



CITY OF ROLLINGWOOD CITY COUNCIL MEETING AGENDA

Wednesday, April 19, 2023

Notice is hereby given that the City Council of the City of Rollingwood, Texas will hold a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on April 19, 2023 at 7:00 PM. Members of the public and the City Council may participate in the meeting virtually, as long as a quorum of the City Council and the presiding officer are physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. The public may watch this meeting live and have the opportunity to comment via audio devices at the link below. The public may also participate in this meeting by dialing one of the toll-free numbers below and entering the meeting ID and Passcode.

Link: <https://us02web.zoom.us/j/5307372193?pwd=QmNUbmZBQ1lwUINjNmK5RnJreIRFUT09>

Toll-Free Numbers: (833) 548-0276 or (833) 548-0282

Meeting ID: 530 737 2193

Password: 9fryms

The public will be permitted to offer public comments via their audio devices when logged in to the meeting or telephonically by calling in as provided by the agenda and as permitted by the presiding officer during the meeting. If a member of the public is having difficulties accessing the public meeting, they can contact the city at dadair@rollingwoodtx.gov. Written questions or comments may be submitted up to two hours before the meeting. A video recording of the meeting will be made and will be posted to the City's website and available to the public in accordance with the Texas Public Information Act upon written request.

CALL REGULAR CITY COUNCIL MEETING TO ORDER

1. Roll Call

PUBLIC COMMENTS

Citizens wishing to address the City Council for items not on the agenda will be received at this time. Please limit comments to 3 minutes. In accordance with the Open Meetings Act, the City Council is restricted from discussing or taking action on items not listed on the agenda.

Citizens who wish to address the Council with regard to matters on the agenda will be received at the time the item is considered.

PRESENTATIONS

- [2.](#) Presentation, discussion and possible action regarding the proposed installation of Network Facilities by Google Fiber Texas LLC
- [3.](#) Presentation and discussion by Refraction AI regarding a request for a pilot program for semi-autonomous vehicles for residential deliveries
- [4.](#) Presentation and discussion regarding the Quarterly Investment Report for the 2nd Quarter
- [5.](#) Presentation and discussion regarding the Budget Review for the 2nd Quarter

CONSENT AGENDA

All Consent Agenda items listed are considered to be routine by the City Council and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a City Council Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

- [6.](#) Discussion and possible action on the minutes from the March 22, 2023 City Council meeting
- [7.](#) Discussion and possible action on the minutes from the April 5, 2023 Joint Planning and Zoning and City Council meeting

REGULAR AGENDA

- [8.](#) Update and discussion on the Nixon/Pleasant drainage project
- [9.](#) Update and discussion on the Hubbard/Hatley/Pickwick drainage project
- [10.](#) Discussion and possible action regarding an update to the K. Friese and Associates billing rates for City Engineering Services
11. Discussion and possible action to oppose efforts by the legislature to limit the ability of municipalities to require minimum residential lot sizes
- [12.](#) Discussion and possible action regarding an amendment to the Code of Ordinances Section 107-3 Definitions, related to the definition of Building Height, Residential in the R- Residential zoning district
- [13.](#) Discussion and possible action on an ordinance amending the City's Code of Ordinances Section 101-2 Adoption of codes, amending the building code local amendments related to wood shingles and the definition of building height
14. Discussion and possible action regarding residential speed limits
- [15.](#) Discussion and possible action on an Ordinance amending the FY 2022-2023 Budget for storm debris haul off and landscape remediation at the material storage lot on Edgegrove Drive
- [16.](#) Discussion and possible action on a recommendation from the Utility Commission regarding a cellular service and coverage survey

- [17.](#) Discussion and possible action to provide flexibility to the Comprehensive Residential Code Review Committee (CRCRC) regarding the dates and times of meetings
18. Update and discussion on Fields 3, 4, and 5 rehabilitation
19. Update and discussion regarding RCDC interest for capital expenditures on park improvements
20. Update and discussion regarding the addition of a building height survey requirement to the City's Code of Ordinances
- [21.](#) Discussion and possible action on an ordinance amending the city's Code of Ordinances Sections 107-399, 107-518 and 107-520 related to public hearing notice
- [22.](#) Discussion and possible action to amend Rollingwood Ordinance Section 2-56 regarding application of Robert's Rules of Order in City Council meetings
23. Update, discussion and possible action to pass a resolution, request a meeting with, to provide information or a statement of position of the City to, and/or to request information or analyses from relevant state and local officials in connection with the proposed South Mopac expansion
- [24.](#) Discussion and possible action on release and settlement agreements for the properties located at 304 Vale Street and 400 Farley Trail

REPORTS

All reports are posted to inform the public. No discussion or action will take place on items not on the regular or consent agenda.

- [25.](#) City Administrator's Report
- [26.](#) Chief of Police Report
- [27.](#) Municipal Court Report
- [28.](#) City Financials for March 2023 - Fiscal Year 2022-2023
- [29.](#) RCDC Financials for March 2023 - Fiscal Year 2022-2023
- [30.](#) City Stats for March 2023
- [31.](#) Contract Invoices through March 2023 - Crossroads Utility Services, Water and Wastewater Service, K. Friese + Associates - IIP & MS4, K. Friese + Associates, City Engineer
- [32.](#) Crossroads Utility Services Report on Water and Wastewater for March 2023
- [33.](#) City Engineer Report - K. Friese + Associates
34. Texas Central Appraisal District and Tax Assessor - Notices, Letters, Documents
- [35.](#) Texas Gas Services - Notices, Letters, Documents

ADJOURNMENT OF MEETING

CERTIFICATION OF POSTING

I hereby certify that the above Notice of Meeting was posted on the bulletin board at the Rollingwood Municipal Building, in Rollingwood, Texas and to the City website at www.rollingwoodtx.gov at **5:00 p.m.** on **April 14, 2023.**

Desiree Adair

Desiree Adair, City Secretary

NOTICE -

The City of Rollingwood is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please contact the City Secretary, at (512) 327-1838 for information. Hearing-impaired or speech-disabled persons equipped with telecommunication devices for the deaf may call (512) 272-9116 or may utilize the stateside Relay Texas Program at 1-800-735-2988.

The City Council will announce that it will go into executive session, if necessary, to deliberate any matter listed on this agenda for which an exception to open meetings requirements permits such closed deliberation, including but not limited to consultation with the city's attorney(s) pursuant to Texas Government Code section 551.071, as announced at the time of the closed session.

Consultation with legal counsel pursuant to section 551.071 of the Texas Government Code;
discussion of personnel matters pursuant to section 551.074 of the Texas Government Code;
real estate acquisition pursuant to section 551.072 of the Texas Government Code;
prospective gifts pursuant to section 551.073 of the Texas Government Code;
security personnel and device pursuant to section 551.076 of the Texas Government Code;
and/or economic development pursuant to section 551.087 of the Texas Government Code.
Action, if any, will be taken in open session.



Google Fiber | Rollingwood, TX

Sasha Petrovic, GM - Southwest Region

What is Google Fiber?

Google Fiber (GFiber) is an Alphabet company that brings fast, reliable, fairly priced internet to homes and businesses across the United States.

We believe in going beyond.

Going beyond Expectations

Our mission is to deliver fast, reliable, fairly-priced and open internet service – using the best technologies, methods and people to accomplish that.

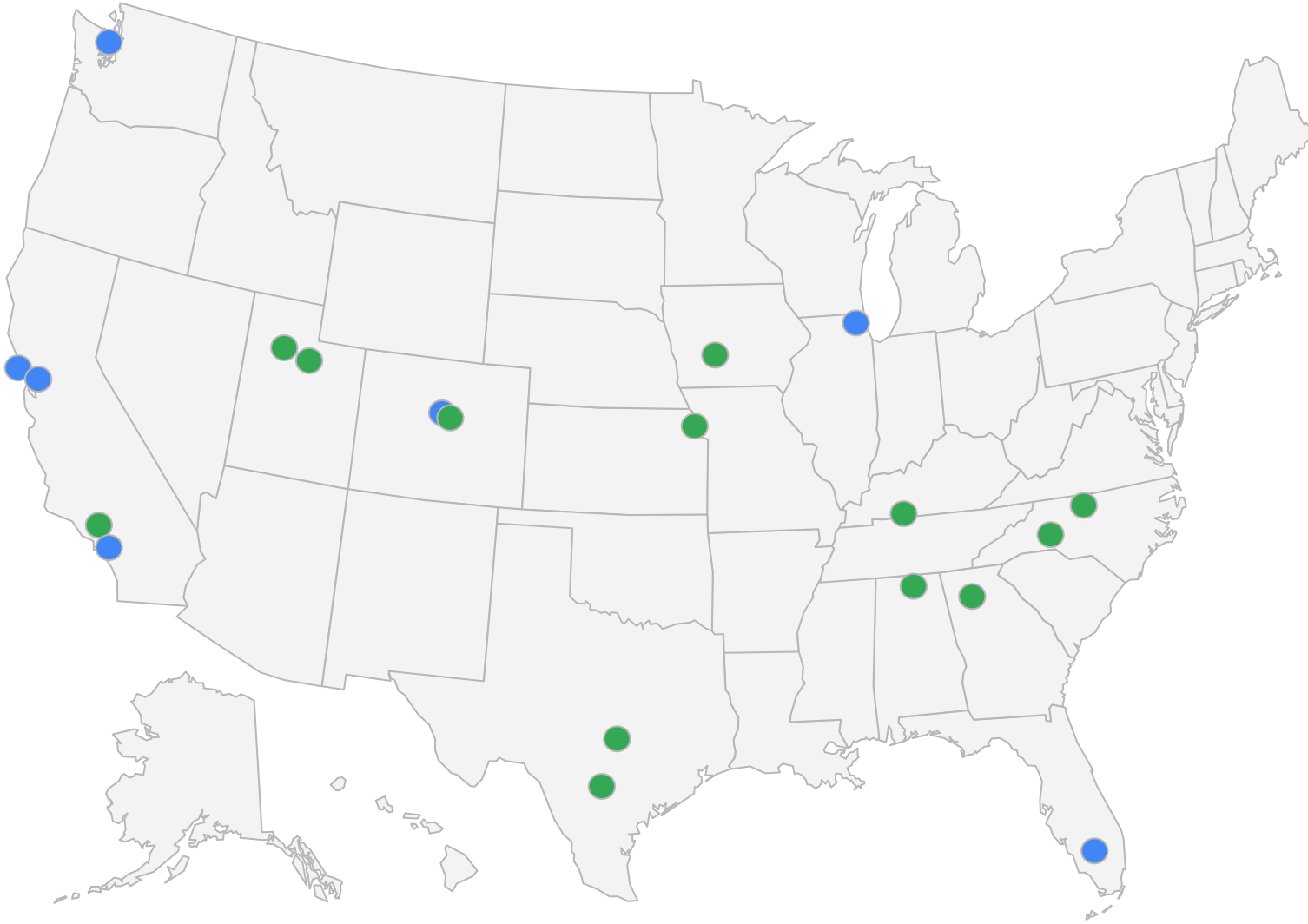
Going beyond the Basics

Internet truly matters to people, and their experiences with internet truly matters to us. So we set the bar high for every aspect along the way - customer service, pricing, transparency, reliability, speed and innovation at every turn.

Going Above and Beyond

There's always room to make things even better. So we're expanding the places we deliver internet, investing in new technology and always looking for ways to do things better that make a difference for our customers, for our teams and in our communities.

You can find us here.



● Google Fiber metro ● Webpass metro

Google Fiber

- Atlanta, GA
- Greater Austin, TX
- Charlotte, NC
- Huntsville, AL
- Kansas City, KS/MO
- Lakewood, CO
- Nashville, TN
- Orange County, CA
- Great Phoenix, AZ
- Provo, UT
- Salt Lake Valley, UT
- San Antonio, TX
- The Triangle, NC
- West Des Moines, IA
- Westminster, CO

Webpass

- Chicago, IL
- Denver, CO
- Miami, FL
- Oakland, CA
- San Diego, CA
- San Francisco, CA
- Seattle, WA

Zoom into 78746

Signed West Lake Hills ROW

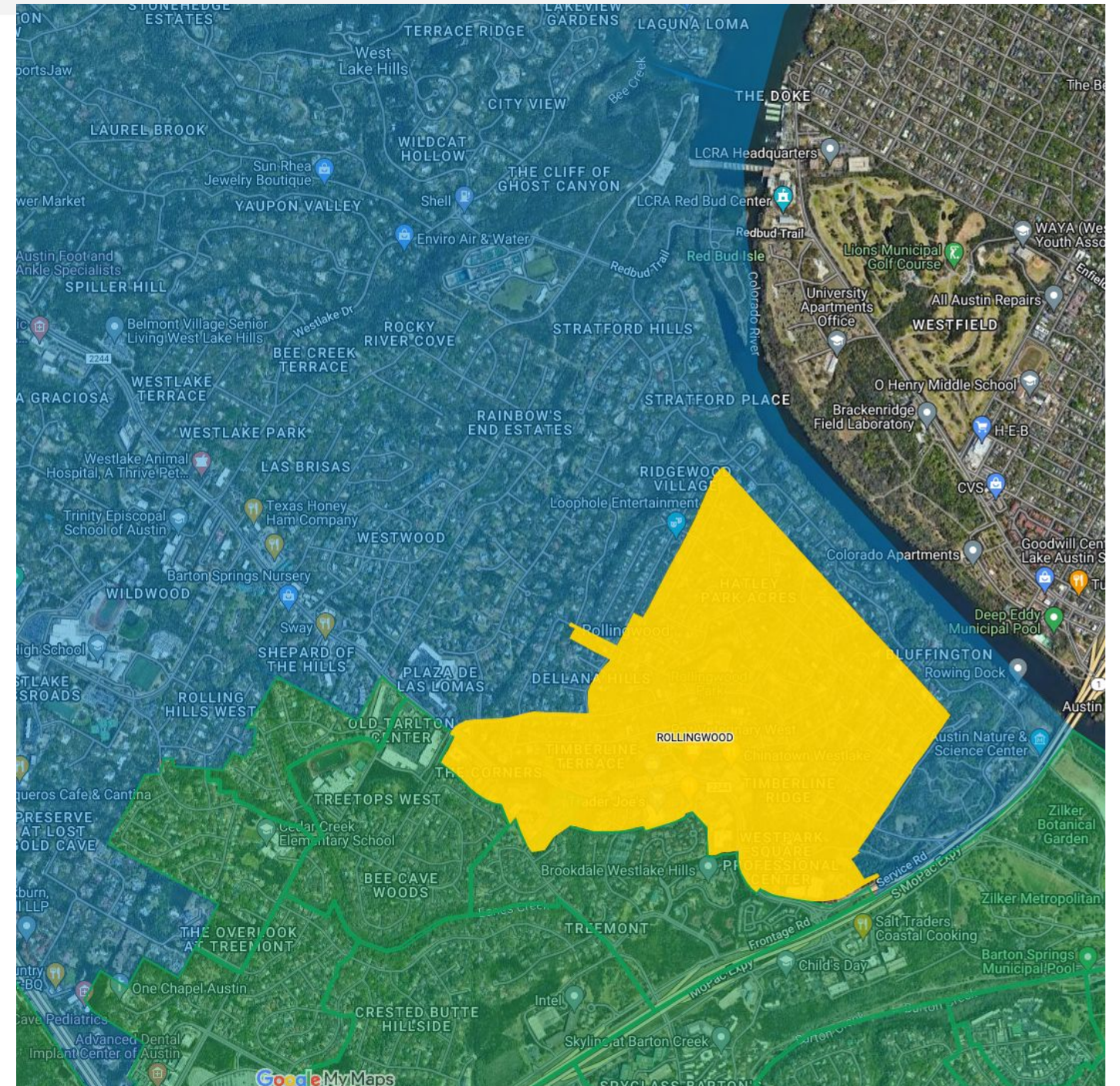
On March 8th 2023, Mayor Linda Anthony signed a Non-Exclusive Public ROW License Agreement with Google Fiber with unanimous City Council approval.

Filling in 78746

We're looking to fill in areas in and around West Lake Hills as part of this expansion build. This primarily includes areas of unincorporated Travis County.

Lack of competition

There are areas that have only 1 internet provider, leaving residents without choice.



What we offer.

Residential

1 Gig **\$70/mo**

- Up to 1 gig downloads and uploads
- Mesh Wi-Fi network included
- 1 TB of free cloud storage

2 Gig **\$100/mo**

- Download speeds of up to 2 gigabits
- Uploads up to 1 gigabit
- Wi-Fi 6 mesh network included

5 Gig **\$125/mo**

- Up to 5 gig download and uploads
- Wi-Fi 6 mesh network included

Commercial

1 Gig **\$100/mo**

- Up to 1 gig downloads and uploads
- Wi-Fi 6 router
- 99.99% uptime¹

2 Gig **\$250/mo**

- Downloads of up to 2 gigs/uploads up to 1 gig
- WiFi 6 router mesh Wi-Fi extenders
- 99.9% Service Level Guarantee²

All of our plans include:

- Mesh Wi-Fi network capability
- No data caps or annual contracts
- Free Professional Installation/No installation fees
- 24/7 customer support

¹99.99% reliable connection based on 2021 and 2022 average annual uptime reliability excluding commercial power outages and planned maintenance

²Terms and exclusions apply. See Service Level Agreement for details.

Recognized as an industry leader.



Customer Satisfaction

Reader's Choice Award;
Favorite ISP



Customer Service

#1 ISP in the American
Consumer Satisfaction Index



Speed

Fastest internet provider in the
country

But don't take our word for it.

“I have loved having you guys for the last couple of months, I can't find anyone else who can deliver this speed and consistency.”

Denz, MO

“Hey @googlefiber, you're the greatest ISP I've ever had.”

Pilioka, KC

“Thanks @googlefiber that's the best customer service I've ever had. Fixing a problem that wasn't your fault hours after I call. Love this service.”

Michael J., NC

Supported locally by a team of industry experts.

Proven

+30M feet of fiber built and maintained in Texas

Competent

Senior Leadership has over 45 years of combined industry expertise

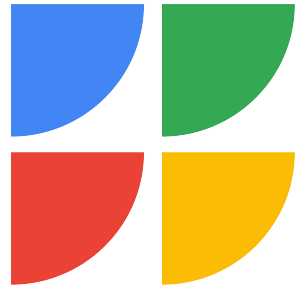
Trusted

Operating in over 10 municipalities including Austin, San Antonio, Round Rock, Travis County, etc

Devoted

Entire team is based in the greater Central Texas region. Living, working and contributing to the communities we serve





Rollingwood, TX - Google Fiber Journey



ROW License / Deployment Method

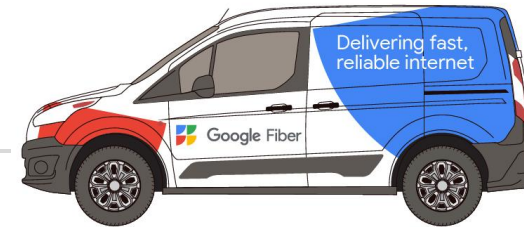
Align on ROW license terms and deployment methods



Design / Permit / Network Construction

Coordination with city/county
Fiber Design
Permitting
Community Communication
Fiber Network Construction
Multi-dwelling Construction
Restoration

Targeting primarily underground construction for Rollingwood



Customer Fulfillment

Sales
Service Drop (private property)
In-Home Installation



**Know what's below.
Call before you dig.**

Network Maintenance, Repair, Relocations

Proactive Maintenance
Reactive Maintenance / Repair
Utility, Infrastructure Project
Coordination
Relocation

Proactive relocations to avoid future infrastructure conflicts

Close coordination with the city starts HERE!



and CONTINUES!

Our process is different.

Design

Goal: Build the widest possible footprint to serve the greatest number of customers.

Impact: Deployment along a significant portion of ROW.

Communicate

Goal: Ensure that the community is familiar with the deployment and knows how to contact us.

Impact: No surprises and any issues are resolved quickly.

Construction

Goal: Utilize a proven toolkit that maximizes speed, minimizes disruption and is restored properly.

Impact: Reduced impact to ROW and roads, while increasing safety, lowering risk exposure and community disruption.

How we design/build our networks.

Equipment Shelter

- Serves 40-60k Homes
- Placed on Leased or purchased land

Backbone Routes

- Connects shelters
- Lease fiber where possible

Trunk Routes

- Shallow trenching
- Horizontal Directional Drill
- Aerial

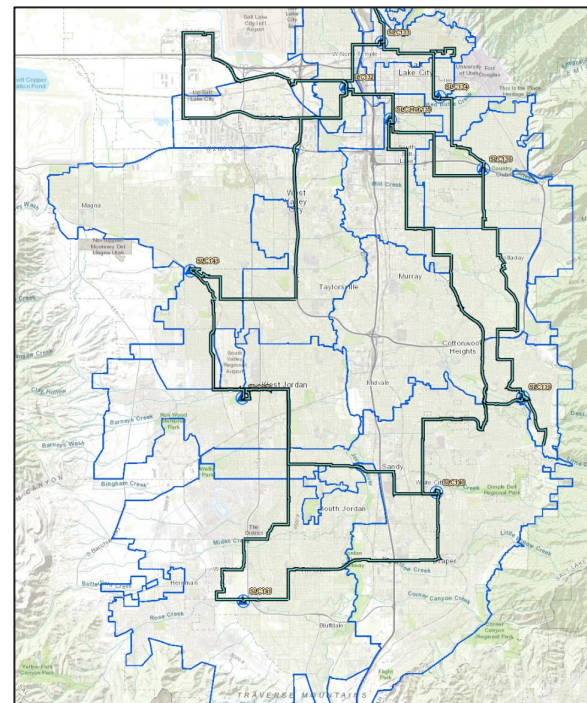
Distribution Routes

- Shallow trenching
- Horizontal Directional Drill
- Aerial

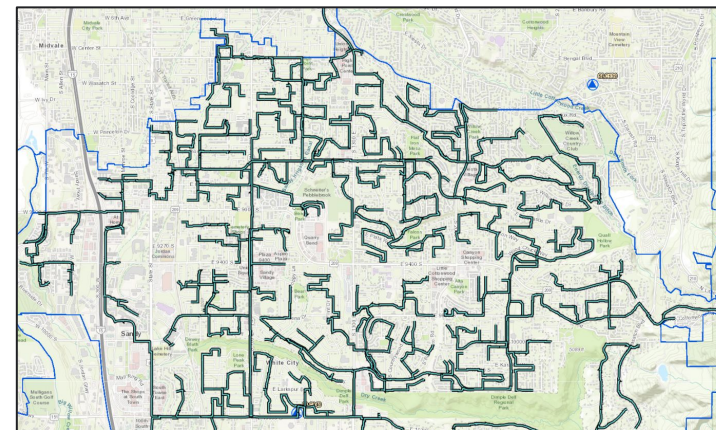
HUT Location



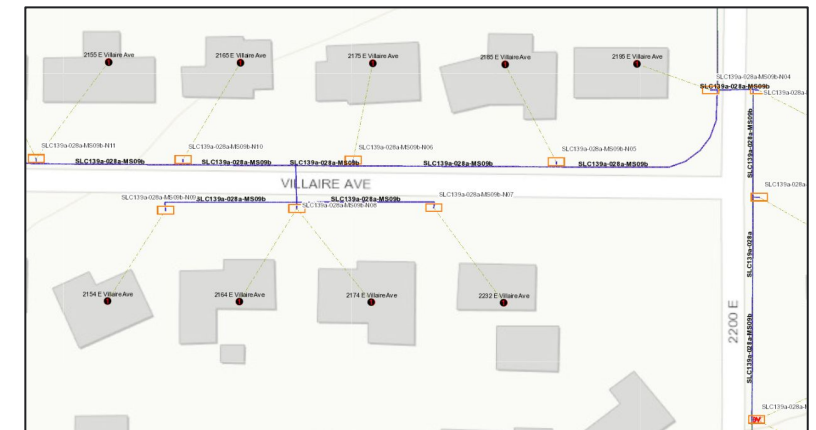
Backbone Routes



Trunk Routes



Distribution Routes



FAQ

Frequently Asked Questions:

- Q: What is the cost to the city?
 - There is no cost to the city. Each city has their internal process to support permitting and inspection; that might have additional costs associated with a fiber deployment.
- Q: How do you solve for infrastructure project conflicts (i.e. wet utility work, road and sidewalk work)?
 - In the engineering phase we work with the city to understand the planned projects, design the network to minimize conflict and then have a full team dedicated to relocation work for any future work unforeseen during the initial construction phase.
- Q: Who pays to relocate your fiber?
 - GFiber pays for any for city related relocation projects (e.g. capital improvements, road, sidewalk, wet utilities)
- Q: How do you notify the public?
 - We work with the city to find the right communication strategy. This often includes, at minimum, signage, door hangers, an 800 number for residents to call with questions.
- Q: Does the agreement give open access to the ROW to GFiber?
 - No, we design and submit detailed permit drawings for review and approval before any construction commences.
- Q: What about the impact to the roadway, curbs, sidewalks etc?
 - We have worked to develop our deployment methods and material to minimize impact to the roadway. However, our license agreement includes a commitment to restore any damage that may have resulted from our deployment.
- Q: How is the city compensated for the access to the ROW?
 - Terms are outlined in the ROW license agreement and include a fee as a percentage of customer revenue.
- Q: What deployment method will be used?
 - We use a toolkit of construction methods that are designed to maximize the number of homes/businesses that we can reach and serve. The construction tool kit is comprehensive and includes shallow trenching, softscape, horizontal directional drilling and aerial.
- Q: How long will this project take?
 - There are a number of different factors that can influence the pace. Historically, we have constructed between 10k and 40k households per year.
- Q: What about landscaping, irrigation lines?
 - We are committed and bound by the license agreement to restore and repair anything impacted during construction. Fortunately, our deployment toolkit is generally less intrusive than typical construction methods.
- Q: What is the long term impact to our roadway, curbs and sidewalks?
 - We have worked hard over the last 10+ years to find the right formula that allows us to deploy the network quickly, cost effectively and with minimal short term and long term impact to the community infrastructure.
- Q: Do you have contacts in other cities that we can talk to in order to hear how your deployment has gone in their city?
 - Yes, we can provide some references in existing markets.

Thank you.





REFRACTION AI

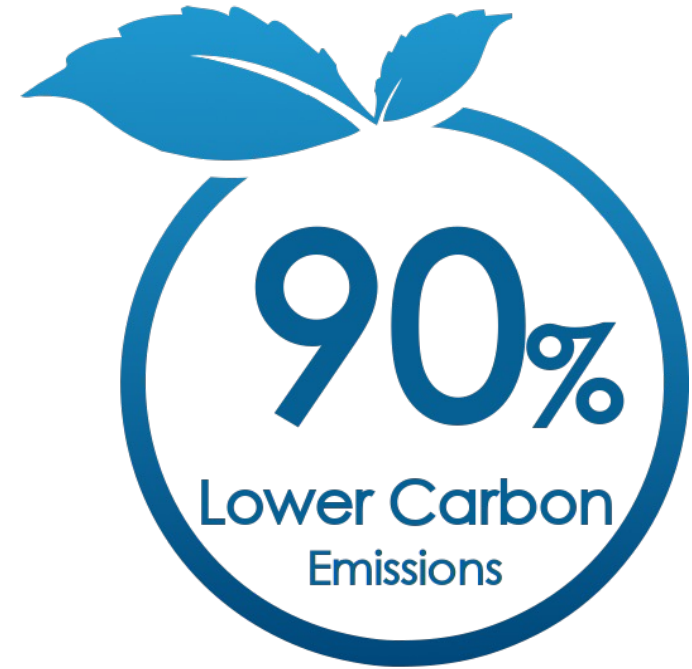
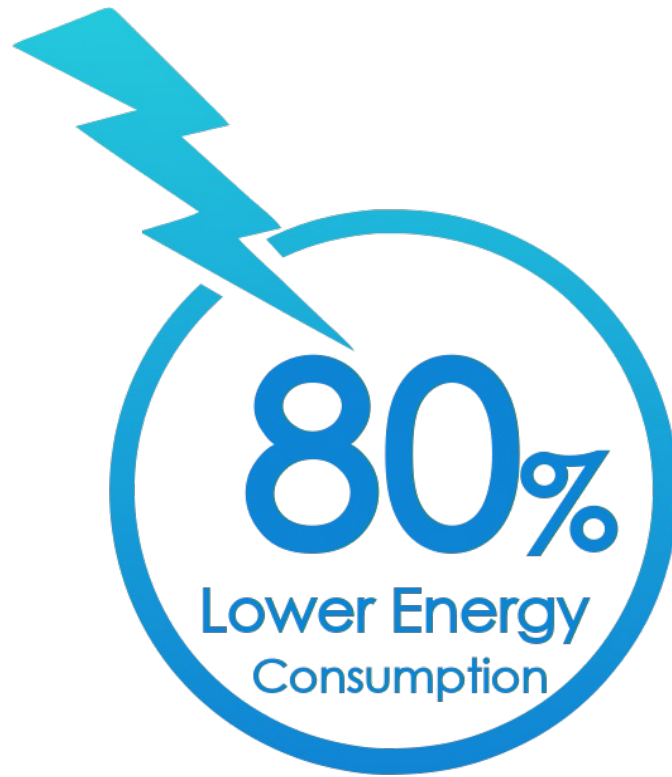
City of Rollingwood – April 19, 2023

Refraction AI: Robot-as-a-service last-mile delivery

- Delighted customers
- Profitable growth
- Margin expansion
- Brand augmentation
- Sustainable operations
- New opportunities



Scalable, profitable, sustainable



Technology enabled last-mile delivery using intelligent routing, autonomy, and tele-operations, to deliver goods safely, efficiently, and sustainably, at a fraction of the cost of conventional options





REFRACTION AI

(Click for Video)

For operators



Robots at the ready

Dedicated, virtual fleet is ready to fulfill deliveries

- Days of week
- Hours of day

No maintenance or fleet management headaches

Fleet expansion is turnkey



Integrated operations

Order management API enables seamless robot hailing and loading

Orders may be individually loaded or batched for greater efficiency

Staging and loading areas are space-efficient and conveniently located

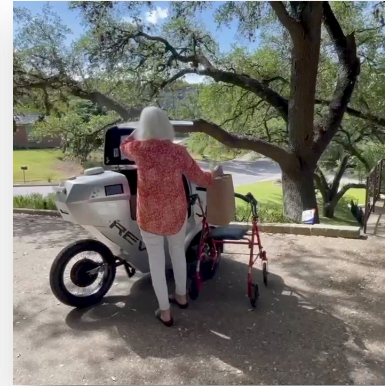


Full delivery range

Road-margin operation enables 5-mile radius

Max speed of 15 mph ensures timely deliveries

Autonomous + tele-operated travel means hitting the arrival window more precisely



Clean consumer experience

Integrated communication of status, ETA and support

Logical, secure, payload access

Nimble enough to deliver orders to curbsides, sidewalks, driveways and porches



Effective brand expression

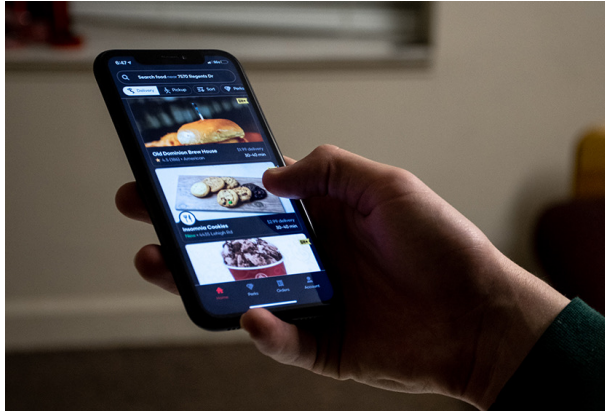
Branded, highly-visible mobile assets

Promotion/activation ready for events and opportunities

Integrated digital display advertising options



For consumers



Place an order through any supported channel



Receive a text confirmation when the order is loaded



Receive a secure access code text when the order is arriving



Use the code to open the door, and goodness awaits!

TRANSACTIONING

It's easy to buy – “lights out” app integration

AVAILABILITY

It's immediate – Robot fleet acts as a virtual, dedicated delivery fleet

RELIABILITY

All-weather, More accurate ETAs

AFFORDABILITY

It's cheaper – No tipping, right-sized delivery vehicles

SUSTAINABILITY

90% smaller carbon footprint, 80% more energy efficient

LIVABILITY

No travel lane occupancy or curbside congestion



Technology Platform

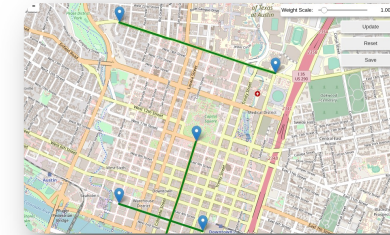
Autonomy

Portable Level 4 autonomy
Integrated tele-operation
Ultra low-cost sensor suite
Semantic, scene-based AI



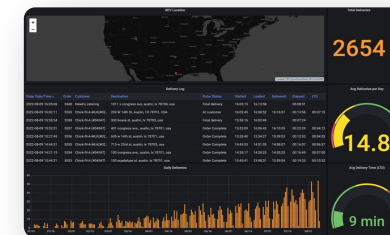
Route Optimization

Multi-criteria routing engine
Location specific
Asset configurable
Machine-learning driven



Delivery Management

Demand management
Asset management
Planning
Analytics



Operations

Tele-operations



Offshore partner in LATAM

Complete remote piloting capabilities

Full training and licensing curriculum

Turnkey, low-cost expansion

Robots



Road margin/bike lane domain

Multiple manufacturing partners

Customer configurable interiors

Branding and advertising options

Field Operations



Restaurant, grocery and retail

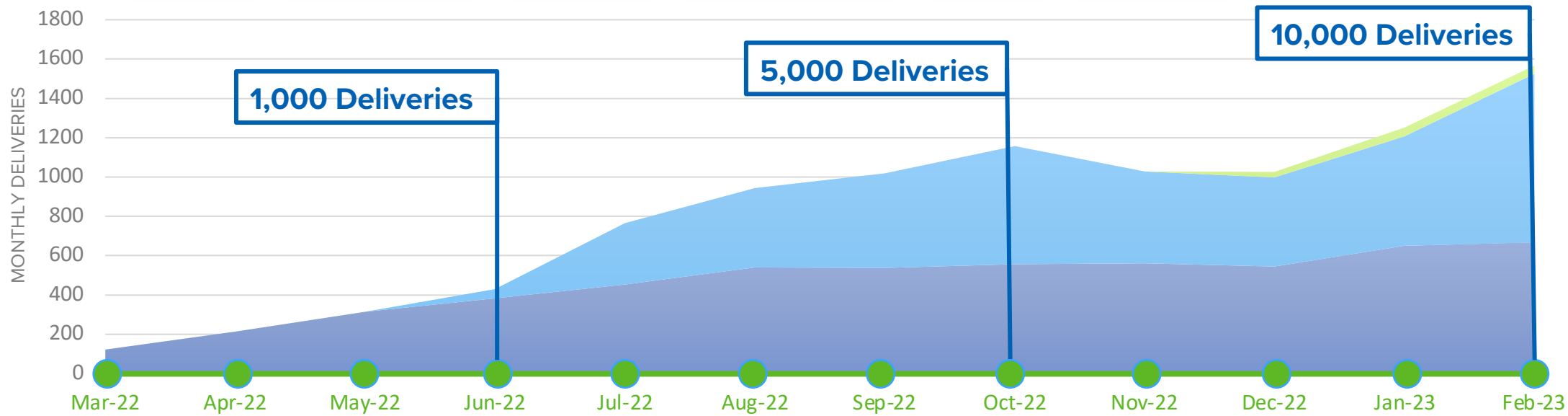
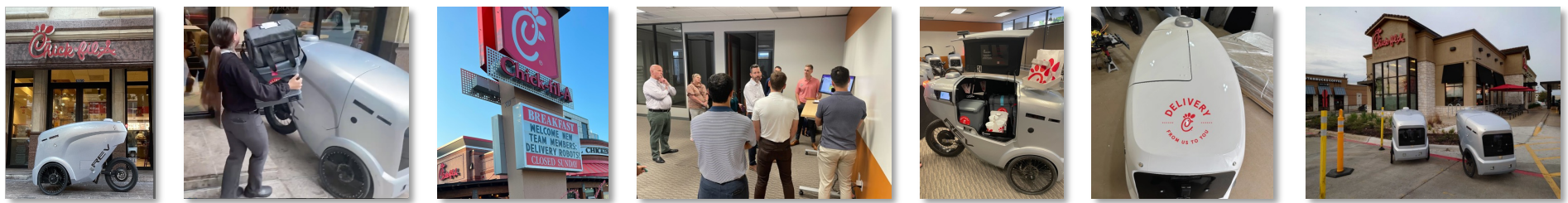
Integration with legacy systems

Design of experience support

Concierge services



Chick-fil-A



10,500+
Deliveries

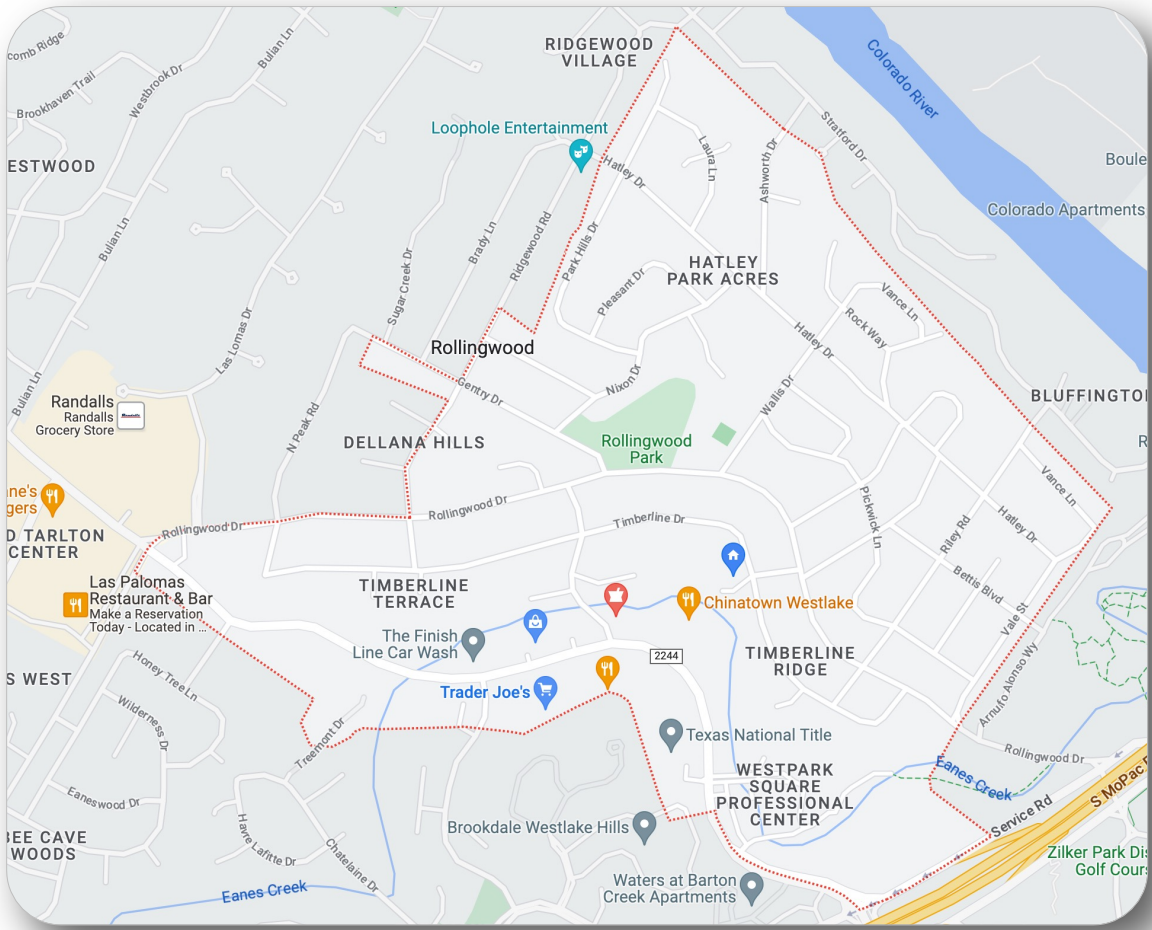
19 min
Avg OTD

88
NPS

1,500
Repeat Orders

- Initial Contract
- 1st Location
- Robot Interior Workshop
- Contract Extension
- 2nd Location
- Joint press release
- Chick-fil-A Executive Committee (Atlanta)
- 3rd Location
- 12-month contract extension
- Chick-fil-A Operators Conference

Rollingwood concept



- Limited pilot, 90-120 days
- Grocery focus
- Retail centers along Bee Caves Rd
- Exclusively serving Rollingwood residents
- 2-3 robots, 12-16 hours per day
- Promoted by Refraction AI

Thanks!



The Refraction AI team



MATTHEW JOHNSON-ROBERSON | CO-FOUNDER CO-CTO
DIRECTOR, CARNEGIE MELLON ROBOTICS INSTITUTE



LUKE SCHNEIDER | CEO
25 YEAR MOBILITY ENTREPRENEUR WITH MULTIPLE EXITS



RAM VASUDEVAN | CO-FOUNDER, CO-CTO
DIRECTOR, UM-FORD CENTER FOR AUTONOMOUS VEHICLES



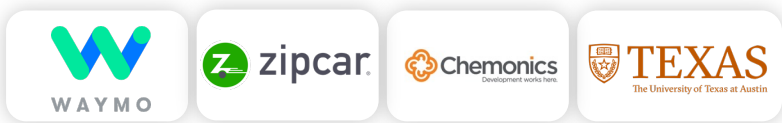
AARON FAVARA | COO
SEASONED LAST-MILE / TRANSPORTATION ENTREPRENEUR



JUSTIN STORMS | DIRECTOR OF ENGINEERING
ROBOTICS PH.D AND TELE-AUTONOMOUS VEHICLE EXPERT



ELLICE PEREZ MCINTOSH | DIRECTOR, OPERATIONS
SEASONED AUTONOMY AND MOBILITY ENTREPRENEUR





CITY OF ROLLINGWOOD

403 Nixon Drive
Rollingwood, TX 78746
(512) 327-1838 Fax (512) 327-1869

April 10, 2023

City of Rollingwood Council Members

Re: Quarterly Investment Report

Council Members:

In accordance with the Public Investment Act, enclosed is the Quarterly Investment Report for the quarter ending March 31, 2023.

Sincerely yours,

A handwritten signature in cursive script that reads "A Wayman".

Ashley Wayman, City Administrator

CITY OF ROLLINGWOOD
 QUARTERLY INVESTMENT REPORT
 2022-2023
 FY 2nd QTR.

POOLED INVESTMENTS:	TEXPOOL:			TOTAL
	GENERAL FUND	WATER FUND	WASTEWATER FUND	
AVERAGE BALANCE	46.948%	8.823%	44.229%	
	32.440%	11.236%	56.325%	
1ST QUARTER				
OCTOBER, 2022	\$ 175,147.81	\$ 60,663.47	\$ 304,108.69	\$ 539,919.97
NOVEMBER, 2022	\$ 175,587.45	\$ 60,815.74	\$ 304,872.03	\$ 541,275.23
DECEMBER, 2022	\$ 176,129.58	\$ 61,003.51	\$ 305,813.32	\$ 542,946.40
2nd QUARTER				
JANUARY, 2023	\$ 176,706.93	\$ 61,203.48	\$ 306,815.77	\$ 544,726.17
FEBRUARY, 2023	\$ 177,345.13	\$ 61,424.52	\$ 307,923.89	\$ 546,693.54
MARCH, 2023	\$ 282,539.99	\$ 53,098.12	\$ 266,176.65	\$ 601,814.75
ENDING BALANCE				
1ST QUARTER				
OCTOBER, 2022	\$ 175,572.31	\$ 60,811.67	\$ 304,843.11	\$ 541,221.68
NOVEMBER, 2022	\$ 176,093.41	\$ 60,992.16	\$ 305,747.88	\$ 542,828.01
DECEMBER, 2022	\$ 176,688.62	\$ 61,198.32	\$ 306,781.34	\$ 544,662.83
2nd QUARTER				
JANUARY, 2023	\$ 177,323.27	\$ 61,416.95	\$ 307,885.93	\$ 546,626.16
FEBRUARY, 2023	\$ 177,935.28	\$ 61,628.93	\$ 308,948.56	\$ 548,512.77
MARCH, 2023	\$ 329,046.54	\$ 61,838.15	\$ 309,989.76	\$ 700,874.46
INTEREST				
1ST QUARTER				
OCTOBER, 2022	\$ 436.35	\$ 151.14	\$ 757.63	\$ 1,345.11
NOVEMBER, 2022	\$ 521.09	\$ 180.49	\$ 904.77	\$ 1,606.33
DECEMBER, 2022	\$ 595.23	\$ 206.16	\$ 1,033.46	\$ 1,834.82
2nd QUARTER				
JANUARY, 2023	\$ 636.89	\$ 220.59	\$ 1,105.84	\$ 1,963.32
FEBRUARY, 2023	\$ 612.01	\$ 211.98	\$ 1,062.63	\$ 1,886.61
MARCH, 2023	\$ 1,108.77	\$ 1,108.77	\$ 1,108.77	\$ 2,361.70
INTEREST RECEIVED:				
1ST QUARTER	\$ 1,552.67	\$ 537.78	\$ 2,695.86	\$ 4,786.26
2ND QUARTER	\$ 2,357.67	\$ 1,541.34	\$ 3,277.24	\$ 6,211.63
YEAR-TO-DATE	\$ 3,910.34	\$ 2,079.12	\$ 5,973.10	\$ 10,997.89

<u>WEIGHTED AVG MATURITY (WAM)</u>	TEXPOOL:	
	WAM (1)	WAL (2)
<u>1ST QUARTER</u>		
OCTOBER, 2022	23	96
NOVEMBER, 2022	21	95
DECEMBER, 2022	17	83
<u>2nd QUARTER</u>		
JANUARY, 2023	16	66
FEBRUARY, 2023	15	66
MARCH, 2023	17	76

<u>AVERAGE YIELD</u>		
<u>1ST QUARTER</u>		
OCTOBER, 2022	2.9336%	
NOVEMBER, 2022	3.6110%	
DECEMBER, 2022	3.9799%	
<u>2nd QUARTER</u>		
JANUARY, 2023	4.2443%	
FEBRUARY, 2023	4.4991%	
MARCH, 2023	4.6108%	

<u>NET ASSET VALUE (NAV)</u>		
<u>1ST QUARTER</u>		
OCTOBER, 2022	\$	1.00
NOVEMBER, 2022	\$	1.00
DECEMBER, 2022	\$	1.00
<u>2nd QUARTER</u>		
JANUARY, 2023	\$	1.00
FEBRUARY, 2023	\$	1.00
MARCH, 2023	\$	1.00

NOTES:

- (1) "WAM" IS THE MEAN AVERAGE OF THE PERIODS OF TIME REMAINING UNTIL THE SECURITIES HELD IN TEXPOOL (A) ARE SCHEDULED TO BE REPAID, (B) WOULD BE REPAID UPON A DEMAND BY TEXPOOL, OR ARE SCHEDULED TO HAVE THEIR INTEREST RATE READJUSTED TO REFLECT CURRENT MARKET RATES. SECURITIES WITH ADJUSTABLE RATES PAYABLE UPON DEMAND ARE TREATED AS MATURING ON THE EARLIER OF THE TWO DATES SET FORTH IN (B) AND © IF THEIR SCHEDULED MATURITY IS MORE THAN 397 DAYS. THE MEAN IS WEIGHTED BASED ON THE PERCENTAGE OF THE AMORTIZED COST OF THE PORTFOLIO INVESTED IN EACH PERIOD.
- (2) "WAL" IS CALCULATED IN THE SAME MANNER AS THE DESCRIBED IN FOOTNOTE 1, BUT IS BASED SOLELY ON THE PERIODS OF TIME REMAINING UNTIL THE SECURITIES HELD IN TEXPOOL (A) ARE SCHEDULED TO BE REPAID OR (B) WOULD BE REPAID UPON DEMAND BY TEXPOOL, WITHOUT REFERENCE TO WHEN INTEREST RATES OF SECURITIES WITHIN TEXPOOL ARE SCHEDULED TO BE READJUSTED.

2022-2023

CITY OF ROLLINGWOOD
MONTHLY FINANCIAL ANALYSIS

NOTE: YTD ACTUAL AS OF MARCH 31, 2023; 50% OF FISCAL YEAR

REVENUE STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:			PRIOR YEAR:		CURRENT YR COMPARED TO PY YR
	EST. REVENUE	YTD	PERCENT	YTD		
CURRENT PROPERTY TAXES	\$ 1,391,320	\$ 1,374,688	99%	\$ 1,350,441		102%
TELECOM TAXES	\$ 20,000	\$ 11,363	57%	\$ 11,102		102%
4-B SALES TAX	\$ 200,000	\$ 87,033	44%	\$ 87,179		100%
CITY SALES TAX	\$ 625,000	\$ 348,130	56%	\$ 348,715		100%
ELECTRIC UTILITY FRANCHISE FEE	\$ 90,000	\$ 52,753	59%	\$ -	#DIV/0!	
BUILDING PERMIT FEES	\$ 150,000	\$ 74,360	50%	\$ 108,018		69%
COURT FINES	\$ 31,700	\$ 34,432	109%	\$ 18,705		184%
WATER SALES	\$ 1,354,000	\$ 586,209	43%	\$ 501,558		117%
STREET SALES TAX	\$ 200,000	\$ 87,033	44%	\$ 87,179		100%
PROPERTY TAX-DEBT SERVICE 2014	\$ 199,350	\$ 199,987	100%	\$ 198,467		101%
PROPERTY TAX-DEBT SERVICE 2012	\$ 313,235	\$ 314,231	100%	\$ 313,990		100%
PROPERTY TAX-DEBT SERVICE 2019	\$ 410,250	\$ 412,023	100%	\$ 406,130		101%
PROPERTY TAX-DEBT SERVICE 2020	\$ 314,775	\$ 315,058	100%	\$ 313,075		101%
WASTEWATER REVENUES	\$ 803,500	\$ 444,500	55%	\$ 365,074		122%
PUD SURCHARGE	\$ 98,160	\$ 49,077	50%	\$ 49,076		100%

BUDGET STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:			PRIOR YEAR:		CURRENT YR COMPARED TO PY YR
	BUDGET	YTD	PERCENT	YTD		
GENERAL FUND:						
REVENUE	\$ 3,157,388	\$ 2,178,917	69%	\$ 2,073,894		105%
EXPENDITURES	\$ 3,148,417	\$ 1,429,276	45%	\$ 1,544,888		93%
WATER FUND:						
REVENUE	\$ 1,354,350	\$ 508,251	38%	\$ 501,632		101%
EXPENDITURES	\$ 1,271,047	\$ 375,611	30%	\$ 497,040		76%
STREET MAINTENANCE FUND:						
REVENUE	\$ 256,115	\$ 73,545	29%	\$ 87,225		84%
EXPENDITURES	\$ 256,115	\$ 73,015	29%	\$ 88,291		83%
COURT SECURITY FUND:						
REVENUE	\$ 1,600	\$ 1,279	80%	\$ 713		179%
EXPENDITURES	\$ 1,000	\$ -	0%	\$ -	#DIV/0!	
COURT TECHNOLOGY FUND:						
REVENUE	\$ 1,600	\$ 1,052	66%	\$ 605		174%
EXPENDITURES	\$ 2,500	\$ 23	1%	\$ 8		281%
COURT EFFICIENCY FUND:						
REVENUE	\$ 100	\$ -	0%	\$ -	#DIV/0!	
EXPENDITURES	\$ 100	\$ -	0%	\$ -	#DIV/0!	
DEBT SERVICE FUND - 2014:						
REVENUE	\$ 200,250	\$ 199,239	99%	\$ 198,467		100%
EXPENDITURES	\$ 199,350	\$ 32,375	16%	\$ 34,975		93%
DEBT SERVICE FUND - 2012:						
REVENUE	\$ 314,635	\$ 313,056	99%	\$ 313,990		100%
EXPENDITURES	\$ 313,635	\$ 4,318	1%	\$ 8,068		54%
DEBT SERVICE FUND - 2019:						
REVENUE	\$ 411,650	\$ 410,484	100%	\$ 406,130		101%
EXPENDITURES	\$ 410,650	\$ 147,825	36%	\$ 150,025		99%
DEBT SERVICE FUND - 2020:						
REVENUE	\$ 315,515	\$ 314,626	100%	\$ 313,075		100%
EXPENDITURES	\$ 315,015	\$ 12,388	4%	\$ 14,525		85%
DRAINAGE FUND:						
REVENUE	\$ 30,900	\$ 12,000	39%	\$ 45,928		26%
EXPENDITURES	\$ 58,000	\$ 31,747	55%	\$ 107,472		30%
WASTE WATER FUND:						
REVENUE	\$ 974,576	\$ 425,640	44%	\$ 419,878		101%
EXPENDITURES	\$ 974,576	\$ 280,209	29%	\$ 497,575		56%



CITY OF ROLLINGWOOD CITY COUNCIL MEETING MINUTES

Wednesday, March 22, 2023

Notice is hereby given that the City Council of the City of Rollingwood, Texas will hold a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on March 22, 2023 at 7:00 PM. Members of the public and the City Council may participate in the meeting virtually, as long as a quorum of the City Council and the presiding officer are physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. The public may watch this meeting live and have the opportunity to comment via audio devices at the link below. The public may also participate in this meeting by dialing one of the toll-free numbers below and entering the meeting ID and Passcode.

CALL REGULAR CITY COUNCIL MEETING TO ORDER

1. Roll Call

Mayor Pro Tem Sara Hutson called the meeting to order at 7:01 p.m.

Present Members: Mayor Pro Tem Sara Hutson, Council Member Phil McDuffee, Council Member Kevin Glasheen, Council Member Alec Robinson, and Council Member Brook Brown.

Also Present: City Administrator Ashley Wayman, City Attorney Charles Zech, Finance Director Abel Campos, City Secretary Desiree Adair, Development Services Manager Nikki Stautzenberger, Interim Police Chief Kristal Muñoz, and Assistant to the City Administrator Makayla Rodriguez.

PUBLIC COMMENTS

There were no public comments.

PRESENTATIONS

2. Presentation, discussion and possible action on the Fiscal Year 2021-2022 Audit by ABIP, PC

Jeremy Barbado, of ABIP, PC, presented the Fiscal Year 2021-2022 Audit. He discussed the Management Letter and the Annual Financial Report for 2022.

Council Member Brook Brown moved to accept the annual financial report as submitted. Council Member Alec Robinson seconded the motion. The motion carried with 5 in favor and 0 against.

City Administrator Ashley Wayman thanked Finance Director Abel Campos for his work throughout the year towards the City’s financial position and City staff for their work during the audit period.

- 3. Presentation and update from Denton, Navarro, Rocha, Bernal & Zech, P.C. regarding a new certification opportunity related to Open Meetings training

City Attorney Charles Zech discussed an Open Meetings training certification opportunity that is provided by DNRBZ which is certified by the Texas Attorney General for newly elected and appointed officials. Mayor Pro Tem Sara Hutson recommended scheduling this training for Council Members, Board and Commission Members, and potential Board and Commission Members.

CONSENT AGENDA

All Consent Agenda items listed are considered to be routine by the City Council and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a City Council Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

- 4. Discussion and possible action on the minutes from the February 15, 2023 City Council meeting
- 5. Discussion and possible action on an ordinance amending Section 34-36 of the City's Code of Ordinances to bring it into compliance with the lead ban language for pipes and pipe fittings in Title 30, Texas Administrative Code Section 290.44(b)

Council Member Alec Robinson moved to approve the Consent Agenda. Council Member Phil McDuffee seconded the motion. The motion carried with 5 in favor and 0 against.

Council Member Brook Brown requested a recess to celebrate the upcoming nuptials of the City Administrator.

Mayor Pro Tem Sara Hutson recessed the meeting at 7:22 p.m.

Mayor Pro Tem Sara Hutson called the meeting back to order at 7:43 p.m.

REGULAR AGENDA

- 6. Discussion and possible action on a work authorization from K. Friese + Associates for design, bid and construction phase services for packages 1-4 of the Water CIP and to authorize the Mayor to execute a Professional Services Agreement

Greg Blackburn, of K. Friese + Associates, discussed the work authorization. Council Member Kevin Glasheen discussed the financial changes in the Professional Services Agreement.

Council Member Kevin Glasheen moved to adopt the proposal and authorize the Mayor to execute a contract consistent with the proposal. Council Member Phil McDuffee seconded the motion. The motion carried with 4 in favor, 0 against, and 1 abstention (Hutson).

Council Member Kevin Glasheen discussed funding infrastructure projects from the Water Development Board determined by the bill in legislative session. He suggested paying for

engineering services out of pocket, deferring the bond, and have another application into the Water Development Board to see if the construction phase of the project get funded.

City Council and City Administrator Ashley Wayman discussed grant writing and application assistance for infrastructure projects.

- 7. Discussion and possible action on a resolution amending the fee schedule to reflect proposed updates to building and development and related fees

City Administrator Ashley Wayman discussed the amendments to the fee schedule.

Council Member Phil McDuffee moved to approve Resolution 2023-03-22-07 Amending Fee Schedule as submitted. Council Member Brook Brown seconded the motion. The motion carried with 5 in favor and 0 against.

- 8. Discussion and possible action regarding the addition of a building height survey requirement to the City's Code of Ordinances

City Administrator Ashley Wayman proposed to put a building height survey requirement in the building process. Staff is looking for direction from Council on this proposal to bring back an ordinance. The proposal is to require a building height survey if the height is within 5 feet of the building height limit.

Development Services Manager Nikki Stautzenberger discussed the building process including the original survey and the form survey. City Council asked questions regarding the grade and height measurement.

Council Member Phil McDuffee moved to direct City staff to draft an ordinance and that the City hires the surveyor to perform these duties for a building height survey. Council Member Alec Robinson seconded the motion. The motion carried with 5 in favor and 0 against.

Council Member Brook Brown proposed a budget amendment to pay for these surveys. City Administrator Ashley Wayman stated that staff will consider this and look at what might need to be brought back.

- 9. Discussion and possible action on changing the parking restrictions along Rollingwood Drive between Wallis and Gentry

Council Member Kevin Glasheen discussed the reason behind this item and would like to poll the neighbors that live along Rollingwood Drive. Council Member Alec Robinson mentioned that he prefers the way it is now and has spoken with a few residents who feel the same.

Council Member Kevin Glasheen suggested moving on to the next item.

- 10. Discussion and possible action to authorize a project to rehabilitate the soil and grass on Fields 3, 4 and 5 with private contributions

Council Member Kevin Glasheen discussed the bare spot on fields 3, 4, and 5, fertilizer applications, meetings with the Public Works Department, and recommendations from third party contractors. He proposed aerating, building the low area up with dirt, hydro mulch,

installing another gate, lip cutting, and private donations that have been committed. He explained that Western Hills Little League is in support of and will contribute to the project. Council discussed bidding requirements, insurance, and agreements with City Attorney Charles Zech. Council would like any warranties to remain with the City and have the City manage the project.

Council Member Brook Brown moved to approve the concept and ask the contracts associated with this and the financial agreements be brought back for Council approval when those are on paper. Council Member Alec Robinson seconded the motion.

Council Member Alec Robinson would like to put this on the Park Commission agenda for their next meeting.

The motion carried with 5 in favor and 0 against.

- 11. Discussion on possible future projects for park improvements with funds from the RCDC including walking trail and parking lot improvements

Council Member Kevin Glasheen proposed to have a discussion regarding RCDC fund availability for improvements to the park. He suggested trail and parking lot improvements.

City Attorney Charles Zech stated that this proposal would have to go to RCDC.

With RCDC support, Council Member Kevin Glasheen would like to explore other funding options such as grants, obtain public input, potential additions of parking spaces and a dog park.

Council discussed the proposed projects in the agenda packet and their concerns and solutions regarding these projects. Council Member Brook Brown presented a drainage proposal and discussion.

Council Member Kevin Glasheen moved to approach the RCDC and the Park Commission to gauge interest and talk about using RCDC money to improve the walking trail, to do drainage analysis and drainage improvement projects in the Park, parking lot improvements on the parking lot between Rollingwood Drive and Field 2, and parking lot improvements between the fields and the Western Hills Athletic Club. Council Member Brook Brown seconded the motion

Shanthi Jayakumar, 3309 Park Hills, described the Park as the jewel of Rollingwood and discussed her interest in the Park. She believes these projects should go the Park Commission. She discussed the safety issue including emergency vehicles being able to turn around in this area. She discussed the perpetual roadway easement in the deed records. She provided warranty deed documents and asked Council to proceed carefully with the Park.

The motion carried with 5 in favor and 0 against.

- 12. Discussion and possible action on traffic code enforcement

Mayor Pro Tem Sara Hutson discussed a call from a resident regarding construction expenditures to put in a circle drive due to the traffic issues on Rollingwood Drive. She would

like to provide education regarding legal vehicles, where they should be located on the road, and increase enforcement.

Interim Police Chief Kristal Muñoz discussed how the Police Department has recently deployed a speed trailer, e-bike safety, and the statistics of traffic contact.

City Council asked Interim Police Chief Kristal Muñoz questions regarding time spent on traffic enforcement, non-traditional vehicle usage, speed signs reports, and enforcement concerns.

Dave Bench, 1 Randolph Place, spoke regarding building permits and limiting construction traffic. He asked if there is enforcement of the construction traffic.

Interim Police Chief Kristal Muñoz explained that the Police Department is providing education and enforcing in that regard.

13. Discussion on an ordinance ratifying certain setbacks which have been approved by the approval of plats

City Administrator Ashley Wayman explained that the draft ordinance would have to go through the Planning and Zoning Commission and back to City Council through the public hearing process before approval.

Council Member Kevin Glasheen asked City Attorney Charles Zech for a suggestion regarding the draft ordinance. City Attorney Charles Zech discussed specific language for the ordinance and the zoning statute behind the reason why this ordinance was drafted this way. Zoning regulations must be uniform for each class or kind of building in the district. Rollingwood has one residential zoning district so all regulations need to be uniform with respect to class and building. City Administrator Ashley Wayman explained that plats sit with the County. City Attorney Charles Zech likened this situation to an existing non-conforming use.

Council Member Brook Brown proposed a compromise and settlement agreement process. This would delegate to the City Administrator authority to negotiate a proposed compromise and settlement agreement between the City and certain building permit applicants by which the City would ratify the permit as a part of the settlement, and the permittee would release the City from any claims. Any proposed compromise and settlement agreement would be brought to the Council for approval, and conditions would be defined as to when this process would be available. She proposed 2 applicable conditions.

Council Member Kevin Glasheen responded that this would be a smart solution but the process proposed is complicated. He suggested an amendment that an agreement should be reached that would ratify the building permits and release the City from any claims with the Rolosons and Shapiros.

Mayor Pro Tem Sara Hutson suggested that the Rolosons should ask for a variance from the Board of Adjustment showing hardship.

Council Member Kevin Glasheen recommended ratifying the memorandums that the Mayor issued in August, 2022.

Council Member Brook Brown would not like for Council to ratify the Mayor’s memos.

City Council discussed the best course of action for settling these permits.

Mayor Pro Tem Sara Hutson asked Development Services Manager Nikki Stautzenberger when building permits expire. City Attorney Charles Zech explained that there is a rolling 2-year expiration to permits. He suggested, in order of preference, adopting the ordinance that applies to all situations, settlement document agreed to by both parties, and lastly, ratifying the action. Council discussed setbacks, and the ordinance option versus the settlement and compromise agreement.

Kendra Roloson, 301 Wallis Drive, stated that she is in support of the quickest solution.

The City Council gave direction to the City Administrator and City Attorney to bring back a process that includes settlement and compromise documents for these properties.

14. Discussion regarding public notice requirements for public hearings

City Administrator Ashley Wayman discussed the City noticing requirements and the State noticing requirements. She provided recommendations and considerations from staff.

Council asked questions regarding public hearings, the noticing required, and options for communication.

Dave Bench, 1 Randolph Place, would like to see the noticing period reduced to 20 days for improving continuity of the discussion.

Staff was directed to bring back an ordinance to keep newspaper notice as is for City Council, and remove newspaper notice for the Planning and Zoning Commission.

Staff was directed to bring back an ordinance to reduce mail notice to 20 days until another effective notice method is utilized.

Mr. Bench, 1 Randolph Place, spoke regarding a discussion of a commitment to attending meetings at the next Planning and Zoning Commission.

15. Discussion and possible action on the Commercial Code Update Project Calendar

Council Member Brook Brown explained that she worked with City Administrator Ashley Wayman and Bryce Cox, of DNRBZ, to come up with the Commercial Corridor Code Update Project Calendar.

16. Discussion and possible action regarding the formation of a Comprehensive Residential Code Review Committee

Council Member Brook Brown discussed the development of the Planning and Zoning Commission approved Comprehensive Residential Code Review Committee as presented in the agenda packet. She discussed the members and the authority of the Committee.

Mr. Bench, 1 Randolph Place, explained that they would utilize the survey for the Comprehensive Plan as a starting point and collect community input.

Council Member Kevin Glasheen moved to approve the formation of a Comprehensive Residential Code Review Committee. Council Member Phil McDuffee seconded the motion.

City Council discussed the selection of the proposed committee members and the qualifications of these potential members.

The motion carried with 5 in favor and 0 against.

17. Update on the Nixon/Pleasant drainage project

City Administrator Ashley Wayman discussed the stakeholders and their nearing approval, finalization of easement language, and the new set of plans which will be submitted to the stakeholders this week.

18. Update regarding the City of Rollingwood's allocation from the Opioid Abatement Trust Fund

City Administrator Ashley Wayman described the first allocation of \$1400 received by the City and the potential use for these funds.

Interim Police Chief Kristal Muñoz and City Council discussed the use of these funds for community education and public outreach.

Amy Pattillo, 3 Rock Way Cove, mentioned the strategic ways to distribute Narcan as a response to emergency situations.

19. Discussion and possible action to amend Rollingwood Ordinance Section 2-56 regarding application of Robert's Rules of Order in City Council meetings

Council Member Brook Brown discussed the City ordinance 2 -56 and the general order of business in Section 2 – 64. She suggested following the Utility Commission's flexible application of Roberts' Rules of Order. She recommended amending Section 2-56 (e) of the Code to adopt the language found in subsection 2-2223 (e) to allow for flexible use of Robert's Rules of Order in City Council meetings.

Council Member Brook Brown suggested deferring this item until the Mayor can be present.

Amy Pattillo, 3 Rock Way Cove, requested to make a public comment at the end of the meeting. She discussed MoPac South and a possible update. She believes CTRMA is close to going public and would like a standing agenda item regarding MoPac South or a standing Task Force meeting the week after CTRMA meetings.

ADJOURNMENT OF MEETING

Mayor Pro Tem Sara Hutson adjourned the meeting at 10:41 p.m.

Minutes Adopted on the _____ day of _____, 2023.

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary



**CITY OF ROLLINGWOOD
JOINT PLANNING AND ZONING COMMISSION AND CITY COUNCIL
MEETING
MINUTES**

Wednesday, April 05, 2023

The Planning and Zoning Commission of the City of Rollingwood, Texas held a joint meeting with the Rollingwood City Council, open to the public, in the municipal Building at 403 Nixon Drive in Rollingwood, Texas on April 5, 2023 at 6:00 p.m. Members of the public, the Planning and Zoning Commission, and the City Council were able to participate in the meeting virtually, as long as a quorum of the Planning and Zoning Commission and the City Council and the respective presiding officers were physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. A video recording of the meeting was made and will be posted to the City's website and available to the public in accordance with the Texas Public Information Act upon written request.

CALL JOINT CITY COUNCIL AND PLANNING AND ZONING COMMISSION MEETING TO ORDER

Mayor Pro Tem Sara Hutson called the Joint City Council meeting to order at 6:06 p.m.

1. City Council Roll Call

Present Members of City Council: Mayor Pro Tem Sara Hutson, Council Member Phil McDuffee, Council Member Alec Robinson, and Council Member Brook Brown.

Chair Dave Bench called the Planning and Zoning Commission meeting to order at 6:07 p.m.

2. Planning and Zoning Commission Roll Call

Present Members of Planning and Zoning Commission: Chair Dave Bench, Amie Rodnick, Michael Hall, Greg Demas, Michael Rhodes, and Tony Stein.

Also Present: City Administrator Ashley Wayman, City Attorney Charles Zech, City Secretary Desiree Adair, Development Services Manager Nikki Stautzenberger, and Assistant to the City Administrator Makayla Rodriguez.

PUBLIC COMMENTS

The following individuals spoke during public comments:

- Ellin Wilson, 3018 Hatley Drive, spoke regarding concerns for home views and houses not in compliance with the Code.

Mayor Pro Tem Sara Hutson spoke regarding the details of the actions being taken tonight to clarify the inconsistencies and gaps in the Code. The Comprehensive Residential Code Review Committee (CRCRC) has been established to review the residential Code and make recommendations including opportunity for citizen input.

PUBLIC HEARINGS

- 3. Update regarding the Joint Public Hearing process

City Administrator Ashley Wayman explained the process of joint public hearings which is possible due to an ordinance passed at the last City Council meeting. The City Council may at its discretion at a properly noticed public meeting determine that a public hearing shall be held before both the Planning and Zoning Commission and the City Council. If that determination is made at a public meeting and the City Council votes on it, the joint public hearing process is begun. The noticing requirements will include both items at the same noticed public hearing when there is a joint public hearing. There still is a requirement for the Planning and Zoning Commission to make a recommendation before the City Council acts.

- 4. Public hearing regarding an amendment to the Code of Ordinances Sections 107-3 Definitions, 107-75 Yards generally, and 107-76 Minimum Required Depth and Width of Yards, related to building projections into requested yards and the definition of Yard in the R-Residential zoning district

Mayor Pro Tem Sara Hutson opened the public hearing at 6:15 p.m.

There was no public input.

Mayor Pro Tem Sara Hutson closed the public hearing at 6:16 p.m.

- 5. Public hearing regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district

Mayor Pro Tem Sara Hutson opened the public hearing at 6:17 p.m.

There was no public input.

Mayor Pro Tem Sara Hutson closed the public hearing at 6:18 p.m.

Mayor Pro Tem Sara Hutson recessed the City Council meeting at 6:19 p.m.

REGULAR AGENDA

- 6. Planning and Zoning Commission discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions, 107-75 Yards generally, and 107-76 Minimum Required Depth and Width of Yards, related to building projections into requested yards and the definition of Yard in the R-Residential zoning district

Chair Dave Bench began the discussion to determine a recommendation for City Council.

Amie Rodnick moved to adopt the amendment as stated in the agenda packet. Mike Rhodes seconded the motion. The motion carried with 6 in favor and 0 against.

- 7. Planning and Zoning Commission discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district

Amie Rodnick moved to adopt the amendment as stated in the packet. Chair Dave Bench seconded the motion.

The Planning and Zoning Commission discussed the methodology for measurement of the maximum height, the development of the Comprehensive Residential Code Review Committee (CRCRC) and its purpose, and full consideration of height by the CRCRC.

City Attorney Charles Zech interjected that the Planning and Zoning Commission is obligated to make a recommendation to City Council.

Ellin Wilson, 3018 Hatley Drive, asked a question regarding the definition of height.

Kendra Roloson, 301 Wallis, discussed the nature of where the measurement was taken from - original native ground surface versus the finished grade. Her concern is taking away the 5 feet of native ground surface.

Shanthi Jayakumar, 3309 Park Hills Drive, spoke regarding property rights and privacy. She mentioned concerns of the builder clearing a lot before measurement occurs. She asked the members of the Planning and Zoning Commission to drive around and see what is going on.

The motion failed with 2 in favor and 4 against.

Tony Stein moved to not recommend the proposed changes to Council. Mike Hall seconded the motion.

Greg Demas mentioned that he supports a full look at the Code on this complex issue of height.

Tony Stein believes that the proposed changes won't make a meaningful difference. He is not opposed to potential changes but would like a holistic approach.

Greg Demas requested that the CRCRC approach the height issue first and set forth a recommendation.

The motion carried with 4 in favor and 2 against.

Chair Dave Bench adjourned the Planning and Zoning Commission meeting at 6:50 p.m.

Mayor Pro Tem Sara Huston reconvened the City Council meeting at 6:52 p.m.

- 8. City Council discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions, 107-75 Yards generally, and 107-76 Minimum Required Depth and

Width of Yards, related to building projections into requested yards and the definition of Yard in the R-Residential zoning district

Council Member Brook Brown moved for adoption of the amendments to the Code of Ordinances for 107-3, 107-75, and 107-76 related to the depth and width of yards, with one amendment to add the changes that are recommended to Section 107-71 of the Code with respect to height to that ordinance. This motion failed for lack of a second.

The City Council and City Attorney Charles Zech discussed the two separate ordinances for yards and height.

Council Member Brook Brown moved to adopt Ordinance 2023-04-05-08 as proposed in item number 8. Council Member Phil McDuffee seconded the motion.

Mayor Pro Tem Sara Hutson asked staff to notify council of late additions to the packet.

The City Council discussed the proposed changes to this ordinance regarding landscaping.

Council Member Brook Brown spoke to the substance of this ordinance regarding projections and that she believes that these are reasonable moderate steps that are improvements to the Code.

Mayor Pro Tem Sara Hutson discussed that though she is in favor of the proposed amendments, she would like a definition of porch added and to consider the limitations to be placed on porches. She also discussed the spacing of homes and required side yard depths, and the proposed allowances in projections into side yards.

The City Council further discussed the proposed ordinance.

Council Member Brook Brown restated her motion to adopt Ordinance 2023-04-05-08 as proposed. Council Member Phil McDuffee seconded the motion. The motion carried with 4 in favor and 0 against.

- 9. City Council discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district

City Attorney Charles Zech explained that because the Planning and Zoning Commission moved to not recommend this amendment, then it will take a unanimous vote of the members on the dais to pass this ordinance.

City Administrator Ashley Wayman discussed the specifics of the draft ordinance included in the packet.

The Council discussed that they did not have enough time to review this draft ordinance ahead of the meeting.

Council Member Brook Brown recommended that they eliminate the changed language relating to 107-71 because it had not been seen before tonight. She also discussed that the language in the ordinance section 107-3 should match what was considered during the earlier public hearings, and discussed a change that she saw.

City Administrator Ashley Wayman discussed the options given that the ordinance did not reflect that the Planning and Zoning Commission recommended denial of the proposed changes.

The City Council discussed bringing back an updated ordinance to the next City Council meeting.

Council Member Brook Brown moved to adopt the ordinance 2023-04-05-XX related to yards as proposed in item number 8, which we have just adopted, and that we now amend that ordinance to add the amendments that were in the packet for section 107-3. Mayor Pro Tem Sara Hutson seconded the motion for discussion.

Council Member Phil McDuffee discussed bringing this item back at the next City Council meeting.

The City Council discussed the effects of these proposed changes for the interim before a full review is completed of the residential zoning code.

Council Member Brook Brown withdrew her motion.

Council Member Brook Brown moved to ask counsel to bring back to the next meeting an ordinance that addresses the proposed changes to 107-3 for consideration by the Council. Council Member Alec Robinson seconded the motion.

Council Member Phil McDuffee discussed issues that have been brought up and the need for these specifics to be brought up to the community.

Council Member Brook Brown discussed that no members of the building community have spoken out against the proposed changes and the City Council further discussed these proposed changes.

Deets Justice, 310 Pleasant Drive, asked if anyone solicited the opinion of any builders currently building, and Council Member Brook Brown stated that they had been solicited but there were no responses.

Council Member Alec Robinson discussed reviewing a clean ordinance at the next regular Council meeting.

The motion carried with 4 in favor and 0 against.

The City Council, staff and City Attorney Charles Zech discussed the presented changes to 101-2, the process by which that section should be amended and whether a conflict is created by having different definitions in this section and the zoning section of the code.

Bryce Cox, of Denton Navarro Rocha Bernal and Zech (DNRBZ), explained the previous adoption of this local amendment to the International Residential Code and what it governs and discussed with Council that they would work with the City's building official to determine what action should be taken regarding this local amendment. He stated that they would bring back a companion piece or pieces that create consistency in the Code.

City Attorney Charles Zech stated that there was something going on at the legislature right now and has been asked by the Mayor if the Council could take a quick recess so that he could see if any action can be taken regarding a bill on the floor to state that the City Council opposes any action that would allow the legislature to regulate the size of yards.

Mayor Pro Tem Sara Hutson called for a five minute recess at 7:40 p.m.

Council Member Brook Brown asked City Attorney Charles Zech to ask the Mayor if he would feel comfortable opposing that bill in its entirety.

Mayor Pro Tem Sara Hutson called the meeting back to order at 7:44 p.m.

Mayor Pro Tem Sara Hutson stated that the City Council would convene into executive session for consultation with legal counsel pursuant to section 551.071 at 7:44 p.m.

City Attorney Charles Zech stated this executive session would be for consultation with legal counsel regarding whether a motion could be taken to authorize the Mayor to oppose legislation on yards and setbacks.

Mayor Pro Tem Sara Hutson reconvened the regular session at 7:46 p.m. and stated that no action was taken in executive session.

ADJOURNMENT OF MEETING

Planning and Zoning Commission Chair Dave Bench adjourned the Planning and Zoning Commission meeting previously at 6:50 p.m.

Mayor Pro Tem Sara Hutson adjourned the City Council meeting at 7:46 p.m.

Minutes Adopted on the _____ day of _____, 2023 by the Planning and Zoning Commission.

Dave Bench, Chair

ATTEST:

Desiree Adair, City Secretary

Minutes Adopted on the _____ day of _____, 2023 by the City Council.

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary

CITY OF ROLLINGWOOD, TEXAS

CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMENTS FOR PLEASANT DRIVE AND NIXON DRIVE



PREPARED & SUBMITTED FOR APPROVAL BY:

PRELIMINARY

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF ABE A. SALINAS III, P.E. LIC. # 105144 4/12/2023

IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ABE A. SALINAS III, P.E. _____ DATE _____

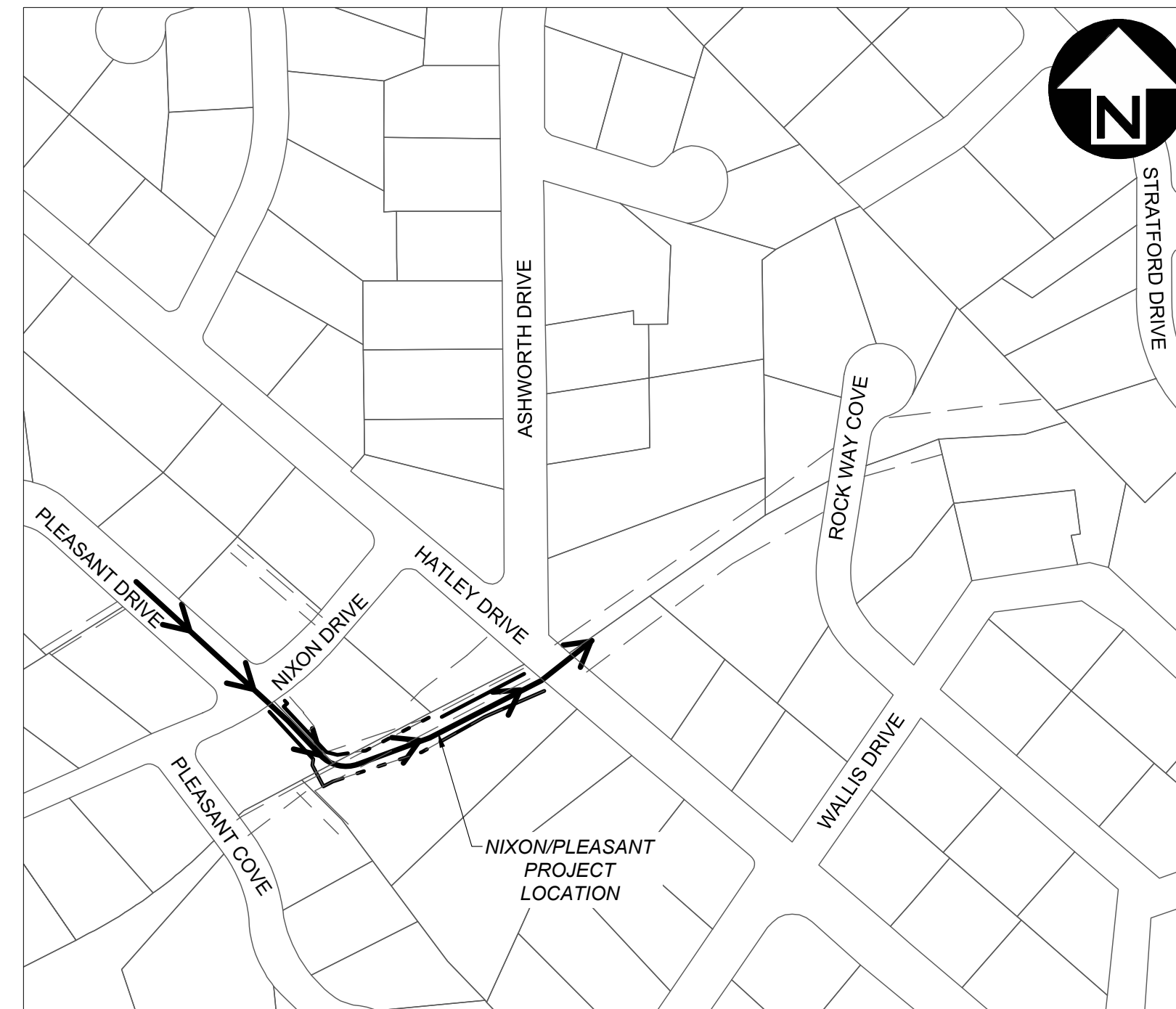
RECOMMENDED FOR APPROVAL BY: _____

MAYOR GAVIN MASSINGILL - CITY OF ROLLINGWOOD _____ DATE _____

ASHLEY WAYMAN - CITY ADMINISTRATOR _____ DATE _____

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4	G004	EASEMENT LAYOUT
5	G005	ESTIMATED QUANTITIES
6	G006	HORIZONTAL CONTROL LAYOUT SHEET
7	CA101	CONSTRUCTION ACCESS AND SEQUENCING
8	CT101	TRAFFIC CONTROL PLAN
9	DP101	DEMOLITION AND PROTECTION PLAN
10	DP102	DEMOLITION AND PROTECTION PLAN
11	DAM02	PROPOSED DRAINAGE AREA MAP
12	CH01	CHANNEL HYDRAULIC CALCULATIONS
13	CH02	HYDRAULIC CALCULATIONS
14	SECT01	CHANNEL TYPICAL SECTIONS
15	PLPR01	CHANNEL PLAN AND PROFILE STA. 1+00.00 TO END
16	PLPR02	STORM SEWER PLAN & PROFILE STA. 10+00.00 TO STA. 12+67.58
17	PLPR03	STORM SEWER LATERAL PROFILES
18	SECT02	CHANNEL CROSS SECTIONS
19	GD101	GRADING PLAN
20	GD102	GRADING PLAN
21	CV01	WATER LINE RELOCATION PLAN
22	PV501	PAVING DETAILS 1 OF 2
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45	S1.00	STRUCTURAL GENERAL NOTES
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LOCATION MAP
N.T.S.

MAYOR
GAVIN MASSINGILL
COUNCIL MEMBERS

SARA HUTSON
ALEC ROBINSON
BROOK BROWN
PHIL McDUFFEE
KEVIN GLASHEEN

CITY ADMINISTRATOR
ASHLEY WAYMAN



1120 S. Capital of Texas Highway
CityView 2, Suite 100
Austin, Texas 78746
P - 512.338.1704 F - 512.338.1784
TBPE Firm #6535
www.kfriesecom

GENERAL NOTES:

1. THE CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY CONSTRUCTION IN THE RIGHT OF WAY OR EASEMENTS.
2. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING TYPE AND LOCATION OF SURFACE, SUBSURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT TYPE AND LOCATION OF ALL UTILITIES AFFECTED BY THE CONSTRUCTION IN ORDER TO AVOID DAMAGING THOSE UTILITIES.
3. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THIS PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, GAS, WATER, WASTEWATER, ELECTRIC, TELEPHONE, CABLE, TELEVISION, PETROLEUM PIPELINES, FIBER OPTIC, STREET, DRAINAGE, AND ANY OTHER WORK OCCURRING IN OR NEAR THE PROJECT SITE. ONCE THE CONTRACTOR BECOMES AWARE OF A POSSIBLE CONFLICT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY, BUT NO LATER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
4. SHOULD THE CONTRACTOR DAMAGE A UTILITY DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF THE DAMAGED UTILITY. THE EXPENSE FOR THESE REPAIRS WILL BE AT THE CONTRACTOR'S SOLE EXPENSE.
5. ALL EXISTING STRUCTURES, FACILITIES, AND UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REMOVED AND RESTORED WITH MATERIALS EQUAL TO OR BETTER THAN THE ORIGINAL. UNLESS OTHERWISE NOTED IN THE PLANS, THIS WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE.
6. THE CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTHS AND HORIZONTAL LOCATION OF ALL EXISTING WATER, WASTEWATER, AND GAS MAINS TO BE ALTERED OR SUBJECT TO DAMAGE OR INCONVENIENCE BY THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION. NO SEPERATE PAY ITEM.
7. SLOPES OF ROADWAY CUTS AND EMBANKMENTS DAMAGED BY ANY OPERATION OF THE CONTRACTOR DURING THE EXECUTION OF THIS PROJECT SHALL BE REPAIRED AND RESTORED TO THE ORIGINAL PRE-CONSTRUCTION CONDITION. BACKFILL AND FILL PLACED DURING REMEDIAL GRADING SHALL BE COMPACTED TO AT LEAST 95% COMPACTION AND TO THE SATISFACTION OF THE ENGINEER AND GOVERNING AUTHORITIES.
8. THE SITE IS LOCATED IN THE EDWARD'S AQUIFER RECHARGE ZONE.
9. THE CONTRACTOR SHALL NOTIFY ALL RESIDENTS WITHIN THE CONSTRUCTION AREAS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF THE PROJECT VIA DOOR FLYERS. THE FLYER IS TO CONSIST OF, BUT IS NOT LIMITED TO:
 - A. CONSTRUCTION START DATE AND ESTIMATED COMPLETION DATE.
 - B. DESCRIPTION OF CONSTRUCTION.
 - C. TIME FRAME THE RESIDENT WILL BE WITHOUT WATER IF TEMPORARY SHUTDOWNS ARE REQUIRED, PROVIDED 48 HOURS IN ADVANCE OF WORK.
 - D. CONTRACTOR'S CONTACT INFORMATION.
 - E. CITY'S CONTACT INFORMATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY OFF-SITE LOCATIONS FOR STORAGE OF ALL EQUIPMENT AND MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS DURING CONSTRUCTION AND UPON COMPLETION. THIS WORK WILL BE DONE IN A TIMELY MANNER AS APPROVED BY THE ENGINEER. THIS WORK WILL NOT BE PAID FOR DIRECTLY, BUT CONSIDERED SUBSIDIARY TO THE VARIOUS BID ITEMS.
12. BLASTING WITHIN THE PROJECT AREA WILL NOT BE ALLOWED.
13. THE CONTRACTOR SHALL BE PREPARED WITH ROCK EXCAVATION EQUIPMENT CAPABLE OF RIPPING THROUGH VERY HARD LIMESTONE SHOULD IT BE ENCOUNTERED FOR THE CONSTRUCTION SITE. BORING LOGS ARE PROVIDED IN THE GEOTECHNICAL REPORT FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR RESPONSIBLE FOR PERFORMING THEIR OWN TESTING IN THE FORM OF TEST PITS TO DETERMINE THE QUANTITIES OF THE DIFFERENT MATERIALS TO BE EXCAVATED, AS WELL AS THE PREFERRED METHODS AND EQUIPMENT FOR THIS SITE.
14. CONTRACTOR WILL MINIMIZE USE OF STREET PARKING BY THEIR EMPLOYEES AND SUBCONTRACTORS IN THE VICINITY OF THE CONSTRUCTION AREA.
15. ALL LOCATIONS USED FOR STORING CONSTRUCTION EQUIPMENT, MATERIALS, AND STOCKPILES OF ANY TYPE WITHIN THE CONSTRUCTION LIMITS SHALL BE APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE. USE OF THE AREA WITHIN THE CONSTRUCTION LIMITS FOR THESE PURPOSES WILL BE RESTRICTED TO THOSE LOCATIONS WHERE DRIVER SIGHT DISTANCE TO BUSINESSES AND SIDE STREET INTERSECTIONS IS NOT OBSTRUCTED AND AT OTHER LOCATIONS WHERE AN UNSIGHTLY APPEARANCE AS DETERMINED BY THE OWNER'S REPRESENTATIVE WILL NOT EXIST.
16. ALL SITE WORK MUST COMPLY WITH ENVIRONMENTAL REQUIREMENTS INCLUDING TCEQ, TPDES STANDARDS, CLEANWATER ACT, TPDES GENERAL PERMIT TXR150000 (MS4), AND CITY OF ROLLINGWOOD REQUIREMENTS.
17. IF CULTURAL RESOURCES ARE ENCOUNTERED DURING CONSTRUCTION (ARCHAEOLOGICAL FINDS UNEARTHED) CONTRACTOR SHALL STOP WORK IN THAT AREA AND IMMEDIATELY CONTACT THE TEXAS HISTORICAL COMMISSION AT (512)463-6100.
18. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN BARRICADES, WARNING SIGNS, FLASHERS AND OTHER DEVICES OF THE TYPE AND SIZE AS INDICATED IN THE LATEST EDITION OF THE "TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" OR AS DIRECTED BY THE ENGINEER.
19. THE CONTRACTOR SHALL ENSURE THAT ADEQUATE SAFETY PRECAUTIONS ARE MAINTAINED AT ALL TIMES REGARDING AREAS OF OPEN PIPE TRENCH. ALL PIPE TRENCHES SHALL BE COVERED AT ALL TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS. THE TRENCH COVERING SHALL BE CAPABLE OF SUPPORTING TRAFFIC LOADS.

20. ALL TRENCH SAFETY CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH OSHA SPECIFICATIONS, STATE OF TEXAS REQUIREMENTS, AND CONTRACT DOCUMENTS WHICH INCLUDE A TRENCH SAFETY PLAN AND A PAY ITEM FOR TRENCH SAFETY MEASURES.
21. THE CONTRACTOR SHALL ARRANGE THE OPERATION IN SUCH A MANNER AS TO AVOID UNNECESSARY INCONVENIENCE TO THE PUBLIC IN CONSTRUCTION AREAS..
22. CONTRACTOR SHALL NOTIFY THE CITY OF ROLLINGWOOD POLICE DEPARTMENT (512-328-1900) AND THE WESTLAKE FIRE DEPARTMENT (512-539-3400) OF THE CONSTRUCTION SCHEDULES AT LEAST TWO WEEKS IN ADVANCE OF PROPOSED CONSTRUCTION OPERATIONS. CONTRACTOR SHALL PROVIDE PERTINENT INFORMATION ABOUT LANE CLOSURES AND DETOURS AND ANY OTHER CONSTRUCTION RELATED ACTIVITY WHICH MAY INTERFERE WITH NORMAL SERVICES.
23. CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A SAFE, NEAT AND WORKMAN-LIKE MANNER AT ALL TIMES. JOB SITE SAFETY SHALL NOT BE COMPROMISED ANY UNATTRACTIVE NUISANCE SHALL BE REMOVED OR CAMOUFLAGED BY CONTRACTOR WHEN DIRECTED BY THE OWNER OR ENGINEER. CONTRACTOR SHALL REMOVE OR CAMOUFLAGE ANY CHILD ATTRACTIVE NUISANCE.
24. ALL CONSTRUCTION EQUIPMENT INVOLVED IN ROADWAY WORK SHALL BE EQUIPPED WITH A PERMANENTLY- MOUNTED 360-DEGREE REVOLVING OR STROBE WARNING LIGHT AMBER LENS IN WORKING ORDER. THIS LIGHT SHALL HAVE A MINIMUM LENS HEIGHT OF 5" AND A DIAMETER OF 5". THIS LIGHT SHALL HAVE A MOUNTING HEIGHT OF NOT LESS THAN 6 FEET ABOVE ROADWAY SURFACE AND SHALL BE VISIBLE FROM ALL SIDES. THIS EQUIPMENT SHALL ALSO HAVE ATTACHED AT EACH SIDE OF THE REAR END OF THE VEHICLE AN APPROVED ORANGE WARNING FLAT MOUNTED, NOT LESS THAN 6 FEET ABOVE THE ROADWAY SURFACE.
25. EXCAVATION EXCEEDING THE STANDARD PLATING DETAIL SHALL HAVE MATERIAL ONSITE TO BACKFILL OR CONTRACTOR TO PROVIDE STRUCTURAL ENGINEERED PLATING PLANS TO THE CITY OF ROLLINGWOOD PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO STARTING WORK.
26. OVERNIGHT PROTECTION OF WORK ZONE IN CITY OF ROLLINGWOOD R.O.W., REFER TO CITY OF AUSTIN STANDARD DETAIL 804S-4, 1 THRU 4 OF 9. IF PLATING IS NEEDED, REFER TO STANDARD DETAIL 804S-4, 7 OF 9.
27. CONTRACTOR SHALL PERFORM WORK ONLY DURING HOURS ALLOWED PER THE CURRENT ORDINANCES.
28. THE CONTRACTOR SHALL RE-ESTABLISH ANY PROPERTY MARKER, BENCHMARK, ETC. DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL LOCATION AND ELEVATION. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VERTICAL AND HORIZONTAL CONTROL SHOWN ON THE PLANS THROUGHOUT THE PROJECT, RE-ESTABLISH DISTURBED OR DESTROYED ITEMS BY REGISTERED LAND SURVEYOR IN THE STATE OF TEXAS AT NO ADDITIONAL COST TO THE CITY.
29. FENCES, GATES, GROUND SURFACES, CURBS, DRIVEWAYS, MAILBOXES, ETC. SHALL BE LEFT IN A CONDITION EQUAL TO OR BETTER THAN THAT FOUND.
30. LANDSCAPED AREAS SHALL BE LEFT UNDISTURBED AS MUCH AS POSSIBLE DURING CONSTRUCTION. ALL AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION SHALL BE RE-SODDED, RE-VEGETATED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS. ALL NEW VEGETATION MUST BE OF THE SAME SPECIES AS ORIGINAL CONDITIONS.
31. ACCESS TO ALL SIDE STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES AT THE SOLE EXPENSES OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
32. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL PROPERTY OWNERS PRIOR TO ANY FENCE OR GATE REMOVAL FOR PET MANAGEMENT PURPOSES.
33. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITION OF ANY IRRIGATION LINES PRIOR TO CONSTRUCTION.
34. CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION OF PRIVATE IRRIGATION LINES WITH ALL PROPERTY OWNERS PRIOR TO CONSTRUCTION.
35. SHOULD CONSTRUCTION IMPACT RESIDENTS RECEIVING SOLID WASTE COLLECTION SERVICES (GARBAGE COLLECTION, RECYCLING COLLECTION, ORGANICS COLLECTION, BRUSH COLLECTION, BULK-TRASH COLLECTION), CONTRACTOR SHALL NOTIFY PROGRESSIVE WASTE SERVICES AT 512-282-3508 TO JOINTLY COORDINATE A SERVICE DELIVERY PLAN IN ORDER TO MINIMIZE DISRUPTION OF ROUTINE SOLID WASTE COLLECTION SERVICES DURING CONSTRUCTION.
36. CONTRACTOR AGREES TO ABIDE BY THE LANDOWNERS WRITTEN CONDITIONS IN LANDOWNER AGREEMENTS INCLUDING THOSE RELATED TO PLACEMENT, COMPACTION, RESTORATION, AND EROSION CONTROL MEASURES OF THE SITE(S). IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN WRITTEN APPROVAL FROM THE LANDOWNER(S) PRIOR TO PLACEMENT, AND THAT ANY COSTS THE CITY INCURS TO ADDRESS LEGITIMATE LANDOWNER CONCERNS WILL BE CONSIDERED AND MAY BE DEDUCTED FROM THE CONTRACTOR'S FINAL PAYMENT AS DETERMINED BY THE CITY. THE CITY RESERVES THE RIGHT TO REQUEST A COPY OF THE AGREEMENT BETWEEN THE LANDOWNER AND THE CONTRACTOR.
37. CONTRACTOR TO REPAIR OR REPLACE IN KIND, AT ITS OWN EXPENCE ANY STRUCTURES DAMAGED IN THE COURSE OF EXECUTING THE WORK.

STREET CONSTRUCTION SPECIAL NOTE:

ALL DAMAGE CAUSED DIRECTLY OR INDIRECTLY TO THE STREET SURFACE, SIDEWALK, DRIVEWAY, CURB & GUTTER, OR SUBSURFACE OUTSIDE OF THE PAVEMENT CUT AREA SHALL BE REGARDED AS A PART OF THE STREET CUT REPAIR. THIS INCLUDES ANY SCRAPES, GOUGES, CUTS, CRACKING, DEPRESSIONS, AND/OR ANY OTHER DAMAGE CAUSED BY THE CONTRACTOR DURING THE EXECUTION OF THE WORK. THESE REPAIR AREAS WILL BE INCLUDED IN THE TOTAL AREA OF RESTORATION. THESE AREAS SHALL BE SAW CUT IN STRAIGHT, NEAT LINES PARALLEL TO THE EXCAVATION OR UTILITY TRENCH AND TO THE NEXT EXISTING JOINT FOR SIDEWALKS AND CURB & GUTTER. ALL SUCH REPAIRS SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL MEET ALL STANDARDS, AND SPECIFICATIONS.

PLAN NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND INSPECTING, ON A REGULAR BASIS, ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES, INCLUDING SILT FENCES, CONSTRUCTION ENTRANCES, ROCK FILTER DAMS, ETC., DURING CONSTRUCTION/DEMOLITION AND INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ANY ACCUMULATED SILT AND DEBRIS.
2. THE CONTRACTOR SHALL NOT BEGIN ANY WORK UNTIL TREE PROTECTION AND THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SUCH AS SILT FENCE, CONSTRUCTION ENTRANCES, ROCK FILTER DAMS, ETC., HAVE BEEN INSTALLED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREETS FREE OF MUD, DIRT, DEBRIS AND MATERIAL AT ALL TIMES AND SHALL CLEAN/SWEEP THE STREETS ON A REGULAR BASIS AND AT THE DIRECTION OF THE CITY.
4. INCREASED STORMWATER PEAK FLOWS DURING CONSTRUCTION MUST BE MITIGATED WITH TEMPORARY BEST MANAGEMENT PRACTICES TO PREVENT HARM TO NEIGHBORING PROPERTIES.

SCHEDULING

1. CONTRACTOR TO PROVIDE ENGINEER WITH AN UPDATED SCHEDULE WEEKLY. IF NO CHANGES ARE MADE TO THE SCHEDULE FROM THE LAST SUBMITTAL, THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF NO CHANGES.
2. THE CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULE OF CONSTRUCTION WHICH COMPLIES WITH THE FOLLOWING SEQUENCE:
 - A. INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS IMMEDIATELY PRIOR TO CONSTRUCTION.
 - B. SET UP TEMPORARY TRAFFIC CONTROL AREAS.
 - C. INSTALL UTILITIES, STRUCTURES, AND PERFORM GRADING AS INDICATED ON CONSTRUCTION PLANS.
 - D. PERFORM STREET RECONSTRUCTION IN AREAS AS NOTED. CONTRACTOR SHALL EXCAVATE AND INSTALL SECTIONS OF FLEXIBLE BASE MATERIAL AND HMAC UP TO THE TOP OF PROPOSED GRADE IN ONE DAY.
 - E. REPAIR CURB AND GUTTER, SIDEWALK CURB RAMP AND OTHER FEATURES AS NOTED.
 - F. COMMENCE RESTORATION AND REVEGETATION IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THE PROJECT.

UTILITIES

1. AT LEAST 48 HOURS BEFORE BEGINNING ANY CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT, THE CONTRACTOR SHALL NOTIFY PUBLIC WORKS.
2. THE CONTRACTOR SHALL CONTACT THE ROLLINGWOOD AREA "ONE" CALL SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS. THE CITY OF ROLLINGWOOD WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.O.W./EASEMENT LINES.
3. ALL MATERIALS TESTS, INCLUDING SOIL DENSITY TESTS AND DETAILED SOIL ANALYSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE OWNER IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 18045.04.
4. ALL MATERIAL USED ON THIS PROJECT MUST BE LISTED ON THE CITY OF AUSTIN STANDARD PRODUCTS LISTING.
5. SEWER SERVICES BROKEN BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR. REPLACEMENT LENGTH IS DEPENDENT ON EXTENT OF DAMAGE. REPLACEMENT PIPE SHALL BE 4" PVC (OR LARGER) SDR 26 AND ATTACHED TO EXISTING SERVICE WITH FLEXIBLE FERNCO CONNECTORS WITH STAINLESS STEEL CLAMPS OR APPROVED EQUAL, WITH NO SEPARATE PAY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN THEMSELV AND OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THIS PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO GAS, WATER, WASTEWATER, ELECTRICAL, TELEPHONE, COMMUNICATIONS NETWORKS, CABLE TELEVISION, PETROLEUM PIPELINES, AND STREET AND POSSIBLE CONFLICT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONSTRUCTION INSPECTOR WITHIN TWENTY-FOUR (24) HOURS.
7. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS.

CONSTRUCTION NOTES:

1. WHERE REMOVAL OF BASE AND PAVEMENT IS NECESSARY FOR THE PROJECT, ALL BASE AND PAVEMENT SHALL BE REPLACED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, CITY OF AUSTIN, STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR CUT IN PUBLIC RIGHT-OF-WAY. ALL PAVEMENT CUTS SHALL BE SAW-CUT PRIOR TO PLACEMENT OF HMAC.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE, PRESERVE AND RESET STREET MARKERS AND TRAFFIC CONTROL SIGNS THAT ARE WITHIN THE CONSTRUCTION LIMITS, AS NECESSARY, TO THE LINE AND HEIGHT AS DESCRIBED IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES BEFORE AND DURING ALL CONSTRUCTION PHASES AND UPON THE COMPLETION OF CONSTRUCTION. SIGNS SHALL NOT BE LAID ON THE GROUND. NO PAYMENT WILL BE MADE FOR THIS WORK, BUT IT WILL BE CONSIDERED SUBSIDIARY TO OTHER BID ITEMS.
3. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO MINIMIZE EXPOSURE OF SUBGRADE TO RAIN. IF SUBGRADE IS EXPOSED, CONTRACTOR SHALL UNDERTAKE EXTRA MEASURES TO ACCELERATE DRYING OF THE SUBGRADE INCLUDING PUMPING OF EXCESS WATER AND REWORKING OF THE SUBGRADE AT HIS OWN EXPENSE TO ALLOW THE WORK TO CONTINUE.
4. ALL RECONSTRUCTION PREPARATION WORK AND PAVING SHALL BE COMPLETED IN A MANNER SO AS TO PROVIDE A SMOOTH RIDING SURFACE FREE OF BUMPS, DIPS, AND RIPPLES AND A SMOOTH UNIFORM APPEARANCE. THE FINISHED SURFACE SHALL APPROXIMATE THE EXISTING PROFILE.
5. CONCRETE SHALL BE REPLACED NO LATER THAN FOUR (4) WORKING DAYS AFTER EXCAVATION OF THE SITE.
6. EXPANSION JOINTS SHALL BE PROVIDED AT THE TIE-IN OF NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER AND AT OTHER LOCATIONS AS SHOWN ON THE PLANS OR AS INSTRUCTED BY THE ENGINEER.
7. CONTRACTOR SHALL TRIM SHRUBS AND TREES TO PROVIDE CONSTRUCTION CLEARANCE. ALL PRUNING PROPOSED TO BE APPROVED IN ADVANCE BY CITY OF ROLLINGWOOD.
8. SODDING FOR EROSION CONTROL SHALL BE APPLIED AS SPECIFIED IN THE PERMANENT EROSION CONTROL NOTES OVER AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AS DESIGNATED BY THE ENGINEER. SODDING SHALL BE WATERED UNTIL A UNIFORM 1/2" GROWTH IS ESTABLISHED. AT WHICH TIME THE PAYMENT WILL BE MADE, SUBJECT TO APPROVAL BY GENERAL PERMIT PROGRAM OFFICE. WATERING IS INCLUDED IN PAYMENT FOR SODDING.
9. CONTRACTOR'S EQUIPMENT SHALL NOT BE LEFT RUNNING WHEN LEFT UNATTENDED OR LEFT IN ONE LOCATION FOR MORE THAN FIVE (5) MINUTES WHILE ATTENDED.

REVISION DESCRIPTION	DATE	REV BY	NO.

100% SUBMITTAL

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF ABE A. SALINAS III, P.E. LIC. # 105144 4/12/2023

IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

CITY OF ROLLINGWOOD, TEXAS

CITY OF ROLLINGWOOD
PROPOSED DRAINAGE IMPROVEMENTS

GENERAL NOTES (1 OF 2)

ROLLINGWOOD TEXAS
PUBLIC PROJECT ENGINEERING

K-FRIESE + ASSOCIATES

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NOTES	NAME	DATE
SURVEY BY	####	###
DRAWN BY	AH	08/21
DESIGNED BY	LWM	08/21
CHECKED BY	GE	08/21
REVIEWED BY		

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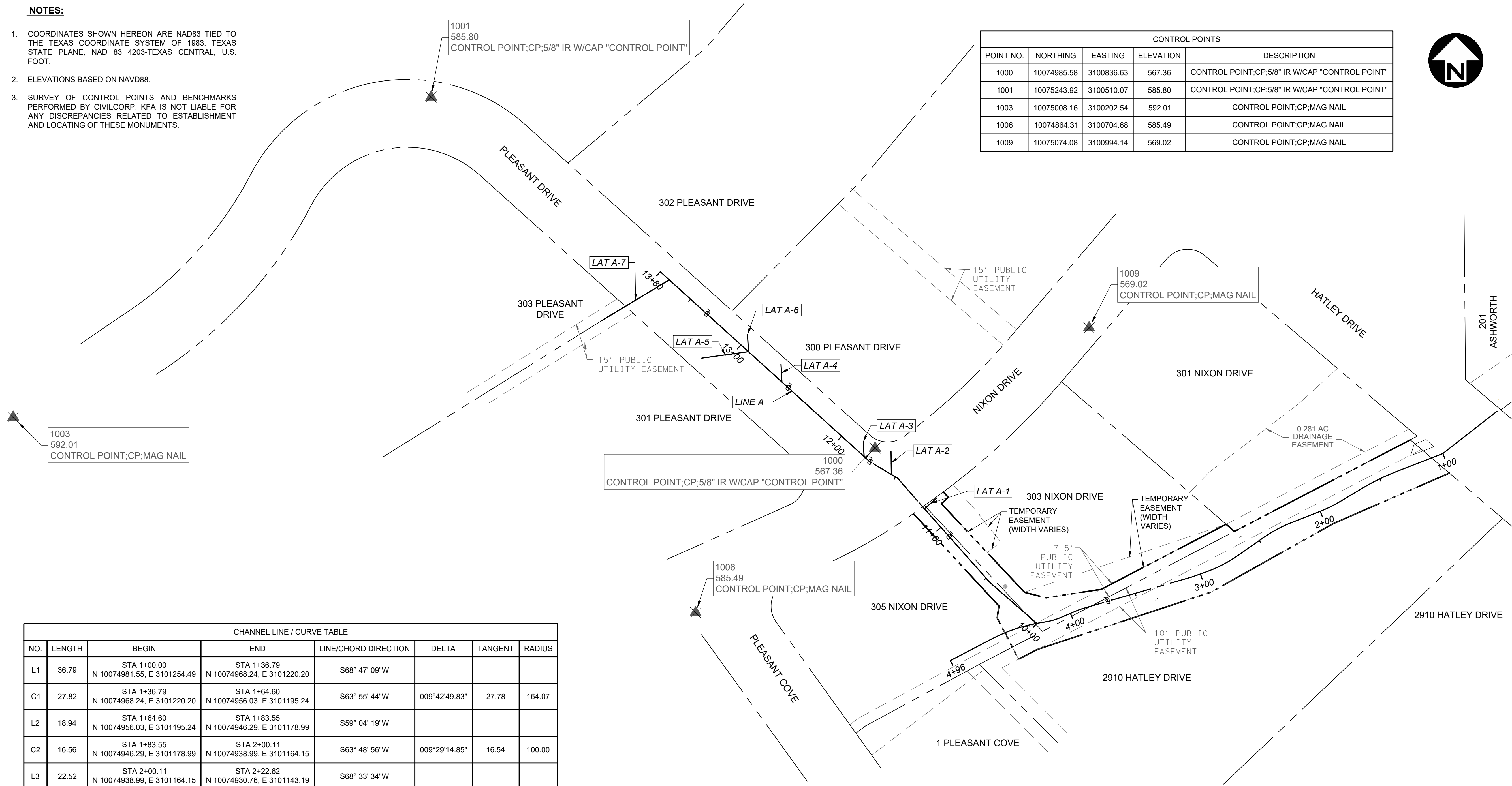
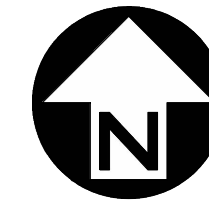
5/18/2017 8:02 AM

JUDY WILLIG

NOTES:

- COORDINATES SHOWN HEREON ARE NAD83 TIED TO THE TEXAS COORDINATE SYSTEM OF 1983, TEXAS STATE PLANE, NAD 83 4203-TEXAS CENTRAL, U.S. FOOT.
- ELEVATIONS BASED ON NAVD88.
- SURVEY OF CONTROL POINTS AND BENCHMARKS PERFORMED BY CIVILCORP. KFA IS NOT LIABLE FOR ANY DISCREPANCIES RELATED TO ESTABLISHMENT AND LOCATING OF THESE MONUMENTS.

