

CITY OF ROLLINGWOOD CITY COUNCIL MEETING AGENDA

Wednesday, April 19, 2023

Notice is hereby given that the City Council of the City of Rollingwood, Texas will hold a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on April 19, 2023 at 7:00 PM. Members of the public and the City Council may participate in the meeting virtually, as long as a quorum of the City Council and the presiding officer are physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. The public may watch this meeting live and have the opportunity to comment via audio devices at the link below. The public may also participate in this meeting by dialing one of the toll-free numbers below and entering the meeting ID and Passcode.

Link: https://us02web.zoom.us/j/5307372193?pwd=QmNUbmZBQ1IwUINjNmk5RnJreIRFUT09

Toll-Free Numbers: (833) 548-0276 or (833) 548-0282

Meeting ID: 530 737 2193

Password: 9fryms

The public will be permitted to offer public comments via their audio devices when logged in to the meeting or telephonically by calling in as provided by the agenda and as permitted by the presiding officer during the meeting. If a member of the public is having difficulties accessing the public meeting, they can contact the city at <u>dadair@rollingwoodtx.gov</u>. Written questions or comments may be submitted up to two hours before the meeting. A video recording of the meeting will be made and will be posted to the City's website and available to the public in accordance with the Texas Public Information Act upon written request.

CALL REGULAR CITY COUNCIL MEETING TO ORDER

1. Roll Call

PUBLIC COMMENTS

Citizens wishing to address the City Council for items not on the agenda will be received at this time. Please limit comments to 3 minutes. In accordance with the Open Meetings Act, the City Council is restricted from discussing or taking action on items not listed on the agenda.

Citizens who wish to address the Council with regard to matters on the agenda will be received at the time the item is considered.

PRESENTATIONS

- 2. Presentation, discussion and possible action regarding the proposed installation of Network Facilities by Google Fiber Texas LLC
- <u>3.</u> Presentation and discussion by Refraction AI regarding a request for a pilot program for semiautonomous vehicles for residential deliveries
- 4. Presentation and discussion regarding the Quarterly Investment Report for the 2nd Quarter
- 5. Presentation and discussion regarding the Budget Review for the 2nd Quarter

CONSENT AGENDA

All Consent Agenda items listed are considered to be routine by the City Council and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a City Council Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

- 6. Discussion and possible action on the minutes from the March 22, 2023 City Council meeting
- <u>7.</u> Discussion and possible action on the minutes from the April 5, 2023 Joint Planning and Zoning and City Council meeting

REGULAR AGENDA

- 8. Update and discussion on the Nixon/Pleasant drainage project
- 9. Update and discussion on the Hubbard/Hatley/Pickwick drainage project
- <u>10.</u> Discussion and possible action regarding an update to the K. Friese and Associates billing rates for City Engineering Services
- 11. Discussion and possible action to oppose efforts by the legislature to limit the ability of municipalities to require minimum residential lot sizes
- Discussion and possible action regarding an amendment to the Code of Ordinances Section 107-3 Definitions, related to the definition of Building Height, Residential in the R- Residential zoning district
- 13. Discussion and possible action on an ordinance amending the City's Code of Ordinances Section 101-2 Adoption of codes, amending the building code local amendments related to wood shingles and the definition of building height
- 14. Discussion and possible action regarding residential speed limits
- <u>15.</u> Discussion and possible action on an Ordinance amending the FY 2022-2023 Budget for storm debris haul off and landscape remediation at the material storage lot on Edgegrove Drive
- <u>16.</u> Discussion and possible action on a recommendation from the Utility Commission regarding a cellular service and coverage survey

- <u>17.</u> Discussion and possible action to provide flexibility to the Comprehensive Residential Code Review Committee (CRCRC) regarding the dates and times of meetings
- 18. Update and discussion on Fields 3, 4, and 5 rehabilitation
- 19. Update and discussion regarding RCDC interest for capital expenditures on park improvements
- 20. Update and discussion regarding the addition of a building height survey requirement to the City's Code of Ordinances
- 21. Discussion and possible action on an ordinance amending the city's Code of Ordinances Sections 107-399, 107-518 and 107-520 related to public hearing notice
- 22. Discussion and possible action to amend Rollingwood Ordinance Section 2-56 regarding application of Robert's Rules of Order in City Council meetings
- 23. Update, discussion and possible action to pass a resolution, request a meeting with, to provide information or a statement of position of the City to, and/or to request information or analyses from relevant state and local officials in connection with the proposed South Mopac expansion
- 24. Discussion and possible action on release and settlement agreements for the properties located at 304 Vale Street and 400 Farley Trail

REPORTS

All reports are posted to inform the public. No discussion or action will take place on items not on the regular or consent agenda.

- 25. City Administrator's Report
- <u>26.</u> Chief of Police Report
- 27. Municipal Court Report
- 28. City Financials for March 2023 Fiscal Year 2022-2023
- 29. RCDC Financials for March 2023 Fiscal Year 2022-2023
- 30. City Stats for March 2023
- <u>31.</u> Contract Invoices through March 2023 Crossroads Utility Services, Water and Wastewater Service, K. Friese + Associates IIP & MS4, K. Friese + Associates, City Engineer
- 32. Crossroads Utility Services Report on Water and Wastewater for March 2023
- <u>33.</u> City Engineer Report K. Friese + Associates
- 34. Texas Central Appraisal District and Tax Assessor Notices, Letters, Documents
- 35. Texas Gas Services Notices, Letters, Documents

ADJOURNMENT OF MEETING

CERTIFICATION OF POSTING

I hereby certify that the above Notice of Meeting was posted on the bulletin board at the Rollingwood Municipal Building, in Rollingwood, Texas and to the City website at www.rollingwoodtx.gov at **5:00 p.m.** on **April 14, 2023.**

Desíree Adair

Desiree Adair, City Secretary

NOTICE -

The City of Rollingwood is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please contact the City Secretary, at (512) 327-1838 for information. Hearing-impaired or speech-disabled persons equipped with telecommunication devices for the deaf may call (512) 272-9116 or may utilize the stateside Relay Texas Program at 1-800-735-2988.

The City Council will announce that it will go into executive session, if necessary, to deliberate any matter listed on this agenda for which an exception to open meetings requirements permits such closed deliberation, including but not limited to consultation with the city's attorney(s) pursuant to Texas Government Code section 551.071, as announced at the time of the closed session.

Consultation with legal counsel pursuant to section 551.071 of the Texas Government Code; discussion of personnel matters pursuant to section 551.074 of the Texas Government Code; real estate acquisition pursuant to section 551.072 of the Texas Government Code; prospective gifts pursuant to section 551.073 of the Texas Government Code; security personnel and device pursuant to section 551.076 of the Texas Government Code; and/or economic development pursuant to section 551.087 of the Texas Government Code. Action, if any, will be taken in open session.

GFiber GFiber Google Fiber Rollingwood, TX

Sasha Petrovic, GM - Southwest Region



What is Google Fiber?

Google Fiber (GFiber) is an Alphabet company that brings fast, reliable, fairly priced internet to homes and businesses across the United States.

2.

Confidential + Proprietary **GFiber**



We believe in going beyond.

Going beyond Expectations

Our mission is to deliver fast, reliable, fairly-priced and open internet service – using the best technologies, methods and people to accomplish that.

Going beyond the Basics

Internet truly matters to people, and their experiences with internet truly matters to us. So we set the bar high for every aspect along the way - customer service, pricing, transparency, reliability, speed and innovation at every turn.

Going Above and Beyond

There's always room to make things even better. So we're expanding the places we deliver internet, investing in new technology and always looking for ways to do things better that make a difference for our customers, for our teams and in our communities.

Confidential + Proprietary **GFiber**

You can find us here.



Google Fiber

Atlanta, GA Greater Austin, TX Charlotte, NC Huntsville, AL Kansas City, KS/MO Lakewood, CO Nashville, TN Orange County, CA Great Phoenix, AZ Provo, UT Salt Lake Valley, UT San Antonio, TX The Triangle, NC West Des Moines, IA Westminster, CO

Webpass

Chicago, IL Denver, CO Miami, FL Oakland, CA San Diego, CA San Francisco, CA Seattle, WA 2.

Zoom into 78746

Signed West Lake Hills ROW

On March 8th 2023, Mayor Linda Anthony signed a Non-Exclusive Public ROW License Agreement with Google Fiber with unanimous City Council approval.

Filling in 78746

We're looking to fill in areas in and around West Lake Hills as part of this expansion build. This primarily includes areas of unincorporated Travis County.

Lack of competition

There are areas that have only 1 internet provider, leaving residents without choice.



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2.
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What we offer.

Residential



5 Gig \$125/mo • Up to 5 gig download and uploads Wi-Fi 6 mesh network included

Commercial



2 Gig \$250/mo • Downloads of up to 2 gigs/uploads

- up to 1 gig WiFi 6 router mesh Wi-Fi extenders
- 99.9% Service Level Guarantee²

All of our plans include:

- Mesh Wi-Fi network capability
- No data caps or annual contracts
- Free Professional Installation/No installation fees
- 24/7 customer support

¹99.99% reliable connection based on 2021 and 2022 average annual uptime reliability excluding commercial power outages and planned maintenance ²Terms and exclusions apply. See Service Level Agreement for details.

Confidential + Proprietary **GFiber**



2.

Recognized as an industry leader.



Page 11

Customer Satisfaction

Reader's Choice Award; **Favorite ISP**



Customer Service

#1 ISP in the American **Consumer Satisfaction Index**



Speed Fastest internet provider in the country

2.

Page 12

But don't take our word for it.

"I have loved having you guys for the last couple of months, I can't find anyone else who can deliver this speed and consistency."

Denz. MO

"Hey @googlefiber, you're the greatest ISP I've ever had."

Pilioka, KC

"Thanks @googlefiber that's the best customer service l've ever had. Fixing a problem that wasn't your fault hours after I call. Love this service."

Michael J., NC

Supported locally by a team of industry experts.

Proven+30M feet of fiber built and maintained in TexasCompetentSenior Leadership has over 45 years of combined
industry expertiseTrustedOperating in over 10 municipalities including Austin,
San Antonio, Round Rock, Travis County, etc



Entire team is based in the greater Central Texas region. Living, working and contributing to the communities we serve





2.

Rollingwood, TX - Google Fiber Journey



ROW License / Deployment Method

Align on ROW license terms and deployment methods

Close coordination with the city starts HERE!



Design / Permit / Network Construction

Coordination with city/county Fiber Design Permitting **Community Communication** Fiber Network Construction Multi-dwelling Construction Restoration **Targeting primarily underground** construction for Rollingwood



Customer Fulfillment

Sales Service Drop (private property) In-Home Installation



Know what's **below**. **Call** before you dig.

Network Maintenance, **Repair, Relocations**

Proactive Maintenance Reactive Maintenance / Repair Utility, Infrastructure Project Coordination Relocation **Proactive relocations to avoid** future infrastructure conflicts

and CONTINUES!

2.

Our process is different.

Design

Goal: Build the widest possible footprint to serve the greatest number of customers.

Goal: Ensure that the community is familiar with the deployment and knows how to contact us.

Communicate

Goal: Utilize a proven toolkit that maximizes speed, minimizes disruption and is restored properly.

Impact: Deployment along a significant portion of ROW. **Impact:** No surprises and any issues are resolved quickly. Impact: Reduced impact to ROW and roads, while increasing safety, lowering risk exposure and community disruption.

Construction

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How we design/build our networks.

Equipment Shelter

- Serves 40-60k Homes
- Placed on Leased or purchased land

HUT Location

• Connects shelters Lease fiber where

possible

Backbone Routes

Backbone Routes

Trunk Routes

- Shallow trenching
- Horizontal **Directional Drill**
- Aerial







Trunk Routes

2.

Distribution Routes Shallow trenching Horizontal **Directional Drill** Aerial

Distribution Routes

FAQ

Frequently Asked Questions:

- Q: What is the cost to the city?
 - There is no cost to the city. Each city has their internal process to support permitting and inspection; that might have additional costs associated with a fiber deployment.
- Q: How do you solve for infrastructure project conflicts (i.e. wet utility work, road and sidewalk work)?
 - In the engineering phase we work with the city to understand the planned projects, design the network to minimize conflict and then have a full team dedicated to 0 relocation work for any future work unforeseen during the initial construction phase.
- Q: Who pays to relocate your fiber?
 - GFiber pays for any for city related relocation projects (e.g. capital improvements, road, sidewalk, wet utilities)
- Q: How do you notify the public?
 - We work with the city to find the right communication strategy. This often includes, at minimum, signage, door hangers, an 800 number for residents to call with questions.
- Q: Does the agreement give open access to the ROW to GFiber?
 - No, we design and submit detailed permit drawings for review and approval before any construction commences.
- Q: What about the impact to the roadway, curbs, sidewalks etc?
 - We have worked to develop our deployment methods and material to minimize impact to the roadway. However, our license agreement includes a commitment to restore any damage that may have resulted from our deployment.
- Q: How is the city compensated for the access to the ROW?
 - Terms are outlined in the ROW license agreement and include a fee as a percentage of customer revenue.
- Q: What deployment method will be used?
 - We use a toolkit of construction methods that are designed to maximize the number of homes/businesses that we can reach and serve. The construction tool kit is comprehensive and includes shallow trenching, softscape, horizontal directional drilling and aerial.
- Q: How long will this project take?
 - There are a number of different factors that can influence the pace. Historically, we have constructed between 10k and 40k households per year.
- Q: What about landscaping, irrigation lines?
 - We are committed and bound by the license agreement to restore and repair anything impacted during construction. Fortunately, our deployment toolkit is generally less intrusive than typical construction methods.
- Q: What is the long term impact to our roadway, curbs and sidewalks?
 - We have worked hard over the last 10+ years to find the right formula that allows us to deploy the network quickly, cost effectively and with minimal short term and long 0 term impact to the community infrastructure.
- Q: Do you have contacts in other cities that we can talk to in order to hear how your deployment has gone in their city?
 - Yes, we can provide some references in existing markets. 0

Thank you.





REFRACTION AI City of Rollingwood – April 19, 2023 З.

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Refraction AI: Robot-as-a-service last-mile delivery



REFRACTION A

- Delighted customers
- Profitable growth
- Margin expansion
- Brand augmentation
- Sustainable operations
- New opportunities





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Technology enabled last-mile delivery using intelligent routing, autonomy, and tele-operations, to deliver goods safely, efficiently, and sustainably, at a fraction of the cost of conventional options

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REFRACTION A

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REFRACTION AI

(Click for Video)

Page 23 For operators



Robots at the ready

Dedicated, virtual fleet is ready to fulfill deliveries

- Days of week
- Hours of day

No maintenance or fleet management headaches Fleet expansion is turnkey



Integrated operations

Order management API enables seamless robot hailing and loading

Orders may be individually loaded or batched for greater efficiency

Staging and loading areas are space-efficient and conveniently located



Full delivery range

Road-margin operation enables 5-mile radius

Max speed of 15 mph ensures timely deliveries Autonomous + teleoperated travel means hitting the arrival window more precisely



Clean consumer experience

Integrated communication of status, ETA and support

Logical, secure, payload access

Nimble enough to deliver orders to curbsides, sidewalks, driveways and porches



Effective brand expression

Branded, highly-visible mobile assets

Promotion/activation ready for events and opportunities

Integrated digital display advertising options

REFRACTION AI



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Place an order through any supported channel



Receive a text confirmation when the order is loaded



Receive a secure access code

text when the order is arriving



Use the code to open the door, and goodness awaits!

TRANSACTING	It's easy to buy – "lights out" app integration
AVAILABILITY	It's immediate – Robot fleet acts as a virtual, dedicated delivery fleet
RELIABILITY	All-weather, More accurate ETAs
AFFORDABILITY	It's cheaper – No tipping, right-sized delivery vehicles
SUSTAINABILITY	90% smaller carbon footprint, 80% more energy efficient
LIVABILITY	No travel lane occupancy or curbside congestion
	CONFIDENTIAL



6

Technology Platform

Autonomy

Portable Level 4 autonomy Integrated tele-operation Ultra low-cost sensor suite Semantic, scene-based Al



Route Optimization

Multi-criteria routing engine Location specific Asset configurable Machine-learning driven



Delivery Management

REFRACTION AI

Demand management Asset management Planning Analytics





Tele-operations



Offshore partner in LATAM Complete remote piloting capabilities Full training and licensing curriculum Turnkey, low-cost expansion **Robots**



Road margin/bike lane domain Multiple manufacturing partners Customer configurable interiors Branding and advertising options

Field Operations



Restaurant, grocery and retail Integration with legacy systems Design of experience support Concierge services



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Rollingwood concept



REFRACTION AI





- Limited pilot, 90-120 days
- Grocery focus
- Retail centers along Bee Caves Rd
- Exclusively serving Rollingwood residents
- 2-3 robots, 12-16 hours per day
- Promoted by Refraction AI



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MATTHEW JOHNSON-ROBERSON | CO-FOUNDER CO-CTO DIRECTOR, CARNEGIE MELLON ROBOTICS INSTITUTE





LUKE SCHNEIDER | CEO 25 YEAR MOBILITY ENTREPRENEUR WITH MULTIPLE EXITS





RAM VASUDEVAN | CO-FOUNDER, CO-CTO DIRECTOR, UM-FORD CENTER FOR AUTONOMOUS VEHICLES





PICKUP

AARON FAVARA | COO SEASONED LAST-MILE / TRANSPORTATION ENTREPRENEUR

arise 👌



JUSTIN STORMS | DIRECTOR OF ENGINEERING ROBOTICS PH.D AND TELE-AUTONOMOUS VEHICLE EXPERT





ELLICE PEREZ MCINTOSH | DIRECTOR, OPERATIONS SEASONED AUTONOMY AND MOBILITY ENTREPRENEUR

Intrado



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CITY OF ROLLINGWOOD

403 Nixon Drive Rollingwood, TX 78746 (512) 327-1838 Fax (512) 327-1869

April 10, 2023

City of Rollingwood Council Members

Re: Quarterly Investment Report

Council Members:

In accordance with the Public Investment Act, enclosed is the Quarterly Investment Report for the quarter ending March 31, 2023.

Sincerely yours,

Waynan ¥

Ashley Wayman, City Administrator

CITY OF ROLLINGWOOD QUARTERLY INVESTMENT REPORT 2022-2023 FY 2nd QTR.

POOLED INVESTMENTS:	TE	XPOOL:			
		GENERAL	WATER	WASTEWATER	
AVERAGE BALANCE		FUND	FUND	FUND	TOTAL
		32 440%	8.823%	44.229%	
<u>1ST QUARTER</u>		52.44076	11.236%	56.325%	
OCTOBER, 2022	\$	175 147 91 0	CO 000 17 0		
NOVEMBER, 2022	ŝ	175,147.01 J	60,663.47 \$	304,108.69 \$	539,919.97
DECEMBER, 2022	\$ \$	176 120 50 6	60,815.74 \$	304,872.03 \$	541,275.23
	Ψ	110,129.00 \$	61,003.51 \$	305,813.32 \$	542,946,40
2nd QUARTER					
JANUARY, 2023	¢	176 706 00 0	04 000 vs v		
FEBRUARY, 2023	φ Ψ	177,245,40	61,203.48 \$	306,815.77 \$	544,726,17
MARCH, 2023	Ψ	177,345.13 \$	61,424.52 \$	307,923.89 \$	546.693.54
	ψ	202,539.99 \$	53,098.12 \$	266,176.65 \$	601,814 75
ENDING BALANCE					,
1ST QUARTER					
OCTOBER, 2022	¢	175 570 04 0			
NOVEMBER, 2022	Ψ ¢	176,002.44	60,811.67 \$	304,843.11 \$	541,221,68
DECEMBER, 2022	¢ ¢	176,093,41 \$	60,992.16 \$	305,747.88 \$	542.828.01
	Ψ	170,000.02 \$	61,198.32 \$	306,781.34 \$	544,662,83
2nd QUARTER					
JANUARY, 2023	¢	177 200 07 0			
FEBRUARY, 2023	¢.	177,025.27 \$	61,416.95 \$	307,885.93 \$	546,626,16
MARCH, 2023	¢ v	220.040.54	61,628.93 \$	308,948.56 \$	548,512 77
	φ	329,046.54 \$	61,838.15 \$	309,989.76 \$	700,874.46
INTEREST					
<u>1ST QUARTER</u>					
OCTOBER, 2022	¢	196 95 m			
NOVEMBER, 2022	Ψ. ¢	430.35 \$	151.14 \$	757.63 \$	1.345.11
DECEMBER, 2022	Ψ ¢	521.09 \$	180.49 \$	904.77 \$	1.606.33
	Ψ	595.23 \$	206.16 \$	1,033.46 \$	1.834.82
2nd QUARTER					1,001.02
JANUARY, 2023	¢	600.00			
FEBRUARY, 2023	φ ¢	030.89 \$	220.59 \$	1,105.84 \$	1 963 32
MARCH, 2023	¢ v	012.01 \$	211.98 \$	1,062.63 \$	1 886 61
	φ	1,108.77 \$	1,108.77 \$	1,108.77 \$	2 361 70
INTEREST RECEIVED:				•	2,001.10
1ST QUARTER	¢	4 550 07 -			
2ND QUARTER	¢ ¢	1,552.67 \$	537.78 \$	2,695.86 \$	4 786 26
YEAR-TO-DATE	¢	2,357.67 \$	1,541.34 \$	3,277.24 \$	6 211 62
	Ф	3,910.34 \$	2,079.12 \$	5,973.10 \$	10 997 80
					10,001.00

	TE	TEXPOOL:						
WEIGHTED AVG MATURITY (WAM)		WAM (1)	WAL (2)					
<u>1ST QUARTER</u> OCTOBER, 2022 NOVEMBER, 2022 DECEMBER, 2022		23 21 17	96 95 83					
2nd QUARTER JANUARY, 2023 FEBRUARY, 2023 MARCH, 2023		16 15 17	66 66 76					
1ST QUARTER OCTOBER, 2022 NOVEMBER, 2022 DECEMBER, 2022		2.9336% 3.6110% 3.9799%						
JANUARY, 2023 FEBRUARY, 2023 MARCH, 2023		4.2443% 4.4991% 4.6108%						
NET ASSET VALUE (NAV)								
<u>1ST QUARTER</u> OCTOBER, 2022 NOVEMBER, 2022 DECEMBER, 2022	\$ \$ \$	1.00 1.00 1.00						
<u>2nd QUARTER</u> JANUARY, 2023 FEBRUARY, 2023 MARCH, 2023	\$ \$	1.00 1.00 1.00						

NOTES:

(1) "WAM" IS THE MEAN AVERAGE OF THE PERIODS OF TIME REMAINING UNTIL THE SECURITIES HELD IN TEXPOOL (A) ARE SCHEDULED TO BE REPAID, (B) WOULD BE REPAID UPON A DEMAND BY TEXPOOL, OR ARE SCHEDULED TO HAVE THEIR INTEREST RATE READJUSTED TO REFLECT CURRENT MARKET RATES. SECURITIES WITH ADJUSTABLE RATES PAYABLE UPON DEMAND ARE TREATED AS MATURING ON THE EARLIER OF THE TWO DATES SET FORTH IN (B) AND © IF THEIR SCHEDULED MATURITY IS MORE THAN 397 DAYS. THE MEAN IS WEIGHTED BASED ON THE PERCENTAGE OF THE AMORTIZED COST OF THE PORTFOLIO INVESTED IN EACH PERIOD.

(2) "WAL" IS CALCULATED IN THE SAME MANNER AS THE DESCRIBED IN FOOTNOTE 1, BUT IS BASED SOLELY ON THE PERIODS OF TIME REMAINING UNTIL THE SECURITIES HELD IN TEXPOOL (A) ARE SCHEDULED TO BE REPAID OR (B) WOULD BE REPAID UPON DEMAND BY TEXPOOL, WITHOUT REFERENCE TO WHEN INTEREST RATES OF SECURITIES WITHIN TEXPOOL ARE SCHEDULED TO BE READJUSTED.

CITY OF ROLLINGWOOD MONTHLY FINANCIAL ANALYSIS

NOTE: YTD ACTUAL AS OF MARCH 31, 2023; 50% OF FISCAL YEAR

REVENUE STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:				PR	IOR YEAR:	CURRENT YR	
		EST. REVENUE		YTD	PERCENT		YTD	COMPARED TO PY YR
CURRENT PROPERTY TAXES	\$	1,391,320	\$	1,374,688	99%	\$	1,350,441	102%
TELECOM TAXES	\$	20,000	\$	11,363	57%	\$	11,102	102%
4-B SALES TAX	\$	200,000	\$	87,033	44%	\$	87,179	100%
CITY SALES TAX	\$	625,000	\$	348,130	56%	\$	348,715	100%
ELECTRIC UTILITY FRANCHISE FEE	\$	90,000	\$	52,753	59%	\$	-	#DIV/0!
BUILDING PERMIT FEES	\$	150,000	\$	74,360	50%	\$	108,018	69%
COURT FINES	\$	31,700	\$	34,432	109%	\$	18,705	184%
WATER SALES	\$	1,354,000	\$	586,209	43%	\$	501,558	117%
STREET SALES TAX	\$	200,000	\$	87,033	44%	\$	87,179	100%
PROPERTY TAX-DEBT SERVICE 2014	\$	199,350	\$	199,987	100%	\$	198,467	101%
PROPERTY TAX-DEBT SERVICE 2012	\$	313,235	\$	314,231	100%	\$	313,990	100%
PROPERTY TAX-DEBT SERVICE 2019	\$	410,250	\$	412,023	100%	\$	406,130	101%
PROPERTY TAX-DEBT SERVICE 2020	\$	314,775	\$	315,058	100%	\$	313,075	101%
WASTEWATER REVENUES	\$	803,500	\$	444,500	55%	\$	365,074	122%
PUD SURCHARGE	\$	98,160	\$	49,077	50%	\$	49,076	100%

BUDGET STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:					CURRENT YR			
		BUDGET		YTD	PERCENT		YTD	COMPARED TO PY YR	
GENERAL FUND:									
REVENUE	\$	3,157,388	\$	2,178,917	69%	\$	2,073,894	105%	
EXPENDITURES	\$	3,148,417	\$	1,429,276	45%	\$	1,544,888	93%	
WATER FUND:									
REVENUE	\$	1,354,350	\$	508,251	38%	\$	501,632	101%	
EXPENDITURES	\$	1,271,047	\$	375,611	30%	\$	497,040	76%	
STREET MAINTENANCE FUND:									
REVENUE	\$	256,115	\$	73,545	29%	\$	87,225	84%	
EXPENDITURES	\$	256,115	\$	73,015	29%	\$	88,291	83%	
COURT SECURITY FUND:									
REVENUE	\$	1,600	\$	1,279	80%	\$	713	179%	
EXPENDITURES	\$	1,000	\$	-	0%	Ś	-	#DIV/0!	
COURT TECHNOLOGY FUND:						•			
REVENUE	\$	1,600	\$	1,052	66%	\$	605	174%	
EXPENDITURES	\$	2,500	\$	23	1%	\$	8	281%	
COURT EFFICIENCY FUND:									
REVENUE	\$	100	\$	-	0%	\$	-	#DIV/0!	
EXPENDITURES	\$	100	\$	-	0%	Ś	-	#DIV/0!	
DEBT SERVICE FUND - 2014:								······	
REVENUE	\$	200,250	\$	199,239	99%	Ś	198.467	100%	
EXPENDITURES	\$	199,350	\$	32,375	16%	Ś	34.975	93%	
DEBT SERVICE FUND - 2012:							,	0070	
REVENUE	\$	314,635	\$	313,056	99%	Ś	313,990	100%	
EXPENDITURES	\$	313,635	\$	4,318	1%	Ś	8.068	54%	
DEBT SERVICE FUND - 2019:						•	-,	0170	
REVENUE	\$	411,650	\$	410,484	100%	Ś	406,130	101%	
EXPENDITURES	\$	410,650	ŝ	147.825	36%	ŝ	150.025	99%	
DEBT SERVICE FUND - 2020:			·	,		Ŧ		0070	
REVENUE	\$	315,515	\$	314.626	100%	Ś	313.075	100%	
EXPENDITURES	Ś	315.015	Ś	12.388	4%	Ś	14 525	85%	
DRAINAGE FUND:		,	Ŧ	,	.,,,	Ŷ	1,525	0570	
REVENUE	Ś	30.900	Ś	12.000	39%	Ś	45 928	26%	
EXPENDITURES	Ś	58.000	ŝ	31,747	55%	Ś	107 472	30%	
WASTE WATER FUND:			*	,	5570	۲	207,772	5078	
REVENUE	\$	974,576	Ś	425.640	44%	Ś	419.878	101%	
EXPENDITURES	\$	974,576	\$	280,209	29%	Ś	497.575	56%	



CITY OF ROLLINGWOOD CITY COUNCIL MEETING MINUTES

Wednesday, March 22, 2023

Notice is hereby given that the City Council of the City of Rollingwood, Texas will hold a meeting, open to the public, in the Municipal Building at 403 Nixon Drive in Rollingwood, Texas on March 22, 2023 at 7:00 PM. Members of the public and the City Council may participate in the meeting virtually, as long as a quorum of the City Council and the presiding officer are physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. The public may watch this meeting live and have the opportunity to comment via audio devices at the link below. The public may also participate in this meeting by dialing one of the toll-free numbers below and entering the meeting ID and Passcode.

CALL REGULAR CITY COUNCIL MEETING TO ORDER

1. Roll Call

Mayor Pro Tem Sara Hutson called the meeting to order at 7:01 p.m.

Present Members: Mayor Pro Tem Sara Hutson, Council Member Phil McDuffee, Council Member Kevin Glasheen, Council Member Alec Robinson, and Council Member Brook Brown.

Also Present: City Administrator Ashley Wayman, City Attorney Charles Zech, Finance Director Abel Campos, City Secretary Desiree Adair, Development Services Manager Nikki Stautzenberger, Interim Police Chief Kristal Muñoz, and Assistant to the City Administrator Makayla Rodriguez.

PUBLIC COMMENTS

There were no public comments.

PRESENTATIONS

2. Presentation, discussion and possible action on the Fiscal Year 2021-2022 Audit by ABIP, PC

Jeremy Barbado, of ABIP, PC, presented the Fiscal Year 2021-2022 Audit. He discussed the Management Letter and the Annual Financial Report for 2022.

Council Member Brook Brown moved to accept the annual financial report as submitted. Council Member Alec Robinson seconded the motion. The motion carried with 5 in favor and 0 against.

6.

City Administrator Ashley Wayman thanked Finance Director Abel Campos for his work throughout the year towards the City's financial position and City staff for their work during the audit period.

3. Presentation and update from Denton, Navarro, Rocha, Bernal & Zech, P.C. regarding a new certification opportunity related to Open Meetings training

City Attorney Charles Zech discussed an Open Meetings training certification opportunity that is provided by DNRBZ which is certified by the Texas Attorney General for newly elected and appointed officials. Mayor Pro Tem Sara Hutson recommended scheduling this training for Council Members, Board and Commission Members, and potential Board and Commission Members.

CONSENT AGENDA

All Consent Agenda items listed are considered to be routine by the City Council and may be enacted by one (1) motion. There will be no separate discussion of Consent Agenda items unless a City Council Member has requested that the item be discussed, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Regular Agenda.

- 4. Discussion and possible action on the minutes from the February 15, 2023 City Council meeting
- 5. Discussion and possible action on an ordinance amending Section 34-36 of the City's Code of Ordinances to bring it into compliance with the lead ban language for pipes and pipe fittings in Title 30, Texas Administrative Code Section 290.44(b)

Council Member Alec Robinson moved to approve the Consent Agenda. Council Member Phil McDuffee seconded the motion. The motion carried with 5 in favor and 0 against.

Council Member Brook Brown requested a recess to celebrate the upcoming nuptials of the City Administrator.

Mayor Pro Tem Sara Hutson recessed the meeting at 7:22 p.m.

Mayor Pro Tem Sara Hutson called the meeting back to order at 7:43 p.m.

REGULAR AGENDA

 Discussion and possible action on a work authorization from K. Friese + Associates for design, bid and construction phase services for packages 1-4 of the Water CIP and to authorize the Mayor to execute a Professional Services Agreement

Greg Blackburn, of K. Friese + Associates, discussed the work authorization. Council Member Kevin Glasheen discussed the financial changes in the Professional Services Agreement.

Council Member Kevin Glasheen moved to adopt the proposal and authorize the Mayor to execute a contract consistent with the proposal. Council Member Phil McDuffee seconded the motion. The motion carried with 4 in favor, 0 against, and 1 abstention (Hutson).

Council Member Kevin Glasheen discussed funding infrastructure projects from the Water Development Board determined by the bill in legislative session. He suggested paying for
engineering services out of pocket, deferring the bond, and have another application into the Water Development Board to see if the construction phase of the project get funded.

City Council and City Administrator Ashley Wayman discussed grant writing and application assistance for infrastructure projects.

7. Discussion and possible action on a resolution amending the fee schedule to reflect proposed updates to building and development and related fees

City Administrator Ashley Wayman discussed the amendments to the fee schedule.

Council Member Phil McDuffee moved to approve Resolution 2023-03-22-07 Amending Fee Schedule as submitted. Council Member Brook Brown seconded the motion. The motion carried with 5 in favor and 0 against.

8. Discussion and possible action regarding the addition of a building height survey requirement to the City's Code of Ordinances

City Administrator Ashley Wayman proposed to put a building height survey requirement in the building process. Staff is looking for direction from Council on this proposal to bring back an ordinance. The proposal is to require a building height survey if the height is within 5 feet of the building height limit.

Development Services Manager Nikki Stautzenberger discussed the building process including the original survey and the form survey. City Council asked questions regarding the grade and height measurement.

Council Member Phil McDuffee moved to direct City staff to draft an ordinance and that the City hires the surveyor to perform these duties for a building height survey. Council Member Alec Robinson seconded the motion. The motion carried with 5 in favor and 0 against.

Council Member Brook Brown proposed a budget amendment to pay for these surveys. City Administrator Ashley Wayman stated that staff will consider this and look at what might need to be brought back.

9. Discussion and possible action on changing the parking restrictions along Rollingwood Drive between Wallis and Gentry

Council Member Kevin Glasheen discussed the reason behind this item and would like to poll the neighbors that live along Rollingwood Drive. Council Member Alec Robinson mentioned that he prefers the way it is now and has spoken with a few residents who feel the same.

Council Member Kevin Glasheen suggested moving on to the next item.

Discussion and possible action to authorize a project to rehabilitate the soil and grass on Fields
 3, 4 and 5 with private contributions

Council Member Kevin Glasheen discussed the bare spot on fields 3, 4, and 5, fertilizer applications, meetings with the Public Works Department, and recommendations from third party contractors. He proposed aerating, building the low area up with dirt, hydro mulch,

installing another gate, lip cutting, and private donations that have been committed. He explained that Western Hills Little League is in support of and will contribute to the project. Council discussed bidding requirements, insurance, and agreements with City Attorney Charles Zech. Council would like any warranties to remain with the City and have the City manage the project.

Council Member Brook Brown moved to approve the concept and ask the contracts associated with this and the financial agreements be brought back for Council approval when those are on paper. Council Member Alec Robinson seconded the motion.

Council Member Alec Robinson would like to put this on the Park Commission agenda for their next meeting.

The motion carried with 5 in favor and 0 against.

11. Discussion on possible future projects for park improvements with funds from the RCDC including walking trail and parking lot improvements

Council Member Kevin Glasheen proposed to have a discussion regarding RCDC fund availability for improvements to the park. He suggested trail and parking lot improvements.

City Attorney Charles Zech stated that this proposal would have to go to RCDC.

With RCDC support, Council Member Kevin Glasheen would like to explore other funding options such as grants, obtain public input, potential additions of parking spaces and a dog park.

Council discussed the proposed projects in the agenda packet and their concerns and solutions regarding these projects. Council Member Brook Brown presented a drainage proposal and discussion.

Council Member Kevin Glasheen moved to approach the RCDC and the Park Commission to gauge interest and talk about using RCDC money to improve the walking trail, to do drainage analysis and drainage improvement projects in the Park, parking lot improvements on the parking lot between Rollingwood Drive and Field 2, and parking lot improvements between the fields and the Western Hills Athletic Club. Council Member Brook Brown seconded the motion

Shanthi Jayakumar, 3309 Park Hills, described the Park as the jewel of Rollingwood and discussed her interest in the Park. She believes these projects should go the Park Commission. She discussed the safety issue including emergency vehicles being able to turn around in this area. She discussed the perpetual roadway easement in the deed records. She provided warranty deed documents and asked Council to proceed carefully with the Park.

The motion carried with 5 in favor and 0 against.

12. Discussion and possible action on traffic code enforcement

Mayor Pro Tem Sara Hutson discussed a call from a resident regarding construction expenditures to put in a circle drive due to the traffic issues on Rollingwood Drive. She would

like to provide education regarding legal vehicles, where they should be located on the road, and increase enforcement.

Interim Police Chief Kristal Muñoz discussed how the Police Department has recently deployed a speed trailer, e-bike safety, and the statistics of traffic contact.

City Council asked Interim Police Chief Kristal Muñoz questions regarding time spent on traffic enforcement, non-traditional vehicle usage, speed signs reports, and enforcement concerns.

Dave Bench, 1 Randolph Place, spoke regarding building permits and limiting construction traffic. He asked if there is enforcement of the construction traffic.

Interim Police Chief Kristal Muñoz explained that the Police Department is providing education and enforcing in that regard.

 Discussion on an ordinance ratifying certain setbacks which have been approved by the approval of plats

City Administrator Ashley Wayman explained that the draft ordinance would have to go through the Planning and Zoning Commission and back to City Council through the public hearing process before approval.

Council Member Kevin Glasheen asked City Attorney Charles Zech for a suggestion regarding the draft ordinance. City Attorney Charles Zech discussed specific language for the ordinance and the zoning statute behind the reason why this ordinance was drafted this way. Zoning regulations must be uniform for each class or kind of building in the district. Rollingwood has one residential zoning district so all regulations need to be uniform with respect to class and building. City Administrator Ashley Wayman explained that plats sit with the County. City Attorney Charles Zech likened this situation to an existing non-conforming use.

Council Member Brook Brown proposed a compromise and settlement agreement process. This would delegate to the City Administrator authority to negotiate a proposed compromise and settlement agreement between the City and certain building permit applicants by which the City would ratify the permit as a part of the settlement, and the permittee would release the City from any claims. Any proposed compromise and settlement agreement would be brought to the Council for approval, and conditions would be defined as to when this process would be available. She proposed 2 applicable conditions.

Council Member Kevin Glasheen responded that this would be a smart solution but the process proposed is complicated. He suggested an amendment that an agreement should be reached that would ratify the building permits and release the City from any claims with the Rolosons and Shapiros.

Mayor Pro Tem Sara Hutson suggested that the Rolosons should ask for a variance from the Board of Adjustment showing hardship.

Council Member Kevin Glasheen recommended ratifying the memorandums that the Mayor issued in August, 2022.

Council Member Brook Brown would not like for Council to ratify the Mayor's memos.

City Council discussed the best course of action for settling these permits.

Mayor Pro Tem Sara Hutson asked Development Services Manager Nikki Stautzenberger when building permits expire. City Attorney Charles Zech explained that there is a rolling 2-year expiration to permits. He suggested, in order of preference, adopting the ordinance that applies to all situations, settlement document agreed to by both parties, and lastly, ratifying the action. Council discussed setbacks, and the ordinance option versus the settlement and compromise agreement.

Kendra Roloson, 301 Wallis Drive, stated that she is in support of the quickest solution.

The City Council gave direction to the City Administrator and City Attorney to bring back a process that includes settlement and compromise documents for these properties.

14. Discussion regarding public notice requirements for public hearings

City Administrator Ashley Wayman discussed the City noticing requirements and the State noticing requirements. She provided recommendations and considerations from staff.

Council asked questions regarding public hearings, the noticing required, and options for communication.

Dave Bench, 1 Randolph Place, would like to see the noticing period reduced to 20 days for improving continuity of the discussion.

Staff was directed to bring back an ordinance to keep newspaper notice as is for City Council, and remove newspaper notice for the Planning and Zoning Commission.

Staff was directed to bring back an ordinance to reduce mail notice to 20 days until another effective notice method is utilized.

Mr. Bench, 1 Randolph Place, spoke regarding a discussion of a commitment to attending meetings at the next Planning and Zoning Commission.

15. Discussion and possible action on the Commercial Code Update Project Calendar

Council Member Brook Brown explained that she worked with City Administrator Ashley Wayman and Bryce Cox, of DNRBZ, to come up with the Commercial Corridor Code Update Project Calendar.

16. Discussion and possible action regarding the formation of a Comprehensive Residential Code Review Committee

Council Member Brook Brown discussed the development of the Planning and Zoning Commission approved Comprehensive Residential Code Review Committee as presented in the agenda packet. She discussed the members and the authority of the Committee.

Mr. Bench, 1 Randolph Place, explained that they would utilize the survey for the Comprehensive Plan as a starting point and collect community input.

Council Member Kevin Glasheen moved to approve the formation of a Comprehensive Residential Code Review Committee. Council Member Phil McDuffee seconded the motion.

City Council discussed the selection of the proposed committee members and the qualifications of these potential members.

The motion carried with 5 in favor and 0 against.

17. Update on the Nixon/Pleasant drainage project

City Administrator Ashley Wayman discussed the stakeholders and their nearing approval, finalization of easement language, and the new set of plans which will be submitted to the stakeholders this week.

18. Update regarding the City of Rollingwood's allocation from the Opioid Abatement Trust Fund

City Administrator Ashley Wayman described the first allocation of \$1400 received by the City and the potential use for these funds.

Interim Police Chief Kristal Muñoz and City Council discussed the use of these funds for community education and public outreach.

Amy Pattillo, 3 Rock Way Cove, mentioned the strategic ways to distribute Narcan as a response to emergency situations.

19. Discussion and possible action to amend Rollingwood Ordinance Section 2-56 regarding application of Robert's Rules of Order in City Council meetings

Council Member Brook Brown discussed the City ordinance 2 -56 and the general order of business in Section 2 – 64. She suggested following the Utility Commission's flexible application of Roberts' Rules of Order. She recommended amending Section 2-56 (e) of the Code to adopt the language found in subsection 2-2223 (e) to allow for flexible use of Robert's Rules of Order in City Council meetings.

Council Member Brook Brown suggested deferring this item until the Mayor can be present.

Amy Pattillo, 3 Rock Way Cove, requested to make a public comment at the end of the meeting. She discussed MoPac South and a possible update. She believes CTRMA is close to going public and would like a standing agenda item regarding MoPac South or a standing Task Force meeting the week after CTRMA meetings.

ADJOURNMENT OF MEETING

Mayor Pro Tem Sara Hutson adjourned the meeting at 10:41 p.m.

Minutes Adopted on the _____ day of _____, 2023.

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary



CITY OF ROLLINGWOOD JOINT PLANNING AND ZONING COMMISSION AND CITY COUNCIL MEETING MINUTES

Wednesday, April 05, 2023

The Planning and Zoning Commission of the City of Rollingwood, Texas held a joint meeting with the Rollingwood City Council, open to the public, in the municipal Building at 403 Nixon Drive in Rollingwood, Texas on April 5, 2023 at 6:00 p.m. Members of the public, the Planning and Zoning Commission, and the City Council were able to participate in the meeting virtually, as long as a quorum of the Planning and Zoning Commission and the City Council and the respective presiding officers were physically present at the Municipal Building, in accordance with the Texas Open Meetings Act. A video recording of the meeting was made and will be posted to the City's website and available to the public in accordance with the Texas Public Information Act upon written request.

CALL JOINT CITY COUNCIL AND PLANNING AND ZONING COMMISSION MEETING TO ORDER

Mayor Pro Tem Sara Hutson called the Joint City Council meeting to order at 6:06 p.m.

1. City Council Roll Call

Present Members of City Council: Mayor Pro Tem Sara Hutson, Council Member Phil McDuffee, Council Member Alec Robinson, and Council Member Brook Brown.

Chair Dave Bench called the Planning and Zoning Commission meeting to order at 6:07 p.m.

2. Planning and Zoning Commission Roll Call

Present Members of Planning and Zoning Commission: Chair Dave Bench, Amie Rodnick, Michael Hall, Greg Demas, Michael Rhodes, and Tony Stein.

Also Present: City Administrator Ashley Wayman, City Attorney Charles Zech, City Secretary Desiree Adair, Development Services Manager Nikki Stautzenberger, and Assistant to the City Administrator Makayla Rodriguez.

PUBLIC COMMENTS

The following individuals spoke during public comments:

• Ellin Wilson, 3018 Hatley Drive, spoke regarding concerns for home views and houses not in compliance with the Code.

Mayor Pro Tem Sara Hutson spoke regarding the details of the actions being taken tonight to clarify the inconsistencies and gaps in the Code. The Comprehensive Residential Code Review Committee (CRCRC) has been established to review the residential Code and make recommendations including opportunity for citizen input.

PUBLIC HEARINGS

3. Update regarding the Joint Public Hearing process

City Administrator Ashley Wayman explained the process of joint public hearings which is possible due to an ordinance passed at the last City Council meeting. The City Council may at its discretion at a properly noticed public meeting determine that a public hearing shall be held before both the Planning and Zoning Commission and the City Council. If that determination is made at a public meeting and the City Council votes on it, the joint public hearing process is begun. The noticing requirements will include both items at the same noticed public hearing when there is a joint public hearing. There still is a requirement for the Planning and Zoning Commission to make a recommendation before the City Council acts.

4. Public hearing regarding an amendment to the Code of Ordinances Sections 107-3 Definitions, 107-75 Yards generally, and 107-76 Minimum Required Depth and Width of Yards, related to building projections into requested yards and the definition of Yard in the R-Residential zoning district

Mayor Pro Tem Sara Hutson opened the public hearing at 6:15 p.m.

There was no public input.

Mayor Pro Tem Sara Hutson closed the public hearing at 6:16 p.m.

5. Public hearing regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district

Mayor Pro Tem Sara Hutson opened the public hearing at 6:17 p.m.

There was no public input.

Mayor Pro Tem Sara Hutson closed the public hearing at 6:18 p.m.

Mayor Pro Tem Sara Hutson recessed the City Council meeting at 6:19 p.m.

REGULAR AGENDA

6. Planning and Zoning Commission discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions, 107-75 Yards generally, and 107-76 Minimum Required Depth and Width of Yards, related to building projections into requested yards and the definition of Yard in the R-Residential zoning district

Chair Dave Bench began the discussion to determine a recommendation for City Council.

Amie Rodnick moved to adopt the amendment as stated in the agenda packet. Mike Rhodes seconded the motion. The motion carried with 6 in favor and 0 against.

7. Planning and Zoning Commission discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district

Amie Rodnick moved to adopt the amendment as stated in the packet. Chair Dave Bench seconded the motion.

The Planning and Zoning Commission discussed the methodology for measurement of the maximum height, the development of the Comprehensive Residential Code Review Committee (CRCRC) and its purpose, and full consideration of height by the CRCRC.

City Attorney Charles Zech interjected that the Planning and Zoning Commission is obligated to make a recommendation to City Council.

Ellin Wilson, 3018 Hatley Drive, asked a question regarding the definition of height.

Kendra Roloson, 301 Wallis, discussed the nature of where the measurement was taken from - original native ground surface versus the finished grade. Her concern is taking away the 5 feet of native ground surface.

Shanthi Jayakumar, 3309 Park Hills Drive, spoke regarding property rights and privacy. She mentioned concerns of the builder clearing a lot before measurement occurs. She asked the members of the Planning and Zoning Commission to drive around and see what is going on.

The motion failed with 2 in favor and 4 against.

Tony Stein moved to not recommend the proposed changes to Council. Mike Hall seconded the motion.

Greg Demas mentioned that he supports a full look at the Code on this complex issue of height.

Tony Stein believes that the proposed changes won't make a meaningful difference. He is not opposed to potential changes but would like a holistic approach.

Greg Demas requested that the CRCRC approach the height issue first and set forth a recommendation.

The motion carried with 4 in favor and 2 against.

Chair Dave Bench adjourned the Planning and Zoning Commission meeting at 6:50 p.m.

Mayor Pro Tem Sara Huston reconvened the City Council meeting at 6:52 p.m.

8. City Council discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions, 107-75 Yards generally, and 107-76 Minimum Required Depth and

Width of Yards, related to building projections into requested yards and the definition of Yard in the R-Residential zoning district

Council Member Brook Brown moved for adoption of the amendments to the Code of Ordinances for 107-3, 107-75, and 107-76 related to the depth and width of yards, with one amendment to add the changes that are recommended to Section 107-71 of the Code with respect to height to that ordinance. This motion failed for lack of a second.

The City Council and City Attorney Charles Zech discussed the two separate ordinances for yards and height.

Council Member Brook Brown moved to adopt Ordinance 2023-04-05-08 as proposed in item number 8. Council Member Phil McDuffee seconded the motion.

Mayor Pro Tem Sara Hutson asked staff to notify council of late additions to the packet.

The City Council discussed the proposed changes to this ordinance regarding landscaping.

Council Member Brook Brown spoke to the substance of this ordinance regarding projections and that she believes that these are reasonable moderate steps that are improvements to the Code.

Mayor Pro Tem Sara Hutson discussed that though she is in favor of the proposed amendments, she would like a definition of porch added and to consider the limitations to be placed on porches. She also discussed the spacing of homes and required side yard depths, and the proposed allowances in projections into side yards.

The City Council further discussed the proposed ordinance.

Council Member Brook Brown restated her motion to adopt Ordinance 2023-04-05-08 as proposed. Council Member Phil McDuffee seconded the motion. The motion carried with 4 in favor and 0 against.

9. City Council discussion and possible action regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district

City Attorney Charles Zech explained that because the Planning and Zoning Commission moved to not recommend this amendment, then it will take a unanimous vote of the members on the dais to pass this ordinance.

City Administrator Ashley Wayman discussed the specifics of the draft ordinance included in the packet.

The Council discussed that they did not have enough time to review this draft ordinance ahead of the meeting.

Council Member Brook Brown recommended that they eliminate the changed language relating to 107-71 because it had not been seen before tonight. She also discussed that the language in the ordinance section 107-3 should match what was considered during the earlier public hearings, and discussed a change that she saw.

4

City Administrator Ashley Wayman discussed the options given that the ordinance did not reflect that the Planning and Zoning Commission recommended denial of the proposed changes.

The City Council discussed bringing back an updated ordinance to the next City Council meeting.

Council Member Brook Brown moved to adopt the ordinance 2023-04-05-XX related to yards as proposed in item number 8, which we have just adopted, and that we now amend that ordinance to add the amendments that were in the packet for section 107-3. Mayor Pro Tem Sara Hutson seconded the motion for discussion.

Council Member Phil McDuffee discussed bringing this item back at the next City Council meeting.

The City Council discussed the effects of these proposed changes for the interim before a full review is completed of the residential zoning code.

Council Member Brook Brown withdrew her motion.

Council Member Brook Brown moved to ask counsel to bring back to the next meeting an ordinance that addresses the proposed changes to 107-3 for consideration by the Council. Council Member Alec Robinson seconded the motion.

Council Member Phil McDuffee discussed issues that have been brought up and the need for these specifics to be brought up to the community.

Council Member Brook Brown discussed that no members of the building community have spoken out against the proposed changes and the City Council further discussed these proposed changes.

Deets Justice, 310 Pleasant Drive, asked if anyone solicited the opinion of any builders currently building, and Council Member Brook Brown stated that they had been solicited but there were no responses.

Council Member Alec Robinson discussed reviewing a clean ordinance at the next regular Council meeting.

The motion carried with 4 in favor and 0 against.

The City Council, staff and City Attorney Charles Zech discussed the presented changes to 101-2, the process by which that section should be amended and whether a conflict is created by having different definitions in this section and the zoning section of the code.

Bryce Cox, of Denton Navarro Rocha Bernal and Zech (DNRBZ), explained the previous adoption of this local amendment to the International Residential Code and what it governs and discussed with Council that they would work with the City's building official to determine what action should be taken regarding this local amendment. He stated that they would bring back a companion piece or pieces that create consistency in the Code.

City Attorney Charles Zech stated that there was something going on at the legislature right now and has been asked by the Mayor if the Council could take a quick recess so that he could see if any action can be taken regarding a bill on the floor to state that the City Council opposes any action that would allow the legislature to regulate the size of yards.

5

Mayor Pro Tem Sara Hutson called for a five minute recess at 7:40 p.m.

Council Member Brook Brown asked City Attorney Charles Zech to ask the Mayor if he would feel comfortable opposing that bill in its entirety.

Mayor Pro Tem Sara Hutson called the meeting back to order at 7:44 p.m.

Mayor Pro Tem Sara Hutson stated that the City Council would convene into executive session for consultation with legal counsel pursuant to section 551.071 at 7:44 p.m.

City Attorney Charles Zech stated this executive session would be for consultation with legal counsel regarding whether a motion could be taken to authorize the Mayor to oppose legislation on yards and setbacks.

Mayor Pro Tem Sara Hutson reconvened the regular session at 7:46 p.m. and stated that no action was taken in executive session.

ADJOURNMENT OF MEETING

Planning and Zoning Commission Chair Dave Bench adjourned the Planning and Zoning Commission meeting previously at 6:50 p.m.

Mayor Pro Tem Sara Hutson adjourned the City Council meeting at 7:46 p.m.

Minutes	Adopted	on	the	 day (of	,	2023	by	the	Planning	and	Zoning
Commiss	sion.											

Dave Bench, Chair

ATTEST:

Desiree Adair, City Secretary

6

Minutes Adopted on the _____ day of _____, 2023 by the City Council.

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary

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CITY OF ROLLINGWOOD, TEXAS

SHEET INDEX

#	ID	DESCRIPTION
1	G001	COVER SHEET
2	G002	GENERAL NOTES (1 OF 2)
3	G003	GENERAL NOTES (2 OF 2)
4	G004	EASEMENT LAYOUT
5	G005	ESTIMATED QUANTITIES
6	G006	HORIZONTAL CONTROL LAYOUT SHEET
7	CA101	CONSTRUCTION ACCESS AND SEQUENCING
8	CT101	TRAFFIC CONTROL PLAN
9	DP101	DEMOLITION AND PROTECTION PLAN
10	DP102	DEMOLITION AND PROTECTION PLAN
11	DAM02	PROPOSED DRAINAGE AREA MAP
12	CH01	CHANNEL HYDRAULIC CALCULATIONS
13	CH02	HYDRAULIC CALCULATIONS
14	SECT01	CHANNEL TYPICAL SECTIONS
15	PLPR01	CHANNEL PLAN AND PROFILE STA. 1+00.00 TO END
16	PLPR02	STORM SEWER PLAN & PROFILE STA. 10+00.00 TO STA. 12+67.58
17	PLPR03	STORM SEWER LATERAL PROFILES
18	SECT02	CHANNEL CROSS SECTIONS
19	GD101	GRADING PLAN
20	GD102	GRADING PLAN
21	CV01	WATER LINE RELOCATION PLAN
22	PV501	PAVING DETAILS 1 OF 2
23	PV502	PAVING DETAILS 2 OF 2
24	SD501	DRAINAGE DETAILS 1 OF 12
25	SD502	DRAINAGE DETAILS 2 OF 12
26	SD503	DRAINAGE DETAILS 3 OF 12
27	SD504	DRAINAGE DETAILS 4 OF 12
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35	SD512	DRAINAGE DETAILS 12 OF 12
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37	WA502	WATER LINE DETAILS 2 OF 2
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39	EV102	EROSION CONTROL PLAN
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46	S2.00	STRUCTURAL WALL DETAILS
47	\$2.01	STRUCTURAL RETAINING WALLS
48	S2 02	RETAINING WALLS MISCELLANEOUS DETAILS
I '~	1 22.02	

CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMENTS FOR PLEASANT DRIVE AND NIXON DRIVE



LOCATION MAP N.T.S.

MAYOR

GAVIN MASSINGILL **COUNCIL MEMBERS**

> SARA HUTSON ALEC ROBINSON **BROOK BROWN** PHIL McDUFFEE **KEVIN GLASHEEN**

CITY ADMINISTRATOR ASHLEY WAYMAN



PREPARED & SUBMITTED FOR APPROVAL BY:

PRELIMINARY

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM **REVIEW UNDER** THE AUTHORITY OF ABE A. SALINAS III, P.E. LIC. # 105144 4/12/2023

IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ABE A. SALINAS III, P.E.

DATE

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RECOMMENDED FOR APPROVAL BY:

MAYOR GAVIN MASSINGILL - CITY OF ROLLINGWOOD

ASHLEY WAYMAN - CITY ADMINISTRATOR

DATE

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GENERAL NOTES:

- 1. THE CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY CONSTRUCTION IN THE RIGHT OF WAY OR EASEMENTS.
- 2. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING TYPE AND LOCATION OF SURFACE, SUBSURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT TYPE AND LOCATION OF ALL UTILITIES AFFECTED BY THE CONSTRUCTION IN ORDER TO AVOID DAMAGING THOSE UTILITIES.
- 3. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THIS PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, GAS, WATER. WASTEWATER, ELECTRIC, TELEPHONE, CABLE TELEVISION, PETROLEUM PIPELINES, FIBER OPTIC, STREET, DRAINAGE, AND ANY OTHER WORK OCCURRING IN OR NEAR THE PROJECT SITE. ONCE THE CONTRACTOR BECOMES AWARE OF A POSSIBLE CONFLICT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY, BUT NO LATER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
- 4. SHOULD THE CONTRACTOR DAMAGE A UTILITY DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF THE DAMAGED UTILITY. THE EXPENSE FOR THESE REPAIRS WILL BE AT THE CONTRACTOR'S SOLE EXPENSE.
- 5. ALL EXISTING STRUCTURES, FACILITIES, AND UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REMOVED AND RESTORED WITH MATERIALS EQUAL TO OR BETTER THAN THE ORIGINAL. UNLESS OTHERWISE NOTED IN THE PLANS, THIS WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE.
- 6. THE CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTHS AND HORIZONTAL LOCATION OF ALL EXISITNG WATER, WASTEWATER, AND GAS MAINS TO BE ALTERED OR SUBJECT TO DAMAGE OR INCONVENIENCE BY THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION. NO SEPERATE PAY ITEM.
- SLOPES OF ROADWAY CUTS AND EMBANKMENTS DAMAGED BY ANY OPERATION OF THE CONTRACTOR DURING THE EXECUTION OF THIS PROJECT SHALL BE REPAIRED AND RESTORED TO THE ORIGINAL PRE-CONSTRUCTION CONDITION. BACKFILL AND FILL PLACED DURING REMEDIAL GRADING SHALL BE COMPACTED TO AT LEAST 95% COMPACTION AND TO THE SATISFACTION OF THE ENGINEER AND GOVERNING AUTHORITIES.
- 8. THE SITE IS LOCATED IN THE EDWARD'S AQUIFER RECHARGE ZONE.
- 9. THE CONTRACTOR SHALL NOTIFY ALL RESIDENTS WITHIN THE CONSTRUCTION AREAS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF THE PROJECT VIA DOOR FLYERS. THE FLYER IS TO CONSIST OF, BUT IS NOT LIMITED TO:
- A. CONSTRUCTION START DATE AND ESTIMATED COMPLETION DATE.
- DESCRIPTION OF CONSTRUCTION.
- TIME FRAME THE RESIDENT WILL BE WITHOUT WATER IF TEMPORARY SHUTDOWNS ARE REQUIRED, PROVIDED 48 HOURS IN ADVANCE OF WORK.
- CONTRACTOR'S CONTACT INFORMATION.
- CITY'S CONTACT INFORMATION.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY OFF--SITE LOCATIONS FOR STORAGE OF ALL EQUIPMENT AND MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS DURING CONSTRUCTION AND UPON COMPLETION. THIS WORK WILL BE DONE IN A TIMELY MANNER AS APPROVED BY THE ENGINEER. THIS WORK WILL NOT BE PAID FOR DIRECTLY, BUT CONSIDERED SUBSIDIARY TO THE VARIOUS BID ITEMS.
- 12. BLASTING WITHIN THE PROJECT AREA WILL NOT BE ALLOWED.
- 13. THE CONTRACTOR SHALL BE PREPARED WITH ROCK EXCAVATION EQUIPMENT CAPABLE OF RIPPING THROUGH VERY HARD LIMESTONE SHOULD IT BE ENCOUNTERED FOR THE CONSTRUCTION SITE. BORING LOGS ARE PROVIDED IN THE GEOTECHNICAL REPORT FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR RESPONSIBLE FOR PERFORMING THEIR OWN TESTING IN THE FORM OF TEST PITS TO DETERMINE THE QUANTITIES OF THE DIFFERENT MATERIALS TO BE EXCAVATED, AS WELL AS THE PREFERRED METHODS AND EQUIPMENT FOR THIS SITE.
- 14. CONTRACTOR WILL MINIMIZE USE OF STREET PARKING BY THEIR EMPLOYEES AND SUBCONTRACTORS IN THE VICINITY OF THE CONSTRUCTION AREA.
- 15. ALL LOCATIONS USED FOR STORING CONSTRUCTION EQUIPMENT, MATERIALS, AND STOCKPILES OF ANY TYPE WITHIN THE CONSTRUCTION LIMITS SHALL BE APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE. USE OF THE AREA WITHIN THE CONSTRUCTION LIMITS FOR THESE PURPOSES WILL BE RESTRICTED TO THOSE LOCATIONS WHERE DRIVER SIGHT DISTANCE TO BUSINESSES AND SIDE STREET INTERSECTIONS IS NOT OBSTRUCTED AND AT OTHER LOCATIONS WHERE AN UNSIGHTLY APPEARANCE AS DETERMINED BY THE OWNER'S REPRESENTATIVE WILL NOT EXIST.
- 16. ALL SITE WORK MUST COMPLY WITH ENVIRONMENTAL REQUIREMENTS INCLUDING TCEQ, TPDES STANDARDS, CLEANWATER ACT, TPDES GENERAL PERMIT TXR150000 (MS4), AND CITY OF ROLLINGWOOD REQUIREMENTS.
- 17. IF CULTURAL RESOURCES ARE ENCOUNTERED DURING CONSTRUCTION (ARCHAEOLOGICAL FINDS UNEARTHED) CONTRACTOR SHALL STOP WORK IN THAT AREA AND IMMEDIATELY CONTACT THE TEXAS HISTORICAL COMMISSION AT (512)463--6100.
- 18. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN BARRICADES, WARNING SIGNS, FLASHERS AND OTHER DEVICES OF THE TYPE AND SIZE AS INDICATED IN THE LATEST EDITION OF THE 'TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES'' OR AS DIRECTED BY THE ENGINEER.
- 19. THE CONTRACTOR SHALL ENSURE THAT ADEQUATE SAFETY PRECAUTIONS ARE MAINTAINED AT ALL TIMES REGARDING AREAS OF OPEN PIPE TRENCH. ALL PIPE TRENCHES SHALL BE COVERED AT ALL TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS. THE TRENCH COVERING SHALL BE CAPABLE OF SUPPORTING TRAFFIC LOADS.

- TRENCH SAFETY MEASURES.
- ACTIVITY WHICH MAY INTERFERE WITH NORMAL SERVICES.
- CAMOUFLAGE ANY CHILD ATTRACTIVE NUISANCE.
- ABOVE THE ROADWAY SURFACE.
- APPROVAL PRIOR TO STARTING WORK.
- TO STANDARD DETAIL 804S-4, 7 OF 9.
- CURRENT ORDINANCES.
- COST TO THE CITY.
- LEFT IN A CONDITION EQUAL TO OR BETTER THAN THAT FOUND.
- CONDITIONS.
- OWNER'S REPRESENTATIVE.
- PRIOR TO CONSTRUCTION.
- COLLECTION SERVICES DURING CONSTRUCTION.
- THE LANDOWNER AND THE CONTRACTOR.
- DAMAGED IN THE COURSE OF EXECUTING THE WORK.

20. ALL TRENCH SAFETY CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH OSHA SPECIFICATIONS, STATE OF TEXAS REQUIREMENTS, AND CONTRACT DOCUMENTS WHICH INCLUDE A TRENCH SAFETY PLAN AND A PAY ITEM FOR

21. THE CONTRACTOR SHALL ARRANGE THE OPERATION IN SUCH A MANNER AS TO AVOID UNNECESSARY INCONVENIENCE TO THE PUBLIC IN CONSTRUCTION AREAS..

22. CONTRACTOR SHALL NOTIFY THE CITY OF ROLLINGWOOD POLICE DEPARTMENT (512-328-1900) AND THE WESTLAKE FIRE DEPARTMENT (512-539-3400) OF THE CONSTRUCTION SCHEDULES AT LEAST TWO WEEKS IN ADVANCE OF PROPOSED CONSTRUCTION OPERATIONS. CONTRACTOR SHALL PROVIDE PERTINENT INFORMATION ABOUT LANE CLOSURES AND DETOURS AND ANY OTHER CONSTRUCTION RELATED

23. CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A SAFE, NEAT AND WORKMAN-LIKE MANNER AT ALL TIMES. JOB SITE SAFETY SHALL NOT BE COMPROMISED ANY UNATTRACTIVE NUISANCE SHALL BE REMOVED OR CAMOUFLAGED BY CONTRACTOR WHEN DIRECTED BY THE OWNER OR ENGINEER. CONTRACTOR SHALL REMOVE OR

24. ALL CONSTRUCTION EQUIPMENT INVOLVED IN ROADWAY WORK SHALL BE EQUIPPED WITH A PERMANENTLY- MOUNTED 360-DEGREE REVOLVING OR STROBE WARNING LIGHT AMBER LENS IN WORKING ORDER. THIS LIGHT SHALL HAVE A MINIMUM LENS HEIGHT OF 5" AND A DIAMETER OF 5". THIS LIGHT SHALL HAVE A MOUNTING HEIGHT OF NOT LESS THAN 6 FEET ABOVE ROADWAY SURFACE AND SHALL BE VISIBLE FROM ALL SIDES. THIS EQUIPMENT SHALL ALSO HAVE ATTACHED AT EACH SIDE OF THE REAR END OF THE VEHICLE AN APPROVED ORANGE WARNING FLAT MOUNTED. NOT LESS THAN 6 FEET

25. EXCAVATION EXCEEDING THE STANDARD PLATING DETAIL SHALL HAVE MATERIAL ONSITE TO BACKFILL OR CONTRACTOR TO PROVIDE STRUCTURAL ENGINEERED PLATING PLANS TO THE CITY OF ROLLINGWOOD PUBLIC WORKS DEPARTMENT FOR

26. OVERNIGHT PROTECTION OF WORK ZONE IN CITY OF ROLLINGWOOD R.O.W., REFER TO CITY OF AUSTIN STANDARD DETAIL 804S-4, 1 THRU 4 OF 9. IF PLATING IS NEEDED, REFER

27. CONTRACTOR SHALL PERFORM WORK ONLY DURING HOURS ALLOWED PER THE

28. THE CONTRACTOR SHALL RE-ESTABLISH ANY PROPERTY MARKER, BENCHMARK, ETC. DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL LOCATION AND ELEVATION. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VERTICAL AND HORIZONTAL CONTROL SHOWN ON THE PLANS THROUGHOUT THE PROJECT, RE-ESTABLISH DISTURBED OR DESTROYED ITEMS BY REGISTERED LAND SURVEYOR IN THE STATE OF TEXAS AT NO ADDITIONAL

29. FENCES, GATES, GROUND SURFACES, CURBS, DRIVEWAYS, MAILBOXES, ETC. SHALL BE

30. LANDSCAPED AREAS SHALL BE LEFT UNDISTURBED AS MUCH AS POSSIBLE DURING CONSTRUCTION. ALL AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION SHALL BE RE-SODDED. RE-VEGETATED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS. ALL NEW VEGETATION MUST BE OF THE SAME SPECIES AS ORIGINAL

31. ACCESS TO ALL SIDE STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES AT THE SOLE EXPENSES OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE

32. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL PROPERTY OWNERS PRIOR TO ANY FENCE OR GATE REMOVAL FOR PET MANAGEMENT PURPOSES.

33. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITION OF ANY IRRIGATION LINES

34. CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION OF PRIVATE IRRIGATION LINES WITH ALL PROPERTY OWNERS PRIOR TO CONSTRUCTION.

35. SHOULD CONSTRUCTION IMPACT RESIDENTS RECEIVING SOLID WASTE COLLECTION SERVICES (GARBAGE COLLECTION, RECYCLING COLLECTION, ORGANICS COLLECTION, BRUSH COLLECTION, BULK-TRASH COLLECTION), CONTRACTOR SHALL NOTIFY PROGRESSIVE WASTE SERVICES AT 512-282-3508 TO JOINTLY COORDINATE A SERVICE DELIVERY PLAN IN ORDER TO MINIMIZE DISRUPTION OF ROUTINE SOLID WASTE

36. CONTRACTOR AGREES TO ABIDE BY THE LANDOWNERS WRITTEN CONDITIONS IN LANDOWNER AGREEMENTS INCLUDING THOSE RELATED TO PLACEMENT, COMPACTION, RESTORATION, AND EROSION CONTROL MEASURES OF THE SITE(S). IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN WRITTEN APPROVAL FROM THE LANDOWNER(S) PRIOR TO PLACEMENT, AND THAT ANY COSTS THE CITY INCURS TO ADDRESS LEGITIMATE LANDOWNER CONCERNS WILL BE CONSIDERED AND MAY BE DEDUCTED FROM THE CONTRACTOR'S FINAL PAYMENT AS DETERMINED BY THE CITY. THE CITY RESERVES THE RIGHT TO REQUEST A COPY OF THE AGREEMENT BETWEEN

37. CONTRACTOR TO REPAIR OR REPLACE IN KIND, AT ITS OWN EXPENCE ANY STRUCTURES

STREET CONSTRUCTION SPECIAL NOTE:

ALL DAMAGE CAUSED DIRECTLY OR INDIRECTLY TO THE STREET SURFACE, SIDEWALK, DRIVEWAY, CURB & GUTTER, OR SUBSURFACE OUTSIDE OF THE PAVEMENT CUT AREA SHALL BE REGARDED AS A PART OF THE STREET CUT REPAIR. THIS INCLUDES ANY SCRAPES, GOUGES, CUTS, CRACKING, DEPRESSIONS, AND/OR ANY OTHER DAMAGE CAUSED BY THE CONTRACTOR DURING THE EXECUTION OF THE WORK. THESE REPAIR AREAS WILL BE INCLUDED IN THE TOTAL AREA OF RESTORATION. THESE AREAS SHALL BE SAW CUT IN STRAIGHT, NEAT LINES PARALLEL TO THE EXCAVATION OR UTILITY TRENCH AND TO THE NEXT EXISTING JOINT FOR SIDEWALKS AND CURB & GUTTER. ALL SUCH REPAIRS SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL MEET ALL STANDARDS, AND SPECIFICATIONS.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND INSPECTING, ON A

PRACTICES, INCLUDING SILT FENCES, CONSTRUCTION ENTRANCES, ROCK FILTER DAMS,

ETC., DURING CONSTRUCTION/DEMOLITION AND INCLUDING THE REMOVAL AND PROPER

REGULAR BASIS, ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT

2. THE CONTRACTOR SHALL NOT BEGIN ANY WORK UNTIL TREE PROTECTION AND THE

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SUCH AS SILT FENCE, CONSTRUCTION ENTRANCES, ROCK FILTER DAMS, ETC., HAVE BEEN INSTALLED.

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- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREETS FREE OF MUD, DIRT, DEBRIS AND MATERIAL AT ALL TIMES AND SHALL CLEAN/SWEEP THE STREETS ON A REGULAR BASIS AND AT THE DIRECTION OF THE CITY.
- 4. INCREASED STORMWATER PEAK FLOWS DURING CONSTRUCTION MUST BE MITIGATED WITH TEMPORARY BEST MANAGEMENT PRACTICES TO PREVENT HARM TO NEIGHBORING PROPERTIES.

SCHEDULING

PLAN NOTES:

- 1. CONTRACTOR TO PROVIDE ENGINEER WITH AN UPDATED SCHEDULE WEEKLY. IF NO CHANGES ARE MADE TO THE SCHEDULE FROM THE LAST SUBMITTAL, THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF NO CHANGES.
- 2. THE CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULE OF CONSTRUCTION WHICH COMPLIES WITH THE FOLLOWING SEQUENCE:
- INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS IMMEDIATELY PRIOR TO CONSTRUCTION.

DISPOSAL OF ANY ACCUMULATED SILT AND DEBRIS.

- SET UP TEMPORARY TRAFFIC CONTROL AREAS.
- INSTALL UTILITIES, STRUCTURES, AND PERFORM GRADING AS INDICATED ON C. CONSTRUCTION PLANS.
- PERFORM STREET RECONSTRUCTION IN AREAS AS NOTED. CONTRACTOR SHALL EXCAVATE AND INSTALL SECTIONS OF FLEXIBLE BASE MATERIAL AND HMAC UP TO THE TOP OF PROPOSED GRADE IN ONE DAY.
- REPAIR CURB AND GUTTER, SIDEWALK CURB RAMP AND OTHER FEATURES AS NOTED.
- COMMENCE RESTORATION AND REVEGETATION IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THE PROJECT.

UTILITIES

- 1. AT LEAST 48 HOURS BEFORE BEGINNING ANY CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT, THE CONTRACTOR SHALL NOTIFY PUBLIC WORKS.
- 2. THE CONTRACTOR SHALL CONTACT THE ROLLINGWOOD AREA "ONE" CALL SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS. THE CITY OF ROLLINGWOOD WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.O.W./EASEMENT LINES.
- 3. ALL MATERIALS TESTS, INCLUDING SOIL DENSITY TESTS AND DETAILED SOIL ANALYSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE OWNER IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 18045.04.
- 4. ALL MATERIAL USED ON THIS PROJECT MUST BE LISTED ON THE CITY OF AUSTIN STANDARD PRODUCTS LISTING.
- 5. SEWER SERVICES BROKEN BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR. REPLACEMENT LENGTH IS DEPENDENT ON EXTENT OF DAMAGE, REPLACEMENT PIPE SHALL BE 4" PVC (OR LARGER) SDR 26 AND ATTACHED TO EXISTING SERVICE WITH FLEXIBLE FERNCO CONNECTORS WITH STAINLESS STEEL CLAMPS OR APPROVED EQUAL, WITH NO SEPARATE PAY.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN THEMSELF AND OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THIS PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO GAS, WATER, WASTEWATER, ELECTRICAL, TELEPHONE, COMMUNICATIONS NETWORKS, CABLE TELEVISION, PETROLEUM PIPELINES, AND STREET AND POSSIBLE CONFLICT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONSTRUCTION INSPECTOR WITHIN TWENTY- FOUR (24) HOURS.
- 7. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS.

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<u>C(</u>	DNSTRUCTION NOTES:			
1.	WHERE REMOVAL OF BASE AND PAVEMENT IS NECESSARY FOR THE PROJECT, ALL BASE AND PAVEMENT SHALL BE REPLACED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, CITY OF AUSTIN, STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR CUT IN PUBLIC RIGHT-OF-WAY. ALL PAVEMENT CUTS SHALL BE SAW-CUT PRIOR TO PLACEMENT OF HMAC.	ISION DESCRIPT		
2.	IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE, PRESERVE AND RESET STREET MARKERS AND TRAFFIC CONTROL SIGNS THAT ARE WITHIN THE CONSTRUCTION LIMITS, AS NECESSARY, TO THE LINE AND HEIGHT AS DESCRIBED IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES BEFORE AND DURING ALL CONSTRUCTION PHASES AND UPON THE COMPLETION OF CONSTRUCTION. SIGNS SHALL NOT BE LAID ON THE GROUND. NO PAYMENT WILL BE MADE FOR THIS WORK, BUT IT WILL BE CONSIDERED SUBSIDIARY TO OTHER BID ITEMS.	C DATE REV		
3.	THE CONTRACTOR SHALL SCHEDULE HIS WORK TO MINIMIZE EXPOSURE OF SUBGRADE TO RAIN. IF SUBGRADE IS EXPOSED, CONTRACTOR SHALL UNDERTAKE EXTRA MEASURES TO ACCELERATE DRYING OF THE SUBGRADE INCLUDING PUMPING OF EXCESS WATER AND REWORKING OF THE SUBGRADE AT HIS OWN EXPENSE TO ALLOW THE WORK TO CONTINUE.	<u>له الم</u> <u>لي في</u> 100%	SUBM	ITTAL
4.	ALL RECONSTRUCTION PREPARATION WORK AND PAVING SHALL BE COMPLETED IN A MANNER SO AS TO PROVIDE A SMOOTH RIDING SURFACE FREE OF BUMPS, DIPS, AND RIPPLES AND A SMOOTH UNIFORM APPEARANCE. THE FINISHED SURFACE SHALL APPROXIMATE THE EXISTING PROFILE.	THIS DOO FOR THE RI THE	CUMENT IS R PURPOSE OF EVIEW UNDE AUTHORITY	ELEASED F INTERIM R Ó OF
5.	CONCRETE SHALL BE REPLACED NO LATER THAN FOUR (4) WORKING DAYS AFTER EXCAVATION OF THE SITE.	ABE A I	A. SALINAS III LIC. # 105144 4/12/2023	I, P.E. 1
6.	EXPANSION JOINTS SHALL BE PROVIDED AT THE TIE-IN OF NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER AND AT OTHER LOCATIONS AS SHOWN ON THE PLANS OR AS INSTRUCTED BY THE ENGINEER.	IT IS NC CONSTR PER	OT TO BE USE UCTION, BID MIT PURPOS	ED FOR DING OR SES.
7.	CONTRACTOR SHALL TRIM SHRUBS AND TREES TO PROVIDE CONSTRUCTION CLEARANCE. ALL PRUNING PROPOSED TO BE APPROVED IN ADVANCE BY CITY OF ROLLINGWOOD.			
8.	SODDING FOR EROSION CONTROL SHALL BE APPLIED AS SPECIFIED IN THE PERMANENT EROSION CONTROL NOTES OVER AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AS DESIGNATED BY THE ENGINEER. SODDING SHALL BE WATERED UNTIL A UNIFORM 1 /2" GROWTH IS ESTABLISHED. AT WHICH TIME THE PAYMENT WILL BE MADE, SUBJECT TO APPROVAL BY GENERAL PERMIT PROGRAM OFFICE. WATERING IS INCLUDED IN PAYMENT FOR SODDING.		IS	
9.	CONTRACTOR'S EQUIPMENT SHALL NOT BE LEFT RUNNING WHEN LEFT UNATTENDED OR LEFT IN ONE LOCATION FOR MORE THAN FIVE (5) MINUTES WHILE ATTENDED.	CITY OF ROLLINGWOOD, TEXAS	CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMEN	GENERAL NOTES (1 OF 2)
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CONSTRUCTION ACCESS AND SEQUENCING NOTES: PHASE 2: PLEASANT DRIVE IMPROVEMENTS 1. CHANNEL DEMOLITION AND CONSTRUCTION SHALL BE SEQUENCED FROM DOWNSTREAM TO UPSTREAM. EACH SEGMENT MUST BE ACCEPTED BY THE CITY PRIOR TO COMMENCING NEXT SEGMENT. THE CONTRACTOR SHALL SUBMIT AN ALTERNATE SEQUENCING PLAN FOR REVIEW AND ACCEPTANCE BY THE CITY IN WRITING. 2. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. ADVANCE. 3. NO MORE THAN (10) WORKING DAYS SHALL PASS BETWEEN COMPLETION OF DEMOLITION AND COMMENCEMENT OF PROPOSED CHANNEL ACTIVITIES. 4. CONTRACTOR SHALL REQUEST WRITTEN AUTHORIZATION FROM CITY PRIOR TO MOVING TO A NEW SEGMENT OF CONSTRUCTION. ALLOW FOR 3 DAYS FROM AUTHORIZATION REQUEST TO RECEIVE AUTHORIZATION TO PROCEED. 5. CARE OF WATER SHALL BE PROVIDED AT ALL TIMES SO AS NOT TO IMPEDE THE FLOW OF STORMWATER. 6. CONTRACTOR SHALL MAINTAIN DRAINAGE BETWEEN THE EXISTING CULVERT AND WORK DAY. PROPOSED CULVERT AT 300 PLEASANT DURING ALL PHASES. 7. SUGGESTED POINTS OF ACCESS ARE SHOWN TO ASSIST THE CONTRACTOR WITH DROP-OFFS GREATER THAN 2'. DEMOLITION AND MATERIAL ENTRY. LETTERS OF PERMISSION FOR THESE LOCATIONS ARE NOT INCLUDED WITH THE BID CONTRACT DOCUMENTS AND WILL BE COORDINATED WITH THE CITY. 8. CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY PHASE 3: FINAL WORK CONSTRUCTION RELATED ACTIVITIES ON THEIR PROPERTY. 9. CONTRACTOR SHALL MAINTAIN UP-TO-DATE COPIES OF ALL RIGHT-OF-ENTRY FORMS ON THE PROJECT SITE. STANDARD (7-1) AND TXDOT TCP MOBILE OPERATIONS STANDARD (3-1). 10. UPON COMPLETION OF WORK ALL STAGING AREAS SHALL BE RESTORED TO THE ORIGINAL LINES, GRADES, CLEARED OF ALL BRUSH AND DEBRIS, AND REVEGETATED SODDING, AND LANDSCAPE PLANTINGS. PER SPECIFICATION 609S UNLESS OTHERWISE SPECIFIED IN THE PLANS. 11. ALL TREES, SIGNS, WALKWAYS, UTILITIES AND OTHER PHYSICAL FEATURES (WHETHER SHOWN OR NOT SHOWN ON THE PLANS) SHALL BE PROTECTED DURING CONSTRUCTION 4. PERFORM FINAL CLEANUP. UNLESS OTHERWISE DIRECTED BY THE CITY OR IN THESE PLANS. 12. CONTRACTOR IS RESPONSIBLE FOR PROTECTING PRIVATE PROPERTY FROM DAMAGES, ALL PRIVATE PROPERTY DAMAGED BY CONSTRUCTION ACTIVITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. 13. CONTRACTOR MAY NEGOTIATE ADDITIONAL ACCESS AND/OR STORAGE WITH INDIVIDUAL PROPERTY OWNERS AT THEIR EXPENSE. 14. CONTRACTOR IS RESPONSIBLE FOR EXPENSES DUE TO NEGLIGENCE. 15. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY TO REMOVE TREES NOT IDENTIFIED FOR REMOVAL ON THE DEMOLITION PLAN. 16. NO CONSTRUCTION STORAGE OR STAGING SHALL OCCUR WITHIN THE FEMA FLOODPLAIN. CONSTRUCTION SEQUENCING NOTES:

- 1. PHASE 1 CONSTRUCTION ACTIVITIES SHALL INCLUDE CHANNEL CONSTRUCTION PROGRESSING FROM STATION 1+00 TO 4+75 DOWNSTREAM TO UPSTREAM.
- 2. PHASE 2 CONSTRUCTION ACTIVITIES SHALL INCLUDE CONSTRUCTION OF THE STORM DRAIN IMPROVEMENTS PROGRESSING FROM STATION 10+00.00 TO 13+80.00 DOWNSTREAM TO UPSTREAM.
- 3. CONSTRUCTION SHALL BE SEQUENCED IN A MANNER THAT WILL NOT DISTURB OR DAMAGE PREVIOUSLY CONSTRUCTED WORK.

PHASE 1: CHANNEL IMPROVEMENTS

- 1. PHASE 1 CONSTRUCTION ACTIVITIES SHALL INCLUDE CHANNEL CONSTRUCTION PROGRESSING FROM STATION 1+00 TO 4+50 DOWNSTREAM TO UPSTREAM.
- 2. INSTALL TEMPORARY FENCING AT 303 NIXON DRIVE TO ENCLOSE BACKYARD PERIMETER AREA PRIOR TO BEGINNING CONSTRUCTION. TEMPORARY FENCING SHALL REMAIN IN PLACE THRU DURATION OF CONSTRUCTION UNTIL NEW FENCING IS IN PLACE AND BACKYARD PERIMETER IS SECURED.
- 3. COORDINATE AND RELOCATE EXISTING TREE HOUSE AND SHED LOCATED AT 303 NIXON DRIVE. RELOCATION ON PROPERTY TO BE COORDINATED WITH PROPERTY OWNER.
- 4. PERFORM DEMOLITION AND REMOVAL OF LARGE ROCK, CONCRETE RIPRAP AND OTHER DELETERIOUS MATERIALS FROM THE EXISTING CHANNEL LOCATED ALONG 303 NIXON DRIVE AND REPLACE WITH SELECT FILL COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- CONSTRUCT CHANNEL IMPROVEMENTS INCLUDING EXCAVATION, GRADING, ACTIVITIES AND ROCK BOULDER PLACEMENT. CONTRACTOR TO PROVIDE MATERIAL SAMPLES PRIOR TO SELECTION AND DELIVERY OF ROCK BOULDERS.
- 6. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY PRIOR TO PLACEMENT OF ROCK BOULDERS IN THE CHANNEL.
- 7. PLACEMENT OF TOP SOIL AND LANDSCAPE PLANTINGS SHALL BE PERFORMED AS PART OF PHASE 3 FINAL WORK.
- 8. COMPLETE ALL WORK IN THIS PHASE BEFORE STARTING PHASE 2.

1. CONSTRUCT ALL STORM DRAIN AND ROADWAY IMPROVEMENTS WITHIN THE WORK ZONE PER THE PLANS. ADJUST ANY VALVES AND MANHOLES TO MEET PROPOSED GROUND ELEVATIONS FOR UTILITIES WITHIN THE WORK ZONE PER THE UTILITY PLANS.

2. CONSTRUCT THE STORM DRAIN BOX IN PHASES TO MAINTAIN ACCESS TO ALL RESIDENTIAL PROPERTIES WITHIN THE WORK ZONE. COORDINATE ANY REQUIRED DRIVEWAY CLOSURES WITH THE RESIDENTS OF THE PROPERTY AT LEAST 48 HOURS IN

3. CONSTRUCTION OF STORM DRAIN BOX SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. IT IS WITH THE INTENTION OF AIDING WITH CONSTRUCTABILITY AND ACCESS THAT CAST-IN-PLACE BOX CULVERT IS PROPOSED FROM STATIONS 10+32 TO 11+23. ALTERNATIVELY, THE CONTRACTOR MAY SUBMIT A PLAN FOR THE USE OF A PRECAST BOX FOR THIS SEGMENT, SUBJECT TO APPROVAL BY THE ENGINEER. NO ADDITIONAL WORK DAYS WILL BE AWARDED FOR THIS SUBSTITUTION.

4. DUE TO THE OVERALL SIZE OF THE STORM DRAIN WITHIN PLEASANT DRIVE. SAFETY IS OF THE UTMOST IMPORTANCE. MAINTAIN BARRIERS AND SAFETY FENCING AROUND ANY OPEN EXCAVATIONS. MAKE SURE ALL TRENCHES ARE FILLED IN AT THE END OF THE

5. MAINTAIN 3:1 MAX SIDE SLOPES AT THE END OF EACH WORK DAY FOR PAVEMENT

1. CONSTRUCT FINAL 2" LIFT OF THE TYPE D HOT MIX ASPHALTIC PAVEMENT SURFACE LAYER USING TXDOT TRAFFIC CONTROL DETAILS FOR SURFACING OPERATIONS

2. PERFORM ANY REMAINING FINAL GRADING AND PLACE TOPSOIL AND SEEDING AND/OR

3. REMOVE ALL TEMPORARY SW3P DEVICES AND TREE PROTECTION, AS DIRECTED.

Texas Commission on Environmental Quality Water Pollution Abatement Plan General Construction Notes

Edwards Aquifer Protection Program Construction Notes – Legal Disclaimer

The following/listed "construction notes" are intended to be advisory in nature only and do not constitute an approval or conditional approval by the Executive Director (ED), nor do they constitute a comprehensive listing of rules or conditions to be followed during construction. Further actions may be required to achieve compliance with TCEQ regulations found in Title 30, Texas Administrative Code (TAC), Chapters 213 and 217, as well as local ordinances and regulations providing for the protection of water quality. Additionally, nothing contained in the following/listed "construction notes" restricts the powers of the ED, the commission or any other governmental entity to prevent, correct, or curtail activities that result or may result in pollution of the Edwards Aquifer or hydrologically connected surface waters. The holder of any Edwards Aquifer Protection Plan containing "construction notes" is still responsible for compliance with Title 30, TAC, Chapters 213 or any other applicable TCEQ regulation, as well as all conditions of an Edwards Aquifer Protection Plan through all phases of plan implementation. Failure to comply with any condition of the ED's approval, whether or not in contradiction of any "construction notes," is a violation of TCEQ regulations and any violation is subject to administrative rules, orders, and penalties as provided under Title 30, TAC § 213.10 (relating to Enforcement). Such violations may also be subject to civil penalties and injunction. The following/listed "construction notes" in no way represent an approved exception by the ED to any part of Title 30 TAC, Chapters 213 and 217, or any other TCEQ applicable regulation

1. A written notice of construction must be submitted to the TCEQ regional office at least 48 hours prior to the start of any regulated activities. This notice must include: - the name of the approved project; - the activity start date; and

- the contact information of the prime contractor.

- 2. All contractors conducting regulated activities associated with this project must be provided with complete copies of the approved Water Pollution Abatement Plan (WPAP) and the TCEQ letter indicating the specific conditions of its approval. During the course of these regulated activities, the contractors are required to keep on-site copies of the approved plan and approval letter.
- If any sensitive feature(s) (caves, solution cavity, sink hole, etc.) is discovered during 3. construction, all regulated activities near the sensitive feature must be suspended immediately. The appropriate TCEQ regional office must be immediately notified of any sensitive features encountered during construction. Construction activities may not be resumed until the TCEQ has reviewed and approved the appropriate protective measures in order to protect any sensitive feature and the Edwards Aquifer from potentially adverse impacts to water quality.
- feet of a water supply source, distribution system, well, or sensitive feature.
- 5. control measures must be properly installed and maintained in accordance with the approved plans and manufacturers specifications. If inspections indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations. These controls must remain in place until the disturbed areas have been permanently stabilized.
- Any sediment that escapes the construction site must be collected and properly disposed of before the next rain event to ensure it is not washed into surface streams, sensitive features, etc.
- 7. Sediment must be removed from the sediment traps or sedimentation basins not later than

TCEQ-0592 (Rev. July 15, 2015)

when it occupies 50% of the basin's design capacity.

- 8 Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from being discharged offsite.
- All spoils (excavated material) generated from the project site must be stored on-site with 9. proper E&S controls. For storage or disposal of spoils at another site on the Edwards Aquifer Recharge Zone, the owner of the site must receive approval of a water pollution abatement plan for the placement of fill material or mass grading prior to the placement of spoils at the other site.
- 10. If portions of the site will have a temporary or permanent cease in construction activity lasting longer than 14 days, soil stabilization in those areas shall be initiated as soon as possible prior to the 14th day of inactivity. If activity will resume prior to the 21st day, stabilization measures are not required. If drought conditions or inclement weather prevent action by the 14th day. stabilization measures shall be initiated as soon as possible.
- 11. The following records shall be maintained and made available to the TCEQ upon request: - the dates when major grading activities occur; of the site: and
 - the dates when stabilization measures are initiated.
- 12. The holder of any approved Edward Aquifer protection plan must notify the appropriate regional office in writing and obtain approval from the executive director prior to initiating any of the following:
 - A. any physical or operational modification of any water pollution abatement structure(s). diversionary structures;
 - to prevent pollution of the Edwards Aquifer;
 - С pollution abatement plan.

Austin Regional Office	San A
12100 Park 35 Circle, Building A	14250
Austin, Texas 78753-1808	San A
Phone (512) 339-2929	Phone
Fax (512) 339-3795	Fax

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

4. No temporary or permanent hazardous substance storage tank shall be installed within 150

Prior to beginning any construction activity, all temporary erosion and sedimentation (E&S)

Page 1 of 2

- the dates when construction activities temporarily or permanently cease on a portion

including but not limited to ponds, dams, berms, sewage treatment plants, and

any change in the nature or character of the regulated activity from that which was originally approved or a change which would significantly impact the ability of the plan

any development of land previously identified as undeveloped in the original water

Page 2 of 2

ntonio Regional Office Judson Road ntonio, Texas 78233-4480 (210) 490-3096 (210) 545-4329

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PROPERTY ID	PERM ESMT	TEMP ESMT
\bigcirc	2,835 SF	2,139 SF
\bigcirc	1,593 SF	0 SF
3	8,727 SF	0 SF

			TRAFFIC CONTROL	DEMOLITION SHEETS							UTILITY SHEETS SWPPP SHEETS			LANDSCAPE SHEETS				
	CITY OF AUSTIN		PLAN DEMOLITION SHEETS 8 9 10 1		DRAINAGE SHEETS 15 16 17 19 20			SHEETS SWPPP SHEETS 21 37 38			LANDSCAPE SHEETS 40 41 42 43							
ITEM NO.	BID ITEM DESCRIPTION	UNIT	(CT101)	(DP101)	(DP102)	(PLPR01)	(PLPR02)	(PLPR03)	(GD101)	GD(102)	(CV01)	(EV101)	(EV102)	(TP01)	(TP02)	(LL01)	(LL02)	TOTAL
1		LS																1
2 101S-C	PREPARING RIGHT-OF-WAY	LS																1
801S-0	BARRICADES, SIGNS, AND TRAFFIC HANDLING	LS	1															1
*(1)	REMOVE CHAIN LINK FENCE	LF		116														116
*(1)	REMOVE 18" RCP AND CAP			25														25
*(1)	REMOVE CINDERBLOCK WALL REMOVE FOOT BRIDGE AND STAIRS	FA		1														1
*(1)	REMOVE EXT WOODEN FENCE	LF																0
*(1)	REMOVE, SALVAGE, RELOCATE SHED AT 303 NIXON DRIVE	EA		1														1
*(1)	REMOVE, SALVAGE, RELOCATE PLAYHOUSE AT 303 NIXON DRIVE	EA		1	10													1
*(1)	REMOVE MISCELLANEOUS CONCRETE, MASONRY AND ROCKWALLS	SY		303	18													321
*(1)	REMOVE CONCRETE RIPRAP	SY		15														15
104S-A	REMOVE CONCRETE CURB	LF		312														312
104S-C	REMOVE CONCRETE SIDEWALKS & DRIVEWAYS	SY		55														55
110S-B	STREET EXCAVATION (12" DEPTH)	CY		177														177
3155-A 120S-B	CHANNEL EXCAVATION	CY		562			612											612
132S-A	EMBANKMENT (FINAL) (ORD COMP) (TY A)	СҮ				0	0											0
160-6003 TxDOT	FURNISHING AND PLACING TOPSOIL (4")	SY					944											944
210S-A		СҮ					148											148
340S-B-1	HOT MIX ASPHALTIC PAVEMENT, TYPE D (NO RAP, NO RAS, PG-64-22) (2" COMP. DEPTH)	SY cv					1092											1092
340S-B-3	ASPHALTIC CONCRETE DRIVEWAY	SY					24							<u> </u>				24
402-A	FLOWABLE FILL (LOW STRENGTH)	СҮ					4	8	X									12
4115	BOX CULVERT RESURFACING & REPAIR (HATLEY CULVERTS)	EA				1												1
401S-A	BOX CULVERT STRUCTURAL EXCAVATION & BACKFILL	CY				651												651
414S-C	CONCRETE CURB AND CUTTER (EXCAVATION) (SUN TO SUN HEICHT)						107											0
430S-C	P.C. CONCRETE CURB (EXCAVATION) (6 IN TO 8 IN HEIGHT)						121		6					<u> </u>				6
_433S-A	PORTLAND CEMENT CONCRETE DRIVEWAYS (FLARED TYPE I)	SF					657											657
420-6051 TxDOT	CAST-IN-PLACE REINFORCED CONCRETE BOX CULVERT (5'X4)	LF					91											91
462-6006	PRECAST REINFORCED CONCRETE BOX (5'X2')	LF						54										54
462-6008	PRECAST REINFORCED CONCRETE BOX (5'X4')						250											250
464-6005	REINFORCED CONCRETE PIPE (CLIII) (24" DIA)							76										76
506S-J2	JUNCTION BOX 8'X8'X6' W/ MH RISER	EA					1	, 0										1
506S-4	MINOR MANHOLE HEIGHT ADJUSTMENT	EA								1								1
508S-I10R	INLET TYPE I (COMPLETE) (10 FT)	EA					1											1
508S-120R	INLET TYPE I (COMPLETE) (20 FT)	EA				2	3											3
5085-E	A-SIDED AREA INLET (4'X4')	ΕΑ				3	1											3
466-6243-1 TxDO	CONC HEADWALL WITH FLARED WINGS, HW=X FT (CH-FW-0)	EA					2											2
466	CONC HEADWALL WITH FLARED WINGS, HW=X FT (SW-0)	EA					1											1
466	CONC HEADWALL WITH FLARED WINGS, HW=X FT (CH-FW-0)	EA																0
591S-B	DRY ROCK RIPRAP (D50 18")	CY				57												57
5 272-L	METAL FENCE (5' HIGH)	LF				170												170
?	METAL FENCE PEDESTIRAN GATE, 5 FOOT X 3 FOOT	EA				2												2
?	WOODEN FRAMED HOGWIRE FENCE	LF				21												21
?	CONCRETE CINDERBLOCK (CMU) WALL (2' HIGH)	SF				7												7
? 122 6012 TypoT	ROCK RIPRAP (18-INCH D50)	SY							70									0
SS-1	GAS UTILITY ADJUSTMENT	EA					2		70									2
504S-32	ADJUST WATER VALVE BOXES TO GRADE	EA																0
101S-C1	6" WATER LINE REMOVAL	LF									232							232
101S-C2	WATER VALVES, REMOVE AND SALVAGE	EA									3							3
510-AR-1	8" WATERLINE, C-900 TYPE										254							254
510-KR	FITTINGS. WATER	TON									5							0
	TREE REMOVAL	LS																0
*(2)	REMOVAL, TREE	IN																0
	LANDSCAPE WALL (LESS THAN 4 FEET TALL)																	0
	LANDSCAFE WALL, BOOLDERS (4-0 FEET TALL)	CY																0
	METAL FENCE (5' HIGH) W/ PEDESTRIAN GATES	LF																0
	PRIVACY WALL	FF																0
	DRAINAGE WALL VENEER	FF																0
	GRASS, NATIVE GRASS SEED	SF																0
	SHRUB, 1 GALLON	CY																0
	SHRUB, 5 GALLON	EA.							<u> </u>	<u> </u>								0
	SHRUB, 10 GALLON	EA.																0
	TREE PLANTINGS, X GALLON																	0
7010 T	IMULCH, CRUSHED LIMESTONE (600 SQUARE FEET AT 4" THICK)	TON										165						0 165
1012-1	CURB INLET GRAVEL FILTERS	EA										СОТ						0 CaT
639S-0	ROCK FILTER DAMS (INSTALL/REMOVE) (TYPE 3)	LF										20	77					97
	CONSTRUCTION EXITS (INSTALL/REMOVE)	SY																0
	TEMPORARY SEDIMENT CONTROL FENCE	LF										177						177
602S-D	GRASS SODDING FOR EROSION CONTROL, OTHER APPROVED SODDING (BERMUDA, ST. AUGUSTINE, ETG	C.) SY									19	92 LF (MS)						0
000-U 0702-0																		
555-0	TRENCH EXCAVATION SAFETY PROTECTION	LF	1															0
	REMOVE AND RELOCATING IRRIGATION SYSTEM	LF																0
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	REMOVE STR (PIPE)																	0
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- 2. ELEVATIONS BASED ON NAVD88.
- 3. SURVEY OF CONTROL POINTS AND BENCHMARKS PERFORMED BY CIVILCORP. KFA IS NOT LIABLE FOR ANY DISCREPANCIES RELATED TO ESTABLISHMENT AND LOCATING OF THESE MONUMENTS.

