



# PLANNING BOARD MEETING

Tuesday, May 10, 2022 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

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## AGENDA

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In accordance with Governor Baker's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20, relating to the 2020 COVID 19 emergency, the Planning Board shall meet remotely to avoid group congregation.

**A. Call to Order - Roll Call**

**B. Chairperson Comments**

**C. Approval of Minutes**

1. Minutes Of 4/26/22

**D. Public Speaks**

**E. Public Hearings**

1. SUBDIVISION MODIFICATION - PERRY ESTATES

**F. Old/Unfinished Business**

1. Project review checklist/reminder

2. Master Plan Initiatives

**G. New Business**

1. Preliminary subdivision review of 186 Canton Street

**H. Staff Report**

**I. Board Comments**

**J. Adjournment**

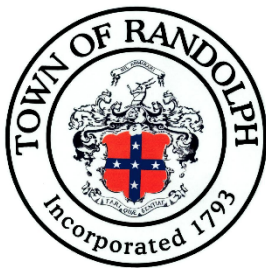
Upcoming Meeting Dates

5/24

6/14 and 6/28

7/12 and 7/26

8/23



# PLANNING BOARD MEETING

Tuesday, April 26, 2022 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

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## MINUTES

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In accordance with Governor Baker's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20, relating to the 2020 COVID 19 emergency, the Planning Board shall meet remotely to avoid group congregation.

### A. Call to Order - Roll Call

#### PRESENT

Alexandra Alexopoulos  
Steve Monteiro  
Tony Plizga  
Nereyda Santos  
Peter Taveira

### B. Chairperson Comments

The chairman announces the passing of Randolph Town Councilor of Kenrick W. Clifton who died unexpectedly on April 21, 2022 recognizing his commitment to the community for more than a decade. A moment of silence was held.

### C. Approval of Minutes

#### 1. Minutes of 3-22-2022

A motion was made by Taveira, seconded by Alexopoulos, that the Minutes of 3/22/22 be approved as amended. The motion passed by the following vote:

Voting Yea: Alexopoulos, Plizga, Santos, Taveira  
Voting Abstaining: Monteiro

#### 2. Minutes of 4-14-2022

A motion was made by Taveira, seconded by Alexopoulos, that the Minutes of 4/14/22 be approved as amended. The motion passed by the following vote:

Voting Yea: Alexopoulos, Plizga, Santos, Taveira

#### **D. Public Speaks**

No comments made.

#### **E. Public Hearings**

##### **1. Perry Estates - request for continuation**

Planner gave an overview of the previous two meetings. The Board requested plan corrections and modifications to be submitted for review. The applicant was not able to have plans available by the Board's requested deadline so requested a continuation to 5/10/22.

A motion was made by Plizga, seconded by Alexopoulos, that the Planning Item be continued to 5/10/22 at 6:15pm. The motion passed by the following vote:

Voting Yea: Alexopoulos, Monteiro, Plizga, Santos, Taveira

##### **2. Kiley Circle - Rescission of a Subdivision**

Hearing opened at 6:17pm by the chair. The property owner is not in attendance in the ZOOM audience.

Planner read the legal ad into the record and provided a brief history on the research on the property and why the Planning Board is considering a rescission. Planner states

Annually, the Town conducts a review and analysis of its digital maps in comparison with the data stored by the Principal Assessor to identify anomalies and disparities with a goal toward reconciling records (either the maps, the Assessor data or both if applicable).

The Town has an obligation to the Commonwealth to maintain a certain threshold of accuracy in order to comply with regulations and, in part, to retain funding that is used for our 911 system.

During one of these reviews, the Planner noted the existence of an unconstructed street Kiley Circle. Files were researched to determine the date of approval of the road layout, any decision and/or conditions and other data that would allow records to be reconciled. The research included:

- requesting/reviewing any files with the Town Engineer
- requesting/reviewing any files with the Principal Assessor
- researching files through the Norfolk Registry of Deeds online portal
- researching files through the Norfolk County Engineering Department

The information found through those records contained many conflicting pieces of information regarding the alleged lots on the purported way listed as Kiley Circle on the Town's maps. Finding significant conflict in data recorded at the Registry of

Deeds, a meeting with the Town's Principal Assessor was held with a request to conduct research on the subdivision and lots as well. He was not able to provide any corrections to the data previously uncovered or new information to supplement what was previously found.

Next a letter was mailed to the current property owner to outline the confusing records and asked if he could provide any clarification or supporting documentation to help answer the questions. This letter was mailed May 2020. There was no response received so the letter was sent a second time in July 2020.

Given the inconsistent data, the lack of information recorded at the registry of deeds and lack of supplemental information provided by the landowner and the need to reconcile the Town's records and maps, in 2022, the Planning Board requested that an additional request be sent to the landowner advising that a public hearing would be scheduled to RESCIND the alleged layout of Kiley Circle.

In January 2022, a letter was sent to the property owner outlining all of the above, providing a copy of the original correspondence from May/July 2020 and advising of the Planning Board intention. The letter again requests information. In April, the landowner visited the Planner at Town Hall to ask about the hearing notification. The Planner again outlined the need for records to resolve the inconsistent data and asked for the owner's help in locating them.

As of the date of this meeting, no additional information has been received for the Board to consider.

Plizga states that the owner Paul Scally reached out to him in August 2020. They met at the owner's workshop located behind his primary residence. Mr. Scally had the full size copy of the Mathematical Correction drawing which was signed off by the Planning Board in the upper right hand corner and recorded by the Norfolk Registry of Deeds. Chairman Plizga also checked with Norfolk Registry and found no indication of a recording of the initial subdivision. The drawings were prepared by Donald Rosa in 2004 and referenced other prior drawings as a source of information but none were of an initial definitive subdivision. Chairman Plizga suggested to Mr. Scally that he contact Donald Rosa or the firm that he worked for to obtain any information available that may uncover a potential initial subdivision plan. In the 2 years since the request, the owner or anyone affiliated with the project has not contacted Chairman Plizga to provide additional information.

Chairman Plizga made a motion to rescind the alleged subdivision of land at 131 Oak Street, Randolph, MA listed as Assessor's parcel 31-B-4.8 pursuant to Massachusetts General Law Chapter 41 Section 81W that provides for a Planning Board, on its own motion, to rescind a plan of a subdivision. The motion was seconded by Alexopoulos.

On discussion the chair states the Planning Board has been unable to locate evidence of an approved subdivision plan recorded at the Norfolk Registry of Deeds as required by Massachusetts General Law Chapter 41, Section 81X. The Board has made numerous requests to the landowner to substantiate such approval and recording to no avail. With no such documentation, the Board should rescind the alleged subdivision of land without prejudice.



Member Monteiro inquires if the land could still be subdivided by the current owners. Chairman Plizga affirms that a definitive subdivision could be resubmitted to the Planning Board.

Voting yea: Alexopoulos, Monteiro, Plizga, Santos, Taveira

At 6:33pm, Plizga made a motion to close the public hearing. Seconded by Taveria.

Voting yea: Alexopoulos, Monteiro, Plizga, Santos, Taveira

## **F. Old/Unfinished Business**

Planning Board members had a lengthy discussion on housing section of the Master Plan.

Planner reached out to Mr. Cook who is the current chair of the Historic Commission. Mr. Cook has forwarded the board members inquiry to the Commission for their preference. He believes that a joint meeting would allow both boards to have a discussion and take joint action on what would be the most appropriate decisions for the town. Planner received a message on April 19 that the chair of the Historic Commission will get back to the Planner to work with the Planning Board and Historic Commission on schedule and joint meetings.

## **G. New Business**

### **1. Preliminary subdivision review of 186 Canton Street**

Applicant was not present for the meeting. Board members will not take any action. The plan will be moved to a future agenda when the applicant makes a request.

### **2. Pham Estates - request for extension**

Planner gave an overview of the approved plan. The applicant has submitted a request for an extension to 7/30/22 to continue the road construction for the subdivision. The reason for the extension is there was a moratorium from Mass DOT for road openings and that ended on 4/1/22. Once the moratorium is lifted, the developer can complete the road opening and curbing that is required on South Main Street. That particular stretch of South Main Street is controlled by MassDOT.

A motion was made by Plizga, seconded by Taveira, that the request for the extension to 7/30/22 by the applicant be approved. The motion passed by the following vote:

## **H. Staff Report**

### **1. Project review checklist/reminder**

Planner provided a draft version of a Site Plan & Design Review Checklist to board members that they can refer to during evaluation of proposed development plans. The chairman asked that each member review and provide comments for modification at the next meeting.

Other updates

Allen Street- the foundation, concrete walls and substructure have been constructed as of last week.

Section C, Item 1.

## **I. Board Comments**

Taveira is concerned about the water demand for the town because of the continue of new developments. Brief discussion that development cannot be "prevented" due to the potential for water demand but the Board should consider impact of development and potential mitigation measures for every project.

## **J. Adjournment**

Adjourned at 7:25pm.

Motion made by Alexopoulos, seconded by Taveira.

Voting Yea: Alexopoulos, Monteiro, Plizga, Santos, Taveira

Meeting schedule

5/10 and 5/24

6/14 and 6/28

7/12 and 7/26

The Randolph Planning Board will conduct a public hearing on Tuesday, March 8, 2022 at 6:15pm for the request of Michael Perry to modify the subdivision of land at 297 Chestnut Street, Randolph, assessor's map 25-B-68 to create an additional lot. The meeting will be conducted via video conference ZOOM. The link to join is <https://us02web.zoom.us/j/81987961210>. Plans and information may be viewed at the Town Clerk's Office during regular business hours.

Publish 2/18 and 2/25

**FORM C2****REQUEST FOR MODIFICATION, RESCISSION OR  
AMENDMENT TO A DEFINITIVE SUBDIVISION PLAN**

<b>Subdivision Name</b>	<b>297 Chestnut</b>		<b>Date Endorsed by Planning Board</b>	<b>11/25/2002</b>
<b>Norfolk Registry Recording</b>	<small>Plan No.</small> <b>2003-31</b>	<small>Year</small> <b>2002</b>	<small>Plan Book</small> <b>504</b>	<small>Page</small> <b>31</b>
<b>Request</b>	<input checked="" type="checkbox"/> <b>Modification</b> <input type="checkbox"/> <b>Rescission</b> <input type="checkbox"/> <b>Amendment</b>			
<b>Description</b>	Applicant is proposing to subdivide the lot previously designated as Lot 8-B into			
two, conforming lots and extend the right of way.				

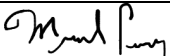
All modifications require back-up material to support the request and a filing fee per the Fee Schedule. Modifications may require review by the Planning Board consulting engineer, the expense to be borne by the Applicant.

Major Modifications require a public hearing and must meet the requirements of MGL Chapter 41, Section 81W and the Planning Board Rules and Regulations Governing the Subdivision of Land. All prior conditions of approval shall remain in full force and effect.

Pursuant to MGL Chapter 41, Section 81W, this Modification/Rescission/Amendment shall take effect when (1) the Plan as originally approved or a copy thereof and a certified copy of the vote of the Planning Board making such Modification/Rescission/Amendment and any additional plan referred to in such vote, have been recorded and (2) an endorsement has been made on the plan originally approved as such vote is indexed in the grantor index under the names of the owners of record of the land affected.

Permission of the owners affected by any change to the subdivision plan and of the mortgage holders must be obtained. The Modification/Rescission/Amendment approved shall not affect the lots in the subdivision which have been sold or mortgaged in good faith and for valuable consideration or any rights appurtenant thereto, without the consent of the owner of such lots, and of the holder of the mortgage(s) if any thereon. Written consent from said owners and mortgages, if any is attached hereto.

*\*Attach a list of lot owners, addresses and signatures of consent.*

Applicant	Michael Perry		
Contact person	Michael Perry		
Address	297 Chestnut Street Randolph MA 02368		
Phone	781-727-9096	Email	mperry02368@yahoo.com
Signature	 11 / 11 / 2021		

☒ Check if Applicant is equitable owner (purchaser on a purchase and sales agreement)

Property Owner			
Address			
Address2			
Phone		Email	
Signature			

### PLANNING OFFICE USE ONLY

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

Items Received: ☐ Application ☐ Print Copies ☐ Digital File

Filing fee paid AMT: \_\_\_\_\_ Check # \_\_\_\_\_

<b>TITLE</b>	form_c2_modification_to_approved_definitive_draft_final_eff...
<b>FILE NAME</b>	form_c2_modificat...ive_1-28-2020.pdf
<b>DOCUMENT ID</b>	b657c4bc6f95e87e71d8ceef839cf088ae3a9895
<b>AUDIT TRAIL DATE FORMAT</b>	MM / DD / YYYY
<b>STATUS</b>	● Completed

## Document History



SENT

**11 / 10 / 2021**

20:11:32 UTC

Sent for signature to Michael Perry (mperry02368@yahoo.com)  
from info@mundenengineering.com  
IP: 64.18.157.12



VIEWED

**11 / 10 / 2021**

20:31:48 UTC

Viewed by Michael Perry (mperry02368@yahoo.com)  
IP: 184.90.63.203



SIGNED

**11 / 11 / 2021**

18:44:18 UTC

Signed by Michael Perry (mperry02368@yahoo.com)  
IP: 184.90.63.203



COMPLETED

**11 / 11 / 2021**

18:44:18 UTC

The document has been completed.

# FORM D

## REQUEST FOR WAIVERS IN A DEFINITIVE SUBDIVISION PLAN



Subdivision Name	297 Chestnut			
Assessor Parcel ID	10155	Norfolk County Registry of Deeds	Book/Page or Certificate # 29949/0482	
Parcel Location	297 Chestnut St Randolph MA	Existing Way	<input type="checkbox"/> Public Way <input checked="" type="checkbox"/> Private Way	Zoning
Parcel Size (sq. ft.)	42,427	Total proposed lots	2	
Definitive plan date	<u>12</u> / <u>20</u> / 2021	Revision Date Revision Date	<u>  </u> / <u>  </u> / <u>  </u>	
Proposed Way #1 to be used as frontage	<input type="checkbox"/> Public Way <input checked="" type="checkbox"/> Private Way	Est Length	332.7 ft	
Proposed Way #2 to be used as frontage	<input type="checkbox"/> Public Way <input type="checkbox"/> Private Way	Est Length		

Applicant	Michael Perry		
Contact person	Michael Perry		
Address	297 Chestnut Street Randolph MA		
Address2			
Phone	781-727-9096	Email	mperry02368@yahoo.com

☐ Check if Applicant is equitable owner (purchaser on a purchase and sales agreement)

I hereby request that the Planning Board waive the requirements of the Sections of the Randolph Subdivision Rules and Regulations referenced below and as the aforementioned Applicant, affirm that without the Planning Board granting said waiver(s), it would pose an unnecessary hardship upon me and, due to specific circumstances relative to the subdivision, or conditions of the land in such subdivision, the granting of this waiver(s) would not be contrary to the spirit and intent of the Town of Randolph Subdivision Rules and Regulations. *(Attach additional sheets if necessary)*

Regulation	Reason for Waiver	
	Proposed alternative	Explanation of why the regulation cannot be accomplished.
<b>VIII.B4e</b>	Less than 25 degree radius could be provided due to the width and position of the lot.	Existing lot line radii at the street does not have a 25 ft radius on the eastern side.
<b>VIII.B5</b>	25 ft right of way width provided.	The lot to be subdivided has 50 ft of frontage on Chestnut Street and reduces to 25 ft width within the first 30 ft of the depth.
<b>VIII.B6</b>	Road grading of 0.5% is provided between stations 2+00 and 2+50	For engineering design of the road this waiver is requested to prevent over cut/fill quantities and keep the natural grading of the site as it is as possible.
<b>VIII.D3-4/6,19</b>	Calculations are performed with 24-hr rainfall data using TR55/TR20 methodologies. / HDPE piping proposed with infiltration system within right of way.	24-hr rainfall data and the TR55/TR20 is the accepted and recommended methodology to calculate peak rate of runoff. HDPE piping is proposed withstanding H-20 loads with adequate cover. The infiltration system is provided under the cul-de-sac for optimal siting.
<b>VIII.BE3a/4a</b>	No fire hydrants or water mains provided.	The proposed right of way and road is to serve one existing single family dwelling with an existing water service connection. Proposed additional lot is closer to the street than the existing house and therefore the new house is also proposed to connect to water main on Chestnut St. with a service line.
<b>VIII.H1-9</b>	No sidewalks provided.	Proposed limitations for road with does not allow room for sidewalks and the proposed road will serve 2 single family dwelling with no room to road extension.
<b>VIII.I</b>	HMA berm provided.	The right of way will serve 2 single family dwellings with no sidewalks .
<b>VIII.M</b>	No Trees Provided	Proposed limitations for road with does not allow room for sidewalks and the proposed road will serve 2 single family dwelling with no room to road extension.

I acknowledge, as the Applicant, that this waiver is requested in accordance with the provisions set forth in the Subdivision Control Law of the Commonwealth of Massachusetts and the Rules and Regulations Governing the Subdivision of Land by the Planning Board of the Town of Randolph.

*G M for Michael Perry*  
Applicant

Gamze Munden signed for Michael Perry

Printed Name

01/10/2022

Date



**To:** Town of Randolph Planning Board  
Att: Michelle Tyler  
41S Main street  
Randolph MA 02368

January 11, 2022

**Re:** Modification to Approved Definitive Subdivision Submittal

Location: **297 Chestnut Street**

Dear Ms. Tyler,

On behalf of the Applicant and Property Owner, Michael Perry, Munden Engineering, LLC has prepared the site plans for the modification to approved definitive subdivision at 297 Chestnut St in Randolph MA. The surveyor's subdivision plan can be found as the sheet 2 of the plan set. At your request we can submit additional copies of this page.

The proposed modification to the approved definitive subdivision and site development involves subdividing the existing lot 8-B into two lots and modifying the existing roadway to serve both proposed lots. The project will require the partial demolition of the existing driveway that serves the existing single-family home on lot 8-B and reconstructing the existing roadway layout to be 322-ft long by 25-ft wide right-of-way with a 50-ft radius cul-de-sac. The cul-de-sac will provide access to the proposed two-lot subdivision, lots 8-B1 and 8-B2. The existing single-family home will reside on the proposed lot 8-B2 and the construction of a new residential home with associated utility services is proposed on lot 8-B1. A stormwater management system is proposed within the improved roadway layout and consists of a deep-sump, hooded catch basin, proprietary treatment system and subsurface infiltration chambers.

We have also prepared stormwater management report for detailed hydrological and compliance calculations and a stormwater permit is being submitted to the engineering department at the same time as this submission.



Munden Engineering

mundenenginee  
[info@mundenengineering.com](mailto:info@mundenengineering.com)  
781-302-6099

Section E, Item1.

Munden Engineering represents the applicant for civil engineering design and permitting services. Please contact our offices at 781-302-6099 or at [info@mundenengineering.com](mailto:info@mundenengineering.com) should you have any questions or need additional information.

Best Regards,

Gigi Munden, P.E.  
Munden Engineering  
781-302-6099  
[info@mundenengineering.com](mailto:info@mundenengineering.com)

**Enclosures:**

Form C2 – Request For Modification, Rescission or Amendment To A Definitive Subdivision Plan

Form D – Request for Waivers in a Definitive Subdivision Plan

Site Plan prepared by Munden Engineering and Don Rosa, PLS with plan set date 12/20/2021



LEGEND		
DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE		
RIGHT-OF-WAY LINE		
ABUTTERS LOT LINE		
EASEMENT LINE		
BUILDING SETBACK		
LIMITS OF WORK		
BUILDING		
EDGE OF PAVEMENT		
DIRT ROAD		
EDGE OF CURB		
SIDEWALK		
PAVEMENT SAWCUT LINE		
INTERMEDIATE CONTOURS		
INDEX CONTOURS		
SPOT GRADE		
GRAVITY SANITARY SEWER		
STORM DRAIN		
WATER SERVICE		
UNDERGROUND ELECTRIC LINE		
TEL-DATA SERVICE		
COMMUNICATION SERVICE		
CABLE TV SERVICE		
GAS SERVICE		
SANITARY SEWER MANHOLE		
STORM DRAIN STRUCTURES		
WATER SERVICE STRUCTURES		
ELECTRICAL SERVICE STRUCTURES		
COMMUNICATION STRUCTURES		
GAS SERVICE STRUCTURES		
STONE WALL		
TREELINE		
EROSION CONTROL (SILT FENCE)		
TEST PIT		

### ABBREVIATIONS

BC	BITUMINOUS CURB	MIN	MINIMUM
BIT	BITUMINOUS	MON	MONUMENT
BLDG	BUILDING	NTS	NOT TO SCALE
BND	BOUND	N/A	NOT APPLICABLE
BOC	BOTTOM OF CURB	N/F	NOW OR FORMERLY
BOT	BOTTOM	OHW	OVERHEADWIRES
BW	BOTTOM OF WALL	PVC	POLYVINYL CHLORIDE
CB	CATCH BASIN	PVMT	PAVEMENT
CEM	CEMENT	R	RADIUS
CO	CLEAN OUT	RD	ROOF DRAIN
CONC	CONCRETE	REV	REVISION
DIA	DIAMETER	ROW	RIGHT-OF-WAY
DMH	DRAIN MANHOLE	R&D	REMOVE AND DISPOSE
EG	EXISTING GRADE	R&R	REMOVE AND RESET
EL/ELEV	ELEVATION	R&S	REMOVE AND STACK
ELEC	ELECTRIC	SAN	SANITARY
EMH	ELECTRIC MANHOLE	SCH	SCHEDULE
EOP	EDGE OF PAVEMENT	SF	SQUARE FOOT
EXIST	EXISTING	SMH	SEWER MANHOLE
FFE	FINISHED FLOOR ELEVATION	TBM	BENCHMARK
G	GAS	TC	TOP OF CURB
GC	GRANITE CURB	TP	TEST PIT
GRAN	GRANITE	TW	TOP OF WALL
INV	INVERT	TYP	TYPICAL
IP	IRON PIN	UP	UTILITY POLE
LOW	LIMIT OF WORK	W	WATER
MAX	MAXIMUM	WG	WATER GATE
MH	MANHOLE	WV	WATER VALVE

### STORMWATER MANAGEMENT NOTES:

- ALL STORMWATER MANAGEMENT AND EROSION CONTROL SYSTEMS PROPOSED IN THIS PLAN REFER TO THE STORMWATER REPORT ACCOMPANYING THIS PLAN PREPARED BY THE SAME OFFICE.

### EXISTING UTILITY NOTES:

- EXISTING UTILITIES ARE AS SOWN IN MOST RECENT SURVEY AND/OR AS SHOWN ON THE AS BUILT PLAN ENTITLED "AS-BUILT PLAN OF LAND" PREPARED BY NORFOLK RAM GROUP AND DATED MAY 2005.
- SEWER MANHOLE RIM ELEVATIONS ARE AS DETERMINED BY THE LATEST SURVEY. SMH #1 INVERT ELEVATION AS PROVIDED BY RECET SURVEY. SMH #2 INVERT ELEVATION CALCULATED BY SUBTRACTING THE RIM-INVERT DIFFERENCE OF THE AS-BUILT PLAN FROM THE RIM ELEVATION DETERMINED BY RECENT SURVEY.
- INVERT AT THE NEW SERWER SERVICE CONNECTION MUST BE DETERMINED ON-SITE BY THE CONTRACTOR AND MUST BE CONFIRMED BY THE ENGINEER OF THE RECORD PRIOR TO CORING, CONNECTION AND BACKFILL, BY THE ENGINEER OF THE RECORD.

### GENERAL NOTES:

- NO CONSTRUCTION SHALL BEGIN UNTIL ANY AND ALL PERMITS ARE OBTAINED FROM THE TOWN OF RANDOLPH.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, COORDINATION WITH THE OWNER AND ALL SUBCONTRACTORS, AND THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- COMPLY WITH THE LATEST OSHA STANDARDS FOR EXCAVATING WORK. FOLLOW ALL REQUIREMENTS OF OSHA EXCAVATION STANDARDS INCLUDING, BUT NOT LIMITED TO, THE PROVISION FOR A COMPETENT PERSON ON SITE AND ANY REQUIRED DOCUMENTATION REQUIRING CERTIFICATION BY A PROFESSIONAL ENGINEER.
- PER MASSACHUSETTS LAW, CALL 1-888-DIG-SAFE (1-888-344-7233), THE MUNICIPALITY, AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE DIGSAFE LIST AT LEAST 72 HOURS PRIOR TO ANY UNDERGROUND EXCAVATION ON SITE. SUBMIT DIGSAFE VERIFICATION NUMBER TO THE APPROPRIATE MUNICIPALITY PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IN ADDITION, SOME UTILITIES MAY NOT BE SHOWN. DETERMINE THE EXACT LOCATION OF UTILITIES BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND/OR INTERRUPTIONS IN UTILITY SERVICE. PERFORM TEST PIT EXCAVATIONS AND OTHER INVESTIGATIONS TO LOCATE UTILITIES, AND PROVIDE THIS INFORMATION TO THE ENGINEER, PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS. THE ENGINEER WILL USE THE TEST PIT INFORMATION AND OTHER INFORMATION COLLECTED BY THE CONTRACTOR ON THE LOCATION OF EXISTING UTILITIES TO DIRECT THE CONTRACTOR IN THE EVENT THAT THERE IS A CONFLICT BETWEEN AN EXISTING UTILITY AND THE PROPOSED WORK.
- TEST PITS TO LOCATE EXISTING UTILITIES MAY BE ORDERED BY THE ENGINEER.
- NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THESE PLANS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE TO INSTALL UTILITIES ACCORDINGLY WITH THE TOWN OF BROOKLINE STANDARDS AND TO REQUEST AND SCHEDULE INSPECTIONS.
- PROPOSED AND EXISTING UTILITY ELEVATIONS MUST BE CONFIRMED PRIOR TO INSTALLATION AND BACKFILLING AND APPROVED BY THE ENGINEER OF RECORD.
- WATERPROOFING AND OTHER STRUCTURAL DETAILS MUST BE PERFORMED AND DEPICTED BY A REGISTERED STRUCTURAL ENGINEER.
- AS OF JANUARY 1, 2019, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES, BOTH ON PUBLIC AND/OR PRIVATE PROPERTY.
- AFTER ALL ENGINEERING PERMITS ARE OBTAINED, THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DIVISION A MINIMUM OF 48-HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE SITE UTILITIES AND STORMWATER COMPONENTS INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY BE BACKFILLED.
- THE NEW SERVICE(S) AND/OR STRUCTURE(S) SHALL BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE TOWN ENGINEERING DIVISION. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL ALL PIPING AND STRUCTURES ARE TESTED AND PASS.
- PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT, AN AS-BUILT PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND IN HARD COPY. THE PLAN MUST SHOW ALL UTILITIES AND DRAINAGE COMPONENTS (UTILIZING SWING TIES), ANY EASEMENTS AND FINAL GRADING. THE AS-BUILT PLAN MUST BE STAMPED, SIGNED, AND DATED BY A PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR.
- ALL WORK MUST BE DONE IN ACCORDANCE WITH "TOWN OF RANDOLPH ZONING BY-LAWS". ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE TOWN OF RANDOLPH ENGINEERING DEPARTMENT.
- ALL GAS AND ELECTRIC SERVICE LINES ARE SHOWN AS CONCEPT. THE UTILITY PROVIDER AND OR ELECTRIC/MECHANICAL ENGINEER MUST PROVIDE CONSTRUCTION AND DESIGN DETAILS INCLUDING BUT NOT LIMITED TO THE SIZE, LOCATION, TRENCH DETAIL, AND SETBACKS.