CONTROL POINTS				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1000	10074985.58	3100836.63	567.36	CONTROL POINT;CP;5/8" IR W/CAP "CONTROL POINT"
1001	10075243.92	3100510.07	585.80	CONTROL POINT;CP;5/8" IR W/CAP "CONTROL POINT"
1003	10075008.16	3100202.54	592.01	CONTROL POINT;CP;MAG NAIL
1006	10074864.31	3100704.68	585.49	CONTROL POINT;CP;MAG NAIL
1009	10075074.08	3100994.14	569.02	CONTROL POINT;CP;MAG NAIL



CHANNEL LINE / CURVE TABLE							
NO.	LENGTH	BEGIN	END	LINE/CHORD DIRECTION	DELTA	TANGENT	RADIUS
L1	36.79	STA 1+00.00 N 10074981.55, E 3101254.49	STA 1+36.79 N 10074968.24, E 3101220.20	S68° 47' 09"W			
C1	27.82	STA 1+36.79 N 10074968.24, E 3101220.20	STA 1+64.60 N 10074956.03, E 3101195.24	S63° 55' 44"W	009°42'49.83"	27.78	164.07
L2	18.94	STA 1+64.60 N 10074956.03, E 3101195.24	STA 1+83.55 N 10074946.29, E 3101178.99	S59° 04' 19"W			
C2	16.56	STA 1+83.55 N 10074946.29, E 3101178.99	STA 2+00.11 N 10074938.99, E 3101164.15	S63° 48' 56"W	009°29'14.85"	16.54	100.00
L3	22.52	STA 2+00.11 N 10074938.99, E 3101164.15	STA 2+22.62 N 10074930.76, E 3101143.19	S68° 33' 34"W			
C3	23.63	STA 2+22.62 N 10074930.76, E 3101143.19	STA 2+46.25 N 10074919.62, E 3101122.41	S61° 47' 22"W	013°32'22.81"	23.58	100.00
L4	22.77	STA 2+46.25 N 10074919.62, E 3101122.41	STA 2+69.02 N 10074906.56, E 3101103.76	S55° 01' 11"W			
C4	27.05	STA 2+69.02 N 10074906.56, E 3101103.76	STA 2+96.07 N 10074894.22, E 3101079.78	S62° 46' 04"W	015°29'47.19"	26.96	100.00
L5	9.35	STA 2+96.07 N 10074894.22, E 3101079.78	STA 3+05.42 N 10074891.10, E 3101070.97	S70° 30' 58"W			
C5	2.33	STA 3+05.42 N 10074891.10, E 3101070.97	STA 3+07.75 N 10074890.39, E 3101068.74	S72° 11' 14"W	003°20'32.65"	2.33	40.00
L6	81.75	STA 3+07.75 N 10074890.39, E 3101068.74	STA 3+89.50 N 10074867.66, E 3100990.22	S73° 51' 31"W			
C6	6.08	STA 3+89.50 N 10074867.66, E 3100990.22	STA 3+95.59 N 10074865.62, E 3100984.49	S70° 22' 27"W	006°58'08.39"	6.08	50.00
L7	11.80	STA 3+95.59 N 10074865.62, E 3100984.49	STA 4+07.38 N 10074860.99, E 3100973.64	S66° 53' 22"W			
C7	13.03	STA 4+07.38 N 10074860.99, E 3100973.64	STA 4+20.41 N 10074857.49, E 3100961.13	S74° 21' 23"W	014°56'01.52"	13.00	50.00
C8	41.02	STA 4+20.41 N 10074857.49, E 3100961.13	STA 4+61.44 N 10074844.94, E 3100922.28	S72° 05' 50"W	019°27'06.98"	40.83	120.83
L8	34.13	STA 4+61.44 N 10074844.94, E 3100922.28	STA 4+95.57 N 10074829.11, E 3100892.04	S62° 22' 17"W			

LEGEND	
ALIGNMENT	—————
PROPERTY LINE	-----
EXIST EASEMENT	-----
SURVEY CONTROL POINT	▲
PERM DRAINAGE ESMT	▨
TEMPORARY EASEMENT	▩

STORM DRAIN LINE / CURVE TABLE							
NO.	LENGTH	BEGIN	END	LINE/CHORD DIRECTION	DELTA	TANGENT	RADIUS
L1	45.26	STA 10+00.00 N 10074856.57, E 3100955.66	STA 10+45.26 N 10074886.31, E 3100921.55	N48° 55' 35"W			
L2	79.08	STA 10+45.26 N 10074886.31, E 3100921.55	STA 11+24.34 N 10074945.42, E 3100869.01	N41° 38' 00"W			
L3	23.78	STA 11+24.34 N 10074945.42, E 3100869.01	STA 11+48.12 N 10074963.34, E 3100853.39	N41° 03' 46"W			
L4	24.11	STA 11+48.12 N 10074963.34, E 3100853.39	STA 11+72.22 N 10074975.67, E 3100832.67	N59° 14' 13"W			
L5	10.68	STA 11+72.22 N 10074975.67, E 3100832.67	STA 11+82.90 N 10074982.85, E 3100824.76	N47° 47' 09"W			
L6	76.40	STA 11+82.90 N 10074982.85, E 3100824.76	STA 12+59.30 N 10075034.19, E 3100768.18	N47° 47' 09"W			
L7	33.25	STA 12+59.30 N 10075034.19, E 3100768.18	STA 12+92.56 N 10075056.51, E 3100743.54	N47° 49' 07"W			
L8	78.68	STA 12+92.56 N 10075056.51, E 3100743.54	STA 13+71.24 N 10075109.39, E 3100685.28	N47° 46' 18"W			
L9	8.89	STA 13+71.24 N 10075109.39, E 3100685.28	STA 13+80.13 N 10075115.37, E 3100678.69	N47° 47' 09"W			

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CITY OF ROLLINGWOOD, TEXAS

CITY OF ROLLINGWOOD
PROPOSED DRAINAGE IMPROVEMENTS

HORIZONTAL CONTROL LAYOUT SHEET

ROLLINGWOOD TEXAS

K-FRIESE + ASSOCIATES

PUBLIC PROJECT ENGINEERING

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CityView 2, Suite 100
Austin, Texas 78746
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NOTES	NAME	DATE
SURVEY BY		
DRAWN BY	AH	08/21
DESIGNED BY	LWM	08/21
CHECKED BY	GE	08/21
REVIEWED BY	---	---

0 40 80
HORIZONTAL SCALE IN FEET

X:\PROJECTS\0807_ROLLINGWOOD_NIXON\PLEASANT_DRAINAGE_IMPROVEMENTS\DRAINAGE_LAYOUT\DWG_COA_22X34_LANDSCAPE_COA_ESD.STB 4/12/2023 5:16 PM JUDY WILG

25-YR CALCULATIONS

Label	Type	Profile Type	Curb Opening Length (ft)	Longitudinal Slope (Inlet) (ft/ft)	Road Cross Slope (ft/ft)	Spread Manning's N	Depression (ft)	25-Yr Discharge (cfs)	Flow (Total Bypass to Inlet) (cfs)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Bypass To	Spread / Top Width (ft)	Depth (Gutter) (in)
Area Inlet A1	Area	On Grade	4	0.017	0.02	0.013	0	7.5	26.6	34.1	0	Outfall	22.7	5.4
Curb Inlet A2	Curb	On Grade	20	0.012	0.015	0.013	0	5.1	29.1	19.6	14.6	A1	29	5.2
Curb Inlet A3	Curb	On Grade	20	0.021	0.02	0.013	0	0.2	53.7	24.8	29.1	A2	25.9	6.2
Curb Inlet A4	Curb	On Grade	10	0.03	0.019	0.013	0	2.8	16.3	7.4	11.7	A1	16.9	3.9
Curb Inlet A5	Curb	On Grade	20	0.019	0.015	0.013	0	80	0	27.7	53.7	A3	36.8	6.6

	Elevation (Invert) (ft)	Rise (ft)	Span (ft)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Inlet Depth (ft)
Headwall A2	563.5	2	2	13.3	0	2
Headwall A3	571	2	5	62.3	16.3	3

25-YR CALCULATIONS

Link Start Node	Invert (Start) (ft)	Link Stop Node	Invert (Stop) (ft)	Depth (In) (ft)	Hydraulic Grade Line (In) (ft)	Loss (ft)	Depth (Out) (ft)	Hydraulic Grade Line (Out) (ft)	Velocity (ft/s)	Diameter (in)	Rise (ft)	Span (ft)	Length (ft)	Slope (Calculated) (ft/ft)	Friction Slope (ft/ft)	Manning's N Value	Flow (cfs)	Capacity (Design) (cfs)
Headwall A-3	571	JPB	568.7	1.7	572.7	0.91	0.88	569.5	16.8		2	5	52.3	0.045	0.017	0.013	62.3	194.5
Inlet A5	564.4	Junction A5	563.2	1.8	566.2	0.83	1.34	564.6	14.9	24			29.9	0.038	0.028	0.013	27.7	44.4
Inlet A4	566.8	Junction A5	564.1	1	567.7	0.89	1.56	565.6	13.2	24			37.3	0.074	0.026	0.013	7.4	61.3
Inlet A3	563.9	Junction A4	563.2	1.8	565.7	0.66	1.3	564.5	16.3	24			13.2	0.052	0.05	0.013	24.8	51.7
Inlet A2	562	Junction A3	561.3	2	564	0.1	2.63	563.9	15.7	24			14	0.056	0.007	0.013	19.6	53.5
Headwall A2	561.3	Junction A2	560.7	2.4	563.7	0.07	2.95	563.6	4.2	24			20.3	0.031	0.003	0.013	13.3	40.1
Area Inlet	562	Junction A1	561.3	2	564	0.36	1.69	563	18.5	24			15	0.054	0.029	0.013	40.6	52.8
JPB	563.7	Junction STA. 11+72.22	560.3	1.7	565.4	0.08	2.95	563.5	16.9		4	5	200	0.017	0.001	0.013	127	377.3
Junction STA. 11+72.22	560.3	Junction STA. 11+48.12	559.9	2.7	564.4	0.05	3.43	562.7	16.9		4	5	24.11	0.017	0.003	0.013	136	377.3
Junction STA. 11+48.12	559.9	Junction STA 11+11.85	558.8	2.8	562.7	0.22	3.59	562.3	19.3		4	5	36.27	0.017	0.006	0.013	136	442.1
Junction STA 11+11.85	558.8	Junction STA 10+45.26	556.5	3.4	562.1	2.17	3.97	560.4	21.2		4	5	66.51	0.042	0.033	0.013	174.9	455.8
Junction STA 10+45.26	556.5	Headwall A1	556.4	3.4	559.8	0.07	3.13	559.5	12.3		4	5	12.72	0.008	0.006	0.013	174.8	217.4

100-YR CALCULATIONS

Label	Type	Profile Type	Curb Opening Length (ft)	Longitudinal Slope (Inlet) (ft/ft)	Road Cross Slope (ft/ft)	Spread Manning's N	Depression (ft)	100-Yr Discharge (cfs)	Flow (Total Bypassed to Inlet) (cfs)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Bypass To	Spread / Top Width (ft)	Depth (Gutter) (in)
Area Inlet A1	Area	On Grade	4	0.017	0.02	0.013	0	11.2	74.1	50	35.2	Outfall	32	7.7
Curb Inlet A2	Curb	On Grade	20	0.012	0.015	0.013	0	7.5	55.6	26.8	36.2	A1	36.5	6.6
Curb Inlet A3	Curb	On Grade	20	0.021	0.02	0.013	0	0.3	86.8	31.5	55.6	A2	31	7.4
Curb Inlet A4	Curb	On Grade	10	0.03	0.019	0.013	0	4.1	44.6	11.5	37.2	A1	24.1	5.5
Curb Inlet A5	Curb	On Grade	20	0.019	0.015	0.013	0	120.2	0	33.4	86.8	A3	42.6	7.7

	Elevation (Invert) (ft)	Rise (ft)	Span (ft)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Inlet Depth (ft)
Headwall A2	563.5	2	2	19.65	0	3.3
Headwall A3	571	2	5	71.4	44.59	3.53

100-YR CALCULATIONS

Link Start Node	Invert (Start) (ft)	Link Stop Node	Invert (Stop) (ft)	Depth (In) (ft)	Hydraulic Grade Line (In) (ft)	Loss (ft)	Depth (Out) (ft)	Hydraulic Grade Line (Out) (ft)	Velocity (ft/s)	Diameter (in)	Rise (ft)	Span (ft)	Length (ft)	Slope (Calculated) (ft/ft)	Friction Slope (ft/ft)	Manning's N Value	Flow (cfs)	Capacity (Design) (cfs)
Headwall A-3	571	JPB	568.7	1.9	572.9	0.87	0.98	569.6	17.6		2	5	52.3	0.045	0.017	0.013	71.4	194.5
Inlet A5	564.4	Junction A5	563.2	1.9	566.3	0.91	1.51	564.7	15.5	24			29.9	0.038	0.03	0.013	33.4	44.4
Inlet A4	566.8	Junction A5	564.1	1.2	568	0.75	1.85	566	15	24			37.3	0.074	0.022	0.013	11.5	61.3
Inlet A3	563.9	Junction A4	563.2	1.9	656.8	0.27	2.08	565.3	17.3	24			13.2	0.052	0.02	0.013	31.5	51.7
Inlet A2	562	Junction A3	561.3	2.2	564.2	0.2	2.74	564	8.5	24			14	0.056	0.014	0.013	26.8	53.5
Headwall A2	561.3	Junction A2	560.7	2.2	563.5	0.15	2.65	563.3	6.3	24			20.3	0.031	0.008	0.013	19.7	40.1
Area Inlet	562	Junction A1	561.3	2.2	564.2	0.85	1.99	563.3	18.9	24			15	0.054	0.069	0.013	59.5	52.8
JPB	563.7	Junction STA. 11+72.22	560.3	1.9	565.6	0.06	3.67	564	10.6		4	5	200	0.017	0.001	0.013	155.4	377.3
Junction STA. 11+72.22	560.3	Junction STA. 11+48.12	559.9	3.1	563.4	0.07	3.32	563.2	15.8		4	5	24.1	0.017	0.004	0.013	168.6	377.3
Junction STA. 11+48.12	559.9	Junction STA 11+11.85	558.8	3.3	563.2	0.16	4.09	563.5	17.7		4	5	36.3	0.017	0.005	0.013	168.6	359.1
Junction STA 11+11.85	558.8	Junction STA 10+45.26	556.5	4	562.7	2.14	4.16	560.6	22.7		4	5	66.5	0.042	0.032	0.013	225.7	455.8
Junction STA 10+45.26	556.5	Headwall A1	556.4	4	560.4	0.1	3.98	560.3	11.3		4	5	12.7	0.008	0.008	0.013	225.5	217.4

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CITY OF ROLLINGWOOD, TEXAS

CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMENTS

HYDRAULIC CALCULATIONS

ROLLINGWOOD TEXAS

K-FRIESE + ASSOCIATES

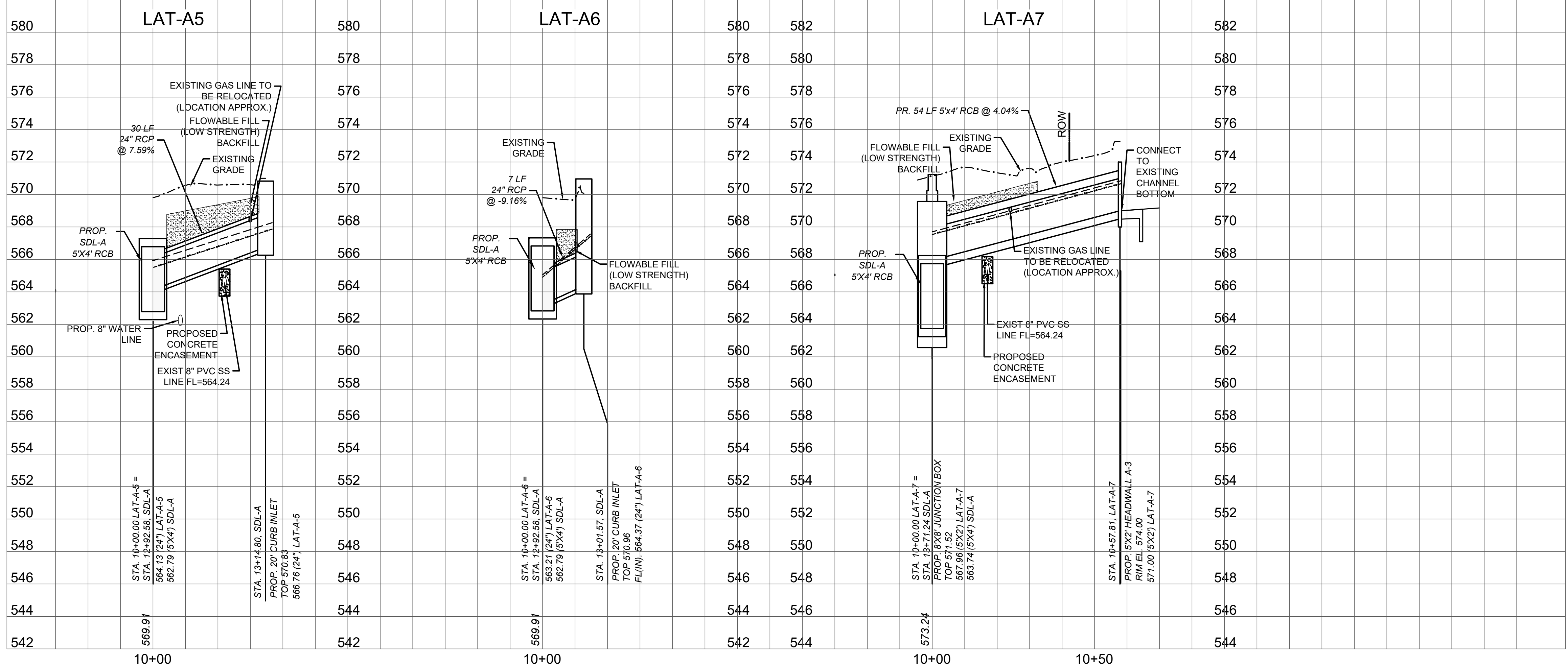
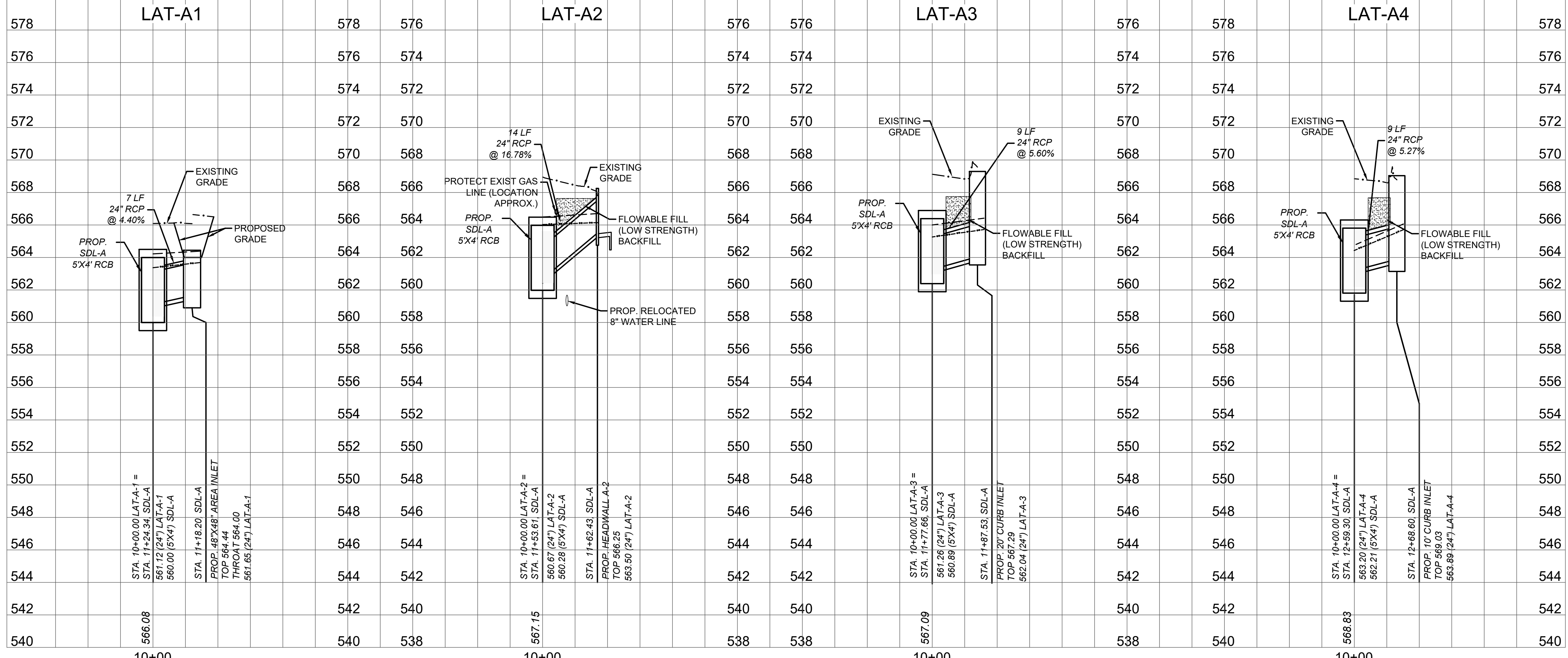
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www.kfrie.com

NOTES	NAME	DATE
SURVEY BY		
DRAWN BY	AH	08/21
DESIGNED BY	LWM	08/21
CHECKED BY	GE	08/21
REVIEWED BY	----	----

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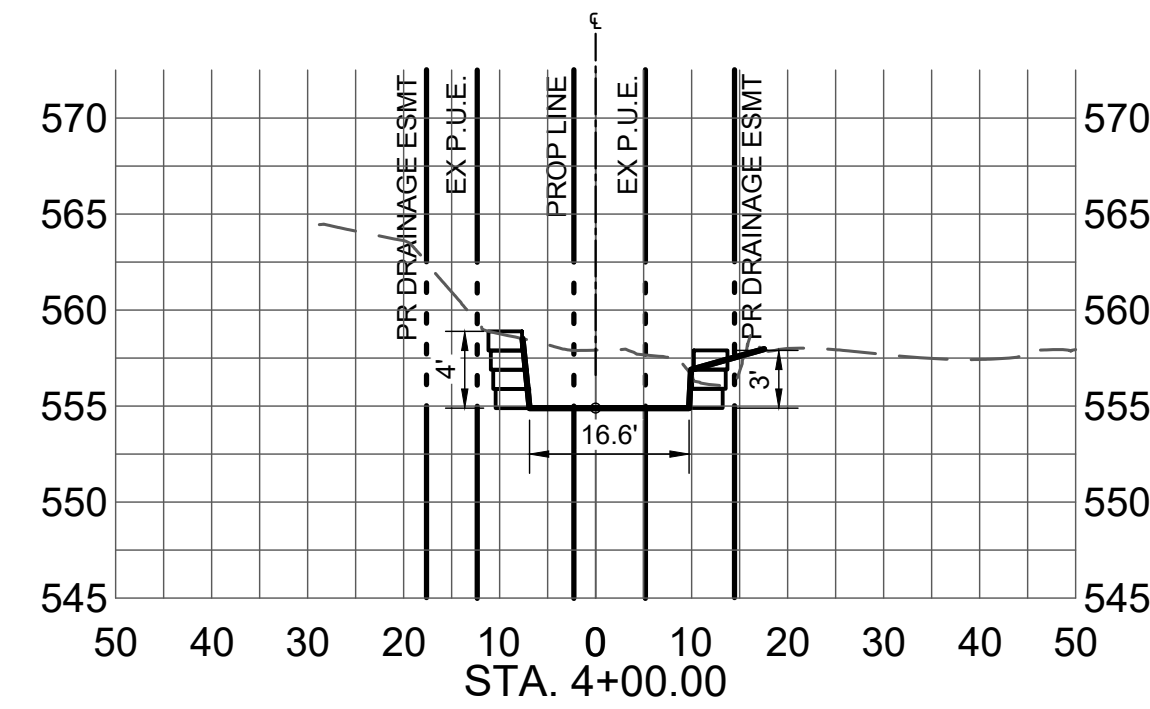
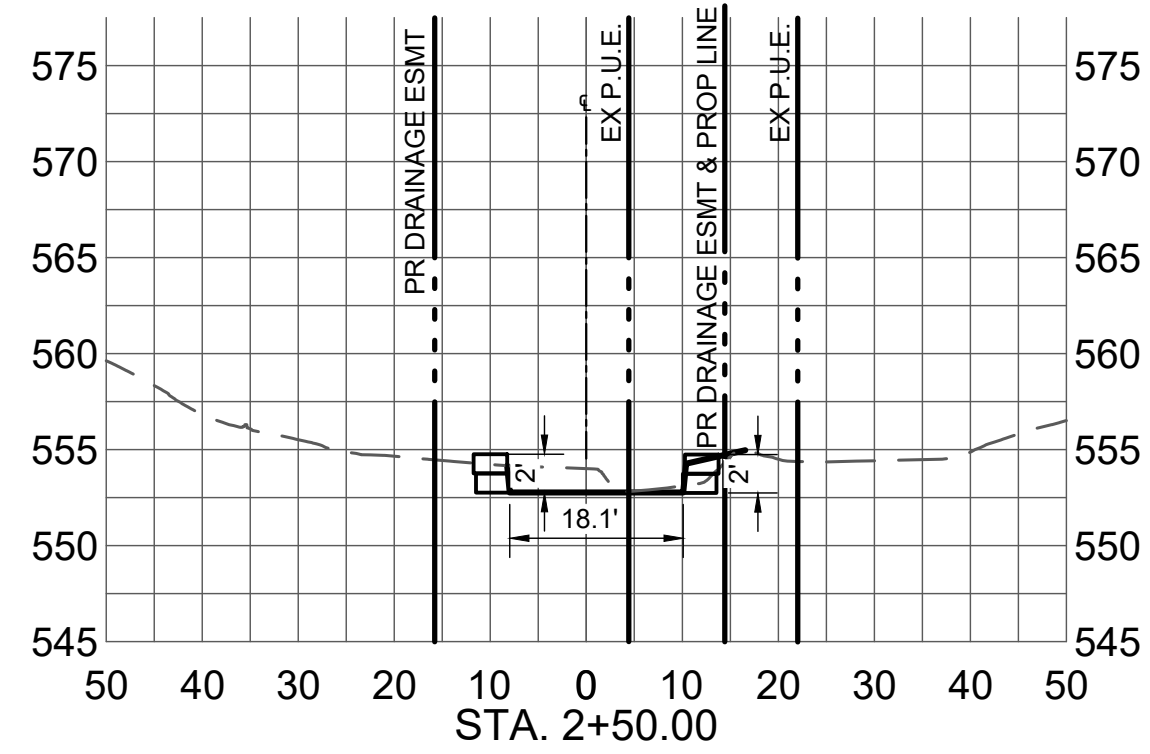
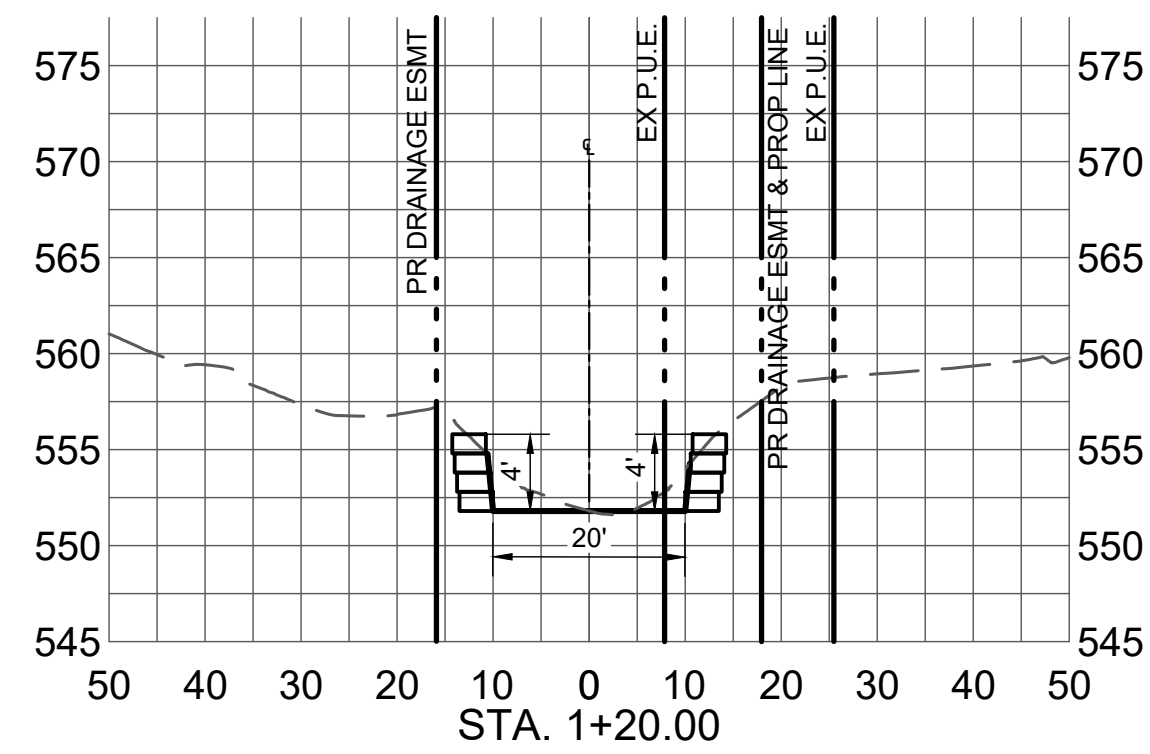
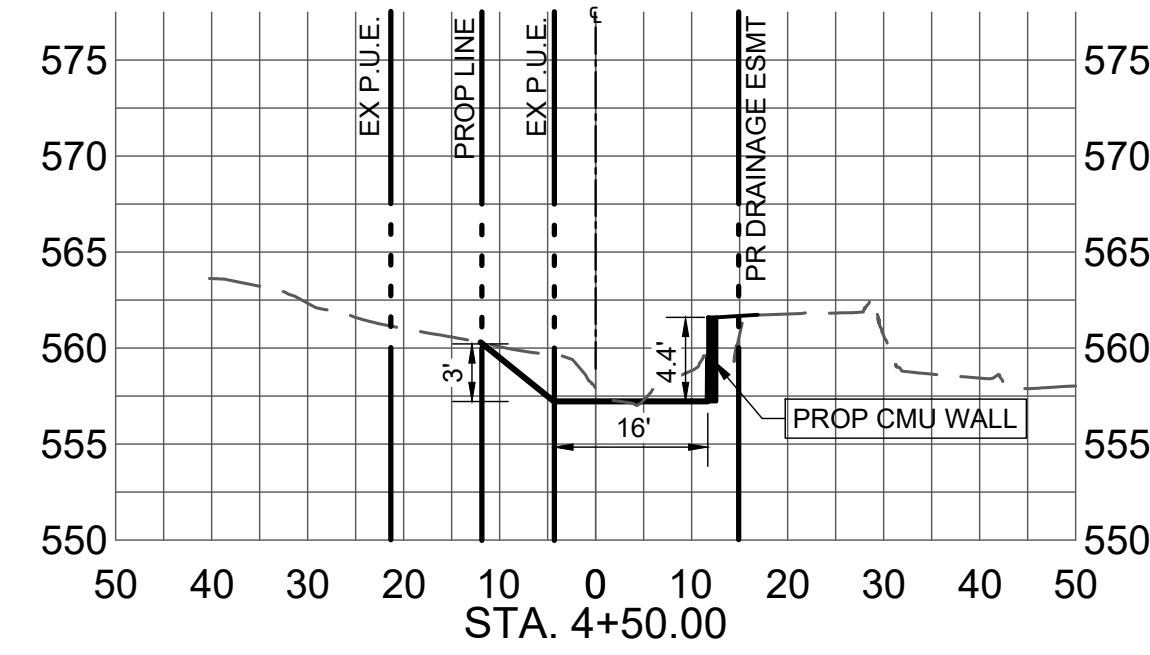
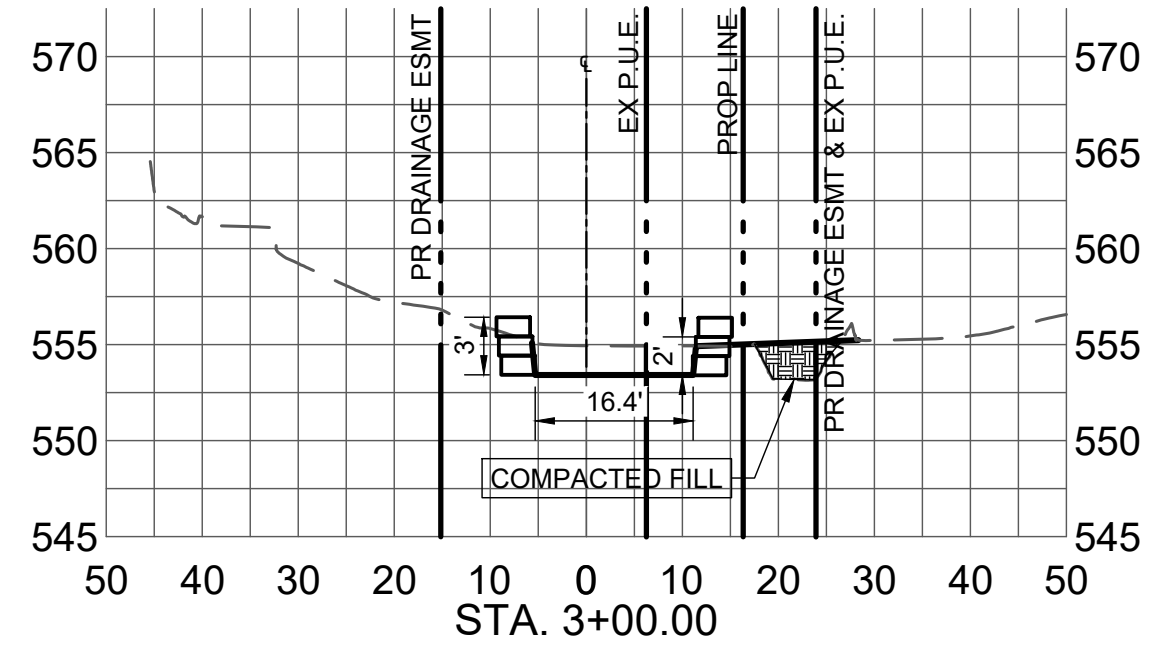
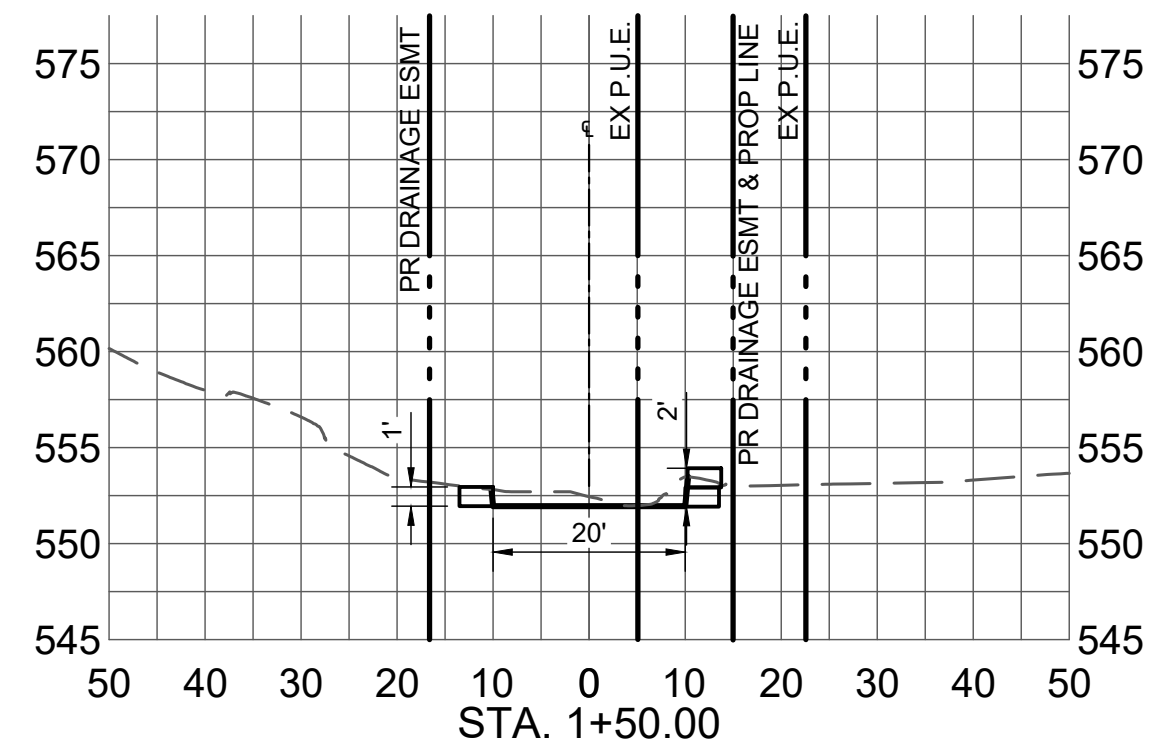
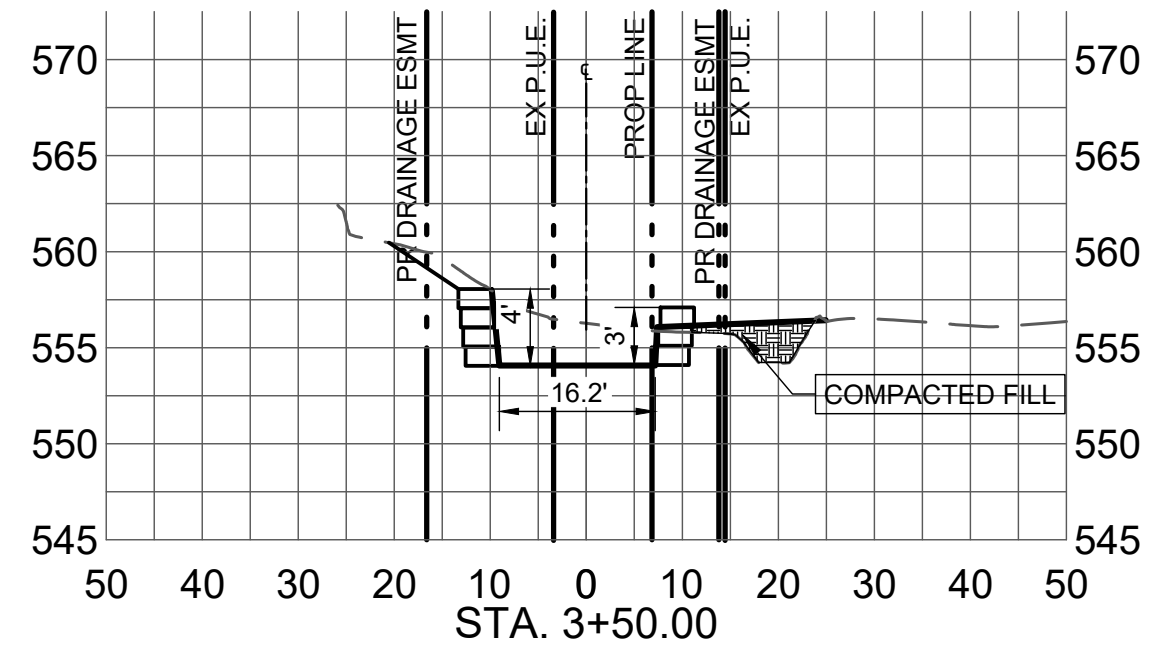
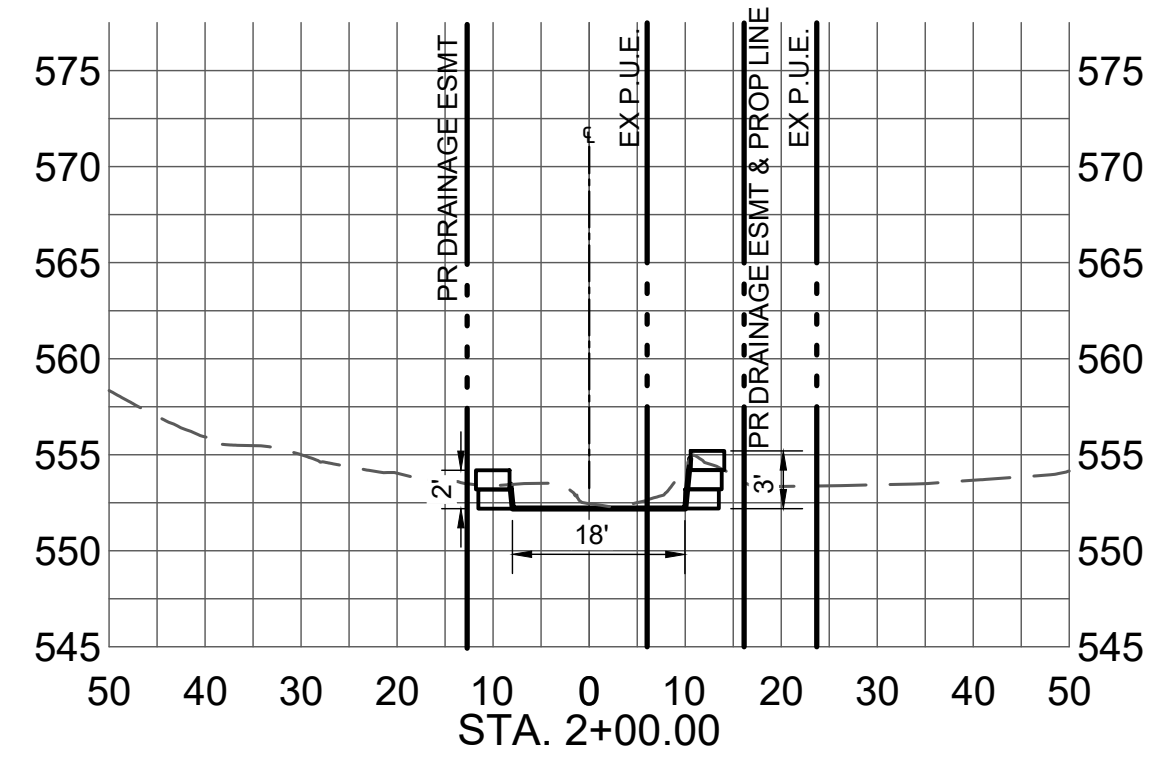
25 YEAR HGL	-----
100 YEAR HGL	-----

REVISION DESCRIPTION							
DATE							
REV. BY							
NO.							
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CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT PROPOSED DRAINAGE IMPROVEMENTS NIXON/PLEASANT DRAINAGE IMPROVEMENTS STORM SEWER LATERAL PROFILES							
 K-FRIESE + ASSOCIATES PUBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBE Firm #6535 www.kfriesse.com							
NOTES	NAME	DATE					
SURVEY BY							
DRAWN BY	##	####					
DESIGNED BY	###	#####					
CHECKED BY	##	#####					
REVIEWED BY							
 HORIZONTAL SCALE IN FEET VERTICAL SCALE IN FEET							
PLPR03	17 OF 49						

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NOTES:

1. CROSS-SECTIONS ARE SHOWN ALONG THE BASELINE LOOKING UPSTREAM.
2. EXISTING GROUND FOR CROSS-SECTIONS WERE GENERATED FROM CIVILCORP SURVEY DATA.
3. ELEVATION CALLOUTS AT THE LIMITS OF THE EXCAVATION ARE TO THE ACCURACY OF THE SURVEY DATA. CONTRACTOR TO HOLD THE OFFSET IN THE EVENT OF A DISCREPANCY.
4. APPARENT ROW OR EASEMENT LIMITS ARE SHOWN FOR INFORMATIONAL PURPOSES AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.



REV. NO.	BY	DATE	REVISION DESCRIPTION

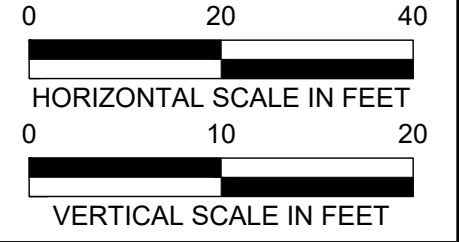
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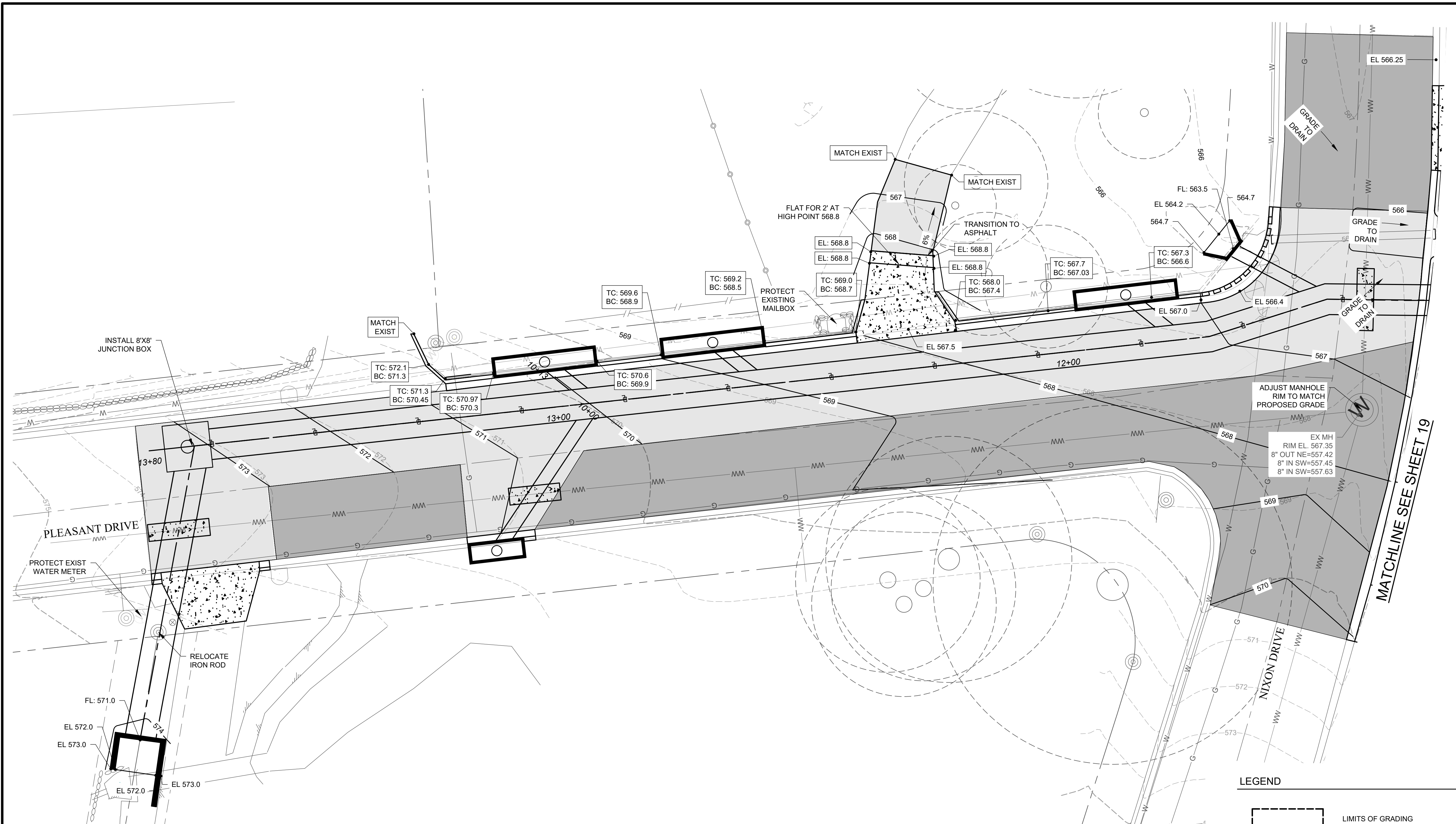
CITY OF ROLLINGWOOD, TEXAS
**PROPOSED DRAINAGE IMPROVEMENTS
 NIXON/PLEASANT DRAINAGE IMPROVEMENTS**
 CHANNEL CROSS SECTIONS

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 P - 512.338.1704 F - 512.338.1784
 T&E Firm #6535
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NOTES	NAME	DATE
SURVEY BY		
DRAWN BY	##	####
DESIGNED BY	###	#####
CHECKED BY	##	#####
REVIEWED BY	---	---



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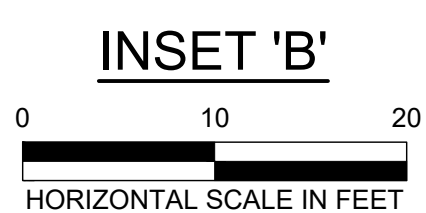
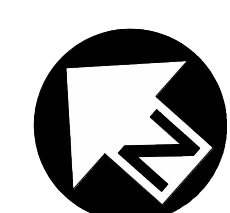
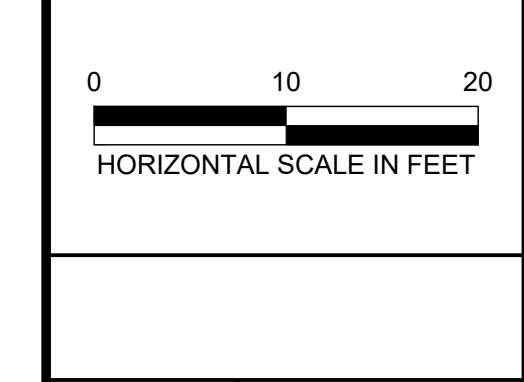
CITY OF ROLLINGWOOD, TEXAS

**PROPOSED DRAINAGE IMPROVEMENTS
NIXON/PLEASANT DRAINAGE IMPROVEMENTS**

GRADING PLAN

NOTES	NAME	DATE

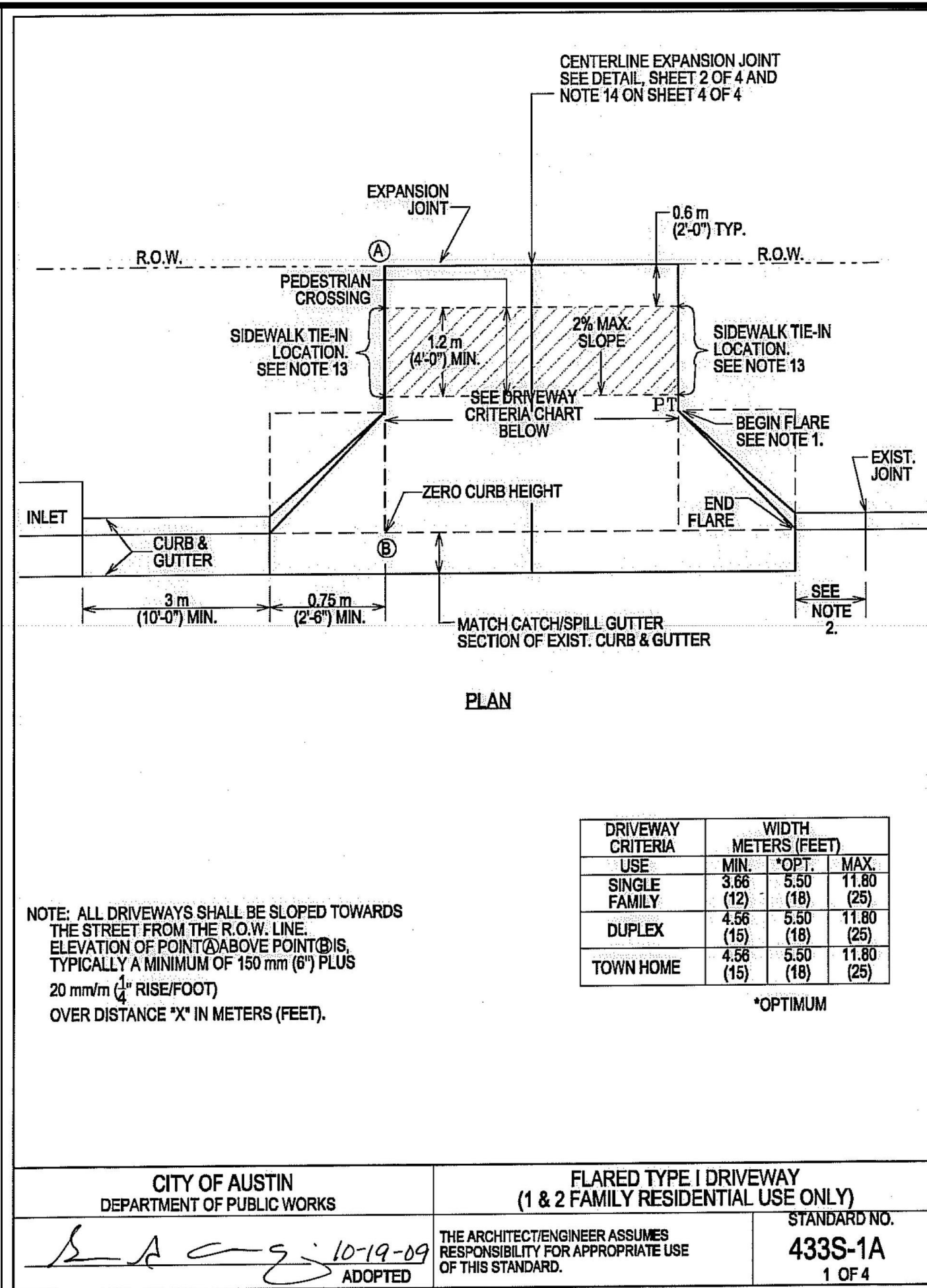
SURVEY BY		
DRAWN BY	AH	08/21
DESIGNED BY	LWM	08/21
CHECKED BY	GE	08/21
REVIEWED BY	---	---



- NOTES:**
1. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING OPERATION OF ALL EXISTING UTILITIES AFFECTED BY PROPOSED CONSTRUCTION.
 3. LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE AND BASED ON AVAILABLE DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 4. ALL CALLOUTS ARE TO THE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

LEGEND

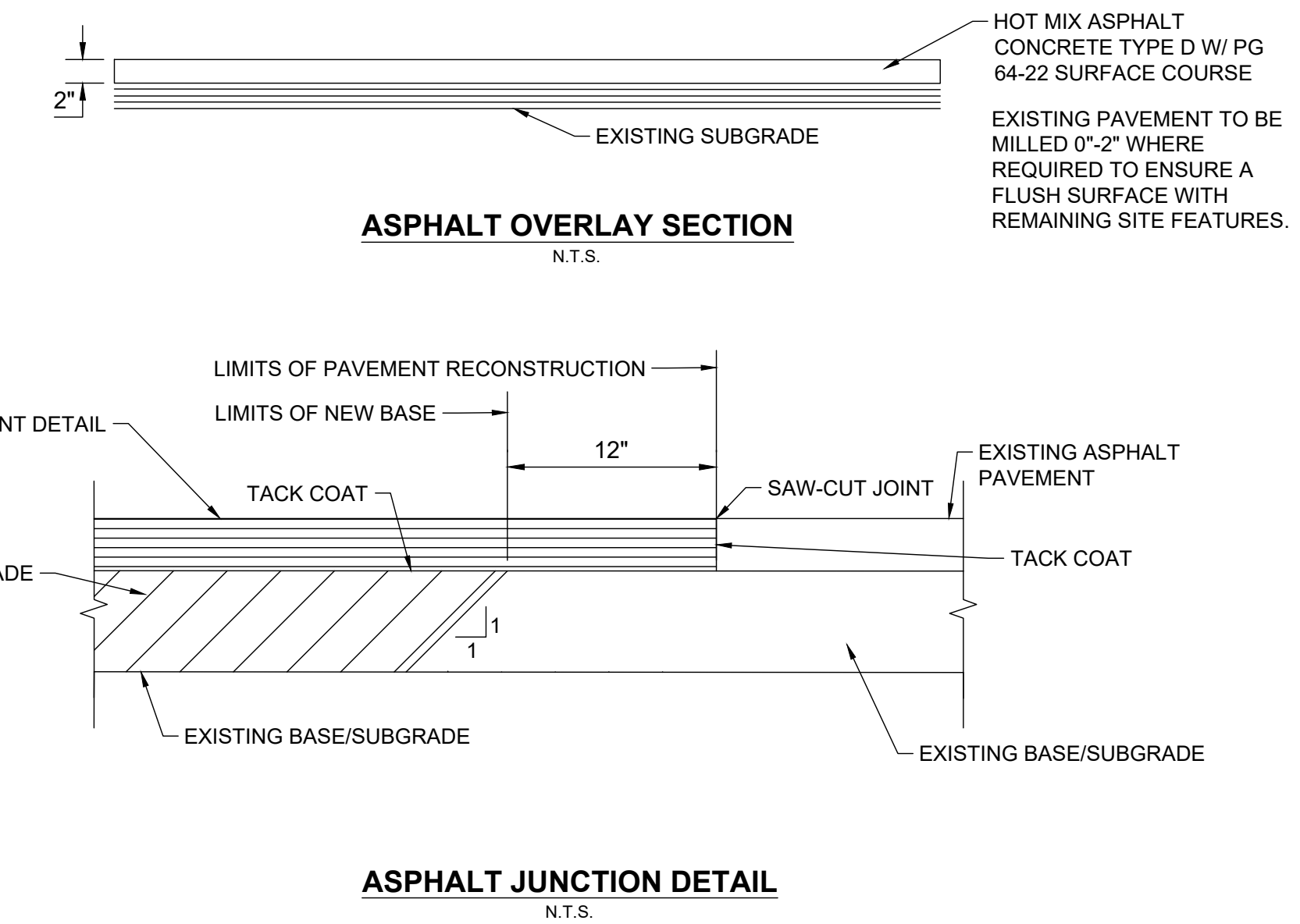
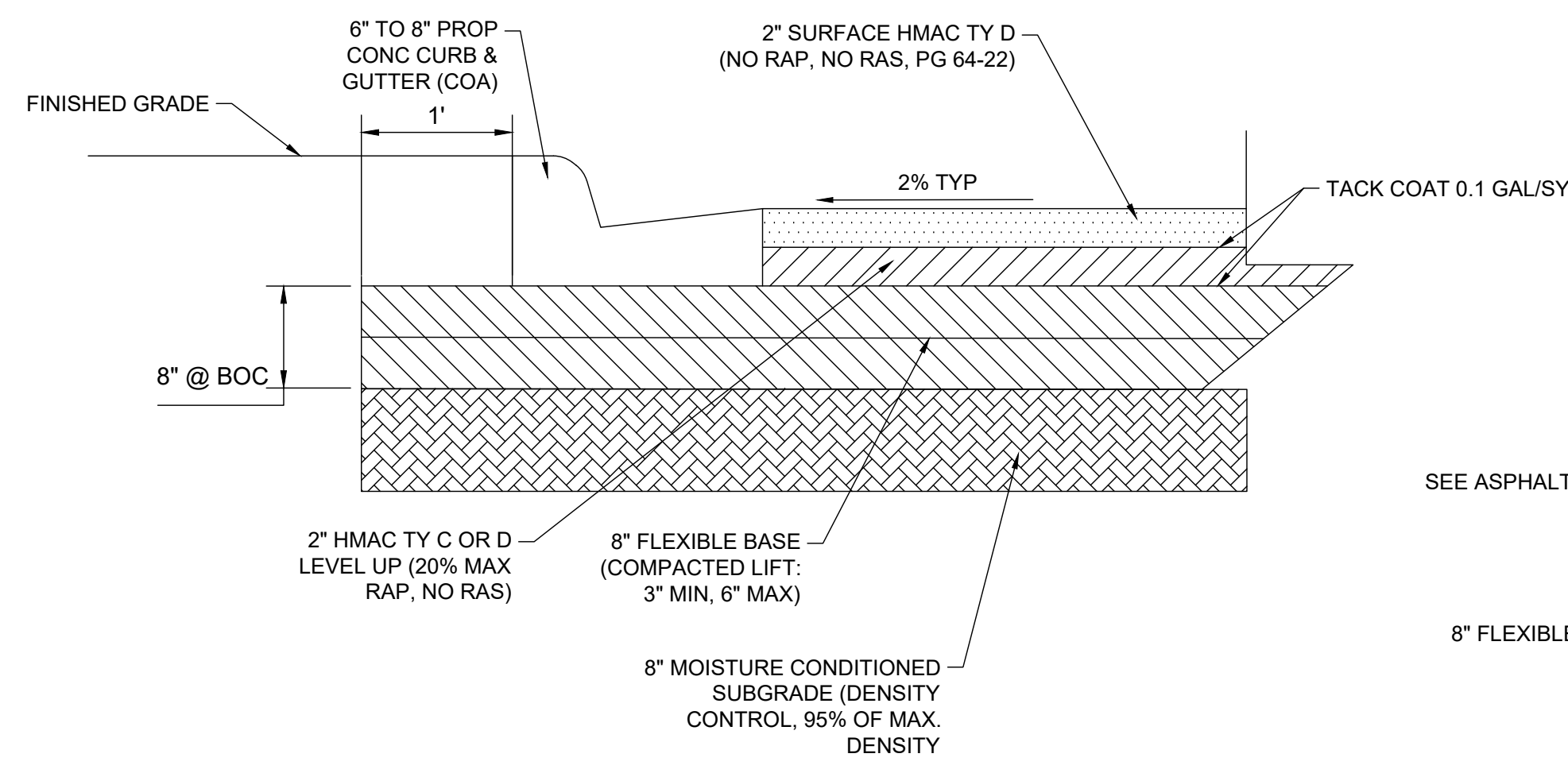
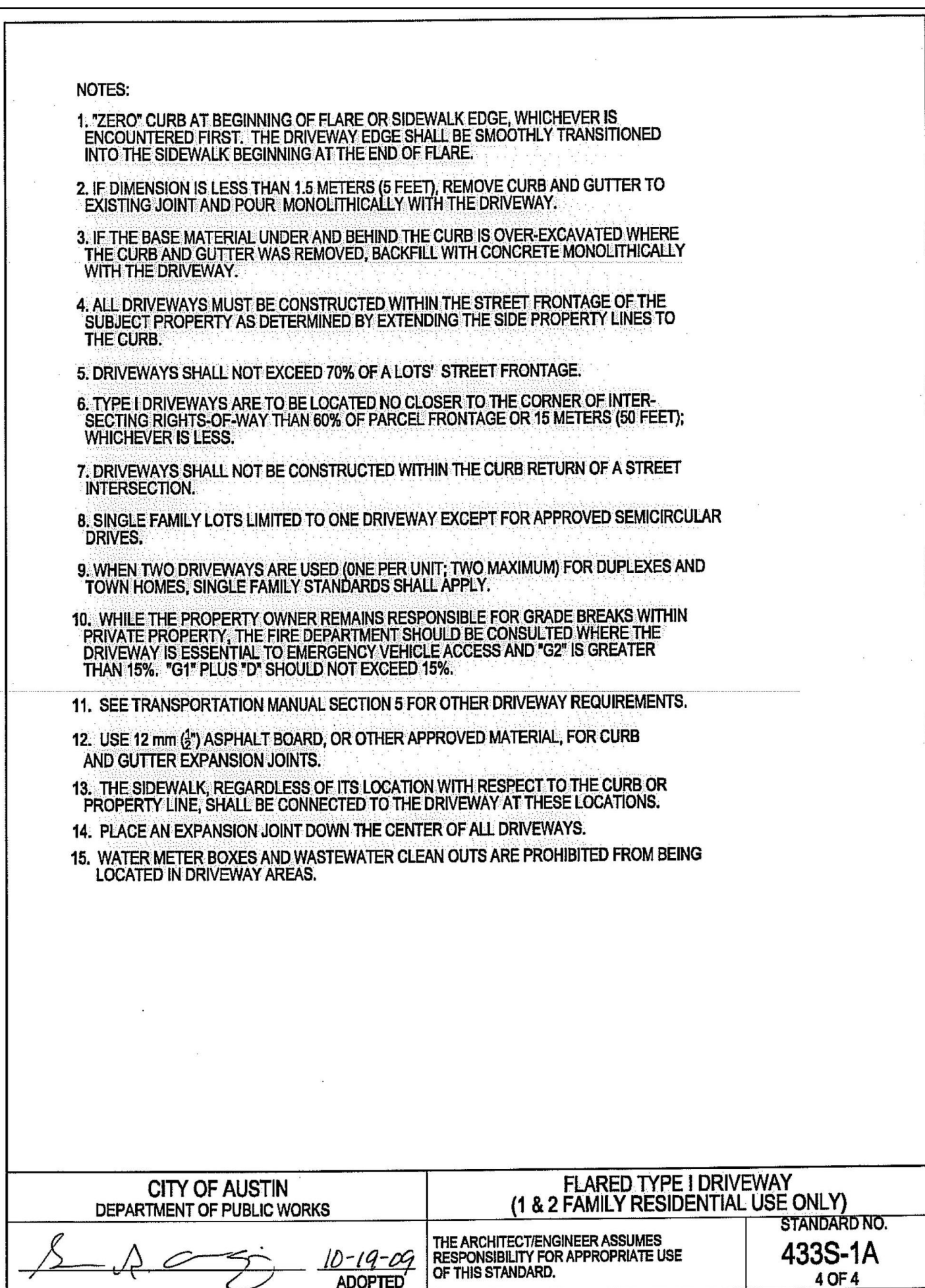
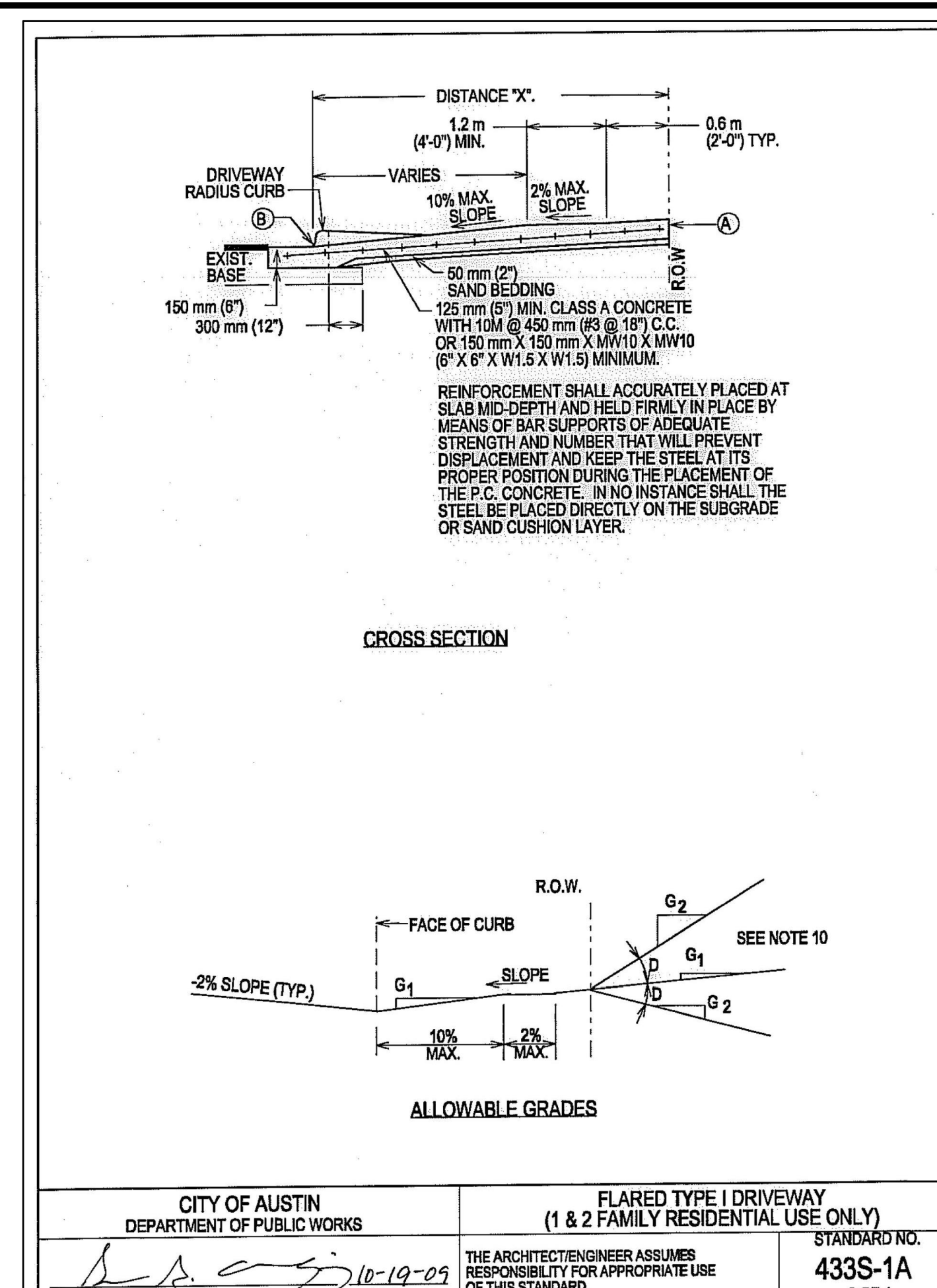
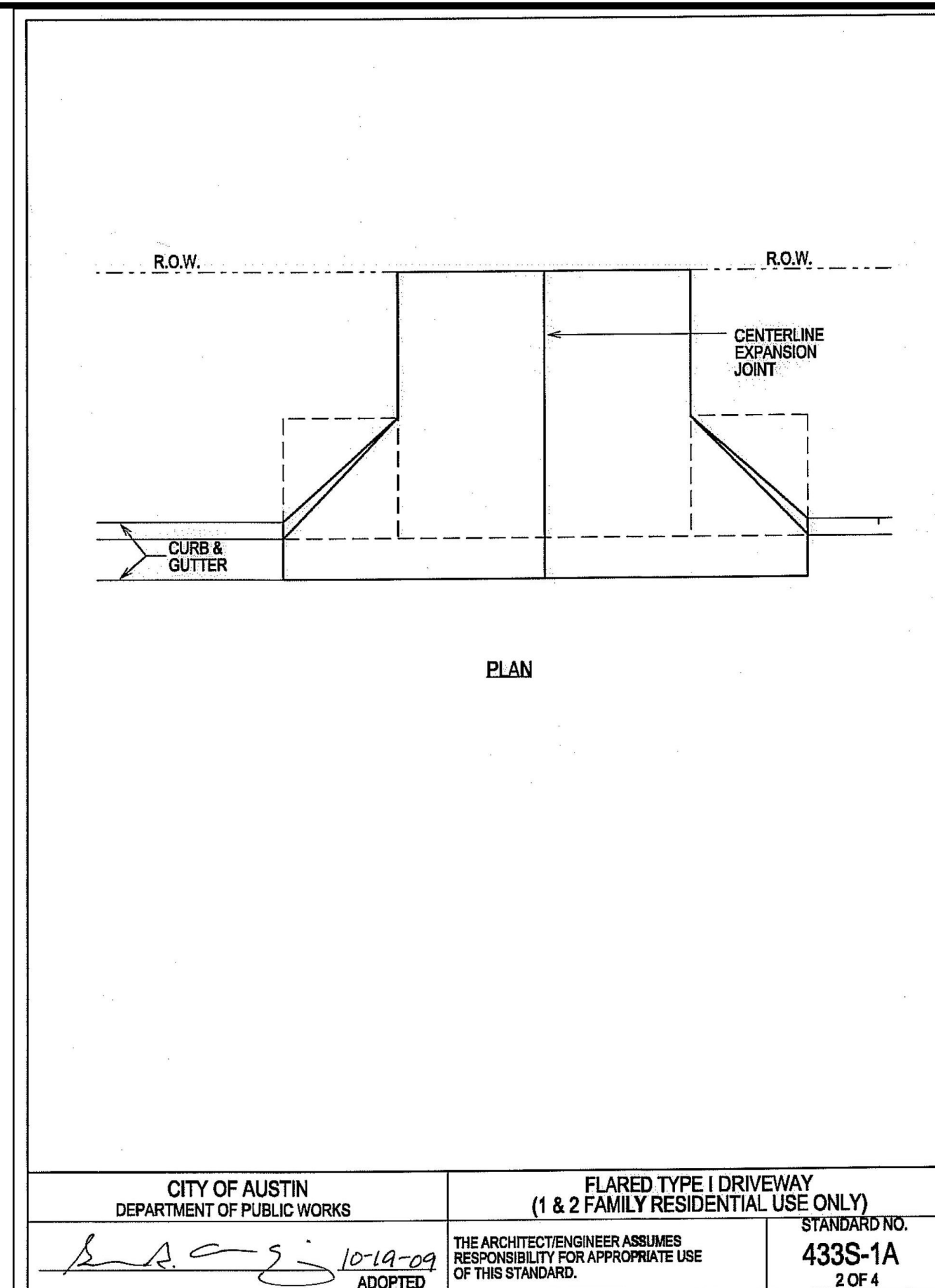
	LIMITS OF GRADING
	560 EXISTING CONTOURS
	559 EXISTING CONTOURS
	565 PROPOSED CONTOURS
	564 PROPOSED CONTOURS
	PAVEMENT MILL & OVERLAY
	PAVEMENT FULL DEPTH REPAIR
	TREE
	TREE TO BE REMOVED
TC	TOP OF CURB
BC	BOTTOM OF CURB



DRIVEWAY CRITERIA USE	MIN. METERS (FEET)	*OPT. METERS (FEET)	MAX. METERS (FEET)
SINGLE FAMILY	3.66 (12)	5.50 (18)	11.80 (39)
DUPLEX	4.56 (15)	5.50 (18)	11.80 (39)
TOWN HOME	4.56 (15)	5.50 (18)	11.80 (39)

*OPTIMUM

NOTE: ALL DRIVEWAYS SHALL BE SLOPED TOWARDS THE STREET FROM THE R.O.W. LINE. ELEVATION OF POINT A ABOVE POINT B IS TYPICALLY A MINIMUM OF 150 mm (6") PLUS 20 mm/m (3/4") RISE/FOOT OVER DISTANCE "X" IN METERS (FEET).



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CITY OF ROLLINGWOOD, TEXAS

CITY OF ROLLINGWOOD
NIXON/PLEASANT DRAINAGE IMPROVEMENTS

PAVING DETAILS
1 OF 2

ROLLINGWOOD TEXAS

K-FRIESE + ASSOCIATES
PUBLIC PROJECT ENGINEERING
1120 S. Capital of Texas Highway
Austin, Texas 78746
P - 512.338.1704 F - 512.338.1784
TYPE Firm #6535
www.kfriese.com

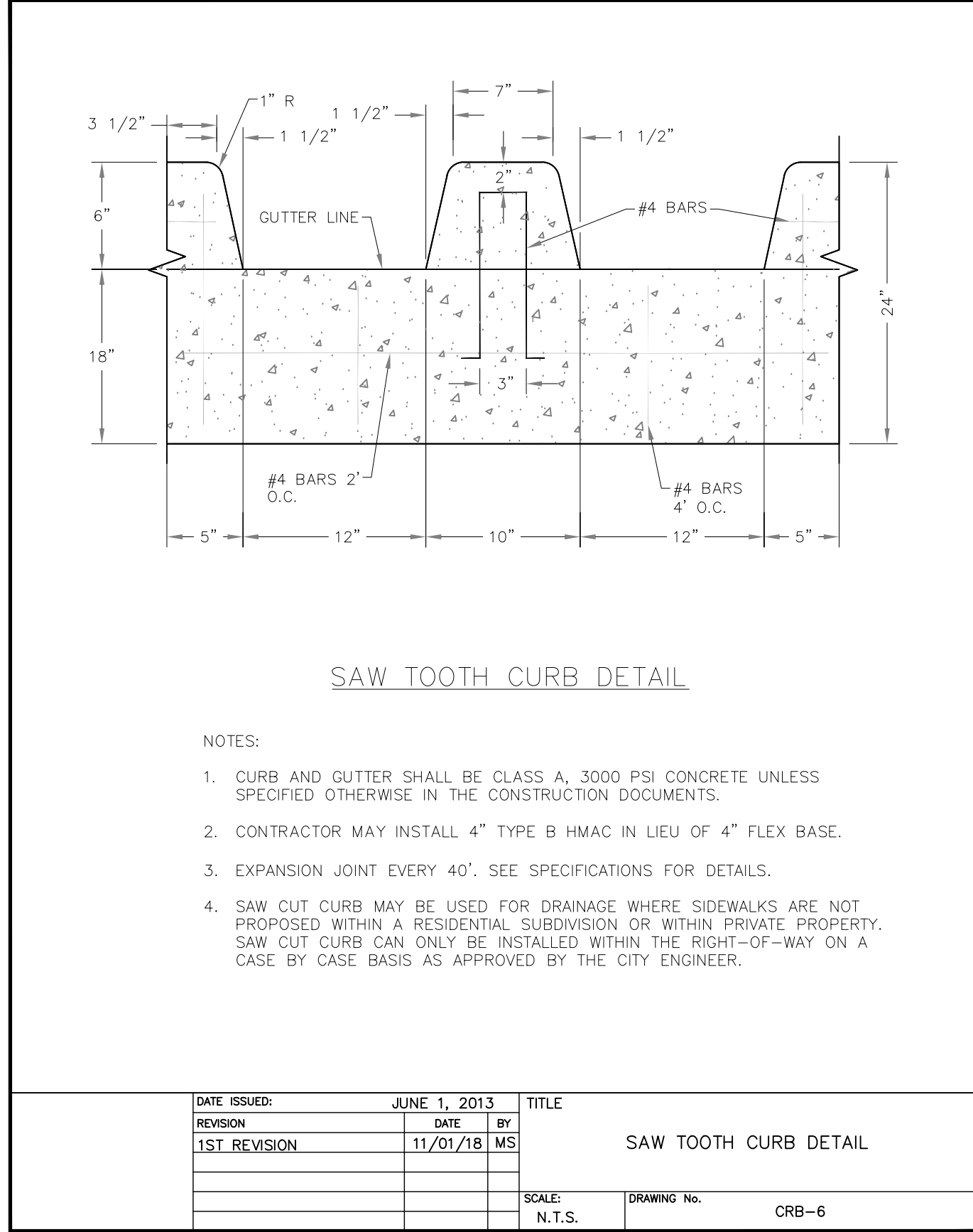
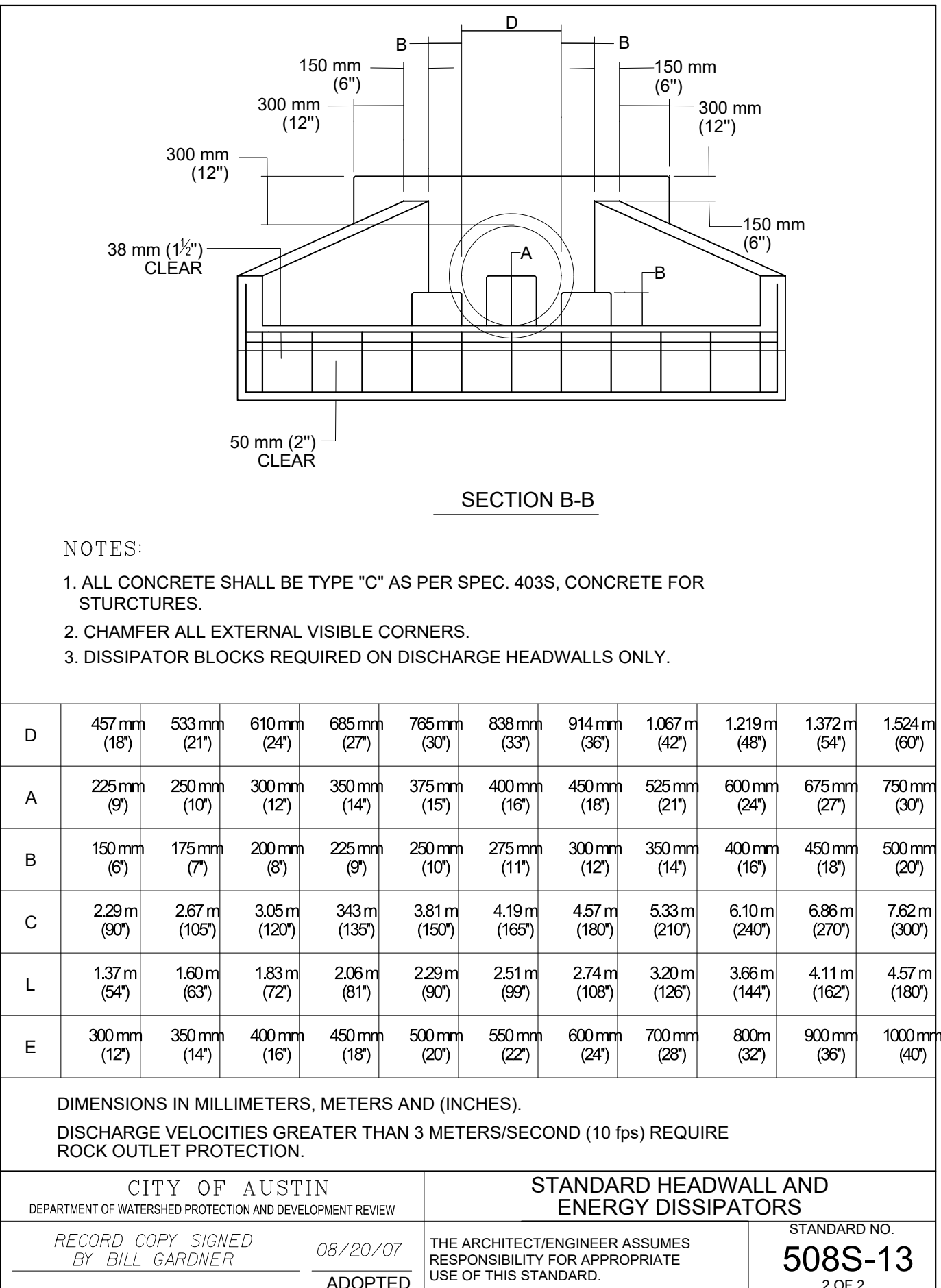
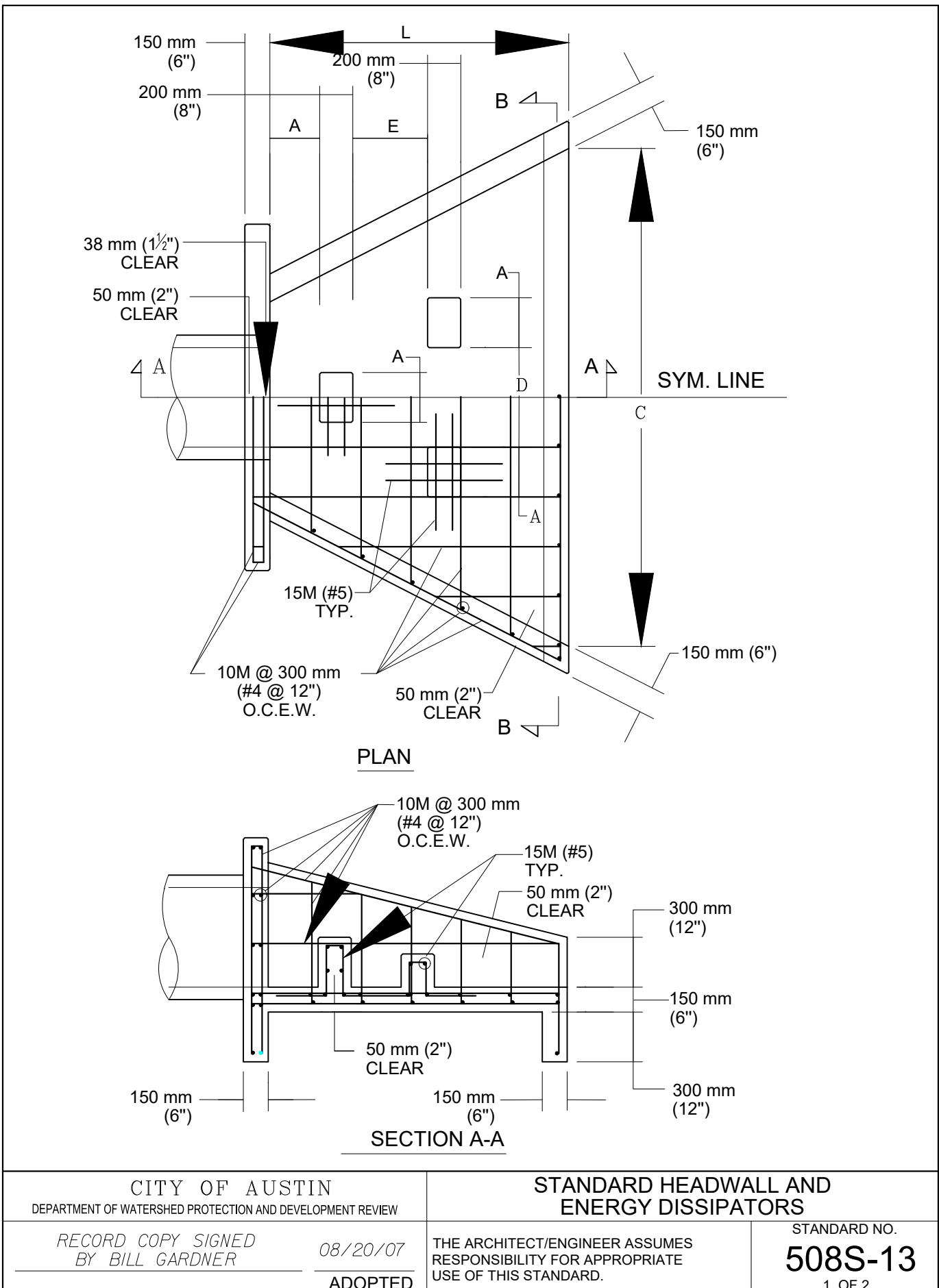
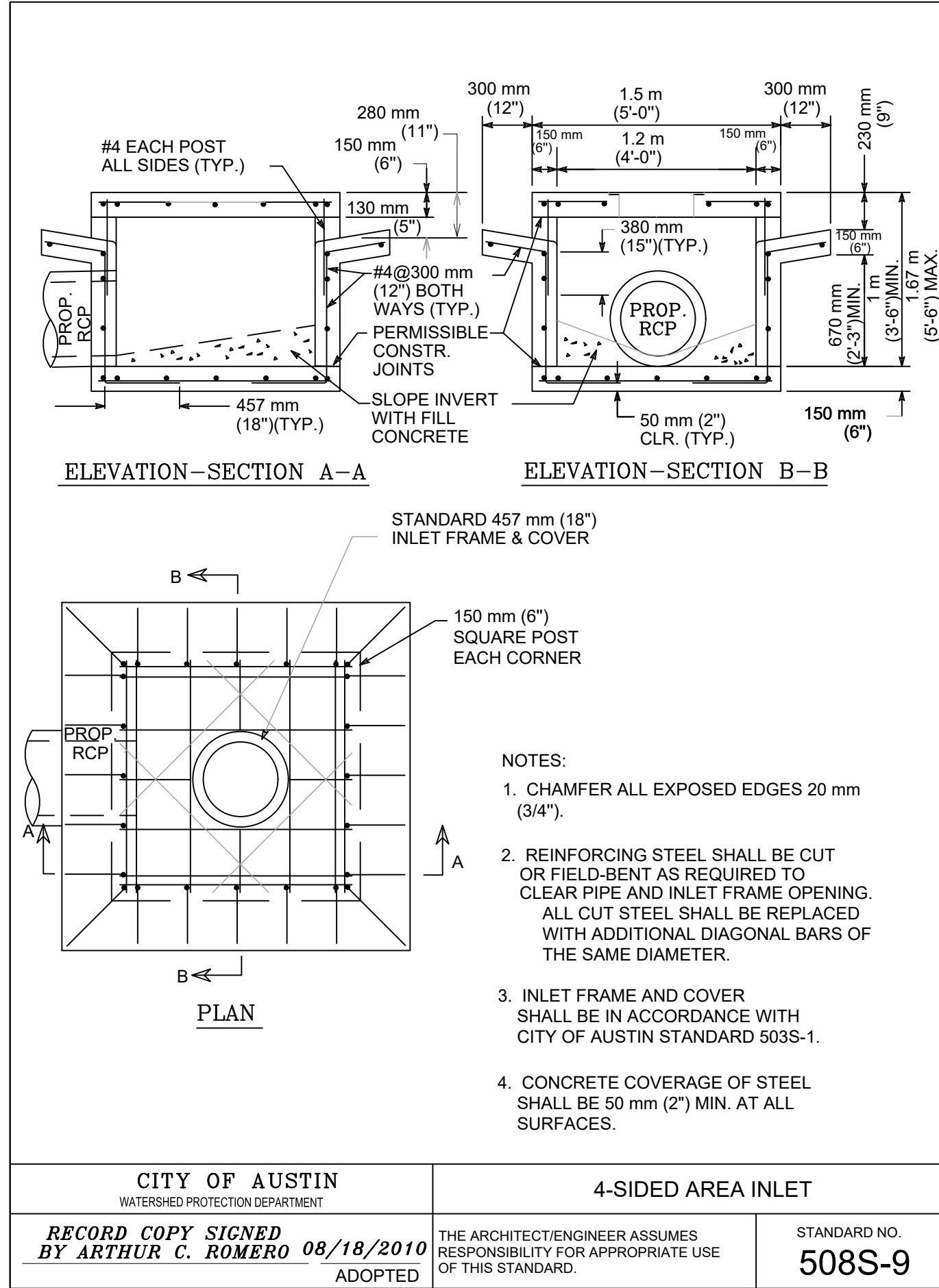
NOTES	NAME	DATE

SURVEY BY		
DRAWN BY	AH	08/21
DESIGNED BY	LWM	08/21
CHECKED BY	GE	08/21
REVIEWED BY	PS	09/21

PV501 22 OF 49

4/12/2023 5:20 PM

JUDY WILLIG



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CITY OF ROLLINGWOOD, TEXAS

CITY OF ROLLINGWOOD NIXON/PLEASANT DRAINAGE IMPROVEMENTS

DRAINAGE DETAILS 1 OF 12

ROLLINGWOOD TEXAS

K-FRIESE + ASSOCIATES

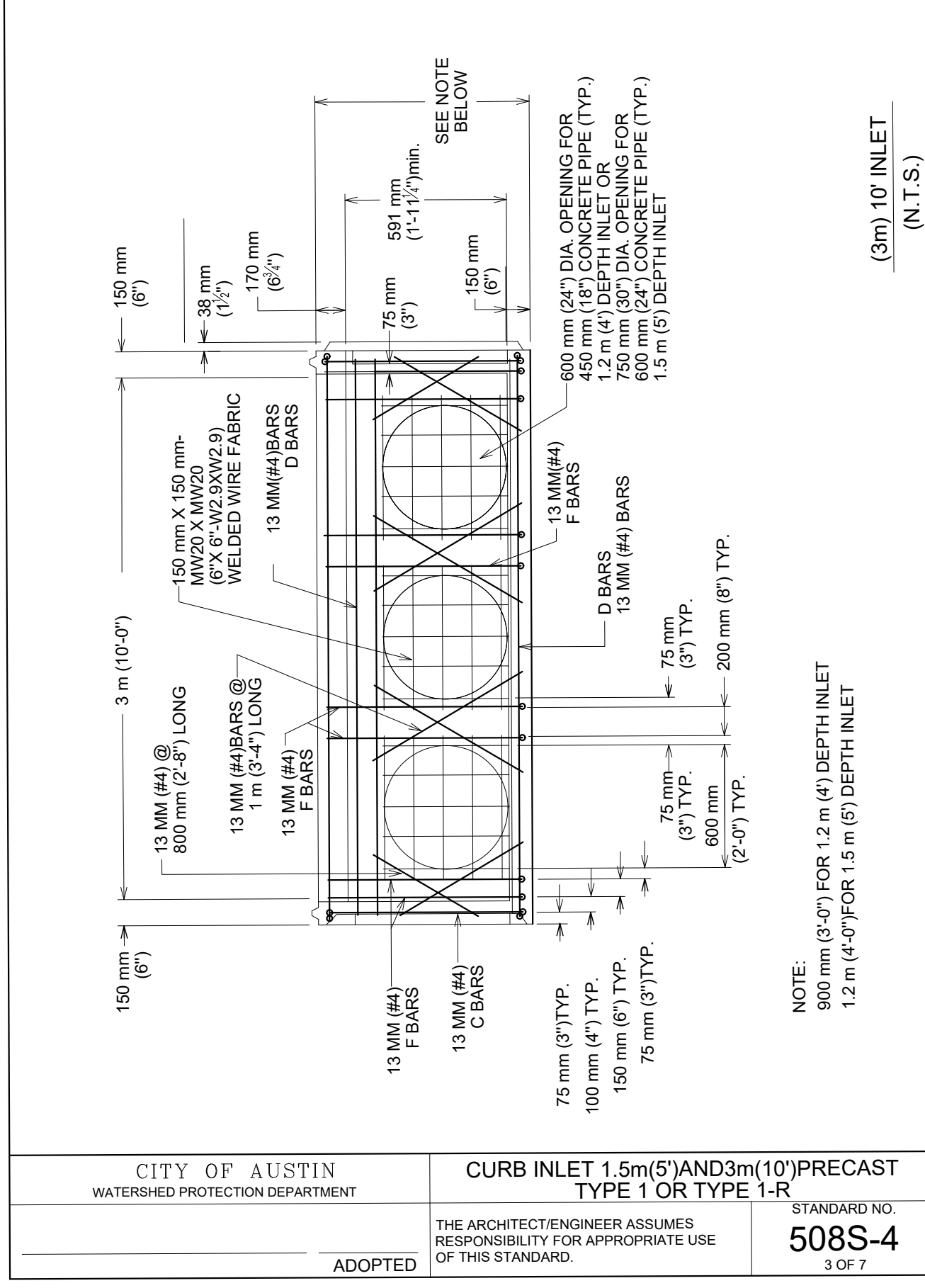
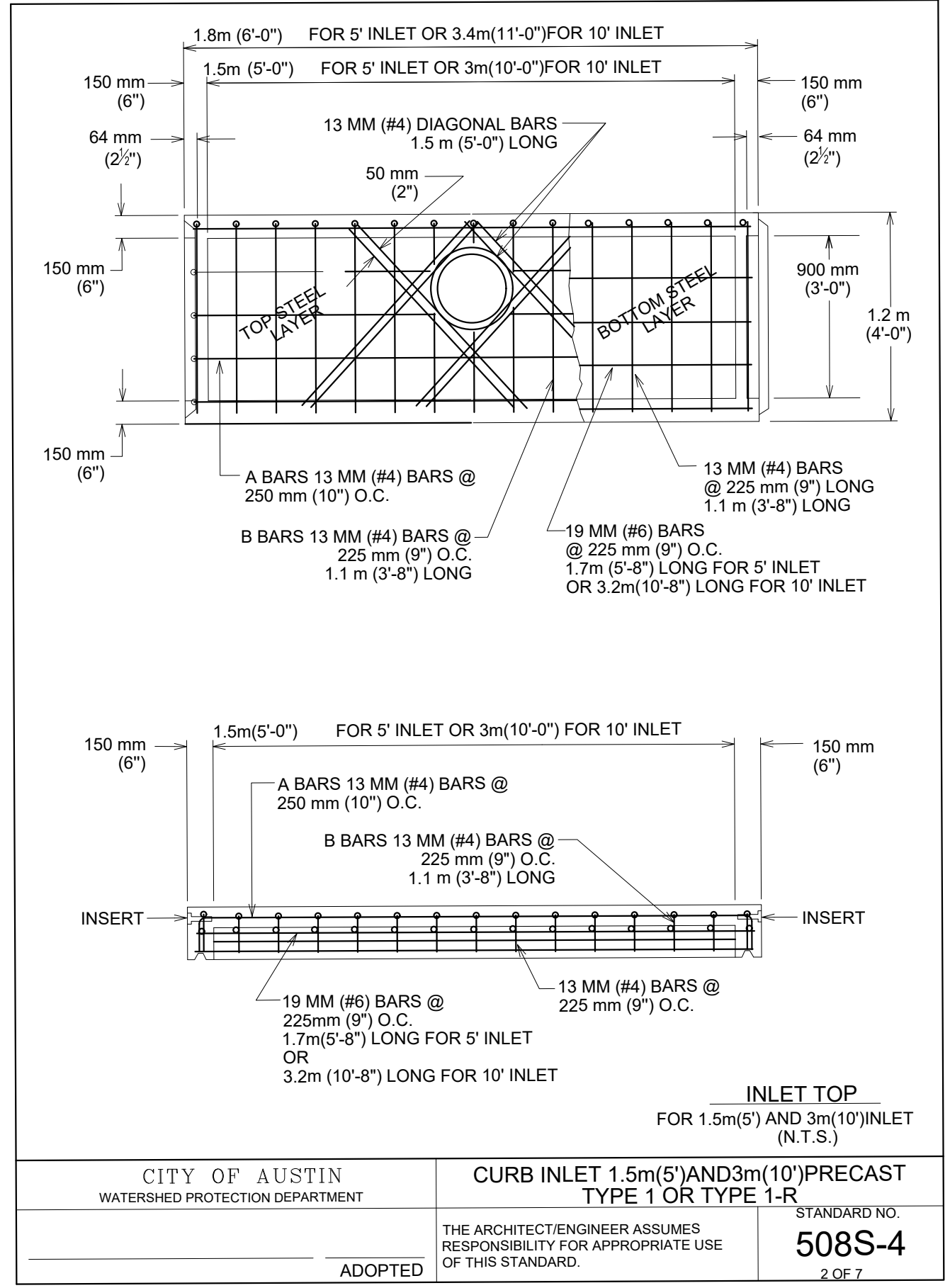
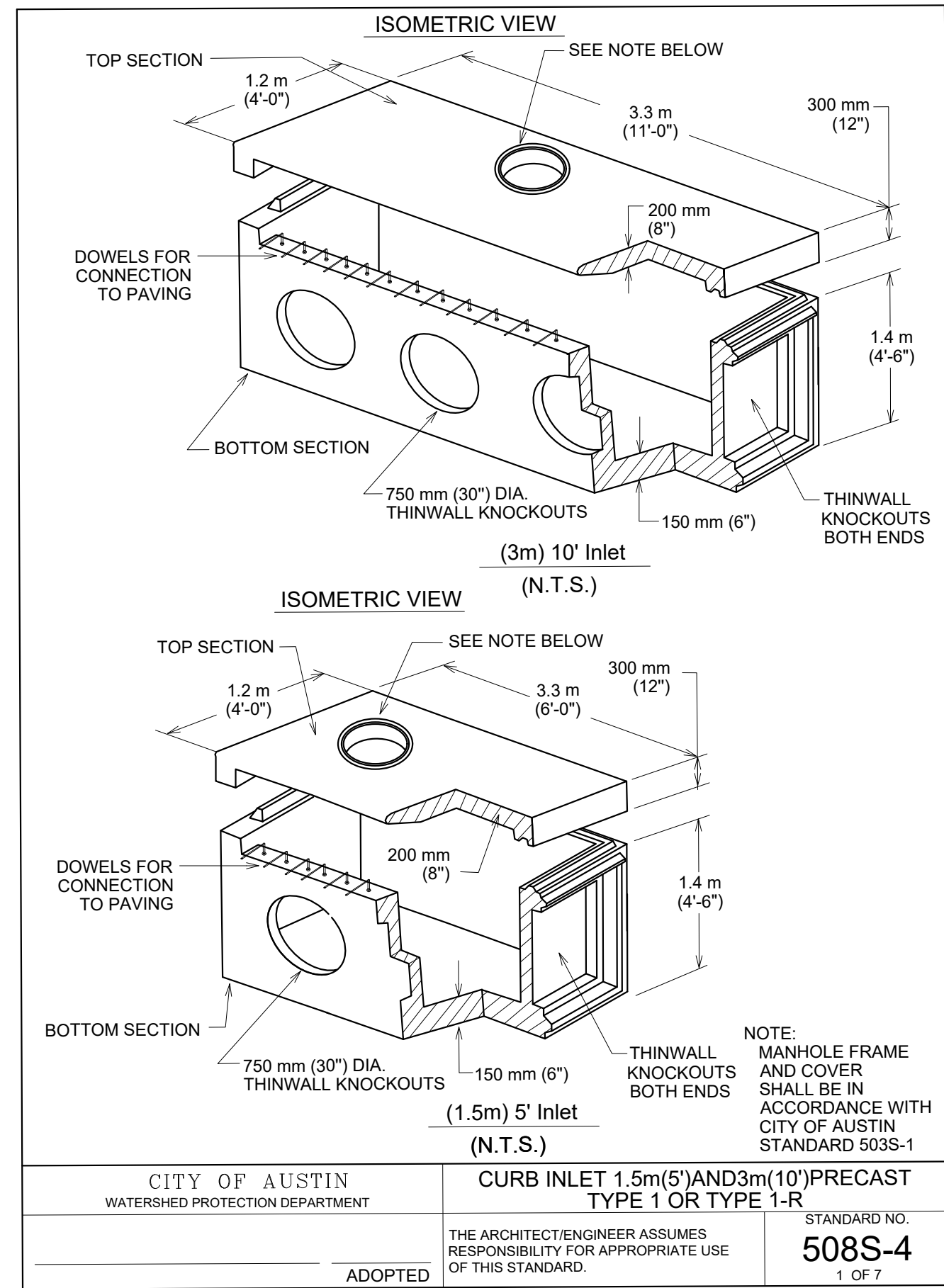
PUBLIC PROJECT ENGINEERING

1120 S. Capital of Texas Highway
CityView 2, Suite 100
Austin, Texas 78746
P - 512.338.1704 F - 512.338.1784
TYPE Firm #6535
www.kfrieese.com

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DESIGNED BY	LWM	08/21
CHECKED BY	GE	08/21
REVIEWED BY	PS	09/21

SD501 24 OF 49

JUDY WILLIG



- NOTES:**
- CONCRETE CURB AND GUTTER SECTION (DETAIL 430S-2)
 - REFER TO GRADING PLAN SHEET FOR LOCATIONS WITH 8-INCH CURB HEIGHTS.
 - GUTTER WIDTH TO MATCH EXISTING WIDTHS.

REV. NO.	REV. BY	DATE	REVISION DESCRIPTION

100% SUBMITTAL

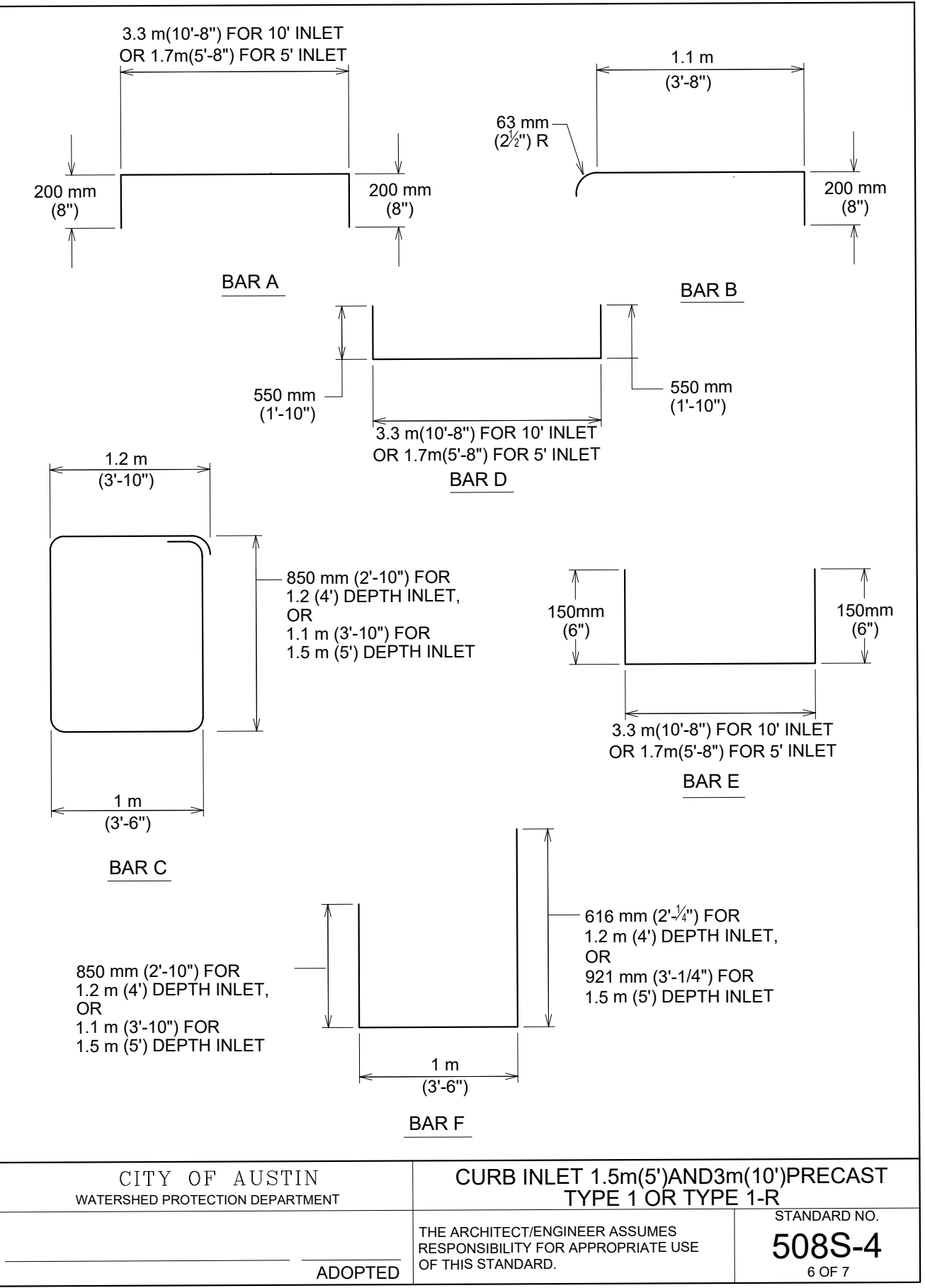
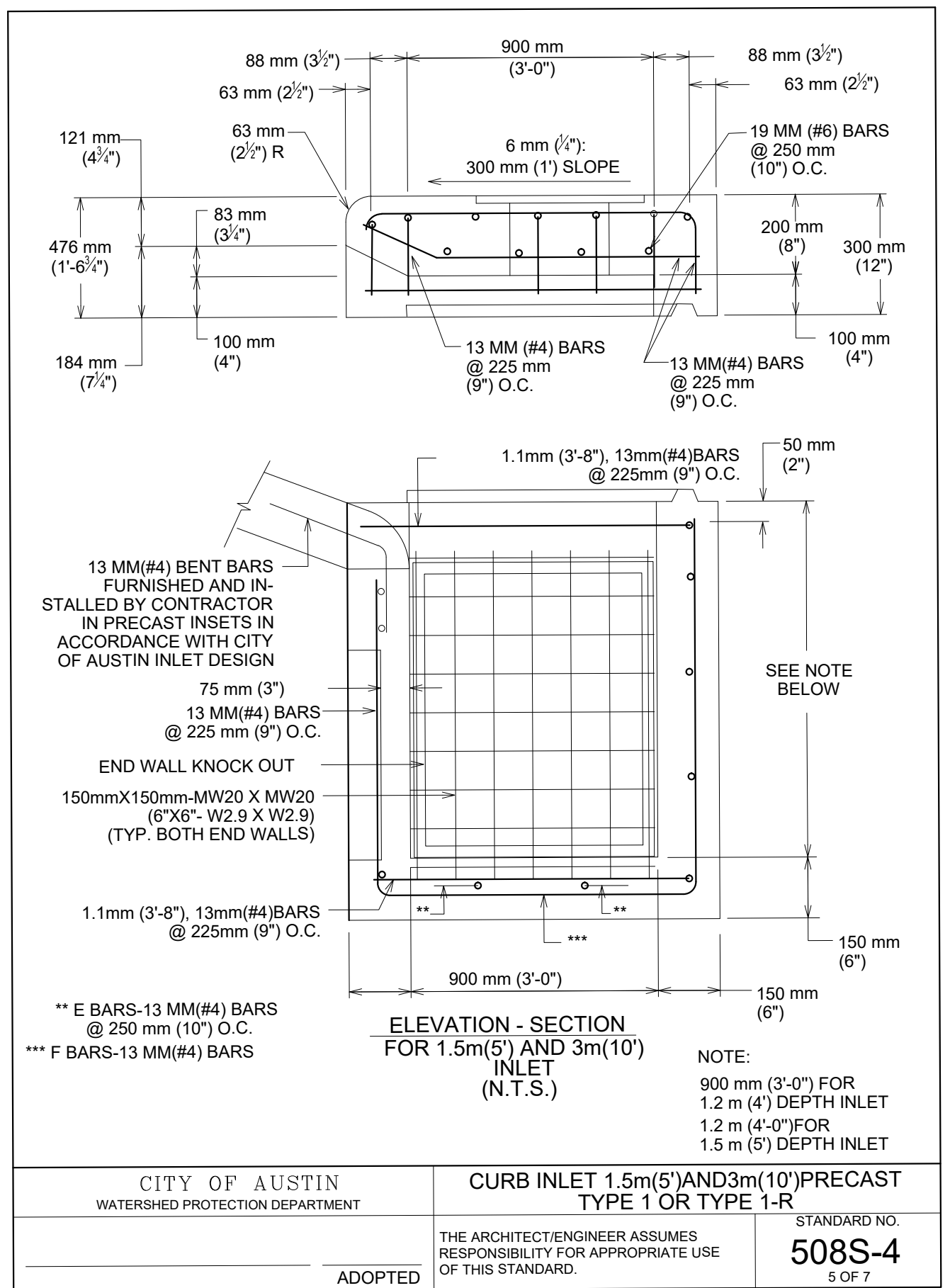
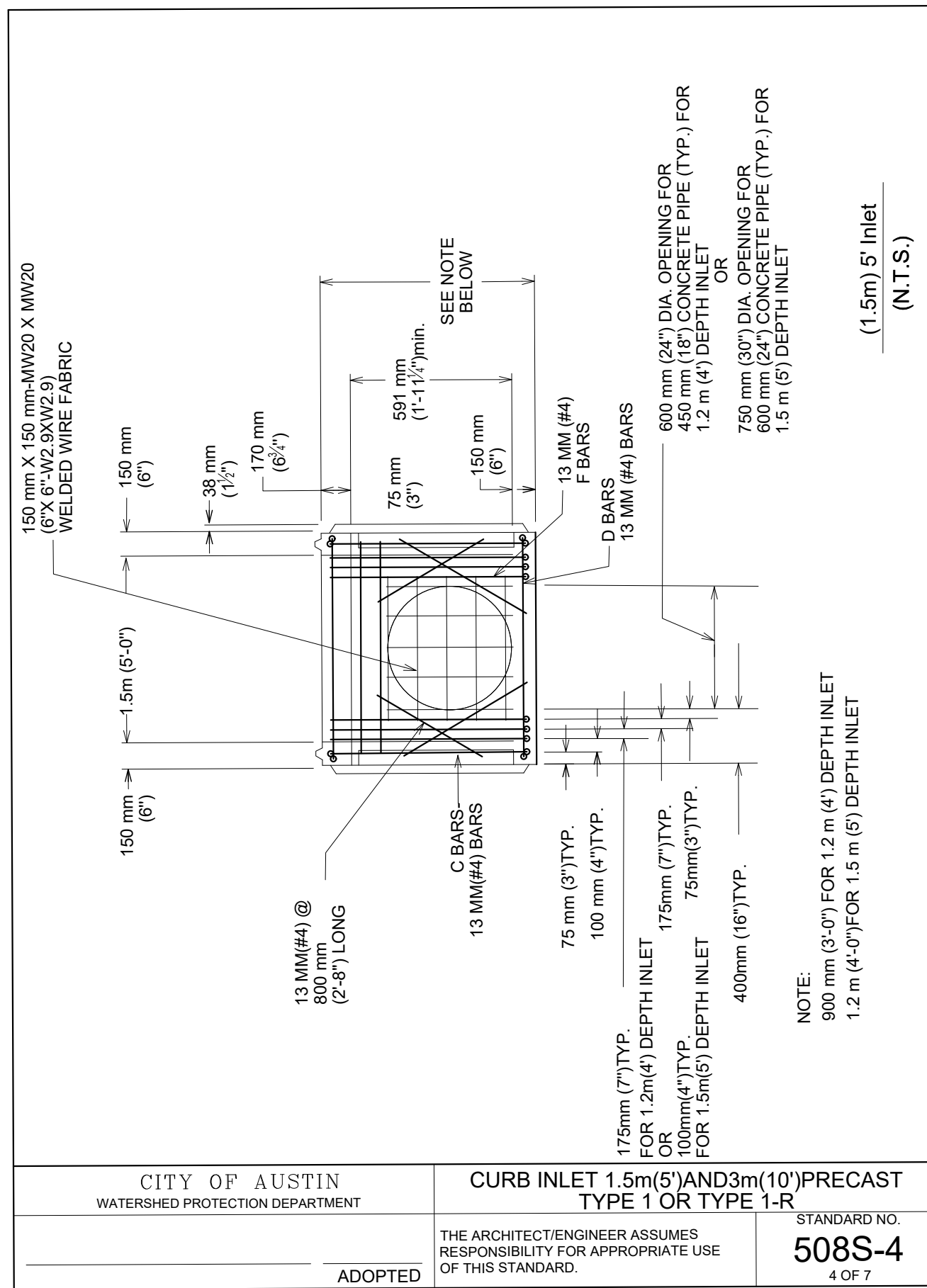
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CITY OF ROLLINGWOOD, TEXAS

**CITY OF ROLLINGWOOD
NIXON/PLEASANT DRAINAGE IMPROVEMENTS**

**DRAINAGE DETAILS
2 OF 12**



ROLLINGWOOD TEXAS		
K-FRIESE + ASSOCIATES		
PUBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway Austin, Texas 78746 P: 512.338.1704 F: 512.338.1784 TYPE Firm #6535 www.kfriese.com		
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DESIGNED BY	GE	08/21
CHECKED BY	PS	09/21
SD502	25 OF 49	

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TABLE OF DIMENSIONS AND REINFORCING STEEL
(Wings for one structure end)

Maximum Wingwall Height Hw	Dimensions				Variable Reinforcing				Estimated Quantities per ft of wing length (2~wings)	
	W	X	Y	Z	Bars J1		Bars J2			
					Size	Spa	Size	Spa		
2'-6"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	33.73	0.248
3'-0"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	37.07	0.261
3'-6"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	37.74	0.273
4'-0"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	38.41	0.285
4'-6"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	41.75	0.330
5'-0"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	45.09	0.343
5'-6"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	45.75	0.355
6'-0"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	46.42	0.367
7'-0"	3'-8"	1'-9"	1'-3"	7"	#4	1'-0"	#4	1'-0"	52.77	0.414
8'-0"	4'-2"	2'-0"	1'-6"	8"	#5	1'-0"	#4	1'-0"	60.19	0.486
9'-0"	4'-8"	2'-3"	1'-9"	8"	#4	6"	#4	6"	81.49	0.535
10'-0"	5'-2"	2'-6"	2'-0"	8"	#5	6"	#4	6"	97.25	0.584
11'-0"	5'-8"	2'-9"	2'-3"	8"	#6	6"	#5	6"	133.65	0.634
12'-0"	6'-2"	3'-0"	2'-6"	9"	#7	6"	#5	6"	162.29	0.721
13'-0"	6'-8"	3'-3"	2'-9"	11"	#7	6"	#5	6"	178.80	0.856
14'-0"	7'-2"	3'-6"	3'-0"	1'-0"	#8	6"	#5	6"	216.78	0.959
15'-0"	7'-8"	4'-0"	3'-0"	1'-1"	#9	6"	#6	6"	283.06	1.068
16'-0"	8'-2"	4'-6"	3'-0"	1'-3"	#9	6"	#6	6"	297.02	1.234

TABLE OF WINGWALL REINFORCING
(2~wings)

Bar	Size	No.	Spa
D	#5	~	1'-0"
E	#4	~	1'-0"
F	#4	~	1'-0"
G	#6	4	~
M	#4	4	~
P	#4	~	1'-0"
R	#5	6	~
V	#4	~	1'-0"

TABLE OF ESTIMATED CULVERT TOEWALL QUANTITIES

Bar	Size	No.	Spa
L	#4	~	1'-6"
Q	#4	1	~
Reinf (Lb/Ft)			2.45
Conc (CY/Ft)			0.037

WING DIMENSION FORMULAS:

(All values are in feet.)

$Hw = H + T + C - 0.250'$
 $A = (Hw - 0.333') (SL)$
 $B = (A) \tan(30^\circ)$
 $Lw = (A) + \cosine(30^\circ)$

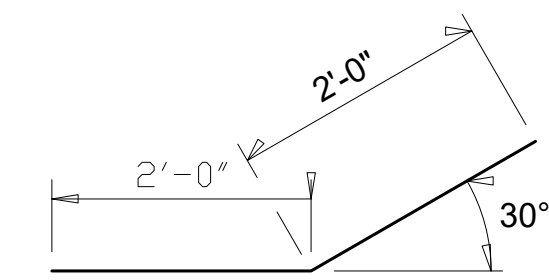
For cast-in-place culverts:
 $Ltw = (N) (S) + (N + 1) (U)$

For precast culverts:
 $Ltw = (N) (2U + S) + (N - 1) (0.5')$

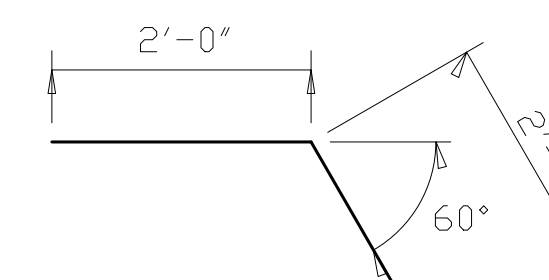
Total wingwall area (two wings ~ SF) = $(Hw + 0.333') (Lw)$

Hw = Height of wingwall
 SL:1 = Side slope ratio (horizontal:1 vertical)
 Lw = Length of wingwall
 Ltw = Culvert toewall length
 N = Number of culvert spans

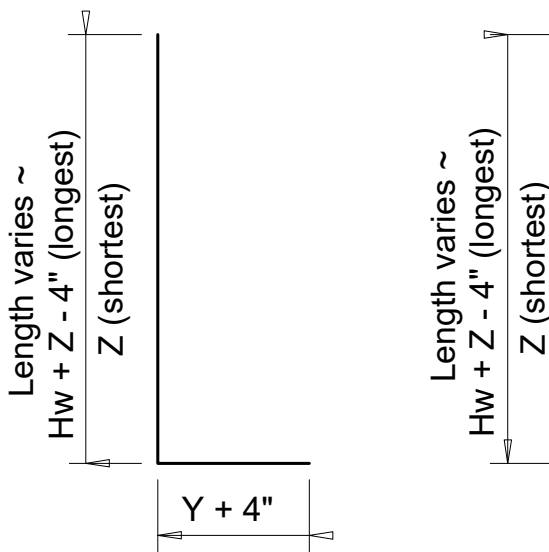
See applicable box culvert standard sheet for H, S, T, and U values.



BARS D

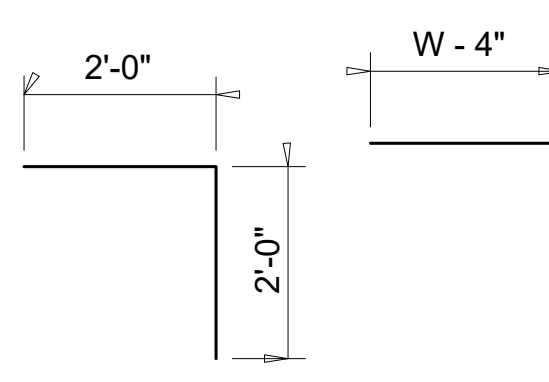


BARS R



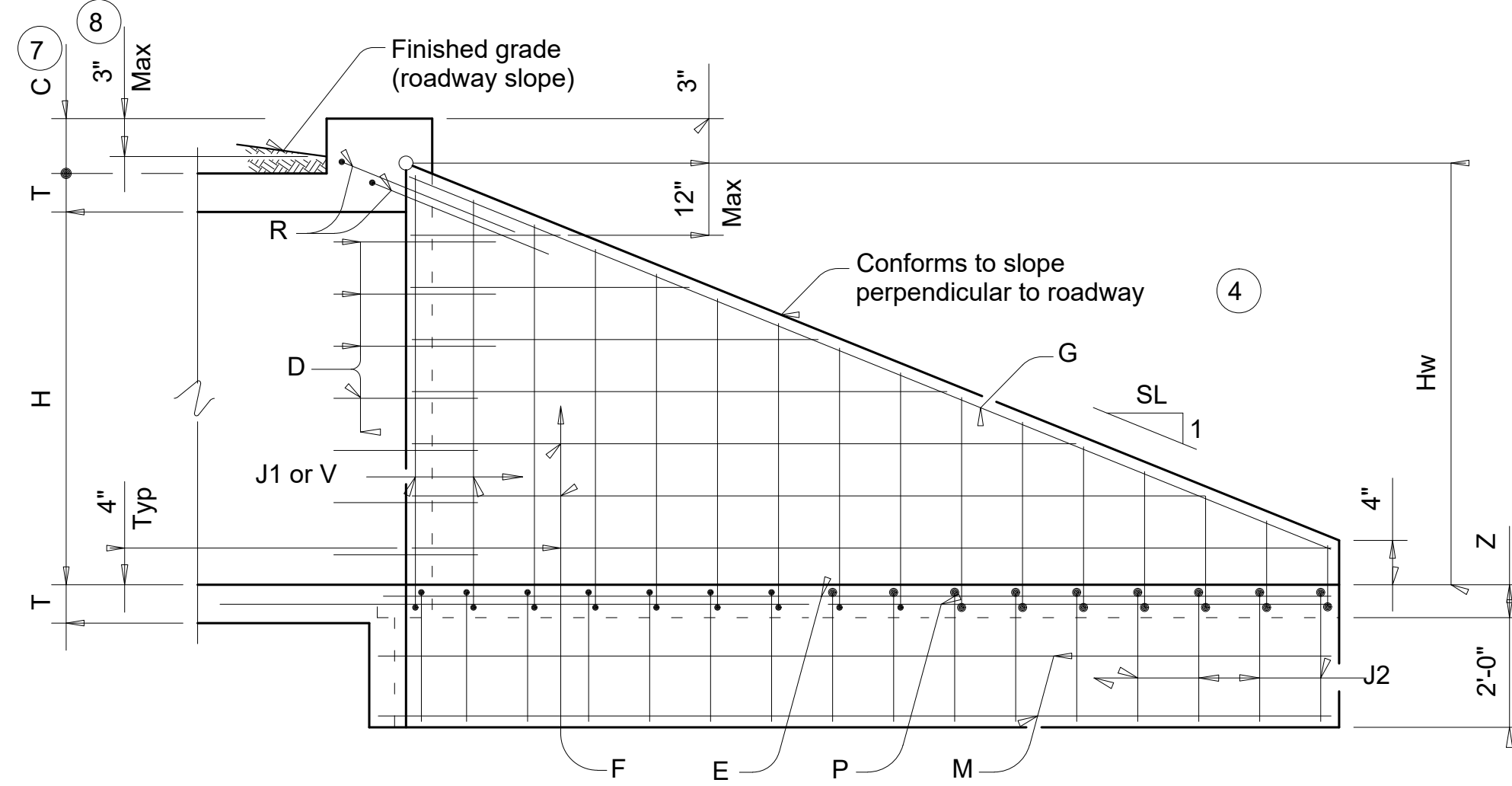
BARS J1

BARS V



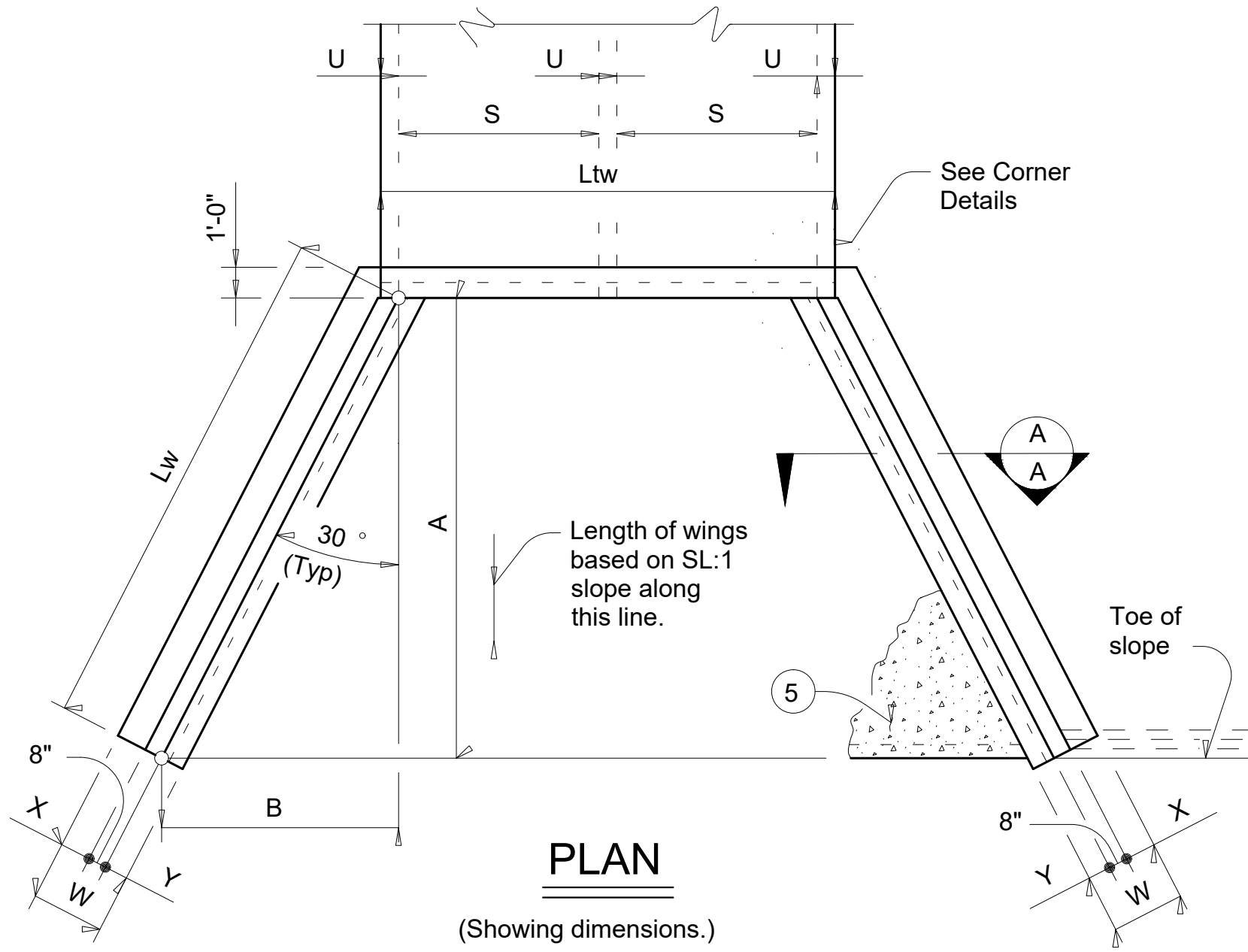
BARS L

BARS J2



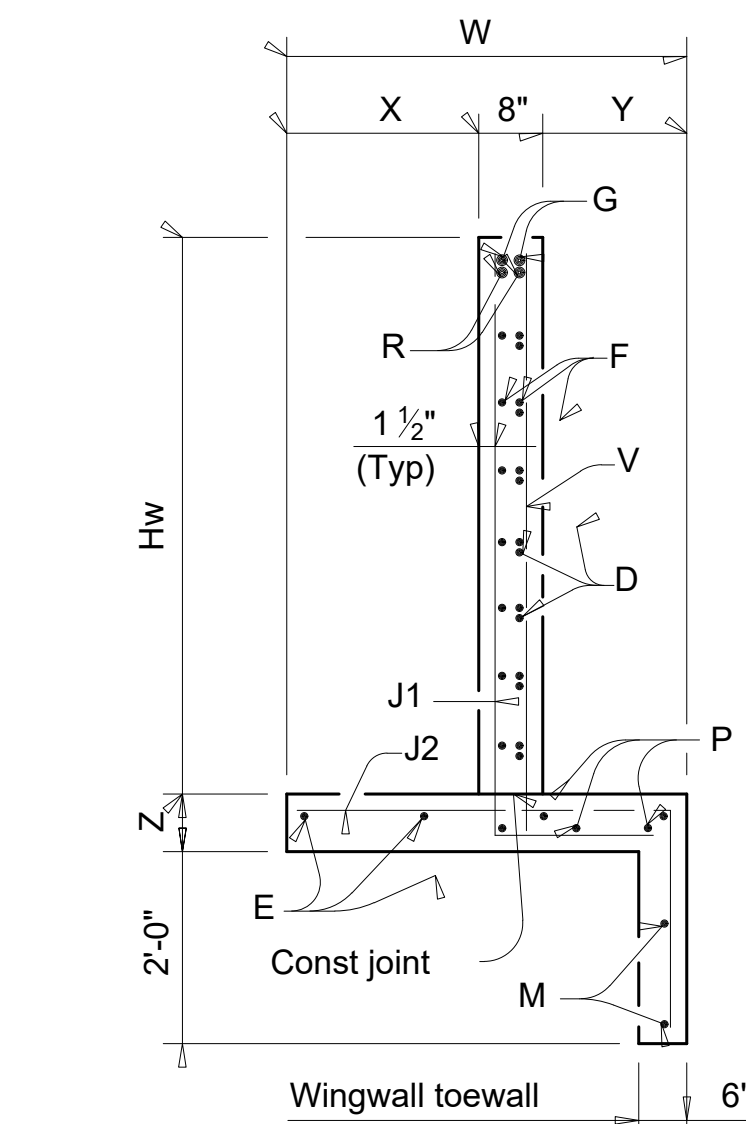
INSIDE ELEVATION

(Showing reinforcing. Culvert and culvert toewall reinforcing not shown for clarity.)

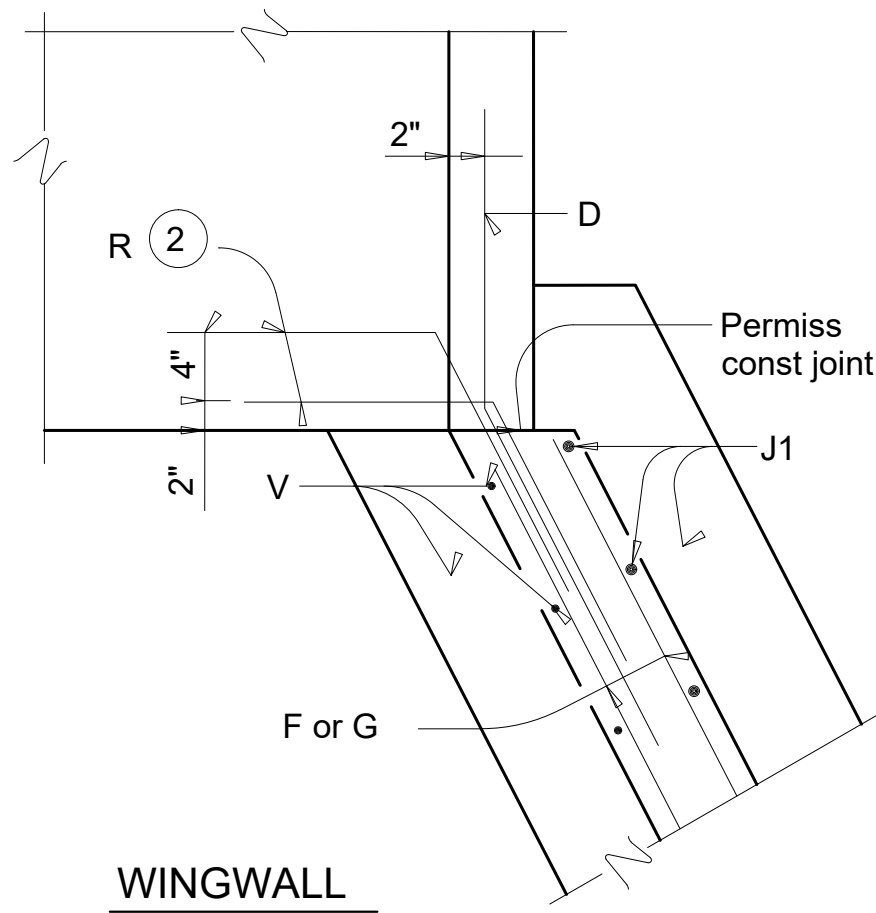


PLAN

(Showing dimensions.)



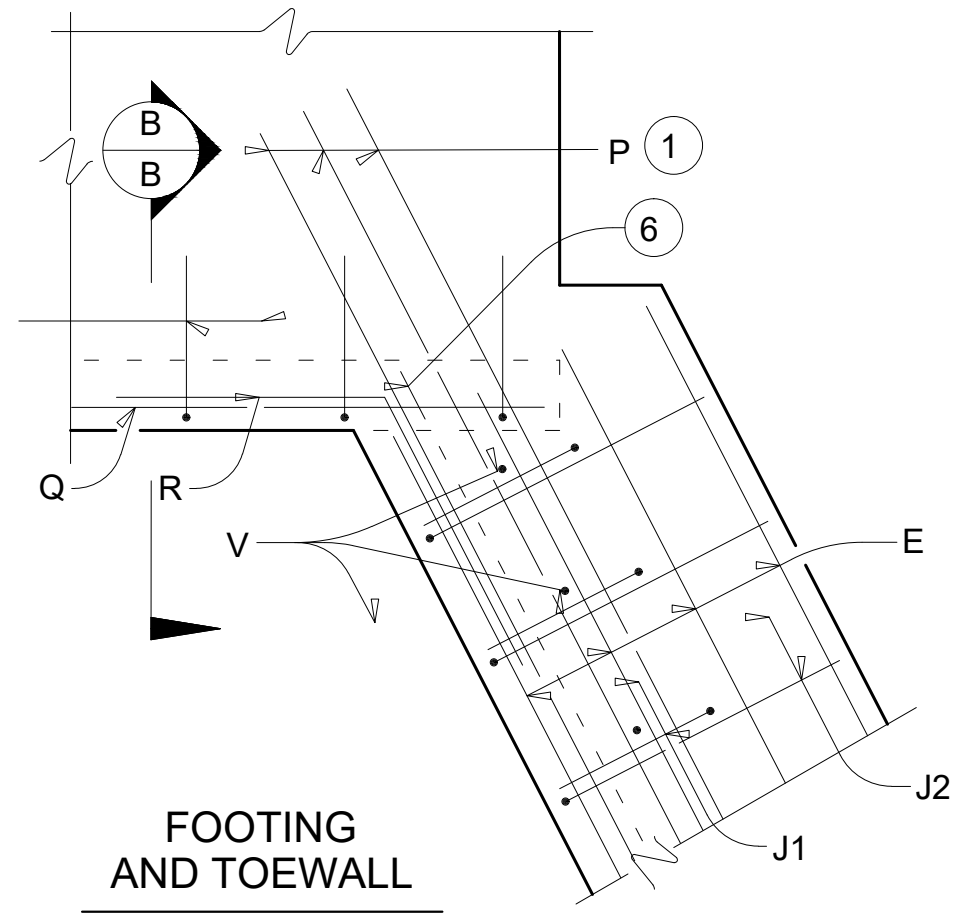
SECTION A-A



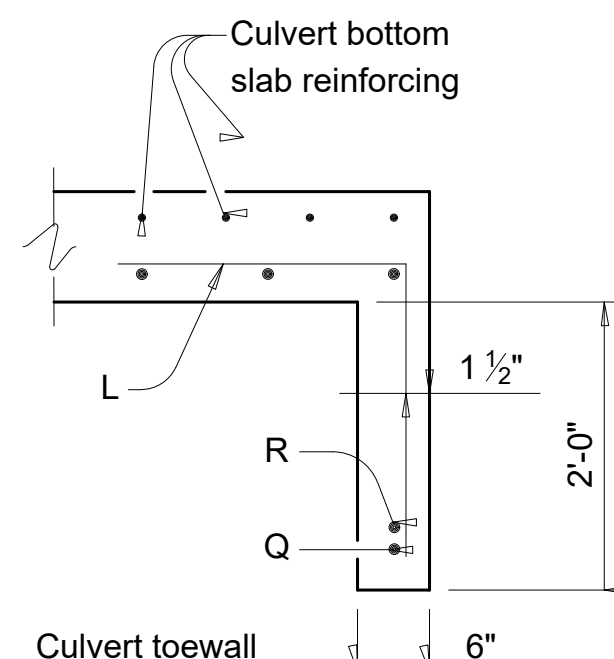
WINGWALL

CORNER DETAILS

(Culvert and culvert toewall reinforcing not shown for clarity.)



FOOTING AND TOEWALL



SECTION B-B

(5)

- Extend Bars P 3'-0" minimum into bottom slab of box culvert.
- Adjust as necessary to maintain 1 1/2" clear cover and 4" minimum between bars.
- Quantities shown are based on an average wing height for two wings (one structure end). To determine total quantities for two wings, multiply the tabulated values by Lw.
- Recommended values of side slope are: 2:1, 3:1, 4:1, and 6:1.
- When shown elsewhere on the plans, construct 5" deep concrete riprap; reinforce the toewall by extending typical riprap reinforcing into the toewall; and extend construction joints or grooved joints oriented in the direction of flow across the full distance of the riprap at intervals of approximately 20'. When such riprap is provided, the culvert toewall shown in SECTION B-B will not be required.
- At Contractor's option, culvert toewall may be ended flush with wingwall toewall. Adjust reinforcing as needed.
- 0" Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail or curbs taller than 1'-0", refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Box Culvert Rail Mounting Details (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.
- For vehicle safety, the following requirements must be met:
 - For structures without bridge rail, construct curbs no more than 3" above finished grade.
 - For structures with bridge rail, construct curbs flush with finished grade.
 Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.

MATERIAL NOTES:

Provide Class C concrete (fc=3,600 psi).
 Provide Grade 60 reinforcing steel.
 Provide galvanized reinforcing steel if required elsewhere in the plans.
 In riprap concrete synthetic fibers listed on the "Fibers for Concrete" Material Producer List (MPL) may be used in lieu of steel reinforcing unless noted otherwise.

GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications.
 When structure is founded on solid rock, depth of toewalls for culverts and wingwalls may be reduced or eliminated as directed by the Engineer.
 See Box Culvert Supplement (BCS) standard sheet for additional dimensions and information.
 The quantities for concrete and reinforcing steel resulting from the formulas given on this sheet are for Contractor's information only.

Cover dimensions are clear dimensions, unless noted otherwise. Reinforcing dimensions are out-to-out of bars.

