

PLANNING BOARD MEETING

Tuesday, March 25, 2025 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

AGENDA

Pursuant to the temporary provisions pertaining to the Open Meeting Law, public bodies may continue holding meetings remotely without a quorum of the public body physically present at a meeting location until March 31, 2025. The public is invited to participate in the meeting in person, via telephone or computer.

A. Call to Order - Roll Call

B. Chairperson Comments

C. Approval of Minutes

1. Minutes of 2/25/2025

D. Public Speaks

E. Public Hearings

1. 6:15 PM - Powers Drive Subdivision - continuation

F. Old/Unfinished Business

G. New Business

1. RCMOD (MBTA DISTRICT) Site Plan Review and ANR- South St/Desmond Ave

2. ANR - Centre Street

3. ZBA Decision on Memorial Parkway (Shaw's)

H. Staff Report

***Active Subdivision Review**

***Active Project Review**

***Upcoming Projects**

1. Subdivision Status

2. 34 Scanlon - Yankee Bus - Topping

3. Zoning Recodification Workshops

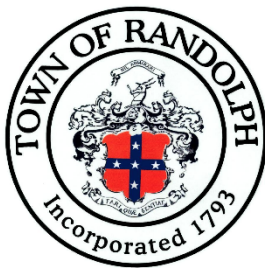
I. Board Comments

J. Adjournment

Notification of Upcoming Meeting Dates

File Attachments for Item:

1. Minutes of 2/25/2025



PLANNING BOARD MEETING

Tuesday, February 25, 2025 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

MINUTES

Pursuant to the temporary provisions pertaining to the Open Meeting Law, public bodies may continue holding meetings remotely without a quorum of the public body physically present at a meeting location until March 31, 2025. The public is invited to participate in the meeting in person, via telephone or computer.

A. Call to Order - Roll Call

Chairman Plizga called the meeting to order at 6:03pm.

PRESENT

Araba Adjei-Koranteng

Tony Plizga

Peter Taveira

Lou Sahlu

Alexandra Alexopoulos joined the meeting at 6:22pm

B. Chairperson Comments

None

C. Approval of Minutes

1. Minutes of 2/11/2025

The Board approved the minutes of February 11, 2025, as presented.

Motion made by Plizga, Seconded by Adjei-Koranteng to approve the meeting minutes of February 11, 2025, as presented.

Voting Yea: Adjei-Koranteng, Plizga, Taveira, Sahlu

D. Public Speaks

None

E. Public Hearings

1. 6:15 PM - Council Order 2025-001 - EV Charging Stations Zoning Amendment - Chapter 200-23

The Planning Director Michelle Tyler read the public notice into the record for Council Order 2025-001 - Electrical Vehicle Charging Stations Zoning Amendment Chapter 200-23. The legal notice was published in the Patriot Ledger on February 4 and February 11, 2025.

Planning Director Michelle Tyler reminded the Board that there are no criteria presently for EV Charging Stations. Recently, there have been a number of EV Charging stations constructed without any oversight or review other than an electrical permit. Some of which have questionable site layouts and were never reviewed for fire safety by the Fire Department.

The zoning ordinance will require site review by the Planning Board or designee and will provide guidance on where certain levels of charging can be located and which securities should be in place. The zoning ordinance is based off an existing ordinance in Massachusetts that was modified for Randolph's use. Mrs. Tyler sent the draft to the Fire Department and Building Commissioner for feedback and received some notes back. After the draft was resubmitted, the Fire Department sent a letter stating they were satisfied with the zoning ordinance and that their concerns had been addressed. The Building Commissioner had no additional comments.

Chairman Plizga summarized for the Board some of the changes that were made to the ordinance. Under definitions there were a few items under battery exchange stations that deleted the term "fully automated." The other two changes were on page 3 related to parking calculations. The Board members agreed that they were satisfied with the changes to the document.

Chairman Plizga opened the public comments portion of the hearing. There were none. Chairman Plizga closed the public comments portion of the public hearing.

Motion made by Plizga, Seconded by Alexopoulos to recommend approval for the zoning amendment 200-33 Electrical Vehicle Charging Stations and Battery Exchange Stations, as presented.

Voting Yea: Alexopoulos, Adjei-Koranteng, Plizga, Taveira, Sahlu

The Planning Board closed the public hearing.

Motion made by Plizga, Seconded by Sahlu to close the public hearing.

Voting Yea: Alexopoulos, Adjei-Koranteng, Plizga, Taveira, Sahlu

F. Old/Unfinished Business

1. Memorial Parkway (Shaw's) appeal to ZBA

Planning Director Michelle Tyler asked the Planning Board to ignore the Zoning Board of Appeals decision related to Shaw's included in their packet. The decision was filed

with the Town Clerk but has been rescinded due to a series of errors on the document.

At the last meeting, the Planning Board asked Mrs. Tyler to seek advice from outside counsel, Noemi Kawamoto, as to whether an appeal of the ZBA decision to Superior Court would be successful. Mrs. Tyler stated that Attorney Kawamoto felt an appeal would not be successful due to the property's pre-existing non-conforming lot coverage. Another factor is that there are two sections of the zoning that do not agree with each other that must be considered together that would hinder the Town's appeal.

Chairman Plizga feels that the zoning language should be clarified while the zoning recodification is underway to avoid any further confusion.

On the advice of outside counsel, the Chairman and the Board decided they will not move forward with an appeal.

Ms. Tyler stated that there are a few items that do not meet compliance related to van accessible parking and signage that she will request the Building Commissioner follow up on once the paving continues.

G. New Business

1. RCMOD Zoning District review of preliminary proposal South Street

The Planning Director Michelle Tyler explained that projects in the RCMOD Zoning District are allowed by right, but still require site plan and design review by the Planning Board. They do not require a public hearing.

Chairman Plizga introduced Dave Klinert of Collins Engineering Group who was present on behalf of the property owner Ed Daly and his sons. Mr. Klinert requested a preliminary meeting with the Board to review their proposal since the zoning district is new as a result of the MBTA Communities zoning changes.

Mr. Klinert showed the Board their plans to construct 3 duplexes and convert an existing garage into two rental units for a 4th duplex. One of the new duplexes will face Desmond Street and the other two will face South Street. In total there will be 9 units, including the existing house and converted garage.

Mr. Klinert explained that the drainage along rear right corner of the property is an issue and has proposed an infiltration basin that will catch anything flowing from the street. Water that the basin doesn't catch will flow through a swale to a smaller infiltration system. Mr. Klinert feels the system can easily handle the 2-year storm and reviewed some details of the stormwater management measures he intends to implement on the property. Chairman Plizga stated that issues related to stormwater will require a separate review.

Chairman Plizga asked about the driveways. Mr. Klinert stated that two driveways will be off of South Street, in addition to the existing driveway, which will be widened, and one will be off of Desmond Street. He has arranged the parking in a way to limit the amount of impervious surface on the lot. They will infiltrate the roof run off and

install trench drains so no runoff goes out onto South Street. The drawings meet percentage guidelines for lot and pavement coverage. Mr. Klinert stated they are not requesting any exceptions to dimensional standards.

Mr. Klinert asked the Planning Board for their feedback. Mrs. Tyler stated the driveways look big. Mr. Klinert responded that he wanted to ensure there was enough room to back out of the garage on the duplex units. Mrs. Tyler asked that they double check the measurements. Member Sahlu asked what the units for the garage conversion will look like. Mr. Klinert explained that they will have a similar look to the units at the new project on Centre Street.

Chairman Plizga tried to recall if the Board recently approved an ANR on this property. Mrs. Tyler stated that they had, but since it was never recorded at the Registry of Deeds it is not currently valid. Since that approval, the MBTA zoning went into place creating the RCMOD which allows this new proposed use due to its proximity to the commuter rail. Mrs. Tyler recommends that the Planning Board make a note in the decision that the ANR is no longer valid when it comes before the Board. Mr. Klinert stated that it is currently two lots that will become one lot when it comes before the Board.

Member Alexopoulos has concerns about the elevations. Mrs. Tyler reminded the Board that elevations are out of the Board's purview. Mr. Klinert stated that they will be about 1% higher than the road which is not much higher. Member Alexopoulos stated that they have had issues with water on Truelson and Restarick. Mr. Klinert stated he went back there to view the site and feels they will take care a lot of those issues with this development. Mrs. Tyler stated between the upcoming project on Fencourt that backs up to Restarick and this project there should be a significant improvement. Mrs. Tyler stated that the stormwater authority will be reviewing it. Mr. Klinert stated that his biggest concern on new projects is the drainage.

There was a brief discussion about the grading. Mr. Klinert stated there will be a retaining wall no higher than 4 feet on the Desmond side.

Chairman Plizga asked if the project will be done in phases. Richard Donovan, a representative for Mr. Daly, stated they intend to do it all at once.

Member Taveira asked if the project will be using natural gas for the project and if any of the utilities will be affected by the layout or the drainage. Mr. Donovan stated that there is a gas line that runs parallel with the property on South Street. Mr. Klinert stated that how the process works is that he draws up the plans for water and sewer and then gives them to the gas company to identify the location of the gas coming onto the property and to the units. Chairman Plizga pointed out that the gas company was so slow to act on Centre Street that they installed propane gas instead.

Member Adjei-Koranteng asked if there was adequate room for a fire truck to go in and out of the property. Chairman Plizga stated that driveway requirements are different from roads. Mrs. Tyler explained that whenever there is a site plan review, she has Fire Prevention look at the plans.

Member Adjei-Koranteng asked if someone is currently living in the house on the property and if there would be any protections during construction. Mr. Klinert replied

that there is a tenant in the house and that they will follow the building commission rules and regulations during construction.

Member Taveira asked if there are any changes to the existing sidewalk. Mr. Klinert stated that each of the cuts into the sidewalk will have handicap ramps.

Chairman Plizga thanked Mr. Klinert for his attendance this evening.

H. Staff Report

1. Randolph Road site visit 2.21.25

The Planning Director showed the Board photos of the project on Randolph Road from a recent site visit. The site work is not complete, but the project is on track. Mrs. Tyler showed the Board fencing that was installed along the Meadow Lane side of the property, along with a shot of the interior and exterior of the building. The Board discussed the plantings. They do not have a tenant yet.

2. Subdivision listing

The Board was provided with a subdivision status list. Mrs. Tyler stated currently there are no updates.

Tim Wells has asked for a list of his father's (Karl Wells) outstanding projects, which the Planning Director is putting together for him. Tim Wells has an ANR that Mrs. Tyler and the Town Engineer reviewed but have some questions to go over with Collins Engineering before it comes before the Planning Board next meeting. Chairman Plizga asked Mrs. Tyler to let Mr. Wells know that there are some open items on the PRA project (a project that was his father's).

Chairman Plizga asked Mrs. Tyler to add a status/open items column to the spreadsheet.

Chairman Plizga asked if the Mill Street subdivision is dead. Mrs. Tyler responded yes, that it was never appealed in Superior Court. Member Alexopoulos asked what the technical name for it's status will be. Mrs. Tyler responded that it remains denied.

Chairman Plizga asked if the Board got the as-builts for Mary Lee Estates. Mrs. Tyler stated no, that there have been many failed attempts to get them from the developer, Mr. Greene.

Active Project Review

Daycare Center on 647 N Main Street

They are waiting for the weather to warm up for the road opening to install the signal with MassDOT.

300 Pond Street - Flexcon

Stormwater review has not been finalized. DPW Superintendent Neil McCole n they recently started the process which should be finalized by Spring.

19 Highland Avenue - Taj Estates Apartment Building

The project is complete and is on the market for sale.

Dow Street/North Randolph Elementary School Project

The Planning Director is waiting for as-builts for the Dow Street street renovation that was part of the North Randolph Elementary School project. The as-builts should be recorded as it is still a private road that has not been accepted as a public way.

Lantana/Lombardo's Property

The Planning Director will keep the Board updated on any new activity. The Maxim Crane project originally planned for the property failed.

Showcase Cinemas Movie Theatre

The Planning Director stated there is no update to report.

Kohl's Stoughton

Chairman Plizga stated that the Kohl's in Stoughton was sold to Shaughnessy Crane to be used for crane and equipment storage.

Recodification Project

There is discussion about a joint working meeting with Town Council to review the changes while it is in draft format due to the significant size of the document and its restructuring. The working meetings will help the group review the document in small sections. The meetings will be for discussion purposes only with no votes. Mrs. Tyler said it will be similar to the workshops held for MBTA Communities zoning. Member Alexopoulos felt those meetings were really helpful and well structured.

ADUs

Member Adjei-Koranteng asked for an update on ADUs. Mrs. Tyler stated that the State provided final guidance and the Town Council voted to approve the zoning ordinance. ADUs will not come before the Planning Board. Applications will go directly to the Building Commissioner.

Open Meeting Law

Member Adjei-Koranteng asked if there has been an update related to hybrid meetings. Mrs. Tyler stated she has not received any updates but feels it is not going away. Mrs. Tyler stated that members can reach out to their state legislators, if they choose, in support of hybrid meetings.

MBTA Communities Zoning

Member Sahlu saw in the news that the state auditor stated the MBTA zoning is unfunded mandate and felt it was something to look into. Mrs. Tyler stated that she will wait for the State's guidance on the matter.

Upcoming Agenda Items

March 25 there will be a continued Public Hearing on the Powers Drive subdivision. One of the parties has hired legal counsel.

April 8 there will be a Public Hearing scheduled for the flood plain overlay district zoning amendment which is requirement for the flood insurance rate maps to become effective in July. The Town Council reviewed the zoning amendments and referred it back to the Planning Board for the public hearing.

I. Board Comments

None

J. Adjournment

Notification of Upcoming Meeting Dates

March 11, 2025

March 25, 2025

April 8, 2025

April 22, 2025

The meeting adjourned at 7:15pm.

Motion made by Adjei-Koranteng, Seconded by Taveira.

Voting Yea: Alexopoulos, Adjei-Koranteng, Plizga, Taveira, Sahlu

File Attachments for Item:

1. 6:15 PM - Powers Drive Subdivision - continuation



TOWN OF RANDOLPH
INC. 1793

Town of Randolph

OFFICE OF PLANNING BOARD

TOWN HALL
RANDOLPH, MASS. 02368

COPY

August 7, 2024

Dean Guo
29 Collins Avenue
Randolph, MA 02368

RE: Powers Drive Subdivision

Dear Mr. Guo,

The Randolph Planning Board has conducted an audit of their records and requests information on the status of the subdivision known as POWERS DRIVE. The subdivision of 29 Collins Avenue in 1980 created the potential for two (2) lots with a new right-of-way "Powers Drive"; note the reference on your deed of land attached to this letter. To date, there has been no activity identified toward the completion of the road and installation of utilities.

The Board respectfully requests information regarding the intent to construct, revise or discontinue this subdivision of land in order for the Board to consider all actions available to them. Pursuant to Massachusetts General Law Chapter 41 Section 81W:

A planning board, on its own motion or on the petition of any person interested, shall have power to modify, amend or rescind its approval of a plan of a subdivision, or to require a change in a plan as a condition of it retaining the status of an approved plan. All of the provisions of the subdivision control law relating to the submission and approval of a plan of a subdivision shall, so far as apt, be applicable to the approval of the modification, amendment or rescission of such approval and to a plan which has been changed under this section.

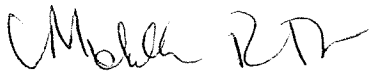
No modification, amendment or rescission of the approval of a plan of a subdivision or changes in such plan shall affect the lots in such subdivision which have been sold or mortgaged in good faith and for a valuable consideration subsequent to the approval of the plan, or any rights appurtenant thereto, without the consent of the owner of such lots, and of the holder of the mortgage or mortgages, if any, thereon; provided, however, that nothing herein shall be

deemed to prohibit such modification, amendment or rescission when there has been a sale to a single grantee of either the entire parcel of land shown on the subdivision plan or of all the lots not previously released by the planning board.

The Planning Board requests your participation at their meeting of Tuesday, September 10, 2024 at 6:00pm for discussion. You may participate in person at Town Hall, 41 South Main Street, Randolph in the Washington Room on the first floor or virtually via Zoom. The link to the meeting can be found on the Planning Board webpage at www.townofrandolph.com.

If I can provide any information to you in advance of the meeting, please call me at 781-961-0936.

Sincerely,



Michelle R. Tyler
Planning Director

Enclosures

Cc: Jean Pierre-Louis, Town of Randolph Engineer
Anthony Plizga, Planning Board Chairperson ✓

11-19-2020 @ 10:28a

N O T
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O F F I C I A L
C O P Y

N O T
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C O P Y

Quitclaim Deed

We, John Dacey and Maura Dacey n/k/a Maura Galvin, both unmarried of Norfolk County, Massachusetts, for consideration paid and in full consideration of Four Hundred Ten Thousand Five Hundred and 00/100 Dollars (\$410,500.00), the receipt of which is hereby acknowledged, grant to Dean Guo, Individually now of 29 Collins Avenue, Randolph, Norfolk County, Massachusetts 02368

with **QUITCLAIM COVENANTS**,

The land with the buildings thereon situated at #29 Collins Avenue, Randolph, Norfolk County, Massachusetts, being shown as Lot 25E according to "Subdivision Plan of Land-Randolph Mass. Lots 25E and 25F Powers Drive, Scale 1"=20', August 20, 1980, (Rev.11/26/80, John E. Levreault, P.E. & Associates, 10 Diauto Drive, Randolph, Mass." Recorded with Norfolk County Registry of Deeds in Book 287, Page 108-81 to which plan reference is hereto made for a more accurate description.

This conveyance is subject to and with the benefit of all covenants, restrictions, agreements, easements and rights of way of record, as same are now in force and applicable.

The Grantors named herein do hereby voluntarily release all rights of Homestead, if any, in the subject property, as set forth in M.G.L. Chapter 188 and certify under the pains and penalties of perjury that there is no other person or persons entitled to any Homestead Rights.

Being a portion of the premises conveyed by deed recorded with the Norfolk County Registry of Deeds at Book 31966, Page 287.

Property: 29 Collins Avenue, Randolph, MA 02368

N O T
A N

C O P Y

Maura Galvin
Maura Dacey a/k/a Maura Galvin

NOVEMBER 17, 2020

Jennifer A Jones
Notary Public: Jennifer A. Jones
My Commission Expires: 02/21/2025

NOVEMBER 17, 2020

Jennifer A Jones
Notary Public: Jennifer A. Jones
My Commission Expires: 02/21/2025

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Street and	29 Collins Avenue	
City, State	Randolph, MA 02368	

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TOWN OF RANDOLPH
 41 SOUTH MAIN STREET
 RANDOLPH, MASSACHUSETTS 02368
 (781) 961-0936



PLANNING BOARD
 Anthony Plizga, Chairman
 Alexandra Alexopoulos, Vice-Chair
 Peter Taveira
 Loulseged Sahlu
 Araba Adjei-Koranteng

DIRECTOR OF PLANNING
 Michelle Tyler
 mtyler@randolph-ma.gov

September 17, 2024

Dean Guo
 29 Collins Avenue
 Randolph, MA 02368

RE: Powers Drive Subdivision

Dear Mr. Guo,

The Randolph Planning Board has conducted an audit of their records and requests information on the status of the subdivision known as POWERS DRIVE. The subdivision of 29 Collins Avenue in 1980 created the potential for two (2) lots with a new right-of-way "Powers Drive"; note the reference on your deed of land attached to this letter. To date, there has been no activity identified toward the completion of the road and installation of utilities.

The Randolph Planning Board reached out to you on August 7, 2024 by mail (certified return receipt) requesting information regarding the intent to construct, revise or discontinue this subdivision of land in order for the Board to consider all actions available to them. The letter was returned to our office unclaimed.

We would like to make you aware that on, Tuesday, October 8, 2024 the Randolph Planning Board will conduct a public hearing to consider rescinding (revoking) your previously approved subdivision pursuant to Massachusetts General Law Chapter 41 Section 81W:

A planning board, on its own motion or on the petition of any person interested, shall have power to modify, amend or rescind its approval of a plan of a subdivision, or to require a change in a plan as a condition of it retaining the status of an approved plan. All of the provisions of the subdivision control law relating to the submission and approval of a plan of a subdivision shall, so far as apt, be applicable to the approval of the modification, amendment or rescission of such approval and to a plan which has been changed under this section.

No modification, amendment or rescission of the approval of a plan of a subdivision or changes in such plan shall affect the lots in such subdivision which have been sold or mortgaged in good faith and for a valuable consideration subsequent to the approval of the plan, or any rights appurtenant thereto, without the consent of the owner of such lots, and of the holder of the mortgage or mortgages, if any, thereon; provided, however, that nothing herein shall be

deemed to prohibit such modification, amendment or rescission when there has been a sale to a single grantee of either the entire parcel of land shown on the subdivision plan or of all the lots not previously released by the planning board.

The Planning Board requests your participation at their meeting of Tuesday, October 8, 2024 at 6:15pm for the public hearing. At that time, the Board will consider any action permitted by law. You may participate in person at Town Hall, 41 South Main Street, Randolph in the Washington Room on the first floor or virtually via ZOOM. The link to the meeting can be found on the Planning Board webpage at www.townofrandolph.com.

Please contact my office at 781-961-0936 or mtyler@randolph-ma.gov if I can be of assistance in providing information or guidance on process.

Sincerely,



Michelle R. Tyler
Planning Director

Enclosures

Cc: Jean Pierre-Louis, Town of Randolph Engineer
Anthony Plizga, Planning Board Chairperson

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Planning Department
Randolph Town Hall
41 South Main Street
Randolph, MA 02368



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Dean Guo
29 Collins Avenue
Randolph, MA 02368

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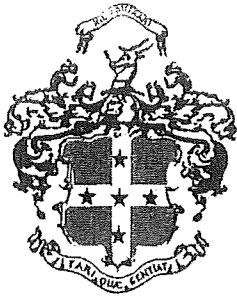
Dean Guo

29 Collins Avenue

Randolph, MA 02368

PS Form 3800, April 2012

Use this special instructions



TOWN OF RANDOLPH
INC. 1793

Town of Randolph

OFFICE OF PLANNING BOARD

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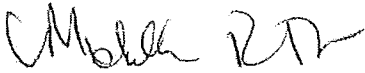
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Sincerely,



Michelle R. Tyler
Planning Director

Enclosures

Cc: Jean Pierre-Louis, Town of Randolph Engineer
Anthony Plizga, Planning Board Chairperson

N O T
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C O P Y

N O T
A N
O F F I C I A L
C O P Y

Quitclaim Deed

We, John Dacey and Maura Dacey n/k/a Maura Galvin, both unmarried of Norfolk County, Massachusetts, for consideration paid and in full consideration of Four Hundred Ten Thousand Five Hundred and 00/100 Dollars (\$410,500.00), the receipt of which is hereby acknowledged, grant to Dean Guo, Individually now of 29 Collins Avenue, Randolph, Norfolk County, Massachusetts 02368

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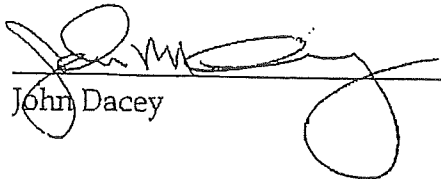
The Grantors named herein do hereby voluntarily release all rights of Homestead, if any, in the subject property, as set forth in M.G.L. Chapter 188 and certify under the pains and penalties of perjury that there is no other person or persons entitled to any Homestead Rights.

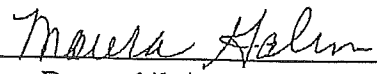
Being a portion of the premises conveyed by deed recorded with the Norfolk County Registry of Deeds at Book 31966, Page 287.

Property: 29 Collins Avenue, Randolph, MA 02368

NOT
AN
EXECUTED UNDER SEAL this 17th day of November, 2020.
C O P Y

NOT
AN
EXECUTED UNDER SEAL this 17th day of November, 2020.
C O P Y


John Dacey

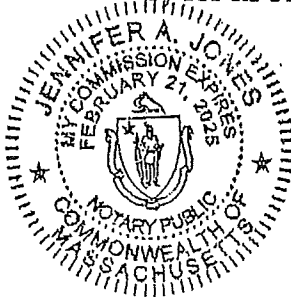

Maura Dacey a/k/a Maura Galvin

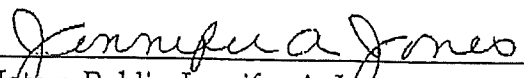
COMMONWEALTH OF MASSACHUSETTS

PLYMOUTH, SS.

NOVEMBER 17, 2020

On this 17th day of November, 2020 before me, the undersigned notary public, personally appeared John Dacey proved to me through satisfactory evidence of identification which was a MASS DRIV LIC to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntary for its stated purpose.



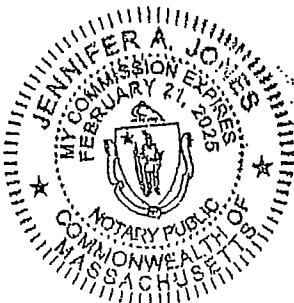

Notary Public: Jennifer A. Jones
My Commission Expires: 02/21/2025

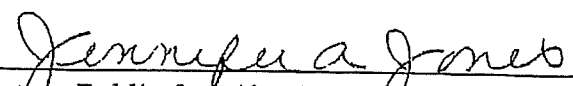
COMMONWEALTH OF MASSACHUSETTS

PLYMOUTH, SS.

NOVEMBER 17, 2020

On this 17th day of November, 2020 before me, the undersigned notary public, personally appeared Maura Dacey a/k/a Maura Galvin proved to me through satisfactory evidence of identification which was a MASS DRIV LIC to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntary for its stated purpose.




