

PLANNING BOARD MEETING

Thursday, April 14, 2022 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

AGENDA

In accordance with Governor Baker's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20, relating to the 2020 COVID 19 emergency, the Planning Board shall meet remotely to avoid group congregation.

A. Call to Order - Roll Call

B. Chairperson Comments

C. Approval of Minutes

D. Public Speaks

E. Old/Unfinished Business

F. New Business

1. Discussion - potential frontage for Liberty Street lot
2. 28 South Main Street - modification to canopy (previously approved 10/12/21)

G. Staff Report

H. Board Comments

I. Adjournment

Notification of Upcoming Meeting Dates

1. Upcoming Meeting Dates

April 26
May 10 & 24
June 14 and 28



PROPERTY OWNERS

HENRY & PATRICIA LEE
120 LIBERTY ST.
RANDOLPH, MA.
BK 35812 PG. 133

ASSESSOR'S MAP 37-BLOCK A
PARCELS 24, 25, 26

JANE LAWSON
172 LIBERTY ST.
RANDOLPH, MA.
BK. 35863 PG. 270
ASSESSOR'S 37-A-5

N/P
GREENBERG
#194

N/P
WILBUR
#142

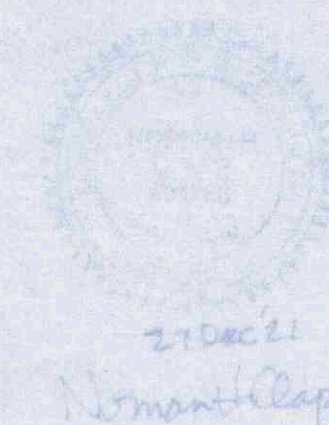
N/P
KANE
#178

N/P
CANTWELL
#184

N/P
NELEFORT
#162

(VACANT)
HENRY &
PATRICIA
LEE

LAWSON
#172



SKETCH PLAN		
PROP. 20 FT. STREET EXTENSION		
SCALE: 1"=40'	APPROVED BY:	DRAWN BY: <i>NHClapp</i>
DATE: 27DEC. 2021		REVISED:
NORMAN H. CLAPP, P.L.S. 75 N. MAIN ST. #101 RANDOLPH, MA.		
781-963-4947		DRAWING NUMBER 21-4



Existing Conditions



Proposed Perspective

28-30 South Main Canopy Improvement

Permit Set: 03/16/2022

22-32 South Main Street
Randolph, MA 02368

PROJECT SCOPE:

Construct a canopy and fence structure in front of a portion of an existing single-storey retail plaza, specifically at the front entrance of the existing Step Ahead child care business. The purpose of this project is to protect foot traffic from the existing accumulation of ice and snow from the entry to the child-care center.

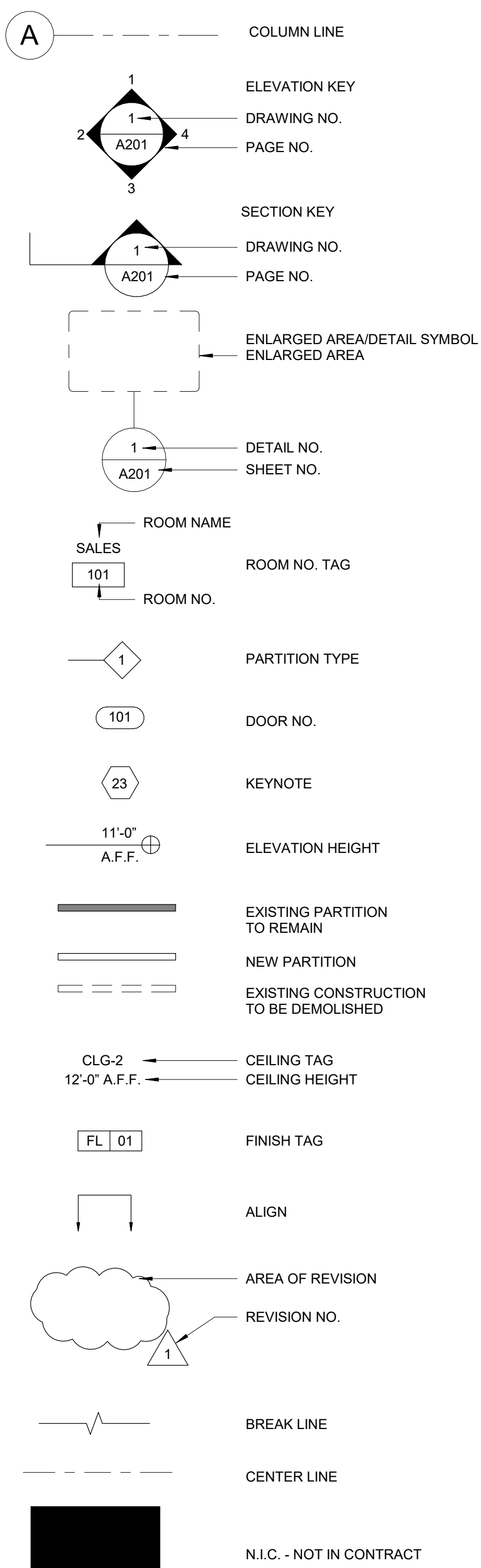
No interior work proposed and no change to parking.

The existing "Step Ahead" sign will be replaced by a roof sign. The sign shown in these drawings is for placement purposes; actual signage will be filed for as a separate signage permit.

ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE	JAN	JANITOR
ADJ	ADJUSTABLE	K.P.	KICK PLATE
A.F.F.	ABOVE FINISHED FLOOR	LAM	LAMINATE
AL	ALUMINUM	LAV	LAVATORY
APPROX	APPROXIMATE	LBS	POUNDS
ARCH	ARCHITECTURAL	LCP	LEASE CONFIRMATION PLAN
BD	BOARD	LH	LEFT HAND
BLDG	BUILDING	LL	LANDLORD
BLKG	BLOCKING	LT	LIGHT TRACK
BM	BEAM		
B.O.	BOTTOM OF		
CLG	CEILING	MAHOG	MAHOGANY
CLR	CLEAR	MAX	MAXIMUM
C.M.U.	CONCRETE MASONRY UNIT	MECH	MECHANICAL
C.O.	CASED OPENING	MIN	MINIMUM
COL	COLUMN	MISC	MISCELLANEOUS
CONC	CONCRETE	M.O.	MASONRY OPENING
CONSTR	CONSTRUCTION	MTD	MOUNTED
CONT	CONTINUOUS	MTL	METAL
CPM	CONSTRUCTION PROJECT	MAT/MTL	MATERIAL
MANAGER			
CPT	CARPET	NAT	NATURAL FINISH
CTR	COUNTER	N.I.C.	NOT IN CONTRACT
C.T.	CERAMIC TILE	NO	NUMBER
		NOM	NOMINAL
		N.T.S.	NOT TO SCALE
DET	DETAIL	PLUMB	PLUMBING
DIA	DIAMETER	PLAM/PLM	PLASTIC LAMINATE
DM	DIMENSION	PL	PLATE
DISP	DISPENSER	PR	PAIR
DN	DOWN	PT	PAINT/PAINTED
D.O.	DOOR OPENING	PTN	PARTITION
DR	DOOR	PLYWD	PLYWOOD
DWG	DRAWING		
EA	EACH	Q.T.	QUARRY TILE
EXP.JT.	EXPANSION JOINT		
EQ	EQUAL	RAD	RADIUS
EQUIP	EQUIPMENT	REC	RECESSED
E.W.C.	ELECTRIC WATER COOLER	REQ	REQUIRED
EXH	EXHAUST	RH	RIGHT HAND
EXSTG	EXISTING	RM	ROOM
EXT	EXTERIOR	R.O.	ROUGH OPENING
		RWD	REDWOOD
		R.W.L.	RAIN WATER LEADER
F.A.	FIRE ALARM	S.C.	SOLID CORE
F.E	FIRE EXTINGUISHER	S.F.	SQUARE FOOT/FEET
F.E.C.	FIRE EXTINGUISHER CABINET	SHT	SHEET
FIN	FINISH	SIM	SIMILAR
FIXT	FIXTURE	SPEC	SPECIFICATION
FL	FLUORESCENT	SQ	SQUARE
F.O.C.	FACE OF CONCRETE	S.S.	STAINLESS STEEL
F.O.S.	FACE OF STUDS	STD	STANDARD
FRT	FIRE RETARDANT	STL	STEEL
TREATMENT			
FT	FOOT/FEET		
FURR	FURRING	T&G	TONGUE AND GROOVE
F.C.	FIXTURE CONTRACTOR	THR	THRESHOLD
		T.O.	TOP OF
		TYP	TYPICAL
GC	GENERAL CONTRACTOR	U.O.N.	UNLESS OTHERWISE NOTED
GL	GLASS	VCT	VINYL COMPOSITE TILE
GWB	GYPSUM WALL BOARD	VERT	VERTICAL
GYP	GYPSUM		
H.C.	HOLLOW CORE	W/	WITH
HDWD	HARDWOOD	W.C.	WATER CLOSET
H.M.	HOLLOW METAL	WD	WOOD
HVAC	HEATING VENTILATING & AIR	W/O	WITHOUT
	CONDITIONING		
H.W.H.	HOT WATER HEATER		
H.W.	HOT WATER		
HOR	HORIZONTAL		
I.D.	INSIDE DIAMETER		
IN	INCH		
INSUL	INSULATION		
INT	INTERIOR		
INCL	INCLUDES		

GENERAL LEGEND



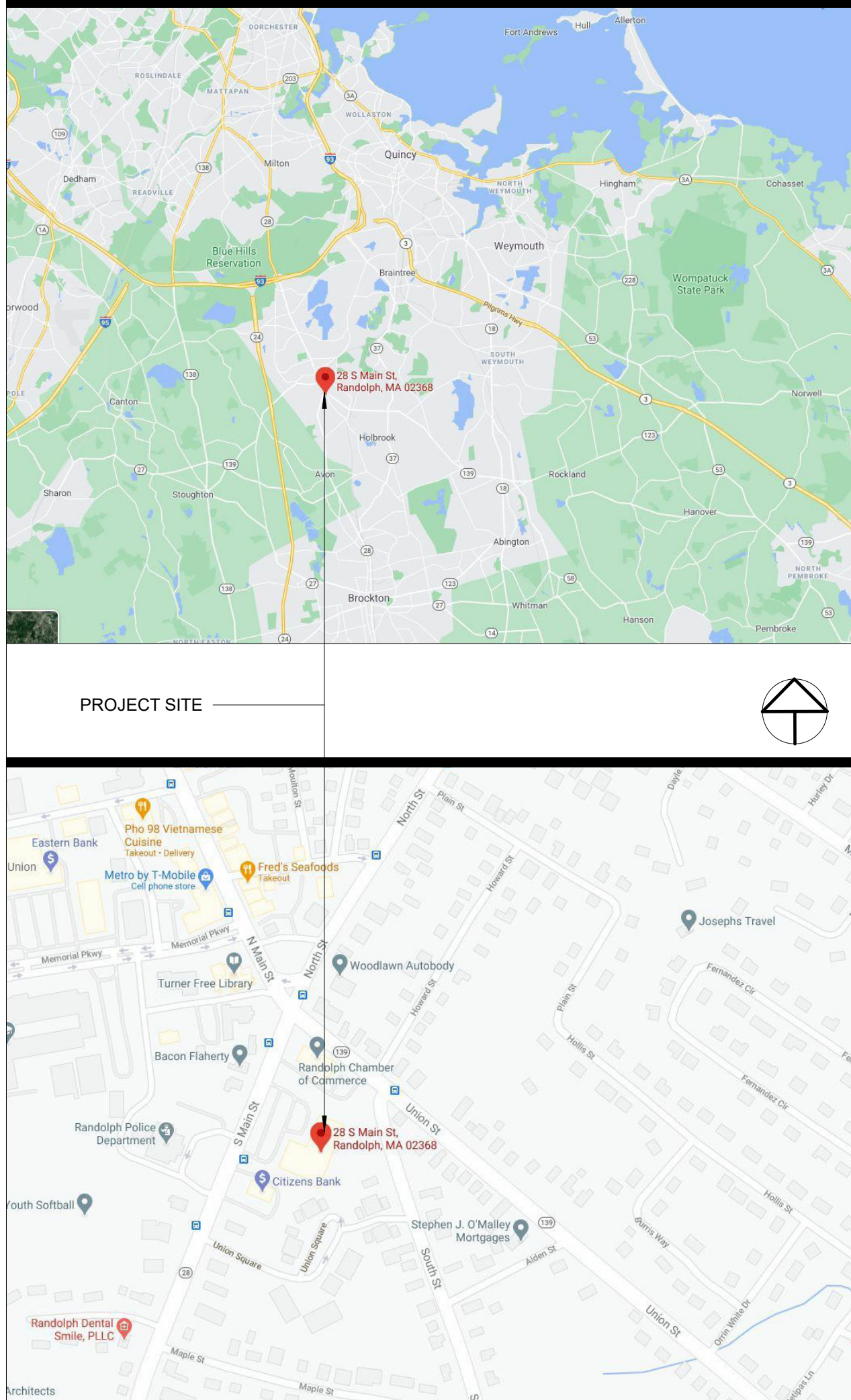
PROJECT DIRECTORY

Property Owner
Hajjar Management Co., Inc.
30 Adams Street
Milton, MA 02186
Contact: **Paul Mahoney**
Email: paulm@hajjarmanagement.com
Mobile: (617) 201-4476

Architect
Derek Rubinoff, Architect
82 Spring St.
West Roxbury, MA 02132-4316
Contact: **Dror Amitay**, Associate
Senior Project Manager
Email: damitay@derek Rubinoff.com
Mobile: (617) 283-0802

Structural Engineering
TLH Consulting, Inc.
505 Middlesex Turnpike, Unit 14
Billerica, MA 01821
contact: **Roche Casseus**
Email: roche@tlhstructuralconsulting.com
Direct: (978) 631-1272

PROJECT LOCALE



DRAWING LIST

Sheet Number	Sheet Name	Current Revision	Current Revision Date
00 - General			
G-0.0	Cover		
G-0.1	General Notes, Zoning & Code Summary		
02 - Structural			
S-0	General Notes		
S-1	Foundation Plans and Details		
S-2	Roof Plan and Details		
03 - Architectural			
A-1.0	Demolition Plans		
A-2.0	Proposed Plans		
A-3.0	Demo & Proposed Exterior Elevations		
A-4.0	Details & Schedules		
A-5.0	Exterior Perspectives		

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--	TW	03/16/2022	Permit Set
--	TW	01/11/2022	Option 3 progress set
--	DA	12/08/2021	Option 2 progress set
--	--	10/08/2021	Special Permit Set
No	By	Date	Description

28-30 South Main Canopy Improvement



[Signature]

