



**CITY OF ROLLINGWOOD
BOARD OF ADJUSTMENT MEETING
AGENDA**

Wednesday, January 11, 2023

Notice is hereby given that the Board of Adjustment of the City of Rollingwood, Texas will hold a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on January 11, 2023 at 6:00 PM. Members of the public and the Board of Adjustment may participate in the meeting virtually, as long as a quorum of the Board of Adjustment and the presiding officer are physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. The public may watch this meeting live and have the opportunity to comment via audio devices at the link below. The public may also participate in this meeting by dialing one of the toll-free numbers below and entering the meeting ID and Passcode.

Link: <https://us02web.zoom.us/j/5307372193?pwd=QmNUbmZBQ1lwUjNjNmM5RnJreIRFUT09>

Toll-Free Numbers: (833) 548-0276 or (833) 548-0282

Meeting ID: 530 737 2193

Password: 9fryms

The public will be permitted to offer public comments via their audio devices when logged in to the meeting or telephonically by calling in as provided by the agenda and as permitted by the presiding officer during the meeting. If a member of the public is having difficulties accessing the public meeting, they can contact the city at dadair@rollingwoodtx.gov. Written questions or comments may be submitted up to two hours before the meeting. A video recording of the meeting will be made and will be posted to the City's website and available to the public in accordance with the Texas Public Information Act upon written request.

CALL BOARD OF ADJUSTMENT MEETING TO ORDER

1. Roll call

PUBLIC COMMENTS

Citizens wishing to address the Board of Adjustment for items not on the agenda will be received at this time. Please limit comments to 3 minutes. In accordance with the Open Meetings Act, the Board of Adjustment is restricted from discussing or taking action on items not listed on the agenda.

Citizens who wish to address the Board of Adjustment with regard to matters on the agenda will be received at the time the item is considered.

CONSENT AGENDA

All Consent Agenda items listed are considered to be routine by the Board of Adjustment and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a Board Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

- 2. Discussion and possible action on the minutes from the October 26, 2022 Board of Adjustment meeting

REGULAR AGENDA

- 3. Public hearing, discussion, and possible action on a request for special exception under the City's Code of Ordinances, Section 107-491(a)(2), to permit the enlargement and expansion of the nonconforming tennis courts at the Western Hills Athletic Club located at 4801 Rollingwood Drive

ADJOURNMENT OF MEETING

CERTIFICATION OF POSTING

I hereby certify that the above Notice of Meeting was posted on the bulletin board at the Rollingwood Municipal Building, in Rollingwood, Texas and to the City website at www.rollingwoodtx.gov at **5:00 p.m.** on **January 6, 2023.**

Desiree Adair
Desiree Adair, City Secretary

NOTICE -

The City of Rollingwood is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please contact the City Secretary, at (512) 327-1838 for information. Hearing-impaired or speech-disabled persons equipped with telecommunication devices for the deaf may call (512) 272-9116 or may utilize the stateside Relay Texas Program at 1-800-735-2988.

The Board of Adjustment will announce that it will go into executive session, if necessary, to deliberate any matter listed on this agenda for which an exception to open meetings requirements permits such closed deliberation, including but not limited to consultation with the city's attorney(s) pursuant to Texas Local Government Code section 551.071, as announced at the time of the closed session.

Consultation with legal counsel pursuant to section 551.071 of the Texas Local Government Code;
discussion of personnel matters pursuant to section 551.074 of the Texas Local Government Code;
real estate acquisition pursuant to section 551.072 of the Texas Local Government Code;
prospective gifts pursuant to section 551.073 of the Texas Local Government Code;
security personnel and device pursuant to section 551.076 of the Texas Local Government Code;
and/or economic development pursuant to section 551.087 of the Texas Local Government Code.
Action, if any, will be taken in open session.



CITY OF ROLLINGWOOD BOARD OF ADJUSTMENT MEETING MINUTES

Wednesday, October 26, 2022

The Board of Adjustment of the City of Rollingwood, Texas held a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on October 26, 2022. Members of the public and the Board of Adjustment were able to participate in the meeting virtually, as long as a quorum of the Board of Adjustment and the presiding officer were physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. A video recording of the meeting was made and will be posted to the City's website and available to the public in accordance with the Texas Public Information Act upon written request.

CALL BOARD OF ADJUSTMENT MEETING TO ORDER

1. Roll Call

Acting Chair Brad O'Donnell called the meeting to order at 6:04 p.m.

Present Members: Chair Brad O'Donnell, Robert Turner, Kevin Schell, Keith Martinson, and Gerald Speitel.

Also Present: City Administrator Ashley Wayman, City Attorney Megan Santee, Mayor Pro Tem Sara Hutson, Council Member Brook Brown, Council Member Phil McDuffee, Development Services Manager Nikki Dykes, and City Secretary Desiree Adair.

PUBLIC COMMENTS

There were no public comments.

CONSENT AGENDA

All Consent Agenda items listed are considered to be routine by the Board of Adjustment and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a Board Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

2. Discussion and possible action on the minutes from the May 25, 2022 Board of Adjustment meeting

Gerald Speitel moved to approve the minutes from May 25, 2022. Keith Martinson seconded the motion. The motion carried with 5 in favor and 0 against.

REGULAR AGENDA

- 3. Public hearing, discussion and possible action on a request for a special exception under the City’s Code of Ordinances, Section 107-491(a)(1), to permit the reconstruction of the nonconforming tennis courts at the Western Hills Athletic Club located at 4801 Rollingwood Drive

Chair Brad O’Donnell opened the public hearing at 6:06 p.m.

Development Services Manager Nikki Dykes presented the items in the agenda, identified the applicant, and explained the special exception requests.

Chair Brad O’Donnell asked City Attorney Megan Santee about specified portions of the Code.

Zach Elkins, 16 North Peak and on behalf of Western Hills Athletic Club, provided a presentation including a summary of proposed improvements to the tennis courts and volleyball court, the history of the club, satellite and other pictures, a discussion of pickleball / efficient use of space, and zoning constraints. He summarized the history of this request and asked for an extension of the variances previously received. He continued the presentation to show the landscaping plans, drainage plans, and positive impacts to the community.

Brian Nash, 4 Chris Cove and Western Hills Athletic Club board member, spoke regarding the differences between variance and special exception requests. Specifically, he spoke on the review in regards to impact on the welfare, safety, and health of the community. He claims that the Western Hills Athletic Club has previously received approval from 2 neighboring properties and are attempting to be cooperative with the surrounding landowners. He mentioned that there have been previous approvals by City Council for the parking plan, landscaping design, and the tree ordinance.

Chair Brad O’Donnell asked why the Western Hills Athletic Club did not rebuild the courts and move the other two courts down ten feet, and why they have not moved forward with the building. Brian Nash responded that they have spent a lot of time and money, and plans would need to be redone. Zach Elkins explained their belief of what the granted variances covered, suboptimal design, and loss of trees. Marie Timmerman, 501 Vale and former member of the Western Hills Athletic Club board, explained issues with TCEQ water quality approval.

The Board of Adjustment asked questions of the applicant including moving forward with building, variance expiration, special exceptions, and pickleball court plans.

Brian Nash explained that they consider this meeting as one item although presented in the agenda as two items.

The Board of Adjustment asked questions about the neighbor approvals and pickleball noise.

Zach Elkins discussed the difference between tennis and pickleball and addressing the noise levels with pickleball. He discussed studies and proposed doing their own noise study.

The Board members continued to discuss the noise of pickleball on the courts, and the applicant explained that the club is willing to take steps toward mitigation of the noise effects. They also discussed the limited membership of the club as well as a survey of the members.

City Attorney Megan Santee interjected with a point of order about the time of the start of the public hearing and the Chair’s ability to call up item 4 simultaneously.

Chair Brad O’ Donnell called up item 4 at this time.

David French, 308 Buckeye Trail and also on the board of the Western Hills Athletic Club, spoke in favor of the facility and the project.

Marie Timmerman, 501 Vale, discussed that there is an approved parking plan. She discussed the difference in parking issues between the swim program and tennis program. She discussed multiple meetings, multiple notices, and support from members.

Toni Hudson, 2904 Hatley Drive, described her concerns regarding noise level, drainage plans, access to the courts, and landscape plans including trees.

Tony Broglio, 2403 Vance, spoke about noise in the community and thinks this expansion will be an improvement to the club and community.

Anne Turner, 301 Almarion Drive, spoke regarding her concerns about impervious cover, the private nature of the club, membership information, and construction plans.

Duncan Ashworth, 2910 Hatley Drive, asked questions about the agenda items and which plans were being considered. Chair Brad O’Donnell explained that the Board of Adjustment will vote on each separately but that the Western Hills Athletic Club has the ability to decide how to proceed. Mr. Ashworth asked questions about impervious cover, drainage, and permission to build in the setback.

City Administrator Ashley Wayman mentioned that we received new emails from the public since the meeting has begun.

Zach Elkins discussed the benefits of tennis and the crowded aspect of nearby courts. He explained that they do not have a two court plan implied in the first item. He thinks the intent of the special exception provision applies here.

Brook Brown, 307 Nixon, discussed the application of a special exception in regards to item 3, nonconformity, and the Code. She also discussed that the applicants aren’t asking for item 3 and do not have an application for this item. She discussed her memo regarding the expansion of the courts and the Code’s limit to act on the variances previously granted. She explained that the applicant cannot ask for a variance extension in this meeting.

Brian Nash spoke regarding the petition and the special exception process, the drainage plan that was developed by a professional engineer, and claimed that it was reviewed and approved by the City’s engineer. He explained in the new plans that one of the courts would have a detention pond underneath. Mr. Nash explained openness to tree plans and noise level

mitigation. He explained that they want to make sure that this project is not a detriment to the welfare of the community.

Chair Brad O’Donnell closed the Public Hearing at 7:45 p.m.

Chair Brad O’Donnell reopened the Public Hearing at 7:46 p.m.

Chair Brad O’Donnell asked for general summaries of the public comment emails received. City Administrator Ashley Wayman read the public comments from five emails in support of the special exception request. Eitels, 2801 Vance, in support. Tom Mitchell, 2405 Vance Lane, in support. Carlos and Gilda Terado in support. Greg Demas in support.

Chair Brad O’Donnell closed the Public Hearing at 7:48 p.m.

The Board of Adjustment discussed the special exception requests, the allowance in the past of nonconforming structures, drainage, extension of nonconformance, the authority of the Board to grant special exceptions, and the best interest of the City.

Brian Nash spoke regarding Code conflicts and the potential of tabling this item.

City Attorney Megan Santee explained that tabling this item for a future meeting must be date specific.

Chair Brad O’Donnell asked if the Western Hills Athletic Club would like to request more time.

City Attorney Megan Santee explained that if the board would like to postpone, they shall provide a date specific meeting. City Administrator Ashley Wayman explained that there would have to be a time specific and date certain meeting set to determine a quorum for that day.

Brook Brown explained the process of new evidence to be presented by the applicant and the opportunity for public review and comment.

City Attorney Megan Santee explained that the board may defer if it concludes additional evidence is needed, alternative solutions require further examination, or the evidence presented requires further review.

Chair Brad O’Donnell moved to approve agenda item 3 based on Section 107 – 491 of the City Code: (1) the Board of Adjustment is empowered under Chapter 107 of the City’s Code of Ordinances to grant the special exception, (2) the public convenience and welfare will not be substantially or permanently injured in the granting of the special exception, and finally (3) the granting of the special exception will not adversely affect the public health, convenience, safety, or general welfare, with a time frame for 180 days to submit an application for permit and be willing to add on other special exceptions as they are presented. Gerald Speitel seconded the motion. Roll call vote:

- Robert Turner Yes**
- Kevin Schell Yes**
- Keith Martinson Yes**
- Gerald Speitel Yes**
- Brad O’Donnell Yes**

The motion carried with 5 in favor and 0 against.

- 4. Public hearing, discussion and possible action on a request for special exception under the City's Code of Ordinances, Section 107-491(a)(2), to permit the enlargement and expansion of the nonconforming tennis courts at the Western Hills Athletic Club located at 4801 Rollingwood Drive

This item was called up with item 3.

Chair Brad O'Donnell moved to table agenda item 4 to be heard again within 90 days. Robert Turner seconded the motion.

Robert Turner	Yes
Kevin Schell	Yes
Keith Martinson	Yes
Gerald Speitel	Yes
Brad O'Donnell	Yes

The motion carried with 5 in favor and 0 against.

City Attorney Megan Santee explained that we will coordinate and review the rules of the board to determine whether or not an additional public hearing is required based on the rules that allow the Board of Adjustment to postpone a decision to receive additional evidence, and if it's necessary, then we will coordinate with staff and make sure everything gets done in compliance for that board meeting.

ADJOURNMENT OF MEETING

Chair Brad O'Donnell adjourned the meeting at 8:24 p.m.

Minutes Adopted on the _____ day of _____, 2022.

Brad O'Donnell, Chair

ATTEST:

Desiree Adair, City Secretary



Date: November 23, 2022

Allegra Feito
President, Western Hills Athletic Club
4801 Rollingwood Drive
Rollingwood, Texas 78746

RE: Western Hills Athletic Club Board of Adjustment Public Hearing Continuation

Dear President, Board of Directors of the Western Hills Athletic Club,

The City of Rollingwood Board of Adjustment will meet on Wednesday, January 11, 2023, at 6:00 P.M. for the continuation of the public hearing on the following requested item:

Public hearing, discussion, and possible action on a request for special exception under the City's Code of Ordinances, Section 107-491(a)(2), to permit the enlargement and expansion of the nonconforming tennis courts at the Western Hills Athletic Club located at 4801 Rollingwood Drive

Please submit all supporting information, documents, and presentations that you would like the Board of Adjustment to consider as evidence in this public hearing to developmentsservices@rollingwoodtx.gov by 5:00 p.m. on Tuesday, January 3, 2023. Any documentation submitted after this date will not be included in the Board packet, but rather will only be presented at the hearing on Wednesday, January 11.

Written citizen comments regarding this public hearing must be submitted to City Secretary Desiree Adair via email at dadair@rollingwoodtx.gov by Friday, January 6, 2023 in order for comments to be considered by the Board of Adjustment.

Sincerely,

Nikki Dykes
Development Services Manager



THE CITY OF ROLLINGWOOD
Phone +1 (512) 327-1838
403 Nixon Dr, Rollingwood, TX 78746-5512
www.rollingwoodtx.gov

OFFICIAL NOTICE OF PUBLIC HEARING

The City of Rollingwood Board of Adjustment will hold a public hearing continuation in the Council Chambers at Rollingwood City Hall 403 Nixon Drive, Rollingwood, Texas 78746, or you may join the meeting virtually.

Written citizen comments must be submitted to the City Secretary, Desiree Adair, at dadair@rollingwoodtx.gov by Friday, January 6, 2023, in order for comments to be considered by the Board of Adjustment.

For more information contact developmentservices@rollingwoodtx.gov

BOARD OF ADJUSTMENT MEETING

WEDNESDAY,
JANUARY 11, 2023
AT 6:00 PM

PUBLIC HEARING CONTINUATION ITEM

Public hearing, discussion, and possible action on a request for special exception under the City's Code of Ordinances, Section 107-491(a)(2), to permit the enlargement and expansion of the nonconforming tennis courts at the Western Hills Athletic Club (WHAC) located at 4801 Rollingwood Drive

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Western Hills Athletic Club Site Improvements

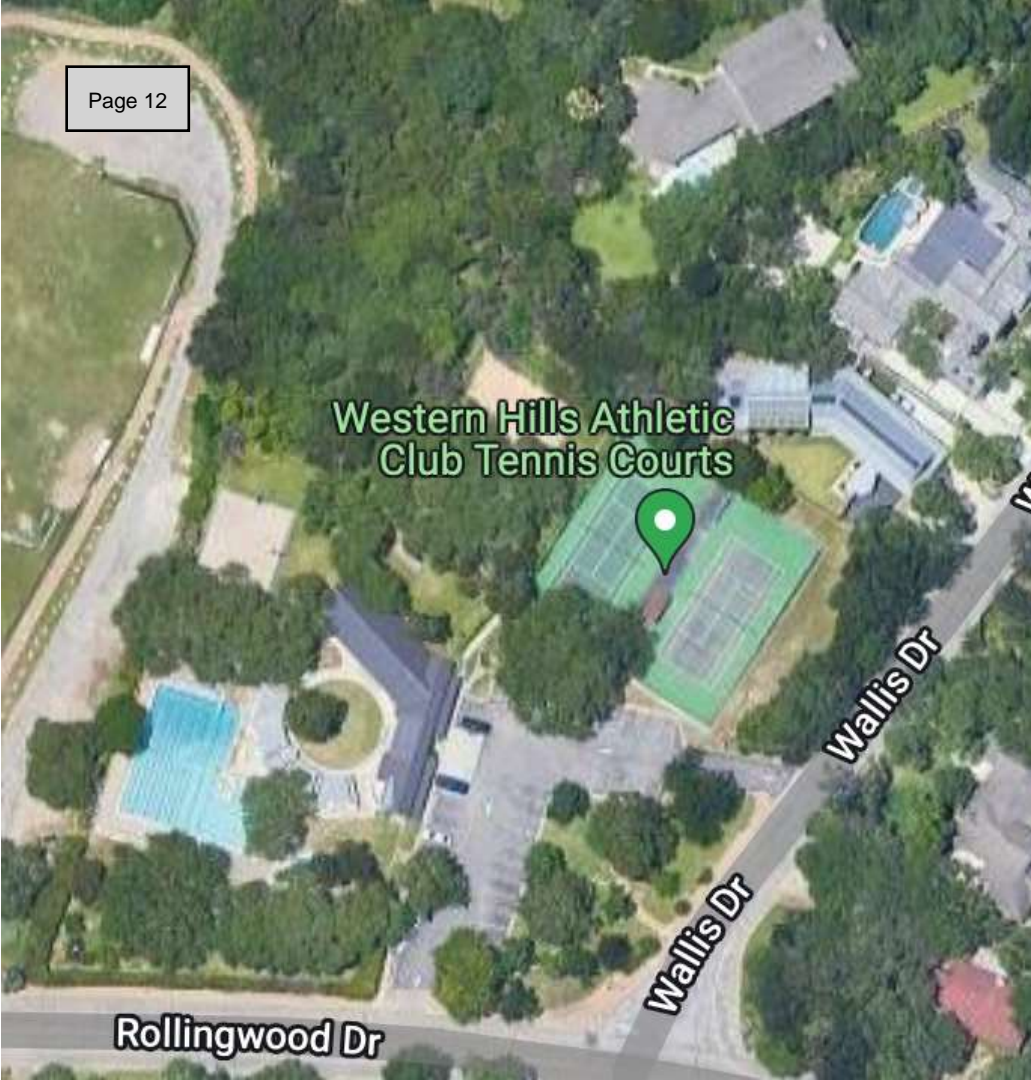
**A proposal before the Board of Adjustments,
City of Rollingwood**

January 11, 2023



Summary of Proposed Improvements

- (1) Reconstruct tennis courts;
- (2) Replace volleyball court with new pickleball/tennis courts;
- (3) Improve drainage;
- (4) Improve landscaping
- (5) Decrease non-conformity with code

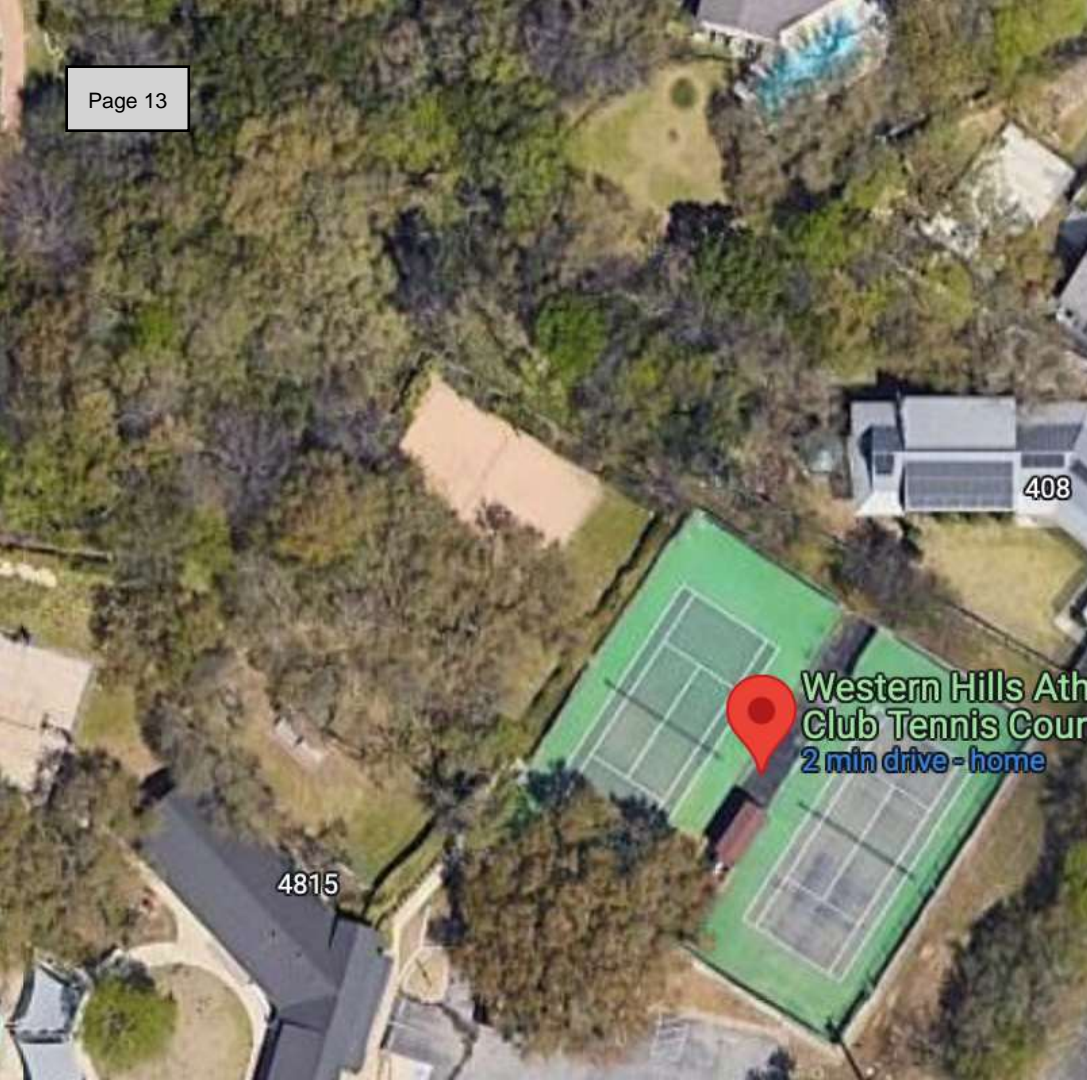


WHAC

1968: Club founded

1976: Tennis court built

1984: Volleyball court
built



Closer view of the tennis and volleyball courts



Lower court damage: multiple cracks (some dangerous), worn surface



Upper Court Damage: weakened foundation, dead spots, worn surface



Chain link fence: rusted, leaning, and missing rails and other parts



Asphalt berm between lower and upper courts: wider than needed barrier; unsightly. Replacing it with wall decreases material costs and impervious cover.



Reconstruction of the volleyball area...

volleyball v. Pickleball/tennis

- Volleyball court seldom used
- Pickleball growing rapidly, across various ages and physical abilities
- “8 to 80” design
- A hybrid pickleball/tennis court more flexible use of space and activities



A private court on Hatley Dr, striped for both sports

Pickleball/Tennis Activities



Members

- **Clinics, camps, and lessons** (Youth and adult tennis)
- **Social Round Robins** (Adult tennis and pickleball)
- **Non-programmed** family and member play

Members and Guests

- **Leagues** (Youth tennis; Adult tennis and pickleball)
- **City/Club Tournaments** (pickleball and tennis)

Pickleball Noise Tests and Accommodations



1. Pickleball experiments at WHAC.
 - a. Regular play on both the sport court and the tennis courts since October 2022
 - b. Interviews with neighbors suggest no impact on noise disturbances
2. Evaluation of the impact of other installations
 - a. Interviews with Hatley neighborhood indicate concern
3. Accommodations
 - a. Restrict pickleball before 9AM
 - b. Consider restricting equipment to “Sun City” equipment subject to neighbors’ requests
4. Existing restrictions
 - a. Noise levels not to exceed those capped by city ordinances


Member and Community Outreach

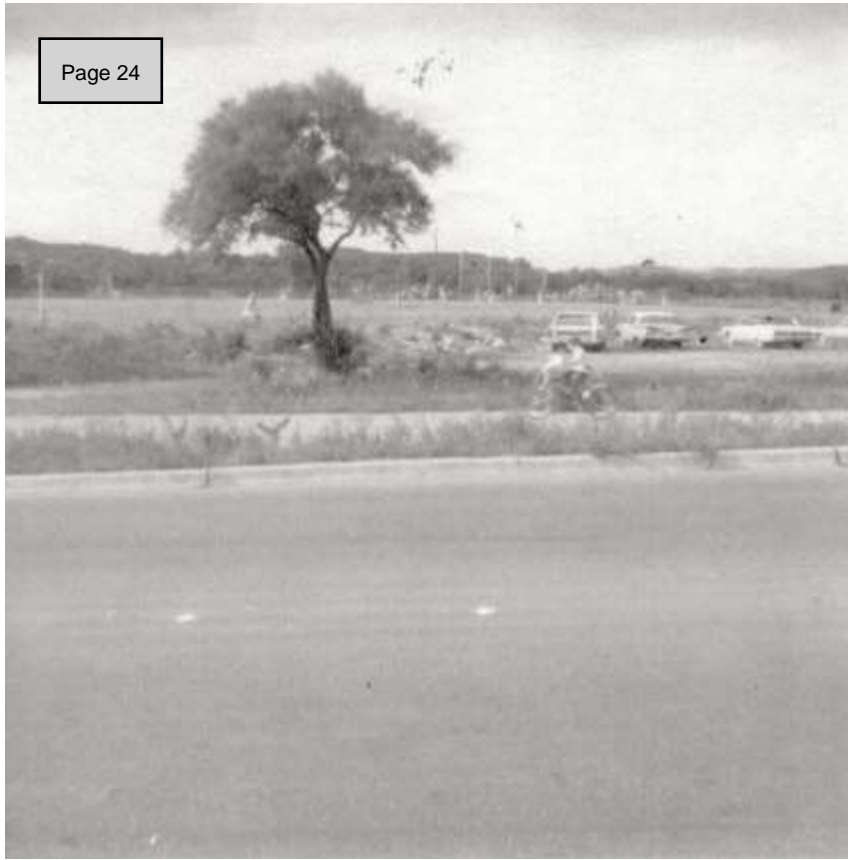


Interviews with

1. Members
2. Non-member residents
3. WHAC Neighbors
4. Hatley neighborhood

Zoning Constraints

- (1) **Sec. 107-242.** 30 ft greenbelt zone required between park and residential lots. **Variance Granted**
 - (2) **Sec. 107-35.** Tennis courts may not be built between the setback line and the lot line. **Variance Granted**
 - (3) **Sec. 107-422.** May not extend any non-conformity. **Variance not granted.**
- 



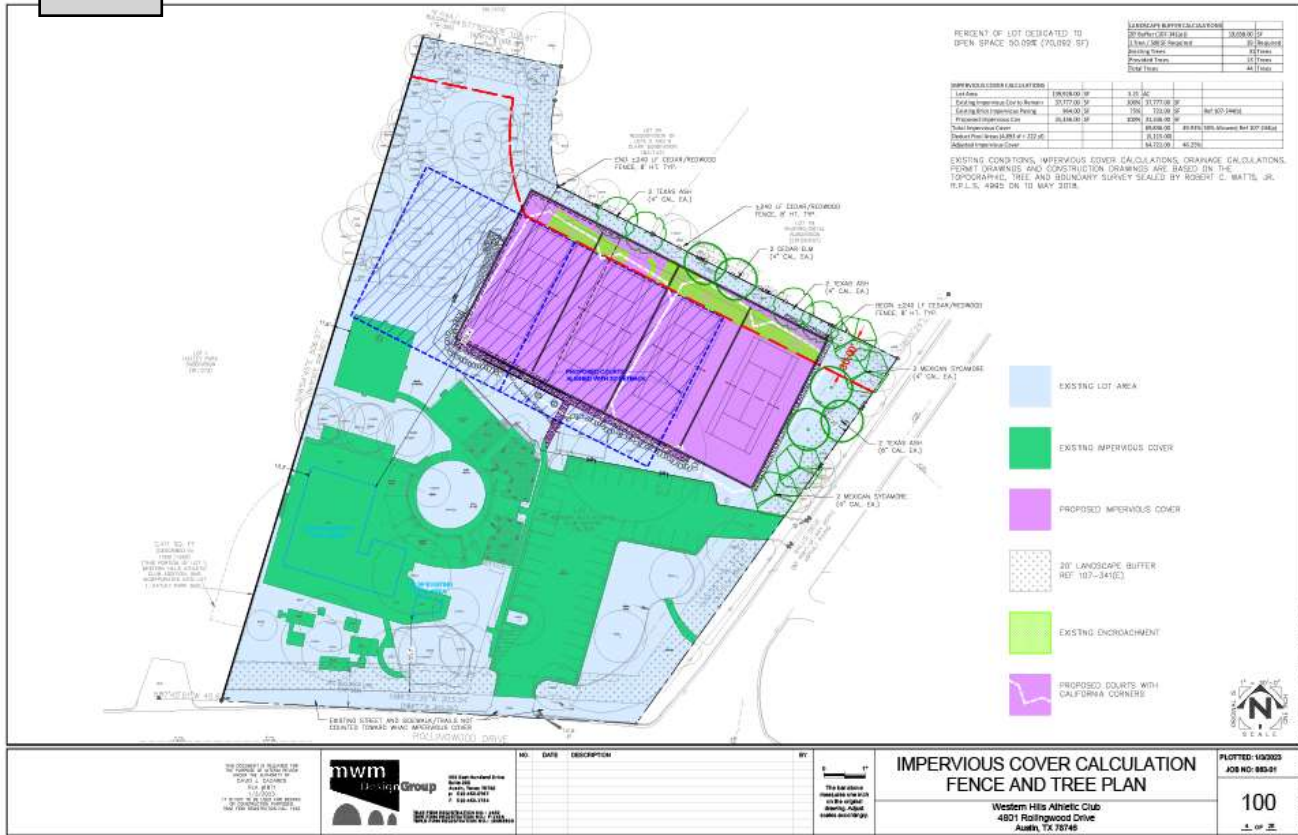
Hatley Fields, 1970 (two years after WHAC founding)



The originally proposed design (purple) increases the encroachment into the setback.

An alternative design (blue) compromises trees and other structures

Both plans are suboptimal



Revised Proposal (white)

1. Adds California corners
2. Repositions courts over existing courts
3. Offsets additional courts out of setback
4. **Reduces** encroachment into the setback compared to existing plan by 416 sqft (approximately 20%)
5. Proposal **decreases** WHAC nonconformity

<p>100 COUNTY LA. RESOLVE 100 APPROVED BY RESOLUTION 2018-11-14 11:30 AM 11/14/2018 11/14/2018</p>		<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY					<p>IMPERVIOUS COVER CALCULATION FENCE AND TREE PLAN</p> <p>Western Hills Athletic Club 4801 Rollingwood Drive Aubrey, TX 75748</p>	<p>PLOTTED: 10/20/20 JOB NO: 085-01 100 1 OF 28</p>
NO.	DATE	DESCRIPTION	BY									

Design Enhancements

1. California Corners
2. Timber posts
3. Dense landscaping





The design preserves a magnificent oak to grace the new courts' entrance

07-491. Special Exceptions

(a) The board may, in a specific case, where the board makes the findings required under subsection (c) herein, grant the following special exceptions from the requirements of this division:

Overview

Trend analysis

Deliverables

- (1) Permit the **reconstruction of a nonconforming building or structure that has been damaged** by fire or other cause;
- (2) Permit the **enlargement or extension of a nonconforming use** or nonconforming building upon the lot occupied by such use or building at the time of the passage of this division;

(c) Prior to granting a special exception, the board shall make a finding that it is empowered under this chapter to grant the special exception, that the **public convenience and welfare** will not be substantially or permanently injured in the granting of the special exception, and that the grant of the special exception will not adversely affect the **public health, convenience, safety or general welfare**.

Expected Impact on “**health, convenience, and welfare**”

The site improvements...

1. Include senior residents/connect **generations**
2. Increase **social capital**
3. Enhance **beauty** of property and neighborhood
4. Increase **recreational** opportunities
5. Increase **value** and **reputation** of the City of Rollingwood
6. Improve **landscaping** and long-term tree population
7. Improve **drainage**
8. Restore an important **local landmark**
9. **Decrease non-conformity with city code**

AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: October 26, 2022

Submitted By:

Staff

Agenda Item(s):

3. Public hearing, discussion and possible action on a request for a special exception under the City's Code of Ordinances, Section 107-491(a)(1), to permit the reconstruction of the nonconforming tennis courts at the Western Hills Athletic Club located at 4801 Rollingwood Drive

4. Public hearing, discussion and possible action on a request for special exception under the City's Code of Ordinances, Section 107-491(a)(2), to permit the enlargement and expansion of the nonconforming tennis courts at the Western Hills Athletic Club located at 4801 Rollingwood Drive

Description:

Western Hills Athletic Club (WHAC) is requesting special exceptions under the City's Code of Ordinances Section 107-491(a)(1) and (a)(2) in order to repair and expand the existing nonconforming tennis courts. The tennis court surface and fencing are damaged from years of weather and tree root expansion. Additionally, WHAC would like to expand the tennis courts to add two additional courts (for a total of 4 courts), in order to accommodate a demand for both tennis and pickleball activities.

The existing two tennis courts were constructed before the current regulations were in place and are considered existing nonconforming. Specifically, the existing tennis courts do not meet the current requirements in the City's Code of Ordinances: Sections 107-35 and 107-242:

- Sec.107-35(d) – Which does not allow a tennis court to be constructed in the area between the building setback line and the lot line.
- Sec.107-242(1) – Which requires a 30-foot greenbelt zone between the northern property line and the tennis courts.

The Board of Adjustment is authorized under Sec. 107-491 to grant certain special exceptions identified in subsection (a) when the Board finds that it is empowered under this chapter to grant the special exception, that the public convenience and welfare will not be substantially or permanently injured in the granting of the special exception, and that the grant of the special exception will not adversely affect the public health, convenience, safety or general welfare.

The applicant has submitted information (attached to this item summary) identifying the proposed improvements and providing justification for granting the special exceptions.

Criteria for Consideration:

In considering action on the special exception request, the Board should consider the criteria within Code of Ordinances Sec.107-491(c):

(c) Prior to granting a special exception, the board shall make a finding that it is empowered under this chapter to grant the special exception, that the public convenience and welfare will not be substantially or permanently injured in the granting of the special exception, and that the grant of the special exception will not adversely affect the public health, convenience, safety or general welfare.

When taking action on this request, the Board may deny, approve or approve with conditions the special exception. In granting a special exception, the board may prescribe appropriate conditions and safeguards. The Board shall prescribe a time limit within which the action for which the special exception is required shall be begun or completed, or both. Failure to comply with the time limits set by the board shall void the special exception.

Action Requested:

The Applicant is seeking approval of the requested special exceptions.

Fiscal Impacts:

No significant fiscal impact anticipated at this time

Attachments:

- Special Exception Application
- WHAC Tennis BOA Slides
- WHAC Plans
- BOA Finding of Fact Form

Allegra Feito
Board President
Western Hills Athletic Club
4801 Rollingwood Drive
Rollingwood, TX 78746

August 11, 2022

Chair, Board of Adjustment
City of Rollingwood
403 Nixon Drive
Rollingwood, TX 78746

Dear Chairperson:

Please find attached an application form for a “special exception” (107-491) to accommodate the repair and expansion of the tennis courts at the Western Hills Athletic Club (Rollingwood Pool). The city’s third-party planning official (Brandon Melland) has advised us that the Special Exception route is the appropriate avenue for the consideration of projects such as ours, which involve a structure originally built in conformity with zoning codes, but which do not currently conform with subsequently enacted code.

For background, please note that this same project was considered for three variances in 2021. In a first hearing, the board voted to grant all three requested variances for the project. In a second hearing – re-heard due to incomplete noticing by the city – the board granted two of three variances. In the process of resubmitting our proposal for reconsideration, we were advised by Brandon Melland that the appropriate route for projects such as ours is through a Special Exception rather through a variance. However, note that the submitted project is identical to that submitted under the previous variance consideration, and has thus undergone an extra set of approvals associated with the variance process. We are now submitting the project according to the appropriate procedure.

According to our interpretation, and that of the city planner, we see our project as meeting the criteria for Special Exceptions (section 107-491) as follows:

Appropriateness for a Special Exception

Section (a) of the code identifies property that meets the criteria for a special exception. It refers not only to the reconstruction of a non-conforming structure (a.1), but also to an extension of a non-conforming structure. Specifically, criterion (a.2) permits the “enlargement or extension of a nonconforming use or nonconforming building upon the lot occupied by such use or building at the time of the passage of this division;”

Public Convenience and Welfare Considerations

Section [c] of the code restricts consideration of requests to those for which “the public convenience and welfare will not be substantially or permanently injured in the granting of the special exception, and that the grant of the special exception will not adversely affect the public health, convenience, safety, or general welfare.”

We submit that the project fits these requirements well:

1. In repairing the courts, the project enhances the beauty, usability, and value of the property for the club, neighborhood, and city;
2. The benefits are intended not for a particular homeowner, but for the community. The WHAC is a significant resource for city residents and those who seek to become residents;
3. The extension of the courts increases the “public health, convenience,...and general welfare” of the community by fixing damaged property and providing recreational opportunities. The project therefore enhances the general health and culture of the community;
4. The extension of the courts represents an extension of a comparably modest structure, in that it does not involve the building of any vertical structures, except for court fencing;
5. The adjacent residential neighbors have all indicated their written approval of the plan, which was an unusual condition placed on the project at the first variance hearing;
6. According to the project’s engineer, the drainage infrastructure changes not only mitigate any increased water runoff, but also mark an improvement in drainage over the status quo;
7. The landscape plan commits the WHAC to the planting of a significant number of native trees in appropriate locations, which will be more in keeping with the use of the property and, in time, will offset the loss of existing trees and improve the ecology and beauty of the property.

Plans for this project have been posted on the WHAC website and distributed to club members and members of the public for approximately four years. WHAC board members – community residents themselves – remain open to hearing and deliberating any concerns of residents. We look forward to your consideration of the project. If we can provide further information, please do not hesitate to contact me.

Sincerely,

Allegra Feito

Allegra Feito
WHAC Board President



VARIANCE & SPECIAL EXCEPTION REQUEST APPLICATION

Request Type (please check one) Variance Special Exception

Property Address 4801 Rollingwood Drive Zoning

Legal Description: Lot^X Block Subdivision

Owner of Structure

Address 4801 Rollingwood Drive City/State/Zip Rollingwood, TX 78746

Telephone Cell (214)394-9181 Email allegra.feito@gmail.com

Owner of Ground if different from above

Address N/A City/State/Zip

Telephone Cell Email

Authorized Agent if applicable

Address N/A City/State/Zip

Telephone Cell Email

Explain request:

We request permission to repair and expand the tennis courts at Western Hills Athletic Club (Rollingwood Pool). The court surface and fencing are badly damaged from years of weather and tree root expansion. We seek to expand the courts in order to accommodate demand for both tennis and pickleball activities. The objective of the project is to enhance the use and beauty of the property for the club, the neighborhood, and the city. A comprehensive landscape and drainage plan will also redesign the property in ways that will be more sustainable and ecological.



Cite ordinance applicable to request:

107-491 (Special Exceptions)

**** A letter addressed to the Board of Adjustment Chair, signed by the property owner and explain the variance or special exception request and addressing all criteria contained in the City's ordinance (Sec.107-491 or Sec.107-492) is required (see Application Checklist)****

OWNER CERTIFICATION

Application is hereby made to the City of Rollingwood Board of Adjustment to request a variance or special exception as outlined above, and as contained in attachments to this application, and to request public hearing on this variance request at 403 Nixon Drive in Rollingwood, TX, on the date as set by the Board.

I agree to attend such hearing to represent this variance or special exception request and respond to the Board's questions or requests for additional information and documentation. If I am not able to attend the hearing, I will appoint an agent to represent me at the hearing and will submit to the City prior to the hearing written authorization for that agent.

I certify that this requested variance or special exception is in full conformity with and not contrary to any deed restrictions associated with my property listed herein. I DO SOLEMNLY SWEAR that to the best of my knowledge the above statements concerning this application are true and correct, and the undersigned has reviewed, understands and approves the request as stated.

Allegra Feito

(Signature)

Allegra Feito

(Printed Name)

Date August 10, 2022

Telephone (214)394-9181

Email allegra.feito@gmail.com



ADDRESS 4801 Rollingwood Drive DATE RECEIVED _____

APPLICATION CHECKLIST

- Variances: A letter addressed to the Board of Adjustment Chair, signed by the property owner and requesting the desired variance in the City’s Ordinances and addressing all criteria contained in the attached ordinance, specifically 107-492 Variances.
- Special Exceptions: A letter addressed to the Board of Adjustment Chair, signed by the property owner and requesting the desired special exception in the City’s Ordinances and addressing all criteria contained in the attached ordinance, specifically 107-491 Special Exceptions.
- Completed and signed Variance & Special Exception Request Application
- Survey with Metes & Bounds Description if property is not platted
- Deed and deed restrictions
- Agent authorization letter if applicable
- 11” by 17” Site Plan drawn to scale showing existing and proposed improvements
- Digital copy in .pdf format of entire application submission (application, checklist, exhibits, etc.) via email

107-491 Special Exceptions

(a) The board may, in a specific case, where the board makes the findings required under subsection (c) herein, grant the following special exceptions from the requirements of this division:

- (1) Permit the reconstruction of a nonconforming building or structure that has been damaged by fire or other cause;
- (2) Permit the enlargement or extension of a nonconforming use or nonconforming building upon the lot occupied by such use or building at the time of the passage of this division;
- (3) In undeveloped sections of the city, grant temporary and conditional permits for not more than two years, provided that the grant of a temporary or conditional permit shall not be reason or cause for extension of such permit;
- (4) Permit such modifications of yard, open space, lot area, or lot width regulations as may be necessary to improve a parcel of land, if the parcel is of such restricted size that it cannot be appropriately improved without such modification; or



(5) Permit a public utility or public service building of a ground area or height at variance with those provided for the district in which such public utility or public service building is permitted to be located, when found reasonably necessary for the public health, convenience, safety or general welfare.

(b) The board may grant such other special exceptions as may be provided for elsewhere in this division, subject to the terms and conditions therein set out.

(c) Prior to granting a special exception, the board shall make a finding that it is empowered under this chapter to grant the special exception, that the public convenience and welfare will not be substantially or permanently injured in the granting of the special exception, and that the grant of the special exception will

not adversely affect the public health, convenience, safety or general welfare.

(d) In granting a special exception, the board may prescribe appropriate conditions and safeguards in conformity with this division.

(e) The board shall prescribe a time limit within which the action for which the special exception is required shall be begun or completed, or both. Failure to comply with the time limits set by the board shall void the special exception.

(Ord. No. [2022-01-19-03](#), § 2(Exh. A), 1-19-2022)

107-492 Variances

a) The board may authorize upon appeal, in specific cases, such variances from the terms of this chapter, where the board finds that the variance 1) will not be contrary to the public interest, 2) where, owing to special conditions, literal enforcement of the provisions of this chapter will result in unnecessary hardship, and 3) the spirit of this chapter will be observed and substantial justice done.

(b) Prior to granting a variance in a zoning district other than a residential district, the board must find, in concert with the findings required in subsection (a), that:

(1) The variance is the minimum variance necessary to alleviate the unnecessary hardship;

(2) Granting the variance will be in harmony with the general purpose and intent of this chapter and will not be injurious to adjoining properties or the neighborhood, or be otherwise detrimental to the public welfare;

(3) The special conditions with respect to which a variance is sought are not the result of an action of the applicant;

(4) If applicable, there is sufficient water and wastewater capacity and fire service available to serve the applicant's land as developed under the variance without detriment to the other property within the city; and

(5) Granting the variance will not merely serve as a convenience to the applicant but will alleviate some demonstrable and unnecessary hardship which is created by the literal enforcement of the provisions of this chapter.



(c) Prior to granting a variance in a residential district, in concert with the findings required in subsection (a), the board must find that:

- (1) A special individual reason makes the literal enforcement of this chapter result in an unnecessary hardship;
- (2) Granting the variance will be in harmony with the general purpose and intent of this chapter and will not be injurious to adjoining properties or the neighborhood, or be otherwise detrimental to the public welfare;
- (3) The granting of the variance will not be detrimental to the public health, safety, or welfare or injurious to the property in the area;
- (4) There are special circumstances or conditions such as topography, natural obstructions, aesthetic or environmental considerations affecting the land involved such that the strict application of the provisions of this chapter would impose an unnecessary hardship which is created by the literal enforcement of the provisions of this chapter;
- (5) The granting of the variance will not have the effect of preventing the orderly development of other land in the area in accordance with the provisions of this chapter;
- (6) If applicable, there is sufficient water and wastewater capacity and fire service available to serve the applicant's land as developed under the variance without detriment to the other property within the city; and
- (7) The circumstances or conditions from which relief is sought are not solely of an economic nature.

(d) In granting a variance, the board may prescribe appropriate conditions and safeguards in conformity with this chapter.

(e) In considering a variance as applied to a structure, the board may, in addition to other relevant considerations, consider the following as grounds to determine whether an unnecessary hardship would result from compliance with the ordinance:

- (1) The financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under V.T.C.A., Tax Code, § 26.01;
- (2) Compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur;
- (3) Compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement;
- (4) Compliance would result in the unreasonable encroachment on an adjacent property or easement; or
- (5) The municipality considers the structure to be a nonconforming structure.

(Ord. No. [2022-01-19-03](#), § 2(Exh. A), 1-19-2022)



APPLICATION FILING INSTRUCTIONS

Submit the application, supporting documents detailed in the checklist and filing fee. The City of Rollingwood will invoice the applicant upon receipt of the application. Filings are not considered administratively complete until payment has been received. The City shall accept checks or payments by credit card.

Application Fee - \$300.00

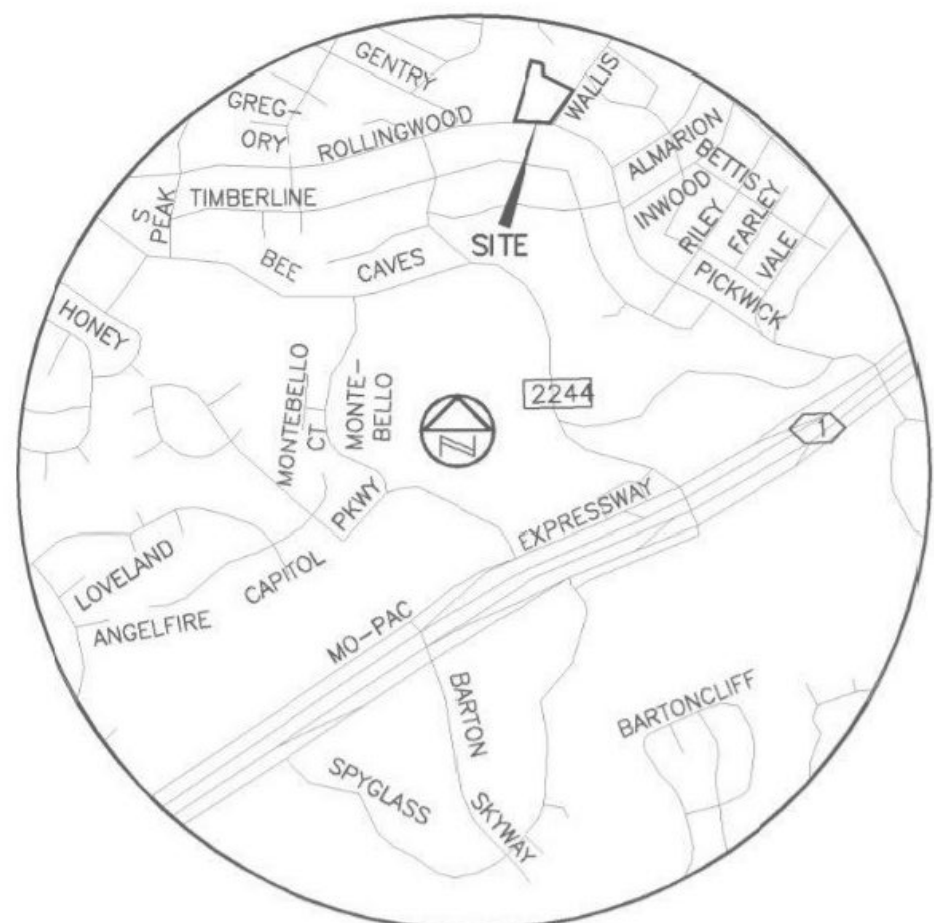
Date: _____

Check #: _____

Digital Inv #: _____

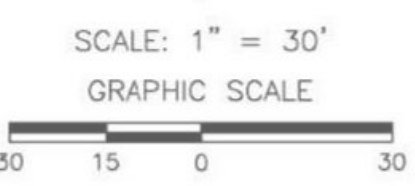
Deliver application packet to:

THE CITY OF ROLLINGWOOD
Development Services
 Phone +1 (512) 327-1838
 403 Nixon Dr. Rollingwood, TX 78746-5512
 www.rollingwoodtx.gov
 Email: developmentservices@rollingwoodtx.gov



A SURVEY OF ALL OF LOT 1, WESTERN HILLS ATHLETIC CLUB ADDITION, A SUBDIVISION OF RECORD IN TRAVIS COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 79, PAGE 355 OF THE THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAVE AND EXCEPT A 2,411 SQUARE FEET TRACT DESCRIBED IN VOLUME 11901, PAGE 1260 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

LOCATION MAP NOT TO SCALE



TREE LIST

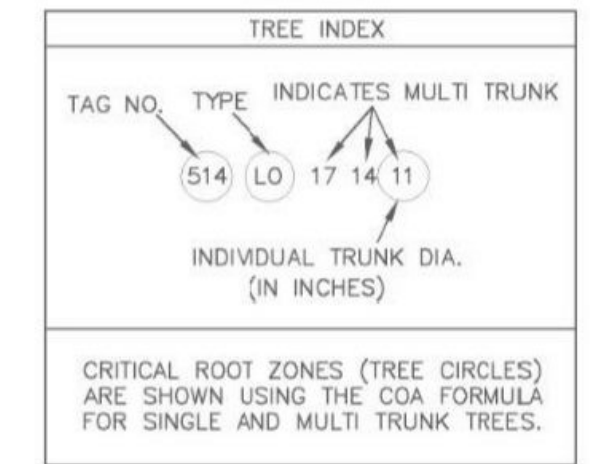
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16902 CE 6 4	20028 CE 9	20056 CDR 13	20083 LO 17	20119 CDR 7	20145 LO 13
16903 LO 9	20029 CB 14	20057 LO 16 12	20084 LO 12	20120 CDR 9	20146 CDR 10
16904 LO 7	20030 CB 14	20058 CDR 14	20086 LO 12	20121 LO 7	20147 LO 6
16905 LO 9	20032 HB 13	20059 LO 13	20088 LO 14	20122 CDR 6	20148 LO 18 13
16906 LO 8	20033 CB 9	20060 CDR 7	20089 LO 11	20123 CDR 8	20149 CE 10 5
16907 CE 7 4	20034 CB 11 7 5	20061 CE 6	20090 LO 16	20124 CDR 6	20150 CE 14
16908 LO 13	20035 CB 7	20062 CDR 8	20093 LO 18	20125 LO 13	20151 CB 10
16909 LO 7	20036 CB 8	20063 LO 17	20094 LO 9	20126 LO 9	20152 CB 13
16910 CB 9	20038 CB 15	20064 CDR 10	20095 LO 10	20127 LO 8	20155 LIG 9 6 6
16911 CB 7	20039 CDR 10	20065 PO 19 16	20096 LO 11	20128 CDR 6	20158 CB 8
16912 LIG 8 6	20040 CE 8	20066 CDR 6 9	20097 LO 10 9	20129 CDR 12	20159 CB 20
16913 BE 8	20041 CE 13	20067 LO 7	20098 LO 12	20130 CDR 7	20160 CE 10
16914 BE 6	20042 CE 12	20068 LO 10	20099 LO 15	20131 CDR 7	20161 CE 9 8
16915 BE 6	20043 CE 10 8	20069 LO 11 8	20100 LO 12	20132 CDR 7	20162 LO 20
16916 WLNT 7	20044 LO 10	20070 CDR 7	20101 LO 13	20133 CE 9	20163 CE 11
16917 WLNT 6	20045 LO 8	20071 CE 6	20102 LO 19 17	20134 CE 10	20164 LO 22
16918 WLNT 6	20046 LO 13	20072 CB 7	20103 LO 20	20135 LO 13 10	20165 LO 22
20021 LO 19	20047 LO 12	20073 LO 15	20105 CE 15	20136 HB 6	20166 LO 21
20017 CE 18	20048 LO 13	20074 LO 15	20106 LO 18	20137 CDR 6	20167 LO 18
20018 LO 20	20049 HB 8	20076 LO 15	20107 LO 12	20138 CE 8	20168 LO 24
20023 PEC 17	20050 CE 10	20077 LO 17	20108 LO 7	20139 CDR 8	20169 LO 19
20024 LO 18	20051 LO 11	20078 LO 17	20109 LO 12	20140 HB 9	20170 CE 17
20025 LO 13	20052 LO 12	20079 LO 19	20114 CE 9	20141 PEC 11	20171 LO 19 19
20026 LO 8 5	20053 LO 10	20080 LO 18	20115 CDR 10	20142 PEC 10	20173 CE 14
	20054 LO 17 16	20081 LO 11	20117 LO 9	20143 CDR 6	

BENCHMARK NOTE:
 B.M. #1 - SQUARE CUT ON B.O.C., NORTH SIDE OF ROLLINGWOOD DR. +/-105 FEET WEST OF WALLIS DR. ELEV.=628.77'
 B.M. #3 - SQUARE CUT ON B.O.C. ON THE WEST SIDE OF WALLIS DR. +/-190 FEET NORTH OF ROLLINGWOOD DR. ELEV.=631.07'

MANHOLE AND INLET NOTE:
 THIS SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS. EXACT MEASUREMENTS AND DEPTHS PARTICULARLY IN CRITICAL AREAS, SHOULD BE VERIFIED WITH UTILITY RECORD MAPS AND/OR FIELD VERIFICATION PRIOR TO FINAL PLANNING OR CONSTRUCTION.

TREE LEGEND

BE	-	BOX ELDER	LIG	-	LIGUSTRUM
CB	-	CHINA BERRY	LO	-	LIVE OAK
CDR	-	CEDAR	PEC	-	PECAN
CE	-	CEDAR ELM	WLNT	-	WALNUT
HB	-	HACKBERRY			



LEGEND

- 1/2" REBAR FOUND
- ▲ CALCULATED POINT
- ⊙ 3/4" IRON PIPE FOUND
- ▲ NAIL FOUND
- * COTTON SPINDLE FOUND
- ⊙ BENCHMARK LOCATION
- ⊠ WATER METER
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊙ SPRINKLER CONTROL VALVE
- ⊘ UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITIES
- ⊙ LIGHT POLE
- ⊙ WASTEWATER CLEANOUT
- ⊙ WASTEWATER MANHOLE
- ⊙ STORMSEWER MANHOLE
- ⊙ HANDICAP PARKING SPACE
- ⊙ AC PAD
- ⊙ GAS UTILITY
- ⊙ ELECTRIC UTILITY
- SIGN
- EDGE OF PAVEMENT
- WROUGHT IRON FENCE
- CHAIN LINK FENCE
- ⊙ PUMP BOX
- ⊙ PUMP

FLOOD-PLAIN NOTE:
 The tract shown hereon lies within Zone "X" (areas determined to be outside 500-year flood-plain), as identified by the Federal Emergency Management Agency, Federal Insurance Administration, as shown on map no. 484500045A, dated January 08, 2016, for Travis County, Texas and incorporated areas. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This flood statement shall not create liability on the part of the surveyor.

TITLE COMMITMENT NOTE:
 This Survey was prepared without the benefit of a Commitment for Title, and may be subject to additional easements or restrictions not shown hereon. No additional easement research was done for the purpose of this survey.

NOTE FROM PREVIOUS SURVEY (9/26/07):
 The Travis CAD map 01_0909 (01/04/2006) shows what appears to be additional R.O.W. for Rollingwood Drive and Wallis Drive. There was no monumented evidence in the field of a R.O.W. dedication along the north line of Rollingwood Drive. After researching Travis CAD and the Travis County Clerk records, we were not able to locate any documents reflecting additional street frontage conveyed to the City of Rollingwood. Since no title research was provided by the client, there was not enough data to accurately determine the position of the intersection of the north R.O.W. of Rollingwood Drive and the west R.O.W. of Wallis Drive, so the position is represented on the map by a calculated point for the purposes of this survey.

SURVEYOR'S CERTIFICATE:
 CERTIFIED TO:
 Julie Martinez
 Western Hills Athletic Club

PROPERTY ADDRESS: Rollingwood Drive @ Wallis Drive

DATE OF SURVEY: 09/26/07; Topographic and Tree Survey Updated 09/20/17, Updated 4/27/18

BEARING BASIS: Grid azimuth for Texas Central Zone state plane coordinates, based on GPS solutions from The National Geodetic Survey (NGS) On-line Positioning User Service (OPUS).

ATTACHMENTS: none

I hereby certify that a survey of the property shown hereon was actually made upon the ground under my direction and supervision on the date shown, and that to the best of my professional knowledge and belief there are no apparent encroachments, overlapping of improvements, discrepancies, deed line conflicts, visible utility lines or roads in place, except as shown hereon, and that this property abuts or adjoins a dedicated road right-of-way or access easement, unless noted hereon.

Robert C. Watts, Jr. Date
 Registered Professional Land Surveyor
 State of Texas No. 4995

lucy
 5.10.18

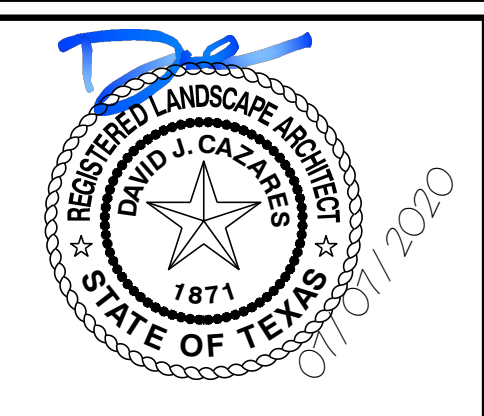
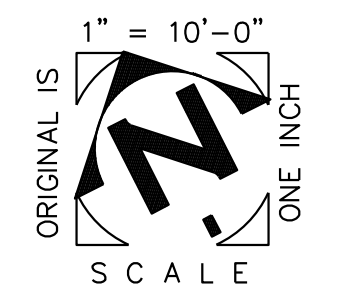
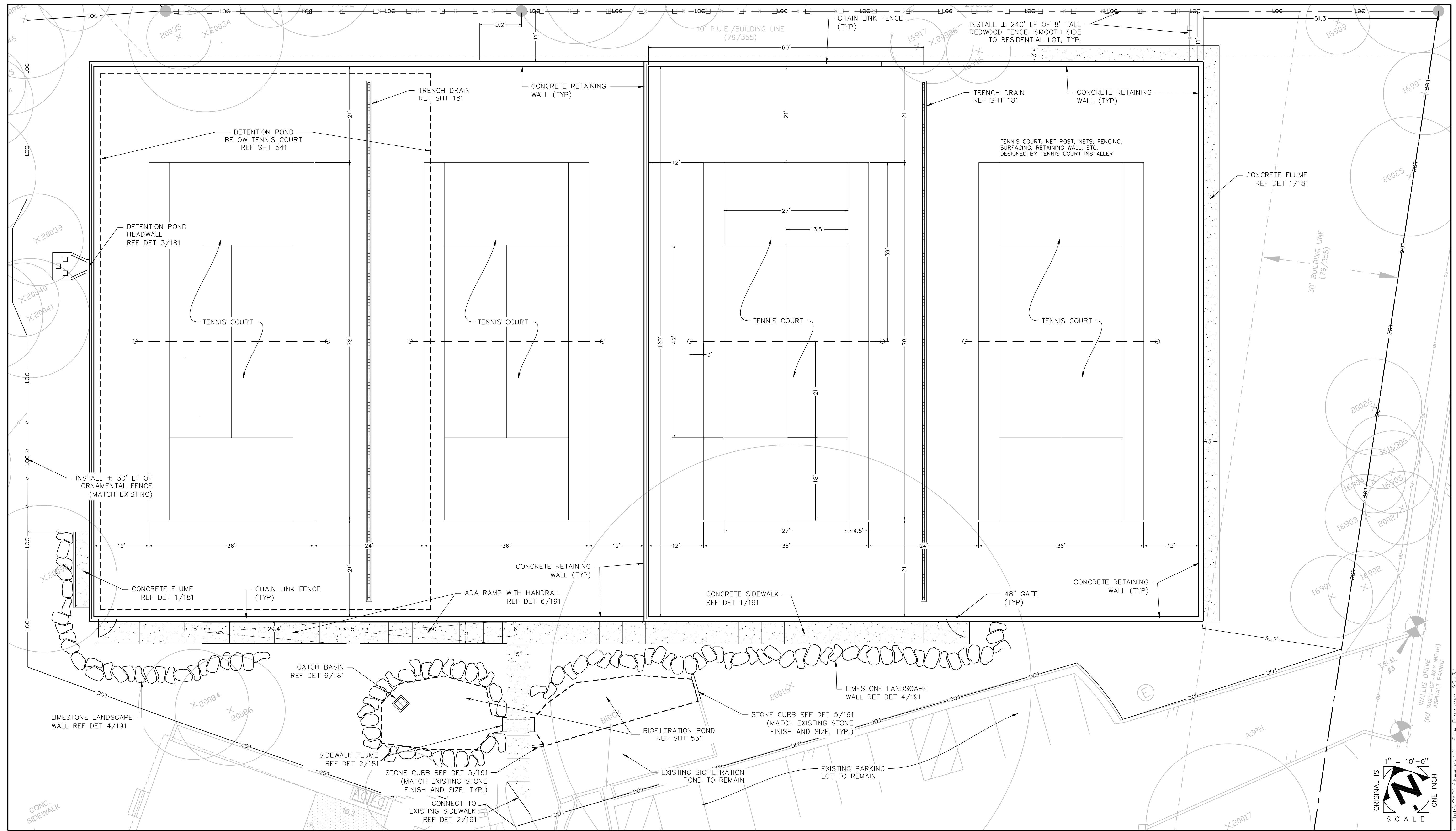
CURVE TABLE

NO.	DELTA	RADIUS	TAN	ARC	CHORD	BEARING	(RECORD CHORD)
C1	4°35'35"	315.81'	12.67'	25.32'	25.31'	S10°15'58"W	(S11°47'W 25.26')
C2	29°33'56"	122.57'	32.34'	63.25'	62.55'	S02°21'10"E	(S00°43'E 62.57')

PROJECT NO.: 585-001
 DRAWING NO.: 585-001-BASE
 PLOT DATE: 05/10/18
 PLOT SCALE: 1"=30'
 DRAWN BY: RGH/MAW/EBD
 SHEET 01 OF 01

Professional Land Surveying, Inc.
 Surveying and Mapping
 3500 McCall Lane
 Austin, Texas 78744
 512-443-1724
 Firm No. 10124500

Robert C. Watts, Jr.
 R.P.L.S. No. 4995

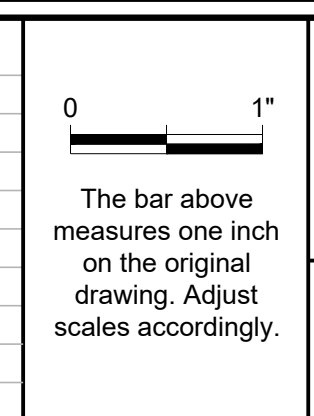


mwm
Design Group

305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734

TBAE FIRM REGISTRATION NO.: 1452
TBEF FIRM REGISTRATION NO.: F-14116
TBLF FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY



SITE PLAN

Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 7/7/2020
JOB NO: 863-01

101

4 OF 26

File: Y:\863-01_WHP_Athletic_Club\CAD\Sheets\101_Site Plan.dwg 22x34

JOC. NO.
33058032

FILM CODE
00004973065

WARRANTY DEED

THE STATE OF TEXAS §
 §
COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS: That The Optimist Club of Western Hills, Austin, Texas a/k/a Optimist Club of Western Hills, Inc., a Texas corporation ("Grantor"), for a good and valuable consideration in hand paid by the City of Rollingwood, Texas, a municipal corporation situated in Travis County, Texas ("Grantee"), the receipt and sufficiency of which are hereby acknowledged, has GRANTED, SOLD AND CONVEYED, and by these presents does GRANT, SELL AND CONVEY unto Grantee the following described real property in Travis County, Texas, together with all improvements thereon, to wit:

8.934 acres of land, locally known as Hatley Park, as more fully described on Exhibit "A", attached hereto and incorporated herein by reference ("Property").