Bridge Division Standard

CONCRETE WINGWALLS WITH FLARED WINGS FOR 0° SKEW BOX CULVERTS

FW-0

FILE: fw-0std-20.dgn	DN: GAF	CK: CAT	DW: TXDOT	CK: TXDOT
©TXDOT February 2020	CONT	SECT	JOB	HIGHWAY
REVISIONS				
DIST	COUNTY			SHEET NO.
				27 OF 49

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TABLE OF DIMENSIONS AND REINFORCING STEEL
(Wings for one structure end)

Maximum Wingwall Height Hw	Dimensions				Variable Reinforcing				Estimated Quantities per ft of wing length (2-wings)	
	W	X	Y	Z	Bars J1		Bars J2			
	Size	Spa	Size	Spa	Reinf (Lb/Ft)	Conc (CY/Ft)				
2'-6"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	33.73	0.248
3'-0"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	37.07	0.261
3'-6"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	37.74	0.273
4'-0"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	38.41	0.285
4'-6"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	41.75	0.330
5'-0"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	45.09	0.343
5'-6"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	45.75	0.355
6'-0"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	46.42	0.367
7'-0"	3'-8"	1'-9"	1'-3"	7"	#4	1'-0"	#4	1'-0"	52.77	0.414
8'-0"	4'-2"	2'-0"	1'-6"	8"	#5	1'-0"	#4	1'-0"	60.19	0.486
9'-0"	4'-8"	2'-3"	1'-9"	8"	#4	6"	#4	6"	81.49	0.535
10'-0"	5'-2"	2'-6"	2'-0"	8"	#5	6"	#4	6"	97.25	0.584
11'-0"	5'-8"	2'-9"	2'-3"	8"	#6	6"	#5	6"	133.65	0.634
12'-0"	6'-2"	3'-0"	2'-6"	9"	#7	6"	#5	6"	162.29	0.721
13'-0"	6'-8"	3'-3"	2'-9"	11"	#7	6"	#5	6"	178.80	0.856
14'-0"	7'-2"	3'-6"	3'-0"	1'-0"	#8	6"	#5	6"	216.78	0.959
15'-0"	7'-8"	4'-0"	3'-0"	1'-1"	#9	6"	#6	6"	283.06	1.068
16'-0"	8'-2"	4'-6"	3'-0"	1'-3"	#9	6"	#6	6"	297.02	1.234

TABLE OF WINGWALL REINFORCING
(2-wings)

Bar	Size	No.	Spa
D	#5	~	1'-0"
E	#4	~	1'-0"
F	#4	~	1'-0"
G	#6	4	~
M	#4	4	~
P	#4	~	1'-0"
R	#5	6	~
V	#4	~	1'-0"

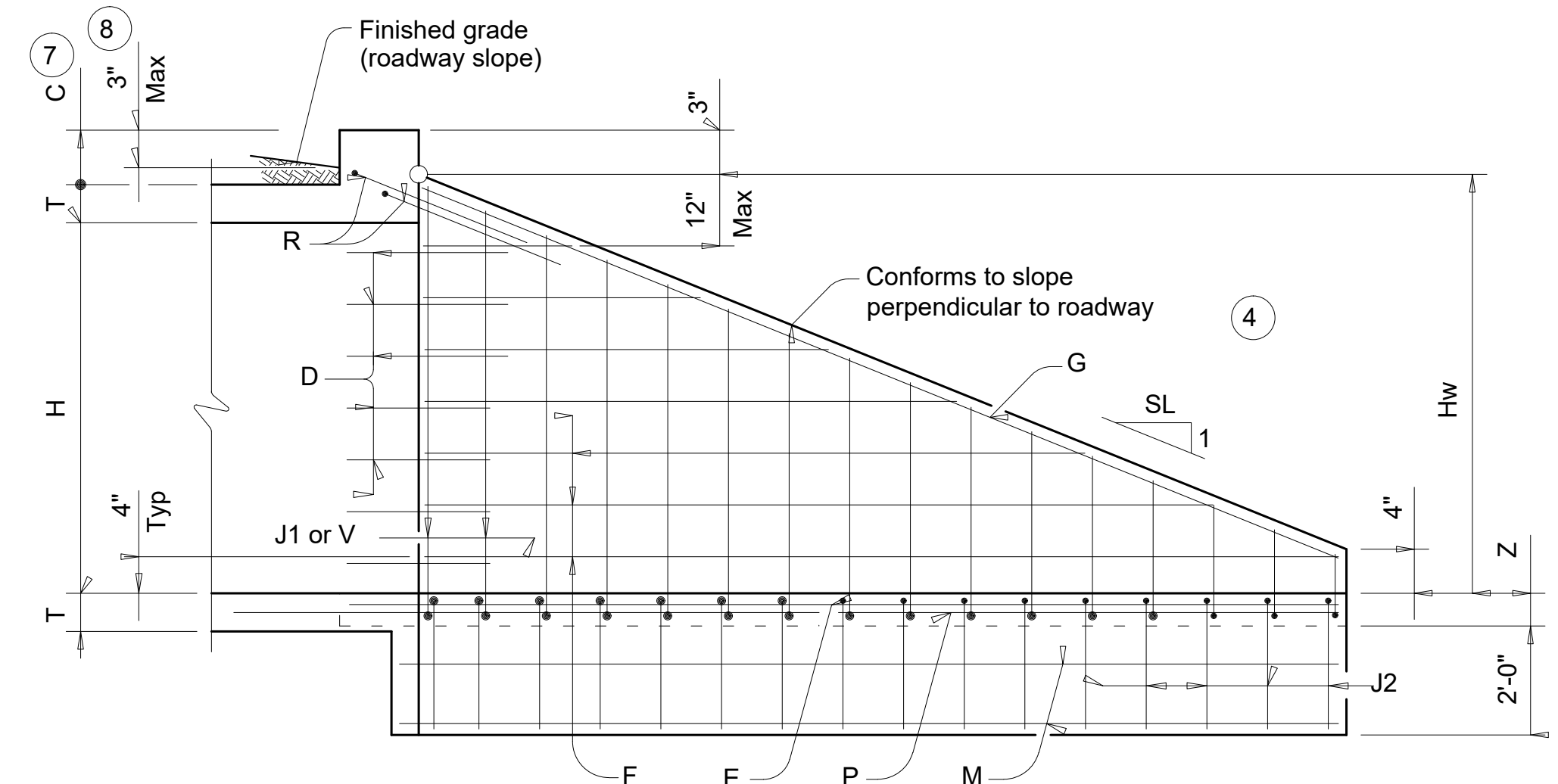
TABLE OF ESTIMATED CULVERT TOEWALL QUANTITIES

Bar	Size	No.	Spa
L	#4	~	1'-6"
Q	#4	1	~
Reinf (Lb/Ft)			2.45
Conc (CY/Ft)			0.037

WING DIMENSION FORMULAS:
(All values are in feet.)
Hw = H + T + C - 0.250'
Lw = (Hw - 0.333') (SL)
For cast-in-place culverts:
Ltw = (N) (S) + (N + 1) (U)
For precast culverts:
Ltw = (N) (2U + S) + (N - 1) (0.5')
Total Wingwall Area (two wings ~ SF) = (Hw + 0.333') (Lw)

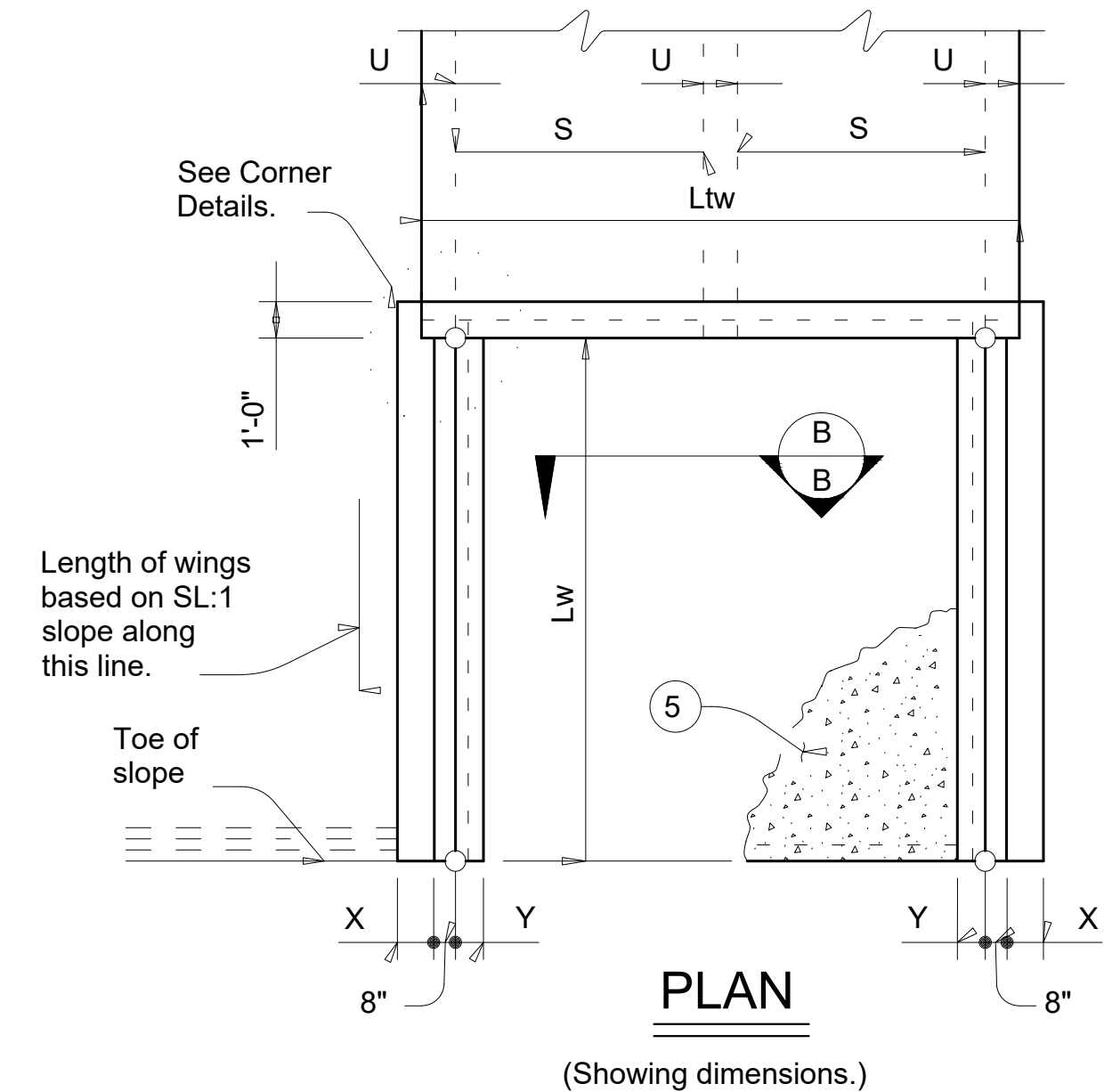
Hw = Height of wingwall
SL:1 = Side slope ratio (horizontal:1 vertical)
Lw = Length of wingwall
Ltw = Culvert toewall length
N = Number of culvert spans
See applicable box culvert standard sheet for H, S, T, and U values.

- Extend Bars P 3'-0" minimum into bottom slab of box culvert.
- Adjust as necessary to maintain 1 1/2" clear cover and 4" minimum between bars.
- Quantities shown are based on an average wing height for two wings (one structure end). To determine total quantities for two wings, multiply the tabulated values by Lw.
- Recommended values of side slope are: 2:1, 3:1, 4:1, and 6:1.
- When shown elsewhere on the plans, construct 5" deep concrete riprap. Payment for riprap is as required by Item 432, "Riprap". Unless otherwise shown on the plans or directed by the Engineer, provide a 6" wide by 1'-6" deep reinforced concrete toewall along all edges of the riprap adjacent to natural ground; reinforce the toewall by extending typical riprap reinforcing into the toewall; and extend construction joints or grooved joints oriented in the direction of flow across the full distance of the riprap at intervals of approximately 20'. When such riprap is provided, the culvert toewall shown in SECTION B-B will not be required.
- At Contractor's option, culvert toewall may be ended flush with wingwall toewall. Adjust reinforcing as needed.
- 0" Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail or curbs taller than 1'-0", refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Box Culvert Rail Mounting Details (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.
- For vehicle safety, the following requirements must be met:
 - For structures without bridge rail, construct curbs no more than 3" above finished grade.
 - For structures with bridge rail, construct curbs flush with finished grade.
 Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.



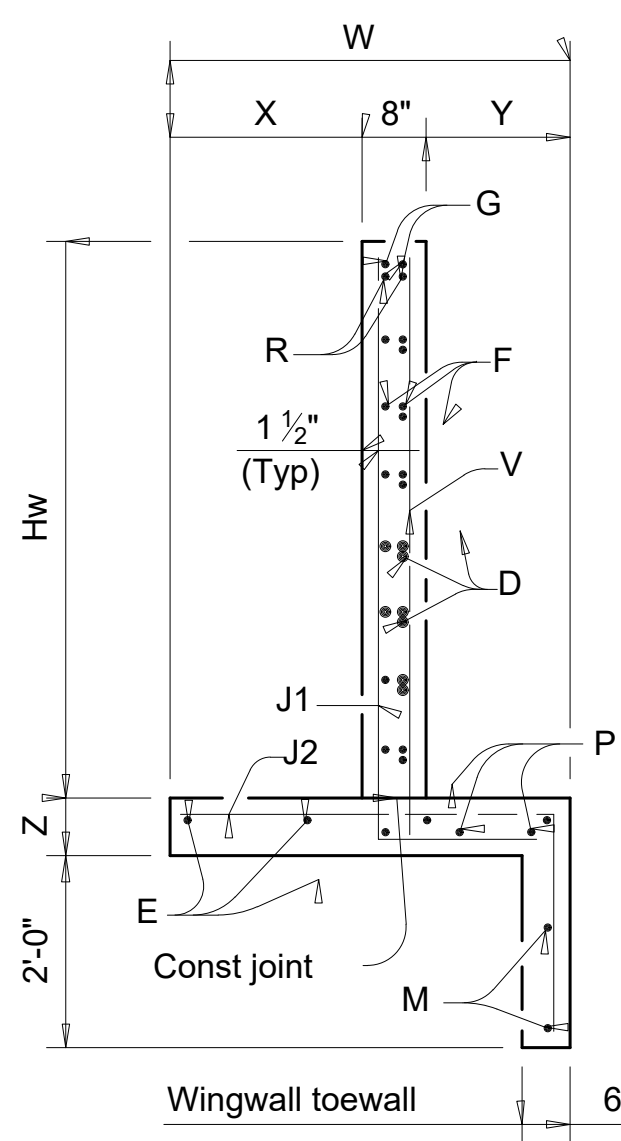
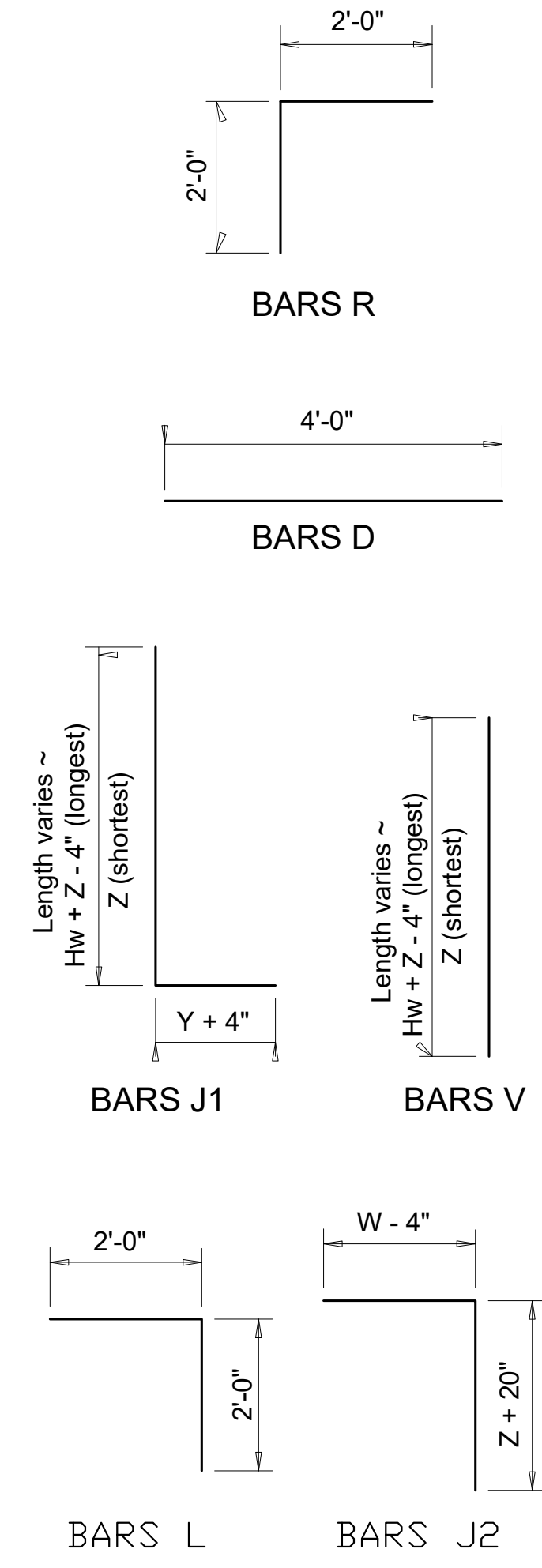
INSIDE ELEVATION

(Showing reinforcing. Culvert and culvert toewall reinforcing not shown for clarity.)

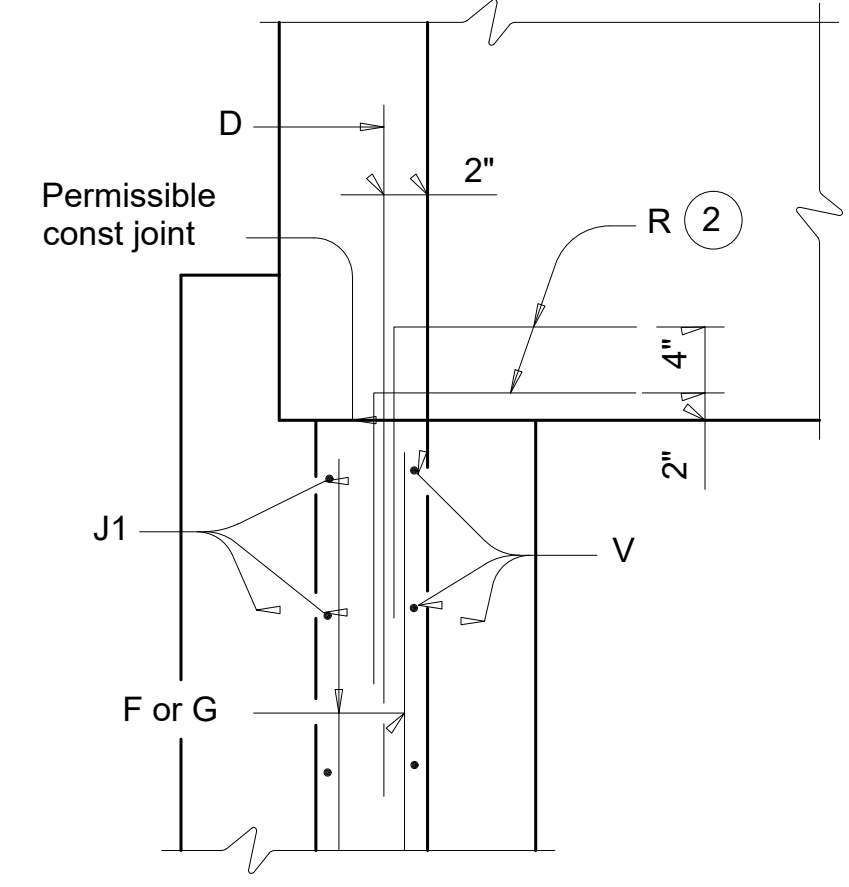


PLAN

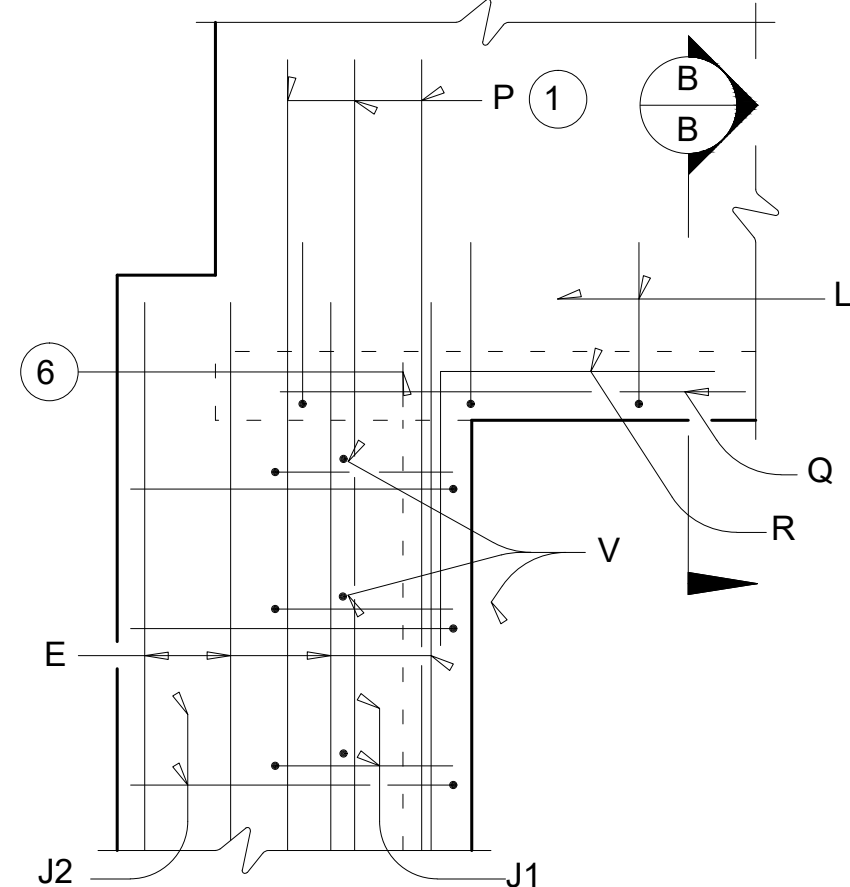
(Showing dimensions.)



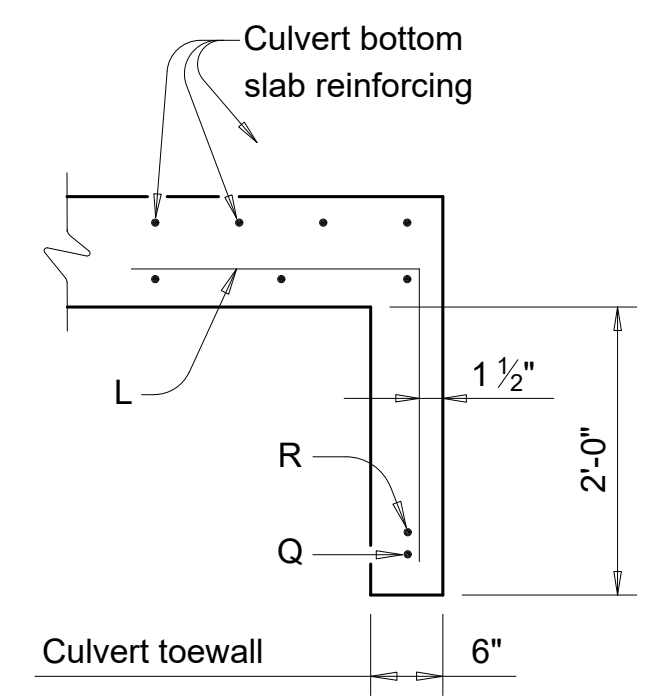
SECTION A-A



WINGWALL



FOOTING AND TOEWALL



SECTION B-B

MATERIAL NOTES:
Provide Class C concrete (fc=3,600 psi).
Provide Grade 60 reinforcing steel.
Provide galvanized reinforcing steel if required elsewhere in the plans.
In riprap concrete, synthetic fibers listed on the "Fibers for Concrete" Material Producer List (MPL) may be used in lieu of steel reinforcing unless noted otherwise.

GENERAL NOTES:
Designed according to AASHTO LRFD Bridge Design Specifications.
When structure is founded on solid rock, depth of toewalls for culverts and wingwalls may be reduced or eliminated as directed by the Engineer.
See Box Culvert Supplement (BCS) standard sheet for additional dimensions and information.
The quantities for concrete and reinforcing steel resulting from the formulas given on this sheet are for Contractor's information only.

Cover dimensions are clear dimensions, unless noted otherwise.
Reinforcing dimensions are out-to-out of bars.

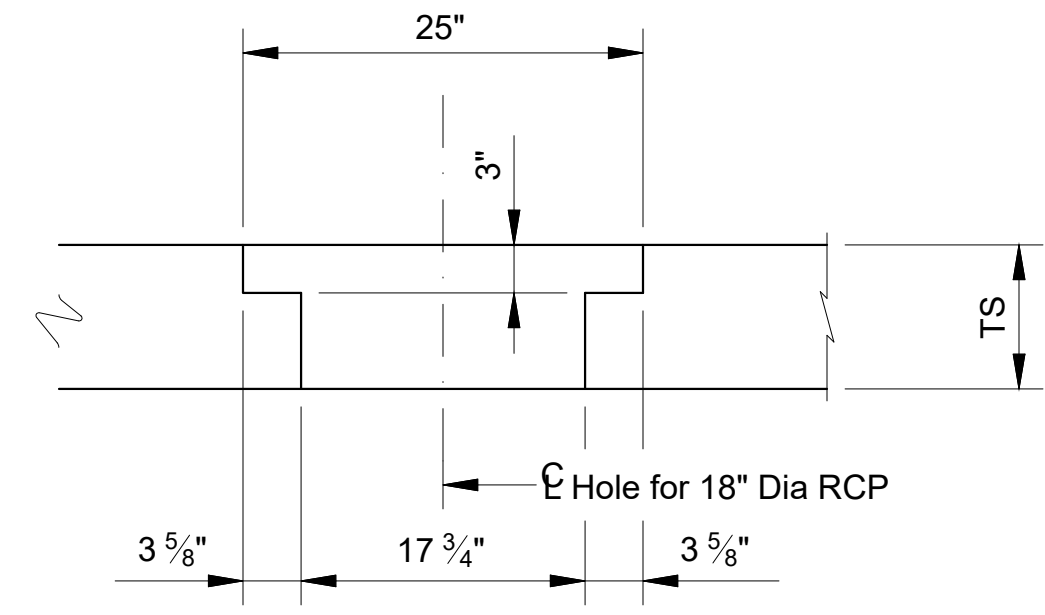
Bridge Division Standard

CONCRETE WINGWALLS WITH STRAIGHT WINGS FOR 0° SKEW BOX CULVERTS

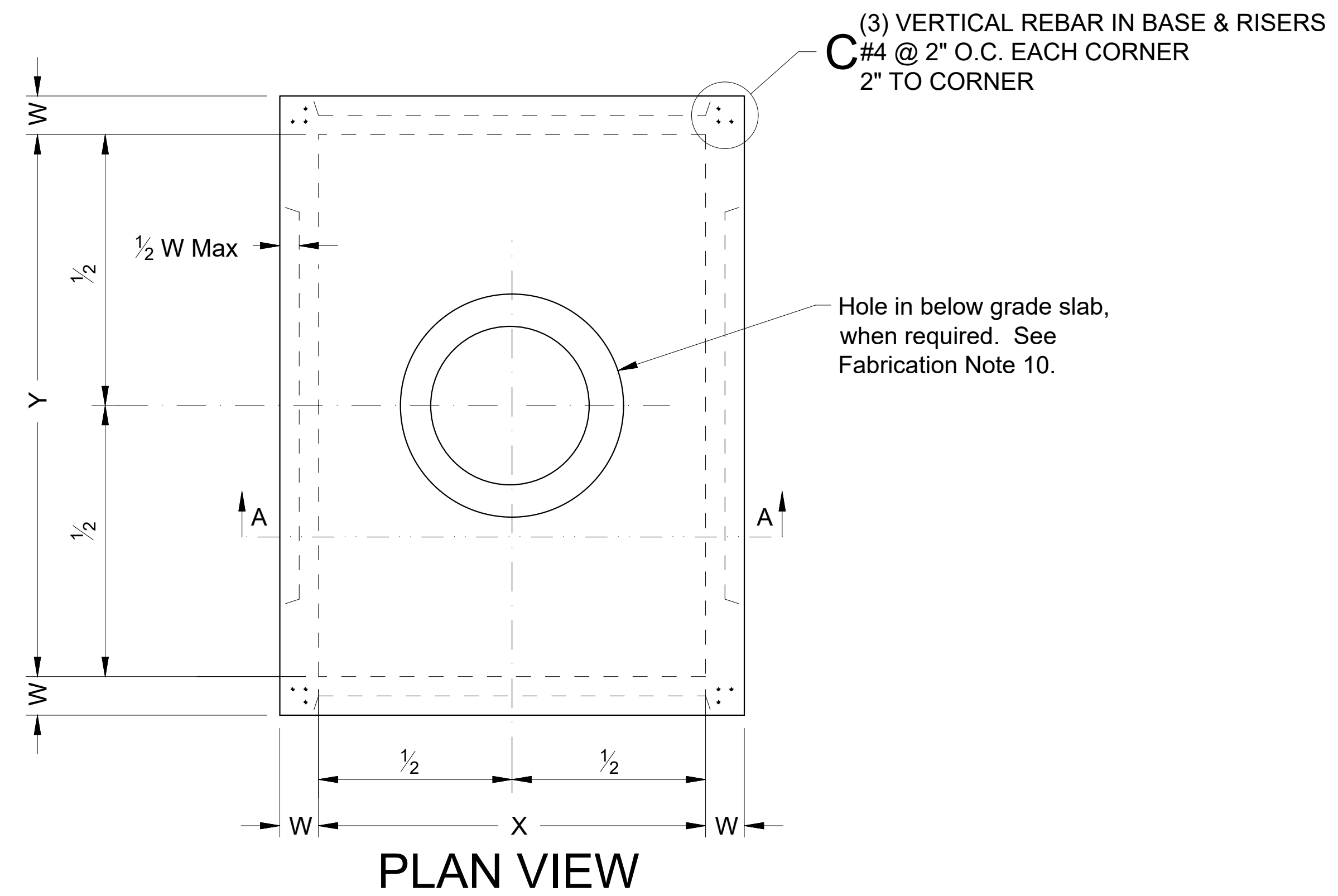
SW-O

FILE: sw-0stde-20.dgn	DN: GAF	CK: CAT	DW: TxDOT	CK: TxDOT
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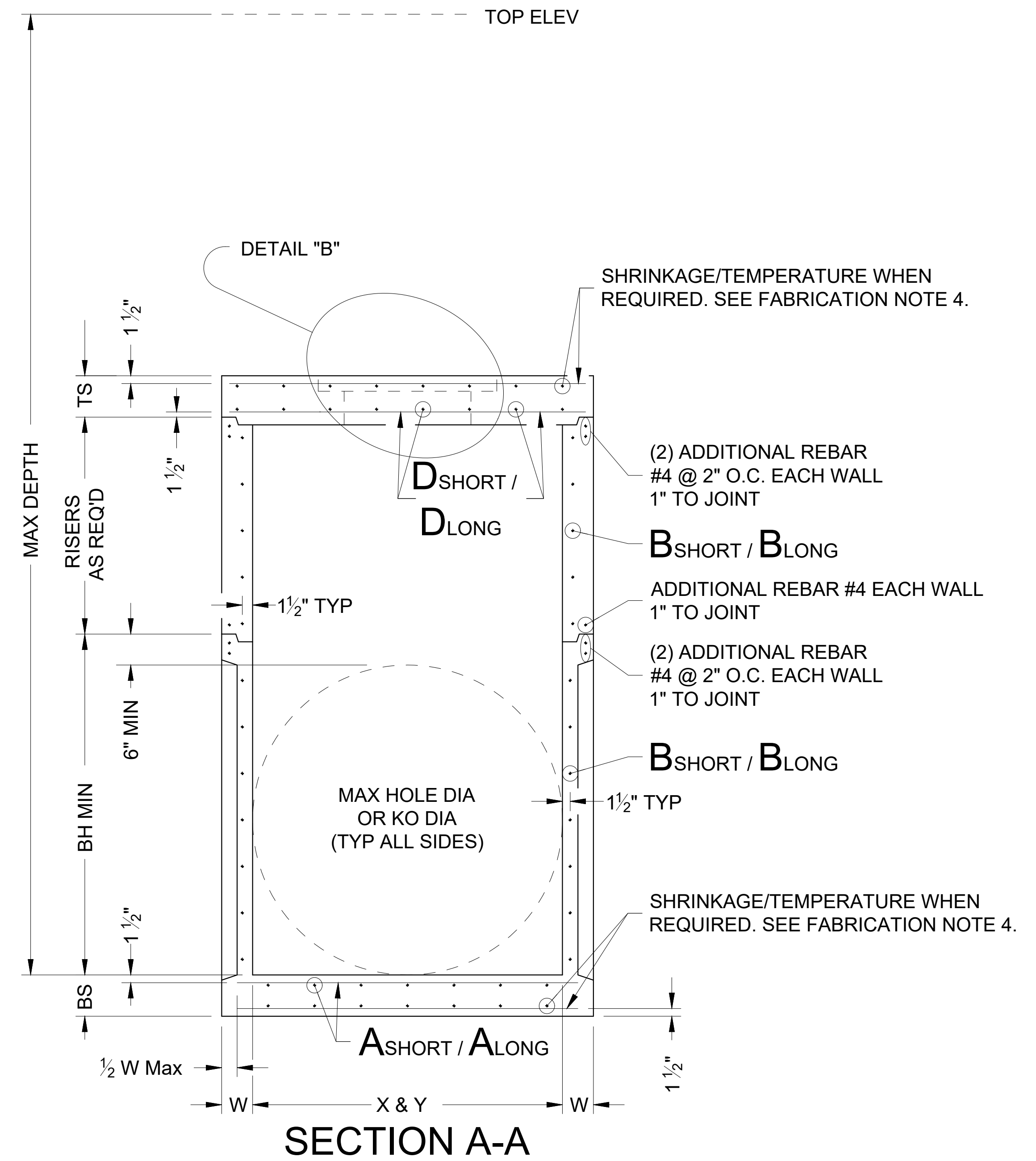
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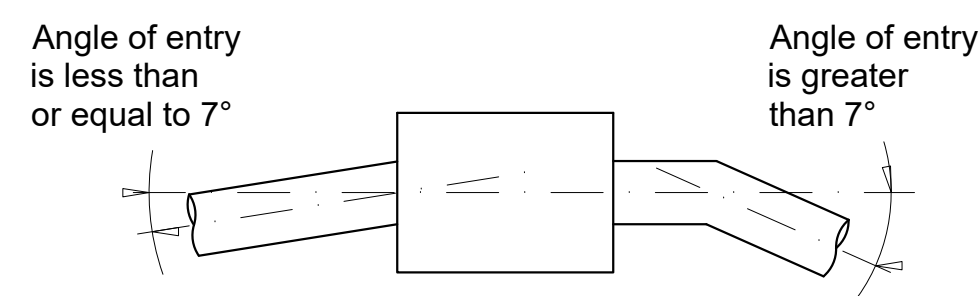
DETAIL "B"



PLAN VIEW



SECTION A-A



PIPE CONNECTION DETAIL

Connect pipes within 7° of normal to PJB wall. If necessary, use pipe elbow or curved approach alignment to stay within this limit.

- FABRICATION NOTES:**
1. Provide Class "H" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 2. Provide Grade 60 reinforcing steel or equivalent area of VVWR.
 3. Provide typical clear cover of 1 1/2" to reinforcing steel at interior or exterior walls.
 4. Walls or slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide steel area = 0.11 in²/ft each way.
 5. No substitution is allowed for vertical and horizontal #4 bars in corners.
 6. Manufacture base and risers to nearest 3" increment.
 7. Design tongue and groove joints for full closure on both shoulders. Minimum spigot depth is 3/4".
 8. Provide lifting devices in conformance with Manufacturer's recommendations.
 9. See sheet PDD for sizes, dimensions, and reinforcing steel not shown.
 10. Provide hole in below grade slab only when PJB is installed with inlet type POD.

- INSTALLATION NOTES:**
1. Inverts (benching) to be provided by Contractor. Concrete or mortar used for invert is subsidiary to junction box.
 2. Seal tongue and groove joints with preformed or bulk mastic in conformance with Manufacturer's recommendations. Tongue and groove joints may be grouted no more than 1" between each section, or 1/2 the joint depth, whichever is greater.
 3. Do not grout rubber gasket joints without Manufacturer's recommendation.
 4. For rigid pipe, cut hole in thin wall panel (KO) 4" Max, 2" Min larger than pipe OD.
 5. For flexible pipe, consult boot/seal Manufacturer's specification for placement tolerance and hole size. Center pipe in hole and install boot/seal per Manufacturer's specification.

- GENERAL NOTES:**
1. Precast Junction Box consists of base slab, base unit, risers (as required), and below grade slab. See sheet PDD for sizes.
 2. Designed according to ASTM C913.
 3. Payment for junction box is per Item 465 "Junction Boxes, Manholes, and Inlets" by type and size.

Cover dimensions are clear dimensions, unless noted otherwise.

HL93 LOADING



PRECAST JUNCTION BOX

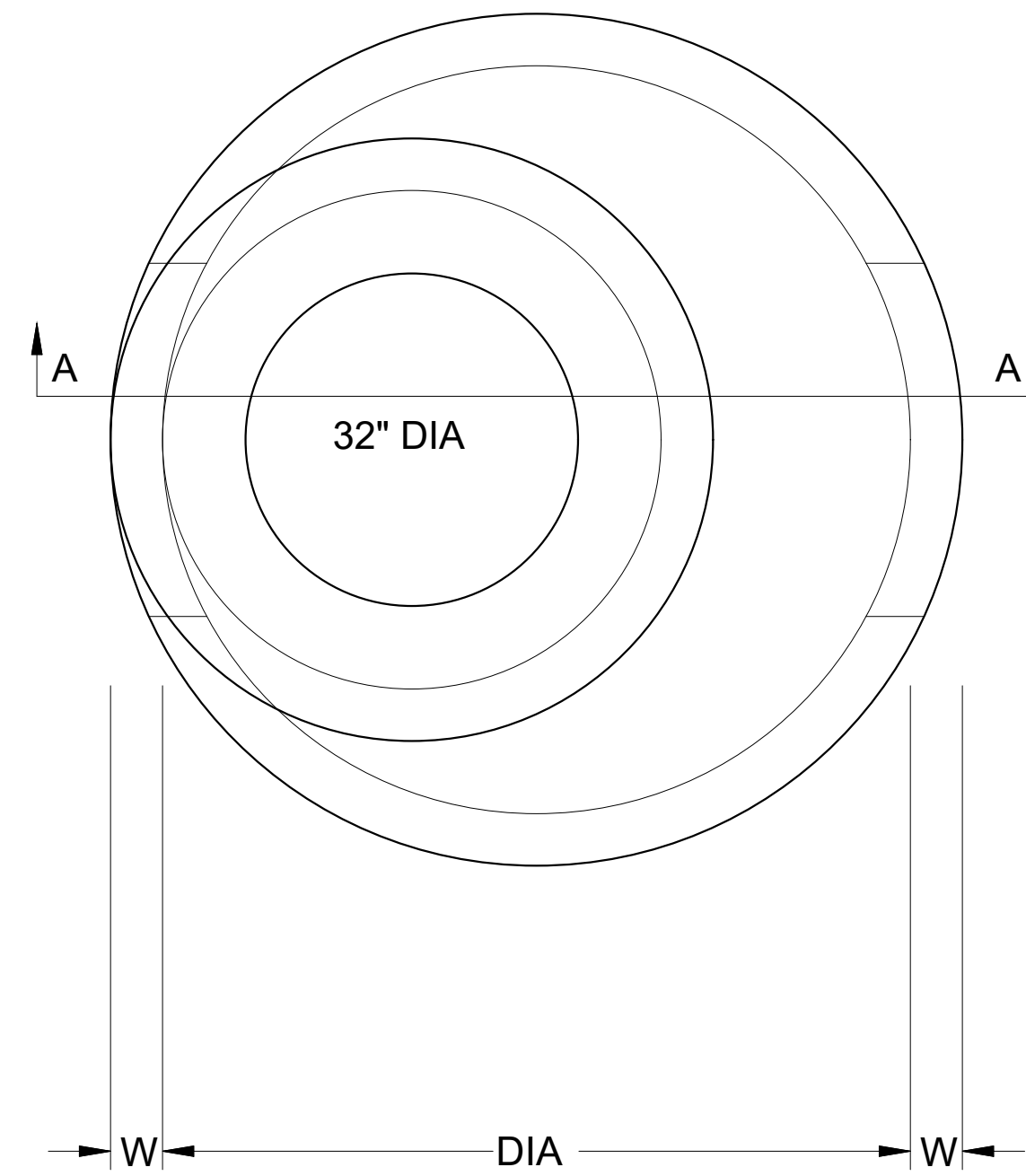
PJB

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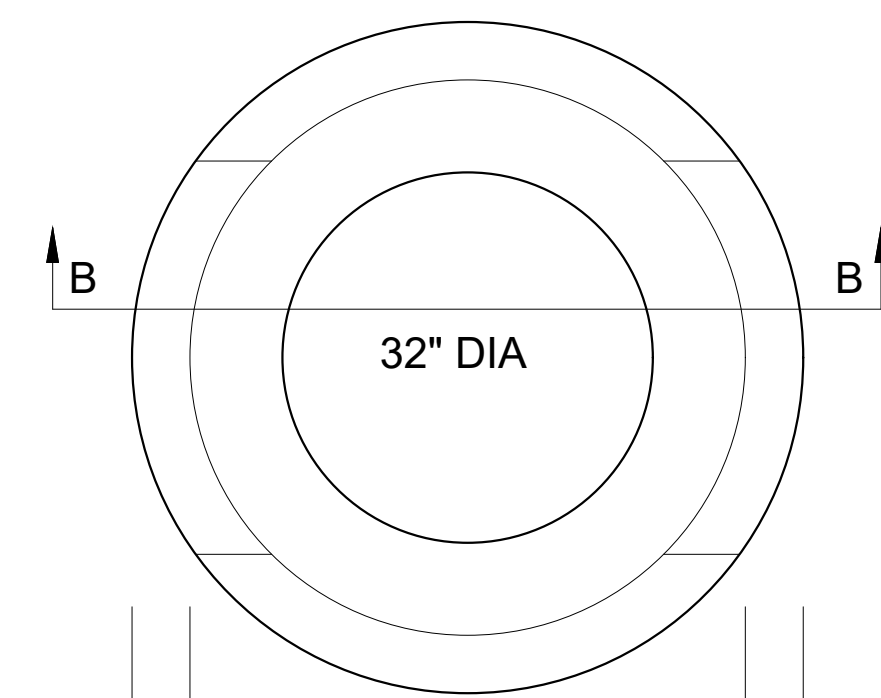
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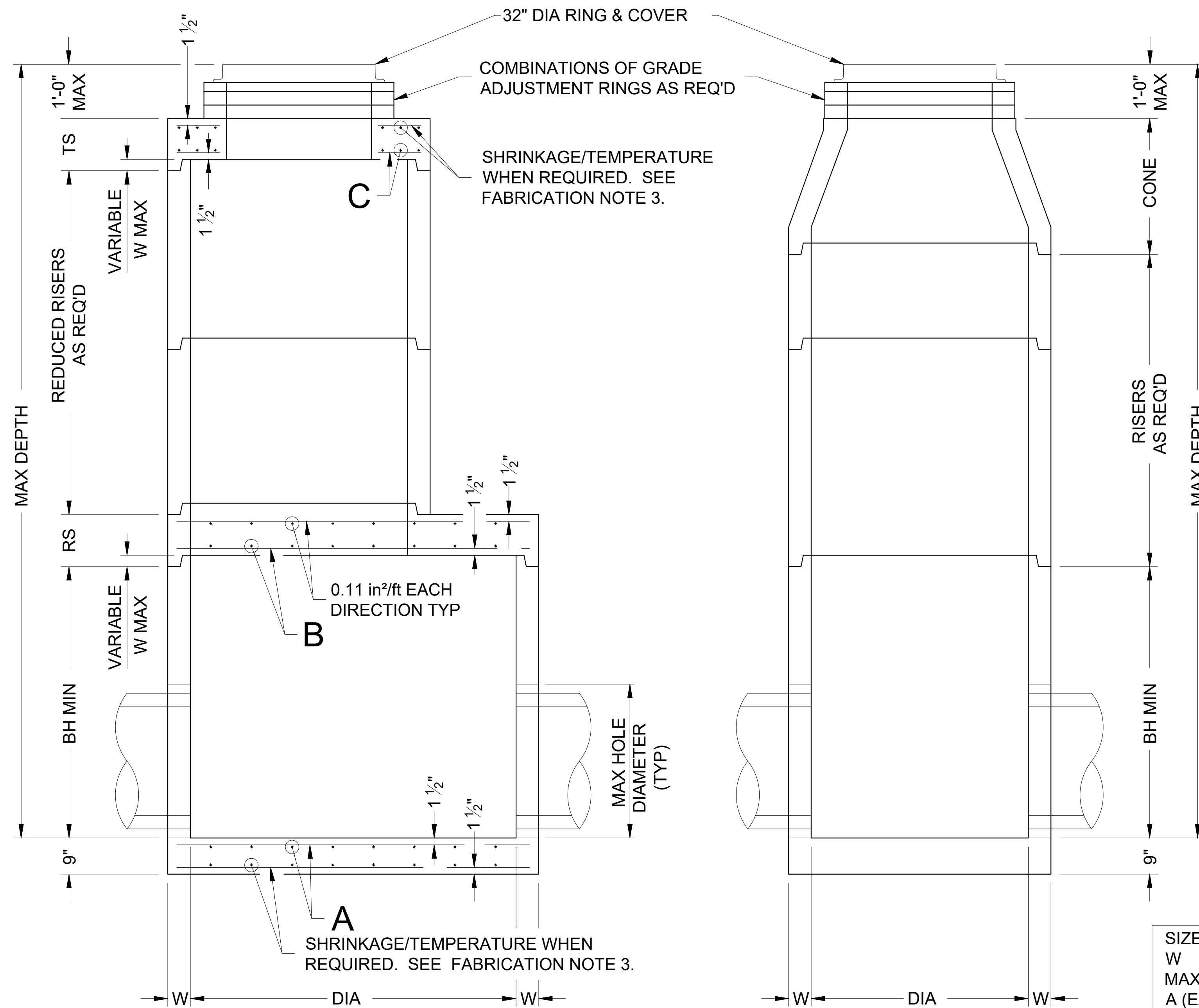
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PLAN VIEW "A"



PLAN VIEW "B"



SECTION A-A
ROUND REDUCED RISER OPTION
SHOWING FLAT SLAB TOP

SECTION B-B
ROUND RISER OPTION
SHOWING CONE

- FABRICATION NOTES:**
1. Provide Class "H" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 2. Provide Grade 60 reinforcing steel or equivalent area of WWR. Provide circumferential reinforcing steel in vertical walls of base, riser and cone in accordance with ASTM C478.
 3. Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide steel area = 0.11 in²/ft each way.
 4. Manufacture base and risers to nearest 3" increment.
 5. Design tongue and groove joints for full closure on both shoulders. Minimum spigot depth is 3/4".
 6. Provide lifting devices in conformance with Manufacturer's recommendations.
 7. Provide cast iron solid cover, unless noted otherwise elsewhere in the plans.

- INSTALLATION NOTES:**
1. Cones may be concentric or eccentric. Reduction cones are acceptable. See Manufacturer for cone dimensions.
 2. Inverts (benching) to be provided by Contractor. Concrete or mortar used for invert is subsidiary to this item.
 3. Seal tongue and groove joints with preformed or bulk mastic in conformance with Manufacturer's recommendations. Tongue and groove joints may be grouted no more than 1" between each section, or 1/2 the joint depth, whichever is greater.
 4. Do not grout rubber gasket joints without Manufacturer's recommendation.
 5. Initial installation of grade adjustment rings is limited to 1'-0" Max as shown.
 6. Grade adjustment rings may be increased to 2'-0" Max when future construction affects final grade of structure. Make adjustments greater than 2'-0" with additional risers. Adjustments may be made up to the Max depth shown. Structure must be evaluated if Max depth will be exceeded.

- GENERAL NOTES:**
1. Designed according to ASTM C478.
 2. Payment for manhole is per Item 465, "Junction Boxes, Manholes, and Inlets" by type and size.
 3. Pipe OD + placement tolerance must be equal or less than Max hole diameter. For rigid pipe, placement tolerance is 4" Max, 2" Min. For flexible pipe, consult boot/seal manufacturer's specification for placement tolerance.

Cover dimensions are clear dimensions, unless noted otherwise.

SIZE (DIA)	48 in	60 in	72 in
W	5 in	6 in	7 in
MAX DEPTH	25 ft	25 ft	25 ft
A (EACH WAY)	0.22 in ² /ft	0.30 in ² /ft	0.45 in ² /ft
B (EACH WAY)	N/A	0.37 in ² /ft	0.62 in ² /ft
C (EACH WAY)	0.24 in ² /ft	0.46 in ² /ft	0.46 in ² /ft
BH MIN	12 in	36 in	36 in
TS	9 in	9 in	9 in
RS	N/A	9 in	12 in
REDUCED RISER DIA	N/A	48 in	48/60 in
MAX HOLE DIA	32 in	40 in	54 in

HL93 LOADING



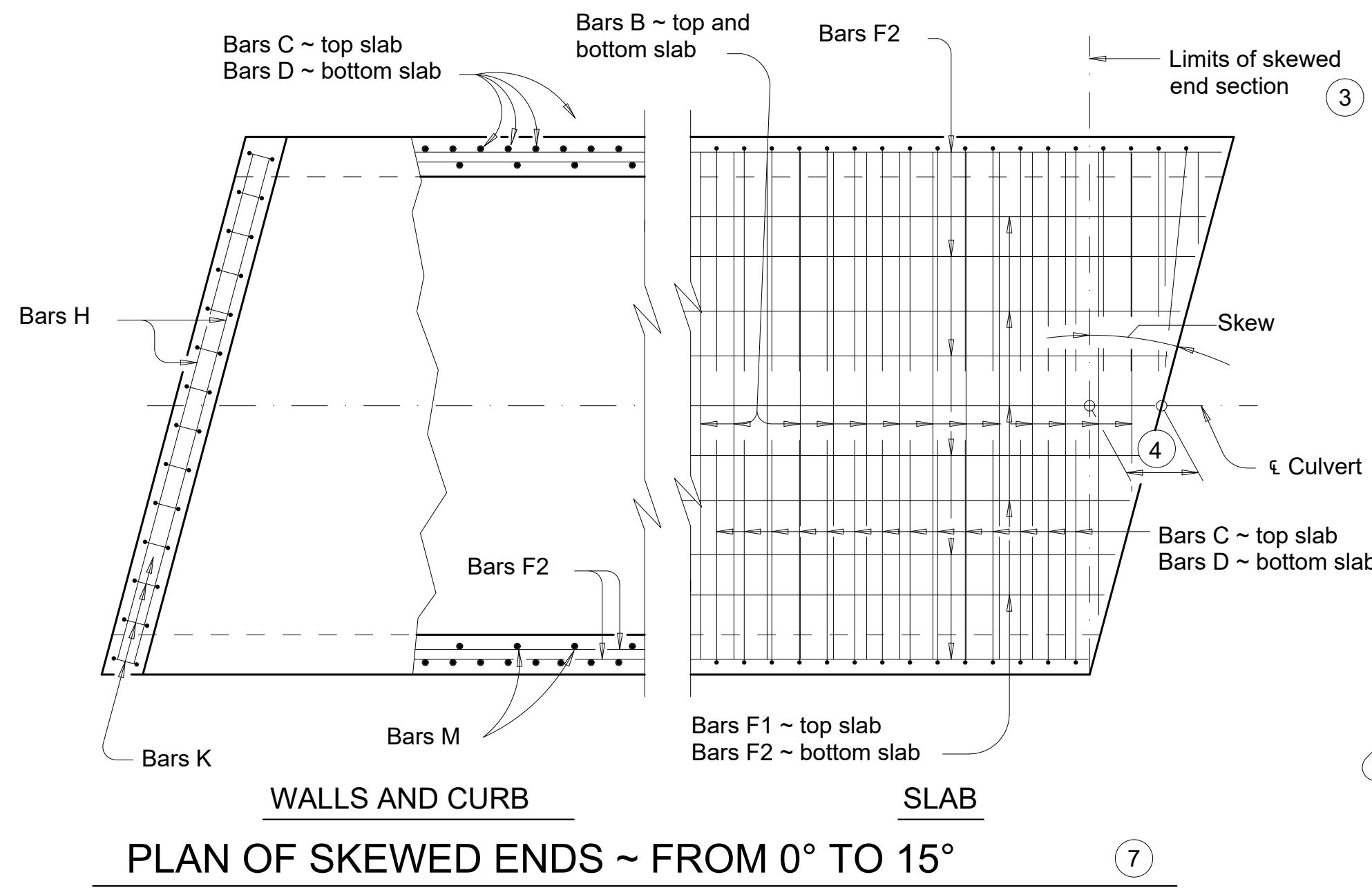
PRECAST ROUND MANHOLE

PRM

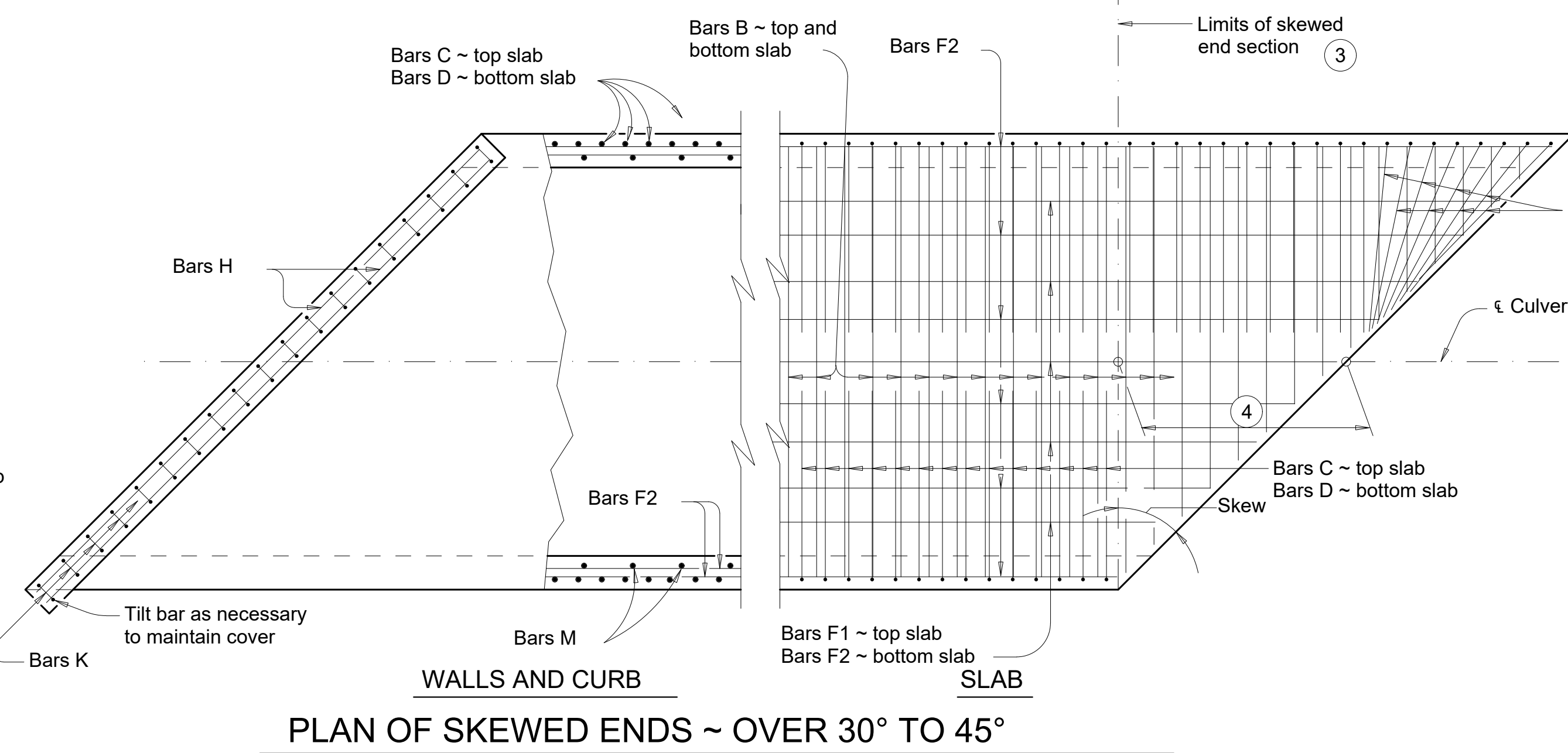
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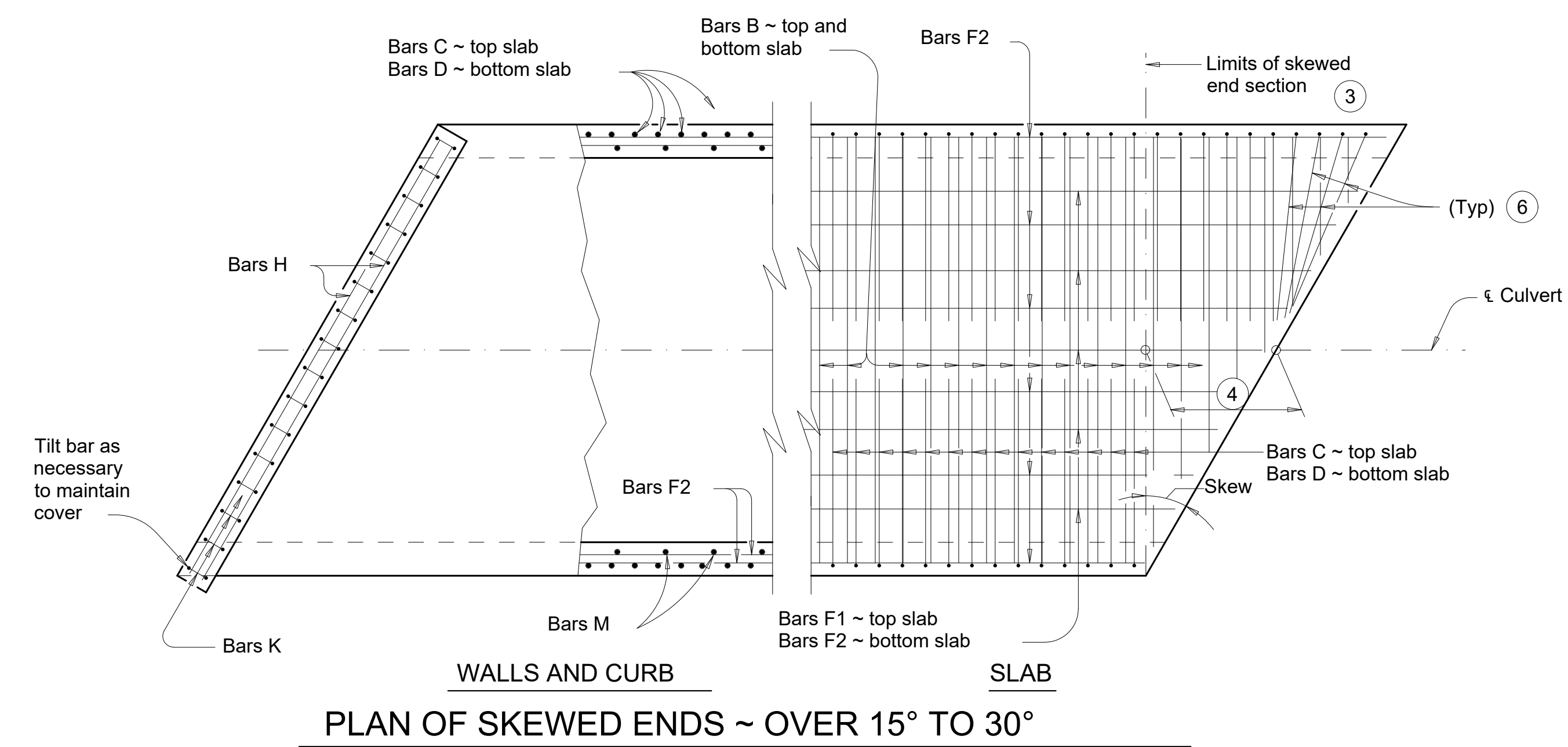
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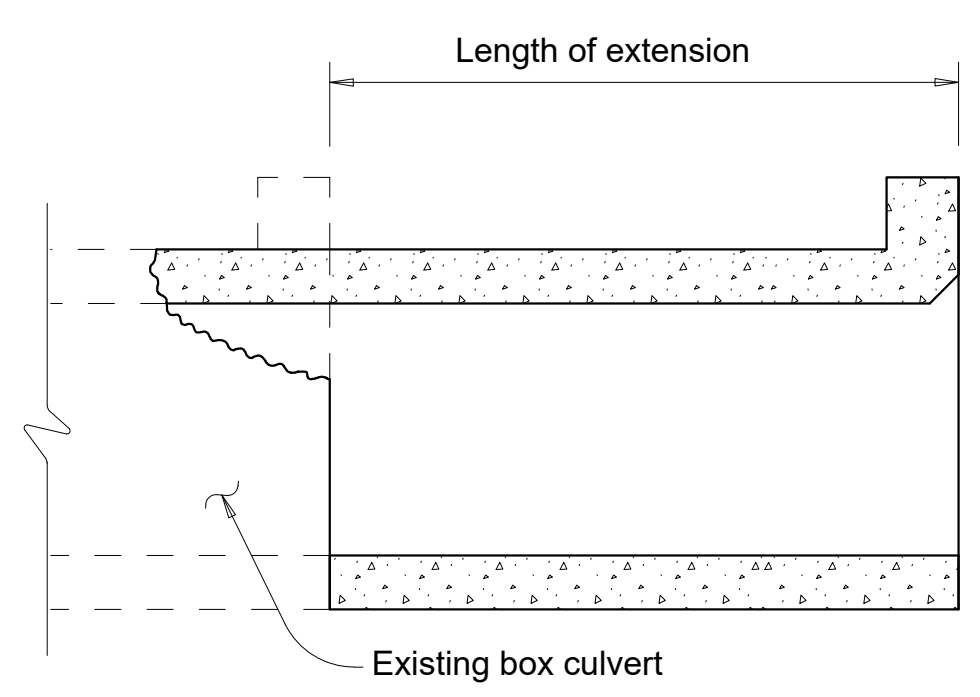
PLAN OF SKEWED ENDS ~ FROM 0° TO 15°



PLAN OF SKEWED ENDS ~ OVER 30° TO 45°



PLAN OF SKEWED ENDS ~ OVER 15° TO 30°



LENGTHENING DETAIL

1 For skewed box culverts with less than 2'-0" of fill, break back the top slab to provide a 1'-10" minimum lap of the existing longitudinal bars with the longitudinal bars in the extension. For non-skewed box culverts with less than 2'-0" of fill and for skewed or non-skewed culverts with a fill depth of 2'-0" or greater, break back the top slab to provide a 1'-10" minimum lap of the existing longitudinal bars with the longitudinal bars in the extension. Alternatively, if the box is non-skewed, embed #6 anchor bars with a Type III, C, D, E, or F anchor adhesive into the existing walls, top and bottom slab at 1'-6" center-to-center spacing. Minimum embedment depth is 8". Anchor adhesive chosen must be able to achieve a basic bond strength in tension, Nba, of 26.4 kips. Submit signed and sealed calculations or the manufacturer's published literature showing the proposed anchor adhesive's ability to develop this load to the Engineer for approval prior to use. Anchor installation, including hole size, drilling, and clean out, must be in accordance with Item 450, "Railing." Test adhesive anchors in accordance with Item 450.3.3, "Tests." Test 3 anchors per 100 anchors installed. Break back wings and apron as necessary to install the extension. Clean and extend the exposed wingwall and apron reinforcing into the extension. When lengthening existing box culverts with dimensions different than current standard dimensions, form horizontal and vertical transitions as directed by the Engineer. Match bottom slabs to maintain an uninterrupted flow line. Field bend existing and new reinforcing into transitions and maintain specified cover requirements. For top slabs of culverts with overlay, with 1-to-2 course surface treatment, or with the top slab as the final riding surface, adjust the "H" dimension to provide a smooth riding surface.

- 2 When the spacing between Bars B becomes less than half of the normal spacing, cut bars to avoid conflict.
- 3 The length of Bars B vary in the skewed end sections.
- 4 [One half of overall width] x [tangent of the skew angle]
- 5 Place Bars F1 and F2 continuously through the angle section. Bend Bars F1 and F2 to remain parallel to the walls of the box culvert.
- 6 When necessary to avoid conflict in acute corners, shorten the slab extension leg of Bars C and Bars D to a minimum of 1'-6" for skews of 30° thru 45°.
- 7 At the Contractor's option, for skews of 15° or less, place Bars B, C, and D parallel to the skewed end while maintaining spacing along centerline of box. Increase lengths of Bars B shown on the Single Box Culverts Cast-In-Place (SCC) standards sheets to accommodate the skew.

CONSTRUCTION NOTES:

Do not use permanent forms.
When required, lap Bars H 1'-8" for uncoated or galvanized bars.
Provide a minimum of 1 1/2" clear cover.

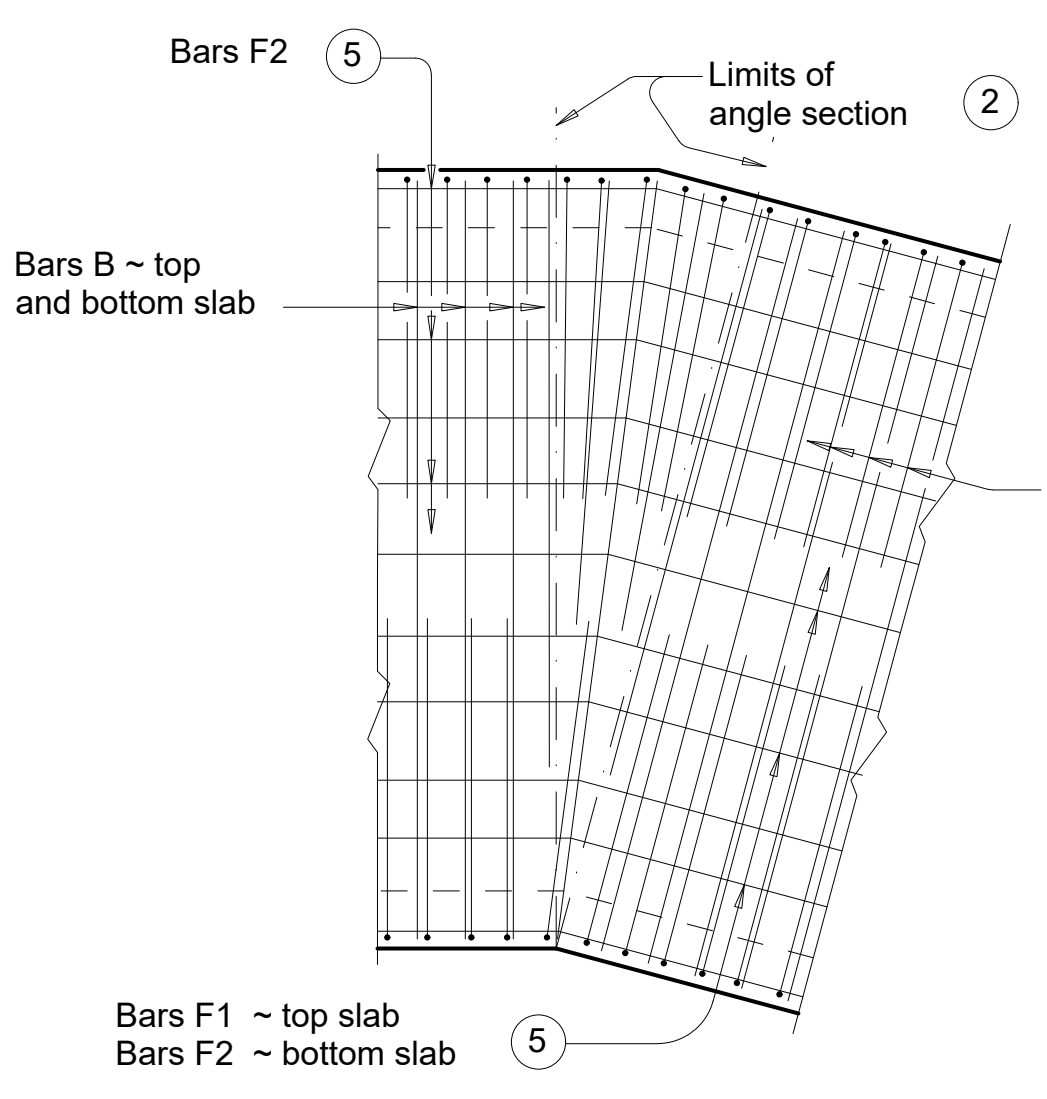
MATERIAL NOTES:

Provide Grade 60 reinforcing steel.
Provide galvanized reinforcing steel, if required elsewhere in the plans.
Provide Class C concrete (f'c = 3,600 psi) with these exceptions:
provide Class S concrete (f'c = 4,000 psi) for top slabs of culverts with overlay, with 1-to-2 course surface treatment, or with the top slab as the final riding surface.

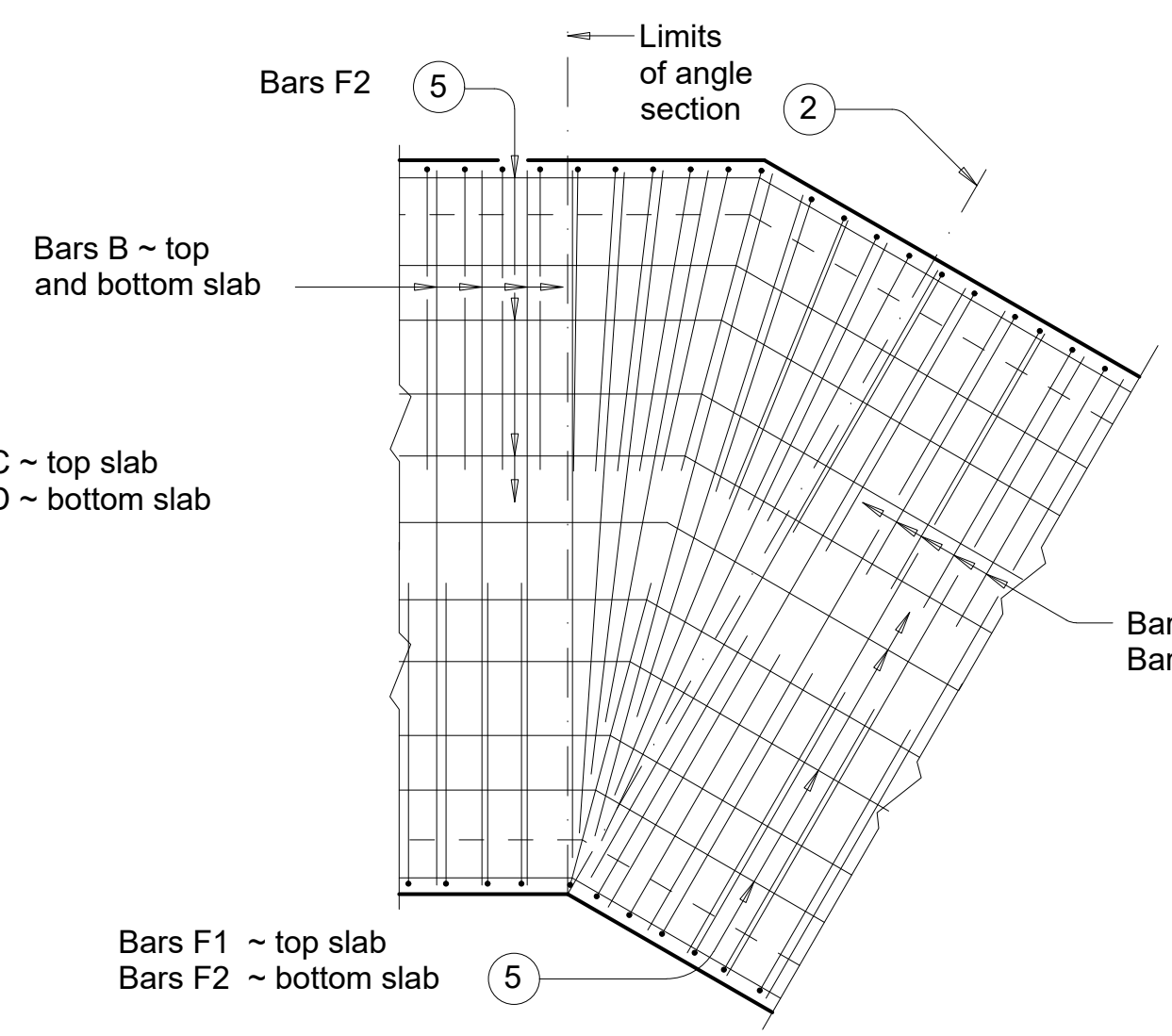
GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications.
Refer to Single Box Culverts Cast-in-Place (SCC) standard sheets for details of straight sections of culvert.
For skewed sections and angle sections, refer to Single Box Culverts Cast-in-Place (SCC) standard sheets for slab and wall dimensions, bar sizes, maximum bar spacing, and any other details not shown.
For skewed ends with curbs, adjust length of Bars H, number of Bars K, curb concrete volume, and reinforcing steel weight by dividing the values shown on the culvert Single Box Culverts Cast-In-Place (SCC) standard sheets by the cosine of the skew angle.

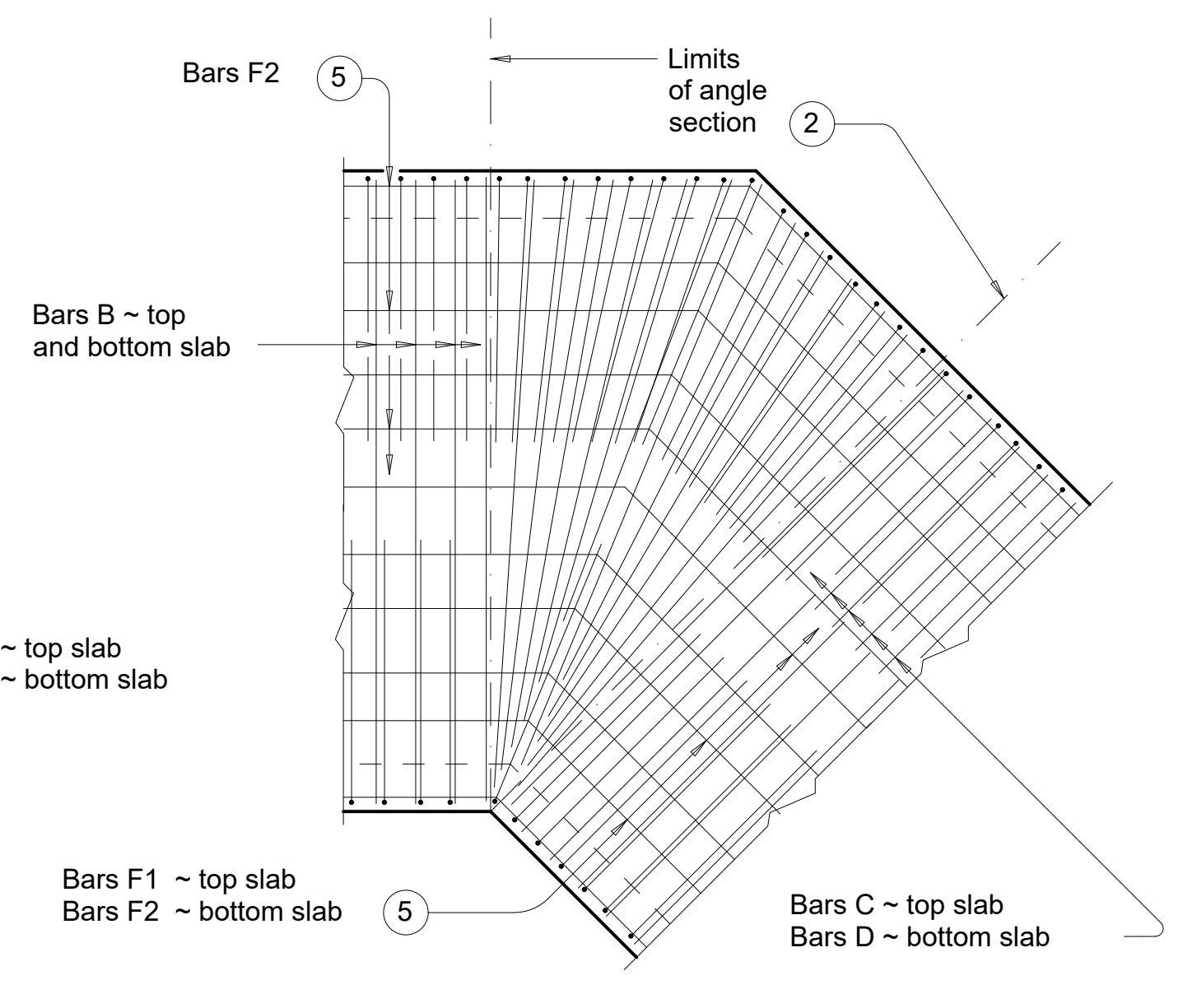
Cover dimensions are clear dimensions, unless noted otherwise.



PLAN OF ANGLE SECTION ~ FROM 0° TO 15°



PLAN OF ANGLE SECTION ~ OVER 15° TO 30°



PLAN OF ANGLE SECTION ~ OVER 30° TO 45°

HL93 LOADING

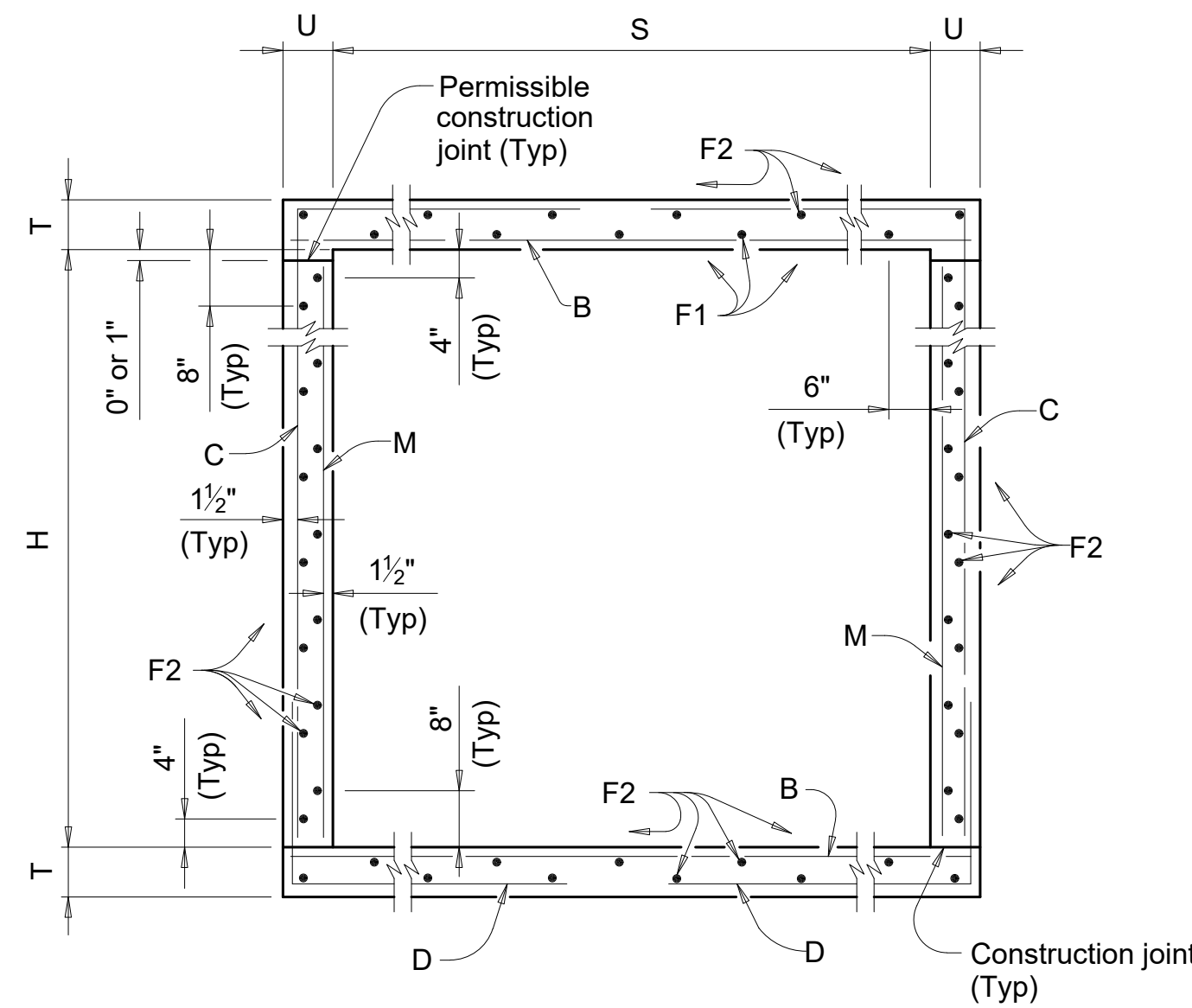


SINGLE BOX CULVERTS
CAST-IN-PLACE
MISCELLANEOUS DETAILS

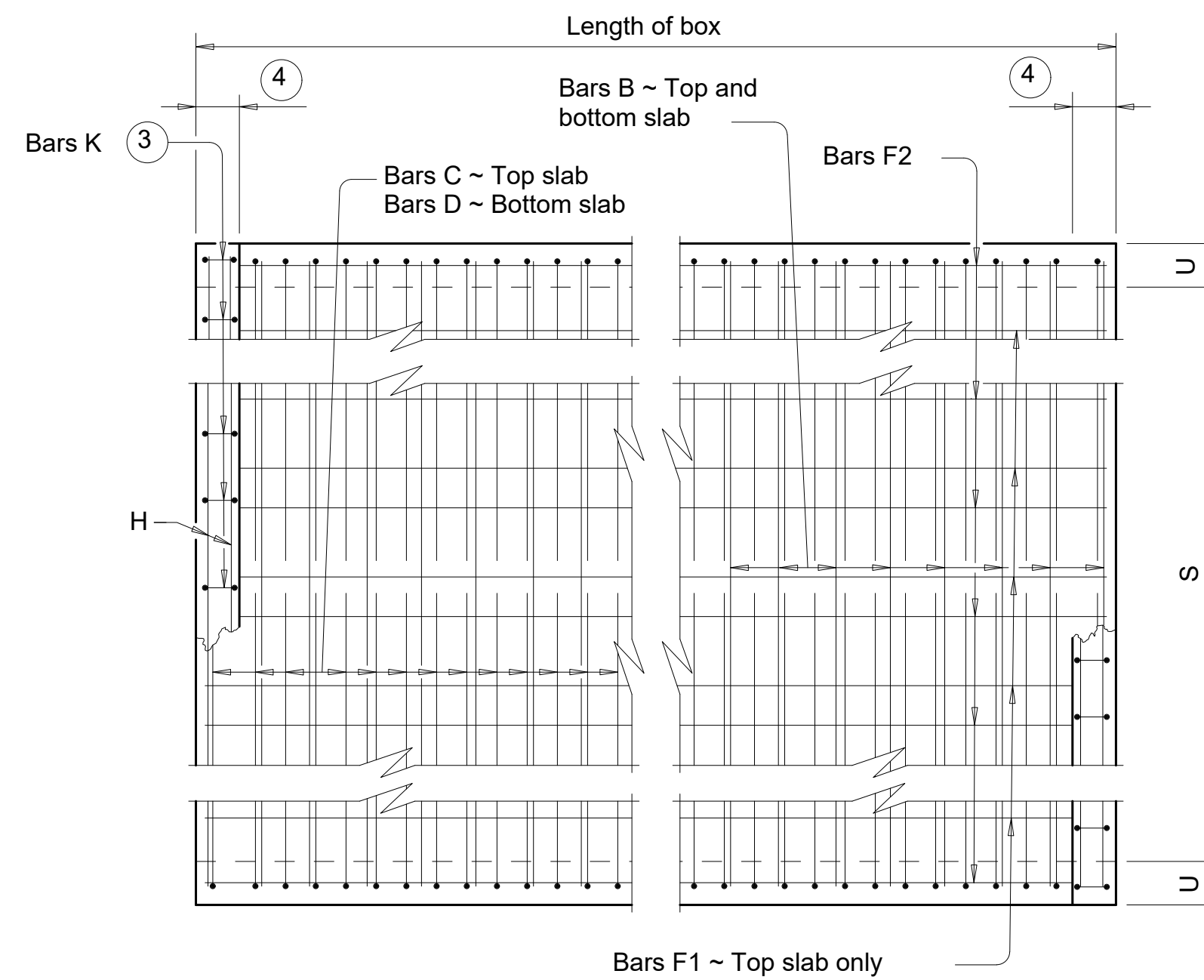
SCC-MD

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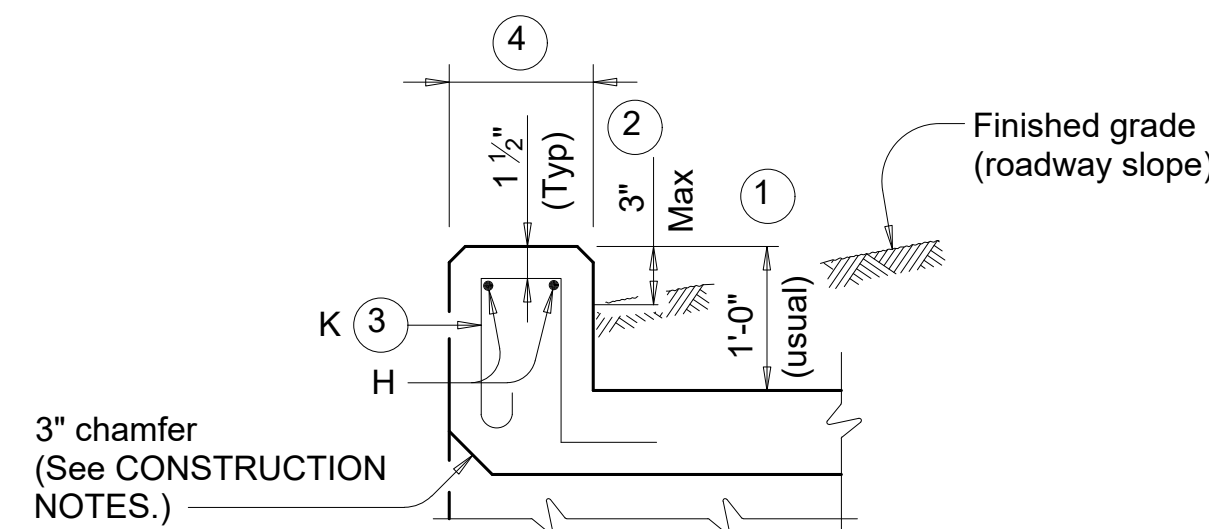
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TYPICAL SECTION



PLAN OF REINF STEEL



SECTION THRU CURB

- ① 0" Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail or curbs taller than 1'-0", refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Rail Anchorage Curb (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.
- ② For vehicle safety, the following requirements must be met:
 - For structures without bridge rail, construct curbs no more than 3" above finished grade.
 - For structures with bridge rail, construct curbs flush with finished grade.
 Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.
- ③ For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3" high, Bars K may be omitted.
- ④ 1'-0" typical. 2'-3" when the Rail Anchorage Curb (RAC) standard sheet is referred to elsewhere in the plans.

The Contractor may replace Bars B, C, D, E, F1, F2, M, Y, and/or Z with deformed welded wire reinforcement (WWR) meeting the requirements of ASTM A1064. The area of required reinforcement may be reduced by the ratio of 60 ksi / 70 ksi. Spacing of WWR is limited to 4" Min and 18" Max. When required, provide lap splices in the WWR of the same length required for the equivalent bar size, rounded up for wire sizes between conventional bar sizes. The lap length required for WWR is never less than the lap length required for uncoated #4 bars.

Example conversion: Replacing No. 6 Gr 60 at 6" Spacing with WWR. Required WWR = (0.44 sq. in. per 0.5 ft.) x (60 ksi / 70 ksi) = 0.755 sq. in. per ft. If D30.6 wire is used to meet the 0.755 sq. in. per ft. requirement in this example, the required spacing = (0.306 sq. in.) / (0.755 sq. in. per ft.) x (12 in. per ft.) = 4.86" Max spacing. Required lap length for the provided D30.6 wire is 2'-1" (the same minimum lap length required for uncoated #5 bars, as listed under MATERIAL NOTES).

CONSTRUCTION NOTES:

- Do not use permanent forms.
- Chamfer the bottom edge of the top slab 3" at the entrance.
- Optionally, raise construction joints shown at the flow line by a maximum of 6". If this option is taken, Bars M may be cut off or raised, Bars C and D may be reversed.

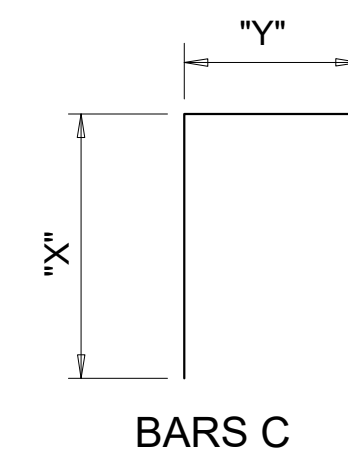
MATERIAL NOTES:

- Provide Grade 60 reinforcing steel.
- Provide galvanized reinforcing steel if required elsewhere in the plans.
- Provide Class C concrete (f'c = 3,600 psi) for culvert barrel and curb, with the following exceptions: provide Class S concrete (f'c = 4,000 psi) for top slabs of:
 - culverts with overlay,
 - culverts with 1-to-2 course surface treatment, or
 - culverts with the top slab as the final riding surface.
- Provide bar laps, where required, as follows:
 - Uncoated or galvanized ~ #4 = 1'-8" Min
 - Uncoated or galvanized ~ #5 = 2'-1" Min
 - Uncoated or galvanized ~ #6 = 2'-6" Min

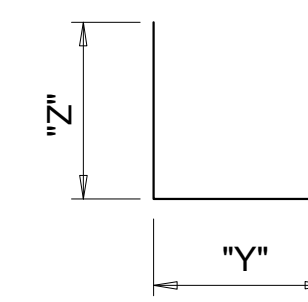
GENERAL NOTES:

- Designed according to AASHTO LRFD Bridge Design Specifications for the range of fill heights shown.
- See the Single Box Culverts Cast-In-Place Miscellaneous Detail (SCC-MD) standard sheet for details pertaining to skewed ends, angle sections, and lengthening.

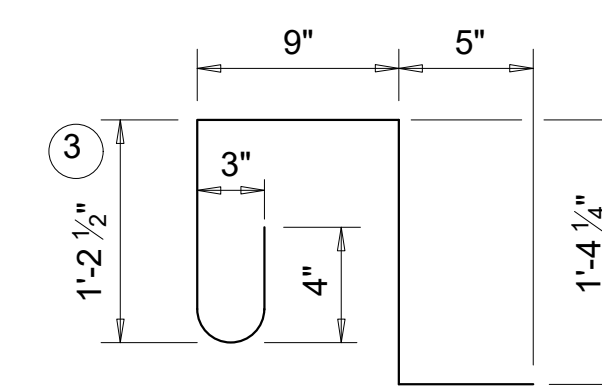
Cover dimensions are clear dimensions, unless noted otherwise. Reinforcing bar dimensions shown are out-to-out of bar.



BARS C



BARS D



BARS K (#4)
(Spa = 1'-0" Max)
(Length = 4'-2")

HL93 LOADING

SHEET 1 OF 2



Bridge Division Standard

SINGLE BOX CULVERTS
CAST-IN-PLACE
0' TO 30' FILL

SCC-5 & 6

FILE: scc56ste-21.dgn	DN: TBE	CK: BMP	DW: TxDOT	CK: TxDOT
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SECTION DIMENSIONS				FILL HEIGHT	BILLS OF REINFORCING STEEL (For Box Length = 40 feet)																												QUANTITIES										
					Bars B					Bars C					Bars D					Bars M ~ #4				Bars F1 ~ #4 at 18" Spa			Bars F2 ~ #4 at 18" Spa			Bars H 4 ~ #4		Bars K		Per Foot of Barrel		Curb		Total					
					S	H	T	U	No.	Size	Spa	Length	Weight	No.	Size	Spa	Length	Weight	" X "	" Y "	No.	Size	Spa	Length	Weight	" Y "	" Z "	No.	Size	Length	Weight	No.	Length	Wt	No.	Length	Weight	Length	Wt	No.	Wt	Conc (CY)	Reinf (Lb)
5' - 0"	2' - 0"	8"	7"	26'	108	#6	9"	5' - 11"	960	108	#5	9"	6' - 3"	704	2' - 6"	3' - 9"	108	#5	9"	6' - 5"	723	3' - 9"	2' - 8"	108	9"	2' - 0"	144	4	39' - 9"	106	22	39' - 9"	584	5' - 11"	16	14	39	0.391	80.5	0.5	55	16.1	3,276
5' - 0"	2' - 0"	9"	7"	30'	108	#6	9"	5' - 11"	960	108	#5	9"	6' - 4"	713	2' - 7"	3' - 9"	108	#5	9"	6' - 6"	732	3' - 9"	2' - 9"	108	9"	2' - 0"	144	4	39' - 9"	106	22	39' - 9"	584	5' - 11"	16	14	39	0.429	81.0	0.5	55	17.6	3,294
5' - 0"	3' - 0"	8"	7"	26'	108	#6	9"	5' - 11"	960	108	#5	9"	7' - 3"	817	3' - 6"	3' - 9"	108	#5	9"	6' - 5"	723	3' - 9"	2' - 8"	108	9"	3' - 0"	216	4	39' - 9"	106	26	39' - 9"	690	5' - 11"	16	14	39	0.434	87.8	0.5	55	17.8	3,567
5' - 0"	3' - 0"	9"	7"	30'	108	#6	9"	5' - 11"	960	108	#5	9"	7' - 4"	826	3' - 7"	3' - 9"	108	#5	9"	6' - 6"	732	3' - 9"	2' - 9"	108	9"	3' - 0"	216	4	39' - 9"	106	26	39' - 9"	690	5' - 11"	16	14	39	0.472	88.3	0.5	55	19.3	3,585
5' - 0"	4' - 0"	8"	7"	26'	108	#6	9"	5' - 11"	960	108	#5	9"	8' - 3"	929	4' - 6"	3' - 9"	108	#5	9"	6' - 5"	723	3' - 9"	2' - 8"	108	9"	4' - 0"	289	4	39' - 9"	106	26	39' - 9"	690	5' - 11"	16	14	39	0.477	92.4	0.5	55	19.5	3,752
5' - 0"	4' - 0"	9"	7"	30'	108	#6	9"	5' - 11"	960	108	#5	9"	8' - 4"	939	4' - 7"	3' - 9"	108	#5	9"	6' - 6"	732	3' - 9"	2' - 8"	108	9"	4' - 0"	289	4	39' - 9"	106	26	39' - 9"	690	5' - 11"	16	14	39	0.515	92.9	0.5	55	21.1	3,771
5' - 0"	5' - 0"	8"	7"	26'	108	#6	9"	5' - 11"	960	108	#5	9"	9' - 3"	1,042	5' - 6"	3' - 9"	108	#5	9"	6' - 5"	723	3' - 9"	2' - 8"	108	9"	5' - 0"	361	4	39' - 9"	106	30	39' - 9"	797	5' - 11"	16	14	39	0.521	99.7	0.5	55	21.3	4,044
5' - 0"	5' - 0"	9"	7"	30'	108	#6	9"	5' - 11"	960	108	#5	9"	9' - 4"	1,051	5' - 7"	3' - 9"	108	#5	9"	6' - 6"	732	3' - 9"	2' - 9"	108	9"	5' - 0"	361	4	39' - 9"	106	30	39' - 9"	797	5' - 11"	16	14	39	0.559	100.2	0.5	55	22.8	4,062
6' - 0"	2' - 0"	8"	7"	20'	108	#6	9"	6' - 11"	1,122	108	#5	9"	6' - 7"	742	2' - 6"	4' - 1"	108	#5	9"	6' - 9"	760	4' - 1"	2' - 8"	108	9"	2' - 0"	144	5	39' - 9"	133	25	39' - 9"	664	6' - 11"	18	16	45	0.440	89.1	0.5	63	18.1	3,628
6' - 0"	2' - 0"	9"	7"	26'	108	#6	9"	6' - 11"	1,122	162	#5	6"	6' - 8"	1,126	2' - 7"	4' - 1"	162	#5	6"	6' - 10"	1,155	4' - 1"	2' - 9"	108	9"	2' - 0"	144	5	39' - 9"	133	25	39' - 9"	664	6' - 11"	18	16	45	0.485	108.6	0.5	63	19.9	4,407
6' - 0"	2' - 0"	10"	8"	30'	108	#6	9"	7' - 1"	1,149	162	#5	6"	6' - 10"	1,155	2' - 8"	4' - 2"	162	#5	6"	7' - 0"	1,183	4' - 2"	2' - 10"	82	12"	2' - 0"	110	5	39' - 9"	133	25	39' - 9"	664	7' - 1"	19	18	50	0.551	109.9	0.5	69	22.6	4,463
6' - 0"	3' - 0"	8"	7"	20'	108	#6	9"	6' - 11"	1,122	108	#5	9"	7' - 7"	854	3' - 6"	4' - 1"	108	#5	9"	6' - 9"	760	4' - 1"	2' - 8"	108	9"	3' - 0"	216	5	39' - 9"	133	29	39' - 9"	770	6' - 11"	18	16	45	0.484	96.4	0.5	63	19.9	3,918
6' - 0"	3' - 0"	9"	7"	26'	108	#6	9"	6' - 11"	1,122	162	#5	6"	7' - 8"	1,295	3' - 7"	4' - 1"	162	#5	6"	6' - 10"	1,155	4' - 1"	2' - 9"	108	9"	3' - 0"	216	5	39' - 9"	133	29	39' - 9"	770	6' - 11"	18	16	45	0.528	117.3	0.5	63	21.6	4,754
6' - 0"	3' - 0"	10"	8"	30'	108	#6	9"	7' - 1"	1,149	162	#5	6"	7' - 10"	1,324	3' - 8"	4' - 2"	162	#5	6"	7' - 0"	1,183	4' - 2"	2' - 10"	82	12"	3' - 0"	164	5	39' - 9"	133	29	39' - 9"	770	7' - 1"	19	18	50	0.601	118.1	0.5	69	24.6	4,792
6' - 0"	4' - 0"	8"	7"	20'	108	#6	9"	6' - 11"	1,122	108	#5	9"	8' - 7"	967	4' - 6"	4' - 1"	108	#5	9"	6' - 9"	760	4' - 1"	2' - 8"	108	9"	4' - 0"	289	5	39' - 9"	133	29	39' - 9"	770	6' - 11"	18	16	45	0.527	101.0	0.5	63	21.6	4,104
6' - 0"	4' - 0"	9"	7"	26'	108	#6	9"	6' - 11"	1,122	162	#5	6"	8' - 8"	1,464	4' - 7"	4' - 1"	162	#5	6"	6' - 10"	1,155	4' - 1"	2' - 9"	108	9"	4' - 0"	289	5	39' - 9"	133	29	39' - 9"	770	6' - 11"	18	16	45	0.571	123.3	0.5	63	23.4	4,996
6' - 0"	4' - 0"	10"	8"	30'	108	#6	9"	7' - 1"	1,149	162	#5	6"	8' - 10"	1,493	4' - 8"	4' - 2"	162	#5	6"	7' - 0"	1,183	4' - 2"	2' - 10"	82	12"	4' - 0"	219	5	39' - 9"	133	29	39' - 9"	770	7' - 1"	19	18	50	0.650	123.7	0.5	69	26.5	5,016
6' - 0"	5' - 0"	8"	7"	20'	108	#6	9"	6' - 11"	1,122	108	#5	9"	9' - 7"	1,080	5' - 6"	4' - 1"	108	#5	9"	6' - 9"	760	4' - 1"	2' - 8"	108	9"	5' - 0"	361	5	39' - 9"	133	33	39' - 9"	876	6' - 11"	18	16	45	0.570	108.3	0.5	63	23.3	4,395
6' - 0"	5' - 0"	9"	7"	26'	108	#6	9"	6' - 11"	1,122	162	#5	6"	9' - 8"	1,633	5' - 7"	4' - 1"	162	#5	6"	6' - 10"	1,155	4' - 1"	2' - 9"	108	9"	5' - 0"	361	5	39' - 9"	133	33	39' - 9"	876	6' - 11"	18	16	45	0.614	132.0	0.5	63	25.1	5,343
6' - 0"	5' - 0"	10"	8"	30'	108	#6	9"	7' - 1"	1,149	162	#5	6"	9' - 10"	1,661	5' - 8"	4' - 2"	162	#5	6"	7' - 0"	1,183	4' - 2"	2' - 10"	82	12"	5' - 0"	274	5	39' - 9"	133	33	39' - 9"	876	7' - 1"	19	18	50	0.700	131.9	0.5	69	28.5	5,345
6' - 0"	6' - 0"	8"	7"	20'	108	#6	9"	6' - 11"	1,122	108	#5	9"	10' - 7"	1,192	6' - 6"	4' - 1"	108	#5	9"	6' - 9"	760	4' - 1"	2' - 8"	108	9"	6' - 0"	433	5	39' - 9"	133	37	39' - 9"	982	6' - 11"	18	16	45	0.613	115.6	0.5	63	25.0	4,685
6' - 0"	6' - 0"	9"	7"	26'	108	#6	9"	6' - 11"	1,122	162	#5	6"	10' - 8"	1,802	6' - 7"	4' - 1"	162	#5	6"	6' - 10"	1,155	4' - 1"	2' - 9"	108	9"	6' - 0"	433	5	39' - 9"	133	37	39' - 9"	982	6' - 11"	18	16	45	0.657	140.7	0.5	63	26.8	5,690
6' - 0"	6' - 0"	10"	8"	30'	108	#6	9"	7' - 1"	1,149	162	#5	6"	10' - 10"	1,830	6' - 8"	4' - 2"	162	#5	6"	7' - 0"	1,183	4' - 2"	2' - 10"	82	12"	6' - 0"	329	5	39' - 9"	133	37	39' - 9"	982	7' - 1"	19	18	50	0.749	140.2	0.5	69	30.5	5,675

5 For direct traffic culverts (fill height ≤ 2 ft.), identify the required box size and select the option with the minimum fill height.

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DATE:
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HL93 LOADING SHEET 2 OF 2



Bridge Division Standard

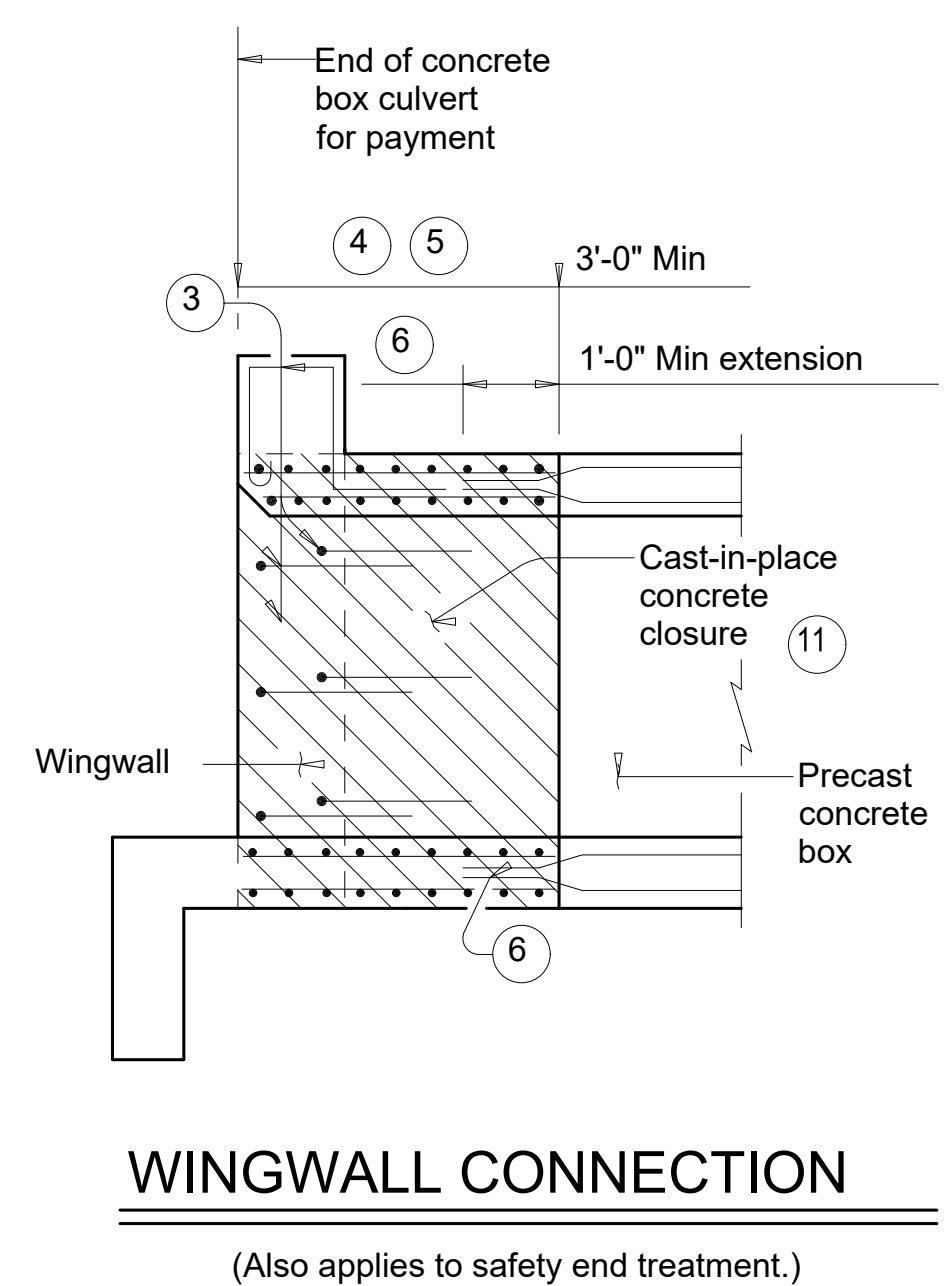
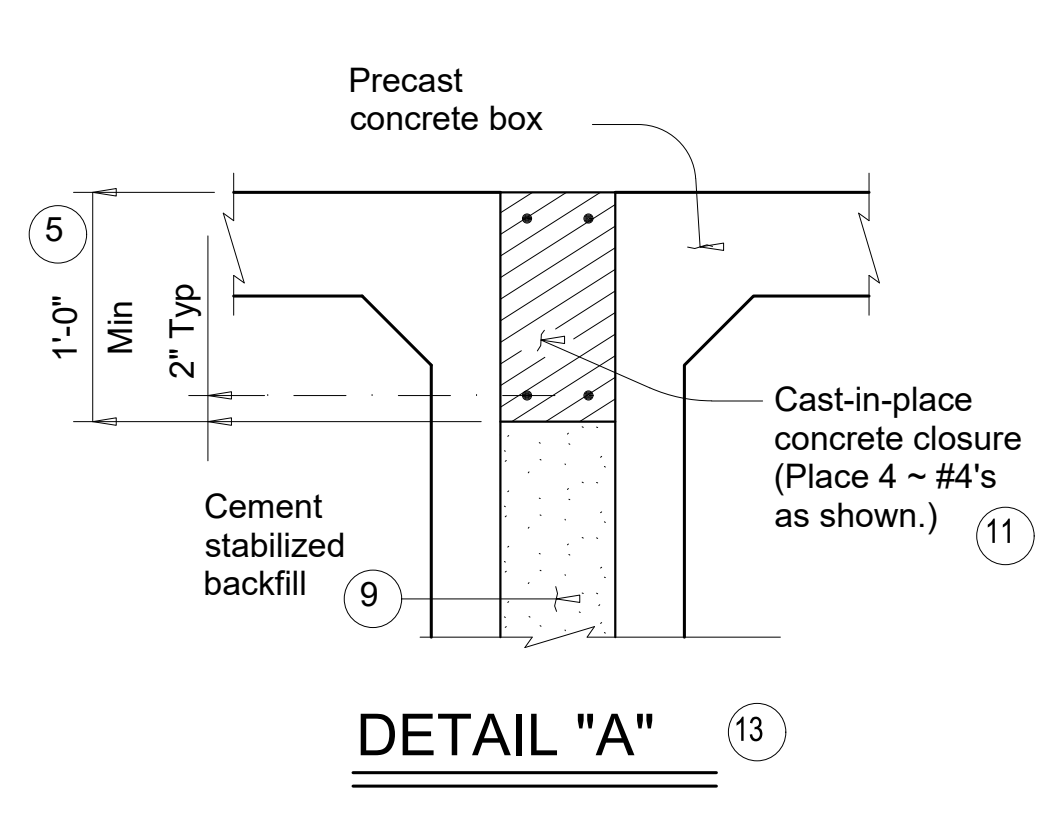
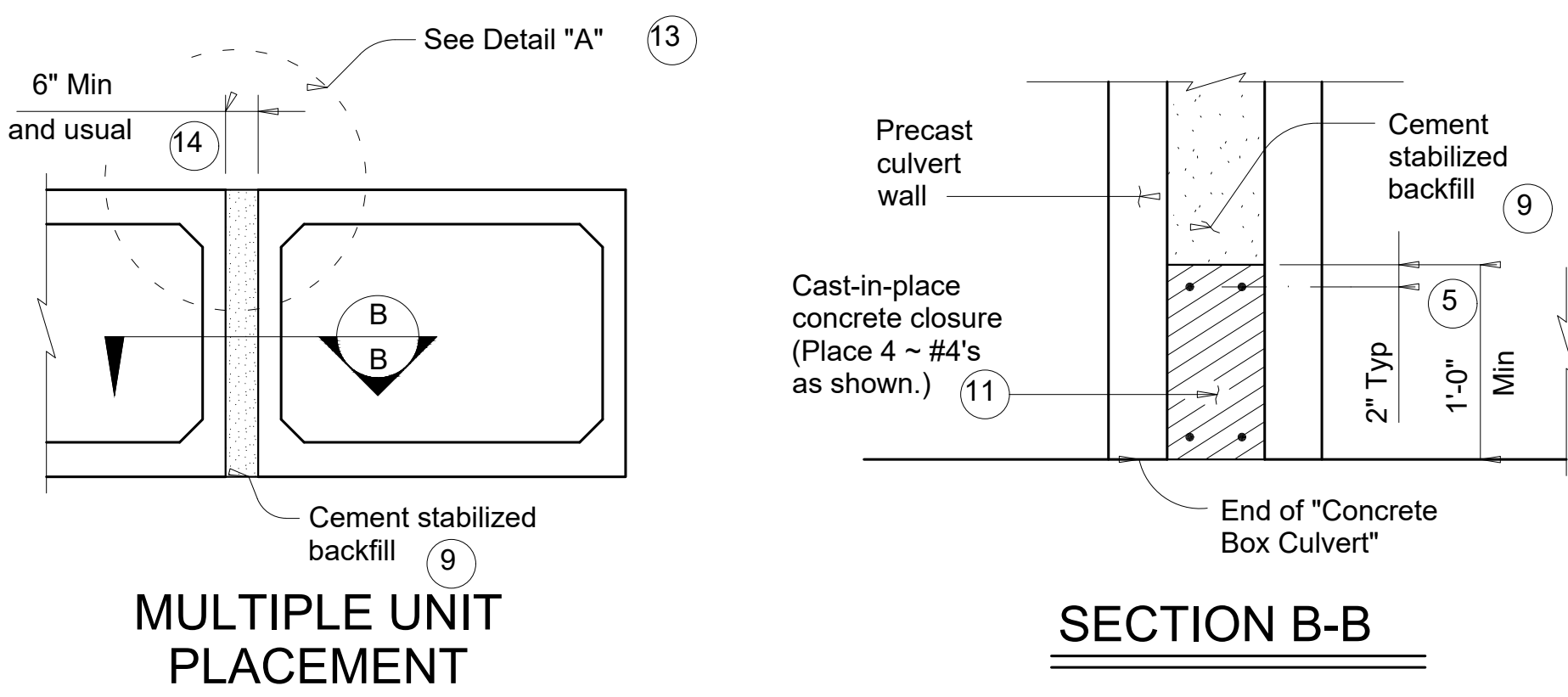
**SINGLE BOX CULVERTS
CAST-IN-PLACE
0' TO 30' FILL**

SCC-5 & 6

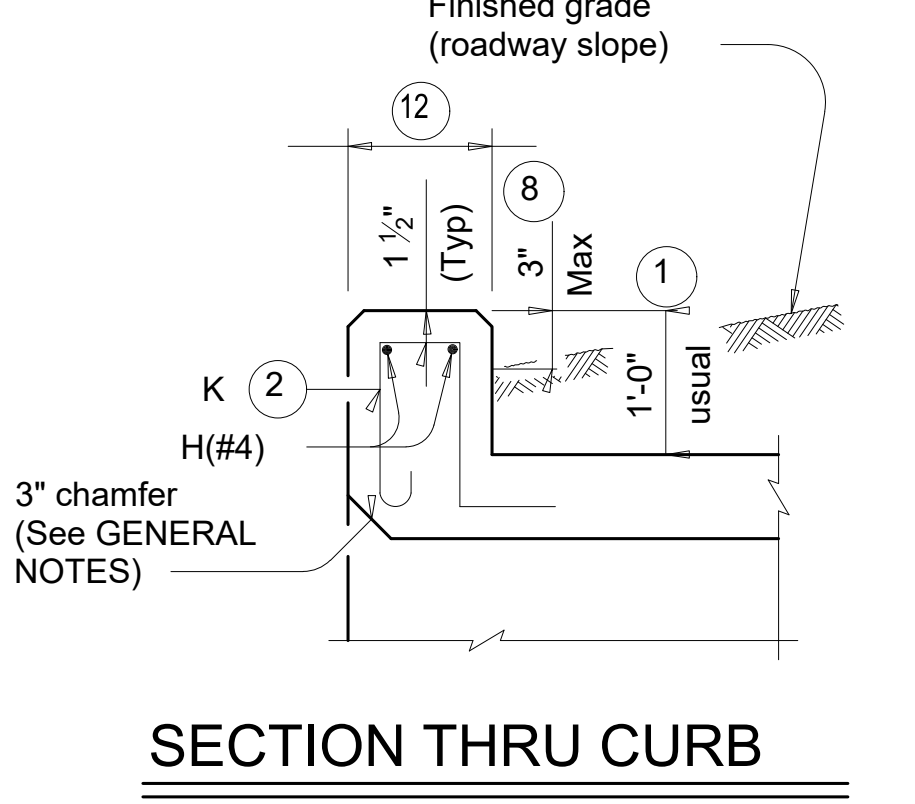
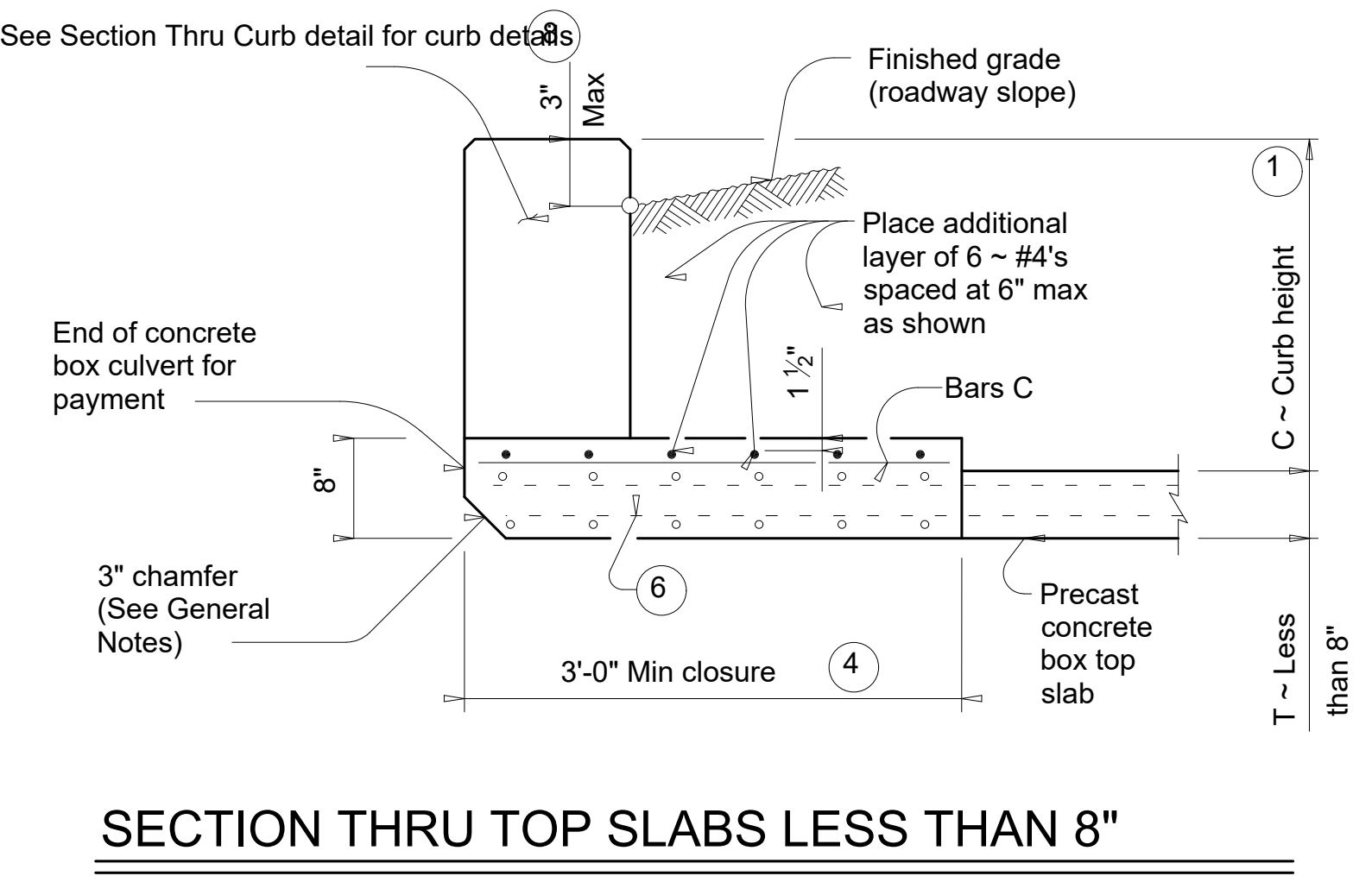
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©TxDOT February 2020	CONT	SECT	JOB	HIGHWAY
REVISIONS				
04/2021 Updated X values.	DIST	COUNTY		SHEET NO.
				33 OF 49

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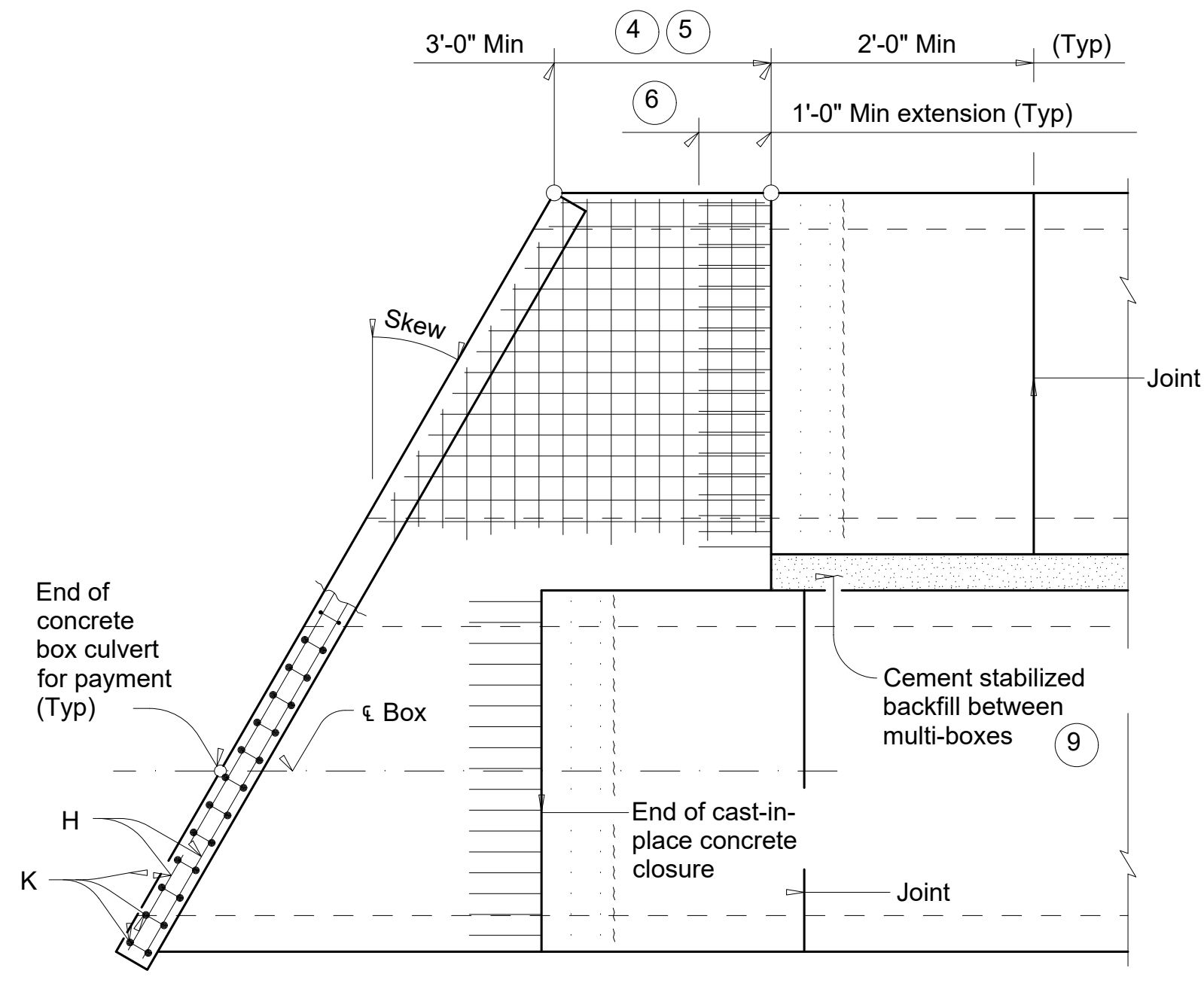
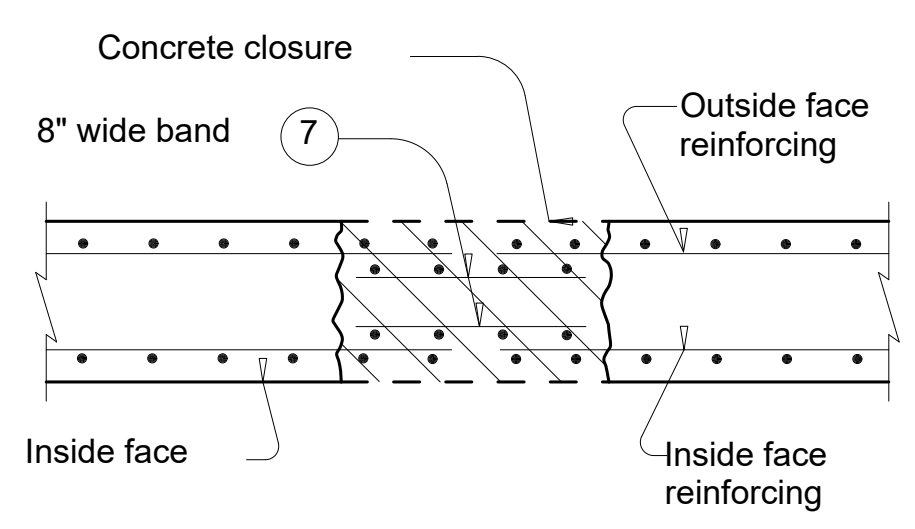
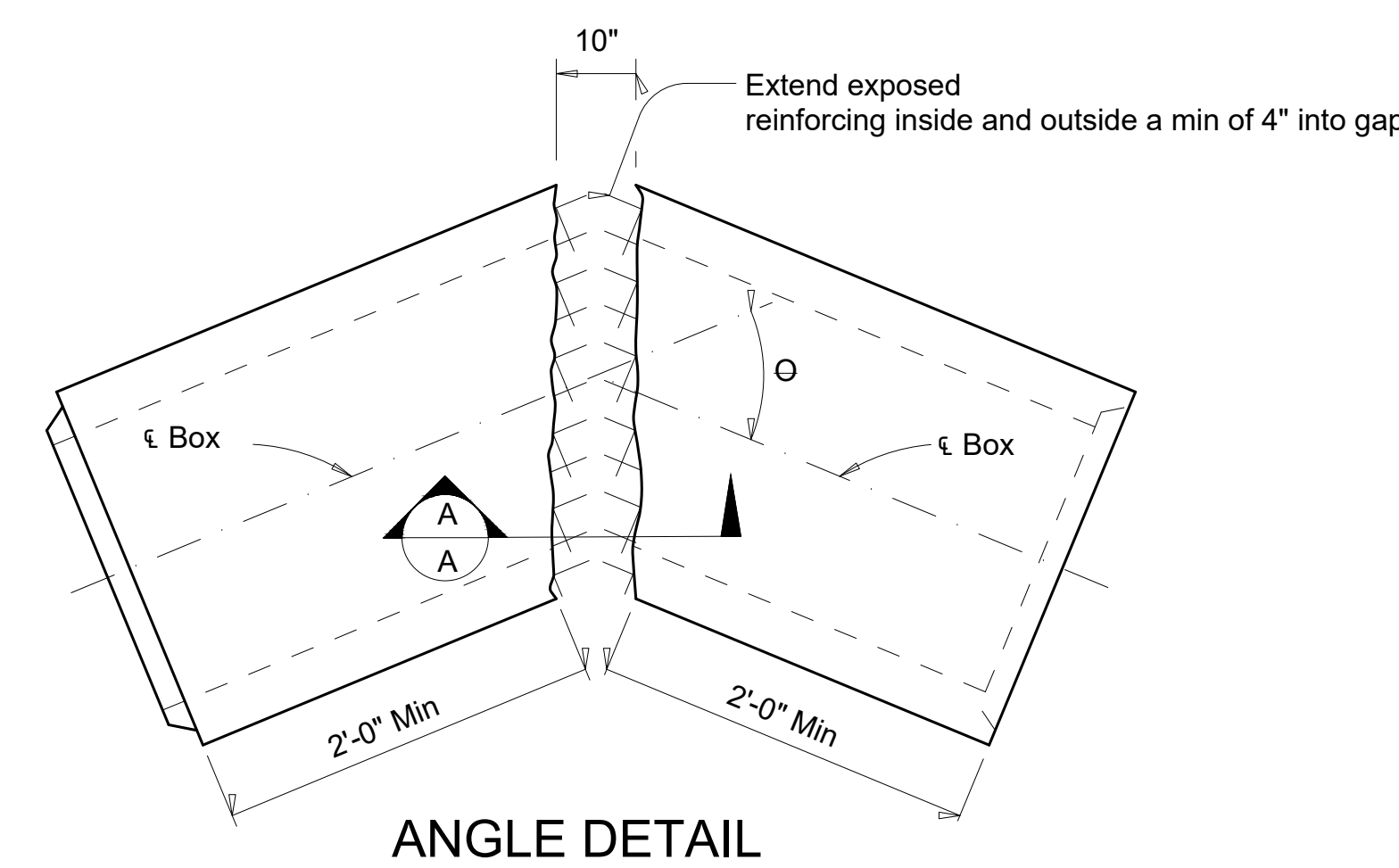
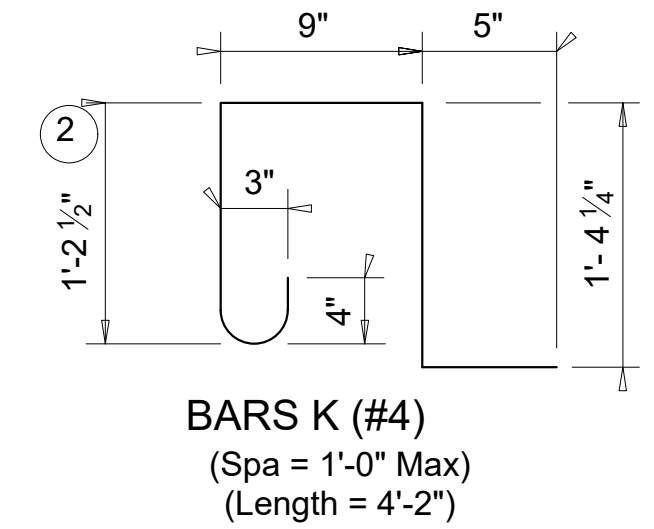
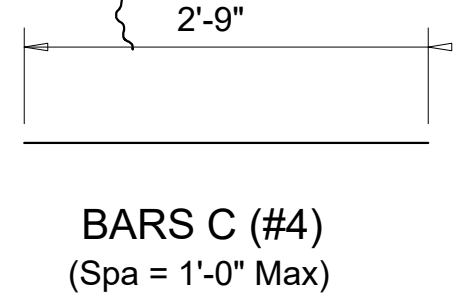
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- 1 0" Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail, bicycle rail, or curbs taller than 1'-0, refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Box Culvert Rail Mounting Details (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.
- 2 For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3" high, Bars K may be omitted.
- 3 Extend curb, wingwall, or safety end treatment reinforcing into concrete closure. Bend or trim, as necessary, any reinforcing that does not fit into closure area.
- 4 Provide a 3'-0" Min cast-in-place concrete closure. Break back boxes in the field or cast boxes short. Provide bands of reinforcing in the closure that are the same size and spacing as in the precast box section. Provide #4 longitudinal reinforcement spaced at 12 inches Max within the closure. Except where shown otherwise, construct the cast-in-place closure flush with the inside and outside faces of the precast box section.
- 5 For multiple unit placements, adjust the length of the closure for the interior walls as necessary. Provide a 3'-0" Min cast-in-place closure in the top slab, bottom slab, and exterior wall. See Section B-B detail when interior walls are cast full length.
- 6 Extend precast box reinforcing a minimum of 1'-0" into concrete closure (Typ).
- 7 Place bands of reinforcing matching the inside and outside face reinforcing in the gaps of the top and bottom slabs. Place a band matching the outside face reinforcing of the wall in the gaps of the walls (placed in the outside face only). Tack weld the bands to the exposed reinforcing at each point of contact.
- 8 For vehicle safety, the following requirements must be met:
 - For structures without bridge rail, construct curbs no more than 3" above finished grade.
 - For structures with bridge rail, construct curbs flush with finished grade. Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.
- 9 Cement stabilized backfill between boxes is considered part of the box culvert for payment.
- 10 All curb concrete and reinforcing is considered part of the box culvert for payment.
- 11 Any additional concrete and reinforcing required for the closures will be considered subsidiary to the box culvert for payment.
- 12 1'-0" typical. 2'-3" when the Box Culvert Rail Mounting Details (RAC) standard sheet is referred to elsewhere in the plans.
- 13 For multiple unit placement with overlay, with 1 to 2 course surface treatment, or with the top slab as the final riding surface, provide wall closure as shown in Detail "A".
- 14 This dimension may be increased with approval of the Engineer to allow the precast boxes to be tunneled or jacked in accordance with Item 476, "Jacking, Boring, or Tunneling Pipe or Box". No payment will be made for any additional material in the gap between adjacent boxes.