22-32 South Main St.
Randolph, MA 02368

Cover

Checked By: DA
Job No: 2069

G-0.0

GENERAL NOTES	
1.	The "General Contractor" (G.C.) shall adhere to all design and construction criteria included in these construction documents unless specifically modified by any Addendum or Modifications issued prior to execution of a Contract for Construction. In addition, the G.C. shall read, understand and observe the Landlord's Construction Procedures and General Rules.
2.	The G.C. is responsible for all work indicated or inferred on these construction documents unless specifically noted "by others" and/or "N.I.C." Also, in addition to their subcontractors, the G.C. is responsible for coordinating and scheduling the work noted "by others" and/or "N.I.C."
3.	For the purpose of bidding, proprietary names identifying items of work are used solely to describe the standard of the project or the color of the finish, unless the items of work are explicitly noted as not having an equal. A schedule of items to be submitted for approval should be attached to the bid breakdown sheet with a final cut sheet proposal to be submitted to the Architect for final approval, after the project is awarded.
4.	The G.C. shall verify dimensions of the existing space and of any existing construction to remain by actual measurement before any work is performed. Notify Architect of any hidden conditions that will not allow execution of design intent as shown in CDs. No fast tracking during demolition period. The G.C. shall be responsible for correcting any and all discrepancies found after the work is performed, at no additional expense to the Landlord. All dimensions are to the face of finish GWB unless otherwise noted. All elevations are noted from finish floor elevations.
5.	The G.C. should verify all finished dimensions on the shop drawings. Field conditions altering any dimensions should be immediately brought to the attention of the Architect and subcontractor or vendor.
6.	The G.C. must immediately notify the Landlord of any discrepancies in the construction documents and shall not proceed or allow sub-contractors to proceed with work in those areas until said discrepancies are resolved.
7.	When changes are required, due to any reason, notify the Architect immediately and prior to performing any of the work in this area. Changes that alter the contract amount or that will create any additional cost to the Landlord must have the written authorization of the owner and the Architect prior to the commencement of such work.
8.	The G.C. is to submit to the Landlord a master construction schedule within one (1) week after the project is awarded. The G.C. shall also submit a list of subcontractors for the project, including name, address, telephone number and contact person.
9.	The G.C. shall provide the following shop drawings, specifications, cut sheets and/or samples to the Architect, and Landlord for approval, no later than one week from "Notice to Proceed" (NTP): A. Lease Confirmation Plan and Barricade: Return to Architect and CPM within 48 hours of demo; B. Shop drawings & finish samples G.C. to submit to Architect for approval; G.C. to submit to Architect for approval
10.	Owner/Vendor submittals, all quotes, layouts, and specifications to be submitted to Landlord (CC: Derek Rubinoff) for review and approval no later than 1 week after Bid due date.
11.	Owner's Signage Contractor (SC) shall provide the following shop drawings, specifications, cut sheets and/or samples to the Architect, and Landlord for approval, no later than one week from "Notice to Proceed" (NTP): Complete signage shop drawings and material samples from S.C.
12.	All work shall be done in accordance with applicable codes and to the highest standards of trade practice.
13.	The contractor shall remedy without cost to the Landlord, any defects due to faulty workmanship.
14.	The G.C. shall coordinate work of various trades in installation of interrelated work. Before installation or work by any trade begins, make proper provisions to avoid interferences. Changes required in work caused by neglect to do so shall be made at no cost to the Landlord. This shall include work performed by any Owner Subcontractor/Vendor as well as those under contract to the G.C.
15.	The G.C. and all subcontractors shall remove trash and debris daily from the tenant premises. The G.C. will arrange for debris removal by a local sanitary company and will be responsible for payment of fees for such unless otherwise noted. The G.C. will coordinate location of the dumpster with the Landlord. Fees incurred due to storage of trash in other than designated areas will be the responsibility of the G.C.
16.	For the duration of the construction period the G.C. shall keep the work area secured when unattended and shall supply a key to the Landlord's representative.
17.	The G.C. will provide an on-site superintendent for the duration of the construction project.
18.	All hangers, channels, rods and other miscellaneous support steel shall be furnished and installed by the G.C. as necessary for proper support of suspended/ supported equipment and shall be fastened to steel, concrete, or masonry as per L.L. requirements.
19.	All exit doors shall be readily opened from the side from which egress is to be made without use of key or special knowledge. All exit doors shall have all hardware necessary to satisfy the requirements of the local building code.
20.	The G.C. is responsible for providing a smooth level floor surface for the installation of tile flooring and entry tile. Patch/shim all areas as necessary so that finish floor meets all other floor materials.
21.	The G.C. will set all ceilings, soffits, & track using a laser level to achieve a ceiling that is plumb, level, and square to all walls and soffits.
22.	All work, materials and equipment shall be guaranteed for a period of one year (minimum) from date of final acceptance. The G.C. shall provide the Landlord with all equipment manuals, warranties and operating instructions upon final acceptance.
23.	The G.C. shall be responsible for coordinating with Landlord on all work to be performed by the Landlord. Any potential conflicts or delays caused by the Landlord's subcontractors must be documented in writing to the Architect before the delay is actually incurred for it to be considered. Otherwise the G.C. will be responsible for meeting the schedule as outlined in the contract.
24.	The G.C. shall supply all materials, labor and coordination required for the installation of all Landlord supplied items as described in the specifications and the responsibility schedule.
25.	The G.C. is responsible for all floor and wall penetrations for electrical, plumbing, and mechanical work. All such openings shall be framed and reinforced. No penetrations in demising walls shall be cut without prior authorization by the Landlord.
26.	Coordinate any roof work with landlord if needed.
27.	Scope referred to as "by Landlord" shall mean "by Owner".
28.	If a companion written architectural specification document/project manual is issued shortly after the Construction Document drawing set it, along with this drawing set, will form the contract documents for this project. The GC is to obtain and abide by the specification document.
29.	All future revisions and addendums related to this set shall be seen as integral parts from it.

CONSTRUCTION PLAN NOTES	
A. GENERAL	
1.	ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE LICENSED AND FULLY INSURED. ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE STATE AND LOCAL CODES.
2.	G.C. IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING INTEGRITY AT ALL DEMISING & FIRE RATED WALLS TO NEIGHBORING TENANTS.
3.	SEE ELEVATIONS AND DETAILS FOR LOCATIONS OF BLOCKING. COORDINATE WITH SIGNAGE CONTRACTOR FOR SIGN BLOCKING REQUIREMENTS.
4.	G.C. IS REQUIRED TO PROVIDE ALL BIDDERS WITH A COMPLETE SET OF RELEVANT CONSTRUCTION DOCUMENTS, SO AS TO ASSURE BIDDERS UNDERSTAND THE OVERALL PROJECT, SEQUENCING AND COORDINATION REQUIREMENTS OF THE PROJECT SCOPE PRIOR TO PREPARING THE BID.
5.	BIDDERS SHALL THOROUGHLY ACQUAINT THEMSELVES WITH THE CONDITIONS, TIMELINE AND REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED. G.C. SHALL COORDINATE WITH ALL BIDDERS TO ASSURE ALL PARTIES UNDERSTAND WORK WHICH IS IN ANY WAY DEPENDENT UPON THAT OF OTHERS, BUILDING ACCESS LIMITATIONS, AFTER HOURS WORK, SCHEDULES, AND OR LANDLORD OR CITY REGULATIONS OR CONDO BY-LAWS PRIOR TO THE BID.
6.	ALL PERMITS FOR ALL DISCIPLINES OF WORK SHALL BE APPLIED AND SECURED BY THE G.C. FOR THE APPROPRIATE TRADESMAN. SAID TRADESMAN SHALL BE RESPONSIBLE FOR ALL INSPECTION AND SUBSEQUENT REINSPECTION FEES OR FINES.
7.	ALL INSTALLED SYSTEMS AND DEVICES SHALL BE NEW, TESTED IN PLACE AND GUARANTEED FOR 1 YEAR AFTER ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
8.	GC SHALL OBTAIN & MAINTAIN INSURANCE COVERAGE PER CITY REQUIREMENTS
9.	ALL EXTERIOR WALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED.
B. LAYOUT	
1.	LAY OUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONDITIONS IS SHOWN.
2.	DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN. IF DIMENSIONS ARE MISSING G.C. SHALL NOTIFY ARCHITECT FOR DIRECTION IN REASONABLE TIME.
3.	ALL DIMENSIONS ARE FROM GWB FINISH SURFACE TO GWB FINISH SURFACE.
4.	G.C. TO VERIFY THAT ALL EXISTING DEMISING WALLS ARE PLUMB. IF NOT, G.C. TO PROVIDE AND INSTALL FURRING AND GWB TO MAKE PLUMB, AND INCLUDE WORK AND MATERIALS IN BIDDING CALCULATION.
5.	LAYOUT SHALL BE APPROVED BY ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY FRAMING.
6.	ALL EXISTING TO REMAIN WALLS TO BE PATCHED TO MATCH ADJACENT SURFACES AND SANDED SMOOTH TO RECEIVE SCHEDULED TREATMENT AND FINISHED
7.	PATCH PORTION OF EXISTING FLOOR IF DAMAGED PRIOR TO START OF WORK.
C. COORDINATION	
1.	ALL WORK TO BE BY G.C. UNLESS STATED BY OTHERS ON THE DRAWINGS. G.C. TO COORDINATE AND VERIFY WITH ARCHITECT THE RESPONSIBILITY OF WORK BEYOND AS STATED ON DRAWINGS.
2.	G.C. SHALL VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
3.	G.C. TO COORDINATE ALL TRADES PRIOR TO COMMENCING ANY WORK.
4.	G.C. TO NOTIFY ARCHITECT AFTER LAYOUT AND PRIOR TO FRAMING IF: - DIMENSION LABELED "N" VARIES MORE THAN 2% FROM ACTUAL FIELD MEASUREMENT, OR GREATER THAN 2". THE SMALLEST OF THE TWO. - ANY DISCREPANCY, OMISSION OR UNANTICIPATED FIELD CONDITION ALTERS THE INTENT OF THESE DRAWINGS.
5.	-ANY DIMENSIONS LABELED "MIN" CANNOT BE ACHIEVED G.C. IS RESPONSIBLE FOR COORDINATING ALL LAYOUT ISSUES WITH THE FIXTURE CONTRACTOR TO ESTABLISH FIXTURE LAYOUTS (FLOOR FIXTURES, WALL SYSTEM, CASHWRAP, BACKWRAP, DOOR FRAMES, ROOFING, ETC.)
6.	G.C. SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNER'S CONTRACTORS UPON REQUEST AND UPON COMPLETION OF EACH WORK PHASE.
7.	G.C. SHALL BE RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED TO INSTALL NEW FLOORING TO MANUFACTURER'S SPECIFICATIONS.
8.	G.C. TO COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS. G.C. TO SCHEDULE DELIVERY / INSTALLATION DATES AT THE BEGINNING OF THE JOB TO GUARANTEE COMPLIANCE WITH CONSTRUCTION SCHEDULE.

ZONING SUMMARY				
Zoning District: CSBD (Crawford Square Business District) Description: Shopping Center Neighborhood: 03 Mblx: 62' A/ 3, 2/1				
DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	EXISTING	PROPOSED
GENERAL				
USE	\$200-11 SECTION C \$200 ATTACHMENT 1	OFFICE OR PROFESSIONAL USE - ALLOWED DAY-CARE CENTERS OR PRE-SCHOOL CENTERS - ALLOWED	SHOPPING CENTER CHILD-CARE CENTER	NO CHANGE
MINIMUM LOT AREA (SF)	\$200 ATTACHMENT 2 SCHEDULE A	6,000	N/A	NO CHANGE
LOT COVERAGE	\$200 ATTACHMENT 2 SCHEDULE A	BUILDING LOT COVERAGE: 60% IMPERVIOUS LOT COVERAGE: 30% GREEN AREA OPEN SPACE: 10%	N/A	NO CHANGE
BUILDING HEIGHT	\$200 ATTACHMENT 2 SCHEDULE A	50' - 4 STORIES	30' +/- (GOOGLE EARTH), 1 STORY	NO CHANGE; NEW CANOPY HT = 17'-2"
LOT FRONTAGE MINIMUM	\$200 ATTACHMENT 2 SCHEDULE A	25'	125'	NO CHANGE
MINIMUM DEPTH	\$200 ATTACHMENT 2 SCHEDULE A	75'	--	NO CHANGE
MINIMUM WIDTH	\$200 ATTACHMENT 2 SCHEDULE A	25'	--	NO CHANGE
MIN. STREET SETBACK	\$200 ATTACHMENT 2 SCHEDULE A	15'	0' (FRONT ENTRY CANOPY)	--
MIN. FRONT YARD	\$200 ATTACHMENT 2 SCHEDULE A	15'	0' (FRONT ENTRY CANOPY) 10'-1" (BULK OF BUILDING)	NO CHANGE (??); CANOPY WILL BE CONSTRUCTED WITHIN FRONT SETBACK. BULK OF BUILDING REMAINS. (MAY REQUIRE RELIEF)
MIN. SIDE YARD	\$200 ATTACHMENT 2 SCHEDULE A	0'	--	NO CHANGE
MIN. REAR YARD	\$200 ATTACHMENT 2 SCHEDULE A	15'	N/A	NO CHANGE
BUFFER STRIPS	\$200 ATTACHMENT 2 SCHEDULE A	TO STREET: 10' TO COMMERCIAL: 0'	N/A	NO CHANGE
PARKING	\$200-22 SECTION B	1 PARKING SPACE PER 200 SF OF GFA AT FIRST LEVEL 1 PARKING SPACE PER 400 SF OF GFA THEREAFTER, EXCLUDING STORAGE	NOT REVIEWED	NO CHANGE

Zoning § 200-55
Permitted signs:

B.2 One (1) wall sign for each establishment, provided that it shall be attached and parallel to the main wall of a building; it shall not project horizontally more than fifteen (15) inches therefrom; the surface area of the sign shall not aggregate more than ten percent (10%) of the area of the wall on which it is displayed or one hundred forty (140) square feet, whichever is less; and, if lighted, it shall be illuminated internally or by direct method with white light only.

B.3 One (1) projecting sign and/or canopy for each building, provided that it shall be attached and parallel to the main wall of the building; it shall not project horizontally beyond a line drawn perpendicularly upward from two (2) feet inside the street line; it shall be erected at a height not less than ten (10) feet nor more than twenty-two (22) feet in height above the ground or sidewalk; it shall not exceed forty (40) square feet in surface area for a two-sided sign and twenty (20) square feet in surface area for a one-sided sign; and, if lighted, it shall be illuminated by indirect method white light only.

B.7 Roof signs are not allowed.

CODE SUMMARY			
APPLICABLE CODES			
1. BUILDING	9th Edition of the MA State Building Code (780 CMR), 2015 IBCB		
2. PLUMBING	MA State Fuel Gas and Plumbing Code (248 CMR)		
3. MECHANICAL	MA State Mechanical Code (780 CMR 2801)		
4. ELECTRICAL	National Electrical Code with MA amendments (527 CMR 12.00)		
5. FIRE PROTECTION	MA Fire Prevention Regulations (527 CMR)		
6. ENERGY	MA State Energy Code (780 CMR 13), Chapter 13, 2018 IBCB, Stretch Energy Code		
7. ACCESSIBILITY	MA Architectural Access Board (521 CMR)		
PROJECT DESCRIPTION: Construct a canopy and fence structure in front of a portion of an existing single-story retail plaza, specifically at the front entrance of the existing Step Ahead child care business. The purpose of this project is to protect foot traffic from the existing accumulation of ice and snow from the entry to the child-care center. No interior work proposed and no change to parking. The existing "Step Ahead" sign will be replaced by a roof sign. The sign shown in these drawings is for placement purposes; actual signage will be filed for as a separate signage permit.			
DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	PROPOSED
GENERAL			
USE GROUP	IBC §309	EXISTING: M, B (CLINIC, OUTPATIENT), I-4 OR E (CHILD-CARE CENTER).	NO CHANGE
CONSTRUCTION TYPE	IBC TABLE 601	TYPE IIB	TYPE IIB
NUMBER OF STORIES	IEBC §504	N/A	ONE (NO CHANGE)
ALTERATION TYPE	IEBC §502	N/A	N/A
CHANGE OF OCCUPANCY	IBC TABLE 508.4	EXISTING BUILDING IS UNSPRINKLERED	NO CHANGE
FIRE ALARM	IBC §907.2	REQUIRED	EXISTING TO REMAIN NO CHANGE
ACCESSIBILITY	521 CMR	YES	NEW EXTERIOR WORK WILL BE ACCESSIBLE PER 521 CMR.