TO HAVE AND TO HOLD the Property, together with all and singular the rights and appurtenances thereto in any way belonging, unto Grantee and Grantee's successors and assigns, forever; and Grantor does hereby bind Grantor and Grantor's successors and assigns to WARRANT AND FOREVER DEFEND all and singular the Property unto Grantee, and Grantee's successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof; except, however, that this conveyance is made subject to the perpetual roadway easement reserved by deed recorded in Volume 2986, Page 1078, Deed Records of Travis County, Texas, to the extent that the same remains in existence and is applicable to the Property.

This conveyance is additionally made subject to the following restrictive covenants which shall run with the land comprising the Property and which shall be binding upon Grantee, and all future owners of all or any portion of the Property and all persons claiming under them:

1. It is the intention of Grantor and Grantee to provide for preservation of existing athletic fields located on the Property. Accordingly, the use and development of the Property shall be restricted to park and recreational purposes consistent with the use of a portion of the Property for four baseball/softball fields which may be converted to a football/soccer field, which athletic fields may be combination or multi-use fields and which may be improved, reconstructed, relocated or reconfigured as determined by Grantee in its sole discretion. The use of the fields for baseball, football, soccer and girls softball by Westbank areas associations which are primarily for youth within the Eanes Independent School District shall be given priority. The foregoing restrictions shall not be deemed or construed to limit the park and recreational purposes to which the balance of the Property which is not being utilized for athletic fields may be used, it being specifically understood that the remainder of the Property may be used for other park and recreational purposes which are determined by Grantee, in its sole discretion. Further, it is understood and agreed that organizations or associations which utilize the athletic fields may be required by Grantee, as a condition of such use, to participate in the maintenance or upkeep of the fields, as determined by Grantee.

2. No portion of that .9 acre tract out of the Property described on Exhibit "B", attached hereto and incorporated herein by reference, shall be used by Grantee for any on-site wastewater system, and such .9 acre tract may be utilized for purposes of effecting the compliance by the two lots to be subdivided by Grantor out of the 1.1 acre tract being retained by Grantee located on Pleasant Cove Drive with Texas Water Commission Rule 31 TAC

285.18(g)(2), which requires that a total area of one (1) acre per lot be provided if an on-site wastewater system is to be used for a residence on each of those lots; however, no portion of the on-site wastewater system for such lots may actually be located on the .9 acre tract without the prior written consent of Grantee, which may be withheld or denied at Grantee's sole discretion. In the event 31 TAC 285.18(g)(2) is hereafter amended or terminated, or alternative wastewater disposal systems become available, which cause such one-acre minimum requirement to be no longer applicable, then this restriction shall terminate and be of no further effect. This restriction shall not be deemed or construed to limit Grantee's ability to develop the surface of the .9 acre tract for park and recreational purposes.

3. In the event any of the foregoing covenants, conditions or restrictions is held invalid or unenforceable by a court of competent jurisdiction, it shall not affect the validity and enforceability of the other covenants, conditions, or restrictions. If one of the foregoing is subject to more than one interpretation, the interpretation which more clearly reflects the intent of the parties shall be enforced.

Grantee's address: 403 Nixon
Austin, Texas 78746

Executed this the 28th day of MAY, 1993.

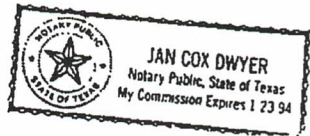
THE OPTIMIST CLUB OF WESTERN
HILLS, AUSTIN, TEXAS A/K/A
OPTIMIST CLUB OF WESTERN HILLS,
INC.

By: *Doyle H. Moore*
Printed Name: Doyle H. Moore
Title: President

ATTEST:
[Signature]
Printed Name: [Signature]
Title: DIRECTOR

THE STATE OF TEXAS §
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the 28th day of MAY, 1993, by DOYLE H. MOORE, PRESIDENT of The Optimist Club of Western Hills, Austin, Texas a/k/a Optimist Club of Western Hills, Inc., a Texas corporation, on behalf of said corporation.



Jan Cox Dwyer
Notary Public, State of Texas
Printed Name of Notary
My commission expires: _____

EXHIBIT A

FIELD NOTES
FOR

8.934 ACRE TRACT

ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND OUT OF THE HENRY P. HILL LEAGUE IN THE CITY OF ROLLINGWOOD, TRAVIS COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO HAROLD SCHERZ, TRUSTEE, BY DEED RECORDED IN VOLUME 6041, PAGE 461 OF THE DEED OF TRUST RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT CERTAIN 1.01 ACRE TRACT OF LAND AS CONVEYED TO OPTIMIST CLUB OF WESTERN HILLS, INC. BY DEED RECORDED IN VOLUME 3647, PAGE 1079 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS, BEING A PORTION OF LOT 1, WESTERN HILLS ATHLETIC CLUB ADDITION, A SUBDIVISION IN THE CITY OF ROLLINGWOOD, TRAVIS COUNTY, TEXAS, AS RECORDED IN PLAT BOOK 79, PAGES 355 AND 356 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, THE HEREIN DESCRIBED TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a concrete monument set at the Southeast corner of the said Scherz Tract, being at the Southwest corner of the said Lot 1, Western Hills Athletic Club Addition, being in the North r.o.w. line of Rollingwood Drive, for the Southeast corner and PLACE OF BEGINNING hereof;

THENCE along the South line of the said Scherz Tract, being the North r.o.w. line of Rollingwood Drive, for the following courses:

N 86° 17' W for a distance of 45.57 feet to a 1/2 inch iron pin set

N 89° 53' W for a distance of 239.18 feet to a 1/2 inch iron pin set at a point of curve

Along a curve to the left whose radius is 797.78 feet whose arc is 161.07 feet and whose chord bears S 84° 20' W for a distance of 160.80 feet to a 1/2 inch iron pin set at the intersection of the North r.o.w. line of Rollingwood Drive and the North r.o.w. line of Gentry Drive for the Southwest corner hereof;

THENCE along the Southwest line of the said Scherz Tract, being the North r.o.w. line of Gentry Drive, for the following courses:

N 14° 53' W for a distance of 125.16 feet to a 1/2 inch iron pin set at a point of curve

Along a curve to the right whose radius is 398.55 feet whose arc is 100.34 feet and whose chord bears N 69° 01' W for a distance of 100.08 feet to a 1/2 inch iron pin found

N 61° 19' 05" W for a distance of 202.57 feet to a concrete monument set at a point of curve, being at the intersection of the North r.o.w. line of Gentry Drive and the East r.o.w. line of Nixon Drive;

4E.
11946 1986

FIELD NOTES
FOR

8.934 ACRE TRACT - Page Two

THENCE along the Northwest line of the said Scherz Tract, being the East r.o.w. line of Nixon Drive, for the following courses:

Along a curve to the right whose radius is 15.00 feet whose arc is 29.32 feet and whose chord bears N 05° 11' 30" W for a distance of 24.87 feet to a 1/2 inch iron pin found

N 50° 46' 25" E for a distance of 130.75 feet to a 1/2 inch iron pin set at the most Westerly corner of Lot A, Community Plaza, a subdivision in the City of Rollingwood, Travis County, Texas, as recorded in Plat Book 68, Page 17 of the Plat Records of Travis County, Texas, for a Westerly corner hereof;

THENCE along the Southwest line of the said Lot A, Community Plaza, S 62° 33' 15" E for a distance of 142.44 feet to a 60-d nail found at the most Southerly corner of the said Lot A;

THENCE along the Southeast line of the said Lot A, Community Plaza, for the following courses:

N 52° 49' 05" E for a distance of 113.52 feet to a 1/2 inch iron pin found

N 48° 47' 30" E for a distance of 96.41 feet to a 1/2 inch iron pin set

N 60° 47' 30" E for a distance of 130.99 feet to a 1/2 inch iron pin set at the most Easterly corner of the said Lot A;

THENCE along the Northeast line of the said Lot A, Community Plaza, N 31° 41' 30" W for a distance of 85.09 feet to a 1/2 inch iron pin found at the most Northerly corner of the said Lot A, being in the East r.o.w. line of Nixon Drive;

THENCE along the East r.o.w. line of Nixon Drive, along a curve to the left whose radius is 261.39 feet whose arc is 15.86 feet and whose chord bears N 56° 05' 19" E for a distance of 15.85 feet to a 1/2 inch iron pin set at the most Southerly corner of Lot 6, Block D, Hatley Park Estates, a subdivision in the City of Rollingwood, Travis County, Texas, as recorded in Plat Book 75, Page 257 of the Plat Records of Travis County, Texas;

THENCE along the Southeast line of Block D of the said Hatley Park Estates, for the following courses:

Along a curve to the left whose radius is 261.39 feet whose arc is 102.88 feet and whose chord bears N 43° 04' 30" E for a distance of 102.22 feet to a 1/2 inch iron pin set

N 31° 51' E for a distance of 27.57 feet to a 1/2 inch iron pin found at a point of curve

Along a curve to the right whose radius is 198.83 feet whose arc is 116.37 feet and whose chord bears N 48° 37' 15" E for a distance of 114.72 feet to a 1/2 inch iron pin found

RE
TRA...

11946 1987

FIELD NOTES
FOR

8.934 ACRE TRACT - Page Three

N 65° 26' 30" E for a distance of 86.83 feet to a 1/2 inch iron pin found at a point of curve

Along a curve to the left whose radius is 741.52 feet whose arc is 240.62 feet and whose chord bears N 56° 01' 30" E for a distance of 239.57 feet to a 1/2 inch iron pin set

N 46° 46' 15" E for a distance of 5.25 feet to a 1/2 inch iron pin found at the most Easterly corner of Lot 4, Block D of the said Hatley Park Estates, being in the West r.o.w. line of Pleasant Cove, being at the Northwest corner of that certain 0.140 acre tract of land as described in Volume 7558, Page 115 of the Deed Records of Travis County, Texas, for the most Northerly corner hereof;

THENCE along the West r.o.w. line of Pleasant Cove, S 34° 16' 45" E for a distance of 24.19 feet to a concrete monument set;

THENCE along a Northeast line of the herein described tract, for the following courses:

S 44° 37' 30" W for a distance of 224.17 feet to a 1/2 inch iron pin found

S 16° 30' E for a distance of 130.04 feet to a 1/2 inch iron pin found

S 87° 05' 37" E for a distance of 27.88 feet to a 1/2 inch iron pin found

S 74° 51' 27" E for a distance of 61.67 feet to a 1/2 inch iron pin found

S 62° 25' 47" E for a distance of 123.21 feet to a 1/2 inch iron pin found in the West line of Lot 5A, Resubdivision of Lots 5 & 6, Clark Subdivision, a subdivision recorded in Plat Book 83, Page 143C of the Plat Records of Travis County, Texas;

THENCE along the West line of the said Lot 5A for the following course:

Along a curve to the right whose radius is 315.81 feet whose arc is 73.63 feet and whose chord bears S 03° 15' 05" W for a distance of 73.46 feet to a 1/2 inch iron pin found at a Northeast corner of the said Lot 1, Western Hills Athletic Club Addition;

THENCE along the North line of the said Lot 1, N 76° 18' 45" W for a distance of 103.04 feet to a 1/2 inch iron pin found at the Northwest corner of the said Lot 1;

FIELD NOTES
FOR

8.934 ACRE TRACT - Page Four

THENCE along an East line of the herein described tract,
S 18° 30' W for a distance of 506.55 feet to the PLACE OF
BEGINNING and containing 8.934 acres of land, more or less.

I hereby certify that this metes and bounds description is based
upon the Land Title Survey and Plat made by Roy D. Smith,
Registered Professional Surveyor No. 4094 on May 12, 1993.

AS SURVEYED BY:
ROY D. SMITH SURVEYORS, P.C.

Roy D. Smith
ROY D. SMITH
REGISTERED PROFESSIONAL SURVEYOR NO. 4094
May 12, 1993

Job No. 12-67



11946 1989

EXHIBIT B

FIELD NOTES
FOR

0.90 ACRE RESTRICTED ZONE

ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND OUT OF THE HENRY P. HILL LEAGUE IN THE CITY OF ROLLINGWOOD, TRAVIS COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN TRACT OF LAND CONVEYED TO HAROLD SCHERZ, TRUSTEE, BY DEED RECORDED IN VOLUME 6041, PAGE 461 OF THE DEED OF TRUST RECORDS OF TRAVIS COUNTY, TEXAS, THE HEREIN DESCRIBED TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2 inch iron pin found in the West r.o.w. line of Pleasant Cove, being at the most Easterly corner of Lot 4, Block D, Hatley Park Estates, a subdivision recorded in Plat Book 75, Page 257 of the Plat Records of Travis County, Texas, for the most Northerly corner hereof;

THENCE along the West r.o.w. line of Pleasant Cove, S 34° 16' 45" E for a distance of 24.19 feet to a concrete monument set for an Easterly corner hereof;

THENCE along the Easterly line of the herein described tract, S 44° 37' 30" W for a distance of 224.17 feet to a 1/2 inch iron pin found and S 16° 30' E for a distance of 130.04 feet to a 1/2 inch iron pin found for the Southeast corner hereof;

THENCE along the South line of the herein described tract, for the following courses:

N 87° 05' 37" W for a distance of 57.00 feet to an angle point

S 67° 55' 53" W for a distance of 69.59 feet to an angle point

N 58° 59' 37" W for a distance of 155.93 feet to a 1/2 inch iron pin found in the Southeast line of Block D of the said Hatley Park Estates, for the Southwest corner hereof;

THENCE along the Southeast line of the said Block D for the following courses:

RECORDED

11946 1990

FIELD NOTES
FOR

0.90 ACRE TRACT - Page Two

Along a curve to the right whose radius is 198.83 feet, whose arc is 116.37 feet and whose chord bears N 48° 37' 15" E for a distance of 114.72 feet to a 1/2 inch iron pin found

N 65° 26' 30" E for a distance of 86.83 feet to a 1/2 inch iron pin found at a point of curve

Along a curve to the left whose radius is 741.52 feet, whose arc is 240.62 feet and whose chord bears N 56° 01' 30" E for a distance of 239.57 feet to a 1/2 inch iron pin found

N 46° 46' 15" E for a distance of 5.25 feet to the PLACE OF BEGINNING and containing 0.90 acre of land, more or less.

I hereby certify that this metes and bounds description is based upon the Land Title Survey and Plat made by Roy D. Smith, Registered Professional Surveyor No. 4094 on May 12, 1993.

AS SURVEYED BY:
ROY D. SMITH SURVEYORS, P.C.

Roy D. Smith
ROY D. SMITH
REGISTERED PROFESSIONAL SURVEYOR
May 12, 1993



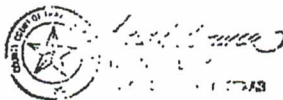
NO. 4094

Job No. 12-67

FILED
93 MAY 28 PM 4:46
COUNTY CLERK
TARRANT COUNTY TEXAS

SECEOPTERS COUNTYCLERK
I hereby certify that this instrument was FILED on the date and at the time stamped hereon by me, and was duly RECORDED in the volume and page of the record KLUOKU's of my County, Texas, on

MAY 28 1993



James L. Dwyer
Dwyer Law Company
901 Congress Suite 450
Austin Texas 78701

tel # 212936

REPL
TARRANT COUNTY TEXAS

11946 1991

Western Hills Athletic Club

4801 Rollingwood Drive Austin, Texas 78746

SUBMITTAL DATE
DATE: APRIL 24, 2020

Sheet List		
Sheet Index	Sheet Number	Sheet Name
1	000	COVER SHEET
2	001	GENERAL NOTES
3	010	EXISTING CONDITIONS
4	101	SITE PLAN
5	181	SITE DETAILS
6	191	SITE DETAILS
7	201	DEMOLITION PLAN
8	231	EROSION/SEDIMENTATION CONTROL & TREE PROTECTION PLAN
9	281	EROSION / SEDIMENTATION CONTROL & TREE PROTECTION DETAILS
10	301	GRADING PLAN
11	501	EXISTING DRAINAGE AREA MAP
12	502	EXISTING DRAINAGE AREA CALCULATIONS
13	503	PROPOSED DRAINAGE AREA MAP
14	504	PROPOSED DRAINAGE AREA CALCULATIONS
15	531	WATER QUALITY POND PLAN
16	541	DETENTION POND PLAN
17	542	DETENTION POND PLAN
18	543	DETENTION POND DETAILS
19	544	DETENTION POND DETAILS
20	545	DETENTION POND DETAILS
21	546	DETENTION POND DETAILS
22	700	LANDSCAPE NOTES & CALCULATIONS
23	701	LANDSCAPE PLAN
24	710	WATER QUALITY POND PLANTING PLAN
25	791	LANDSCAPE DETAILS
26	801	IRRIGATION PLAN

OWNER:
WESTERN HILLS ATHLETIC CLUB
4801 ROLLINGWOOD DR
AUSTIN, TEXAS 78746

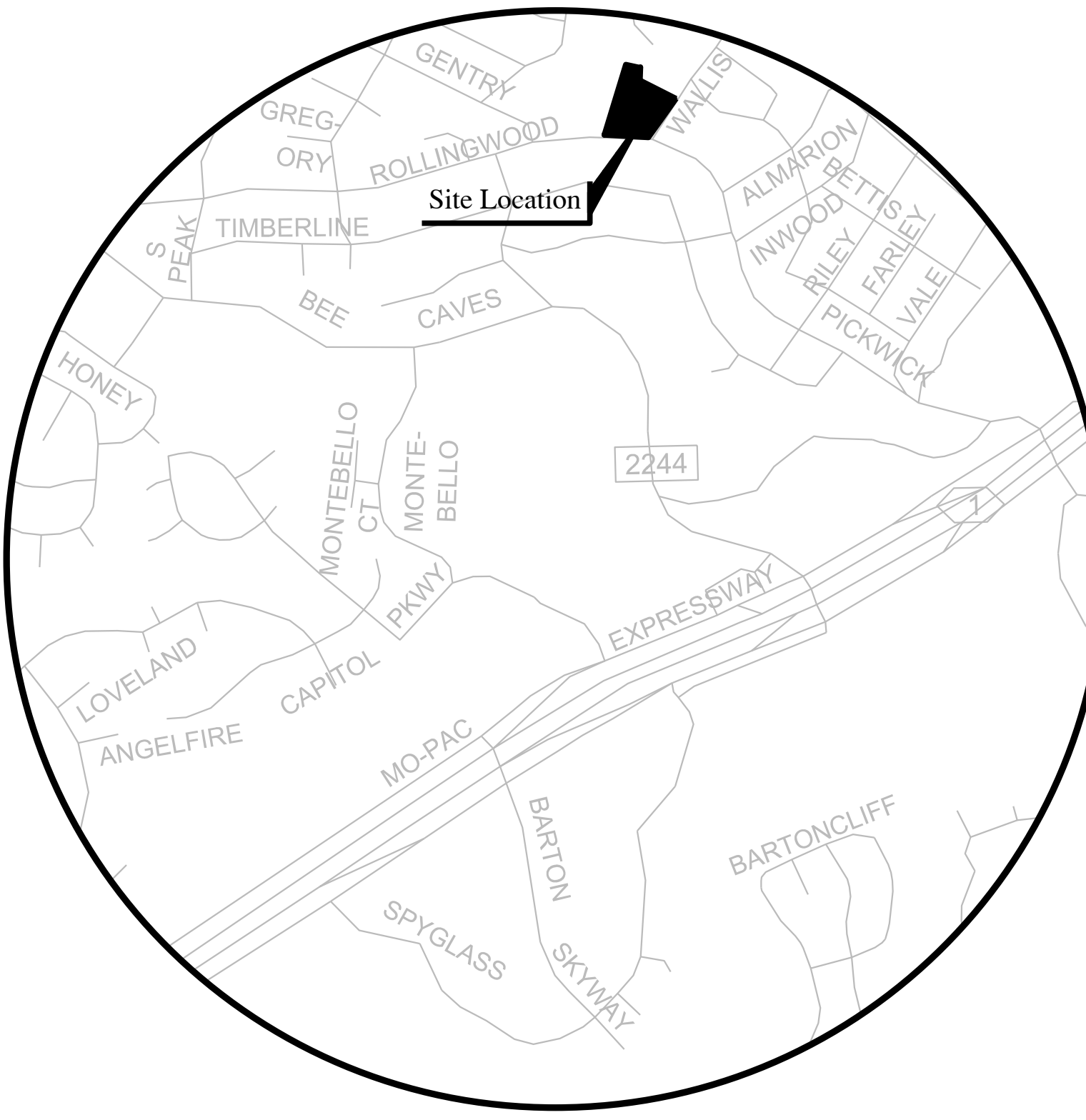
LANDSCAPE ARCHITECT:
MWM DESIGN GROUP, INC.
305 E HUNTLAND DR, STE #200
AUSTIN, TEXAS 78752

CONTACT:
CATHERINE SCOTT, PRESIDENT
(512) 327-6373

CONTACT:
DAVID CAZARES, ASLA, LEED AP
(512) 453-0767

CIVIL ENGINEER / AGENT:
MWM DESIGN GROUP, INC.
305 E HUNTLAND DR, STE #200
AUSTIN, TEXAS 78752

CONTACT:
MATTHEW RECTOR, P.E., CFM
(512) 453-0767



LOCATION MAP

LEGAL DESCRIPTION: LOT 1, WESTERN HILLS ATHLETIC CLUB ADDITION
 ZONED: PARK ZONING DISTRICT (P)
 PROPOSED IMPERVIOUS COVER: 68186.17 SF, 50%
 WATERSHED: LADY BIRD LAKE & EANES CREEK CLASSIFICATION: SUBURBAN

NOTES:

1. THIS SITE LIES WITHIN THE ROLLINGWOOD FULL PURPOSE JURISDICTION.
2. NO PORTION OF THIS SITE IS WITHIN THE 100 YEAR FLOODPLAIN AS PER FEMA FIRM PANEL #48453C0445K, DATED JANUARY 22, 2020.
3. NO CRITICAL ENVIRONMENTAL FEATURES ARE KNOWN TO EXIST WITHIN 150' OF THE PROJECT SITE.
4. THIS SITE IS LOCATED OVER THE EDWARD'S AQUIFER RECHARGE ZONE.
5. TREES GREATER THAN 8" IN DIAMETER ARE KNOWN TO EXIST ON THIS SITE.
6. AS PART OF THE SITE PLAN, THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO BE ON SITE AT ALL TIMES.

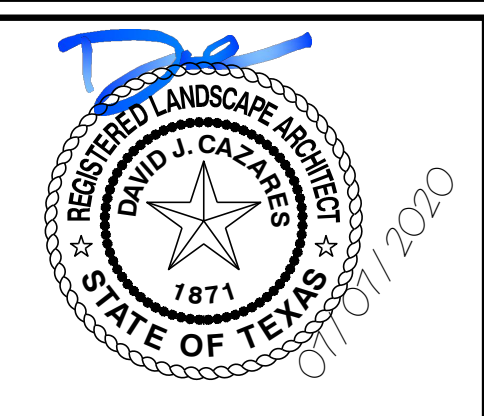
RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

SUBMITTED BY:

 MATTHEW RECTOR, P.E., CFM DATE
 MWM DESIGN GROUP
 305 E HUNTLAND DRIVE, SUITE 200
 AUSTIN, TX. 78752
 (512)453-0767

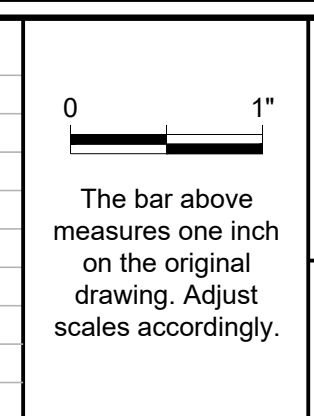
APPROVED BY: _____ DATE
 FOR DIRECTOR OF PLANNING AND
 DEVELOPMENT REVIEW DEPARTMENT

 SITE DEVELOPMENT PERMIT NUMBER



mwm Design Group
 305 East Huntland Drive
 Suite 200
 Austin, Texas 78752
 p: 512.453.0767
 f: 512.453.1734
 TBAE FIRM REGISTRATION NO.: 1452
 TBPE FIRM REGISTRATION NO.: F-1416
 TBPLS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY



COVER SHEET

Western Hills Athletic Club
 4801 Rollingwood Drive
 Austin, TX 78746

PLOTTED: 7/7/2020
 JOB NO: 863-01
000
 1 OF 26

CONTRACTOR NOTES:

- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING TYPE AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT TYPE AND LOCATION OF ALL UTILITIES AFFECTED BY CONSTRUCTION FOR THIS PROJECT IN ORDER TO AVOID DAMAGING THOSE UTILITIES. THE CONTRACTOR SHALL: A) IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, AND B) PAY FOR SAME AT NO EXTRA COST TO THE OWNER.
- THE BIDDER (CONTRACTOR AFTER AWARD) SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY UNREPORTED OBSTACLES OR DISCREPANCIES THAT MAY IMPEDE OR PREVENT THE PROPER CONSTRUCTION OF THIS PROJECT.
- WHERE REMOVAL OF BASE AND PAVEMENT IS NECESSARY FOR THIS PROJECT ALL BASE AND PAVEMENT SHALL BE REPLACED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND COA STANDARD SPECIFICATIONS. ALL PAVEMENT CUTS SHALL BE SAW CUT PRIOR TO PLACEMENT OF H.M.A.C. AND COORDINATED WITH COA AND CITY INSPECTORS.
- SLOPES OF ROADWAY CUTS AND EMBANKMENTS DAMAGED BY ANY OPERATION OF THE CONTRACTOR DURING THE EXECUTION OF THIS PROJECT SHALL BE REPAIRED AND RESTORED TO THE ORIGINAL PRE-CONSTRUCTION CONDITION IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE STANDARD SPECIFICATIONS. BACKFILL AND FILL PLACED DURING REMEDIAL GRADING SHALL BE COMPACTED TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE ENGINEER AND GOVERNING AUTHORITIES.
- BEFORE DISCONNECTING ANY WATER LINE OR GAS LINE, CONTRACTOR MUST PROVIDE FORTY-EIGHT (48) HOUR NOTICE TO THE OWNER EXCEPT IN THE CASE OF A BONA FIDE EMERGENCY.
- CONTRACTOR SHALL COMPLY WITH CONSTRUCTION SEQUENCING WHICH IS SPECIFIED ON THIS SHEET.
- ALL CONSTRUCTION SHALL FOLLOW THE LATEST VERSIONS OF THE CITY OF ROLLINGWOOD STANDARD DETAILS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- UPON REQUEST, COMPUTER AIDED DESIGN (CAD) FILES CAN BE MADE AVAILABLE TO THE CONTRACTOR FOR THE PURPOSES OF CONSTRUCTION STAKING.
- CONTRACTOR TO PROVIDE A 24-HOUR (MINIMUM) NOTICE TO ENGINEER PRIOR TO ALL UTILITY INSTALLATION TO ALLOW FOR VISUAL OBSERVATION OF TRENCH EXCAVATION, BEDDING, PIPE MATERIAL, AND BACKFILL.

PAVEMENT:

- CONCRETE PAVEMENT SHALL BE FURNISHED AND INSTALLED IN COMPLIANCE WITH ITEM 360 OF THE CITY OF ROLLINGWOOD STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE A 24-HOUR (MINIMUM) NOTICE TO ENGINEER PRIOR TO ALL CONCRETE POURS TO ALLOW FOR VISUAL OBSERVATION OF FORMWORK AND REBAR PLACEMENT.

EXCAVATION AND BACKFILL:

- ALL EXCAVATION FOR THIS PROJECT SHALL BE UNCLASSIFIED.
- CONTRACTOR/REPAIR CREW MUST NOTIFY INSPECTOR AT LEAST TWENTY FOUR (24) HOURS PRIOR TO BEGINNING PERMANENT BACK FILL OPERATIONS.
- BACKFILL DENSITY SHALL BE AS SPECIFIED IN ITEM 510 OF THE COA STANDARD SPECIFICATIONS. TEST METHODS SHALL BE AS SPECIFIED IN THE CITY STANDARD SPECIFICATIONS UNLESS INDICATED OTHERWISE IN WRITING BY THE ENGINEER.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

HANDICAP ACCESSIBILITY:

- ACCESSIBLE ROUTES MUST HAVE A RUNNING-SLOPE NO GREATER THAN 5% UNLESS DESIGNED AS A RAMP.
- ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 2%.
- THE MAXIMUM RUNNING SLOPE OF A RAMP IN NEW CONSTRUCTION IS 8.33%.
- TAS AND ADA CRITERIA SHALL GOVERN.

SAFETY:

- CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A SAFE, NEAT AND WORKMANLIKE MANNER AT ALL TIMES. JOB SITE SAFETY SHALL NOT BE COMPROMISED. ANY UNATTRACTIVE NUISANCE SHALL BE REMOVED OR CAMOUFLAGED BY CONTRACTOR WHEN DIRECTED BY THE OWNER OR ENGINEER.
- ALL HOLES, TRENCHES, AND OTHER HAZARDOUS AREAS SHALL BE ADEQUATELY PROTECTED BY BARRICADES, FENCING, LIGHTS, AND/OR OTHER PROTECTIVE DEVICES AT ALL TIMES.
- REMOVAL OF EXCAVATED MATERIALS AND DAILY CLEANUP OPERATIONS SHALL BE PERFORMED TO THE SPECIFICATIONS AND TO THE SATISFACTION OF THE OWNER AND ENGINEER.
- CONTRACTOR SHALL MAINTAIN A SUPERINTENDENT UPON THE PROJECT AT ALL TIMES WORK IS IN PROGRESS.

TRAFFIC CONTROL NOTES:

- THE CONTRACTOR SHALL MAINTAIN CLEAR PASSAGE FOR LOCAL TRAFFIC AT ALL TIMES DURING THE CONSTRUCTION OF THIS PROJECT.
- ALL TRAFFIC CONTROL DEVICES, SIGNS, BARRICADES, WARNING SIGNS, AND FLAG MEN OPERATIONS SHALL BE PLACED, CONSTRUCTED, EXECUTED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD).
- WHERE PORTABLE SIGNS REQUIRE THE USE OF WEIGHTS, SANDBAGS SHALL BE USED. THE USE OF SOLID OBJECTS SUCH AS CONCRETE, ROCKS, IRON, ETC. SHALL NOT BE PERMITTED.
- INSTALLATION OF CONSTRUCTION BARRICADING AND SIGNING SHALL BE COORDINATED THROUGH THE CITY OF ROLLINGWOOD RIGHT OF WAY MANAGEMENT AT (512) 974-1150 (OR APPLICABLE REGULATORY ENTITY).
- ALL TRAFFIC CONTROL SIGNS SHALL REMAIN IN PLACE UNLESS OTHERWISE SHOWN ON THE PLANS. IF SIGNS REQUIRE RELOCATION, CONTRACTOR SHALL CONTACT THE APPLICABLE REGULATORY ENTITY.
- CONTRACTOR MUST RESTORE ALL PAVEMENT MARKINGS DISTURBED DURING CONSTRUCTION. CONTRACTOR SHALL OBSERVE ALL APPLICABLE MATERIALS, SPECIFICATIONS, AND INSTALLATION REQUIREMENTS INCLUDING SPECIAL ATTENTION TO MAINTAINING PROPER DIMENSIONS AND ALIGNMENT.

BENCH SAFETY:

- IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD AND COMPACT OR SOFT AND UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED. FURTHERMORE, ALL TRENCHES LESS THAN 5 FEET IN DEPTH SHALL ALSO BE EFFECTIVELY PROTECTED WHEN HAZARDOUS GROUND MOVEMENT MAY BE EXPECTED.
- IN ACCORDANCE WITH THE U.S. OSHA REGULATIONS, WHEN EMPLOYEES ARE REQUIRED TO BE IN TRENCHES 4 FOOT DEEP OR MORE, ADEQUATE MEANS OF EXIT, SUCH AS A LADDER OR STEPS, MUST BE PROVIDED AND LOCATED SO AS TO REQUIRE NO MORE THAN 25 FEET OF LATERAL TRAVEL.

ORDINANCE REQUIREMENTS

- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN, ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE A SITE PLAN AMENDMENT AND APPROVAL FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING CODE APPROVAL; FIRE CODE APPROVAL; OR BUILDING, DEMOLITION, OR RELOCATION PERMITS APPROVAL. A CITY DEMOLITION OR RELOCATION PERMIT CAN ONLY BE ISSUED ONCE THE HISTORIC REVIEW PROCESS IS COMPLETED.
- ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE.
- THE OWNER IS RESPONSIBLE FOR ALL COSTS OF RELOCATION OF, OR DAMAGE TO, UTILITIES.
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- A SITE DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NONCONSOLIDATED OR LAND USE COMMISSION APPROVED SITE PLANS.
- WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF ROLLINGWOOD.
- NO CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR THE PROPOSED RESIDENTIAL CONDOMINIUM PROJECT UNTIL THE OWNER OR OWNERS OF THE PROPERTY HAVE COMPLIED WITH CHAPTER 81 AND 82 OF THE PROPERTY CODE OF THE STATE OF TEXAS OR ANY OTHER STATUTES ENACTED BY THE STATE CONCERNING CONDOMINIUMS.
- FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A R.O.W. EXCAVATION PERMIT IS REQUIRED.

COMPATIBILITY

- HIGHLY REFLECTIVE MATERIALS WILL NOT BE USED, MATERIALS MAY NOT EXCEED 20% REFLECTIVITY. THIS REQUIREMENT SHALL NOT APPLY TO SOLAR PANELS OR TO COPPER OR PAINTED METAL ROOFS.
- THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 D.B.A. AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES.
- ALL EXTERIOR LIGHTING SHALL BE HOODED OR SHIELDED FROM THE VIEW OF ADJACENT RESIDENTIAL USES, OR PROPERTY ZONED RESIDENTIAL.
- EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED WHEN ADJACENT TO RESIDENTIAL PROPERTY.
- ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE.

FIRE DEPARTMENT

- THE ROLLINGWOOD FIRE DEPARTMENT REQUIRES ASPHALT OR CONCRETE PAVEMENT PRIOR TO CONSTRUCTION AS AN "ALL-WEATHER DRIVING SURFACE."
- HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE FOUR-INCH OPENING AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE FOUR-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH THREE- TO SIX-FOOT SETBACKS FROM THE CURBLINE(S). NO OBSTRUCTION IS ALLOWED WITHIN THREE FEET OF ANY HYDRANT AND THE FOUR-INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET.
- TIMING OF INSTALLATION: WHERE FIRE PROTECTION FACILITIES ARE INSTALLED BY THE DEVELOPER, SUCH FACILITIES SHALL INCLUDE ALL SURFACE ACCESS ROADS WHICH SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION, WHERE ALTERNATIVE METHODS OF PROTECTION, AS APPROVED BY THE FIRE CHIEF, ARE PROVIDED, THE ABOVE MAY BE MODIFIED OR WAIVED.
- ALL PERVIOUS/DECORATIVE PAVING SHALL BE ENGINEERED AND INSTALLED FOR 80,000 LB. LIVE-VEHICLE LOADS. ANY PERVIOUS/DECORATIVE PAVING WITHIN 100 FEET OF ANY BUILDING MUST BE APPROVED BY THE FIRE DEPARTMENT.
- COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN TEN FEET OF OPENINGS, COMBUSTIBLE WALLS, OR COMBUSTIBLE EAVE LINES. CITY OF ROLLINGWOOD | CONSOLIDATED SITE PLAN APPLICATION INSTRUCTIONS REV 7/19/2018 | PAGE 30 OF 38
- FIRE LANES DESIGNATED ON SITE PLAN SHALL BE REGISTERED WITH CITY OF ROLLINGWOOD FIRE MARSHAL'S OFFICE AND INSPECTED FOR FINAL APPROVAL.
- VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 14 FEET FOR FULL WIDTH OF ACCESS DRIVE.

GENERAL CONSTRUCTION NOTES:

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF ROLLINGWOOD MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- CONTRACTOR SHALL CALL TEXAS 811 (811 OR 1-800-344-8377) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.
- CONTRACTOR SHALL NOTIFY THE CITY OF ROLLINGWOOD TO SUBMIT REQUIRED DOCUMENTATION, PAY CONSTRUCTION INSPECTION FEES, AND TO SCHEDULE THE REQUIRED SITE AND SUBDIVISION PRE-CONSTRUCTION MEETING. THIS MEETING MUST BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE R.O.W. OR PUBLIC EASEMENTS. PLEASE VISIT [HTTP://AUSTINTEXAS.GOV/PAGE/COMMERCIAL-SITE-AND-SUBDIVISION-INSPECTIONS](http://austintexas.gov/page/commercial-site-and-subdivision-inspections) FOR A LIST OF SUBMITTAL REQUIREMENTS, INFORMATION CONCERNING FEES, AND CONTACT INFORMATION.
- FOR SLOPES OR TRENCHES GREATER THAN FIVE FEET IN DEPTH, A NOTE MUST BE ADDED STATING: "ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION" (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 EAST 6TH STREET, ROLLINGWOOD TEXAS.)
- ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS.
- UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE FOLLOWING, THE ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE, FILTRATION AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS; RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE DEVELOPMENT SERVICES DEPARTMENT (INSIDE THE CITY LIMITS); OR INSTALLATION OF AN ELECTRIC OR WATER METER (IN THE FIVE-MILE ETJ)

DEVELOPER INFORMATION

WESTERN HILLS ATHLETIC CLUB OWNER (512) 327-6373 PHONE #

4801 ROLLINGWOOD DR, AUSTIN, TX 78746 OWNER ADDRESS

CATHERINE SCOTT OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS (512) 327-6373 PHONE #

JOSH MCKAY PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE (512) 426-1483 PHONE #

JOSH MCKAY PERSON OR FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE (512) 426-1483 PHONE #

AMERICANS WITH DISABILITIES ACT

THE CITY OF ROLLINGWOOD HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH CITY DEVELOPMENT REGULATIONS ONLY. THE APPLICANT, PROPERTY OWNER, AND OCCUPANT OF THE PREMISES ARE RESPONSIBLE FOR DETERMINING WHETHER THE PLAN COMPLIES WITH ALL OTHER LAWS, REGULATIONS, AND RESTRICTIONS WHICH MAY BE APPLICABLE TO THE PROPERTY AND ITS USE.

BENCHMARK INFORMATION

COORDINATE BASIS: GRID AZIMUTH FOR TEXAS CENTRAL ZONE STATE PLANE
COORDINATES, BASED ON GPS SOLUTIONS FROM THE NATIONAL GEODETIC SURVEY (NGS)
ON-LINE POSITIONING USER SERVICE (OPUS).

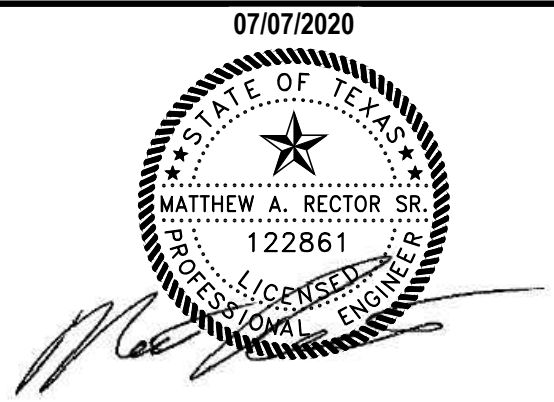
BENCHMARKS:

B.M. #1 - SQUARE CUT ON B.O.C., NORTH SIDE OF ROLLINGWOOD DR.
+/-105 FEET WEST OF WALLIS DR.
ELEV.=628.77'

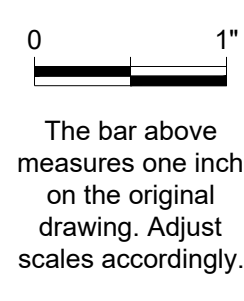
B.M. #3 - SQUARE CUT ON B.O.C. ON THE WEST SIDE OF WALLIS DR.
+/-190 FEET NORTH OF ROLLINGWOOD DR.
ELEV.=631.07'

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
WATER POLLUTION ABATEMENT PLAN
GENERAL CONSTRUCTION NOTES

- A WRITTEN NOTICE OF CONSTRUCTION MUST BE SUBMITTED TO THE TCEQ REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF ANY REGULATED ACTIVITIES. THIS NOTICE MUST INCLUDE:
 - THE NAME OF THE APPROVED PROJECT;
 - THE ACTIVITY START DATE; AND
 - THE CONTACT INFORMATION OF THE PRIME CONTRACTOR.
- ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT MUST BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED WATER POLLUTION ABATEMENT PLAN (WPAP) AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTORS ARE REQUIRED TO KEEP ON-SITE COPIES OF THE APPROVED PLAN AND APPROVAL LETTER.
- IF ANY SENSITIVE FEATURE(S) (CAVES, SOLUTION CAVITY, SINK HOLE, ETC.) IS DISCOVERED DURING CONSTRUCTION, ALL REGULATED ACTIVITIES NEAR THE SENSITIVE FEATURE MUST BE SUSPENDED IMMEDIATELY. THE APPROPRIATE TCEQ REGIONAL OFFICE MUST BE IMMEDIATELY NOTIFIED OF ANY SENSITIVE FEATURES ENCOUNTERED DURING CONSTRUCTION. CONSTRUCTION ACTIVITIES MAY NOT BE RESUMED UNTIL THE TCEQ HAS REVIEWED AND APPROVED THE APPROPRIATE PROTECTIVE MEASURES IN ORDER TO PROTECT ANY SENSITIVE FEATURE AND THE EDWARDS AQUIFER FROM POTENTIALLY ADVERSE IMPACTS TO WATER QUALITY.
- NO TEMPORARY OR PERMANENT HAZARDOUS SUBSTANCE STORAGE TANK SHALL BE INSTALLED WITHIN 150 FEET OF A WATER SUPPLY SOURCE, DISTRIBUTION SYSTEM, WELL, OR SENSITIVE FEATURE.
- PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY, ALL TEMPORARY EROSION AND SEDIMENTATION (EAS) CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLANS AND MANUFACTURERS SPECIFICATIONS. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THESE CONTROLS MUST REMAIN IN PLACE UNTIL THE DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE MUST BE COLLECTED AND PROPERLY DISPOSED OF BEFORE THE NEXT RAIN EVENT TO ENSURE IT IS NOT WASHED INTO SURFACE STREAMS, SENSITIVE FEATURES, ETC.
- SEDIMENT MUST BE REMOVED FROM THE SEDIMENT TRAPS OR SEDIMENTATION BASINS NOT LATER THAN WHEN IT OCCUPIES 50% OF THE BASIN'S DESIGN CAPACITY.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BEING DISCHARGED OFFSITE.
- ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE MUST BE STORED ON-SITE WITH PROPER EAS CONTROLS. FOR STORAGE OR DISPOSAL OF SPOILS AT ANOTHER SITE ON THE EDWARDS AQUIFER RECHARGE ZONE, THE OWNER OF THE SITE MUST RECEIVE APPROVAL OF A WATER POLLUTION ABATEMENT PLAN FOR THE PLACEMENT OF FILL MATERIAL OR MASS GRADING PRIOR TO THE PLACEMENT OF SPOILS AT THE OTHER SITE.
- IF PORTIONS OF THE SITE WILL HAVE A TEMPORARY OR PERMANENT CEASE IN CONSTRUCTION ACTIVITY LASTING LONGER THAN 14 DAYS, SOIL STABILIZATION IN THOSE AREAS SHALL BE INITIATED AS SOON AS POSSIBLE PRIOR TO THE 14TH DAY OF INACTIVITY. IF ACTIVITY WILL RESUME PRIOR TO THE 21ST DAY, STABILIZATION MEASURES ARE NOT REQUIRED. IF DROUGHT CONDITIONS OR INCLEMENT WEATHER PREVENT ACTION BY THE 14TH DAY, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST:
 - THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR;
 - THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND
 - THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
- THE HOLDER OF ANY APPROVED EDWARD AQUIFER PROTECTION PLAN MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
 - ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY WATER POLLUTION ABATEMENT STRUCTURE(S), INCLUDING BUT NOT LIMITED TO PONDS, DAMS, BERMS, SEWAGE TREATMENT PLANTS, AND DIVERSIONARY STRUCTURES;
 - ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED OR A CHANGE WHICH WOULD SIGNIFICANTLY IMPACT THE ABILITY OF THE PLAN TO PREVENT POLLUTION OF THE EDWARDS AQUIFER;
 - ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED AS UNDEVELOPED IN THE ORIGINAL WATER POLLUTION ABATEMENT PLAN.



NO.	DATE	DESCRIPTION	BY

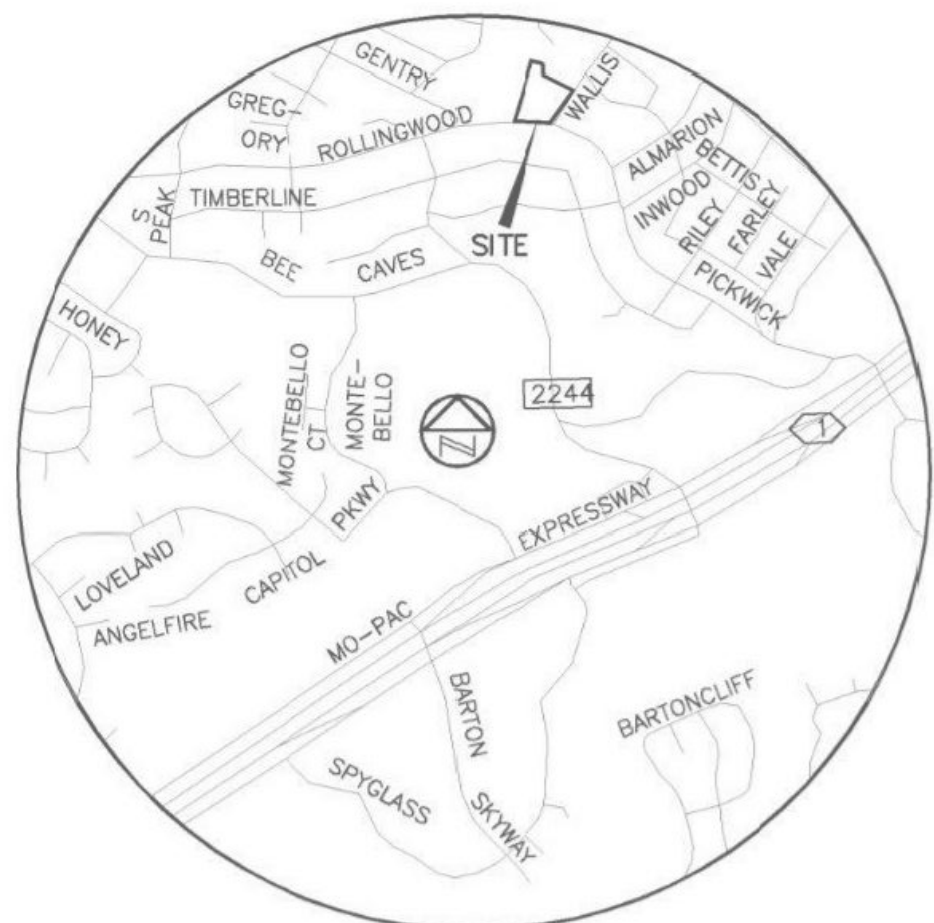


GENERAL NOTES

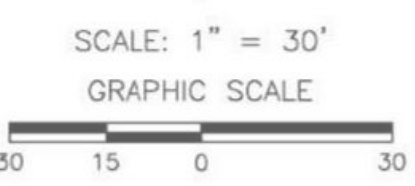
Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 7/7/2020
JOB NO: 863-01
001
2 OF 26

File: Y:\B63-01_WHA_Athletic_Club\CAD\Sheets\001_Notes.dwg 22x34



A SURVEY OF ALL OF LOT 1, WESTERN HILLS ATHLETIC CLUB ADDITION, A SUBDIVISION OF RECORD IN TRAVIS COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 79, PAGE 355 OF THE THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAVE AND EXCEPT A 2,411 SQUARE FEET TRACT DESCRIBED IN VOLUME 11901, PAGE 1260 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.



TREE LIST

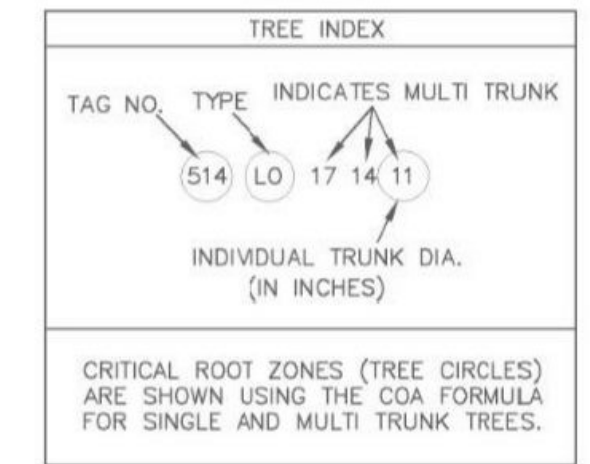
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16902 CE 6 4	20028 CE 9	20056 CDR 13	20083 LO 17	20119 CDR 9	20145 LO 13
16903 LO 9	20029 CB 14	20057 LO 16 12	20084 LO 12	20120 CDR 7	20146 CDR 10
16904 LO 9	20030 CB 14	20058 CDR 14	20086 LO 12	20121 LO 7	20147 LO 6
16905 LO 9	20032 HB 13	20059 LO 13	20088 LO 14	20122 CDR 6	20148 LO 18 13
16906 LO 8	20033 CB 9	20060 CDR 7	20089 LO 11	20123 CDR 8	20149 CE 10 5
16907 CE 7 4	20034 CB 11 7 5	20061 CE 6	20090 LO 16	20124 CDR 6	20150 CE 14
16908 LO 13	20035 CB 7	20062 CDR 8	20093 LO 18	20125 LO 13	20151 CB 10
16909 LO 7	20036 CB 8	20063 LO 17	20094 LO 12	20126 LO 9	20152 CB 13
16910 CB 9	20038 CB 15	20064 CDR 10	20095 LO 10	20127 LO 8	20155 LIG 9 6 6
16911 CB 7	20039 CDR 10	20065 PO 19 16	20096 LO 11	20128 CDR 6	20158 CB 8
16912 LIG 8 6	20040 CE 8	20066 CDR 6 9	20097 LO 10 9	20129 CDR 12	20159 CB 20
16913 BE 6	20041 CE 13	20067 LO 7	20098 LO 12	20130 CDR 7	20160 CE 10
16914 BE 6	20042 CE 12	20068 LO 10	20099 LO 15	20131 CDR 7	20161 CE 9 8
16915 BE 6	20043 CE 10 8	20069 LO 11 8	20100 LO 12	20132 CDR 7	20162 LO 20
16916 WLNT 7	20044 LO 10	20070 CDR 7	20101 LO 13	20133 CE 9	20163 CE 11
16917 WLNT 6	20045 LO 8	20071 CE 6	20102 LO 19 17	20134 CE 10	20164 LO 22
16918 WLNT 6	20046 LO 13	20072 CB 7	20103 LO 20	20135 LO 13 10	20165 LO 22
20021 LO 19	20047 LO 12	20074 LO 15	20105 CE 15	20136 HB 6	20166 LO 21
20017 CE 18	20048 LO 13	20075 LO 18	20106 LO 10	20137 CDR 6	20167 LO 18
20018 LO 20	20049 HB 8	20076 LO 15	20107 LO 12	20138 CE 8	20168 LO 24
20023 PEC 17	20051 LO 11	20077 LO 17	20108 LO 7	20139 CDR 8	20169 LO 19
20024 LO 18	20052 LO 12	20079 LO 19	20114 CE 9	20140 HB 9	20170 CE 17
20025 LO 13	20053 LO 10	20080 LO 18	20115 CDR 10	20141 PEC 11	20171 LO 19 19
20026 LO 8 5	20054 LO 17 16	20081 LO 11	20117 LO 9	20142 PEC 10	20173 CE 14
				20143 CDR 6	

BENCHMARK NOTE:
 B.M. #1 - SQUARE CUT ON B.O.C., NORTH SIDE OF ROLLINGWOOD DR. +/-105 FEET WEST OF WALLIS DR. ELEV.=628.77'
 B.M. #3 - SQUARE CUT ON B.O.C. ON THE WEST SIDE OF WALLIS DR. +/-190 FEET NORTH OF ROLLINGWOOD DR. ELEV.=631.07'

MANHOLE AND INLET NOTE:
 THIS SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS. EXACT MEASUREMENTS AND DEPTHS PARTICULARLY IN CRITICAL AREAS, SHOULD BE VERIFIED WITH UTILITY RECORD MAPS AND/OR FIELD VERIFICATION PRIOR TO FINAL PLANNING OR CONSTRUCTION.

TREE LEGEND

BE	-	BOX ELDER	LIG	-	LIGUSTRUM
CB	-	CHINA BERRY	LO	-	LIVE OAK
CDR	-	CEDAR	PEC	-	PECAN
CE	-	CEDAR ELM	WLNT	-	WALNUT
HB	-	HACKBERRY			



LEGEND

- 1/2" REBAR FOUND
- ▲ CALCULATED POINT
- ⊙ 3/4" IRON PIPE FOUND
- ▲ NAIL FOUND
- * COTTON SPINDLE FOUND
- ⊙ BENCHMARK LOCATION
- ⊠ WATER METER
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊙ SPRINKLER CONTROL VALVE
- ⊘ UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITIES
- ⊙ LIGHT POLE
- ⊙ WASTEWATER CLEANOUT
- ⊙ WASTEWATER MANHOLE
- ⊙ STORMSEWER MANHOLE
- ⊙ HANDICAP PARKING SPACE
- ⊙ AC PAD
- ⊙ GAS UTILITY
- ⊙ ELECTRIC UTILITY
- SIGN
- EDGE OF PAVEMENT
- WROUGHT IRON FENCE
- CHAIN LINK FENCE
- ⊙ PUMP BOX
- ⊙ PUMP

FLOOD-PLAIN NOTE:
 The tract shown hereon lies within Zone "X" (areas determined to be outside 500-year flood-plain), as identified by the Federal Emergency Management Agency, Federal Insurance Administration, as shown on map no. 484500045A, dated January 08, 2016, for Travis County, Texas and incorporated areas. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This flood statement shall not create liability on the part of the surveyor.

TITLE COMMITMENT NOTE:
 This Survey was prepared without the benefit of a Commitment for Title, and may be subject to additional easements or restrictions not shown hereon. No additional easement research was done for the purpose of this survey.

NOTE FROM PREVIOUS SURVEY (9/26/07):
 The Travis CAD map 01_0909 (01/04/2006) shows what appears to be additional R.O.W. for Rollingwood Drive and Wallis Drive. There was no monumented evidence in the field of a R.O.W. dedication along the north line of Rollingwood Drive. After researching Travis CAD and the Travis County Clerk records, we were not able to locate any documents reflecting additional street frontage conveyed to the City of Rollingwood. Since no title research was provided by the client, there was not enough data to accurately determine the position of the intersection of the north R.O.W. of Rollingwood Drive and the west R.O.W. of Wallis Drive, so the position is represented on the map by a calculated point for the purposes of this survey.

SURVEYOR'S CERTIFICATE:
 CERTIFIED TO:
 Julie Martinez
 Western Hills Athletic Club
 PROPERTY ADDRESS: Rollingwood Drive @ Wallis Drive
 DATE OF SURVEY: 09/26/07; Topographic and Tree Survey Updated 09/20/17, Updated 4/27/18
 BEARING BASIS: Grid azimuth for Texas Central Zone state plane coordinates, based on GPS solutions from The National Geodetic Survey (NGS) On-line Positioning User Service (OPUS).
 ATTACHMENTS: none
 I hereby certify that a survey of the property shown hereon was actually made upon the ground under my direction and supervision on the date shown, and that to the best of my professional knowledge and belief there are no apparent encroachments, overlapping of improvements, discrepancies, deed line conflicts, visible utility lines or roads in place, except as shown hereon, and that this property abuts or adjoins a dedicated road right-of-way or access easement, unless noted hereon.

