Rodents. Other mammals in the wildlife pest category, such as gophers, raccoons, opossums, and squirrels, are excluded.

#### **Service Guarantee for Mosquito Control**

We agree to apply material to reduce mosquitoes and/or general pests in accordance with the terms and conditions of this agreement. All materials used will comply with Federal, State, and County regulations.

Once three mosquito services have been completed, and while on a continual service cycle of 21 days or less, in the event that mosquitoes re-infest the property, we will treat the exterior at no additional charge with a Booster service. Request for re-treatment must be given within 10 days of a completed service. This is provided that the customer has corrected all the conducive conditions for mosquitoes on their property, the customer's service schedule is maintained, and the customer balance is current. Although the service aggressively targets mosquitoes, it is scientifically impossible to eradicate 100% of mosquitoes on a property, and as such, a 100% guarantee is not possible.

#### **Renewal And Cancellation**

After the agreed number of services have been completed, services shall continue on their normal interval unless the client cancels by telephone. If you are unable to use a telephone to call us, we can accept an email in certain cases. It is the client's responsibility to alert Barefoot Mosquito & Pest Control of any change in address. Active Mosquito Control services will be notified by email about seasonal service pauses and restarts. Seasonal changes do not require restart confirmation from the client.

Pest Control services canceled prior to the completion of the agreement incur a \$99.99 cancellation fee. Cancellation of one service arrangement or setup is not tantamount to cancellation of others - for example, ending Mosquito service does not thereby end your Pest service.

# Barefoot Mosquito & Pest Control

## Mosquito Control Agreement

### Terms and Conditions, cont'd

#### **Payment**

Accounts will have a method of payment recorded on file and set up for automatic payments, and will be charged within a reasonable time following service. Accounts not operating with payment on file (known as traditional billing) will be subject to a per-invoice surcharge of \$5.

A financial charge of 1.5% per month (18% per annum) will be added to past-due accounts. There is a \$25 return charge for all declined payments. No service will be rendered on accounts past due by 60 days or more. Accounts due past by 90 days or more are subject to cancellation and turnover to a third-party collections agency.

The company reserves the right to change service rates. Periodic rate changes may happen on an annual basis, while Corrective rate changes may occur at any time. Corrective rate changes exist to account for developments in the nature of service or the location to be treated.

It may become necessary that an account in arrears be submitted to a third-party collections agency. In this event, the account will be assessed a fee equal to 43% of its closing balance.

#### **Scheduling**

The individual signing below claims that they have ownership or capacity to approve service at this location. This agreement includes the above number of services. (Mosquito only): By default, Mosquito Control services are scheduled on a 2 week cycle for the first 2 treatments, and then the services move to a 3 week cycle. These intervals are set, and changes to one service day will not affect subsequent service dates. (Pest only): Pest Control services are scheduled every second or every third month, but are not required to occur exactly 60 or 90 days apart, respectively. Separate services (Flea & Tick, Termite, etc.) may be combined and performed at the same time for consolidation purposes. The client approves all work performed on and around the property as complete.

The company reserves the right to schedule services up to 5 days before or after the service timetable, due to weather or other required scheduling needs. Services will be performed notwithstanding the client's presence at the time of the technician's arrival. The arrival time may fall at any point throughout daylight hours unless previously scheduled with the client.

Prior to the day of service, notice will be sent to registered email addresses on file for the location. Service notices may be sent to additional registered email addresses, such as those of adjacent properties with expressed health concerns, solely to alert them of upcoming service nearby. These notices will never contain information that is financial in nature. If the client requires a different method of notice, they must establish that need in advance with the company so that it may best be accommodated.

Where it is permitted, the company may make use of yard signs to alert the client and nearby owners that the property is under the company's service. This signage is not meant to be permanent, and will be displayed on a rotating basis. If you do not want a sign placed in your yard, just let the office know.

#### **Communication**

Barefoot Mosquito & Pest Control may send occasional text messages or emails for appointment reminders and promotions. By providing your name and number, you consent to receive messages from this company. To opt-out reply STOP at any moment. Msg & Data rates may apply.

**Liability**

In the course of conducting service at a location, it may be necessary for Barefoot Mosquito and Pest technicians to use the water source on premises. Technicians will exercise caution to use only as much water as is necessary for service(s). Technicians will return hoses and adapters to the state they were in upon arrival. Barefoot Mosquito & Pest Control is not responsible for any structural damage, property loss, or personal loss caused by the service. Barefoot Mosquito & Pest Control shall not be responsible for any loss due to health issues that arise from mosquitoes, general pests, or from the service application should such occur. The products the company uses can be fatal to aquatic organisms. If client has fish or any aquatic wildlife living on the outside of their property, they must ensure the ponds, tanks, etc. are fully covered by a tarp prior to service commencing and leave on for one hour after service is complete. Barefoot Mosquito & Pest Control is not responsible for any loss of fish or other aquatic wildlife due to the service.