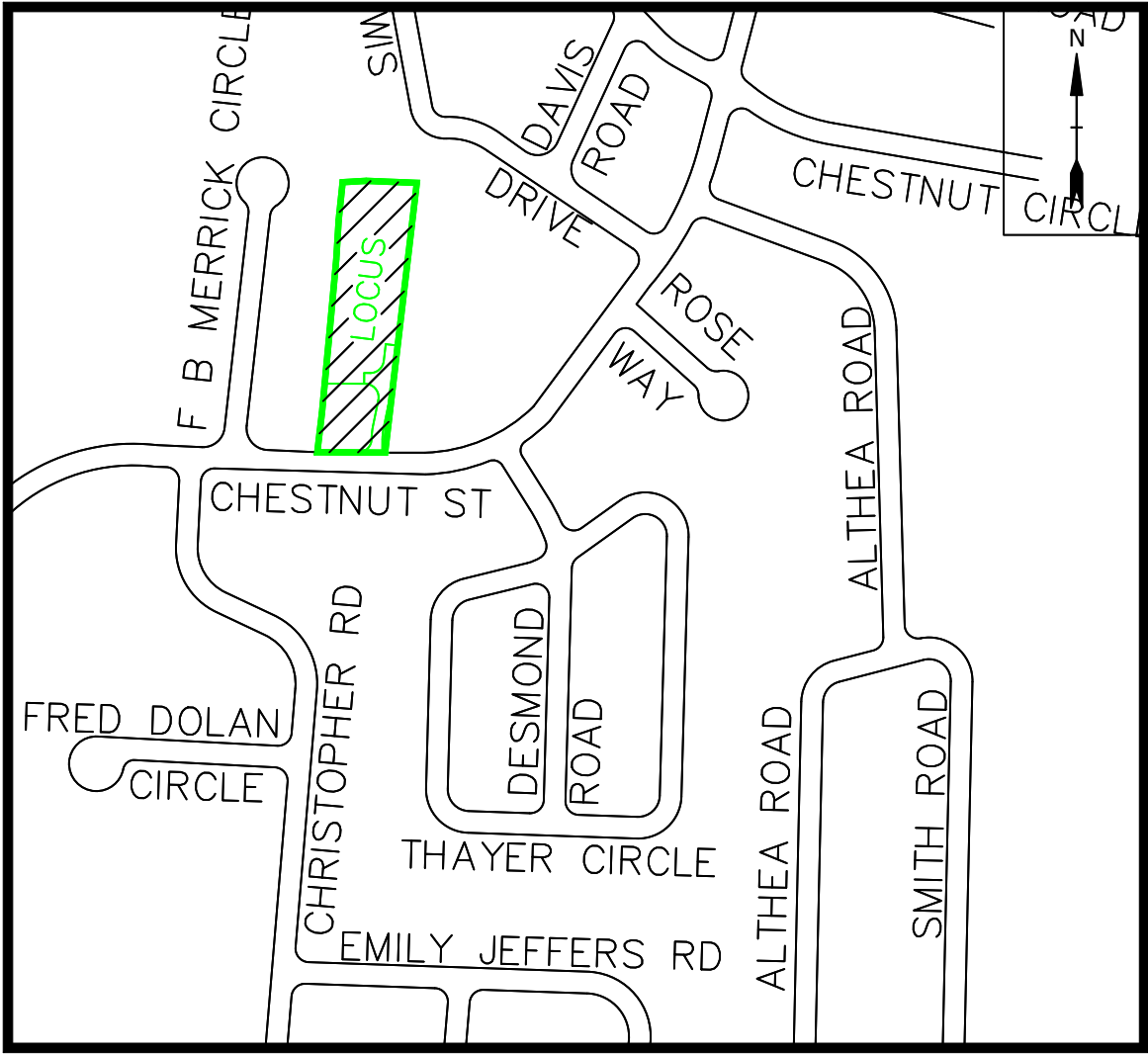
### EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE TOWN OF HOLBROOK CONSERVATION COMMISSION ONE (1) WEEK PRIOR TO THE START OF CONSTRUCTION FOR INSPECTION OF THE EROSION CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
- ALL DISTURBANCES TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN A SURPLUS SUPPLY OF NECESSARY EROSION CONTROL DEVICES ON-SITE FOR EMERGENCY USE (STRAW BALES, WATTLES, FILTER BERM, SILT FENCE, STAKES, CRUSHED STONE).

### CONSTRUCTION SEQUENCE NOTES:

ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.

- NO CONSTRUCTION CAN BEGIN UNTIL ANY AND ALL PERMITS ARE OBTAINED FROM THE TOWN OF RANDOLPH.
- STAKE LIMITS OF CLEARING.
- INSTALL EROSION CONTROL BARRIERS AT LIMIT OF WORK AS DEPICTED.
- SCHEDULE INSPECTION BY CONTACTING THE TOWN OF RANDOLPH.
- PERFORM DEMOLITION OF THE EXISTING SITE APPURTENANCES.
- PERFORM CLEARING AND CURB CUT NECESSARY TO INSTALL STONE CONSTRUCTION ENTRANCES.
- INSTALL CONSTRUCTION ENTRANCES.
- INSTALL REMAINING EROSION CONTROL SYSTEMS.
- SCHEDULE INSPECTION BY CONTACTING THE CITY OF FRAMINGHAM.
- PERFORM CLEARING AND GRUBBING AS NECESSARY.
- STRIP AND STOCKPILE LOAM.
- PERFORM EARTHWORK CUT AND FILLS FOR ROUGH GRADE.
- INSTALL CONCRETE FOUNDATION FOR THE PROPOSED STRUCTURES.
- CONSTRUCT UPPER STRUCTURE INCLUDING ROOFS AND SIDING.
- INSTALLATION OF UTILITIES.
- REMOVE TEMPORARY CONTROLS EXCEPT PERIMETER CONTROLS AND STONE CONSTRUCTION ENTRANCE.
- PERFORM FINE GRADING AND PREPARE SUBGRADE FOR PAVING.
- PERMANENT/FINAL STABILIZATION.
- REMOVE STONE CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROLS.
- PERFORM AS-BUILT SURVEYS AND SUBMIT TO TOWN OF RANDOLPH FOR ACCEPTANCE.



LOCUS MAP  
N.T.S.

### BASE PLAN NOTES:

- THE EXISTING CONDITIONS INFORMATION SHOWN ON THE DRAWINGS IS BASED ON THE FOLLOWING:
  - EXISTING CONDITIONS TAKEN FROM A CAD FILE TITLED "P2252.DWG" PROVIDED TO THE ENGINEERING CONSULTANT BY BORDERLAND ENGINEERING, INC VIA EMAIL IN DWG FORMAT IN AUGUST 2021.
  - AS-BUILT PLAN OF LAND PROVIDED BY NORFOLK RAM GROUP TITLED "LOT 8-A CHESTNUT ST., LOT 8-B PROPOSED ROADWAY OFF CHESTNUT ST." AND DATED MAY 2008.
  - THE DRAWING IS BASED ON N.A.V.D. 88 DATUM.
  - SUB-SURFACE EXPLORATIONS WERE OBSERVED BY GREGORY BUNAVICZ (S.E. #2712). THE SUBSURFACE EXPLORATION LOGS AND LOCATIONS ARE SHOWN ON THE PLANS.
  - THE PROPERTY IS LOCATED WITHIN A SURFACE WATER PROTECTION AREA (ZONE C).
  - THE PROJECT AREA IS NOT LOCATED WITHIN NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP) LIMITS OF ESTIMATED PRIORITY HABITAT.
  - THE PROJECT AREA IS NOT LOCATED WITHIN THE LIMITS OF BORDERING LAND SUBJECT TO FLOODING (BLSF) AND THE 100-YEAR FLOOD ZONE (PANEL #250250, EFFECTIVE DATE 07/17/2021).
- BOLD TEXT AND LINES INDICATE PROPOSED WORK. LIGHT TEXT AND LINES INDICATE APPROX. EXIST. CONDITIONS.

SHEET KEY	
SHEET NO.	SHEET TITLE
1	LEGEND & GENERAL NOTES
2	RE-DIVISION OF DEFINITIVE PLAN OF LAND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	PROPOSED CONDITIONS PLAN
5	DETAILS-1
6	DETAILS-2

### TP-1

DEPTH	EL.
0"	199.10'
12"	198.10'
30"	196.60'
84"	192.10'

NOTES:  
NO MOTTLES OBSERVED  
NO GROUNDWATER OBSERVED  
TERMINATED DUE TO BOULDER

### TP-2

DEPTH	EL.
0"	198.0'
16"	196.67'
33"	195.25'
77"	191.58'
92"	190.33'

NOTES:  
NO MOTTLES OBSERVED  
NO GROUNDWATER OBSERVED  
NO LEDGE OBSERVED

### SUBSURFACE EXPLORATION NOTES:

- TEST PITS WERE PERFORMED BY GREGORY BUNAVICZ (S.E. #2712).
- THE LOGS SHOWN ABOVE REPRESENT THE SOIL DATA PROVIDED BY BORDERLAND ENGINEERING, INC. AND RECIEVED BY MUNDEN ENGINEERING VIA EMAIL ON 08/13/2021.
- THE LOCATION OF THE TEST PITS WERE DETERMINED BASED ON FIELD MEASUREMENTS PERFORMED BY GREGORY BUNAVICZ.
- ELEVATIONS AT THE TEST PIT LOCATIONS WERE DETERMINED BASED ON THE GROUND SURFACE LOCATIONS SHOWN ON THE EXISTING LAND SURVEY PLAN PROVIDED BY DON ROSA, PLS.
- STRATIFICATION LINES REPRESENT APPROXIMATE BOUNDARIES BETWEEN SOIL AND BEDROCK LAYERS. ACTUAL LAYERING MAY BE GRADUAL. FLUCTUATIONS OF GROUNDWATER MAY OCCUR DUE TO OTHER FACTORS THAN THOSE PRESENT AT THE TIMES IT WAS MEASURED.

SUBSURFACE EXPLORATION LOGS  
NOT TO SCALE

Prepared By:



Munden Engineering

P.O. Box 990211  
Boston MA 02199  
781-302-6099  
mundenengineering.com



*[Signature]*

Prepared For:

MICHAEL PERRY  
297 CHESTNUT ST  
RANDOLPH MA  
02368


Rev. No.	Rev. Date	Description
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Date: 12/20/2021

Drawn by: JLV

Approved by: GM

LEGEND & GENERAL  
NOTES

SCALE: AS NOTED

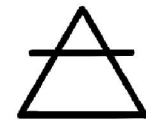
SHEET 1 OF 6







Prepared By:



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mundenengineering.com



Prepared For:

MICHAEL PERRY  
297 CHESTNUT ST  
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02368

Rev. No.	Rev. Date	Description
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Date: 12/20/2021

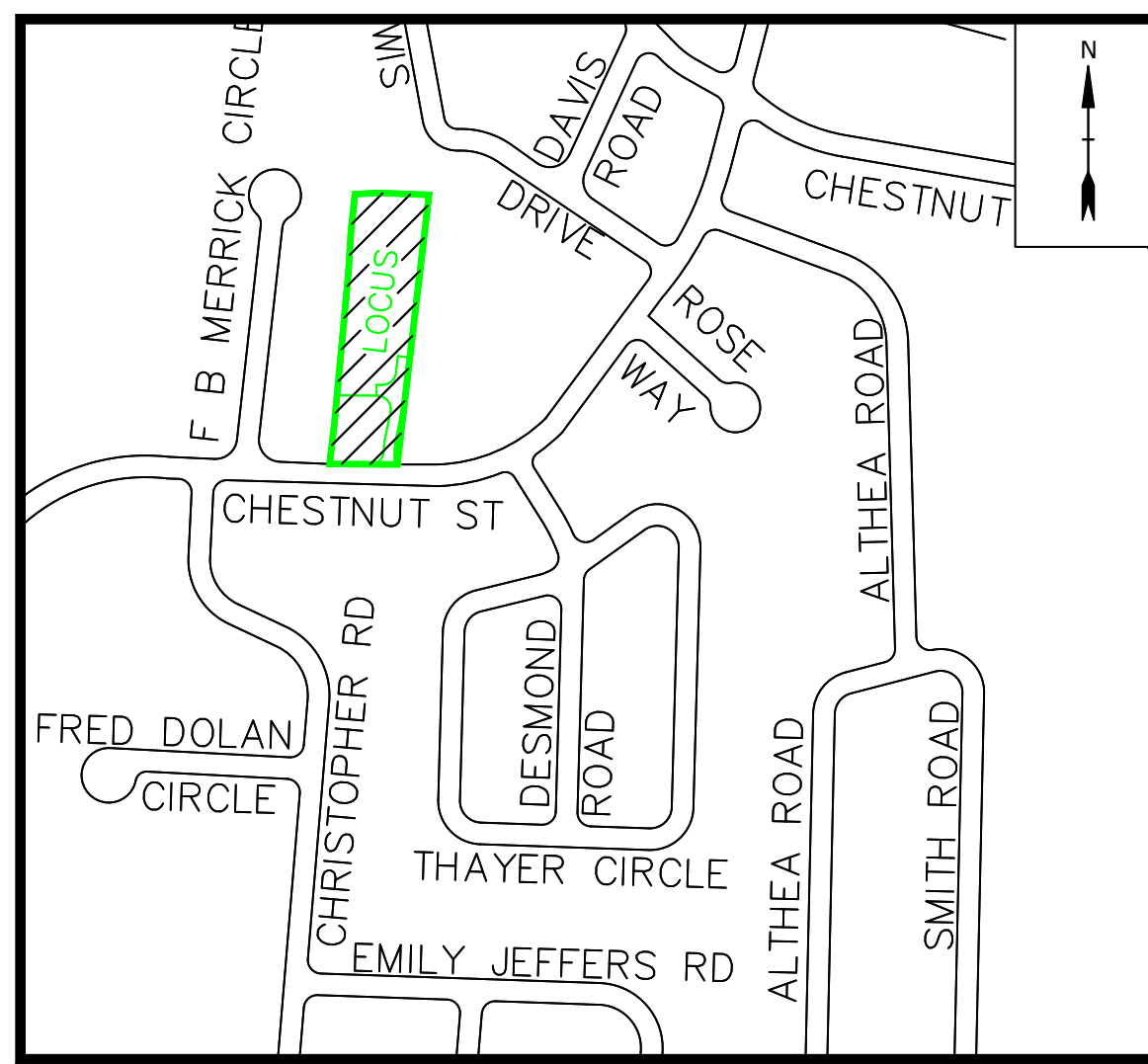
Drawn by: JLV

Approved by: GM

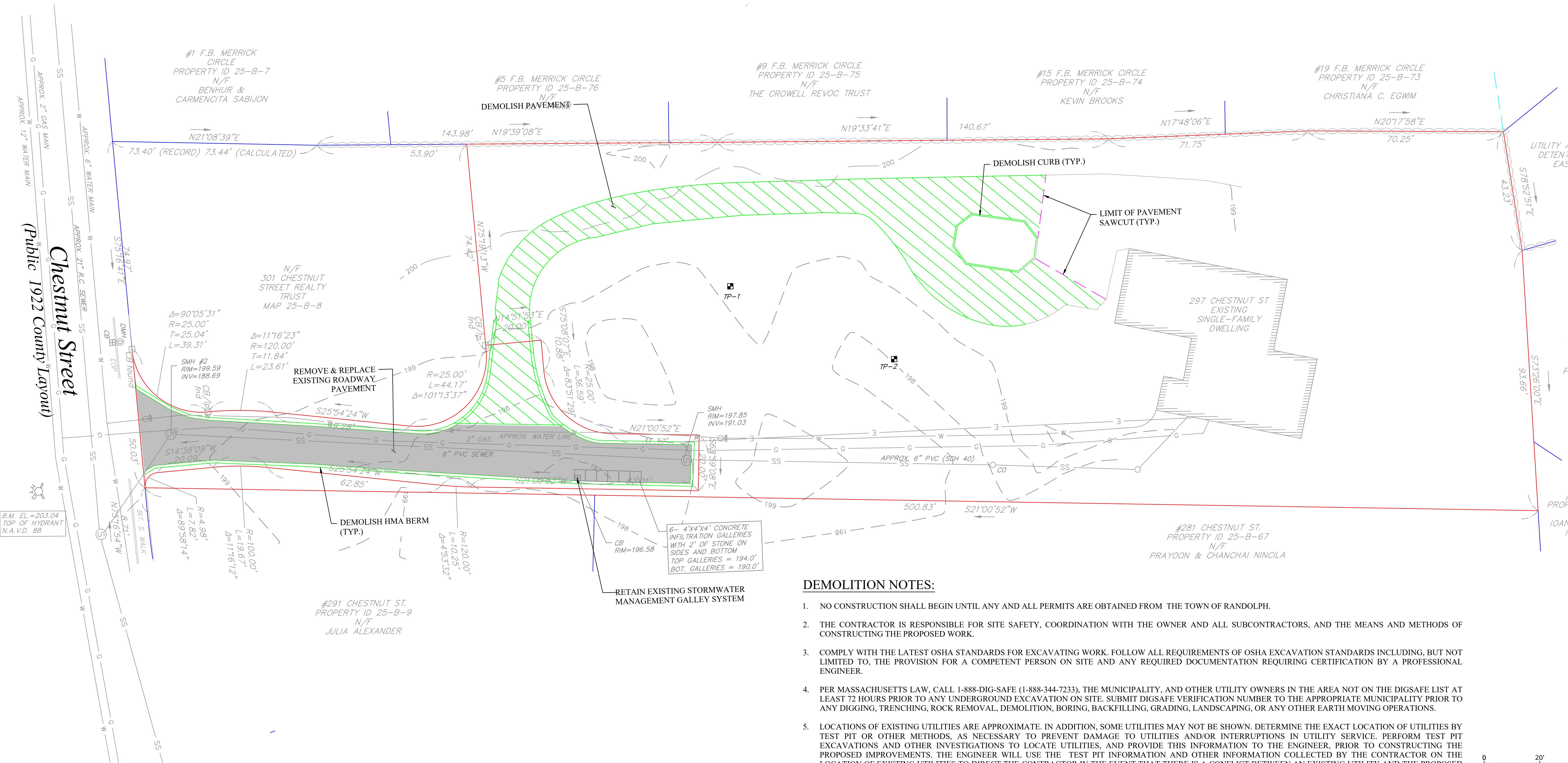
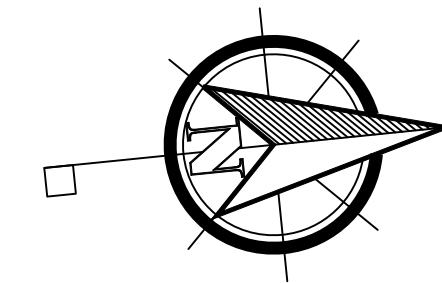
### EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: AS NOTED

SHEET 3 OF 6

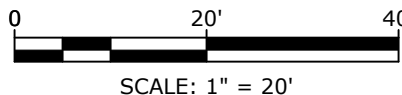


LOCUS MAP  
N.T.S.



#### DEMOLITION NOTES:

- NO CONSTRUCTION SHALL BEGIN UNTIL ANY AND ALL PERMITS ARE OBTAINED FROM THE TOWN OF RANDOLPH.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, COORDINATION WITH THE OWNER AND ALL SUBCONTRACTORS, AND THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- COMPLY WITH THE LATEST OSHA STANDARDS FOR EXCAVATING WORK. FOLLOW ALL REQUIREMENTS OF OSHA EXCAVATION STANDARDS INCLUDING, BUT NOT LIMITED TO, THE PROVISION FOR A COMPETENT PERSON ON SITE AND ANY REQUIRED DOCUMENTATION REQUIRING CERTIFICATION BY A PROFESSIONAL ENGINEER.
- PER MASSACHUSETTS LAW, CALL 1-888-DIG-SAFE (1-888-344-7233), THE MUNICIPALITY, AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE DIGSAFE LIST AT LEAST 72 HOURS PRIOR TO ANY UNDERGROUND EXCAVATION ON SITE. SUBMIT DIGSAFE VERIFICATION NUMBER TO THE APPROPRIATE MUNICIPALITY PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IN ADDITION, SOME UTILITIES MAY NOT BE SHOWN. DETERMINE THE EXACT LOCATION OF UTILITIES BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND/OR INTERRUPTIONS IN UTILITY SERVICE. PERFORM TEST PIT EXCAVATIONS AND OTHER INVESTIGATIONS TO LOCATE UTILITIES, AND PROVIDE THIS INFORMATION TO THE ENGINEER, PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS. THE ENGINEER WILL USE THE TEST PIT INFORMATION AND OTHER INFORMATION COLLECTED BY THE CONTRACTOR ON THE LOCATION OF EXISTING UTILITIES TO DIRECT THE CONTRACTOR IN THE EVENT THAT THERE IS A CONFLICT BETWEEN AN EXISTING UTILITY AND THE PROPOSED WORK.
- TEST PITS TO LOCATE EXISTING UTILITIES MAY BE ORDERED BY THE ENGINEER.
- NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THESE PLANS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
- REFER TO LOCAL UTILITY COMPANIES FOR LOCATION, CONSTRUCTION DETAILS, AND SPECIFICATIONS.







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MICHAEL PERRY  
297 CHESTNUT ST  
RANDOLPH MA  
02368

SHEET 4 OF 6

1. DRAIN PIPES TO BE LAID AT A MINIMUM 1.0% SLOPE.
2. UNDERGROUND UTILITIES (I.E. ELECTRIC, GAS, TEL, CATV) SERVICE LOCATIONS TO BE COORDINATED WITH LOCAL UTILITY COMPANIES.
3. SUFFICIENT COVER SHALL BE MAINTAINED OVER EXISTING UTILITIES AND COORDINATED WITH LOCAL UTILITY COMPANIES.
4. THE PROPOSED SUBSURFACE INFILTRATION SYSTEM FOR THE COLLECTION OF THE STREET DRAINAGE SHALL BE OPERATED AND MAINTAINED THROUGH A HOMEOWNER'S ASSOCIATION (HOA) ESTABLISHED BETWEEN LOTS 8-B1 AND 8-B2.
4. THE APPLICANT OR PROPERTY OWNER SHALL GRANT AN EASEMENT TO THE TOWN OF RANDOLPH ALLOWING ENTRY ON THE PROPERTY AS NECESSARY TO INSPECT, REPAIR OR MAINTAIN THE STORMWATER STRUCTURE OR SYSTEM(S).

INCREASE IN IMPERVIOUS AREAS: 5,491 SF

ROOF	4,362 SF
DRIVEWAY	4,123 SF
ROADWAY	11,026 SF

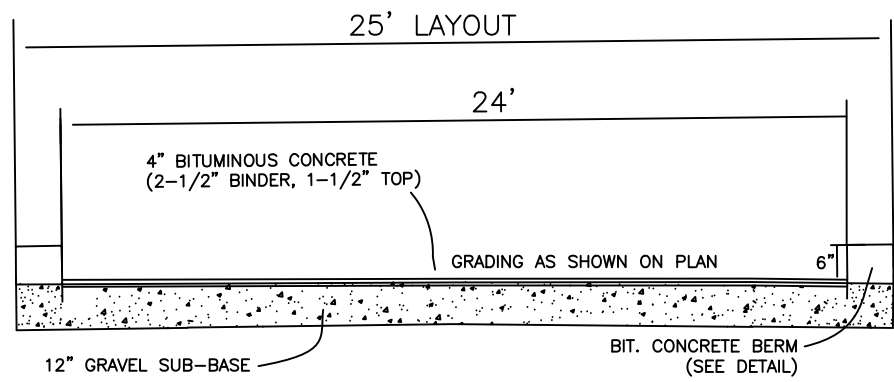
1. MINIMUM RADIUS FOR CORNER INTERSECTION LESS THAN 25-FT (SUB-SECTION VIII.B4c).
2. RIGHT-OF-WAY WIDTH LESS THAN 40-FT EXCEPT AT CUL-DE-SAC ((SUB-SECTION VIII.B5).
3. ROADWAY GRADE LESS THAN 1% BETWEEN STATIONS 2+00 AND 2+50 (SUB-SECTION VIII.B6).
4. THE 2-YR, 10-YR AND 25-YR STORM EVENTS WERE USED FOR DESIGN COMPUTATIONS FOR STREET DRAINAGE (SUB-SECTION VIII.D3/D4).
5. TECHNICAL RELEASE (TR) 20 AND TR-55 METHODOLOGIES WERE APPLIED TO GENERATE A REPRESENTATIVE MODEL OF THE EXISTING AND PROPOSED STORMWATER CONDITIONS (SUB-SECTION VIII.D4). NO FUTURE LAND DEVELOPMENT WILL BE ALLOWED FOR THE PROPOSED 2-LOT SUBDIVISION. (SUB-SECTION VIII.D3/D4).
6. PROPOSED 12-INCH STORM DRAIN TO BE HDPE WITH ADEQUATE STRENGTH (H-20 LOADING) IN LIEU OF REINFORCED CONCRETE (SUB-SECTION VIII.D6).
7. SUBSURFACE INFILTRATION SYSTEM FOR STREET DRAINAGE PROPOSED WITHIN RIGHT-OF-WAY (SUB-SECTION VIII.D19).
8. NO WATERMAINS OR FIRE HYDRANTS PROPOSED. WATER SERVICE SHALL BE PROVIDED FROM EXISTING WATERMAIN ON CHESTNUT STREET (SUB-SECTION VIII.E3a/E4a).
9. NO PAVED SIDEWALKS PROPOSED (SUB-SECTION VIII.H1-9).
10. HMA BERM PROPOSED IN LIEU OF VERTICAL GRANITE CURBING (SUB-SECTION VIII.I2).
11. NO STREET TREES PROPOSED (SUB-SECTION VIII.M).