1003 592.01 CONTROL POINT;CP;MAG NAIL

NO.	LENGTH	BEGIN	END	LINE/CHORD DIRECTION	DELTA	TANGENT	RA					
L1	36.79	STA 1+00.00 N 10074981.55, E 3101254.49	STA 1+36.79 N 10074968.24, E 3101220.20	S68° 47' 09"W								
C1	27.82	STA 1+36.79 N 10074968.24, E 3101220.20	STA 1+64.60 N 10074956.03, E 3101195.24	S63° 55' 44"W	009°42'49.83"	27.78	16					
L2	18.94	STA 1+64.60 N 10074956.03, E 3101195.24	STA 1+83.55 N 10074946.29, E 3101178.99	S59° 04' 19"W								
C2	16.56	STA 1+83.55 N 10074946.29, E 3101178.99	STA 2+00.11 N 10074938.99, E 3101164.15	S63° 48' 56"W	009°29'14.85"	16.54	1(
L3	22.52	STA 2+00.11 N 10074938.99, E 3101164.15	STA 2+22.62 N 10074930.76, E 3101143.19	S68° 33' 34"W								
C3	23.63	STA 2+22.62 N 10074930.76, E 3101143.19	STA 2+46.25 N 10074919.62, E 3101122.41	S61° 47' 22"W	013°32'22.81"	23.58	1(
L4	22.77	STA 2+46.25 N 10074919.62, E 3101122.41	STA 2+69.02 N 10074906.56, E 3101103.76	S55° 01' 11"W								
C4	27.05	STA 2+69.02 N 10074906.56, E 3101103.76	STA 2+96.07 N 10074894.22, E 3101079.78	S62° 46' 04"W	015°29'47.19"	26.96	1(
L5	9.35	STA 2+96.07 N 10074894.22, E 3101079.78	STA 3+05.42 N 10074891.10, E 3101070.97	S70° 30' 58"W								
C5	2.33	STA 3+05.42 N 10074891.10, E 3101070.97	STA 3+07.75 N 10074890.39, E 3101068.74	S72° 11' 14"W	003°20'32.65"	2.33	4					
L6	81.75	STA 3+07.75 N 10074890.39, E 3101068.74	STA 3+89.50 N 10074867.66, E 3100990.22	S73° 51' 31"W								
C6	6.08	STA 3+89.50 N 10074867.66, E 3100990.22	STA 3+95.59 N 10074865.62, E 3100984.49	S70° 22' 27"W	006°58'08.39"	6.08	5					
L7	11.80	STA 3+95.59 N 10074865.62, E 3100984.49	STA 4+07.38 N 10074860.99, E 3100973.64	S66° 53' 22"W								
C7	13.03	STA 4+07.38 N 10074860.99, E 3100973.64	STA 4+20.41 N 10074857.49, E 3100961.13	S74° 21' 23"W	014°56'01.52"	13.00	5					
C8	41.02	STA 4+20.41 N 10074857.49, E 3100961.13	STA 4+61.44 N 10074844.94, E 3100922.28	S72° 05' 50"W	019°27'06.98"	40.83	12					
L8	34.13	STA 4+61.44 N 10074844.94, E 3100922.28	STA 4+95.57 N 10074829.11, E 3100892.04	S62° 22' 17"W								



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A 11+24.34 I5.42, E 3100869.01	N41° 38' 00"W					NOTES	NAM	1E	DATE
A 11+48.12 3.34, E 3100853.39	N41° 03' 46"W					SURVEY B	3Y	\square	
A 11+72.22 25.67, E 3100832.67	N59° 14' 13"W					DRAWN B	BY LW	M	08/21 08/21
A 11+82.90 32.85, E 3100824.76	N47° 47' 09"W					CHECKED	BY GE		08/21
A 12+59.30 4.19, E 3100768.18	N47° 47' 09"W							<u> </u>	-
A 12+92.56 6.51, E 3100743.54	N47° 49' 07"W						40		80
A 13+71.24 99.39, E 3100685.28	N47° 46' 18"W					HORIZON	TAL SCALE	IN FE	ET
A 13+80.13 5.37, E 3100678.69	N47° 47' 09"W								
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		PAVED PARKING / DRIVEWAY
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)N	-000000000000	ROCK WALL
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N. R.	——————————————————————————————————————	ELECTRIC OVERHEAD
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LEGEND



CONSTRUCTION AREA

CONSTRUCTION PHASE 1

CONSTRUCTION PHASE 2

STABILIZED CONSTRUCTION ENTRANCE

TEMPORARY EASEMENT









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NOTES:

- 1. ALL PROPERTY OWNERS ADJACENT TO CONSTRUCTION MUST HAVE ACCESS TO THEIR PROPERTY AT ALL TIMES.
- 2. MACHINERY, VEHICLES AND OTHER EQUIPMENT OPERATE WITHIN THE LIMITS OF CONSTRUCTION AND SHALL NOT BE STORED IN ROAD OR BLOCK TRAFFIC WHEN AVOIDABLE.
- 3. ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH CITY OF AUSTIN STANDARDS (PER STANDARD 804S-2)

LEGEND





- TEMPORARY TRAFFIC SPACING
 - TYPE I BARRICADE
 - TYPE III BARRICADE
 - TEMPORARY TRAFFIC SIGN
 - TRAFFIC FLOW DEPICTION
 - TEMPORARY PAVEMENT MARKING
 - MESSAGE BOARD
 - ARROW BOARD
- SEE COA STANDARD DETAIL 804S-1 SERIES FOR MORE DETAILS







NOTES:

- 1. CONTRACTOR TO PROVIDE TREE PROTECTION FOR ANY TREE WITHIN 10' OF LIMITS OF CONSTRUCTION.
- 2. SEE CONSTRUCTION ACCESS AND SEQUENCING PLAN FOR PHASING OF CONSTRUCTION ACTIVITIES.
- 3. ALL PERVIOUS AREAS DISTURBED SHALL BE RESTORED AND REVEGETATED AS REQUIRED AND TO THE SATISFACTION OF THE CITY FOLLOWING CONSTRUCTION.
- 4. CONTRACTOR SHALL ONLY CLEAR BRUSH AND SMALL TREES NECESSARY TO PERFORM THE WORK SHOWN.
- 5. CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATERLINE, GAS LINE AND SEWER LINE. UTILITY CROSSINGS SHALL PROVIDE A MINIMUM OF 12 INCHES OF ALLOWABLE CLEARANCE BETWEEN ANY PROPOSED STRUCTURES. NOTIFY THE ENGINEER IMMEDIATELY IF THIS REQUIREMENT IS NOT MET FOR AUTHORIZATION PRIOR TO PROCEEDING.
- 6. CONTRACTOR TO PROTECT EXISTING STRUCTURES, POOL EQUIPMENT, AND DECKING UNLESS OTHERWISE NOTED IN THE PLANS.
- 7. CONTRACTOR TO RESTORE DISTURBED AREAS TO EXISTING CONDITIONS. EXISTING SPRINKLER SYSTEMS SHALL BE PROTECTED AND RESTORED TO EXISTING CONDITIONS.
- 8. CONRTACTOR TO REMOVE MASONRY WALL, CONCRETE AND OTHER DELETERIOUS MATERIALS WHERE CHANNEL EXISTS ALONG THE BACKYARD OF 303 NIXON DRIVE. CHANNEL TO BE FILLED IN AND COMPACTED WITH SELECT FILL TO A STANDARD PROCTOR DENSITY OF 95%. GRADE TO MATCH EXISTING GRADES AND DRAIN TOWARDS THE PROPOSED CHANNEL. CONSIDERED SUBSIDIARY TO PREPARATION OF ROW.



CENTERLINE

100% SUBMITTAL THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM **REVIEW UNDER** THE AUTHORITY OF ABE A. SALINAS III, P.E. LIC. # 105144 4/12/2023 IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. S IMPROVEMENTS GE IMPROVEMEN AN Р TION $\dot{\mathbf{O}}$ DD KS Ш - הטרבוngwoo Public work Department Ο AINAGE PR ANI DR DEMOLITION PROPOSED I NIXON/PLEASAN CITY R@LLINGWOOD — TEXAS — K·FRIESE + ASSOCIATES PUBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm #6535 www.kfriese.com NOTES NAME DATE SURVEY BY DRAWN BY 08/21 AH DESIGNED BY LWM 08/21 CHECKED BY GE 08/21 **REVIEWED BY** 20 HORIZONTAL SCALE IN FEET

DP102 10 OF 49

LEGEND _____ _ _ _ _ _ _ _ _ _ _ _ _ ____ _____

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PROPERTY LINE
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EDGE OF ASPHALT
EDGE OF CONCRETE
GUTTER
CONCRETE PAVEMENT
DRAINAGE FLOW LINE
WOOD FENCE
FENCE LINE
PAVED PARKING / DRIVEWAY
WASTEWATER LINE
WATER LINE
ROCK WALL
EXISTING RCP PIPE
NATURAL GAS LINE
ELECTRIC OVERHEAD
ELECTRIC UNDERGROUND
GUY WIRE
WATER METER
WATER VALVE
SPRINKLER VALVE
WASTEWATER MANHOLE
CLEANOUT
FIRE HYDRANT
POWER POLE
ELECTRIC JUNCTION BOX
SIGN
MAILBOX
TREE
TREE TO BE REMOVED
EXISTING CHANNEL CL

LEGEND

	LIMITS OF DEMO & GRADING
	DEMOLISH PAVEMENT
	DEMOLISH CURB & GUTTER
	DEMOLISH CONCRETE
	CLEAR & GRUB VEGETATION
	REMOVE CHAIN LINK FENCE
£	ALIGNMENT LINE

Page 60

BASIN ID	AREA (AC)	RUNOFF COEFFICIENT	TIME OF CONC (MIN)	25-YR FLOW (CFS
1	16.85	0.59	14.50	80.02
2	13.72	0.59	9.60	78.67
3	0.39	0.59	5.00	2.75
4	1.88	0.59	5.00	13.28
5	0.71	0.59	5.00	5.05
6	0.02	0.86	5.00	0.20
7	1.06	0.59	5.00	7.54
8	57.49	0.59	11.22	310.23

100-YR						
BASIN ID	AREA (AC)	RUNOFF COEFFICIENT	TIME OF CONC (MIN)	100-YR FLOW (CFS)		
1	16.85	0.67	14.50	118.18		
2	13.72	0.67	9.60	116.04		
3	0.39	0.67	5.00	4.07		
4	1.88	0.67	5.00	19.65		
5	0.71	0.67	5.00	7.47		
6	0.02	0.95	5.00	0.30		
7	1.06	0.67	5.00	11.15		
8	57.49	0.67	11.22	457.29		







HEC-RAS CALCULATIONS

						EXISTIN	G CONDITIC	NS												PROPOSEI	O CONDITIO	NS					
Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Ch Depth	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl	Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Ch Depth	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)		(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)					(cfs)	(ft)	(ft)		(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach 1	1779	25-year	444	561.95	565.37	3.42	565.37	566.27	0.011482	8.53	62.92	42.46	0.91	Reach 1	1779	25-year	444	561.95	565.37	3.42	565.37	566.27	0.011482	8.53	62.92	42.46	0.91
Reach 1	1779	100-year	600	561.95	565.91	3.96	565.91	566.73	0.008598	8.34	89.24	49.95	0.82	Reach 1	1779	100-year	600	561.95	565.91	3.96	565.91	566.73	0.008598	8.34	89.24	49.95	0.82
Reach 1	1704	25-year	444	559.06	562.27	3.21	562.27	563.24	0.000145	8.01	60.06	36.5	1	Reach 1	1704	25-year	444	559.06	562.27	3.21	562.27	563.24	0.000145	8.01	60.06	36.5	1
Reach 1	1704	100-year	600	559.06	562.70	3.64	562.7	563.87	0.000137	8.85	77.27	43.72	1	Reach 1	1704	100-year	600	559.06	562.7	3.64	562.7	563.87	0.000137	8.85	77.27	43.72	1
Reach 1	1630	25-year	783	556.62	560.04	3.42	560.04	560.86	0.013948	9.12	145.69	95.54	1.02	Reach 1	1630	25-year	783	555.64	559.45	3.81	559.45	560.39	0.007517	8.49	138.34	83.76	0.81
Reach 1	1630	100-year	1031	556.62	560.46	3.84	560.46	561.31	0.012422	9.54	187.56	103.63	0.99	Reach 1	1630	100-year	1031	555.64	559.88	4.24	559.88	560.93	0.007558	9.23	176.56	92.46	0.83
Reach 1	1553	25-year	783	554.39	559.09	4.7		559.36	0.002295	4.73	244.99	107.61	0.44	Reach 1	1553	25-year	783	554.15	559.06	4.91		559.33	0.001762	5.02	269.81	106.61	0.4
Reach 1	1553	100-year	1031	554.39	559.78	5.39		560.06	0.001989	4.95	326.82	128.31	0.42	Reach 1	1553	100-year	1031	554.15	559.75	5.60		560.03	0.0017	5.3	351.03	125.44	0.4
Reach 1	1474	25-year	783	552.93	559.12	6.19		559.21	0.000767	3.49	392.52	104.87	0.27	Reach 1	1474	25-year	783	553.03	559.1	6.07		559.21	0.000514	3.45	403.65	104.74	0.25
Reach 1	1474	100-year	1031	552.93	559.80	6.87		559.92	0.00081	3.89	465.37	108.75	0.28	Reach 1	1474	100-year	1031	553.03	559.77	6.74		559.92	0.000566	3.89	476	108.62	0.27
Reach 1	1378	25-year	783	552.24	559.13	6.89		559.17	0.000155	1.8	671.8	140.45	0.13	Reach 1	1378	25-year	783	552.06	559.13	7.07		559.16	0.000154	2.13	682.52	140.36	0.14
Reach 1	1378	100-year	1031	552.24	559.82	7.58		559.86	0.000183	2.09	770.13	146.84	0.14	Reach 1	1378	100-year	1031	552.06	559.81	7.75		559.86	0.000184	2.49	780.58	146.74	0.16
Reach 1	1317	25-year	783	551.58	559.00	7.42	555.82	559.14	0.000853	3.16	304.36	108.77	0.27	Reach 1	1317	25-year	783	551.75	559.02	7.27	555.14	559.14	0.000505	2.84	330.96	108.99	0.24
Reach 1	1317	100-year	1031	551.58	559.66	8.08	556.54	559.83	0.000842	3.46	380.2	118.31	0.28	Reach 1	1317	100-year	1031	551.75	559.69	7.94	555.79	559.83	0.000519	3.17	406.94	118.58	0.25
Reach 1	1284		Culvert											Reach 1	1284		Culvert										

NOTE: THE EXISTING 2-7'x4' MULTIPLE BOX CULVERT AT HATLEY DRIVE IS CURRENTLY UNDERSIZED RESULTING IN A BACKWATER CONDITION THROUGH THE CHANNEL. THEREFORE, CHANNEL IMPROVEMENTS CONTAINED IN THIS PLAN SET PRODUCE A NEGLIGIBLE IMPACT AT THE UPSTREAM FACE OF CULVERT DUE TO THE EXISTING CULVERT CAPACITY. A FUTURE PROJECT MAY IMPROVE THE DOWNSTREAM CULVERT SIZE WHICH WOULD IMPROVE THE CHANNEL TAILWATER CONDITION AND LOWER WISH WITHIN THE CHANNEL. SEE THE PRELIMINARY ENGINEERING REPORT FOR NIXON AND PLEASANT DRIVE DRAINAGE IMPROVEMENTS PREPARED BY K. FRIESE + ASSOCIATES FOR MORE INFORMATION.



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CITY OF ROLLINGWOOD, TEXAS								2 NIXON-PI FASANT DRAINAGE IMPROVEMENTS/DGN/SHEETS/0807-C-CHI -PI PR DWG COA 22X34 I ANDSCAPE COA FSD STB					
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25-YR CALCULATIONS

Label	Туре	Profile Type	Curb Opening Length (ft)	Longitudinal Slope (Inlet) (ft/ft)	Road Cross Slope (ft/ft)	Spread Manning's N	Depression (ft)	25-Yr Discharge (cfs)	Flow (Total Bypass to Inlet) (cfs)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Bypass To	Spread / Top Width (ft)	Depth (Gutter) (in)
Area Inlet A1	Area	On Grade	4	0.017	0.02	0.013	0	7.5	26.6	34.1	0	Outfall	22.7	5.4
Curb Inlet A2	Curb	On Grade	20	0.012	0.015	0.013	0	5.1	29.1	19.6	14.6	A1	29	5.2
Curb Inlet A3	Curb	On Grade	20	0.021	0.02	0.013	0	0.2	53.7	24.8	29.1	A2	25.9	6.2
Curb Inlet A4	Curb	On Grade	10	0.03	0.019	0.013	0	2.8	16.3	7.4	11.7	A1	16.9	3.9
Curb Inlet A5	Curb	On Grade	20	0.019	0.015	0.013	0	80	0	27.7	53.7	A3	36.8	6.6

	Elevation (Invert) (ft)	Rise (ft)	Span (ft)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Inlet Depth (ft)
Headwall A2	563.5	2	2	13.3	0	2
Headwall A3	571	2	5	62.3	16.3	3

25-YR CALCULATIONS

Link Start Node	Invert (Start) (ft)	Link Stop Node	Invert (Stop) (ft)	Depth (In) (ft)	Hydraulic Grade Line (In) (ft)	Loss (ft)	Depth (Out) (ft)	Hydraulic Grade Line (Out) (ft)	Velocity (ft/s)	Diameter (in)	Rise (ft)	Span (ft)	Length (ft)	Slope (Calculated) (ft/ft)	Friction Slope (ft/ft)	Manning's N Value	Flow (cfs)	Capacity (Design) (cfs)
Headwall A-3	571	JPB	568.7	1.7	572.7	0.91	0.88	569.5	16.8		2	5	52.3	0.045	0.017	0.013	62.3	194.5
Inlet A5	564.4	Junction A5	563.2	1.8	566.2	0.83	1.34	564.6	14.9	24			29.9	0.038	0.028	0.013	27.7	44.4
Inlet A4	566.8	Junction A5	564.1	1	567.7	0.89	1.56	565.6	13.2	24			37.3	0.074	0.026	0.013	7.4	61.3
Inlet A3	563.9	Junction A4	563.2	1.8	565.7	0.66	1.3	564.5	16.3	24			13.2	0.052	0.05	0.013	24.8	51.7
Inlet A2	562	Junction A3	561.3	2	564	0.1	2.63	563.9	15.7	24			14	0.056	0.007	0.013	19.6	53.5
Headwall A2	561.3	Junction A2	560.7	2.4	563.7	0.07	2.95	563.6	4.2	24			20.3	0.031	0.003	0.013	13.3	40.1
Area Inlet	562	Junction A1	561.3	2	564	0.36	1.69	563	18.5	24			15	0.054	0.029	0.013	40.6	52.8
JPB	563.7	Junction STA. 11+72.22	560.3	1.7	565.4	0.08	2.95	563.5	16.9		4	5	200	0.017	0.001	0.013	127	377.3
Junction STA. 11+72.22	560.3	Junction STA. 11+48.12	559.9	2.7	564.4	0.05	3.43	562.7	16.9		4	5	24.11	0.017	0.003	0.013	136	377.3
Junction STA. 11+48.12	559.9	Junction STA 11+11.85	558.8	2.8	562.7	0.22	3.59	562.3	19.3		4	5	36.27	0.017	0.006	0.013	136	442.1
Junction STA 11+11.85	558.8	Junction STA 10+45.26	556.5	3.4	562.1	2.17	3.97	560.4	21.2		4	5	66.51	0.042	0.033	0.013	174.9	455.8
Junction STA 10+45.26	556.5	Headwall A1	556.4	3.4	559.8	0.07	3.13	559.5	12.3		4	5	12.72	0.008	0.006	0.013	174.8	217.4

100-YR CALCULATIONS

Label	Туре	Profile Type	Curb Opening Length (ft)	Longitudinal Slope (Inlet) (ft/ft)	Road Cross Slope (ft/ft)	Spread Manning's N	Depression (ft)	100-Yr Discharge (cfs)	Flow (Total Bypassed to Inlet) (cfs)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Bypass To	Spread / Top Width (ft)	Depth (Gutter) (in)
Area Inlet A1	Area	On Grade	4	0.017	0.02	0.013	0	11.2	74.1	50	35.2	Outfall	32	7.7
Curb Inlet A2	Curb	On Grade	20	0.012	0.015	0.013	0	7.5	55.6	26.8	36.2	A1	36.5	6.6
Curb Inlet A3	Curb	On Grade	20	0.021	0.02	0.013	0	0.3	86.8	31.5	55.6	A2	31	7.4
Curb Inlet A4	Curb	On Grade	10	0.03	0.019	0.013	0	4.1	44.6	11.5	37.2	A1	24.1	5.5
Curb Inlet A5	Curb	On Grade	20	0.019	0.015	0.013	0	120.2	0	33.4	86.8	A3	42.6	7.7

	Elevation (Invert) (ft)	Rise (ft)	Span (ft)	Flow (Captured) (cfs)	Flow (Bypass) (cfs)	Inlet Depth (ft)
Headwall A2	563.5	2	2	19.65	0	3.3
Headwall A3	571	2	5	71.4	44.59	3.53

100-YR CALCULATIONS

Link Start Node	Invert (Start) (ft)	Link Stop Node	Invert (Stop) (ft)	Depth (In) (ft)	Hydraulic Grade Line (In) (ft)	Loss (ft)	Depth (Out) (ft)	Hydraulic Grade Line (Out) (ft)	Velocity (ft/s)	Diameter (in)	Rise (ft)	Span (ft)	Length (ft)	Slope (Calculated) (ft/ft)	Friction Slope (ft/ft)	Manning's N Value	Flow (cfs)	Capacity (Design) (cfs)
Headwall A-3	571	JPB	568.7	1.9	572.9	0.87	0.98	569.6	17.6		2	5	52.3	0.045	0.017	0.013	71.4	194.5
Inlet A5	564.4	Junction A5	563.2	1.9	566.3	0.91	1.51	564.7	15.5	24			29.9	0.038	0.03	0.013	33.4	44.4
Inlet A4	566.8	Junction A5	564.1	1.2	568	0.75	1.85	566	15	24			37.3	0.074	0.022	0.013	11.5	61.3
Inlet A3	563.9	Junction A4	563.2	1.9	656.8	0.27	2.08	565.3	17.3	24			13.2	0.052	0.02	0.013	31.5	51.7
Inlet A2	562	Junction A3	561.3	2.2	564.2	0.2	2.74	564	8.5	24			14	0.056	0.014	0.013	26.8	53.5
Headwall A2	561.3	Junction A2	560.7	2.2	563.5	0.15	2.65	563.3	6.3	24			20.3	0.031	0.008	0.013	19.7	40.1
Area Inlet	562	Junction A1	561.3	2.2	564.2	0.85	1.99	563.3	18.9	24			15	0.054	0.069	0.013	59.5	52.8
JPB	563.7	Junction STA. 11+72.22	560.3	1.9	565.6	0.06	3.67	564	10.6		4	5	200	0.017	0.001	0.013	155.4	377.3
Junction STA. 11+72.22	560.3	Junction STA. 11+48.12	559.9	3.1	563.4	0.07	3.32	563.2	15.8		4	5	24.1	0.017	0.004	0.013	168.6	377.3
Junction STA. 11+48.12	559.9	Junction STA 11+11.85	558.8	3.3	563.2	0.16	4.09	563.5	17.7		4	5	36.3	0.017	0.005	0.013	168.6	359.1
Junction STA 11+11.85	558.8	Junction STA 10+45.26	556.5	4	562.7	2.14	4.16	560.6	22.7		4	5	66.5	0.042	0.032	0.013	225.7	455.8
Junction STA 10+45.26	556.5	Headwall A1	556.4	4	560.4	0.1	3.98	560.3	11.3		4	5	12.7	0.008	0.008	0.013	225.5	217.4

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NOTES:

- 1. COORDINATE RAINWATER CONNECTION TO CHANNEL IMPROVEMENTS WITH PROPERTY OWNER AT 301 NIXON DRIVE.
- 2. SEE LANDSCAPE SHEETS FOR LANDSCAPE WALL AND BOULDER PLACEMENT.
- 3. PLACEMENT OF ROCK RIPRAP SHALL HAVE A MINIMUM THICKNESS OF 36 INCHES OR TO THE DEPTH OF BEDROCK. COORDINATE WITH ENGINEER IF BEDROCK IS EXPOSED PRIOR TO ROCK PLACEMENT.
- 4. ALL PRESERVED TREES/CANOPY SHALL BE PROTECTED IN ACCORDANCE WITH TREE PROTECTION TABLE.
- PROTECT THE RELOCATED ELECTRIC POWER POLE AND GUY WIRE BY - 5. INSTALLING ROCK BOULDERS AROUND THE BASE OF THE POLE. THE ROCK BOULDERS SHOULD BE AT LEAST ONE FOOT IN DIAMETER AND SHOULD BE PLACED AROUND THE BASE OF THE POLE, ENSURING THAT THE GUY WIRE IS NOT DISTURBED. THE ROCK BOULDERS SHOULD BE POSITIONED SLIGHTLY BELOW GROUND LEVEL AND TRANSITION TO NATURAL GROUND.
- 6. IF IT IS DETERMINED BY THE CITY THAT THERE IS AN ADDITIONAL ENCROACHMENT OF OVERHEAD ELECTRIC LINES ONTO 305 NIXON DRIVE AS A RESULT OF THE RELOCATED AUSTIN ENERGY DISTRIBUTION POLE, THE ELECTRICAL SERVICE POLE LOCATED AT 303 NIXON DRIVE WILL BE RELOCATED. THE CITY WILL INSTRUCT THE CONTRACTOR TO MOVE THE SERVICE POLE TO A NEW LOCATION THAT WILL HELP MITIGATE THE ADDITIONAL ENCROACHMENT TO A CURRENT DEGREE OF ENCROACHMENT OR BETTER. THE CONTRACTOR SHALL CONSULT WITH THE PROPERTY OWNER AT 303 NIXON DRIVE TO RELOCATE THE POLE CLOSER TO THE FENCE LINE IN AN ACCEPTABLE LOCATION FOR ALL PARTIES THAT ACHIEVES THE GOAL OF THE RELOCATION.

HATLEY CULVERT NOTES:

WASH OUT THE SURFACE INSIDE OF BOX CULVERT. REMOVE ANY DEBRIS, DIRT, VEGETATION AND LOOSE MATERIALS.

SMOOTH BOTTOM SURFACE OF CULVERT TO ALLOW FOR POSITIVE DRAINAGE FREE OF PONDING WATER WITHIN THE BOX CULVERT.

COVER EXPOSED REBAR WITH AN EPOXY GROUT, AS APPROVED BY THE ENGINEER.

LEGEND

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CENTERLINE **RIGHT OF WAY LINE** PROPERTY LINE EXISTING EASEMENT LINE PROPOSED EASEMENT LINE EXISTING DITCH EDGE EXISTING WOOD FENCE EXISTING MAJOR CONTOURS EXISTING MINOR CONTOURS PROPOSED MAJOR CONTOURS PROPOSED MINOR CONTOURS EXISTING ELECTRIC OVERHEAD EXISTING FENCE LINE PROPOSED CHAIN LINK FENCE PROPOSED STORM DRAIN TREE TREE TO BE REMOVED STONE RIPRAP

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NOTES

VERTICAL SCALE IN FEET

PLPR01 15 OF 49

LANDSCAPE PLANTING

100% SUBMITTAL THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM **REVIEW UNDER** THE AUTHORITY OF ABE A. SALINAS III, P.E. LIC. # 105144 04/12/2023. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. \square Z Ш Ο S Z ENT 00 EMI OVI 00 $> \alpha$ $\overline{}$ ΟĒ IMPR GE IM Ш < Ο Zr M ΔD Δ Ŷ \square Ξ'n Ζ PROPOSED I NIXON/PLEASAN \triangleleft PLAN CHANNEL R@LLINGWOOD — TEXAS — K·FRIESE + ASSOCIATES PUBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm #6535 www.kfriese.com NAME DATE SURVEY BY DRAWN BY AH 08/21 DESIGNED BY LWM 08/21 CHECKED BY GE 08/21 REVIEWED BY PS 09/21 20 HORIZONTAL SCALE IN FEET



303 PLEASANT DRIVE

EADWALL . TAIL	A-3
LAT-A-7	

CHANNEL DISCHARGE LOCATION

NOTES:



SEE LANDSCAPE SHEETS FOR LANDSCAPE WALL AND BOULDER PLACEMENT.

- 2. PLACEMENT OF ROCK RIPRAP SHALL HAVE A MINIMUM THICKNESS OF 36 INCHES OR TO THE DEPTH OF BEDROCK. COORDINATE WITH ENGINEER IF BEDROCK IS EXPOSED PRIOR TO ROCK PLACEMENT.
- ALL PRESERVED TREE/CANOPY SHALL BE PROTECTED IN ACCORDANCE WITH TREE PROTECTION TABLE.
- CONTRACTOR/INSPECTOR TO FIELD VERIFY EXISTING GRASS AND NEW BLOCK SODDING SHALL MATCH EXISTING TYPE. COORDINATE PLACEMENT OF GRASS AND LANDSCAPE FEATURES WITH PROPERTY OWNERS.
- THE CONTRACTOR MUST PROTECT AND WORK 5. AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING OPERATION OF ALL EXISTING UTILITIES AFFECTED BY PROPOSED CONSTRUCTION.
- 7. LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE AND BASED ON AVAILABLE DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 8. IF IT IS DETERMINED BY THE CITY THAT THERE IS AN ADDITIONAL ENCROACHMENT OF OVERHEAD ELECTRIC LINES ONTO 305 NIXON DRIVE AS A RESULT OF THE RELOCATED AUSTIN ENERGY DISTRIBUTION POLE, THE ELECTRICAL SERVICE POLE LOCATED AT 303 NIXON DRIVE WILL BE RELOCATED. THE CITY WILL INSTRUCT THE CONTRACTOR TO MOVE THE SERVICE POLE TO A NEW LOCATION THAT WILL HELP MITIGATE THE ADDITIONAL ENCROACHMENT TO A CURRENT DEGREE OF ENCROACHMENT OR BETTER. THE CONTRACTOR SHALL CONSULT WITH THE PROPERTY OWNER AT 303 NIXON DRIVE TO RELOCATE THE POLE CLOSER TO THE FENCE LINE IN AN ACCEPTABLE LOCATION FOR ALL PARTIES THAT ACHIEVES THE GOAL OF THE RELOCATION.

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THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF ABE A. SALINAS III, P.E. LIC. # 105144 4/12/2023 IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.												
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NOTES:

- CROSS-SECTIONS ARE SHOWN ALONG THE BASELINE LOOKING UPSTREAM.
- 2. EXISTING GROUND FOR CROSS-SECTIONS WERE GENERATED FROM CIVILCORP SURVEY DATA.
- 3. ELEVATION CALLOUTS AT THE LIMITS OF THE EXCAVATION ARE TO THE ACCURACY OF THE SURVEY DATA. CONTRACTOR TO HOLD THE OFFSET IN THE EVENT OF A DISCREPANCY.
- 4. APPARENT ROW OR EASEMENT LIMITS ARE SHOWN FOR INFORMATIONAL PURPOSES AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.











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NOTES:		
1. "ZERO" CURB AT BEGINNING OF FLARE OR SIDE ENCOUNTERED FIRST. THE DRIVEWAY EDGE SH/ INTO THE SIDEWALK BEGINNING AT THE END OF	WALK EDGE, WHICHEVER IS ALL BE SMOOTHLY TRANSITIONED FLARE.	
2. IF DIMENSION IS LESS THAN 1.5 METERS (5 FEET EXISTING JOINT AND POUR MONOLITHICALLY WI	I), REMOVE CURB AND GUTTER TO TH THE DRIVEWAY.	
3. IF THE BASE MATERIAL UNDER AND BEHIND THE THE CURB AND GUTTER WAS REMOVED, BACKFIL WITH THE DRIVEWAY.	E CURB IS OVER-EXCAVATED WHERE LL WITH CONCRETE MONOLITHICALLY	
4. ALL DRIVEWAYS MUST BE CONSTRUCTED WITH SUBJECT PROPERTY AS DETERMINED BY EXTENI THE CURB.	IN THE STREET FRONTAGE OF THE DING THE SIDE PROPERTY LINES TO	
5. DRIVEWAYS SHALL NOT EXCEED 70% OF A LOTS	S' STREET FRONTAGE.	
6. TYPE I DRIVEWAYS ARE TO BE LOCATED NO CLO SECTING RIGHTS-OF-WAY THAN 60% OF PARCEL WHICHEVER IS LESS.	DSER TO THE CORNER OF INTER- FRONTAGE OR 15 METERS (50 FEET);	
7. DRIVEWAYS SHALL NOT BE CONSTRUCTED WITH INTERSECTION.	HIN THE CURB RETURN OF A STREET	
8. SINGLE FAMILY LOTS LIMITED TO ONE DRIVEWA DRIVES.	Y EXCEPT FOR APPROVED SEMICIRCULAR	8
9. WHEN TWO DRIVEWAYS ARE USED (ONE PER UN TOWN HOMES. SINGLE FAMILY STANDARDS SHAI	NIT; TWO MAXIMUM) FOR DUPLEXES AND	
10. WHILE THE PROPERTY OWNER REMAINS RESP PRIVATE PROPERTY, THE FIRE DEPARTMENT SHO DRIVEWAY IS ESSENTIAL TO EMERGENCY VEHICL THAN 15%. "G1" PLUS "D" SHOULD NOT EXCEED 1	ONSIBLE FOR GRADE BREAKS WITHIN DULD BE CONSULTED WHERE THE LE ACCESS AND "G2" IS GREATER 15%.	× .
11. SEE TRANSPORTATION MANUAL SECTION 5 FO	R OTHER DRIVEWAY REQUIREMENTS.	
12. USE 12 mm (2) ASPHALT BOARD, OR OTHER AP AND GUTTER EXPANSION JOINTS.	PROVED MATERIAL, FOR CURB	
13. THE SIDEWALK, REGARDLESS OF ITS LOCATION PROPERTY LINE, SHALL BE CONNECTED TO THE I	N WITH RESPECT TO THE CURB OR DRIVEWAY AT THESE LOCATIONS.	
14. PLACE AN EXPANSION JOINT DOWN THE CENT	ER OF ALL DRIVEWAYS.	
 WATER METER BOXES AND WASTEWATER CLE/ LOCATED IN DRIVEWAY AREAS. 	AN OUTS ARE PROHIBITED FROM BEING	
	FI ARED TYPE I DRIVE	EWAY
DEPARTMENT OF PUBLIC WORKS	(1 & 2 FAMILY RESIDENTIAL	USE ONLY)
S A 0-19-09	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	433S-1A

FINISHED GRADE -

SECTION A-A SEE STANDARD 430S-1 FOR TYPICAL CURB AND GUTTER SECTIONS.

	$\operatorname{CITY}_{ extsf{off}}\operatorname{OF}_{ extsf{auss}}\operatorname{AUS'}_{ extsf{off}}$	TIN Ransportatio	ÇURB	EXPANSION	JDINT	DOWEL	DETAIL
	DECODD CODY SIGNED		THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USI		STANDARD ND.		
BY LINO RIVERA		9/29/99			ASSUMES OPRIATE USI	: 430	S - 3
	ADUPTED OF THIS STANDARD.						

- 1. THE EXISTING PAVING SURFACE SHALL BE SAW CUT IN A STRAIGHT LINE, A MINIMUM OF 12" (300 mm) WIDER THAN UNDISTURBED SIDES OF THE TRENCH AND SYMMETRICAL ABOUT THE CENTER LINE OF THE EXCAVATION.
- 2. IF EXCAVATION AREA IS OPEN FOR TEMPORARY PUBLIC USE, THE SURFACE SHALL BE MAINTAINED LEVEL WITH AD IACENT RIDING SUBFACE WITH COLD MIX AC O TEMPORARY HMAC. TEMPORARY MIX SHALL BE PLACED OVER FLEXIBLE BASE.
- 3. ROAD BASE SHALL BE REPLACED IN KIND WITH BASE THICKNESS EQUAL TO EXISTING BASE THICKNESS PLUS 3" (75 mm), BUT IN NO CASE LESS THAN 12" (300 mm).
- 4. DAMAGED PAVEMENT OUTSIDE THE TRENCH CUT SHALL BE REMOVED AND REPLACED WITH A BASE THICKNESS OF 10" (250 mm) OR A THICKNESS MATCHING EXISTING,
- 5. REPLACEMENT AC SURFACE LAYER SHALL BE OF THE TYPE AND THICKNESS BASED ON
- a) MIN. 2" (50 mm) HMAC TYPE "D" FOR TRENCH REPAIR IN LOCAL/RESIDENTIAL
- b) MIN. 3" (75 mm) HMAC TYPE "C" FOR TRENCH REPAIR IN COLLECTOR/ARTERIAL
- SEE ITEM 340S, SECTION 340S.4.
- 6. CLASS "J" PC CONCRETE (ITEM 403S) OR CONTROLLED LOW STRENGTH MATERIAL (CLSM) MAY BE SUBSTITUTED IN THESE REPAIRS FOR THE FLEXIBLE BASE AND COMPÁCTED BACKFILL. PC CONCRETE GREATER THAN A 2 SACK MIX WILL NOT BE
- 7. TACK COAT ALL EXPOSED EDGES AND SURFACES (SPEC ITEM 307S).
- 8. AS PER CITY OF AUSTIN STANDARD SPECIFICATION 510, SECTION 510.2(8)(K)5, FOR ALL NON-METALLIC PIPE, DIRECTLY ABOVE THE CENTERLINE OF THE PIPE AND A MINIMUM OF 12" (300 mm) BELOW THE SUBGRADE, OR A MINIMUM OF 18" (450 mm) BELOW FINISHED GRADE ON AREAS OUTSIDE THE LIMITS OF PAVEMENT, SHALL BE PLACED INDUCTIVE TRACER TAPE IN ACCORDANCE WITH THE MANUFACTURER'S RE-QUIREMENTS. THE TAPE SHALL BE ENCASED IN A PROTECTIVE, INERT, PLASTIC JACKET AND COLOR CODED IN ACCORDANCE WITH APWA UNIFORM COLOR CODE.

CITY OF AUSTIN		FLEXIBLE BASE WITH ASPHALT SURFACE			
DEPARTMENT OF PUBLIC WORKS		TRENCH REPAIR-EXISTING PAVEMENT			
RECORD CORV SIGNED	01/04/11		STANDARD NO.		
BY KERI JUAREZ		RESPONSIBILITY FOR APPROPRIATE USE	1100S-2		
	ADOPTED	OF THIS STANDARD.	2 OF 2		

NOLANO NOLANO BL NOLANO AB ALINAS III, P.E. LIC. # 105144 4/12/2023 IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.					
CITY OF ROLLINGWOOD, TEXAS	CITY OF ROLLINGWOOD	NIXON/PLEASANT DRAINAGE IMPROVEMENTS	PAVING DETAILS	2 OF 2 Kon-pleasant_drainage_improvements\dgn\sheets\0807-c-pv_detl01.dwg, coa_22X34_landscape, coa_esd.stb	
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K+FRIESE + ASSOCIATES PUBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm #6535 www.kfriese.com NOTES NAME			Ι		
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Page 73







1. ALL CONCRETE SHALL BE TYPE "C" AS PER SPEC. 403S, CONCRETE FOR

STURCTURES.

CHAMFER ALL EXTERNAL VISIBLE CORNERS.
 DISSIPATOR BLOCKS REQUIRED ON DISCHARGE HEADWALLS ONLY.

D	457 mm	533 mm	n 610 mm	ו 685 mn	n 765 mn	n 838 mn	n 914.mn	n 1.067 m	n 1.219 m	1.372 n
	(18")	(21")	(24")	(27")	(30")	(33")	(36")	(42")	(48")	(54")
A	225 mm	250 mm	n 300 mm	n 350 mn	n 375 mn	n 400 mn	n 450 mn	n 525 mm	n 600 mm	n 675 mr
	(9")	(10")	(12")	(14")	(15")	(16")	(18")	(21")	(24")	(27")
В	150 mm	175 mm	n 200 mm	n 225 mn	n 250 mn	n 275 mn	n 300 mn	n 350 mm	n 400 mm	n 450 mr
	(6")	(7")	(8")	(9 ")	(10")	(11")	(12")	(14")	(16")	(18")
С	2.29 m	2.67 m	3.05 m	343 m	3.81 m	4.19 m	4.57 m	5.33 m	6.10 m	6.86 m
	(90")	(105")	(120")	(135")	(150")	(165")	(180")	(210")	(240")	(270")
L	1.37 m	1.60 m	1.83 m	2.06 m	n 2.29 m	n 2.51 m	2.74 m	3.20 m	3.66 m	4.11 m
	(54")	(63")	(72")	(81")	(90")	(99")	(108")	(126")	(144")	(162")
E	300 mm	350 mm	n 400 mn	n 450 mn	n 500 mn	n 550 mn	n 600 mn	n 700 mm	n 800m	900 mr
	(12")	(14")	(16")	(18")	(20")	(22")	(24")	(28")	(32')	(36")

DIMENSIONS IN MILLIMETERS, METERS AND (INCHES).

DISCHARGE VELOCITIES GREATER THAN 3 METERS/SECOND (10 fps) REQUIRE ROCK OUTLET PROTECTION.

$CITY \ OF \ AUST$	[N .OPMENT REVIEW	STANDARD HEADWALL AND ENERGY DISSIPATORS			
RECORD COPY SIGNED BY BILL GARDNER	08/20/07	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE	standard n 508S-		
	ADOPTED	USE OF THIS STANDARD.	2 OF 2		

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CITY OF ROLLINGWOOD, TEXAS		CITY OF ROLLINGWOOD				DRAINAGE DETAILS	1 OF 12	XON-PI FASANT DRAINAGE IMPROVEMENTS\DGN\SHEFTS\0807-C-SD_DFTI.01.DWG_COA_22X34_1ANDSCAPE_COA_FSD_STB
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 NOTES: ALL CONCRETE SHALL BE CLASS "A" AS PE ALL REINFORCING STEEL SHALL BE GRADE DIMENSIONS RELATING TO REINFORCING IN AREAS OF CONFLICT BETWEEN REINFOR REINFORCEMENT SHALL BE BENT OR ADJUE PAYMENT FOR INLET AT THE CONTRACT P ACCORDANCE WITH CITY OF AUSTIN STANE INVERT OF INLET SHALL BE SLOPED 1:20 V SECTION THIS STANDARD COMPLIES WITH THE CITY WHEN PLACING PRECAST INLETS IN SERIE CONNECTION BETWEEN INLET BOXES SHADES SHADES IN STANE THIS DETAIL SHALL EXTEND FROM THE MO THE CONNECTED INLET BOXES. AT NO TIN CONNECTED TO A MAIN STORM DRAIN LIN 	ER ITEM 403S. E 60 STEEL ARE TO CENTERS OF BARS. RCING STEEL, PIPES AND MANHOLE FI USTED TO CLEAR AS DIRECTED BY THI PRICE SHALL INCLUDE THE TRANSITION NDARD INLET DESIGN. WITH FILL CONCRETE BY CONTRACTOF Y OF AUSTIN STANDARD SPECIFICATIC ES TO CREATE A 15'-0" OR 20'-0" CURB ALL BE SOIL TIGHT AND FULLY CONVEY IT(S). THE 1:20 INVERT SLOPE DESCRIE DST DOWNSTREAM POINT TO THE MOS ME CAN MORE THAN 20-LF OF CURB OF IE WITH ONE LATERAL STORM DRAIN O	RAME, THE E ENGINEER. N CURB, IN R, SHAPED AS "V" INLET, THE (THE PEAK BED IN NOTE 6 OF ST UPSTREAM OF PENING BE CONNECTION.
CONNECTED TO A MAIN STORM DRAIN LIN	E WITH ONE LATERAL STORM DRAIN C	ONNECTION.
CITY OF AUSTIN	CURB INLET 1.5m(5')AND3m	(10')PRECAST
	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 5085-4 7 OF 7



FLOWABLE FILL ENCASEMENT DETAIL N.T.S.

APPLICABLE AS INDICATED BY CALLOUTS ON THE PLAN SET





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CITY OF ROLLINGWOOD, TEXAS					3 OF 12	XON-PLEASANT_DRAINAGE_IMPROVEMENTS\DGN\SHEETS\0807-C-SD_DETL01.DWG, COA_22X34_LANDSCAPE, COA_ESD.STB
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TABLE OF DIMENSIONS AND REINFORCING STEEL

of No con AIMER: The use of this standard is governed by the "Texas Engineering Practice Act". made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the standard to other formats or for incorrect results or damages resulting from its use. ISCL nd is this

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TABLE OF WINGWALL

DATE:

1 Extend Bars P 3'-0" minimum into bottom slab of									
2 Adjust as necessary to maintain 1 1#2" clear cover and 4" minimum between bars.									
3 Quantities shown are based on an average wing height for two wings (one structure end). To determine total quantities for two wings, multiply the tabulated values by Lw.									
4 Recommended values of side slope are: 2:1, 3:1,	4:1, and 6:1.								
⁵ When shown elsewhere on the plans, construct 5" deep concrete riprap. Payment for riprap is as required by Item 432, "Riprap". Unless otherwi shown on the plans or directed by the Engineer, provide a 6" wide by 1'-6" deep reinforced concrete toewall along all edges of the riprap adjacent to natural ground; reinforce the toewall b extending typical riprap reinforcing into the toewal extend construction joints or grooved joints oriented in the direction of flow across the full distance of the riprap at intervals of approximately When such riprap is provided, the culvert toewall shown in SECTION B-B will not be required.	ise Dy III; and y 20'.								
6 At Contractor's option, culvert toewall may be enc flush with wingwall toewall. Adjust reinforcing as needed.	ded								
7 0" Min to 5'-0" Max. Estimated curb heights are s elsewhere in the plans. For structures with pedes rail or curbs taller than 1'-0, refer to the Extended Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mour Details for T631 & T631LS Rails (T631-CM) stand Refer to the Box Culvert Rail Mounting Details (R sheet for structures with bridge rail other than T63)	shown trian Curb nting dard sheet. AC) standard 31 or T631LS.								
 8 For vehicle safety, the following requirements mustion of the structures without bridge rail, construct of no more than 3" above finished grade. For structures with bridge rail, construct curb with finished grade. Reduce curb heights, if necessary, to meet the above compensation will be allowed for this work. 	st be met: curbs os flush oove requirements. ditional								
MATERIAL NOTES: Provide Class C concrete (f'c=3,600 psi). Provide Grade 60 reinforcing steel. Provide galvanized reinforcing steel if requir elsewhere in the plans. In riprap concrete synthetic fibers listed on t "Fibers for Concrete" Material Producer List (may be used in lieu of steel reinforcing unless noted otherwise.	red the (MPL) s								
GENERAL NOTES:									
Designed according to AASHTO LRFD Brid Specifications. When structure is founded on solid rock, de toewalls for culverts and wingwalls may be re or eliminated as directed by the Engineer. See Box Culvert Supplement (BCS) standar additional dimensions and information. The quantities for concrete and reinforcing s resulting from the formulas given on this shee for Contractor's information only.	lge Design opth of educed rd sheet for steel et are								
		7							
Cover dimensions are clear dimensions, unles Reinforcing dimensions are out-to-out of bars.	s noted otherwise.								
Texas Department of Tran	Bridge Division Standard								
CONCRETE W	/INGWALLS								
WITH FLARED	WINGS FOR								
0° SKEW BOX	CULVERTS								
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TABLE OF DIMENSIONS AND REINFORCING STEEL (Wings for one structure end)

Dimensions					Variable Reinforcing				Estimated Quantities 3	
Maximum Wingwall	10/	v	v	7	Bar	rs J1	Bar	s J2	wing le	or ength ngs)
HeightHw	vv		T	Z	Size	Spa	Size	Spa	Reinf (Lb/Ft)	Conc (CY/Ft)
2'-6"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	33.73	0.248
3'-0"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	37.07	0.261
3'-6"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	37.74	0.273
4'-0"	2'-5"	1'-0"	9"	7"	#4	1'-0"	#4	1'-0"	38.41	0.285
4'-6"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	41.75	0.330
5'-0"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	45.09	0.343
5'-6"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	45.75	0.355
6'-0"	3'-2"	1'-6"	1'-0"	7"	#4	1'-0"	#4	1'-0"	46.42	0.367
7'-0"	3'-8"	1'-9"	1'-3"	7"	#4	1'-0"	#4	1'-0"	52.77	0.414
8'-0"	4'-2"	2'-0"	1'-6"	8"	#5	1'-0"	#4	1'-0"	60.19	0.486
9'-0"	4'-8"	2'-3"	1'-9"	8"	#4	6"	#4	6"	81.49	0.535
10'-0"	5'-2"	2'-6"	2'-0"	8"	#5	6"	#4	6"	97.25	0.584
11'-0"	5'-8"	2'-9"	2'-3"	8"	#6	6"	#5	6"	133.65	0.634
12'-0"	6'-2"	3'-0"	2'-6"	9"	#7	6"	#5	6"	162.29	0.721
13'-0"	6'-8"	3'-3"	2'-9"	11"	#7	6"	#5	6"	178.80	0.856
14'-0"	7'-2"	3'-6"	3'-0"	1'-0"	#8	6"	#5	6"	216.78	0.959
15'-0"	7'-8"	4'-0"	3'-0"	1'-1"	#9	6"	#6	6"	283.06	1.068
16'-0"	8'-2"	4'-6"	3'-0"	1'-3"	#9	6"	#6	6"	297.02	1.234

TABLE OF WINGWALL REINFORCING (2~wings)							
Bar	Size	No.	Spa				
D	#5	~	1'-0"				
E	#4	~	1'-0"				
F	#4		1'-0"				
G	#6	4	~				
М	#4	#4 4					
Р	#4	#4 ~					
R	#5	6	~				
V	#4	~	1'-0"				
TABL CULV QUAN	E OF ES ERT TC ITITIES	STIMATE DEWALL	ED				
Bar	Size	No.	Spa				
L	#4	~	1'-6"				
Q	#4	1	~				
Reinf (Lb/Ft)		2.45				
Conc (Conc (CY/Ft) 0.037						



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WING DIMENSION FORMULAS:

(All values are in feet.)

Hw = H + T + C - 0.250' Lw = (Hw - 0.333') (SL)

For cast-in-place culverts: Ltw = (N) (S) + (N + 1) (U)

For precast culverts: Ltw = (N) (2U + S) + (N - 1) (0.5')

Total Wingwall Area (two wings ~ SF) = (Hw + 0.333') (Lw)

Hw = Height of wingwall SL:1 = Side slope ratio (horizontal:1 vertical)

Lw = Length of wingwall Ltw = Culvert toewall length

N = Number of culvert spans

See applicable box culvert standard sheet for H, S, T, and U values.









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1 Extend Ba box culver	rs P 3'-0" minimum into	bottom sla	ıb of			
2 Adjust as i	necessary to maintain ´ 4" minimum between b	1 1#2" cleai	-			
3 Quantities for two wir quantities by Lw.	shown are based on a lgs (one structure end) for two wings, multiply	n average v . To detern the tabulate	wing he nine tota ed value	ight al es		
4 Recomme	nded values of side slo	pe are: 2:1	, 3:1, 4	:1, ar	nd 6:1.	
5 When shown 5" deep co as required shown on provide a 6 concrete to adjacent to extending extend cor oriented in distance of When such shown in 5	wn elsewhere on the pl ncrete riprap. Payment d by Item 432, "Riprap" the plans or directed by 5" wide by 1'-6" deep re bewall along all edges of o natural ground; reinfo typical riprap reinforcin instruction joints or groo the direction of flow ac f the riprap at intervals on riprap is provided, the SECTION B-B will not b	lans, constr t for riprap i . Unless of y the Engine of the riprap rce the toe g into the to ved joints cross the fu of approxime e culvert toe be required.	ruct s herwise eer, wall by bewall; a bewall; a hately 2 ewall	and 0'.		
6 At Contrac flush with as needed	tor's option, culvert toe wingwall toewall. Adjus	wall may b t reinforcing	e endeo 9	ł		
7 0" Min to 5 elsewhere rail or curb Details (E0 with T631 Details for standard s Details (R4 rail other th	'-0" Max. Estimated cu in the plans. For struct s taller than 1'-0, refer CD) standard sheet. Fo or T631LS bridge rail, r T631 & T631LS Rails (heet. Refer to the Box AC) standard sheet for nan T631 or T631LS.	urb heights tures with p to the Exter r structures refer to the (T631-CM) Culvert Rai structures v	are sho edestria nded Cu Mountii Mountii I Mount	wn an urb ng ing ige		
8 For vehicle • For s no me • For s	e safety, the following re tructures without bridge ore than 3" above finish tructures with bridge ra	equirement e rail, const ned grade. iil. construc	s must l ruct cur t curbs	be m bs flush	et:	
with f Reduce cu No change will be allo	inished grade. rb heights, if necessary s will be made in quan wed for this work.	y, to meet t tities and n	he abov o additi	ve rec onal o	quirements. compensation	
MATERIA Provide C Provide G Provide g elsewhere In riprap c "Fibers for may be use otherwise. GENERA Designed Specification When strut toewalls for or eliminate See Box C for addition The quan resulting fro	AL NOTES: lass C concrete (f'c=3, irade 60 reinforcing ste alvanized reinforcing ste alvanized reinforcing ste in the plans. concrete, synthetic fiber Concrete" Material Pro ed in lieu of steel reinfo AL NOTES: according to AASHTO ons. acture is founded on so culverts and wingwalls ed as directed by the E Culvert Supplement (B0 al dimensions and info tities for concrete and r om the formulas given o tor's information only.	600 psi). eel. teel if requir rs listed on ducer List (rcing unles LRFD Bridg lid rock, de s may be re ngineer. CS) standa rmation. reinforcing s on this shee	red the MPL) s noted ge Desi pth of educed rd shee steel et are	gn t		
Cover din Reinforcir	nensions are clear dimensions are out-f	ensions, un to-out of ba	less no rs.	ted o	therwise.	
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warranty version SCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No nd is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the con this standard to other formats or for incorrect results or damages resulting from its use.

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- 1. Provide Class "H" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
- 4. Walls or slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide
- 7. Design tongue and groove joints for full closure on both shoulders. Minimum spigot depth is $\frac{3}{4}$ ".

- 1. Inverts (benching) to be provided by Contractor. Concrete or mortar used for invert is subsidiary
- 2. Seal tongue and groove joints with preformed or bulk mastic in conformance with Manufacturer's recommendations. Tongue and groove joints may be grouted no more than 1" between each section,
- and hole size. Center pipe in hole and install boot/seal per Manufacturer's specification.

1. Precast Junction Box consists of base slab, base unit, risers (as required), and below grade slab.

3. Payment for junction box is per Item 465 "Junction Boxes, Manholes, and Inlets" by type and size.

SHRINKAGE/TEMPERATURE WHEN **REQUIRED. SEE FABRICATION NOTE 4.**

(2) ADDITIONAL REBAR #4 @ 2" O.C. EACH WALL 1" TO JOINT

BSHORT / BLONG

ADDITIONAL REBAR #4 EACH WALL 1" TO JOINT

(2) ADDITIONAL REBAR #4 @ 2" O.C. EACH WALL 1" TO JOINT

BSHORT / BLONG

2

TOP ELEV

SHRINKAGE/TEMPERATURE WHEN **REQUIRED. SEE FABRICATION NOTE 4.**

Cover dimensions are clear dimensions, unless noted otherwise.

> HL93 LOADING Bridge Division Texas Department of Transportation Standard PRECAST JUNCTION BOX PJB prestd09-20.dgn DN: TXDOT CK: TXDOT DW: TXDOT CK: TxDOT ILE: C)TxDOT February 2020 CONT SECT HIGHWAY JOB REVISIONS DIST COUNTY SHEET NO. 29 of 49



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FABRICATION NOTES: 1. Provide Class "H" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi. 2. Provide Grade 60 reinforcing steel or equivalent area of WWR. Provide circumferential reinforcing steel in vertical walls of base, riser and cone in accordance with ASTM C478. 3. Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide steel area = 0.11 in²/ft each way. 4. Manufacture base and risers to nearest 3" increment. Design tongue and groove joints for full closure on both shoulders. Minimum spigot depth is ³/₄". Provide lifting devices in conformance with Manufacturer's recommendations. 7. Provide cast iron solid cover, unless noted otherwise elsewhere in the plans. **INSTALLATION NOTES:** 1. Cones may be concentric or eccentric. Reduction cones are acceptable. See Manufacturer for cone dimensions. 2. Inverts (benching) to be provided by Contractor. Concrete or mortar used for invert is subsidiary to this item. 3. Seal tongue and groove joints with preformed or bulk mastic in conformance with Manufacturer's recommendations. Tongue and groove joints may be grouted no more than 1" between each section, or $\frac{1}{2}$ the joint depth, whichever is greater. 4. Do not grout rubber gasket joints without Manufacturer's recommendation. Initial installation of grade adjustment rings is limited to 1'-0" Max as shown. 6. Grade adjustment rings may be increased to 2'-0" Max when future construction affects final grade of structure. Make adjustments greater than 2'-0" with additional risers. Adjustments may be made up to the Max depth shown. Structure must be evaluated if Max depth will be exceeded. GENERAL NOTES: 1. Designed according to ASTM C478. 2. Payment for manhole is per Item 465, "Junction Boxes, Manholes, and Inlets" by type and size. 3. Pipe OD + placement tolerance must be equal or less than Max hole diameter. For rigid pipe, placement tolerance is 4" Max, 2" Min. For flexible pipe, consult boot/seal manufacturer's specification for placement tolerance. Cover dimensions are clear dimensions, unless noted otherwise.

ZE (DIA)	48 in		60 in	72 in
-		5 in	6 in	7 in
AX DEPTH		25 ft	25 ft	25 ft
(EACH WAY)		0.22 in²/ft	0.30 in²/ft	0.45 in²/ft
EACH WAY)		N/A	0.37 in²/ft	0.62 in²/ft
(EACH WAY)		0.24 in²/ft	0.46 in²/ft	0.46 in²/ft
ÍMIN		12 in	36 in	36 in
5		9 in	9 in	9 in
5		N/A	9 in	12 in
DUCED RISER DIA	N/A		48 in	48/60 in
AX HOLE DIA		32 in	40 in	54 in

HL93 LOADING								
Texas Department of Transportation Bridge Division Standard								
PRECAST ROUND MANHOLE								
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ct". the AIMER: The use of this standard is governed by the "Texas Engineering Practic made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility standard to other formats or for incorrect results or damages resulting from its use SCL nd is this (1) For skewed box culverts with less than 2'-0" of fill, break back the top slab to provide a 1'-10" minimum lap of the existing longitudinal bars with the longitudinal bars in the extension.

For non-skewed box culverts with less than 2'-0" of fill and for skewed or non-skewed culverts with a fill depth of 2'-0" or greater, break back the top slab to provide a 1'-10" minimum lap of the existing longitudinal bars with the longitudinal bars in the extension. Alternatively, if the box is non-skewed, embed #6 anchor bars with a Type III, C, D, E, or F anchor adhesive into the existing walls, top and bottom slab at 1'-6" center-to-center spacing. Minimum embedment depth is 8". Anchor adhesive chosen must be able to achieve a basic bond strength in tension, Nba, of 26.4 kips. Submit signed and sealed calculations or the manufacturer's published literature showing the proposed anchor adhesive's ability to develop this load to the Engineer for approval prior to use. Anchor installation, including hole size, drilling, and clean out, must be in accordance with Item 450, "Railing." Test adhesive anchors in accordance with Item 450.3.3, "Tests." Test 3 anchors per 100 anchors installed.

Break back wings and apron as necessary to install the extension. Clean and extend the exposed wingwall and apron reinforcing into the extension. When lengthening existing box culverts with dimensions different than current standard dimensions, form horizontal and vertical transitions as directed by the Engineer. Match bottom slabs to maintain an uninterrupted flow line. Field bend existing and new reinforcing into transitions and maintain specified cover requirements. For top slabs of culverts with overlay, with 1-to-2 course surface treatment, or with the top slab as the final riding surface, adjust the "H" dimension to provide a smooth riding surface.

 $^{(2)}$ When the spacing between Bars B becomes less than half of the normal spacing,

Bend Bars F1 and F2 to remain parallel to the walls of the box culvert.

6 When necessary to avoid conflict in acute corners, shorten the slab extension leg of Bars C and Bars D to a minimum of 1'-6" for skews of 30° thru 45°.

7 At the Contractor's option, for skews of 15° or less, place Bars B, C, and D parallel to the skewed end while maintaining spacing along centerline of box. Increase lengths of Bars B shown on the Single Box Culverts Cast-In-Place (SCC) standards sheets to accommodate

When required, lap Bars H 1'-8" for uncoated or galvanized bars.

Provide galvanized reinforcing steel, if required elsewhere in the plans.

- Provide Class C concrete (fc = 3,600 psi) with these exceptions:
- provide Class S concrete (f'c = 4,000 psi) for top slabs of culverts with overlay,
- with 1-to-2 course surface treatment, or with the top slab as the final riding

Designed according to AASHTO LRFD Bridge Design Specifications. Refer to Single Box Culverts Cast-in-Place (SCC) standard sheets for details of straight

For skewed sections and angle sections, refer to Single Box Culverts Cast-in-Place (SCC) standard sheets for slab and wall dimensions, bar sizes, maximum bar spacing, and any other

For skewed ends with curbs, adjust length of Bars H, number of Bars K, curb concrete volume, and reinforcing steel weight by dividing the values shown on the culvert Single Box Culverts Cast-In-Place (SCC) standard sheets by the cosine of the skew

Cover dimensions are clear dimensions, unless noted otherwise.

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SINGLE BOX CULVERTS								
CAST	-IN-	-Pl	LACE					
MISCELLA	NEC	CU	IS DE	TAI	LS			
		SC	C-ME)				
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©TxD⊡T February 2020	CONT	SECT	JOB		HIGHWAY			
REVISIONS								
	DIST		COUNTY		SHEET ND.			
					31 OF 49			



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PLAN OF REINF STEEL



(Spa = 1'-0" Max) (Length = 4'-2") (1) 0" Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail or curbs taller than 1'-0", refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Rail Anchorage Curb (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.

For vehicle safety, the following requirements must be met:
 For structures without bridge rail, construct curbs no more than 3" above

finished grade.
For structures with bridge rail, construct curbs flush with finished grade.
Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.

³ For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3" high, Bars K may be omitted.

⁽⁴⁾ 1'-0" typical. 2'-3" when the Rail Anchorage Curb (RAC) standard sheet is referred to elsewhere in the plans.

The Contractor may replace Bars B, C, D, E, F1, F2, M, Y, and/or Z with deformed welded wire reinforcement (WWR) meeting the requirements of ASTM A1064. The area of required reinforcement may be reduced by the ratio of 60 ksi / 70 ksi. Spacing of WWR is limited to 4" Min and 18" Max. When required, provide lap splices in the WWR of the same length required for the equivalent bar size, rounded up for wire sizes between conventional bar sizes. The lap length required for WWR is never less than the lap length required for uncoated #4 bars.

Example conversion: Replacing No. 6 Gr 60 at 6" Spacing with WWR. Required WWR = $(0.44 \text{ sq. in. per } 0.5 \text{ ft.}) \times (60 \text{ ksi} / 70 \text{ ksi}) = 0.755 \text{ sq. in. per ft.}$ If D30.6 wire is used to meet the 0.755 sq. in. per ft. requirement in this example, the required spacing = $(0.306 \text{ sq. in.}) / (0.755 \text{ sq. in. per ft.}) \times (12 \text{ in. per ft.}) = 4.86"$ Max spacing. Required lap length for the provided D30.6 wire is 2'-1" (the same minimum lap length required for uncoated #5 bars, as listed under MATERIAL NOTES).

CONSTRUCTION NOTES:

Do not use permanent forms. Chamfer the bottom edge of the top slab 3" at the entrance. Optionally, raise construction joints shown at the flow line by a maximum of 6". If this option is taken, Bars M may be cut off or raised, Bars C and D may be reversed.

MATERIAL NOTES:

Provide Grade 60 reinforcing steel.

Provide galvanized reinforcing steel if required elsewhere in the plans.

Provide Class C concrete (f'c = 3,600 psi) for culvert barrel and curb, with the

following exceptions: provide Class S concrete (f'c = 4,000 psi) for top slabs of:

· culverts with overlay,

• culverts with 1-to-2 course surface treatment, or

· culverts with the top slab as the final riding surface.

Provide bar laps, where required, as follows: • Uncoated or galvanized ~ #4 = 1'-8" Min

• Uncoated or galvanized ~ #4 = 1-6 With • Uncoated or galvanized ~ #5 = 2'-1" Min

• Uncoated or galvanized $\sim #6 = 2'-6''$ Min

GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications for the range of fill heights shown.

See the Single Box Culverts Cast-In-Place Miscellaneous Detail (SCC-MD) standard sheet for details pertaining to skewed ends, angle sections, and lengthening.

Cover dimensions are clear dimensions, unless noted otherwise. Reinforcing bar dimensions shown are out-to-out of bar.

HL93 LOADING			SHEE	ET 1 (OF 2
Texas Department	of Tra	nsp	ortation	r	Bridge Division Standard
SINGLE B CAST 0' 7	OX -IN 10 30	C -P)' F	ULVE LACE ILL	ERT	ſS
3		-D	& 0		
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CTxDOT February 2020	CONT	SECT	JOB		HIGHWAY
REVISIONS					
04/2021 Updated X values.	DIST		COUNTY	/	SHEET NO.
					32 OF 49

				5		BILLS OF REINFORCING STEEL (For Box Length = 40 feet)								QUANTITIES																				
		N IONS		HEIGHT		В	Bars B				Ba	ars C					В	ars D			Ва	rs M ~ #4	Bars F1 ~ #4 at 18" Spa	1 I	Bars F2 ~ # at 18" Spa	a	Bars H 4 ~ #4		Bars K	Per F of Ba	Foot rrel	Curb	т	otal
S	н	т	U	FILL	No.	Spa	Length	Weight	t No.	Size	Length	Weight	" X "	" Y "	No.	Size Spa	Length	Weight	" Y "	"Z"	No. oN	Length	Weight No. Length	Wt No.	Length	Weight	Length	Wt	No. Wt	Conc (CY)	Reinf (Lb)	Conc Rei (CY) (Lb	nf Conc) (CY)	Reinf (Lb)
5' - 0"	2' - 0"	8"	7"	26' ⁻	108 #	6 9"	5' - 11"	960) 108	#5 9	" 6' - 3"	704	2' - 6"	3' - 9"	108	#5 9"	6' - 5"	723	3' - 9"	2' - 8"	108 9"	2' - 0''	' 144 4 39' - 9"	106 22	39' - 9"	584	5' - 11"	16	14 39	0.391	80.5	0.5 5	5 16.1	3,276
5' - 0"	2' - 0"	9"	7"	30'	108 #	6 9"	5' - 11"	960) 108	#5 9	" 6' - 4"	713	2' - 7"	3' - 9"	108	#5 9"	6' - 6"	732	3' - 9"	2' - 9"	108 9"	2' - 0"	' 144 4 39' - 9"	106 22	39' - 9"	584	5' - 11"	16	14 39	0.429	81.0	0.5 5	5 17.6	3,294
5' - 0"	3' - 0"	8"	7"	26'	108 #	6 9"	5' - 11"	960	108	#5 9	" 7' - 3"	817	3' - 6"	3' - 9"	108	#5 9"	6' - 5"	723	3' - 9"	2' - 8"	108 9"	3' - 0"	' 216 4 39' - 9"	106 26	39' - 9"	690	5' - 11"	16	14 39	0.434	87.8	0.5 5	5 17.8	3,567
5' - 0"	3' - 0"	9"	7"	30'	108 #	6 9"	5' - 11"	960	108	#5 9	" 7' - 4"	826	3' - 7"	3' - 9"	108	#5 9"	6' - 6"	732	3' - 9"	2' - 9"	108 9"	3' - 0"	' 216 4 39' - 9"	106 26	39' - 9"	690	5' - 11"	16	14 39	0.472	88.3	0.5 5	5 19.3	3,585
5' - 0"	4' - 0''	8"	7"	26'	108 #	6 9"	5' - 11"	960	108	#5 9	" 8' - 3"	929	4' - 6"	3' - 9"	108	#5 9"	6' - 5"	723	3' - 9"	2' - 8"	108 9"	4' - 0''	' 289 4 39' - 9"	106 26	39' - 9"	690	5' - 11"	16	14 39	0.477	92.4	0.5 5	5 19.5	3,752
5' - 0"	4' - 0''	9"	7"	30'	108 #	6 9"	5' - 11"	960) 108	#5 9	" 8' - 4"	939	4' - 7"	3' - 9"	108	#5 9"	6' - 6"	732	3' - 9"	2' - 9"	108 9"	4' - 0''	' 289 4 39' - 9"	106 26	39' - 9"	690	5' - 11"	16	14 39	0.515	92.9	0.5 5	5 21.1	3,771
5' - 0"	5' - 0"	8"	7"	26'	108 #	6 9"	5' - 11"	960	108	#5 9	" 9' - 3"	1,042	5' - 6"	3' - 9"	108	#5 9"	6' - 5"	723	3' - 9"	2' - 8"	108 9"	5' - 0''	' 361 4 39' - 9"	106 30	39' - 9"	797	5' - 11"	16	14 39	0.521	99.7	0.5 5	5 21.3	4,044
5' - 0"	5' - 0"	9"	7"	30'	108 #	6 9"	5' - 11"	960) 108	#5 9	" 9' - 4"	1,051	5' - 7"	3' - 9"	108	#5 9"	6' - 6"	732	3' - 9"	2' - 9"	108 9"	5' - 0"	' 361 4 39' - 9"	106 30	39' - 9"	797	5' - 11"	16	14 39	0.559	100.2	0.5 5	5 22.8	4,062
6' - 0''	2' - 0"	8"	7"	20'	108 #	6 9"	6' - 11"	1,122	108	#5 9	" 6' - 7"	742	2' - 6"	4' - 1''	108	#5 9"	6' - 9"	760	4' - 1"	2' - 8"	108 9"	2' - 0"	' 144 5 39' - 9"	133 25	39' - 9"	664	6' - 11"	18	16 45	0.440	89.1	0.5 6	3 18.1	3,628
6' - 0"	2' - 0"	9"	7"	26'	108 #	6 9"	6' - 11"	1,122	162	#5 6	6' - 8"	1,126	2' - 7"	4' - 1''	162	#5 6"	6' - 10'	1,155	4' - 1"	2' - 9"	108 9"	2' - 0"	' 144 5 39' - 9"	133 25	39' - 9"	664	6' - 11"	18	16 45	0.485	108.6	0.5 6	3 19.9	4,407
6' - 0"	2' - 0"	10"	8"	30'	108 #	6 9"	7' - 1"	1,149	162	#5 6	6' - 10"	1,155	2' - 8"	4' - 2"	162	#5 6"	7' - 0"	1,183	4' - 2''	2' - 10"	82 12"	2' - 0"	' 110 5 39' - 9"	133 25	39' - 9"	664	7' - 1"	19	18 50	0.551	109.9	0.5 6	9 22.6	4,463
6' - 0"	3' - 0"	8"	7"	20'	108 #	6 9"	6' - 11"	1,122	108	#5 9	" 7' - 7"	854	3' - 6"	4' - 1''	108	#5 9"	6' - 9"	760	4' - 1"	2' - 8"	108 9"	3' - 0"	' 216 5 39' - 9"	133 29	39' - 9"	770	6' - 11"	18	16 45	0.484	96.4	0.5 6	3 19.9	3,918
6' - 0"	3' - 0"	9"	7"	26'	108 #	6 9"	6' - 11"	1,122	162	#5 6	5" 7' - 8"	1,295	3' - 7"	4' - 1''	162	#5 6"	6' - 10'	1,155	4' - 1"	2' - 9"	108 9"	3' - 0"	' 216 5 39' - 9"	133 29	39' - 9"	770	6' - 11"	18	16 45	0.528	117.3	0.5 6	3 21.6	4,754
6' - 0"	3' - 0"	10"	8"	30'	108 #	6 9"	' 7' - 1"	1,149	162	#5 6	5" 7' - 10"	1,324	3' - 8"	4' - 2"	162	#5 6"	7' - 0"	1,183	4' - 2"	2' - 10"	82 12"	3' - 0"	' 164 5 39' - 9"	133 29	39' - 9"	770	7' - 1"	19	18 50	0.601	118.1	0.5 6	9 24.6	4,792
6' - 0"	4' - 0''	8"	7"	20'	108 #	6 9"	6' - 11"	1,122	108	#5 9	" 8' - 7"	967	4' - 6"	4' - 1"	108	#5 9"	6' - 9"	760	4' - 1"	2' - 8"	108 9"	4' - 0''	' 289 5 39' - 9"	133 29	39' - 9"	770	6' - 11"	18	16 45	0.527	101.0	0.5 6	3 21.6	4,104
6' - 0"	4' - 0"	9"	7"	26'	108 #	6 9"	6' - 11"	1,122	162	#5 6	6" 8' - 8"	1,464	4' - 7"	4' - 1''	162	#5 6"	6' - 10'	1,155	4' - 1"	2' - 9"	108 9"	4' - 0''	' 289 5 39' - 9"	133 29	39' - 9"	770	6' - 11"	18	16 45	0.571	123.3	0.5 6	3 23.4	4,996
6' - 0"	4' - 0''	10"	8"	30'	108 #	6 9"	7' - 1"	1,149	162	#5 6	6" 8' - 10"	1,493	4' - 8"	4' - 2"	162	#5 6"	7' - 0"	1,183	4' - 2"	2' - 10"	82 12"	4' - 0"	219 5 39' - 9"	133 29	39' - 9"	770	7' - 1"	19	18 50	0.650	123.7	0.5 6	9 26.5	5,016
6' - 0"	5' - 0"	8"	7"	20'	108 #	6 9"	6' - 11"	1,122	108	#5 9	" 9' - 7"	1,080	5' - 6"	4' - 1''	108	#5 9"	6' - 9"	760	4' - 1"	2' - 8"	108 9"	5' - 0"	' 361 5 39' - 9"	133 33	39' - 9"	876	6' - 11"	18	16 45	0.570	108.3	0.5 6	3 23.3	4,395
6' - 0''	5' - 0"	9"	7"	26'	108 #	6 9"	6' - 11"	1,122	162	#5 6	5" 9' - 8"	1,633	5' - 7"	4' - 1''	162	#5 6"	6' - 10'	1,155	4' - 1"	2' - 9"	108 9"	5' - 0"	' 361 5 39' - 9"	133 33	39' - 9"	876	6' - 11"	18	16 45	0.614	132.0	0.5 6	3 25.1	5,343
6' - 0"	5' - 0"	10"	8"	30'	108 #	6 9"	7' - 1"	1,149	162	#5 6	5" 9' - 10"	1,661	5' - 8"	4' - 2"	162	#5 6"	7' - 0"	1,183	4' - 2''	2' - 10"	82 12"	5' - 0"	' 274 5 39' - 9"	133 33	39' - 9"	876	7' - 1"	19	18 50	0.700	131.9	0.5 6	9 28.5	5,345
6' - 0''	6' - 0''	8"	7"	20'	108 #	6 9"	6' - 11"	1,122	108	#5 9	" 10' - 7"	1,192	6' - 6"	4' - 1''	108	#5 9"	6' - 9"	760	4' - 1"	2' - 8"	108 9"	6' - 0''	433 5 39' - 9"	133 37	39' - 9"	982	6' - 11"	18	16 45	0.613	115.6	0.5 6	3 25.0	4,685
6' - 0"	6' - 0''	9"	7"	26'	108 #	6 9"	6' - 11"	1,122	162	#5 6	5" 10' - 8"	1,802	6' - 7"	4' - 1''	162	#5 6"	6' - 10'	1,155	4' - 1"	2' - 9"	108 9"	6' - 0''	433 5 39' - 9"	133 37	39' - 9"	982	6' - 11"	18	16 45	0.657	140.7	0.5 6	3 26.8	5,690
6' - 0''	6' - 0''	10"	8"	30'	108 #	6 9"	7' - 1"	1,149	162	#5 6	5" 10' - 10"	1,830	6' - 8"	4' - 2"	162	#5 6"	7' - 0"	1,183	4' - 2"	2' - 10"	82 12"	6' - 0''	329 5 39' - 9"	133 37	39' - 9"	982	7' - 1"	19	18 50	0.749	140.2	0.5 6	9 30.5	5,675

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⁵ For direct traffic culverts (fill height ≤ 2 ft.), identify the required box size and select the option with the minimum fill height.

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Texas Department	of Tra	nsp	ortatio	n	Bri Di Sta	idge vision andard	
SINGLE B CAST 0' 1 S	OX -IN -0 30 CC	C -P)' F -5	ULV LAC ILL & 6	ER E	RTS		
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DATE:

(Showing multi-box placement.)

⁾ 0" Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail, bicycle rail, or curbs taller than 1'-0, refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Box Culvert Rail Mounting Details (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.

 $^{
m)}$ For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3" high, Bars K may be omitted.

Extend curb, wingwall, or safety end treatment reinforcing into concrete closure. Bend or trim, as necessary, any reinforcing that does not fit into closure area.

⁾ Provide a 3'-0" Min cast-in-place concrete closure. Break back boxes in the field or cast boxes short. Provide bands of reinforcing in the closure that are the same size and spacing as in the precast box section. Provide #4 longitudinal reinforcement spaced at 12 inches Max within the closure. Except where shown otherwise, construct the cast-in-place closure flush with the inside and outside faces of the precast box section.

5 For multiple unit placements, adjust the length of the closure for the interior walls as necessary. Provide a 3'-0" Min cast-in-place closure in the top slab, bottom slab, and exterior wall. See Section B-B detail when interior walls are cast full length.

Extend precast box reinforcing a minimum of 1'-0" into concrete closure (Typ).

⁾ Place bands of reinforcing matching the inside and outside face reinforcing in the gaps of the top and bottom slabs. Place a band matching the outside face reinforcing of the wall in the gaps of the walls (placed in the outside face only). Tack weld the bands to the exposed reinforcing at each point of contact.

(8) For vehicle safety, the following requirements must be met:

For structures without bridge rail, construct curbs no more than 3" above finished grade.

For structures with bridge rail, construct curbs flush with finished grade. Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.

Cement stabilized backfill between boxes is considered part of the box culvert for payment.

All curb concrete and reinforcing is considered part of the box culvert for payment.

Any additional concrete and reinforcing required for the closures will be considered subsidiary to the box culvert for payment.

 $\binom{12}{1}$ 1'-0" typical. 2'-3" when the Box Culvert Rail Mounting Details (RAC) standard sheet is referred to elsewhere in the plans.

For multiple unit placement with overlay, with 1 to 2 course surface treatment, or with the top slab as the final riding surface, provide wall closure as shown in Detail "A".

This dimension may be increased with approval of the Engineer to allow the precast boxes to be tunneled or jacked in accordance with Item 476, "Jacking, Boring, or Tunneling Pipe or Box". No payment will be made for any additional material in the gap between adjacent boxes.

MATERIAL NOTES:

Provide Grade 60 reinforcing steel.

- Provide ASTM A1064 welded wire reinforcement.
- Provide Class C concrete (f'c = 3,600 psi) for the closures.
- Provide cement stabilized backfill meeting the requirements of Item 400,
- "Excavation and Backfill for Structures."

Any additional concrete required for the closures will be considered subsidiary to the box culvert.

GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications. Refer to the Single Box Culverts Precast (SCP) standard sheets for details and notes not shown.

Chamfer the bottom edge of the top slab closure 3 inches at culvert closure ends.

Cover dimensions are clear dimensions, unless noted otherwise. Reinforcing bars dimensions are out-to-out of bars.

HL93 LOADING

	Bria Divi Stai	lge sion ndard							
BOX CULVERTS									
	PR	EC	AS	ST					
MIS	MISCELLANEOUS DETAILS								
			S	CP-N	1D				
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BOX DATA

	SECTIC	ON DIMEN	ISIONS	T	Fill	M		RE	INFORCI	NG (sq. ir	n. / ft.)	(2)		Lift
S (ft.)	H (ft.)	TT (in.)	TB (in.)	TS (in.)	Height (ft.)	(Min) (in.)	AS1	AS2	AS3	AS4	AS5	AS7	AS8	(tons)
5	2	8	7	6	< 2	-	0.19	0.27	0.18	0.14	0.19	0.19	0.17	6.0
5	2	6	6	6	2 < 3	44	0.22	0.20	0.16	0.14	-	_	-	5.1
5	2	6	6	6	3 - 5	44	0.16	0.14	0.14	0.14	_	_	_	5.1
5	2	6	6	6	10	36	0.15	0.14	0.14	0.14	_	_	_	5.1
5	2	6	6	6	15	36	0.20	0.18	0.18	0.14	_	_	_	5.1
5	2	6	6	6	20	36	0.26	0.23	0.24	0.14	-	_	-	5.1
5	2	6	6	6	25	36	0.33	0.29	0.29	0.14	-	_	-	5.1
5	2	6	6	6	30	36	0.39	0.34	0.35	0.14	-	-	-	5.1
5	3	8	7	6	< 2		0.19	0.31	0.21	0 14	0.19	0.19	0.17	6.6
5	3	6	6	6	2<3	45	0.13	0.01	0.19	0.14	-	-	-	5.7
5	3	6	6	6	3 - 5	36	0.14	0.17	0.16	0.14	_	_	_	5.7
5	3	6	6	6	10	36	0.14	0.16	0.17	0.14	_	_	-	5.7
5	3	6	6	6	15	35	0.16	0.21	0.22	0.14	_	_	_	5.7
5	3	6	6	6	20	35	0.21	0.27	0.28	0.14	_	_	_	5.7
5	3	6	6	6	25	35	0.26	0.34	0.34	0.14	-	-	_	5.7
5	3	6	6	6	30	35	0.31	0.41	0.41	0.14	-	-	-	5.7
5	4	8	7	6	< 2	-	0.19	0.33	0.24	0.14	0.19	0.19	0.17	7.2
5	4	6	6	6	2 < 3	45	0.16	0.27	0.22	0.14	-	-	-	6.3
5	4	6	6	6	3 - 5	45	0.14	0.19	0.18	0.14	-	-	-	6.3
5	4	6	6	6	10	36	0.14	0.18	0.18	0.14	-	-	-	6.3
5	4	6	6	6	15	35	0.14	0.23	0.24	0.14	-	-	-	6.3
5	4	6	6	6	20	35	0.17	0.30	0.31	0.14	-	-	-	6.3
5	4	6	6	6	25	35	0.21	0.37	0.38	0.14	-	-	-	6.3
5	4	6	6	6	30	35	0.25	0.44	0.45	0.14	-	-	-	6.3
5	5	8	7	6	< 2	_	0.19	0.35	0.26	0.14	0.19	0.19	0.17	7.8
5	5	6	6	6	2 < 3	45	0.14	0.29	0.24	0.14	-	-	-	6.9
5	5	6	6	6	3 - 5	45	0.14	0.21	0.20	0.14	-	-	-	6.9
5	5	6	6	6	10	45	0.14	0.19	0.20	0.14	-	-	-	6.9
5	5	6	6	6	15	36	0.14	0.24	0.25	0.14	-	-	-	6.9
5	5	6	6	6	20	35	0.15	0.31	0.32	0.14	-	-	-	6.9
5	5	6	6	6	25	35	0.18	0.38	0.39	0.14		-	-	6.9
5	5	6	6	6	30	35	0.21	0.46	0.47	0.14	-	-	-	6.9

1 For box length = 8'-0"

² AS1 thru AS4, AS7 and AS8 are minimum required areas of reinforcement per linear foot of box length. AS5 is minimum required area of reinforcement per linear foot of box width.

DATE: EII E:



FILL HEIGHT 2 FT AND GREATER

















WATER AND WASTEWATER UTI	CONCF	
RECORD COPY SIGNED	0/4/100	ADOPTED: 2/11
BY JAMES E. THOMPSON	2/11/86	SCALE: N.T.S.
APPROVED	DATE	INITIAL:

	INSTALLATION INSTRUC HDPE MANHOLE ADJUSTME (FOR NEW CONSTRUCTION AND F
	REMOVE EXISTING CASTING AND RINGS OR COVER PLA SURFACE MUST BE CLEAN AND LEVEL ±6 mm (1/4"). NOT IS IN VERY POOR CONDITION OR IRREGULAR, THE FIRS A HEAVY BED OF MORTAR ALLOWING IT AND SUBSEQU WOBBLE OR POINT-LOADING.
	POSITION STRAIGHT AND LEVEL TO DETERMINE HEIGH BEFORE PLACING RINGS.
	COMBINE VARIOUS RING HEIGHTS, IN BOTH FLAT AND S PLACE RINGS WITH INNER POCKET OPENING UP (OUTE THE INTERLOCKING LIP (MALE TONGUE) EXTENDS DOW MULTIPLE SLOPE RINGS CAN BE ADDED AND ROTATED 6 mm (1/4"). NOTE: SLOPE RINGS ARE TAPERED TO PRO REQUIRED, HDPE SHIMS (MAX. 6 mm (1/2") PER RING MA
	DRY STACK RINGS WITHOUT SEALANT TO ACHIEVE DES IF SLOPE RINGS ARE USED, MARK INNER FACE OF STOC ALIGNMENT WHEN RE-STACKING.
	REMOVE THE RINGS AND PLACE NEARBY IN UPSIDE-DC RE-ASSEMBLY IN THE CORRECT ORDER). APPLY A CON BUTYL SEALANT (SPL WW-703) TO THE FLAT SURFACE O MALE TONGUE THAT WILL REST AGAINST THE CONE OF SEALANT TO AFFECT A SEAL BETWEEN THE INTERLOCH RESTS ON.
	APPLY 13 mm (1/2") CONTINUOUS BEAD OF APPROVED E TO THE NEXT RING. THE SEALANT MUST BE APPLIED DI (MALE TONGUE) AND THE BOTTOM OF THE RING, FAVOI SEAL. PLACE THIS RING WITH THE INTERLOCKING LIP (N THE LOWER RING PREVIOUSLY INSTALLED. PRESS THE SEALANT. REMEMBER TO RE-ASSEMBLE THE RINGS US RING(S) CORRECTLY.
	REPEAT #6 ON ALL PRE-ASSEMBLED RINGS TO REACH I
	APPLY 13 mm (1/2") CONTINUOUS BEAD OF APPROVED E TO THE TOP OF THE UPPER RING.
	POSITION CASTING ON RING(S). PRESS THE CASTING FISEALANT.
).	BACKFILL TO RESTORE TO STD. DETAIL 1100S-1.
	RING MANUFACTURER MUST BE LISTED ON SPL WW-703
	FOR USE IN PAVED AREAS ONLY.

HEIC		CITY OF AUSTIN AUSTIN WATER UTILITY
THE ARCHI RESPONSIBIL OF	9Y 08/31/2011	RECORD COPY SIGNED E KATHI L FLOWERS









FULL DEPTH CONCRETE CONCRETE & H.M.A.C. & UNPAVED AREAS 3x3' MIN. CONC. PAVEMENT PATCH #5 BARS @ SURFACES ALL	LECKIPTION REVISION DESCRIPTION REVISION DESCRIPTION REVISION DESCRIPTION THIS DO LUS		
NOTES: SECTION A - A 1. SUB-GRADE/TRENCH BACKFILL SHALL BE COMPACTED AS PER ITEM 201S, SUB-GRADE PREPARATION. 2. TO ADJUST VALVE CASTINGS TO FINAL GRADE, REMOVE RISER PIPE BELOW SUB-GRADE AND INSTALL APPROPRIATE LENGTH OF NEW RISER PIPE TO ACHIEVE FINAL GRADE. CONNECT THE TWO PIECES OF RISER PIPE WITH A 6° COLLAR MIN. 12° LENGTH APPROXIMATELY CENTERED ON THE JOINT WITH THE TOP OF SLEEVE LOCATED ½" - 18° BELOW SUB-GRADE. THE INSIDE "LIP" OF COLLAR TO BE PAINTED WITH FLUORESCENT WHITE PAINT OR COVERED WITH FLUORESCENT WHITE TAPE. ALTERNATE: FOR OPTIONAL SINGLE PIECE RISER INSTALLATION SEE SHEET 4 OF 4.	R THI ABE IT IS NO CONSTF PEF	EVIEW UNDE E AUTHORITY A. SALINAS III LIC. # 105144 4/12/2023 OT TO BE USE RUCTION, BIDI RMIT PURPOS	R OF , P.E. ED FOR DING OR ES.
3. OLEAN VALVE BOX OF ALL DEBRIS DOWN TO THE NUT OF THE VALVE, NUT SHALL OPERATE WITH NO OBSTRUCTION 4. WHERE CASTNOS TO BE REMOVED REQUIRE EXAVATION GREATER THAN 20'DEEPCATE WITH NO BOSTRUCTION HERE CASTNOS TO BE REMOVED REQUIRE EXAVATION GREATER THAN 20'DEEPCATEWITH NUELO OF COMPACTED BACKFALL S. REINFORCING STEELS SHALL MEET SPEC. ITEM 4068.7. S. REINFORCING STEELS SHALL MEET SPEC. MEDITEM 1000000000000000000000000000000000000	CITY OF ROLLINGWOOD, TEXAS	CITY OF ROLLINGWOOD NIXON/PLEASANT DRAINAGE IMPROVEMENTS	WATER LINE DETAILS 2 OF 2
 SERVICE CLAMP SHALL BE WRAPPED COMPLETELY WITH 8 MIL. POLYETHYLENE FILM, SPL WW-27D. BRANCH CONNECTIONS AND ALL ANGLE METER STOPS MUST BE INSTALLED PRIOR TO ANY METER INSTALLATION. TOP OF METER BOXES SHOULD BE 4" ABOVE GROUND. PIPING AND TUBING IN STREET RIGHT-OF-WAY SHALL BE BEDDED IN GRANULAR MATERIALS AS REQUIRED BY SECTION 510.3 (14) OF THE CITY OF AUSTIN STANDARD SPECIFICATIONS; BACKFILL ABOVE GRANULAR BEDDING AS REQUIRED BY SECTION 510.3 (25). METER BOX MUST BE BEHIND CURB NEXT TO PROPERTY LINE OR EASEMENT AND OUT OF VEHICULAR TRAFFIC AREA AND SIDEWALK. BALL VALVE "D" SHALL NOT BE LOCATED UNDER SIDEWALK, CURB, OR PAVEMENT, AND NOT BE LOCATED MORE THAN 36" BELOW FINAL GRADE. METER SIZES TO BE SHOWN ON PLANS. METER BOX CUT OUTS SHALL NOT EXCEED TWO TIMES THE PIPE DIAMETER. 	REL 1120 S. Cap CityView 2, S Austin, Texa P - 512.338. TBPE Firm # www.kfriese	K+FRI + ASSOC PUBLIC PROJECT E ital of Texas Highway Suite 100 is 78746 1704 F - 512.338.178 #6535 .com	ESE IATES NGINEERING
 INSTALL METALLIC TRACER TAPE, SPL WW-597, MINIMUM 1' ABOVE TUBING FROM SERVICE CLAMP "A" TO BALL VALVE "D". TUBING SHALL BE PLACED IN A STRAIGHT ALIGNMENT AND ALLOWED TO RELAX AND "SNAKE" LOOSELY IN THE TRENCH. TUBING BEHIND CURB AND GUTTER SHALL BE INSTALLED WITH A MINIMUM 2' DEPTH OF COVER. 11. 1" TUBING, WHEN BENT, SHALL HAVE A RADIUS NO SMALLER THAN 3'. 2" TUBING, WHEN BENT, SHALL HAVE A RADIUS NO SMALLER THAN 5'. BRASS FITTINGS SHALL NOT BE CONNECTED TO A BENT SECTION OF TUBING. SOLID, TUBULAR STAINLESS STEEL INSERT STIFFENERS FOR HDPE TUBING SHALL BE USED AT ALL COMPRESSION FITTINGS. INSERT STIFFENERS SHALL BE FROM THE SAME MANUFACTURER AS THE COMPRESSION FITTING USED. FOR RECLAIMED WATER SERVICES AND METERS, ALL RECLAIMED TUBING SHALL BE MANUFACTURED SOLID PURPLE, SPL WW-65A. ALL APPURTENANCES SHALL BE MANUFACTURED PURPLE IF AVAILABLE. ALL FITTINGS THAT ARE NOT AVAILABLE FROM THE MANUFACTURER IN PURPLE SHALL BE PAINTED PURPLE PER SPL WW-3C. ALL METER BOX LIDS SHALL BE PURPLE AND HAVE "RECLAIMED WATER" CAST INTO THEM, SPL WW-145A. 	NOTES SURVEY DRAWN I DESIGNED CHECKED REVIEWED	BY AH BY AH BY LWM BY GE DBY PS	DATE 08/21 08/21 08/21 08/21 09/21
CITY OF AUSTIN AUSTIN WATER WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS DRAFT - NOTICE OF RULE ADOPTION ONLY JEFF A. KYLE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. STANDARD NO. 520-AW-01B 2 OF 2	WA502	2 37 0	DF 49

CITY OF AUSTIN		WATER SERV
AUSTIN WATER		1" -
DRAFT - NOTICE OF RULE ADOPTION ONLY		THE ARCHITECT/EN
JEFF A. KYLE	08/16/2019	RESPONSIBILITY F
	ADOPTED	USE OF THIS



NOTES:

- 1. REFERENCE LANDSCAPE SHEETS FOR PERMANENT EROSION CONTROLS.
- 2. CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK FENCING ALONG THE OF THE WORK AREA AT 303 NIXON DRIVE FOR THE DURATION OF THE PROJECT OR UNTIL NEW FENCING HAS BEEN INSTALLED TO SECURE THE BACKYARD PERIMETER AREA. ANY AREAS OR STRUCTURES DISTURBED BEYOND THESE LIMITS SHALL BE RESTORED TO THE SATISFACTION AND WITH NO ADDITIONAL COST TO THE CITY.
- 3. ALL TEMPORARY FENCING INSTALLED ALONG 303 NIXON DRIVE SHALL INCLUDE A 4' GATE. GATE COST IS INCLUDED IN THE LINEAR FOOT COST OF THE TEMPORARY FENCING.
- 4. IF IT IS DETERMINED BY THE CITY THAT THERE IS AN ADDITIONAL ENCROACHMENT OF OVERHEAD ELECTRIC LINES ONTO 305 NIXON DRIVE AS A RESULT OF THE RELOCATED AUSTIN ENERGY DISTRIBUTION POLE, THE ELECTRICAL SERVICE POLE LOCATED AT 303 NIXON DRIVE WILL BE RELOCATED. THE CITY WILL INSTRUCT THE CONTRACTOR TO MOVE THE SERVICE POLE TO A NEW LOCATION THAT WILL HELP MITIGATE THE ADDITIONAL ENCROACHMENT TO A CURRENT DEGREE OF ENCROACHMENT OR BETTER. THE CONTRACTOR SHALL CONSULT WITH THE PROPERTY OWNER AT 303 NIXON DRIVE TO RELOCATE THE POLE CLOSER TO THE FENCE LINE IN AN ACCEPTABLE LOCATION FOR ALL PARTIES THAT ACHIEVES THE GOAL OF THE RELOCATION.

STA SHOO KBERM	
	LEGEND
	[

	LIMITS OF CONSTRUCTION
—MSMS—	MULCH SOCK
- 	TEMP CHAIN LINK FENCE
—SFSF —	SILT FENCE
— TP — TP — TP —	TREE PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
—RBRB—	ROCK BERM
•	TREE
	TREE TO BE REMOVED

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REVISION DESCRIPTION									
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CITY OF ROLLINGWOOD, TEXAS									DOD NIXON-DI FASANT DRAINAGE IMDROVJEMENTS/DGN/SHEETS/0807-C-EV-DI AN DWG COA 22234 I ANDSCADE COA ESD STR
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NOTES:

- ROCK FILTER BERM SHALL BE EMBEDDED AND SECURED TO THE CHANNEL FLOOR TO PREVENT IT FROM WASHING AWAY DURING STORM EVENTS.
- 2. SIDE SLOPES OF ROCK FILTER BERM SHALL NOT EXCEED 4:1.

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LEGEND

	LIMITS OF CONSTRUCTION
— <i>M</i> S <i>M</i> S—	MULCH SOCK
—SFSF —	SILT FENCE
— TP — TP — TP —	TREE PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
—RBRB—	ROCK BERM
•	TREE
(p)	TREE TO BE REMOVED

Page 89





terra design group, inc. 2015 ne loop 410 san antonio, texas 78217 210.220.1400

wheard@terradesignsa.com

			8.
REVISION DESCRIPTION			
3Y DATE			-
Wall	LANDSCAPE ER H. AR 629 E OF TE 3.17.23		
CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT	PROPOSED DRAINAGE IMPROVEMENTS NIXON/PLEASANT DRAINAGE IMPROVEMENTS	TREE PRESERVATION	VANT DRIVE DRAINAGE IMPROVEMENTS/LAPL/PLANS/BASE NIXON PLEASANT DRAINAGE 3.1.23.DWG,, TDG MONO FULL CTB
R@LL	INGW	OOD TEXAS	AND PLEAS
1120 S. Ca CityView 2, Austin, Tex P – 512.33 TBPE Firm www.kfriese NOTES	K + FRI + ASSOC PUBLIC PROJECT pital of Texas H Suite 100 as 78746 i8.1704 F - 5 #6535 com NAME	ESE IATES engineering Highway 12.338.1784 DATE	P.K FRIESE/NIXON DRIVE
DRAWN B DESIGNED CHECKED	Y BY BY BY BY		17/2023 3.16 PM
		IORTH	3/:
TP01	1	OF 1	GAN HEARD

TRFF	INVENTORY	

	Species	Significa	nt Trees	Protectio
		6" - 2 Removed	3.99" Saved	Level
75458	Oak	T torrieved	8	Preserve
75459	Oak		10	Preserve
75460 75461	Oak Oak		6	Preserve
75462	Hackberry	6	0	Remove
75463	Oak		7	Preserve
75464	Oak Oak		10	Preserve
75465 75466	Oak Oak		14 6	Preserve
75467	Oak		8	Preserv
75468	Oak		8	Preserv
75469	Oak		8	Preserv
/54/0 75471	Oak Oak	8	15	Preserve
75472	Oak	10		Remove
75473	Oak	8		Remove
75474	Oak Usakharra	6		Remove
75475	Hackberry	0	8	Preserve
75477	Hackberry		8	Preserve
75478	Oak		16	Preserve
75479	Oak Oak		12	Preserve
75518	Oak Oak		10	Preserv
75711	Chinaberry	6		Remove
75712	Chinaberry	6		Remove
75713	Chinaberry	6		Remove
/5/14 75715	Hackberry Chinaberry	8		Remove
75716	Chinaberry	6		Remove
75718	Chinaberry	6		Remove
75719	Chinaberry	6		Remove
15/20 75721	Chinaberry	6		Remove
75722	Oak	0	6	Preserve
75723	Chinaberry		6	Preserve
75725	Chinaberry		6	Preserve
75726	Chinaberry	14	6	Preserve
75728 75728	Cedar Oak	14	16	Preserve
75729	Oak		16	Preserve
75734	Oak		6	Preserve
75736	Oak Oak	12	4.4	Remove
75993 75994	Oak Chinaberry	14	14	Preserve
75995	Chinaberry	10		Remove
75996	Oak		14	Preserve
75997	Oak		12	Preserve
75998 75999	Oak Oak		12	Preserve
76000	Oak		8	Preserve
76001	Oak		8	Preserve
76002	Chinaberry		8	Preserve
76006	Hackberry		12	Preserve
76007	Cedar		6	Preserve
76009	Cedar		8	Preserve
76010	Cedar		8	Preserve
76011	Oak Chinghorn(7	7	Preserve
76012	Chinaberry	9		Remove
76014	Chinaberry		14	Preserve
76015	Hackberry		14	Preserve
76016	Cedar		6	Preserve
76027	Oak Oak		18	Preserve
76029	Oak		18	Preserv
76030	Oak		8	Preserve
76031	Oak Oak		8	Preserve
76032	Oak Oak		8	Preserve
76041	Cedar	8	,	Remove
76042	Cedar	8		Remove
76043	Cedar	9		Remove
10044 76045	Hackberry	×	7	Present
76046	Tallow		6	Preserve
76047	Tallow		6	Preserve
76048	Tallow		15	Preserve
10049 76050	Tallow		13 7	Preserve
76051	Tallow		7	Preserve
76052	Tallow	7		Remove
76053	Cedar	7		Remove
10054 76055	Tallow	/ 7		Remove
76056	Tallow	9		Remove
76057	Oak		18	Preserve
76058	Tallow		18	Preserve
76060	Tallow Oak		19 x	Preserve
76061	Oak		9 9	Preserve
76062	Oak		12	Preserve
76063	Oak		12	Preserv
76064	Tallow	12		Remove
16065 76066	Tallow	8		Remove
76067	Oak		13	Preserve
76069	Oak		6	Preserve
76070	Oak		13	Preserv
76071	Oak		12	Preserve
700-	∪ak Oak		7 8	Preserve
76072	Jan	I	0 6	Preserve
76072 76073 76074	Oak		•	
76072 76073 76074	Oak			
76072 76073 76074 J.b. To	Oak Inches=	269	714	



100% SUBMITTAL Vallet PROPOSED DRAINAGE IMPROVEMENTS NIXON/PLEASANT DRAINAGE IMPROVEMENTS PRESERVATION F ROLLINGWOOD, ⁻ PUBLIC WORKS DEPARTMENT ш LL_ TRE O CITY R**@**LLINGWOOD — TEXAS — **K•FRIESE** + ASSOCIATES UBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm **#**6535 www.kfriese.com NOTES NAME DATE SURVEY BY DRAWN BY DESIGNED BY CHECKED BY **REVIEWED BY** 0' 5' 10' **NORTH** TP02 1 OF 1

terra design group, inc. 2015 ne loop 410 san antonio, texas 78217 210.220.1400 wheard@terradesignsa.com



AS NECESSARY TO MEET THE ENGINEER'S DRAINAGE REQUIREMENTS.