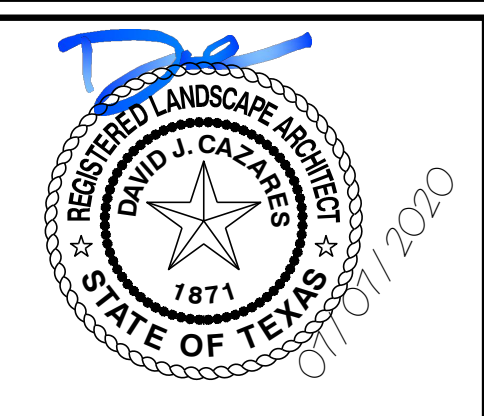
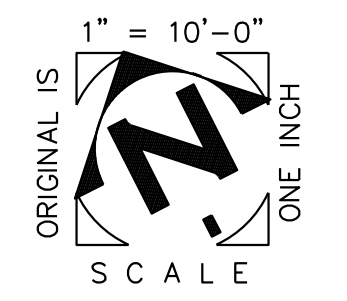
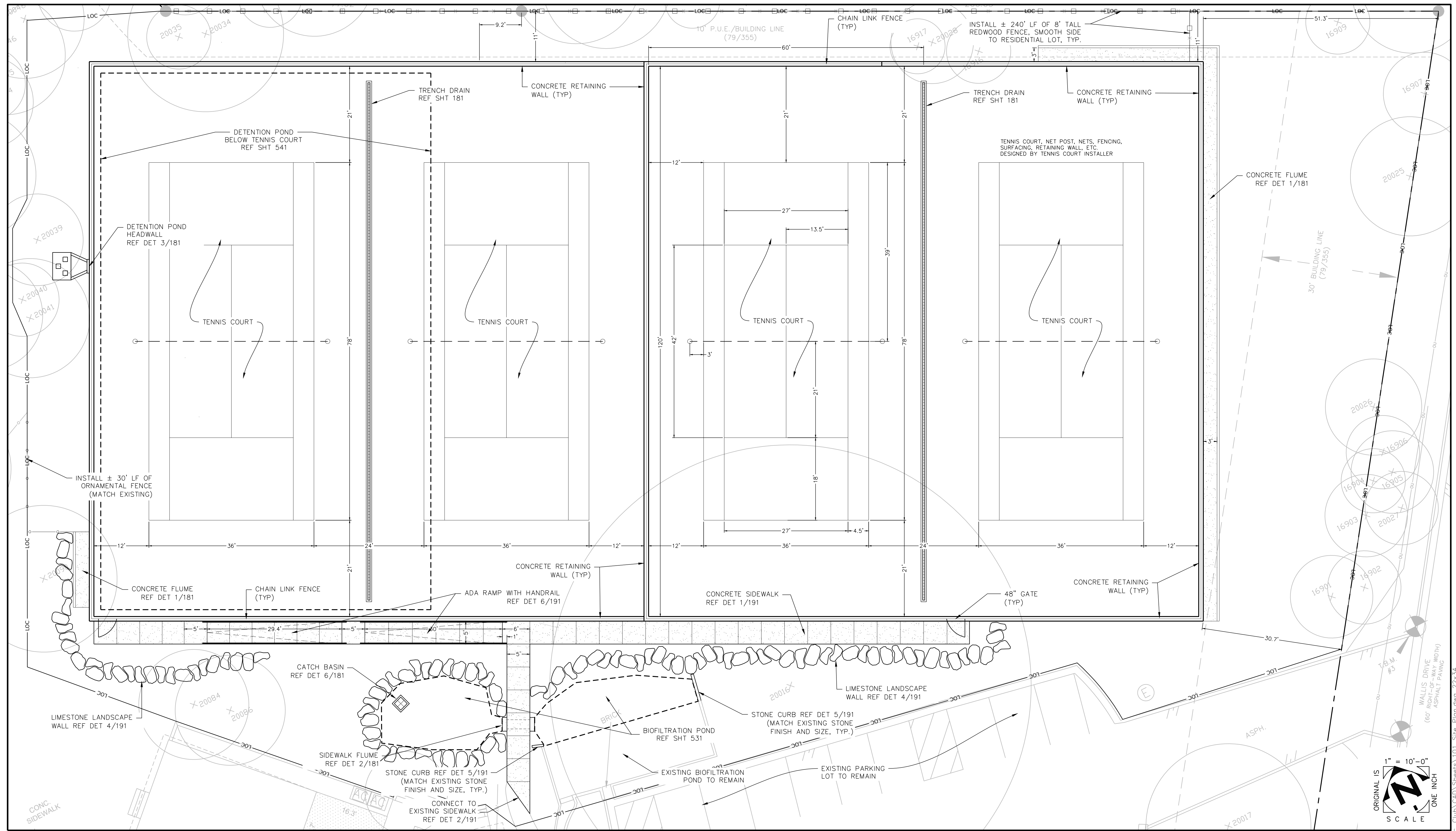
Robert C. Watts, Jr. Date
 Registered Professional Land Surveyor
 State of Texas No. 4995

PROJECT NO.: 585-001
 DRAWING NO.: 585-001-BASE
 PLOT DATE: 05/10/18
 PLOT SCALE: 1"=30'
 DRAWN BY: RGH/MAW/EBD
 SHEET 01 OF 01

Professional Land Surveying, Inc.
 Surveying and Mapping
 3500 McCall Lane
 Austin, Texas 78744
 512-443-1724
 Firm No. 10124500

CURVE TABLE

NO.	DELTA	RADIUS	TAN	ARC	CHORD	BEARING	(RECORD CHORD)
C1	4°35'35"	315.81'	12.67'	25.32'	25.31'	S10°15'58"W	(S11°47'W 25.26')
C2	29°33'56"	122.57'	32.34'	63.25'	62.55'	S02°21'10"E	(S00°43'E 62.57')

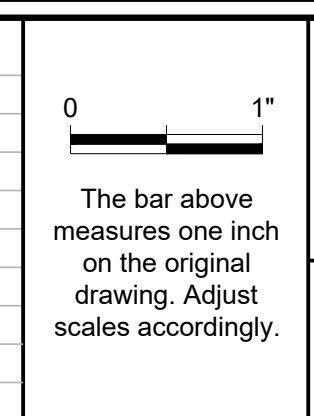


mwm
Design Group

305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734

TBAE FIRM REGISTRATION NO.: 1452
TBAE FIRM REGISTRATION NO.: F-1416
TBPLS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY



SITE PLAN

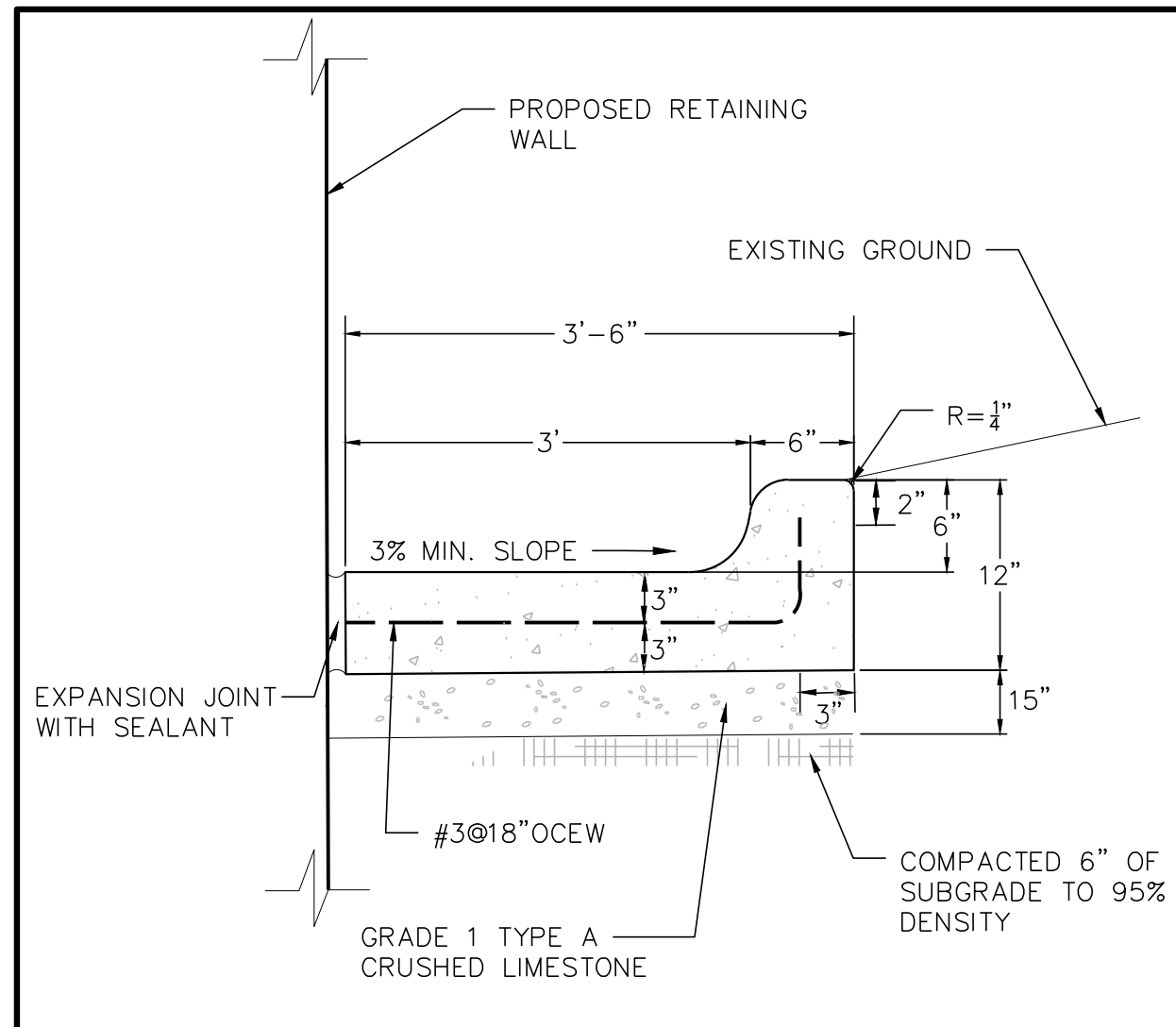
Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 7/7/2020
JOB NO: 863-01

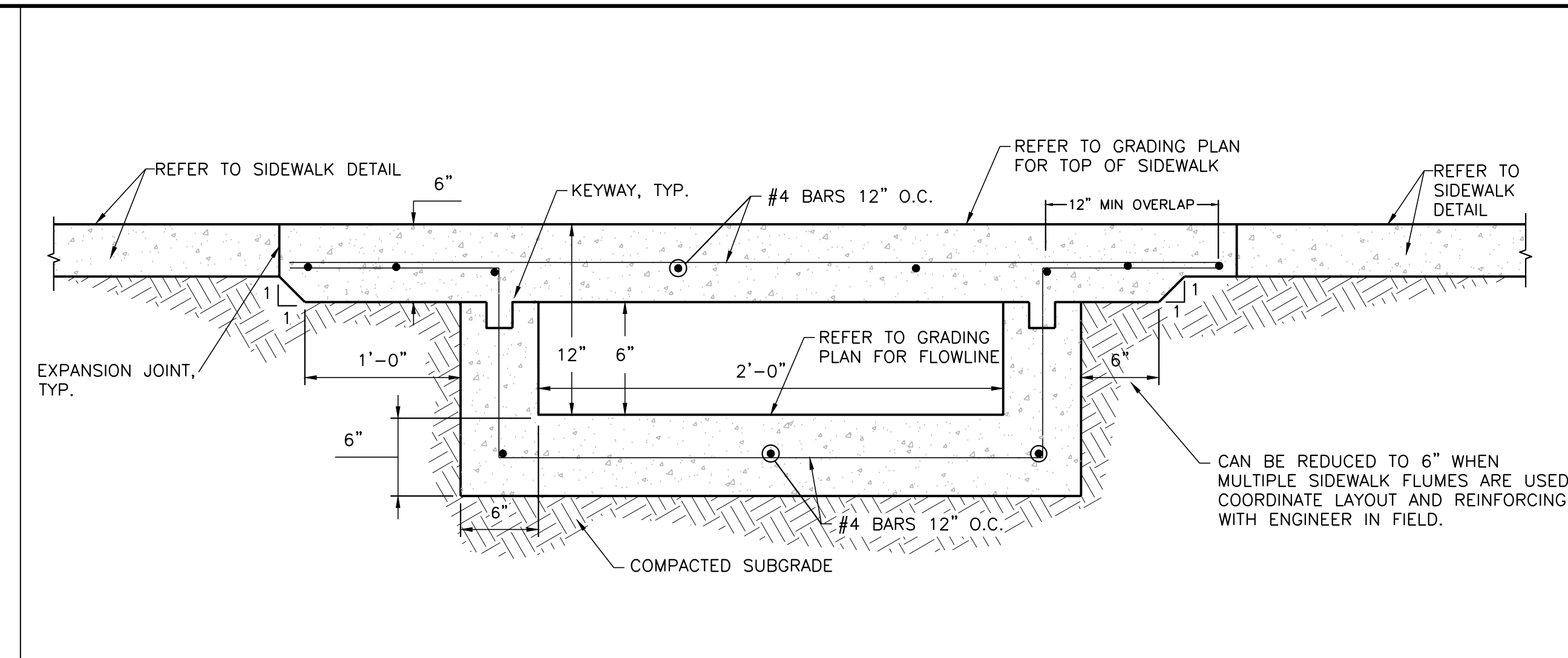
101

4 OF 26

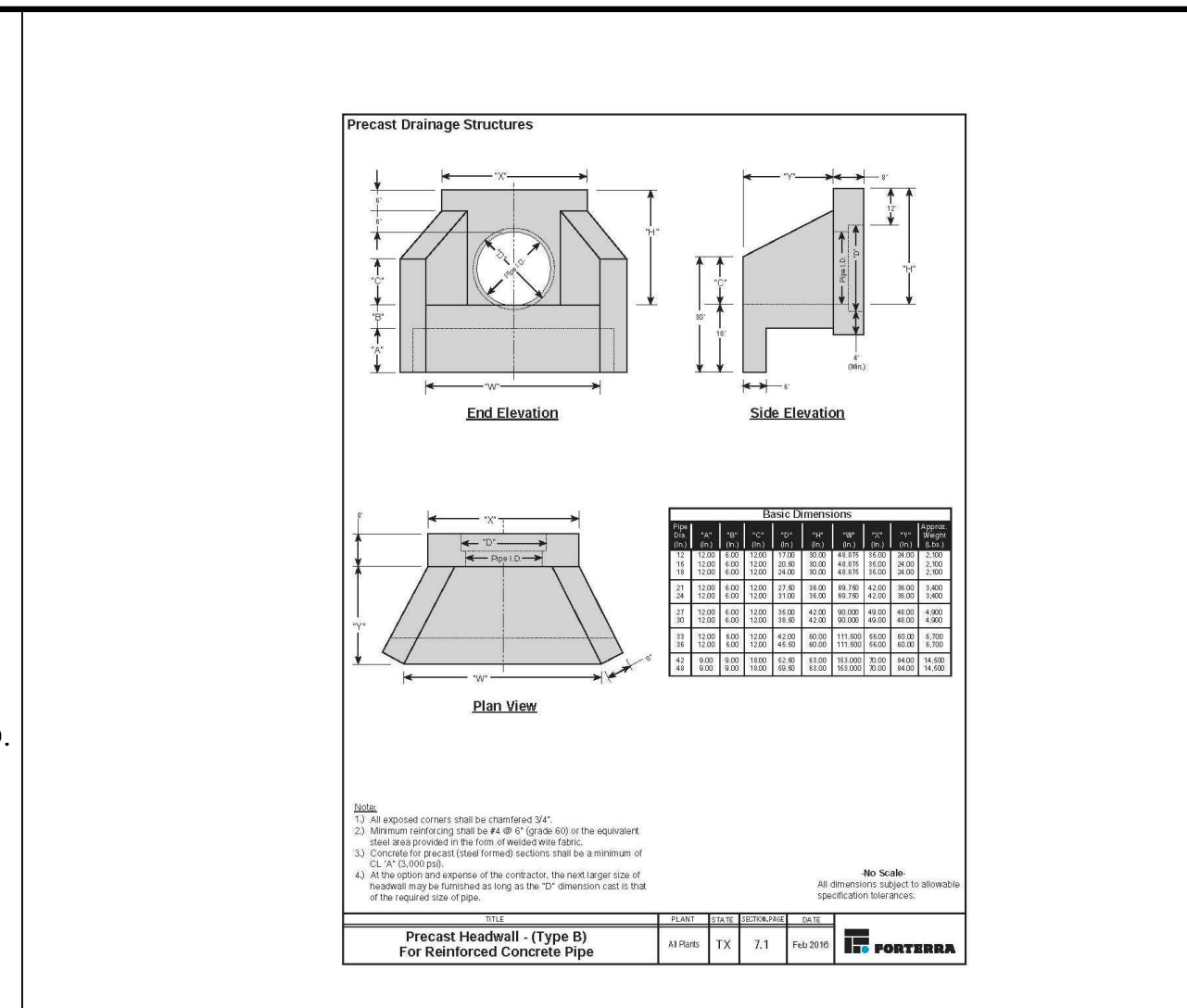
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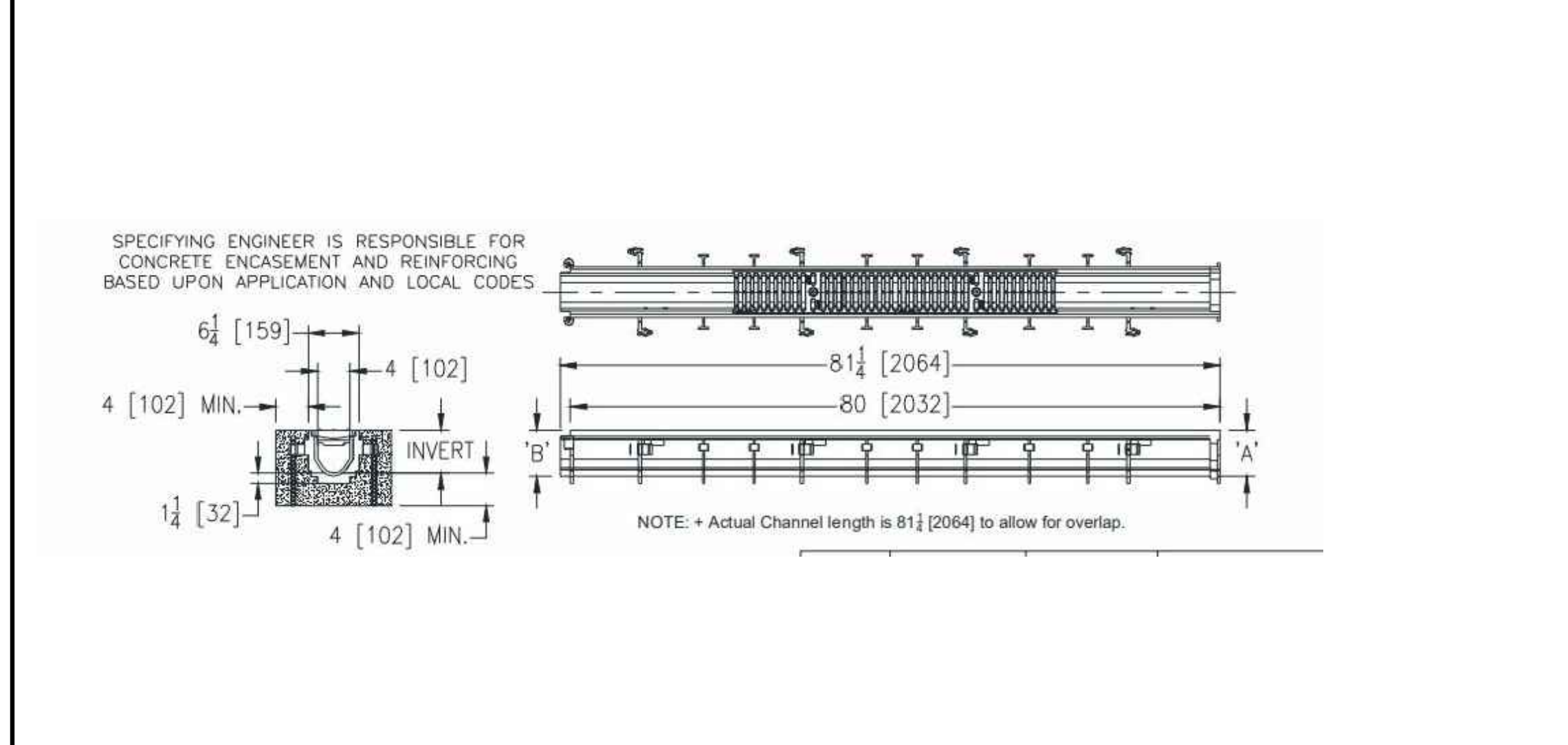
1 CONCRETE FLUME
SCALE: NTS



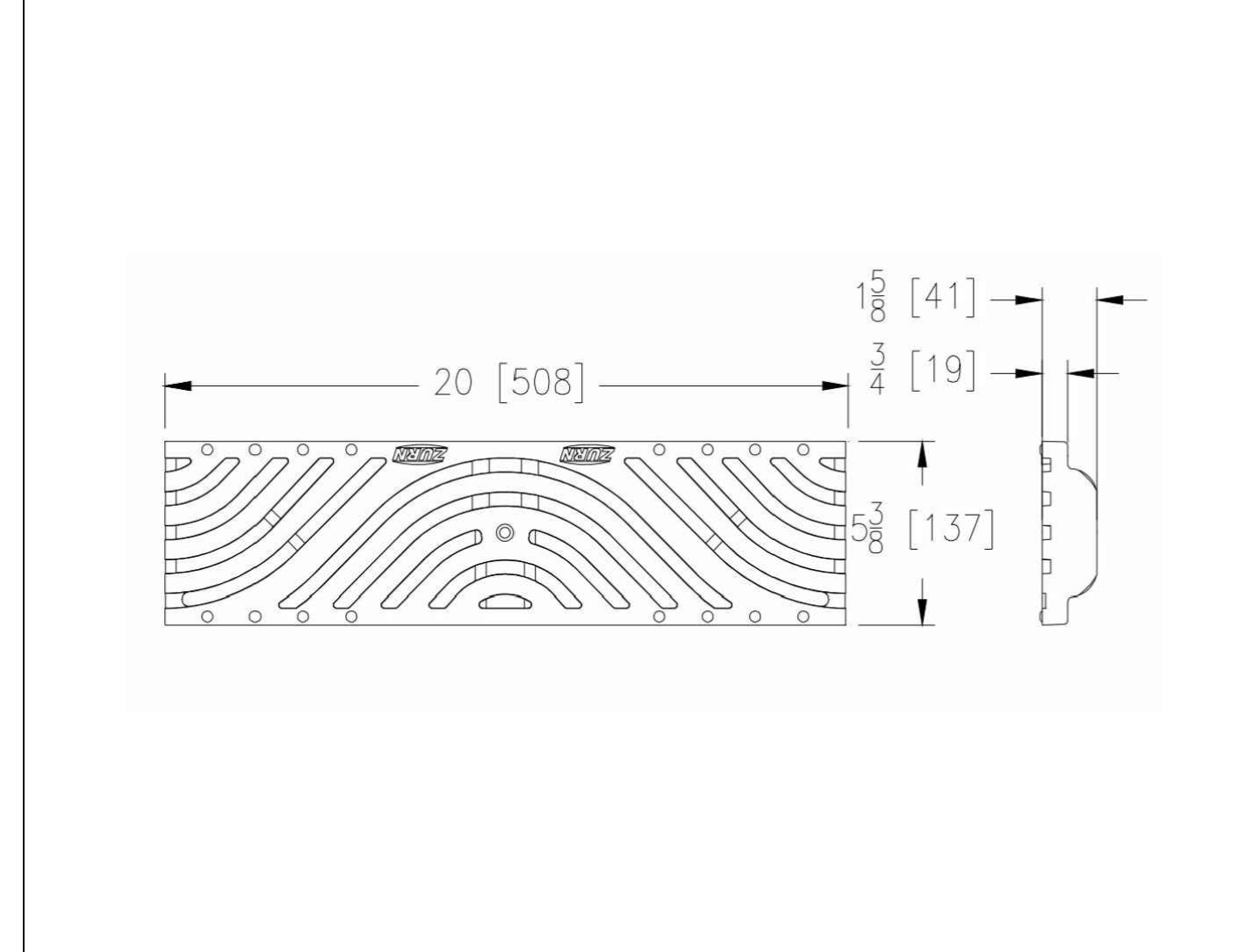
2 SIDEWALK FLUME
SCALE: NTS



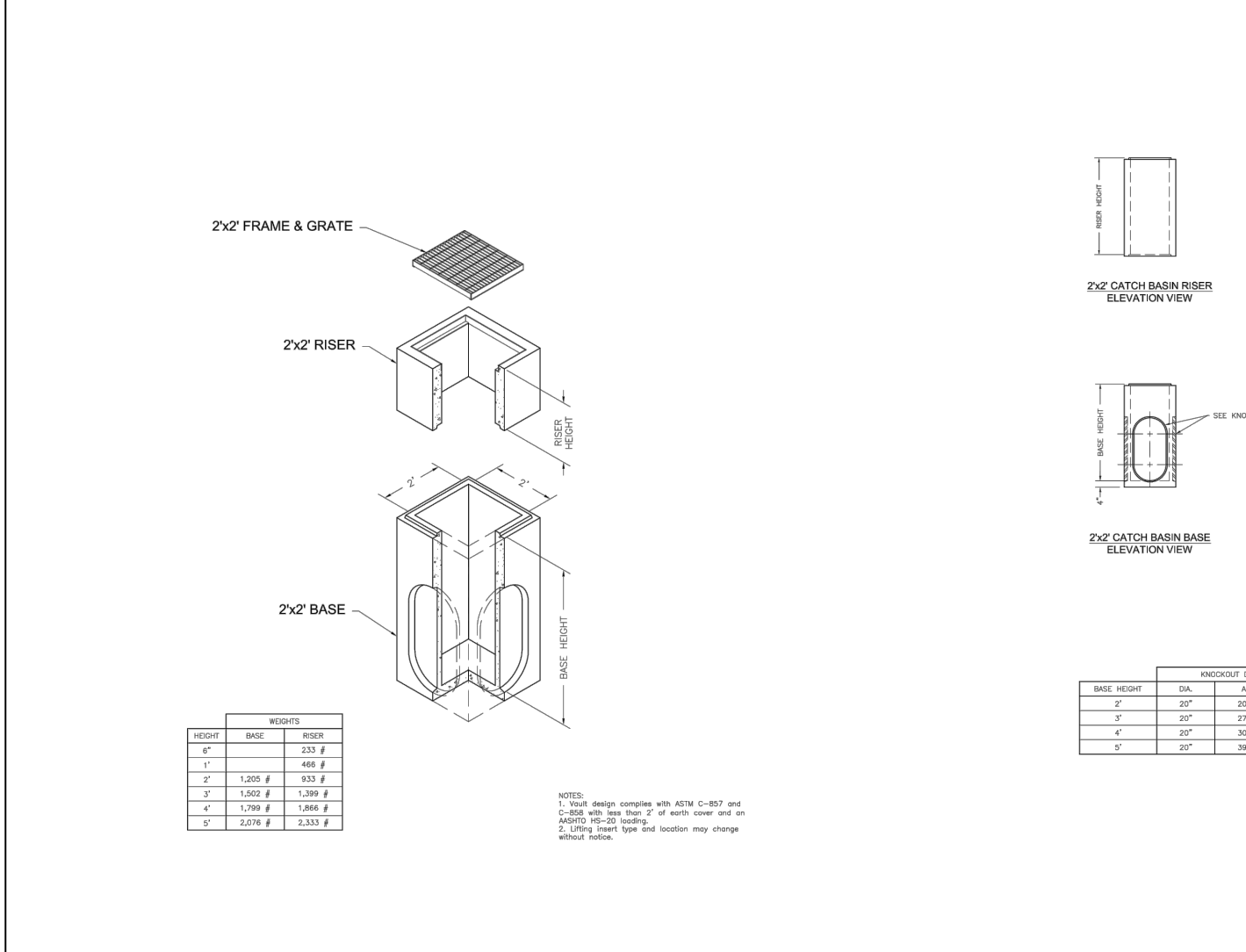
3 HEAD WALL
SCALE: NTS



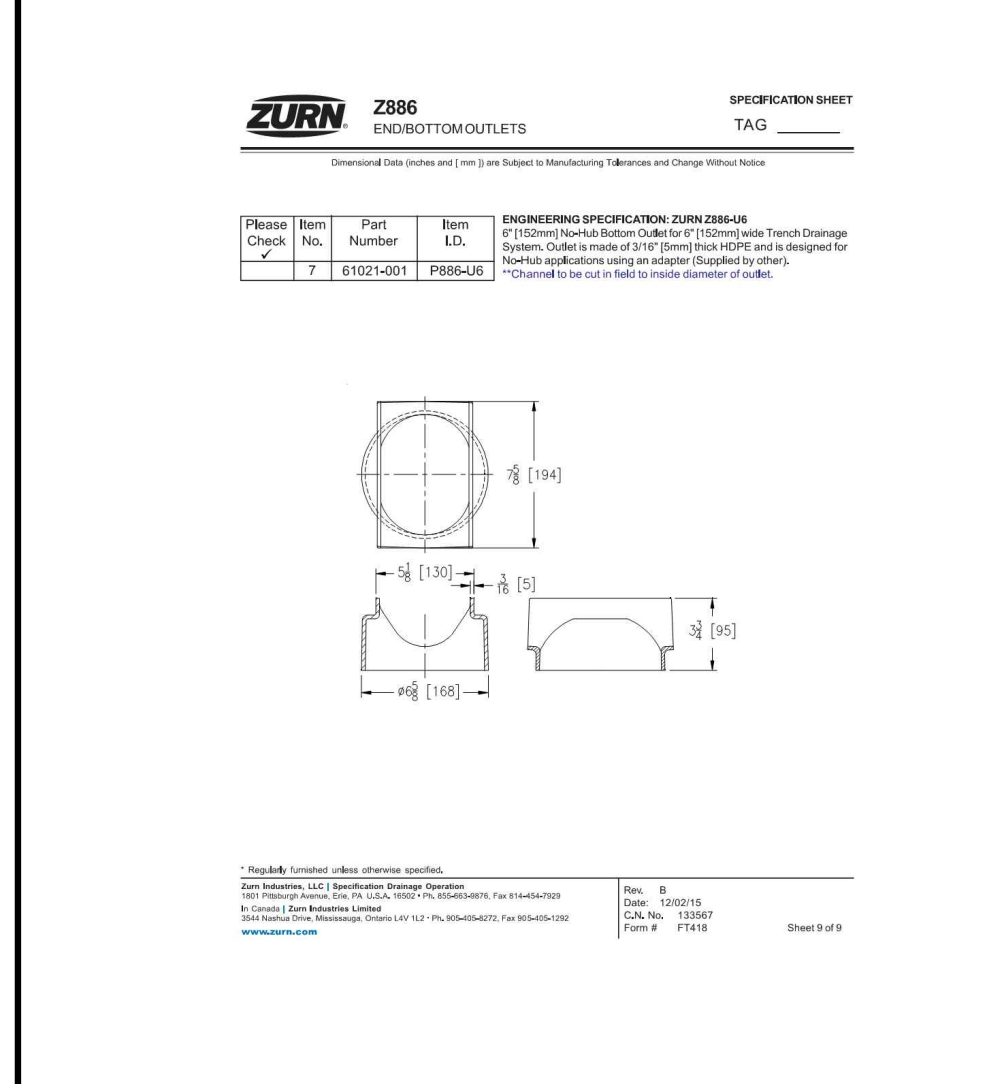
4 TRENCH DRAIN
SCALE: NTS



5 DRAINAGE COVER
SCALE: NTS

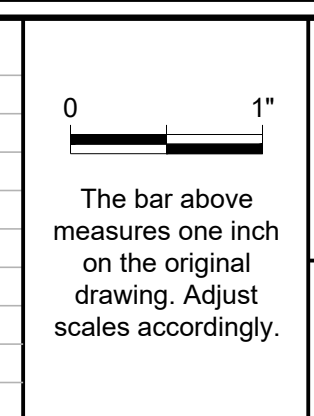


6 2'x2' CATCH BASIN
SCALE: NTS



7 U6-BOTTOM OUTLET
SCALE: NTS

NO.	DATE	DESCRIPTION	BY



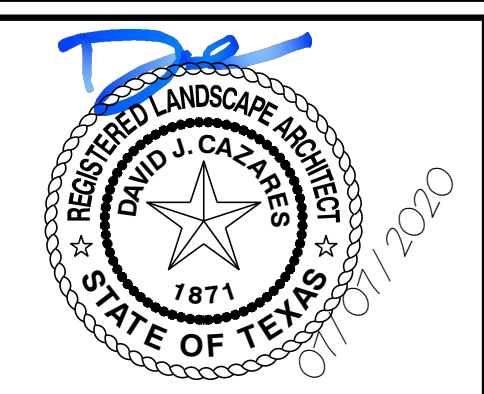
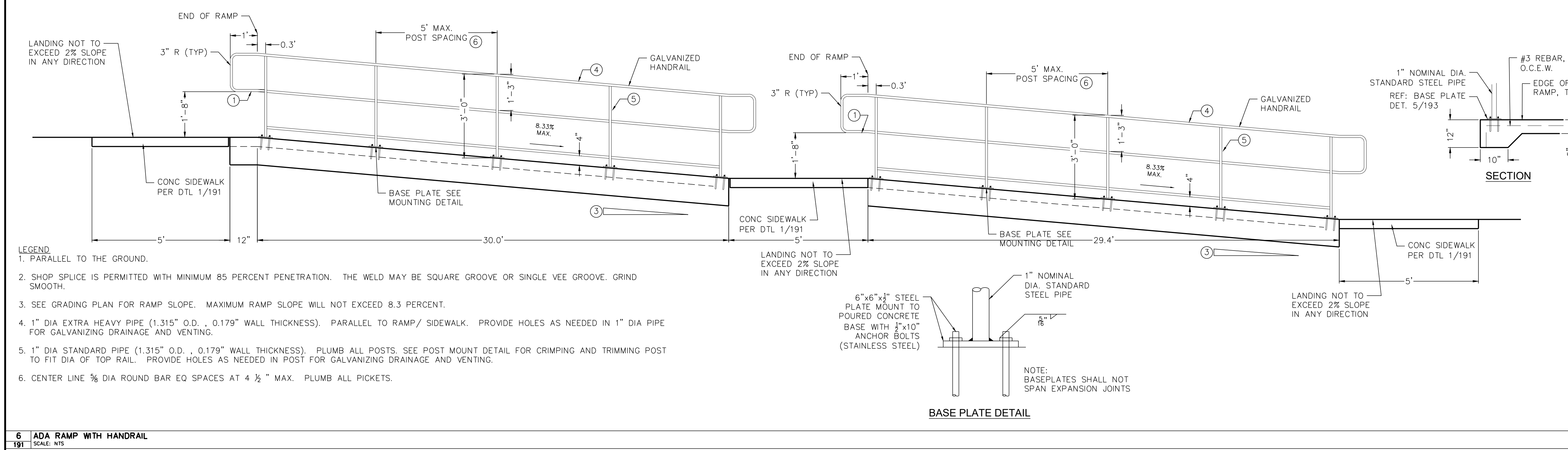
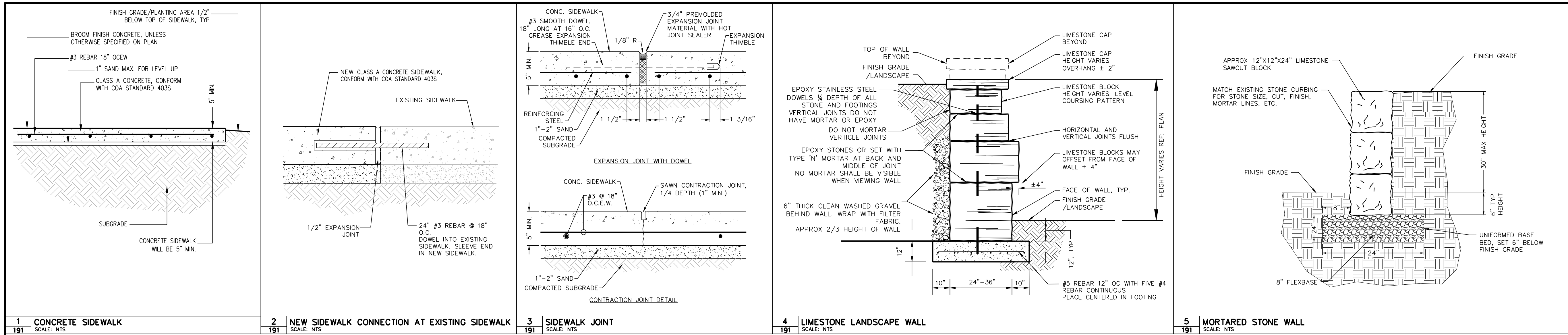
SITE DETAILS

Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 7/7/2020
JOB NO: 863-01

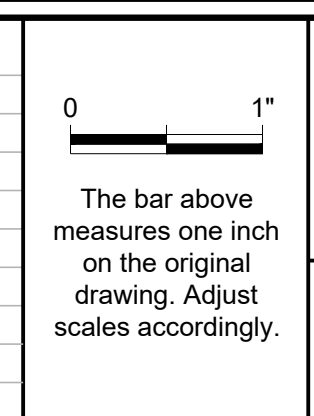
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5 OF 26



mwm Design Group
305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734
TBAE FIRM REGISTRATION NO.: 1452
TBEF FIRM REGISTRATION NO.: F-1416
TBLPS FIRM REGISTRATION NO.: 10065600

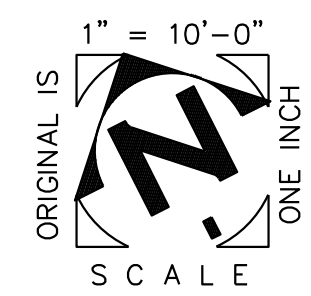
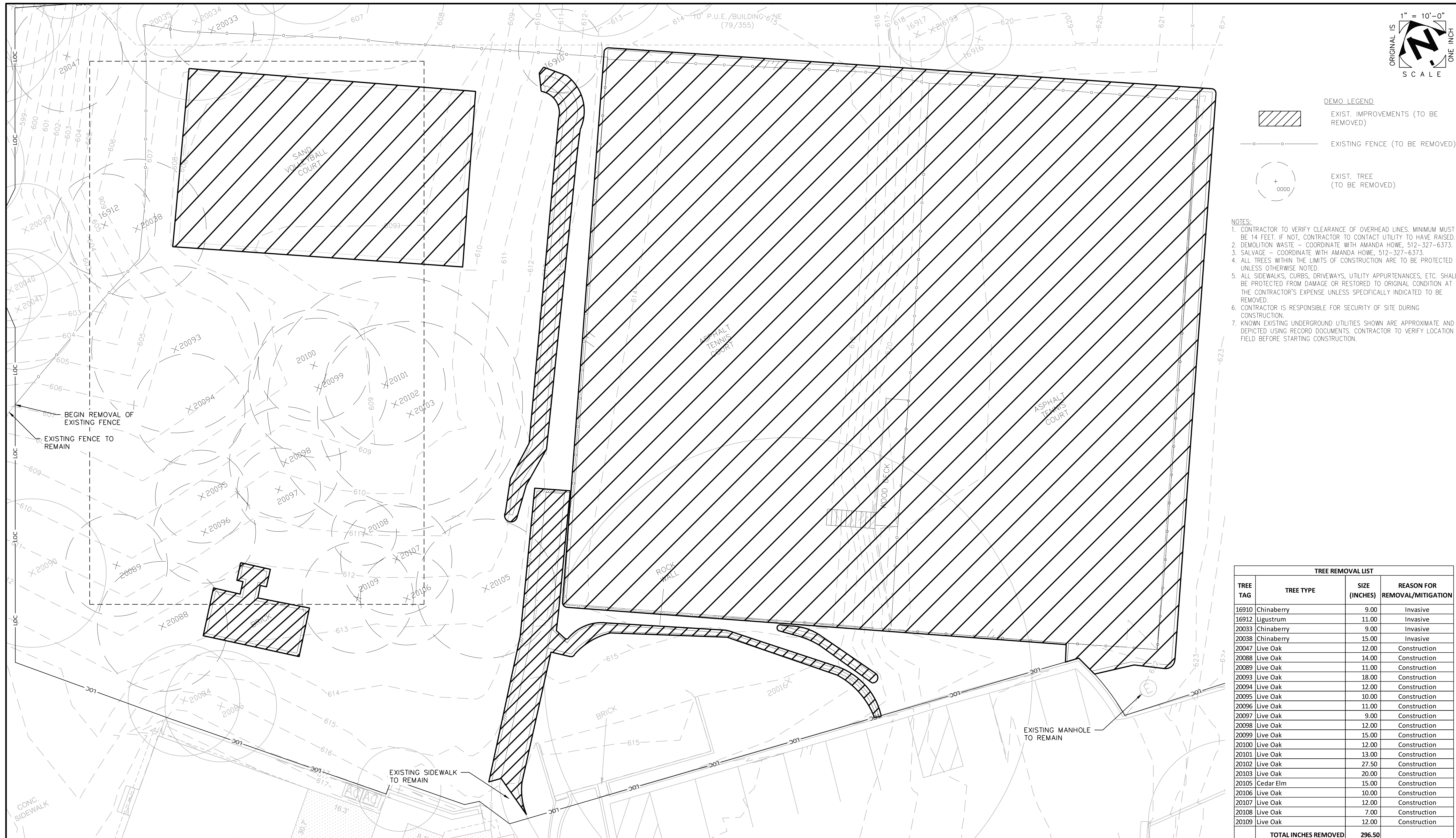
NO.	DATE	DESCRIPTION	BY



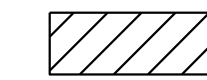
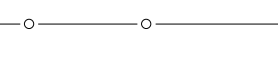
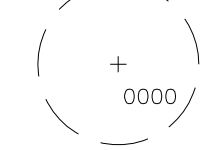
SITE DETAILS
Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 7/7/2020
JOB NO: 863-01
191
6 OF 26

File: Y:\863-01_WHP_Athletic_Club\CAD\Sheets\191_Site_Details.dwg 22x34



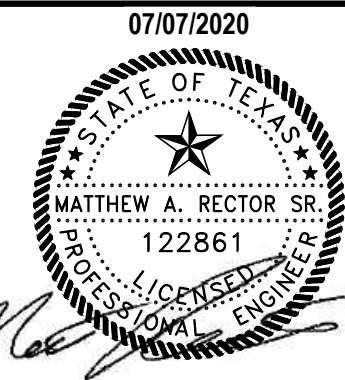
DEMO LEGEND

-  EXIST. IMPROVEMENTS (TO BE REMOVED)
-  EXISTING FENCE (TO BE REMOVED)
-  EXIST. TREE (TO BE REMOVED)

NOTES:

1. CONTRACTOR TO VERIFY CLEARANCE OF OVERHEAD LINES. MINIMUM MUST BE 14 FEET. IF NOT, CONTRACTOR TO CONTACT UTILITY TO HAVE RAISED.
2. DEMOLITION WASTE - COORDINATE WITH AMANDA HOWE, 512-327-6373.
3. SALVAGE - COORDINATE WITH AMANDA HOWE, 512-327-6373.
4. ALL TREES WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED UNLESS OTHERWISE NOTED.
5. ALL SIDEWALKS, CURBS, DRIVEWAYS, UTILITY APPURTENANCES, ETC. SHALL BE PROTECTED FROM DAMAGE OR RESTORED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE UNLESS SPECIFICALLY INDICATED TO BE REMOVED.
6. CONTRACTOR IS RESPONSIBLE FOR SECURITY OF SITE DURING CONSTRUCTION.
7. KNOWN EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND DEPICTED USING RECORD DOCUMENTS. CONTRACTOR TO VERIFY LOCATION IN FIELD BEFORE STARTING CONSTRUCTION.

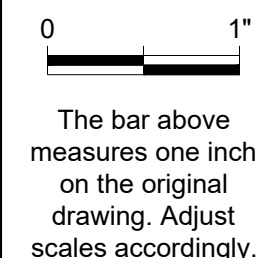
TREE REMOVAL LIST			
TREE TAG	TREE TYPE	SIZE (INCHES)	REASON FOR REMOVAL/MITIGATION
16910	Chinaberry	9.00	Invasive
16912	Ligustrum	11.00	Invasive
20033	Chinaberry	9.00	Invasive
20038	Chinaberry	15.00	Invasive
20047	Live Oak	12.00	Construction
20088	Live Oak	14.00	Construction
20089	Live Oak	11.00	Construction
20093	Live Oak	18.00	Construction
20094	Live Oak	12.00	Construction
20095	Live Oak	10.00	Construction
20096	Live Oak	11.00	Construction
20097	Live Oak	9.00	Construction
20098	Live Oak	12.00	Construction
20099	Live Oak	15.00	Construction
20100	Live Oak	12.00	Construction
20101	Live Oak	13.00	Construction
20102	Live Oak	27.50	Construction
20103	Live Oak	20.00	Construction
20105	Cedar Elm	15.00	Construction
20106	Live Oak	10.00	Construction
20107	Live Oak	12.00	Construction
20108	Live Oak	7.00	Construction
20109	Live Oak	12.00	Construction
TOTAL INCHES REMOVED		296.50	



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TBPLS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY



DEMOLITION PLAN

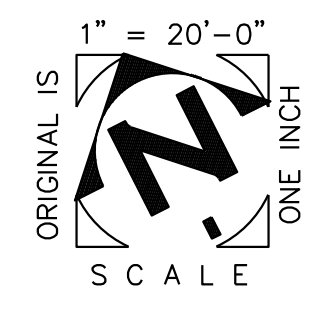
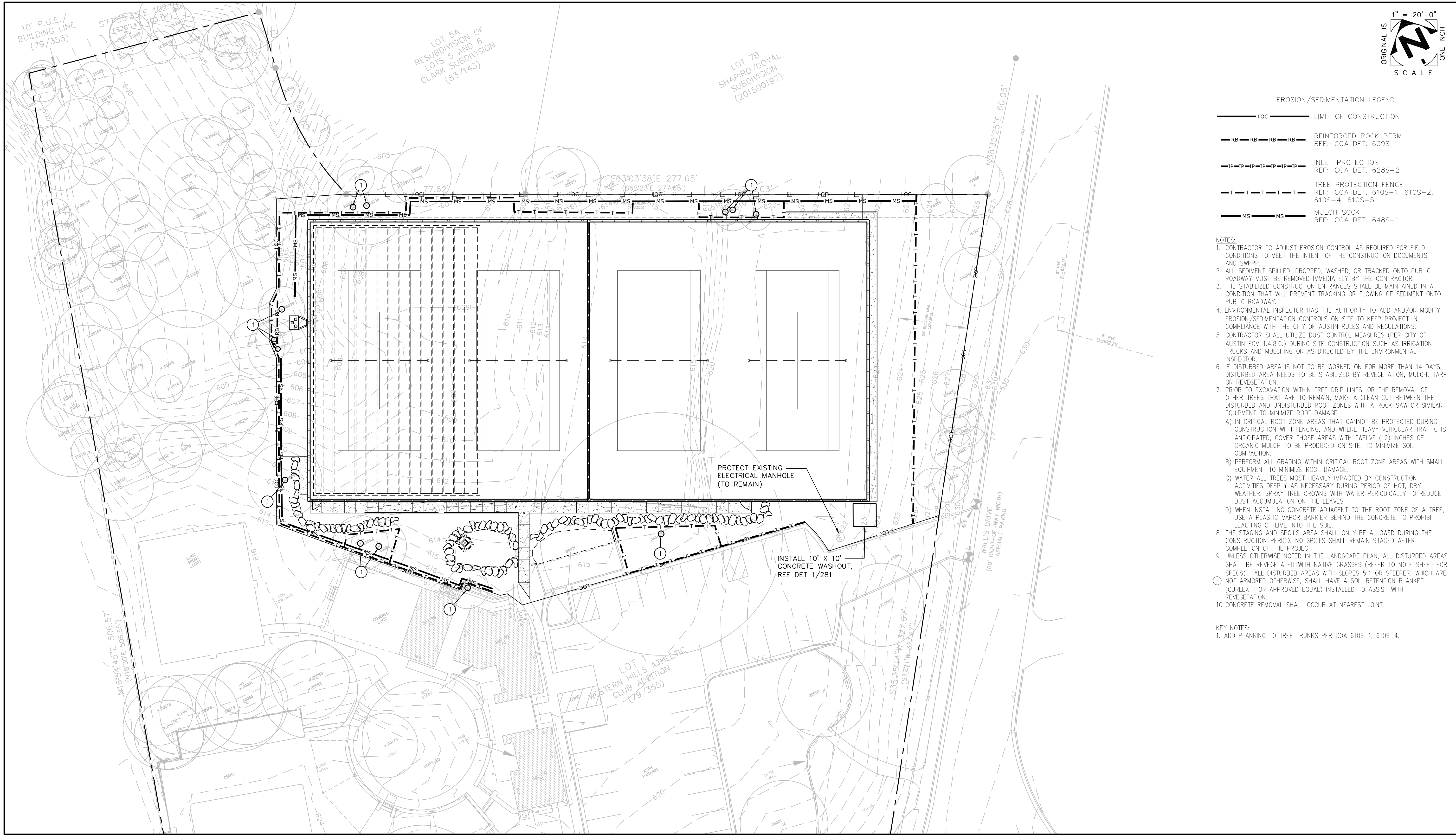
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201

7 OF 26

File: Y:\B63-01_WHL_Athletic_Club\CAD\Sheets\201_Demo_Plan.dwg 22x34



EROSION/SEDIMENTATION LEGEND

- LOC** LIMIT OF CONSTRUCTION
- RB** REINFORCED ROCK BERM
REF: COA DET. 639S-1
- IP** INLET PROTECTION
REF: COA DET. 628S-2
- T** TREE PROTECTION FENCE
REF: COA DET. 610S-1, 610S-2, 610S-4, 610S-5
- MS** MULCH SOCK
REF: COA DET. 648S-1

- NOTES:**
1. CONTRACTOR TO ADJUST EROSION CONTROL AS REQUIRED FOR FIELD CONDITIONS TO MEET THE INTENT OF THE CONSTRUCTION DOCUMENTS AND SWPPP.
 2. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
 3. THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY.
 4. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
 5. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES (PER CITY OF AUSTIN ECM 1.4.8.C.) DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
 6. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION.
 7. PRIOR TO EXCAVATION WITHIN TREE DRIP LINES, OR THE REMOVAL OF OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.
 - A) IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING, AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH TWELVE (12) INCHES OF ORGANIC MULCH TO BE PRODUCED ON SITE, TO MINIMIZE SOIL COMPACTION.
 - B) PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.
 - C) WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY AS NECESSARY DURING PERIOD OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
 - D) WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
 8. THE STAGING AND SPOILS AREA SHALL ONLY BE ALLOWED DURING THE CONSTRUCTION PERIOD. NO SPOILS SHALL REMAIN STAGED AFTER COMPLETION OF THE PROJECT.
 9. UNLESS OTHERWISE NOTED IN THE LANDSCAPE PLAN, ALL DISTURBED AREAS SHALL BE REVEGETATED WITH NATIVE GRASSES (REFER TO SHEET FOR SPECS). ALL DISTURBED AREAS WITH SLOPES 5:1 OR STEEPER, WHICH ARE NOT ARMORED OTHERWISE, SHALL HAVE A SOIL RETENTION BLANKET (CURLX II OR APPROVED EQUAL) INSTALLED TO ASSIST WITH REVEGETATION.
 10. CONCRETE REMOVAL SHALL OCCUR AT NEAREST JOINT.

- KEY NOTES:**
1. ADD PLANKING TO TREE TRUNKS PER COA 610S-1, 610S-4.

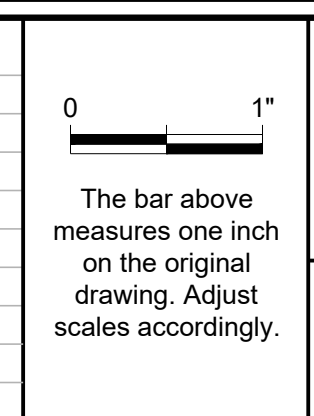
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305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734

TBAE FIRM REGISTRATION NO.: 1452
TBEF FIRM REGISTRATION NO.: F-14116
TBPLS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY



EROSION/SEDIMENTATION CONTROL & TREE PROTECTION PLAN

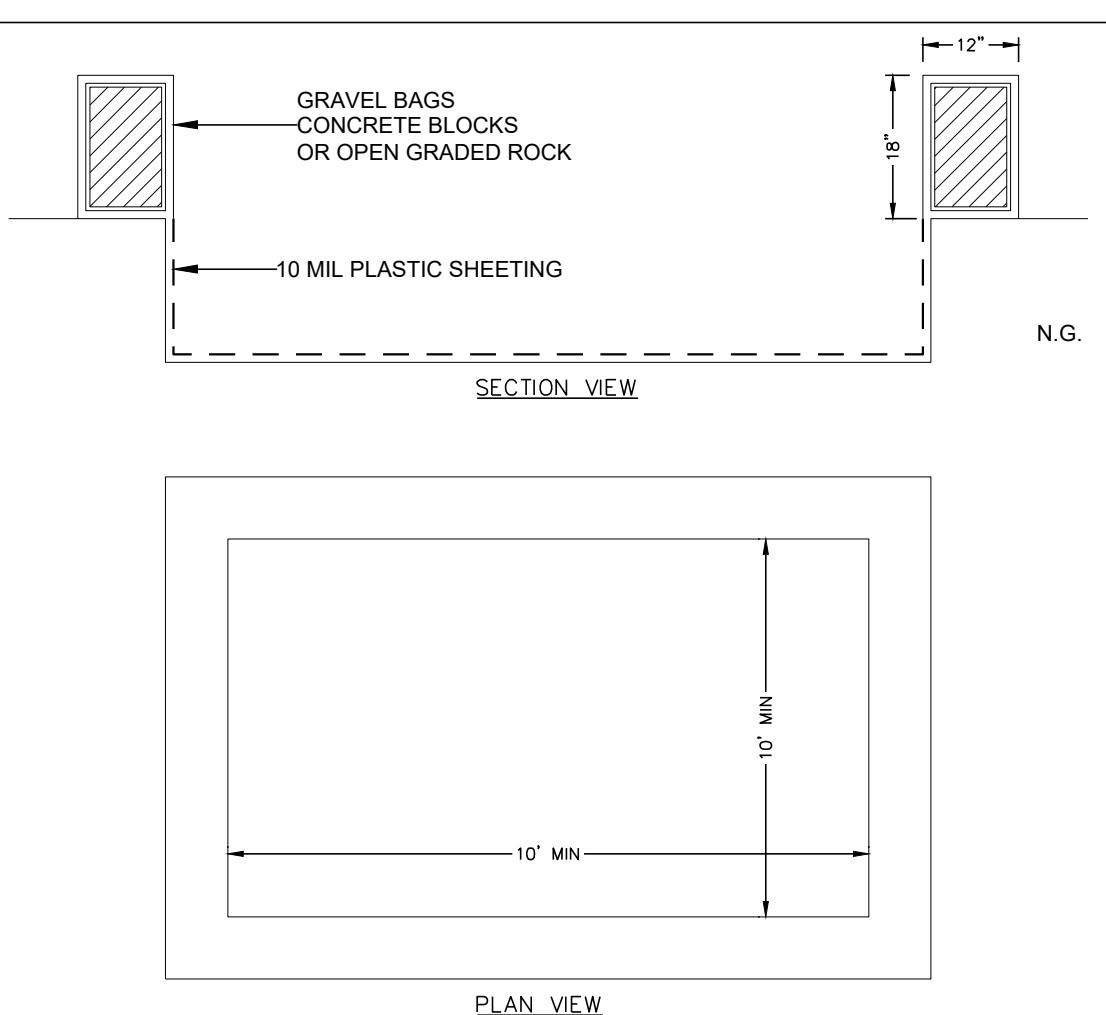
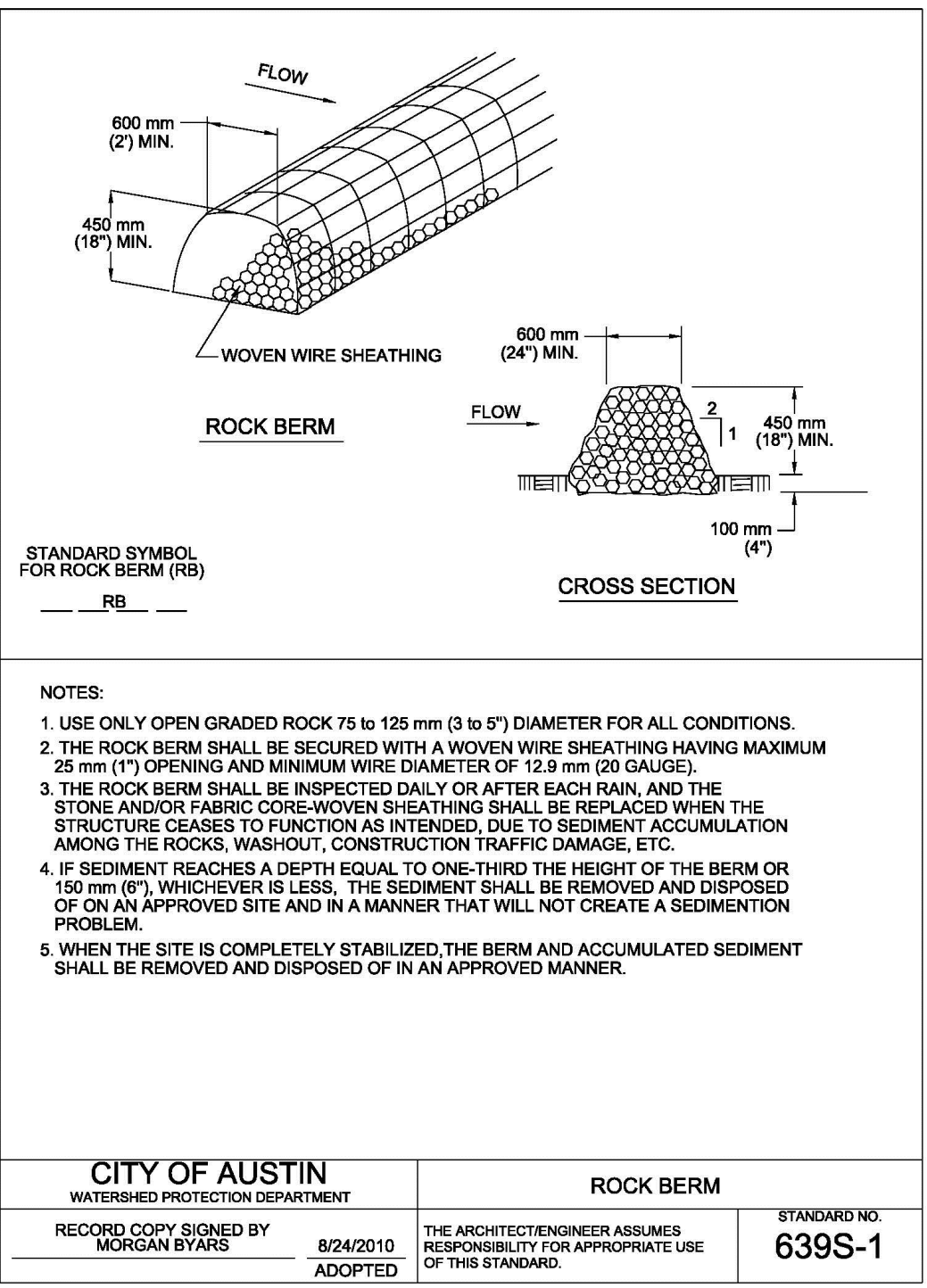
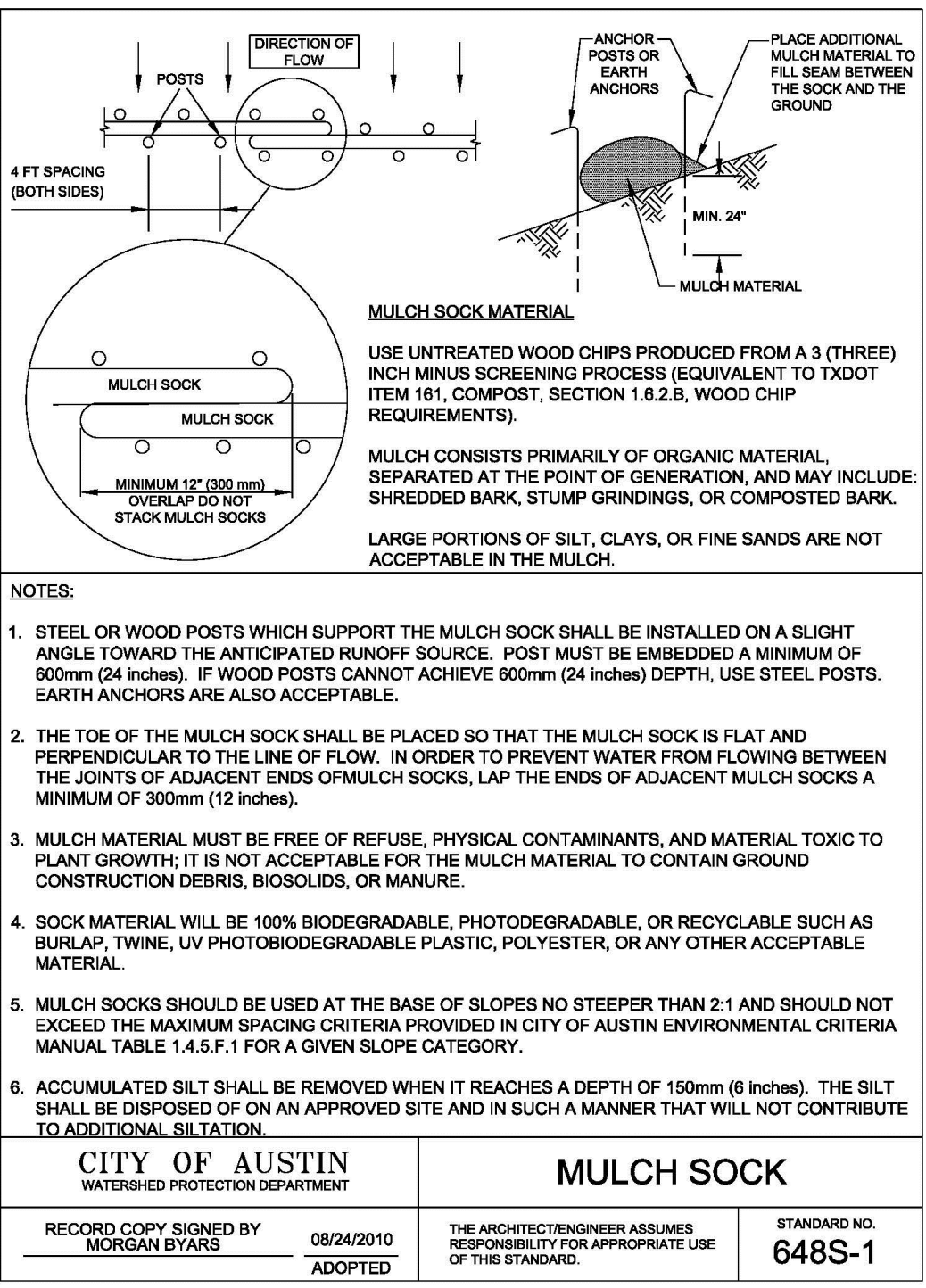
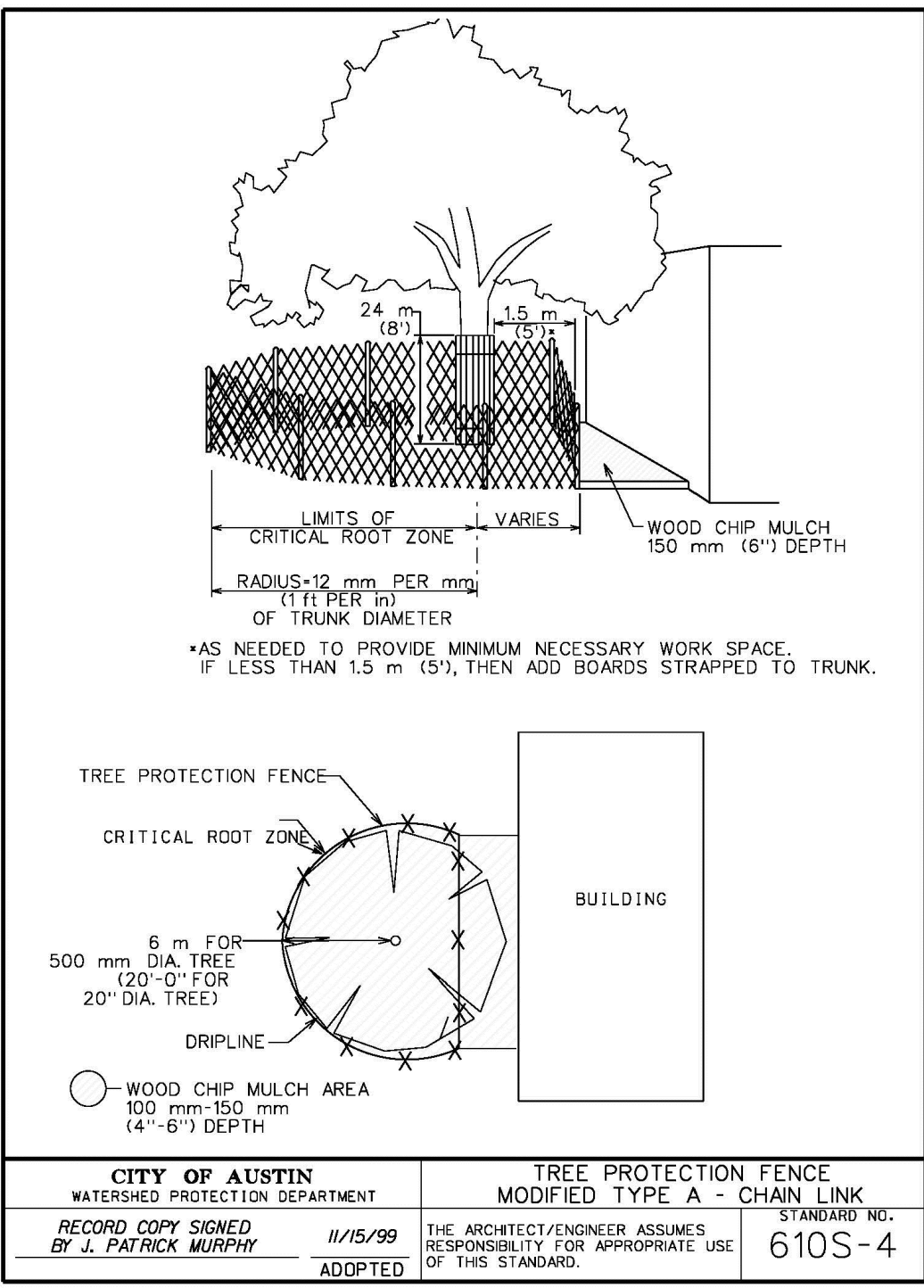
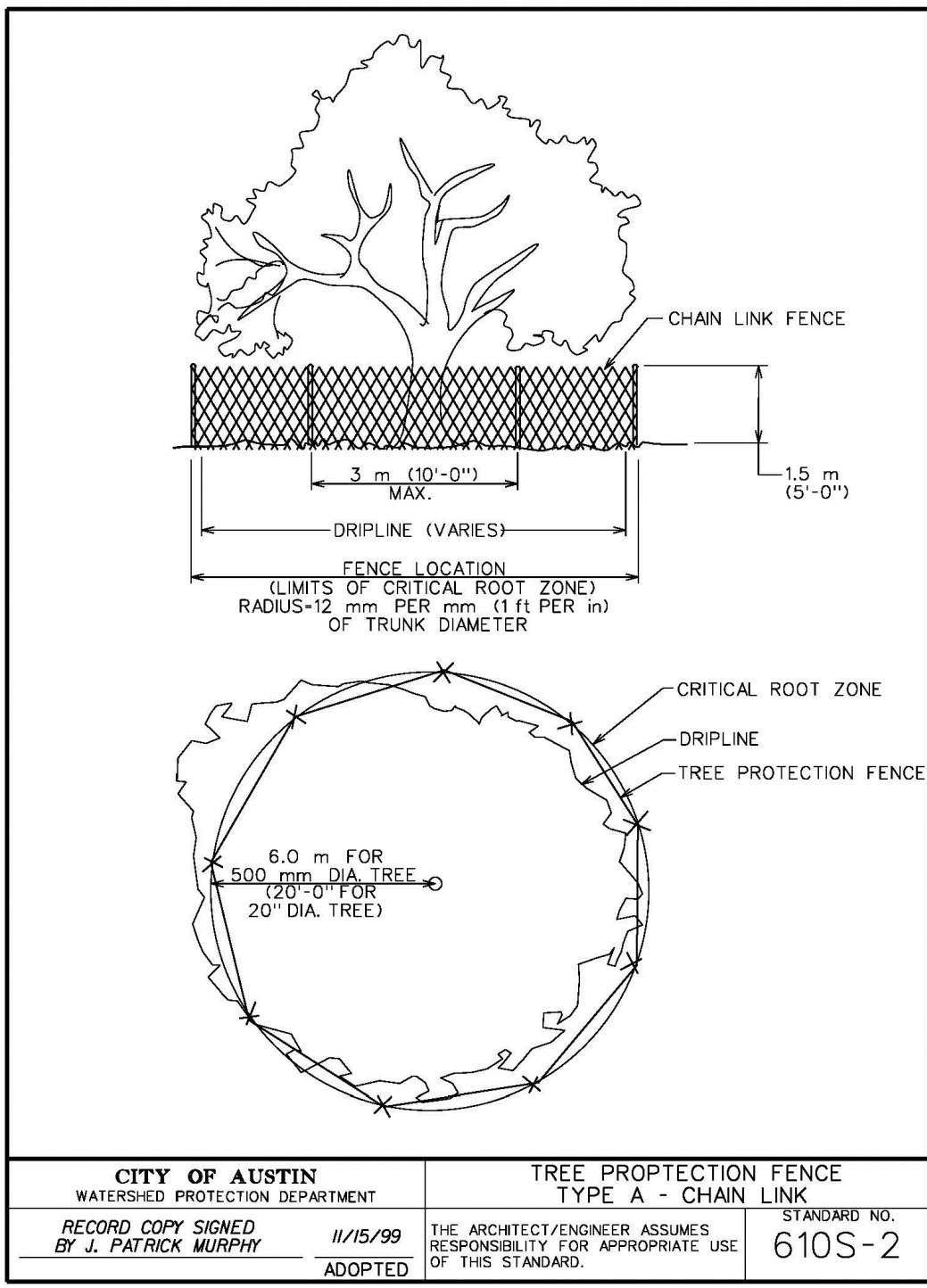
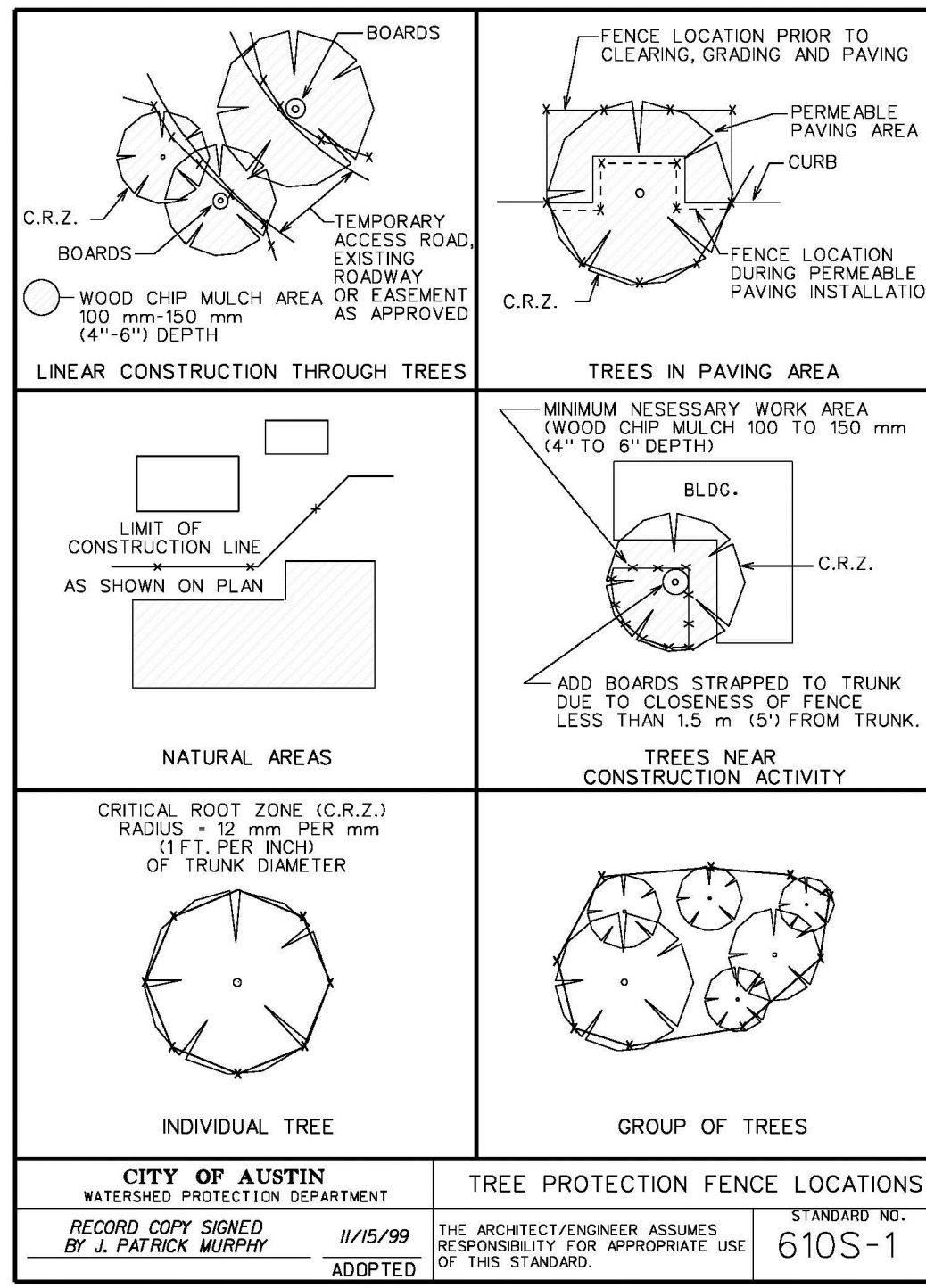
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JOB NO: 863-01

