



**AGENDA**  
**CITY OF ROCHELLE**  
**PLANNING & ZONING COMMISSION**  
**MEETING**

**Monday, July 06, 2026 at 6:00 PM**

**City of Rochelle Council Chambers—420 North 6th Street, Rochelle, IL 61068**

---

- I. **CALL TO ORDER:**
- II. **ROLL CALL:**
- III. **APPROVE/ACCEPT MINUTES:**
  - 1. Planning & Zoning Commission Meeting Minutes 06-01-2026
- IV. **PUBLIC COMMENTARY:**
- V. **COMMISSIONER COMMENTS:**
- VI. **BUSINESS ITEMS:**
  - 1. PZC-03-26 Petition of Eugene Judge Jr. for a proposed site plan, landscaping, signage, and building plan for a car wash within a PUD zoning district for the property located at 25-18-378-002. (Public Hearing and Action.)
  - 2. PZC-04-26 Petition of Rochelle Community Hospital for a proposed rezone to R-4 and a variance to construct a building as an ancillary use to the hospital for the property located at 900 N. 3rd Street. (Public Hearing and Action.)
  - 3. PZC-05-26 Petition of the City of Rochelle for a proposed Text Amendment to Section 110-545 (Residential, security and farm fences). (Public Hearing and Action.)
- VII. **DISCUSSION ITEMS:**
- VIII. **ADJOURNMENT:**

Anyone interested in participating in public commentary remotely should contact Michelle Knight at [mknight@rochelleil.us](mailto:mknight@rochelleil.us) or call 815-562-8717 to make arrangements.



**MINUTES**  
**CITY OF ROCHELLE**  
**PLANNING & ZONING COMMISSION**

**Monday, June 01, 2026 at 6:00 PM**

**City of Rochelle Council Chambers—420 North 6th Street, Rochelle, IL 61068**

- I. **CALL TO ORDER:** The meeting was called to order at 6:00 p.m.
- II. **ROLL CALL:** Present were Commissioners Bowerman, Charnock, Hickey, McKibben, Myers, Tenggren and Wolter. Absent: None. Also present were Michelle Knight, Michelle Pease, Geoff Starr, Mayor Bearrows and City Attorney Dominic Lanzito.
- III. **APPROVE/ACCEPT MINUTES:** Myers moved, seconded by Charnock, **"I move the minutes of the March 2, 2026 Planning and Zoning Commission meeting as presented be approved."** Ayes: Bowerman, Charnock, Hickey, McKibben, Myers, Tenggren and Wolter. Nays: None. Motion carried 7-0.

IV. **PUBLIC COMMENTARY:** Mayor Bearrows informed the Commissioners that Russ Barber resigned as an at-large member of the Planning and Zoning Commission and there are two available seats.

V. **COMMISSIONER COMMENTS:** None

VI. **BUSINESS ITEMS: PZC-02-26 Petition of Wheatland Tube, LLC for a proposed Variance of Code for a fabric covered hoop structure for the property located at 1600 Ritchie Court.** Pease stated that a notice was published in the paper and property owners were notified. Motion made by Bowerman, seconded by Hickey, **"I move the Planning and Zoning Commission open the Public Hearing regarding the proposed variance of code for a fabric covered hoop structure for the property located at 1600 Ritchie Court."** Ayes: Bowerman, Charnock, Hickey, McKibben, Myers, Tenggren and Wolter. Nays: None. Motion carried 7-0. Chairman Wolter requested public testimony be sworn for those who were speaking. The petitioner is seeking a variance of Section 104.11 of the 2021 International Building Code as amended and adopted by the City of Rochelle. Section 104.11 of the 2021 IBC reads as follows:

**"[A] 104.11 Alternative materials, design and methods of construction and equipment.**  
 The provisions of this code are not intended to prevent the installation of any material or to prohibit any design or method of construction not specifically prescribed by this code, provided that any such alternative has been approved. An alternative material design method of construction shall be approved when the Building Official finds that the proposed alternative meets all of the following:

- 1. The alternative material, design or method of construction is satisfactory and complies with the intended provisions of this code,
- 2. The material, method or work offered is, for the purpose intended, not less than the equivalent of that prescribed in this code as it pertains to the following:
  - 2.1. Quality.
  - 2.2. Strength
  - 2.3. Effectiveness.
  - 2.4. Fire Resistance.
  - 2.5. Durability.
  - 2.6. Safety.

Where the alternative material, design or method of construction is not approved, the Building Official shall respond in writing, stating the reasons why the alternative was not approved." The variance request is to replace "the Building Official" as it appears in Section 104.11 with "the City Council". The purpose of requesting a variance is to allow the petitioner to construct a proposed 33,000 square foot fabric-covered hoop structure. The fully enclosed structure will be forty-eight (48) feet tall, one hundred ten (110) feet wide, and two hundred ninety-one and one half foot (291.5) long. The intended use of the proposed fabric building is a drive-through loading area for trucks to load finished goods. The operation runs 24 hours a day, 7 days a week, with approximately 50 employees working in this area across 3 shifts. The property is zoned I2, General Industry and is 34.9 acres.

The petitioner explains their practical difficulties or exceptional hardships by stating: “If the proposed 33,000 square foot structure adhered to the strict application of the codes referenced, the structure would then significantly hinder the facility’s ability to grow, shrink, and adapt to the frequently changing needs of the operation of the facility. A structure conforming to a traditional prescriptive construction type as defined in Section 602 of the IBC would result in an unwise allocation of very limited resources given the intended use of the proposed fabric-covered hoop structure. The fabric-covered hoop building adheres to the requirements set forth by section 104.11 of the IBC for alternative materials, design and methods of construction and equipment therefore a hardship is created if the proposed building were required to adhere to strict application of the reference sections even though the building meets the required design standards. Practical difficulties that would be experienced from strict application of the referenced codes include vastly increased facility downtime due to construction duration and material lead times.” The petitioner provided structural design which met the required 30-pound snow load, anchoring and additional requirements set forth by the code. Attorney Lanzito provided a brief history of the development agreement with the petitioner. Mack Llanas with Fehr Graham was present to represent the petitioner, Wheatland Tube. Mr. Llanas explained the intended use of the covered structure was to keep the finished product out of the weather and for tarping trucks. He stated that a traditional built building would be above and beyond what is needed for the use of the building, also stating that the downtime and lead time for a traditional building would hinder productivity. Commissioner Hickey questioned the petitioner’s statement that if they were to strictly adhere to the codes, “the structure would then significantly hinder the facility’s ability to grow, shrink and adapt to the frequently changing needs of the operation of the facility.” Mr. Llanas’s explained that the proposed structure could absorb a change in production and there is an immediate need. Commissioner Tenggren inquired about the distance between the proposed hoop structure and the current building, expressing concerns with water runoff and more specifically snow and ice collection. Mr. Llanas stated that there will be a drainage system that will drain to the storm water detention. Building Official Starr stated that smaller canopy type covers will be between the large canopy structure and the existing building. Commissioner Bowerman and Commissioner Tenggren asked about the number of bollards and expressed concern about the safety of the structure should a forklift of semi hit the structure. Commissioner Tenggren asked about the Fire Department and safety precautions. Mr. Llanas stated that a fire lane is required and he assured the Commission that a dry fire suppression system will be installed. Commissioner Wolter asked if there were any other public who wished to speak or testify. There were none. Motion made by Bowerman, seconded by Charnock, **“I move the Planning and Zoning Commission close the Public Hearing.”** Ayes: Bowerman, Charnock, Hickey, McKibben, Myers, Tenggren and Wolter. Nays: None. Motion carried. 7-0.

**Findings:**

1. Is the proposed variance in harmony with the general purpose and intent of the zoning ordinance?  
 Yes:   6   No:   1    
 Explanation: **Petitioner has not demonstrated a true hardship other than a financial burden.**
2. The plight of the owner is due to unique circumstances and thus strict enforcement of the zoning ordinance would result in practical difficulties, or impose exceptional hardships, due to the special and unusual conditions that are not generally found on other properties in the same zoning district?  
 Yes:   5   No:   2    
 Explanation: **The ability to “grow, shrink and adapt” was not addressed.**
3. The property cannot yield a reasonable return if permitted only under the conditions allowed by the zoning ordinance?  
 Yes:   4   No:   3    
 Explanation: **Financial burden is not enough of a reason.**
4. Is the proposed variance detrimental or dangerous to public health?  
 Yes:   1   No:   6    
 Explanation: **Concern regarding bollard design & spacing – not enough info., possible bldg.. collapse.**
5. Will the proposed variance impair property value in the neighborhood?  
 Yes:        No:   7    
 Explanation: \_\_\_\_\_
6. Will the proposed variance impede the normal development of the surrounding properties?  
 Yes:        No:   7    
 Explanation: \_\_\_\_\_
7. Will the proposed variance:

- (a) impair light and air to adjacent property;
- (b) congest public streets;
- (c) increase the risk of fire;
- (d) substantially diminish property values within the vicinity; or
- (e) endanger the public health?

Yes: \_\_\_\_\_ No: 7

Explanation: \_\_\_\_\_

Based on the findings above, the Planning and Zoning Commission hereby recommends to the Rochelle City Council that the Petitioner be granted a variance for the Subject Property, with the following conditions attached thereto, in addition to the requirements of the Rochelle Municipal Code:

**The Location and size of all bollards to be approved, signed and sealed by a structural engineer.**

Motion made by Myers, seconded by McKibben, **“I move the Planning and Zoning Commission recommend to the City Council that it Approve the proposed variance of code for a fabric covered hoop structure for the property located at 1600 Ritchie Court, based on the report of findings.”** Ayes: Bowerman, Charnock, Hickey, McKibben, Myers, Tenggren and Wolter. Nays: None. Motion carried. 7-0.

**VII. DISCUSSION ITEMS:** None

**VIII. ADJOURNMENT:** Motion made by Bowerman, seconded by Charnock, **“I move to adjourn the regularly scheduled meeting of the Planning and Zoning Commission of June 1, 2026.”** Motion carried by voice vote 7-0. The Planning and Zoning Commission adjourned at 7:20 p.m.

Michelle Knight  
Community Development Specialist



**PLANNING & ZONING COMMISSION  
REPORT OF FINDINGS**

**Date: July 6, 2026**  
**Case No.: PZC-03-26**  
**Applicant: Eugene Judge Jr.**  
**Address: Parcel # 25-18-378-002**

**Narrative:**

The petitioner is seeking approval of site plan, building elevations, signage plan and landscaping plan for a previously approved special use permit for the development of a car wash within a Planned Unit Development (PUD) Zoning District. The subject property is located at parcel #25-18-378-002. The parcel is a vacant lot, is .91 acres and is located next to 450 Coronado Drive.

The petitioner is now seeking approval of the final development plans prior to issuance of building permits and commencement of construction. The Planning and Zoning Commission and City Council previously reviewed and approved a Special Use Permit allowing a car wash facility within the PUD District. The approval recognized the compatibility of the proposed use with the surrounding commercial development and established the framework for future site development.

The petitioner has now submitted detailed development plans including:

- Site Plan
- Building Elevations
- Signage Plan
- Landscaping Plan
- Stormwater and engineering information as required

The purpose of the current review is to determine whether the submitted plans are consistent with the approved Special Use Permit, the intent of the PUD District, and applicable provisions of the Rochelle Municipal Code.

After a duly noticed public hearing, the City of Rochelle Planning & Zoning Commission will consider all the relevant evidence presented at said hearing on July 6, 2026.

**Staff recommends:**

Staff is presenting the proposed development for a car wash in a PUD located at parcel 25-18-378-002.

**Findings:**

1. Is the proposed development allowed in the proposed zoning district, but only with a special use permit?



PLANNING & ZONING COMMISSION
REPORT OF FINDINGS

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_

If the answer to any of the following questions is "Yes", then the Commission should recommend that the City Council deny the petition for a special use permit. If the answer to all of the following questions is "No", then the Commission may recommend that the City Council approve or deny the petition for a special use permit. Each question should state an answer and give an explanation. If the answers to all of the questions is "No", but the Commission votes to recommend denying the petition, the Commission should provide an explanation as to why.

2. Is the proposed development detrimental or dangerous to public health?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_

3. Will the proposed development impair property value in the neighborhood?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_

4. Will the proposed development impede the normal development of the surrounding properties?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_

5. Will the proposed development:

- (a) impair light and air to adjacent property;
(b) congest public streets;
(c) increase the risk of fire;
(d) substantially diminish property values within the vicinity; or
(e) endanger the public health?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_

Recommendation:

Based on the findings above, the Planning and Zoning Commission hereby recommends to the Rochelle City Council that:

\_\_\_\_\_ That the Petitioner be granted a special use permit for the proposed development at the Subject Property, without conditions other than the other applicable requirements of the Rochelle Municipal Code.

\_\_\_\_\_ That the Petitioner be granted a special use permit for the proposed development at the Subject Property, with the following conditions attached thereto, in addition to the requirements of the Rochelle Municipal Code:



PLANNING & ZONING COMMISSION  
REPORT OF FINDINGS

1. Subject to final City staff review and comments on all plans submitted according to Rochelle Municipal Code requirements. Additional information may be requested by City staff.

2. ARTICLE VII. - PLANNED UNIT DEVELOPMENTS

Per Sec. 110-250. - Purpose.

(a)The development and execution of zoning regulations is based upon the division of the city into districts in which the use of land and buildings and the bulk and location of buildings and structures in relation to the land are substantially uniform.

\_\_\_\_\_ That the Petitioner be denied a special use permit for the proposed development at the Subject Property. If this is based on any reason other than a “Yes” response above, the Planning and Zoning Commission explains as follows:

\_\_\_\_\_

Passed by the Planning & Zoning Commission: \_\_\_\_\_

Vote:            Ayes: \_\_\_\_\_ Nays: \_\_\_\_\_ Abstain: \_\_\_\_\_



### GRADING AND PAVING NOTES

1. PARKING LOT TO BE 6" PCC CONCRETE WITH FIBERMESH OVER 4" AGGREGATE BASE. CONCRETE SHALL BE WET-CUT 10'X10' MAXIMUM PANEL SIZE WITHIN 24 HOURS OF CONCRETE PLACEMENT.
2. CONTRACTOR SHALL CALL JULIE @ 1-800-892-0123 OR 811 48 HOURS BEFORE BEGINNING CONSTRUCTION.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, LATEST EDITION AND IN ACCORDANCE WITH THE CITY OF ROCHELLE ORDINANCES.
4. AGG BASE SHALL BE IDOT DESIGNATED CA-6, AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY. SURFACE OF AGG BASE SHALL BE WITHIN 0.10' OF DESIGN GRADE.
5. EXCESS EXCAVATED SOIL SHALL BE DISPOSED OF OFF-SITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
6. LOCATION OF UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT NECESSARILY COMPLETE. CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AS TO LOCATION OF ALL EXISTING UNDERGROUND STRUCTURES, CABLES AND PIPE LINES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR AT HIS OWN EXPENSE.
8. THE CONTRACTOR SHALL EXAMINE THE PLANS AND SPECIFICATIONS, VISIT THE SITE OF WORK AND INFORM HIMSELF FULLY WITH THE WORK INVOLVED, GENERAL AND LOCAL CONDITIONS, ALL FEDERAL STATE AND LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND ALL OTHER PERTINENT ITEMS WHICH MAY AFFECT THE COST AND TIME OF COMPLETION OF THIS PROJECT BEFORE SUBMITTING A PROPOSAL.
9. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER OR HIS REPRESENTATIVES. FINAL PAYMENT SHALL BE MADE AFTER ALL OF THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
10. THE CONTRACTOR SHALL BE PROVIDED WITH ONE SET OF GRADE AND CONSTRUCTION STAKES. WHERE FINAL SURFACES ARE FOUND TO BE OUT OF COMPLIANCE WITH THESE PLANS, THE CONTRACTOR SHALL RE-GRADE AS NECESSARY. THE COST OF RE-CHECKING THE FINAL GRADES SHALL BE PAID BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL PROOF ROLL THE SUB-BASE WITH A LOADED TANDEM DUMP TRUCK IN THE PRESENCE OF THE OWNER OR ENGINEER. REMOVE SOFT SOILS & REPLACE WITH CA-6.
10. OWNER AND ENGINEER SHALL BE NOTIFIED PRIOR TO PROOF ROLLING.

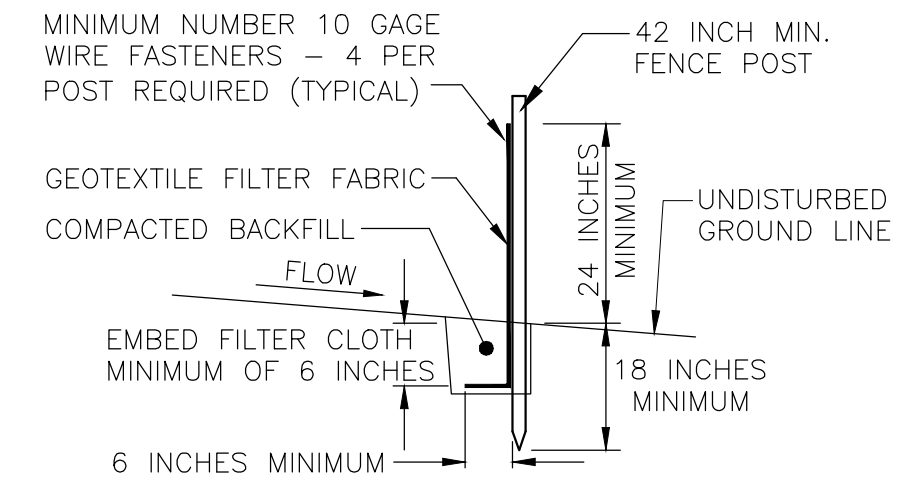
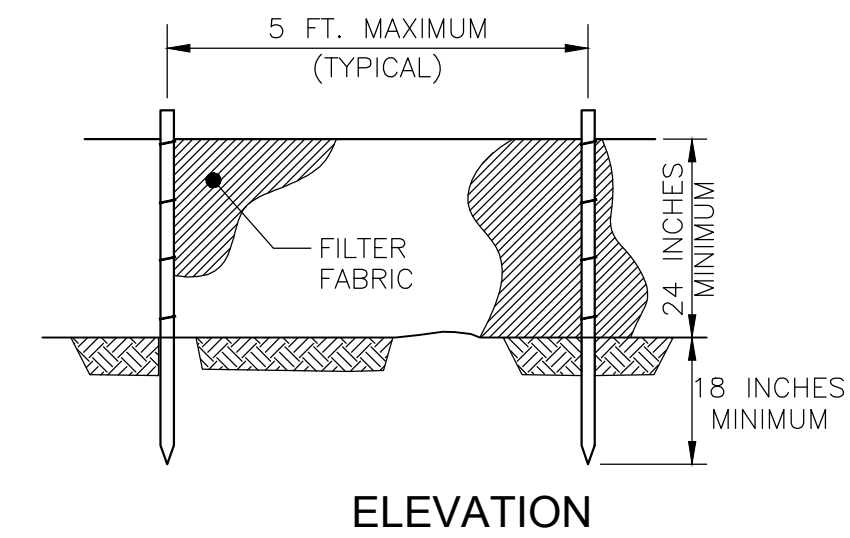
### UTILITY NOTES

1. WATER SERVICE SHALL BE SIZE AND MATERIAL AS SPECIFIED BY OWNER. HOT TAP AND INSTALL NEW CORP STOP AND A NEW CURB STOP.
2. SANITARY SERVICE SHALL BE 4" OR 6" PVC, SCHEDULE 40 AT 2% MINIMUM SLOPE. CONNECT TO EXISTING SANITARY SERVICE (CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING SERVICE.)
3. THE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO WATER SERVICE AND SEWER SERVICE CONNECTIONS.
4. ONLY CITY OF ROCHELLE PUBLIC WORKS SHALL OPERATE EXISTING WATER VALVES AND FIRE HYDRANTS.
5. CITY TO INSPECT ALL CONNECTIONS TO CITY OWNED UTILITIES (WATER, SANITARY, AND STORM) PRIOR TO BACKFILLING.

### EROSION CONTROL NOTES

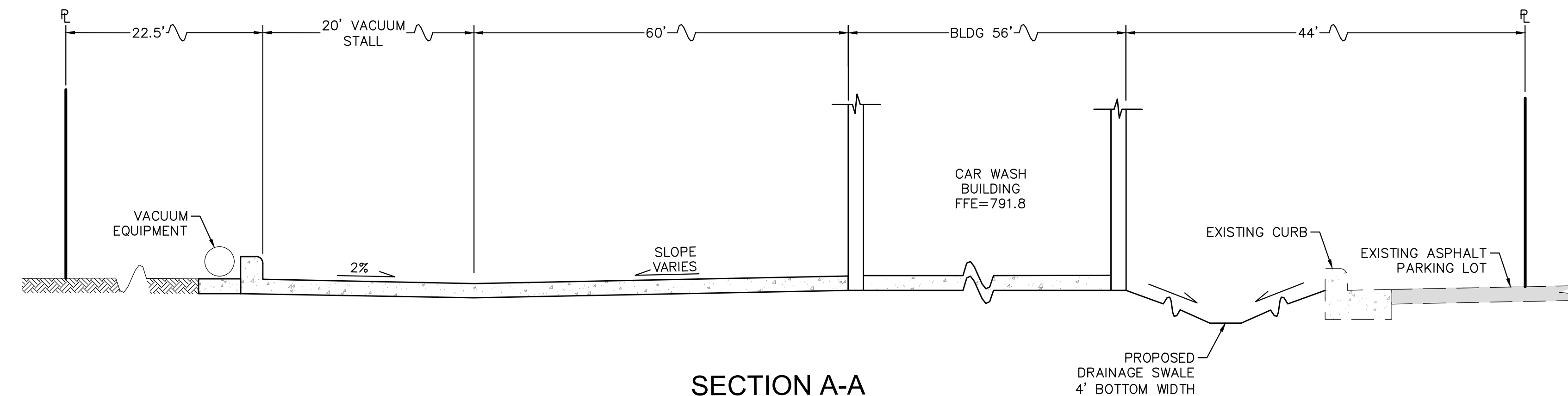
1. THE CONTRACTOR SHALL MEET OR EXCEED ALL REQUIREMENTS OF THE LATEST REVISION OF THE ILLINOIS NPDES GENERAL PERMIT (ILR10) FOR STORM WATER POLLUTION PREVENTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR MAINTAINING TEMPORARY EROSION CONTROL MEASURES AT ALL TIMES. LOCAL, STATE AND FEDERAL AUTHORITIES MAY REVIEW THE SITE FOR COMPLIANCE AND IMPOSE APPLICABLE PENALTIES FOR NON-COMPLIANCE.
2. SHOULD THE CONTRACTOR FAIL TO MAINTAIN EROSION CONTROL MEASURES IN AN EFFECTIVE CONDITION, ALLOW TRACKING OR EROSION ONTO PUBLIC RIGHTS-OF-WAY OR TO AREAS OUTSIDE OF CONSTRUCTION LIMITS, AND FAIL TO CLEAN UP, THE MUNICIPALITY, AGENCY, OR OWNER MAY MAKE CORRECTIONS AT THE CONTRACTOR'S EXPENSE. ANY MONIES OWED TO THE CONTRACTOR MAY BE WITHHELD FOR SUCH EXPENSES.
3. THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLANS PRIOR TO THE START OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S), CONTROLS, AND OTHER PROVISIONS CONTAINED IN THE PLANS SHALL CONFORM AT A MINIMUM TO THE ILLINOIS URBAN MANUAL, CURRENT EDITION, FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. CULVERT END PROTECTION SHALL BE INSTALLED AT THE UPSTREAM END OF CULVERTS, IF ANY.
6. ANY STORM SEWER INLETS SUBJECT TO RUN OFF FROM THE SITE OR THE ADJACENT STREETS SHALL BE PROTECTED.
7. THE TEMPORARY EROSION CONTROL SYSTEMS INSTALLED BY THE CONTRACTOR SHALL BE PROPERLY MAINTAINED AS DIRECTED BY THE ENGINEER TO CONTROL SILTATION AT ALL TIMES DURING THE LIFE OF THE CONTRACT.
8. UNTIL SUCH TIME AS THE PROJECT REACHES FINAL STABILIZATION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST, REPAIR, OR REPLACE ALL VEGETATION, EROSION CONTROLS, SEDIMENT CONTROLS, AND ANY OTHER PROTECTIVE MEASURES AS REQUIRED IN ORDER TO MAINTAIN THEIR INTENDED FUNCTION IN A GOOD AND EFFECTIVE OPERATING CONDITION.
9. TEMPORARY SEEDING SHALL BE CLASS 7 PER SECTION 250 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". SEED SHALL BE PLACED AT A RATE OF NOT LESS THAN 200 POUNDS PER ACRE. THIS WORK SHALL BE INCIDENTAL TO EROSION CONTROL AND WILL NOT BE PAID FOR SEPARATELY.
10. BMP'S SHALL BE INSPECTED IMMEDIATELY AFTER EACH 1/2" OR GREATER RAINFALL AND AT LEAST BI-MONTHLY. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH SIGNIFICANT STORM EVENT.
11. THE CONTRACTOR SHALL BE REQUIRED TO REMOVE SEDIMENT AND OTHER SOILS FROM VEHICLES ENTERING RIGHTS-OF-WAY. SOILS TRACKED OFF SITE SHALL IMMEDIATELY BE RECOVERED. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
12. ALL DISTURBED TURF AREAS SHALL BE FINE-GRADED, FERTILIZED, SEEDDED AND MULCHED.

13. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH SPOT ELEVATIONS, GRADES AND FLOW ARROWS AS SHOWN IN THE PLANS OR AS DIRECTED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
14. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE, CULVERT END PROTECTION, OR DITCH CHECKS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDDED.
15. ALL SALVAGEABLE TEMPORARY EROSION CONTROL ITEMS SHALL BE REMOVED AND BECOME THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF THE CONTRACT OR REQUIRED SERVICE.

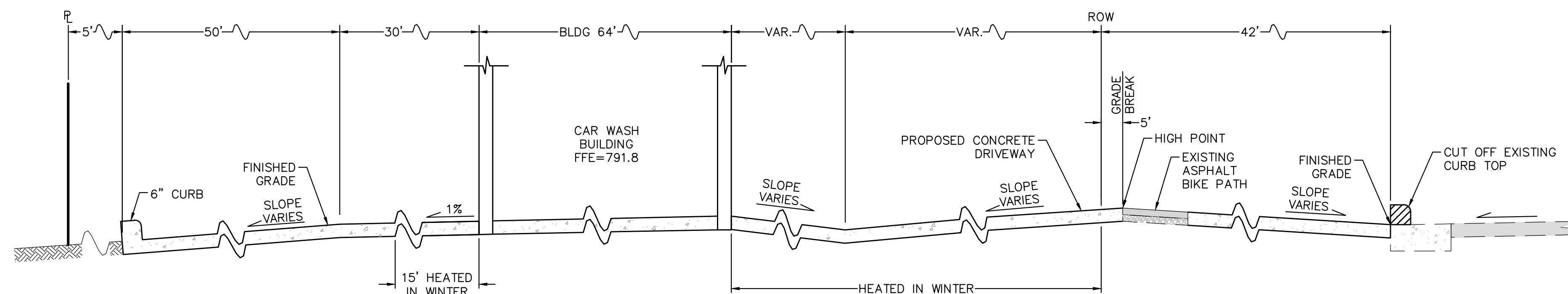


- NOTES:
- 1.) TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
  - 2.) FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2. CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
  - 3.) FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQUARE INCHES.

SILT FENCE  
NO SCALE



SECTION A-A  
NOT TO SCALE



SECTION B-B  
NOT TO SCALE

REVISIONS	DATE
No. 1	6/18/26
DESCRIPTION	
REVISIONS TO SECTION A-A & B-B	

MIKEY JUDGE CAR WASH  
ROCHELLE, ILLINOIS

118 COLUMBUS STREET  
OTAWA, IL 61350  
PH: 815-433-2080  
www.imegcorp.com  
Illinois Design Firm Registration #164-007637-0014

MIKEY JUDGE CAR WASH  
ROCHELLE, ILLINOIS

GENERAL NOTES & DETAILS

IMEG Project No:  
26002176.00

File Name:  
26002176-G-2-GEN\_NOTES.dwg

© COPYRIGHT 2026  
ALL RIGHTS RESERVED

Field Book No:####

Drawn By: JJP

Checked By: GWP

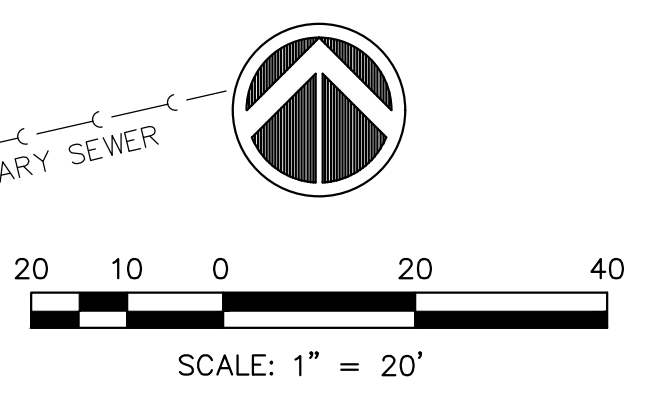
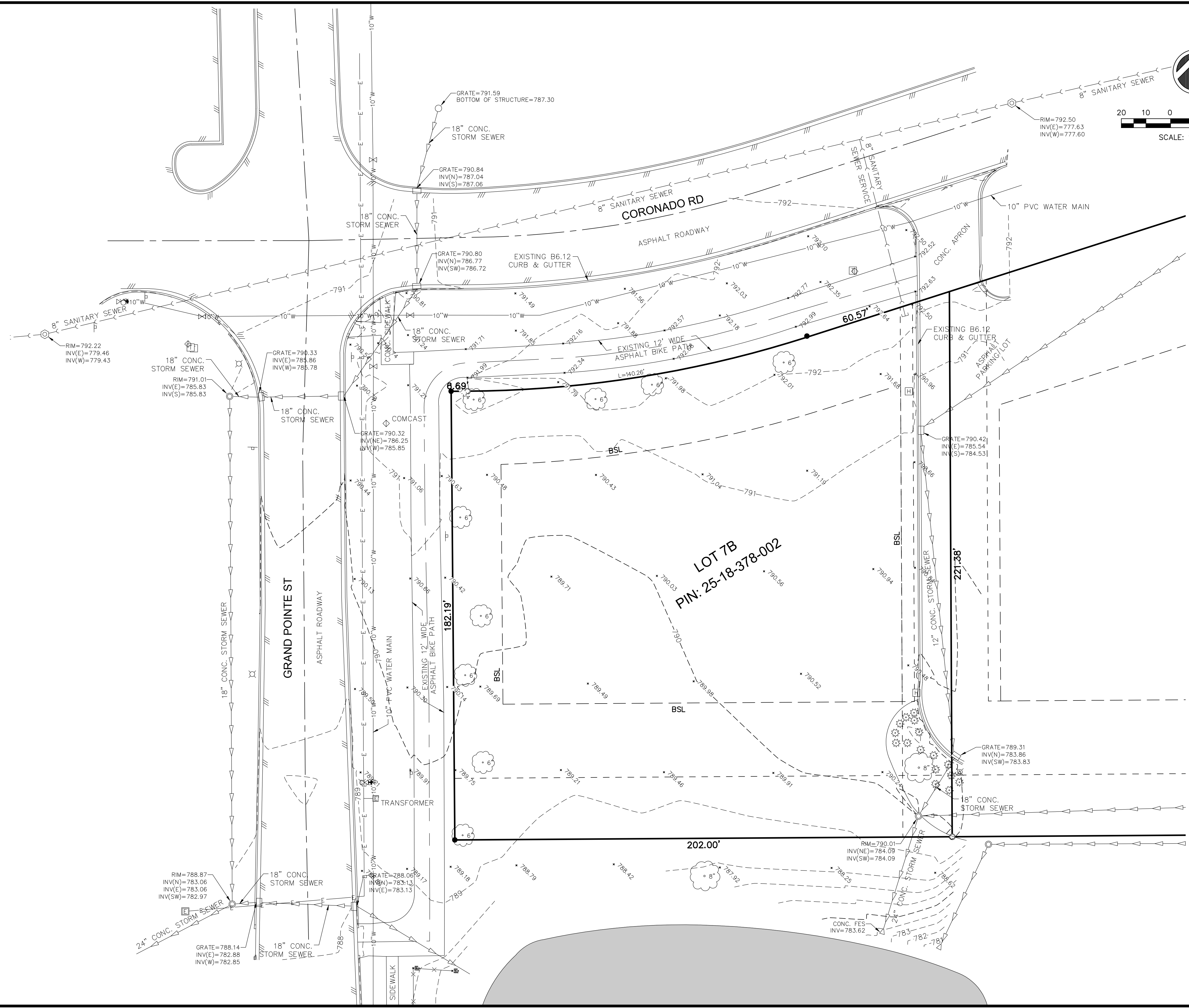
Date: MAY 2026

G-2

Sheet 2 of 5

Thursday, June 18, 2026 12:58:46 PM  
\\FILES\ACTIVE\PROJECTS\2026\26002176.00\DESIGN\CIVIL\CSD\ PLOT\26002176-G-2-GEN\_NOTES.DWG

Monday, May 11, 2026 10:13:54 AM  
\\FILES\ACTIVE\PROJECTS\2026\26002176.00\DESIGN\CIVIL\CSD\SOURCE\26002176.00-TOPO.DWG



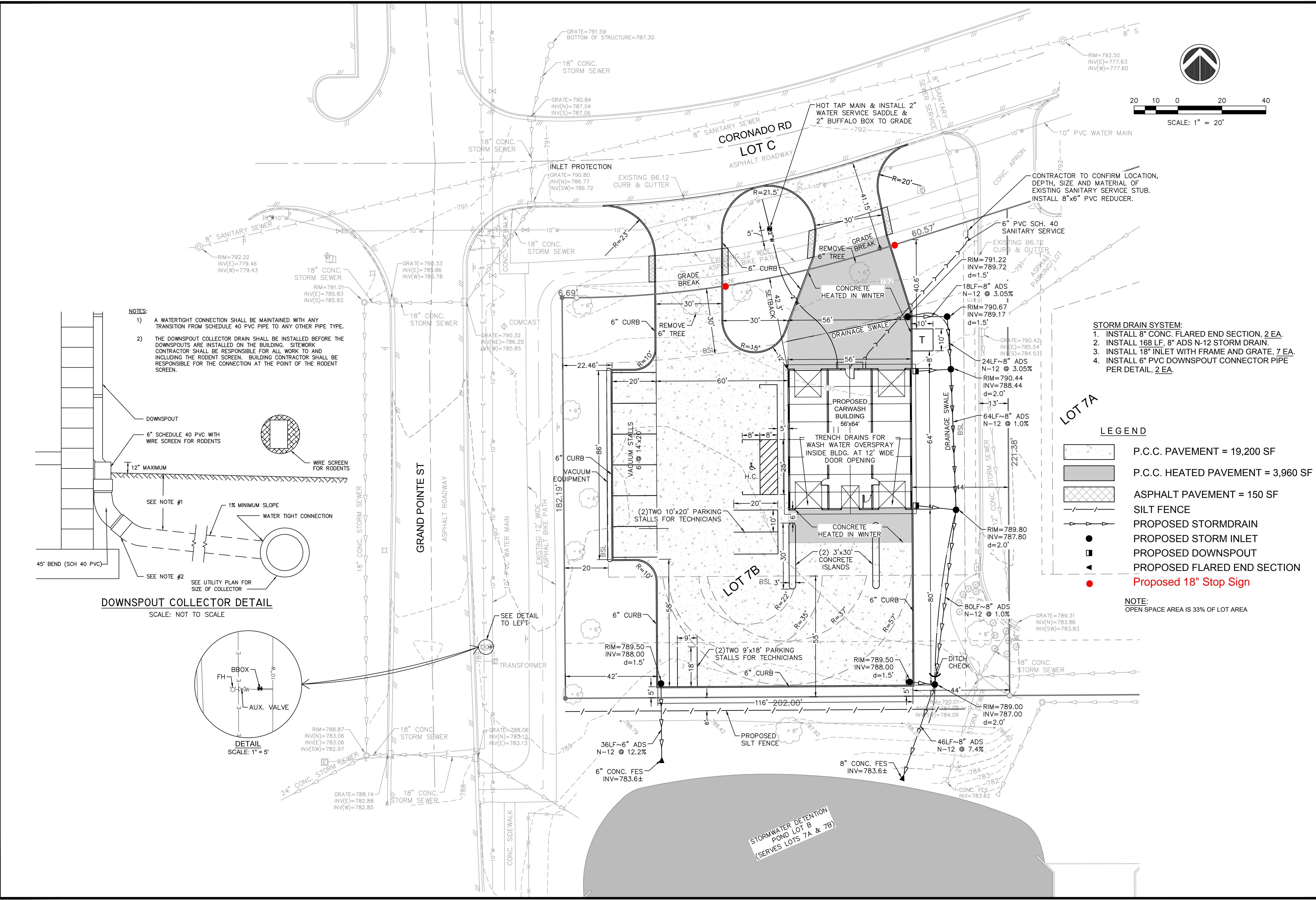
REVISIONS	DATE
No.	DESCRIPTION

**IMEG**  
 1138 COLUMBUS STREET  
 OTTAWA, IL 61356  
 PH: 815.433.2080  
 www.imegcorp.com  
 Illinois Design Firm Registration #64-007637-0014

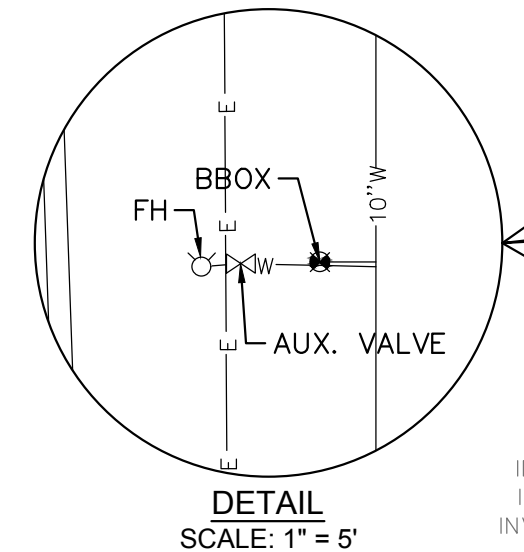
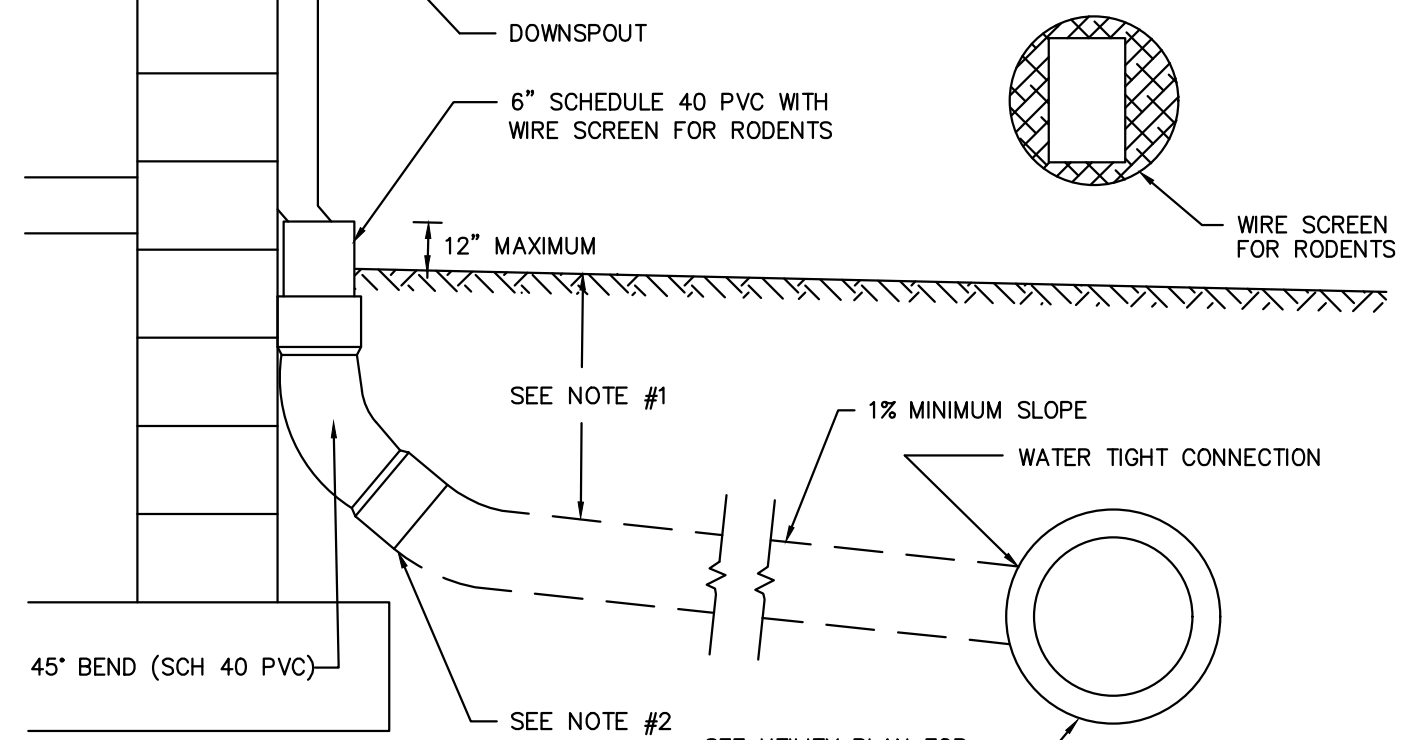
**MIKEY JUDGE CAR WASH**  
 ROCHELLE, ILLINOIS  
**EXISTING SITE CONDITIONS**

IMEG Project No:  
**26002176.00**  
 File Name:  
 26002176.00-Topo.dwg  
 © COPYRIGHT 2026  
 ALL RIGHTS RESERVED  
 Field Book No:####  
 Drawn By: JJP  
 Checked By: GWP  
 Date: MAY 2026  
**C-1**  
 Sheet 3 of 5

Thursday, June 18, 2026 12:52:56 PM  
 \\FILES\ACTIVE\PROJECTS\2026\26002176\CAD\DESIGN\CIVIL\CSD\ PLOT\26002176-C-2-PROPOSED\_SITE\_PLAN.DWG



- NOTES:**
- 1) A watertight connection shall be maintained with any transition from schedule 40 PVC pipe to any other pipe type.
  - 2) THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.



- STORM DRAIN SYSTEM:**
1. INSTALL 8" CONC. FLARED END SECTION, 2 EA.
  2. INSTALL 168 LF, 8" ADS N-12 STORM DRAIN.
  3. INSTALL 18" INLET WITH FRAME AND GRATE, 7 EA.
  4. INSTALL 6" PVC DOWNSPOUT CONNECTOR PIPE PER DETAIL, 2 EA.

- LEGEND**
- [Symbol] P.C.C. PAVEMENT = 19,200 SF
  - [Symbol] P.C.C. HEATED PAVEMENT = 3,960 SF
  - [Symbol] ASPHALT PAVEMENT = 150 SF
  - [Symbol] SILT FENCE
  - [Symbol] PROPOSED STORMDRAIN
  - [Symbol] PROPOSED STORM INLET
  - [Symbol] PROPOSED DOWNSPOUT
  - [Symbol] PROPOSED FLARED END SECTION
  - [Symbol] Proposed 18" Stop Sign
- NOTE:** OPEN SPACE AREA IS 33% OF LOT AREA

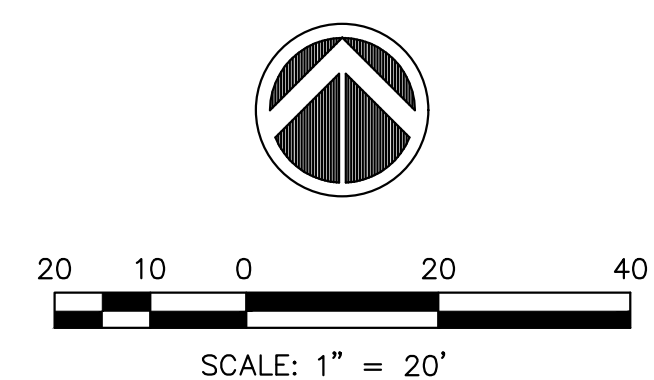
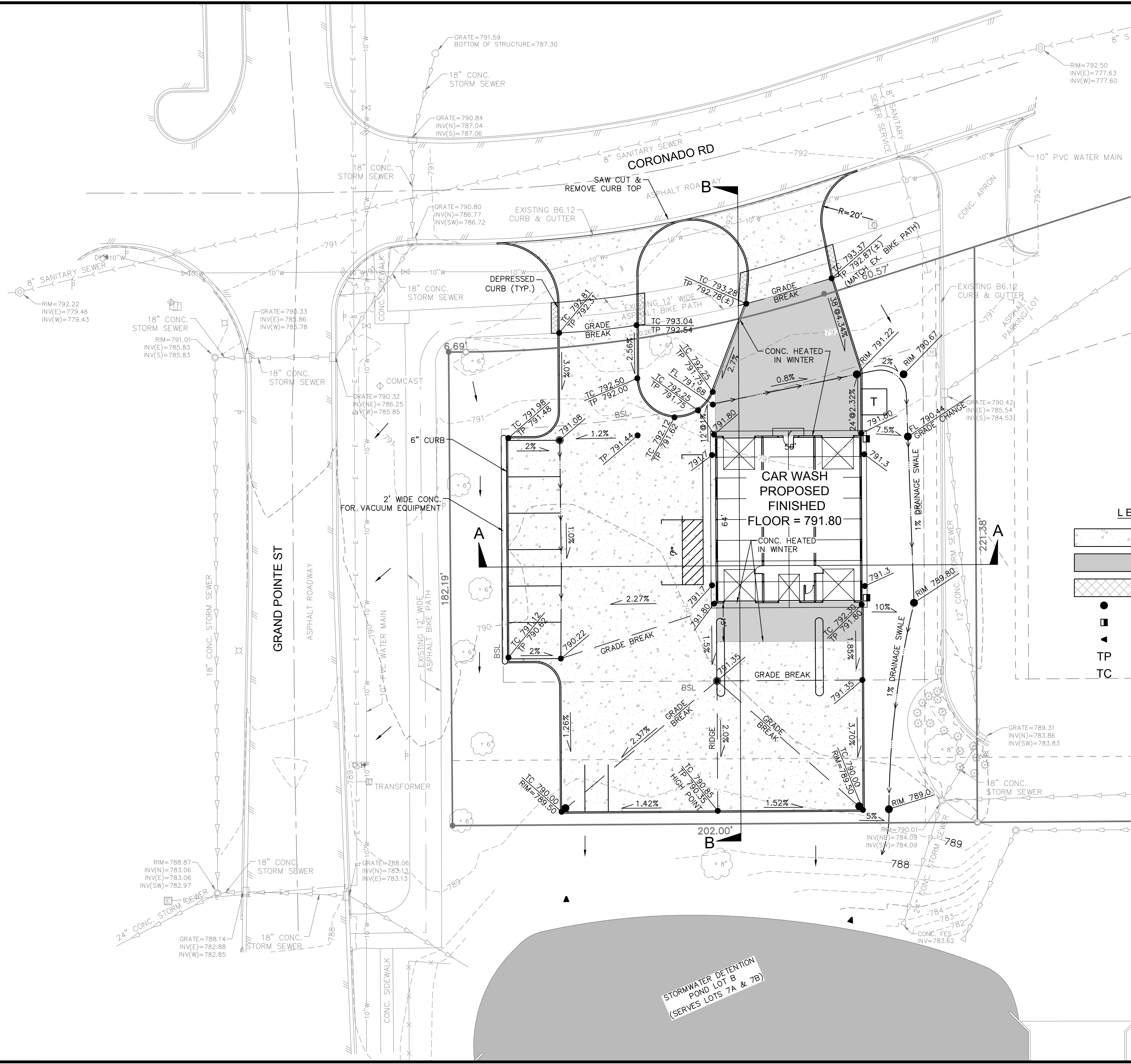
REVISIONS	DATE	DESCRIPTION
No. 1	5/16/26	VACUUM STALL ADDED
No. 2	6/18/26	ADDED STORMDRAIN SYSTEM & REVISED GEOM.