PLA	NTL	IST						
		COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
TREES								
22	3	REDBUD	CERCIS CANADENSIS	2" CAL.	6'-8'	4'-6'	PER PLAN	CONTAINER, STANDAR
DT	1	TEXAS PERSIMMON	DIOSPYROS TEXANA	2" CAL.	6'-8'	4'-6'	PER PLAN	CONTAINER, STANDAR
IV	1	YAUPON HOLLY	ILEX VOMITORIA	2" CAL.	6'-8'	4'-6'	PER PLAN	CONTAINER
SHRUBS	۱ -							
DW	13	SOTOL	DASYLIRION WHEELERI	IO GAL.	3'-4'	FULL	PER PLAN	FULL
FP	4	CLIMBING FIG	FICUS PUMILA	I GAL.	12"	FULL	PER PLAN	FULL
LM	14	TRAILING LANTANA	LANTANA MONTEVIDENSIS	I GAL.	16"	FULL	PER PLAN	FULL, PURPLE
ML	7	MUHLY GRASS	MUHLENBERGIA LINDHEIMERI	5 GAL.	2'-3'	FULL	PER PLAN	FULL
NT	38	TEXAS FEATHERGRASS	NASSELLA TENUISSIMA	I GAL.	12"	FULL	PER PLAN	FULL
RO	9	ROSE	ROSE SPECIES	5 GAL.	2'-3'	FULL	PER PLAN	FULL
MISCELI	LANEOUS							
	5,626	ZOYSIA GRASS OR MATCH EXISTING PRIVATE GRASS	ZOYSIA JAPONICA	SOLID SO	PD.			
	6,931	NATIVE GRASSES (S.F.)		20 BULK SEED CON NATIVE A SWITCHGR OCTOBER CEREAL R GEO-GRIL 6" OF SUF EQUAL.	POUNDS OF MPANY, 20 E MERICAN SE RASS, ALL PI -FEBRUARY, RYE PER AC 2 4" DEPTH / PERIOR SOIL	DAM SLOP BULK POUND ED COMPAI ER ACRE. I THE CONTR RE TO THE AND WIDTH AS PROVII	E MIX' AS PRO S OF 'DRAINF NY AND 0.5 P F THIS SEEDII RACTOR SHAL MIX (COOL SE OF CHANNEL DED BY GARL	OVIDED BY NATIVE AME ILED MIX' AS PROVIDEI OUNDS OF PURE LIVE SI NG OCCURS BETWEEN L ADD 50 BULK POUND EASON COVER CROP). FLOOR. PROVIDE MININ DENVILLE, OR APPROVE
	928	MULCH (S.F.)		CRUSHED BELOW.	LIMESTONE,	4" DIAMETE	ER WITH HEAV	Y DUTY FILTER FABRIC

Page 93



		/ / /					*			
PLA	NTL	IST //					/			
		COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS		
TREES			/ /)					
cć	3 🦯	REDBUD	CERCIS CANADENSIS	2" CAL.	6'-8'	4'-6'	PER PLAN	CONTAINER, STANDARD		
DT	1	TEXAS PERSIMMON	DIOSPYROS TEXANA	2" CAL.	6'-8'	4'-6'	PER PLAN	CONTAINER, STANDARD		
		YAUPON HOLLY	ILEX VOMITORIA	2" CAL.	6'-8'	4'-6'	PER PLAN	CONTAINER		
SHRUBS	- 									
ÐŴ	13	SOTOL	DASYLIRION WHEELERI	IO GAL.	3'-4'	FULL	PER PLAN	FULL		
FP	4	CLIMBING FIG	FICUS PUMILA	I GAL.	12"	FULL	PER PLAN	FULL		
LM	14	TRAILING LANTANA	LANTANA MONTEVIDENSIS	I GAL.	16"	FULL	PER PLAN	FULL, PURPLE		
ML	7/	MUHLY GRASS	MUHLENBERGIA LINDHEIMERI	5 GAL.	2'-3'	FULL	PER PLAN	FULL		
NT	38	TEXAS FEATHERGRASS	NASSELLA TENUISSIMA	I GAL.	12"	FULL	PER PLAN	FULL		
RO	9 /	ROSE	ROSE SPECIES	5 GAL.	2'-3'	FULL	PER PLAN	FULL		
MISCEL	LANEOUS									
XXX	5,626	ZOYSIA GRASS OR MATCH	ZOYSIA JAPONICA	SOLID SOD.						
$\langle X \rangle$	/	EXISTING PRIVATE GRASS								
	6,931 NATIVE GRASSES (S.F.)				20 BULK POUNDS OF 'DAM SLOPE MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY, 20 BULK POUNDS OF 'DRAINFILED MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY AND 0.5 POUNDS OF PURE LIVE SEED OF SWITCHGRASS, ALL PER ACRE. IF THIS SEEDING OCCURS BETWEEN OCTOBER-FEBRUARY, THE CONTRACTOR SHALL ADD 50 BULK POUNDS OF					
				CEREAL RY GEO-GRID 4 6" OF SUPEI EQUAL.	E PER ACR 4" DEPTH AI RIOR SOIL /	e to the 1 ND WIDTH (As provid	MIX (COOL SE OF CHANNEL F DED BY GARD	ASON COVER CROP). INSTALL FLOOR. PROVIDE MINIMUM OF PENVILLE, OR APPROVED		
	928	MULCH (S.F.)		CRUSHED LI BELOW.	MESTONE, 4	" DIAMETE	R WITH HEAV	Y DUTY FILTER FABRIC		
		<i>«</i>								



- LANDSCAPE WALL (4'-0" - 8'-0" TALL), REF. DTL. 2/LDOI. (TYP.). COORDINATE INTERFACE OF LANDSCAPE WALL WITH THE EXISTING WING WALLS ON BOTH SIDES OF DRAINAGE CULVERT WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION .. (TYP.).

LANDSCAPE NOTES:

1. ALL PLANT MATERIAL IS TO MEET THE MINIMUM STANDARDS AS PER THE 'AMERICAN STANDARD FOR NURSERY STOCK' AS PROVIDED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (AMERICAN HORTICULTURE INDUSTRY ASSOCIATION).

2, CONTRACTOR TO VERIFY QUANTITIES ON PLANS.

. THE CONTRACTOR SHALL HAVE ALL PLANT MATERIAL SPOTTED AND APPROVED BY LANDSCAPE ARCHITECT, PARK'S STAFF, OWNER AND/OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

4. THE CONTRACTOR SHALL SEED AND ESTABLISH ALL DISTURBED AREAS WITH 20 BULK POUNDS OF 'DAM SLOPE MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY, 20 BULK POUNDS OF 'DRAINFILED MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY AND 0.5 POUNDS OF PURE LIVE SEED OF SWITCHGRASS, ALL PER ACRE. IF THIS SEEDING OCCURS BETWEEN OCTOBER-FEBRUARY, THE CONTRACTOR SHALL ADD 50 BULK POUNDS OF CEREAL RYE PER ACRE TO THE MIX (COOL SEASON COVER CROP). AREAS SHOWN WITH SOD DO NOT REQUIRE SEEDING.

5. ALL PLANTING BEDS ARE TO BE SEPARATED FROM TURF AND NATIVE GRASS/TURF AREAS WITH STEEL EDGING. STEEL EDGING TO BE 6" TALL X 1/4" THICK.

6. THE CONTRACTOR SHALL STAKE LOCATIONS OF PROPOSED TREES IN FIELD FOR REVIEW AND APPROVED BY LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

7. THE PLANT MATERIAL (SHRUBS AND NON-TREE PLANTS) FOR THIS PROJECT, IS TO BE PLANTED ON A 2'-6" GRID. THE GRID IS NOT PLANTED SOLID BUT AS SHOWN IN THE LANDSCAPE LAYOUT.

8. THE PLANTING BEDS ARE TO BE MULCHED WITH CRUSHED LIMESTONE, 4" DIAMETER. PROVIDE HEAVY DUTY FILTER FABRIC BELOW THE PINK GRANITE.

9. FOR THE AREAS THAT REQUIRE SOD OR SEEDING, 4" OF TOPSOIL ARE TO BE PROVIDED. THE TOPSOIL IS TO BE 'SUPERIOR SOIL' AS PROVIDED BY GARDEN-VILLE OR APPROVED EQUAL. IF EXISTING SITE SOIL IS APPROVED BY THE LANDSCAPE ARCHITECT AND USED FOR THE SOD AND/OR SEED AREAS, THE EXISTING SOIL IS TO BE AMENDED WITH 2" OF COMPOSTED, LIGHTLY TILLED INTO THE TOP 4" OF THE SOIL. THE COMPOST IS TO BE 'ECO THRIVE' AS PROVIDED BY GARDEN-VILLE OR APPROVED EQUAL.

10. ALL SOIL MEDIA AND MULCH ARE TO BE CLEAN AND FREE OF WEEDS AND UNWANTED GRASSES.

11. THE ZOYSIA SOD MAY REQUIRE A LONG LEAD TIME. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ORDER AND SECURE SOD FOR THIS PROJECT IN A TIMELY MANNER TO MEET SUBSTANTIAL COMPLETION. THIS MAY REQUIRE ORDER/COORDINATION WITH THE SOD FARM AT THE START OF THE PROJECT. EXTENSION OF CONSTRUCTION TIME WILL NOT BE ACCEPTABLE WITHOUT WRITTEN DOCUMENTATION OF EARLY COORDINATION WITH THE SOD FARM(S).

12. CONTRACTOR TO WATER ALL LANDSCAPE IMPROVEMENTS FOR THREE (3) MONTHS TO THE EQUIVALENT OF 1" OF WATER PER WEEK OR AS NEEDED FOR VEGÈTATION/PLANT ESTABLISHMENT.

13. LANDSCAPE WALLS AND BOULDERS ARE TO BE PLACED TO MEET THE DRAINAGE REQUIREMENTS AS SHOWN IN THE ENGINEER'S SHEETS. LANDSCAPE WALL AND BOULDER ALIGNMENTS MAY BE MODIFIED WITH COORDINATION WITH THE OWNER'S REPRESENTATIVE AS NECESSARY TO MEET THE ENGINEER'S DRAINAGE REQUIREMENTS.



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210.220.1400 wheard@terradesignsa.com

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REV. BY DATE REVISION DESCRIPTION			
100%	SUBINI LANDSCADE ER H. 4 629 E OF TE 3.17.23		
CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT	PROPOSED DRAINAGE IMPROVEMENTS NIXON/PLEASANT DRAINAGE IMPROVEMENTS	LANDSCAPE LAYOUT	3ant drive drainage improvements\Lapl\plans\Base nixon pleasant drainage 3.1.23.DWG,, TDG MONO FULL.CTB
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STRUCTURAL NOTES:

GEN	ERAL	NOTES

	NOTES.	
DES	IGN CODES/STANDARI	DS
CON REG DOC CON	ISTRUCTION SHALL CO GULATIONS AND GENEF CUMENTS. THE PROJEC ISTRUCTED IN ACCORI	ONFORM TO ALL APPLICABLE CODES, RAL CONDITIONS OF THE CONTRACT OT HAS BEEN DESIGNED AND SHALL BE DANCE WITH THE FOLLOWING:
A.	INTERNATIONAL BUIL ADOPTED BY THE CIT	DING CODE (IBC), 2018 EDITION AS 'Y.
В.	BUILDING CODE REQU CONCRETE (ACI 318-1	JIREMENTS FOR STRUCTURAL 4) AND COMMENTARY (ACI 318R-14)
DES THE FOL	IGN LOADS STRUCTURAL DESIGN LOWING DESIGN CRIT	N WAS PREPARED USING THE ERIA:
LOA REII	D COMBINATION NF. CONCRETE	LOAD AND RESISTANT FACTOR DESIGN

WIND LOADS: RISK CATEGORY BASIC WIND SPEED EXPOSURE CATEGORY ENCLOSURE CLASSIFICATION MEAN ROOF HEIGHT	II 115 MPH ULTIMATE C OPEN VARIES
GROUND SNOW LOAD	5 PSF
SEISMIC LOAD: IMPORTANCE FACTOR SITE CLASS Ss, S1 SDS, SD1 SEISMIC DESIGN CATEGORY	1.0 C 0.107g, 0.03g 0.086 sec, 0.034 sec A
METHODS, PROCEDURES AND SEQUENCES OF	CONSTRUCTION

- ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
- STRUCTURAL MEMBERS HAVE BEEN LOCATED AND DESIGNED TO ACCOMMODATE THE MECHANICAL EQUIPMENT AND OPENINGS SPECIFIED BY THE MECHANICAL CONSULTANT. ANY SUBSTITUTION RESULTING IN REVISIONS TO THE STRUCTURE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH UNINTECH CONSULTING ENGINEERS, INC.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL DETERMINE THE SCOPE OF THE STRUCTURAL WORK FROM THE CONTRACT DOCUMENTS TAKEN AS A WHOLE. THE STRUCTURAL DRAWINGS SHALL NOT BE CONSIDERED SEPARATELY FOR PURPOSES OF BIDDING THE STRUCTURAL WORK. DUE CONSIDERATION SHALL BE GIVEN TO OTHER STRUCTURAL WORK OR WORK RELATED TO THE STRUCTURE, INCLUDING NECESSARY COORDINATION DESCRIBED OR IMPLIED BY THE ARCHITECTURAL AND MECHANICAL DRAWINGS.
- THE REPRODUCTIVE USE OF THE STRUCTURAL CONTRACT DOCUMENTS OR ELECTRONIC FILES AS STRUCTURAL SHOP DRAWING DOCUMENTS BY THE CONTRACTOR OR SUB-CONTRACTOR IS AT THEIR OWN RISK. UNINTECH CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY AS THE RESULT OF THE REPRODUCTIVE USE OF THE STRUCTURAL CONTRACT DOCUMENTS FOR SHOP DRAWINGS.
- SCALES NOTED ON THE DRAWINGS ARE FOR GENERAL REFERENCE ONLY. NO DIMENSIONAL INFORMATION SHALL BE OBTAINED BY DIRECT SCALING OF THE DRAWINGS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL RESULTING REVISIONS TO THE STRUCTURAL SYSTEM OR OTHER TRADES AS A RESULT OF ACCEPTANCE OF CONTRACTOR PROPOSED ALTERNATIVE OR SUBSTITUTIONS.
- PRINCIPAL OPENINGS IN THE STRUCTURE ARE INDICATED ON THE CONTRACT DOCUMENTS, REFER TO ARCHITECTURAL, MECHANICAL ELECTRICAL AND PLUMBING DRAWINGS FOR SLEEVES, CURBS, INSERTS ETC. NOT HEREIN INDICATED. OPENINGS IN SLAB WITH A MAXIMUM SIDE DIMENSION OR DIAMETER OF 12 INCH OR LESS SHALL NOT REQUIRE ADDITIONAL FRAMING OR REINFORCEMENT, UNLESS NOTED OTHERWISE. THE LOCATION OF SLEEVES OR OPENINGS IN STRUCTURAL MEMBERS SHALL BE SUBMITTED TO UNINTECH CONSULTING ENGINEERS, INC. FOR REVIEW.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS WHICH WILL AFFECT 10. THE FABRICATION OF COMPONENTS FOR NEW CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION. THESE DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. ANY DISCREPANCIES NOTED SHALL BE CONVEYED TO ARCHITECT AND ENGINEER PRIOR TO STARTING WORK. IGNORANCE OF CONDITIONS IS NOT A BASIS FOR A CLAIM OF ADDITIONAL COMPENSATION.
- 11. CONTRACTOR IS REQUIRED TO CORRECT AT HIS OWN EXPENSE ANY CONSTRUCTION DAMAGE, STRUCTURE DAMAGE OR OTHER OBJECTIONABLE CONDITIONS CAUSED BY HIS OPERATIONS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS (FABRICATION, 12 MANUFACTURING, ERECTION AND SETTING DRAWINGS), SAMPLES, TEST REPORTS AND PRODUCT DATA RELATED TO STRUCTURAL DOCUMENTS FOR ENGINEERS REVIEW. NO WORK SHALL START UNTIL APPROVAL FROM ENGINEER.
- 13. A QUALIFIED INDEPENDENT TESTING LABORATORY SHALL PERFORM RETESTING WHEN WORK DOES NOT COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- 14. STRUCTURAL NOTES APPLY UNLESS OTHERWISE NOTED ON STRUCTURAL DRAWINGS. IN CASE OF CONFLICT, GREATER REQUIREMENTS GOVERN.
- 15. ALL UTILITIES CONNECTED TO BUILDING SHALL ALLOW FOR MOVEMENT DUE TO EXPANSIVE SUBGRADE. MOVEMENT CAN BE ACHIEVED BY USING SLEEVE JOINTS, BENDS, LOOPS AND OTHER SIMILAR DEVICES.
- 16. USE THE MANUFACTURER'S CERTIFIED DRAWINGS AND SPECIFICATIONS FOR THE EQUIPMENT ANCHORAGE AND DETAILS.

SUBGRADE AND BACKFILL:

THE SUBSURFACE INFORMATION AND THE FOUNDATION DESIGN AND CONSTRUCTION GUIDELINES ARE BASED ON A REPORT PREPARED BY RABA KISTNER, DATED SEPTEMBER 26, 2021 (REPORT NO. AAA20-086-00). THE CONTRACTOR SHALL PERFORM EXCAVATIONS AND PREPARATION OF THE SUBGRADE UNDER THE FOUNDATION IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THIS SECTION. CONTRACTOR SHALL BECOME FAMILIAR WITH THE GEOTECHNICAL REPORT.

THE AREA OF PROPOSED CONSTRUCTION MAY CONTAIN VARIOUS BURIED UTILITIES OR OLD FOUNDATIONS. AS SUCH, ALL UTILITIES AND FOUNDATIONS SHOULD BE LOCATED PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK. ALL FOUNDATIONS SHOULD BE REMOVED AS PART OF THE DEMOLITION ACTIVITIES ASSOCIATED WITH THE PROJECT. ANY UTILITIES NOT PLANNED TO REMAIN IN-PLACE SHOULD BE REMOVED AND BACKFILLED DURING THE EARTHWORK OPERATIONS.

BEFORE CONSTRUCTION STARTS, PERFORM ROUGH GRADING AND CUT SWALES SO THAT GROUNDS WILL DRAIN AWAY FROM THE STRUCTURE SITE. MAINTAIN DRAINAGE DURING ALL PHASES OF CONSTRUCTION SO THAT STORM WATER WILL DRAIN AWAY FROM THE SITE. KEEP EXCAVATIONS PUMPED FREE OF STORM WATER AT ALL TIMES.

CONCRETE:

CONCRETE IN THE FOLLOWING AREAS SHALL HAVE NATURAL SAND FINE AGGREGATE AND NORMAL WEIGHT COARSE AGGREGATE CONFORMING TO ASTM 33, TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150, AND SHALL HAVE THE FOLLOWING CYLINDER COMPRESSIVE STRENGTH (fc') AT 28 DAYS:

CONT. FOOTING WALLS

- FLY ASH MAY BE USED AS A POZZOLAN TO REPLACE A PORTION OF THE PORTLAND CEMENT IN A CONCRETE MIX SUBJECT TO THE APPROVAL OF THE GENERAL CONTRACTOR AND THE STRUCTURAL ENGINEER. FLY ASH WHEN USED SHALL CONFORM TO ASTM C618, TYPE C OR F. CONCRETE MIXES USING FLY ASH SHALL BE PROPORTIONED TO ACCOUNT FOR THE PROPERTIES OF THE SPECIFIC FLY ASH USED AND TO ACCOUNT FOR THE SPECIFIC PROPERTIES OF THE FLY ASH CONCRETE THUS RESULTING. THE RATIO OF THE AMOUNT OF FLY ASH TO THE TOTAL AMOUNT OF FLY ASH AND CONCRETE IN THE MIX SHALL NOT EXCEED 25 PERCENT.
- GROUT FOR BASE PLATES SHALL BE NON-SHRINKABLE, NON-METALLIC 3. CONFORMING TO ASTM C827, AND SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS OF 5,000 PSI. PREGROUTING OF BASE PLATES WILL NOT BE PERMITTED.
- DETAILING OF CONCRETE REINFORCEMENT BARS AND ACCESSORIES SHALL CONFORM TO THE RECOMMENDATIONS OF ACI 315 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT: AND ACI SP-66 " DETAILING MANUAL". PLACING OF REINFORCING BARS SHALL CONFORM TO THE RECOMMENDATIONS OF ACI315R "MANUAL OF ENGINEERING AND PLACING DRAWINGS FOR REINFORCED CONCRETE STRUCTURES: AND CRSI "MANUAL OF STANDARD PRACTICE".
- 5. MIXING, TRANSPORTING AND PLACING OF CONCRETE SHALL CONFORM TO ACI 301.
- MINIMUM CONCRETE COVER PROTECTION FOR REINFORCEMENT BARS SHALL BE AS FOLLOWS: (SEE ACI 318, SECTION 20.6 FOR CONDITIONS NOT NOTED).

CONCRETE EXPOSED TO WEATHER OR IN (
#5 BARS AND SMALLER
#6 BARS AND LARGER
CONCRETE CAST AGAINST EARTH &
PERMANENTLY IN CONTACT WITH GROUN
CONCRETE NOT EXPOSED TO WEATHER OF
SLAB & WALLS

PROVIDE STANDARD BAR CHAIRS AND SPACERS AS REQUIRED TO MAINTAIN CONCRETE PROTECTION SPECIFIED.

7. CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.

BEAMS...

- REINFORCEMENT BARS SHALL NOT BE TACK WELDED, HEATED OR CUT UNLESS INDICATED ON THE CONTRACT DOCUMENTS OR REVIEWED BY THE STRUCTURAL ENGINEER.
- REINFORCEMENT DESIGNATED AS "CONTINUOUS" MAY BE SPLICED USING TYPE "B" 9. SPLICES. REINFORCEMENT BAR SPLICE LENGTHS IN BEAMS WHICH ARE LOCATED AT THE CENTERLINE OF SUPPORT FOR BOTTOM BARS AND AT MIDSPAN FOR TOP BARS MAY BE 36 BAR DIAMETERS, UNLESS NOTED OTHERWISE. PROVIDE STANDARD ACI HOOKS FOR TOP AND BOTTOM BARS AT DISCONTINUOUS ENDS OF ALL GRADE BEAMS.
- 10. REINFORCEMENT BARS INDICATED ON THE CONTRACT DOCUMENTS AS MECHANICAL SPLICES SHALL BE MADE USING A MECHANICAL CONNECTION CAPABLE OF TRANSFERRING IN TENSION OR COMPRESSION, AS REQUIRED, A MINIMUM OF 125 PERCENT OF THE SPECIFIED YIELD STRENGTH OF THE REINFORCEMENT BARS SPLICED. THE MECHANICAL CONNECTOR TO BE USED SHALL BE SUBMITTED TO UNINTECH CONSULTING ENGINEERS, INC FOR APPROVAL.
- 11. HORIZONTAL FOOTING AND HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90-DEGREE BENDS AND EXTENSIONS, OR CORNER BARS OF EQUIVALENT SIZE LAPPED 36 BAR DIAMETERS, AT CORNERS AND INTERSECTIONS.

..4.000 PSI ...4,000 PSI

- CONTACT WITH GROUND1 1/2 INCHES
-2 INCHES
- ID......3 INCHES
- R IN CONTACT WITH GROUND ...3/4 INCHES ..1 1/2 INCHES

CONCRETE MASONRY NOTES:

- 1. MASONRY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ACI 530 "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY CONSTRUCTION" AND ACI 530.1 "SPECIFICATIONS FOR MASONRY STRUCTURES". REFER TO SHEET S-5.2 FOR TYPICAL DETAIL.
- 2. CONCRETE MASONRY CONSTRUCTION SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'm) OF 1,500 PSI ON THE NET CROSS SECTIONAL AREA AT 28 DAYS.
- 3. MASONRY UNITS SHALL BE GRADE N, TYPE 1, MEDIUM WEIGHT OR NORMAL WEIGHT HOLLOW CONCRETE UNITS MEETING FIRE RATING REQUIREMENTS AND CONFORMING TO THE REQUIREMENTS OF ASTM C90. MASONRY UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI ON THE NET AREA AT 28 DAYS, BUT NOT LESS THAT THE REQUIRED STRENGTH TO PRODUCE THE MINIMUM MASONRY STRENGTH (F'm). MASONRY UNITS SHALL NOT BE INSTALLED PRIOR TO ATTAINING THE REQUIRED 28 DAY STRENGTH.
- 4. MORTAR SHALL CONFORM TO THE REQUIREMENTS OF ASTM C270, TYPE M OR S. TYPE M MORTAR SHALL BE USED IN BELOW GRADE APPLICATIONS AND SHALL OBTAIN AN AVERAGE COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS. TYPE S MORTAR MAY BE USED IN ABOVE GRADE APPLICATIONS AND SHALL OBTAIN AN AVERAGE COMPRESSIVE STRENGTH OF 1,800 PSI AT 28 DAYS. THE SAME MORTAR SHALL BE USED FOR WITHES OF CAVITY WALL CONSTRUCTIONS.
- 5. GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A COMPRESSIVE STRENGTH OF 2,000 PSI AT 28 DAYS.
- 6. REINFORCEMENT SHALL CONFORM TO THE STANDARDS SPECIFIED IN THE CONCRETE STRUCTURAL NOTES. REINFORCEMENT SHALL BE LAP SPLICED A MINIMUM OF 36 BAR DIAMETERS, UNLESS NOTED OTHERWISE.
- 7. PROVIDE 2-#5 CONTINUOUS IN BOND BEAMS UNLESS INDICATED OTHERWISE. PROVIDE CORNER BARS OF EQUIVALENT SIZE LAPPED AT CORNERS AND INTERSECTION OF WALLS. BOND BEAM REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTROL JOINT.
- 8. MASONRY CORES CONTAINING VERTICAL REINFORCEMENT SHALL BE GROUTED SOLID.
- 9. FOR LIFTS GREATER THAT 4 FEET, HIGH LIFT GROUTING TECHNIQUES SHALL BE UTILIZED.
- 10. PROVIDE 1-#5 VERTICAL AT ENDS, CORNERS AND INTERSECTIONS OF WALLS.
- 11. CELLS TO BE GROUTED SHALL BE CLEANED AND FREE OF EXCESS MORTAR AND FOREIGN MATERIALS.
- 12. IN CONCRETE SUPPORTING MASONRY WALLS, EMBED DOWELS TO MATCH SIZE AND LOCATION OF VERTICAL MASONRY REINFORCEMENT. EMBEDMENT DEPTH SHALL BE TO BOTTOM REINFORCEMENT OF CONCRETE. WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CELL TO BE REINFORCED, IT SHALL NOT BE BENT OVER, BUT SHALL BE GROUTED INTO THE CELL IN DIRECT VERTICAL ALIGNMENT, EVEN THOUGH IT IS ADJACENT TO VERTICAL WALL REINFORCING.
- 13. LINTELS SHALL BEAR ON MASONRY WALLS A MINIMUM OF 8" AT EACH END. FOR CMU WALLS, PROVIDE TWO GROUTED CORES EACH SIDE OF OPENING FULL HEIGHT OF WALL AND REINFORCE EACH OF THE TWO GROUTED CORES WITH 1-#5 VERTICAL EXTENDING FROM THE FOUNDATION TO THE POINT OF LATERAL SUPPORT FOR THE WALL ABOVE THE LINTEL LOCATION.
- 14. TEMPORARY SHORING OF LINTELS MUST BE PROVIDED UNTIL MASONRY HAS CURED. EDGES OF MASONRY OPENINGS SHALL NOT BE LOCATED CLOSER THAT 50% OF THE LINTEL SPAN FROM ENDS OR CORNERS OF WALLS OR MASONRY CONTROL JOINTS.
- 15. PROVIDE HORIZONTAL BOND BEAMS AT 4'-0" O.C., REINFORCE AS NOTED ABOVE, IN ALL MASONRY WALLS.
- 16. HORIZONTAL JOINT REINFORCEMENT SHALL BE USED IN THE MASONRY CONSTRUCTION. SUCH JOINT REINFORCEMENT SHALL BE PLACED AT 8" O.C. VERTICALLY IN WALLS BELOW GRADE AND AT 16 INCHES O.C. VERTICALLY IN WALLS THAT ARE ABOVE GRADE. HORIZONTAL JOINT REINFORCEMENT SHALL BE FABRICATED FROM GALVANIZED COLD-DRAWN STEEL WIRE CONFORMING TO ASTM A82. REINFORCEMENT SHALL CONSIST OF TWO OR MORE SMOOTH OR DEFORMED LONGITUDINAL WIRES NO. 9 GAGE OR LARGER, WELD CONNECTED WITH NO.12 GAGE OR LARGER CROSS WIRES. GALVANIZE COATING SHALL CONFORM TO ASTM A116 AND SHALL BE APPLIED AT A WEIGHT OF NOT LESS THAT 1.5 OUNCES PER SQUARE FOOT OF UNCOATED WIRE SURFACE. THE OUT TO OUT SPACING OF THE LONGITUDINAL WIRES SHOULD BE 1-5/8 INCHES LESS THAN THE WIDTH OF THE MASONRY UNIT. THE DISTANCE BETWEEN THE WELDED CONTACTS OF THE CROSS WIRES WITH EACH LONGITUDINAL WIRE SHOULD NOT EXCEED 6 INCHES AND 16 INCHES FOR SMOOTH AND DEFORMED LONGITUDINAL WIRES RESPECTIVELY. HORIZONTAL JOINT REINFORCEMENT SHALL BE DISCONTINUOUS THROUGH CONTROL JOINTS.
- 17. CONTROL JOINTS SHALL BE PLACED IN THE MASONRY CONSTRUCTION SUCH THAT THE PANEL LENGTH TO HEIGHT RATIO OF THE WALL DOES NOT EXCEED 1.5, AND THAT THE MAXIMUM PANEL LENGTH DOES NOT EXCEED 25 FEET. ADDITIONAL JOINTS SHALL BE PLACED WHERE ABRUPT CHANGES IN WALL SECTION OCCURS.
- 18. MASONRY CONSTRUCTION SHALL BE INSPECTED DURING VARIOUS WORK STAGES BY A QUALIFIED SPECIAL INSPECTOR. INSPECTION SHALL INCLUDE CHECKING FOR COMPLIANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, INCLUDE, BUT NOT LIMITED TO RECORDING OF THE FOLLOWING:
- QUALITY AND TESTING OF MASONRY UNITS AND Α.
- MATERIALS FOR PROPORTIONING, MIXING AND CONSISTENCY OF MORTAR В.
- AND GROUT PROPORTIONING, MIXING AND CONSISTENCY OF MORTAR C.
- AND GROUT. CONDITION, GRADE, SIZE, SPACING AND PLACEMENT OF D.
- REINFORCING STEEL INSPECTION OF GROUT SPACING IMMEDIATELY PRIOR TO
- CLOSING OF CLEANOUT.
- SIGNIFICANT OR UNUSUAL CONSTRUCTION LOADS ON MASONRY ELEMENTS.
- WHEN AMBIENT TEMPERATURE FALLS BELOW 40 G. DEGREES F OR RISES ABOVE 100 DEGREES F, A COMPLETE RECORD OF WEATHER CONDITIONS AND OF RECONDITIONING AND PROTECTION GIVEN TO MASONRY MATERIALS, AND PROTECTION AND CURING OF COMPLETE WORK. SHALL BE MAINTAINED. GENERAL PROGRESS OF WORK.



ENGINEERS, INC. TBPE REG. NO. F-5499

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2431 EAST EVANS ROAD

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NOTES: 1. ACTUAL WIDTHS OF WALLS MAY VARY BASE ON FIELD CO OF WALL CAP TO BE 24". COORDINATE WITH OWNER'S REPR LAYOUT IN FIELD PRIOR TO CONSTRUCTION.

2. FOOTING MAY VARY IF BEDROCK IS ENCOUNTERED, COOR REPRESENTATIVE.

3. PROVIDE FOOTING AND WALL EXPANSION JOINTS AT 80'-EXPANSION JOINT LOCATIONS WITH OWNER'S REPRESENTATIVE FOOTING AND WALL. EXPANSION JOINT DOES NOT HAVE TO (BOULDERS.

FINISH GRADE. SLOPE AWAY FROM DRAINAGE AWAY FROM AND AROUND GRADING WITH OWNER'S REPRESENT VEGETATION. WALL CAP. CAP TO BE LUEDERS SIZED APPROXIMATELY 12" TALL X 9• P CAREFULLY STACK AND PLACE BOU STAGGERED BOND. CHINK BETWEEN AND GROUT ALL VOIDS SPACES. - **e** LIMESTONE BOULDERS. BOULDERS SHELF BOULDER, SIZED APPROXIMA X 6'-0" LONG. MINIMUM SIZE TO E 4'-6" LONG. CAREFULLY STACK AN TIGHT STAGGERED BOND. BANTER 3"-6" EACH COURSE. MAXIMUM NU FOUR (4), INCREASE BOULDER THIC BETWEEN BOULDERS AS NECESSARY SPACES. BOULDERS SHALL CONCEAL INCLUDING ENDS. - SELECT FILL, WRAPPED WITH GEOTE> ENDS BY 12". - REFER TO TX-DOT SHEETS FOR WAL WEEP HOLE, 2" DIAMETER PVC PIPE, 1414+17 WITH GROUT AT FACE OF WALL TO REFER TO TX-DOT SHEETS FOR FOC UNDISTURBED SOIL OR FILL COMPAC - FINISH GRADE. SLOPE AWAY FROM DRAINAGE. ESTABLISH VEGETATION. $(2) \underbrace{\text{SECTION} : \text{LANDSCAPE WALL } (4'-0'' - 8'-0'' \text{ TALL}}_{\text{Scale: 3/4" = 1'-0"}}$

<u>ر____1'-0"___</u>







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ONDITIONS. MINIMUM WIDTH RESENTATIVE BOULDER	
RDINATE WITH OWNER'S	
–O" O.C COORDINATE E PRIOR TO INSTALLATION OF CARRY THROUGH THE	
/ WALL FOR POSITIVE ND WALL. COORDINATE TATIVE IN FIELD. ESTABLISH	
LIMESTONE SHELF BOULDER, 2'0" WIDE X 6'0" LONG. ULDERS IN A TIGHT N BOULDERS AS NECESSARY	
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EXTILE FABRIC, OVER LAP	
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5499 terra design group, inc. 2015 ne loop 410	
EVANS ROAD NIO, TEXAS 78259 003 FAX: (210) 641-8279	

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6	5'-4"	145	6.1	553	3
6	7'-4"	199	8.0	913	4
6	8'-4"	226	9.9	1079	5
9	8'-4"	226	11.6	1253	6
9	8'-4"	226	13.4	1388	7
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9	8'-4"	226	17.1	2037	9





2015 ne loop 410 san antonio, texas 78217 210.220.1400 210.220.1404 wheard@terradesignsa.com mzak@terradesignsa.com



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terra design group, inc

CITY OF ROLLINGWOOD, TEXAS

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#	ID	DESCRIPTION
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2	G002	GENERAL NOTES
3	G003	CONSTRUCTION NOTES
4	G004	ESTIMATED QUANTITIES
5	G005	HORIZONTAL CONTROL LAYOUT SHEET
6	DP101	DEMOLITION AND PROTECTION PLAN
7	DP102	DEMOLITION AND PROTECTION PLAN
8	DA101	DRAINAGE AREA MAP
9	CA01	STORM SEWER HYDRAULIC CALCULATIONS
10	PLPR01	STORM SEWER PLAN & PROFILE STA. 10+00.00-13+50.00
11	PLPR02	STORM SEWER PLAN & PROFILE STA. 13+50.00-16+20.00
12	PLPR03	STORM SEWER PLAN & PROFILE STA. 16+20.00-19+00.42
13	PLPR04	SDL-B, SDL-C & SDL-D LATERAL PLAN & PROFILES
14	SDPL1	SDL-B AND DETENTION POND OUTFALL
15	DET01	DRAINAGE & PAVEMENT DETAILS
16	DET02	DRAINAGE & PAVEMENT DETAILS
17	DET03	DRAINAGE & PAVEMENT DETAILS
18	DET04	DRAINAGE & PAVEMENT DETAILS
19	DET05	DRAINAGE & PAVEMENT DETAILS
20	DET06	DRAINAGE & PAVEMENT DETAILS
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CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMENTS FOR HUBBARD CIRCLE, HATLEY DRIVE AND PICKWICK LANE



LOCATION MAP N.T.S.

MAYOR

GAVIN MASSINGILL **COUNCIL MEMBERS**

> SARA HUTSON ALEC ROBINSON **BROOK BROWN** PHIL McDUFFEE **ROXANNE McKEE**

INTERIM CITY ADMINISTRATOR ASHLEY WAYMAN



PREPARED & SUBMITTED FOR APPROVAL BY:

PRELIMINARY

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF GEOFF ELFERS, P.E. LIC. # 133555 03/15/2023.

IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

GEOFF ELFERS, P.E

DATE

RECOMMENDED FOR APPROVAL BY:

MAYOR GAVIN MASSINGILL - CITY OF ROLLINGWOOD

DATE

OF ROLLINGWOOD DRAINAGE IMPROVEMENTS

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ASHLEY WAYMAN - INTERIM CITY ADMINISTRATOR

DATE



1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm #6535 www.kfriese.com

100% SUBMITTAL



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GENERAL NOTES:

- 1. THE CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY CONSTRUCTION IN THE RIGHT OF WAY OR EASEMENTS.
- 2. CONTRACTOR SHALL PROVIDE A ONE CALL CENTER CONFIRMATION NUMBER BEFORE BEING ISSUED AN EXCAVATION PERMIT. "ONE CALL" PHONE NUMBER: 811.
- 3. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING TYPE AND LOCATION OF SURFACE, SUBSURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT TYPE AND LOCATION OF ALL UTILITIES AFFECTED BY THE CONSTRUCTION IN ORDER TO AVOID DAMAGING THOSE UTILITIES.
- 4. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THIS PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, GAS, WATER. WASTEWATER, ELECTRIC, TELEPHONE, CABLE TELEVISION, PETROLEUM PIPELINES, FIBER OPTIC, STREET, DRAINAGE, AND ANY OTHER WORK OCCURRING IN OR NEAR THE PROJECT SITE. ONCE THE CONTRACTOR BECOMES AWARE OF A POSSIBLE CONFLICT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY, BUT NO LATER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
- SHOULD THE CONTRACTOR DAMAGE A UTILITY DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF THE DAMAGED UTILITY. THE EXPENSE FOR THESE REPAIRS WILL BE AT THE CONTRACTOR'S SOLE EXPENSE.
- 6. ALL EXISTING STRUCTURES, FACILITIES, AND UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REMOVED AND RESTORED WITH MATERIALS EQUAL TO OR BETTER THAN THE ORIGINAL AND TO CONDITIONS EQUAL TO OR BETTER THAN THE ORIGINAL. UNLESS OTHERWISE NOTED IN THE PLANS, THIS WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE.
- SLOPES OF ROADWAY CUTS AND EMBANKMENTS DAMAGED BY ANY OPERATION OF THE CONTRACTOR DURING THE EXECUTION OF THIS PROJECT SHALL BE REPAIRED AND RESTORED TO THE ORIGINAL PRE-CONSTRUCTION CONDITION. BACKFILL AND FILL PLACED DURING REMEDIAL GRADING SHALL BE COMPACTED TO AT LEAST 95% COMPACTION AND TO THE SATISFACTION OF THE ENGINEER AND GOVERNING AUTHORITIES.
- 8. THE SITE IS LOCATED IN THE EDWARD'S AQUIFER RECHARGE ZONE.
- 9. THE CONTRACTOR SHALL NOTIFY ALL RESIDENTS WITHIN THE CONSTRUCTION AREAS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OF THE PROJECT VIA DOOR FLYERS. THE FLYER IS TO CONSIST OF, BUT IS NOT LIMITED TO:
- A. CONSTRUCTION START DATE AND ESTIMATED COMPLETION DATE.
- DESCRIPTION OF CONSTRUCTION.
- TIME FRAME THE RESIDENT WILL BE WITHOUT WATER IF TEMPORARY SHUTDOWNS ARE REQUIRED, PROVIDED 48 HOURS IN ADVANCE OF WORK.
- CONTRACTOR'S CONTACT INFORMATION.
- E. CITY'S CONTACT INFORMATION.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY OFF--SITE LOCATIONS FOR STORAGE OF ALL EQUIPMENT AND MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS DURING CONSTRUCTION AND UPON COMPLETION. THIS WORK WILL BE DONE IN A TIMELY MANNER AS APPROVED BY THE ENGINEER. THIS WORK WILL NOT BE PAID FOR DIRECTLY, BUT CONSIDERED SUBSIDIARY TO THE VARIOUS BID ITEMS.
- 12. BLASTING WITHIN THE PROJECT AREA WILL NOT BE ALLOWED.
- 13. THE CONTRACTOR SHALL BE PREPARED WITH ROCK EXCAVATION EQUIPMENT CAPABLE OF RIPPING THROUGH VERY HARD LIMESTONE SHOULD IT BE ENCOUNTERED FOR THE CONSTRUCTION SITE. BORING LOGS ARE PROVIDED IN THE GEOTECHNICAL REPORT FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR RESPONSIBLE FOR PERFORMING THEIR OWN TESTING IN THE FORM OF TEST PITS TO DETERMINE THE QUANTITIES OF THE DIFFERENT MATERIALS TO BE EXCAVATED. AS WELL AS THE PREFERRED METHODS AND EQUIPMENT FOR THIS SITE.
- 14. CONTRACTOR WILL MINIMIZE USE OF STREET PARKING BY THEIR EMPLOYEES AND SUBCONTRACTORS IN THE VICINITY OF THE CONSTRUCTION AREA.
- 15. ALL LOCATIONS USED FOR STORING CONSTRUCTION EQUIPMENT, MATERIALS, AND STOCKPILES OF ANY TYPE WITHIN THE CONSTRUCTION LIMITS SHALL BE APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE. USE OF THE AREA WITHIN THE CONSTRUCTION LIMITS FOR THESE PURPOSES WILL BE RESTRICTED TO THOSE LOCATIONS WHERE DRIVER SIGHT DISTANCE TO BUSINESSES AND SIDE STREET INTERSECTIONS IS NOT OBSTRUCTED AND AT OTHER LOCATIONS WHERE AN UNSIGHTLY APPEARANCE AS DETERMINED BY THE OWNER'S REPRESENTATIVE WILL NOT EXIST.
- 16. ALL SITE WORK MUST COMPLY WITH ENVIRONMENTAL REQUIREMENTS INCLUDING TCEQ, TPDES STANDARDS, CLEANWATER ACT, TPDES GENERAL PERMIT TXR150000 (MS4), AND CITY OF ROLLINGWOOD REQUIREMENTS.
- 17. IF CULTURAL RESOURCES ARE ENCOUNTERED DURING CONSTRUCTION (ARCHAEOLOGICAL FINDS UNEARTHED) CONTRACTOR SHALL STOP WORK IN THAT AREA AND IMMEDIATELY CONTACT THE TEXAS HISTORICAL COMMISSION AT (512)463--6100.
- 18. THE CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTHS AND HORIZONTAL LOCATION OF ALL EXISTING WATER, WASTEWATER, AND GAS MAINS TO BE ALTERED OR SUBJECT TO DAMAGE OR INCONVENIENCE BY THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION. NO SEPARATE PAY ITEM.
- 19. FENCES, GATES, GROUND SURFACES, CURBS, DRIVEWAYS, MAILBOXES, ETC. SHALL BE LEFT IN A CONDITION EQUAL TO OR BETTER THAN THAT FOUND.
- 20. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN BARRICADES, WARNING SIGNS, FLASHERS AND OTHER DEVICES OF THE TYPE AND SIZE AS INDICATED IN THE LATEST EDITION OF THE 'TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" OR AS DIRECTED BY THE ENGINEER.
- 21. LANDSCAPED AREAS SHALL BE LEFT UNDISTURBED AS MUCH AS POSSIBLE DURING CONSTRUCTION. ALL AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION SHALL BE RE--SODDED, RE--VEGETATED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS. ALL NEW VEGETATION MUST BE OF THE SAME SPECIES AS ORIGINAL CONDITIONS.

- LOADS.
- TRENCH SAFETY MEASURES.
- OWNER'S REPRESENTATIVE.
- ACTIVITY WHICH MAY INTERFERE WITH NORMAL SERVICES.
- CAMOUFLAGE ANY CHILD ATTRACTIVE NUISANCE.
- ABOVE THE ROADWAY SURFACE.
- TESTING REQUIREMENTS.
- APPROVAL PRIOR TO STARTING WORK.
- REFER TO STANDARD DETAIL 804S--4, 7 OF 9.
- CURRENT ORDINANCES.

STREET CONSTRUCTION SPECIAL NOTE:

ALL DAMAGE CAUSED DIRECTLY OR INDIRECTLY TO THE STREET SURFACE, SIDEWALK, DRIVEWAY, CURB & GUTTER, OR SUBSURFACE OUTSIDE OF THE PAVEMENT CUT AREA SHALL BE REGARDED AS A PART OF THE STREET CUT REPAIR. THIS INCLUDES ANY SCRAPES. GOUGES, CUTS, CRACKING, DEPRESSIONS, AND/OR ANY OTHER DAMAGE CAUSED BY THE CONTRACTOR DURING THE EXECUTION OF THE WORK. THESE REPAIR AREAS WILL BE INCLUDED IN THE TOTAL AREA OF RESTORATION. THESE AREAS SHALL BE SAW CUT IN STRAIGHT, NEAT LINES PARALLEL TO THE EXCAVATION OR UTILITY TRENCH AND TO THE NEXT EXISTING JOINT FOR SIDEWALKS AND CURB & GUTTER. ALL SUCH REPAIRS SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL MEET ALL STANDARDS, AND SPECIFICATIONS.

PLAN NOTES:

- DISPOSAL OF ANY ACCUMULATED SILT AND DEBRIS.
- A REGULAR BASIS AND AT THE DIRECTION OF THE CITY.
- PROPERTIES.

CONSTRUCTION SEQUENCING NOTES:

- DOWNSTREAM TO UPSTREAM.
- DAMAGE PREVIOUSLY CONSTRUCTED WORK.

22. THE CONTRACTOR SHALL ENSURE THAT ADEQUATE SAFETY PRECAUTIONS ARE MAINTAINED AT ALL TIMES REGARDING AREAS OF OPEN PIPE TRENCH. ALL PIPE TRENCHES SHALL BE COVERED AT ALL TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS. THE TRENCH COVERING SHALL BE CAPABLE OF SUPPORTING TRAFFIC

23. ALL TRENCH SAFETY CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH OSHA SPECIFICATIONS, STATE OF TEXAS REQUIREMENTS, AND CONTRACT DOCUMENTS WHICH INCLUDE A TRENCH SAFETY PLAN AND A PAY ITEM FOR

24. THE CONTRACTOR SHALL ARRANGE THE OPERATION IN SUCH A MANNER AS TO AVOID UNNECESSARY INCONVENIENCE TO THE PUBLIC IN CONSTRUCTION AREAS.

25. ACCESS TO ALL SIDE STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES AT THE SOLE EXPENSES OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE

26. CONTRACTOR SHALL NOTIFY THE CITY OF ROLLINGWOOD POLICE DEPARTMENT (512-328-1900) AND THE WESTLAKE FIRE DEPARTMENT (512-539-3400) OF THE CONSTRUCTION SCHEDULES AT LEAST TWO WEEKS IN ADVANCE OF PROPOSED CONSTRUCTION OPERATIONS. CONTRACTOR SHALL PROVIDE PERTINENT INFORMATION ABOUT LANE CLOSURES AND DETOURS AND ANY OTHER CONSTRUCTION RELATED

27. CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A SAFE, NEAT AND WORKMAN-LIKE MANNER AT ALL TIMES. JOB SITE SAFETY SHALL NOT BE COMPROMISED ANY UNATTRACTIVE NUISANCE SHALL BE REMOVED OR CAMOUFLAGED BY CONTRACTOR WHEN DIRECTED BY THE OWNER OR ENGINEER. CONTRACTOR SHALL REMOVE OR

28. ALL CONSTRUCTION EQUIPMENT INVOLVED IN ROADWAY WORK SHALL BE EQUIPPED WITH A PERMANENTLY-- MOUNTED 360-DEGREE REVOLVING OR STROBE WARNING LIGHT AMBER LENS IN WORKING ORDER. THIS LIGHT SHALL HAVE A MINIMUM LENS HEIGHT OF 5" AND A DIAMETER OF 5". THIS LIGHT SHALL HAVE A MOUNTING HEIGHT OF NOT LESS THAN 6 FEET ABOVE ROADWAY SURFACE AND SHALL BE VISIBLE FROM ALL SIDES. THIS EQUIPMENT SHALL ALSO HAVE ATTACHED AT EACH SIDE OF THE REAR END OF THE VEHICLE AN APPROVED ORANGE WARNING FLAT MOUNTED, NOT LESS THAN 6 FEET

29. ALL DAMAGE CAUSED DIRECTLY OR INDIRECTLY TO THE STREET SURFACE OR SUBSURFACE OUTSIDE OF THE PAVEMENT CUT AREA SHALL BE REGRADED AS A PART OF THE STREET CUT REPAIR. THIS INCLUDES ANY SCRAPES, MOUSES, CUTS, CRACKING, DEPRESSIONS, AND/OR ANY OTHER DAMAGE CAUSED BY THE CONTRACTOR DURING THE EXECUTION OF THE WORK. THESE AREAS WILL BE INCLUDED IN THE TOTAL AREA OF REPAIR. THE AREAS OF REPAIR NEAR UTILITY TRENCHES SHALL BE SAW-- CUT IN STRAIGHT, NEAT LINES PARALLEL TO THE UTILITY TRENCH. ALL REPAIRS SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL MEET ALL CITY

30. ANY EXCAVATION EXCEEDING THE STANDARD PLATING DETAIL SHALL HAVE MATERIAL ONSITE TO BACKFILL OR CONTRACTOR TO PROVIDE STRUCTURAL ENGINEERED PLATING PLANS TO THE CITY OF ROLLINGWOOD PUBLIC WORKS DEPARTMENT FOR

31. FOR OVERNIGHT PROTECTION OF WORK ZONE IN CITY OF ROLLINGWOOD R.O.W., REFER TO CITY OF AUSTIN STANDARD DETAIL 804S--4, 1 THRU 4 OF 9. IF PLATING IS NEEDED,

32. CONTRACTOR SHALL PERFORM WORK ONLY DURING HOURS ALLOWED PER THE

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND INSPECTING, ON A REGULAR BASIS, ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES, INCLUDING SILT FENCES, CONSTRUCTION ENTRANCES, ROCK FILTER DAMS, ETC., DURING CONSTRUCTION/DEMOLITION AND INCLUDING THE REMOVAL AND PROPER

2. THE CONTRACTOR SHALL NOT BEGIN ANY WORK UNTIL TREE PROTECTION AND THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SUCH AS SILT FENCE, CONSTRUCTION ENTRANCES, ROCK FILTER DAMS, ETC., HAVE BEEN INSTALLED.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREETS FREE OF MUD, DIRT, DEBRIS AND MATERIAL AT ALL TIMES AND SHALL CLEAN/SWEEP THE STREETS ON

4. INCREASED STORMWATER PEAK FLOWS DURING CONSTRUCTION MUST BE MITIGATED WITH TEMPORARY BEST MANAGEMENT PRACTICES TO PREVENT HARM TO NEIGHBORING

PHASE 1 CONSTRUCTION ACTIVITIES SHALL INCLUDE CHANNEL CONSTRUCTION PROGRESSING FROM STATION 1+00 TO 4+75 DOWNSTREAM TO UPSTREAM.

PHASE 2 CONSTRUCTION ACTIVITIES SHALL INCLUDE CONSTRUCTION OF THE STORM DRAIN IMPROVEMENTS PROGRESSING FROM STATION 10+00.00 TO 13+80.00

CONSTRUCTION SHALL BE SEQUENCED IN A MANNER THAT WILL NOT DISTURB OR

CONSTRUCTION ACCESS AND SEQUENCING NOTES: CHANNEL DEMOLITION AND CONSTRUCTION SHALL BE SEQUENCED FROM DOWNSTREAM TO UPSTREAM. EACH SEGMENT MUST BE ACCEPTED BY THE CITY PRIOR TO COMMENCING NEXT SEGMENT. THE CONTRACTOR SHALL SUBMIT AN ALTERNATE SEQUENCING PLAN FOR REVIEW AND ACCEPTANCE BY THE CITY IN WRITING. 2. EROSION AND CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

- . NO MORE THAN (10) WORKING DAYS SHALL PASS BETWEEN COMPLETION OF DEMOLITION AND COMMENCEMENT OF PROPOSED CHANNEL ACTIVITIES.
- 4. CONTRACTOR SHALL REQUEST WRITTEN AUTHORIZATION FROM CITY PRIOR TO MOVING TO A NEW SEGMENT OF CONSTRUCTION. ALLOW FOR 3 DAYS FROM AUTHORIZATION REQUEST TO RECEIVE AUTHORIZATION TO PROCEED.
- 5. CARE OF WATER SHALL BE PROVIDED AT ALL TIMES SO AS NOT TO IMPEDE THE FLOW OF STORMWATER.
- 6. CONTRACTOR SHALL MAINTAIN DRAINAGE BETWEEN THE EXISTING CULVERT AND PROPOSED CULVERT AT 300 PLEASANT DURING ALL PHASES.
- 2. SUGGESTED POINTS OF ACCESS ARE SHOWN TO ASSIST THE CONTRACTOR WITH DEMOLITION AND MATERIAL ENTRY. LETTERS OF PERMISSION FOR THESE LOCATIONS ARE NOT INCLUDED WITH THE BID CONTRACT DOCUMENTS AND WILL BE COORDINATED WITH THE CITY.
- 8. CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION RELATED ACTIVITIES ON THEIR PROPERTY.
- 9. CONTRACTOR SHALL MAINTAIN UP-TO-DATE COPIES OF ALL RIGHT-OF-ENTRY FORMS ON THE PROJECT SITE.
- 10. UPON COMPLETION OF WORK ALL STAGING AREAS SHALL BE RESTORED TO THE ORIGINAL LINES, GRADES, CLEARED OF ALL BRUSH AND DEBRIS, AND REVEGETATED PER SPECIFICATION 609S UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- 11. ALL TREES, SIGNS, WALKWAYS, UTILITIES AND OTHER PHYSICAL FEATURES (WHETHER SHOWN OR NOT SHOWN ON THE PLANS) SHALL BE PROTECTED DURING CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE CITY OR IN THESE PLANS.
- 12. CONTRACTOR IS RESPONSIBLE FOR PROTECTING PRIVATE PROPERTY FROM DAMAGES, ALL PRIVATE PROPERTY DAMAGED BY CONSTRUCTION ACTIVITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 13. CONTRACTOR MAY NEGOTIATE ADDITIONAL ACCESS AND/OR STORAGE WITH INDIVIDUAL PROPERTY OWNERS AT THEIR EXPENSE.
- 14. CONTRACTOR IS RESPONSIBLE FOR EXPENSES DUE TO NEGLIGENCE.
- 15. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY TO REMOVE TREES NOT IDENTIFIED FOR REMOVAL ON THE DEMOLITION PLAN.
- 16. NO CONSTRUCTION STORAGE OR STAGING SHALL OCCUR WITHIN THE FEMA FLOODPLAIN.

SCHEDULING

- . CONTRACTOR TO PROVIDE ENGINEER WITH AN UPDATED SCHEDULE WEEKLY. IF NO CHANGES ARE MADE TO THE SCHEDULE FROM THE LAST SUBMITTAL, THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF NO CHANGES.
- 2. THE CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULE OF CONSTRUCTION WHICH COMPLIES WITH THE FOLLOWING SEQUENCE:
- A. INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS IMMEDIATELY PRIOR TO CONSTRUCTION.
- B. SET UP TEMPORARY TRAFFIC CONTROL AREAS. INSTALL UTILITIES, STRUCTURES, AND PERFORM GRADING AS INDICATED ON C.
- CONSTRUCTION PLANS.
- PERFORM STREET RECONSTRUCTION IN AREAS AS NOTED. CONTRACTOR SHALL D. EXCAVATE AND INSTALL SECTIONS OF FLEXIBLE BASE MATERIAL AND HMAC UP TO THE TOP OF PROPOSED GRADE IN ONE DAY.
- REPAIR CURB AND GUTTER. SIDEWALK CURB RAMP AND OTHER FEATURES AS NOTED.
- COMMENCE RESTORATION AND REVEGETATION IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THE PROJECT.

UTILITIES

- AT LEAST 48 HOURS BEFORE BEGINNING ANY CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT, THE CONTRACTOR SHALL NOTIFY PUBLIC WORKS.
- 2. THE CONTRACTOR SHALL CONTACT THE ROLLINGWOOD AREA "ONE" CALL SYSTEM AT 1--800--344--8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS. THE CITY OF ROLLINGWOOD WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.O.W./EASEMENT LINES.
- 3. ALL MATERIALS TESTS, INCLUDING SOIL DENSITY TESTS AND DETAILED SOIL ANALYSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE OWNER IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 18045.04.
- 4. ALL MATERIAL USED ON THIS PROJECT MUST BE LISTED ON THE CITY OF AUSTIN STANDARD PRODUCTS LISTING.
- 5. SEWER SERVICES BROKEN BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR. REPLACEMENT LENGTH IS DEPENDENT ON EXTENT OF DAMAGE. REPLACEMENT PIPE SHALL BE 4" PVC (OR LARGER) SDR 26 AND ATTACHED TO EXISTING SERVICE WITH FLEXIBLE FERNCO CONNECTORS WITH STAINLESS STEEL CLAMPS OR APPROVED EQUAL, WITH NO SEPARATE PAY.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN THEMSELF AND OTHER CONTRACTORS AND UTILITIES IN THE VICINITY OF THIS PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO GAS, WATER, WASTEWATER, ELECTRICAL, TELEPHONE, COMMUNICATIONS NETWORKS, CABLE TELEVISION, PETROLEUM PIPELINES, AND STREET AND POSSIBLE CONFLICT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONSTRUCTION INSPECTOR WITHIN TWENTY-- FOUR (24) HOURS.
- 7. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS.

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<u>cc</u>	NSTRUCTION NOTES:	NOL		
1.	WHERE REMOVAL OF BASE AND PAVEMENT IS NECESSARY FOR THE PROJECT, ALL BASE AND PAVEMENT SHALL BE REPLACED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, CITY OF AUSTIN, STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR CUT IN PUBLIC RIGHT-OF-WAY. ALL PAVEMENT CUTS SHALL BE SAW-CUT PRIOR TO PLACEMENT OF HMAC.	SION DESCRIPT		
2.	IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE, PRESERVE AND RESET STREET MARKERS AND TRAFFIC CONTROL SIGNS THAT ARE WITHIN THE CONSTRUCTION LIMITS, AS NECESSARY, TO THE LINE AND HEIGHT AS DESCRIBED IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES BEFORE AND DURING ALL CONSTRUCTION PHASES AND UPON THE COMPLETION OF CONSTRUCTION. SIGNS SHALL NOT BE LAID ON THE GROUND. NO PAYMENT WILL BE MADE FOR THIS WORK, BUT IT WILL BE CONSIDERED SUBSIDIARY TO OTHER BID ITEMS.	DATE REVI		
3.	THE CONTRACTOR SHALL SCHEDULE HIS WORK TO MINIMIZE EXPOSURE OF SUBGRADE TO RAIN. IF SUBGRADE IS EXPOSED, CONTRACTOR SHALL UNDERTAKE EXTRA MEASURES TO ACCELERATE DRYING OF THE SUBGRADE INCLUDING PUMPING OF EXCESS WATER AND REWORKING OF THE SUBGRADE AT HIS OWN EXPENSE TO ALLOW THE WORK TO CONTINUE.	출 교일 100%	SUBM	
4.	ALL RECONSTRUCTION PREPARATION WORK AND PAVING SHALL BE COMPLETED IN A MANNER SO AS TO PROVIDE A SMOOTH RIDING SURFACE FREE OF BUMPS, DIPS, AND RIPPLES AND A SMOOTH UNIFORM APPEARANCE. THE FINISHED SURFACE SHALL APPROXIMATE THE EXISTING PROFILE.	THIS DOO FOR THE RI THE	CUMENT IS I PURPOSE C EVIEW UND E AUTHORIT	RELEASED OF INTERIM ER Y OF
5.	CONCRETE SHALL BE REPLACED NO LATER THAN FOUR (4) WORKING DAYS AFTER EXCAVATION OF THE SITE.	GEC I	DFF ELFERS LIC. # 13355 03/15/2023.	9, P.E. 55
6.	EXPANSION JOINTS SHALL BE PROVIDED AT THE TIE-IN OF NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER AND AT OTHER LOCATIONS AS SHOWN ON THE PLANS OR AS INSTRUCTED BY THE ENGINEER.	IT IS NO CONSTR PER	ot to be us Uction, bie Rmit purpo	SED FOR DDING OR SES.
7.	CONTRACTOR SHALL TRIM SHRUBS AND TREES TO PROVIDE CONSTRUCTION CLEARANCE. ALL PRUNING PROPOSED TO BE APPROVED IN ADVANCE BY CITY OF ROLLINGWOOD.			
8.	SODDING FOR EROSION CONTROL SHALL BE APPLIED AS SPECIFIED IN THE PERMANENT EROSION CONTROL NOTES OVER AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AS DESIGNATED BY THE ENGINEER. SODDING SHALL BE WATERED UNTIL A UNIFORM 1 /2" GROWTH IS ESTABLISHED. AT WHICH TIME THE PAYMENT WILL BE MADE, SUBJECT TO APPROVAL BY GENERAL PERMIT PROGRAM OFFICE. WATERING IS INCLUDED IN PAYMENT FOR SODDING.		TS	
9.	CONTRACTOR'S EQUIPMENT SHALL NOT BE LEFT RUNNING WHEN LEFT UNATTENDED OR LEFT IN ONE LOCATION FOR MORE THAN FIVE (5) MINUTES WHILE ATTENDED.	(0	MEN	
PH	ASE 1: CHANNEL IMPROVEMENTS	XAS		
1.	PHASE 1 CONSTRUCTION ACTIVITIES SHALL INCLUDE CHANNEL CONSTRUCTION	, TE	NO NO NO	ES
2.	INSTALL TEMPORARY FENCING AT 303 NIXON DRIVE TO ENCLOSE BACKYARD PERIMETER AREA PRIOR TO BEGINNING CONSTRUCTION. TEMPORARY FENCING SHALL REMAIN IN PLACE THRU DURATION OF CONSTRUCTION UNTIL NEW FENCING IS IN PLACE AND BACKYARD DEPIMETER IS SECURED.	IGWOOD WORKS TMENT	LLING	L NOT
3.	COORDINATE AND RELOCATE EXISTING TREE HOUSE AND SHED LOCATED AT 303 NIXON DRIVE. RELOCATION ON PROPERTY TO BE COORDINATED WITH PROPERTY OWNER.	OLLIN JBLIC EPAR	AINA	IERA
4.	PERFORM DEMOLITION AND REMOVAL OF LARGE ROCK, CONCRETE RIPRAP AND OTHER DELETERIOUS MATERIALS FROM THE EXISTING CHANNEL LOCATED ALONG 303 NIXON DRIVE AND REPLACE WITH SELECT FILL COMPACTED TO 95% STANDARD PROCTOR DENSITY.	TY OF R PL D	ED DR	GEN
5.	CONSTRUCT CHANNEL IMPROVEMENTS INCLUDING EXCAVATION, GRADING, ACTIVITIES AND ROCK BOULDER PLACEMENT. CONTRACTOR TO PROVIDE MATERIAL SAMPLES PRIOR TO SELECTION AND DELIVERY OF ROCK BOULDERS.		POSI	
6.	CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY PRIOR TO PLACEMENT OF ROCK BOULDERS IN THE CHANNEL.		PRO	
7.	PLACEMENT OF TOP SOIL AND LANDSCAPE PLANTINGS SHALL BE PERFORMED AS PART OF PHASE 3 FINAL WORK.			
8.	COMPLETE ALL WORK IN THIS PHASE BEFORE STARTING PHASE 2.			
		R@LI	INGW	
			K·FR	IESE
		1120 S. Co	PUBLIC PROJECT	ENGINEERING Highway
		CityView 2, Austin, Tex P - 512.3	Suite 100 kas 78746 38.1704 F - 5	512.338.1784
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GUU2 | 2 OF 32

PHASE 2: PLEASANT DRIVE IMPROVEMENTS

- CONSTRUCT ALL STORM DRAIN AND ROADWAY IMPROVEMENTS WITHIN THE WORK ZONE PER THE PLANS. ADJUST ANY VALVES AND MANHOLES TO MEET PROPOSED GROUND ELEVATIONS FOR UTILITIES WITHIN THE WORK ZONE PER THE UTILITY PLANS.
- 2. CONSTRUCT THE STORM DRAIN BOX IN PHASES TO MAINTAIN ACCESS TO ALL RESIDENTIAL PROPERTIES WITHIN THE WORK ZONE. COORDINATE ANY REQUIRED DRIVEWAY CLOSURES WITH THE RESIDENTS OF THE PROPERTY AT LEAST 48 HOURS IN ADVANCE.
- 3. CONSTRUCTION OF STORM DRAIN BOX SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. IT IS WITH THE INTENTION OF AIDING WITH CONSTRUCTABILITY AND ACCESS THAT CAST-IN-PLACE BOX CULVERT IS PROPOSED FROM STATIONS 10+32 TO 11+23. ALTERNATIVELY, THE CONTRACTOR MAY SUBMIT A PLAN FOR THE USE OF A PRECAST BOX FOR THIS SEGMENT, SUBJECT TO APPROVAL BY THE ENGINEER. NO ADDITIONAL WORK DAYS WILL BE AWARDED FOR THIS SUBSTITUTION.
- 4. DUE TO THE OVERALL SIZE OF THE STORM DRAIN WITHIN PLEASANT DRIVE. SAFETY IS OF THE UTMOST IMPORTANCE. MAINTAIN BARRIERS AND SAFETY FENCING AROUND ANY OPEN EXCAVATIONS. MAKE SURE ALL TRENCHES ARE FILLED IN AT THE END OF THE WORK DAY.
- 5. MAINTAIN 3:1 MAX SIDE SLOPES AT THE END OF EACH WORK DAY FOR PAVEMENT DROP-OFFS GREATER THAN 2'.

PHASE 3: FINAL WORK

- 1. CONSTRUCT FINAL 2" LIFT OF THE TYPE D HOT MIX ASPHALTIC PAVEMENT SURFACE LAYER USING TXDOT TRAFFIC CONTROL DETAILS FOR SURFACING OPERATIONS STANDARD (7-1) AND TXDOT TCP MOBILE OPERATIONS STANDARD (3-1).
- 2. PERFORM ANY REMAINING FINAL GRADING AND PLACE TOPSOIL AND SEEDING AND/OR SODDING, AND LANDSCAPE PLANTINGS.
- 3. REMOVE ALL TEMPORARY SW3P DEVICES AND TREE PROTECTION, AS DIRECTED.
- 4. PERFORM FINAL CLEANUP.

The following/listed "construction notes" are intended to be advisory in nature only and do not constitute an approval or conditional approval by the Executive Director (ED), nor do they constitute a comprehensive listing of rules or conditions to be followed during construction. Further actions may be required to achieve compliance with TCEQ regulations found in Title 30, Texas Administrative Code (TAC), Chapters 213 and 217, as well as local ordinances and regulations providing for the protection of water quality. Additionally, nothing contained in the following/listed "construction notes" restricts the powers of the ED, the commission or any other governmental entity to prevent, correct, or curtail activities that result or may result in pollution of the Edwards Aquifer or hydrologically connected surface waters. The holder of any Edwards Aquifer Protection Plan containing "construction notes" is still responsible for compliance with Title 30, TAC, Chapters 213 or any other applicable TCEQ regulation, as well as all conditions of an Edwards Aquifer Protection Plan through all phases of plan implementation. Failure to comply with any condition of the ED's approval, whether or not in contradiction of any "construction notes," is a violation of TCEQ regulations and any violation is subject to administrative rules, orders, and penalties as provided under Title 30, TAC § 213.10 (relating to Enforcement). Such violations may also be subject to civil penalties and injunction. The following/listed "construction notes" in no way represent an approved exception by the ED to any part of Title 30 TAC, Chapters 213 and 217, or any other TCEQ applicable regulation

- 2. approval letter.
- impacts to water quality.
- 4.

5.

9.

- permanently stabilized.
- etc.

TCEQ-0592 (Rev. July 15, 2015)

8. other site. of the site; and of the following:

> C. any development of land previously identified as undeveloped in the original water pollution abatement plan.

Austin Regio 12100 Park Austin, Texas Phone (512) Fax (512)

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

Texas Commission on Environmental Quality Water Pollution Abatement Plan **General Construction Notes**

Edwards Aquifer Protection Program Construction Notes – Legal Disclaimer

1. A written notice of construction must be submitted to the TCEQ regional office at least 48 hours prior to the start of any regulated activities. This notice must include: - the name of the approved project;

- the activity start date; and

- the contact information of the prime contractor.

All contractors conducting regulated activities associated with this project must be provided with complete copies of the approved Water Pollution Abatement Plan (WPAP) and the TCEQ letter indicating the specific conditions of its approval. During the course of these regulated activities, the contractors are required to keep on-site copies of the approved plan and

3. If any sensitive feature(s) (caves, solution cavity, sink hole, etc.) is discovered during construction, all regulated activities near the sensitive feature must be suspended immediately. The appropriate TCEQ regional office must be immediately notified of any sensitive features encountered during construction. Construction activities may not be resumed until the TCEQ has reviewed and approved the appropriate protective measures in order to protect any sensitive feature and the Edwards Aquifer from potentially adverse

No temporary or permanent hazardous substance storage tank shall be installed within 150 feet of a water supply source, distribution system, well, or sensitive feature.

Prior to beginning any construction activity, all temporary erosion and sedimentation (E&S) control measures must be properly installed and maintained in accordance with the approved plans and manufacturers specifications. If inspections indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations. These controls must remain in place until the disturbed areas have been

Any sediment that escapes the construction site must be collected and properly disposed of before the next rain event to ensure it is not washed into surface streams, sensitive features,

7. Sediment must be removed from the sediment traps or sedimentation basins not later than Page 1 of 2

when it occupies 50% of the basin's design capacity.

Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from being discharged offsite.

All spoils (excavated material) generated from the project site must be stored on-site with proper E&S controls. For storage or disposal of spoils at another site on the Edwards Aquifer Recharge Zone, the owner of the site must receive approval of a water pollution abatement plan for the placement of fill material or mass grading prior to the placement of spoils at the

10. If portions of the site will have a temporary or permanent cease in construction activity lasting longer than 14 days, soil stabilization in those areas shall be initiated as soon as possible prior to the 14th day of inactivity. If activity will resume prior to the 21st day, stabilization measures are not required. If drought conditions or inclement weather prevent action by the 14th day, stabilization measures shall be initiated as soon as possible.

11. The following records shall be maintained and made available to the TCEQ upon request:

- the dates when major grading activities occur; - the dates when construction activities temporarily or permanently cease on a portion

- the dates when stabilization measures are initiated.

12. The holder of any approved Edward Aquifer protection plan must notify the appropriate regional office in writing and obtain approval from the executive director prior to initiating any

A. any physical or operational modification of any water pollution abatement structure(s), including but not limited to ponds, dams, berms, sewage treatment plants, and diversionary structures;

B. any change in the nature or character of the regulated activity from that which was originally approved or a change which would significantly impact the ability of the plan to prevent pollution of the Edwards Aquifer;

onal Office	San Antonio Regional Office
35 Circle, Building A	14250 Judson Road
is 78753-1808	San Antonio, Texas 78233-4480
) 339-2929	Phone (210) 490-3096
) 339-3795	Fax (210) 545-4329

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				1103-A	1323-7	3133-A	5403-B	3403-0	2009	4505-A	2005	2003	2003	2005
STORM SEWER PLAN AND PROFILE SHEET	LOCATION	TCEQ PERMIT APPLICATION FEE	UTILITY ADJUSTMENT	STREET EXCAVATION	EMBANKMENT	SURFACE MILLING	HOT MIX ASPHALTIC CONCRETE PAVEMENT, 2 inches, Type D	Hot Mix Asphaltic Concrete Pavement, 12 inches, Type C	CUT & RESTORING PAV (CONC)	P.C. CONCRETE CURB AND GUTTER (EXCAVATION)	RIPRAP (STONE TY R)(DRY)(6 IN)	CONC BOX CULV (4 FT X 2 FT)	RC PIPE (CL III)(18 IN)	RC PIPE (CL III)(24 IN)
		LF	EA	СҮ	СҮ	SY	SY	SY	SY	LF	CY	LF	LF	LF
SHEET 1 OF 3	STA 10+00 TO STA 13+50	393	5	437	5000	656	656	328	17	246			57	277
SHEET 2 OF 3	STA 13+50 TO STA 16+20	272		53	600	80	80	40	17	10				
SHEET 3 OF 3	STA 16+20 TO STA 19+00	198	9	184		276	276	138	17	80	3	126	5	
	PROJECT TOTALS:	863	14	674	5600	1012	1012	506	51	336	3	126	62	277

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		464	464	465	465	465	465	467	496						
		2007	2009	2092	6020	6028	6055	2030	2007	- 508S-I10S	509S-1	610S-1	641S	642S	648S-1
STORM SEWER PLAN AND PROFILE SHEET	LOCATION	RC PIPE (CL III)(30 IN)	RC PIPE (CL III)(36 IN)	MANH (COMPL)(TY 1)	INLET (COMPL)(PCO)(4FT)(BOTH)	INLET (COMPL)(PCO)(6F T)(BOTH)	INLET (COMPL)(PSL)(SL)(4 FTX4FT)	SET (TY I)(S= 4 FT)(HW= 3 FT)(3:1)	REMOV STR (PIPE)	Inlet, Standard	Trench Excavation Safety Protective Systems (all depths)	TREE PROTECTION FENCE LOCATIONS	STABILIZED CONSTRUCTION ENTRANCE	SILT FENCE EROSION CONTROL	MULCH SOCK
		LF	LF	EA	EA	EA	EA	EA			LF	EA	EA	LF	LF
SHEET 1 OF 3	STA 10+00 TO STA 13+50	59		2	1	1				2	393	5		308	60
SHEET 2 OF 3	STA 13+50 TO STA 16+20	126	146	2			1		58		272	5	1	507	56
SHEET 3 OF 3	STA 16+20 TO STA 19+00		67	1		2		1		1	198	4	1	117	50
	PROJECT TOTALS:	185	213	5	1	3	1	1	58	3	863	14	2	932	166

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LEGEND										
ALIGNMENT	_									
EXISTING ROW										
PROPERTY LINE										
EXISTING EASEMENT										
PROPOSED EASEMENT										
BUILDING SETBACK										
SURVEY CONTROL POIN	лт 🔺									

POINT TABLE										
OINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION						
1001	10073990.00	3101415.73	648.51	CP;MAG NAIL						
1002	10073902.18	3101762.36	616.59	CP;MAG NAIL						
1004	10074184.00	3101788.92	602.01	CP;MAG NAIL						
1005	10074409.85	3101960.64	585.32	CP;MAG NAIL						
1006	10074234.42	3102179.19	590.73	CP;MAG NAIL						
1007	10073942.31	3102133.56	610.09	CP;MAG NAIL						
1008	10073823.39	3101989.39	615.89	CP;MAG NAIL						

		SE)L-A	
10.	LENGTH	DIRECTION	START PT.	END PT.
L1	2.09	S03° 35' 54"E	STA. 10+00.00 N. 10073946.74 E. 3101697.91	STA. 10+02.09 N. 10073944.66 E. 3101698.04
L2	25.42	S34° 40' 03"E	STA. 10+02.09 N. 10073944.66 E. 3101698.04	STA. 10+27.51 N. 10073923.75 E. 3101712.50
L3	43.92	S79° 55' 49"E	STA. 10+27.51 N. 10073923.75 E. 3101712.50	STA. 10+71.43 N. 10073916.08 E. 3101755.74
L4	167.52	N37° 27' 20"E	STA. 10+71.43 N. 10073916.08 E. 3101755.74	STA. 12+38.95 N. 10074049.06 E. 3101857.62
L5	58.93	N00° 42' 48"W	STA. 12+38.95 N. 10074049.06 E. 3101857.62	STA. 12+97.88 N. 10074107.98 E. 3101856.88
L6	78.68	N45° 27' 46"W	STA. 12+97.88 N. 10074107.98 E. 3101856.88	STA. 13+76.55 N. 10074163.16 E. 3101800.80
L7	30.06	N09° 56' 18"W	STA. 13+76.55 N. 10074163.16 E. 3101800.80	STA. 14+06.61 N. 10074192.77 E. 3101795.62
L8	89.12	N39° 17' 57"E	STA. 14+06.61 N. 10074192.77 E. 3101795.62	STA. 14+95.73 N. 10074261.73 E. 3101852.06
L9	161.89	N40° 19' 02"E	STA. 14+95.73 N. 10074261.73 E. 3101852.06	STA. 16+57.62 N. 10074385.17 E. 3101956.81
_10	27.21	S49° 01' 49"E	STA. 16+57.62 N. 10074385.17 E. 3101956.81	STA. 16+84.83 N. 10074367.33 E. 3101977.36
_11	31.02	N86° 12' 21"E	STA. 16+84.83 N. 10074367.33 E. 3101977.36	STA. 17+15.85 N. 10074369.38 E. 3102008.31
_12	132.58	N53° 07' 56"E	STA. 17+15.85 N. 10074369.38 E. 3102008.31	STA. 18+48.43 N. 10074448.93 E. 3102114.37
_13	7.11	N72° 04' 46"E	STA. 18+48.43 N. 10074448.93 E. 3102114.37	STA. 18+55.54 N. 10074451.11 E. 3102121.14

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NOTES:

- 1. CONTRACTOR TO PROVIDE TREE PROTECTION FOR ANY TREE WITHIN 10' OF LIMITS OF CONSTRUCTION.
- 2. ALL PERVIOUS AREAS DISTURBED SHALL BE RESTORED AND REVEGETATED AS REQUIRED AND TO THE SATISFACTION OF THE CITY FOLLOWING CONSTRUCTION.
- 3. CONTRACTOR SHALL ONLY CLEAR BRUSH AND SMALL TREES NECESSARY TO PERFORM THE WORK SHOWN.
- 4. CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATERLINE, GAS LINE AND SEWER LINE. UTILITY CROSSINGS SHALL PROVIDE A MINIMUM OF 12 INCHES OF ALLOWABLE CLEARANCE BETWEEN ANY PROPOSED STRUCTURES. NOTIFY THE ENGINEER IMMEDIATELY IF THIS REQUIREMENT IS NOT MET FOR AUTHORIZATION PRIOR TO PROCEEDING.

EXISTING FEATURES



DEMOLISH CURB & GUTTER

CLEAR & GRUB VEGETATION

V. BY DATE REVISION DESCRIPTION		
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CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT	CITY OF ROLLINGWOOD PROPOSED DRAINAGE IMPROVEMENTS	DEMOLITION AND PROTECTION PLAN
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- 1. CONTRACTOR TO PROVIDE TREE PROTECTION FOR ANY TREE WITHIN 10' OF LIMITS OF CONSTRUCTION.
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- 3. CONTRACTOR SHALL ONLY CLEAR BRUSH AND SMALL TREES NECESSARY TO PERFORM THE WORK SHOWN.

EXISTING FEATURES

ų	CENTERLINE
	RIGHT OF WAY LINE
	PROPERTY LINE
	EASEMENT LINE
	— — BUILDING SETBACK LINE
	BACK OF CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	GUTTER
	CONCRETE PAVEMENT
>	
· · · · · · · · · ·	
	WOOD FENCE
600	———— MAJOR CONTOURS
599	MINOR CONTOURS
	GRADE BREAK
	PAVED PARKING / DRIVEWAY
	SLOPE BOTTOM
	===== WASTEWATER LINE
W	WATER LINE
	ROCK WALL
	EXISTING RCP PIPE
G	
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E UH	
E UG	ELECTRIC UNDERGROUND
	GUY WIRE
	WATER METER
	WATER VALVE
	SPRINKLER VALVE
	WASTEWATER MANHOLE
\bigcirc	CLEANOUT
\bigcirc	FIRE HYDRANT
	POWER POLE
(E)	ELECTRIC JUNCTION BOX
\bigcirc	STOP SIGN
	MAILBOX
	TREE
LEGEND	
	LIMITS OF CONSTRUCTION
() () () () () () () () () () () () () (ASPHALT/CONCRETE REMOVAL
$\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!\times\!\!$	DEMOLISH CURB & GUTTER

CLEAR & GRUB VEGETATION



Page 106

	RATIONAL METHOD FLOW CALCULATION											
AREA ID	AREA (AC)	C ₂₅	C ₁₀₀	T _C	i ₂₅	i ₁₀₀	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)				
DA 1	1.81	0.58	0.65	10	9.48	12.36	9.9	14.6				
DA 2	0.90	0.56	0.64	5	11.80	15.43	6.0	8.9				
DA 3	0.45	0.51	0.59	5	11.80	15.43	2.7	4.1				
DA 4	0.41	0.65	0.73	5	11.80	15.43	3.2	4.6				
DA 5	0.99	0.59	0.67	5	11.80	15.43	7.0	10.3				
DA 6	0.37	0.50	0.57	5	11.80	15.43	2.2	3.3				
DA 7	0.98	0.54	0.61	5	11.80	15.43	6.3	9.3				
DA 8	1.89	0.61	0.69	5	11.80	15.43	13.7	20.2				
DA 9	2.50	0.61	0.69	5	11.80	15.43	18.1	26.7				



NOTES:



1. THE PEAK FLOWS WERE COMPUTED USING THE RATIONAL METHOD AS DESCRIBED IN SECTION 2.4.0 OF THE DRAINAGE CRITERIA MANUAL (DCM) OF AUSTIN, TX.

THE RUNOFF COEFFICIENT WAS DEVELOPED BASED FROM TABLE 2-3 OF THE DCM. PERVIOUS LAND COVER WAS ASSUMED TO BE UNDEVELOPED LAND OVER STEEP TERRAIN.

2. RAINFALL INTENSITIES WERE DETERMINED FROM THE IDF COEFFICIENTS SHOWN IN TABLE 2-2A OF THE DCM.

								9.	
REVISION DESCRIPTION									
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THE GEC L IT IS NO CONSTRI PER	AUT)FF E .IC. # 03/1 T TC JCTI MIT I	HOF LFE 133 5/20 0 BE ON, PUR	RIT RS 355 23. US BIE PO		DF 2.E. DF INC S.	OF G C	R DR		
CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT	CITY OF ROLLINGWOOD						AREA MAP		JBBARD-HATLEY DRAINAGE IMPROVEMENTS/DGN/SHEETS/0803-C-DR-MAPS02.DWG, COA ESD.STB
R@LL	IN	GI	N	0			2]	GWOOD HU
1120 S. Ca CityView 2, Austin, Tex P - 512.33 TBPE Firm www.kfriese	K· + A PUBL pital of Suite as 78 38.170 #6535 .com	F SS of Tex 100 746 4 F	R O JECT as	ENG High		5 ERIN 9	84	-	X:\PROJECTS\0803 ROLLIN
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0 60 120 HORIZONTAL SCALE IN FEET									
			-						REY FLFERS

LEGEND



FLOW ARROW

FLOWPATH

	25-Year Inlet Analysis												
Label	Elevation	Elevation		Flow	Corroad / Top Width (ft)	Inlation	Depth (Gutter) (in)						
	(Ground) (ft)	(Invert) (ft)	Length (ft)	(Captured)	spread / rop width (rt)	Infet Location	Depth (Gutter) (m)						
SDL-A 10+00	616.51	611.12	15	10.02	9.7	In Sag	10.3						
SDL-A 14+92.76	589.91	580.74	PAZD-5x5	2.19	N/A	In Sag	(N/A)						
SDL-A 15+52.96	588.48	577.94	PAZD-5x5	6.29	N/A	In Sag	(N/A)						
SDL-B 10+24.17	608.74	601.93	10	3.07	3.9	On Grade	2.7						
SDL-C 10+15.68	600.66	595.79	10	7.02	7.9	In Sag	10.3						
SDL-D 10+44.10	585.04	578.47	20	13.7	18.7	In Sag	10.2						

					25-YEAR STOP	RM SEWER CALCULATIONS				
									Hydraulic Grade Line	Hydraulic Grade Line
Label	Start Node	Diameter (in)	Manning's n	Flow (cfs)	Velocity (ft/s)	Capacity (Full Flow) (cfs)	Rise (ft)	Span (ft)	(Begin) (ft)	(End) (ft)
SDL-A 1	SDL-A 10+00	24	0.013	10.02	4.8	13.85			612.64	612.6
SDL-A 2	SDL-A 10+27.51	24	0.013	9.99	5.89	18.05			612.47	612.44
SDL-A 3	SDL-A 10+71.43	24	0.013	9.94	13.31	55.17			611.88	605.21
SDL-A 4	SDL-A 12+10.97	36	0.013	35.28	13.52	106.41			603.71	603.76
SDL-A 5	SDL-A 12+38.95	36	0.013	35.26	19.56	177.34			603.15	599.6
SDL-A 6	SDL-A 12+97.88	36	0.013	35.23	19.17	172.57			599.12	596.45
SDL-A 7	SDL-A 13+57.11	36	0.013	40.75	20.6	180.13			595.32	593.36
SDL-A 8	SDL-A 13+76.56	36	0.013	42.88	18.04	146.99			588.29	587.47
SDL-A 9	SDL-A 13+97.30	36	0.013	42.86	17.78	144.08			586.93	584.06
SDL-A 10	SDL-A 14+92.76	36	0.013	44.51	18.42	149.13			582.91	581.5
SDL-A 10	SDL-A 15+52.96	36	0.013	49.39	18.84	148.04			580.23	577.34
SDL-A 11	SDL-A 16+54.65	36	0.013	49.29	14.2	100.96			575.5	575.52
SDL-A 12	SDL-A 16+81.86	36	0.013	49.26	14.35	102.4			574.95	574.81
SDL-A 13	SDL-A 17+12.89		0.013	59.89	16.41	136.86	2	4	570.91	566.01
SDL-A 14	SDL-A 18+45.46		0.013	59.69	16.2	134.49	2	4	565.91	565.22
EX. 15" RCP	H-1	18	0.013	2.72	8.4	21.74			598.53	596.83
SDL-B 1	SDL-B 10+24.17	36	0.013	26.84	3.8	59.26			605.2	605.17
SDL-B 2	SDL-B 10+36.85		0.013	23.78	3.96	75.08	2	3	605.36	605.33
SDL-C	SDL-C 10+15.68	18	0.013	7.02	12.13	24.95			596.82	596.54
SDL-D	SDL-D 10+44.10	24	0.013	13.7	14.32	53.85			581.37	578.77

		-	100-Year Inlet Analysis			
				Spread / Top		Depth (Gutter)
Label	Elevation (Ground) (ft)	Length (ft)	Flow (Captured) (cfs)	Width (ft)	Inlet Location	(in)
SDL-A 10+00	616.51	15	14.65	12.5	In Sag	11.5
SDL-A 14+92.76	589.91	PAZD-5x5	3.27	N/A	In Sag	(N/A)
SDL-A 15+52.96	588.48	PAZD-5x5	9.29	N/A	In Sag	(N/A)
SDL-B 10+24.17	608.74	10	5.98	5.6	On Grade	3.8
SDL-C 10+15.68	600.66	10	12.58	11.6	In Sag	12.5
SDL-D 10+44.10	585.04	20	20.27	24.3	In Sag	11.5

					100-YEAR STO	RM SEWER CALCULATIONS	S			
									Hydraulic Grade Line	Hydraulic Grade Line
Label	Start Node	Diameter (in)	Manning's n	Flow (cfs)	Velocity (ft/s)	Capacity (Full Flow) (cfs)	Rise (ft)	Span (ft)	(In) (ft)	(Out) (ft)
SDL-A 1	SDL-A 10+00	24	0.013	14.65	4.66	13.85			613.21	613.11
SDL-A 2	SDL-A 10+27.51	24	0.013	14.6	6.39	18.95			612.99	612.81
SDL-A 3	SDL-A 10+71.43	24	0.013	14.53	14.81	55.15			612.12	605.71
SDL-A 4	SDL-A 12+10.97	36	0.013	44.11	14.35	106.41			603.94	604.07
SDL-A 5	SDL-A 12+38.95	36	0.013	44.09	20.82	175.83			603.38	599.90
SDL-A 6	SDL-A 12+97.88	36	0.013	44.04	20.41	175.8			599.35	597.08
SDL-A 7	SDL-A 13+57.11	36	0.013	53.91	22.27	176.23			595.63	593.61
SDL-A 8	SDL-A 13+76.56	36	0.013	57.14	19.49	146.25			588.61	587.83
SDL-A 9	SDL-A 13+97.30	36	0.013	57.11	19.2	147.04			587.25	584.58
SDL-A 10	SDL-A 14+92.76	36	0.013	59.57	19.92	148.86			583.23	582.07
SDL-A 10	SDL-A 15+52.96	36	0.013	66.76	20.4	147.51			580.55	578.19
SDL-A 11	SDL-A 16+54.65	36	0.013	66.62	9.43	101.11			576.40	576.16
SDL-A 12	SDL-A 16+81.86	36	0.013	66.55	9.41	101.01			575.89	575.61
SDL-A 13	SDL-A 17+12.89		0.013	82.21	18.09	136.79	2	4	571.00	566.02
SDL-A 14	SDL-A 18+45.46		0.013	81.93	17.85	137.61	2	4	566.00	565.53
SDL-B 1	SDL-B 10+24.17	36	0.013	32.23	32.23	4.56			605.76	605.72
SDL-B 2	SDL-B 10+36.85		0.013	26.27	26.27	4.38	2	3	606.02	605.98
SDL-C	SDL-C 10+15.68	18	0.013	12.58	12.58	14.15			597.13	596.97
SDL-D	SDL-D 10+44.10	24	0.013	20.27	20.27	15.93			581.66	578.98
EX. 15" RCP	H-1	18	0.013	4.12	4.12	9.46			598.68	596.92

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		з JG)))	NATURAL GAS LINE ELECTRIC OVERHEAD ELECTRIC UNDERGROUND GUY WIRE WATER METER WATER VALVE	F 11 C A P T	120 S. Ca ityView 2, sustin, Tex P = 512.33 BPE Firm	K • + A PUBLIA pital o Suite as 787 38.1704 #6535	FR SSO PROJEC f Texas 100 746 4 F -	U T ENGIN Highw 512.33		S G
			SPRINKLER VALVE WASTEWATER MANHOLE CLEANOUT FIRE HYDRANT POWER POLE ELECTRIC JUNCTION BOX SIGN MAILBOX TREE	SU DF DES CHI REV 0 	INOTES	SY Y BY BY BY	NAM KT AF GE 20 SCAL 4	EIN	DA 07/ 07/ 07/	TE 21 21 21 21 21 40 T 8
		—25Y—— —100Y——	TREE WELL 25 YEAR HGL 100 YEAR HGL	PL	vertic	3	CALE	IN FE	^{ΞΕΤ}	■ 52

Page 111



ABBREVIATIONS
PRM - PRECAST ROUND MANHOLE
CI - CURB INLET
PSL - PRECAST SLAB LID
TY - TYPE
SDL - STORM DRAIN LINE
PROP - PROPOSED

	LEGEND	
25 YEAR HGL	25Y	
100 YEAR HGL	——————————————————————————————————————	

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CITY OF ROLLINGWOOD, TEXAS DIBLIC WORKS DEPARTMENT	FROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT DEPARTMENT DEPARTMENT OF ROLLINGWOOD DRAINAGE IMPROVEMENTS JL-D LATERAL PLAN & PROFILES	
CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT CITY OF ROLLINGWOOD REPARTMENT CITY OF ROLLINGWOOD CITY OF ROLLINGWOOD SDL-B, SDL-C & SDL-D LATERAL PLAN & PROFILES	F ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT OF ROLLINGWOOD SRAINAGE IMPROVEMENTS)L-D LATERAL PLAN & PROFILES	
	CITY OI CITY PROPOSED I SDL-B, SDL-C & SE	HIRBARD-HATI EY. DRAINAGE IMPROVEMENTS/DGN/SHEFTS/0803-C-SD-PI PR01 DWG COA ESD STB
	K+FRIESE + ASSOCIATES PUBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm #6535	VPROJECTS/0803 ROLLI
K+FRIESE + ASSOCIATES PUBLIC PROJECT ENGINEERING 1120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P - 512.338.1704 F - 512.338.1784 TBPE Firm #6535	NOTES NAME DATE	
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NU 1. 2. 3	ALL CONCRETE SHALL BE CLASS "A" AS PER ITEM 403S. ALL REINFORCING STEEL SHALL BE GRADE 60 DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTERS OF BARS.
3. 4.	IN AREAS OF CONFLICT BETWEEN REINFORCING STEEL, PIPES AND MANHOLE FRAME, THE REINFORCEMENT SHALL BE BENT OR ADJUSTED TO CLEAR AS DIRECTED BY THE
5. 6.	PAYMENT FOR INLET AT THE CONTRACT PRICE SHALL INCLUDE THE TRANSITION CURB, IN ACCORDANCE WITH CITY OF AUSTIN STANDARD INLET DESIGN. INVERT OF INLET SHALL BE SLOPED 1:20 WITH FILL CONCRETE BY CONTRACTOR,
7.	SHAPED AS "V" SECTION THIS STANDARD COMPLIES WITH THE CITY OF AUSTIN STANDARD SPECIFICATIONS ITEM NO 508S
8.	WHEN PLACING PRECAST INLETS IN SERIES TO CREATE A 15'-0" OR 20'-0" CURB INLET, THE CONNECTION BETWEEN INLET BOXES SHALL BE SOIL TIGHT AND FULLY CONVEY THE PEAK DESIGN FLOW FROM THE UPSTREAM INLET(S). THE 1:20 INVERT SLOPE DESCRIBED IN NOTE 6 OF THIS DETAIL SHALL EXTEND FROM THE MOST DOWNSTREAM POINT TO THE MOST UPSTREAM OF THE CONNECTED INLET BOXES. AT NO TIME CAN MORE THAN 20-LF OF CURB OPENING BE CONNECTED TO A MAIN STOR DRAIN LINE WITH ONE LATERAL STORM DRAIN CONNECTION.
	CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT CURB INLET 1.5m(5')AND3m(10')PRECA





IT IS NO CONSTRU PERI	UMENT IS PURPOSE VIEW UNE AUTHORI FF ELFER IC. # 1335 03/15/2023 T TO BE U JCTION, B MIT PURPO	RELEAS OF INTER DER TY OF S, P.E. 55 3. SED FOR IDDING O DSES.									
CITY OF ROLLINGWOOD, TEXAS PUBLIC WORKS DEPARTMENT	CITY OF ROLLINGWOOD, IEAAS DEPARTMENT CITY OF ROLLINGWOOD ROLLINGWOOD DRAINAGE IMPROVEMENTS DRAINAGE & PAVEMENT DETAILS										
REFERENCE TEXAS K.F.R.IESE + ASSOCIATES PUBLIC PROJECT ENGINEERING T120 S. Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 P – 512.338.1704 F – 512.338.1784 TBPE Firm #6535 www.kfriese.com NOTES NAME DATE SURVEY BY DI DRAWN BY KT 07/21 DESIGNED BY AF 07/21 CHECKED BY GE 07/21 REVIEWED BY DI											
DET02 16 OF 32											



					MAX DE	EPTH = 15 ft. to to	p of BASE SLA	B							MAX DE	PIH = 25 ft. to top	o of BASE SLA	 ЛВ				~	
			Base Slab			Base Unit orRise	er Walls		Below Grade S	Slab (w/PJB)Redu	ucing Slab (w/PB)		Base Slab			Base Unit orRise	er Walls		Below Grade S	lab (w/PJB)Redu	cing Slab (w/PB)	e Ger	م ب 2)
		iort vanReinf eelArea	ng aanReinf eelArea	kness	hort panReinf teelArea	ong panReinf teelArea	lickness	educed iser Size	hort panReinf teelArea	ong panReinf teelArea	kness	hort panReinf teelArea	ng panReinf eelArea	kness	hort panReinf teelArea	ng aanReinf eelArea	kness	Reduced Riser Size	short spanReinf steelArea	ong panReinf teelArea	kness	n Height(Se ite 3)	 HOLE DIv Fab Note
	X X Y	ත් හි හි Ashort	ු හි හි Along	BS	Bshort	Blong	₩	RWSxRWLor	ID Dshort	Dlong	TS	Ashort	් හි හි Along	BS	Bshort	ු ග් හි Blong	Thio	RWSxRWLor	· ID _{Dshort}	Dlong		≣ 2 BH MIN	
	ft	in₂/ft	in₂/ft	in	in₂/ft	in₂/ft	in	ft **	in₂/ft	in₂/ft	in.	in₂/ft	in₂/ft	in.	in₂/ft	in₂/ft	in.	ft **	in₂/ft	in₂/ft	in.	ft.	in.
	3x3	0.23	0.23	6	0.19	0.19	6	N/A	0.37	0.37	9	0.29	0.29	6	0.24	0.24	6	N/A	0.37	0.37	9	3.5	36
(BLc	4x4	0.29	0.29	6	0.24	0.24	6	N/A	0.41	0.41	9	0.47	0.47	6	0.38	0.38	6	N/A	0.41	0.41	9	4.5	48
3ox (F	3x5	0.29	0.18	6	0.19	0.35	6	N/A	0.48	0.48	9	0.39	0.18	6	0.23	0.59	6	N/A	0.48	0.48	9	3.5	36/60
ction	4x5	0.36	0.18	6	0.22	0.34	6	N/A	0.42	0.42	9	0.53	0.26	6	0.39	0.59	6	N/A	0.42	0.42	9	4.5	48/60
t June	5x5	0.36	0.36	6	0.34	0.34	6	N/A	0.43	0.43	9	0.62	0.62	6	0.59	0.59	6	N/A N/A	0.43	0.43	9	5.5	60/72
recas	6x6	0.27	0.27	9	0.34	0.45	<u>ь</u> 6	N/A	0.48	0.48	9	0.52	0.43	9	0.50	0.54	8	N/A	0.56	0.56	9	6.5	72
<u> </u>	8x8	0.46	0.46	9	0.51	0.51	8	N/A	0.45	0.45	12	0.87	0.87	9	0.59	0.59	10	N/A	0.45	0.45	12	8.5	96
	3x3	0.23	0.23	6	0.19	0.19	6	N/A	N/A	N/A	N/A	0.29	0.29	6	0.24	0.24	6	N/A	N/A	N/A	N/A	3.5	36
	4x4	0.29	0.29	6	0.24	0.24	6	N/A	N/A	N/A	N/A	0.47	0.47	6	0.38	0.38	6	N/A	N/A	N/A	N/A	4.5	48
	3x5	0.29	0.18	6	0.19	0.35	6	3x3	0.30	0.34	9	0.39	0.18	6	0.23	0.59	6	3x3	0.40	0.40	9	3.5	36/60
	4x5	0.36	0.18	6	0.22	0.34	6	3x3	0.30	0.30	9	0.53	0.26	6	0.39	0.59	6	3x3	0.46	0.37	9	4.5	48/60
(;	4X5 4x5	0.36	0.18	6	0.22	0.34	6	4x4	0.30	0.30	9	0.53	0.20	6	0.39	0.59	6	48"	0.33	0.33	9	4.5	48/60
ie (PE	4x5	0.36	0.18	6	0.22	0.34	6	3x5	0.33	0.40	9	0.53	0.26	6	0.39	0.59	6	3x5	0.48	0.48	9	4.5	48/60
t Bas	5x5	0.36	0.36	6	0.34	0.34	6	3x3	0.34	0.34	9	0.62	0.62	6	0.59	0.59	6	3x3	0.53	0.53	9	5.5	60
recas	5x5	0.36	0.36	6	0.34	0.34	6	4x4	0.36	0.36	9	0.62	0.62	6	0.59	0.59	6	4x4	0.64	0.64	9	5.5	60
۵.	5x5	0.38	0.38	6	0.34	0.34	6	48"	0.36	0.36	9	0.62	0.62	6	0.59	0.59	6	48"	0.64	0.64	9	5.5	60
	5x5	0.36	0.36	6	0.34	0.34	6	3x5	0.34	0.40	9	0.62	0.62	6	0.59	0.59	6	3x5	0.53	0.53	9	5.5	60
	5x6	0.31	0.31	9	0.34	0.45	6	4x4	0.34	0.34	9	0.47	0.45	9	0.38	0.54	8	4x4	0.01	0.57	9	5.5	60/72
	5x6	0.29	0.29	9	0.34	0.45	6	48"	0.36	0.45	9	0.47	0.45	9	0.38	0.54	8	48"	0.74	0.57	9	5.5	60/72
	5x6	0.29	0.29	9	0.34	0.45	6	3x5	0.45	0.45	9	0.47	0.45	9	0.38	0.54	8	3x5	0.61	0.61	9	5.5	60/72
	6x6	0.29	0.29	9	0.45	0.45	6	3x3	0.41	0.41	9	0.52	0.52	9	0.54	0.54	8	3x3	0.74	0.74	9	6.5	72
	6x6	0.27	0.27	9	0.45	0.45	6	4x4	0.45	0.45	9	0.52	0.52	9	0.54	0.54	8	4x4	0.87	0.87	9	6.5	72
	6x6	0.29	0.29	9	0.45	0.45	6	48" 3x5	0.45	0.45	9	0.52	0.52	9	0.54	0.54	8	3x5	0.87	0.87	9	6.5	72
	8x8	0.29	0.52	9	0.51	0.51	8	3x3	0.61	0.61	12	0.91	0.91	9	0.70	0.70	10	3x3	0.85	0.85	12	8.5	96
	8x8	0.52	0.52	9	0.51	0.51	8	4x4	0.70	0.70	12	0.87	0.87	9	0.70	0.70	10	4x4	1.01	1.01	12	8.5	96
	8x8	0.52	0.52	9	0.51	0.51	8	48"	0.70	0.70	12	0.87	0.87	9	0.70	0.70	10	48"	1.01	1.01	12	8.5	96
	8x8	0.52	0.52	9	0.51	0.51	8	3x5	0.70	0.85	12	0.87	0.87	9	0.70	0.70	10	3x5	1.01	1.01	12	8.5	96
														** Unle	ess otherwise in	dicated.					F		NG
											FABRICAT 1. Maximum 2. At manufa maximum to provide GENERAL	TION NOTES spacing of reinfo icturer's option, diameter shown a wall with no se NOTES:	: provide cast or co for each. When ectional reduction	ned holes or thir no penetration is	n wall panels (KC s required, it is a	D) to the cceptable					exas Departm DESIGN	DATA	sportation FOR
											 Precast Ju grade slab Precast Ba required), a Min Heigh Smaller he noted else 	Inction Box cons See sheet PJI ase consists of l and reduced rise t shown is for st ight base units o where in the pla	sists of base slab, 3 for details. base slab, base u ers (as required). ock base units. L can be used in sp ns. Absolute min	base unit, riser nit, risers (as re See sheet PB f Jse stock base u ecial installation imum height of l	rs (as required), a equired), reducing for details. units whenever p n circumstances, base units is 2'-6	and below slab (as ractical. when ".					PRECAS JUNC	ST BAS TION B	E AND OX PDD
																				FILE: pre	std10-20.dgn	dn: TxDOT	СК: TxDOT DW:
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Indow SUBMITTAL 100% SUBMITTAL THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF GEOFF ELEFERS, P.E. LIC. # 133555 03/15/2023. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR DETUG IN ON	B≺										
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TI IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. SURVEY SU		GE	DFF E LIC. # 03/1	ELFE # 13: 5/20	RS 355 23.	5, P 55	Ρ.Ε.				
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1 0" Min to 5'-0" Max. Estimated cu structures with pedestrian rail or o Details (ECD) standard sheet. Fo to the Mounting Details for T631 & to the Rail Anchorage Curb (RAC) than T631 or T631LS.