231

8 OF 26

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- THE EXCAVATION FOR THE CONCRETE TRUCK WASHOUT SHALL BE A MINIMUM OF 10 FEET WIDE AND OF SUFFICIENT LENGTH AND DEPTH TO ACCOMMODATE 7 GALLONS OF WASHOUT WATER AND CONCRETE PER TRUCK PER DAY AND/OR 50 GALLONS OF WASHOUT WATER AND CONCRETE PER PUMP TRUCK PER DAY.
- IN THE EVENT THAT THE CONCRETE TRUCK WASHOUT IS CONSTRUCTED ABOVE GROUND, IT SHALL BE 10 FEET WIDE AND 10 FEET LONG WITH THE SAME REQUIREMENTS FOR CONTAINMENT AS DESCRIBED IN ITEM 1.
- THE CONTAINMENT AREA SHALL BE LINED WITH 10 MIL PLASTIC SHEETING WITHOUT HOLES OR TEARS, WHERE THERE ARE SEAMS, THESE SHALL BE SECURED ACCORDING TO MANUFACTURERS DIRECTIONS.
- THE BERM CONSISTING OF GRAVEL BAGS, CONCRETE BLOCKS OR OPEN GRADED ROCK SHALL BE NO LESS THAN 18 INCHES HIGH AND NO LESS THAN 12 INCHES WIDE.
- THE PLASTIC SHEETING SHALL BE OF SUFFICIENT SIZE SO THAT IT WILL OVERLAP THE TOP OF THE CONTAINMENT AREA AND BE WRAPPED AROUND THE GRAVEL BAGS, CONCRETE BLOCKS OR OPEN GRADED ROCK AT LEAST 2 TIMES.
- THE GRAVEL BAGS OR CONCRETE BLOCKS SHALL BE PLACED ABUTTING EACH OTHER TO FORM A CONTINUOUS BERM AROUND THE OUTER PERIMETER OF THE CONTAINMENT AREA.
- THE WASHOUT MATERIAL IN THE CONTAINMENT AREA SHALL NOT EXCEED 50% OF CAPACITY AT ANY ONE TIME.
- SOLIDS SHALL BE REMOVED FROM CONTAINMENT AREA AND DISPOSED OF PROPERLY, ANY DAMAGE TO THE PLASTIC SHEETING SHALL BE REPAIRED OR SHEETING REPLACED BEFORE THE NEXT USE.

1 10' x 10' CONCRETE WASHOUT
281 SCALE: NTS



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Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734

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TBLPS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY

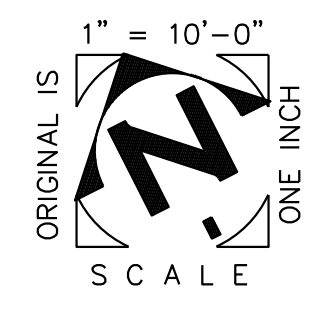
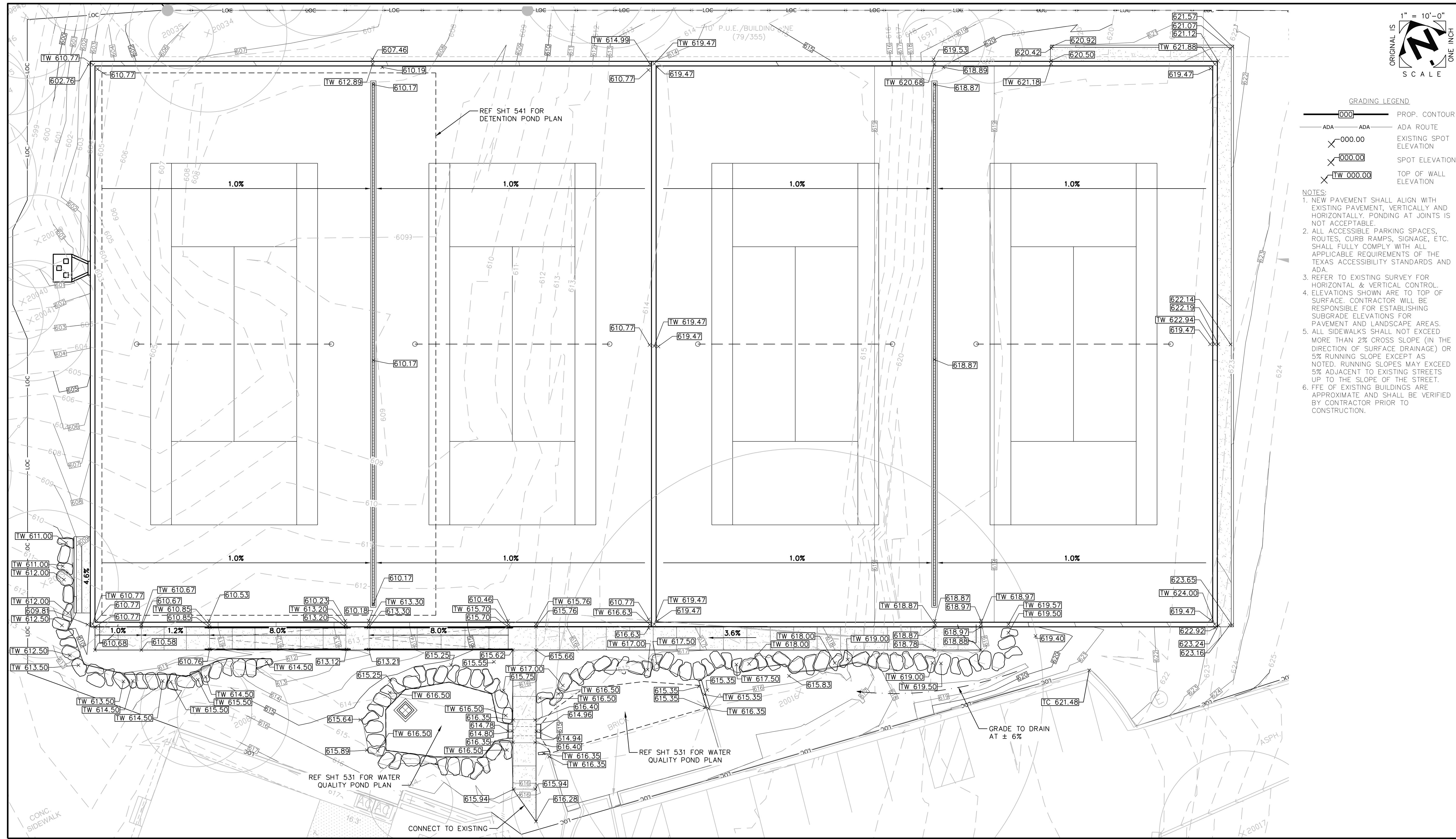
EROSION / SEDIMENTATION CONTROL & TREE PROTECTION DETAILS

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281

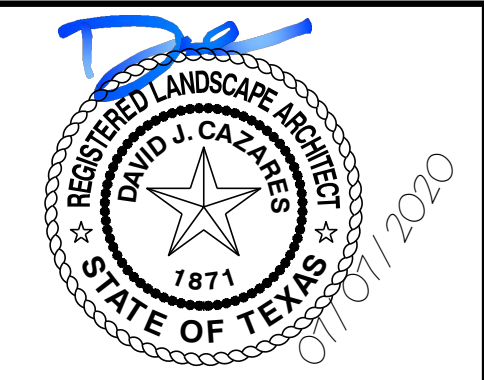
9 OF 26



GRADING LEGEND

	PROP. CONTOUR
	ADA ROUTE
	EXISTING SPOT ELEVATION
	SPOT ELEVATION
	TOP OF WALL ELEVATION

- NOTES:**
1. NEW PAVEMENT SHALL ALIGN WITH EXISTING PAVEMENT, VERTICALLY AND HORIZONTALLY. PONDING AT JOINTS IS NOT ACCEPTABLE.
 2. ALL ACCESSIBLE PARKING SPACES, ROUTES, CURB RAMPS, SIGNAGE, ETC. SHALL FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS AND ADA.
 3. REFER TO EXISTING SURVEY FOR HORIZONTAL & VERTICAL CONTROL.
 4. ELEVATIONS SHOWN ARE TO TOP OF SURFACE. CONTRACTOR WILL BE RESPONSIBLE FOR ESTABLISHING SUBGRADE ELEVATIONS FOR PAVEMENT AND LANDSCAPE AREAS.
 5. ALL SIDEWALKS SHALL NOT EXCEED MORE THAN 2% GROSS SLOPE (IN THE DIRECTION OF SURFACE DRAINAGE) OR 5% RUNNING SLOPE EXCEPT AS NOTED. RUNNING SLOPES MAY EXCEED 5% ADJACENT TO EXISTING STREETS UP TO THE SLOPE OF THE STREET.
 6. FFE OF EXISTING BUILDINGS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

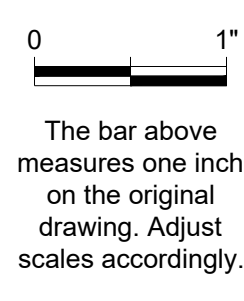


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f: 512.453.1734

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NO.	DATE	DESCRIPTION	BY



GRADING PLAN

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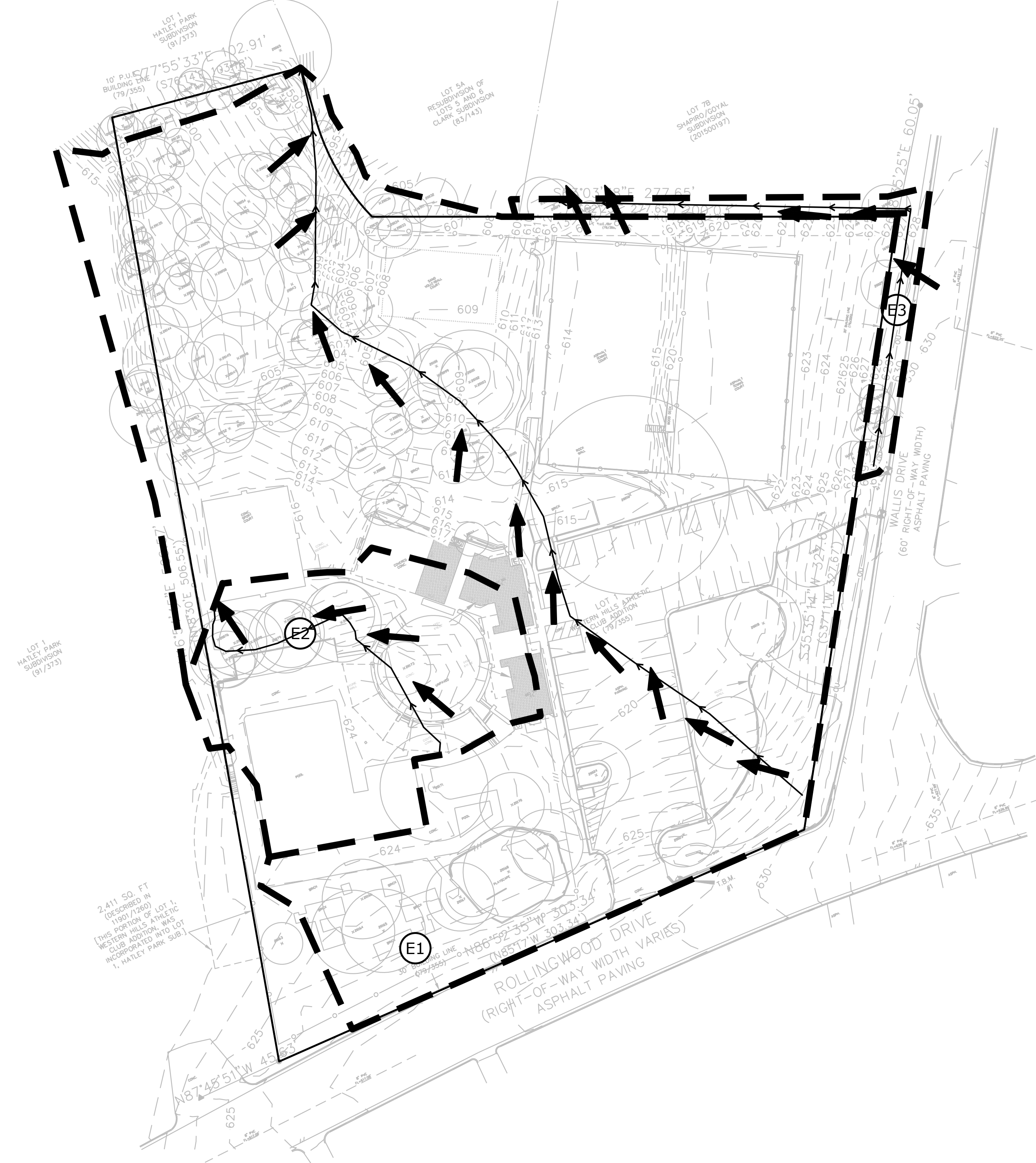
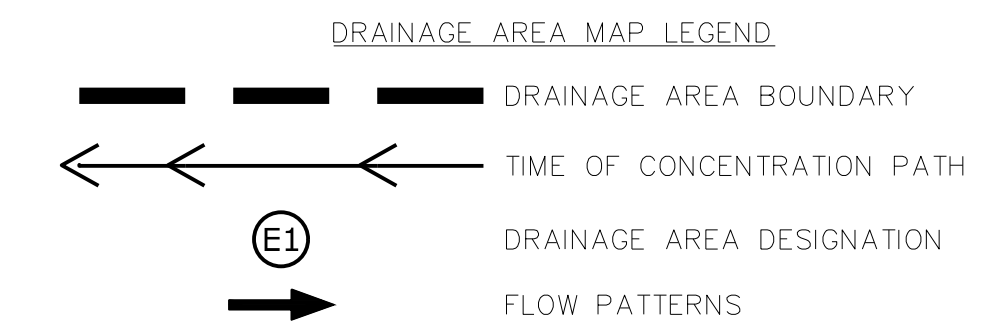
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301

10 OF 26

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 SCALE
 ONE INCH

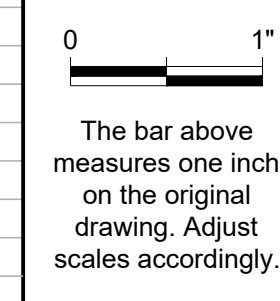


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 TBPLS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY



EXISTING DRAINAGE AREA MAP

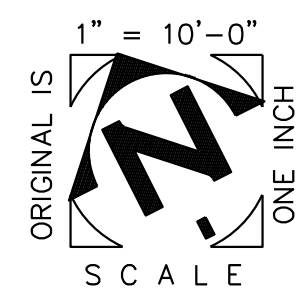
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501

11 OF 26

File: Y:\863-01_WHA_Athletic_CAD\Sheets\501_Existing DAM.dwg 22x34

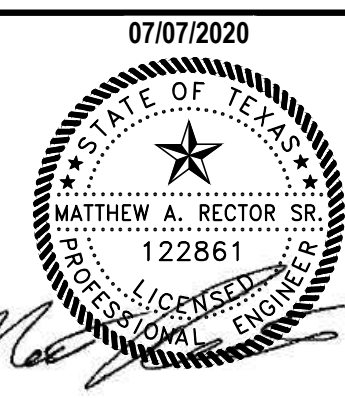


COVER TYPE	HYDROLOGIC CONDITION	CURVE NUMBERS FOR HYDROLOGIC SOIL GROUP				DRAINAGE AREA			COMPOSITE CURVE NUMBER		
		A	B	C	D	1	2	3	1	2	3
Fully developed urban areas (vegetation established)									0	0	0
Open space (lawns, parks, golf courses, cemeteries, etc.)									0	0	0
Poor condition (grass cover 50%)		68	79	86	89				0	0	0
Fair condition (grass cover 50% to 75%)		49	69	79	84				0	0	0
Good condition (grass cover 75%)		39	61	74	80	70853.43	11579.51	4361.65	5668274.4	926360.8	348932
Impervious areas:									0	0	0
Paved parking lots, roofs, driveways, etc. (excluding right of way)		98	98	98	98	44958.42	8107.42	0.00	4405925.16	794527.16	0
Streets and roads:									0	0	0
Paved; curbs and storm drains (excluding right of way)		98	98	98	98				0	0	0
Paved; open ditches (including right of way)		83	89	92	93				0	0	0
Gravel (including right of way)		76	85	89	91				0	0	0
Dirt (including right of way)		72	82	87	89				0	0	0
Developing urban area									0	0	0
Newly graded areas (pervious areas only, no vegetation)		77	86	91	94				0	0	0
Agricultural lands									0	0	0
Grassland, or range-continuous forage for grazing	Poor	68	79	86	89				0	0	0
	Fair	49	69	79	84				0	0	0
	Good	39	61	74	80				0	0	0
Meadow-continuous grass, protected from grazing and generally mowed for hay		30	58	71	78				0	0	0
Brush - brush-weed-grass mixture with brush the major element	Poor	48	67	77	83				0	0	0
	Fair	35	56	70	77				0	0	0
	Good	30	48	65	73				0	0	0
Woods - grass combination (orchard or tree farm)	Poor	57	73	82	86				0	0	0
	Fair	43	65	76	79				0	0	0
	Good	32	58	72	79				0	0	0
Woods - grass combination (orchard or tree farm)	Poor	45	66	77	83				0	0	0
	Fair	36	60	73	79				0	0	0
	Good	30	55	70	77				0	0	0
Farmstead - buildings, lanes, driveways and surrounding lots		59	74	82	86				0	0	0
						SF	115811.85	19686.93	4361.65	87	87
						AC	2.66	0.45	0.10		
						SM	0.004154171	0.00070617	0.000156452		
						% Imp	39%	41%	0%		

E1	
Start Station	0.00 ft
End Station	85.00 ft
Length (L)	85 ft
Manning's n	0.15
2-year 24-hour rain	3.44 inches
Start Elev	629.88 ft
End Elev	620.21 ft
Slope (S)	0.114 ft/ft
T _t	4 minutes
Sheet Flow	
Start Station	85.00 ft
End Station	505.00 ft
Length	420 ft
Start Elev	620.21 ft
End Elev	586.05 ft
Slope (S)	0.081 ft/ft
Surface	UnPaved
T _t	2 minutes
Shallow Concentrated Flow	
Cross Sectional Area (A)	0.25 sf
Wetted Perimeter (P)	2.00 ft
Hydraulic Radius (r)	0.125 ft
Start Elev	586.05 ft
End Elev	586.05 ft
Slope (S)	0.00 ft/ft
Manning's n	0.013
Velocity (V)	0.00 fps
Start Station	ft
End Station	ft
Length (L)	0.00 ft
T _t	0.00 minutes
Channel or Storm Drain Flow	
Time of Concentration	6 0.09534
Lag Time	3

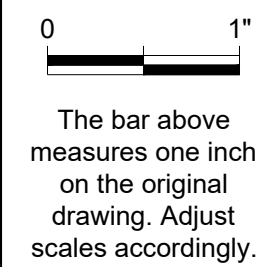
E2	
Start Station	0.00 ft
End Station	100.00 ft
Length (L)	100 ft
Manning's n	0.15
2-year 24-hour rain	3.44 inches
Start Elev	623.981 ft
End Elev	618.12 ft
Slope (S)	0.059 ft/ft
T _t	6 minutes
Sheet Flow	
Start Station	100.00 ft
End Station	184.00 ft
Length	84 ft
Start Elev	618.12 ft
End Elev	616.38 ft
Slope (S)	0.021 ft/ft
Surface	Paved
T _t	0.5 minutes
Shallow Concentrated Flow	
Cross Sectional Area (A)	4.91 sf
Wetted Perimeter (P)	7.85 ft
Hydraulic Radius (r)	0.625 ft
Start Elev	616.382 ft
End Elev	586.362 ft
Slope (S)	0.00 ft/ft
Manning's n	0.013
Velocity (V)	0.00 fps
Start Station	ft
End Station	ft
Length (L)	ft
T _t	0.00 minutes
Channel or Storm Drain Flow	
Time of Concentration	6.5 0.108982
Lag Time	4

E3	
Start Station	0.00 ft
End Station	100.00 ft
Length (L)	100 ft
Manning's n	0.24
2-year 24-hour rain	3.44 inches
Start Elev	629.896 ft
End Elev	628.13 ft
Slope (S)	0.018 ft/ft
T _t	14 minutes
Sheet Flow	
Start Station	100.00 ft
End Station	322.65 ft
Length	223 ft
Start Elev	628.13 ft
End Elev	611.19 ft
Slope (S)	0.076 ft/ft
Surface	Unpaved
T _t	1 minutes
Shallow Concentrated Flow	
Cross Sectional Area (A)	4.91 sf
Wetted Perimeter (P)	7.85 ft
Hydraulic Radius (r)	0.625 ft
Start Elev	611.192 ft
End Elev	586.362 ft
Slope (S)	0.00 ft/ft
Manning's n	0.013
Velocity (V)	0.00 fps
Start Station	ft
End Station	ft
Length (L)	ft
T _t	0.00 minutes
Channel or Storm Drain Flow	
Time of Concentration	15 0.254832
Lag Time	9



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Austin, Texas 78752
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f: 512.453.1734
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EXISTING DRAINAGE AREA CALCULATIONS

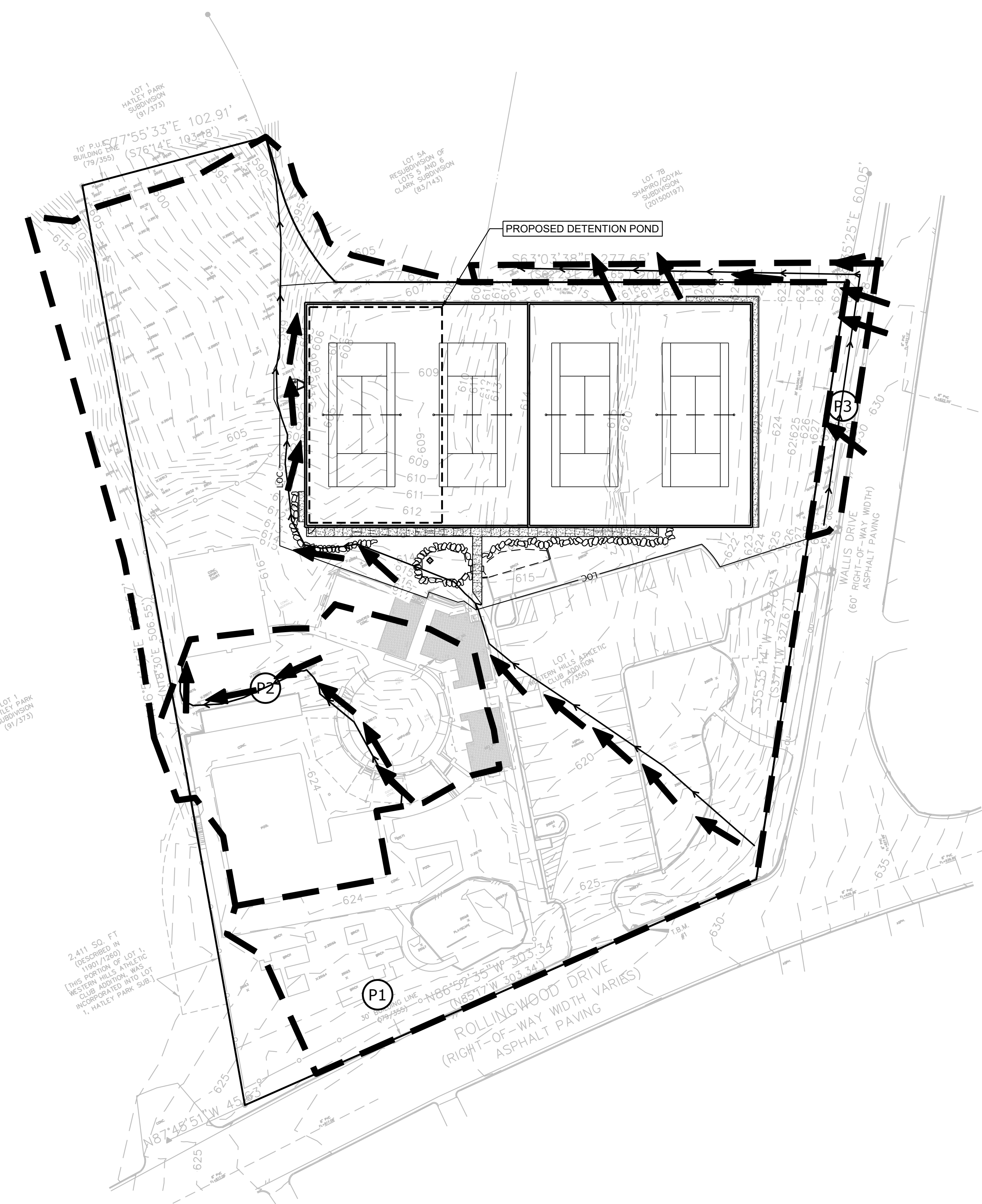
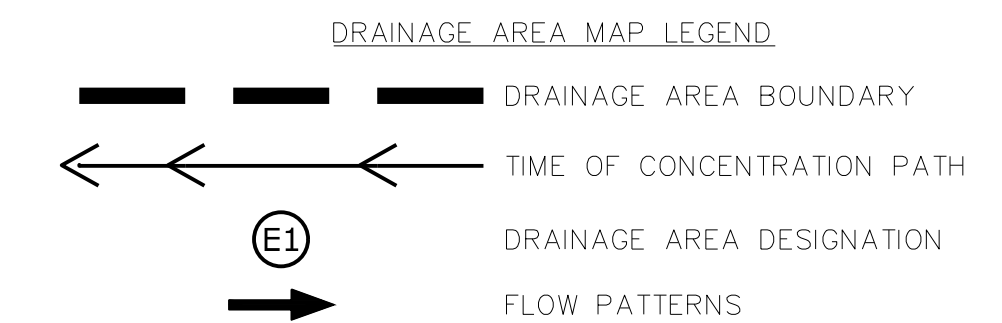
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JOB NO: 863-01

502

12 OF 26

1" = 10'-0"
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 ONE INCH

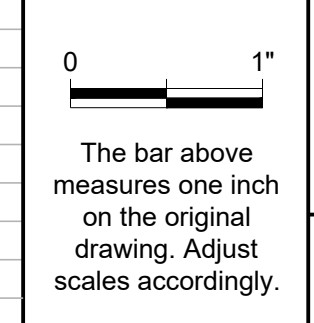


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PROPOSED DRAINAGE AREA MAP

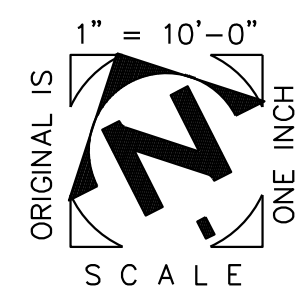
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503

13 OF 26

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P1	
Start Station	0.00 ft
End Station	85.00 ft
Length (L)	85 ft
Manning's n	0.15
2-year 24-hour rain	3.44 inches
Start Elev	629.88 ft
End Elev	620.24 ft
Slope (S)	0.113 ft/ft
T _t	4 minutes
Sheet Flow	
Start Station	85.00 ft
End Station	616.00 ft
Length	531 ft
Start Elev	620.24 ft
End Elev	586.40 ft
Slope (S)	0.064 ft/ft
Surface	Paved
T _t	2 minutes
Shallow Concentrated Flow	
Cross Sectional Area (A)	0.25 sf
Wetted Perimeter (P)	2.00 ft
Hydraulic Radius (r)	0.125 ft
Start Elev	586.40 ft
End Elev	623.71 ft
Slope (S)	0.00 ft/ft
Manning's n	0.013
Velocity (V)	0.00 fps
Start Station	ft
End Station	ft
Length (L)	ft
T _t	0.00 minutes
Channel or Storm Drain Flow	
Time of Concentration	6 0.098812705
Lag Time	4

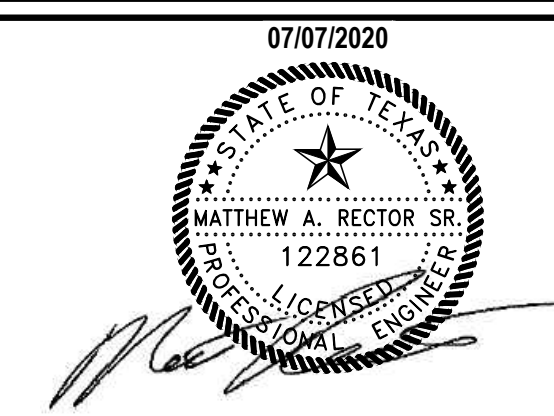
P2	
Start Station	0 ft
End Station	100 ft
Length (L)	100 ft
Manning's n	0.15
2-year 24-hour rain	3.44 inches
Start Elev	623.98 ft
End Elev	618.12 ft
Slope (S)	0.059 ft/ft
T _t	6 minutes
Sheet Flow	
Start Station	100 ft
End Station	184 ft
Length	84 ft
Start Elev	618.12 ft
End Elev	616.38 ft
Slope (S)	0.021 ft/ft
Surface	Unpaved
T _t	1 minutes
Shallow Concentrated Flow	
Cross Sectional Area (A)	1.7671459 sf
Wetted Perimeter (P)	4.712389 ft
Hydraulic Radius (r)	0.375 ft
Start Elev	616.38 ft
End Elev	687.926 ft
Slope (S)	0.02 ft/ft
Manning's n	0.013
Velocity (V)	8.43 fps
Start Station	ft
End Station	ft
Length (L)	ft
T _t	0.00 minutes
Channel or Storm Drain Flow	
Time of Concentration	7 0.11104
Lag Time	4

P3	
Start Station	0.00 ft
End Station	100.00 ft
Length (L)	100 ft
Manning's n	0.24
2-year 24-hour rain	3.44 inches
Start Elev	629.896 ft
End Elev	628.13 ft
Slope (S)	0.018 ft/ft
T _t	14 minutes
Sheet Flow	
Start Station	100.00 ft
End Station	322.65 ft
Length	223 ft
Start Elev	628.13 ft
End Elev	611.19 ft
Slope (S)	0.076 ft/ft
Surface	Unpaved
T _t	1 minutes
Shallow Concentrated Flow	
Cross Sectional Area (A)	4.91 sf
Wetted Perimeter (P)	7.85 ft
Hydraulic Radius (r)	0.625 ft
Start Elev	611.192 ft
End Elev	586.362 ft
Slope (S)	0.00 ft/ft
Manning's n	0.013
Velocity (V)	0.00 fps
Start Station	ft
End Station	ft
Length (L)	ft
T _t	0.00 minutes
Channel or Storm Drain Flow	
Time of Concentration	15 0.2548
Lag Time	9

RUNOFF SUMMARY HMS						
Point of Analysis	Storm Event	Existing Flow (cfs)	Proposed Without Detention	Proposed flow with detention	Net Change W/O Detention (cfs) (Proposed-Exist)	NetChange W/ Detention (cfs) (Propose-Exist)
E1/P1	2 Year	6.4	6.6	2.8	0.2	-3.6
E1/P1	5 Year	9.9	10	5.4	0.1	-4.5
E1/P1	10 Year	12.4	12.5	6.6	0.1	-5.8
E1/P1	25 Year	15.9	15.8	8.1	-0.1	-7.8
E1/P1	50 Year	18.7	18.5	9.2	-0.2	-9.5
E1/P1	100 Year	21.7	21.4	10.2	-0.3	-11.5
E1/P1	250 Year	25.7	25.3	11.5	-0.4	-14.2
E1/P1	500 Year	29	28.5	13.7	-0.5	-15.3
E2/P2	2 Year	1.1	1.1	0	0	-1.1
E2/P2	5 Year	1.6	1.6	0	0	-1.6
E2/P2	10 Year	2.1	2.1	0	0	-2.1
E2/P2	25 Year	2.6	2.6	0	0	-2.6
E2/P2	50 Year	3.1	3.1	0	0	-3.1
E2/P2	100 Year	3.6	3.6	0	0	-3.6
E2/P2	250 Year	4.3	4.3	0	0	-4.3
E2/P2	500 Year	4.8	4.8	0	0	-4.8
E3/P3	2 Year	0.1	0.1	0	0	-0.1
E3/P3	5 Year	0.2	0.2	0	0	-0.2
E3/P3	10 Year	0.3	0.3	0	0	-0.3
E3/P3	25 Year	0.4	0.4	0	0	-0.4
E3/P3	50 Year	0.5	0.5	0	0	-0.5
E3/P3	100 Year	0.6	0.6	0	0	-0.6
E3/P3	250 Year	0.7	0.7	0	0	-0.7
E3/P3	500 Year	0.8	0.8	0	0	-0.8

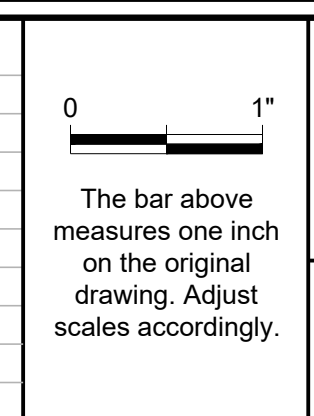
For both proposed and existing conditions, drainage area 2 and 3 do not flow through the project area. Hence the flow is considered as an offsite flow for this project.

COVER TYPE	HYDROLOGIC CONDITION	CURVE NUMBERS FOR HYDROLOGIC SOIL GROUP				DRAINAGE AREA			COMPOSITE CURVE NUMBER		
		A	B	C	D	P1	P2	P3	P1	P2	P3
Fully developed urban areas (vegetation established)									0	0	0
Open space (lawns, parks, golf courses, cemeteries, etc.)									0	0	0
Poor condition (grass cover 50%)		68	79	86	89				0	0	0
Fair condition (grass cover 50% to 75%)		49	69	79	84				0	0	0
Good condition (grass cover 75%)		39	61	74	80	55733.08	11579.53	4361.65	4458646.4	926362.4	348932
Impervious areas:									0	0	0
Paved parking lots, roofs, driveways, etc. (excluding right of way)		98	98	98	98	60078.72	8107.45	0.00	5887714.6	794530.1	0
Streets and roads:									0	0	0
Paved; curbs and storm drains (excluding right of way)		98	98	98	98				0	0	0
Paved; open ditches (including right of way)		83	89	92	93				0	0	0
Gravel (including right of way)		76	85	89	91				0	0	0
Dirt (including right of way)		72	82	87	89				0	0	0
Developing urban area									0	0	0
Newly graded areas (pervious areas only, no vegetation)		77	86	91	94				0	0	0
Agricultural lands									0	0	0
Grassland, or range-continuous forage for grazing	Poor	68	79	86	89				0	0	0
	Fair	49	69	79	84				0	0	0
	Good	39	61	74	80				0	0	0
Meadow-continuous grass, protected from grazing and generally mowed for hay		30	58	71	78				0	0	0
Brush - brush-weed-grass mixture with brush the major element	Poor	48	67	77	83				0	0	0
	Fair	35	56	70	77				0	0	0
	Good	30	48	65	73				0	0	0
Woods - grass combination (orchard or tree farm)	Poor	57	73	82	86				0	0	0
	Fair	43	65	76	79				0	0	0
	Good	32	58	72	79				0	0	0
Woods - grass combination (orchard or tree farm)	Poor	45	66	77	83				0	0	0
	Fair	36	60	73	79				0	0	0
	Good	30	55	70	77				0	0	0
Farmstead - buildings, lanes, driveways and surrounding lots		59	74	82	86				0	0	0
									0	0	0
					SF	115811.8	19686.98	4361.65	89	87	80
					AC	2.66	0.45	0.10			
					SM	0.004154169	0.000706172	0.000156452			
					% Imp	52%	41%	0%			



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 305 East Huntland Drive
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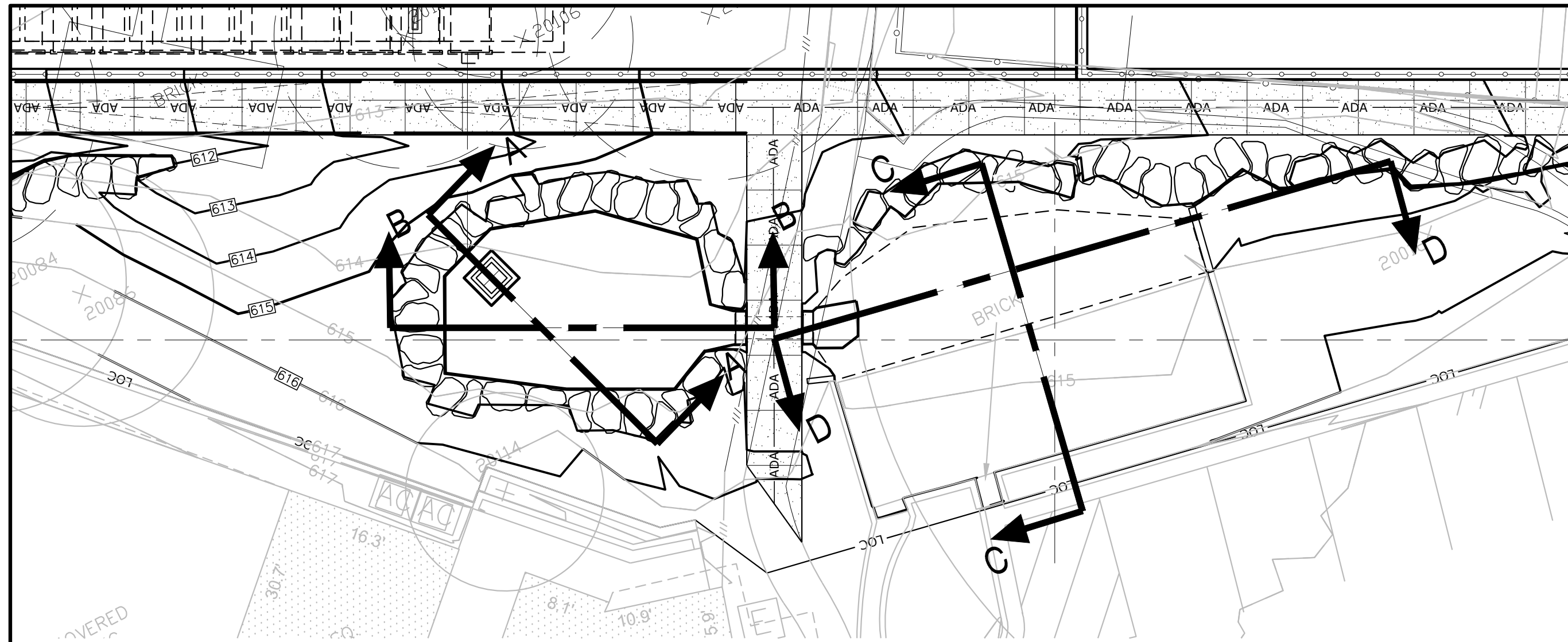
PROPOSED DRAINAGE AREA CALCULATIONS

Western Hills Athletic Club
 4801 Rollingwood Drive
 Austin, TX 78746

PLOTTED: 7/7/2020
 JOB NO: 863-01

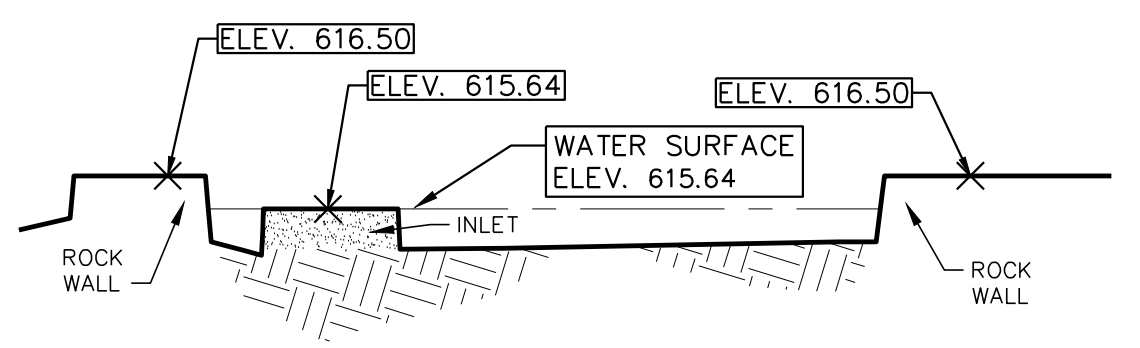
504

 14 OF 26

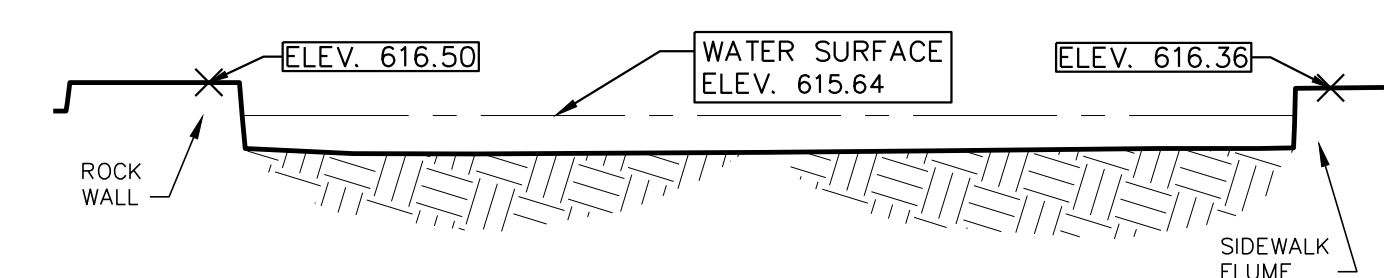


STAGE STORAGE TABLE

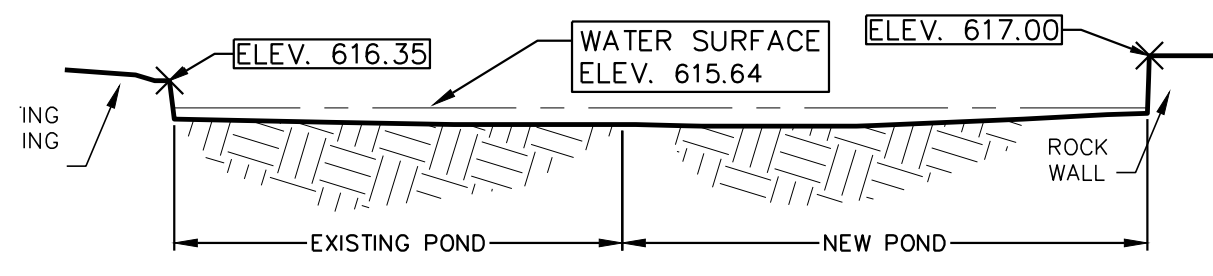
Elevation Area	Depth	Volume
615	341.3957	0
615.64		462.5
616	1109.3625	1 725.3791



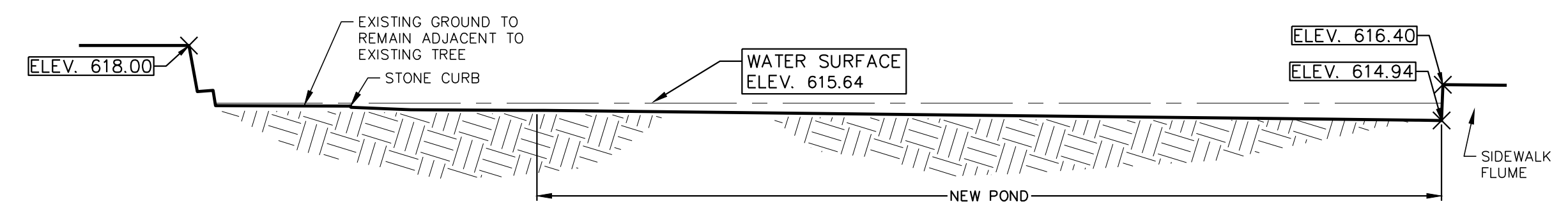
A POND - SECTION A
SCALE: 1" = 5'



B POND - SECTION B
SCALE: 1" = 5'



C POND - SECTION C
SCALE: 1" = 5'



D POND - SECTION D
SCALE: 1" = 5'

Texas Commission on Environmental Quality
TSS Removal Calculations 04-20-2009
 Project Name: **WESTERN HILLS ATHLETIC CENTER**
 Date Prepared: **2/24/2020**

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.
 Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348.
 Characters shown in red are data entry fields.
 Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.

1. The Required Load Reduction for the total project: Calculations from RG-348 Pages 3-27 to 3-30

Page 3-29 Equation 3.3: $L_d = 27.2(A_p \times P)$

where: L_d TOTAL PROJECT = Required TSS removal resulting from the proposed development = 80% of increased load
 A_p = Net increase in impervious area for the project
 P = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project
 County = **Travis**
 Total project area included in plan = **3.21** acres
 Predevelopment impervious area within the limits of the plan = **1.22** acres
 Total post-development impervious area within the limits of the plan = **1.57** acres
 Total post-development impervious cover fraction = **0.49**
 P = **32** inches

L_d TOTAL PROJECT = **305** lbs.
 * The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **1**

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = **1**
 Total drainage basin/outfall area = **2.66** acres
 Predevelopment impervious area within drainage basin/outfall area = **1.03** acres
 Post-development impervious area within drainage basin/outfall area = **1.38** acres
 Post-development impervious fraction within drainage basin/outfall area = **0.62**
 L_d THIS BASIN = **305** lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = **Bioretention**
 Removal efficiency = **89** percent

4. Calculate Maximum TSS Load Removed (L_d) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7: $L_d = (BMP \text{ efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$

where:
 A_i = Total On-Site drainage area in the BMP catchment area
 A_p = Impervious area proposed in the BMP catchment area
 A_p = Pervious area remaining in the BMP catchment area
 L_d = TSS Load removed from this catchment area by the proposed BMP

A_i = **1.03** acres
 A_p = **0.60** acres
 A_p = **0.43** acres
 L_d = **598** lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired L_d THIS BASIN = **139** lbs.
 F = **0.23**

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area. Calculations from RG-348 Pages 3-34 to 3-36

Rainfall Depth = **0.14** inches
 Post Development Runoff Coefficient = **0.41**
 On-site Water Quality Volume = **207** cubic feet

Calculations from RG-348 Pages 3-36 to 3-37

Off-site area draining to BMP = **0.00** acres
 Off-site impervious cover draining to BMP = **0.00** acres
 Impervious fraction of off-site area = **0**
 Off-site Runoff Coefficient = **0.00**
 Off-site Water Quality Volume = **0** cubic feet

Storage for Sediment = **41**
Total Capture Volume (required water quality volume(s) x 1.20) = 248 cubic feet

The following sections are used to calculate the required water quality volume(s) for the selected BMP.
 The values for BMP Types not selected in cell C45 will show NA.