In the course of treating and preventing problems with mice and/or rats, it may be necessary to employ rodenticide. Though it is administered in a controlled way, the rodenticide that will be used can be harmful to children, pets and wildlife. The client agrees to use the highest degree of care in and about their property so that no children, pets or wildlife shall come in contact with the rodenticide, just as the company agrees to use the highest care in filling, placing, and securing this product. The client agrees to release Barefoot Mosquito & Pest Control from liability and to indemnify and hold Barefoot Mosquito & Pest Control, its officers, agents, contractors and employees harmless from any claims for property damage, personal injury or illness as a result of the application of rodenticide. (Mosquito Only): All materials have an odor that may be detected for 24-36 hours after the product is applied. If you or anyone living in the vicinity of your property is sensitive to essential oils or pesticides, Barefoot Mosquito & Pest Control recommends you seek advice from a physician or veterinarian prior to commencing treatment.

# Barefoot Mosquito & Pest Control

## Mosquito Control Agreement

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Licensed and Regulated by:

Texas Depart. of Agriculture

P.O. Box 12847

Austin, TX 78711-2847

Phone: (866) 918-4481

Fax: (888) 232-2567

Austin - TPCL 0743689 - 4509 Freidrich Ln, STE 109, Austin, TX 78744

Houston - TPCL 0932216 - 6961 Brookhollow W Dr, Houston, TX 77040

Marble Falls/Kingsland - TPCL 0953856 - 103 South Avenue South, Marble Falls, TX 78654

San Antonio - TPCL 0931097 - 338 Breesport Street, San Antonio, TX 78216

Dallas - TPCL 0933481 - 14286 Gillis Road, Suite A, Dallas, TX 75244

### **Consumer Information Sheet**

Required by the TDA Structural Pest Control Service

The structural pest control industry is regulated by the Texas Department of Agriculture (TDA), Structural Pest Control Service (SPCS), PO Box 12847, Austin, TX 78711-2847. TDA licenses the businesses, certified applicators and technicians who perform structural pest control work. Certified applicators and technicians must pass a written examination in order to receive their licenses.

Pesticides must be registered with the United States Environmental Protection Agency (EPA) and TDA before they may be used in Texas. EPA registration is not a finding of product safety. Pesticides are designed to kill or control pests. Your risk of harm depends on the degree of your exposure and or individual susceptibility.

Specific health and safety information varies between pesticides and types of exposures and is available on the label information or MSDS sheet, which can be supplied to you upon request from the licensed applicator. Take precautions when a treatment has been performed to avoid exposure to vulnerable individuals. Pesticides maybe harmful if swallowed, inhaled, or absorbed through the skin. Avoid breathing dust or spray mist and any unnecessary contact with treated services. If you desire specific information on precautions, refer to the pesticide label. The law requires that the application procedures

specified on the label be followed. If you have questions about the application, contact the business or person making the application. If you suspect a violation of the law regarding structural pest control, contact the SPCS. In case of a health emergency, seek immediate medical attention. Pest Control signs must be posted prior to treatment in many instances. The signs should be posted in an area of common access at least 48 hours prior to treatment. The information sign will allow you to contact someone and tell you what pesticide is being used.

If you are contracting for pest-control services due to a home solicitation, you have the right to cancel the contract within 72 hours. You may exercise this right by notifying the pest control company that you do not wish to receive their service. For general information on pesticides, contact the national pesticide information center 1-800-858-7378. For information concerning structural pest control laws, contact the Structural Pest Control Service at: (512) 305-8250 or 866-918-4481.

For information concerning the formulation and registration of pesticides, contact the TDA pesticide registration at (512) 463- 7476 or 800-835-5832.

For non-emergency health information relating to pesticides, contact Texas Department of State Health Services (512) 458- 7111.

### Reduced Impact Service

In order to minimize the reliance on pesticides and reduce pest populations, a Reduced Impact Pest Control operator may recommend that you consider the sanitation or physical alteration of your workplace or residence. It is your responsibility to follow these recommendations. Your pest control operator may or may not offer these services upon request. A proper inspection will provide the information necessary for you to choose the method of pest control which best suits your situation. Many past problems can be solved without using pesticides.

This reduced impact service will include an inspection report and treatment recommendations. You should review these and keep a copy for your records. Your cooperation of all of the recommendations made by your service provider is essential to reduce the impact service program.