- ² For vehicle safety, the following r · For structures without bridge finished grade. · For structures with bridge rail
- Reduce curb heights, if necessar be made in quantities and no add
- $^{(3)}$ For curbs less than 1'-0" high, tilf maintain cover. For curbs less th
- 4 1'-0" typical. 2'-3" when the Rail , to elsewhere in the plans.

The Contractor may replace Bars E welded wire reinforcement (WWR) area of required reinforcement may Spacing of WWR is limited to 4" M in the WWR of the same length re wire sizes between conventional b never less than the lap length requ

Example conversion: Replacing No Required WWR = (0.44 sq. in. per If D30.6 wire is used to meet the 0. the required spacing = (0.306 sq. i Max spacing. Required lap length minimum lap length required for un

> CONSTRUCTION NOTE Do not use permanent forms. Chamfer the bottom edge of t Optionally, raise construction this option is taken, Bars M may

MATERIAL NOTES: Provide Grade 60 reinforcing

- Provide galvanized reinforcing Provide Class C concrete (f'c = following exceptions: provide (
- · culverts with overlay, · culverts with 1-to-2 course s · culverts with the top slab as
- Provide bar laps, where require Uncoated or galvanized ~ · Uncoated or galvanized ~ #

- GENERAL NOTES: Designed according to AASHT fill heights shown. See the Single Box Culverts Ca sheet for details pertaining to sk
- Cover dimensions are clear
- Reinforcing bar dimensions



PLAN OF REINF STEEL



	<u> </u>		
	REVISION DESCRIPTION		
curb heights are shown elsewhere in the plans. For r curbs taller than 1'-0", refer to the Extended Curb For structures with T631 or T631LS bridge rail, refer 1 & T631LS Rails (T631-CM) standard sheet. Refer AC) standard sheet for structures with bridge rail other	DATE		
requirements must be met: e rail, construct curbs no more than 3" above	NO. BY		
il, construct curbs flush with finished grade. ary, to meet the above requirements. No changes will dditional compensation will be allowed for this work.	100%	SUBM	
it Bars K or reduce bar height as necessary to than 3" high, Bars K may be omitted.	THIS DO	CUMENT IS F PURPOSE O	RELEASED F INTERIM
il Anchorage Curb (RAC) standard sheet is referred	IT IS NO	EVIEW UNDE E AUTHORITY OFF ELFERS LIC. # 13355 03/15/2023. DT TO BE US	ER Y OF , P.E. 5 ED FOR
B, C, D, E, F1, F2, M, Y, and/or Z with deformed) meeting the requirements of ASTM A1064. The ay be reduced by the ratio of 60 ksi / 70 ksi. /in and 18" Max. When required, provide lap splices equired for the equivalent bar size, rounded up for bar sizes. The lap length required for WWR is uired for uncoated #4 bars.	CONSTR	QUCTION, BID	DING OR SES.
No. 6 Gr 60 at 6" Spacing with WWR. r 0.5 ft.) x (60 ksi / 70 ksi) = 0.755 sq. in. per ft. 0.755 sq. in. per ft. requirement in this example, in.) / (0.755 sq. in. per ft.) x (12 in. per ft.) = 4.86" in for the provided D30.6 wire is 2'-1" (the same incoated #5 bars, as listed under MATERIAL NOTES).		EMENTS	S
	(AS	D	ETAI
ES:	, TEX	VOO	
the top slab 3" at the entrance. joints shown at the flow line by a maximum of 6". If ay be cut off or raised, Bars C and D may be reversed.	/OOD JRKS ENT		NEN
steel.	NGW C WO		AVEN
s = 3,600 psi) for culvert barrel and curb, with the Class S concrete (f'c = 4,000 psi) for top slabs of:	ROLL DEP/	JF R(& P/
surface treatment, or s the final riding surface. ed, as follows: #4 = 1'-8" Min #5 = 2'-1" Min	CITY OF F	CITY O VOOD I	INAGE
ITO LRFD Bridge Design Specifications for the range of Cast-In-Place Miscellaneous Detail (SCC-MD) standard skewed ends, angle sections, and lengthening.		SOLLING	DRA
hown are out-to-out of bar.			
	Dal		
HL93 LOADING SHEET 1 OF 2	Ru	K·FRI	-TEXAS - ESE
Texas Department of Transportation Bridge Division	1120 S. C	+ ASSOC PUBLIC PROJECT apital of Texas H	ENGINEERING lighway
SINGLE BOX CULVERTS	Austin, Te P - 512.3 TBPE Firm www.kfries	, Suite 100 xas 78746 338.1704 F – 5 #6535 e.com	12.338.1784
0' TO 30' FILL	NOTES		DATE
	DRAWN B	BY KT	07/21
FILE: SCC34ste-21.dgn DN: TBE CK: BMP DW: TxDOT CK: TxDOT	DESIGNED	BY AF BY GE	07/21
CTXDOT February 2020 CONT SECT JOB HIGHWAY REVISIONS 04/2021 Updated X values. DIST COUNTY SHEET NO.	REVIEWED) BY	
	DETO	5 19	OF 32

Page 118

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				5											BIL	LS OF F	REIN	EINFORCING STEEL (For Box Length = 40 feet)																		
S D	ECTION	N IONS		HEIGH ⁻			Ва	ars B					Ba	ars C						В	ars D				Bar	s M ~ #4		Ва	ars F1 ~ #4 at 18" Spa		В	ars F2 ~ # at 18" Sp	^t 4 a	Bars I 4 ~ #4	4	Bars
S	н	т	U	FILL	No.	Size	Spa	Length	Weight	No.	Size	Spa	Length	Weight	" X "	" Y "	No.	Size	Spa	Length	Weight	" Y "	" Z "	No.	Spa	Length	Weight	No.	Length	Wt	No.	Length	Weight	Length	Wt	No.
3' - 0"	2' - 0"	8"	7"	30'	108	#5	9"	3' - 11"	441	108	#4	9"	5' - 4"	385	2' - 6"	2' - 10"	108	#4	9"	5' - 1"	367	2' - 10"	2' - 3"	108	9"	2' - 0"	144	3	39' - 9"	80	19	39' - 9"	505	3' - 11"	10	10
3' - 0"	3' - 0"	8"	7"	30'	108	#5	9"	3' - 11"	441	108	#4	9"	6' - 4"	457	3' - 6"	2' _ 10"	108	#4	9"	5' - 1"	367	2' - 10"	2' - 3"	108	9"	3' - 0"	216	3	39' - 9"	80	23	39' - 9"	611	3' - 11"	10	10
4' - 0"	2' - 0"	8"	7"	30'	108	#5	9"	4' - 11"	554	162	#4	6"	5' - 8"	613	2' - 6"	3' - 2"	162	#4	6"	5' - 5"	586	3' - 2"	2' - 3"	108	9"	2' - 0"	144	3	39' - 9"	80	21	39' - 9"	558	4' - 11"	13	12
4' - 0"	3' - 0"	8"	7"	30'	108	#5	9"	4' _ 11"	554	162	#4	6"	6' - 8"	721	3' - 6"	3' - 2"	162	#4	6"	5' - 5"	586	3' - 2"	2' - 3"	108	9"	3' - 0"	216	3	39' - 9"	80	25	39' - 9"	664	4' - 11"	13	12
4' - 0''	4' - 0''	8"	7"	30'	108	#5	9"	4' - 11"	554	162	#4	6"	7' - 8"	830	4' - 6"	3' - 2"	162	#4	6"	5' - 5"	586	3' - 2"	2' - 3"	108	9"	4' - 0''	289	3	39' - 9"	80	25	39' - 9"	664	4' - 11"	13	12

BILLS OF REINFORCING STEEL	(For Box Length = 40 feet)
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⁽⁵⁾ For direct traffic culverts (fill height ≤ 2 ft.), identify the required box size and select the option with the minimum fill height.

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BARS U (#4) $^{(6)}$

Spaced at 12" Max

- \bigcirc "T" is equal to the culvert top slab thickness. For precast boxes with slabs less than 8" thick, see SCP-MD standard for additional details.
- 2 Adjust normal culvert slab bars as necessary to clear obstructions.
- ³Place bars L as shown. Tilt hook as necessary to maintain cover.
- (4) Place normal culvert curb bars H(#4) as shown. Adjust as necessary to clear obstructions.
- Additional bars H(#4) as required to maintain 12" Max spacing.
- 6 Replace normal culvert curb bars K with one bar U and two bars V as shown spaced at 12" Max. Adjust length of bars V as necessary to maintain clear cover.
- Optional bars L are to be used only for precast box culverts with 3'-0" closure pour.
- 8 Quantities shown are for Contractor's information only. Quantities are per linear foot of curb length. The value in table can be interpolated for intermediate values of curb height, "C". Quantity includes bars K (when applicable).

- TABLE CURI	OF ESTIM B QUANTIT	ATED IES (8)
Curb Height "C"	Conc (CY/LF)	Reinf Steel (Lb/LF)
1'-0"	0.037	10.4
1'-6"	0.056	14.5
2'-0"	0.074	15.6
2'-6"	0.093	18.0
3'-0"	0.111	19.0
3'-6"	0.130	21.3
4'-0"	0.148	22.4
4'-6"	0.167	24.8
5'-0"	0.185	25.9

CONSTRUCTION NOTES:

Adjust reinforcing steel as necessary to provide 1 ¼" cover. For vehicle safety, top of the curb must not project more than 3" above the finished grade.

MATERIAL NOTES: Provide Grade 60 reinforcing steel. Provide galvanized reinforcing steel if required elsewhere in the plans. Provide Class "C" concrete (f'c = 3,600 psi) minimum for curbs Provide bar laps, where required, as follows: \cdot Uncoated or galvanized ~ #4 = 1'-8" Min

GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications. These extended curb details have sufficient strength to allow for future retrofit of Type T631 or T631LS railing. These details are suitable for use with PR11, PR22 and PR3 type rails. These details are not suitable for the mounting of other rail types. For new construction using T631 or T631LS railing, use the T631—CM standard.

This Curb is considered as part of the Box Culvert for payment. Cover dimensions are clear dimensions, unless noted

otherwise. Reinforcing bar dimensions shown are out-to-out of bar.

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NOTES:

- 1. CONTRACTOR TO PROVIDE ACCESS TO DRIVEWAYS AT ALL TIMES.
- 2. CONSTRUCTION ACTIVITIES SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM.
- 3. CONSTRUCTION WILL BE SEQUENCED IN A MANNER THAT WILL NOT DISTURB OR DAMAGE PREVIOUSLY CONSTRUCTED WORK.

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STABILIZED CONSTRUCTION ENTRANCE

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NOTES:

- 1. CONTRACTOR TO PROVIDE ACCESS TO DRIVEWAYS AT ALL TIMES.
- 2. CONSTRUCTION ACTIVITIES SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM.
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EXISTING FEATURES

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	RIGHT OF WAY LINE
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LIMITS OF CONSTRUCTION

STABILIZED CONSTRUCTION ENTRANCE

REVEGETATE

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----SF----SF---- SILT FENCE

— TP — TP — TP — TREE PROTECTION

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NOTES:

- 1. ALL PROPERTY OWNERS ADJACENT TO CONSTRUCTION MUST HAVE ACCESS TO THEIR PROPERTY AT ALL TIMES.
- 2. SEE COA TRAFFIC CONTROL STANDARDS FOR PLACEMENT OF FLAGGERS AND DETOUR STANDARDS.
- CONTRACTOR MAY USE AN ALTERNATE TRAFFIC CONTROL PLAN PROVIDED THAT PLAN IS SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.















- 2. FOR LOW-VOLUME APPLICATIONS, A SINGLE FLAGGER MAY BE ADEQUATE. WHERE ONE FLAGGER CAN BE USED, SUCH AS FOR SHORT WORK AREAS ON STRAIGHT ROADWAYS, THE FLAGGER MUST BE VISIBLE TO APPROACHING TRAFFIC FROM BOTH DIRECTIONS. 3. FLAGGERS SHALL USE ONLY STOP/SLOW PADDLE TO DIRECT TRAFFIC UNLESS WORKING IN A SIGNALIZED INTERSECTION WHERE DRIVERS MAY BE CONFUSED BY THE SIGN
- PADDLE. HAND SIGNAL MAY BE USED IN THESE SITUATIONS. 4. FLAGGERS SHALL ENSURE THAT ALL REQUIRED SIGNING IS IN PLACE PRIOR TO
- BEGINNING FLAGGING OPERATIONS. 5. FLAGGERS SHALL NOT PERFORM WORK THAT IS NOT RELATED TO FLAGGING WHILE
- ON DUTY. 6. FLAGGERS MAY CARRY AIR HORNS OR WHISTLES TO WARN WORKERS OF AN
- EMERGENCY CONDITION. 7. FLAGGERS SHALL BE REQUIRED TO USE TWO-WAY RADIOS WHEN OUT OF CLEAR VIEW
- OF EACH OTHER. 8. FLOODLIGHTS SHOULD BE PROVIDED TO MARK FLAGGER STATIONS AT NIGHT AS NEEDED.

SPEED (kmph)	SPEED* (mph)	LENGTH (meters)	LENGTH (feet)
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40	25	17	55
50	30	26	85
55	35	36	120
65	40	51	170
70	45	66	220
80	50	84	280
90	55	101	335
95	60	125	415
105	65	146	485

DEPARTMENT OF PUBLIC WORKS	FLAGGER SETUP FOR 2 L	ANE ROADWAY
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EXISTING 2" WATER MAIN TO BE ABANDONED

EXISTING WATER METER TO BE RELOCATED

CONNECT TO EXISTING WATER SERVICE YARD PIPING

2803 HUBBARD CIRCLE

2803 HUBBARD CIRCLE INSTALL:

225 LF 1" HDPE SERVICE LINE RELOCATE EXISTING METER FROM BACKYARD TO DOUBLE METER BOX IN FRONT OF PROPERTY CONTRACTOR TO COORDINATE WITH CITY AND PROPERTY OWNER FOR SERVICE LINE ROUTING PRIOR TO STARTING CONSTRUCTION

CONNECT TO EXISTING 6" WATERLINE IN HUBBARD CIRCLE INSTALL: XX LF 2" HDPE SERVICE LINE 1-NEW DOUBLE METER BOX PER DETAIL 520-AW-01B

PROPOSED DRAINAGE INFRASTRUCTURE

2800 HUBBARD CIRCLE

EXISTING PROPERTY LINE



EXISTING FEATURES

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CENTERLINE
RIGHT OF WAY LINE
PROPERTY LINE
EASEMENT LINE
BUILDING SETBACK LINE
BACK OF CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
GUTTER
CONCRETE PAVEMENT
DRAINAGE FLOW LINE
DITCH EDGE
WOOD FENCE
MAJOR CONTOURS
MINOR CONTOURS
GRADE BREAK
PAVED PARKING / DRIVEWAY
SLOPE TOP
SLOPE BOTTOM
WASTEWATER LINE
WATER LINE
ROCK WALL
EXISTING RCP PIPE
NATURAL GAS LINE
ELECTRIC OVERHEAD
ELECTRIC UNDERGROUND
GUY WIRE
WATER METER
WATER VALVE
SPRINKLER VALVE
WASTEWATER MANHOLE
CLEANOUT
FIRE HYDRANT
POWER POLE
ELECTRIC JUNCTION BOX
STOP SIGN
MAILBOX
TREE
TREE WELL





EXISTING FEATURES

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CENTERLINE RIGHT OF WAY LINE PROPERTY LINE EASEMENT LINE BUILDING SETBACK LINE BACK OF CURB EDGE OF ASPHALT EDGE OF CONCRETE GUTTER CONCRETE PAVEMENT DRAINAGE FLOW LINE DITCH EDGE WOOD FENCE MAJOR CONTOURS MINOR CONTOURS GRADE BREAK PAVED PARKING / DRIVEWAY SLOPE TOP SLOPE BOTTOM WASTEWATER LINE WATER LINE ROCK WALL EXISTING RCP PIPE NATURAL GAS LINE ELECTRIC OVERHEAD ELECTRIC UNDERGROUND GUY WIRE WATER METER WATER VALVE SPRINKLER VALVE WASTEWATER MANHOLE CLEANOUT FIRE HYDRANT POWER POLE ELECTRIC JUNCTION BOX STOP SIGN MAILBOX TREE TREE WELL

PUBLIC WORKS DEPARTMENT		PROPOSED DRAINAGE IMPROVEMENTS		WATER ABANDONMENT PLAN			
NOTES NAME DATE							
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MATERIALS LIST A. 2" SERVICE CLAMP, SPL WW-264

- B. 2" CORPORATION STOP, SPL WW-68 2" HDPE WATER SERVICE TUBING, SPL WW-65
- 2" BALL VALVE, SPL WW-68
- 1" SWIVEL NUT x 1" COMPRESSION 90° BEND, SPL WW-68
- G. 1" HDPE WATER SERVICE TUBING, SPL WW-65 H. 1" ANGLE METER STOP, SPL WW-68 METER BOX AND LID. SPL WW-145A
- MATERIALS TO BE INSTALLED BY PLUMBER
- WATER METER PURCHASED FROM AUSTIN WATER
- $\frac{5}{8}$ " AND $\frac{3}{4}$ " METERS: 8 $\frac{1}{2}$ " LONG x $\frac{3}{4}$ " DIA. 1" METERS: 8 ½" LONG x 1" DIA. M. PROPERTY OWNER'S CUT OFF VALVE. SPL WW-276
- N. PROPERTY OWNER'S CUT OFF VALVE BOX AND LID
- NOTES
- INSTALLATION. TOP OF METER BOXES SHOULD BE 4" ABOVE GROUND.
- TRAFFIC AREA AND SIDEWALK.
- LOCATED MORE THAN 36" BELOW FINAL GRADE. METER SIZES TO BE SHOWN ON PLANS.
- TO BALL VALVE "D".
- 2' DEPTH OF COVER
- SECTION OF TUBING.
- COMPRESSION FITTING USED.
- CAST INTO THEM, SPL WW-145A.

DRAFT - NOTICE OF RULE ADOPTION ONL JEFF A. KYLE



2803 HUBBARD CIRCLE FRONT YARD



E. SINGLE SERVICE: 2" MIP X 1" COPPER FLARE FITTING, SPL WW-68 OR DOUBLE SERVICE: 2" MIP X 1" COPPER FLARE WYE. SPL WW-68

FOR DUAL 1" METERS: USE TWO SINGLE METER BOXES

BRASS METER BUSHING - SIZE AS NEEDED TO CONNECT ANGLE METER STOP TO METER BRASS WATER METER COUPLING MALE IPT x SWIVEL COUPLING NUT:

O. TEMPORARY METER SPACER (REQUIRED TO ASSURE METER WILL FIT APPROPRIATELY) P. 1" WOODEN DOWEL (SHOW ADDRESS ON DOWEL USING WATERPROOF MARKER)

SERVICE CLAMP SHALL BE WRAPPED COMPLETELY WITH 8 MIL. POLYETHYLENE FILM, SPL WW-27D. BRANCH CONNECTIONS AND ALL ANGLE METER STOPS MUST BE INSTALLED PRIOR TO ANY METER

PIPING AND TUBING IN STREET RIGHT-OF-WAY SHALL BE BEDDED IN GRANULAR MATERIALS AS REQUIRED BY SECTION 510.3 (14) OF THE CITY OF AUSTIN STANDARD SPECIFICATIONS; BACKFILL ABOVE GRANULAR BEDDING AS REQUIRED BY SECTION 510.3 (25). METER BOX MUST BE BEHIND CURB NEXT TO PROPERTY LINE OR EASEMENT AND OUT OF VEHICULAR

BALL VALVE "D" SHALL NOT BE LOCATED UNDER SIDEWALK, CURB, OR PAVEMENT, AND NOT BE

METER BOX CUT OUTS SHALL NOT EXCEED TWO TIMES THE PIPE DIAMETER. INSTALL METALLIC TRACER TAPE, SPL WW-597, MINIMUM 1' ABOVE TUBING FROM SERVICE CLAMP "A"

10. TUBING SHALL BE PLACED IN A STRAIGHT ALIGNMENT AND ALLOWED TO RELAX AND "SNAKE" LOOSELY IN THE TRENCH. TUBING BEHIND CURB AND GUTTER SHALL BE INSTALLED WITH A MINIMUM

1. 1" TUBING, WHEN BENT, SHALL HAVE A RADIUS NO SMALLER THAN 3'. 2" TUBING, WHEN BENT, SHALL HAVE A RADIUS NO SMALLER THAN 5'. BRASS FITTINGS SHALL NOT BE CONNECTED TO A BENT

12. SOLID, TUBULAR STAINLESS STEEL INSERT STIFFENERS FOR HDPE TUBING SHALL BE USED AT ALL COMPRESSION FITTINGS. INSERT STIFFENERS SHALL BE FROM THE SAME MANUFACTURER AS THE

13. FOR RECLAIMED WATER SERVICES AND METERS. ALL RECLAIMED TUBING SHALL BE MANUFACTURED SOLID PURPLE, SPL WW-65A. ALL APPURTENANCES SHALL BE MANUFACTURED PURPLE IF AVAILABLE. ALL FITTINGS THAT ARE NOT AVAILABLE FROM THE MANUFACTURER IN PURPLE SHALL BE PAINTED PURPLE PER SPL WW-3C. ALL METER BOX LIDS SHALL BE PURPLE AND HAVE "RECLAIMED WATER"

	WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS						
Y 08/16/2019	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD	STANDARD NO. 520-AW-01B					

STANDARD CONSTRUCTION NOTES

- THE CITY STANDARD CONSTRUCTION SPECIFICATIONS CURRENT AT THE TIME OF BIDDING SHALL COVER MATERIALS AND METHODS USED TO DO THIS WORK.
- 2. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED, OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS. THE CITY OF AUSTIN WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.0.W./EASEMENT LINES.
- NO OTHER UTILITY SERVICE/APPURTENANCES SHALL BE PLACED NEAR THE PROPERTY LINE, OR OTHER ASSIGNED LOCATION DESIGNATED FOR WATER AND WASTEWATER 3 UTILITY SERVICE THAT WOULD INTERFERE WITH THE WATER AND WASTEWATER SERVICES.
- THE CITY SPECIFICATION ITEM 509S WILL BE REQUIRED AS A MINIMUM TRENCH SAFETY MEASURE. 4.
- ALL MATERIALS TESTS ORDERED BY THE OWNER FOR QUALITY ASSURANCE PURPOSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE 5. OWNER IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 1804S.04.
- PRESSURE TAPS SHALL BE ALLOWED ON A CASE BY CASE BASIS, AS DETERMINED BY THE DIRECTOR'S DESIGNEE. NORMALLY PRESSURE TAPS 4 INCHES AND LARGER SHALL 6 BE ALLOWED IN THE FOLLOWING CASES: A) A TEST SHUT OUT INDICATES AN ADEQUATE SHUT OUT TO PERFORM THE WORK IS NOT FEASIBLE B) MORE THAN 30 CUSTOMERS OR A SINGLE CRITICAL CUSTOMER (AS DEFINED BY AUSTIN WATER) WOULD BE IMPACTED BY THE SHUT OUT OR C) THE EXISTING WATER LINE WARRANTS IT.
- THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 510.3(22) AND SPL WW 27-A and WW 27-F. 7.
- WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEMS 510.3 (27)-(29). 8.
- ALL MATERIAL USED ON THIS PROJECT MUST BE LISTED ON THE STANDARD PRODUCTS LISTING. ANY MATERIAL. NOT LISTED HAS TO GO THROUGH THE REVIEW OF THE 9. STANDARDS COMMITTEE FOR REVIEW AND APPROVAL PRIOR TO START OF PROJECT. TESTING AND EVALUATION OF PRODUCTS ARE REQUIRED BEFORE APPROVAL WILL BE GIVEN ANY CONSIDERATION.
- 10. WHEN WATER SERVICES ARE DAMAGED AND THE SERVICE MATERIAL IS PE, THE LINE SHALL BE REPAIRED ONLY BY HEAT FUSION WELD OR REPLACED THE FULL LENGTH WITH TYPE K COPPER MATERIAL. ANY TIME PB IS DAMAGED OR TAMPERED WITH IN ANY WAY, THE SERVICE LINE SHALL BE REPLACED FULL LENGTH WITH TYPE K COPPER MATERIAL. NOTE: FULL LENGTH IS FROM CORPORATION STOP TO METER.
- 11. WHEN AN EXISTING WATERLINE SHUT OUT IS NECESSARY AND POSSIBLE, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR WHO WILL THEN NOTIFY AUSTIN WATER DISPATCH AND THE AFFECTED CUSTOMERS A MINIMUM OF SEVENTY-TWO (72) HOURS INI ADVANCE.
- 12. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR SO THAT HE CAN NOTIFY THE AUSTIN WATER AT972-0000 AT A MINIMUM OF 72 HOURS PRIOR TO RELOCATING ANY DOMESTIC OR FIRE DEMAND WATER METERS. THE CONTRACTOR SHALL CAREFULLY REMOVE ALL METERS AND METERS BOXES THAT ARE INDICATED TO BE RELOCATED OR SALVAGED. THE CONTRACTOR SHALL INSTALL THE REMOVED METER OR CITY PROVIDED METER AT THE NEW LOCATION INDICATED ON THE CONSTRUCTION PLANS.
- 13. WATER AND WASTEWATER SERVICES WILL NEED TO BE REPLACED UP TO THE MAIN. REPAIR COUPLINGS ARE NOT ALLOWED ON NEW INSTALLATIONS.
- 14. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES, BELOW GROUND AND OVERHEAD, PRIOR TO STARTING ONSITE UTILITY WORK.
- 15. ALL WATER AND WASTEWATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE SEPARATION DISTANCES INDICATED IN CHAPTER 290 DRINKING WATER STANDARDS, CHAPTER 217 - DESIGN CRITERIA FOR SEWERAGE SYSTEMS AMD CHAPTER 210 - DESIGN CRITERIA FOR RECLAIMED SYSTEMS OF TCEQ RULES.
- 16. CONTRACTOR'S PERSONNEL THAT PERFORM BUTT FUSION AND ELECTROFUSION ON OR TO HDPE PIPE AND FITTINGS MUST HAVE CURRENT QUALIFICATION TRAINING CERTIFICATE ISSUED BY MCELROY OR COMPARABLE TRAINING PROGRAM.
- 17. VALVE STEM EXTENSIONS SHALL CONSIST OF A SINGLE PIECE OF IRON ROD OF THE REQUIRED LENGTH WITH A SOCKET ON ONE END AND NUT ON THE OTHER.
- 18. ALL POTABLE WATER SYSTEM COMPONENTS INSTALLED AFTER JANUARY 4, 2014, SHALL BE ESSENTIALLY "LEAD FREE" ACCORDING TO THE US SAFE DRINKING WATER ACT. EXAMPLES ARE VALVES (CORPORATION STOP, CURB STOP, AND PRESSURE REDUCING), NIPPLES, BUSHINGS, PIPE, FITTINGS, BACKFLOW PREVENTERS AND FIRE HYDRANTS. TAPPING SADDLES AND 2 INCH AND LARGER GATE VALVES ARE THE ONLY COMPONENTS EXEMPT FROM THIS REQUIREMENT. COMPONENTS THAT ARE NOT CLEARLY IDENTIFIED BY THE MANUFACTURER AS MEETING THIS REQUIREMENT EITHER BY MARKINGS ON THE COMPONENT ORON THE PACKAGING SHALL NOT BE INSTALLED.
- 19. ALL EXISTING WATER METERS IDENTIFIED TO BE RELOCATED OR ABANDONED AT THE DEVELOPMENT, SHALL BE REMOVED FROM THE METER BOX PRIOR TO CONSTRUCTION AND GIVEN IMMEDIATELY TO THE CITY.
- 20. THE ENGINEER SHALL CALL OUT THE SIZE, TYPE AND USE (DOMESTIC OR IRRIGATION) OF ALL EXISTING WATER METERS TO BE RELOCATED OR REPURPOSED. WATER METER NUMBERS WILL NOT BE REQUIRED TO BE PLACED ON THE PLAN SHEET.
- 21. NO CONNECTION MAY BE MADE BETWEEN THE PRIVATE PLUMBING AND CITY WATER INFRASTRUCTURE UNTIL A CITY APPROVED WATER METER HAS BEEN INSTALLED.
- 22. METER BOXES AND CLEAN OUTS SHALL NOT BE LOCATED WITHIN PAVED AREAS SUCH AS DRIVEWAYS AND SIDEWALKS.

PROJECT SPECIFIC NOTES:

- 1. CONTRACTOR TO PROVIDE TREE PROTECTION FOR ANY TREE WITHIN 10' OF LIMITS OF WATER RELOCATION WORK.
- 2. LOCATION OF THE EXISTING WATER MAINS AND SERVICES ARE APPROXIMATE. CONTRACTOR OF FILED VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND.
- 3. CONTRACTOR SHALL COORDINATE WITH ENGINEER, CITY, AND PROPERTY OWNERS ON WATER METER LOCATIONS AND SERVICE ROUTING FROM METER TO THE CONNECTIONS TO THE EXISTING SERVICE LINES. PRIVATE CUSTOMER YARD PIPING SHALL NOT BE LOCATED OUTSIDE OF THE PROPERTY LIMITS THAT IT IS SERVING.
- 4. CONTRACTOR SHALL REMOVE AND REPLACE ALL LANDSCAPING, IRRIGATION LINE, FENCES, GATES, AND OTHER SURFACE FEATURES IMPACTED BY CONSTRUCTION, AND RETURN ALL FEATURES TO EQUAL OR BETTER CONDITIONS THAN EXISTING.
- 5. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND CITY PRIOR TO ABANDONING EXISTING WATER LINES. SUFFICIENT NOTICE MUST BE PROVIDED TO PROPERTY OWNERS BEFORE DISRUPTING SERVICE.
- 6. WATER SERVICE YARD PIPING ON PRIVATE CUSTOMER SIDE OF THE METER MUST BE PERFORMED BY A PLUMBER LICENSED IN THE STATE OF TEXAS. BENDS AND CURVES IN YARD PIPING SHALL CODES AND PIPE MANUFACTURERS RECOMMENDATIONS.
- 7. ASPHALT PAVING, CONCRETE CURB, AND CONCRETE SIDEWALK SHALL BE REPLACED TO MATCH EXISTING CONDITIONS. ASPHALT PAVING SHALL BE SAW-CUT AND REPLACED AT A WIDTH OF 10-FEET. CURB AND SIDEWALK SHALL BE REPLACED TO THE NEAREST JOINT. REMOVAL AND REPLACEMENT OF THESE SURFACE FEATURES ARE SUBSIDIARY TO THE WATER METER RELOCATION BID ITEMS.



2803 HUBBARD CIRCLE BACK YARD

2803 HUBBARD CIRCLE FRONT YARD



2803 HUBBARD CIRCLE BACK YARD

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CITY OF AUSTIN AUSTIN WATER

AGENDA ITEM SUMMARY SHEET City of Rollingwood

Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action regarding an update to the K. Friese and Associates billing rates for City Engineering Services

Description:

When the City of Rollingwood Contracted with K. Friese and Associates, a corresponding fee schedule was approved. KFA has submitted a new list of categories and rates, which have been updated for 2023 to reflect their current pay scales.

Hourly Rate Increases Proposed by Name/Title:

				Ne	w Hourly	%
Title	Name	Old I	Iourly Rate		Rate	Increase
Senior Project						
Manager	Abe Salinas III	\$	220	\$	285	30%
Project Manager	Tyson Hasz	\$	185	\$	265	43%
Project Engineer	Greg Blackburn	\$	180	\$	185	3%
Design Engineer	Aldo Hernandez	\$	145	\$	150	3%
Engineer in						
Training	Phil Williams	\$	110	\$	125	14%
GIS Analyst	Matthew Stotts	\$	125	\$	130	4%
	Brandon Melland,					
Senior Planner	Terri Gaston	\$	170	\$	180	6%
Administration/						
Accounting	Javier Aguilar	\$	90	\$	105	17%
Engineering	Anna Ballard,					
Technician	Suzanne Wissel	\$	110	\$	110	0%
	Average	\$	148	\$	171	13%

Based on these new rates, staff estimates that our General Engineering costs will increase approximately 30% due to the rate increase for the city's project manager as well as support staff.

The average billing for a full drainage review for a project from April 2022-March 2023 was \$1,561. Drainage reviews are generally conducted by Tyson Hasz and a design engineer or

engineering technician. Assuming Tyson does 50% of the work, staff estimates this average to go up approximately \$500 per project.

The average billing for a full zoning review for a project from April 2022-March 2023 was \$1,122. Zoning reviews are conducted by a senior planner, whose rates are proposed to increase 6%. Assuming senior planners continue to do this work, staff estimates this average to go up approximately \$70 per project.

Drainage and Zoning Reviews are paid for in the application fees for projects. With the proposed increase in these review rates, staff would recommend to undergo a building fee study to ensure that the application fees we are charging are adequate to cover the cost of reviews.

Increases in other areas (GIS, Water, Wastewater, General Drainage) will vary based on hours required and use.

Action Requested:

To take action on an update to the K. Friese and Associates billing rates for City Engineering Services

Fiscal Impacts:

Increase in City Engineering costs as detailed above

Attachments:

2022 vs. 2023 Category Rates by Person

Category	Years of Experience	2022 Rate
Principal	-	\$275
Senior Project Manager	15+	\$220
Senior Engineer	15+	\$210
Project Manager	10+	\$185
Project Engineer	10 to 15	\$180
Design Engineer	5 to 10	\$145
Engineer in Training	1 to 5	\$110
Senior Planner	10+	\$170
Planner	0-10	\$100
GIS Analyst	15+	\$125
Senior CADD Operator	15+	\$120
Mid-level CADD Operator	5 to 15	\$90
Administration		\$90

Category	Years of Experience	2023 Rate
Principal	-	\$360
Senior Technical Advisor	15+	\$290
Senior Project Manager	15+	\$285
Project Manager	10+	\$265
Senior Engineer	15+	\$210
Project Engineer	10 to 15	\$185
Design Engineer	5 to 10	\$150
Engineer in Training	1 to 5	\$125
Senior Planner	15+	\$180
GIS Analyst	-	\$130
CADD Designer	-	\$165
CADD Senior Level	15+	\$125
CAD Mid Level	5 to 15	\$115
Administration		\$105
Accounting		\$105
Graphics		\$155
Engineering Technician		\$110

City of Rollingwood

2022 Rate Category Assignments

Name	Category	Rate
Abe Salinas III	Senior Project Manager	\$220
Tyson Hasz	Project Manager	\$185
Greg Blackburn	Project Engineer	\$180
Aldo Hernandez*	Design Engineer	\$145
Phil Williams	Engineer in Training	\$110
Matthew Stotts	GIS Analyst	\$125
Brandon Melland	Senior Planner	\$170
Terri Gaston	Senior Planner	\$170
Javier Aguilar	Administration	\$90
Anna Victoria Ballard	Engineer in Training	\$110
Suzanne Wissel	Engineer in Training	\$110

City of Rollingwood 2023 Rate Category Assignments

Name Category Rate Abe Salinas III Senior Project Manager \$285 Tyson Hasz Project Manager \$265 Greg Blackburn Project Engineer \$185 Aldo Hernandez* Design Engineer \$150 Phil Williams Engineer in Training \$125 Matthew Stotts GIS Analyst \$130 Brandon Melland Senior Planner \$180 Terri Gaston Senior Planner \$180 Javier Aguilar \$105 Accountng Anna Victoria Ballard Engineering Technician \$110

Engineering Technician

\$110

*Note: Aldo Hernandez recently obtained PE.

Suzanne Wissel

AGENDA ITEM SUMMARY SHEET CITY OF ROLLINGWOOD, TEXAS MEETING DATE: April 19, 2023

Agenda Item __: Discussion and possible action to amend Rollingwood Ordinance Section 107-3 Definitions, related to the definition of "Building Height, Residential" and residential building height in the R-Residential zoning district.

Submitted by: Brook Brown

Proposed action: This proposed amendment (copy attached) would modify the definition of "Building Height, residential" in the current zoning code in two ways:

(1) "Perimeter" change:

retains the ability to build a residence up to 45 feet in height on sloped lots.

requires the slope measurement be taken at the "adjoining" original native ground surface rather than up to five feet outside the building perimeter.

eliminates the ability to pick and choose any grade within five feet of the building perimeter for the "high" and "low" measurements.

(2) "Survey" change:

clarifies that the "original native ground surface" is "the existing grade on the lot prior to development."

requires verification of the grade by survey or approved building plans, thereby eliminating manipulation of the existing ground prior to measurement.

Background:

Public hearings and actions to date:

2021: The survey conducted by the Comprehensive Plan Task Force showed that a significant segment of the community was concerned with the impact from the increasing size of homes in Rollingwood.

June 2022: concerns about gaps in the codes provisions regarding residential setbacks and building heights were brought to the City Council for discussion.

July, 2022: the Council referred proposed amendments to the Planning and Zoning Commission for a recommendation on interim measures to address residential setbacks and building heights, and began discussions as to the formation of a residential task force to review residential building codes more broadly.

Fall 2022 to March 2023: The Planning and Zoning Commission held four open meetings to review and revise language of the proposed amendments on required setbacks and building heights. More than 30 letters were received by the Council and/or P&Z, and testimony given in public meetings.

March 22, 2023: the Council approved formation of the Comprehensive Residential Code Review Committee.

April 5, 2023: the Planning and Zoning Commission and the City Council held a joint public hearing to address the two interim measures. The P&Z voted to recommend the City Council approve the setback amendments but voted 4-2 to recommend against the building height amendment. On the same night, the City Council approved the proposed ordinance adopting the recommended changes to residential setbacks. The Council postponed action on the residential height amendment to the April 19 Council meeting.

PROS and concerns of the Survey change: This change is broadly supported. I am unaware of any opposition specific to this portion of the proposed amendment.

PROS of the proposed Perimeter change:

The Perimeter change would

*eliminate the potential to increase the building height when not necessary to accommodate the slope of the lot within the building perimeter.

*reduce the disparity in maximum building height between sloped and flat lots.

*parallel public support which runs in favor of adoption.

*clarifies the current code in a manner consistent with most building height ordinances in measuring the permissible heights at the building perimeter.

*is a needed, common sense, and modest change pending the work of the Comprehensive Residential Code Review Committee in conducting a more comprehensive review of actual building heights.

Concerns in opposition to the Perimeter change:

<u>Concern</u>: the Council might reduce the "ten feet" of permitted extension of the otherwise applicable 35-foot maximum height; to prevent this, a vote "no" on the amendment would require a super-majority vote on the council for any such change.

<u>Response:</u> This argument is no longer a concern as there is no such proposal before the Council.

<u>Concern</u>: recently built lots might be deemed "non-conforming".

<u>Response</u>: this is an incorrect analysis in the view of most professionals, as any currently legal home would remain legal and the grandfathering provisions of the Code are generous as to remodeling and rebuilding of "legal" non-conforming lots.

<u>Concern</u>: there has not been enough public input/these matters should be given to the CRCRC for a more comprehensive review.

<u>Response</u>: these issues have been in debate before the city council since last June and before the P&Z since last July. The modest change by the Perimeter amendment does not reduce allowed 35-foot heights on any lots - but does ensure that the up to ten-foot adder on sloped lots is based on the actual change in slope within the building perimeter, rather than a spot up to 5-feet around the perimeter.

Options for the Council:

#1: Adopt the amendment as proposed

#2: Adopt amendments to give effect only to the "survey" requirement.

#3: If Option 2 is chosen, then consider adopting a resolution asking the CRCRC to give the Perimeter changes priority attention.

12.

Resources:

Proposed amendment - See attached amendment to Section 107-3.

Dave Bench memo -

Proposed Code Amendment - Residential Building Height Measurement

Add the following <u>red underlined</u> text and remove red strikethrough text from the City of Rollingwood Code of Ordinances Section and 107-3:

Sec.107-3 Definitions

Building height, residential, means the vertical distance above a reference datum measured to the highest point of the building. The reference datum shall be selected by either of the following, whichever yields a greater height of the building:

- The elevation of the highest adjoining original native ground surface within a five-foot horizontal distance of to the exterior wall of the building when such original native ground surface is not more than ten feet above the lowest adjoining original native ground surface grade; or
- 2. An elevation of ten feet higher than the lowest <u>adjoining original native ground surface grade</u> when the <u>highest adjoining</u> original native ground surface described in subsection (1) of this section is more than ten feet above lowest <u>adjoining original native ground surface grade</u>.
- 3. <u>The original native ground surface shall be determined as the existing grade on the lot prior to</u> <u>development of the residential building as may be shown on approved building plans or survey</u> <u>of the property.</u>

This definition shall apply to all residential buildings or structures within the City including residential buildings constructed in the R - Residential Zoning District (see Sec.107-71 for Maximum permissible height in R - Residential Zoning District)

Reference Exhibit- Residential Building Height Measurement

The definition of Building Height, Residential is listed in two locations in the City's Code of Ordinances, once in Section101-2 Adoption of Codes related to building codes and a second in the zoning definitions in Section 107-3. Below is a proposed amendment to the Building Height, Residential section from Code of Ordinances Section 101-2.

Add the following <u>red underlined</u> text and remove red strikethrough text from the City of Rollingwood Code of Ordinances Section 101-2:

Sec.101-2.C.2

Building height, residential. The vertical distance above a reference datum measured to the highest point of the building. The reference datum shall be selected by either of the following, whichever yields a greater height of the building:

- The elevation of the highest adjoining original native ground surface within a five-foot horizontal distance of to the exterior wall of the building when such original native ground surface is not more than ten feet above the lowest adjoining original native ground surface grade; or
- 2. An elevation of ten feet higher than the lowest <u>adjoining original native ground surface grade</u> when the <u>highest adjoining</u> original native ground surface described in subsection 1 of this definition is more than ten feet above lowest <u>adjoining original native ground surface-grade</u>.
- 3. <u>The original native ground surface shall be determined as the existing grade on the lot prior to</u> <u>development of the residential building as may be shown on approved building plans or survey</u> <u>of the property.</u>

Residential Height Comparisons

Rollingwood's 35' maximum allowable building height is relatively high

- Texas examples
- West Lake Hills R1 = 30'; R2 = 25'; R3 = 30'
- Austin R1 = 30' (generally)
- Lakeway R1 = 32'
- Rockwall, TX = 36' with pitched roof system requirement

Out of state, high topographical relief, high property value examples

- Stowe, VT = 28'
- Aspen, CO = 25' for flat to 3:12 pitch; pitches above 3:12 measured from 1 / 2 to 1/3 upslope from eave depending on pitch *
- * Aspen enacted residential permit moratorium 12/21 8/22 https://aspen.gov/1384/Residential-Building-Regulations-Update

Height Measurement – Current *

Building height, residential, means the vertical distance above a reference datum measured to the highest point of the building. The reference datum shall be selected by either of the following, whichever yields a greater height of the building:

(1)

The elevation of the highest adjoining original native ground surface within a five-foot horizontal distance of the exterior wall of the building when such original native ground surface is not more than ten feet above the lowest grade; or

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(2)

An elevation of ten feet higher than the lowest grade when the original native ground surface described in subsection (1) of this section is more than ten feet above lowest grade.



* Drawing by permission of Kevin Glasheen

Height Measurement Method – West Lake Hills

22.03.279 Height of structures.

<u>(a)</u>

Prohibition.

No person shall build, construct or erect a structure at a height greater than that shown on the schedule of regulations contained in section 22.03.281 as being permitted in the zoning district in which the structure is located.

<u>(b)</u>

Measuring height.

No part of any principal structure shall rise more than the maximum height shown on the schedule of regulations contained in section 22.03.281, above natural ground grade or original grade directly below. If the average natural slope in the area directly below the foundation of the principal structure is 25% or greater, than no part of any principal structure shall rise more than 32' above natural ground grade directly below.

22.03.281 Schedule of Regulations.

Maximum Height (ft)	R1	R2	R3
	30	25	30

Height Measurement Method – Aspen CO

In measuring a building for the compliance with height restrictions, the measurement shall be the maximum distance measured vertically from the ground to the specified point of the building located above that point, as further described below:

a. Measuring height along the perimeter of the building. At each location where the exterior perimeter of a building meets the ground, the measurement shall be taken from the lower of natural or finished grade. Building permit plans must depict both natural and finished grades.

b. Measuring height within the footprint of the building. For the purposes of measuring height within the footprint of a building, areas of the building within fifteen (15) horizontal feet of the building's perimeter shall be measured using the perimeter measurement, as described above. In all other areas, the natural grade of the site shall be projected up to the allowable height and the height of the structure shall be measured using this projected topography.

Height Measurement – Simple *

No roof point shall exceed the prescribed height above the existing or finished grade, whichever is lower.

All measurements shall be made vertically; i.e., each point of a roof shall be measured to the point of grade that is directly below it--vertical and plumb.

* Language borrowed from Pitkin County, CO
12. 3:12 Pitch vs Flat Roof • Flat roof is more imposing as viewed from the street Pitched roof in closer harmony with most neighbors' rooflines • Pitched roof narrows large design options • • 3:12 considered "low slope" 10' In line with RW Commercial code 107-103 • 6' 77377777777 77777 35' 35' 10' 10' Roof slopes 45 50 slope=rise/run conventional slope (4 in 12 and up) 12' 12' (2 in 12 to 4 in 12) 30' 0 in 12 to 2 in 12)

^{Page 146}3:12 Roof pitch example (estimated)

- Main roof depth of 30 ft (conservative) drops street-view height by 3'9"
- Assumes current flat roof height at maximum permissible (35 ft)



Variable Pitch-based Height – Aspen CO





AGENDA ITEM SUMMARY SHEET City of Rollingwood Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action regarding an amendment to the Code of Ordinances Section 107-3 Definitions, related to the definition of Building Height, Residential in the R- Residential zoning district

Description:

After the April 5, 2023 Joint Planning and Zoning Commission Public hearing regarding an amendment to the Code of Ordinances Sections 107-3 Definitions and 107-71 Maximum Permissible Height, related to the definition of Building Height, Residential and residential building height in the R- Residential zoning district, the Planning and zoning commission moved to not recommend the proposed changes to Council. The motion passed with 4 in favor and 2 against.

Action Requested:

To take action on an amendment to the Code of Ordinances Section 107-3 Definitions, related to the definition of Building Height, Residential in the R- Residential zoning district

Fiscal Impacts:

No significant fiscal impacts anticipated at this time.

Attachments:

- Draft Ordinance 2023-04-19-12 Building Height
- Emails received regarding building height and analysis (Dave Bench and Jeff Marx)

1	CITY OF ROLLINGWOOD, TEXAS
23	OPDINANCE NO. 2023 04 10 12
5 Д	ORDINANCE NO. 2023-04-17-12
5	
6	AN ORDINANCE OF THE CITY OF ROLLINGWOOD, TEXAS,
7	AMENDING THE CITY'S CODE OF ORDINANCES SECTION 107-3
8	DEFINITIONS, RELATED TO THE DEFINITION OF BUILDING
9	HEIGHT, RESIDENTIAL IN THE R- RESIDENTIAL ZONING DISTRICT;
10	PROVIDING A SAVINGS CLAUSE, REPEALING CONFLICTING LAWS
11	AND ESTABLISHING AN EFFECTIVE DATE
12 13	WHEREAS, the City of Rollingwood ("City") is a General Law Type A City under the statutes of the State of Texas; and
14	WHEREAS the Texas Local Government Code authorizes a municipality to adopt zoning
15	regulations regarding the location and use of buildings, other structures, and land for business.
16	industrial, residential, or other purposes; and
17	WHEREAS, the Planning and Zoning Commission and City Council held a joint public
18	hearing on April 5, 2023 on the proposed amendment to Section 107-3 Definitions; and
19	
20	WHEREAS, the Planning and Zoning Commission after consideration of the proposed
21	amendment recommended denial of the proposed amendment to City Council; and
22	WIFDEAS, the City Council hereby finds and determines that the proposed amondment
25 24	promotes the public health safety morals and general welfare of the Community; and
$\frac{2}{25}$	promotes the public health, safety, morals, and general wenale of the community, and
26	WHEREAS , the City Council hereby finds and determines that the proposed amendment
27	is consistent with the comprehensive plan for the City; and
28	
29	WHEREAS, the City has complied with all conditions precedent necessary to take this
30	action, has properly noticed and conducted all public hearings and public meetings pursuant to the
31	Texas Local Government Code and Texas Government Code, as applicable; and
32	
33	WHEREAS, the City Council finds and determines that Section 107-3 Definitions of the
34	City's Code of ordinances related to the definition of Building height, residential shall be amended
35	as provided herein.
30	
31 28	NOW THEDEEODE BE IT ODDAINED BY THE CITY COUNCIL OF THE CITY OF
30	ROLLINGWOOD TEXAS THAT.
40	
41	SECTION 1. All the above premises are hereby found to be true and correct legislative
42	and factual findings of the City Council and are hereby approved and incorporated into the body
43	of this Ordinance as if copied in their entirety.

12.

1

44					
45	SECTION 2. The City's Code of Ordinances Chapter 107, Zoning shall be amended to				
46	read as follows, with <u>underlines</u> being additions and strikethroughs being deletions:				
47					
48	Sec.107-3 – Definitions.				
49					
50	Building height, residential, means the vertical distance above a reference				
51	datum measured to the highest point of the building. The reference datum				
52	shall be selected by either of the following, whichever yields a greater				
53	height of the building:				
54					
55	(1) The elevation of the highest adjoining original native ground surface within				
56	a five-foot horizontal distance of to the exterior wall of the building when				
57	such original native ground surface is not more than ten feet above the				
58	lowest <u>adjoining original native ground surface grade</u> ; or				
59					
60	(2) An elevation of ten feet higher than the lowest <u>adjoining original native</u>				
61 62	ground surface grade when the <u>highest adjoining</u> original native ground				
02 62	surface described in subsection (1) of this section is more than ten feet above				
03 64	lowest <u>aujoining original native ground surface grade.</u>				
0 4 65	(3) The original native ground surface shall be determined as the existing grade				
66	(5) The original native ground surface shall be determined as the existing grade				
67	on approved building plans or survey of the property				
68	on approved building plans of survey of the property:				
69	This definition shall apply to all residential buildings or structures within				
70	the City including residential buildings constructed in the R - Residential				
71	Zoning District (see Sec.107-71 for Maximum permissible height in R -				
72	Residential Zoning District).				
73					
74					
75	SECTION 3 . All provisions of the ordinances of the City of Rollingwood in conflict with				
76	the provisions of this ordinance are hereby repealed to the extent of such conflict, and all other				
77	provisions of the ordinances of the City of Rollingwood not in conflict with the provisions of this				
78	ordinance shall remain in full force and effect.				
79					
80	SECTION 4 . Should any sentence, paragraph, subdivision, clause, phrase or section of				
81	this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not				
82	affect the validity of this ordinance as a whole, or any part or provision thereof other than the part				
83	so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of				
84	Ordinances as a whole.				
85	SECTION 5 This and in once that the effect in such it is the second se				
80 07	SECTION 5. This ordinance shall take effect immediately from and after its passage and the publication of the contion, on the law and charter is such acces around a				
ð/ 00	the publication of the caption, as the faw and charter in such cases provide.				
00					

100

Desiree Adair, City Secretary

APPROV on the	ZED, PASSED A day of	AND ADOPTE , 2023.	D by the City Council of the City of Rollingwood, Texas,
			APPROVED:
			Gavin Massingill, Mayor
ATTEST:			

Page 152

Desiree Adair

From: Sent: To: Subject: Jeff Ezell Tuesday, January 10, 2023 1:51 PM Kevin Glasheen RE: Thoughts on Proposed Zoning Changes

Kevin,

Thank you for the emails. I'll try to combine my responses into one email:

- Regarding your neighbor's house and height:
 - I understand your position and taking the feedback you have heard and bringing up the topic of height regulations is spot on.
 - Regarding the feedback / complaints you have received:
 - I agree we should review the code, but a piecemeal approach will only lead to more problems. We need a city wide comprehensive review of the residential code
 - Furthermore, I encourage you to ask those people who have concerns with height to write emails to P&Z / Council to state there position, so that we have transparency on how many people really are voicing this opinion. I plan to do ask people I know to email their opinions. What we don't want is a false sense of majority to impact the vote in either direction. I don't think the dozen or so people you have heard from so far constitutes sufficient concern to outvote the remaining residents are have not voiced an opinion, are against any changes or against any quick changes.
- Quick thoughts / no-brainer fixes:
 - o No four story homes
 - o Add resources to ensure current code is being applied correctly
 - o Limit difference in slope calculation to within the setback
 - 601 Riley did their change in elevation calculation across the entire property. Thus, if the calculation was done only in buildable area they would not have received bonus 10'
 - Currently, 35' in front yard and 40' in backyard
 - o Limit projections in setbacks, as currently being contemplated at P&Z and Council

Also, once you've had a chance to review the topographical changes around the community and the existing structures of significant height, please let me know your thoughts. What we have to remember is that with as much topo as we have someone will always be impacted, no matter the height of the homes (a good example of this is the homes on the east side of Park Hills and how they tower over the west side of Pleasant).

Per your original email I am always happy to jump on a call or meet. I will stay in touch and please do the same. Thank you and keep your axe sharp, because as a city we have a lot of wood to chop

From: Kevin Glasheen Sent: Monday, January 9, 2023 5:31 PM To: Jeff Ezell Subject: Re: Thoughts on Proposed Zoning Changes

And I don't have a problem with 35'. It's the goofy definition that lead to uncertainty and threats of litigation which led to the park hills house.

12.

On Jan 9, 2023, at 4:14 PM, Jeff Ezell

wrote:

wrote:

12.

Kevin,

Out of curiosity, and as a way to better understand how you are thinking about heights, I was curious to get your perspective on your own lot. The home directly across the street from your residence (11 Inwood Circle) was constructed in 2012 and is a 3 story home. You purchased your lot in January 2014, which means you purchased it with full knowledge of your neighbor's house. With that said, I have a couple questions:

- 1. How did you perceive that home to impair your lot at the time of your purchase?
- 2. What has your experience been with such a tall home across the street for the past 8 years?
- 3. How does your experience play into your current position?
- 4. Why have you not voiced concerns in the past?

Thank you in advance for your time and I appreciate you digging into the review of the residential building code.

-Jeff

From: Kevin Glasheen Sent: Monday, January 9, 2023 10:47 AM To: Jeff Ezell Subject: Re: Thoughts on Proposed Zoning Changes

That's a lot of good info. I will look at the lots and houses you listed.

Kevin Glasheen 806-789-0734

On Jan 9, 2023, at 10:24 AM, Jeff Ezell

Kevin,

I appreciate the quick feedback. I'm going to respond sequentially to your topics with thoughts with the hopes to remove subjectivity out of the conversation and hopefully put us on level playing field as far as understanding:

- 1. I have heard from way more than a dozen people who do not want to change building heights
 - 1. In this example, city council should not act as the majority of the residents have spoken

- 2. A 45' height will not severely impact my property value as there are homes that are existing that are north of 35', let alone 30', and none of the adjacent properties are impaired
 - 1. Look at the home at 3215 Park Hills. That is tall and it hasn't impacted adjacent values. This home was built in 2015.
 - 2. Look at 1 Brett Cove. 35'+ and hasn't impacted adjacent values
 - 3. Look in the backyard of 4823 and 4829 Timberline. Both 35'+ and hasn't impacted adjacent values
 - 4. Look in the backyard of 4826 Rollingwood. 35'+ and hasn't impacted adjacent values
 - 5. Look in the backyard of 2804 Rollingwood and 2806 Rollingwood
 - 6. This is just a few examples and the list goes on, but these homes already exist and there are a bunch of them...
- 3. I agree that the home on Park Hills should not have been approved, but my question is who approved a 4 story home, irrespective of its height. If you want a layup just say under no circumstance can a home exceed 3 stories. Then, you don't punish people with sloped lots and you would have 100% unanimous support from every resident in the neighborhood!
- 4. I'm a little confused on your 3% comment, but will try to bring perspective:
 - 1. 3% of the homes equals approximately 14 homes.
 - The only way you can exceed 35' is if your lot has greater than 10' change in slope and in that case you can build up to 45' from the low point, but the number of lots in Rollingwood that have slope greater than 10' far exceeds 3%.
 - 1. Look at the slope at the lots on the south side of Timberline, Timberline Ridge, Ewing Circle, Westgate.
 - 2. Look at the lots on the north side of the 4900 block of Timberline
 - 3. Look at the slope between the lots of the 4700 and 4800 block Rollingwood and Timberline
 - 4. Look at the slope of the lots on the lower 3200 block Gentry and Pickwick on both sides of the street
 - 5. Look at the slope of the lots on both sides of Pleasant Drive and Pleasant Cove
 - 6. Look at the slops of the lots on both sides of Ashworth
 - 7. Look at the slope of the lots on both sides of the 300 and 400 block of Inwood
 - 8. Look at the slope of the lots on both sides of the 400 block of Almarion
 - 9. Look at the slope of the lots on both sides of the 2800 block of Pickwick
 - 10. Look at the slope of the lots on both sides of Wallis
 - 11. ...this is probably 50%+/- of the homes
 - 3. So, to tie it back to your 3%, a change like your proposing could severely impact a huge number of our residents. But, if 3% is correct, and I have absolutely no clue, but think it would be much higher, than it shows you that even though people have the option to build greater than 35' they chose not to build a home like that. At the end of the day the vast majority of residents want a one story or two story home. They only go up (or down) because they have to based on their lots.

4. As far as other cities height ordinances I have not done due diligence on this subject, but I know other examples have been provided to council and P&Z. I do know Dripping Springs is 40', but just as Westlake Hills isn't a comp neither is Dripping Springs.

At the end of the day we should all work to a resolution to keep Rollingwood the best place to live with the most valuable homes, but to do that we should measure twice and cut once. I've never build a company or done a deal in a hurry...

From: Kevin Glasheen Sent: Monday, January 9, 2023 9:22 AM To: Jeff Ezell Subject: Re: Thoughts on Proposed Zoning Changes

Thanks for sharing your thoughts. I sincerely believe that discussion and debate leads to better outcomes.

I have heard from at least a dozen people that they want us to do something about building heights. The House on Park Hills Drive the biggest source of complaints.

I'm sure that I'd a house was built behind you that was 45' tall it would severely impair your property value.

As far as the board of adjustment as a mechanism - I doubt there are more than 3% of the houses in Rollingwood that exceed 35'. I do think that the impact of any exceedance is lot dependent - is the extra height next to the neighbor? The street? Looming over the neighbor's back yard? Jose does the slope affect the lot? That does make variances based on lot slope a BOA issue in my opinion.

If you have any data on other cities' height limits that you think are more comparable I would be glad to look at those.

Kevin Glasheen 806-789-0734

On Jan 9, 2023, at 8:45 AM, Jeff Ezell <<u>jeff@blueriveradvisors.com</u>> wrote:

Quick thoughts here since I got invited to the party:

 Effective leadership is not enacting a policy that results in the ultimate resolution being determined at Board of Adjustments. In this example, leadership did not help solve a subject, all it really did was make that subject matter someone else's problem.

- 35' is not almost taller than any other city, it is almost taller than any other of the cities you have a chosen for your data set, which may not even be accurate comparables for Rollingwood. Proximity isn't a an effective barometer
- 3. So far as I can tell based on my conversations, there is little to no support for lowering the heights outside of the justification that the voters want to reign in development. Although reigning in development is an actual concern of our residents that is a view to be examined and not a carte blanche directive to change policy solely amongst council. I am supportive of reviewing our code because it has problems, but I am not supportive of a knee jerk reactions that have major impacts to our properties. To Jim's point outside of obvious holes in the code such as projections in setbacks we should not do anything without a comprehensive look.

I do not envy you, Phil and Kevin, because this is not an easy time to serve on council, but it's incumbent upon you to lead with a servants heart and not bring in your own biases.

Jeff Ezell Cell: (404) 909 - 2810 <u>www.blueriveradvisors.com</u>

 See a balance before the maintenance concerns against an exception and a contract against ag ing against against	n na anti-anti-anti-anti-anti-anti-anti-anti-	and a standard and a standard of the standard standard and a standard standard and and a standard standard stan	sectores sectores yes
From: Kevin Glasheen	1		
Sent: Sunday, January	8, 2023 12:00 PM		
To: Jim F			
Cc: Christie Finnigan		; Jeff Ezell	
Contraction of the	Phillip Mo	cDuffee	

Subject: Re: Thoughts on Proposed Zoning Changes

Thanks for the kind words. I agree with almost everything that have to say about the development rules.

I think fixing the setback problem is a quick and easy win.

We definitely need to revisit the tree ordinance. The one we have does not actually prevent any trees from being cut down.

I agree that impervious cover limits can be complicated - but they can be a good tool to limit overdevelopment. I was in a hurry - but I now believe we should take time with a task force to consider IC limits **and other tools** to address the overdevelopment. We want to avoid unintended consequences. Page 157

Regarding height - I think we should address the height now, and then revisit it during the more comprehensive review. 35' is taller than almost any city. I think we could address particular slope issues in the Board of Adjustment. Westlake hills has 30' and up to 32' on a slope.

Height should be measured from the grade immediately below the roof - so you don't lose height as the grade falls. You may need to have different levels to follow the grade. We build our house 8 years ago on a steep grade - it follows the grade and is cantilevered some. Here is a link to an article with pictures that shows our house.

https://www.dwell.com/article/rollingwood-residence-lake-flatoarchitects-9862cc1b

If you have a house plan or even a concept I'd like to meet and look at your lot with you to see how the proposed changes could affect you.

Thanks for your email. Do you have any interest in serving on a residential code review task force?

Kevin Glasheen 806-789-0734

On Jan 8, 2023, at 9:09 AM, Jim F wrote:

Hi Kevin,

I've been watching the RWGC chat from afar. Thanks for being so active and hitting the ground running. We wanted to weigh in on the proposed zoning changes.

At a high level we think the codes can be improved. The developer at the house next to us at 4707 timberline (we are at 4705 timberline) has ruined the lot and "woody" vibe for all neighbors around us. We're all pissed. Even though we have a tree ordinance, he basically clear cut the lot - mostly cutting down large trees in the setbacks, even a large oak. It's horrible.

1. I think we might need to take a step back and think about the specific problems we are trying to solve. Sadly I don't think any of the proposed rules (Height, Setback, Impervious Cover) would have helped what happened at 4707 Timberline. The developer cut down the trees because it would be easier/cheaper for him than having to worry about roots, keeping the trees alive, etc. These trees were already in a setback but were clear-cut anyways. I'm adding Jeff E to this email since he's on the other side of 4707 timberline at 4709 and deeply cares about this as well.

2. From a personal perspective, we are very concerned about changes to the height rules. For a flat lot a flat 35 foot rule make a lot of sense, but other lots on a steep grade there needs to be more leeway. I assume the current rules were put in place when people thought about steep lots.

For example, the lot where we are planning our forever home (2804 hubbard) is extremely steep and 100% on a hill. There is a 35" grade difference between the top and bottom of the lot (see screenshot below). Without the extra 10" our options may be severely impacted especially since the lot has a ton of huge oaks that we don't want to cut down. If we end up being limited by the height rules given the slope, we may be forced to go wide and cut down trees (which we absolutely don't want to do....).

We have not had time to dig into how the proposed height rules would impact us, but overall strongly urge you to slow things down so residents like us have time to understand the nuances for their specific lots, provide feedback, etc. The idea of starting a task force for this would be really helpful.

Given the extreme variation in Rollingwood lots, any new rule can have serious impacts on some lots and no impact on others

3. It seems to me like a lot of the problems are created by developers trying to maximize their \$ and not homeowners building their own homes. Since homeowners who build are going to live there, they seem to take more care of the lots, greenspace, their neighbors, etc. Developers don't care since they are gone after the sale. I'm sure it would be difficult, but maybe there is a way to add more restrictions to developers vs. homeowners building homes they plan to live in for 20+ years.

For example, at 4707 timberline I'm sure any homeowner building would have done all they could to keep the huge oak on the lot line that was cut down.

4. The existing overhang in the setback rule seems crazy. I think a quick win would be to close that. Maybe there is a middle ground where you can show quick Page 159

progress on smaller items that few folks will be concerned about and push other issues for the future.

Jim 708-207-1655 4705 Timberline

×

I am writing to give you an update from our December City Council Meeting, and to let you know what issues are coming up for City Council January.

I also intend to post this update on or new Rollingwood City Council Message Board that has just gone live. Before this new message board, council members were not allowed to talk to more than one other council member about any city business without violating the Open Meetings Act. With the message board, council members can bring up an issue in a post, and any council member can respond and discuss the issue on the message board, which is a "public forum". The message board does not allow the public to comment, but hopefully you'll see some discussion of the issues among council members between the regular council meetings. Here is a link to the message board: https://councilforum.rollingwoodtx.gov/forums/rollingwood-city-council-message-board.2/

I very much want your input on all these issues, and you can email me or other council members to weigh in on the issues.

Current Council Issues

The two issues that I am most concerned with now are:

- 1. Amending our residential code to better preserve green space and trees as lots are redeveloped; and,
- 2. Improving the maintenance and care of the grass on our ball fields at our park.

I have proposed that we amend the residential code to limit the percentage of impervious cover on lots as they are redeveloped. *I've received a lot of feedback supporting impervious cover limits*. I intend to propose specific ordinance language soon.

I have learned that other council members have already been working on some ways to protect us from overbuilding. There is a council proposal to amend our ordinance limiting the height of new buildings, and another proposal to amend our building setback ordinance. The proposed changes would be part of the zoning code, and under State law, any amendment to the zoning ordinance must be first considered by the planning and zoning commission at a public hearing, and then planning and zoning must issue a report before city council can vote on those changes.

Building Height Limits



The Planning and Zoning Commission has already had a hearing on building heights on December 7th and has another scheduled for January 4th at 6 pm. Our current building height limit is 35', which I think is reasonable. I would support lowering the height to 30' like Westlake Hills. The biggest problem with our code is that the definition of "building height" includes a formula that allows new house to be built up to 45' were there is some slope in the lot. Many voters have expressed concern about houses that are too tall, and I think this loophole is part of the problem. I would like to see that definition of "building height" changed to make it clear that the 35' limit is to be measured from the adjacent natural grade.

Section 22.03.279 Westlake Hills Ordinance provides: "No part of any principal structure shall rise more than the maximum height shown on the schedule of regulations... above natural ground grade or

original grade directly below." The maximum is 30' for residential construction. The Westlake Hills ordinance further provides: "If the average natural slope in the area directly below the foundation of the principal structure is 25% or greater, than no part of any principal structure shall rise more than 32' above natural ground grade directly below."

Building Setback Requirements



The building setback ordinance is supposed to keep houses setback either 10' or 15' from the side yards, 20' from the back lot line and 30' from the street. Developers have been pushing those limits with roof overhangs, balconies, swimming pools and air conditioning equipment all being placed in the setbacks. The way the current rules are being interpreted, two houses next to one another could have balconies or

even roof overhangs that touch each other above the property line. The proposal to amend the setback ordinance is set to be heard at the planning and zoning hearing set for January 4th.

We have not set a date for planning and zoning to consider an impervious cover ordinance, but I plan to have an agenda item on our January city council meeting to set a date for a planning and zoning hearing on such an ordinance.

A Possible Temporary Hold on New Permit Applications



I am concerned about the delay in addressing the problem of developers overbuilding. On the one hand, it's good to get input from the community and from the Planning and Zoning Commission on these changes. On the other hand, very few people showed up at the Planning and Zoning hearing on building height. The law does not give the planning and zoning commission any deadline to make a report which is a mandatory pre-requisite to any Council action amending the ordinance.

I am going to ask for an agenda item at our next council meeting to consider placing a temporary hold on new building permit applications while council fixes these issues with building heights, setbacks, and impervious cover limits. There are pros and cons to such a temporary delay, but I believe it needs to be discussed and considered. It would be a shame it these code amendments were delayed for months while developers submit a flood of permit applications. On the other hand, if a homeowner has plans that are almost complete and ready to submit then it may create hardship to delay the permit process or to change the rules abruptly. I'd especially like to hear from you, the voters, and from the other council members about this issue.

Artificial Turf and Improvements to the Field #1



At the December Council meeting, we considered and denied the request by Western Hills Little League to place artificial turf in the infield of Field #1. I received a lot of feedback from residents opposing artificial turf.

Phil McDuffee and I have been working with Chad Smith and the leadership of Western Hills Little League (WHLL), along with Rollingwood City Staff to see what

we can do to improve the fields. The first and most obvious improvement is to have a regular turf maintenance program, with regular applications of preemergent weed control, fertilizer and irrigation

water. Our City Administration and Maintenance departments are all new within the last year. I cannot speak to previous years or previous City Staff, but I am excited about the progress we are making, working with the Mayor, and our City Administrator Ashley Wayman to implement a reasonable and regular turf maintenance program. We should see real results in the quality of the natural grass fields by the end of the Summer.

We are also working with Chad Smith and WHLL to improve Field #1 immediately. WHLL has pivoted from artificial turf to considering new sod in the infield, which I support. This item will be on the next council agenda in January for Council approval, and I am very much inclined to support the request.

Longer term, Phill McDuffee and I are working with WHLL to develop a plan to improve all the ball fields, beyond improved maintenance. We are studying a soil amendment program that we may be able to implement this Fall after baseball season. More on that later in the year as plans develop.

A Possible Irrigation Well in the Park



I had proposed that we consider placing an irrigation well in the park to save on the cost of watering the fields. I have investigated the issue and believe a water well could be feasible. However, we don't have enough data about how often the previous administration watered the fields and how much water was being used. I

asked Council to table the water well issue until the end of this Summer, so we can look back on Spring and Summer water usage and cost and evaluate the economic benefit of drilling a water well. You'll be hearing more from me about that next Fall.

Bond Issues - Water Line Project and New City Hall



The voters have approved bonds for new water lines and for a new City Hall and Public Safety building. Our engineering firm K Friese is expected to present a proposal at our January Council Meeting for engineering services to design the water system upgrade, along with a proposed phasing of the project and a proposed schedule. The engineers told us it would take about six months to design the work,

and maybe another six months to do the work for each phase. They are probably going to recommend two phases. More details later after they present in January.



Regarding our new City Hall and public safety building, Mayor Massengill suggested we form a citizen committee to work with architects to develop a proposal for design services and some preliminary design suggestions. Council approved the recommendation.

Serving on City Committees and Commissions



Council approved some year-end reappointments and some new appointments to various committees and commissions. I want to clarify the purpose of service on Committees and Commissions, and the process for being appointed.

Most City Commissions, like the Park Commission are simply "advisory"

commissions who exist for the purpose of advising City Council. Others such as Planning and Zoning has some specific responsibility laid out by law but can be overruled by a supermajority of the Council. The

Board of Adjustment acts independently of Council to grant variances, and their decisions can only be reviewed by a District Court.

The process to be appointed to a Board or Commission is to make an application with the City Administration. When there is an opening, Council, and in some cases the Mayor can nominate a person. Appointment to a Board or Commission by Council is *entirely within Council's discretion*. *Nobody is entitled* to be appointed. If you would like to serve, you are encouraged to apply. We have a lot of talented people in our community. Anybody who wants to make a positive contribution is encouraged to apply. If you would like Council to approve your appointment, I suggest that you speak directly to a council person and ask them to support your appointment.



A citizen does not need to agree with my agenda to get my support. Opposing views are helpful and encouraged so long as the input is civil, substantive, and constructive. Anybody is welcome to call me or meet with me and talk to me about any appointment. Anyone.

From: Taylor Smith

Sent: Wednesday, February 1, 2023 9:02 AM

To: Desiree Adair <<u>dadair@rollingwoodtx.gov</u>>; Ashley Wayman <<u>awayman@rollingwoodtx.gov</u>> Cc: Gavin Massingill <<u>gmassingill@rollingwoodtx.gov</u>>; Brook Brown <<u>bbrown@rollingwoodtx.gov</u>>; Kevin Glasheen <<u>kglasheen@rollingwoodtx.gov</u>>; Sara Hutson <<u>shutson@rollingwoodtx.gov</u>>; Phil McDuffee <<u>pmcduffee@rollingwoodtx.gov</u>>; Alec Robinson <<u>arobinson@rollingwoodtx.gov</u>>; Elizabeth Patton

Subject: Proposed Code Amendments Related to Residential Properties

Good Morning Commissioners,

In advance of today's Planning and Zoning Commission meeting, please see the attached letter from the Austin Board of REALTORS® (ABoR) regarding Items 3, 4, 5, and 8 related to proposed code amendments related to residential properties. We understand the Planning and Zoning Commission's desire to address concerns from some community members and develop new regulations to help ensure that residential buildings are visually consistent with the scale and mass of neighborhoods in Rollingwood. However, ABoR is concerned about recent proposals to significantly reduce property owner's current rights and entitlements in the City of Rollingwood. The proposed amendments to the city's code include reductions to residential building height by five feet, from 35 feet to 30 feet and reductions to a roof height from any point in the original ground survey to 40 feet.

On behalf of more than 15,000 Central Texas REALTORS®, we ask the Planning and Zoning Commission to not support additional regulations on residential properties that reduce property owner's existing rights and entitlements in the City of Rollingwood. We have concerns about reducing property owner's exiting entitlements and how these new regulations would force hundreds of homes out of compliance. ABoR has long supported healthy, sustainable, and responsible development that plans appropriately for growth while protecting private property rights and homeowners entitlements. With the demand of housing increasingly outpacing supply, we must meet the challenge of housing our rapidly growing population by embracing creative ways to increase the abundance and variety of options without significantly reducing current entitlements or adding unnecessary regulations.

We also ask that if the Planning and Zoning Commission creates a Comprehensive Residential Zoning Task Force, that they consider inviting a diverse set of stakeholders, including members of the development and housing community, to ensure balanced solutions to residential housing in Rollingwood. ABoR supports regulatory changes that remove unnecessary regulations that increase the cost of housing and provide property owners with greater flexibility as it relates to their property. ABoR is a strong supporter of private property rights which includes the freedom of a property owner to fully utilize their property as protected by the 5th amendment.

Thank you for your dedicated service to the City of Rollingwood and for carefully considering this request. We appreciate your leadership, and we look forward to

working with you in the future to address the cost of housing by identifying and removing additional barriers to housing.

We respectfully ask the City Administrator or the City Secretary to share the attached letter with the members of the Planning and Zoning Commission.

Regards,

Taylor G. Smith | Deputy Director of Government AffairsAustin Board of REALTORS[®] | ABoR.como: (512) 533-4927 | c: (214) 801-0518Pronouns | He | Him | His

From: Terri McCabe

Sent: Wednesday, February 1, 2023 1:11 PM

To: Desiree Adair <dadair@rollingwoodtx.gov>; Phillip McDuffee <philmcduffee@gmail.com>; Kevin Glasheen <kglasheen@rollingwoodtx.gov> Subject: Planning & Zoning

PLEASE reinstate heights limits anywhere on lot of no more than 35' PLEASE resinstate setbacks from any side of 15+'

1

PLEASE explain why others are breaking the rules and building above 35' and placing foundation/roofs in setbacks

PLEASE save Rollingwood

From: Mary Elizabeth Cofei Sent: Wednesday, February 1, 2023 1:17 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Planning & Zoning

Please consider stopping the building into the setbacks for any construction in Rollingwood. Even balconies and roof overhangs should not be allowed in the setbacks. This is not the way our neighborhood was meant to be developed and it takes away the privacy of the neighbors. We also need to reconsider height limitations so that we do not have some homes towering over the neighborhood at 40 and 50 feet. Again, this invades the neighbors privacy, not just next door but even in the homes behind this building. Our lots in Rollingwood are larger than many in Austin and if someone finds it difficult to build a large enough home on a lot here, maybe they need to move onto a larger lot.

What comes to mind is that people move to Rollingwood because they like our little town but then all this type of construction is changing it into a different animal altogether! Help Save Rollingwood! Thank you for your consideration.

From: Andy Richardson Sent: Wednesday, February 1, 2023 2:20 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Planning and Zoning commission meeting

My name is Andrew Richardson and I'm the owner of <u>208 Ashworth.</u> I'd like to voice my very STRONGLY held opinion that the commission not rush to change the building code. A hastily made decision to change the code without a thorough review is a TERRIBLE idea.

As someone who has recently gone through the permit review process, I can emphatically state that more rule changes based on a few loud emotional community members would make development in Rollingwood much slower and the community would be worse off.

For instance, the building height restriction is a much more nuanced issue and requires a nuanced solution. I think there are probably many cases where a higher height should be allowed because someone's property is one a hill. If we hastily lower the height limit then new development on sloped lots could be very very difficult.

As a long term member of this community I want to see further development. I want new residents and builders to feel like development in Rollingwood is easy and straightforward.

Thank you for your consideration,

Andrew Richardson 208 Ashworth Dr (713) 553-9449

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From: Bobby McQuiston Sent: Wednesday, February 1, 2023 2:20 PM To: Desiree Adair <dadair@rollingwoodtx.gov>

Cc: Bobby McQuiston and a second seco

To members of the Planning and Zoning Commission,

We have seen many changes to Rollingwood since we built and moved into our home in May, 1976. Some changes have been wonderful, some not. With the breath-taking size of homes being built in our City and the resulting cutting of trees on the lots due to the new size homes, we no longer recognize the Rollingwood we have lived in for the past 47 years. We urge you to fix the problems with the building height and setback rules as they are currently established. It is imperative that limits be set on heights and intrusions into the setbacks.

We have read that some members of P&Z are wanting to wait to act on these issues until a comprehensive review of the residential codes can be completed. If so, delaying changes to these two codes until a comprehensive residential code review is completed - up to a year from now - will only exacerbate the problems for existing home owners that these two issues are causing during that lengthy delay, for without doubt, certainly builders and their clients, realizing these issues are to be reviewed for the purpose of revision, will be appreciative of the delay and greatly accelerate the filing of applications for building permits in order to fall under our existing, problematic rules.

Again, we ask for your immediate and urgent attention to fix these two issues now and revisit them if necessary in the course of the City's review of the comprehensive residential codes.

We also support Council Members Kevin Glasheen and Phil McDuffee's proposal to establish a Residential Code Review Task Force and its proposed balanced members.

Thank you for your service to the citizens of Rollingwood.

Respectfully,

Bobby and Margaret McQuiston 2804 Rock Way

From: Susan Fernandes Sent: Wednesday, February 1, 2023 2:20 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Input for Planning & Zoning Commission

I want to encourage the Building and Zoning Commission to review and revise the Rollingwood building height and setback limits as soon as possible. Concerns include the need to preserve impervious cover and to protect the privacy of adjacent properties. Acting now will prevent more of these problems—we already have too many!

Thank you for your service and for listening! Susan Fernandes From: Moise Levy Sent: Wednesday, February 1, 2023 2:21 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Planning & Zoning

We agree with taking some action now regarding setbacks, etc based upon what we see in our immediate neighborhood and what we saw in our fmr neighborhood in Houston (West U). Thanks Moise and Joan Levy

Sent from my iPhone

From: Philip Ellis Sent: Wednesday, February 1, 2023 2:26 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Cc: Terri McCabe Subject: Planning rules

Hi There

I want to give you some input on the planning rules, and the height and setback requirements.

First of all, here's the summary. If you have time I have given some more specific stuff below.

a) Are we sure we are implementing the current rules properly? Are we checking up and requiring noncompliant builds to be demolished or redone until they comply? Are there consequences for breaking the rules?

b) Is there some way that the residents can all see that a house has been measured and is in compliance? We are not interested in what the plans say - we want to see what has been actually built.I am sure some houses are well out of line. What can we do if something is out of line?

c) Can the rules be tightened up a bit so that people can't try and be clever and build a weird overhang or balcony or something to get round a rule. You should be able to chuck something out for not being within the spirit of the rules, as well as the letter.

d) Let's keep Rollingwood green and leafy. I don't mind if a few trees have to go, but not close to the property line. And make them replace the ones they fell with equivalent ones..

Ok, here's some detail.

First of all I agree that some new constructions loom over their neighbors, furthermore they look silly and out of place. For some houses, I find it hard to believe that they are in compliance with the 35' requirement from wherever it is measured. Are you sure the rules are being implemented accurately? I have heard rumors that plans have been required to be altered, and the builder has just ignored the alteration and gone ahead with the original plan. The new ones on Riley certainly look that way.

Second, some constructions are just awful. Can't we toss something out because it is just hideous? That one on Rollingwood Drive with the weird overhang about 4 feet off the ground, is either bending the rules, probably to get round some impervious cover rule, or it is just 'ugly on purpose'. Is it impossible to have some aesthetic requirement? Can we require that folk obey the spirit of the rules, as well as the letter?

Third, some extensions suffer from both of the above. I can think of houses on Hatley and Vance that have constructed ludicrous decks way up above the house, just so they can say they have a view of downtown, They look far above 35', and hideous too!

Finally I think some builders fell trees down unnecessarily. I don't want to get like Westlake Hills, where you cannot chop down a weed, such as an Ashe juniper. But the ass with all the diggers on Timberline has chopped down a whole bunch of perfectly nice trees, apparently with impunity. I didn't think that was allowed. Again, are we enforcing the rules properly?

Thanks for reading this!

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Kind regards

Phil Ellis +1 512 665 3968 (cell)

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From: Tony Broglio Sent: Wednesday, February 1, 2023 2:34 PM To: Desiree Adair <adair@rollingwoodtx.gov> Subject: Feedback for P&Z meeting

Hi Desiree,

I live at 2403 Vance Lane. I'm writing to give feedback on potential changes being considered by the P&Z commission regarding changes to the building height rules and the setback requirements. I don't think the P&Z commission or city council should make any changes on these matters or impervious cover limitations without a comprehensive survey and public input process. I understand that changes may be temporary and potentially revised after public input is gathered, but I think it is hard to put the toothpaste back in the tube after (temporary) changes are implemented, and public opinion may be swayed by changes made today vs. starting with a blank slate. Kevin Glasheen suggested in a recent email that a comprehensive public review process could take a year or more and that temporary revisions should be implemented ASAP to avoid undesired construction in the intervening period. I don't believe the public input process has to take a year, and I think development is slowing down materially such that we should do it "right" rather than rush to a temporary solution that may unnecessarily impact someone's project.

Best Tony 773-865-7130 From: Deborah Arnow Sector 2023 2:46 PM Sent: Wednesday, February 1, 2023 2:46 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Planning & Zoning

Desiree,

I just wanted to write to voice my desire to amend the building height and building setback ordinances. I am good with 30-35 feet total height, but would like to close height loophole and make it clear that the 35 foot limit is to be measured from the adjacent natural grade so to avoid homes that are above 35'. Adopting the Westlake Hills language is a good idea and I would support.

Also, regarding building setback requirements, ALL building structures including roof overhangs, balconies, swimming pools, and ac equipment should ALL fall within the existing setback requirements. If this is not being adhered to then plans should not be approved.

I would support an impervious coverage ordinance as well that is dependent upon lot size.

Best, Deborah Arnow 512.633.7669 From: Matthew Horne Sent: Wednesday, February 1, 2023 2:48 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Building codes

I would like to state for the record that I am against making any changes to the building code at this time until a comprehensive study is completed.

Matt Horne Resident since 2008.

Sent from my iPhone

From: Owen Brainard Control of Co

I have called Rollingwood home since 2009 and I am writing to express an opinion against any changes to building codes at this time. This seems to be a rushed personal agenda of a minority view and I am against this type of building code change and style of governance.

Owen Brainard

From: Jacaré Sent: Wednesday, February 1, 2023 3:08 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Cc: Kevin Glasheen <kglasheen@rollingwoodtx.gov>; philmcduffee@gmail.com; Sara Hutson <shutson@rollingwoodtx.gov>; John Hinton Subject: Planning & Zoning

P and Z,

I have lived in my house for over half of my life. For 35 years, my backyard was a peaceful, private, green sanctuary.

Over the past two years the Roman Coliseum has been built looming over my back fence. On top of the towering structure is a balcony which looks directly into my house. The pool is close enough to what was once my 8ft privacy fence that water will splash on it. In the process of building, they have destroyed portions of my fence and, despite my requests, have done nothing to fix it.

The Brawleys, my neighbors up the street now have a giant wall of what looks like a French convent looming over their house.

The current codes are unfair to those of us who have lived here and helped to make this city what it is....or was.

Please be considerate of all Rollingwood citizens. Protect the peace and privacy of their properties. We're not all rich but we do have rights and deserve respect.

Robert Patterson 3205 Pickwick Ln From: patsy rider Sent: Wednesday, February 1, 2023 3:28 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Planning & Zoning

I am in favor of the Planning and Zoning Commission recommending changes in building heights and setbacks immediately, before the residential building code is reviewed for revisions.

Many houses have been built to the setback lines in recent years. They are massive, very tall and tower over existing smaller even 2 story homes. These are forever not so attractive changes to our city. Please do what is needed to address this as soon as possible.

I have a previous commitment and cannot attend the planning and Zoning Commission meeting tomorrow.

Patsy Rider 2906 Hatley Dr.

12.

From: Ashley Withers Sent: Wednesday, February 1, 2023 3:52 PM To: Kevin Glasheen <kglasheen@rollingwoodtx.gov>; Desiree Adair <dadair@rollingwoodtx.gov> Subject: Opposition: Changing Building Codes in RW

Dear Rollingwood Planning and Zoning Committee,

I would like to express my opposition to any building code changes at this time. Community feedback is needed before changes are rushed through. This decision affects every resident in Rollingwood and potentially our property values.

Thank you for your time.

Ashley Withers 305 Almarion Drive
From: Jim Withers
Sent: Wednesday, February 1, 2023 4:00 PM
To: Desiree Adair <dadair@rollingwoodtx.gov>; Kevin Glasheen <kglasheen@rollingwoodtx.gov>
Subject: Fwd: Kevin Glasheen's Rollingwood City Council Update

Dear P&Z Commission and Kevin,

Kevin - thank you for your communication efforts, requesting feedback, and your willingness to serve. As a successful attorney protecting the rights of your clients, you are well qualified to protect the rights of the citizens of Rollingwood, your clients. That is comforting.

With that said, I urge you and the P&Z Commission to protect the property rights and property values of your citizens (clients) by not changing any building codes at this time. Your rushed, proposed changes could decrease property values and new rules might not be a good fit for the entire neighborhood.

You mentioned that you have not received much feedback. Proposed changes such as this, should be communicated to every citizen. Have we posted a large sign notice of proposed changes on Rollingwood drive and other well traveled roadways? Have we sent a mailer to every address in Rollingwood? Many citizens receive too high volume of emails and may not have noticed your emails, might not be on your distribution list, or email might go into spam. Grass roots request for feedback needs to happen.

Thank you so much. Please slow your roll and get more feedback and study on proposed changes.

Jim Withers Cell: 512-417-2917 From: Chris Wilbratte Sent: Wednesday, February 1, 2023 4:12 PM To: Ashley Wayman <<u>awayman@rollingwoodtx.gov</u>> Subject: Re: Tonight's P&Z Meeting Postponed to Thursday, February 2

I would like for ya'll to hold off on revising the building codes

Because most rollingwood residents are busy with their careers and raising families, you may be getting feedback that is skewed towards the views of a vocal minority of homeowners.

Chris Wilbratte 4201 Bee Cave Road Suite C-101 Austin, TX 78746 512-381-4500 (f) 888-476-9118 From: Hunter Jones Sent: Wednesday, February 1, 2023 5:11 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Cc: Teresa Jones Subject: Planning & Zoning / City Council Discussion

Desiree-

I would kindly ask that my wife and I's stance on the restructuring of our/Rollingwood's zoning code be considered by the city and the city council.

We firmly believe that any material changes to our / Rollingwood's residential zoning code should be made after factoring in extensive community input and extensive discussion, including analysis of both intended and unintended consequences, around any proposed modifications.

I am in favor of a task force versus Rollingwood's City Council having the unilateral right to make changes.

Thank you for the consideration,

John Hunter Jones and Teresa Jones 209 Ashworth Dr.

From: ann russell Sent: Wednesday, February 1, 2023 6:01 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Planning & Zoning

I am in agreement with council members Glasheen, Brown and Hutson about amending the building height and setback rules. I understand neighborhood changes are inevitable, but some homes resemble in size unusually large structures, changing the "vibe" of Rollingwood. Thank you,

Ann Russell

From: Kathy Borth Sentence (1998) Sent: Wednesday, February 1, 2023 7:44:44 PM To: Kevin Glasheen <<u>kglasheen@rollingwoodtx.gov</u>> Subject: Height and set back

I am sorry I cannot attend this meeting but fully support not changing the maximum height of buildings and for maintaining setbacks.

The character of ROllingwood has suffered greatly in the recent deluge of building. I do not support any increase in height in particular.

I also feel strongly that we need a tree ordinance and protection and that homeowners should be required to plant the equivalent number of trees taken out. In addition: encourage native plants in the landscape and less lawn and grass which require huge amounts of water to maintain.

Good luck at the meeting.

Kathy Borth 512-569-0375

From: Virginia Bettis Sent: Wednesday, February 1, 2023 8:27 PM To: Desiree Adair <dadair@rollingwoodtx.gov> Subject: Planning & Zoning

Hello,

This is my input to the Planning and Zoning Commission to consider changes to both the height and setback ordinances now.

Some houses seem too big for the lot, or they loom over the neighbors in a way that invades the peace and privacy of the adjacent property. Some houses have been built to the setback lines, to the maximum height; or have overhangs or balconies that intrude into the setbacks.

I am for changing height limits, or limiting intrusions into the setbacks such as roof overhangs and balconies, so that they do not invade the peace and privacy of an adjacent property.

I am for a fix for those two issues NOW rather than wait for comprehensive residential code review a year from now-- this could be revisited later during the comprehensive residential code review if necessary.

Thank you,

-Virginia Bettis

4712 Timberline Dr

Dear Mayor, Council, and P&Z Members,

I support the timely need to address current building height and setback rules, although I appreciate how challenging a quick fix is in Rollingwood. At the very least, putting a cap on building heights and how we measure it is imperative. Some people argue their property values are affected by not being able to build as high as currently allowed, myself and others worry what happens to our own property values if people continue to build increasingly tall and massive homes around us while exploiting the current rules. Set the height limit to match Westlake Hills and City of Austin at 30', and adopt the suggested revisions on how to calculate the height.

Encroaching into the setback should be limited to 2'-3' for roofs and <u>not at all</u> for bay windows or other habitable projections. This is how most of us interpreted the rule as limiting anything over the setback except an eave. Why else would you have a setback?

There are many homes in Rollingwood, old and new, built in harmony with the slope of the land - and not an egregious attempt to capture views - which may exceed the current 35' height limit while still maintaining an appropriate sense of scale. There should be a clause that takes into account the variable character of Rollingwood's steeply sloping lots, or even corner lots that do not directly impact neighbors, which the Board of Adjustment can argue as needed. This is also the sort of argument that cannot be easily written into a code.

Thank you kindly, Alex Robinette 2500 Hatley Dr.

Please share with P&Z Members as I do not have their emails.

From: Bryan Hamren Sent: Friday, February 3, 2023 3:56 PM To: Desiree Adair <<u>dadair@rollingwoodtx.gov</u>> Subject: Height restriction feedback

Hi Desiree,

I don't think it's fair to current residents or homeowners currently in the process of designing a house to rush through any height change restrictions. Many architects have up to a 5 month waitlist to even begin the design process, and the variety of required permits all have their delays as well. To rush a change through with such drastic impacts on many of the lots in this city is thus completely unfair.

Aside from that, I don't think a change in the height is fair to anyone not grandfathered in as well.

I don't think the height needs to be changed at all, and it certainly shouldn't be a rushed decision.

Thanks, Bryan

Desiree Adair

From: Sent:	Sheila Peters Tuesday, February 7, 2023 5:02 PM
	Desiree Adair, Asniey wayman
Subject:	Complaint for P&Z public hearing
Follow Up Flag:	Follow up
Flag Status:	Completed

To: P&Z Commission and Mayor& City Council

These are my comments complaining about the current heights and setbacks allowed on current building in Rollingwood. I am writing to let you know that the current codes are inadequate in preventing new structures from becoming overbearing and obtrusive to their immediate neighbors. The structure across the street from us at 3225 Park Hills looms up and over from every side. Come stand on the curb at my house and take it in. Four stories rises up and is overbearing on this lot size. I can sit on my back deck of my two story house and look over my house to see the fourth story loom overhead. This city has allowed a HEB to be built on a postage stamp size lot. I have sent emails out to Council about my frustration with the crews working on weekends... to which the only council member who replied and had any action was Brooke Brown, who I am grateful to. My point being, these massive structures on smaller lots bring so much disruption and chaos to every day living here. And now we're left with huge walls looming over us, homes with absolutely no yards. I have a new build next door to me that elevated their pool so it sits 2 feet higher than my privacy fence. I could go on and on. Please, review these rules and think about how you would feel to have this structure looming over your house! Thank you, Sheila Peters 3222 Park Hills

Sent from my iPhone

12.

Desiree Adair

From: Sent: To: Subject: Owen Brainard Wednesday, February 8, 2023 9:10 AM Desiree Adair Building codes in RW

To whom it may concern,

I've been a resident of Rollingwood since 2008. I support no change in the residential building codes. What makes Rollingwood so attractive is the contrast to the overly Big Brother hand of Austin regulations. We have large, beautiful lots that very interesting family homes can be built on now under the current guidelines.

Thank you,

Owen Brainard

Desiree Adair

From: Sent: To: Subject: Shaesby Scott Wednesday, February 8, 2023 10:05 AM Desiree Adair Rollingwood residential zoning changes

City Council,

As a Rollingwood Resident for over 10 years, I would like to voice my opposition to any zoning changes being considered including height, setbacks, impervious coverage etc. We have enjoyed the benefits of limited building restrictions and should work hard to preserve them.

Regards,

Shaesby Scott 303 Farley Trail

Desiree Adair

From: Sent: To: Subject: Mary Tucker Monday, February 13, 2023 11:07 AM Desiree Adair Rollingwood

RE: Potential Regulations for New Builds in Rollingwood

Hi,

My husband and I have lived on Park Hills since 1985. We would like to register our support for potential regulations regarding new construction.

Priorities for us:

1. Protect trees in set back areas.

The developer of a new house under construction on Hatley cut all the trees in the back of the lot, even those not in the construction area. The future neighbors will have a direct view into our primary bedroom while we will have a direct view into their backyard and living area. The trees cut before construction would have obscured these views and offered more privacy.

Rollingwood is known for its tree canopy, something that increases home values

2. <u>Consider some impervious cover restrictions</u>. We live near the 9,300 sf house under construction on Park Hills. The neighbors call this behemoth "The new HEB"

The size of the house is out of proportion with the lot. Attractive homes that fit well with the natural landscape, increase the desirability of a neighborhood and the housing values.

That's my two cents for now.

Thank you for serving Rollingwood and taking on the job of looking at building regulations. It's an important service that will determine the livability of our neighborhood for decades to come.

Best, Mary Tucker

Desiree Adair

From: Sent: To: Cc: Subject: Ashley Wayman Monday, February 13, 2023 9:21 AM Ashley Wayman Desiree Adair FW: Proposed additional lease on fields 3,4,5.

Good Morning Mayor and Council,

Please see the email below from Jack and Torye Holland.

Thanks, Ashley

Ashley Wayman City Administrator City of Rollingwood (512) 327-1838 www.rollingwoodtx.gov

-----Original Message-----From: jack holland Sent: Sunday, February 12, 2023 1:39 PM To: Ashley Wayman <awayman@rollingwoodtx.gov> Subject: Proposed additional lease on fields 3,4,5.

Ashley,

We have heard that fields 3, 4 & 5 are under a proposal to be leased out by the City to another youth sports organization.

We are opposed to that idea because that would further reduce the amount of time Rollingwood residents and their dogs have use of those fields.

The fields 3, 4 & 5 are the only public place where Rollingwood residents can gather with their dogs and engage with other members of our community. We are already limited in our access to them through the Little League leasing arrangements and regular field maintenance programs so we oppose any more reductions in our usage of them in the future.

Please pass on this email to the five members of the RW city council. Thank you.

Kind regards,

Jack & Torye Holland

3307 Park Hills Drive

Desiree Adair

From: Sent: To: Cc: Subject: Desiree Adair Monday, February 13, 2023 9:21 AM Desiree Adair Ashley Wayman FW: Foundation Height

Good morning Mayor and Council,

Please see below email from Catherine Horne.

Best, Desiree

Desiree Adair City Secretary City of Rollingwood 512.327.1838 www.rollingwoodtx.gov



From: Gavin Massingill <gmassingill@rollingwoodtx.gov> Sent: Sunday, February 12, 2023 8:39 PM To: Desiree Adair <dadair@rollingwoodtx.gov>; Ashley Wayman <awayman@rollingwoodtx.gov> Subject: Fwd: Foundation Height

Sent from my iPhone

Begin forwarded message:

From: catherine horne Date: February 9, 2023 at 5:47:06 PM CST To: Gavin Massingill <<u>gmassingill@rollingwoodtx.gov</u>> Subject: Foundation Height

Please forward the following to all of City Council.

I am in full support of the City Council pursuing changes to our city code regarding foundation and building height. I have lived in Rollingwood since 2006 and built a home beginning in 2005. We were very aware of the code and the 35 foot height limit. It has become very apparent over the last 5 to 7 years the City has allowed many builders to interpret our code in ways it was not meant to be.

Please take the time to tighten our building codes so abuses of code are stopped, abuses of code have financial deterrents with meaningful fines and work stops, abuses of height and overhangs along setback

12.

ines, foundation size and height guidelines should be reviewed and revised, and we need multiple reviews of plans by multiple city staff prior to approval of a building permit to avoid homes that do not meet code from beginning construction.

I am in full support of the City Council taking steps to improve our City code.

Thank you.

Catherine Horne

Sent from my iPhone

1114

Desiree Adair

From:	Mark Queralt
Sent:	Monday, February 13, 2023 2:23 PM
То:	Desiree Adair; Mark Queralt
Cc:	Alison Queralt
Subject:	Residential building discussion - set backs

Good afternoon,

While the height discussion is above my pay grade, I have more concern regarding the 30 foot setbacks in addition to the 10 foot ROW creating a total 40' setback in some cases like ours - especially troublesome on a corner lot, placing our home somewhat oddly in a corner (102 Wallis Dr).