**IMEG**  
 118 COLUMBUS STREET  
 OTTAWA, IL 61350  
 PH: 815-433-2080  
 WWW.IMEGAP.COM  
 Illinois Design Firm Registration #64-007637-0014

**MIKEY JUDGE CAR WASH**  
 ROCHELLE, ILLINOIS  
**PROPOSED SITE, EROSION CONTROL & UTILITY PLAN**

IMEG Project No: 26002176.00  
 File Name: 26002176-C-2-PROPOSED\_SITE\_PLAN.dwg  
 © COPYRIGHT 2026 ALL RIGHTS RESERVED  
 Field Book No: ####  
 Drawn By: JJP  
 Checked By: GWP  
 Date: MAY 2026  
**C-2**  
 Sheet 4 of 5

STORMWATER DETENTION POND LOT B (SERVES LOTS 7A & 7B)



- GRADING AND PAVING NOTES:**
- PCC PAVEMENT TO BE 5" THICK OVER 8" AGG BASE OR AS SPECIFIED BY OWNER.
  - SAW CUT CONCRETE CONTROL JOINTS AT 15' MAX. DIMENSION.
  - SEE SHEET G-2 FOR A-A & B-B CROSS SECTIONAL VIEWS
  - PCC Pavement in street ROW shall be 7" thick over 6" Aggregate Base
- NOTE:**
- SEE SHEET G-2 FOR A-A & B-B CROSS SECTIONAL VIEWS
  - SEE STORMDRAIN PER SHEET C-2

**LEGEND**

- P.C.C. PAVEMENT = 19,200 SF
- P.C.C. HEATED PAVEMENT = 3,960 SF
- ASPHALT PAVEMENT = 150 SF
- PROPOSED STORM INLET
- PROPOSED DOWNSPOUT
- PROPOSED FLARED END SECTION
- TOP PAVEMENT
- TOP CURB

REVISIONS	
No.	DESCRIPTION
1	VACUUM STALL ADDED
2	ADDED STORMDRAIN SYSTEM & REVISED GEOM.

118 COLUMBUS STREET  
OTAWA, IL 61350  
PH: 815-433-2080  
www.imegcorp.com  
Illinois Design Firm Registration #164-007637-0014

**MIKEY JUDGE CAR WASH  
ROCHELLE, ILLINOIS  
GRADING & DRAINAGE PLAN**

IMEG Project No:  
26002176.00

File Name:  
26002176-C-3-PROPOSED\_GRADING\_PLAN.dwg

© COPYRIGHT 2026  
ALL RIGHTS RESERVED

Field Book No:####

Drawn By: JJP/MW

Checked By: GWP

Date: MAY 2026

**C-3**

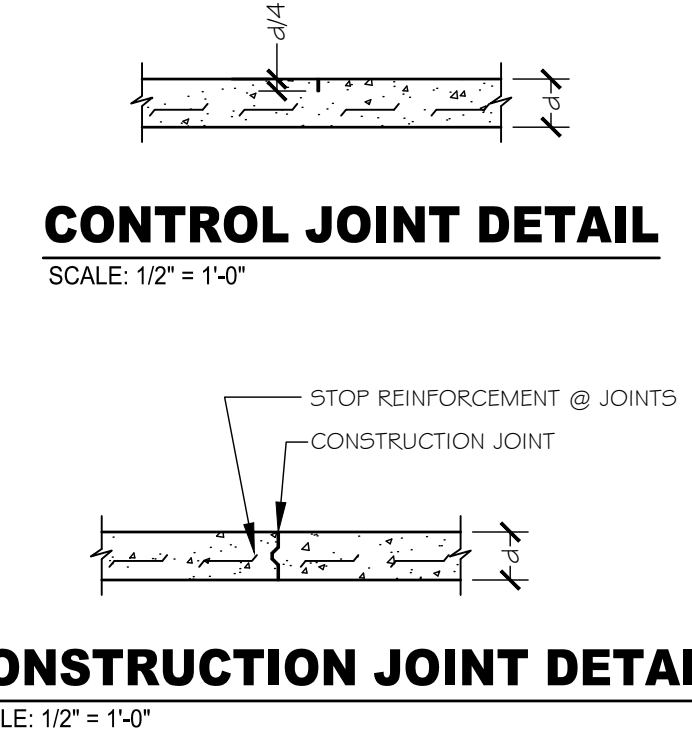
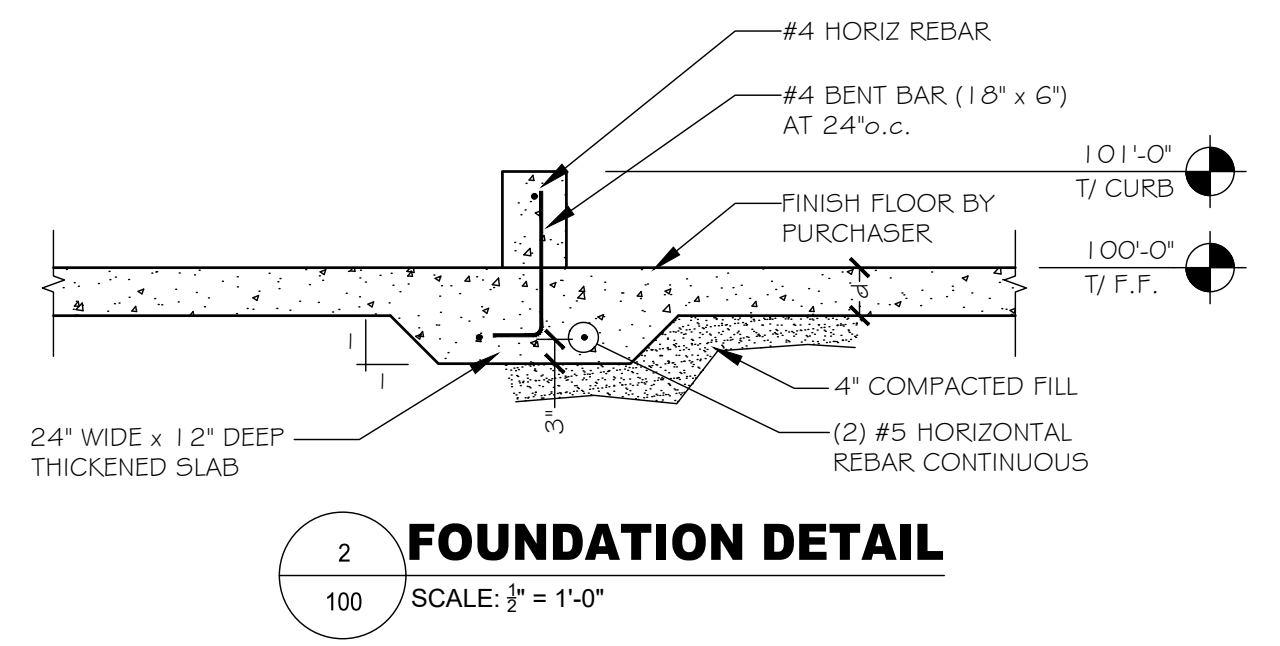
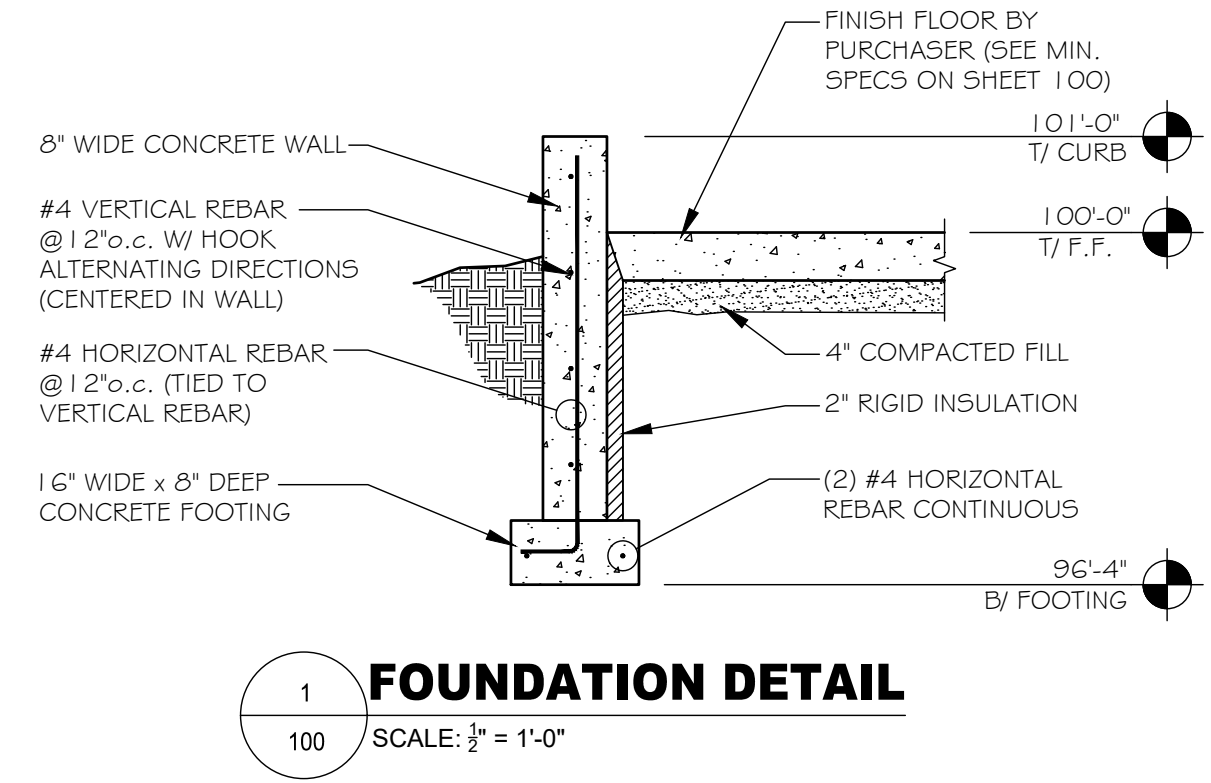
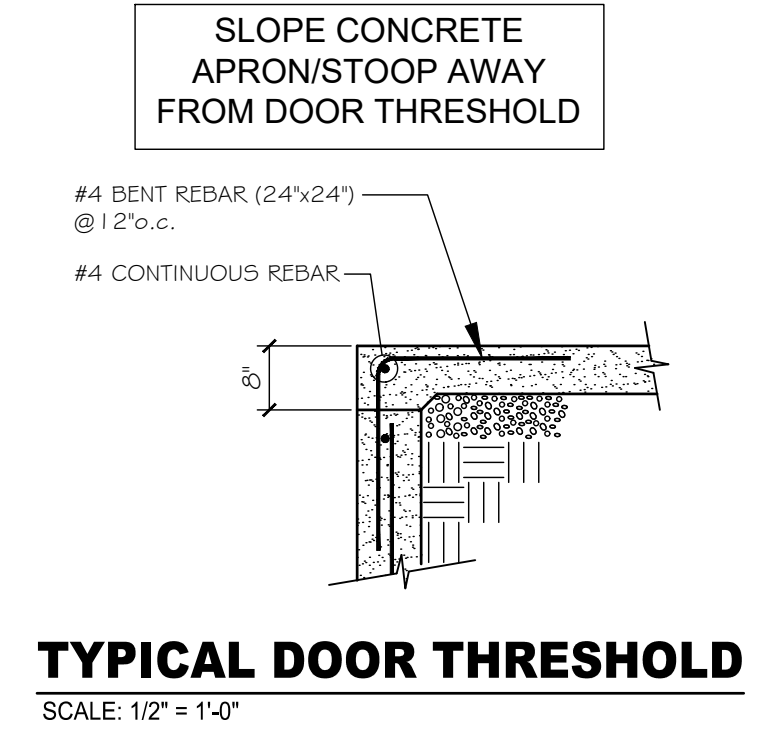
Sheet 5 of 5

Thursday, June 18, 2026 1:12:07 PM  
\\FILES\ACTIVE\PROJECTS\2026\26002176.00\DESIGN\CIVIL\CSD\ PLOT\26002176-C-3-PROPOSED\_GRADING\_PLAN.dwg

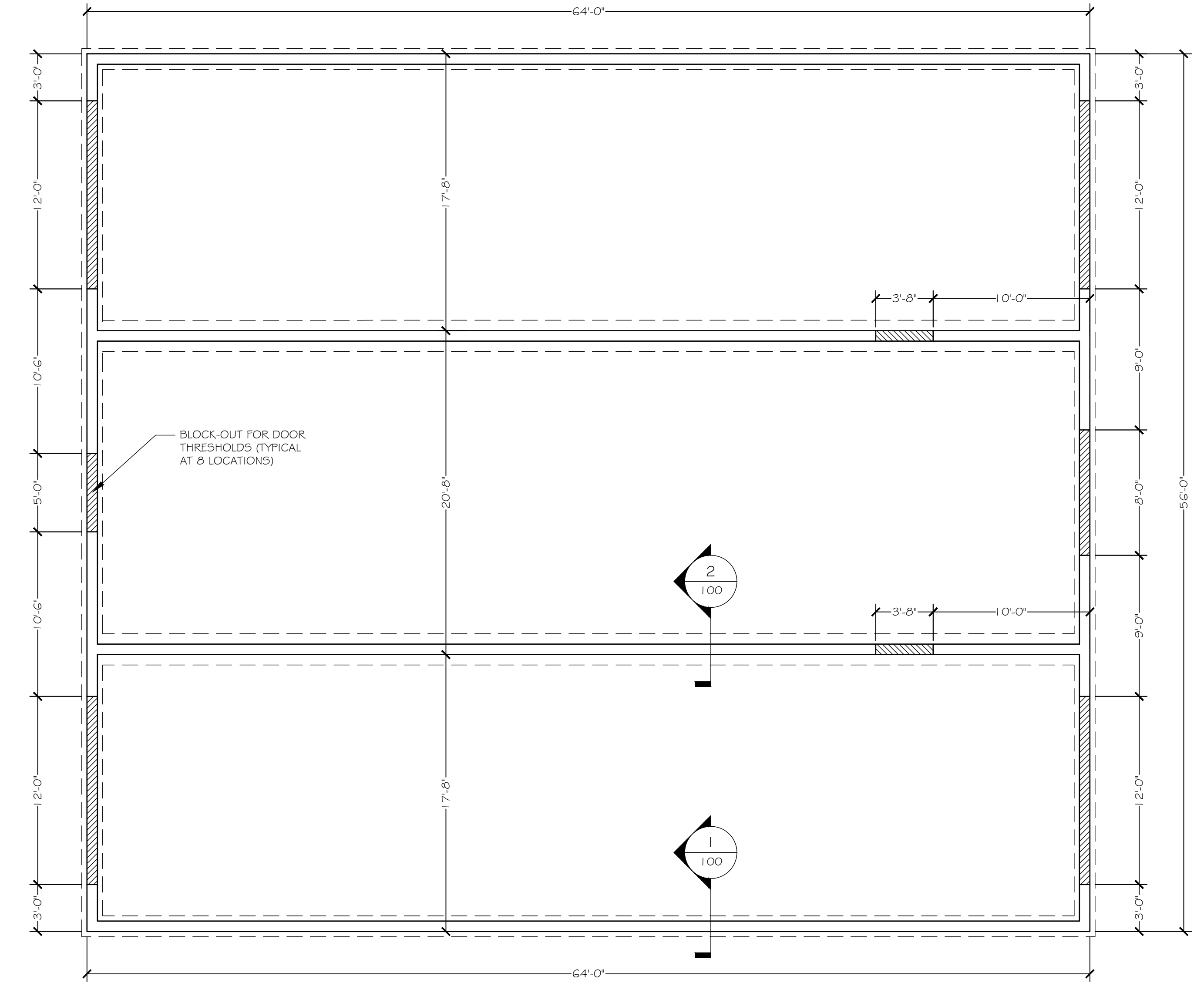
STORMWATER DETENTION  
POND LOT B  
(SERVES LOTS 7A & 7B)



NO.	DATE	BY	DESCRIPTION
2024-04-30	JAKE P.	REVIEW SET	



- Concrete Specs:
- All concrete work shall conform to the current or referenced issues of "Building Code Requirements for Reinforced Concrete", ACI 318, "Specification for Structural Concrete for Buildings", ACI 301, "Manual of Standard Practice for Detailing Reinforced Concrete Structures" as adopted by the American Concrete Institute, and all other appropriate standards as dictated by weather conditions, site conditions, reinforcing steel requirements, etc.
  - All concrete exposed to weather shall be air entrained 5% +/- 1%.
  - All concrete shall have a 28 day strength of 4,000 psi.
  - All reinforcing bars shall conform to ASTM A615, grade 60.
  - Lap splices shall be class B according to the latest issue of the "Concrete Reinforcing Steel Institute Handbook", unless noted otherwise.
  - Anchor bolts shall conform to ASTM A307 or better. Anchor bolts shall be carefully placed so that no modifications to post bracket plates are required.
  - Completed work shall not vary from the plumb, from the level, from the indicated grade or from the planned position more than 1/4" in ten feet.
  - All exposed edges of concrete shall have 3/4" chamfer.
  - Slab Finishing: Broom finish all areas near exit doors or as designated to be "slip-resistant" surfaces.
  - Under no conditions shall water be added to the concrete mix at the job site.
  - All walking surfaces, including floors of corridors, stairways and other components of the means of egress shall have a slip resistant surface.
  - Welded wire fabric shall conform to ASTM A185, unless otherwise noted.
  - Where hooks are indicated, provide standard hooks per ACI and CRSI for all bars unless other hook dimensions are shown on the plans.
  - Reinforcement in footings, walls, and beams shall be continuous. Lap bars a minimum of 36 diameters, unless noted otherwise.
  - Where walls sit on column footings, provide dowels for the wall. Dowels shall be the same size and spacing as the vertical wall reinforcement, unless noted otherwise, with lap splices as shown on the applicable sections. Install dowels in the footings forms before concrete is placed. Do NOT stick dowels into footings after concrete is placed.
  - Field bending of reinforcing steel is prohibited.
  - Minimum concrete cover over main reinforcing steel shall be as follows: 3" at foundations, 2" at all dirt faces of walls and beams exposed to the weather, 1" at all pier and column ties, and 3/4" at other faces and in structural slabs unless shown or noted otherwise.
  - Sawn or tooled control / contraction joints shall be provided in all slabs as per details or per ASTM D1751.
  - All drilled-in dowels / anchor bolts / rods shall be installed per manufacturer or engineer's instructions.
  - Minimum 6-mil vapor barrier required under slabs on grade conforming to ASTM E1745, Class C or ASTM D4397 mls.
  - Fiber-mesh reinforcement shall not be used in place of steel reinforcing. May be used to help resist shrinkage cracking.
  - Concrete slump shall be 4" +/- 1".
  - Isolation joints for slab-on-grade shall be used at all locations.
  - Floor treatment / curing compounds shall be used.
  - Control joints shall be used on above grade walls at maximum spacing of 25' o.c.
  - Top horizontal rebar shall be kept 5" (min) from top of concrete.
  - Purchaser and their concrete designer/contractor are responsible for specifying the concrete floor slab. This includes slab thickness, slab reinforcement, and slab control joints. All must adhere to the concrete codes listed in spec item #1 above.