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--	--	10/08/2021	Special Permit Set
No	By	Date	Description

28-30 South Main Canopy Improvement



D. Rubinoff

22-32 South Main St.
Randolph, MA 02368

General Notes, Zoning & Code Summary

Checked By: Checker

Job No: 2069

G-0.1

STRUCTURAL GENERAL NOTES:

A. STRUCTURAL DESIGN CRITERIA

1. THE STRUCTURAL DESIGN IS BASED ON THE MASSACHUSETTS STATE BUILDING CODE, 780 CMR, 9TH EDITION
2. DEAD LOADS:

WEIGHT OF MATERIALS
3. SNOW LOADS:

BASIC GROUND SNOW LOAD P_g

Ce1.0
Ct1.2
Pf (min.)1.0
Pf30 PSF
30 PSF
5. WIND LOAD:

BASIC WIND SPEED131 MPH
 I_w 1.0
BUILDING CATEGORYII
EXPOSUREB
6. SEISMIC LOAD:

SEISMIC IMPORTANCE FACTOR1
MAPPED SPECTRAL RESPONSE ACCELERATIONS:

Ss0.198
S10.066
D

SITE CLASSSDS0.211
Spectral Response Coefficients:SD10.106
B

SEISMIC DESIGN CATEGORY
BASIC SEISMIC RESISTING SYSTEM:

BASE SHEAR0.271 KIPS
R =3
Cs =0.07

EQUIVALENT LATERAL FORCE PROCEDURE USED FOR ANALYSIS
7. PHOTOVOLTAIC PANEL SYSTEM (SOLAR PANEL) LOAD HAS NOT BEEN INCORPORATED IN THE DESIGN.

B. FOUNDATIONS

1. ASSUMED BEARING CAPACITY IS 2000 PSF. IF SOIL APPEARS TO HAVE BEARING CAPACITY LESS THAN ASSUMED VALUE, ENGINEER WILL EVALUATE FOUNDATION DESIGN AND INFORM CONTRACTOR OF DESIGN IMPACT. IF UNSUITABLE SOILS ARE ENCOUNTERED, CONTACT THE ARCHITECT AND ENGINEER IMMEDIATELY. A GEOTECHNICAL ENGINEER MAY BE REQUIRED TO EVALUATE THE IN-SITU SOIL CONDITIONS AND PROVIDE RECOMMENDATIONS RELATIVE TO A REVISED FOUNDATION SYSTEM.
2. DO NOT PLACE FOOTINGS ON FROZEN GROUND OR IN WATER.
3. PLACE FOOTINGS ON UNDISTURBED MATERIAL. COMPACT MATERIALS AS REQUIRED.
4. CONTRACTOR IS RESPONSIBLE FOR PROPERLY BRACING FOUNDATION ELEMENTS DURING BACKFILLING OPERATIONS AND DURING CONSTRUCTION.

C. REINFORCED AND PLAIN CONCRETE

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AS NOTED IN THE MINIMUM MIX DESIGNS. THE NOTED STRENGTHS ARE AT 28 DAYS. AIR ENTRAINMENT SHALL BE AS NOTED IN THE MINIMUM MIX DESIGNS. SUBMIT CONCRETE BREAK TEST REPORTS TO THE ENGINEER FOR REVIEW. THREE TEST CYLINDERS SHALL BE TAKEN PER SAMPLING. SAMPLES SHALL OCCUR AS FOLLOWS:

NOT LESS THAN (1) SET OF CYLINDERS PER DAY
NOT LESS THAN (1) SET OF CYLINDERS PER EACH 150 CUBIC YARDS OF CONCRETE
NOT LESS THAN (1) SET OF CYLINDERS PER 5000 SQUARE FEET OF SURFACE AREA OF SLAB OR WALL
RESULTS SHALL BE SUBMITTED FOR BREAKS OCCURRING AT 7, 28, AND 56 DAYS.
2. ALL REINFORCING BARS TO BE ASTM A615. ALL WELDED WIRE TO BE ASTM A185. MATERIAL CERTIFICATIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.
3. CONTRACTOR TO PROTECT CONCRETE FROM DAMAGE DUE TO FREEZING OR HIGH TEMPERATURES.
4. CONCRETE COVER SHALL BE PER LATEST ACI REQUIREMENTS.
5. LAP BARS PER LATEST ACI REQUIREMENTS. FOR #4 BARS, LAP BARS 36 INCHES AS A MINIMUM. FOR #5 BARS, LAP BARS 48 INCHES AS A MINIMUM. FOR #6 BARS, LAP BARS 56 INCHES AS A MINIMUM. (ADJUST THESE VALUES AS REQUIRED)
6. DO NOT EXPOSE CONCRETE TO ANY CALCIUM CHLORIDES PRIOR OR DURING CONSTRUCTION.
7. PORTLAND CEMENT MUST CONFORM TO ASTM C150 REQUIREMENTS. NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C33. NO LIGHT WEIGHT CONCRETE IS SPECIFIED FOR THE PROJECT.
8. WATER USED IN MIXES SHALL CONFORM TO ASTM C1602.
9. PROPOSED MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. MIX DESIGNS SHALL INCLUDE BUT NOT BE LIMITED TO INDICATING WATER CEMENT RATIO, AGGREGATE SIZE AND PROPORTIONING, ADMIXTURES, SLUMP, AND HISTORY OF PROPOSED MIX DESIGNS WITH SPECIFIC PROJECT EXAMPLES.
10. SUBMIT SPECIFICATIONS AND PRODUCT DATA FOR FLOOR HARDENER AND SEALER TO BE USED ON SLABS WHEN SLABS ARE TO BE REPLACED ON THE INTERIOR OF THE BUILDING.
11. SUBMIT CONCRETE REINFORCING BAR SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. CONSTRUCTION OF REINFORCED CONCRETE WORK THAT PROCEEDS WITHOUT REVIEWED AND APPROVED SHOP DRAWINGS IS DONE AT THE RISK OF THE CONTRACTOR.
12. MINIMUM MIX DESIGNS ARE AS FOLLOWS:

FOOTINGS:

MAXIMUM W/C RATIO0.45
AIR ENTRAINMENTN/A
CEMENTTYPE IICEMENT4,000 PSI
F_c3,000 PSI
MAXIMUM AGGREGATE3/4"

SLAB ON GRADE:

MAXIMUM W/C RATIO0.5
AIR ENTRAINMENT4%
CEMENTTYPE IICEMENT3,500 PSI
F_c3,500 PSI
MAXIMUM AGGREGATE3/4"
- D. STRUCTURAL STEEL
1. ALL WIDE FLANGE SECTIONS SHALL BE FABRICATED FROM ASTM A992 STRUCTURAL STEEL; ALL ANGLES, AND PLATES SHALL BE FABRICATED FROM ASTM A36 STRUCTURAL STEEL; ALL HSS SECTIONS SHALL BE FABRICATED FROM ASTM A500 GRADE C STRUCTURAL STEEL WITH A MINIMUM YIELD STRESS OF 50 KSI.

2. ALL CONNECTIONS SHALL BE PER THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL.

3. ALL BOLTS SHALL BE MIN 3/4 INCH DIAMETER ASTM A325 TYPE N.

4. ALL WELDS SHALL BE WITH E70XX ELECTRODES; WELDING SHALL CONFORM TO THE LATEST AWS D1.1.

5. BELOW ALL BASE PLATES PROVIDE 1/4 INCH LEVELING PLATE AND 3/4" NON-SHRINK GROUT, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

6. UNLESS OTHERWISE NOTED, ALL ANCHOR RODS SHALL CONFORM TO ASTM F1554, AND SHALL BE GRADE 36. USE 1-1/2 INCH DIAMETER RODS WITH ELEVEN INCHES OF EMBEDMENT AND FIVE INCHES OF PROJECTION, UNLESS OTHERWISE NOTED (UON) ON THE DRAWINGS.

7. TEMPORARY BRACING, SHORING, ETC, IS THE RESPONSIBILITY OF THE CONTRACTOR.

8. IF CLASHES OCCUR BETWEEN STRUCTURAL STEEL AND OTHER TRADES, CONTACT THE ARCHITECT TO RESOLVE THE CLASHES. FIELD CUTTING OF MEMBERS WILL NOT BE PERMITTED.

9. SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW TO THE ENGINEER. SHOP DRAWINGS AND INFORMATION INCLUDED ON SHOP DRAWINGS SHALL INCLUDE BUT NOT BE LIMITED TO ERECTION PLANS, PIECE DRAWINGS, MATERIAL SPECIFICATION, COATING SPECIFICATION, FASTENER DATA, AND METHOD OF SURFACE PREPARATION TO RECEIVE PAINT.

10. AS A MINIMUM, EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN AREAS WHERE STRUCTURAL STEEL ELEMENTS ARE EXPOSED TO THE ELEMENTS.
- E. LIGHT GAUGE METAL FRAMING
1. ALL NEW LIGHT GAUGE METAL FRAMING MEMBERS SHALL CONFORM TO AISI AND SFIA STANDARDS. USE SIZE DESIGNATIONS AND THICKNESS AS SHOWN ON THE DRAWINGS. SFIA DESIGNATIONS ARE AS FOLLOWS:

STUDS ARE DESIGNATED BY DEPTH, THEN STYLE, THEN FLANGE WIDTH, THEN MATERIAL THICKNESS (IN MILS). AS AN EXAMPLE, A 6", 18 GAUGE STUD OR JOIST WITH A 1 5/8" FLANGE IS DESIGNATED AS 600S162-43. TRACKS ARE SIMILAR TO STUDS OR JOISTS. A 6", 18 GAUGE TRACK IS DESIGNATED AS 600T125-43. IF NOT INDICATED ON THE DRAWINGS, USE AS A MINIMUM 600S162-43 WALL STUDS SPACED AT 16" CENTERS AND 600T125-43 FOR WALL TRACKS.

2. ALL LIGHT GAUGE MATERIALS UP TO AND INCLUDING 18 GAUGE ARE TO HAVE A MINIMUM YIELD STRESS OF 33 KSI. ALL LIGHT GAUGE MATERIALS GREATER THAN 18 GAUGE SHALL HAVE A YIELD STRESS OF 50 KSI.

3. USE A MINIMUM OF #10 TEK SCREWS FOR ALL CONNECTIONS. CONNECT STUDS TO TRACKS WITH A MINIMUM OF (1) SCREW PER STUD FLANGE.

4. IF NOT INDICATED ON THE DRAWINGS, CONNECT ALL TRACK TO SUPPORT MEMBER WITH A MINIMUM OF (1) LINE OF FASTENERS SPACED AT 16" ON CENTER. AS A MINIMUM USE POWDER ACTUATED FASTENERS WITH A MINIMUM DIAMETER OF 0.145 INCHES. AT CONCRETE APPLICATIONS USE A MINIMUM EMBED OF 1 1/2" UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

5. ALL CONNECTORS SHOWN ON THE DRAWINGS ARE BY CLARKDIETRICH. CONTRACTOR MAY SUBSTITUTE CONNECTORS WITH PRIOR REVIEW BY THE ENGINEER.

6. ALL LIGHT GAUGE METAL FRAMING MEMBERS SHALL HAVE A MINIMUM G-60 COATING.

7. STORE ALL LIGHT GAUGE METAL FRAMING MATERIALS OFF THE GROUND AND IN A MANNER THAT ALLOWS ANY WATER TO DRAIN UNDER THE STORED MATERIAL. LIGHT GAUGE METAL FRAMING MATERIALS SHALL BE COVERED UNTIL USE.

8. LATERAL DEFLECTION LIMITS OF LIGHT GAUGE METAL FRAMING MEMBERS ARE AS FOLLOWS:

MEMBERS NOT SUPPORTING MASONRY = L/240
MEMBERS SUPPORTING MASONRY = L/360
REDUCTION OF LATERAL LOADS FOR MASONRY LATERAL DEFLECTIONS IS NOT ALLOWED.

9. VERTICAL DEFLECTION LIMITS OF LIGHT GAUGE METAL FRAMING MEMBERS ARE AS FOLLOWS:

TOTAL LOAD = L/240
SNOW LOAD = L/360
- F. CONTRACTORS RESPONSIBILITIES
1. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING AND TEMPORARY BRACING DESIGN RELATED TO MEANS AND METHODS OF CONSTRUCTION.

2. COORDINATION BETWEEN TRADES IS THE RESPONSIBILITY OF THE CONTRACTOR. DRAWING CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND ARCHITECT FOR RESOLUTION.

3. THE CONTRACTOR IS REQUIRED TO INFORM THE DESIGN PROFESSIONAL OF THE PROGRESS OF THE PROJECT IN ORDER FOR THE DESIGN PROFESSIONAL TO PERFORM PERIODIC SITE VISITS TO OBSERVE THE WORK IN PROGRESS.

4. SECTIONS AND DETAILS DEPICT SPECIFIC CONDITIONS. ALL CONDITIONS ARE NOT SHOWN ON THESE DRAWINGS. CONDITIONS SIMILAR TO THOSE SHOWN ON THE DRAWINGS SHALL UTILIZE SIMILAR DETAILS. THE DRAWINGS ARE NOT TO BE SCALED. THE CONTRACTOR IS TO CONTACT THE DESIGN PROFESSIONAL REGARDING ANY DIMENTIONAL INQUIRES.

5.
- DWG. No.
- S-0
- | NO. | REVISION 1 | DATE |
|-----|------------|------------|
| 1. | PERMIT SET | 01/14/2022 |
| | ISSUE | |
-
-
- TLH CONSULTING, Inc.
- Structural Engineering
- 3 Survey Circle Unit 2, Billerica, MA 01862
(978) 362-1804 OR (978) 406-5726
- DRAWN BY:
- SSL
- CHECKED BY:
- SK
- SCALE:
- PROJ. No.
- 2101103
- DATE:
- 02/07/2022
- CLIENT:
- DEREK RUBINOFF
- PROJECT: 28 SOUTH MAIN STREET
- LOCATION: RANDOLPH, MA
- DWG. TITLE: GENERAL NOTES
- 5

DWG. No.

S-1

NO.	ISSUE	DATE
1.	REVISION 1 PERMIT SET	02/07/2022 01/14/2022


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 Structural Engineering

 3 Survey Circle Unit 2, Billerica, MA 01862
 (978) 362-1804 OR (978) 406-5726

DRAWN BY:

SSL

CHECKED BY:

SK

SCALE:

As indicated

PROJ. No.