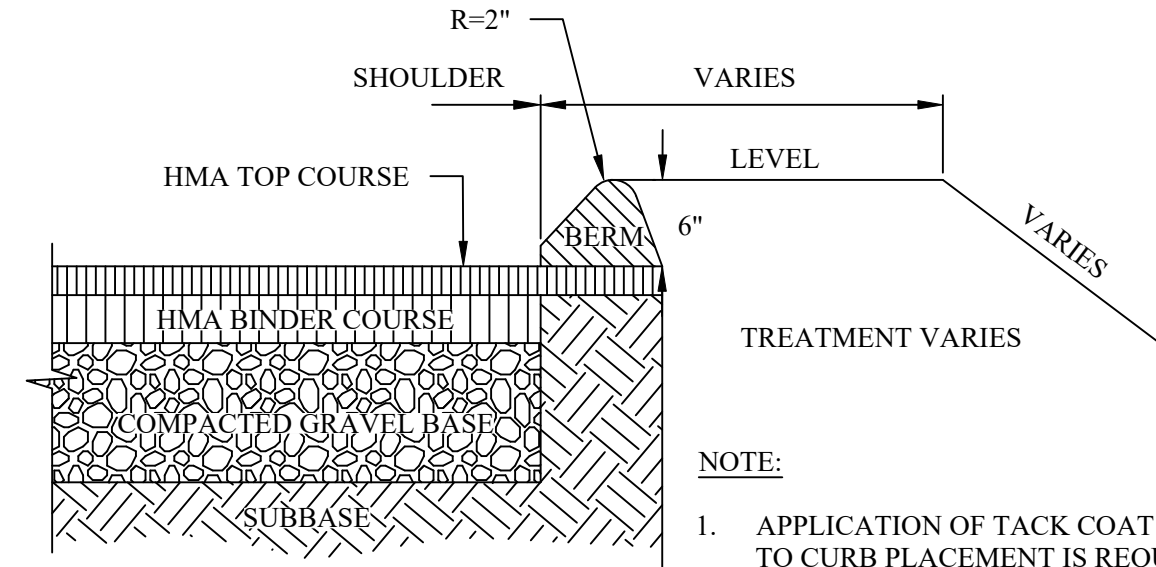




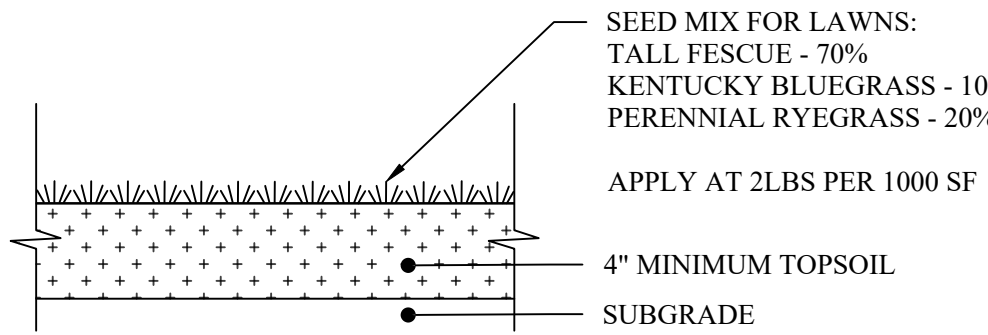




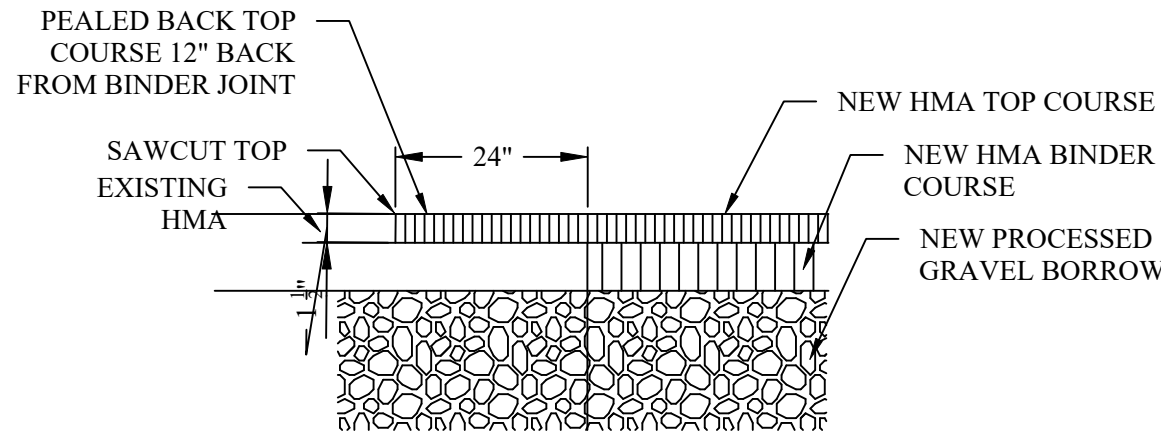
25 FT RIGHT OF WAY LAYOUT  
NOT TO SCALE



HMA BERM DETAIL  
NOT TO SCALE



LAWN AREAS  
NOT TO SCALE



TYPICAL BUTT JOINT  
TO EXISTING PAVEMENT  
NOT TO SCALE

FLAT TOP		
ITEM NO	ITEM	WEIGHT
1	HOLE MH4-FT4ID	1,620#
2	HOLE MH4-FT4ID2H	930#

ECCENTRIC CONE		
HEIGHT	ITEM NO	WEIGHT
1'-6"	MH4-18CS4ID	1,335#
2'-0"	MH4-24CS4ID	1,783#
2'-6"	MH4-30CS4ID	2,231#
3'-0"	MH4-36CS4ID	2,677#
4'-0"	MH4-48CS4ID	3,425#

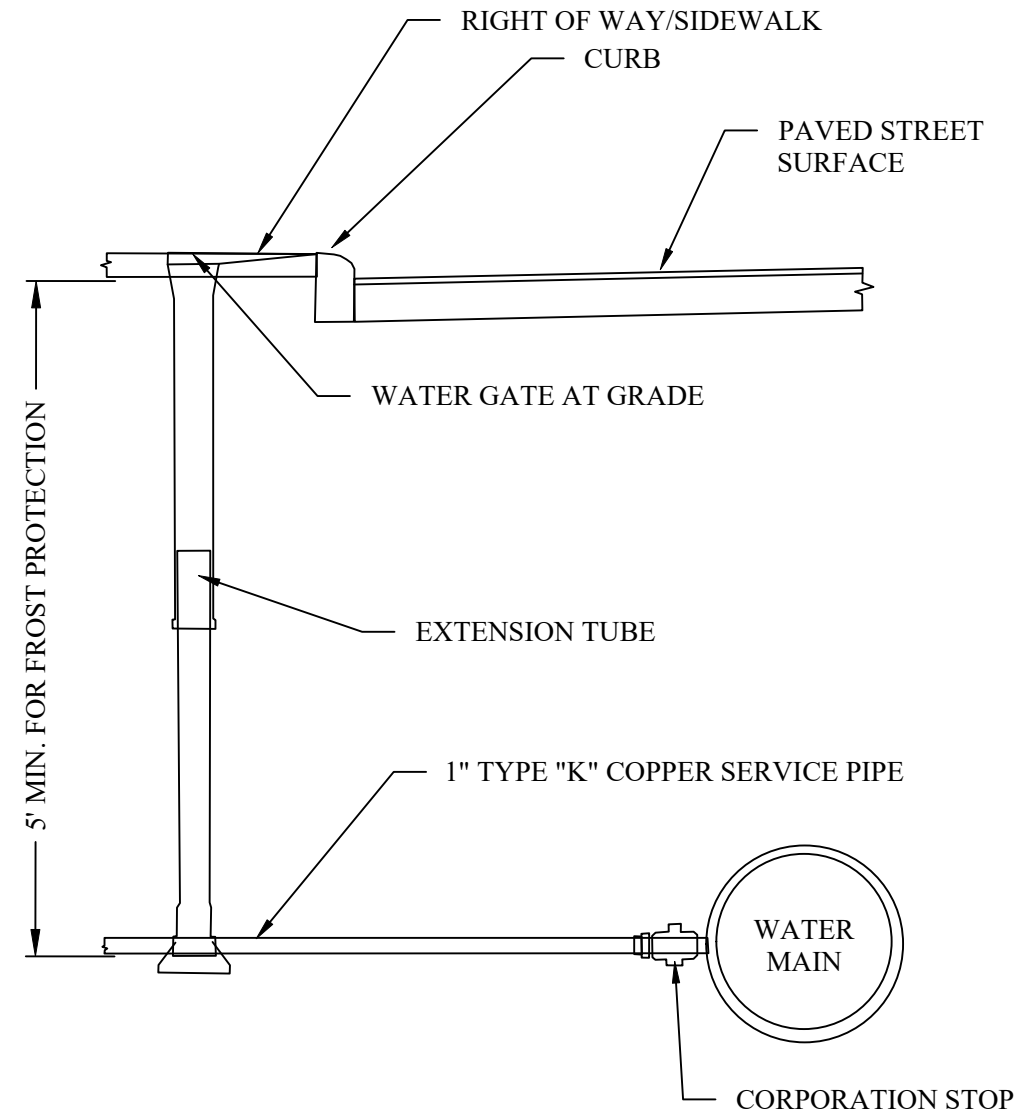
RISER SECTION		
HEIGHT	ITEM NO	WEIGHT
1'-0"	MH4-12CS4ID	856#
2'-0"	MH4-24CS4ID	1,712#
2'-6"	MH4-30CS4ID	2,140#
3'-0"	MH4-36CS4ID	2,568#
4'-0"	MH4-48CS4ID	3,424#
5'-0"	MH4-60CS4ID	4,280#

BASE SECTION		
HEIGHT	ITEM NO	WEIGHT
2'-0"	MH4-24S4ID	2,640#
2'-6"	MH4-30S4ID	3,067#
3'-0"	MH4-36S4ID	3,495#
3'-6"	MH4-42S4ID	3,922#
4'-0"	MH4-48S4ID	4,350#
4'-6"	MH4-54S4ID	4,777#
5'-0"	MH4-60S4ID	5,205#
5'-6"	MH4-66S4ID	5,633#
6'-0"	MH4-72S4ID	6,060#

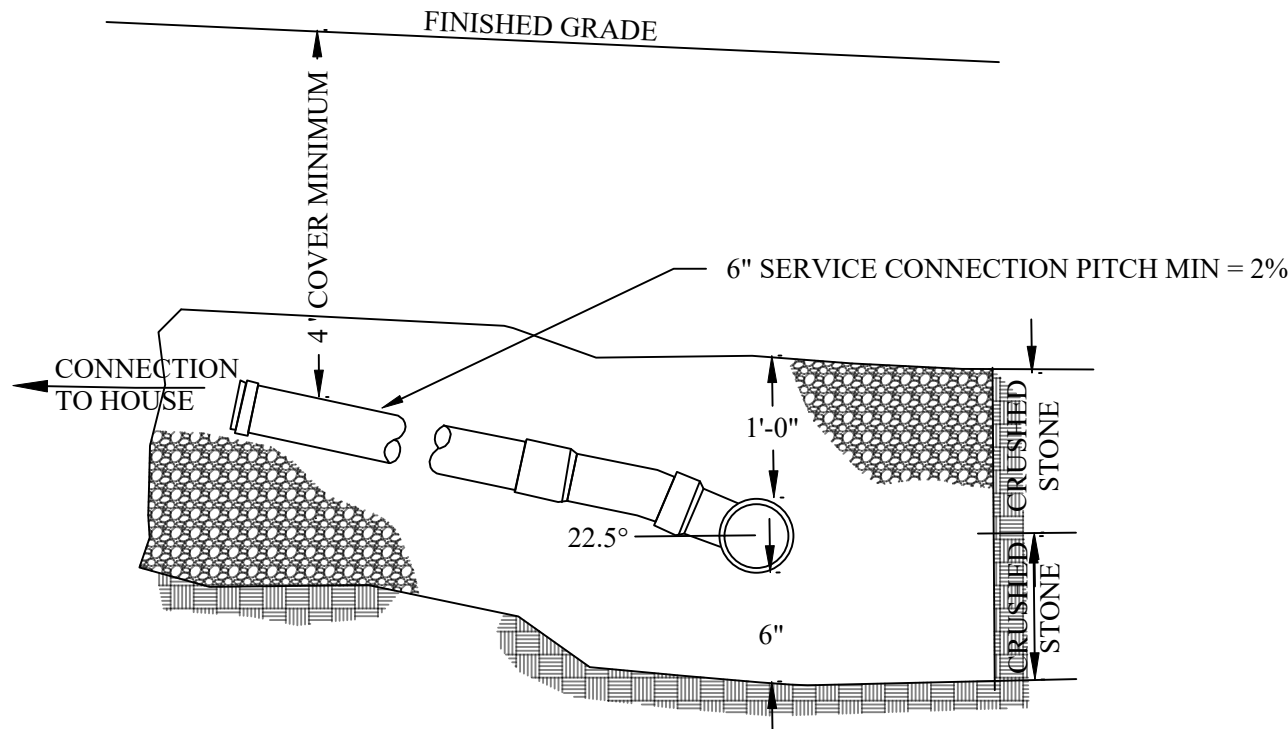
NOTES:

- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
- REINFORCED STEEL CONFORMS TO ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
- DESIGN LOADING PER AASHTO HS-20, 1 TO 5 FEET COVER.
- MANHOLE DESIGN SPECS CONFORM TO ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

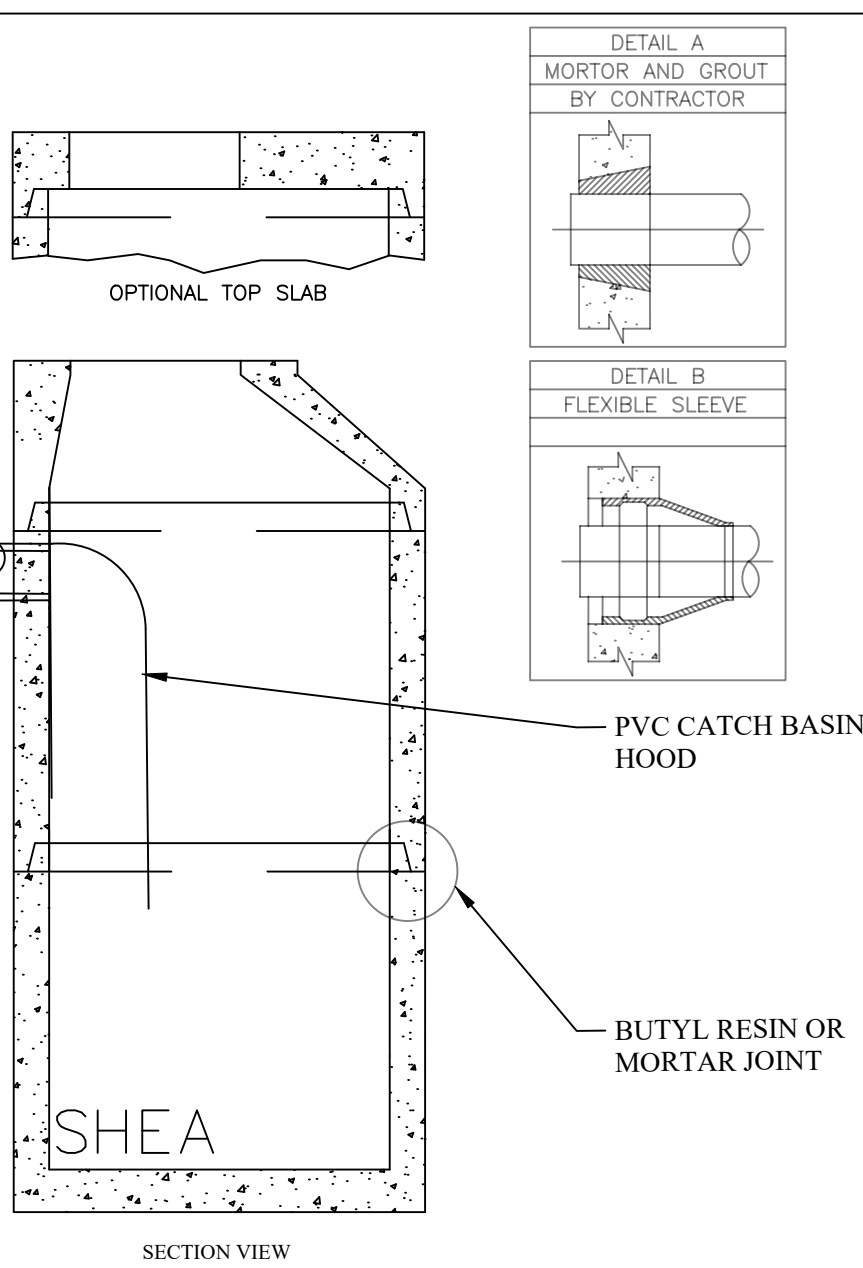
PRECAST CONCRETE CATCH BASIN  
NOT TO SCALE



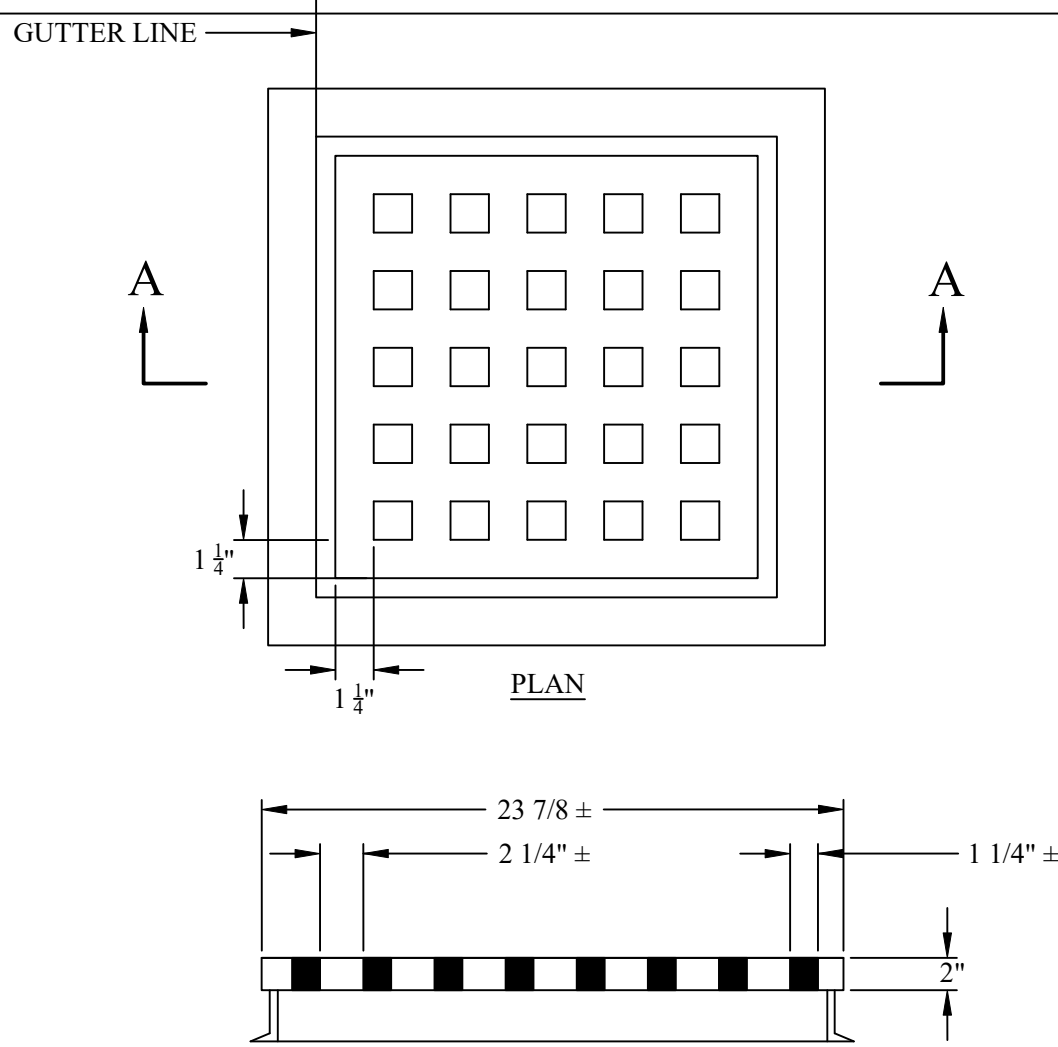
WATER SERVICE CONNECTION DETAIL  
NOT TO SCALE



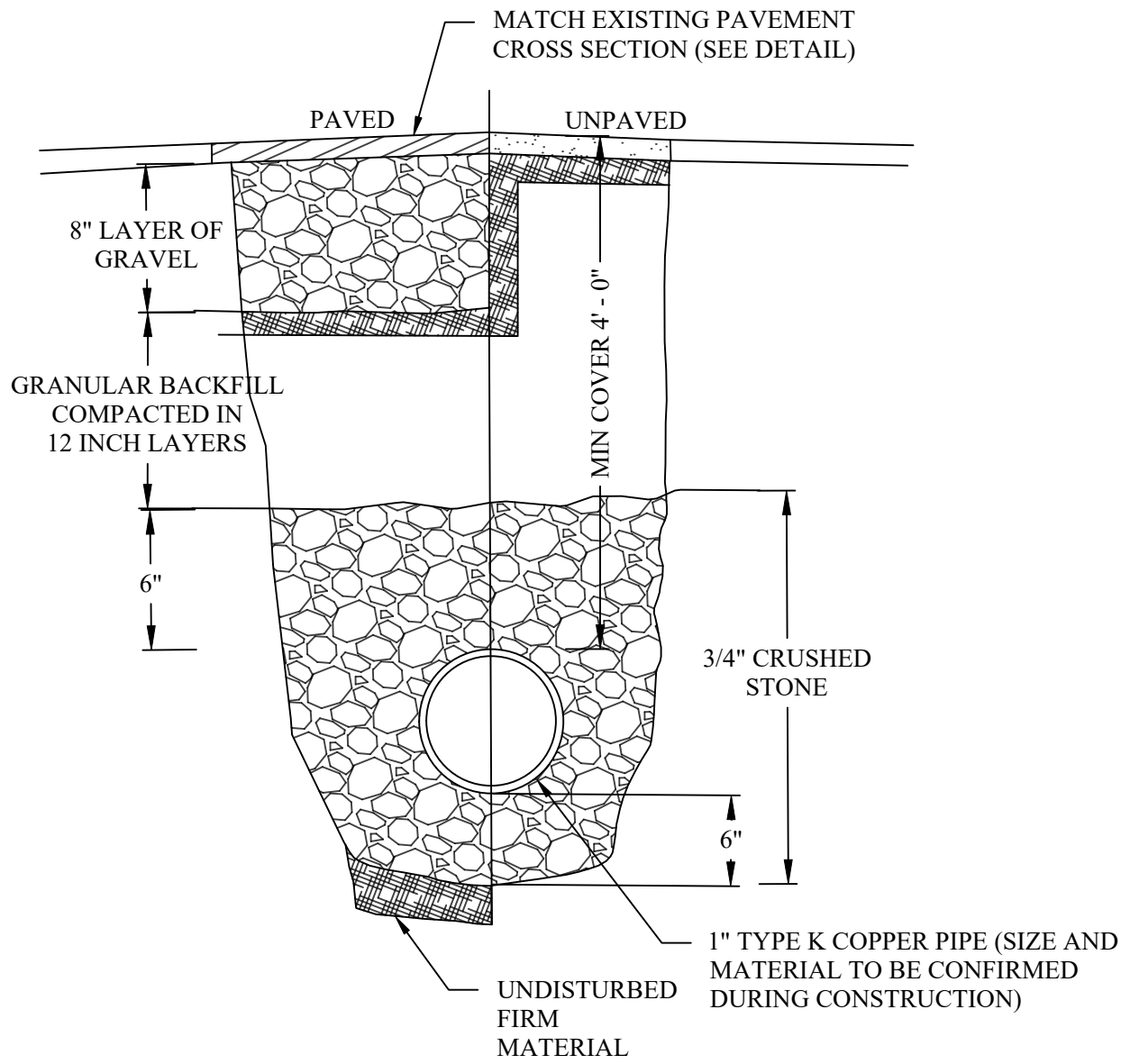
SEWER SERVICE CONNECTION DETAIL  
NOT TO SCALE



SECTION VIEW



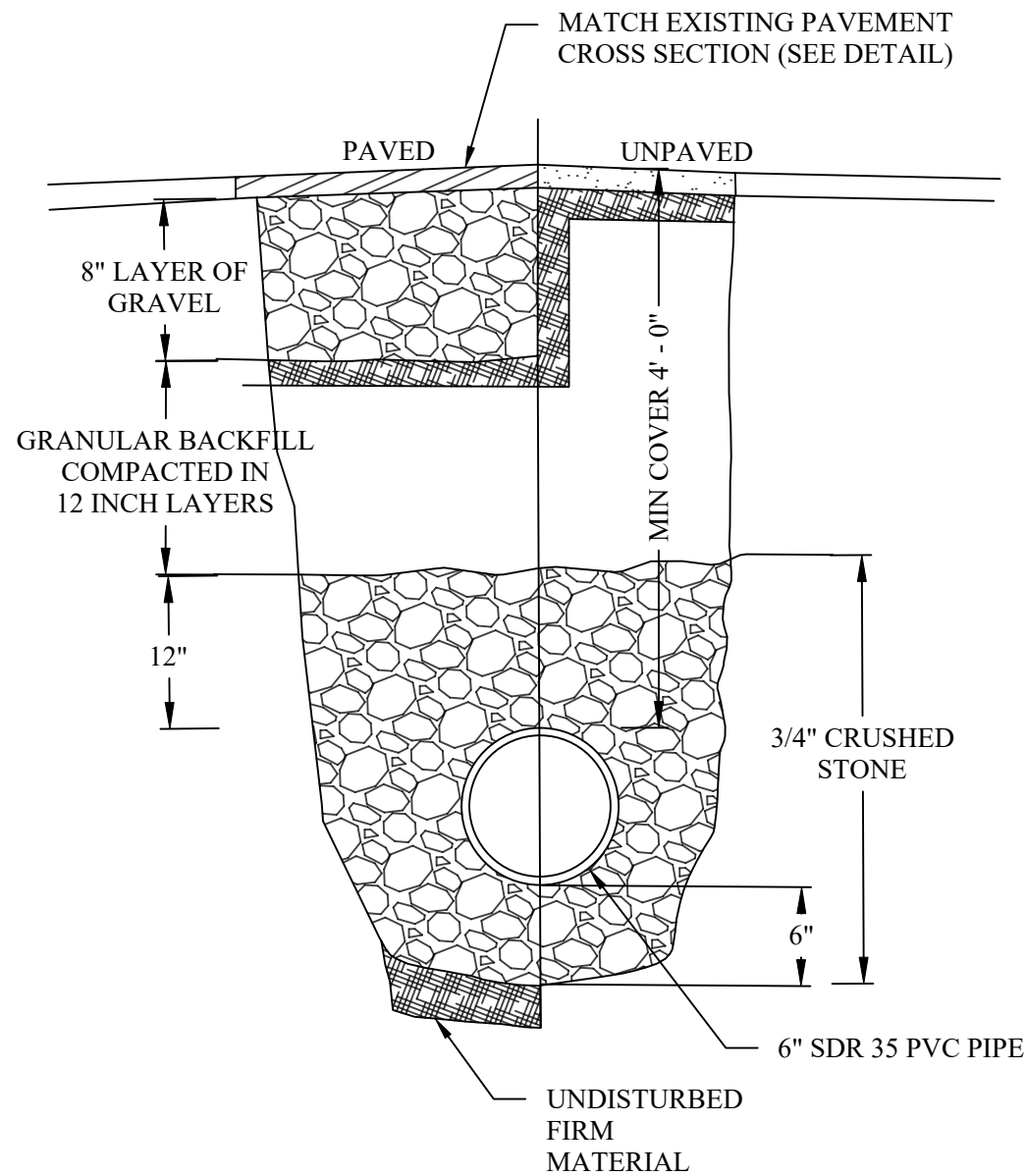
SECTION A-A  
CATCH BASIN GRATE  
NOT TO SCALE



NOTES:

- MATERIAL USED FOR BACKFILLING MUST NOT CONTAIN STONES LARGER THAN 3 INCHES IN GREATEST DIMENSION.
- ANY EXCAVATION BELOW 6" BELOW THE PIPE INVERT ELEVATION DUE TO UNSUITABLE SOILS MUST BE REPLACED WITH 3/4" CRUSHED STONE.