SEAL

**Rochelle Car Wash**  
450 Coronado Dr.  
Rochelle, IL 61068

SHEET TITLE:  
FOUNDATION PLAN

**FBI Buildings**  
fbibuildings.com • (800) 552-2981

DRAWN (revised) BY: Jake P. (Bill B.)  
MTO BY: XX  
ENG. BY: Alan S.  
PSC: Seth S.  
SHEET: **100**  
FBI PROJECT #: 20-3154-03

NO.	DATE	BY	DESCRIPTION
2024-04-30	JAKE P.	REVIEW SET	

SEAL

# Rochelle Car Wash

450 Coronado Dr.  
Rochelle, IL 61068

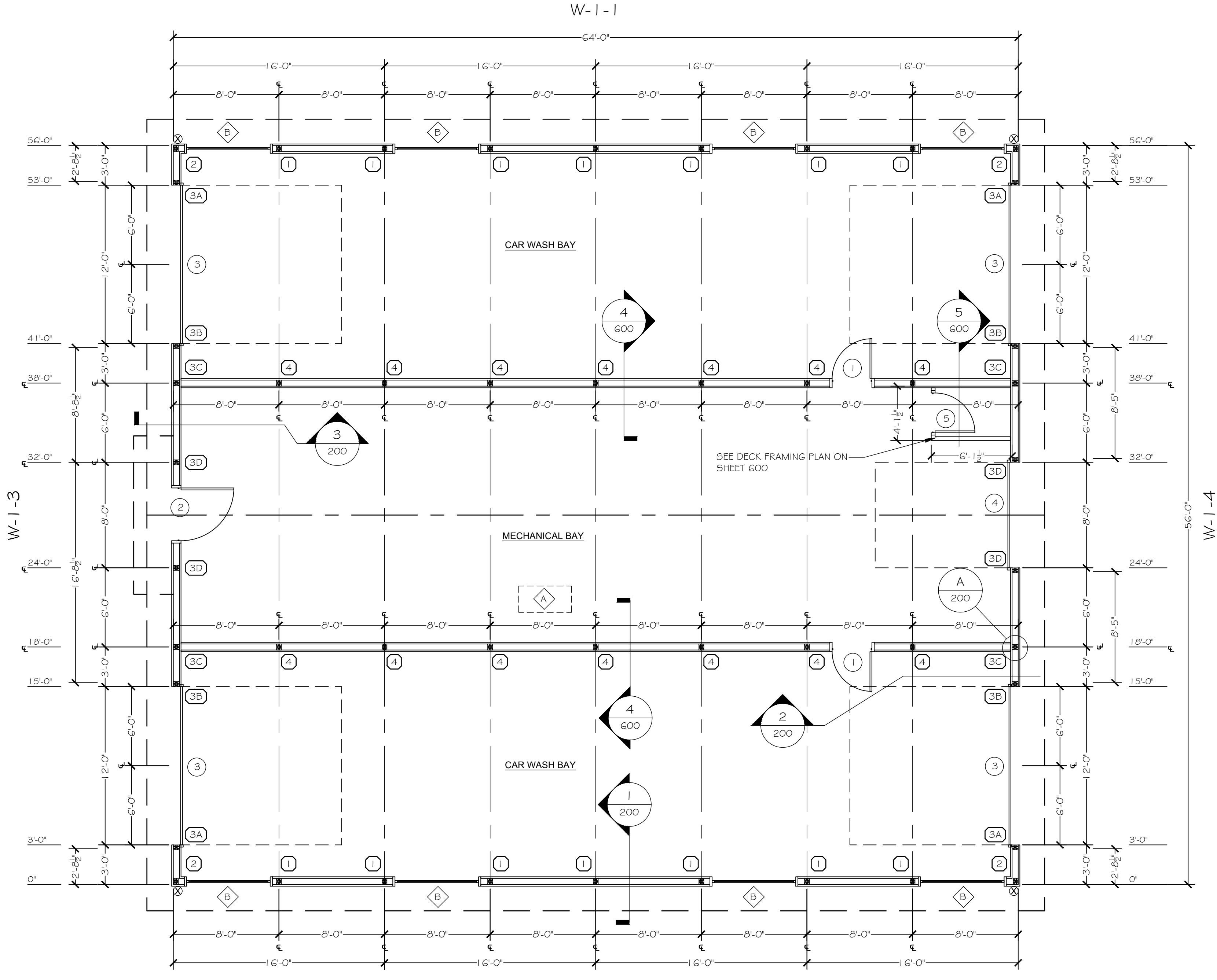
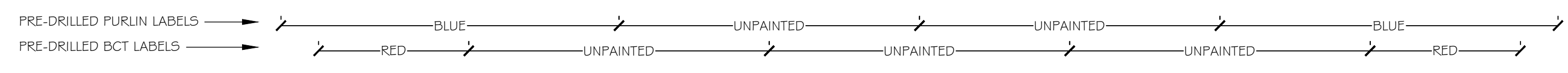
SHEET TITLE:  
FLOOR PLAN



fbi-buildings.com • (800) 552-2981

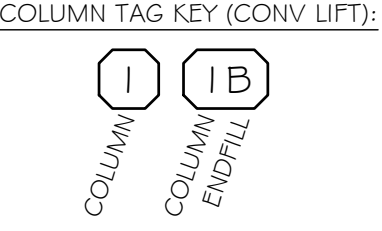
DRAWN (revised) BY:	Jake P. (BIB)
MTO BY:	XX
ENG. BY:	Alan S.
PSC:	5th S.

SHEET: **200**



**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

DIAGONAL: (56'-0" x 64'-0") = 85'-0 1/2"  
⊗ = 4" x 3" DOWNSPOUT LOCATION



**COLUMN STUB SCHEDULE**

FULL COLUMNS OR STUBS							
LABEL	STUB / COL. SIZE	LENGTH	UPLIFT ANCHORS	UPLIFT ANCHOR FASTENERS	COMMENTS	BRACKET TYPE	STUB / COL. DEPTH
1	3-PLY 2x6	14'-0"	(2) 1/2" Ø x 6" TITEN	(Ø) STRUCTURAL-M SCREWS	FULL SIDE COLUMN	UNIV.	N/A
2	3-PLY 2x6	14'-0"	(2) 1/2" Ø x 6" TITEN	(Ø) STRUCTURAL-M SCREWS	FULL CORNER COLUMN	UNIV.	N/A
3	3-PLY 2x6	14'-0"	(2) 1/2" Ø x 6" TITEN	(Ø) STRUCTURAL-M SCREWS	FULL END COLUMN	UNIV.	N/A
4	3-PLY 2x6	14'-0"	(2) 1/2" Ø x 6" TITEN	(Ø) STRUCTURAL-M SCREWS	INTERIOR BEARING COLUMN	UNIV.	N/A

**END FILL SCHEDULE**

LABEL	COLOR / LENGTH
A	RED
B	GREEN
C	YELLOW
D	ORANGE

**MISCELLANEOUS PRE-CUT SCHEDULE**

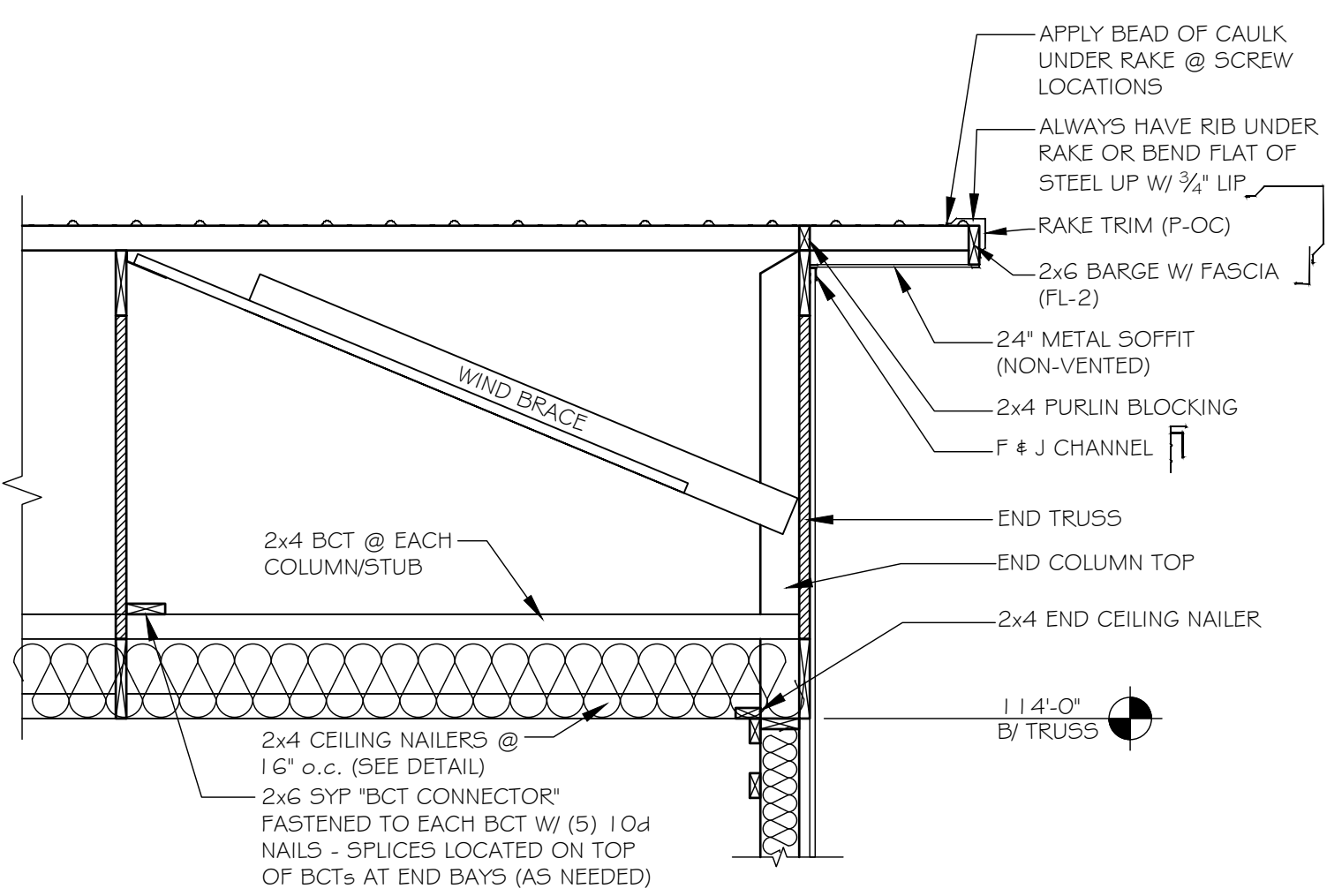
LENGTH	COLOR	COMMENTS
+	RED	+
+	GREEN	+
+	YELLOW	+
+	ORANGE	+

**OPENINGS SCHEDULE**

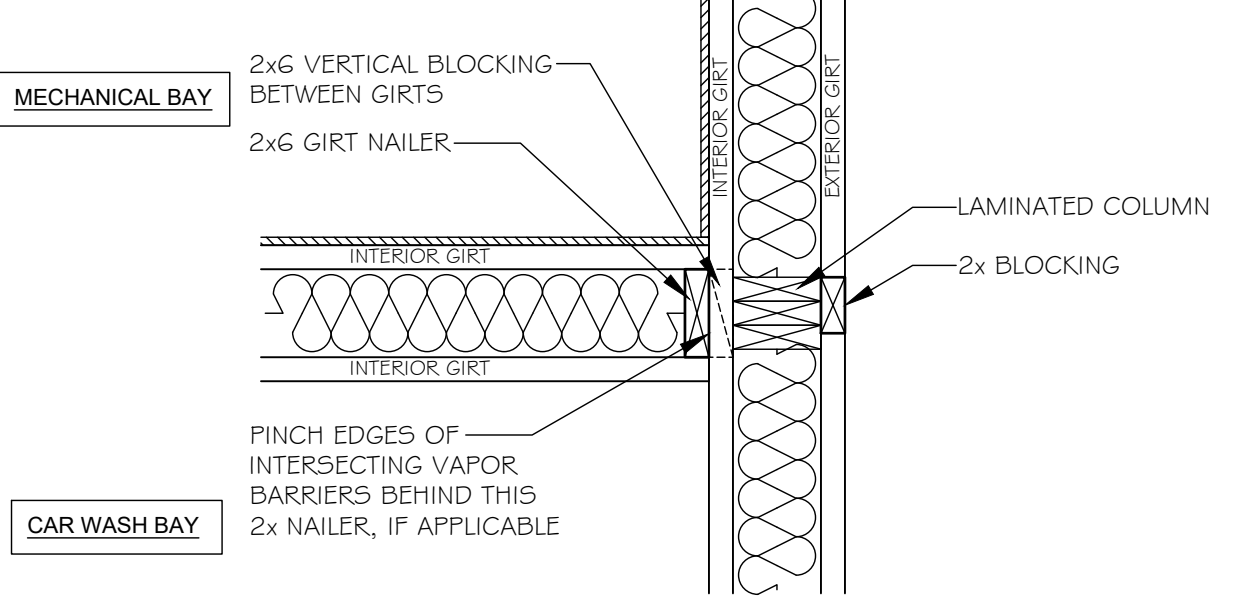
LABEL	TYPE	MFR/MODEL	SIZE	ROUGHOUT	ACCESSORIES	DETAIL LOCATION / COMMENTS
1	WALKDOOR	AJ #7100 SERIES	3068	40 5/16" x 81"	SOLID PANEL & LEVER LOCKSET	FBI TO FRAME OUT & INSTALL, SEE FRAME OUT DETAIL ON SHEET 650
2	ALUM WALKDOOR	BY PURCHASER	4070	53" x 86 1/2"	PURCHASER TO SUPPLY & INSTALL CODE COMPLIANT HARDWARE	FBI TO FRAME OUT & INSTALL, PURCHASER TO SUPPLY
3	OVERHEAD	BY PURCHASER	12' x 12'	12'-0" x 12'-0"		FBI TO FRAME OUT, PURCHASER TO SUPPLY & INSTALL, SEE DOOR #3 DETAIL ON SHEET 600
4	OVERHEAD	BY PURCHASER	8' x 10'	8'-0" x 10'-0"		FBI TO FRAME OUT, PURCHASER TO SUPPLY & INSTALL, SEE DOOR #4 DETAIL ON SHEET 600
5	WALKDOOR	BY PURCHASER	3068	VERIFY ON SITE	PURCHASER TO SUPPLY & INSTALL CODE COMPLIANT HARDWARE	FBI TO FRAME OUT, PURCHASER TO SUPPLY & INSTALL
A	ATTIC ACCESS	FBI	24' x 48"	24 1/8" x 48 1/8"		VERIFY LOCATION W/ PURCHASER, SEE DETAIL ON SHEET 300
B	ALUM WINDOW	BY PURCHASER	6476	6'-4" x 7'-6"	BY PURCHASER	FBI TO FRAME OUT & INSTALL, PURCHASER TO SUPPLY

**PRE-CUT GIRTS SCHEDULE**

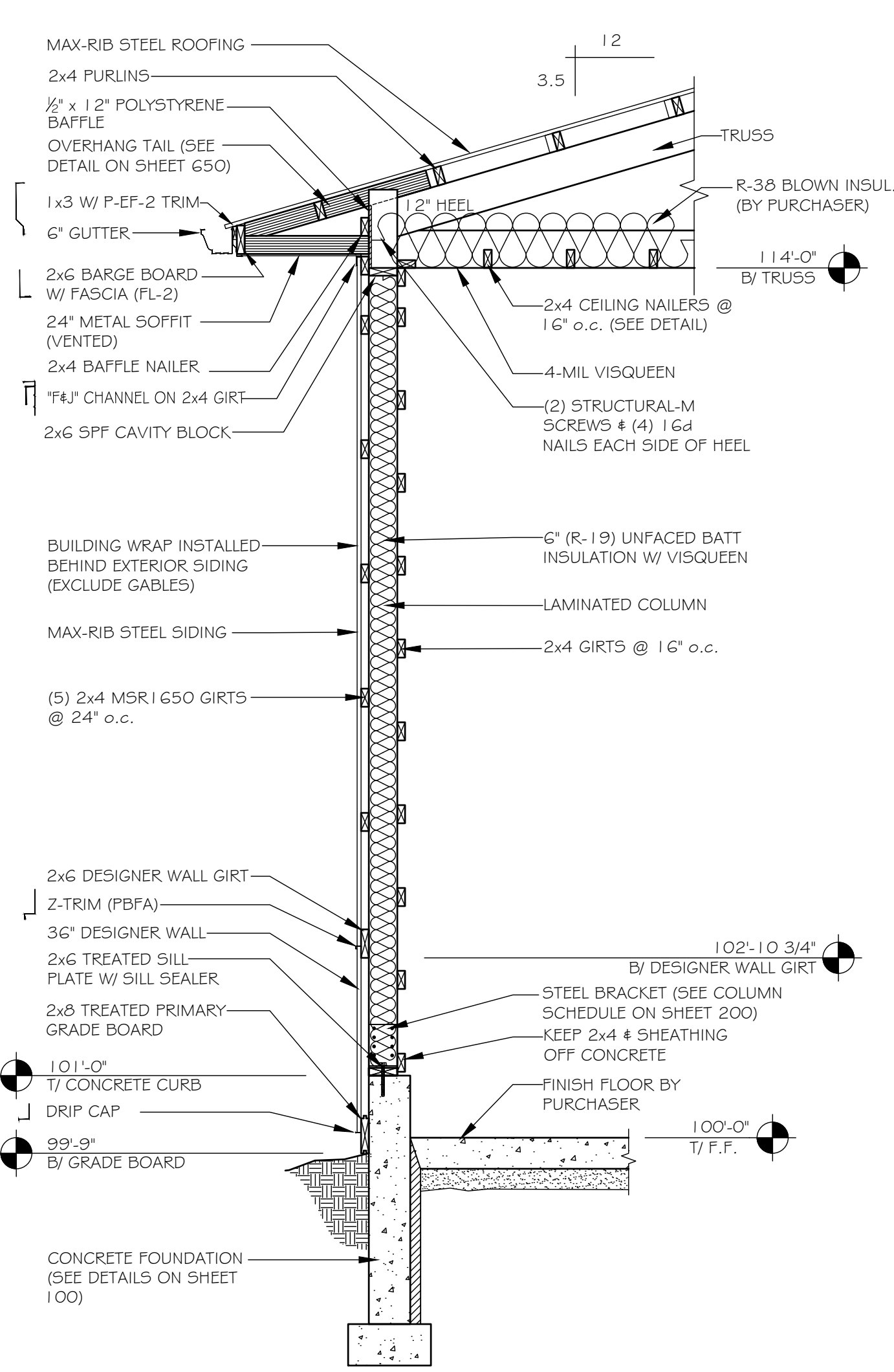
LENGTH (-1/16")	COLOR
16'-8 1/2"	RED
16'-0"	GREEN
8'-8 1/2"	YELLOW
8'-5"	ORANGE
2'-8 1/2"	PURPLE



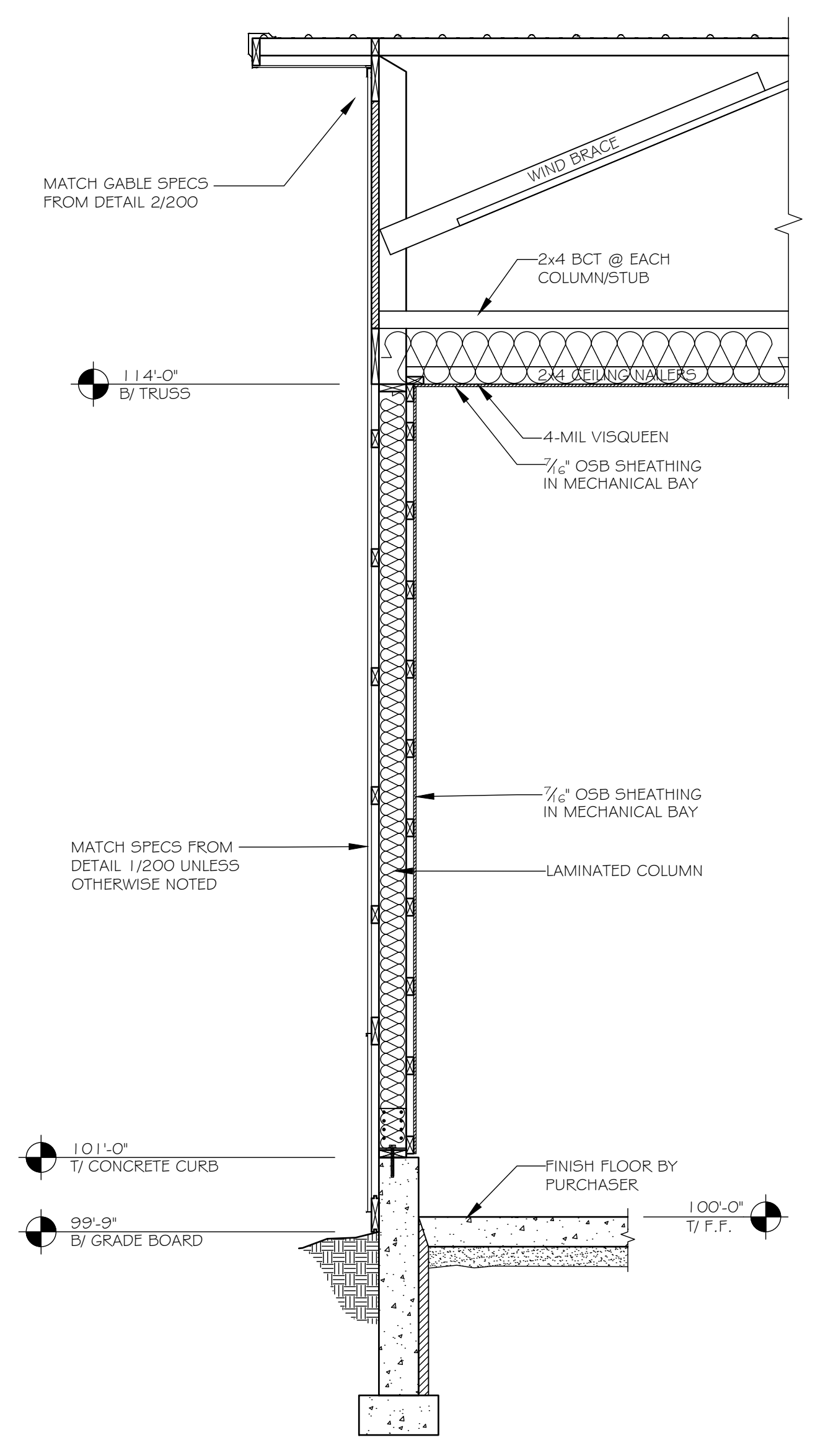
**2 GABLE END SECTION**  
SCALE: 3/8" = 1'-0"