QUANTITIES PER FOOT OF CURB (10)	
Reinforcing Steel	4.12 Lb
Concrete	0.037 CY



Cover dimensions are clear dimensions, unless noted otherwise.
Reinforcing bars dimensions are out-to-out of bars.

MATERIAL NOTES:
Provide Grade 60 reinforcing steel.
Provide ASTM A1064 welded wire reinforcement.
Provide Class C concrete (f_c = 3,600 psi) for the closures.
Provide cement stabilized backfill meeting the requirements of Item 400, "Excavation and Backfill for Structures."
Any additional concrete required for the closures will be considered subsidiary to the box culvert.

GENERAL NOTES:
Designed according to AASHTO LRFD Bridge Design Specifications.
Refer to the Single Box Culverts Precast (SCP) standard sheets for details and notes not shown.
Chamfer the bottom edge of the top slab closure 3 inches at culvert closure ends.

HL93 LOADING

Bridge Division Standard

BOX CULVERTS PRECAST MISCELLANEOUS DETAILS

SCP-MD

FILE: scpmdsts-20.dgn	DN: GAF	CK: LMW	DW: BWHTxDOT	CK: GAF
REVISIONS	CONT	SECT	JOB	HIGHWAY
	DIST	COUNTY	SHEET NO.	

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BOX DATA

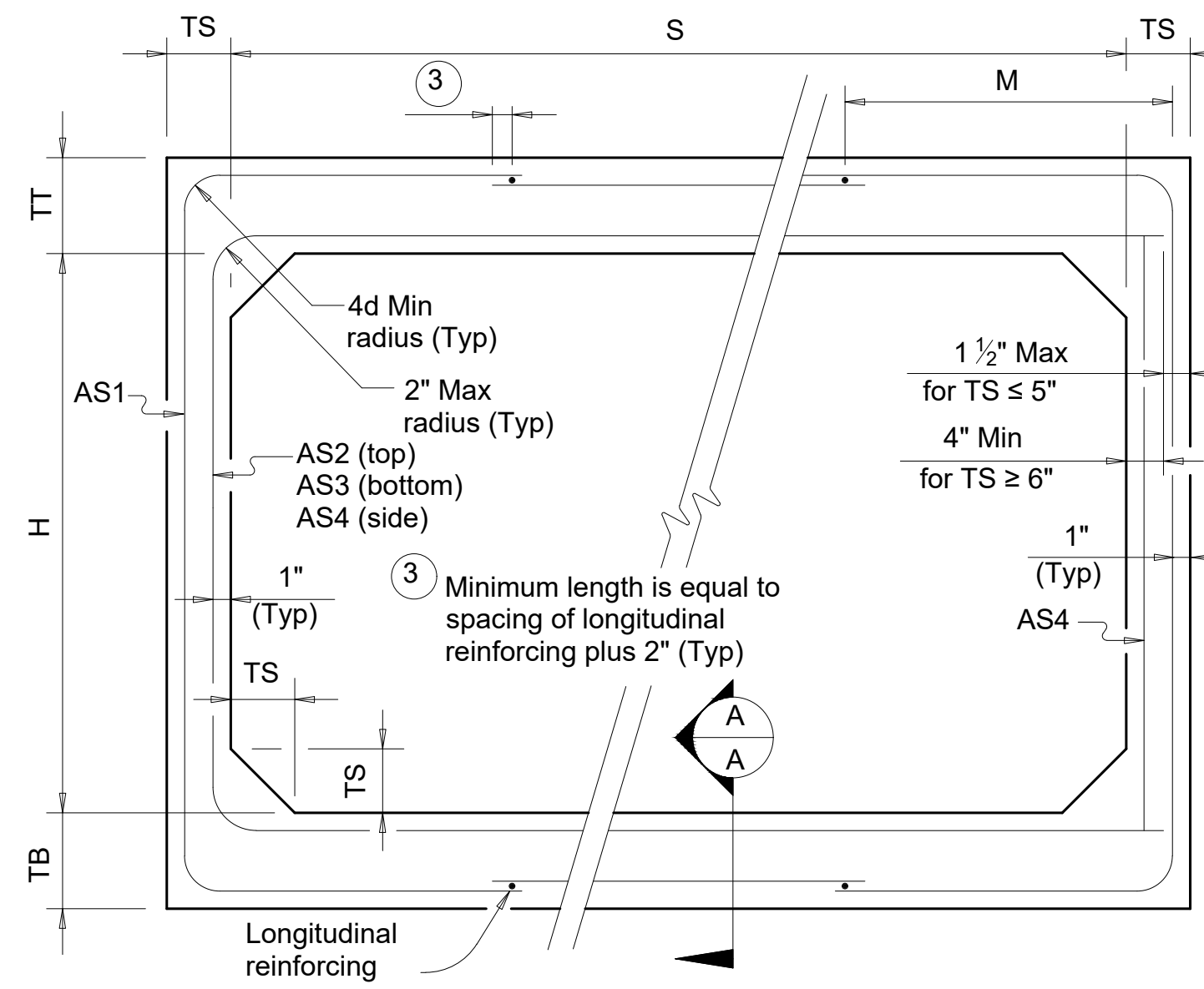
SECTION DIMENSIONS					Fill Height (ft.)	M (Min) (in.)	REINFORCING (sq. in. / ft.) ^②							① Lift Weight (tons)
S (ft.)	H (ft.)	TT (in.)	TB (in.)	TS (in.)			AS1	AS2	AS3	AS4	AS5	AS7	AS8	
5	2	8	7	6	< 2	-	0.19	0.27	0.18	0.14	0.19	0.19	0.17	6.0
5	2	6	6	6	2 < 3	44	0.22	0.20	0.16	0.14	-	-	-	5.1
5	2	6	6	6	3 - 5	44	0.16	0.14	0.14	0.14	-	-	-	5.1
5	2	6	6	6	10	36	0.15	0.14	0.14	0.14	-	-	-	5.1
5	2	6	6	6	15	36	0.20	0.18	0.18	0.14	-	-	-	5.1
5	2	6	6	6	20	36	0.26	0.23	0.24	0.14	-	-	-	5.1
5	2	6	6	6	25	36	0.33	0.29	0.29	0.14	-	-	-	5.1
5	2	6	6	6	30	36	0.39	0.34	0.35	0.14	-	-	-	5.1
5	3	8	7	6	< 2	-	0.19	0.31	0.21	0.14	0.19	0.19	0.17	6.6
5	3	6	6	6	2 < 3	45	0.18	0.24	0.19	0.14	-	-	-	5.7
5	3	6	6	6	3 - 5	36	0.14	0.17	0.16	0.14	-	-	-	5.7
5	3	6	6	6	10	36	0.14	0.16	0.17	0.14	-	-	-	5.7
5	3	6	6	6	15	35	0.16	0.21	0.22	0.14	-	-	-	5.7
5	3	6	6	6	20	35	0.21	0.27	0.28	0.14	-	-	-	5.7
5	3	6	6	6	25	35	0.26	0.34	0.34	0.14	-	-	-	5.7
5	3	6	6	6	30	35	0.31	0.41	0.41	0.14	-	-	-	5.7
5	4	8	7	6	< 2	-	0.19	0.33	0.24	0.14	0.19	0.19	0.17	7.2
5	4	6	6	6	2 < 3	45	0.16	0.27	0.22	0.14	-	-	-	6.3
5	4	6	6	6	3 - 5	45	0.14	0.19	0.18	0.14	-	-	-	6.3
5	4	6	6	6	10	36	0.14	0.18	0.18	0.14	-	-	-	6.3
5	4	6	6	6	15	35	0.14	0.23	0.24	0.14	-	-	-	6.3
5	4	6	6	6	20	35	0.17	0.30	0.31	0.14	-	-	-	6.3
5	4	6	6	6	25	35	0.21	0.37	0.38	0.14	-	-	-	6.3
5	4	6	6	6	30	35	0.25	0.44	0.45	0.14	-	-	-	6.3
5	5	8	7	6	< 2	-	0.19	0.35	0.26	0.14	0.19	0.19	0.17	7.8
5	5	6	6	6	2 < 3	45	0.14	0.29	0.24	0.14	-	-	-	6.9
5	5	6	6	6	3 - 5	45	0.14	0.21	0.20	0.14	-	-	-	6.9
5	5	6	6	6	10	45	0.14	0.19	0.20	0.14	-	-	-	6.9
5	5	6	6	6	15	36	0.14	0.24	0.25	0.14	-	-	-	6.9
5	5	6	6	6	20	35	0.15	0.31	0.32	0.14	-	-	-	6.9
5	5	6	6	6	25	35	0.18	0.38	0.39	0.14	-	-	-	6.9
5	5	6	6	6	30	35	0.21	0.46	0.47	0.14	-	-	-	6.9

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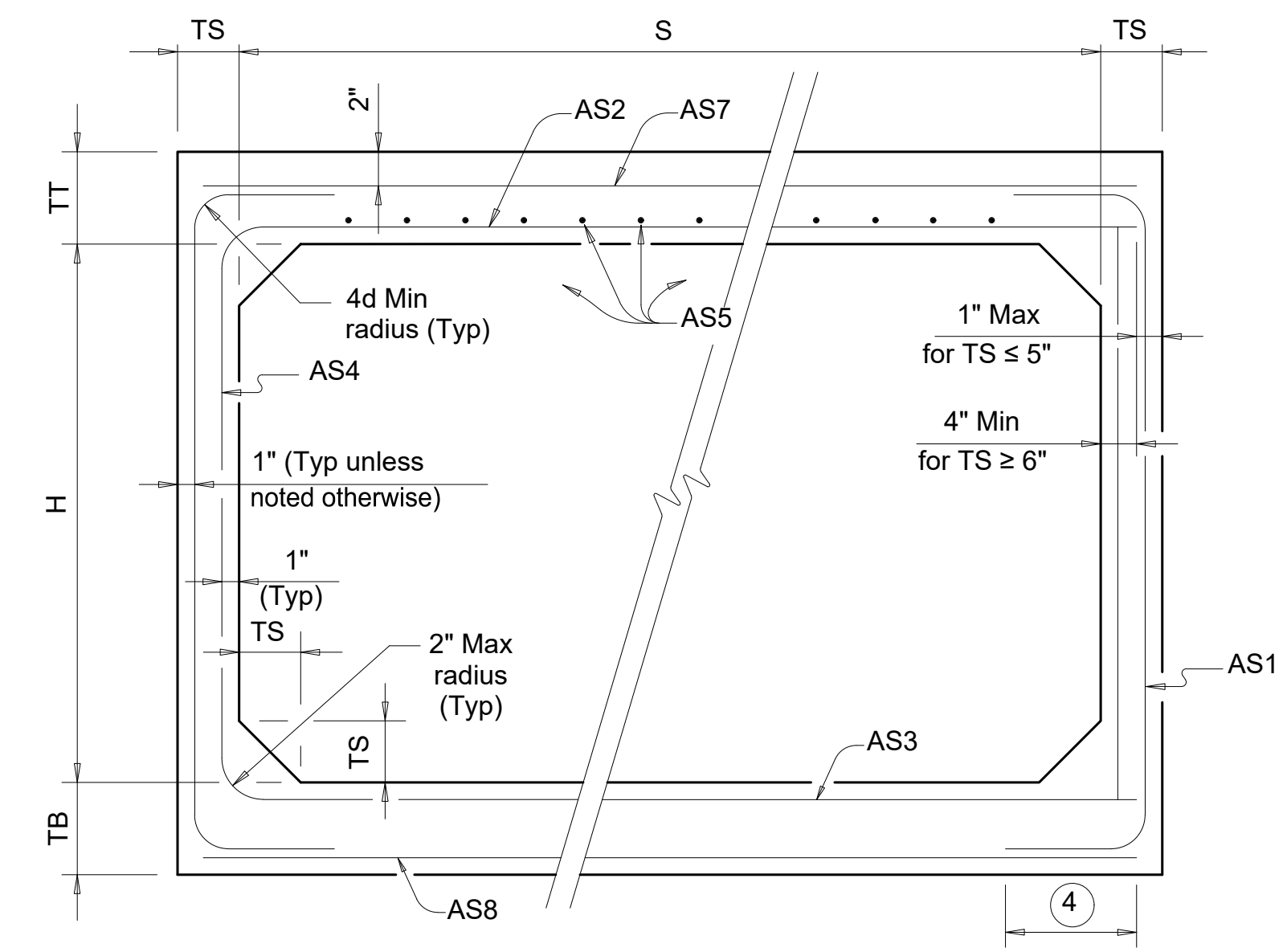
① For box length = 8'-0"

② AS1 thru AS4, AS7 and AS8 are minimum required areas of reinforcement per linear foot of box length. AS5 is minimum required area of reinforcement per linear foot of box width.



CORNER OPTION "A" CORNER OPTION "B"

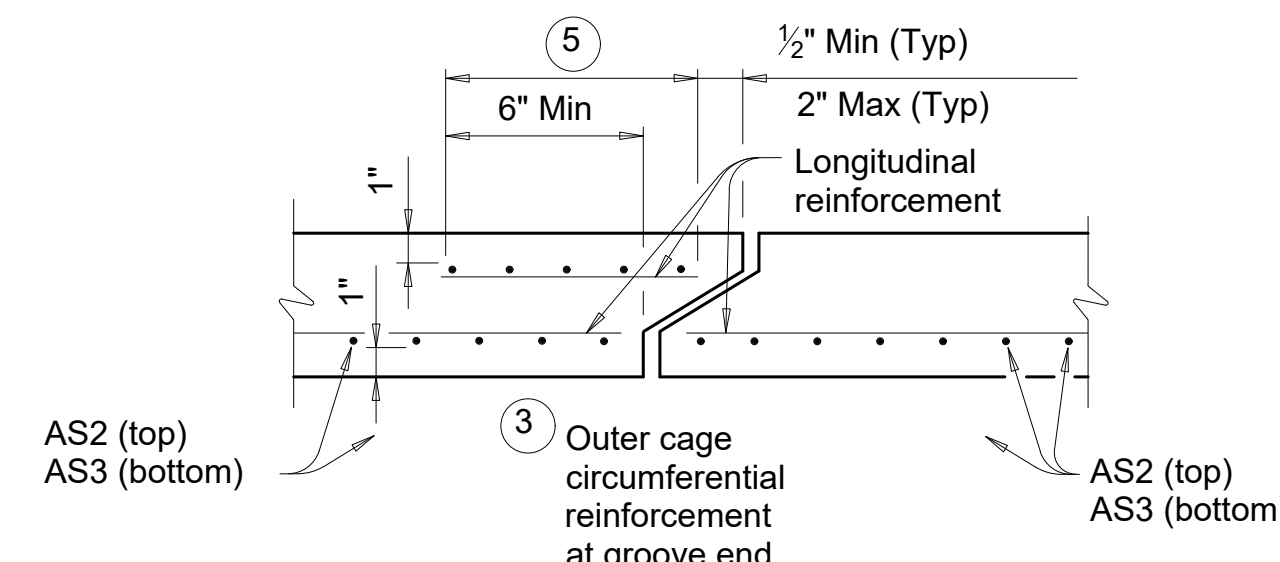
FILL HEIGHT 2 FT AND GREATER



CORNER OPTION "A" CORNER OPTION "B"

FILL HEIGHT LESS THAN 2 FT

④ Length is equal to spacing of longitudinal reinforcing plus 2". (10" Min) (Typ)



SECTION A-A

(Showing top and bottom slab joint reinforcement.)

MATERIAL NOTES:

Provide 0.03 sq. in./ft. minimum longitudinal reinforcing at each face in slabs and walls. This minimum requirement may be met by the transverse wires when wire mesh reinforcement is used.
Provide Class H concrete (f'c = 5,000 psi).

GENERAL NOTES:

Designs shown conform to ASTM C1577. Refer to ASTM C1577 for information or details not shown.
See Box Culverts Precast Miscellaneous Details (SCP-MD) standard sheet for details and notes not shown.
In lieu of furnishing the designs shown on this sheet, the contractor may furnish an alternate design that is equal to or exceeds the box design for the design fill height in the table. Submit shop plans for alternate designs in accordance with Item "Precast Concrete Structural Members (Fabrication)".

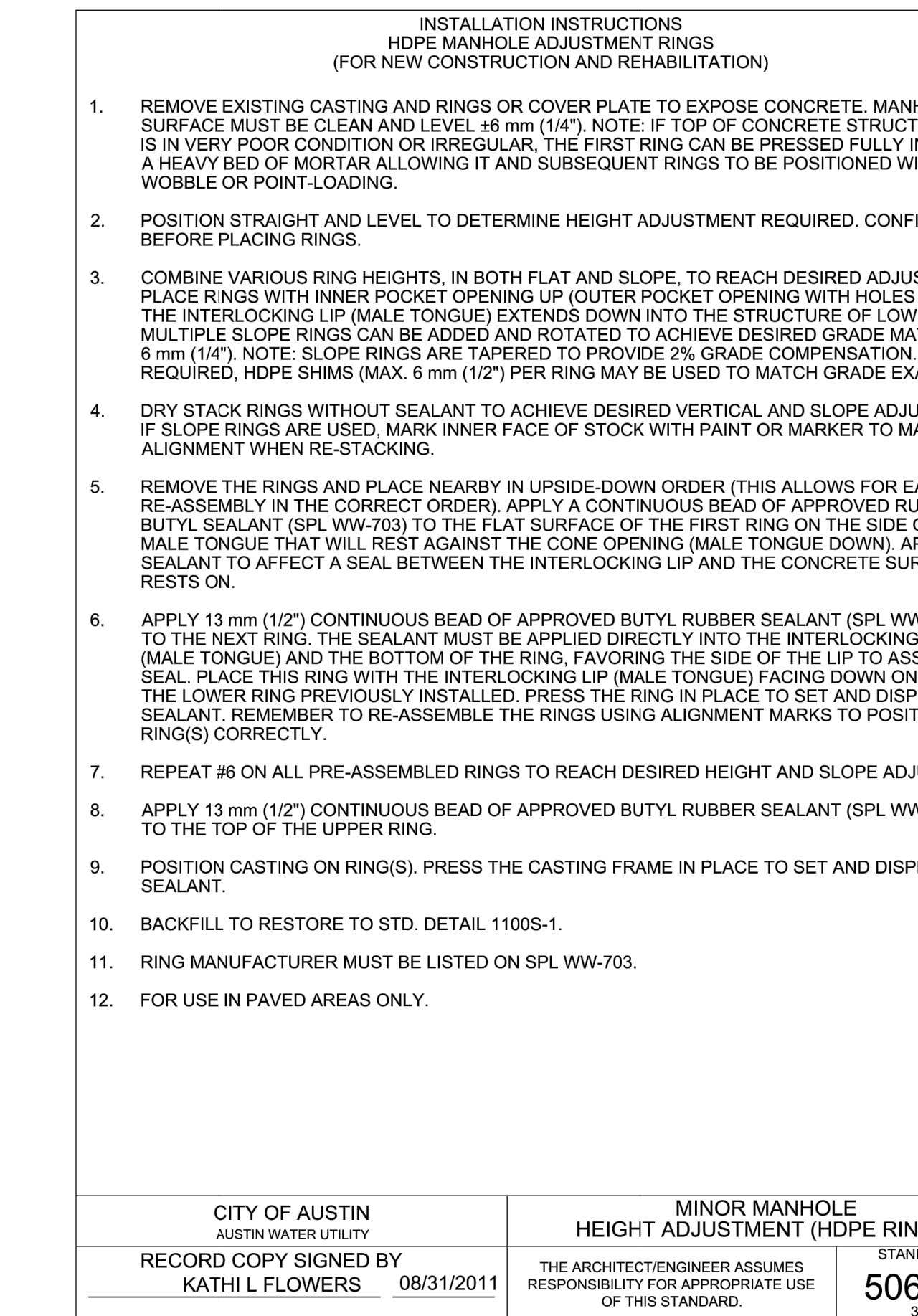
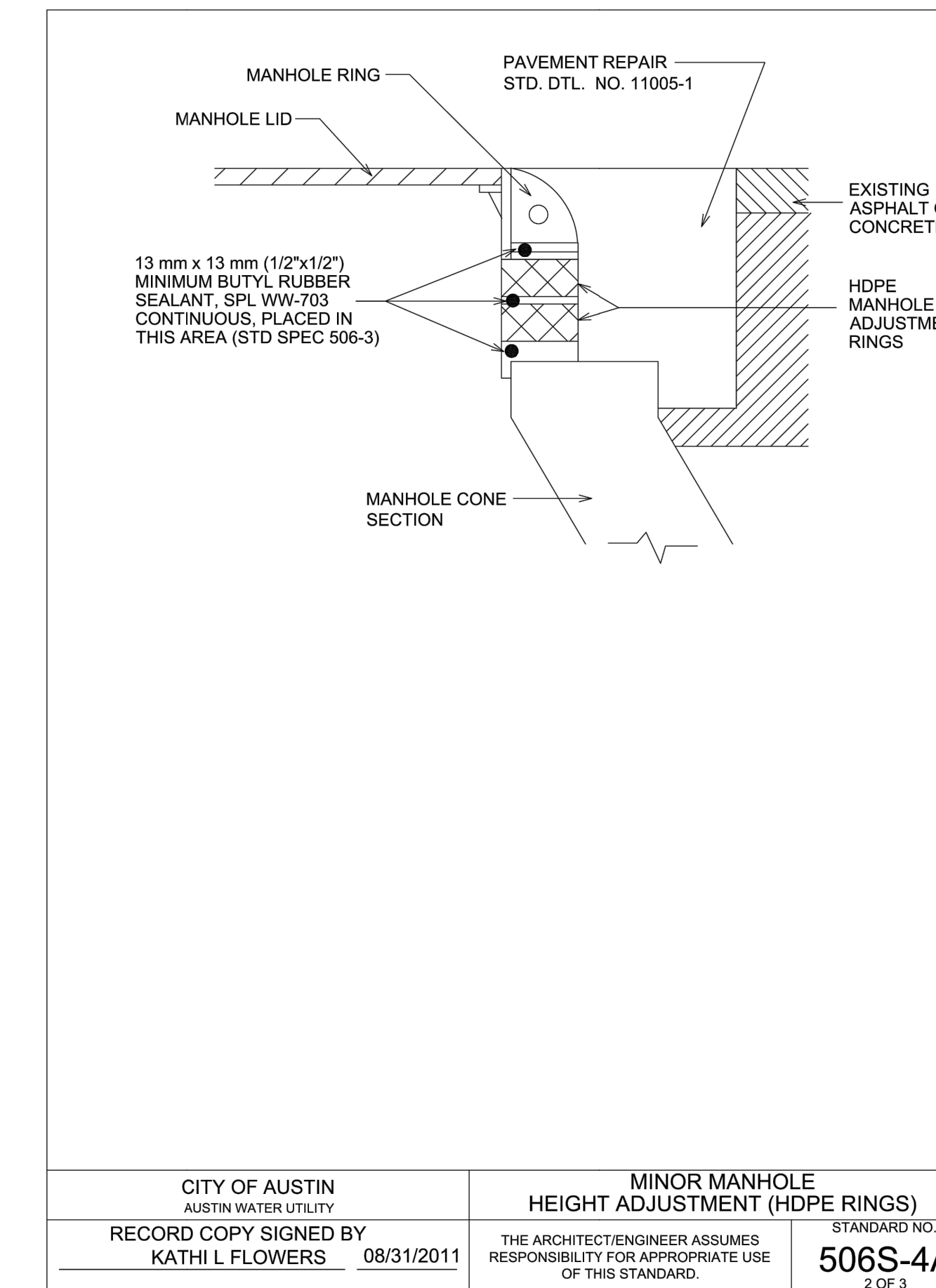
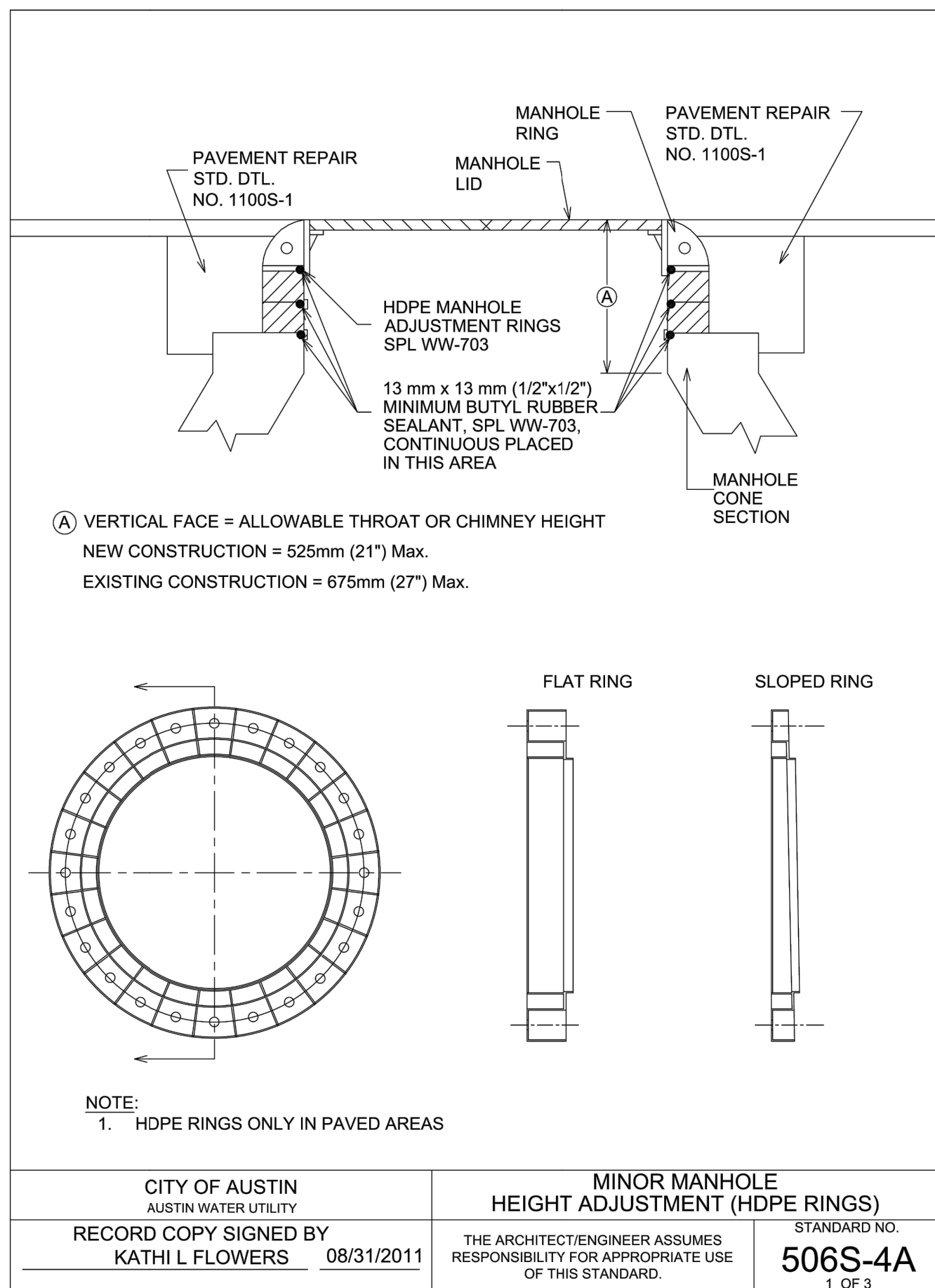
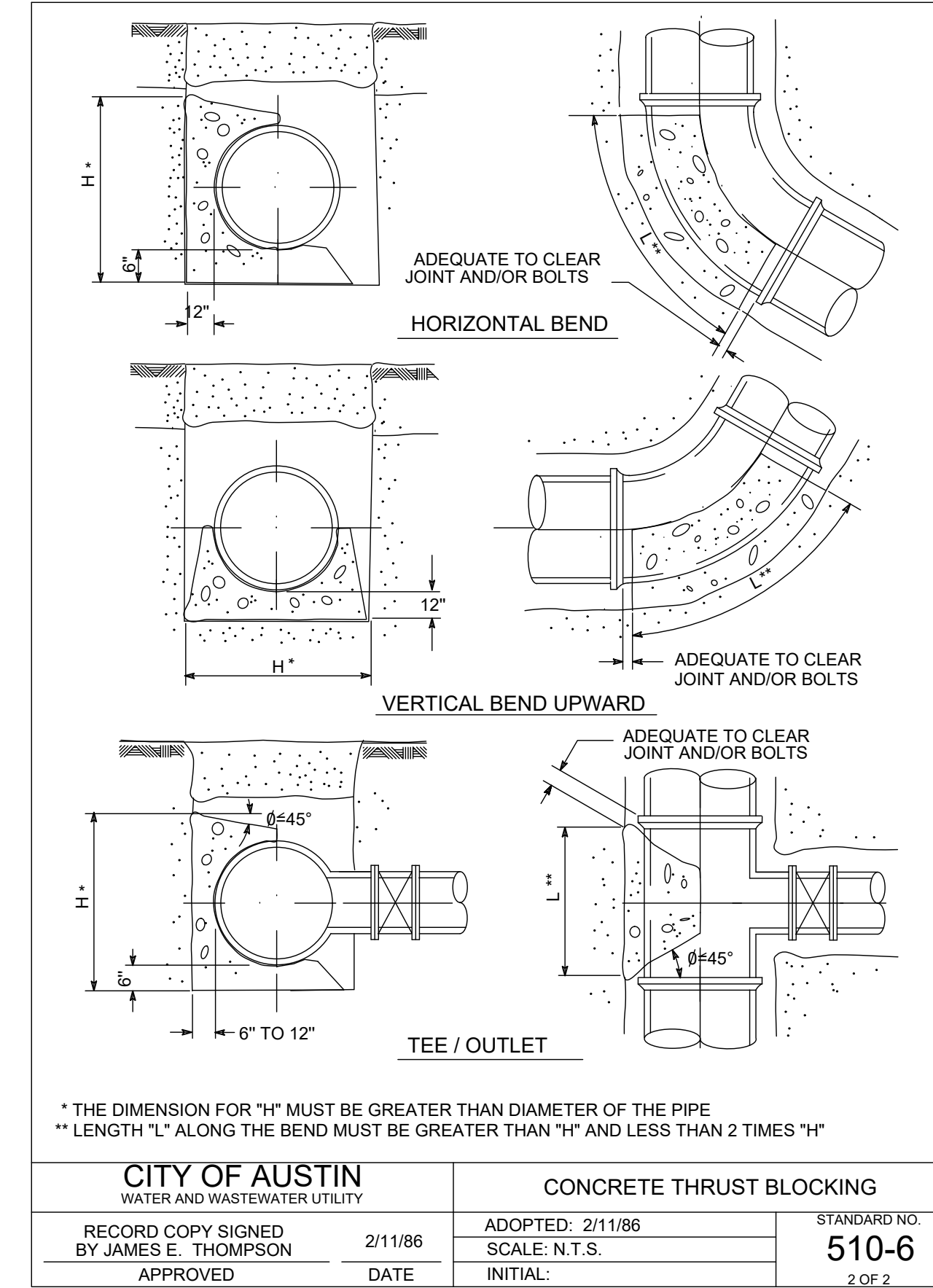
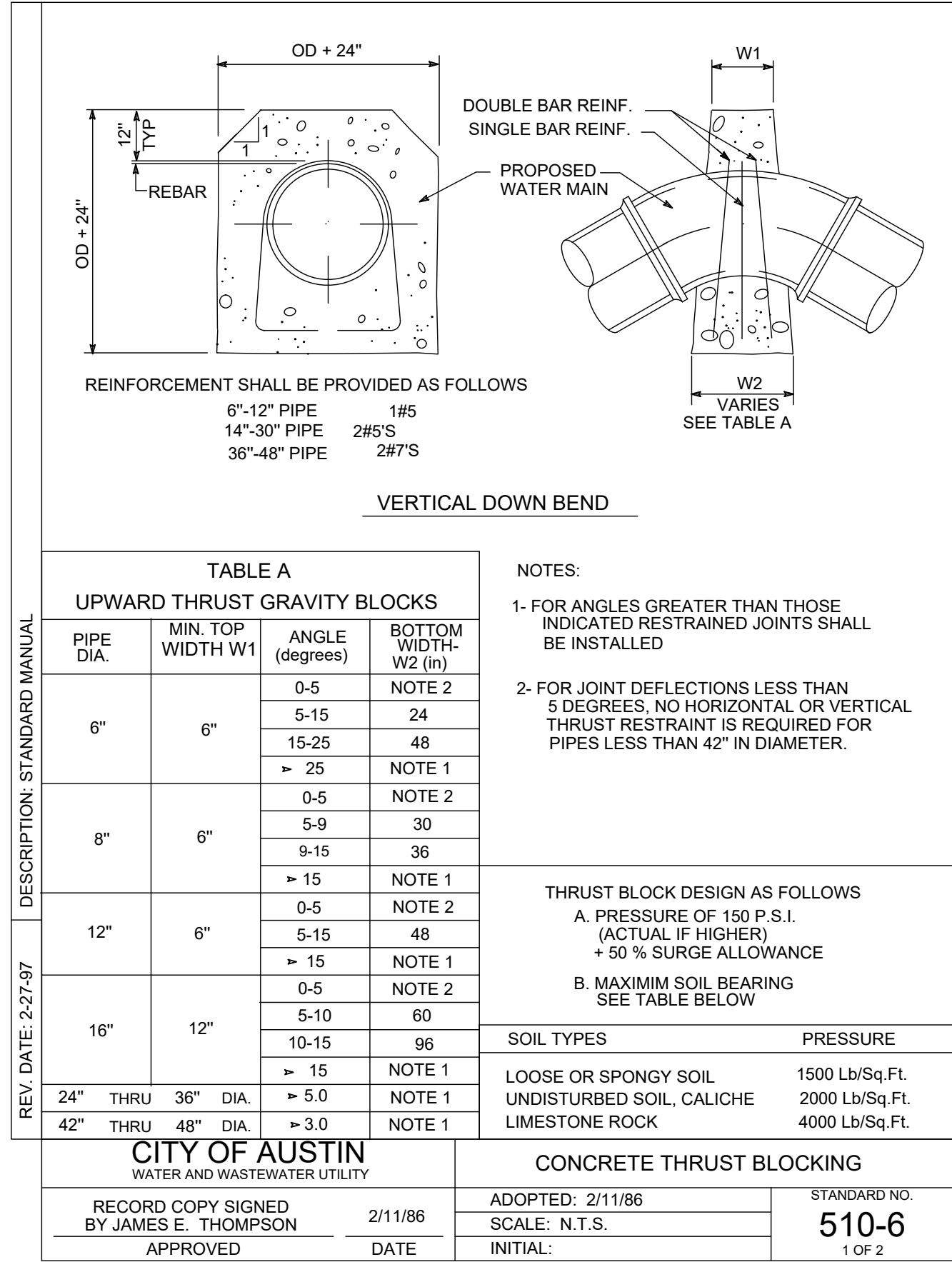
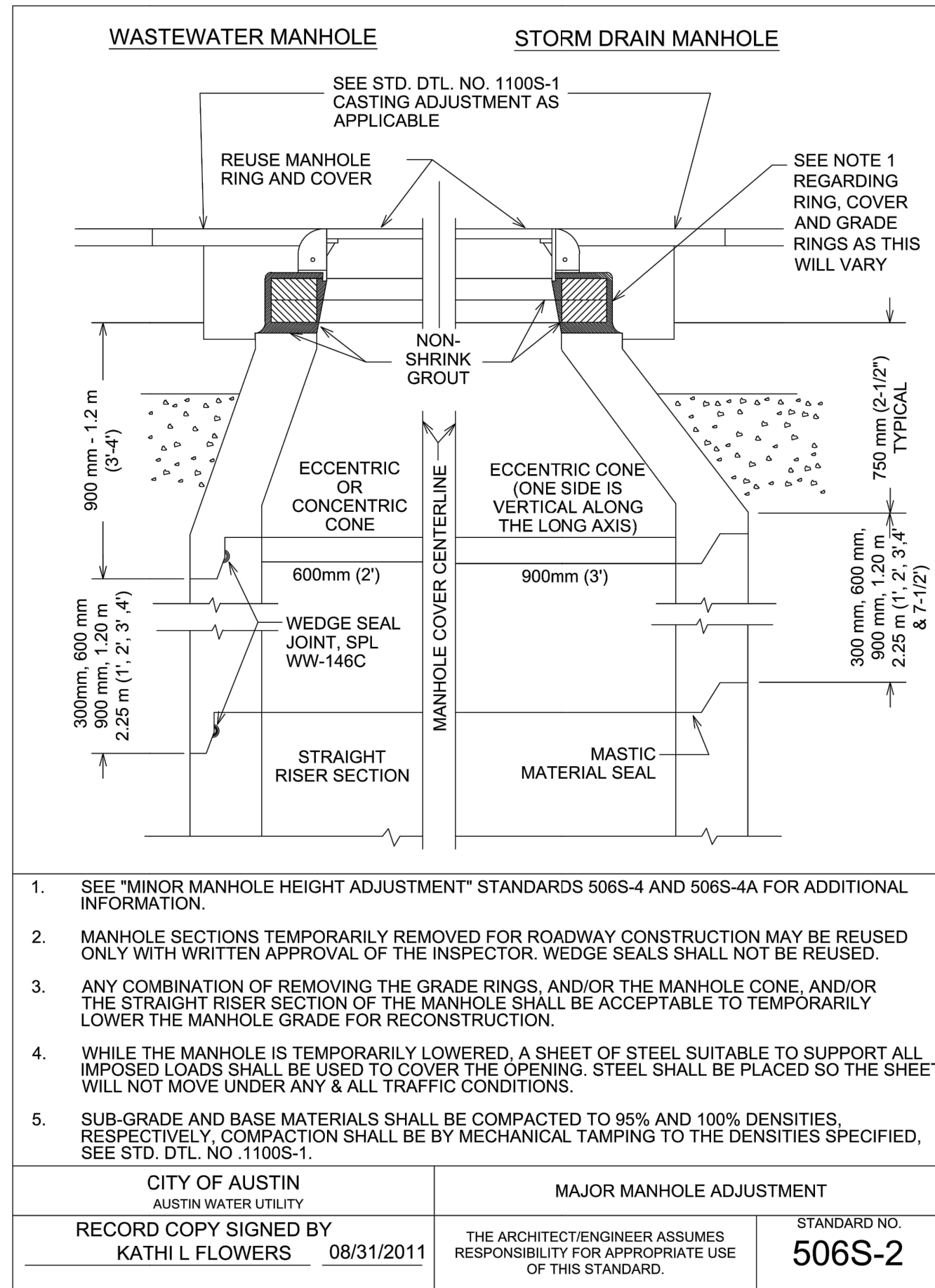
HL93 LOADING



**SINGLE BOX CULVERTS
PRECAST
5'-0" SPAN**

SCP-5

FILE: scp05sts-20.dgn	DN: TxDOT	CK: TxDOT	DW: TxDOT	CK: TxDOT
©TxDOT February 2020	CONT	SECT	JOB	HIGHWAY
REVISIONS				
DIST	COUNTY			SHEET NO.
				35 OF 49



REVISION DESCRIPTION	DATE	REV BY	NO.

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CITY OF ROLLINGWOOD, TEXAS

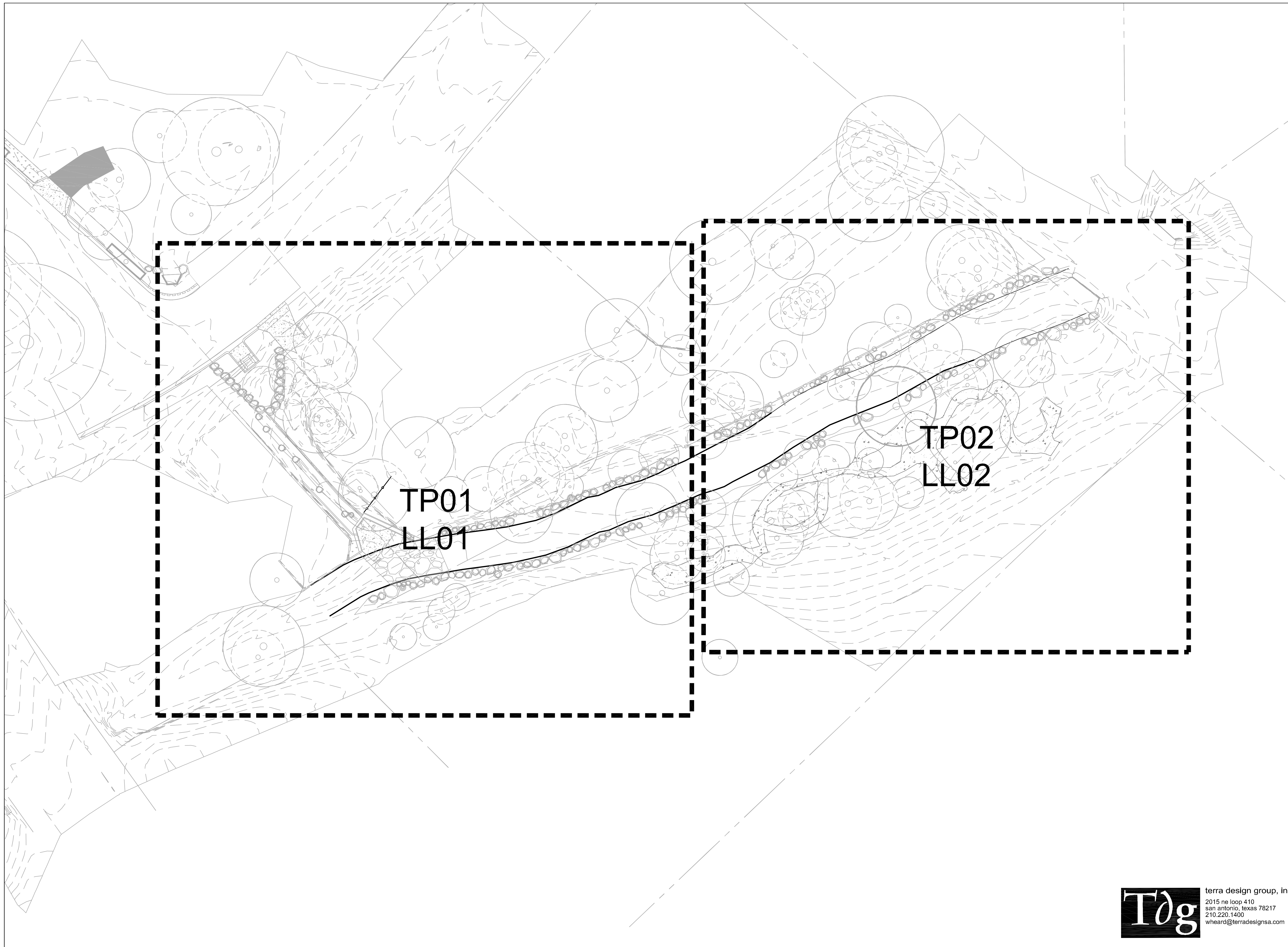
CITY OF ROLLINGWOOD
NIXON/PLEASANT DRAINAGE IMPROVEMENTS
WATER LINE DETAILS
1 OF 2

ROLLINGWOOD TEXAS
K-FRIESE + ASSOCIATES
PUBLIC PROJECT ENGINEERING
1120 S. Capital of Texas Highway
CityView 2, Suite 100
Austin, Texas 78746
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TBE Firm #6535
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DESIGNED BY	LWM 08/21
CHECKED BY	GE 08/21
REVIEWED BY	PS 09/21

WA501 36 OF 49



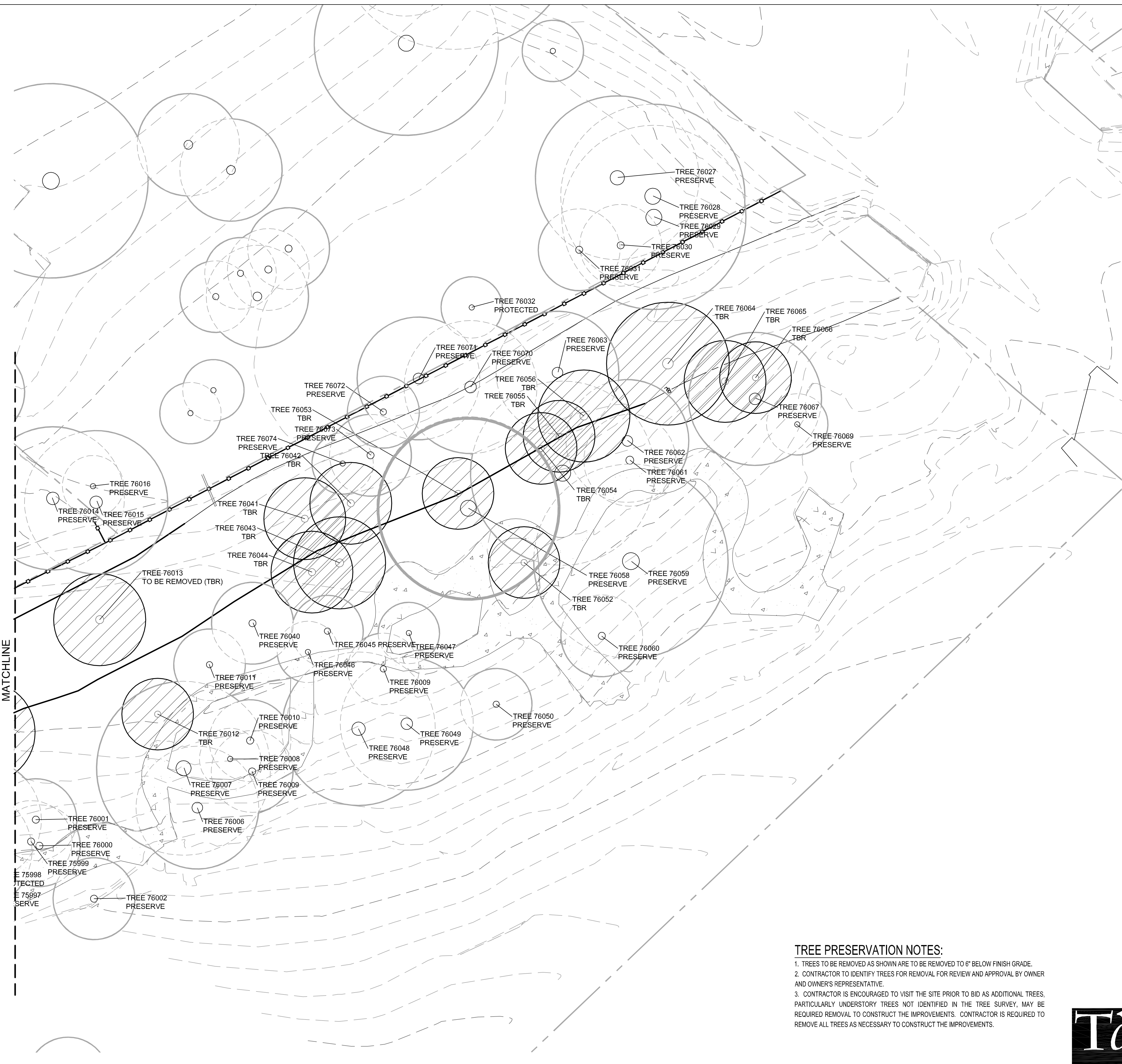
REVISION DESCRIPTION	
DATE	
REV. BY	
NO.	
100% SUBMITTAL	
CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT PROPOSED DRAINAGE IMPROVEMENTS NIXON/PLEASANT DRIVE DRAINAGE IMPROVEMENTS OVERALL TREE PRESERVATION AND LANDSCAPE LAYOUT	
<small>1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm #6535 www.kfriesec.com</small>	
NOTES	NAME DATE
SURVEY BY	
DRAWN BY	
DESIGNED BY	
CHECKED BY	
REVIEWED BY	
<small>2015 ne loop 410 san antonio, texas 78217 210.220.1400 wheard@terraesignsa.com</small>	
OL01	1 OF 1

P:\K FRIESE\NIXON DRIVE AND PLEASANT DRIVE DRAINAGE IMPROVEMENTS\APL\LANDSCAPE NIXON PLEASANT DRAINAGE 3.17.23.DWG. --- TDC MONO FULL.CTB
 3/17/2023 1:42 PM
 LOGAN HEARD

TREE INVENTORY

Species	Significant Trees 6" - 23.99"		Protection Level
	Removed	Saved	
75458 Oak		8	Preserve
75459 Oak		10	Preserve
75460 Oak		6	Preserve
75461 Oak		6	Preserve
75462 Hackberry	6		Remove
75463 Oak		7	Preserve
75464 Oak		10	Preserve
75465 Oak		14	Preserve
75466 Oak		6	Preserve
75467 Oak		8	Preserve
75468 Oak		8	Preserve
75469 Oak		8	Preserve
75470 Oak		15	Preserve
75471 Oak	8		Remove
75472 Oak	10		Remove
75473 Oak	8		Remove
75474 Oak	6		Remove
75475 Hackberry	6		Remove
75476 Hackberry		8	Preserve
75477 Hackberry		8	Preserve
75478 Oak		16	Preserve
75479 Oak		12	Preserve
75480 Oak		10	Preserve
75518 Oak		12	Preserve
75711 Chinaberry	6		Remove
75712 Chinaberry	6		Remove
75713 Chinaberry	6		Remove
75714 Hackberry	8		Remove
75715 Chinaberry	6		Remove
75716 Chinaberry	6		Remove
75718 Chinaberry	6		Remove
75719 Chinaberry	6		Remove
75720 Chinaberry	6		Remove
75721 Chinaberry	6		Remove
75722 Oak		6	Preserve
75723 Chinaberry		6	Preserve
75725 Chinaberry		6	Preserve
75726 Chinaberry		6	Preserve
75727 Cedar	14		Remove
75728 Oak		16	Preserve
75729 Oak		16	Preserve
75734 Oak		6	Preserve
75736 Oak	12		Remove
75993 Oak		14	Preserve
75994 Chinaberry	14		Remove
75995 Chinaberry	10		Remove
75996 Oak		14	Preserve
75997 Oak		12	Preserve
75998 Oak		12	Preserve
75999 Oak		8	Preserve
76000 Oak		8	Preserve
76001 Oak		8	Preserve
76002 Chinaberry		8	Preserve
76006 Hackberry		12	Preserve
76007 Oak		17	Preserve
76008 Cedar		6	Preserve
76009 Cedar		8	Preserve
76010 Cedar		8	Preserve
76011 Oak		7	Preserve
76012 Chinaberry	7		Remove
76013 Chinaberry	9		Remove
76014 Chinaberry		14	Preserve
76015 Hackberry		14	Preserve
76016 Cedar		6	Preserve
76027 Oak		16	Preserve
76028 Oak		18	Preserve
76029 Oak		18	Preserve
76030 Oak		8	Preserve
76031 Oak		8	Preserve
76032 Oak		6	Preserve
76040 Oak		8	Preserve
76041 Cedar	8		Remove
76042 Cedar	8		Remove
76043 Cedar	9		Remove
76044 Hackberry	8		Remove
76045 Hackberry		7	Preserve
76046 Tallow		6	Preserve
76047 Tallow		6	Preserve
76048 Tallow		15	Preserve
76049 Tallow		13	Preserve
76050 Tallow		7	Preserve
76051 Tallow		7	Preserve
76052 Tallow		7	Remove
76053 Cedar	7		Remove
76054 Tallow	7		Remove
76055 Tallow	7		Remove
76056 Tallow	9		Remove
76057 Oak		18	Preserve
76058 Tallow		18	Preserve
76059 Tallow		19	Preserve
76060 Oak		8	Preserve
76061 Oak		9	Preserve
76062 Oak		12	Preserve
76063 Oak		12	Preserve
76064 Tallow	12		Remove
76065 Tallow	8		Remove
76066 Tallow	7		Remove
76067 Oak		13	Preserve
76069 Oak		6	Preserve
76070 Oak		13	Preserve
76071 Oak		12	Preserve
76072 Oak		7	Preserve
76073 Oak		8	Preserve
76074 Oak		6	Preserve

Sub. Tot. Inches=	269	714
Total inches by category=		983
Preservation percentage=		73%
Mitigation required=	1 to 1	0



TREE PRESERVATION NOTES:

- TREES TO BE REMOVED AS SHOWN ARE TO BE REMOVED TO 6" BELOW FINISH GRADE.
- CONTRACTOR TO IDENTIFY TREES FOR REMOVAL FOR REVIEW AND APPROVAL BY OWNER AND OWNER'S REPRESENTATIVE.
- CONTRACTOR IS ENCOURAGED TO VISIT THE SITE PRIOR TO BID AS ADDITIONAL TREES, PARTICULARLY UNDERSTORY TREES NOT IDENTIFIED IN THE TREE SURVEY, MAY BE REQUIRED REMOVAL TO CONSTRUCT THE IMPROVEMENTS. CONTRACTOR IS REQUIRED TO REMOVE ALL TREES AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.

Tdg terra design group, inc.
 2015 ne loop 410
 san antonio, texas 78217
 210.220.1400
 whheard@terradesigns.com

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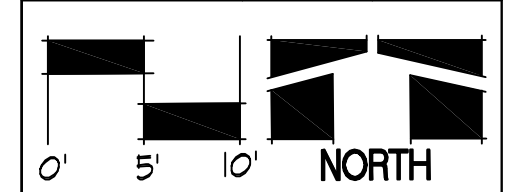
REGISTERED LANDSCAPE ARCHITECT
 WALTER H. HEARD
 629
 STATE OF TEXAS
 3.17.23
Walter H. Heard

CITY OF ROLLINGWOOD, TEXAS
 PUBLIC WORKS
 DEPARTMENT

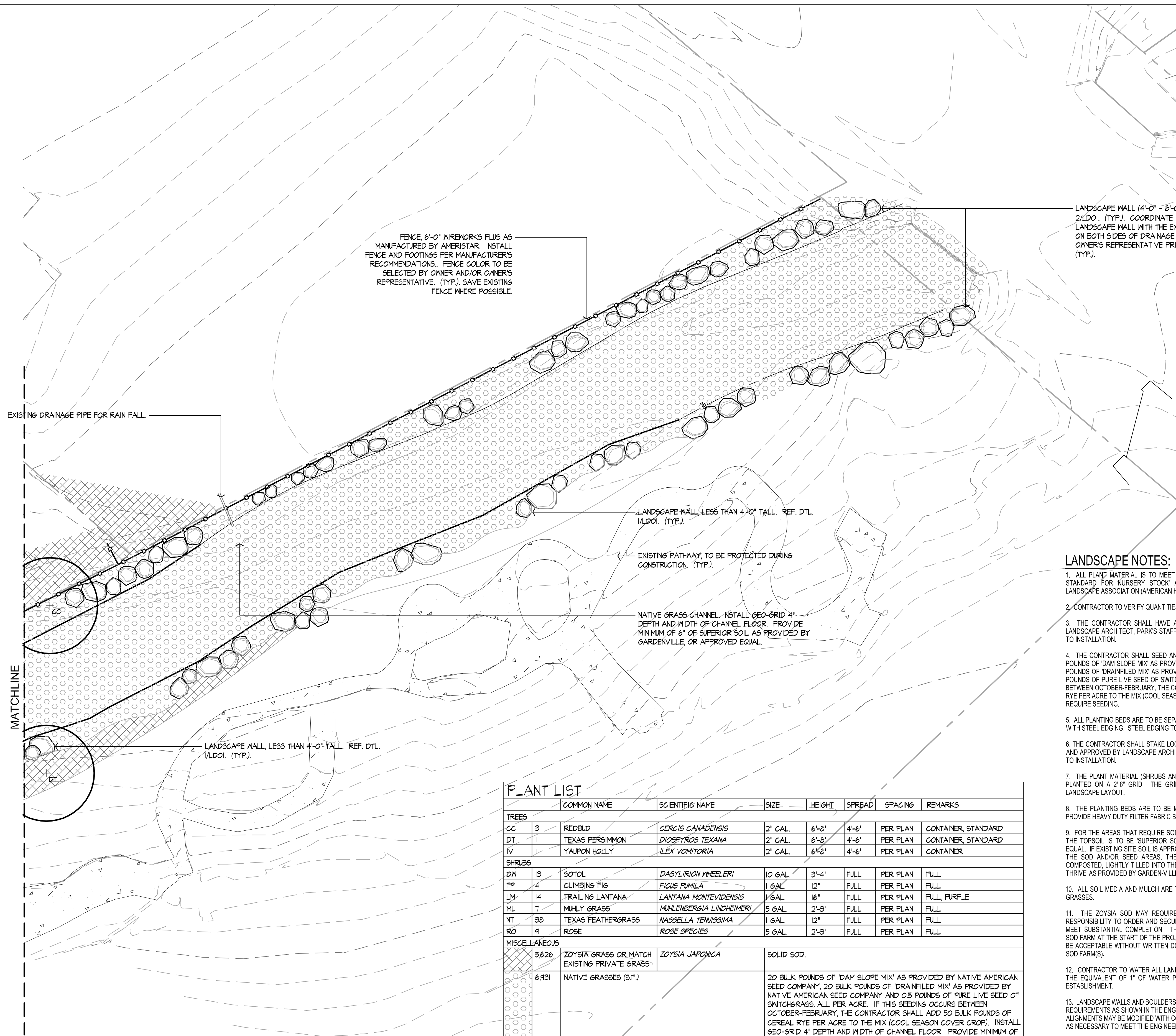
PROPOSED DRAINAGE IMPROVEMENTS
 NIXON/PLEASANT DRAINAGE IMPROVEMENTS
 TREE PRESERVATION

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P:\K-FRIESE\NIXON DRIVE AND PLEASANT DRIVE DRAINAGE IMPROVEMENTS\APL\PLANS\BASE NIXON PLEASANT DRAINAGE 3.13.DWG. - 100% TDC MONO FULL.CTM 3/17/2023 3:17 PM



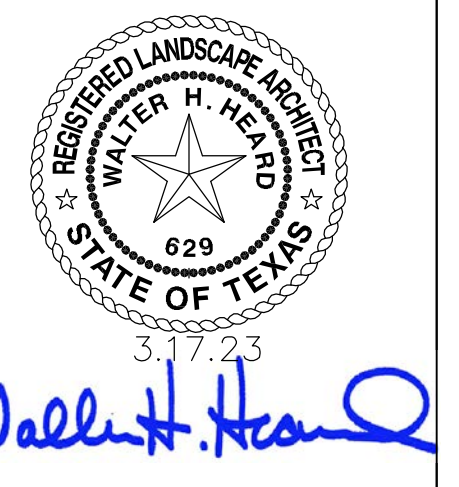
LANDSCAPE NOTES:

1. ALL PLANT MATERIAL IS TO MEET THE MINIMUM STANDARDS AS PER THE 'AMERICAN STANDARD FOR NURSERY STOCK' AS PROVIDED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (AMERICAN HORTICULTURE INDUSTRY ASSOCIATION).
2. CONTRACTOR TO VERIFY QUANTITIES ON PLANS.
3. THE CONTRACTOR SHALL HAVE ALL PLANT MATERIAL SPOTTED AND APPROVED BY LANDSCAPE ARCHITECT, PARKS STAFF, OWNER AND/OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
4. THE CONTRACTOR SHALL SEED AND ESTABLISH ALL DISTURBED AREAS WITH 20 BULK POUNDS OF 'DAM SLOPE MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY, 20 BULK POUNDS OF 'DRAINFILED MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY AND 0.5 POUNDS OF PURE LIVE SEED OF SWITCHGRASS, ALL PER ACRE. IF THIS SEEDING OCCURS BETWEEN OCTOBER-FEBRUARY, THE CONTRACTOR SHALL ADD 50 BULK POUNDS OF CEREAL RYE PER ACRE TO THE MIX (COOL SEASON COVER CROP). AREAS SHOWN WITH SOD DO NOT REQUIRE SEEDING.
5. ALL PLANTING BEDS ARE TO BE SEPARATED FROM TURF AND NATIVE GRASS/TURF AREAS WITH STEEL EDGING. STEEL EDGING TO BE 6" TALL X 1/4" THICK.
6. THE CONTRACTOR SHALL STAKE LOCATIONS OF PROPOSED TREES IN FIELD FOR REVIEW AND APPROVED BY LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. THE PLANT MATERIAL (SHRUBS AND NON-TREE PLANTS) FOR THIS PROJECT, IS TO BE PLANTED ON A 2'-6" GRID. THE GRID IS NOT PLANTED SOLID BUT AS SHOWN IN THE LANDSCAPE LAYOUT.
8. THE PLANTING BEDS ARE TO BE MULCHED WITH CRUSHED LIMESTONE, 4" DIAMETER. PROVIDE HEAVY DUTY FILTER FABRIC BELOW THE PINK GRANITE.
9. FOR THE AREAS THAT REQUIRE SOD OR SEEDING, 4" OF TOPSOIL ARE TO BE PROVIDED. THE TOPSOIL IS TO BE 'SUPERIOR SOIL' AS PROVIDED BY GARDENVILLE OR APPROVED EQUAL. IF EXISTING SITE SOIL IS APPROVED BY THE LANDSCAPE ARCHITECT AND USED FOR THE SOD AND/OR SEED AREAS, THE EXISTING SOIL IS TO BE AMENDED WITH 2" OF COMPOSTED, LIGHTLY TILLED INTO THE TOP 4" OF THE SOIL. THE COMPOST IS TO BE 'ECO THRIVE' AS PROVIDED BY GARDENVILLE OR APPROVED EQUAL.
10. ALL SOIL MEDIA AND MULCH ARE TO BE CLEAN AND FREE OF WEEDS AND UNWANTED GRASSES.
11. THE ZOYSIA SOD MAY REQUIRE A LONG LEAD TIME. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ORDER AND SECURE SOD FOR THIS PROJECT IN A TIMELY MANNER TO MEET SUBSTANTIAL COMPLETION. THIS MAY REQUIRE ORDER COORDINATION WITH THE SOD FARM AT THE START OF THE PROJECT. EXTENSION OF CONSTRUCTION TIME WILL NOT BE ACCEPTABLE WITHOUT WRITTEN DOCUMENTATION OF EARLY COORDINATION WITH THE SOD FARM(S).
12. CONTRACTOR TO WATER ALL LANDSCAPE IMPROVEMENTS FOR THREE (3) MONTHS TO THE EQUIVALENT OF 1" OF WATER PER WEEK OR AS NEEDED FOR VEGETATION/PLANT ESTABLISHMENT.
13. LANDSCAPE WALLS AND BOULDERS ARE TO BE PLACED TO MEET THE DRAINAGE REQUIREMENTS AS SHOWN IN THE ENGINEER'S SHEETS. LANDSCAPE WALL AND BOULDER ALIGNMENTS MAY BE MODIFIED WITH COORDINATION WITH THE OWNER'S REPRESENTATIVE AS NECESSARY TO MEET THE ENGINEER'S DRAINAGE REQUIREMENTS.

PLANT LIST								
	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS	
TREES								
CC	3	REDBUD	<i>CERCIS CANADENSIS</i>	2" CAL.	6'-8'	4'-6'	PER PLAN CONTAINER, STANDARD	
DT	1	TEXAS PERSIMMON	<i>DIOSPYROS TEXANA</i>	2" CAL.	6'-8'	4'-6'	PER PLAN CONTAINER, STANDARD	
IV	1	YAUPOH HOLLY	<i>ILEX VOMITORIA</i>	2" CAL.	6'-8'	4'-6'	PER PLAN CONTAINER	
SHRUBS								
DN	13	SOTOL	<i>DASYLIRON WHEELERI</i>	10 GAL.	3'-4'	FULL	PER PLAN FULL	
FP	4	CLIMBING FIG	<i>FICUS PUMILA</i>	1 GAL.	12"	FULL	PER PLAN FULL	
LM	14	TRAILING LANTANA	<i>LANTANA MONTEVIDENSIS</i>	1 GAL.	16"	FULL	PER PLAN FULL, PURPLE	
ML	7	MUHLY GRASS	<i>MUHLENBERGIA LINDHEIMERI</i>	5 GAL.	2'-3'	FULL	PER PLAN FULL	
NT	38	TEXAS FEATHERGRASS	<i>NASSELLA TENUISSIMA</i>	1 GAL.	12"	FULL	PER PLAN FULL	
RO	9	ROSE	<i>ROSE SPECIES</i>	5 GAL.	2'-3'	FULL	PER PLAN FULL	
MISCELLANEOUS								
	5626	ZOYSIA GRASS OR MATCH EXISTING PRIVATE GRASS	<i>ZOYSIA JAPONICA</i>					SOLID SOD.
	6931	NATIVE GRASSES (S.F.)					20 BULK POUNDS OF 'DAM SLOPE MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY, 20 BULK POUNDS OF 'DRAINFILED MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY AND 0.5 POUNDS OF PURE LIVE SEED OF SWITCHGRASS, ALL PER ACRE. IF THIS SEEDING OCCURS BETWEEN OCTOBER-FEBRUARY, THE CONTRACTOR SHALL ADD 50 BULK POUNDS OF CEREAL RYE PER ACRE TO THE MIX (COOL SEASON COVER CROP). INSTALL GEO-GRID 4" DEPTH AND WIDTH OF CHANNEL FLOOR. PROVIDE MINIMUM OF 6" OF SUPERIOR SOIL AS PROVIDED BY GARDENVILLE, OR APPROVED EQUAL.	
	928	MULCH (S.F.)					CRUSHED LIMESTONE, 4" DIAMETER WITH HEAVY DUTY FILTER FABRIC BELOW.	

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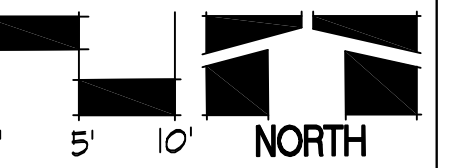
CITY OF ROLLINGWOOD, TEXAS
PUBLIC WORKS DEPARTMENT

PROPOSED DRAINAGE IMPROVEMENTS
NIXON/PLEASANT DRAINAGE IMPROVEMENTS
LANDSCAPE LAYOUT



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CITY OF ROLLINGWOOD, TEXAS

CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMENTS FOR HUBBARD CIRCLE, HATLEY DRIVE AND PICKWICK LANE



PREPARED & SUBMITTED FOR APPROVAL BY:

PRELIMINARY

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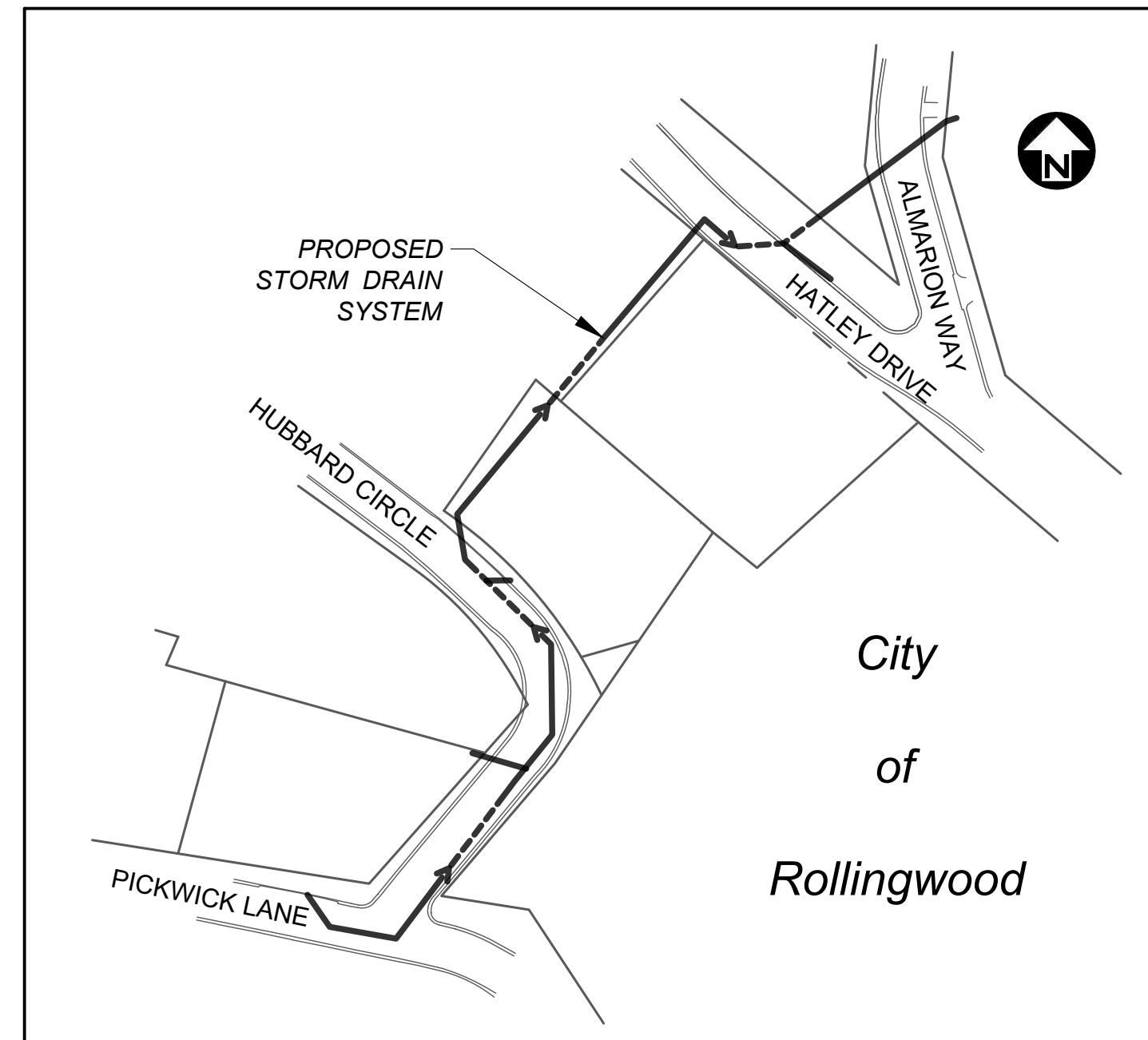
GEOFF ELFERS, P.E. DATE

RECOMMENDED FOR APPROVAL BY: _____

MAYOR GAVIN MASSINGILL - CITY OF ROLLINGWOOD DATE

ASHLEY WAYMAN - INTERIM CITY ADMINISTRATOR DATE

SHEET INDEX		
#	ID	DESCRIPTION
1	G001	COVER SHEET
2	G002	GENERAL NOTES
3	G003	CONSTRUCTION NOTES
4	G004	ESTIMATED QUANTITIES
5	G005	HORIZONTAL CONTROL LAYOUT SHEET
6	DP101	DEMOLITION AND PROTECTION PLAN
7	DP102	DEMOLITION AND PROTECTION PLAN
8	DA101	DRAINAGE AREA MAP
9	CA01	STORM SEWER HYDRAULIC CALCULATIONS
10	PLPR01	STORM SEWER PLAN & PROFILE STA. 10+00.00-13+50.00
11	PLPR02	STORM SEWER PLAN & PROFILE STA. 13+50.00-16+20.00
12	PLPR03	STORM SEWER PLAN & PROFILE STA. 16+20.00-19+00.42
13	PLPR04	SDL-B, SDL-C & SDL-D LATERAL PLAN & PROFILES
14	SDPL1	SDL-B AND DETENTION POND OUTFALL
15	DET01	DRAINAGE & PAVEMENT DETAILS
16	DET02	DRAINAGE & PAVEMENT DETAILS
17	DET03	DRAINAGE & PAVEMENT DETAILS
18	DET04	DRAINAGE & PAVEMENT DETAILS
19	DET05	DRAINAGE & PAVEMENT DETAILS
20	DET06	DRAINAGE & PAVEMENT DETAILS
21	DET07	DRAINAGE & PAVEMENT DETAILS
22	DET08	DRAINAGE & PAVEMENT DETAILS
23	SDPL1	WATER AND SANITARY SEWER LOCATIONS
24	GD101	GRADING PLAN
25	EC101	EROSION CONTROL PLAN
26	EC102	EROSION CONTROL PLAN
27	EC501	EROSION CONTROL DETAILS
28	CT101	TRAFFIC CONTROL PLAN
29	CT501	TRAFFIC CONTROL DETAILS
30	CV101	WATER SERVICE RELOCATION PLAN
31	CV102	WATER ABANDONMENT PLAN
32	CV501	WATER DETAILS



LOCATION MAP
N.T.S.

MAYOR
GAVIN MASSINGILL
COUNCIL MEMBERS

SARA HUTSON
ALEC ROBINSON
BROOK BROWN
PHIL McDUFFEE
ROXANNE McKEE

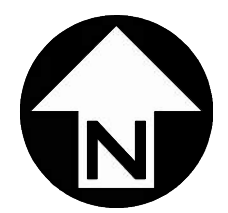
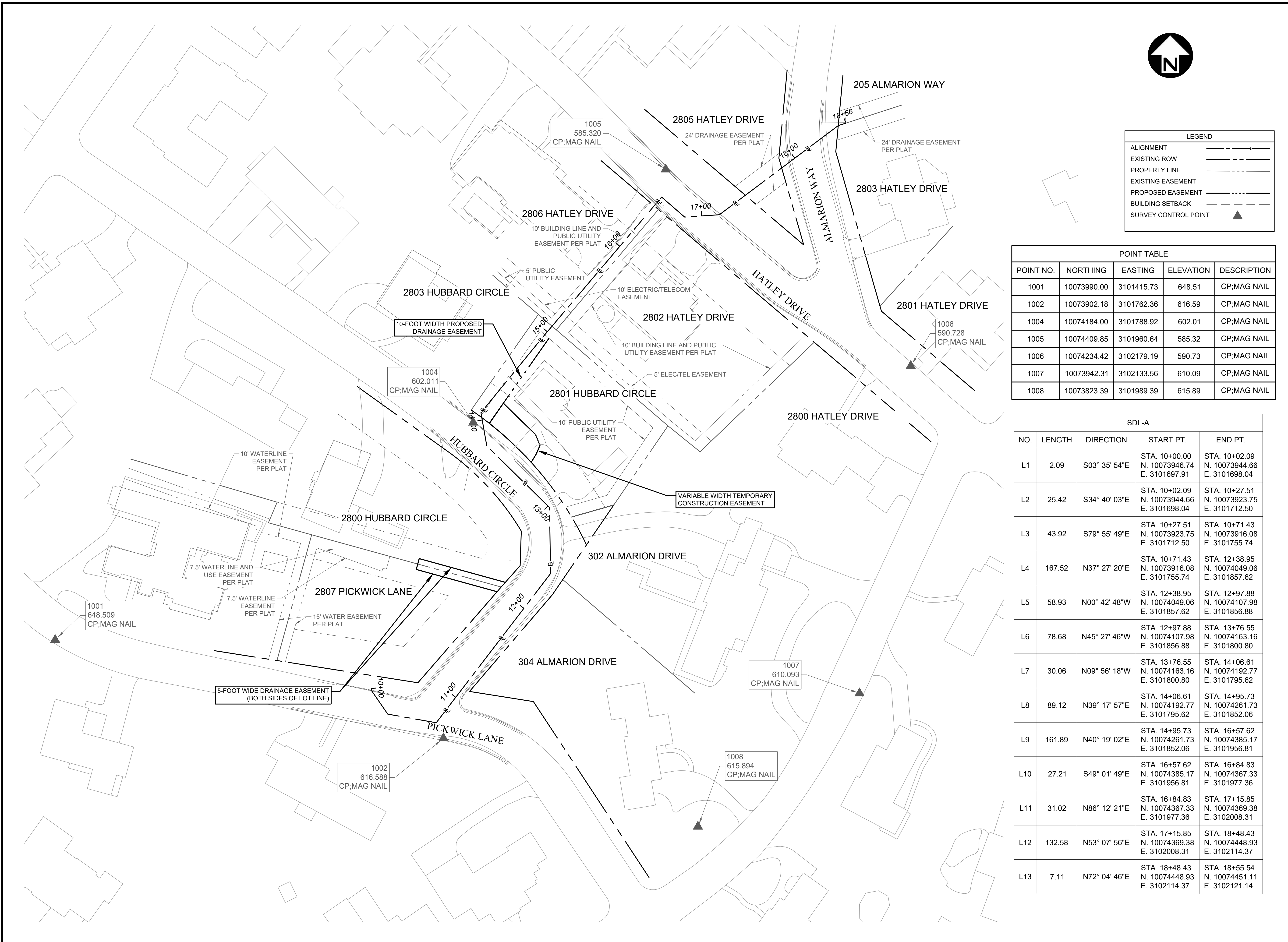
INTERIM CITY ADMINISTRATOR
ASHLEY WAYMAN

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CITY OF ROLLINGWOOD
PROPOSED DRAINAGE IMPROVEMENTS

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LEGEND

- ALIGNMENT
- EXISTING ROW
- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- BUILDING SETBACK
- SURVEY CONTROL POINT

POINT TABLE

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1001	10073990.00	3101415.73	648.51	CP:MAG NAIL
1002	10073902.18	3101762.36	616.59	CP:MAG NAIL
1004	10074184.00	3101788.92	602.01	CP:MAG NAIL
1005	10074409.85	3101960.64	585.32	CP:MAG NAIL
1006	10074234.42	3102179.19	590.73	CP:MAG NAIL
1007	10073942.31	3102133.56	610.09	CP:MAG NAIL
1008	10073823.39	3101989.39	615.89	CP:MAG NAIL

SDL-A

NO.	LENGTH	DIRECTION	START PT.	END PT.
L1	2.09	S03° 35' 54"E	STA. 10+00.00 N. 10073946.74 E. 3101697.91	STA. 10+02.09 N. 10073944.66 E. 3101698.04
L2	25.42	S34° 40' 03"E	STA. 10+02.09 N. 10073944.66 E. 3101698.04	STA. 10+27.51 N. 10073923.75 E. 3101712.50
L3	43.92	S79° 55' 49"E	STA. 10+27.51 N. 10073923.75 E. 3101712.50	STA. 10+71.43 N. 10073916.08 E. 3101755.74
L4	167.52	N37° 27' 20"E	STA. 10+71.43 N. 10073916.08 E. 3101755.74	STA. 12+38.95 N. 10074049.06 E. 3101857.62
L5	58.93	N00° 42' 48"W	STA. 12+38.95 N. 10074049.06 E. 3101857.62	STA. 12+97.88 N. 10074107.98 E. 3101856.88
L6	78.68	N45° 27' 46"W	STA. 12+97.88 N. 10074107.98 E. 3101856.88	STA. 13+76.55 N. 10074163.16 E. 3101800.80
L7	30.06	N09° 56' 18"W	STA. 13+76.55 N. 10074163.16 E. 3101800.80	STA. 14+06.61 N. 10074192.77 E. 3101795.62
L8	89.12	N39° 17' 57"E	STA. 14+06.61 N. 10074192.77 E. 3101795.62	STA. 14+95.73 N. 10074261.73 E. 3101852.06
L9	161.89	N40° 19' 02"E	STA. 14+95.73 N. 10074261.73 E. 3101852.06	STA. 16+57.62 N. 10074385.17 E. 3101956.81
L10	27.21	S49° 01' 49"E	STA. 16+57.62 N. 10074385.17 E. 3101956.81	STA. 16+84.83 N. 10074367.33 E. 3101977.36
L11	31.02	N86° 12' 21"E	STA. 16+84.83 N. 10074367.33 E. 3101977.36	STA. 17+15.85 N. 10074369.38 E. 3102008.31
L12	132.58	N53° 07' 56"E	STA. 17+15.85 N. 10074369.38 E. 3102008.31	STA. 18+48.43 N. 10074448.93 E. 3102114.37
L13	7.11	N72° 04' 46"E	STA. 18+48.43 N. 10074448.93 E. 3102114.37	STA. 18+55.54 N. 10074451.11 E. 3102121.14

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PROPOSED DRAINAGE IMPROVEMENTS
HORIZONTAL CONTROL LAYOUT SHEET

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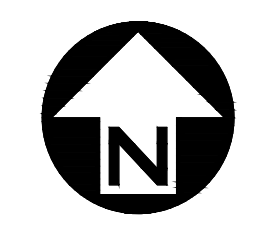
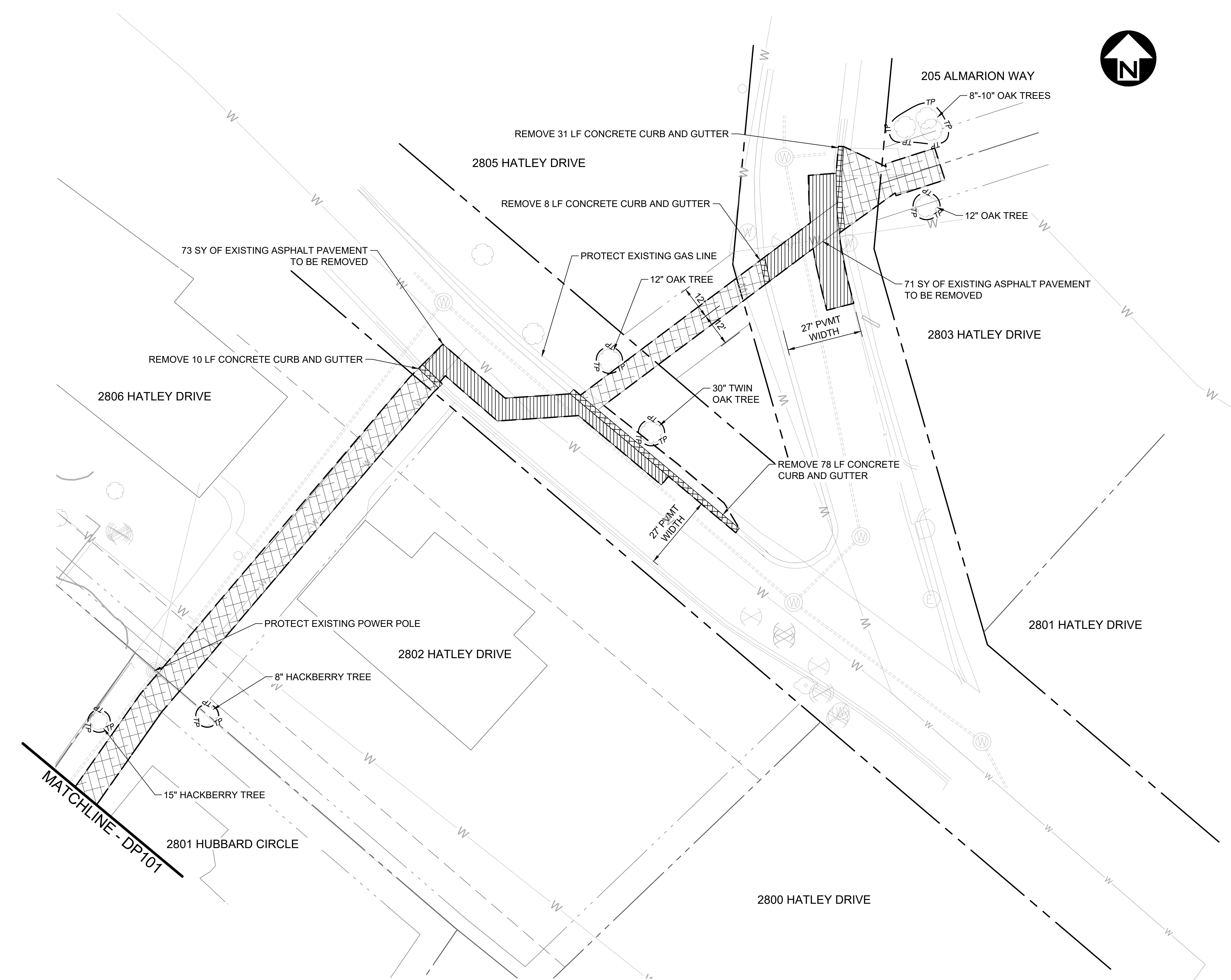
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HORIZONTAL SCALE IN FEET

G005
5 OF 32



NOTES:

1. CONTRACTOR TO PROVIDE TREE PROTECTION FOR ANY TREE WITHIN 10' OF LIMITS OF CONSTRUCTION.
2. ALL PVIOUS AREAS DISTURBED SHALL BE RESTORED AND REVEGETATED AS REQUIRED AND TO THE SATISFACTION OF THE CITY FOLLOWING CONSTRUCTION.
3. CONTRACTOR SHALL ONLY CLEAR BRUSH AND SMALL TREES NECESSARY TO PERFORM THE WORK SHOWN.

EXISTING FEATURES

	CENTERLINE
	RIGHT OF WAY LINE
	PROPERTY LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	BACK OF CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	GUTTER
	CONCRETE PAVEMENT
	DRAINAGE FLOW LINE
	DITCH EDGE
	WOOD FENCE
	MAJOR CONTOURS
	MINOR CONTOURS
	GRADE BREAK
	PAVED PARKING / DRIVEWAY
	SLOPE TOP
	SLOPE BOTTOM
	WASTEWATER LINE
	WATER LINE
	ROCK WALL
	EXISTING RCP PIPE
	NATURAL GAS LINE
	ELECTRIC OVERHEAD
	ELECTRIC UNDERGROUND
	GUY WIRE
	WATER METER
	WATER VALVE
	SPRINKLER VALVE
	WASTEWATER MANHOLE
	CLEANOUT
	FIRE HYDRANT
	POWER POLE
	ELECTRIC JUNCTION BOX
	STOP SIGN
	MAILBOX
	TREE
	TREE WELL

LEGEND

	LIMITS OF CONSTRUCTION
	ASPHALT/CONCRETE REMOVAL
	DEMOLISH CURB & GUTTER
	CLEAR & GRUB VEGETATION
	TREE PROTECTION

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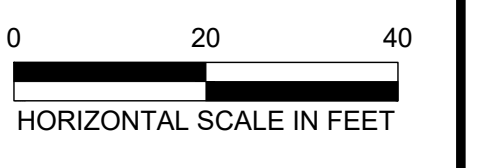
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PROPOSED DRAINAGE IMPROVEMENTS

DEMOLITION AND PROTECTION PLAN

ROLLINGWOOD TEXAS

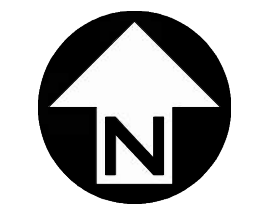
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RATIONAL METHOD FLOW CALCULATION								
AREA ID	AREA (AC)	C ₂₅	C ₁₀₀	T _c	I ₂₅	I ₁₀₀	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
DA 1	1.81	0.58	0.65	10	9.48	12.36	9.9	14.6
DA 2	0.90	0.56	0.64	5	11.80	15.43	6.0	8.9
DA 3	0.45	0.51	0.59	5	11.80	15.43	2.7	4.1
DA 4	0.41	0.65	0.73	5	11.80	15.43	3.2	4.6
DA 5	0.99	0.59	0.67	5	11.80	15.43	7.0	10.3
DA 6	0.37	0.50	0.57	5	11.80	15.43	2.2	3.3
DA 7	0.98	0.54	0.61	5	11.80	15.43	6.3	9.3
DA 8	1.89	0.61	0.69	5	11.80	15.43	13.7	20.2
DA 9	2.50	0.61	0.69	5	11.80	15.43	18.1	26.7



NOTES:

1. THE PEAK FLOWS WERE COMPUTED USING THE RATIONAL METHOD AS DESCRIBED IN SECTION 2.4.0 OF THE DRAINAGE CRITERIA MANUAL (DCM) OF AUSTIN, TX.
2. THE RUNOFF COEFFICIENT WAS DEVELOPED BASED FROM TABLE 2-3 OF THE DCM. PERVIOUS LAND COVER WAS ASSUMED TO BE UNDEVELOPED LAND OVER STEEP TERRAIN.
2. RAINFALL INTENSITIES WERE DETERMINED FROM THE IDF COEFFICIENTS SHOWN IN TABLE 2-2A OF THE DCM.

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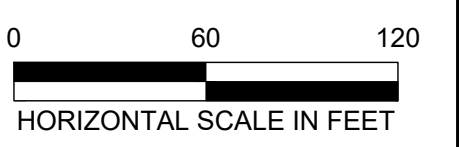
CITY OF ROLLINGWOOD
PROPOSED DRAINAGE IMPROVEMENTS
DRAINAGE AREA MAP

ROLLINGWOOD TEXAS

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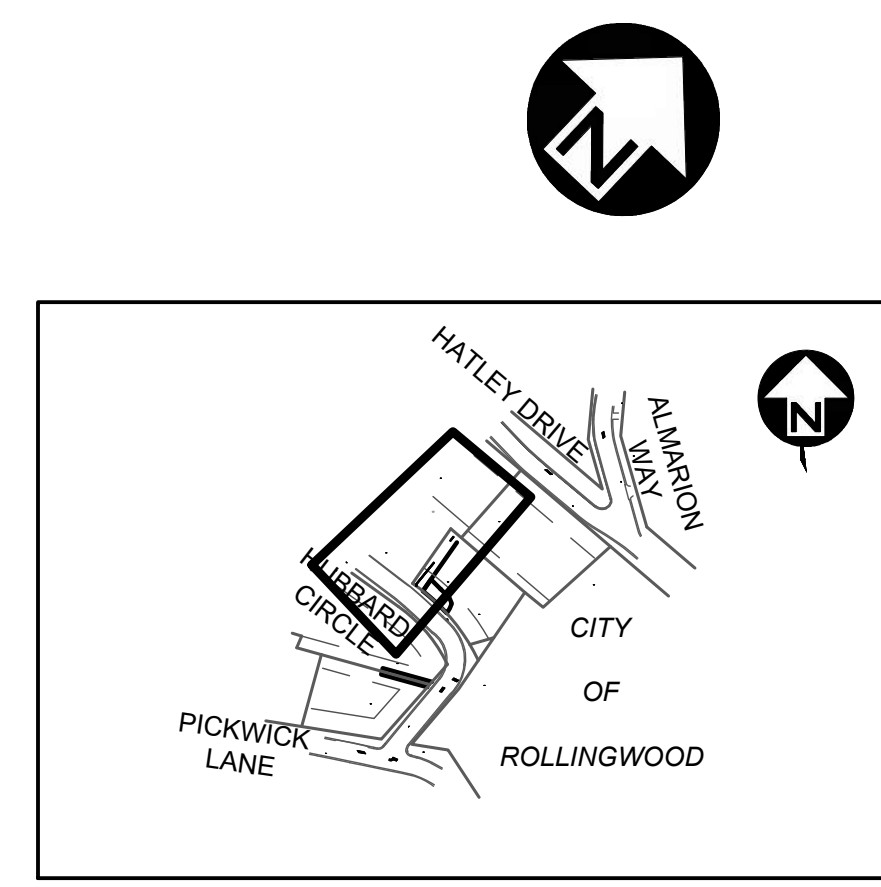
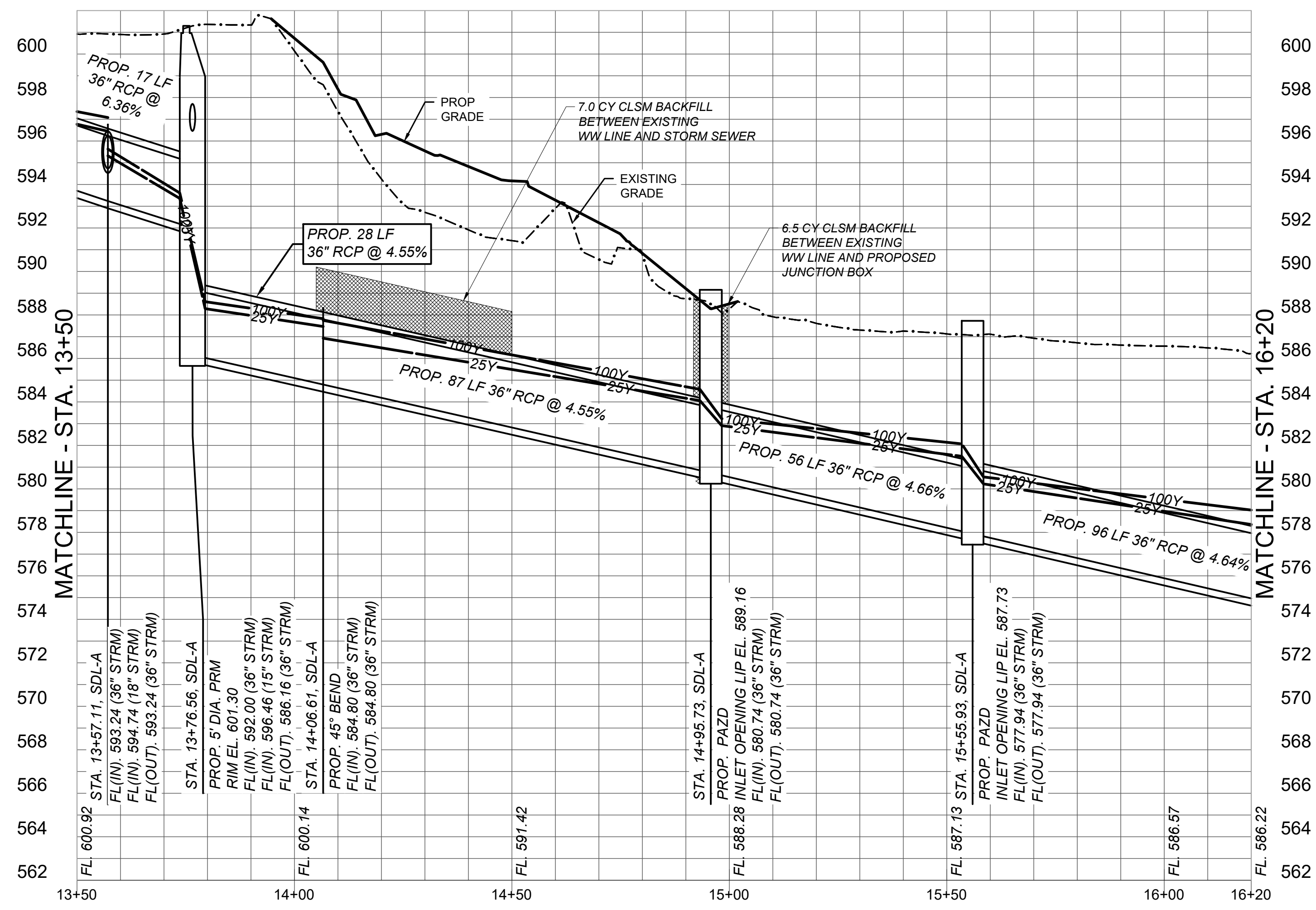
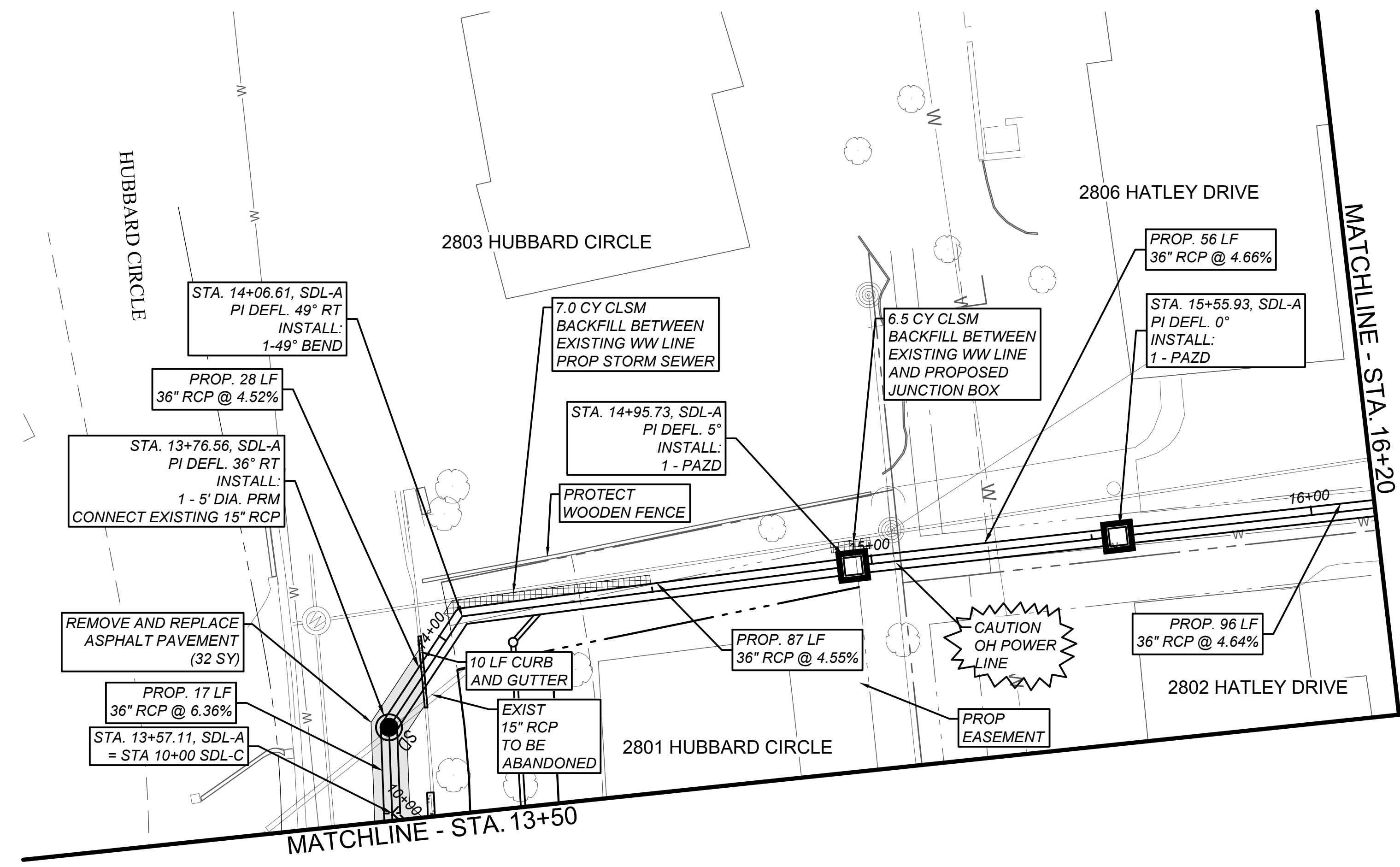
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LEGEND

- ▶— FLOW ARROW
- - - FLOWPATH

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NOTES:
EXISTING 15" RCP IS TO REMAIN CLEAR UNTIL THE END OF CONSTRUCTION.

ABBREVIATIONS

PRM - PRECAST ROUND MANHOLE	TY - TYPE
CI - CURB INLET	SDL - STORM DRAIN LINE
PSL - PRECAST SLAB LID	PROP - PROPOSED

LEGEND

- CENTERLINE
- RIGHT OF WAY LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- BACK OF CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- GUTTER
- CONCRETE PAVEMENT
- DRAINAGE FLOW LINE
- WOOD FENCE
- PAVED PARKING / DRIVEWAY
- WASTEWATER LINE
- WATER LINE
- ROCK WALL
- EXISTING RCP PIPE
- NATURAL GAS LINE
- ELECTRIC OVERHEAD
- ELECTRIC UNDERGROUND
- GUY WIRE
- WATER METER
- WATER VALVE
- SPRINKLER VALVE
- WASTEWATER MANHOLE
- CLEANOUT
- FIRE HYDRANT
- POWER POLE
- ELECTRIC JUNCTION BOX
- SIGN
- MAILBOX
- TREE
- TREE WELL
- 25Y --- 25 YEAR HGL
- 100Y --- 100 YEAR HGL

REVISION DESCRIPTION

REV. NO.	DATE	DESCRIPTION

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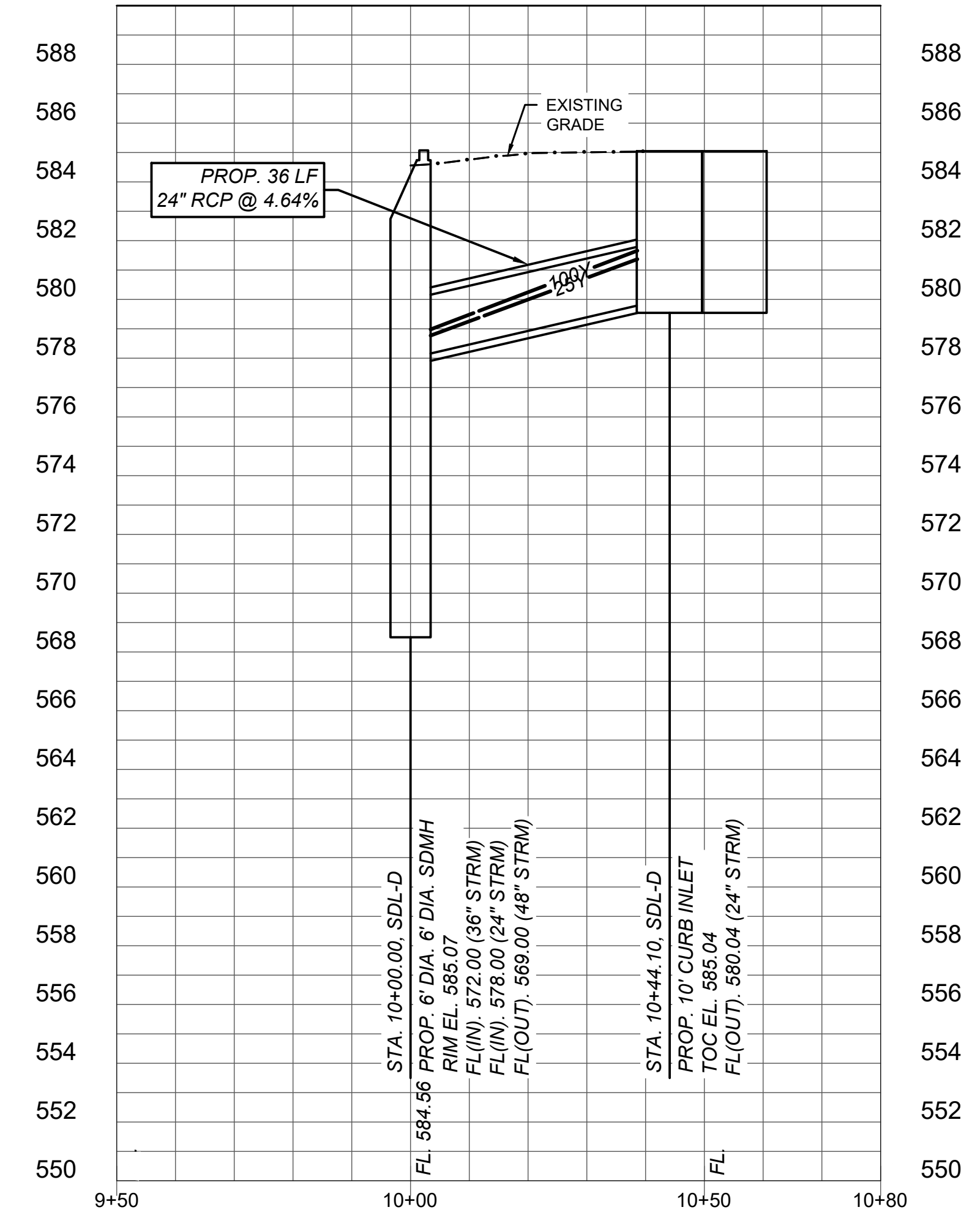
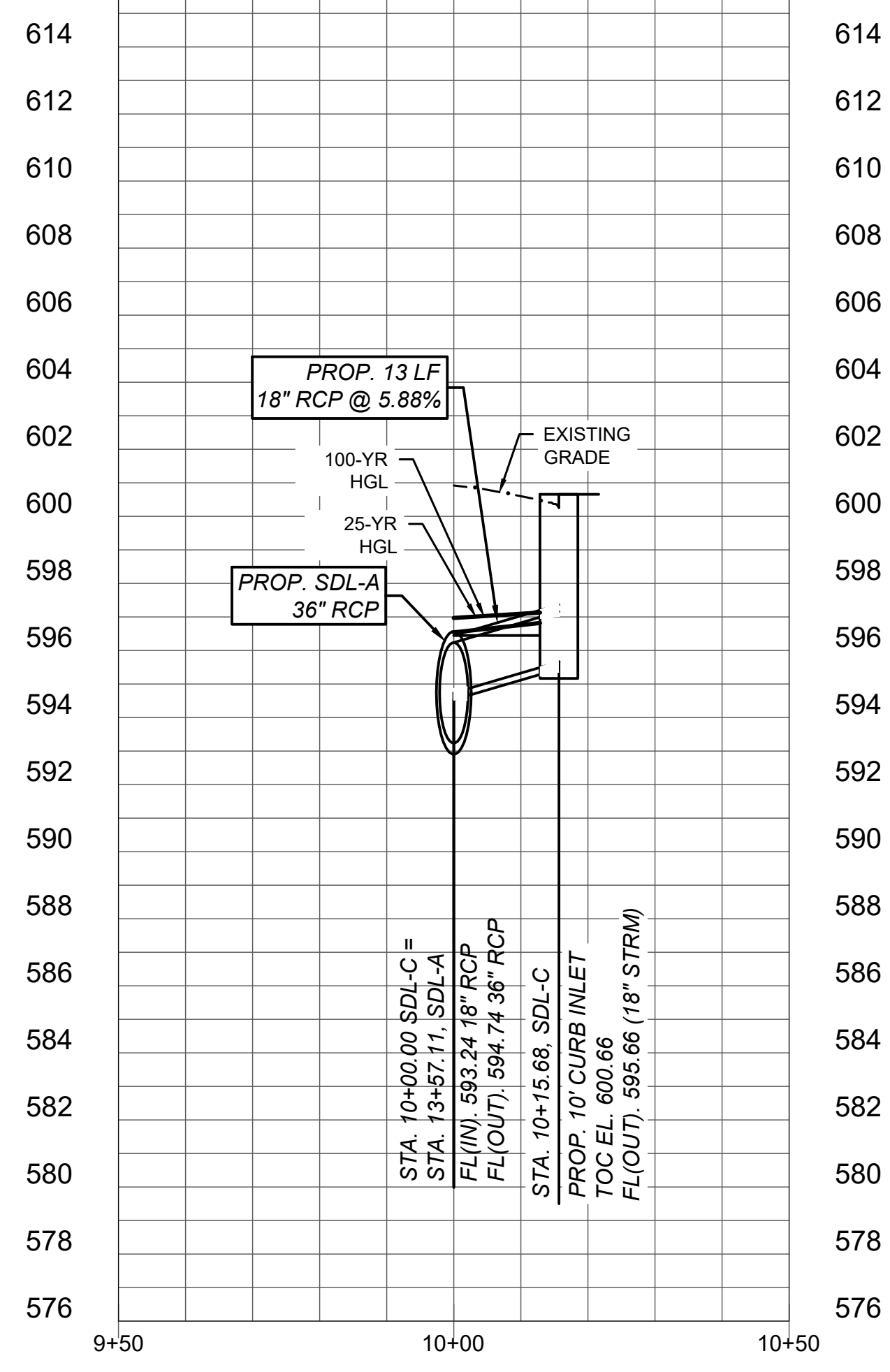
DRAWN BY KT 07/21

DESIGNED BY AF 07/21

CHECKED BY GE 07/21

REVIEWED BY

0 20 40
HORIZONTAL SCALE IN FEET
0 4 8
VERTICAL SCALE IN FEET



ABBREVIATIONS	
PRM	- PRECAST ROUND MANHOLE
CI	- CURB INLET
PSL	- PRECAST SLAB LID
TY	- TYPE
SDL	- STORM DRAIN LINE
PROP	- PROPOSED

LEGEND	
25 YEAR HGL	— 25Y —
100 YEAR HGL	— 100Y —

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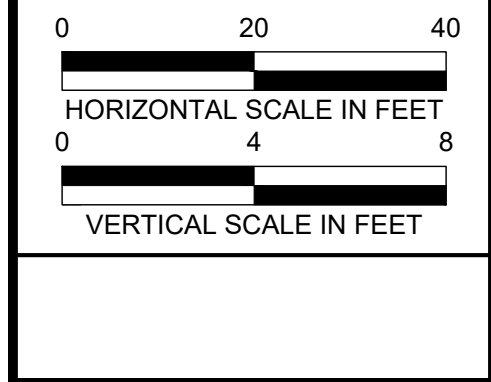
SDL-B, SDL-C & SDL-D LATERAL PLAN & PROFILES

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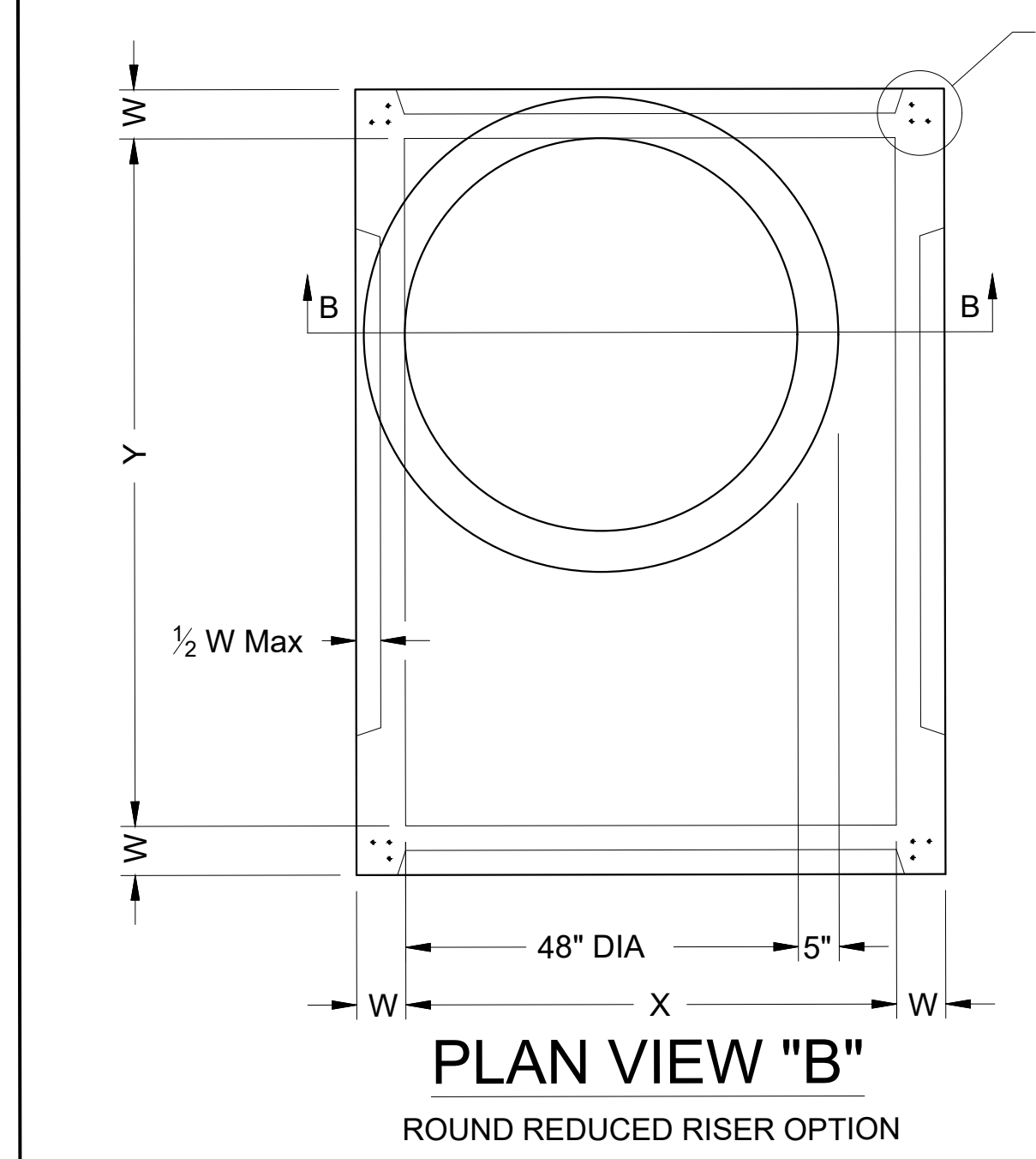
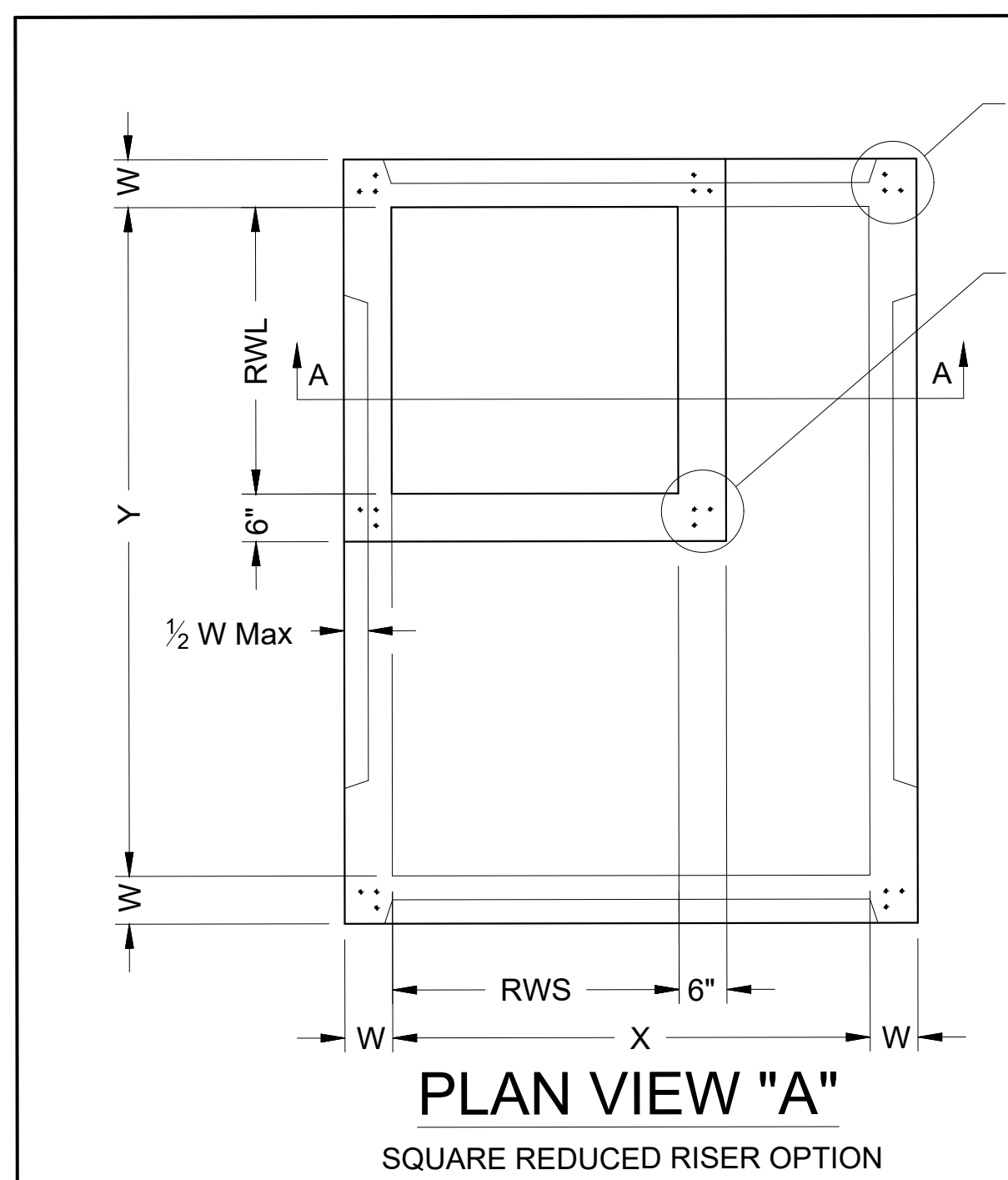
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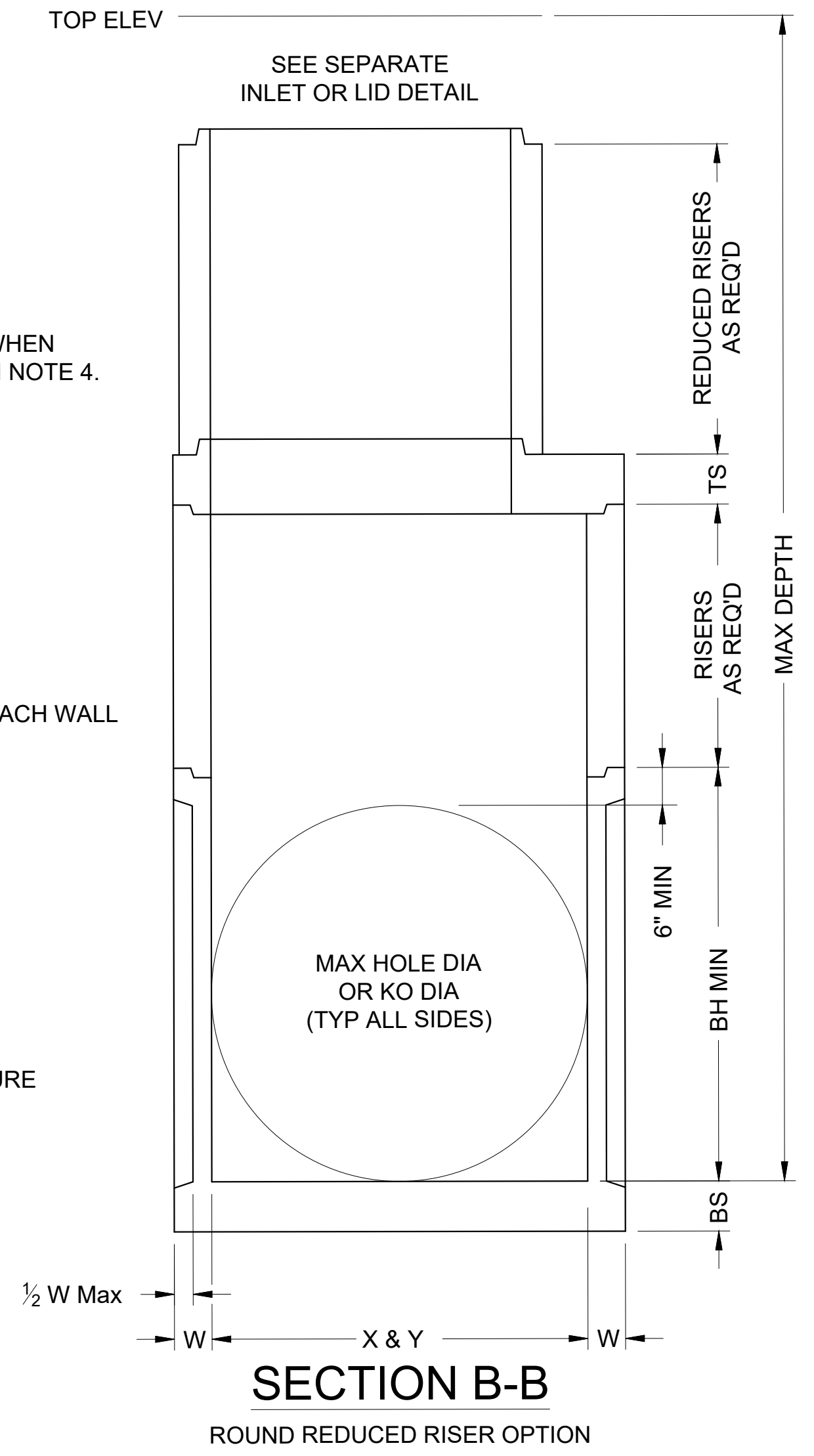
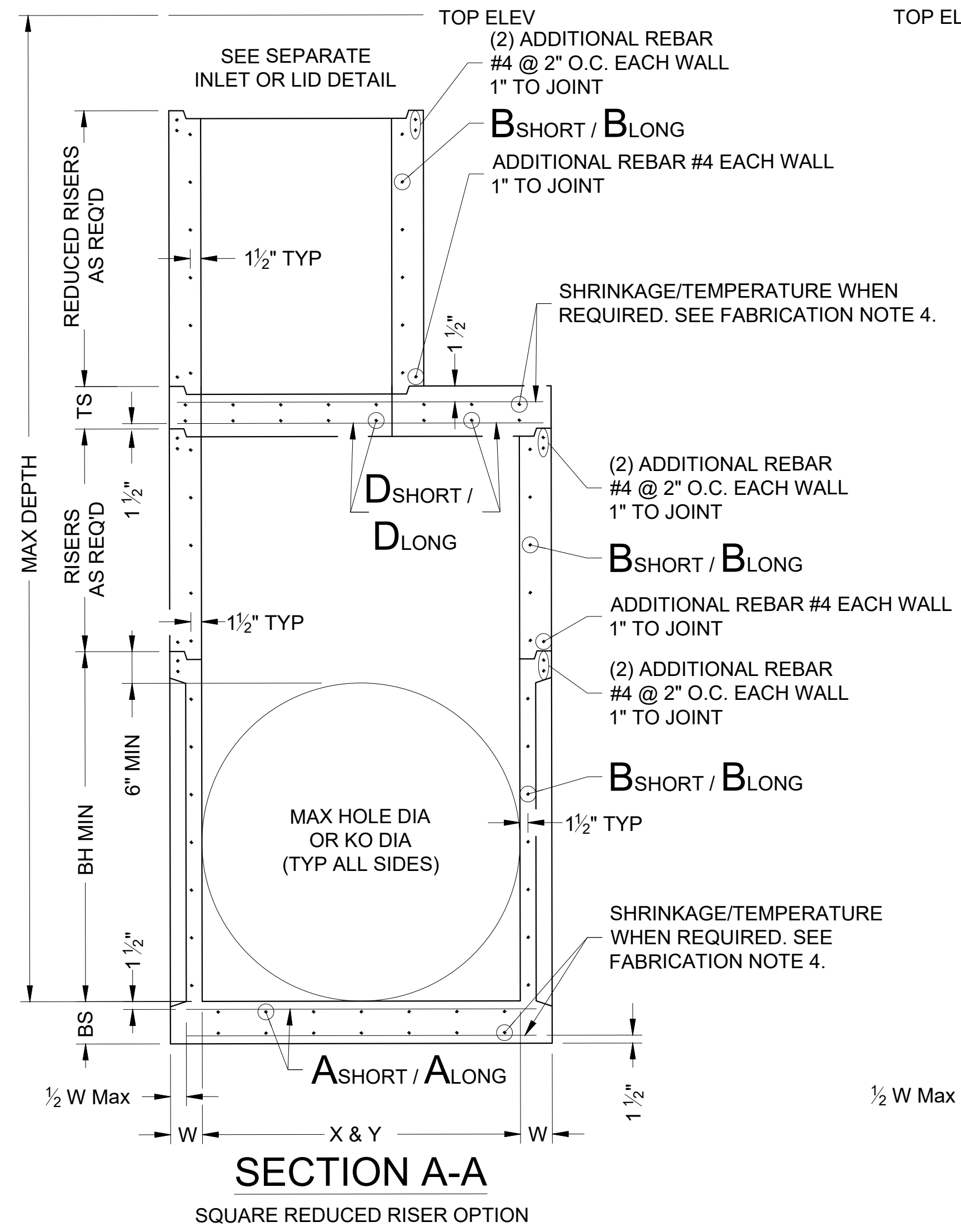
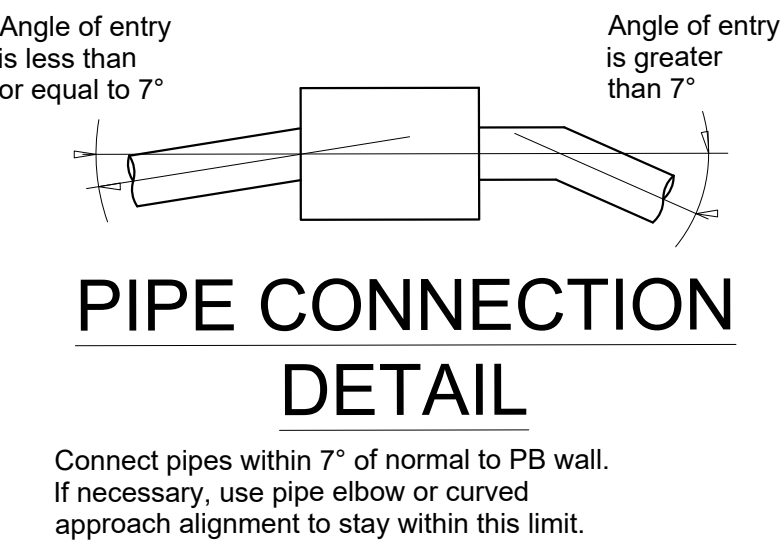


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(3) VERTICAL REBAR IN BASE & RISERS #4 @ 2" O.C. EACH CORNER 2" TO CORNER
 (3) VERTICAL REBAR IN REDUCED RISERS #4 @ 2" O.C. EACH CORNER 2" TO CORNER



- FABRICATION NOTES:**
1. Provide Class "H" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 2. Provide Grade 60 reinforcing steel or equivalent area of VVWR.
 3. Provide typical clear cover of 1 1/2" to reinforcing steel at interior or exterior walls.
 4. Walls or slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide steel area = 0.11 in²/ft each way.
 5. No substitution is allowed for vertical and horizontal #4 bars in corners.
 6. Manufacture base and risers to nearest 3" increment.
 7. Design tongue and groove joints for full closure on both shoulders. Minimum spigot depth is 3/4".
 8. Provide lifting devices in conformance with Manufacturer's recommendations.
 9. See sheet PDD for sizes, dimensions, and reinforcing steel not shown.