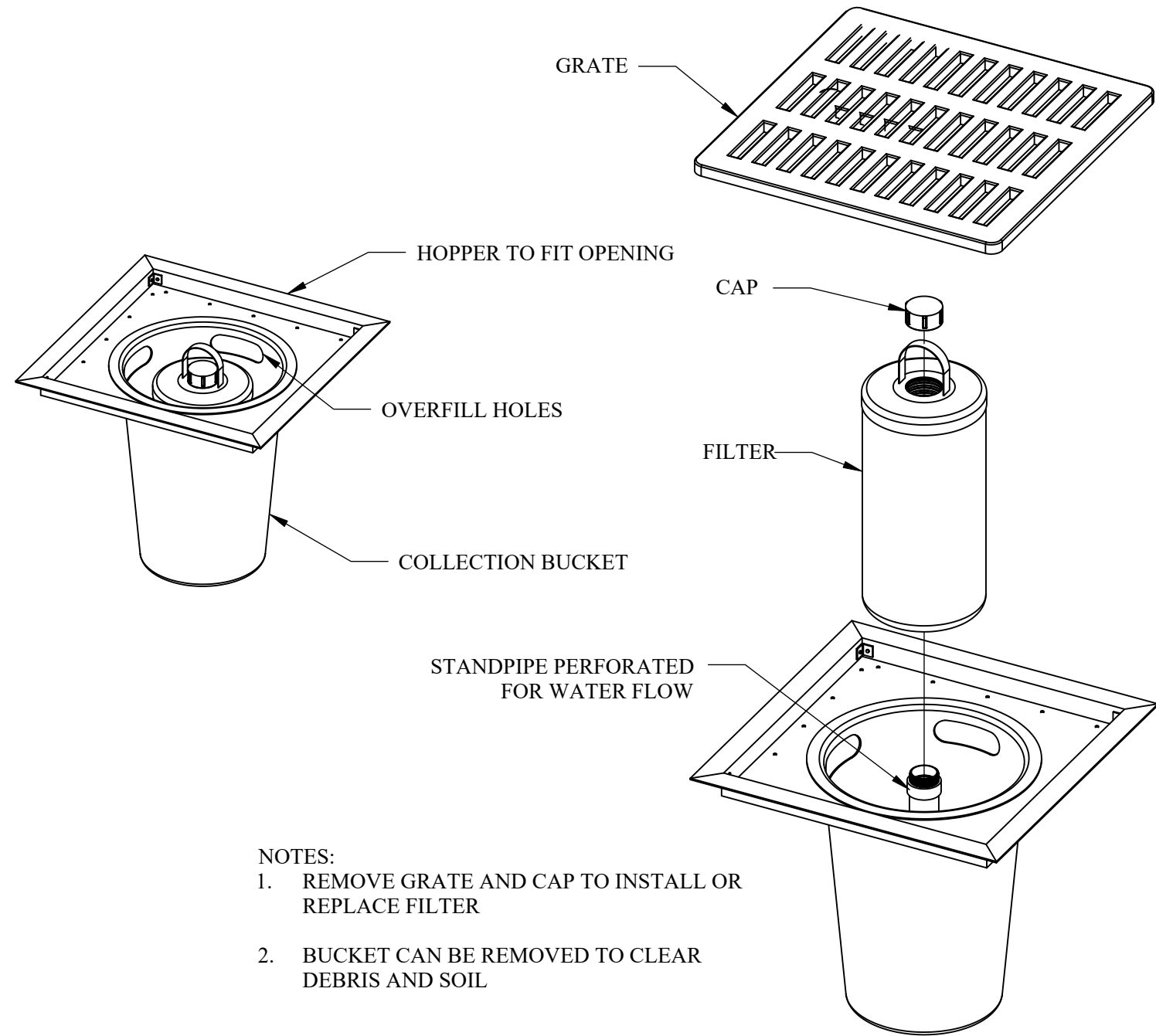
WATER SERVICE TRENCH DETAIL  
NOT TO SCALE



NOTES:

- MATERIAL USED FOR BACKFILLING MUST NOT CONTAIN STONES LARGER THAN 3 INCHES IN GREATEST DIMENSION.
- ANY EXCAVATION BELOW 6" BELOW THE PIPE INVERT ELEVATION DUE TO UNSUITABLE SOILS MUST BE REPLACED WITH 3/4" CRUSHED STONE.

SEWER SERVICE TRENCH DETAIL  
NOT TO SCALE



FILTREXX® CATCH BASIN INLET PROTECTION  
NOT TO SCALE

NOTES:

- REMOVE GRATE AND CAP TO INSTALL OR REPLACE FILTER
- BUCKET CAN BE REMOVED TO CLEAR DEBRIS AND SOIL

Prepared By:



Munden Engineering

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Boston MA 02199  
781-302-6099  
mundenengineering.com



*Gawze Munden*

Prepared For:

MICHAEL PERRY  
297 CHESTNUT ST  
RANDOLPH MA  
02368

Rev. No.	Rev. Date	Description

Date: 12/20/2021

Drawn by: JLW

Approved by: GM

DETAILS-2

SCALE: AS NOTED

SHEET 6 OF 6



March 2, 2022

Ms. Michelle Tyler  
Randolph Planning Board  
Town Planner  
41 South Main Street  
Randolph, MA 02368

RE: Nitsch Project #11123.8  
Perry Estates  
Site Plan Review  
Randolph, MA

Dear Ms. Tyler:

Nitsch Engineering reviewed the revised plan set for the proposed Perry Estates subdivision located at 297 Chestnut Street in Randolph, Massachusetts (the Town).

Nitsch Engineering received the following documents:

1. A plan entitled, "Perry Estates 297 Chestnut Street Subdivision," dated December 20, 2021, prepared by Munden Engineering (6 Sheets); and
2. A letter entitled, "Modification to Approved Definitive Subdivision Submittal" dated January 11, 2022, prepared by Munden Engineering; and
3. A document entitled, "Form C2 Request for Modification, Recission or Amendment to a Definitive Subdivision Plan" dated January 11, 2021 (2022), prepared by Munden Engineering; and
4. A document entitled, "Form D Request for Waivers in a Definitive Subdivision Plan" dated January 10, 2022, prepared by Munden Engineering.

Nitsch Engineering reviewed this information to determine conformance to the Town of Randolph Planning Board Rules and Regulations governing the Subdivision of Land, effective January 28, 2020, and Procedural rules of the Planning Board of Randolph, Massachusetts, the Massachusetts Department of Environmental Protection's (MassDEP) Stormwater Handbook (current edition), and for standard engineering practice.

## OVERVIEW

The Applicant proposes to subdivide an existing parcel into two (2) lots, 8-B1 and 8-B2, and modify the existing roadway to provide access to both parcels.

The existing home and all utility connections at 297 Chestnut Street are to remain. The existing roadway includes a 6" sanitary sewer main and two sewer manholes that are also to remain. The Applicant proposes to install a new sanitary sewer lateral and water lateral for the proposed single-family dwelling at lot 8-B1. The sanitary sewer lateral will connect to the existing 6" sanitary in the road and the water service will connect to the 6" water main on Chestnut Street. In addition, the Applicant proposes stormwater infiltration chambers with an overflow to a perforated pipe and stone system. Minor tree clearing will occur within the site to accommodate the road, utility, and residential construction.

The site is within the Residential Single Family High Density Zoning District. The site does not appear to be within a Priority or Estimated Seasonal Habitat, Zone II, Flood Zone or other protected areas.

Ms. Michelle Tyler: Nitsch Project #11123.8  
 March 2, 2022  
 Page 2 of 5

## WAIVERS

The Applicant is requesting the following waivers, which are also listed on Sheet 4 of the plan set:

1. Section VIII.B4e states that all corners of street intersections shall be rounded or cut back to provide for a minimum radius.
2. Section VIII.B5 states that ways shall be laid out to widths of forty feet (40') or fifty feet (50') based on type. Ways of greater width may be required by the Board where traffic or other considerations warrant.
3. Section VIII.B6 states that streets having a grade of less than one percent (1%) shall be approved only in the Board's discretion.
4. Section VIII.D3 states that the design storm should have a rainfall frequency of occurrence of once in ten (10) years shall be used for design computations for street drainage.
5. Section VIII.D4 states that runoff for any area shall be calculated using the Rational Formula.
6. Section VIII.D6 states that all storm drains shall be reinforced concrete except that in off-street locations bituminous coated, galvanized, corrugated metal pipe or pipe arch may be used if approved by the Planning Board. All pipes shall conform to the Massachusetts Highway Department Standard Specifications for Highstreets and Bridges.
7. Section VIII.D19 states that drainage facilities in the form of detention or retention basins or subsurface infiltration systems may not be located within any street right-of-way, nor on any proposed building lot, nor within any open space area intended to be conveyed to the Town. Such facilities, if required as part of a subdivision, shall be located on separate parcels which are to be retained by the Applicant or conveyed to a successor organization.
8. Section VIII.BE3a states that all subdivisions shall provide for the installation of water mains, including all related apparatus, and fire hydrants to meet the requirements of fire safety and of anticipated water consumption.
9. Section VIII.BE4a requires that hydrants shall be provided every five hundred running feet (500') or portion thereof on one (1) side of each street unless a greater distance is approved by the Fire Department in writing.
10. Section VIII.H1 thru H9 include design criteria related to sidewalks.
11. Section VIII.I includes design criteria related to curbing.
12. Section VIII.M covers requirements for street trees.

## PLANNING BOARD SITE PLAN RULES AND REGULATIONS

The plans are in general conformance with the Rules and Regulations except for the following.

### SITE PLAN CONTENT

1. Section V.A3 requires the Applicant submit two (2) sets of drainage calculations signed and stamped by a Registered Professional Engineer. Nitsch recommends the Applicant submit the required information.
2. Section V.A6 requires the Applicant submit a certified list of abutters within 300 feet of the subject property. Nitsch recommends the Applicant submit the required information.

Ms. Michelle Tyler: Nitsch Project #11123.8  
 March 2, 2022  
 Page 3 of 5

3. Section V.D1 requires the plans be drawn to a horizontal scale of 1"=40' and vertical scale of 1"=4'. In addition it requires a cover sheet that includes a locus at a scale of 1"=800', subdivision name, zoning compliance table, etc. The plans appear to be drawn at a horizontal scale of 1"=20' and the profile is not to scale, Nitsch recommends the Applicant request a waiver for this requirement, or update the plans to be the scale required by the regulations. Nitsch also recommends the Applicant submit a cover sheet with all required information in section V.D1.
4. Section VIII.BE3a states that all subdivisions shall provide for the installation of water mains, including all related apparatus, and fire hydrants to meet the requirements of fire safety and of anticipated water consumption. A waiver has been requested for this work. The proposed water service from Lot 8 B1 appears to be approximately 220 feet in length and the existing service to Lot 8 B2 is approximately 400 feet. The Applicant should comment on the length of the water services and explain the decision to not install a new water main. In addition, Nitsch recommends the Applicant confirm with the Randolph Fire Department that an additional Hydrant on the proposed roadway is not needed.
5. Section VIII.B4f states that intersections greater or less than ninety degrees, the radius on each corner of the intersection will be increased one foot for each two degrees greater or less than ninety degrees. Nitsch recommends the Applicant request a waiver for this section.
6. Section VIII.B7a states that any street designed to be a permanent dead-end shall be not less than 250' and shall have a paved turn-around at the closed end as specified below. In addition, Section VIII.B7b states that the length of the dead-end street shall be measured from the intersection with a street providing alternate access to the beginning of the cul-de-sac. Nitsch recommends that the Applicant confirm the 250' minimum requirement is met per the standard.
7. Section VIII.C2 requires that secondary streets in Residential Zoning Districts shall have a minimum radius for a circular turnaround of 50 feet. Nitsch recommends the Applicant submit a fire truck turning radius plan for Nitsch and the Randolph Fire Department to review.
8. Section VIII.D12 states that the full length of pipe, except the bell, must rest upon undisturbed soil except as hereinafter specified. The '*12" storm drainpipe trench detail*' on Sheet 5 shows the pipe laid on 6" of  $\frac{3}{4}$ " crushed stone. Nitsch recommends the Applicant revise the detail to show the pipe resting on undisturbed soil or explain why the 6" of crushed stone is better suited for design. In addition, there does not appear to be 12" drainpipes used in the design, therefore, Nitsch recommends updating the detail to reflect the size of pipes used in the design.
9. Section VIII.E3f requires a 1000 gallon per minute minimum flow shall be required for all new subdivisions. Nitsch recommends the Applicant confirm this requirement is met.
10. Section VIII.E4c requires all residential units shall be serviced by a water supply that provides a minimum flow in gallons per minute at 20 psi or current ISO and NFPA standards, whichever is more restrictive. In addition, Nitsch recommends the Applicant confirm the minimum flow requirement is met.
11. Section VIII.K states that prior to submission of a Definitive Plan to the Planning Board, the Applicant should contact the local postmaster to determine the location of collection units and note the approved location on the plans. Nitsch recommends the Applicant confirm this was completed.

Ms. Michelle Tyler: Nitsch Project #11123.8  
March 2, 2022  
Page 4 of 5

## **DRAINAGE**

12. Section VIII.D1 states that each drainage plan submitted for approval shall be accompanied by a design analysis prepared by a qualified Registered Professional Civil Engineer. The analysis shall clearly indicate all the computations for the drain including determination of pipe size and strength, and a statement concerning the disposition of flow. Nitsch recommends that the Applicant provide storm calculations for the 25- and 100-year events and provide analysis indicating that there are no local or downstream impacts during these storms. Nitsch recommends the Applicant submit pipe sizing calculations, or the Applicant should submit a waiver.
13. Section VIII.D2 states that a drainage area map shall be prepared for each section of a subdivision and all other watershed areas tributary to the subdivision drainage system. Nitsch recommends the Applicant submit a drainage area map with the drainage calculations.
14. Section VIII.D5 states that the proper drain size shall be calculated by using the "Manning's Formula" with a Kutter's  $n$  value of 0.013 for concrete pipe, and 0.024 for corrugated metal pipe. Nitsch recommends the Applicant provide drainage calculations.
15. Section VIII.D7 states that all pipes shall be laid out on a slope so that the minimum velocity with the pipe flowing full shall be two feet per second (2.0 ft/sec). Please confirm the pipes were designed to meet this standard.
16. Section VIII.D9a states that drain inlets located in streets shall be catch basins with a sump 24" or more lower than the invert of the outlet pipe. Nitsch recommends the Applicant confirm this requirement is met and update the detail to show at least a 24" sump.
17. Section VIII.D9d states that catch basins shall be 4 feet in diameter. Nitsch recommends the Applicant update the detail to show the dimension of the catch basin and thickness of the catch basin walls.
18. Section IX.D requires the Applicant submit a long-term Operation & Maintenance plan for stormwater management. Nitsch recommends the Applicant provide an Operation & Maintenance plan.

## **GENERAL COMMENTS**

19. The proposed CB rim does not appear to be at a low point. The proposed Stormceptor DMH located 10 feet from the CB has a rim elevation of 197.10' whereas the CB has an elevation of 197.60'. Please confirm this is the design intent.
20. The stormwater calculations in the Stormwater Report provide calculations for the 2 and 10-year storms. Nitsch recommends the Applicant also run the 25 and 100-year storm and include the perforated pipe & stone in the model.
21. Nitsch recommends the Applicant add proposed rim elevations to the existing CB and the existing SMH to remain in the roadway.
22. The Filtrex Catch Basin Inlet Protection detail is duplicated on Sheet 6.
23. Nitsch recommends adding a driveway curb cut detail.

Ms. Michelle Tyler: Nitsch Project #11123.8  
 March 2, 2022  
 Page 5 of 5

24. Please update the callouts for the water service and sanitary sewer service to point to the correct service.
25. The proposed 1" water service should maintain a minimum 10' offset from the sanitary sewer line within the proposed roadway.
26. Nitsch recommends the Applicant submit a wye-connection detail for the connection of the 6" sanitary lateral to the main.
27. Nitsch recommends the Applicant submit a sanitary sewer cleanout detail.
28. Section 200-10.C of the zoning regulations state that in a residential district, no one-family dwelling house shall cover more than twenty percent of the lot area. Please confirm that this requirement is met.
29. The proposed roadway appears to travel along the eastern property line. Please refer to the Board as to whether this is acceptable.
30. Nitsch recommends the Applicant submit a curb cut detail for the driveways. The current layout does not include radii at the curb openings. The driveway for Lot 8 B1 may be difficult to access without first turning around in the cul-de-sac. Nitsch recommends the Applicant submit a vehicle turning radius diagram showing a passenger car entering from the road and pulling into the driveway of Lot 8 B1.
31. There appears to be an existing sidewalk on Chestnut Street that will be affected by the widened roadway layout. Nitsch recommends the Applicant clearly show the extents by which the sidewalk will be altered and confirm with the Board that this is acceptable.

## RECOMMENDATION

The plans and calculations appear to conform to the Town of Randolph Subdivision Regulations and Procedural Rules of the Planning Board of the Town of Randolph and the Stormwater Handbook, except as noted. Nitsch Engineering recommends that the Applicant revise and re-submit the plan set to include additional items noted in the letter or requested by the Board for review. If the Board has any questions, please call.

Very truly yours,

**Nitsch Engineering, Inc.**



Brian Biagini, EIT  
 Senior Project Designer

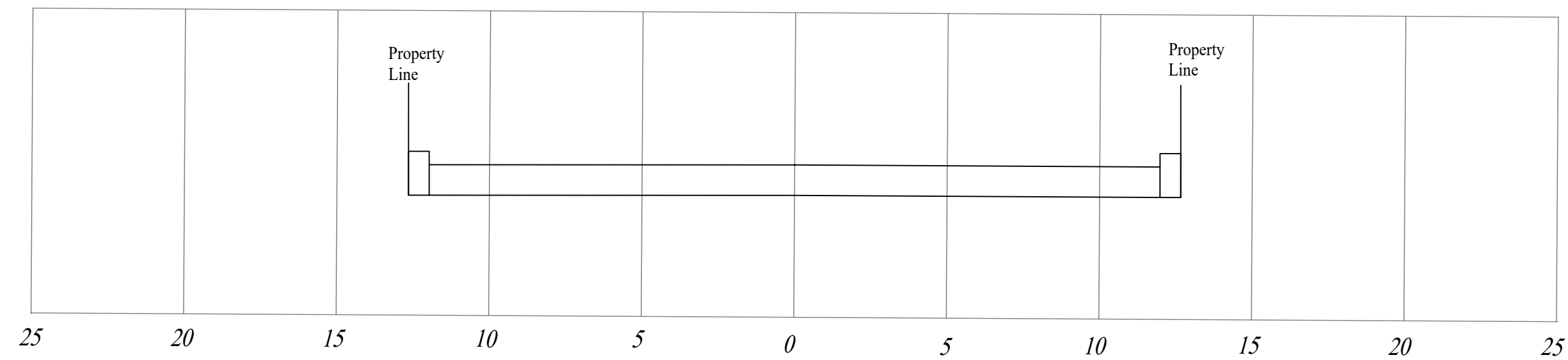
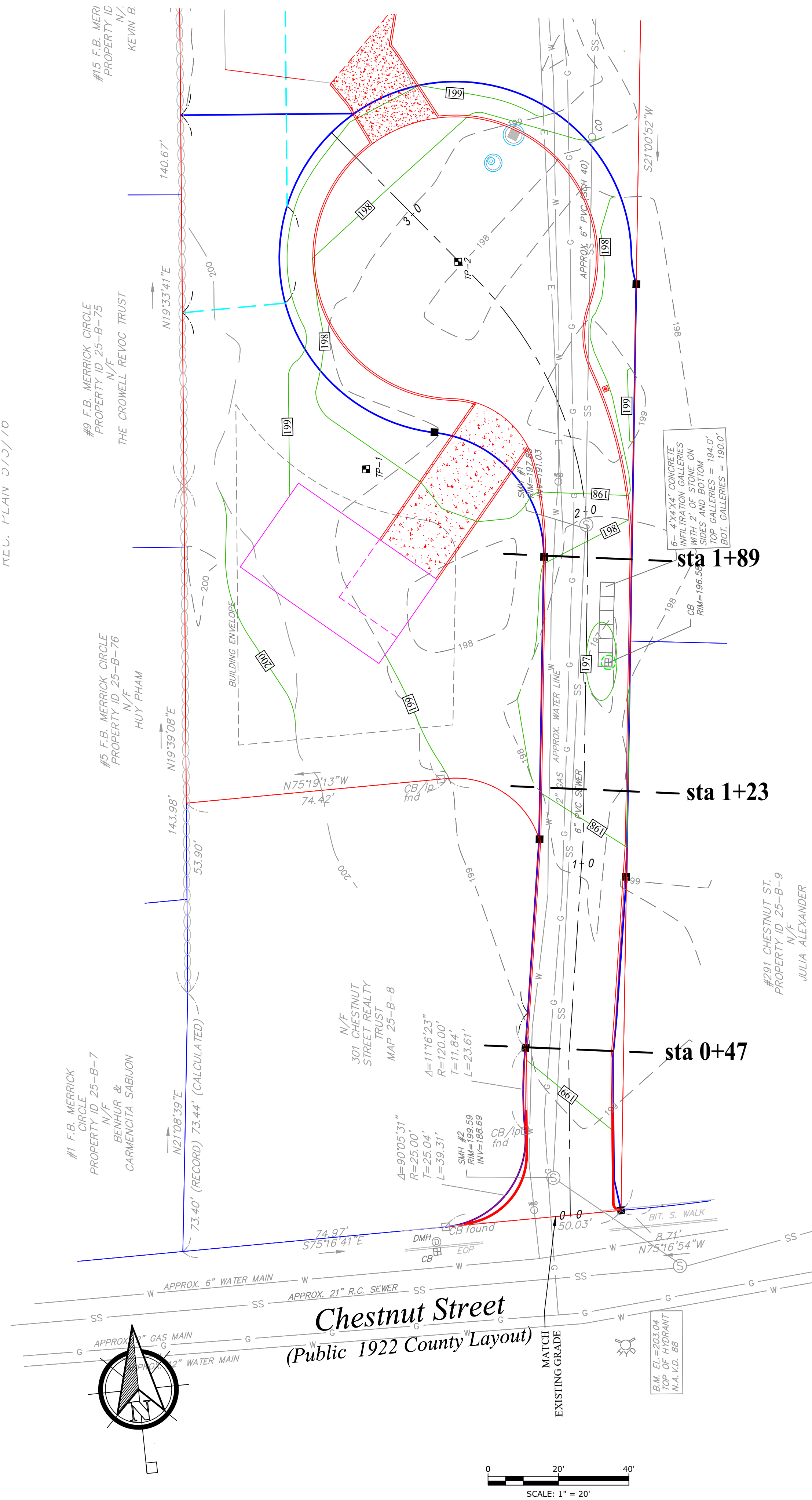
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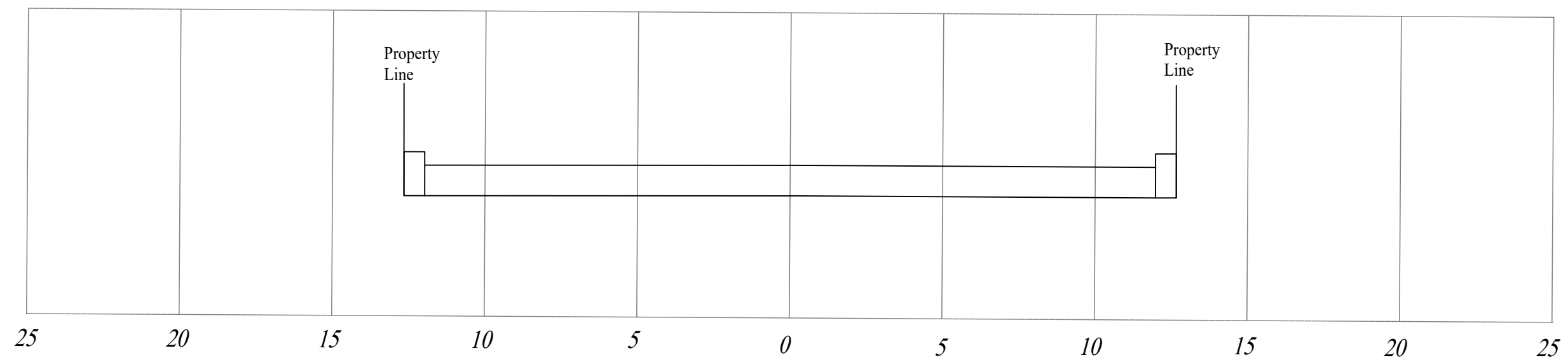
Steven Ventresca, PE, LEED AP BD+C  
 Senior Project Manager