If the spirit of the law was to provide appropriate space between street and home, then a total 30' setback (with or without the 10' ROW) would seem more reasonable.

FYI, I have no plans to remodel or sell our home, but, like everyone else, it could affect my ultimate resale.

Thanks!

Mark

Desiree Adair

From: Sent: To: Subject: Loren Nyer Monday, February 13, 2023 2:46 PM Desiree Adair Rollingwood

I've lived in Rollingwood for 43 years and was amazed to find out that legacy trees are not protected and 3 and 4 story homes are allowed. I welcome a commission to collect input on These issues. The minimum size lot here is 1/3 acre. I'm about to find out what privacy is left when 3 stories looms next door.

Get Outlook for iOS

Desiree Adair

From: Sent: To: Subject: Maria Abernathy Tuesday, February 14, 2023 10:56 AM Desiree Adair Letter for P&Z

Dear Ms. Adair,

I've already emailed the mayor and each Council member, but no email addresses appear on the website for Planning and Zoning commission. Could you email this to each member? Thanks for your help! Maria Abernathy

First, I want to thank you for serving Rollingwood in often contentious times and situations. Your contributions are much appreciated! I want to add my thoughts regarding efforts to scrutinize, possibly change, and then enforce our

I want to add my thoughts regarding efforts to scrutinize, possibly change, and then enforce ou residential building codes:

1) I do support limits on residential building heights (30? 35? 25? feet) and very clear guidelines regarding the reference datum from which to measure building height. (The discussion initiated by Dave Bench at the Council meeting 1/18/23 was enlightening.)

2) I also support adherence to setback requirements, with special attention to side setbacks. Cantilevers and very wide eaves should not be allowed in the side setbacks. Houses which encroach on side setbacks diminish neighbors' privacy, and trees are often removed because these setbacks are so narrow. These two consequences - <u>threats to privacy and absence of trees</u> - are detracting from the beauty and comfort of Rollingwood. I had high hopes that the tree canopy ordinance would prevent developers' wanton destruction of heritage oaks, etc., but they have found ways to continue the destruction.

3) I strongly support efforts in Council - especially the efforts of Brook Brown and Sarah Hutson and the proposal initiated by Kevin Glasheen - to examine our building ordinances, to suggest ways to clarify and strengthen them, and to investigate compliance with them. This work, I think, is critical to retaining the character of our city, to avoiding drainage disasters, and to discouraging lawsuits. Having clear and consistent ordinances, uniformly enforced, should also make the jobs of city staff easier.

4) When we finally have ordinances which are reviewed and accepted, I propose:

a) that persons who apply to build new residences in Rollingwood should be advised of our ordinances and be expected to comply with them (If they dislike the ordinances, there are other areas in which they can build); and

b) that variances should be difficult to obtain and that the guidelines for approving a variance should be carefully reviewed by our legal counsel.

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Thank you for considering my input.

Maria Abernathy

12.

Desiree Adair

From: Sent: To: Cc: Subject: Andrea Davidson Tuesday, February 14, 2023 1:31 PM Desiree Adair; Kevin Glasheen Justin Davidson Residential building code reform- No Change

Hello,

We are writing to make it known that we do not support changes to the residential building codes in Rollingwood.

We do not support the city council or P&Z Commission limiting impervious cover, building heights or restricting setback incursions into setbacks.

Thank you, Andrea & Justin Davidson 3207 Pickwick Lane

Page 199	
Desiree Adair	
From:	Alexandra Robinette
Sent:	Wednesday, February 15, 2023 9:47 AM
То:	Gavin Massingill; Kevin Glasheen; Alec Robinson; Phil McDuffee; Brook Brown; shutson@rollingwoodtx
Cc:	Ashley Wayman; Desiree Adair; Mike Rhodes
Subject:	Take Two: Building Heights and Setbacks

12

All,

I rushed my last email out the door ahead of the P&Z meeting that was in fact rescheduled. I've had a chance to think more carefully about this complex topic, and I'd like to amend what I said previously by suggesting alternatives that might appeal to people on both sides of the issue. At this time, I feel that these issues are too complicated to fix in one council meeting, and should be evaluated by a committee before further action is taken.

If we really parse the number of homes that are causing concern, it's very few. I think if we only did one thing, the City of Rollingwood could reach out directly to the builder/s (Waters) that are causing the most concern and have a friendly conversation with them about the intent of our rules. Letting them know that what they are doing is concerning to residents, that RW welcomes creative solutions, but does not want to dictate any particular style, aesthetic, roof type, building material percentages, or have to rewrite all the rules. Rollingwood wants homes to be mindful of scale and context, and not to exploit the rules by cutting down numerous trees, egregiously overlapping setbacks, and building 3-4-stories in search of downtown views. This could also be a standard letter that is shared on the RW website, distributed to any builders that have previously done work in Rollingwood, or with anyone seeking a demolition permit.

HEIGHT

1. <u>Keep the current building height at 35ft</u>, but specify that no portion of any building can exceed 35ft, as measured from the lowest point of the foundation to the highest point on the roof, <u>over a horizontal area less than 15ft</u>, or something like that. If someone choses to terrace their foundation to follow the slope (which is encouraged), or dig some portion into the ground as a 1/2 basement/garage, they won't be in violation so long as they don't build from existing grade to a height above 35ft. There are many examples in RW of homes that may have an overall height that exceeds 35ft in 2D, but to look at it in 3D shows the height above 35ft. is stepping back and away from the facing elevation so as not to impact neighbors directly. This is not the case at 3225 Park Hills. Allowing for some horizontal setback of 15ft or greater may mitigate the height issue. RW might also say that front, rear, and corner lot elevations may have an exception since those locations have less impact to neighbors due to the deeper building setback. 2. Adopt the suggestions requiring height to be measured from undisturbed soil which can be taken from a survey if the house is removed - and no demo permits should be issued without an existing survey.

SIDE-SETBACK

I previously suggested no overhangs at all in the setback because it would be very easy to exploit the intent, however, it is nice to see some push and pull instead of flat elevations, but I still have concerns that this rule can be gamed. 1. Side setbacks shall only allow:

- fireplace massing;
- max of 2ft. deep bay window projections that cannot extend more than say 6-8ft. in length, nor exceed one story in height @ max of ~10'-12' in height.
- Projections cannot be stacked, where an 8'x10' bay could effectively be doubled, but on a separate story, and bay windows must be separated by some distance both vertically and horizontally, lest an elevation become a 2 ft. deep patchwork of bay windows on both sides, impacting neighbors;
- 2-3ft. max. uninhabitable eave overhang (no decks or balconies in setbacks!)

Page 200 I of an impervious cover ordinance, consider deeper side setbacks than current since Rollingwood has 100ft w 12. Iots that were built out at time to accommodate septic systems, so there is very little hardship with our current setbacks. Since some people are building pretty massive houses on increasingly taller foundations, this is impacting too many adjacent homes because of the narrowness of the current setbacks. Impervious coverage limits will not really address this, but changing the depth of the setback to 15ft both sides of non-corner lots might.

Please distribute to members of P&Z.

Kindly, Alex Robinette 2500 Hatley Dr.

On Feb 2, 2023, at 4:52 PM, Alexandra Robinette

> wrote:

Dear Mayor, Council, and P&Z Members,

I support the timely need to address current building height and setback rules, although I appreciate how challenging a quick fix is in Rollingwood. At the very least, putting a cap on building heights and how we measure it is imperative. Some people argue their property values are affected by not being able to build as high as currently allowed, myself and others worry what happens to our own property values if people continue to build increasingly tall and massive homes around us while exploiting the current rules. Set the height limit to match Westlake Hills and City of Austin at 30', and adopt the suggested revisions on how to calculate the height.

Encroaching into the setback should be limited to 2'-3' for roofs and <u>not at all</u> for bay windows or other habitable projections. This is how most of us interpreted the rule as limiting anything over the setback except an eave. Why else would you have a setback?

There are many homes in Rollingwood, old and new, built in harmony with the slope of the land - and not an egregious attempt to capture views - which may exceed the current 35' height limit while still maintaining an appropriate sense of scale. There should be a clause that takes into account the variable character of Rollingwood's steeply sloping lots, or even corner lots that do not directly impact neighbors, which the Board of Adjustment can argue as needed. This is also the sort of argument that cannot be easily written into a code.

Thank you kindly, Alex Robinette 2500 Hatley Dr.

Please share with P&Z Members as I do not have their emails.

AUSTINboard ofREALTORS[®]

- TO: Rollingwood City Council and Planning and Zoning Commission
- FROM: Taylor G. Smith, Deputy Director of Government Affairs Julia D. Smith

DATE: April 5, 2023

SUBJECT: Proposed Code Amendments Related to Residential Properties

The Austin Board of REALTORS® (ABoR) understands the Planning and Zoning Commission and Rollingwood City Council's desire to address concerns from some community members and develop new regulations to help ensure that residential buildings are visually consistent with the scale and mass of neighborhoods in Rollingwood.

On behalf of more than 15,000 Central Texas REALTORS®, we are encouraged by the creation of the Comprehensive Residential Code Review Committee to review future residential code changes. We continue to have concerns about code amendments that significantly reduce a property owner's existing entitlements and how new regulations would force homes out of compliance. Regulations that would significantly reduce a property owner's existing entitlements should be further discussed and considered by the entire community.

ABoR has long supported healthy, sustainable, and responsible development that plans appropriately for growth while protecting private property rights and homeowners' entitlements. ABoR supports regulatory changes that remove unnecessary regulations that increase the cost of housing and provide property owners with greater flexibility as it relates to their property. ABoR is a strong supporter of private property rights which includes the freedom of a property owner to fully utilize their property as protected by the 5th amendment.

Thank you for your leadership in taking this important step to provide additional framework that can be used to help change the trajectory of housing in Rollingwood. We are here to be a partner with you as you work to reform Rollingwood's residential zoning code.

Cc: Ashley Wayan, Rollingwood City Administrator

Desiree Adair

From:	ERIC DOPKINS
Sent:	Sunday, April 16, 2023 7:07 PM
То:	Desiree Adair
Subject:	Height of Buildings and Setback Codes
Follow Up Flag:	Follow up
Flag Status:	Flagged

Dear Ms. Adair,

It's been brought to my attention there will be a meeting, once again, regarding height restrictions and setbacks for new homes being built throughout our Rollingwood neighborhood.

I've already expressed through letters, phone calls and in person the great concerns we've had regarding the spec home being built directly behind us. These concerns include:

1. Large, mature trees removed that were providing a natural "green" privacy fence (along the actual fence) between our properties, resulting in zero privacy.

2. Setback feels too close to shared fence/property line.

3. Foundation purposefully raised significantly higher than what was originally there, so to sell home as if it's a "view home". (Was listed this way on website for company looking to have another investment partner)

4. First level of home windows are entirely visible above our shared fence. This is due to the increased height of foundation and how close the home is to the fence (property line).

Overall, our fence height now does not seem to be adequate, our view that once was of mature trees and greenery is now windows and white stucco walls of a home, therefore, resulting in a much less appealing experience and appreciation than what we once had.

Very disappointing to learn how many other neighbors have had this similar situation happening to them. Surely, home values are negatively impacted as a result of the few specifics I mentioned.

Please forward this email/letter to our mayor and council.

Thank you,

Tricia and Eric Dopkins 3207 Gentry Drive

Sent from my iPhone

Desiree Adair

Flag Status:

From:	Rhoda Silverberg
Sent:	Tuesday, April 18, 2023 5:40 AM
To:	Ashley Wayman; Desiree Adair
Subject:	Building Code
Follow Up Flag:	Follow up

Completed

Dear Ashley and Desiree, Please distribute the following to the City Council. Thank you, Rhoda Silverberg 3102 Gentry Drive

To the City Council:

In light of our many already existing drainage problems in the city, I hope the that City Council will take action to close the loopholes and inconsistencies in the current building and zoning code.

Thank you for all you do for the city.

Rhoda Silverberg 3102 Gentry Dr.

Resident	Summary	Speed of Action	Reduce Height Limitations	Restrict Setbacks	Enhance Tree Ordinance	Improve enforcement	Increase IC restrictions
Alex Robinette	yes to 2-3' overhangs; no to projections in set-back	move slowly	yes	yes	N/A	N/A	N/A
	Consider negative impacts of building code changes; be inclusive; go						
Amy Pattillo	slowly	move slowly	N/A	no	N/A	N/A	N/A
Mike Rhodes	Do not want unintended consequences - go slow	move slowly	N/A	N/A	N/A	N/A	N/A
Ann Russell	Yes to do something to reign in huge buildings	move fast	yes	N/A	N/A	N/A	N/A
Kathy Borth	No building height increase. Strong on tree ordinance.	move fast	yes	N/A	yes	N/A	N/A
Virginia Bettis	Change ordinances NOW; reduce height; no setback intrusions	move fast	yes	yes	N/A	N/A	N/A
	ABoR - no changes; consern about property values; wait for						
Taylor Smith	comprehensive plan; include developers and housing community	move slowly	N/A	N/A	N/A	N/A	N/A
	Save Rollingwood; no more that 35'; all setback 15+'; why are some						
Terri McCabe	breaking rules;	move fast	yes	yes	N/A	yes	yes
Mary Elizabeth Cofer	Save Rollingwood; nothing in setbacks; for height limitations	move fast	yes	N/A	N/A	N/A	N/A
	Take it slow; building heights is nuanced compound by complex						
Andrew Richardson	topography; want development to be sensible but reasonalby easy.	move slowly	N/A	N/A	N/A	N/A	N/A
	Needs urgent attention; don't wait for comprehensive plan (although						
	for it, long term); waiting will encourage developers to seek permits						
Bobby McQuiston	quicker	move fast	N/A	N/A	N/A	N/A	N/A
Susan Fernandes	Act now; need to manage imperviouse cover and privacy issues	move fast	N/A	N/A	N/A	N/A	N/A
iviolse and Joan Levy	Take action; don't want a west U as in Houston	move fast	N/A	N/A	N/A	N/A	N/A
	Can't we do a better job making sure that builders follow the rules?	NI / A	NI / A	N1/A			NI / A
PhileIlis	Can we deny ugiy houses?	N/A	N/A	N/A	yes	yes	N/A
Topy Proglin	forevery description and to take a year	movo clowby	NI/A	N/A	NI/A	NI/A	NI/A
	lorever, doesn't need to take a year.	Inove slowly	N/A	N/A	N/A	N/A	N/A
	Adopt W Lake Hills language on height measurment: nothing over						
Deborah Arnow	35' nothing in setbacks: supports impervious cover ordinance	N/A	ves	N/A	N/A	N/A	ves
Matt Horne	No changes until Comprehensive Plan is worked	move slowly	N/A	N/A	N/A	N/A	N/A
	Against changes at this time: believes that it is vocal minority pushing	inove slowly				,,,	,,,
Owen Brainard	change.	do nothing	N/A	N/A	N/A	N/A	N/A
-							
	Doesn't like the overwhelming building that going on; peace and						
Robert Patterson	privacy have been compromized. For our doing something about it.	move fast	N/A	N/A	N/A	N/A	N/A
Patsy Rider	In favor of change to limit overwhelming building. Do it now.	move fast	N/A	N/A	N/A	N/A	N/A
Ashley Withers	Do not change anything at this time. Need more public input.	move slowly	N/A	N/A	N/A	N/A	N/A
	Do not change anything at this time. Public has not been properly						
Jim Withers	informed. Need to protect property values	move slowly	N/A	N/A	N/A	N/A	N/A
Chris Wilbratte	Do not change; hearing a vocal minority - majority is busy with life.	do nothing	N/A	N/A	N/A	N/A	N/A
	Need more public input and analysis of consequences; don't do						
John Hunter & Teresa Jones	anything yet	move slowly	N/A	N/A	N/A	N/A	N/A
Sheila Peters	Don't allow an HEB on Park Hills	move fast	yes	yes	yes	yes	yes
Grace Ingram-Eiser	Don't restrict landscaping projects	move slowly	N/A	N/A	N/A	N/A	N/A
	Deale Party is the first of a state of the tradition of the first state of the stat				N1 / A		
Jim Finnegan	Don't limit heights for sloped lots, disallow overhangs in setbacks	move slowly	no	yes	N/A	N/A	N/A
loff Froll	Understand the Why before the How; Don't nurt anyone; Don't limit	movo clowby	20	20	NI/A	vec	20
Androa & Justin Davidson	Mo do not support changes to the residential building codes	do pothing	10	no	N/A	yes	10
	Supports code reform: tree ordinance onbancomont: touchan	ao notning	10	110	19/5		110
Maria Abernathy	variance guidelines	move fast	Ves	ves	Ves	ves	N/A
Mark Queralt	Concerned about current setback requirements for corner lot	N/A	N/A	N/A	N/Δ	N/A	N/A
Loren Nver	Concerned that buildings are taller than trees	N/A	ves	N/A	ves	N/A	N/A

	Trees are being cut reducing privacy; buildings are overwhelming the						
Mary Tucker	lot sizes	move fast	N/A	N/A	yes	yes	yes
	For a data-driven approach to code review; Promote trees in						
Jeff Marx	setbacks	move slowly	N/A	N/A	yes	N/A	N/A
	Don't change rules; lead time for architects is 5 mos and it's unfair to						
Bryan Hamren	those just getting into the process.	do nothing	N/A	N/A	N/A	N/A	N/A

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Speed of Action		
Row Labels	Count of Resident	
N/A		4
move slowly		14
move fast		13
do nothing		4
Grand Total		35

Reduce Height Limitations	
Row Labels	Count of Resident
N/A	22
yes	10
no	3
Grand Total	35

Restrict Setbacks Row Labels **Count of Resident** N/A yes no Grand Total

Enhance Tree Ordina	ance	Improve enforce	ment
Row Labels	Count of Resident	Row Labels	Count of Resident
N/A	28	N/A	
yes	7	yes	
Grand Total	35	Grand Total	

12.

Count of Resident

29

4

2

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AGENDA ITEM SUMMARY SHEET City of Rollingwood Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action on an ordinance amending the City's Code of Ordinances Section 101-2 Adoption of codes, amending the building code local amendments related to wood shingles and the definition of building height

Description:

This ordinance proposes to repeal the City's local amendments to the adopted ICC building codes related to the definitions of building height and the prohibition of wood shingles.

The repealing of the local amendments to the ICC building codes related to the definitions of building heights is proposed for consistency in how the term is used in building code. The repealing of the prohibition of wood shingles is proposed to bring the City into compliance with Texas Local Government Code (LGC) Sec. 3000.002. Texas LGC Sec.3000.002(a) states:

Sec. 3000.002. CERTAIN REGULATIONS REGARDING BUILDING PRODUCTS, MATERIALS, OR METHODS PROHIBITED. (a) Notwithstanding any other law and except as provided by Subsection (d), a governmental entity may not adopt or enforce a rule, charter provision, ordinance, order, building code, or other regulation that:

(1) prohibits or limits, directly or indirectly, the use or installation of a building product or material in the construction, renovation, maintenance, or other alteration of a residential or commercial building if the building product or material is approved for use by a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building; or

(2) establishes a standard for a building product, material, or aesthetic method in construction, renovation, maintenance, or other alteration of a residential or commercial building if the standard is more stringent than a standard for the product, material, or aesthetic method under a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building.

City Staff has consulted with the City's building permit and inspections contractor, ATS Engineers, Inspectors and Surveyors, who recommends that the building height definitions remain as originally stated in the International Building Code (IBC) and International Residential Code (IRC), and that the prohibition of wood shingles be removed to be consistent with Texas LGC Ch. 3000.

The proposed amendments, if passed, will still require all structures to meet the City's zoning regulations for maximum height, including how height is measured per the zoning definitions in Sec.107-3 of the City's Code of Ordinances.

Action Requested:

To consider Ordinance 2023-04-19-13 amending the City's Code of Ordinances Section 101-2 Adoption of codes, amending the building code local amendments related to wood shingles and the definition of building height

Fiscal Impacts:

No fiscal impacts anticipated at this time.

Attachments:

• Draft Ordinance 2023-04-19-12

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CITY OF ROLLINGWOOD, TEXAS ORDINANCE NO. 2023-04-19-13 AN ORDINANCE OF THE CITY OF ROLLINGWOOD, TEXAS, AMENDING THE CITY'S CODE OF ORDINANCES SECTIONS 101-2 ADOPTION OF CODES, AMENDING THE BUILDING CODE LOCAL AMENDMENTS RELATED TO WOOD SHINGLES AND THE DEFINTION OF BUILDING HEIGHT; PROVIDING A SAVINGS CLAUSE, REPEALING CONFLICTING LAWS AND ESTABLISHING AN **EFFECTIVE DATE** WHEREAS, the City of Rollingwood ("City") is a General Law Type A City under the statutes of the State of Texas: and WHEREAS, the Texas Local Government Code empowers cities to enact building codes and regulations and provide for their administration, enforcement, and amendment; and WHEREAS, the City Council desires to protect the safety and welfare of the citizens of the City through regulation of construction activities in the City; and WHEREAS, the City has adopted previous versions of the ICC International codes; and WHEREAS, the City's building and construction codes are intended to be updated periodically and City Staff has undertaken a review of the existing codes and amendments and recommends repealing certain amendments provided herein; and WHEREAS, the City Council after consideration has determined that it is in the best interest of the residents of the City to repeal the local amendments to the International Codes, as set forth herein, to regulate construction activities in the City; and WHEREAS, the City has complied with all conditions precedent necessary to take this action, has properly noticed and conducted all public meetings pursuant to the Texas Local Government Code and Texas Government Code, as applicable. NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF **ROLLINGWOOD, TEXAS, THAT: SECTION 1.** All the above premises are hereby found to be true and correct legislative and factual findings of the City Council and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety. **SECTION 2.** The City's Code of Ordinances Chapter 101, Section 101-2 Adoption of codes shall be amended to read as follows, with underlines being additions and strikethroughs being deletions:

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40 41	Sec.101-2 – Adoption of codes.
42 43 44 45 46	 (a) The codes adopted in this section, together with the remaining provisions of this chapter and the fire code and regulations of chapter 10, shall constitute the city construction regulations. The city construction regulations will apply to all construction within the city, except as otherwise specifically provided in this Code.
47 48	(b) The city adopts the following codes as though fully set forth in this chapter, copies of which are on file in the office of the city secretary:
49 50	(1) International Administrative Code, 2006 Edition, published by the International Code Council.
51 52 53	(2) International Building Code, 2015 Edition, published by the International Code Council, subject to the amendments set forth in subsection (d) of this section.
54 55	(3) International Residential Code, 2015 Edition, published by the International Code Council, with amendments and section AG105 of appendix G.
56 57	(4) International Energy Conservation Code, 2015 Edition, published by the International Code Council.
58 59	(5) International Mechanical Code, 2015 Edition, published by the International Code Council.
60 61	(6) International Plumbing Code, 2015 Edition, published by the International Code Council.
62 63 64	(7) National Electrical Code, 2014 Edition, published by the National Fire Protection Association, subject to the amendments set forth in subsection (d) of this section.
65 66	(8) Uniform Code for the Abatement of Dangerous Buildings, 2015 Edition, published by the International Conference of Building Officials.
67	(c) The International Building Code adopted herein is amended as follows:
68 69	(1) By adding a new section 1505.6.1, which follows immediately after section 3202(c), to read as follows:
70 71 72 73	Section 1505.6.1. Wood shingles. Notwithstanding any other provision in this code, it is specifically provided that wood shakes, wood shingles, or any wooden roof covering is hereby prohibited to be used as a roof covering within the city.
74	(2) By amending the definition of "height of building" to read as follows:
75	
76 77 78 70	<i>Building height, nonresidential.</i> The vertical distance from the lowest finished floor elevation (including a garage floor) to the highest part of the following: the coping of a flat roof, the deck line of a mansard roof, or the coble of a pitched on bigged model. Where the temperature states are the second
17	gable of a priched of inpped root. where, due to topographical of other

80	conditions, the lowest finished floor elevation of a building differs from one
81	part to another, the maximum permissible height shall be computed
82	separately for each portion of such building containing a differing lowest
83	finished floor elevation. If the lowest finished floor elevation is more than
84	four feet directly above the point where the foundation intersects the natural
85	grade, then the vertical distance must be measured from a point that is four
86	feet directly above the point where the foundation intersects the natural
87	grade to the highest point described above.
88	
80	Puilding height regidential. The vortical distance shows a reference datum
09	manual to the highest point of the building. The reference datum shall be
90	and suice to the highest point of the bundling. The reference datum shar be
91	selected by entiter of the following, whichever yields a greater height of the
92	bunding:
93	1. The elevation of the highest adjoining original native ground surface
94	within a five foot horizontal distance of the exterior wall of the building
95	when such original native ground surface is not more than ten feet above
96	the lowest grade; or
97	2 An elevation of ten feet higher than the lowest grade when the original
98	native ground surface described in subsection 1 of this definition is more
90	than ten feet above lowest grade
))	than ten reet above rowest grade.
100	(d) The National Electrical Code adopted in this section is amended by adding a
101	new section 308, which follows immediately after section 307, to read as
102	follows:
103	Section 308. Notwithstanding any other provision of this code, the use of
104	aluminum wiring as a conductor of electricity in branch circuit wiring, or in
105	service conductors smaller than six is hereby prohibited
100	
106	
107	SECTION 3. All provisions of the ordinances of the City of Rollingwood in conflict with
108	the provisions of this ordinance are hereby repealed to the extent of such conflict, and all other
109	provisions of the ordinances of the City of Rollingwood not in conflict with the provisions of this
110	ordinance shall remain in full force and effect.
111	
112	SECTION 4. Should any sentence, paragraph, subdivision, clause, phrase or section of
113	this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not
114	affect the validity of this ordinance as a whole, or any part or provision thereof other than the part
115	so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of
116	Ordinances as a whole.
117	
118	SECTION 5. This ordinance shall take effect immediately from and after its passage and
119	the publication of the caption, as the law and charter in such cases provide.
120	
121	
122	

123	ADDOVED DASSED AND ADODT	D by the City Council of the City of Dollingwood Tayon
124	arrroved, rassed and adorie	D by the City Council of the City of Rollingwood, Texas
125	on the day of, 2025.	
120		
127		APPROVED:
128		
129		
130		
131		Gavin Massingill, Mayor
132		
133	ATTEST:	
134		
135		
136		
137	Desiree Adair, City Secretary	

	ORDINANCE NO 2023-04-19-15					
	ONDIMATICE I.O. 2025-07-17-15					
	AN ORDINANCE AMENDING ORDINANCE NO 2022-00-21-04 AS					
	PREVIOUSLY AMENDED ADOPTING AND APPROVING AMENDMENTS TO					
	THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1. 2022 AND					
	TERMINATING SEPTEMBER 30, 2023, PROVIDING FOR ADJUSTMENTS OF					
	SPENDING AUTHORITY AMONG BUDGET LINE ITEMS, AND PROVIDING					
	FOR IMMEDIATE EFFECTIVENESS					
	where the City Council of the City of Rollingwood, Texas, deems it necessary to amond Ordinanaa Na. 2022 00 21 04 as proviously amonded (the "2022 2023 Pudget")					
	amend Ordinance No. 2022-09-21-04 as previously amended (the 2022-2023 Budget)					
to meet unexpected and/or unioreseen conditions that could not have been included in the budget through the use of reasonably diligent thought and attention:						
	budget through the use of reasonably unigent thought and attention,					
	NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE					
	CITY OF ROLLINGWOOD. TEXAS THAT:					
	Section 1. The 2022-2023 Budget approved on September 21, 2022 and subsequently					
	amended is hereby further amended to provide for the adjustment of spending authority					
	in the line items set forth in Attachment A attached hereto and incorporated herein.					
	Attachment A shall be appended to the 2022-2023 Budget for ease of reference. Except					
	as specifically affected by the adjustments reflected in the attached Attachment A the					
	2022-2023 Budget as amended shall remain in full force and effect.					
	Section 2. This Ordinance shall be offective immediately man adaption					
	Section 2. This Ordinance shall be effective immediately upon adoption.					
	PASSED AND APPROVED this day of 2023					
	1100 ED 111D 111 110 TED 1110 uns uay of , 2023.					
	Gavin Massingill, Mayor					
	ATTEST:					
	Asniey wayman, City Secretary					

ATTACHMENT A

Budget Amendments 2022-2023

CITY OF ROLLINGWOOD 2022-2023

Last updated: 4/17/2023

GENERAL FUND		CURRE	NT		BUDGET		AMENDED
		BUDO	ET	AME	NDMENTS		BUDGET
REVENUE ACCOUNT:	-					-	
<u>100-4-10-4700</u>	UNEXPENDED BALANCE TRANSFER	\$ 41,4	53	\$	22,000		\$ 63,453
	REVENUE TOTAL	\$ 41,4	53	\$	22,000		\$ 63,453
EXPENDITURE ACCOUNTS:	-					-	 ······
100-5-20-5287	STORM DEBRIS AND CLEAN-UP	\$ 3,0	00	\$	12,000		\$ 15,000
100-5-20-5288	LANDSCAPE REMEDIATION	\$	-	\$	10,000		\$ 10,000
	EXPENDITURE TOTAL	\$ 3,0	00	\$	22,000	-	\$ 25,000
GENERAL FUND - TOTALS		CURRE	NT		BUDGET		AMENDED
		BUDG	ЕТ	AME	NDMENTS		BUDGET
	REVENUE ACCOUNTS	\$ 3,157,3	38	\$	22,000	-	\$ 3,179,388
	EXPENDITURE ACCOUNTS	\$ 3,148,4	7	\$	22,000		\$ 3,170,417
	NET REVENUE ABOVE (BELOW) EXPENDITURES	\$ 8,9	/1	\$	-		\$ 8,971

AGENDA ITEM SUMMARY SHEET City of Rollingwood Meeting Date: April 19, 2023

Submitted By:

Utility Commission

Agenda Item:

Discussion and possible action on a recommendation from the Utility Commission regarding a cellular service and coverage survey

Description:

At the February City Council Meeting, the City Council approved a draft survey submitted by the Utility Commission with a suggested additional question regarding wi-fi calling.

The Utility Commission reviewed the suggestion and sent forward a final draft of questions for the cellular service survey.

The Commission recommended using all available means of sharing the survey with the exception of mailed notice/postcards to avoid the expense. This would include Website, Facebook, Nextdoor, and Swift911 (Call, Email, Text).

Action Requested:

To consider a recommendation from the Utility Commission regarding a cellular service and coverage survey

Fiscal Impacts:

No significant fiscal impacts expected at this time.

Attachments:

• Draft Cellular Service Survey Questions

Draft Survey Questions - Cellular Service in Rollingwood

- 1. Name (Text Box)
- 2. Address (Text Box)
- 3. Cell phone carrier (Text Box)
- 4. Quality of service inside your house (1-5, 5 being the best)
- 5. Quality of service outside your house (1-5, 5 being the best)
- Do you have any indoor solutions (cell service extenders, boosters, other equipment) currently?
 (Yes/No)
- If so, has it improved your cell service quality? (Yes/No) (Only shown if answered "Yes" to question 6)
- 8. Do you use Wi-Fi calling to supplement cellular service? (Yes/No)
- 9. Is Wi-Fi calling reliable at your address? (Yes/No) (Only shown if answered "Yes" to question 8)
- 10. Do you rely on Wi-Fi calling such that a power outage or internet service disruption makes you unable to call from home? (Yes/No) (Only shown if answered "Yes" to question 8)
- 11. Do you experience cell service interruptions in certain areas of the city? (Yes/No)
- If so, please explain with detailed location information. (Text Box) (Only shown if answered "Yes" to question 9)
- If it is possible to do so, would you like the city to pursue improved cellular service options? (Yes/No)
- 14. If so, would you support the city investing in possible resources discovered? (Yes/No) (Only shown if answered "Yes" to question 11)
- Please share any additional feedback or suggestions you have regarding cell service in Rollingwood. (Text Box)

Comprehensive Residential Code Review Committee

City of Rollingwood, Texas

The Comprehensive Residential Code Review Committee (CRCRC) will be composed of these 6 members approved by the City Council and selected for their interest, expertise and willingness to serve:

Jeff Marx Ryan Clinton Thom Farrell, chair Dave Bench Alex Robinette Duke Garwood

City council by majority approval may appoint additional members as required. Residents wishing to serve as a Task Force alternate may use the online application or contact a council member directly.

Consistent with Rollingwood's commitment to transparency:

All CRCRC members must be sworn in and take open meetings act training; All members must abide by the open meetings act; CRCRC meetings will be open to observers.

All CRCRC members must be Rollingwood residents.

Proposed Timeframe:

This CRCRC is a time specific group charged with providing community perspective and insights on the policies and priorities governing residential development. The CRCRC is anticipated to convene beginning April 1, 2023 through October 1, 2023. This timeframe will be subject to change by City Council.

Proposed Committee Meetings:

The committee will meet twice per month coinciding with and earlier in the day than the Planning and Zoning and City Council meetings. This meeting schedule is subject to change and additional meetings may be called by chair as necessary.
Authority:

The CRCRC's role is to provide a community-based forum to ensure that a range of perspectives reflecting Rollingwood Community values are factored into the City's long-term vision and implementation priorities governing residential zoning policies. The CRCRC will obtain endorsement from the Planning and Zoning Commission prior to submitting its recommendations to City Council for approval. The Planning and Zoning Commission remains the primary advisory group to City Council on matters involving zoning, comprehensive planning and other growth management initiatives related to the physical development of the City. The City Council maintains decision-making authority on the residential zoning policy.

Duties:

• Review and assess 2020/21 Comprehensive Planning Advisory Strike Force survey results for public opinion regarding residential zoning and development.

• Identify residential zoning and development public opinion gaps not addressed by the 2020/21 Planning Advisory Strike Force survey results; develop a plan for filling those gaps; execute the plan.

• Analyze public opinion results to identify issues and needs regarding zoning and development. Combine with issues identified by City Council members, Planning and Zoning and City Staff.

• Develop a set of options to address zoning and development issues and needs. Include pros, cons, pace and why it is an issue. Make recommendations.

- Provide recommendations with regard to priority setting.
- Provide Interim and Final zoning policy recommendations.

CRCRC Deliverables:

• Report recommendations including rationale of majority viewpoint, and any votes that happened.

• Include report of the minority viewpoint, if requested by members in the minority.

Issues Identified by City Council Members; P&Z; City Staff

Construction Site Management:

- Allowable locations of construction fences, staging, port-a-pots, dumpsters
- Allowable use of City streets
- Safety issues around construction parking
- Permitted activities outside of Allowable construction hours

Building Ordinances:

- Permissible building and planting in setbacks/easements and ROWs
- How to measure setback distances
- Driveways and egress
- Allowable building heights, roof pitch and measurement guidelines
- Allowable number of stories
- Allowable fence heights
- Resident's right to privacy
- Allowable changes to topography
- Impervious cover
- Zoning by topography
- Fire considerations with regard to Tree Ordinance
- Permitting process
- Public education of ordinances
- Impact / resolution of nonconformances created by code changes
- Ordinance enforcement

AGENDA ITEM SUMMARY SHEET City of Rollingwood Meeting Date: April 19, 2023

Submitted By:

Staff

Agenda Item:

Discussion and possible action on an ordinance amending the city's Code of Ordinances Sections 107-399, 107-518 and 107-520 related to public hearing notice

Description:

Based on the direction provided by City Council at the March 22, 2023 meeting, City Staff has prepared this ordinance to amend the public hearing notice requirements related to required public hearings for changes in zoning regulations or zoning district boundaries. Additionally, included in this ordinance are amendments to the Special Use Permit process to keep the noticing requirements consistent with the proposed changes for zoning public hearings.

The proposed amendments require that published notice in the newspaper shall only be required for the City Council's public hearing, and that the notice shall be published at least 16 days prior to the City Council's public hearing on that matter, which is consistent with State law. It will also require written notice of the public hearing to be mailed to property owners at least 20 days prior to both the Planning and Zoning Commission public hearing and the City Council public hearing. The amendment maintains the City's additional local requirement that the mailed notice be sent to all property owners within 250 feet of the subject property (inside the city limits) for zone change requests to R-Residential and to P-Park districts, and mailed to all property owners within the city limits for zone change requests for any other district.

This amendment will eliminate the extra published notice in the newspaper prior to the Planning and Zoning Commission meeting and will reduce the timing on the mailed notice from 30 days to 20 days.

In Sec.107-399 *Special Use Permits* of the City's Code, staff is also proposing to remove portions of subsection e, for consistency with current practices. Specifically, the last sentence of subsection e.3 is proposed to be removed, as specific mailed notice requirements related to the City Council public hearing have been added and clarified. Additionally, subsection e.4 is proposed to be removed as the current City practice for public hearing notices is for City Staff to prepare and send required public hearing notices.

In addition to these proposed code amendments, City Staff will be utilizing the City's website to provide additional information relating to development applications and ordinance amendments that require public hearings in order to have more information readily available to the public.

Action Requested:

To consider ordinance 2023-04-19-21 amending the city's Code of Ordinances Sections 107-399, 107-518 and 107-520 related to public hearing notice

Fiscal Impacts:

Possible reduced noticing costs due to the removal of the requirement for newspaper notice prior to the Planning and Zoning Commission meeting.

Attachments:

• Draft Ordinance 2023-04-19-21

1

1	CITY OF ROLLINGWOOD, TEXAS
2 3	ORDINANCE NO. 2023-04-19-21
4	
5	AN ORDINANCE AMENDING THE CITY'S CODE OF ORIDNANCES
6	SECTION 107-399, SECTION 107-518, AND SECTION 107-520 RELATED
7	TO PUBLIC HEARING NOTICE AND OTHER MATTERS IN
8	CONNECTION THEREWITH; REPEALING PROVISIONS IN CONFLICT WITH THIS OPDINANCE, PROVIDING FOR
9 10	SEVERABLI ITV. AND PROVIDING FOR AN EFFECTIVE DATE
10	SEVERADILITI, AND TROVIDING FOR AN EFFECTIVE DATE
12	WHEREAS, the City of Rollingwood ("City") is a General Law Municipality operating
13	under the laws of the State of Texas; and
14	
15	WHEREAS, the City Council of the City of Rollingwood ("City Council") previously
16	established a Land Use Development Code as codified in its Code of Ordinances; and
17	WHEPEAS the City Council may from time to time choose to smand supplement
18	change or modify the Land Use Development Code: and
20	change of moury the Land Ose Development Code, and
21	WHEREAS, the City has given proper notice, as necessary, pertaining to the amendment
22	of the Code of Ordinances; and
23	
24	WHEREAS, the City Council finds and determines that Section 107-399 Special use
25 26	permits, Section 10/-518 Hearing and notice, and Section 10/-520 Procedure before the city
20 27	bearings shall be amended as provided herein
27	hearings shar be allended as provided herein.
29	NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF
30	ROLLINGWOOD, TEXAS, THAT:
31	
32	SECTION 1. All the above premises are hereby found to be true and correct legislative and
33	factual findings of the City Council and are hereby approved and incorporated into the body of this Ordinance as if carried in their antiraty.
34 35	uns ordinance as in copied in their entirety.
36	SECTION 2. Part II of the City's Code of Ordinances Chapter 107. Section 107-399. Section
37	107-518, and Section 107-520, are hereby amended as set forth on Exhibit A attached hereto.
38	
39	SECTION 3. All provisions of the ordinances of the City of Rollingwood in conflict with the
40	provisions of this ordinance are hereby repealed to the extent of such conflict, and all other
41	provisions of the ordinances of the City of Rollingwood not in conflict with the provisions of this
42 43	ordinance shall remain in full force and effect.
43 44	SECTION 4 Should any sentence, paragraph, clause, phrase, or section of this ordinance be
45	adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of
46	this ordinance as a whole, or any part or provision thereof other than the part so decided to be

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invalid, illegal or unconstitutional, and shall not affect the validity of the Code of Ordinances as a whole.
SECTION 5. It is officially found, determined, and declared that the meeting at which this Ordinance is adopted was open to the public as required and that public notice of the time, place, and purpose of said meeting was given as required by the Texas Open Meetings Act, Chapter 551, Texas Government Code, as amended.
SECTION 6 . This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law provides.
APPROVED, PASSED AND ADOPTED by the City Council of the City of Rollingwood, Texas, on the day of, 2023.
APPROVED:
Gavin Massingill, Mayor
ATTEST:
Desiron Adair, City Secretary
Desiree Adair, City Secretary

Exhibit A 74 75 All text which is underlined denotes addition of new text. All text which is stricken through 76 77 denotes removal of existing text. All other text is existing, unchanged text. Any existing text which has been omitted shall be considered unchanged. All text which is both between braces { } 78 and *italicized*, is for document organization and reference only and is not intended to be adopted. 79 The Code of Ordinances of City of Rollingwood, Texas, Part II, Chapter 107, Section 107-399 80 Special use permits, Section 107-518 Hearing and notice, and Section 107-520 Procedure before 81 the city council, are hereby amended as follows: 82 83 84 {Amendment to notice requirements in Sec. 107-399 Special use permits} Sec. 107-399 – Special use permits 85 86 a) Permit required. No special use shall be established, operated, or maintained except as 87 authorized by a special use permit approved in accordance with the requirements of this 88 article. 89 90 b) Special use permit approved by city council. A special use permit may be approved only 91 for the special uses specified in this article, and only for the districts wherein such uses are 92 93 authorized. A special use permit may be approved by the city council acting after a public hearing and after the council has received a recommendation from the commission relative 94 to the proposed permit. 95 96 c) Application. An application for a special use permit shall be made in writing in a form 97 prescribed by the city secretary, and shall be accompanied by such information as may be 98 99 requested (including a site plan, if required) in order to provide for proper review of the proposed use. Such information may include, but is not limited to, site and building plans, 100 drawings and elevations, traffic plans prepared by a licensed professional engineer with 101 experience in traffic safety that includes an analysis of traffic to be generated by the 102 proposed use and indicates the impact on existing traffic conditions within the city, 103 including residential areas, and provides information on the potential congestion caused by 104 ingress and egress, and operational data. 105 106 d) Report by city secretary or city inspector. The city secretary or city inspector shall visit the 107 site of the proposed special use and the surrounding area, and thereafter submit his written 108 findings to the commission and the city council. 109 110 e) Notice—Public hearing by commission. 111 1) The commission shall hold a public hearing on each application for a special use 112 permit. 113 114 115 2) Written notice of such hearing shall be given to the owners of all real property located within 250 feet in all directions of the property that is the subject of the 116 hearing. Notice shall be given not less than $\frac{30}{20}$ 20 days prior to the date of the 117 118 hearing either by personal service or by mailing a copy of the notice to each owner at his address shown on the current city tax roll. 119

120			
121		3)	Such notice shall state the purpose, date, time, and place of the hearing, together
122		,	with a brief description of the proposed development, including its nature, scope,
123			and location. The notice shall also describe any variances the applicant has
124			requested and state the location and times at which the special use permit
125			application and supporting documents are available for public inspection. The time
126			and place of the public hearing to be held before the city council shall also be
127			included if known at the time the notice is given and, if it is not known at such time.
128			a telephone number shall be provided where information on the hearing before the
129			city council will be available at a later date.
130			
131		4)	The applicant shall be responsible for drafting the notice and serving it after the
132		.,	notice has been approved by the city secretary as to form and content. An affidavit
132			of proof of service shall be filed by the applicant with the city secretary prior to the
134			hearing
135			nouring.
136	f)	Review	and recommendation of the commission
130	1)	Ac / ic /i	and recommendation of the commission.
138		1)	The commission shall review each application for a special use permit to determine
130		1)	whether the proposed special use complies with each of the general criteria in
140			section 107-400 and with each of the specific criteria in section 107-401 applicable
140			to the proposed use, and shall make a separate finding thereon for each criterion
141			to the proposed use, and shan make a separate midning thereon for each effection.
142		2)	The commission shall not recommend approval of an application unless it finds that
143		2)	the proposed special use as presented or as modified by the commission complies
145			with each applicable general and specific criterion. A recommendation of approval
146			may be conditioned on the applicant's adoption of specified changes additions
147			limitations safeguards or effective time periods designed to ensure compliance
147			with the criteria
149			
150		3)	The commission shall forward its findings and recommendations to the city council
150		5)	in writing
152			in writing.
152	J	Hearin	a before city council. The city council shall review an application for a special use
153	6/	permit	at a public hearing after receiving the findings and recommendations of the
155		commi	ssion The following notice shall be given prior to the City Council public hearing:
155		comm	siton. The following notice shart be given prior to the enty coulent public nearing.
157		1)	Written notice of such hearing shall be given to the owners of all real property
158		1)	located within 250 feet in all directions of the property that is the subject of the
150			hearing Notice shall be given not less than 20 days prior to the date of the hearing
160			either by personal service or by mailing a copy of the notice to each owner at his
161			address shown on the current city tax roll. Such notice shall state the purpose
162			date time and place of the hearing together with a brief description of the
163			proposed development including its nature scope and location. The notice shall
164			also describe any variances the applicant has requested and state the location and
165			times at which the special use permit application and supporting documents are
- 00			miles as simer die speerar use permit appreadon and supporting documents die

166			available for public inspection.
167			
168		2)	Not less than 16 days prior to the hearing, notice of the date, time and location
169			thereof will be published in the official newspaper of the city or in a newspaper of
170			general circulation in the city. Such notice shall state the purpose, date, time, and
171			place of the hearing.
172			
173	h)	Review	v and action by city council.
174			
175		1)	The city council shall determine whether the proposed special use complies with
176			each of the general criteria in section 107-400 and with each of the special criteria
177			in section 107-401 applicable to the proposed use, and shall make separate findings
178			thereon or adopt the findings made by the commission.
179			
180		2)	The city council may condition its approval of an application on the applicant's
181			adoption of specified changes, additions, limitations, safeguards, or effective time
182			periods designed to ensure compliance with the criteria.
183			
184		3)	The city council shall not grant a special use permit unless it finds that the proposed
185			special use, as presented or as modified by the council, complies with each
186			applicable general and specific criterion; otherwise it shall deny the application.
187			
188			
189	{Amen	dment t	o notice requirements in Sec.107-518 Hearing and notice}
190	Sec. 1	07-518-	– Hearing and notice
191			
192	a)	The co	ommission will hold a public hearing on all proposed changes on zoning regulations
193		or bou	ndaries.
194			
195	b)	Not les	ss than 16 days prior to the hearing, notice of the date, time and location thereof will
196		be pub	lished in the official newspaper of the city or in a newspaper of general circulation
197		in the	city. In addition, in the case of a proposed change in zoning classification, written
198		notice	of a public hearing will be mailed, not less than 30 days prior to the hearing, to all
199		owner	s of property (as such ownership is shown on the current city tax roll) lying within
200		250 te	et of the property that is the subject of the proposed zoning classification change. If
201		the app	plication for a change in zoning classification requests a change to a zoning district
202		other t	han residential district or park district, the notice must be mailed, not less than 30
203		days p	rior to the hearing, to all owners of property (as such ownership is shown on the
204		curren	t city tax roll) within the city. The notice may be served by depositing it in the U.S.
205		mail w	4th the proper address and postage.
206	1 \	NT /	
207	b)	Notice	Kequirements
208		1 \	Not less than 16 down prior to the Otter Occurs it with the time of the fit is
209		1)	Not less than 16 days prior to the City Council public hearing, notice of the date,
210			time and location thereof will be published in the official newspaper of the city or
211			in a newspaper of general circulation in the city

212	
213	2) In the case of a proposed change in zoning classification, written notice of a public
214	hearing will be mailed, not less than 20 days prior to each required public hearing
215	of the Planning and Zoning Commission and City Council, to all owners of property
216	(as such ownership is shown on the current city tax roll) lying within 250 feet of
217	the property that is the subject of the proposed zoning classification change. If the
218	application for a change in zoning classification requests a change to a zoning
219	district other than residential district or park district, the notice must be mailed, not
220	less than 20 days prior to the hearing, to all owners of property (as such ownership
221	is shown on the current city tax roll) within the city. The notice may be served by
222	depositing it in the U.S. mail with the proper address and postage.
223	
224	c) Public hearing required. Whenever a public hearing is required, the city administrator or
225	his/her designee shall establish the date, time and place of the public hearing and shall
226	cause any notice required to be prepared and made accordingly.
227	
228	d) Joint public hearing. The city council may, at its discretion at a properly noticed public
229	meeting, determine that a public hearing shall be held before both the planning and zoning
230	commission and the city council. If such a determination is made, the planning and zoning
231	commission and the city council may conduct a joint public hearing and take action on the
232	application in the following manner:
233	
234	1) The city council on its own motion shall establish the date of the joint public
235	hearing.
236	
237	2) The city council shall cause notice of the joint public hearing to be provided as
238	required.
239	
240	3) The planning and zoning commission and the city council shall be convened for the
241	hearing and for any action to be taken on the petition or application.
242	
243	4) The planning and zoning commission and the city council may take action on the
244	application at the same meeting; however, the city council shall not take action until
245	the report and recommendation of the planning and zoning commission has been
246	received.
247	
248	
249	{Amendment to Sec.107-520(a) Procedure before the city council to correct section reference}
250	Sec. 107-520 – Procedure before the city council.
251	
252	a) After receiving the recommendation of the commission, the city council will, at the earliest
253	practicable time, hold a public hearing on the application/petition, at which parties in
254	interest and citizens will have an opportunity to be heard. Notice of the hearing will be

255 given in the manner required under section 107-518(b).

AGENDA ITEM SUMMARY SHEET CITY OF ROLLINGWOOD, TEXAS MEETING DATE: April 19, 2023

Agenda Item __: Discussion and possible action to amend Rollingwood Ordinance Section 2-56 regarding application of Robert's Rules of Order in City Council meetings.

Submitted by: Brook Brown

Proposed action: At the January and February City Council meetings, the Council has discussed application of Robert's Rules of Order in Council meetings and the order in which the business of the Council may be considered. This agenda item proposes that the Council amend Section 2-56 of the Code to read as follows:

"(e) Applicability of Robert's Rules of Order. Any question of order or procedure not covered by Article II, Division II of this Code regarding council meetings shall be decided according to the latest edition of Robert's Rules of Order, insofar as it may be applicable."

Background: Current Code Section 2-56 (e) applicable to Council meetings states: "(e) All meetings of the city council *shall be* conducted in accordance with the provisions of the latest edition of Robert's Rules of Order."

The proposed amendment would conform Section 2-56(e) to current Council practice and allow application of Robert's Rules of Order as necessary when no other rule of order applies.

The proposed language mirrors an existing rule of procedure in Section 2-223 of the Code applicable to Utility Commission hearings.

Resources:

Proposed amendment. See attached.

Rollingwood Code Article II, Division 2 - Meetings. See attached.

Sec. 2-56. Generally.

- (a) The city council shall hold at least one regular meeting each month and may hold as many special meetings as necessary to conduct city business. The regular meeting of the city council shall be held on the third Wednesday of each month in the city hall, unless changed by majority vote of the city council at a public meeting.
- (b) The mayor or any three councilmembers may call special meetings by notice to each member of the council, the city secretary and the city attorney, served personally or left at their usual place of abode.
- (c) While in an open meeting, an executive session which is properly posted on the agenda may be convened by the mayor or upon motion of any councilmembers.
- (d) Notice of all meetings shall be posted in accordance with the Texas Open Meetings Act, V.T.C.A., Government Code ch. 551.
- (e) All meetings of the city council shall be conducted <u>Applicability of Robert's Rules of Order</u>. Any question of order or procedure not covered by Article II, Division 2 of this Code regarding council meetings shall be <u>decided</u> in accordance with the provisions of the latest edition of Robert's Rules of Order.

Sec. 2-56. - Generally.

- (a) The city council shall hold at least one regular meeting each month and may hold as many special meetings as necessary to conduct city business. The regular meeting of the city council shall be held on the third Wednesday of each month in the city hall, unless changed by majority vote of the city council at a public meeting.
- (b) The mayor or any three councilmembers may call special meetings by notice to each member of the council, the city secretary and the city attorney, served personally or left at their usual place of abode.
- (c) While in an open meeting, an executive session which is properly posted on the agenda may be convened by the mayor or upon motion of any councilmembers.
- (d) Notice of all meetings shall be posted in accordance with the Texas Open Meetings Act, V.T.C.A., Government Code ch. 551.
- (e) All meetings of the city council shall be conducted in accordance with the provisions of the latest edition of Robert's Rules of Order.

(Code 1987, ch. 2, subch. A, § 4; Code 1995, § 1.04.041)

Sec. 2-57. - Presiding officer; mayor pro tempore; council liaisons.

- (a) The mayor shall be the presiding officer of the city council and shall conduct all meetings of the city council to permit full and free discussion by the members of the council and the public in accordance with the rules established by this article.
- (b) At the first meeting following each regular city election, or as soon thereafter as practicable, the city council shall elect one councilmember to serve as mayor pro tempore for a term of one year and to perform the duties of the mayor in the event of the mayor's failure, inability or refusal to act. If the mayor and the mayor pro tempore are absent, any councilmember may be appointed to preside at a meeting.
- (c) The mayor shall not have the power to negate any action of the city council except as otherwise authorized by V.T.C.A., Local Government Code ch. 53. The mayor may not bind or obligate the city in any way without prior authorization from the city council. The mayor may not vote on any motion considered by the council, unless necessary to break a tie.
- (d) At the first meeting following each regular council election, or as soon thereafter as practicable, the city council shall elect at least one and no more than two councilmembers, which may be the mayor, to serve as council liaison for each of the following:

Police and courts:

- (2) Utility commission;
- Streets and roadways;
- (4) Park commission;
- (5) Personnel;
- (6) Budget;

(1)

- (7) Planning and zoning commission;
- (8) Board of adjustment; and
- (9) Rollingwood Community Development Corporation.

Each council liaison shall serve, at the council's pleasure, as the council's representative for negotiations and formulation of council approved policies in connection with their assigned issue or subject. No council liaison may bind or obligate the city in any way, in reference to the assigned subject matter, without prior authorization from the city council.

(Code 1987, ch. 2, subch. A, § 5; Code 1995, § 1.04.042; Ord. No. <u>2019-12-18-30</u>, § 1, 12-18-2019; Ord. No. <u>2021-01-20-13</u>, § 2, 1-20-2021)

State Law reference— Mayor as presiding officer, V.T.C.A., Local Government Code § 22.037.

Sec. 2-58. - Quorum.

Three councilmembers constitutes a quorum. However, at a called meeting or at a meeting to consider the imposition of taxes, four councilmembers constitutes a quorum.

(Code 1987, ch. 2, subch. A, § 6; Code 1995, § 1.04.043; Ord. No. 2019-09-18-31, § 2, 9-18-2019)

State Law reference— Quorum requirements, V.T.C.A., Local Government Code § 22.039.

Sec. 2-59. - Agenda.

- (a) The city administrator shall prepare and post the agenda for each city council meeting and must place an item on an agenda if:
 - The item is requested by the mayor or a member of the city council;
 - The item is requested by a city commission;
 - (3) The item is requested by a city department head or the city attorney; or
 - (4) The city administrator determines that the item is necessary in the general conduct of city business.
- (b) An item placed on the agenda at the request of the mayor or any member of the city council may not be removed from the agenda unless the removal is approved by the person requesting the

Page 231 da item.

(Code 1987, ch. 2, subch. A, § 8; Code 1995, § 1.04.044)

Sec. 2-60. - Consent agenda.

The city council may adopt certain items by consent of the city council without taking a separate vote on each item. The items adopted by consent of the city council are the "consent agenda." The council may not adopt the following by consent:

- An item subject to a public hearing;
- (2) An item posted on the agenda for consideration at a specific time;
- (3) An item for which the city administrator has received a written request that the item be removed from the consent agenda;
- (4) An item for which the city administrator has received, before the meeting is called to order, registration cards from one or more persons who intend to testify on the items; or
- (5) An item that any member of the city council requests be removed from the consent agenda.

(Code 1987, ch. 2, subch. A, § 9; Code 1995, § 1.04.045)

Sec. 2-61. - Rules of order.

- (a) Decorum shall be observed by all members of the council and all persons attending a council meeting. No person or councilmember may use disparaging, threatening or abusive language during a council meeting.
- (b) The presiding officer shall maintain order at all council meetings. The presiding officer may shorten a person's speaking time, ban a person from speaking for the balance of a meeting, or cause a person to be removed from the council meeting for a violation of the rules of order set out in this article. A ban or removal applies only for the duration of the meeting at which it is imposed.
- (c) The presiding officer shall rule out of order any councilmember breaching decorum. A councilmember ruled out of order may call for a vote of the council to sustain or overrule the presiding officer.

(Code 1987, ch. 2, subch. A, § 10; Code 1995, § 1.04.046)

Sec. 2-62. - Citizen communications.

(a) The presiding officer will ensure that citizens of the city have a reasonable opportunity to address the council regarding matters under consideration at any meeting.

(b)

Page 232 son who intends to testify at a council meeting on an agenda item or at a public hearing shall deliver to the city administrator a registration card that includes the person's name, the date of the council meeting, and the agenda items upon which he wishes to speak.

- (c) The person may deliver the card to the city administrator at any time after the city administrator posts the agenda for the meeting and before the item is taken up.
- (d) The presiding officer shall grant a person at least three minutes to address the city council, unless the council rules otherwise or the presiding officer exercises authority under <u>section 2-61</u> to reduce the speaker's time. More than three minutes of time may be granted at the discretion of the presiding officer.

(Code 1987, ch. 2, subch. A, § 11; Code 1995, § 1.04.047)

Sec. 2-63. - Closed meetings.

If a closed meeting is permitted by state law, the city council may meet in a meeting that is closed to the public during any city council meeting. A closed meeting may be held at any time during any city council meeting but notice of the closed meeting must be given in accordance with the Texas Open Meetings Act, V.T.C.A., Government Code ch. 551.

(Code 1987, ch. 2, subch. A, § 12; Code 1995, § 1.04.048)

Sec. 2-64. - General order of business.

The general order of business at a city council meeting is as follows:

- (1) Call to order.
- (2) Announcements and proclamations.
- (3) Citizen communications on any item not on the agenda.
- (4) Council action on the consent agenda.
- (5) Consideration of any items pulled from the consent agenda.
- (6) Other specific agenda items.
- (7) Administrative matters, including reports by staff, commissions, councilmembers and the mayor.
- (8) Executive sessions.
- (9) Adjournment.

(Code 1987, ch. 2, subch. A, § 13; Code 1995, § 1.04.049)

Sec. 2-65. - Effect of procedural rules.

the violation of any such procedural rules shall not affect the validity or legality of any city council action otherwise properly taken.

(Code 1987, ch. 2, subch. A, § 15; Code 1995, § 1.04.050)

Secs. 2-66-2-88. - Reserved.

36

ORDINANCE NO. 2023-04-19-22 1 AN ORDINANCE AMENDING THE CITY'S CODE OF 2 ORDINANCES PART I, CHAPTER 2, ARTICLE II, 3 4 **DIVISION 2, SECTION 2-56, REGARDING APPLICATION** OF ROBERT'S RULES OF ORDER IN CITY COUNCIL 5 **MEETINGS; PROVIDING FOR SEVERABILITY AND AN** 6 7 **EFFECTIVE DATE** 8 WHEREAS, the City of Rollingwood is a General Law Type A City under the statutes of 9 the State of Texas; and WHEREAS, the City Council of the City of Rollingwood ("City Council") wishes to 10 clarify when Robert's Rules of Order are required at meetings of the City Council; and 11 WHEREAS, the City Council has determined that strict application of Robert's Rules of 12 Order, as stated in city ordinances governing procedure during city council meetings, is 13 inconsistent with current practice, applies an order of business inconsistent with the order of 14 business in current ordinances, and flexibility in application would better reflect current practice, 15 the needs of the Council, and the public; and 16 17 WHEREAS, the City Council finds that the amendment provided for herein is reasonable, necessary, and proper for the good of the City. 18 NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF 19 **ROLLINGWOOD, TEXAS, THAT:** 20 21 **SECTION 1.** All the above premises are hereby found to be true and correct legislative and factual findings of the City Council and are hereby approved and incorporated into the body of this 22 23 Ordinance as if copied in their entirety. SECTION 2. The City's Code of Ordinances, PART I, CHAPTER 2, ARTICLE II, DIVISION 2, 24 25 SECTION 2-56 be amended as follows with strikethroughs being deletions and underlines being additions: 26 27 Sec. 2-56. - Generally. 28 (a) The city council shall hold at least one regular meeting each month and may hold as many special meetings as necessary to conduct city business. The regular meeting of 29 the city council shall be held on the third Wednesday of each month in the city hall, 30 unless changed by majority vote of the city council at a public meeting. 31 32 (b) The mayor or any three councilmembers may call special meetings by notice to each member of the council, the city secretary and the city attorney, served personally or left 33 at their usual place of abode. 34 (c) While in an open meeting, an executive session which is properly posted on the agenda 35

may be convened by the mayor or upon motion of any councilmembers.

37

38	Act, V.T.C.A., Government Code ch. 551.		
39	(e) All meetings of the city council shall be conducted in accordance with the provisions		
40	of the latest edition of Robert's Rules of Order.		
41	(e) Applicability of Robert's Rules of Order. Any question of order or procedure not		
42	covered by Article II, Division 2 of this Code regarding council meetings shall be		
43	decided according to the latest edition of Robert's Rules of Order, insofar as it may be		
44	applicable.		
45	SECTION 3. Severability. All provisions of the ordinances of the City of Rollingwood in conflict		
46	with the provisions of this ordinance are hereby repealed to the extent of such conflict, and all		
47	other provisions of the ordinances of the City of Rollingwood not in conflict with the provisions		
48	of this ordinance shall remain in full force and effect.		
49	SECTION 4. Repealer. Should any sentence, paragraph, sub-article, clause, phrase or section of		
50	this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not		
51	affect the validity of this ordinance as a whole, or any part or provision thereof other than the part		
52	so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of		
53	Ordinances as a whole.		
54	SECTION 5. Effective Date. This ordinance shall take effect immediately from and after its		
55	passage and the publication of the caption, as the law and charter in such cases provide.		
56	PASSED AND APPROVED this day of April, 2023.		
57			
58			
59	CITY OF ROLLINGWOOD, TEXAS		
60	By:		
61	Gavin Massingill, Mayor		
62			
63	ATTEST:		
64			
04 65	Desires Adoir City Secretary		
05	Desiree Auaii, City Secretary		

(d) Notice of all meetings shall be posted in accordance with the Texas Open Meetings

RESOLUTION NO. 2023-04-19-24 (A)
A RESOLUTION OF THE CITY COUNCIL OF ROLLINGWOOD, TEXAS APPPROVING AND AUTHORIZING THE MAYOR OF THE CITY OF ROLLINGWOOD TO EXECUTE A RELEASE AND SETTLEMENT AGREEMENT RELATED TO SIDE YARDS LOCATED AT 304 VALE, ROLLINGWOOD TX.
WHEREAS, on August 12, 2022, the City of Rollingwood issued building permit #2022- 22 (the "Building Permit") for construction of new residential structure located at 304 Vale, Rollingwood, TX 78746 (the "Property"); and
WHEREAS , there is a dispute between the owners of the property and the City as to the process and validity of the issuance and the Building permit as it relates to side yards; and
WHEREAS , the City of Rollingwood has determined that it is in the best interests of the City to enter into an agreement resolving all disputes regarding the issuance of the Building Permit between the City and the Property owners.
NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD:
Section 1. That the foregoing recitals are hereby found to be true and correct findings of the City Council of Rollingwood and are fully incorporated into the body of this Resolution.
Section 2. That the City Council of the City of Rollingwood hereby approves, and authorizes the Mayor's execution of, the settlement and release agreement attached hereto as Exhibit A.
Section 3. This Resolution shall be in force and effect from and after its passage and it s so resolved.
PASSED, APPROVED AND DULY RESOLVED by the City Council of Rollingwood on this the 19 th day of April 2022.
Gavin Massingill, Mayor

RESOLUTION NO. 2023-04-19-24 (B)

A RESOLUTION OF THE CITY COUNCIL OF ROLLINGWOOD, TEXAS APPPROVING AND AUTHORIZING THE MAYOR OF THE CITY OF ROLLINGWOOD TO EXECUTE A RELEASE AND SETTLEMENT AGREEMENT RELATED TO SIDE YARDS LOCATED AT 400 FARLEY TRAIL, ROLLINGWOOD TX.

WHEREAS, on August 17, 2022, the City of Rollingwood issued building permit #2022-10 (the "Building Permit") for construction of new residential structure located at 400 Farley Trail, Rollingwood, TX 78746 (the "Property"); and

WHEREAS, there is a dispute between the owners of the property and the City as to the process and validity of the issuance and the Building permit as it relates to side yards; and

WHEREAS, the City of Rollingwood has determined that it is in the best interests of the City to enter into an agreement resolving all disputes regarding the issuance of the Building Permit between the City and the Property owners.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROLLINGWOOD:

Section 1. That the foregoing recitals are hereby found to be true and correct findings of the City Council of Rollingwood and are fully incorporated into the body of this Resolution.

Section 2. That the City Council of the City of Rollingwood hereby approves, and authorizes the Mayor's execution of, the settlement and release agreement attached hereto as Exhibit A.

Section 3. This Resolution shall be in force and effect from and after its passage and it is so resolved.

PASSED, APPROVED AND DULY RESOLVED by the City Council of Rollingwood on this the 19th day of April 2022.

Gavin Massingill, Mayor

ATTEST:

Desiree Adair, City Secretary



Date: April 18, 2023

To: Mayor and Council Members of the City of Rollingwood

From: Ashley Wayman, City Administrator

Subject: City Administrator's Report

Financials – Highlights of the financials through the month of March 2023:

- As of March 31, 2023, 50% of the Fiscal Year has passed.
- Property taxes collected were up 2% from the same period in FY 21-22.
- Sales taxes collected were about the same as the same period in FY 21-22.
- The Water Fund balance is currently at \$646,407. The General Fund balance is at \$2,746,553.

The lift station emergency power project is well underway. This project was authorized by the City Council to provide for gas powered generators to be installed at each of our wastewater lift stations to provide a back-up power source in the case of power outages. Texas Gas crews have been in the area over the last couple weeks extending gas service to our lift stations, and we expect three of the six lift stations that are included in this project to have gas service by the end of this week. Public Works will soon begin the process of pouring generator pads for the generators to be installed. We look forward to providing additional stability to these key parts of our wastewater infrastructure.

At the November 2022 Bond Election, Rollingwood voters approved Proposition A (\$5.3 MM for improvements to the city's water system as identified in the city's Water System Capital Improvements Plan). The City Council entered into a professional services agreement with K. Friese & Associates for the design of these water system improvements. Under the public notices section on the front page of our website is a post called "Updates – 2023 Water System Improvements." This page will be kept upto-date with project progress and milestones.

Link: https://www.rollingwoodtx.gov/administration/page/updates-2023-water-system-improvements

The Central Texas Regional Mobility Authority (CTRMA) Board of Directors held a regular meeting on Wednesday, March 29. During Executive Director Bass's update, there was a process discussion regarding the environmental assessment that is currently underway for the project. The Board ultimately left it at the suggestion to schedule a work session with the Travis County Commissioners Court. We will be monitoring the Commissioners Court agendas for this work session and will provide additional updates to the Council and community as they are available. The CTRMA Board meeting recording and agenda can be found at the following link:

https://mobilityauthority.swagit.com/play/03292023-661

I am available by email at <u>awayman@rollingwoodtx.gov</u> and cell phone at (737) 218-8326. Please let me know if you have any questions or concerns.

Best, Ashley Wayman City Administrator



THE CITY OF ROLLINGWOOD

Phone +1 (512) 327-1838 403 Nixon Dr, Rollingwood, TX 78746-5512

www.rollingwoodtx.gov

Police Department Report - March 2023

Staffing	
Authorized Staff:	10
Current Staff:	7
Hours Worked For Comp:	147.6
Comp Hours Spent:	135.75
Vacation Hours Spent:	227
Sick Hours Spent:	298
Holiday Hours Worked:	205
Holiday Hours Not Worked :	179
Hours Worked For Overtime:	109
Total Hours Worked:	4239.75

Possible Liabilities (PD Employees Only)		
Comp Pool Liability (Dollars):	\$	11,838
Vacation Pool Liability (Dollars):	\$	33,680
Total Sick Pool Liability (Dollars):	\$	17,278
Total Possible Liabilities:	\$	62,796

Fleet	
Vehicles Authorized:	5
Vehicles Operational:	5
Gasoline Used (gal):	306
Total Miles Driven:	2690

Police Activity			
Calls for Service			
Calls Dispatched:	39		
Self Assigned Calls:	8		
Total Calls for Service:	47		
Agency Assists:	28		
Police Reports:	18		
Theft/Burglary Reports:	3		
Arrests			
Misdemeanor Arrests:			
Felony Arrests:			
Total Arrests:	0		
Proactive Citizen Contacts:	4		
Vehicle Accidents			
Minor Accidents:	7		
Major Accidents:			
Total Vehicle Accidents:	7		

Ordinance Violations		
Construction:	3	
Solicitation:		
Noise:		
Tree Related:		
Animal Related:		
All Others:		
Total Ordinance Violations:	3	

Traffic Initiatives	
Location 1: School Zone	
Citations/Warnings issued at this Location:	
Location 2: Park Zone	
Citations/Warnings Issued at this Location:	5
Location 3: Bee Caves	
Citations/Warnings Issued at this Location:	72
Total Citations/Warnings issued during traffic initiatives:	77

Traffic Enforcement								
Total Citations issued:	55							
Total Warnings issued:	44							
Total Citations and Warnings:	99							
Type of Violations:								
Parking Violations:	2							
Moving Violations:	36							
Non-Moving Violations:	44							
Total Violations:	82							
Location of Traffic Stops								
City Roadways:	30							
Bee Caves Road:	58							
Total Traffic Stops:	88							

Chief's Blotter

We deployed our radar trailer. Officer Howe completed the Field Training Program. Corporal Wenzel's last day was 3/27/23.

Chief of Police Report - 2023

Staffing:													
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	
Authorized Staff:	10	10	10										
Current Staff:	9	8	7										
Hours Worked For Comp:	79.6	94.1	147.6										
Comp Hours Spent:	98	108	135.75										
Vacation Hours Spent:	104	122	227										
Sick Hours Spent:	102	136	298										
Holiday Hours Worked:	133	149	205										
Holiday Hours Not Worked :	123	147	179										
Hours Worked For Overtime:	54	103	109										
Total Hours Worked:	845	927.5	4239.75										

Possible Liabilities (PD Employees Only)														
		Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	
Comp Pool Liability (Dollars):	\$	12,620	\$12,620	\$11,838										
Vacation Pool Liability (Dollars):	\$	33,391	\$34,449	\$33,680										
Total Sick Pool Liability (Dollars):	\$	15,267	\$16,857	\$17,278										
Total Possible Liabilities:	\$	61,278	\$63,926	\$62,796										

	Fleet:														
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec			
Vehicles Authorized:	5	5	5												
Vehicles Operational:	5	5	5												
Gasoline Used (gal):	397	360	306												
Total Miles Driven:	3842	5,347	2690												

Police Activity:													
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	
Calls for Service													
Call dispatched:	42	38	39										
Self assigned calls:	35	5	8										
Total Calls for Service:	77	43	47										
Total Agency Assists:	59	38	28										
Criminal Offense Reports:	12	14	18										
Theft/Burglary Reports:	2	2	3										
Arrests													
Misdemeanor Arrests:	1	1											
Felony Arrests:													
Total Arrests:	1	1											
Proactive Citizen Contacts:	2	5	4										
Vehicle Accidents													
Minor Accidents:	2	1	7										
Major Accidents:	2	3											
Total Vehicle Accidents:	4	4	7										

Ordinance Violations:													
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	
Construction:	2	4	3										
Solicitation:													
oise:													
Tree Related:													
Animal Related:													
All Others:			#REF!										
Total Ordinance Violations:	2	4	3										
Traffic Initiativase													

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ay		<u> -</u>	14

	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
Total time spent on traffic												
initiatives (hours):												
Total Citations/Warnings issued												
during traffic initiatives:	87	88	77									

Traffic Enforcement:													
	Jan	Feb	March	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	
Total Citations issued:	31	48	55										
Total Warnings issued:	37	47	44										
Total Citations and Warnings:	68	95	99										
Type of Violations													
Total Parking Violations:	9	1	2										
Moving Violations:	77	47	36										
Equipment Violations:	30	23	44										
Total Violations:	116	71	82										
Location of Traffic Stops													
City Roadways:	17	32	30										
Bee Caves Road:	70	62	58										
Total Traffic Stops:	87	94	88										

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
3/21/2023 14:00	6	33	6 to 33	20	21	28	55	96
3/21/2023 15:00	8	46	8 to 46	26	26	31	35	116
3/21/2023 16:00	5	39	5 to 39	24	25	30	39	145
3/21/2023 17:00	5	41	5 to 41	25	26	31	39	136
3/21/2023 18:00	8	40	8 to 40	26	26	32	46	102
3/21/2023 19:00	6	35	6 to 35	26	26	31	49	115
3/21/2023 20:00	7	37	7 to 37	26	26	31	43	195
3/21/2023 21:00	5	34	5 to 34	23	24	29	49	187
3/21/2023 22:00	8	41	8 to 41	27	27	32	42	132
3/21/2023 23:00	7	37	7 to 37	25	25	30	44	103
3/22/2023 0:00	5	35	5 to 35	24	25	30	50	60
3/22/2023 1:00	15	43	15 to 43	28	27	31	44	36
3/22/2023 2:00	15	33	15 to 33	26	27	29	47	17
3/22/2023 3:00	5	37	5 to 37	24	26	31	38	16
3/22/2023 4:00	13	25	13 to 25	19	13	25	100	2
3/22/2023 5:00	0	0	0 to 0	0	0	0	0	1
3/22/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/22/2023 7:00	8	18	8 to 18	13	8	18	0	2
3/22/2023 8:00	6	28	6 to 28	15	13	23	29	7
3/22/2023 9:00	24	34	24 to 34	29	28	31	33	6
3/22/2023 10:00	6	36	6 to 36	25	26	31	39	33
3/22/2023 11:00	5	33	5 to 33	24	25	28	46	116
3/22/2023 12:00	6	37	6 to 37	25	25	30	40	168
3/22/2023 13:00	5	37	5 to 37	24	25	29	40	131
3/22/2023 14:00	5	36	5 to 36	25	26	30	44	171
3/22/2023 15:00	5	36	5 to 36	25	25	31	36	112
3/22/2023 16:00	7	38	7 to 38	25	26	30	49	171
3/22/2023 17:00	6	41	6 to 41	25	25	31	40	142
3/22/2023 18:00	10	38	10 to 38	26	26	31	46	102
3/22/2023 19:00	5	37	5 to 37	24	26	31	40	142
3/22/2023 20:00	5	42	5 to 42	28	28	33	44	181
3/22/2023 21:00	6	38	6 to 38	26	26	32	41	162
3/22/2023 22:00	5	35	5 to 35	24	25	29	35	158
3/22/2023 23:00	5	37	5 to 37	24	25	29	34	165
3/23/2023 0:00	6	38	6 to 38	24	24	29	37	103
3/23/2023 1:00	8	37	8 to 37	27	28	31	31	49
3/23/2023 2:00	14	34	14 to 34	27	27	30	37	27
3/23/2023 3:00	5	34	5 to 34	15	10	30	50	14
3/23/2023 4:00	12	31	12 to 31	24	27	30	43	7
3/23/2023 5:00	9	34	9 to 34	24	23	28	25	4
3/23/2023 6:00	18	22	18 to 22	20	19	21	25	4
3/23/2023 7:00	17	33	17 to 33	25	23	32	0	5
3/23/2023 8:00	0	0	0 to 0	0	0	0	0	1

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
3/23/2023 9:00	26	38	26 to 38	31	30	31	50	4
3/23/2023 10:00	13	34	13 to 34	26	26	31	50	22
3/23/2023 11:00	6	39	6 to 39	24	25	29	44	117
3/23/2023 12:00	5	36	5 to 36	25	26	30	42	198
3/23/2023 13:00	5	34	5 to 34	24	25	29	44	179
3/23/2023 14:00	5	36	5 to 36	24	25	30	41	148
3/23/2023 15:00	6	34	6 to 34	25	26	31	49	152
3/23/2023 16:00	7	38	7 to 38	25	25	31	44	140
3/23/2023 17:00	7	37	7 to 37	24	25	29	35	130
3/23/2023 18:00	8	38	8 to 38	26	26	30	42	102
3/23/2023 19:00	5	43	5 to 43	25	26	29	50	147
3/23/2023 20:00	5	39	5 to 39	24	24	30	38	172
3/23/2023 21:00	5	46	5 to 46	24	25	30	42	205
3/23/2023 22:00	5	40	5 to 40	23	25	30	33	154
3/23/2023 23:00	7	43	7 to 43	26	27	32	35	128
3/24/2023 0:00	5	34	5 to 34	24	26	30	42	74
3/24/2023 1:00	11	39	11 to 39	26	26	29	42	55
3/24/2023 2:00	13	37	13 to 37	27	27	32	34	41
3/24/2023 3:00	12	37	12 to 37	24	24	31	53	15
3/24/2023 4:00	5	27	5 to 27	13	7	27	33	3
3/24/2023 5:00	11	11	11 to 11	11	11	11	0	1
3/24/2023 6:00	21	29	21 to 29	25	25	26	43	7
3/24/2023 7:00	0	0	0 to 0	0	0	0	0	1
3/24/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/24/2023 9:00	16	32	16 to 32	27	26	30	55	11
3/24/2023 10:00	18	32	18 to 32	26	25	30	27	15
3/24/2023 11:00	7	33	7 to 33	24	24	29	43	101
3/24/2023 12:00	6	41	6 to 41	25	26	29	40	186
3/24/2023 13:00	5	34	5 to 34	24	26	29	45	120
3/24/2023 14:00	5	39	5 to 39	26	27	31	41	124
3/24/2023 15:00	6	36	6 to 36	26	27	31	49	130
3/24/2023 16:00	6	40	6 to 40	25	26	30	46	119
3/24/2023 17:00	12	38	12 to 38	26	26	30	39	152
3/24/2023 18:00	7	38	7 to 38	26	27	31	43	141
3/24/2023 19:00	8	44	8 to 44	25	26	30	41	135
3/24/2023 20:00	5	38	5 to 38	26	27	30	33	177
3/24/2023 21:00	6	39	6 to 39	25	25	30	33	177
3/24/2023 22:00	5	40	5 to 40	24	26	30	31	160
3/24/2023 23:00	9	41	9 to 41	25	25	32	45	120
3/25/2023 0:00	10	45	10 to 45	25	25	30	37	95
3/25/2023 1:00	6	40	6 to 40	26	26	29	33	57
3/25/2023 2:00	11	38	11 to 38	27	27	31	40	45
3/25/2023 3:00	13	36	13 to 36	26	27	31	51	35

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
3/25/2023 4:00	10	34	10 to 34	26	27	31	55	29
3/25/2023 5:00	18	22	18 to 22	20	21	22	0	3
3/25/2023 6:00	22	30	22 to 30	27	26	30	63	8
3/25/2023 7:00	5	26	5 to 26	18	23	26	33	3
3/25/2023 8:00	16	33	16 to 33	25	16	33	50	2
3/25/2023 9:00	31	37	31 to 37	34	35	37	33	3
3/25/2023 10:00	5	29	5 to 29	21	24	28	38	8
3/25/2023 11:00	5	37	5 to 37	21	25	30	30	50
3/25/2023 12:00	6	39	6 to 39	23	25	29	28	85
3/25/2023 13:00	5	39	5 to 39	22	23	29	41	182
3/25/2023 14:00	5	32	5 to 32	20	20	27	34	214
3/25/2023 15:00	5	36	5 to 36	20	20	26	37	234
3/25/2023 16:00	5	33	5 to 33	21	21	27	36	223
3/25/2023 17:00	5	34	5 to 34	20	20	26	38	231
3/25/2023 18:00	5	36	5 to 36	21	22	28	39	199
3/25/2023 19:00	5	36	5 to 36	22	23	29	43	198
3/25/2023 20:00	5	36	5 to 36	24	24	30	37	156
3/25/2023 21:00	5	34	5 to 34	22	22	30	30	188
3/25/2023 22:00	6	41	6 to 41	27	27	31	37	139
3/25/2023 23:00	5	37	5 to 37	25	26	31	39	142
3/26/2023 0:00	17	35	17 to 35	26	26	29	34	74
3/26/2023 1:00	7	37	7 to 37	25	26	31	45	51
3/26/2023 2:00	5	36	5 to 36	25	26	30	53	51
3/26/2023 3:00	11	34	11 to 34	25	26	32	56	18
3/26/2023 4:00	6	39	6 to 39	22	23	30	61	23
3/26/2023 5:00	22	37	22 to 37	30	31	33	36	11
3/26/2023 6:00	17	39	17 to 39	24	22	30	43	7
3/26/2023 7:00	23	34	23 to 34	29	25	33	50	4
3/26/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/26/2023 9:00	0	0	0 to 0	0	0	0	0	1
3/26/2023 10:00	23	29	23 to 29	26	25	29	50	8
3/26/2023 11:00	5	31	5 to 31	22	26	30	38	13
3/26/2023 12:00	9	35	9 to 35	23	23	28	39	67
3/26/2023 13:00	5	38	5 to 38	24	26	30	31	103
3/26/2023 14:00	5	36	5 to 36	23	25	29	46	148
3/26/2023 15:00	6	37	6 to 37	24	25	29	38	154
3/26/2023 16:00	6	43	6 to 43	25	27	31	38	138
3/26/2023 17:00	6	35	6 to 35	26	27	31	40	111
3/26/2023 18:00	5	37	5 to 37	24	25	30	45	156
3/26/2023 19:00	5	38	5 to 38	23	25	30	45	160
3/26/2023 20:00	5	38	5 to 38	23	25	29	36	151
3/26/2023 21:00	5	36	5 to 36	24	25	29	37	142
3/26/2023 22:00	8	42	8 to 42	25	26	30	41	121

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
3/26/2023 23:00	5	33	5 to 33	24	25	29	41	101
3/27/2023 0:00	5	35	5 to 35	25	25	30	43	90
3/27/2023 1:00	6	33	6 to 33	24	26	31	29	34
3/27/2023 2:00	10	37	10 to 37	26	27	31	67	6
3/27/2023 3:00	7	34	7 to 34	18	19	29	39	33
3/27/2023 4:00	9	42	9 to 42	20	16	32	56	9
3/27/2023 5:00	23	26	23 to 26	25	26	26	0	5
3/27/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/27/2023 7:00	18	24	18 to 24	22	23	24	33	3
3/27/2023 8:00	34	36	34 to 36	35	34	36	50	2
3/27/2023 9:00	24	30	24 to 30	28	29	30	33	3
3/27/2023 10:00	5	32	5 to 32	19	22	28	27	22
3/27/2023 11:00	7	34	7 to 34	24	25	28	41	95
3/27/2023 12:00	6	45	6 to 45	23	24	28	44	181
3/27/2023 13:00	5	46	5 to 46	25	26	30	45	149
3/27/2023 14:00	5	35	5 to 35	24	26	29	43	132
3/27/2023 15:00	5	36	5 to 36	24	25	30	42	99
3/27/2023 16:00	5	35	5 to 35	27	27	32	45	146
3/27/2023 17:00	5	38	5 to 38	24	26	30	45	142
3/27/2023 18:00	7	37	7 to 37	26	27	31	38	121
3/27/2023 19:00	7	36	7 to 36	25	25	31	43	136
3/27/2023 20:00	6	39	6 to 39	24	25	30	42	133
3/27/2023 21:00	5	37	5 to 37	25	26	31	43	174
3/27/2023 22:00	5	38	5 to 38	24	25	30	37	169
3/27/2023 23:00	5	44	5 to 44	24	26	30	39	121
3/28/2023 0:00	7	35	7 to 35	25	25	29	31	80
3/28/2023 1:00	8	36	8 to 36	25	25	32	48	40
3/28/2023 2:00	17	32	17 to 32	26	27	31	56	9
3/28/2023 3:00	17	24	17 to 24	21	21	24	100	3
3/28/2023 4:00	7	7	7 to 7	7	7	7	0	1
3/28/2023 5:00	9	9	9 to 9	9	9	9	100	1
3/28/2023 6:00	24	26	24 to 26	25	24	26	50	2
3/28/2023 7:00	28	28	28 to 28	28	28	28	0	1
3/28/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/28/2023 9:00	8	39	8 to 39	23	22	31	42	12
3/28/2023 10:00	6	29	6 to 29	21	25	27	53	17
3/28/2023 11:00	5	37	5 to 37	24	25	29	39	115
3/28/2023 12:00	5	36	5 to 36	24	25	30	44	200
3/28/2023 13:00	5	38	5 to 38	24	25	29	41	158
3/28/2023 14:00	5	38	5 to 38	24	25	29	46	146
3/28/2023 15:00	5	42	5 to 42	24	26	29	43	123
3/28/2023 16:00	5	37	5 to 37	24	25	30	44	135
3/28/2023 17:00	5	42	5 to 42	25	25	30	36	154

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
3/28/2023 18:00	5	38	5 to 38	24	25	30	41	141
3/28/2023 19:00	6	39	6 to 39	24	25	30	43	179
3/28/2023 20:00	9	38	9 to 38	25	26	30	45	154
3/28/2023 21:00	5	38	5 to 38	25	26	30	40	187
3/28/2023 22:00	5	37	5 to 37	23	24	29	34	170
3/28/2023 23:00	7	41	7 to 41	24	24	30	45	103
3/29/2023 0:00	8	34	8 to 34	24	26	29	51	59
3/29/2023 1:00	6	36	6 to 36	26	26	30	44	43
3/29/2023 2:00	6	42	6 to 42	17	11	28	46	46
3/29/2023 3:00	7	32	7 to 32	16	11	28	33	15
3/29/2023 4:00	21	33	21 to 33	28	25	32	50	4
3/29/2023 5:00	20	32	20 to 32	26	24	29	57	7
3/29/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/29/2023 7:00	21	23	21 to 23	23	23	23	50	4
3/29/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/29/2023 9:00	24	31	24 to 31	27	25	31	33	3
3/29/2023 10:00	12	33	12 to 33	25	26	27	50	22
3/29/2023 11:00	5	37	5 to 37	24	25	28	48	105
3/29/2023 12:00	5	39	5 to 39	25	26	30	42	185
3/29/2023 13:00	5	42	5 to 42	25	26	31	47	144
3/29/2023 14:00	6	38	6 to 38	24	25	30	39	142
3/29/2023 15:00	9	46	9 to 46	25	26	30	36	136
3/29/2023 16:00	5	33	5 to 33	24	25	29	41	143
3/29/2023 17:00	5	37	5 to 37	25	25	31	46	132
3/29/2023 18:00	6	39	6 to 39	24	26	31	46	134
3/29/2023 19:00	5	34	5 to 34	24	25	29	47	152
3/29/2023 20:00	7	44	7 to 44	26	26	31	40	159
3/29/2023 21:00	6	47	6 to 47	24	26	30	48	168
3/29/2023 22:00	7	41	7 to 41	24	24	29	31	176
3/29/2023 23:00	6	39	6 to 39	23	24	28	38	136
3/30/2023 0:00	5	34	5 to 34	25	26	32	36	80
3/30/2023 1:00	7	39	7 to 39	23	25	30	51	45
3/30/2023 2:00	14	34	14 to 34	27	28	32	52	23
3/30/2023 3:00	13	31	13 to 31	25	25	31	50	8
3/30/2023 4:00	12	37	12 to 37	27	30	37	67	9
3/30/2023 5:00	29	34	29 to 34	32	29	34	50	2
3/30/2023 6:00	0	0	0 to 0	0	0	0	0	1
3/30/2023 7:00	0	0	0 to 0	0	0	0	0	1
3/30/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/30/2023 9:00	9	9	9 to 9	9	9	9	0	2
3/30/2023 10:00	5	30	5 to 30	21	24	27	43	28
3/30/2023 11:00	5	35	5 to 35	23	24	28	35	119
3/30/2023 12:00	5	36	5 to 36	24	25	30	42	195

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
3/30/2023 13:00	6	46	6 to 46	24	25	30	42	151
3/30/2023 14:00	5	35	5 to 35	24	25	29	40	135
3/30/2023 15:00	6	43	6 to 43	25	25	31	47	135
3/30/2023 16:00	6	37	6 to 37	27	27	32	35	113
3/30/2023 17:00	6	38	6 to 38	25	26	30	39	126
3/30/2023 18:00	5	38	5 to 38	25	26	31	43	122
3/30/2023 19:00	7	38	7 to 38	26	26	30	40	138
3/30/2023 20:00	6	36	6 to 36	25	26	31	38	156
3/30/2023 21:00	5	38	5 to 38	25	26	32	41	188
3/30/2023 22:00	8	46	8 to 46	26	26	31	32	110
3/30/2023 23:00	6	36	6 to 36	26	27	31	42	101
3/31/2023 0:00	13	36	13 to 36	27	27	31	35	75
3/31/2023 1:00	7	39	7 to 39	26	26	31	52	64
3/31/2023 2:00	6	35	6 to 35	20	25	28	40	25
3/31/2023 3:00	7	30	7 to 30	17	15	25	54	13
3/31/2023 4:00	24	26	24 to 26	25	24	26	50	2
3/31/2023 5:00	0	0	0 to 0	0	0	0	0	1
3/31/2023 6:00	24	37	24 to 37	31	31	35	40	5
3/31/2023 7:00	9	9	9 to 9	9	9	9	100	1
3/31/2023 8:00	0	0	0 to 0	0	0	0	0	1
3/31/2023 9:00	19	33	19 to 33	25	23	30	50	6
3/31/2023 10:00	10	30	10 to 30	25	25	28	38	24
3/31/2023 11:00	5	35	5 to 35	25	26	30	45	111
3/31/2023 12:00	5	35	5 to 35	24	25	29	38	217
3/31/2023 13:00	6	38	6 to 38	25	26	30	41	159
3/31/2023 14:00	5	39	5 to 39	25	26	29	35	131
3/31/2023 15:00	5	46	5 to 46	25	26	30	31	144
3/31/2023 16:00	5	36	5 to 36	26	27	30	45	141
3/31/2023 17:00	5	38	5 to 38	25	26	30	44	134
3/31/2023 18:00	10	38	10 to 38	26	27	31	41	122
3/31/2023 19:00	5	40	5 to 40	24	25	30	38	157
3/31/2023 20:00	6	37	6 to 37	26	27	31	45	154
3/31/2023 21:00	5	38	5 to 38	25	26	31	44	139
3/31/2023 22:00	6	40	6 to 40	26	27	31	34	126
3/31/2023 23:00	7	44	7 to 44	25	25	31	40	119
4/1/2023 0:00	5	35	5 to 35	23	24	29	27	81
4/1/2023 1:00	9	36	9 to 36	25	25	29	47	87
4/1/2023 2:00	6	36	6 to 36	24	26	29	31	42
4/1/2023 3:00	8	37	8 to 37	26	27	31	43	44
4/1/2023 4:00	9	32	9 to 32	25	28	30	47	17
4/1/2023 5:00	23	30	23 to 30	26	24	30	33	3
4/1/2023 6:00	7	23	7 to 23	17	22	23	33	3
4/1/2023 7:00	9	35	9 to 35	23	23	33	22	9

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
4/1/2023 8:00	23	33	23 to 33	29	27	33	25	4
4/1/2023 9:00	0	0	0 to 0	0	0	0	0	1
4/1/2023 10:00	15	30	15 to 30	26	27	29	42	12
4/1/2023 11:00	5	31	5 to 31	24	24	29	36	22
4/1/2023 12:00	5	33	5 to 33	22	23	29	30	76
4/1/2023 13:00	5	38	5 to 38	22	24	28	35	124
4/1/2023 14:00	5	47	5 to 47	21	22	28	34	122
4/1/2023 15:00	5	38	5 to 38	20	20	26	23	177
4/1/2023 16:00	5	46	5 to 46	21	21	29	37	229
4/1/2023 17:00	5	37	5 to 37	23	24	29	46	272
4/1/2023 18:00	5	37	5 to 37	24	25	30	41	252
4/1/2023 19:00	5	37	5 to 37	23	24	29	49	204
4/1/2023 20:00	5	39	5 to 39	24	24	31	47	203
4/1/2023 21:00	8	35	8 to 35	22	22	29	28	187
4/1/2023 22:00	5	38	5 to 38	25	26	33	33	87
4/1/2023 23:00	5	41	5 to 41	25	26	31	48	90
4/2/2023 0:00	5	39	5 to 39	24	24	29	40	67
4/2/2023 1:00	6	35	6 to 35	24	25	30	40	45
4/2/2023 2:00	12	33	12 to 33	27	29	32	44	27
4/2/2023 3:00	5	39	5 to 39	28	29	32	52	31
4/2/2023 4:00	9	29	9 to 29	25	26	28	27	22
4/2/2023 5:00	26	30	26 to 30	28	28	29	57	7
4/2/2023 6:00	6	32	6 to 32	22	24	27	40	20
4/2/2023 7:00	12	24	12 to 24	19	18	23	25	4
4/2/2023 8:00	32	32	32 to 32	32	32	32	0	1
4/2/2023 9:00	15	15	15 to 15	15	15	15	100	1
4/2/2023 10:00	22	32	22 to 32	27	25	31	20	5
4/2/2023 11:00	5	34	5 to 34	22	25	28	40	15
4/2/2023 12:00	5	37	5 to 37	23	24	30	42	67
4/2/2023 13:00	5	37	5 to 37	23	25	30	29	111
4/2/2023 14:00	5	37	5 to 37	23	24	30	36	117
4/2/2023 15:00	5	41	5 to 41	25	26	30	40	154
4/2/2023 16:00	5	40	5 to 40	26	27	30	34	130
4/2/2023 17:00	5	41	5 to 41	25	26	31	34	141
4/2/2023 18:00	6	43	6 to 43	26	26	31	39	149
4/2/2023 19:00	6	39	6 to 39	25	25	31	39	144
4/2/2023 20:00	5	39	5 to 39	24	25	30	37	150
4/2/2023 21:00	5	36	5 to 36	23	25	29	38	170
4/2/2023 22:00	11	41	11 to 41	26	27	32	40	103
4/2/2023 23:00	6	45	6 to 45	25	26	31	46	114
4/3/2023 0:00	6	47	6 to 47	24	25	29	35	62
4/3/2023 1:00	11	46	11 to 46	26	26	30	54	26
4/3/2023 2:00	6	30	6 to 30	17	22	26	43	23

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
4/3/2023 3:00	10	30	10 to 30	16	13	21	57	7
4/3/2023 4:00	20	37	20 to 37	28	28	29	40	5
4/3/2023 5:00	29	32	29 to 32	31	29	32	0	2
4/3/2023 6:00	26	27	26 to 27	27	26	27	50	2
4/3/2023 7:00	0	0	0 to 0	0	0	0	0	1
4/3/2023 8:00	15	21	15 to 21	19	20	20	25	4
4/3/2023 9:00	9	34	9 to 34	25	25	33	29	14
4/3/2023 10:00	16	33	16 to 33	26	27	30	38	29
4/3/2023 11:00	8	33	8 to 33	24	25	29	43	100
4/3/2023 12:00	6	35	6 to 35	24	25	29	47	192
4/3/2023 13:00	6	37	6 to 37	23	25	29	45	132
4/3/2023 14:00	6	38	6 to 38	24	25	31	40	146
4/3/2023 15:00	8	46	8 to 46	26	26	30	35	127
4/3/2023 16:00	12	38	12 to 38	27	27	32	42	165
4/3/2023 17:00	7	42	7 to 42	25	25	31	42	124
4/3/2023 18:00	8	36	8 to 36	26	26	31	47	135
4/3/2023 19:00	6	36	6 to 36	25	26	30	44	153
4/3/2023 20:00	5	38	5 to 38	25	26	31	40	167
4/3/2023 21:00	5	36	5 to 36	25	26	31	37	175
4/3/2023 22:00	7	39	7 to 39	25	26	30	34	164
4/3/2023 23:00	5	38	5 to 38	24	24	30	45	124
4/4/2023 0:00	6	35	6 to 35	25	25	30	44	90
4/4/2023 1:00	7	35	7 to 35	24	25	30	45	55
4/4/2023 2:00	11	31	11 to 31	24	26	29	38	13
4/4/2023 3:00	13	31	13 to 31	24	27	27	67	6
4/4/2023 4:00	25	29	25 to 29	27	27	28	50	4
4/4/2023 5:00	30	34	30 to 34	32	30	34	100	2
4/4/2023 6:00	0	0	0 to 0	0	0	0	0	1
4/4/2023 7:00	0	0	0 to 0	0	0	0	0	1
4/4/2023 8:00	0	0	0 to 0	0	0	0	0	1
4/4/2023 9:00	23	30	23 to 30	26	25	30	57	7
4/4/2023 10:00	12	38	12 to 38	27	27	32	54	24
4/4/2023 11:00	5	38	5 to 38	25	26	30	39	126
4/4/2023 12:00	6	35	6 to 35	24	25	29	41	210
4/4/2023 13:00	6	38	6 to 38	23	24	28	52	159
4/4/2023 14:00	5	37	5 to 37	24	25	30	43	125
4/4/2023 15:00	6	40	6 to 40	26	26	30	41	159
4/4/2023 16:00	5	35	5 to 35	24	26	29	44	134
4/4/2023 17:00	6	38	6 to 38	25	25	30	48	141
4/4/2023 18:00	7	38	7 to 38	26	26	31	36	131
4/4/2023 19:00	7	37	7 to 37	26	27	31	43	158
4/4/2023 20:00	5	40	5 to 40	26	26	31	39	185
4/4/2023 21:00	6	38	6 to 38	25	26	31	37	221

								Total Vehicles
Start	Minimum Speed	Maximum Speed	Full Speed Range	Mean Speed	Percent 50 Speed	Percent 85 Speed	Percent Slowed	Never Zero
4/4/2023 22:00	7	37	7 to 37	24	25	30	35	158
4/4/2023 23:00	5	42	5 to 42	24	25	30	35	147
4/5/2023 0:00	5	39	5 to 39	22	23	27	40	77
4/5/2023 1:00	7	33	7 to 33	25	26	31	46	41
4/5/2023 2:00	5	31	5 to 31	20	24	28	55	31
4/5/2023 3:00	6	11	6 to 11	9	11	11	67	3
4/5/2023 4:00	15	23	15 to 23	19	15	21	75	4
4/5/2023 5:00	29	32	29 to 32	31	29	32	0	2
4/5/2023 6:00	0	0	0 to 0	0	0	0	0	1
4/5/2023 7:00	25	32	25 to 32	29	25	32	50	2
4/5/2023 8:00	28	29	28 to 29	29	28	29	0	2
4/5/2023 9:00	25	34	25 to 34	30	30	33	38	8
4/5/2023 10:00	10	36	10 to 36	23	24	27	45	22
4/5/2023 11:00	7	35	7 to 35	24	25	29	39	120
4/5/2023 12:00	5	36	5 to 36	25	27	30	40	200
4/5/2023 13:00	5	46	5 to 46	24	26	29	45	161
4/5/2023 14:00	7	41	7 to 41	25	26	30	41	123
4/5/2023 15:00	5	33	5 to 33	24	25	29	34	144
4/5/2023 16:00	7	39	7 to 39	25	26	30	43	147
4/5/2023 17:00	6	41	6 to 41	20	20	28	41	99
4/5/2023 18:00	5	37	5 to 37	18	18	27	27	74
4/5/2023 19:00	5	32	5 to 32	16	15	21	22	90
4/5/2023 20:00	6	36	6 to 36	14	12	20	29	128

CITY OF ROLLINGWOOD MONTHLY STATS Municipal Court

City of Rollingwood Monthly Stats - Fiscal Year 2022-2023

Municipal Court

Violations Filed by Dat	iolations Filed by Date												
	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	58	64	33	65	80	48							348
State Law	0	17	3	0	0	0							20
City Ordinance	25	0	3	1	1	1							31
Parking	2	3	0	8	0	0							13
Total Violations	85	84	39	74	81	49							412

Completed Cases													
Paid Fine	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	24	22	18	12	26	15							117
State Law	1	0	0	0	0	0							1
City Ordinance	7	0	1	0	0	1							9
Parking	1	3	1	0	2	0							7
Total Paid Fines	33	25	20	12	28	16							134
Before Judge	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	24	10	9	10	5	22							80
State Law	0	0	0	0	0	0							0
City Ordinance	0	4	3	2	0	0							9
Parking	0	0	0	0	0	1							1
Total Before Judge	24	14	12	12	5	23							90
By Jury	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Total	0	0		0	0	0							0
	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Total Completed	57	39	32	24	33	39							224

Other Completed													
Dismissed DSC. Sec. 2	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	16	8	4	5	9	14							56
State Law	0	0	0	0	0	0							0
City Ordinance	0	0	0	0	0	0							0
Parking	0	0	0	0	0	0							0
Total	16	8	4	5	9	14							56
Dismissed After Deferred Disp.	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	2	0	0	7	3	5							17
State Law	0	0	1	0	0	0							1
City Ordinance	0	0	0	0	0	3							3
Parking	0	9	0	0	0	0							9
Total	2	9	1	7	3	8							30
Dismissed By Presenting Insurance	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	1	1	0	0	1	1							4