Pesticides may be used in a responsible and professional manner and I reduce the impact pest-control service. If you do not want specific pesticides used or any pesticides used at all, you must notice in writing on the contract prior to the initiation of the service. If any specific pesticide or class of pesticides or not excluded, it may be used by the provider.

POISON CONTROL CENTER - Statewide: (800) 222-1222

# Barefoot Mosquito & Pest Control

## Mosquito Control Agreement

By signing below, you opt-in to receive SMS and/or MMS messages and emails from Barefoot Mosquito & Pest Control about new services, promotions, and updates. You understand that your consent is not a condition of receiving services and that you may withdraw your consent at any time by contacting us at (512) 402-7121 or service@barefootmosquito.com. For SMS and/or MMS messages, you can reply with "STOP" or "OPT-OUT". For SMS and/or MMS, messages & data rates may apply. For email, you may unsubscribe at any time.

**This agreement is for an initial period of 12 month(s).**

Sign above

I have read and agree to the terms and conditions of this agreement including any additional terms and disclosures listed above. I confirm that my email address is entered correctly and agree to receive my agreement, additional disclosures, and future account notifications electronically.

Clear

Sign Agreement

Powered by



(<https://www.FieldRoutes.com>)

**Barefoot Mosquito & Pest  
Control - Austin**

PO Box 8199

Carol Stream, IL 60197-8199

(512) 402-7121

<http://www.barefootmosquito.com>

# Congratulations on choosing the best pest service!!

Please review the following agreement and then sign. You will receive a copy via email for your records.  
Thanks!

Justice Pest Services  
PO BOX 340010  
Lakeway, TX 78734  
(512) 261-2465 | info@justicepestservices.com  
License #: 0708820

## Service Agreement



### Service Address

Sean Downing  
4820 Rollingwood Dr  
West Lake Hills, TX 78746  
Rollingwood

### Customer Information

sdowning@gmail.com  
(512) 970-7364 |

**Notes:**

### Included Insects



MOSQUITO

## SEASONAL SERVICE MARCH - NOVEMBER



The effectiveness of the treatment should be apparent immediately. Allow product to dry before enjoying your yard. Keep pets up while technician administers treatment. You should expect a drastic reduction of mosquito activity around your home. If you are still experiencing a large amount of activity, call us!



You can help us keep the mosquitoes at bay by ensuring that all standing water has been removed from around your home! Mosquitoes lay their eggs in water where the larvae develop so it is important to empty containers, flower pots, pool covers, etc after a rainstorm or irrigation system activity. Water in bird baths and pet dishes should be changed regularly. Maintain your yard by keeping foliage and landscaping groomed.

### MOSQUITO PROGRAM DESCRIPTION

The Mosquito Program includes a seasonal treatment for mosquitoes. Service is performed approximately every 3 weeks between April and October and is intended to be a mosquito suppression service. This service is guaranteed should the customer see a surge in mosquito population in between the regularly scheduled visits, please contact our office for immediate service. The Mosquito Program involves initial and subsequent treatments to achieve a reduction in the mosquito population around the covered premises. Justice Pest Services will render preventative treatments and warrant their service in between treatments as long as the customer's payments are current. Customer agrees to keep gutters maintained and free of debris. The customer will grant Justice Pest Services reasonable access to the premises for the purpose of rendering the service contracted for. The customer warrants full cooperation with Justice Pest Services during the term of this agreement and agrees to maintain the structure free from any factors contributing to infestation, such as standing water (other than swimming pools, fishponds, or landscaping ponds/pools), used tires, or any other man-made item or artifact that could conceivably retain water. NOTE: Mosquitoes are a disease vector. Justice Pest Services does not imply nor warrant that persons or animals at the covered premises will not be bitten by mosquitoes, and we strongly urge that precautions be taken by individuals to help reduce the opportunity for mosquitoes to bite. This agreement will renew annually when mosquito season begins and continue through the remainder of the season unless the company is notified by the customer.

### Mosquito 21 Days Subscription

Mar '26

(S)375.00

Apr '26

2x(S)275.00ea

May '26

(S)275.00

Jun '26

2x(S)275.00ea

Jul '26

(S)275.00

Aug '26

2x(S)275.00ea  
Sep '26

(S)275.00  
Oct '26

2x(S)275.00ea  
Nov '26

(S)275.00  
Dec '26

Jan '27

Feb '27

**Initial Service / Warranties**

Initial Quote:

\$375.00

Initial Discount:

(\$0.00)

Sub Total:

\$375.00

Tax (8.25%):

\$30.94

**Initial Total:**

**\$405.94**

**Recurring Services**

Service Charge(monthly recurring):

\$275.00

Tax (8.25%):

\$22.69

**Recurring Total:**

**\$297.69**

Either party may cancel this transaction anytime. Customer may cancel by giving written notice of cancellation to Justice Pest Services. If for any reason, at any time, the contract is cancelled before its completion, and the initial service has been performed, customer agrees to pay the full initial service charge. Upon completion of this agreement treatments will continue at the same frequency until cancelled by the customer.