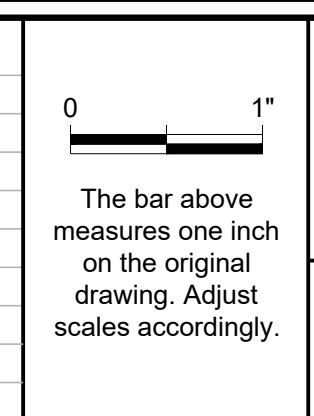
10. Bioretention System Designed as Required in RG-348 Pages 3-63 to 3-65

Required Water Quality Volume for Bioretention Basin = **248** cubic feet



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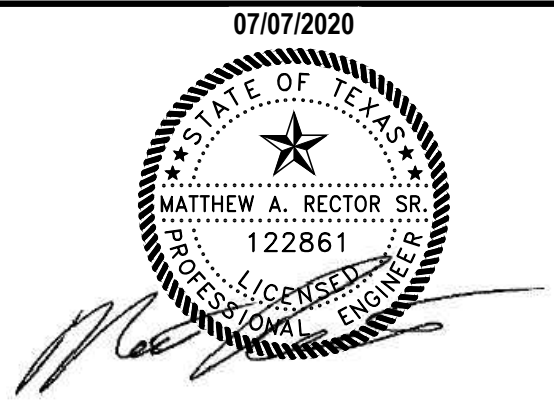
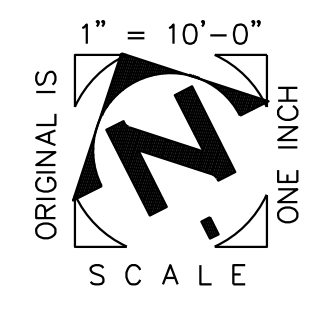
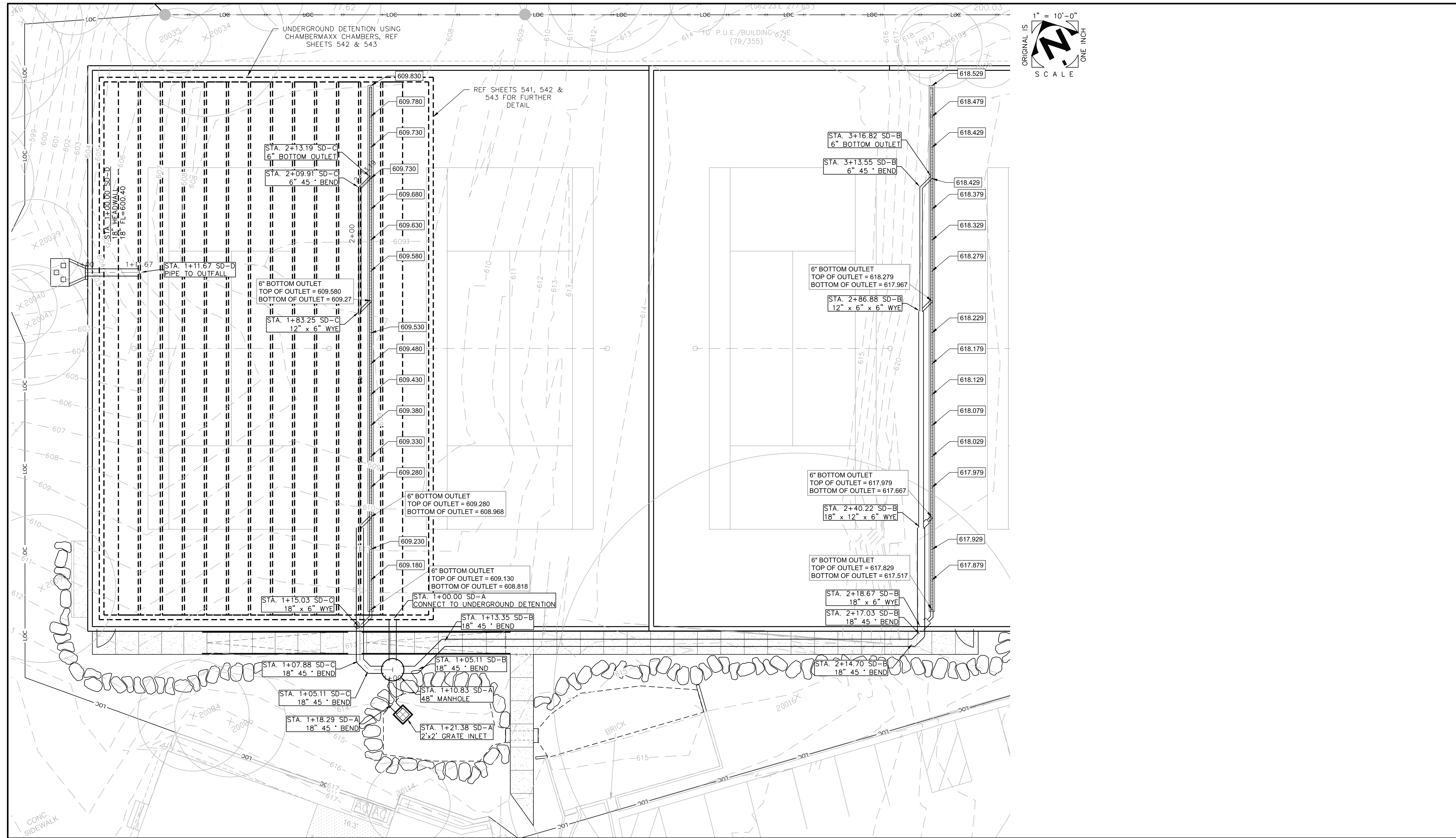
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WATER QUALITY POND PLAN

Western Hills Athletic Club
 4801 Rollingwood Drive
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PLOTTED: 7/7/2020
 JOB NO: 863-01
531
 15 OF 26

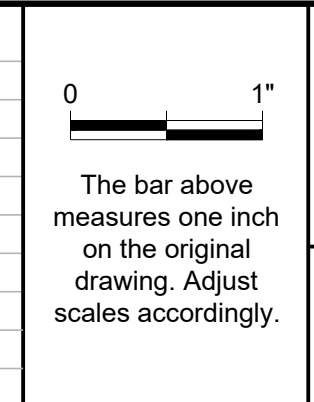


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DETENTION POND PLAN

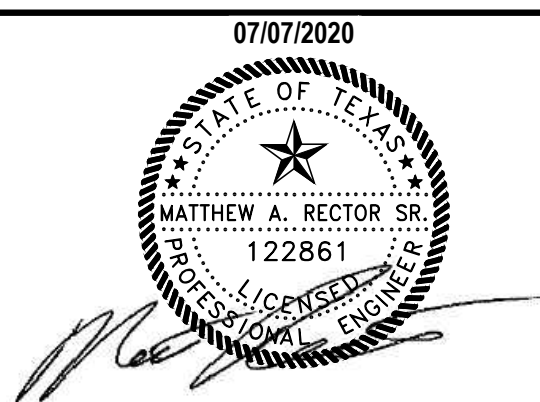
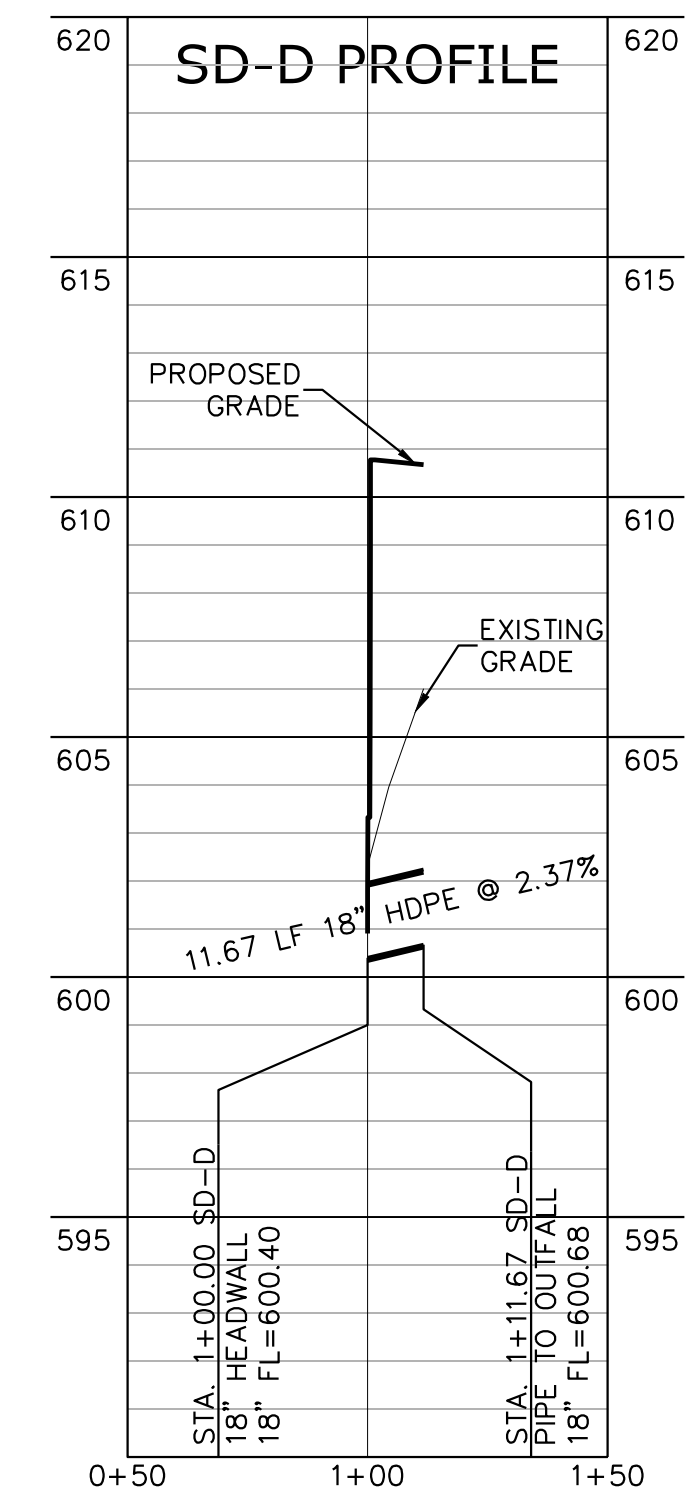
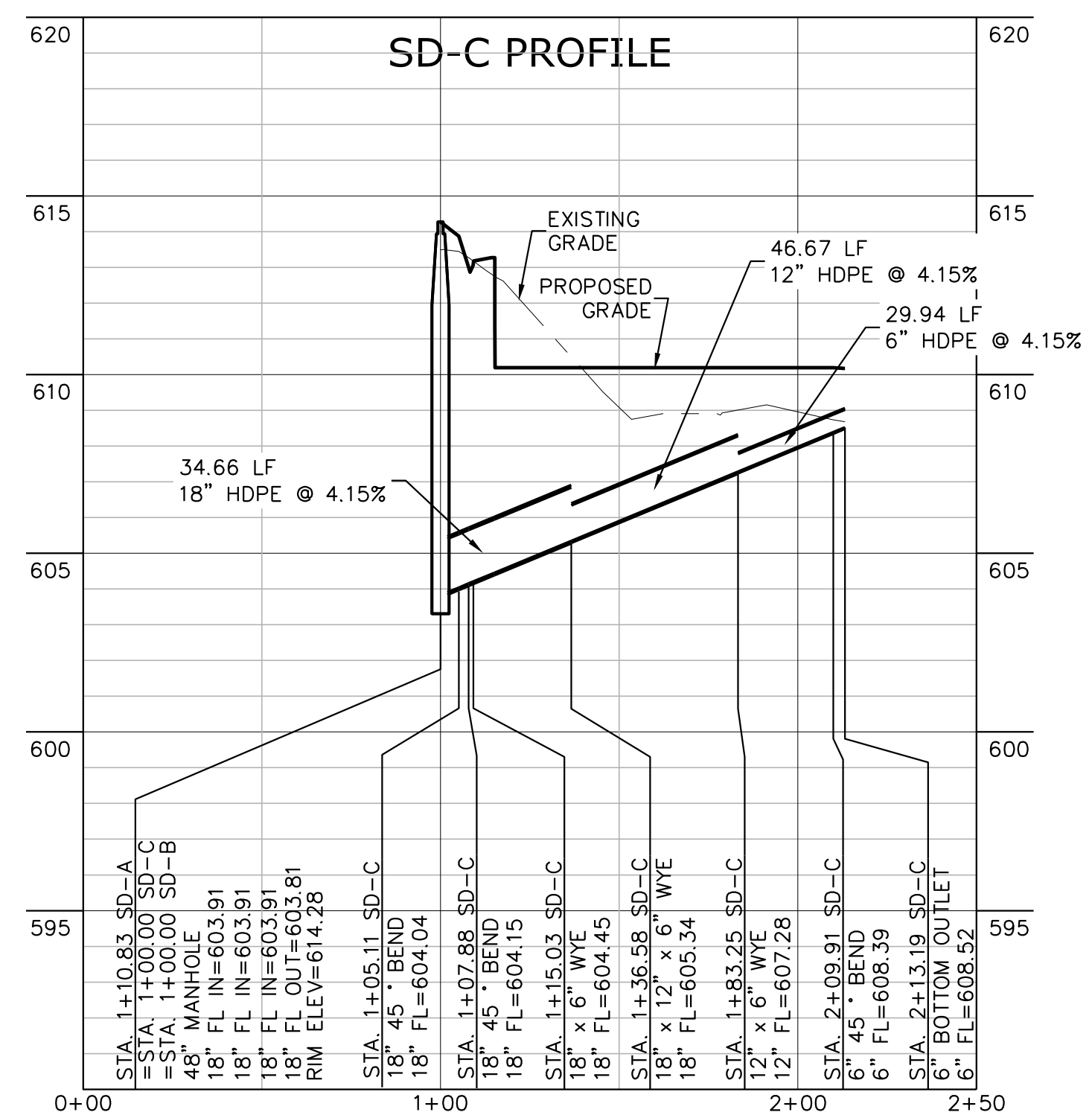
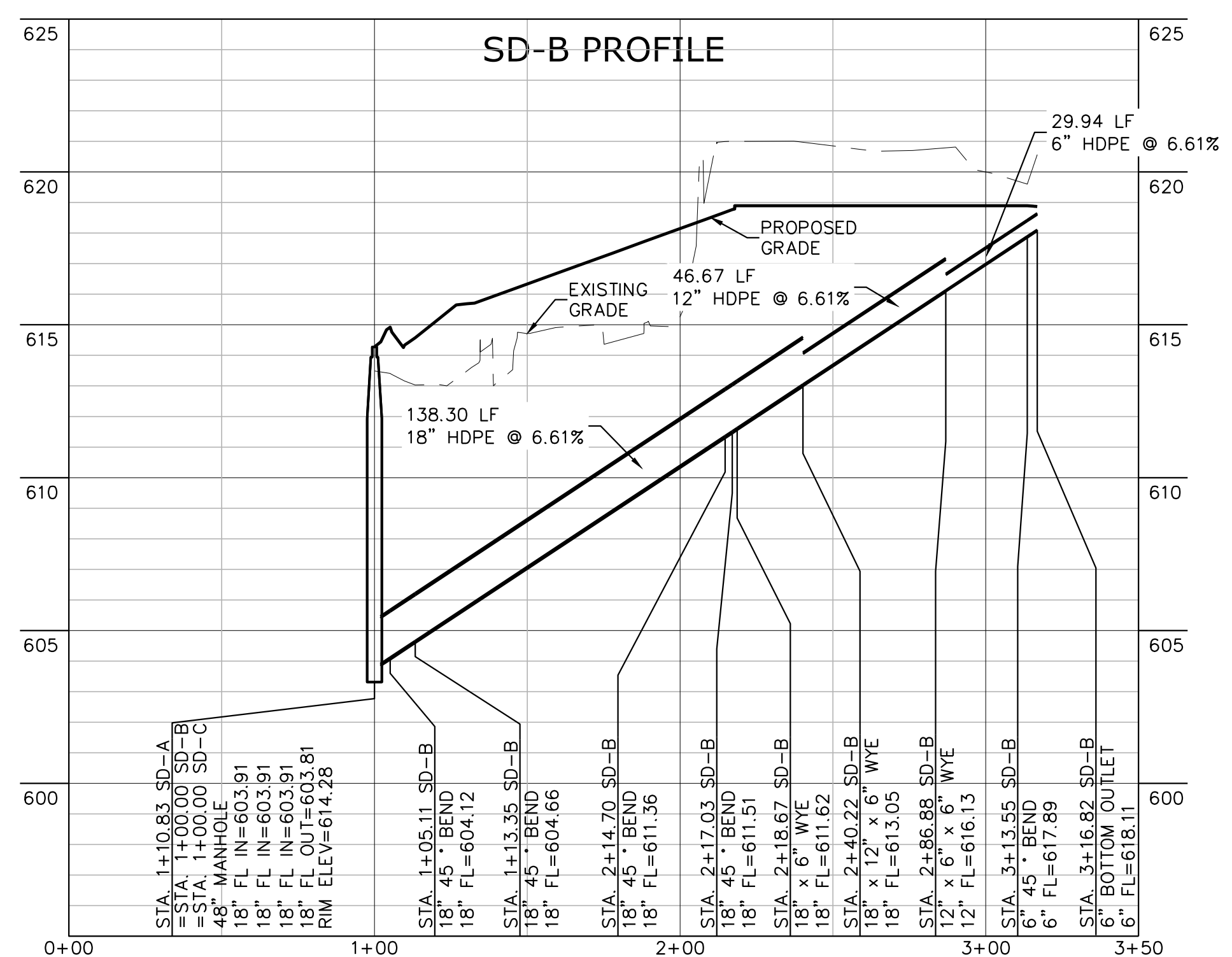
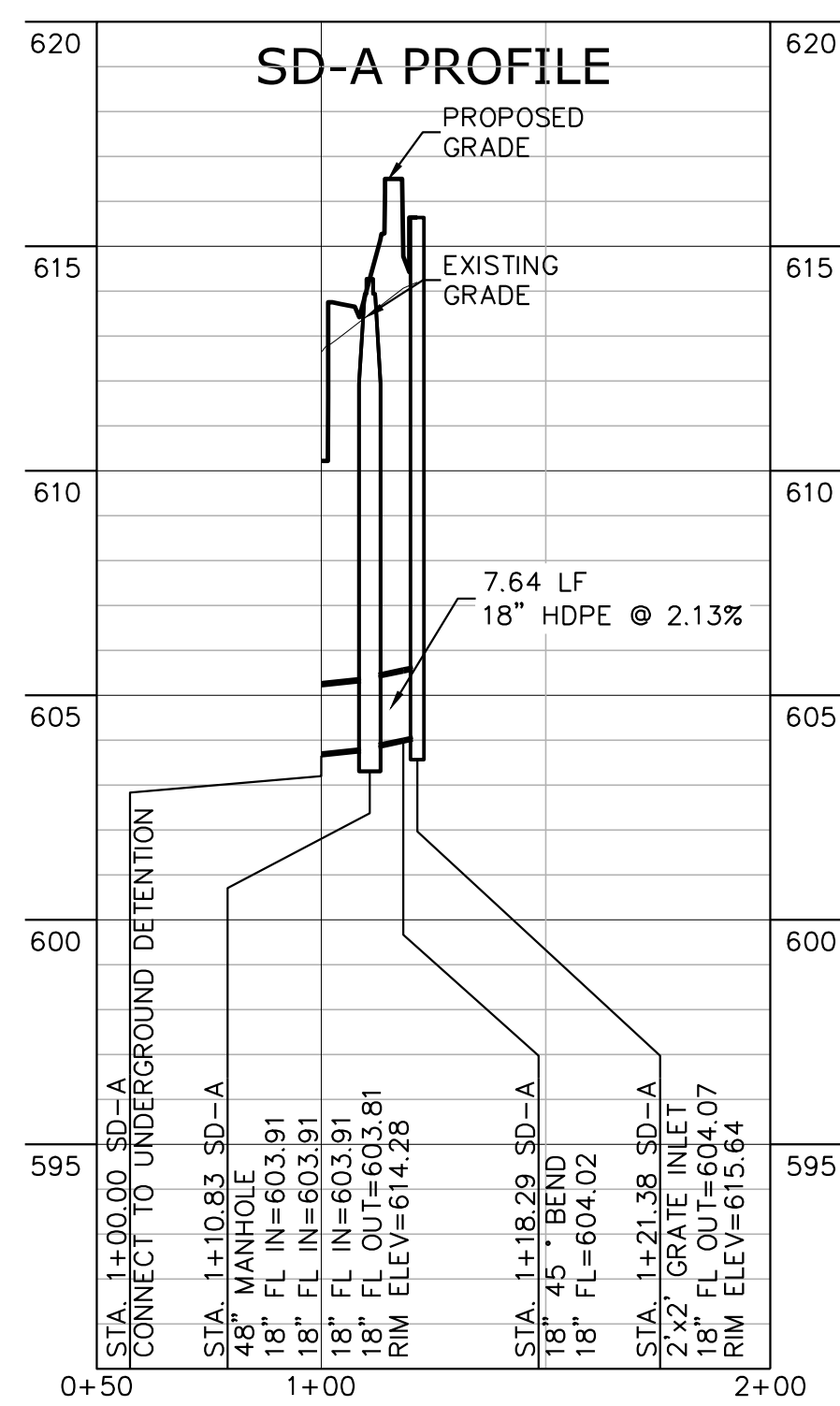
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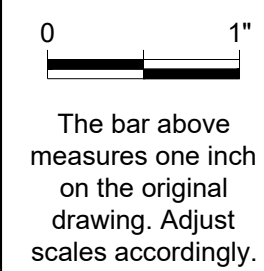
16 OF 26

File: Y:\B63-01_WHA_Athletic_Club\CAD\Sheets\541 Detention Pond Plan.dwg 22x34



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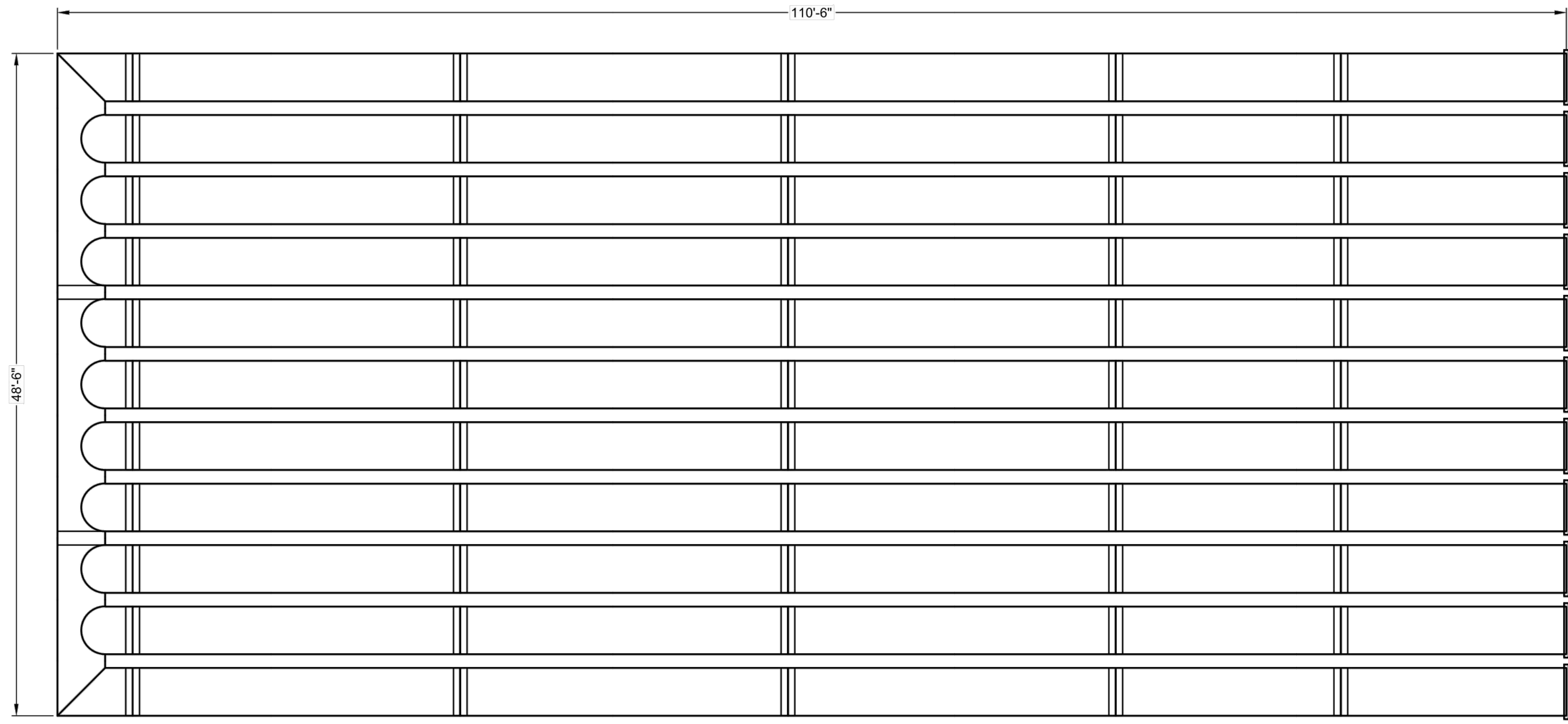
DETENTION POND PLAN

Western Hills Athletic Club
4801 Rollingwood Drive
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PLOTTED: 7/7/2020
JOB NO: 863-01

542

17 OF 26



ASSEMBLY
SCALE: 1" = 10'

PROJECT SUMMARY			
CALCULATION DETAILS	STORAGE SUMMARY	PIPE DETAILS	BACKFILL DETAILS
<ul style="list-style-type: none"> • LENGTH PER BARREL = 107 FT • LENGTH PER HEADER = 48.50 FT • LOADING = H20 & H25 • APPROX. CMP FOOTAGE = 1,226 FT 	<ul style="list-style-type: none"> • STORAGE VOLUME REQUIRED 15,000 CF • PIPE STORAGE = 11,790 CF • STRUCTURAL BACKFILL STORAGE = 3,280 CF • TOTAL STORAGE PROVIDED = 15,070 CF 	<ul style="list-style-type: none"> • DIAMETER = 42 IN • CORRUGATION = 2-2/3" X 1/2" • GAGE = 16 • COATING = ALUMINIZED STEEL TYPE 2 (ALT2) • WALL TYPE = PERFORATED • BARREL SPACING = 12 IN 	<ul style="list-style-type: none"> • WIDTH AT ENDS = 12 IN • ABOVE PIPE = 6 IN • WIDTH AT SIDES = 12 IN • BELOW PIPE = 0 IN

- NOTES**
- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
 - ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
 - ALL RISERS AND STUBS ARE 2 1/2" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
 - RISERS TO BE FIELD TRIMMED TO GRADE.
 - QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
 - THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN. QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.

NOTE:
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CONTECH
CMP DETENTION SYSTEMS
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DRAWING

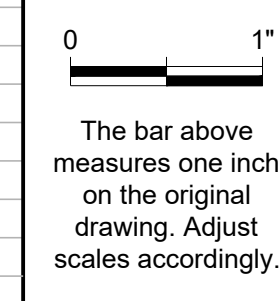
DYODS - 14673-1-0
PROJECT NAME: Western Hills Athletic Club
Austin, TX
DESCRIPTION: UDS

PROJECT No.: 14673-1	SEQ. No.: 0	DATE: 4/7/2020
DESIGNED: DYODS	DRAWN: DYODS	
CHECKED:	APPROVED:	
SHEET No.: D1		



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Austin, Texas 78752
p: 512.453.0767
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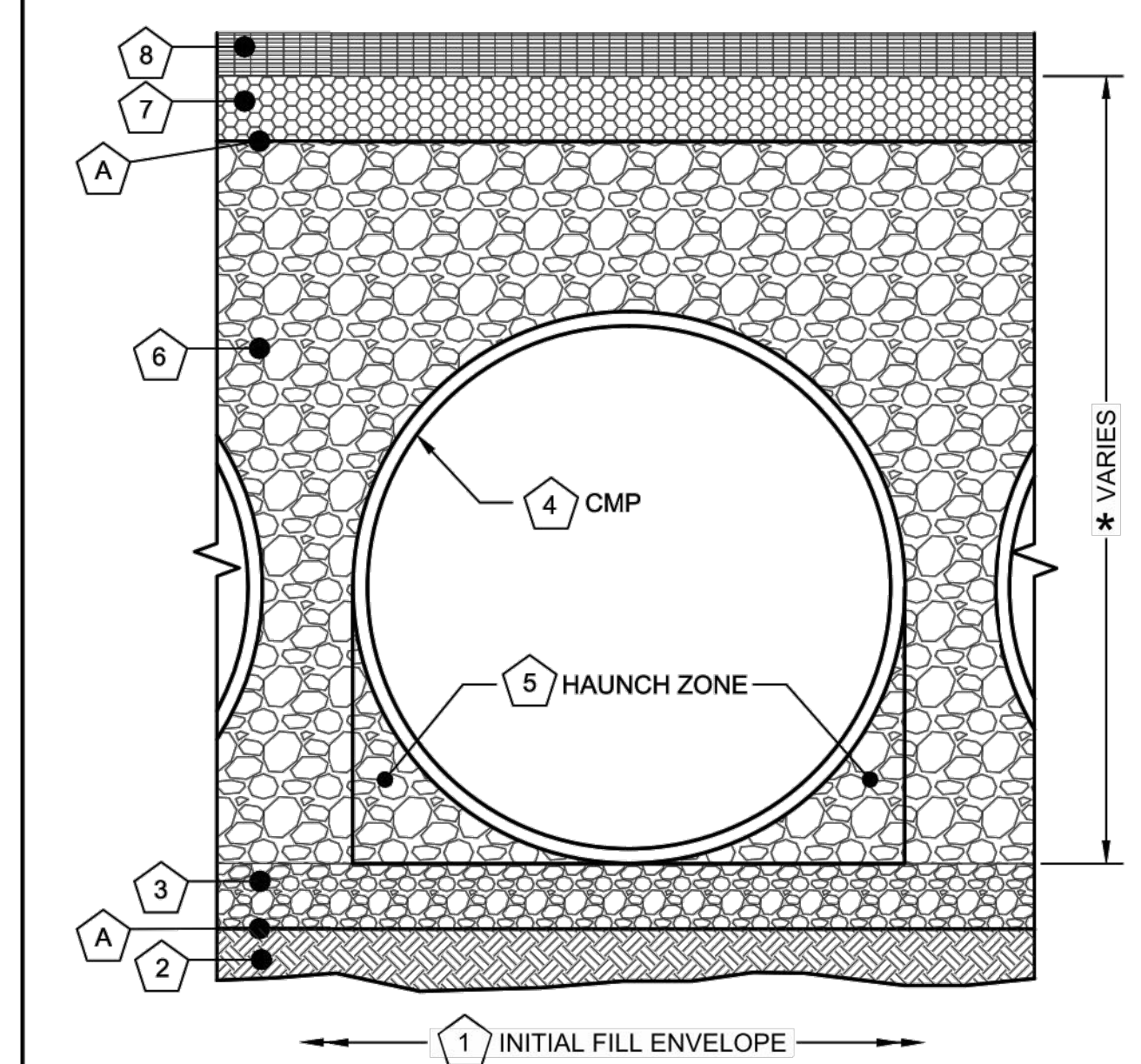
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DETENTION POND DETAILS

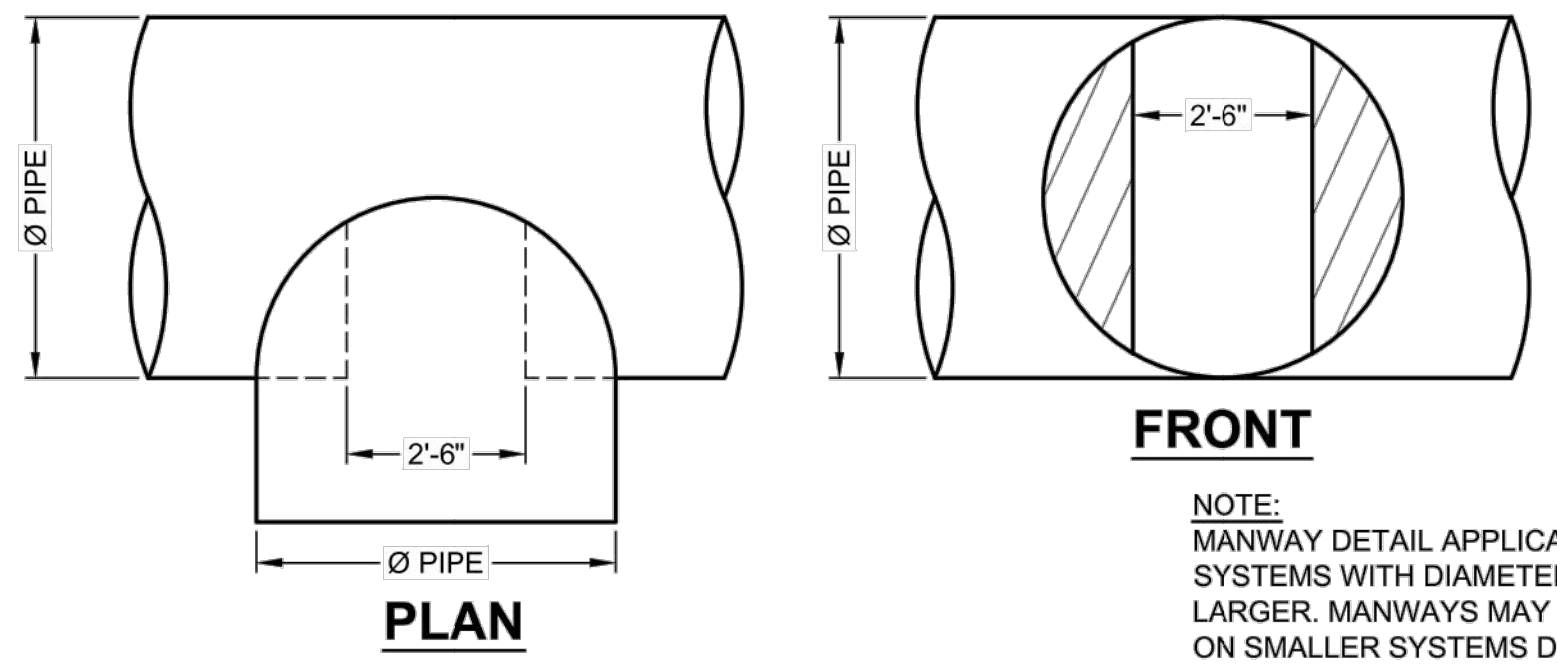
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JOB NO: 863-01
543
18 OF 26



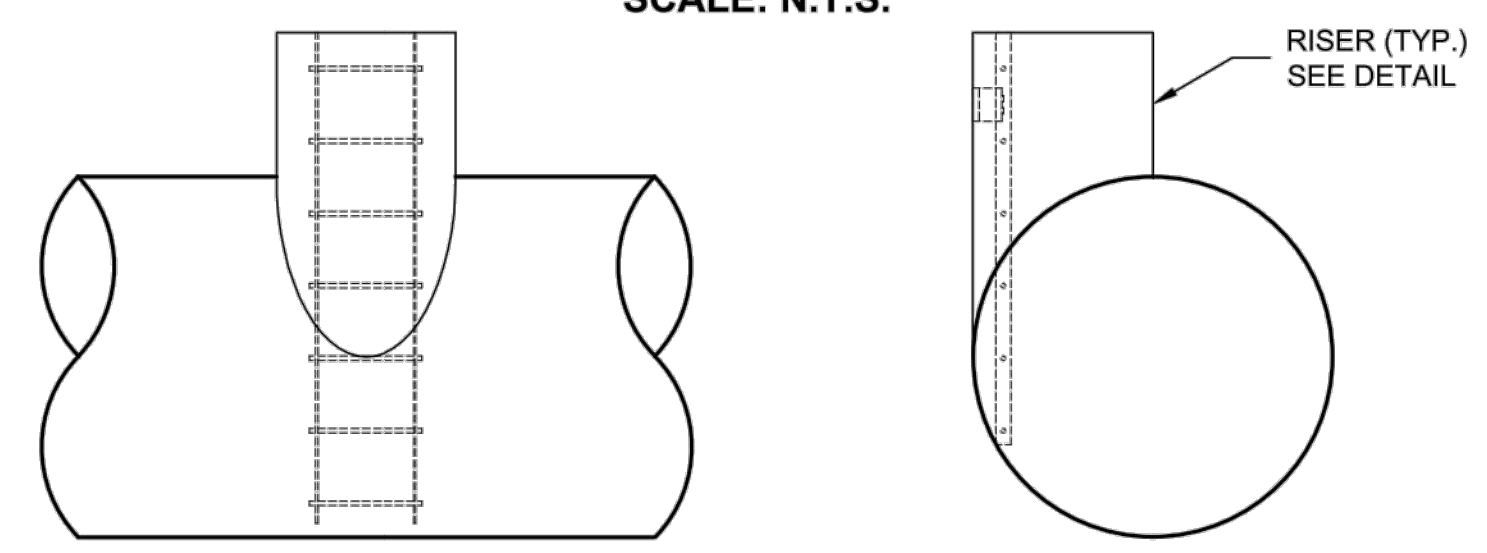
Infiltration Systems - CMP Infiltration & CMP Perforated Drainage Pipe			
Material Location	Description	Material Designation	Designation
8	Rigid or Flexible Pavement (if applicable)		
7	Road Base (if applicable)		
6	Geotextile Layer	Non-Woven Geotextile CONTECH C-40 or C-45	Engineer Decision for consideration to prevent soil migration into varying soil types. Wrap the trench only.
5	Backfill	Infiltration pipe systems have a pipe perforation sized of 3/8" diameter. An open graded, free draining stone, with a particle size of 1/2" - 2 1/2" diameter is recommended.	AASHTO M 145-A-1 or AASHTO M 43 - 3, 4 Material shall be worked into the pipe haunches by means of shovel-slicing, rodding, air-tamper, vibratory rod, or other effective methods. Compaction of all placed fill material is necessary and shall be considered adequate when no further yielding of the material is observed under the compactor, or under foot, and the Project Engineer or his representative is satisfied with the level of compaction.
4	Bedding Stone	Well graded granular bedding material w/maximum particle size of 3"	AASHTO M43 - 3, 357, 4, 467, 5, 56, 57 For soil aggregates larger than 3/8" a dedicated bedding layer is not required for CMP. Pipe may be placed on the trench bottom comprised of native suitable well graded & granular material. For Arch pipes it is recommended to be shaped to a relatively flat bottom or fine-grade the foundation to a slight v-shape. Soil aggregates less than 3/8" and unsuitable material should be over-excavated and re-placed with a 4"-6" layer of well graded & granular stone per the material designation.
3	Geotextile Layer	None	Contech does not recommend geotextiles be placed under the invert of infiltration systems due to the propensity for geotextiles to clog over time.

* Note: The listed AASHTO designations are for gradation only. The stone must also be angular and clean.



TYPICAL MANWAY DETAIL
SCALE: N.T.S.

NOTE: MANWAY DETAIL APPLICABLE FOR CMP SYSTEMS WITH DIAMETERS 48" AND LARGER. MANWAYS MAY BE REQUIRED ON SMALLER SYSTEMS DEPENDING ON ACTUAL SITE SPECIFIC CONDITIONS.



TYPICAL RISER DETAIL
SCALE: N.T.S.

NOTE: LADDERS ARE OPTIONAL AND ARE NOT REQUIRED FOR ALL SYSTEMS.

1 MINIMUM WIDTH DEPENDS ON SITE CONDITIONS AND ENGINEERING JUDGEMENT.

FOUNDATION/BEDDING PREPARATION

2 PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER.

5 HAUNCH ZONE MATERIAL SHALL BE PLACED AND UNIFORMLY COMPACTED WITHOUT SOFT SPOTS.

BACKFILL

MATERIAL SHALL BE PLACED IN 8"-10" MAXIMUM LIFTS. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS OVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY PIPE IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.

EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE PIPE. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT. MAINTAIN BALANCED LOADING ON ALL PIPES IN THE SYSTEM DURING ALL SUCH OPERATIONS.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. REFER TO TYPICAL BACKFILL DETAIL FOR MATERIAL REQUIRED.

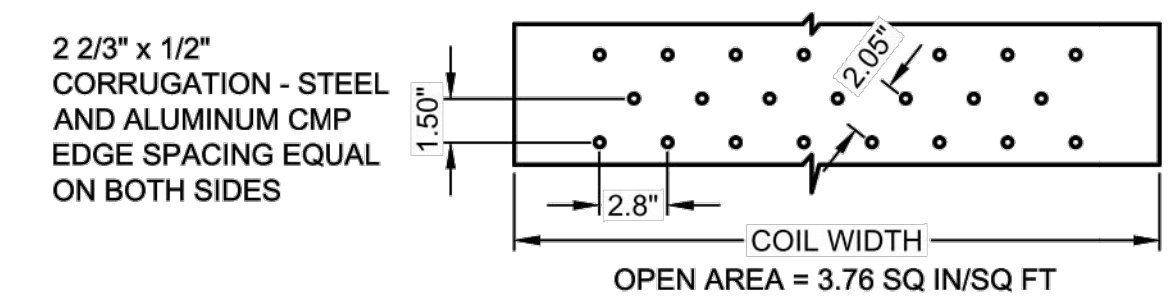
BACKFILL DETAIL
SCALE: N.T.S.

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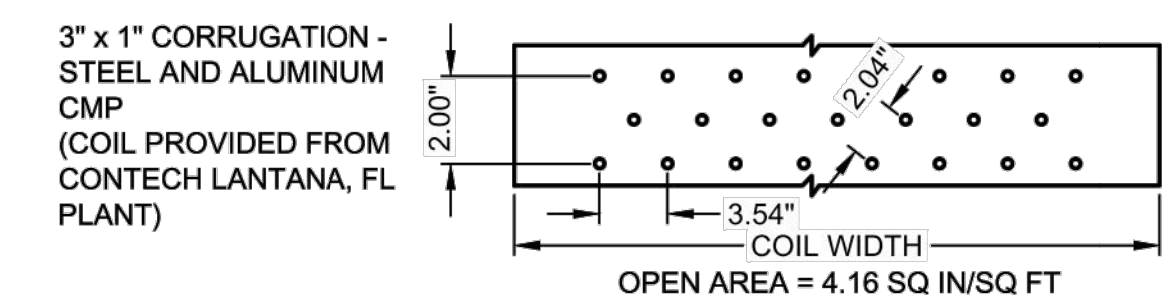
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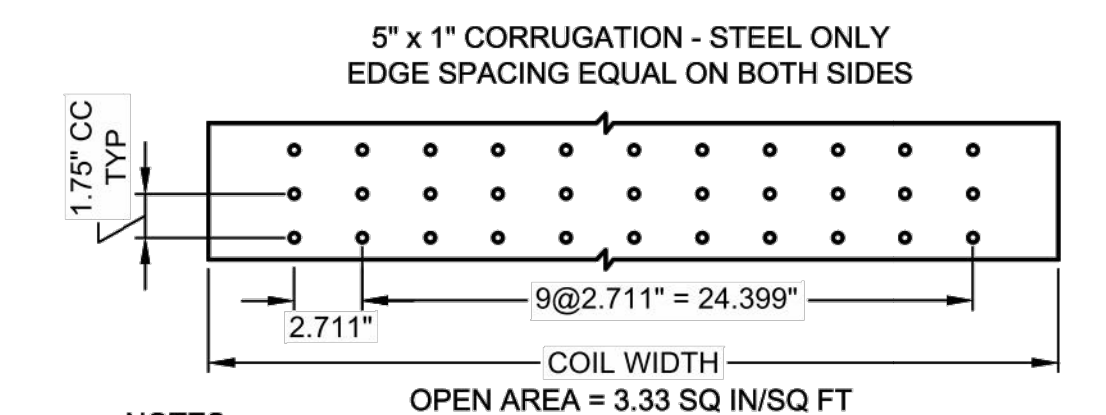
MARK	DATE	REVISION DESCRIPTION	BY



TYPICAL PERFORATION DETAIL
SCALE: N.T.S.



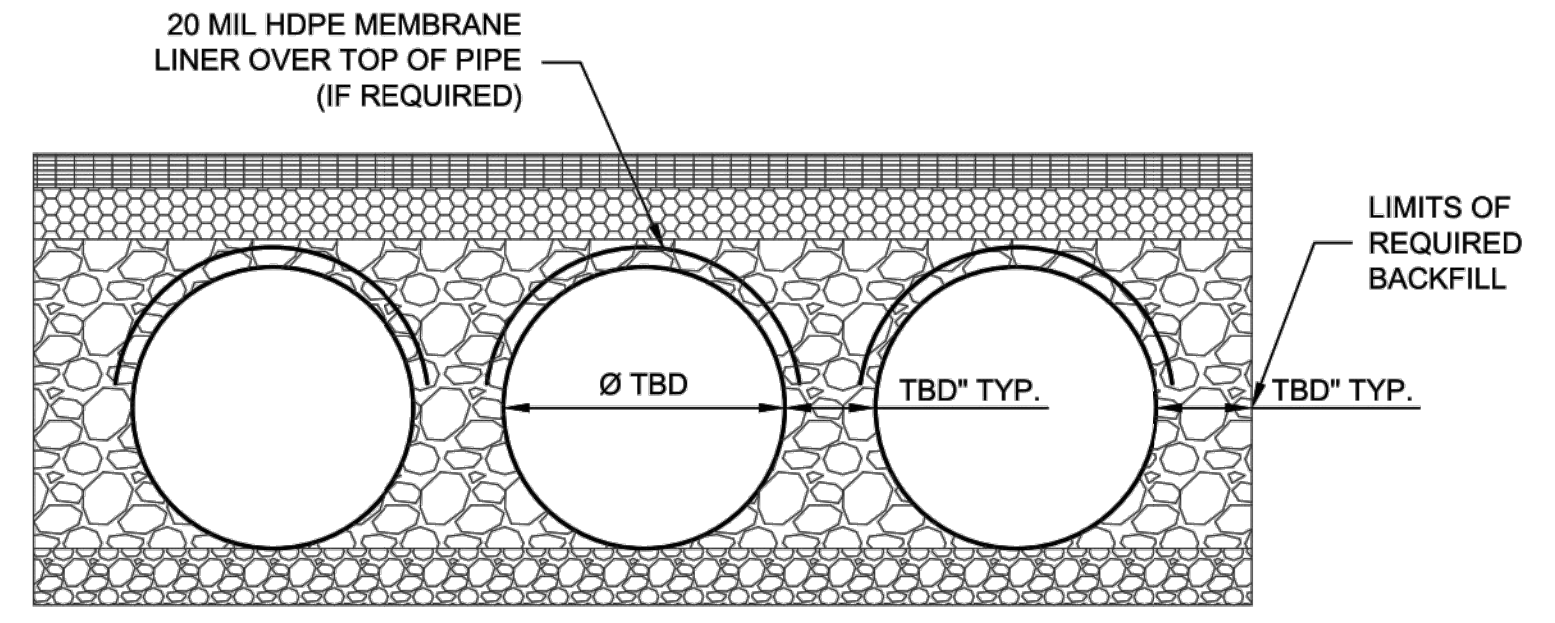
TYPICAL PERFORATION DETAIL
SCALE: N.T.S.



TYPICAL PERFORATION DETAIL
SCALE: N.T.S.

- NOTES:
1. PERFORATIONS MEET AASHTO AND ASTM SPECIFICATIONS.
 2. PERFORATION OPEN AREA PER SQUARE FOOT OF PIPE IS BASED ON THE NOMINAL DIAMETER AND LENGTH OF PIPE.
 3. ALL DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
 4. ALL HOLES Ø3/8".

TYPICAL PERFORATION DETAIL
SCALE: N.T.S.



TYPICAL SECTION VIEW
LINER OVER ROWS
SCALE: N.T.S.

NOTE: IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, AN HDPE MEMBRANE LINER IS RECOMMENDED WITH THE SYSTEM. THE IMPERMEABLE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

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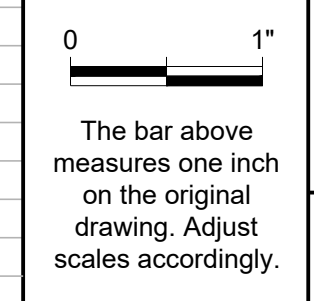
DYODS - 14673-1-0
PROJECT NAME: Western Hills Athletic Club
Austin, TX
DESCRIPTION: UDS

PROJECT No.: 14673-1	SEQ. No.: 0	DATE: 4/7/2020
DESIGNED: DYODS	DRAWN: DYODS	
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Design Group
305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734
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TBLPS FIRM REGISTRATION NO.: 10065600

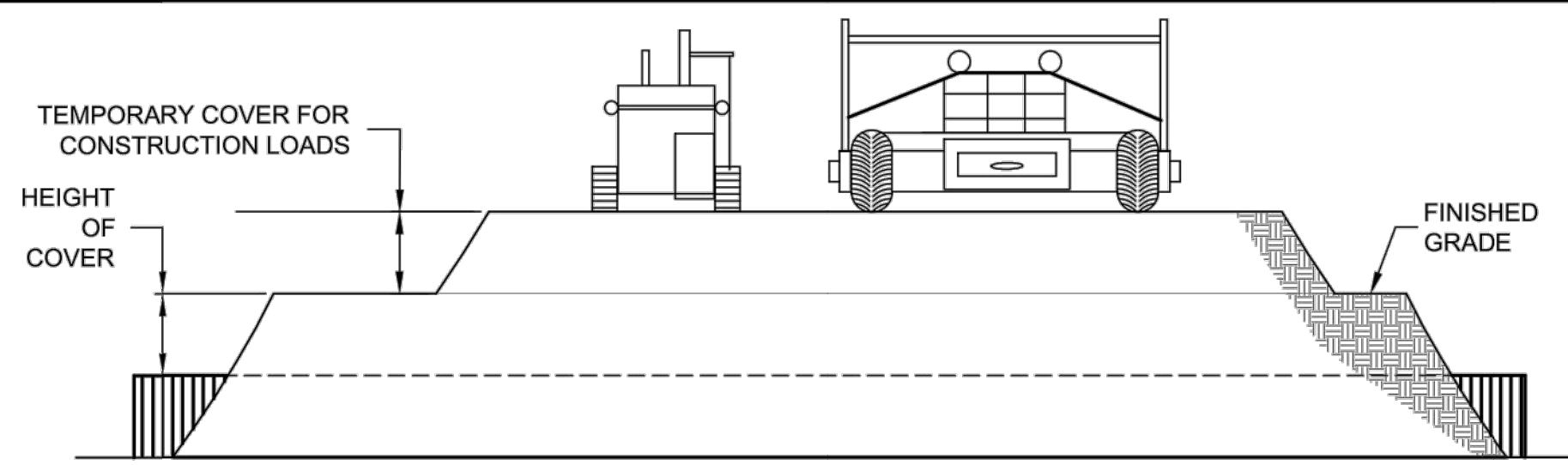
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DETENTION POND DETAILS

Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 7/7/2020
JOB NO: 863-01
544
19 OF 26



CONSTRUCTION LOADS

FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

CONSTRUCTION LOADING DIAGRAM
SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM:

SCOPE

THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.

MATERIAL

THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.

THE GALVANIZED STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-218 OR ASTM A-929.

THE POLYMER COATED STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-246 OR ASTM A-742.

THE ALUMINUM COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-197 OR ASTM B-744.

CONSTRUCTION LOADS

CONSTRUCTION LOADS MAY BE HIGHER THAN FINAL LOADS. FOLLOW THE MANUFACTURER'S OR NCSPA GUIDELINES.

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NOTE:

THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

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PIPE

THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2: AASHTO M-36 OR ASTM A-760

GALVANIZED: AASHTO M-36 OR ASTM A-760

POLYMER COATED: AASHTO M-245 OR ASTM A-762

ALUMINUM: AASHTO M-196 OR ASTM B-745

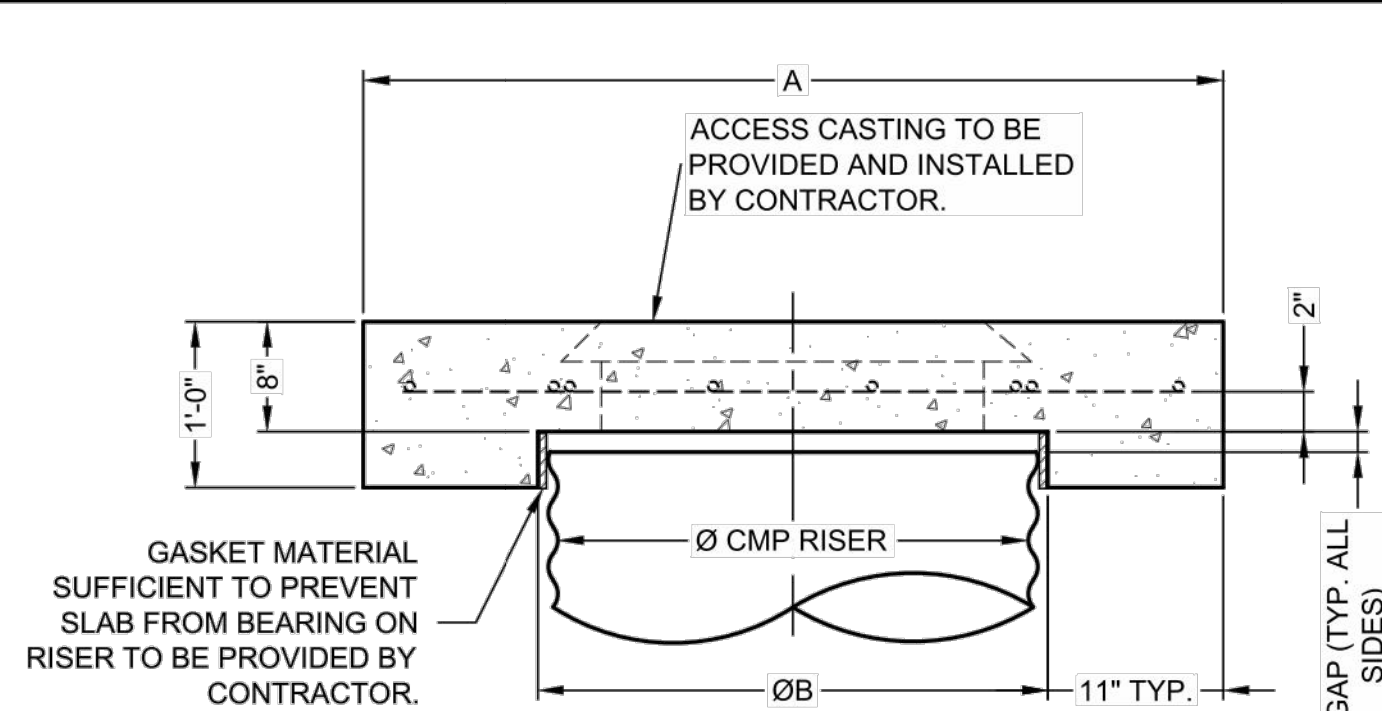
HANDLING AND ASSEMBLY

SHALL BE IN ACCORDANCE WITH NCSP'S (NATIONAL CORRUGATED STEEL PIPE ASSOCIATION) FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALUMINUM PIPE.

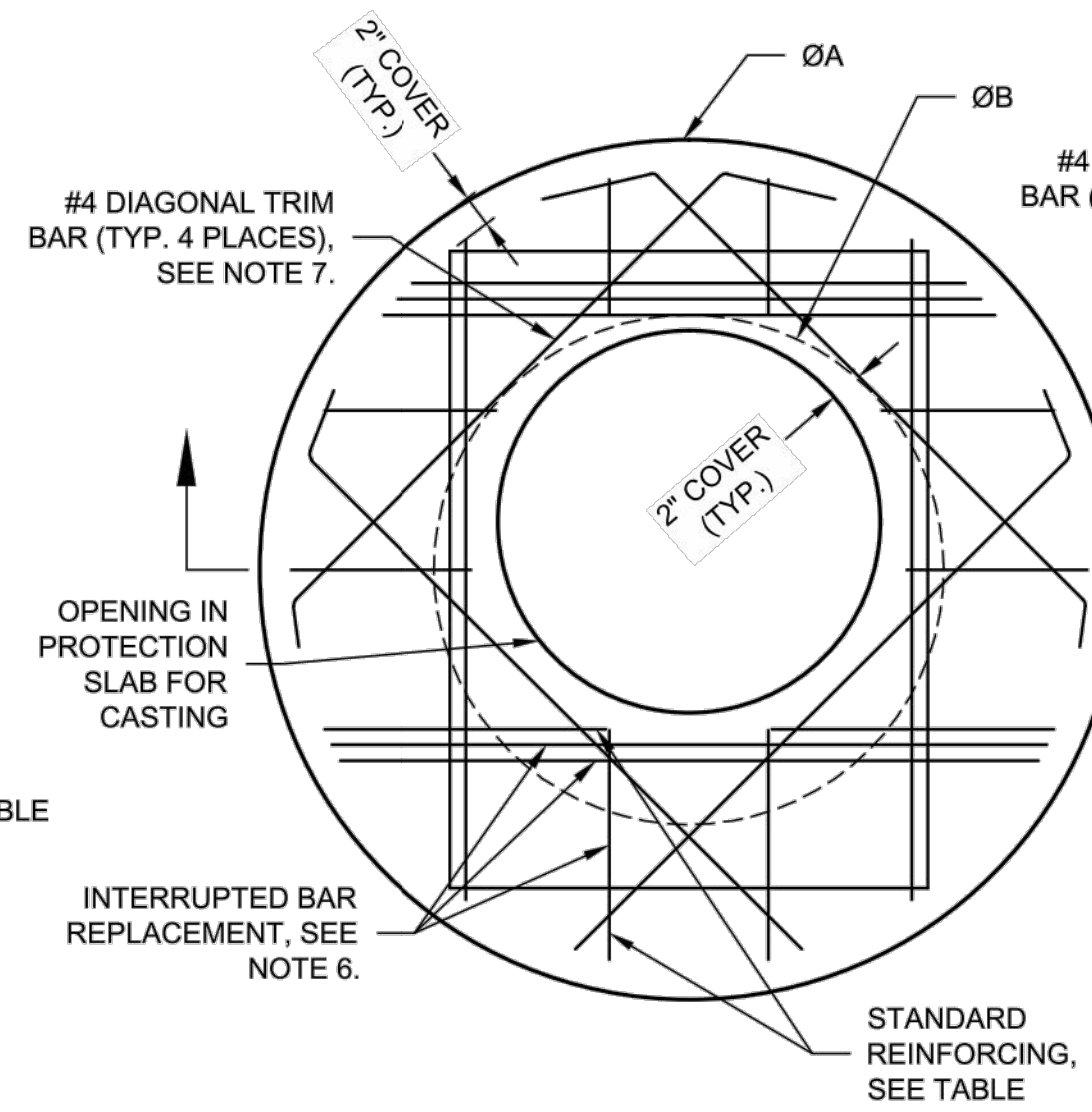
INSTALLATION

SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II DIVISION II OR ASTM A-798 (FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL) OR ASTM B-788 (FOR ALUMINUM PIPE) AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.



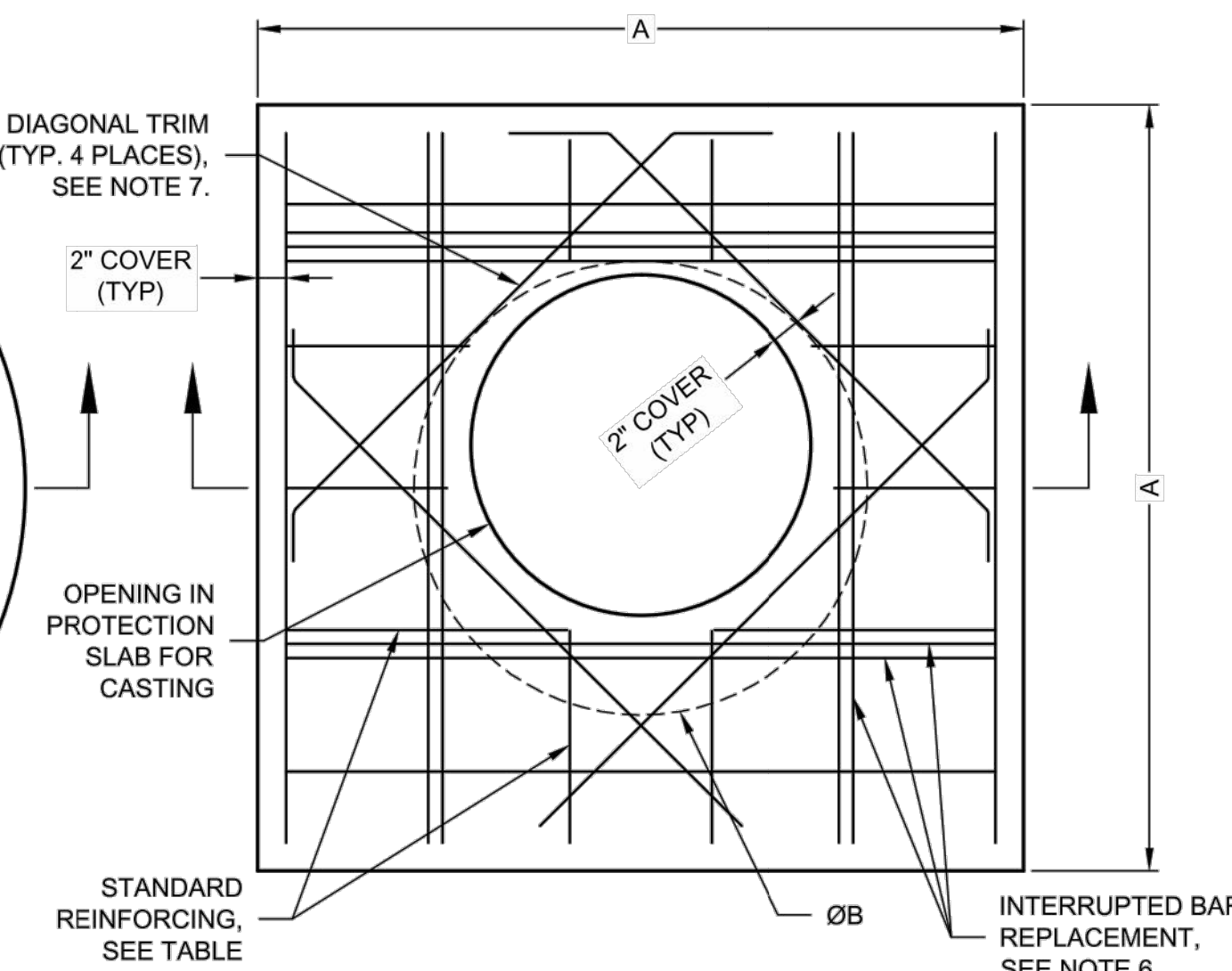
SECTION VIEW



ROUND OPTION PLAN VIEW

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4" X 4"	26"	#5 @ 12" OCEW #5 @ 12" OCEW	2,410 1,780
30"	Ø 4'-6" 4'-6" X 4'-6"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	Ø 5' 5' X 5'	38"	#5 @ 10" OCEW #5 @ 10" OCEW	1,890 1,350
42"	Ø 5'-6" 5'-6" X 5'-6"	44"	#5 @ 10" OCEW #5 @ 9" OCEW	1,720 1,210
48"	Ø 6' 6' X 6'	50"	#5 @ 9" OCEW #5 @ 8" OCEW	1,600 1,100

** ASSUMED SOIL BEARING CAPACITY



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL
SCALE: N.T.S.



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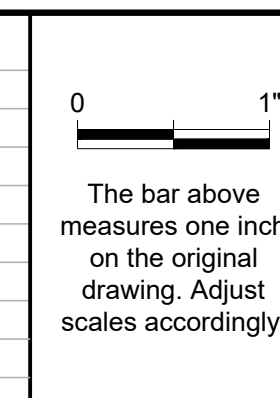
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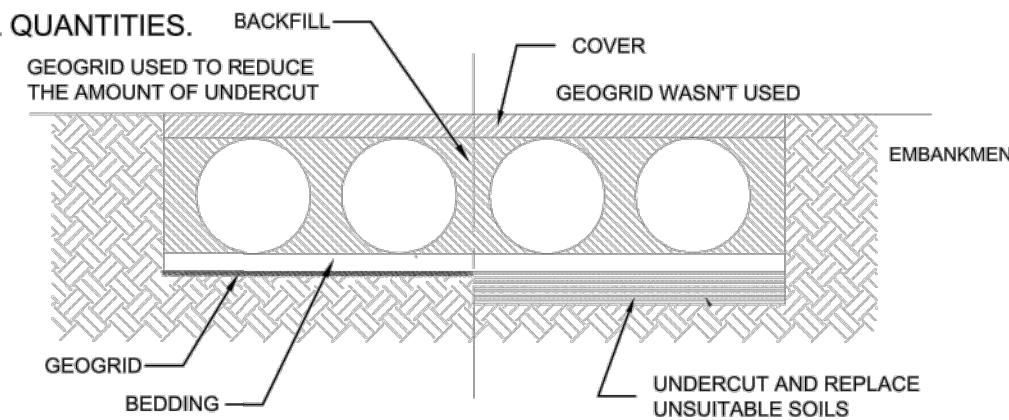
CMP DETENTION INSTALLATION GUIDE

PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION

CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.

IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOGRID REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.

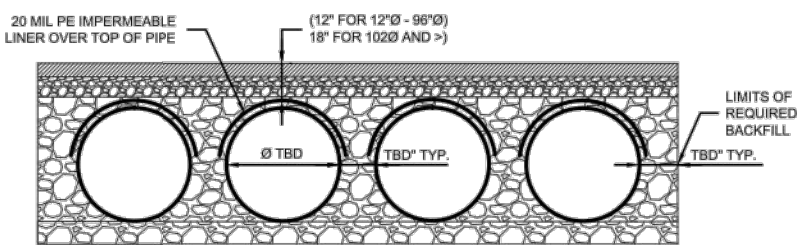


GRADE THE FOUNDATION SUBGRADE TO A UNIFORM OR SLIGHTLY SLOPING GRADE. IF THE SUBGRADE IS CLAY OR RELATIVELY NON-POROUS AND THE CONSTRUCTION SEQUENCE WILL LAST FOR AN EXTENDED PERIOD OF TIME, IT IS BEST TO SLOPE THE GRADE TO ONE END OF THE SYSTEM. THIS WILL ALLOW EXCESS WATER TO DRAIN QUICKLY, PREVENTING SATURATION OF THE SUBGRADE.