**A PARTITION FRAMING DETAIL (TYP.)**  
SCALE: 1" = 1'-0"

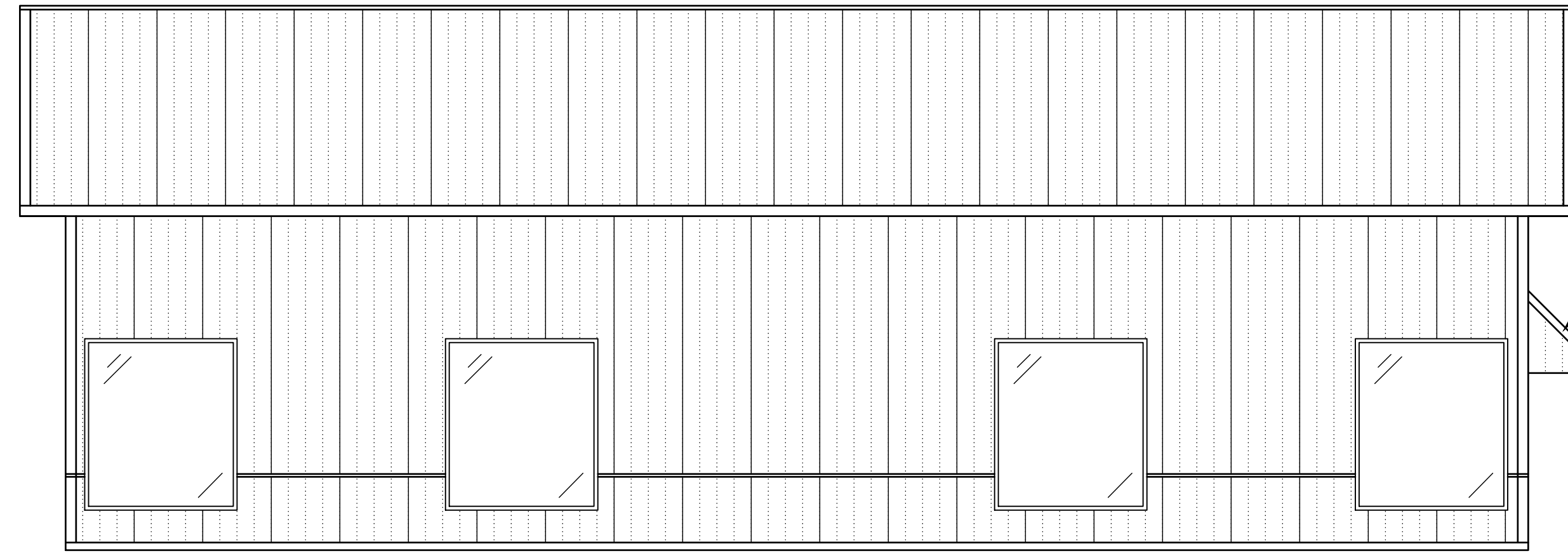


**1 WALL SECTION**  
SCALE: 3/8" = 1'-0"

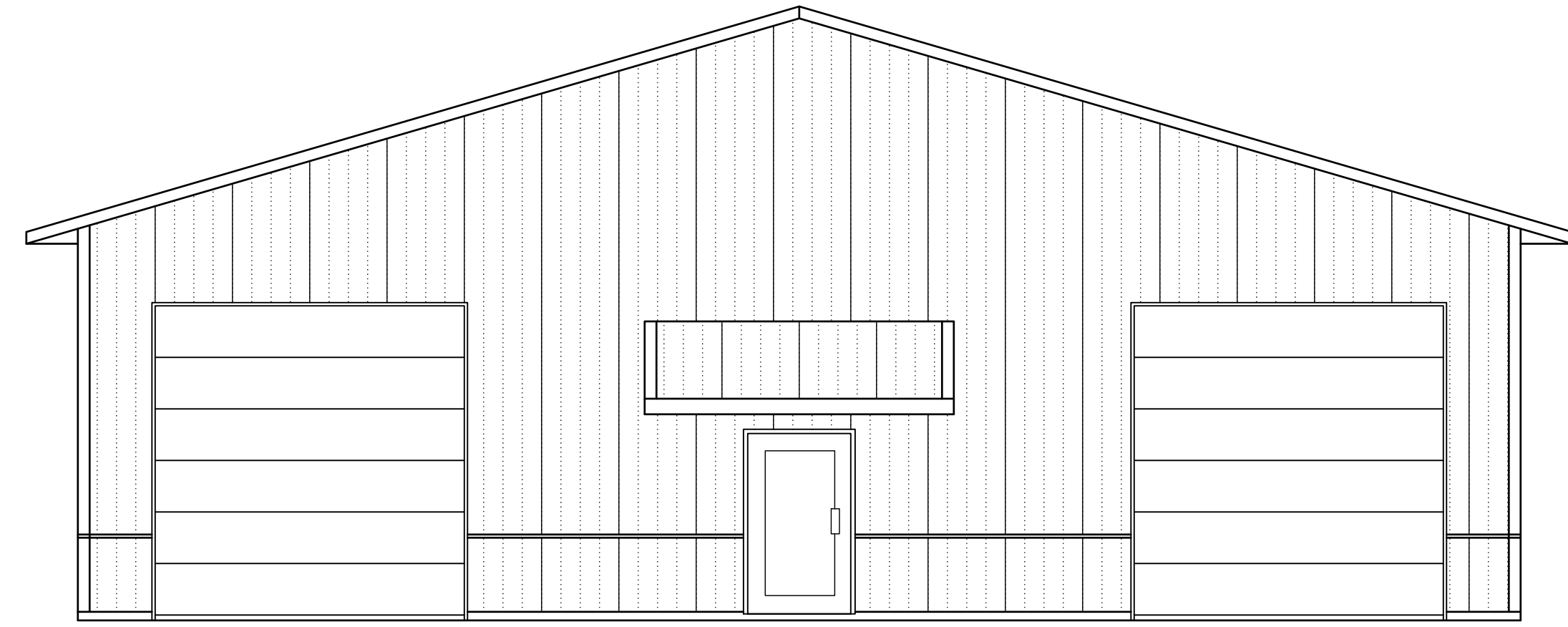


**3 WALL SECTION**  
SCALE: 3/8" = 1'-0"

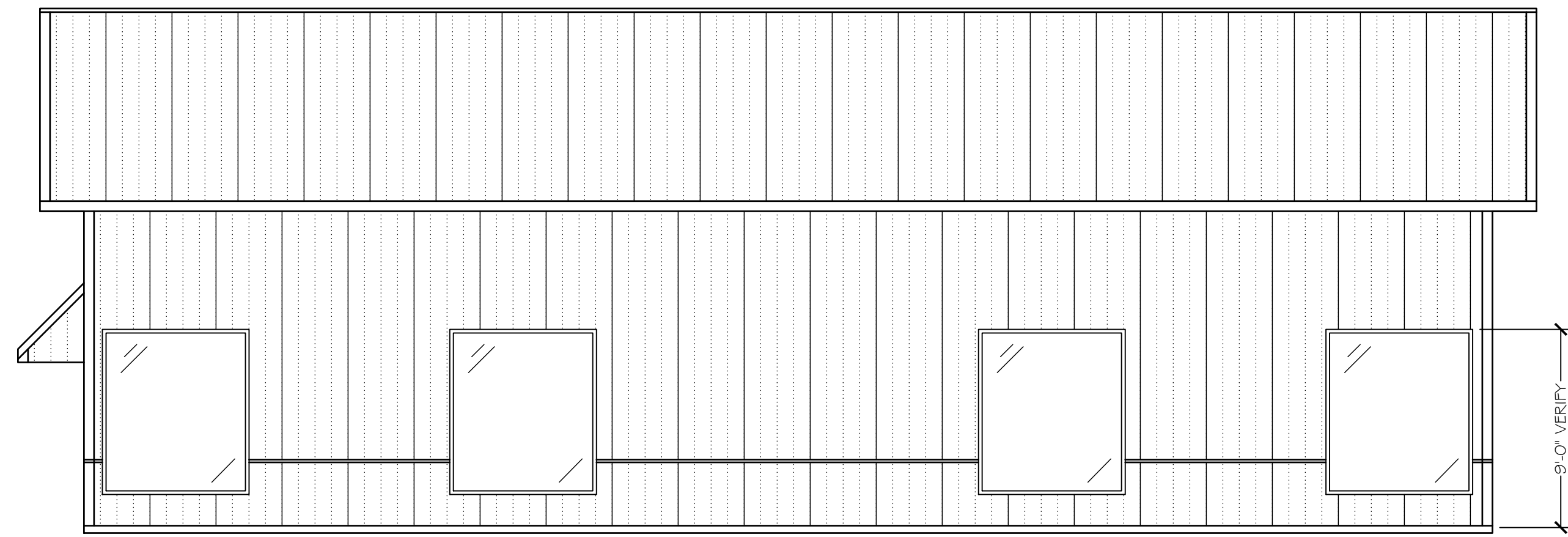




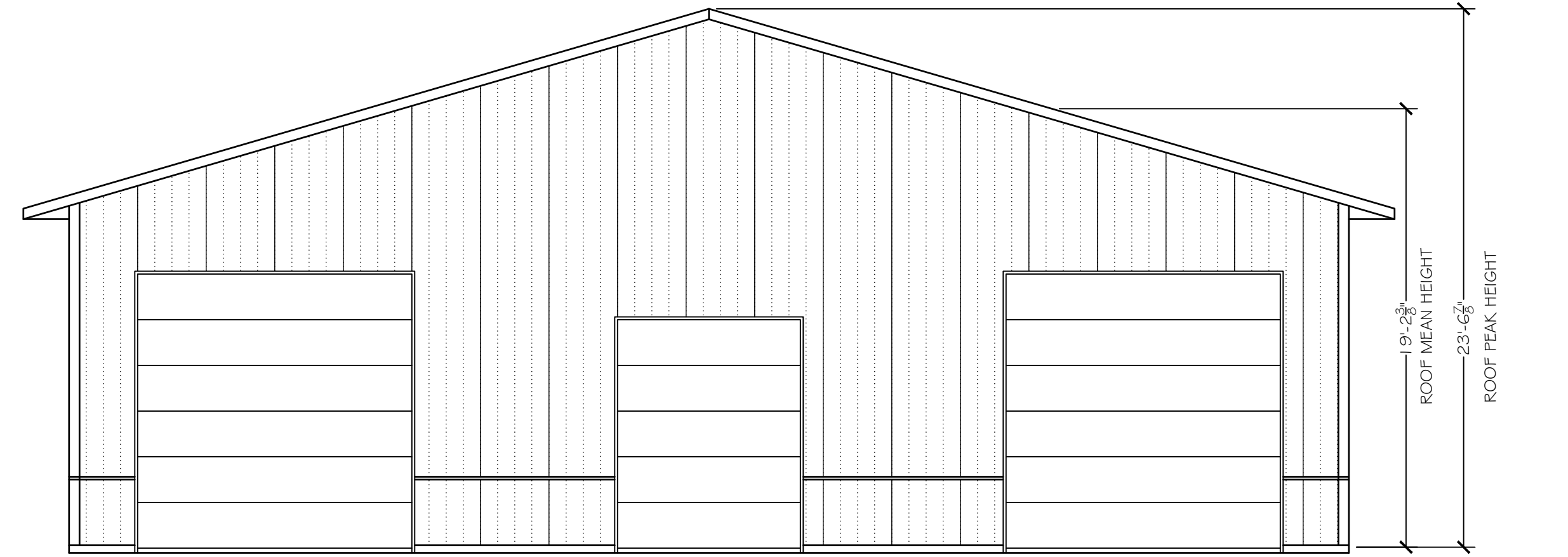
**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



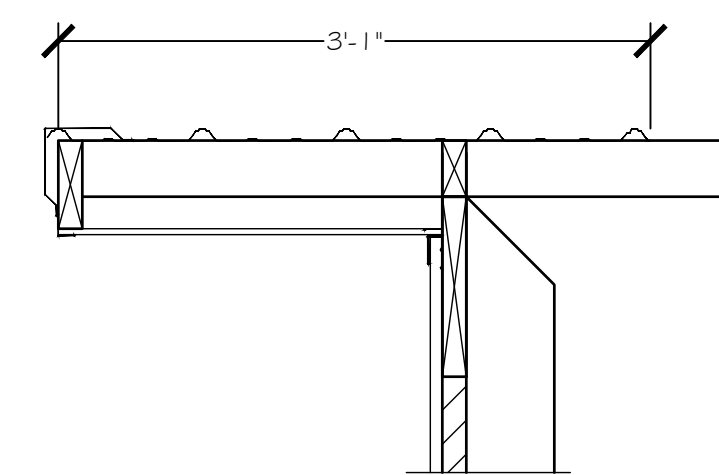
**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



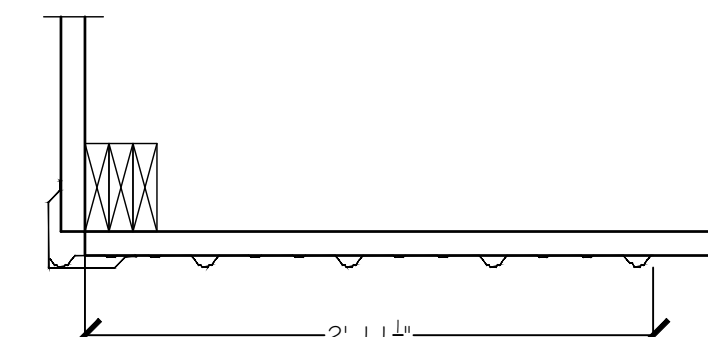
**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



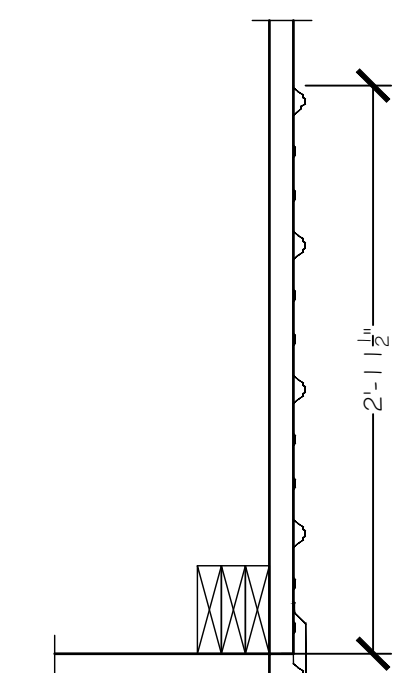
**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**ROOF STARTER PANEL**  
SCALE: 1" = 1'-0"



**SIDEWALL STARTER PANEL**  
SCALE: 1" = 1'-0"



**ENDWALL STARTER PANEL**  
SCALE: 1" = 1'-0"

NO.	DATE	BY	REVIEW SET	DESCRIPTION
2024-04-30		JAKE P.		