- INSTALLATION NOTES:**
1. If required elsewhere. Inverts (benching) to be provided by Contractor. Concrete or mortar used for invert is subsidiary to specified inlet or manhole.
 2. Seal tongue and groove joints with preformed or bulk mastic in conformance with Manufacturer's recommendations. Tongue and groove joints may be grouted no more than 1" between each section, or 1/2 the joint depth, whichever is greater.
 3. Do not grout rubber gasket joints without Manufacturer's recommendation.
 4. For rigid pipe, cut hole in thin wall panel (KO) 4" Max, 2" Min larger than pipe OD.
 5. For flexible pipe, consult boot/seal Manufacturer's specification for placement tolerance and hole size. Center pipe in hole and install boot/seal per Manufacturer's specification.

- GENERAL NOTES:**
1. Precast Base consists of base slab, base unit, risers (as required), reducing slab (as required), and reduced risers (as required). See sheet PDD for sizes.
 2. Designed according to ASTM C913.
 3. Payment for precast base is subsidiary to the specified inlet, per Item 465, "Junction Boxes, Manholes, and Inlets."

Cover dimensions are clear dimensions, unless noted otherwise.

HL93 LOADING

Texas Department of Transportation *Bridge Division Standard*

PRECAST BASE

PB

FILE: prest01-20.dgn	DN: TxDOT	CK: TxDOT	DW: TxDOT	CK: TxDOT
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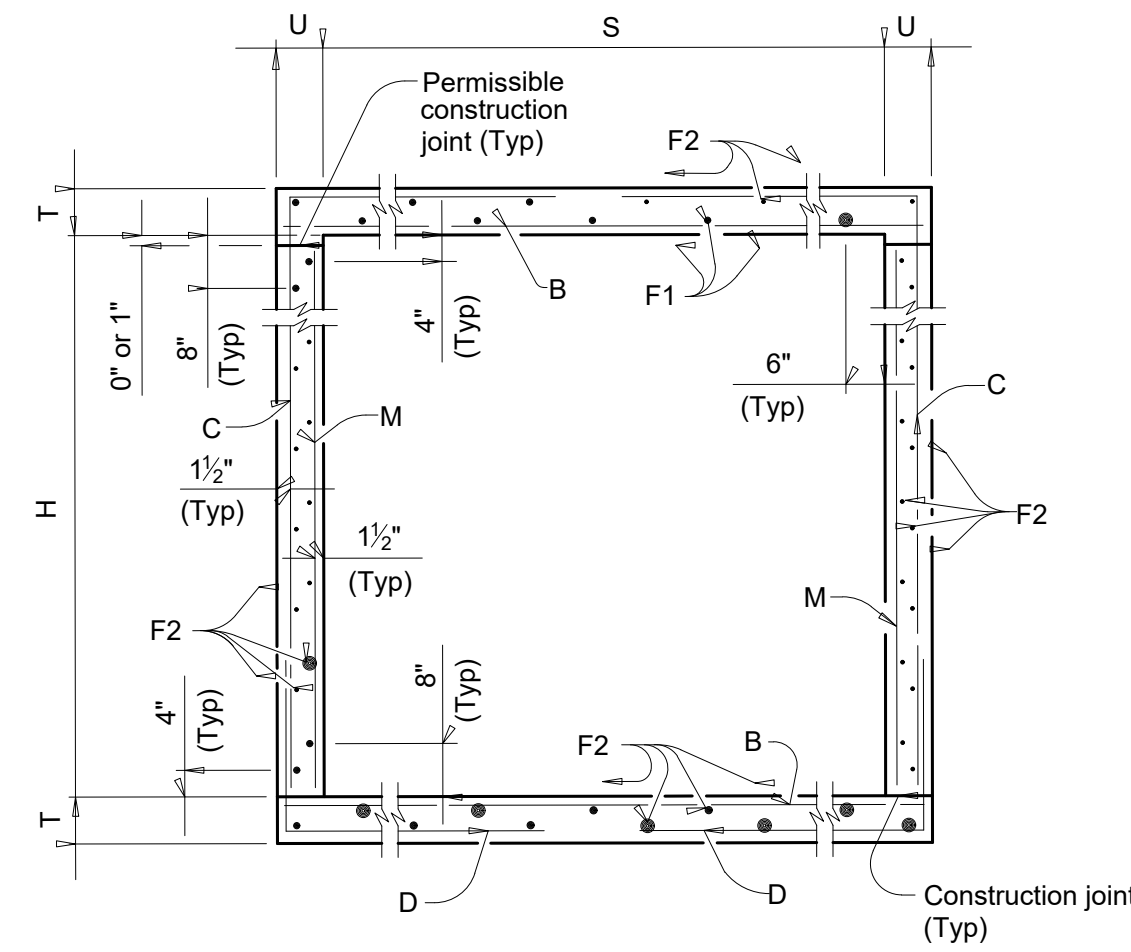
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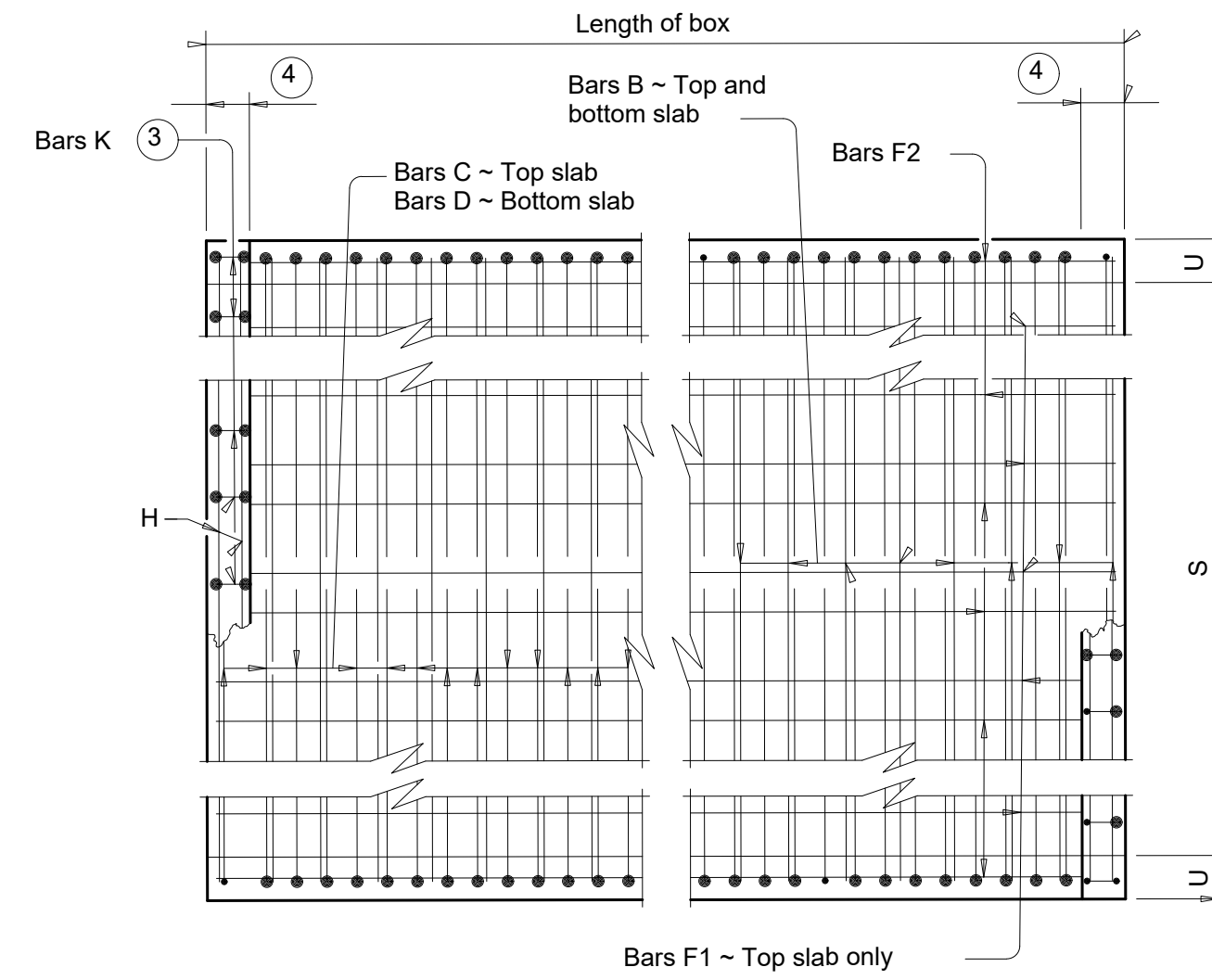
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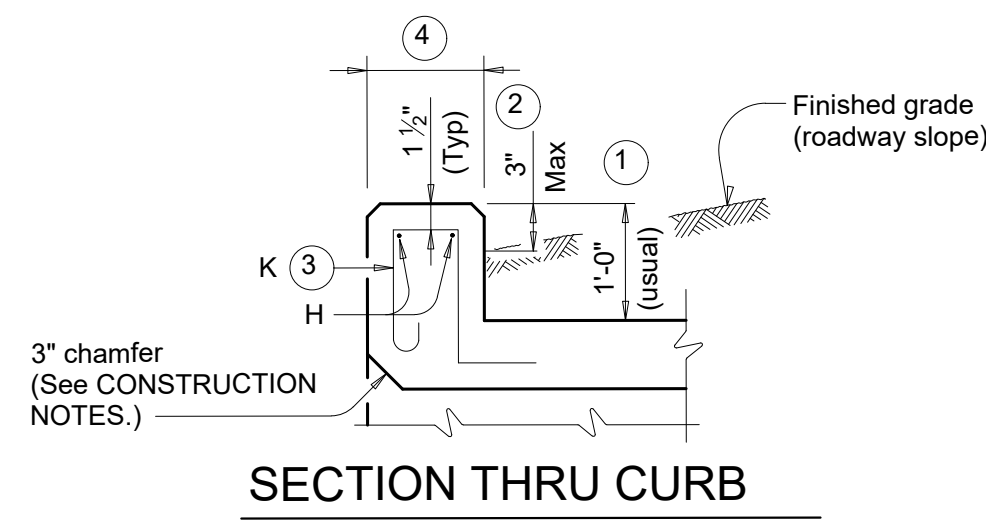
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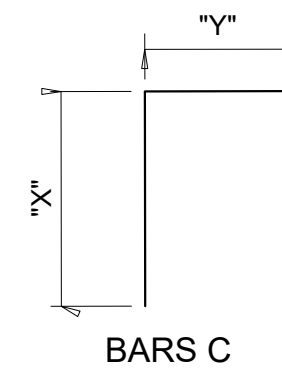
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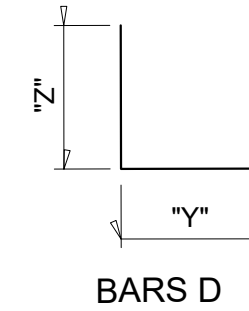
PLAN OF REINF STEEL



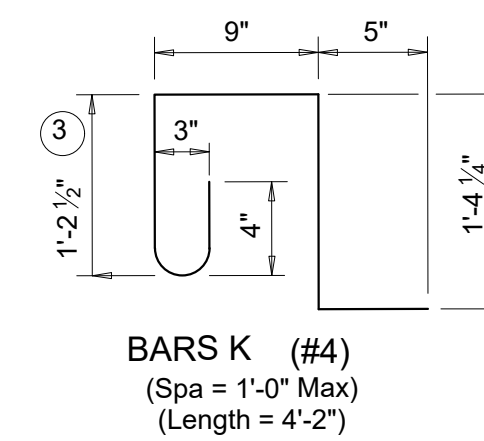
SECTION THRU CURB



BARS C



BARS D



BARS K (#4)
(Spa = 1'-0" Max)
(Length = 4'-2")

- ① 0" Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail or curbs taller than 1'-0", refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Rail Anchorage Curb (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.
- ② For vehicle safety, the following requirements must be met:
 - For structures without bridge rail, construct curbs no more than 3" above finished grade.
 - For structures with bridge rail, construct curbs flush with finished grade.
 Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.
- ③ For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3" high, Bars K may be omitted.
- ④ 1'-0" typical. 2'-3" when the Rail Anchorage Curb (RAC) standard sheet is referred to elsewhere in the plans.

The Contractor may replace Bars B, C, D, E, F1, F2, M, Y, and/or Z with deformed welded wire reinforcement (WWR) meeting the requirements of ASTM A1064. The area of required reinforcement may be reduced by the ratio of 60 ksi / 70 ksi. Spacing of WWR is limited to 4" Min and 18" Max. When required, provide lap splices in the WWR of the same length required for the equivalent bar size, rounded up for wire sizes between conventional bar sizes. The lap length required for WWR is never less than the lap length required for uncoated #4 bars.

Example conversion: Replacing No. 6 Gr 60 at 6" Spacing with WWR.
 Required WWR = (0.44 sq. in. per 0.5 ft.) x (60 ksi / 70 ksi) = 0.755 sq. in. per ft.
 If D30.6 wire is used to meet the 0.755 sq. in. per ft. requirement in this example, the required spacing = (0.306 sq. in.) / (0.755 sq. in. per ft.) x (12 in. per ft.) = 4.86"
 Max spacing. Required lap length for the provided D30.6 wire is 2'-1" (the same minimum lap length required for uncoated #5 bars, as listed under MATERIAL NOTES).

CONSTRUCTION NOTES:

- Do not use permanent forms.
- Chamfer the bottom edge of the top slab 3" at the entrance.
- Optionally, raise construction joints shown at the flow line by a maximum of 6". If this option is taken, Bars M may be cut off or raised, Bars C and D may be reversed.

MATERIAL NOTES:

- Provide Grade 60 reinforcing steel.
- Provide galvanized reinforcing steel if required elsewhere in the plans.
- Provide Class C concrete (f'c = 3,600 psi) for culvert barrel and curb, with the following exceptions: provide Class S concrete (f'c = 4,000 psi) for top slabs of:
 - culverts with overlay,
 - culverts with 1-to-2 course surface treatment, or
 - culverts with the top slab as the final riding surface.
- Provide bar laps, where required, as follows:
 - Uncoated or galvanized ~ #4 = 1'-8" Min
 - Uncoated or galvanized ~ #5 = 2'-1" Min

GENERAL NOTES:

- Designed according to AASHTO LRFD Bridge Design Specifications for the range of fill heights shown.
- See the Single Box Culverts Cast-In-Place Miscellaneous Detail (SCC-MD) standard sheet for details pertaining to skewed ends, angle sections, and lengthening.

Cover dimensions are clear dimensions, unless noted otherwise.
 Reinforcing bar dimensions shown are out-to-out of bar.

HL93 LOADING SHEET 1 OF 2

Bridge Division Standard

SINGLE BOX CULVERTS CAST-IN-PLACE 0' TO 30' FILL

SCC-3 & 4

FILE: scc34ste-21.dgn	DN: TBE	CK: BMP	DW: TxDOT	CK: TxDOT
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DATE:
FILE:

SECTION DIMENSIONS				FILL HEIGHT	BILLS OF REINFORCING STEEL (For Box Length = 40 feet)																								QUANTITIES														
					Bars B						Bars C						Bars D						Bars M - #4				Bars F1 - #4 at 18" Spa				Bars F2 - #4 at 18" Spa				Bars H 4 - #4		Bars K		Per Foot of Barrel		Curb		Total
S	H	T	U		No.	Size	Spa	Length	Weight	No.	Size	Spa	Length	Weight	" X "	" Y "	No.	Size	Spa	Length	Weight	" Y "	" Z "	No.	Spa	Length	Weight	No.	Length	Wt	No.	Length	Weight	Length	Wt	No.	Wt	Conc (CY)	Reinf (Lb)	Conc (CY)	Reinf (Lb)	Conc (CY)	Reinf (Lb)
3' - 0"	2' - 0"	8"	7"	30'	108	#5	9"	3' - 11"	441	108	#4	9"	5' - 4"	385	2' - 6"	2' - 10"	108	#4	9"	5' - 1"	367	2' - 10"	2' - 3"	108	9"	2' - 0"	144	3	39' - 9"	80	19	39' - 9"	505	3' - 11"	10	10	28	0.292	48.1	0.3	38	12.0	1,960
3' - 0"	3' - 0"	8"	7"	30'	108	#5	9"	3' - 11"	441	108	#4	9"	6' - 4"	457	3' - 6"	2' - 10"	108	#4	9"	5' - 1"	367	2' - 10"	2' - 3"	108	9"	3' - 0"	216	3	39' - 9"	80	23	39' - 9"	611	3' - 11"	10	10	28	0.335	54.3	0.3	38	13.7	2,210
4' - 0"	2' - 0"	8"	7"	30'	108	#5	9"	4' - 11"	554	162	#4	6"	5' - 8"	613	2' - 6"	3' - 2"	162	#4	6"	5' - 5"	586	3' - 2"	2' - 3"	108	9"	2' - 0"	144	3	39' - 9"	80	21	39' - 9"	558	4' - 11"	13	12	33	0.342	63.4	0.4	46	14.1	2,581
4' - 0"	3' - 0"	8"	7"	30'	108	#5	9"	4' - 11"	554	162	#4	6"	6' - 8"	721	3' - 6"	3' - 2"	162	#4	6"	5' - 5"	586	3' - 2"	2' - 3"	108	9"	3' - 0"	216	3	39' - 9"	80	25	39' - 9"	664	4' - 11"	13	12	33	0.385	70.5	0.4	46	15.8	2,867
4' - 0"	4' - 0"	8"	7"	30'	108	#5	9"	4' - 11"	554	162	#4	6"	7' - 8"	830	4' - 6"	3' - 2"	162	#4	6"	5' - 5"	586	3' - 2"	2' - 3"	108	9"	4' - 0"	289	3	39' - 9"	80	25	39' - 9"	664	4' - 11"	13	12	33	0.428	75.1	0.4	46	17.5	3,049

5 For direct traffic culverts (fill height ≤ 2 ft.), identify the required box size and select the option with the minimum fill height.

HL93 LOADING SHEET 2 OF 2



**SINGLE BOX CULVERTS
CAST-IN-PLACE
0' TO 30' FILL**

SCC-3 & 4

FILE: soc34stb-21.dgn DN: TBE CK: BMP DW: TxDOT CK: TxDOT

CONT SECT JOB HIGHWAY

REVISIONS

04/2021 Updated X values.

DIST COUNTY SHEET NO.

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CITY OF ROLLINGWOOD, TEXAS
PUBLIC WORKS
DEPARTMENT

CITY OF ROLLINGWOOD
ROLLINGWOOD DRAINAGE IMPROVEMENTS
DRAINAGE & PAVEMENT DETAILS




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Austin, Texas 78746
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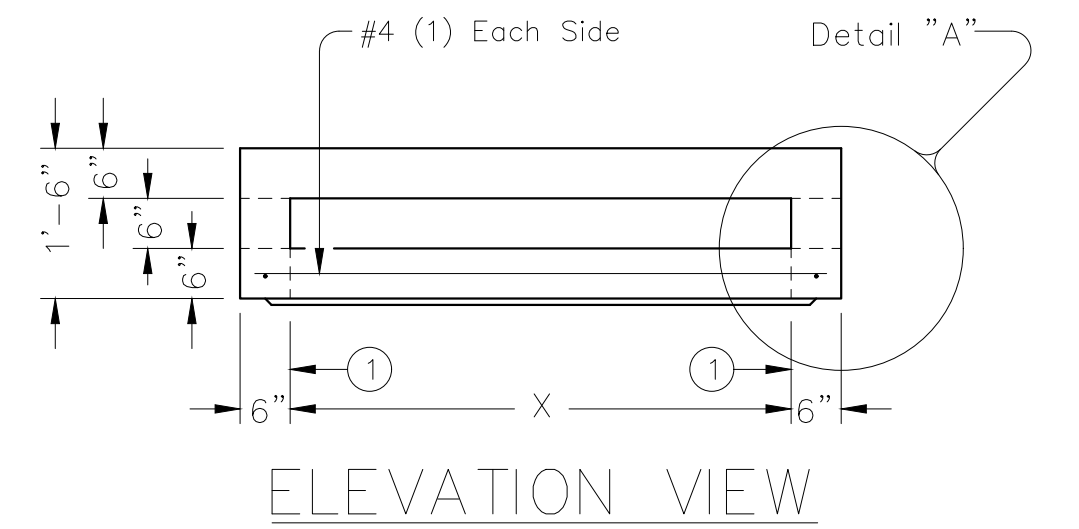
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CHECKED BY	GE	07/21
REVIEWED BY		

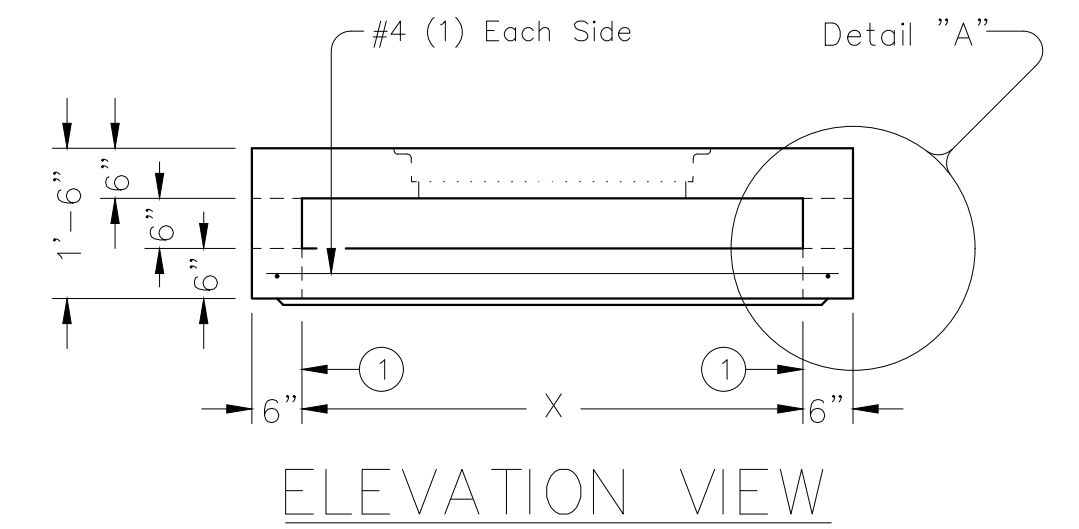
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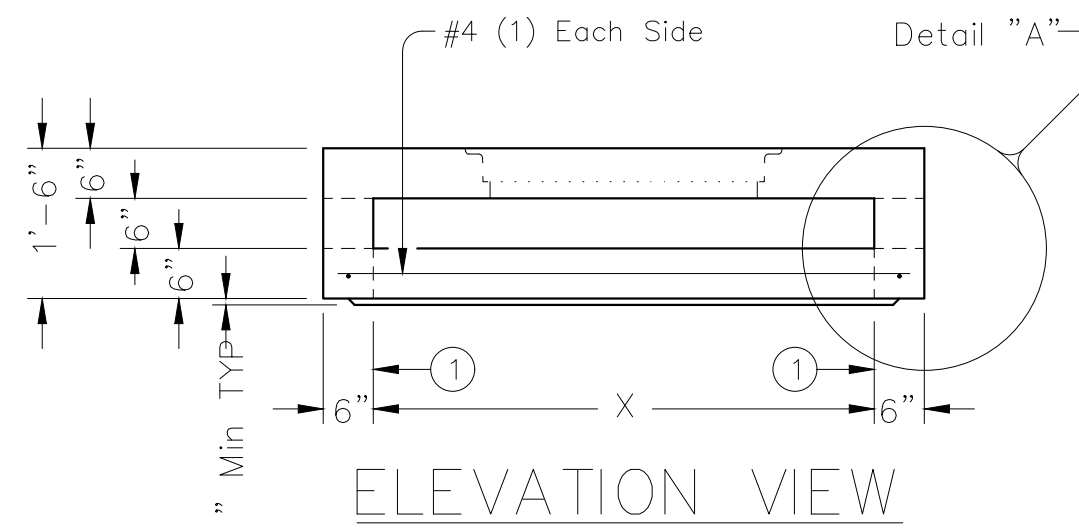
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 FILE: **DOCUMENT NAME**



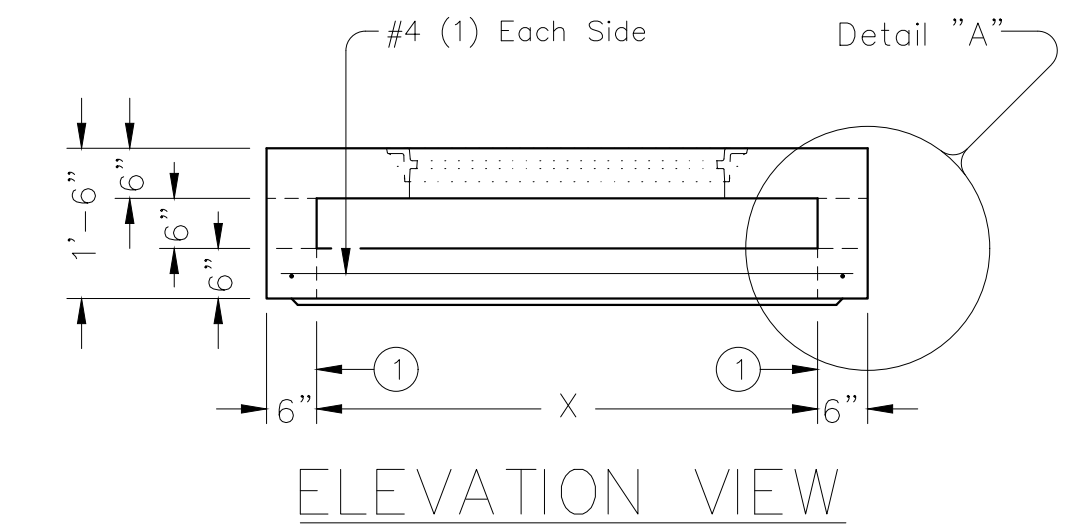
ELEVATION VIEW



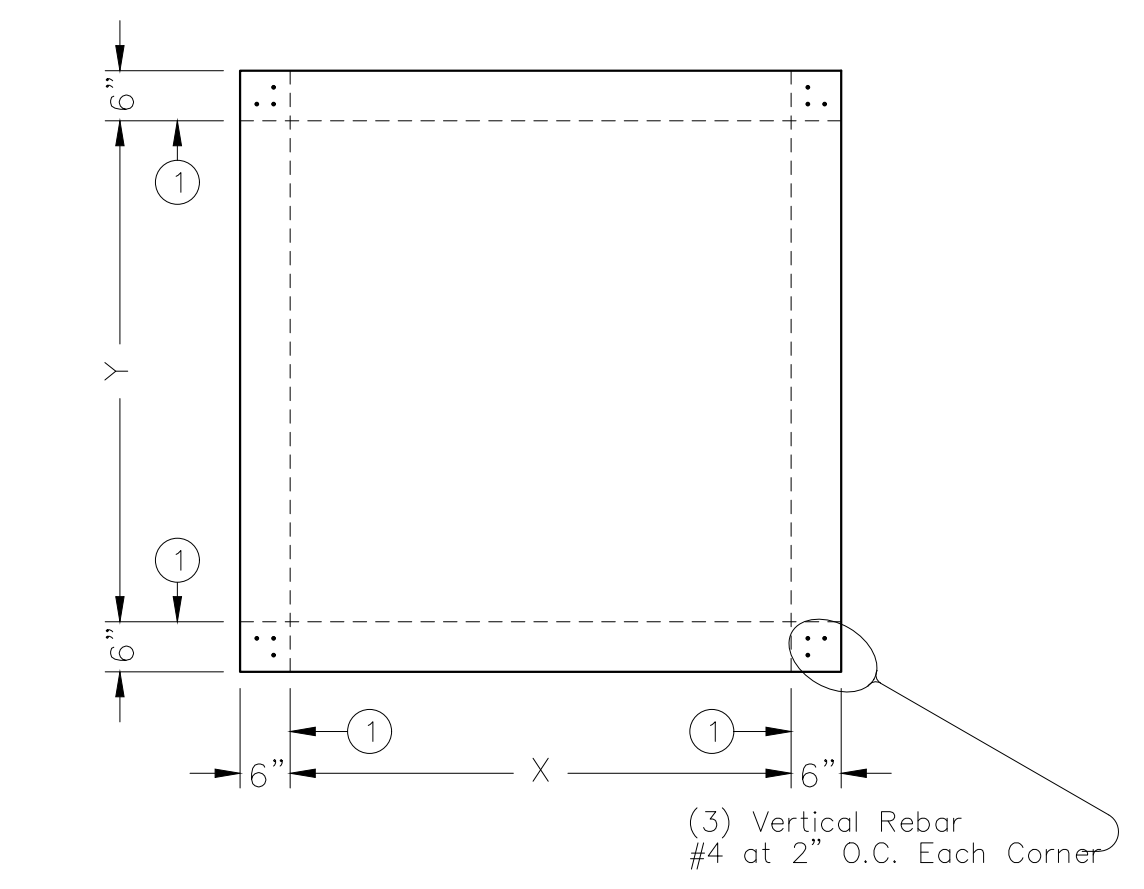
ELEVATION VIEW



ELEVATION VIEW

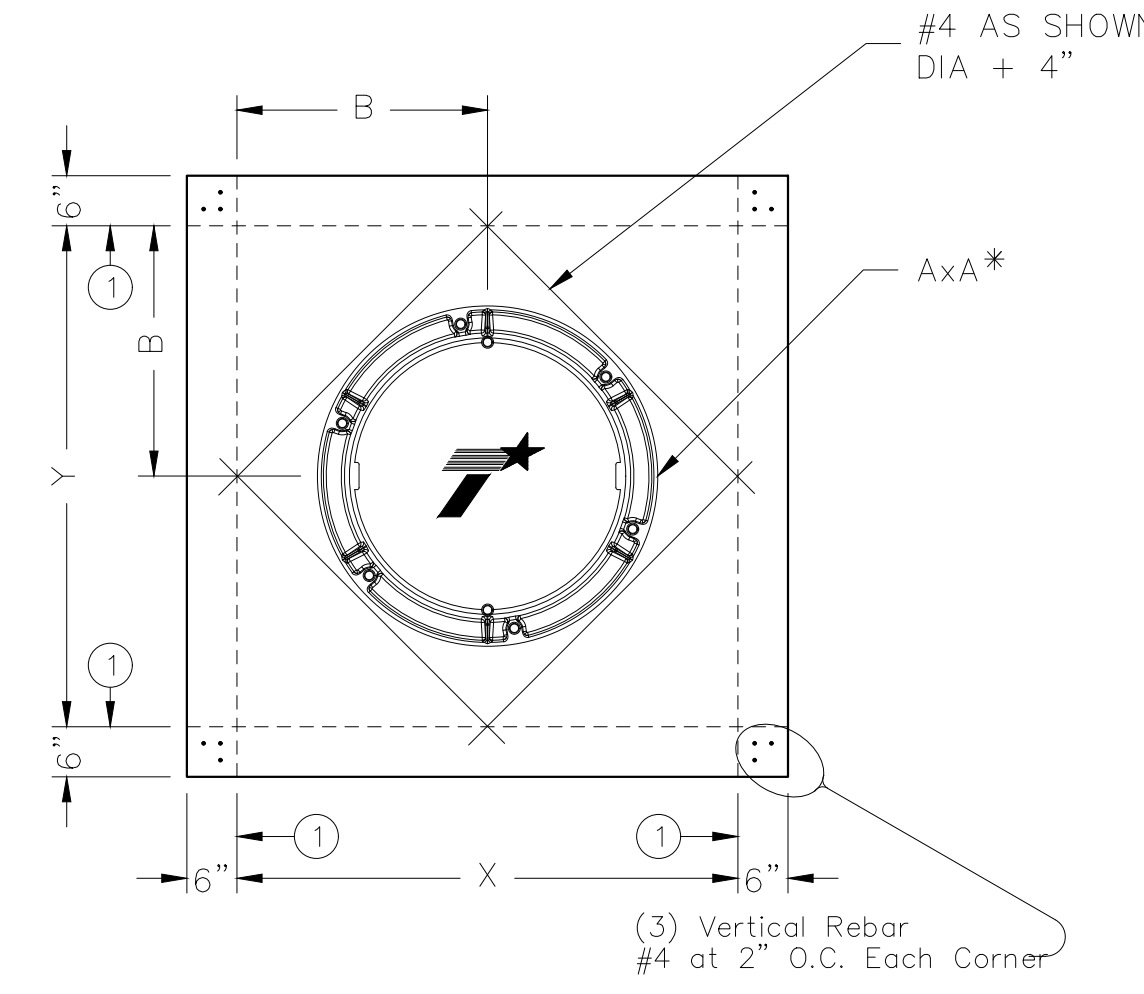


ELEVATION VIEW



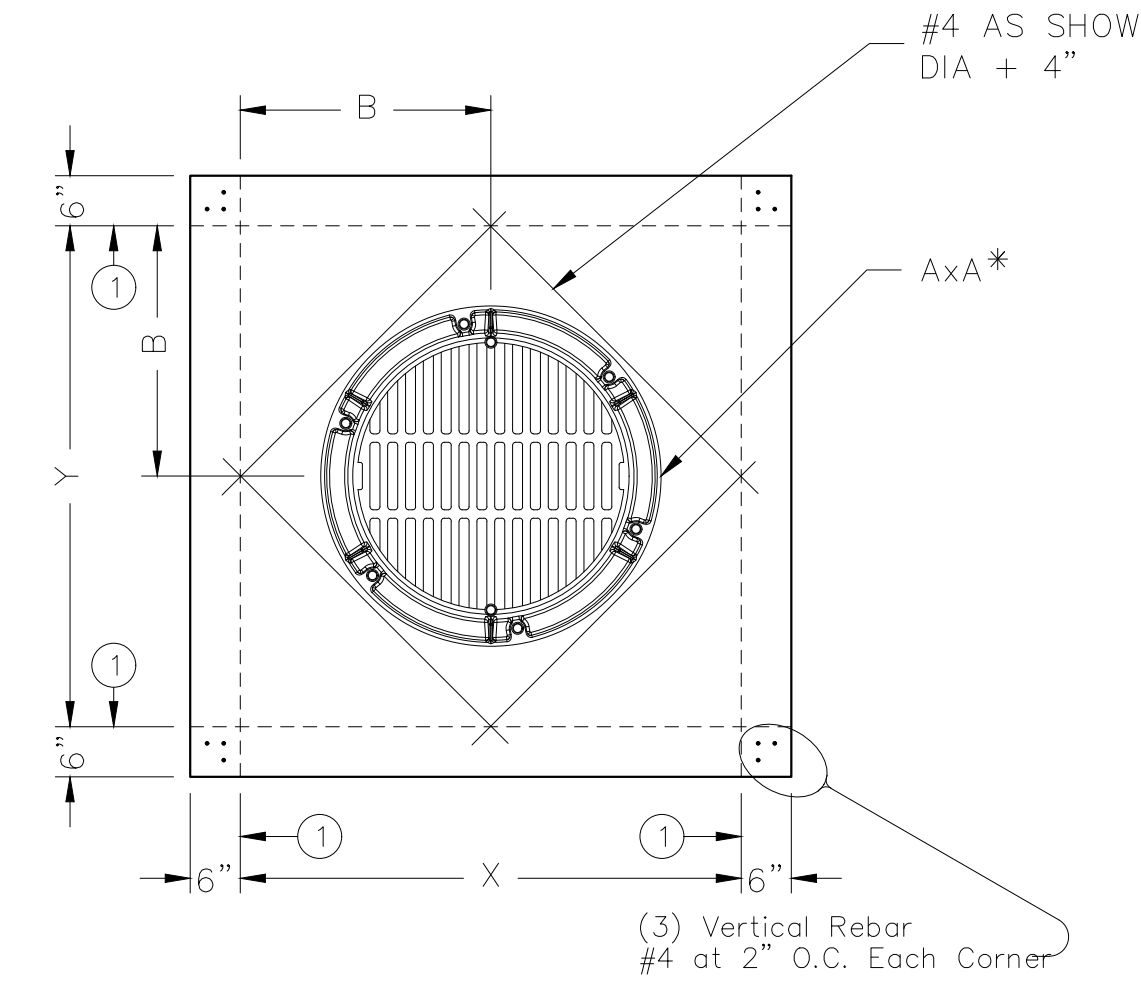
PLAN VIEW
NO OPENINGS

STYLE 'SL'



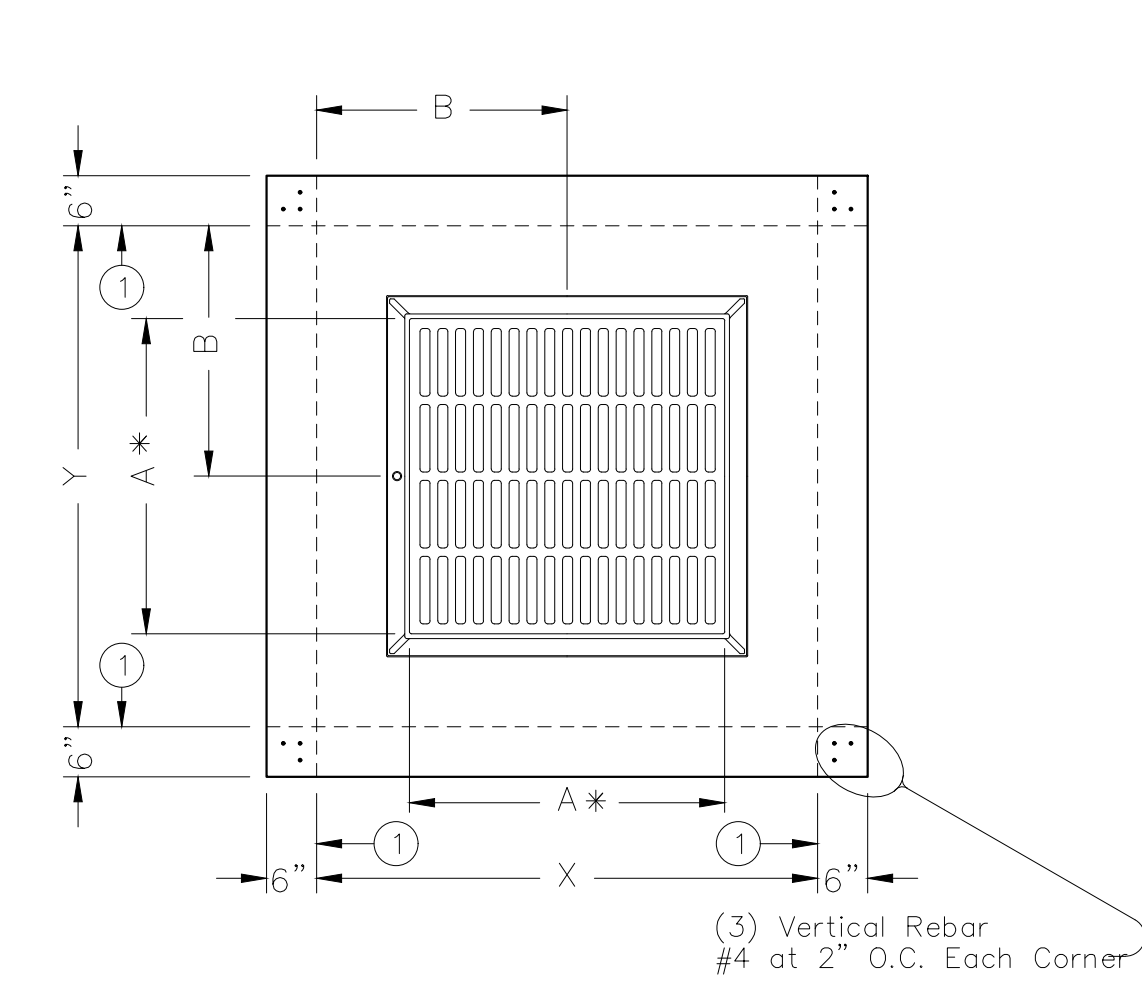
PLAN VIEW
32" DIA CAST-IN RING & COVER

STYLE 'RC'



PLAN VIEW
32" DIA CAST-IN RING & GRATE

STYLE 'RG'



PLAN VIEW
CAST-IN FRAME & GRATE

STYLE 'FG'

① Matches inside face of wall of precast base or riser below inlet.

FABRICATION NOTES:

1. Provide Class "H" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
2. Provide Grade 60 reinforcing steel or equivalent area of WWR.
3. Provide clear cover of 3/4" to reinforcing from bottom of slab for structural reinforcement. Place short span reinforcing closest to surface.
4. No substitution is allowed for diagonal #4 bars around openings.
5. Design tongue and groove joints for full closure on both shoulders. Minimum spigot depth is 3/4".
6. Provide lifting devices in conformance with Manufacturer's recommendations.

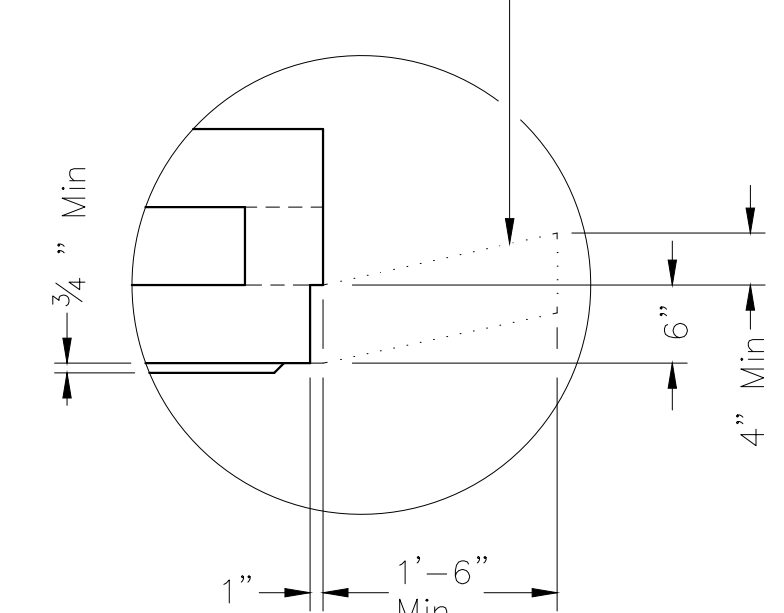
INSTALLATION NOTES:

1. PAZD is for use in ditches and medians outside of the horizontal clearance (clear zone). Precast Area Zone Drain is not intended for direct traffic and may not be placed in roadway.
2. Seal tongue and groove joints with preformed or bulk mastic in conformance with Manufacturer's recommendations. Tongue and groove joints may be grouted no more than 1" between each section, or 1/2 the joint depth, whichever is greater.
3. Do not grout rubber gasket joints without Manufacturer's recommendation.

GENERAL NOTES:

1. Designed according to ASTM C913.
2. Payment for inlet is per Item 465, "Junction Boxes, Manholes, and Inlets" by type, style, size, and opening size (when applicable).

Construct cast-in-place reinforced concrete apron when shown elsewhere in plans. Use Class "A" concrete. Apron is subsidiary to PAZD. Apron is 1'-6" Min width around precast zone drain.



DETAIL "A"

(Reinforcing not shown for clarity)
When an apron is to be cast around PAZD, use detail above to create an apron ledge on all 4 sides.

Style	Size (X x Y)	A x A*	B x B	Short Span Reinf Steel Area	Long Span Reinf Steel Area
SL	3'x3'	n/a	n/a	0.37 in ² /ft	0.37 in ² /ft
RC, RG	3'x3'	32" Dia	1.5'x1.5'	0.37 in ² /ft	0.37 in ² /ft
FG	3'x3'	3'x3'	1.5'x1.5'	0.37 in ² /ft	0.37 in ² /ft
SL	4'x4'	n/a	n/a	0.34 in ² /ft	0.34 in ² /ft
RC, RG	4'x4'	32" Dia	2'x2'	0.34 in ² /ft	0.34 in ² /ft
FG	4'x4'	3'x3'	2'x2'	0.34 in ² /ft	0.34 in ² /ft
FG	4'x4'	4'x4'	2'x2'	0.34 in ² /ft	0.34 in ² /ft
SL	5'x5'	n/a	n/a	0.43 in ² /ft	0.43 in ² /ft
RC, RG	5'x5'	32" Dia	2.5'x2.5'	0.68 in ² /ft	0.68 in ² /ft
FG	5'x5'	3'x3'	2.5'x2.5'	0.43 in ² /ft	0.43 in ² /ft
FG	5'x5'	4'x4'	2.5'x2.5'	0.43 in ² /ft	0.43 in ² /ft

*Nominal frame/grate or ring/cover size.

PRECAST AREA ZONE DRAIN

PAZD

FILE: prestd08-20.dgn	DN: _TxDOT_	OK: TxDOT	EW: _TxDOT_	OK: TxDOT
©TxDOT February 2020_	CONT	SECT	JOB	HIGHWAY
REVISIONS				
DIST	COUNTY		SHEET NO.	

REV. NO.	DATE	REVISION DESCRIPTION

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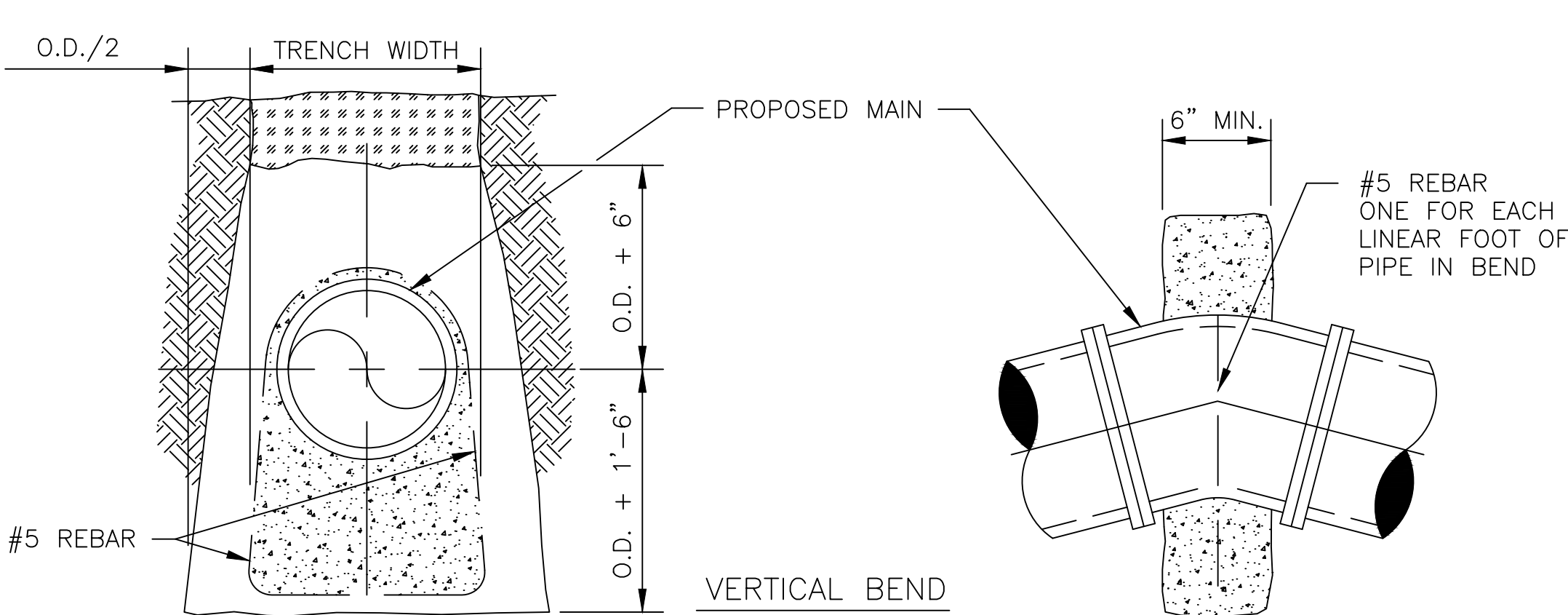
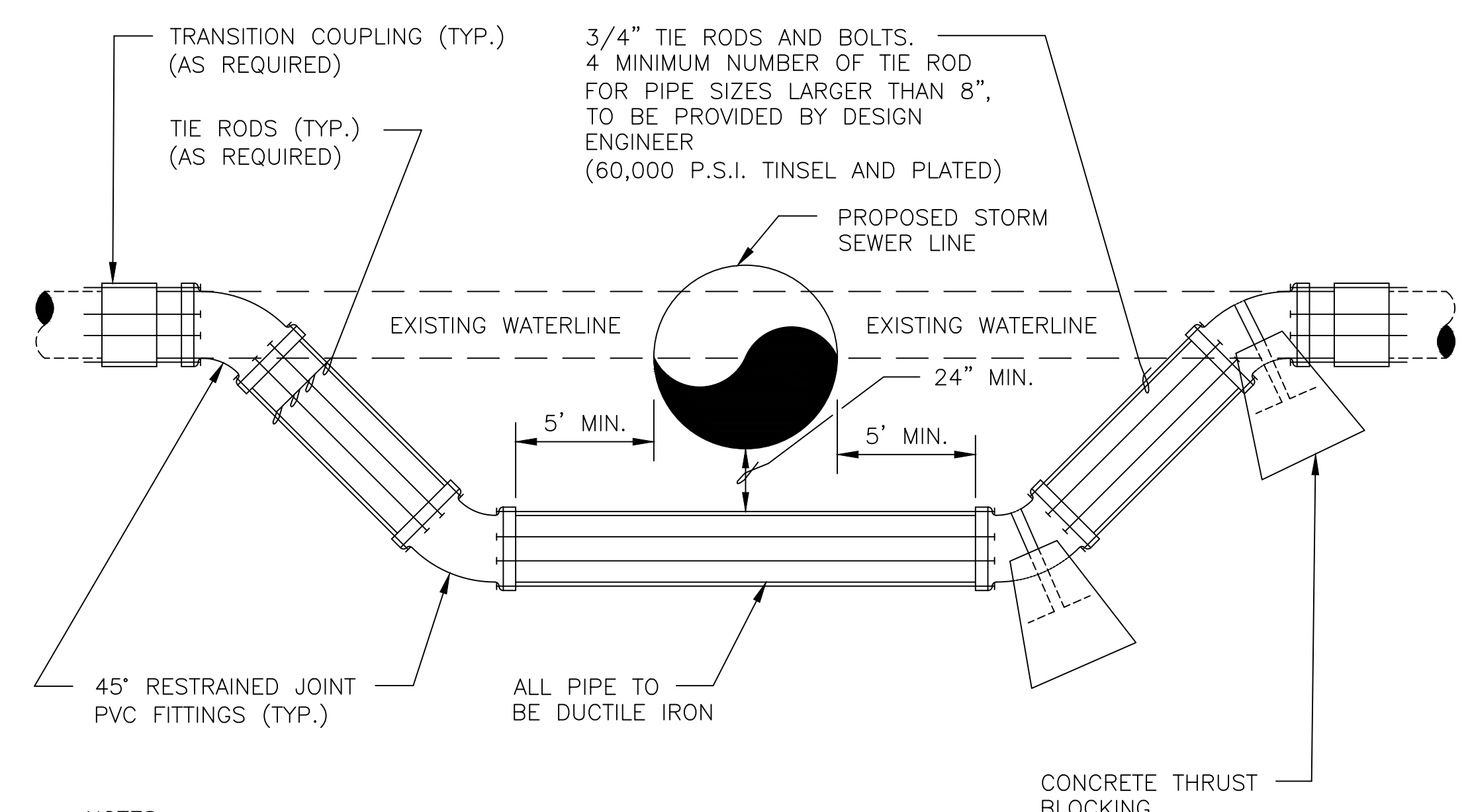
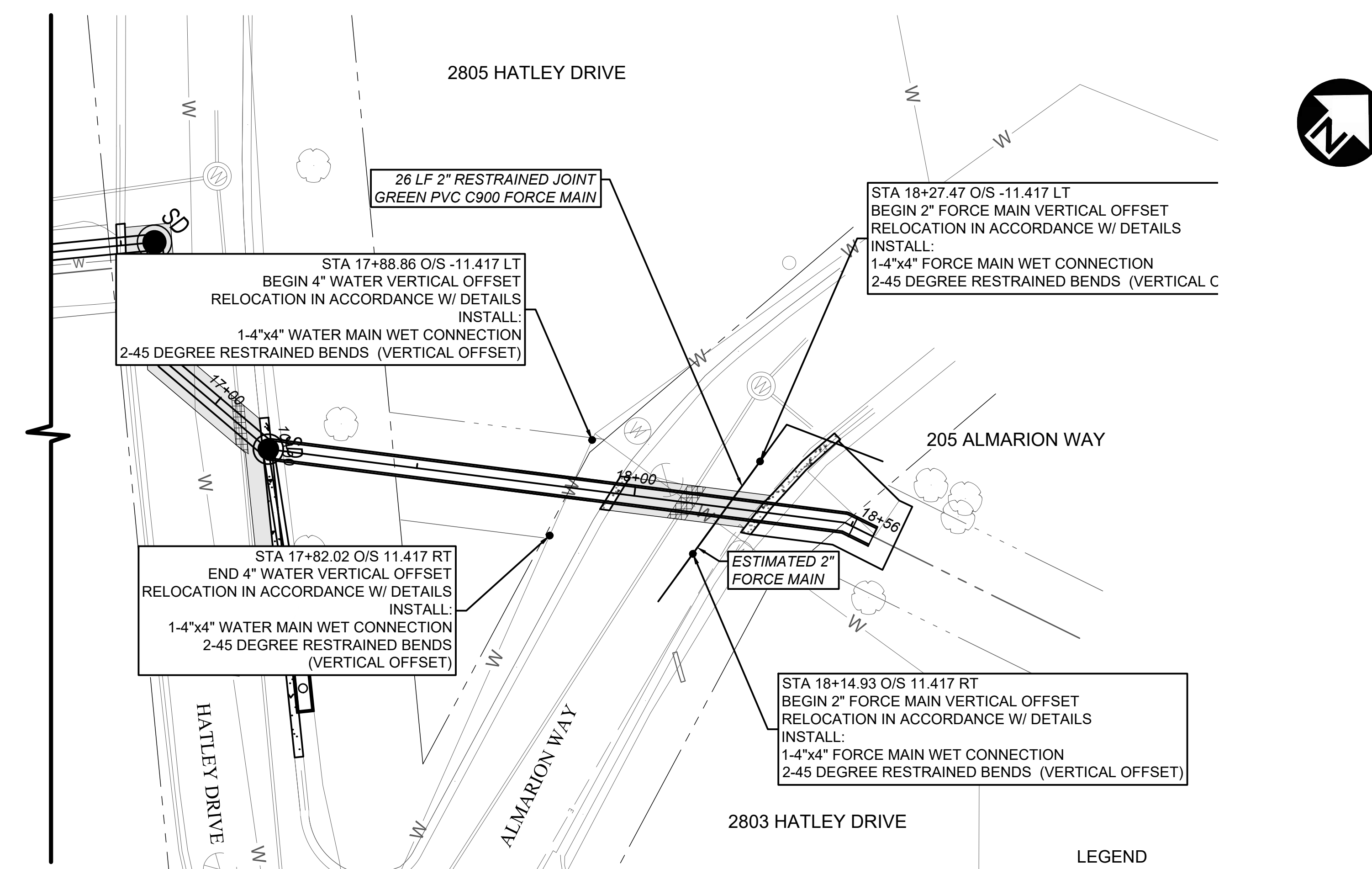
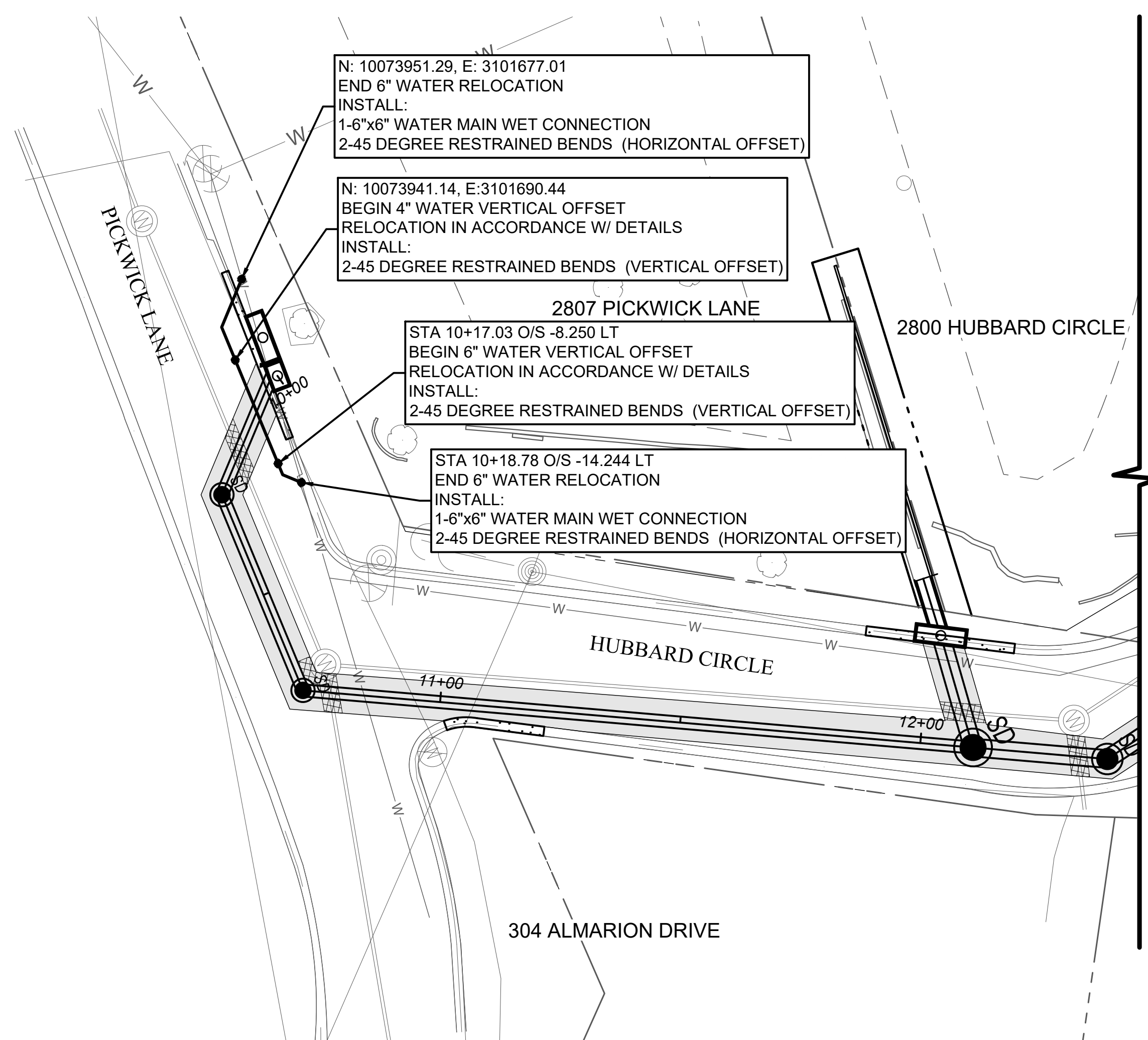
CITY OF ROLLINGWOOD
 DRAINAGE IMPROVEMENTS

DRAINAGE & PAVEMENT DETAILS

NOTES	NAME	DATE

SURVEY BY	
DRAWN BY	KT 07/21
DESIGNED BY	AF 07/21
CHECKED BY	GE 07/21
REVIEWED BY	

DET07
21 OF 32



LEGEND

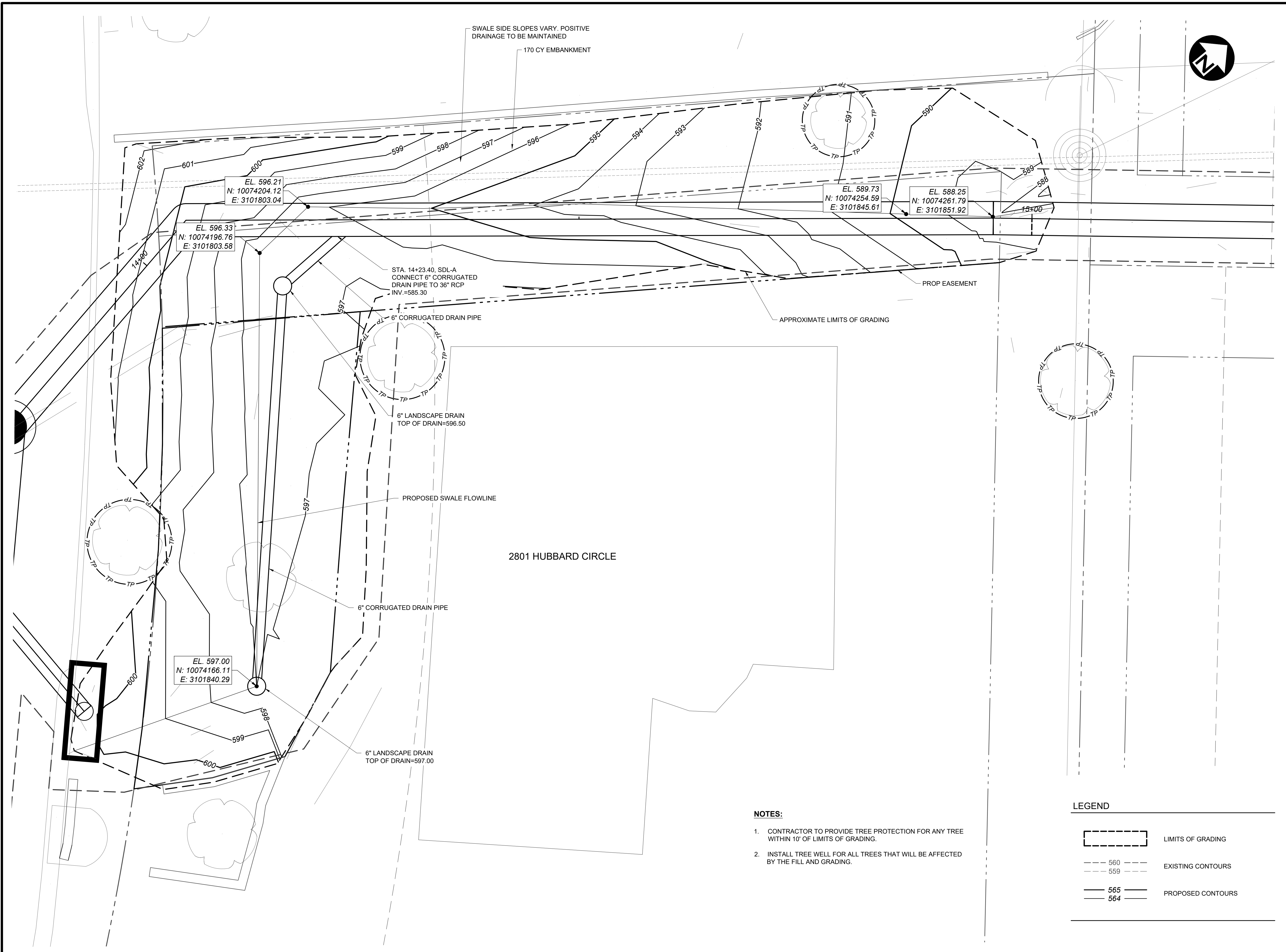
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	RIGHT OF WAY LINE
	PROPERTY LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	BACK OF CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	GUTTER
	CONCRETE PAVEMENT
	DRAINAGE FLOW LINE
	WOOD FENCE
	PAVED PARKING / DRIVEWAY
	WASTEWATER LINE
	WATER LINE
	ROCK WALL
	EXISTING RCP PIPE
	NATURAL GAS LINE
	ELECTRIC OVERHEAD
	ELECTRIC UNDERGROUND
	GUY WIRE
	WATER METER
	WATER VALVE
	SPRINKLER VALVE
	WASTEWATER MANHOLE
	CLEANOUT
	FIRE HYDRANT
	POWER POLE
	ELECTRIC JUNCTION BOX
	SIGN
	MAILBOX
	TREE
	TREE WELL
	25 YEAR HGL

- NOTES:**
1. THIS DETAIL IS TO BE USED FOR THE LOWERING OF EXISTING WATERLINES ONLY.
 2. TRANSITION COUPLING TO BE A LONG BODY COUPLING.
 3. ALL PIPE, BENDS AND TIE RODS SHALL BE WRAPPED IN 8 MIL. POLYETHYLENE FILM.

DETAILS: UTILITY RELOCATIONS OF PVC WATER AND FORCE MAIN
N.T.S.

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CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT		CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMENTS WATER AND SANITARY SEWER LOCATIONS	
 <small>1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBE Firm #6535 www.kfriese.com</small>			
NOTES	NAME	DATE	
SURVEY BY			
DRAWN BY	KT	06/22	
DESIGNED BY	AF	06/22	
CHECKED BY	GE	07/21	
REVIEWED BY			
 HORIZONTAL SCALE IN FEET		 VERTICAL SCALE IN FEET	
SDPL1	23	OF 32	

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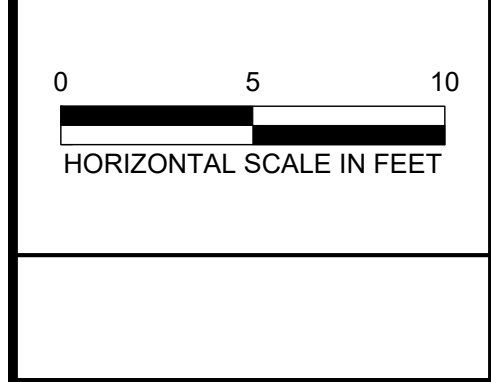
CITY OF ROLLINGWOOD
PROPOSED DRAINAGE IMPROVEMENTS

GRADING PLAN

ROLLINGWOOD TEXAS

K-FRIESE + ASSOCIATES
PUBLIC PROJECT ENGINEERING
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Austin, Texas 78746
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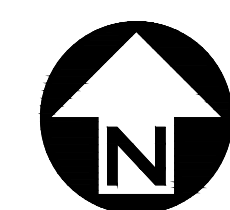
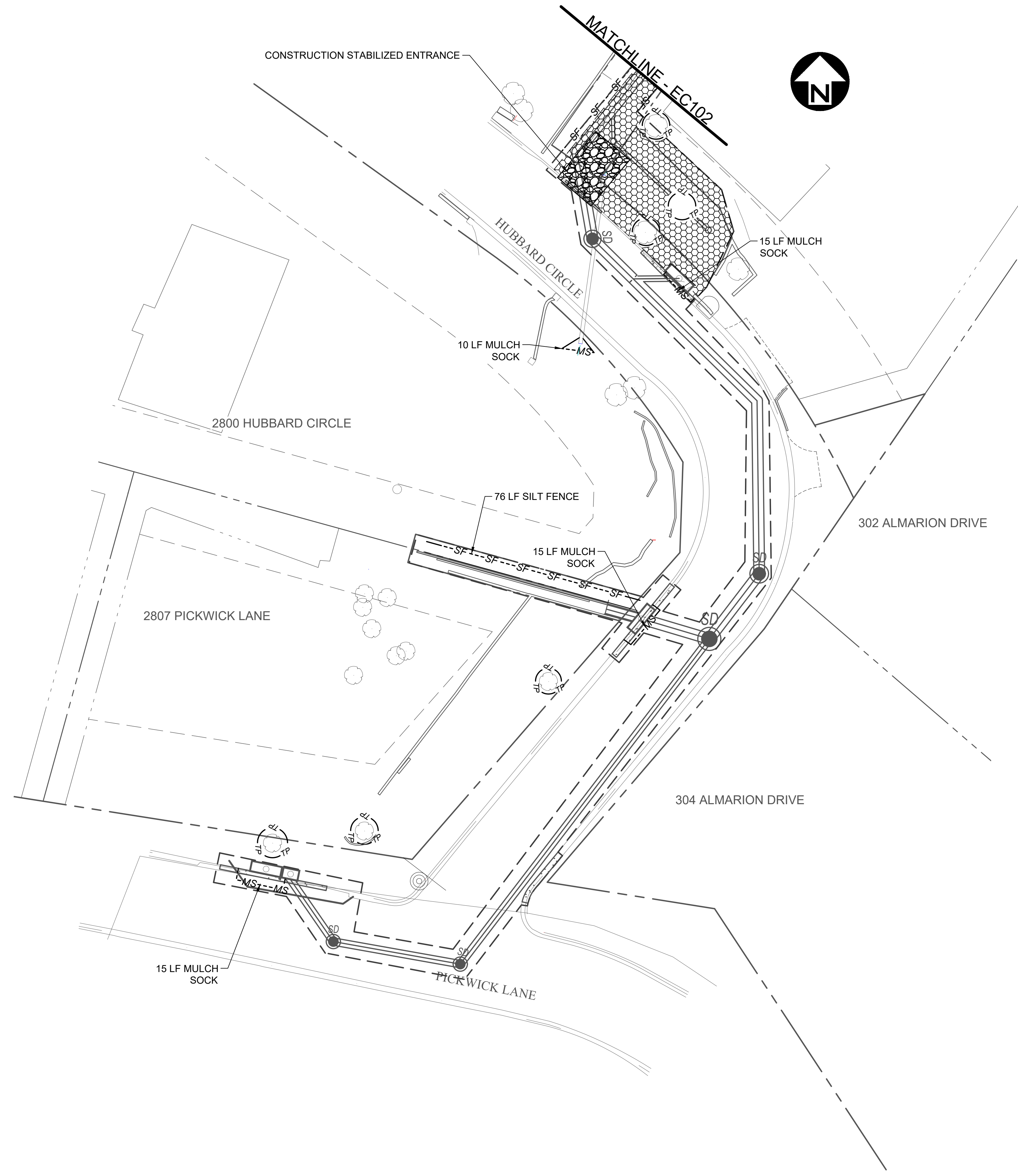


- NOTES:**
- CONTRACTOR TO PROVIDE TREE PROTECTION FOR ANY TREE WITHIN 10' OF LIMITS OF GRADING.
 - INSTALL TREE WELL FOR ALL TREES THAT WILL BE AFFECTED BY THE FILL AND GRADING.

LEGEND

	LIMITS OF GRADING
	EXISTING CONTOURS
	PROPOSED CONTOURS

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NOTES:

1. CONTRACTOR TO PROVIDE ACCESS TO DRIVEWAYS AT ALL TIMES.
2. CONSTRUCTION ACTIVITIES SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM.
3. CONSTRUCTION WILL BE SEQUENCED IN A MANNER THAT WILL NOT DISTURB OR DAMAGE PREVIOUSLY CONSTRUCTED WORK.

EXISTING FEATURES

	CENTERLINE
	RIGHT OF WAY LINE
	PROPERTY LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	BACK OF CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	GUTTER
	CONCRETE PAVEMENT
	DRAINAGE FLOW LINE
	DITCH EDGE
	WOOD FENCE
	MAJOR CONTOURS
	MINOR CONTOURS
	GRADE BREAK
	PAVED PARKING / DRIVEWAY
	SLOPE TOP
	SLOPE BOTTOM
	WASTEWATER LINE
	WATER LINE
	ROCK WALL
	EXISTING RCP PIPE
	NATURAL GAS LINE
	ELECTRIC OVERHEAD
	ELECTRIC UNDERGROUND
	GUY WIRE
	WATER METER
	WATER VALVE
	SPRINKLER VALVE
	WASTEWATER MANHOLE
	CLEANOUT
	FIRE HYDRANT
	POWER POLE
	ELECTRIC JUNCTION BOX
	STOP SIGN
	MAILBOX
	TREE
	TREE WELL

LEGEND

	LIMITS OF CONSTRUCTION
	MULCH SOCK
	SILT FENCE
	TREE PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
	REVEGETATE

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CITY OF ROLLINGWOOD
PROPOSED DRAINAGE IMPROVEMENTS

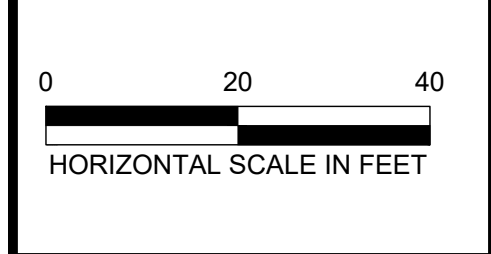
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ROLLINGWOOD TEXAS

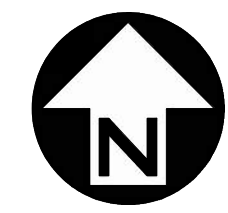
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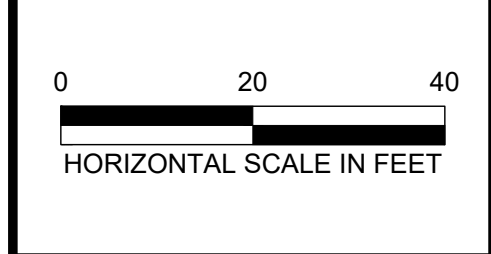
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- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- BACK OF CURB
- EDGE OF ASPHALT
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- MINOR CONTOURS
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- EXISTING RCP PIPE
- NATURAL GAS LINE
- ELECTRIC OVERHEAD
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- GUY WIRE
- WATER METER
- WATER VALVE
- SPRINKLER VALVE
- WASTEWATER MANHOLE
- CLEANOUT
- FIRE HYDRANT
- POWER POLE
- ELECTRIC JUNCTION BOX
- STOP SIGN
- MAILBOX
- TREE
- TREE WELL

REV. NO.	BY	DATE	REVISION DESCRIPTION

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CITY OF ROLLINGWOOD
PROPOSED DRAINAGE IMPROVEMENTS
WATER ABANDONMENT PLAN

NOTES	NAME	DATE

SURVEY BY		
DRAWN BY	KT	07/21
DESIGNED BY	AF	07/21
CHECKED BY	GE	07/21
REVIEWED BY		



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AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action regarding an update to the K. Friese and Associates billing rates for City Engineering Services

Description:

When the City of Rollingwood Contracted with K. Friese and Associates, a corresponding fee schedule was approved. KFA has submitted a new list of categories and rates, which have been updated for 2023 to reflect their current pay scales.

Hourly Rate Increases Proposed by Name/Title:

Title	Name	Old Hourly Rate	New Hourly Rate	% Increase
Senior Project Manager	Abe Salinas III	\$ 220	\$ 285	30%
Project Manager	Tyson Hasz	\$ 185	\$ 265	43%
Project Engineer	Greg Blackburn	\$ 180	\$ 185	3%
Design Engineer	Aldo Hernandez	\$ 145	\$ 150	3%
Engineer in Training	Phil Williams	\$ 110	\$ 125	14%
GIS Analyst	Matthew Stotts	\$ 125	\$ 130	4%
Senior Planner	Brandon Melland, Terri Gaston	\$ 170	\$ 180	6%
Administration/ Accounting	Javier Aguilar	\$ 90	\$ 105	17%
Engineering Technician	Anna Ballard, Suzanne Wissel	\$ 110	\$ 110	0%
	Average	\$ 148	\$ 171	13%

Based on these new rates, staff estimates that our General Engineering costs will increase approximately 30% due to the rate increase for the city’s project manager as well as support staff.

The average billing for a full drainage review for a project from April 2022-March 2023 was \$1,561. Drainage reviews are generally conducted by Tyson Hasz and a design engineer or

engineering technician. Assuming Tyson does 50% of the work, staff estimates this average to go up approximately \$500 per project.

The average billing for a full zoning review for a project from April 2022-March 2023 was \$1,122. Zoning reviews are conducted by a senior planner, whose rates are proposed to increase 6%. Assuming senior planners continue to do this work, staff estimates this average to go up approximately \$70 per project.

Drainage and Zoning Reviews are paid for in the application fees for projects. With the proposed increase in these review rates, staff would recommend to undergo a building fee study to ensure that the application fees we are charging are adequate to cover the cost of reviews.

Increases in other areas (GIS, Water, Wastewater, General Drainage) will vary based on hours required and use.

Action Requested:

To take action on an update to the K. Friese and Associates billing rates for City Engineering Services

Fiscal Impacts:

Increase in City Engineering costs as detailed above

Attachments:

- 2022 vs. 2023 Category Rates by Person

Category	Years of Experience	2022 Rate
Principal	-	\$275
Senior Project Manager	15+	\$220
Senior Engineer	15+	\$210
Project Manager	10+	\$185
Project Engineer	10 to 15	\$180
Design Engineer	5 to 10	\$145
Engineer in Training	1 to 5	\$110
Senior Planner	10+	\$170
Planner	0-10	\$100
GIS Analyst	15+	\$125
Senior CADD Operator	15+	\$120
Mid-level CADD Operator	5 to 15	\$90
Administration		\$90

Category	Years of Experience	2023 Rate
Principal	-	\$360
Senior Technical Advisor	15+	\$290
Senior Project Manager	15+	\$285
Project Manager	10+	\$265
Senior Engineer	15+	\$210
Project Engineer	10 to 15	\$185
Design Engineer	5 to 10	\$150
Engineer in Training	1 to 5	\$125
Senior Planner	15+	\$180
GIS Analyst	-	\$130
CADD Designer	-	\$165
CADD Senior Level	15+	\$125
CAD Mid Level	5 to 15	\$115
Administration		\$105
Accounting		\$105
Graphics		\$155
Engineering Technician		\$110

City of Rollingwood

2022 Rate Category Assignments

Name	Category	Rate
Abe Salinas III	Senior Project Manager	\$220
Tyson Hasz	Project Manager	\$185
Greg Blackburn	Project Engineer	\$180
Aldo Hernandez*	Design Engineer	\$145
Phil Williams	Engineer in Training	\$110
Matthew Stotts	GIS Analyst	\$125
Brandon Melland	Senior Planner	\$170
Terri Gaston	Senior Planner	\$170
Javier Aguilar	Administration	\$90
Anna Victoria Ballard	Engineer in Training	\$110
Suzanne Wissel	Engineer in Training	\$110

City of Rollingwood

2023 Rate Category Assignments

Name	Category	Rate
Abe Salinas III	Senior Project Manager	\$285
Tyson Hasz	Project Manager	\$265
Greg Blackburn	Project Engineer	\$185
Aldo Hernandez*	Design Engineer	\$150
Phil Williams	Engineer in Training	\$125
Matthew Stotts	GIS Analyst	\$130
Brandon Melland	Senior Planner	\$180
Terri Gaston	Senior Planner	\$180
Javier Aguilar	Accountng	\$105
Anna Victoria Ballard	Engineering Technician	\$110
Suzanne Wissel	Engineering Technician	\$110

*Note: Aldo Hernandez recently obtained PE.

**AGENDA ITEM SUMMARY SHEET
CITY OF ROLLINGWOOD, TEXAS
MEETING DATE: April 19, 2023**

Agenda Item __: Discussion and possible action to amend Rollingwood Ordinance Section 107-3 Definitions, related to the definition of "Building Height, Residential" and residential building height in the R-Residential zoning district.

Submitted by: Brook Brown

Proposed action: This proposed amendment (copy attached) would modify the definition of "Building Height, residential" in the current zoning code in two ways:

(1) "Perimeter" change:

retains the ability to build a residence up to 45 feet in height on sloped lots.

requires the slope measurement be taken at the "adjoining" original native ground surface rather than up to five feet outside the building perimeter.

eliminates the ability to pick and choose any grade within five feet of the building perimeter for the "high" and "low" measurements.

(2) "Survey" change:

clarifies that the "original native ground surface" is "the existing grade on the lot prior to development."

requires verification of the grade by survey or approved building plans, thereby eliminating manipulation of the existing ground prior to measurement.

Background:

Public hearings and actions to date:

2021: The survey conducted by the Comprehensive Plan Task Force showed that a significant segment of the community was concerned with the impact from the increasing size of homes in Rollingwood.

June 2022: concerns about gaps in the codes provisions regarding residential setbacks and building heights were brought to the City Council for discussion.

July, 2022: the Council referred proposed amendments to the Planning and Zoning Commission for a recommendation on interim measures to address residential setbacks and building heights, and began discussions as to the formation of a residential task force to review residential building codes more broadly.

Fall 2022 to March 2023: The Planning and Zoning Commission held four open meetings to review and revise language of the proposed amendments on required setbacks and building heights. More than 30 letters were received by the Council and/or P&Z, and testimony given in public meetings.

March 22, 2023: the Council approved formation of the Comprehensive Residential Code Review Committee.

April 5, 2023: the Planning and Zoning Commission and the City Council held a joint public hearing to address the two interim measures. The P&Z voted to recommend the City Council approve the setback amendments but voted 4-2 to recommend against the building height amendment. On the same night, the City Council approved the proposed ordinance adopting the recommended changes to residential setbacks. The Council postponed action on the residential height amendment to the April 19 Council meeting.

PROS and concerns of the Survey change: This change is broadly supported. I am unaware of any opposition specific to this portion of the proposed amendment.

PROS of the proposed Perimeter change:

The Perimeter change would

- *eliminate the potential to increase the building height when not necessary to accommodate the slope of the lot within the building perimeter.

- *reduce the disparity in maximum building height between sloped and flat lots.

- *parallel public support which runs in favor of adoption.

*clarifies the current code in a manner consistent with most building height ordinances in measuring the permissible heights at the building perimeter.

*is a needed, common sense, and modest change pending the work of the Comprehensive Residential Code Review Committee in conducting a more comprehensive review of actual building heights.

Concerns in opposition to the Perimeter change:

Concern: the Council might reduce the "ten feet" of permitted extension of the otherwise applicable 35-foot maximum height; to prevent this, a vote "no" on the amendment would require a super-majority vote on the council for any such change.

Response: This argument is no longer a concern as there is no such proposal before the Council.

Concern: recently built lots might be deemed "non-conforming".

Response: this is an incorrect analysis in the view of most professionals, as any currently legal home would remain legal and the grandfathering provisions of the Code are generous as to remodeling and rebuilding of "legal" non-conforming lots.

Concern: there has not been enough public input/these matters should be given to the CRCRC for a more comprehensive review.

Response: these issues have been in debate before the city council since last June and before the P&Z since last July. The modest change by the Perimeter amendment does not reduce allowed 35-foot heights on any lots - but does ensure that the up to ten-foot adder on sloped lots is based on the actual change in slope within the building perimeter, rather than a spot up to 5-feet around the perimeter.

Options for the Council:

#1: Adopt the amendment as proposed

#2: Adopt amendments to give effect only to the "survey" requirement.

#3: If Option 2 is chosen, then consider adopting a resolution asking the CRCRC to give the Perimeter changes priority attention.

Resources:

Proposed amendment - See attached amendment to Section 107-3.

Dave Bench memo -

Proposed Code Amendment - Residential Building Height Measurement

Add the following red underlined text and remove ~~red strikethrough~~ text from the City of Rollingwood Code of Ordinances Section and 107-3:

Sec.107-3 Definitions

Building height, residential, means the vertical distance above a reference datum measured to the highest point of the building. The reference datum shall be selected by either of the following, whichever yields a greater height of the building:

1. The elevation of the highest adjoining original native ground surface ~~within a five-foot horizontal distance of to~~ the exterior wall of the building when such original native ground surface is not more than ten feet above the lowest adjoining original native ground surface grade; or
2. An elevation of ten feet higher than the lowest adjoining original native ground surface grade when the highest adjoining original native ground surface described in subsection (1) of this section is more than ten feet above lowest adjoining original native ground surface grade.
3. The original native ground surface shall be determined as the existing grade on the lot prior to development of the residential building as may be shown on approved building plans or survey of the property.

This definition shall apply to all residential buildings or structures within the City including residential buildings constructed in the R - Residential Zoning District (see Sec.107-71 for Maximum permissible height in R - Residential Zoning District)

Reference Exhibit- Residential Building Height Measurement

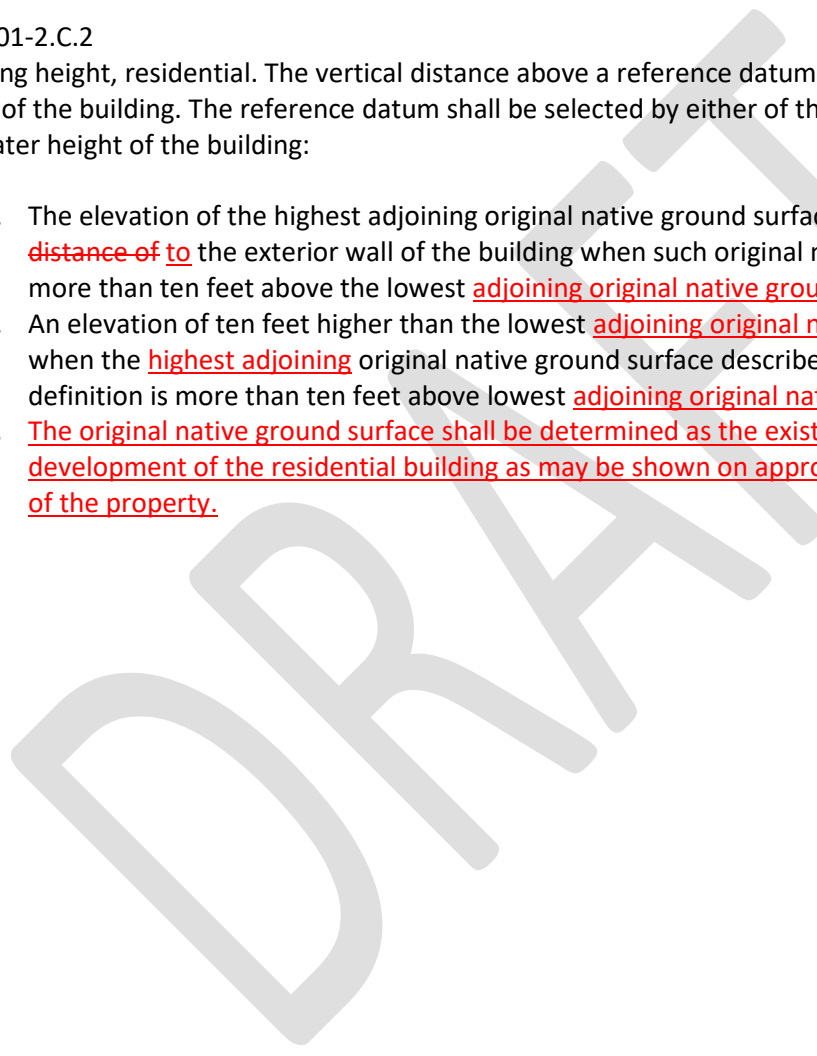
The definition of Building Height, Residential is listed in two locations in the City’s Code of Ordinances, once in Section 101-2 Adoption of Codes related to building codes and a second in the zoning definitions in Section 107-3. Below is a proposed amendment to the Building Height, Residential section from Code of Ordinances Section 101-2.

Add the following red underlined text and remove ~~red strikethrough~~ text from the City of Rollingwood Code of Ordinances Section 101-2:

Sec.101-2.C.2

Building height, residential. The vertical distance above a reference datum measured to the highest point of the building. The reference datum shall be selected by either of the following, whichever yields a greater height of the building:

1. The elevation of the highest adjoining original native ground surface ~~within a five-foot horizontal distance of~~ to the exterior wall of the building when such original native ground surface is not more than ten feet above the lowest adjoining original native ground surface grade; or
2. An elevation of ten feet higher than the lowest adjoining original native ground surface grade when the highest adjoining original native ground surface described in subsection 1 of this definition is more than ten feet above lowest adjoining original native ground surface grade.
3. The original native ground surface shall be determined as the existing grade on the lot prior to development of the residential building as may be shown on approved building plans or survey of the property.



Residential Height Comparisons

Rollingwood's 35' maximum allowable building height is relatively high

Texas examples

- West Lake Hills R1 = 30'; R2 = 25'; R3 = 30'
- Austin R1 = 30' (generally)
- Lakeway R1 = 32'
- Rockwall, TX = 36' with pitched roof system requirement

Out of state, high topographical relief, high property value examples

- Stowe, VT = 28'
- Aspen, CO = 25' for flat to 3:12 pitch; pitches above 3:12 measured from 1 / 2 to 1/3 upslope from eave depending on pitch *

* Aspen enacted residential permit moratorium 12/21 – 8/22
<https://aspen.gov/1384/Residential-Building-Regulations-Update>

Height Measurement – Current *

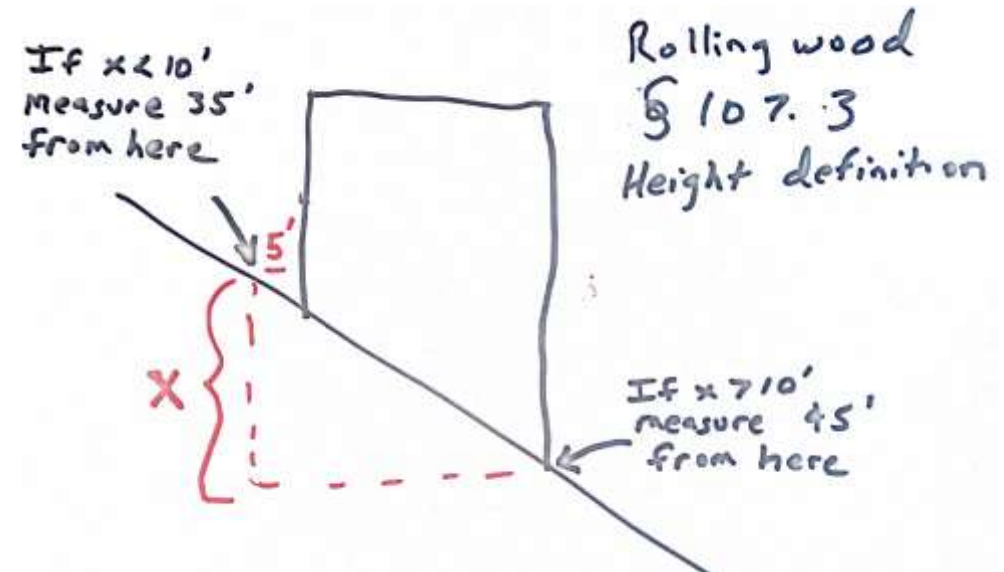
Building height, residential, means the vertical distance above a reference datum measured to the highest point of the building. The reference datum shall be selected by either of the following, whichever yields a greater height of the building:

(1)

The elevation of the highest adjoining original native ground surface within a five-foot horizontal distance of the exterior wall of the building when such original native ground surface is not more than ten feet above the lowest grade; or

(2)

An elevation of ten feet higher than the lowest grade when the original native ground surface described in subsection (1) of this section is more than ten feet above lowest grade.



* Drawing by permission of Kevin Glasheen

Height Measurement Method – West Lake Hills

[22.03.279 Height of structures.](#)

(a)

Prohibition.

No person shall build, construct or erect a structure at a height greater than that shown on the schedule of regulations contained in section [22.03.281](#) as being permitted in the zoning district in which the structure is located.

(b)

Measuring height.

No part of any principal structure shall rise more than the maximum height shown on the schedule of regulations contained in section [22.03.281](#), above natural ground grade or original grade directly below. If the average natural slope in the area directly below the foundation of the principal structure is 25% or greater, than no part of any principal structure shall rise more than 32' above natural ground grade directly below.

[22.03.281 Schedule of Regulations.](#)

Maximum Height (ft)	R1	R2	R3
	30	25	30

Height Measurement Method – Aspen CO

In measuring a building for the compliance with height restrictions, the measurement shall be the maximum distance measured vertically from the ground to the specified point of the building located above that point, as further described below:

- a. Measuring height along the perimeter of the building. At each location where the exterior perimeter of a building meets the ground, the measurement shall be taken from the lower of natural or finished grade. Building permit plans must depict both natural and finished grades.
- b. Measuring height within the footprint of the building. For the purposes of measuring height within the footprint of a building, areas of the building within fifteen (15) horizontal feet of the building's perimeter shall be measured using the perimeter measurement, as described above. In all other areas, the natural grade of the site shall be projected up to the allowable height and the height of the structure shall be measured using this projected topography.

Height Measurement – Simple *

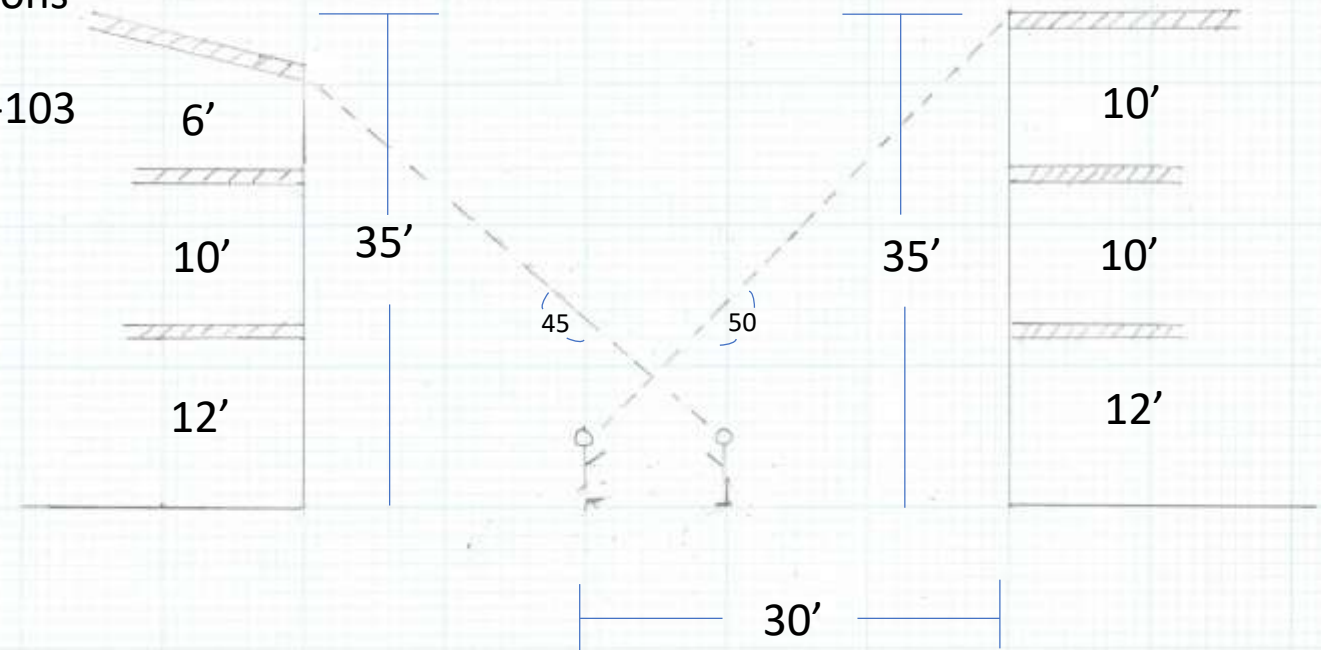
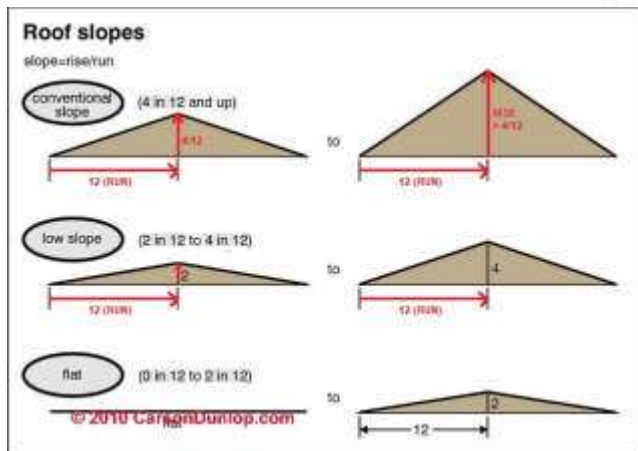
No roof point shall exceed the prescribed height above the existing or finished grade, whichever is lower.

All measurements shall be made vertically; i.e., each point of a roof shall be measured to the point of grade that is directly below it--vertical and plumb.

* Language borrowed from Pitkin County, CO

3:12 Pitch vs Flat Roof

- Flat roof is more imposing as viewed from the street
- Pitched roof in closer harmony with most neighbors' rooflines
- Pitched roof narrows large design options
- 3:12 considered "low slope"
- In line with RW Commercial code 107-103

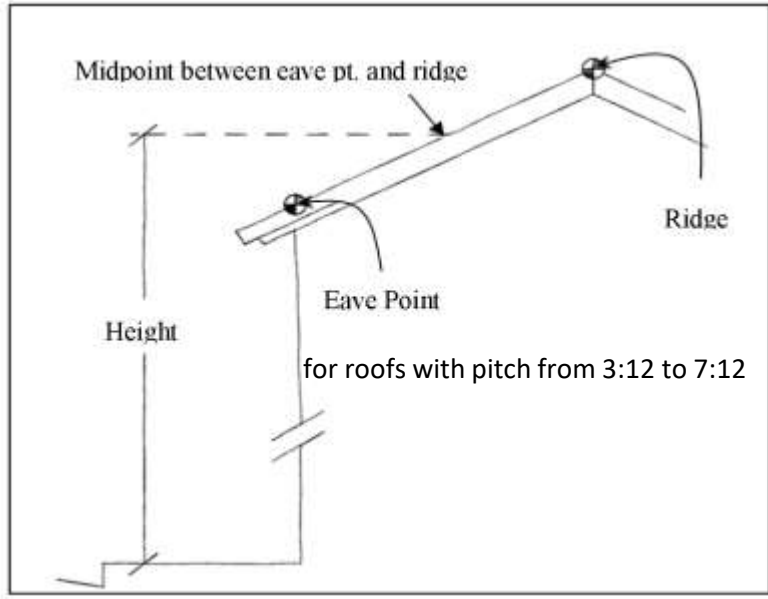
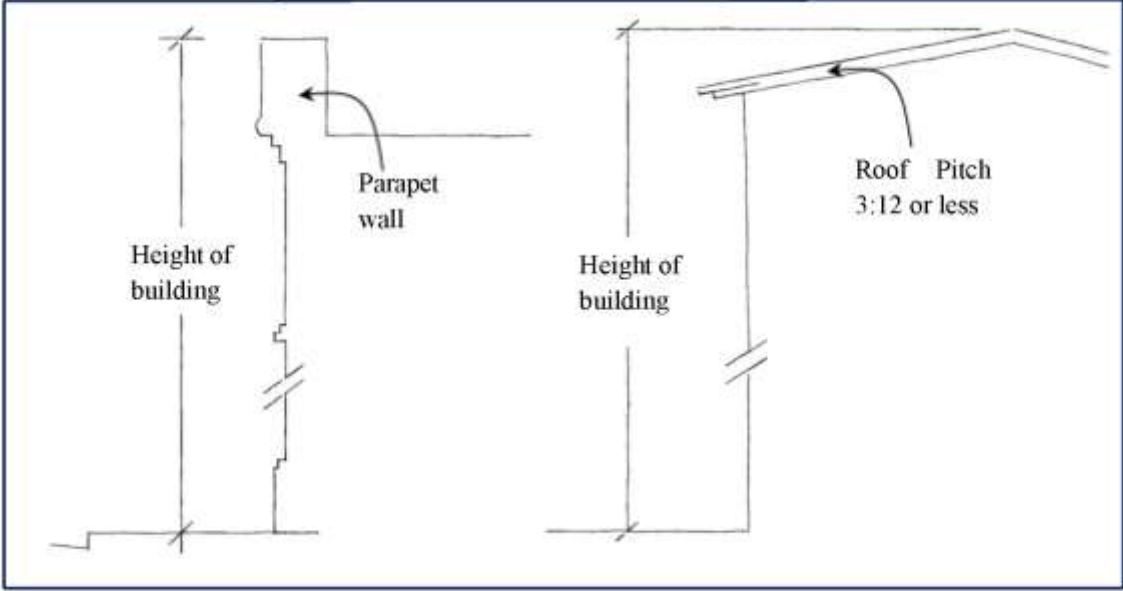


3:12 Roof pitch example (estimated)

- Main roof depth of 30 ft (conservative) drops street-view height by 3'9"
- Assumes current flat roof height at maximum permissible (35 ft)



Variable Pitch-based Height – Aspen CO



AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action regarding an amendment to the Code of Ordinances Section 107-3 Definitions, related to the definition of Building Height, Residential in the R- Residential zoning district

Description:

After the April 5, 2023 Joint Planning and Zoning Commission Public hearing regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district, the Planning and zoning commission moved to not recommend the proposed changes to Council. The motion passed with 4 in favor and 2 against.

Action Requested:

To take action on an amendment to the Code of Ordinances Section 107-3 Definitions, related to the definition of Building Height, Residential in the R- Residential zoning district

Fiscal Impacts:

No significant fiscal impacts anticipated at this time.

Attachments:

- Draft Ordinance 2023-04-19-12 – Building Height
- Emails received regarding building height and analysis (Dave Bench and Jeff Marx)

CITY OF ROLLINGWOOD, TEXAS
ORDINANCE NO. 2023-04-19-12

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AN ORDINANCE OF THE CITY OF ROLLINGWOOD, TEXAS, AMENDING THE CITY’S CODE OF ORDINANCES SECTION 107-3 DEFINITIONS, RELATED TO THE DEFINITION OF BUILDING HEIGHT, RESIDENTIAL IN THE R- RESIDENTIAL ZONING DISTRICT; PROVIDING A SAVINGS CLAUSE, REPEALING CONFLICTING LAWS AND ESTABLISHING AN EFFECTIVE DATE

12 **WHEREAS**, the City of Rollingwood (“City”) is a General Law Type A City under the
13 statutes of the State of Texas; and

14 **WHEREAS**, the Texas Local Government Code authorizes a municipality to adopt zoning
15 regulations regarding the location and use of buildings, other structures, and land for business,
16 industrial, residential, or other purposes; and

17 **WHEREAS**, the Planning and Zoning Commission and City Council held a joint public
18 hearing on April 5, 2023 on the proposed amendment to Section 107-3 Definitions; and
19

20 **WHEREAS**, the Planning and Zoning Commission after consideration of the proposed
21 amendment recommended denial of the proposed amendment to City Council; and
22

23 **WHEREAS**, the City Council hereby finds and determines that the proposed amendment
24 promotes the public health, safety, morals, and general welfare of the Community; and
25

26 **WHEREAS**, the City Council hereby finds and determines that the proposed amendment
27 is consistent with the comprehensive plan for the City; and
28

29 **WHEREAS**, the City has complied with all conditions precedent necessary to take this
30 action, has properly noticed and conducted all public hearings and public meetings pursuant to the
31 Texas Local Government Code and Texas Government Code, as applicable; and
32

33 **WHEREAS**, the City Council finds and determines that Section 107-3 Definitions of the
34 City’s Code of ordinances related to the definition of Building height, residential shall be amended
35 as provided herein.
36
37

38 **NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF**
39 **ROLLINGWOOD, TEXAS, THAT:**
40

41 **SECTION 1.** All the above premises are hereby found to be true and correct legislative
42 and factual findings of the City Council and are hereby approved and incorporated into the body
43 of this Ordinance as if copied in their entirety.

44
45 **SECTION 2.** The City’s Code of Ordinances Chapter 107, Zoning shall be amended to
46 read as follows, with underlines being additions and ~~strikethroughs~~ being deletions:

47
48 Sec.107-3 – Definitions.

49
50 *Building height, residential*, means the vertical distance above a reference
51 datum measured to the highest point of the building. The reference datum
52 shall be selected by either of the following, whichever yields a greater
53 height of the building:

- 54
- 55 (1) The elevation of the highest adjoining original native ground surface ~~within~~
56 ~~a five-foot horizontal distance of~~ to the exterior wall of the building when
57 such original native ground surface is not more than ten feet above the
58 lowest adjoining original native ground surface grade; or
- 59
- 60 (2) An elevation of ten feet higher than the lowest adjoining original native
61 ground surface grade when the highest adjoining original native ground
62 surface described in subsection (1) of this section is more than ten feet above
63 lowest adjoining original native ground surface grade.
- 64
- 65 (3) The original native ground surface shall be determined as the existing grade
66 on the lot prior to development of the residential building as may be shown
67 on approved building plans or survey of the property.

68
69 This definition shall apply to all residential buildings or structures within
70 the City including residential buildings constructed in the R - Residential
71 Zoning District (see Sec.107-71 for Maximum permissible height in R -
72 Residential Zoning District).

73
74
75 **SECTION 3.** All provisions of the ordinances of the City of Rollingwood in conflict with
76 the provisions of this ordinance are hereby repealed to the extent of such conflict, and all other
77 provisions of the ordinances of the City of Rollingwood not in conflict with the provisions of this
78 ordinance shall remain in full force and effect.

79
80 **SECTION 4.** Should any sentence, paragraph, subdivision, clause, phrase or section of
81 this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not
82 affect the validity of this ordinance as a whole, or any part or provision thereof other than the part
83 so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of
84 Ordinances as a whole.

85
86 **SECTION 5.** This ordinance shall take effect immediately from and after its passage and
87 the publication of the caption, as the law and charter in such cases provide.

88

89 **APPROVED, PASSED AND ADOPTED** by the City Council of the City of Rollingwood, Texas,
90 on the ____ day of _____, 2023.

91
92
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99

APPROVED:

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary

DRAFT

Desiree Adair

From: Jeff Ezell [REDACTED]
Sent: Tuesday, January 10, 2023 1:51 PM
To: Kevin Glasheen
Subject: RE: Thoughts on Proposed Zoning Changes

Kevin,

Thank you for the emails. I'll try to combine my responses into one email:

- Regarding your neighbor's house and height:
 - I understand your position and taking the feedback you have heard and bringing up the topic of height regulations is spot on.
- Regarding the feedback / complaints you have received:
 - I agree we should review the code, but a piecemeal approach will only lead to more problems. We need a city wide comprehensive review of the residential code
 - Furthermore, I encourage you to ask those people who have concerns with height to write emails to P&Z / Council to state their position, so that we have transparency on how many people really are voicing this opinion. I plan to do ask people I know to email their opinions. What we don't want is a false sense of majority to impact the vote in either direction. I don't think the dozen or so people you have heard from so far constitutes sufficient concern to outvote the remaining residents are have not voiced an opinion, are against any changes or against any quick changes.
- Quick thoughts / no-brainer fixes:
 - No four story homes
 - Add resources to ensure current code is being applied correctly
 - Limit difference in slope calculation to within the setback
 - 601 Riley did their change in elevation calculation across the entire property. Thus, if the calculation was done only in buildable area they would not have received bonus 10'
 - Currently, 35' in front yard and 40' in backyard
 - Limit projections in setbacks, as currently being contemplated at P&Z and Council

Also, once you've had a chance to review the topographical changes around the community and the existing structures of significant height, please let me know your thoughts. What we have to remember is that with as much topo as we have someone will always be impacted, no matter the height of the homes (a good example of this is the homes on the east side of Park Hills and how they tower over the west side of Pleasant).

Per your original email I am always happy to jump on a call or meet. I will stay in touch and please do the same. Thank you and keep your axe sharp, because as a city we have a lot of wood to chop

From: Kevin Glasheen [REDACTED]
Sent: Monday, January 9, 2023 5:31 PM
To: Jeff Ezell [REDACTED]
Subject: Re: Thoughts on Proposed Zoning Changes

And I don't have a problem with 35'. It's the goofy definition that lead to uncertainty and threats of litigation which led to the park hills house.

On Jan 9, 2023, at 4:14 PM, Jeff Ezell [REDACTED] wrote:

Kevin,

Out of curiosity, and as a way to better understand how you are thinking about heights, I was curious to get your perspective on your own lot. The home directly across the street from your residence (11 Inwood Circle) was constructed in 2012 and is a 3 story home. You purchased your lot in January 2014, which means you purchased it with full knowledge of your neighbor's house. With that said, I have a couple questions:

1. How did you perceive that home to impair your lot at the time of your purchase?
2. What has your experience been with such a tall home across the street for the past 8 years?
3. How does your experience play into your current position?
4. Why have you not voiced concerns in the past?

Thank you in advance for your time and I appreciate you digging into the review of the residential building code.

-Jeff

From: Kevin Glasheen [REDACTED]
Sent: Monday, January 9, 2023 10:47 AM
To: Jeff Ezell [REDACTED]
Subject: Re: Thoughts on Proposed Zoning Changes

That's a lot of good info. I will look at the lots and houses you listed.

Kevin Glasheen
806-789-0734

On Jan 9, 2023, at 10:24 AM, Jeff Ezell [REDACTED] wrote:

Kevin,

I appreciate the quick feedback. I'm going to respond sequentially to your topics with thoughts with the hopes to remove subjectivity out of the conversation and hopefully put us on level playing field as far as understanding:

1. I have heard from way more than a dozen people who do not want to change building heights
 1. In this example, city council should not act as the majority of the residents have spoken

2. A 45' height will not severely impact my property value as there are homes that are existing that are north of 35', let alone 30', and none of the adjacent properties are impaired
 1. Look at the home at 3215 Park Hills. That is tall and it hasn't impacted adjacent values. This home was built in 2015.
 2. Look at 1 Brett Cove. 35'+ and hasn't impacted adjacent values
 3. Look in the backyard of 4823 and 4829 Timberline. Both 35'+ and hasn't impacted adjacent values
 4. Look in the backyard of 4826 Rollingwood. 35'+ and hasn't impacted adjacent values
 5. Look in the backyard of 2804 Rollingwood and 2806 Rollingwood
 6. This is just a few examples and the list goes on, but these homes already exist and there are a bunch of them...
3. I agree that the home on Park Hills should not have been approved, but my question is who approved a 4 story home, irrespective of its height. If you want a layup just say under no circumstance can a home exceed 3 stories. Then, you don't punish people with sloped lots and you would have 100% unanimous support from every resident in the neighborhood!
4. I'm a little confused on your 3% comment, but will try to bring perspective:
 1. 3% of the homes equals approximately 14 homes.
 2. The only way you can exceed 35' is if your lot has greater than 10' change in slope and in that case you can build up to 45' from the low point, but the number of lots in Rollingwood that have slope greater than 10' far exceeds 3%.
 1. Look at the slope at the lots on the south side of Timberline, Timberline Ridge, Ewing Circle, Westgate.
 2. Look at the lots on the north side of the 4900 block of Timberline
 3. Look at the slope between the lots of the 4700 and 4800 block Rollingwood and Timberline
 4. Look at the slope of the lots on the lower 3200 block Gentry and Pickwick on both sides of the street
 5. Look at the slope of the lots on both sides of Pleasant Drive and Pleasant Cove
 6. Look at the slopes of the lots on both sides of Ashworth
 7. Look at the slope of the lots on both sides of the 300 and 400 block of Inwood
 8. Look at the slope of the lots on both sides of the 400 block of Almarion
 9. Look at the slope of the lots on both sides of the 2800 block of Pickwick
 10. Look at the slope of the lots on both sides of Wallis
 11. ...this is probably 50%+/- of the homes
 3. So, to tie it back to your 3%, a change like your proposing could severely impact a huge number of our residents. But, if 3% is correct, and I have absolutely no clue, but think it would be much higher, than it shows you that even though people have the option to build greater than 35' they chose not to build a home like that. At the end of the day the vast majority of residents want a one story or two story home. They only go up (or down) because they have to based on their lots.

- 4. As far as other cities height ordinances I have not done due diligence on this subject, but I know other examples have been provided to council and P&Z. I do know Dripping Springs is 40', but just as Westlake Hills isn't a comp neither is Dripping Springs.

At the end of the day we should all work to a resolution to keep Rollingwood the best place to live with the most valuable homes, but to do that we should measure twice and cut once. I've never build a company or done a deal in a hurry...

From: Kevin Glasheen [REDACTED]
Sent: Monday, January 9, 2023 9:22 AM
To: Jeff Ezell [REDACTED]
Subject: Re: Thoughts on Proposed Zoning Changes

Thanks for sharing your thoughts. I sincerely believe that discussion and debate leads to better outcomes.

I have heard from at least a dozen people that they want us to do something about building heights. The House on Park Hills Drive the biggest source of complaints.

I'm sure that I'd a house was built behind you that was 45' tall it would severely impair your property value.

As far as the board of adjustment as a mechanism - I doubt there are more than 3% of the houses in Rollingwood that exceed 35'. I do think that the impact of any exceedance is lot dependent - is the extra height next to the neighbor? The street? Looming over the neighbor's back yard? Jose does the slope affect the lot? That does make variances based on lot slope a BOA issue in my opinion.

If you have any data on other cities' height limits that you think are more comparable I would be glad to look at those.

Kevin Glasheen
 806-789-0734

On Jan 9, 2023, at 8:45 AM, Jeff Ezell <jeff@blueriveradvisors.com> wrote:

Quick thoughts here since I got invited to the party:

- 1. Effective leadership is not enacting a policy that results in the ultimate resolution being determined at Board of Adjustments. In this example, leadership did not help solve a subject, all it

really did was make that subject matter someone else's problem.

- 2. 35' is not almost taller than any other city, it is almost taller than any other of the cities you have a chosen for your data set, which may not even be accurate comparables for Rollingwood. Proximity isn't a an effective barometer
- 3. So far as I can tell based on my conversations, there is little to no support for lowering the heights outside of the justification that the voters want to reign in development. Although reigning in development is an actual concern of our residents that is a view to be examined and not a carte blanche directive to change policy solely amongst council. I am supportive of reviewing our code because it has problems, but I am not supportive of a knee jerk reactions that have major impacts to our properties. To Jim's point outside of obvious holes in the code such as projections in setbacks we should not do anything without a comprehensive look.

I do not envy you, Phil and Kevin, because this is not an easy time to serve on council, but it's incumbent upon you to lead with a servants heart and not bring in your own biases.

Jeff Ezell
 Cell: (404) 909 - 2810
www.blueriveradvisors.com

From: Kevin Glasheen [REDACTED]
Sent: Sunday, January 8, 2023 12:00 PM
To: Jim F [REDACTED]
Cc: Christie Finnigan [REDACTED]; Jeff Ezell
 [REDACTED] Phillip McDuffee
Subject: Re: Thoughts on Proposed Zoning Changes

Thanks for the kind words. I agree with almost everything that have to say about the development rules.

I think fixing the setback problem is a quick and easy win.

We definitely need to revisit the tree ordinance. The one we have does not actually prevent any trees from being cut down.

I agree that impervious cover limits can be complicated - but they can be a good tool to limit overdevelopment. I was in a hurry - but I now believe we should take time with a task force to consider IC limits **and other tools** to address the overdevelopment. We want to avoid unintended consequences.

Regarding height - I think we should address the height now, and then revisit it during the more comprehensive review. 35' is taller than almost any city. I think we could address particular slope issues in the Board of Adjustment. Westlake hills has 30' and up to 32' on a slope.

Height should be measured from the grade immediately below the roof - so you don't lose height as the grade falls. You may need to have different levels to follow the grade. We build our house 8 years ago on a steep grade - it follows the grade and is cantilevered some. Here is a link to an article with pictures that shows our house.

<https://www.dwell.com/article/rollingwood-residence-lake-flato-architects-9862cc1b>

If you have a house plan or even a concept I'd like to meet and look at your lot with you to see how the proposed changes could affect you.

Thanks for your email. Do you have any interest in serving on a residential code review task force?

Kevin Glasheen
806-789-0734

On Jan 8, 2023, at 9:09 AM, Jim F
[REDACTED] wrote:

Hi Kevin,

I've been watching the RWGC chat from afar. Thanks for being so active and hitting the ground running. We wanted to weigh in on the proposed zoning changes.

At a high level we think the codes can be improved. The developer at the house next to us at 4707 timberline (we are at 4705 timberline) has ruined the lot and "woody" vibe for all neighbors around us. We're all pissed. Even though we have a tree ordinance, he basically clear cut the lot - mostly cutting down large trees in the setbacks, even a large oak. It's horrible.

1. I think we might need to take a step back and think about the specific problems we are trying to solve. Sadly I don't think any of the proposed rules (Height, Setback, Impervious Cover) would have helped what happened at 4707 Timberline. The developer cut down the trees because it would be easier/cheaper for him than having to worry about roots, keeping the trees

alive, etc. These trees were already in a setback but were clear-cut anyways. I'm adding Jeff E to this email since he's on the other side of 4707 timberline at 4709 and deeply cares about this as well.

2. From a personal perspective, we are very concerned about changes to the height rules. For a flat lot a flat 35 foot rule make a lot of sense, but other lots on a steep grade there needs to be more leeway. I assume the current rules were put in place when people thought about steep lots.

For example, the lot where we are planning our forever home (2804 hubbard) is extremely steep and 100% on a hill. There is a 35" grade difference between the top and bottom of the lot (see screenshot below). Without the extra 10" our options may be severely impacted - especially since the lot has a ton of huge oaks that we don't want to cut down. If we end up being limited by the height rules given the slope, we may be forced to go wide and cut down trees (which we absolutely don't want to do....).

We have not had time to dig into how the proposed height rules would impact us, but overall strongly urge you to slow things down so residents like us have time to understand the nuances for their specific lots, provide feedback, etc. The idea of starting a task force for this would be really helpful.

Given the extreme variation in Rollingwood lots, any new rule can have serious impacts on some lots and no impact on others

3. It seems to me like a lot of the problems are created by developers trying to maximize their \$ and not homeowners building their own homes. Since homeowners who build are going to live there, they seem to take more care of the lots, greenspace, their neighbors, etc. Developers don't care since they are gone after the sale. I'm sure it would be difficult, but maybe there is a way to add more restrictions to developers vs. homeowners building homes they plan to live in for 20+ years.

For example, at 4707 timberline I'm sure any homeowner building would have done all they could to keep the huge oak on the lot line that was cut down.

4. The existing overhang in the setback rule seems crazy. I think a quick win would be to close that. Maybe there is a middle ground where you can show quick

progress on smaller items that few folks will be concerned about and push other issues for the future.

Jim
708-207-1655
4705 Timberline



I am writing to give you an update from our December City Council Meeting, and to let you know what issues are coming up for City Council January.

I also intend to post this update on our new Rollingwood City Council Message Board that has just gone live. Before this new message board, council members were not allowed to talk to more than one other council member about any city business without violating the Open Meetings Act. With the message board, council members can bring up an issue in a post, and any council member can respond and discuss the issue on the message board, which is a “public forum”. The message board does not allow the public to comment, but hopefully you’ll see some discussion of the issues among council members between the regular council meetings. Here is a link to the message board:

<https://councilforum.rollingwoodtx.gov/forums/rollingwood-city-council-message-board.2/>

I very much want your input on all these issues, and you can email me or other council members to weigh in on the issues.

Current Council Issues

The two issues that I am most concerned with now are:

1. Amending our residential code to better preserve green space and trees as lots are redeveloped; and,
2. Improving the maintenance and care of the grass on our ball fields at our park.

I have proposed that we amend the residential code to limit the percentage of impervious cover on lots as they are redeveloped. *I’ve received a lot of feedback supporting impervious cover limits.* I intend to propose specific ordinance language soon.

I have learned that other council members have already been working on some ways to protect us from overbuilding. There is a council proposal to amend our ordinance limiting the height of new buildings, and another proposal to amend our building setback ordinance. The proposed changes would be part of the zoning code, and under State law, any amendment to the zoning ordinance must be first considered by the planning and zoning commission at a public hearing, and then planning and zoning must issue a report before city council can vote on those changes.

Building Height Limits



The Planning and Zoning Commission has already had a hearing on building heights on December 7th and has another scheduled for January 4th at 6 pm. Our current building height limit is 35’, which I think is reasonable. I would support lowering the height to 30’ like Westlake Hills. The biggest problem with our code is that the definition of “building height” includes a formula that allows new house to be built up to 45’ were there is some slope in the lot. Many voters have expressed concern about houses that are too tall, and I think this loophole is part of the problem. I would like to see that definition of “building height” changed to make it clear that the 35’ limit is to be measured from the adjacent natural grade.

Section 22.03.279 Westlake Hills Ordinance provides: “No part of any principal structure shall rise more than the maximum height shown on the schedule of regulations... above natural ground grade or

original grade directly below.” The maximum is 30’ for residential construction. The Westlake Hills ordinance further provides: “If the average natural slope in the area directly below the foundation of the principal structure is 25% or greater, than no part of any principal structure shall rise more than 32’ above natural ground grade directly below.”

Building Setback Requirements

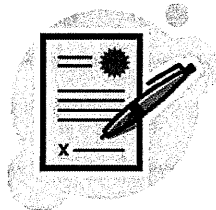


The building setback ordinance is supposed to keep houses setback either 10’ or 15’ from the side yards, 20’ from the back lot line and 30’ from the street. Developers have been pushing those limits with roof overhangs, balconies, swimming pools and air conditioning equipment all being placed in the setbacks. The way the current rules are being interpreted, two houses next to one another could have balconies or

even roof overhangs that touch each other above the property line. The proposal to amend the setback ordinance is set to be heard at the planning and zoning hearing set for January 4th.

We have not set a date for planning and zoning to consider an impervious cover ordinance, but I plan to have an agenda item on our January city council meeting to set a date for a planning and zoning hearing on such an ordinance.

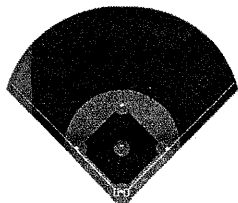
A Possible Temporary Hold on New Permit Applications



I am concerned about the delay in addressing the problem of developers overbuilding. On the one hand, it’s good to get input from the community and from the Planning and Zoning Commission on these changes. On the other hand, very few people showed up at the Planning and Zoning hearing on building height. The law does not give the planning and zoning commission any deadline to make a report which is a mandatory pre-requisite to any Council action amending the ordinance.

I am going to ask for an agenda item at our next council meeting to consider placing a temporary hold on new building permit applications while council fixes these issues with building heights, setbacks, and impervious cover limits. There are pros and cons to such a temporary delay, but I believe it needs to be discussed and considered. It would be a shame if these code amendments were delayed for months while developers submit a flood of permit applications. On the other hand, if a homeowner has plans that are almost complete and ready to submit then it may create hardship to delay the permit process or to change the rules abruptly. I’d especially like to hear from you, the voters, and from the other council members about this issue.