GEOMEMBRANE BARRIER

A SITE'S RESISTIVITY MAY CHANGE OVER TIME WHEN VARIOUS TYPES OF SALTING AGENTS ARE USED, SUCH AS ROAD SALTS FOR DEICING AGENTS. IF SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE, A GEMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM THE USE OF SUCH AGENTS INCLUDING PREMATURE CORROSION AND REDUCED ACTUAL SERVICE LIFE.

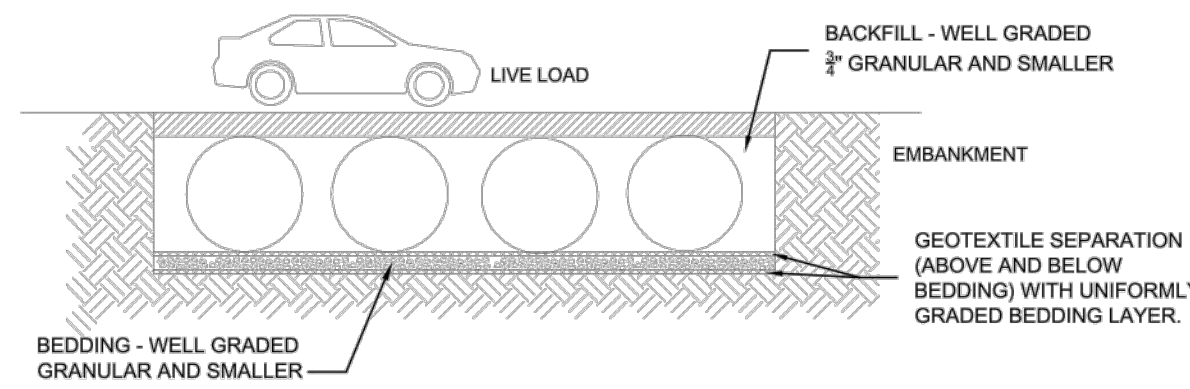
THE PROJECT'S ENGINEER OF RECORD IS TO EVALUATE WHETHER SALTING AGENTS WILL BE USED ON OR NEAR THE PROJECT SITE, AND USE HIS/HER BEST JUDGEMENT TO DETERMINE IF ANY ADDITIONAL PROTECTIVE MEASURES ARE REQUIRED. BELOW IS A TYPICAL DETAIL SHOWING THE PLACEMENT OF A GEMEMBRANE BARRIER FOR PROJECTS WHERE SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE.



IN-SITU TRENCH WALL

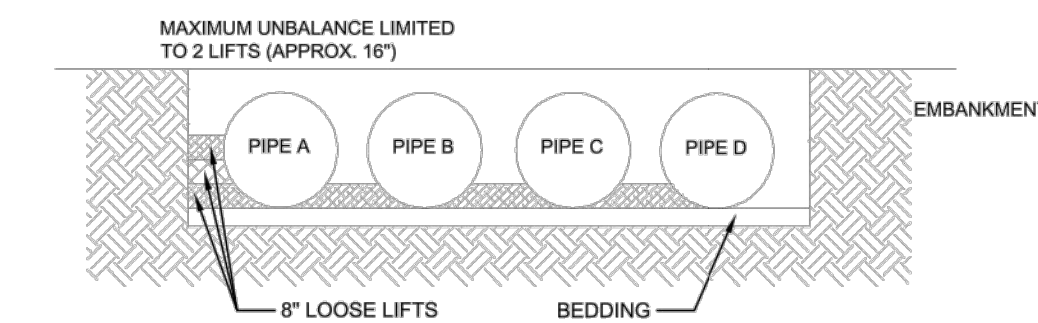
IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE SHEDS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT. PERFORM A SIMPLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES.

IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.



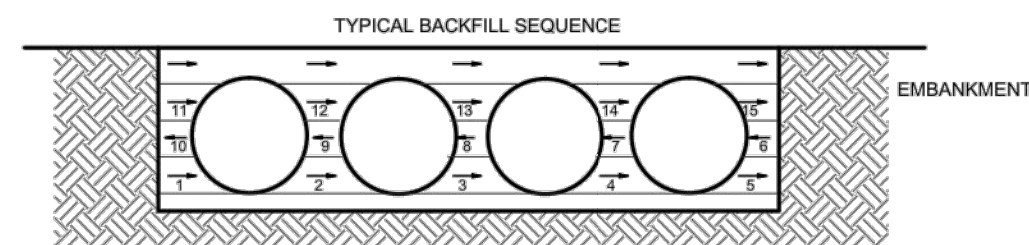
BACKFILL PLACEMENT

MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICING, RODDING, AIR TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS.

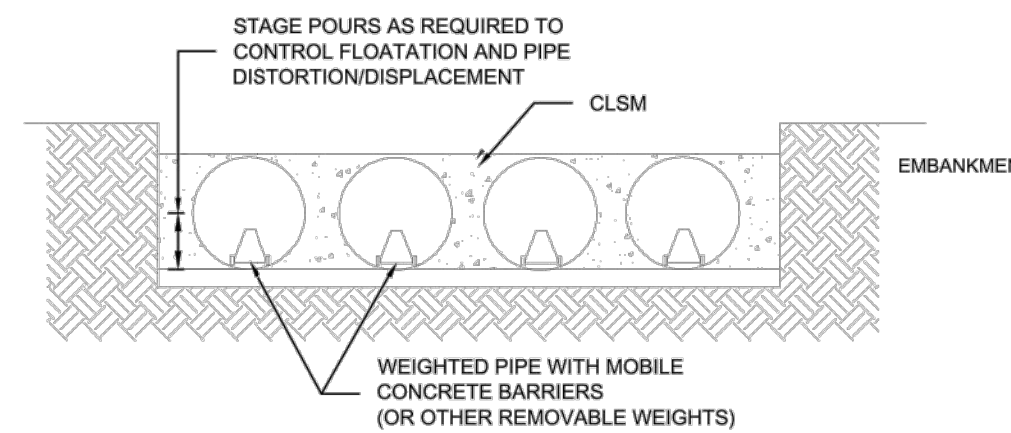


IF AASHTO T99 PROCEDURES ARE DETERMINED INFEASIBLE BY THE GEOTECHNICAL ENGINEER OF RECORD, COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE GEOTECHNICAL ENGINEER OF RECORD (OR REPRESENTATIVE THEREOF) IS SATISFIED WITH THE LEVEL OF COMPACTION.

FOR LARGE SYSTEMS, CONVEYOR SYSTEMS, BACKHOES WITH LONG REACHES OR DRAGLINES WITH STONE BUCKETS MAY BE USED TO PLACE BACKFILL. ONCE MINIMUM COVER FOR CONSTRUCTION LOADING ACROSS THE ENTIRE WIDTH OF THE SYSTEM IS REACHED, ADVANCE THE EQUIPMENT TO THE END OF THE RECENTLY PLACED FILL, AND BEGIN THE SEQUENCE AGAIN UNTIL THE SYSTEM IS COMPLETELY BACKFILLED. THIS TYPE OF CONSTRUCTION SEQUENCE PROVIDES ROOM FOR STOCKPILED BACKFILL DIRECTLY BEHIND THE BACKHOE, AS WELL AS THE MOVEMENT OF CONSTRUCTION TRAFFIC. MATERIAL STOCKPILES ON TOP OF THE BACKFILLED DETENTION SYSTEM SHOULD BE LIMITED TO 8- TO 10- FEET HIGH AND MUST PROVIDE BALANCED LOADING ACROSS ALL BARRELS. TO DETERMINE THE PROPER COVER OVER THE PIPES TO ALLOW THE MOVEMENT OF CONSTRUCTION EQUIPMENT SEE TABLE 1, OR CONTACT YOUR LOCAL CONTECH SALES ENGINEER.



WHEN FLOWABLE FILL IS USED, YOU MUST PREVENT PIPE FLOATATION. TYPICALLY, SMALL LIFTS ARE PLACED BETWEEN THE PIPES AND THEN ALLOWED TO SET-UP PRIOR TO THE PLACEMENT OF THE NEXT LIFT. THE ALLOWABLE THICKNESS OF THE CLSM LIFT IS A FUNCTION OF A PROPER BALANCE BETWEEN THE UPLIFT FORCE OF THE CLSM, THE OPPOSING WEIGHT OF THE PIPE, AND THE EFFECT OF OTHER RESTRAINING MEASURES. THE PIPE CAN CARRY LIMITED FLUID PRESSURE WITHOUT PIPE DISTORTION OR DISPLACEMENT, WHICH ALSO AFFECTS THE CLSM LIFT THICKNESS. YOUR LOCAL CONTECH SALES ENGINEER CAN HELP DETERMINE THE PROPER LIFT THICKNESS.

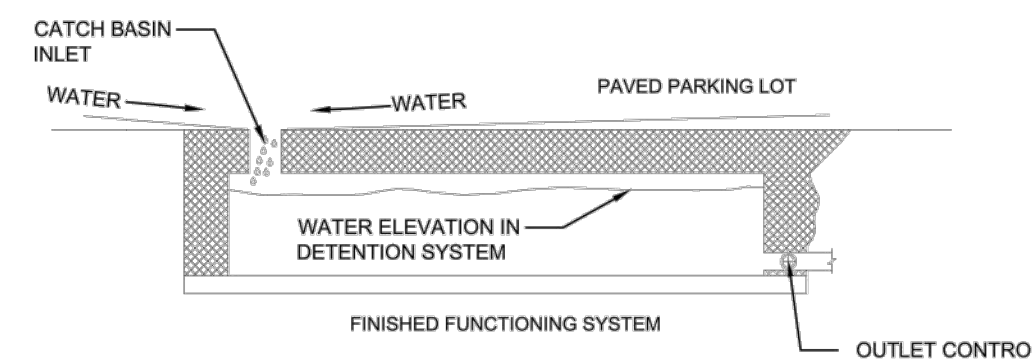


CONSTRUCTION LOADING

TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS

BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION; POTENTIALLY CAUSING FLOATATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE

UNDERGROUND STORMWATER DETENTION AND INFILTRATION SYSTEMS MUST BE INSPECTED AND MAINTAINED AT REGULAR INTERVALS FOR PURPOSES OF PERFORMANCE AND LONGEVITY.

INSPECTION

INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE OF CMP DETENTION SYSTEMS AND IS EASILY PERFORMED. CONTECH RECOMMENDS ONGOING, QUARTERLY INSPECTIONS. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MORE ON SITE SPECIFIC ACTIVITIES RATHER THAN THE SIZE OR CONFIGURATION OF THE SYSTEM.

INSPECTIONS SHOULD BE PERFORMED MORE OFTEN IN EQUIPMENT WASHDOWN AREAS, IN CLIMATES WHERE SANDING AND/OR SALTING OPERATIONS TAKE PLACE, AND IN OTHER VARIOUS INSTANCES IN WHICH ONE WOULD EXPECT HIGHER ACCUMULATIONS OF SEDIMENT OR ABRASIVE/ CORROSIVE CONDITIONS. A RECORD OF EACH INSPECTION IS TO BE MAINTAINED FOR THE LIFE OF THE SYSTEM

MAINTENANCE

CMP DETENTION SYSTEMS SHOULD BE CLEANED WHEN AN INSPECTION REVEALS ACCUMULATED SEDIMENT OR TRASH IS CLOGGING THE DISCHARGE ORIFICE.

ACCUMULATED SEDIMENT AND TRASH CAN TYPICALLY BE EVACUATED THROUGH THE MANHOLE OVER THE OUTLET ORIFICE. IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT AND TRASH MAY ACCUMULATE IN FRONT OF THE OUTLET ORIFICE. MANHOLE COVERS SHOULD BE SECURELY SEATED FOLLOWING CLEANING ACTIVITIES. CONTECH SUGGESTS THAT ALL SYSTEMS BE DESIGNED WITH AN ACCESS/INSPECTION MANHOLE SITUATED AT OR NEAR THE INLET AND THE OUTLET ORIFICE. SHOULD IT BE NECESSARY TO GET INSIDE THE SYSTEM TO PERFORM MAINTENANCE ACTIVITIES, ALL APPROPRIATE PRECAUTIONS REGARDING CONFINED SPACE ENTRY AND OSHA REGULATIONS SHOULD BE FOLLOWED.

ANNUAL INSPECTIONS ARE BEST PRACTICE FOR ALL UNDERGROUND SYSTEMS. DURING THIS INSPECTION, IF EVIDENCE OF SALTING/DE-ICING AGENTS IS OBSERVED WITHIN THE SYSTEM, IT IS BEST PRACTICE FOR THE SYSTEM TO BE RINSED, INCLUDING ABOVE THE SPRING LINE SOON AFTER THE SPRING THAW AS PART OF THE MAINTENANCE PROGRAM FOR THE SYSTEM.

MAINTAINING AN UNDERGROUND DETENTION OR INFILTRATION SYSTEM IS EASIEST WHEN THERE IS NO FLOW ENTERING THE SYSTEM. FOR THIS REASON, IT IS A GOOD IDEA TO SCHEDULE THE CLEANOUT DURING DRY WEATHER.

THE FOREGOING INSPECTION AND MAINTENANCE EFFORTS HELP ENSURE UNDERGROUND PIPE SYSTEMS USED FOR STORMWATER STORAGE CONTINUE TO FUNCTION AS INTENDED BY IDENTIFYING RECOMMENDED REGULAR INSPECTION AND MAINTENANCE PRACTICES. INSPECTION AND MAINTENANCE RELATED TO THE STRUCTURAL INTEGRITY OF THE PIPE OR THE SOUNDNESS OF PIPE JOINT CONNECTIONS IS BEYOND THE SCOPE OF THIS GUIDE.

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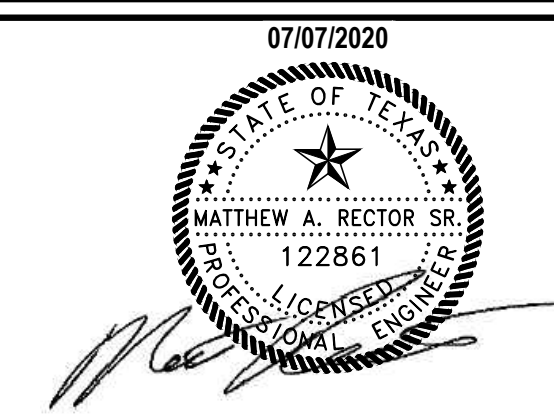
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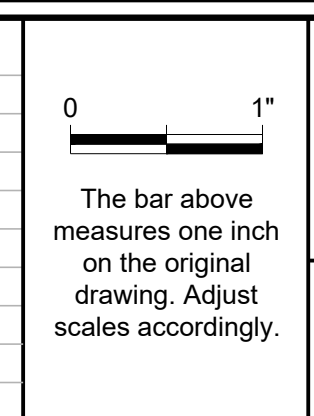
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mwm Design Group
305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734
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DETENTION POND DETAILS

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PLOTTED: 7/7/2020
JOB NO: 863-01
546
21 OF 26

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LANDSCAPE NOTES

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL OVERHEAD AND UNDERGROUND UTILITIES (INCLUDING THOSE PROPOSED WITH THIS PROJECT, I.E. IRRIGATION, WASTEWATER, WATER, STORM SEWER, GAS, TELECOM, FIBER OPTIC, ELECTRIC, ETC.) PRIOR TO STARTING WORK.
2. INFORMATION PROVIDED ON THIS PLAN IS GENERAL IN NATURE; DIMENSIONS, AREAS, AND DISTANCES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO BIDDING. DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO STARTING WORK.
3. THE CONTRACTOR IS TO THOROUGHLY FAMILIARIZE HIM/HERSELF WITH ALL PLANS, SPECIFICATIONS AND THE SITE PRIOR TO BIDDING. FAILURE TO DO SO WILL NOT REDUCE THE CONTRACTOR'S OBLIGATION TO PERFORM THE WORK AS DESCRIBED FOR THE PRICE BID.
4. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTORS IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AND IS REQUIRED TO REFLECT THE DESIGN INTENT.
5. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, OR EQUIVALENT
6. NO SUBSTITUTIONS OF PLANT MATERIAL LOCATIONS, SPECIES OR SIZE WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. AS PART OF THE BASE BID, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AS INDICATED IN THE PROJECT SPECIFICATIONS (INCLUDING, BUT NOT LIMITED TO MOWING, WATERING, REPLACEMENT OF UNACCEPTABLE, DISEASED OR DEAD PLANTS, ETC.) AND WEED CONTROL UNTIL FINAL ACCEPTANCE BY OWNER.
8. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL TO BE ALIVE AND BE IN A HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF THE ENTIRE PROJECT OR OTHER DATE(S) ESTABLISHED BY THE LANDSCAPE ARCHITECT, OR OWNER, EXCEPT AS MAY RESULT FROM NEGLIGENCE OR DAMAGE BY THE OWNER, DAMAGE BY OTHERS OR UNUSUAL PHENOMENA BEYOND THE CONTRACTOR'S CONTROL.
9. CONTRACTOR SHALL REPLACE ALL DEAD, AND/OR UNHEALTHY PLANT MATERIALS AND/OR PLANT MATERIALS THAT HAVE PARTIALLY DIED PURSUANT TO THE CONDITION OF THE WARRANTY AT NO EXPENSE TO THE OWNER. DEAD MATERIALS MUST BE REPLACED WITHIN 10 BUSINESS DAYS PER TECHNICAL PROVISIONS. RE-WARRANT REPLACEMENT PLANTS FOR AN ADDITIONAL ONE YEAR UNDER THE SAME TERMS AS THE ORIGINAL WARRANTY. PLANT MATERIALS USED FOR REPLACEMENT SHALL BE THE SAME SPECIES, SIZE AND SHAPE.
10. ALL PLANTS SHALL BE HEALTHY, VIGOROUS AND REPRESENTATIVE OF THE SPECIES SPECIFIED. ALL PLANTS SHALL BE WELL BRANCHED, PROPORTIONED, AND FREE OF ALL INSECTS, DISEASES, BARK BRUISES, SCRAPES, CRACKED BRANCHES AND PHYSICAL DAMAGE. PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO PLANT MATERIALS WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED AT TIME OF PLANTING, AS SHOWN ON DETAILS.
11. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS.
12. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
13. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
14. INSTALLATION OF LANDSCAPE SHALL BE PERFORMED BY A QUALIFIED LANDSCAPE INSTALLER WITH A MINIMUM OF FIVE YEARS CONTINUOUS EXPERIENCE OF INSTALLING LANDSCAPE PLANTINGS OF SIMILAR SIZE AND SCOPE.
15. CONTRACTOR SHALL PROVIDE MAINTENANCE FOR LANDSCAPE & IRRIGATION SYSTEM FOR 12 MONTHS FOLLOWING FINAL ACCEPTANCE OF ENTIRE PROJECT.
16. LANDSCAPE MATERIALS SHALL BE LOCATED SO AS NOT TO OBSTRUCT VISUAL OR PHYSICAL ACCESS TO FIRE HYDRANTS. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH UTILITY COMPANY REQUIREMENTS AT TRANSFORMERS, METERS, OVERHEAD LINES, ETC. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
17. EXECUTE ALL LANDSCAPING AND REVEGETATION PRIOR TO REQUEST FOR CERTIFICATE OF OCCUPANCY, FINAL INSPECTION OR AS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER. HOWEVER, NO PLANT MATERIALS SHALL BE INSTALLED BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S DESIGNATED REPRESENTATIVE. FULLY PREPARE ALL LANDSCAPE BEDS (INCLUDING IRRIGATION) PRIOR TO INSTALLATION OF LANDSCAPE PLANTS.
18. SITE STOCKPILED TOPSOIL MAY BE USED IF IT HAS BEEN DEEMED ACCEPTABLE IN QUALITY AND APPROVED BY LANDSCAPE ARCHITECT.
19. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
20. THE LANDSCAPE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM FULLY COMPLIANT WITH TCEQ REQUIREMENTS AND COMPLIANT WITH THE LANDSCAPE IRRIGATION NOTES AND CONTRACT SPECIFICATIONS.

LANDSCAPE IRRIGATION NOTES

- AUTOMATIC IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS. THESE REQUIREMENTS SHALL BE NOTED ON THE SITE DEVELOPMENT PERMIT AND SHALL BE IMPLEMENTED AS PART OF THE LANDSCAPE INSPECTION:
1. A NEW COMMERCIAL AND MULTI-FAMILY IRRIGATION SYSTEM MUST BE DESIGNED AND INSTALLED SO THAT:
 - (A) THERE IS NOT DIRECT OVERSPRAY ONTO NON-IRRIGATED AREAS;
 - (B) THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN SIX (6) FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS)
 - (C) ABOVE-GROUND IRRIGATION EMISSION DEVICES ARE SET BACK AT LEAST SIX (6) INCHES FROM IMPERVIOUS SURFACES;
 - (D) THE IRRIGATION SYSTEM HAS A MASTER VALVE;
 - (E) CIRCUIT REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS;
 - (F) SERVICEABLE IN-HEAD CHECK VALVES ARE ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE;
 - (G) THE IRRIGATION SYSTEM HAS A CITY- APPROVED WEATHER BASED CONTROLLER;
 - (H) AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER NOT MORE THAN A ONE-HALF INCH (1/2") RAINFALL;
 - (I) ZONE VALVES AND CIRCUITS ARE SEPARATED BASED ON PLANT WATER REQUIREMENTS;
 - (J) AN IRRIGATION EMISSION DEVICE (SUCH AS SPRAY, ROTOR, OR DRIP EMITTER) DOES NOT EXCEED THE MANUFACTURER'S RECOMMENDED OPERATING PRESSURE; AND
 - (K) NO COMPONENT OF THE IRRIGATION SYSTEM DEVIATES FROM THE MANUFACTURER'S RECOMMENDED USE OF THE PRODUCT.
 2. THE MAXIMUM SPACING BETWEEN SPRAY OR ROTARY SPRINKLER HEADS MUST NOT EXCEED THE RADIUS OF THROW OF THE HEAD UNLESS MANUFACTURER OF THE SPRINKLER HEAD SPECIFICALLY RECOMMENDS A GREATER SPACING. THE RADIUS OF THROW IS DETERMINED BY REFERENCE TO THE MANUFACTURER'S SPECIFICATIONS FOR A SPECIFIC NOZZLE AT A SPECIFIC OPERATING PRESSURE.
 3. THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN AND WATER BUDGET TO THE CITY AT THE TIME THE FINAL PLUMBING INSPECTION IS PERFORMED. THE WATER BUDGET SHALL INCLUDE:
 - (A) A CHART CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND
 - (B) THE LOCATION OF THE EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.
 4. IRRIGATION CONTRACTOR SHALL PROVIDE A COMPLETE AS-BUILT PLAN TO OWNER, OR OWNER'S DESIGNATED REPRESENTATIVE SHOWING ALL IRRIGATION COMPONENTS AND SIZE OF COMPONENTS, INCLUDING WATER PRESSURE, MAIN LINE, LATERAL LINES, VALVES, HEADS, BACKFLOW DEVICE, CONTROLLER, QUICK COUPLERS, ETC.
 5. COMPLY WITH ALL APPLICABLE TCEQ IRRIGATION RULES AND REGULATIONS.
 6. CONTRACTOR IS TO VERIFY PRESSURE AND WATER SUPPLY CHARACTERISTICS ARE ADEQUATE FOR THIS INSTALLATION. ANY DISCREPANCIES OR INADEQUACIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY, BEFORE STARTING CONSTRUCTION. DESIGN PRESSURE IS 65 PSI AT 45 GMP.
 7. CONTRACTOR SHALL OBTAIN ALL PERMITS AND HANDLE ALL INSPECTIONS FOR THIS WORK AS REQUIRED BY LOCAL REGULATIONS AND SHALL PAY ALL FEES ASSOCIATED WITH THESE PERMIT(S).
 8. VERIFY LOCATION OF CONTROLLER, WATER SUPPLY; SITE CONDITIONS MAY VARY. OPERABLE IRRIGATION EQUIPMENT (VALVES, QUICK COUPLERS, BFP, ETC.) SHALL BE INSTALLED SEPARATELY IN VALVE BOXES.
 9. ALL HEADS SHALL BE INSTALLED ON TRIPLE SWING JOINTS. HEADS SHALL BE NOT BE LOCATED CLOSER THAN 6" FROM PAVEMENT.
 10. ADJUST RADI AND SPRAY PATTERNS TO ELIMINATE OVERSPRAY ONTO BUILDINGS, SIDEWALKS, FENCES, DRIVEWAYS, ROADWAYS, ETC.
 11. ALL PAVEMENT CROSSINGS (LATERALS, WIRING, MAINLINE, ETC.) SHALL OCCUR WITHIN SLEEVES. INCLUDING SIDEWALKS, DRIVEWAYS, TRAILS, BIKE WAYS, ROADWAYS, ETC.
 12. PRIOR TO CONSTRUCTION, VERIFY WITH THE GENERAL CONTRACTOR AND ALL UTILITY COMPANIES THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES. IMMEDIATELY REPORT ANY BREAKAGES TO THE APPROPRIATE UTILITY COMPANY.
 13. THE CONTRACTOR IS TO INSTALL ALL SLEEVES IN SEQUENCE WITH OTHER CONSTRUCTION ACTIVITIES, AND WILL BE RESPONSIBLE FOR COORDINATING WITH OTHER SITE CONTRACTORS FOR THIS WORK. ADEQUATELY MARK THE LOCATIONS OF ALL SLEEVES AND PIPE CONNECTION POINTS TO EXISTING LINES.
 14. INSTALL THE MAIN LINE A MINIMUM OF 15" DEEP AND LATERAL LINES MIN. 12" DEEP.
 15. PROVIDE A NEW WATER PROOF TAG WITH CONTRACTOR'S NAME AND TELEPHONE NUMBER CLEARLY SHOWN AND SECURELY ATTACHED TO THE INSIDE OF THE CONTROLLER DOOR.

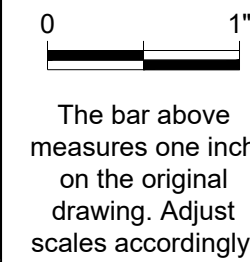
TREE MITIGATION/REPLACEMENT LIST											
TREE TAG	TREE TYPE	SIZE (INCHES)				TOTAL CALIPER (INCHES)	REPLACEMENT FACTOR	REPLACEMENT INCHES REQUIRED	REASON FOR REMOVAL/MITIGATION	REPLACEMENT TREE TYPE	PROPOSED TREE CALIPER (INCHES)
16910	Chinaberry	9.00				9.0	0%	-	Invasive		
16912	Ligustrum	8.00	6.0			11.0	0%	-	Invasive		
20033	Chinaberry	9.00				9.0	0%	-	Invasive		
20038	Chinaberry	15.00				15.0	0%	-	Invasive		
20047	Live Oak	12.00				12.0	25%	3.00	Construction	MEXICAN SYCAMORE	4.00
20088	Live Oak	14.00				14.0	25%	3.50	Construction	MEXICAN SYCAMORE	4.00
20089	Live Oak	11.00				11.0	0%	-	Construction		
20093	Live Oak	18.00				18.0	25%	4.50	Construction	CEDAR ELM	6.00
20094	Live Oak	12.00				12.0	25%	3.00	Construction	MEXICAN SYCAMORE	4.00
20095	Live Oak	10.00				10.0	0%	-	Construction		
20096	Live Oak	11.00				11.0	0%	-	Construction		
20097	Live Oak	9.00				9.0	0%	-	Construction		
20098	Live Oak	12.00				12.0	25%	3.00	Construction	MEXICAN SYCAMORE	4.00
20099	Live Oak	15.00				15.0	25%	3.75	Construction	TEXAS ASH	4.00
20100	Live Oak	12.00				12.0	25%	3.00	Construction	TEXAS ASH	4.00
20101	Live Oak	13.00				13.0	25%	3.25	Construction	TEXAS ASH	4.00
20102	Live Oak*	19.00	17.0			27.5	25%	6.00	Construction	CEDAR ELM	6.00
20103	Live Oak	20.00				20.0	25%	5.00	Construction	CEDAR ELM	6.00
20105	Cedar Elm	15.00				15.0	25%	3.75	Construction	CEDAR ELM	4.00
20106	Live Oak	10.00				10.0	0%	-	Construction		
20107	Live Oak	12.00				12.0	25%	3.00	Construction	CEDAR ELM	4.00
20108	Live Oak	7.00				7.0	0%	-	Construction		
20109	Live Oak	12.00				12.0	25%	3.00	Construction	TEXAS ASH	4.00
						TOTAL INCHES REMOVED	296.50	TOTAL REPLACEMENT INCHES REQUIRED	33.75	TOTAL REPLACEMENT INCHES PROVIDED	40.00

* Only replacing 6" maximum, as allowed by code

NOTE: TOTAL CALIPER OF REPLACEMENT INCHES MUST EQUAL REQUIRED INCHES AS MEASURED AT DBH.

PLANT LIST			
COMMON NAME	BOTANICAL NAME	SIZE	COMMENT
CEDAR ELM	ULMUS CRASSIFOLIA	6" CALIPER	12' HT., SINGLE TRUNK, B&B OR CONTAINER/BOX
CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	12' HT., SINGLE TRUNK, B&B OR CONTAINER/BOX
MEXICAN SYCAMORE	PLATANUS MEXICANA	4" CALIPER	12' HT., SINGLE TRUNK, B&B OR CONTAINER/BOX
TEXAS ASH	FRAXINUS TEXENSIS	4" CALIPER	12' HT., SINGLE TRUNK, B&B OR CONTAINER/BOX
BLUE MISTFLOWER	CONOCLINIUM COELESTINUM	1 GAL	EQUAL SPACING
BIG MUHLY	MUHLENBERGIA LINDHEIMERI	1 GAL	EQUAL SPACING
OBEDIENT PLANT	PHYSOSTEGIA VIRGINIANA	1 GAL	EQUAL SPACING
BERMUDA SOD	CYNODON DACTYLON	SOD	AS SHOWN

NO.	DATE	DESCRIPTION	BY



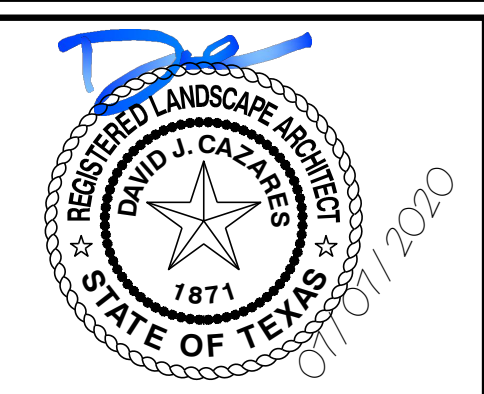
LANDSCAPE NOTES & CALCULATIONS

Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

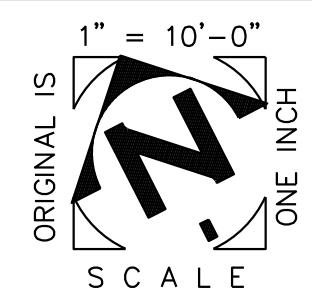
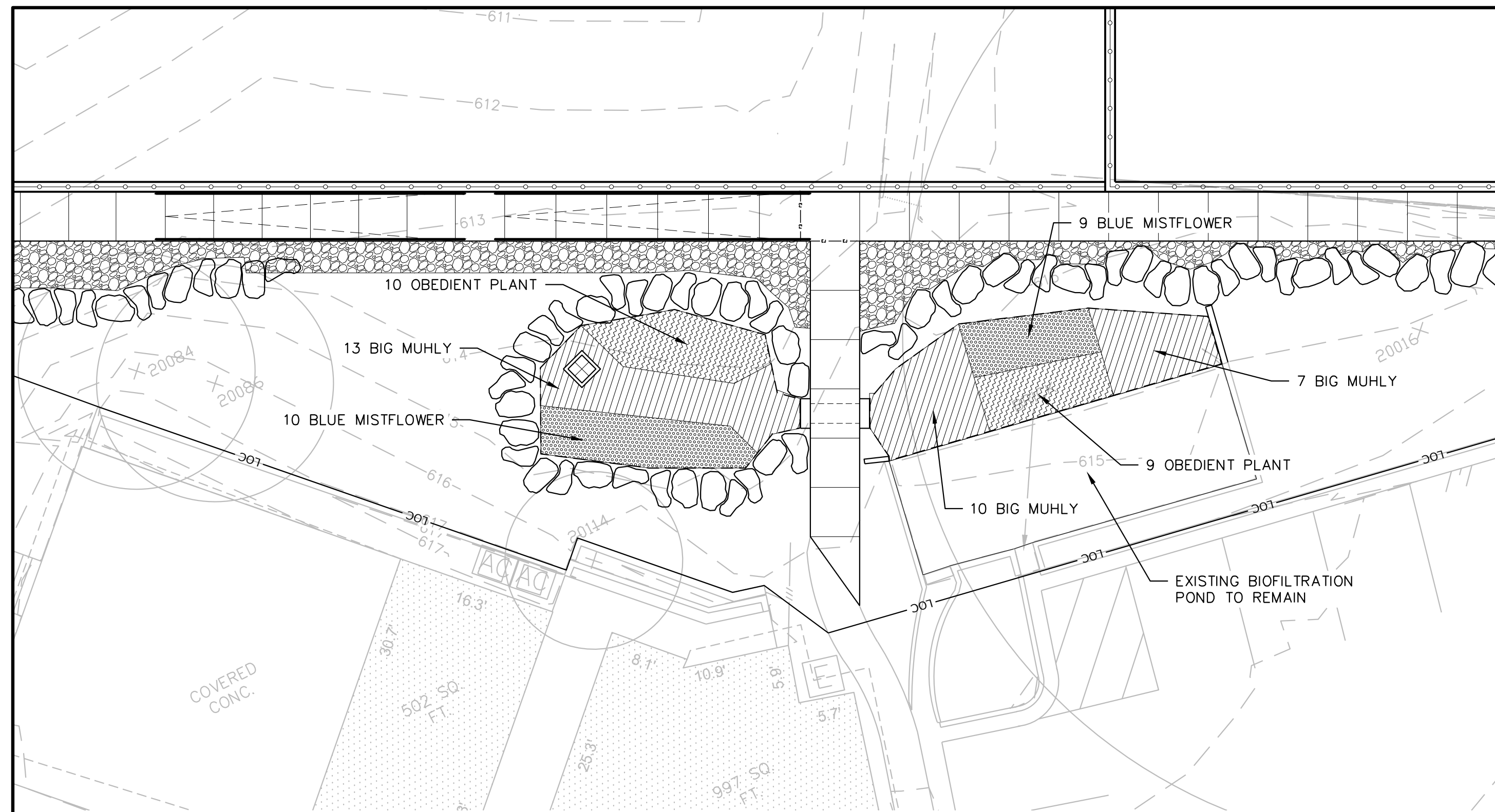
PLOTTED: 7/7/2020
JOB NO: 863-01

700

22 OF 26



mwm Design Group
305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734
TBAE FIRM REGISTRATION NO.: 14527
TBEF FIRM REGISTRATION NO.: F-14116
TBLPS FIRM REGISTRATION NO.: 10065600



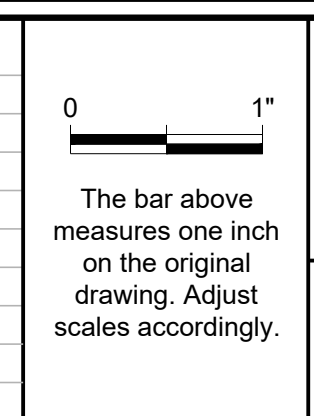
RAIN GARDEN CALCULATIONS			6-Apr-20
Biofiltration Pond Bottom	660	sf	
Biofiltration Pond Landscape		Size	Quantity
Obedient Plant		1 Gallon	19
Blue Mistflower		1 Gallon	19
Big Muhly		1 Gallon	30
			68

mwm
Design Group

305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734

TBAE FIRM REGISTRATION NO.: 1452
TBRE FIRM REGISTRATION NO.: F-1416
TBPLS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY



WATER QUALITY POND PLANTING PLAN

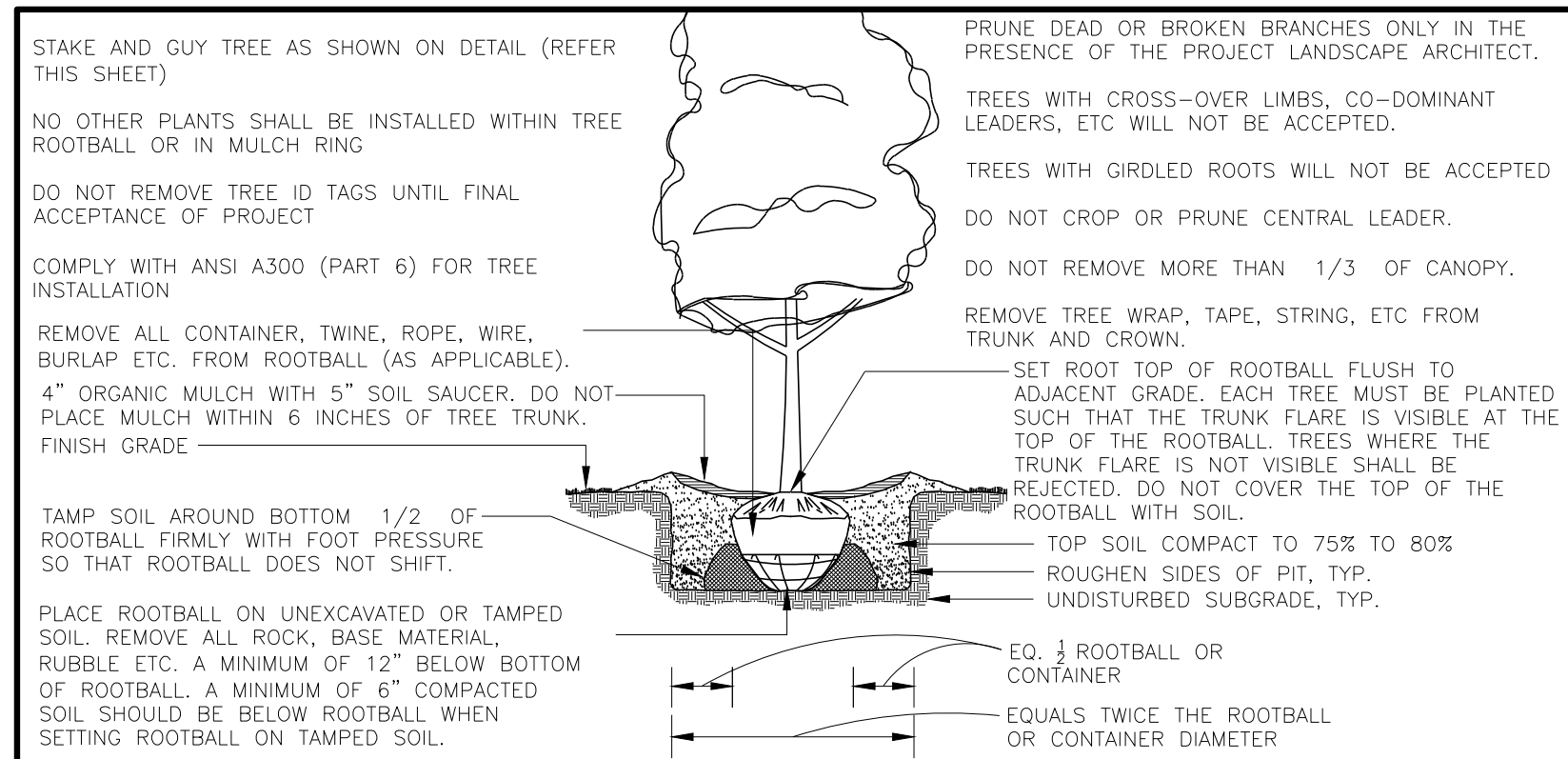
Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 7/7/2020
JOB NO: 863-01

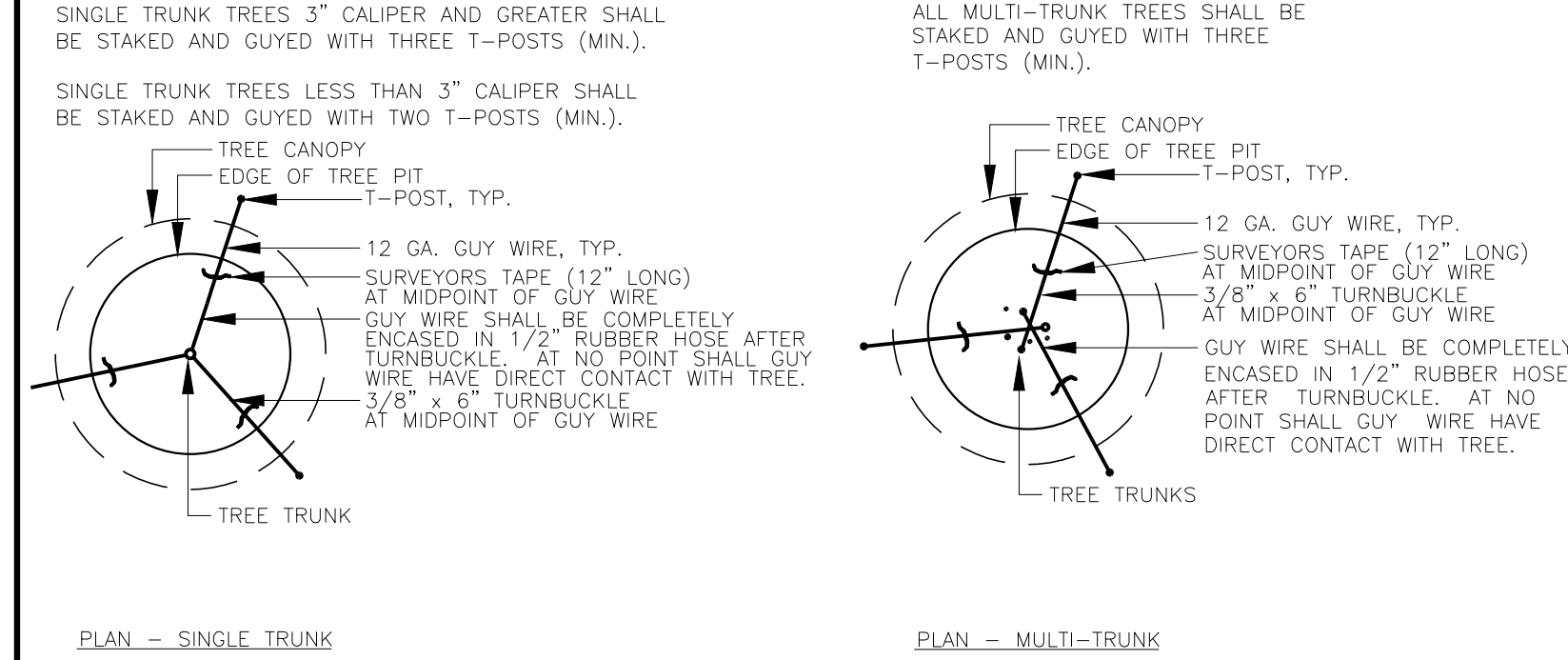
710

24 OF 26

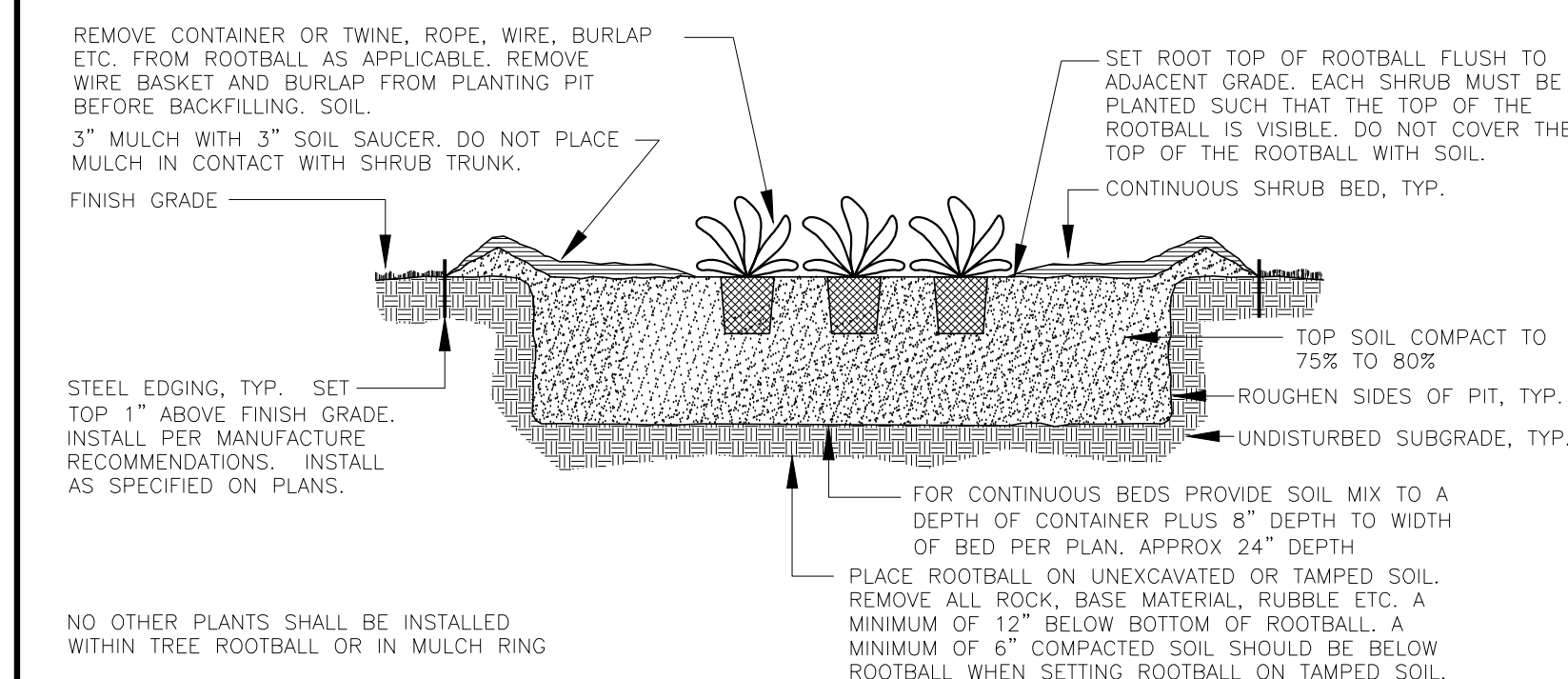
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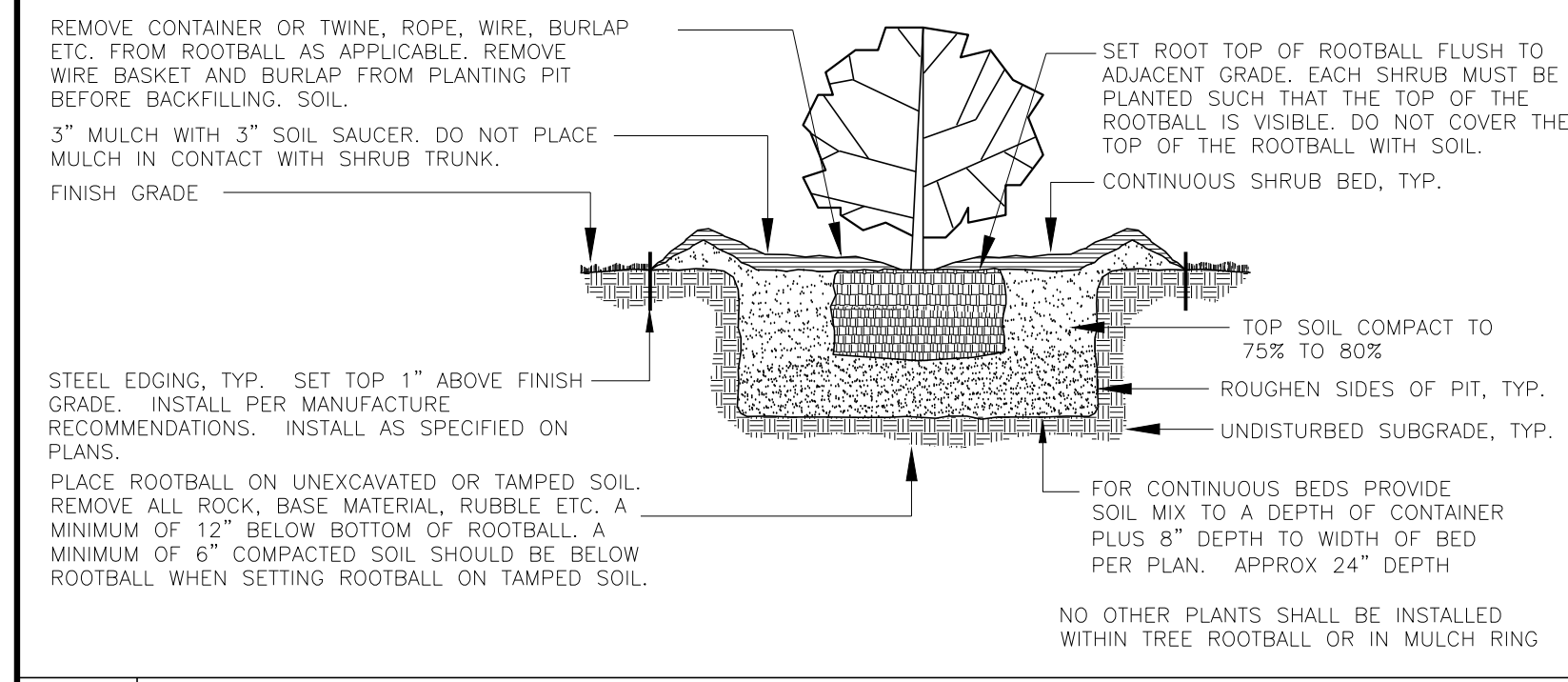
1 TREE PLANTING DETAIL (SINGLE TRUNK) GREATER THAN 3" CALIPER NO SCALE



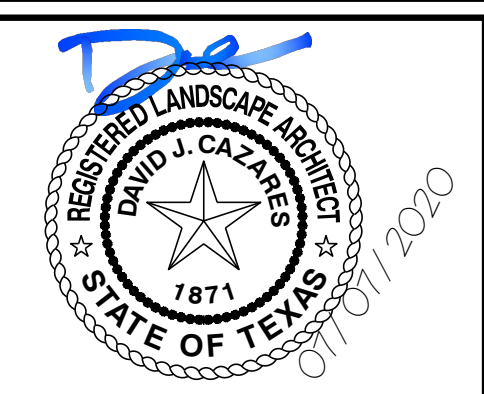
2 TREE STAKING DETAIL NO SCALE



3 PERENNIAL / GROUNDCOVER PLANTING DETAIL NO SCALE

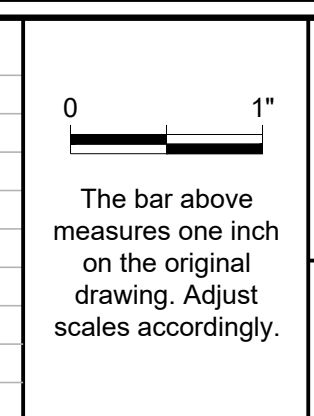


4 SHRUB PLANTING DETAIL NO SCALE



mwm Design Group
 305 East Huntland Drive
 Suite 200
 Austin, Texas 78752
 p: 512.453.0767
 f: 512.453.1734
 TBAE FIRM REGISTRATION NO.: 1452
 TPRE FIRM REGISTRATION NO.: F-14116
 TBPLS FIRM REGISTRATION NO.: 10065000

NO.	DATE	DESCRIPTION	BY

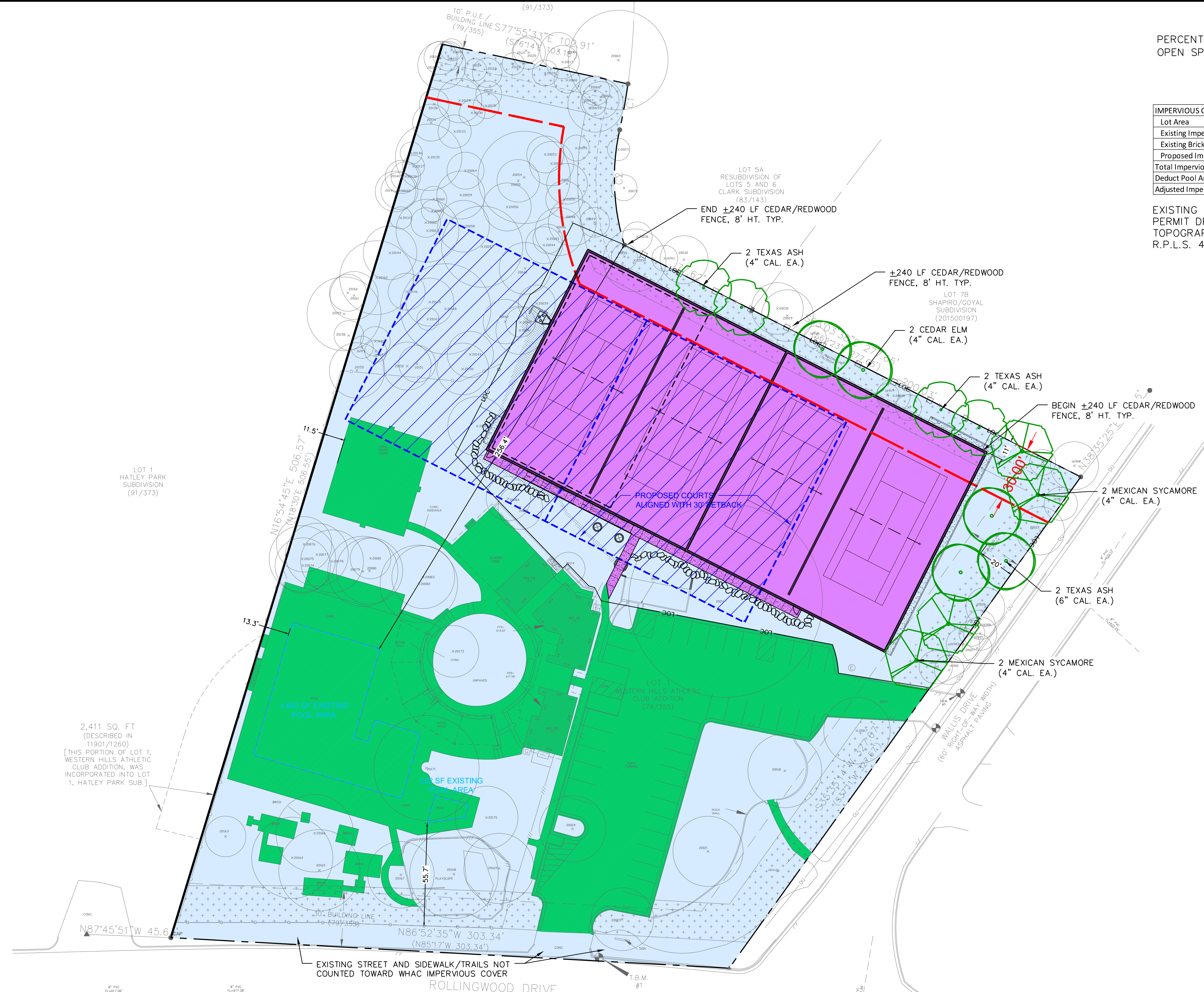


LANDSCAPE DETAILS

Western Hills Athletic Club
 4801 Rollingwood Drive
 Austin, TX 78746

PLOTTED: 7/7/2020
 JOB NO: 863-01
791
 25 OF 26

File: Y:\863-01_WHL_Athletic_Club\CAD\Sheets\791_Landscape_Details.dwg 22x34



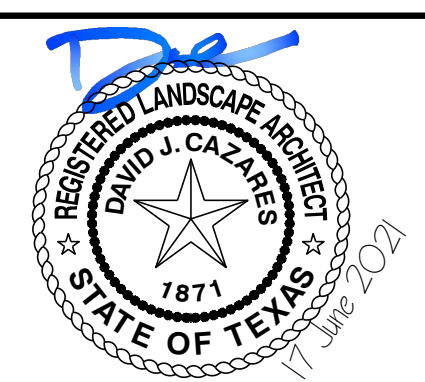
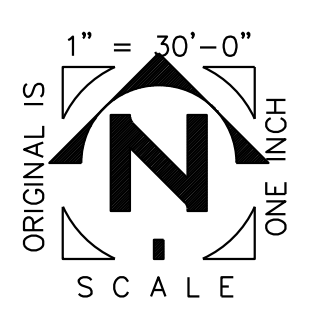
PERCENT OF LOT DEDICATED TO OPEN SPACE 50.09% (70,092 SF)

LANDSCAPE BUFFER CALCULATIONS		
20' Buffer (107-341(e))	19,658.00	SF
1 Tree / 500 SF Required	39	Required
Existing Trees	31	Trees
Provided Trees	13	Trees
Total Trees	44	Trees

IMPERVIOUS COVER CALCULATIONS				
Lot Area	139,928.00	SF	3.21	AC
Existing Impervious Cov to Remain	37,777.00	SF	100%	37,777.00 SF
Existing Brick Impervious Paving	964.00	SF	75%	723.00 SF
Proposed Impervious Cov	31,336.00	SF	100%	31,336.00 SF
Total Impervious Cover	69,836.00		49.91%	50% Allowed; Ref 107-244(a)
Deduct Pool Areas (4,893 sf + 222 sf)	(5,115.00)			
Adjusted Impervious Cover	64,721.00		46.25%	

EXISTING CONDITIONS, IMPERVIOUS COVER CALCULATIONS, DRAINAGE CALCULATIONS, PERMIT DRAWINGS AND CONSTRUCTION DRAWINGS ARE BASED ON THE TOPOGRAPHIC, TREE AND BOUNDARY SURVEY SEALED BY ROBERT C. WATTS, JR. R.P.L.S. 4995 ON 10 MAY 2018.

- EXISTING LOT AREA
- EXISTING IMPERVIOUS COVER
- PROPOSED IMPERVIOUS COVER
- 20' LANDSCAPE BUFFER REF 107-341(E)



mwm DesignGroup

305 East Huntland Drive
Suite 200
Austin, Texas 78752
p: 512.453.0767
f: 512.453.1734

TBAE FIRM REGISTRATION NO.: 1452
TBPE FIRM REGISTRATION NO.: F-1416
TBPLS FIRM REGISTRATION NO.: 10065600

NO.	DATE	DESCRIPTION	BY

IMPERVIOUS COVER CALCULATION FENCE AND TREE PLAN

Western Hills Athletic Club
4801 Rollingwood Drive
Austin, TX 78746

PLOTTED: 6/17/2021
JOB NO: 863-01

100

4 OF 26

Desiree Adair

From: Kristin Tavrdes [REDACTED]
Sent: Friday, December 30, 2022 5:02 PM
To: Desiree Adair
Subject: WHAC Pickleball & Tennis

Follow Up Flag: Follow up
Flag Status: Completed

Hi Desiree!

I'm a member at Western Hills Athletic Club and wanted to reach out to you to express how much we're hoping to add tennis and pickleball courts. Given the rise in popularity of pickleball, it is especially relevant at the moment! I think it will be a great addition to our community.

Thanks,
--
Kristin Tavrdes

Desiree Adair

From: Kent Metschan [REDACTED]
Sent: Friday, December 30, 2022 6:51 PM
To: Desiree Adair
Subject: WHAC Tennis Courts

Follow Up Flag: Flag for follow up
Flag Status: Completed

Desiree,

I just wanted to voice my support for the tennis court expansion project at the WHAC. I keep hearing about people putting in their own pickleball courts in Westlake. Must be a nuisance for neighbors. Let's give them an alternative by building them in our community. The city of Austin has both tennis and pickleball courts. We should too!

Thanks for hearing me out :)

Kent Metschan
WHAC Member

Desiree Adair

From: Brian Julian [REDACTED]
Sent: Saturday, December 31, 2022 6:47 AM
To: Desiree Adair
Subject: Tennis Court Development

Follow Up Flag: Flag for follow up
Flag Status: Completed

I am a member of the WHAC and I support the expansion of the tennis facilities. More tennis and pickleball courts would benefit the neighborhood and the WHAC by allowing the club to promote new programs and increase participation.

Thank you for considering the project.

--

Brian Julian

The information contained in this message and any attachment(s) may be privileged, confidential, proprietary or otherwise protected from disclosure and is intended solely for the use of the individual or entity to whom it is addressed. If you are not the intended recipient, you are hereby notified that any dissemination, distribution, copying or use of this message and any attachment is strictly prohibited and may be unlawful. If you have received this message in error, please notify us immediately by replying to this email and permanently delete the message from your computer. Nothing contained in this message and/or any attachment(s) constitutes a solicitation or an offer to buy or sell any securities.

If this communication concerns negotiation of a contract or agreement, the Uniform Electronic Transactions Act does not apply to this communication. Contract formation in this matter shall occur only with manually affixed original signatures on original documents.

Desiree Adair

From: Mallory Metschan [REDACTED]
Sent: Saturday, December 31, 2022 2:54 PM
To: Desiree Adair
Subject: Tennis Courts

Follow Up Flag: Follow up
Flag Status: Completed

I'm in the 8th grade at Hill Country Middle School and have been swimming at the WHAC since I was little. I don't swim anymore, but my friends have started playing pickleball and tennis. I really hope we can build these. It would be great to have this in our neighborhood so we don't have to go to Lost Creek to play.