2101103

DATE:

02/07/2022

CLIENT:

DEREK RUBINOFF

PROJECT:

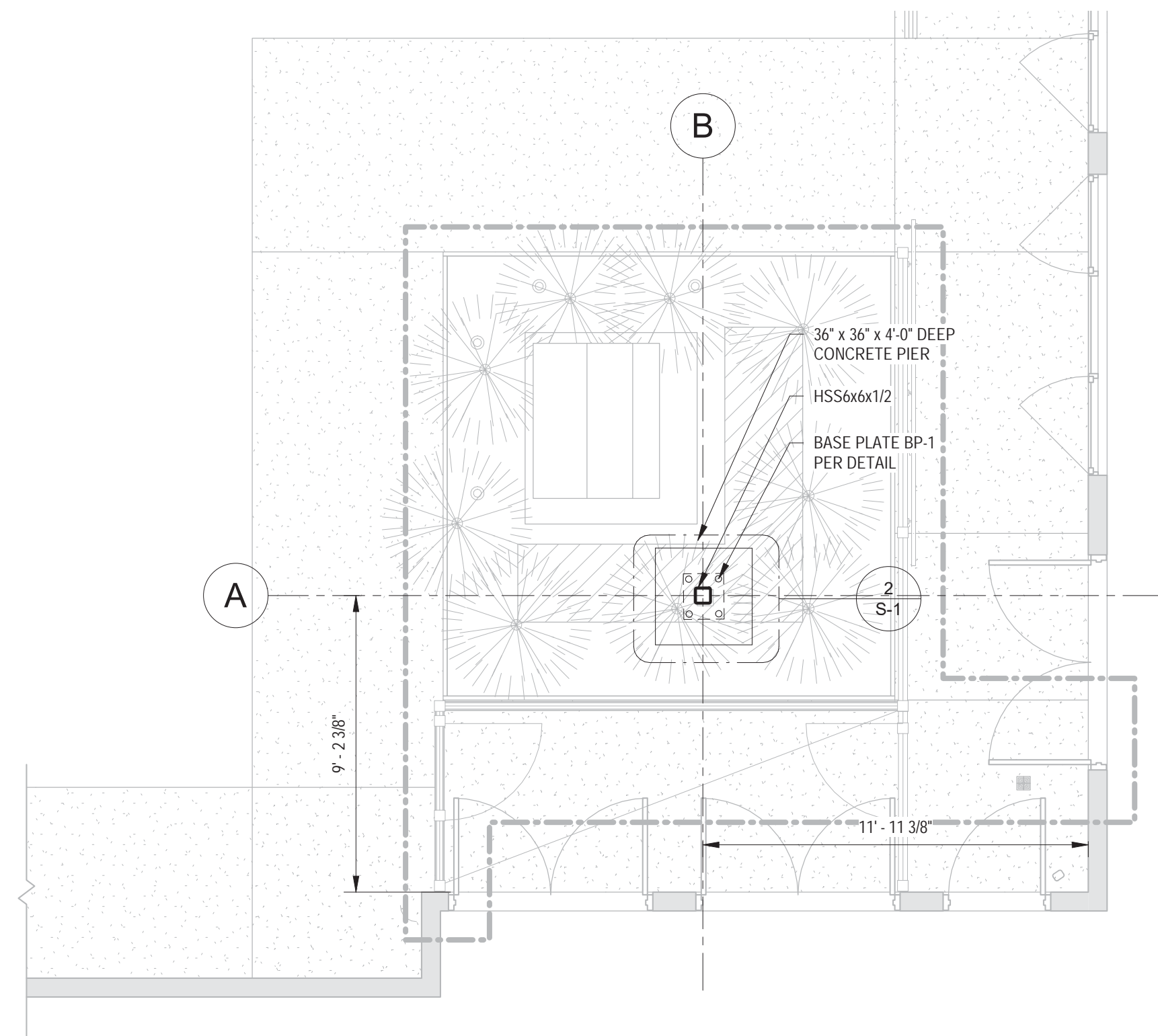
28 SOUTH MAIN STREET

LOCATION:

RANDOLPH, MA

DWG. TITLE:

FOUNDATION PLANS AND DETAILS

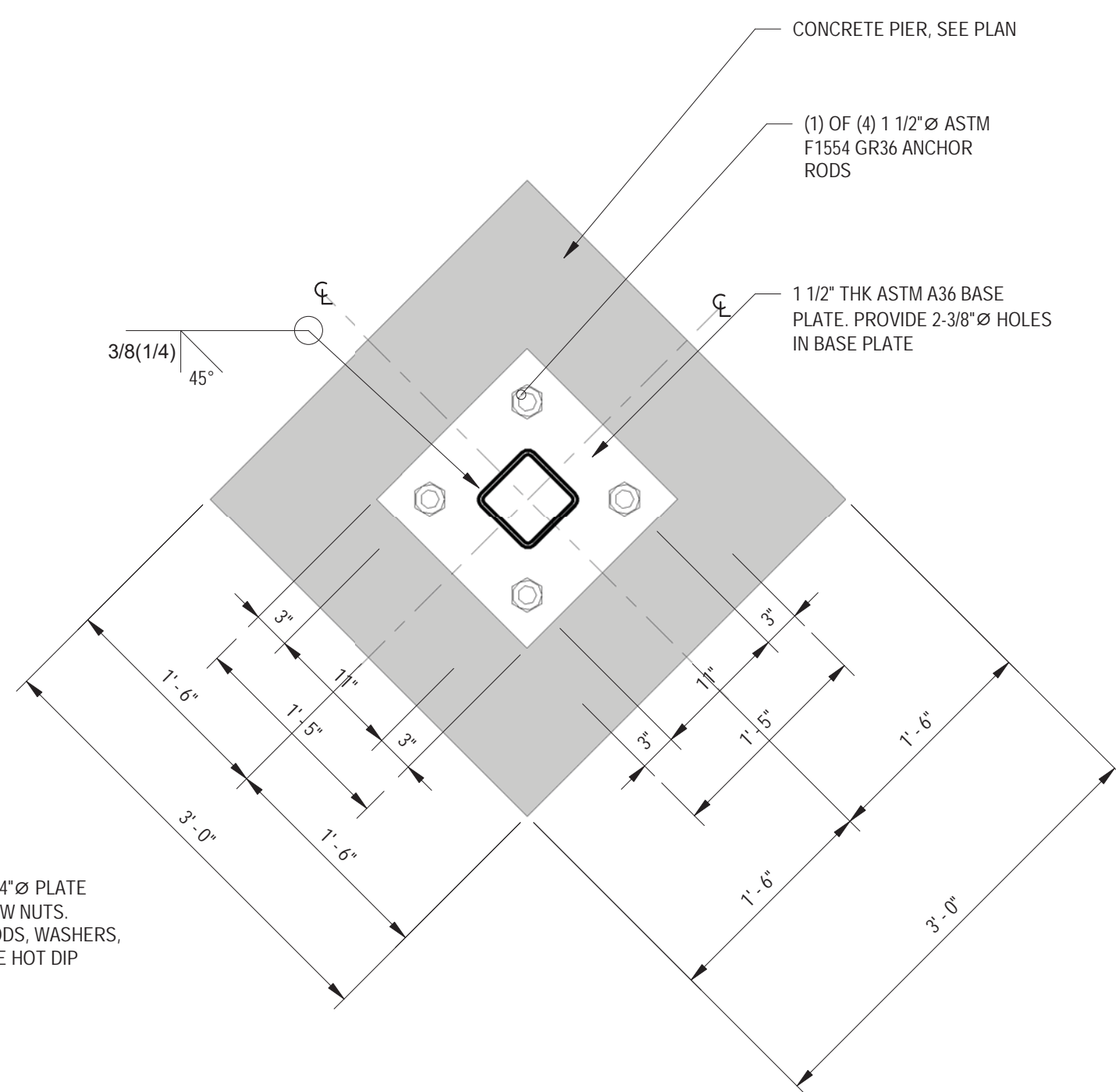


FOUNDATION PLAN NOTES:

- UNLESS OTHERWISE NOTED IN PLAN, TOP OF SLAB ELEVATION = 1'-9 1/2"
- SEE THE STRUCTURAL GENERAL NOTES FOR CONCRETE STRENGTHS AND OTHER SPECIFIC CONCRETE REQUIREMENTS.
- SEE THE STRUCTURAL GENERAL NOTES FOR SOIL BEARING CAPACITY.
- COORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF COLUMN CENTER RELATIVE TO EXISTING BUILDING.

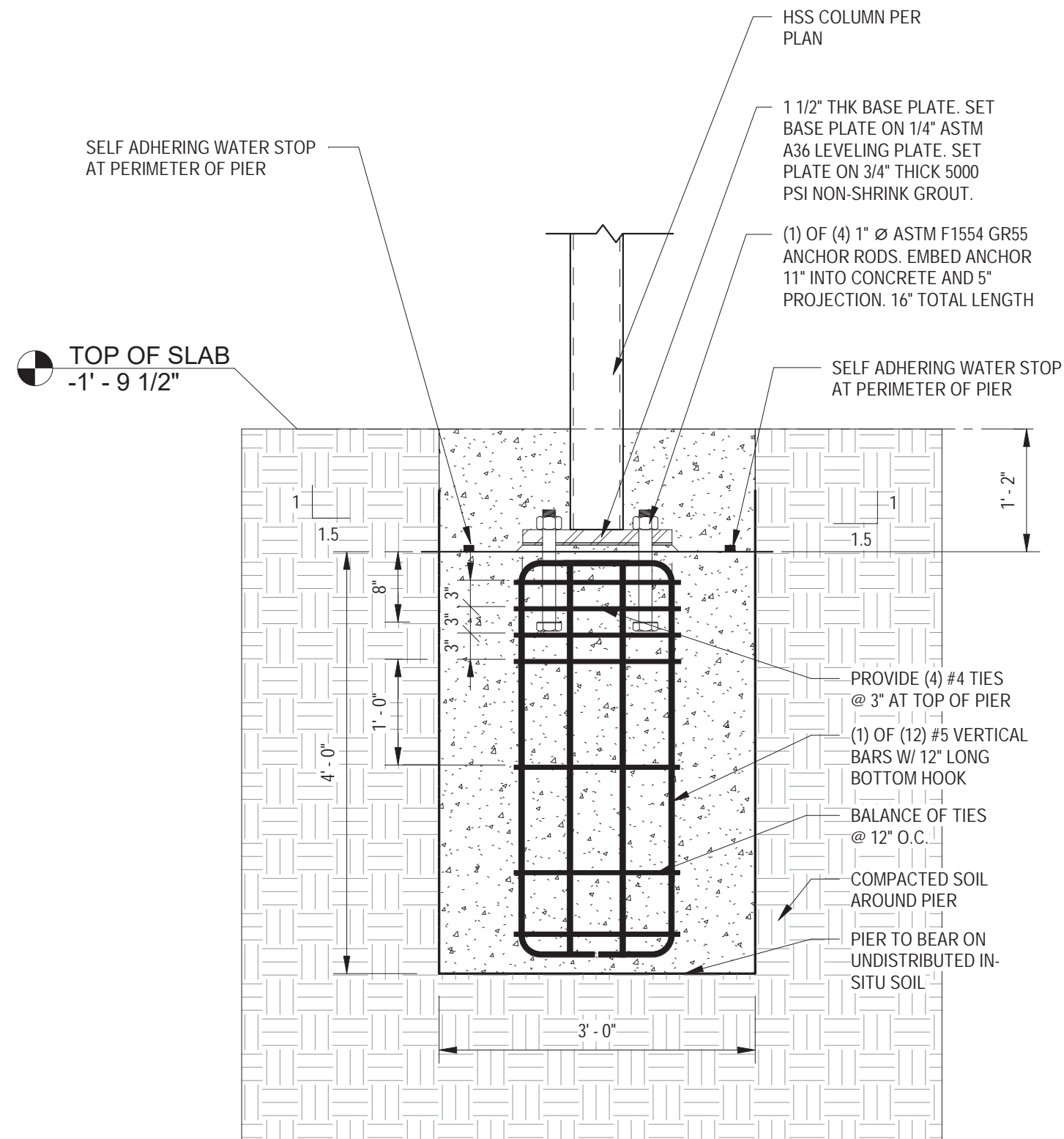


APPROX. NORTH

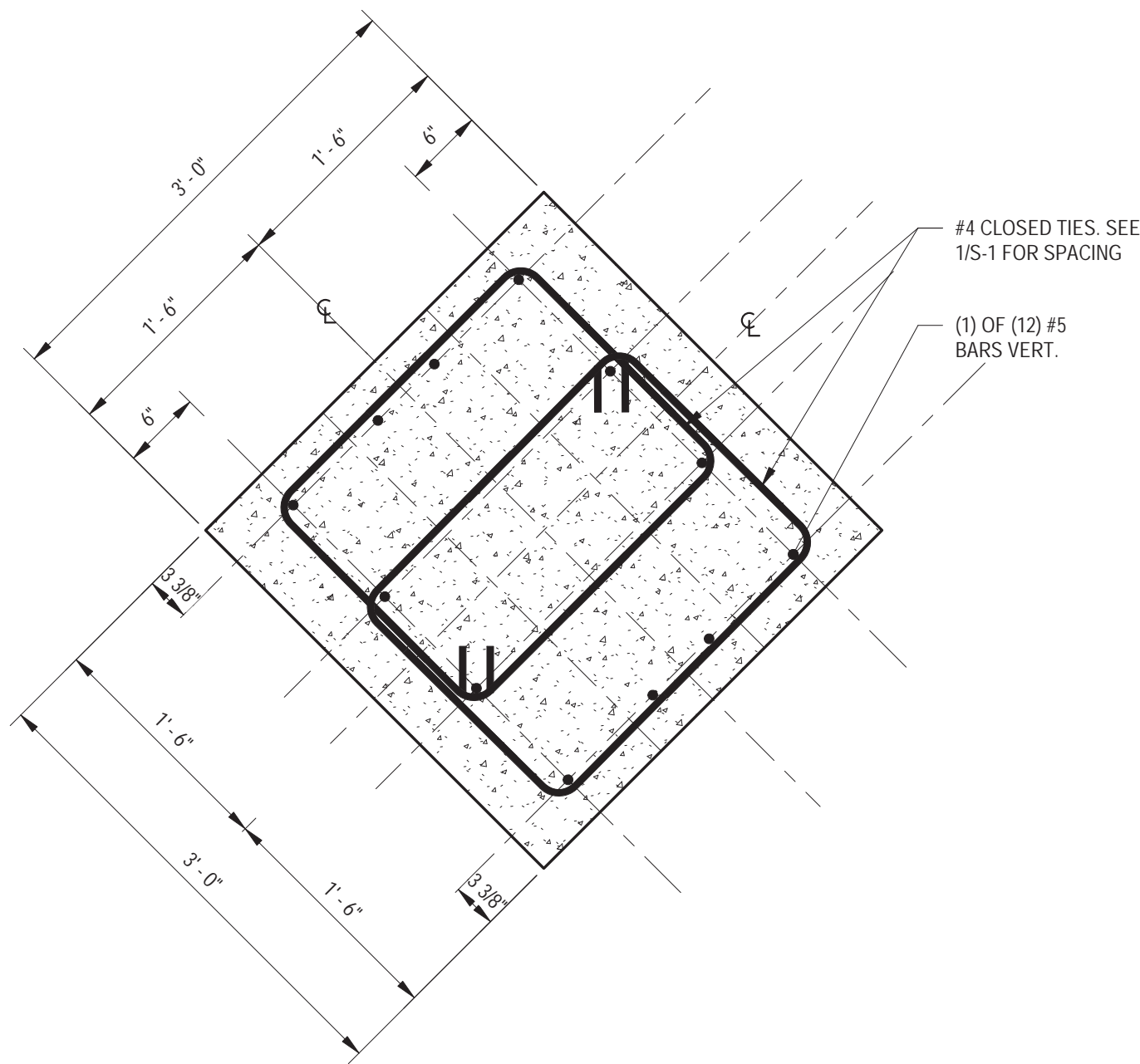
 FOUNDATION PLAN.
 1/4" = 1'-0"

 BASE PLATE BP-1
 1" = 1'-0"

DETAIL NOTES:

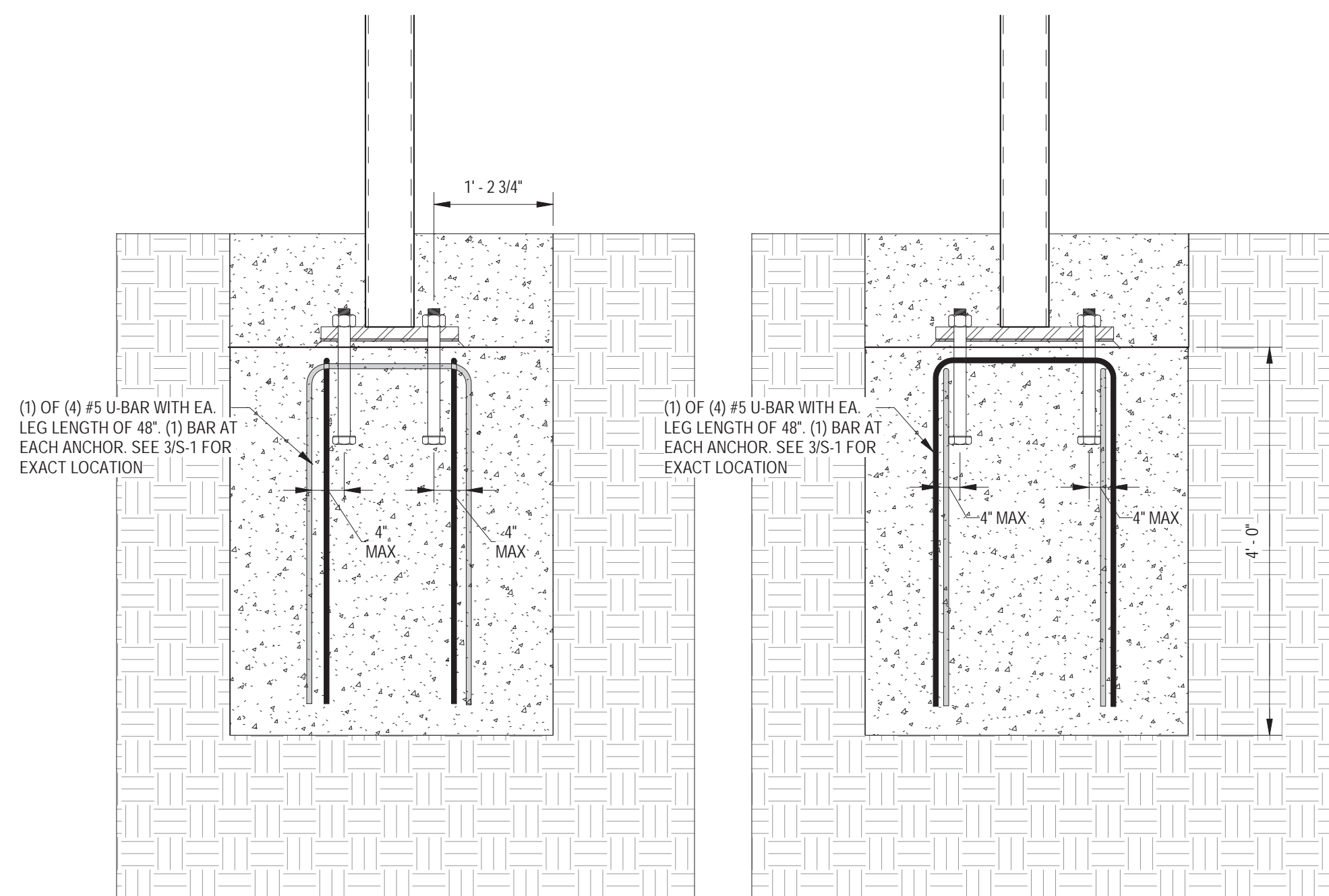
- USE 1/2" THICK, 4" Ø PLATE WASHERS BELOW NUTS.
- ALL ANCHOR RODS, WASHERS, AND NUTS TO BE HOT DIP GALVANIZED.



REGULAR PIER REINFORCING

 SECTION AT CONCRETE PIER
 3/4" = 1'-0"


REGULAR PIER REINFORCING

 PIER REINFORCING
 1" = 1'-0"


MAIN VIEW

LATERAL VIEW

SPECIAL PIER ANCHOR REINFORCING IN ADDITION TO PIER BARS

DWG. No.

S-2

NO.	ISSUE	DATE
1.	REVISION 1 PERMIT SET	02/07/2022 01/14/2022

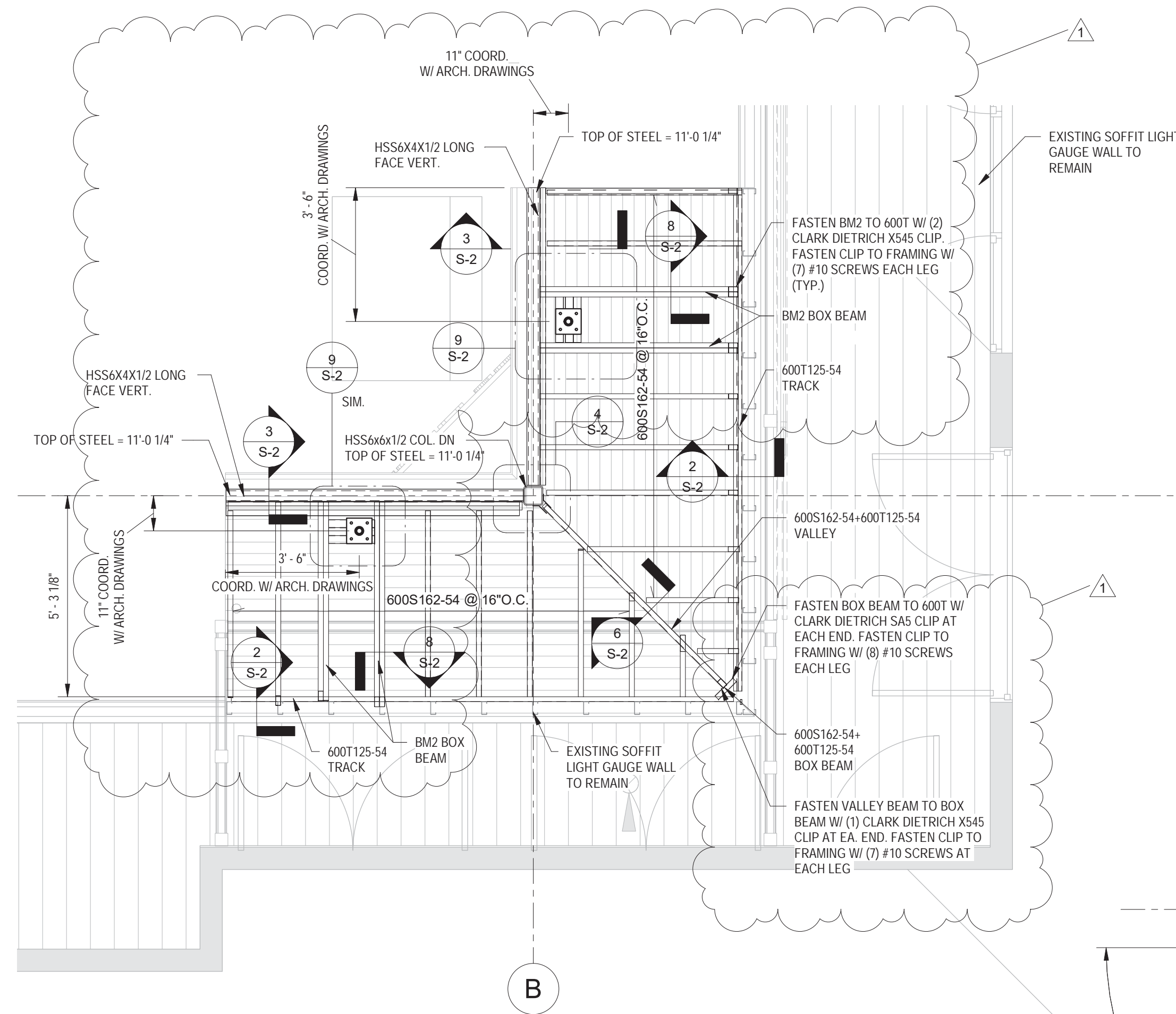


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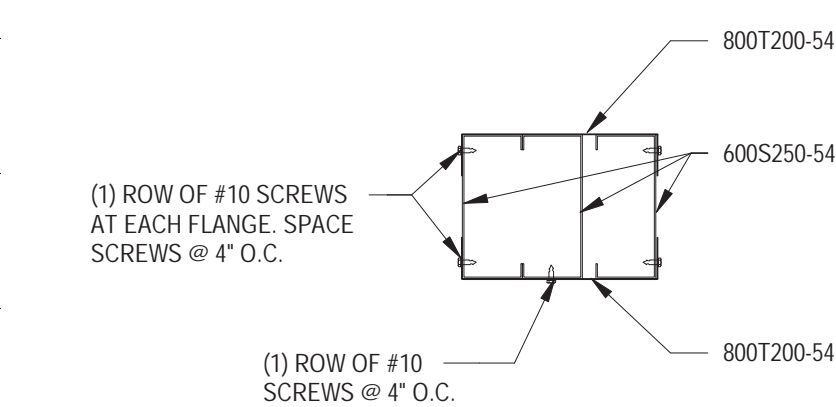
PROJ. No. 2101103
DATE: 02/07/2022
CLIENT: DEREK RUBINOFF

PROJECT: 28 SOUTH MAIN STREET
LOCATION: RANDOLPH, MA
DWG. TITLE: ROOF PLAN AND DETAILS

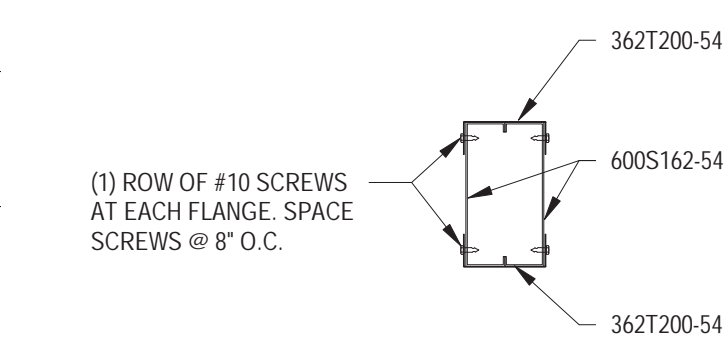


- ROOF FRAMING PLAN NOTES:
- TOP OF STEEL ELEVATION = 11'-0" UNLESS NOTED AS (+/- 'X' OR +/- 'X'-X'). (+) INDICATES THE PIECE IS HIGHER, (-) INDICATED THE PIECE IS LOWER.
 - COORDINATE ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS. TYPICAL STRUCTURAL MEMBER TO STRUCTURAL MEMBER DIMENSIONS ARE SHOWN IN THE TYPICAL DETAIL TITLED "MEMBER TO MEMBER DIMENSIONING KEY".
 - ROOF SHEATHING SHALL BE 5/8" THICK, APA RATED, EXPOSURE 1 SHEATHING. FASTEN EACH SHEET IF SHEATHING TO THE FRAMING WITH #10 WOOD TO METAL SCREWS. SPACE SCRES AT 6 INCHES ON CENTER AT THE PERIMETER OF EACH SHEET OF SHEATHING. SPACE NAILS AT 12 INCHES ON CENTER AT THE BALANCE OF THE SHEET. UNLESS OTHERWISE NOTED IN PLAN, RUN THE LONG AXIS OF EACH SHEET OF SHEATHING PERPENDICULAR TO THE SPAN OF THE FRAMING MEMBERS