Notary Public: Jennifer A. Jones
My Commission Expires: 02/21/2025

7007 3020 0001 8084 1131

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CERTIFIED MAIL™ RECEIPT
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Dean Guo
29 Collins Avenue
Randolph, MA 02368

PS Form 3840, June 2012 See reverse for instructions

Account Number:	663354
Customer Name:	Randolph Planning Director
Customer Address:	Randolph Planning Director 41 South Main St Randolph MA 02368
Contact Name:	Randolph Planning Director
Contact Phone:	7819610936
Contact Email:	
PO Number:	Jen Austrino

Date:	09/16/2024
Order Number:	10580297
Prepayment Amount:	\$ 0.00

Column Count:	1.0000
Line Count:	30.0000
Height in Inches:	0.0000

Print

Product	#Insertions	Start - End	Category
NEO QUI The Patriot Ledger	2	09/24/2024 - 10/01/2024	Public Notices
NEO wickedlocal.com	2	09/24/2024 - 10/01/2024	Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$91.80
Tax Amount	\$0.00
Service Fee 3.99%	\$3.66
Cash/Check/ACH Discount	-\$3.66
Payment Amount by Cash/Check/ACH	\$91.80
Payment Amount by Credit Card	\$95.46

Order Confirmation Amount	\$91.80
----------------------------------	----------------

**LEGAL NOTICE
PUBLIC HEARING**

On Tuesday, October 8, 2024, the Randolph Planning Board will conduct public hearings pursuant to Massachusetts General Law Chapter 41 Section 81W to rescind the following previously approved subdivisions:

6:15 PM Powers Drive approved in 1980; 6:30 PM Ledgeview Terrace approved in 2006; 6:45 PM Roel Court approved in 2007; all of which were never constructed. Further details may be viewed at the office of the Town Clerk during regular business hours. Interested parties may participate in person at Randolph Town Hall, 41 S Main St, Randolph, MA in the Washington Room or virtually via ZOOM. The link to join the meeting is on the Town of Randolph calendar.

AD#10580297

PL 09/24, 10/01/2024

File Attachments for Item:

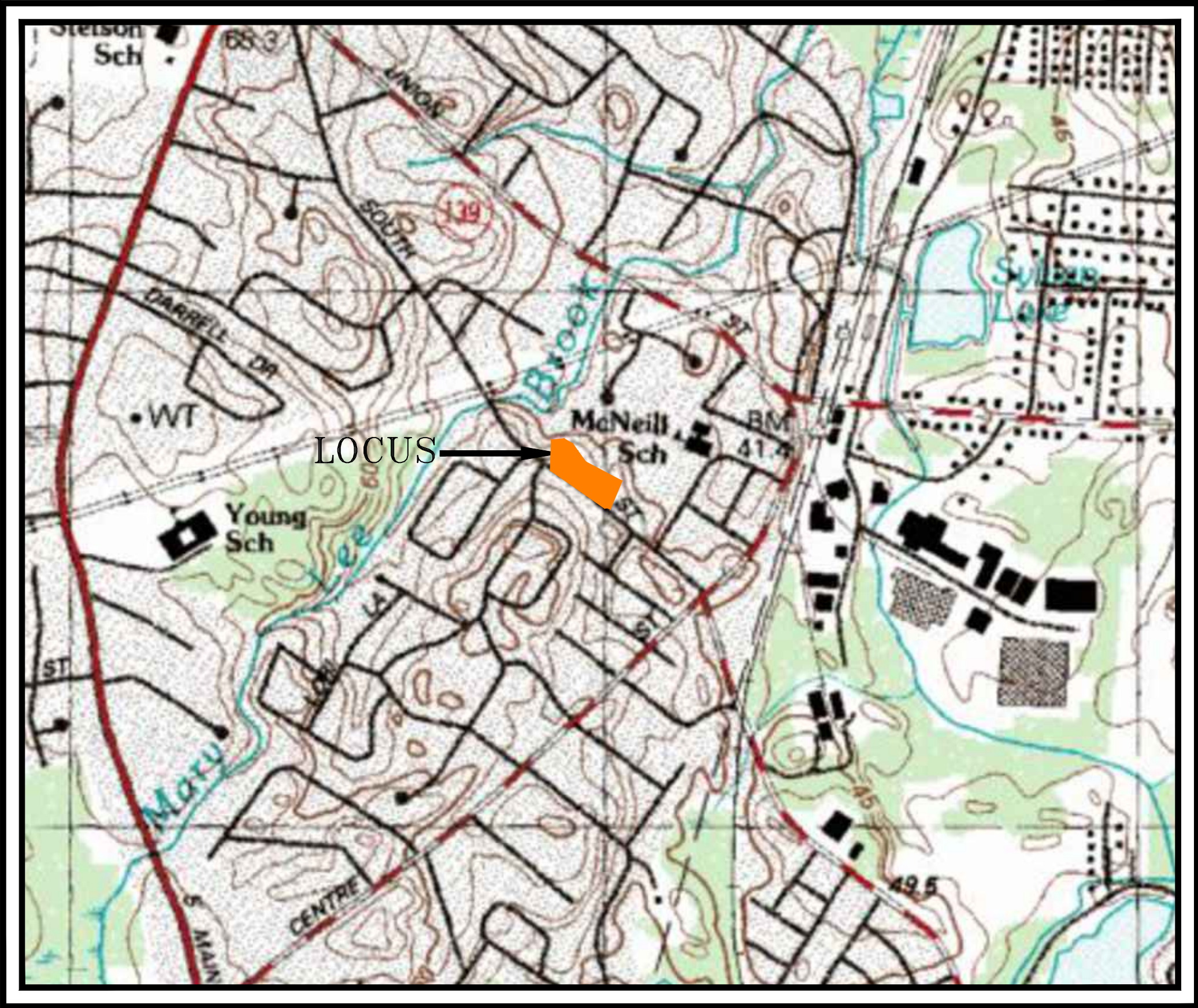
1. RCMOD (MBTA DISTRICT) Site Plan Review and ANR- South St/Desmond Ave

SITE PLAN
STATION DISTRICT (RCMOD)
280 SOUTH STREET, NORFOLK COUNTY
RANDOLPH, MASSACHUSETTS

APPLICANT:
ED DALEY
5 VAN BEAL ROAD
RANDOLPH, MA 02368

OWNER:
PETER J. DALY
5 VAN BEAL ROAD
RANDOLPH, MA 02368

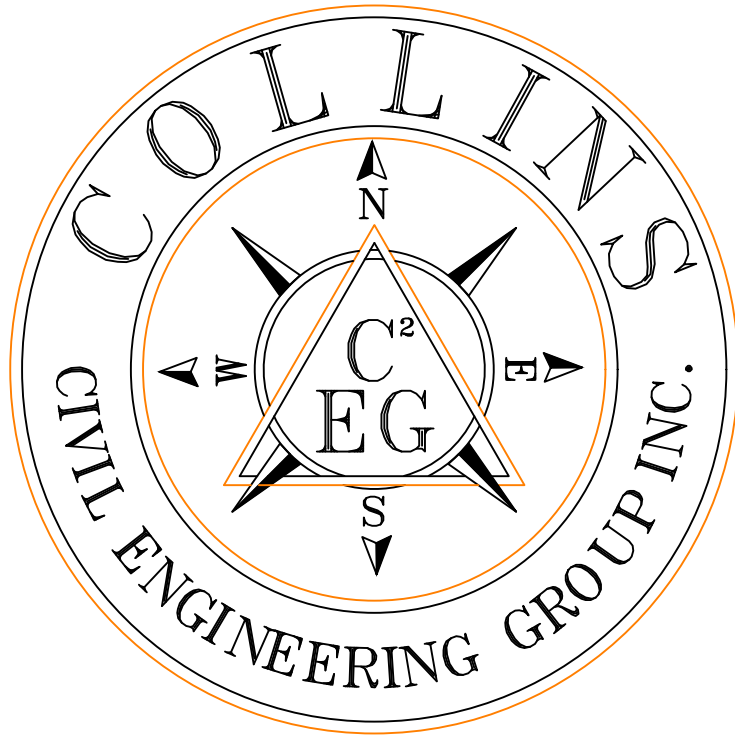
MAP ID 64/A/12 & 64/A/10.198
280 - 290 SOUTH STREET, RANDOLPH, MA
CERT. NO. 140785 PLAN 40430-B
DEED BOOK 40836, PAGE 4



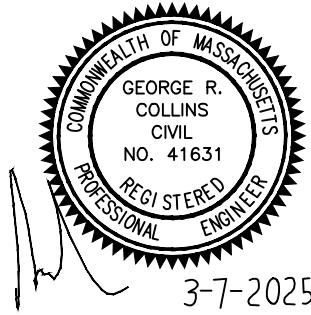
LOCUS

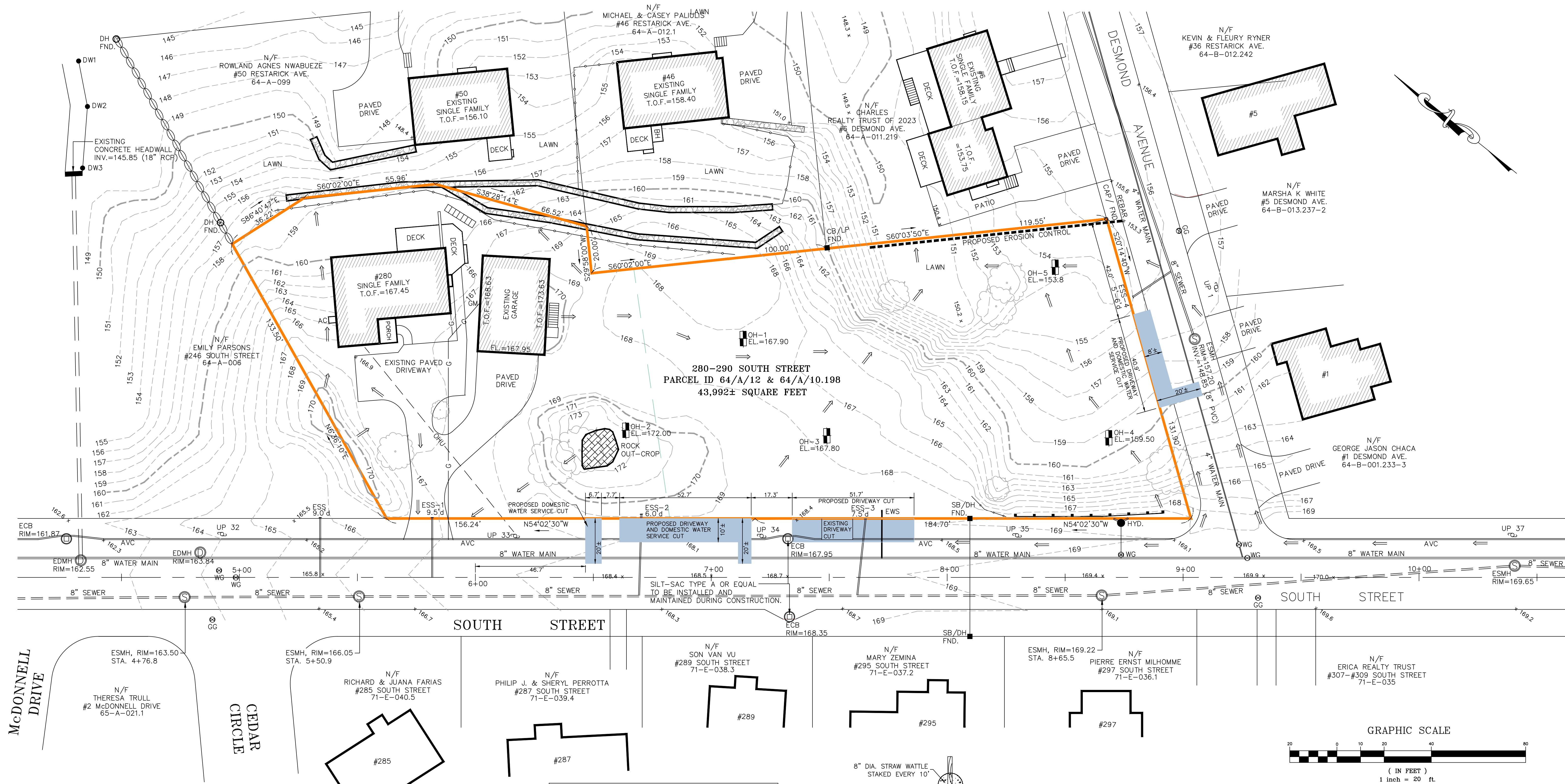
SHEET INDEX

- SHEET 1 - LOCUS PLAN / COVER SHEET
- SHEET 2 - EXISTING CONDITIONS PLAN
- SHEET 3 - PROPOSED GRADING PLAN
- SHEET 4 - BUILDING, DRIVEWAY & RET. WALL LOCATION PLAN
- SHEET 5 - DRAINAGE PLAN
- SHEET 6 - DRAINAGE DETAIL PLAN
- SHEET 7 - SEWER & WATER PLAN
- SHEET 8 - SEWER PROFILES / O&M PLAN
- SHEET 9 - SEWER & WATER DETAILS / SWPPP PLAN



PREPARED BY:
COLLINS CIVIL ENGINEERING GROUP, INC.
CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES
225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379
TEL: 508-580-2332 FAX: 508-580-8336 E-MAIL: GRCPE@AOL.COM
PROJECT NUMBER: 24-217-550
DATE: MARCH 7 2025

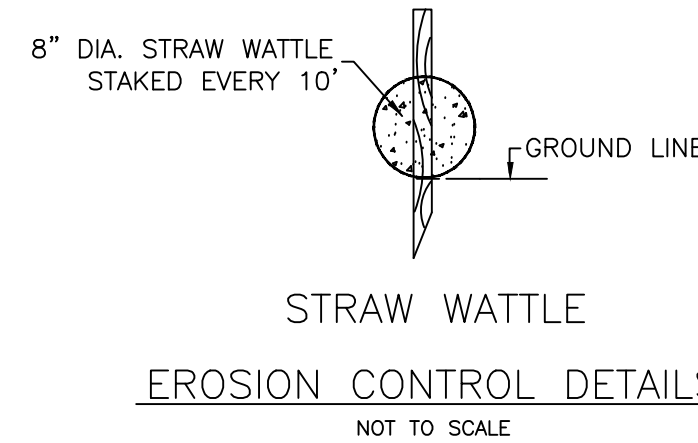




DATE: DECEMBER 12, 2024
PERFORMED BY: PETER LYONS, P.E., S.E.

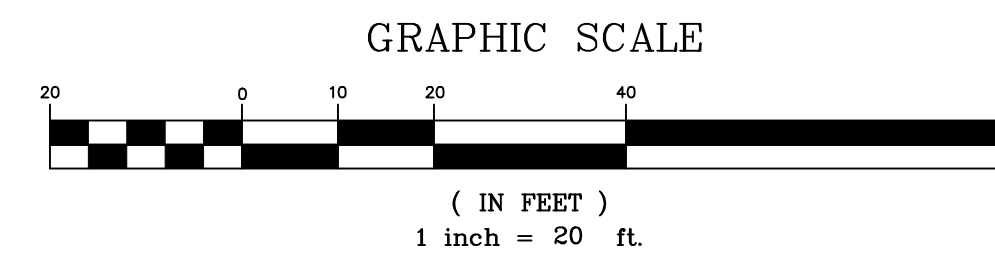
DEPTH	OH-1 EL.=167.90	DEPTH	OH-2 EL.=172.0	DEPTH	OH-3 EL.=167.80	DEPTH	OH-4 EL.=159.50	DEPTH	OH-5 EL.=153.8
0"	CLEAN GRAVEL FILL	0"	CLEAN GRAVEL FILL	0"	CLEAN GRAVEL FILL	0"	CLEAN GRAVEL FILL	0"	CLEAN GRAVEL FILL
60"	FINE SAND	24"	SANDY LOAM	30"	LOAMY SAND	80"	LOAMY SAND	36"	LOAMY SAND
95"	MOTTLING EL.=160.0	48"	LOAMY SAND	42"	MOTTLING EL.=160.80	94"	MOTTLING EL.=151.6	76"	MOTTLING EL.=147.4
100"	SANDY LOAM	100"	NO MOTTLING BOTTOM EL.=163.66	120"	MED. SAND	128"	MED. SAND	108"	MED. SAND

LEGEND	
□ ECB	EXISTING CATCH BASIN
⊙ EDMH	EXISTING DRAIN MANHOLE
⊙ ESMH	EXISTING SEWER MANHOLE
⊙ WG	EXISTING WATER GATE
⊙ GG	EXISTING GAS GATE
⊙ UP	EXISTING UTILITY POLE
- ESS	EXISTING SEWER STUB
- EWS	EXISTING WATER STUB
● HYD.	EXISTING FIRE HYDRANT
x 168.1	EXISTING SPOT GRADE
-- 168 --	EXISTING CONTOUR
-- OHU --	EXISTING OVER-HEAD UTILITIES
- G	EXISTING GAS LINE
■ OH-5	EXISTING ASPHALT VERTICAL CURB
■ CB/LP FND.	OBSERVATION HOLE 5
■ SB/DH FND.	CONCRETE BOUND W/LEAD PLUG
○ DH FND.	STONE BOUND W/DRILL HOLE
	DRILL HOLE

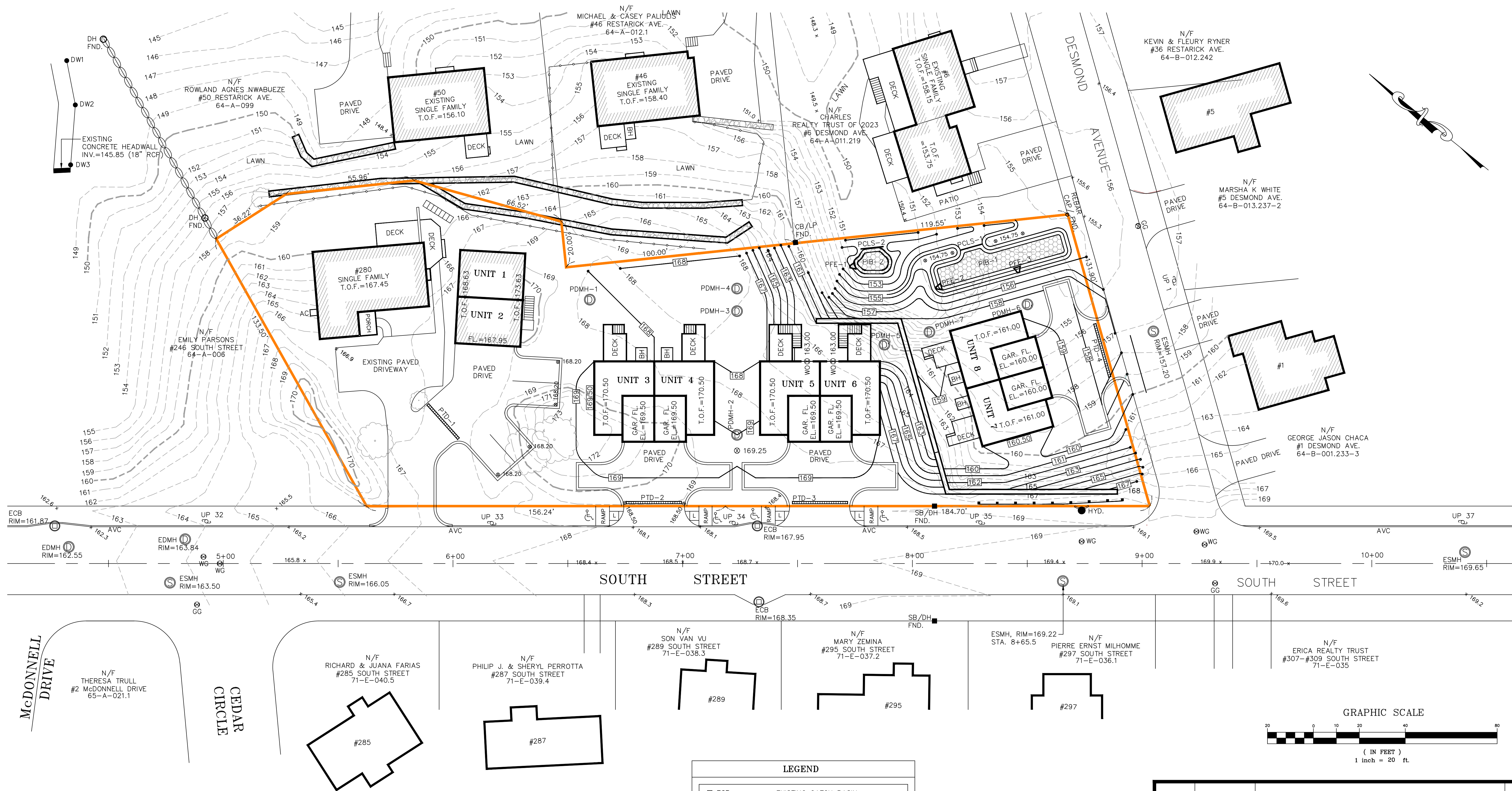


EROSION CONTROL NOTES

- EROSION CONTROL (WORK LIMIT) LINE TO BE INSTALLED PRIOR TO ANY ACTIVITY AND REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- CONTRACTOR TO SWEEP STREET AT THE END OF EACH WORK DAY.
- THE NAME AND CONTACT NUMBERS OF THE GENERAL CONTRACTOR MUST BE PROVIDED TO THE ENGINEER AND CONSERVATION COMMISSION PRIOR TO STARTING WORK.
- STRAW WATTLE ALONG STREET CAN BE REMOVED DURING WORK HOURS.
- CONTRACTOR TO MONITOR, REPAIR AND MODIFY EROSION CONTROL TO ASSURE THAT THERE IS NO ABUTTER ENCROACHMENT.
- CONTRACTOR TO CHECK AND CLEAN ANY SILT SACKS AT THE END OF EACH WORK DAY AND AFTER RAIN EVENTS. REMOVE AT THE END OF CONSTRUCTION.



REV.	DATE	DESCRIPTION	BY	APP.
EXISTING CONDITIONS PLAN				
STATION DISTRICT RCMOD DEVELOPMENT 280-290 SOUTH STREET RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS			SCALE: AS-NOTED DATE: 3-7-2025	
APPLICANT ED DALEY 5 VAN BEAL ROAD RANDOLPH, MA 02368			DRAWN BY: DJK DESIGNED BY: DJK	
COLLINS CIVIL ENGINEERING GROUP, INC. CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES 225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379 TEL:508-560-2332 MOBILE: 617-347-1363 E-MAIL:GRCPE@AOL.COM			CHECKED BY: GRC APPROVED BY: GRC	
			DRAWING NO. 2 OF 9 PROJECT NO. 24-217-550	



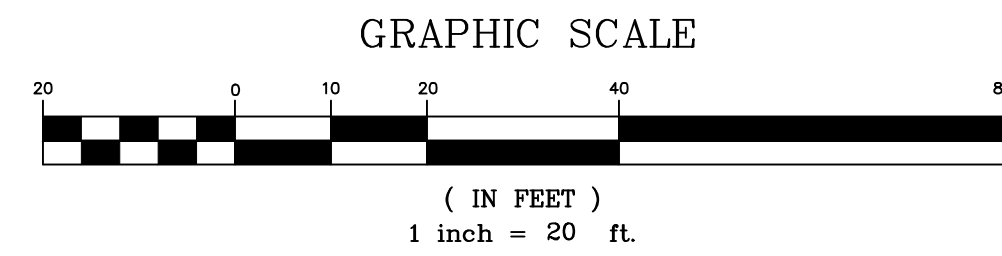
ZONING NOTES:

RCMOD OVERLAY DISTRICT: STATION DISTRICT

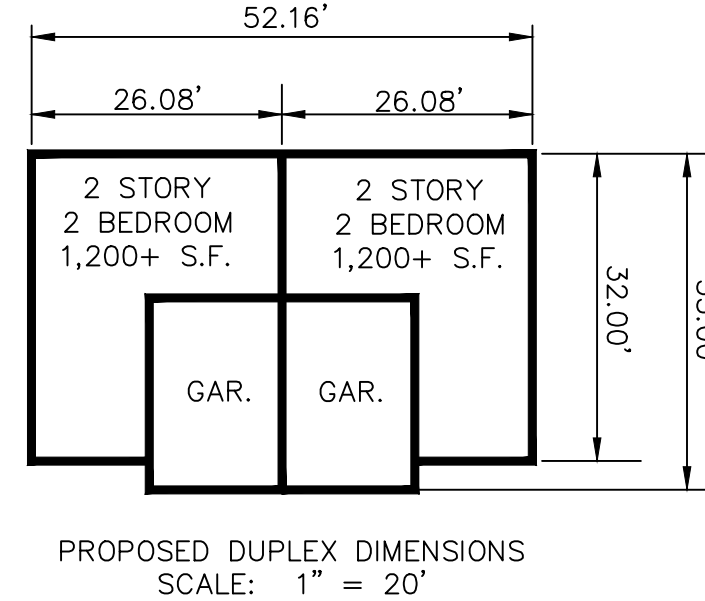
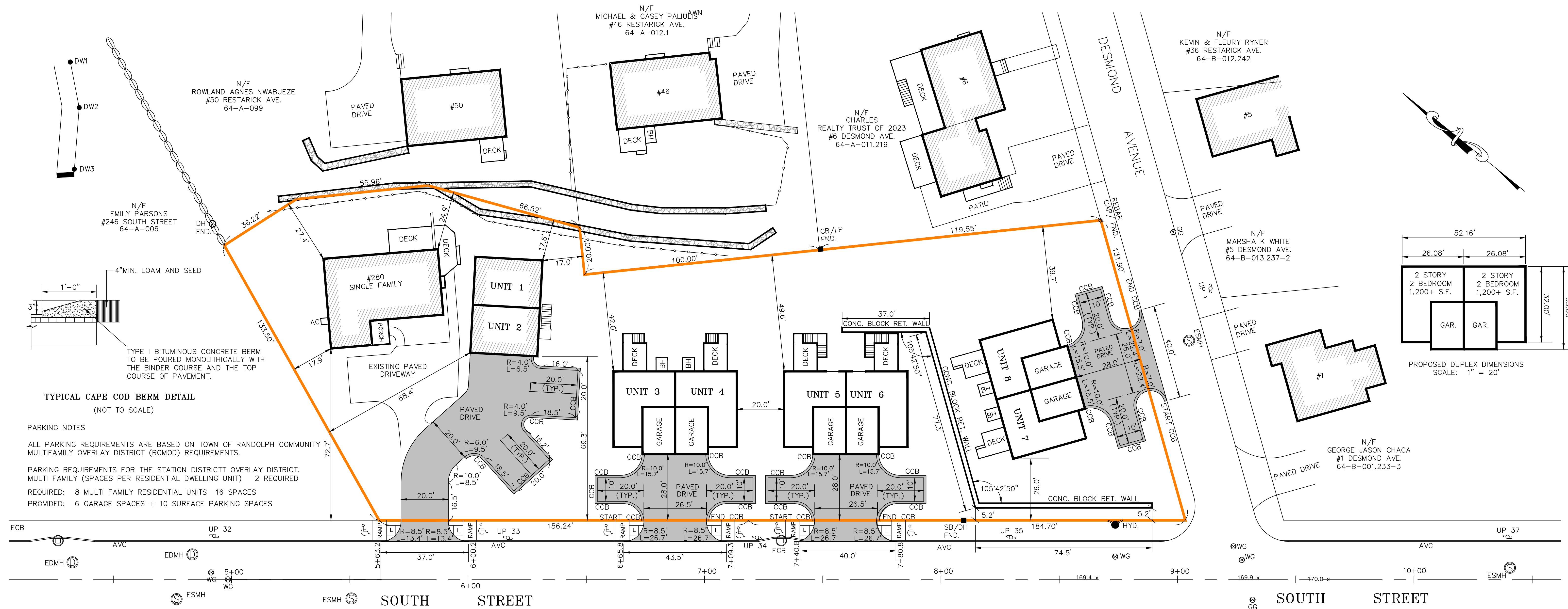
LOT COVERAGE (%)	REQUIRED	PROVIDED
BUILDING (MAXIMUM):	30	18
IMPERVIOUS SURFACE: (MAXIMUM)	20	18
LOT COVERAGE: (MAXIMUM)	50	36
GREEN AREA / OPEN SPACE: (MAXIMUM)	50	64

TOTAL LAND DISTURBED AREA = 34,500± S.F.
TOTAL LAND CUTS = 598± C.Y.
TOTAL LAND FILLS = 581± C.Y.