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CITY OF ROLLINGWOOD MONTHLY STATS Municipal Court

Total	1	1	0	0	1	1							4
Voided Docket	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	0	0	0	0	0	0							0
State Law	0	0	0	0	0	0							0
Parking	0	0	0	0	0	0							0
City Ordinance	0	0	0	0	0	0							0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0
Dismissed by Judge	Oct-22	Nov-22	Dec-22	Jan-23	Jan-00	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	0	0	0	0		0							0
State Law	0	0	0	0		0							0
City Ordinance	0	0	0	0		0							0
Parking	0	0	0	0		0							0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0
Dismissed/ Compliance	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	9	0	3	2	4	9							27
State Law	0	0	0	0	0	0							0
City Ordinance	0	0	0	0	0	0							0
Parking	0	0	0	0	0	0							0
Total	9	0	3	2	4	9							27
Dismissed by Prosecutor	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	0	0	0	0		0							0
State Law	0	0	0	0		0							0
City Ordinance	0	0	0	0		1							1
Parking	0	0	0	0		1							1
Total	0	0	0	0		2							2
	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Total other Completed	28	18	8	14	17	34							119
Grand Total Completed	85	57	40	38	50	73							343

Warrants													
Issued	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	27	15	1	0	19	0							62
State Law	1	0	0	0	1	0							2
City Ordinance	0	1	0	0	0	0							1
Parking	0	1	0	0	0	0							1
Total Warrants Issued	28	17	1	0	20	0							66
Cleared	Oct-22	Nov-22	Dec-22	Jan-00	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Traffic	13	1	5	1	2	10							32
State Law	0	0	1	0	0	0							1
City Ordinance	0	0	0	0	0	0							0
Parking	0	2	0	0	0	0							2
Total Warrants Cleared	13	3	6	1	2	10							35

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CITY OF ROLLINGWOOD MONTHLY STATS Municipal Court

Change in Total										
Warrants	15	14	5	1	19	10				47
Wallanto	15	14	5-	1-	10	10-				

Other Paid Cases													
Paid Fines	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total
Total Other Paid	8	13	5	2	10	21							59

Payment Process Meth	ayment Process Methods													
Paid Fines	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total	
Municipal Court Clerk	33	23	15	16	26	40							153	
Online	42	41	21	26	28	30							188	
Total	75	64	36	42	54	70							341	

Free and Fines Daid F	es and Fines Paid FY 2021-2022																						
Fees and Fines Paid F	Y 20	021-2022			_				_		_				_			_			_		
		Oct-22		Nov-22		Dec-22		Jan-23		Feb-23		Mar-23	Apr-23	May-23		Jun-23	Jul-23		Aug-23	Sep-23		Tota	1
Administrative Fee			\$	-	\$	-	\$	-	\$	-	\$	-									\$		-
Administrative \$20.00			\$	-	\$	-	\$	-	\$	-	\$	-									\$		-
Arrest Fee	\$	369.68	\$	292.12	\$	166.18	\$	182.09	\$	294.92	\$	349.85									\$	1,65	54.84
Bond Fortfeiture			\$	-	\$	-	\$	-	\$	-	\$	-									\$		-
CCC04-Consolidated																							
Court Cost			\$	40.00	\$	40.00	\$	40.00	\$	80.00	\$	120.00									\$	32	20.00
CS2 Child Safety Fee			\$	25.00	\$	-	\$	25.00	\$	-	\$	-									\$	5	50.00
Civil Justice Fee Court			\$	0.01	\$	0.01	\$	-	\$	-	\$	0.01									\$		0.03
Civil Justice Fee State			\$	0.09	\$	0.09	\$	-	\$	-	\$	0.09									\$		0.27
Court Tech Fund			\$	4.00	\$	4.00	\$	4.00	\$	8.00	\$	12.00									\$	3	32.00
DSC Admin Fee	\$	122.24	\$	139.32	\$	40.00	\$	146.80	\$	180.00	\$	140.00									\$	76	68.36
Fine	\$	6,920.60	\$	4,263.80	\$	3,894.40	\$	2,572.80	\$	3,626.80	\$	5,847.10									\$	27,12	25.50
Indigent Defense Fee			\$	2.00	\$	2.00	\$	2.00	\$	4.00	\$	6.00									\$	1	16.00
JFCI- Judicial Fee -																							
City			\$	0.60	\$	0.60	\$	0.60	\$	1.20	\$	1.80									\$		4.80
JFCT2-Judicial Fee-																							
State			\$	5.40	\$	5.40	\$	5.40	\$	10.80	\$	16.20									\$	4	13.20
Muni. Court Bldg. Sec.			\$	3.00	\$	3.00	\$	3.00	\$	6.00	\$	9.00									\$	2	24.00
State Jury Fee			\$	4.00	\$	4.00	\$	4.00	\$	8.00	\$	12.00									\$	3	32.00
State Traffic Fee	\$	2,148.46	\$	30.00	\$	30.00	\$	30.00	\$	-	\$	-									\$	2,23	38.46
TFC	\$	128.91	\$	119.84	\$	63.71	\$	92.04	\$	126.00	\$	144.00									\$	67	74.50
Truancy Prevention			\$	2.00	\$	2.00	\$	-	\$	4.00	\$	6.00									\$	1	4.00
Omni Fees State			\$	-	\$	-	\$	-	\$	20.00	\$	20.00									\$	4	10.00
Omni Base Vendor			\$	-	\$	-	\$	-	\$	6.00	\$	6.00									\$	1	2.00
Local Munucipal Jury																							
Fund (LMJF)	\$	7.35	\$	5.82	\$	3.22	\$	3.63	\$	5.68	\$	6.66									\$	3	32.36
CCC 2020 (CCC20)	\$	4,088.65	\$	3,079.34	\$	1,798.00	\$	2,072.11	\$	3,409.28	\$	3,904.56									\$	18,35	51.94
Local Court Technology Fund	\$	295.80	\$	233.73	\$	128.94	\$	145.69	\$	227.96	\$	267.91									\$	1,30	00.03

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CITY OF ROLLINGWOOD MONTHLY STATS Municipal Court

Total Fees/Fines Paid	\$ 15,213.70	\$ 10,754.30	\$ 7,920.97	\$ 7,375.20	\$ 10,907.40	\$ 14,585.77	\$	-	\$ -	\$; -	\$ -	\$ -	\$ -	\$ 66,	757.34
Collection Agency Fee		\$ (21.60)	\$ 154.47	\$ 151.50	\$ 120.60	\$ 399.57									\$;	804.54
Warrant Fee	\$ 400.00	\$ -	\$ 250.00	\$ 50.00	\$ 100.00	\$ 250.00									\$ 1,	050.00
Time Pmt. Plan - State		\$ -	\$ -	\$ -	\$ -	\$ -									\$	-
Time Pmt. Plan - Effiency		\$ -	\$ -	\$ -	\$ -	\$ -									\$	-
Time Pmt. Plan - Local		\$ -	\$ -	\$ -	\$ -	\$ -									\$	-
Local Omni Base Fee		\$ -	\$ -	\$ -	\$ 4.00	\$ 4.00									\$	8.00
Security Fund (LMCBSF)	\$ 362.33	\$ 286.30	\$ 157.96	\$ 178.46	\$ 279.24	\$ 328.17									\$ 1,	592.46
Local Building																
State Traffic Fee (STF19)		\$ 1,947.41	\$ 1,011.81	\$ 1,483.99	\$ 2,100.00	\$ 2,400.00									\$ 8,	943.21
Prevention Fund	\$ 369.68	\$ 292.12	\$ 161.18	\$ 182.09	\$ 284.92	\$ 334.85									\$ 1,	624.84
Local Truancy			I				1			1						

NOTE: YTD ACTUAL AS OF MARCH 31, 2023; 50% OF FISCAL YEAR

REVENUE STATUS & COMPARISON TO PRIOR YEAR

	CURRENT YEAR:				PR	OR YEAR:	CURRENT YR
		EST. REVENUE	YTD	PERCENT		YTD	COMPARED TO PY YR
CURRENT PROPERTY TAXES	\$	1,391,320	\$ 1,374,688	99%	\$	1,350,441	102%
TELECOM TAXES	\$	20,000	\$ 11,363	57%	\$	11,102	102%
4-B SALES TAX	\$	200,000	\$ 87,033	44%	\$	87,179	100%
CITY SALES TAX	\$	625,000	\$ 348,130	56%	\$	348,715	100%
ELECTRIC UTILITY FRANCHISE FEE	\$	90,000	\$ 52,753	59%	\$	-	#DIV/0!
BUILDING PERMIT FEES	\$	150,000	\$ 74,360	50%	\$	108,018	69%
COURT FINES	\$	31,700	\$ 34,432	109%	\$	18,705	184%
WATER SALES	\$	1,354,000	\$ 586,209	43%	\$	501,558	117%
STREET SALES TAX	\$	200,000	\$ 87,033	44%	\$	87,179	100%
PROPERTY TAX-DEBT SERVICE 2014	\$	199,350	\$ 199,987	100%	\$	198,467	101%
PROPERTY TAX-DEBT SERVICE 2012	\$	313,235	\$ 314,231	100%	\$	313,990	100%
PROPERTY TAX-DEBT SERVICE 2019	\$	410,250	\$ 412,023	100%	\$	406,130	101%
PROPERTY TAX-DEBT SERVICE 2020	\$	314,775	\$ 315,058	100%	\$	313,075	101%
WASTEWATER REVENUES	\$	803,500	\$ 444,500	55%	\$	365,074	122%
PUD SURCHARGE	\$	98,160	\$ 49,077	50%	\$	49,076	100%

BUDGET STATUS & COMPARISON TO PRIOR YEAR

	CURR	ENT YEAR:						CURRENT YR
		BUDGET		YTD	PERCENT		YTD	COMPARED TO PY YR
GENERAL FUND:								
REVENUE	\$	3,157,388	\$	2,178,917	69%	\$	2,073,894	105%
EXPENDITURES	\$	3,148,417	\$	1,429,276	45%	\$	1,544,888	93%
WATER FUND:								
REVENUE	\$	1,354,350	\$	508,251	38%	\$	501,632	101%
EXPENDITURES	\$	1,271,047	\$	375,611	30%	\$	497,040	76%
STREET MAINTENANCE FUND:								
REVENUE	\$	256,115	\$	73,545	29%	\$	87,225	84%
EXPENDITURES	\$	256,115	\$	73,015	29%	Ś	88.291	83%
COURT SECURITY FUND:						•		
REVENUE	\$	1,600	\$	1,279	80%	Ś	713	179%
EXPENDITURES	\$	1,000	\$	-	0%	Ś	_	#DIV/0!
COURT TECHNOLOGY FUND:								
REVENUE	\$	1,600	\$	1,052	66%	Ś	605	174%
EXPENDITURES	\$	2,500	Ś	23	1%	Ś	8	281%
COURT EFFICIENCY FUND:			·			Ŧ	U	20170
REVENUE	\$	100	Ś	-	0%	Ś	_	
EXPENDITURES	Ś	100	Ś	-	0%	Ś	_	#DIV/01
DEBT SERVICE FUND - 2014:	•		Ŧ		0,0	Ŷ		<i>abiv</i> /0:
REVENUE	Ś	200.250	Ś	199,239	99%	Ś	198 467	100%
EXPENDITURES	\$	199.350	Ś	32,375	16%	Ś	34 975	93%
DEBT SERVICE FUND - 2012:	•	,	т	,	2070	Ŷ	51,575	3370
REVENUE	\$	314.635	Ś	313.056	99%	Ś	313 990	100%
EXPENDITURES	\$	313.635	Ś	4.318	1%	Ś	8 068	54%
DEBT SERVICE FUND - 2019:		.,	r	.,= ==	2/0	Ŷ	0,000	5470
REVENUE	\$	411.650	\$	410.484	100%	Ś	406 130	101%
EXPENDITURES	Ś	410.650	ŝ	147,825	36%	Ś	150 025	99%
DEBT SERVICE FUND - 2020:		,	*		00/0	Ŧ	100,020	5570
REVENUE	Ś	315.515	\$	314.626	100%	Ś	313 075	100%
EXPENDITURES	Ś	315.015	ŝ	12,388	4%	Ś	14 525	100%
DRAINAGE FUND:	+	510,010	Ŷ	12,500	-770	Ŷ	17,525	8376
REVENUE	Ś	30.900	Ś	12,000	39%	¢	45 928	26%
EXPENDITURES	Ś	58.000	ŝ	31 747	55%	ŝ	107 472	20%
WASTE WATER FUND:	Ŧ	20,000	Ŷ	01,747	5570	Ŷ	107,472	50%
REVENUE	Ś	974,576	Ś	425,640	44%	Ś	419 878	101%
EXPENDITURES	Ś	974.576	ŝ	280.209	29%	ŝ	497 575	10178 56%
	•		Ŧ		/ 0	-		5070



BALANCE

100-GENERAL FUND

ACCOUNT # ACCOUNT DESCRIPTION

ASSETS				
100-1000	CLAIM ON POOLED CASH		2,417,509.43	
100-1011	PETTY CASH - COURT		250.00	
100-1014	CASH - TAX NOTES		2,005,764.32	
100-1016	MERCHANT ACCT CASH		0.00	
100-1018	CASH - DEVELOPMENT SERVICES	(1,000.00)	
100-1030	TEX-POOL	-	329,044.30	
100-1131	NET PENSION ASSET		0.00	
100-1141	DEFERRED OUTFLOWS OF RESOURCES		0.00	
100-1142	DEFERRED OUTFLOWS - OPEB		0.00	
100-1200	ACCOUNTS RECEIVABLE		112.95	
100-1205	ALLOWANCE FOR UNCOLLECTIBLES		0.00	
100-1206	ALLOWANCE FOR DOUBTFUL ACCTS	(1,896.31)	
100-1217	CENCOR PUD RECEIVABLE		0.01	
100-1221	DUE FROM RCDC		24,542.19	
100-1222	DUE FROM WATER FUND		3,169.25	
100-1230	TAXES RECEIVABLE - GENERAL		20,905.97	
100-1250	Due From Vendors		0.00	
100-1350	SALES TAX RECEIVABLE		55,920.60	
				4,854,322.71

TOTAL ASSETS

4,854,322.71

100-2000	ACCOUNTS PAYABLE POOLED		0.00
100-2008	ACCOUNTS PAYABLE - OTHER		8,606.51
100-2010	HEALTHE INSURANCE PAYABLE	(385.52)
100-2012	AFLAC INSURANCE PAYABLE	(12.57)
100-2015	EDC SALES TAX PAYABLE		0.00
100-2016	EMPLOYEE 457 CONTRIB PAYABLE		4,197.11
100-2020	FEDERAL WH PAYABLE		118.21
100-2030	UNEMPLOYMENT TAX PAYABLE	(3,608.63)
100-2035	SOCIAL SEC/MEDICARE PAYABLE	(2,913.70)
100-2050	APPEARANCE BOND RESERVE	(1,591.64)
100-2055	OMNIBASE PAYABLE	(104.69)
100-2060	RETIREMENT PAYOUT RESERVE	·	7,977.07
100-2070	DEFERRED REVENUE		4,281.02
100-2075	CHILD SUPPORT GARNISHMENT		0.00
100-2080	TMRS RETIREMENT WITHHELD	(4,877.58)
100-2110	COMPENSATED ABSENCE PAY		163.00
100-2115	WAGES PAYABLE		0.00
100-2117	UNCLAIMED PROPERTY		153.97
100-2122	ACCRUED INTEREST PAYABLE		0.00
100-2132	MY PARK DAY		921.96
100-2137	PARK PET PAVERS		2,025.57
100-2138	TAX NOTES PAYABLE-SR 2020		0.00
100-2139	DEFERRED REV-LEOSE FUNDS		0.00
100-2140	VEHICLE FINANCING NOTES		0.00
100-2141	ARPA Deferred Revenue		196.370.37
			200,070.07



ACCOUNT #	ACCOUNT I	DESCRIPTION		BALANCE			
100-2249 DEFE	RRED REV-1	FIELD RENTAL		33,660.0	0		
100-2250 DEFE	RRED TAX H	REV=DELINQUENT	TX	19,009.6	6		
100-2300 DUE	TO DRAINAG	GE FUND		69,387.0	0		
100-2425 BLDG	& MISC DE	EPOSITS		3,500.0	0		
100-2600 TRAF	FIC FINE F	RESERVE		37,882.2	6		
TOTA	L LIABILIT	FIES			- 374	,759.38	
EQUITY						<u> </u>	
100-3000 FUND	BALANCE-U	UNAPPROPRATED		5,019,397.3	2		
100-3030 AMOU	NT TO BE I	PROVIDED FOR		(1,289,474.9	0)		
TOTA	L BEGINNIN	NG EQUITY		3,729,922.4	2		
TOTAL REV	ENUE			2,178,916.7	5		
TOTAL EXP	ENSES			1,429,275.8	4		
TOTA	L REVENUE	OVER/(UNDER) E	XPENSES	749,640.9	1		
				,			
TOTA	L EQUITY 8	& REV. OVER/(UN	IDER) EXP.		4,479	,563.33	
					·····	<u>. </u>	
TOTA	L LIABILI	FIES, EQUITY &	REV.OVER/ (U	NDER) EXP.			4,854,322.71

PAGE: 2

4,854,322.71



200-WATER FUND

ACCOUNT # ACCOUNT DESCRIPTION

ASSETS				
200-1000	CLAIM ON POOLED CASH		584,570.36	
200-1016	MERCHANT ACCT CASH		250.00	
200-1018	CASH - DEVELOPMENT SERVICES		1,000.00	
200-1030	TEX-POOL		61,837.21	
200-1131	NET PENSION	(24,642.00)	
200-1141	DEFERRED OUTFLOW OF RESOURCES		21,589.32	
200-1142	DEFERRED OUTFLOWS-OPEB		2,392.00	
200-1200	ACCOUNTS RECEIVABLE		94,585.54	
200-1202	MISC AR -		0.00	
200-1205	ALLOWANCE FOR UNCOLLECTIBLE	(10,895.29)	
200-1210	UNAPPLIED CREDITS	(40,175.18)	
200-1220	REFUNDS PAYABLE		432.54	
200-1250	ALLOWANCE FOR LOSSES	(4,500.00)	
200-1300	RETURNED CHECKS RECEIVABLE		5,550.30	
200-1600	WATER SYSTEM		1,885,140.74	
200-1601	WATER LINE IMPROVEMENTS		1,799,149.92	
200-1605	W/WW IMP BCR		561,036.56	
200-1606	CAP IMP BACKFLOW		92,420.00	
200-1610	ACCUMULATED DEPRECIATION	(1,972,010.34	
200-1620	EQUIPMENT	•	70,196.33	
200-1621	COMPUTER		1,726.00	
200-1628	ACCUM DEPREC MAINT & OFFICE	(45,810,43)	
		·_	· , · · · · · · · · · · · · · · · · · ·	3,083,843.58
				3,083,843.58

TOTAL ASSETS

LIABILITIES

200-2000	ACCOUNTS PAYABLE POOLED		0.00
200-2008	ACCOUNTS PAYABLE OTHER		89,873.13
200-2010	HEALTHE INSURANCE PAYABLE		972.83
200-2012	AFLAC INSURANCE PAYABLE		0.00
200-2015	ECONOMIC DEV SALES TAX		0.00
200-2016	EMPLOYEE 457 CONTRIB PAYABL		0.00
200-2020	FEDERAL WH PAYABLE		19.44
200-2030	UNEMPLOYMENT TAX PAYABLE	(198.34)
200-2035	SOC SEC/MEDICARE PAYABLE	•	2,878.90
200-2060	Retirement Payout Reserve		0.00
200-2080	TMRS RETIREMENT PAYABLE	(500.35)
200-2100	METER SERVICE DEPOSITS	•	0.00
200-2110	COMPENSATED ABSENCE PAYABLE		9,956.26
200-2115	WAGES PAYABLE		0.00
200-2120	BONDS PAYABLE-SR2014 WTR IMP		647,325.00
200-2121	BOND PREMIUM-SR2014 WTR IMPRV		34,459.76
200-2122	ACCRUED INTEREST PAYABLE		3,651.19
200-2123	GOVERNMENT CAPITAL LEASE		41,695.07
200-2128	DUE TO VENDORS		0.00
200-2140	DEFERRED INFLOWS OF RESOURCES		15,078.00
200-2142	RES STORM DISCHA PERMIT-ZONE 8		186.00

3,083,843.58

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200-WATER FUND

ACCOUNT	# ACCOUNT	DESCRIPTION	BALANCE		
200-2145	OPEB LIABILI	ТҮ	8,889.00		
200-2310	DUE TO MERCH	ANT ACCOUNT	3,169.25		
200-2400	CUSTOMER DEP	OSITS PAYABLE	171,070.00		
200-2425	BLDG & MISC	DEPOSITS	1,750.00		
	TOTAL LIABIL	ITIES		1,030,275.14	
EQUITY			•		
200-3000	FUND BALANCE	-UNAPPROPRATED	719,416.98		
200-3600	INVEST IN FA	NET RELATED DEBT	1,256,765.70		
	TOTAL BEGINN	ING EQUITY	1,976,182.68		
ጥርጥል፣	BEVENUE		597 675 51		
TOTAL	. EXPENSES		510 289 75		
10111	TOTAL REVENU	E OVER/(UNDER) EXPENSES	$\frac{310,283.75}{77,385.76}$		
			,		
	TOTAL EQUITY	& REV. OVER/(UNDER) EX	KP	2,053,568.44	
	TOTAL LIABIL	ITIES, EQUITY & REV.OVI	ER/(UNDER) EXP.		3,083,843.58

3,083,843.58

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4- Page 260 .:07 PM	CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST 2023		PAGE: 1
301-STREET MAINTENANCE	115 01. Maxim 5151, 2025		
ACCOUNT # ACCOUNT DESCRIPTION	BALANCE		
ASSETS			
301-1000 CLAIM ON POOLED CASH 301-1350 SALES TAX RECEIVABLE	392,983.89 13,503.48		
	-	406,487.37	
TOTAL ASSETS			406,487.37
LIABILITIES		=	
301-2000 ACCOUNTS PAYABLE POOLED 301-2060 Retirement Payout Reserve 301-2140 Vehicle Financing Notes TOTAL LIABLUTIES	0.00 0.00 0.00	0.00	
EQUITY	-	0.00	
301-3000 FUND BALANCE-UNAPPROPRATED TOTAL BEGINNING EQUITY	406,468.44 406,468.44		
TOTAL REVENUE TOTAL EXPENSES TOTAL REVENUE OVER/(UNDER)	87,171.18 87,152.25 EXPENSES 18.93		

TOTAL EQUITY & REV. OVER/(UNDER) EXP. 406,487.37

TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.

406,487.37 ___ _____

4- Page 261 :07 PM	CITY OF ROLLINGWOOD BALANCE SHEET	PAGE: 1
310-COURT SECURITY FUND	AS OF: MARCH 31ST, 2023	
ACCOUNT # ACCOUNT DESCRIPTION	BALANCE	
ASSETS		
310-1000 CLAIM ON POOLED CASH	<u> 11,494.93</u> <u> 11,</u>	494.93
TOTAL ASSETS		11,494.93
LIABILITIES		
310-2000 ACCOUNTS PAYABLE POOLED 310-2050 APPEARANCE BOND RESERVE 310-2060 Retirement Payout Reserve 310-2140 Vehicle Financing Notes TOTAL LIABILITIES EQUITY	(9.00) (9.00) 0.00 0.00 ((9.00)
310-3000 UNAPPROPRIATED FUND BALANCE 310-3450 RESERVE FOR COURT TECHNOLOGY 310-3451 RESERVE FOR COURT SECURITY TOTAL BEGINNING EQUITY	3,685.92 (9,119.30) <u>15,320.85</u> 9,887.47	
TOTAL REVENUE TOTAL EXPENSES TOTAL REVENUE OVER/(UNDER) EXF	1,616.46 0.00 ENSES 1,616.46	
TOTAL EQUITY & REV. OVER/(UNDE	R) EXP11,	503.93
TOTAL LIABILITIES, EQUITY & RE	V.OVER/(UNDER) EXP.	11,494.93

4-Page 262 320-COURT TECHNOLOGY FUND	CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST, 2023	PAGE: 1
ACCOUNT # ACCOUNT DESCRIPTION	BALANCE	
ASSETS		
====== 320-1000 CLAIM ON POOLED CASH	10,876.30	. 30
TOTAL ASSETS		10,876.30
LIABILITIES		
320-2000 ACCOUNTS PAYABLE POOLED 320-2008 ACCOUNTS PAYABLE OTHER 320-2050 APPEARANCE BOND RESERVE 320-2060 Retirement Payout Reserve 320-2140 Vehicle Financing Notes TOTAL LIABILITIES EQUITY	0.00 23.33 (16.00) 0.00 7	.33
320-3450 FUND BALNCE - COURT TECH TOTAL BEGINNING EQUITY	<u> </u>	
TOTAL REVENUE TOTAL EXPENSES TOTAL REVENUE OVER/(UNDER) EXPE	1,332.03 27.28 ENSES 1,304.75	
TOTAL EQUITY & REV. OVER/(UNDEF	R) EXP. 10,868	. 97
TOTAL LIABILITIES, EQUITY & REV	.OVER/(UNDER) EXP.	10,876.30

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CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST, 2023

330-COURT EFFICIENCY FUND

ACCOUNT # ACCOUNT DESCRIPTION BALANCE ASSETS _____ 330-1000 CLAIM ON POOLED CASH 114.31 114.31 TOTAL ASSETS محد مدير بليان والد على محد الله على يتحر تحت بالله بليان بالأرد LIABILITIES _ _ _ _ _ _ _ _ _ 330-2000 ACCOUNTS PAYABLE POOLED 0.00 330-2060 Retirement Payout Reserve 0.00 330-2140 Vehicle Financing Notes 0.00 TOTAL LIABILITIES 0.00 EQUITY 330-3000 FUND BALANCE-UNAPPROPRATED 114.31 TOTAL BEGINNING EQUITY 114.31

TOTAL REVENUE	0.00
TOTAL EXPENSES	0.00
TOTAL REVENUE OVER/(UNDER) EXPENSES	0.00
TOTAL EQUITY & REV. OVER/(UNDER) EXP.	114.31

TOTAL LIABILITIES, EQUITY & REV.OVER/(UNDER) EXP.

114.31

4- Page 264 :07 PM	CITY OF ROLLINGWOOD BALANCE SHEET		PAGE: 1
· • • • • • • • • • • • • • • • • • • •	AS OF: MARCH 31gm 2023		
430-DEBT SERVICE FUND 2014	AD OF . FANCI 3151, 2023		
ACCOUNT # ACCOUNT DESCRIPTION	BALANCE		
ASSETS			
430-1000 CLAIM ON POOLED CASH	168.618.99		
430-1007 CASH-DS SR2014 GO STREETS	(1.34)		
430-1009 CASH-DS SR2014 WATER IMPROV	1.34		
430-1206 ALLOWANCE FOR DOUBTFUL COLL	(813.24)		
430-1230 TAXES RECEIVABLE	17.002.26		
		184 808 01	
	-	104,000.01	
TOTAL ASSETS			184,808.01
LIABILITIES		=	
430-2000 ACCOUNTS PAYABLE POOLED	0.00		
430-2060 Retirement Payout Reserve	0.00		
430-2140 Vehicle Financing Notes	0.00		
430-2250 DEFERRED TAX REV-DELINGUENT TX	16 189 02		
TOTAL LIABILITIES	10,109.02	16 190 02	
FOULTRY		10,189.02	
430-3000 FIND BALANCE-INAPPROPRATED	757 02		
TOTAL BEGINNING FOUTTY	757.93		
IOIAD DEGIMAING EQUIII	151.93		
TOTAL REVENUE	200 236 06		
TOTAL EXPENSES	32 375 00		
TOTAL REVENUE OVER (UNDER) EXP	$\frac{52,375.00}{167.961.06}$		
IOIMI IGVANOS OVAN, (ONDER) EXP	107,001.00		
TOTAL EQUITY & REV. OVER/(UNDE	R) EXP.	168,618,99	
	-	,	
TOTAL LIABILITIES, EQUITY & RE	V.OVER/(UNDER) EXP.		184,808.01

4- L:07 PM	CITY OF ROLLINGWOOD BALANCE SHEET		PAGE: 1
440-DEBT SERVICE FUND 2012	AS OF: MARCH 31ST, 2023		
ACCOUNT # ACCOUNT DESCRIPTION	BALANCE		
ASSETS			
440-1000 CLAIM ON POOLED CASH	311,079.84	311,079.84	
TOTAL ASSETS		_	311,079.84
LIABILITIES		-	
440-2000 ACCOUNTS PAYABLE POOLED 440-2060 Retirement Payout Reserve 440-2140 Vehicle Financing Notes TOTAL LIABILITIES EQUITY	0.00 0.00 0.00	0.00	
440-3000 FUND BALANCE-UNAPPROPRATED TOTAL BEGINNING EQUITY	<u> </u>		
TOTAL REVENUE TOTAL EXPENSES TOTAL REVENUE OVER/(UNDER) EX	314,623.78 4,317.50 PENSES 310,306.28		
TOTAL EQUITY & REV. OVER/(UND	ER) EXP.	311,079.84	
TOTAL LIABILITIES, EQUITY & R	EV.OVER/(UNDER) EXP.		311,079.84

311,079.84 -----

4-Page 266:07 PM	CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST, 2023		PAGE: 1
450-DEBT SERVICE FUND 2019			
ACCOUNT # ACCOUNT DESCRIPTION	BALANCE		
ASSETS			
450-1000 CLAIM ON POOLED CASH	263,447.98	263,447.98	
TOTAL ASSETS			263,447.98
LIABILITIES		•	
450-2000 ACCOUNTS PAYABLE POOLED 450-2060 Retirement Payout Reserve 450-2140 Vehicle Financing Notes TOTAL LIABILITIES EQUITY	0.00 0.00 0.00	0.00	
====== 450-3000 FUND BALANCE-UNAPPROPRATED TOTAL BEGINNING EQUITY	(<u> 1,263.25</u>) (1,263.25)		
TOTAL REVENUE TOTAL EXPENSES TOTAL REVENUE OVER/(UNDER) EX	412,536.23 147,825.00 264,711.23		
TOTAL EQUITY & REV. OVER/(UND	ER) EXP.	263,447.98	
TOTAL LIABILITIES, EQUITY & R	EV.OVER/(UNDER) EXP.		263,447.98

263,447.98 ========

4-Page 267 460-DEBT SERVICE FUND 2020	CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST, 2023		PAGE: 1
ACCOUNT # ACCOUNT DESCRIPTION	BALANCE		
ASSETS		******	
460-1000 CLAIM ON POOLED CASH	308,015.83	308,015.83	
TOTAL ASSETS			308,015.83
LIABILITIES			
460-2000 ACCOUNTS PAYABLE POOLED 460-2060 Retirement Payout Reserve 460-2140 Vehicle Financing Notes TOTAL LIABILITIES EQUITY	0.00 0.00 0.00	0.00	
460-3000 FUND BALANCE-UNAPPROPRATED TOTAL BEGINNING EQUITY	4,202.99		
TOTAL REVENUE TOTAL EXPENSES TOTAL REVENUE OVER/(UNDER) EX	316,200.34 12,387.50 PENSES 303,812.84		
TOTAL EQUITY & REV. OVER/(UND	ER) EXP.	308,015.83	

TOTAL LIABILITIES, EQUITY & REV. OVER/ (UNDER) EXP.

308,015.83

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CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST, 2023

702-DRAINAGE FUND

ACCOUNT	# ACCOUNT DESCRIPTION	BALANCE		
ASSETS		· · · · · · · · · · · · · · · · · · ·		
702-1000	CLAIM ON POOLED CASH	(227,725,76)		
702-1016	MERCHANT ACCT CASH	6,275.00		
702-1200	DUE FROM GENERAL FUND	69,387.00		
		(_	152,063.76)	
	TOTAL ASSETS		(152,063.76)
LIABILIT	IES		= :	*====
702-2000		0.00		
702-2000	ACCOUNTS PAIABLE POULED	0.00		
702-2060	Retirement Payout Reserve	0.00		
702-2140	Vehicle Financing Notes	0.00		
702-2141	RES STORM DISCHA PERMIT-ZONE 7	0.00		
702-2143	RES STORM DISCHA PERMIT-ZONE 1	3,500.00		
702-2144	RES STORM DISCHA PERMIT-ZONE 4	37,384.00		
	TOTAL LIABILITIES		40,884.00	
EQUITY		-		
======				
702-3000	FUND BALANCE-UNAPPROPRATED	(112,706.10)		
	TOTAL BEGINNING EQUITY	(112,706.10)		
TOTA	L REVENUE	18,000.00		
TOTA	L EXPENSES	98,241.66		
	TOTAL REVENUE OVER/ (UNDER) EXPENSES	(80,241.66)		
	TOTAL EQUITY & REV. OVER/(UNDER) EXP.	(_	192,947.76)	
	TOTAL LIABILITIES, EQUITY & REV. OVER/ (UNDER) EXP.	(152,063.76)



BALANCE

800-WASTE WATER FUND

ACCOUNT # ACCOUNT DESCRIPTION

		and the second se	
ASSETS			
800-1000	CLAIM ON POOLED CASH		399,629.86
800-1030	TEX-POOL		309,992.95
800-1031	NET PENSION	(24,642.00)
800-1141	DEFERRED OUTFLOW OF RESOURCES		21,589.32
800-1142	DEFERRED OUTFLOWS-OPEB		2,392.00
800-1200	ACCOUNTS RECEIVABLE		99,056.28
800-1205	ALLOWANCE FOR UNCOLLECTIBLE	(6,994.87)
800-1213	MIRA VISTA PUD LIVE OAK		805.97
800-1215	OTHER RECEIVABLES (WATER)		560.73
800-1216	MIRA VISTA PUD RECEIVABLE		1,043.95
800-1217	CENCOR PUD RECEIVABLE		9,174.48
800-1218	ENDEAVOR PUD RECEIVABLE		10,760.87
800-1219	RESTITUTION RECEIVABLE		921.33
800-1611	ACCUM DEPREC - BUILDING	(3,440.00)
800-1615	LINE IMPROVEMENTS		194,039.50
800-1616	WASTEWATER SYSTEM		12,262,665.58
800-1620	EQUIPMENT		99,957.22
800-1628	ACCUM DEPREC = MAINT & OFFICE	(1,927,247.09)
800-1630	ACCUM DEPREC - EQUIPMENT	(1,152,338.88)
800-1721	LAND IMPROVEMENTS		43,000.00

TOTAL ASSETS

10,340,927.20

LIABILITIES

<u>ز ما کے کے جب کر کر</u>							
800-2000	ACCOUNTS PAYABLE POOLED		0.0	0			
800-2008	ACCOUNTS PAYABLE OTHER	2	1,717.3	3			
800-2010	HEALTHE INSURANCE PAYABLE		800.3	7			
800-2012	AFLAC INSURANCE PAYABLE		0.0	0			
800-2016	EMPLOYEE 457 CONTRIB PAYABL		0.0	0			
800-2020	FEDERAL WH PAYABLE	(545.0	9)			
800-2030	UNEMPLOYMENT TAX PAYABLE	(533.6	9)			
800-2035	SOC SEC/MEDICARE PAYABLE		620.5	0			
800-2060	Retirement Payout Reserve		0.0	0			
800-2080	TMRS RETIREMENT PAYABLE	(1,436.6	5)			
800-2090	DEPERRED REV- PAVING ASSESS		0.0	o			
800-2091	DEFERRED REVENUE-PAVING ASSES		323.4	8			
800-2110	COMPENSATED ABSENCE PAYABLE		9,956.2	6			
800-2115	WAGES PAYABLE		0.0	0			
800-2122	ACCRUED INTEREST PAYABLE	5	3,264.0	0			
800-2124	BONDS PAYABLE-SR2012A	60	5,000.0	Ō			
800-2135	BONDS PAYABLE-2019 REFUNDING	9,15	0,000.0	Ō			
800-2136	BOND PREMIUM-2019 REFUNDING	50	0,339.5	3			
800-2140	DEFERRED INFLOWS OF RESOURCES	1	5,078.0	ō			
800-2142	RES STORM DISCHA PERMIT-ZONE 8		186.0	0			
800-2145	OPEB LIABILITY		8,889.0	õ			
	TOTAL LIABILITIES		-,	-	10.363	659.	04
				_			

10,340,927.20

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CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND

ACCOUNT	# ACCOUNT	DESCRIPTION		BALANCE			
EQUITY			Nite No. of Street, Street		·		
800-3000	FUND BALANCE		(19 764 0	٥١		
800-2020	NOUNE EO DE	DRAITROTRATED		40,704.0	0)		
800-3030	AMOUNI TO BE	PROVIDED FOR	(105,000.0	0)		
800-3451	RESERVE FOR	COURT SECURITY	(137,476.1	9)		
800-3600	INVEST IN FA	NET RELATED DEH	3T	136,933.0	0		
	TOTAL BEGINN	ING EQUITY	(154,307.2	7)		
TOTAI	L REVENUE			506,737.9	4		
TOTAI	L EXPENSES			375,162.5	1		
	TOTAL REVENU	E OVER/(UNDER) H	EXPENSES	131,575.4	3		
	TOTAL EQUITY	& REV. OVER/(U	NDER) EXP.		(22,731.84)	
	TOTAL LIABIL	ITIES, EQUITY &	REV.OVER/ (UNDER	R) EXP.			10,340,927.20

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FINANCIAL SUMMARY

50.00% OF FISCAL YEAR

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY					
ADMINISTRATION	2,550,573.00	78,345.35	1,973,004.38	77.36	577,568.62
DEVELOPMENT SERVICES	150,000.00	15,179.50	74,360.00	49.57	75,640.00
UTILITY BILLING	126,000.00	0.00	0.00	0.00	126,000.00
STREETS	256,115.00	14,136.84	87,152.25	34.03	168,962.75
POLICE	2,250.00	170.00	1,380.00	61.33	870.00
COURT	33,250.00	7,879.51	36,320.12	109.23 (3,070.12)
PARK DEPARTMENT	39,200.00	2,342.00	6,700.00	17.09	32,500.00
TOTAL REVENUES	3,157,388.00	118,053.20	2,178,916.75	69.01	978,471.25
EXPENDITURE SUMMARY					
ADMINISTRATION	722,145,00	101,765.84	315,124,35	43.64	407,020.65
DEVELOPMENT SERVICES	223,989.00	40,596.33	147,263.58	65.75	76,725.42
SANITATION	148,000.00	0.00	36,362.96	24.57	111,637.04
UTILITY BILLING	131,207.00	9,226.23	41,369.86	31.53	89,837.14
STREETS	256,115.00	16,953.30	60,137.68	23.48	195,977.32
POLICE	1,430,756.47	168,360.58	730,319.35	51.04	700,437.12
COURT	96,715.00	8,584.36	45,025.08	46.55	51,689.92
PARK DEPARTMENT	112,440.00	6,301.17	46,529.03	41.38	65,910.97
PUBLIC WORKS	27,050.00	566.94	7,143.95	26.41	19,906.05
TOTAL EXPENDITURES	3,148,417.47	352,354.75	1,429,275.84	45.40	1,719,141.63
REVENUES OVER/ (UNDER) EXPENDITURES	8,970.53 (234,301.55)	749,640.91		(740,670.38)

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100-GENERAL FUND

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

				50.00% C	OF FISCAL YEAR
REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
ADMINISTRATION					
TAXES					
100-4-10-4000 CURRENT PROPERTY TAXES	1,391,320.00	6,400.77	1,374,688.42	98.80	16,631.58
100-4-10-4020 PENALTY & INTEREST ON TAXES	6,000.00	520.14	23,137.73	385.63 (17,137.73)
100-4-10-4030 GROSS RECEIPTS TAX (GAS)	20,000.00	0.00	8,174.33	40.87	11,825.67
100-4-10-4035 TELECOMMUNICATIONS TAX	20,000.00	0.00	11,363.02	56.82	8,636.98
100-4-10-4036 MIXED BEVERAGE TAX	5,000.00	450.93	2,819.83	56.40	2,180.17
100-4-10-4037 4-B SALES TAX 100-4-10-4040 CTTY SALES TAX	200,000.00	13,590.70	87,032.52	43.52	112,967.48
100-4-10-4040 CIII SALES TAA 100-4-10-4050 FRANCHICE TAY (CARLE TA)	625,000.00 5 000 00	54,362.81	348,130.09	55.70	276,869.91
100-4-10-4050 FRANCHISE FAX (CABLE IV)	90,000,00	0.00	2,043.83	40.88	2,900.15
TOTAL TAXES	2,362,320,00	75.325.35	1 910 142 46	80.86	452 177 54
	2,302,320.00	70,520.55	1,010,142.40	00.00	402,177.04
CHARGE FOR SERVICES					
100-4-10-4209 RCDC ADMINISTRATION FEES	77,000.00	0.00	0.00	0.00	77,000.00
100-4-10-4236 WATER FUND ADMIN FEE	40,000.00	0.00	0.00	0.00	40,000.00
100-4-10-4237 WASTEWATER FD ADMIN FEE	28,000.00	0.00	0.00	0.00	28,000.00
TOTAL CHARGE FOR SERVICES	145,000.00	0.00	0.00	0.00	145,000.00
T TORNOR C DEDUTED					
100-4-10-4316 COLTCIDATON DEDMIN EVER	100.00	0.00	0.00	0 00	100.00
TOTAL LICENSE & PERMITS	100.00 -	0.00	0.00		100.00
	100.00	0.00	0.00	0.00	100.00
INVESTMENT INCOME					
100-4-10-4400 INTEREST INCOME	400.00	1,108.76	3,910.31	977.58 (3,510,31)
100-4-10-4401 INTEREST INCOME - CHECKING	750.00	248.67	1,024.50	136.60 (274.50)
100-4-10-4405 INTEREST INCOME - TAX NOTES	500.00	170.35	999.89	199.98 (499.89)
TOTAL INVESTMENT INCOME	1,650.00	1,527.78	5,934.70	359.68 (4,284.70)
VICOLI I NULCICI, DELENTE					
MISCELLANEOUS REVENUE	50.00				
100-4-10-4540 MISCELLANEOUS RECEIPTS	50.00	0.00	435.00	870.00 (385.00)
100-4-10-4566 Opicid Settlement Distribution	0.00	1 402 22	1 400 00	0.00	0.00
100-4-10-4578 PROCEEDS FROM CAPITAL LEASE	0.00	1,492.22	1,492.22	0.00 (1,492.22)
TOTAL MISCELLANEOUS REVENUE	50.00	1,492,22	1,927,22	3 854 44 ($\frac{0.00}{1.877.22}$
		-,	-,	0,001111 (1,0,7,22)
OTHER REVENUE					
100-4-10-4700 UNEXPENDED BALANCE TRANSFER	41,453.00	0.00	0.00	0.00	41,453.00
100-4-10-4738 ACL Revenues	0.00	0.00	<u> </u>	0.00 (55,000.00)
TOTAL OTHER REVENUE	41,453.00	0.00	55,000.00	132.68 (13,547.00)
TOTAL ADMINISTRATION	2,550,573.00	78,345.35	1,973,004.38	77.36	577,568,62

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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

100-GENERAL FUND

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
DEVELOPMENT SERVICES					
CHARGE FOR SERVICES					
100-4-15-4210 BOARD OF ADJUSTMENT FEES TOTAL CHARGE FOR SERVICES	0.00	0.00	0.00	0.00	0.00
LICENSE & PERMITS					
100-4-15-4301 TREE REMOVAL AND REPLACEMENT	7,500.00	415.00	2,375.00	31.67	5,125.00
100-4-15-4302 INSPECTIONS	40,000.00	4,300.00	26,975.25	67.44	13,024.75
100-4-15-4303 BUILDING FEES 100-4-15-4304 FONTRE GUINGE	100,000.00	10,444.50	42,939.75	42.94	57,060.25
100-4-15-4304 ZONING CHANGE	0.00	0.00	0.00	0.00	0.00
100-4-15-4305 SIGN FLES 100-4-15-4306 EMERCENCY & UTILITIES DEPMITS	0.00	0.00	250.00	0.00 (250.00)
100-4-15-4307 Application Filing Fee	0.00	20.00	20.00	0.00	20.00
100-4-15-4308 Publish / Notice Fee	0.00	20.00	20.00	0.00 (20.00)
100-4-15-4310 PLAT FEES	2.000.00	0.00	1 800 00	90.00	200.00
100-4-15-4311 VARIANCE FEES	500.00	0.00	0.00	0.00	500.00
TOTAL LICENSE & PERMITS	150,000.00	15,179.50	74,360.00	49.57	75,640.00
TOTAL DEVELOPMENT SERVICES	150,000.00	15,179.50	74,360.00	49.57	75,640.00
UTILITY BILLING					
MISCELLANEOUS REVENUE					
100-4-25-4579 WATER REVENUE-TRANSFER IN	63,000,00	0.00	0 00	0 00	63 000 00
100-4-25-4580 WASTEWATER REV-TRANSFER IN	63,000,00	0.00	0.00	0.00	63 000 00
TOTAL MISCELLANEOUS REVENUE	126,000.00	0.00	0.00	0.00	126,000.00
TOTAL UTILITY BILLING	126,000.00	0.00	0.00	0.00	126,000.00
STREETS					
OTHER REVENUE					
100-4-30-4721 TRANSFER FROM STREET MAINT	256,115.00	14,136.84	87,152.25	34.03	168,962.75
100-4-30-4722 UUNEXPENDED BALANCE TRANSFER	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER REVENUE	256,115.00	14,136.84	87,152.25	34.03	168,962.75
TOTAL STREETS	256,115.00	14,136.84	87,152.25	34.03	168,962.75

POLICE

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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGE T BALANCE
MISCELLANEOUS REVENUE					
100-4-40-4542 POLICE MISCELLANEOUS REVENUE	250.00	10.00	60.00	24.00	190.00
100-4-40-4558 VEHICLE OPERATIONS	1,000.00	160.00	1,320.00	132.00 (320.00)
100-4-40-4567 LEOSE FUNDS	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL MISCELLANEOUS REVENUE	2,250.00	170.00	1,380.00	61.33	870.00
TOTAL POLICE	2,250.00	170.00	1,380.00	61.33	870.00
COURT					
COURT REVENUE					
100-4-50-4100 COURT FINES	25,000.00	5,703.10	26,959.48	107.84 (1,959.48)
100-4-50-4101 COLLECTION AGENCY FEES	1,000.00	399.57	804.54	80.45	195.46
100-4-50-4105 MUNI COURT BLDG SECURITY	50.00	0.00	0.00	0.00	50.00
100-4-50-4110 ADMINISTRATIVE COURT FEES	2,500.00	889.65	4,160.50	166.42 (1,660.50)
100-4-50-4127 DRIVER SAFETT COORSE ADM FEE	1 000 00	340.95	1 629 94	0.00	100.00
100-4-50-4155 CHILD SAFETY REVENUE	2 000 00	123 53	1,030.04	103.00 (/1 91	038.84)
100-4-50-4190 TRUANCY PREVENTION & DIVERSI	0.00	0.00	0.00	0.00	1,103.83
100-4-50-4191 MUNICIPAL COURT TECHNOLOGY	0.00	0.00	0.00	0.00	0.00
100-4-50-4192 MUNICIPAL JURY FUND	50.00	6.66	32.36	64.72	17.64
TOTAL COURT REVENUE	31,700.00	7,463.36	34,431.89	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	2,731.89)
MISCELLANEOUS REVENUE					
100-4-50-4526 CREDIT-DEBIT CARD FEES	1,500.00	416.15	1,888.23	125.88 (388.23)
100-4-50-4540 MISCELLANEOUS RECEIPTS	50.00	0.00	0.00	0.00	50.00
TOTAL MISCELLANEOUS REVENUE	1,550.00	416.15	1,888.23	121.82 (338.23)
TOTAL COURT	33,250.00	7,879.51	36,320.12	109.23 (3,070.12)
PARK DEPARTMENT					
LICENSE & PERMITS					
100-4-55-4319 COMMERCIAL PARK PERMITS	5,000.00	2,342.00	6,450.00	129.00 (1,450,00)
100-4-55-4320 FIELD LEASE	34,000.00	0.00	0.00	0.00	34,000.00
TOTAL LICENSE & PERMITS	39,000.00	2,342.00	6,450.00	16.54	32,550.00
MISCELLANEOUS REVENUE					
100-4-55-4523 DONATIONS-COMM EDUC GARGEN	100.00	0.00	0.00	0.00	100.00
TOU-4-55-4555 DONATIONS - PARK		0.00	250.00	250.00 (150.00)
TOTAL MISCELLANEOUS REVENUE	200.00	0.00	250.00	125.00 (50.00)
TOTAL PARK DEPARTMENT	39,200.00	2,342.00	6,700.00	17.09	32,500.00
TOTAL REVENUES	3,157,388.00	118,053.20	2,178,916.75	69.01	978,471.25



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR CURRENT CURRENT YEAR TO DATE % OF BUDGET DEPARTMENTAL EXPENDITURES BUDGET PERIOD ACTUAL BUDGET BALANCE ADMINISTRATION PERSONNEL107,936.006,213.6938,366.3435.5569,569.66100-5-10-5002 HOLIDAY COMPENSATION5,000.000.005,000.04100.00 (0.04)100-5-10-5009 RETIREMENT PAYOUT RESERVE15,000.000.000.0015,000.0015,000.00100-5-10-5010 TRAINING10,000.0015.001,690.8716.918,399.13100-5-10-5020 HEALTH INSURANCE11,900.00503.443,009.6525.298,890.35100-5-10-5030 WORKERS COMP INSURANCE3,000.000.001,586.8252.891,413.18100-5-10-5035 SOCIAL SECURITY/MEDICARE8,257.00744.633,810.1346.144,446.87100-5-10-5050 TX MUNICIPAL RETIREMENT SYS12,952.002,700.287,192.3755.535,759.63100-5-10-5060 STORM RELATED PAYROLL0.000.000.000.000.000.00TOTAL PERSONNEL174,145.0010,204.1661,033.1235.05113,111.88 PERSONNEL TOTAL PERSONNELSUPPLIES & OPERATION EXP100-5-10-5101 FAX / COPIER2,500.00550.571,474.8158.991,025.19100-5-10-5103 PRINTING & REPRODUCTION3,000.00881.091,068.6535.621,931.35100-5-10-5110 POSTAGE2,000.00520.991,551.1177.56448.89100-5-10-5114 COVID-190.000.000.000.000.00100-5-10-5115 STORM RELATED EXPENSES0.000.000.000.000.00100-5-10-5120 SUBSCRIPTIONS & MEMBERSHIPS5,000.001,561.003,872.3977.451,127.61100-5-10-5125 TRAVEL3,000.000.000.0062.892.102,937.11100-5-10-5140 TELEPHONE3,500.001,156.882,419.9580.67580.05100-5-10-5157 RECORDS MANAGEMENT3,000.001,195.882,419.9580.67580.05100-5-10-5158 OFFICE SUPPLIES6,000.00766.603,339.5355.662,660.47100-5-10-5198 Maint & Supplies - Janitorial6,000.00647.272,797.2746.623,202.73TOTAL SUPPLIES & OPERATION EXP34,000.006,338.0617,600.0651.7616,399.94 CONTRACTUAL SERVICES100-5-10-5201 COLLECTION AGENCY FEES0.000.000.000.000.00100-5-10-5204 LEGAL SERVICES - CODE REVIEW0.000.000.000.000.00100-5-10-5201 LEGAL SERVICES - CODE REVIEW0.000.000.000.000.00100-5-10-5211 LEGAL SERVICES - PPIA7,500.0026,814.9642,006.9546.6747,993.05100-5-10-5214 MERCERCY NOTIFICATION SYS2,400.000.001,275.0053.131,125.00100-5-10-5217 PAYROLL SERVICES5,000.00545.783,764.4175.291,235.59100-5-10-5226 DRUG TESTING100.000.000.0035.0035.0066.00100-5-10-5231 HEALTH FEE / TRAVIS COUNTY1,500.000.000.001,500.001,500.00100-5-10-5233 TAX ASSESSMENT / COLLECTION2,500.000.000.000.002,500.00100-5-10-5230 TINSURANCE - PROP & GEN LIAB10,650.000.0010,489.7098.49160.30100-5-10-5258 ACL Event10,500.000.002,750.0026.197,750.0022.98100-5-10-5250 INSURANCE - OFFICIAL LIABILITY4,000.000.002,750.0026.197,750.00100-5-10-5250 ACL Event10,500.000.002,832.845,665.6856.664,334.32100-5-10-5250 INSURANCE - OFFICIAL LIABILITY4,000.000.002,750.0026.197,750.00100-5-10-5250 INSURANCE - OFFICIAL LIABILITY4,000.000.002,750.0026.197,750.00<td CONTRACTUAL SERVICES



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
MISCELLANEOUS OTHER EXP					
100-5-10-5300 COMPUTER SOFTWARE & SUPP	50,000.00	5,424,47	28,911,59	57.82	21.088 41
100-5-10-5301 PUBLIC MEETINGS TECHNOLOGY	14,000.00	160.00	1,099.80	7.86	12,900.20
100-5-10-5302 WEBSITE SUPPORT	5,500.00	0.00	3,670,00	66.73	1,830.00
100-5-10-5303 Public Information Requests	0.00	0.00	600.00	0.00 (600 00
100-5-10-5309 INCODE SOFTWARE	5,000.00	0.00	3,258,63	65.17	1.741.37
100-5-10-5311 IT SERVICES TPIA	2,000.00	0.00	0.00	0.00	2,000,00
100-5-10-5325 ELECTION SERVICES	2,000.00	0.00	548.88	27.44	1,451,12
100-5-10-5330 ELECTION PUBLIC NOTICES	1,000.00	0.00	20.55	2.06	979.45
100-5-10-5331 ADVERTISING	2,000.00	0.00	10,561.80	528.09 (8,561,80)
100-5-10-5332 COMPREHENSIVE LR PLAN	0.00	0.00	0.00	0.00	0.00
100-5-10-5340 MISCELLANEOUS	0.00	186.35	452.16	0.00 (452,16)
100-5-10-5341 ZILKER CLUBHOUSE	1,350.00	0.00	0.00	0.00	1.350.00
100-5-10-5342 OAK WILT TREATMENT & PREVENTIO	30,000.00	0.00	0.00	0.00	30,000,00
TOTAL MISCELLANEOUS OTHER EXP	112,850.00	5,770.82	49,123.41	43.53	63,726.59
CAPITAL OUTLAY					
100-5-10-5400 TRANSFER TO DRAINAGE FUND	0.00	0.00	0.00	0.00	0.00
100-5-10-5413 FURNITURE	1,000.00	0.00	505.46	50.55	494.54
100-5-10-5414 COMPUTERS	1,000.00	0.00	0.00	0.00	1.000.00
TOTAL CAPITAL OUTLAY	2,000.00	0.00	505.46	25.27	1,494.54
OTHER NON-DEPARTMENTAL					
100-5-10-5525 4B SALES TAX ALLOCATION	200 000 00	20 205 90	72 441 00	26 70	100 550 40
TOTAL OTHER NON-DEPARTMENTAL	200,000.00 -	29,395.80		36.72	126,558.18
	200,000.00	29,395.80	73,441.82	36.72	126,558.18
TOTAL ADMINISTRATION	722,145.00	101,765.84	315,124.35	43.64	407,020.65
DEVELOPMENT SERVICES					
PERSONNEL					
100-5-15-5000 SALARY	91,915.00	8,232.12	35,633.69	38.77	56,281.31
100-5-15-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-15-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-15-5010 TRAINING	2,000.00	0.00	1,070.00	53.50	930.00
100-5-15-5020 HEALTH INSURANCE	9,300.00	775.00	4,093.95	44.02	5,206.05
100-5-15-5030 WORKERS COMP INSURANCE	950.00	0.00	929.99	97.89	20.01
100-5-15-5035 SOCIAL SECURITY/MEDICARE	7,031.00	629.76	2,498.22	35.53	4,532.78
100-5-15-5040 UNEMPLOYMENT COMP INSUR	113.00	0.00	0.00	0.00	113.00
100-5-15-5050 TX MUNICIPAL RETIREMENT SYS	11,030.00	1,015.86	4,334.84	39.30	6,695.16
100-5-15-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	122,339.00	10,652.74	48,560.69	39.69	73,778.31
SUPPLIES & OPERATION EXP					
100-5-15-5101 FAX / COPIER	100.00	0.00	0.00	0.00	100.00
100-5-15-5103 PRINTING & REPRODUCTION	350.00	93.78	2,862.45	817.84 (2,512.45)
100-5-15-5110 POSTAGE	700.00	0.00	0.00	0.00	700.00



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

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DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
100-5-15-5114 COVID-19	0.00	0_00	0.00	0.00	
100-5-15-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-15-5120 SUBSCRIPTIONS & MEMBERSHIPS	500.00	0.00	0.00	0.00	500.00
100-5-15-5125 TRAVEL	1 000 00	0.00	0.00	0.00	1 000 00
100-5-15-5140 TELEDUONE	1,000.00	71 66	240.66	0.00	1,000.00
100-5-15-5153 Credit Card Services	1,000.00	/1.55	340.66	34.07	11 000 04
100-5-15-5157 PECODDS MANACEMENT	0.00	0.00	11,220.04	0.00 (11,220.04)
100-5-15-5159 OFFICE SUDDITES	200.00	0.00	0.00	0.00	0.00
100-5-15-5161 Tree Services	200.00	2 600 001	34.80	17.40	165.20
100-5-15-5180 Signs and Parricador		3,800.00)	0.00	0.00	0.00
100-5-15-5100 Signs and Bairicades	800.00	0.00	0.00	0.00	800.00
TOTAL SUPPLIES & OPERATION EXP	4,650.00 (3,378.64)	14,506.95	311.98 (9,856.95)
CONTRACTUAL SERVICES					
100-5-15-5200 BUILDING INSPECTION SERVICE	40,000.00	5,740.00	11.905.00	29.76	28.095.00
100-5-15-5201 Tech and GIS Services	0.00	0.00	0.00	0.00	20,000.00
100-5-15-5202 Publish / Notice Services	0.00	0.00	0.00	0.00	0.00
100-5-15-5210 LEGAL SERVICES	6.500.00	0.00	7 508 76	115 52 (1 008 761
100-5-15-5251 BUILDING PLAN REVIEWS	10,000.00	0.00	6,060,00	60.60	3,940,00
100-5-15-5252 ZONING REVIEWS	20,000,00	10.810.00	27 516 25	137 58 (7 516 251
100-5-15-5253 ARBORIST REVIEWS	2,500,00	4,350,00	4 350 00	174 00 (1 850 00)
100-5-15-5257 MY PERMIT NOW	6,000,00	99 00	1 344 80	22 41	4 655 20
100-5-15-5270 ENGINEERING SERVICES	7,000,00	12 307 50	25 476 25	363 95 1	18 476 251
100-5-15-5271 INTERIM DEVELOPMENT SERVICES	0,00	12,007.00	23,4,0.23	0 00	10,4/0.23
TOTAL CONTRACTUAL SERVICES	92,000.00	33,306.50	84,161.06	91.48	7,838.94
MISCELLANEOUS OTHER EXP					
100-5-15-5300 COMPUTER SOFTWARE & SUPPORT	4,000.00	15.73	34.88	0.87	3,965.12
100-5-15-5331 ADVERTISING	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL MISCELLANEOUS OTHER EXP	5,000.00	15.73	34.88	0.70	4,965.12
TOTAL DEVELOPMENT SERVICES	223 989 00	40 596 33	147 263 58	65 75	76 725 42
	223,303.00	40,000.00	147,203.30	05.75	70,723.42
SANITATION					
CONTRACTUAL SERVICES					
100-5-20-5270 ENGINEERING SERVICES	0.00	0.00	0.00	0.00	0.00
100-5-20-5286 SPRING CLEAN-UP	1,000.00	0.00	0.00	0.00	1,000.00
100-5-20-5287 STORM DEBRIS AND CLEAN-UP	3,000.00	0.00	0.00	0.00	3,000.00
TOTAL CONTRACTUAL SERVICES	4,000.00	0.00	0.00	0.00	4,000.00
MISCELLANEOUS OTHER EXP					
100-5-20-5370 WASTE & DISPOSAL SERVICE	144,000.00	0.00	36,362.96	25.25	107,637.04
TOTAL MISCELLANEOUS OTHER EXP	144,000.00	0.00	36,362.96	25.25	107,637.04
TOTAL SANITATION	148,000.00	0.00	36,362.96	24.57	111,637.04

50.00% OF FISCAL YEAR

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100-GENERAL FUND

50	.00%	OF	FISCAL	YEAR
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DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
UTILITY BILLING				4,994,000	
PERSONNEL		6 000 07	07 000 00	25.04	E1 247 70
100-5-25-5000 SALARY	79,040.00	6,923.07	27,692.28	35.04	51,347.72
100-5-25-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100 5 25 5009 RETIREMENT PAIOUT RESERVE	1 000 00	0.00	0.00	0.00	1 000 00
100-5-25-5010 TRAINING	9 422 00	815 78	4 078 90	43 29	5 343 10
100-5-25-5020 HEALTH INSORANCE	950 00	0 00	929 99	97.89	20.01
100-5-25-5035 WORKERS COMP INSORANCE	6.047.00	529.62	2.118.47	35.03	3,928,53
100-5-25-5040 INEMPLOYMENT COMP INSUR	113.00	0.00	0.00	0.00	113.00
100-5-25-5050 TX MUNICIPAL RETIREMENT SYS	9,485,00	854.31	3,373.39	35.57	6,111.61
100-5-25-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	106,057.00	9,122.78	38,193.03	36.01	67,863.97
			•		
SUPPLIES & OPERATION EXP					
100-5-25-5101 FAX / COPIER	100.00	0.00	0.00	0.00	100.00
100-5-25-5103 PRINTING & REPRODUCTION	4,000.00	0.00	1,017.17	25.43	2,982.83
100-5-25-5110 POSTAGE	2,500.00	0.00	1,290.00	51.60	1,210.00
100-5-25-5120 SUBSCRIPTIONS & MEMBERSHIPS	500.00	0.00	0.00	0.00	500.00
100-5-25-5125 TRAVEL	500.00	0.00	0.00	0.00	500.00
100-5-25-5140 TELEPHONE	750.00	53.67	277.82	37.04	4/2.18
100-5-25-5158 OFFICE SUPPLIES	8 950 00	21.09	2 645 94		6 204 16
TOTAL SUPPLIES & OPERATION EXP	8,950.00	/4./0	2,045.04	29.50	0,304.10
CONTRACTUAL SERVICES					
100-5-25-5202 T TECH FEES	200.00	0.00	0.00	0.00	200.00
100-5-25-5210 LEGAL SERVICES	500.00	0.00	0.00	0.00	500.00
TOTAL CONTRACTUAL SERVICES	700.00	0.00	0.00	0.00	700.00
MISCELLANEOUS OTHER EXP					
100-5-25-5300 COMPUTER SOFTWARE/SUPPORT	15,000.00	28.69	530.99	3.54	14,469.01
100-5-25-5331 ADVERTISING	500.00	0.00	0.00	0.00	500.00
TOTAL MISCELLANEOUS OTHER EXP	15,500.00	28.69	530.99	3.43	14,969.01
TOTAL UTILITY BILLING	131,207.00	9,226.23	41,369.86	31.53	89,837.14
STREETS					
PERSONNEL					
100-5-30-5000 SALARY	56,819.00	5,768.90	21,216.30	37.34	35,602.70
100-5-30-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-30-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
100-5-30-5010 TRAINING	1,000.00	0.00	0.00	0.00	1,000.00
100-5-30-5020 HEALTH INSURANCE	7,765.00	343.63	1,525.43	19.64	6,239.57
100-5-30-5030 WORKERS COMP INSURANCE	1,400.00	0.00	1,370.52	97.89	29.48



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

% OF BUDGET CURRENT YEAR TO DATE CURRENT DEPARTMENTAL EXPENDITURES BUDGET PERIOD ACTUAL BUDGET BALANCE 441.33 1,662.39 38.24 2,684.61 4,347.00 100-5-30-5035 SOCIAL SECURITY/MEDICARE 81.00 0.00 6,818.00 1,310.87 0.00 0.00 0.00 100-5-30-5040 UNEMPLOYMENT COMP INSUR 0.00 81.00 51.46 3,508.87 3,309.13 1,310.87 100-5-30-5050 TX MUNICIPAL RETIREMENT SYS 0.00 100-5-30-5060 STORM RELATED PAYROLL 0.00 0.00 7,864.73 29,283.51 37.43 78,230.00 48,946.49 TOTAL PERSONNEL SUPPLIES & OPERATION EXP
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100-GENERAL FUND

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
POLICE					9)
PERSONNEL					
100-5-40-5000 SALARY	804,351.00	90,189.51	408,488.61	50.78	395,862.39
100-5-40-5002 HOLIDAY COMPENSATION	27,000.00	4,494.00	25,505.65	94.47	1,494.35
100-5-40-5006 OVERTIME	13,000.00	2,803.16	4,704.82	36.19	8,295.18
100-5-40-5007 STIPEND	15,000.00	800.00	3,362.50	22.42	11,637.50
100-5-40-5009 RETIREMENT PAYOUT RESERVE	15,000.00	0.00	0.00	0.00	15,000.00
100-5-40-5010 TRAINING	10,000.00	0.00	648.08	6.48	9,351.92
100-5-40-5011 RESERVE OFFICER PAY	15,000.00	318.50	1,358.50	9.06	13,641.50
100-5-40-5012 LEOSE Training	897.00	0.00	0.00	0.00	897.00
100-5-40-5020 HEALTH INSURANCE	91,000.00	7,870.61	52,205.61	57.37	38,794.39
100-5-40-5030 WORKERS COMP INSURANCE	23,600.00	0.00	21,634.59	91.67	1,965.41
100-5-40-5035 SOCIAL SECURITY/MEDICARE	65,740.35	7,227.78	32,614.52	49.61	33,125.83
100-5-40-5040 UNEMPLOYMENT COMP INSUR	1,000.00	0.00	11.20	1.12	988.80
100-5-40-5050 TX MUNICIPAL RETIREMENT SYS	103,122.12	8,437.91	49,756.22	48.25	53,365.90
100-5-40-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
100-5-40-5070 POLICE PROFESSIONAL LIABILITY	8,500.00	0.00	7,829.22	92.11	670.78
TOTAL PERSONNEL	1,193,210.47	122,141.47	608,119.52	50.96	585,090.95
SUPPLIES & OPERATION EXP					
100-5-40-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100-5-40-5103 PRINTING & REPRODUCTION	1,600.00	0.00	0.00	0.00	1,600.00
100-5-40-5105 TICKET WRITERS	0.00	0.00	0.00	0.00	0.00
100-5-40-5106 TICKET WRITER FEES	2,500.00	0.00	0.00	0.00	2,500.00
100-5-40-5107 POLICE QUALIFICATIONS	3,000.00	0.00	0.00	0.00	3,000.00
100-5-40-5108 PROPERTY & EVIDENCE	1,000.00	0.00	76.83	7.68	923.17
100-5-40-5109 BICICLE MAINTENANCE	250.00	0.00	0.00	0.00	250.00
100-5-40-5110 POSTAGE	250.00	0.00	0.00	0.00	250.00
100-5-40-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-40-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-40-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
100-5-40-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-40-5130 LEOSE FUNDS	0.00	0.00	0.00	0.00	0.00
100-5-40-5140 TELEPHONE	9,000.00	976.19	4,841.16	53.79	4,158.84
100-5-40-5143 POLICE CAR & ACCESSORIES	4,000.00	44.41	44.41	1.11	3,955.59
100-5-40-5144 POLICE SUPPLIES	3,000.00	126.33	594.69	19.82	2,405.31
100-5-40-5145 UNIFORMS & ACCESSORIES	7,500.00	581.39	1,518.82	20.25	5,981.18
100-5-40-5157 RECORDS MANAGEMENT	5,800.00	6,121.50	6,121.50	105.54 (321.50)
100-5-40-5158 OFFICE SUPPLIES	1,000.00	191.16	590.48	59.05	409.52
100-5-40-5159 NATIONAL NIGHT OUT SUPPLIES	2,500.00	0.00	187.97	7.52	2,312.03
100-5-40-5185 COMMUNICATION EQUIP MAINT	1,000.00	0.00	0.00	0.00	1,000.00
100-5-40-5106 KADAK CERTIFICATION	250.00	160.00	160.00	64.00	90.00
100-5-40-5195 VERICLE OPERATION	28,000.00	1,064.17	6,356.65	22.70	21,643.35
TOU-5-40-5196 VEHICLE MAINT & REPAIRS	5,000.00	157.50	1,392.52	27.85	3,607.48
TOTAL SUPPLIES & OPERATION EXP	75,650.00	9,422.65	21,885.03	28.93	53,764.97



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

PAGE: 11

BUDGET

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BALANCE

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET
CONTRACTUAL SERVICES				
100-5-40-5211 RADIO SERVICES	5,600.00	0.00	4,206,86	75.12
100-5-40-5216 DISPATCH SERVICES	29,979.00	29,979.00	29,979.00	100.00
100-5-40-5226 DRUG TESTING	200.00	40.00	80.00	40.00
100-5-40-5238 APPLICANT TESTING	1,000.00	10.21	0.00	0.00
100-5-40-5239 LABORATORY SERVICES	1,000.00	0.00	0.00	0.00
100-5-40-5255 VEHICLE INSURANCE	5,250.00	0.00	5,209.40	99.23
100-5-40-5258 ACL EVENT	34,000.00	0.00	39,328.24	115.67 (
TOTAL CONTRACTUAL SERVICES	77,029.00	30,029.21	78,803.50	102.30 (
MISCELLANEOUS OTHER EXP				
100-5-40-5300 COMPUTER SOFTWARE & SUPPORT	46,865.00	6,767.25	21,511.30	45.90
TOTAL MISCELLANEOUS OTHER EXP	46,865.00	6,767.25	21,511.30	45.90
CAPITAL OUTLAY				
100-5-40-5404 PD RADIOS	0.00	0.00	0.00	0.00
100-5-40-5411 VIDEO CAMERS & MICROPHONES	1,000.00	0.00	0.00	0.00
100-5-40-5414 COMPUTERS	3,000.00	0.00	0.00	0.00
100-5-40-5494 Vehicle Financing Note Debt Sv	34,002.00	0.00	0.00	0.00
100-5-40-5495 NEW VEHICLE & OUTFITTING	0.00	0.00	0.00	0.00
TOTAL CAPITAL OUTLAY	38,002.00	0.00	0.00	0.00
TOTAL POLICE	1,430,756.47	168,360.58	730,319.35	51.04
COURT				
PERSONNEL				
100-5-50-5000 SALARY	45 228 00	1 222 12	10 256 40	40 37
100-5-50-5002 HOLIDAY COMPENSATION	43,228.00	4,232.12	10,230.40	40.37
100-5-50-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00
100-5-50-5010 TRAINING	1,000,00	0.00	250.00	25 00
100-5-50-5020 HEALTH INSURANCE	900.00	81 58	424 03	47 11
100-5-50-5030 WORKERS COMP INSURANCE	500.00	0.00	1 957 88	391 58 (
100-5-50-5035 SOCIAL SECURITY/MEDICARE	3,460.00	438.50	1,968,32	56 89
100-5-50-5040 UNEMPLOYMENT COMP INSUR	200.00	0.00	2,000102	0 00
100-5-50-5050 TX MUNICIPAL RETIREMENT SYS	5,427.00	522.24	2,220,67	40 92
100-5-50-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	56,715.00	5,274.44	25,077.38	44.22
SUPPLIES & OPERATION EXP				
100-5-50-5101 FAX / COPIER	0.00	0.00	0.00	0.00
100-5-50-5103 PRINTING & REPRODUCTION	1,100.00	0.00	0.00	0.00
100-5-50-5110 POSTAGE	250.00	0.00	34.76	13.90
100-5-50-5114 COVID-19	0.00	0.00	0.00	0.00
100-5-50-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00
100-5-50-5120 SUBSCRIPTIONS & MEMBERSHIPS	100.00	0.00	507.00	507.00 (
100-5-50-5125 TRAVEL	100.00	0.00	0.00	0.00



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
100-5-50-5140 TELEPHONE	1 500 00	107 24	470 14	21 04	1 020 00
100-5-50-5157 RECORDS MANAGEMENT	1,300.00	107.34	4/9.14	0 00	1,020.86
100-5-50-5158 OFFICE SUPPLIES	250 00	8 78	54 38	21 75	195 62
TOTAL SUPPLIES & OPERATION EXP	3,300,00	116.12	1.075.28	32.58	2.224 72
	-,		1,0,0.20	52.50	
CONTRACTUAL SERVICES					
100-5-50-5201 COLLECTION AGENCY FEES	1,000.00	0.00	137.70	13.77	862.30
100-5-50-5206 INCODE ONLINE PMT PROCESSING	5,000.00	433.45	2,846.56	56.93	2,153.44
100-5-50-5210 LEGAL SERVICES	10,000.00	1,008.82	2,917.32	29.17	7,082.68
100-5-50-5212 PRESIDING JUDGE EXPENSE	18,000.00	1,500.00	9,000.00	50.00	9,000.00
100-5-50-5213 INTERPRETER FEES	1,100.00	0.00	200.00	18.18	900.00
TOTAL CONTRACTUAL SERVICES	35,100.00	2,942.27	15,101.58	43.02	19,998.42
MISCRIINNECTIC ONTER EVE					
100-5-50-5300 COMDITTED SOFTWADE C SUDDODT	1 600 00	051 50	2 770 04	225 60 4	0 170 040
TOTAL MISCELLANEOUS OTHER FYR	1,600.00	251.53	3,770.84	235.68 (2,170.84
TOTAL MISCELLANEOUS OTHER EXP	1,800.00	251.53	3,770.84	235.68 (2,170.84)
TOTAL COURT	96,715.00	8,584.36	45,025.08	46.55	51,689.92
PARK DEPARTMENT					
PERSONNEL		0 506 00	11 150 00	<u> </u>	
100-5-55-5000 SALARI 100-5-55-5002 HOLTDAY COMPENSATION	36,930.00	2,596.82	11,150.62	30.19	25,779.38
100-5-55-5002 HOLIDAL COMPENSATION	0.00	0.00	0.00	0.00	0.00
100-5-55-5010 TRAINING	3 000 00	0.00	0.00	0.00	2 000 00
100-5-55-5020 HEALTH INSURANCE	4 853 00	127 02	758 43	15 63	4 004 57
100-5-55-5030 WORKERS COMP INSURANCE	1 020 00	0.00	978 94	45.03	4,094.07
100-5-55-5035 SOCIAL SECURITY/MEDICARE	2,825.00	198.66	852.66	30.18	1.972 34
100-5-55-5040 UNEMPLOYMENT COMP INSUR	45.00	0.00	0.00	0.00	45.00
100-5-55-5050 TX MUNICIPAL RETIREMENT SYS	4,432.00	820.45	1,856,61	41.89	2,575.39
100-5-55-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	53,105.00	3,742.95	15,597.26	29.37	37,507.74
SUPPLIES & OPERATION EXP	0.00				
100-5-55-5101 FAX / COPIER	0.00	0.00	0.00	0.00	0.00
100 5 55 5110 PRINTING & REPRODUCTION	500.00	0.00	0.00	0.00	500.00
100-5-55-5110 POSTAGE	0.00	0.00	0.00	0.00	0.00
100-5-55-5114 COVID-19 100-5-55-5115 CHORN DELAMED EXDENCES	0.00	0.00	0.00	0.00	0.00
100-5-55-5120 SIDRM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-55-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-55-5130 UTTLITTES	2 500 00	79.00	410.26	16 11	2 090 74
100-5-55-5140 TELEPHONE	2,300.00	/ J. U.J 0. 00	410.20 Q 20	10.41	2,009.74
100-5-55-5157 RECORDS MANAGEMENT	0.00	0.00	0.20	0.00 (0.20)
100-5-55-5158 OFFICE SUPPLIES	250.00	8.78	39.86	15 94	210 14
100-5-55-5164 EQUIPMENT MAINT & REPAIRS	3,000.00	471.00	582.65	19.42	2.417.35
100-5-55-5171 EQUIPMENT	8,000.00	0.00	9,950.37	124.38 (1,950.37)



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

	CURRENT	CURRENT	YEAR TO DATE	ዩ of	BUDGET
DEPARTMENTAL EXPENDITURES	BUDGET	PERIOD	ACTUAL	BUDGET	BALANCE
100-5-55-5190 MATERIALS	6,500.00	1,019,45	1,400,27	21.54	5,099,73
100-5-55-5191 MAINTENANCE	8,000.00	0.00	3,441.50	43.02	4,558,50
100-5-55-5195 VEHICLE OPERATIONS	2,000.00	0.00	0.00	0.00	2,000.00
100-5-55-5196 VEHICLE MAINT & REPAIRS	1,000.00	113.09	113.09	11.31	886.91
100-5-55-5198 FIELDHOUSE SUP & MAINT-JANITOR	9,000.00	420.00	2,480.00	27.56	6,520.00
TOTAL SUPPLIES & OPERATION EXP	40,750.00	2,111.41	18,426.20	45.22	22,323.80
CONTRACTUAL SERVICES					
100-5-55-5255 VEHICLE INSURANCE	600.00	0.00	0.00	0.00	600.00
TOTAL CONTRACTUAL SERVICES	600.00	0.00	0.00	0.00	600.00
MISCELLANEOUS OTHER EXP					
100-5-55-5300 COMPUTER SOFTWARE & SUPPORT	500.00	0.96	4.36	0.87	495.64
100-5-55-5350 TOOLS/EQUIPMENT & REPAIR	1,000.00	445.85	538.81	53.88	461.19
TOTAL MISCELLANEOUS OTHER EXP	1,500.00	446.81	543.17	36.21	956.83
CAPITAL OUTLAY					
100-5-55-5455 IMPROV TO EXISTING PARK ASSETS	5,000.00	0.00	1,850.00	37.00	3,150.00
100-5-55-5456 PLANTS FOR WALKING TRAIL	0.00	0.00	0.00	0.00	0.00
100-5-55-5494 Veh Fin Note - Debt Service	785.00	0.00	0.00	0.00	785.00
100-5-55-5495 NEW VEHICLE & OUTFITTING	2,700.00	0.00	3,217.45	<u>_119.16</u> (517.45)
TOTAL CAPITAL OUTLAY	8,485.00	0.00	5,067.45	59.72	3,417.55
OTHER NON-DEPARTMENTAL					
100-5-55-5512 PLAYGROUND MULCH & MAINT	8,000.00	0.00	6,800.00	85.00	1,200.00
100-5-55-5515 MAINTENANCE BUILDING	0.00	0.00	94.95	0.00 (94.95)
TOTAL OTHER NON-DEPARTMENTAL	8,000.00	0.00	6,894.95	86.19	1,105.05
TOTAL PARK DEPARTMENT	112.440.00	6.301.17	46.529.03	41.38	65,910,97
	,	-,	,		
POBLIC WORKS					
SUPPLIES & OPERATION EXP					
100-5-65-5101 FAX / COPTER	0 00	0 00	0 00	0 00	0.00
100-5-65-5103 PRINTING & REPRODUCTION	0.00	0.00	0.00	0.00	0.00
100-5-65-5110 POSTAGE	0.00	0.00	0.00	0.00	0.00
100-5-65-5114 COVID-19	0.00	0.00	0.00	0.00	0.00
100-5-65-5115 STORM RELATED EXPENSES	0.00	0.00	0.00	0.00	0.00
100-5-65-5120 SUBSCRIPTIONS & MEMBERSHIPS	0.00	0.00	0.00	0.00	0.00
100-5-65-5125 TRAVEL	0.00	0.00	0.00	0.00	0.00
100-5-65-5130 UTILITIES	6,000.00	549.34	3,559.39	59.32	2,440.61
100-5-65-5140 TELEPHONE	300.00	21.47	98.97	32.99	201.03
100-5-65-5157 RECORDS MANAGEMENT	0.00	0.00	0.00	0.00	0.00
100-5-65-5158 OFFICE SUPPLIES	1,000.00	35.13	437.31	43.73	562.69
100-5-65-5191 MAINTENANCE	0.00	0.00	0.00	0.00	0.00
TOTAL SUPPLIES & OPERATION EXP	7,300.00	605.94	4,095.67	56.11	3,204.33



CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

100-GENERAL FUND

				50.00%	OF FISCAL YEAR
DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
CONTRACTUAL SERVICES 100-5-65-5258 ACL EVENT TOTAL CONTRACTUAL SERVICES	<u> </u>	0.00	0.00	0.00	10,500.00 10,500.00
MISCELLANEOUS OTHER EXP 100-5-65-5381 ANIMAL CONTROL/DISPOSAL TOTAL MISCELLANEOUS OTHER EXP	<u> 250.00 </u> 250.00	0.00	0.00	0.00	<u>250.00</u> 250.00
CAPITAL OUTLAY 100-5-65-5495 NEW VEHICLE & OUTFITTING TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00
OTHER NON-DEPARTMENTAL 100-5-65-5515 MAINTENANCE BUILDING TOTAL OTHER NON-DEPARTMENTAL	<u> </u>	39.00) 39.00)	<u>3,048.28</u> 3,048.28	<u>33.87</u> 33.87	<u>5,951.72</u> 5,951.72
TOTAL PUBLIC WORKS	27,050.00	566.94	7,143.95	26.41	19,906.05
TOTAL EXPENDITURES	3,148,417.47	352,354.75	1,429,275.84	45.40	1,719,141.63
REVENUES OVER/ (UNDER) EXPENDITURES	8,970.53 (234,301.55)	749,640.91	(740,670.38)

4-1-0000 01:02 PM Page 285	CITY OF ROLLI REVENUE & EXPENSE REP AS OF: MARCH 3	CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023			PAGE: 1	
200-WATER FUND FINANCIAL SUMMARY				50.00%	OF FISCAL YEAR	
	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE	
REVENUE SUMMARY						
NON-DEPARTMENTAL	1,354,350.00	79,689.49	587,675.51	43.39	766,674.49	
TOTAL REVENUES	1,354,350.00	79,689.49	587,675.51	43.39	766,674.49	
EXPENDITURE SUMMARY						
NON-DEPARTMENTAL	1,271,047.00	134,679.24	510,289.75	40.15	760,757.25	
TOTAL EXPENDITURES	1,271,047.00	134,679.24	510,289.75	40.15	760,757.25	
REVENUES OVER/ (UNDER) EXPENDITURES	83,303.00	(54,989.75)	77,385.76		5,917.24	

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200-WATER FUND

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
INVESTMENT INCOME 200-4-60-4400 INTEREST INCOME 200-4-60-4401 INTEREST INCOME-CHECKING TOTAL INVESTMENT INCOME	150.00 200.00 350.00	208.37 57.40 265.77	1,178.69 	785.79 (141.01 (417.34 (1,028.69) 82.01) 1,110.70)
MISCELLANEOUS REVENUE 200-4-60-4578 FUND BALANCE TRANSFER IN TOTAL MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00	0.00
UTILITY REVENUE 200-4-60-4600 WATER SALES 200-4-60-4610 LATE CHARGES 200-4-60-4628 CONNECT FEE TOTAL UTILITY REVENUE	1,350,000.00 3,000.00 <u>1,000.00</u> 1,354,000.00	77,611.19 1,812.53 0.00 79,423.72	584,396.28 1,812.53 0.00 586,208.81	43.29 60.42 0.00 43.29	765,603.72 1,187.47 1,000.00 767,791.19
OTHER REVENUE 200-4-60-4700 Fund Balance Transfer In 200-4-60-4718 TRANSFER FROM SR2014 DEBT SERV TOTAL OTHER REVENUE	0.00 0.00 0.00	0.00 0.00 0.00	0.00	0.00 0.00 0.00	0.00 0.00 0.00
TOTAL NON-DEPARTMENTAL	1,354,350.00	79,689.49	587,669.51	43.39	766,680.49
TOTAL REVENUES	1,354,350.00	79,689.49	587,669.51	43.39	766,680.49



200-WATER FUND

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR CURRENT CURRENT YEAR TO DATE % OF BUDGET DEPARTMENTAL EXPENDITURES BUDGET PERIOD ACTUAL BUDGET BALANCE NON-DEPARTMENTAL _____

 PERSONNEL
 214,195.00
 21,758.42
 77,530.60
 36.20
 150,000.00

 200-5-60-5002
 HOLIDAY COMPENSATION
 0.00
 0.00
 0.00
 0.00
 0.00

 200-5-60-5009
 RETIREMENT PAYOUT RESERVE
 0.00
 0.00
 0.00
 0.00
 0.00

 200-5-60-5010
 TRAINING
 3,000.00
 0.00
 618.75
 20.63
 2,381.25

 200-5-60-5020
 HEALTH INSURANCE
 29,900.00
 1,322.67
 5,527.69
 18.49
 24,372.31

 200-5-60-5030
 WORKERS COMP INSURANCE
 4,640.00
 0.00
 4,503.13
 97.05
 136.87

 200-5-60-5035
 SOCIAL SECURITY/MEDICARE
 16,386.00
 1,664.51
 5,930.36
 36.19
 10,455.64

 200-5-60-5050
 TX MUNICIPAL RETIREMENT SYS
 25,703.00
 3,670.75
 10,426.05
 40.56
 15,276.95

 200-5-60-5060
 STORM RELATED PAYROLL
 0.00
 0.00
 0.00
 0.00
 0.00

 200-5-60-5060
 STORM RELATED PAYROLL
 0.00
 294,124.00
 28,416.35
 104,536.58
 35.54
 189,587.42

 SUPPLIES & OPERATION EXP
 254,124.00
 254,124.00
 25,418.33
 104,356.35
 35.34
 105,367.42

 SUPPLIES
 0.00
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 200.5

 200-5-60-5103 PRINTING & REPRODUCTION
 250.00
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 200.00

 200-5-60-5111 POSTAGE
 2,500.00
 0.00
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 1,41.00
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 1,359.00

 200-5-60-5112 FORM RELATED EXPENSES
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 SUPPLIES & OPERATION EXP 200-5-60-5101 FAX / COPIER CONTRACTUAL SERVICES200-5-60-5200 BAD DEBT EXPENSE0.000.000.000.00200-5-60-5210 LEGAL SERVICES2,000.000.000.000.00200-5-60-5219 UTILITY BILLING/COLLECTION0.000.000.000.00200-5-60-5232 UTILITY BILLING/COLLECT ADDNL0.000.000.000.00200-5-60-5233 Crossroads Contract81,000.0013,500.0027,000.0033.33 0.00 0.00 0.00 0.00 0.00 2,000.00 0.00 0.00 54.000.00



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200-WATER FUND

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
200-5-60-5234 Crossroads Emerg/M&O Repairs	60,000,00	45 725 73	64 340 11	107 23 (4 340 11)
200-5-60-5241 EASEMENT IDENT & MAPPING	0.00	0.00	0.00	0.00	
200-5-60-5255 VEHICLE INSURANCE	1,000.00	0.00	963.47	96.35	36 53
200-5-60-5270 ENGINEERING SERVICES	25,000.00	8,351,25	11.986.25	47.95	13.013.75
200-5-60-5271 RATE CONSULTING SERVICES	4,000.00	0.00	0.00	0.00	4,000,00
200-5-60-5272 Water CIP	0.00	0.00	0.00	0.00	0.00
200-5-60-5276 PAYING AGENT FEES	200.00	0.00	0.00	0.00	200.00
200-5-60-5280 WATER PURCHASED	550,000.00	37,020.58	253,305.71	46.06	296,694,29
200-5-60-5296 TCEQ	3,000.00	0.00	1,504.30	50.14	1,495.70
200-5-60-5299 BOND INTEREST-SERIES 2014	0.00	0.00	0.00	0.00	0.00
TOTAL CONTRACTUAL SERVICES	726,200.00	104,597.56	359,099.84	49.45	367,100.16
MISCELLANEOUS OTHER EXP					
200-5-60-5300 COMPUTER SOFTWARE & SUPPORT	750.00	1.43	7.18	0.96	742 82
200-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
200-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	4,536,00	0.00 (4.536.00)
200-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	750.00	1.43	4,543.18	605.76 (3,793.18)
CAPITAL OUTLAY					
200-5-60-5494 Veh Fin Note - Debt Service	3,138.00	0.00	0.00	0.00	3,138,00
200-5-60-5495 NEW VEHICLE & OUTFITTING	7,200.00	0.00	8,579.86	119.16 (1,379,86)
TOTAL CAPITAL OUTLAY	10,338.00	0.00	8,579.86	82.99	1,758.14
TOTAL NON-DEPARTMENTAL	1,271,047.00	134,679.24	510,289.75	40.15	760,757.25
TOTAL EXPENDITURES	1,271,047.00	134,679.24	510,289.75	40.15	760,757.25
REVENUES OVER/(UNDER) EXPENDITURES	83,303.00 (54,989.75)	77,379.76		5,923.24
4-Page 289 201-STREET MAINTENANCE	CITY OF ROLLI REVENUE & EXPENSE REP AS OF: MARCH 3	INGWOOD PORT (UNAUDITED) 31ST, 2023			PAGE: 1
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FINANCIAL SUMMARY				50.00%	OF FISCAL YEAR
	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY					
NON-DEPARTMENTAL	256,115.00	13,625.85	87,171.18	34.04	168,943.82
TOTAL REVENUES	256,115.00	13,625.85	87,171.18	34.04	168,943.82
EXPENDITURE SUMMARY					
NON-DEPARTMENTAL	256,115.00	14,136.84	87,152.25	34.03	168,962.75
TOTAL EXPENDITURES	256,115.00 	14,136.84	87,152.25	34.03	168,962.75
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	(510.99)	18.93	(18.93)



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301-4-60-4700 UNEXPENDED BALANCE TRANSFER

TOTAL OTHER REVENUE

TOTAL NON-DEPARTMENTAL

TOTAL REVENUES

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

301-STREET MAINTENANCE

56,015.00

56,015.00

168,943.82

168,943.82

50.00% OF FISCAL YEAR CURRENT CURRENT YEAR TO DATE 8 OF BUDGET REVENUES BUDGET PERIOD ACTUAL BUDGET BALANCE NON-DEPARTMENTAL ______ TAXES 301-4-60-4039 STREET SALES TAX 200,000.00 13,590.70 87,032.53 43.52 112,967.47 TOTAL TAXES 200,000.00 13,590.70 87,032.53 43.52 112,967.47 INVESTMENT INCOME 301-4-60-4400 INTEREST INCOME 100.00 35.15 138.65 138.65 (38.65) TOTAL INVESTMENT INCOME 100.00 35.15 138.65 138.65 (38.65) MISCELLANEOUS REVENUE 301-4-60-4578 FUND BALANCE TRANSFER IN 0.00 0.00 0.00 0.00 0.00 TOTAL MISCELLANEOUS REVENUE 0.00 0.00 0.00 0.00 0.00 OTHER REVENUE

56,015.00

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301-STREET MAINTENANCE

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES 301-5-60-5200 BAD DEBT EXPENSE TOTAL CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00	0.00
MISCELLANEOUS OTHER EXP 301-5-60-5323 LIFT STATION INSPECT, EMERGENC 301-5-60-5324 VALVE MANHOLE GPS MAPPING PROG 301-5-60-5345 Depreciation Expense TOTAL MISCELLANEOUS OTHER EXP	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00
CAPITAL OUTLAY 301-5-60-5469 TRANSFER TO STREET DEPARTMENT TOTAL CAPITAL OUTLAY	<u>256,115.00</u> 256,115.00	14,136.84 14,136.84	87,152.25 87,152.25	<u>34.03</u> 34.03	168,962.75 168,962.75
TOTAL NON-DEPARTMENTAL	256,115.00	14,136.84	87,152.25	34.03	168,962.75
TOTAL EXPENDITURES	256,115.00	14,136.84	87,152.25	34.03	168,962.75
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	(510.99)	18.93	(18.93)

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310-COURT SECURITY FUND FINANCIAL SUMMARY

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY					
COURT	1,600.00	337.17	1,616.46	101.03 (16.46)
TOTAL REVENUES	1,600.00	337.17	1,616.46	101.03 (16.46)
EXPENDITURE SUMMARY					
COURT	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL EXPENDITURES	1,000.00	0.00	0.00	0.00	1,000.00
REVENUES OVER/(UNDER) EXPENDITURES	600.00	337.17	1,616.46	(1,016.46)



310-COURT SECURITY FUND

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
COURT REVENUE 310-4-50-4104 COURT SECURITY FEE 310-4-50-4105 MUNI COURT BLDG SECURITY TOTAL COURT REVENUE	1,500.00 100.00 1,600.00	328.17 9.00 337.17	1,592.46 24.00 1,616.46	106.16 (24.00 101.03 (92.46) 76.00 16.46)
INVESTMENT INCOME 310-4-50-4491 MUNI CT TECHNOLOGY TOTAL INVESTMENT INCOME	0.00	0.00	0.00	0.00	0.00
TOTAL COURT	1,600.00	337.17	1,616.46	101.03 (16.46)
TOTAL REVENUES	1,600.00	337.17	1,616.46	101.03 (16.46)



310-COURT SECURITY FUND

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
MISCELLANEOUS OTHER EXP 310-5-50-5311 OFFICE SECURITY TOTAL MISCELLANEOUS OTHER EXP	<u> </u>	0.00	0.00	0.00	1,000.00
TOTAL COURT	1,000.00	0.00	0.00	0.00	1,000.00
TOTAL EXPENDITURES	1,000.00	0.00	0.00	0.00	1,000.00
REVENUES OVER/ (UNDER) EXPENDITURES	600.00	337.17	1,616.46	(1,016.46)

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	Page 295		

320-COURT TECHNOLOGY FUND FINANCIAL SUMMARY

		CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY						an a
COURT	<u></u>	1,600.00	279.91	1,332.03	83.25	267.97
TOTAL REVENUES	===:	1,600.00	279.91	1,332.03	83.25	267.97
EXPENDITURE SUMMARY						
COURT		2,500.00	4.78	27.28	1.09	2,472.72
TOTAL EXPENDITURES	===:	2,500.00	4.78	27.28	1.09	2,472.72
REVENUES OVER/ (UNDER) EXPENDITURES	(900.00)	275.13	1,304.75		(2,204.75)

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320-COURT TECHNOLOGY FUND

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SEC COOKI HEIMODOSI FORD				50.00%	OF FISCAL YEAR
REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
COURT REVENUE 320-4-50-4102 COURT TECHNOLOGY FEE 320-4-50-4191 MUNI COURT TECHNOLOGY TOTAL COURT REVENUE	1,500.00 100.00 1,600.00	279.91 0.00 279.91	1,332.03 	88.80 0.00 83.25	167.97 100.00 267.97
TOTAL COURT	1,600.00	279.91	1,332.03	83.25	267.97
TOTAL REVENUES	1,600.00	279.91	1,332.03	83.25	267.97

4-12-2023 01:02 PM Page 297 320-COURT IECHNOLOGY FUND	CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023			PAGE: 3		
					50.00% O	F FISCAL YEAR
DEPARTMENTAL EXPENDITURES		CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT						
MISCELLANEOUS OTHER EXP 320-5-50-5300 COMPUTER SOFTWARE & SUPPORT TOTAL MISCELLANEOUS OTHER EXP		2,500.00	4.78 4.78	<u> </u>	<u> 1.09</u>	2,472.72
CAPITAL OUTLAY 320-5-50-5414 COMPUTERS TOTAL CAPITAL OUTLAY		0.00	0.00	0.00	0.00	0.00
TOTAL COURT		2,500.00	4.78	27.28	1.09	2,472.72
TOTAL EXPENDITURES		2,500.00	4.78	27.28	1.09	2,472.72
REVENUES OVER/ (UNDER) EXPENDITURES	(900.00)	275.13	1,304.75	(2,204.75)

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330-COURT EFFICIENCY FUND FINANCIAL SUMMARY

NO OI . HERCON SIDI /	2020			
			50.00% OF	F FISCAL YEAR
CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
100.00	0.00	0.00	0.00	100.00
100.00	0.00	0.00	0.00	100.00
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EXPENDITURE SUMMARY

REVENUE SUMMARY

TOTAL REVENUES

COURT

COURT		100.00	0.00	0.00	0.00	100.00
TOTAL EXPENDITURES		100.00	0.00	0.00	0.00	100.00
REVENUES OVER/ (UNDER)	EXPENDITURES	0.00	0.00	0.00		0.00



330-COURT EFFICIENCY FUND

				50.00%	OF FISCAL YEAR
REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
COURT REVENUE 330-4-50-4110 ADMINISTRATIVE COURT FEES TOTAL COURT REVENUE	<u> </u>	0.00	0.00	0.00	<u> 100.00</u> 100.00
TOTAL COURT	100.00	0.00	0.00	0.00	100.00
TOTAL REVENUES	100.00	0.00	0.00	0.00	100.00

4-	Page 300	1:02	PM
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330-COURT EFFICIENCY FUND

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
COURT					
SUPPLIES & OPERATION EXP 330-5-50-5158 OFFICE SUPPLIES TOTAL SUPPLIES & OPERATION EXP	<u> 100.00</u> 100.00	0.00	0.00	0.00	100.00
TOTAL COURT	100.00	0.00	0.00	0.00	100.00
TOTAL EXPENDITURES	100.00	0.00	0.00	0.00	100.00
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	0.00	0.00		0.00

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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

430-DEBT SERVICE FUND 2014 FINANCIAL SUMMARY

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY	аналан тараан				
NON-DE PARTMENTAL	200,250.00	996.60	200,236.06	99.99	13.94
TOTAL REVENUES	200,250.00	996.60	200,236.06	99.99	13.94
EXPENDITURE SUMMARY					
NON-DE PARTMENTAL	199,350.00	0.00	32,375.00	16.24	166,975.00
TOTAL EXPENDITURES	199,350.00	0.00	32,375.00	16.24	166,975.00
REVENUES OVER/(UNDER) EXPENDITURES	900.00	996.60	167,861.06		166,961.06)



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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

430-DEBT SERVICE FUND 2014

			50.00%	OF FISCAL YEAR
CURREN BUDGE	T CURRENT T PERIOD	YEAR TO DAT ACTUAL	IE % OF BUDGET	BUDGET BALANCE

NON-DEPARTMENTAL ________

REVENUES

TOTAL REVENUES	200,250.00	996.60	200,236.06	99.99	13.94
TOTAL NON-DEPARTMENTAL	200,250.00	996.60	200,236.06	99.99	13.94
MISCELLANEOUS REVENUE 430-4-60-4577 TRSF FROM STREETS-PAYING AGENT 430-4-60-4578 FUND BALANCE TRANSFER IN TOTAL MISCELLANEOUS REVENUE	400.00 0.00 400.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00 0.00 0.00	400.00 0.00 400.00
TAXES 430-4-60-4020 PENALTY & INTEREST ON TAXES 430-4-60-4031 PROPERTY TAX-DEBT SERVICE FD TOTAL TAXES	500.00 199,350.00 199,850.00	75.92 920.68 996.60	249.25 199,986.81 200,236.06	49.85 100.32 100.19	250.75 (<u>636.81</u>) (<u>386.06</u>)



430-DEBT SERVICE FUND 2014

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES 430-5-60-5200 BAD DEBT EXPENSE 430-5-60-5276 PAYING AGENT FEES 430-5-60-5298 BOND PRINCIPAL - SERIES 2014 430-5-60-5299 BOND INTEREST - SERIES 2014 TOTAL CONTRACTUAL SERVICES	0.00 400.00 140,000.00 58,950.00 199,350.00	0.00 0.00 0.00 0.00 0.00	0.00 200.00 0.00 32,175.00 32,375.00	0.00 50.00 0.00 <u>54.58</u> 16.24	0.00 200.00 140,000.00 26,775.00 166,975.00
MISCELLANEOUS OTHER EXP 430-5-60-5323 LIFT STATION INSPECT, EMERGENC 430-5-60-5324 VALVE MANHOLE GPS MAPPING PROG 430-5-60-5345 Depreciation Expense TOTAL MISCELLANEOUS OTHER EXP	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 	0.00 0.00 0.00 0.00
CAPITAL OUTLAY 430-5-60-5461 TRANSFER TO WATER FUND TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00
TOTAL NON-DEPARTMENTAL	199,350.00	0.00	32,375.00	16.24	166,975.00
TOTAL EXPENDITURES	199,350.00	0.00	32,375.00	16.24	166,975.00
REVENUES OVER/ (UNDER) EXPENDITURES	900.00	996.60	167,861.06	(166,961.06)

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50.00% OF FISCAL YEAR CURRENT CURRENT YEAR TO DATE % OF BUDGET BUDGET PERIOD ACTUAL BUDGET BALANCE