1 ROOF FRAMING PLAN
3/8" = 1'-0"

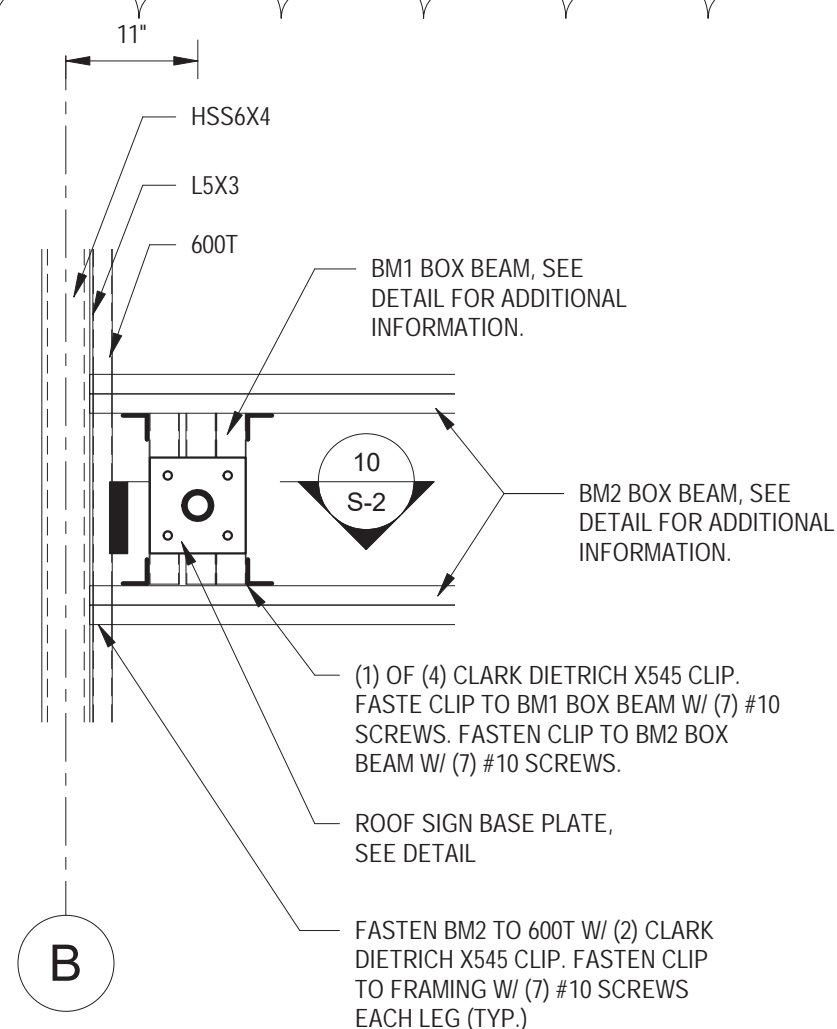


7 BM1 BOX BEAM
1 1/2" = 1'-0"

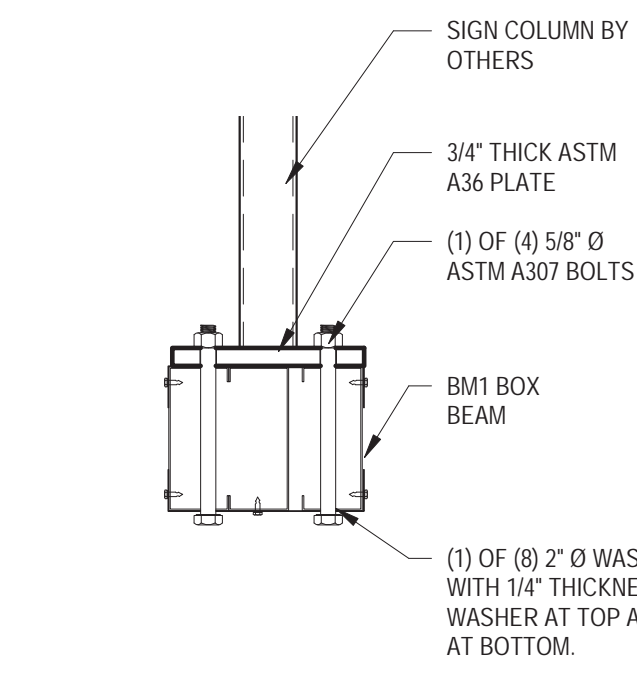


8 BM2 BOX BEAM
1 1/2" = 1'-0"

9 ROOF SIGN BASE PLATE TO LGMF PLAN
3/4" = 1'-0"

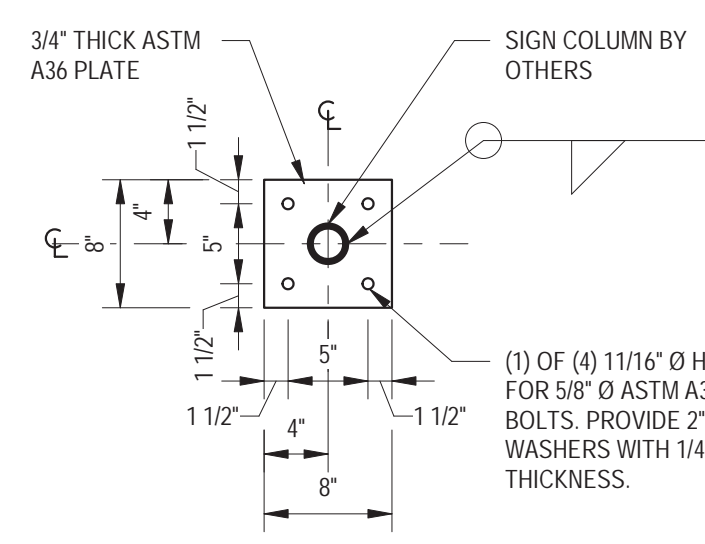


4 VALLEY TO COL. CONN.
1 1/2" = 1'-0"



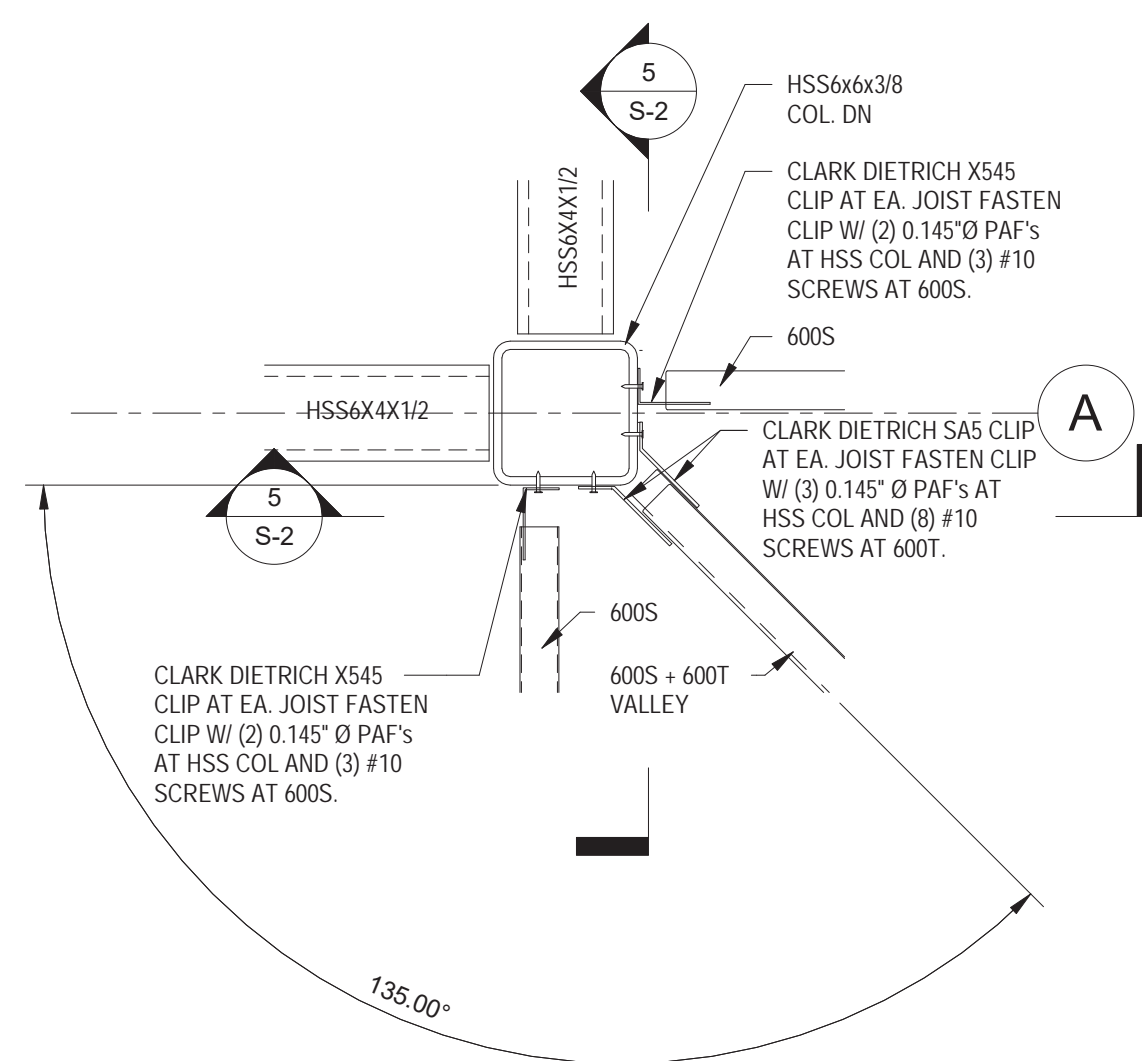
10 ROOF SIGN BASE PLATE TO BM1 BOX BEAM CONNECTION
1 1/2" = 1'-0"

5 HSS BEAM TO HSS COL MOMENT CONNECTION
1 1/2" = 1'-0"

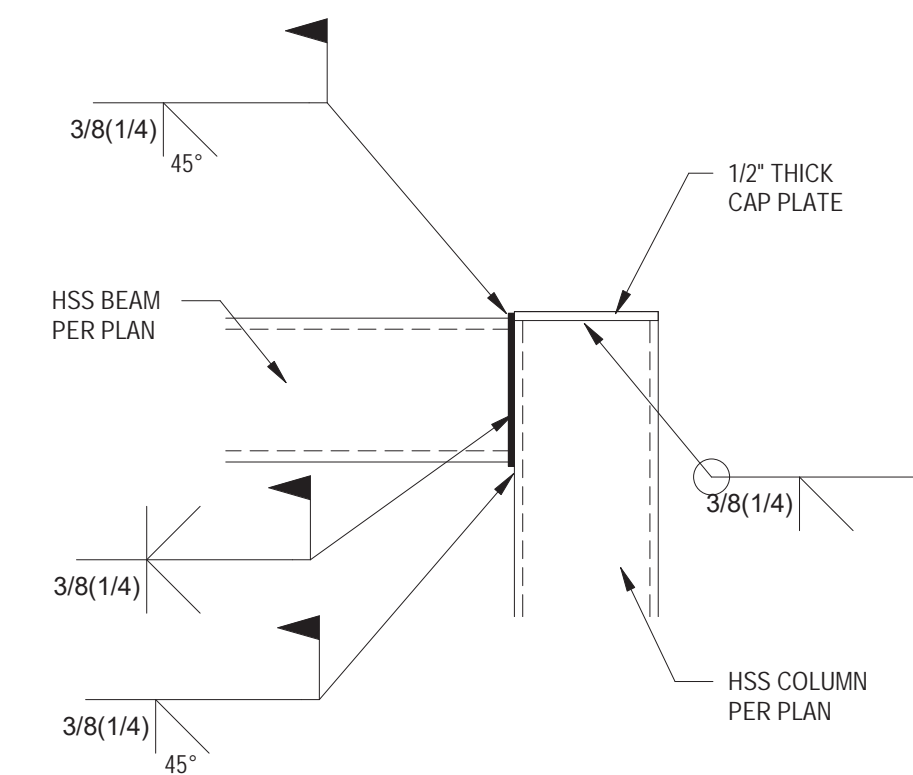


11 ROOF SIGN BASE PLATE DETAIL
1" = 1'-0"

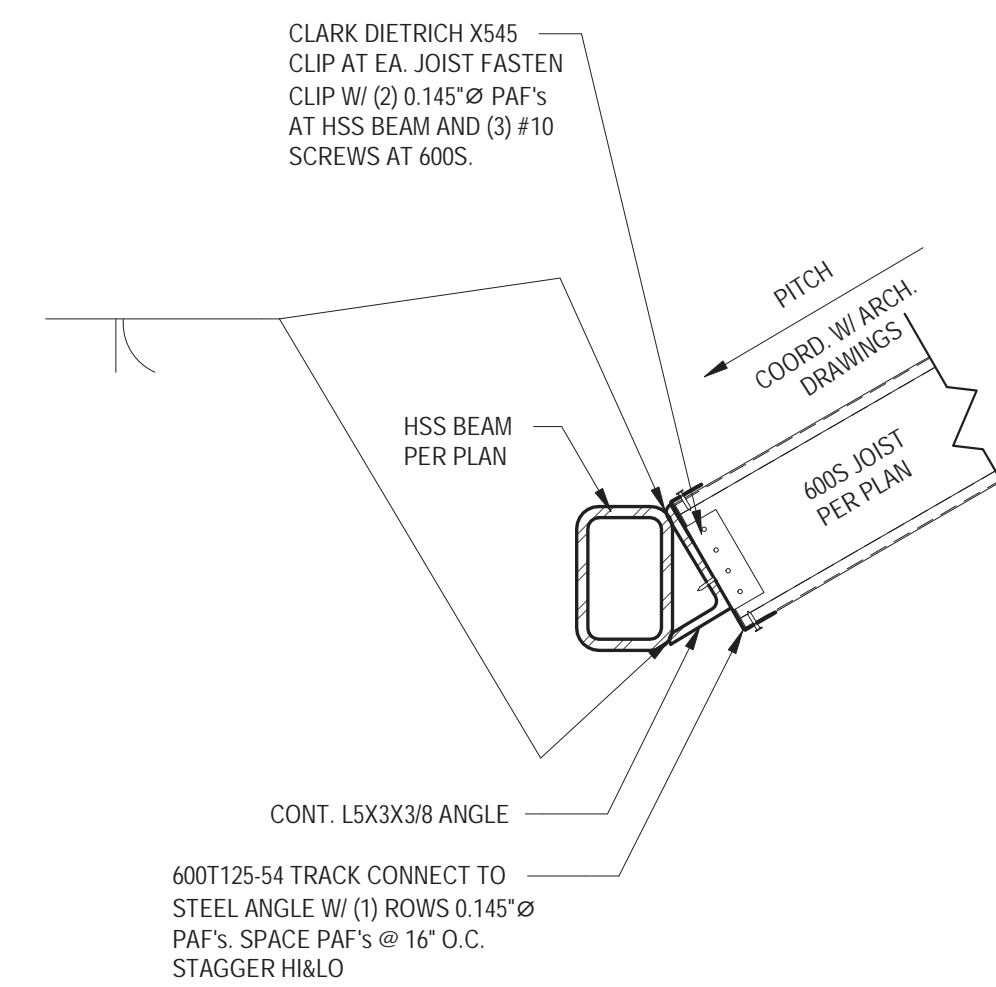
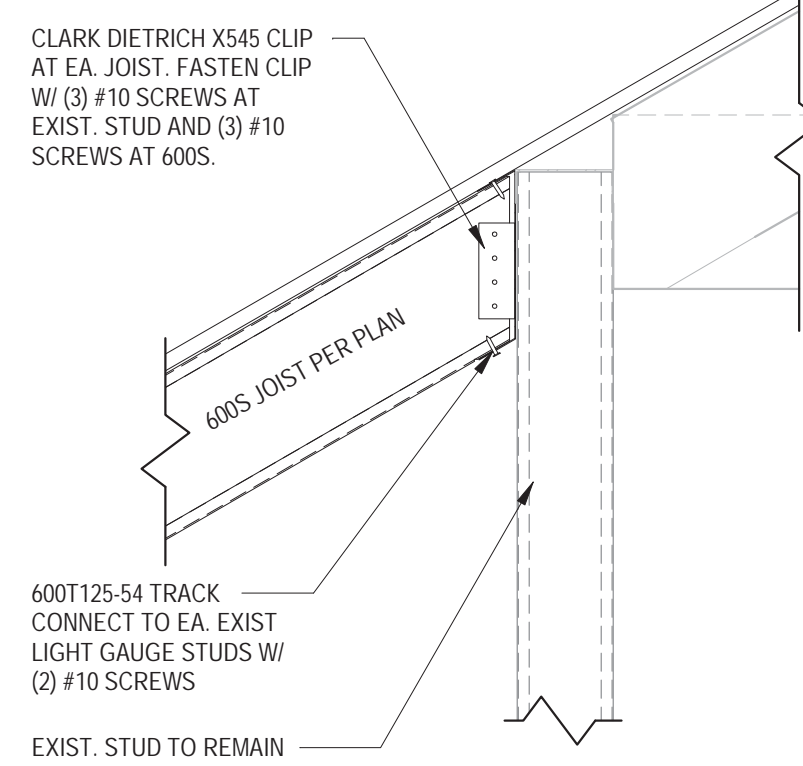
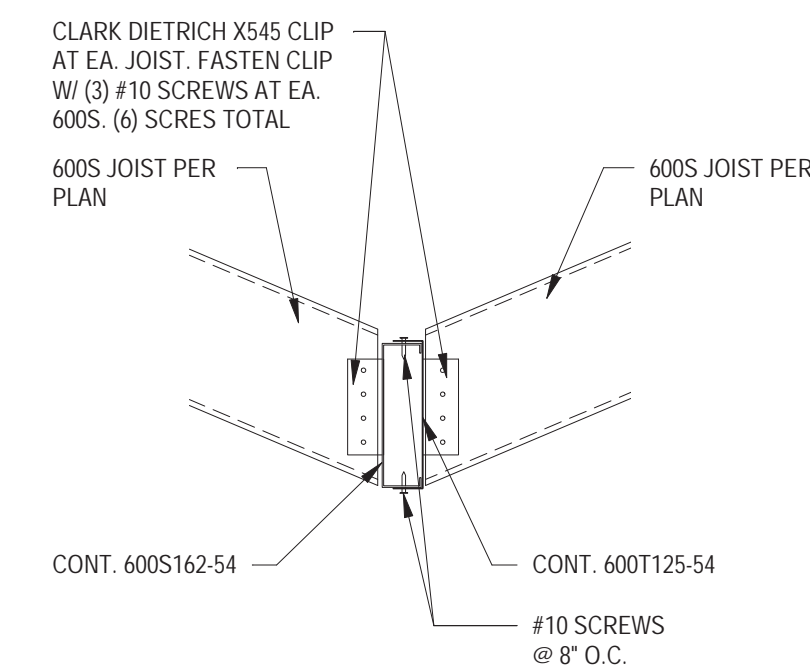
2 JOIST END CONN. AT EXIST. STUD
1 1/2" = 1'-0"



3 JOIST END CONN. AT HSS
1 1/2" = 1'-0"



6 SECTION AT VALLEY
1 1/2" = 1'-0"



NOTE:
STEEL FABRICATOR TO GRIND ANGLE TO ROOF PITCH

- DEMOLITION NOTES
1.

THE DEMOLITION DRAWING IS DIAGRAMMATIC AND SHOULD BE USED FOR REFERENCE ONLY. REFER TO SPECIFICATIONS FOR ADDITIONAL DEMOLITION NOTES AND INSTRUCTIONS.
2.

G.C. SHALL CONDUCT A PRE DEMOLITION WALK THROUGH WITH THE PROJECT MANAGER TO IDENTIFY ANY UTILITIES THAT MUST NOT BE INTERRUPTED.
3.

COORDINATE THE LOCATION AND OPERATION SCHEDULE OF CONSTRUCTION TRASH DUMPSTERS WITH THE LANDLORD.
4.

VERIFY INTEGRITY OF FIRE RATED DEMISING PARTITIONS. ANY EXISTING OR NEW HOLES ARE TO BE PATCHED TO MATCH EXISTING AND FIRESTOPPED. ANY EXISTING OR NEW PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE RATING.
5.

PORTIONS OF OR THE ENTIRE REMODEL MAY BE PHASED. COORDINATE LOCATIONS OF DUST CONTAINMENT BARRIERS AND MAINTAIN OPERATIONS OF ALL LIFE SAFETY EQUIPMENT.
6.