LEGEND	
□ ECB	EXISTING CATCH BASIN
⊙ EDMH	EXISTING DRAIN MANHOLE
⊙ ESMH	EXISTING SEWER MANHOLE
⊙ WG	EXISTING WATER GATEE
⊙ GG	EXISTING GAS GATE
⊙ UP	EXISTING UTILITY POLE
- ESS	EXISTING SEWER STUB
● HYD.	EXISTING FIRE HYDRANT
x 168.1	EXISTING SPOT GRADE
-- 168 --	EXISTING CONTOUR
-- OHU --	EXISTING OVER-HEAD UTILITIES
-- G --	EXISTING GAS LINE
AVC	EXISTING ASPHALT VERTICAL CURB
■ OH-5	OBSERVATION HOLE 5
■ CB/LP FND.	CONCRETE BOUND W/LEAD PLUG
■ SB/DH FND.	STONE BOUND W/DRILL HOLE
○ DH FND.	DRILL HOLE

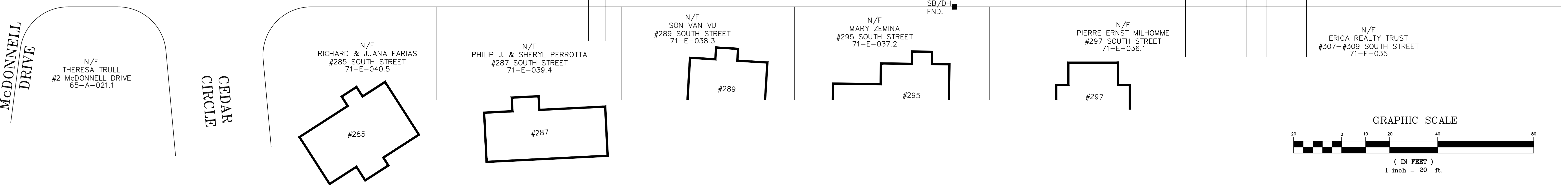
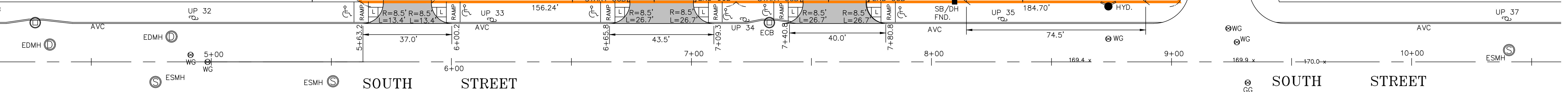


REV.	DATE	DESCRIPTION	BY	APP.
PROPOSED GRADING PLAN				
STATION DISTRICT RCMOD DEVELOPMENT 280-290 SOUTH STREET RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS		SCALE: AS-NOTED DATE: 3-7-2025		
ED DALEY 5 VAN BEAL ROAD RANDOLPH, MA 02368		DRAWN BY: DJK DESIGNED BY: DJK		
COLLINS CIVIL ENGINEERING GROUP, INC. CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES 225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379 TEL:508-560-2332 MOBILE: 617-347-1363 E-MAIL:GRCPE@AOL.COM		CHECKED BY: GRC APPROVED BY: GRC	DRAWING NO. 3 OF 9 PROJECT NO. 24-217-550	



TYPICAL CAPE COD BERM DETAIL
(NOT TO SCALE)

PARKING NOTES
ALL PARKING REQUIREMENTS ARE BASED ON TOWN OF RANDOLPH COMMUNITY MULTIFAMILY OVERLAY DISTRICT (RCMOD) REQUIREMENTS.
PARKING REQUIREMENTS FOR THE STATION DISTRICT OVERLAY DISTRICT, MULTI FAMILY (SPACES PER RESIDENTIAL DWELLING UNIT) 2 REQUIRED
REQUIRED: 8 MULTI FAMILY RESIDENTIAL UNITS 16 SPACES
PROVIDED: 6 GARAGE SPACES + 10 SURFACE PARKING SPACES

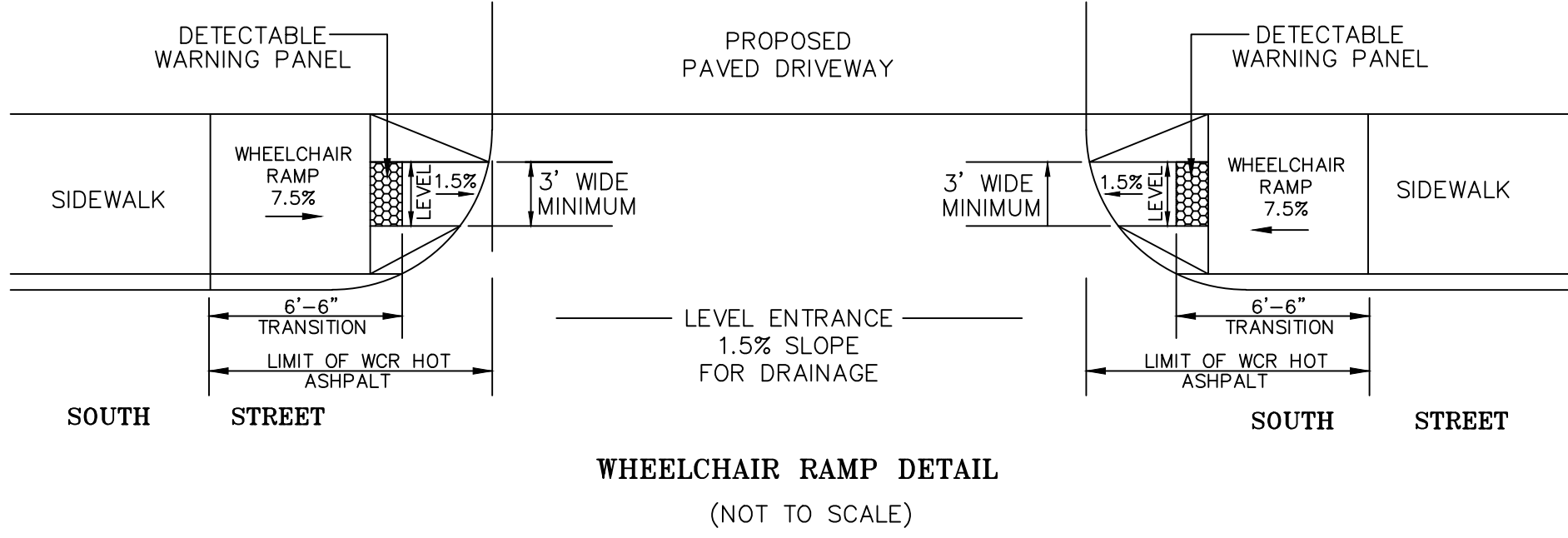


ZONING NOTES:
RCMOD OVERLAY DISTRICT: STATION DISTRICT

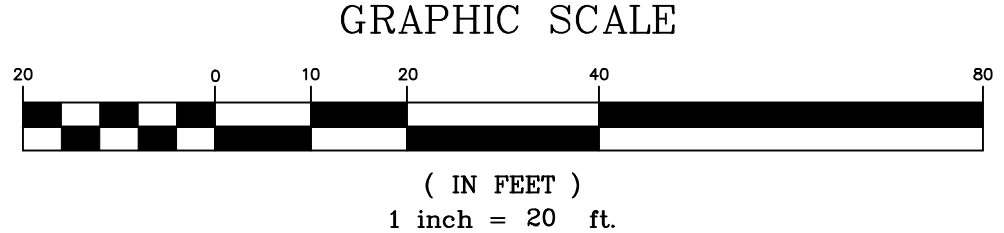
	REQUIRED	SOUTH STREET	DESMOND AVENUE
MINIMUM LOT SIZE:	12,000 S.F.	43,992 S.F.	N/A
MINIMUM FRONTAGE:	100 Ft.	340.9 Ft.	131.9 Ft.
MINIMUM LOT DEPTH:	75 Ft.	104 Ft.	N/A

	REQUIRED	UNIT 1 & 2	UNIT 3 & 4
FRONT SETBACK:	25 Ft.	69.3 Ft.	28.0 Ft.
SIDE SETBACK:	15 Ft.	68.4 Ft.	103.8 Ft.
REAR SETBACK:	5 Ft.	17.0 Ft.	42.0 Ft.

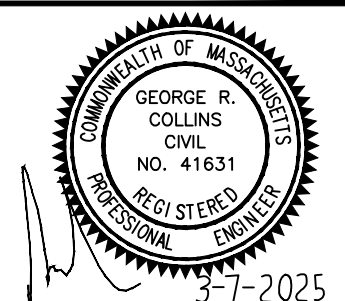
	REQUIRED	UNIT 5 & 6	UNIT 7 & 8
FRONT SETBACK:	25 Ft.	28.0 Ft.	39.7 Ft.
SIDE SETBACK:	15 Ft.	174.1 Ft.	269.4 Ft.
REAR SETBACK:	5 Ft.	49.6 Ft.	269.4 Ft.

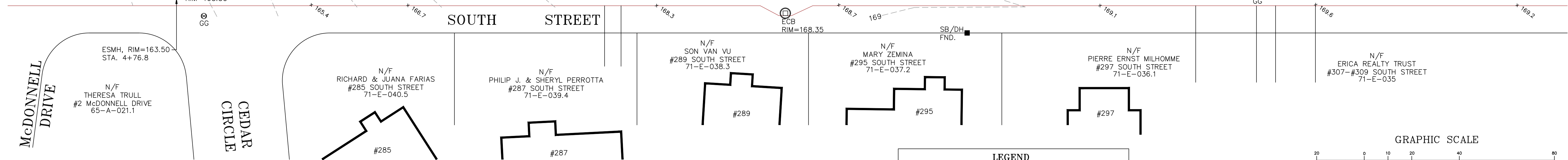
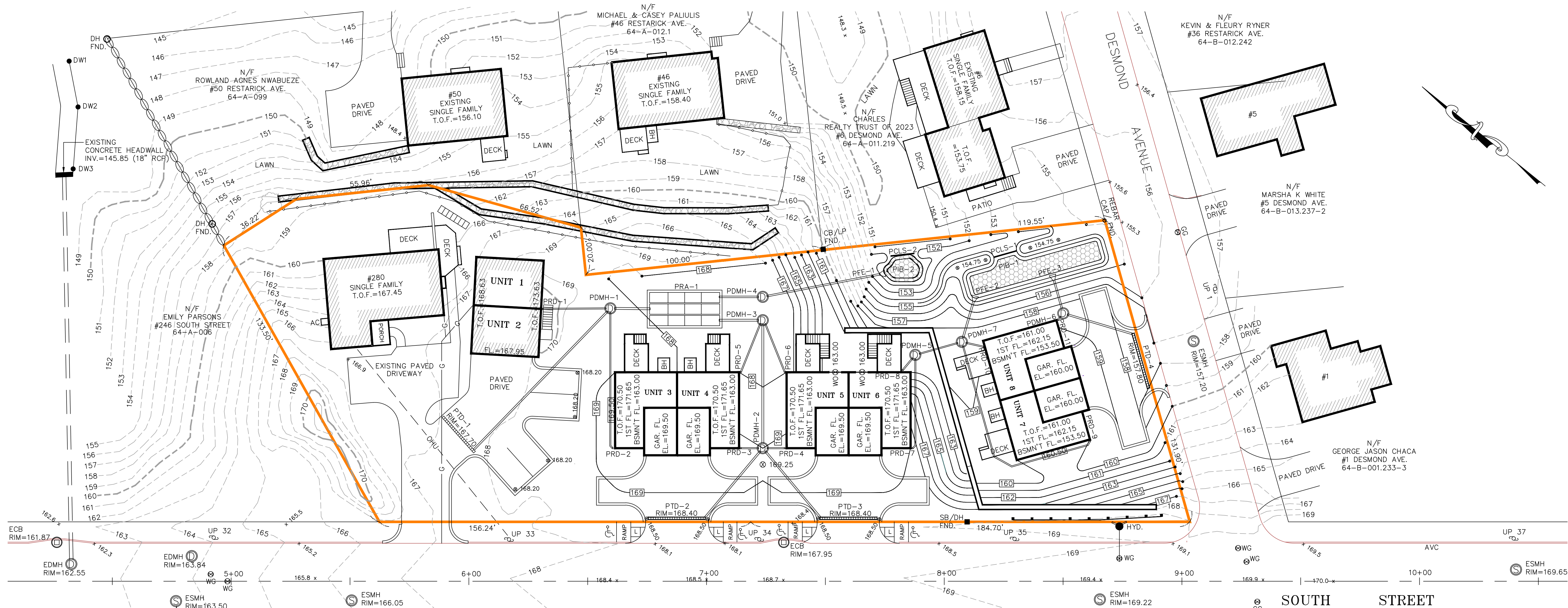


LEGEND	
□ ECB	EXISTING CATCH BASIN
⊙ EDMH	EXISTING DRAIN MANHOLE
⊙ ESMH	EXISTING SEWER MANHOLE
⊙ WG	EXISTING WATER GATE
⊙ GG	EXISTING GAS GATE
⊙ UP	EXISTING UTILITY POLE
- ESS	EXISTING SEWER STUB
⊙ HYD.	EXISTING FIRE HYDRANT
□	PROP. HANDICAP RAMP LANDING
□	EXISTING ASPHALT VERTICAL CURB
■	PROPOSED CAPE COD BERM
■	CONCRETE BOUND W/LEAD PLUG
■	STONE BOUND W/DRILL HOLE
○	DRILL HOLE



REV.	DATE	DESCRIPTION	BY	APP.
BUILDING, DRIVEWAY & RET. WALL LOCATION PLAN				
STATION DISTRICT RCMOD DEVELOPMENT 280-290 SOUTH STREET RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS				
APPLICANT		ED DALEY 5 VAN BEAL ROAD RANDOLPH, MA 02368	DRAWN BY: DJK	DESIGNED BY: DJK
COLLINS CIVIL ENGINEERING GROUP, INC. CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES 225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379 TEL:508-560-2332 MOBILE: 617-347-1363 E-MAIL:GRCPE@AOL.COM		CHECKED BY: GRC	APPROVED BY: GRC	DRAWING NO. 4 OF 9 PROJECT NO. 24-217-550





PTD-1, RIM=167.70
INV. OUT=165.55 (8" HDPE TO PDMH-1)

PTD-2, RIM=168.40
INV. OUT=165.80 (8" HDPE TO PDMH-2)

PTD-3, RIM=168.40
INV. OUT=165.80 (8" HDPE TO PDMH-2)

PTD-4, RIM=157.80
INV. OUT=154.65 (8" HDPE TO PDMH-6)

PFE-1 AT PIB-2
INV. IN=151.50 (8" HDPE FROM PDMH-4)

PFE-2 AT PIB-1
INV. IN=153.50 (8" HDPE FROM PDMH-7)

PFE-3 AT PIB-1
INV. IN=153.50 (8" HDPE FROM PDMH-6)

PRA-1 (SEE DETAIL SHEET ___ OF ___)
INV. IN=164.40 (10" HDPE FROM PDMH-1)
INV. IN=164.40 (10" HDPE FROM PDMH-3)
INV. OUT=164.35 (8" HDPE TO PDMH-4)

PCLS-1
INV. = 163.75

PCLS-2
INV. = 151.50

PDMH-1, RIM=168.25 (FLAT TOP STRUCTURE)
WITH 4 FOOT SUMP AND OUTLET HOOD
INV. IN=164.95 (6" HDPE FROM PRD-1)
INV. IN=164.95 (6" HDPE FROM PRD-2)
INV. IN=164.75 (8" HDPE FROM PTD-1)
INV. OUT=164.55 (10" HDPE TO PRA-1)

PDMH-2, RIM=169.00 (FLAT TOP STRUCTURE)
WITH 4 FOOT SUMP AND OUTLET HOOD
INV. IN=165.60 (6" HDPE FROM PRD-3)
INV. IN=165.60 (6" HDPE FROM PRD-4)
INV. IN=165.40 (6" HDPE FROM PTD-2)
INV. IN=165.40 (8" HDPE FROM PTD-3)
INV. OUT=165.20 (10" HDPE TO PDMH-3)

PDMH-3, RIM=167.30 (FLAT TOP STRUCTURE)
WITH 4 FOOT SUMP AND OUTLET HOOD
INV. IN=165.10 (6" HDPE FROM PRD-5)
INV. IN=165.10 (6" HDPE FROM PRD-6)
INV. IN=164.70 (10" HDPE FROM PDMH-2)
INV. IN=164.60 (10" HDPE TO PRA-1)

PDMH-4, RIM=167.30 (FLAT TOP STRUCTURE)
INV. IN=163.95 (8" HDPE FROM PRA-1)
INV. IN=156.50 (8" HDPE FROM PFE-1)

PDMH-5, RIM=162.50 (FLAT TOP STRUCTURE)
INV. IN=159.50 (6" HDPE FROM PRD-7)
INV. IN=159.50 (6" HDPE FROM PRD-8)
INV. OUT=156.90 (6" HDPE TO PDMH-7)

PDMH-6, RIM=158.50 (FLAT TOP STRUCTURE)
WITH 4 FOOT SUMP AND OUTLET HOOD
INV. IN=154.30 (6" HDPE FROM PRD-9)
INV. IN=154.30 (6" HDPE FROM PRD-10)
INV. IN=154.30 (6" HDPE FROM PDMH-5)
INV. IN=154.10 (10" HDPE TO PFE-2)

PRD-1, F.G.=170.20 (4.4'± COVER)
INV. OUT=165.25 (6" HDPE TO PDMH-1)

PRD-2, F.G.=119.25 (3.2'± COVER)
INV. OUT=165.55 (6" HDPE TO PDMH-1)

PRD-3, F.G.=169.10 (2.9'± COVER)
INV. OUT=165.70 (6" HDPE TO PDMH-2)

PRD-4, F.G.=169.10 (2.9'± COVER)
INV. OUT=165.70 (6" HDPE TO PDMH-2)

PRD-5, F.G.=168.00 (2.1'± COVER)
INV. OUT=163.50 (6" HDPE TO PDMH-3)

PRD-6, F.G.=168.00 (2.1'± COVER)
INV. OUT=165.35 (6" HDPE TO PDMH-3)

PRD-7, F.G.=169.00 (5.0'± COVER)
INV. OUT=163.50 (6" HDPE TO PDMH-5)

PRD-8, F.G.=163.00 (2.9'± COVER)
INV. OUT=159.60 (6" HDPE TO PDMH-5)

PRD-9, F.G.=160.00 (2.4'± COVER)
INV. OUT=157.10 (6" HDPE TO PDMH-7)

PRD-10, F.G.=158.25 (2.2'± COVER)
INV. OUT=155.40 (6" HDPE TO PDMH-7)

PRD-11, F.G.=158.50 (3.5'± COVER)
INV. OUT=154.45 (6" HDPE TO PDMH-6)

LEGEND

- ECB
- ⊙ EDMH
- ⊙ ESMH
- ⊙ WG
- ⊙ GG
- ⊙ UP
- ESS
- HYD.
- x 168.1
- 168 --
- OHU --
- G
- AVC
- OH-5
- CB/LP FND.
- SB/DH FND.
- DH FND.
- PTD
- PDMH
- PRD
- PRA
- PCLS
- PIB
- PFE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING WATER GATEE
- EXISTING GAS GATE
- EXISTING UTILITY POLE
- EXISTING SEWER STUB
- EXISTING FIRE HYDRANT
- EXISTING SPOT GRADE
- EXISTING CONTOUR
- EXISTING OVER-HEAD UTILITIES
- EXISTING GAS LINE
- EXISTING ASPHALT VERTICAL CURB
- OBSERVATION HOLE 5
- CONCRETE BOUND W/LEAD PLUG
- STONE BOUND W/DRILL HOLE
- DRILL HOLE
- PROPOSED TRENCH DRAIN
- PROPOSED DRAIN MANHOLE
- PROPOSED ROOF DRAIN
- PROPOSED RECHARGE AREA
- PROP. CONCRETE LEVEL SPREADER
- PROP. INFILTRATION BASIN
- PROPOSED FLARED END SECTION

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

REV.	DATE	DESCRIPTION	BY	APP.