**CUSTOMER OBLIGATION:** This agreement will become effective upon full payment for the Initial Treatment for the above accepted service. Continuation of the agreement is subject to payment in full of the monthly payment amount. Monthly payments are due on the first of each month. Customers signing up for auto pay by putting a form of payment (credit card, debit card, or eCheck) on file to be drafted the first of each month. The agreement will automatically renew until

canceled by the customer. By signing this agreement, you opt-in to multiple forms of communication including but not limited to phone calls, text messaging and emails.

## Billing Info

Sean Downing  
4820 Rollingwood Dr  
West Lake Hills, TX 78746

## Payment Information

Sean Downing

*I authorize Justice Pest Services to automatically bill my debit/credit card now for the full amount indicated above.*

**This agreement is for an initial period of 12 month(s).**

Sign above

I have read and agree to the terms and conditions of this agreement including any additional terms and disclosures listed above. I confirm that my email address is entered correctly and agree to receive my agreement, additional disclosures, and future account notifications electronically. (Enter initials in box)

Clear

Sign Agreement

# AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Discussion, and possible action to improve Friends of Rollingwood Park online presence and fundraising

**Description:**

To discuss recommendations for streamlining the donation process, enabling donors to allocate contributions to specific projects, and enhancing opportunities for donor recognition.

**Action Requested:**

Possible action to enhance the donation process

**Fiscal Impacts:**

N/A

**Attachments:**

N/A

# AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Discussion regarding the purpose and roles of the Park Commission

**Description:**

This agenda item is intended to provide a more in-depth discussion regarding the purpose, responsibilities, and overall role of the Park Commission.

**Action Requested:**

No action is requested or permitted for this item

**Fiscal Impacts:**

No fiscal impact is expected from this item

**Attachments:**

None

## AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: May 12, 2026

**Submitted By:**

Staff

**Agenda Item:**

Discussion and possible action to create a list of proposed capital improvement projects to submit to the city for consideration during the budget process per Sec. 20-27(e) of the Rollingwood Code of Ordinances

**Description:**

This agenda item is to discuss proposed capital improvement projects to submit to the city for consideration during the budget process. **“(e) The commission shall maintain a list of suggested maintenance items and shall furnish that list to the city. The commission shall also maintain a list of proposed capital improvement projects to be submitted to the city annually for consideration during the budget process.”**

**Action Requested:**

To create a list of proposed capital improvement projects for consideration for the upcoming budget process

**Fiscal Impacts:**

No fiscal impact is expected from this item

**Attachments:**

None

**April 16, 2026, Park Walk Through**  
Mary Elizabeth Cofer & Diana Wallace

**New Items Identified:**

**Upper Park:**

1. Mimosa tree (especially dead branches) needs more trimming.
2. Driveway on the east side is not meant for commercial parking.
3. Main concern is erosion on the west side of the trail. It looks worse without filler brush, or is more erosion occurring?
4. Landscape rocks & stones at Field House/ "retaining wall" are missing. Trail stones have been pried up & moved.
5. In general, mulch is placed too close to tree trunks. It needs to be pulled away from the bases of the trees in both the upper & lower parks.

**Lower Park:**

1. The community garden has come a long way. Nice work to the volunteers & Public Works.



**October 21, 2025 Park Walk Through**  
**Mary Elizabeth Cofer and Lindsay Saenz**

**New Items Identified:**

**Upper Park:**

1. The Buckeye tree that is located near the entrance of the Upper Park needs to be trimmed back. PW will address this in the fall.
2. The path from the upper parking lot to City Hall needs to be cleaned up or restored. PW will address this in the spring.
3. The stairs that connect the upper parking lot to City Hall need to be replaced. PW will address this in the spring.
4. The water fountain appears to be disabled on the East side of the
5. The gate by the water fountain is locked, and it is unclear as to wh
6. The new rocks for seating in the upper playground are a potential

<p><b>Ismael Parra</b> 2026-03-04 13:15:04</p>
<p><b>Ismael Parra</b> 2026-03-04 13:17:05</p> <p>have been reinforced. be replaced in the</p>
<p><b>Ismael Parra</b> 2026-03-04 13:18:42</p> <p>Field house restroom was being worked on.</p> <p>safety hazard.</p>

**Lower Park:**

1. The circular rock formation in front of City Hall needs to be cleaned up. There are smaller rocks that need to be moved. PW will address this in the fall.
2. Before entering the Pavilion, there is a dirt patch that needs some type of material to cover it (grass, rocks, etc.) PW will address this in the spring.
3. The dog on leash sign that is located next to the Pavilion is old and bent, which makes it hard to read. PW will address this in the spring. PW will address this in the fall.