MAINTAIN INTEGRITY OF SPRAY-ON TYPE FIREPROOFING (IF PRESENT). PATCH AND REPAIR ALL AREAS DAMAGED TO MATCH EXISTING. MAINTAIN ALL FIRE RATINGS.
7.

PROVIDE A CLEAN, SMOOTH AND LEVEL SLAB/SUB FLOOR READY TO RECEIVE NEW FINISH FLOORING. ANY HIGH POINTS ARE TO BE KNOCKED/GROUND DOWN, ANY CRACKS, HOLES OR OTHER DEPRESSIONS ARE TO BE FLASH PATCHED.
8.

UTILIZE A LICENSED ELECTRICIAN TO 'MAKE SAFE' AND ELECTRICAL CONNECTIONS SUBJECT TO DEMOLITION. SELECTIVELY DEMOLISH, COMPLETELY REMOVE AND LEGALLY DISPOSE OF ITEMS SCHEDULED ON THE DRAWINGS. SAID ITEMS BECOME THE PROPERTY OF THE G.C.
10.

REMOVAL OF ANY UTILITIES SHALL BE BACK TO SOURCE, NEAREST MAIN OR DEMISED PREMISES. DO NOT ABANDON UTILITIES IN PLACE.
11.

REMOVE ALL EXPOSED CONDUIT BACK TO J-BOX.
12.

COORDINATE ALL WORK TIMING WITH LANDLORD. CONFORM TO LANDLORD BYLAWS AND RULES.
13.

PROVIDE A BARRICADE AND/OR PROVIDE TEMPORARY WINDOW COVERINGS PER L.L. REQUIREMENTS DURING PERIOD OF WORK. PROVIDE/ OBTAIN NECESSARY BARRICADE AND SIDEWALK PERMITS.
14.

MAINTAIN ACCESS TO BACK ALLEY TO ALL TENANTS.

- DEMOLITION KEY NOTES
- 1

UPROOT EXISTING PLANTS
- 2

DEMOLISH STEEL PIPE
- 3

EXISTING SIDEWALK TO REMAIN.
- 4

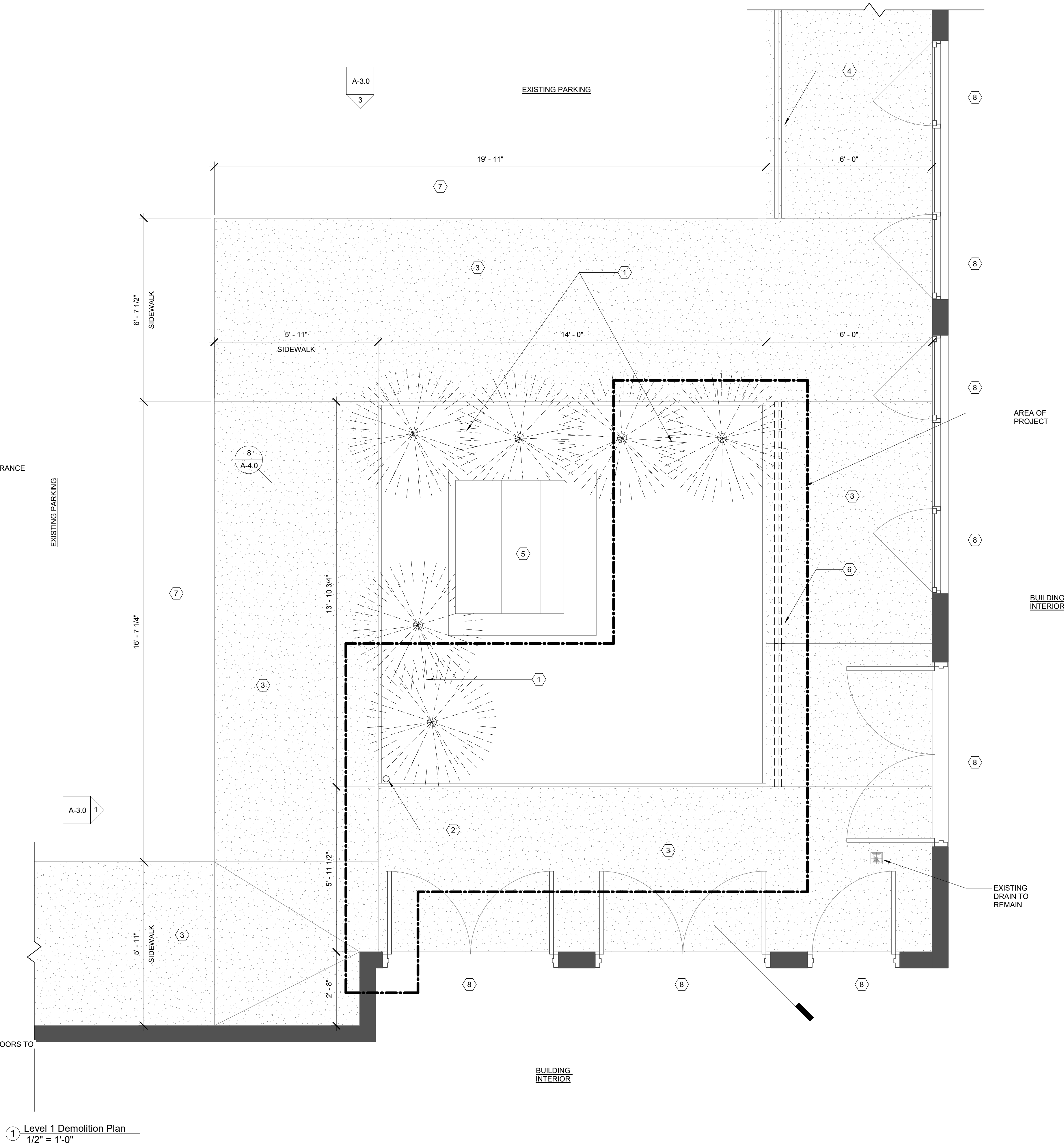
EXISTING RAILING TO REMAIN
- 5

EXISTING GENERATOR TO REMAIN
- 6

EXISTING RAILING TO BE DEMOLISHED
- 7

TYPICAL: DEMO ANY BROKEN OR LOOSE CURB SECTION OR SIDEWALK FINISH
- 8

EXISTING DOOR/WINDOW TO REMAIN



Derek Rubinoff ARCHITECT

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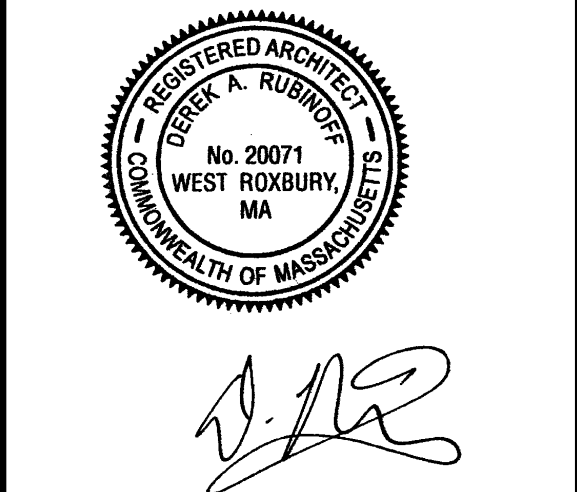
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--	TW	03/16/2022	Permit Set
--	TW	01/11/2022	Option 3 progress set
--	DA	12/08/2021	Option 2 progress set
--	--	10/08/2021	Special Permit Set
No	By	Date	Description

28-30 South Main
Canopy Improvement



22-32 South Main St.
Randolph, MA 02368

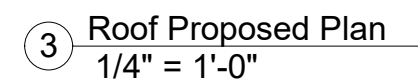
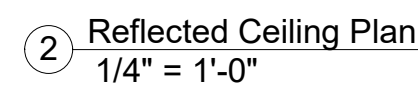
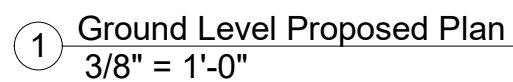
Demolition Plans

Checked By: Checker

Job No: 2069

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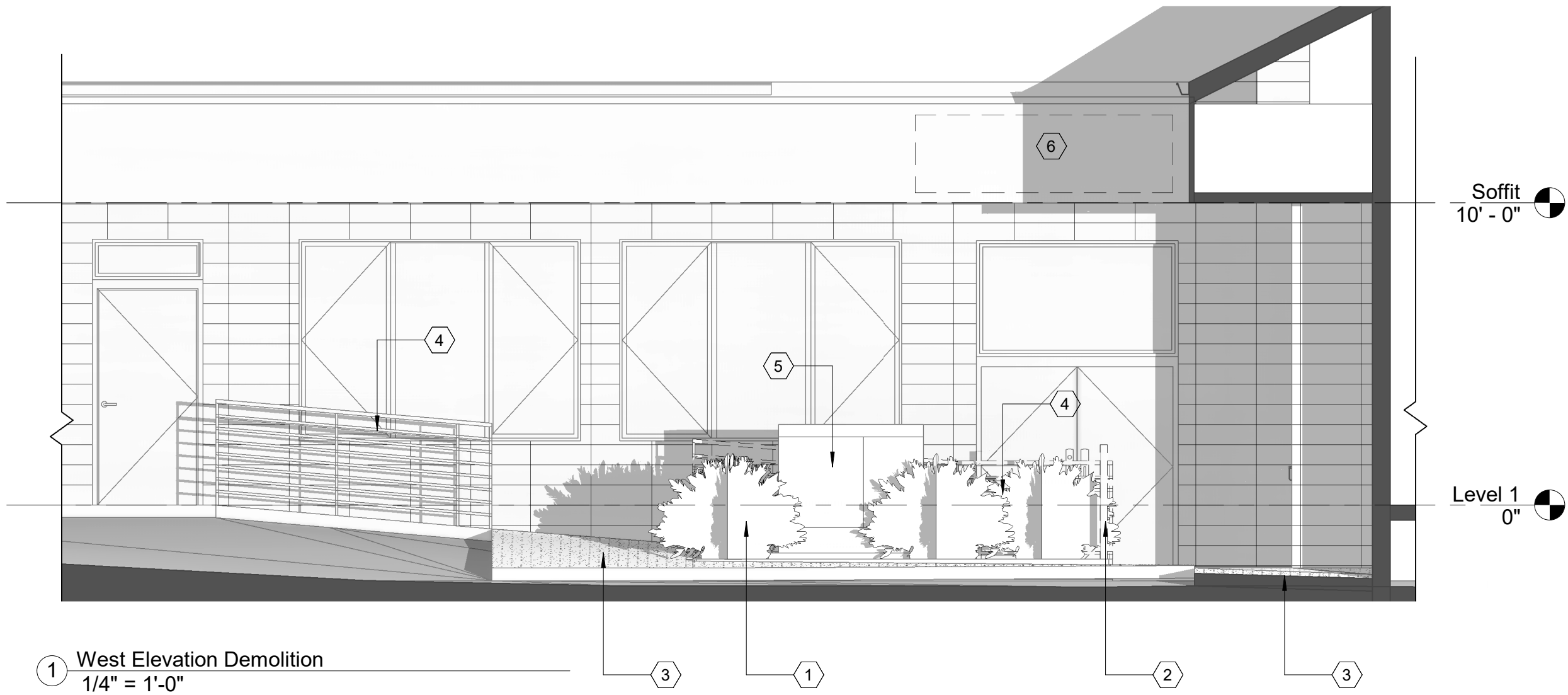
- 1) PTD ALUM. DOWNSPOUT (BLACK)
- 2) PROVIDE RAILING
- 3) PROVIDE LANDSCAPE FILLING AND NEW SHRUBS WITHIN EXISTING PLANTER. PROVIDE GRAVEL AT BASE OF DOWNSPOUT.
- 4) N/A
- 5) PROVIDE STRUCTURAL POST ATTACHED TO NEW ROOF
- 6) PROVIDE ROOF, PROVIDE GUTTER AND DOWNSPOUT
- 7) PROVIDE NEW ROOF SIGN. SEE ELEVATIONS
- 8) EXISTING ROOF TO REMAIN
- 9) PROVIDE SAFETY GATE, NOT LOCKED.
- 10) ANCHOR NEW ROOF TO EXISTING SOFFIT. SEE STRUCTURAL DETAILS
- 11) TYPICAL: REPAIR CONCRETE SIDE WALK CURBS AS NEEDED.
- 12) ANCHOR SIGN TO ROOF. SEE STRUCTURAL DWGS.