Artificial Turf and Improvements to the Field #1



At the December Council meeting, we considered and denied the request by Western Hills Little League to place artificial turf in the infield of Field #1. I received a lot of feedback from residents opposing artificial turf.

Phil McDuffee and I have been working with Chad Smith and the leadership of Western Hills Little League (WHLL), along with Rollingwood City Staff to see what we can do to improve the fields. The first and most obvious improvement is to have a regular turf maintenance program, with regular applications of preemergent weed control, fertilizer and irrigation

water. Our City Administration and Maintenance departments are all new within the last year. I cannot speak to previous years or previous City Staff, but I am excited about the progress we are making, working with the Mayor, and our City Administrator Ashley Wayman to implement a reasonable and regular turf maintenance program. We should see real results in the quality of the natural grass fields by the end of the Summer.

We are also working with Chad Smith and WHLL to improve Field #1 immediately. WHLL has pivoted from artificial turf to considering new sod in the infield, which I support. This item will be on the next council agenda in January for Council approval, and I am very much inclined to support the request.

Longer term, Phill McDuffee and I are working with WHLL to develop a plan to improve all the ball fields, beyond improved maintenance. We are studying a soil amendment program that we may be able to implement this Fall after baseball season. More on that later in the year as plans develop.

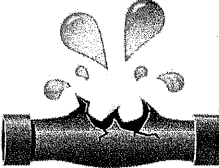
A Possible Irrigation Well in the Park



I had proposed that we consider placing an irrigation well in the park to save on the cost of watering the fields. I have investigated the issue and believe a water well could be feasible. However, we don't have enough data about how often the previous administration watered the fields and how much water was being used. I

asked Council to table the water well issue until the end of this Summer, so we can look back on Spring and Summer water usage and cost and evaluate the economic benefit of drilling a water well. You'll be hearing more from me about that next Fall.

Bond Issues - Water Line Project and New City Hall



The voters have approved bonds for new water lines and for a new City Hall and Public Safety building. Our engineering firm K Friese is expected to present a proposal at our January Council Meeting for engineering services to design the water system upgrade, along with a proposed phasing of the project and a proposed schedule. The engineers told us it would take about six months to design the work, and maybe another six months to do the work for each phase. They are probably going to recommend two phases. More details later after they present in January.



Regarding our new City Hall and public safety building, Mayor Massengill suggested we form a citizen committee to work with architects to develop a proposal for design services and some preliminary design suggestions. Council approved the recommendation.

Serving on City Committees and Commissions



Council approved some year-end reappointments and some new appointments to various committees and commissions. I want to clarify the purpose of service on Committees and Commissions, and the process for being appointed.

Most City Commissions, like the Park Commission are simply "advisory" commissions who exist for the purpose of advising City Council. Others such as Planning and Zoning has some specific responsibility laid out by law but can be overruled by a supermajority of the Council. The

Board of Adjustment acts independently of Council to grant variances, and their decisions can only be reviewed by a District Court.

The process to be appointed to a Board or Commission is to make an application with the City Administration. When there is an opening, Council, and in some cases the Mayor can nominate a person. Appointment to a Board or Commission by Council is *entirely within Council's discretion*. *Nobody is entitled* to be appointed. If you would like to serve, you are encouraged to apply. We have a lot of talented people in our community. Anybody who wants to make a positive contribution is encouraged to apply. If you would like Council to approve your appointment, I suggest that you speak directly to a council person and ask them to support your appointment.



A citizen does not need to agree with my agenda to get my support. Opposing views are helpful and encouraged so long as the input is civil, substantive, and constructive. Anybody is welcome to call me or meet with me and talk to me about any appointment. Anyone.

From: Taylor Smith [REDACTED]
Sent: Wednesday, February 1, 2023 9:02 AM
To: Desiree Adair <dadair@rollingwoodtx.gov>; Ashley Wayman <awayman@rollingwoodtx.gov>
Cc: Gavin Massingill <gmassingill@rollingwoodtx.gov>; Brook Brown <bbrown@rollingwoodtx.gov>; Kevin Glasheen <kglasheen@rollingwoodtx.gov>; Sara Hutson <shutson@rollingwoodtx.gov>; Phil McDuffee <pmcduffee@rollingwoodtx.gov>; Alec Robinson <arobinson@rollingwoodtx.gov>; Elizabeth Patton [REDACTED]
Subject: Proposed Code Amendments Related to Residential Properties

Good Morning Commissioners,

In advance of today’s Planning and Zoning Commission meeting, please see the attached letter from the Austin Board of REALTORS® (ABoR) regarding Items 3, 4, 5, and 8 related to proposed code amendments related to residential properties. We understand the Planning and Zoning Commission’s desire to address concerns from some community members and develop new regulations to help ensure that residential buildings are visually consistent with the scale and mass of neighborhoods in Rollingwood. However, ABoR is concerned about recent proposals to significantly reduce property owner’s current rights and entitlements in the City of Rollingwood. The proposed amendments to the city’s code include reductions to residential building height by five feet, from 35 feet to 30 feet and reductions to a roof height from any point in the original ground survey to 40 feet.

On behalf of more than 15,000 Central Texas REALTORS®, **we ask the Planning and Zoning Commission to not support additional regulations on residential properties that reduce property owner’s existing rights and entitlements in the City of Rollingwood.** We have concerns about reducing property owner’s exiting entitlements and how these new regulations would force hundreds of homes out of compliance. ABoR has long supported healthy, sustainable, and responsible development that plans appropriately for growth while protecting private property rights and homeowners entitlements. With the demand of housing increasingly outpacing supply, we must meet the challenge of housing our rapidly growing population by embracing creative ways to increase the abundance and variety of options without significantly reducing current entitlements or adding unnecessary regulations.

We also ask that if the Planning and Zoning Commission creates a Comprehensive Residential Zoning Task Force, that they consider inviting a diverse set of stakeholders, including members of the development and housing community, to ensure balanced solutions to residential housing in Rollingwood. ABoR supports regulatory changes that remove unnecessary regulations that increase the cost of housing and provide property owners with greater flexibility as it relates to their property. ABoR is a strong supporter of private property rights which includes the freedom of a property owner to fully utilize their property as protected by the 5th amendment.

Thank you for your dedicated service to the City of Rollingwood and for carefully considering this request. We appreciate your leadership, and we look forward to

working with you in the future to address the cost of housing by identifying and removing additional barriers to housing.

We respectfully ask the City Administrator or the City Secretary to share the attached letter with the members of the Planning and Zoning Commission.

Regards, [Redacted]

Taylor G. Smith | Deputy Director of Government Affairs

Austin Board of REALTORS® | ABoR.com

o: (512) 533-4927 | c: (214) 801-0518

Pronouns | He | Him | His



From: Terri McCabe [REDACTED]
Sent: Wednesday, February 1, 2023 1:11 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>; Phillip McDuffee <philmcduffee@gmail.com>; Kevin Glasheen <kglasheen@rollingwoodtx.gov>
Subject: Planning & Zoning

PLEASE reinstate heights limits anywhere on lot of no more than 35'
PLEASE reinstate setbacks from any side of 15+'

PLEASE explain why others are breaking the rules and building above 35' and placing foundation/roofs in setbacks

PLEASE save Rollingwood

From: Mary Elizabeth Cofe [REDACTED]
Sent: Wednesday, February 1, 2023 1:17 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Planning & Zoning

Please consider stopping the building into the setbacks for any construction in Rollingwood. Even balconies and roof overhangs should not be allowed in the setbacks. This is not the way our neighborhood was meant to be developed and it takes away the privacy of the neighbors. We also need to reconsider height limitations so that we do not have some homes towering over the neighborhood at 40 and 50 feet. Again, this invades the neighbors privacy, not just next door but even in the homes behind this building. Our lots in Rollingwood are larger than many in Austin and if someone finds it difficult to build a large enough home on a lot here, maybe they need to move onto a larger lot. What comes to mind is that people move to Rollingwood because they like our little town but then all this type of construction is changing it into a different animal altogether! Help Save Rollingwood! Thank you for your consideration.

From: Andy Richardson [REDACTED]
Sent: Wednesday, February 1, 2023 2:20 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Planning and Zoning commission meeting

My name is Andrew Richardson and I'm the owner of 208 Ashworth. I'd like to voice my very STRONGLY held opinion that the commission not rush to change the building code. A hastily made decision to change the code without a thorough review is a TERRIBLE idea.

As someone who has recently gone through the permit review process, I can emphatically state that more rule changes based on a few loud emotional community members would make development in Rollingwood much slower and the community would be worse off.

For instance, the building height restriction is a much more nuanced issue and requires a nuanced solution. I think there are probably many cases where a higher height should be allowed because someone's property is on a hill. If we hastily lower the height limit then new development on sloped lots could be very very difficult.

As a long term member of this community I want to see further development. I want new residents and builders to feel like development in Rollingwood is easy and straightforward.

Thank you for your consideration,

Andrew Richardson
208 Ashworth Dr
(713) 553-9449

From: Bobby McQuiston [REDACTED]
Sent: Wednesday, February 1, 2023 2:20 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Cc: Bobby McQuiston [REDACTED]; Kevin Glasheen <kglasheen@rollingwoodtx.gov>
Subject: Planning & Zoning - Building Heights and Setback Rules

To members of the Planning and Zoning Commission,

We have seen many changes to Rollingwood since we built and moved into our home in May, 1976. Some changes have been wonderful, some not. With the breath-taking size of homes being built in our City and the resulting cutting of trees on the lots due to the new size homes, we no longer recognize the Rollingwood we have lived in for the past 47 years. We urge you to fix the problems with the building height and setback rules as they are currently established. It is imperative that limits be set on heights and intrusions into the setbacks.

We have read that some members of P&Z are wanting to wait to act on these issues until a comprehensive review of the residential codes can be completed. If so, delaying changes to these two codes until a comprehensive residential code review is completed - up to a year from now - will only exacerbate the problems for existing home owners that these two issues are causing during that lengthy delay, for without doubt, certainly builders and their clients, realizing these issues are to be reviewed for the purpose of revision, will be appreciative of the delay and greatly accelerate the filing of applications for building permits in order to fall under our existing, problematic rules.

Again, we ask for your immediate and urgent attention to fix these two issues now and revisit them if necessary in the course of the City's review of the comprehensive residential codes.

We also support Council Members Kevin Glasheen and Phil McDuffee's proposal to establish a Residential Code Review Task Force and its proposed balanced members.

Thank you for your service to the citizens of Rollingwood.

Respectfully,

Bobby and Margaret McQuiston
2804 Rock Way

From: Susan Fernandes [REDACTED]
Sent: Wednesday, February 1, 2023 2:20 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Input for Planning & Zoning Commission

I want to encourage the Building and Zoning Commission to review and revise the Rollingwood building height and setback limits as soon as possible. Concerns include the need to preserve impervious cover and to protect the privacy of adjacent properties. Acting now will prevent more of these problems—we already have too many!

Thank you for your service and for listening!
Susan Fernandes

From: Moise Levy [REDACTED]
Sent: Wednesday, February 1, 2023 2:21 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Planning & Zoning

We agree with taking some action now regarding setbacks, etc based upon what we see in our immediate neighborhood and what we saw in our fmr neighborhood in Houston (West U).

Thanks

Moise and Joan Levy

Sent from my iPhone

From: Philip Ellis [REDACTED]
Sent: Wednesday, February 1, 2023 2:26 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Cc: Terri McCabe [REDACTED]
Subject: Planning rules

Hi There

I want to give you some input on the planning rules, and the height and setback requirements.

First of all, here's the summary. If you have time I have given some more specific stuff below.

- a) Are we sure we are implementing the current rules properly? Are we checking up and requiring non-compliant builds to be demolished or redone until they comply? Are there consequences for breaking the rules?
- b) Is there some way that the residents can all see that a house has been measured and is in compliance? We are not interested in what the plans say - we want to see what has been actually built. I am sure some houses are well out of line. What can we do if something is out of line?
- c) Can the rules be tightened up a bit so that people can't try and be clever and build a weird overhang or balcony or something to get round a rule. You should be able to chuck something out for not being within the spirit of the rules, as well as the letter.
- d) Let's keep Rollingwood green and leafy. I don't mind if a few trees have to go, but not close to the property line. And make them replace the ones they fell with equivalent ones..

Ok, here's some detail.

First of all I agree that some new constructions loom over their neighbors, furthermore they look silly and out of place. For some houses, I find it hard to believe that they are in compliance with the 35' requirement from wherever it is measured. Are you sure the rules are being implemented accurately? I have heard rumors that plans have been required to be altered, and the builder has just ignored the alteration and gone ahead with the original plan. The new ones on Riley certainly look that way.

Second, some constructions are just awful. Can't we toss something out because it is just hideous? That one on Rollingwood Drive with the weird overhang about 4 feet off the ground, is either bending the rules, probably to get round some impervious cover rule, or it is just 'ugly on purpose'. Is it impossible to have some aesthetic requirement? Can we require that folk obey the spirit of the rules, as well as the letter?

Third, some extensions suffer from both of the above. I can think of houses on Hatley and Vance that have constructed ludicrous decks way up above the house, just so they can say they have a view of downtown, They look far above 35', and hideous too!

Finally I think some builders fell trees down unnecessarily. I don't want to get like Westlake Hills, where you cannot chop down a weed, such as an Ashe juniper. But the ass with all the diggers on Timberline has chopped down a whole bunch of perfectly nice trees, apparently with impunity. I didn't think that was allowed. Again, are we enforcing the rules properly?

Thanks for reading this!

--

Kind regards

Phil Ellis

+1 512 665 3968 (cell)

From: Tony Broglio [REDACTED]
Sent: Wednesday, February 1, 2023 2:34 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Feedback for P&Z meeting

Hi Desiree,

I live at 2403 Vance Lane. I'm writing to give feedback on potential changes being considered by the P&Z commission regarding changes to the building height rules and the setback requirements. I don't think the P&Z commission or city council should make any changes on these matters or impervious cover limitations without a comprehensive survey and public input process. I understand that changes may be temporary and potentially revised after public input is gathered, but I think it is hard to put the toothpaste back in the tube after (temporary) changes are implemented, and public opinion may be swayed by changes made today vs. starting with a blank slate. Kevin Glasheen suggested in a recent email that a comprehensive public review process could take a year or more and that temporary revisions should be implemented ASAP to avoid undesired construction in the intervening period. I don't believe the public input process has to take a year, and I think development is slowing down materially such that we should do it "right" rather than rush to a temporary solution that may unnecessarily impact someone's project.

Best
Tony
773-865-7130

From: Deborah Arnow [REDACTED]
Sent: Wednesday, February 1, 2023 2:46 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Planning & Zoning

Desiree,

I just wanted to write to voice my desire to amend the building height and building setback ordinances. I am good with 30-35 feet total height, but would like to close height loophole and make it clear that the 35 foot limit is to be measured from the adjacent natural grade so to avoid homes that are above 35'. Adopting the Westlake Hills language is a good idea and I would support.

Also, regarding building setback requirements, ALL building structures including roof overhangs, balconies, swimming pools, and ac equipment should ALL fall within the existing setback requirements. If this is not being adhered to then plans should not be approved.

I would support an impervious coverage ordinance as well that is dependent upon lot size.

Best,
Deborah Arnow
512.633.7669

From: Matthew Horne [REDACTED]
Sent: Wednesday, February 1, 2023 2:48 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Building codes

I would like to state for the record that I am against making any changes to the building code at this time until a comprehensive study is completed.

Matt Horne
Resident since 2008.

Sent from my iPhone

From: Owen Brainard [redacted]
Sent: Wednesday, February 1, 2023 3:02 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Building code changes comments

I have called Rollingwood home since 2009 and I am writing to express an opinion against any changes to building codes at this time. This seems to be a rushed personal agenda of a minority view and I am against this type of building code change and style of governance.

Owen Brainard

From: Jacaré [REDACTED]
Sent: Wednesday, February 1, 2023 3:08 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Cc: Kevin Glasheen <kglasheen@rollingwoodtx.gov>; philmcduffee@gmail.com; Sara Hutson <shutson@rollingwoodtx.gov>; John Hinton [REDACTED]
Subject: Planning & Zoning

P and Z,

I have lived in my house for over half of my life. For 35 years, my backyard was a peaceful, private, green sanctuary.

Over the past two years the Roman Coliseum has been built looming over my back fence. On top of the towering structure is a balcony which looks directly into my house. The pool is close enough to what was once my 8ft privacy fence that water will splash on it. In the process of building, they have destroyed portions of my fence and, despite my requests, have done nothing to fix it.

The Brawleys, my neighbors up the street now have a giant wall of what looks like a French convent looming over their house.

The current codes are unfair to those of us who have lived here and helped to make this city what it is....or was.

Please be considerate of all Rollingwood citizens. Protect the peace and privacy of their properties. We're not all rich but we do have rights and deserve respect.

Robert Patterson
3205 Pickwick Ln

From: patsy rider [redacted]
Sent: Wednesday, February 1, 2023 3:28 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Planning & Zoning

I am in favor of the Planning and Zoning Commission recommending changes in building heights and setbacks immediately, before the residential building code is reviewed for revisions.

Many houses have been built to the setback lines in recent years. They are massive, very tall and tower over existing smaller even 2 story homes. These are forever not so attractive changes to our city. Please do what is needed to address this as soon as possible.

I have a previous commitment and cannot attend the planning and Zoning Commission meeting tomorrow.

Patsy Rider
2906 Hatley Dr.

From: Ashley Withers [REDACTED]
Sent: Wednesday, February 1, 2023 3:52 PM
To: Kevin Glasheen <kglasheen@rollingwoodtx.gov>; Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Opposition: Changing Building Codes in RW

Dear Rollingwood Planning and Zoning Committee,

I would like to express my opposition to any building code changes at this time. Community feedback is needed before changes are rushed through. This decision affects every resident in Rollingwood and potentially our property values.

Thank you for your time.

Ashley Withers
305 Almarion Drive

From: Jim Withers <[REDACTED]>
Sent: Wednesday, February 1, 2023 4:00 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>; Kevin Glasheen <kglasheen@rollingwoodtx.gov>
Subject: Fwd: Kevin Glasheen's Rollingwood City Council Update

Dear P&Z Commission and Kevin,

Kevin - thank you for your communication efforts, requesting feedback, and your willingness to serve. As a successful attorney protecting the rights of your clients, you are well qualified to protect the rights of the citizens of Rollingwood, your clients. That is comforting.

With that said, I urge you and the P&Z Commission to protect the property rights and property values of your citizens (clients) by not changing any building codes at this time. Your rushed, proposed changes could decrease property values and new rules might not be a good fit for the entire neighborhood.

You mentioned that you have not received much feedback. Proposed changes such as this, should be communicated to every citizen. Have we posted a large sign notice of proposed changes on Rollingwood drive and other well traveled roadways? Have we sent a mailer to every address in Rollingwood? Many citizens receive too high volume of emails and may not have noticed your emails, might not be on your distribution list, or email might go into spam. Grass roots request for feedback needs to happen.

Thank you so much. Please slow your roll and get more feedback and study on proposed changes.

Jim Withers
Cell: 512-417-2917

From: Chris Wilbratte <[REDACTED]>
Sent: Wednesday, February 1, 2023 4:12 PM
To: Ashley Wayman <awayman@rollingwoodtx.gov>
Subject: Re: Tonight's P&Z Meeting Postponed to Thursday, February 2

I would like for ya'll to hold off on revising the building codes

Because most rollingwood residents are busy with their careers and raising families, you may be getting feedback that is skewed towards the views of a vocal minority of homeowners.

Chris Wilbratte
4201 Bee Cave Road Suite C-101
Austin, TX 78746
512-381-4500
(f) 888-476-9118

From: Hunter Jones [REDACTED]
Sent: Wednesday, February 1, 2023 5:11 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Cc: Teresa Jones [REDACTED]
Subject: Planning & Zoning / City Council Discussion

Desiree-

I would kindly ask that my wife and I's stance on the restructuring of our/Rollingwood's zoning code be considered by the city and the city council.

We firmly believe that any material changes to our / Rollingwood's residential zoning code should be made after factoring in extensive community input and extensive discussion, including analysis of both intended and unintended consequences, around any proposed modifications.

I am in favor of a task force versus Rollingwood's City Council having the unilateral right to make changes.

Thank you for the consideration,

John Hunter Jones and Teresa Jones
209 Ashworth Dr.

From: ann russell [REDACTED]
Sent: Wednesday, February 1, 2023 6:01 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Planning & Zoning

I am in agreement with council members Glasheen, Brown and Hutson about amending the building height and setback rules. I understand neighborhood changes are inevitable, but some homes resemble in size unusually large structures, changing the "vibe" of Rollingwood.

Thank you,
Ann Russell

From: Kathy Borth [REDACTED]
Sent: Wednesday, February 1, 2023 7:44:44 PM
To: Kevin Glasheen <kglasheen@rollingwoodtx.gov>
Subject: Height and set back

I am sorry I cannot attend this meeting but fully support not changing the maximum height of buildings and for maintaining setbacks.
The character of ROLLingwood has suffered greatly in the recent deluge of building. I do not support any increase in height in particular.
I also feel strongly that we need a tree ordinance and protection and that homeowners should be required to plant the equivalent number of trees taken out. In addition: encourage native plants in the landscape and less lawn and grass which require huge amounts of water to maintain.
Good luck at the meeting.

Kathy Borth
512-569-0375

From: Virginia Bettis [REDACTED]
Sent: Wednesday, February 1, 2023 8:27 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Planning & Zoning

Hello,

This is my input to the Planning and Zoning Commission to consider changes to both the height and setback ordinances now.

Some houses seem too big for the lot, or they loom over the neighbors in a way that invades the peace and privacy of the adjacent property. Some houses have been built to the setback lines, to the maximum height; or have overhangs or balconies that intrude into the setbacks.

I am for changing height limits, or limiting intrusions into the setbacks such as roof overhangs and balconies, so that they do not invade the peace and privacy of an adjacent property.

I am for a fix for those two issues NOW rather than wait for comprehensive residential code review a year from now-- this could be revisited later during the comprehensive residential code review if necessary.

Thank you,

-Virginia Bettis

4712 Timberline Dr

Dear Mayor, Council, and P&Z Members,

I support the timely need to address current building height and setback rules, although I appreciate how challenging a quick fix is in Rollingwood. At the very least, putting a cap on building heights and how we measure it is imperative. Some people argue their property values are affected by not being able to build as high as currently allowed, myself and others worry what happens to our own property values if people continue to build increasingly tall and massive homes around us while exploiting the current rules. Set the height limit to match Westlake Hills and City of Austin at 30', and adopt the suggested revisions on how to calculate the height.

Encroaching into the setback should be limited to 2'-3' for roofs and not at all for bay windows or other habitable projections. This is how most of us interpreted the rule as limiting anything over the setback except an eave. Why else would you have a setback?

There are many homes in Rollingwood, old and new, built in harmony with the slope of the land - and not an egregious attempt to capture views - which may exceed the current 35' height limit while still maintaining an appropriate sense of scale. There should be a clause that takes into account the variable character of Rollingwood's steeply sloping lots, or even corner lots that do not directly impact neighbors, which the Board of Adjustment can argue as needed. This is also the sort of argument that cannot be easily written into a code.

Thank you kindly,
Alex Robinette
2500 Hatley Dr.

Please share with P&Z Members as I do not have their emails.

From: Bryan Hamren [REDACTED]
Sent: Friday, February 3, 2023 3:56 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>
Subject: Height restriction feedback

Hi Desiree,

I don't think it's fair to current residents or homeowners currently in the process of designing a house to rush through any height change restrictions. Many architects have up to a 5 month waitlist to even begin the design process, and the variety of required permits all have their delays as well. To rush a change through with such drastic impacts on many of the lots in this city is thus completely unfair.

Aside from that, I don't think a change in the height is fair to anyone not grandfathered in as well.

I don't think the height needs to be changed at all, and it certainly shouldn't be a rushed decision.

Thanks,
Bryan

Desiree Adair

From: Sheila Peters [REDACTED]
Sent: Tuesday, February 7, 2023 5:02 PM
To: Desiree Adair; Ashley Wayman
Subject: Complaint for P&Z public hearing

Follow Up Flag: Follow up
Flag Status: Completed

To: P&Z Commission and Mayor& City Council

These are my comments complaining about the current heights and setbacks allowed on current building in Rollingwood. I am writing to let you know that the current codes are inadequate in preventing new structures from becoming overbearing and obtrusive to their immediate neighbors. The structure across the street from us at 3225 Park Hills looms up and over from every side. Come stand on the curb at my house and take it in. Four stories rises up and is overbearing on this lot size. I can sit on my back deck of my two story house and look over my house to see the fourth story loom overhead. This city has allowed a HEB to be built on a postage stamp size lot. I have sent emails out to Council about my frustration with the crews working on weekends... to which the only council member who replied and had any action was Brooke Brown, who I am grateful to. My point being, these massive structures on smaller lots bring so much disruption and chaos to every day living here. And now we're left with huge walls looming over us, homes with absolutely no yards. I have a new build next door to me that elevated their pool so it sits 2 feet higher than my privacy fence. I could go on and on. Please, review these rules and think about how you would feel to have this structure looming over your house! Thank you, Sheila Peters 3222 Park Hills

Sent from my iPhone

Desiree Adair

From: Owen Brainard [REDACTED]
Sent: Wednesday, February 8, 2023 9:10 AM
To: Desiree Adair
Subject: Building codes in RW

To whom it may concern,

I've been a resident of Rollingwood since 2008. I support no change in the residential building codes. What makes Rollingwood so attractive is the contrast to the overly Big Brother hand of Austin regulations. We have large, beautiful lots that very interesting family homes can be built on now under the current guidelines.

Thank you,

Owen Brainard

Desiree Adair

From: Shaesby Scott [REDACTED]
Sent: Wednesday, February 8, 2023 10:05 AM
To: Desiree Adair
Subject: Rollingwood residential zoning changes

City Council,

As a Rollingwood Resident for over 10 years, I would like to voice my opposition to any zoning changes being considered including height, setbacks, impervious coverage etc. We have enjoyed the benefits of limited building restrictions and should work hard to preserve them.

Regards,

Shaesby Scott
303 Farley Trail

Desiree Adair

From: Mary Tucker <[REDACTED]>
Sent: Monday, February 13, 2023 11:07 AM
To: Desiree Adair
Subject: Rollingwood

RE: Potential Regulations for New Builds in Rollingwood

Hi,

My husband and I have lived on Park Hills since 1985. We would like to register our support for potential regulations regarding new construction.

Priorities for us:

1. Protect trees in set back areas.

The developer of a new house under construction on Hatley cut all the trees in the back of the lot, even those not in the construction area. The future neighbors will have a direct view into our primary bedroom while we will have a direct view into their backyard and living area. The trees cut before construction would have obscured these views and offered more privacy.

Rollingwood is known for its tree canopy, something that increases home values

2. Consider some impervious cover restrictions. We live near the 9,300 sf house under construction on Park Hills. The neighbors call this behemoth "The new HEB"

The size of the house is out of proportion with the lot. Attractive homes that fit well with the natural landscape, increase the desirability of a neighborhood and the housing values.

That's my two cents for now.

Thank you for serving Rollingwood and taking on the job of looking at building regulations. It's an important service that will determine the livability of our neighborhood for decades to come.

Best,
Mary Tucker

Desiree Adair

From: Ashley Wayman
Sent: Monday, February 13, 2023 9:21 AM
To: Ashley Wayman
Cc: Desiree Adair
Subject: FW: Proposed additional lease on fields 3,4,5.

Good Morning Mayor and Council,

Please see the email below from Jack and Torye Holland.

Thanks,
Ashley

Ashley Wayman
City Administrator
City of Rollingwood
(512) 327-1838
www.rollingwoodtx.gov

-----Original Message-----

From: jack holland [REDACTED]
Sent: Sunday, February 12, 2023 1:39 PM
To: Ashley Wayman <awayman@rollingwoodtx.gov>
Subject: Proposed additional lease on fields 3,4,5.

Ashley,

We have heard that fields 3, 4 & 5 are under a proposal to be leased out by the City to another youth sports organization.

We are opposed to that idea because that would further reduce the amount of time Rollingwood residents and their dogs have use of those fields.

The fields 3, 4 & 5 are the only public place where Rollingwood residents can gather with their dogs and engage with other members of our community. We are already limited in our access to them through the Little League leasing arrangements and regular field maintenance programs so we oppose any more reductions in our usage of them in the future.

Please pass on this email to the five members of the RW city council. Thank you.

Kind regards,

Jack & Torye Holland

3307 Park Hills Drive

Desiree Adair

From: Desiree Adair
Sent: Monday, February 13, 2023 9:21 AM
To: Desiree Adair
Cc: Ashley Wayman
Subject: FW: Foundation Height

Good morning Mayor and Council,

Please see below email from Catherine Horne.

Best,
Desiree

Desiree Adair
City Secretary
City of Rollingwood
512.327.1838
www.rollingwoodtx.gov



From: Gavin Massingill <gmassingill@rollingwoodtx.gov>
Sent: Sunday, February 12, 2023 8:39 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>; Ashley Wayman <awayman@rollingwoodtx.gov>
Subject: Fwd: Foundation Height

Sent from my iPhone

Begin forwarded message:

From: catherine horne [REDACTED]
Date: February 9, 2023 at 5:47:06 PM CST
To: Gavin Massingill <gmassingill@rollingwoodtx.gov>
Subject: Foundation Height

Please forward the following to all of City Council.

I am in full support of the City Council pursuing changes to our city code regarding foundation and building height. I have lived in Rollingwood since 2006 and built a home beginning in 2005. We were very aware of the code and the 35 foot height limit. It has become very apparent over the last 5 to 7 years the City has allowed many builders to interpret our code in ways it was not meant to be.

Please take the time to tighten our building codes so abuses of code are stopped, abuses of code have financial deterrents with meaningful fines and work stops, abuses of height and overhangs along setback

lines, foundation size and height guidelines should be reviewed and revised, and we need multiple reviews of plans by multiple city staff prior to approval of a building permit to avoid homes that do not meet code from beginning construction.

I am in full support of the City Council taking steps to improve our City code.

Thank you.

Catherine Horne

Sent from my iPhone

Desiree Adair

From: Mark Queralt [REDACTED]
Sent: Monday, February 13, 2023 2:23 PM
To: Desiree Adair; Mark Queralt
Cc: Alison Queralt
Subject: Residential building discussion - set backs

Good afternoon,

While the height discussion is above my pay grade, I have more concern regarding the 30 foot setbacks in addition to the 10 foot ROW creating a total 40' setback in some cases like ours - especially troublesome on a corner lot, placing our home somewhat oddly in a corner (102 Wallis Dr).

If the spirit of the law was to provide appropriate space between street and home, then a total 30' setback (with or without the 10' ROW) would seem more reasonable.

FYI, I have no plans to remodel or sell our home, but, like everyone else, it could affect my ultimate resale.

Thanks!

Mark

Desiree Adair

From: Loren Nyer [REDACTED]
Sent: Monday, February 13, 2023 2:46 PM
To: Desiree Adair
Subject: Rollingwood

I've lived in Rollingwood for 43 years and was amazed to find out that legacy trees are not protected and 3 and 4 story homes are allowed. I welcome a commission to collect input on These issues. The minimum size lot here is 1/3 acre. I'm about to find out what privacy is left when 3 stories looms next door.

Get [Outlook for iOS](#)

Desiree Adair

From: Maria Abernathy [REDACTED]
Sent: Tuesday, February 14, 2023 10:56 AM
To: Desiree Adair
Subject: Letter for P&Z

Dear Ms. Adair,
I've already emailed the mayor and each Council member, but no email addresses appear on the website for Planning and Zoning commission. Could you email this to each member?
Thanks for your help!
Maria Abernathy

First, I want to thank you for serving Rollingwood in often contentious times and situations. Your contributions are much appreciated!
I want to add my thoughts regarding efforts to scrutinize, possibly change, and then enforce our residential building codes:

1) I do support limits on residential building heights (30? 35? 25? feet) and very clear guidelines regarding the reference datum from which to measure building height. (The discussion initiated by Dave Bench at the Council meeting 1/18/23 was enlightening.)

2) I also support adherence to setback requirements, with special attention to side setbacks. Cantilevers and very wide eaves should not be allowed in the side setbacks. Houses which encroach on side setbacks diminish neighbors' privacy, and trees are often removed because these setbacks are so narrow. These two consequences - threats to privacy and absence of trees - are detracting from the beauty and comfort of Rollingwood. I had high hopes that the tree canopy ordinance would prevent developers' wanton destruction of heritage oaks, etc., but they have found ways to continue the destruction.

3) I strongly support efforts in Council - especially the efforts of Brook Brown and Sarah Hutson and the proposal initiated by Kevin Glasheen - to examine our building ordinances, to suggest ways to clarify and strengthen them, and to investigate compliance with them. This work, I think, is critical to retaining the character of our city, to avoiding drainage disasters, and to discouraging lawsuits. Having clear and consistent ordinances, uniformly enforced, should also make the jobs of city staff easier.

4) When we finally have ordinances which are reviewed and accepted, I propose:

a) that persons who apply to build new residences in Rollingwood should be advised of our ordinances and be expected to comply with them (If they dislike the ordinances, there are other areas in which they can build); and

b) that variances should be difficult to obtain and that the guidelines for approving a variance should be carefully reviewed by our legal counsel.

Thank you for considering my input.

Maria Abernathy

Desiree Adair

From: Andrea Davidson [REDACTED]
Sent: Tuesday, February 14, 2023 1:31 PM
To: Desiree Adair; Kevin Glasheen
Cc: Justin Davidson
Subject: Residential building code reform- No Change

Hello,

We are writing to make it known that we do not support changes to the residential building codes in Rollingwood.

We do not support the city council or P&Z Commission limiting impervious cover, building heights or restricting setback incursions into setbacks.

Thank you,
Andrea & Justin Davidson
3207 Pickwick Lane

Desiree Adair

From: Alexandra Robinette [REDACTED]
Sent: Wednesday, February 15, 2023 9:47 AM
To: Gavin Massingill; Kevin Glasheen; Alec Robinson; Phil McDuffee; Brook Brown; shutson@rollingwoodtx
Cc: Ashley Wayman; Desiree Adair; Mike Rhodes
Subject: Take Two: Building Heights and Setbacks

All,

I rushed my last email out the door ahead of the P&Z meeting that was in fact rescheduled. I've had a chance to think more carefully about this complex topic, and I'd like to amend what I said previously by suggesting alternatives that might appeal to people on both sides of the issue. At this time, I feel that these issues are too complicated to fix in one council meeting, and should be evaluated by a committee before further action is taken.

If we really parse the number of homes that are causing concern, it's very few. I think if we only did one thing, the City of Rollingwood could reach out directly to the builder/s (Waters) that are causing the most concern and have a friendly conversation with them about the intent of our rules. Letting them know that what they are doing is concerning to residents, that RW welcomes creative solutions, but does not want to dictate any particular style, aesthetic, roof type, building material percentages, or have to rewrite all the rules. Rollingwood wants homes to be mindful of scale and context, and not to exploit the rules by cutting down numerous trees, egregiously overlapping setbacks, and building 3-4-stories in search of downtown views. This could also be a standard letter that is shared on the RW website, distributed to any builders that have previously done work in Rollingwood, or with anyone seeking a demolition permit.

HEIGHT

1. Keep the current building height at 35ft, but specify that no portion of any building can exceed 35ft, as measured from the lowest point of the foundation to the highest point on the roof, over a horizontal area less than 15ft, or something like that. If someone choses to terrace their foundation to follow the slope (which is encouraged), or dig some portion into the ground as a 1/2 basement/garage, they won't be in violation so long as they don't build from existing grade to a height above 35ft. There are many examples in RW of homes that may have an overall height that exceeds 35ft in 2D, but to look at it in 3D shows the height above 35ft. is stepping back and away from the facing elevation so as not to impact neighbors directly. This is not the case at 3225 Park Hills. Allowing for some horizontal setback of 15ft or greater may mitigate the height issue. RW might also say that front, rear, and corner lot elevations may have an exception since those locations have less impact to neighbors due to the deeper building setback.

2. Adopt the suggestions requiring height to be measured from undisturbed soil which can be taken from a survey if the house is removed - and no demo permits should be issued without an existing survey.

SIDE-SETBACK

I previously suggested no overhangs at all in the setback because it would be very easy to exploit the intent, however, it is nice to see some push and pull instead of flat elevations, but I still have concerns that this rule can be gamed.

1. Side setbacks shall only allow:

- fireplace massing;
- max of 2ft. deep bay window projections that cannot extend more than say 6-8ft. in length, nor exceed one story in height @ max of ~10'-12' in height.
- Projections cannot be stacked, where an 8'x10' bay could effectively be doubled, but on a separate story, and bay windows must be separated by some distance both vertically and horizontally, lest an elevation become a 2 ft. deep patchwork of bay windows on both sides, impacting neighbors;
- 2-3ft. max. uninhabitable eave overhang (no decks or balconies in setbacks!)

of an impervious cover ordinance, consider deeper side setbacks than current since Rollingwood has 100ft wide lots that were built out at time to accommodate septic systems, so there is very little hardship with our current setbacks. Since some people are building pretty massive houses on increasingly taller foundations, this is impacting too many adjacent homes because of the narrowness of the current setbacks. Impervious coverage limits will not really address this, but changing the depth of the setback to 15ft both sides of non-corner lots might.

Please distribute to members of P&Z.

Kindly,
Alex Robinette
2500 Hatley Dr.

On Feb 2, 2023, at 4:52 PM, Alexandra Robinette [REDACTED] > wrote:

Dear Mayor, Council, and P&Z Members,

I support the timely need to address current building height and setback rules, although I appreciate how challenging a quick fix is in Rollingwood. At the very least, putting a cap on building heights and how we measure it is imperative. Some people argue their property values are affected by not being able to build as high as currently allowed, myself and others worry what happens to our own property values if people continue to build increasingly tall and massive homes around us while exploiting the current rules. Set the height limit to match Westlake Hills and City of Austin at 30', and adopt the suggested revisions on how to calculate the height.

Encroaching into the setback should be limited to 2'-3' for roofs and not at all for bay windows or other habitable projections. This is how most of us interpreted the rule as limiting anything over the setback except an eave. Why else would you have a setback?

There are many homes in Rollingwood, old and new, built in harmony with the slope of the land - and not an egregious attempt to capture views - which may exceed the current 35' height limit while still maintaining an appropriate sense of scale. There should be a clause that takes into account the variable character of Rollingwood's steeply sloping lots, or even corner lots that do not directly impact neighbors, which the Board of Adjustment can argue as needed. This is also the sort of argument that cannot be easily written into a code.

Thank you kindly,
Alex Robinette
2500 Hatley Dr.

Please share with P&Z Members as I do not have their emails.



TO: Rollingwood City Council and Planning and Zoning Commission
FROM: Taylor G. Smith, Deputy Director of Government Affairs *Taylor G. Smith*
DATE: April 5, 2023
SUBJECT: Proposed Code Amendments Related to Residential Properties

The Austin Board of REALTORS® (ABoR) understands the Planning and Zoning Commission and Rollingwood City Council's desire to address concerns from some community members and develop new regulations to help ensure that residential buildings are visually consistent with the scale and mass of neighborhoods in Rollingwood.

On behalf of more than 15,000 Central Texas REALTORS®, we are encouraged by the creation of the Comprehensive Residential Code Review Committee to review future residential code changes. We continue to have concerns about code amendments that significantly reduce a property owner's existing entitlements and how new regulations would force homes out of compliance. Regulations that would significantly reduce a property owner's existing entitlements should be further discussed and considered by the entire community.

ABoR has long supported healthy, sustainable, and responsible development that plans appropriately for growth while protecting private property rights and homeowners' entitlements. ABoR supports regulatory changes that remove unnecessary regulations that increase the cost of housing and provide property owners with greater flexibility as it relates to their property. ABoR is a strong supporter of private property rights which includes the freedom of a property owner to fully utilize their property as protected by the 5th amendment.

Thank you for your leadership in taking this important step to provide additional framework that can be used to help change the trajectory of housing in Rollingwood. We are here to be a partner with you as you work to reform Rollingwood's residential zoning code.

Cc: Ashley Wayan, Rollingwood City Administrator

Desiree Adair

From: ERIC DOPKINS [REDACTED]
Sent: Sunday, April 16, 2023 7:07 PM
To: Desiree Adair
Subject: Height of Buildings and Setback Codes

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Ms. Adair,

It's been brought to my attention there will be a meeting, once again, regarding height restrictions and setbacks for new homes being built throughout our Rollingwood neighborhood.

I've already expressed through letters, phone calls and in person the great concerns we've had regarding the spec home being built directly behind us. These concerns include:

1. Large, mature trees removed that were providing a natural "green" privacy fence (along the actual fence) between our properties, resulting in zero privacy.
2. Setback feels too close to shared fence/property line.
3. Foundation purposefully raised significantly higher than what was originally there, so to sell home as if it's a "view home". (Was listed this way on website for company looking to have another investment partner)
4. First level of home windows are entirely visible above our shared fence. This is due to the increased height of foundation and how close the home is to the fence (property line).

Overall, our fence height now does not seem to be adequate, our view that once was of mature trees and greenery is now windows and white stucco walls of a home, therefore, resulting in a much less appealing experience and appreciation than what we once had.

Very disappointing to learn how many other neighbors have had this similar situation happening to them. Surely, home values are negatively impacted as a result of the few specifics I mentioned.

Please forward this email/letter to our mayor and council.

Thank you,

Tricia and Eric Dopkins
3207 Gentry Drive

Sent from my iPhone

Desiree Adair

From: Rhoda Silverberg [REDACTED]
Sent: Tuesday, April 18, 2023 5:40 AM
To: Ashley Wayman; Desiree Adair
Subject: Building Code

Follow Up Flag: Follow up
Flag Status: Completed

Dear Ashley and Desiree,
Please distribute the following to the City Council.
Thank you,
Rhoda Silverberg
3102 Gentry Drive

To the City Council:

In light of our many already existing drainage problems in the city, I hope the that City Council will take action to close the loopholes and inconsistencies in the current building and zoning code.

Thank you for all you do for the city.

Rhoda Silverberg
3102 Gentry Dr.

Resident	Summary	Speed of Action	Reduce Height Limitations	Restrict Setbacks	Enhance Tree Ordinance	Improve enforcement	Increase IC restrictions
Alex Robinette	yes to 2-3' overhangs; no to projections in set-back	move slowly	yes	yes	N/A	N/A	N/A
Amy Pattillo	Consider negative impacts of building code changes; be inclusive; go slowly	move slowly	N/A	no	N/A	N/A	N/A
Mike Rhodes	Do not want unintended consequences - go slow	move slowly	N/A	N/A	N/A	N/A	N/A
Ann Russell	Yes to do something to reign in huge buildings	move fast	yes	N/A	N/A	N/A	N/A
Kathy Borth	No building height increase. Strong on tree ordinance.	move fast	yes	N/A	yes	N/A	N/A
Virginia Bettis	Change ordinances NOW; reduce height; no setback intrusions	move fast	yes	yes	N/A	N/A	N/A
Taylor Smith	ABoR - no changes; concern about property values; wait for comprehensive plan; include developers and housing community	move slowly	N/A	N/A	N/A	N/A	N/A
Terri McCabe	Save Rollingwood; no more that 35'; all setback 15+'; why are some breaking rules;	move fast	yes	yes	N/A	yes	yes
Mary Elizabeth Cofer	Save Rollingwood; nothing in setbacks; for height limitations	move fast	yes	N/A	N/A	N/A	N/A
Andrew Richardson	Take it slow; building heights is nuanced compound by complex topography; want development to be sensible but reasonably easy.	move slowly	N/A	N/A	N/A	N/A	N/A
Bobby McQuiston	Needs urgent attention; don't wait for comprehensive plan (although for it, long term); waiting will encourage developers to seek permits quicker	move fast	N/A	N/A	N/A	N/A	N/A
Susan Fernandes	Act now; need to manage impervious cover and privacy issues	move fast	N/A	N/A	N/A	N/A	N/A
Moise and Joan Levy	Take action; don't want a West U as in Houston	move fast	N/A	N/A	N/A	N/A	N/A
Phil Ellis	Can't we do a better job making sure that builders follow the rules? Can we deny ugly houses?	N/A	N/A	N/A	yes	yes	N/A
Tony Broglio	Wait for comprehensive task force; temporary changes can be forever; doesn't need to take a year.	move slowly	N/A	N/A	N/A	N/A	N/A
Deborah Arnow	Adopt W Lake Hills language on height measurement; nothing over 35'; nothing in setbacks; supports impervious cover ordinance	N/A	yes	N/A	N/A	N/A	yes
Matt Horne	No changes until Comprehensive Plan is worked	move slowly	N/A	N/A	N/A	N/A	N/A
Owen Brainard	Against changes at this time; believes that it is vocal minority pushing change.	do nothing	N/A	N/A	N/A	N/A	N/A
Robert Patterson	Doesn't like the overwhelming building that going on; peace and privacy have been compromised. For our doing something about it.	move fast	N/A	N/A	N/A	N/A	N/A
Patsy Rider	In favor of change to limit overwhelming building. Do it now.	move fast	N/A	N/A	N/A	N/A	N/A
Ashley Withers	Do not change anything at this time. Need more public input.	move slowly	N/A	N/A	N/A	N/A	N/A
Jim Withers	Do not change anything at this time. Public has not been properly informed. Need to protect property values	move slowly	N/A	N/A	N/A	N/A	N/A
Chris Wilbratte	Do not change; hearing a vocal minority - majority is busy with life.	do nothing	N/A	N/A	N/A	N/A	N/A
John Hunter & Teresa Jones	Need more public input and analysis of consequences; don't do anything yet	move slowly	N/A	N/A	N/A	N/A	N/A
Sheila Peters	Don't allow an HEB on Park Hills	move fast	yes	yes	yes	yes	yes
Grace Ingram-Eiser	Don't restrict landscaping projects	move slowly	N/A	N/A	N/A	N/A	N/A
Jim Finnegan	Don't limit heights for sloped lots, disallow overhangs in setbacks	move slowly	no	yes	N/A	N/A	N/A
Jeff Ezell	Understand the Why before the How; Don't hurt anyone; Don't limit heights for sloped lots;	move slowly	no	no	N/A	yes	no
Andrea & Justin Davidson	We do not support changes to the residential building codes	do nothing	no	no	N/A	N/A	no
Maria Abernathy	Supports code reform; tree ordinance enhancement; toughen variance guidelines	move fast	yes	yes	yes	yes	N/A
Mark Queralt	Concerned about current setback requirements for corner lot	N/A	N/A	N/A	N/A	N/A	N/A
Loren Nyer	Concerned that buildings are taller than trees	N/A	yes	N/A	yes	N/A	N/A

Mary Tucker	Trees are being cut reducing privacy; buildings are overwhelming the lot sizes	move fast	N/A	N/A	yes	yes	yes
Jeff Marx	For a data-driven approach to code review; Promote trees in setbacks	move slowly	N/A	N/A	yes	N/A	N/A
Bryan Hamren	Don't change rules; lead time for architects is 5 mos and it's unfair to those just getting into the process.	do nothing	N/A	N/A	N/A	N/A	N/A

Speed of Action		Reduce Height Limitations		Increase IC restrictions	
Row Labels	Count of Resident	Row Labels	Count of Resident	Row Labels	Count of Resident
N/A	4	N/A	22	N/A	29
move slowly	14	yes	10	yes	4
move fast	13	no	3	no	2
do nothing	4	Grand Total	35	Grand Total	35
Grand Total	35				
Restrict Setbacks		Enhance Tree Ordinance		Improve enforcement	
Row Labels	Count of Resident	Row Labels	Count of Resident	Row Labels	Count of Resident
N/A	26	N/A	28	N/A	28
yes	6	yes	7	yes	7
no	3	Grand Total	35	Grand Total	35
Grand Total	35				

AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action on an ordinance amending the City's Code of Ordinances Section 101-2 Adoption of codes, amending the building code local amendments related to wood shingles and the definition of building height

Description:

This ordinance proposes to repeal the City’s local amendments to the adopted ICC building codes related to the definitions of building height and the prohibition of wood shingles.

The repealing of the local amendments to the ICC building codes related to the definitions of building heights is proposed for consistency in how the term is used in building code. The repealing of the prohibition of wood shingles is proposed to bring the City into compliance with Texas Local Government Code (LGC) Sec. 3000.002. Texas LGC Sec.3000.002(a) states:

Sec. 3000.002. CERTAIN REGULATIONS REGARDING BUILDING PRODUCTS, MATERIALS, OR METHODS PROHIBITED. (a) Notwithstanding any other law and except as provided by Subsection (d), a governmental entity may not adopt or enforce a rule, charter provision, ordinance, order, building code, or other regulation that:

- (1) prohibits or limits, directly or indirectly, the use or installation of a building product or material in the construction, renovation, maintenance, or other alteration of a residential or commercial building if the building product or material is approved for use by a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building; or*
- (2) establishes a standard for a building product, material, or aesthetic method in construction, renovation, maintenance, or other alteration of a residential or commercial building if the standard is more stringent than a standard for the product, material, or aesthetic method under a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building.*

City Staff has consulted with the City’s building permit and inspections contractor, ATS Engineers, Inspectors and Surveyors, who recommends that the building height definitions remain as originally stated in the International Building Code (IBC) and International Residential

Code (IRC), and that the prohibition of wood shingles be removed to be consistent with Texas LGC Ch. 3000.

The proposed amendments, if passed, will still require all structures to meet the City's zoning regulations for maximum height, including how height is measured per the zoning definitions in Sec.107-3 of the City's Code of Ordinances.

Action Requested:

To consider Ordinance 2023-04-19-13 amending the City's Code of Ordinances Section 101-2 Adoption of codes, amending the building code local amendments related to wood shingles and the definition of building height

Fiscal Impacts:

No fiscal impacts anticipated at this time.

Attachments:

- Draft Ordinance 2023-04-19-12

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CITY OF ROLLINGWOOD, TEXAS
ORDINANCE NO. 2023-04-19-13

AN ORDINANCE OF THE CITY OF ROLLINGWOOD, TEXAS, AMENDING THE CITY’S CODE OF ORDINANCES SECTIONS 101-2 ADOPTION OF CODES, AMENDING THE BUILDING CODE LOCAL AMENDMENTS RELATED TO WOOD SHINGLES AND THE DEFINITION OF BUILDING HEIGHT; PROVIDING A SAVINGS CLAUSE, REPEALING CONFLICTING LAWS AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, the City of Rollingwood (“City”) is a General Law Type A City under the statutes of the State of Texas; and

WHEREAS, the Texas Local Government Code empowers cities to enact building codes and regulations and provide for their administration, enforcement, and amendment; and

WHEREAS, the City Council desires to protect the safety and welfare of the citizens of the City through regulation of construction activities in the City; and

WHEREAS, the City has adopted previous versions of the ICC International codes; and

WHEREAS, the City’s building and construction codes are intended to be updated periodically and City Staff has undertaken a review of the existing codes and amendments and recommends repealing certain amendments provided herein; and

WHEREAS, the City Council after consideration has determined that it is in the best interest of the residents of the City to repeal the local amendments to the International Codes, as set forth herein, to regulate construction activities in the City; and

WHEREAS, the City has complied with all conditions precedent necessary to take this action, has properly noticed and conducted all public meetings pursuant to the Texas Local Government Code and Texas Government Code, as applicable.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD, TEXAS, THAT:

SECTION 1. All the above premises are hereby found to be true and correct legislative and factual findings of the City Council and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. The City’s Code of Ordinances Chapter 101, Section 101-2 Adoption of codes shall be amended to read as follows, with underlines being additions and strikethroughs being deletions:

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Sec.101-2 – Adoption of codes.

(a) The codes adopted in this section, together with the remaining provisions of this chapter and the fire code and regulations of chapter 10, shall constitute the city construction regulations. The city construction regulations will apply to all construction within the city, except as otherwise specifically provided in this Code.

(b) The city adopts the following codes as though fully set forth in this chapter, copies of which are on file in the office of the city secretary:

(1) International Administrative Code, 2006 Edition, published by the International Code Council.

(2) International Building Code, 2015 Edition, published by the International Code Council, subject to the amendments set forth in subsection (d) of this section.

(3) International Residential Code, 2015 Edition, published by the International Code Council, with amendments and section AG105 of appendix G.

(4) International Energy Conservation Code, 2015 Edition, published by the International Code Council.

(5) International Mechanical Code, 2015 Edition, published by the International Code Council.

(6) International Plumbing Code, 2015 Edition, published by the International Code Council.

(7) National Electrical Code, 2014 Edition, published by the National Fire Protection Association, subject to the amendments set forth in subsection (d) of this section.

(8) Uniform Code for the Abatement of Dangerous Buildings, 2015 Edition, published by the International Conference of Building Officials.

(c) ~~The International Building Code adopted herein is amended as follows:~~

~~(1) By adding a new section 1505.6.1, which follows immediately after section 3202(e), to read as follows:~~

~~Section 1505.6.1. Wood shingles. Notwithstanding any other provision in this code, it is specifically provided that wood shakes, wood shingles, or any wooden roof covering is hereby prohibited to be used as a roof covering within the city.~~

~~(2) By amending the definition of "height of building" to read as follows:~~

~~*Building height, nonresidential.* The vertical distance from the lowest finished floor elevation (including a garage floor) to the highest part of the following: the coping of a flat roof, the deck line of a mansard roof, or the gable of a pitched or hipped roof. Where, due to topographical or other~~

80 conditions, the lowest finished floor elevation of a building differs from one
 81 part to another, the maximum permissible height shall be computed
 82 separately for each portion of such building containing a differing lowest
 83 finished floor elevation. If the lowest finished floor elevation is more than
 84 four feet directly above the point where the foundation intersects the natural
 85 grade, then the vertical distance must be measured from a point that is four
 86 feet directly above the point where the foundation intersects the natural
 87 grade to the highest point described above.

88
 89 *Building height, residential.* The vertical distance above a reference datum
 90 measured to the highest point of the building. The reference datum shall be
 91 selected by either of the following, whichever yields a greater height of the
 92 building:

- 93 1. The elevation of the highest adjoining original native ground surface
 94 within a five foot horizontal distance of the exterior wall of the building
 95 when such original native ground surface is not more than ten feet above
 96 the lowest grade; or
- 97 2. An elevation of ten feet higher than the lowest grade when the original
 98 native ground surface described in subsection 1 of this definition is more
 99 than ten feet above lowest grade.

100 (d) The National Electrical Code adopted in this section is amended by adding a
 101 new section 308, which follows immediately after section 307, to read as
 102 follows:

103 Section 308. Notwithstanding any other provision of this code, the use of
 104 aluminum wiring as a conductor of electricity in branch circuit wiring, or in
 105 service conductors smaller than six, is hereby prohibited.

106
 107 **SECTION 3.** All provisions of the ordinances of the City of Rollingwood in conflict with
 108 the provisions of this ordinance are hereby repealed to the extent of such conflict, and all other
 109 provisions of the ordinances of the City of Rollingwood not in conflict with the provisions of this
 110 ordinance shall remain in full force and effect.

111
 112 **SECTION 4.** Should any sentence, paragraph, subdivision, clause, phrase or section of
 113 this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not
 114 affect the validity of this ordinance as a whole, or any part or provision thereof other than the part
 115 so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of
 116 Ordinances as a whole.

117
 118 **SECTION 5.** This ordinance shall take effect immediately from and after its passage and
 119 the publication of the caption, as the law and charter in such cases provide.

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124 **APPROVED, PASSED AND ADOPTED** by the City Council of the City of Rollingwood, Texas,
125 on the ____ day of _____, 2023.

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APPROVED:

Gavin Massingill, Mayor

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ATTEST:

Desiree Adair, City Secretary

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ORDINANCE NO. 2023-04-19-15

AN ORDINANCE AMENDING ORDINANCE NO. 2022-09-21-04 AS PREVIOUSLY AMENDED, ADOPTING AND APPROVING AMENDMENTS TO THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2022 AND TERMINATING SEPTEMBER 30, 2023, PROVIDING FOR ADJUSTMENTS OF SPENDING AUTHORITY AMONG BUDGET LINE ITEMS, AND PROVIDING FOR IMMEDIATE EFFECTIVENESS

WHEREAS, the City Council of the City of Rollingwood, Texas, deems it necessary to amend Ordinance No. 2022-09-21-04 as previously amended (the "**2022-2023 Budget**") to meet unexpected and/or unforeseen conditions that could not have been included in the budget through the use of reasonably diligent thought and attention;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD, TEXAS THAT:

Section 1. The 2022-2023 Budget approved on September 21, 2022 and subsequently amended is hereby further amended to provide for the adjustment of spending authority in the line items set forth in Attachment A attached hereto and incorporated herein. Attachment A shall be appended to the 2022-2023 Budget for ease of reference. Except as specifically affected by the adjustments reflected in the attached Attachment A the 2022-2023 Budget as amended shall remain in full force and effect.

Section 2. This Ordinance shall be effective immediately upon adoption.

PASSED AND APPROVED this ____ day of _____, 2023.

Gavin Massingill, Mayor

ATTEST:

Ashley Wayman, City Secretary

ATTACHMENT A

Budget Amendments 2022-2023

CITY OF ROLLINGWOOD
2022-2023

Last updated:
4/17/2023

GENERAL FUND

	CURRENT BUDGET	BUDGET AMENDMENTS	AMENDED BUDGET
REVENUE ACCOUNT:			
<u>100-4-10-4700</u>	UNEXPENDED BALANCE TRANSFER \$ 41,453	\$ 22,000	\$ 63,453
	REVENUE TOTAL \$ 41,453	\$ 22,000	\$ 63,453
EXPENDITURE ACCOUNTS:			
100-5-20-5287	STORM DEBRIS AND CLEAN-UP \$ 3,000	\$ 12,000	\$ 15,000
100-5-20-5288	LANDSCAPE REMEDIATION \$ -	\$ 10,000	\$ 10,000
	EXPENDITURE TOTAL \$ 3,000	\$ 22,000	\$ 25,000
 GENERAL FUND - TOTALS			
	CURRENT BUDGET	BUDGET AMENDMENTS	AMENDED BUDGET
	REVENUE ACCOUNTS \$ 3,157,388	\$ 22,000	\$ 3,179,388
	EXPENDITURE ACCOUNTS \$ 3,148,417	\$ 22,000	\$ 3,170,417
	NET REVENUE ABOVE (BELOW) EXPENDITURES \$ 8,971	\$ -	\$ 8,971

AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: April 19, 2023

Submitted By:

Utility Commission

Agenda Item:

Discussion and possible action on a recommendation from the Utility Commission regarding a cellular service and coverage survey

Description:

At the February City Council Meeting, the City Council approved a draft survey submitted by the Utility Commission with a suggested additional question regarding wi-fi calling.

The Utility Commission reviewed the suggestion and sent forward a final draft of questions for the cellular service survey.

The Commission recommended using all available means of sharing the survey with the exception of mailed notice/postcards to avoid the expense. This would include Website, Facebook, Nextdoor, and Swift911 (Call, Email, Text).

Action Requested:

To consider a recommendation from the Utility Commission regarding a cellular service and coverage survey

Fiscal Impacts:

No significant fiscal impacts expected at this time.

Attachments:

- Draft Cellular Service Survey Questions

Draft Survey Questions – Cellular Service in Rollingwood

1. Name **(Text Box)**
2. Address **(Text Box)**
3. Cell phone carrier **(Text Box)**
4. Quality of service inside your house **(1-5, 5 being the best)**
5. Quality of service outside your house **(1-5, 5 being the best)**
6. Do you have any indoor solutions (cell service extenders, boosters, other equipment) currently?
(Yes/No)
7. If so, has it improved your cell service quality? **(Yes/No) (Only shown if answered “Yes” to question 6)**
8. Do you use Wi-Fi calling to supplement cellular service? **(Yes/No)**
9. Is Wi-Fi calling reliable at your address? **(Yes/No) (Only shown if answered “Yes” to question 8)**
10. Do you rely on Wi-Fi calling such that a power outage or internet service disruption makes you unable to call from home? **(Yes/No) (Only shown if answered “Yes” to question 8)**
11. Do you experience cell service interruptions in certain areas of the city? **(Yes/No)**
12. If so, please explain with detailed location information. **(Text Box) (Only shown if answered “Yes” to question 9)**
13. If it is possible to do so, would you like the city to pursue improved cellular service options?
(Yes/No)
14. If so, would you support the city investing in possible resources discovered? **(Yes/No) (Only shown if answered “Yes” to question 11)**
15. Please share any additional feedback or suggestions you have regarding cell service in Rollingwood. **(Text Box)**

Comprehensive Residential Code Review Committee

City of Rollingwood, Texas

The Comprehensive Residential Code Review Committee (CRCRC) will be composed of these 6 members approved by the City Council and selected for their interest, expertise and willingness to serve:

Jeff Marx
Ryan Clinton
Thom Farrell, chair
Dave Bench
Alex Robinette
Duke Garwood

City council by majority approval may appoint additional members as required. Residents wishing to serve as a Task Force alternate may use the online application or contact a council member directly.

Consistent with Rollingwood's commitment to transparency:

All CRCRC members must be sworn in and take open meetings act training; All members must abide by the open meetings act; CRCRC meetings will be open to observers.

All CRCRC members must be Rollingwood residents.

Proposed Timeframe:

This CRCRC is a time specific group charged with providing community perspective and insights on the policies and priorities governing residential development. The CRCRC is anticipated to convene beginning April 1, 2023 through October 1, 2023. This timeframe will be subject to change by City Council.

Proposed Committee Meetings:

The committee will meet twice per month coinciding with and earlier in the day than the Planning and Zoning and City Council meetings. This meeting schedule is subject to change and additional meetings may be called by chair as necessary.

Authority:

The CRCRC's role is to provide a community-based forum to ensure that a range of perspectives reflecting Rollingwood Community values are factored into the City's long-term vision and implementation priorities governing residential zoning policies. The CRCRC will obtain endorsement from the Planning and Zoning Commission prior to submitting its recommendations to City Council for approval. The Planning and Zoning Commission remains the primary advisory group to City Council on matters involving zoning, comprehensive planning and other growth management initiatives related to the physical development of the City. The City Council maintains decision-making authority on the residential zoning policy.

Duties:

- Review and assess 2020/21 Comprehensive Planning Advisory Strike Force survey results for public opinion regarding residential zoning and development.
- Identify residential zoning and development public opinion gaps not addressed by the 2020/21 Planning Advisory Strike Force survey results; develop a plan for filling those gaps; execute the plan.
- Analyze public opinion results to identify issues and needs regarding zoning and development. Combine with issues identified by City Council members, Planning and Zoning and City Staff.
- Develop a set of options to address zoning and development issues and needs. Include pros, cons, pace and why it is an issue. Make recommendations.
- Provide recommendations with regard to priority setting.
- Provide Interim and Final zoning policy recommendations.

CRCRC Deliverables:

- Report recommendations including rationale of majority viewpoint, and any votes that happened.
- Include report of the minority viewpoint, if requested by members in the minority.

Issues Identified by City Council Members; P&Z; City Staff

Construction Site Management:

- Allowable locations of construction fences, staging, port-a-pots, dumpsters
- Allowable use of City streets
- Safety issues around construction parking
- Permitted activities outside of Allowable construction hours

Building Ordinances:

- Permissible building and planting in setbacks/easements and ROWs
- How to measure setback distances
- Driveways and egress
- Allowable building heights, roof pitch and measurement guidelines
- Allowable number of stories
- Allowable fence heights
- Resident's right to privacy
- Allowable changes to topography
- Impervious cover
- Zoning by topography
- Fire considerations with regard to Tree Ordinance
- Permitting process
- Public education of ordinances
- Impact / resolution of nonconformances created by code changes
- Ordinance enforcement

AGENDA ITEM SUMMARY SHEET

City of Rollingwood

Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action on an ordinance amending the city's Code of Ordinances Sections 107-399, 107-518 and 107-520 related to public hearing notice

Description:

Based on the direction provided by City Council at the March 22, 2023 meeting, City Staff has prepared this ordinance to amend the public hearing notice requirements related to required public hearings for changes in zoning regulations or zoning district boundaries. Additionally, included in this ordinance are amendments to the Special Use Permit process to keep the noticing requirements consistent with the proposed changes for zoning public hearings.

The proposed amendments require that published notice in the newspaper shall only be required for the City Council's public hearing, and that the notice shall be published at least 16 days prior to the City Council's public hearing on that matter, which is consistent with State law. It will also require written notice of the public hearing to be mailed to property owners at least 20 days prior to both the Planning and Zoning Commission public hearing and the City Council public hearing. The amendment maintains the City's additional local requirement that the mailed notice be sent to all property owners within 250 feet of the subject property (inside the city limits) for zone change requests to R-Residential and to P-Park districts, and mailed to all property owners within the city limits for zone change requests for any other district.

This amendment will eliminate the extra published notice in the newspaper prior to the Planning and Zoning Commission meeting and will reduce the timing on the mailed notice from 30 days to 20 days.

In Sec.107-399 *Special Use Permits* of the City's Code, staff is also proposing to remove portions of subsection e, for consistency with current practices. Specifically, the last sentence of subsection e.3 is proposed to be removed, as specific mailed notice requirements related to the City Council public hearing have been added and clarified. Additionally, subsection e.4 is proposed to be removed as the current City practice for public hearing notices is for City Staff to prepare and send required public hearing notices.

In addition to these proposed code amendments, City Staff will be utilizing the City's website to provide additional information relating to development applications and ordinance amendments that require public hearings in order to have more information readily available to the public.

Action Requested:

To consider ordinance 2023-04-19-21 amending the city's Code of Ordinances Sections 107-399, 107-518 and 107-520 related to public hearing notice

Fiscal Impacts:

Possible reduced noticing costs due to the removal of the requirement for newspaper notice prior to the Planning and Zoning Commission meeting.

Attachments:

- Draft Ordinance 2023-04-19-21

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CITY OF ROLLINGWOOD, TEXAS

ORDINANCE NO. 2023-04-19-21

AN ORDINANCE AMENDING THE CITY’S CODE OF ORIDNANCES SECTION 107-399, SECTION 107-518, AND SECTION 107-520 RELATED TO PUBLIC HEARING NOTICE AND OTHER MATTERS IN CONNECTION THEREWITH; REPEALING PROVISIONS IN CONFLICT WITH THIS ORDINANCE; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City of Rollingwood (“City”) is a General Law Municipality operating under the laws of the State of Texas; and

WHEREAS, the City Council of the City of Rollingwood (“City Council”) previously established a Land Use Development Code as codified in its Code of Ordinances; and

WHEREAS, the City Council may from time to time choose to amend, supplement, change or modify the Land Use Development Code; and

WHEREAS, the City has given proper notice, as necessary, pertaining to the amendment of the Code of Ordinances; and

WHEREAS, the City Council finds and determines that Section 107-399 *Special use permits*, Section 107-518 *Hearing and notice*, and Section 107-520 *Procedure before the city council* of the City’s Code of Ordinances related to written and published notice of certain public hearings shall be amended as provided herein.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD, TEXAS, THAT:

SECTION 1. All the above premises are hereby found to be true and correct legislative and factual findings of the City Council and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. Part II of the City’s Code of Ordinances Chapter 107, Section 107-399, Section 107-518, and Section 107-520, are hereby amended as set forth on **Exhibit A** attached hereto.

SECTION 3. All provisions of the ordinances of the City of Rollingwood in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and all other provisions of the ordinances of the City of Rollingwood not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. Should any sentence, paragraph, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part so decided to be

47 invalid, illegal or unconstitutional, and shall not affect the validity of the Code of Ordinances as a
48 whole.

49
50 **SECTION 5.** It is officially found, determined, and declared that the meeting at which this
51 Ordinance is adopted was open to the public as required and that public notice of the time, place,
52 and purpose of said meeting was given as required by the Texas Open Meetings Act, Chapter 551,
53 Texas Government Code, as amended.

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55 **SECTION 6.** This ordinance shall take effect immediately from and after its passage and the
56 publication of the caption as the law provides.

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58 **APPROVED, PASSED AND ADOPTED** by the City Council of the City of Rollingwood, Texas,
59 on the ____ day of _____, 2023.

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61 APPROVED:

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65 Gavin Massingill, Mayor

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67 ATTEST:

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71 Desiree Adair, City Secretary
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Exhibit A

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All text which is underlined denotes addition of new text. All text which is ~~stricken through~~ denotes removal of existing text. All other text is existing, unchanged text. Any existing text which has been omitted shall be considered unchanged. All text which is both between braces { } and *italicized*, is for document organization and reference only and is not intended to be adopted. The Code of Ordinances of City of Rollingwood, Texas, Part II, Chapter 107, Section 107-399 Special use permits, Section 107-518 Hearing and notice, and Section 107-520 Procedure before the city council, are hereby amended as follows:

{Amendment to notice requirements in Sec.107-399 Special use permits}
Sec. 107-399 – Special use permits

- a) *Permit required.* No special use shall be established, operated, or maintained except as authorized by a special use permit approved in accordance with the requirements of this article.
- b) *Special use permit approved by city council.* A special use permit may be approved only for the special uses specified in this article, and only for the districts wherein such uses are authorized. A special use permit may be approved by the city council acting after a public hearing and after the council has received a recommendation from the commission relative to the proposed permit.
- c) *Application.* An application for a special use permit shall be made in writing in a form prescribed by the city secretary, and shall be accompanied by such information as may be requested (including a site plan, if required) in order to provide for proper review of the proposed use. Such information may include, but is not limited to, site and building plans, drawings and elevations, traffic plans prepared by a licensed professional engineer with experience in traffic safety that includes an analysis of traffic to be generated by the proposed use and indicates the impact on existing traffic conditions within the city, including residential areas, and provides information on the potential congestion caused by ingress and egress, and operational data.
- d) *Report by city secretary or city inspector.* The city secretary or city inspector shall visit the site of the proposed special use and the surrounding area, and thereafter submit his written findings to the commission and the city council.
- e) *Notice—Public hearing by commission.*
 - 1) The commission shall hold a public hearing on each application for a special use permit.
 - 2) Written notice of such hearing shall be given to the owners of all real property located within 250 feet in all directions of the property that is the subject of the hearing. Notice shall be given not less than ~~30~~ 20 days prior to the date of the hearing either by personal service or by mailing a copy of the notice to each owner at his address shown on the current city tax roll.

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3) Such notice shall state the purpose, date, time, and place of the hearing, together with a brief description of the proposed development, including its nature, scope, and location. The notice shall also describe any variances the applicant has requested and state the location and times at which the special use permit application and supporting documents are available for public inspection. ~~The time and place of the public hearing to be held before the city council shall also be included if known at the time the notice is given and, if it is not known at such time, a telephone number shall be provided where information on the hearing before the city council will be available at a later date.~~

~~4) The applicant shall be responsible for drafting the notice and serving it after the notice has been approved by the city secretary as to form and content. An affidavit of proof of service shall be filed by the applicant with the city secretary prior to the hearing.~~

f) *Review and recommendation of the commission.*

1) The commission shall review each application for a special use permit to determine whether the proposed special use complies with each of the general criteria in section 107-400, and with each of the specific criteria in section 107-401 applicable to the proposed use, and shall make a separate finding thereon for each criterion.

2) The commission shall not recommend approval of an application unless it finds that the proposed special use as presented or as modified by the commission complies with each applicable general and specific criterion. A recommendation of approval may be conditioned on the applicant's adoption of specified changes, additions, limitations, safeguards, or effective time periods designed to ensure compliance with the criteria.

3) The commission shall forward its findings and recommendations to the city council in writing.

g) *Hearing before city council.* The city council shall review an application for a special use permit at a public hearing after receiving the findings and recommendations of the commission. The following notice shall be given prior to the City Council public hearing:

1) Written notice of such hearing shall be given to the owners of all real property located within 250 feet in all directions of the property that is the subject of the hearing. Notice shall be given not less than 20 days prior to the date of the hearing either by personal service or by mailing a copy of the notice to each owner at his address shown on the current city tax roll. Such notice shall state the purpose, date, time, and place of the hearing, together with a brief description of the proposed development, including its nature, scope, and location. The notice shall also describe any variances the applicant has requested and state the location and times at which the special use permit application and supporting documents are

166 available for public inspection.

167
168 2) Not less than 16 days prior to the hearing, notice of the date, time and location
169 thereof will be published in the official newspaper of the city or in a newspaper of
170 general circulation in the city. Such notice shall state the purpose, date, time, and
171 place of the hearing.

172
173 h) *Review and action by city council.*

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175 1) The city council shall determine whether the proposed special use complies with
176 each of the general criteria in section 107-400 and with each of the special criteria
177 in section 107-401 applicable to the proposed use, and shall make separate findings
178 thereon or adopt the findings made by the commission.

179
180 2) The city council may condition its approval of an application on the applicant's
181 adoption of specified changes, additions, limitations, safeguards, or effective time
182 periods designed to ensure compliance with the criteria.

183
184 3) The city council shall not grant a special use permit unless it finds that the proposed
185 special use, as presented or as modified by the council, complies with each
186 applicable general and specific criterion; otherwise it shall deny the application.

187
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189 *{Amendment to notice requirements in Sec.107-518 Hearing and notice}*

190 *Sec. 107-518 – Hearing and notice*

191
192 a) The commission will hold a public hearing on all proposed changes on zoning regulations
193 or boundaries.

194
195 ~~b) Not less than 16 days prior to the hearing, notice of the date, time and location thereof will~~
196 ~~be published in the official newspaper of the city or in a newspaper of general circulation~~
197 ~~in the city. In addition, in the case of a proposed change in zoning classification, written~~
198 ~~notice of a public hearing will be mailed, not less than 30 days prior to the hearing, to all~~
199 ~~owners of property (as such ownership is shown on the current city tax roll) lying within~~
200 ~~250 feet of the property that is the subject of the proposed zoning classification change. If~~
201 ~~the application for a change in zoning classification requests a change to a zoning district~~
202 ~~other than residential district or park district, the notice must be mailed, not less than 30~~
203 ~~days prior to the hearing, to all owners of property (as such ownership is shown on the~~
204 ~~current city tax roll) within the city. The notice may be served by depositing it in the U.S.~~
205 ~~mail with the proper address and postage.~~

206
207 b) Notice Requirements

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209 1) Not less than 16 days prior to the City Council public hearing, notice of the date,
210 time and location thereof will be published in the official newspaper of the city or
211 in a newspaper of general circulation in the city

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2) In the case of a proposed change in zoning classification, written notice of a public hearing will be mailed, not less than 20 days prior to each required public hearing of the Planning and Zoning Commission and City Council, to all owners of property (as such ownership is shown on the current city tax roll) lying within 250 feet of the property that is the subject of the proposed zoning classification change. If the application for a change in zoning classification requests a change to a zoning district other than residential district or park district, the notice must be mailed, not less than 20 days prior to the hearing, to all owners of property (as such ownership is shown on the current city tax roll) within the city. The notice may be served by depositing it in the U.S. mail with the proper address and postage.

c) Public hearing required. Whenever a public hearing is required, the city administrator or his/her designee shall establish the date, time and place of the public hearing and shall cause any notice required to be prepared and made accordingly.

d) Joint public hearing. The city council may, at its discretion at a properly noticed public meeting, determine that a public hearing shall be held before both the planning and zoning commission and the city council. If such a determination is made, the planning and zoning commission and the city council may conduct a joint public hearing and take action on the application in the following manner:

1) The city council on its own motion shall establish the date of the joint public hearing.

2) The city council shall cause notice of the joint public hearing to be provided as required.

3) The planning and zoning commission and the city council shall be convened for the hearing and for any action to be taken on the petition or application.

4) The planning and zoning commission and the city council may take action on the application at the same meeting; however, the city council shall not take action until the report and recommendation of the planning and zoning commission has been received.

{Amendment to Sec.107-520(a) Procedure before the city council to correct section reference}
Sec. 107-520 – Procedure before the city council.

a) After receiving the recommendation of the commission, the city council will, at the earliest practicable time, hold a public hearing on the application/petition, at which parties in interest and citizens will have an opportunity to be heard. Notice of the hearing will be given in the manner required under section 107-518(b).

AGENDA ITEM SUMMARY SHEET**CITY OF ROLLINGWOOD, TEXAS****MEETING DATE: April 19, 2023**

Agenda Item __: Discussion and possible action to amend Rollingwood Ordinance Section 2-56 regarding application of Robert's Rules of Order in City Council meetings.

Submitted by: Brook Brown

Proposed action: At the January and February City Council meetings, the Council has discussed application of Robert's Rules of Order in Council meetings and the order in which the business of the Council may be considered. This agenda item proposes that the Council amend Section 2-56 of the Code to read as follows:

"(e) Applicability of Robert's Rules of Order. Any question of order or procedure not covered by Article II, Division II of this Code regarding council meetings shall be decided according to the latest edition of Robert's Rules of Order, insofar as it may be applicable."

Background: Current Code Section 2-56 (e) applicable to Council meetings states:

"(e) All meetings of the city council *shall be* conducted in accordance with the provisions of the latest edition of Robert's Rules of Order."

The proposed amendment would conform Section 2-56(e) to current Council practice and allow application of Robert's Rules of Order as necessary when no other rule of order applies.

The proposed language mirrors an existing rule of procedure in Section 2-223 of the Code applicable to Utility Commission hearings.

Resources:

Proposed amendment. See attached.

Rollingwood Code Article II, Division 2 - Meetings. See attached.

Sec. 2-56. Generally.

- (a) The city council shall hold at least one regular meeting each month and may hold as many special meetings as necessary to conduct city business. The regular meeting of the city council shall be held on the third Wednesday of each month in the city hall, unless changed by majority vote of the city council at a public meeting.
- (b) The mayor or any three councilmembers may call special meetings by notice to each member of the council, the city secretary and the city attorney, served personally or left at their usual place of abode.
- (c) While in an open meeting, an executive session which is properly posted on the agenda may be convened by the mayor or upon motion of any councilmembers.
- (d) Notice of all meetings shall be posted in accordance with the Texas Open Meetings Act, V.T.C.A., Government Code ch. 551.
- (e) ~~All meetings of the city council shall be conducted~~ Applicability of Robert's Rules of Order. Any question of order or procedure not covered by Article II, Division 2 of this Code regarding council meetings shall be decided in accordance with the provisions of the latest edition of Robert's Rules of Order.

Sec. 2-56. - Generally.

- (a) The city council shall hold at least one regular meeting each month and may hold as many special meetings as necessary to conduct city business. The regular meeting of the city council shall be held on the third Wednesday of each month in the city hall, unless changed by majority vote of the city council at a public meeting.
- (b) The mayor or any three councilmembers may call special meetings by notice to each member of the council, the city secretary and the city attorney, served personally or left at their usual place of abode.
- (c) While in an open meeting, an executive session which is properly posted on the agenda may be convened by the mayor or upon motion of any councilmembers.
- (d) Notice of all meetings shall be posted in accordance with the Texas Open Meetings Act, V.T.C.A., Government Code ch. 551.
- (e) All meetings of the city council shall be conducted in accordance with the provisions of the latest edition of Robert's Rules of Order.

(Code 1987, ch. 2, subch. A, § 4; Code 1995, § 1.04.041)

Sec. 2-57. - Presiding officer; mayor pro tempore; council liaisons.

- (a) The mayor shall be the presiding officer of the city council and shall conduct all meetings of the city council to permit full and free discussion by the members of the council and the public in accordance with the rules established by this article.
- (b) At the first meeting following each regular city election, or as soon thereafter as practicable, the city council shall elect one councilmember to serve as mayor pro tempore for a term of one year and to perform the duties of the mayor in the event of the mayor's failure, inability or refusal to act. If the mayor and the mayor pro tempore are absent, any councilmember may be appointed to preside at a meeting.
- (c) The mayor shall not have the power to negate any action of the city council except as otherwise authorized by V.T.C.A., Local Government Code ch. 53. The mayor may not bind or obligate the city in any way without prior authorization from the city council. The mayor may not vote on any motion considered by the council, unless necessary to break a tie.
- (d) At the first meeting following each regular council election, or as soon thereafter as practicable, the city council shall elect at least one and no more than two councilmembers, which may be the mayor, to serve as council liaison for each of the following:

Police and courts:

- (1)
- (2) Utility commission;
- (3) Streets and roadways;
- (4) Park commission;
- (5) Personnel;
- (6) Budget;
- (7) Planning and zoning commission;
- (8) Board of adjustment; and
- (9) Rollingwood Community Development Corporation.

Each council liaison shall serve, at the council's pleasure, as the council's representative for negotiations and formulation of council approved policies in connection with their assigned issue or subject. No council liaison may bind or obligate the city in any way, in reference to the assigned subject matter, without prior authorization from the city council.

(Code 1987, ch. 2, subch. A, § 5; Code 1995, § 1.04.042; Ord. No. 2019-12-18-30, § 1, 12-18-2019; Ord. No. 2021-01-20-13, § 2, 1-20-2021)

State Law reference— Mayor as presiding officer, V.T.C.A., Local Government Code § 22.037.

Sec. 2-58. - Quorum.

Three councilmembers constitutes a quorum. However, at a called meeting or at a meeting to consider the imposition of taxes, four councilmembers constitutes a quorum.

(Code 1987, ch. 2, subch. A, § 6; Code 1995, § 1.04.043; Ord. No. 2019-09-18-31, § 2, 9-18-2019)

State Law reference— Quorum requirements, V.T.C.A., Local Government Code § 22.039.

Sec. 2-59. - Agenda.

- (a) The city administrator shall prepare and post the agenda for each city council meeting and must place an item on an agenda if:
 - (1) The item is requested by the mayor or a member of the city council;
 - (2) The item is requested by a city commission;
 - (3) The item is requested by a city department head or the city attorney; or
 - (4) The city administrator determines that the item is necessary in the general conduct of city business.
- (b) An item placed on the agenda at the request of the mayor or any member of the city council may not be removed from the agenda unless the removal is approved by the person requesting the

(Code 1987, ch. 2, subch. A, § 8; Code 1995, § 1.04.044)

Sec. 2-60. - Consent agenda.

The city council may adopt certain items by consent of the city council without taking a separate vote on each item. The items adopted by consent of the city council are the "consent agenda." The council may not adopt the following by consent:

- (1) An item subject to a public hearing;
- (2) An item posted on the agenda for consideration at a specific time;
- (3) An item for which the city administrator has received a written request that the item be removed from the consent agenda;
- (4) An item for which the city administrator has received, before the meeting is called to order, registration cards from one or more persons who intend to testify on the items; or
- (5) An item that any member of the city council requests be removed from the consent agenda.

(Code 1987, ch. 2, subch. A, § 9; Code 1995, § 1.04.045)

Sec. 2-61. - Rules of order.

- (a) Decorum shall be observed by all members of the council and all persons attending a council meeting. No person or councilmember may use disparaging, threatening or abusive language during a council meeting.
- (b) The presiding officer shall maintain order at all council meetings. The presiding officer may shorten a person's speaking time, ban a person from speaking for the balance of a meeting, or cause a person to be removed from the council meeting for a violation of the rules of order set out in this article. A ban or removal applies only for the duration of the meeting at which it is imposed.
- (c) The presiding officer shall rule out of order any councilmember breaching decorum. A councilmember ruled out of order may call for a vote of the council to sustain or overrule the presiding officer.

(Code 1987, ch. 2, subch. A, § 10; Code 1995, § 1.04.046)

Sec. 2-62. - Citizen communications.

- (a) The presiding officer will ensure that citizens of the city have a reasonable opportunity to address the council regarding matters under consideration at any meeting.
- (b)

son who intends to testify at a council meeting on an agenda item or at a public hearing shall deliver to the city administrator a registration card that includes the person's name, the date of the council meeting, and the agenda items upon which he wishes to speak.

- (c) The person may deliver the card to the city administrator at any time after the city administrator posts the agenda for the meeting and before the item is taken up.
- (d) The presiding officer shall grant a person at least three minutes to address the city council, unless the council rules otherwise or the presiding officer exercises authority under section 2-61 to reduce the speaker's time. More than three minutes of time may be granted at the discretion of the presiding officer.

(Code 1987, ch. 2, subch. A, § 11; Code 1995, § 1.04.047)

Sec. 2-63. - Closed meetings.

If a closed meeting is permitted by state law, the city council may meet in a meeting that is closed to the public during any city council meeting. A closed meeting may be held at any time during any city council meeting but notice of the closed meeting must be given in accordance with the Texas Open Meetings Act, V.T.C.A., Government Code ch. 551.

(Code 1987, ch. 2, subch. A, § 12; Code 1995, § 1.04.048)

Sec. 2-64. - General order of business.

The general order of business at a city council meeting is as follows:

- (1) Call to order.
- (2) Announcements and proclamations.
- (3) Citizen communications on any item not on the agenda.
- (4) Council action on the consent agenda.
- (5) Consideration of any items pulled from the consent agenda.
- (6) Other specific agenda items.
- (7) Administrative matters, including reports by staff, commissions, councilmembers and the mayor.
- (8) Executive sessions.
- (9) Adjournment.

(Code 1987, ch. 2, subch. A, § 13; Code 1995, § 1.04.049)

Sec. 2-65. - Effect of procedural rules.

The procedural rules set forth in this article are directory only, and it is the intent of the city council that the violation of any such procedural rules shall not affect the validity or legality of any city council action otherwise properly taken.

(Code 1987, ch. 2, subch. A, § 15; Code 1995, § 1.04.050)

Secs. 2-66—2-88. - Reserved.

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ORDINANCE NO. 2023-04-19-22

AN ORDINANCE AMENDING THE CITY’S CODE OF ORDINANCES PART I, CHAPTER 2, ARTICLE II, DIVISION 2, SECTION 2-56, REGARDING APPLICATION OF ROBERT'S RULES OF ORDER IN CITY COUNCIL MEETINGS; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE

WHEREAS, the City of Rollingwood is a General Law Type A City under the statutes of the State of Texas; and

WHEREAS, the City Council of the City of Rollingwood (“City Council”) wishes to clarify when Robert's Rules of Order are required at meetings of the City Council; and

WHEREAS, the City Council has determined that strict application of Robert's Rules of Order, as stated in city ordinances governing procedure during city council meetings, is inconsistent with current practice, applies an order of business inconsistent with the order of business in current ordinances, and flexibility in application would better reflect current practice, the needs of the Council, and the public; and

WHEREAS, the City Council finds that the amendment provided for herein is reasonable, necessary, and proper for the good of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD, TEXAS, THAT:

SECTION 1. All the above premises are hereby found to be true and correct legislative and factual findings of the City Council and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. The City’s Code of Ordinances, PART I, CHAPTER 2, ARTICLE II, DIVISION 2, SECTION 2-56 be amended as follows with strikethroughs being deletions and underlines being additions:

Sec. 2-56. - Generally.

- (a) The city council shall hold at least one regular meeting each month and may hold as many special meetings as necessary to conduct city business. The regular meeting of the city council shall be held on the third Wednesday of each month in the city hall, unless changed by majority vote of the city council at a public meeting.
- (b) The mayor or any three councilmembers may call special meetings by notice to each member of the council, the city secretary and the city attorney, served personally or left at their usual place of abode.
- (c) While in an open meeting, an executive session which is properly posted on the agenda may be convened by the mayor or upon motion of any councilmembers.

37 (d) Notice of all meetings shall be posted in accordance with the Texas Open Meetings
38 Act, V.T.C.A., Government Code ch. 551.

39 ~~(e) All meetings of the city council shall be conducted in accordance with the provisions~~
40 ~~of the latest edition of Robert's Rules of Order.~~

41 (e) Applicability of Robert's Rules of Order. Any question of order or procedure not
42 covered by Article II, Division 2 of this Code regarding council meetings shall be
43 decided according to the latest edition of Robert's Rules of Order, insofar as it may be
44 applicable.

45 **SECTION 3. Severability.** All provisions of the ordinances of the City of Rollingwood in conflict
46 with the provisions of this ordinance are hereby repealed to the extent of such conflict, and all
47 other provisions of the ordinances of the City of Rollingwood not in conflict with the provisions
48 of this ordinance shall remain in full force and effect.

49 **SECTION 4. Repealer.** Should any sentence, paragraph, sub-article, clause, phrase or section of
50 this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not
51 affect the validity of this ordinance as a whole, or any part or provision thereof other than the part
52 so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of
53 Ordinances as a whole.

54 **SECTION 5. Effective Date.** This ordinance shall take effect immediately from and after its
55 passage and the publication of the caption, as the law and charter in such cases provide.

56 **PASSED AND APPROVED** this __ day of April, 2023.

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58
59 CITY OF ROLLINGWOOD, TEXAS
60 By: _____
61 Gavin Massingill, Mayor
62

63 ATTEST:
64 _____
65 Desiree Adair, City Secretary

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RESOLUTION NO. 2023-04-19-24 (A)

A RESOLUTION OF THE CITY COUNCIL OF ROLLINGWOOD, TEXAS APPROVING AND AUTHORIZING THE MAYOR OF THE CITY OF ROLLINGWOOD TO EXECUTE A RELEASE AND SETTLEMENT AGREEMENT RELATED TO SIDE YARDS LOCATED AT 304 VALE, ROLLINGWOOD TX.

WHEREAS, on August 12, 2022, the City of Rollingwood issued building permit #2022-22 (the “Building Permit”) for construction of new residential structure located at 304 Vale, Rollingwood, TX 78746 (the “Property”); and

WHEREAS, there is a dispute between the owners of the property and the City as to the process and validity of the issuance and the Building permit as it relates to side yards; and

WHEREAS, the City of Rollingwood has determined that it is in the best interests of the City to enter into an agreement resolving all disputes regarding the issuance of the Building Permit between the City and the Property owners.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD:

Section 1. That the foregoing recitals are hereby found to be true and correct findings of the City Council of Rollingwood and are fully incorporated into the body of this Resolution.

Section 2. That the City Council of the City of Rollingwood hereby approves, and authorizes the Mayor’s execution of, the settlement and release agreement attached hereto as Exhibit A.

Section 3. This Resolution shall be in force and effect from and after its passage and it is so resolved.

PASSED, APPROVED AND DULY RESOLVED by the City Council of Rollingwood on this the 19th day of April 2022.

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary

RESOLUTION NO. 2023-04-19-24 (B)

A RESOLUTION OF THE CITY COUNCIL OF ROLLINGWOOD, TEXAS APPROVING AND AUTHORIZING THE MAYOR OF THE CITY OF ROLLINGWOOD TO EXECUTE A RELEASE AND SETTLEMENT AGREEMENT RELATED TO SIDE YARDS LOCATED AT 400 FARLEY TRAIL, ROLLINGWOOD TX.

WHEREAS, on August 17, 2022, the City of Rollingwood issued building permit #2022-10 (the “Building Permit”) for construction of new residential structure located at 400 Farley Trail, Rollingwood, TX 78746 (the “Property”); and

WHEREAS, there is a dispute between the owners of the property and the City as to the process and validity of the issuance and the Building permit as it relates to side yards; and

WHEREAS, the City of Rollingwood has determined that it is in the best interests of the City to enter into an agreement resolving all disputes regarding the issuance of the Building Permit between the City and the Property owners.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD:

Section 1. That the foregoing recitals are hereby found to be true and correct findings of the City Council of Rollingwood and are fully incorporated into the body of this Resolution.

Section 2. That the City Council of the City of Rollingwood hereby approves, and authorizes the Mayor’s execution of, the settlement and release agreement attached hereto as Exhibit A.

Section 3. This Resolution shall be in force and effect from and after its passage and it is so resolved.

PASSED, APPROVED AND DULY RESOLVED by the City Council of Rollingwood on this the 19th day of April 2022.

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary



Date: April 18, 2023
To: Mayor and Council Members of the City of Rollingwood
From: Ashley Wayman, City Administrator
Subject: City Administrator's Report

Financials – Highlights of the financials through the month of March 2023:

- As of March 31, 2023, 50% of the Fiscal Year has passed.
- Property taxes collected were up 2% from the same period in FY 21-22.
- Sales taxes collected were about the same as the same period in FY 21-22.
- The Water Fund balance is currently at \$646,407. The General Fund balance is at \$2,746,553.

The lift station emergency power project is well underway. This project was authorized by the City Council to provide for gas powered generators to be installed at each of our wastewater lift stations to provide a back-up power source in the case of power outages. Texas Gas crews have been in the area over the last couple weeks extending gas service to our lift stations, and we expect three of the six lift stations that are included in this project to have gas service by the end of this week. Public Works will soon begin the process of pouring generator pads for the generators to be installed. We look forward to providing additional stability to these key parts of our wastewater infrastructure.

At the November 2022 Bond Election, Rollingwood voters approved Proposition A (\$5.3 MM for improvements to the city's water system as identified in the city's Water System Capital Improvements Plan). The City Council entered into a professional services agreement with K. Friese & Associates for the design of these water system improvements. Under the public notices section on the front page of our website is a post called "Updates – 2023 Water System Improvements." This page will be kept up-to-date with project progress and milestones.

Link: <https://www.rollingwoodtx.gov/administration/page/updates-2023-water-system-improvements>

The Central Texas Regional Mobility Authority (CTRMA) Board of Directors held a regular meeting on Wednesday, March 29. During Executive Director Bass's update, there was a process discussion regarding the environmental assessment that is currently underway for the project. The Board ultimately left it at the suggestion to schedule a work session with the Travis County Commissioners Court. We will be monitoring the Commissioners Court agendas for this work session and will provide additional updates to the Council and community as they are available. The CTRMA Board meeting recording and agenda can be found at the following link:

<https://mobilityauthority.swagit.com/play/03292023-661>

I am available by email at awayman@rollingwoodtx.gov and cell phone at (737) 218-8326. Please let me know if you have any questions or concerns.

Best,
Ashley Wayman
City Administrator



THE CITY OF ROLLINGWOOD

Phone +1 (512) 327-1838

403 Nixon Dr, Rollingwood, TX 78746-5512

www.rollingwoodtx.gov

Police Department Report - March 2023

Staffing	
Authorized Staff:	10
Current Staff:	7
Hours Worked For Comp:	147.6
Comp Hours Spent:	135.75
Vacation Hours Spent:	227
Sick Hours Spent:	298
Holiday Hours Worked:	205
Holiday Hours Not Worked :	179
Hours Worked For Overtime:	109
Total Hours Worked:	4239.75

Possible Liabilities (PD Employees Only)	
Comp Pool Liability (Dollars):	\$ 11,838
Vacation Pool Liability (Dollars):	\$ 33,680
Total Sick Pool Liability (Dollars):	\$ 17,278
Total Possible Liabilities:	\$ 62,796

Fleet	
Vehicles Authorized:	5
Vehicles Operational:	5
Gasoline Used (gal):	306
Total Miles Driven:	2690

Police Activity	
Calls for Service	
Calls Dispatched:	39
Self Assigned Calls:	8
Total Calls for Service:	47
Agency Assists:	28
Police Reports:	18
Theft/Burglary Reports:	3
Arrests	
Misdemeanor Arrests:	
Felony Arrests:	
Total Arrests:	0
Proactive Citizen Contacts:	4
Vehicle Accidents	
Minor Accidents:	7
Major Accidents:	
Total Vehicle Accidents:	7

Ordinance Violations	
Construction:	3
Solicitation:	
Noise:	
Tree Related:	
Animal Related:	
All Others:	
Total Ordinance Violations:	3

Traffic Initiatives	
Location 1: School Zone	
Citations/Warnings issued at this Location:	
Location 2: Park Zone	
Citations/Warnings Issued at this Location:	5
Location 3: Bee Caves	
Citations/Warnings Issued at this Location:	72
Total Citations/Warnings issued during traffic initiatives:	77

Traffic Enforcement	
Total Citations issued:	55
Total Warnings issued:	44
Total Citations and Warnings:	99
Type of Violations:	
Parking Violations:	2
Moving Violations:	36
Non-Moving Violations:	44
Total Violations:	82
Location of Traffic Stops	
City Roadways:	30
Bee Caves Road:	58
Total Traffic Stops:	88

Chief's Blotter	
We deployed our radar trailer. Officer Howe completed the Field Training Program. Corporal Wenzel's last day was 3/27/23.	

Chief of Police Report - 2023

Staffing:												
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
Authorized Staff:	10	10	10									
Current Staff:	9	8	7									
Hours Worked For Comp:	79.6	94.1	147.6									
Comp Hours Spent:	98	108	135.75									
Vacation Hours Spent:	104	122	227									
Sick Hours Spent:	102	136	298									
Holiday Hours Worked:	133	149	205									
Holiday Hours Not Worked :	123	147	179									
Hours Worked For Overtime:	54	103	109									
Total Hours Worked:	845	927.5	4239.75									

Possible Liabilities (PD Employees Only)												
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
Comp Pool Liability (Dollars):	\$ 12,620	\$12,620	\$11,838									
Vacation Pool Liability (Dollars):	\$ 33,391	\$34,449	\$33,680									
Total Sick Pool Liability (Dollars):	\$ 15,267	\$16,857	\$17,278									
Total Possible Liabilities:	\$ 61,278	\$63,926	\$62,796									

Fleet:												
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
Vehicles Authorized:	5	5	5									
Vehicles Operational:	5	5	5									
Gasoline Used (gal):	397	360	306									
Total Miles Driven:	3842	5,347	2690									

Police Activity:												
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
Calls for Service												
Call dispatched:	42	38	39									
Self assigned calls:	35	5	8									
Total Calls for Service:	77	43	47									
Total Agency Assists:	59	38	28									
Criminal Offense Reports:	12	14	18									
Theft/Burglary Reports:	2	2	3									
Arrests												
Misdemeanor Arrests:	1	1										
Felony Arrests:												
Total Arrests:	1	1										
Proactive Citizen Contacts:	2	5	4									
Vehicle Accidents												
Minor Accidents:	2	1	7									
Major Accidents:	2	3										
Total Vehicle Accidents:	4	4	7									

Ordinance Violations:												
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
Construction:	2	4	3									
Solicitation:												
Noise:												
Tree Related:												
Animal Related:												
All Others:			#REF!									
Total Ordinance Violations:	2	4	3									

Traffic Initiatives:

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
3/21/2023 14:00	6	33	6 to 33	20	21	28	55	96
3/21/2023 15:00	8	46	8 to 46	26	26	31	35	116
3/21/2023 16:00	5	39	5 to 39	24	25	30	39	145
3/21/2023 17:00	5	41	5 to 41	25	26	31	39	136
3/21/2023 18:00	8	40	8 to 40	26	26	32	46	102
3/21/2023 19:00	6	35	6 to 35	26	26	31	49	115
3/21/2023 20:00	7	37	7 to 37	26	26	31	43	195
3/21/2023 21:00	5	34	5 to 34	23	24	29	49	187
3/21/2023 22:00	8	41	8 to 41	27	27	32	42	132
3/21/2023 23:00	7	37	7 to 37	25	25	30	44	103
3/22/2023 0:00	5	35	5 to 35	24	25	30	50	60
3/22/2023 1:00	15	43	15 to 43	28	27	31	44	36
3/22/2023 2:00	15	33	15 to 33	26	27	29	47	17
3/22/2023 3:00	5	37	5 to 37	24	26	31	38	16
3/22/2023 4:00	13	25	13 to 25	19	13	25	100	2
3/22/2023 5:00	0	0	0 to 0	0	0	0	0	1
3/22/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/22/2023 7:00	8	18	8 to 18	13	8	18	0	2
3/22/2023 8:00	6	28	6 to 28	15	13	23	29	7
3/22/2023 9:00	24	34	24 to 34	29	28	31	33	6
3/22/2023 10:00	6	36	6 to 36	25	26	31	39	33
3/22/2023 11:00	5	33	5 to 33	24	25	28	46	116
3/22/2023 12:00	6	37	6 to 37	25	25	30	40	168
3/22/2023 13:00	5	37	5 to 37	24	25	29	40	131
3/22/2023 14:00	5	36	5 to 36	25	26	30	44	171
3/22/2023 15:00	5	36	5 to 36	25	25	31	36	112
3/22/2023 16:00	7	38	7 to 38	25	26	30	49	171
3/22/2023 17:00	6	41	6 to 41	25	25	31	40	142
3/22/2023 18:00	10	38	10 to 38	26	26	31	46	102
3/22/2023 19:00	5	37	5 to 37	24	26	31	40	142
3/22/2023 20:00	5	42	5 to 42	28	28	33	44	181
3/22/2023 21:00	6	38	6 to 38	26	26	32	41	162
3/22/2023 22:00	5	35	5 to 35	24	25	29	35	158
3/22/2023 23:00	5	37	5 to 37	24	25	29	34	165
3/23/2023 0:00	6	38	6 to 38	24	24	29	37	103
3/23/2023 1:00	8	37	8 to 37	27	28	31	31	49
3/23/2023 2:00	14	34	14 to 34	27	27	30	37	27
3/23/2023 3:00	5	34	5 to 34	15	10	30	50	14
3/23/2023 4:00	12	31	12 to 31	24	27	30	43	7
3/23/2023 5:00	9	34	9 to 34	24	23	28	25	4
3/23/2023 6:00	18	22	18 to 22	20	19	21	25	4
3/23/2023 7:00	17	33	17 to 33	25	23	32	0	5
3/23/2023 8:00	0	0	0 to 0	0	0	0	0	1

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
3/23/2023 9:00	26	38	26 to 38	31	30	31	50	4
3/23/2023 10:00	13	34	13 to 34	26	26	31	50	22
3/23/2023 11:00	6	39	6 to 39	24	25	29	44	117
3/23/2023 12:00	5	36	5 to 36	25	26	30	42	198
3/23/2023 13:00	5	34	5 to 34	24	25	29	44	179
3/23/2023 14:00	5	36	5 to 36	24	25	30	41	148
3/23/2023 15:00	6	34	6 to 34	25	26	31	49	152
3/23/2023 16:00	7	38	7 to 38	25	25	31	44	140
3/23/2023 17:00	7	37	7 to 37	24	25	29	35	130
3/23/2023 18:00	8	38	8 to 38	26	26	30	42	102
3/23/2023 19:00	5	43	5 to 43	25	26	29	50	147
3/23/2023 20:00	5	39	5 to 39	24	24	30	38	172
3/23/2023 21:00	5	46	5 to 46	24	25	30	42	205
3/23/2023 22:00	5	40	5 to 40	23	25	30	33	154
3/23/2023 23:00	7	43	7 to 43	26	27	32	35	128
3/24/2023 0:00	5	34	5 to 34	24	26	30	42	74
3/24/2023 1:00	11	39	11 to 39	26	26	29	42	55
3/24/2023 2:00	13	37	13 to 37	27	27	32	34	41
3/24/2023 3:00	12	37	12 to 37	24	24	31	53	15
3/24/2023 4:00	5	27	5 to 27	13	7	27	33	3
3/24/2023 5:00	11	11	11 to 11	11	11	11	0	1
3/24/2023 6:00	21	29	21 to 29	25	25	26	43	7
3/24/2023 7:00	0	0	0 to 0	0	0	0	0	1
3/24/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/24/2023 9:00	16	32	16 to 32	27	26	30	55	11
3/24/2023 10:00	18	32	18 to 32	26	25	30	27	15
3/24/2023 11:00	7	33	7 to 33	24	24	29	43	101
3/24/2023 12:00	6	41	6 to 41	25	26	29	40	186
3/24/2023 13:00	5	34	5 to 34	24	26	29	45	120
3/24/2023 14:00	5	39	5 to 39	26	27	31	41	124
3/24/2023 15:00	6	36	6 to 36	26	27	31	49	130
3/24/2023 16:00	6	40	6 to 40	25	26	30	46	119
3/24/2023 17:00	12	38	12 to 38	26	26	30	39	152
3/24/2023 18:00	7	38	7 to 38	26	27	31	43	141
3/24/2023 19:00	8	44	8 to 44	25	26	30	41	135
3/24/2023 20:00	5	38	5 to 38	26	27	30	33	177
3/24/2023 21:00	6	39	6 to 39	25	25	30	33	177
3/24/2023 22:00	5	40	5 to 40	24	26	30	31	160
3/24/2023 23:00	9	41	9 to 41	25	25	32	45	120
3/25/2023 0:00	10	45	10 to 45	25	25	30	37	95
3/25/2023 1:00	6	40	6 to 40	26	26	29	33	57
3/25/2023 2:00	11	38	11 to 38	27	27	31	40	45
3/25/2023 3:00	13	36	13 to 36	26	27	31	51	35

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
3/25/2023 4:00	10	34	10 to 34	26	27	31	55	29
3/25/2023 5:00	18	22	18 to 22	20	21	22	0	3
3/25/2023 6:00	22	30	22 to 30	27	26	30	63	8
3/25/2023 7:00	5	26	5 to 26	18	23	26	33	3
3/25/2023 8:00	16	33	16 to 33	25	16	33	50	2
3/25/2023 9:00	31	37	31 to 37	34	35	37	33	3
3/25/2023 10:00	5	29	5 to 29	21	24	28	38	8
3/25/2023 11:00	5	37	5 to 37	21	25	30	30	50
3/25/2023 12:00	6	39	6 to 39	23	25	29	28	85
3/25/2023 13:00	5	39	5 to 39	22	23	29	41	182
3/25/2023 14:00	5	32	5 to 32	20	20	27	34	214
3/25/2023 15:00	5	36	5 to 36	20	20	26	37	234
3/25/2023 16:00	5	33	5 to 33	21	21	27	36	223
3/25/2023 17:00	5	34	5 to 34	20	20	26	38	231
3/25/2023 18:00	5	36	5 to 36	21	22	28	39	199
3/25/2023 19:00	5	36	5 to 36	22	23	29	43	198
3/25/2023 20:00	5	36	5 to 36	24	24	30	37	156
3/25/2023 21:00	5	34	5 to 34	22	22	30	30	188
3/25/2023 22:00	6	41	6 to 41	27	27	31	37	139
3/25/2023 23:00	5	37	5 to 37	25	26	31	39	142
3/26/2023 0:00	17	35	17 to 35	26	26	29	34	74
3/26/2023 1:00	7	37	7 to 37	25	26	31	45	51
3/26/2023 2:00	5	36	5 to 36	25	26	30	53	51
3/26/2023 3:00	11	34	11 to 34	25	26	32	56	18
3/26/2023 4:00	6	39	6 to 39	22	23	30	61	23
3/26/2023 5:00	22	37	22 to 37	30	31	33	36	11
3/26/2023 6:00	17	39	17 to 39	24	22	30	43	7
3/26/2023 7:00	23	34	23 to 34	29	25	33	50	4
3/26/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/26/2023 9:00	0	0	0 to 0	0	0	0	0	1
3/26/2023 10:00	23	29	23 to 29	26	25	29	50	8
3/26/2023 11:00	5	31	5 to 31	22	26	30	38	13
3/26/2023 12:00	9	35	9 to 35	23	23	28	39	67
3/26/2023 13:00	5	38	5 to 38	24	26	30	31	103
3/26/2023 14:00	5	36	5 to 36	23	25	29	46	148
3/26/2023 15:00	6	37	6 to 37	24	25	29	38	154
3/26/2023 16:00	6	43	6 to 43	25	27	31	38	138
3/26/2023 17:00	6	35	6 to 35	26	27	31	40	111
3/26/2023 18:00	5	37	5 to 37	24	25	30	45	156
3/26/2023 19:00	5	38	5 to 38	23	25	30	45	160
3/26/2023 20:00	5	38	5 to 38	23	25	29	36	151
3/26/2023 21:00	5	36	5 to 36	24	25	29	37	142
3/26/2023 22:00	8	42	8 to 42	25	26	30	41	121

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
3/26/2023 23:00	5	33	5 to 33	24	25	29	41	101
3/27/2023 0:00	5	35	5 to 35	25	25	30	43	90
3/27/2023 1:00	6	33	6 to 33	24	26	31	29	34
3/27/2023 2:00	10	37	10 to 37	26	27	31	67	6
3/27/2023 3:00	7	34	7 to 34	18	19	29	39	33
3/27/2023 4:00	9	42	9 to 42	20	16	32	56	9
3/27/2023 5:00	23	26	23 to 26	25	26	26	0	5
3/27/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/27/2023 7:00	18	24	18 to 24	22	23	24	33	3
3/27/2023 8:00	34	36	34 to 36	35	34	36	50	2
3/27/2023 9:00	24	30	24 to 30	28	29	30	33	3
3/27/2023 10:00	5	32	5 to 32	19	22	28	27	22
3/27/2023 11:00	7	34	7 to 34	24	25	28	41	95
3/27/2023 12:00	6	45	6 to 45	23	24	28	44	181
3/27/2023 13:00	5	46	5 to 46	25	26	30	45	149
3/27/2023 14:00	5	35	5 to 35	24	26	29	43	132
3/27/2023 15:00	5	36	5 to 36	24	25	30	42	99
3/27/2023 16:00	5	35	5 to 35	27	27	32	45	146
3/27/2023 17:00	5	38	5 to 38	24	26	30	45	142
3/27/2023 18:00	7	37	7 to 37	26	27	31	38	121
3/27/2023 19:00	7	36	7 to 36	25	25	31	43	136
3/27/2023 20:00	6	39	6 to 39	24	25	30	42	133
3/27/2023 21:00	5	37	5 to 37	25	26	31	43	174
3/27/2023 22:00	5	38	5 to 38	24	25	30	37	169
3/27/2023 23:00	5	44	5 to 44	24	26	30	39	121
3/28/2023 0:00	7	35	7 to 35	25	25	29	31	80
3/28/2023 1:00	8	36	8 to 36	25	25	32	48	40
3/28/2023 2:00	17	32	17 to 32	26	27	31	56	9
3/28/2023 3:00	17	24	17 to 24	21	21	24	100	3
3/28/2023 4:00	7	7	7 to 7	7	7	7	0	1
3/28/2023 5:00	9	9	9 to 9	9	9	9	100	1
3/28/2023 6:00	24	26	24 to 26	25	24	26	50	2
3/28/2023 7:00	28	28	28 to 28	28	28	28	0	1
3/28/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/28/2023 9:00	8	39	8 to 39	23	22	31	42	12
3/28/2023 10:00	6	29	6 to 29	21	25	27	53	17
3/28/2023 11:00	5	37	5 to 37	24	25	29	39	115
3/28/2023 12:00	5	36	5 to 36	24	25	30	44	200
3/28/2023 13:00	5	38	5 to 38	24	25	29	41	158
3/28/2023 14:00	5	38	5 to 38	24	25	29	46	146
3/28/2023 15:00	5	42	5 to 42	24	26	29	43	123
3/28/2023 16:00	5	37	5 to 37	24	25	30	44	135
3/28/2023 17:00	5	42	5 to 42	25	25	30	36	154

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
3/28/2023 18:00	5	38	5 to 38	24	25	30	41	141
3/28/2023 19:00	6	39	6 to 39	24	25	30	43	179
3/28/2023 20:00	9	38	9 to 38	25	26	30	45	154
3/28/2023 21:00	5	38	5 to 38	25	26	30	40	187
3/28/2023 22:00	5	37	5 to 37	23	24	29	34	170
3/28/2023 23:00	7	41	7 to 41	24	24	30	45	103
3/29/2023 0:00	8	34	8 to 34	24	26	29	51	59
3/29/2023 1:00	6	36	6 to 36	26	26	30	44	43
3/29/2023 2:00	6	42	6 to 42	17	11	28	46	46
3/29/2023 3:00	7	32	7 to 32	16	11	28	33	15
3/29/2023 4:00	21	33	21 to 33	28	25	32	50	4
3/29/2023 5:00	20	32	20 to 32	26	24	29	57	7
3/29/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/29/2023 7:00	21	23	21 to 23	23	23	23	50	4
3/29/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/29/2023 9:00	24	31	24 to 31	27	25	31	33	3
3/29/2023 10:00	12	33	12 to 33	25	26	27	50	22
3/29/2023 11:00	5	37	5 to 37	24	25	28	48	105
3/29/2023 12:00	5	39	5 to 39	25	26	30	42	185
3/29/2023 13:00	5	42	5 to 42	25	26	31	47	144
3/29/2023 14:00	6	38	6 to 38	24	25	30	39	142
3/29/2023 15:00	9	46	9 to 46	25	26	30	36	136
3/29/2023 16:00	5	33	5 to 33	24	25	29	41	143
3/29/2023 17:00	5	37	5 to 37	25	25	31	46	132
3/29/2023 18:00	6	39	6 to 39	24	26	31	46	134
3/29/2023 19:00	5	34	5 to 34	24	25	29	47	152
3/29/2023 20:00	7	44	7 to 44	26	26	31	40	159
3/29/2023 21:00	6	47	6 to 47	24	26	30	48	168
3/29/2023 22:00	7	41	7 to 41	24	24	29	31	176
3/29/2023 23:00	6	39	6 to 39	23	24	28	38	136
3/30/2023 0:00	5	34	5 to 34	25	26	32	36	80
3/30/2023 1:00	7	39	7 to 39	23	25	30	51	45
3/30/2023 2:00	14	34	14 to 34	27	28	32	52	23
3/30/2023 3:00	13	31	13 to 31	25	25	31	50	8
3/30/2023 4:00	12	37	12 to 37	27	30	37	67	9
3/30/2023 5:00	29	34	29 to 34	32	29	34	50	2
3/30/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/30/2023 7:00	0	0	0 to 0	0	0	0	0	1
3/30/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/30/2023 9:00	9	9	9 to 9	9	9	9	0	2
3/30/2023 10:00	5	30	5 to 30	21	24	27	43	28
3/30/2023 11:00	5	35	5 to 35	23	24	28	35	119
3/30/2023 12:00	5	36	5 to 36	24	25	30	42	195

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
3/30/2023 13:00	6	46	6 to 46	24	25	30	42	151
3/30/2023 14:00	5	35	5 to 35	24	25	29	40	135
3/30/2023 15:00	6	43	6 to 43	25	25	31	47	135
3/30/2023 16:00	6	37	6 to 37	27	27	32	35	113
3/30/2023 17:00	6	38	6 to 38	25	26	30	39	126
3/30/2023 18:00	5	38	5 to 38	25	26	31	43	122
3/30/2023 19:00	7	38	7 to 38	26	26	30	40	138
3/30/2023 20:00	6	36	6 to 36	25	26	31	38	156
3/30/2023 21:00	5	38	5 to 38	25	26	32	41	188
3/30/2023 22:00	8	46	8 to 46	26	26	31	32	110
3/30/2023 23:00	6	36	6 to 36	26	27	31	42	101
3/31/2023 0:00	13	36	13 to 36	27	27	31	35	75
3/31/2023 1:00	7	39	7 to 39	26	26	31	52	64
3/31/2023 2:00	6	35	6 to 35	20	25	28	40	25
3/31/2023 3:00	7	30	7 to 30	17	15	25	54	13
3/31/2023 4:00	24	26	24 to 26	25	24	26	50	2
3/31/2023 5:00	0	0	0 to 0	0	0	0	0	1
3/31/2023 6:00	24	37	24 to 37	31	31	35	40	5
3/31/2023 7:00	9	9	9 to 9	9	9	9	100	1
3/31/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/31/2023 9:00	19	33	19 to 33	25	23	30	50	6
3/31/2023 10:00	10	30	10 to 30	25	25	28	38	24
3/31/2023 11:00	5	35	5 to 35	25	26	30	45	111
3/31/2023 12:00	5	35	5 to 35	24	25	29	38	217
3/31/2023 13:00	6	38	6 to 38	25	26	30	41	159
3/31/2023 14:00	5	39	5 to 39	25	26	29	35	131
3/31/2023 15:00	5	46	5 to 46	25	26	30	31	144
3/31/2023 16:00	5	36	5 to 36	26	27	30	45	141
3/31/2023 17:00	5	38	5 to 38	25	26	30	44	134
3/31/2023 18:00	10	38	10 to 38	26	27	31	41	122
3/31/2023 19:00	5	40	5 to 40	24	25	30	38	157
3/31/2023 20:00	6	37	6 to 37	26	27	31	45	154
3/31/2023 21:00	5	38	5 to 38	25	26	31	44	139
3/31/2023 22:00	6	40	6 to 40	26	27	31	34	126
3/31/2023 23:00	7	44	7 to 44	25	25	31	40	119
4/1/2023 0:00	5	35	5 to 35	23	24	29	27	81
4/1/2023 1:00	9	36	9 to 36	25	25	29	47	87
4/1/2023 2:00	6	36	6 to 36	24	26	29	31	42
4/1/2023 3:00	8	37	8 to 37	26	27	31	43	44
4/1/2023 4:00	9	32	9 to 32	25	28	30	47	17
4/1/2023 5:00	23	30	23 to 30	26	24	30	33	3
4/1/2023 6:00	7	23	7 to 23	17	22	23	33	3
4/1/2023 7:00	9	35	9 to 35	23	23	33	22	9

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
4/1/2023 8:00	23	33	23 to 33	29	27	33	25	4
4/1/2023 9:00	0	0	0 to 0	0	0	0	0	1
4/1/2023 10:00	15	30	15 to 30	26	27	29	42	12
4/1/2023 11:00	5	31	5 to 31	24	24	29	36	22
4/1/2023 12:00	5	33	5 to 33	22	23	29	30	76
4/1/2023 13:00	5	38	5 to 38	22	24	28	35	124
4/1/2023 14:00	5	47	5 to 47	21	22	28	34	122
4/1/2023 15:00	5	38	5 to 38	20	20	26	23	177
4/1/2023 16:00	5	46	5 to 46	21	21	29	37	229
4/1/2023 17:00	5	37	5 to 37	23	24	29	46	272
4/1/2023 18:00	5	37	5 to 37	24	25	30	41	252
4/1/2023 19:00	5	37	5 to 37	23	24	29	49	204
4/1/2023 20:00	5	39	5 to 39	24	24	31	47	203
4/1/2023 21:00	8	35	8 to 35	22	22	29	28	187
4/1/2023 22:00	5	38	5 to 38	25	26	33	33	87
4/1/2023 23:00	5	41	5 to 41	25	26	31	48	90
4/2/2023 0:00	5	39	5 to 39	24	24	29	40	67
4/2/2023 1:00	6	35	6 to 35	24	25	30	40	45
4/2/2023 2:00	12	33	12 to 33	27	29	32	44	27
4/2/2023 3:00	5	39	5 to 39	28	29	32	52	31
4/2/2023 4:00	9	29	9 to 29	25	26	28	27	22
4/2/2023 5:00	26	30	26 to 30	28	28	29	57	7
4/2/2023 6:00	6	32	6 to 32	22	24	27	40	20
4/2/2023 7:00	12	24	12 to 24	19	18	23	25	4
4/2/2023 8:00	32	32	32 to 32	32	32	32	0	1
4/2/2023 9:00	15	15	15 to 15	15	15	15	100	1
4/2/2023 10:00	22	32	22 to 32	27	25	31	20	5
4/2/2023 11:00	5	34	5 to 34	22	25	28	40	15
4/2/2023 12:00	5	37	5 to 37	23	24	30	42	67
4/2/2023 13:00	5	37	5 to 37	23	25	30	29	111
4/2/2023 14:00	5	37	5 to 37	23	24	30	36	117
4/2/2023 15:00	5	41	5 to 41	25	26	30	40	154
4/2/2023 16:00	5	40	5 to 40	26	27	30	34	130
4/2/2023 17:00	5	41	5 to 41	25	26	31	34	141
4/2/2023 18:00	6	43	6 to 43	26	26	31	39	149
4/2/2023 19:00	6	39	6 to 39	25	25	31	39	144
4/2/2023 20:00	5	39	5 to 39	24	25	30	37	150
4/2/2023 21:00	5	36	5 to 36	23	25	29	38	170
4/2/2023 22:00	11	41	11 to 41	26	27	32	40	103
4/2/2023 23:00	6	45	6 to 45	25	26	31	46	114
4/3/2023 0:00	6	47	6 to 47	24	25	29	35	62
4/3/2023 1:00	11	46	11 to 46	26	26	30	54	26
4/3/2023 2:00	6	30	6 to 30	17	22	26	43	23

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
4/3/2023 3:00	10	30	10 to 30	16	13	21	57	7
4/3/2023 4:00	20	37	20 to 37	28	28	29	40	5
4/3/2023 5:00	29	32	29 to 32	31	29	32	0	2
4/3/2023 6:00	26	27	26 to 27	27	26	27	50	2
4/3/2023 7:00	0	0	0 to 0	0	0	0	0	1
4/3/2023 8:00	15	21	15 to 21	19	20	20	25	4
4/3/2023 9:00	9	34	9 to 34	25	25	33	29	14
4/3/2023 10:00	16	33	16 to 33	26	27	30	38	29
4/3/2023 11:00	8	33	8 to 33	24	25	29	43	100
4/3/2023 12:00	6	35	6 to 35	24	25	29	47	192
4/3/2023 13:00	6	37	6 to 37	23	25	29	45	132
4/3/2023 14:00	6	38	6 to 38	24	25	31	40	146
4/3/2023 15:00	8	46	8 to 46	26	26	30	35	127
4/3/2023 16:00	12	38	12 to 38	27	27	32	42	165
4/3/2023 17:00	7	42	7 to 42	25	25	31	42	124
4/3/2023 18:00	8	36	8 to 36	26	26	31	47	135
4/3/2023 19:00	6	36	6 to 36	25	26	30	44	153
4/3/2023 20:00	5	38	5 to 38	25	26	31	40	167
4/3/2023 21:00	5	36	5 to 36	25	26	31	37	175
4/3/2023 22:00	7	39	7 to 39	25	26	30	34	164
4/3/2023 23:00	5	38	5 to 38	24	24	30	45	124
4/4/2023 0:00	6	35	6 to 35	25	25	30	44	90
4/4/2023 1:00	7	35	7 to 35	24	25	30	45	55
4/4/2023 2:00	11	31	11 to 31	24	26	29	38	13
4/4/2023 3:00	13	31	13 to 31	24	27	27	67	6
4/4/2023 4:00	25	29	25 to 29	27	27	28	50	4
4/4/2023 5:00	30	34	30 to 34	32	30	34	100	2
4/4/2023 6:00	0	0	0 to 0	0	0	0	0	1
4/4/2023 7:00	0	0	0 to 0	0	0	0	0	1
4/4/2023 8:00	0	0	0 to 0	0	0	0	0	1
4/4/2023 9:00	23	30	23 to 30	26	25	30	57	7
4/4/2023 10:00	12	38	12 to 38	27	27	32	54	24
4/4/2023 11:00	5	38	5 to 38	25	26	30	39	126
4/4/2023 12:00	6	35	6 to 35	24	25	29	41	210
4/4/2023 13:00	6	38	6 to 38	23	24	28	52	159
4/4/2023 14:00	5	37	5 to 37	24	25	30	43	125
4/4/2023 15:00	6	40	6 to 40	26	26	30	41	159
4/4/2023 16:00	5	35	5 to 35	24	26	29	44	134
4/4/2023 17:00	6	38	6 to 38	25	25	30	48	141
4/4/2023 18:00	7	38	7 to 38	26	26	31	36	131
4/4/2023 19:00	7	37	7 to 37	26	27	31	43	158
4/4/2023 20:00	5	40	5 to 40	26	26	31	39	185
4/4/2023 21:00	6	38	6 to 38	25	26	31	37	221

Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Total Vehicles Never Zero
4/4/2023 22:00	7	37	7 to 37	24	25	30	35	158
4/4/2023 23:00	5	42	5 to 42	24	25	30	35	147
4/5/2023 0:00	5	39	5 to 39	22	23	27	40	77
4/5/2023 1:00	7	33	7 to 33	25	26	31	46	41
4/5/2023 2:00	5	31	5 to 31	20	24	28	55	31
4/5/2023 3:00	6	11	6 to 11	9	11	11	67	3
4/5/2023 4:00	15	23	15 to 23	19	15	21	75	4
4/5/2023 5:00	29	32	29 to 32	31	29	32	0	2
4/5/2023 6:00	0	0	0 to 0	0	0	0	0	1
4/5/2023 7:00	25	32	25 to 32	29	25	32	50	2
4/5/2023 8:00	28	29	28 to 29	29	28	29	0	2
4/5/2023 9:00	25	34	25 to 34	30	30	33	38	8
4/5/2023 10:00	10	36	10 to 36	23	24	27	45	22
4/5/2023 11:00	7	35	7 to 35	24	25	29	39	120
4/5/2023 12:00	5	36	5 to 36	25	27	30	40	200
4/5/2023 13:00	5	46	5 to 46	24	26	29	45	161
4/5/2023 14:00	7	41	7 to 41	25	26	30	41	123
4/5/2023 15:00	5	33	5 to 33	24	25	29	34	144
4/5/2023 16:00	7	39	7 to 39	25	26	30	43	147
4/5/2023 17:00	6	41	6 to 41	20	20	28	41	99
4/5/2023 18:00	5	37	5 to 37	18	18	27	27	74
4/5/2023 19:00	5	32	5 to 32	16	15	21	22	90
4/5/2023 20:00	6	36	6 to 36	14	12	20	29	128

Municipal Court

City of Rollingwood Monthly Stats - Fiscal Year 2022-2023

Municipal Court

Violations Filed by Date													
	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	58	64	33	65	80	48							348
State Law	0	17	3	0	0	0							20
City Ordinance	25	0	3	1	1	1							31
Parking	2	3	0	8	0	0							13
Total Violations	85	84	39	74	81	49							412

Completed Cases													
Paid Fine	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	24	22	18	12	26	15							117
State Law	1	0	0	0	0	0							1
City Ordinance	7	0	1	0	0	1							9
Parking	1	3	1	0	2	0							7
Total Paid Fines	33	25	20	12	28	16							134
Before Judge	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	24	10	9	10	5	22							80
State Law	0	0	0	0	0	0							0
City Ordinance	0	4	3	2	0	0							9
Parking	0	0	0	0	0	1							1
Total Before Judge	24	14	12	12	5	23							90
By Jury	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Total	0	0		0	0	0							0
Total Completed	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Total Completed	57	39	32	24	33	39							224