Update/Comments to Current Items



Previous Completed Items

## August 12, 2025 Park Walk Through

Melissa Morrow

### New Items Identified:

#### Upper park

1. Can you give us some history on the dumpster at the entrance to the park near the pool gate. Does it belong to the City or the Pool? As one of the first things you see on entering the park we would like to look at moving it to another location, let us know what the parameters are. If it needs to stay, let's make a plan to hide it better.

Staff confirmed that the dumpster belongs to Western Hills Little League as well as confirmed that it is on Park Land.

2. There are still several bleacher end caps that need replacement. Please send another note to WHLL about the need to get these fixed as we have had at least one injury as a result of these sharp edges. City staff will reach out to Western Hills Little League.

#### Lower Park

1. The fence around the outdoor storage area next to the lower park is falling apart. Can we get bids to replace it.

Action will be delayed due to discussions of a new City Hall. Otherwise, it can be resolved internally.

Public Works can work on this project if needed in the spring.

2. It appears an animal or child has been digging out under the large boulders in the lower park back field. Concern that one could roll onto a child playing. Public Works have taken care of this issue. Large Boulders were moved and filled with fresh dirt and small rocks; boulders were then moved back into place.

3. Irrigation pipe sticking up between the playground curb and the bench near the swirling slide. Public Works took care of the issue by moving the irrigation head so the tree can get sufficient water.

4. It looks like someone is regularly driving from the sidewalk through the back grass area and creating a rutted area in the middle of the grass. Can they vary their route so it does not ruin the grass? Public Works will vary routes when performing work.

### Carry Over from Previous Walk Throughs:

1. Suggest adding a finished surface between the new lower pavilion steps and the sidewalk. A strip of artificial turf might work well there.

City staff will review this proposed improvement and carry it out as time and workload permit.



Update/Comments to Current Items



Previous Completed Items

**January 21, 2025 Park Walk Through**  
**Melissa Morrow and Mary Elizabeth Cofer**

**Carry Over from Previous Walk Throughs:**

- 1. 1 Painting maintenance needed at lower park benches.**  
Rotted wood has been replaced and painted on the picnic tables, the benches will be grinded and receive a fresh coat of paint in the spring.
- 2. Railroad ties at parking lot bordering field 2 are misaligned and several show extensive rot.**  
Public Works will work on this the week of January 13, 2025.



**October 15, 2024 Park Walk Through****Mary Elizabeth Cofer and Diana Wallace****New Items Identified:****Upper Park**

- 1. Ongoing Erosion Issues**  
Pending capital project. No action from staff at this time.
- 2. Sprinkler system at Butterfly Garden needs work.**  
Public Works worked on this item on November 8, 2024.

**Lower Park**

- 3. Lower Park Library needs waterproofing.**  
Public Works repaired library.

**Carry Over from Previous Walk Throughs:**

- 4. Ongoing erosion west of field house.**  
Received proposal for retaining wall. No action from staff.
- 5. Driveway area and parking needs work. Could this be redone with layer of road base, then covered with hard gravel? Parking could be delineated in the gravel with border stones set with about 1" above the surface of the gravel.**  
Pending capital project. No action from staff.