BB/SV

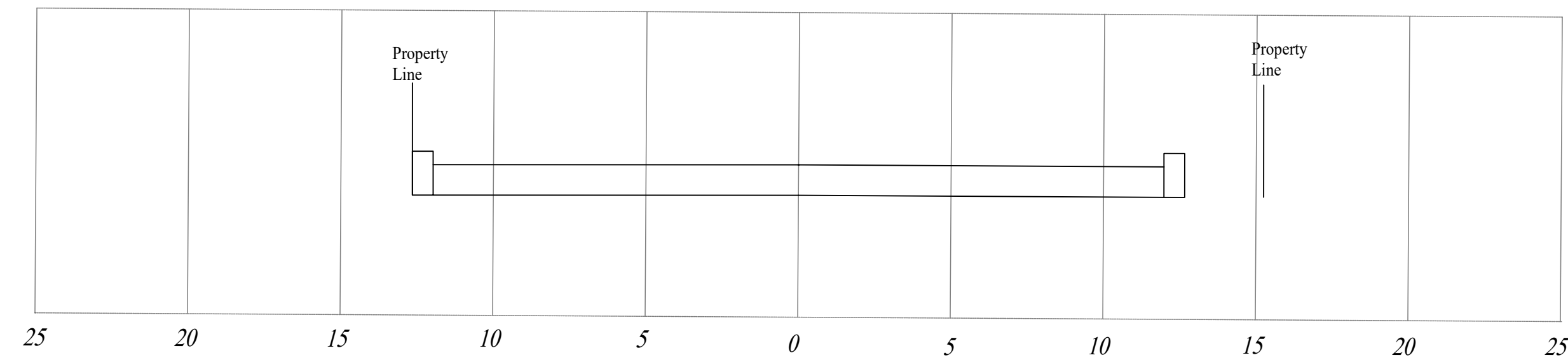
REC. PLAN 01/10



sta 1+89



sta 1+23



sta 0+47

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Prepared For:

297 CHESTNUT ST  
RANDOLPH MA  
02368

Rev. No.	Rev. Date	Description
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Date: MAY 2022

Drawn by:

Approved by:

CROSS  
SECTION  
SKETCH

SCALE: AS NOTED

SHEET 1 OF 1



LEGEND		
DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE		
RIGHT-OF-WAY LINE		
ABUTTERS LOT LINE		
EASEMENT LINE		
BUILDING SETBACK		
LIMITS OF WORK		
BUILDING		
EDGE OF PAVEMENT		
DIRT ROAD		
EDGE OF CURB		
SIDEWALK		
PAVEMENT SAWCUT LINE		
INTERMEDIATE CONTOURS		
INDEX CONTOURS		
SPOT GRADE		
GRAVITY SANITARY SEWER		
STORM DRAIN		
WATER SERVICE		
UNDERGROUND ELECTRIC LINE		
TEL-DATA SERVICE		
COMMUNICATION SERVICE		
CABLE TV SERVICE		
GAS SERVICE		
SANITARY SEWER MANHOLE		
STORM DRAIN STRUCTURES		
WATER SERVICE STRUCTURES		
ELECTRICAL SERVICE STRUCTURES		
COMMUNICATION STRUCTURES		
GAS SERVICE STRUCTURES		
STONE WALL		
TREELINE		
EROSION CONTROL (SILT FENCE)		
TEST PIT		

### ABBREVIATIONS

BC	BITUMINOUS CURB	MIN	MINIMUM
BIT	BITUMINOUS	MON	MONUMENT
BLDG	BUILDING	NTS	NOT TO SCALE
BND	BOUND	N/A	NOT APPLICABLE
BOC	BOTTOM OF CURB	N/F	NOW OR FORMERLY
BOT	BOTTOM	OHW	OVERHEADWIRES
BW	BOTTOM OF WALL	PVC	POLYVINYL CHLORIDE
CB	CATCH BASIN	PVMT	PAVEMENT
CEM	CEMENT	R	RADIUS
CO	CLEAN OUT	RD	ROOF DRAIN
CONC	CONCRETE	REV	REVISION
DIA	DIAMETER	ROW	RIGHT-OF-WAY
DMH	DRAIN MANHOLE	R&D	REMOVE AND DISPOSE
EG	EXISTING GRADE	R&R	REMOVE AND RESET
EL/ELEV	ELEVATION	R&S	REMOVE AND STACK
ELEC	ELECTRIC	SAN	SANITARY
EMH	ELECTRIC MANHOLE	SCH	SCHEDULE
EOP	EDGE OF PAVEMENT	SF	SQUARE FOOT
EXIST	EXISTING	SMH	SEWER MANHOLE
FFE	FINISHED FLOOR ELEVATION	TBM	BENCHMARK
G	GAS	TC	TOP OF CURB
GC	GRANITE CURB	TP	TEST PIT
GRAN	GRANITE	TW	TOP OF WALL
INV	INVERT	TYP	TYPICAL
IP	IRON PIN	UP	UTILITY POLE
LOW	LIMIT OF WORK	W	WATER
MAX	MAXIMUM	WG	WATER GATE
MH	MANHOLE	WV	WATER VALVE

### STORMWATER MANAGEMENT NOTES:

- ALL STORMWATER MANAGEMENT AND EROSION CONTROL SYSTEMS PROPOSED IN THIS PLAN SRE SUBJECT TO CHANGE DURING STORMWATER PERMIT PROCESS MIGHT OCCUR CONCURRETNLY OR AFTER APPROVAL OF THE SUBDIVISION PLAN.

### EXISTING UTILITY NOTES:

- EXISTING UTILITIES ARE AS SOWN IN MOST RECENT SURVEY AND/OR AS SHOWN ON THE AS BUILT PLAN ENTITLED "AS-BUILT PLAN OF LAND" PREPARED BY NORFOLK RAM GROUP AND DATED MAY 2005.
- SEWER MANHOLE RIM ELEVATIONS ARE AS DETERMINED BY THE LATEST SURVEY. SMH #1 INVERT ELEVATION AS PROVIDED BY RECET SURVEY. SMH #2 INVERT ELEVATION CALCULATED BY SUBTRACTING THE RIM-INVERT DIFFERENCE OF THE AS-BUILT PLAN FROM THE RIM ELEVATION DETERMINED BY RECENT SURVEY.
- INVERT AT THE NEW SERWER SERVICE CONNECTION MUST BE DETERMINED ON-SITE BY THE CONTRACTOR AND MUST BE CONFIRMED BY THE ENGINEER OF THE RECORD PRIOR TO CORING, CONNECTION AND BACKFILL.

### GENERAL NOTES:

- NO CONSTRUCTION SHALL BEGIN UNTIL ANY AND ALL PERMITS ARE OBTAINED FROM THE TOWN OF RANDOLPH.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, COORDINATION WITH THE OWNER AND ALL SUBCONTRACTORS, AND THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- COMPLY WITH THE LATEST OSHA STANDARDS FOR EXCAVATING WORK. FOLLOW ALL REQUIREMENTS OF OSHA EXCAVATION STANDARDS INCLUDING, BUT NOT LIMITED TO, THE PROVISION FOR A COMPETENT PERSON ON SITE AND ANY REQUIRED DOCUMENTATION REQUIRING CERTIFICATION BY A PROFESSIONAL ENGINEER.
- PER MASSACHUSETTS LAW, CALL 1-888-DIG-SAFE (1-888-344-7233), THE MUNICIPALITY, AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE DIGSAFE LIST AT LEAST 72 HOURS PRIOR TO ANY UNDERGROUND EXCAVATION ON SITE. SUBMIT DIGSAFE VERIFICATION NUMBER TO THE APPROPRIATE MUNICIPALITY PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IN ADDITION, SOME UTILITIES MAY NOT BE SHOWN. DETERMINE THE EXACT LOCATION OF UTILITIES BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND/OR INTERRUPTIONS IN UTILITY SERVICE. PERFORM TEST PIT EXCAVATIONS AND OTHER INVESTIGATIONS TO LOCATE UTILITIES, AND PROVIDE THIS INFORMATION TO THE ENGINEER, PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS. THE ENGINEER WILL USE THE TEST PIT INFORMATION AND OTHER INFORMATION COLLECTED BY THE CONTRACTOR ON THE LOCATION OF EXISTING UTILITIES TO DIRECT THE CONTRACTOR IN THE EVENT THAT THERE IS A CONFLICT BETWEEN AN EXISTING UTILITY AND THE PROPOSED WORK.
- TEST PITS TO LOCATE EXISTING UTILITIES MAY BE ORDERED BY THE ENGINEER.
- NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY FROM THOSE SHOWN ON THESE PLANS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE TO INSTALL UTILITIES ACCORDINGLY WITH THE TOWN OF RANDOLPH STANDARDS AND TO REQUEST AND SCHEDULE INSPECTIONS.
- PROPOSED AND EXISTING UTILITY ELEVATIONS MUST BE CONFIRMED PRIOR TO INSTALLATION AND BACKFILLING AND APPROVED BY THE ENGINEER OF RECORD.
- WATERPROOFING AND OTHER STRUCTURAL DETAILS MUST BE PERFORMED AND DEPICTED BY A REGISTERED STRUCTURAL ENGINEER.
- AS OF JANUARY 1, 2019, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES, BOTH ON PUBLIC AND/OR PRIVATE PROPERTY.
- AFTER ALL ENGINEERING PERMITS ARE OBTAINED, THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DIVISION A MINIMUM OF 48-HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE SITE UTILITIES AND STORMWATER COMPONENTS INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY BE BACKFILLED.
- THE NEW SERVICE(S) AND/OR STRUCTURE(S) SHALL BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE TOWN ENGINEERING DIVISION. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL ALL PIPING AND STRUCTURES ARE TESTED AND PASS.
- PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT, AN AS-BUILT PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND IN HARD COPY. THE PLAN MUST SHOW ALL UTILITIES AND DRAINAGE COMPONENTS (UTILIZING SWING TIES), ANY EASEMENTS AND FINAL GRADING. THE AS-BUILT PLAN MUST BE STAMPED, SIGNED, AND DATED BY A PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR.
- ALL WORK MUST BE DONE IN ACCORDANCE WITH "TOWN OF RANDOLPH ZONING BY-LAWS". ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE TOWN OF RANDOLPH ENGINEERING DEPARTMENT.
- ALL GAS AND ELECTRIC SERVICE LINES ARE SHOWN AS CONCEPT. THE UTILITY PROVIDER AND OR ELECTRIC/MECHANICAL ENGINEER MUST PROVIDE CONSTRUCTION AND DESIGN DETAILS INCLUDING BUT NOT LIMITED TO THE SIZE, LOCATION, TRENCH DETAIL, AND SETBACKS.

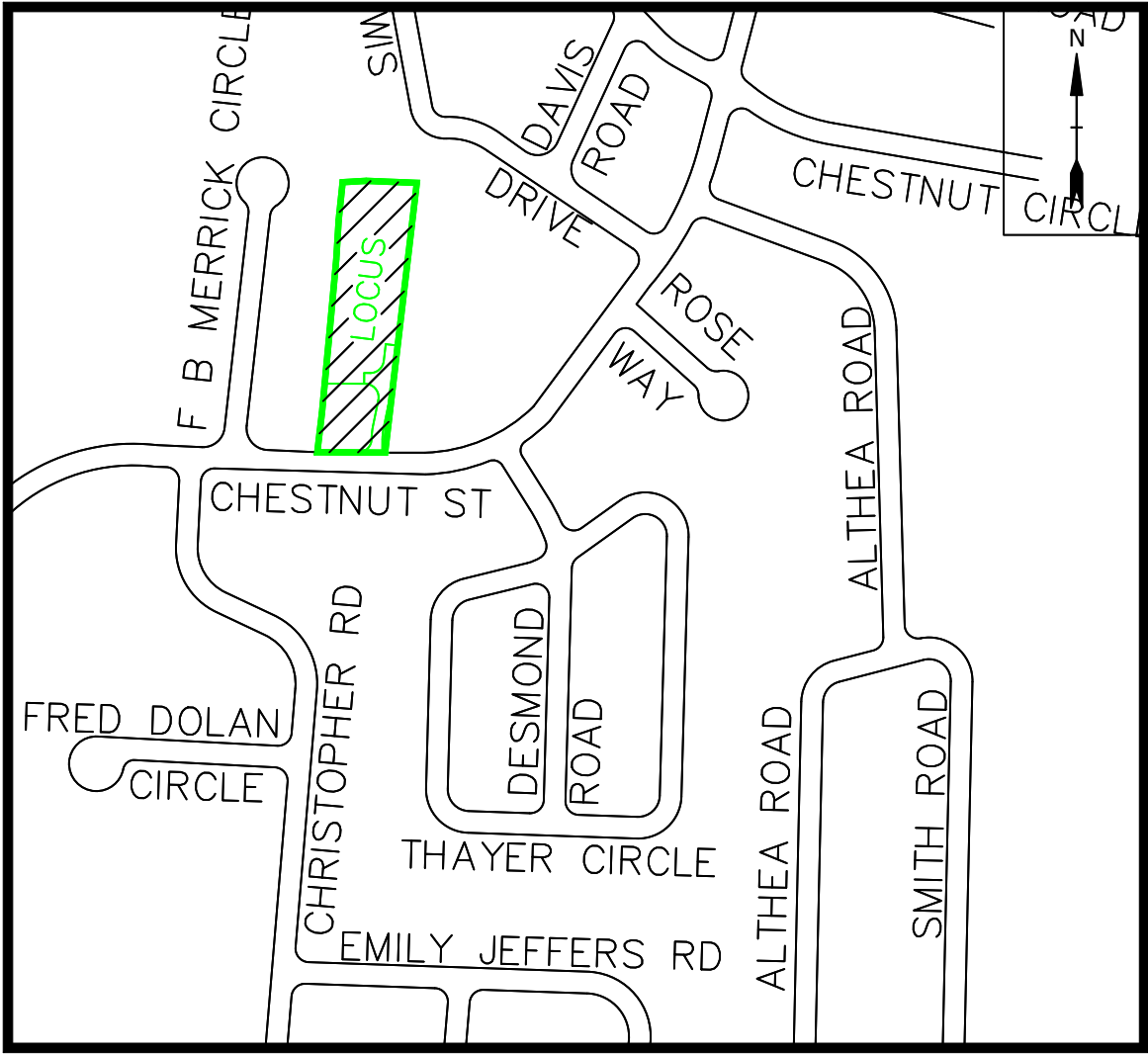
### EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE TOWN OF HOLBROOK CONSERVATION COMMISSION ONE (1) WEEK PRIOR TO THE START OF CONSTRUCTION FOR INSPECTION OF THE EROSION CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
- ALL DISTURBANCES TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN A SURPLUS SUPPLY OF NECESSARY EROSION CONTROL DEVICES ON-SITE FOR EMERGENCY USE (STRAW BALES, WATTLES, FILTER BERM, SILT FENCE, STAKES, CRUSHED STONE).

### CONSTRUCTION SEQUENCE NOTES:

ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.

- NO CONSTRUCTION CAN BEGIN UNTIL ANY AND ALL PERMITS ARE OBTAINED FROM THE TOWN OF RANDOLPH.
- STAKE LIMITS OF CLEARING.
- INSTALL EROSION CONTROL BARRIERS AT LIMIT OF WORK AS DEPICTED.
- SCHEDULE INSPECTION BY CONTACTING THE TOWN OF RANDOLPH.
- PERFORM DEMOLITION OF THE EXISTING SITE APPURTENANCES.
- PERFORM CLEARING AND CURB CUT NECESSARY TO INSTALL STONE CONSTRUCTION ENTRANCES.
- INSTALL CONSTRUCTION ENTRANCES.
- INSTALL REMAINING EROSION CONTROL SYSTEMS.
- SCHEDULE INSPECTION BY CONTACTING THE CITY OF FRAMINGHAM.
- PERFORM CLEARING AND GRUBBING AS NECESSARY.
- STRIP AND STOCKPILE LOAM.
- PERFORM EARTHWORK CUT AND FILLS FOR ROUGH GRADE.
- INSTALL CONCRETE FOUNDATION FOR THE PROPOSED STRUCTURES.
- CONSTRUCT UPPER STRUCTURE INCLUDING ROOFS AND SIDING.
- INSTALLATION OF UTILITIES.
- REMOVE TEMPORARY CONTROLS EXCEPT PERIMETER CONTROLS AND STONE CONSTRUCTION ENTRANCE.
- PERFORM FINE GRADING AND PREPARE SUBGRADE FOR PAVING.
- PERMANENT/FINAL STABILIZATION.
- REMOVE STONE CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROLS.
- PERFORM AS-BUILT SURVEYS AND SUBMIT TO TOWN OF RANDOLPH FOR ACCEPTANCE.



LOCUS MAP  
N.T.S.

### BASE PLAN NOTES:

- THE EXISTING CONDITIONS INFORMATION SHOWN ON THE DRAWINGS IS BASED ON THE FOLLOWING:
  - EXISTING CONDITIONS TAKEN FROM A CAD FILE TITLED "P2252-01.DWG" PROVIDED TO THE ENGINEERING CONSULTANT BY BORDERLAND ENGINEERING, INC VIA EMAIL IN DWG FORMAT IN APRIL 2022, DEPICTING ADDITIONAL SURVEY INFORMATION TO THE FILE USED IN PREVIOUS REVISION, TITLED "P2252.DWG" PROVIDED TO THE ENGINEERING CONSULTANT BY BORDERLAND ENGINEERING, INC VIA EMAIL IN DWG FORMAT IN AUGUST 2021.
  - AS-BUILT PLAN OF LAND PROVIDED BY NORFOLK RAM GROUP TITLED "LOT 8-A CHESTNUT ST., LOT 8-B PROPOSED ROADWAY OFF CHESTNUT ST." AND DATED MAY 2008.
  - THE DRAWING IS BASED ON N.A.V.D. 88 DATUM.
  - SUB-SURFACE EXPLORATIONS WERE OBSERVED BY GREGORY BUNAVICZ (S.E. #2712). THE SUBSURFACE EXPLORATION LOGS AND LOCATIONS ARE SHOWN ON THE PLANS.
  - THE PROPERTY IS LOCATED WITHIN A SURFACE WATER PROTECTION AREA (ZONE C).
  - THE PROJECT AREA IS NOT LOCATED WITHIN NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP) LIMITS OF ESTIMATED PRIORITY HABITAT.
  - THE PROJECT AREA IS NOT LOCATED WITHIN THE LIMITS OF BORDERING LAND SUBJECT TO FLOODING (BLSF) AND THE 100-YEAR FLOOD ZONE (PANEL #250250, EFFECTIVE DATE 07/17/2021).
- BOLD TEXT AND LINES INDICATE PROPOSED WORK. LIGHT TEXT AND LINES INDICATE APPROX. EXIST. CONDITIONS.

SHEET KEY	
SHEET NO.	SHEET TITLE
1	LEGEND & GENERAL NOTES
2	RE-DIVISION OF DEFINITIVE PLAN OF LAND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	PROPOSED CONDITIONS PLAN
5	DETAILS-1
6	DETAILS-2

### TP-1

DEPTH	EL.
0"	199.10'
12"	198.10'
30"	196.60'
84"	192.10'

NOTES:  
NO MOTTLES OBSERVED  
NO GROUNDWATER OBSERVED  
TERMINATED DUE TO BOULDER

### TP-2

DEPTH	EL.
0"	198.0'
16"	196.67'
33"	195.25'
77"	191.58'
92"	190.33'

NOTES:  
NO MOTTLES OBSERVED  
NO GROUNDWATER OBSERVED

### SUBSURFACE EXPLORATION NOTES:

- TEST PITS WERE PERFORMED BY GREGORY BUNAVICZ (S.E. #2712).
- THE LOGS SHOWN ABOVE REPRESENT THE SOIL DATA PROVIDED BY BORDERLAND ENGINEERING, INC. AND RECIEVED BY MUNDEN ENGINEERING VIA EMAIL ON 08/13/2021.
- THE LOCATION OF THE TEST PITS WERE DETERMINED BASED ON FIELD MEASUREMENTS PERFORMED BY BORDERLAND ENGINEERING, INC.
- ELEVATIONS AT THE TEST PIT LOCATIONS WERE DETERMINED BASED ON THE GROUND SURFACE LOCATIONS SHOWN ON THE EXISTING LAND SURVEY PLAN PROVIDED BY DON ROSA, PLS.
- STRATIFICATION LINES REPRESENT APPROXIMATE BOUNDARIES BETWEEN SOIL AND BEDROCK LAYERS. ACTUAL LAYERING MAY BE GRADUAL. FLUCTUATIONS OF GROUNDWATER MAY OCCUR DUE TO OTHER FACTORS THAN THOSE PRESENT AT THE TIMES IT WAS MEASURED.

SUBSURFACE EXPLORATION LOGS  
NOT TO SCALE

Prepared By:



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Prepared For:

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297 CHESTNUT ST  
RANDOLPH MA  
02368

2	05/04/2022	PB Comments.
1	02/02/2022	Stormwater system details revised.
Rev. No.	Rev. Date	Description

Date: 12/20/2021

Drawn by: JLV/GM

Approved by: GM

LEGEND & GENERAL  
NOTES

SCALE: AS NOTED

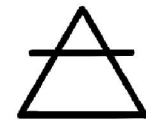
SHEET 1 OF 6







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2	05/04/2022	PB Comments.
1	02/02/2022	Stormwater system details revised.
Rev. No.	Rev. Date	Description

Date: 12/20/2021

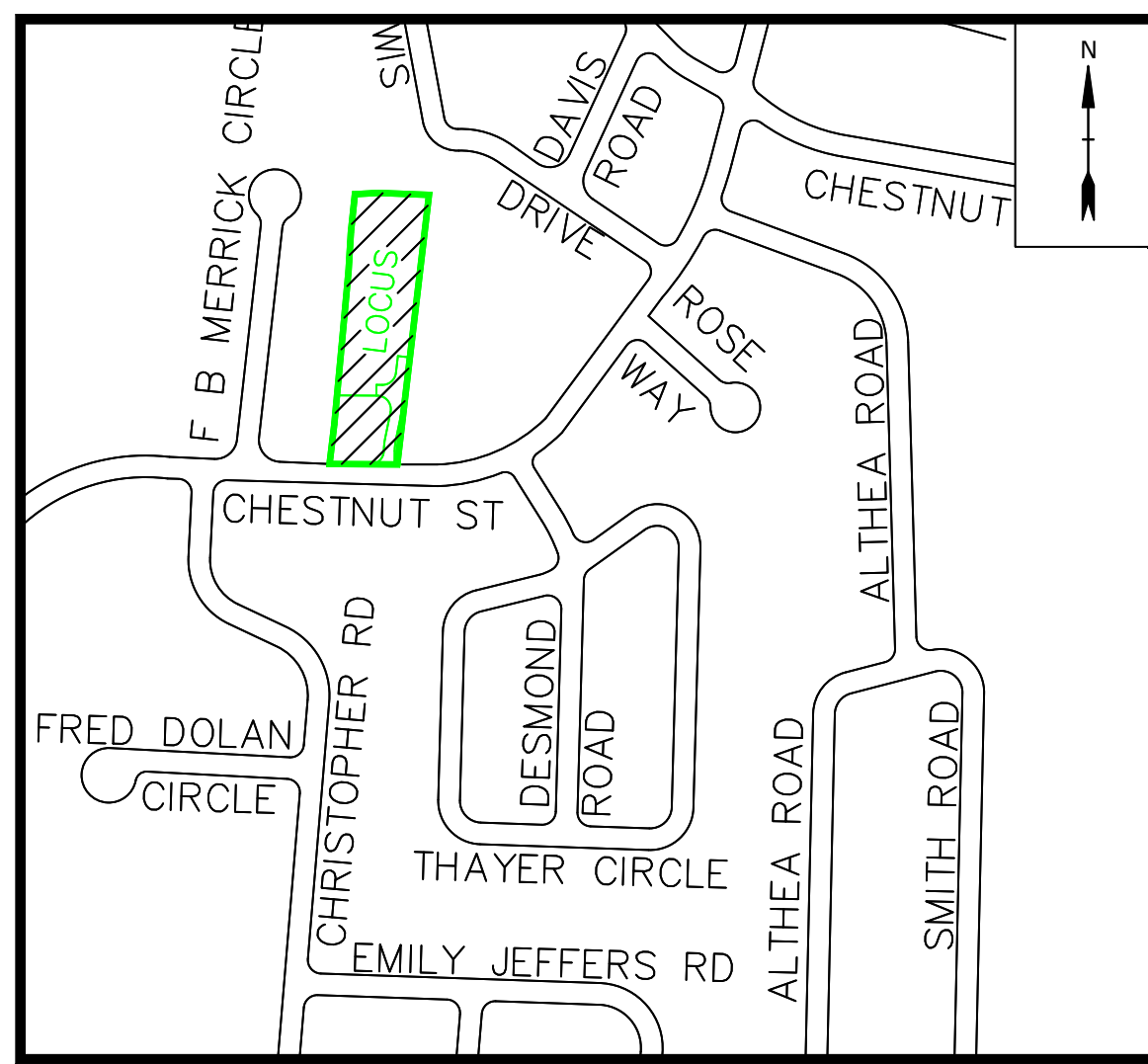
Drawn by: JLV/GM

Approved by: GM

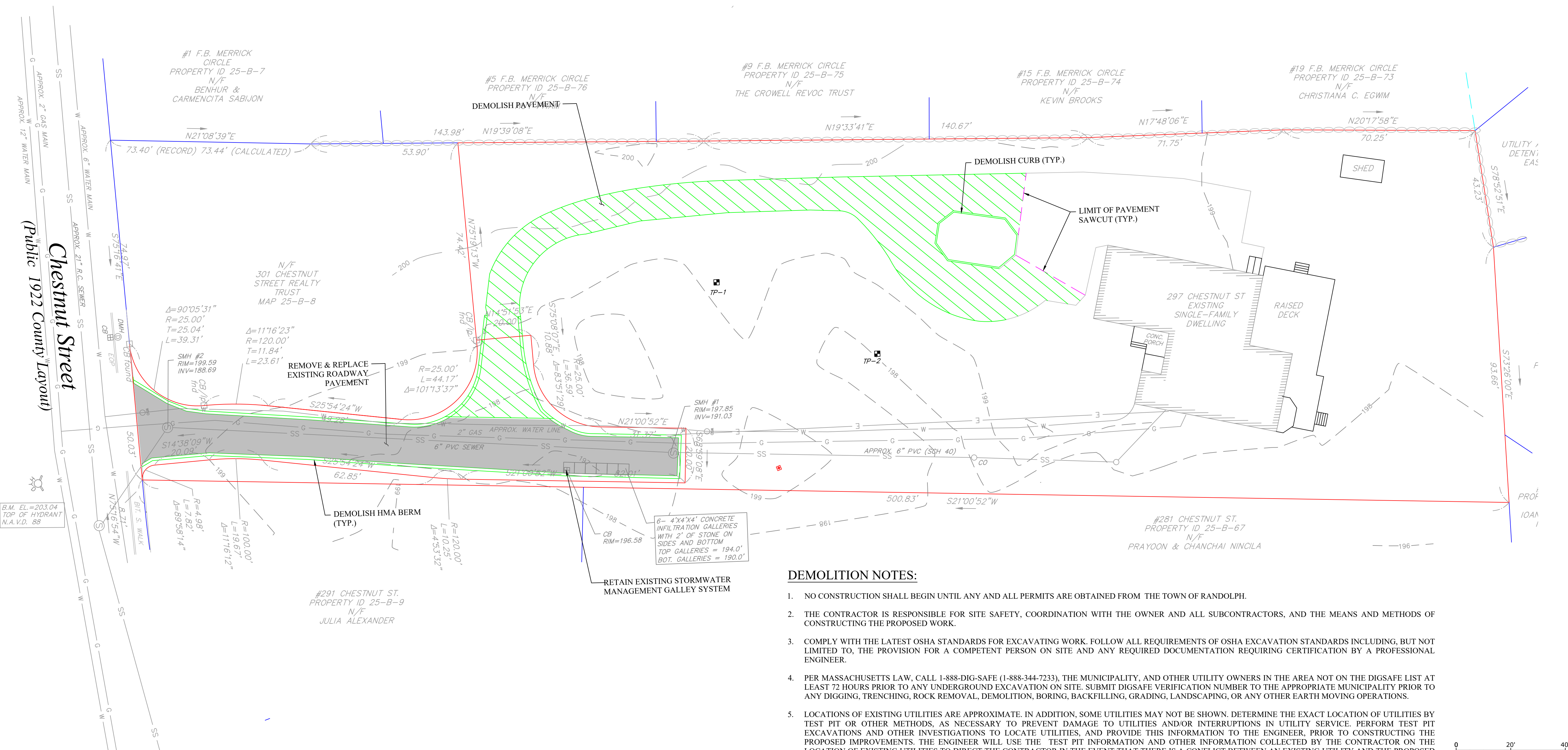
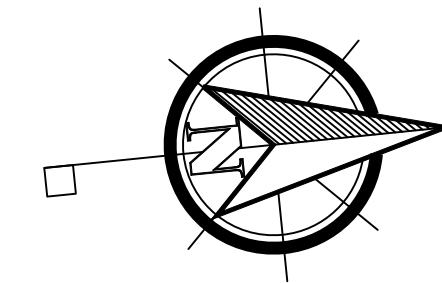
### EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: AS NOTED

SHEET 3 OF 6

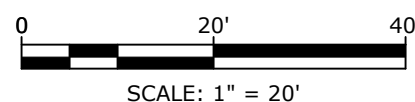


LOCUS MAP  
N.T.S.