Other Completed													
Dismissed DSC. Sec. 2	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	16	8	4	5	9	14							56
State Law	0	0	0	0	0	0							0
City Ordinance	0	0	0	0	0	0							0
Parking	0	0	0	0	0	0							0
Total	16	8	4	5	9	14							56
Dismissed After Deferred Disp.	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	2	0	0	7	3	5							17
State Law	0	0	1	0	0	0							1
City Ordinance	0	0	0	0	0	3							3
Parking	0	9	0	0	0	0							9
Total	2	9	1	7	3	8							30
Dismissed By Presenting Insurance	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	1	1	0	0	1	1							4

2022-2023

CITY OF ROLLINGWOOD
MONTHLY FINANCIAL ANALYSIS

NOTE: YTD ACTUAL AS OF MARCH 31, 2023; 50% OF FISCAL YEAR**REVENUE STATUS & COMPARISON TO PRIOR YEAR**

	CURRENT YEAR:			PRIOR YEAR:		CURRENT YR COMPARED TO PY YR
	EST. REVENUE	YTD	PERCENT	YTD		
CURRENT PROPERTY TAXES	\$ 1,391,320	\$ 1,374,688	99%	\$ 1,350,441		102%
TELECOM TAXES	\$ 20,000	\$ 11,363	57%	\$ 11,102		102%
4-B SALES TAX	\$ 200,000	\$ 87,033	44%	\$ 87,179		100%
CITY SALES TAX	\$ 625,000	\$ 348,130	56%	\$ 348,715		100%
ELECTRIC UTILITY FRANCHISE FEE	\$ 90,000	\$ 52,753	59%	\$ -	#DIV/0!	
BUILDING PERMIT FEES	\$ 150,000	\$ 74,360	50%	\$ 108,018		69%
COURT FINES	\$ 31,700	\$ 34,432	109%	\$ 18,705		184%
WATER SALES	\$ 1,354,000	\$ 586,209	43%	\$ 501,558		117%
STREET SALES TAX	\$ 200,000	\$ 87,033	44%	\$ 87,179		100%
PROPERTY TAX-DEBT SERVICE 2014	\$ 199,350	\$ 199,987	100%	\$ 198,467		101%
PROPERTY TAX-DEBT SERVICE 2012	\$ 313,235	\$ 314,231	100%	\$ 313,990		100%
PROPERTY TAX-DEBT SERVICE 2019	\$ 410,250	\$ 412,023	100%	\$ 406,130		101%
PROPERTY TAX-DEBT SERVICE 2020	\$ 314,775	\$ 315,058	100%	\$ 313,075		101%
WASTEWATER REVENUES	\$ 803,500	\$ 444,500	55%	\$ 365,074		122%
PUD SURCHARGE	\$ 98,160	\$ 49,077	50%	\$ 49,076		100%

BUDGET STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:			PRIOR YEAR:		CURRENT YR COMPARED TO PY YR
	BUDGET	YTD	PERCENT	YTD		
GENERAL FUND:						
REVENUE	\$ 3,157,388	\$ 2,178,917	69%	\$ 2,073,894		105%
EXPENDITURES	\$ 3,148,417	\$ 1,429,276	45%	\$ 1,544,888		93%
WATER FUND:						
REVENUE	\$ 1,354,350	\$ 508,251	38%	\$ 501,632		101%
EXPENDITURES	\$ 1,271,047	\$ 375,611	30%	\$ 497,040		76%
STREET MAINTENANCE FUND:						
REVENUE	\$ 256,115	\$ 73,545	29%	\$ 87,225		84%
EXPENDITURES	\$ 256,115	\$ 73,015	29%	\$ 88,291		83%
COURT SECURITY FUND:						
REVENUE	\$ 1,600	\$ 1,279	80%	\$ 713		179%
EXPENDITURES	\$ 1,000	\$ -	0%	\$ -	#DIV/0!	
COURT TECHNOLOGY FUND:						
REVENUE	\$ 1,600	\$ 1,052	66%	\$ 605		174%
EXPENDITURES	\$ 2,500	\$ 23	1%	\$ 8		281%
COURT EFFICIENCY FUND:						
REVENUE	\$ 100	\$ -	0%	\$ -	#DIV/0!	
EXPENDITURES	\$ 100	\$ -	0%	\$ -	#DIV/0!	
DEBT SERVICE FUND - 2014:						
REVENUE	\$ 200,250	\$ 199,239	99%	\$ 198,467		100%
EXPENDITURES	\$ 199,350	\$ 32,375	16%	\$ 34,975		93%
DEBT SERVICE FUND - 2012:						
REVENUE	\$ 314,635	\$ 313,056	99%	\$ 313,990		100%
EXPENDITURES	\$ 313,635	\$ 4,318	1%	\$ 8,068		54%
DEBT SERVICE FUND - 2019:						
REVENUE	\$ 411,650	\$ 410,484	100%	\$ 406,130		101%
EXPENDITURES	\$ 410,650	\$ 147,825	36%	\$ 150,025		99%
DEBT SERVICE FUND - 2020:						
REVENUE	\$ 315,515	\$ 314,626	100%	\$ 313,075		100%
EXPENDITURES	\$ 315,015	\$ 12,388	4%	\$ 14,525		85%
DRAINAGE FUND:						
REVENUE	\$ 30,900	\$ 12,000	39%	\$ 45,928		26%
EXPENDITURES	\$ 58,000	\$ 31,747	55%	\$ 107,472		30%
WASTE WATER FUND:						
REVENUE	\$ 974,576	\$ 425,640	44%	\$ 419,878		101%
EXPENDITURES	\$ 974,576	\$ 280,209	29%	\$ 497,575		56%

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

100-GENERAL FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
100-1000	CLAIM ON POOLED CASH	2,417,509.43
100-1011	PETTY CASH - COURT	250.00
100-1014	CASH - TAX NOTES	2,005,764.32
100-1016	MERCHANT ACCT CASH	0.00
100-1018	CASH - DEVELOPMENT SERVICES	(1,000.00)
100-1030	TEX-POOL	329,044.30
100-1131	NET PENSION ASSET	0.00
100-1141	DEFERRED OUTFLOWS OF RESOURCES	0.00
100-1142	DEFERRED OUTFLOWS - OPEB	0.00
100-1200	ACCOUNTS RECEIVABLE	112.95
100-1205	ALLOWANCE FOR UNCOLLECTIBLES	0.00
100-1206	ALLOWANCE FOR DOUBTFUL ACCTS	(1,896.31)
100-1217	CENCOR PUD RECEIVABLE	0.01
100-1221	DUE FROM RCDC	24,542.19
100-1222	DUE FROM WATER FUND	3,169.25
100-1230	TAXES RECEIVABLE - GENERAL	20,905.97
100-1250	Due From Vendors	0.00
100-1350	SALES TAX RECEIVABLE	55,920.60
		4,854,322.71
	TOTAL ASSETS	4,854,322.71
LIABILITIES		
=====		
100-2000	ACCOUNTS PAYABLE POOLED	0.00
100-2008	ACCOUNTS PAYABLE - OTHER	8,606.51
100-2010	HEALTH INSURANCE PAYABLE	(385.52)
100-2012	AFLAC INSURANCE PAYABLE	(12.57)
100-2015	EDC SALES TAX PAYABLE	0.00
100-2016	EMPLOYEE 457 CONTRIB PAYABLE	4,197.11
100-2020	FEDERAL WH PAYABLE	118.21
100-2030	UNEMPLOYMENT TAX PAYABLE	(3,608.63)
100-2035	SOCIAL SEC/MEDICARE PAYABLE	(2,913.70)
100-2050	APPEARANCE BOND RESERVE	(1,591.64)
100-2055	OMNIBASE PAYABLE	(104.69)
100-2060	RETIREMENT PAYOUT RESERVE	7,977.07
100-2070	DEFERRED REVENUE	4,281.02
100-2075	CHILD SUPPORT GARNISHMENT	0.00
100-2080	TMRS RETIREMENT WITHHELD	(4,877.58)
100-2110	COMPENSATED ABSENCE PAY	163.00
100-2115	WAGES PAYABLE	0.00
100-2117	UNCLAIMED PROPERTY	153.97
100-2122	ACCRUED INTEREST PAYABLE	0.00
100-2132	MY PARK DAY	921.96
100-2137	PARK PET PAVERS	2,025.57
100-2138	TAX NOTES PAYABLE-SR 2020	0.00
100-2139	DEFERRED REV-LEOSE FUNDS	0.00
100-2140	VEHICLE FINANCING NOTES	0.00
100-2141	ARPA Deferred Revenue	196,370.37

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

100-GENERAL FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
100-2249	DEFERRED REV-FIELD RENTAL	33,660.00
100-2250	DEFERRED TAX REV=DELINQUENT TX	19,009.66
100-2300	DUE TO DRAINAGE FUND	69,387.00
100-2425	BLDG & MISC DEPOSITS	3,500.00
100-2600	TRAFFIC FINE RESERVE	<u>37,882.26</u>
	TOTAL LIABILITIES	<u>374,759.38</u>
EQUITY		
=====		
100-3000	FUND BALANCE-UNAPPROPRATED	5,019,397.32
100-3030	AMOUNT TO BE PROVIDED FOR	(1,289,474.90)
	TOTAL BEGINNING EQUITY	<u>3,729,922.42</u>
	TOTAL REVENUE	2,178,916.75
	TOTAL EXPENSES	<u>1,429,275.84</u>
	TOTAL REVENUE OVER/(UNDER) EXPENSES	749,640.91
	TOTAL EQUITY & REV. OVER/(UNDER) EXP.	<u>4,479,563.33</u>
	TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.	<u>4,854,322.71</u> =====

CITY OF ROLLINGWOOD
 BALANCE SHEET
 AS OF: MARCH 31ST, 2023

200-WATER FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
200-1000	CLAIM ON POOLED CASH	584,570.36
200-1016	MERCHANT ACCT CASH	250.00
200-1018	CASH - DEVELOPMENT SERVICES	1,000.00
200-1030	TEX-POOL	61,837.21
200-1131	NET PENSION	(24,642.00)
200-1141	DEFERRED OUTFLOW OF RESOURCES	21,589.32
200-1142	DEFERRED OUTFLOWS-OPEB	2,392.00
200-1200	ACCOUNTS RECEIVABLE	94,585.54
200-1202	MISC AR -	0.00
200-1205	ALLOWANCE FOR UNCOLLECTIBLE	(10,895.29)
200-1210	UNAPPLIED CREDITS	(40,175.18)
200-1220	REFUNDS PAYABLE	432.54
200-1250	ALLOWANCE FOR LOSSES	(4,500.00)
200-1300	RETURNED CHECKS RECEIVABLE	5,550.30
200-1600	WATER SYSTEM	1,885,140.74
200-1601	WATER LINE IMPROVEMENTS	1,799,149.92
200-1605	W/WW IMP BCR	561,036.56
200-1606	CAP IMP BACKFLOW	92,420.00
200-1610	ACCUMULATED DEPRECIATION	(1,972,010.34)
200-1620	EQUIPMENT	70,196.33
200-1621	COMPUTER	1,726.00
200-1628	ACCUM DEPREC MAINT & OFFICE	(45,810.43)
		<u>3,083,843.58</u>
TOTAL ASSETS		<u>3,083,843.58</u>

LIABILITIES		
=====		
200-2000	ACCOUNTS PAYABLE POOLED	0.00
200-2008	ACCOUNTS PAYABLE OTHER	89,873.13
200-2010	HEALTH INSURANCE PAYABLE	972.83
200-2012	AFLAC INSURANCE PAYABLE	0.00
200-2015	ECONOMIC DEV SALES TAX	0.00
200-2016	EMPLOYEE 457 CONTRIB PAYABL	0.00
200-2020	FEDERAL WH PAYABLE	19.44
200-2030	UNEMPLOYMENT TAX PAYABLE	(198.34)
200-2035	SOC SEC/MEDICARE PAYABLE	2,878.90
200-2060	Retirement Payout Reserve	0.00
200-2080	TMRS RETIREMENT PAYABLE	(500.35)
200-2100	METER SERVICE DEPOSITS	0.00
200-2110	COMPENSATED ABSENCE PAYABLE	9,956.26
200-2115	WAGES PAYABLE	0.00
200-2120	BONDS PAYABLE-SR2014 WTR IMP	647,325.00
200-2121	BOND PREMIUM-SR2014 WTR IMPRV	34,459.76
200-2122	ACCRUED INTEREST PAYABLE	3,651.19
200-2123	GOVERNMENT CAPITAL LEASE	41,695.07
200-2128	DUE TO VENDORS	0.00
200-2140	DEFERRED INFLOWS OF RESOURCES	15,078.00
200-2142	RES STORM DISCHA PERMIT-ZONE 8	186.00

CITY OF ROLLINGWOOD
 BALANCE SHEET
 AS OF: MARCH 31ST, 2023

200-WATER FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
<hr/>			
200-2145	OPEB LIABILITY	8,889.00	
200-2310	DUE TO MERCHANT ACCOUNT	3,169.25	
200-2400	CUSTOMER DEPOSITS PAYABLE	171,070.00	
200-2425	BLDG & MISC DEPOSITS	1,750.00	
	TOTAL LIABILITIES		<u>1,030,275.14</u>
<u>EQUITY</u>			
<u>=====</u>			
200-3000	FUND BALANCE-UNAPPROPRATED	719,416.98	
200-3600	INVEST IN FA NET RELATED DEBT	1,256,765.70	
	TOTAL BEGINNING EQUITY	<u>1,976,182.68</u>	
	TOTAL REVENUE	587,675.51	
	TOTAL EXPENSES	<u>510,289.75</u>	
	TOTAL REVENUE OVER/(UNDER) EXPENSES	77,385.76	
	TOTAL EQUITY & REV. OVER/(UNDER) EXP.		<u>2,053,568.44</u>
	TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.		<u>3,083,843.58</u> =====

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

301-STREET MAINTENANCE

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
301-1000	CLAIM ON POOLED CASH	392,983.89	
301-1350	SALES TAX RECEIVABLE	<u>13,503.48</u>	
			<u>406,487.37</u>
TOTAL ASSETS			<u>406,487.37</u>
=====			
LIABILITIES			
=====			
301-2000	ACCOUNTS PAYABLE POOLED	0.00	
301-2060	Retirement Payout Reserve	0.00	
301-2140	Vehicle Financing Notes	<u>0.00</u>	
	TOTAL LIABILITIES		<u>0.00</u>
EQUITY			
=====			
301-3000	FUND BALANCE-UNAPPROPRATED	406,468.44	
	TOTAL BEGINNING EQUITY	<u>406,468.44</u>	
TOTAL REVENUE		87,171.18	
TOTAL EXPENSES		<u>87,152.25</u>	
TOTAL REVENUE OVER/(UNDER) EXPENSES			<u>18.93</u>
TOTAL EQUITY & REV. OVER/(UNDER) EXP.			<u>406,487.37</u>
TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.			<u>406,487.37</u>
=====			

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

310-COURT SECURITY FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
310-1000	CLAIM ON POOLED CASH	<u>11,494.93</u>	<u>11,494.93</u>
TOTAL ASSETS			<u>11,494.93</u>
=====			
LIABILITIES			
=====			
310-2000	ACCOUNTS PAYABLE POOLED	0.00	
310-2050	APPEARANCE BOND RESERVE	(9.00)	
310-2060	Retirement Payout Reserve	0.00	
310-2140	Vehicle Financing Notes	<u>0.00</u>	
TOTAL LIABILITIES		(9.00)	
EQUITY			
=====			
310-3000	UNAPPROPRIATED FUND BALANCE	3,685.92	
310-3450	RESERVE FOR COURT TECHNOLOGY	(9,119.30)	
310-3451	RESERVE FOR COURT SECURITY	<u>15,320.85</u>	
TOTAL BEGINNING EQUITY		<u>9,887.47</u>	
TOTAL REVENUE		1,616.46	
TOTAL EXPENSES		0.00	
TOTAL REVENUE OVER/(UNDER) EXPENSES		<u>1,616.46</u>	
TOTAL EQUITY & REV. OVER/(UNDER) EXP.			<u>11,503.93</u>
TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.			<u>11,494.93</u>
=====			

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

320-COURT TECHNOLOGY FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
<u>ASSETS</u>			
=====			
320-1000	CLAIM ON POOLED CASH	<u>10,876.30</u>	<u>10,876.30</u>
TOTAL ASSETS			<u>10,876.30</u>
=====			
<u>LIABILITIES</u>			
=====			
320-2000	ACCOUNTS PAYABLE POOLED	0.00	
320-2008	ACCOUNTS PAYABLE OTHER	23.33	
320-2050	APPEARANCE BOND RESERVE	(16.00)	
320-2060	Retirement Payout Reserve	0.00	
320-2140	Vehicle Financing Notes	<u>0.00</u>	
TOTAL LIABILITIES			<u>7.33</u>
=====			
<u>EQUITY</u>			
=====			
320-3450	FUND BALNCE - COURT TECH	<u>9,564.22</u>	
TOTAL BEGINNING EQUITY		<u>9,564.22</u>	
TOTAL REVENUE		1,332.03	
TOTAL EXPENSES		<u>27.28</u>	
TOTAL REVENUE OVER/(UNDER) EXPENSES		<u>1,304.75</u>	
TOTAL EQUITY & REV. OVER/(UNDER) EXP.			<u>10,868.97</u>
TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.			<u>10,876.30</u>
=====			

CITY OF ROLLINGWOOD
 BALANCE SHEET
 AS OF: MARCH 31ST, 2023

330-COURT EFFICIENCY FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE		
ASSETS				
=====				
330-1000	CLAIM ON POOLED CASH	114.31		
			<u>114.31</u>	
	TOTAL ASSETS			<u>114.31</u>
LIABILITIES				
=====				
330-2000	ACCOUNTS PAYABLE POOLED	0.00		
330-2060	Retirement Payout Reserve	0.00		
330-2140	Vehicle Financing Notes	0.00		
	TOTAL LIABILITIES		<u>0.00</u>	
EQUITY				
=====				
330-3000	FUND BALANCE-UNAPPROPRATED	114.31		
	TOTAL BEGINNING EQUITY		<u>114.31</u>	
	TOTAL REVENUE	0.00		
	TOTAL EXPENSES	0.00		
	TOTAL REVENUE OVER/(UNDER) EXPENSES		<u>0.00</u>	
	TOTAL EQUITY & REV. OVER/(UNDER) EXP.		<u>114.31</u>	
	TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.			<u>114.31</u>
				=====

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

430-DEBT SERVICE FUND 2014

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
430-1000	CLAIM ON POOLED CASH	168,618.99	
430-1007	CASH-DS SR2014 GO STREETS	(1.34)	
430-1009	CASH-DS SR2014 WATER IMPROV	1.34	
430-1206	ALLOWANCE FOR DOUBTFUL COLL	(813.24)	
430-1230	TAXES RECEIVABLE	<u>17,002.26</u>	
			<u>184,808.01</u>
TOTAL ASSETS			<u>184,808.01</u>
LIABILITIES			
=====			
430-2000	ACCOUNTS PAYABLE POOLED	0.00	
430-2060	Retirement Payout Reserve	0.00	
430-2140	Vehicle Financing Notes	0.00	
430-2250	DEFERRED TAX REV-DELINQUENT TX	<u>16,189.02</u>	
	TOTAL LIABILITIES		<u>16,189.02</u>
EQUITY			
=====			
430-3000	FUND BALANCE-UNAPPROPRATED	<u>757.93</u>	
	TOTAL BEGINNING EQUITY	<u>757.93</u>	
TOTAL REVENUE		200,236.06	
TOTAL EXPENSES		<u>32,375.00</u>	
TOTAL REVENUE OVER/(UNDER) EXPENSES		<u>167,861.06</u>	
TOTAL EQUITY & REV. OVER/(UNDER) EXP.			<u>168,618.99</u>
TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.			<u>184,808.01</u>
=====			

CITY OF ROLLINGWOOD
 BALANCE SHEET
 AS OF: MARCH 31ST, 2023

440-DEBT SERVICE FUND 2012

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
<u>ASSETS</u>			
=====			
440-1000	CLAIM ON POOLED CASH	<u>311,079.84</u>	<u>311,079.84</u>
	TOTAL ASSETS		<u>311,079.84</u>
=====			
<u>LIABILITIES</u>			
=====			
440-2000	ACCOUNTS PAYABLE POOLED	0.00	
440-2060	Retirement Payout Reserve	0.00	
440-2140	Vehicle Financing Notes	<u>0.00</u>	
	TOTAL LIABILITIES		<u>0.00</u>
=====			
<u>EQUITY</u>			
=====			
440-3000	FUND BALANCE-UNAPPROPRATED	<u>773.56</u>	
	TOTAL BEGINNING EQUITY	<u>773.56</u>	
	TOTAL REVENUE	314,623.78	
	TOTAL EXPENSES	<u>4,317.50</u>	
	TOTAL REVENUE OVER/(UNDER) EXPENSES	<u>310,306.28</u>	
	TOTAL EQUITY & REV. OVER/(UNDER) EXP.		<u>311,079.84</u>
	TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.		<u>311,079.84</u>
=====			

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

450-DEBT SERVICE FUND 2019

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
450-1000	CLAIM ON POOLED CASH	<u>263,447.98</u>	<u>263,447.98</u>
TOTAL ASSETS			<u>263,447.98</u>
=====			
LIABILITIES			
=====			
450-2000	ACCOUNTS PAYABLE POOLED	0.00	
450-2060	Retirement Payout Reserve	0.00	
450-2140	Vehicle Financing Notes	<u>0.00</u>	
TOTAL LIABILITIES			<u>0.00</u>
=====			
EQUITY			
=====			
450-3000	FUND BALANCE-UNAPPROPRATED	(1,263.25)	
TOTAL BEGINNING EQUITY		(1,263.25)	
TOTAL REVENUE		412,536.23	
TOTAL EXPENSES		<u>147,825.00</u>	
TOTAL REVENUE OVER/(UNDER) EXPENSES		264,711.23	
TOTAL EQUITY & REV. OVER/(UNDER) EXP.			<u>263,447.98</u>
TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.			<u>263,447.98</u>
=====			

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

460-DEBT SERVICE FUND 2020

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
<u>ASSETS</u>			
=====			
460-1000	CLAIM ON POOLED CASH	<u>308,015.83</u>	<u>308,015.83</u>
TOTAL ASSETS			<u>308,015.83</u>
<u>LIABILITIES</u>			
=====			
460-2000	ACCOUNTS PAYABLE POOLED	0.00	
460-2060	Retirement Payout Reserve	0.00	
460-2140	Vehicle Financing Notes	<u>0.00</u>	
TOTAL LIABILITIES			<u>0.00</u>
<u>EQUITY</u>			
=====			
460-3000	FUND BALANCE-UNAPPROPRATED	4,202.99	
TOTAL BEGINNING EQUITY		<u>4,202.99</u>	
TOTAL REVENUE		316,200.34	
TOTAL EXPENSES		<u>12,387.50</u>	
TOTAL REVENUE OVER/ (UNDER) EXPENSES		<u>303,812.84</u>	
TOTAL EQUITY & REV. OVER/ (UNDER) EXP.			<u>308,015.83</u>
TOTAL LIABILITIES, EQUITY & REV.OVER/ (UNDER) EXP.			<u>308,015.83</u>

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

702-DRAINAGE FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
702-1000	CLAIM ON POOLED CASH	(227,725.76)
702-1016	MERCHANT ACCT CASH	6,275.00
702-1200	DUE FROM GENERAL FUND	<u>69,387.00</u>
		(152,063.76)
TOTAL ASSETS		<u>(152,063.76)</u>
LIABILITIES		
=====		
702-2000	ACCOUNTS PAYABLE POOLED	0.00
702-2008	ACCOUNTS PAYABLE - OTHER	0.00
702-2060	Retirement Payout Reserve	0.00
702-2140	Vehicle Financing Notes	0.00
702-2141	RES STORM DISCHA PERMIT-ZONE 7	0.00
702-2143	RES STORM DISCHA PERMIT-ZONE 1	3,500.00
702-2144	RES STORM DISCHA PERMIT-ZONE 4	<u>37,384.00</u>
	TOTAL LIABILITIES	<u>40,884.00</u>
EQUITY		
=====		
702-3000	FUND BALANCE-UNAPPROPRATED	(112,706.10)
	TOTAL BEGINNING EQUITY	<u>(112,706.10)</u>
TOTAL REVENUE		18,000.00
TOTAL EXPENSES		<u>98,241.66</u>
TOTAL REVENUE OVER/(UNDER) EXPENSES		<u>(80,241.66)</u>
TOTAL EQUITY & REV. OVER/(UNDER) EXP.		<u>(192,947.76)</u>
TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.		<u>(152,063.76)</u>
		=====

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
ASSETS		
=====		
800-1000	CLAIM ON POOLED CASH	399,629.86
800-1030	TEX-POOL	309,992.95
800-1031	NET PENSION	(24,642.00)
800-1141	DEFERRED OUTFLOW OF RESOURCES	21,589.32
800-1142	DEFERRED OUTFLOWS-OPEB	2,392.00
800-1200	ACCOUNTS RECEIVABLE	99,056.28
800-1205	ALLOWANCE FOR UNCOLLECTIBLE	(6,994.87)
800-1213	MIRA VISTA PUD LIVE OAK	805.97
800-1215	OTHER RECEIVABLES (WATER)	560.73
800-1216	MIRA VISTA PUD RECEIVABLE	1,043.95
800-1217	CENCOR PUD RECEIVABLE	9,174.48
800-1218	ENDEAVOR PUD RECEIVABLE	10,760.87
800-1219	RESTITUTION RECEIVABLE	921.33
800-1611	ACCUM DEPREC - BUILDING	(3,440.00)
800-1615	LINE IMPROVEMENTS	194,039.50
800-1616	WASTEWATER SYSTEM	12,262,665.58
800-1620	EQUIPMENT	99,957.22
800-1628	ACCUM DEPREC = MAINT & OFFICE	(1,927,247.09)
800-1630	ACCUM DEPREC - EQUIPMENT	(1,152,338.88)
800-1721	LAND IMPROVEMENTS	43,000.00
		<u>10,340,927.20</u>
TOTAL ASSETS		<u>10,340,927.20</u>
=====		
LIABILITIES		
=====		
800-2000	ACCOUNTS PAYABLE POOLED	0.00
800-2008	ACCOUNTS PAYABLE OTHER	21,717.33
800-2010	HEALTH INSURANCE PAYABLE	800.37
800-2012	AFLAC INSURANCE PAYABLE	0.00
800-2016	EMPLOYEE 457 CONTRIB PAYABL	0.00
800-2020	FEDERAL WH PAYABLE	(545.09)
800-2030	UNEMPLOYMENT TAX PAYABLE	(533.69)
800-2035	SOC SEC/MEDICARE PAYABLE	620.50
800-2060	Retirement Payout Reserve	0.00
800-2080	TMRS RETIREMENT PAYABLE	(1,436.65)
800-2090	DEPERRED REV- PAVING ASSESS	0.00
800-2091	DEFERRED REVENUE-PAVING ASSES	323.48
800-2110	COMPENSATED ABSENCE PAYABLE	9,956.26
800-2115	WAGES PAYABLE	0.00
800-2122	ACCRUED INTEREST PAYABLE	53,264.00
800-2124	BONDS PAYABLE-SR2012A	605,000.00
800-2135	BONDS PAYABLE-2019 REFUNDING	9,150,000.00
800-2136	BOND PREMIUM-2019 REFUNDING	500,339.53
800-2140	DEFERRED INFLOWS OF RESOURCES	15,078.00
800-2142	RES STORM DISCHA PERMIT-ZONE 8	186.00
800-2145	OPEB LIABILITY	8,889.00
TOTAL LIABILITIES		<u>10,363,659.04</u>

CITY OF ROLLINGWOOD
BALANCE SHEET
AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE
<u>EQUITY</u>		
800-3000	FUND BALANCE-UNAPPROPRATED	(48,764.08)
800-3030	AMOUNT TO BE PROVIDED FOR	(105,000.00)
800-3451	RESERVE FOR COURT SECURITY	(137,476.19)
800-3600	INVEST IN FA NET RELATED DEBT	136,933.00
	TOTAL BEGINNING EQUITY	(154,307.27)
	TOTAL REVENUE	506,737.94
	TOTAL EXPENSES	375,162.51
	TOTAL REVENUE OVER/(UNDER) EXPENSES	131,575.43
	TOTAL EQUITY & REV. OVER/(UNDER) EXP.	(22,731.84)
	TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.	10,340,927.20

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

Page 271
 100-GENERAL FUND
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
ADMINISTRATION	2,550,573.00	78,345.35	1,973,004.38	77.36	577,568.62
DEVELOPMENT SERVICES	150,000.00	15,179.50	74,360.00	49.57	75,640.00
UTILITY BILLING	126,000.00	0.00	0.00	0.00	126,000.00
STREETS	256,115.00	14,136.84	87,152.25	34.03	168,962.75
POLICE	2,250.00	170.00	1,380.00	61.33	870.00
COURT	33,250.00	7,879.51	36,320.12	109.23 (	3,070.12)
PARK DEPARTMENT	39,200.00	2,342.00	6,700.00	17.09	32,500.00
TOTAL REVENUES	3,157,388.00	118,053.20	2,178,916.75	69.01	978,471.25
<u>EXPENDITURE SUMMARY</u>					
ADMINISTRATION	722,145.00	101,765.84	315,124.35	43.64	407,020.65
DEVELOPMENT SERVICES	223,989.00	40,596.33	147,263.58	65.75	76,725.42
SANITATION	148,000.00	0.00	36,362.96	24.57	111,637.04
UTILITY BILLING	131,207.00	9,226.23	41,369.86	31.53	89,837.14
STREETS	256,115.00	16,953.30	60,137.68	23.48	195,977.32
POLICE	1,430,756.47	168,360.58	730,319.35	51.04	700,437.12
COURT	96,715.00	8,584.36	45,025.08	46.55	51,689.92
PARK DEPARTMENT	112,440.00	6,301.17	46,529.03	41.38	65,910.97
PUBLIC WORKS	27,050.00	566.94	7,143.95	26.41	19,906.05
TOTAL EXPENDITURES	3,148,417.47	352,354.75	1,429,275.84	45.40	1,719,141.63
REVENUES OVER/ (UNDER) EXPENDITURES	8,970.53 (	234,301.55)	749,640.91	(	740,670.38)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
ADMINISTRATION					
TAXES					
100-4-10-4000 CURRENT PROPERTY TAXES	1,391,320.00	6,400.77	1,374,688.42	98.80	16,631.58
100-4-10-4020 PENALTY & INTEREST ON TAXES	6,000.00	520.14	23,137.73	385.63 (	17,137.73)
100-4-10-4030 GROSS RECEIPTS TAX (GAS)	20,000.00	0.00	8,174.33	40.87	11,825.67
100-4-10-4035 TELECOMMUNICATIONS TAX	20,000.00	0.00	11,363.02	56.82	8,636.98
100-4-10-4036 MIXED BEVERAGE TAX	5,000.00	450.93	2,819.83	56.40	2,180.17
100-4-10-4037 4-B SALES TAX	200,000.00	13,590.70	87,032.52	43.52	112,967.48
100-4-10-4040 CITY SALES TAX	625,000.00	54,362.81	348,130.09	55.70	276,869.91
100-4-10-4050 FRANCHISE TAX (CABLE TV)	5,000.00	0.00	2,043.85	40.88	2,956.15
100-4-10-4051 ELECT UTIL FRANCHISE FEE	90,000.00	0.00	52,752.67	58.61	37,247.33
TOTAL TAXES	2,362,320.00	75,325.35	1,910,142.46	80.86	452,177.54
CHARGE FOR SERVICES					
100-4-10-4209 RCDC ADMINISTRATION FEES	77,000.00	0.00	0.00	0.00	77,000.00
100-4-10-4236 WATER FUND ADMIN FEE	40,000.00	0.00	0.00	0.00	40,000.00
100-4-10-4237 WASTEWATER FD ADMIN FEE	28,000.00	0.00	0.00	0.00	28,000.00
TOTAL CHARGE FOR SERVICES	145,000.00	0.00	0.00	0.00	145,000.00
LICENSE & PERMITS					
100-4-10-4316 SOLICITAION PERMIT FEES	100.00	0.00	0.00	0.00	100.00
TOTAL LICENSE & PERMITS	100.00	0.00	0.00	0.00	100.00
INVESTMENT INCOME					
100-4-10-4400 INTEREST INCOME	400.00	1,108.76	3,910.31	977.58 (	3,510.31)
100-4-10-4401 INTEREST INCOME - CHECKING	750.00	248.67	1,024.50	136.60 (	274.50)
100-4-10-4405 INTEREST INCOME - TAX NOTES	500.00	170.35	999.89	199.98 (	499.89)
TOTAL INVESTMENT INCOME	1,650.00	1,527.78	5,934.70	359.68 (	4,284.70)
MISCELLANEOUS REVENUE					
100-4-10-4540 MISCELLANEOUS RECEIPTS	50.00	0.00	435.00	870.00 (	385.00)
100-4-10-4565 GRANT REVENUES	0.00	0.00	0.00	0.00	0.00
100-4-10-4566 Opioid Settlement Distribution	0.00	1,492.22	1,492.22	0.00 (	1,492.22)
100-4-10-4578 PROCEEDS FROM CAPITAL LEASE	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	50.00	1,492.22	1,927.22	3,854.44 (	1,877.22)
OTHER REVENUE					
100-4-10-4700 UNEXPENDED BALANCE TRANSFER	41,453.00	0.00	0.00	0.00	41,453.00
100-4-10-4738 ACL Revenues	0.00	0.00	55,000.00	0.00 (	55,000.00)
TOTAL OTHER REVENUE	41,453.00	0.00	55,000.00	132.68 (	13,547.00)
TOTAL ADMINISTRATION	2,550,573.00	78,345.35	1,973,004.38	77.36	577,568.62

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

	50.00% OF FISCAL YEAR				
REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
DEVELOPMENT SERVICES					
=====					
CHARGE FOR SERVICES					
100-4-15-4210 BOARD OF ADJUSTMENT FEES	0.00	0.00	0.00	0.00	0.00
TOTAL CHARGE FOR SERVICES	0.00	0.00	0.00	0.00	0.00
LICENSE & PERMITS					
100-4-15-4301 TREE REMOVAL AND REPLACEMENT	7,500.00	415.00	2,375.00	31.67	5,125.00
100-4-15-4302 INSPECTIONS	40,000.00	4,300.00	26,975.25	67.44	13,024.75
100-4-15-4303 BUILDING FEES	100,000.00	10,444.50	42,939.75	42.94	57,060.25
100-4-15-4304 ZONING CHANGE	0.00	0.00	0.00	0.00	0.00
100-4-15-4305 SIGN FEES	0.00	0.00	250.00	0.00	(250.00)
100-4-15-4306 EMERGENCY & UTILITIES PERMITS	0.00	0.00	0.00	0.00	0.00
100-4-15-4307 Application Filing Fee	0.00	20.00	20.00	0.00	(20.00)
100-4-15-4308 Publish / Notice Fee	0.00	0.00	0.00	0.00	0.00
100-4-15-4310 PLAT FEES	2,000.00	0.00	1,800.00	90.00	200.00
100-4-15-4311 VARIANCE FEES	500.00	0.00	0.00	0.00	500.00
TOTAL LICENSE & PERMITS	150,000.00	15,179.50	74,360.00	49.57	75,640.00
TOTAL DEVELOPMENT SERVICES	150,000.00	15,179.50	74,360.00	49.57	75,640.00
UTILITY BILLING					
=====					
MISCELLANEOUS REVENUE					
100-4-25-4579 WATER REVENUE-TRANSFER IN	63,000.00	0.00	0.00	0.00	63,000.00
100-4-25-4580 WASTEWATER REV-TRANSFER IN	63,000.00	0.00	0.00	0.00	63,000.00
TOTAL MISCELLANEOUS REVENUE	126,000.00	0.00	0.00	0.00	126,000.00
TOTAL UTILITY BILLING	126,000.00	0.00	0.00	0.00	126,000.00
STREETS					
=====					
OTHER REVENUE					
100-4-30-4721 TRANSFER FROM STREET MAINT	256,115.00	14,136.84	87,152.25	34.03	168,962.75
100-4-30-4722 UNEXPENDED BALANCE TRANSFER	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER REVENUE	256,115.00	14,136.84	87,152.25	34.03	168,962.75
TOTAL STREETS	256,115.00	14,136.84	87,152.25	34.03	168,962.75
POLICE					
=====					

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
MISCELLANEOUS REVENUE					
100-4-40-4542 POLICE MISCELLANEOUS REVENUE	250.00	10.00	60.00	24.00	190.00
100-4-40-4558 VEHICLE OPERATIONS	1,000.00	160.00	1,320.00	132.00 (	320.00)
100-4-40-4567 LEOSE FUNDS	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL MISCELLANEOUS REVENUE	2,250.00	170.00	1,380.00	61.33	870.00
TOTAL POLICE	2,250.00	170.00	1,380.00	61.33	870.00
COURT					
COURT REVENUE					
100-4-50-4100 COURT FINES	25,000.00	5,703.10	26,959.48	107.84 (	1,959.48)
100-4-50-4101 COLLECTION AGENCY FEES	1,000.00	399.57	804.54	80.45	195.46
100-4-50-4105 MUNI COURT BLDG SECURITY	50.00	0.00	0.00	0.00	50.00
100-4-50-4110 ADMINISTRATIVE COURT FEES	2,500.00	889.65	4,160.50	166.42 (	1,660.50)
100-4-50-4127 DRIVER SAFETY COURSE ADM FEE	100.00	0.00	0.00	0.00	100.00
100-4-50-4128 TRUANCY PREVENTION FUND	1,000.00	340.85	1,638.84	163.88 (	638.84)
100-4-50-4155 CHILD SAFETY REVENUE	2,000.00	123.53	836.17	41.81	1,163.83
100-4-50-4190 TRUANCY PREVENTION & DIVERSI	0.00	0.00	0.00	0.00	0.00
100-4-50-4191 MUNICIPAL COURT TECHNOLOGY	0.00	0.00	0.00	0.00	0.00
100-4-50-4192 MUNICIPAL JURY FUND	50.00	6.66	32.36	64.72	17.64
TOTAL COURT REVENUE	31,700.00	7,463.36	34,431.89	108.62 (	2,731.89)
MISCELLANEOUS REVENUE					
100-4-50-4526 CREDIT-DEBIT CARD FEES	1,500.00	416.15	1,888.23	125.88 (	388.23)
100-4-50-4540 MISCELLANEOUS RECEIPTS	50.00	0.00	0.00	0.00	50.00
TOTAL MISCELLANEOUS REVENUE	1,550.00	416.15	1,888.23	121.82 (	338.23)
TOTAL COURT	33,250.00	7,879.51	36,320.12	109.23 (	3,070.12)
PARK DEPARTMENT					
LICENSE & PERMITS					
100-4-55-4319 COMMERCIAL PARK PERMITS	5,000.00	2,342.00	6,450.00	129.00 (	1,450.00)
100-4-55-4320 FIELD LEASE	34,000.00	0.00	0.00	0.00	34,000.00
TOTAL LICENSE & PERMITS	39,000.00	2,342.00	6,450.00	16.54	32,550.00
MISCELLANEOUS REVENUE					
100-4-55-4523 DONATIONS-COMM EDUC GARGEN	100.00	0.00	0.00	0.00	100.00
100-4-55-4555 DONATIONS - PARK	100.00	0.00	250.00	250.00 (	150.00)
TOTAL MISCELLANEOUS REVENUE	200.00	0.00	250.00	125.00 (	50.00)
TOTAL PARK DEPARTMENT	39,200.00	2,342.00	6,700.00	17.09	32,500.00
TOTAL REVENUES	3,157,388.00	118,053.20	2,178,916.75	69.01	978,471.25

CITY OF ROLLINGWOOD
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
ADMINISTRATION					
PERSONNEL					
100-5-10-5000 SALARY	107,936.00	6,213.69	38,366.34	35.55	69,569.66
100-5-10-5002 HOLIDAY COMPENSATION	5,000.00	0.00	5,000.04	100.00 (	0.04)
100-5-10-5009 RETIREMENT PAYOUT RESERVE	15,000.00	0.00	0.00	0.00	15,000.00
100-5-10-5010 TRAINING	10,000.00	15.00	1,690.87	16.91	8,309.13
100-5-10-5020 HEALTH INSURANCE	11,900.00	503.44	3,009.65	25.29	8,890.35
100-5-10-5030 WORKERS COMP INSURANCE	3,000.00	0.00	1,586.82	52.89	1,413.18
100-5-10-5035 SOCIAL SECURITY/MEDICARE	8,257.00	744.63	3,810.13	46.14	4,446.87
100-5-10-5040 UNEMPLOYMENT COMP INSUR	100.00	27.12	376.90	376.90 (	276.90)
100-5-10-5050 TX MUNICIPAL RETIREMENT SYS	12,952.00	2,700.28	7,192.37	55.53	5,759.63
100-5-10-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	174,145.00	10,204.16	61,033.12	35.05	113,111.88
SUPPLIES & OPERATION EXP					
100-5-10-5101 FAX / COPIER	2,500.00	550.57	1,474.81	58.99	1,025.19
100-5-10-5103 PRINTING & REPRODUCTION	3,000.00	881.09	1,068.65	35.62	1,931.35
100-5-10-5110 POSTAGE	2,000.00	520.99	1,551.11	77.56	448.89
100-5-10-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-10-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-10-5120 SUBSCRIPTIONS & MEMBERSHIPS	5,000.00	1,561.00	3,872.39	77.45	1,127.61
100-5-10-5125 TRAVEL	3,000.00	0.00	62.89	2.10	2,937.11
100-5-10-5140 TELEPHONE	3,500.00	214.66	1,013.46	28.96	2,486.54
100-5-10-5157 RECORDS MANAGEMENT	3,000.00	1,195.88	2,419.95	80.67	580.05
100-5-10-5158 OFFICE SUPPLIES	6,000.00	766.60	3,339.53	55.66	2,660.47
100-5-10-5198 Maint & Supplies - Janitorial	6,000.00	647.27	2,797.27	46.62	3,202.73
TOTAL SUPPLIES & OPERATION EXP	34,000.00	6,338.06	17,600.06	51.76	16,399.94
CONTRACTUAL SERVICES					
100-5-10-5201 COLLECTION AGENCY FEES	0.00	0.00	0.00	0.00	0.00
100-5-10-5204 LEGAL SERVICES - MOPAC	0.00	0.00	0.00	0.00	0.00
100-5-10-5207 LEGAL SERVICES - CODE REVIEW	0.00	0.00	0.00	0.00	0.00
100-5-10-5210 LEGAL SERVICES	90,000.00	26,814.96	42,006.95	46.67	47,993.05
100-5-10-5211 LEGAL SERVICES - PPIA	7,500.00	2,943.00	4,158.00	55.44	3,342.00
100-5-10-5214 EMERGENCY NOTIFICATION SYS	2,400.00	0.00	1,275.00	53.13	1,125.00
100-5-10-5217 PAYROLL SERVICES	5,000.00	545.78	3,764.41	75.29	1,235.59
100-5-10-5226 DRUG TESTING	100.00	0.00	35.00	35.00	65.00
100-5-10-5230 AUDIT	20,000.00	10,424.00	15,234.00	76.17	4,766.00
100-5-10-5231 HEALTH FEE / TRAVIS COUNTY	1,500.00	0.00	0.00	0.00	1,500.00
100-5-10-5236 COMMUNICATIONS & OUTREACH	15,000.00	667.67	8,317.22	55.45	6,682.78
100-5-10-5237 TAX ASSESSMENT / COLLECTION	2,500.00	0.00	0.00	0.00	2,500.00
100-5-10-5240 INSURANCE - PROP & GEN LIAB	10,650.00	0.00	10,489.70	98.49	160.30
100-5-10-5250 INSURANCE - OFFICIAL LIABILITY	4,000.00	0.00	3,772.02	94.30	227.98
100-5-10-5258 ACL Event	10,500.00	0.00	2,750.00	26.19	7,750.00
100-5-10-5260 APPRAISAL DISTRICT - T/C	10,000.00	2,832.84	5,665.68	56.66	4,334.32
100-5-10-5270 ENGINEERING SERVICES	20,000.00	5,828.75	15,952.50	79.76	4,047.50
TOTAL CONTRACTUAL SERVICES	199,150.00	50,057.00	113,420.48	56.95	85,729.52

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>MISCELLANEOUS OTHER EXP</u>					
100-5-10-5300 COMPUTER SOFTWARE & SUPP	50,000.00	5,424.47	28,911.59	57.82	21,088.41
100-5-10-5301 PUBLIC MEETINGS TECHNOLOGY	14,000.00	160.00	1,099.80	7.86	12,900.20
100-5-10-5302 WEBSITE SUPPORT	5,500.00	0.00	3,670.00	66.73	1,830.00
100-5-10-5303 Public Information Requests	0.00	0.00	600.00	0.00 (	600.00)
100-5-10-5309 INCODE SOFTWARE	5,000.00	0.00	3,258.63	65.17	1,741.37
100-5-10-5311 IT SERVICES TPIA	2,000.00	0.00	0.00	0.00	2,000.00
100-5-10-5325 ELECTION SERVICES	2,000.00	0.00	548.88	27.44	1,451.12
100-5-10-5330 ELECTION PUBLIC NOTICES	1,000.00	0.00	20.55	2.06	979.45
100-5-10-5331 ADVERTISING	2,000.00	0.00	10,561.80	528.09 (	8,561.80)
100-5-10-5332 COMPREHENSIVE LR PLAN	0.00	0.00	0.00	0.00	0.00
100-5-10-5340 MISCELLANEOUS	0.00	186.35	452.16	0.00 (	452.16)
100-5-10-5341 ZILKER CLUBHOUSE	1,350.00	0.00	0.00	0.00	1,350.00
100-5-10-5342 OAK WILT TREATMENT & PREVENTIO	30,000.00	0.00	0.00	0.00	30,000.00
TOTAL MISCELLANEOUS OTHER EXP	112,850.00	5,770.82	49,123.41	43.53	63,726.59
<u>CAPITAL OUTLAY</u>					
100-5-10-5400 TRANSFER TO DRAINAGE FUND	0.00	0.00	0.00	0.00	0.00
100-5-10-5413 FURNITURE	1,000.00	0.00	505.46	50.55	494.54
100-5-10-5414 COMPUTERS	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL CAPITAL OUTLAY	2,000.00	0.00	505.46	25.27	1,494.54
<u>OTHER NON-DEPARTMENTAL</u>					
100-5-10-5525 4B SALES TAX ALLOCATION	200,000.00	29,395.80	73,441.82	36.72	126,558.18
TOTAL OTHER NON-DEPARTMENTAL	200,000.00	29,395.80	73,441.82	36.72	126,558.18
TOTAL ADMINISTRATION	722,145.00	101,765.84	315,124.35	43.64	407,020.65
<u>DEVELOPMENT SERVICES</u>					
<u>PERSONNEL</u>					
100-5-15-5000 SALARY	91,915.00	8,232.12	35,633.69	38.77	56,281.31
100-5-15-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-15-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-15-5010 TRAINING	2,000.00	0.00	1,070.00	53.50	930.00
100-5-15-5020 HEALTH INSURANCE	9,300.00	775.00	4,093.95	44.02	5,206.05
100-5-15-5030 WORKERS COMP INSURANCE	950.00	0.00	929.99	97.89	20.01
100-5-15-5035 SOCIAL SECURITY/MEDICARE	7,031.00	629.76	2,498.22	35.53	4,532.78
100-5-15-5040 UNEMPLOYMENT COMP INSUR	113.00	0.00	0.00	0.00	113.00
100-5-15-5050 TX MUNICIPAL RETIREMENT SYS	11,030.00	1,015.86	4,334.84	39.30	6,695.16
100-5-15-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	122,339.00	10,652.74	48,560.69	39.69	73,778.31
<u>SUPPLIES & OPERATION EXP</u>					
100-5-15-5101 FAX / COPIER	100.00	0.00	0.00	0.00	100.00
100-5-15-5103 PRINTING & REPRODUCTION	350.00	93.78	2,862.45	817.84 (	2,512.45)
100-5-15-5110 POSTAGE	700.00	0.00	0.00	0.00	700.00

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
100-5-15-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-15-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-15-5120 SUBSCRIPTIONS & MEMBERSHIPS	500.00	0.00	0.00	0.00	500.00
100-5-15-5125 TRAVEL	1,000.00	0.00	0.00	0.00	1,000.00
100-5-15-5140 TELEPHONE	1,000.00	71.55	340.66	34.07	659.34
100-5-15-5153 Credit Card Services	0.00	0.00	11,220.04	0.00 (	11,220.04)
100-5-15-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
100-5-15-5158 OFFICE SUPPLIES	200.00	7.03	34.80	17.40	165.20
100-5-15-5161 Tree Services	0.00 (	3,600.00)	0.00	0.00	0.00
100-5-15-5180 Signs and Barricades	800.00	0.00	0.00	0.00	800.00
100-5-15-5198 Office Supplies	0.00	49.00	49.00	0.00 (	49.00)
TOTAL SUPPLIES & OPERATION EXP	4,650.00 (	3,378.64)	14,506.95	311.98 (	9,856.95)
CONTRACTUAL SERVICES					
100-5-15-5200 BUILDING INSPECTION SERVICE	40,000.00	5,740.00	11,905.00	29.76	28,095.00
100-5-15-5201 Tech and GIS Services	0.00	0.00	0.00	0.00	0.00
100-5-15-5202 Publish / Notice Services	0.00	0.00	0.00	0.00	0.00
100-5-15-5210 LEGAL SERVICES	6,500.00	0.00	7,508.76	115.52 (	1,008.76)
100-5-15-5251 BUILDING PLAN REVIEWS	10,000.00	0.00	6,060.00	60.60	3,940.00
100-5-15-5252 ZONING REVIEWS	20,000.00	10,810.00	27,516.25	137.58 (	7,516.25)
100-5-15-5253 ARBORIST REVIEWS	2,500.00	4,350.00	4,350.00	174.00 (	1,850.00)
100-5-15-5257 MY PERMIT NOW	6,000.00	99.00	1,344.80	22.41	4,655.20
100-5-15-5270 ENGINEERING SERVICES	7,000.00	12,307.50	25,476.25	363.95 (	18,476.25)
100-5-15-5271 INTERIM DEVELOPMENT SERVICES	0.00	0.00	0.00	0.00	0.00
TOTAL CONTRACTUAL SERVICES	92,000.00	33,306.50	84,161.06	91.48	7,838.94
MISCELLANEOUS OTHER EXP					
100-5-15-5300 COMPUTER SOFTWARE & SUPPORT	4,000.00	15.73	34.88	0.87	3,965.12
100-5-15-5331 ADVERTISING	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL MISCELLANEOUS OTHER EXP	5,000.00	15.73	34.88	0.70	4,965.12
TOTAL DEVELOPMENT SERVICES	223,989.00	40,596.33	147,263.58	65.75	76,725.42
SANITATION					
CONTRACTUAL SERVICES					
100-5-20-5270 ENGINEERING SERVICES	0.00	0.00	0.00	0.00	0.00
100-5-20-5286 SPRING CLEAN-UP	1,000.00	0.00	0.00	0.00	1,000.00
100-5-20-5287 STORM DEBRIS AND CLEAN-UP	3,000.00	0.00	0.00	0.00	3,000.00
TOTAL CONTRACTUAL SERVICES	4,000.00	0.00	0.00	0.00	4,000.00
MISCELLANEOUS OTHER EXP					
100-5-20-5370 WASTE & DISPOSAL SERVICE	144,000.00	0.00	36,362.96	25.25	107,637.04
TOTAL MISCELLANEOUS OTHER EXP	144,000.00	0.00	36,362.96	25.25	107,637.04
TOTAL SANITATION	148,000.00	0.00	36,362.96	24.57	111,637.04

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
UTILITY BILLING					
PERSONNEL					
100-5-25-5000 SALARY	79,040.00	6,923.07	27,692.28	35.04	51,347.72
100-5-25-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-25-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-25-5010 TRAINING	1,000.00	0.00	0.00	0.00	1,000.00
100-5-25-5020 HEALTH INSURANCE	9,422.00	815.78	4,078.90	43.29	5,343.10
100-5-25-5030 WORKERS COMP INSURANCE	950.00	0.00	929.99	97.89	20.01
100-5-25-5035 SOCIAL SECURITY/MEDICARE	6,047.00	529.62	2,118.47	35.03	3,928.53
100-5-25-5040 UNEMPLOYMENT COMP INSUR	113.00	0.00	0.00	0.00	113.00
100-5-25-5050 TX MUNICIPAL RETIREMENT SYS	9,485.00	854.31	3,373.39	35.57	6,111.61
100-5-25-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	106,057.00	9,122.78	38,193.03	36.01	67,863.97
SUPPLIES & OPERATION EXP					
100-5-25-5101 FAX / COPIER	100.00	0.00	0.00	0.00	100.00
100-5-25-5103 PRINTING & REPRODUCTION	4,000.00	0.00	1,017.17	25.43	2,982.83
100-5-25-5110 POSTAGE	2,500.00	0.00	1,290.00	51.60	1,210.00
100-5-25-5120 SUBSCRIPTIONS & MEMBERSHIPS	500.00	0.00	0.00	0.00	500.00
100-5-25-5125 TRAVEL	500.00	0.00	0.00	0.00	500.00
100-5-25-5140 TELEPHONE	750.00	53.67	277.82	37.04	472.18
100-5-25-5158 OFFICE SUPPLIES	600.00	21.09	60.85	10.14	539.15
TOTAL SUPPLIES & OPERATION EXP	8,950.00	74.76	2,645.84	29.56	6,304.16
CONTRACTUAL SERVICES					
100-5-25-5202 T TECH FEES	200.00	0.00	0.00	0.00	200.00
100-5-25-5210 LEGAL SERVICES	500.00	0.00	0.00	0.00	500.00
TOTAL CONTRACTUAL SERVICES	700.00	0.00	0.00	0.00	700.00
MISCELLANEOUS OTHER EXP					
100-5-25-5300 COMPUTER SOFTWARE/SUPPORT	15,000.00	28.69	530.99	3.54	14,469.01
100-5-25-5331 ADVERTISING	500.00	0.00	0.00	0.00	500.00
TOTAL MISCELLANEOUS OTHER EXP	15,500.00	28.69	530.99	3.43	14,969.01
TOTAL UTILITY BILLING	131,207.00	9,226.23	41,369.86	31.53	89,837.14
STREETS					
PERSONNEL					
100-5-30-5000 SALARY	56,819.00	5,768.90	21,216.30	37.34	35,602.70
100-5-30-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-30-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-30-5010 TRAINING	1,000.00	0.00	0.00	0.00	1,000.00
100-5-30-5020 HEALTH INSURANCE	7,765.00	343.63	1,525.43	19.64	6,239.57
100-5-30-5030 WORKERS COMP INSURANCE	1,400.00	0.00	1,370.52	97.89	29.48

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
100-5-30-5035 SOCIAL SECURITY/MEDICARE	4,347.00	441.33	1,662.39	38.24	2,684.61
100-5-30-5040 UNEMPLOYMENT COMP INSUR	81.00	0.00	0.00	0.00	81.00
100-5-30-5050 TX MUNICIPAL RETIREMENT SYS	6,818.00	1,310.87	3,508.87	51.46	3,309.13
100-5-30-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	78,230.00	7,864.73	29,283.51	37.43	48,946.49
SUPPLIES & OPERATION EXP					
100-5-30-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100-5-30-5103 PRINTING & REPRODUCTION	0.00	0.00	0.00	0.00	0.00
100-5-30-5110 POSTAGE	0.00	0.00	0.00	0.00	0.00
100-5-30-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-30-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-30-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
100-5-30-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-30-5130 UTILITIES	2,200.00	191.20	1,053.34	47.88	1,146.66
100-5-30-5140 TELEPHONE	1,000.00	35.78	146.98	14.70	853.02
100-5-30-5145 UNIFORMS & ACCESSORIES	1,500.00	0.00	487.63	32.51	1,012.37
100-5-30-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
100-5-30-5158 OFFICE SUPPLIES	0.00	0.00	0.00	0.00	0.00
100-5-30-5161 TREE TRIMMING SERVICE	21,500.00	8,400.00	8,400.00	39.07	13,100.00
100-5-30-5162 STREET SWEEPING	0.00	2,219.13	2,219.13	0.00	(2,219.13)
100-5-30-5171 EQUIPMENT	15,000.00	0.00	13,114.74	87.43	1,885.26
100-5-30-5180 SIGNS & BARRICADES	2,500.00	0.00	1,918.61	76.74	581.39
100-5-30-5181 EQUIPMENT RENTAL	5,000.00	0.00	837.01	16.74	4,162.99
100-5-30-5190 MATERIALS	2,500.00	318.86	445.91	17.84	2,054.09
100-5-30-5195 VEHICLE OPERATIONS	4,000.00	452.51	1,465.90	36.65	2,534.10
100-5-30-5196 VEHICLE MAINT & REPAIRS	750.00	136.23	(3,917.62)	522.35-	4,667.62
TOTAL SUPPLIES & OPERATION EXP	55,950.00	11,753.71	26,171.63	46.78	29,778.37
CONTRACTUAL SERVICES					
100-5-30-5255 VEHICLE INSURANCE	250.00	0.00	250.52	100.21	(0.52)
100-5-30-5270 ENGINEERING	23,000.00	92.50	138.75	0.60	22,861.25
100-5-30-5276 PAYING AGENT FEES	200.00	0.00	0.00	0.00	200.00
TOTAL CONTRACTUAL SERVICES	23,450.00	92.50	389.27	1.66	23,060.73
MISCELLANEOUS OTHER EXP					
100-5-30-5350 TOOLS/EQUIPMENT & REPAIR	5,000.00	119.81	317.54	6.35	4,682.46
100-5-30-5355 STREET MAINT & REPAIRS	90,000.00	346.13	3,981.86	4.42	86,018.14
TOTAL MISCELLANEOUS OTHER EXP	95,000.00	465.94	4,299.40	4.53	90,700.60
CAPITAL OUTLAY					
100-5-30-5494 Veh Fin Note - Debt Service	785.00	0.00	0.00	0.00	785.00
100-5-30-5495 NEW VEHICLE & OUTFITTING	2,700.00	(3,223.58)	(6.13)	0.23-	2,706.13
TOTAL CAPITAL OUTLAY	3,485.00	(3,223.58)	(6.13)	0.18-	3,491.13
TOTAL STREETS	256,115.00	16,953.30	60,137.68	23.48	195,977.32

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
POLICE					
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PERSONNEL					
100-5-40-5000 SALARY	804,351.00	90,189.51	408,488.61	50.78	395,862.39
100-5-40-5002 HOLIDAY COMPENSATION	27,000.00	4,494.00	25,505.65	94.47	1,494.35
100-5-40-5006 OVERTIME	13,000.00	2,803.16	4,704.82	36.19	8,295.18
100-5-40-5007 STIPEND	15,000.00	800.00	3,362.50	22.42	11,637.50
100-5-40-5009 RETIREMENT PAYOUT RESERVE	15,000.00	0.00	0.00	0.00	15,000.00
100-5-40-5010 TRAINING	10,000.00	0.00	648.08	6.48	9,351.92
100-5-40-5011 RESERVE OFFICER PAY	15,000.00	318.50	1,358.50	9.06	13,641.50
100-5-40-5012 LEOSE Training	897.00	0.00	0.00	0.00	897.00
100-5-40-5020 HEALTH INSURANCE	91,000.00	7,870.61	52,205.61	57.37	38,794.39
100-5-40-5030 WORKERS COMP INSURANCE	23,600.00	0.00	21,634.59	91.67	1,965.41
100-5-40-5035 SOCIAL SECURITY/MEDICARE	65,740.35	7,227.78	32,614.52	49.61	33,125.83
100-5-40-5040 UNEMPLOYMENT COMP INSUR	1,000.00	0.00	11.20	1.12	988.80
100-5-40-5050 TX MUNICIPAL RETIREMENT SYS	103,122.12	8,437.91	49,756.22	48.25	53,365.90
100-5-40-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
100-5-40-5070 POLICE PROFESSIONAL LIABILITY	8,500.00	0.00	7,829.22	92.11	670.78
TOTAL PERSONNEL	1,193,210.47	122,141.47	608,119.52	50.96	585,090.95
SUPPLIES & OPERATION EXP					
100-5-40-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100-5-40-5103 PRINTING & REPRODUCTION	1,600.00	0.00	0.00	0.00	1,600.00
100-5-40-5105 TICKET WRITERS	0.00	0.00	0.00	0.00	0.00
100-5-40-5106 TICKET WRITER FEES	2,500.00	0.00	0.00	0.00	2,500.00
100-5-40-5107 POLICE QUALIFICATIONS	3,000.00	0.00	0.00	0.00	3,000.00
100-5-40-5108 PROPERTY & EVIDENCE	1,000.00	0.00	76.83	7.68	923.17
100-5-40-5109 BICYCLE MAINTENANCE	250.00	0.00	0.00	0.00	250.00
100-5-40-5110 POSTAGE	250.00	0.00	0.00	0.00	250.00
100-5-40-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-40-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-40-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
100-5-40-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-40-5130 LEOSE FUNDS	0.00	0.00	0.00	0.00	0.00
100-5-40-5140 TELEPHONE	9,000.00	976.19	4,841.16	53.79	4,158.84
100-5-40-5143 POLICE CAR & ACCESSORIES	4,000.00	44.41	44.41	1.11	3,955.59
100-5-40-5144 POLICE SUPPLIES	3,000.00	126.33	594.69	19.82	2,405.31
100-5-40-5145 UNIFORMS & ACCESSORIES	7,500.00	581.39	1,518.82	20.25	5,981.18
100-5-40-5157 RECORDS MANAGEMENT	5,800.00	6,121.50	6,121.50	105.54 (	321.50)
100-5-40-5158 OFFICE SUPPLIES	1,000.00	191.16	590.48	59.05	409.52
100-5-40-5159 NATIONAL NIGHT OUT SUPPLIES	2,500.00	0.00	187.97	7.52	2,312.03
100-5-40-5185 COMMUNICATION EQUIP MAINT	1,000.00	0.00	0.00	0.00	1,000.00
100-5-40-5186 RADAR CERTIFICATION	250.00	160.00	160.00	64.00	90.00
100-5-40-5195 VEHICLE OPERATION	28,000.00	1,064.17	6,356.65	22.70	21,643.35
100-5-40-5196 VEHICLE MAINT & REPAIRS	5,000.00	157.50	1,392.52	27.85	3,607.48
TOTAL SUPPLIES & OPERATION EXP	75,650.00	9,422.65	21,885.03	28.93	53,764.97

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
CONTRACTUAL SERVICES					
100-5-40-5211 RADIO SERVICES	5,600.00	0.00	4,206.86	75.12	1,393.14
100-5-40-5216 DISPATCH SERVICES	29,979.00	29,979.00	29,979.00	100.00	0.00
100-5-40-5226 DRUG TESTING	200.00	40.00	80.00	40.00	120.00
100-5-40-5238 APPLICANT TESTING	1,000.00	10.21	0.00	0.00	1,000.00
100-5-40-5239 LABORATORY SERVICES	1,000.00	0.00	0.00	0.00	1,000.00
100-5-40-5255 VEHICLE INSURANCE	5,250.00	0.00	5,209.40	99.23	40.60
100-5-40-5258 ACL EVENT	34,000.00	0.00	39,328.24	115.67 (	5,328.24)
TOTAL CONTRACTUAL SERVICES	77,029.00	30,029.21	78,803.50	102.30 (	1,774.50)
MISCELLANEOUS OTHER EXP					
100-5-40-5300 COMPUTER SOFTWARE & SUPPORT	46,865.00	6,767.25	21,511.30	45.90	25,353.70
TOTAL MISCELLANEOUS OTHER EXP	46,865.00	6,767.25	21,511.30	45.90	25,353.70
CAPITAL OUTLAY					
100-5-40-5404 PD RADIOS	0.00	0.00	0.00	0.00	0.00
100-5-40-5411 VIDEO CAMERS & MICROPHONES	1,000.00	0.00	0.00	0.00	1,000.00
100-5-40-5414 COMPUTERS	3,000.00	0.00	0.00	0.00	3,000.00
100-5-40-5494 Vehicle Financing Note Debt Sv	34,002.00	0.00	0.00	0.00	34,002.00
100-5-40-5495 NEW VEHICLE & OUTFITTING	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	38,002.00	0.00	0.00	0.00	38,002.00
TOTAL POLICE	1,430,756.47	168,360.58	730,319.35	51.04	700,437.12
COURT					
PERSONNEL					
100-5-50-5000 SALARY	45,228.00	4,232.12	18,256.48	40.37	26,971.52
100-5-50-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-50-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-50-5010 TRAINING	1,000.00	0.00	250.00	25.00	750.00
100-5-50-5020 HEALTH INSURANCE	900.00	81.58	424.03	47.11	475.97
100-5-50-5030 WORKERS COMP INSURANCE	500.00	0.00	1,957.88	391.58 (	1,457.88)
100-5-50-5035 SOCIAL SECURITY/MEDICARE	3,460.00	438.50	1,968.32	56.89	1,491.68
100-5-50-5040 UNEMPLOYMENT COMP INSUR	200.00	0.00	0.00	0.00	200.00
100-5-50-5050 TX MUNICIPAL RETIREMENT SYS	5,427.00	522.24	2,220.67	40.92	3,206.33
100-5-50-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	56,715.00	5,274.44	25,077.38	44.22	31,637.62
SUPPLIES & OPERATION EXP					
100-5-50-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100-5-50-5103 PRINTING & REPRODUCTION	1,100.00	0.00	0.00	0.00	1,100.00
100-5-50-5110 POSTAGE	250.00	0.00	34.76	13.90	215.24
100-5-50-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-50-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-50-5120 SUBSCRIPTIONS & MEMBERSHIPS	100.00	0.00	507.00	507.00 (	407.00)
100-5-50-5125 TRAVEL	100.00	0.00	0.00	0.00	100.00

CITY OF ROLLINGWOOD
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
100-5-50-5140 TELEPHONE	1,500.00	107.34	479.14	31.94	1,020.86
100-5-50-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
100-5-50-5158 OFFICE SUPPLIES	250.00	8.78	54.38	21.75	195.62
TOTAL SUPPLIES & OPERATION EXP	3,300.00	116.12	1,075.28	32.58	2,224.72
CONTRACTUAL SERVICES					
100-5-50-5201 COLLECTION AGENCY FEES	1,000.00	0.00	137.70	13.77	862.30
100-5-50-5206 INCODE ONLINE PMT PROCESSING	5,000.00	433.45	2,846.56	56.93	2,153.44
100-5-50-5210 LEGAL SERVICES	10,000.00	1,008.82	2,917.32	29.17	7,082.68
100-5-50-5212 PRESIDING JUDGE EXPENSE	18,000.00	1,500.00	9,000.00	50.00	9,000.00
100-5-50-5213 INTERPRETER FEES	1,100.00	0.00	200.00	18.18	900.00
TOTAL CONTRACTUAL SERVICES	35,100.00	2,942.27	15,101.58	43.02	19,998.42
MISCELLANEOUS OTHER EXP					
100-5-50-5300 COMPUTER SOFTWARE & SUPPORT	1,600.00	251.53	3,770.84	235.68	(2,170.84)
TOTAL MISCELLANEOUS OTHER EXP	1,600.00	251.53	3,770.84	235.68	(2,170.84)
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TOTAL COURT	96,715.00	8,584.36	45,025.08	46.55	51,689.92
PARK DEPARTMENT					
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PERSONNEL					
100-5-55-5000 SALARY	36,930.00	2,596.82	11,150.62	30.19	25,779.38
100-5-55-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-55-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-55-5010 TRAINING	3,000.00	0.00	0.00	0.00	3,000.00
100-5-55-5020 HEALTH INSURANCE	4,853.00	127.02	758.43	15.63	4,094.57
100-5-55-5030 WORKERS COMP INSURANCE	1,020.00	0.00	978.94	95.97	41.06
100-5-55-5035 SOCIAL SECURITY/MEDICARE	2,825.00	198.66	852.66	30.18	1,972.34
100-5-55-5040 UNEMPLOYMENT COMP INSUR	45.00	0.00	0.00	0.00	45.00
100-5-55-5050 TX MUNICIPAL RETIREMENT SYS	4,432.00	820.45	1,856.61	41.89	2,575.39
100-5-55-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	53,105.00	3,742.95	15,597.26	29.37	37,507.74
SUPPLIES & OPERATION EXP					
100-5-55-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100-5-55-5103 PRINTING & REPRODUCTION	500.00	0.00	0.00	0.00	500.00
100-5-55-5110 POSTAGE	0.00	0.00	0.00	0.00	0.00
100-5-55-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-55-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-55-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
100-5-55-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-55-5130 UTILITIES	2,500.00	79.09	410.26	16.41	2,089.74
100-5-55-5140 TELEPHONE	0.00	0.00	8.20	0.00	(8.20)
100-5-55-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
100-5-55-5158 OFFICE SUPPLIES	250.00	8.78	39.86	15.94	210.14
100-5-55-5164 EQUIPMENT MAINT & REPAIRS	3,000.00	471.00	582.65	19.42	2,417.35
100-5-55-5171 EQUIPMENT	8,000.00	0.00	9,950.37	124.38	(1,950.37)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
100-5-55-5190 MATERIALS	6,500.00	1,019.45	1,400.27	21.54	5,099.73
100-5-55-5191 MAINTENANCE	8,000.00	0.00	3,441.50	43.02	4,558.50
100-5-55-5195 VEHICLE OPERATIONS	2,000.00	0.00	0.00	0.00	2,000.00
100-5-55-5196 VEHICLE MAINT & REPAIRS	1,000.00	113.09	113.09	11.31	886.91
100-5-55-5198 FIELDHOUSE SUP & MAINT-JANITOR	9,000.00	420.00	2,480.00	27.56	6,520.00
TOTAL SUPPLIES & OPERATION EXP	40,750.00	2,111.41	18,426.20	45.22	22,323.80
CONTRACTUAL SERVICES					
100-5-55-5255 VEHICLE INSURANCE	600.00	0.00	0.00	0.00	600.00
TOTAL CONTRACTUAL SERVICES	600.00	0.00	0.00	0.00	600.00
MISCELLANEOUS OTHER EXP					
100-5-55-5300 COMPUTER SOFTWARE & SUPPORT	500.00	0.96	4.36	0.87	495.64
100-5-55-5350 TOOLS/EQUIPMENT & REPAIR	1,000.00	445.85	538.81	53.88	461.19
TOTAL MISCELLANEOUS OTHER EXP	1,500.00	446.81	543.17	36.21	956.83
CAPITAL OUTLAY					
100-5-55-5455 IMPROV TO EXISTING PARK ASSETS	5,000.00	0.00	1,850.00	37.00	3,150.00
100-5-55-5456 PLANTS FOR WALKING TRAIL	0.00	0.00	0.00	0.00	0.00
100-5-55-5494 Veh Fin Note - Debt Service	785.00	0.00	0.00	0.00	785.00
100-5-55-5495 NEW VEHICLE & OUTFITTING	2,700.00	0.00	3,217.45	119.16	(517.45)
TOTAL CAPITAL OUTLAY	8,485.00	0.00	5,067.45	59.72	3,417.55
OTHER NON-DEPARTMENTAL					
100-5-55-5512 PLAYGROUND MULCH & MAINT	8,000.00	0.00	6,800.00	85.00	1,200.00
100-5-55-5515 MAINTENANCE BUILDING	0.00	0.00	94.95	0.00	(94.95)
TOTAL OTHER NON-DEPARTMENTAL	8,000.00	0.00	6,894.95	86.19	1,105.05
TOTAL PARK DEPARTMENT	112,440.00	6,301.17	46,529.03	41.38	65,910.97
PUBLIC WORKS					
SUPPLIES & OPERATION EXP					
100-5-65-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100-5-65-5103 PRINTING & REPRODUCTION	0.00	0.00	0.00	0.00	0.00
100-5-65-5110 POSTAGE	0.00	0.00	0.00	0.00	0.00
100-5-65-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-65-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-65-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
100-5-65-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-65-5130 UTILITIES	6,000.00	549.34	3,559.39	59.32	2,440.61
100-5-65-5140 TELEPHONE	300.00	21.47	98.97	32.99	201.03
100-5-65-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
100-5-65-5158 OFFICE SUPPLIES	1,000.00	35.13	437.31	43.73	562.69
100-5-65-5191 MAINTENANCE	0.00	0.00	0.00	0.00	0.00
TOTAL SUPPLIES & OPERATION EXP	7,300.00	605.94	4,095.67	56.11	3,204.33

CITY OF ROLLINGWOOD
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: MARCH 31ST, 2023

100-GENERAL FUND

	50.00% OF FISCAL YEAR				
DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
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CONTRACTUAL SERVICES					
100-5-65-5258 ACL EVENT	10,500.00	0.00	0.00	0.00	10,500.00
TOTAL CONTRACTUAL SERVICES	10,500.00	0.00	0.00	0.00	10,500.00
MISCELLANEOUS OTHER EXP					
100-5-65-5381 ANIMAL CONTROL/DISPOSAL	250.00	0.00	0.00	0.00	250.00
TOTAL MISCELLANEOUS OTHER EXP	250.00	0.00	0.00	0.00	250.00
CAPITAL OUTLAY					
100-5-65-5495 NEW VEHICLE & OUTFITTING	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00
OTHER NON-DEPARTMENTAL					
100-5-65-5515 MAINTENANCE BUILDING	9,000.00	(39.00)	3,048.28	33.87	5,951.72
TOTAL OTHER NON-DEPARTMENTAL	9,000.00	(39.00)	3,048.28	33.87	5,951.72
<hr/>					
TOTAL PUBLIC WORKS	27,050.00	566.94	7,143.95	26.41	19,906.05
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TOTAL EXPENDITURES	3,148,417.47	352,354.75	1,429,275.84	45.40	1,719,141.63
REVENUES OVER/(UNDER) EXPENDITURES	8,970.53	(234,301.55)	749,640.91		(740,670.38)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

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200-WATER FUND
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>1,354,350.00</u>	<u>79,689.49</u>	<u>587,675.51</u>	<u>43.39</u>	<u>766,674.49</u>
TOTAL REVENUES	<u>1,354,350.00</u>	<u>79,689.49</u>	<u>587,675.51</u>	<u>43.39</u>	<u>766,674.49</u>
<u>EXPENDITURE SUMMARY</u>					
NON-DEPARTMENTAL	<u>1,271,047.00</u>	<u>134,679.24</u>	<u>510,289.75</u>	<u>40.15</u>	<u>760,757.25</u>
TOTAL EXPENDITURES	<u>1,271,047.00</u>	<u>134,679.24</u>	<u>510,289.75</u>	<u>40.15</u>	<u>760,757.25</u>
REVENUES OVER/ (UNDER) EXPENDITURES	83,303.00	(54,989.75)	77,385.76		5,917.24

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

200-WATER FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
INVESTMENT INCOME					
200-4-60-4400 INTEREST INCOME	150.00	208.37	1,178.69	785.79 (	1,028.69)
200-4-60-4401 INTEREST INCOME-CHECKING	200.00	57.40	282.01	141.01 (	82.01)
TOTAL INVESTMENT INCOME	350.00	265.77	1,460.70	417.34 (	1,110.70)
MISCELLANEOUS REVENUE					
200-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00	0.00
UTILITY REVENUE					
200-4-60-4600 WATER SALES	1,350,000.00	77,611.19	584,396.28	43.29	765,603.72
200-4-60-4610 LATE CHARGES	3,000.00	1,812.53	1,812.53	60.42	1,187.47
200-4-60-4628 CONNECT FEE	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL UTILITY REVENUE	1,354,000.00	79,423.72	586,208.81	43.29	767,791.19
OTHER REVENUE					
200-4-60-4700 Fund Balance Transfer In	0.00	0.00	0.00	0.00	0.00
200-4-60-4718 TRANSFER FROM SR2014 DEBT SERV	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER REVENUE	0.00	0.00	0.00	0.00	0.00
TOTAL NON-DEPARTMENTAL	1,354,350.00	79,689.49	587,669.51	43.39	766,680.49
TOTAL REVENUES	1,354,350.00	79,689.49	587,669.51	43.39	766,680.49

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

200-WATER FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
PERSONNEL					
200-5-60-5000 SALARY	214,195.00	21,758.42	77,530.60	36.20	136,664.40
200-5-60-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
200-5-60-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
200-5-60-5010 TRAINING	3,000.00	0.00	618.75	20.63	2,381.25
200-5-60-5020 HEALTH INSURANCE	29,900.00	1,322.67	5,527.69	18.49	24,372.31
200-5-60-5030 WORKERS COMP INSURANCE	4,640.00	0.00	4,503.13	97.05	136.87
200-5-60-5035 SOCIAL SECURITY/MEDICARE	16,386.00	1,664.51	5,930.36	36.19	10,455.64
200-5-60-5040 UNEMPLOYMENT COMP INSUR	300.00	0.00	0.00	0.00	300.00
200-5-60-5050 TX MUNICIPAL RETIREMENT SYS	25,703.00	3,670.75	10,426.05	40.56	15,276.95
200-5-60-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	294,124.00	28,416.35	104,536.58	35.54	189,587.42
SUPPLIES & OPERATION EXP					
200-5-60-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
200-5-60-5103 PRINTING & REPRODUCTION	250.00	0.00	0.00	0.00	250.00
200-5-60-5105 TOOLS & SUPPLIES	2,500.00	0.00	1,141.00	45.64	1,359.00
200-5-60-5110 POSTAGE	100.00	0.00	0.00	0.00	100.00
200-5-60-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
200-5-60-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
200-5-60-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
200-5-60-5125 TRAVEL	2,000.00	0.00	0.00	0.00	2,000.00
200-5-60-5140 TELEPHONE	700.00	35.78	148.11	21.16	551.89
200-5-60-5145 UNIFORMS & ACCESSORIES	2,000.00	25.90	1,227.85	61.39	772.15
200-5-60-5153 CREDIT CARD SERVICES	0.00	0.00	0.00	0.00	0.00
200-5-60-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
200-5-60-5158 OFFICE SUPPLIES	300.00	10.54	59.45	19.82	240.55
200-5-60-5166 MAINTENANCE & REPAIRS	40,000.00	25.65	3,692.18	9.23	36,307.82
200-5-60-5167 ADMINISTRATIVE FEES	35,000.00	0.00	0.00	0.00	35,000.00
200-5-60-5168 Transfer to Utility Billing	63,785.00	0.00	0.00	0.00	63,785.00
200-5-60-5171 EQUIPMENT	30,500.00	438.96	26,668.45	87.44	3,831.55
200-5-60-5181 EQUIPMENT RENTAL	1,500.00	0.00	0.00	0.00	1,500.00
200-5-60-5190 MATERIALS	1,500.00	541.91	951.54	63.44	548.46
200-5-60-5193 METER REPLACEMENT	34,500.00	0.00	(2,275.00)	6.59-	36,775.00
200-5-60-5194 Fire Hydrant Maint and Replace	20,000.00	0.00	0.00	0.00	20,000.00
200-5-60-5195 VEHICLE OPERATIONS	4,000.00	579.33	1,671.17	41.78	2,328.83
200-5-60-5196 VEHICLE MAINT & REPAIRS	1,000.00	5.83	245.54	24.55	754.46
TOTAL SUPPLIES & OPERATION EXP	239,635.00	1,663.90	33,530.29	13.99	206,104.71
CONTRACTUAL SERVICES					
200-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
200-5-60-5210 LEGAL SERVICES	2,000.00	0.00	0.00	0.00	2,000.00
200-5-60-5219 UTILITY BILLING/COLLECTION	0.00	0.00	0.00	0.00	0.00
200-5-60-5232 UTILITY BILLING/COLLECT ADDNL	0.00	0.00	0.00	0.00	0.00
200-5-60-5233 Crossroads Contract	81,000.00	13,500.00	27,000.00	33.33	54,000.00

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

200-WATER FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
200-5-60-5234 Crossroads Emerg/M&O Repairs	60,000.00	45,725.73	64,340.11	107.23 (	4,340.11)
200-5-60-5241 EASEMENT IDENT & MAPPING	0.00	0.00	0.00	0.00	0.00
200-5-60-5255 VEHICLE INSURANCE	1,000.00	0.00	963.47	96.35	36.53
200-5-60-5270 ENGINEERING SERVICES	25,000.00	8,351.25	11,986.25	47.95	13,013.75
200-5-60-5271 RATE CONSULTING SERVICES	4,000.00	0.00	0.00	0.00	4,000.00
200-5-60-5272 Water CIP	0.00	0.00	0.00	0.00	0.00
200-5-60-5276 PAYING AGENT FEES	200.00	0.00	0.00	0.00	200.00
200-5-60-5280 WATER PURCHASED	550,000.00	37,020.58	253,305.71	46.06	296,694.29
200-5-60-5296 TCEQ	3,000.00	0.00	1,504.30	50.14	1,495.70
200-5-60-5299 BOND INTEREST-SERIES 2014	0.00	0.00	0.00	0.00	0.00
TOTAL CONTRACTUAL SERVICES	<u>726,200.00</u>	<u>104,597.56</u>	<u>359,099.84</u>	<u>49.45</u>	<u>367,100.16</u>
MISCELLANEOUS OTHER EXP					
200-5-60-5300 COMPUTER SOFTWARE & SUPPORT	750.00	1.43	7.18	0.96	742.82
200-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
200-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	4,536.00	0.00 (	4,536.00)
200-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	<u>750.00</u>	<u>1.43</u>	<u>4,543.18</u>	<u>605.76 (</u>	<u>3,793.18)</u>
CAPITAL OUTLAY					
200-5-60-5494 Veh Fin Note - Debt Service	3,138.00	0.00	0.00	0.00	3,138.00
200-5-60-5495 NEW VEHICLE & OUTFITTING	7,200.00	0.00	8,579.86	119.16 (	1,379.86)
TOTAL CAPITAL OUTLAY	<u>10,338.00</u>	<u>0.00</u>	<u>8,579.86</u>	<u>82.99</u>	<u>1,758.14</u>
TOTAL NON-DEPARTMENTAL	1,271,047.00	134,679.24	510,289.75	40.15	760,757.25
TOTAL EXPENDITURES	1,271,047.00	134,679.24	510,289.75	40.15	760,757.25
REVENUES OVER/ (UNDER) EXPENDITURES	83,303.00 (	54,989.75)	77,379.76		5,923.24

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

301-STREET MAINTENANCE
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>256,115.00</u>	<u>13,625.85</u>	<u>87,171.18</u>	<u>34.04</u>	<u>168,943.82</u>
TOTAL REVENUES	<u>256,115.00</u>	<u>13,625.85</u>	<u>87,171.18</u>	<u>34.04</u>	<u>168,943.82</u>
<u>EXPENDITURE SUMMARY</u>					
NON-DEPARTMENTAL	<u>256,115.00</u>	<u>14,136.84</u>	<u>87,152.25</u>	<u>34.03</u>	<u>168,962.75</u>
TOTAL EXPENDITURES	<u>256,115.00</u>	<u>14,136.84</u>	<u>87,152.25</u>	<u>34.03</u>	<u>168,962.75</u>
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	(510.99)	18.93	(	18.93)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

301-STREET MAINTENANCE

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
TAXES					
301-4-60-4039 STREET SALES TAX	200,000.00	13,590.70	87,032.53	43.52	112,967.47
TOTAL TAXES	<u>200,000.00</u>	<u>13,590.70</u>	<u>87,032.53</u>	<u>43.52</u>	<u>112,967.47</u>
INVESTMENT INCOME					
301-4-60-4400 INTEREST INCOME	100.00	35.15	138.65	138.65	(38.65)
TOTAL INVESTMENT INCOME	<u>100.00</u>	<u>35.15</u>	<u>138.65</u>	<u>138.65</u>	<u>(38.65)</u>
MISCELLANEOUS REVENUE					
301-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
OTHER REVENUE					
301-4-60-4700 UNEXPENDED BALANCE TRANSFER	56,015.00	0.00	0.00	0.00	56,015.00
TOTAL OTHER REVENUE	<u>56,015.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>56,015.00</u>
TOTAL NON-DEPARTMENTAL	256,115.00	13,625.85	87,171.18	34.04	168,943.82
TOTAL REVENUES	<u>256,115.00</u>	<u>13,625.85</u>	<u>87,171.18</u>	<u>34.04</u>	<u>168,943.82</u>

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

301-STREET MAINTENANCE

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES					
301-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
TOTAL CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00	0.00
MISCELLANEOUS OTHER EXP					
301-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
301-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	0.00	0.00	0.00
301-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	0.00	0.00	0.00	0.00	0.00
CAPITAL OUTLAY					
301-5-60-5469 TRANSFER TO STREET DEPARTMENT	256,115.00	14,136.84	87,152.25	34.03	168,962.75
TOTAL CAPITAL OUTLAY	256,115.00	14,136.84	87,152.25	34.03	168,962.75
TOTAL NON-DEPARTMENTAL	256,115.00	14,136.84	87,152.25	34.03	168,962.75
TOTAL EXPENDITURES	256,115.00	14,136.84	87,152.25	34.03	168,962.75
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	(510.99)	18.93	(	18.93)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

310-COURT SECURITY FUND
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
COURT	<u>1,600.00</u>	<u>337.17</u>	<u>1,616.46</u>	<u>101.03</u>	(<u>16.46</u>)
TOTAL REVENUES	<u>1,600.00</u>	<u>337.17</u>	<u>1,616.46</u>	<u>101.03</u>	(<u>16.46</u>)
<u>EXPENDITURE SUMMARY</u>					
COURT	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>
TOTAL EXPENDITURES	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>
REVENUES OVER/ (UNDER) EXPENDITURES	600.00	337.17	1,616.46		(1,016.46)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

310-COURT SECURITY FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
=====					
COURT REVENUE					
310-4-50-4104 COURT SECURITY FEE	1,500.00	328.17	1,592.46	106.16 (	92.46)
310-4-50-4105 MUNI COURT BLDG SECURITY	100.00	9.00	24.00	24.00	76.00
TOTAL COURT REVENUE	<u>1,600.00</u>	<u>337.17</u>	<u>1,616.46</u>	<u>101.03 (</u>	<u>16.46)</u>
INVESTMENT INCOME					
310-4-50-4491 MUNI CT TECHNOLOGY	0.00	0.00	0.00	0.00	0.00
TOTAL INVESTMENT INCOME	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
TOTAL COURT	<u>1,600.00</u>	<u>337.17</u>	<u>1,616.46</u>	<u>101.03 (</u>	<u>16.46)</u>
TOTAL REVENUES	<u>1,600.00</u>	<u>337.17</u>	<u>1,616.46</u>	<u>101.03 (</u>	<u>16.46)</u>

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

310-COURT SECURITY FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<hr/>					
COURT					
=====					
MISCELLANEOUS OTHER EXP					
310-5-50-5311 OFFICE SECURITY	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL MISCELLANEOUS OTHER EXP	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>
<hr/>					
TOTAL COURT	1,000.00	0.00	0.00	0.00	1,000.00
<hr/>					
TOTAL EXPENDITURES	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>
<hr/>					
REVENUES OVER/(UNDER) EXPENDITURES	600.00	337.17	1,616.46	(	1,016.46)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

320-COURT TECHNOLOGY FUND
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
COURT	1,600.00	279.91	1,332.03	83.25	267.97
TOTAL REVENUES	1,600.00	279.91	1,332.03	83.25	267.97
<u>EXPENDITURE SUMMARY</u>					
COURT	2,500.00	4.78	27.28	1.09	2,472.72
TOTAL EXPENDITURES	2,500.00	4.78	27.28	1.09	2,472.72
REVENUES OVER/ (UNDER) EXPENDITURES	(900.00)	275.13	1,304.75		(2,204.75)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

320-COURT TECHNOLOGY FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<hr/>					
COURT =====					
COURT REVENUE					
320-4-50-4102 COURT TECHNOLOGY FEE	1,500.00	279.91	1,332.03	88.80	167.97
320-4-50-4191 MUNI COURT TECHNOLOGY	100.00	0.00	0.00	0.00	100.00
TOTAL COURT REVENUE	<u>1,600.00</u>	<u>279.91</u>	<u>1,332.03</u>	<u>83.25</u>	<u>267.97</u>
<hr/>					
TOTAL COURT	1,600.00	279.91	1,332.03	83.25	267.97
<hr/>					
TOTAL REVENUES	<u>1,600.00</u>	<u>279.91</u>	<u>1,332.03</u>	<u>83.25</u>	<u>267.97</u>

CITY OF ROLLINGWOOD
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: MARCH 31ST, 2023

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320 COURT TECHNOLOGY FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
=====					
MISCELLANEOUS OTHER EXP					
320-5-50-5300 COMPUTER SOFTWARE & SUPPORT	2,500.00	4.78	27.28	1.09	2,472.72
TOTAL MISCELLANEOUS OTHER EXP	<u>2,500.00</u>	<u>4.78</u>	<u>27.28</u>	<u>1.09</u>	<u>2,472.72</u>
CAPITAL OUTLAY					
320-5-50-5414 COMPUTERS	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
TOTAL COURT	2,500.00	4.78	27.28	1.09	2,472.72
TOTAL EXPENDITURES	<u>2,500.00</u>	<u>4.78</u>	<u>27.28</u>	<u>1.09</u>	<u>2,472.72</u>
REVENUES OVER/ (UNDER) EXPENDITURES	(900.00)	275.13	1,304.75		(2,204.75)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

330-COURT EFFICIENCY FUND
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
COURT	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
TOTAL REVENUES	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
<u>EXPENDITURE SUMMARY</u>					
COURT	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
TOTAL EXPENDITURES	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	0.00	0.00		0.00

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

330-COURT EFFICIENCY FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<hr/>					
COURT =====					
COURT REVENUE					
330-4-50-4110 ADMINISTRATIVE COURT FEES	100.00	0.00	0.00	0.00	100.00
TOTAL COURT REVENUE	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
<hr/>					
TOTAL COURT	100.00	0.00	0.00	0.00	100.00
<hr/>					
TOTAL REVENUES	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

330-COURT EFFICIENCY FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
=====					
SUPPLIES & OPERATION EXP					
330-5-50-5158 OFFICE SUPPLIES	100.00	0.00	0.00	0.00	100.00
TOTAL SUPPLIES & OPERATION EXP	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
<hr/>					
TOTAL COURT	100.00	0.00	0.00	0.00	100.00
<hr/>					
TOTAL EXPENDITURES	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
<hr/>					
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	0.00	0.00		0.00

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

430-DEBT SERVICE FUND 2014
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>200,250.00</u>	<u>996.60</u>	<u>200,236.06</u>	<u>99.99</u>	<u>13.94</u>
TOTAL REVENUES	<u>200,250.00</u>	<u>996.60</u>	<u>200,236.06</u>	<u>99.99</u>	<u>13.94</u>
<u>EXPENDITURE SUMMARY</u>					
NON-DEPARTMENTAL	<u>199,350.00</u>	<u>0.00</u>	<u>32,375.00</u>	<u>16.24</u>	<u>166,975.00</u>
TOTAL EXPENDITURES	<u>199,350.00</u>	<u>0.00</u>	<u>32,375.00</u>	<u>16.24</u>	<u>166,975.00</u>
REVENUES OVER/ (UNDER) EXPENDITURES	900.00	996.60	167,861.06	(	166,961.06)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

430-DEBT SERVICE FUND 2014

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
TAXES					
430-4-60-4020 PENALTY & INTEREST ON TAXES	500.00	75.92	249.25	49.85	250.75
430-4-60-4031 PROPERTY TAX-DEBT SERVICE FD	199,350.00	920.68	199,986.81	100.32	(636.81)
TOTAL TAXES	<u>199,850.00</u>	<u>996.60</u>	<u>200,236.06</u>	<u>100.19</u>	<u>(386.06)</u>
MISCELLANEOUS REVENUE					
430-4-60-4577 TRSF FROM STREETS-PAYING AGENT	400.00	0.00	0.00	0.00	400.00
430-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	<u>400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>400.00</u>
TOTAL NON-DEPARTMENTAL	<u>200,250.00</u>	<u>996.60</u>	<u>200,236.06</u>	<u>99.99</u>	<u>13.94</u>
TOTAL REVENUES	<u>200,250.00</u>	<u>996.60</u>	<u>200,236.06</u>	<u>99.99</u>	<u>13.94</u>

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

430-DEBT SERVICE FUND 2014

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES					
430-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
430-5-60-5276 PAYING AGENT FEES	400.00	0.00	200.00	50.00	200.00
430-5-60-5298 BOND PRINCIPAL - SERIES 2014	140,000.00	0.00	0.00	0.00	140,000.00
430-5-60-5299 BOND INTEREST - SERIES 2014	58,950.00	0.00	32,175.00	54.58	26,775.00
TOTAL CONTRACTUAL SERVICES	199,350.00	0.00	32,375.00	16.24	166,975.00
MISCELLANEOUS OTHER EXP					
430-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
430-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	0.00	0.00	0.00
430-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	0.00	0.00	0.00	0.00	0.00
CAPITAL OUTLAY					
430-5-60-5461 TRANSFER TO WATER FUND	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00
TOTAL NON-DEPARTMENTAL	199,350.00	0.00	32,375.00	16.24	166,975.00
TOTAL EXPENDITURES	199,350.00	0.00	32,375.00	16.24	166,975.00
REVENUES OVER/ (UNDER) EXPENDITURES	900.00	996.60	167,861.06		(166,961.06)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

440-DEBT SERVICE FUND 2012
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>314,635.00</u>	<u>1,568.00</u>	<u>314,623.78</u>	<u>100.00</u>	<u>11.22</u>
TOTAL REVENUES	<u>314,635.00</u>	<u>1,568.00</u>	<u>314,623.78</u>	<u>100.00</u>	<u>11.22</u>
<u>EXPENDITURE SUMMARY</u>					
NON-DEPARTMENTAL	<u>313,635.00</u>	<u>0.00</u>	<u>4,317.50</u>	<u>1.38</u>	<u>309,317.50</u>
TOTAL EXPENDITURES	<u>313,635.00</u>	<u>0.00</u>	<u>4,317.50</u>	<u>1.38</u>	<u>309,317.50</u>
REVENUES OVER/ (UNDER) EXPENDITURES	1,000.00	1,568.00	310,306.28	(	309,306.28)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

440-DEBT SERVICE FUND 2012

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
TAXES					
440-4-60-4020 PENALTY & INTEREST ON TAXES	1,000.00	119.85	392.46	39.25	607.54
440-4-60-4031 PROPERTY TAX-DEBT SERVICE FD	313,235.00	1,448.15	314,231.32	100.32	(996.32)
TOTAL TAXES	<u>314,235.00</u>	<u>1,568.00</u>	<u>314,623.78</u>	<u>100.12</u>	<u>(388.78)</u>
MISCELLANEOUS REVENUE					
440-4-60-4573 TRSF FROM WASTEWATER-PAY AGENT	400.00	0.00	0.00	0.00	400.00
440-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	<u>400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>400.00</u>
TOTAL NON-DEPARTMENTAL	<u>314,635.00</u>	<u>1,568.00</u>	<u>314,623.78</u>	<u>100.00</u>	<u>11.22</u>
TOTAL REVENUES	<u>314,635.00</u>	<u>1,568.00</u>	<u>314,623.78</u>	<u>100.00</u>	<u>11.22</u>

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

440-DEBT SERVICE FUND 2012

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES					
440-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
440-5-60-5242 DEBT SERVICE-2012A INTEREST	8,235.00	0.00	4,117.50	50.00	4,117.50
440-5-60-5243 DEBT SERVICE-PRINCIPAL 2012A	305,000.00	0.00	0.00	0.00	305,000.00
440-5-60-5276 PAYING AGENT FEES	400.00	0.00	200.00	50.00	200.00
TOTAL CONTRACTUAL SERVICES	313,635.00	0.00	4,317.50	1.38	309,317.50
MISCELLANEOUS OTHER EXP					
440-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
440-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	0.00	0.00	0.00
440-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	0.00	0.00	0.00	0.00	0.00
CAPITAL OUTLAY					
440-5-60-5486 TRANSFER OUT TO WASTEWATER FD	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00
TOTAL NON-DEPARTMENTAL	313,635.00	0.00	4,317.50	1.38	309,317.50
TOTAL EXPENDITURES	313,635.00	0.00	4,317.50	1.38	309,317.50
REVENUES OVER/ (UNDER) EXPENDITURES	1,000.00	1,568.00	310,306.28		(309,306.28)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

450-DEBT SERVICE FUND 2019
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>411,650.00</u>	<u>2,052.39</u>	<u>412,536.23</u>	<u>100.22</u>	<u>(886.23)</u>
TOTAL REVENUES	<u>411,650.00</u>	<u>2,052.39</u>	<u>412,536.23</u>	<u>100.22</u>	<u>(886.23)</u>
<u>EXPENDITURE SUMMARY</u>					
NON-DEPARTMENTAL	<u>410,650.00</u>	<u>0.00</u>	<u>147,825.00</u>	<u>36.00</u>	<u>262,825.00</u>
TOTAL EXPENDITURES	<u>410,650.00</u>	<u>0.00</u>	<u>147,825.00</u>	<u>36.00</u>	<u>262,825.00</u>
REVENUES OVER/ (UNDER) EXPENDITURES	1,000.00	2,052.39	264,711.23		(263,711.23)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

450-DEBT SERVICE FUND 2019

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
TAXES					
450-4-60-4020 PENALTY & INTEREST ON TAXES	1,000.00	156.10	513.13	51.31	486.87
450-4-60-4031 PROPERTY TAX-DEBT SERVICE FD	410,250.00	1,896.29	412,023.10	100.43 (	1,773.10)
TOTAL TAXES	<u>411,250.00</u>	<u>2,052.39</u>	<u>412,536.23</u>	<u>100.31 (</u>	<u>1,286.23)</u>
MISCELLANEOUS REVENUE					
450-4-60-4573 TRSF FROM WASTEWATER-PAY AGENT	400.00	0.00	0.00	0.00	400.00
450-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	<u>400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>400.00</u>
TOTAL NON-DEPARTMENTAL	411,650.00	2,052.39	412,536.23	100.22 (	886.23)
TOTAL REVENUES	<u>411,650.00</u>	<u>2,052.39</u>	<u>412,536.23</u>	<u>100.22 (</u>	<u>886.23)</u>

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES

NON-DEPARTMENTAL

CONTRACTUAL SERVICES

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
450-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
450-5-60-5207 BOND PRINCIPAL-SERIES 2019	115,000.00	0.00	0.00	0.00	115,000.00
450-5-60-5208 BOND INTEREST - SERIES 2019	295,250.00	0.00	147,625.00	50.00	147,625.00
450-5-60-5276 PAYING AGENT FEES	400.00	0.00	200.00	50.00	200.00
TOTAL CONTRACTUAL SERVICES	410,650.00	0.00	147,825.00	36.00	262,825.00

MISCELLANEOUS OTHER EXP

450-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
450-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	0.00	0.00	0.00
450-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	0.00	0.00	0.00	0.00	0.00

CAPITAL OUTLAY

450-5-60-5462 TRANSFER OUT	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00

TOTAL NON-DEPARTMENTAL

410,650.00 0.00 147,825.00 36.00 262,825.00

TOTAL EXPENDITURES

410,650.00 0.00 147,825.00 36.00 262,825.00

REVENUES OVER/ (UNDER) EXPENDITURES

1,000.00 2,052.39 264,711.23 (263,711.23)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

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460-DEBT SERVICE FUND 2020
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>315,515.00</u>	<u>1,574.51</u>	<u>316,200.34</u>	<u>100.22</u>	<u>(685.34)</u>
TOTAL REVENUES	<u>315,515.00</u>	<u>1,574.51</u>	<u>316,200.34</u>	<u>100.22</u>	<u>(685.34)</u>
<u>EXPENDITURE SUMMARY</u>					
NON-DEPARTMENTAL	<u>315,015.00</u>	<u>0.00</u>	<u>12,387.50</u>	<u>3.93</u>	<u>302,627.50</u>
TOTAL EXPENDITURES	<u>315,015.00</u>	<u>0.00</u>	<u>12,387.50</u>	<u>3.93</u>	<u>302,627.50</u>
REVENUES OVER/ (UNDER) EXPENDITURES	500.00	1,574.51	303,812.84		(303,312.84)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

460-DEBT SERVICE FUND 2020

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
TAXES					
460-4-60-4020 PENALTY & INTEREST ON TAXES	500.00	120.10	1,142.51	228.50 (	642.51)
460-4-60-4031 PROPERTY TAX-DEBT SERVICE FD	314,775.00	1,454.41	315,057.83	100.09 (	282.83)
TOTAL TAXES	315,275.00	1,574.51	316,200.34	100.29 (	925.34)
MISCELLANEOUS REVENUE					
460-4-60-4573 TRSF FROM WASTEWATER-PAY AGENT	240.00	0.00	0.00	0.00	240.00
460-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	240.00	0.00	0.00	0.00	240.00
TOTAL NON-DEPARTMENTAL	315,515.00	1,574.51	316,200.34	100.22 (	685.34)
TOTAL REVENUES	315,515.00	1,574.51	316,200.34	100.22 (	685.34)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

460-DEBT SERVICE FUND 2020

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES					
460-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
460-5-60-5248 DEBT SERVICE INTEREST TAX NOTE	24,775.00	0.00	12,387.50	50.00	12,387.50
460-5-60-5249 DEBT SERVICE PRINCIPAL TAX NTS	290,000.00	0.00	0.00	0.00	290,000.00
460-5-60-5276 PAYING AGENT FEES	240.00	0.00	0.00	0.00	240.00
TOTAL CONTRACTUAL SERVICES	315,015.00	0.00	12,387.50	3.93	302,627.50
MISCELLANEOUS OTHER EXP					
460-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
460-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	0.00	0.00	0.00
460-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	0.00	0.00	0.00	0.00	0.00
TOTAL NON-DEPARTMENTAL	315,015.00	0.00	12,387.50	3.93	302,627.50
TOTAL EXPENDITURES	315,015.00	0.00	12,387.50	3.93	302,627.50
REVENUES OVER/ (UNDER) EXPENDITURES	500.00	1,574.51	303,812.84		(303,312.84)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

702-DRAINAGE FUND
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
CAPITAL IMPROVEMENTS	<u>30,900.00</u>	<u>6,000.00</u>	<u>18,000.00</u>	<u>58.25</u>	<u>12,900.00</u>
TOTAL REVENUES	<u>30,900.00</u>	<u>6,000.00</u>	<u>18,000.00</u>	<u>58.25</u>	<u>12,900.00</u>
<u>EXPENDITURE SUMMARY</u>					
CAPITAL IMPROVEMENTS	<u>58,000.00</u>	<u>66,495.16</u>	<u>98,241.66</u>	<u>169.38</u>	<u>(40,241.66)</u>
TOTAL EXPENDITURES	<u>58,000.00</u>	<u>66,495.16</u>	<u>98,241.66</u>	<u>169.38</u>	<u>(40,241.66)</u>
REVENUES OVER/ (UNDER) EXPENDITURES	(27,100.00)	(60,495.16)	(80,241.66)		53,141.66

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

702-DRAINAGE FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
CAPITAL IMPROVEMENTS					
CHARGE FOR SERVICES					
702-4-35-4221 RSDP Zone 7	100.00	0.00	0.00	0.00	100.00
702-4-35-4222 RSDP Zone 1	100.00	0.00	0.00	0.00	100.00
702-4-35-4223 RSDP Zone 5	100.00	0.00	0.00	0.00	100.00
702-4-35-4224 RSDP Zone 8	100.00	0.00	0.00	0.00	100.00
702-4-35-4225 RSDP ZONE 5	100.00	0.00	0.00	0.00	100.00
702-4-35-4226 RSDP ZONE 3	100.00	0.00	0.00	0.00	100.00
702-4-35-4227 RSDP ZONE4	100.00	0.00	0.00	0.00	100.00
702-4-35-4228 RSDP ZONE 6	100.00	0.00	0.00	0.00	100.00
702-4-35-4229 RSDP ZONE 9	100.00	0.00	0.00	0.00	100.00
TOTAL CHARGE FOR SERVICES	900.00	0.00	0.00	0.00	900.00
LICENSE & PERMITS					
702-4-35-4309 Site Drainage Inspect Fee	0.00	0.00	0.00	0.00	0.00
702-4-35-4360 DRAINAGE REVIEW REVENUE	30,000.00	6,000.00	18,000.00	60.00	12,000.00
TOTAL LICENSE & PERMITS	30,000.00	6,000.00	18,000.00	60.00	12,000.00
MISCELLANEOUS REVENUE					
702-4-35-4500 TRANSFER FROM GENERAL FUND	0.00	0.00	0.00	0.00	0.00
702-4-35-4578 FUND BALANCE TRANSFER-IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL IMPROVEMENTS	30,900.00	6,000.00	18,000.00	58.25	12,900.00
TOTAL REVENUES	30,900.00	6,000.00	18,000.00	58.25	12,900.00

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

702-DRAINAGE FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
CAPITAL IMPROVEMENTS					
CONTRACTUAL SERVICES					
702-5-35-5203 Final Site Drainage Inspection	0.00	0.00	0.00	0.00	0.00
702-5-35-5221 NIXON PLEASANT DRAINAGE IMPROV	0.00	32,859.98	39,972.48	0.00 (	39,972.48)
702-5-35-5222 HUBBARD-HATLEY-PICKWICK DRAIN	0.00	15,859.83	15,859.83	0.00 (	15,859.83)
702-5-35-5270 ENGINEERING SERVICES	50,000.00	14,430.00	37,851.25	75.70	12,148.75
702-5-35-5274 NIXON PLEASANT DRAINAGE IMPROV	0.00	0.00	0.00	0.00	0.00
TOTAL CONTRACTUAL SERVICES	50,000.00	63,149.81	93,683.56	187.37 (	43,683.56)
CAPITAL OUTLAY					
702-5-35-5407 DRAINAGE EXPENDITURES ZONE 7	0.00	0.00	0.00	0.00	0.00
702-5-35-5485 MS-4 EXPENDITURES	8,000.00	3,345.35	4,558.10	56.98	3,441.90
TOTAL CAPITAL OUTLAY	8,000.00	3,345.35	4,558.10	56.98	3,441.90
TOTAL CAPITAL IMPROVEMENTS	58,000.00	66,495.16	98,241.66	169.38 (	40,241.66)
TOTAL EXPENDITURES	58,000.00	66,495.16	98,241.66	169.38 (	40,241.66)
REVENUES OVER/(UNDER) EXPENDITURES	(27,100.00)	(60,495.16)	(80,241.66)		53,141.66

CITY OF ROLLINGWOOD
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND
FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>974,576.00</u>	<u>81,097.54</u>	<u>506,737.94</u>	<u>52.00</u>	<u>467,838.06</u>
TOTAL REVENUES	<u>974,576.00</u>	<u>81,097.54</u>	<u>506,737.94</u>	<u>52.00</u>	<u>467,838.06</u>
<u>EXPENDITURE SUMMARY</u>					
NON-DEPARTMENTAL	<u>974,576.00</u>	<u>94,953.64</u>	<u>375,162.51</u>	<u>38.49</u>	<u>599,413.49</u>
TOTAL EXPENDITURES	<u>974,576.00</u>	<u>94,953.64</u>	<u>375,162.51</u>	<u>38.49</u>	<u>599,413.49</u>
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	(13,856.10)	131,575.43		(131,575.43)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
INVESTMENT INCOME					
800-4-60-4400 INTEREST INCOME	250.00	1,044.57	5,908.89	2,363.56 (	5,658.89)
800-4-60-4401 INTEREST INCOME-CHECKING	150.00	37.36	239.58	159.72 (	89.58)
TOTAL INVESTMENT INCOME	400.00	1,081.93	6,148.47	1,537.12 (	5,748.47)
MISCELLANEOUS REVENUE					
800-4-60-4565 Grant Revenues	0.00	0.00	0.00	0.00	0.00
800-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00	0.00
UTILITY REVENUE					
800-4-60-4620 WASTEWATER	800,000.00	70,667.35	444,499.91	55.56	355,500.09
800-4-60-4628 CONNECT FEE	3,500.00	0.00	0.00	0.00	3,500.00
TOTAL UTILITY REVENUE	803,500.00	70,667.35	444,499.91	55.32	359,000.09
OTHER REVENUE					
800-4-60-4700 UNEXPENDED BALANCE TRANSFER	61,516.00	0.00	0.00	0.00	61,516.00
800-4-60-4706 INDUSTRIAL WASTE SURCHARGE	11,000.00	1,168.74	7,012.44	63.75	3,987.56
800-4-60-4709 PUD WASTEWATER SURCHARGE	98,160.00	8,179.52	49,077.12	50.00	49,082.88
800-4-60-4732 TRANSFER FROM 2012 DEBT SVC-FD	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER REVENUE	170,676.00	9,348.26	56,089.56	32.86	114,586.44
TOTAL NON-DEPARTMENTAL	974,576.00	81,097.54	506,737.94	52.00	467,838.06
TOTAL REVENUES	974,576.00	81,097.54	506,737.94	52.00	467,838.06

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
PERSONNEL					
800-5-60-5000 SALARY	214,195.00	21,758.42	77,530.58	36.20	136,664.42
800-5-60-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
800-5-60-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
800-5-60-5010 TRAINING	2,500.00	0.00	1,151.50	46.06	1,348.50
800-5-60-5020 HEALTH INSURANCE	29,900.00	1,322.67	5,527.69	18.49	24,372.31
800-5-60-5030 WORKERS COMP INSURANCE	4,640.00	0.00	4,601.02	99.16	38.98
800-5-60-5035 SOCIAL SECURITY/MEDICARE	16,386.00	1,664.51	5,930.36	36.19	10,455.64
800-5-60-5040 UNEMPLOYMENT COMP INSUR	300.00	0.00	0.00	0.00	300.00
800-5-60-5050 TX MUNICIPAL RETIREMENT SYS	25,703.00	3,670.75	10,426.05	40.56	15,276.95
800-5-60-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	293,624.00	28,416.35	105,167.20	35.82	188,456.80
SUPPLIES & OPERATION EXP					
800-5-60-5103 PRINTING & REPRODUCTION	100.00	0.00	0.00	0.00	100.00
800-5-60-5125 TRAVEL	2,500.00	0.00	0.00	0.00	2,500.00
800-5-60-5130 UTILITIES	0.00	0.00	0.00	0.00	0.00
800-5-60-5145 UNIFORMS & ACCESSORIES	1,500.00	232.64	397.63	26.51	1,102.37
800-5-60-5163 GRINDER PUMP MAINT/REPLACEMENT	25,000.00	5,239.23	10,159.88	40.64	14,840.12
800-5-60-5166 MAINTENANCE & REPAIRS	47,000.00	3,673.34	14,743.10	31.37	32,256.90
800-5-60-5167 ADMINISTRATIVE FEES	28,000.00	0.00	0.00	0.00	28,000.00
800-5-60-5168 Transfer to Utility Billing	63,785.00	0.00	0.00	0.00	63,785.00
800-5-60-5171 EQUIPMENT	30,100.00	0.00	38,412.04	127.61	(8,312.04)
800-5-60-5193 METER REPLACEMENT	34,500.00	0.00	0.00	0.00	34,500.00
800-5-60-5195 VEHICLE OPERATIONS	2,000.00	416.64	1,673.25	83.66	326.75
TOTAL SUPPLIES & OPERATION EXP	234,485.00	9,561.85	65,385.90	27.88	169,099.10
CONTRACTUAL SERVICES					
800-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
800-5-60-5210 LEGAL SERVICES	2,000.00	0.00	0.00	0.00	2,000.00
800-5-60-5218 ANNUAL TELEVISIONING/SMOKE TEST	32,500.00	0.00	0.00	0.00	32,500.00
800-5-60-5219 UTILITY BILLING/COLLECTIONE	0.00	0.00	0.00	0.00	0.00
800-5-60-5232 UTILITY BILLING-COLLECT ADDNL	0.00	0.00	0.00	0.00	0.00
800-5-60-5233 Crossroads Contract	97,980.00	16,330.00	32,660.00	33.33	65,320.00
800-5-60-5234 Crossroads Emerg/M&O Repairs	40,000.00	9,994.60	25,304.57	63.26	14,695.43
800-5-60-5240 INSURANCE - PROP & GEN LIAB	1,450.00	0.00	425.32	29.33	1,024.68
800-5-60-5255 VEHICLE INSURANCE	1,000.00	0.00	1,287.25	128.73	(287.25)
800-5-60-5270 ENGINEERING SERVICES	20,000.00	1,730.00	2,507.50	12.54	17,492.50
800-5-60-5271 RATE CONSULTING SERVICES	0.00	0.00	0.00	0.00	0.00
800-5-60-5290 WASTEWATER FEES	230,000.00	27,752.10	107,653.87	46.81	122,346.13
800-5-60-5292 INDUSTRIAL WASTE SURCHARGES	12,000.00	1,168.74	5,843.70	48.70	6,156.30
TOTAL CONTRACTUAL SERVICES	436,930.00	56,975.44	175,682.21	40.21	261,247.79

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
MISCELLANEOUS OTHER EXP					
800-5-60-5300 COMPUTER SOFTWARE & SUPPORT	1,000.00	0.00 (	4.20)	0.42-	1,004.20
800-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
800-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	0.00	0.00	0.00
800-5-60-5325 CCTV INSPECTION AND PIPE CLEAN	0.00	0.00	0.00	0.00	0.00
800-5-60-5342 DEBT SERVICE - 2012A INTEREST	0.00	0.00	0.00	0.00	0.00
800-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	1,000.00	0.00 (	4.20)	0.42-	1,004.20
CAPITAL OUTLAY					
800-5-60-5494 Veh Fin Note - Debt Service	3,137.00	0.00	0.00	0.00	3,137.00
800-5-60-5495 NEW VEHICLE & OUTFITTING	5,400.00	0.00	6,434.90	119.16 (	1,034.90)
800-5-60-5496 LIFT STATION AUTOMATION	0.00	0.00	0.50	0.00 (	0.50)
800-5-60-5497 LIFT STATION EMERGENCY POWER	0.00	0.00	22,496.00	0.00 (	22,496.00)
TOTAL CAPITAL OUTLAY	8,537.00	0.00	28,931.40	338.89 (	20,394.40)
TOTAL NON-DEPARTMENTAL	974,576.00	94,953.64	375,162.51	38.49	599,413.49
TOTAL EXPENDITURES	974,576.00	94,953.64	375,162.51	38.49	599,413.49
REVENUES OVER/(UNDER) EXPENDITURES	0.00 (	13,856.10)	131,575.43	(	131,575.43)

RCDC
MONTHLY FINANCIAL ANALYSIS

NOTE: YTD ACTUAL AS OF MARCH 31, 2023; 50% OF FISCAL YEAR

REVENUE STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:			PRIOR YEAR:		CURRENT YR COMPARED TO PY YR
	EST. REVENUE	YTD	PERCENT	YTD		
SALES TAX REVENUE	\$ 200,000	\$ 87,033	44%	\$ 87,179		100%

BUDGET STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:			PRIOR YEAR:		CURRENT YR COMPARED TO PY YR
	BUDGET	YTD	PERCENT	YTD		
ECONOMIC DEVELOPMENT:						
REVENUE	\$ -	\$ -	#DIV/0!	\$ -		#DIV/0!
EXPENDITURES	\$ 20,000	\$ -	0%	\$ -		#DIV/0!
NON-PROJECTED RELATED:						
REVENUE	\$ 200,000	\$ 89,660	45%	\$ 87,229		103%
EXPENDITURES	\$ 77,000	\$ 1,718	2%	\$ -		#DIV/0!
ADDITIONAL NEW PROJECTS:						
REVENUE	\$ -	\$ -	#DIV/0!	\$ -		#DIV/0!
EXPENDITURES	\$ 128,000	\$ -	0%	\$ -		#DIV/0!
RECAP:						
REVENUE	\$ 200,000	\$ 89,660	45%	\$ 87,229		103%
EXPENDITURES	\$ 225,000	\$ 1,718	1%	\$ -		#DIV/0!