DRAINAGE PLAN

STATION DISTRICT RCMOD DEVELOPMENT
280-290 SOUTH STREET
RANDOLPH, NORFOLK COUNTY,
MASSACHUSETTS

ED DALEY
5 VAN BEAL ROAD
RANDOLPH, MA 02368

COLLINS CIVIL ENGINEERING GROUP, INC.
CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES
225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379
TEL:508-580-2332 MOBILE: 617-347-1363 E-MAIL:GRCPE@AOL.COM

SCALE:
AS-NOTED

DATE:
3-7-2025

DRAWN BY:
DJK

DESIGNED BY:
DJK

CHECKED BY:
GRC

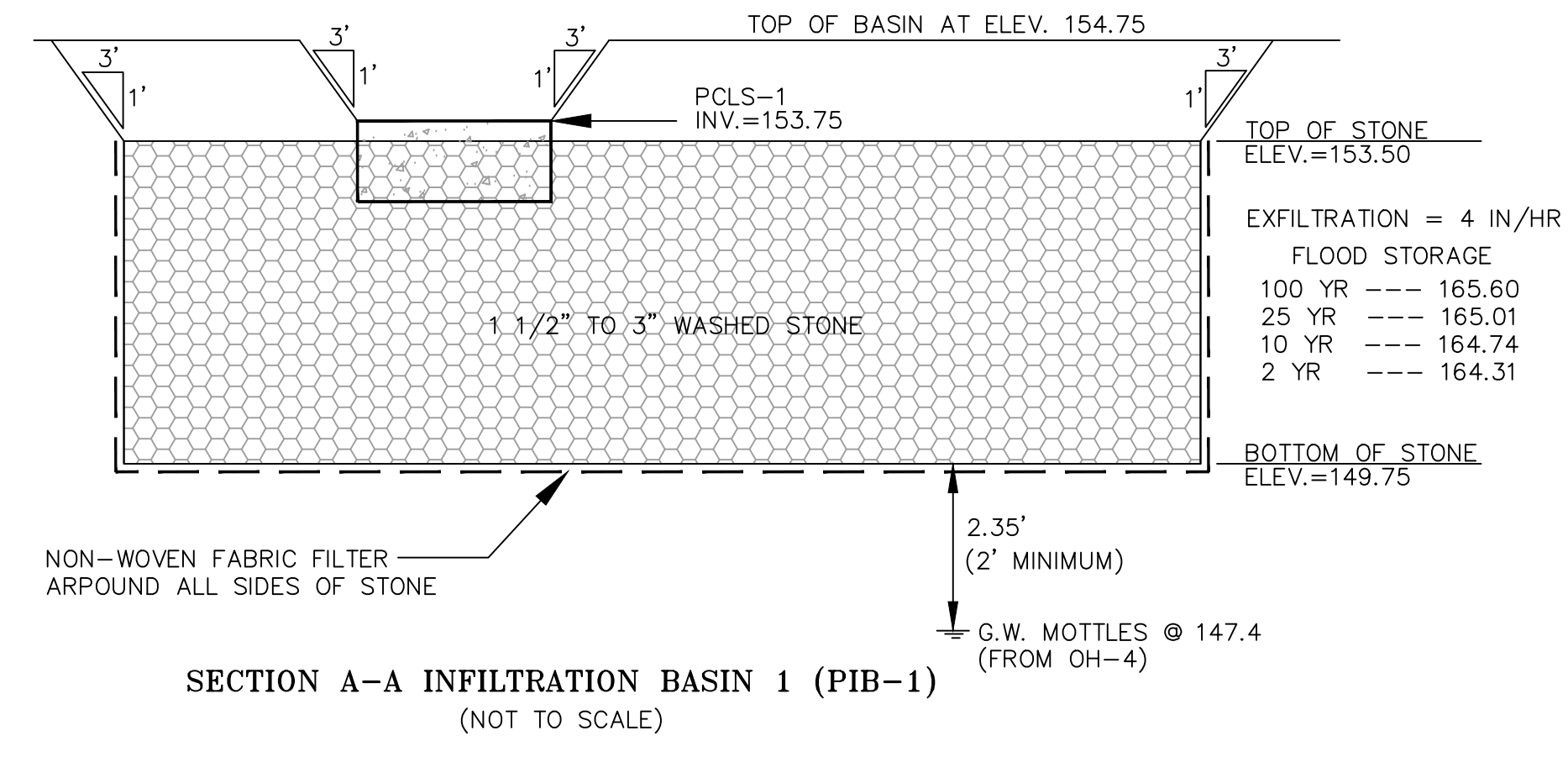
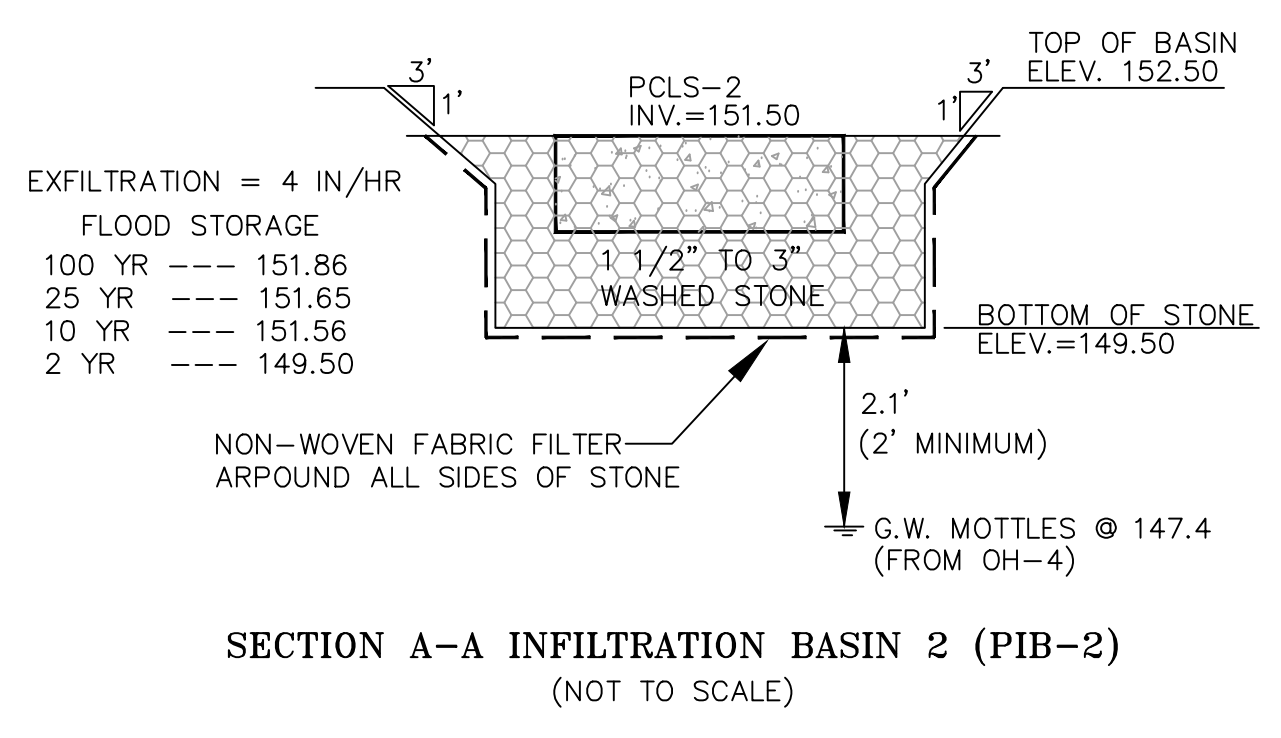
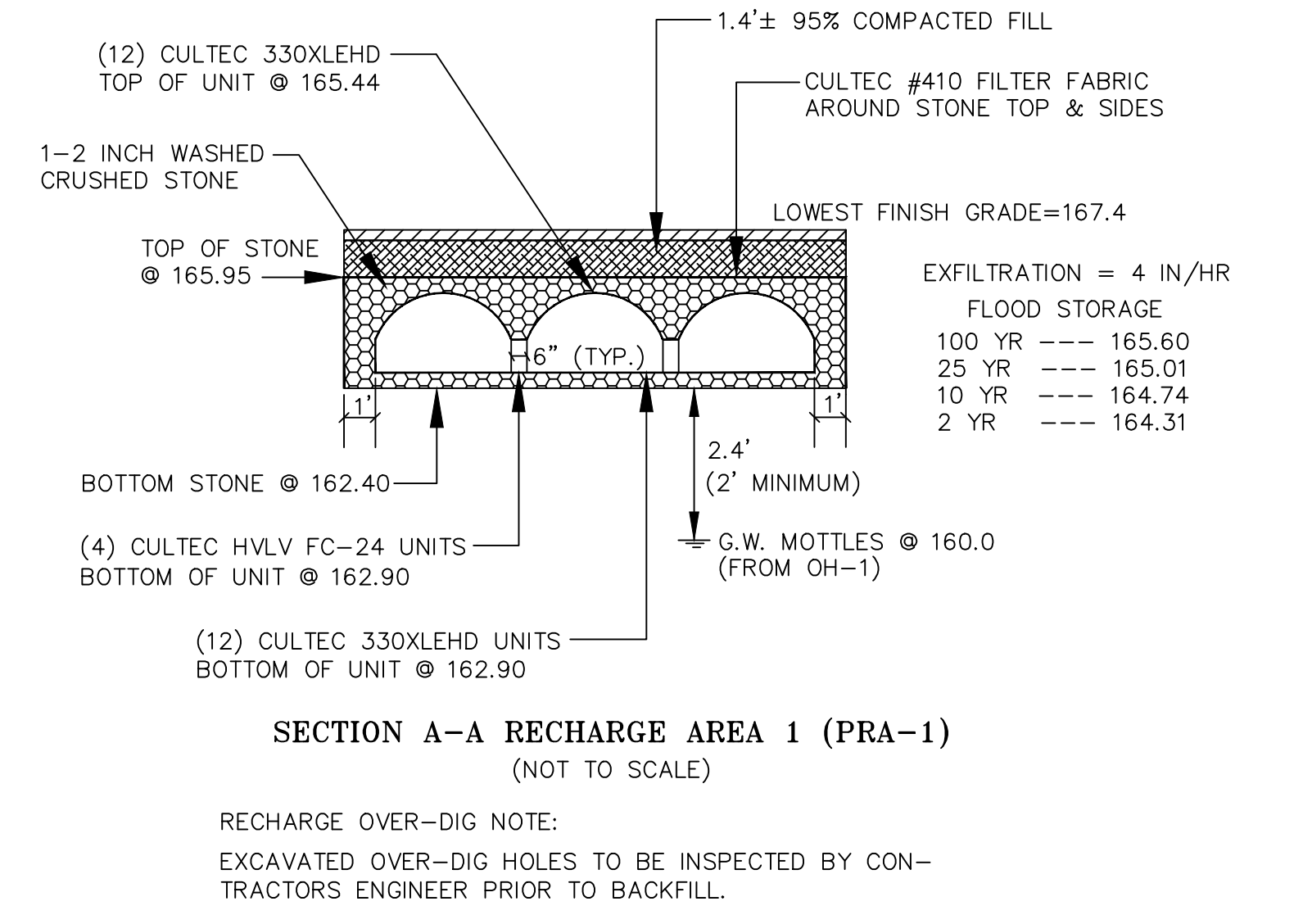
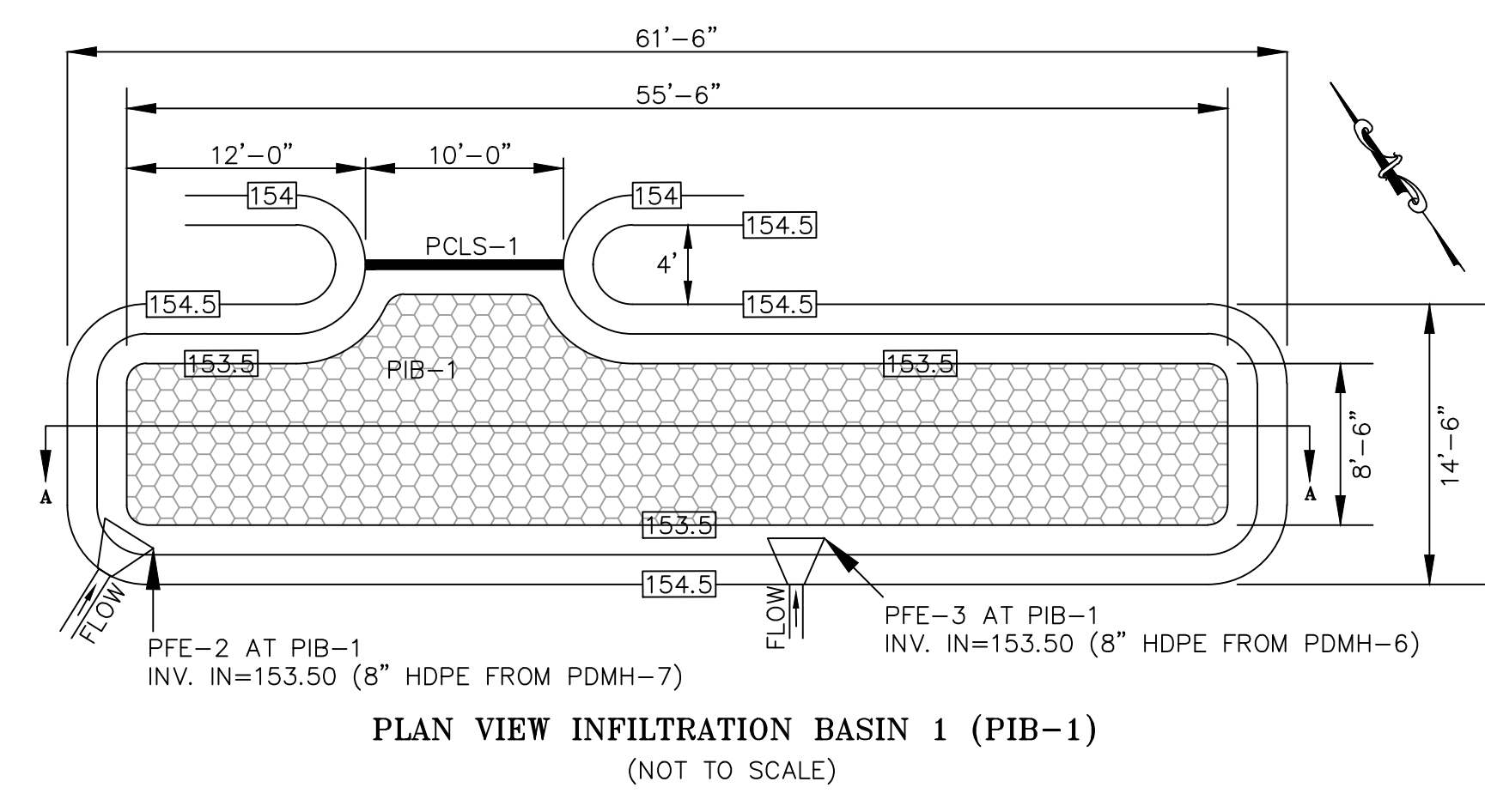
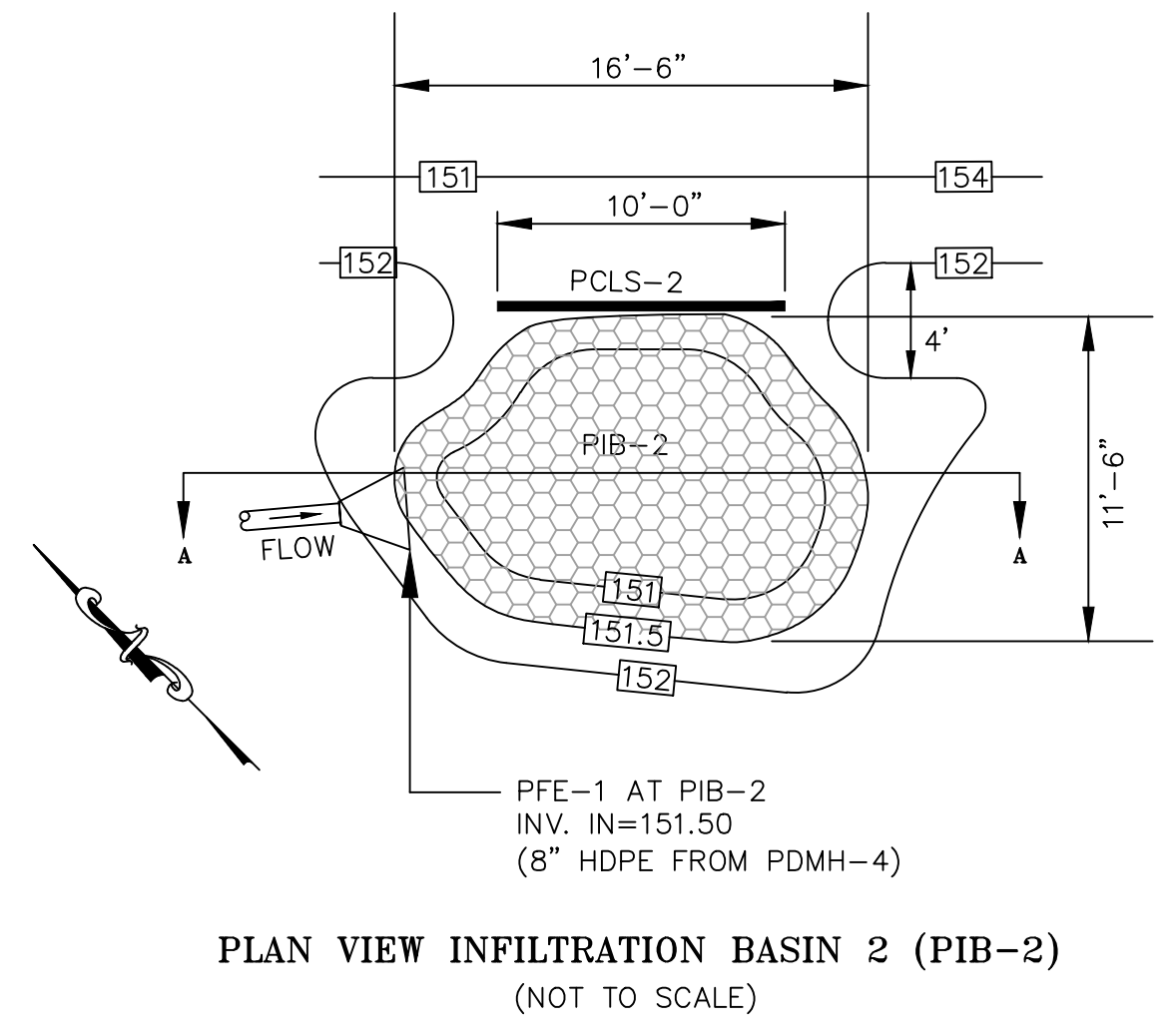
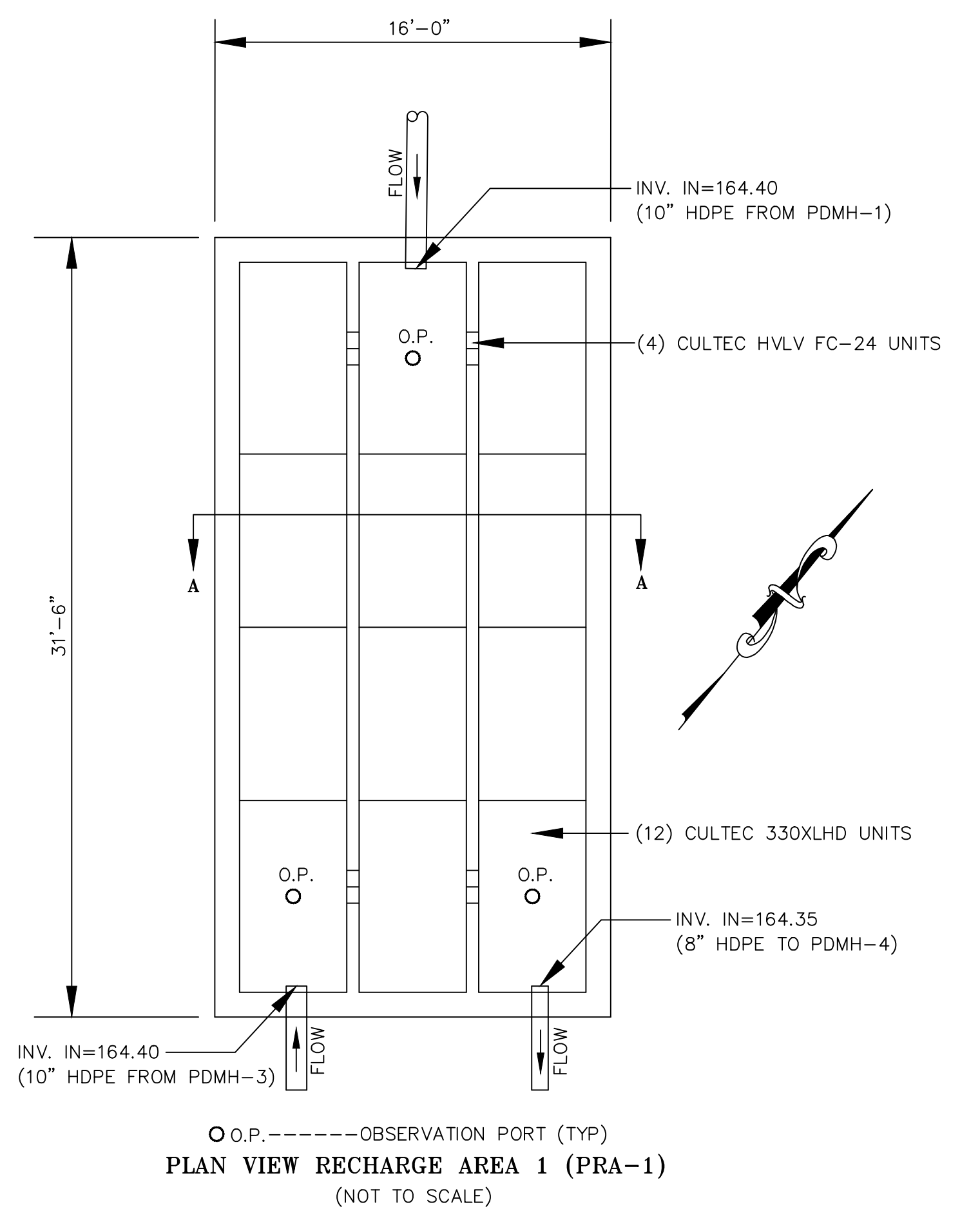
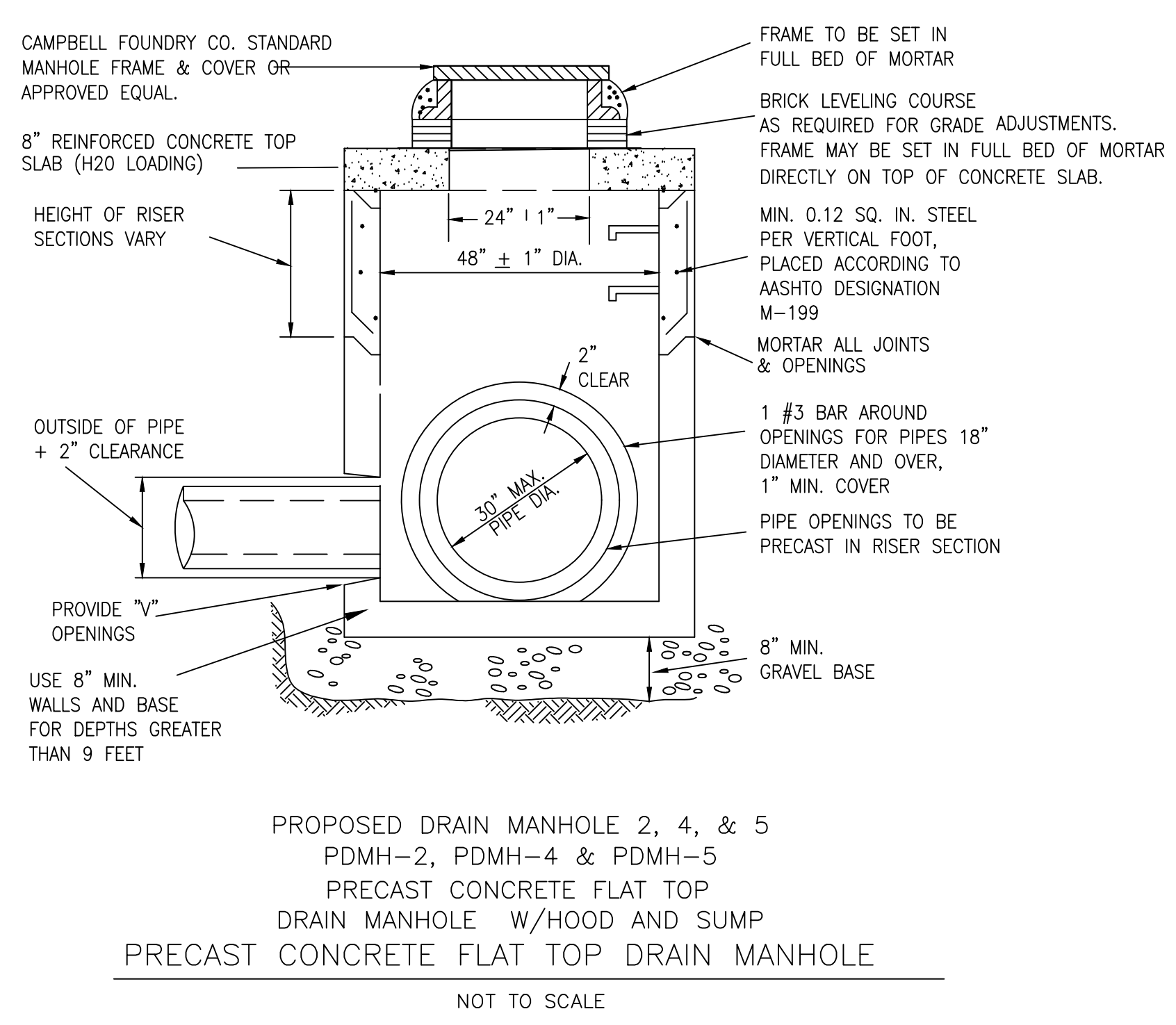
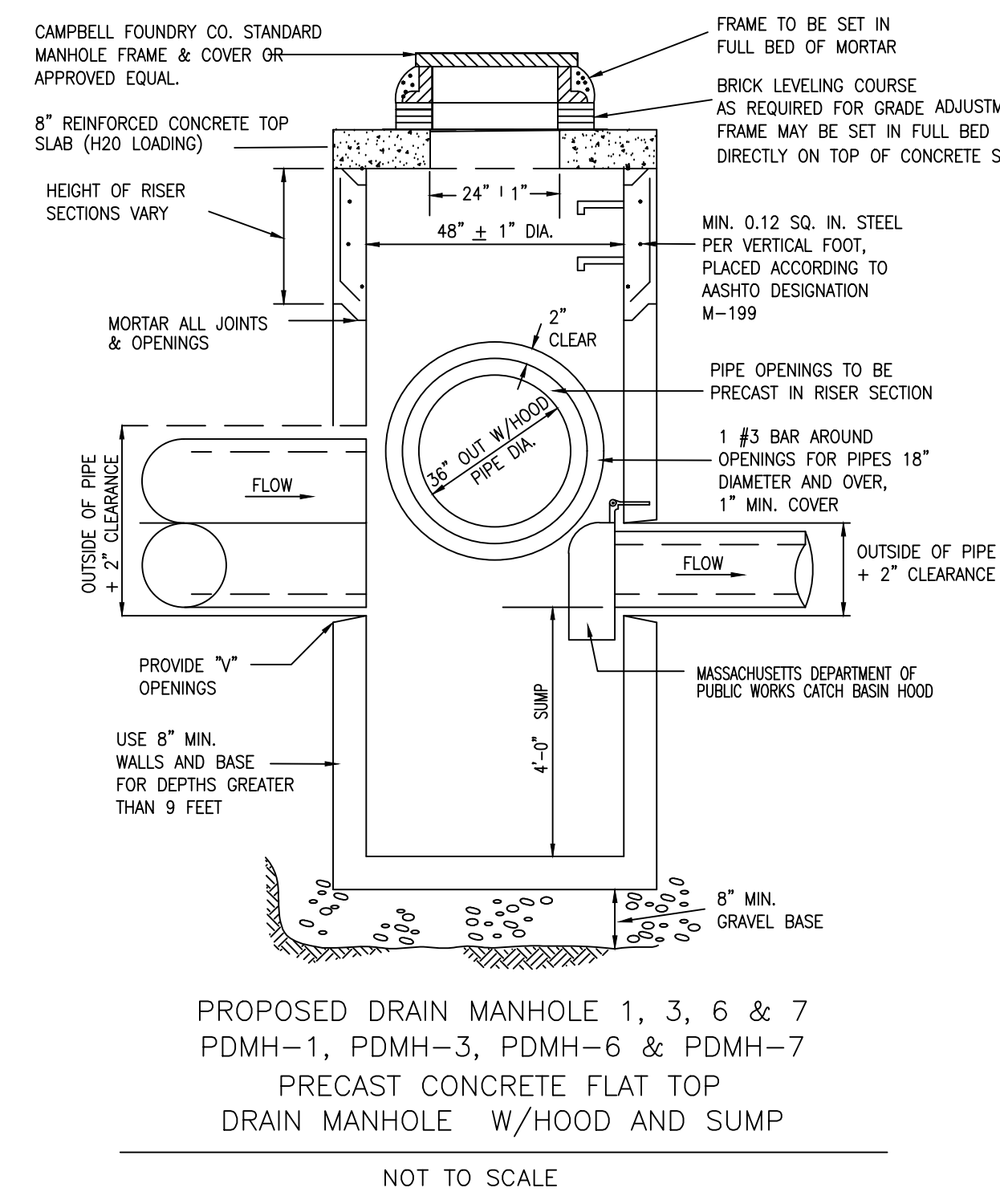
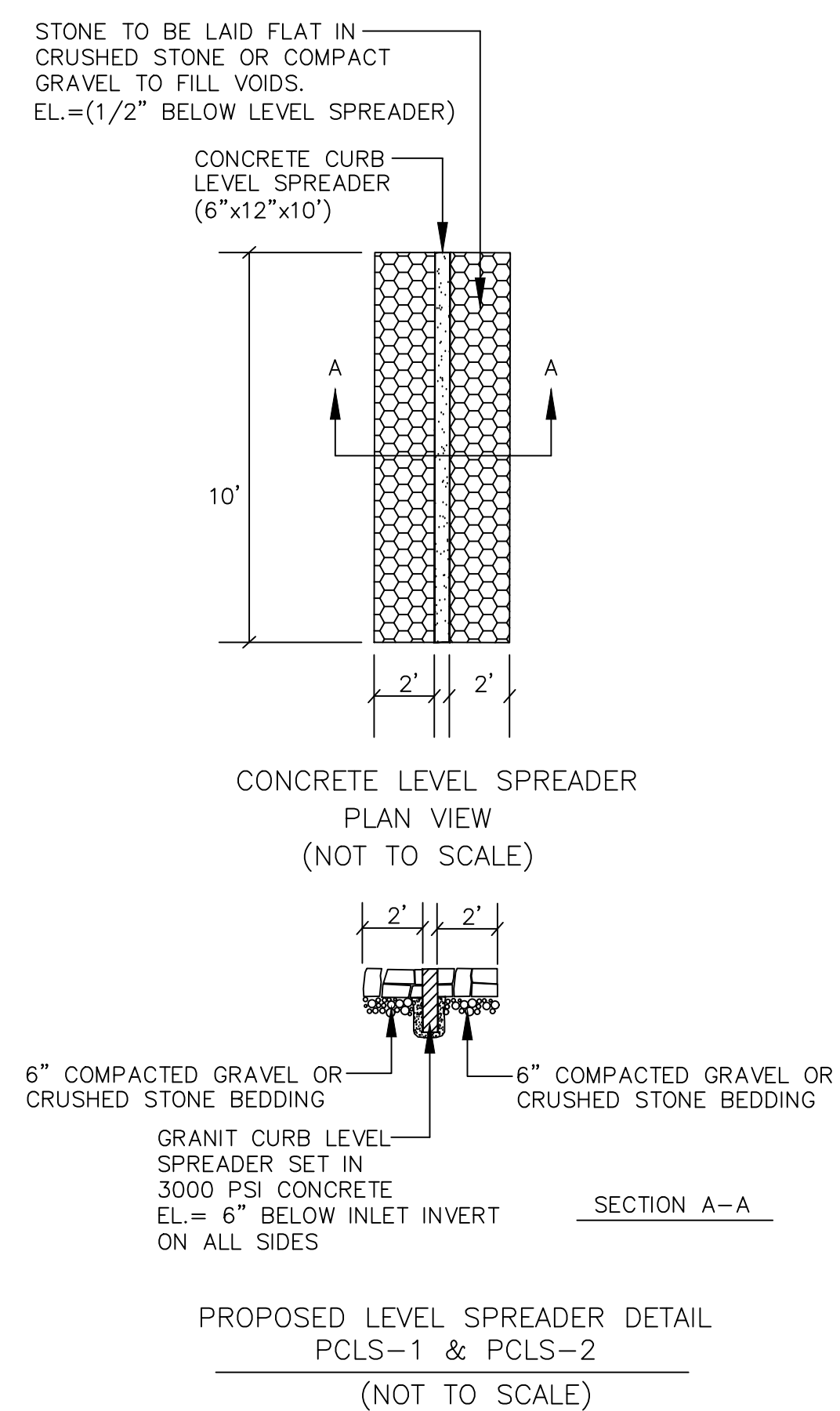
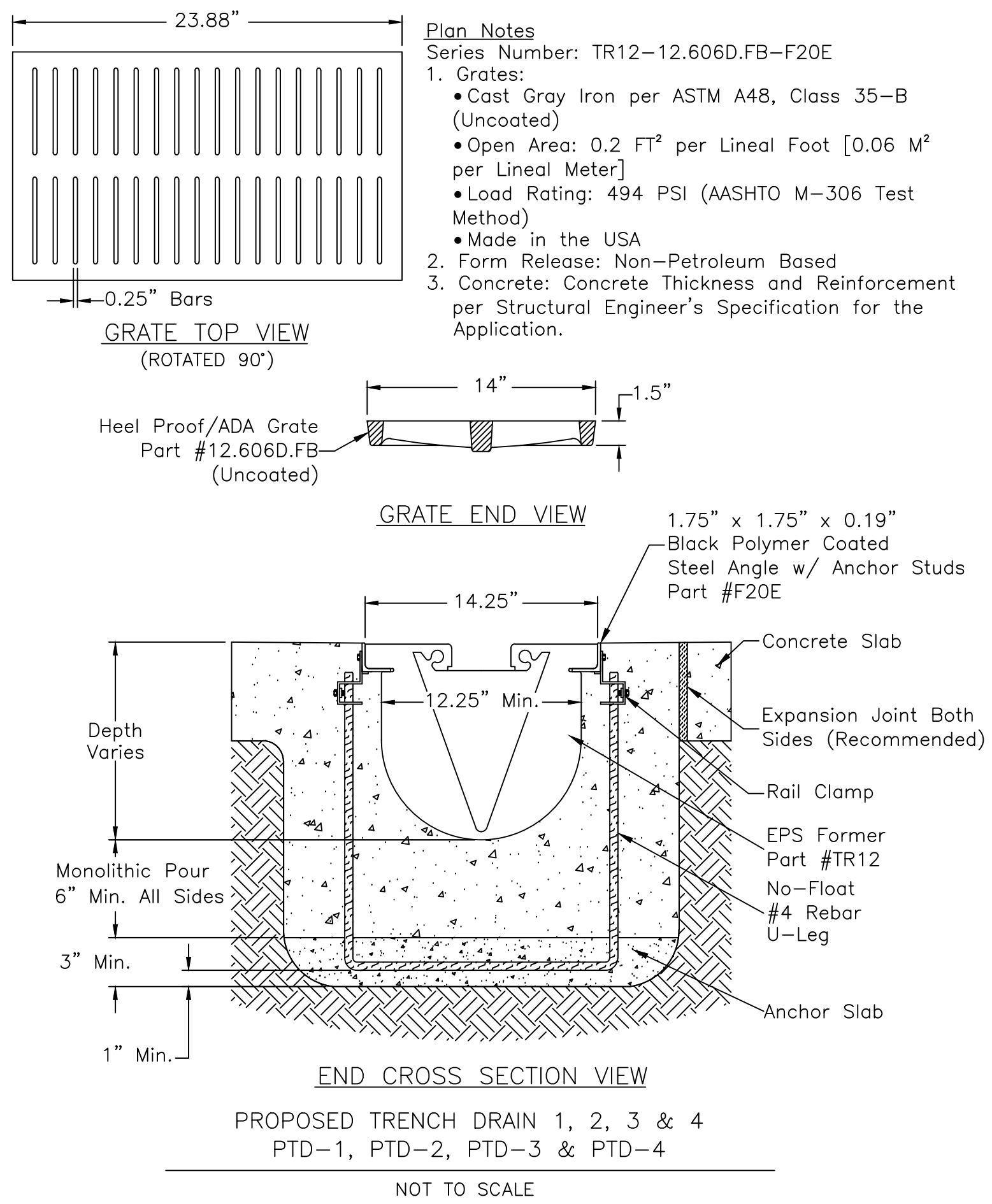
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DRAWING NO.
5 OF 9