**July 17, 2024 Park Walk Through****Don Hudson and Diana Wallace****New Items Identified:****Upper Park**

- 1. Misaligned stones, west of field house, at water crossing paved with border stones.**  
Pending further direction on trail maintenance and improvement from Park Commission.
- 2. QUESTION: How much effort is required of Izzy and staff to maintain trail? Is it a large amount of time?**  
Public Works weed eats the trail weekly. As for any other maintenance, Public Works maintains the trail as needed, such as trail border alignment and refreshing decomposed granite. See item #2.
- 3. Multiple areas on trail between field house and cliff show granite surface washing over border stones, covering them up.**  
Trail related – addressed in item #2.
- 4. Water crossing at north trail shows erosion, the outer run of border stones covered with DG**  
Trail related – addressed in item #2.
- 5. Near northeast corner of trail, many loose border stones.**  
Trail related – addressed in item #2.
- 6. Grass Burrs (aka “goatheads”) noticed along north portion of trail.**  
Trail related – addressed in item #2.
- 7. Northeast corner water crossing needs work.**  
Trail related – addressed in item #2.
- 8. What are loose border stones behind backstop at field 4 to be used for. It appears they may be staged there for erosion control behind backstop.**  
It looks like the stones were being used for erosion control. Public Works re-stacked them, but I'm not sure when they were placed there.
- 9. QUESTION: Where is east border between WHAC Pool and Rollingwood park?**  
Here is a link to the property on TCAD: <https://travis.prodigycad.com/property-detail/107303>. If you go to the map view you can turn on the aerial map and it shows the property outline. This should be accurate within about 2 feet.
- 10. Parts of border buried with decomposed granite at south trail along Rollingwood Drive at field 2**  
Trail related – addressed in item #2.



- 11. QUESTION: If City Council passes the proposed tree project, could we request donations for same from residents of Rollingwood?**

Yes.

- 12. Loose border stones, trail head at parking lot near Gentry Dr.**

Trail related – addressed in item #2.

- 13. Bermuda grass or other invasive grass showing up at trail head at parking near Gentry Dr**

Grass area has been treated.

- 14. Cracked irrigation valve cover at entry to parking lot near Gentry.**

Irrigation valve cover was replaced.

#### Lower Park

- 15. North of playscape, missing border stones, erosion**

Trail related – addressed in item #2.

- 16. Some beautification needed at new slab, west side of Pavilion. Could be plants to soften appearance and soften sharp edges for walkers and others.**

New plants and gravel will be added in spring.

- 17. Regarding large trees between City Hall and Pavilion; is it OK for mulch to contact base of tree. The amount and depth of mulch looks good at 1" to 1-1/2".**

Public Works has addressed this.

- 18. COMMENT: The application of mulch in the beds at city hall looks GREAT!**

No action from staff.

- 19. Nut Sedge and other unwelcome grasses are coming up in beds at city hall.**

Public Works has added this to routine maintenance.

- 20. Misaligned border stones at path from city hall to parking near Gentry.**

Trail related – addressed in item #2.

#### Carry Over from Previous Walk Throughs:

- 21. Erosion exists in many places along the walking trail. In some places it is more pronounced than others. In some places, it has washed out part of the trail. Trail border stones seriously misaligned along the trail near the field house.**

Trail related – addressed in item #2. .



22. Parts of the trail border missing east of the playscape. This could be intentional to allow mowing equipment access to lawn.

Trail related – addressed in item #2.

**April 15, 2024 Park Walk Through**  
**Laurie Mills and Chad Smith**

**New Items Identified:**

1. Reinforce stairs from upper park parking lot to City Hall and trim landscape that is overgrown along stairs.

**This has been completed.**

2. Drainage in lower park just past the swing toward the back field.

**Public Works has cancelled out some of the irrigation heads in the area, this will alleviate some of the water build up. We are looking into adding decomposed granite to stop.**

3. Redistribute gravel along the back walking trail at lower park where there are holes and weed control along trail (upper and lower).

**Public Works will keep addressing these issues as part of regular maintenance.**

**Carry Over from Previous Walk Throughs:**

23. The drainage areas on the north and west sides of the lower park pavilion, including the area on the west side of the sidewalk.

**Drainage assessment in progress from by Maas Verde Landscape.**

24. Some tree pruning needed near the butterfly garden. Some trees are contacting plants in the garden.

**Will be maintained as needed.**



## January 16, 2024 Park Walk Through

Melissa Morrow & Mary Elizabeth Cofer

### New Items Identified:

1. We should host a community garden clean-up before Spring plantings?

**No action by staff at this time.**

2. Remove tree debris from the garden bed on Rollingwood Drive

**Completed and will be maintained as needed.**

3. Upper playground mulch is low.

**This has been completed.**

4. Straighten stones along the granite trail just west of the upper playground.

**This has been completed.**

5. Bury wire between trail and restrooms just north of the upper playground.

**This has been completed.**

### Carry Over from Previous Walk Throughs:

1. Hose reel at butterfly garden needs to be anchored to the tree or the ground. If not feasible, it should be replaced with a better solution.

**This has been completed.**

2. There is a large stand of a thorny shrubs, north side of park following the walking trail. These are slowly spreading via root suckers.

**Completed and will maintain as needed.**

3. A collection of debris behind the Community Garden could be cleaned out if not needed.

**This has been completed.**

4. Another bench, The Johnson Family Bench, needs a bolt and a washer to be added. The bolt has dug into the plastic.

**This has been completed.**

5. Mulch is mounded around a large tree between city hall and the Pavilion. Is this good for the tree? It is my understanding that excessive buildup can harm a tree.