#### DEMOLITION NOTES:

- NO CONSTRUCTION SHALL BEGIN UNTIL ANY AND ALL PERMITS ARE OBTAINED FROM THE TOWN OF RANDOLPH.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, COORDINATION WITH THE OWNER AND ALL SUBCONTRACTORS, AND THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- COMPLY WITH THE LATEST OSHA STANDARDS FOR EXCAVATING WORK. FOLLOW ALL REQUIREMENTS OF OSHA EXCAVATION STANDARDS INCLUDING, BUT NOT LIMITED TO, THE PROVISION FOR A COMPETENT PERSON ON SITE AND ANY REQUIRED DOCUMENTATION REQUIRING CERTIFICATION BY A PROFESSIONAL ENGINEER.
- PER MASSACHUSETTS LAW, CALL 1-888-DIG-SAFE (1-888-344-7233), THE MUNICIPALITY, AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE DIGSAFE LIST AT LEAST 72 HOURS PRIOR TO ANY UNDERGROUND EXCAVATION ON SITE. SUBMIT DIGSAFE VERIFICATION NUMBER TO THE APPROPRIATE MUNICIPALITY PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IN ADDITION, SOME UTILITIES MAY NOT BE SHOWN. DETERMINE THE EXACT LOCATION OF UTILITIES BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND/OR INTERRUPTIONS IN UTILITY SERVICE. PERFORM TEST PIT EXCAVATIONS AND OTHER INVESTIGATIONS TO LOCATE UTILITIES, AND PROVIDE THIS INFORMATION TO THE ENGINEER, PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS. THE ENGINEER WILL USE THE TEST PIT INFORMATION AND OTHER INFORMATION COLLECTED BY THE CONTRACTOR ON THE LOCATION OF EXISTING UTILITIES TO DIRECT THE CONTRACTOR IN THE EVENT THAT THERE IS A CONFLICT BETWEEN AN EXISTING UTILITY AND THE PROPOSED WORK.
- TEST PITS TO LOCATE EXISTING UTILITIES MAY BE ORDERED BY THE ENGINEER.
- NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THESE PLANS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
- REFER TO LOCAL UTILITY COMPANIES FOR LOCATION, CONSTRUCTION DETAILS, AND SPECIFICATIONS.







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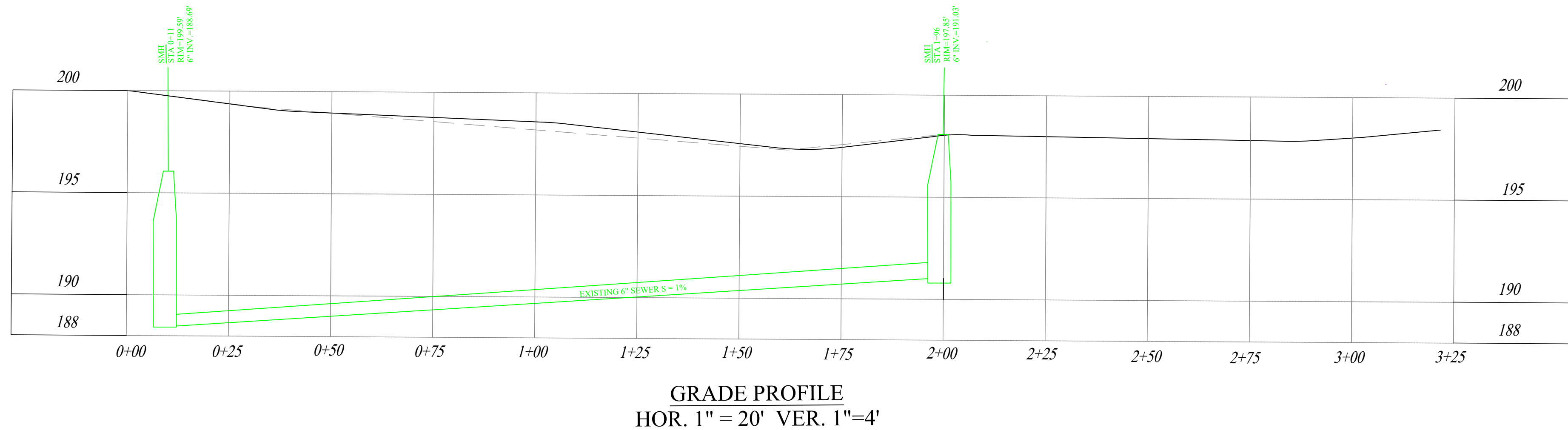


1. DRAIN PIPES TO BE LAID AT A MINIMUM 1.0% SLOPE.
2. UNDERGROUND UTILITIES (I.E. ELECTRIC, GAS, TEL, CATV) SERVICE LOCATIONS TO BE COORDINATED WITH LOCAL UTILITY COMPANIES.
3. SUFFICIENT COVER SHALL BE MAINTAINED OVER EXISTING UTILITIES AND COORDINATED WITH LOCAL UTILITY COMPANIES.
4. THE PROPOSED SUBSURFACE INFILTRATION SYSTEM FOR THE COLLECTION OF THE STREET DRAINAGE SHALL BE OPERATED AND MAINTAINED THROUGH A HOMEOWNER'S ASSOCIATION (HOA) ESTABLISHED BETWEEN LOTS 8-B1 AND 8-B2.
5. THE APPLICANT OR PROPERTY OWNER SHALL GRANT AN EASEMENT TO THE TOWN OF RANDOLPH ALLOWING ENTRY ON THE PROPERTY AS NECESSARY TO INSPECT, REPAIR OR MAINTAIN THE STORMWATER STRUCTURE OR SYSTEM(S).
6. DETAILS OF THE STORMWATER MANAGEMENT SYSTEMS MIGHT DIFFER DURING THE STORMWATER PERMIT PROCESS.

A HOME OWNERS ASSOCIATION MUST BE ESTABLISHED TO MAINTAIN THE PROPOSED ROAD INCLUDING THE SNOW REMOVAL, STORMWATER MANAGEMENT SYSTEMS AND THE STREET LIGHT AND THE COST OF ELECTRICITY FOR THE STREET LIGHT, UNTIL SUCH TIME THE PROPOSED STREET IS ACCEPTED BY THE TOWN OF RANDOLPH.

INCREASE IN IMPERVIOUS AREAS: 5,491 SF

1. MINIMUM RADIUS FOR CORNER INTERSECTION LESS THAN 25-FT (SUB-SECTION VIII.B4c).
2. THE RADIUS ON EACH CORNER OF THE INTERSECTION NOT INCREASED ONE FOOT FOR EACH TWO DEGREES GREATER OR LESS THAN NINETY DEGREES. ( SUB-SECTION VIII.B4f)
3. RIGHT-OF-WAY WIDTH LESS THAN 40-FT EXCEPT AT CUL-DE-SAC ((SUB-SECTION VIII.B5).
4. ROADWAY GRADE LESS THAN 1% BETWEEN STATIONS 2+00 AND 2+50 (SUB-SECTION VIII.B6).
5. TECHNICAL RELEASE (TR) 20 AND TR-55 METHODOLOGIES WERE APPLIED TO GENERATE A REPRESENTATIVE MODEL OF THE EXISTING AND PROPOSED STORMWATER CONDITIONS (SUB-SECTION VIII.D4.) / NO FUTURE LAND DEVELOPMENT WILL BE ALLOWED FOR THE PROPOSED 2-LOT SUBDIVISION. (SUB-SECTION VIII.D3/D4).
6. PROPOSED 12-INCH STORM DRAIN TO BE HDPE WITH ADEQUATE STRENGTH (H-20 LOADING) IN LIEU OF REINFORCED CONCRETE (SUB-SECTION VIII.D6.).
7. SUBSURFACE INFILTRATION SYSTEM FOR STREET DRAINAGE PROPOSED WITHIN RIGHT-OF-WAY (SUB-SECTION VIII.D19.).
8. NO WATERMAINS OR FIRE HYDRANTS PROPOSED. WATER SERVICE SHALL BE PROVIDED FROM EXISTING WATERMAIN ON CHESTNUT STREET (SUB-SECTION VIII.E3a/E4a).
9. NO PAVED SIDEWALKS PROPOSED (SUB-SECTION VIII.H1-9).
10. HMA BERM PROPOSED IN LIEU OF VERTICAL GRANITE CURBING BETWEEN STATIONS 0+30 AND 3+23 (SUB-SECTION VIII.I2.).
11. NO STREET TREES PROPOSED (SUB-SECTION VIII.M.).



MICHAEL PERRY  
297 CHESTNUT ST  
RANDOLPH MA  
02368

SHEET 4 OF 6





- NOTES:

- MANHOLE FRAME & COVER  
NOT TO SCALE



- NOTES:**
1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE OUTLET WHERE APPLICABLE.
  2. THE COVER CONFIGURATION SHALL BE A GRATED INLET WITH CURBING.
  3. SWTU SHALL BE STC 450i, PRECAST CONCRETE STORMCEPTOR, OR EQUAL.

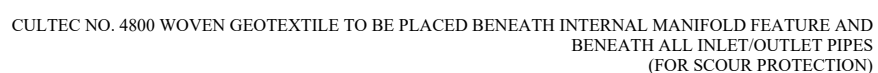
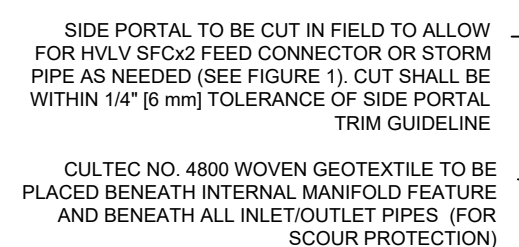
NOT TO SCALE



1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

NOTES:

1. MATERIAL USED FOR BACKFILLING MUST NOT CONTAIN STONES LARGER THAN 3 INCHES IN GREATEST DIMENSION.
2. ANY EXCAVATION BELOW 6" BELOW THE PIPE INVERT ELEVATION DUE TO UNSUITABLE SOILS MUST BE REPLACED WITH 3/4" CRUSHED STONE.

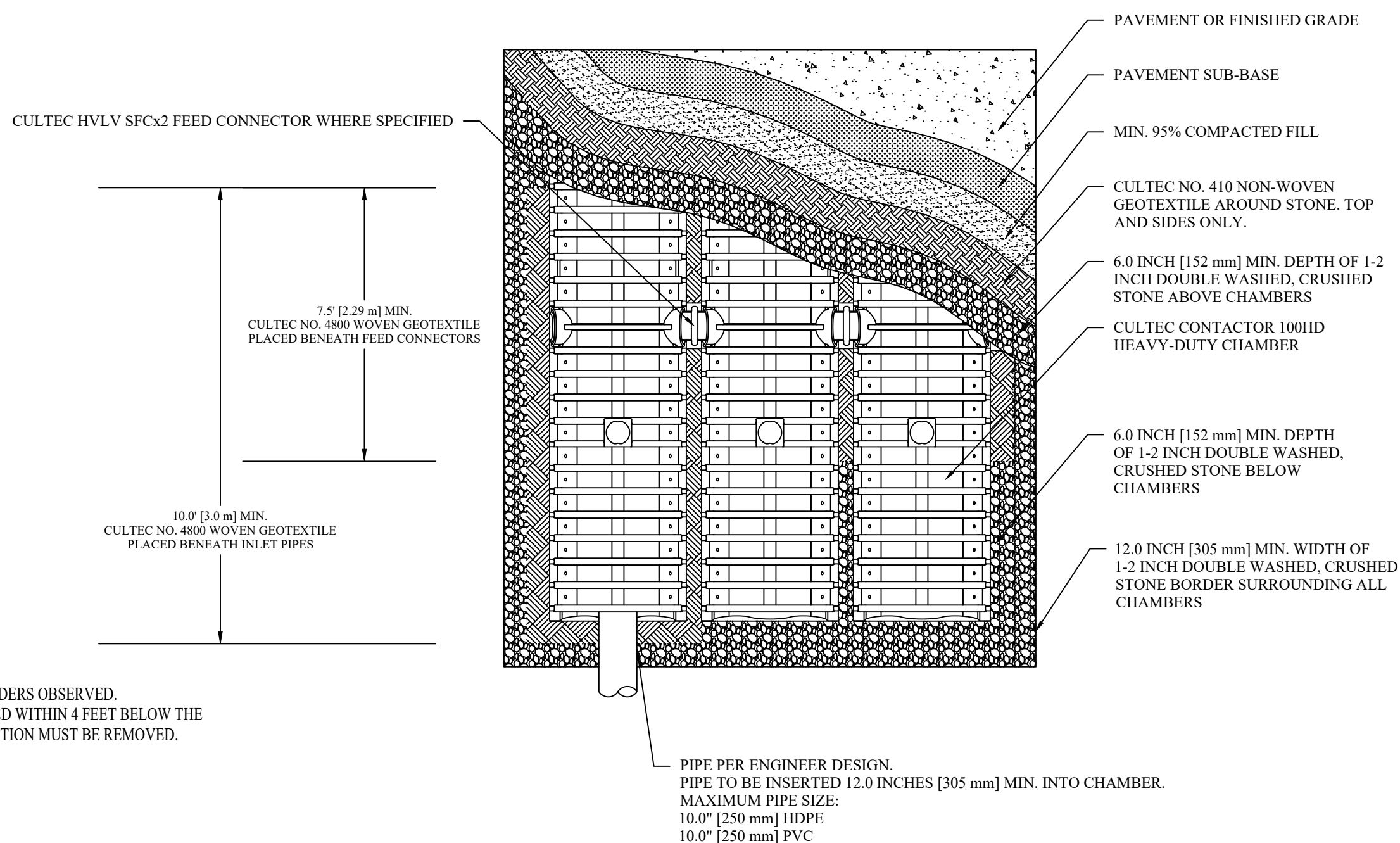
[illegible]

CULTEC® 100HD INFILTRATION CHAMBERS  
NOT TO SCALE

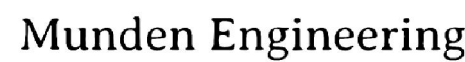


1. REMOVE GRATE AND CAP TO INSTALL OR REPLACE FILTER
2. BUCKET CAN BE REMOVED TO CLEAR DEBRIS AND SOIL

FILTREXX® CATCH BASIN INLET PROTECTION  
NOT TO SCALE



Section E, Item 1.



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Prepared For:

MICHAEL PERRY  
297 CHESTNUT ST  
RANDOLPH MA  
02368

Date: 12/20/2021

Drawn by: JLV/GM

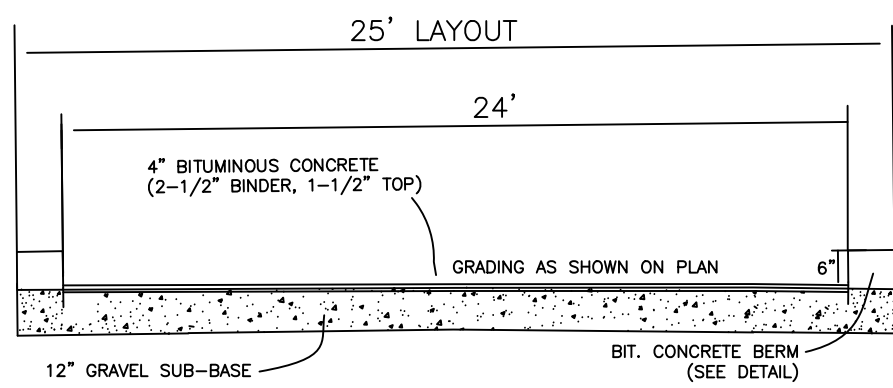
Approved by: GM

## STORMWATER MANAGEMENT DETAILS

SCALE: AS NOTED

SHEET 5 OF 6





FLAT TOP		
ITEM NO	WEIGHT	
1 HOLE MH4-F14ID	1,620#	
2 HOLE MH4-F14ID2H	930#	

ECCENTRIC CONE		
HEIGHT	ITEM NO	WEIGHT
1'-6"	MH4-18C4ID	1,335#
2'-0"	MH4-24C4ID	1,783#
2'-6"	MH4-30C4ID	2,231#
3'-0"	MH4-36C4ID	2,677#
4'-0"	MH4-48C4ID	3,425#

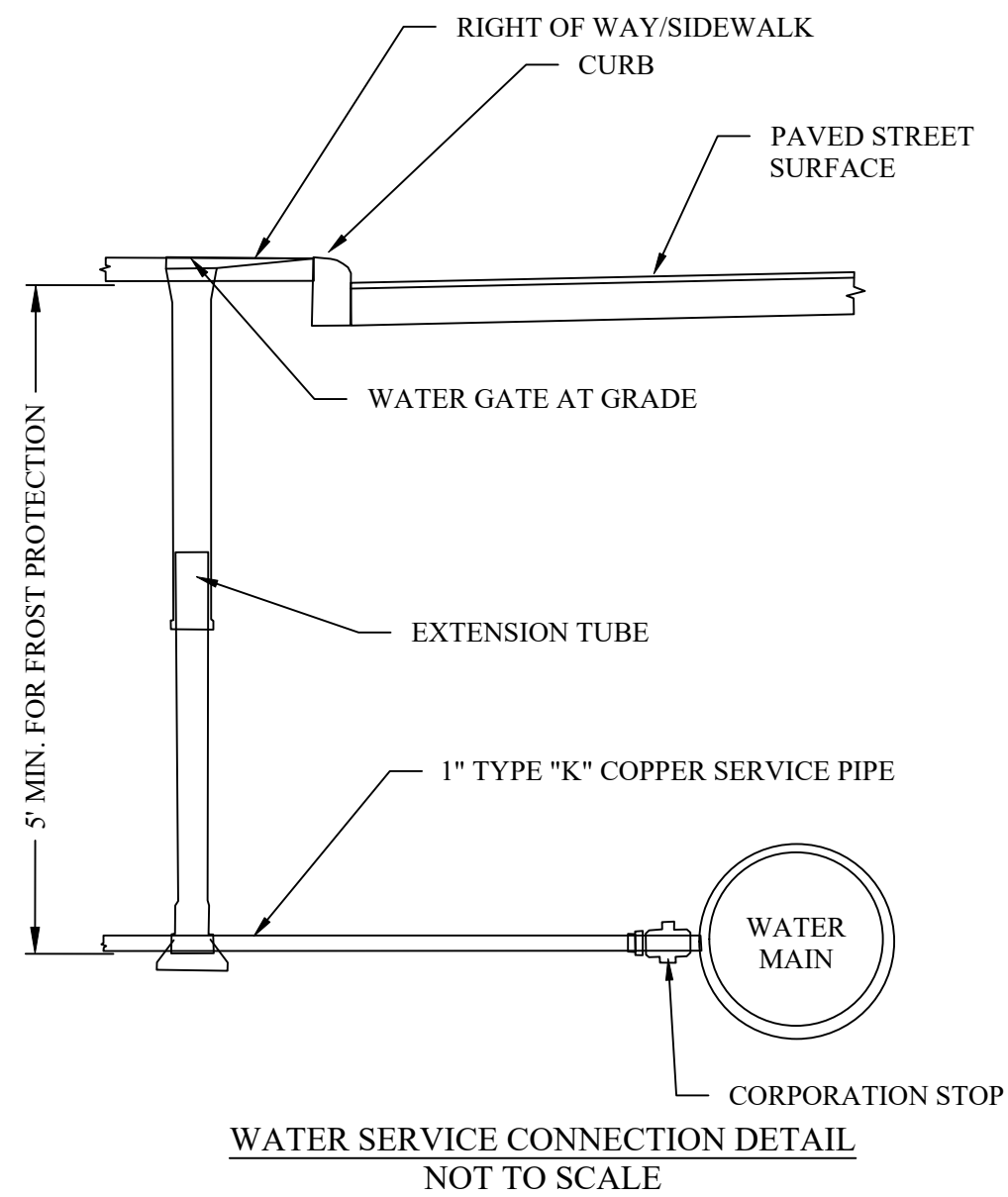
RISER SECTION		
HEIGHT	ITEM NO	WEIGHT
1'-0"	MH4-12CS4ID	856#
2'-0"	MH4-24CS4ID	1,712#
2'-6"	MH4-30CS4ID	2,140#
3'-0"	MH4-36CS4ID	2,568#
4'-0"	MH4-48CS4ID	3,424#
5'-0"	MH4-60CS4ID	4,280#

BASE SECTION		
HEIGHT	ITEM NO	WEIGHT
2'-0"	MH4-24S4ID	2,640#
2'-6"	MH4-30S4ID	3,067#
3'-0"	MH4-36S4ID	3,495#
3'-6"	MH4-42S4ID	3,922#
4'-0"	MH4-48S4ID	4,350#
4'-6"	MH4-54S4ID	4,777#
5'-0"	MH4-60S4ID	5,205#
5'-6"	MH4-66S4ID	5,633#
6'-0"	MH4-72S4ID	6,060#

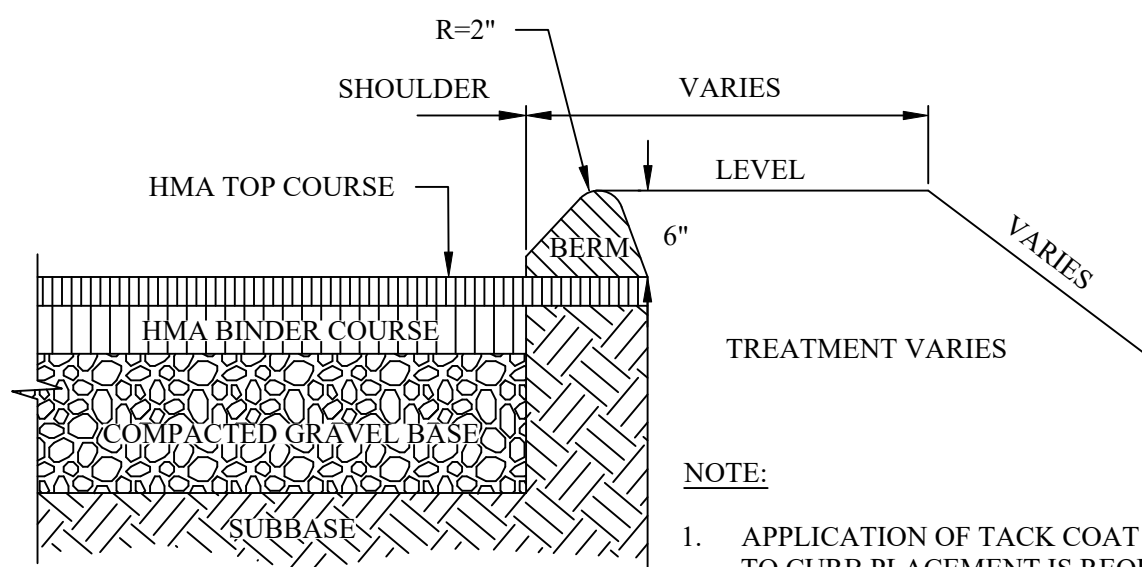
NOTES:

- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
- REINFORCED STEEL CONFORMS TO ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
- DESIGN LOADING PER AASHTO HS-20, 1 TO 5 FEET COVER.
- MANHOLE DESIGN SPECS CONFORM TO ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

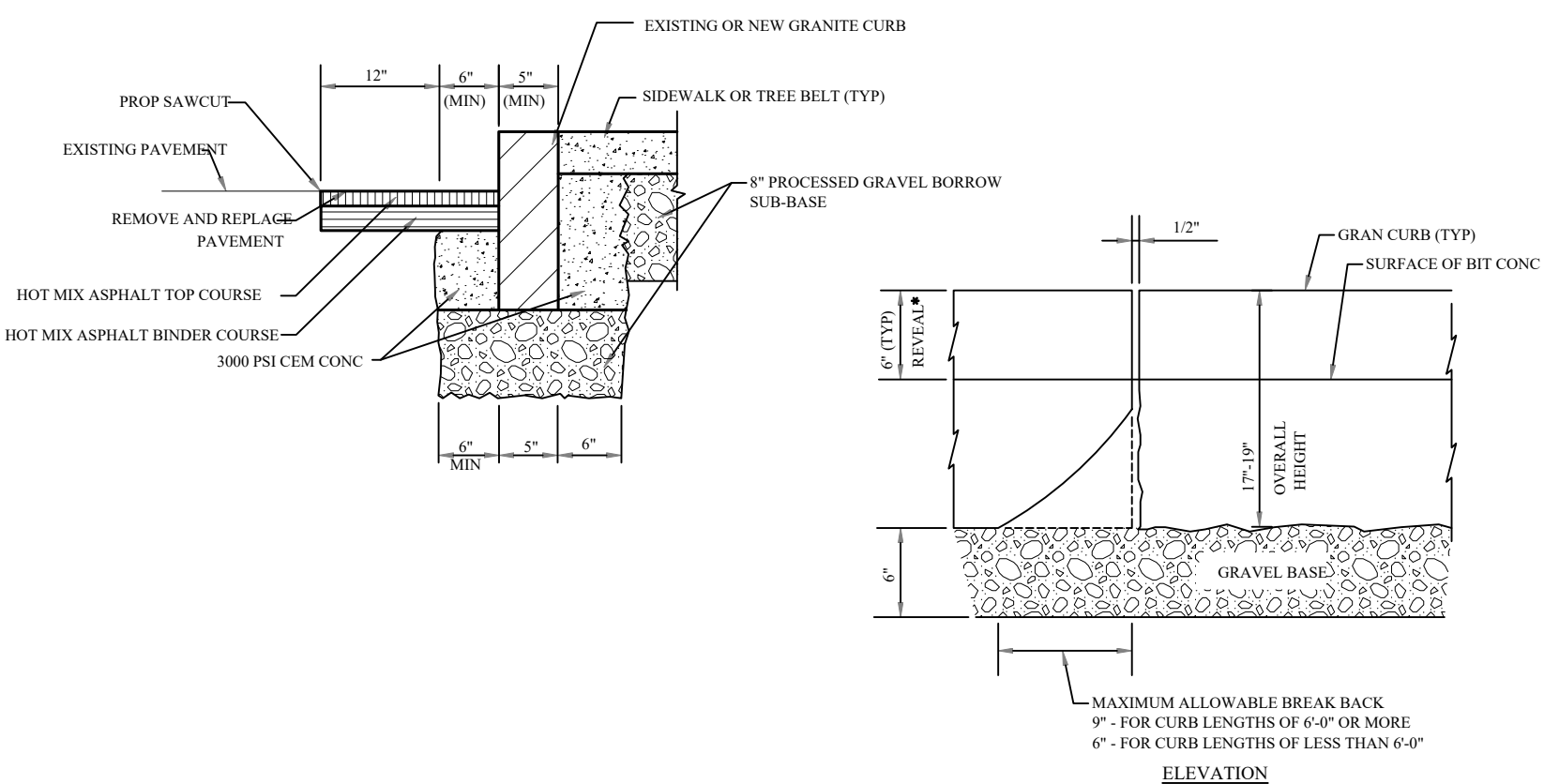
PRECAST CONCRETE CATCH BASIN  
NOT TO SCALE



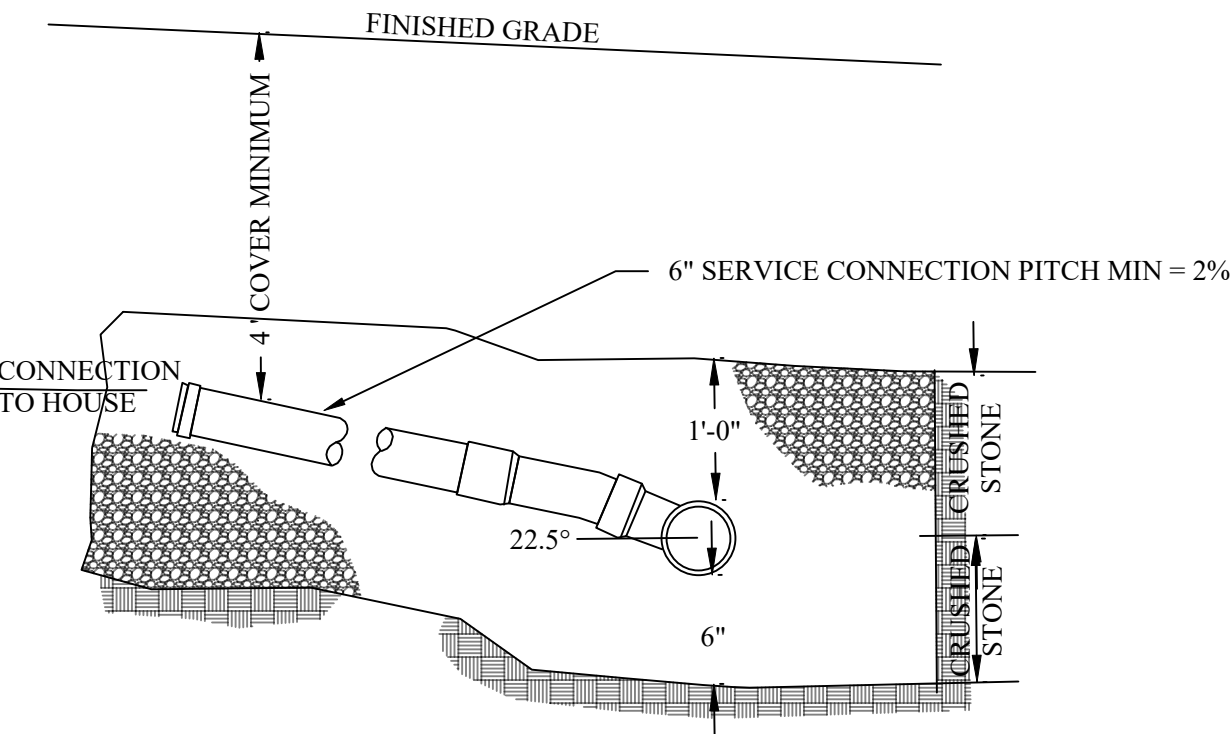
WATER SERVICE CONNECTION DETAIL  
NOT TO SCALE



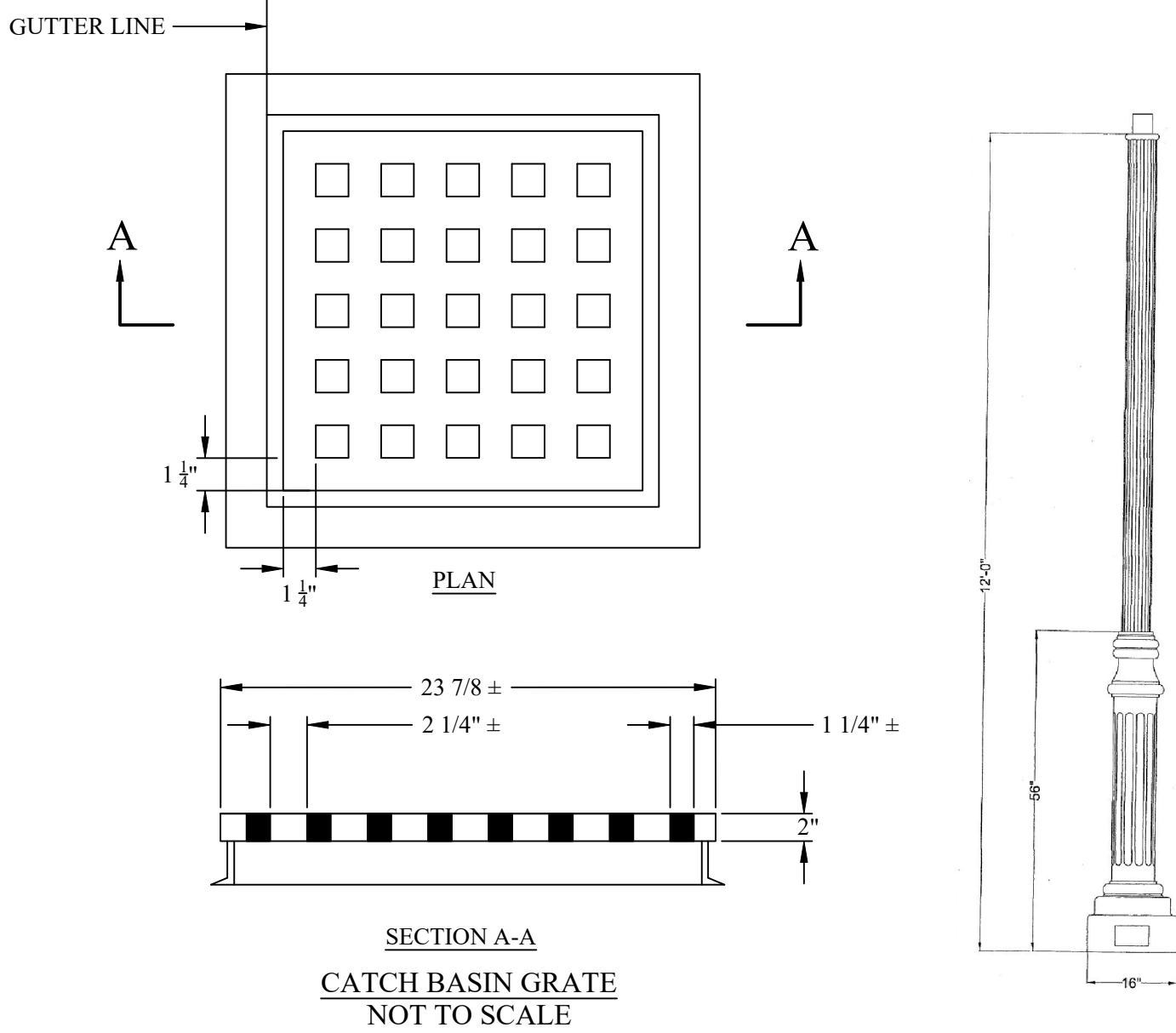
HMA BERM DETAIL  
NOT TO SCALE



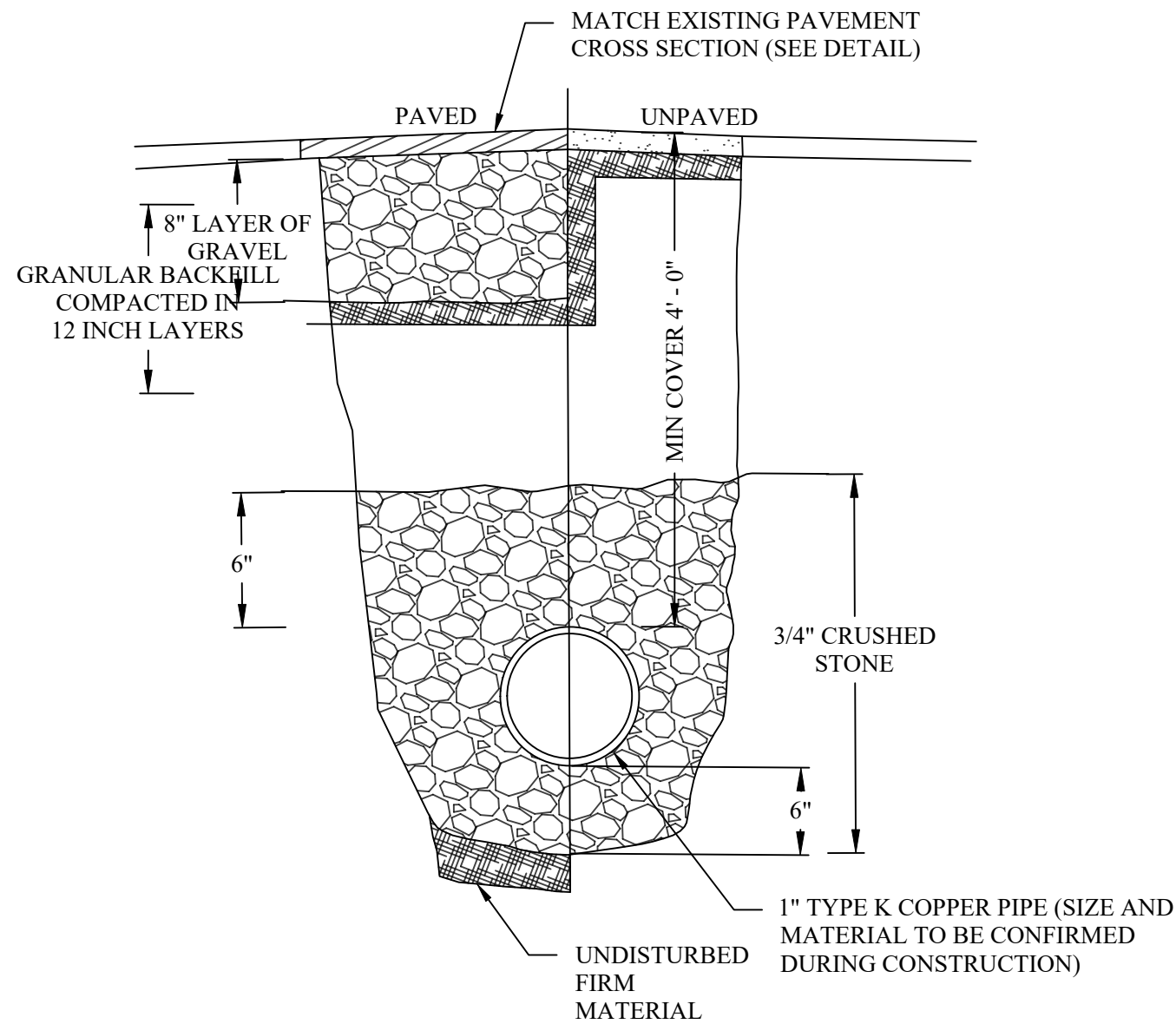
GRANITE CURB DETAIL  
NOT TO SCALE



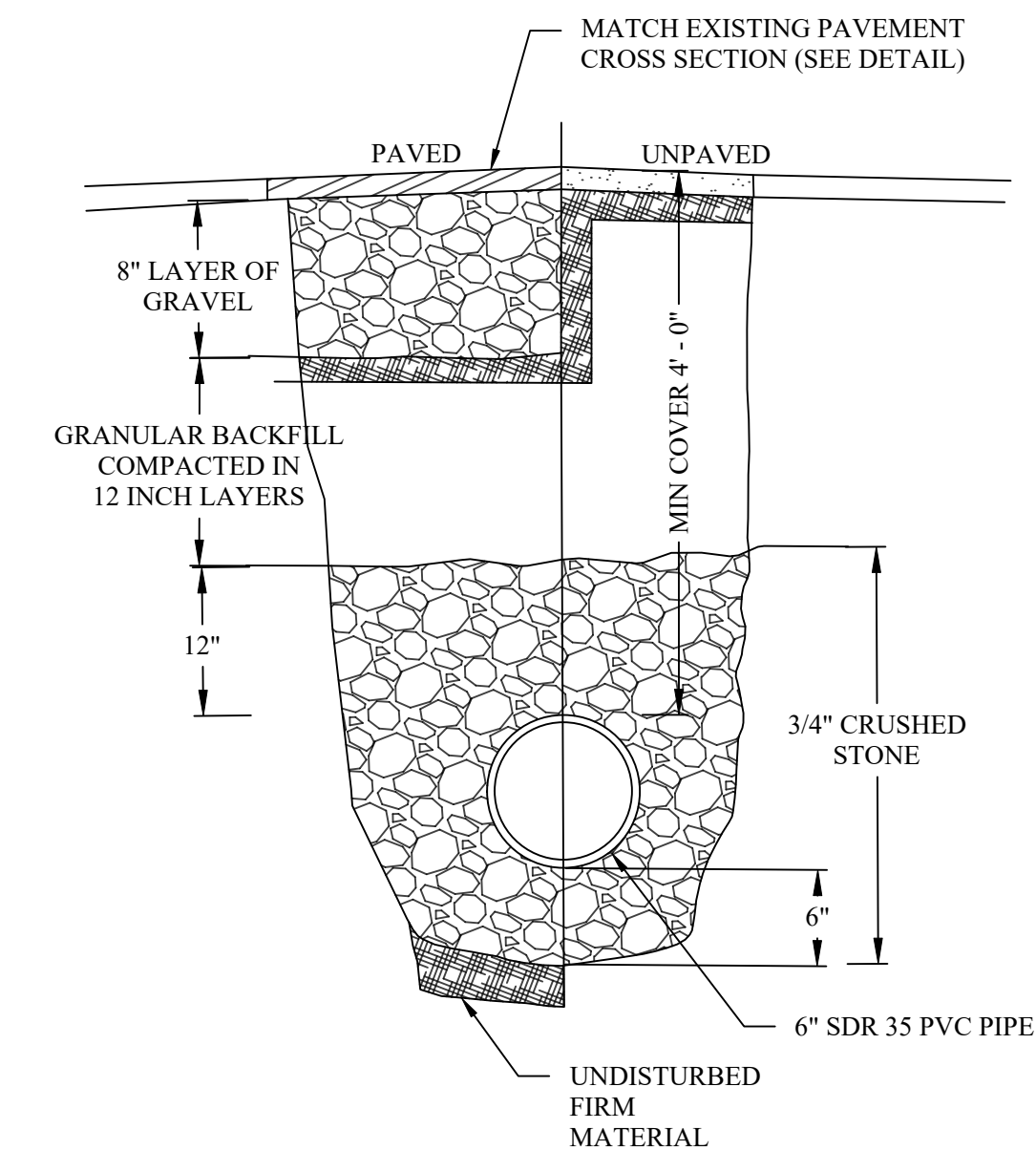
SEWER SERVICE CONNECTION DETAIL  
NOT TO SCALE



SECTION A-A  
CATCH BASIN GRATE  
NOT TO SCALE



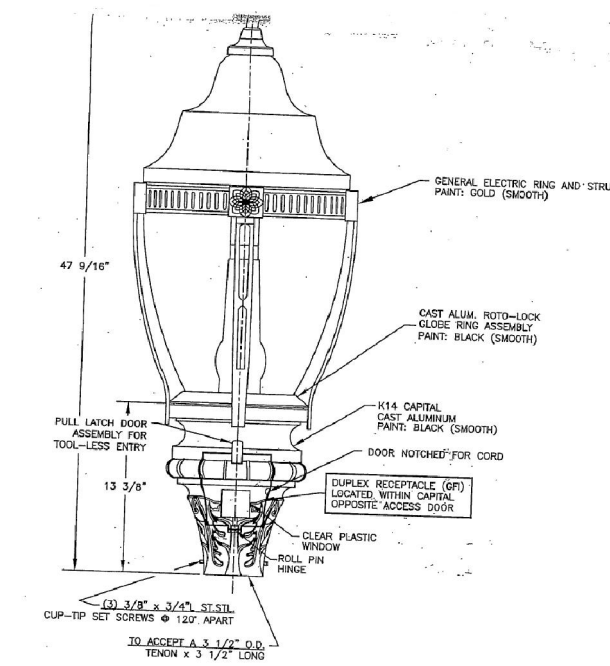
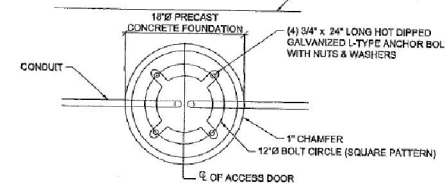
WATER SERVICE TRENCH DETAIL  
NOT TO SCALE



- NOTES:
- MATERIAL USED FOR BACKFILLING MUST NOT CONTAIN STONES LARGER THAN 3 INCHES IN GREATEST DIMENSION.
  - ANY EXCAVATION BELOW 6" BELOW THE PIPE INVERT ELEVATION DUE TO UNSUITABLE SOILS MUST BE REPLACED WITH 3/4" CRUSHED STONE.

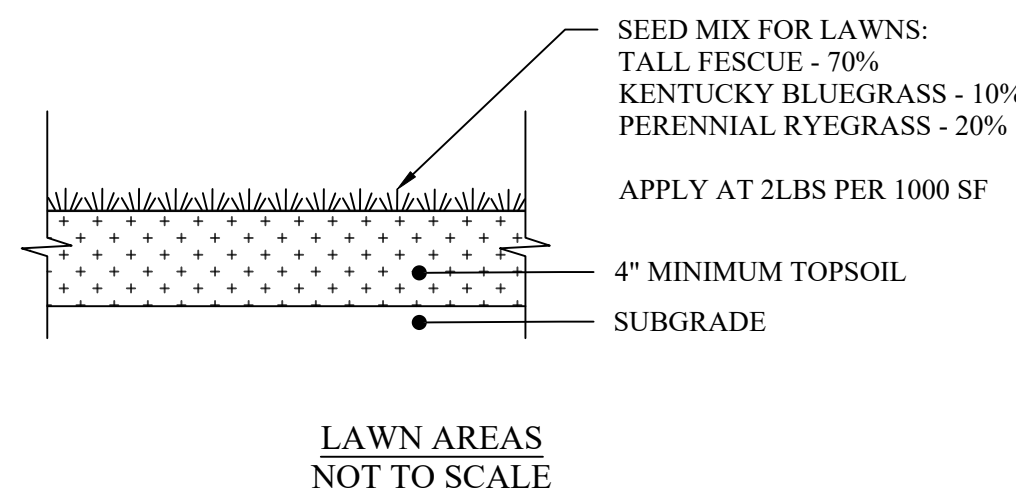
SEWER SERVICE TRENCH DETAIL  
NOT TO SCALE

POLE SPECIFICATIONS  
STYLE: HANCOCK SERIES  
HEIGHT: 12'-0" OVERALL POST HEIGHT  
BASE DIAMETER: 16"  
TENON: 3 1/2" DIA x 3 1/2" TALL  
MATERIAL: HEAVY WALL CAST ALUMINUM 355 ALLOY  
SHAFT: 5" EXTRUDED FLUTED ALUMINUM .250 WALL THICKNESS  
FINISH: GLOSS BLACK ENAMEL  
ANCHOR BOLTS: 3/4" DIA x 24" L x 3" HOOK M.D. GALVANIZED  
CATALOG NO.: ACDP-HANCOCK-12-E-BK  
QUANTITY: 2

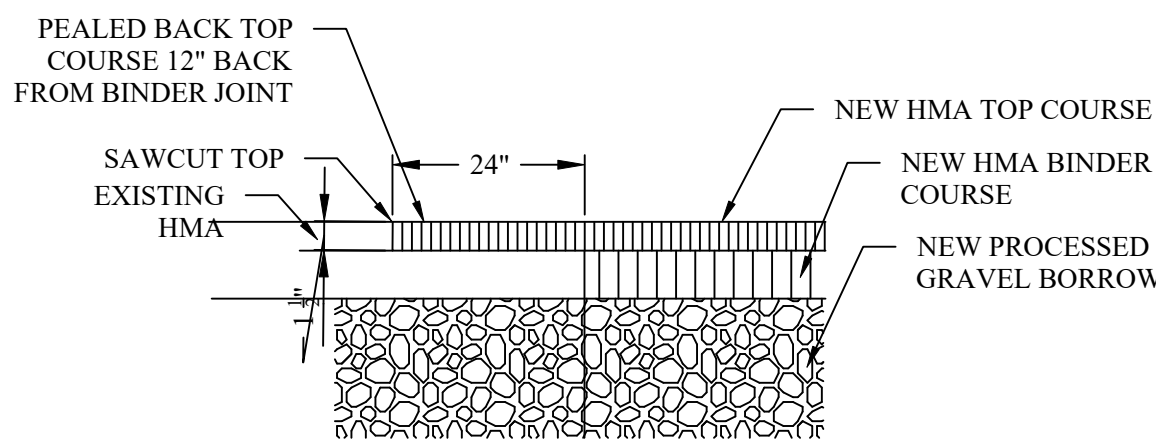


NOTES:  
1. LIGHTS SHALL BE INSTALLED AT A RATIO OF ONE (1) LIGHT FOR EVERY FOUR (4) LOTS OR NOT MORE THAN FIVE HUNDRED FEET (500') OF SEPARATION WHICHEVER IS LESS.  
2. PROPOSED STREET LIGHT MAKE, MODEL AND OTHER PROPERTIES ARE AS SHOWN ON APPENDIX B OF RANDOLPH SUBDIVISION RULES AND REGULATIONS. REFER TO THE DOCUMENT FOR ADDITIONAL INFORMATION.  
3. LIGHTS SHALL REMAIN LIT AT THE EXPENSE OF THE APPLICANT OR HOA UNTIL SUCH TIME AS THE STREET IS ACCEPTED BY THE TOWN. AN ESCROW ACCOUNT MAY BE REQUIRED FOR PAYMENT OF COSTS FOR STREET LIGHTING.