CITY OF ROLLINGWOOD
 BALANCE SHEET
 AS OF: MARCH 31ST, 2023

500-RCDC

ACCOUNT #	ACCOUNT DESCRIPTION	BALANCE	
ASSETS			
=====			
500-1000	RCDC OPERATING CASH	365,179.19	
500-1005	TEXPOOL	129,917.58	
500-1100	DUE FROM CITY	13,590.70	
500-1350	SALES TAX RECEIVABLE	<u>0.00</u>	
			<u>508,687.47</u>
	TOTAL ASSETS		508,687.47
=====			
LIABILITIES			
=====			
500-2000	ACCOUNTS PAYABLE	0.00	
500-2020	ACCOUNTS PAYABLE RCDC	0.00	
500-2030	PAYABLE TO CITY	24,542.19	
500-2060	Retirement Payout Reserve	0.00	
500-2140	Vehicle Financing Notes	<u>0.00</u>	
	TOTAL LIABILITIES		<u>24,542.19</u>
EQUITY			
=====			
500-3000	FUND BALANCE-UNAPPROPRATED	396,203.27	
500-3001	XXFUND BALANCE	0.00	
500-3010	OTHER FUND BALANCE	<u>0.00</u>	
	TOTAL BEGINNING EQUITY		<u>396,203.27</u>
	TOTAL REVENUE	89,659.71	
	TOTAL EXPENSES	<u>1,717.70</u>	
	TOTAL REVENUE OVER/(UNDER) EXPENSES		<u>87,942.01</u>
	TOTAL EQUITY & REV. OVER/(UNDER) EXP.		<u>484,145.28</u>
	TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.		<u>508,687.47</u>
=====			

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

500-RCDC
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
NON-PROJECT RELATED	200,000.00	14,112.56	89,659.71	44.83	110,340.29
TOTAL REVENUES	200,000.00	14,112.56	89,659.71	44.83	110,340.29
<u>EXPENDITURE SUMMARY</u>					
ECONOMIC DEVELOPMENT	20,000.00	0.00	0.00	0.00	20,000.00
NON-PROJECT RELATED	77,000.00	0.00	1,717.70	2.23	75,282.30
ADDITIONAL NEW PROJECTS	128,000.00	0.00	0.00	0.00	128,000.00
TOTAL EXPENDITURES	225,000.00	0.00	1,717.70	0.76	223,282.30
REVENUES OVER/(UNDER) EXPENDITURES	(25,000.00)	14,112.56	87,942.01		(112,942.01)

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

500-RCDC

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-PROJECT RELATED					
TAXES					
500-4-90-4000 SALES TAX REVENUE	200,000.00	13,590.70	87,032.52	43.52	112,967.48
TOTAL TAXES	<u>200,000.00</u>	<u>13,590.70</u>	<u>87,032.52</u>	<u>43.52</u>	<u>112,967.48</u>
INVESTMENT INCOME					
500-4-90-4400 INTEREST INCOME	0.00	506.76	2,544.27	0.00 (	2,544.27)
500-4-90-4401 INTEREST INCOME - CHECKING	0.00	15.10	82.92	0.00 (	82.92)
TOTAL INVESTMENT INCOME	<u>0.00</u>	<u>521.86</u>	<u>2,627.19</u>	<u>0.00 (</u>	<u>2,627.19)</u>
TOTAL NON-PROJECT RELATED	200,000.00	14,112.56	89,659.71	44.83	110,340.29
TOTAL REVENUES	<u>200,000.00</u>	<u>14,112.56</u>	<u>89,659.71</u>	<u>44.83</u>	<u>110,340.29</u>

CITY OF ROLLINGWOOD
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: MARCH 31ST, 2023

500-RCDC

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
ECONOMIC DEVELOPMENT					
OTHER NON-DEPARTMENTAL					
500-5-80-5524 ROLLINGWOOD BUS PROMOTION	20,000.00	0.00	0.00	0.00	20,000.00
500-5-80-5527 COVID-19 RELIEF PROGRAM	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER NON-DEPARTMENTAL	20,000.00	0.00	0.00	0.00	20,000.00
TOTAL ECONOMIC DEVELOPMENT	20,000.00	0.00	0.00	0.00	20,000.00
NON-PROJECT RELATED					
CONTRACTUAL SERVICES					
500-5-90-5275 ADMIN SERVICES AGREEMENT	72,000.00	0.00	0.00	0.00	72,000.00
TOTAL CONTRACTUAL SERVICES	72,000.00	0.00	0.00	0.00	72,000.00
MISCELLANEOUS OTHER EXP					
500-5-90-5380 LEGAL EXPENSES	5,000.00	0.00	1,717.70	34.35	3,282.30
TOTAL MISCELLANEOUS OTHER EXP	5,000.00	0.00	1,717.70	34.35	3,282.30
TOTAL NON-PROJECT RELATED	77,000.00	0.00	1,717.70	2.23	75,282.30
ADDITIONAL NEW PROJECTS					
MISCELLANEOUS OTHER EXP					
500-5-95-5387 MOPAC LEGAL EXPENSES	40,000.00	0.00	0.00	0.00	40,000.00
500-5-95-5388 PARK IMPROVEMENT PROJECT	0.00	0.00	0.00	0.00	0.00
500-5-95-5389 COMPREHENSIVE PLAN	0.00	0.00	0.00	0.00	0.00
500-5-95-5390 COMMERCIAL CODES UPDATES COMP	30,000.00	0.00	0.00	0.00	30,000.00
500-5-95-5391 MOBILITY, CONNECTIVITY & SAFET	55,000.00	0.00	0.00	0.00	55,000.00
500-5-95-5392 PARK AMENITIES AND PROMOTION	3,000.00	0.00	0.00	0.00	3,000.00
TOTAL MISCELLANEOUS OTHER EXP	128,000.00	0.00	0.00	0.00	128,000.00
TOTAL ADDITIONAL NEW PROJECTS	128,000.00	0.00	0.00	0.00	128,000.00
TOTAL EXPENDITURES	225,000.00	0.00	1,717.70	0.76	223,282.30
REVENUES OVER/ (UNDER) EXPENDITURES	(25,000.00)	14,112.56	87,942.01	(112,942.01)	

Sales Tax Revenue

FY 2022-2023	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total	Current Average
	82,262.51	93,797.25	72,703.78	97,775.09	91,553.76	84,821.05							522,913	87,152

FY 2021-2022	Oct-21	Nov-21	Dec-21	Jan-22	Feb-22	Mar-22	Apr-22	May-22	Jun-22	Jul-22	Aug-22	Sep-22	Total	12 Month Average
	72,380.73	79,529.64	84,255.00	81,958.78	82,911.62	128,709.17	65,708.05	76,333.56	76,333.56	86,675.43	89,293.24	173,811.51	1,097,900	91,492

Comparison by Month	Oct	Nov	Dec	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Total To Date
Total Increase or Decrease	9,882	14,268	-11,551	15,816	8,642	-43,888	-65,708	-76,334	-76,334	-86,675	-89,293	-173,812	-\$574,987
Total % Increase or Decrease	13.65%	17.94%	-13.71%	19.30%	10.42%	-34.10%	-100.00%	-100.00%	-100.00%	-100.00%	-100.00%	-194.65%	-143.38%

Sales Tax Revenues FY 2020-2021 Total: \$908,657 12 Mo. Avg. \$75,721.44

Oct-20	Nov-20	Dec-20	Jan-21	Feb-21	Mar-21	Apr-21	May-21	Jun-21	Jul-21	Aug-21	Sep-21
70,776.65	74,920.30	79,286.51	77,436.97	65,213.56	69,320.28	61,788.83	97,371.56	80,219.56	70,604.82	78,433.91	83,284.29

Sales Tax Revenues FY 2019-2020 Total: \$953,312 12 Mo. Avg. \$79,442.63

Oct-19	Nov-19	Dec-19	Jan-20	Feb-20	Mar-20	Apr-20	May-20	Jun-20	Jul-20	Aug-20	Sep-20
91,077	74,497	81,278	83,217	100,946	83,922	69,958	96,980	52,200	65,591	76,475	77,169.25

Sales Tax Revenues FY 2018-2019 Total: \$869,629 12 Mo. Avg. \$72,469

Oct-18	Nov-18	Dec-18	Jan-19	Feb-19	Mar-19	Apr-19	May-19	Jun-19	Jul-19	Aug-19	Sep-19
67,571	73,123	77,158	71,452	80,971	72,136	96,237	79,896	91,090	72,701	87,223	70,733

Sales Tax Revenues FY 2017-2018 Total: \$846,033 12 Mo. Avg. \$70,503

Oct-17	Nov-17	Dec-17	Jan-18	Feb-18	Mar-18	Apr-18	May-18	Jun-18	Jul-18	Aug-18	Sep-18
70,733	72,033	70,289	55,644	57,445	57,218	60,690	58,942	82,731	131,881	71,529	56,898

Sales Tax Revenues FY 2016-2017 Total: \$636,653 12 Mo. Avg. \$53,054

Oct-16	Nov-16	Dec-16	Jan-17	Feb-17	Mar-17	Apr-17	May-17	Jun-17	Jul-17	Aug-17	Sep-17
60,763	52,993	50,776	58,251	58,466	48,582	57,935	53,949	50,885	53,050	58,131	58,131

Sales Tax Revenues FY 2015-2016 Total: \$636,653 12 Mo. Avg. \$53,054

Oct-15	Nov-15	Dec-15	Jan-16	Feb-16	Mar-16	April-16	May-16	June-16	July-16	Aug-16	Sept-16
47,352	60,770	52,993	50,776	58,251	58,466	48,582	57,935	53,949	50,885	53,050	43,645

Sales Tax Revenues FY 2014-2015 Total: \$661,044 12 Mo. Avg. \$55,087

Oct-14	Nov-14	Dec-14	Jan-15	Feb-15	Mar-15	April-15	May-15	June-15	July-15	Aug-15	Sept-15
52,711	53,417	60,449	55,382	70,179	60,870	43,543	51,854	60,473	48,865	51,030	52,271

Sales Tax Revenues FY 2013-2014 Total: \$637,361 12 Mo. Avg. \$53,113

Oct-13	Nov-13	Dec-13	Jan-14	Feb-14	Mar-14	Apr-14	May-14	June-14	July-14	Aug-14	Sept-14
55,277	49,054	61,523	58,436	62,246	49,770	48,155	52,803	50,076	50,043	50,828	49,150



CITY OF ROLLINGWOOD
PAYMENT AUTHORIZATION

Date: 3/14/2023 Budget Code: See below
 Vendor: ATS Engineers/Inspectors/Surveyors Invoice #: See below
4910 West Hwy 290 Invoice Date: See below
Austin, TX 78735 Account No. Rollingwood
 Vendor ID: ATS

Nature of expense/expenditure: _____
 Justification of expense/expenditure: _____

Description	INCODE	Quantity	Extended Cost
Inv #412663 Building Plan Reviews	1/4/2023 100-5-15-5251	1	\$0.00 \$0.00
Inv #I-1163080 Inspections	1/31/2023 100-5-15-5200	1	\$3,135.00 \$3,135.00
Inv #414255 Inspections	1/31/2023 100-5-15-5200	1	\$65.00 \$65.00
Inv #I-1173419 Inspections	2/28/2023 100-5-15-5200	1	\$2,540.00 \$2,540.00
		1	\$0.00 \$0.00
		1	\$0.00 \$0.00
		1	\$0.00 \$0.00
			0
TOTAL COST			\$5,740.00

Approved by: _____

Department Supervisor: _____ Date: _____
 Finance Dept: _____ Date: 03/14/23
 City Secretary: _____ Date: _____
 City Administrator: AW Date: 3/16/23

BILLED - SERVICE ORDER SUMMARY
BILLING CYCLE: FEBRUARY 2023
CITY OF ROLLINGWOOD

S/O #	SVC DATE	COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
BASIC SERVICE									
376271A	02/27/23	02/27/23	403 NIXON AVENUE	BASIC SERVICE	0.00	0.00	14,915.00	0.00	14,915.00
					BASIC SERVICE SUBTOTAL				
					14,915.00				
GRINDER PUMP ISSUES									
369627A	12/25/22	02/07/23	307 INWOOD RD	GRINDER PUMP PROBLEM. TANK WAS FULL, WE PUMPED IT DOWN IN TO BARRELS. FOUND PUMP NOT WORKING. SENT TO TO HYDRO SOURCE. HYDRO SOURCE: PUMP DRAWING LOCKED ROTOR AMPS, PULLED PUMP AND FOUND A RAG LODGED INSIDE. REMOVED DEBRIS, TESTED AND REINSTALLED PUMP. OPERATIONAL. CITY STAFF REQUESTED WE HANDLE.	233.64	342.68	7.32	920.00	1,503.64
372214A	01/23/23	02/09/23	405 VALE ST	GRINDER PUMP PROBLEM - RUN DRY. HYDROSOURCE: DROPPED IN SPARE. CITY STAFF REQUESTED WE HANDLE.	128.17	152.68	7.32	1,313.84	1,602.01
					GRINDER PUMP ISSUES SUBTOTAL				
					3,105.65				
LIFT STATION									
371205A	01/09/23	01/29/23	CORW - LS3 - ALMARION WAY	NEED TECHNICIAN - LIFT STATION IN HIGH LEVEL - PUMPED STATION DOWN - CONTACTED FACILITIES ABOUT PUMP 1 NOT KEEPING UP WITH FLOW	110.27	58.80	0.00	0.00	169.07
371720A	01/16/23	02/01/23	CORW - LS1 - DELLANA LN	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.00	1,370.80	1,389.24
371721A	01/16/23	02/01/23	CORW - LS3 - ALMARION WAY	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.00	1,523.11	1,541.55



DATE	INVOICE
1/31/2023	I-1163080

PAST DUE

City of Rollingwood
 Attn: City Administrator
 403 Nixon Drive
 Rollingwood, TX 78746

P.O. #:	DUE DATE
	3/2/2023

DESCRIPTION	AMOUNT
Electrical Rough Inspection (Failed - 1/4/2023) at 102 Riley Road, Rollingwood	65.00
Frame-Mechanical-Electrical-Plumbing Inspection (Failed - 1/18/2023) at 102 Riley Road, Rollingwood	65.00
Frame-Mechanical-Electrical-Plumbing Reinspection (Passed - 1/23/2023) at 102 Riley Road, Rollingwood	65.00
Gas Inspection (Failed - 1/13/2023) at 102 Pool Riley Road, Rollingwood (Bluffington)	65.00
Pool Bonding Inspection (Failed - 1/13/2023) at 102 Pool Riley Road, Rollingwood (Bluffington)	65.00
Foundation Pre-pour Inspection - AD (Failed - 1/13/2023) at 102 Pool Riley Road, Rollingwood (Bluffington)	65.00
Plumbing Rough Inspection (Partial Passed - 1/17/2023) at 102 Pool Riley Road, Rollingwood	65.00
Layout Inspection (Passed - 1/26/2023) at 108 Pool Kristi Drive, Rollingwood	0.00
Layout Inspection (Failed - 1/26/2023) at 108 Pool Kristi Drive, Rollingwood	65.00
Plumbing Rough Inspection (Passed - 1/20/2023) at 2801 Vance, Rollingwood	65.00
Frame Reinspection (Passed - 1/23/2023) at 2801 Hubbard, Rollingwood	65.00
Pool Steel Bonding Inspection (Passed - 1/11/2023) at 2803 Pool Pickwick Lane, Rollingwood	65.00
Plumbing Rough Inspection (Passed - 1/11/2023) at 2803 Pool Pickwick Lane, Rollingwood	65.00
Final Gas Inspection (Passed - 1/5/2023) at 2804 Rockway Cove, Rollingwood	65.00
Plumbing Rough Inspection (Failed - 1/24/2023) at 302 Vale St, Rollingwood	65.00
Plumbing Rough Reinspection (Passed - 1/26/2023) at 302 Vale St, Rollingwood	65.00
	Payments Credits

Balance Due



PAST DUE

DATE	INVOICE
1/31/2023	I-1163080

City of Rollingwood
 Attn: City Administrator
 403 Nixon Drive
 Rollingwood, TX 78746

P.O. #:	DUE DATE
	3/2/2023

DESCRIPTION	AMOUNT
Plumbing Rough Inspection (Failed - 1/30/2023) at 302 Pool Vale St, Rollingwood	65.00
Layout Inspection (Passed - 1/12/2023) at 302 pool Vale St, Rollingwood	65.00
Final Plumbing Inspection (Failed - 1/24/2023) at 303 Inwood, Rollingwood	65.00
Final Mechanical-Electrical-Plumbing Inspection (Passed - 1/25/2023) at 304 Almarion Drive, Rollingwood	65.00
Frame Inspection (Passed - 1/9/2023) at 3101 Bee Caves Rd, Rollingwood (Commercial)	75.00
Wallboard Inspection (Passed - 1/9/2023) at 3101 Bee Caves Rd, Rollingwood (Commercial)	75.00
Frame-Mechanical-Electrical-Plumbing Inspection (Failed - 1/6/2023) at 3101 ste 200 Bee Caves Rd, Rollingwood (Commercial)	0.00
Frame-Mechanical-Electrical-Plumbing Inspection (Passed - 1/10/2023) at 3101 ste 200 Bee Caves Rd, Rollingwood (Commercial)	75.00
Mechanical Inspection (Passed - 1/30/2023) at 3103 ste 202 Bee Caves Rd, Rollingwood (Commercial)	75.00
Mechanical Inspection (Passed - 1/30/2023) at 3103 ste 203 Bee Caves Rd, Rollingwood (Commercial)	75.00
Frame-Mechanical-Electrical Inspection (Passed - 1/25/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Wallboard Inspection (Passed - 1/27/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Mechanical Inspection (Passed - 1/30/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Copper Inspection (Passed - 1/4/2023) at 4 Michelle Circle, Rollingwood	65.00
	Payments/Credits

Balance Due



DATE	INVOICE
1/31/2023	I-1163080

PAST DUE

City of Rollingwood
 Attn: City Administrator
 403 Nixon Drive
 Rollingwood, TX 78746

P.O. #:	DUE DATE
	3/2/2023

DESCRIPTION	AMOUNT
Pool Steel Bonding Inspection (Passed - 1/4/2023) at 4 Michelle Circle, Rollingwood	65.00
Foundation Pre-pour Inspection - AD (Passed - 1/4/2023) at 4 Michelle Circle, Rollingwood	65.00
Temporary Power Inspection (Passed - 1/4/2023) at 4 Michelle Circle, Rollingwood	65.00
Final Electrical Inspection (Failed - 1/5/2023) at 401 Vale St, Rollingwood	65.00
Final Electrical-Plumbing Inspection (Passed - 1/12/2023) at 401 Vale St, Rollingwood	65.00
Final Mechanical Inspection (Passed - 1/12/2023) at 401 Vale St, Rollingwood	65.00
Mechanical, Electrical and/or Plumbing Inspection (Passed - 1/26/2023) at 402 Inwood, Rollingwood	65.00
Final Inspection (Passed - 1/24/2023) at 414 Pool Brady Ln, Westlake Hills	65.00
Frame-Mechanical-Electrical-Plumbing Inspection (Reinspect required - 1/6/2023) at 4814 Rollingwood Dr., Rollingwood	65.00
Frame-Mechanical-Electrical-Plumbing Inspection (Correct and Proceed - 1/10/2023) at 4814 Rollingwood Dr., Rollingwood	0.00
Insulation Inspection (Passed - 1/18/2023) at 4815 Timberline Drive, Rollingwood	65.00
Wallboard Inspection (Passed - 1/30/2023) at 4815 Timberline Drive, Rollingwood	65.00
Frame Inspection (Correct and Proceed - 1/18/2023) at 4906 Timberline Drive, Rollingwood	65.00
Wallboard Inspection (Passed - 1/3/2023) at 5014 Timberline, Rollingwood	65.00
Foundation Pre-pour Inspection - AD (Passed - 1/16/2023) at 5014 POOL Timberline, Rollingwood	65.00
	Payments/Credits

Balance Due

Abel Campos

From: Development Services
Sent: Tuesday, March 14, 2023 1:44 PM
To: Abel Campos
Subject: FW: Reminder - Past Due Invoice: Invoice I-1163080 from ATS Engineers, Inspectors, & Surveyors
Attachments: Inv_I1163080_from_ATS_Engineers_Inspectors_Surveyors_13069350_27656.pdf

Thank you! Sincerely,

Nikki Stautzenberger
Development Services Manager
 Qualified Construction Stormwater Inspector #6628
 City of Rollingwood
 512.327.1838
www.rollingwoodtx.gov



From: Meredith Widlaski <meredith_widlaski@ats-engineers.com>
Sent: Tuesday, March 14, 2023 1:05 PM
To: Development Services <developmentservices@rollingwoodtx.gov>
Cc: Desiree Adair <dadair@rollingwoodtx.gov>; Abel Campos <acampos@rollingwoodtx.gov>
Subject: Reminder - Past Due Invoice: Invoice I-1163080 from ATS Engineers, Inspectors, & Surveyors

ATS Engineers, Inspectors, & Surveyors

<p>Invoice PAST DUE I-1163080 Due 03/02/2023</p>	<p>Amount Due: \$3,135.00</p>
--	---

Dear Customer,

Just a reminder that we haven't received a payment for your past due invoice-I-1163080 for 3,135.00. If you have not already done so, please remit payment at your earliest convenience.

If you have questions, please contact us at 512.328.6995 ext. 0, or via email to Lucy_Zamora@ats-engineers.com.

Thank you for your business, we appreciate it very much.

Sincerely,
ATS Engineers, Inspectors, & Surveyors

View & Pay Invoice



■

Abel Campos

From: Development Services
Sent: Tuesday, March 14, 2023 1:44 PM
To: Abel Campos
Subject: FW: Reminder - Past Due Invoice: Invoice 414255 from ATS Engineers, Inspectors, & Surveyors
Attachments: Inv_414255_from_ATS_Engineers_Inspectors_Surveyors_13075547_27656.pdf

Thank you! Sincerely,

Nikki Stautzenberger

Development Services Manager
 Qualified Construction Stormwater Inspector #6628
 City of Rollingwood
 512.327.1838
www.rollingwoodtx.gov



From: Meredith Widlaski <meredith_widlaski@ats-engineers.com>
Sent: Tuesday, March 14, 2023 1:04 PM
To: Development Services <developmentservices@rollingwoodtx.gov>
Cc: Desiree Adair <dadair@rollingwoodtx.gov>; Abel Campos <acampos@rollingwoodtx.gov>
Subject: Reminder - Past Due Invoice: Invoice 414255 from ATS Engineers, Inspectors, & Surveyors

ATS Engineers, Inspectors, & Surveyors

Invoice	PAST DUE	Amount Due:
414255	Due: 03/02/2023	\$65.00

Dear Customer,

Just a reminder that we haven't received a payment for your past due invoice-414255 for 65.00. If you have not already done so, please remit payment at your earliest convenience.

If you have questions, please contact us at 512.328.6995 ext. 0, or via email to Lucy_Zamora@ats-engineers.com.

Thank you for your business, we appreciate it very much.

Sincerely,
 ATS Engineers, Inspectors, & Surveyors

View & Pay Invoice



■



DATE	INVOICE
2/28/2023	I-1173419

City of Rollingwood
 Attn: City Administrator
 403 Nixon Drive
 Rollingwood, TX 78746

P.O. #:	DUE DATE
	3/30/2023

DESCRIPTION	AMOUNT
Insulation Inspection (Passed - 2/9/2023) at 102 Riley Road, Rollingwood	65.00
Deck Bonding Inspection (Passed - 2/10/2023) at 102 Riley Road, Rollingwood	65.00
Final Inspection (Passed - 2/14/2023) at 19 pool Treemont Drive, Rollingwood	65.00
Final Gas Inspection (Passed - 2/21/2023) at 2500 Pickwick Lane, Rollingwood	65.00
Final Mechanical Inspection (Passed - 2/6/2023) at 2900 Bee Cave Rd, Rollingwood (Commercial)	75.00
Plumbing Rough Inspection (Failed - 2/28/2023) at 301 Pleasant Drive, Rollingwood	65.00
Plumbing Rough Inspection (Passed - 2/15/2023) at 302 Vale St, Rollingwood	65.00
Pool Bonding Inspection (Passed - 2/10/2023) at 302 POOL Vale St, Rollingwood	65.00
Plumbing Rough Reinspection (Passed - 2/6/2023) at 302 Pool Vale St, Rollingwood	65.00
Plumbing Rough Inspection (Passed - 2/7/2023) at 302 Pool Vale St, Rollingwood	65.00
Final Plumbing Reinspection (Failed - 2/9/2023) at 303 Inwood, Rollingwood	65.00
Final Gas Inspection (Passed - 2/14/2023) at 303 Inwood, Rollingwood	65.00
Pool Deck Steel Bonding Inspection (Passed - 2/14/2023) at 304 Almarion Drive, Rollingwood	65.00
Electrical Rough Inspection (Passed - 2/16/2023) at 3103 STE 203 Bee Caves Rd, Rollingwood (Commercial)	75.00
Wallboard Inspection (Passed - 2/20/2023) at 3103 ste 203 Bee Caves Rd, Rollingwood (Commercial)	75.00
	Payments/Credits

Balance Due



DATE	INVOICE
2/28/2023	I-1173419

City of Rollingwood
 Attn: City Administrator
 403 Nixon Drive
 Rollingwood, TX 78746

P.O. #:	DUE DATE
	3/30/2023

DESCRIPTION	AMOUNT
Electrical Rough Inspection (Failed - 2/20/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Electrical Rough Reinspection (Passed - 2/22/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Final Mechanical-Electrical-Plumbing Inspection (Passed - 2/23/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Final Inspection (Passed - 2/23/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Gas Inspection (Passed - 2/24/2023) at 3202 Pickwick Lane, Rollingwood	65.00
Water-Sewer Inspection (Failed - 2/20/2023) at 3210 Pickwick Lane, Rollingwood	65.00
Water-Sewer Inspection (Reinspect required - 2/22/2023) at 3210 Pickwick Lane, Rollingwood	65.00
Water Line Inspection (Passed - 2/28/2023) at 3210 Pickwick Lane, Rollingwood	65.00
Frame Inspection (Passed - 2/9/2023) at 402 Inwood, Rollingwood	65.00
Pool Bonding Underground Electrical Inspection (Passed - 2/23/2023) at 402 Pool Inwood, Rollingwood	65.00
Plumbing Rough Inspection (Passed - 2/23/2023) at 402 Pool Inwood, Rollingwood	65.00
Layout Inspection (Passed - 2/23/2023) at 402 Pool Inwood, Rollingwood	65.00
Layout Inspection (Passed - 2/24/2023) at 4080 Pool Timberline Drive, Rollingwood	65.00
Frame Reinspection (Passed - 2/9/2023) at 4814 Rollingwood Dr., Rollingwood	65.00
	Payments/Credits

Balance Due

Abel Campos

From: Development Services
Sent: Monday, March 6, 2023 1:54 PM
To: Abel Campos
Subject: FW: Invoice I-1173419 from ATS Engineers, Inspectors, & Surveyors
Attachments: Inv_I1173419_from_ATS_Engineers_Inspectors__Surveyors_4876.pdf

Thank you! Sincerely,

Nikki Stautzenberger
Development Services Manager
 Qualified Construction Stormwater Inspector #6628
 City of Rollingwood
 512.327.1838
www.rollingwoodtx.gov



From: Lupita Garcia <Lupita_Garcia@ats-engineers.com>
Sent: Friday, March 3, 2023 11:27 AM
To: Development Services <developmentservices@rollingwoodtx.gov>
Cc: Desiree Adair <dadair@rollingwoodtx.gov>; Abel Campos <acampos@rollingwoodtx.gov>
Subject: Invoice I-1173419 from ATS Engineers, Inspectors, & Surveyors

ATS Engineers, Inspectors, & Surveyors

Invoice <i>Due: 03/30/2023</i> I-1173419	Amount Due: \$2,540.00
--	-------------------------------

Dear Customer:

Your invoice-I-1173419 for 2,540.00 is attached. Please remit payment at your earliest convenience.

Thank you for your business - we appreciate it very much.

Sincerely,
 ATS Engineers, Inspectors, & Surveyors

512-328-6995
 ATS-Engineers.com



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CITY OF ROLLINGWOOD, TEXAS

PAYMENT AUTHORIZATION

Date: 3/15/2023

Budget Code: See below

Vendor: Crossroads Utility Services
2601 Forest Creek Drive
Round Rock, TX 78665

Invoice No. 9092
Invoice Date 3/9/2023
Acct No. Rollingwood

Vendor Code: Crossroads

Nature of Expense/Expenditure:

Justification of Expense/Expenditure:

Table with 4 columns: Description, Quantity, Unit Cost, Extended Cost. Rows include Basic Service, Lift Station, Grinder Pump Maintenance, Water - Hydrants, Water Distribution, Wastewater Distribution, Administrative, Wastewater Site Pro Support, Taps and Meters, and a Total row.

Received By: Date:
City Secretary: Date:
Finance Dept: Date: 3/15/2023
City Administrator: Date: 3/15/23

Page 344

31.

DATE	I.D.	PO #	DESCRIPTION	AMOUNT
3/17/2023	9092	1074	Crossroads Utility S Utility Services	30,914.75

STUB TOTAL 30,914.75
CHECK TOTAL 30,914.75

24922

CITY OF ROLLINGWOOD
403 NIXON DRIVE PH (512) 327-1838
ROLLINGWOOD, TX 78746

First-Citizens Bank & Trust Company



88-9390/1149

24922

3/20/2023

DATE

AMOUNT
30,914.75

----- THIRTY THOUSAND NINE HUNDRED FOURTEEN & 75/100 DOLLARS -----

PAY TO THE ORDER OF

Crossroads Utility Services
2601 Forest Creek Dr.
Round Rock, TX 78665



Arwayman

AUTHORIZED SIGNATURE

Security features. Details on back.

⑈024922⑈ ⑆114993906⑆009160219168⑈

CITY OF ROLLINGWOOD

24922

DATE	I.D.	PO #	DESCRIPTION	AMOUNT
3/17/2023	9092	1074	Crossroads Utility S Utility Services	30,914.75

STUB TOTAL 30,914.75
CHECK TOTAL 30,914.75



Crossroads Utility Services

Inv # 9092-14
BCycle FEBRUARY 2023
SvrOrd# 372811
Page # 1

Invoice Date: 03/09/23 Department: SUB-OPER

District: CITY OF ROLLINGWOOD

Location: IN DISTRICT ROLLINGWOOD

Reported By:

Telephone Number:

Date Completed: 02/01/23

WATER QUALITY

Description of Work Performed:

SUB-CONTRACT WORK COMPLETED - AQUATECH COLIFORM

Description	Qty	Price	Amount
Subcontract			
AQUATECH 62478	1.00	517.5000	517.50
Subcontract			517.50
Service Order Total:			517.50

AQUA-TECH
LABORATORIES, INC.
 635 Phil Gramm Blvd., Bryan TX 77807
 P: (979)778-3707, F: (979)778-3193
 email: accounting@aquatechlabs.com

Invoice

Invoice Number: 62478
 Invoice Date: 1/28/2023

Bill To:	Comments:
Crossroads Utility Service 2601 Forest Creek Dr. ROUND ROCK, TX 78665-1232	December 2022 Analysis Rollingwood

Customer ID	Customer PO	Payment Terms	Due Date	Discount
Crossroads Utility Service	*	NET 30 Days	2/27/2023	

Quantity	Item ID & Matrix	Description (see key below)	Unit Price	Amount
4	A Total Coliform DW	Total Coliform SM 9223 [NEL]	25.00	100.00
2	A Weekend Work ...	Weekend Work Fee	175.00	350.00

Location: A-Austin Laboratory Parameter (all others through Bryan Laboratory)

Matrix Codes: NP-Non Potable Water, DW-Drinking Water, SL-Solid

NEL-NELAC Accredited, SUB-Subcontracted, INF-Informational (not certified)
 DWP-Accredited through the TCEQ DW Commercial Lab Approval Program
 ANR-Accreditation Not Required

Total Invoice Amount	\$450.00
Payments/Credits Applied	\$0.00
TOTAL	\$450.00

Empty sample containers, which may contain site references, will be bagged and disposed via municipal waste collection.

*Go paperless! If you prefer to have your invoices e-mailed, please send a request to accounting@aquatechlabs.com and we will make the change for you.
 Thank you for your business!*

BILLED - SERVICE ORDER SUMMARY
BILLING CYCLE: FEBRUARY 2023
CITY OF ROLLINGWOOD

S/O #	SVC DATE	COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
BASIC SERVICE									
376271A	02/27/23	02/27/23	403 NIXON AVENUE	BASIC SERVICE	0.00	0.00	14,915.00	0.00	14,915.00
					BASIC SERVICE SUBTOTAL				
									14,915.00
GRINDER PUMP ISSUES									
369627A	12/25/22	02/07/23	307 INWOOD RD	GRINDER PUMP PROBLEM. TANK WAS FULL, WE PUMPED IT DOWN IN TO BARRELS. FOUND PUMP NOT WORKING. SENT TO TO HYDRO SOURCE. HYDRO SOURCE: PUMP DRAWING LOCKED ROTOR AMPS, PULLED PUMP AND FOUND A RAG LODGED INSIDE. REMOVED DEBRIS, TESTED AND REINSTALLED PUMP. OPERATIONAL. CITY STAFF REQUESTED WE HANDLE.	233.64	342.68	7.32	920.00	1,503.64
372214A	01/23/23	02/09/23	405 VALE ST	GRINDER PUMP PROBLEM - RUN DRY. HYDRO SOURCE: DROPPED IN SPARE. CITY STAFF REQUESTED WE HANDLE.	128.17	152.68	7.32	1,313.84	1,602.01
					GRINDER PUMP ISSUES SUBTOTAL				
									3,105.65
LIFT STATION									
371265A	01/09/23	01/29/23	CORW - LS3 - ALMARION WAY	NEED TECHNICIAN - LIFT STATION IN HIGH LEVEL - PUMPED STATION DOWN - CONTACTED FACILITIES ABOUT PUMP 1 NOT KEEPING UP WITH FLOW	110.27	58.80	0.00	0.00	169.07
371720A	01/16/23	02/01/23	CORW - LS1 - DELLANA LN	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.00	1,370.80	1,389.24
371721A	01/16/23	02/01/23	CORW - LS3 - ALMARION WAY	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.00	1,523.11	1,541.55



AC HOTELS BY MARRIOTT™
 AUSTIN HILL COUNTRY
 7415 SW PKWY BUILDING 8
 AUSTIN, TX 78735
 T: 512 551 4009

DONALD BOERNER
 1016 BALDY MOUNTAIN CT
 CANYON LAKE TX 78133-2204
 LIVE

ROOM: 436
 ROOM TYPE: QSOF
 NUMBER OF GUESTS: 1
 RATE: \$244.00 CLERK: CEO

ARRIVE: 31JAN23
 DEPART: 03FEB23
 FOLIO NUMBER: 78522

TIME: 03:12PM
 TIME: 11:17AM

DATE	DESCRIPTION	CHARGES	CREDITS
31Jan23	Room Charge	342.00	
31Jan23	Occupancy Sales Tax	37.62	
31Jan23	State Occupancy Tax	20.52	
01Feb23	Restaurant Room Charge	119.33	
01Feb23	Room Charge	342.00	
01Feb23	Occupancy Sales Tax	37.62	
01Feb23	State Occupancy Tax	20.52	
02Feb23	Restaurant Room Charge	104.18	
02Feb23	Room Charge	244.00	
02Feb23	Occupancy Sales Tax	26.84	
02Feb23	State Occupancy Tax	14.64	
03Feb23	Visa		1309.27
	Card #:		
	VXXXXXXXXXXXXXXXXX0844XXXX		
	Card Type: VISA Card Entry:		
	MANUAL Approval Code:		
	03117D		
	Balance:	0.00	

1309.27 / 3
 \$436.42

Marriott Bonvoy Account # XXXXX6886. Your Marriott Bonvoy points/miles earned on your eligible earnings will be credited to your account. Check your Marriott Bonvoy account statement or your online statement for updated activity.

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Crossroads Utility Services

Inv # 9092-11
BCycle FEBRUARY 2023
SvrOrd# 372444
Page # 1

Invoice Date: 03/09/23 Department: LEAKS
District: CITY OF ROLLINGWOOD
Location: 5005 TIMBERLINE DRIVE
Reported By: KESSLER, SARAH
Date Completed: 02/07/23

Telephone Number:
WATER DISTRIBUTION

Description of Work Performed:

HOUSELINE LEAK UNDER FENCE. DUG UNDER THE FENCE AREA TO THE SERVICE LINE AND MADE OUR REPAIR TOP THE LINE WITH CLAMP. BACKFILLED AND CLEANED.

Description	Qty	Price	Amount
Material			
3/4" BRASS COUPLING 3907C4433GNL	1.00	59.9150	59.92
3/4" POLY 0907E200C1	1.00	0.6210	0.62
3/4" INSERTS 3907151	1.00	3.5190	3.52
Material			64.06
Service Order Total:			64.06

Crossroads Utility Services

Inv # 9092-10
BCycle FEBRUARY 2023
SvrOrd# 372075
Page # 1

Invoice Date: 03/09/23 Department: OTHER
District: CITY OF ROLLINGWOOD
Location: 213 ASHWORTH DR
Reported By: TOKAZ DR & MRS L

Telephone Number:
WATER DISTRIBUTION

Date Completed: 02/08/23

Description of Work Performed:

WATER SYSTEM WORK COMPLETE. FOUND WATER COMING OUT FROM THE ASPHALT. WE CUT THE ASPHALT AND DUG DOWN TO THE BROKEN SERVICE LINE AND MADE OUR REPAIR TO THE LINE. BACKFILLED AND CLEANED.

Description	Qty	Price	Amount
Material			
WHITT 96826/1	1.00	77.9125	77.91
1 1/2" BRASS COMPRESSION COUPLING 391015C4466GNL	1.00	241.2930	241.29
1 1/2" POLY 0915E200C1	1.00	5.0715	5.07
1 1/2" INSERTS 3915154	1.00	7.0610	7.06
Material			331.33
Service Order Total:			331.33

Crossroads Utility Services

Inv # 9092-9
BCycle FEBRUARY 2023
SvrOrd# 375365
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES
District: CITY OF ROLLINGWOOD
Location: CORW - LS6 - PLEASANT COVE

Reported By: Telephone Number:
Date Completed: 02/24/23 LIFT STATION

Description of Work Performed:
PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.

Description	Qty	Price	Amount
Material			
BATTERIES PLUS P60031219	1.00	18.3425	18.34
Material			18.34
Service Order Total:			18.34

Crossroads Utility Services

Inv # 9092-8
BCycle FEBRUARY 2023
SvrOrd# 375362
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES
District: CITY OF ROLLINGWOOD
Location: CORW - LS7 - NIXON DRIVE

Reported By: Telephone Number:
Date Completed: 02/24/23 LIFT STATION

Description of Work Performed:
PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.

Description	Qty	Price	Amount
Material			
BATTERIES PLUS P60031219	1.00	18.3425	18.34
Material			18.34
Service Order Total:			18.34

Crossroads Utility Services

Inv # 9092-7
BCycle FEBRUARY 2023
SvrOrd# 372686
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES

District: CITY OF ROLLINGWOOD

Location: CORW - LS1 - DELLANA LN

Reported By:

Telephone Number:

Date Completed: 02/07/23

LIFT STATION

Description of Work Performed:

FACILITY WORK COMPLETED. CHECKED LS WET WELL GUIDE RAILS. NEED TO INSTALLED NEW ANCHOR BOLTS. PURCHASED BOLTS AND INSTALLED THE NEW ANCHORS ON WET WELL GUIDE RAIL. RE-HUNG DRIVE THROUGH GATE.

Description	Qty	Price	Amount
Material			
LOWE'S 02831	1.00	10.3960	10.40
Material			10.40
Service Order Total:			10.40

Crossroads Utility Services

Inv # 9092-6
BCycle FEBRUARY 2023
SvrOrd# 371952
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES

District: CITY OF ROLLINGWOOD

Location: CORW - LS4 - ROCKWAY COVE

Reported By:

Telephone Number:

Date Completed: 02/08/23

LIFT STATION

Description of Work Performed:

FACILITY WORK COMPLETED. PURCHASED MATERIALS . SECURE SS WIRE HANGER WITH MULE TAPE. DRILLED HOLES IN PLATE USED HARDWARE TO ATTACH AND SPRAYED LOCK ON LS HATCH WITH OIL.

Description	Qty	Price	Amount
Material			
LOWE'S 27496	1.00	23.7360	23.74
GLOVES 425006	1.00	3.7260	3.73
RAGS 509267	1.00	3.5880	3.59
Material			31.06
Service Order Total:			31.06

Crossroads Utility Services

Inv # 9092-5
BCycle FEBRUARY 2023
SvrOrd# 371721
Page # 1

Invoice Date: 03/09/23 **Department:** SUB-OPER
District: CITY OF ROLLINGWOOD
Location: CORW - LS3 - ALMARION WAY

Reported By: **Telephone Number:**
Date Completed: 02/01/23 LIFT STATION

Description of Work Performed:
 SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description	Qty	Price	Amount
Subcontract			
WWTS 11121504	1.00	1,523.1060	1,523.11
Subcontract			1,523.11
		Service Order Total:	1,523.11

Crossroads Utility Services

Inv # 9092-4
BCycle FEBRUARY 2023
SvrOrd# 371720
Page # 1

Invoice Date: 03/09/23 Department: SUB-OPER
District: CITY OF ROLLINGWOOD
Location: CORW - LS1 - DELLANA LN

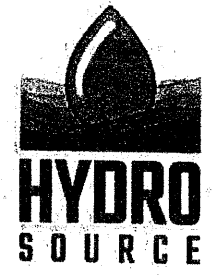
Reported By: Telephone Number:
Date Completed: 02/01/23 LIFT STATION

Description of Work Performed:
SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description	Qty	Price	Amount
Subcontract			
WWTS 11125103	1.00	1,370.8000	1,370.80
Subcontract			1,370.80
		Service Order Total:	1,370.80

372214

Hydro Source Services, Inc.
14 Applegate Cir
Round Rock, TX 78665 US
+1 5129144298
accounting@hydrosourcetx.com



INVOICE

BILL TO
CROSSROADS UTILITY
SERVICES, LLC
2601 FOREST CREEK DRIVE
ROUND ROCK, TX 78665
USA

SHIP TO
ROLLINGWOOD
2601 FOREST CREEK
DRIVE
ROUND ROCK, TX 78665
USA

INVOICE # 6515
DATE 01/31/2023
TERMS Net 30

PO
27534

ITEM	DESCRIPTION	QTY	EACH	EXTENDED
CALLOUT	WEEKEND CALLOUT 405 vale st Rollingwood TX 78746 PO#27534 IN: GH751966 OUT: WH665589 CALLOUT 01/21/2023, 10:55 AM Station was at motor housing on arrival with pump running 250v 5.6 amps but not moving any water , cable megged good , equalizer was disconnected from the pump and continuity test show floating shorts on the On/Off switch , pulled pump for repair and dropped ROLLINGWOOD SPARE in and tested station 250v 6.0 amps station back to operational order	1	600.00	600.00T
SHOP SERVICE	SHOP SERVICE	2	135.00	270.00T
PARTS	3212 - CORD GRIP, 1/2 INCH NPT W/ O-RING 1 unit \$15.96 7290 - PRESSURE SWITCH, ON/OFF W/ O-RINGS 1 unit \$69.64 7291 - PRESSURE SWITCH, ALARM W/ O-RINGS 1 unit \$69.64 7115 - FLG TERMINAL, 18 GA 7 units \$1.24 6203 - SEAL, LEVEL SENSING HOUSING, EXTREME 1 unit \$3.96 6202-2 - O-RING, CASTING 4.975 X 5.525, QTY-2 1 unit \$6.60 3125 - LOCKNUT, 5/16, SS, QTY-3 1 unit \$3.66 8203 - STATOR/LINER ASSY, EXTREME 1 unit \$94.33 Parts Cost	1	272.47	272.47T

Hydro Source Services, Inc.
 14 Applegate Cir
 Round Rock, TX 78665 US
 +1 5129144298
 accounting@hydrosourcetx.com



INVOICE

BILL TO
 CROSSROADS UTILITY
 SERVICES, LLC
 2601 FOREST CREEK DRIVE
 ROUND ROCK, TX 78665
 USA

SHIP TO
 ROLLINGWOOD
 2601 FOREST CREEK
 DRIVE
 ROUND ROCK, TX 78665
 USA

INVOICE # 6359
DATE 01/09/2023

TERMS Net 30

369627A

PO
 27168

ITEM	DESCRIPTION	QTY	EACH	EXTENDED
CALLOUT	307 Innwood Rd, Rollingwood, TX 78746 PO#27168 HOLIDAY CALLOUT 12/25/2022, 2:49 PMNEW Station pumped out by crossroads before arrival. Found Barnes pump drawing locked rotor amps, pulled pump and found a wet wipe lodged in, removed and ran pump in hand, amps normal and rotor spinning. Dropped back in and filled up and tested. Back to normal operation. Floats test bad but customer is gonna pump system along until it fails then upgrade from there. Notified customer and cleaned site.	1	800.00	800.00T

Thank you for your business. Please contact us with any questions or concerns.

SUBTOTAL	800.00
TAX	0.00
TOTAL	800.00
BALANCE DUE	\$800.00

Invoice for Basic Service

Crossroads Utility Services

2601 Forest Creek Dr.
Round Rock, TX 78665
Phone: 281-620-3986
Fax:

Client:

CITY OF ROLLINGWOOD

Billing Cycle:

FEBRUARY

Operations Fee - Wastewater System	\$8,165.00
Operations Fee - Water System	\$6,750.00
Total BASIC SERVICE	<hr/> \$14,915.00

BILLED - SERVICE ORDER SUMMARY
 BILLING CYCLE: FEBRUARY 2023
 CITY OF ROLLINGWOOD

S/O #	SVC DATE	COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
WASTEWATER COLLECTION									
375526A	02/19/23	02/24/23	2805 BEE CAVE RD	AND THEY ADDRESSED PLUMBER TOLD CUSTOMER IT WAS A CITY SIDE ISSUE. SENT TO MAINTENANCE. FOUND MAN HOLES TO BE ON AND OWNED BY THE COMPLEX. ADVISED TO CONTACT PLUMBER.	24.73	7.35	0.00	0.00	32.08
375527A	02/19/23	02/24/23	22 TREEMONT DR	ABC PLUMBING SAID GRINDER WAS SHUT AND NEEDED REPLACEMENT. SENT TO MAINTENANCE TO INVESTIGATE.	24.73	7.35	0.00	0.00	32.08
					WASTEWATER COLLECTION SUBTOTAL				
					119.29				

LABOR/EQUIPMENT/MATERIAL/SUBCON TOTALS	4,758.81	4,604.60	15,906.09	5,645.25
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GRAND TOTAL	30,914.75
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BILLED - SERVICE ORDER SUMMARY
BILLING CYCLE: FEBRUARY 2023
CITY OF ROLLINGWOOD

S/O #	SVC DATE	COMP	ADDRESS	NOTES	LABOR	EQUIP	MATL	SUBCON	TOTAL
LIFT STATION									
373724A	02/02/23	02/26/23	CORW - LS3 - ALMARION WAY	FACILITY WORK COMPLETED - CLEARED BRANCHES AND TRASH AFTER ALARMS	27.73	14.70	0.00	0.00	42.43
373840A	01/30/23	02/26/23	CORW - LS1 - DELLANA LN	BREAKER TRIPPED-RESET BREAKER - PUMP 1 FAIL - 1 RESET AND CAME BACK ONLINE - PUMP 2 WOULD NOT COME ON - I SENT TO FACILITIES	166.43	73.50	0.00	0.00	239.93
374836A	02/11/23	02/15/23	403 NIXON AVENUE	SPECIAL FACILITY CHECK. LEFT TICKET FOR AT&T, PONE LINE ISSUE.	144.71	51.45	0.00	0.00	196.16
375362A	02/20/23	02/24/23	CORW - LST - NIXON DRIVE	PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.	44.37	29.40	18.34	0.00	92.11
375365A	02/20/23	02/24/23	CORW - LS6 - PLEASANT COVE	PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.	44.37	29.40	18.34	0.00	92.11
									LIFT STATION SUBTOTAL
									5,210.64

WATER DISTRIBUTION

372075A	01/19/23	02/08/23	213 ASHWORTH DR	WATER SYSTEM WORK COMPLETE. FOUND WATER COMING OUT FROM THE ASPHALT. WE CUT THE ASPHALT AND DUG DOWN TO THE BROKEN SERVICE LINE AND MADE OUR REPAIR TO THE LINE. BACKFILLED AND CLEANED.	1,658.13	2,416.40	331.33	0.00	4,405.86
372444A	01/24/23	02/07/23	5005 TIMBERLINE DRIVE	HOUSELINE LEAK UNDER FENCE. DUG UNDER THE FENCE AREA TO THE SERVICE LINE AND MADE OUR REPAIR TOP THE LINE WITH CLAMP. BACKFILLED AND CLEANED.	1,199.36	458.04	64.06	0.00	1,721.46



AC HOTELS BY MARRIOTT™
 AUSTIN HILL COUNTRY
 7415 SW PKWY BUILDING 8
 AUSTIN, TX 78735
 T: 512 551 4009

DONALD BOERNER
 1016 BALDY MOUNTAIN CT
 CANYON LAKE TX 78133-2204
 LIVE

ROOM: 436
 ROOM TYPE: QSOF
 NUMBER OF GUESTS: 1
 RATE: \$244.00 CLERK: CEO

ARRIVE: 31JAN23
 DEPART: 03FEB23
 FOLIO NUMBER: 78522

TIME: 03:12PM
 TIME: 11:17AM

DATE	DESCRIPTION	CHARGES	CREDITS
31Jan23	Room Charge	342.00	
31Jan23	Occupancy Sales Tax	37.82	
31Jan23	State Occupancy Tax	20.52	
01Feb23	Restaurant Room Charge	119.33	
01Feb23	Room Charge	342.00	
01Feb23	Occupancy Sales Tax	37.82	
01Feb23	State Occupancy Tax	20.52	
02Feb23	Restaurant Room Charge	104.18	
02Feb23	Room Charge	244.00	
02Feb23	Occupancy Sales Tax	26.84	
02Feb23	State Occupancy Tax	14.64	
03Feb23	1309.27 / 3		
	Card #:		
	VXXXXXXXXXXXXXXXXX0844XXXX		
	Card Type: VISA Card Entry:		
	MANUAL Approval Code:		
	03117D		
	Balance:	0.00	

Handwritten notes: 1309.27 / 3 and \$436.42

Marriott Bonvoy Account # XXXXX6686. Your Marriott Bonvoy points/miles earned on your eligible earnings will be credited to your account. Check your Marriott Bonvoy account statement or your online statement for updated activity.

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Crossroads Utility Services

Inv # 9092-11
BCycle FEBRUARY 2023
SvrOrd# 372444
Page # 1

Invoice Date: 03/09/23 Department: LEAKS
District: CITY OF ROLLINGWOOD
Location: 5005 TIMBERLINE DRIVE
Reported By: KESSLER, SARAH
Date Completed: 02/07/23

Telephone Number:
WATER DISTRIBUTION

Description of Work Performed:

HOUSELINE LEAK UNDER FENCE. DUG UNDER THE FENCE AREA TO THE SERVICE LINE AND MADE OUR REPAIR TOP THE LINE WITH CLAMP. BACKFILLED AND CLEANED.

Description	Qty	Price	Amount
Material			
3/4" BRASS COUPLING 3907C4433GNL	1.00	59.9150	59.92
3/4" POLY 0907E200C1	1.00	0.6210	0.62
3/4" INSERTS 3907151	1.00	3.5190	3.52
Material			64.06
Service Order Total:			64.06

Crossroads Utility Services

Inv # 9092-10
BCycle FEBRUARY 2023
SvrOrd# 372075
Page # 1

Invoice Date: 03/09/23 Department: OTHER
District: CITY OF ROLLINGWOOD
Location: 213 ASHWORTH DR
Reported By: TOKAZ DR & MRS L

Telephone Number:
WATER DISTRIBUTION

Date Completed: 02/08/23

Description of Work Performed:

WATER SYSTEM WORK COMPLETE. FOUND WATER COMING OUT FROM THE ASPHALT. WE CUT THE ASPHALT AND DUG DOWN TO THE BROKEN SERVICE LINE AND MADE OUR REPAIR TO THE LINE. BACKFILLED AND CLEANED.

Description	Qty	Price	Amount
Material			
WHITT 96826/1	1.00	77.9125	77.91
1 1/2" BRASS COMPRESSION COUPLING 391015C4466GNL	1.00	241.2930	241.29
1 1/2" POLY 0915E200C1	1.00	5.0715	5.07
1 1/2" INSERTS 3915154	1.00	7.0610	7.06
Material			331.33
		Service Order Total:	331.33

Crossroads Utility Services

Inv # 9092-9
BCycle FEBRUARY 2023
SvrOrd# 375365
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES
District: CITY OF ROLLINGWOOD
Location: CORW - LS6 - PLEASANT COVE

Reported By: Telephone Number:
Date Completed: 02/24/23 LIFT STATION

Description of Work Performed:

PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.

Description	Qty	Price	Amount
Material			
BATTERIES PLUS P60031219	1.00	18.3425	18.34
Material			18.34
Service Order Total:			18.34

Crossroads Utility Services

Inv # 9092-8
BCycle FEBRUARY 2023
SvrOrd# 375362
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES
District: CITY OF ROLLINGWOOD
Location: CORW - LS7 - NIXON DRIVE

Reported By: Telephone Number:
Date Completed: 02/24/23 LIFT STATION

Description of Work Performed:
PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.

Description	Qty	Price	Amount
Material			
BATTERIES PLUS P60031219	1.00	18.3425	18.34
Material			18.34
Service Order Total:			18.34

Crossroads Utility Services

Inv # 9092-7
BCycle FEBRUARY 2023
SvrOrd# 372686
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES
District: CITY OF ROLLINGWOOD
Location: CORW - LS1 - DELLANA LN

Reported By: Telephone Number:
Date Completed: 02/07/23 LIFT STATION

Description of Work Performed:

FACILITY WORK COMPLETED. CHECKED LS WET WELL GUIDE RAILS. NEED TO INSTALLED NEW ANCHOR BOLTS. PURCHASED BOLTS AND INSTALLED THE NEW ANCHORS ON WET WELL GUIDE RAIL. RE-HUNG DRIVE THROUGH GATE.

Description	Qty	Price	Amount
Material			
LOWE'S 02831	1.00	10.3960	10.40
Material			10.40
Service Order Total:			10.40

Crossroads Utility Services

Inv # 9092-6
BCycle FEBRUARY 2023
SvrOrd# 371952
Page # 1

Invoice Date: 03/09/23 Department: FACILITIES
District: CITY OF ROLLINGWOOD
Location: CORW - LS4 - ROCKWAY COVE

Reported By: Telephone Number:
Date Completed: 02/08/23 LIFT STATION

Description of Work Performed:

FACILITY WORK COMPLETED. PURCHASED MATERIALS . SECURE SS WIRE HANGER WITH MULE TAPE. DRILLED HOLES IN PLATE USED HARDWARE TO ATTACH AND SPRAYED LOCK ON LS HATCH WITH OIL.

Description	Qty	Price	Amount
Material			
LOWE'S 27496	1.00	23.7360	23.74
GLOVES 425006	1.00	3.7260	3.73
RAGS 509267	1.00	3.5880	3.59
Material			31.06
Service Order Total:			31.06

Crossroads Utility Services

Inv # 9092-5
BCycle FEBRUARY 2023
SvrOrd# 371721
Page # 1

Invoice Date: 03/09/23 Department: SUB-OPER
District: CITY OF ROLLINGWOOD
Location: CORW - LS3 - ALMARION WAY

Reported By: Telephone Number:
Date Completed: 02/01/23 LIFT STATION

Description of Work Performed:
SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description	Qty	Price	Amount
Subcontract			
WWTS 11121504	1.00	1,523.1060	1,523.11
Subcontract			1,523.11
Service Order Total:			1,523.11

Crossroads Utility Services

Inv # 9092-4
BCycle FEBRUARY 2023
SvrOrd# 371720
Page # 1

Invoice Date: 03/09/23 Department: SUB-OPER
District: CITY OF ROLLINGWOOD
Location: CORW - LS1 - DELLANA LN

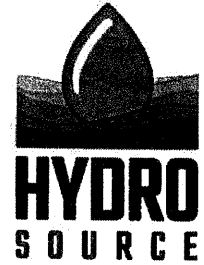
Reported By: Telephone Number:
Date Completed: 02/01/23 LIFT STATION

Description of Work Performed:
SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description	Qty	Price	Amount
Subcontract			
WWTS 11125103	1.00	1,370.8000	1,370.80
Subcontract			1,370.80
Service Order Total:			1,370.80

317214

Hydro Source Services, Inc.
14 Applegate Cir
Round Rock, TX 78665 US
+1 5129144298
accounting@hydrosourcetx.com



INVOICE

BILL TO
CROSSROADS UTILITY
SERVICES, LLC
2601 FOREST CREEK DRIVE
ROUND ROCK, TX 78665
USA

SHIP TO
ROLLINGWOOD
2601 FOREST CREEK
DRIVE
ROUND ROCK, TX 78665
USA

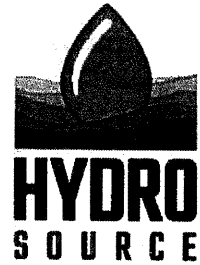
INVOICE # 6515
DATE 01/31/2023

TERMS Net 30

PO
27534

ITEM	DESCRIPTION	QTY	EACH	EXTENDED
CALLOUT	WEEKEND CALLOUT 405 vale st Rollingwood TX 78746 PO#27534 IN: GH751966 OUT: WH665589 CALLOUT 01/21/2023, 10:55 AM Station was at motor housing on arrival with pump running 250v 5.6 amps but not moving any water , cable megged good , equalizer was disconnected from the pump and continuity test show floating shorts on the On/Off switch , pulled pump for repair and dropped ROLLINGWOOD SPARE in and tested station 250v 6.0 amps station back to operational order	1	600.00	600.00T
SHOP SERVICE	SHOP SERVICE	2	135.00	270.00T
PARTS	3212 - CORD GRIP, 1/2 INCH NPT W/ O-RING 1 unit \$15.96 7290 - PRESSURE SWITCH, ON/OFF W/ O-RINGS 1 unit \$69.64 7291 - PRESSURE SWITCH, ALARM W/ O-RINGS 1 unit \$69.64 7115 - FLG TERMINAL, 18 GA 7 units \$1.24 6203 - SEAL, LEVEL SENSING HOUSING, EXTREME 1 unit \$3.96 6202-2 - O-RING, CASTING 4.975 X 5.525, QTY-2 1 unit \$6.60 3125 - LOCKNUT, 5/16, SS, QTY-3 1 unit \$3.66 8203 - STATOR/LINER ASSY, EXTREME 1 unit \$94.33 Parts Cost	1	272.47	272.47T

Hydro Source Services, Inc.
 14 Applegate Cir
 Round Rock, TX 78665 US
 +1 5129144298
 accounting@hydrosourcetx.com



INVOICE

BILL TO
 CROSSROADS UTILITY
 SERVICES, LLC
 2601 FOREST CREEK DRIVE
 ROUND ROCK, TX 78665
 USA

SHIP TO
 ROLLINGWOOD
 2601 FOREST CREEK
 DRIVE
 ROUND ROCK, TX 78665
 USA

INVOICE # 6359
DATE 01/09/2023

TERMS Net 30

369627A

PO
 27168

ITEM	DESCRIPTION	QTY	EACH	EXTENDED
CALLOUT	307 Innwood Rd, Rollingwood, TX 78746 PO#27168 HOLIDAY CALLOUT 12/25/2022, 2:49 PMNEW Station pumped out by crossroads before arrival. Found Barnes pump drawing locked rotor amps, pulled pump and found a wet wipe lodged in, removed and ran pump in hand, amps normal and rotor spinning. Dropped back in and filled up and tested. Back to normal operation. Floats test bad but customer is gonna pump system along until it fails then upgrade from there. Notified customer and cleaned site.	1	800.00	800.00T

Thank you for your business. Please contact us with any questions or concerns.

SUBTOTAL	800.00
TAX	0.00
TOTAL	800.00
BALANCE DUE	\$800.00

Invoice for Basic Service

Crossroads Utility Services

2601 Forest Creek Dr.
Round Rock, TX 78665
Phone: 281-620-3986
Fax:

Client:
CITY OF ROLLINGWOOD

Billing Cycle:
FEBRUARY

Operations Fee - Wastewater System	\$8,165.00
Operations Fee - Water System	\$6,750.00
Total BASIC SERVICE	<hr/> \$14,915.00

BILLED - SERVICE ORDER SUMMARY
BILLING CYCLE: FEBRUARY 2023
CITY OF ROLLINGWOOD

S/O #	SVC DATE	COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
WASTEWATER COLLECTION									
375526A	02/19/23	02/24/23	2805 BEE CAVE RD	AND THEY ADDRESSED PLUMBER TOLD CUSTOMER IT WAS A CITY SIDE ISSUE. SENT TO MAINTENANCE. FOUND MAN HOLES TO BE ON AND OWNED BY THE COMPLEX. ADVISED TO CONTACT PLUMBER.	24.73	7.35	0.00	0.00	32.08
375527A	02/19/23	02/24/23	22 TREEMONT DR	ABC PLUMBING SAID GRINDER WAS SHUT AND NEEDED REPLACEMENT. SENT TO MAINTENANCE TO INVESTIGATE.	24.73	7.35	0.00	0.00	32.08
					WASTEWATER COLLECTION SUBTOTAL				119.29

LABOR/EQUIPMENT/MATERIAL/SUBCON TOTALS 4,758.81 4,604.60 15,906.09 5,645.25

GRAND TOTAL	30,914.75
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BILLED - SERVICE ORDER SUMMARY
BILLING CYCLE: FEBRUARY 2023
CITY OF ROLLINGWOOD

S/O #	SVC DATE	COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
LIFT STATION									
373724A	02/02/23	02/26/23	CORW - LS3 - ALMARION WAY	FACILITY WORK COMPLETED - CLEARED BRANCHES AND TRASH AFTER ALARMS	27.73	14.70	0.00	0.00	42.43
373840A	01/30/23	02/26/23	CORW - LS1 - DELLANA LN	BREAKER TRIPPED-RESET BREAKER - PUMP 1 FAIL - I RESET AND CAME BACK ONLINE - PUMP 2 WOULD NOT COME ON - I SENT TO FACILITIES	166.43	73.50	0.00	0.00	239.93
374836A	02/11/23	02/15/23	403 NIXON AVENUE	SPECIAL FACILITY CHECK. LEFT TICKET FOR AT&T, PONE LINE ISSUE.	144.71	51.45	0.00	0.00	196.16
375362A	02/20/23	02/24/23	CORW - LS7 - NIXON DRIVE	PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.	44.37	29.40	18.34	0.00	92.11
375366A	02/20/23	02/24/23	CORW - LS6 - PLEASANT COVE	PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.	44.37	29.40	18.34	0.00	92.11
LIFT STATION SUBTOTAL									5,210.64

WATER DISTRIBUTION

372075A	01/19/23	02/08/23	213 ASHWORTH DR	WATER SYSTEM WORK COMPLETE. FOUND WATER COMING OUT FROM THE ASPHALT. WE CUT THE ASPHALT AND DUG DOWN TO THE BROKEN SERVICE LINE AND MADE OUR REPAIR TO THE LINE. BACKFILLED AND CLEANED.	1,658.13	2,416.40	331.33	0.00	4,405.86
372444A	01/24/23	02/07/23	5005 TIMBERLINE DRIVE	HOUSELINE LEAK UNDER FENCE. DUG UNDER THE FENCE AREA TO THE SERVICE LINE AND MADE OUR REPAIR TOP THE LINE WITH CLAMP. BACKFILLED AND CLEANED.	1,199.36	458.04	64.06	0.00	1,721.46

CITY OF ROLLINGWOOD, TEXAS

PAYMENT AUTHORIZATION

Date: 3/24/2023

Budget Code: See Below

Vendor: K Friese & Associates, Inc.
1120 South Capital of Texas Hwy
City View 2, Suite 100
Austin, TX 78746

Invoice No. See Below
Invoice Date See Below
Acct No. City of Rollingwood

[Handwritten signature]

Vendor Code: K Friese

Nature of Expense/Expenditure: Engineering Services

Justification of Expense/Expenditure:

Table with 5 columns: INCODE, Description, Quantity, Unit Cost, Extended Cost. Rows include items like General Engineering, RLWD Infrastructure Improve. Plan, Rollingwood MS4, Zoning Reviews, Drainage, Nixon-Pleasant Drainage Improv, Hubbard-Hatley-Pickwick Drainage Improv, StormwaterGIS, and Training.

Received By: _____ Date: _____
City Secretary: _____ Date: _____
Finance Dept: _____ Date: 3/24/2023
City Administrator: [Signature] _____ Date: 3/28/23



City of Rollingwood
 ATTN: Ashley Wayman
 403 Nixon
 Rollingwood, Texas 78746

Invoice Date March 15, 2023
 Invoice No. 2302097

Project Name:	KFA Project No.	Current Invoice Amount	Period Covered
Rollingwood General Engineering Services	0764	\$ 28,118.75	February 2023
Rollingwood Nixon-Pleasant Drainage Improvements	0807	\$ 895.00	February 2023
Total this Invoice		\$ 29,013.75	

Rollingwood General Engineering Services Monthly Progress Report

K Friese & Associates, Inc.

1120 S. Capital of Texas Highway, CityView 2, Suite 100, Austin, Texas 78746

Client: City of Rollingwood

Invoice No.: 2302097

Project Description: General Engineering Services

Project Reporting Period: February 1, 2023 – February 28, 2023

Project Manager: Tyson Hasz, PE

Project	Project Summary	Status	Next steps
WA03 Hubbard, Hatley, Drainage Improvements PS&E	Preparation of plans, specifications and estimates for the development of a construction bid package. Option 2 from the PER has been selected as the preferred option which proposes to construct a storm drain system from the creek at Almarion Way extending upstream to Hatley, Hubbard and Pickwick.	Intention will be to bid this package together with the Nixon/Pleasant project. KFA on hold pending easement coordination, design, coordination by City staff. Exhibits were sent to two residents for review. Received exhibit from one resident's engineer.	Property owner coordination may result in supplemental services. Final design to proceed once scope and easements are resolved. Easement/homeowner coordination.
WA04 Nixon/Pleasant Drainage Improvements PS&E	Preparation of plans, specifications and estimates for the development of a construction bid package. This will include channel improvements and Segment 1 of the storm sewer improvements.	Intention will be to bid this package together with the Hubbard/Hatley project. KFA coordinating with City on property owner requests. Progress set sent to City 2/10.	Revise landscape plans per property owner requests. Finalize agreements on proposed easements.
General	Coordination with City staff regarding on-going development review services, engineering services, monthly report preparation and attendance of meetings at City's request.	On-Going. Bi-weekly meetings. City timeline of recurring activities.	Regular recurring activities

Project	Project Summary	Status	Next steps
Development Services	Coordination with City staff regarding on-going development services, MyPermitNow Support, and meeting with staff and applicants as requested.	Building and development services and coordination with staff. MyPermitNow (MPN) support and coordination with Development Services Manager. Entering permits into MPN.	Continued coordination and support.
Water/Wastewater System Modeling & Mapping Updates	Data gathering and review of water/wastewater system infrastructure mapping. Develop/update wastewater and water system model updates to evaluate current and future system capacity needs. Utilize model to plan for infrastructure repairs, upgrades, and future growth needs.	None.	Updating models as needed.
Water/Wastewater System	Coordination/support with Crossroads regarding infrastructure such as valves, pressure planes, and infrastructure.	None.	Continue coordination to support mapping and KFA modeling efforts.
GIS	KFA to send quarterly updates for the City GIS layers.	On-going GIS exhibits and mapping updates as requested. CIP & IIP GIS files sent 2/8. Quarterly GIS updates sent 2/8.	GIS exhibits and mapping updates as needed.

Project	Project Summary	Status	Next steps
MS4 Compliance	Coordination with City staff on compliance with the Storm Water Management Permit for the 2022 calendar year.	<p>On-going</p> <p>Continue coordination and compliance efforts for permit compliance.</p> <p>Updating 2022 annual report.</p> <p>KFA presented MS4 informational to City Council 2/15.</p>	<p>Continue compliance coordination for 2022.</p> <p>Continue updating 2022 annual report.</p> <p>Begin compliance coordination for 2023.</p>
Water Infrastructure Bond	Determine how to package the water projects associated with the water infrastructure bond.	<p>KFA presented proposal to City Council 2/15.</p> <p>KFA revising proposal to include bidding phase and construction phase services.</p>	<p>Revise proposal per City request.</p> <p>Review revised proposal with City prior to presenting to City Council.</p> <p>Develop bond website.</p>
City of Austin Atlas 14 Floodplain Update	The City of Austin has begun a five-year effort to update floodplain maps in the Austin area. The maps are being updated with Atlas 14 rainfall data.	<p>KFA attended COA informational virtual public meeting over Zoom.</p> <p>Eanes Creek likely to be restudied. Likely to lead to a floodplain increase, which will impact properties along the creeks.</p>	Continue to monitor progress



K Friese & Associates, Inc.
1120 South Capital of Texas Highway
CityView 2, Suite 100
Austin, Texas 78746
(512) 338-1704

March 15, 2023
 Project No: 0764
 Invoice No: 2302097

Ashley Wayman
 City of Rollingwood
 403 Nixon
 Rollingwood, TX 78746

Project 0764 Rollingwood General Engineering Services

Professional Services from February 1, 2023 to February 28, 2023

Task 100 General Engineering

Professional Personnel

	Hours	Rate	Amount	
Aguilar, Javier	1.00	90.00	90.00	
Blackburn, Gregory	2.00	180.00	360.00	
Hasz, Tyson	8.50	185.00	1,572.50	
Totals	11.50		2,022.50	
Total Labor				2,022.50
		Total this Task		\$2,022.50

Task 101 Development Services

Professional Personnel

	Hours	Rate	Amount	
Gaston, Theresa	8.75	170.00	1,487.50	
Hasz, Tyson	19.00	185.00	3,515.00	
Melland, Brandon	1.50	170.00	255.00	
Wissel, Suzanne	1.25	110.00	137.50	
Totals	30.50		5,395.00	
Total Labor				5,395.00
		Total this Task		\$5,395.00

Task 105 MS4

Professional Personnel

	Hours	Rate	Amount	
Ballard, Anna	4.00	110.00	440.00	
Blackburn, Gregory	2.00	180.00	360.00	
Hasz, Tyson	4.50	185.00	832.50	
Totals	10.50		1,632.50	
Total Labor				1,632.50
		Total this Task		\$1,632.50

Task 106 Drainage

Project 0764 Rollingwood General Engineering Services Invoice 2302097

Professional Personnel

	Hours	Rate	Amount	
Anania, Logan	18.25	110.00	2,007.50	
Salinas, III, Abelardo	36.00	220.00	7,920.00	
Totals	54.25		9,927.50	
Total Labor				9,927.50
				Total this Task \$9,927.50

Task 107 GIS

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	1.00	185.00	185.00	
Stotts, Matthew	9.00	125.00	1,125.00	
Totals	10.00		1,310.00	
Total Labor				1,310.00
				Total this Task \$1,310.00

Task 302 DR-401 Vale St

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	1.50	185.00	277.50	
Totals	1.50		277.50	
Total Labor				277.50
				Total this Task \$277.50

Task 349 DR-19 Treemont

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	2.50	185.00	462.50	
Totals	2.50		462.50	
Total Labor				462.50
				Total this Task \$462.50

Task 379 DR-5012 Timberline

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	2.75	185.00	508.75	
Totals	2.75		508.75	
Total Labor				508.75
				Total this Task \$508.75

Task 386 DR- 3 Grove Ct

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	2.75	185.00	508.75	
Hernandez, Aldo	2.75	110.00	302.50	
Totals	5.50		811.25	
Total Labor				811.25
				Total this Task \$811.25

Project 0764 Rollingwood General Engineering Services Invoice 2302097

Task 388 DR - 208 Ashworth

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	5.75	185.00	1,063.75	
Salinas, III, Abelardo	.50	220.00	110.00	
Totals	6.25		1,173.75	
Total Labor				1,173.75
				Total this Task \$1,173.75

Task 398 DR - 4808 Timberline Drive

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	1.50	185.00	277.50	
Hernandez, Aldo	1.25	110.00	137.50	
Totals	2.75		415.00	
Total Labor				415.00
				Total this Task \$415.00

Task 401 DR-4707 Timberline Drive

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	.25	185.00	46.25	
Totals	.25		46.25	
Total Labor				46.25
				Total this Task \$46.25

Task 402 DR - 4900 Rollingwood Drive

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	.50	185.00	92.50	
Hernandez, Aldo	.50	110.00	55.00	
Totals	1.00		147.50	
Total Labor				147.50
				Total this Task \$147.50

Task 406 DR - 403 Wallis

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	3.50	185.00	647.50	
Hernandez, Aldo	2.00	110.00	220.00	
Totals	5.50		867.50	
Total Labor				867.50
				Total this Task \$867.50

Task 409 DR - 408 Willis

Professional Personnel

	Hours	Rate	Amount	
Hasz, Tyson	1.25	185.00	231.25	

Project	0764	Rollingwood General Engineering Services	Invoice	2302097
Hernandez, Aldo		2.50	110.00	275.00
Totals		3.75		506.25
Total Labor				506.25
Total this Task				\$506.25

Task	600	Zoning Review General		
Professional Personnel				
		Hours	Rate	Amount
Gaston, Theresa		1.50	170.00	255.00
Melland, Brandon		.75	170.00	127.50
Totals		2.25		382.50
Total Labor				382.50
Total this Task				\$382.50

Task	676	ZR - 408 Wallis		
Professional Personnel				
		Hours	Rate	Amount
Gaston, Theresa		1.50	170.00	255.00
Melland, Brandon		.50	170.00	85.00
Totals		2.00		340.00
Total Labor				340.00
Total this Task				\$340.00

Task	681	ZR - 4808 Timberline Drive		
Professional Personnel				
		Hours	Rate	Amount
Melland, Brandon		.25	170.00	42.50
Totals		.25		42.50
Total Labor				42.50
Total this Task				\$42.50

Task	685	ZR - 4707 Timberline		
Professional Personnel				
		Hours	Rate	Amount
Gaston, Theresa		1.25	170.00	212.50
Melland, Brandon		.50	170.00	85.00
Totals		1.75		297.50
Total Labor				297.50
Total this Task				\$297.50

Task	686	ZR - 302 Inwood		
Professional Personnel				
		Hours	Rate	Amount
Gaston, Theresa		1.50	170.00	255.00
Totals		1.50		255.00
Total Labor				255.00
Total this Task				\$255.00

Task	687	ZR - 4900 Rollingwood Drive		
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Project 0764 Rollingwood General Engineering Services Invoice 2302097

Professional Personnel

	Hours	Rate	Amount
Gaston, Theresa	2.00	170.00	340.00
Melland, Brandon	.75	170.00	127.50
Totals	2.75		467.50
Total Labor			467.50
Total this Task			\$467.50

Task 689 ZR - 403 Wallis

Professional Personnel

	Hours	Rate	Amount
Gaston, Theresa	3.25	170.00	552.50
Totals	3.25		552.50
Total Labor			552.50
Total this Task			\$552.50

Task 911 ROW - 3225 Park Hills Dr

Professional Personnel

	Hours	Rate	Amount
Hasz, Tyson	.25	185.00	46.25
Totals	.25		46.25
Total Labor			46.25
Total this Task			\$46.25

Task 912 203 1/2 Vale St

Professional Personnel

	Hours	Rate	Amount
Hasz, Tyson	.75	185.00	138.75
Totals	.75		138.75
Total Labor			138.75
Total this Task			\$138.75

Task 913 2501 1/2 Hatley Dr

Professional Personnel

	Hours	Rate	Amount
Hasz, Tyson	.50	185.00	92.50
Totals	.50		92.50
Total Labor			92.50
Total this Task			\$92.50

Total this Invoice \$28,118.75

	Current	Prior	Total
Billings to Date	28,118.75	663,179.45	691,298.20

Billing Backup

K Friese & Associates, Inc. Invoice 2302097

Project 0764 Rollingwood General Engineering Services

Task 100 General Engineering

Professional Personnel

		Hours	Rate	Amount
Aguilar, Javier	2/7/2023	1.00	90.00	90.00
Invoicing				
Blackburn, Gregory	2/15/2023	2.00	180.00	360.00
City Council meeting attendance				
Hasz, Tyson	2/7/2023	.25	185.00	46.25
Review invoice				
Hasz, Tyson	2/8/2023	5.50	185.00	1,017.50
Prepare for bi-weekly meeting, bi-weekly meeting, progress report, council agenda report				
Hasz, Tyson	2/9/2023	.50	185.00	92.50
Submit council agenda report, review sub-invoice materials				
Hasz, Tyson	2/21/2023	.25	185.00	46.25
Prepare bi-weekly agenda				
Hasz, Tyson	2/22/2023	1.50	185.00	277.50
Prepare for bi-weekly meeting, bi-weekly meeting				
Hasz, Tyson	2/28/2023	.50	185.00	92.50
Discuss 2023 rates with Joe C, compose email to City.				
Totals		11.50		2,022.50
Total Labor				2,022.50
Total this Task				\$2,022.50

Task 101 Development Services

Professional Personnel

		Hours	Rate	Amount
Gaston, Theresa	2/1/2023	1.25	170.00	212.50
Weekly Development Review List - update & send to NikkiOther: 4707 Timberline - ret wall/tree situation403 Wallis				
Gaston, Theresa	2/2/2023	.75	170.00	127.50
Review, update, send out Weekly Development Review Checklist to City				
Gaston, Theresa	2/6/2023	.50	170.00	85.00
Coordinate w/Brandon & Tyson				
Gaston, Theresa	2/8/2023	.50	170.00	85.00
Biweekly MTG w/City & KFA				
Gaston, Theresa	2/8/2023	1.75	170.00	297.50
Weekly Development Review ListMonthly Zoning Review Status Chart for Council Agenda Item per direction by TysonMisc items from Nikki:Zoning verification & sport court item				
Gaston, Theresa	2/13/2023	.50	170.00	85.00
Update to Tyson Correspondence to city				
Gaston, Theresa	2/14/2023	.25	170.00	42.50
Correspondence to/from city				
Gaston, Theresa	2/15/2023	1.50	170.00	255.00
Communications between Tyson, Brandon, Nikki & meWeekly Development Review List				

Project	0764	Rollingwood General Engineering Services			Invoice	2302097
Gaston, Theresa		2/22/2023	1.75	170.00	297.50	
	MTG w/City: Nikki, Tyson & me [Ashley @conference] Weekly Development Review List & correspondenceF/Up correspondence from a.m. meeting					
Hasz, Tyson		2/1/2023	.75	185.00	138.75	
	Coordinate reviews, organize spreadsheet					
Hasz, Tyson		2/2/2023	1.25	185.00	231.25	
	Coordinate reviews					
Hasz, Tyson		2/6/2023	2.00	185.00	370.00	
	Organize reviews, review coordination					
Hasz, Tyson		2/7/2023	.75	185.00	138.75	
	Dev PM meeting, coordinate reviews					
Hasz, Tyson		2/8/2023	.75	185.00	138.75	
	Organize and assign reviews					
Hasz, Tyson		2/9/2023	1.75	185.00	323.75	
	Organize and assign reviews, discuss review background and status with Joe C.					
Hasz, Tyson		2/10/2023	.50	185.00	92.50	
	Review coordination					
Hasz, Tyson		2/14/2023	.25	185.00	46.25	
	Coordinate reviews					
Hasz, Tyson		2/15/2023	1.25	185.00	231.25	
	Organize reviews, address applicant questions					
Hasz, Tyson		2/20/2023	1.50	185.00	277.50	
	Organize reviews, assign reviews					
Hasz, Tyson		2/21/2023	1.75	185.00	323.75	
	Look into 303 Inwood issue, organize reviews, dev review PM meeting					
Hasz, Tyson		2/22/2023	.25	185.00	46.25	
	Look into detention pond options for 2608 Rollingwood					
Hasz, Tyson		2/23/2023	1.75	185.00	323.75	
	Organize reviews, look into innovative detention options					
Hasz, Tyson		2/24/2023	2.00	185.00	370.00	
	Organize reviews, research innovative detention ideas.					
Hasz, Tyson		2/27/2023	1.50	185.00	277.50	
	Organize reviews, look into detention options for resident					
Hasz, Tyson		2/28/2023	1.00	185.00	185.00	
	Coordinate reviews, Dev Review PM meeting					
Melland, Brandon		2/13/2023	1.00	170.00	170.00	
	Emails regarding a zoning map for Nikki S, Zoning Verification Letter, and General Coordination with Terri					
Melland, Brandon		2/14/2023	.25	170.00	42.50	
	Emails regarding a zoning map for Nikki S					
Melland, Brandon		2/20/2023	.25	170.00	42.50	
	General Permit Review Coordination					
Wissel, Suzanne		2/13/2023	1.25	110.00	137.50	
	Site inspection with Tyson.					
		Totals		30.50	5,395.00	
		Total Labor				5,395.00
					Total this Task	\$5,395.00

Task 105 MS4

Professional Personnel					
			Hours	Rate	Amount
Ballard, Anna		2/1/2023	4.00	110.00	440.00

Project	0764	Rollingwood General Engineering Services	Invoice	2302097
		meeting with Tyson, MS4 updates		
Blackburn, Gregory		2/13/2023	1.00	180.00
		MS4 presentation meeting		
Blackburn, Gregory		2/15/2023	1.00	180.00
		MS4 presentation prep		
Hasz, Tyson		2/1/2023	.50	185.00
		MS4 check-in meeting with Vicky		
Hasz, Tyson		2/6/2023	.75	185.00
		Review MS4 materials		
Hasz, Tyson		2/13/2023	2.50	185.00
		City Council MS4 presentation prep		
Hasz, Tyson		2/14/2023	.75	185.00
		MS4 Council presentation prep		
		Totals	10.50	1,632.50
		Total Labor		1,632.50
			Total this Task	\$1,632.50

 Task 106 Drainage

Professional Personnel

		Hours	Rate	Amount
Anania, Logan	2/22/2023	1.50	110.00	165.00
	Nixon/Pleasant plan revisions quantity take-offs			
Anania, Logan	2/23/2023	5.50	110.00	605.00
	Nixon/Pleasant plan revisions quantity take-offs			
Anania, Logan	2/24/2023	3.00	110.00	330.00
	Nixon/Pleasant plan revisions quantity take-offs			
Anania, Logan	2/27/2023	5.50	110.00	605.00
	Nixon/Pleasant plan revisions quantity take-offs			
Anania, Logan	2/28/2023	2.75	110.00	302.50
	Red lines			
Salinas, III, Abelardo	2/3/2023	2.00	220.00	440.00
	Nixon/Pleasant design revisions			
Salinas, III, Abelardo	2/8/2023	3.00	220.00	660.00
	Nixon Pleasant design revisions			
Salinas, III, Abelardo	2/9/2023	4.00	220.00	880.00
	Nixon Pleasant design revisions			
Salinas, III, Abelardo	2/10/2023	2.00	220.00	440.00
	Nixon Pleasant design revisions			
Salinas, III, Abelardo	2/13/2023	2.00	220.00	440.00
	Nixon/Pleasant plan updates, new quantities			
Salinas, III, Abelardo	2/14/2023	2.00	220.00	440.00
	Nixon/Pleasant plan updates, new quantities			
Salinas, III, Abelardo	2/15/2023	4.00	220.00	880.00
	Nixon/Pleasant plan updates, new quantities			
Salinas, III, Abelardo	2/16/2023	2.00	220.00	440.00
	Nixon/Pleasant plan updates, new quantities			
Salinas, III, Abelardo	2/17/2023	3.00	220.00	660.00
	Nixon/Pleasant plan updates, new quantities			
Salinas, III, Abelardo	2/20/2023	2.00	220.00	440.00
	Nixon/Pleasant redesign revisions			
Salinas, III, Abelardo	2/21/2023	1.00	220.00	220.00
	Nixon/Pleasant redesign - meeting with LA to discuss changes to the channel.			
Salinas, III, Abelardo	2/22/2023	2.00	220.00	440.00
	Nixon/Pleasant redesign revisions			

Project	0764	Rollingwood General Engineering Services	Invoice	2302097	
Salinas, III, Abelardo		2/23/2023	4.00	220.00	880.00
		Nixon/Pleasant redesign revisions			
Salinas, III, Abelardo		2/24/2023	2.00	220.00	440.00
		Nixon/Pleasant redesign revisions			
Salinas, III, Abelardo		2/27/2023	.50	220.00	110.00
		Nixon/Pleasant design revisions			
Salinas, III, Abelardo		2/28/2023	.50	220.00	110.00
		Nixon/Pleasant design revisions			
		Totals	54.25		9,927.50
		Total Labor			9,927.50
				Total this Task	\$9,927.50

Task	107	GIS			
Professional Personnel					
			Hours	Rate	Amount
Hasz, Tyson		2/8/2023	.75	185.00	138.75
		Discuss deliverables with Matt, send to City			
Hasz, Tyson		2/23/2023	.25	185.00	46.25
		Coordinate with Matt on Almarion lift station item			
Stotts, Matthew		2/2/2023	2.00	125.00	250.00
		GIS: water & sewer updates			
Stotts, Matthew		2/3/2023	2.00	125.00	250.00
		GIS: water & sewer updates			
Stotts, Matthew		2/6/2023	3.00	125.00	375.00
		GIS: water/wastewater updates			
Stotts, Matthew		2/7/2023	2.00	125.00	250.00
		GIS: water/wastewater updates			
		Totals	10.00		1,310.00
		Total Labor			1,310.00
				Total this Task	\$1,310.00

Task	302	DR-401 Vale St			
Professional Personnel					
			Hours	Rate	Amount
Hasz, Tyson		2/27/2023	1.00	185.00	185.00
		Prepare for inspection, travel to inspection, inspection			
Hasz, Tyson		2/28/2023	.50	185.00	92.50
		Inspection report			
		Totals	1.50		277.50
		Total Labor			277.50
				Total this Task	\$277.50

Task	349	DR-19 Treemont			
Professional Personnel					
			Hours	Rate	Amount
Hasz, Tyson		2/27/2023	1.50	185.00	277.50
		Prepare for inspection, inspection, travel from inspection			
Hasz, Tyson		2/28/2023	1.00	185.00	185.00

Project	0764	Rollingwood General Engineering Services	Invoice	2302097
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Inspection report				
Totals		2.50	462.50	
Total Labor				462.50
			Total this Task	\$462.50

Task	379	DR-5012 Timberline
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Professional Personnel

		Hours	Rate	Amount
Hasz, Tyson	2/13/2023	1.75	185.00	323.75
	Prepare for site visit, travel to and from RW, site inspection			
Hasz, Tyson	2/15/2023	1.00	185.00	185.00
	Prepare and send inspection report			
Totals		2.75		508.75
Total Labor				508.75
			Total this Task	\$508.75

Task	386	DR- 3 Grove Ct
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Professional Personnel

		Hours	Rate	Amount
Hasz, Tyson	2/21/2023	2.00	185.00	370.00
	QC, send comments off to City			
Hasz, Tyson	2/23/2023	.75	185.00	138.75
	Coordination with the design engineer			
Hernandez, Aldo	2/21/2023	2.75	110.00	302.50
	reviewing			
Totals		5.50		811.25
Total Labor				811.25
			Total this Task	\$811.25

Task	388	DR – 208 Ashworth
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Professional Personnel

		Hours	Rate	Amount
Hasz, Tyson	2/10/2023	1.50	185.00	277.50
	Review latest submittal			
Hasz, Tyson	2/13/2023	.25	185.00	46.25
	Send comment letter to City			
Hasz, Tyson	2/20/2023	2.25	185.00	416.25
	Drainage review			
Hasz, Tyson	2/22/2023	.25	185.00	46.25
	Discuss outstanding items with architect			
Hasz, Tyson	2/28/2023	1.50	185.00	277.50
	Review 6, send comments to City			
Salinas, III, Abelardo	2/10/2023	.50	220.00	110.00
	Resubmittal review			
Totals		6.25		1,173.75
Total Labor				1,173.75
			Total this Task	\$1,173.75

Project	0764	Rollingwood General Engineering Services	Invoice	2302097
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Task	398	DR - 4808 Timberline Drive
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Professional Personnel

	Hours	Rate	Amount
Hasz, Tyson QC	2/14/2023 .75	185.00	138.75
Hasz, Tyson Phone call with design engineer, review revised submittal	2/16/2023 .50	185.00	92.50
Hasz, Tyson Prepare and send letter to Nikki	2/20/2023 .25	185.00	46.25
Hernandez, Aldo review and coordination with Tyson	2/9/2023 1.25	110.00	137.50
Totals	2.75		415.00
Total Labor			415.00

Total this Task	\$415.00
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Task	401	DR-4707 Timberline Drive
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Professional Personnel

	Hours	Rate	Amount
Hasz, Tyson Prepare and send revised approval letter	2/14/2023 .25	185.00	46.25
Totals	.25		46.25
Total Labor			46.25

Total this Task	\$46.25
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Task	402	DR - 4900 Rollingwood Drive
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Professional Personnel

	Hours	Rate	Amount
Hasz, Tyson QC, drainage approval letter	2/6/2023 .50	185.00	92.50
Hernandez, Aldo review 3 cleared, coordination	2/6/2023 .50	110.00	55.00
Totals	1.00		147.50
Total Labor			147.50

Total this Task	\$147.50
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Task	406	DR - 403 Wallis
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Professional Personnel

	Hours	Rate	Amount
Hasz, Tyson QC, coordinate with Terri	2/2/2023 2.25	185.00	416.25
Hasz, Tyson QC	2/14/2023 .25	185.00	46.25
Hasz, Tyson QC, submit comments to city, address applicant's questions	2/15/2023 1.00	185.00	185.00
Hernandez, Aldo	2/13/2023 2.00	110.00	220.00

Project	0764	Rollingwood General Engineering Services	Invoice	2302097
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	reviewing drainage			
	Totals	5.50	867.50	
	Total Labor			867.50
Total this Task				\$867.50

Task	409	DR - 408 Willis		
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Professional Personnel

			Hours	Rate	Amount
Hasz, Tyson	2/14/2023		1.00	185.00	185.00
	QC				
Hasz, Tyson	2/20/2023		.25	185.00	46.25
	Prepare and send letter to Nikki				
Hernandez, Aldo	2/8/2023		1.50	110.00	165.00
	review 2				
Hernandez, Aldo	2/9/2023		1.00	110.00	110.00
	review 2 finish				
	Totals		3.75		506.25
	Total Labor				506.25
Total this Task					\$506.25

Task	600	Zoning Review General		
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Professional Personnel

			Hours	Rate	Amount
Gaston, Theresa	2/2/2023		.75	170.00	127.50
	Discussion w/Tyson; F/up with Brandon re Zoning review status & questions				
Gaston, Theresa	2/7/2023		.50	170.00	85.00
	4013 Timberline Drive [no Task# designation yet]Sport Court in rearyard [possibly in setback area]CC'd Brandon on response to Nikki				
Gaston, Theresa	2/27/2023		.25	170.00	42.50
	City correspondence				
Melland, Brandon	2/8/2023		.25	170.00	42.50
	3101 Bee Caves Road Review Coordination				
Melland, Brandon	2/8/2023		.25	170.00	42.50
	Coordination with Terri RE: proposed Sport Court				
Melland, Brandon	2/9/2023		.25	170.00	42.50
	Coordination with Terri RE: proposed Sport Court				
	Totals		2.25		382.50
	Total Labor				382.50
Total this Task					\$382.50

Task	676	ZR - 408 Wallis		
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Professional Personnel

			Hours	Rate	Amount
Gaston, Theresa	2/14/2023		.75	170.00	127.50
	Review #2				
Gaston, Theresa	2/15/2023		.75	170.00	127.50
	Combine Drainage/Zoning review letters				
Melland, Brandon	2/14/2023		.25	170.00	42.50
	Review. coordination with Terri G.				

Project	0764	Rollingwood General Engineering Services	Invoice	2302097
Melland, Brandon	2/15/2023	.25	170.00	42.50
Review. coordination with Terri G.				
Totals		2.00		340.00
Total Labor				340.00
Total this Task				\$340.00

Task 681 ZR - 4808 Timberline Drive

Professional Personnel

		Hours	Rate	Amount
Melland, Brandon	2/8/2023	.25	170.00	42.50
Email Coordination with Terri G. and Staff.				
Totals		.25		42.50
Total Labor				42.50
Total this Task				\$42.50

Task 685 ZR - 4707 Timberline

Professional Personnel

		Hours	Rate	Amount
Gaston, Theresa	2/3/2023	.25	170.00	42.50
REVSD: Intake for Ret Wall/Tree Issue [plans previously approved]				
Gaston, Theresa	2/14/2023	.75	170.00	127.50
Zoning - revision review RE retaining wall modification				
Gaston, Theresa	2/15/2023	.25	170.00	42.50
Zoning acceptance letter				
Melland, Brandon	2/14/2023	.25	170.00	42.50
Review. coordination with Terri G.				
Melland, Brandon	2/15/2023	.25	170.00	42.50
Review. coordination with Terri G.				
Totals		1.75		297.50
Total Labor				297.50
Total this Task				\$297.50

Task 686 ZR - 302 Inwood

Professional Personnel

		Hours	Rate	Amount
Gaston, Theresa	2/6/2023	.50	170.00	85.00
Intake for Review #3				
Gaston, Theresa	2/13/2023	1.00	170.00	170.00
Zoning Review 3				
Totals		1.50		255.00
Total Labor				255.00
Total this Task				\$255.00

Task 687 ZR - 4900 Rollingwood Drive

Project 0764 Rollingwood General Engineering Services Invoice 2302097

Professional Personnel

Table with columns: Name, Date, Hours, Rate, Amount. Rows include Gaston, Theresa (2/6/2023) and Melland, Brandon (2/6/2023, 2/7/2023, 2/27/2023) with a Total Labor of 467.50.

Total this Task \$467.50

Task 689 ZR - 403 Wallis

Professional Personnel

Table with columns: Name, Date, Hours, Rate, Amount. Rows include Gaston, Theresa (2/2/2023) and Gaston, Theresa (2/9/2023, 2/15/2023) with a Total Labor of 552.50.

Total this Task \$552.50

Task 911 ROW - 3225 Park Hills Dr

Professional Personnel

Table with columns: Name, Date, Hours, Rate, Amount. Rows include Hasz, Tyson (2/15/2023) with a Total Labor of 46.25.

Total this Task \$46.25

Task 912 203 1/2 Vale St

Professional Personnel

Table with columns: Name, Date, Hours, Rate, Amount. Rows include Hasz, Tyson (2/27/2023) and Hasz, Tyson (2/28/2023) with a Total Labor of 138.75.

Project	0764	Rollingwood General Engineering Services	Invoice	2302097
			Total this Task	\$138.75

 Task 913 2501 1/2 Hatley Dr

Professional Personnel

			Hours	Rate	Amount	
Hasz, Tyson		2/28/2023	.50	185.00	92.50	
	Review 1					
	Totals		.50		92.50	
	Total Labor					92.50

Total this Task	\$92.50
Total this Project	\$28,118.75
Total this Report	\$28,118.75

Rollingwood General Engineering Services Monthly Progress Report

K Friese & Associates, Inc.

1120 S. Capital of Texas Highway, CityView 2, Suite 100, Austin, Texas 78746

Client: City of Rollingwood

Invoice No.: 2302098

Project Description: Rollingwood Nixon/Pleasant Drainage Improvements

Project Reporting Period: February 1, 2023 – February 28, 2023

Project Manager: Abe Salinas, PE/Tyson Hasz, PE

Project	Project Summary	Status	Next steps
WA04 Nixon/Pleasant Drainage Improvements PS&E	Preparation of plans, specifications and estimates for the development of a construction bid package. This will include channel improvements and Segment 1 of the storm sewer improvements.	Intention will be to bid this package together with the Hubbard/Hatley project. KFA coordinating with City on property owner requests. Progress set sent to City 2/10.	Revise landscape plans per property owner requests. Finalize agreements on proposed easements.



K Friese & Associates, Inc.
1120 South Capital of Texas Highway
CityView 2, Suite 100
Austin, Texas 78746
(512) 338-1704

March 15, 2023
 Project No: 0807
 Invoice No: 2302098

Ashley Wayman
 City of Rollingwood
 403 Nixon
 Rollingwood, TX 78746

Project 0807 Rollingwood Nixon-Pleasant Drainage Impr

Professional Services from February 1, 2023 to February 28, 2023

Task	200	Project Management & Coordination (LS)		
Fee				
Total Fee		7,556.00		
Percent Complete	95.00	Total Earned	7,178.20	
		Previous Fee Billing	7,178.20	
		Current Fee Billing	0.00	
		Total Fee		0.00
			Total this Task	0.00

Task	201	Design Phase (LS)		
Fee				
Total Fee		75,310.00		
Percent Complete	100.00	Total Earned	75,310.00	
		Previous Fee Billing	75,310.00	
		Current Fee Billing	0.00	
		Total Fee		0.00
			Total this Task	0.00

Task	300	Bid Phase (LS)		
Fee				
Total Fee		2,938.00		
Percent Complete	0.00	Total Earned	0.00	
		Previous Fee Billing	0.00	
		Current Fee Billing	0.00	
		Total Fee		0.00
			Total this Task	0.00

Task	320	Civil Corp, LLC ROW (LS) (Sc)		
Fee				
Total Fee		13,912.10		
Percent Complete	100.00	Total Earned	13,912.10	
		Previous Fee Billing	13,912.10	
		Current Fee Billing	0.00	
		Total Fee		0.00
			Total this Task	0.00

Project	0807	Rollingwood Nixon-Pleasant Drainage Impr	Invoice	2302098
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Task	321	Raba Kistner - Geotech (LS) (Sc)		
Fee				
Total Fee		11,100.00		
Percent Complete		100.00	Total Earned	11,100.00
			Previous Fee Billing	11,100.00
			Current Fee Billing	0.00
			Total Fee	0.00
			Total this Task	0.00

Task	322	Terra Design Group - Landscape (LS) (Sc)		
Fee				
Total Fee		51,965.00		
Percent Complete		89.999	Total Earned	46,768.00
			Previous Fee Billing	46,768.00
			Current Fee Billing	0.00
			Total Fee	0.00
			Total this Task	0.00

Task	323	Spitzer & Assoc - Land Acquisition (T&M) (Sc)		
Consultants				
		Spitzer & Associates, Inc		895.00
		Total Consultants	895.00	895.00
			Total this Task	\$895.00

Task	400	Construction Phase (LS)		
Fee				
Total Fee		6,886.00		
Percent Complete		0.00	Total Earned	0.00
			Previous Fee Billing	0.00
			Current Fee Billing	0.00
			Total Fee	0.00
			Total this Task	0.00

Total this Invoice	\$895.00
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	Current	Prior	Total
Billings to Date	895.00	157,308.18	158,203.18

Spitzer & Associates, Inc.

302 Cypress Creek Lane
Wimberley, TX 78676

Invoice

Date	Invoice #
8/18/2022	92172

Bill To
K Friese & Associates, Inc. c/o Lauren Winek 1120 S. Capital of Texas Hwy City View 2, Suite 100 Austin, Tx 78746

Terms

Item	Description	Qty	Rate	Amount
	City of Rollingwood Nixon/Pleasant Drainage Improvements Project			
Principal/Key Perso...	Candy Spitzer - Parcel/project review; meeting with property owners, engineers, city staff, and mayor (Program Mgr)	4	175.00	700.00
Administrative Sup...	Jackie Flippin - Parcel review, order title commitments, review surveys/donation documents (Administrative/Document Control)	3	65.00	195.00

Total	\$895.00
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We appreciate your business. Payment is due 30 days from invoice date. A 10% late charge per month will apply on all past due invoices.

Phone #
512-478-8660

Fax #
512-478-8462



OPERATOR'S REPORT

City of Rollingwood



April 19, 2023



MEMORANDUM

To: Ms. Ashley Wayman, City Administrator, City of Rollingwood
From: Andrew Hunt, Crossroads Utility Services LLC
Subject: Monthly Report
Date: 4/11/23

Previous Directives

- *No directives*

Current Operations Report

- I. **Utility Operations Report**
 - A. **Billing Report/ Water Accountability** – Please see enclosed water operations report
 - a. One Bac-t sample out of two was pulled for March 2022 – See enclosed memo concerning a violation
 - B. **Water System Operations and Maintenance** – No major issues
 - C. **Wastewater Collection System Operations and Maintenance** – We troubleshot a minor sewer issue at 2805 Bee Caves Rd
 - D. **Lift Station Maintenance** – *See enclosed report*
- II. **Customer Service Issues** – No reported issues
- III. **Emergency Response Items** – No new items. We are awaiting the plan for generator installations at the lift stations.
- IV. **Drought Contingency Plan / Watering Restrictions**
 - a. Lake Travis Level – 638.57 – Current Storage 505,359 acre-feet (44.5% full)
 - b. The City of Austin is currently in Stage 1 watering restrictions – (twice per week watering)

City of Austin Stage 1 Restrictions – effective June 6, 2022

As a result of the combined storage in Lake Travis and Lake Buchanan falling below 1.4 million acre-feet, the City of Austin has implemented Drought Stage One Regulations of its Drought Contingency Plan effective June 6, 2022.

The City of Austin is currently in **Stage 1 Drought Water Use Restrictions**.

- Residential
 - **Hose-end Sprinklers** - two days per week - midnight to 8 a.m. and/or 7 p.m. to midnight
 - **Even address** - Thursday, Sunday
 - **Odd address** - Wednesday, Saturday
 - **Automatic Irrigation** -one day per week - midnight to 8 a.m. and/or 7 p.m. to midnight (*Residential customers may also water a second day with a hose-end sprinkler*)
 - **Even address** - Thursday
 - **Odd address** - Wednesday
- **Commercial / Multi-family / Public Schools**
 - **Hose-end Sprinklers or Automatic Irrigation** - one day per week - midnight to 8 a.m. and/or 7 p.m. to midnight
 - **Even address** - Tuesday
 - **Odd address** - Friday
- **Wasting water** is prohibited
- Washing vehicles at home is permitted with an auto shut-off hose or bucket
- Charity car washes may only be held at a commercial car wash
- Fountains must recirculate water
- Restaurants may not serve water unless requested by a customer
- Patio misters at commercial properties (*including restaurants and bars*) may only operate between 4 p.m. and midnight
- **Commercial power/pressure washing equipment** must meet efficiency requirements



MEMORANDUM

To: Ashley Wayman, City of Rollingwood
From: Andrew Hunt, Dan Tatum; Crossroads Utility Services, LLC
Subject: Bacteriological Sample Issue – Feb 2023
Date: 4/10/23

Ashley,

This memo is intended to notify you that Crossroads staff failed to collect the minimum amount of drinking water bacteriological samples for the month of March. The City is required to have two bacteriological samples pulled each month based on population. One of the samples our technician collected in March was rejected by the lab due to the sample having a high chlorine residual measured at the time the lab began analyzing the sample. The sealed sample bottles that we receive from the lab for monthly sampling purposes have a neutralizer called sodium thiosulfate within them. This powder is used to neutralize chlorine in the sample by 10 ppm. We believe that the sealed sample bottle received from the lab did not have the proper amount of sodium thiosulfate to completely neutralize the amount of chlorine in the sample. As a result of the chlorine residual found in one of the two submitted samples, the lab rejected one of our two samples submitted. The operator assigned to your system pulled a special bacteriological sample earlier in the month, but it was marked as a special sample that does not count towards the two regulatory samples required for the system each month. Our operator incorrectly interpreted that the special sample collected earlier in the month counted towards the required two samples each month and as a result did not pull a 3rd sample after being notified of the rejected sample. All of the samples we collected were clean of any bacteria; however, due to the operator not collecting a total of two samples, the City will be cited with a minor violation for failing to collect a total of two regulatory samples for the month of March 2023.

We apologize for this error. Going forward we will monitor all samples pulled by our operators to ensure that the proper number of regulatory samples are collected each month despite special samples pulled from the system within the same month. We will also reinforce with our operators the difference between the classification of samples to ensure they understand the difference and how they affect compliance.

This is classified as a minor violation with TCEQ with the resolution being a public notification by way of the annual Consumer Confidence Report (CCR). The notification will be included on the back of the 2023 CCR (sent out in April/May 2024) as required by the Texas Commission of Environmental Quality (TCEQ). Again, I would like to stress that at no time did the lab find any bacteria in these samples. Please let me know if you or the Utility Commission or City Council members have any questions at ahunt@crossroadsus.com or 512-246-5921.

AWH

**MEMORANDUM**

To: Ms. Ashley Wayman, City of Rollingwood
From: Andrew Hunt, Crossroads Utility Services LLC
Subject: Lift Station Report Detail
Date: 4/11/23

1. Lift Station 1 – Dellana Ln.
 - Troubleshoot issues related to power fluctuations
1. Lift Station 2 – Hatley Dr.
 - Installed back-up auto-dialer
1. Lift Station 3 – Almarion Way
 - Pump #2 was cleaned out and re-installed for service.
1. Lift Station 4- Rockway Cv.
 - No issues
2. Lift Station 5 – Vale Dr.
 - Cleaned lift station
3. Lift Station 6 – Pleasant Cv.
 - Cleaned lift station
4. Lift Station 7 – Nixon Dr.
 - Troubleshoot issues with power and ATT issues with the backup dialer

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
Water Utilities Division

Monthly Operational Report For Public Water Systems Purchasing Treated Water From Another System
Which Uses Surface Water Sources or Groundwater Sources Under The Influence of Surface Water

PUBLIC WATER SYSTEM NAME: **City of Rollingwood**

System I.D. #: 2270016

Month: **March 2023**

Submitted by:

Date:

No. of Connections: **537**

License #:

Grade:

TREATED WATER PURCHASED FROM A WHOLESALE SUPPLIER				
Date	Quantity (mgd)	Date	Quantity (mgd)	Monthly Summary (mgd)
1	0.256	16	0.202	Total
2	0.254	17	0.260	Monthly
3	0.267	18	0.260	Purchase: 9.109
4	0.267	19	0.261	
5	0.269	20	0.305	Average
6	0.305	21	0.373	Daily: 0.294
7	0.377	22	0.195	
8	0.288	23	0.402	Maximum
9	0.376	24	0.292	Daily: 0.402
10	0.293	25	0.294	
11	0.293	26	0.296	Minimum
12	0.293	27	0.308	Daily: 0.177
13	0.259	28	0.342	
14	0.325	29	0.357	
15	0.349	30	0.325	
		31	0.177	

DISTRIBUTION SYSTEM (DISINFECTANT RESIDUAL MONITORING)			
Minimum allowable disinfectant residual:	<u>0.5</u> mg/L	Percentage of the measurements below the limit this month:	
Total no. of measurements this month:	<u>34</u>	<input type="text" value="0%"/>	(1A)
No. of measurements below the limit:	<u>0</u>		
Percentage of the measurements below the limit last month:		<input type="text" value="0%"/>	(1B)

PUBLIC NOTIFICATION			
TREATMENT TECHNIQUE VIOLATION	Yes/No	If YES, Date when Notice was Given to the:	
		TCEQ	Customers*
More that 5.0% of the disinfectant residuals in the distribution system below acceptable levels for two consecutive months? - see (1A) and (1B)	NO		

* A sample copy of the Notice to the customers must accompany this report.

MASTER METER REPORT

DISTRICT: **City of Rollingwood**

MONTH: **March 2023**

LOCATION: **Bee Cave Woods**

I.D. #: **2270016**

		METER #07914810	SIZE 6"	METER #18713312	SIZE 3"	TOTAL FLOW	TOTAL GAL PURCHASED	CHLORINE RESIDUAL
DAY	DATE	A	TH GAL	B	TH GAL	TH GAL	MG	mg/L
Wed	1	913493	102.0	114336	117.0	219.0	0.256	2.6
Thu	2	913595	71.0	114453	153.0	224.0	0.254	2.6
Fri	3	913666	84.0	114606	147.0	231.0	0.267	2.9
Sat	4	913750	84.0	114753	147.0	231.0	0.267	2.6
Sun	5	913834	84.0	114900	148.0	232.0	0.269	2.6
Mon	6	913918	120.0	115048	151.0	271.0	0.305	2.9
Tue	7	914038	148.0	115199	190.0	338.0	0.377	2.9
Wed	8	914186	120.0	115389	127.0	247.0	0.288	2.9
Thu	9	914306	180.0	115516	155.0	335.0	0.376	2.2
Fri	10	914486	106.0	115671	150.0	256.0	0.293	2.6
Sat	11	914592	106.0	115821	150.0	256.0	0.293	2.6
Sun	12	914698	106.0	115971	150.0	256.0	0.293	2.7
Mon	13	914804	120.0	116121	105.0	225.0	0.259	2.9
Tue	14	914924	104.0	116226	188.0	292.0	0.325	2.5
Wed	15	915028	121.0	116414	192.0	313.0	0.349	2.6
Thu	16	915149	72.0	116606	100.0	172.0	0.202	2.6
Fri	17	915221	81.0	116706	146.0	227.0	0.260	2.6
Sat	18	915302	81.0	116852	146.0	227.0	0.260	2.7
Sun	19	915383	82.0	116998	146.0	228.0	0.261	2.0
Mon	20	915465	113.0	117144	156.0	269.0	0.305	2.2
Tue	21	915578	194.0	117300	148.0	342.0	0.373	2.4
Wed	22	915772	0.0	117448	155.0	155.0	0.195	2.6
Thu	23	915772	175.0	117603	190.0	365.0	0.402	2.2
Fri	24	915947	114.0	117793	143.0	257.0	0.292	2.6
Sat	25	916061	115.0	117936	144.0	259.0	0.294	2.5
Sun	26	916176	115.0	118080	144.0	259.0	0.296	2.9
Mon	27	916291	116.0	118224	158.0	274.0	0.308	2.8
Tue	28	916407	139.0	118382	161.0	300.0	0.334	2.6
Wed	29	916546	162.0	118543	159.0	321.0	0.355	2.6
Thu	30	916708	143.0	118702	147.0	290.0	0.324	2.9
Fri	31	916851	141.0	118849	0.0	141.0	0.177	2.6
Sat	1	916992		118849				
Total			3499.0		4513.0	8012.0	9.1	
Avg.			112.9		145.6	258.5	0.294	2.6
Max.			194.0		192.0	365.0	0.402	2.9
Min.			0.0		0.0	141.0	0.177	2.0

Operator: _____

MASTER METER REPORT

DISTRICT: **City of Rollingwood**

MONTH: **March 2023**

LOCATION: **Riley MM**

I.D. #: **2270016**

DAY	DATE	METER	SIZE	METER	SIZE	TOTAL FLOW
		No S/N	6"	No S/N	3"	
		A	TH GAL	B	TH GAL	TH GAL
Wed	1	481	0.0	7424	37.0	37.0
Thu	2	481	0.0	7461	30.0	30.0
Fri	3	481	0.0	7491	36.0	36.0
Sat	4	481	0.0	7527	36.0	36.0
Sun	5	481	1.0	7563	36.0	37.0
Mon	6	482	0.0	7599	34.0	34.0
Tue	7	482	2.0	7633	37.0	39.0
Wed	8	484	1.0	7670	40.0	41.0
Thu	9	485	0.0	7710	41.0	41.0
Fri	10	485	2.0	7751	35.0	37.0
Sat	11	487	2.0	7786	35.0	37.0
Sun	12	489	2.0	7821	35.0	37.0
Mon	13	491	0.0	7856	34.0	34.0
Tue	14	491	0.0	7890	33.0	33.0
Wed	15	491	1.0	7923	35.0	36.0
Thu	16	492	0.0	7958	30.0	30.0
Fri	17	492	1.0	7988	32.0	33.0
Sat	18	493	1.0	8020	32.0	33.0
Sun	19	494	1.0	8052	32.0	33.0
Mon	20	495	0.0	8084	36.0	36.0
Tue	21	495	0.0	8120	31.0	31.0
Wed	22	495	1.0	8151	39.0	40.0
Thu	23	496	0.0	8190	37.0	37.0
Fri	24	496	0.0	8227	35.0	35.0
Sat	25	496	0.0	8262	35.0	35.0
Sun	26	496	1.0	8297	36.0	37.0
Mon	27	497	0.0	8333	34.0	34.0
Tue	28	497	0.0	8367	42.0	42.0
Wed	29	497	0.0	8409	36.0	36.0
Thu	30	497	0.0	8445	35.0	35.0
Fri	31	497	0.0	8480	36.0	36.0
Sat	1	497		8516		
Total			16.0		1092.0	1108.0
Avg.			0.5		35.2	35.7
Max.			2.0		42.0	42.0
Min.			0.0		30.0	30.0

Operator: _____

MASTER METER REPORT

DISTRICT: **City of Rollingwood**

MONTH: **March 2023**

LOCATION: **Hatley MM**

I.D. #: **2270016**

DAY	DATE	METER No S/n		METER #151074A		TOTAL FLOW TH GAL
		A	TH GAL	B	TH GAL	
Wed	1	81	0.0	6852	0.0	0.0
Thu	2	81	0.0	6852	0.0	0.0
Fri	3	81	0.0	6852	0.0	0.0
Sat	4	81	0.0	6852	0.0	0.0
Sun	5	81	0.0	6852	0.0	0.0
Mon	6	81	0.0	6852	0.0	0.0
Tue	7	81	0.0	6852	0.0	0.0
Wed	8	81	0.0	6852	0.0	0.0
Thu	9	81	0.0	6852	0.0	0.0
Fri	10	81	0.0	6852	0.0	0.0
Sat	11	81	0.0	6852	0.0	0.0
Sun	12	81	0.0	6852	0.0	0.0
Mon	13	81	0.0	6852	0.0	0.0
Tue	14	81	0.0	6852	0.0	0.0
Wed	15	81	0.0	6852	0.0	0.0
Thu	16	81	0.0	6852	0.0	0.0
Fri	17	81	0.0	6852	0.0	0.0
Sat	18	81	0.0	6852	0.0	0.0
Sun	19	81	0.0	6852	0.0	0.0
Mon	20	81	0.0	6852	0.0	0.0
Tue	21	81	0.0	6852	0.0	0.0
Wed	22	81	0.0	6852	0.0	0.0
Thu	23	81	0.0	6852	0.0	0.0
Fri	24	81	0.0	6852	0.0	0.0
Sat	25	81	0.0	6852	0.0	0.0
Sun	26	81	0.0	6852	0.0	0.0
Mon	27	81	0.0	6852	0.0	0.0
Tue	28	81	0.0	6852	0.0	0.0
Wed	29	81	0.0	6852	0.0	0.0
Thu	30	81	0.0	6852	0.0	0.0
Fri	31	81	0.0	6852	0.0	0.0
Sat	1	81		6852		
Total			0.0		0.0	0.0
Avg.			0.0		0.0	0.0
Max.			0.0		0.0	0.0
Min.			0.0		0.0	0.0

Operator: _____



1120 S. Capital of TX Hwy, CityView 2, Suite 100
 Austin, Texas 78746
 P: 512.338.1704
 TBPE Firm No. 6535

CITY OF ROLLINGWOOD MONTHLY ENGINEERING REPORT April 12, 2023

Includes Activities and Services from March 1, 2023 to March 31, 2023

1. Site Development Plans (Drainage) and RSDP Review

a. Drainage Plan Reviews

KFA Task No.	Project Address	Status	Date Returned
376	4815 Timberline Dr	Returned Comments	3/27/2023
380	104 Kristi Dr	Returned Comments	4/5/2023
385	4904 Rollingwood Dr	Approved Revisions	3/27/2023
386	3 Grove Ct	Approved	3/14/2023
388	208 Ashworth	Approved	3/6/2023
405	302 Inwood	Returned Comments	3/7/2023
410	303 Inwood	Approved Revisions	2/7/2023

b. Residential Stormwater Discharge Permit (RSDP)

KFA Task No.	Project Address	Status	Date Returned
-	-	-	-

c. Drainage Plan Inspections

KFA Task No.	Project Address	Status	Date Returned
385	4904 Rollingwood Drive	Outstanding Items	3/7/2023
410	303 Inwood	Outstanding Items	3/22/2023
		Outstanding Items	3/31/2023

2. Zoning Reviews for Site Development Plans

KFA Task No.	Project Address	Status	Date Returned
662	104 Kristi Drive	Received; Pending Review	n/a
666	3 Grove Court	Returned Comments & Completed	3/22/2023
686	302 Inwood	Returned Comments	3/7/2023
687	4900 Rollingwood Drive	Received; Pending Review	n/a
689	403 Wallis	Returned Comment & Completed	3/8/2023
690	4906 Rollingwood	Returned Comments	3/13/2023
691	603 Riley	Returned Comments & Completed	3/22/2023

City of Rollingwood
 Engineer's Monthly Report
 April 12, 2023
 Page 2 of 6

3. Plat Reviews

KFA Task No.	Project Address	Status	Date Returned
-	-	-	-

4. Right-of-Way Reviews

KFA Task No.	Project Address	Status	Date Returned
912	203 ½ Vale St	Approved	3/16/2023
913	2501 ½ Hatley Dr	Approved	3/16/2023
914	104 Laura Lane	Approved	3/20/2023
915	6 Rockway Cove	Approved	3/20/2023
916	3220 Park Hills Dr	Electrical Service Comments Returned Electrical Service Approved	3/27/2023 3/27/2023

5. WORK AUTHORIZATION PROJECT UPDATES

Project	Project Summary	Status	Next steps
WA03 Hubbard, Hatley, Drainage Improvements PS&E	Preparation of plans, specifications and estimates for the development of a construction bid package. Option 2 from the PER has been selected as the preferred option which proposes to construct a storm drain system from the creek at Almarion Way extending upstream to Hatley, Hubbard and Pickwick.	Intention will be to bid this package together with the Nixon/Pleasant project. KFA on hold pending easement coordination, design, coordination by City staff. Received comments from a property owner's engineer.	Revising relevant plan sheets per property owner's engineer's comments. Property owner coordination may result in supplemental services. Final design to proceed once scope and easements are resolved. Easement/homeowner coordination.
WA04 Nixon/Pleasant Drainage Improvements PS&E	Preparation of plans, specifications and estimates for the development of a construction bid package. This will include channel improvements and Segment 1 of the storm sewer improvements.	Intention will be to bid this package together with the Hubbard/Hatley project. KFA coordinating with City on property owner requests.	If revised landscape sheets approved by property owners, resume land acquisition process. Finalize agreements on proposed easements.

City of Rollingwood
 Engineer's Monthly Report
 April 12, 2023
 Page 3 of 6

6. General Engineering Services

Task	Assignment Summary	Status	Next steps
General	Coordination with City staff regarding on-going development review services, engineering services, monthly report preparation and attendance of meetings at City's request.	On-Going. Bi-weekly meetings. City timeline of recurring activities.	Regular recurring activities
Development Services	Coordination with City staff regarding on-going development services, MyPermitNow Support, and meeting with staff and applicants as requested.	Building and development services and coordination with staff. MyPermitNow (MPN) support and coordination with Development Services Manager.	Continued coordination and support.
Water/Wastewater System Modeling & Mapping Updates	Data gathering and review of water/wastewater system infrastructure mapping. Develop/update wastewater and water system model updates to evaluate current and future system capacity needs. Utilize model to plan for infrastructure repairs, upgrades, and future growth needs.	None.	Updating models as needed.
Water/Wastewater System	Coordination/support with Crossroads regarding infrastructure such as valves, pressure planes, and infrastructure.	None.	Continue coordination to support mapping and KFA modeling efforts.
GIS	KFA to send quarterly updates for the City GIS layers.	On-going GIS exhibits and mapping updates as requested.	GIS exhibits and mapping updates as needed.
MS4 Compliance	Coordination with City staff on compliance with the Storm Water Management Permit for the 2022 calendar year.	On-going Continue coordination and compliance efforts for permit compliance. 2022 annual report submitted to TCEQ 3/23.	Continue compliance coordination for 2023.

City of Rollingwood
Engineer's Monthly Report
April 12, 2023
Page 4 of 6

Task	Assignment Summary	Status	Next steps
Water Infrastructure Bond	Residents of Rollingwood approved Bond Proposition A, a \$5.3MM bond to fund improvements to the city's water system as identified in the city's Water Capital Improvements Plan (CIP).	City Council approved KFA's proposal 3/29.	Survey to begin, expected to take 3 months. Design to begin as survey data is received from surveyor. Develop bond website.
City of Austin Atlas 14 Floodplain Update	The City of Austin has begun a five-year effort to update floodplain maps in the Austin area. The maps are being updated with Atlas 14 rainfall data.	COA has announced informational virtual public meeting over Zoom. Eanes Creek to be restudied. Likely to lead to a floodplain increase, which will impact properties along the creeks.	Continue to monitor progress.

Submitted By,



Tyson Hasz, PE
Project Engineer



March 31, 2023

City of Rollingwood
403 Nixon Drive
Rollingwood, Texas 78746

Honorable Mayor and Members of the City Council:

Pursuant to the Cost of Gas Clause currently in effect for the Central-Gulf service area, the following is the determination of the cost of gas to be used for billings in April 2023:

1.	Cost of Purchased Gas @ 14.73 PSIA.....	\$4.7581
2.	Cost of Purchased Gas @ 14.65 PSIA.....	\$4.7322
3.	Purchase/Sales Ratio.....	1.0008
4.	Commodity Cost (Line 2 x Line 3).....	\$4.7360
5.	Reconciliation Factor.....	\$0.4805
6.	Other Cost.....	\$0.0000
7.	Subtotal (Line 4 + Line 5 + Line 6).....	\$5.2165
8.	Revenue-associated Fees and Taxes.....	\$0.0000
9.	Cost of Gas (Line 7 + Line 8).....	<u>\$5.2165 / Mcf</u>
		<u>\$0.5217 / Ccf</u>

Billings using the cost of gas as determined above will begin with meters read on and after March 28, 2023 and end with meters read on and after April 26, 2023.

Sincerely,

Lisa Wattinger

Lisa Wattinger, Manager
Gas Supply



1301 South Mopac; Suite 400
Austin, TX 78746-6918
800-700-2443 • texasgasservice.com

April 13, 2023

The City Secretaries/Clerks of the following Texas cities:

Austin, Bee Cave, Cedar Park, Cuero, Dripping Springs, Gonzales, Kyle, Lakeway, Lockhart, Luling, Marble Falls, Nixon, Pflugerville, Rollingwood, Shiner, Sunset Valley, West Lake Hills, and Yoakum, Texas

Dear City Secretary/Clerks:

Enclosed you will find a **copy of Texas Gas Service Company's Pipeline Integrity Testing Surcharge Rider (PIT-RIDER)** on file with the Railroad Commission of Texas. Pursuant to the Final Order in Railroad Commission Gas Utilities Docket No. 10928 that approved Rate Schedule PIT, the Company filed its Annual Reconciliation Report with the regulatory authorities on February 21, 2023 for its Pipeline Integrity Testing Expenses and Recovery program. Effective for meters read on and after March 28, 2023, a volumetric **PIT-Rider surcharge is \$0.00030 per Ccf** for gas sales and standard transportation customers for the **12-month period April 2023 through March 2024**.

No action is required on your part; however, this tariff is being provided to your city to comply with Section 102.151 of the Texas Utilities Code **that requires the filing of all rate schedules with the regulatory authority**.

If you have any questions concerning this filing, please contact me via email at erlinda.alvarado@onegas.com.

Sincerely,

A handwritten signature in blue ink that reads "Erlinda Alvarado".

Erlinda T. Alvarado
Rates Coordinator
Rates and Regulatory

PIPELINE INTEGRITY TESTING (PIT) SURCHARGE RIDER

A. APPLICABILITY

The Pipeline Integrity Testing Surcharge (PIT) rate as set forth in Section (B) below is for the recovery of costs associated with pipeline integrity testing as defined in Rate Schedule PIT. This rate shall apply to the following gas sales and standard transportation rate schedules of Texas Gas Service Company, a Division of ONE Gas, Inc. currently in force in the Company's Central-Gulf Service Area ("CGSA") within the incorporated and unincorporated areas of Austin, Bee Cave, Buda, Cedar Park, Cuero, Dripping Springs, Gonzales, Kyle, Lakeway, Lockhart, Luling, Marble Falls, Nixon, Pflugerville, Rollingwood, Shiner, Sunset Valley, West Lake Hills and Yoakum, Texas and in the environs area of Bastrop, Texas: 10, 20, 30, 40, 48, C-1, CNG-1, T-1, 1Z, 2Z, 3Z, 4Z, 4H, C-1-ENV, CNG-1-ENV and T-1-ENV.

B. PIT RATE

\$0.00030 per Ccf

This rate will be in effect until all approved and expended pipeline integrity testing expenses are recovered under the applicable rate schedules.

C. OTHER ADJUSTMENTS

Taxes: Plus applicable taxes and fees (including franchises fees) related to above.

D. CONDITIONS

Subject to all applicable laws and orders, and the Company's rules and regulations on file with the regulatory authority.

Supersedes Rate Schedule Dated
 March 28, 2022 (CGSA except Bastrop Env.,
 Buda Inc., Marble Falls and Pflugerville)
 September 15, 2022 (Bastrop Env., Buda Inc.,
 Marble Falls and Pflugerville)

Meters Read On and After
 March 28, 2023



1301 South Mopac; Suite 400
Austin, TX 78746-6918
800-700-2443 • texasgasservice.com

April 13, 2023

The City Secretaries/Clerks of the following Texas cities:

Austin, Bayou Vista, Beaumont, Bee Cave, Cedar Park, Cuero, Dripping Springs, Galveston, Gonzales, Groves, Jamaica Beach, Kyle, Lakeway, Lockhart, Luling, Marble Falls, Nederland, Nixon, Pflugerville, Port Arthur, Port Neches, Rollingwood, Shiner, Sunset Valley, West Lake Hills, and Yoakum, Texas

Dear City Secretary/Clerk:

Enclosed you will find a **copy of Texas Gas Service Company's Pipeline Safety and Regulatory Program Fee (PSF) tariff** on file with the Railroad Commission of Texas. As a result of **Texas Administrative Code Rule 8.201**, this rate schedule is **applicable to all Texas Gas Service customers (except State Agencies)**. For **calendar year 2023**, effective with meters read on and after March 28, 2023, the **annual one-time pipeline safety program fee is \$1.00 per meter**. Each year, this rate will be recalculated (not to exceed \$1.00 per meter) and an updated rate schedule will be distributed.

No action is required on your part; however, this tariff is being provided to your city to comply with Section 102.151 of the Texas Utilities Code **that requires the filing of all rate schedules with the regulatory authority**.

If you have any questions concerning this filing, please contact me via email at christy.bell@onegas.com.

Sincerely,

Christy Bell
Rate Analyst
Rates and Regulatory Affairs

PIPELINE SAFETY AND REGULATORY PROGRAM FEES

TEXAS ADMINISTRATIVE CODE

TITLE 16 ECONOMIC REGULATION

PART 1 RAILROAD COMMISSION OF TEXAS

CHAPTER 8 PIPELINE SAFETY REGULATIONS

SUBCHAPTER C REQUIREMENTS FOR GAS PIPELINES ONLY

Rule §8.201 **Pipeline Safety and Regulatory Program Fees**

- (a) Application of fees. Pursuant to Texas Utilities Code, §121.211, the Commission establishes a pipeline safety and regulatory program fee, to be assessed annually against operators of natural gas distribution pipelines and pipeline facilities and natural gas master metered pipelines and pipeline facilities subject to the Commission's jurisdiction under Texas Utilities Code, Title 3. The total amount of revenue estimated to be collected under this section does not exceed the amount the Commission estimates to be necessary to recover the costs of administering the pipeline safety and regulatory programs under Texas Utilities Code, Title 3, excluding costs that are fully funded by federal sources for any fiscal year.
- (b) Natural gas distribution systems. The Commission hereby assesses each operator of a natural gas distribution system an annual pipeline safety and regulatory program fee of \$1.00 for each service (service line) in service at the end of each calendar year as reported by each system operator on the U.S. Department of Transportation (DOT) Gas Distribution Annual Report, Form PHMSA F7100.1-1 due on March 15 of each year.
- (1) Each operator of a natural gas distribution system shall calculate the annual pipeline safety and regulatory program total to be paid to the Commission by multiplying the \$1.00 fee by the number of services listed in Part B, Section 3, of Form PHMSA F7100.1-1, due on March 15 of each year.
 - (2) Each operator of a natural gas distribution system shall remit to the Commission on March 15 of each year the amount calculated under paragraph (1) of this subsection.
 - (3) Each operator of a natural gas distribution system shall recover, by a surcharge to its existing rates, the amount the operator paid to the Commission under paragraph (1) of this subsection. The surcharge:
 - (A) shall be a flat rate, one-time surcharge;
 - (B) shall not be billed before the operator remits the pipeline safety and regulatory program fee to the Commission;
 - (C) shall be applied in the billing cycle or cycles immediately following the date on which the operator paid the Commission;

PIPELINE SAFETY AND REGULATORY PROGRAM FEES
(Continued)

(D) shall not exceed \$1.00 per service or service line *(For the calendar year 2022 annual pipeline safety and regulatory program fee, billed effective with meters read on and after March 28, 2023, Texas Gas Service Company, a Division of ONE Gas, Inc. will bill all customers a one-time customer charge per bill of \$1.00, based on \$1.00 per service line)*; and

(E) shall not be billed to a state agency, as that term is defined in Texas Utilities Code, §101.003.

(4) No later than 90 days after the last billing cycle in which the pipeline safety and regulatory program fee surcharge is billed to customers, each operator of a natural gas distribution system shall file with the Commission's Oversight and Safety Division a report showing:

(A) the pipeline safety and regulatory program fee amount paid to the Commission;

(B) the unit rate and total amount of the surcharge billed to each customer;

(C) the date or dates on which the surcharge was billed to customers; and

(D) the total amount collected from customers from the surcharge.

Reports for the Commission shall be filed electronically at GUD_Compliance@rrc.texas.gov or at the following address:

Compliance Filing
 Director of Oversight and Safety Division
 Gas Services Department
 Railroad Commission of Texas
 P.O. Box 12967
 Austin, Texas 78711-2967

(5) Each operator of a natural gas distribution system that is a utility subject to the jurisdiction of the Commission pursuant to Texas Utilities Code, Chapters 101 - 105, shall file a generally applicable tariff for its surcharge in conformance with the requirements of §7.315 of this title (relating to Filing of Tariffs).

(6) Amounts recovered from customers under this subsection by an investor-owned natural gas distribution system or a cooperatively owned natural gas distribution system shall not be included in the revenue or gross receipts of the system for the purpose of calculating municipal franchise fees or any tax imposed under Subchapter B, Chapter 182, Tax Code, or under Chapter 122, nor shall such amounts be subject to a sales and use tax imposed by Chapter 151, Tax Code, or Subtitle C, Title 3, Tax Code.

**PIPELINE SAFETY AND REGULATORY PROGRAM FEES
(Continued)**

- (c) Natural gas master meter systems. The Commission hereby assesses each natural gas master meter system an annual pipeline safety and regulatory program fee of \$100 per master meter system.
- (1) Each operator of a natural gas master meter system shall remit to the Commission the annual pipeline safety and regulatory program fee of \$100 per master meter system no later than June 30 of each year.
 - (2) The Commission shall send an invoice to each affected natural gas master meter system operator no later than April 30 of each year as a courtesy reminder. The failure of a natural gas master meter system operator to receive an invoice shall not exempt the natural gas master meter system operator from its obligation to remit to the Commission the annual pipeline safety and regulatory program fee on June 30 each year.
 - (3) Each operator of a natural gas master meter system shall recover as a surcharge to its existing rates the amounts paid to the Commission under paragraph (1) of this subsection.
 - (4) No later than 90 days after the last billing cycle in which the pipeline safety and regulatory program fee surcharge is billed to customers, each natural gas master meter system operator shall file with the Oversight and Safety Division a report showing:
 - (A) the pipeline safety and regulatory program fee amount paid to the Commission;
 - (B) the unit rate and total amount of the surcharge billed to each customer;
 - (C) the date or dates on which the surcharge was billed to customers; and
 - (D) the total amount collected from customers from the surcharge.
- (d) Late payment penalty. If the operator of a natural gas distribution system or a natural gas master meter system does not remit payment of the annual pipeline safety and regulatory program fee to the Commission within 30 days of the due date, the Commission shall assess a late payment penalty of 10 percent of the total assessment due under subsection (b) or (c) of this section, as applicable, and shall notify the operator of the total amount due to the Commission.

Source Note: The provisions of this §8.201 adopted to be effective September 8, 2003, 28 TexReg 7682; amended to be effective November 24, 2004, 29 TexReg 10733; amended to be effective May 15, 2005, 30 TexReg 2849; amended to be effective December 19, 2005, 30 TexReg 8428; amended to be effective April 18, 2007, 32 TexReg 2136; amended to be effective November 12, 2007, 32 TexReg 8121; amended to be effective September 21, 2009, 34 TexReg 6446; amended to be effective August 30, 2010, 35 TexReg 7743; amended to be effective November 14, 2011, 36 TexReg 7663; amended to be effective November 11, 2013, 38 TexReg 7947; amended to be effective January 6, 2020, 45 TexReg 121

Supersedes Same Sheet Dated
March 28, 2022

Meters Read On and After
March 28, 2023



1301 South Mopac; Suite 400
 Austin, TX 78746-6918
 800-700-2443 • texasgasservice.com

April 15, 2023

The City Secretaries and/or City Managers of the following Texas cities:
 Austin, Bee Cave, Cedar Park, Pflugerville, Cuero, Dripping Springs, Gonzales, Kyle, Lakeway,
 Lockhart, Luling, Nixon, Rollingwood, Shiner, Sunset Valley, West Lake Hills, Yoakum,
 Galveston, Bayou Vista, Jamaica Beach, Groves, Nederland, Port Neches, Port Arthur, and
 Beaumont, Texas

Dear City Secretary and/or City Manager:

In accordance with Texas Gas Service Company’s Weather Normalization Clause (WNA) tariff, this report is being provided for the month of March 2023.

The Central Gulf Service Area experienced weather during March that resulted in the following WNA activity:

Customer Class	Amount Collected or Refunded	Average Weather Rate	Average Bill Impact	% Bill Impact
Residential	\$1,214,780	\$0.1141	\$3.99	6.7%
Commercial	\$41,829	\$0.0102	\$3.43	1.0%
Public Authority	\$14,564	\$0.0323	\$18.96	3.1%

Detailed data supporting this summary information is available upon request. If you have any questions, please do not hesitate to contact me at (512) 370-8253.

Sincerely,

Zane Drummond
 Rates Analyst
 Rates and Regulatory Affairs