Mallory Metschan

Desiree Adair

From: Anna Covert [REDACTED]
Sent: Monday, January 2, 2023 9:19 AM
To: Desiree Adair
Subject: Support of WHAC Tennis Courts

Dear B of A,
My husband and I are long time members of the WHAC. We are in full support of the tennis court expansion for ourselves and our children.
Kind regards,
Anna and Kenny Covert

Sent from my iPhone

Desiree Adair

From: Susan Miller [REDACTED]
Sent: Monday, January 2, 2023 10:33 AM
To: Desiree Adair
Subject: In support of additional tennis courts

Dear Board of Adjustment -

I am writing in support of the two additional tennis courts. I think anything that encourages our community to get outside and off their devices should be celebrated. I am frustrated that the tennis courts continue to be up for debate - it's been years and shouldn't be this difficult.

Best regards,
Susan Miller
312 Pleasant Drive

--

Susan Miller | mobile: 646.522.3983 | susanmiller35@gmail.com

Desiree Adair

From: Emily Burns [REDACTED]
Sent: Monday, January 2, 2023 4:36 PM
To: Desiree Adair
Subject: Support for tennis cour project

Dear Board of Adjustments,

I am writing in support of the pending tennis court project for WHAC. We are new-ish to the neighborhood and the WHAC (6 months), and have loved the pool, and the tennis courts. We are excited about the expanded racquet capacity that this project offers, as we have found that racquet sports offer some of the best ways to meet new people and form stronger connections.

Sincerely,

Emily Burns

300 Inwood Road
Rollingwood, TX 78746
857-321-3881

Member, WHAC

Desiree Adair

From: Martha Hansen [REDACTED]
Sent: Monday, January 2, 2023 4:44 PM
To: Desiree Adair
Subject: Support for Tennis Courts

Dear Board of Adjustments...

I support the new tennis courts for the following reasons:

1. Including senior residents/connect generations. The club would ideally be useful to adults and seniors as well as families.
2. Increasing social capital. Pickleball and tennis events, instruction, and leagues will bring people together socially.
3. Enhancing the beauty of property and neighborhood.
4. Increasing recreational opportunities. The club would be able to offer tennis programming for kids and adults and become something of racquet club (as well as a swim club); non-members will continue to be included as guests.
5. Increasing the value and reputation of the City of Rollingwood. Many people move to Rollingwood for the park and the pool; this plan protects and enhances this valuable asset.
6. Restoring an important local landmark.

Thank you for your consideration,
Martha Hansen
311 Blue Ridge Trail
Austin, TX 78746

Desiree Adair

From: Jaime Silver [REDACTED]
Sent: Monday, January 2, 2023 4:52 PM
To: Desiree Adair
Subject: WHAC - Tennis Project

Ladies and Gentlemen of the Board of Adjustments,

I'm writing to you in support of the tennis court renovation project that our fellow members have worked on tirelessly for years now. Despite having jobs and children and even elderly parents to take care of these project managers have all put so much time and effort into making this a thoughtful and environmentally friendly proposal.

We cannot understand why this would be met with such opposition from the Board when so many members of the WHAC and the Rollingwood community support it.

Please consider the larger picture here which is that the WHAC and it's facilities without reasonable updates and evolution simply becomes a depreciating asset which appears run down and outdated. This is not good for anyone.

We strongly urge you to approve this tennis project and if not, in writing explicitly explain what the BOA issues are and how they can be remediated so that this plan can move forward.

Thank you.
Jaime Silver
2401 Hatley Drive

Desiree Adair

From: Sarah Haldeman [REDACTED]
Sent: Monday, January 2, 2023 6:33 PM
To: Desiree Adair
Subject: WHAC

Hi! Happy New Year! I'm reaching out regarding the WHAC tennis court project.

1. Including senior residents/connect generations. The club would ideally be useful to adults and seniors as well as families.
2. Increasing social capital. Pickleball and tennis events, instruction, and leagues will bring people together socially.
3. Enhancing the beauty of property and neighborhood.
4. Increasing recreational opportunities. The club would be able to offer tennis programming for kids and adults and become something of racquet club (as well as a swim club); non-members will continue to be included as guests.
5. Increasing the value and reputation of the City of Rollingwood. Many people move to Rollingwood for the park and the pool; this plan protects and enhances this valuable asset.
6. Restoring an important local landmark.

Sincerely
Sarah Haldeman
Sent from my iPhone

Desiree Adair

From: arno p [REDACTED]
Sent: Monday, January 2, 2023 7:14 PM
To: Desiree Adair
Subject: resident comment for board of adjustment meeting 1/11

(WHAC = West Hills Athletic Club)

Ms. Adair,

We are a family residing on 200 Almarion Way. We have been members of the WHAC in the past.

We are unable to attend the meeting on 1/11, and are hereby giving written feedback for the discussion held on the request by the WHAC for a special exception to permit the enlargement and expansion of the tennis courts.

We are not in favor of this request.

We don't see any justification for a request for exemption in this case - especially for a non residential property located in the heart of a residential area.

We think that exception requests should be the exception.

There is a push by the residents and the councils to tighten construction regulations and favor smaller constructions - this request by the WHAC goes in the exact opposite direction and we feel it is unwelcome.

Thanks.

A & L Prodel

Desiree Adair

From: William T. Teten [REDACTED]
Sent: Monday, January 2, 2023 7:45 PM
To: Desiree Adair
Subject: WHAC Tennis Court Project

Dear Members of the Board of Adjustments,

I just saw that the Board of Adjustments will be considering the WHAC tennis court project this month. I wanted to let y'all know that I strongly support the proposed tennis court project at the WHAC. My kids play tennis at the courts every week and I think the proposed project is a no brainer for our community—preserve/improve current courts, add more capacity (including pickleball), improve aesthetics, improve drainage, etc.

Thank you for your time and service to our city.

Sincerely,

William Teten

William T. Teten
Partner
DuBOIS BRYANT & CAMPBELL
 303 Colorado, Suite 2300
 Austin, TX 78701
O:(512) 457-8000
D:(512) 685-3438
F:(512) 457-8008



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Desiree Adair

From: Allegra Feito [REDACTED]
Sent: Monday, January 2, 2023 8:11 PM
To: Desiree Adair
Subject: WHAC Tennis Court Expansion Support

Dear Board of Adjustments,

I'm writing as a member of the WHAC to express my full support of the tennis court project. My family and I have been members of the WHAC since 2017. My husband and school-aged sons all play tennis. We feel the court expansion is much needed and long overdue. It would be an asset to the neighborhood in so many ways.

Sincerely,
Allegra Feito

Allegra Feito

Desiree Adair

From: Courtney Rhodes [REDACTED]
Sent: Tuesday, January 3, 2023 6:46 AM
To: Desiree Adair; Michael Rhodes
Subject: WHAC Tennis Court Expansion Request

Dear Board of Adjustments,

I am a Rollingwood resident and in favor of the WHAC tennis court expansion. I personally use the tennis courts, and I know the expansion will benefit our community.

Additionally, several reasons for supporting it are listed below:

- 1. Including senior residents/connect generations. The club would ideally be useful to adults and seniors as well as families.
- 2. Increasing social capital. Pickleball and tennis events, instruction, and leagues will bring people together socially.
- 3. Enhancing the beauty of property and neighborhood.
- 4. Increasing recreational opportunities. The club would be able to offer tennis programming for kids and adults and become something of a racquet club (as well as a swim club); non-members will continue to be included as guests.
- 5. Increasing the value and reputation of the City of Rollingwood. Many people move to Rollingwood for the park and the pool; this plan protects and enhances this valuable asset.
- 6. Restoring an important local landmark.

Thank you,

Courtney Rhodes
2403 Bettis Blvd
(512) 771-1102

Desiree Adair

From: jennie moreland [REDACTED]
Sent: Tuesday, January 3, 2023 8:30 AM
To: Desiree Adair
Subject: Tennis Court Project

Dear Board of Adjustments,

I am sending this letter in support of the WHAC tennis court project. This is something that my family would use for years to come and I believe would have a positive impact on our club and our neighborhood. Please approve this project. Thank you.

Jennie Moreland and Cedric Dupont
3210 Gentry Drive

Desiree Adair

From: Tony Stein [REDACTED]
Sent: Tuesday, January 3, 2023 8:54 AM
To: Desiree Adair
Subject: WHAC Board of Adjustment Support

Hi Desiree - Could you please pass along this email of support to the board of adjustment and/or city officials, as appropriate? I've been following along as this process has played out over many meetings and may many months. I continue to support this reasonable request of the club and believe it to enhance our wonderful city with very limited negative impact and, as I understand it, support from the most immediate neighbors who would potentially be impacted most.

Thank you.

Tony Stein 512-786-2936 Sent from iCloud

Desiree Adair

From: Mike Rhodes [REDACTED]
Sent: Tuesday, January 3, 2023 8:58 AM
To: Desiree Adair
Subject: Tennis Court Expansion

Follow Up Flag: Follow up
Flag Status: Completed

I am 100% in favor of this expansion. The facilities need to be expanded to support the members (most of whom are residents), and I don't see any adverse impact from this expansion.

Mike Rhodes, PE



www.arrowhdtx.com

O 512.994.4148
C 512.653.5171

5906 Old Fredericksburg Road, Suite 203
Austin, TX 78749

Desiree Adair

From: Wendy Middlebrook [REDACTED]
Sent: Tuesday, January 3, 2023 9:53 AM
To: Desiree Adair
Subject: Support for Tennis Courts

Dear Board of Adjustments,

This email is to express my support of WHAC tennis court project. I believe this project will greatly increase the social capital of our club. Pickleball and tennis events, instruction, and leagues will bring people together socially while also including senior residents and help us connect generations. The club would ideally be useful to adults and seniors as well as families.

Thank you for your consideration of this important project.

Wendy Middlebrook

Desiree Adair

From: Jason Middlebrook [REDACTED]
Sent: Tuesday, January 3, 2023 10:25 AM
To: Desiree Adair
Subject: Please support the WHAC tennis court project

Dear Board of Adjustments,

I am writing to express my support for the WHAC tennis court improvement project. I believe this project will enhance our community by creating further interaction amongst our senior residents, children, and families. The addition of pickleball will broaden recreational opportunities for all members of our community. Thank you for your consideration of this much needed community improvement project.

Sincerely,

Jason Middlebrook
3103 Eaneswood Dr.
Austin, TX. 78746

Desiree Adair

From: Dave French [REDACTED]
Sent: Tuesday, January 3, 2023 10:50 AM
To: Desiree Adair
Subject: Support Additional Tennis Courts

I wanted to express my support for the addition of two more tennis courts at the Rollingwood Pool.

Dave French
512-657-5341
308 Buckeye Trail

Desiree Adair

From: Leigh Stein [REDACTED]
Sent: Tuesday, January 3, 2023 11:03 AM
To: Desiree Adair
Subject: WHAC Support

Dear Board of Adjustments,
I am writing in support of the WHAC tennis court project. I've been following along as this process has played out over many meetings and many many months. I continue to support this reasonable request of the club and believe it would enhance our wonderful city. The club would be useful to adults and seniors as well as families; increase recreational opportunities; enhance the beauty of the neighborhood; increase the value and reputation of our city; and restore an important local landmark.

Thank you,

Leigh Stein
512-740-2536

Desiree Adair

From: Eva Garza [REDACTED]
Sent: Tuesday, January 3, 2023 11:49 AM
To: Desiree Adair
Subject: WHAC Tennis Court Expansion

Dear Board of Adjustments,

I am writing to support the court expansion. I currently play tennis & see the need for an update to the courts. Additionally, I'd love the option to play Pickleball

The courts REALL NEED TO BE UPDATED to enhance the beauty of the property and neighborhood.

Thanks for your attention.

--
-Eva Garza-Nyer
3300 Stratford Hills Ln Austin TX 78746

Desiree Adair

From: Mark Merriman [REDACTED]
Sent: Tuesday, January 3, 2023 11:58 AM
To: Desiree Adair
Subject: WHAC

Hi

I am a member and support the tennis court expansion project at WHAC.

Thanks,
Mark Merriman

Desiree Adair

From: Allison Gerdes [REDACTED]
Sent: Tuesday, January 3, 2023 1:11 PM
To: Desiree Adair
Subject: Request for Tennis Court Improvements

Dear Board of Adjustments,

The WHAC space has so much potential but is definitely lacking with the current setup. As the swim team will not be of interest to my family for many more years, we would love to have other sporting activities so we remain interested in a membership. Please consider the following regarding the tennis court project.

- The club would ideally be useful to adults and seniors as well as families.
- Increasing social capital. Pickleball and tennis events, instruction, and leagues will bring people together socially.
- Enhancing the beauty of property and neighborhood.
- Increasing recreational opportunities. The club would be able to offer tennis programming for kids and adults and become something of a racquet club (as well as a swim club); non-members will continue to be included as guests.

THANK YOU FOR THE CONSIDERATION!

Allison

Desiree Adair

From: Kimberlee Terry [REDACTED]
Sent: Tuesday, January 3, 2023 4:36 PM
To: Desiree Adair
Subject: tennis courts in Rollingwood

Hi I am a member of the Western Hills Athletic Club and strongly support upgrading the tennis courts and adding to the existing courts if possible.

Thank you

Kimberlee Terry

Sent from my iPhone

Desiree Adair

From: Hank Gerdes [REDACTED]
Sent: Tuesday, January 3, 2023 7:26 PM
To: Desiree Adair
Subject: WHAC Improvements

Dear Board of Adjustments,

The WHAC space has so much potential but is definitely lacking with the current setup. As the swim team will not be of interest to my family for many more years, we would love to have other sporting activities so we remain interested in a membership. Please consider the following regarding the tennis court project.

- The club would ideally be useful to adults and seniors as well as families.
- Increasing social capital. Pickleball and tennis events, instruction, and leagues will bring people together socially.
- Enhancing the beauty of property and neighborhood.
- Increasing recreational opportunities. The club would be able to offer tennis programming for kids and adults and become something of racquet club (as well as a swim club); non-members will continue to be included as guests.

THANK YOU FOR THE CONSIDERATION!

Hank

Sent from my iPhone

Desiree Adair

From: Teresa Jones [REDACTED]
Sent: Tuesday, January 3, 2023 7:36 PM
To: Desiree Adair
Subject: Rollingwood resident letter

Follow Up Flag: Follow up
Flag Status: Completed

Dear Board of Adjustments,

My name is Teresa Jones and my husband Hunter and our two children, Brady and Cade live at 209 Ashworth. We have lived in Rollingwood for over 15 years and are about to be empty nesters in just a few short years. We would absolutely love to see the addition of more tennis and especially pickle ball in our neighborhood. Pickleball has caught on across the country because it is really fun, for all ages!! One of the things I love most about our community is the mix of all ages, young and old. It would be fabulous to have more leagues that brings our community together socially right here in Rollingwood.

As a realtor, I firmly believe that these improvements would increase the value and reputation of our sweet City of Rollingwood.

Thank you for your consideration,

Teresa Jones
Realtor®

2500 Beecaves Rd. Bld.3 Suite 200
Austin TX 78746
m: 214.641.6554

Desiree Adair

From: Brad Walters [REDACTED]
Sent: Wednesday, January 4, 2023 9:46 AM
To: Desiree Adair
Subject: Tennis Improvements

Good Morning - I am writing in support of the proposed tennis expansion at the WHAC (Rollingwood Pool). I think it would be a great community benefit.

Thank you,
Brad Walters
(512) 788-2449 mobile
bwalters@bwp-re.com

Desiree Adair

From: K.C. Willis [REDACTED]
Sent: Wednesday, January 4, 2023 4:50 PM
To: Desiree Adair [REDACTED]
Subject: WHAC improvements

Mrs Adair,

I am writing to you as a member of WHAC in support of the proposed tennis court project. Thank you and Happy New Year!

Many Thanks,
KC Willis

The Willis Company
1608 W. 5th Street, Suite 240
Austin, TX 78703
(512) 692-7200 main
(512) 789-0678 mbl
www.willis-company.com

Desiree Adair

From: jennifer hill [REDACTED]
Sent: Wednesday, January 4, 2023 6:07 PM
To: Desiree Adair
Subject: IN FAVOR OF WHAC TENNIS COURT PROJECT

Hello,

I want to write in support of the tennis court project at the RW pool. We need 4 tennis courts and I know that the pool has gone above and beyond to come up with a plan for these courts. Please allow them to do the project.

Thank you,
Jennifer Hill

Desiree Adair

From: Jason Mills [REDACTED]
Sent: Wednesday, January 4, 2023 10:05 PM
To: Desiree Adair
Subject: Tennis Expansion Project

Desiree - Could you please pass the below on the Board of Adjustments.

My name is Jason Mills, my wife Laurie and I have been Rollingwood residents for 21 years and were formerly members of the WHAC where I served on the board for 6 years, 3 of which as Board President. I have also served as President of RCDC and Laurie is currently serving on the Park Commission.

We just wanted to voice our support for the tennis court expansion project that the WHAC is currently pursuing. We appreciate the minimalist approach and effort the WHAC Board has taken to reduce the number of trees that have to be removed / replaced and feel this expansion would benefit the entire community.

Thank you,

Laurie and Jason Mills
2610 Rollingwood Dr

Desiree Adair

From: Megha Harakh [REDACTED]
Sent: Wednesday, January 4, 2023 10:16 PM
To: Desiree Adair
Subject: WHAC tennis court project

Hi Desiree,

Just wanted to let you know I'm a member at WHAC and I'm in support of the tennis/pickle ball court project there.

Thank you for your consideration!
Megha Harakh

Desiree Adair

From: Rob Burleigh [REDACTED]
Sent: Thursday, January 5, 2023 9:48 AM
To: Desiree Adair
Subject: WHAC Tennis Improvements

Dear Board of Adjustments,

I hope the new year finds you well. I'm writing to voice support for the tennis improvement project at the WHAC, AKA the Rollingwood Pool.

As a parent, I would relish the opportunity to offer my children a true tennis experience: one the club could offer with improved tennis facilities. Selfishly, I would also like to see more opportunities to play tennis with other adults and expand my social network through a league or adult tennis program.

Please let the club move forward with improvements. I believe it will benefit, not only the club; but also Rollingwood itself with a high quality option for social and kids activities.

Thank you for your consideration,
Rob Burleigh

Desiree Adair

From: Payton Merriman [REDACTED]
Sent: Thursday, January 5, 2023 11:31 AM
To: Desiree Adair
Subject: Support of new tennis courts at WHAC

Desiree,

As a current member of Western Hills Athletic Club, I wanted to express my approval of the proposed tennis court addition. We think it will be a huge asset to the club and our family will greatly benefit from this improvement.

Thanks,
Payton Merriman

Desiree Adair

From: Mary Sullivan Casas [REDACTED]
Sent: Thursday, January 5, 2023 12:33 PM
To: Desiree Adair
Cc: Greg
Subject: Note in support of the WHAC tennis court project and improvements

Hello and Happy New Year ~

We are writing in support of the addition of 2 tennis courts with pickleball lines and new landscaping proposed in the WHAC tennis project.

Thank you,

Mary & Greg Casas

Sent from my iPhone

Desiree Adair

From: Debbie Dillion [REDACTED]
Sent: Thursday, January 5, 2023 2:30 PM
To: Desiree Adair
Subject: WHAC tennis court expansion

Hello,

This is Debbie Dillion, a resident of RW at 3211 Pickwick Ln. We have lived here for over 10 years and have 2 high school aged children. We are longtime, former WHAC members. I am writing to express my full support of the tennis court expansion and addition of pickle ball courts as a great addition to our wonderful community.

Thanks for your consideration.

Best,

Debbie Dillion

Desiree Adair

From: Vishal [REDACTED]
Sent: Thursday, January 5, 2023 3:05 PM
To: Desiree Adair
Cc: Me! Bhavana
Subject: WHAC tennis court project

Hello,

I'm writing regarding support of expanding the tennis program. Our family has a big interest and struggle to find courts, instructors and groups to play with. We are in 100% support of any expansion that would take place.

Best ,

Vishal Kancherla

Desiree Adair

From: Rishi Shah [REDACTED]
Sent: Thursday, January 5, 2023 3:34 PM
To: Desiree Adair
Subject: WHAC Tennis court project

Dear Board of Adjustments,

My family and I strongly support the WHAC tennis court project for many reasons.

It will be great for the community and for kids who want to learn and practice tennis.

It will also be a great asset for the community and enhance the beauty of the property.

Thanks,
Rishi Shah
2800 Rock Way

Desiree Adair

From: Catherine Scott [REDACTED]
Sent: Thursday, January 5, 2023 4:58 PM
To: Desiree Adair
Subject: BOA: support for WHAC tennis courts

To Whom It May Concern:

My name is Catherine Scott and my husband Shaesby Scott, along with our 3 kids, have been Rollingwood residents for 11 years and members of the Western Hills Athletic Club for 11 years. We are in support of the WHAC proposal to renovate and expand the tennis courts.

Sincerely,

Catherine Scott
512-659-8426

Desiree Adair

From: Tony Broglio [REDACTED]
Sent: Thursday, January 5, 2023 4:59 PM
To: Desiree Adair
Subject: WHAC tennis court proposal

Hi Board of Adjustments:

I'm a WHAC member and Rollingwood resident (2403 Vance Lane). I'm writing in support of the WHAC's proposal to improve the two existing tennis courts and add two additional courts. The repair of the existing courts and the addition of the two new courts that extend along the same setback would be a huge upgrade for the community and expand the use of the club for all ages. I don't believe the objections regarding drainage, noise or tree removal are founded in facts. I understand the fear, but I believe the club has put forward a plan that more than adequately mitigates and overcomes each of these concerns.

Unfortunately, I can't attend in person on the 11th due to travel, but I hope you'll approve the WHAC's proposal.

Sincerely,
Tony Broglio
773-865-7130

Desiree Adair

From: Maggie Broglio [REDACTED]
Sent: Thursday, January 5, 2023 5:06 PM
To: Desiree Adair
Subject: WHAC Proposal

To Whom It May Concern:

My name is Maggie Broglio, and I live at 2403 Vance Lane in Rollingwood with my husband, Tony, and our 4 teenage kids.

We are members of the WHAC and we frequently use the tennis courts and take tennis lessons. We are in full support of the WHAC proposal to renovate and expand the courts.

Sincerely,

Maggie Broglio
773-865-7120

Desiree Adair

From: Ray Eve Michel [REDACTED]
Sent: Thursday, January 5, 2023 5:07 PM
To: Desiree Adair
Cc: Tom Michel
Subject: WHAC tennis court expansion

To Whom It May Concern:

My name is Ray Eve Michel and my husband Tom Michel, along with our 2 kids, have been Rollingwood residents for almost 13 years and members of the Western Hills Athletic Club for over half of those. We are in support of the WHAC proposal to renovate and expand the tennis courts.

Sincerely,

Ray Eve Michel
512-431-4059

Sent from my iPhone

Desiree Adair

From: Shelly Bain [REDACTED]
Sent: Thursday, January 5, 2023 5:09 PM
To: Desiree Adair
Cc: David
Subject: Tennis court support

Dear Board of Adjustments

My name is Shelly Bain, and I am a member of the Western Hills Athletic Club (WHAC) and I live at 400 Vale Street. Our family has lived in Rollingwood for 17 years and have been WHAC members for 14 years.

I want to express my support for the WHAC tennis court expansion project. The current courts have deteriorated, and this project will improve our parks. The expansion to four courts will allow for more programming and community gathering. The Bain family is in full support!

Sincerely,

Shelly Bain

Desiree Adair

From: Laila Scott [REDACTED]
Sent: Thursday, January 5, 2023 5:10 PM
To: Desiree Adair
Subject: WHAC renovation & expansion

To Whom It May Concern:

My name is Laila Scott and my husband Jordan Scott, along with our 3 boys, have been Rollingwood residents for 14 years and members of the Western Hills Athletic Club for 13 years. We are in support of the WHAC proposal to renovate and expand the tennis courts.

Sincerely,

Laila

Laila P. Scott
512-983-0405

Desiree Adair

From: Tamara Stillman [REDACTED]
Sent: Thursday, January 5, 2023 5:39 PM
To: Desiree Adair

To Whom It May Concern:

My name is Tamara Stillman and my husband Brian Stillman, along with our 2 kids, have been Rollingwood residents for 10 years and members of the Western Hills Athletic Club for 7 years. We are in support of the WHAC proposal to renovate and expand the tennis courts.

Sincerely,

Tamara Stillman
774-261-3066

Desiree Adair

From: Bobby McQuiston [REDACTED]
Sent: Thursday, January 5, 2023 7:05 PM
To: Desiree Adair
Cc: Bobby McQuiston
Subject: Fw: Opposed to Special Exception (107-491) Western Hills Athletic Club

To City Secretary Desiree Adair - please forward the comments below to be considered by the Board of Adjustment at their January 11th continuation meeting.

In October, I sent the email below to the Board of Adjustment regarding our position on the nonconforming tennis courts and expansion plans of WHAC. We stand adamantly opposed to granting this special exception under the City's Code of Ordinances. The loss of trees, the increased traffic and loudness of the games of pickleball on the courts for hours on end is totally unacceptable to this resident.

Thank you.
Bobby and Margaret McQuiston

Forwarded Message -----

From: Bobby McQuiston <bcmcquiston@sbcglobal.net>
To: developmentsservices@rollingwoodtx.gov <developmentsservices@rollingwoodtx.gov>
Cc: Bobby McQuiston <bcmcquiston@sbcglobal.net>
Sent: Tuesday, October 25, 2022 at 09:45:42 AM CDT
Subject: Opposed to Special Exception (107-491) Western Hills Athletic Club

Greetings members of the Board of Adjustment,

Thank you for your service to the citizens of Rollingwood and our community.

My wife and I are not going to be able to attend the public hearing on October 26th, so we are presenting our position in this email.

We built our home on Rock Way in 1976 and have been members of the Western Hills Athletic Club (WHAC) since 1974 (joined when we purchased the property before building the home). We remain members, 48 years and counting. Our children grew up using the pool, the ball fields and the two tennis courts. I was an avid tennis player for over 30 years, playing three times per week. I did not often find both courts taken when I wanted to play, but when such rare occasions did occur, I found alternate courts readily available, either at the Hill Country Middle School or at the Westlake High School, each in close proximity.

Having reviewed the plans for the Special Exception proposed by WHAC and recently walked the property to give us a visual sighting, my wife and I are adamantly opposed to the requested expansion for tennis and pickleball courts. The loss of so many beautiful, I would say, "Legacy" trees, is totally unacceptable. Expansion of the courts and loss and destruction of those trees would forever alter the beauty of the current setting. As I mentioned, multiple alternative courts exist in the event neither of the two current courts is available, and those alternative courts are only 5-10 minutes away, not a big burden upon those wanting to use the courts.

Please hear our voices against this unnecessary and destructive plan.

Thank you.

Bobby and Margaret McQuiston

Desiree Adair

From: Ryan Frederick [REDACTED]
Sent: Thursday, January 5, 2023 8:03 PM
To: Desiree Adair
Subject: Re: WHAC proposal

To Whom It May Concern:

My name is Ryan Frederick and my family (family of 5) has been Rollingwood residents for 3+ years. We are in support of the WHAC proposal to renovate and expand the tennis courts.

Regards,

Ryan Frederick
415-608-6381

--

Ryan Frederick
415.608.6381 (M)

Desiree Adair

From: Sang McDonnell [REDACTED]
Sent: Thursday, January 5, 2023 8:11 PM
To: Desiree Adair
Subject: support in favor of WHAC tennis court project

Hello Desiree,

I am a neighboring resident of Rollingwood, and I am a member of the Western Hills Athletic Club.

I would like to express my support in favor of the tennis court project at Western Hills Athletic Club. I truly believe these courts will be greatly additive to the Rollingwood community.

Thank you,

Sang McDonnell
512-650-6830

Desiree Adair

From: Annie Jacobs [REDACTED]
Sent: Thursday, January 5, 2023 9:04 PM
To: Desiree Adair
Subject: WHAC Member in support of tennis court project

Good evening,

I'm writing to voice support for the WHAC tennis court project currently under review. We live in Las Lomas and have been members since 2015 and use the facilities almost daily in the spring and summer for social swim and swimteam, and often in fall and winter for the tennis and basketball courts.

The club is one of our favorite things about living in this community. The pool updates were phenomenal, and it's now time to update the courts. They're an eye sore as they are, and revamping that area would increase the beauty of our neighborhood.

We have four children under 12 years old who would all love to be part of a more established tennis program in Rollingwood. Updating the facility would allow for enhanced usage.

Please approve the project in the interest of the future of Rollingwood.

Regards,

Annie Jacobs
103 Crestwood Ct
512-799-1902

Sent from my iPhone

Desiree Adair

From: Justin Jacobs [REDACTED]
Sent: Thursday, January 5, 2023 9:09 PM
To: Desiree Adair
Subject: Rollingwood Tennis Courts - WHAC member in full support

Ms. Adair -

Thank you so much for hearing out WHAC members regarding their sentiment towards the tennis court improvement project. Your evaluation and discernment over the merits of the project is greatly appreciated.

My family of six have been WHAC members for about a decade now. We spend hours and hours every week at the pool, tennis courts, volleyball court, and baseball fields. It has been the place where we have found our community and fellowship. From birthday parties, to Western Hills Baseball, to mini tennis tournaments, we have LOVED our time at the WHAC.

For us, we are 100% in favor of this project. Any endeavor to further enhance our community gathering place gets a big thumbs up from our household. Please consider supporting this project and know how valuable the WHAC is for so many of us that utilize it.

Respectfully,
Justin Jacobs

Sent from my iPhone

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Desiree Adair

From: Lesley Hempfling [REDACTED]
Sent: Thursday, January 5, 2023 9:10 PM
To: Desiree Adair
Cc: Bobby
Subject: Regarding Tennis Court Issues

We live at 2 South Peak Road and are members of WHAC. We have four children and moved from central Austin to Rollingwood 6 years ago for its proximity to downtown, the community experience/offerings (pool, tennis, parks, little league!) and the school district. We strongly support the new tennis court initiative that is pending before the board. If Rollingwood wants to continue to be a premier community where families want to live, it is important to embrace development in this context and not remain stagnant. In the last 6 years, we have continued to see anything "new" be shut down entirely. The perception is that the smallest, but loudest, in the community win out at the end of the day. That is unfortunate for the majority in the community who don't want to spend all of their free time fighting these issues, but care about them the same nonetheless.

As I am sure you have seen in many emails by now, a few of the reasons that the board should move forward with the new tennis courts are set out below.

1. Including senior residents/connect generations. The club would ideally be useful to adults and seniors as well as families. Have you heard Pickleball is the new sport of choice for seniors?!?
2. Increasing social capital. Pickleball and tennis events, instruction, and leagues will bring people together socially.
3. Enhancing the beauty of property and neighborhood.
4. Increasing recreational opportunities. The club would be able to offer tennis programming for kids and adults and become something of racquet club (as well as a swim club); non-members will continue to be included as guests.
5. Increasing the value and reputation of the City of Rollingwood. Many people move to Rollingwood for the park and the pool; this plan protects and enhances this valuable asset.
6. Restoring an important local landmark.

Respectfully, we ask that you give this careful consideration and think about the long game for all of the residents of Rollingwood.

Best,
 Lesley & Bobby Hempfling

Desiree Adair

From: John Eitel [REDACTED]
Sent: Thursday, January 5, 2023 9:42 PM
To: Desiree Adair
Cc: Marilee Eitel
Subject: Tennis Court Proposal - Full Support

To Whom It May Concern:

My name is John Eitel. My wife Marilee and I are long-time RW residents and have been members of the WHAC for 12 years. We actively utilize the club and both of our sons(Evan and Peyton Eitel) are recipients of their 10-year swimmer's awards. We have loved having the club in our neighborhood and are in FULL support of the proposal to renovate and expand the tennis courts.

Please don't hesitate to reach out if you have any questions.

Sincerely,

John and Marilee Eitel

Desiree Adair

From: Omaira Brightman [REDACTED]
Sent: Thursday, January 5, 2023 10:19 PM
To: Desiree Adair
Cc: David Brightman
Subject: Rollingwood Tennis Courts

Dear Desiree,

Please include my email and share it with the Board of Adjustments regarding the proposed Western Hills Athletic Club Tennis project.

To Whom It May Concern,

I'm writing to you as a resident of Rollingwood and WHAC member for over 6 years. We love and cherish our community immensely. My husband and I are in favor of the proposed expansion and improvements to the tennis courts at the WHAC. While we believe that some of the recent increased oversight on construction in our community could be productive in retaining the integrity and spirit of our City, we think it's also incredibly important for city leadership to consider the impact a project would have on our broader community. Flexing city code in this case will help restore a wonderful local landmark, improve drainage AND increase the opportunities for members (old and young) to be more active. It is a no brainer.

We really believe that the positives greatly outweigh any perceived negatives and are reason enough as to why an exception to our city code should be made to make this project possible. I'm grateful for their existence as it has allowed me the opportunity to pick up a sport that I've always wanted to play but didn't have the opportunity to learn as a kid. I cherish my weekly tennis "clinics" with my other fellow tennis beginner moms - it's a welcome mental break from busy working mom life. My family also used to use the tennis courts regularly but they pose a serious hazard (and liability to Rollingwood/WHAC) particularly for small children learning a new sport. In fact, we decided to stop our kids taking lessons at the Rollingwood courts (despite it being 2 minutes from our house) given the state of the courts and currently drive them out once a week to Spanish Oaks for their lessons (I would do the same for myself, but the 50 min roundtrip is hard to fit in during working hours).

The proposed upgrade should be welcomed and celebrated by our community. I for one would be grateful for additional recreational opportunities closer to home for our whole family.

Cordially,
Omaira & David Brightman
302 Vale Street

Desiree Adair

From: Ryan Nacol [REDACTED]
Sent: Thursday, January 5, 2023 10:34 PM
To: Desiree Adair
Subject: WHAC / Rollingwood pool

To whom it may concern,

I've been a member of Rollingwood Pool since 2015 and I approve of Brian Nash's recommendations (adding two tennis courts to WHAC).

Thank you for your time and consideration,

Ryan Nacol
123 Birnam Wood Ct, Austin, TX 78746

Desiree Adair

From: Kristen Burns [REDACTED]
Sent: Thursday, January 5, 2023 10:35 PM
To: Desiree Adair; Scott Burns
Subject: We support the tennis court improvement project!

We love living here and look forward to the club continuing to improve.

Thanks!
Kristen and Scott Burns
107 Laura Lane

Sent from my iPhone

Desiree Adair

From: Dave Klivans [REDACTED]
Sent: Friday, January 6, 2023 7:06 AM
To: Desiree Adair
Subject: Tennis expansion project WHAC

Hi Desiree,

I hope you are well.

We have been living in RW for 3.5 years. All along, we have been happy members of WHAC.

We fully support the tennis expansion initiative because tennis is a lot of fun and connects many people in the community.

Further, this project will build equity in the community of RW and help many community members enjoy the facilities, become physically and mentally healthier, and socialize with one another fostering new ideas and new initiatives.

Thank you kindly for voting yes on this.

Thank you,

Dave Klivans
512-789-1905

Have a great day!

Desiree Adair

From: Buck Shapiro [REDACTED]
Sent: Friday, January 6, 2023 7:53 AM
To: Desiree Adair
Subject: WHAC / BOA Tennis court variance

Hi Desiree -

I, Buck Shapiro, support the proposed project and variance request by WHAC. I live at 406 Wallis Dr, Rollingwood TX 78746 which is second house to north of the WHAC on Wallis. It impacts my house as much as anyone's and I fully support it.

Thanks for your consideration,

Buck

Buck Shapiro, attorney

Desiree Adair

From: Scott Burns [REDACTED]
Sent: Friday, January 6, 2023 8:11 AM
To: Kristen Burns
Cc: Desiree Adair
Subject: Re: We support the tennis court improvement project!

+1

> On Jan 5, 2023, at 10:34 PM, Kristen Burns <kraggio@hotmail.com> wrote:

>

> We love living here and look forward to the club continuing to improve.

>

> Thanks!

> Kristen and Scott Burns

> 107 Laura Lane

>

> Sent from my iPhone

Desiree Adair

From: Brad Thawley [REDACTED]
Sent: Friday, January 6, 2023 8:12 AM
To: Desiree Adair
Subject: Support of WHAC expansion (tennis)

My name is Brad Thawley, resident of Rollingwood at 4900 Rollingwood Dr, and WHAC member for the last decade. I'm hugely supportive of the expansion project to add tennis courts to the WHAC.

Thanks for the consideration.

-Brad
512-913-9614

Desiree Adair

From: Ashley Withers [REDACTED]
Sent: Friday, January 6, 2023 8:31 AM
To: Desiree Adair
Subject: Letter of Support - WHAC Renovation

Hello,

I am writing to show my support of the WHAC renovation including additional tennis courts and pickleball. We have 3 young children and we are current members of the WHAC and Rollingwood residents. We would like additional tennis courts to help build out the tennis program. We also believe the pickle ball courts would increase community engagement and be a nice addition to our community. Pickleball is the most popular sport and will continue to grow in popularity. Now more than ever families need to be outside and the WHAC expansion encourages the outdoors, community engagement and family time.

Thank you for your time.

Ashley Withers
305 Almarion Drive
512-417-2916

Desiree Adair

From: David Perez [REDACTED]
Sent: Friday, January 6, 2023 8:39 AM
To: Desiree Adair
Cc: Bethany Perez
Subject: In support of the Western Hills Athletic Club tennis project

Secretary Adair,

As members of the Western Hills Athletic Club our family supports the tennis court project. We encourage the City of Rollingwood and its Board of Adjustments to be supportive of this project as well for the benefit of the entire community.

Thanks for your consideration,
David and Bethany Perez

*sent from my iPhone

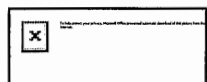
Desiree Adair

From: Emily Seiders [REDACTED]
Sent: Friday, January 6, 2023 8:50 AM
To: Desiree Adair
Subject: Support of Tennis Court Expansion Project

To whom it may concern -

I am writing to show our family's support of the WHAC Tennis Court expansion project. We are in support of any initiative that improves or adds amenities for families and children in our community, and this is one of them. I am aware of the approved drainage plan to mitigate the construction and the support of the immediate surrounding neighbors, therefore am in support of the project.

Thank you -
Rick and Emily Seiders
2402 Pickwick Lane



—
Emily Seiders
Founder / Principal Designer

c — 512.626.8420

studioseiders.com
[@studioseiders](https://www.instagram.com/studioseiders)

Desiree Adair

From: B.K. Newsom [REDACTED]
Sent: Friday, January 6, 2023 8:58 AM
To: Desiree Adair
Subject: WHAC Tennis Court Project

Hello Desiree,

I'm writing you to express my family's support of the WHAC Tennis Court renovation and expansion project. My family has been members at the WHAC since the 90's, and keeping these facilities modern and providing the best service to the community that enjoys this club is of the utmost importance to us.

We would greatly appreciate the City of Rollingwood's consideration and support for this needed project.

Sincerely,

B.K. Newsom

Desiree Adair

From: Ann Bernard [REDACTED]
Sent: Friday, January 6, 2023 9:01 AM
To: Desiree Adair
Subject: Tennis court support

Hello Board of Adjustments,
My name is Ann Bernard and I live at 306 Inwood Road. We have lived in our home for 15 years. I support the expansion/renovation projects at the tennis courts at the Rollingwood pool. We are current members of the WHAC.

Thanks so much!
Ann Bernard

Sent from my iPhone

Desiree Adair

From: Tollie Bernard [REDACTED]
Sent: Friday, January 6, 2023 9:11 AM
To: Desiree Adair
Subject: Support for Western Hills Athletic Club (WHAC)- Tennis Courts

To whom it may concern,

I have been and remain in support of WHAC tennis court renovations. This project is years in the making and long overdue.

My primary reasons for supporting this project has to do with expanding recreational opportunities for me and my family and the beautification of this space which has long been neglected.

There is very little opposition to this project within the club and within Rollingwood. Further, the feedback from like minded members and families is very supportive and looks forward to the completion of this for the betterment of the club and the beautification of what I see as an extension of our parks.

Thank you for your consideration.

Tollie Bernard
306 Inwood Rd.
Rollingwood, TX 78746

Desiree Adair

From: Marie Saba [REDACTED]
Sent: Friday, January 6, 2023 9:23 AM
To: Desiree Adair
Subject: Strong Support for Tennis Court Expansion

Hi,

My name is Marie Saba and I am a long-time resident of Rollingwood and member of WHAC. I was raised in Rollingwood, spent many summers at the pool and on the tennis courts as a child, and am happy to raise my family here, too. Both of my children have taken lessons on the WHAC tennis courts. Now, tennis is my daughter's favorite sport and she looks forward to her lessons every week. **We wish to voice our STRONG support for the renovation and expansion of the existing 2 tennis courts to 4, with added lines for pickle ball, and whatever other improvements are associated with the proposed renovation.** We feel frustrated that this has taken so long to pass when it would be so beneficial to families in Rollingwood and members of the WHAC.

Thank you,
Marie Saba
2401 Pickwick Lane
Rollingwood, TX 78746
512-468-1529

Desiree Adair

From: Ashley Horne [REDACTED]
Sent: Friday, January 6, 2023 9:40 AM
To: Desiree Adair
Subject: SUPPORT for the WHAC tennis court plans

Hi!

We have been Rollingwood residents since 2008 and have 3 kids (high School, Middle school & and an elementary schooler) that love to enjoy the amenities at the WHAC. I wanted to let you know we are in FULL support of the WHAC's plans for the tennis courts and all that includes.

Thank you,

Ashley Horne
3308 Gentry Drive

Desiree Adair

From: Stephanie Trotter [REDACTED]
Sent: Friday, January 6, 2023 9:40 AM
To: Desiree Adair
Subject: WHAC Tennis Court Improvements

We are in support of the recommendations/improvements the WHAC would like to make to their tennis court areas and their facilities.

Stephanie & Michael Trotter
2604 Pickwick lane

Desiree Adair

From: Michelle [REDACTED]
Sent: Friday, January 6, 2023 9:55 AM
To: Desiree Adair
Subject: Tennis Courts

To whom it may concern,

My name is Michelle Walters. I live at 2702 Rollingwood Drive. As a WHAC member, I'm writing in support of the WHAC plans for the tennis courts.

Thank you for your consideration.
Michelle

Sent from my iPhone

Desiree Adair

From: Matthew Horne DDS [REDACTED]
Sent: Friday, January 6, 2023 9:57 AM
To: Desiree Adair; Ashley Austin Horne; Gavin
Subject: Tennis Courts

Hello,

I am writing to let you know that I am in favor of redoing the tennis courts. And all that is being proposed. As a resident since 2008, and an avid tennis player who uses the courts, I would like your full support for redoing and updating the tennis courts. At present the courts are not in good playing condition, and it is a shame that this has any opposition. Just as the pool needed to be done years ago, it is time to do the same thing with the tennis courts. With any "new" construction, drainage etc. will be improved to meet requirements and be within code. This would be an improvement for that area and surrounding neighbors.

If you would like to discuss further please feel free to reach out.. Thanks

Matt Horne
512-470-4011



Matthew Horne DDS FAGD PLLC
3345 Bee Caves Road #102B
Austin, TX 78746
(512) 329.5250
www.TheAustinDentist.com
KOIS MENTOR

Desiree Adair

From: Kathleen Shapiro [REDACTED]
Sent: Friday, January 6, 2023 10:02 AM
To: Desiree Adair
Cc: Ice Ike Cell
Subject: WHAC Tennis Court Proposal (In Favor)

Good Morning + Happy Friday!!

My name is Kathleen Shapiro and my husband Ike and our three boys (Cole, Ford + Gray, ages 14, 12 and 10) live at 2806 Hatley Drive. We built our home in 2017 and have loved living here ever since!

We are in 100% support of the WHAC proposal to renovate and expand the tennis courts.

Sincerely,

Kathleen + Ike Shapiro

--
[TREC Information About Brokerage Services](#)
[TREC Consumer Protection Notice](#)

Kathleen Shapiro
Realtor®

2500 Bee Caves Rd, Bldg 3, Ste 200
Austin, TX 78746
m: 512.968.1688



Desiree Adair

From: Robert Vickery [REDACTED]
Sent: Friday, January 6, 2023 10:10 AM
To: Desiree Adair
Cc: Elkins, Zachary S
Subject: Re WHAC plan to improve its tennis facilities

Follow Up Flag: Flag for follow up
Flag Status: Completed

Dear Ms Adair,

I understand that you are the appropriate person to whom to direct an email in support the of the Western Hills Athletic Club's (WHAC) plan to improve its tennis facilities:

To whom it may concern:

I have been a member of WHAC for about 31 years. (All three of my sons have served as life guards there.) During this time I have played regularly at Westwood CC, Caswell Tennis Center, South Austin Tennis Center, Westlake HS, and Austin HS, but NOT AT WHAC because its tennis facilities are so few and poor. The hoped for improvements would be a dream come true. Even the tennis facilities named above where I play regularly are hard to get on because so many people are trying to play at at the same times. ***Our part of town needs more tennis courts!*** How many tennis courts are there in Rollingwood? And the popularity of pickle ball has compounded the problem. (Last Friday when I showed up at my reserved time (5pm) at WHAC for tennis, both courts and the pickle ball court on the sport court were being used for pickle ball.)

At age 71 I delight in seeing children learning the game they can play for a lifetime. I started playing at a 4-court club at age 9. By the time I was 14 it had improved to 8 courts. I see the children's programs at other places I play, but there are not enough courts to sustain a good youth program at WHAC.

Yes, there are issues (e.g. drainage, care of trees). However, a good faith effort by all parties can work through these.

Yes, WHAC is a private club. But its swimming, tennis, and general recreation facilities provide a big NET POSITIVE FOR THE WHOLE COMMUNITY. How many community families have had a child attend a birthday party at WHAC?

Thank you for your careful consideration of this.

Sincerely,

Robby Vickery
c. 512-925-8430

Desiree Adair

From: Heidi Marquez Smith [REDACTED]
Sent: Friday, January 6, 2023 10:14 AM
To: Desiree Adair
Subject: RE: support for the WHAC Tennis Court Expansion

Rollingwood City Council - Board of Adjustments

To Whom It May Concern:

As a resident of Rollingwood since 2011 and member of Western Hills Athletic Club I am writing in support of the WHAC's proposal to renovate and expand the tennis courts.

Sincerely,

Heidi Marquez Smith
512.964.1802

Sent from my iPhone

Desiree Adair

From: Stacey Leigh Clark [REDACTED]
Sent: Friday, January 6, 2023 10:16 AM
To: Desiree Adair; Nigel
Subject: Tennis/Pickleball court expansion

To Rollingwood Council,

My name is Stacey Clark and my husband Nigel, along with our 2 kids, have been Rollingwood residents for almost 5 years and members of the Western Hills Athletic Club during that time. We are in support of the WHAC proposal to renovate and expand the tennis courts. We especially would like to see pickleball courts.

Sincerely,
Stacey Clark

Desiree Adair

From: Stephen Elwell [REDACTED]
Sent: Friday, January 6, 2023 10:17 AM
To: Desiree Adair
Subject: WHAC Proposal

Hi, this is Stephen Elwell at 3 Chris Cove. I am writing to communicate my support for the WHAC's proposal to expand to 4 tennis courts and add lines to enable pickleball play. I would also support future expansion of the concessions offerings within the City, although I do not believe that is part of the WHAC's current proposal. Thanks,

Stephen Elwell

Desiree Adair

From: Meghan Elwell [REDACTED]
Sent: Friday, January 6, 2023 10:21 AM
To: Desiree Adair
Subject: Support of WHAC

Good morning,

My name is Meghan Elwell. I live at 3 Chris Cove in Rollingwood. I am also a member of the WHAC.

I am writing in support of the WHAC's proposal to expand from 2 tennis courts to 4 courts and to add lines to at least one of those new courts to support pickle ball programming.

Thank you,

Meghan

Desiree Adair

From: john havenstrite [REDACTED]
Sent: Friday, January 6, 2023 10:25 AM
To: Desiree Adair
Cc: Sang McDonnell; MaryKay Hyde
Subject: WHAC Improvements

Good Morning:

I am writing to express my support for the improvements the Board, and membership of the Western Hills Athletic Club (WHAC) are proposing. In an attempt to keep this brief, let me simply say that while there are perhaps a dozen reasons to support the proposed improvements, each is also an opportunity to improve Rollingwood.

I sincerely hope that you, Rollingwood, and the Board of Adjustments will approve the WHAC request. It offers important and varied long-term benefits to the city, the club, and the community each serve.

Thank you for your consideration.

Respectfully,
John.

John Havenstrite
e. john.havenstrite@yahoo.com
c. 713/446-0904

 Please consider the environment, and think before you print

Desiree Adair

From: [REDACTED]
Sent: Friday, January 6, 2023 10:27 AM
To: Desiree Adair
Cc: Pete Rung
Subject: WHAC letter of support

Board of Adjustments,

We are residents of Rollingwood and members of WHAC. We're writing in support of the WHAC plans to add two additional tennis courts.

Amy & Pete Rung
405 Farley Trail

Sent from my iPhone

Desiree Adair

From: Alison Bennett [REDACTED]
Sent: Friday, January 6, 2023 10:30 AM
To: Desiree Adair
Subject: Support for WHAC plans for tennis courts

As a member of WHAC and a long time RW resident, I am writing in support of the WHAC plans for the tennis courts.

My family looks forward to these plans moving forward to enhance the club and our neighborhood.

Thank you, Ali Bennett

4904 Rollingwood Drive
512.762.5313

Desiree Adair

From: Shelby Gressett [REDACTED]
Sent: Friday, January 6, 2023 10:40 AM
To: Desiree Adair

To Whom it May Concern,

My name is Shelby and my husband Drew, along with our 3 kids, have been residents of Rollingwood for about 6.5 years. We are in support of the WHAC proposal to renovate and expand the WHAC tennis courts.

Sincerely,
Shelby Gressett

Sent from my iPhone

Desiree Adair

From: Elisa Jiang [REDACTED]
Sent: Friday, January 6, 2023 10:45 AM
To: Desiree Adair
Subject: support for the tennis project at Western Hills Athletic Club

Hi Desiree,

We are members of WHAC and would like to voice our support for the tennis project at Western Hills Athletic Club. Thanks for your consideration.

Best regards,

Elisa Jiang

Latitude Development Company, LLC

281-685-1029

Elisa@Latitude-re.com

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Desiree Adair

From: Beth Kelly [REDACTED]
Sent: Friday, January 6, 2023 11:08 AM
To: Desiree Adair
Subject: Court expansion

To Whom It May Concern:

My name is Beth Kelly and my husband Scott Kelly, along with our 3 children Luke, Ben and Winnie, have been Rollingwood residents for almost 10 years and members of the Western Hills Athletic Club for nearly 9 of those years. We are in support of the WHAC proposal to renovate and expand the tennis courts and are excited about the positive impact this project will have on our club. Having access to an increased number of tennis courts as well as pickleball will only serve to enhance the valuable asset that is the WHAC. Thank you for your thoughtful consideration.

Sincerely,
Beth Kelly

Desiree Adair

From: Andrea Sparks [REDACTED]
Sent: Friday, January 6, 2023 11:13 AM
To: Desiree Adair
Subject: Support for improvement and expansion of tennis courts

To Whom it May Concern-

We are very much in support of improvements and expansion of the Rollingwood Tennis Courts to possibly include pickle ball.

Thank you for your serious consideration!

Andrea and Grant Sparks
2402 Rollingwood Drive
512-695-3245

Desiree Adair

From: Forrest Bass [REDACTED]
Sent: Friday, January 6, 2023 11:15 AM
To: Desiree Adair
Subject: Tennis Court Project

Dear Board of Adjustments,

I wanted to express my support for the tennis court project currently being proposed at the WHAC. The tennis courts have been a great resource for my entire family. My wife, kids and I consistently use these tennis courts and have taken lessons there over the last few years as well. With there only being 2 tennis courts, often times these courts are occupied and therefore limit our ability to play. I firmly believe further court expansion would be of great benefit to our Rollingwood Community. Additionally, improving the actual quality of the existing tennis courts would greatly enhance the playing experience and further increase demand.

Regards,

Forrest Bass
5 N Peak Road
West Lake Hills, TX 78746
WHAC Member

Desiree Adair

From: Salen Churi [REDACTED]
Sent: Friday, January 6, 2023 11:50 AM
To: Desiree Adair
Cc: Lauren Churi
Subject: Tennis courts

To Whom It May Concern:

My name is Salen Churi and my wife Lauren, along with our 2 kids, are Rollingwood residents and members of the Western Hills Athletic Club.

We are in support of the WHAC proposal to renovate and expand the tennis courts. Thank you!

Sincerely,

The Churis

Desiree Adair

From: Christopher Ballard [REDACTED]
Sent: Friday, January 6, 2023 11:54 AM
To: Desiree Adair
Cc: Lauren Ballard
Subject: Support for Tennis Court Renovation

Good afternoon,

My wife and I are active members of WHAC, and we use the tennis courts on a regular basis. We also live just behind WHAC, at 2 Pleasant Cove.

I wanted to write to voice our support of the proposed tennis court renovations. The courts are in disrepair, and we would welcome a refurbishment, which would be a benefit not only to members but to the neighborhood as a whole.

Thank you for your consideration.

Regards,

Christopher & Lauren Ballard

Desiree Adair

From: Maryola Rawie [REDACTED]
Sent: Friday, January 6, 2023 12:29 PM
To: Desiree Adair
Subject: Support of the WHAC Tennis Court Expansion Project

To whomever it may concern,

Our family lives in the Westlake area and we have been members of the WHAC for many years. We wanted to write to communicate our support for the Tennis Court Expansion project. We understand some decisions are being made and we would like the project to continue as planned. Thanks in advance for your consideration.

Sincerely,

Maryola and Damon Rawie
405 Graciosa Cove
Austin, TX 78746
Maryola cell: 312-933-3391

Desiree Adair

From: Blake West [REDACTED]
Sent: Friday, January 6, 2023 12:46 PM
To: Desiree Adair
Cc: Alyssa West
Subject: WHAC Tennis Project.

Hello,

I would like to express my support for the proposed expansion of the WHAC tennis courts.

My son and I regularly play there and find that the courts are frequently filled – having an additional 2 courts will be a valuable expansion.

I'm also VERY excited about striping one of the courts as a Pickle bar court. This will help expand the use of the courts to those of us who aren't as nimble as we once were!

Thank You,
Blake West
4919 Timberline Dr.
Rollingwood, Tx.

Desiree Adair

From: jennifer hill [REDACTED]
Sent: Friday, January 6, 2023 12:46 PM
To: Desiree Adair
Subject: Support for the Tennis Courts

Hello,
I am writing in support of the new tennis court project at the WHAC. I feel this is a necessity for growth of the club and members.
Thank you,
Jenny Hill

Desiree Adair

From: Matt Lyons [REDACTED]
Sent: Friday, January 6, 2023 12:51 PM
To: Desiree Adair
Cc: Julianne Marie Lyons
Subject: Support for WHAC Tennis Project

To: The City of Rollingwood Board of Adjustments, et al

Ladies and Gentlemen:

I am writing to express my support for the proposed Western Hills Athletic Club Tennis (and pickleball) Project. We have been longtime members of the WHAC since 2004 and have utilized it extensively for swimming and related events since our children were little. We are very excited about the proposed enhancements to renew the grounds and expand the tennis and pickleball programs. Our use has dwindled to some adult swimming as our children have grown, and we support and encourage these enhancements for the benefit of Rollingwood and the entire community.

While we are technically residents of West Lake Hills, we live on Las Lomas Dr. and spend most of our time in and around Rollingwood. The WHAC is still a wonderful resource and asset to the local community, but clearly is in need of some renewal. We hope that the City of Rollingwood and its governing bodies will approve these plans that we believe will enhance the attractiveness, livability and value of the community we love. I restate below some of the key factors influencing our support for the project, as articulated very well by the WHAC and its Board:

1. **Including senior residents/connect generations.** The club would ideally be useful to adults and seniors as well as families whose kids have outgrown the club. A legitimate tennis and pickleball program – sports that are uniquely intergenerational – will be helpful in this way.
2. **Increasing social capital.** Pickleball and tennis events, instruction, and leagues will bring people together socially and build community.
3. **Enhancing the beauty of property and neighborhood.** Courts and fencing are dilapidated and unattractive. We support the club’s goal to build the most beautiful courts in Austin with improved landscaping, attractive fencing, a gathering spot for players and spectators, and shaded areas/benches for players on the court.
4. **Increasing recreational opportunities.** The club would be able to offer tennis/pickleball programming for kids and adults and become *something* of racquet club (as well as a swim club). Non-members will continue to participate as guests and as participants in open activities at the club, and thus provide recreational opportunities for a large number.
5. **Increasing the value and reputation of the City of Rollingwood (and surroundings).** Many people move to Rollingwood (and its surroundings) for the park and the pool; this plan protects and enhances this valuable asset.
6. **Improving landscaping and long-term tree population.**
7. **Restoring an important local landmark.** WHAC represents one of the true gems of Rollingwood. The plan seeks to preserve and protect that legacy.

With respect and gratitude,

Matt & Julianne Lyons
101 Las Lomas Dr.
WHAC Members

Desiree Adair

From: Pari Schacht [REDACTED]
Sent: Friday, January 6, 2023 1:00 PM
To: Desiree Adair
Subject: Rollingwood Pool / WHAC

Hello,

I'm a RW resident and reside at 2502 Bettis Blvd. I'm writing to share that I support the WHAC plans for the tennis courts.

Thanks for taking the time to read this!

Please be in touch if you need any other information.

Thanks!

Pari Schacht
773.936.4965

Desiree Adair

From: Jennifer Wooten [REDACTED]
Sent: Friday, January 6, 2023 1:10 PM
To: Desiree Adair
Cc: Wooten, Robert
Subject: Support of WHAC Tennis Courts Project

Dear Board of Adjustments,

I am writing to express the support of my husband and I (copied on this message) for the proposed WHAC tennis court project.

We moved to Rollingwood several years ago in large part because of its ability to offer our family both an amazing place to live AND play. The incredible amenities including the park, playgrounds, fields, and pool have us hooked. We view the addition of the proposed tennis courts as another opportunity for social and recreational activity right near our home. Two courts do exist today and we regularly use them, however, space is limited and desire for use continues to increase. We would very much support a thoughtful (carefully considering neighbors, green space, trees, etc. as we know has been done) expansion of and rehabilitation of the courts.

Thank you for your consideration,

Jennifer and Robert Wooten
512.712.2416
403 Wallis Drive

Desiree Adair

From: Andrea Davidson [REDACTED]
Sent: Friday, January 6, 2023 1:13 PM
To: Desiree Adair; Makayla Rodriguez
Cc: Justin Davidson
Subject: Writing in Support of the WHAC Tennis Courts

Rollingwood Board of Adjustments,

I am writing to voice my support for the tennis court renovation project that the Western Hills Athletic Club has been working on for years. This would be an asset for the entire community. Our members have worked hours on getting this approved and I cannot fathom why this would be met with such opposition from the Board and City Council members.

The improvement and expansion of the tennis courts would benefit the residents of all ages. It would be a place for neighbors young and old to gather, be active, social, and learn the lifelong sport of tennis.

It benefits no one for the WHAC to stay as it is, have no improvements, and become a depreciating asset.

I strongly urge you to approve this project that has overwhelming support from the community. If not, please provide in writing explicitly explaining what the BOA and City Council members (who should not be involved with BOA decisions) issues are and how they can be remediated so that this plan can move forward.

Regards,
Andrea Davidson

3207 Pickwick Lane
Resident of Rollingwood and member of WHAC for almost 5 years
3 children in the neighborhood

Desiree Adair

From: David Yatim [REDACTED]
Sent: Friday, January 6, 2023 2:16 PM
To: Desiree Adair
Subject: Expressing support to WHAC Tennis Project...

Dear Mrs. Adair:

With this email, I would like to voice my support for the WHAC Tennis Project...

As a member of WHAC since 2011, I have been able to see the draw and enjoyment that is provided by the tennis courts currently available; I can only imagine what a wonderful improvement it would be to add two more courts to the tennis complex.

Best regards,

David Yatim

Desiree Adair

From: [REDACTED]
Sent: Friday, January 6, 2023 3:18 PM
To: Desiree Adair
Subject: Support for WHAC Tennis Court Expansion Project

Dear Board of Adjustments,

My name is Marie Timmermann, I reside at 501 Vale Street, and I am a member of the WHAC. I am also a former board member and have been actively involved in trying to get this project approved. This Wednesday around 12pm I played some family doubles at the WHAC. At the same time, the court next to me had a group of teenagers playing and the pickle ball court was filled with another family. It was so nice to see all these people getting outside, exercising, and connecting. That is what this project is about, fostering community connection. Playing tennis has led me to business opportunities, countless friendships, and I even met my husband playing tennis. It is a great sport and I think this project will improve a community asset that has served countless Rollingwood families over the years.

Sincerely,
Marie Timmermann

Desiree Adair

From: Brooke [REDACTED]
Sent: Friday, January 6, 2023 3:35 PM
To: Desiree Adair
Subject: Support for WHAC Tennis Project

Hi,

I'm writing in support of the proposed tennis project for our club. As someone who regularly uses it, for both tennis and swimming, I think the project would be a great addition / upgrade to the facilities. As I understand it, it seems it has taken into consideration any drainage or landscaping issues as well. I believe this proposal should be approved and move forward.

Thank you!
-Brooke Ezell

Desiree Adair

From: Elkins, Zachary S [REDACTED]
Sent: Friday, January 6, 2023 3:39 PM
To: Desiree Adair
Subject: Support for the WHAC tennis plan

Hi,

I write to support the WHAC’s plans to renovate and expand its tennis courts. The facility is a gem of Rollingwood, the reason that many of are here. We should preserve, protect, and improve it as much as we can. The tennis project is well considered and will have an enormously positive effect on the health and welfare of the community. I urge the Board of Adjustments to grant them a special exception to the zoning ordinance.