PROJECT NO.
24-217-550

APPLICANT

GEORGE H. COLLINS
CIVIL
REGISTERED ENGINEER
3-7-2025



- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN OF RANDOLPH PLANNING BOARD AND PUBLIC WORKS DEPARTMENT SPECIFICATIONS.
 - ALL CONSTRUCTION SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS FOR ALL ROADWAY CONSTRUCTION METHODS AND MATERIALS.
 - CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING DIG SAFE (888-DIGSAFE) AND ANY APPLICABLE UTILITY COMPANIES PRIOR TO STARTING WORK. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY.

REV.	DATE	DESCRIPTION	BY	APP.
DRAINAGE DETAIL PLAN				
STATION DISTRICT RCMOD DEVELOPMENT 280-290 SOUTH STREET RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS			SCALE: AS-NOTED DATE: 3-7-2025	
APPLICANT ED DALEY 5 VAN BEAL ROAD RANDOLPH, MA 02368			DRAWN BY: DJK DESIGNED BY: DJK	
COLLINS CIVIL ENGINEERING GROUP, INC. CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES 225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379 TEL:508-580-2332 MOBILE: 617-347-1363 E-MAIL:GRCPE@AOL.COM			CHECKED BY: GRC APPROVED BY: GRC	
			DRAWING NO. 6 OF 9 PROJECT NO. 24-217-550	



ESS-1, E.G.=166.80 (9.5'd)
INV.=157.30 (6" SEWER VERIFY IN FIELD)

ESS-2, E.G.=168.6 (6.0'd)
INV.=162.60 (6" SEWER VERIFY IN FIELD)

ESS-3, E.G.=168.40 (7.5'd)
INV.=160.90 (6" SEWER VERIFY IN FIELD)

ESS-4, E.G.=156.10 (5.5'd)
INV.=150.60 (6" SEWER VERIFY IN FIELD)

PSMH-1, RIM=166.80 (DROP SEWER MANHOLE)
INV. IN=160.05 (6" PVC SCH.40 FROM UNIT 1)
INV. IN=160.05 (6" PVC SCH.40 FROM UNIT 2)
INV. OUT=158.35 (6" PVC SCH.40 TO ESS-1)

PSMH-2, RIM=168.80
INV. IN=163.00 (6" PVC SCH.40 FROM UNIT 3)
INV. IN=163.00 (6" PVC SCH.40 FROM UNIT 4)
INV. OUT=162.75 (6" PVC SCH.40 TO ESS-2)

PSMH-3, RIM=168.75 (DROP SEWER MANHOLE)
INV. IN=162.80 (6" PVC SCH.40 FROM UNIT 5)
INV. IN=162.80 (6" PVC SCH.40 FROM UNIT 6)
INV. OUT=161.05 (6" PVC SCH.40 TO ESS-3)

PSMH-4, RIM=158.10 (DROP SEWER MANHOLE)
INV. IN=153.25 (6" PVC SCH.40 FROM UNIT 7)
INV. IN=153.25 (6" PVC SCH.40 FROM UNIT 8)
INV. OUT=150.75 (6" PVC SCH.40 TO ESS-4)

UNIT 1, F.G. @ SEWER = 167.20
TOP OF FOUNDATION = 168.63
CONCRETE SLAB = 167.95
INV. OUT = 161.00 (6" PVC SCH.40 TO PSMH-1)

UNIT 2, F.G. @ SEWER = 167.85
TOP OF FOUNDATION = 168.63
CONCRETE SLAB = 167.95
INV. OUT = 160.57 (6" PVC SCH.40 TO PSMH-1)

UNIT 3, F.G. @ SEWER = 169.40
TOP OF FOUNDATION = 170.50
BASEMENT FLOOR = 163.00
INV. OUT = 163.40 (6" PVC SCH.40 TO PSMH-2)

UNIT 4, F.G. @ SEWER = 169.30
TOP OF FOUNDATION = 170.50
BASEMENT FLOOR = 163.00
INV. OUT = 163.85 (6" PVC SCH.40 TO PSMH-2)

UNIT 5, F.G. @ SEWER = 169.40
TOP OF FOUNDATION = 70.50
BASEMENT FLOOR = 163.00
INV. OUT = 163.50 (6" PVC SCH.40 TO PSMH-3)

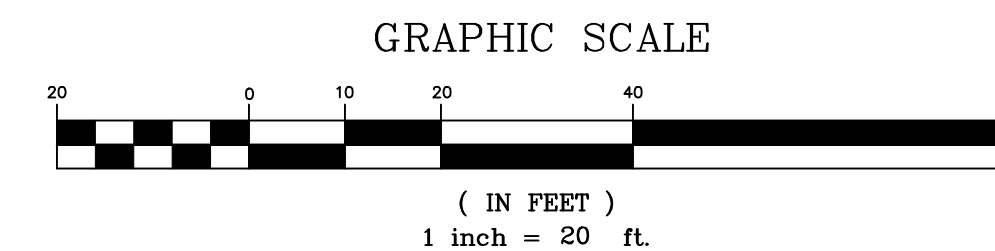
UNIT 6, F.G. @ SEWER = 169.40
TOP OF FOUNDATION = 70.50
BASEMENT FLOOR = 163.00
INV. OUT = 163.30 (6" PVC SCH.40 TO PSMH-3)

UNIT 7, F.G. @ SEWER = 160.00
TOP OF FOUNDATION = 161.00
BASEMENT FLOOR = 153.50
INV. OUT = 154.00 (6" PVC SCH.40 TO PSMH-4)