REVENUE SUMMARY					
NON-DE PARTMENTAL	314,635.00	1,568.00	314,623.78	100.00	11.22
TOTAL REVENUES	314,635.00	1,568.00	314,623.78	100.00	11.22
EXPENDITURE SUMMARY					
NON-DE PARTMENTAL	313,635.00	0.00	4,317.50	1.38	309,317.50
TOTAL EXPENDITURES	313,635.00 	0.00	4,317.50	1.38	309,317.50
REVENUES OVER/ (UNDER) EXPENDITURES	1,000.00	1,568.00	310,306.28		(309,306.28)

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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

440-DEBT SERVICE FUND 2012

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REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL				- 76 - 10	
TAXES 440-4-60-4020 PENALTY & INTEREST ON TAXES 440-4-60-4031 PROPERTY TAX-DEBT SERVICE FD TOTAL TAXES	1,000.00 313,235.00 314,235.00	119.85 1,448.15 1,568.00	392.46 314,231.32 314,623.78	39.25 _100.32 (607.54 996.32) 388.78)
MISCELLANEOUS REVENUE 440-4-60-4573 TRSF FROM WASTEWATER-PAY AGENT 440-4-60-4578 FUND BALANCE TRANSFER IN TOTAL MISCELLANEOUS REVENUE	400.00 0.00 400.00	0.00 0.00 0.00	0.00	0.00	400.00 0.00 400.00
TOTAL NON-DEPARTMENTAL	314,635.00	1,568.00	314,623.78	100.00	11.22
TOTAL REVENUES	314,635.00	1,568.00	314,623.78	100.00	11.22



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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

440-DEBT SERVICE FUND 2012

REVENUES OVER/ (UNDER) EXPENDITURES

309,306.28)

(

				50.00%	OF FISCAL YEAR
DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES 440-5-60-5200 BAD DEBT EXPENSE 440-5-60-5242 DEBT SERVICE-2012A INTEREST 440-5-60-5243 DEBT SERVICE-PRINCIPAL 2012A 440-5-60-5276 PAYING AGENT FEES TOTAL CONTRACTUAL SERVICES	0.00 8,235.00 305,000.00 400.00 313,635.00	0.00 0.00 0.00 0.00 0.00	0.00 4,117.50 0.00 200.00 4,317.50	0.00 50.00 0.00 <u>50.00</u> 1.38	0.00 4,117.50 305,000.00 200.00 309,317.50
MISCELLANEOUS OTHER EXP 440-5-60-5323 LIFT STATION INSPECT, EMERGENC 440-5-60-5324 VALVE MANHOLE GPS MAPPING PROG 440-5-60-5345 Depreciation Expense TOTAL MISCELLANEOUS OTHER EXP	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00
CAPITAL OUTLAY 440-5-60-5486 TRANSFER OUT TO WASTEWATER FD TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00
TOTAL NON-DEPARTMENTAL	313,635.00	0.00	4,317.50	1.38	309,317.50
TOTAL EXPENDITURES	313,635.00	0.00	4,317.50	1.38	309,317.50

1,000.00

1,568.00

310,306.28



450-DEBT SERVICE FUND 2019 FINANCIAL SUMMARY PAGE: 1

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY					
NON-DEPARTMENTAL	411,650.00	2,052.39	412,536.23	100.22 (886.23)
TOTAL REVENUES	411,650.00	2,052.39	412,536.23	100.22 (886.23)
EXPENDITURE SUMMARY					
NON-DE PARTMENTAL	410,650.00	0.00	147,825.00	36.00	262,825.00
TOTAL EXPENDITURES	410 ,650.00	0.00	147,825.00	36.00	262,825.00
REVENUES OVER/(UNDER) EXPENDITURES	1,000.00	2,052.39	264,711.23	(263,711.23)

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450-DEBT SERVICE FUND 2019

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DE PARTMENTAL					
TAXES 450-4-60-4020 PENALTY & INTEREST ON TAXES 450-4-60-4031 PROPERTY TAX-DEBT SERVICE FD TOTAL TAXES	1,000.00 410,250.00 411,250.00	156.10 1,896.29 2,052.39	513.13 412,023.10 412,536.23	51.31 <u>100.43</u> (486.87 1,773.10) 1,286.23)
MISCELLANEOUS REVENUE 450-4-60-4573 TRSF FROM WASTEWATER-PAY AGENT 450-4-60-4578 FUND BALANCE TRANSFER IN TOTAL MISCELLANEOUS REVENUE	400.00 0.00 400.00	0.00 0.00 0.00	0.00 0.00 0.00	0.00	400.00 0.00 400.00
TOTAL NON-DEPARTMENTAL	411,650.00	2,052.39	412,536.23	100.22 (886.23)
TOTAL REVENUES	411,650.00	2,052.39	412,536.23	100.22 (886.23)

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450-DEBT SERVICE FUND 2019

50.00% OF FISCAL YEAR

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DE PARTMENTAL					
CONTRACTUAL SERVICES 450-5-60-5200 BAD DEBT EXPENSE 450-5-60-5207 BOND PRINCIPAL-SERIES 2019 450-5-60-5208 BOND INTEREST - SERIES 2019 450-5-60-5276 PAYING AGENT FEES TOTAL CONTRACTUAL SERVICES	0.00 115,000.00 295,250.00 400.00 410,650.00	0.00 0.00 0.00 0.00 0.00	0.00 0.00 147,625.00 200.00 147,825.00	0.00 0.00 50.00 <u>50.00</u> 36.00	0.00 115,000.00 147,625.00 200.00 262,825.00
MISCELLANEOUS OTHER EXP 450-5-60-5323 LIFT STATION INSPECT, EMERGENC 450-5-60-5324 VALVE MANHOLE GPS MAPPING PROG 450-5-60-5345 Depreciation Expense TOTAL MISCELLANEOUS OTHER EXP	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00
CAPITAL OUTLAY 450-5-60-5462 TRANSFER OUT TOTAL CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00
TOTAL NON-DEPARTMENTAL	410,650.00	0.00	147,825.00	36.00	262,825.00
TOTAL EXPENDITURES	410,650.00	0.00	147,825.00	36.00	262,825.00
REVENUES OVER/ (UNDER) EXPENDITURES	1,000.00	2,052.39	264,711.23	(263,711.23)

4-10-0002-01:02 PM Page 310	CITY OF ROLLI REVENUE & EXPENSE REP AS OF: MARCH 3	CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023			PAGE: 1
FINANCIAL SUMMARY				50.00% (OF FISCAL YEAR
	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY					
NON-DEPARTMENTAL	315,515.00	1,574.51	316,200.34	100.22 (685.34)
TOTAL REVENUES	315,515.00	1,574.51	316,200.34	100.22 (685.34)
EXPENDITURE SUMMARY					
NON-DE PARTMENTAL	315,015.00	0.00	12,387.50	3.93	302,627.50
TOTAL EXPENDITURES	315,015.00	0.00	12,387.50	3.93	302,627.50
REVENUES OVER/ (UNDER) EXPENDITURES	500.00	1,574.51	303,812.84	(303,312.84)

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460-DEBT SERVICE FUND 2020

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
TAXES 460-4-60-4020 PENALTY & INTEREST ON TAXES 460-4-60-4031 PROPERTY TAX-DEBT SERVICE FD TOTAL TAXES	500.00 314,775.00 315,275.00	120.10 <u>1,454.41</u> 1,574.51	1,142.51 315,057.83 316,200.34	228.50 (100.09 (100.29 (642.51) 282.83) 925.34)
MISCELLANEOUS REVENUE 460-4-60-4573 TRSF FROM WASTEWATER-PAY AGENT 460-4-60-4578 FUND BALANCE TRANSFER IN TOTAL MISCELLANEOUS REVENUE	240.00 0.00 240.00	0.00	0.00 0.00 0.00	0.00	240.00 0.00 240.00
TOTAL NON-DEPARTMENTAL	315,515.00	1,574.51	316,200.34	100.22 (685.34)
TOTAL REVENUES	315,515.00	1,574.51	316,200.34	100.22 (685.34)

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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

460-DEBT SERVICE FUND 2020

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
CONTRACTUAL SERVICES 460-5-60-5200 BAD DEBT EXPENSE 460-5-60-5248 DEBT SERVICE INTEREST TAX NOTE 460-5-60-5249 DEBT SERVICE PRINCIPAL TAX NTS 460-5-60-5276 PAYING AGENT FEES TOTAL CONTRACTUAL SERVICES	0.00 24,775.00 290,000.00 240.00 315,015.00	0.00 0.00 0.00 0.00 0.00	0.00 12,387.50 0.00 0.00 12,387.50	0.00 50.00 0.00 	0.00 12,387.50 290,000.00 240.00 302,627.50
MISCELLANEOUS OTHER EXP 460-5-60-5323 LIFT STATION INSPECT, EMERGENC 460-5-60-5324 VALVE MANHOLE GPS MAPPING PROG 460-5-60-5345 Depreciation Expense TOTAL MISCELLANEOUS OTHER EXP	0.00 0.00 <u>0.00</u> 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00
TOTAL NON-DEPARTMENTAL	315,015.00	0.00	12,387.50	3.93	302,627.50
TOTAL EXPENDITURES	315,015.00	0.00	12,387.50	3.93	302,627.50
REVENUES OVER/ (UNDER) EXPENDITURES	500.00	1,574.51	303,812.84	(303,312.84)



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702-DRAINAGE FUND FINANCIAL SUMMARY

REVENUE SUMMARY

TOTAL REVENUES

12,900.00

50.00% OF FISCAL YEAR CURRENT CURRENT YEAR TO DATE % OF BUDGET BUDGET BUDGET BALANCE PERIOD ACTUAL 6,000.00 30,900.00 18,000.00 58.25 12,900.00

18,000.00

58.25

6,000.00

EVERNMENT TOTOL STIMMADY

CAPITAL IMPROVEMENTS

EXPENDITURE SUMMARI						
CAPITAL IMPROVEMENTS	<u></u>	58,000.00	66,495.16	98,241.66	169.38	(40,241.66)
TOTAL EXPENDITURES		58,000.00	66,495.16	98,241.66	169.38 	(40,241.66)
REVENUES OVER/(UNDER) EXPENDITURES	(27,100.00)(60,495.16)((80,241.66)		53,141.66

30,900.00



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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

702-DRAINAGE FUND					
				50.00% (OF FISCAL YEAR
REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
CAPITAL IMPROVEMENTS					
CHARGE FOR SERVICES					
702-4-35-4221 RSDP Zone 7	100.00	0.00	0.00	0.00	100 00
702-4-35-4222 RSDP Zone 1	100.00	0.00	0.00	0.00	100.00
702-4-35-4223 RSDP Zone 5	100.00	0.00	0.00	0.00	100.00
702-4-35-4224 RCDP Zone 8	100.00	0.00	0.00	0.00	100.00
702-4-35-4225 RSDP ZONE 5	100.00	0.00	0.00	0.00	100.00
702-4-35-4226 RSDP ZONE 3	100.00	0.00	0.00	0.00	100.00
702-4-35-4227 RSDP ZONE4	100.00	0.00	0.00	0.00	100.00
702-4-35-4228 RSDP ZONE 6	100.00	0.00	0.00	0.00	100.00
702-4-35-4229 RSDP ZONE 9	100.00	0.00	0.00	0.00	100.00
TOTAL CHARGE FOR SERVICES	900.00	0.00	0.00	0.00	900.00
LICENSE & PERMITS					
702-4-35-4309 Site Drainage Inspect Fee	0.00	0.00	0.00	0.00	0.00
702-4-35-4360 DRAINAGE REVIEW REVENUE	30,000.00	6,000.00	18,000.00	60.00	12,000,00
TOTAL LICENSE & PERMITS	30,000.00	6,000.00	18,000.00	60.00	12,000.00
MISCELLANEOUS REVENUE					
702-4-35-4500 TRANSFER FROM GENERAL FUND	0.00	0.00	0.00	0.00	0.00
702-4-35-4578 FUND BALANCE TRANSFER-IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00	0.00
TOTAL CAPITAL IMPROVEMENTS	30,900.00	6,000.00	18,000.00	58.25	12,900.00
TOTAL REVENUES	30,900.00	6,000.00	18,000.00	58.25	12,900.00



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702-DRAINAGE FUND

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

					50.00% O	F FISCAL YEAR
DEPARTMENTAL EXPENDITURES		CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
CAPITAL IMPROVEMENTS						
CONTRACTUAL SERVICES 702-5-35-5203 Final Site Drainage Inspection 702-5-35-5221 NIXON PLEASANT DRAINAGE IMPROV 702-5-35-5222 HUBBARD-HATLEY-PICKWICK DRAIN 702-5-35-5270 ENGINEERING SERVICES 702-5-35-5274 NIXON PLEASANT DRAINAGE IMPROV TOTAL CONTRACTUAL SERVICES		0.00 0.00 50,000.00 50,000.00 50,000.00	0.00 32,859.98 15,859.83 14,430.00 0.00 63,149.81	0.00 39,972.48 15,859.83 37,851.25 0.00 93,683.56	0.00 0.00 (0.00 (75.70 0.00 187.37 (0.00 39,972.48) 15,859.83) 12,148.75 0.00 43,683.56)
CAPITAL OUTLAY 702-5-35-5407 DRAINAGE EXPENDITURES ZONE 7 702-5-35-5485 MS-4 EXPENDITURES TOTAL CAPITAL OUTLAY		0.00 8,000.00 8,000.00	0.00 3,345.35 3,345.35	0.00 4,558.10 4,558.10	0.00 56.98 56.98	0.00 3,441.90 3,441.90
TOTAL CAPITAL IMPROVEMENTS		58,000.00	66,495.16	98,241.66	169.38 (40,241.66)
TOTAL EXPENDITURES		58,000.00	66,495.16	98,241.66	169.38 (40,241.66)
REVENUES OVER/(UNDER) EXPENDITURES	(27,100.00)(60,495.16)(80,241.66)		53,141.66

Page 316 800-WASTE WATER FUND	CITY OF ROLLING REVENUE & EXPENSE REPOR AS OF: MARCH 31S	WOOD T (UNAUDITED) T, 2023			PAGE: 1
FINANCIAL SUMMARY				50.00% 0	OF FISCAL YEAR
	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE SUMMARY					
NON-DE PARTMENTAL	974,576.00	81,097.54	506,737.94	52.00	467,838.06
TOTAL REVENUES	974,576.00 ===================================	81,097.54	506,737.94	52.00	467,838.06
EXPENDITURE SUMMARY					
NON-DE PARTMENTAL	974,576.00	94,953.64	375,162.51	38.49	599,413.49
TOTAL EXPENDITURES	974,576.00	94,953.64	375,162.51	38.49 ======	599,413.49
REVENUES OVER/(UNDER) EXPENDITURES	0.00 (13,856.10)	131,575.43	(131,575.43)

CITY OF ROLLINGWOOD

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CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

800-WASTE WATER FUND

				50.00% (OF FISCAL YEAR
REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
INVESTMENT INCOME	050.00	1 044 55			
800-4-60-4400 INTEREST INCOME 800-4-60-4401 INTEREST INCOME-CHECKING	250.00	1,044.57	5,908.89	2,363.56 (5,658.89)
TOTAL INVESTMENT INCOME	400.00	1,081.93	6,148.47	1,537.12 (5,748.47)
MISCELLANEOUS REVENUE					
800-4-60-4565 Grant Revenues	0.00	0.00	0.00	0.00	0.00
800-4-60-4578 FUND BALANCE TRANSFER IN	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00	0.00
UTILITY REVENUE					
800-4-60-4620 WASTEWATER	800,000.00	70,667.35	444,499.91	55.56	355,500.09
800-4-60-4628 CONNECT FEE	3,500.00	0.00	0.00	0.00	3,500.00
TOTAL UTILITY REVENUE	803,500.00	70,667.35	444,499.91	55.32	359,000.09
OTHER REVENUE					
800-4-60-4700 UNEXPENDED BALANCE TRANSFER	61,516.00	0.00	0.00	0.00	61,516.00
800-4-60-4706 INDUSTRIAL WASTE SURCHARGE	11,000.00	1,168.74	7,012.44	63.75	3,987.56
800-4-60-4709 PUD WASTEWATER SURCHARGE	98,160.00	8,179.52	49,077.12	50.00	49,082.88
800-4-60-4/32 TRANSFER FROM 2012 DEBT SVC-FD	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER REVENCE	1/0,6/6.00	9,348.26	56,089.56	32.86	114,586.44
TOTAL NON-DEPARTMENTAL	974,576.00	81,097.54	506,737.94	52.00	467,838.06
TOTAL REVENUES	974,576.00	81,097.54	506,737.94	52.00	467,838.06



DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
NON-DEPARTMENTAL					
PERSONNEL					
800-5-60-5000 SALARY	214,195.00	21,758.42	77,530.58	36.20	136,664.42
800-5-60-5002 HOLIDAY COMPENSATION	0.00	0.00	0.00	0.00	0.00
800-5-60-5009 RETIREMENT PAYOUT RESERVE	0.00	0.00	0.00	0.00	0.00
800-5-60-5010 TRAINING	2,500.00	0.00	1,151.50	46.06	1,348.50
800-5-60-5020 HEALTH INSURANCE	29,900.00	1,322.67	5,527.69	18.49	24,372.31
800-5-60-5030 WORKERS COMP INSURANCE	4,640.00	0.00	4,601.02	99.16	38.98
800-5-60-5035 SOCIAL SECURITY/MEDICARE	16,386.00	1,664.51	5,930.36	36.19	10,455.64
800-5-60-5040 UNEMPLOYMENT COMP INSUR	300.00	0.00	0.00	0.00	300.00
800-5-60-5050 TX MUNICIPAL RETIREMENT SYS	25,703.00	3,670.75	10,426.05	40.56	15,276.95
800-5-60-5060 STORM RELATED PAYROLL	0.00	0.00	0.00	0.00	0.00
TOTAL PERSONNEL	293,624.00	28,416.35	105,167.20	35.82	188,456.80
SUDDITES & ODERATION EXP					
800-5-60-5103 PRINTING & REPRODUCTION	100 00	0 00	0 00	0 00	100 00
800-5-60-5125 TRAVEL	2 500 00	0.00	0.00	0.00	2 500 00
800-5-60-5130 UTTLITTES	2,300.00	0.00	0.00	0.00	2,000.00
800-5-60-5145 UNIFORMS & ACCESSORIES	1 500 00	232 64	397 63	26 51	1 102 37
800-5-60-5163 CRINDER PIMP MAINT/REPLACEMENT	25 000 00	5 239 23	10 159 88	40 64	14 840 12
800-5-60-5166 MAINTENANCE & REPAIRS	47,000,00	3,673,34	14,743 10	31 37	32,256,90
800-5-60-5167 ADMINISTRATIVE FEES	28 000 00	0 00	14,745.10	0 00	28 000 00
800-5-60-5168 Transfer to Utility Billing	63 785 00	0.00	0.00	0.00	63 785 00
800-5-60-5171 FOULTPMENT	30 100 00	0.00	38 412 04	127 61 (8 312 04
800-5-60-5193 METER REPLACEMENT	34 500 00	0.00	0.00		34 500 00
800-5-60-5195 VEHICLE OPERATIONS	2 000 00	416 64	1 673 25	83 66	326 75
TOTAL SUPPLIES & OPERATION EXP	234,485.00	9,561.85	65,385.90	27.88	169,099.10
			·		
CONTRACTUAL SERVICES	0.00		0.00		0.00
800-5-60-5200 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
800-5-60-5210 LEGAL SERVICES	2,000.00	0.00	0.00	0.00	2,000.00
800-5-60-5218 ANNUAL TELEVISING/SMOKE TEST	32,500.00	0.00	0.00	0.00	32,500.00
800-5-60-5219 UTILITY BILLING/COLLECTIONE	0.00	0.00	0.00	0.00	0.00
800-5-60-5232 UTILITY BILLING-COLLECT ADDNL	0.00	0.00	0.00	0.00	0.00
800-5-60-5233 Crossroads Contract	97,980.00	16,330.00	32,660.00	33.33	65,320.00
800-5-60-5234 Crossroads Emerg/M&O Repairs	40,000.00	9,994.60	25,304.57	63.26	14,695.43
800-5-60-5240 INSURANCE - PROP & GEN LIAB	1,450.00	0.00	425.32	29.33	1,024.68
800-5-60-5255 VEHICLE INSURANCE	1,000.00	0.00	1,287.25	128.73 (287.25
800-5-60-5270 ENGINEERING SERVICES	20,000.00	1,730.00	2,507.50	12.54	17,492.50
800-5-60-5271 RATE CONSULTING SERVICES	0.00	0.00	0.00	0.00	0.00
800-5-60-5290 WASTEWATER FEES	230,000.00	27,752.10	107,653.87	46.81	122,346.13
800-5-60-5292 INDUSTRIAL WASTE SURCHARGES	12,000.00	1,168.74	5,843.70	48.70	6,156.30
TOTAL CONTRACTUAL SERVICES	436,930.00	56,975.44	175,682.21	40.21	261,247.79



800-WASTE WATER FUND

PAGE: 4

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
MISCELLANEOUS OTHER EXP			· · · · · · · · · · · · · · · · · · ·		
800-5-60-5300 COMPUTER SOFTWARE & SUPPORT	1,000.00	0.00 (4,20)	0.42-	1,004,20
800-5-60-5323 LIFT STATION INSPECT, EMERGENC	0.00	0.00	0.00	0.00	0.00
800-5-60-5324 VALVE MANHOLE GPS MAPPING PROG	0.00	0.00	0.00	0.00	0.00
800-5-60-5325 CCTV INSPECTION AND PIPE CLEAN	0.00	0.00	0.00	0.00	0.00
800-5-60-5342 DEBT SERVICE - 2012A INTEREST	0.00	0.00	0.00	0.00	0.00
800-5-60-5345 Depreciation Expense	0.00	0.00	0.00	0.00	0.00
TOTAL MISCELLANEOUS OTHER EXP	1,000.00	0.00 (4.20)	0.42-	1,004.20
CAPITAL OUTLAY					
800-5-60-5494 Veh Fin Note - Debt Service	3,137.00	0.00	0.00	0.00	3,137,00
800-5-60-5495 NEW VEHICLE & OUTFITTING	5,400.00	0.00	6,434,90	119.16 (1,034,90)
800-5-60-5496 LIFT STATION AUTOMATION	0.00	0.00	0.50	0.00 (0.50)
800-5-60-5497 LIFT STATION EMERGENCY POWER	0.00	0.00	22,496.00	0.00 (22,496.00)
TOTAL CAPITAL OUTLAY	8,537.00	0.00	28,931.40	338.89 (20,394.40)
TOTAL NON-DEPARTMENTAL	974,576.00	94,953.64	375,162.51	38.49	599,413.49
TOTAL EXDENDITIERS	974 576 00	94 953 64	375 162 51	38 49	599 113 19
		J4, 333.04			
REVENUES OVER/(UNDER) EXPENDITURES	0.00 (13,856.10)	131,575.43	(131,575.43)

NOTE: YTD ACTUAL AS OF MARCH 31, 2023; 50% OF FISCAL YEAR

REVENUE STATUS & COMPARISO	N TO P	RIOR YEAR					
	CURR	ENT YEAR:			PRIOR YEAR:		CURRENT YR
		EST. REVENUE	YTD	PERCENT		YTD	COMPARED TO PY YR
SALES TAX REVENUE	\$	200,000	\$ 87,033	44%	\$	87,179	100%

BUDGET STATUS & COMPARISON TO PRIOR YEAR

		CURRE	NT YEAR:				CURRENT YR
			BUDGET	YTD	PERCENT	YTD	COMPARED TO PY YR
ECONOMIC	DEVELOPMENT:						
	REVENUE	\$	-	\$ -	#DIV/0!	\$ -	#DIV/0!
	EXPENDITURES	\$	20,000	\$ -	0%	\$ -	#DIV/0!
NON-PROJ	ECTED RELATED:						
	REVENUE	\$	200,000	\$ 89,660	45%	\$ 87,229	103%
	EXPENDITURES	\$	77,000	\$ 1,718	2%	\$ -	#DIV/0!
ADDITIONA	AL NEW PROJECTS:						
	REVENUE	\$	-	\$ -	#DIV/0!	\$ -	#DIV/0!
	EXPENDITURES	\$	128,000	\$ -	0%	\$ -	#DIV/0!
		CURRE	NT YEAR:				CURRENT YR
RECAP:			BUDGET	YTD	PERCENT	YTD	COMPARED TO PY YR
	REVENUE	\$	200,000	\$ 89,660	45%	\$ 87,229	103%
	EXPENDITURES	\$	225,000	\$ 1,718	1%	\$ -	#DIV/0!



500-RCDC

ASSETS _____

EQUITY _____

CITY OF ROLLINGWOOD BALANCE SHEET AS OF: MARCH 31ST, 2023

ACCOUNT # ACCOUNT DESCRIPTION BALANCE 500-1000 RCDC OPERATING CASH 365,179.19 500-1005 TEXPOOL 129,917.58 500-1100 DUE FROM CITY 13,590.70 500-1350 SALES TAX RECEIVABLE 0.00 508,687.47 TOTAL ASSETS 508,687.47 ____ LIABILITIES ______ 500-2000 ACCOUNTS PAYABLE 0.00 500-2020 ACCOUNTS PAYABLE RCDC 0.00 500-2030 PAYABLE TO CITY 24,542.19 500-2060 Retirement Payout Reserve 0.00 500-2140 Vehicle Financing Notes 0.00 TOTAL LIABILITIES 24,542.19 500-3000 FUND BALANCE-UNAPPROPRATED 396,203.27 500-3001 XXFUND BALANCE 0.00 500-3010 OTHER FUND BALANCE 0.00 TOTAL BEGINNING EQUITY 396,203.27 TOTAL REVENUE 89,659.71 TOTAL EXPENSES 1,717.70 TOTAL REVENUE OVER/ (UNDER) EXPENSES 87,942.01

TOTAL LIABILITIES, EQUITY & REV. OVER/ (UNDER) EXP.

TOTAL EQUITY & REV. OVER/(UNDER) EXP.

508,687.47 _ _ _ _ _ _ _ _ _ _

484,145.28

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500-RCDC FINANCIAL SUMMARY

		CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET		BUDGET BALANCE
REVENUE SUMMARY							
NON-PROJECT RELATED		200,000.00	14,112.56	89,659.71	44.83		110,340.29
TOTAL REVENUES		200,000.00	14,112.56	89,659.71	44.83		110,340.29
				<u>ف ال ت ت ت ت ت ت لا با ال ال ال ال ت ال ت</u>		===	<u>م هم ما کا کا کا محمد ما ما ما</u>
EXPENDITURE SUMMARY							
ECONOMIC DEVELOPMENT NON-PROJECT RELATED ADDITIONAL NEW PROJECTS		20,000.00 77,000.00 128,000.00	0.00 0.00 0.00	0.00 1,717.70 0.00	0.00 2.23 0.00		20,000.00 75,282.30 128,000.00
TOTAL EXPENDITURES		225,000.00	0.00	1,717.70	0.76		223,282.30
REVENUES OVER/(UNDER) EXPENDITURES	(25,000.00)	14,112.56	87,942.01		(112,942.01)

4-Page 323 :05 PM

500-RCDC

REVENUES

CITY OF ROLLINGWOOD REVENUE & EXPENSE REPORT (UNAUDITED) AS OF: MARCH 31ST, 2023

29.

			50.00% O	F FISCAL YEAR
CURRENT	CURRENT	YEAR TO DATE	% OF	BUDGET
BUDGET	PERIOD	ACTUAL	BUDGET	BALANCE

NON-PROJECT RELATED

500-4-90-4400 INTEREST INCOME 0.00 506.76 2,544.27 0.00 (500-4-90-4401 INTEREST INCOME 0.00 15.10 82.92 0.00 (TOTAL INVESTMENT INCOME 0.00 521.86 2,627.19 0.00 (TOTAL NON-PROJECT RELATED 200,000.00 14,112.56 89,659.71 44.83	2,544.27) 82.92) 2,627.19) 110,340.29
500-4-90-4400 INTEREST INCOME 0.00 506.76 2,544.27 0.00 (500-4-90-4401 INTEREST INCOME 0.00 15.10 82.92 0.00 (TOTAL INVESTMENT INCOME 0.00 521.86 2,627.19 0.00 (2,544.27) 82.92) 2,627.19)
INVESTMENT INCOME	
TAXES500-4-90-4000 SALES TAX REVENUE200,000.0013,590.7087,032.5243.52TOTAL TAXES200,000.0013,590.7087,032.5243.52	112,967.48 112,967.48



500-RCDC

50.00% OF FISCAL YEAR CURRENT CURRENT YEAR TO DATE 8 OF BUDGET DEPARTMENTAL EXPENDITURES BUDGET PERIOD ACTUAL BUDGET BALANCE ECONOMIC DEVELOPMENT د د د د د د د د د د د د تا د تا د تا د OTHER NON-DEPARTMENTAL 500-5-80-5524 ROLLINGWOOD BUS PROMOTION 20,000.00 0.00 0.00 0.00 20,000.00 500-5-80-5527 COVID-19 RELIEF PROGRAM 0.00 0.00 0.00 0.00 0.00 TOTAL OTHER NON-DEPARTMENTAL 20,000.00 0.00 0.00 0.00 20,000.00 TOTAL ECONOMIC DEVELOPMENT 20,000.00 0.00 0.00 0.00 20,000.00 NON-PROJECT RELATED ____ CONTRACTUAL SERVICES 500-5-90-5275 ADMIN SERVICES AGREEMENT 72,000.00 0.00 0.00 0.00 72,000.00 TOTAL CONTRACTUAL SERVICES 72,000.00 0.00 0.00 0.00 72,000.00 MISCELLANEOUS OTHER EXP 500-5-90-5380 LEGAL EXPENSES 5,000.00 0.00 1,717.70 34.35 3,282.30 TOTAL MISCELLANEOUS OTHER EXP 5,000.00 0.00 34.35 1,717.70 3,282.30 TOTAL NON-PROJECT RELATED 77,000.00 0.00 1,717.70 2.23 75,282.30 ADDITIONAL NEW PROJECTS MISCELLANEOUS OTHER EXP 500-5-95-5387 MOPAC LEGAL EXPENSES 40,000.00 0.00 0.00 0.00 40,000.00 500-5-95-5388 PARK IMPROVEMENT PROJECT 0.00 0.00 0.00 0.00 0.00 500-5-95-5389 COMPREHENSIVE PLAN 0.00 0.00 0.00 0.00 0.00 500-5-95-5390 COMMERCIAL CODES UPDATES COMP 30,000.00 0.00 0.00 0.00 30,000.00 500-5-95-5391 MOBILITY, CONNECTIVITY & SAFET 55,000.00 0.00 0.00 0.00 55,000.00 500-5-95-5392 PARK AMENITIES AND PROMOTION 3,000.00 0.00 0.00 0.00 3,000.00 TOTAL MISCELLANEOUS OTHER EXP 128,000.00 128,000.00 0.00 0.00 0.00 TOTAL ADDITIONAL NEW PROJECTS 128,000.00 0.00 0.00 0.00 128,000.00 TOTAL EXPENDITURES 225,000.00 0.00 1,717.70 0.76 223,282.30 در <u>مر مر مر مر بن نار این</u> REVENUES OVER/(UNDER) EXPENDITURES (25,000.00) 14,112.56 87,942.01 (112,942.01)
CITY OF ROLLINGWOOD MONTHLY STATS Sales Tax Revenue

FY 2022-2023	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Total	Current Average
	82,262.51	93,797.25	72,703.78	97,775.09	91,553.76	84,821.05							522,913	87,152

	Oct-21	Nov-21	Dec-21	lan-22	Feb-22	Mar-22	Apr-22	May-22	lun-22	lul-22	Aug-22	Sep-22	Total	12 Month
FY 2021-2022	000 11		200 21	5011 22			, (p		5411 <u>-</u>	54. 22	/ tag ==	000	lotai	Average
	72,380.73	79,529.64	84,255.00	81,958.78	82,911.62	128,709.17	65,708.05	76,333.56	76,333.56	86,675.43	89,293.24	173,811.51	1,097,900	91,492

Comparison by Month	Oct	Nov	Dec	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Total To Date
Total Increase or Decrease	9,882	14,268	-11,551	15,816	8,642	-43,888	-65,708	-76,334	-76,334	-86,675	-89,293	-173,812	-\$574,987
Total % Increase or Decrease	13.65%	17.94%	-13.71%	19.30%	10.42%	-34.10%	-100.00%	-100.00%	-100.00%	-100.00%	-100.00%	-194.65%	-143.38%

Sales Tax Rev	enues FY 2020-2	021				Total:	\$908,6	557		12 Mo. Avg.	\$75,721.44
Oct-20	Nov-20	Dec-20	Jan-21	Feb-21	Mar-21	Apr-21	May-21	Jun-21	Jul-21	Aug-21	Sep-21
70,776.65	74,920.30	79,286.51	77,436.97	65,213.56	69,320.28	61,788.83	97,371.56	80,219.56	70,604.82	78,433.91	83,284.29

Sales Ta	ax Reve	enues FY 2019-2	2020				Total:	\$953,	312		12 Mo. Avg.	\$79,442.63
Oct-	·19	Nov-19	Dec-19	Jan-20	Feb-20	Mar-20	Apr-20	May-20	Jun-20	Jul-20	Aug-20	Sep-20
91,0)77	74,497	81,278	83,217	100,946	83,922	69,958	96,980	52,200	65,591	76,475	77169.25

Sales Tax Rev	enues FY 2018-2	2019				Total:	\$869,	629		12 Mo. Avg.	\$72,469
Oct-18	Nov-18	Dec-18	Jan-19	Feb-19	Mar-19	Apr-19	May-19	Jun-19	Jul-19	Aug-19	Sep-19
67,571	73,123	77,158	71,452	80,971	72,136	96,237	79,896	91,090	72,701	87,223	70.733
Sales Tax Rev	enues FY 2017-2	2018				Total:	\$846,	033		12 Mo. Avg.	\$70,503
Oct-17	Nov-17	Dec-17	Jan-18	Feb-18	Mar-18	Apr-18	May-18	Jun-18	Jul-18	Aug-18	Sep-18
70,733	72,033	70,289	55,644	57,445	57,218	60,690	58,942	82,731	131,881	71,529	56,898
Sales Tax Rev	enues FY 2016-2	2017				Total:	\$636,	653		12 Mo. Avg.	\$53,054
Oct-16	Nov-16	Dec-16	Jan-17	Feb-17	Mar-17	Apr-17	May-17	Jun-17	Jul-17	Aug-17	Sep-17
60,763	52,993	50,776	58,251	58,466	48,582	57,935	53,949	50,885	53,050	58,131	58,131
Sales Tax Rev	enues FY 2015-2	2016				Total:	\$636,	653		12 Mo. Avg.	\$53,054
Oct-15	Nov-15	Dec-15	Jan-16	Feb-16	Mar-16	April-16	May-16	June-16	July-16	Aug-16	Sept-16
47,352	60,770	52,993	50,776	58,251	58,466	48,582	57,935	53,949	50,885	53,050	43,645
Sales Tax Rev	enues FY 2014-2	2015				Total:	\$661,	044		12 Mo. Avg.	\$55,087
Oct-14	Nov-14	Dec-14	Jan-15	Feb-15	Mar-15	April-15	May-15	June-15	July-15	Aug-15	Sept-15
52,711	53,417	60,449	55,382	70,179	60,870	43,543	51,854	60,473	48,865	51,030	52,271
Sales Tax Rev	enues FY 2013-2	2014				Total:	\$637.	361		12 Mo. Avg.	\$53,113

Sales Tax Rev	enues FY 2013-2	014				Total:	\$637,	361		12 Mo. Avg.	\$53,113
Oct-13	Nov-13	Dec-13	Jan-14	Feb-14	Mar-14	Apr-14	May-14	June-14	July-14	Aug-14	Sept-14
55,277	49,054	61,523	58,436	62,246	49,770	48,155	52,803	50,076	50,043	50,828	49,150

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CITY OF ROLLINGWOOD PAYMENT AUTHORIZATION

Date:	3/14/2023	Budget Code: See below	k
Vendor:	ATS Engineers/Inspectors/Surveyors	Invoice #: See below	l l
	4910 West Hwy 290	Invoice Date: See below	
	Austin, TX 78735	Account No. Rollingwood	
Vendor ID:	ATS		
Nature of exper	nse/expenditure:		
Justification of	expense/expenditure:		

	Description	INCODE	 Quanity		Extended Cost
Inv #412663	Building Plan Reviews	1/4/2023 100-5-15-5251	 1	\$0.00	\$0.00
Inv #I-1163080	Inspections	1/31/2023 100-5-15-5200	1	\$3,135.00	\$3,135.00
Inv #414255	Inspections	1/31/2023 100-5-15-5200	 1	\$65.00	\$65.00
Inv #I-1173419	Inspections	2/28/2023 100-5-15-5200	 1	\$2,540.00	\$2,540.00
			1	\$0.00	\$0.00
			1	\$0.00	\$0.00
			1	\$0.00	\$0.00
				0	
				TOTAL COST	\$5,740.00

Approved by:

Department Supervisor:

Finance Dept:

City Secretary:

City Administrator:

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AW	

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Date: 03/14/23

Date:______ Date:______3/16/23

				BILLED - SERVICE ORDER SUMMARY BILLING CYCLE: FEBRUARY 2023 CITY OF ROLLINGWOOD					je 327
# 0/S	SVC DAT	E COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
BASIC SE	RVICE								
376271A	02/27/23	02/27/23	403 NIXON AVENUE	BASIC SERVICE	0.00	0.00	14,915.00	0.00	14,915.00
						BASIC SE	ERVICE SUBTOT	AL	14,915.00
GRINDER	PUMP IS	sues							
369627A	12/25/22	02/07/23	307 INWOOD RD	GRINDER PUMP PROBLEM. TANK WAS FULL, WE PUMPED IT DOWN IN TO BARRELS. FOUND PUMP NOT WORKING. SENT TO TO HYDRO SOURCE. HYDRO SENT TO TO HYDRO SOURCE. HYDRO SOURCE: PUMP DRAWING LOCKED ROTOR AMPS, PULLED PUMP AND FOUND A RAG LODGED INSIDE. REMOVED DEBRIS, TESTED AND REINSTALLED PUMP. OPERATIONAL. CITY STAFF REQUESTED WE HANDLE.	233.64	342.68	7.32	920.00	1,503.64
372214A	01/23/23	02/09/23	405 VALE ST	GRINDER PUMP PROBLEM - RUN DRY. HYDROSOURCE: DROPPED IN SPARE. CITY STAFF REQUESTED WE HANDLE.	128.17	152.68	7.32	1,313.84	1,602.01
					GRI	NDER PUMP (SSUES SUBTOT	AL	3,105.65
LIFT STA	NOI								
371205A	01/09/23	01/29/23	CORW - LS3 - ALMARION WAY	NEED TECHNICIAN - LIFT STATION IN HIGH LEVEL - PUMPED STATION DOWN - CONTACTED FACILITIES ABOUT PUMP 1 NOT KEEPING UP WITH FLOW	110.27	58.80	00.0	0.00	169.07
371720A	01/16/23	02/01/23	CORW - LS1 - DELLANA LN	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.0	1,370.80	1,389.24
371721A	01/16/23	02/01/23	CORW - LS3 - ALMARION WAY	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.00	1,523.11	1,541.55
03/09/23	12:47:14 PM							Pa	31. 31 .

Page



DATE	INVOICE
1/31/2023	I-1163080

City of Rollingwood Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/2/2023

PAST DUE

DESCRIPTION	AMOUNT
Electrical Rough Inspection (Failed - 1/4/2023) at 102 Riley Road,	65.00
Rollingwood	
Frame-Mechanical-Electrical-Plumbing Inspection (Failed - 1/18/2023) at 102	65.00
Riley Road, Rollingwood	
Frame-Mechanical-Electrical-Plumbing Reinspection (Passed - 1/23/2023) at	65.00
102 Riley Road, Rollingwood	
Gas Inspection (Failed - 1/13/2023) at 102 Pool Riley Road, Rollingwood	65.00
(Bluffington)	
Pool Bonding Inspection (Failed - 1/13/2023) at 102 Pool Riley Road,	65.00
Rollingwood (Bluffington)	
Foundation Pre-pour Inspection - AD (Failed - 1/13/2023) at 102 Pool Riley	65.00
Road, Rollingwood (Bluffington)	
Plumbing Rough Inspection (Partial Passed - 1/17/2023) at 102 Pool Riley	65.00
Road, Rollingwood	
Layout Inspection (Passed - 1/26/2023) at 108 Pool Kristi Drive, Rollingwood	0.00
Layout Inspection (Failed - 1/26/2023) at 108 Pool Kristi Drive, Rollingwood	65.00
Plumbing Rough Inspection (Passed - 1/20/2023) at 2801 Vance, Rollingwood	65.00
Frame Reinspection (Passed - 1/23/2023) at 2801 Hubbard, Rollingwood	65.00
Pool Steel Bonding Inspection (Passed - 1/11/2023) at 2803 Pool Pickwick	65.00
Lane, Rollingwood	
Plumbing Rough Inspection (Passed - 1/11/2023) at 2803 Pool Pickwick Lane,	65.00
Rollingwood	
Final Gas Inspection (Passed - 1/5/2023) at 2804 Rockway Cove, Rollingwood	65,00
Plumbing Rough Inspection (Failed - 1/24/2023) at 302 Vale St, Rollingwood	65.00
Plumbing Rough Reinspection (Passed - 1/26/2023) at 302 Vale St,	65.00
Rollingwood	arments/creates
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Balance Due

4910 West Hwy 290, Austin Texas 78735 512-328-6995 Page 1



DATE	INVOICE
1/31/2023	I-1163080

City of Rollingwood		
Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/2/2023

PAST DUE

DESCRIPTION	AMOUNT
Plumbing Rough Inspection (Failed - 1/30/2023) at 302 Pool Vale St,	65.00
Rollingwood	
Layout Inspection (Passed - 1/12/2023) at 302 pool Vale St, Rollingwood	65.00
Final Plumbing Inspection (Failed - 1/24/2023) at 303 Inwood, Rollingwood	65.00
Final Mechanical-Electrical-Plumbing Inspection (Passed - 1/25/2023) at 304	65.00
Almarion Drive, Rollingwood	7.5
Frame Inspection (Passed - 1/9/2023) at 3101 Bee Caves Rd, Rollingwood (Commercial)	75.00
Wallboard Inspection (Passed - 1/9/2023) at 3101 Bee Caves Rd, Rollingwood (Commercial)	75.00
Frame-Mechanical-Electrical-Plumbing Inspection (Failed - 1/6/2023) at 3101	0.00
ste 200 Bee Caves Rd, Rollingwood (Commercial)	
Frame-Mechanical-Electrical-Plumbing Inspection (Passed - 1/10/2023) at	75.00
3101 ste 200 Bee Caves Rd, Rollingwood (Commercial)	
Mechanical Inspection (Passed - 1/30/2023) at 3103 ste 202 Bee Caves Rd,	75.00
Rollingwood (Commercial)	
Mechanical Inspection (Passed - 1/30/2023) at 3103 ste 203 Bee Caves Rd, Rollingwood (Commercial)	75.00
Frame-Mechanical-Electrical Inspection (Passed - 1/25/2023) at 3103 ste 204	75.00
Bee Caves Rd, Rollingwood (Commercial)	
Wallboard Inspection (Passed - 1/27/2023) at 3103 ste 204 Bee Caves Rd,	75.00
Rollingwood (Commercial)	
Mechanical Inspection (Passed - 1/30/2023) at 3103 ste 204 Bee Caves Rd,	75.00
Rollingwood (Commercial)	
Copper Inspection (Passed - 1/4/2023) at 4 Michelle Circle, Rollingwood	65.00
	Payments/Credits

Balance Due

4910 West Hwy 290, Austin Texas 78735 512-328-6995 Page 2





DATE	INVOICE
1/31/2023	I-1163080

City of Rollingwood		
Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/2/2023

PAST DUE

DESCRIPTION	AMOUNT
Pool Steel Bonding Inspection (Passed - 1/4/2023) at 4 Michelle Circle,	65.00
Rollingwood	
Foundation Pre-pour Inspection - AD (Passed - 1/4/2023) at 4 Michelle Circle,	65.00
Rollingwood	
Temporary Power Inspection (Passed - 1/4/2023) at 4 Michelle Circle,	65.00
Rollingwood	
Final Electrical Inspection (Failed - 1/5/2023) at 401 Vale St, Rollingwood	65.00
Final Electrical-Plumbing Inspection (Passed - 1/12/2023) at 401 Vale St,	65.00
Rollingwood	
Final Mechanical Inspection (Passed - 1/12/2023) at 401 Vale St, Rollingwood	65.00
Mechanical, Electrical and/or Plumbing Inspection (Passed - 1/26/2023) at 402	65.00
Inwood, Rollingwood	
Final Inspection (Passed - 1/24/2023) at 414 Pool Brady Ln, Westlake Hills	65.00
Frame-Mechanical-Electrical-Plumbing Inspection (Reinspect required -	65.00
1/6/2023) at 4814 Kollingwood Dr., Rollingwood	
Frame-Mechanical-Electrical-Plumbing Inspection (Correct and Proceed -	0.00
1/10/2025) at 4614 Kollingwood DL, Kollingwood	65 DD
Rollingwood	05.00
Wallboard Inspection (Passed - 1/30/2023) at 4815 Timberline Drive	65.00
Rollingwood	03.00
Frame Inspection (Correct and Proceed - 1/18/2023) at 4906 Timberline Drive	65.00
Rollingwood	02.00
Wallboard Inspection (Passed - 1/3/2023) at 5014 Timberline, Rollingwood	65.00
Foundation Pre-pour Inspection - AD (Passed - 1/16/2023) at 5014 POOL	65.00
Timberline, Rollingwood	
	Payments/Credits

 Balance Due	
4910 West Hwy 290. Austin Texas 78735	



DATE	INVOICE
1/31/2023	I-1163080

City of Rollingwood Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/2/2023

PAST DUE

DESCRIPTION	AM	IOUNT
Layout Inspection (Passed - 1/4/2023) at 5014 Pool Timberline, Rollingwood		65.00
Foundation Pre-pour Inspection - AD (Passed - 1/25/2023) at 5014 Pool Timberline, Rollingwood		65.00
Plumbing Rough Inspection (Passed - 1/12/2023) at 5015 Timberline,		65.00
Plumbing Rough Inspection (Passed - 1/19/2023) at 5015 Timberline,		65.00
Final Gas Inspection (Passed - 1/31/2023) at 601 Riley Road, Rollingwood		65.00
Sales Tax		0.00
	North New York	
	Davananta (Curd'	80.00
	rayments/Credits	\$0.00
We accept cash, checks, Visa, Master Card, American Express, and Discover. You may call 512.328.6995 to charge by phone. A late fee will be added to the invoice total for \$15.00 or 10% of the invoice balance, whichever the greater, if payment is not received immediately.		
Balance	Due	\$3,135.00

4910 West Hwy 290, Austin Texas 78735 512-328-6995 Page 4

Page 332 Abel Campos

From:	Development Services
Sent:	Tuesday, March 14, 2023 1:44 PM
То:	Abel Campos
Subject:	FW: Reminder - Past Due Invoice: Invoice I-1163080 from ATS Engineers, Inspectors, &
	Surveyors
Attachments:	Inv_I1163080_from_ATS_Engineers_InspectorsSurveyors_13069350_27656.pdf

Thank you! Sincerely,

Nikki Stautzenberger Development Services Manager

Qualified Construction Stormwater Inspector #6628 City of Rollingwood 512.327.1838 www.rollingwoodtx.gov



From: Meredith Widlaski <meredith_widlaski@ats-engineers.com>

Sent: Tuesday, March 14, 2023 1:05 PM

To: Development Services <developmentservices@rollingwoodtx.gov>

Cc: Desiree Adair <dadair@rollingwoodtx.gov>; Abel Campos <acampos@rollingwoodtx.gov> Subject: Reminder - Past Due Invoice: Invoice I-1163080 from ATS Engineers, Inspectors, & Surveyors







DATE INVOICE 1/31/2023 414255

City of Rollingwood		
Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/2/2023

PAST DUE

DESCRIPTION	AMOUNT	
Building - Mechanical - Electrical - Plumbing Final Inspection at 5012 Timberline Dr., Rollingwood, TX, 78746 Inspection Results: Building Final - (Passed) Mechanical Final - (Passed) Electrical Final - (Passed) Plumbing Final - (Passed) Completed on 01/09/2023	65.00	
Sales Tax	0.00	
	ayments/Credits \$0.00	
We accept cash, checks, Visa, Master Card, American Express, and Discover. You may call 512.328.6995 to charge by phone. A late fee will be added to the invoice total for \$15.00 or 10% of the invoice balance, whichever the greater, if payment is not received immediately.		
Balance D	ue \$65.00	

4910 West Hwy 290, Austin Texas 78735 512-328-6995

Page 335 Abel Campos

From:	Development Services
Sent:	Tuesday, March 14, 2023 1:44 PM
То:	Abel Campos
Subject:	FW: Reminder - Past Due Invoice: Invoice 414255 from ATS Engineers, Inspectors, &
	Surveyors
Attachments:	Inv_414255_from_ATS_Engineers_InspectorsSurveyors_13075547_27656.pdf

Thank you! Sincerely,

Nikki Stautzenberger Development Services Manager

Qualified Construction Stormwater Inspector #6628 City of Rollingwood 512.327.1838 www.rollingwoodtx.gov



From: Meredith Widlaski <meredith_widlaski@ats-engineers.com>

Sent: Tuesday, March 14, 2023 1:04 PM

To: Development Services <developmentservices@rollingwoodtx.gov>

Cc: Desiree Adair <dadair@rollingwoodtx.gov>; Abel Campos <acampos@rollingwoodtx.gov> **Subject:** Reminder - Past Due Invoice: Invoice 414255 from ATS Engineers, Inspectors, & Surveyors

ATS Engineers, Inspectors, & Surveyor	rs	
Invoice PAST DUE 414255 Due:03/02/2023	Amount Due: \$65.00	
Dear Customer,		
Just a reminder that we haven't received a payment for your past due invoice- 414255 for 65.00. If you have not already done so, please remit payment at your earliest convenience.		
If you have questions, please contact us at 512.328.6995 ext. 0, or via email to Lucy_Zamora@ats-engineers.com.		
Thank you for your business, we appreciate it very	y much.	
Sincerely, ATS Engineers, Inspectors, & Surveyors		





DATE	INVOICE
2/28/2023	I-1173419

City of Rollingwood Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/30/2023

DESCRIPTION	AMOUNT
Insulation Inspection (Passed - 2/9/2023) at 102 Riley Road, Rollingwood	65.00
Deck Bonding Inspection (Passed - 2/10/2023) at 102 Riley Road,	65.00
Rollingwood	
Final Inspection (Passed - 2/14/2023) at 19 pool Treemont Drive, Rollingwood	65.00
Final Gas Inspection (Passed - 2/21/2023) at 2500 Pickwick Lane,	65.00
Rollingwood	
Final Mechanical Inspection (Passed - 2/6/2023) at 2900 Bee Cave Rd,	75.00
Rollingwood (Commercial)	
Plumbing Rough Inspection (Failed - 2/28/2023) at 301 Pleasant Drive,	65.00
Rollingwood	
Plumbing Rough Inspection (Passed - 2/15/2023) at 302 Vale St, Rollingwood	65.00
Pool Bonding Inspection (Passed - 2/10/2023) at 302 POOL Vale St,	65.00
Rollingwood	
Plumbing Rough Reinspection (Passed - 2/6/2023) at 302 Pool Vale St,	65.00
Rollingwood	
Plumbing Rough Inspection (Passed - 2/7/2023) at 302 Pool Vale St,	65.00
Rollingwood	
Final Plumbing Reinspection (Failed - 2/9/2023) at 303 Inwood, Rollingwood	65.00
Final Gas Inspection (Passed - 2/14/2023) at 303 Inwood, Rollingwood	65.00
Pool Deck Steel Bonding Inspection (Passed - 2/14/2023) at 304 Almarion	65.00
Drive, Rollingwood	
Electrical Rough Inspection (Passed - 2/16/2023) at 3103 STE 203 Bee Caves	75.00
Rd, Rollingwood (Commercial)	
Wallboard Inspection (Passed - 2/20/2023) at 3103 ste 203 Bee Caves Rd,	75.00
Kollingwood (Commercial)	
	Payments/Credits

Balance Due

4910 West Hwy 290, Austin Texas 78735 512-328-6995 Page 1



DATE	INVOICE
2/28/2023	I-1173419

City of Rollingwood		
Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/30/2023

DESCRIPTION	AMOUNT
Electrical Rough Inspection (Failed - 2/20/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Electrical Rough Reinspection (Passed - 2/22/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Final Mechanical-Electrical-Plumbing Inspection (Passed - 2/23/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	75.00
Final Inspection (Passed - 2/23/2023) at 3103 ste 204 Bee Caves Rd, Rollingwood (Commercial)	. 75.00
Gas Inspection (Passed - 2/24/2023) at 3202 Pickwick Lane, Rollingwood	65.00
Water-Sewer Inspection (Failed - 2/20/2023) at 3210 Pickwick Lane, Rollingwood	65.00
Water-Sewer Inspection (Reinspect required - 2/22/2023) at 3210 Pickwick Lane, Rollingwood	65.00
Water Line Inspection (Passed - 2/28/2023) at 3210 Pickwick Lane, Rollingwood	65.00
Frame Inspection (Passed - 2/9/2023) at 402 Inwood, Rollingwood	65.00
Pool Bonding Underground Electrical Inspection (Passed - 2/23/2023) at 402 Pool Inwood, Rollingwood	65.00
Plumbing Rough Inspection (Passed - 2/23/2023) at 402 Pool Inwood, Rollingwood	65.00
Layout Inspection (Passed - 2/23/2023) at 402 Pool Inwood, Rollingwood	65.00
Layout Inspection (Passed - 2/24/2023) at 4080 Pool Timberline Drive, Rollingwood	65.00
Frame Reinspection (Passed - 2/9/2023) at 4814 Rollingwood Dr., Rollingwood	65.00
	Payments/Credits

Balance Due

4910 West Hwy 290, Austin Texas 78735 512-328-6995 Page 2



DATE	INVOICE
2/28/2023	I-1173419

City of Rollingwood Attn: City Administrator 403 Nixon Drive	P.O. #:	DUE DATE
Rollingwood, TX 78746		3/30/2023

DESCRIPTION	AMOUNT
Insulation Inspection (Passed - 2/9/2023) at 4814 Rollingwood Dr., Rollingwood	65.00
Water Line Inspection (Passed - 2/15/2023) at 4826 Rollingwood Dr., Rollingwood	65.00
Sewer Inspection (Reinspect required - 2/22/2023) at 4826 Rollingwood Dr., Rollingwood	65.00
Electrical Meter Inspection (Passed - 2/15/2023) at 5014 Rollingwood Dr., Rollingwood	65.00
Foundation Pre-pour Inspection - AD (Passed - 2/16/2023) at 5015 Timberline, Rollingwood	65.00
Layout Inspection (Passed - 2/16/2023) at 5015 Timberline, Rollingwood	65.00
Slab Ground UFER Inspection (Passed - 2/16/2023) at 5015 Timberline, Rollingwood	65.00
Electrical Rough Inspection (Passed - 2/23/2023) at 5015 Timberline, Rollingwood	65.00
Final Mechanical-Electrical-Plumbing Inspection (Passed - 2/9/2023) at 601 Riley Road, Rollingwood	65,00
Sales Tax	. 0.00
	Payments/Credits \$0.00
We accept cash, checks, Visa, Master Card, American Express, and Discover. You may call 512.328.699: be added to the invoice total for \$15.00 or 10% of the invoice balance, whichever the greater, if payment i	5 to charge by phone. A late fee will s not received immediately.
Balance	Due \$2,540.00
4 A # A \$42	

4910 West Hwy 290, Austin Texas 78735 512-328-6995

Page 340 ADEL Campos

From:Development ServicesSent:Monday, March 6, 2023 1:54 PMTo:Abel CamposSubject:FW: Invoice I-1173419 from ATS Engineers, Inspectors, & SurveyorsAttachments:Inv_I1173419_from_ATS_Engineers_Inspectors_Surveyors_4876.pdf

31.

Thank you! Sincerely,

Nikki Stautzenberger

Development Services Manager Qualified Construction Stormwater Inspector #6628 City of Rollingwood 512,327,1838

www.rollingwoodtx.gov



From: Lupita Garcia <Lupita_Garcia@ats-engineers.com>
Sent: Friday, March 3, 2023 11:27 AM
To: Development Services <developmentservices@rollingwoodtx.gov>
Cc: Desiree Adair <dadair@rollingwoodtx.gov>; Abel Campos <acampos@rollingwoodtx.gov>
Subject: Invoice I-1173419 from ATS Engineers, Inspectors, & Surveyors

ATS Engineers, Inspectors, & S	Surveyors
Invoice Due 03/30/2023 1-1173419	Amount Due: \$2,540.00
Dear Customer:	
Your invoice-I-1173419 for 2,540.00 is a earliest convenience.	ttached. Please remit payment at your
Thank you for your business - we appred	ciate it very much.
Sincerely, ATS Engineers, Inspectors, & Surveyors	
512-328-6995 ATS-Engineers.com	
1. A start and an anomalian and start and start and starting control operation of starting control of a 200 Sec. 2 (200 Sec.).	n - nama - a-ananana manana mananananan karamananan dari baran dari mengerakan karan pengerakan karan karan ka

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CITY OF ROLLINGWOOD, TEXAS

PAYMENT AUTHORIZATION

Date:	3/15/2023	Budget Code	e: <u>See below</u>
Vendor:	Crossroads Utility Services 2601 Forest Creek Drive Round Rock, TX 78665	Invoice No. Invoice Date Acct No.	9092 3/9/2023 Rollingwood
Vendor Code:	Crossroads		\mathbf{V}
Nature of Expe	nse/Expenditure:		
Justification of	Expense/Expenditure:		

	Description			Quantity	Ī	Jnit Cost	Ext	ended Cost
Basic Service		See Bel	w	1	\$	14,915.00	\$	14,915.00
Lift Station		800-5-60)-5234	1	\$	-	\$	-
Grinder Pump Mainten	ance	800-5-60)-5163	1	\$	3,105.65	\$	3,105.65
Water - Hydrants		200-5-60)-5194	1	\$	-	\$	-
Water Distribution		200-5-60)-5234	1	\$	7,564.17	\$	7,564.17
Wastewater Distribution	n	800-5-60)-5234	1	\$	5,329.93	\$	5,329.93
Administrative				1	\$	-	\$	-
Wastewater Site Pro S	upport	800-5-60)-5496	1	\$	-	\$	-
Taps and Meters		200-5-60)-5234	1	\$	-	\$	-
	Basic Svc	Admiı	<u>ז</u>		\$	-	\$	-
800-5-60-5233	\$ 8,165.00	\$ -					\$	-
200-5-60-5233	\$ 6,750.00	\$ -				441.* <u></u>		
	\$14,915.00	\$ -						
					To	tal	\$	30,914,75

Received By:		Date:	
City Secretary:	HA	Date:	
Finance Dept:	C	Date:	3/15/2023
City Administrator:	HW.	Date:	3/4/23

Crossr	oads Bill						Inv. Date Inv No.	3/9/202: 9092
200-5-60-5233	800-5-60-5233	800-5-60-5234	200-5-60-5234	200-5-60-5194	800-5-60-5163		800-5-60-5496	
Basic - Water	Basic - Wastewater	Wastewater	Water	Water - Hydrants	Wastewater- Grinder Pumps		Wastewater - Site Pro Support	Total
\$ 6,750.00	\$ 8,165.00	\$ 5,210.64	\$ 7,037.16		\$ 3,105.65			\$ 30,914.75
		\$ 119.29	\$ 527.01					\$ (30,914.75
								\$
¢ C 7EN NN	¢ 010E 00							
\$ <u>6,/50.00</u>	\$ 8,165.00	\$ 5,329.93	\$ 7,564.17		Ş 3,105.65	- Ş	- Ş	

Basic Wastewater - Contract Basic Water - Contract Wastewater - Crossroads Emerg/M&O ŝ ŝ ŝ ŝ ŝ ŝ ŝ 5,329.93 800-5-60-5234 30,914.75 3,105.65 800-5-60-5163 8,165.00 800-5-60-5233 6,750.00 200-5-60-5233 7,564.17 200-5-60-5234 800-5-60-5496 200-5-60-5194

Grinder Pump Maintenance (WW) Site Pro Support (WW) Water - Crossroads Emerg/M&O Hydrants (W)

Payment Break Down

Page 343



Inv # 9092-14 **Crossroads Utility Services** BCycle FEBRUARY 2023 Invoice Date: 03/09/23 Department: SUB-OPER SvrOrd# 372811 **District:** CITY OF ROLLINGWOOD Page # 1 Location: IN DISTRICT ROLLINGWOOD **Reported By: Telephone Number:** WATER QUALITY Date Completed: 02/01/23 **Description of Work Performed:** SUB-CONTRACT WORK COMPLETED - AQUATECH COLIFORM

Description		Qty	Price	Amount
Subcontract			анарусци, противни / / / /	***************************************
AQUATECH 62478		1.00	517.5000	517.50
	Subcontract			517.50
		Service Or	der Total:	517.50

31.



email: accounting@aqua-techlabs.com

Invoice

Invoice Number: 62478 Invoice Date: 1/28/2023

Bill To:	Comments:	
Crossroads Utility Service 2601 Forest Creek Dr. ROUND ROCK, TX 78665-1232	December 2022 Analy Rollingwood	sis
· · · · · · · · · · · · · · · · · · ·	and the second	

Crossroads Utility Service	*	NET 30 Days	2/27/2023	
Customer ID	Customer PO	Payment Terms	Due Date	Discount

Quantity	Item ID & Matrix	Description (see key below)	Unit Price	Amount
4 2	A Total Coliform DW A Weekend Work	Total Coliform SM 9223 [NEL] Weekend Work Fee	25.00 175.00	100.00 350.00
		. *		

Location: A-Austin Laboratory Parameter (all others through Bryan Laboratory)

Matrix Codes: NP-Non Potable Water, DW-Drinking Water, SL-Solid	Total Invoice Amount	\$450.00
NEL-NELAC Accredited, SUB-Subcontracted, INF-Informational (not certified)	Payments/Credits Applied	\$0.00
ANR-Accreditation Not Required	TOTAL	\$450.00

Empty sample containers, which may contain site references, will be bagged and disposed via municipal waste collection.

Go paperless! If you prefer to have your invoices e-mailed, please send a request to accounting@aqua-techlabs.com and we will make the change for you. Thank you for your business!

				BILLED - SERVICE ORDER SUMMARY BILLING CYCLE: FEBRUARY 2023					Page 347
				CITY OF ROLLINGWOOD					
\$/0 #	SVC DAT	E COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
BASIC SI	ERVICE								
376271A	02/27/23	02/27/23	403 NIXON AVENUE	BASIC SERVICE	0.00	0.00	14,915.00	0.00	14,915.00
						BASIC SEF	VICE SUBTOT/	AL.	14,915.00
GRINDEF	R PUMP IS:	SUES							
369627A	12/25/22	02/07/23	307 INWOOD RD	GRINDER PUMP PROBLEM.TANK WAS FULL, WE PUMPED IT DOWN IN TO BARRELS. FOUND PUMP NOT WORKING. SENT TO TO HYDRO SOURCE. HYDRO SOURCE:PUMP DRAWING LOCKED ROTOR AMPS, PULLED PUMP AND FOUND A RAG LODGED INSIDE. REMOVED DEBRIS, TESTED AND	233.64	342.68	7.32	920.00	1,503.64
				REINSTALLED PUMP, OPERATIONAL. CITY STAFF REQUESTED WE HANDLE.					
372214A	01/23/23	02/09/23	405 VALE ST	GRINDER PUMP PROBLEM - RUN DRY. HYDROSOURCE: DROPPED IN SPARE. CITY STAFF REQUESTED WE HANDLE.	128.17	152.68	7.32	1,313.84	1,602.01
					GRIN	DER PUMP ISS	UES SUBTOTA		3,105.65
LIFT STA	NOIT								
371205A	01/09/23	01/29/23	CORW - LS3 - ALMARION WAY	NEED TECHNICIAN - LIFT STATION IN HIGH LEVEL - PUMPED STATION DOWN - CONTACTED FACILITIES ABOUT PUMP 1 NOT KEEPING UP WITH FLOW	110.27	58.80	0.00	0.00	169.07
371720A	01/16/23	02/01/23	CORW - LS1 - DELLANA LN	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.00	1,370.80	1,389.24
371721A	01/16/23	02/01/23	CORW - LS3 - ALMARION WAY	SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION	11.09	7.35	0.00	1,523.11	, 1,541.55 `
03/09/23	12:47:14 PM							Paç	31. 5 jo L a

AC HOTELS BY MARRIOTT" AUSTIN HILL COUNTRY 7415 SW PKWY BUILDING 8 AUSTIN, TX 78735 T: 512 551 4009

DONALD BOERNER 1016 BALDY MOUNTAIN CT CANYON LAKE TX 78133-2204 LIVE

ARRIVE: 31JAN23 DEPART: 03FEB23 FOLIO NUMBER: 78522 ROOM: 436 ROOM TYPE: QSOF NUMBER OF GUESTS: 1 RATE: \$244.00 CLERK: CEO

TIME: 03:12PM TIME: 11:17AM

DATE	DESCRIPTION	CHARGES	CREDITS
31.Jan23	Room Charge	342.00	
31 Jan 23	Occupancy Sales Tax	Ŝ7.Ŝ2	8
31Jan23	State Occupancy Tax	20.52	1
01Feb23	Restaurant Room Charge	119.33	- Alexandre - A
01Feb23	Room Charge	342.00	
01Feb23	Occupancy Sales Tax	37.62	÷
01Feb23	State Occupancy Tax	20.52	
02Feb23	Restaurant Room Charge	104.18	;
02Feb23	Room Charge	244.00	
02Feb23	Occupancy Sales Tax	26.84	1
02Feb23	State Occupancy Tax	14.64	1.
03Feb23	Vîsa		1309.27
	Card #: VIXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	K	p 436-42
	Balan	ce: 0.00	Sn

Marriett Bonvoy Account # XXXX66886. Your Marriett Bonvoy points/miles earned on your eligible earnings will be credited to your account, Check your Marriett Bonvoy account statement or your online statement for updated activity.

See our "Privacy & Cookie Statement" on Marriott.com.

Operated under license from Marriett International, Inc. or one of its affiliales.

Inv # 9092-11 **Crossroads Utility Services** BCycle FEBRUARY 2023 Invoice Date: SvrOrd# 372444 03/09/23 **Department: LEAKS District:** CITY OF ROLLINGWOOD Page # 1 Location: **5005 TIMBERLINE DRIVE Reported By:** KESSLER, SARAH **Telephone Number:**

Date Completed: 02/07/23

Description of Work Performed:

HOUSELINE LEAK UNDER FENCE. DUG UNDER THE FENCE AREA TO THE SERVICE LINE AND MADE OUR REPAIR TOP THE LINE WITH CLAMP. BACKFILLED AND CLEANED.

WATER DISTRIBUTION

	Description	Qty	Price	Amount
Material		***************************************		
	3/4" BRASS COUPLING 3907C4433GNL	1.00	59.9150	59.92
	3/4" POLY 0907E200C1	1.00	0.6210	0.62
	3/4" INSERTS 3907151	1.00	3.5190	3.52
	Material		*******	64.06
		Service Ord	er Total:	64.06

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Crossroads	Utility Ser	rvices	lnv #	9092-10	
0100010000	ounty ooi		BCycle	FEBRUARY 2023	
Invoice Date:	03/09/23	Department: OTHER	SvrOrd#	372075	
District:	CITY OF ROI	LINGWOOD	Page #	1	
Location:	213 ASHWO	RTH DR			
Reported By:	TOKAZ DR &	MRSL	Telephone Number:		
Date Completed:	02/08/23		WATER DISTRIBUTION		

Description of Work Performed:

WATER SYSTEM WORK COMPLETE. FOUND WATER COMING OUT FROM THE ASPHALT. WE CUT THE ASPHALT AND DUG DOWN TO THE BROKEN SERVICE LINE AND MADE OUR REPAIR TO THE LINE. BACKFILLED AND CLEANED.

	Description	Qty	Price	Amount
Material		***************************************	*****	
	WHITT 96826/1	1.00	77.9125	77.91
	1 1/2" BRASS COMPRESSION COUPLING 391015C4466GNL	1.00	241.2930	241.29
	1 1/2" POLY 0915E200C1	1.00	5.0715	5.07
	1 1/2" INSERTS 3915154	1.00	7.0610	7.06
	Material			331.33

Service Order Total:

331.33

31.

Crossroads	Utility Service	25		lnv #	9092-9
				BCycle	FEBRUARY 202
Invoice Date:	03/09/23	Department: FACILITIES		SvrOrd#	375365
District:	CITY OF ROLLING	WOOD		Page #	1
Location:	CORW - LS6 - PLE	ASANT COVE			
Reported By:			Telephone Number:		
Date Completed:	02/24/23		LIFT STATION		
Description of Wo	ork Performed:				
	PURCHASED SUP AND TOOK TO BA	PLIES - CHANGED OUT BATTEF TTERIES PLUS TO GET NEW O	RIES FOR AUTO DIAL NE.	ER. REM	OVED OLD ONE

	Description		Qty	Price	Amount
Material					
	BATTERIES PLUS P60031219		1.00	18.3425	18.34
		Material			18.34
			Service Ord	ler Total:	18.34

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9092-9 BCycle FEBRUARY 2023

31.

Invoice Date: 03/09/23 Department: FACILITIES

District: CITY OF ROLLINGWOOD

Location: CORW - LS7 - NIXON DRIVE

Reported By:

,

Telephone Number:

LIFT STATION

Date Completed: 02/24/23

Description of Work Performed:

PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.

	Description		Qty	Price	Amount
Material				1999 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 -	
	BATTERIES PLUS P60031219		1.00	18.3425	18.34
		Material	······		18.34
			Service Ord	ler Total:	18.34

9092-8

BCycle FEBRUARY 2023

SvrOrd# 375362

Page # 1

Inv #

Invoice Date:03/09/23Department:FACILITIESDistrict:CITY OF ROLLINGWOODLocation:CORW - LS1 - DELLANA LN

Reported By:

,

Telephone Number:

LIFT STATION

Date Completed: 02/07/23

Description of Work Performed:

FACILITY WORK COMPLETED. CHECKED LS WET WELL GUIDE RAILS. NEED TO INSTALLED NEW ANCHOR BOLTS. PURCHASED BOLTS AND INSTALLED THE NEW ANCHORS ON WET WELL GUIDE RAIL. RE-HUNG DRIVE THROUGH GATE.

	Description		Qty	Price	Amount
Material					
	LOWE'S 02831		1.00	10.3960	10.40
		Material			10.40
			Service Ord	ler Total:	10.40

9092-7

BCycle FEBRUARY 2023

SvrOrd# 372686

Page # 1

Inv #

Invoice Date:03/09/23Department:FACILITIESDistrict:CITY OF ROLLINGWOODLocation:CORW - LS4 - ROCKWAY COVE

Reported By:

Telephone Number:

Inv #

Page # 1

9092-6

BCycle FEBRUARY 2023

SvrOrd# 371952

LIFT STATION

Description of Work Performed:

.....

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Date Completed: 02/08/23

FACILITY WORK COMPLETED. PURCHASED MATERIALS . SECURE SS WIRE HANGER WITH MULE TAPE. DRILLED HOLES IN PLATE USED HARDWARE TO ATTACH AND SPRAYED LOCK ON LS HATCH WITH OIL.

	Description		Qty	Price	Amount
Material			*****		
	LOWE'S 27496		1.00	23.7360	23.74
	GLOVES 425006		1.00	3.7260	3.73
	RAGS 509267		1.00	3.5880	3.59
		Material			31.06
			Service Ord	ler Total:	31.06

31.

Invoice Date:03/09/23Department:SUB-OPERDistrict:CITY OF ROLLINGWOODLocation:CORW - LS3 - ALMARION WAY

Reported By:

Date Completed: 02/01/23

Description of Work Performed:

SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description		Qty	Price	Amount
Subcontract				
WWTS 11121504		1.00	1,523.1060	1,523.11
	Subcontract		**************	1,523.11
		Service O	rder Total:	1,523.11

 Inv #
 9092-5

 BCycle
 FEBRUARY 2023

 SvrOrd#
 371721

 Page #
 1

Telephone Number:

LIFT STATION

Invoice Date:03/09/23Department:SUB-OPERDistrict:CITY OF ROLLINGWOODLocation:CORW - LS1 - DELLANA LN

Reported By:

Þ

Telephone Number:

inv #

9092-4

BCycle FEBRUARY 2023

SvrOrd# 371720

Page # 1

LIFT STATION

Date Completed: 02/01/23

Description of Work Performed:

SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description		Qty	Price	Amount
Subcontract				
WWTS 11125103		1.00	1,370.8000	1,370.80
	Subcontract			1,370.80
		Service O	rder Total:	1,370.80

Hydro Source Services, Inc. 14 Applegate Cir Round Rock, TX 78665 US +1 5129144298 accounting@hydrosourcetx.com

INVOICE

BILL TO CROSSROADS UTILITY SERVICES, LLC 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA

SHIP TO ROLLINGWOOD 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA

PO 27534

.

	ITEM	DESCRIPTION	OTV	EACU	EVTENDED
	CALLOUT	WEEKEND CALLOUT 405 vale st Rollingwood TX 78746 PO#27534 IN: GH751966 OUT: WH665589 CALLOUT 01/21/2023, 10:55 AM	1	600.00	600.00T
		Station was at motor housing on arrival with pump running 250v 5.6 amps but not moving any water , cable megged good , equalizer was disconnected from the pump and continuity test show floating shorts on the On/Off switch , pulled pump for repair and dropped ROLLINGWOOD SPARE in and tested statetion 250v 6.0 amps station back to operational order		•••	
	SHOP SERVICE	SHOP SERVICE	2	135.00	270.00T
	PARTS	3212 - CORD GRIP, 1/2 INCH NPT W/ O-RING 1 unit \$15.96 7290 - PRESSURE SWITCH, ON/OFF W/ O-RINGS 1 unit \$69.64 7291 - PRESSURE SWITCH, ALARM W/ O-RINGS 1 unit \$69.64 7115 - FLG TERMINAL, 18 GA 7 units \$1.24 6203 - SEAL, LEVEL SENSING HOUSING, EXTREME 1 unit \$3.96 6202-2 - O-RING, CASTING 4.975 X 5.525, QTY-2 1 unit \$6.60 3125 - LOCKNUIT 5/16, SS, OTY 2	1	272.47	272.47T
17	· · ·	1 unit \$3.66 8203 - STATOR/LINER ASSY, EXTREME 1 unit \$94.33 Parts Cost			

372214



INVOICE # 6515 DATE 01/31/2023

TERMS Net 30

Hydro Source Services, Inc. 14 Applegate Cir Round Rock, TX 78665 US +1 5129144298 accounting@hydrosourcetx.com



INVOICE

BILL TO

CROSSROADS UTILITY SERVICES, LLC 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA

SHIP TO ROLLINGWOOD 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA

INVOICE # 6359 DATE 01/09/2023

TERMS Net 30 3696278

PO 27168

ITEM	DESCRIPTION		QTY	EACH EXTENDED	
CALLOUT	307 Innwood Rd, Rollingwood, TX 787 HOLIDAY CALLOUT 12/25/2022, 2:49 PMNEW Station pumped out by crossroads before Barnes pump drawing locked rotor am and found a wet wipe lodged in, remov in hand, amps normal and rotor spinnin in and filled up and tested. Back to nor Floats test bad but customer is gonna along until it fails then upgrade from the customer and cleaned site.	46 PO#27168 ore arrival. Found ps, pulled pump red and ran pump ig. Dropped back mal operation. pump system ere. Notified	1 8	00.00 800.00T	
Thank you for your concerns.	business. Please contact us with any questions or	SUBTOTAL TAX TOTAL BALANCE DUE		800.00 0.00 800.00 \$800.00	

Invoice for Basic Service

Crossroads Utility Services

2601 Forest Creek Dr. Round Rock, TX 78665 Phone: 281-620-3986 Fax:

Operations Fee - Wastewater System

Operations Fee - Water System

Total BASIC SERVICE

CITY OF ROLLINGWOOD

Billing Cycle: FEBRUARY

Client:

\$8,165.00

\$6,750.00

\$14,915.00

31.

,				BILLED - SERVICE ORDER SUMMARY BILLING CYCLE: FEBRUARY 2023 CITY OF ROLLINGWOOD					Page 360
# 0/S	SVC DATI	COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
WASTEV	VATER COL	-LECTION				n - Angelan			
				AND THEY ADDRESSED					
375526A	02/19/23	02/24/23	2805 BEE CAVE RD	PLUMBER TOLD CUSTOMER IT WAS A CITY SIDE ISSUE. SENT TO MAINTENANCE. FOUND MAN HOLES TO	24.73	7.35	0.00	0.00	32.08
				BE ON AND OWNED BY THE COMPLEX. ADVISED TO CONTACT PLUMBER.	-				
375527A	02/19/23	02/24/23	22 TREEMONT DR	ABC PLUMBING SAID GRINDER WAS SHUT AND NEEDED REPLACEMENT. SENT TO MAINTENANCE TO INVESTIGATE.	24.73	7.35	0.00	0.00	32.08
					WASTEN	NATER COLLE	CTION SUBTOT/	JL I	119.29
				LABOR/EQUIPMENT/MATERIAL/SUBCON TOTALS	4,758.81	4,604.60	15,906.09	5,645.25	
						GR	AND TOTAL		0,914.75

•

03/09/23 12:47:14 PM

31. bage 2 of 2
| S/O #
LIFT STA
373724A
373840A
375362A
375365A | SVC DAT
02/02/23
01/30/23
02/11/23
02/20/23 | E COMP
02/26/23
02/26/23
02/26/23
02/26/23 | ADDRESS
CORW - LS3 - ALMARION WAY
CORW - LS1 - DELLANA LN
403 NIXON AVENUE
CORW - LS7 - NIXON DRIVE
CORW - LS6 - PLEASANT COVE | BILLED - SERVICE ORDER SUMMARY BILLING CYCLE: FEBRUARY 2023 CITY OF ROLLINGWOOD NOTES FACILITY WORK COMPLETED - CLEARED BRANCHES AND TRASH AFTER ALARMS BREAKER TRIPPED-RESET BREAKER - PUMP 1 FAIL - I RESET AND CAME BACK ONLINE - PUMP 2 WOULD NOT COME ON - I SENT TO FACILITY CHECK. LEFT TICKET FOR AT&T, PONE LINE ISSUE. PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES FOR AUTO DIALER. PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES FOR AUTO DIALER. PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES FOR AUTO DIALER. BATTERIES PLUS TO GET NEW ONE. | LABOR
27.73
166.43
144.71
44.37
44.37 | EQUIP
14.70
73.50
51.45
29.40
29.40 | MAT'L
0.00
0.00
18.34 | <u>ω</u> |
|---|---|--|---|---|--|--|--------------------------------|----------|
| 373840A | 01/30/23 | 02/26/23 | CORW - LS1 - DELLANA LN | BREAKER TRIPPED-RESET BREAKER -
PUMP 1 FAIL - I RESET AND CAME BACK
ONLINE - PUMP 2 WOULD NOT COME ON -
I SENT TO FACILITIES | 166.43 | 73.50 | | 0.00 |
| 374836A | 02/11/23 | 02/15/23 | 403 NIXON AVENUE | SPECIAL FACILITY CHECK. LEFT TICKET
FOR AT&T, PONE LINE ISSUE. | 144.71 | 51.45 | o | .00 |
| 375362A | 02/20/23 | 02/24/23 | CORW - LS7 - NIXON DRIVE | Purchased Supplies - Changed Out
Batteries for Auto Dialer.
Removed Old one and took to
Batteries Plus to get New One. | 44.37 | 29.40 | - <u>-</u> | .34 |
| 375365A | 02/20/23 | 02/24/23 | CORW - LS6 - PLEASANT COVE | PURCHASED SUPPLIES - CHANGED OUT
BATTERIES FOR AUTO DIALER.
REMOVED OLD ONE AND TOOK TO
BATTERIES PLUS TO GET NEW ONE. | 44.37 | 29.40 | 18 | ,34 |
| WATER DI | ISTRIBUTI | ION | | | | LIFT ST | ATION S | ивтот |
| 372075A | 01/19/23 | 02/08/23 | 213 ASHWORTH DR | WATER SYSTEM WORK COMPLETE.
FOUND WATER COMING OUT FROM THE
ASPHALT. WE CUT THE ASPHALT AND
DUG DOWN TO THE BROKEN SERVICE
LINE AND MADE OUR REPAIR TO THE
LINE. BACKFILLED AND CLEANED. | 1,658.13 | 2,416.40 | 331 | ຜ |
| 372444A | 01/24/23 | 02/07/23 | 5005 TIMBERLINE DRIVE | HOUSELINE LEAK UNDER FENCE. DUG
UNDER THE FENCE AREA TO THE
SERVICE LINE AND MADE OUR REPAIR
TOP THE LINE WITH CLAMP. BACKFILLED
AND CLEANED. | 1,199.36 | 458.04 | 64 | 06 |
| 03/09/23 1 | 2:47:14 PM | - | | | | | | |

Page 3 of 5



AC HOTELS BY MARRIOTT AUSTIN HILL COUNTRY 7415 SW PKWY BUILDING 8 AUSTIN, TX 78735 T: 512 551 4009

DONALD BOERNER 1016 BALDY MOUNTAIN CT CANYON LAKE TX 78133-2204 LIVE

ARRIVE: 31JAN23 DEPART: 03FEB23 FOLIO NUMBER: 78522 ROOM: 436 ROOM TYPE: QSOF NUMBER OF GUESTS: 1 RATE: \$244.00 CLERK: CEO

TIME: 03:12PM TIME: 11:17AM

DATE	DESCRIPTION	CHARGES	CREDITS
31Jan23	Room Charge	342.00	
31 Jan 23	Occupancy Sales Tax	37.62	
31Jan23	State Occupancy Tax	20.52	
01Feb23	Restaurant Room Charge	119.33	
01Feb23	Room Charge	342.00	
01Feb23	Occupancy Sales Tax	37.62	
01Feb23	State Occupancy Tax	20.62	
02Feb23	Restaurant Room Charge	104.18	
02Feb23	Room Charge	244.00	
02Feb23	Occupancy Sales Tax	26.84	1
02Feb23	State Occupancy Tax	14.64	
03Feb23	Visa		1309.27
	Card #: VIXXXXXXXXXX0844/XXX Card Type: VISA Card Entry. MANUAL Approval Code: 03117D	X	\$ 436.42
	Bala	nco: 0.00	· AC

Marriott Bonvoy Account # XXXXX6686. Your Marriott Bonvoy points/miles earned on your eligible earnings will be credited to your account. Check your Marriott Bonvoy account statement or your online statement for updated activity.

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Crossroads Utility Services				lnv #	9092-11
0103310403	Other Service			BCycle	FEBRUARY 2023
Invoice Date:	03/09/23	Department: LEAKS		SvrOrd#	372444
District:	CITY OF ROLLING	WOOD		Page #	1
Location:	5005 TIMBERLINE	DRIVE			
Reported By:	KESSLER, SARAH	l	Telephone Number:		
Date Completed:	02/07/23		WATER DISTRIBUTI	ON	
Description of Wo	ork Performed:				

HOUSELINE LEAK UNDER FENCE. DUG UNDER THE FENCE AREA TO THE SERVICE LINE AND MADE OUR REPAIR TOP THE LINE WITH CLAMP. BACKFILLED AND CLEANED.

	Description	Qty	Price	Amount
Material				MINING & MINING AND
	3/4" BRASS COUPLING 3907C4433GNL	1.00	59.9150	59.92
	3/4" POLY 0907E200C1	1.00	0.6210	0.62
	3/4" INSERTS 3907151	1.00	3.5190	3.52
	Material			64.06
		Service Ord	er Total:	64.06

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Crossroads	Crossroads Utility Services			lnv #	9092-10
0100010440	ounty ourvio			BCycle	FEBRUARY 2023
Invoice Date:	03/09/23	Department: OTHER		SvrOrd#	372075
District:	CITY OF ROLLING	GWOOD		Page #	1
Location:	213 ASHWORTH	DR			
Reported By:	TOKAZ DR & MRS	S L	Telephone Number:		
Date Completed:	02/08/23		WATER DISTRIBUTION	NC	
Description of Wo	ork Performed:				

WATER SYSTEM WORK COMPLETE. FOUND WATER COMING OUT FROM THE ASPHALT. WE CUT THE ASPHALT AND DUG DOWN TO THE BROKEN SERVICE LINE AND MADE OUR REPAIR TO THE LINE. BACKFILLED AND CLEANED.

	Description	Qty	Price	Amount
Material				
	WHITT 96826/1	1.00	77.9125	77.91
	1 1/2" BRASS COMPRESSION COUPLING 391015C4466GNL	1.00	241.2930	241.29
	1 1/2" POLY 0915E200C1	1.00	5.0715	5.07
	1 1/2" INSERTS 3915154	1.00	7.0610	7.06
	Material			331.33

Service Order Total:

331.33

Invoice Date: 03/09/23 Department: FACILITIES

District:CITY OF ROLLINGWOODLocation:CORW - LS6 - PLEASANT COVE

Reported By:

Telephone Number:

Inv #

9092-9

BCycle FEBRUARY 2023

SvrOrd# 375365

Page # 1

LIFT STATION

Date Completed: 02/24/23

Description of Work Performed:

PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.

	Description		Qty	Price	Amount
Material					
	BATTERIES PLUS P60031219		1.00	18.3425	18.34
		Material			18.34
			Service Ord	ler Total:	18.34

Invoice Date: 03/09/23 **Department:** FACILITIES

District: CITY OF ROLLINGWOOD Location: CORW - LS7 - NIXON DRIVE

Reported By:

Telephone Number:

LIFT STATION

Date Completed: 02/24/23

Description of Work Performed:

PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.

	Description		Qty	Price	Amount
Material				*******	
	BATTERIES PLUS P60031219		1.00	18.3425	18.34
		Material			18.34
			Service Ord	ler Total:	18.34

9092-8 BCycle FEBRUARY 2023

SvrOrd# 375362

Page # 1

inv #

Invoice Date:03/09/23Department:FACILITIESDistrict:CITY OF ROLLINGWOOD

Location: CORW - LS1 - DELLANA LN

Reported By:

Telephone Number:

Inv #

9092-7

BCycle FEBRUARY 2023

SvrOrd# 372686

Page # 1

LIFT STATION

Date Completed: 02/07/23

Description of Work Performed:

FACILITY WORK COMPLETED. CHECKED LS WET WELL GUIDE RAILS. NEED TO INSTALLED NEW ANCHOR BOLTS. PURCHASED BOLTS AND INSTALLED THE NEW ANCHORS ON WET WELL GUIDE RAIL. RE-HUNG DRIVE THROUGH GATE.

	Description		Qty	Price	Amount
Material			······································		Annan an
	LOWE'S 02831		1.00	10.3960	10.40
		Material			10.40
			Service Ord	ler Total:	10.40

Invoice Date:03/09/23Department:FACILITIESDistrict:CITY OF ROLLINGWOOD

Location: CORW - LS4 - ROCKWAY COVE

Reported By:

Telephone Number:

LIFT STATION

Date Completed: 02/08/23

Description of Work Performed:

FACILITY WORK COMPLETED. PURCHASED MATERIALS . SECURE SS WIRE HANGER WITH MULE TAPE. DRILLED HOLES IN PLATE USED HARDWARE TO ATTACH AND SPRAYED LOCK ON LS HATCH WITH OIL.

	Description		Qty	Price	Amount
Material				-	
	LOWE'S 27496		1.00	23.7360	23.74
	GLOVES 425006		1.00	3.7260	3.73
	RAGS 509267		1.00	3.5880	3.59
		Material			31.06
			Service Ord	ler Total:	31.06

31.

9092-6

BCycle FEBRUARY 2023

SvrOrd# 371952

Page # 1

lnv #

Crossroads Utility Services					9092-5
					FEBRUARY 2023
Invoice Date:	03/09/23	Department: SUB-OPER		SvrOrd#	371721
District:	CITY OF ROLLINGWOOD			Page #	1
Location:	CORW - LS3 - ALM	ARION WAY			
Reported By:			Telephone Number:		
Date Completed: 02/01/23		LIFT STATION			
Description of Wo					

SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description		Qty	Price	Amount
Subcontract				
WWTS 11121504		1.00	1,523.1060	1,523.11
	Subcontract		······································	1,523.11
		Service O	rder Total:	1,523.11

Invoice Date:03/09/23Department:SUB-OPERDistrict:CITY OF ROLLINGWOOD

Location: CORW - LS1 - DELLANA LN

Reported By:

.

Date Completed: 02/01/23

Description of Work Performed:

SUBCONTRACT WORK COMPLETED AT FACILITY - CLEAN LIFT STATION

Description		Qty	Price	Amount
Subcontract		******	·······	
WWTS 11125103		1.00	1,370.8000	1,370.80
	Subcontract			1,370.80
		Service O	rder Total:	1,370.80

 Inv #
 9092-4

 BCycle
 FEBRUARY 2023

 SvrOrd#
 371720

Page # 1

Telephone Number:

LIFT STATION

Hydro Source Services, Inc. 14 Applegate Cir Round Rock, TX 78665 US +1 5129144298 accounting@hydrosourcetx.com



372214

INVOICE

BILL TO CROSSROADS UTILITY SERVICES, LLC 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA SHIP TO ROLLINGWOOD 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA INVOICE # 6515 DATE 01/31/2023

TERMS Net 30

PO

27534

DESCRIPTION	QTY	EACH	EXTENDED
WEEKEND CALLOUT 405 vale st Rollingwood TX 78746 PO#27534 IN: GH751966 OUT: WH665589 CALLOUT 01/21/2023, 10:55 AM Station was at motor housing on arrival with pump running 250v 5.6 amps but not moving any water , cable megged good , equalizer was disconnected from the pump and continuity test show floating shorts on the On/Off switch , pulled pump for repair and dropped ROLLINGWOOD SPARE in and tested station 250v 6.0 amps station back to operational order	1	600.00	600.00T
SHOP SERVICE	2	135.00	270.00T
3212 - CORD GRIP, 1/2 INCH NPT W/ O-RING 1 unit \$15.96 7290 - PRESSURE SWITCH, ON/OFF W/ O-RINGS 1 unit \$69.64 7291 - PRESSURE SWITCH, ALARM W/ O-RINGS 1 unit \$69.64 7115 - FLG TERMINAL, 18 GA 7 units \$1.24 6203 - SEAL, LEVEL SENSING HOUSING, EXTREME 1 unit \$3.96 6202-2 - O-RING, CASTING 4.975 X 5.525, QTY-2 1 unit \$6.60 3125 - LOCKNUT, 5/16, SS, QTY-3 1 unit \$3.66 8203 - STATOR/LINER ASSY, EXTREME 1 unit \$94.33 Parts Cost	1	272.47	272.47T
	 DESCRIPTION WEEKEND CALLOUT 405 vale st Rollingwood TX 78746 PO#27534 IN: GH751966 OUT: WH665589 CALLOUT 01/21/2023, 10:55 AM Station was at motor housing on arrival with pump running 250v 5.6 amps but not moving any water , cable megged good , equalizer was disconnected from the pump and continuity test show floating shorts on the On/Off switch , pulled pump for repair and dropped ROLLINGWOOD SPARE in and tested station 250v 6.0 amps station back to operational order SHOP SERVICE 3212 - CORD GRIP, 1/2 INCH NPT W/ O-RING 1 unit \$15.96 7290 - PRESSURE SWITCH, ON/OFF W/ O-RINGS 1 unit \$69.64 7291 - PRESSURE SWITCH, ALARM W/ O-RINGS 1 unit \$69.64 7115 - FLG TERMINAL, 18 GA 7 units \$1.24 6203 - SEAL, LEVEL SENSING HOUSING, EXTREME 1 unit \$3.96 6202-2 - O-RING, CASTING 4.975 X 5.525, QTY-2 1 unit \$3.66 8203 - STATOR/LINER ASSY, EXTREME 1 unit \$3.66 8203 - STATOR/LINER ASSY, EXTREME 1 unit \$94.33 Parts Cost 	DESCRIPTIONQTYWEEKEND CALLOUT1405 vale st Rollingwood TX 78746 PO#27534 IN: GH751966 OUT: WH665589 CALLOUT 01/21/2023, 10:55 AM1Station was at motor housing on arrival with pump running 250v 5.6 amps but not moving any water , cable megged good , equalizer was disconnected from the pump and continuity test show floating shorts on the On/Off switch , pulled pump for repair and dropped ROLLINGWOOD SPARE in and tested sta@tion 250v 6.0 amps station back to operational order23212 - CORD GRIP, 1/2 INCH NPT W/ O-RING 1 unit \$15.96 7290 - PRESSURE SWITCH, ON/OFF W/ O-RINGS 1 unit \$69.64 7291 - PRESSURE SWITCH, ALARM W/ O-RINGS 1 unit \$69.64 7115 - FLG TERMINAL, 18 GA 7 units \$1.24 6203 - SEAL, LEVEL SENSING HOUSING, EXTREME 1 unit \$3.96 6202-2 - O-RING, CASTING 4.975 X 5.525, QTY-2 1 unit \$3.66 8203 - STATOR/LINER ASSY, EXTREME 1 unit \$94.33 Parts Cost9	DESCRIPTIONQTYEACHWEEKEND CALLOUT1600.00405 vale st Rollingwood TX 78746 PO#27534 IN: GH751966 OUT: WH665589 CALLOUT 01/21/2023, 10:55 AM1600.00Station was at motor housing on arrival with pump running 250v 5.6 amps but not moving any water , cable megged good , equalizer was disconnected from the pump and continuity test show floating shorts on the On/Off switch , pulled pump for repair and dropped ROLLINGWOOD SPARE in and tested statistion 250v 6.0 amps station back to operational order2135.003212 - CORD GRIP, 1/2 INCH NPT W/ O-RING 1 unit \$15.961272.477290 - PRESSURE SWITCH, ON/OFF W/ O-RINGS 1 unit \$69.641272.477291 - PRESSURE SWITCH, ALARM W/ O-RINGS 1 unit \$69.641272.477115 - FLG TERMINAL, 18 GA 7 units \$1.246203 - SEAL, LEVEL SENSING HOUSING, EXTREME 1 unit \$3.961272.476202-2 - O-RING, CASTING 4.975 X 5.525, QTY-2 1 unit \$6.603125 - LOCKNUT, 5/16, SS, QTY-3 1 unit \$3.663125 - LOCKNUT, 5/16, SS, QTY-3 1 unit \$3.33 Parts Cost3125 - CORN CASTING ASSY, EXTREME 1 unit \$3.43

Hydro Source Services, Inc. 14 Applegate Cir Round Rock, TX 78665 US +1 5129144298 accounting@hydrosourcetx.com



BILL TO CROSSROADS UTILITY SERVICES, LLC 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA SHIP TO ROLLINGWOOD 2601 FOREST CREEK DRIVE ROUND ROCK, TX 78665 USA

HYDRO S O U R C E

INVOICE # 6359 DATE 01/09/2023

TERMS Net 30 36962784

PO 271

27168

ITEM	DESCRIPTION		QTY	EACH	EXTENDED
CALLOUT	307 Innwood Rd, Rollingwood, TX 787 HOLIDAY CALLOUT 12/25/2022, 2:49 PMNEW Station pumped out by crossroads before Barnes pump drawing locked rotor amp and found a wet wipe lodged in, remov in hand, amps normal and rotor spinning in and filled up and tested. Back to nor Floats test bad but customer is gonnal along until it fails then upgrade from the customer and cleaned site.	46 PO#27168 ore arrival. Found ps, pulled pump red and ran pump ng. Dropped back mal operation. pump system ere. Notified	1	800.00	800.00T
Thank you for your concerns.	business. Please contact us with any questions or	SUBTOTAL TAX TOTAL BALANCE DUE			800.00 0.00 800.00 \$800.00

CITY OF ROLLINGWOOD

Client:

Billing Cycle:

FEBRUARY

Crossroads Utility Services

2601 Forest Creek Dr. Round Rock, TX 78665 Phone: 281-620-3986 Fax:

Operations Fee - Wastewater System

Operations Fee - Water System

Total BASIC SERVICE

\$8,165.00

\$6,750.00

\$14,915.00

				BILLED - SERVICE ORDER SUMMARY BILLING CYCLE: FEBRUARY 2023 CITY OF ROLLINGWOOD					Page 374
# 0/s	SVC DAT	E COMP	ADDRESS	NOTES	LABOR	EQUIP	MAT'L	SUBCON	TOTAL
NASTEM	VATER COI	LLECTION							
				AND THEY ADDRESSED					
375526A	02/19/23	02/24/23	2805 BEE CAVE RD	PLUMBER TOLD CUSTOMER IT WAS A CITY SIDE ISSUE. SENT TO MAINTENANCE. FOUND MAN HOLES TO	24.73	7.35	0.0	000	32.08
				BE ON AND OWNED BY THE COMPLEX. ADVISED TO CONTACT PLUMBER.					
375527A	02/19/23	02/24/23	22 TREEMONT DR	ABC PLUMBING SAID GRINDER WAS SHUT AND NEEDED REPLACEMENT. SENT TO MAINTENANCE TO INVESTIGATE.	24.73	7.35	00.0	00.0	32.08
					WASTEV	VATER COLLE	CTION SUBTOTA	T	119.29
				LABOR/EQUIPMENT/MATERIAL/SUBCON TOTALS	4,758.81	4,604.60	15,906.09	5,645.25	
						GR	AND TOTAL		30,914.75

,

03/09/23 12:47:14 PM

31. Bage 5 of 5

Pa	age 375										
03/09/23	372444A	372075A	WATER D	375365A	375362A	374836A	373840A	373724A	LIFT STA	S/O #	
12:47:14 PN	01/24/23	01/19/23	DISTRIBUT	02/20/23	02/20/23	02/11/23	01/30/23	02/02/23	TION	SVC DAT	
24	02/07/23	02/08/23	ION	02/24/23	02/24/23	02/15/23	02/26/23	02/26/23		E COMP	
	5005 TIMBERLINE DRIVE	213 ASHWORTH DR		CORW - LS6 - PLEASANT COVE	CORW - LS7 - NIXON DRIVE	403 NIXON AVENUE	CORW - LS1 - DELLANA LN	CORW - LS3 - ALMARION WAY		ADDRESS	
	HOUSELINE LEAK UNDER FENCE. DUG UNDER THE FENCE AREA TO THE SERVICE LINE AND MADE OUR REPAIR TOP THE LINE WITH CLAMP. BACKFILLED AND CLEANED.	WATER SYSTEM WORK COMPLETE. FOUND WATER COMING OUT FROM THE ASPHALT. WE CUT THE ASPHALT AND DUG DOWN TO THE BROKEN SERVICE LINE AND MADE OUR REPAIR TO THE LINE. BACKFILLED AND CLEANED.		PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.	PURCHASED SUPPLIES - CHANGED OUT BATTERIES FOR AUTO DIALER. REMOVED OLD ONE AND TOOK TO BATTERIES PLUS TO GET NEW ONE.	SPECIAL FACILITY CHECK. LEFT TICKET FOR AT&T, PONE LINE ISSUE.	BREAKER TRIPPED-RESET BREAKER - PUMP 1 FAIL - I RESET AND CAME BACK ONLINE - PUMP 2 WOULD NOT COME ON - I SENT TO FACILITIES	FACILITY WORK COMPLETED - CLEARED BRANCHES AND TRASH AFTER ALARMS		NOTES	BILLED - SERVICE ORDER SUMMARY BILLING CYCLE: FEBRUARY 2023 CITY OF ROLLINGWOOD
	1,199.36	1,658.13		44.37	44.37	144.71	166.43	27.73		LABOR	
	458.04	2,416.40	LIFT ST.	29.40	29.40	51.45	73.50	14.70		EQUIP	
	64.06	331.33	ATION SUBTOT	18.34	18.34	0.00	0.00	0.00		MATL	
Pa	0.00	0.00	TAL	0.00	0.00	0.00	0.00	0.00		SUBCON	
3ge 3 of 5	1,721.46	4,405.86	5,210.64	92.11	92.11	196.16	239.93	42.43		TOTAL	

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CITY OF ROLLINGWOOD, TEXAS

PAYMENT AUTHORIZATION

Date	3/24/2023		Budget Code:	See Be	low		
Vendor	K Friese & Associates, Inc. 1120 South Capital of Texas F City View 2, Suite 100 Austin, TX 78746	łwy	Invoice No. Invoice Date Acct No.	See Be See Be City of	low low Rollingwodd		1
Vendor Code:	K Friese						
Nature of Expe	nse/Expenditure:	Engineering Services	7				
Justification of	Expense/Expenditure:						
	INCODE	Description	Quantity	Ur	nit Cost	Ext	ended Cost
Inv #2302097	100-5-10-5270	General Engineering	1	\$	2.300.00	\$	2,300,00
(03/15/2023)	100-5-10-5332	RLWD Infrastructure Improve, Plan	1	\$		\$	
	702-5-35-5485	Rollingwood MS4	1	\$	1.632.50	\$	1.632.50
	100-5-15-5252	Zoning Reviews	1	\$	2.337.50	\$	2,337,50
	702-5-35-5270	Drainage	1	\$	5.216.25	\$	5.216.25
	702-5-35-5221	Nixon-Pleasant Drainage Improv	1	\$	9.927.50	\$	9.927.50
	702-5-35-5222	Hubbard-Hatley-Pickwick Drainage Improv	1	\$	-	\$	-
	702-5-35-5270	StormwaterGIS	1	\$	-	\$	-
	200-5-60-5270	General Engineering	1	\$	655.00	\$	655.00
	800-5-60-5270	General Engineering	1	\$	655.00	\$	655.00
	100-5-15-5270	General Engineering	1	\$	5,395.00	\$	5.395.00
	100-5-30-5270	General Engineering	1	\$	-	\$	-
	100-5-15-5010	Training	1	\$	-	\$	-
			1	\$	-	\$	-
Inv #2302098	702-5-35-5221	Nixon-Pleasant Drainage Improv	1	\$	895.00	\$	895.00
(03/15/2023)		*	1	\$	-	\$	-
			1	\$	-	\$	-
Inv #2301111	702-5-35-5222	Hubbard-Hatley-Pickwick Drainage Improv	1	\$	-	\$	-
(02/14/2023)			1	\$	-	\$	-
			1	\$	-	\$	-
			1	\$	-	\$	-
				Total		\$	29,013.75

Received By:		Date:	
City Secretary:	Á	Date:	
Finance Dept:	A	Date:	3/24/2023
City Administrator:	C FW	Date: 3/28/	123



City of Rollingwood ATTN: Ashley Wayman 403 Nixon Rollingwood, Texas 78746

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Invoice Date	March 15, 2023
Invoice No.	2302097

Project Name:	KFA Project No.	Current Invoice Amount	Period Covered
Rollingwood General Engineering Services	0764	\$ 28,118.75	February 2023
Rollingwood Nixon-Pleasant Drainage Improvements	0807	\$ 895.00	February 2023
	Total this Invoice	\$ 29,013.75	

Rollingwood General Engineering Services Monthly Progress Report

K Friese & Associates, Inc.