**This has been completed.**



## November 14, 2023 Park Walk Through

Victoria Johnson & Don Hudson

### New Items Identified:

#### UPPER PARK

1. Serious erosion between field house and trail. This has been under consideration for a while, though no work has begun See 4.b.
2. We discussed how a water collection system could mitigate the flow to the lower park. See 4.b.
3. Three or four areas at the top of the cliff show a path water has been flowing during heavy rain, causing erosion.

**Requires larger drainage solution, which the City Council is contemplating. No action by staff.**

#### Questions:

- a. Does a Topographical map of the park grounds exist that clearly shows the elevations?  
**Yes. Emailed to the Park Commission on 01/12/2024**
- b. Would like update from City Council regarding item 1. erosion, and item 2. water collection system.

**Council has requested proposal related to drainage near the field house. Staff will update the Park Commission once further action has been taken.**

- c. Would like update from City Council regarding a full drainage study, and the hiring of a civil engineer.

**Council has requested proposal for full drainage study. Staff will update the Park Commission once further action has been taken.**

4. We observed several areas that could be used for memorial tree planting. Perhaps an area with a rock border that could accommodate four trees with a small concrete feature where minimal memorial plaques could be attached.  
**No action by staff at this time.**
5. We also observed that the area bordering the parking lot and the trail at field 2 could become a row of trees, replacing the large boulders that are currently. Such trees could be use as memorials.

**No action by staff at this time.**



Update/Comments to Current Items



Previous Completed Items

6. Some rock borders, similar to the border that outlines the walking trails could be used to define parking spaces along the pool side of the parking on the drive to the back of the park.  
**No action by staff at this time.**
7. We wondered who maintains the decomposed gravel corner area between the pool and the park at Rollingwood Drive.  
**WHAC.**
8. One of the memorial benches near the field house needs a bolt to be replaced. Don Hudson will take care of this.  
**No action by staff at this time.**
9. We considered how pavers could be used on both sides of the memorial benches already in the park. Perhaps creating a bed of black gravel surrounding the benches with as many as 8 pavers on each side.  
**No action by staff at this time.**

#### LOWER PARK

10. A peculiar structure exists along the trail east of the Community Garden, consisting of a plastic box on a metal frame, with some ventilation at the top. The thing is about 10' tall by about 2' x 2'. What is it? This is a Chimney Swift Habitat constructed as an Eagle Scout Project.  
**Public Works investigated and noticed that there are 3-4 nests in the habitat and did not disturb the nests.**
11. Mulch is mounded around a large tree between city hall and the Pavilion. Is this good for the tree? It is my understanding that excessive buildup can harm a tree. In progress.  
**Public Works will take back the mulch and allow the tree to breathe.**



CITY OF ROLLINGWOOD  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: MARCH 31ST, 2026