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Job No: 2069

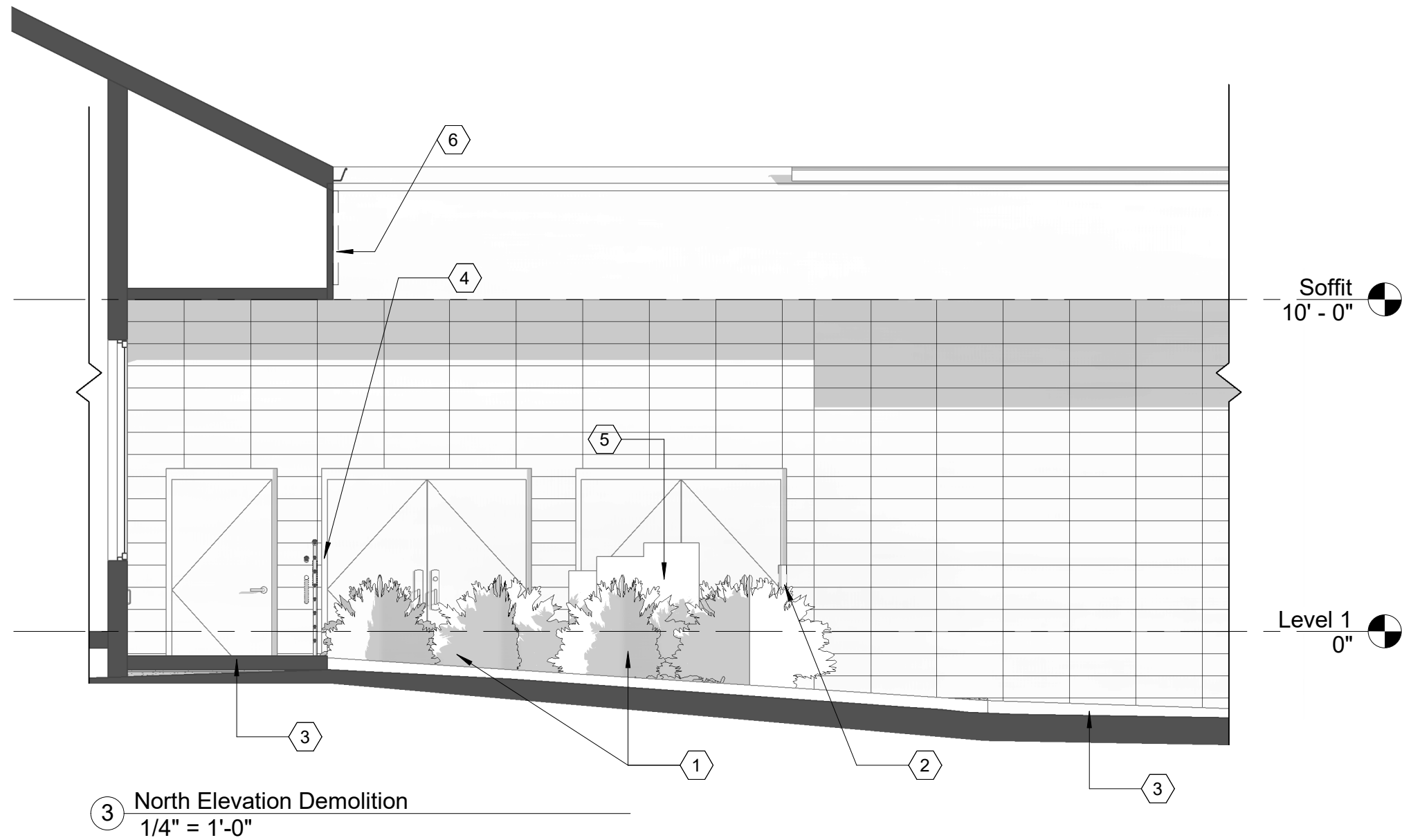
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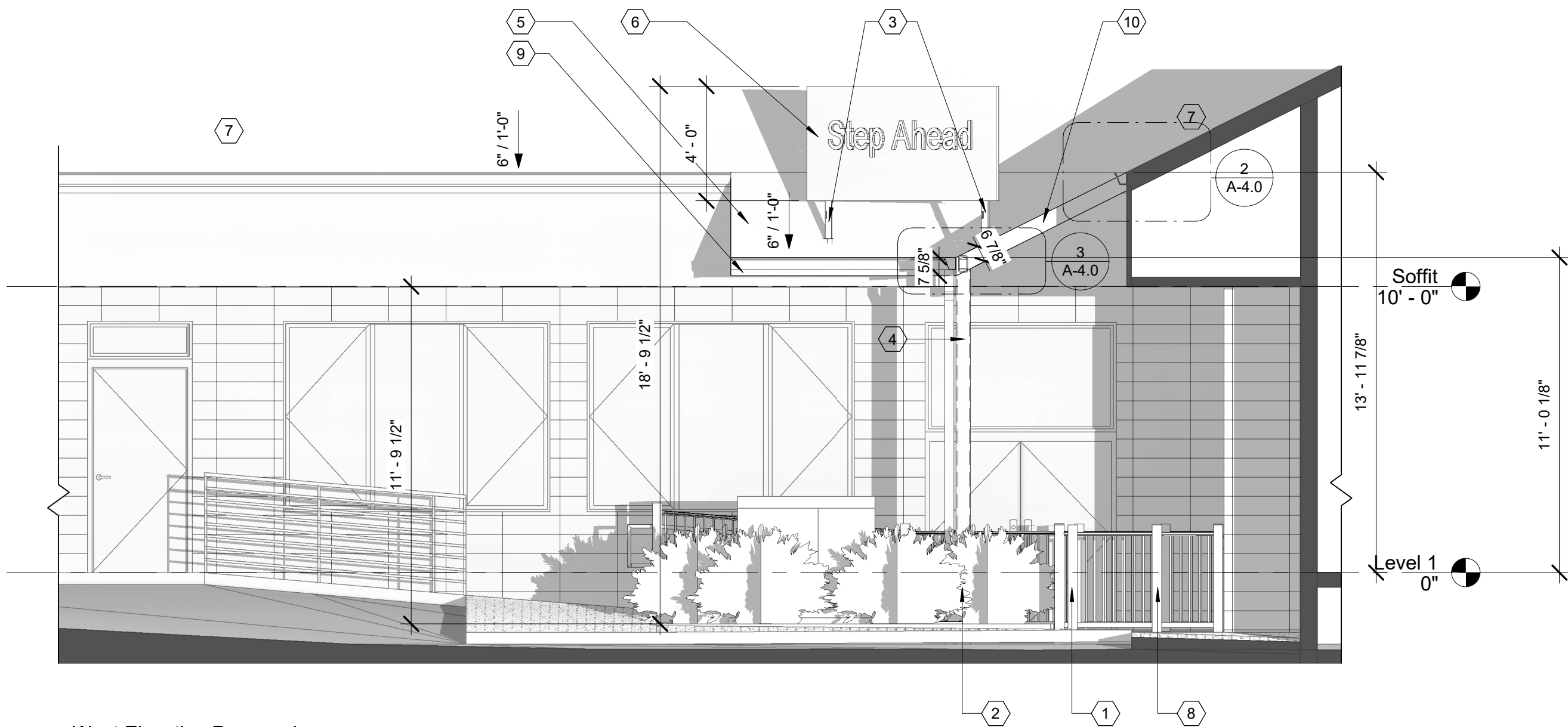
1 West Elevation Demolition
1/4" = 1'-0"

DEMO ELEVATION KEY NOTES

- 1 DEMOLISH EXISTING LANDSCAPING PLANTS
- 2 DEMOLISH STEEL PIPE
- 3 EXISTING SIDEWALK TO REMAIN.
- 4 EXISTING RAILING TO REMAIN
- 5 EXISTING TRANSFORMER TO REMAIN
- 6 REMOVE EXISTING ILLUMINATED DAY CARE SIGN AND CAP POWER



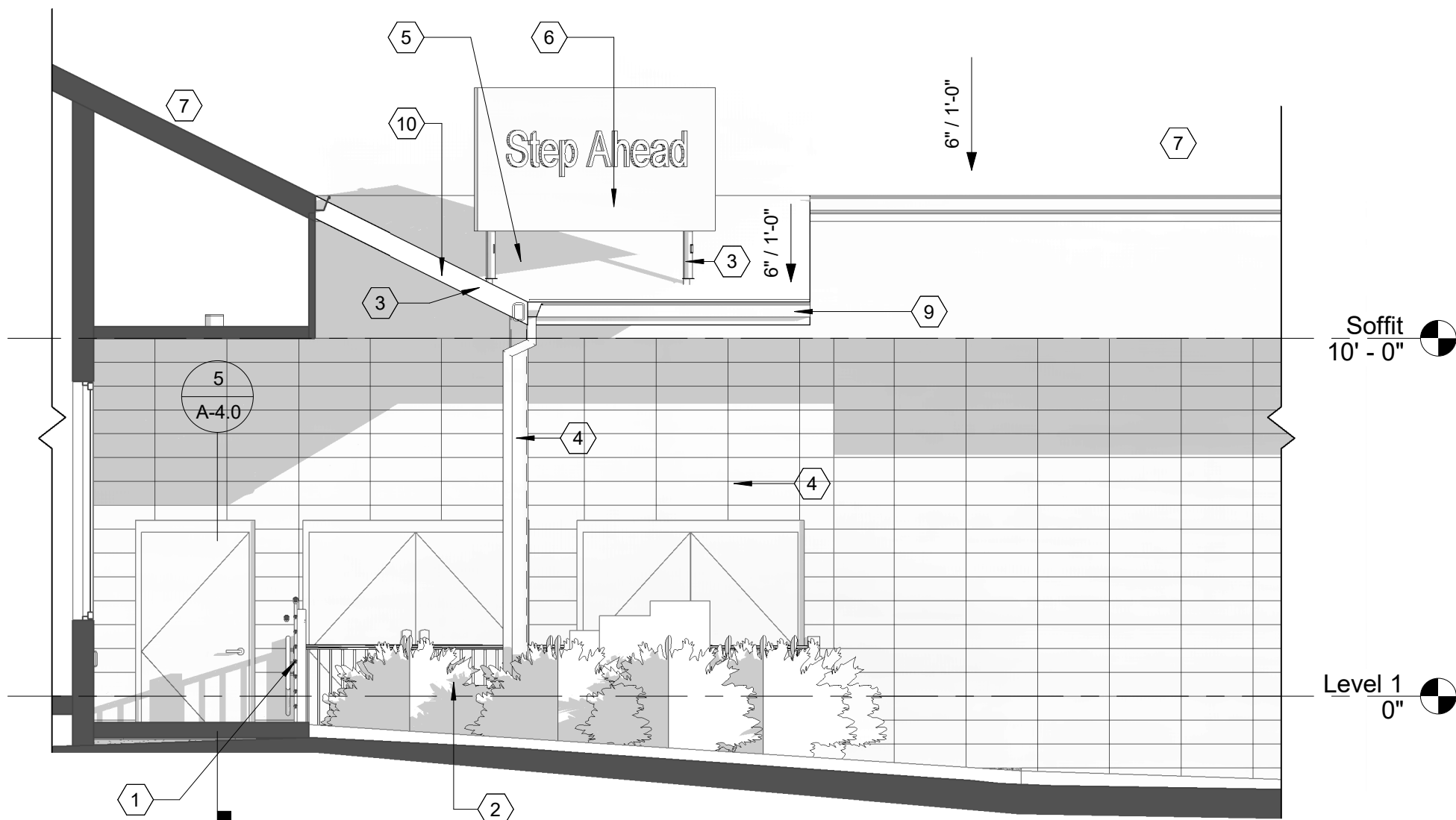
3 North Elevation Demolition
1/4" = 1'-0"



2 West Elevation Proposed
1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 PROVIDE BLACK STEEL RAILING
- 2 PROVIDE LANDSCAPE FILLING AND NEW SHRUBS
- 3 PROVIDE STRUCTURAL SUPPORT FOR ROOF SIGN. SEE STRUCTURAL DWGS.
- 4 PROVIDE BLACK STEEL STRUCTURAL POST ATTACHED TO NEW ROOF AND PAINT WITH AN ALKYD BASED PAINT APPROPRIATE FOR STEEL.
- 5 PROVIDE MEMBRANE ROOF, PROVIDE GUTTER AND DOWNSPOUT
- 6 PROVIDE NEW POWERED SIGN. SIGN SHOWN IS A PLACEHOLDER; SIGN TO BE SUBMITTED AS A SEPARATE PERMIT APPLICATION.
- 7 EXISTING ROOF TO REMAIN
- 8 PROVIDE SAFETY GATE, BLACK METAL. NOT LOCKED.
- 9 WHITE ALUM. FASCIA WITH DRIP EDGE
- 10 PAINTED PVC FASCIA/RAKE BOARD



4 North Elevation Proposed
1/4" = 1'-0"

DEREK RUBINOFF ARCHITECT

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--	TW	03/16/2022	Permit Set
--	TW	01/11/2022	Option 3 progress set
--	DA	12/08/2021	Option 2 progress set
--	--	10/08/2021	Special Permit Set
No	By	Date	Description

28-30 South Main
Canopy Improvement



D. Rubinoff

22-32 South Main St.
Randolph, MA 02368

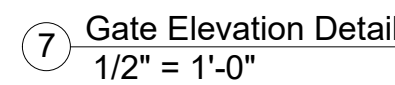
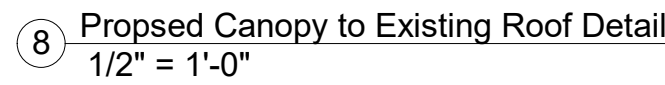
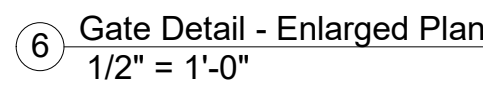
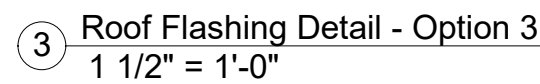
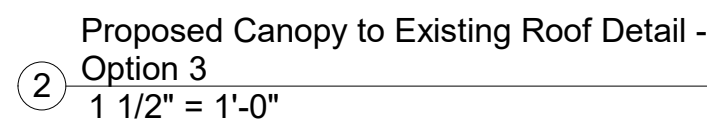
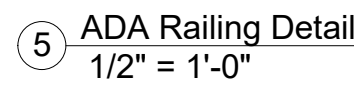
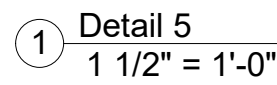
Demo & Proposed
Exterior Elevations

Checked By: Checker

Job No: 2069

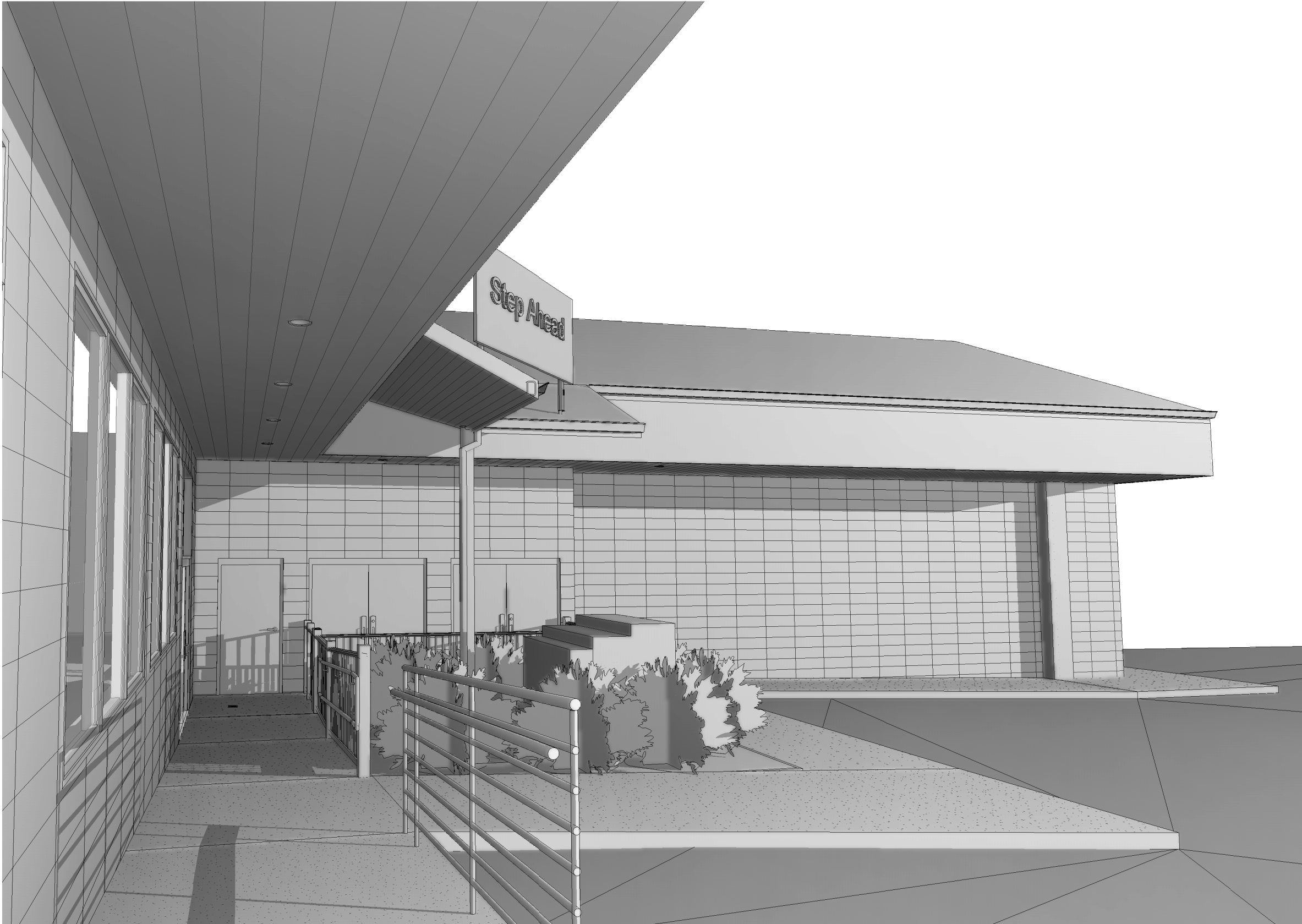
A-3.0

Planting Schedule		
Type	Mark	Count
PL-1	3	Smooth hydrangea (<i>Hydrangea arborescens</i>), 4' tall
PL-2	2	PJM Rhododendron (<i>Rhododendron</i> x PJM), 6' wide and tall
PL-3	4	Glossy abelia (<i>Abelia</i> x <i>grandiflora</i>), 4'-6' tall
Grand total: 9		





1 Proposed Perspective from Sidewalk



2 Proposed Perspective from Sidewalk 2

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Exterior Perspectives

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A-5.0