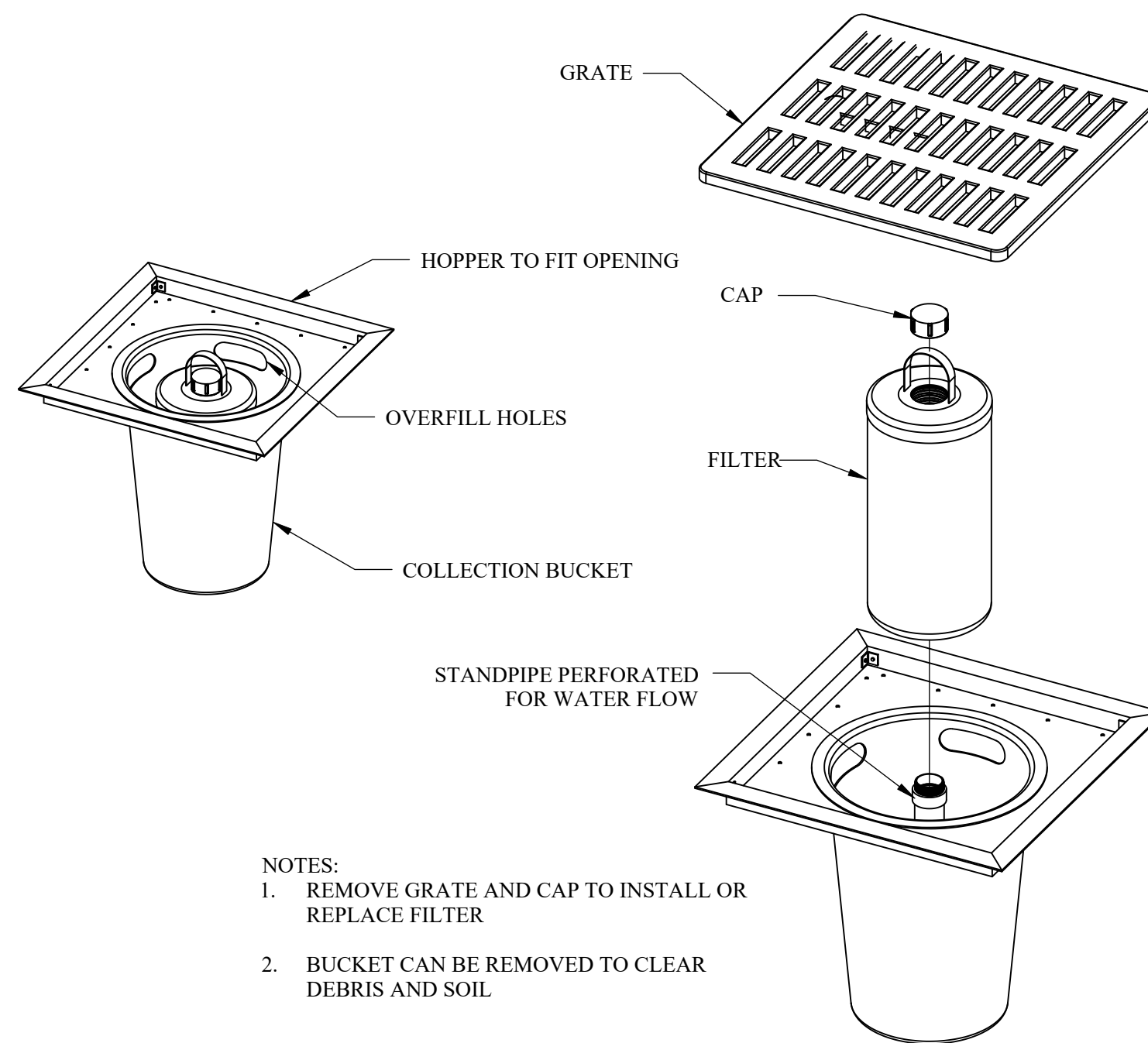
STREET LIGHT DETAIL  
NOT TO SCALE



LAWN AREAS  
NOT TO SCALE



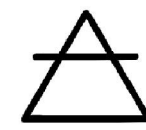
TYPICAL BUTT JOINT  
TO EXISTING PAVEMENT  
NOT TO SCALE



- NOTES:
- REMOVE GRATE AND CAP TO INSTALL OR REPLACE FILTER
  - BUCKET CAN BE REMOVED TO CLEAR DEBRIS AND SOIL

FILTREXX® CATCH BASIN INLET PROTECTION  
NOT TO SCALE

Prepared By:



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*G. Munden*

Prepared For:

MICHAEL PERRY  
297 CHESTNUT ST  
RANDOLPH MA  
02368

Rev. No.	Rev. Date	Description
2	05/04/2022	PB Comments.
1	02/02/2022	Stormwater system details revised.

Date: 12/20/2021

Drawn by: JLV/GM

Approved by: GM

DETAILS-2

SCALE: AS NOTED

SHEET 6 OF 6



*Planning Department  
41 South Main Street  
Randolph, MA 02368  
Phone: 781-961-0936*

To: Planning Board  
From: Michelle Tyler  
Date: April 7, 2022  
RE: Street Names –Perry Estates Modification

---

This memo provides a list of potential names for a street should the Perry Estates subdivision modification be approved. These options have been reviewed with the Town Engineer to ensure conformity with existing naming conventions, prevent duplicate names and to reduce the possibility of confusion with any existing street names. Additional information about the proposed names is provided.

- 1) **Toby Lane** – owner request
- 2) **Laurel Lane**- tree species native to Massachusetts and the northeast
- 3) **Talbot Lane** – named for the only Randolph residents listed as members of the Ponkapoag tribe in the 1800's Joseph Talbot, a shoemaker, his wife Lucy and their 4 children (source Ponkapoag Tribal Council [www.neponsett.org](http://www.neponsett.org))

Should the Planning Board choose to consider other options, please reference the list of Randolph men who served during the Civil War as well as additional requests that have been submitted to the Board:

- 1) **Rodd Way** – for Albert J. Rodd, US Army veteran, member of Randolph Fire Department, graduate of Stetson High School
- 2) **Maher Way** – for Victor A. Maher, USMC (no additional information provided)
- 3) **Whealan Way** – for members of the Whealan family (numbering 7) who served in the armed forces and Randolph Police Department
- 4) **Burgess Way** – for the members of the Burgess family who served in the armed forces

## Site Plan & Design Review Checklist

Section F, Item1.

### PLAN PAGES and APPLICATION SUBMITTED

- ☐ Existing Conditions plan
  - > Are there photographs of the site and/or existing structures? Is there a demolition plan?
  - > Does the plan set include contours, utilities, wetlands and adjacent parcels?
  - > Is the existing structure greater than 100 years old?
- ☐ Renderings & elevations for any proposed building modifications
  - > Are there renderings in color with specific materials and color choices called out and/or samples or cut sheets of materials for façade, lighting, enclosures, amenities?
- ☐ Grading and drainage plan
- ☐ Utility plan
- ☐ Site layout plan
- ☐ Fire apparatus access plan
- ☐ Landscaping plan
- ☐ Site lighting plan including quantity and types of fixtures and a photometric plan
- ☐ Zoning compliance matrix
- ☐ Development Impact Statement
- ☐ Traffic analysis (when applicable)
- ☐ Letter from Stormwater Authority (or date of scheduled hearing)
- ☐ Order of Conditions from ConCom (if applicable)

**ESSENTIAL ITEMS/ISSUES TO BE CONSIDERED AT A MEETING**

- ☐ Are there existing trees/significant vegetation or site features to be preserved? Are they noted on the plan set? Will they be marked in the field?
- ☐ What is the building scale & relation to surrounding structures/lots including orientation to the street?
- ☐ Is the structure or any abutting structures greater than 100 years old?
- ☐ What is the lot coverage (pervious vs. impervious)
- ☐ Evaluate the placement and configuration of parking areas relative to the site; curb cuts onto streets; type of curbing (granite vs. asphalt); style of curbing (vertical, CCB). Are service areas (loading bays) required? Is there directional signage (striping and/or signs)?
- ☐ Snow storage & removal plans
- ☐ HVAC location and screening
- ☐ Location of hydrants and catch basins
- ☐ Dumpster location and screening
- ☐ Pedestrian connectivity and amenities
- ☐ Type and height of site lighting; type and number of wall packs
- ☐ Proposed sign plan (colors, design, location)

**OTHER ITEMS TO CONSIDER**

- Is SWPPP required (1 acre+)? If not, what are requirements for site management during construction?
  - What are the proposed hours of operation after construction? Is there an affect on abutters?
  - What is the effect of the development on to traffic circulation?
  - Does the project require other approvals (e.g. historic commission, licensing board, special permit, health department)?
- 
- |   |                                   |
|---|-----------------------------------|
| ○ Estimated start of construction?                          | Estimated length of construction? |
| ○ Is there a "length of approval" for the Board's decision? |                                   |
| ○ Peer review required?                                     | Performance guarantee required?   |

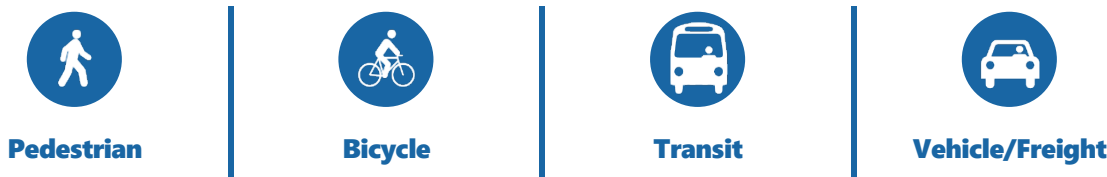
**SPECIAL PERMIT CRITERIA TO CONSIDER**

1. The proposal is suitably located in the neighborhood in which it is proposed and/or the total Town, as deemed appropriate by the Special Permit Granting Authority;
2. The proposal is compatible with existing uses and other uses permitted by right in the same district;
3. The proposal would not constitute a nuisance due to air and water pollution, flood, noise, dust, vibrations, lights, or visually offensive structures and accessories;
4. The proposal would not be a substantial inconvenience or hazard to abutters, vehicles, or pedestrians;
5. Adequate and appropriate facilities would be provided for the proper operation of the proposed use;
6. The proposal reasonably protects the adjoining premises against any possible detrimental or offensive uses on the site, including unsightly or obnoxious appearance;
7. The proposal provides convenient and safe vehicular and pedestrian movement within the site, and in relation to adjacent streets, property or improvements;
8. The proposal ensures adequate space for the off-street loading and unloading of vehicles, goods, products, materials, and equipment incidental to the normal operation of the establishment or use;
9. The proposal provides adequate methods of disposal and/or storage for sewage, refuse, and other wastes resulting from the uses permitted or permissible on the site, and methods of drainage for surface water,
10. The proposal ensures protection from flood hazards, considering such factors as the following:  
elevation of buildings; drainage, adequacy of sewage disposal; erosion and sedimentation control; equipment location; refuse disposal; storage of buoyant materials; extent of paving; effect of fill, roadways or other encroachments on flood runoff and flow;
11. The proposal is in general harmony with the general purpose and intent of this bylaw;
12. The proposed use complies with any and all additional Special Permit Criteria or special use regulations imposed on individual uses as established in the ordinances.



# Introduction: Program Purpose and Overview

Complete Streets make travel safe, comfortable, convenient, and accessible for people of all ages, abilities, and travel modes. By designing streets for a wide range of users, streets become more than just links that people pass through. They can contribute to the safety, health, economic viability, and quality of life in a community by expanding transportation options between home, school, work, recreation, and retail destinations. Embedding Complete Streets principles in policy and practice help promote more livable and equitable communities.



Launched in 2016, the [MassDOT Complete Streets Funding Program](#) is a first-in-the-nation program that dedicates state transportation funds to plan and implement Complete Streets. After just five years of operation, MassDOT has seen the power of the dedicated funding program and has made the program permanent with more than half of Massachusetts communities involved in the program at some level. To view up-to-date program participation by municipality, visit the online [participation map](#).

**FIGURE 1: MEASURING PROGRAM SUCCESS, 2016 TO 2020**



Local participation in the Complete Streets Funding Program is bringing on-the-ground changes that benefit people across the Commonwealth. Ultimately, MassDOT’s goal is for all 351 cities and towns in Massachusetts to be actively engaged in the Complete Streets Funding Program and to integrate Complete Streets principles into all local transportation planning and design practices.

This Complete Streets Funding Program Guidance describes the goals, benefits, and requirements for participating in the program. After a review of the program’s first five years of operation, this guidance document has been updated to respond to feedback provided by participating municipalities, municipalities that haven’t yet enrolled in the program, and a broad stakeholder group. This updated guidance is simplified, more accessible, and more directly addresses the unique transportations needs of rural municipalities.

# 2017 COMPREHENSIVE MASTER PLAN IMPLEMENTATION GRID

LAND USE		Primary Responsibility	Time Frame				NOTES
			Short	Medium	Long	Ongoing	
<b>Master Plan Task</b>							
LU1	Review and update zoning to encourage mixed-use and strategic commercial development.	PLANNING BOARD Town Council	X				
LU2	Update the current design review regulations to enhance design guidelines and extend design review to more types of development.	PLANNING BOARD Town Council	X				
LU3	Identify and market priority sites to attract new development.	Planning Dept.	X				
LU4	Clearly “brand” and promote the Crawford Square area as the Town Center.	PLANNING BOARD Town Council	X				
LU5	Continue working to protect open space resources through investment, reforestation, zoning, and design review regulations.	PLANNING BOARD Town Council				X	
LU6	Promote sustainable land use and development practices.	PLANNING BOARD Town Council	X				
LU7	Provide for the mitigation of negative impacts associated with development through developer’s contributions to the provision of new infrastructure, the creation of public amenities, or user fees.	PLANNING BOARD Town Council	X				

ECONOMIC DEVELOPMENT		Primary Responsibility	Time Frame				NOTES
			Short	Medium	Long	Ongoing	
<b>Master Plan Task</b>							
ED1	Produce marketing and promotional materials and events.	Planning		X			
ED2	Facilitate broader outreach to the business community	Planning Chamber of Commerce		X			
ED3	Provide developers and owners of vacant and underutilized properties with information and guidance through town regulations and ordinances to guide appropriate development of these parcels.	<b>PLANNING BOARD</b> Planning Dept	X				
ED4	Develop curriculum and workshops to assist businesses with parcel development.	Planning Dept Chamber of Commerce		X			
ED5	Engage the local business community	Planning Dept Chamber of Commerce		X			
ED6	Identify areas in the town that are appropriate for employers of Professional and Technical Services and Accommodation and Food Services.	<b>PLANNING BOARD</b> Planning Dept Chamber of Commerce		X			
ED7	Market under-utilized parcels for mixed use, including the development of medical office space.	<b>PLANNING BOARD</b> Planning Dept Town Council		X			
ED8	Use results of the retail gap analysis described herein to promote retail development in target areas.	<b>PLANNING BOARD</b> Planning Dept Chamber of Commerce		X			

HOUSING		Primary Responsibility	Time Frame				NOTES
			Short	Medium	Long	Ongoing	
Master Plan Task							
H1	Increase affordable housing availability in appropriate locations to ensure the needs of current and future residents are met.	Planning Dept Housing Authority		X			
H2	Preserve, maintain, and upgrade existing affordable housing units.	Housing Authority				X	
H3	Promote homeownership throughout the town.	Housing Authority				X	
H4	Expand the mix of housing choices throughout town for a range of incomes, ages, and family types.	PLANNING BOARD Planning Department Town Council		x			4/26/22 – discussion by the Board to research opportunities bearing in mind potential affect of MBTA communities zoning requirements to be enacted by December 2023. Also notes that zoning has been updated to permit “tiny house” development to scale down sizes. Includes a bonus density when a developer includes affordable units.

OPEN SPACE AND RECREATION		Primary Responsibility	Time Frame				NOTES
			Short	Medium	Long	Ongoing	
<b>Master Plan Task</b>							
<b>OSR1</b>	Continue the protection of existing open space parcels and acquire new lands.	<b>PLANNING BOARD</b> ConCom Planning Dept Town Council				<b>X</b>	3/22/22 PB to incorporate protection of green space, where feasible, in review of all development proposals. Will research cluster development and open space design regulations to determine if they can be incorporated in Randolph regulations
<b>OSR2</b>	Preserve and maintain sufficient habitats for native plant and wildlife species.	<b>PLANNING BOARD</b> ConCom Planning Dept Town Council				<b>X</b>	3/22/22 Planner to ensure native pollinator species are included with the recommended landscaping plant listing made available to developers. Need to find a way to incorporate it in a checklist of items reviewed. -incorporate question about rare/endangered habitat and species check on applications -incorporate requirement to address impacts in the Development Impact Statement
<b>OSR3</b>	Create multi-modal links between open space and recreation areas.	Recreation <i>DPW</i> <i>Conservation</i> <i>Planning</i>		X			3/22/22 – Planner provided list of Conservation parcels to the MPIC and to Conservation. Requested to send to Planning Board  4/28/22 – Complete Streets policy/participation in development with BETA Engineering and DPW. To go before TC for approval. Identification of 15+ projects some of which would address this
<b>OSR4</b>	Improve public access at and within land managed by the Conservation Commission.	ConCom Planning Dept	X				
<b>OSR5</b>	Continue working to protect open space resources through investment, reforestation, zoning, and design review regulations.	<b>PLANNING BOARD</b> Conservation Commission Planning Dept Town Council				<b>X</b>	3/22/22 – Research clear-cutting ordinances in the state to consider recommending updates to Randolph laws - Research potential of tree bank ordinance
<b>OSR6</b>	Maintain and provide sufficient active recreation facilities.	Recreation				X	
<b>OSR7</b>	Provide for the mitigation of negative impacts associated with development activities through impact fees to assist in the funding of open space and recreation oriented initiatives.	<b>PLANNING BOARD</b> ConCom Planning Dept Town Council		X			3/22/22 – This should be ONGOING and the PB should consider reasonable mitigation when impacts of development affect greenspace.

NATURAL AND CULTURAL RESOURCES		Primary Responsibility	Time Frame				NOTES
			Short	Medium	Long	Ongoing	
<b>Master Plan Task</b>							
<b>NHC1</b>	Continue working to preserve natural resources through the acquisition of vulnerable open space areas to protect them in perpetuity.	<b>PLANNING BOARD</b> ConCom Planning Dept Town Council				<b>X</b>	4/14/22 - (see OSR1)
<b>NHC2</b>	<p>Review Town ordinances to consider impact of zoning and other regulations on historic properties to introduce coordinating measures, such as:</p> <ul style="list-style-type: none"> <li>Monitor impact of Site Plan and Design Review process on historic resources.</li> <li>Amend Residential District Setback Provision, Section 200-28. A (2), and allow for relief from strict adherence to the 25' setback to match the setback of adjacent historic houses.</li> <li>Notify the Historical Commission of buildings 50 years old or older that are cited under Chapter 83, Security and Maintenance of Abandoned and/or Dilapidated Buildings.</li> </ul>	Historic Commission <b>PLANNING BOARD</b> Planning Dept Town Council		X			<p>4/14/22 – Board suggests joint meeting with Historic Commission to determine a collective approach to any potential zoning amendments. Board suggests adjusting the project checklist for site plan development to include a confirmation that a parcel (or neighboring parcels) are not historic in nature. Tony Plizga to suggest language to amend 200-28A to provide setback relief when abutting historic structures are affected.</p> <p>4/26/22 – M. Tyler reached out to the chair of the Historic Commission asking for a joint meeting. Waiting on their calendar.</p>
<b>NHC3</b>	Change threshold of Demolition Delay Ordinance to the national standard of 50 years old or older, and extend the delay period to nine months or more.	Historic Commission <b>PLANNING BOARD</b> Planning Dept Town Council		X			<p>4/14/22 – ask to meet with Historic Commission</p> <p>4/26/22 – M.Tyler reached out to chair of Historic Commission asking for a joint meeting. Waiting on their calendar.</p>
<b>NHC4</b>	Expand availability of HRI documents by including links to them on the Town's webpage.	Historic Commission Planning Dept	X				
<b>NHC5</b>	Add historic designations to online GIS.	Historic Commission Planning Department	<b>COMPLETED 2021</b>				

NHC6	Establish a History Room in the Turner Free Library to provide better access to historic material about Randolph.	Historic Commission Library		X			
NHC7	Restart historic marker program, and establish historic street signage program.	Historic Commission		X			
NHC8	Encourage the use of historic properties as economic development tools by using state and federal Historic Rehabilitation Tax Credits.	Historic Commission Planning Department		X			
NHC9	Work with Preservation Massachusetts to utilize their Circuit Rider Program.	Historic Commission Planning Department		X			
NHC10	Take advantage of all funding sources for historic preservation, including: <ul style="list-style-type: none"> <li>Massachusetts Preservation Projects Fund</li> <li>Massachusetts Historical Commission Survey and Planning Grants</li> <li>CPA Funds</li> <li>Preservation Massachusetts Predevelopment Loan Fund</li> <li>The MCC</li> </ul>	Historic Commission Planning Department Mass Cultural Council		X			

SERVICES AND FACILITIES		Primary Responsibility	Time Frame				NOTES
			Short	Medium	Long	Ongoing	
Master Plan Task							
SF1	Prioritize allocation from the local budget towards improving aged utilities and educational facilities.	DPW Town Council	X				
SF2	Assess the needs for upgrades to school facilities on a regular basis.	DPW RPS				X	
SF3	Provide access to areas and amenities of all schools’ building interior, including ADA-accessible restrooms, elevators, drinking fountains, and parking.	RPS	X				
SF4	Review the needs of residents to ensure programs that are offered by the Town reflects the needs and interests of all Randolph residents.	Town Manager				X	
SF5	Centralize social services information at one location to make it easier for residents and visitors to get the information they need.	DPW Health Dept Planning Dept Town Manager		X			
SF6	Replace the Randolph-Holbrook Treatment Plant.	DPW	IN PROGRESS				
SF7	Complete the cleaning and lining of the water mains.	DPW	X				
SF8	Provide new 8-Inch water mains.	DPW	X				
SF9	Increase fire flow protection.	DPW	X				
SF10	Remove sump pumps from the sewer system.	DPW	X				
SF11	Continue inflow/infiltration detection and removal.	DPW				X	
SF12	Educate the public about proper disposal of grease and cleaning products.	DPW	X				



TRANSPORTATION		Primary Responsibility	Time Frame				NOTES
			Short	Medium	Long	Ongoing	
Master Plan Task							
T1	Decrease congestion along roads that are operating at an unacceptable level.	DPW Planning Dept		X			4/28/22 – Complete Streets policy/participation in development with BETA Engineering and DPW. To go before TC for approval. Identification of 15+ projects some of which would address this
T2	Make changes to parking policy to organize the public parking supply to be more efficient and reflect current demand.	DPW	X				
T3	Increase pedestrian and bicyclist safety.	Planning Dept DPW	X				4/28/22 – Complete Streets policy/participation in development with BETA Engineering and DPW. To go before TC for approval. Identification of 15+ projects some of which would address this
T4	Expand viable transit options for all Randolph residents and employees.	DPW		X			
T5	Develop local capacity to address transportation and circulation needs on an ongoing basis.	DPW Planning Dept Town Manager		X			



## PLANNING DEPARTMENT

**FORM B****APPLICATION FOR A PRELIMINARY SUBDIVISION PLAN**

Project Name	Corporal Arredondo Way		
Parcel Location	186 Canton Street Randolph MA 02368	Zoning District	RSFHD
Assessor Parcel ID	1522	Norfolk County Registry of Deeds	40069/333 <small>Book/Page or Certificate #</small>
Size of Parcel	29963 sqft	Proposed # Lots	2
Wetlands	<input type="checkbox"/> Waterbody <input type="checkbox"/> FEMA Flood Plain <input type="checkbox"/> Resource Area <input type="checkbox"/> Other		

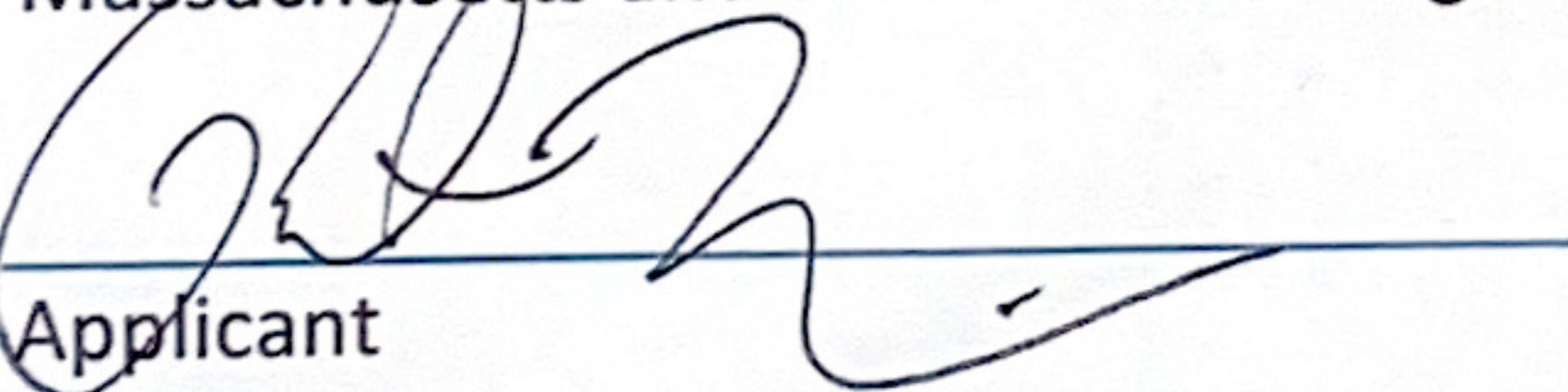
Applicant	Robert L. Nichols Jr. - New City Investors LLC		
Address	69 Nancy Rd		
Address2	Milton MA 02186		
Phone	617-448-5112	Email	robert@btrealtygroup.com

Surveyor/Engineer	Stephen Desroche Neponset Valley Survey Associates		
Address	95 White Street Quincy MA 02169		
Address2			
Phone	617-472-4867	Email	sdesroche@nepval.com

*\*If property owner is not the Applicant, separate authorization from the owner is required\**

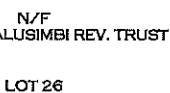
Property Owner	Same		
Address			
Address2			
Phone		Email	

The undersigned submits the accompanying Preliminary Plan of property located in the Town of Randolph for tentative approval as a subdivision as permitted under the Subdivision Control Law of the Commonwealth of Massachusetts and the Rules and Regulations Governing the Subdivision of Land by the Planning Board.

  
Applicant

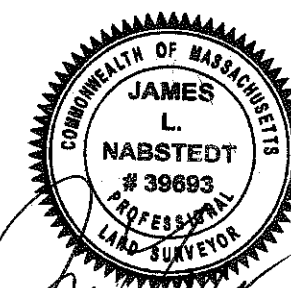
3/28/22  
Date





PREPARED BY:  
**NEPONSET VALLEY  
SURVEY ASSOC., INC.**  
95 WHITE STREET QUINCY, MASS.  
JANUARY 15, 2022 SCALE 1"= 40'

CANTON STREET - (COUNTY LAYOUT)  
PLAN BOOK: 117  
PLAN No.198 OF 1934 (SHEET 1 OF 2)



JAMES L. NABSTEDT      PLS No. 39693