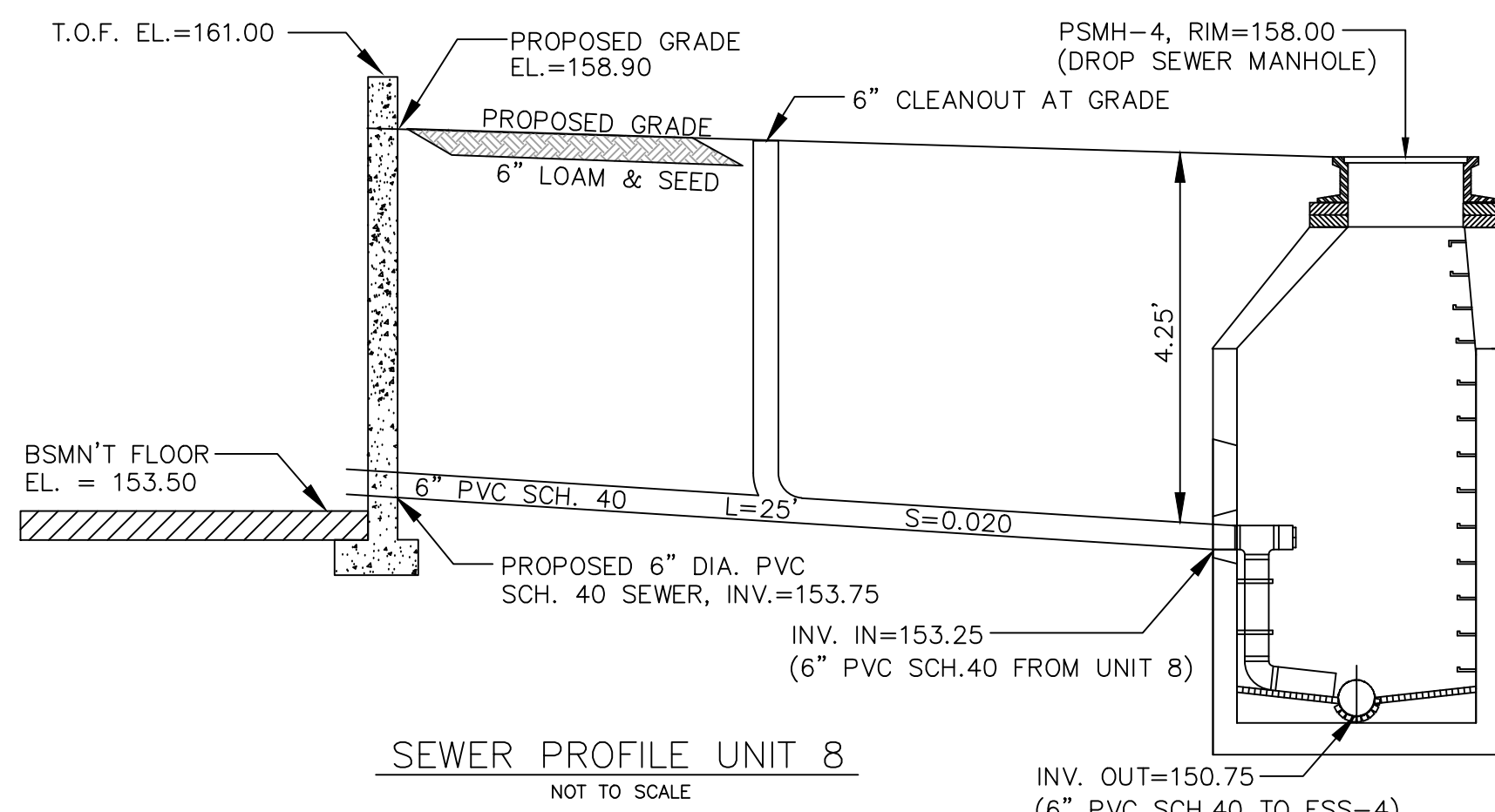
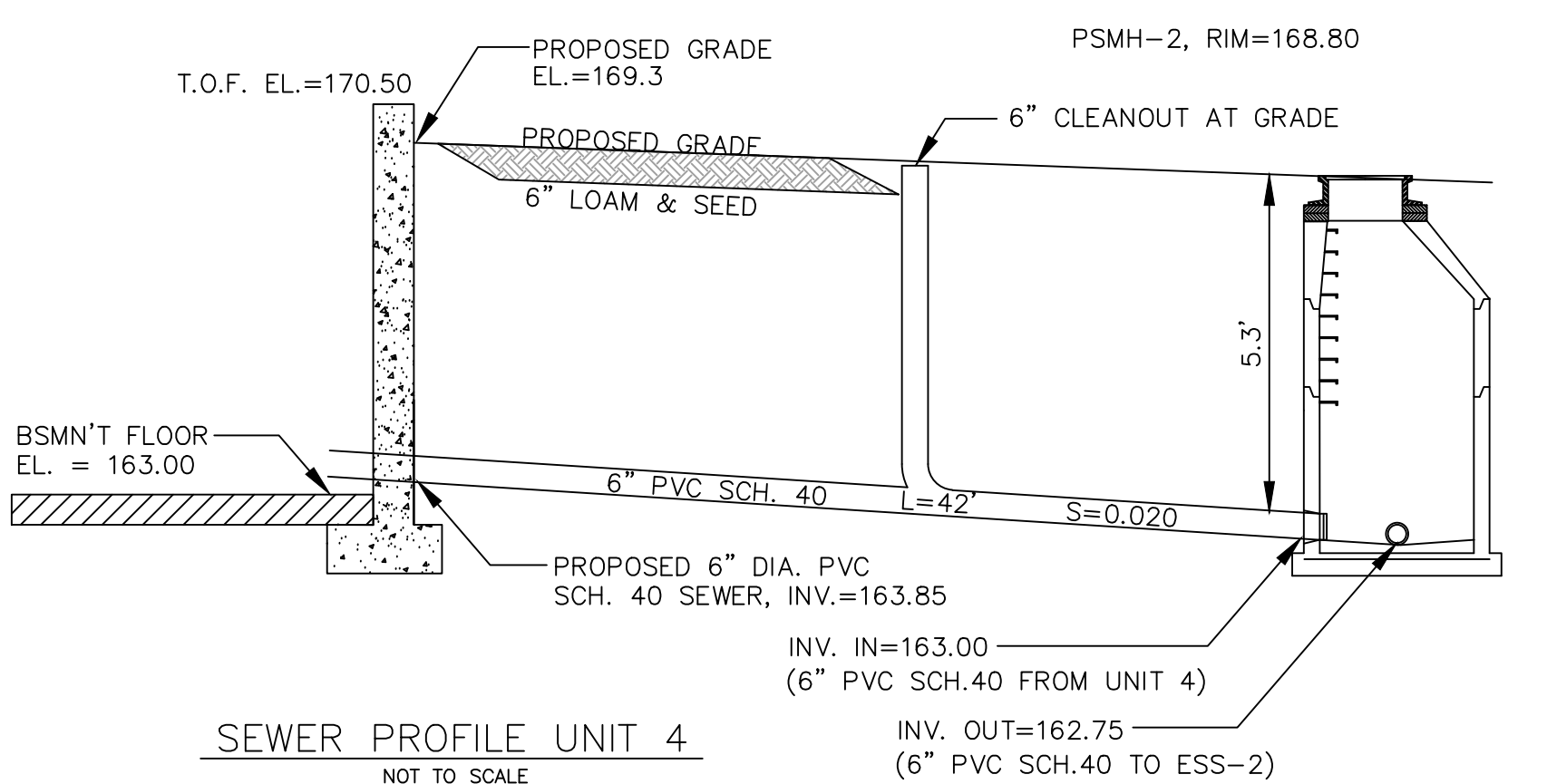
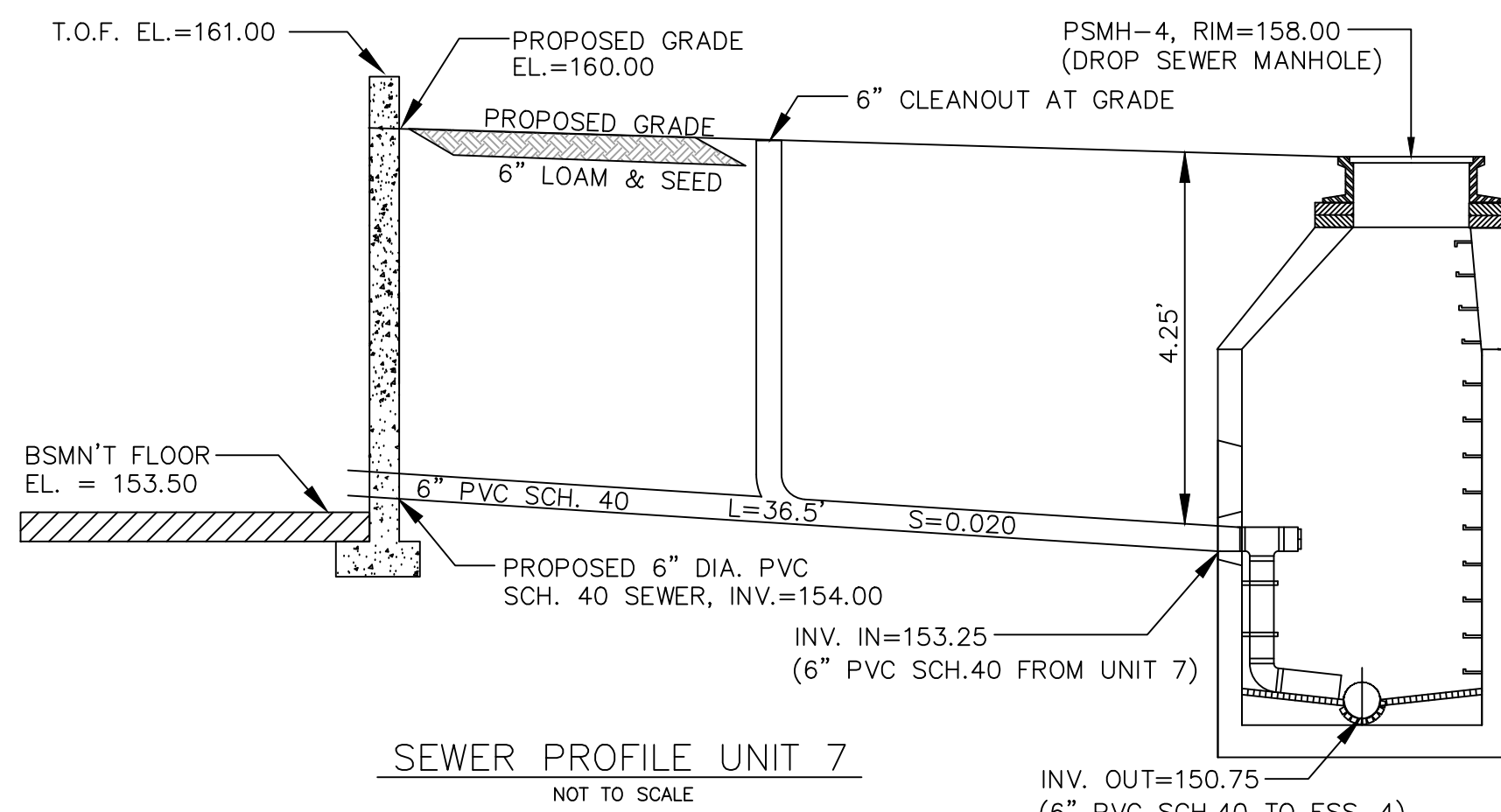
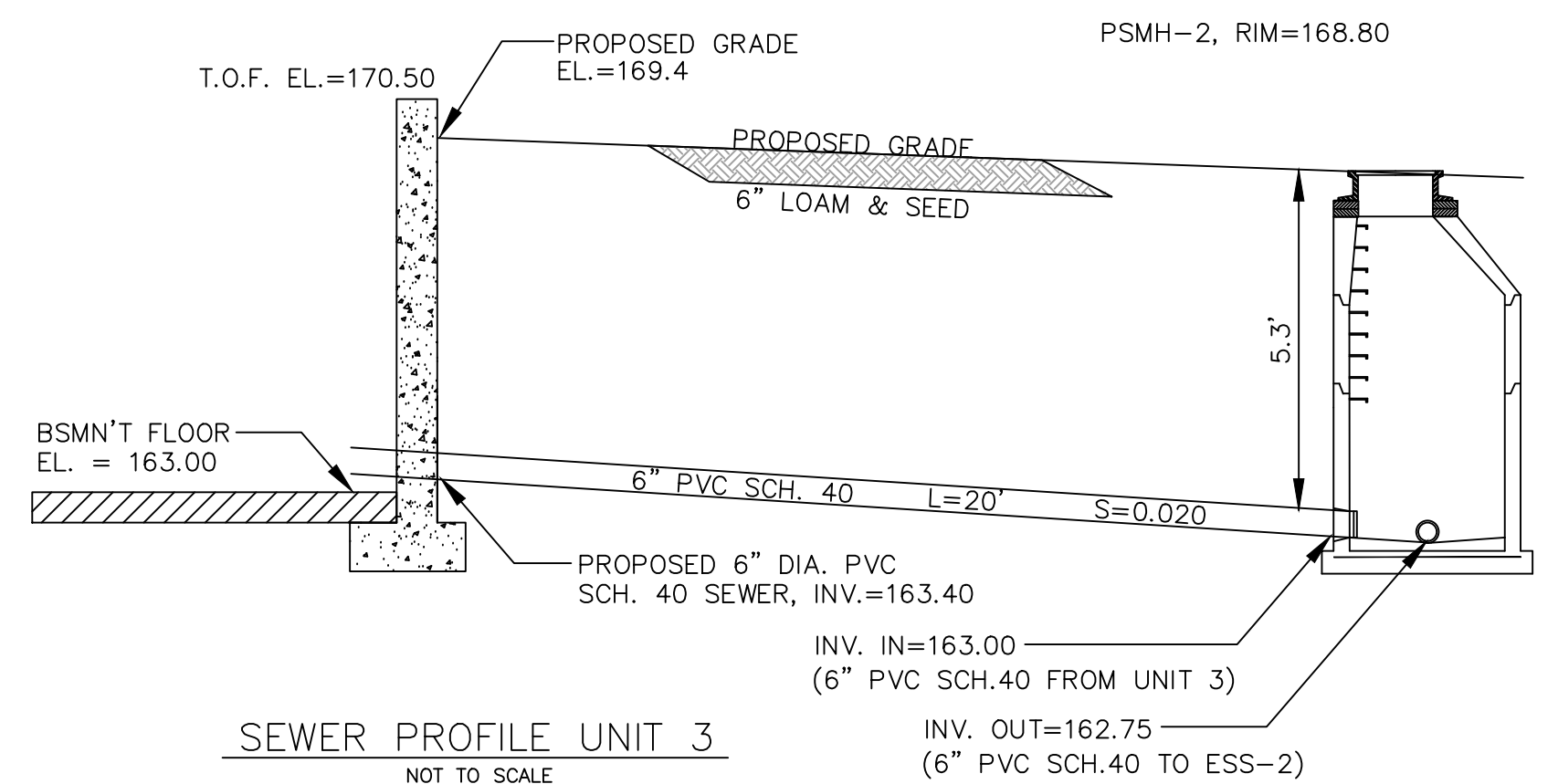
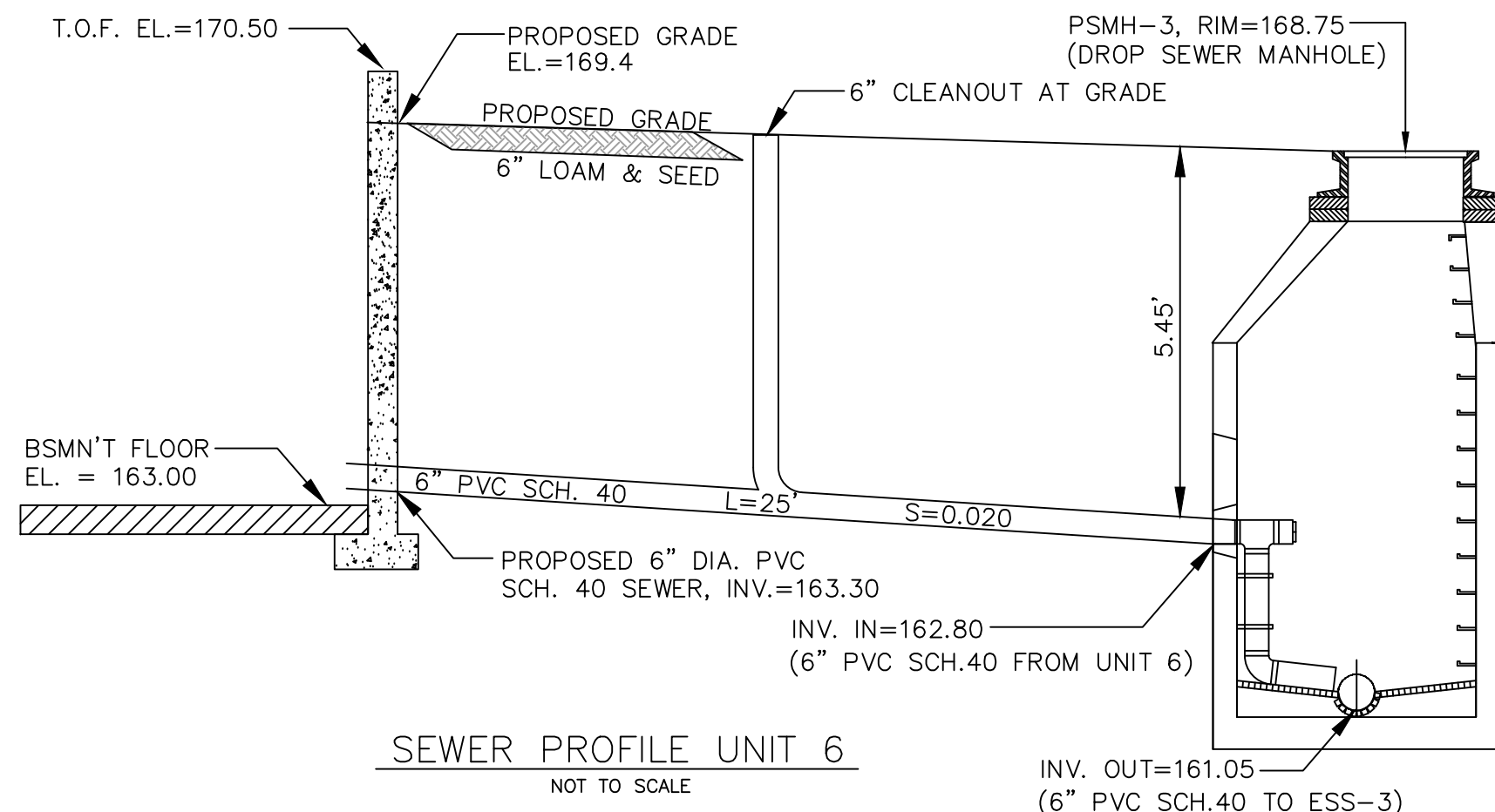
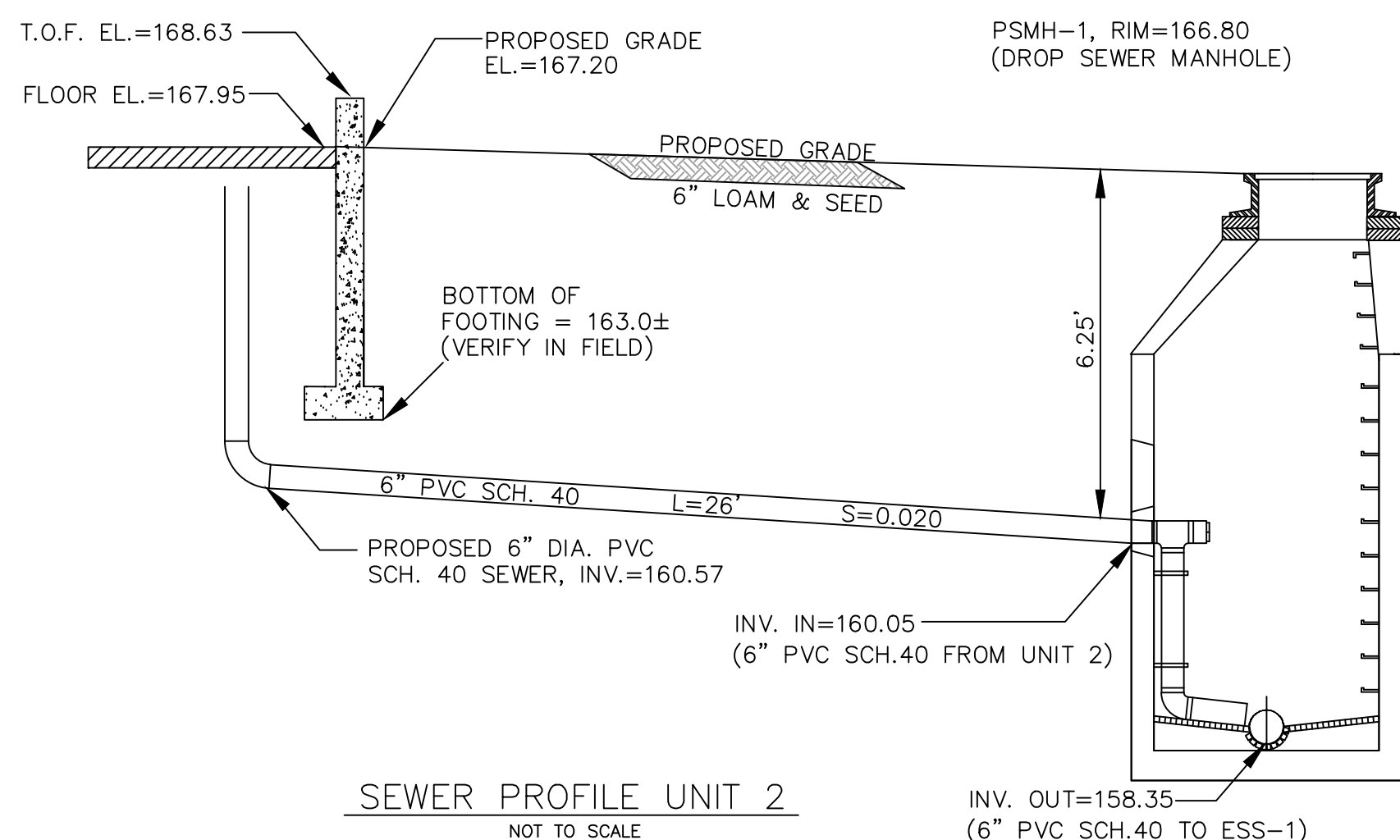
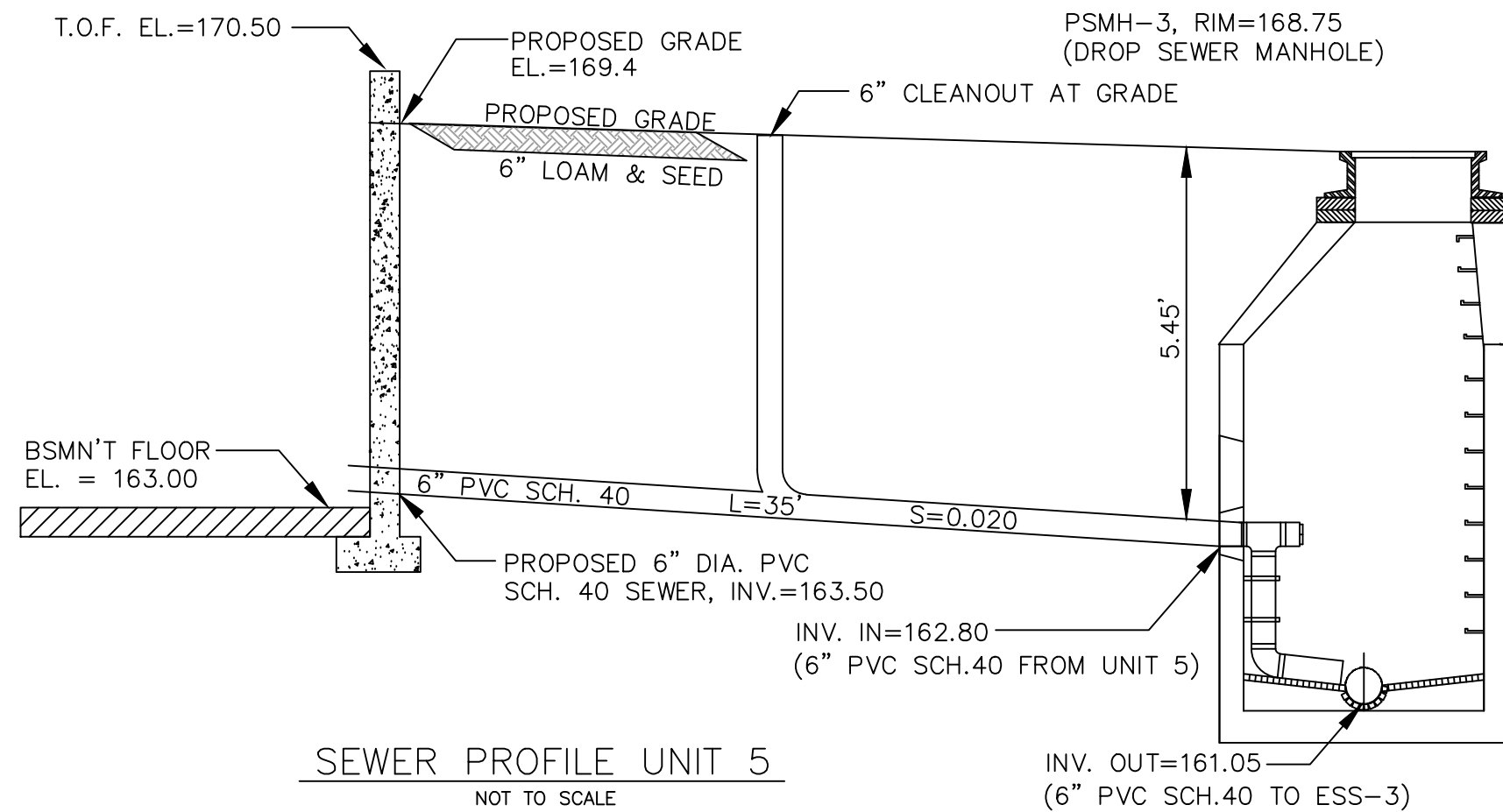
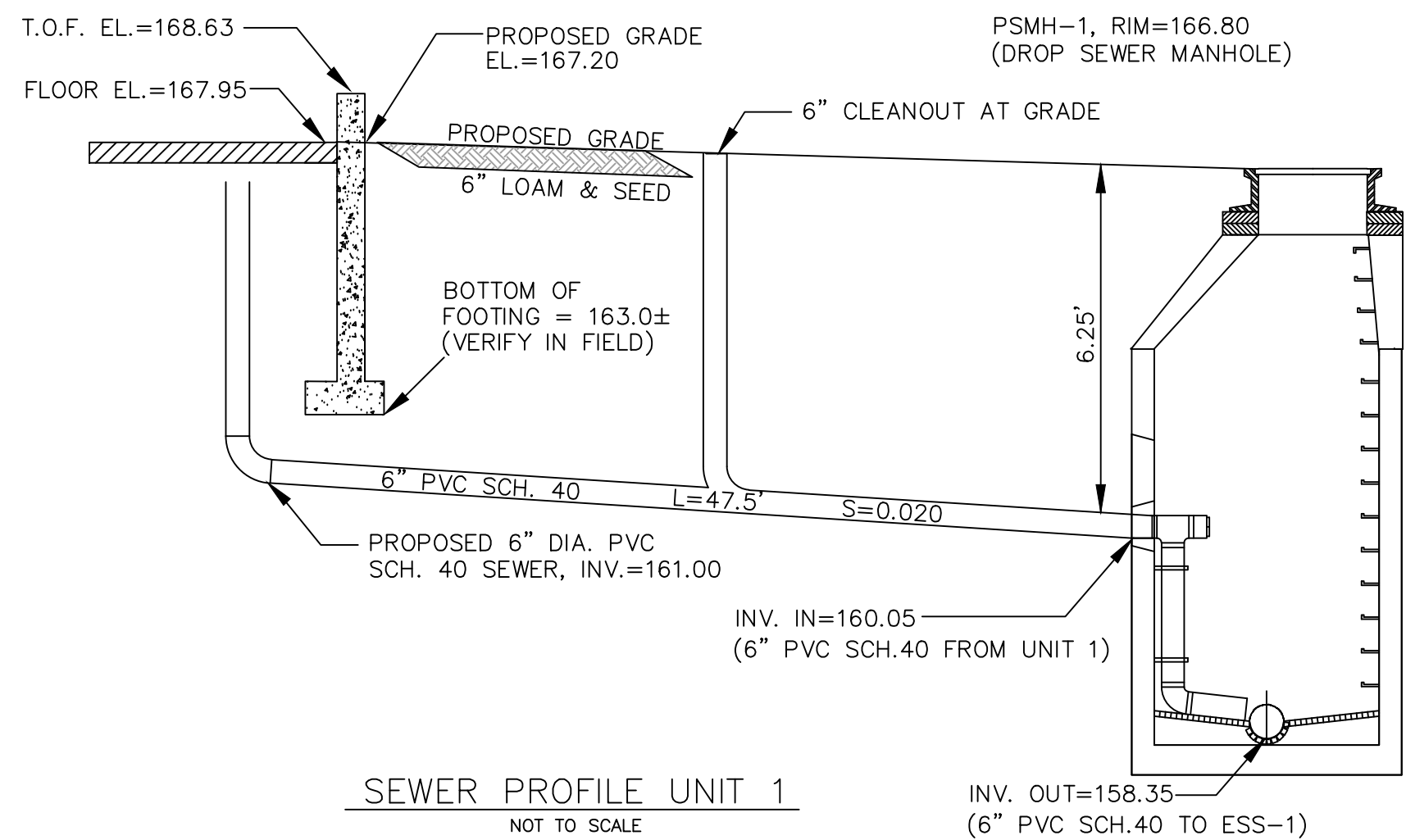
UNIT 8, F.G. @ SEWER = 158.90
TOP OF FOUNDATION = 161.00
BASEMENT FLOOR = 153.50
INV. OUT = 154.75 (6" PVC SCH.40 TO PSMH-4)

LEGEND

□ ECB	EXISTING CATCH BASIN
⊙ EDMH	EXISTING DRAIN MANHOLE
⊙ ESMH	EXISTING SEWER MANHOLE
⊙ WG	EXISTING WATER GATE
⊙ GG	EXISTING GAS GATE
⊙ UP	EXISTING UTILITY POLE
- ESS	EXISTING SEWER STUB
● HYD.	EXISTING FIRE HYDRANT
x 168.1	EXISTING SPOT GRADE
-- 168 --	EXISTING CONTOUR
- OHU -	EXISTING OVER-HEAD UTILITIES
- G -	EXISTING GAS LINE
AVC	EXISTING ASPHALT VERTICAL CURB
■ OH-5	OBSERVATION HOLE 5
■ CB/LP FND.	CONCRETE BOUND W/LEAD PLUG
■ SB/DH FND.	STONE BOUND W/DRILL HOLE
○ DH FND.	DRILL HOLE
PTD	PROPOSED TRENCH DRAIN
PDMH	PROPOSED DRAIN MANHOLE
PRD	PROPOSED ROOF DRAIN
PRA	PROPOSED RECHARGE AREA
PCLS	PROP. CONCRETE LEVEL SPREADER
PIB	PROP. INFILTRATION BASIN
PFE	PROPOSED FLARED END SECTION



REV.	DATE	DESCRIPTION	BY	APP.
SEWER & WATER PLAN				
STATION DISTRICT RCMOD DEVELOPMENT 280-290 SOUTH STREET RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS			SCALE: AS-NOTED DATE: 3-7-2025	
APPLICANT ED DALEY 5 VAN BEAL ROAD RANDOLPH, MA 02368			DRAWN BY: DJK	
COLLINS CIVIL ENGINEERING GROUP, INC. CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES 225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379 TEL:508-680-2332 MOBILE: 617-347-1363 E-MAIL:GRCPE@AOL.COM			DESIGNED BY: DJK	
			CHECKED BY: GRC	
			APPROVED BY: GRC	DRAWING NO. 7 OF 9 PROJECT NO. 24-217-550



OPERATION AND MAINTENANCE PLAN NEW-CONSTRUCTION POST-CONSTRUCTION

1. STORMWATER MANAGEMENT SYSTEM(S) OWNERS:

RECORD OWNER & PROPERTY INFORMATION

OWNER: PETER J. DALY
5 VAN BEAL ROAD
RANDOLPH, MA 02368

APPLICANT: ED DALEY
5 VAN BEAL ROAD
RANDOLPH, MA 02368

2. PARTIES RESPONSIBLE FOR THE OPERATION AND MAINTENANCE PLAN POST CONSTRUCTION.

RECORD OWNER: PETER J. DALY
5 VAN BEAL ROAD
RANDOLPH, MA 02368

NOTE: IN CASE OF TRANSFER OF PROPERTY, THE NEW OWNERS WILL BECOME THE RESPONSIBLE PARTY FOR THE OPERATION AND MAINTANCE POST CONSTRUCTION.

NOTE: IN CASE OF TRANSFER OF PROPERTY, THE NEW OWNERS WILL BECOME THE RESPONSIBLE PARTY FOR THE OPERATION AND MAINTANCE POST CONSTRUCTION.

1. THE STORM WATER POLLUTION PREVENTION PLAN, (SWPPP) IS SUBMITTED HEREIN. ALL ASSOCIATRD PAPERWORK UNDER THE NPDES PHASE II REGULATIONS SHALL BE DEFERRED UNTIL CONSTRUCTION, AND THEIR PREPARATION BEING REQUIRED OF THE ACTUAL CONTRACTOR.

NON STRUCTURAL METHODS

1. A COMPREHENSIVE CONTROL PROGRAM WILL BE IMPLEMENTED AT THE SITE THAT INCLUDES REGULAR PAVEMENT SWEEPING.

NOTE: IN CASE OF TRANSFER OF PROPERTY, THE NEW OWNERS WILL BECOME THE RESPONSIBLE PARTY FOR THE OPERATION AND MAINTANCE POST CONSTRUCTION.

NON STRUCTURAL METHODS

1. A COMPREHENSIVE CONTROL PROGRAM WILL BE IMPLEMENTED AT THE SITE WHICH INCLUDES REGULAR PAVEMENT SWEEPING AND RESTRICTIONS ON THE USE OF PESTICIDES, FERTILIZERS, SALT AND OTHER DEICING AGENTS.

STRUCTURAL METHODS

PROPOSED INFILTRATION BASINS

INSPECT DETENTION BASINS AFTER EVERY MAJOR STORM IN THE FIRST FEW MONTHS AFTER CONSTRUCTION TO ENSURE PROPER FUNCTION. THEREAFTER, INSPECT THE DETENTION BASINS AT LEAST ONCE EVERY 6 MONTHS. MAINTENANCE TASK INCLUDE REMOVING SURFACE SEDIMENT, TRASH AND DEBRIS. CHECK INLET AND OUTLET PIPES TO DETERMINE IF THEY ARE CLOGGED. REMOVE ACCUMULATED SEDIMENT, TRASH, DEBRIS, LEAVES AND GRASS CLIPPINGS FROM MOWING. REMOVE TREE SEEDLINGS BEFORE THEY BECOME FIRMLY ESTABLISHED. GRASS HEIGHT MUST BE MAINTAINED TO BE NO MORE THAN FOUR INCHES. ROUTINELY REMOVE GRASS CLIPPINGS, LEAVES AND ACCUMULATED SEDIMENT FROM THE SURFACE.

PROPOSED DEEP SUMP DRAIN MANHOLES

CATCH BASINS WILL BE INSPECTED 2 TIMES PER YEAR AND CLEANED ONCE ANNUALLY OR WHENEVER THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT OF THE LOWEST PIPE IN THE BASIN.

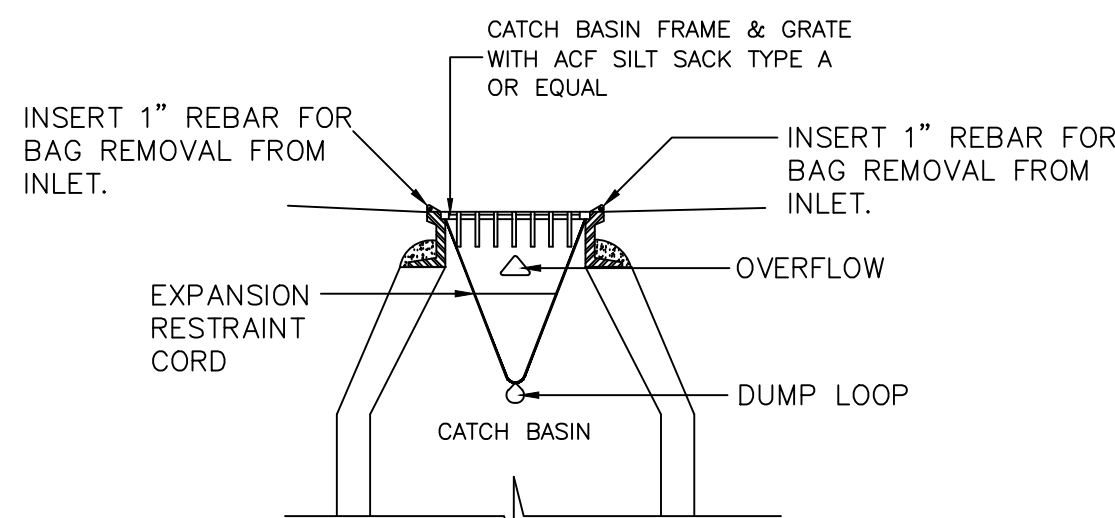
PROPOSED CULTREC RECHARGE AREAS

INSPECT INLETS AND OUTLETS, WHERE POSSIBLE, AT LEAST ONCE A YEAR. REMOVE ANY DEBRIS THAT MIGHT CLOG THE SYSTEM. CHECK WATER DEPTHS A FEW DAYS AFTER LARGER STORMS ENSURE THE SYSTEM IS DRY AND FUNCTIONING PROPERLY.