SEAL

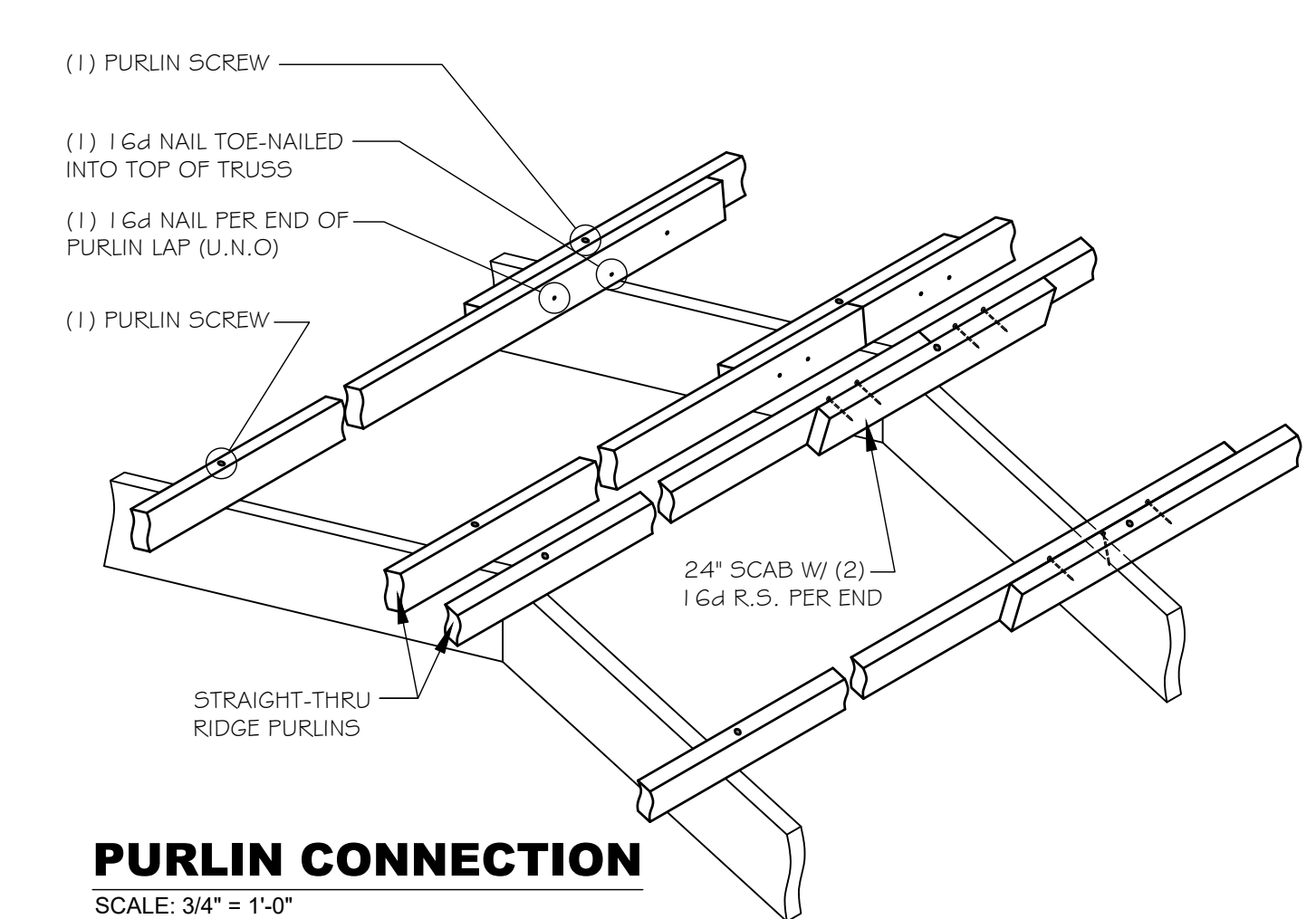
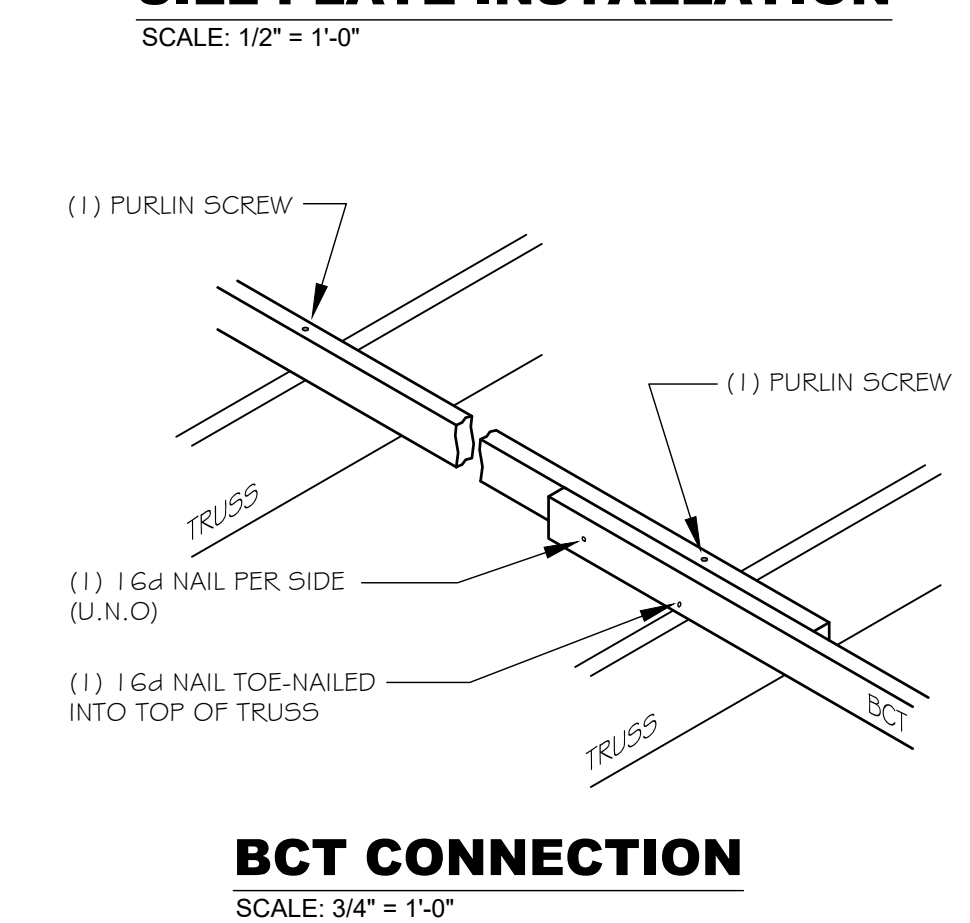
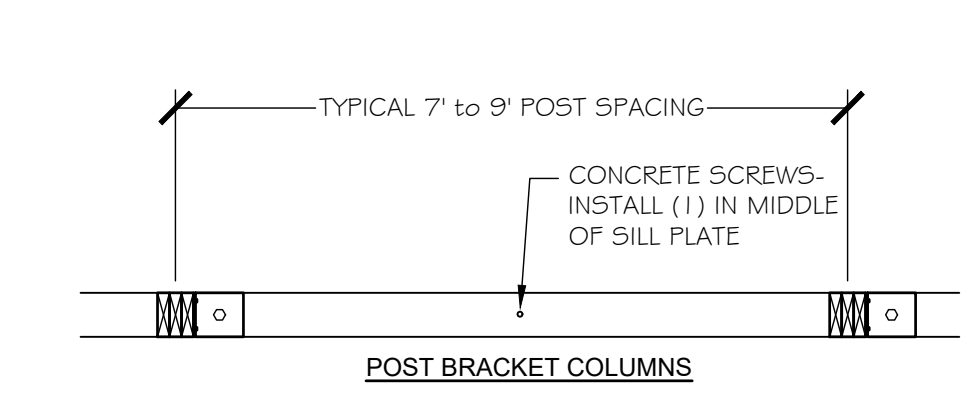
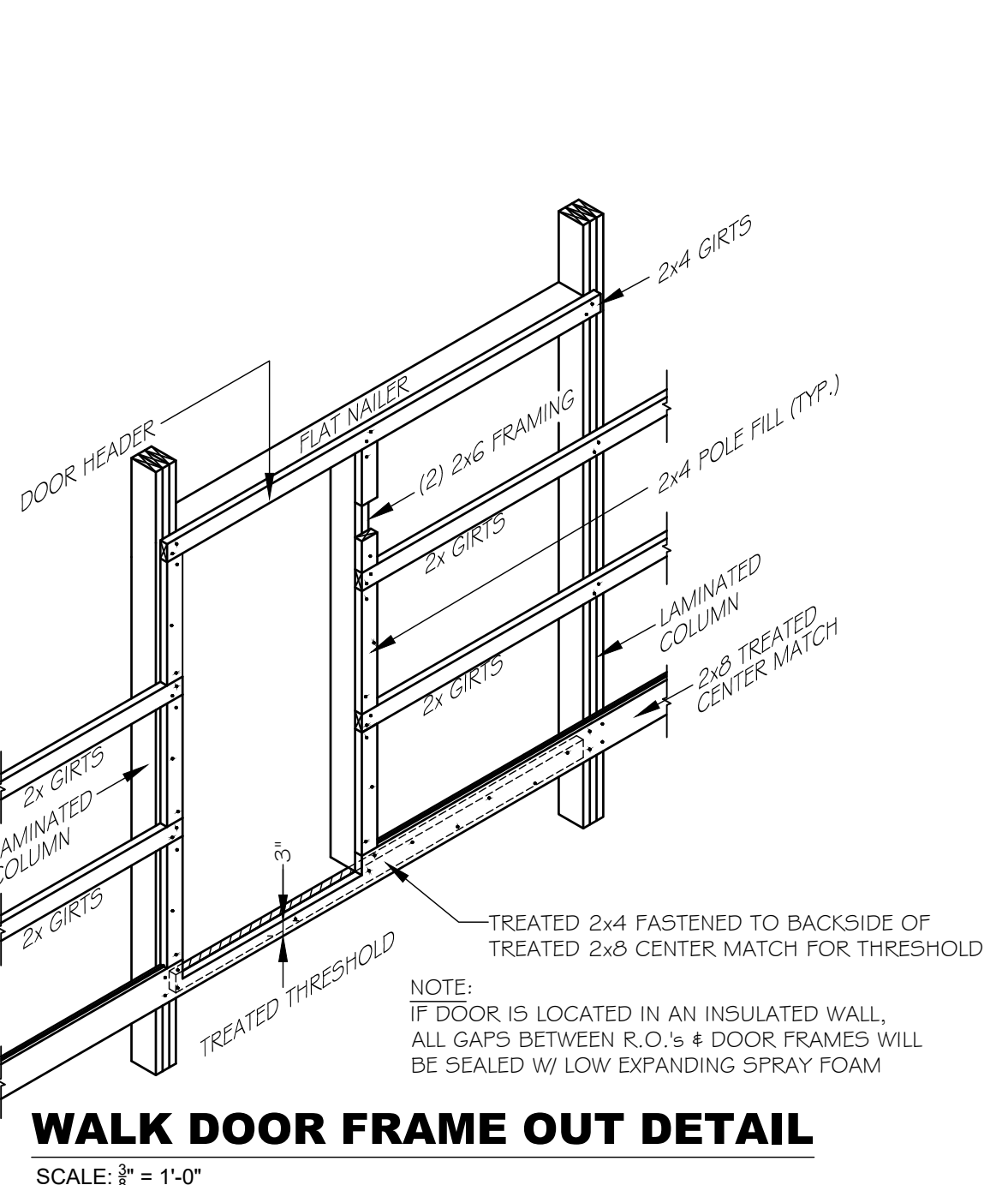
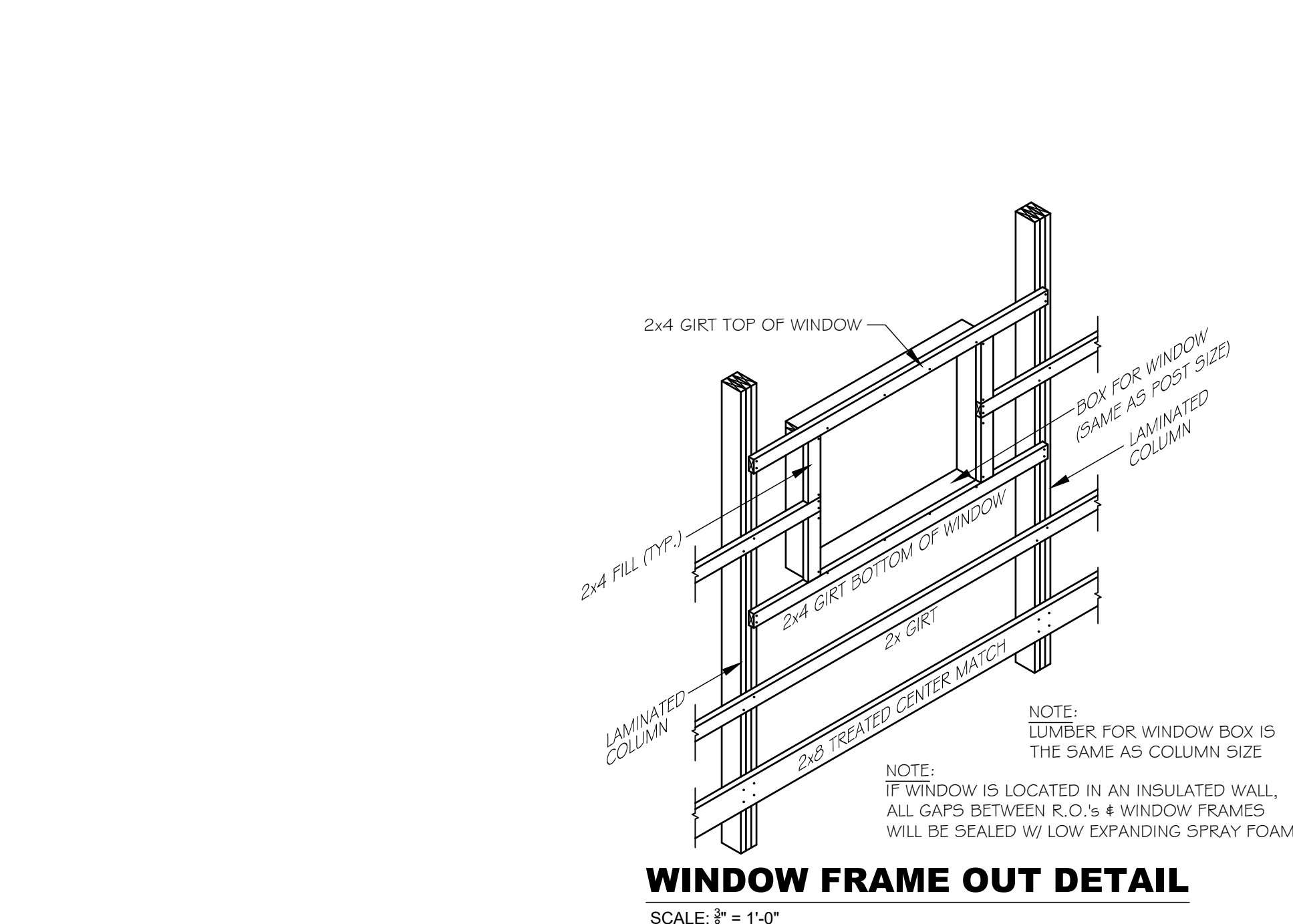
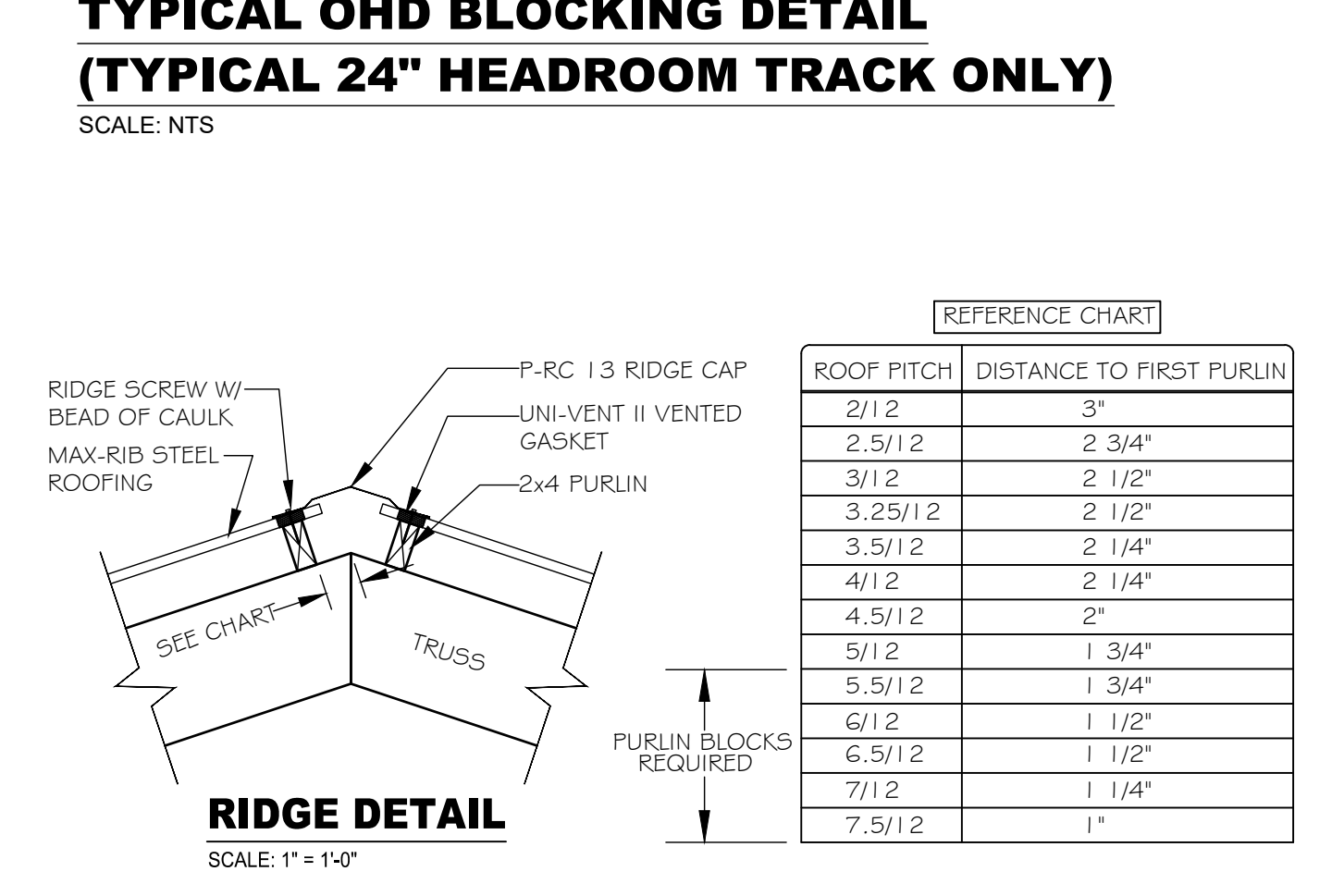
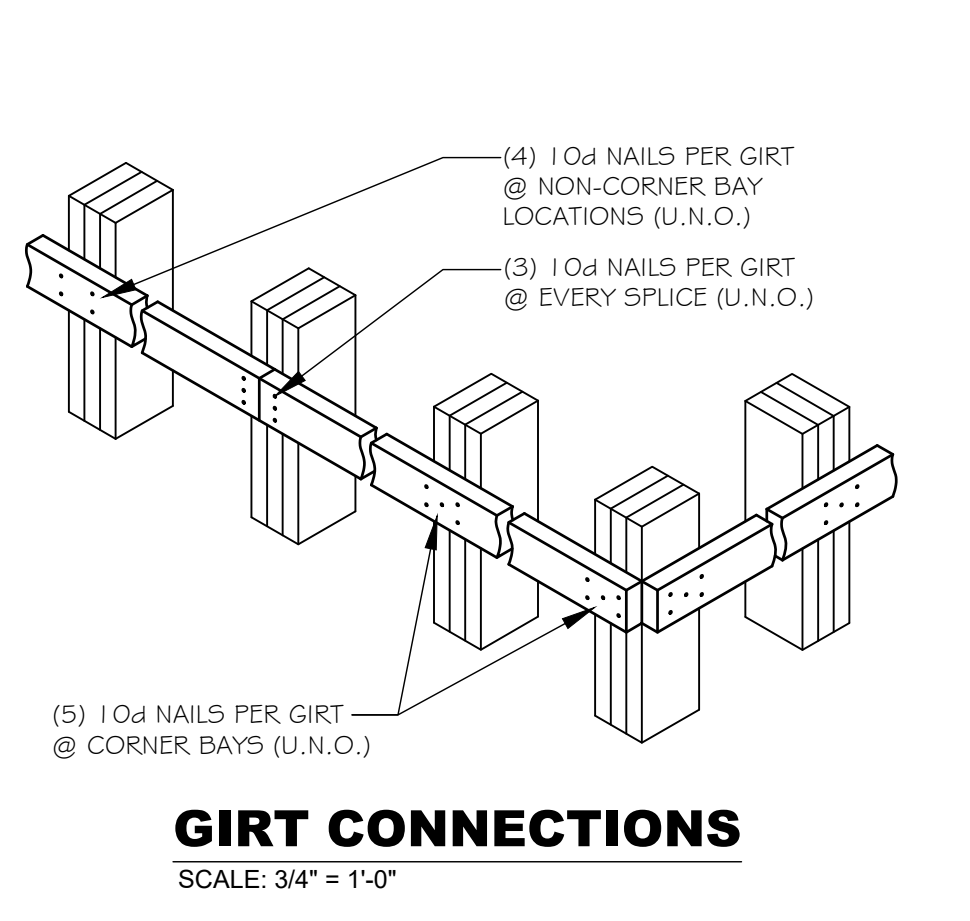
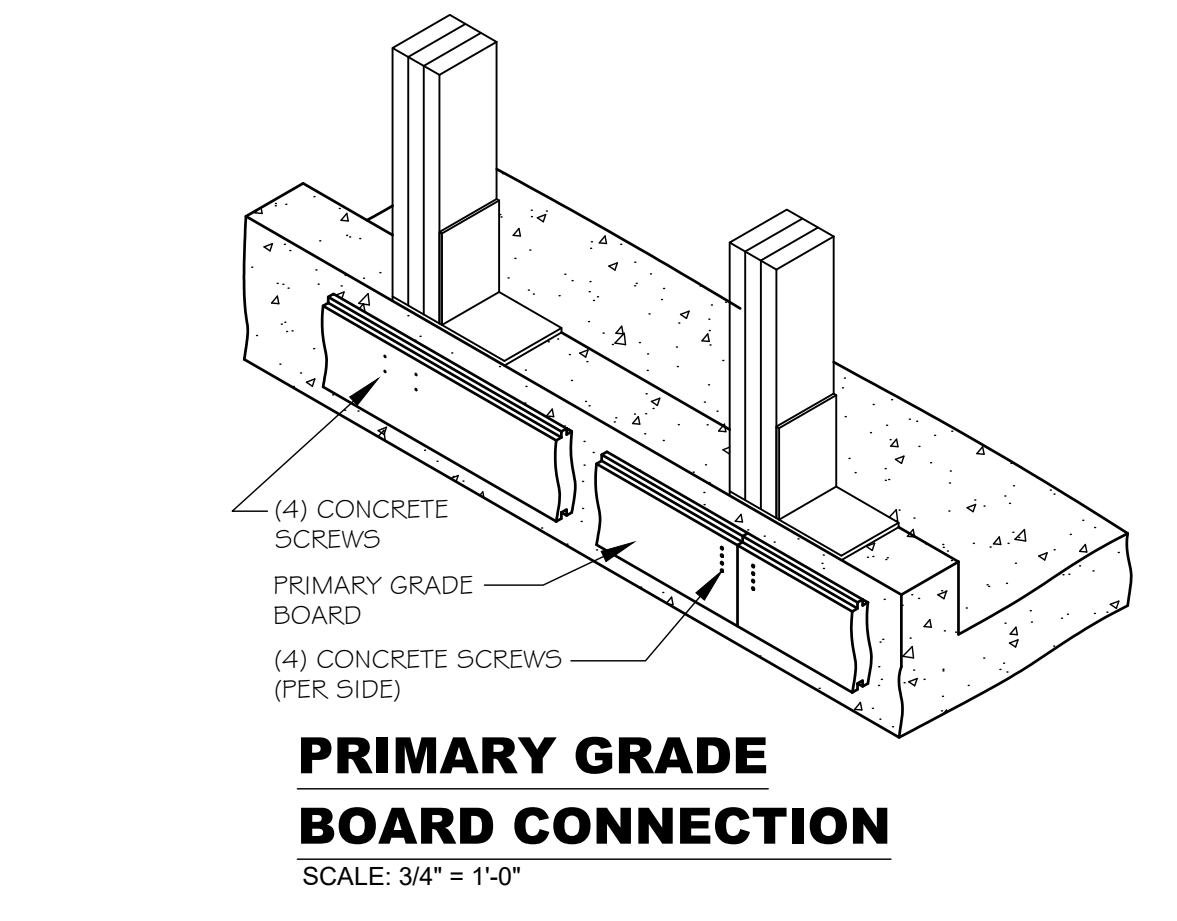
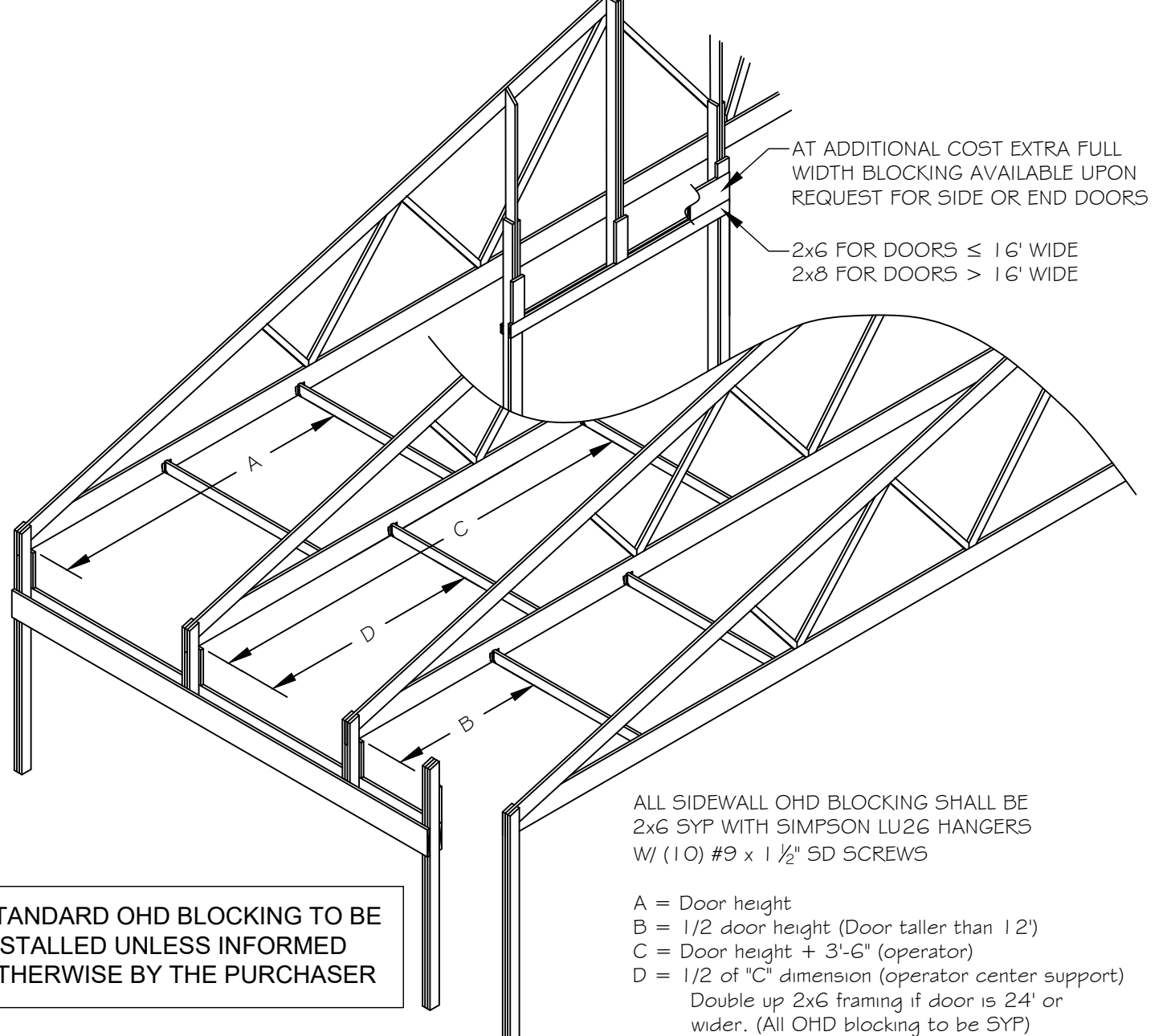