1120 S. Capital of Texas Highway, CityView 2, Suite 100, Austin, Texas 78746

Client: City of Rollingwood Invoice No.: 2302097 Project Description: General Engineering Services Project Reporting Period: February 1, 2023 – February 28, 2023 Project Manager: Tyson Hasz, PE

Project	Project Summary	Status	Next steps
WA03 Hubbard,	Preparation of plans,	Intention will be to bid this	Property owner
Hatley, Drainage	specifications and	package together with the	coordination may result in
Improvements	estimates for the	Nixon/Pleasant project.	supplemental services.
PS&E	development of a		Final design to proceed
	construction bid package.	KFA on hold pending	once scope and easements
	Option 2 from the PER has	easement coordination,	are resolved.
	been selected as the	design, coordination by	
	preferred option which	City staff.	Easement/homeowner
	storm drain system from	Exhibits were sent to two	
	the creek at Almarion Way	residents for review.	
	extending upstream to		
	Hatley, Hubbard and	Received exhibit from one	
	Pickwick.	resident's engineer.	
14/404	Drep eretien of along		
VVAU4 Nivon/Discont	Preparation of plans,	Intention will be to bid this	Revise landscape plans
Drainage	ostimatos for the	Package together with the	per property owner
Improvements	development of a	riubbalu/Halley project.	requests.
PS&E	construction bid package	KEA coordinating with City	Finalize agreements on
	This will include channel	on property owner	proposed easements
	improvements and	requests.	
	Segment 1 of the storm		
	sewer improvements.	Progress set sent to City	
		2/10.	
General	Coordination with City staff	On-Going.	Regular recurring activities
	regarding on-going		
	development review	Bi-weekly meetings.	
	services, engineering		
	services, monthly report	City timeline of recurring	
	attendance of mostings at	activities.	
	City's request		
	City o request.		

Project	Project Summary	Status	Next steps
Development Services	Coordination with City staff regarding on-going development services, MyPermitNow Support, and meeting with staff and applicants as requested.	Building and development services and coordination with staff. MyPermitNow (MPN) support and coordination with Development Services Manager. Entering permits into MPN.	Continued coordination and support.
Water/Wastewater System Modeling & Mapping Updates	Data gathering and review of water/wastewater system infrastructure mapping. Develop/update	None.	Updating models as needed.
	wastewater and water system model updates to evaluate current and future system capacity needs. Utilize model to plan for infrastructure repairs,		
	upgrades, and future growth needs.		
Water/Wastewater System	Coordination/support with Crossroads regarding infrastructure such as valves, pressure planes, and infrastructure.	None.	Continue coordination to support mapping and KFA modeling efforts.
GIS	KFA to send quarterly updates for the City GIS	On-going	GIS exhibits and mapping updates as needed.
	layers.	GIS exhibits and mapping updates as requested. CIP & IIP GIS files sent 2/8.	
		Quarterly GIS updates sent 2/8.	

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Project	Project Summary	Status	Next steps
MS4 Compliance	Coordination with City staff on compliance with the Storm Water Management Permit for the 2022 calendar year.	On-going Continue coordination and compliance efforts for permit compliance. Updating 2022 annual report. KFA presented MS4 informational to City	Continue compliance coordination for 2022. Continue updating 2022 annual report. Begin compliance coordination for 2023.
		Council 2/15.	
Water Infrastructure Bond	Determine how to package the water projects associated with the water infrastructure bond.	KFA presented proposal to City Council 2/15. KFA revising proposal to include bidding phase and construction phase services.	Revise proposal per City request. Review revised proposal with City prior to presenting to City Council. Develop bond website.
City of Austin Atlas 14 Floodplain Update	The City of Austin has begun a five-year effort to update floodplain maps in the Austin area. The maps are being updated with Atlas 14 rainfall data.	KFA attended COA informational virtual public meeting over Zoom. Eanes Creek likely to be restudied. Likely to lead to a floodplain increase, which will impact properties along the creeks.	Continue to monitor progress



K Friese & Associates, Inc. 1120 South Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 (512) 338-1704 March 15, 2023

Ashley Wayman City of Rollingwood 403 Nixon Rollingwood, TX 78	746			Project No: Invoice No:	0764 2302097	
Project	0764	Rollingwood Gen	eral Enginee	ering Services		
Professional Service	ces from Febru	ary 1, 2023 to February 2	<u>8, 2023</u>			
Task Professional Perso	100 nnel	General Engineering				
			Hours	Rate	Amount	
Aquilar Javier			1 00	90.00	90.00	
Blackburn Gree	VIOR		2.00	180.00	360.00	
Hasz Tyson	301 y		8.50	185.00	1 572 50	
11032, 193011	Totals		11 50	100.00	2 022 50	
	Total Labor		11.00		2,022.00	2,022.50
				Total this	Task	\$2,022.50
Task Professional Perso	101 onnel	Development Services				
			Hours	Rate	Amount	
Gaston, Theres	а		8.75	170.00	1,487.50	
Hasz, Tyson			19.00	185.00	3,515.00	
Melland, Brando	on		1.50	170.00	255.00	
Wissel, Suzann	е		1.25	110.00	137.50	
	Totals		30.50		5,395.00	
	Total Labor					5,395.00
				Total this	Task	\$5,395.00
	105					
Professional Perso	nnel					
			Hours	Rate	Amount	
Ballard, Anna			4.00	110.00	440.00	
Blackburn, Greg	gory		2.00	180.00	360.00	
Hasz, Tyson			4.50	185.00	832.50	
	Totals		10.50		1,632.50	
	Total Labor					1,632.50
				Total this	Task	\$1,632.50
	106	Drainage				

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Project	0764		Rollingwood General E	Engineering S	Services	Invoice	2302097
Profession	al Persor	nnel					
Anania Salinas	, Logan , III, Abela	ardo		Hours 18.25 36.00	Rate 110.00 220.00	Amount 2,007.50 7.920.00	
		Totals Total Labor		54.25		9,927.50	9,927.50
					Total ti	his Task	\$9,927.50
— — — — — – Task							
Profession	al Persor	nnel					
				Hours	Rate	Amount	
Hasz, T	yson			1.00	185.00	185.00	
Stotts, I	Matthew	.		9.00	125.00	1,125.00	
		l otals		10.00		1,310.00	1 240 00
							1,310.00
					Total t	his Task	\$1,310.00
Task	- 3 al Person	<u> </u>	DR-401 Vale St			,	,
11010331011				Hours	Rate	Amount	
Hasz, T	vson			1.50	185.00	277.50	
	•	Totals		1.50		277.50	
		Total Labor					277.50
					Total ti	his Task	\$277.50
Profession	al Person	inel	DR-19 Treemont				
				Hours	Rate	Amount.	
Hasz, T	yson			2.50	185.00	462.50	
		Totals		2.50		462.50	
		Total Labor					462.50
					Total ti	nis Task	\$462.50
— — — — — Task		— — — — — . 379					
Professiona	al Person	nel					
				Hours	Rate	Amount	
Hasz, T	yson			2.75	185.00	508.75	
		Totals		2.75		508.75	
		Total Labor					508.75
					Total th	nis Task	\$508.75
Task	· 3						
Professiona	al Person	nel					
				Hours	Rate	Amount	
Hasz, T	yson			2.75	185.00	508.75	
Hernand	dez, Aldo	-		2.75	110.00	302.50	
		I otals		5.50		811.25	044.07
		Total Labor					811.25
					Total th	nis Task	\$811.25

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Project 07	64	Rollingwood General E	ngineering S	Services	Invoice	2302097
Task Professional Per	388 sonnel	DR – 208 Ashworth				
Hasz, Tyson Salinas, III, A	belardo Totals Total Labor		Hours 5.75 .50 6.25	Rate 185.00 220.00 Total	Amount 1,063.75 110.00 1,173.75 this Task	1,173.75 \$1,173.75
Task	398 398	DR - 4808 Timberline Driv	 /e			
Hasz, Tyson Hernandez, A	Ndo Totals Total Labor		Hours 1.50 1.25 2.75	Rate 185.00 110.00	Amount 277.50 137.50 415.00	415.00
				Total	this Task	\$415.00
Task Professional Per	401 sonnel	DR-4707 Timberline Drive				
Hasz, Tyson	Totals Total Labor		Hours .25 .25	Rate 185.00	Amount 46.25 46.25	46.25
				Total	this Task	\$46.25
Task Professional Per	402 sonnel	DR - 4900 Rollingwood D	rive			
Hasz, Tyson Hernandez, A	ldo Totals Total Labor		Hours .50 .50 1.00	Rate 185.00 110.00	Amount 92.50 55.00 147.50	147.50
				Total	this Task 	\$147.50
Task Professional Per	406 sonnel	DR - 403 Wallis				
Hasz, Tyson Hernandez, A	ldo Totals Total Labor		Hours 3.50 2.00 5.50	Rate 185.00 110.00	Amount 647.50 220.00 867.50	867.50
				Total	this Task	\$867.50
Task Professional Pers	409 sonne l	DR - 408 Willis				
Hasz, Tyson			Hours 1.25	Rate 185.00	Amount 231.25	

Project	0764	Rollingwood General E	ngineering S	Services	Invoice	2302097
Hernande	ez, Aldo		2.50	110.00	275.00	
	Totals		3.75		506.25	
	Total Labor					506.25
				Total th	nis Task	\$506.25
		Zaning Daview Constal				
Professional	Personnel	Zoning Review General				
i i oleosional			Hours	Pata	Amount	
Gaston.]	Theresa		1.50	170 00	255 00	
Melland,	Brandon		.75	170.00	127.50	
	Totals		2.25		382.50	
	Total Labor					382.50
				Total th	nis Task	\$382.50
— — — — — . Took						
Professional	Personnel	ZR - 400 Wallis				
			Hours	Rate	Amount	
Gaston, 1	Theresa		1.50	170.00	255.00	
Melland,	Brandon		.50	170.00	85.00	
	Totals		2.00		340.00	
	lotal Labor					340.00
				Total th	iis Task	\$340.00
— — — — — . Task		ZR - 4808 Timberline Driv	 /e			
Professional	Personnel					
			Hours	Rate	Amount	
Melland, I	Brandon		.25	170.00	42.50	
	Totals		.25		42.50	
	Total Labor					42.50
				Total th	iis Task	\$42.50
		ZR - 4707 Timberline				
Professional	Personnel					
			Hours	Rate	Amount	
Gaston, T	heresa		1.25	170.00	212.50	
Melland, I	Brandon		.50	170.00	85.00	
	Totals		1.75		297.50	
	Total Labor					297.50
				Total th	is Task	\$297.50
		ZR - 302 Inwood				
Professional	Personnel					
			Hours	Rate	Amount	
Gaston, T	heresa		1.50	170.00	255.00	
, -	Totals		1.50	· · · · · · · ·	255.00	
	Total Labor					255.00
				Total th	is Task	\$255.00
— — — — — — – –			— — — — - ivo			
1001	001		140			

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Project 07	' 64	Rollingwood General En	gineering S	Services	Invoice	2302097
Professional Per	rsonnel					
Gaston, Ther Melland, Brar	resa ndon Totals		Hours 2.00 .75 2.75	Rate 170.00 170.00	Amount 340.00 127.50 467.50	
	Total Labor		2.10		407.00	467.50
				Total th	iis Task	\$467.50
	689	ZR - 403 Wallis				
Professional Per	sonnel					
Gaston, Ther	esa Totals		Hours 3.25 3.25	Rate 170.00	Amount 552.50	
	Total Labor		0.20		332.30	552.50
				Total th	iis Task	\$552.50
Task	911	ROW - 3225 Park Hills Dr				
Professional Per	sonnel					
			Hours	Rate	Amount	
Hasz, Tyson	Totals		.25 .25	185.00	46.25 46.25	
	Total Labor					46.25
				Total th	iis Task	\$46.25
— — — — — — — — Task	912	203 1/2 Vale St				
Professional Per	sonnel					
			Hours	Rate	Amount	
Hasz, Tyson	Totals		.75	165.00	138.75	
	Total Labor					138.75
				Total th	is Task	\$138.75
Task	913	2501 1/2 Hatley Dr				
Professional Per	sonnel					
Hasz Tyson			Hours	Rate	Amount	
11852, 195011	Totals		.50 .50	185.00	92.50	
	Total Labor					92.50
				Total th	iis Task	\$92.50
				Total this		\$28 118 75
				Total this		\$28,118.7

	Current	Prior	Total
Billings to Date	28,118.75	663,179.45	691,1298.20

Project 0764

Rollingwood General Engineering Services

Invoice 2302097

Billing Backup

K Friese & A	ssociates, Inc.	Invoice	2302097			
Project	0764	Rollingwood Ge	neral Engine	ering Services		
Task	100	General Engineering				
Professiona	l Personnel					
			Hours	Rate	Amount	
Aguilar, Javie	er Invoicina	2/7/2023	1.00	90.00	90.00	
Blackburn, G	iregory	2/15/2023	2.00	180.00	360.00	
	City Council meeting	attendance				
Hasz, Tyson		2/7/2023	.25	185.00	46.25	
	Review invoice					
Hasz, Tyson		2/8/2023	5.50	185.00	1,017.50	
	Prepare for bi-weekl council agenda repo	y meeting, bi-weekly meeting rt	g, progress r	eport,		
Hasz, Tyson		2/9/2023	.50	185.00	92.50	
	Submit council agen	da report, review sub-invoice	e materials			
Hasz, Tyson		2/21/2023	.25	185.00	46.25	
	Prepare bi-weekly ag	genda				
Hasz, Tyson		2/22/2023	1.50	185.00	277.50	
	Prepare for bi-week	y meeting, bi-weekly meeting	g			
Hasz, Tyson		2/28/2023	.50	185.00	92.50	
	Discuss 2023 rates v	with Joe C, compose email to	o City.			
	Totals		11.50		2,022.50	
	Total Labo	r				2,022.50
				Total th	nis Task	\$2,022.50

Task

Development Services

Professional Personnel

101

		Hours	Rate	Amount
Gaston, Theresa	2/1/2023	1.25	170.00	212.50
Weekly Development Timberline - ret wall/tr	Review List - update & s ee situation403 Wallis	send to NikkiOth	ner: 4707	
Gaston, Theresa	2/2/2023	.75	170.00	127.50
Review, update, send	out Weekly Development	nt Review Chec	klist to City	
Gaston, Theresa	2/6/2023	.50	170.00	85.00
Coordinate w/Brandor	n & Tyson			
Gaston, Theresa	2/8/2023	.50	170.00	85.00
Biweekly MTG w/City	& KFA			
Gaston, Theresa	2/8/2023	1.75	170.00	297.50
Weekly Development Council Agenda Item p verification & sport cou	Review ListMonthly Zon per direction by TysonMi urt item	ing Review Stat isc items from N	tus Chart for likki:Zoning	
Gaston, Theresa	2/13/2023	.50	170.00	85.00
Update to Tyson Corre	espondence to city			
Gaston, Theresa	2/14/2023	.25	170.00	42.50
Correspondence to/fro	om city			
Gaston, Theresa	2/15/2023	1.50	170.00	255.00
Communications betw Development Review	een Tyson, Brandon, Ni List	kki & meWeekly	/	

Project	0764	Rollingwood General	Engineering S	Services	Invoice	2302097
Gaston, The	eresa	2/22/2023	1.75	170.00	297.50	
	MTG w/City: N	likki, Tyson & me [Ashley @confe	erence] Weekl	у		
	Development I	Review List & correspondenceF/	Up correspond	lence from		
	a.m. meeting					
Hasz, Tysoi	1	2/1/2023	.75	185.00	138.75	
	Coordinate rev	views, organize spreadsheet				
Hasz, Tysor	ר - ייי	2/2/2023	1.25	185.00	231.25	
	Coordinate rev	liews				
Hasz, Tysor	ן קייי	2/6/2023	2.00	185.00	370.00	
	Organize revie	ws, review coordination				
Hasz, Tysor	ן 	2/7/2023	.75	185.00	138.75	
	Dev PM meetii	ng, coordinate reviews				
Hasz, Tysor	ן 	2/8/2023	.75	185.00	138.75	
	Organize and a	assign reviews				
Hasz, Tysor	ו - י י	2/9/2023	1.75	185.00	323.75	
	Organize and a Joe C.	assign reviews, discuss review b	ackground and	d status with		
Hasz, Tysor	ו	2/10/2023	.50	185.00	92.50	
	Review coordin	nation				
Hasz, Tysor	ו	2/14/2023	.25	185.00	46.25	
	Coordinate rev	íews				
Hasz, Tysor	ו	2/15/2023	1.25	185.00	231.25	
	Organize revie	ws, address applicant questions				
Hasz, Tysor	ו	2/20/2023	1.50	185.00	277.50	
	Organize revie	ws, assign reviews				
Hasz, Tysor	า	2/21/2023	1.75	185.00	323.75	
	Look into 303 I	nwood issue, organize reviews, o	dev review PN	I meeting		
Hasz, Tysor	า	2/22/2023	.25	185.00	46.25	
	Look into deter	ntion pond options for 2608 Rollir	ngwood			
Hasz, Tysor	ו	2/23/2023	1.75	185.00	323.75	
	Organize revie	ws, look into innovative detentior	n options			
Hasz, Tysor	n	2/24/2023	2.00	185.00	370.00	
	Organize revie	ws, research innovative detention	n ideas.			
Hasz, Tysor	n	2/27/2023	1.50	185.00	277.50	
	Organize revie	ws, look into detention options fo	r resident			
Hasz, Tysor	1	2/28/2023	1.00	185.00	185.00	
	Coordinate rev	iews, Dev Review PM meeting				
Melland, Bra	andon	2/13/2023	1.00	170.00	170.00	
	Emails regardir General Coord	ng a zoning map for Nikki S, Zon ination with Terri	ing Verification	n Letter, and		
Melland, Bra	andon	2/14/2023	.25	170.00	42.50	
,	Emails regardir	ng a zoning map for Nikki S				
Melland, Bra	andon	2/20/2023	.25	170.00	42.50	
·, - · ·	General Permit	Review Coordination				
Wissel, Suza	anne	2/13/2023	1.25	110.00	137.50	
	Site inspection	with Tyson.				
	Totals	3	30.50		5,395.00	
	Total	Labor			2,200100	5.395.00
				Total th	is Task	\$5,395.00
Task	105	MS4				
Professiona	al Personnel				_	
Dollard Are:-	-	0/4/0000	Hours	Kate	Amount	
Ballard, Ann	а	2/1/2023	4.00	110.00	440.00	

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Project	0764	Rollingwood General E	ingineering S	Services	Invoice	2302097
	meeting	with Tyson, MS4 updates				
Blackburn, C	Gregory	2/13/2023	1.00	180.00	180.00	
	MS4 pres	sentation meeting				
Blackburn, C	Gregory	2/15/2023	1.00	180.00	180.00	
	MS4 pres	sentation prep				
Hasz, Tysor	ı	2/1/2023	.50	185.00	92.50	
	MS4 che	ck-in meeting with Vicky				
Hasz, Tysor	า	2/6/2023	.75	185.00	138.75	
	Review N	IS4 materials			(
Hasz, Tysor		2/13/2023	2.50	185.00	462.50	
	City Cour	1CII MS4 presentation prep	75	195.00	400 75	
Hasz, Tysor	MS4 Cou	Z/14/2023	.75	185.00	138.75	
	WI34 COU	Totals	10.50		1 632 50	
		Total Labor	10.50		1,052.50	1 632 50
						1,002.00
				Total	this Task	\$1,632.50
Task	10	06 Drainage				
Professiona	al Personr	iel				
			Hours	Rate	Amount	
Anania, Log	an	2/22/2023	1.50	110.00	165.00	
	Nixon/Ple	easant plan revisions quantity take-offs				
Anania, Log	an	2/23/2023	5.50	110.00	605.00	
	Nixon/Ple	easant plan revisions quantity take-offs				
Anania, Log	an	2/24/2023	3.00	110.00	330.00	
	Nixon/Ple	easant plan revisions quantity take-offs				
Anania, Log	an Ni (Di	2/27/2023	5.50	110.00	605.00	
	Nixon/Pie	easant plan revisions quantity take-offs	0.75	110.00	202 50	
Anania, Log	an Rod linos	2/28/2023	2.75	110.00	302.50	
Salinas III /	Abelardo	2/3/2023	2.00	220.00	440.00	
Gainas, in, /	Nixon/Ple	easant design revisions	2.00	220.00	-+0.00	
Salinas, III, /	Abelardo	2/8/2023	3.00	220.00	660.00	
	Nixon Ple	easant design revisions	0.00	220.00	000.00	
Salinas, III, /	Abelardo	2/9/2023	4.00	220.00	880.00	
	Nixon Ple	asant design revisions				
Salinas, III, /	Abelardo	2/10/2023	2.00	220.00	440.00	
	Nixon Ple	easant design revisions				
Salinas, III, A	Abelardo	2/13/2023	2.00	220.00	440.00	
	Nixon/Ple	asant plan updates, new quantities				
Salinas, III, /	Abelardo	2/14/2023	2.00	220.00	440.00	
	Nixon/Ple	easant plan updates, new quantities				
Salinas, III, A	Abelardo	2/15/2023	4.00	220.00	880.00	
0-1	NIXON/PIE	easant plan updates, new quantities	0.00	000.00	440.00	
Salinas, III, A	Abelardo	Z/16/2023	2.00	220.00	440.00	
Solinoo III /	Nixon/Pie		2 00	220.00	660.00	
Sainas, III, A	Nivon/Die	Z/17/2023	3.00	220.00	000.00	
Salinas III /		2/20/2023	2 00	220.00	440.00	
Gainas, iii, <i>r</i>	Nixon/Ple	easant redesign revisions	2.00	220.00	++0.00	
Salinas. III A	Abelardo	2/21/2023	1.00	220.00	220.00	
, , , , , , , , , , , , , , , , ,	Nixon/Ple	asant redesign - meeting with LA to dis	cuss chance	s to the	20000	
	channel.	0 0 1 1 1		-		
Salinas, III, A	Abelardo	2/22/2023	2.00	220.00	440.00	
	Nixon/Ple	asant redesign revisions				

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Project	0764	Rollingwood General	Engineering S	Services	Invoice	2302097
Salinas, III	, Abelardo	2/23/2023	4.00	220.00	880.00	
	Nixon/Pleasant	redesign revisions				
Salinas, III	, Abelardo	2/24/2023	2.00	220.00	440.00	
o "	Nixon/Pleasant	redesign revisions	50	000.00	440.00	
Salinas, III	, Abelardo	2/2//2023	.50	220.00	110.00	
Salinas III		2/28/2023	50	220.00	110.00	
ounido, m	Nixon/Pleasant	design revisions		220.00	110.00	
	Totals		54.25		9,927.50	
	Total I	Labor				9,927.50
				Total th	nis Task	\$9.927.50
						+-,
Task	107	GIS				
Professio	nal Personnel					
			Hours	Rate	Amount	
Hasz, Tyso	on	2/8/2023	.75	185.00	138.75	
· · · · · · · · · · · · · · · · · · ·	Discuss delivera	ables with Matt, send to City				
Hasz, Tyso	n	2/23/2023	.25	185.00	46.25	
	Coordinate with	Matt on Almarion lift station lite	m			
Stotts, Mat	tthew	2/2/2023	2.00	125.00	250.00	
	GIS: water & se	wer updates	0.00	105.00	050.00	
Stotts, Mat		2/3/2023	2.00	125.00	250.00	
Statte Mat	GIS: water & se	wer updates	3.00	125.00	375.00	
Stotts, Mai	GIS: water/wast	ewater undates	5.00	123.00	575.00	
Stotts. Mat	thew	2/7/2023	2.00	125.00	250.00	
	GIS: water/wast	tewater updates		/=====		
	Totals		10.00		1,310.00	
	Total I	Labor				1,310.00
				Total th	nis Task	\$1,310.00
Task	302	DR-401 Vale St				
Profession	nal Personnel					
			Hours	Rate	Amount	
Hasz, Tyso	on	2/27/2023	1.00	185.00	185.00	
	Prepare for insp	ection, travel to inspection, insp	pection			
Hasz, Tyso	on	2/28/2023	.50	185.00	92.50	
	Inspection repor	rt			077.50	
	l otals	ahar	1.50		277.50	077 50
	l otal i	Labor				277.50
				Total th	nis Task	\$277.50
						<i>4217100</i>
Task	 349	DR-19 Treemont				
Professio	nal Personnel					
			Hours	Rate	Amount	
Hasz, Tyso	on	2/27/2023	1.50	185.00	277.50	
· -	Prepare for insp	ection, inspection, travel from ir	nspection			
Hasz, Tyso	on	2/28/2023	1.00	185.00	185.00	

Inspection report Total Labor 2.50 462.50 Total Labor 462.5 Total this Task \$462.5 Task 379 DR-5012 Timberline Professional Personnel \$462.5 Hask 379 DR-5012 Timberline Professional Personnel \$462.5 Hask 379 DR-5012 Timberline Professional Personnel \$462.5 Hask 379 DR-5012 Timberline B50.0 \$23.75 Propare for site visit, travel to and from RW, site inspection 1.85.00 185.00 185.00 Total Labor 2/15/2023 1.00 185.00 185.00 508.7 Total S 2.75 508.75 508.75 508.75 508.75 Total Labor 2/21/2023 2.00 185.00 370.00 02.50 Coordination with the design engineer 462.5 462.50 811.25 462.50 Total Labor 2/21/2023 2.75 110.00 302.50 185.00 213.20 185.00 185.00 185.00 181.25 102.11 124 <t< th=""><th>Project</th><th>0764</th><th>Rollingwood Gener</th><th>al Engineering S</th><th>Services</th><th>Invoice</th><th>230209</th></t<>	Project	0764	Rollingwood Gener	al Engineering S	Services	Invoice	230209
Totals 2.50 462.50 Total Labor 462.5 Total Labor 462.5 Total Labor 462.5 Total Labor 5462.5 Task 379 DR-5012 Timberline 462.5 Professional Personnel Hours Rate Amount		Inspection report			<u></u>		
Total Labor 462.5 Total Labor Total this Task \$462.5 Task 379 DR-5012 Timberline Professional Personnel #ours Rate Amount Hazz, Tyson 2/13/2023 1.75 185.00 323.75 Prepare for site visit, travel to and from RW, site inspection 2/15/2023 1.00 185.00		Totals		2.50		462.50	
Total this Task \$462.5 Task 379 DR-5012 Timberline Professional Personnel Professional Personnel Amount Hasz, Tyson 2/13/2023 1.75 185.00 323.75 Prepare for site visit, travel to and from RW, site inspection Prepare and send inspection report Totals 2.75 508.75 Total Labor 508.7 508.75 508.75 Total S 2.75 508.75 508.7 Total S 0.R-3 Grove Ct 7 7 185.00 370.00 CC, send comments off to City Hasz, Tyson 2/21/2023 2.00 185.00 370.00 02.50 Coordination with the design agnineer Coordination with the design agnineer 5.50 811.25 811.25 Total Labor Z21/2023 2.75 110.00 302.50 811.25 Total Labor Z21/2023 2.75 185.00 277.50 811.25 Total Labor Z21/2023 2.5 185.00 277.50 811.25 Total Labor Z200/2023 2.5 185.00 46.25		Total Labor					462.50
Task 379 DR-5012 Timberline Professional Personnel Haz, Tyson 2/13/2023 1,7 185.00 323.75 Prepare for site visit, travel to and from RW, site inspection 185.00 185.00 185.00 Prepare and send inspection report Totals 2.75 508.75 508.75 Total Labor Total this Task \$508.75 Professional Personnel Hours Rate Amount Hasz, Tyson 2/21/2023 2.00 185.00 370.00 CG, send comments off to City 2/21/2023 2.75 110.00 302.50 reviewing 2/21/2023 2.75 110.00 302.50 reviewing 2/21/2023 2.75 110.00 302.50 reviewing S.500 811.25 811.25 Total Labor 2/21/2023 2.75 185.00 277.50 reviewing 2/10/2023 1.50 185.00 277.50 reviewing 2/13/2023 2.5 185.00 277.50	,				Total th	iis Task	\$462.5
Task 379 DR-5012 Timberline Professional Personnel Hours Rate Amount tasz, Tyson 2/13/2023 1,75 185.00 323.75 Prepare for site visit, travel to and from RW, site inspection 185.00 185.00 Hasz, Tyson 2/15/2023 1.00 185.00 185.00 Prepare and send inspection report 508.75 508.75 508.75 Total Labor 508.75 508.75 508.75 Task 386 DR-3 Grove Ct 700 185.00 370.00 QC, send comments off to City 185.00 185.00 370.00 223/2023 .75 185.00 38.75 Coordination with the design engineer 2/21/2023 2.75 110.00 302.50 reviewing 5.50 811.25 811.2 Total Labor 2/10/2023 2.75 185.00 277.50 reviewing 5.50 811.25 811.2 Total Labor 2/13/2023 2.55 185.00 46.25 Send comment letter to City 1.50 185.00 277.50 Review la							
Professional Personnel Hours Rate Amount tasz, Tyson 2/13/2023 1.75 185.00 323.75 Prepare for site visit, travel to and from RVV, site inspection 185.00 185.00 185.00 Prepare and send inspection report 2.75 508.75 508.75 Total Labor 508.7 508.75 508.75 Total Visit 700 221/2023 2.00 185.00 370.00 Cask 386 DR- 3 Grove Ct 700 300.00 3	Task	379	DR-5012 Timberline				
Hours Rate Amount Prepare for site visit, travel to and from RW, site inspection 185.00 323.75 Prepare for site visit, travel to and from RW, site inspection 185.00 323.75 Itasz, Tyson 2/15/2023 1.00 185.00 323.75 Totals 2.75 508.75 508.75 Total Labor 508.7 508.75 508.75 Total Labor 508.7 508.75 508.75 Fask 386 DR- 3 Grove Ct 77 508.75 508.75 Prepare and send inspection report Total this Task \$508.75 508.75 Fask 386 DR- 3 Grove Ct 77 185.00 370.00 QC, send comments off C City 438.75 185.00 138.75 200 138.75 Coordination with the design engineer 100.00 302.50 811.25 811.25 Total Labor 2/21/2023 2.75 110.00 302.50 811.25 Grofessional Personnel Hours Rate Amount 482.7	Professiona	al Personnel					
Hasz, Tyson 2/13/2023 1.75 185.00 323.75 Prepare for site visit, travel to and from RW, site inspection 185.00 185.00 185.00 Hasz, Tyson 2/15/2023 1.00 185.00 185.00 Prepare and send inspection report Totals 2.75 508.75 Total Labor 508.75 Total this Task \$508.75 Frask 386 DR-3 Grove Ct Professional Personnel Hours Rate Amount dasz, Tyson 2/21/2023 2.00 185.00 370.00 QC, send comments off to City 1485.0 380.0 370.00 302.50 reviewing 2/21/2023 2.75 110.00 302.50 reviewing Total Labor 811.25 811.25 Total Labor 2/21/2023 2.75 185.00 277.50 reviewing Total Labor 811.25 811.25 Total Labor 2/10/2023 1.50 185.00 277.50 rask 388 DR – 208 Ashworth 25<				Hours	Rate	Amount	
Prepare for site visit, travel to and from RW, site inspection lasz, Tyson 2/15/2023 1.00 185.00 Prepare and send inspection report 2.75 508.75 Total Labor 508.7 Total Labor 508.7 Total Labor 508.7 Total this Task \$508.7 Prepare and send inspection report Total this Task Total Comments off to City 8 Pasz, Tyson 2/21/2023 2.00 QC, send comments off to City 302.50 reviewing 2/21/2023 2.75 110.00 302.50 Total Labor 811.25 811.25 811.25 Total Labor 811.25 811.25 811.25 Total Labor 811.25 811.25 811.25 Total Labor 2/10/2023 1.50 185.00 277.50 Review latest submittal 2/20/2023 2.25 185.00 46.25 Send comment letter to City 9/20/2023 2.25 185.00 46.25 Discuss outstanding items with architect 18	Hasz, Tyson		2/13/2023	1.75	185.00	323.75	
Hasz, Tyson 2/15/2023 1.00 185.00 185.00 Prepare and send inspection report Totals 2.75 508.75 Total Labor 508.75 Total Labor 508.76 Fask 386 DR-3 Grove Ct Professional Personnel Hours Rate Amount Hasz, Tyson 2/21/2023 2.00 185.00 370.00 QC, send comments off to City 2/23/2023 .75 185.00 138.75 Coordination with the design engineer 2/21/2023 2.75 10.00 302.50 reviewing Totals 5.50 811.25 811.25 Total Labor Total this Task \$811.2 'ask 388 DR – 208 Ashworth 70 * of comment letter to City 1.50 185.00 277.50 'ask 388 DR – 208 Ashworth 462.5 56.00 46.25 Send comment letter to City 1.50 185.00 277.50 27.90 22.202.23 2.5 185.00 416.25 56.00		Prepare for site visit, to	avel to and from RW, s	ite inspection			
Prepare and send inspection report Totals 2.75 508.75 Total Labor 508.7 Professional Personnel Hours Rate Amount Hasz, Tyson 2/21/2023 2.00 185.00 370.00 QC, send comments off to City 4asz, Tyson 2/21/2023 2.75 110.00 302.50 reviewing Totals 5.50 811.25 811.2 Total Labor Hours Rate Amount Yrofessional Personnel Hours Rate Amount Hasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 2/13/2023 2.5 185.00 46.25 Basz, Tyson 2/20/2023 2.5 185.00 277.50 <td>Hasz, Tyson</td> <td>H</td> <td>2/15/2023</td> <td>1.00</td> <td>185.00</td> <td>185.00</td> <td></td>	Hasz, Tyson	H	2/15/2023	1.00	185.00	185.00	
Totals 2.75 508.75 Total Labor 508.75 Total Labor 508.7 Total Labor 508.7 Total this Task \$508.7 Task 386 DR- 3 Grove Ct Professional Personnel Hours Rate Amount tasz, Tyson 2/21/2023 2.00 185.00 370.00 QC, send comments off to City Gordination with the design engineer Coordination with the design engineer Total Labor 811.25 Total Labor 2/21/2023 2.75 110.00 302.50 reviewing Totals 5.50 811.25 Total Labor 811.2 811.2 review latest submittal Hours Rate Amount tasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 2/13/2023 2.5 185.00 46.25 Send comment letter to City Hours Rate Amount tasz, Tyson 2/20/2023 2.5 185.00 46.25		Prepare and send insp	ection report				
Iotal Labor 508.7 Total Labor 508.7 Task 386 DR-3 Grove Ct *rofessional Personnel Hours Rate Amount Hasz, Tyson 2/21/2023 2.00 185.00 370.00 QC, send comments off to City 2/23/2023 .75 185.00 138.75 Coordination with the design engineer 2/21/2023 2.75 110.00 302.50 reviewing Totals 5.50 811.25 811.2 Total Labor 811.2 811.2 811.2 'ask 388 DR – 208 Ashworth 2/10/2023 1.50 185.00 277.50 'ask 388 DR – 208 Ashworth 2/13/2023 .25 185.00 46.25 'ask 388 DR – 2023 2.5 185.00 46.25 'asz, Tyson 2/13/2023 2.5 185.00 46.25 Drainage review 2/22/2023 2.5 185.00 46.25 Drainage review 2/22/2023 2.5 185.00		Totals		2.75		508.75	
Total this Task \$508.7 Task 386 DR- 3 Grove Ct Professional Personnal 4.000 185.00 370.00 4asz, Tyson 2/21/2023 2.00 185.00 370.00 Correlination with the design engineer 2/23/2023 .75 185.00 138.75 Coordination with the design engineer 2/21/2023 2.75 110.00 302.50 reviewing Totals 5.50 811.25 811.25 Total Labor 5.50 811.25 811.25 Task 388 DR – 208 Ashworth 271.0/2023 1.50 185.00 277.50 Fask 388 DR – 208 Ashworth 271.0/2023 1.50 185.00 277.50 fask 388 DR – 208 Ashworth 2/20/2023 2.5 185.00 277.50 fask 388 DR – 208 Ashworth 2/20/2023 2.5 185.00 277.50 fase, Tyson 2/20/2023 2.5 185.00 277.50 2/20/2023 fase, Tyson </td <td></td> <td>l otal Labor</td> <td></td> <td></td> <td></td> <td></td> <td>508.7</td>		l otal Labor					508.7
Total this Task \$508.7 Fask 386 DR-3 Grove Ct Professional Personnel Hours Rate Amount Hasz, Tyson 2/21/2023 2.00 185.00 370.00 Acc, send comments off to City 2/23/2023 7.5 185.00 138.75 Acc, and comments off to City 2/21/2023 2.75 110.00 302.50 Feviewing Feviewing Totals 5.50 811.25 811.25 811.25 811.25 700 811.25 <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>							
Fask 386 DR- 3 Grove Ct Professional Personnel Hours Rate Amount fasz, Tyson 2/21/2023 2.00 185.00 370.00 QC, send comments off to City 185.00 138.75 185.00 138.75 Coordination with the design engineer 2/23/2023 7.5 185.00 302.50 reviewing Totals 5.50 811.25 811.25 Total Labor 5.50 811.25 811.25 Total Labor 7ask 388 DR – 208 Ashworth 811.25 *review latest submittal 1.50 185.00 277.50 Review latest submittal 2/10/2023 1.50 185.00 277.50 Review latest submittal 2/13/2023 2.5 185.00 46.25 Send comment letter to City 148.2, Tyson 2/20/2023 2.5 185.00 46.25 Send comment letter to City 128.00 277.50 185.00 277.50 Review latest submittal 1.50 185.00 277.50 Itazz, Tyson 2/20/2023 2.5 185.00 26.25					Total th	iis Task	\$508.7
Professional Personnel Hours QC, send comments off to City QC, send comments off to City Coordination with the design engineer demandez, Aldo 2/21/2023 7.5 185.00 338.75 - demandez, Aldo 2/21/2023 2.75 110.00 302.50 - reviewing Totals 5.50 811.25 811.25 - Total Labor - Total Labor 811.25 - Total Labor - Total His Task \$811.2 - reviewing Totals - 2/10/2023 1.50 185.00 277.50 - reviewing Totals - 2/10/2023 1.50 185.00 277.50 - review latest submittal tasz, Tyson - 2/10/2023 2.25 185.00 46.25 - Send comment letter to City tasz, Tyson - 2/20/2023 2.25 185.00 46.25 - Send comment letter to City tasz, Tyson - 2/20/2023 2.50 185.00 46.25 - Send comments to City tasz, Tyson - 2/28/2023 1.50 185.00 277.50 - Review 6, send comments to City taltas, III, Abelardo - 2/20/2023 2.50 185.00 277.50 - Review 6, send comments to City taltasz, Tyson </td <td> _</td> <td>386</td> <td>DR- 3 Grove Ct</td> <td></td> <td></td> <td></td> <td></td>	 _	386	DR- 3 Grove Ct				
Hours Rate Amount Hasz, Tyson 2/21/2023 2.00 185.00 370.00 GC, send comments off to City 2/23/2023 .75 185.00 138.75 Coordination with the design engineer 185.00 302.50 100.00 302.50 reviewing Totals 5.50 811.25 811.25 Total Labor Total Labor 811.25 811.25 Task 388 DR – 208 Ashworth 811.25 811.25 Freisesional Personnel Hours Rate Amount Hasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 1432.2023 2.25 185.00 46.25 Send comment letter to City 1432.2023 2.25 185.00 46.25 Drainage review 2/22/2023 2.5 185.00 46.25 Drainage review 2/22/2023 2.5 185.00 277.50 Hasz, Tyson 2/22/2023 1.50 185.00 277.50 Review 6, send comm	Professiona	l Personnel					
Hasz, Tyson 2/21/2023 2.00 185.00 370.00 GC, send comments off to City 185.00 138.75 185.00 138.75 Lexar, Tyson 2/23/2023 7.75 185.00 138.75 Coordination with the design engineer 110.00 302.50 reviewing Totals 5.50 811.25 Total Labor 811.25 811.25 811.25 Total Labor Total this Task \$811.2 Fask 388 DR – 208 Ashworth 277.50 Fase, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 1432.7 146.25 5 146.25 Send comment letter to City 1435.00 277.50 46.25 165.00 46.25 165.00 277.50 Hasz, Tyson 2/28/2023 1.50 185.00 277.50<				Hours	Rate	Amount	
QC, send comments off to City tasz, Tyson 2/23/2023 .75 185.00 138.75 Coordination with the design engineer 2/21/2023 2.75 110.00 302.50 reviewing Totals 5.50 811.25 811.25 Total Labor Total Labor 811.25 811.25 Fask 388 DR – 208 Ashworth 76 185.00 277.50 Fask 388 DR – 208 Ashworth 77.50 185.00 277.50 Fask 388 DR – 208 Ashworth 277.50 185.00 277.50 fasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 1432,71300 2/20/2023 2.25 185.00 46.25 Send comment letter to City 2/20/2023 2.25 185.00 46.25 Drainage review 2/20/2023 2.55 185.00 277.50 asz, Tyson 2/20/2023 1.50 185.00 277.50 Review 6, send comments to City 100 277.50 110.00 Review 6, send comments to City 200.00 110.00	Hasz, Tyson		2/21/2023	2.00	185.00	370.00	
Hasz, Tyson 2/23/2023 .75 185.00 138.75 Coordination with the design engineer .75 110.00 302.50 reviewing Totals 5.50 811.25 Total Labor 811.25 811.25 Total Labor 811.25 811.25 Fask 388 DR – 208 Ashworth 811.25 Frask 388 DR – 208 Ashworth 811.25 Frask 388 DR – 208 Ashworth 75 Professional Personnel Hours Rate Amount tasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 1.50 185.00 46.25 5 Send comment letter to City 1.50 185.00 46.25 5 Drainage review 2/20/2023 2.25 185.00 46.25 Uses outstanding items with architect 1.50 185.00 277.50 tasz, Tyson 2/28/2023 1.50 185.00 277.50 Totals 2/28/2023 1.50 185.00 277.50 Review 6, send comments to City	-	QC, send comments o	ff to City				
Coordination with the design engineer Hernandez, Aldo 2/21/2023 2.75 110.00 302.50 reviewing Totals 5.50 811.25 Total Labor Reviewing Total Labor Coordination with the design engineer Total Labor B11.25 Total Labor Total State Total Colspan="2">Coordination with the design engineer Total Labor B11.25 Total Labor Total this Task \$811.2 Total Colspan="2">Coordination with the design engineer B11.25 Total Labor Total Colspan="2">Total Labor Sender Comment Personnel Forfeessional Personnel Hours Rate Amount tasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 2/22/2023 2.5 185.00 277.50 tasz, Tyson 2/22/2023 1.50 185.00 277.50 Review 6, send comments to City<	Hasz, Tyson		2/23/2023	.75	185.00	138.75	
Hernandez, Aldo 2/21/2023 2.75 110.00 302.50 reviewing Totals 5.50 811.25 Total Labor 811.2 811.2 Total Labor Total Labor Total Labor Total Labor Total Labor Total this Task Send colspan="2">Colspan="2">Total this Task Fask 388 DR – 208 Ashworth Professional Personnel Hours Rate Amount Hasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal Hours Rate Amount		Coordination with the	design engineer				
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Hasz, Tyson 2/10/2023 1.50 185.00 277.50 Review latest submittal 2/13/2023 .25 185.00 46.25 Hasz, Tyson 2/20/2023 2.25 185.00 416.25 Send comment letter to City 2/22/2023 2.25 185.00 416.25 Drainage review 2/22/2023 .25 185.00 46.25 Utasz, Tyson 2/22/2023 .25 185.00 46.25 Discuss outstanding items with architect 1.50 185.00 277.50 Hasz, Tyson 2/28/2023 5.50 220.00 110.00 Review 6, send comments to City 5.50 220.00 110.00 Resubmittal review Totals 6.25 1,173.75 Total Labor 1,173.75 1,173.75				Hours	Rate	Amount	
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Hasz, Tyson 2/13/2023 .25 185.00 46.25 Send comment letter to City 2/20/2023 2.25 185.00 416.25 Drainage review 0 2/22/2023 .25 185.00 46.25 Iasz, Tyson 2/22/2023 .25 185.00 46.25 Discuss outstanding items with architect 0 150 185.00 277.50 Review 6, send comments to City 0 1.50 185.00 277.50 Salinas, III, Abelardo 2/10/2023 .50 220.00 110.00 Resubmittal review 6.25 1,173.75 1,173.75 Total Labor 0 1,173.75 1,173.75		Review latest submitta	1				
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Hasz, Tyson 2/20/2023 2.25 185.00 416.25 Drainage review 185.00 46.25 185.00 46.25 Hasz, Tyson 2/22/2023 .25 185.00 46.25 Discuss outstanding items with architect 150 185.00 277.50 Hasz, Tyson 2/28/2023 1.50 185.00 277.50 Review 6, send comments to City 10.00 110.00 110.00 Resubmittal review 6.25 1,173.75 1,173.75 Totals 6.25 1,173.75 1,173.75		Send comment letter to	o City				
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Ass2, rysoft 2/26/2023 1.50 185.00 2/17.50 Review 6, send comments to City .50 220.00 110.00 Salinas, III, Abelardo 2/10/2023 .50 220.00 110.00 Resubmittal review Totals 6.25 1,173.75 Total Labor 1,173.75	Hoor Turce	uscuss outstanding ite	ans with architect	4 60	195.00	077 50	
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Resubmittal review Totals 6.25 1,173.75 Total Labor 1,173.75	Salinae III A	Neview 0, seria commi Abelardo	2/10/2022	50	220.00	110.00	
Totals 6.25 1,173.75 Total Labor 1,173.75	Gaimas, III, A	Resubmittal review	2/10/2023	.50	220.00	110.00	
Total Labor 1,173.73		Totale		6 25		1 173 75	
		Total Labor		0.20		1,113.13	1 172 7
							1,170.11

Project	0764	Rollingwood Genera	al Engineering S	Services	Invoice	2302097
<u> </u>		DR - 4808 Timberline Drive				
Professior	nal Personnel					
			Hours	Rate	Amount	
Hasz, Tyso	n OC	2/14/2023	.75	185.00	138.75	
Hasz, Tyso	n	2/16/2023	.50	185.00	92.50	
•	Phone call with d	esign engineer, review revise	ed submittal			
Hasz, Tyso	n Dranara and asa	2/20/2023	.25	185.00	46.25	
Hernandez	Aldo	2/9/2023	1 25	110.00	137 50	
	review and coord	ination with Tyson	1.20	110.00	101.00	
	Totals		2.75		415.00	
	Total La	abor				415.00
				Total th	is Task	\$415.00
— — — — . Task	401	DR-4707 Timberline D	— — — — — . Prive			
Profession	al Personnel					
			Hours	Rate	Amount	
Hasz, Tyso	n .	2/14/2023	.25	185.00	46.25	
	Prepare and send Totals	a revised approval letter	25		46 25	
	Total La	abor	.20		40.20	46.25
				Total th	is Task	\$46.25
				Total th	is Task — — — — — — — — —	\$46.25
	402	DR - 4900 Rollingwood		Total th 	is Task — — — — — — — — —	\$46.25 -
 Task Professio n	402 al Personnel	DR - 4900 Rollingwood		Total th 	is Task — — — — — — — — — —	\$46.25 -
Task Profession	402 al Personnel	DR - 4900 Rollingwood	d Drive Hours	Total th 	is Task — — — — — — — — — Amount	\$46.25 - -
Task Profession Hasz, Tyso	402 al Personnel	DR - 4900 Rollingwood 2/6/2023	d Drive Hours .50	Total th — — — — — — — Rate 185.00	is Task 	\$46.25 - -
Task Profession Hasz, Tyso Hernandez,	402 aal Personnel n QC, drainage app Aldo	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023	d Drive Hours .50 .50	Total th Rate 185.00 110.00	is Task — — — — — — — — — — Amount 92.50 55.00	\$46.25 - — — — —
Task Profession Hasz, Tyso Hernandez,	402 aal Personnel n QC, drainage app Aldo review 3 cleared,	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination	d Drive Hours .50 .50	Total th Rate 185.00 110.00	is Task 	\$46.25 - — — —
Task Profession Hasz, Tyso Hernandez,	402 nal Personnel n QC, drainage app Aldo review 3 cleared, Totals	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00	is Task Amount 92.50 55.00 147.50	\$46.25
Task Profession Hasz, Tyso Hernandez,	402 aal Personnel n QC, drainage app Aldo review 3 cleared, Totals Total La	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00	is Task Amount 92.50 55.00 147.50	\$46.25 147.50
Task Profession Hasz, Tyso Hernandez,	402 nal Personnel n QC, drainage app Aldo review 3 cleared, Totals Total La	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00	is Task Amount 92.50 55.00 147.50	\$46.25 147.50
Task Profession Hasz, Tyso Hernandez,	402 aal Personnel n QC, drainage app , Aldo review 3 cleared, Totals Total La	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00	is Task Amount 92.50 55.00 147.50 is Task	\$46.25 147.50 \$147.50
Task Profession Hasz, Tyso Hernandez, Task	402 nal Personnel n QC, drainage app , Aldo review 3 cleared, Totals Total La 406	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination abor DR - 403 Wallis	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00 Total th	is Task Amount 92.50 55.00 147.50 is Task	\$46.25
Task Profession Hasz, Tyso Hernandez, Task Profession	402 aal Personnel n QC, drainage app Aldo review 3 cleared, Totals Total La 406 al Personnel	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination hoor DR - 403 Wallis	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00 Total th	is Task Amount 92.50 55.00 147.50	\$46.25
Task Profession Hasz, Tyso Hernandez, Task Profession	402 nal Personnel n QC, drainage app Aldo review 3 cleared, Totals Total La 406 al Personnel	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination abor DR - 403 Wallis	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00 Total th	is Task Amount 92.50 55.00 147.50 is Task Amount	\$46.25
Task Profession Hasz, Tyso Hernandez, Task Profession Hasz, Tysor	402 aal Personnel n QC, drainage app Aldo review 3 cleared, Totals Total La 406 al Personnel	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination bor DR - 403 Wallis 2/2/2023	d Drive Hours .50 1.00	Total th Rate 185.00 110.00 Total th Rate 185.00	is Task Amount 92.50 55.00 147.50 is Task Amount 416.25	\$46.25 147.50 \$147.50
Task Profession Hasz, Tyso Hernandez, Task Profession Hasz, Tyso Hasz, Tyso	402 al Personnel n QC, drainage app Aldo review 3 cleared, Totals Total La 406 al Personnel n QC, coordinate win	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination abor DR - 403 Wallis 2/2/2023 ith Terri 2/14/2023	d Drive Hours .50 .50 1.00	Total th Rate 185.00 110.00 Total th Rate 185.00 185.00	is Task Amount 92.50 55.00 147.50 is Task Amount 416.25 46.25	\$46.25
Task Profession Hasz, Tyso Hernandez, Task Profession Hasz, Tyso Hasz, Tyso	402 aal Personnel QC, drainage app Aldo review 3 cleared, Totals Total La 406 al Personnel	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination bor DR - 403 Wallis 2/2/2023 ith Terri 2/14/2023	d Drive Hours .50 .50 1.00 Hours 2.25 .25	Total th Rate 185.00 110.00 Total th Rate 185.00 185.00	is Task Amount 92.50 55.00 147.50 is Task Amount 416.25 46.25	\$46.25
Task Profession Hasz, Tyso Hernandez, Task Profession Hasz, Tyso Hasz, Tyso	402 al Personnel QC, drainage app Aldo review 3 cleared, Totals Total La 406 al Personnel QC, coordinate win QC	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination abor DR - 403 Wallis 2/2/2023 ith Terri 2/14/2023 2/15/2023	d Drive Hours .50 .50 1.00 Hours 2.25 .25 1.00	Total th Rate 185.00 110.00 Total th Total th Rate 185.00 185.00 185.00	is Task Amount 92.50 55.00 147.50 is Task Amount 416.25 46.25 185.00	\$46.25
Task Profession Hasz, Tyso Hernandez, Task Profession Hasz, Tyso Hasz, Tyso Hasz, Tyso Hasz, Tyso	402 al Personnel C, drainage app , Aldo review 3 cleared, Totals Total La 406 al Personnel C, coordinate win QC QC, submit comm	DR - 4900 Rollingwood 2/6/2023 proval letter 2/6/2023 coordination bor DR - 403 Wallis 2/2/2023 ith Terri 2/14/2023 2/15/2023 pents to city, address applicat 2/13/2023	d Drive Hours .50 .50 1.00 Hours 2.25 .25 1.00 nt's questions 2.00	Total th Rate 185.00 110.00 Total th Total th Rate 185.00 185.00 185.00 110.00	is Task Amount 92.50 55.00 147.50 is Task Amount 416.25 46.25 185.00 220.00	\$46.25

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Project	0764	Rollingwood General	Engineering §	Services	Invoice	2302097
	reviewing draina	ge				
	l otals	abor	5.50		867.50	867 50
						007.50
				Total th	is Task	\$867.50
Task	409					
Professio	nal Personnel					
			Hours	Rate	Amount	
Hasz, Tyso	on	2/14/2023	1.00	185.00	185.00	
	QC	0/00/0000	05	105.00	10.05	
Hasz, Tyso	n Prenare and sen	2/20/2023 d letter to Nikki	.25	185.00	46.25	
Hernandez	. Aldo	2/8/2023	1.50	110.00	165.00	
	review 2					
Hernandez	, Aldo	2/9/2023	1.00	110.00	110.00	
	review 2 finish		0.75		500.05	
	I otals	ahor	3.75		506.25	506 25
						500.25
				Total th	is Task	\$506.25
Task	600	Zoning Review General				
Profession	nal Personnel					
			Hours	Rate	Amount	
Gaston, Th	eresa	2/2/2023	.75	170.00	127.50	
	Discussion w/Tys questions	son; F/up with Brandon re Zoni	ng review stat	us &		
Gaston, Th	eresa	2/7/2023	.50	170.00	85.00	
	4013 Timberline [possibly in setba	Drive [no Task# designation yeack area]CC'd Brandon on resp	et]Sport Court onse to Nikki	in rearyard		
Gaston, Th	eresa	2/27/2023	.25	170.00	42.50	
	City corresponde	ence				
Melland, Br	randon	2/8/2023	.25	170.00	42.50	
Molland B	3101 Bee Caves	Road Review Coordination	25	170.00	42 50	
menanu, Di	Coordination with	Terri RE: proposed Sport Cou	.25	170.00	42.50	
Melland, Br	randon	2/9/2023	.25	170.00	42.50	
	Coordination with	n Terri RE: proposed Sport Cou	ırt			
	Totals	•	2.25		382.50	
	l otal La	abor				382.50
				Total th	is Task	\$382.50
 	 676	ZR - 408 Wallis				
Profession	al Personnel					
			Hours	Rate	Amount	
Gaston, Th	eresa Review #2	2/14/2023	.75	170.00	127.50	
Gaston, Th	eresa	2/15/2023	.75	170.00	127.50	
	Combine Drainag	ge/Zoning review letters				
Melland, Br	andon Review. coordina	2/14/2023 Ition with Terri G.	.25	170.00	42.50	

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Project 0764	Rollingwood Genera	eneral Engineering Services Invoice		2302097	
Melland, Brandon	2/15/2023	.25	170.00	42.50	
Review. coordinati	on with Terri G.				
l otals	or	2.00		340.00	240.00
	501				340.00
			Total th	nis Task	\$340.00
Task 681	ZR - 4808 Timberline E	Drive			
Professional Personnel					
		Hours	Rate	Amount	
Melland, Brandon	2/8/2023	.25	170.00	42.50	
Email Coordination Totals	r with rem G. and Stan.	25		42 50	
Total Lat	or	.20		42.00	42.50
			Total th	nis Task	\$42.50
Task 685	ZR - 4707 Timberline				
Professional Personnel					
		Hours	Rate	Amount	
Gaston, Theresa	2/3/2023	.25	170.00	42.50	
REVSD: Intake for	Ret Wall/Tree Issue [plans]	previously app	roved]		
Gaston, Theresa	2/14/2023	.75	170.00	127.50	
Zoning - revision re	eview RE retaining wall mod	ification	170.00	40.50	
Zoning acceptance	e letter	.20	170.00	42.50	
Melland, Brandon	2/14/2023	.25	170.00	42.50	
Review. coordination	on with Terri G.				
Melland, Brandon	2/15/2023	.25	170.00	42.50	
Review. coordination	on with Terri G.	4 75		007 50	
Totals	or	1.75		297.50	207 50
					297.50
			Total th	nis Task	\$297.50
185K 686	ZR - 302 Inwood				
Professional Personnel					
		Hours	Rate	Amount	
Gaston, Theresa	2/6/2023	.50	170.00	85.00	
Gaston Theresa	rs 2/13/2023	1 00	170.00	170.00	
Zoning Review 3		1.00	170.00	170.00	
Totals		1.50		255.00	
Total Lab	or				255.00
			Total th	lis Task	\$255.00
Task 687	ZR - 4900 Rollingwood	Drive			

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Project	0764	Rollingwood General Engineering Services Invoice			2302097	
Professi	onal Personnel					
			Hours	Rate	Amount	
Gaston, T	Theresa	2/6/2023	2.00	170.00	340.00	
	Review #3 & ad	ditional correspondence to City				
Melland,	Brandon	2/6/2023	.25	170.00	42.50	
Molland	Review Coordina	ation with Terri G	05	170.00	40.50	
menano,	General Paview	2/1/2023	.25	170.00	42.50	
Melland	Brandon	2/27/2023	25	170.00	12 50	
menana,	Review Coordin	ation and Emails with City Staff	.20	170.00	42.50	
	Totals		2 75		467 50	
	Total L	abor	2.1.0		101.00	467.50
						101100
				Total th	nie Taek	\$467.50
				i otai ti	113 1 434	\$407.50
— — — — —						
Task	689	ZR - 403 Wallis				
Professio	onal Personnel					
			Hours	Rate	Amount	
Gaston, T	Theresa	2/2/2023	2.00	170.00	340.00	
	Complete 2nd R	leview				
Gaston, T	Theresa	2/9/2023	1.00	170.00	170.00	
.	Project tracking	updates & Review #3				
Gaston, I	heresa	2/15/2023	.25	170.00	42.50	
	Zoning acceptar	nce letter	2.05		550.50	
l otals			3.25		552.50	FFO 50
	TOLATE	abor				552.50
				T = 4 = 1 41		
				i otai tr	lis lask	\$ \$\$2.50
<u> </u>	911		— — — — — . Dr			
Profossio	anal Barconnol					
FIDIessic	Shai Fersonnei			-		
Lleen Tue		0/45/0000	Hours	Rate	Amount	
Hasz, Tys	Son Deview submitte	2/15/2023	.25	185.00	46.25	
		ii, senu approvai	25		46.25	
	Total I	abor	.20		40.25	46 25
						40.23
				Total th	in Teak	¢ 4 6 0 5
				i otai ti	115 1 d 5 m	\$40.25
Task	912	203 1/2 Vale St				
Professio	onal Personnel					
			Hours	Rate	Amount	
Hasz, Tys	ion	2/27/2023	.25	185.00	46.25	
	Review 1					
Hasz, Tys	on	2/28/2023	.50	185.00	92.50	
	Review 1					
	Totals		.75		138.75	
	Total L	abor				138.75

Project	0764	Rollingwood General Engineering Services			Invoice	2302097
				Total this Task		\$138.75
 _ Task	913	2501 1/2 Hatley Dr				
Profession	al Personnel					
			Hours	Rate	Amount	
Hasz, Tysor	า	2/28/2023	.50	185.00	92.50	
	Review 1					
	Totals		.50		92.50	
	Total Labo	or				92.50
				Total th	is Task	\$92.50
				Total this	Project	\$28,118.75
				Total this	Report	\$28,118.75

Rollingwood General Engineering Services Monthly Progress Report

K Friese & Associates, Inc.

1120 S. Capital of Texas Highway, CityView 2, Suite 100, Austin, Texas 78746

Client: City of Rollingwood Invoice No.: 2302098 Project Description: Rollingwood Nixon/Pleasant Drainage Improvements Project Reporting Period: February 1, 2023 – February 28, 2023 Project Manager: Abe Salinas, PE/Tyson Hasz, PE

Project	Project Summary	Status	Next steps
WA04	Preparation of plans,	Intention will be to bid this	Revise landscape plans
Nixon/Pleasant	specifications and	package together with the	per property owner
Drainage	estimates for the	Hubbard/Hatley project.	requests.
Improvements	development of a		
PS&E	construction bid package.	KFA coordinating with City	Finalize agreements on
	This will include channel	on property owner	proposed easements.
	improvements and	requests.	
	Segment 1 of the storm		
	sewer improvements.	Progress set sent to City	
		2/10.	


K Friese & Associates, Inc. 1120 South Capital of Texas Highway CityView 2, Suite 100 Austin, Texas 78746 (512) 338-1704 March 15, 2023

Ashley Wayn City of Rolling 403 Nixon Rollingwood,	nan gwood TX 78746			Project No: Invoice No:	0807 2302098	
Project Professiona	0807 I Services from F	Rollingwo Cebruary 1, 2023 to Feb	od Nixon-Pleasant Dra ruary 28, 2023	ainage Impr		
Task Fee	200	Project Managem	ent & Coordination (LS	;) ;)		
Total Fee	е	7,556.00				
Percent	Complete	95.00	Total Earned Previous Fee Billing Current Fee Billing		7,178.20 7,178.20 0.00	
			Total Fee	Total this Ta	isk	0.00 0.00
– – – – – Task Fee	201	Design Phase (LS				
Total Fee	e	75,310.00				
Percent	Complete	100.00	Total Earned Previous Fee Billing Current Fee Billing Total Fee		75,310.00 75,310.00 0.00	0.00
				Total this Ta	isk	0.00
Task Fee	300	Bid Phase (LS)				
Total Fee	Э	2,938.00				
Percent (Complete	0.00	Total Earned Previous Fee Billing Current Fee Billing		0.00 0.00 0.00	0.00
			i otai ree	Total this Ta	a ch	0.00
				TOTAL THE LA	ISN	0.00
Task Fee	320	Civil Corp, LLC R	DW (LS) (Sc)			
Total Fee	e	13,912.10				
Percent (Complete	100.00	Total Earned Previous Fee Billing Current Fee Billing Total Fee		13,912.10 13,912.10 0.00	0.00
				Total this Ta	ask	0.00

9 290					
Project	0807	Rollingwood Nix	kon-Pleasant Drainage In	npr Invoice	230209
Task	321	Raba Kistner - Ge	otech (LS) (Sc)		
Fee	021				
Total Fe	эе	11,100.00			
Percent	t Complete	100.00	Total Earned Previous Fee Billing	11,100.00 11,100.00	
			Current Fee Billing	0.00	
			lotal Fee		0.0
				Total this Task	0.0
– – – – – Task Fee	322	Terra Design Gro	up - Landscape (LS) (Sc)		
Total Fe	e	51,965.00			
Percent	t Complete	89.999	Total Earned Previous Fee Billing Current Fee Billing Total Fee	46,768.00 46,768.00 0.00	0.0
				Total this Task	0.0
– – – – – Task Consultants	323 s	Spitzer & Assoc -	Land Acquisition (T&M) (Sc)	
Spitzer	& Associates, Inc			895.00	
	Total Co	onsultants		895.00	895.0
				Total this Task	\$895.0
Task Fee	400	Construction Phas	se (LS)		
Total Fe	e	6,886.00			
Percent	Complete	0.00	Total Earned Previous Fee Billing	0.00 0.00	
			Total Fee	0.00	0.0
				Total this Task	0.0

	Current	Prior	Total
Billings to Date	895.00	157,308.18	158,203.18

31.

Spitzer & Associates, Inc.

302 Cypress Creek Lane Wimberley, TX 78676 31.

Date	Invoice #		
8/18/2022	92172		

Bill To							
K Friese & Associ c/o Lauren Winek 1120 S. Capital of	ates, Inc. Texas Hwy						
City View 2, Suite Austin, Tx 78746	100			-		Terr	ms
Item	Description			Qty		Rate	Amount
	City of Rollingwood Nixon/Pleasant Drainage Impro	vements Proj	ject				
Principal/Key Perso	eview; meeti s, city staff, a	ng nd		4	175.00	700.00	
Administrative Sup Jackie Flippin - Parcel review, order title commitments, review surveys/donation documen (Administrative/Document Control)			uments		3	65.00	195.00
			Total	l			\$895.00

We appreciate your business. Payment is due 30 days from invoice date. A 10% late charge per month will apply on all past due invoices.

Phone #	Fax #
512-478-8660	512-478-8462



OPERATOR'S REPORT

City of Rollingwood



MEMORANDUM

To:Ms. Ashley Wayman, City Administrator, City of RollingwoodFrom:Andrew Hunt, Crossroads Utility Services LLCSubject:Monthly ReportDate:4/11/23

Previous Directives

• No directives

Current Operations Report

- I. Utility Operations Report
 - A. Billing Report/ Water Accountability Please see enclosed water operations report
 - a. One Bac-t sample out of two was pulled for March 2022 See enclosed memo concerning a violation
 - B. Water System Operations and Maintenance No major issues

C. Wastewater Collection System Operations and Maintenance – We troubleshot a minor sewer issue at 2805 Bee Caves Rd

- D. Lift Station Maintenance See enclosed report
- II. Customer Service Issues No reported issues
- III. **Emergency Response Items –** No new items. We are awaiting the plan for generator installations at the lift stations.

IV. Drought Contingency Plan / Watering Restrictions

- a. Lake Travis Level 638.57 Current Storage 505,359 acre-feet (44.5% full)
- b. The City of Austin is currently in Stage 1 watering restrictions (twice per week watering)

City of Austin Stage 1 Restrictions – effective June 6, 2022

As a result of the combined storage in Lake Travis and Lake Buchanan falling below 1.4 million acre-feet, the City of Austin has implemented Drought Stage One Regulations of its Drought Contingency Plan effective June 6, 2022.

The City of Austin is currently in **Stage 1 Drought Water Use Restrictions**.

- Residential
 - Hose-end Sprinklers two days per week midnight to 8 a.m. and/or 7 p.m. to midnight
 - Even address Thursday, Sunday
 - Odd address Wednesday, Saturday
 - Automatic Irrigation -one day per week midnight to 8 a.m. and/or 7 p.m. to midnight (*Residential customers may also water a second day with a hose-end sprinkler*)
 - Even address Thursday
 - Odd address Wednesday
- Commercial / Multi-family / Public Schools
 - Hose-end Sprinklers or Automatic Irrigation one day per week midnight to 8 a.m. and/or 7 p.m. to midnight
 - Even address Tuesday
 - Odd address Friday
- Wasting water is prohibited
- Washing vehicles at home is permitted with an auto shut-off hose or bucket
- Charity car washes may only be held at a commercial car wash
- Fountains must recirculate water
- Restaurants may not serve water unless requested by a customer
- Patio misters at commercial properties (*including restaurants and bars*) may only operate between 4 p.m. and midnight
- Commercial power/pressure washing equipment_must meet efficiency requirements



MEMORANDUM

To:Ashley Wayman, City of RollingwoodFrom:Andrew Hunt, Dan Tatum; Crossroads Utility Services, LLCSubject:Bacteriological Sample Issue – Feb 2023Date:4/10/23

Ashley,

This memo is intended to notify you that Crossroads staff failed to collect the minimum amount of drinking water bacteriological samples for the month of March. The City is required to have two bacteriological samples pulled each month based on population. One of the samples our technician collected in March was rejected by the lab due to the sample having a high chlorine residual measured at the time the lab began analyzing the sample. The sealed sample bottles that we receive from the lab for monthly sampling purposes have a neutralizer called sodium thiosulfate within them. This powder is used to neutralize chlorine in the sample by 10 ppm. We believe that the sealed sample bottle received from the lab did not have the proper amount of sodium thiosulfate to completely neutralize the amount of chlorine in the sample. As a result of the chlorine residual found in one of the two submitted samples, the lab rejected one of our two samples submitted. The operator assigned to your system pulled a special bacteriological sample earlier in the month, but it was marked as a special sample that does not count towards the two regulatory samples required for the system each month. Our operator incorrectly interpreted that the special sample collected earlier in the month counted towards the required two samples each month and as a result did not pull a 3rd sample after being notified of the rejected sample. All of the samples we collected were clean of any bacteria; however, due to the operator not collecting a total of two samples, the City will be cited with a minor violation for failing to collect a total of two regulatory samples for the month of March 2023.

We apologize for this error. Going forward we will monitor all samples pulled by our operators to ensure that the proper number of regulatory samples are collected each month despite special samples pulled from the system within the same month. We will also reinforce with our operators the difference between the classification of samples to ensure they understand the difference and how they affect compliance.

This is classified as a minor violation with TCEQ with the resolution being a public notification by way of the annual Consumer Confidence Report (CCR). The notification will be included on the back of the 2023 CCR (sent out in April/May 2024) as required by the Texas Commission of Environmental Quality (TCEQ). Again, I would like to stress that at no time did the lab find any bacteria in these samples. Please let me know if you or the Utility Commission or City Council members have any questions at <u>ahunt@crossroadsus.com</u> or 512-246-5921.



MEMORANDUM

To:Ms. Ashley Wayman, City of RollingwoodFrom:Andrew Hunt, Crossroads Utility Services LLCSubject:Lift Station Report DetailDate:4/11/23

- <u>Lift Station 1 Dellana Ln.</u>
 - Troubleshot issues related to power fluctuations
- 1. Lift Station 2 Hatley Dr.
 - Installed back-up auto-dialer
- 1. Lift Station 3 Almarion Way
 - Pump #2 was cleaned out and re-installed for service.
- 1. Lift Station 4- Rockway Cv.
 - No issues
- 2. <u>Lift Station 5 Vale Dr.</u>
 - Cleaned lift station
- 3. <u>Lift Station 6 Pleasant Cv.</u>
 - Cleaned lift station
- 4. Lift Station 7 Nixon Dr.
 - Troubleshot issues with power and ATT issues with the backup dialer

6

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TEXAS COMMISSION ON ENVIRONMENTAL QUALITY Water Utilities Division

Monthly Operational Report For Public Water Systems Purchasing Treated Water From Another System Which Uses Surface Water Sources or Groundwater Sources Under The Influence of Surface Water

Г

PUBLIC WATER SYSTEM NAME: City of Rollingwood

Month: March 2023

No. of Connections: 537

	TREATED WATER PURCHASED FROM A WHOLESALE SUPPLIER								
Date	Quantity (mgd)	Monthly Summary (mgd)							
1	0.256	16	0.202	Total					
2	0.254	17	0.260	Monthly					
3	0.267	18	0.260	Purchase: 9.109					
4	0.267	19	0.261						
5	0.269	20	0.305	Average					
6	0.305	21	0.373	Daily: 0.294					
7	0.377	22	0.195						
8	0.288	23	0.402	Maximum					
9	0.376	24	0.292	Daily: 0.402					
10	0.293	25	0.294						
11	0.293	26	0.296	Minimum					
12	0.293	27	0.308	Daily: 0.177					
13	0.259	28	0.342						
14	0.325	29	0.357						
15	0.349	30	0.325						
		31	0.177						

DISTRIBUTION SYSTEM							
(DISINFECTANT RESIDUAL MONITORING)							
Minimum allowable disinfectant residual:	0.5	mg/L	Percentage of the measurements below the limit this month:				
Total no. of measurements this month:	34						
No. of measurements below the limit:	0		0% (1A)				
Percentage of the measurements below the li	imit last month:		0% (1B)				

PUBLIC NOTIFICATION						
		If YES, Date when Notice was Given to the:				
TREATMENT TECHNIQUE VIOLATION	Yes/No	TCEQ	Customers*			
More that 5.0% of the disinfectant residuals in						
the distribution system below acceptable levels						
for two consecutive months? - see (1A) and (1B)	NO					

 $^{\ast}\,$ A sample copy of the Notice to the customers must accompany this report.

System I.D. #: 2270016



Date:

Grade:

Submitted by:

DISTRICT:

City of Rollingwood

MONTH: March 2023

LOCATION: Bee Cave Woods

I.D. #:

2270016

		METER	SIZE	METER	SIZE	TOTAL	TOTAL GAL	CHLORINE
		#07914810	6"	#18713312	3"	FLOW	PURCHASED	RESIDUAL
DAY	DATE	А	TH GAL	В	TH GAL	TH GAL	MG	mg/L
Wed	1	913493	102.0	114336	117.0	219.0	0.256	2.6
Thu	2	913595	71.0	114453	153.0	224.0	0.254	2.6
Fri	3	913666	84.0	114606	147.0	231.0	0.267	2.9
Sat	4	913750	84.0	114753	147.0	231.0	0.267	2.6
Sun	5	913834	84.0	114900	148.0	232.0	0.269	2.6
Mon	6	913918	120.0	115048	151.0	271.0	0.305	2.9
Tue	7	914038	148.0	115199	190.0	338.0	0.377	2.9
Wed	8	914186	120.0	115389	127.0	247.0	0.288	2.9
Thu	9	914306	180.0	115516	155.0	335.0	0.376	2.2
Fri	10	914486	106.0	115671	150.0	256.0	0.293	2.6
Sat	11	914592	106.0	115821	150.0	256.0	0.293	2.6
Sun	12	914698	106.0	115971	150.0	256.0	0.293	2.7
Mon	13	914804	120.0	116121	105.0	225.0	0.259	2.9
Tue	14	914924	104.0	116226	188.0	292.0	0.325	2.5
Wed	15	915028	121.0	116414	192.0	313.0	0.349	2.6
Thu	16	915149	72.0	116606	100.0	172.0	0.202	2.6
Fri	17	915221	81.0	116706	146.0	227.0	0.260	2.6
Sat	18	915302	81.0	116852	146.0	227.0	0.260	2.7
Sun	19	915383	82.0	116998	146.0	228.0	0.261	2.0
Mon	20	915465	113.0	117144	156.0	269.0	0.305	2.2
Tue	21	915578	194.0	117300	148.0	342.0	0.373	2.4
Wed	22	915772	0.0	117448	155.0	155.0	0.195	2.6
Thu	23	915772	175.0	117603	190.0	365.0	0.402	2.2
Fri	24	915947	114.0	117793	143.0	257.0	0.292	2.6
Sat	25	916061	115.0	117936	144.0	259.0	0.294	2.5
Sun	26	916176	115.0	118080	144.0	259.0	0.296	2.9
Mon	27	916291	116.0	118224	158.0	274.0	0.308	2.8
Tue	28	916407	139.0	118382	161.0	300.0	0.334	2.6
Wed	29	916546	162.0	118543	159.0	321.0	0.355	2.6
Thu	30	916708	143.0	118702	147.0	290.0	0.324	2.9
Fri	31	916851	141.0	118849	0.0	141.0	0.177	2.6
Sat	1	916992		118849			-	
Total			3499.0		4513.0	8012.0	9.1	
Avg.			112.9		145.6	258.5	0.294	2.6
Max.			194.0		192.0	365.0	0.402	2.9
Min.			0.0		0.0	141.0	0.177	2.0

Operator:

DISTRICT: City of Rollingwood

MONTH: March 2023

LOCATION: Riley MM

I.D. #: 2270016

		METER	SIZE	METER	SIZE	TOTAL
		No S/N	6"	No S/N	3"	FLOW
DAY	DATE	А	TH GAL	В	TH GAL	TH GAL
Wed	1	481	0.0	7424	37.0	37.0
Thu	2	481	0.0	7461	30.0	30.0
Fri	3	481	0.0	7491	36.0	36.0
Sat	4	481	0.0	7527	36.0	36.0
Sun	5	481	1.0	7563	36.0	37.0
Mon	6	482	0.0	7599	34.0	34.0
Tue	7	482	2.0	7633	37.0	39.0
Wed	8	484	1.0	7670	40.0	41.0
Thu	9	485	0.0	7710	41.0	41.0
Fri	10	485	2.0	7751	35.0	37.0
Sat	11	487	2.0	7786	35.0	37.0
Sun	12	489	2.0	7821	35.0	37.0
Mon	13	491	0.0	7856	34.0	34.0
Tue	14	491	0.0	7890	33.0	33.0
Wed	15	491	1.0	7923	35.0	36.0
Thu	16	492	0.0	7958	30.0	30.0
Fri	17	492	1.0	7988	32.0	33.0
Sat	18	493	1.0	8020	32.0	33.0
Sun	19	494	1.0	8052	32.0	33.0
Mon	20	495	0.0	8084	36.0	36.0
Tue	21	495	0.0	8120	31.0	31.0
Wed	22	495	1.0	8151	39.0	40.0
Thu	23	496	0.0	8190	37.0	37.0
Fri	24	496	0.0	8227	35.0	35.0
Sat	25	496	0.0	8262	35.0	35.0
Sun	26	496	1.0	8297	36.0	37.0
Mon	27	497	0.0	8333	34.0	34.0
Tue	28	497	0.0	8367	42.0	42.0
Wed	29	497	0.0	8409	36.0	36.0
Thu	30	497	0.0	8445	35.0	35.0
Fri	31	497	0.0	8480	36.0	36.0
Sat	1	497		8516		
Total			16.0		1092.0	1108.0
Avg.			0.5		35.2	35.7
Max.			2.0		42.0	42.0
Min.			0.0		30.0	30.0

Operator:

DISTRICT: City of Rollingwood

MONTH: March 2023

LOCATION: Hatley MM

I.D. #: **2270016**

		METER	SIZE	METER	SIZE	TOTAL
		No S/n	6"	#151074A	3"	FLOW
DAY	DATE	А	TH GAL	В	TH GAL	TH GAL
Wed	1	81	0.0	6852	0.0	0.0
Thu	2	81	0.0	6852	0.0	0.0
Fri	3	81	0.0	6852	0.0	0.0
Sat	4	81	0.0	6852	0.0	0.0
Sun	5	81	0.0	6852	0.0	0.0
Mon	6	81	0.0	6852	0.0	0.0
Tue	7	81	0.0	6852	0.0	0.0
Wed	8	81	0.0	6852	0.0	0.0
Thu	9	81	0.0	6852	0.0	0.0
Fri	10	81	0.0	6852	0.0	0.0
Sat	11	81	0.0	6852	0.0	0.0
Sun	12	81	0.0	6852	0.0	0.0
Mon	13	81	0.0	6852	0.0	0.0
Tue	14	81	0.0	6852	0.0	0.0
Wed	15	81	0.0	6852	0.0	0.0
Thu	16	81	0.0	6852	0.0	0.0
Fri	17	81	0.0	6852	0.0	0.0
Sat	18	81	0.0	6852	0.0	0.0
Sun	19	81	0.0	6852	0.0	0.0
Mon	20	81	0.0	6852	0.0	0.0
Tue	21	81	0.0	6852	0.0	0.0
Wed	22	81	0.0	6852	0.0	0.0
Thu	23	81	0.0	6852	0.0	0.0
Fri	24	81	0.0	6852	0.0	0.0
Sat	25	81	0.0	6852	0.0	0.0
Sun	26	81	0.0	6852	0.0	0.0
Mon	27	81	0.0	6852	0.0	0.0
Tue	28	81	0.0	6852	0.0	0.0
Wed	29	81	0.0	6852	0.0	0.0
Thu	30	81	0.0	6852	0.0	0.0
Fri	31	81	0.0	6852	0.0	0.0
Sat	1	81		6852		
Total			0.0		0.0	0.0
Avg.			0.0		0.0	0.0
Max.			0.0		0.0	0.0
Min.			0.0		0.0	0.0

Operator:



1120 S. Capital of TX Hwy, CityView 2, Suite 100 Austin, Texas 78746 P: 512.338.1704 TBPE Firm No. 6535

CITY OF ROLLINGWOOD MONTHLY ENGINEERING REPORT April 12, 2023

Includes Activities and Services from March 1, 2023 to March 31, 2023

1. Site Development Plans (Drainage) and RSDP Review

a. Drainage Plan Reviews

KFA			
Task No.	Project Address	Status	Date Returned
376	4815 Timberline Dr	Returned Comments	3/27/2023
380	104 Kristi Dr	Returned Comments	4/5/2023
385	4904 Rollingwood Dr	Approved Revisions	3/27/2023
386	3 Grove Ct	Approved	3/14/2023
388	208 Ashworth	Approved	3/6/2023
405	302 Inwood	Returned Comments	3/7/2023
410	303 Inwood	Approved Revisions	2/7/2023

b. Residential Stormwater Discharge Permit (RSDP)

KFA Task No.	Project Address	Status	Date Returned
-	-	-	-

c. Drainage Plan Inspections

KFA Task No.	Project Address	Status	Date Returned
385	4904 Rollingwood		
	Drive	Outstanding Items	3/7/2023
410	303 Inwood	Outstanding Items	3/22/2023
		Outstanding Items	3/31/2023

2. Zoning Reviews for Site Development Plans

KFA Task No.	Project Address	Status	Date Returned
662	104 Kristi Drive	Received; Pending Review	n/a
666	3 Grove Court	Returned Comments & Completed	3/22/2023
686	302 Inwood	Returned Comments	3/7/2023
687	4900 Rollingwood Drive	Received; Pending Review	n/a
689	403 Wallis	Returned Comment & Completed	3/8/2023
690	4906 Rollingwood	Returned Comments	3/13/2023
691	603 Riley	Returned Comments & Completed	3/22/2023

City of Rollingwood Engineer's Monthly Report April 12, 2023 Page 2 of 6

3. Plat Reviews

KFA Task No.	Project Address	Status	Date Returned
-	-	_	-

4. Right-of-Way Reviews

KFA Task No.	Project Address	Status	Date Returned
912	203 ½ Vale St	Approved	3/16/2023
913	2501 ½ Hatley Dr	Approved	3/16/2023
914	104 Laura Lane	Approved	3/20/2023
915	6 Rockway Cove	Approved	3/20/2023
916	3220 Park Hills Dr	Electrical Service Comments Returned Electrical Service Approved	3/27/2023 3/27/2023

5. WORK AUTHORIZATION PROJECT UPDATES

Project	Project Summary	Status	Next steps
WA03 Hubbard, Hatley, Drainage Improvements PS&E	Preparation of plans, specifications and estimates for the development of a construction bid package. Option 2 from the PER has been selected as the preferred option which proposes to construct a storm drain system from the creek at Almarion Way extending upstream to Hatley, Hubbard and Pickwick.	Intention will be to bid this package together with the Nixon/Pleasant project. KFA on hold pending easement coordination, design, coordination by City staff. Received comments from a property owner's engineer.	Revising relevant plan sheets per property owner's engineer's comments. Property owner coordination may result in supplemental services. Final design to proceed once scope and easements are resolved. Easement/homeowner coordination.
WA04 Nixon/Pleasant Drainage Improvements PS&E	Preparation of plans, specifications and estimates for the development of a construction bid package. This will include channel improvements and Segment 1 of the storm sewer improvements.	Intention will be to bid this package together with the Hubbard/Hatley project. KFA coordinating with City on property owner requests.	If revised landscape sheets approved by property owners, resume land acquisition process. Finalize agreements on proposed easements.

City of Rollingwood Engineer's Monthly Report April 12, 2023 Page 3 of 6

6. General Engineering Services

Task	Assignment Summary	Status	Next steps
General	Coordination with City staff regarding	On-Going.	Regular recurring
	on-going development review services, engineering services.	Bi-weekly meetings.	activities
	monthly report preparation and		
	attendance of meetings at City's	City timeline of	
Development	request.	Ruilding and	Continued
Services	on-going development services,	development services	coordination and
	MyPermitNow Support, and meeting	and coordination with	support.
	requested.	stall.	
		MyPermitNow (MPN)	
		support and	
		Development Services	
		Manager.	
Water/Wastewater	Data gathering and review of	None.	Updating models as
& Mapping	infrastructure mapping		needed.
Updates			
	Develop/update wastewater and		
	water system model updates to		
	capacity needs.		
	Utilize model to plan for infrastructure		
	needs.		
Water/Wastewater	Coordination/support with Crossroads	None.	Continue
System	regarding infrastructure such as		coordination to
	infrastructure.		KFA modeling
			efforts.
GIS	KFA to send quarterly updates for the	On-going	GIS exhibits and
		GIS exhibits and	needed.
		mapping updates as	
		requested.	
MS4 Compliance	Coordination with City staff on	On-going	Continue compliance
	compliance with the Storm Water		coordination for
	Management Permit for the 2022	and compliance efforts	2023.
		for permit compliance.	
		0000	
		2022 annual report	
		3/23.	

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	· ·

City of Rollingwood Engineer's Monthly Report April 12, 2023 Page 4 of 6

Task	Assignment Summary	Status	Next steps
Water Infrastructure Bond	Residents of Rollingwood approved Bond Proposition A, a \$5.3MM bond to fund improvements to the city's water system as identified in the city's Water Capital Improvements Plan (CIP).	City Council approved KFA's proposal 3/29.	Survey to begin, expected to take 3 months. Design to begin as survey data is received from surveyor. Develop bond website.
City of Austin Atlas 14 Floodplain Update	The City of Austin has begun a five- year effort to update floodplain maps in the Austin area. The maps are being updated with Atlas 14 rainfall data.	COA has announced informational virtual public meeting over Zoom. Eanes Creek to be restudied. Likely to lead to a floodplain increase, which will impact properties along the creeks.	Continue to monitor progress.

Submitted By,

Tyson Hasz, PE Project Engineer



March 31, 2023

City of Rollingwood 403 Nixon Drive Rollingwood, Texas 78746

Honorable Mayor and Members of the City Council:

Pursuant to the Cost of Gas Clause currently in effect for the Central-Gulf service area, the following is the determination of the cost of gas to be used for billings in April 2023:

1.	Cost of Purchased Gas @ 14.73 PSIA	\$4.7581		
2.	Cost of Purchased Gas @ 14.65 PSIA	\$4.7322		
3.	Purchase/Sales Ratio	1.0008		
4.	Commodity Cost (Line 2 x Line 3)		\$4.7360	
5.	Reconciliation Factor		\$0.4805	
6.	Other Cost		\$0.0000	
7.	Subtotal (Line 4 + Line 5 + Line 6)			\$5.2165
8.	Revenue-associated Fees and Taxes			\$0.0000
9.	Cost of Gas (Line 7 + Line 8)		=	\$5.2165 / Mcf
				\$0.5217 / Ccf

Billings using the cost of gas as determined above will begin with meters read on and after March 28, 2023 and end with meters read on and after April 26, 2023.

Sincerely,

Lisa Wattinger

Lisa Wattinger, Manager Gas Supply



1301 South Mopac; Suite 400 Austin, TX 78746-6918 800-700-2443 • texasgasservice.com

April 13, 2023

The City Secretaries/Clerks of the following Texas cities:

Austin, Bee Cave, Cedar Park, Cuero, Dripping Springs, Gonzales, Kyle, Lakeway, Lockhart, Luling, Marble Falls, Nixon, Pflugerville, Rollingwood, Shiner, Sunset Valley, West Lake Hills, and Yoakum, Texas

Dear City Secretary/Clerks:

Enclosed you will find a copy of Texas Gas Service Company's Pipeline Integrity Testing Surcharge Rider (PIT-RIDER) on file with the Railroad Commission of Texas. Pursuant to the Final Order in Railroad Commission Gas Utilities Docket No. 10928 that approved Rate Schedule PIT, the Company filed its Annual Reconciliation Report with the regulatory authorities on February 21, 2023 for its Pipeline Integrity Testing Expenses and Recovery program. Effective for meters read on and after March 28, 2023, a volumetric PIT-Rider surcharge is \$0.00030 per Ccf for gas sales and standard transportation customers for the 12-month period April 2023 through March 2024.

No action is required on your part; however, this tariff is being provided to your city to comply with Section 102.151 of the Texas Utilities Code that requires the filing of all rate schedules with the regulatory authority.

If you have any questions concerning this filing, please contact me via email at erlinda.alvarado@onegas.com.

Sincerely,

Erlinda alvarado

Erlinda T. Alvarado Rates Coordinator Rates and Regulatory **Central-Gulf Service Area (Select areas)**

PIPELINE INTEGRITY TESTING (PIT) SURCHARGE RIDER

A. <u>APPLICABILITY</u>

The Pipeline Integrity Testing Surcharge (PIT) rate as set forth in Section (B) below is for the recovery of costs associated with pipeline integrity testing as defined in Rate Schedule PIT. This rate shall apply to the following gas sales and standard transportation rate schedules of Texas Gas Service Company, a Division of ONE Gas, Inc. currently in force in the Company's Central-Gulf Service Area ("CGSA") within the incorporated and unincorporated areas of Austin, Bee Cave, Buda, Cedar Park, Cuero, Dripping Springs, Gonzales, Kyle, Lakeway, Lockhart, Luling, Marble Falls, Nixon, Pflugerville, Rollingwood, Shiner, Sunset Valley, West Lake Hills and Yoakum, Texas and in the environs area of Bastrop, Texas: 10, 20, 30, 40, 48, C-1, CNG-1, T-1, 1Z, 2Z, 3Z, 4Z, 4H, C-1-ENV, CNG-1-ENV and T-1-ENV.

B. <u>PIT RATE</u>

\$0.00030 per Ccf

This rate will be in effect until all approved and expended pipeline integrity testing expenses are recovered under the applicable rate schedules.

C. <u>OTHER ADJUSTMENTS</u>

Taxes: Plus applicable taxes and fees (including franchises fees) related to above.

D. <u>CONDITIONS</u>

Subject to all applicable laws and orders, and the Company's rules and regulations on file with the regulatory authority.

Meters Read On and After March 28, 2023



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April 13, 2023

The City Secretaries/Clerks of the following Texas cities:

Austin, Bayou Vista, Beaumont, Bee Cave, Cedar Park, Cuero, Dripping Springs, Galveston, Gonzales, Groves, Jamaica Beach, Kyle, Lakeway, Lockhart, Luling, Marble Falls, Nederland, Nixon, Pflugerville, Port Arthur, Port Neches, Rollingwood, Shiner, Sunset Valley, West Lake Hills, and Yoakum, Texas

Dear City Secretary/Clerk:

Enclosed you will find a copy of Texas Gas Service Company's Pipeline Safety and Regulatory Program Fee (PSF) tariff on file with the Railroad Commission of Texas. As a result of Texas Administrative Code Rule 8.201, this rate schedule is applicable to all Texas Gas Service customers (except State Agencies). For calendar year 2023, effective with meters read on and after March 28, 2023, the annual one-time pipeline safety program fee is \$1.00 per meter. Each year, this rate will be recalculated (not to exceed \$1.00 per meter) and an updated rate schedule will be distributed.

No action is required on your part; however, this tariff is being provided to your city to comply with Section 102.151 of the Texas Utilities Code that requires the filing of all rate schedules with the regulatory authority.

If you have any questions concerning this filing, please contact me via email at christy.bell@onegas.com.

Sincerely,

Christy Beec.

Christy Bell Rate Analyst Rates and Regulatory Affairs

Gas Service Company, a Division of ONE Gas, Inc. **All Service Areas**

35. **RATE SCHEDULE P** Page 1 of 3

PIPELINE SAFETY AND REGULATORY PROGRAM FEES

TEXAS ADMINISTRATIVE CODE

- **TITLE 16** ECONOMIC REGULATION PART 1 RAILROAD COMMISSION OF TEXAS **CHAPTER 8** PIPELINE SAFETY REGULATIONS SUBCHAPTER C **REQUIREMENTS FOR GAS PIPELINES ONLY Rule §8.201 Pipeline Safety and Regulatory Program Fees**
- (a) Application of fees. Pursuant to Texas Utilities Code, §121.211, the Commission establishes a pipeline safety and regulatory program fee, to be assessed annually against operators of natural gas distribution pipelines and pipeline facilities and natural gas master metered pipelines and pipeline facilities subject to the Commission's jurisdiction under Texas Utilities Code, Title 3. The total amount of revenue estimated to be collected under this section does not exceed the amount the Commission estimates to be necessary to recover the costs of administering the pipeline safety and regulatory programs under Texas Utilities Code, Title 3, excluding costs that are fully funded by federal sources for any fiscal year.
- (b) Natural gas distribution systems. The Commission hereby assesses each operator of a natural gas distribution system an annual pipeline safety and regulatory program fee of \$1.00 for each service (service line) in service at the end of each calendar year as reported by each system operator on the U.S. Department of Transportation (DOT) Gas Distribution Annual Report, Form PHMSA F7100.1-1 due on March 15 of each year.
 - (1) Each operator of a natural gas distribution system shall calculate the annual pipeline safety and regulatory program total to be paid to the Commission by multiplying the \$1.00 fee by the number of services listed in Part B, Section 3, of Form PHMSA F7100.1-1, due on March 15 of each year.
 - (2) Each operator of a natural gas distribution system shall remit to the Commission on March 15 of each year the amount calculated under paragraph (1) of this subsection.
 - (3) Each operator of a natural gas distribution system shall recover, by a surcharge to its existing rates, the amount the operator paid to the Commission under paragraph (1) of this subsection. The surcharge:
 - (A) shall be a flat rate, one-time surcharge;
 - (B) shall not be billed before the operator remits the pipeline safety and regulatory program fee to the Commission:
 - (C) shall be applied in the billing cycle or cycles immediately following the date on which the operator paid the Commission;

Supersedes Same Sheet Dated March 28, 2022

Meters Read On and After March 28, 2023

Page 418 Gas Service Company, a Division of ONE Gas, Inc. **All Service Areas**



PIPELINE SAFETY AND REGULATORY PROGRAM FEES (Continued)

- (D) shall not exceed \$1.00 per service or service line (For the calendar year 2022 annual pipeline safety and regulatory program fee, billed effective with meters read on and after March 28, 2023, Texas Gas Service Company, a Division of ONE Gas, Inc. will bill all customers a one-time customer charge per bill of \$1.00, based on \$1.00 per service line); and
- (E) shall not be billed to a state agency, as that term is defined in Texas Utilities Code, §101.003.
- (4) No later than 90 days after the last billing cycle in which the pipeline safety and regulatory program fee surcharge is billed to customers, each operator of a natural gas distribution system shall file with the Commission's Oversight and Safety Division a report showing:
 - (A) the pipeline safety and regulatory program fee amount paid to the Commission;
 - (B) the unit rate and total amount of the surcharge billed to each customer;
 - (C) the date or dates on which the surcharge was billed to customers; and
 - (D) the total amount collected from customers from the surcharge.

Reports for the Commission shall be filed electronically at GUD Compliance@rrc.texas.gov or at the following address:

Compliance Filing Director of Oversight and Safety Division Gas Services Department Railroad Commission of Texas P.O. Box 12967 Austin, Texas 78711-2967

- (5) Each operator of a natural gas distribution system that is a utility subject to the jurisdiction of the Commission pursuant to Texas Utilities Code, Chapters 101 - 105, shall file a generally applicable tariff for its surcharge in conformance with the requirements of §7.315 of this title (relating to Filing of Tariffs).
- (6) Amounts recovered from customers under this subsection by an investor-owned natural gas distribution system or a cooperatively owned natural gas distribution system shall not be included in the revenue or gross receipts of the system for the purpose of calculating municipal franchise fees or any tax imposed under Subchapter B, Chapter 182, Tax Code, or under Chapter 122, nor shall such amounts be subject to a sales and use tax imposed by Chapter 151, Tax Code, or Subtitle C, Title 3, Tax Code.

Page 419 Gas Service Company, a Division of ONE Gas, Inc. **All Service Areas**



PIPELINE SAFETY AND REGULATORY PROGRAM FEES (Continued)

- (c) Natural gas master meter systems. The Commission hereby assesses each natural gas master meter system an annual pipeline safety and regulatory program fee of \$100 per master meter system.
 - (1) Each operator of a natural gas master meter system shall remit to the Commission the annual pipeline safety and regulatory program fee of \$100 per master meter system no later than June 30 of each year.
 - (2) The Commission shall send an invoice to each affected natural gas master meter system operator no later than April 30 of each year as a courtesy reminder. The failure of a natural gas master meter system operator to receive an invoice shall not exempt the natural gas master meter system operator from its obligation to remit to the Commission the annual pipeline safety and regulatory program fee on June 30 each year.
 - (3) Each operator of a natural gas master meter system shall recover as a surcharge to its existing rates the amounts paid to the Commission under paragraph (1) of this subsection.
 - (4) No later than 90 days after the last billing cycle in which the pipeline safety and regulatory program fee surcharge is billed to customers, each natural gas master meter system operator shall file with the Oversight and Safety Division a report showing:
 - (A) the pipeline safety and regulatory program fee amount paid to the Commission;
 - (B) the unit rate and total amount of the surcharge billed to each customer;
 - (C) the date or dates on which the surcharge was billed to customers; and
 - (D) the total amount collected from customers from the surcharge.
- (d) Late payment penalty. If the operator of a natural gas distribution system or a natural gas master meter system does not remit payment of the annual pipeline safety and regulatory program fee to the Commission within 30 days of the due date, the Commission shall assess a late payment penalty of 10 percent of the total assessment due under subsection (b) or (c) of this section, as applicable, and shall notify the operator of the total amount due to the Commission.

Source Note: The provisions of this §8.201 adopted to be effective September 8, 2003, 28 TexReg 7682; amended to be effective November 24, 2004, 29 TexReg 10733; amended to be effective May 15, 2005, 30 TexReg 2849; amended to be effective December 19, 2005, 30 TexReg 8428; amended to be effective April 18, 2007, 32 TexReg 2136; amended to be effective November 12, 2007, 32 TexReg 8121; amended to be effective September 21, 2009, 34 TexReg 6446; amended to be effective August 30, 2010, 35 TexReg 7743; amended to be effective November 14, 2011, 36 TexReg 7663; amended to be effective November 11, 2013, 38 TexReg 7947; amended to be effective January 6, 2020, 45 TexReg 121

Meters Read On and After March 28, 2023



Austin, TX 78746-6918 800-700-2443 • texasgasservice.com

April 15, 2023

The City Secretaries and/or City Managers of the following Texas cities: Austin, Bee Cave, Cedar Park, Pflugerville, Cuero, Dripping Springs, Gonzales, Kyle, Lakeway, Lockhart, Luling, Nixon, Rollingwood, Shiner, Sunset Valley, West Lake Hills, Yoakum, Galveston, Bayou Vista, Jamaica Beach, Groves, Nederland, Port Neches, Port Arthur, and Beaumont, Texas

Dear City Secretary and/or City Manager:

In accordance with Texas Gas Service Company's Weather Normalization Clause (WNA) tariff, this report is being provided for the month of March 2023.

The Central Gulf Service Area experienced weather during March that resulted in the following WNA activity:

Customer Class	Amount Collected or Refunded	Average Weather Rate	Average Bill Impact	% Bill Impact
Residential	\$1,214,780	\$0.1141	\$3.99	6.7%
Commercial	\$41,829	\$0.0102	\$3.43	1.0%
Public Authority	\$14,564	\$0.0323	\$18.96	3.1%

Detailed data supporting this summary information is available upon request. If you have any questions, please do not hesitate to contact me at (512) 370-8253.

Sincerely,

3ane Journa

Zane Drummond Rates Analyst Rates and Regulatory Affairs