Best wishes,
Zach Elkins

Zachary Elkins
Department of Government
University of Texas at Austin
158 W. 21 St. Stop A1800
Austin, TX 78712-1704
p: (512) 232-7250

[Profile](#) | [Comparative Constitutions Project](#) | [Constitute](#) | [@zedtex](#)

Desiree Adair

From: Emily Doran [REDACTED]
Sent: Friday, January 6, 2023 3:49 PM
To: Desiree Adair
Subject: re: WHAC Support

Desiree,

Please share this note of support with the BOA members.

I am writing to share my support to renovate and expand the WHAC tennis courts and add a pickle ball court. I am a former member of the WHAC and sadly sold my membership about a year ago because the tennis courts were not usable for myself or children. I find it disappointing that a common ground cannot be found to make a place that many in the neighborhood enjoy a more usable space. The neighborhood is growing and changing and sadly the WHAC cannot keep up with the demand with the current tennis facilities. Not working together shouldn't be the path forward. I ask each BOA member to think about a way to find a solution so the courts can be renovated.

Emily Doran
601 Ridgewood Road

Desiree Adair

From: Elkins, Jules R [REDACTED]
Sent: Friday, January 6, 2023 4:00 PM
To: Desiree Adair
Subject: Tennis Courts

Good afternoon,

I am writing to support the proposed expansion of the tennis courts. Having more courts and facilities will offer the opportunity to build a social tennis and pickleball community that WHAC needs. This is a wonderful chance to enhance our communities social capital and network, and I urge the Board of Adjustments to grant them a special exception to the zoning ordinance.

Jules Elkins

Director of Sustainability Studies
Assistant Professor of Instruction
Department of Geography and the Environment
The University of Texas at Austin
305 E. 23rd Street, A3100
RLP 3.306
Austin, TX 78712

Desiree Adair

From: Amy Pattillo [REDACTED]
Sent: Friday, January 6, 2023 4:13 PM
To: Desiree Adair
Subject: WHAC Tennis Project - In Support

Hi Desiree - Please include my letter of support for the WHAC special exception request in the packet for consideration by the BOA at the Jan 11 meeting.

Dear Board of Adjustment members:

Thank you for your careful consideration of the WHAC request for special exception before you that would allow for updating the existing tennis courts on the WHAC facility and replacing a sand volleyball court (which functions as little more than a sand/litter box) with pickleball courts. I write to you as both a resident of Rollingwood and a member of the WHAC.

The WHAC has provided a place for our family to connect and thrive in Rollingwood over the last decade. It is THE primary walkable location for our family to go and gather with others in our community for social and recreation. Over the years, our son has participated in the tennis clinics at the WHAC, along with all the swim activities provided and hosting multiple birthday parties. The summer time programming with tennis and swim scheduled in tandem has provided a way for him to grow in some independence and build friendships in the community, while also staying active outside in the summer. It has also provided a service to our community by pairing up multiple sports in one location to reduce sports related trips. I've been able to work a whole morning while my son manages his schedule between activities - and not have to hire someone or stop working to drive to multiple locations for access to summer-time recreational activities. If you walk over to the WHAC on a summer morning, you'll see the enormous pile of bikes and scooters that kids have ridden to the club that morning - and see them enjoying both summer swim team practice and a tennis clinic.

As a first matter, I am in agreement with and affirm the WHAC board's proposals because the tennis courts are visibly and functionally in dire need of repairs. The sand volleyball court is at most a sandbox that I have rarely seen used for sand volleyball play, and if anything is often a detriment for parents and the club when younger kids cover themselves in sand and then need to be cleaned off before they return to the pool or get in a car. Both areas are in need of updates to continue to maintain a historic level of quality for this property within Rollingwood and I affirm the plan the WHAC board has put together to address both.

In addition, as to the pickle ball courts, one challenge in scheduling I've encountered at WHAC with regard to tennis is that the clinics are limited to basic drills on a half court, but it has been difficult to expand the programming out to allow for kids to play full games with instruction or meet up for a small tournament of any kind. Adding additional pickle ball courts would help expand the spaces available for kids to stretch out and work out their racket-based skills in actual game play versus just running drills in smaller spaces. In a sense, if compared with a sport like baseball, the courts as they exist now limit the programming to one where the kids spend a lot of time working in the batting cage, but very little time getting to practice with group coaching out on the actual playing field.

Another challenge in scheduling I've encountered at WHAC has been that there are more kids wanting to participate in tennis clinics than court space available during the summer mornings, and a limited window of time before noon when it is safer for kids to be out on uncovered courts playing tennis in the summer. I would love to see the addition of pickle ball courts in place of the sand court to open up additional scheduling windows for activities in combination with summer swim league practices and during other times of the year as well.

As to the adjustments to the site that would occur with these improvements, I would note that while the plan includes additional impervious cover, it also includes adding drainage infrastructure to manage existing impervious cover, which was not required at the time the tennis courts were initially installed, and which provides a benefit to the community. The water that runs off the tennis courts during rains flows down a path that reaches my yard before continuing down to Lady Bird Lake.

In addition, as to the adjustment to the trees, I personally value healthy tree management in our community, which includes trees at different stages of maturity and with different attributes. The WHAC clearly values healthy tree management and has shown their stewardship of the trees on the property over the years - and has also worked very hard to keep the pool usable to the membership during the time of year when the oak pollen creates a thick blanket over the property. I have seen the efforts that the WHAC board has gone to continue to adjust their proposals to both minimize the number of trees proposed for removal and to also replant a large number of trees that are beneficial to the area and will provide a natural shade and aesthetic barrier for the areas around the courts.

Thank you for your consideration and your service,

Best regards,
Amy

AMY J. PATTILLO

Direct: 512-633-9571

Desiree Adair

From: W Phone [REDACTED]
Sent: Friday, January 6, 2023 4:20 PM
To: Desiree Adair
Subject: WHAC/BOA Support

Please include in the next BOA meeting evidence. Thank you!

Dear BOA members,

This is Jon and Wendi Hundley. Our family has owned a home and resided in Rollingwood for 14 years. We are members of the Western Hills Athletic Club. The athletic club contributes to the welfare of our community, providing outdoor and exercise opportunities (like tennis and pickle ball) for citizens of Rollingwood, that otherwise would not exist. Membership is open to anyone in Rollingwood and tax payers who don't use the facilities don't have to pay to fund and maintain it.

We are writing in support of the application for a special exception to rebuild the old tennis courts and expand the current non-conforming sports facilities. The location of the facility was lawful prior to the setbacks changing. The new setback caused the location of the existing structure to become non-conforming. Expanding the non-conforming structure in its current location will occupy a greater area but will not increase the non-conformity, because no part of the structure will extend any further into the setback than in the location of which it was lawful prior to the date it became nonconforming. The benefits of the increased access to exercise opportunities and improved safety outweigh any perceived detriment to our community.

As you weigh the evidence in the request before you, please refrain from considering irrelevant evidence like arguments concerning drainage, impervious cover, tree removal; comments on the club's membership fees; and community controversies.

I know you will all do your best to be impartial triers of fact. No matter the outcome, I thank you for your service to our City. You are all volunteers and it is evident by your service that you care deeply for Rollingwood.

Best Regards,
Wendi Hundley
401 Vale Street

Sent from my iPhone

Desiree Adair

From: Brian Nash [REDACTED]
Sent: Friday, January 6, 2023 4:25 PM
To: Desiree Adair
Subject: Support for WHAC variance/special exception request

Dear Desiree,

I write with respect to the upcoming Board of Adjustment meeting that is considering the variance/special exception request from the Western Hills Athletic Club to build four tennis courts. My wife and I have been residents of Rollingwood since 2007. We presently live at 4 Chris Cove. We've also been members of the WHAC for over 12 years. Our two children love the the WHAC. We fully support the project and the request.

Please pass our support on to whomever is considering the matter.

Best regards,

Brian

Desiree Adair

From: Jeff Ezell [REDACTED]
Sent: Friday, January 6, 2023 4:28 PM
To: Desiree Adair
Subject: WHAC

Desiree,

Can you please forward this email to the members of the Board of Adjustments.

My name is Jeff Ezell and I am a resident of Rollingwood and member of the WHAC. I am supportive of Western Hills Athletic Center's require for a variance / exception to their project.

Thank you,
-Jeff

Jeff Ezell
Cell: (404) 909 - 2810
www.blueriveradvisors.com

Desiree Adair

From: Barth Timmermann [REDACTED]
Sent: Friday, January 6, 2023 4:35 PM
To: Desiree Adair
Subject: In support of the Tennis Court Expansion

To whom it may concern:

My name is Barth Timmermann and I strongly support the expansion of the tennis courts and pickleball courts. The current condition of the courts is hazardous and far worse than any public court in the Austin region. New courts would bring the community together and give kids a place to play tennis. Rollingwood is lucky to have a strong pro like Alan and with the new facilities, the sky is the limit for junior programming and also would finally become a desirable place to play tennis. I have been a Rollingwood resident for over 10 years and a member of WHAC for probably nine years. I live at 501 Vale Street with my spouse and 3 kids. Please pass this expansion.

Thanks,

Barth Timmermann.

Desiree Adair

From: Megan Matza [REDACTED]
Sent: Friday, January 6, 2023 4:39 PM
To: Desiree Adair
Subject: Rollingwood loves tennis!

Dear Board of Adjustments,

As a member of WHAC since 2015, I am writing in my overwhelming support of adding two additional tennis courts. As a family who plays tennis, we've had to join elsewhere (Lost Creek Country Club) to find the tennis leagues and programming that I, my husband and kids are looking for. If Rollingwood offered additional tennis programming we could make WHAC our only club and thus it would be more valuable as it serves as a racquet club in addition to a swim club.

The Rollingwood Waves swim team and social opportunities was our primary reason for joining WHAC. Now that my kids are older and no longer interested in being on the swim team, we have considered selling our membership. If WHAC offered increased tennis programming, we could continue to use the club in a different way and retain our membership throughout our lifehood and hopefully bring our grandkids back one day. I've really enjoyed the women's swim program offered this past year and I'd love to retain our membership if we could also have the tennis programming we are looking for.

As you look at trends in membership, many members also sell when their kids outgrow the Waves swim team. If you want to keep a consistent member base and have long-term staying power, the addition of two more tennis courts will be of great value to this club that we all love so much!

Best regards,
Megan Matza
207 Westbrook Drive
Austin 78746



Megan Matza
REALTOR®

c: 512.906.9146 | o: 512.480.0848 x 173
e: megan@moreland.com | w: moreland.com
a: 3825 Lake Austin Blvd, Ste 501 | Austin, TX 78703



WESTERN HILLS ATHLETIC CLUB – ROLLINGWOOD BOARD OF ADJUSTMENT MEETING

Wednesday, October 26, 6pm – Rollingwood City Hall

Western Hills Athletic Club (WHAC) is seeking variances from City of Rollingwood ordinances in association with the proposed project to upgrade the facility's tennis courts. The WHAC Board will be presenting to the Rollingwood Board of Adjustments (BOA) at a meeting this Wednesday, October 26 at 6 pm at Rollingwood City Hall, 403 Nixon Drive. BOA meetings provide for public attendance and comment.

Generally, BOA activity is relevant to Rollingwood residents; BOA activity at the upcoming meeting will be relevant to Rollingwood residents including those who are also WHAC members, as well as other WHAC members. WHAC is a private club, located at 4801 Rollingwood Drive; it is not city property but lies within the city limits. WHAC request for variances are related to a proposed project entirely within the facility boundaries. The intended objective of the project is enhancement of the amenities of this private facility, not the Rollingwood city community.

Relevant information to WHAC's request, along with links to related documents posted on the Rollingwood website, are provided below. Please consider reviewing the relevant information, attending the BOA meeting, and providing input to the city.

1. City of Rollingwood (RW) Board of Adjustment Meeting
Wednesday, October 26, 2022, 6pm - Rollingwood City Hall
 - Public hearing, discussion and possible action on a request for special exceptions to city code of ordinances to permit the reconstruction, enlargement and expansion of the nonconforming tennis courts at the Western Hills Athletic Club
 - <https://www.rollingwoodtx.gov/bc-boa/page/board-adjustment-meeting-39>
2. Meeting Agenda Packet (Packet), including information submitted to BOA by WHAC, is posted on City of Rollingwood website in the Board of Adjustments area:
 - Go to <https://www.rollingwoodtx.gov/bc-boa/page/board-adjustment-meeting-39>
 - Click on Agenda Packet (PDF)

Some of the information provided by WHAC in this packet includes:

- Variance Application
- Letter to BOA from WHAC: transmitting variance application, dated August 11, 2022
- Planned WHAC Board Presentation
- Project Construction Plans

WHAC Variance Application Transmittal Letter (Packet, page 6)

- Identifies how the private club's project meets variance request requirements including:
 - Enhances the beauty, usability and value of the property for the club, neighborhood, and city
 - Enhances the general health and culture of the community
 - Project is committed to planting of trees that will in time offset the loss of existing trees due to tennis court expansion and improve the ecology of the property
- States:
 - "Plans for this project have been posted on the WHAC website and distributed to club members and members of the public for approximately four years"
 - Construction plans (as presented in the Packet) have been posted on WHAC website (under Tennis tab) following the May 2022 WHAC Board meeting
 - "WHAC board members – community residents themselves – remain open to hearing and deliberating any concerns of residents"
 - WHAC membership, and therefore election to the WHAC Board, requires residence within Eanes Independent School District boundaries. Therefore, WHAC board members are not necessarily residents of Rollingwood. Not all members of past WHAC boards have been, and not all members of the current WHAC board are, Rollingwood residents

WESTERN HILLS ATHLETIC CLUB – ROLLINGWOOD BOARD OF ADJUSTMENT MEETING

Wednesday, October 26, 6pm – Rollingwood City Hall

WHAC Presentation (Packet, page 24)

- Provides photographs indicating the poor condition of the existing two tennis courts in obvious need of repair
- Provides construction plan drawings indicating the configuration of proposed four tennis courts; included are notes that trees and existing structures will be comprised (WHAC property trees located north of the facility offices and the existing volleyball court)
- Provides photograph of the large live oak located just south of the existing courts, noting that this tree will not be removed; no photographs are included in the presentation of the property trees identified for removal in the construction plans
- Lists expected impact on “health, convenience, and welfare” of project:
 - “1. Include senior residents/connect generations
 - 2. Increase social capital
 - 3. Enhance beauty of property and neighborhood
 - 4. Increase recreational opportunities
 - 5. Increase value and reputation of the City of Rollingwood
 - 6. Improve landscaping and long-term tree population
 - 7. Improve drainage
 - 8. Restore an important local landmark”

Construction Plans (Packet, page 41)

This detailed construction plan is a multiple page document. Note that impervious cover and drainage issues were key topics in the recent city council candidate forum; existing RW tree ordinances are known to be lacking. Some pages of the construction plan document include:

- Impervious Cover Calculation Fence and Tree Plan
 - WHAC facility site plan with proposed structures
 - Packet, page 67 (plate 100, 4 of 26)
- Site Plan
 - Detail of proposed tennis courts
 - Packet, page 44 (plate 101, 4 of 26)
- Demolition Plan
 - Facility trees and existing structures identified for removal
 - Packet, page 47 (plate 201, 7 of 26)
- Landscape Notes & Calculations
 - Facility trees planned for removal (species and size)
 - 23 existing trees
 - 18 live oaks (12 with diameter of 12 inches or greater)
 - 1 cedar elm (diameter of 15 inches)
 - 4 invasive species (4 chinaberry, 1 ligustrum)
 - Replacement trees (species and size)
 - 13 trees
 - No live oaks
 - 5 cedar elm, 4 Texas ash, 4 Mexican sycamore
 - All with diameter of 4 inches, except 2 cedar elm of 6 inches diameter
- Site Drainage
 - Existing Drainage Area Map
 - Packet, page 51 (plate 501, 11 of 26)
 - Existing Drainage Area Calculation
 - Packet, page 52 (plate 502, 12 of 26)
 - Proposed Drainage Area Map
 - Packet, page 53 (plate 503, 13 of 26)
 - Proposed Drainage Area Calculation
 - Packet, page 54 (plate 504, 14 of 26)
 - Detention Pond Plan
 - Packet, page 56 (plate 541, 16 of 26)

Western Hills Athletic Club (WHAC) is seeking variances from the City of Rollingwood ordinances in association with the proposed project to upgrade the facility's tennis courts. There exist several reasons why Rollingwood Board of Adjustment (BOA) should deny WHAC's request for variances.

Relevant information to WHAC's request, along with links to related documents posted on the Rollingwood website, are provided in the attached document. In summary:

WHAC Proposed Project - Tennis Court Reconstruction, Enlargement and Expansion

- Construction of 2 new additional courts
- Reconstruction of existing 2 courts; warranted as both courts are in poor condition
- All courts are/will be non-conforming structures requiring variances to city ordinances

Issues with Project as Proposed

- Court expansion impacts
 - Increase in facility impervious cover
 - Possibly contributing to the city's drainage issues
 - Impervious cover and drainage were identified as significant issues by all candidates at the recent Rollingwood city council candidate forum
 - Required removal of 23 trees on the facility, including 18 live oak trees and one 15 inch diameter cedar elm
 - At the same recent Rollingwood city council candidate forum, all candidates emphasized the existing tree cover as a highly valued community amenity

Potential nuisance factors to Rollingwood community: increased noise, parking issues, and traffic, and impacts to relations with the surrounding Rollingwood community and city government

- WHAC Board has not effectively communicated project details
 - WHAC membership input to project plan development has been, and knowledge of current plan details and its current status is, very limited
 - WHAC Board has not established, documented, or communicated member support for expansion from 2 to 4 tennis courts, especially with respect to specific project details and consequences of the completed project
- WHAC is a private club on private property and while many residents are also WHAC members, many (most) are not; WHAC is a separate entity from the City of Rollingwood and the Rollingwood community
 - The intended objective of the project is enhancement of the amenities of this private facility, not the City of Rollingwood or its community
 - In previous presentation of this project before the City of Rollingwood BOA, WHAC Board has disingenuously suggested several times that the project will be a benefit and asset to the community
 - To an extent, the WHAC board has been working behind closed doors in the design and promotion of this project without effectively communicating details with its own members or the Rollingwood community; communication with all who will supposedly benefit should be expected

Your Input

Should the project go forward as the WHAC board has planned, it will have significant impact on our community.

- Please consider attending the Board of Adjustments meeting in City Hall at 6 pm this Wednesday, October 26.
- You can also send an email to (insert email address) which, if permitted, will be read during the meeting

In addition, you can provide input by:

- Emailing comments to the WHAC Manager and Board by email: <https://www.whac.org/contact/>
- Emailing Rollingwood City Council members: <https://www.rollingwoodtx.gov/directory>
- Informing fellow WHAC members and Rollingwood residents about this issue, and encourage attendance to the BOA meeting

Thank you for your consideration of this issue.

Anne Turner
301 Almarion Dr.

Nikki Dykes

From: Jim Olenbush [REDACTED]
Sent: Thursday, September 29, 2022 2:20 PM
To: Development Services
Subject: Western Hills Athletic Club

Re: the special exception to rebuild and extend the courts

Improvements to Western Hills are improvements to Rollingwood. I am in favor of the plan to rebuild and extend the tennis and pickleball courts.

Sincerely,

Jim Olenbush

Nikki Dykes

From: Burns, Roy [REDACTED]
Sent: Thursday, October 6, 2022 9:40 AM
To: Development Services
Cc: Emily Burns
Subject: Western Hills Athletic Club - we support

Hi, Nikki, thank you for your letter notifying us of this project. My wife and I are owners of 300 Inwood Rd, and are writing in support of WHAC's petition to repair and expand the tennis courts at WHAC.

WHAC is a wonderful resource for the neighborhood and we believe that as a community we should support WHAC's ability to offer high-quality recreation for its members.

Please share our support with whomever needs to know in order to make this important and positive decision.

We are available to discuss if helpful

My best,
Roy

This message is intended only for the designated recipient(s). It may contain confidential or proprietary information and may be subject to other confidentiality protections. If you are not a designated recipient, you may not review, copy or distribute this message. If you receive this in error, please notify the sender by reply e-mail and delete this message. Thank you

Nikki Dykes

From: Mary Elizabeth Cofer [REDACTED]
Sent: Thursday, October 6, 2022 10:54 AM
To: Development Services
Subject: Tennis court expansion

Thank you for the opportunity to respond regarding the expansion of the Western Hills Athletic Club tennis courts. After much consideration, I am not in favor of this expansion for the following reasons:

1. Drainage continues to be a problem for Rollingwood and we do not need to add to this issue.
2. Given the increasing temperatures we are experiencing in Texas, we need to protect all the trees we can and not cut them down.
3. We do not need to add more impervious cover to Rollingwood for the above reasons.
4. If we were to increase the size of the tennis courts, we would also need to add parking and parking is a problem at our park and this area already. It is not fair to the neighborhood, nor is it safe, to compound this problem.

With all due respect,

--
Mary Elizabeth Cofer
3306 Gent

Nikki Dykes

From: Bobby McQuiston [REDACTED]
Sent: Tuesday, October 25, 2022 9:46 AM
To: Development Services
Cc: Bobby McQuiston
Subject: Opposed to Special Exception (107-491) Western Hills Athletic Club

Greetings members of the Board of Adjustment,

Thank you for your service to the citizens of Rollingwood and our community.

My wife and I are not going to be able to attend the public hearing on October 26th, so we are presenting our position in this email.

We built our home on Rock Way in 1976 and have been members of the Western Hills Athletic Club (WHAC) since 1974 (joined when we purchased the property before building the home). We remain members, 48 years and counting. Our children grew up using the pool, the ball fields and the two tennis courts. I was an avid tennis player for over 30 years, playing three times per week. I did not often find both courts taken when I wanted to play, but when such rare occasions did occur, I found alternate courts readily available, either at the Hill Country Middle School or at the Westlake High School, each in close proximity.

Having reviewed the plans for the Special Exception proposed by WHAC and recently walked the property to give us a visual sighting, my wife and I are adamantly opposed to the requested expansion for tennis and pickleball courts. The loss of so many beautiful, I would say, "Legacy" trees, is totally unacceptable. Expansion of the courts and loss and destruction of those trees would forever alter the beauty of the current setting. As I mentioned, multiple alternative courts exist in the event neither of the two current courts is available, and those alternative courts are only 5-10 minutes away, not a big burden upon those wanting to use the courts.

Please hear our voices against this unnecessary and destructive plan.

Thank you.

Bobby and Margaret McQuiston

Desiree Adair

From: Brook Brown [REDACTED]
Sent: Tuesday, October 25, 2022 1:33 PM
To: Desiree Adair
Subject: WHAC appeal to the Board of Adjustment

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Desiree,

Could you send the comments below to the Members of the Board of Adjustment and copy the applicant, in connection with the WHAC appeal to the Board of Adjustment to be heard tomorrow evening? If its appropriate to post with the BOA agenda packet, I have no objection to such a posting.

Also, I would like to note that I am filing these comments not as a member of the City Council, but as a concerned resident within 250 feet of this project.

Thank you for all you do for our City,
Brook

Dear Members of the Board of Adjustment,

I offer the following concerns in your consideration of the application filed by the Western Hills Athletic Club:

Concern No. 1: The requested special exception is not authorized under Rollingwood ordinances.

The Western Hills Athletic Club seeks a special exception that would permit it to demolish two non-conforming tennis courts and erect four non-conforming tennis courts in the space previously occupied by the existing two non-conforming courts and expand the use of the newly constructed courts to include pickleball as well as tennis. The ordinances of the City of Rollingwood do not permit this action.

Texas Local Government Code Section 211.009(a)(2) authorizes a Board of Adjustment to grant a special exception to the terms of a zoning ordinance "when the ordinance requires the Board to do so."

See Tx. Local Govt. Sec. 211.009. AUTHORITY OF BOARD. (a) The board of adjustment may:

- (1) hear and decide an appeal that alleges error in an order, requirement, decision, or determination made by an administrative official in the enforcement of this subchapter or an ordinance adopted under this subchapter;
- (2) hear and decide special exceptions to the terms of a zoning ordinance when the ordinance requires the board to do so;
- (3) authorize in specific cases a variance from the terms of a zoning ordinance if the variance is not contrary to the public interest and, due to special conditions, a literal enforcement of the ordinance would result in unnecessary hardship, and so that the spirit of the ordinance is observed and substantial justice is done; and
- (4) hear and decide other matters authorized by an ordinance adopted under this subchapter.

Section 107-419, the opening section of Article IV of the zoning code addressing Nonconforming Structures and Uses, states plainly: "Nonconforming premises and uses are declared by this article to be incompatible with permitted uses in the zoning districts created under this article. It is further the intent of this article that nonconformities shall not be enlarged upon, expanded or extended, nor used as grounds for adding other buildings, structures or uses prohibited elsewhere in the same district." Thus, the intent of the Zoning Code could not be clearer that enlargement of nonconforming buildings is contrary to the purposes of the Code. Rollingwood's ordinances permit a special exception in limited circumstances for an enlargement or extension of a nonconforming building (Ord. 107-491(2) where less than 50% of a structure is demolished but not where fifty percent or more of the square footage of the building or structure is

ed unless “otherwise required by ordinance or law”. No other ordinance requires that a special exception be granted in this circumstance. Instead, see Ord. 107-422(2), stating that “Except as otherwise required by ordinance or law, a nonconforming building or structure must be brought into conformity if (a) fifty percent of the square footage of the building or structure is demolished...” Similarly Ord. 107-422(2) and Ord. 107-422(4)-(5) provide authority for a special exception but only where the repair or reconstruction “will not increase the extent of the nonconformity of the building or structure”. These required conditions are not met by the proposed application, in that more than 50% of the existing structure will be demolished, and the two added tennis courts will necessarily increase (double) the extent of the nonconformity.

Because no city ordinance authorizes the BOA to grant any special exception under these conditions, and instead our ordinances prohibit such an expansion of a nonconforming building when more than 50% of the existing structure is demolished, the BOA holds no authority to grant the application. Moreover, when such an exception is not authorized by ordinance, the courts have concluded to do so is a void act. See *West Texas Water Refiners, Inc. v. S & B Beverage Co.*, 915 S.W.2d 623 (Tex. App. 1996), and subsequent case law, that if the Board were to create a special exception on grounds not permitted by ordinance, such action would constitute a legislative act and would be void as usurping the City Council’s legislative authority.

Conclusion: While the Western Hills Athletic Club may repair or replace the existing tennis courts, in their current location, to alleviate the unsafe conditions of these courts, no authority is provided to the BOA to permit it to grant a special exception authorizing the erection of four new nonconforming courts that double the extent of the existing nonconformity.

Concern No. 2: The noise created by allowing pickleball in the WHAC properties would constitute a nuisance, would violate Rollingwood’s noise ordinance, and precludes a finding that the application will not adversely impact the public health, convenience safety and general welfare of the community.

Article III of the Rollingwood Ordinances, Sections 18-52-55 regulate permissible noise within the city boundaries. Under this ordinance, any noise disturbance as defined in the ordinance to include “any sound which...annoys or disturbs a reasonable person or normal sensitivities; or (3) endangers or injures personal or real property” is prohibited. See Sec. 18-54(a): “It is unlawful for any person to make, continue, or cause to be made or continued any noise disturbance.”

Assessments of the noise created by pickleball demonstrate that pickleball courts create nuisance levels of noise. The links below provide assessments of the level of noise at various distances from a pickleball court and its impact on homes and residents. For Rollingwood, there are many homes along Wallis, Rollingwood Drive, Hatley, Pleasant Cove, Nixon, within distances where the noise from multiple pickleball courts (accommodating up to eight games simultaneously if all four courts were striped for pickleball) would be distressful, not to mention the impact that such noise levels would have on users of the Rollingwood Park and city staff and visitors at Rollingwood City Hall.

(1) From the “Crazy Pickleball Lady”, a pickleball enthusiast website, the decibel level of pickleball is reported as follows:

“Pickleball sound levels within 100 feet of courts will usually be around 70 dBa with no sound reduction efforts applied. This is as loud as freeway traffic sound. At 200 feet, (using the 6 dB drop for doubling the distance) the level will be about 64 dBa. That’s louder than normal conversation. At 400 feet it will be about 58 dBa. It is recommended that we avoid extended periods of exposure to levels above 80 dBa. Above 90 dBa is considered dangerous according to the Occupational Safety and Health Association (OSHA) standards. Loud music fans beware! Frequent pickleball sounds are typically about 70 dBa at about 100 feet away from the strike of the ball. Residents in homes located in a quiet residential area, that are within 100 feet from pickleball courts are used to noise levels of 40 dBa, therefore the level of pickleball noise is 30 decibels louder. And, remember, each time you increase a sound level by 10 decibels, it will sound twice as loud. So, an increase of 30 decibels is (10dB+10dB+10dB) or 2x as loud x 2x as loud x 2x as loud, or 8 times as loud. That’s a significant increase in loudness.” See link at: <https://crazypickleballlady.com/2021/07/13/the-sound-of-pickleball-a-detailed-explanation-and-what-you-need-to-consider-before-building-courts/>

(2) One law firm, specializing in home owners' association law, reports:

"Considering that pickleball is played with a solid paddle and a wiffleball, it is an extraordinarily loud sport. Moreover, as it grows in popularity, it generally brings large gatherings of people together whose yells and cheers can be heard over great distances. This noise may result in a substantial nuisance to those within earshot and may subject the association to various lawsuits unless the pickleball courts are constructed far out of the earshot of the residences. Unfortunately, our office has seen many associations attempting to convert croquet lawns, bocce ball courts, etc. into pickleball courts that are centrally located to other amenities provided by the association. These are typically areas which many members regularly visit as a place of quiet enjoyment and relaxation. Unfortunately, this quiet enjoyment could be severely disrupted once the pickleball courts are installed. Even more concerning is when associations attempt to install the pickleball courts in areas immediately adjacent to residences. The owners of the surrounding homes will be routinely battered with the noise emanating from the pickleball courts. This will no doubt result in substantial frustration to those residents, may have a negative impact on their property value, and will, almost certainly, result in a nuisance lawsuit for the association. The nuisance created by this loud sport has resulted in various lawsuits and settlement agreements costing associations tens of thousands of dollars and has severely harmed many associations' financial wellbeing. This, in turn, is then passed back to the membership by way of increased assessments. As such, if the association decides to move forward with the installation of the pickleball courts, it is not a matter of if, but a question of when a lawsuit may be filed. Thus, unless the association has an area far removed from the residences and other common area amenities, it is likely not worth exposing the association to the increased risk of liability." See link: <https://hoalaw.tinnellylaw.com/pickleball-installation/>

(3) Summary of the pickleball ordinance adopted by Park City, Utah, to alleviate issues caused by noise and parking at pickleball courts:

Outdoor Pickleball Courts in residential areas:

Require a Conditional Use Permit

Public notice will be sent to property owners within 300 feet of the proposed site

The Planning Commission will conduct a public hearing

The Planning Commission may condition the approval to address site-specific impacts

Require a minimum 600-foot setback from lot lines of adjacent residential properties for

pickleball courts with no noise mitigation

May have reduced setbacks that are no less than 150 feet from adjacent residential property lines

when a property owner demonstrates the outdoor pickleball court will comply with the noise ordinance

Property owners will be required to submit a site-specific noise study completed by a

certified acoustical professional

Property owners must demonstrate that mitigating features, including noise-mitigating barriers,

will be effective

Require Homeowner Association notification for properties that are part of a Homeowner

Association registered with the City

Are limited to hours of play from 8 AM - 8 PM

The Planning Commission may establish more restrictive hours of operations upon findings that

corroborate the appropriateness of alternative times of use

Prohibit outdoor lighting of residential courts

Require guest parking to be provided on-site

Require additional landscaping for noise and visual mitigation measures

See link: <https://www.parkcity.org/departments/planning/code-amendments/pickleball>

(4) Related links:

<https://www.latimes.com/california/story/2022-03-03/pickleball-noise-fueling-neighborhood-drama>

<https://clubandresortbusiness.com/longboat-key-fla-clubs-pickleball-court-plan-raises-concerns/>

<https://clubandresortbusiness.com/pickleball-commotion-lands-kansas-club-in-court/>

<https://www.naplesnews.com/story/news/local/communities/the-banner/2022/04/15/bonita-council-new-district-map-chosen-pickleball-noise-discussed/7316629001/>
<https://bkl.ca/features/pickleball-noise/>

Concern 3: Western Hills' application does not address the added traffic and parking that multiple pickleball courts would require, and precludes a finding that the application will not adversely impact the public health, convenience safety and general welfare of the community.

With pickleball, four times the numbers of tennis players can play on each "tennis" court, and matches may be ½ the time of a tennis match, thus multiplying by a factor of four or more the number of vehicles that may be parked at the Western Hills club if pickleball is permitted on all courts. The application submitted by Western Hills does not address the added traffic and parking that may result if its application is approved.

Conclusion:

It seems that pickleball is a great sport with lots of enthusiasts, but may not be right for the small-sized, central park location of the Western Hills Club. The impact from noise and parking would likely disrupt the neighborhood, interfere with the enjoyment of the Rollingwood park, and be an unhappy fit for this community. For this reason, the finding that "the public convenience and welfare will not be substantially or permanently injured in the granting of the special exception" cannot be made, nor the finding that the "grant of the special exception will not adversely affect the public health, convenience, safety or general welfare" of the community. For these reasons also, I would urge that the application be denied. I have no objection to permitting the existing tennis courts to be repaired or replaced in their existing location.

Thank you for your service to Rollingwood and attention to this matter.

Sincerely,

Brook Brown

307 Nixon Drive



City of Rollingwood Board of Adjustment
Finding of Fact for Special Exception

Applicant: _____ Case Number: _____

Address/Lot/Tract: _____

Description of Special Exception: _____

Date and method of public hearing notice: _____

Date of public hearing and BOA Meeting: _____

After giving notice and conducting a public hearing on this special exception request in accordance with the City of Rollingwood Code of Ordinances, the Board of Adjustment adopts these specific, written findings as follows:

Table with 3 columns: Question, Yes, No. Contains 3 numbered questions regarding the Board's authority, public convenience, and public health/welfare.

All findings must be determined in the affirmative for the special exception to be granted.

Additional Comments including any conditions prescribed by the BOA (if any): _____

With _____ members present, and upon a vote of _____ for, _____ against, and _____ abstaining, the special exception is hereby:

_____ granted _____ denied

Presiding Officer of BOA

Date





Highlights of October 26, 2022 Board of Adjustments Meeting

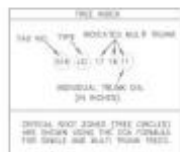
For 2023-01-11 Board of Adjustments Meeting

Duncan Ashworth
2910 Hatley Dr.
Rollingwood, TX
78746

A SURVEY OF ALL OF LOT 1, WESTERN HILLS ATHLETIC CLUB ADDITION, A SUBDIVISION OF RECORD IN TRAVIS COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 79, PAGE 355 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAVE AND EXCEPT A 2,411 SQUARE FEET TRACT DESCRIBED IN VOLUME 11901, PAGE 1260 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

Table with 10 columns and 30 rows of lot numbers and acreages, including lot numbers like 10991, 10992, 10993, etc.

TABLE LEGEND with symbols for iron, steel, copper, and aluminum pipes.



REMARKS HERE: This lot is located on the east, north side of Rollingwood Dr. 111-163 FEET WEST OF WALLS DR. ...

FLOOD-PLAIN NOTE: The tract shown herein lies within Zone 'X' (areas determined to be outside 100-year flood-pools) as identified by the Federal Emergency Management Agency.

TITLE COMMITMENT NOTE: This Survey was prepared without the benefit of a title commitment for F&M, and may be added to additional instruments at the discretion of the landowner.

NOTE FROM PREVIOUS SURVEY (3/26/07): The Tract CAD map 03_2103 (3/12/04/2005) shows what appears to be additional R.O.W. for Rollingwood Drive and Walls Drive.

SURVEYOR'S CERTIFICATE: CREATED BY: John Ingham, Registered Professional Land Surveyor, State of Texas No. 4493.

PROPERTY ADDRESS: Rollingwood Drive @ Walls Drive. DATE OF SURVEY: 06/25/18.

REMARKS: This tract lies on the eastern side of Rollingwood Drive and the east R.O.W. of Walls Drive, as the position is represented on this map by a circled parcel on the portion of the survey.

Robert G. White, Jr. Date: 5-18-18 Registered Professional Land Surveyor, State of Texas No. 4493.

Professional seal of Robert G. White, Jr. and Chaparral Professional Land Surveying, Inc. with contact information.

CURVE TABLE with columns for DELTA, RADIUS, TAN, ARC, CHORD, BEARING, and RECORD CORNER.

Rollingwood Dr.

Walls Dr.

2,411 SQ. FT. DESCRIBED IN THIS INSTRUMENT BY LOT 1, WESTERN HILLS ATHLETIC CLUB ADDITION, AND RECORDED IN VOLUME 11901, PAGE 1260 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

LOCATION MAP NOT TO SCALE





1. VARIANCE & SPECIAL EXCEPTION REQUEST APPLICATION [from WHAC] :

- a. We request permission to repair and expand the tennis courts at Western Hills Athletic Club (Rollingwood Pool). The court surface and fencing are badly damaged from years of weather and tree root expansion. **We seek to expand the courts [from 2 to 4]** in order to accommodate demand for both tennis and pickleball activities. The objective of the project is *to enhance the use and beauty of the property for the club, the neighborhood, and the city*. A *comprehensive landscape and drainage plan* will also redesign the property in ways that will be *more sustainable and ecological*.

2. Codes cited:

- a. Sec.107-35(d) – Which does not allow a tennis court to be constructed in the area between the building setback line and the lot line.
- b. Sec.107-242(1) – Which requires a 30-foot greenbelt zone between the northern property line and the tennis courts.

3. The Board of Adjustment is authorized under Sec. 107-491 to grant certain special exceptions identified in subsection (a) when the Board finds that it is empowered under this chapter to grant the special exception.

4. WHAC is composed of Rollingwood and non-Rollingwood residents and the club is suing the city [CAUSE D-1-GN-21-006745] thus forcing all Rollingwood residents to pay the legal fees via taxes.

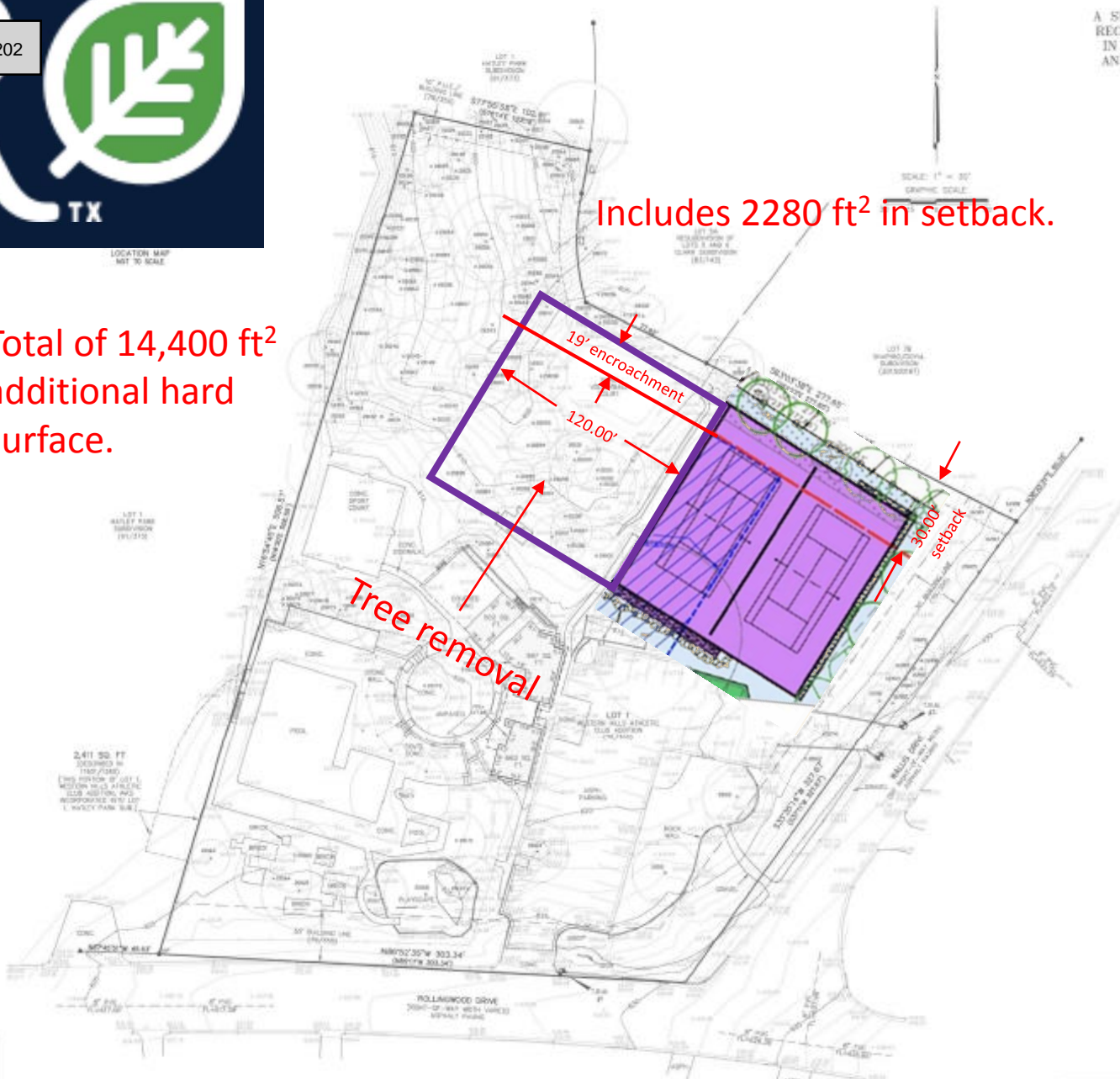
A SURVEY OF ALL OF LOT 1, WESTERN HILLS ATHLETIC CLUB ADDITION, A SUBDIVISION OF RECORD IN TRAVIS COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 79, PAGE 355 OF THE THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAVE AND EXCEPT A 2,411 SQUARE FEET TRACT DESCRIBED IN VOLUME 11901, PAGE 1260 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.



Total of 14,400 ft² additional hard surface.

Includes 2280 ft² in setback.

Tree removal



TREE LIST

18991 10 7 4	20027 02 6	20028 02 6	20029 02 7	20030 02 8	20031 02 9	20032 02 10
18992 02 8	20029 02 8	20030 02 9	20031 02 10	20032 02 11	20033 02 12	20034 02 13
18993 02 9	20030 02 9	20031 02 10	20032 02 11	20033 02 12	20034 02 13	20035 02 14
18994 02 10	20031 02 10	20032 02 11	20033 02 12	20034 02 13	20035 02 14	20036 02 15
18995 02 11	20032 02 11	20033 02 12	20034 02 13	20035 02 14	20036 02 15	20037 02 16
18996 02 12	20033 02 12	20034 02 13	20035 02 14	20036 02 15	20037 02 16	20038 02 17
18997 02 13	20034 02 13	20035 02 14	20036 02 15	20037 02 16	20038 02 17	20039 02 18
18998 02 14	20035 02 14	20036 02 15	20037 02 16	20038 02 17	20039 02 18	20040 02 19
18999 02 15	20036 02 15	20037 02 16	20038 02 17	20039 02 18	20040 02 19	20041 02 20
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19003 02 19	20040 02 19	20041 02 20	20042 02 21	20043 02 22	20044 02 23	20045 02 24
19004 02 20	20041 02 20	20042 02 21	20043 02 22	20044 02 23	20045 02 24	20046 02 25
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19096 11 2	20133 11 2	20134 11 3	20135 11 4	20136 11 5	20137 11 6	20138 11 7
19097 11 3</						

Ground View of Oak Grove



1. Summary:

a. Proposal for 2 more tennis courts includes:

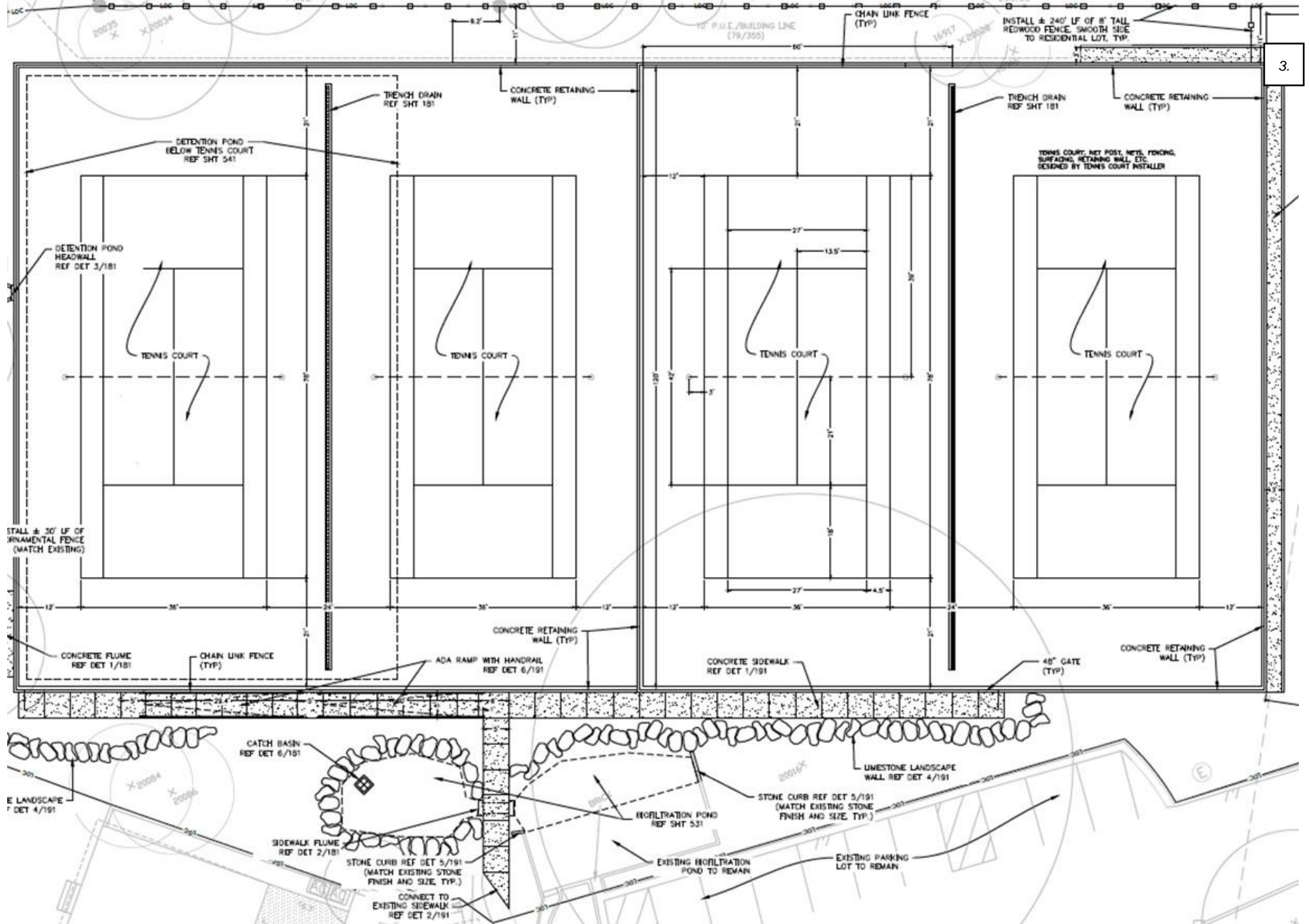
a. Cutting down about 20 oak trees.

b. 14,400 ft² additional hard surface.

i. 2,280 ft² encroachment in setback.

b. WHAC is suing Rollingwood. Rollingwood residents will pay the bill.

REFERENCE FROM SITE PLAN
mwm Design Group
PLOTTED: 7/7/2020





Western Hills Athletic Club Site Improvements

**A proposal before the Board of Adjustments,
City of Rollingwood**

January 11, 2023



Summary of Proposed Improvements

- (1) Reconstruct tennis courts;
- (2) Replace volleyball court with new pickleball/tennis courts;
- (3) Improve drainage;
- (4) Improve landscaping
- (5) Decrease non-conformity with code

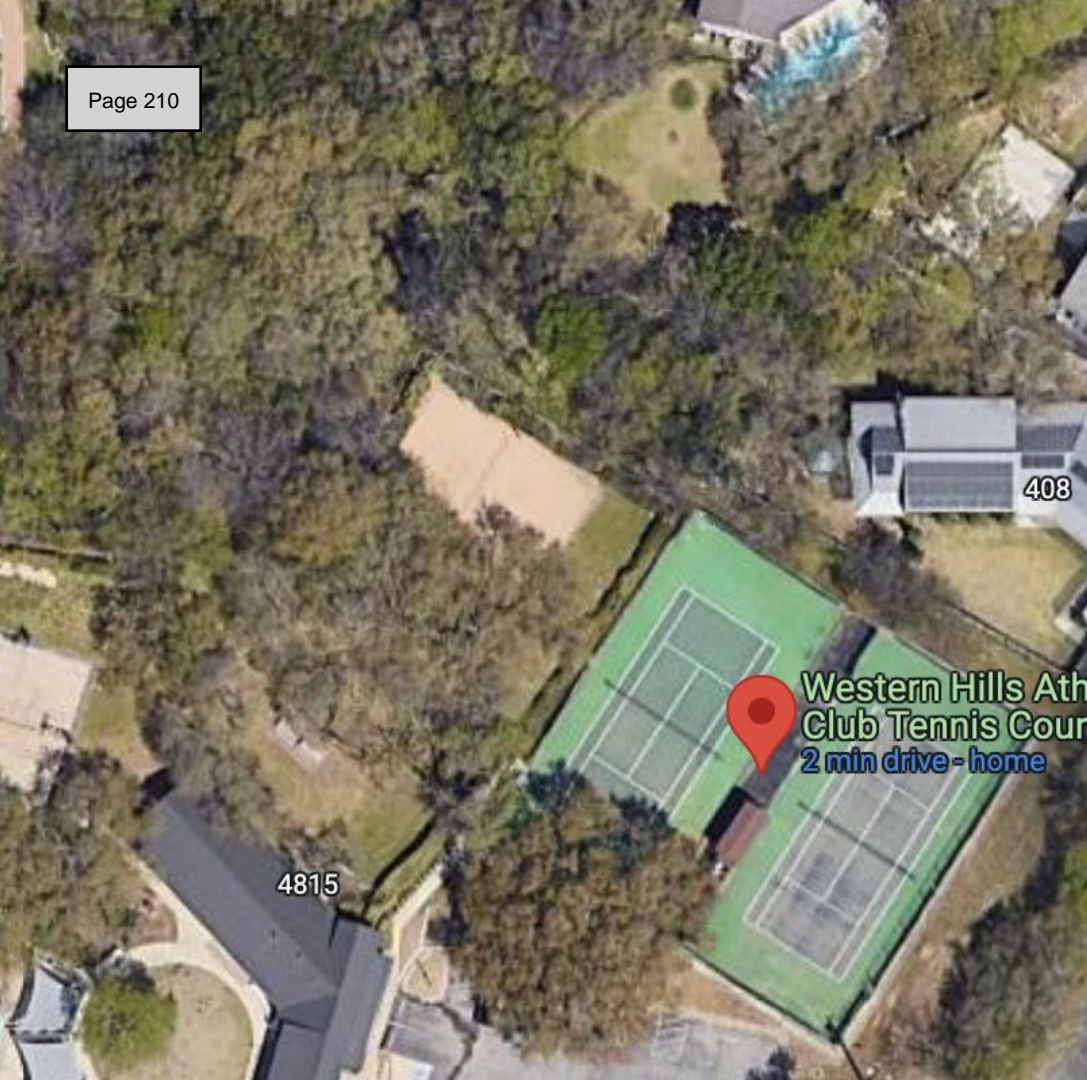


WHAC

1968: Club founded

1976: Tennis court built

1984: Volleyball court
built



Closer view of the tennis and volleyball courts



Lower court damage: multiple cracks (some dangerous), worn surface



Upper Court Damage: weakened foundation, dead spots, worn surface



Chain link fence: rusted, leaning, and missing rails and other parts



Asphalt berm between lower and upper courts: wider than needed barrier; unsightly. Replacing it with wall decreases material costs and impervious cover.



Reconstruction of
the volleyball area...

volleyball v. Pickleball/tennis

- Volleyball court seldom used
- Pickleball growing rapidly, across various ages and physical abilities
- “8 to 80” design
- A hybrid pickleball/tennis court more flexible use of space and activities



A private court on Hatley Dr, striped for both sports

Pickleball/Tennis Activities



Members

- **Clinics, camps, and lessons** (Youth and adult tennis)
- **Social Round Robins** (Adult tennis and pickleball)
- **Non-programmed** family and member play

Members and Guests

- **Leagues** (Youth tennis; Adult tennis, and pickleball)
- **City/Club Tournaments** (pickleball and tennis)

Pickleball Noise Tests and Accommodations

1. Pickleball **experiments** at WHAC.
 - a. Regular play on both the sport court and the tennis courts since October 2022
 - b. Interviews with neighbors suggest no impact on noise disturbances
2. Evaluation of **other installations**
 - a. Interviews with Hatley neighborhood indicate non-trivial concern
3. Accommodations
 - a. Restrict pickleball before **9AM**
 - b. Consider restricting equipment to “Sun City” equipment subject to neighbors' requests
 - c. Regular communication with neighbors
4. Existing restrictions
 - a. Noise levels not to exceed those capped by city ordinances

Member and Community Outreach

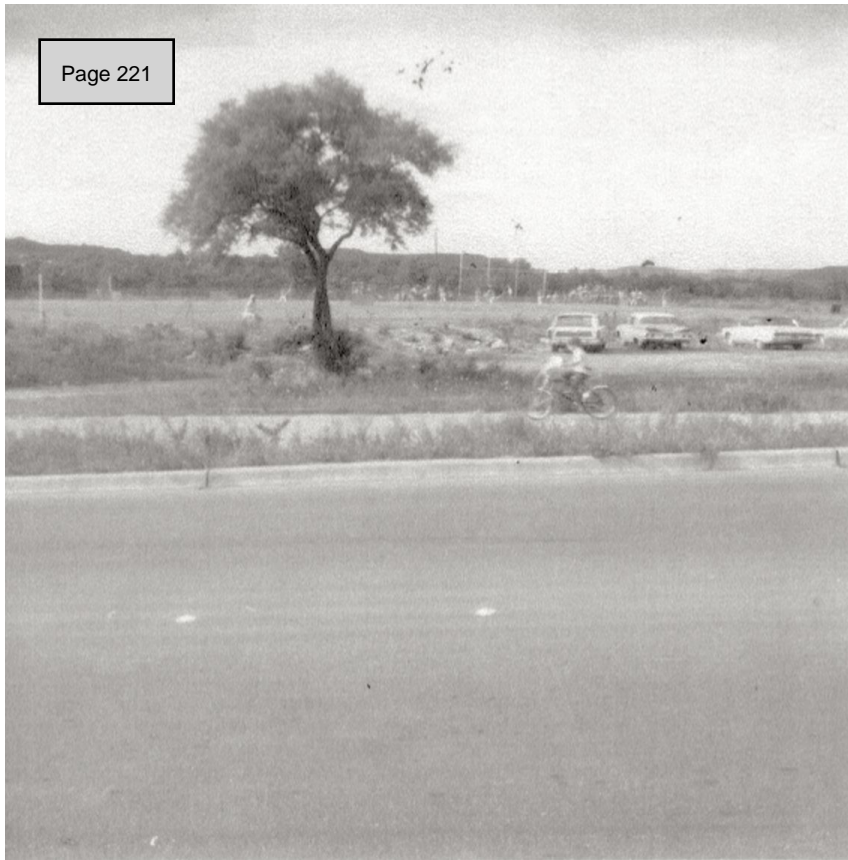


Interviews with

1. Members
2. Non-member residents
3. WHAC Neighbors
4. Hatley neighborhood

Zoning Constraints

- (1) **Sec. 107-242.** 30 ft greenbelt zone required between park and residential lots. **Variance Granted**
- (2) **Sec. 107-35.** Tennis courts may not be built between the setback line and the lot line. **Variance Granted**
- (3) **Sec. 107-422.** May not extend any non-conformity. **Variance not granted.**

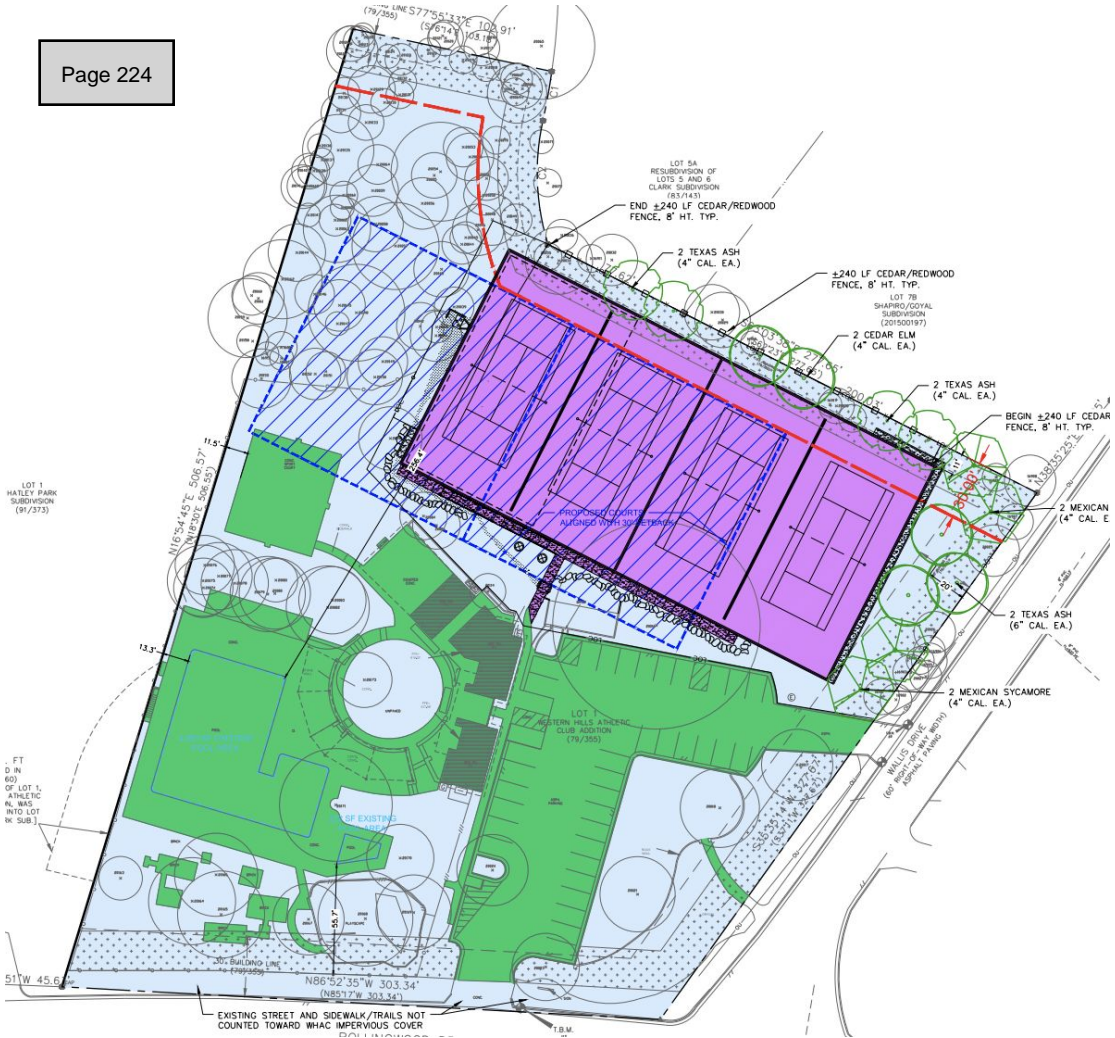


Hatley Fields, 1970 (two years after WHAC founding)



The originally proposed design (**purple**) *increases* encroachment into the setback.

DISTING STREET AND SIDEWALK/TRAFFIC NOT
INCLUDED (TOWN) WHIC SPERVIOUS COVER



An alternative design (blue) compromises trees and other structures



A design with **California corners** decreases the area of the courts by 800 sq ft, and decreases the area in the setback by 400 sq ft.



A Revised Proposal (white)

1. Adds **California corners**
2. **Repositions** courts over existing courts
3. **Offsets** additional courts out of setback

It **reduces** encroachment into the setback (compared to existing courts) by 416 sqft

Design Enhancements

1. California Corners
2. Timber posts
3. Dense landscaping





The design preserves a magnificent oak to grace the new courts' entrance

7-491. Special Exceptions

- (a) The board may, in a specific case, where the board makes the findings required under subsection (c) herein, grant the following special exceptions from the requirements of this division:
- (1) Permit the **reconstruction of a nonconforming building or structure that has been damaged** by fire or other cause;
 - (2) Permit the **enlargement or extension of a nonconforming use** or nonconforming building upon the lot occupied by such use or building at the time of the passage of this division;

(c) Prior to granting a special exception, the board shall make a finding that it is empowered under this chapter to grant the special exception, that the **public convenience and welfare** will not be substantially or permanently injured in the granting of the special exception, and that the grant of the special exception will not adversely affect the **public health, convenience, safety or general welfare**.

Expected Impact on “**health, convenience, and welfare**”



The site improvements...

1. Include senior residents/connect **generations**
2. Increase **social capital**
3. Enhance **beauty** of property and neighborhood
4. Increase **recreational** opportunities
5. Increase **value** and **reputation** of the City of Rollingwood
6. Improve **landscaping** and long-term tree population
7. Improve **drainage**
8. Restore an important **local landmark**
9. **Decrease non-conformity with city code**