REV.	DATE	DESCRIPTION	BY	APP.
SEWER PROFILES / O&M PLAN				
STATION DISTRICT RCMOD DEVELOPMENT 280-290 SOUTH STREET RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS			SCALE: AS-NOTED	
APPLICANT ED DALEY 5 VAN BEAL ROAD RANDOLPH, MA 02368			DATE: 3-7-2025	
DRAWN BY: DJK			DESIGNED BY: DJK	
CHECKED BY: GRC			APPROVED BY: GRC	
COLLINS CIVIL ENGINEERING GROUP, INC. CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES 225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379 TEL:508-860-2332 MOBILE: 617-347-1363 E-MAIL:GRCPE@AOL.COM			DRAWING NO. 8 OF 9	PROJECT NO. 24-217-550

Stormwater Pollution Plan (SWPPP)

1. Erosion and sediment control measures, surrounding the limit of work area will be installed prior to stump removal and construction. Crushed stone tracking pads to be placed at all construction access points before construction traffic into and out of project area begins. Stabilization of all re-graded and soil stockpile areas will be initiated and maintained during all phases of construction.



NOTES: WHEN THE EXPANSION RESTRAINT CORD IS NO LONGER VISIBLE, SILT SACK IS FULL AND SHOULD BE EMPTIED.

CATCH BASINS WITH SILT SACK TYPE A
NOT TO SCALE

2. Areas to be left bare before finished grading and seeding is achieved, shall receive a temporary seeding of Perennial Ryegrass applied to a rate of 2 lbs./1,000 sq. ft. at a depth of 1/2 inch. Limestone (equivalent to be 50 percent calcium plus magnesium oxide) shall be applied as seedbed preparation at a rate of 90 lbs./1,000 sq. ft. Planting seasons shall be March 1 to June 15 and August 1 to October 1. Where grass predominates, fertilizing according to the minimum soil nutrient recommendation of 1 lb. of nitrogen per 1,000 sq. ft. Areas to be left bare before finish grading and seeding outside of planting seasons shall receive an air-dried wood chip mulch, free of coarse matter, treated with 12, lbs. of nitrogen per ton, applied at a rate of 185 to 275 lbs per 1,000 square feet.

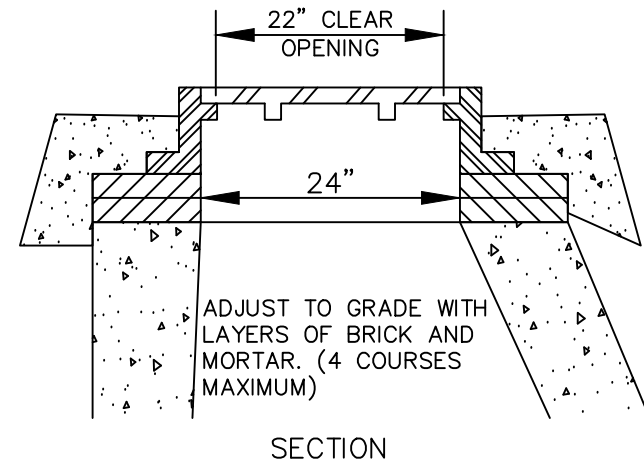
3. Seeding mixture for finished grassed areas will be as follows:

Kentucky Blue Grass	45%
Creeping Red Fescue	45%
Perennial Ryegrass	10%

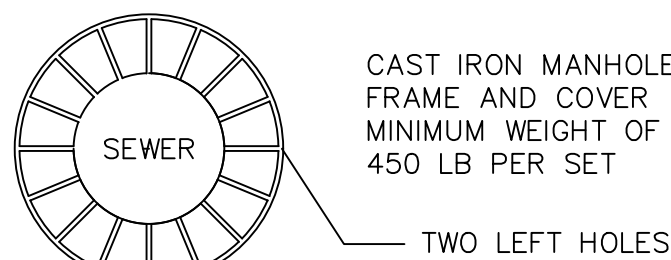
Seed to be applied at a rate of 4 lbs./1000 sq. ft.
Fertilizer shall be applied at a rate of 2 lbs./1000 sq. ft..

Planting seasons shall be April 1 to June 1 and August 15 to September 15. After September 15, areas will be stabilized with haybale check, filter fabric, or woodchip mulch, as required, to control erosion, for areas to have specific landscape coverage other than seeding or sodding, see landscape development plan.

4. Stabilization of slopes in cut areas (using mulch or grass) and the installation of control line (haybale check or filter fabric) at the toe of slope shall be initiated within thirty (30) days of commencement of cut.
5. Sediment removed from control structures will be disposed in a manner which is consistent with the intent of the plan. All haybales, silt sock or silt fence retaining sediment over 1/2 their height shall have the sediment removed and all damaged erosion controls removed and replaced.
6. Contractor will be assigned the responsibility for implementing this Erosion and Sediment Control Plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan, and notifying the proper Town agency of any transfer of this responsibility. The owner shall be responsible for conveying a copy of the Erosion and Sediment control Plan if the title to the land is transferred.
7. The Contractor shall secure the services of a professional engineer, who shall verify in the field that the controls required by this plan are properly installed, shall make inspection of such facilities not less frequently than weekly and within forty-eight (48) hours of any significant rainfall, and shall, by written report, inform the Owner or his agent not less frequently than weekly.
8. Stockpiles of soil shall be surrounded by a sediment barrier. Soil stockpiles to be left bare for more than fifteen (15) days shall be stabilized with temporary vegetation or mulch. If soil stockpiles are to remain for more than sixty (60) days, filter fabric shall be used in place of haybales. Side slopes shall not exceed 2:1.
9. The Contractor shall be responsible to control dust and wind erosion throughout the life of his Contract. Dust control shall include, but is not limited to sprinkling of water on exposed soils and haul roads. Contractor shall control dust to prevent a hazard to traffic on adjacent roadways.
10. If final grading is to be delayed for more than thirty (30) days after land disturbances cease, temporary vegetation or mulch shall be used to stabilize soils.
11. Haybales shall be used only as a temporary measure. Where control measures will be required for longer than sixty (60) days, filter fabric shall be used.
12. Where dewatering is necessary, there shall not be a discharge directly into wetlands or watercourses. Proper methods and devices shall be utilized to the extent permitted by law, such as pumping water into a temporary sedimentation bowl, providing surge protection at the inlet and the outlet of pumps, or floating the intake of the pump, or other methods to minimize and retain the suspended solids. If a pumping operation is causing turbidity problems, said operation shall cease until such time as feasible means of controlling turbidity area determined and implemented.
13. EROSION AND SEDIMENT CONTROL PLANS WILL BE SUBMITTED TO THE TOWN OF WEST BRIDGE CONSERVATION COMMISSION AS REQUIRED UNDER THE WEST BRIDGEWATER STORMWATER AUTHORITY COMPREHENSIVE STORMWATER MANAGEMENT REGULATIONS APPENDIX E: PLAN CONTENTS FOR EROSION AND SEDIMENT CONTROL PLANS, PRIOR TO THE START OF CONSTRUCTION.

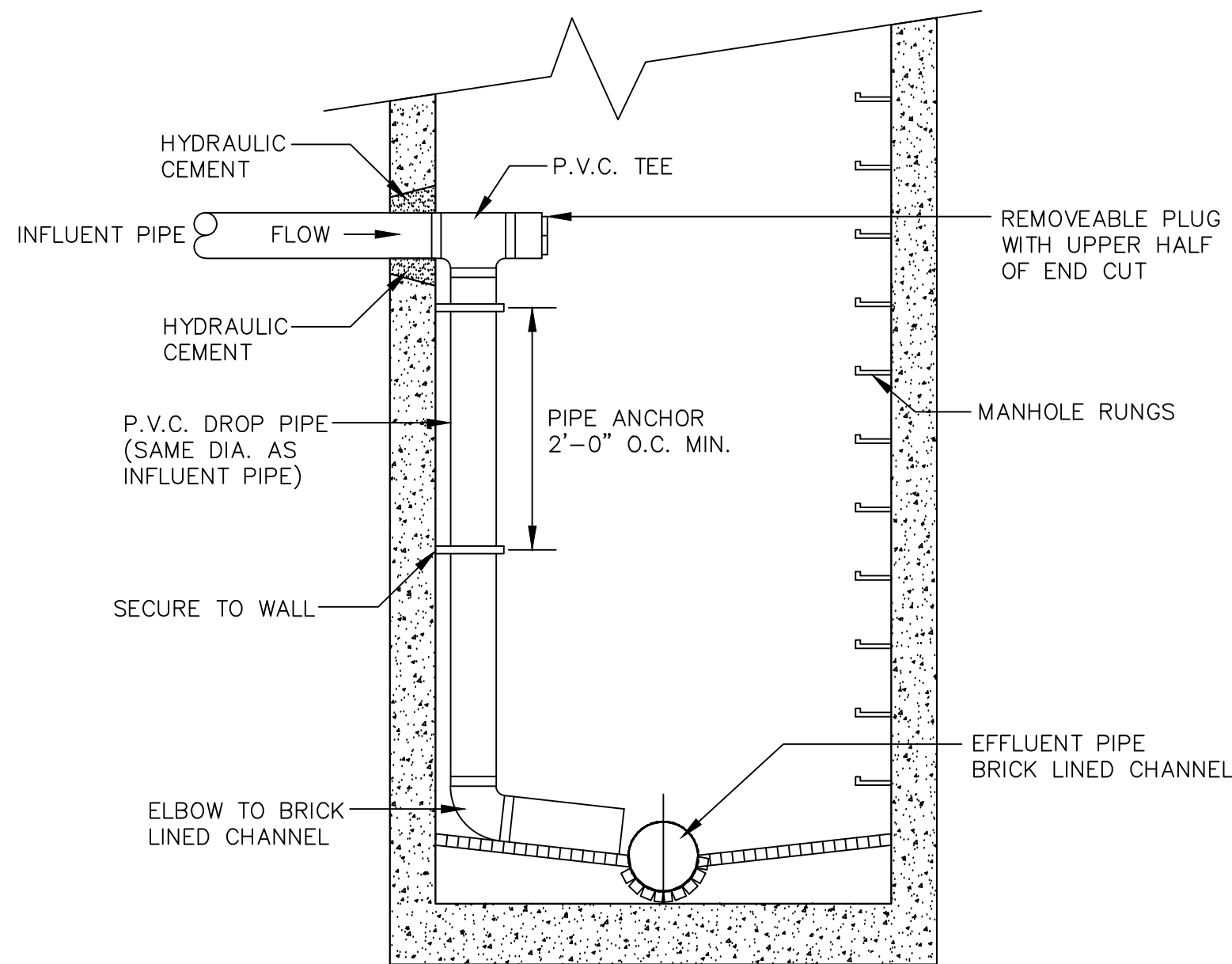


FRAME AND COVER
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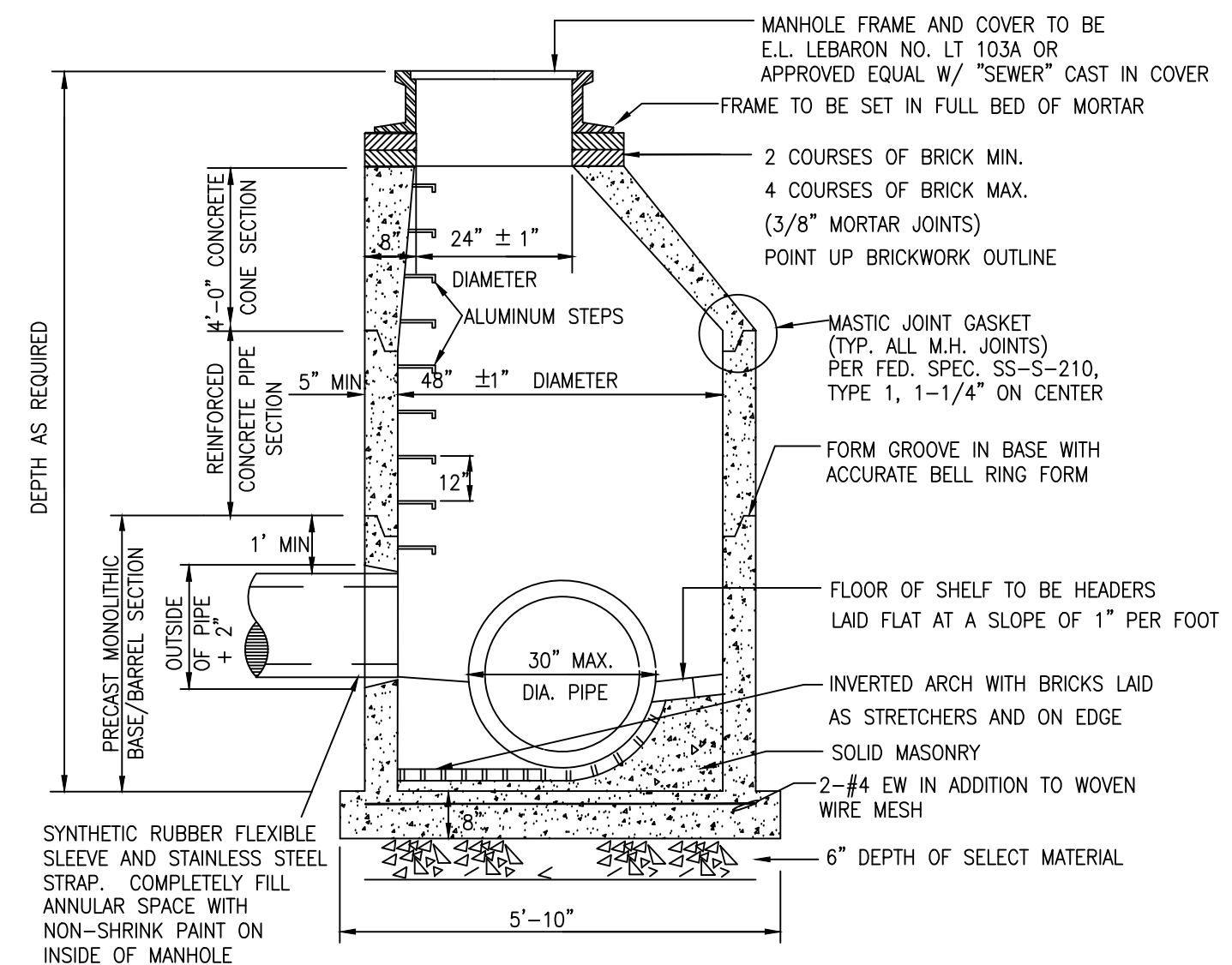


PLAN

AS MANUFACTURED BY
LeBARON FOUNDRY CO.
MECHANICS IRON FOUNDRY, CO.
C.M. WHITE IRON WORKS.



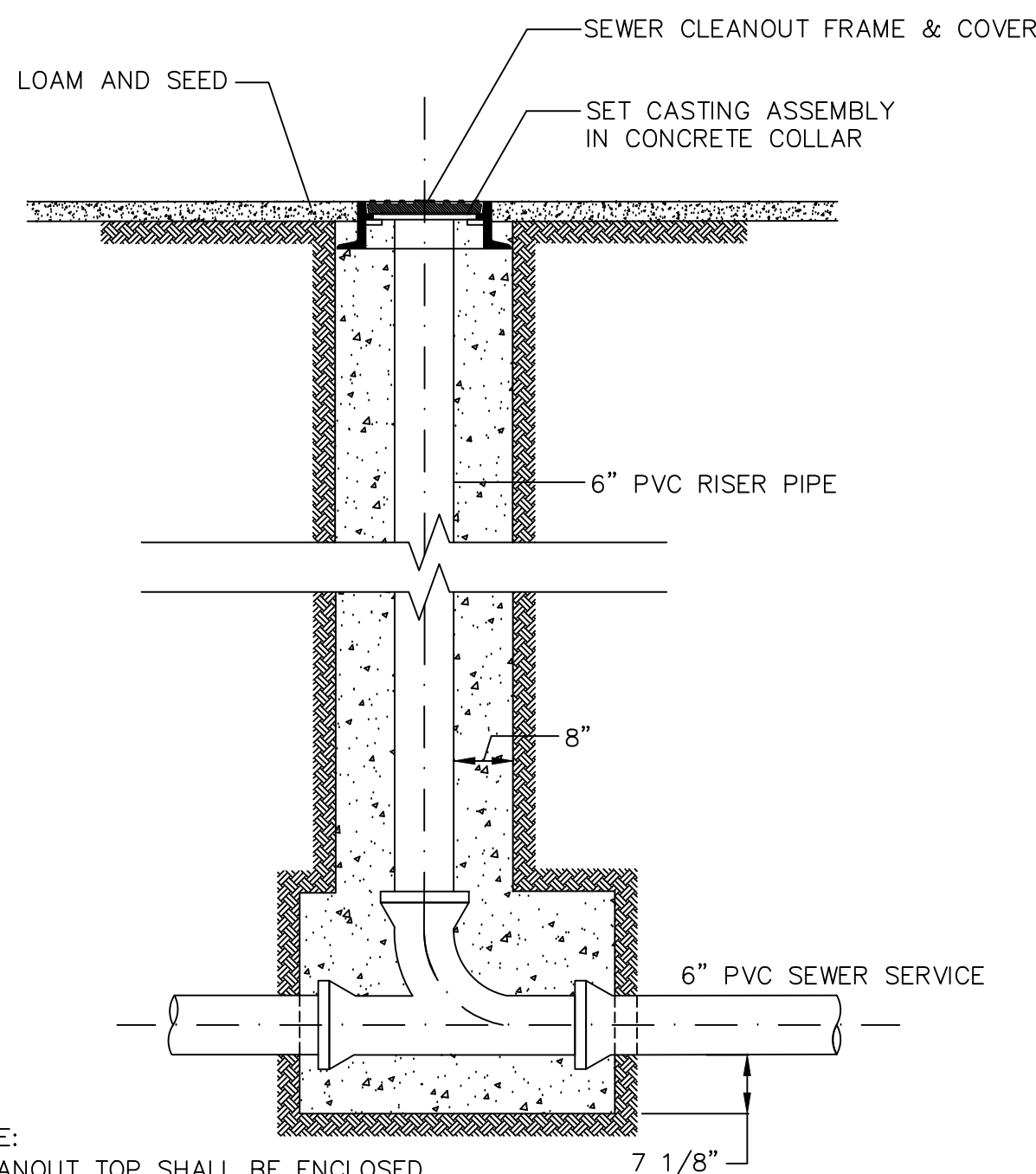
INSIDESIDE DROP MANHOLE
(NOT TO SCALE)



PRECAST CONCRETE SEWER MANHOLE
(NOT TO SCALE)

WATER SERVICE NOTES:

1. PRIOR TO THE ISSUANCE OF A WATER CONNECTION PERMIT, THE PROPERTY OWNER MUST PROVIDE EVIDENCE FROM THE RANDOLPH BOARD OF SELECTMEN THAT THE PROPERTY HAS BEEN ISSUED PERMISSION TO CONNECT TO THE TOWN OF RANDOLPH WATER SYSTEM.
2. THE PROPOSED WATER IMPROVEMENTS MUST BE COMPLETED BY A CONTRACTOR LICENSED TO DO WORK WITHIN THE TOWN OF RANDOLPH.
3. THE TOWN OF RANDOLPH WATER DIVISION MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF WATER SERVICE INSTALLATION.
4. ALL PROPOSED WATER IMPROVEMENTS MUST BE AVAILABLE FOR INSPECTION BY THE TOWN OF RANDOLPH WATER DIVISION. NO BACKFILLING IS ALLOWED WITHOUT TOWN OF RANDOLPH WATER DIVISION PRIOR APPROVAL. INSPECTION WILL INCLUDE WATER IMPROVEMENTS ON PRIVATE PROPERTY.
5. ALL NECESSARY ROADWAY OPENING, TRENCH PERMITS, AND ROADWAY REPAIRS WILL BE COMPLETED TO THE SATISFACTION OF THE TOWN OF RANDOLPH.



NOTE:
CLEANOUT TOP SHALL BE ENCLOSED
IN CASTING AND/OR FABRICATED
COVER ASSEMBLY.

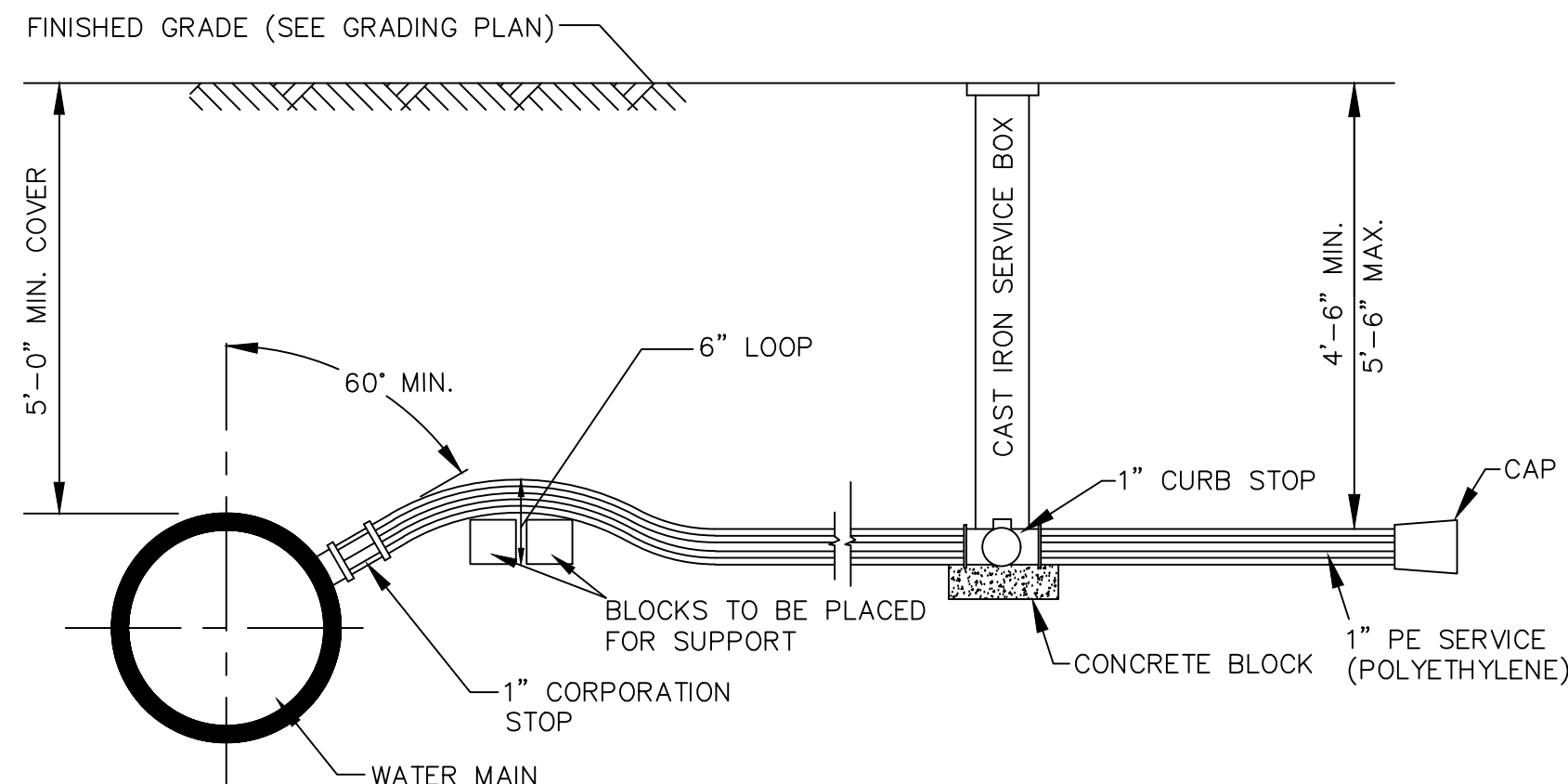
SEWER CLEAN-OUT DETAIL
(NOT TO SCALE)

GENERAL NOTES:

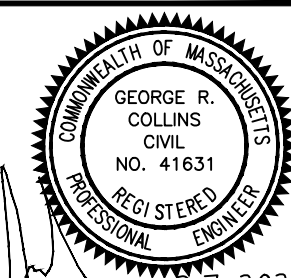
- 1) ALL CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN OF RANDOLPH PLANNING BOARD AND PUBLIC WORKS DEPARTMENT SPECIFICATIONS.
- 2) ALL CONSTRUCTION SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS FOR ALL ROADWAY CONSTRUCTION METHODS AND MATERIALS.
- 3) CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING DIG SAFE ((888-DIGSAFE)) AND ANY APPLICABLE UTILITY COMPANIES PRIOR TO STARTING WORK. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY.