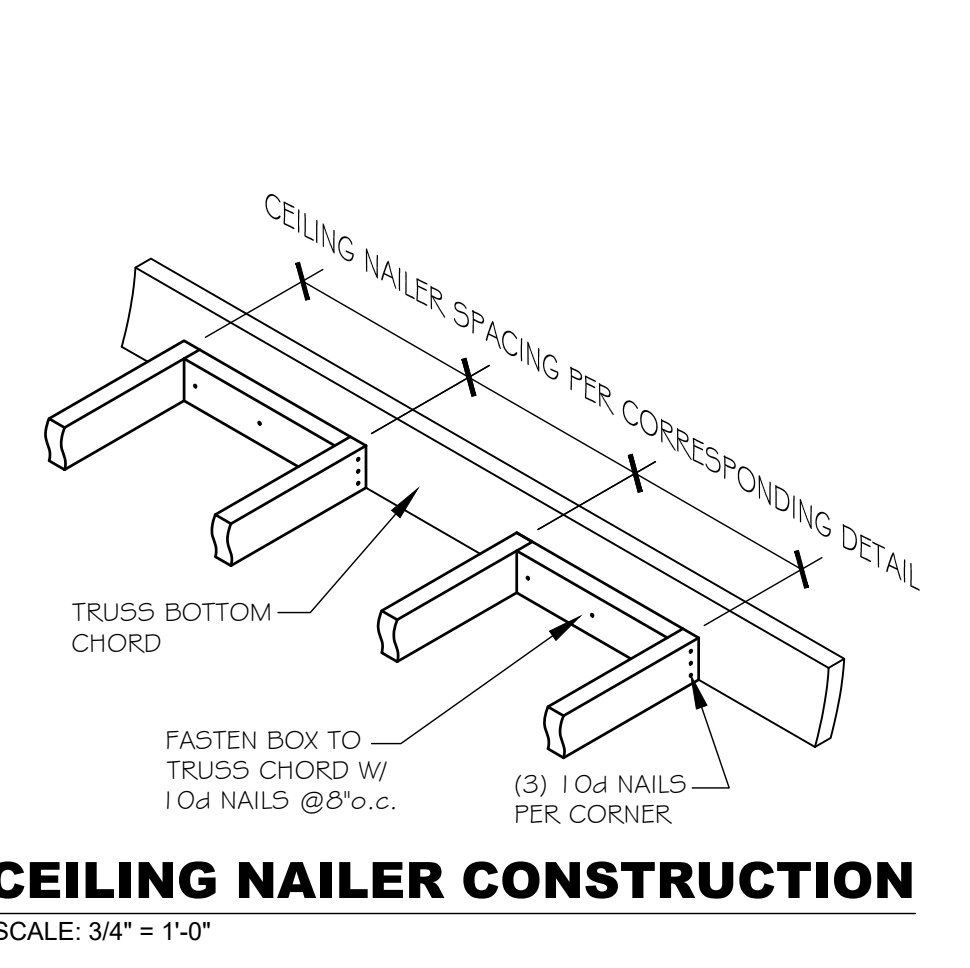
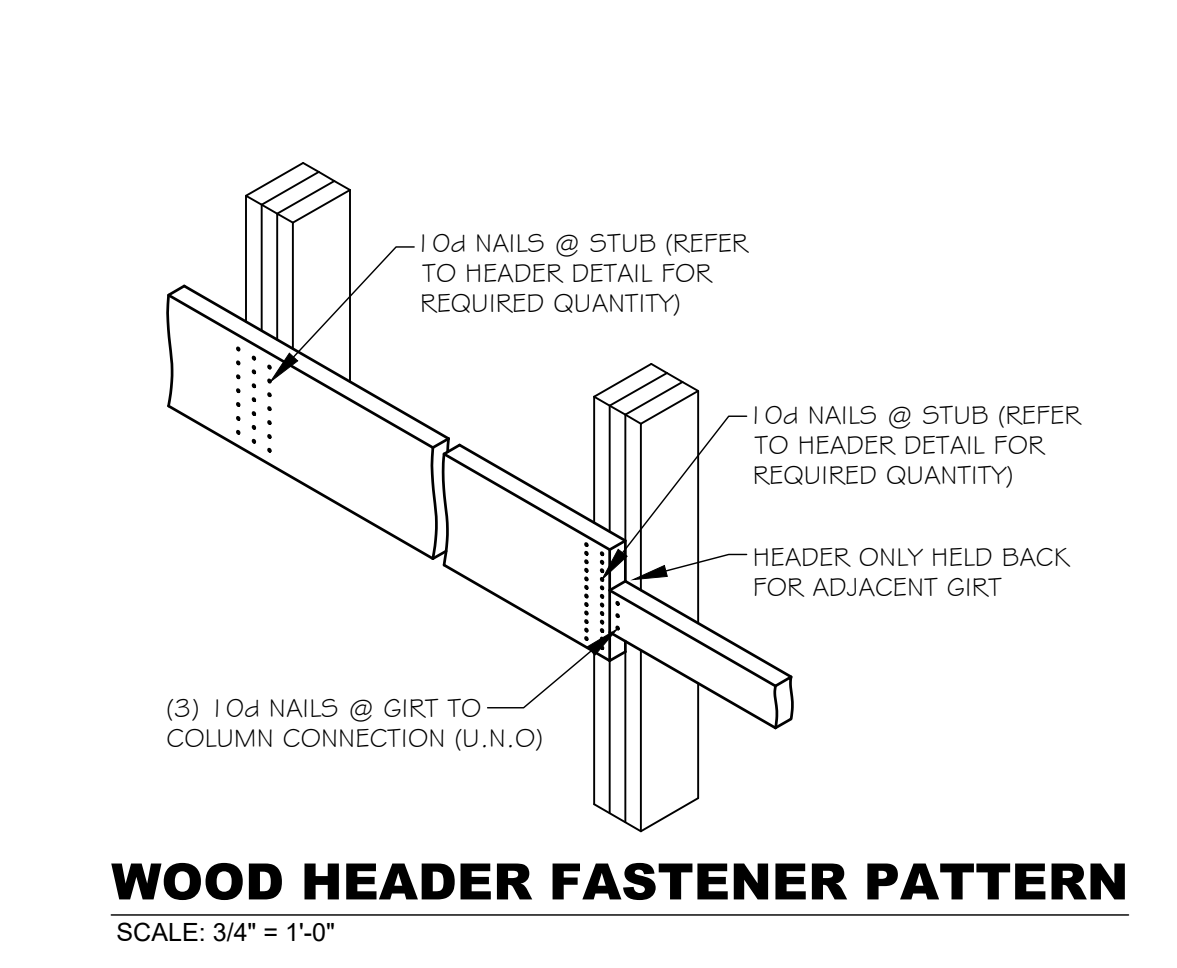
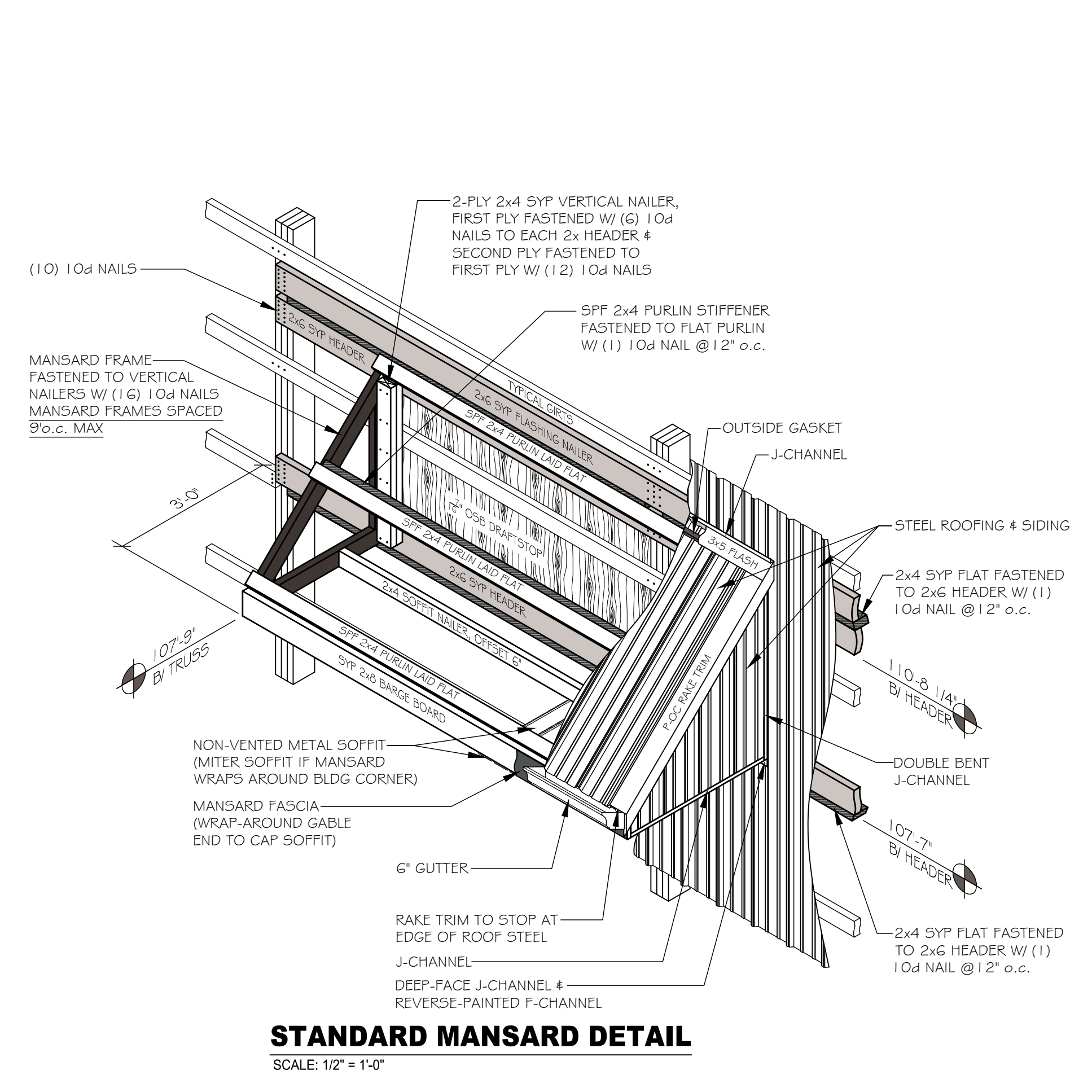
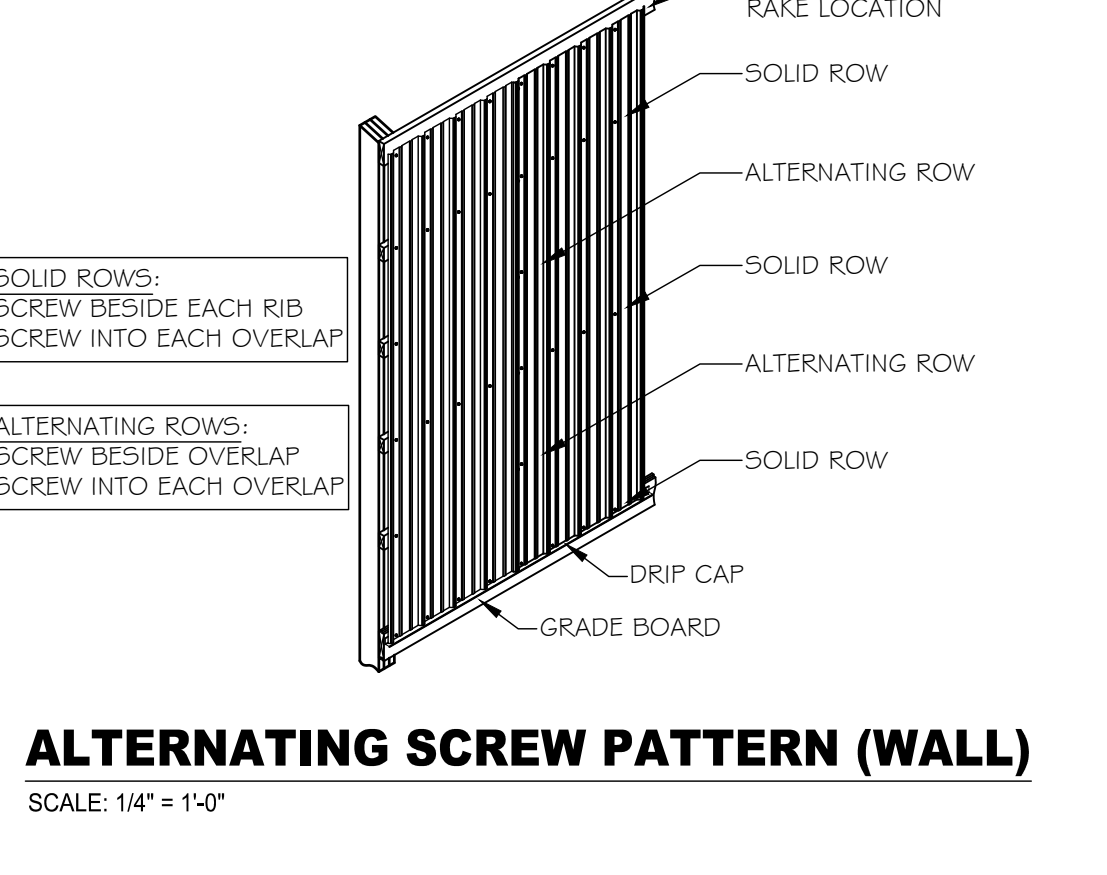
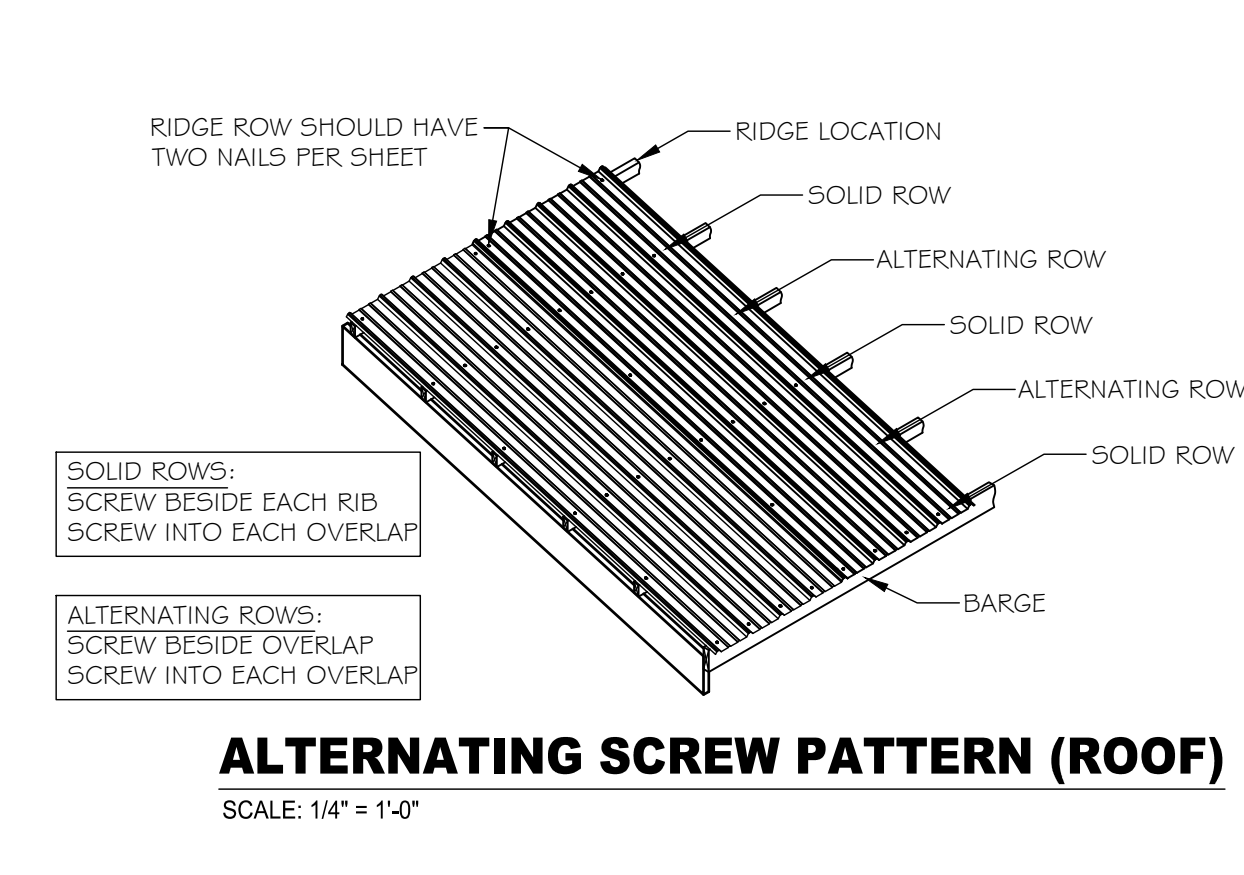
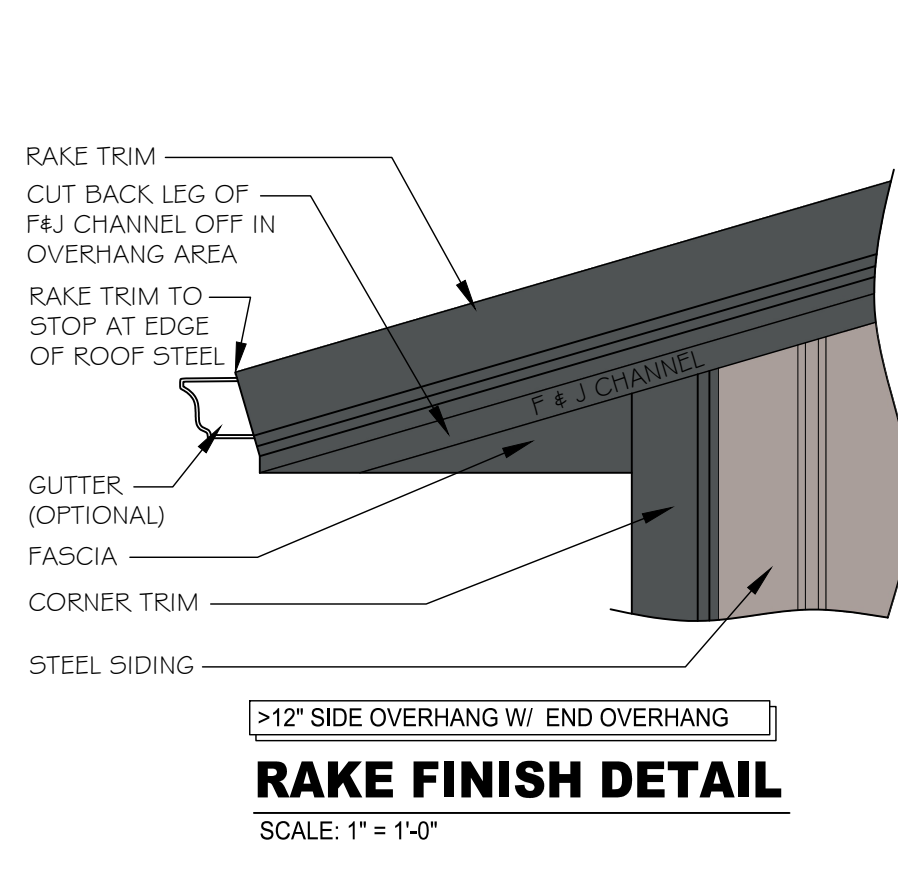
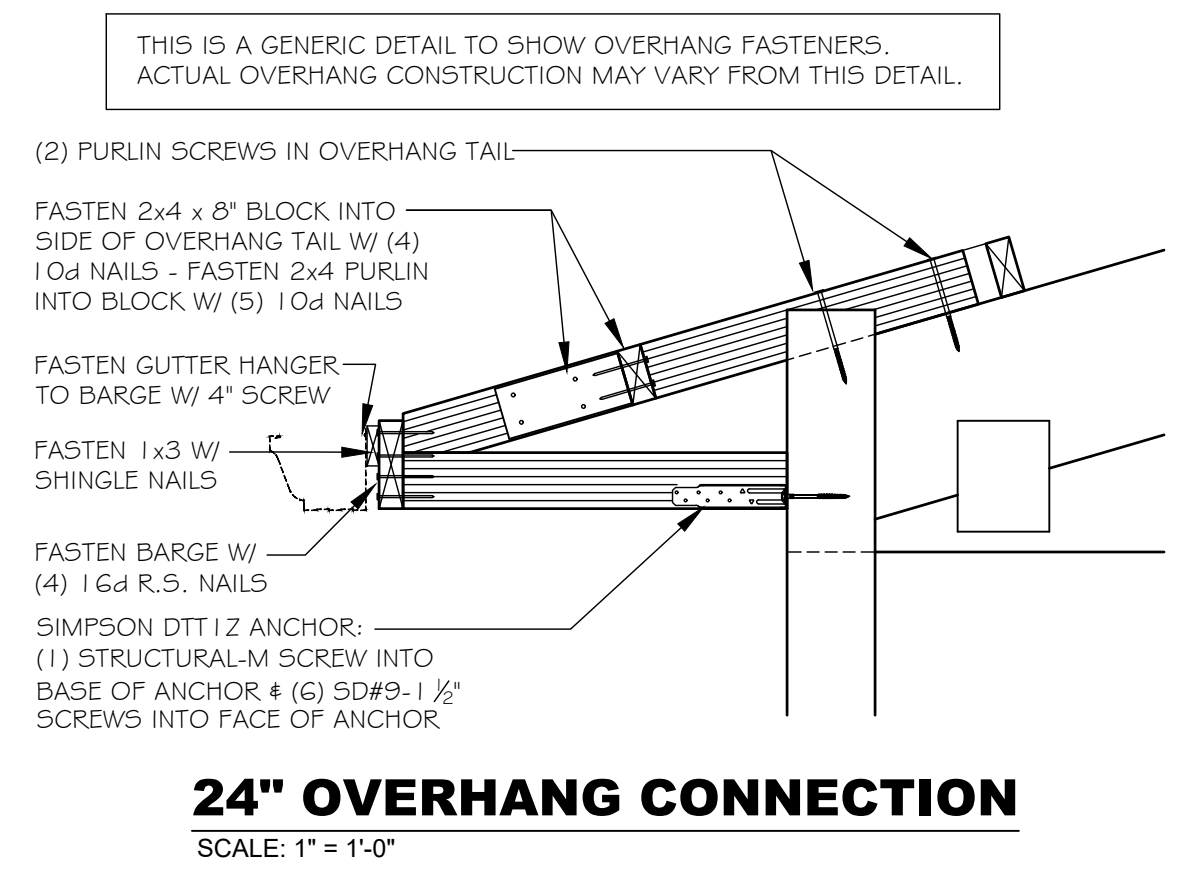
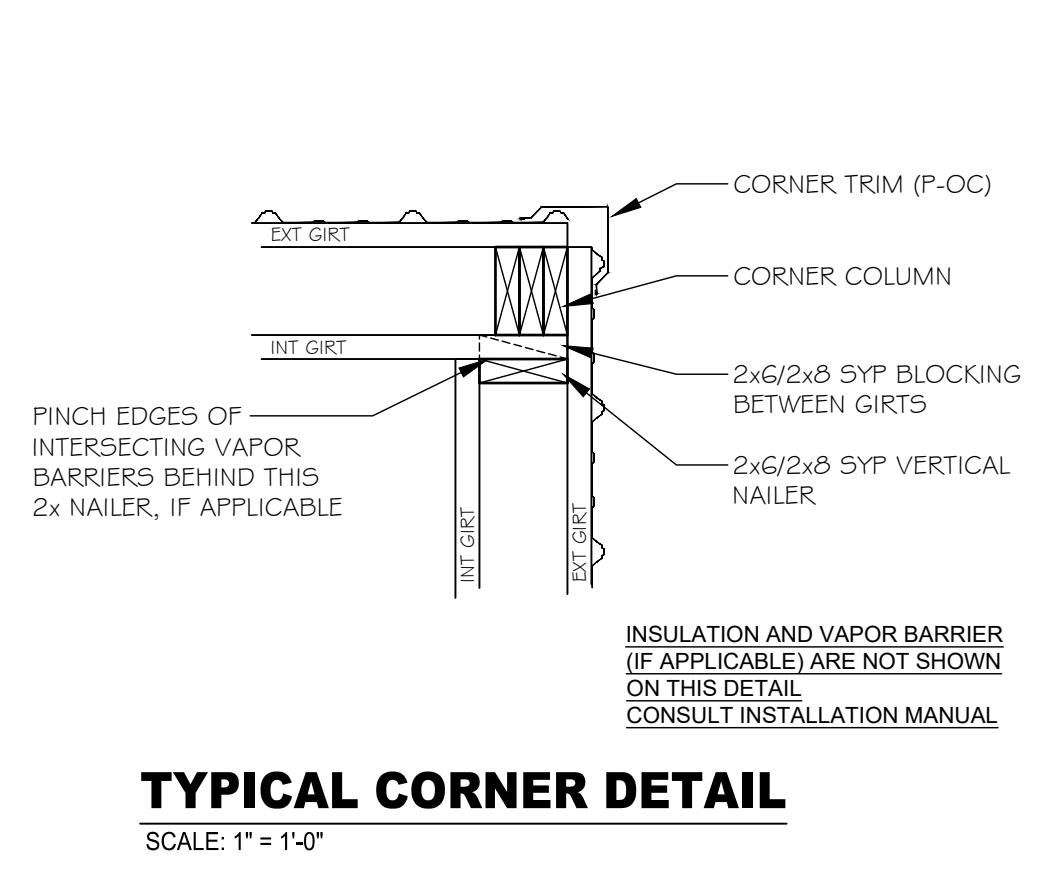
**Rochelle Car Wash**  
450 Coronado Dr.  
Rochelle, IL 61068