100-GENERAL FUND  
 PARK DEPARTMENT

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<b>PERSONNEL</b>					
100-5-55-5000 SALARY	42,891.00	2,354.51	18,843.58	43.93	24,047.42
100-5-55-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-55-5006 OVERTIME/PLANNED OVERTIME	0.00	0.00	0.00	0.00	0.00
100-5-55-5007 STIPENDS/CERTIFICATIONS	1,300.00	89.20	505.08	38.85	794.92
100-5-55-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-55-5010 TRAINING	1,800.00	0.00	0.00	0.00	1,800.00
100-5-55-5020 HEALTH INSURANCE	3,840.00	216.70	4,328.72	112.73 (	488.72)
100-5-55-5030 WORKERS COMP INSURANCE	751.00	0.00	751.36	100.05 (	0.36)
100-5-55-5035 SOCIAL SECURITY/MEDICARE	3,381.00	186.95	1,480.19	43.78	1,900.81
100-5-55-5040 UNEMPLOYMENT COMP INSUR	47.00	1.14	24.02	51.11	22.98
100-5-55-5050 TX MUNICIPAL RETIREMENT SYS	6,275.00	347.01	2,740.38	43.67	3,534.62
100-5-55-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
<b>TOTAL PERSONNEL</b>	<b>60,285.00</b>	<b>3,195.51</b>	<b>28,673.33</b>	<b>47.56</b>	<b>31,611.67</b>
<b>SUPPLIES &amp; OPERATION EXP</b>					
100-5-55-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100-5-55-5103 PRINTING & REPRODUCTION	250.00	0.00	0.00	0.00	250.00
100-5-55-5110 POSTAGE	0.00	0.00	0.00	0.00	0.00
100-5-55-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-55-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-55-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
100-5-55-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-55-5130 UTILITIES	14,000.00	226.18	7,604.95	54.32	6,395.05
100-5-55-5140 TELEPHONE	0.00	0.00	0.00	0.00	0.00
100-5-55-5145 UNIFORMS & ACCESSORIES	1,000.00	0.00	0.00	0.00	1,000.00
100-5-55-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
100-5-55-5158 OFFICE SUPPLIES	200.00	0.00	14.46	7.23	185.54
100-5-55-5159 CITY EVENT SUPPLIES	500.00	0.00	0.00	0.00	500.00
100-5-55-5164 EQUIPMENT MAINT & REPAIRS	1,500.00	0.00	0.00	0.00	1,500.00
100-5-55-5171 EQUIPMENT	3,000.00	0.00	0.00	0.00	3,000.00
100-5-55-5172 SAFETY EQUIPMENT	300.00	102.75	102.75	34.25	197.25
100-5-55-5190 MATERIALS	20,500.00	603.55	936.15	4.57	19,563.85
100-5-55-5191 MAINTENANCE	6,000.00	198.74	2,498.00	41.63	3,502.00
100-5-55-5195 VEHICLE OPERATIONS	3,000.00	82.17	757.60	25.25	2,242.40
100-5-55-5196 VEHICLE MAINT & REPAIRS	1,250.00	0.00	388.95	31.12	861.05
100-5-55-5198 FIELDHOUSE SUP & MAINT-JANITOR	9,000.00	420.00	2,520.00	28.00	6,480.00
<b>TOTAL SUPPLIES &amp; OPERATION EXP</b>	<b>60,500.00</b>	<b>1,633.39</b>	<b>14,822.86</b>	<b>24.50</b>	<b>45,677.14</b>
<b>CONTRACTUAL SERVICES</b>					
100-5-55-5255 VEHICLE INSURANCE	527.00	0.00	584.94	110.99 (	57.94)
100-5-55-5270 ENGINEERING SERVICES	0.00	0.00	0.00	0.00	0.00
<b>TOTAL CONTRACTUAL SERVICES</b>	<b>527.00</b>	<b>0.00</b>	<b>584.94</b>	<b>110.99 (</b>	<b>57.94)</b>
<b>MISCELLANEOUS OTHER EXP</b>					
100-5-55-5300 COMPUTER SOFTWARE & SUPPORT	1,000.00	54.97	374.97	37.50	625.03
100-5-55-5350 TOOLS/EQUIPMENT & REPAIR	1,000.00	15.98	1,001.21	100.12 (	1.21)
<b>TOTAL MISCELLANEOUS OTHER EXP</b>	<b>2,000.00</b>	<b>70.95</b>	<b>1,376.18</b>	<b>68.81</b>	<b>623.82</b>

CITY OF ROLLINGWOOD  
 REVENUE & EXPENSE REPORT (UNAUDITED)  
 AS OF: MARCH 31ST, 2026

100-GENERAL FUND  
 PARK DEPARTMENT

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>CAPITAL OUTLAY</u>					
100-5-55-5414 COMPUTERS	500.00	0.00	0.00	0.00	500.00
100-5-55-5455 IMPROV TO EXISTING PARK ASSETS	5,000.00	0.00	34,238.25	684.77 (	29,238.25)
100-5-55-5456 PLANTS FOR PARK AND ENTRANCES	2,000.00	104.00	2,712.47	135.62 (	712.47)
100-5-55-5490 PUBLIC WORKS LOAN PAYABLE	0.00	0.00	0.00	0.00	0.00
100-5-55-5493 LOAN INTEREST	0.00	0.00	0.00	0.00	0.00
100-5-55-5494 VEH FIN NOTE - DEBT SERVICE	2,445.00	0.00	0.00	0.00	2,445.00
100-5-55-5495 NEW VEHICLE & OUTFITTING	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	9,945.00	104.00	36,950.72	371.55 (	27,005.72)
<u>OTHER NON-DEPARTMENTAL</u>					
100-5-55-5512 PLAYGROUND MULCH & MAINT	8,000.00	0.00	0.00	0.00	8,000.00
100-5-55-5515 MAINTENANCE BUILDING	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER NON-DEPARTMENTAL	8,000.00	0.00	0.00	0.00	8,000.00
<b>TOTAL PARK DEPARTMENT</b>	<b>141,257.00</b>	<b>5,003.85</b>	<b>82,408.03</b>	<b>58.34</b>	<b>58,848.97</b>