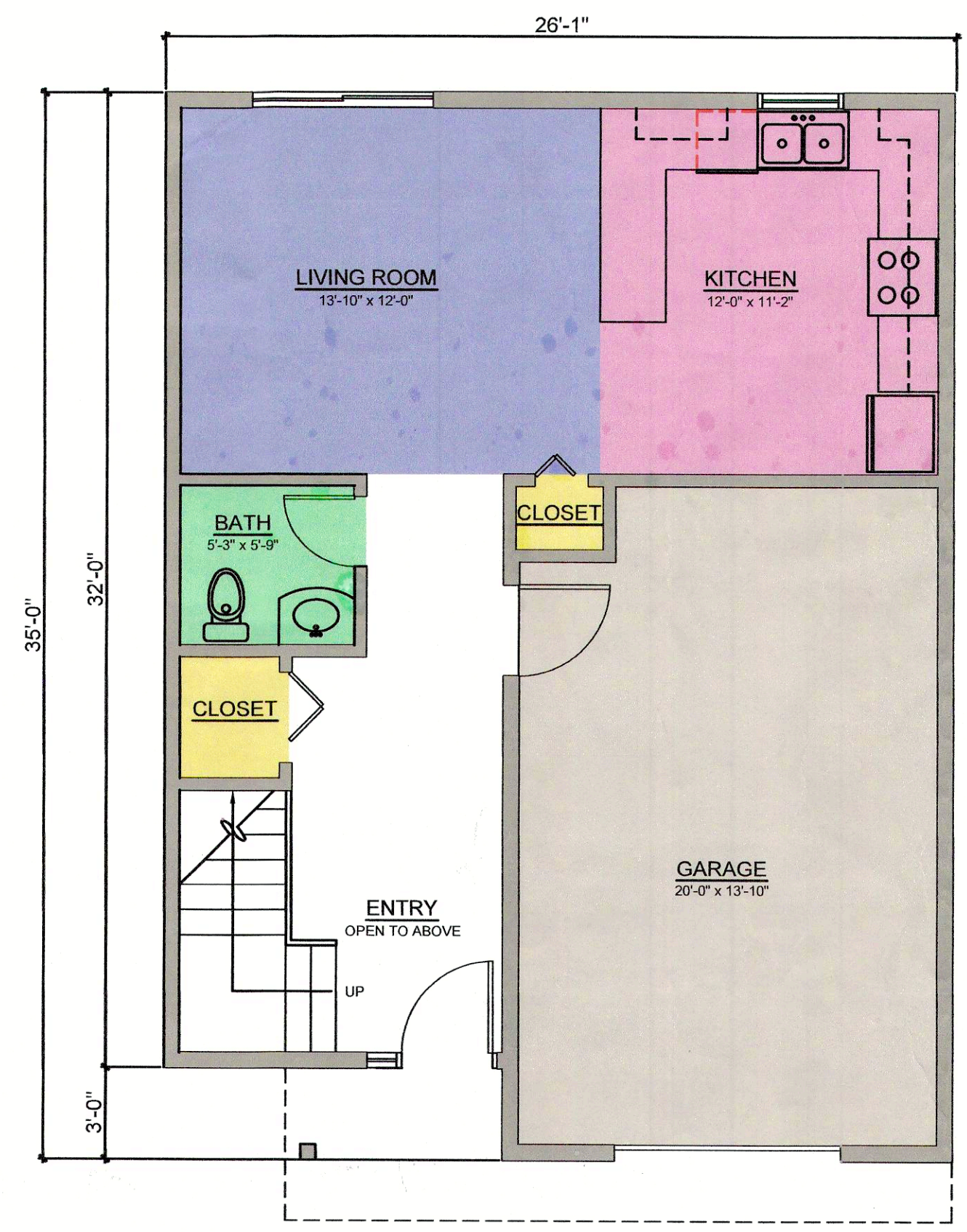
N O T E S :

1. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEERING DEPARTMENT AND COLLINS ENGINEERING GROUP AT LEAST 48 HOURS PRIOR TO REQUIRED INSPECTIONS.
2. NO FIELD MODIFICATIONS TO THE SEWAGE SYSTEM SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER AND THE TOWN ENGINEERING DEPARTMENT.
3. RESTORE (LOAM & SEED) ALL AREAS DISTURBED DURING CONSTRUCTION.
4. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ANY APPLICABLE PERMITS.
5. CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING DIG SAFE (888-DIGSAFE) AND ANY OTHER APPLICABLE UTILITY COMPANIES PRIOR TO STARTING WORK.
6. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY.
7. CONTRACTOR RESPONSIBLE FOR IMPLEMENTING ALL O.S.H.A. PROCEDURES TO INCLUDE, BUT NOT LIMITED TO CONFINED SPACE ENTRY PROCEDURES.
8. CONTRACTOR RESPONSIBLE FOR CONFIRMING LOCATION OF EXISTING SITE UTILITIES PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO RECOVER AND CONFIRM BENCHMARK PRIOR TO CONSTRUCTION.
10. FINAL TOP OF FOUNDATION ELEVATION TO BE PROVIDED BY BUILDER.
11. EASTERLY LOT LINE EROSION CONTROL SYSTEM TO BE STAKED BY ENGINEER, AND IS TO BE INSPECTED AND REPAIRED AS NEEDED.

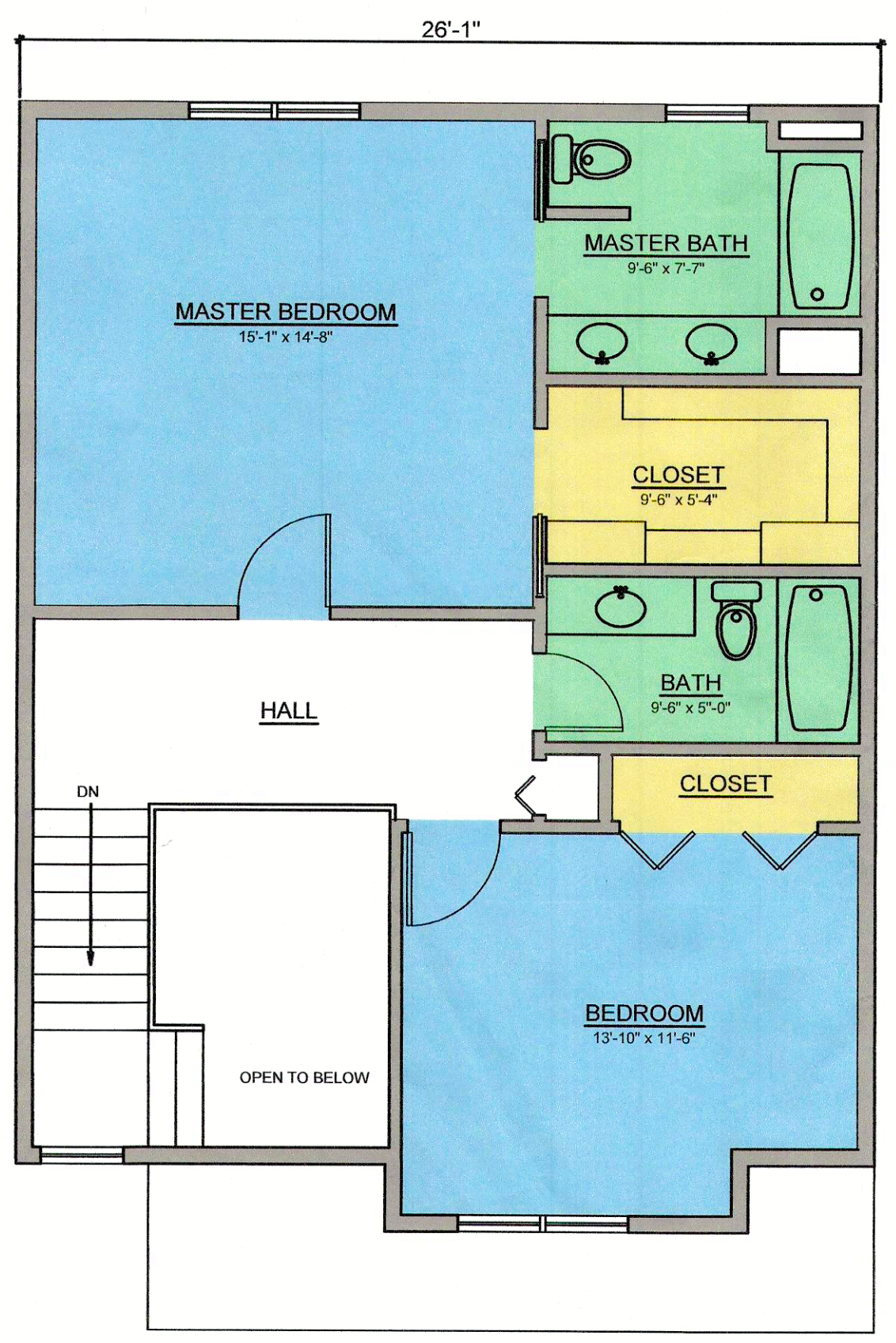


WATER SERVICE DETAIL
(NOT TO SCALE)

REV.	DATE	DESCRIPTION	BY APP.
SEWER & WATER DETAILS / SWPPP PLAN			
STATION DISTRICT RCMOD DEVELOPMENT 280-290 SOUTH STREET RANDOLPH, NORFOLK COUNTY, MASSACHUSETTS		SCALE: AS-NOTED DATE: 3-7-2025	
APPLICANT ED DALEY 5 VAN BEAL ROAD RANDOLPH, MA 02368		DRAWN BY: DJK	
		DESIGNED BY: DJK	
COLLINS CIVIL ENGINEERING GROUP, INC. CIVIL ENGINEERING - LAND SURVEY - L.S.P. SERVICES 225 SOUTH MAIN STREET, WEST BRIDGEWATER, MA 02379 TEL:508-580-2332 MOBILE: 617-347-1363 E-MAIL:GRCP@aol.com		CHECKED BY: GRC	DRAWING NO. 9 OF 9
		APPROVED BY: GRC	PROJECT NO. 24-217-550

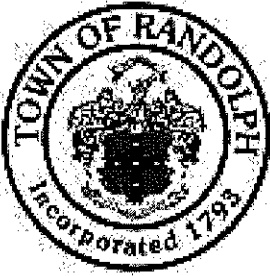


PROPOSED 2 STORY UNIT – 1ST FLOOR
Footprint 879 SF Living Space 555 SF
NTS



File Attachments for Item:

3. ZBA Decision on Memorial Parkway (Shaw's)

	Town of Randolph Office of Zoning Board of Appeals 41 South Main Street Randolph, MA 02368 Ph: 781-961-1519 Fax: 781-961-0937	Arnold Rosenthal Al Costa Sean Fontes Kevin O'Connell Chris Spears Clerk Joe Dunn
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Town of Randolph
Zoning Board of Appeals
Findings and Decision
Appeal of Building Commissioner Decision
File # ZBA 01-2025
Public Hearing February 5, 2025

2025 MAR 19 A 9 11
RECORDED

Applicant Name:	Town of Randolph Planning Board
Applicant Address:	Planning Department 2 nd Floor Town Hall Randolph, MA 02368
Property Owner Name in Appeal:	JAMP II REALTY TRUST
Property Owner Address in Appeal:	62 COMMERCIAL WHARF BOSTON, MA 02110-3878
<u>Attorney for Property Owner:</u> <u>Jonathan M. Silverstein Esq.,</u> <u>Blatman, Bobrowski, Haverty</u> <u>& Silverstein, LLC</u>	
<u>Agent Address:</u> 9 Damonmill Square, Suite 4A4, Concord, MA 01742	
<u>Property Address:</u> 19-141 Memorial Parkway Randolph, MA 02368	
<u>Assessor's Map Location for the Property:</u> 54-B-001	

<u>Date of Application to ZBA:</u>	
December 13th 2024	
Publication of Legal Notice:	
Published January 22nd/29th	
Date(s) of Public Hearing:	February 5th, 2025
Date of Vote:	February 5 th , 2025
Date of Written Decision:	March 17 th , 2025
Date Written Decision Filed With The Town Clerk:	March 19th,2025

I. **General Description:**

- A. Property Location Map /Parcel 54-B-001 / 19-141 Memorial Parkway Randolph, MA 02368
- B. 19-141 Memorial Parkway is a large commercial property at which a number of businesses, including a Shaw's grocery store operate. The current site plan consists of parking spaces which cover approximately 200,975 square feet of paved surface.

II. **The Building Commissioner Decision**

A. By letter dated November 15, 2024, an attorney for the Property Owner requested the Building Commissioner to issue a formal opinion pursuant to M.G.L. c.40A, Section 7 as to whether the proposed repair and repaving activity at 19-141 Memorial Parkway required any zoning approvals under the Town's Zoning Ordinance and particularly a site plan approval.

B. By letter dated November 27, 2024 (the "Building Commissioner Decision"), the Building Commissioner stated:

" I do not believe that Site Plan and Design Review is triggered by this project and I decline to enforce the Site Plan and Design Review provisions of the Zoning Ordinance with regard to this project. ...

I do not believe that the project, as proposed, constitutes the creation of 'additional parking' or a change in 'parking lot design.' I also do not believe that the project, as proposed, constitutes a change in color. I do not believe that the project, as proposed, constitutes an alteration, a demolition, a removal or construction affecting the architectural appearance of the site. I do not believe that the project, as proposed, constitutes a change to existing sign types and faces.

As a result, I do not believe that Site Plan and Design Review is triggered by this project and I decline to enforce the Site Plan and Design Review provisions of the Zoning Ordinance with regard to this project. ...

In summary, I decline to take the zoning enforcement actions described in your November 15, 2024 letter regarding the proposed repair and repaving activity at 19-141 Memorial Parkway in Randolph, Massachusetts.”

III. **The Planning Board Appeal**

A. Subject-ZBA# 01-2025 Planning Board Appeal to the Zoning Board of Appeals of Formal Opinion Pursuant to M.G.L. Ch. 40A, section 7 concerning 19-141 Memorial Parkway issued November 27, 2024 by Building Commissioner Ronald Lum.

B. The Planning Board requested the Zoning Board of Appeals: 1. to overturn the decision of the Building Commissioner that Site Plan and Design review is not applicable to the paving work and; 2. to determine that the project is subject to Tier 1 site plan review pursuant to Section 200-21(f) of the Town’s Zoning Ordinances.

C. The Planning Board’s appeal states: In or around October 8, 2024, the owner of the property commenced milling some portion of a 200,975sf paved surface. That work began without any permits requested from or granted by the Town. Although the Planning Director objected to the work, asserting that the work required a permit, and that Site Plan and Design Review would need to be conducted prior to issuing any permit, the Building Commissioner disagreed and permitted the work to continue. After a portion of the property had already been repaved, the property owner requested permission to mill and repave an additional section of the property and submitted an online permit request, presumably for a paving permit pursuant to Town Ordinance in § 147-8(A), but did not include any supporting documentation. The Planning Director requested additional information. Ultimately a sketch of existing conditions (with insufficient dimensional details) was provided.

The Planning Director, with consent of the Planning Board chairman, declined the permit request asserting that Site Plan and Design Review was required. An attorney on behalf of the property owner then submitted a request to the Zoning Enforcement Officer (who is also the Building Commissioner), requesting an opinion as to whether the proposed repaving activity at the property required any zoning approvals under the Town’s Zoning Ordinances, particularly Site Plan and Design Review.

The Building Commissioner determined that no Site Plan and Design review is required for this project. It is that decision **that** the Planning Board is appealing.

The Planning Board determined that the project is subject to Site Plan and Design Review pursuant to Zoning Ordinance Section 200-21 Construction Requirements. Subsection F of that section states & quote new and renovated parking areas are to be constructed with the guidelines in Article XI, Site Plan and Design Review § 200-94B(2)(f) & quote; The Board asserts that milling, grading and repaving that recently took place and is continuing to take place constitutes "e; renovation.& quote; Therefore the work completed by the applicant and the request to continue such work must be subject to Site Plan Design and review in order to ensure that the work complies with the standards set forth in section 200-94B(2)(f).

IV. **ZBA Public Hearing:**

A. After giving all notice required pursuant to applicable law, the ZBA held a public hearing on February 5, 2024 in compliance with all applicable law.

B. The following ZBA members were present and sitting at the public hearing in this matter:

- Acting Chair Alexander Costa
- Kevin O'Connell
- Barry Reckly
- Amanda George

C. In addition, individuals present in the audience at the public hearing included the following:

ZBA Clerk Joseph Dunn
 Planning Director Michelle Tyler
 Town Councilor Jim Burgess
 Planning Chair Tony Plizga
 Building Commissioner Ron Lum,

D. Individuals present at the public hearing via Zoom included the following:

Hickey,
 Attorney John Hucksam representing the Zoning Board of Appeals
 Attorney Noemi Kawamoto representing the Planning Board
 Attorney Jonathan Silverstein representing the Property Owner
 ,

V. ZBA Deliberations and Findings.

1. The distinction between renovation and repair was a concern to the Zoning Board of Appeals.
2. The State law protections for pre-existing structures were discussed by the Zoning Board of Appeals.
3. The Zoning Board of Appeals agreed with the Building Commissioner determination and found that the repaving does not constitute a renovation requiring site plan review, as it maintains the existing conditions without adding new features or changing the layout.
4. The Zoning Board of Appeals voted to uphold the Building Commissioner's decision dated November 27, 2024, confirming that site plan review plan is not applicable for the current paving project
5. The Zoning Board of Appeals voted by a vote of 3-1 to deny the Planning Board's appeal and to uphold the Building Commissioner Decision.

The roll call vote was:
Chair Alexander Costa Yes
Kevin O'Connell No
Barry Reckley Yes
Amanda George Yes

VI. APPEALS:

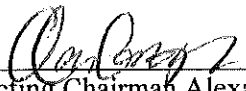
Appeals of this Decision, if any, shall be made pursuant to M.G.L. ch.40A, §17 and shall be made within twenty (20) days after the date of filing of this written decision in the office of the Town Clerk.

Note: The Appeal Process and requirements were explained to the General Public by the Attorney for the ZBA Acting Chairman, Mr. Alexander Costa, at the end of the ZBA #01-2025-2/05/2025 when inquiry occurred

VII. CERTIFICATION OF FILING:

It is hereby certified that that ZBA has complied with all statutory requirements for the issuance of any relief, variances or special permits contained in this Decision and that copies of the Decision and all plans referred to in the Decision have been filed with the Planning Board, Building Department and Town Clerk of the Town of Randolph.

ATTEST: TOWN OF RANDOLPH ZONING BOARD OF APPEALS, ACTING AS THE APPEAL, SPECIAL PERMIT GRANTING AND VARIANCE GRANTING AUTHORITY PURSUANT M.G.L. CHAPTER 40A AND BY AND UNDER THE APPLICABLE ZONING ORDINANCE FOR THE TOWN OF RANDOLPH:


Acting Chairman Alexander Costa


Clerk Joseph P Dunn

Date Filed with Town Clerk: March 19, 2025

File Attachments for Item:

1. Subdivision Status

RANDOLPH SUBDIVISION STATUS
As of 3/21/2025

Section H, Item1.

PROJECT NAME	DATE APPROVED	STREET NAME(S)	CROSS STREET LOCATION	OWNER/DEVELOPER	DATE OF ORIGINAL PERFORMANCE GUARANTEE	ORIGINAL AMOUNT	TYPE	Reductions	STATUS
<i>Cygnet Lane/Grove Ave</i>	<i>12/3/2018</i>	Cygnet Lane	Grove Avenue	Karl Wells	01/10/19 - Covenant	N/A	Covenant	06/13/23 - Release of Covenant 03/12/24 - Original Release of Covenant never recorded. PB endorsed a new Form F2 3/15/23- Form F2 Release of Covenant Recorded	9/3/24 status update, awaiting: 1.. Conveyance of Utilites
<i>Dow Street</i>		Dow St	Mitchell	Town					9/3/24 - Need as-builts
<i>Druid Hill Estates</i>	<i>6/13/1905</i>	Pett Acres Dr	East Druid Hill						
<i>Hampton Court</i>	<i>3/1/2010</i>	EJ Griffin Circle	West St (between Skyview & Sanborn)		12/04/09 - Covenant	N/A	Covenant	4/13/10 - Revised Form D executed on 06/01/20	1 lot incomplete
<i>Holbrook Gardens</i>	<i>5/21/2018</i>	Patterson Avenue (east)	Center Street	Karl Wells	09/06/18 - Surety Bond Traveler's Casualty and Surety Company #106976677	\$ 272,435.00	Surety Bond		9/3/24 status update, awaiting: 1) final road as-builts
<i>Lafayette Estates</i>	<i>3/20/2018</i>	Vine Lane Zanga Way Neary Mountain Lane	Vine Lane	Joe Marotta George Pickering	7/15/19 - Covenant endorsed 7/19/19 - Covenant recorded at Registry	N/A	Covenant		9/1/24 extended to 10/31/25
<i>Ledgeview Estates</i>	<i>12/16/2003</i>	E.G. Schaner Circle	Mark Terrace	Kevin Saccone 781-551-0209 (RKS Realty LLC)	10/11/06 - Cove	N/A	Covenant (Form D)	N/A	Scheduled for public hearing to rescind on 10/8

RANDOLPH SUBDIVISION STATUS
As of 3/21/2025

Section H, Item1.

PROJECT NAME	DATE APPROVED	STREET NAME(S)	CROSS STREET LOCATION	OWNER/DEVELOPER	DATE OF ORIGINAL PERFORMANCE GUARANTEE	ORIGINAL AMOUNT	TYPE	Reductions	STATUS
<i>Ledgewood Estates</i>	<i>1/19/2005</i>	JA McDermott Circle	Marie Way	Alan Paine	01/17/05 - Cash Surety Bank of Canton book 815997	\$ 50,452.00	Cash Surety	11/29/2013 - released \$29,850 plus accrued interest Balance held - \$20,602 until project completion	As of 6/20/22 status update, awaiting: 1. grading of Lots 2 & 3 2. hoping to complete project by Spring of 2023 9/4/24 - Per Treasurer/Collector - bankbook must be updated as co-signer is no longer a town employee. Ellie is working on resolutions.
<i>Maplewood Estates</i>	<i>11/4/2005</i>	Arredondo Circle	Marion Street	Joe Marotta	03/13/06 - Cove	N/A	Covenant (Form D)		As of 6/7/22 status update request, awaiting: 1. conveyance of utilities 2. request for completion 3. release of covenant
<i>Mary Lee Estates</i>	<i>12/11/2006</i>	SJ Skeen Circle	South Main Street	John Greene	08/27/14	\$ 63,420.00	Cash Surety	01/5/16 - PB Released \$49,670 plus interest 09/17/18 - PB voted to release remaining balance of \$13,750	As of 2/20/22 status update request, awaiting: 1. as-builts
<i>Mill Court</i>		N/A	Mill Street						In appeal
<i>Morton Road Extension</i>	<i>7/24/2000</i>	Morton	Morton Road	Bob Schoepplein Marsha Baxter	7/24/2000 - \$11,330 Cash Surety 7/25/2000 - Received passbook #01 00080314 Randolph Savings (now Abington Bank)	\$ 11,330.00	Cash Surety	07/25/2000- received passbook 11/14/23 - PB voted to release remaining cash surety balance (some of the funds had already been withdrawn by Baxter) 9/4/24 - account active with balance to be refunded	Incomplete: Road Construction, Water loop but no documents in PB archived files with reference to the specific work to be completed.
<i>Perry Estates</i>	<i>Mod</i>	Toby Lane	297 Chestnut	Mike Perry	Covenant				
<i>Powers Drive Subdivision</i>	<i>1980</i>	Powers Drive	Collins Ave	Dean Guo					8/17/24 letter sent to current owner by certified mail. No response rec'd. Green card returned unclaimed

RANDOLPH SUBDIVISION STATUS
As of 3/21/2025

Section H, Item1.

PROJECT NAME	DATE APPROVED	STREET NAME(S)	CROSS STREET LOCATION	OWNER/DEVELOPER	DATE OF ORIGINAL PERFORMANCE GUARANTEE	ORIGINAL AMOUNT	TYPE	Reductions	STATUS
<i>Prospect Hill Estates</i>	<i>1/19/1998</i>	Prospect Avenue	Extension of Prospect Avenue	Mike Kmito	01/14/98	\$ 4,437.13	Cash (account is dormant)	Beginning - \$17,000 Reduction June 1999 (\$7,900.00) Reduction ____ (\$6,005.00) Bal \$3,095 (not incl accrued intr.)	As of 9/3/24 status update, awaiting: 1. final as-builts (2 Mylar) 9/4/24 per Treasurer/Collector, the account is dormant and turned over to the State. The Town has no access to the funds
<i>Richard Estates</i>	<i>12/17/2013</i>	Richard Road	extension of Richard Road	Mike Kmito	07/20/15 Covenant (Form D)	N/A	Covenant (Form D)		As of 6/7/2022 - outstanding items include: 1. conveyance of utilities 2. bounds 3. final as-builts
<i>Spring Estates</i>	<i>8/7/1989</i>	Kelli Road	Alward Drive	Mike Kmito	Covenant (no date)	N/A	Covenant		As of 9/3/24 status update, outstanding items include:

PROJECT NAME	DATE APPROVED	STREET NAME(S)	CROSS STREET LOCATION	OWNER/DEVELOPER
<i>Country Way Lane</i>	<i>8/29/2005</i>	Country Way Lane	West Street	Mike Kmito

DATE OF ORIGINAL PERFORMANCE GUARANTEE	ORIGINAL AMOUNT	TYPE	Reductions	STATUS	Last Correspon dence
11/21/17 - Cash Surety	\$ 29,074.00	Cash Sure	No Reductions found in file		

File Attachments for Item:

2. 34 Scanlon - Yankee Bus - Topping

Beam Topping at 34 Scanlon – Yankee Bus
March 20, 2025