SHEET TITLE:  
BUILDING ELEVATIONS

**FBI Buildings**  
fbbuildings.com • (800) 552-2981

DRAWN (reviewed) BY: Jake P. (Bill B.)  
MTO BY: XX  
ENG. BY: Alan S.  
PSC: Seth S.  
SHEET: **400**  
FBI PROJECT #: 20-3154-00 17





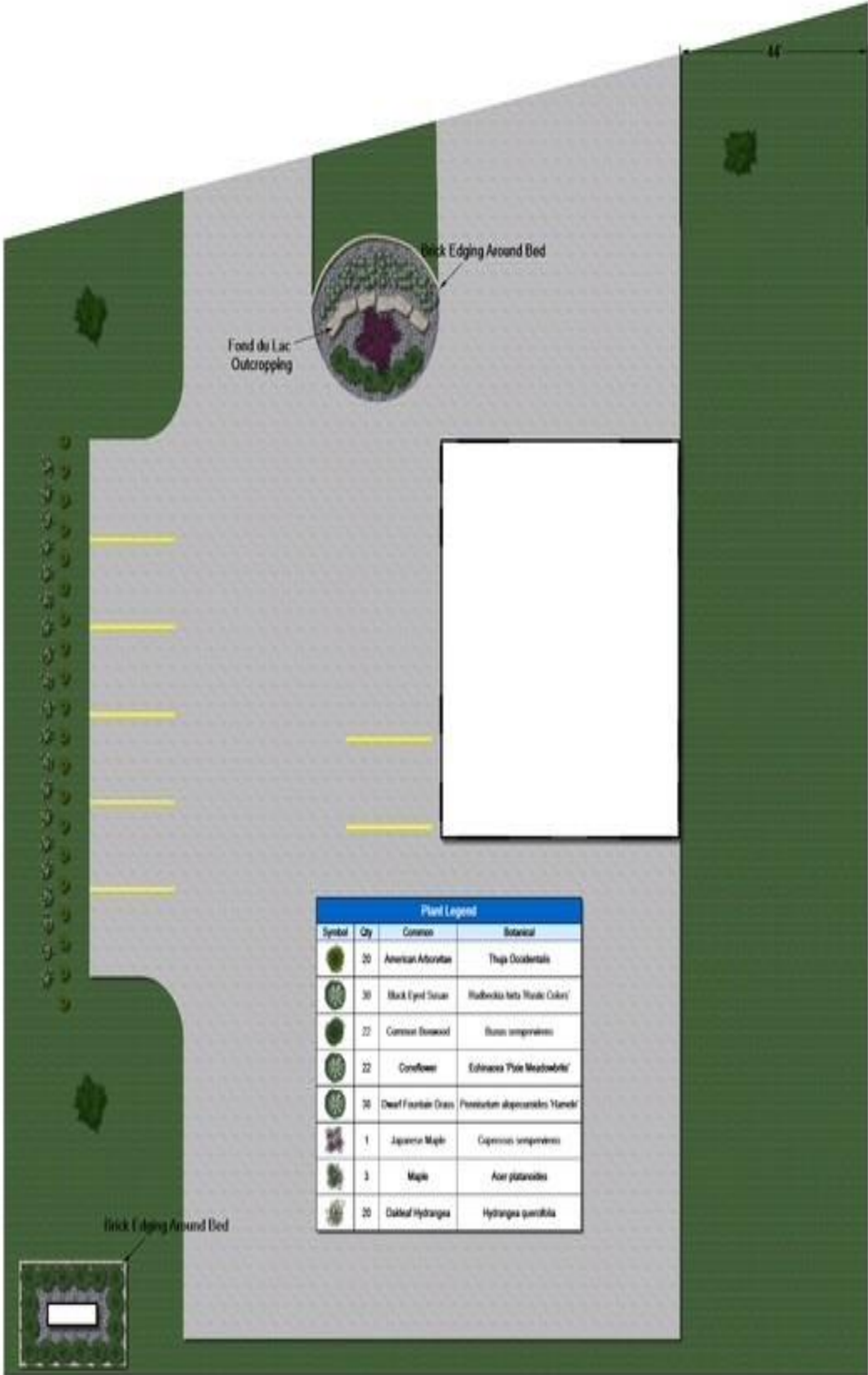
SEAL

**Rochelle Car Wash**  
450 Coronado Dr.  
Rochelle, IL 61068

SHEET TITLE: MISC DETAIL

**FBI Buildings**  
fbi-buildings.com • (800) 552-2981

DRAWN (reviewed) BY: Jake P. (Bill B.)  
MTO BY: XX  
ENG. BY: Alan S.  
PSC: Seth S.  
SHEET: **650**  
FBI PROJECT #: 20-3154-01



# Rochelle Car Wash (FINAL NAME TBD)

ADDRESS:  
450 Coronado Rd., Rochelle, IL

Section VI, Item 1.

06.10.2026

## A Double Sided Pole Sign/Pylon w pole cover

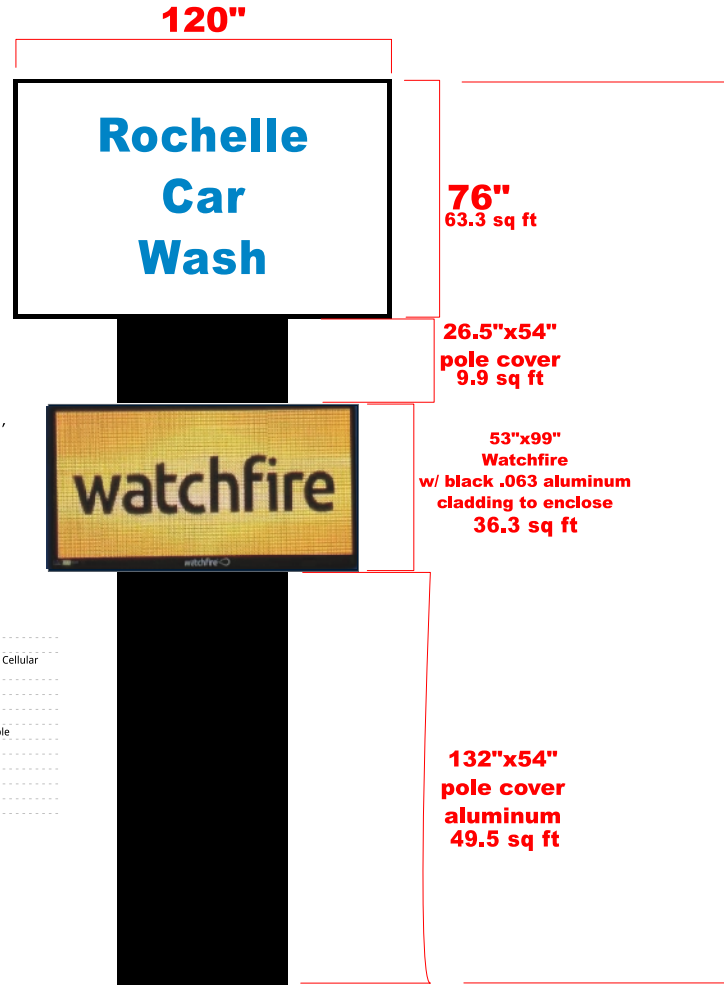
159 sq ft overall including pole covers

### PROPOSED

#### Double Sided Branded Cabinet / art TBD

DOUBLE FACE EXTRUDED DISPLAY **63.3 sq ft**

- Vertical Size: 76" Horizontal Size: 120"
- Extrusion Depth: 12"
  - Cabinet Color: Satin Black
  - Illumination: Yes
  - Illum. Type: WWSS Standard White Leds
  - Service: Slide
  - Electrical Out: Power Out location required with order
  - Voltage: 120 Volt
  - Photo Cell: No
  - Mounting: Center pole saddle to accept installers 5" steel pipe
  - Corners: Square
  - Shape: Rectangle
  - MET Lab Listing: Yes
  - Safety Switch: Yes
  - Faces: .177 flat white poly
  - Decoration: Digital print with laminate
  - Hang Bar: Yes
  - Upper Pole Cover: One - 26.5" x 54" x 10" aluminum construction, square corners, painted satin black, to fit 8" steel square tube
  - EMC Unit: None by others
  - Lower Pole Cover: One - 132" x 54" x 10" aluminum construction, square corners, painted satin black, to fit 8" steel square tube



#### Double Sided Watchfire EMC 36.3 sq ft

#### W10mm LED RGB

##### PRODUCT SPECIFICATIONS

- Pixel Pitch: W10mm LED RGB
- Pixel Matrix: 120H X 240W
- Ventilation Style: Front Ventilation
- Cabinet Size: 4ft Sin H x 8ft 3in L x 5in D
- Viewing Area: 4ft H x 8ft L
- Cabinet Style: Double Face (Slim)
- Character Size: 15 lines / 48.0 Characters at a 3" type
- Approx. Weight: 814.00 Lbs.
- Warranty: Standard 5 Year Watchfire warranty applies.
- Mfg. Lead Time: 3-5 weeks (Based on signed quote, receipt of deposit, and artwork approval - if applicable)
- Electrical Service: 120 VOLT 40.0 amps (20.00 per face) Single Phase Service. Refer to the Installation manual for details on wiring. Based on 18 hours of operation a day, plus or minus 10% depending on how the sign is programmed. Example: 24.9 KWHrs x \$0.12 = \$2.99/Day

##### STANDARD FEATURES

- Brightness: Daytime 7500 NITS Maximum; Nighttime 700 NITS Maximum
- Color: LED RGB
- Color Capability: Min. 1.2 Quintillion
- Includes: Ignite Graphics Software
- Video: Up to 30FPS
- Viewing Angles: 150 Horizontal/95 Vertical

##### OPTIONS

- Software: Ignite OPx (cloud-based)
- Software Training: Web Based Software Training
- Communications: OPx - 4G Wireless with Watchfire Cellular Data Plan
- Wireless Data Plan: Life-of-sign Data Plan
- Cabinet Separation: Standard Up To 15 Feet
- Power Requirements: US 120 Volts
- Temperature Sensor: w/100-Step Photocell w/15 ft Cable
- Painted Cabinet Back: Not Ordered
- Sign Mounting Kit: Not Ordered / Not Required
- Technician On-Site: Not Ordered
- Warranty: Standard 5-Year Parts
- Spare Parts Kit: Not Ordered

24' above grade  
overall height

120"  
TBD w/  
engineered  
drawings

5" round pole  
saddle mount  
76" length

8" square pole  
332" length

36"

final footing TBD by engineering

### REVISIONS:

001 Original

Date: 06.10.2026

### APPROVAL:

- Further revisions are required.
- I verify that this design is exactly how I would like it to be produced.

Customer: \_\_\_\_\_ Date: \_\_\_\_\_

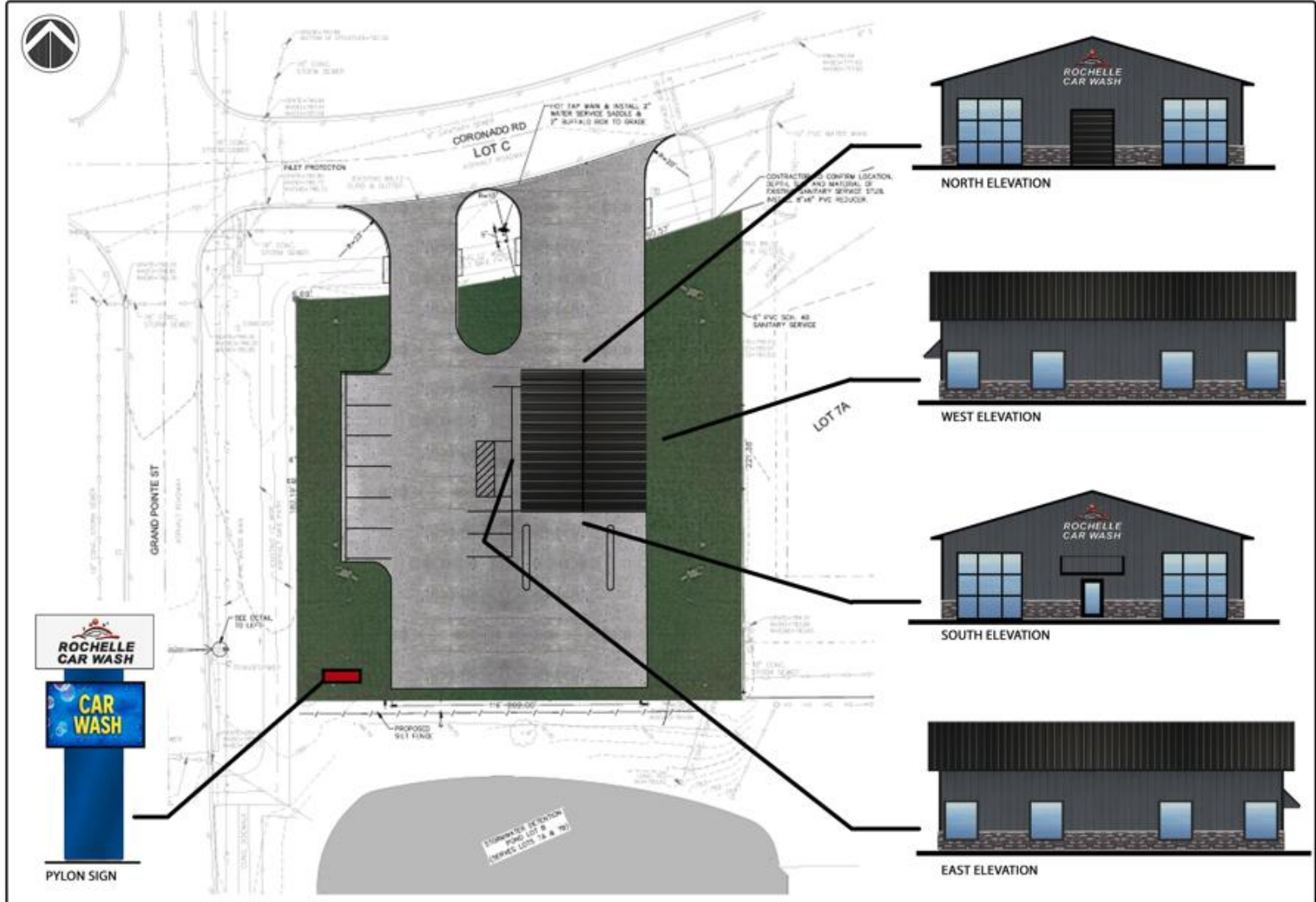
This is an original drawing submitted for your personal use in connection with a project being planned for you by Honegger Sign Co. It is not to be shown to or copied by others.

Note: The colors depicted are a graphic representation. Actual color may vary. See color specifications.



6107 Washington St  
Bartonville, IL 61607  
309-697-4160  
info@honeggersign.com





06.09.2026  
450 Coronado Dr. Rochelle, IL 61068  
Rochelle Car Wash



PLANNING & ZONING COMMISSION  
REPORT OF FINDINGS

**Date: July 6, 2026**

**Case No.: PZC-04-26**

**Applicant: Rochelle Community Hospital Association**

**Address: 900 N. 3rd Street, Rochelle, IL, Parcel # 24-24-179-007**

**Narrative:**

The petitioner is seeking rezoning of the property located at 900 N. 3rd Street to R-4 High Density Residential District; and a variance to permit the construction of an ancillary hospital support facility and associated parking improvements.

The subject property is located at 900 N. 3rd Street and was formerly a nursing home facility. The property was recently acquired by the Rochelle Community Hospital Association to accommodate future operational needs and support services associated with the hospital.

The petitioner proposes to construct a building that will serve as an ancillary use to the hospital campus. The proposed facility will provide:

- Administrative office space;
- Meeting and training rooms;
- Garage and maintenance facilities;
- Employee support functions; and
- An employee parking lot.

The proposed development is intended to support hospital operations while alleviating space constraints on the existing hospital campus.

The petitioner requests that the property be rezoned to R-4 High Density Residential District. The hospital campus located immediately across the street is currently zoned R-4. Rezoning the subject property to R-4 would create consistency between the two properties and allow the site to function as an integrated part of the hospital campus.

The petitioner has identified the following hardship:

- The existing hospital campus is substantially developed and constrained by surrounding development.
- The hospital is effectively landlocked and has limited opportunities for expansion on its current campus.
- The acquisition of the property at 900 N. 3rd Street provides one of the few available opportunities to accommodate necessary growth and support functions required for continued hospital operations.
- Relocating administrative offices, meeting space, maintenance operations, and employee parking to the subject property will allow the hospital to better utilize its existing campus for patient care and medical services.



PLANNING & ZONING COMMISSION
REPORT OF FINDINGS

Sec. 110-29. – Variances.

(a) Intent and purpose. A variance is a grant of relief to a property owner from the literal requirements of the zoning ordinance, where literal enforcement would cause undue hardship. Additionally, a variance is intended to provide relief where the requirements of the zoning ordinance render the land difficult to use because of some unique physical attribute of the property itself, or some other factor unique to the property for which the variance is requested.

A variance is not intended merely to remove an inconvenience or financial burden that the requirements of the zoning ordinance may impose on a property owner in general. A variance is not intended to allow the establishment of a use that is not otherwise allowed in a zoning district or that would change the zoning district classification of any or all of the affected property, and should not be granted where a special use permit or an amendment to the official zoning map would be more appropriate.

(f) Standards for granting a variance. The planning and zoning commission shall not recommend, and the city council shall not grant, a variance from the regulations of the zoning ordinance unless it makes findings based on evidence presented to it in each specific case that:

- (1) The variance is in harmony with the general purpose and intent of the zoning ordinance;
(2) The plight of the owner is due to unique circumstances (65 ILCS 5/11-13-4) and thus strict enforcement of the zoning ordinance would result in practical difficulties, or impose exceptional hardships, due to the special and unusual conditions that are not generally found on other properties in the same zoning district;
(3) The property cannot yield a reasonable return if permitted only under the conditions allowed by the zoning ordinance; and
(4) The variance, if granted, will not alter the essential character of the locality, and will not be a substantial detriment to adjacent property.

(g) Burden of proof. In each case of a requested variance, the applicant must satisfy the proof that the proposed variance meets the standards of subsection (f) of this section, even if there is no testimony or other evidence opposing or rebutting the requested variance.

After a duly noticed public hearing, the City of Rochelle Planning & Zoning Commission will consider all the relevant evidence presented at said hearing on July 6, 2026.

Staff recommends:

Staff is presenting a variance request for the construction and operation of an ancillary hospital support facility, including office space, meeting rooms, garage and maintenance areas, and employee parking, subject to City staff review and rezoning the property located at 900 N 3rd Street to R-4 High Density Residential.

Findings: (Variance)

1. Is the proposed variance in harmony with the general purpose and intent of the zoning ordinance?

Yes: \_\_\_\_\_

No: \_\_\_\_\_



PLANNING & ZONING COMMISSION
REPORT OF FINDINGS

- Explanation:
2. The plight of the owner is due to unique circumstances and thus strict enforcement of the zoning ordinance would result in practical difficulties, or impose exceptional hardships, due to the special and unusual conditions that are not generally found on other properties in the same zoning district?
Yes: No:
Explanation:
3. The property cannot yield a reasonable return if permitted only under the conditions allowed by the zoning ordinance?
Yes: No:
Explanation:
4. Is the proposed variance detrimental or dangerous to public health?
Yes: No:
Explanation:
5. Will the proposed variance impair property value in the neighborhood?
Yes: No:
Explanation:
6. Will the proposed variance impede the normal development of the surrounding properties?
Yes: No:
Explanation:
7. Will the proposed variance:
(a) impair light and air to adjacent property;
(b) congest public streets;
(c) increase the risk of fire;
(d) substantially diminish property values within the vicinity; or
(e) endanger the public health?
Yes: No:
Explanation:

Recommendation:

Based on the findings above, the Planning and Zoning Commission hereby recommends to the Rochelle City Council that:

That the Petitioner be granted a variance for the Subject Property, without conditions other than the other applicable requirements of the Rochelle Municipal Code.

That the Petitioner be granted a variance for the Subject Property, with the following conditions attached thereto, in addition to the requirements of the Rochelle Municipal Code:

That the Petitioner be denied a variance for the Subject Property. If Findings 1-3 are all affirmative, and Findings 4-7 are all negative, the Planning and Zoning Commission explains as follows:



PLANNING & ZONING COMMISSION
REPORT OF FINDINGS

Two horizontal lines for additional information or notes.

Findings: (Rezone)

- 1. Is the proposed zoning consistent with surrounding properties?
2. Is the proposed zoning detrimental or dangerous to public health?
3. Will the proposed zoning impair property value in the neighborhood?
4. Will the proposed zoning impede the normal development of the surrounding properties?
5. Will the proposed zoning: (f) impair light and air to adjacent property; (g) congest public streets; (h) increase the risk of fire; (i) substantially diminish property values within the vicinity; or (j) endanger the public health?

Recommendation:

Based on the findings above, the Planning and Zoning Commission hereby recommends to the Rochelle City Council that:

That the Petitioner be granted zoning for the proposed use at the Subject Property, without conditions other than the other applicable requirements of the Rochelle Municipal Code.

That the Petitioner be granted zoning for the proposed use at the Subject Property, with the following conditions attached thereto, in addition to the requirements of the Rochelle Municipal Code:

That the Petitioner be denied zoning for the proposed use at the Subject Property. If this is based on any reason other than a "Yes" response above, the Planning and Zoning Commission explains as follows:



**PLANNING & ZONING COMMISSION  
REPORT OF FINDINGS**

---

---

---

---







PLANNING & ZONING COMMISSION  
REPORT OF FINDINGS

**Date: July 6, 2026**  
**Case No.: PZC-05-26**  
**Applicant: City of Rochelle**  
**Address: 420 N. 6<sup>th</sup> Street, Rochelle, IL 61068**

**Narrative:**

The City of Rochelle is proposing a text amendment to Chapter 110 (Zoning), Article V (Districts), Division 2 (Residential Districts), Section 110-545 (Residential, Security and Farm Fences) to allow the installation of safety netting barriers on residential properties that directly abut the golf course.

The proposed amendment recognizes that golf safety netting systems are unique structures designed for a specific protective purpose and differ substantially from conventional residential fencing. The amendment establishes a regulatory framework that allows such installations while maintaining appropriate design, safety and maintenance standards. The text amendment would:

- \* Allow safety netting barriers only on residential properties directly contiguous to a golf course.
- \* Limit installation to the rear property line shared with the golf course.
- \* Require a permit from the City Building Official prior to installation or modification.
- \* Establish a maximum allowable height of twenty (20) feet.
- \* Require durable, weather-resistant materials and non-reflective, dark-colored netting designed to minimize visual impacts.
- \* Require installation in accordance with manufacturer specifications.
- \* Require ongoing maintenance by the property owner.
- \* Provide enforcement authority should the structure become damaged, hazardous, unsightly, or fail to serve its intended purpose.

**Staff recommends:**

Staff is presenting the proposed text amendment.

**Findings:**

1. Is the proposed amendment consistent with the comprehensive plan?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_

2. Will the proposed amendment adversely affect public health, safety or general welfare?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_

3. Is the proposed amendment necessary because of changed or changing social values, new planning concepts, or other social, technological, or economic conditions in the areas affected?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

Explanation: \_\_\_\_\_