

PLANNING BOARD MEETING

Tuesday, May 27, 2025 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

AGENDA

Pursuant to the temporary provisions pertaining to the Open Meeting Law, public bodies may continue holding meetings remotely without a quorum of the public body physically present at a meeting location. The public is invited to participate in the meeting in person, via telephone or computer.

A. Call to Order - Roll Call

B. Chairperson Comments

C. Approval of Minutes

1. Minutes of 4/22/2025

D. Public Speaks

E. Public Hearings

1. Council Order 2025-015: Request for the Town Council to Initiate An Amendment to the Randolph Zoning Ordinance - Chapter 200 of the General Code of the Town of Randolph - Concerning Scientific or Research Laboratories

2. 6:30 pm - Special Permit Continuation - North Street Proposed Two-Family

F. New Business

1. ANR - Gold Street

G. Staff Report

259 Allen
Scanlon Drive and High Street
21 Randolph Road
647 North Main Street

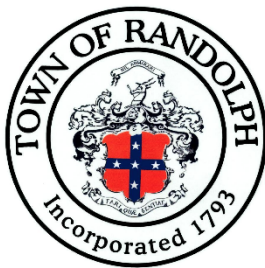
H. Board Comments

I. Adjournment

Upcoming Meeting Dates
6/10 & 6/24
7/8 & 7/22

File Attachments for Item:

1. Minutes of 4/22/2025



PLANNING BOARD MEETING

Tuesday, April 22, 2025 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

MINUTES

Pursuant to the temporary provisions pertaining to the Open Meeting Law, public bodies may continue holding meetings remotely without a quorum of the public body physically present at a meeting location until March 31, 2025. The public is invited to participate in the meeting in person, via telephone or computer.

A. Call to Order - Roll Call

Called to order at 6:06pm by Chairman Plizga.

PRESENT

Alexandra Alexopoulos
Araba Adjei-Koranteng
Tony Plizga
Peter Taveira
Lou Sahlu - joined at 6:09 pm

B. Chairperson Comments

None

C. Approval of Minutes

1. Minutes of 3/25/2025

The Board approved the meeting minutes of March 25, 2025, as presented.

Motion made by Plizga, Seconded by Alexopoulos to approve the meeting minutes of March 25, 2025, as presented.

Voting Yea: Alexopoulos, Adjei-Koranteng, Plizga, Taveira

2. Minutes of 4/8/2025

The Board approved the meeting minutes of April 8, 2025, as presented.

Motion made by Plizga, Seconded by Adjei-Koranteng to approve the meeting minutes of April 8, 2025, as presented.

Voting Yea: Adjei-Koranteng, Plizga, Taveira

Voting Abstaining: Alexopoulos

D. Public Speaks

None

E. Public Hearings

1. 6:15pm - Special Permit Continuation - North Street Proposed Two Family

Chairman Plizga reviewed the meeting format and procedure for the Public Hearing. Member Adjei-Koranteng read the Public Meeting Notice into the record, which was published in the Patriot Ledger on April 1 and April 8, 2025. Chairman Plizga asked the Planning Director Michelle Tyler to provide the Board with a brief overview. Mrs. Tyler stated that the Board received an application for a special permit to construct a 2-family home on North Street. Also received were the fee, land survey, and building elevations as well as the certified abutters list from the Towns of Randolph and Braintree Assessors' offices. The certified abutter's notices were mailed via the USPS on March 27, 2025. The lot meets the criteria for a 2-family for lot frontage and total lot square footage.

The owner/applicant Andrew Kazakis was represented by his Attorney Kevin Reilly. Attorney Reilly presented the Board with a letter of authorization to speak on his client's behalf. Attorney Reilly stated that the applicant proposes a 40'x32' dwelling fully compliant with area and dimensional requirements of the Zoning Ordinance. The proposed driveway will come into the property as one and split into separate parking areas for each unit. As the Zoning Ordinance requires, there are existing two-family dwellings in proximity to the subject property. It immediately abuts a large condominium complex in the Town of Braintree.

Attorney Reilly provided the Board with a narrative statement that he read into the record for the Board (on file as "Supplement to Application").

Chairman Plizga opened the meeting up to Public Comments, after providing brief instructions related to the format of the meeting. Larry Adwin, the manager for Reservoir Crossing Condominiums was present and stated that the residents in Building One are concerned about their view. They want to ensure that the property is taken care of and upkept. They would like to see a natural barrier go up along the property line. Mr. Adwin stated that they are also concerned about the property use - that it remains a residential use. Mr. Adwin referred to other nearby properties in Randolph being used for doggie daycare, which has caused some turmoil due to the noise, and another property being used as retail space that was slated for a construction company.

As the property manager, Mr. Adwin has concerns about the drainage from the property particularly about the slope that runs toward the property allowing water to run behind the structural wall along the property line.

Paul Murphy, the head trustee at 614 Pond Street in Braintree (Reservoir Crossing Condominium Complex), was present with the same concerns as Larry Adwin.

Chairman Plizga closed the Public Comments portion of the meeting since there were no further questions from the audience or online. Chairman Plizga felt that the concerns about the view could go either way with residents of the two-family having the same

concerns about residents from Reservoir Crossing looking in backyard. Chairman Plizga also stated there is a fence separating the properties. Regarding the property use; Chairman Plizga stated that it is residential. Mrs. Tyler advised that the use could only change if the zoning was changed, which would trigger another public hearing. In terms of drainage, the amount of area to be disturbed on the property did not meet the criteria for a stormwater permit. Regarding the lot clearing; Chairman Plizga stated that the trees out back were left untouched and the clearing out front was mostly scrub material. Chairman Plizga isn't sure how that impacts the drainage. Chairman Plizga asked Attorney Reilly what assurances will be made in terms of drainage. Attorney Reilly stated that a formal drainage plan will be submitted to hopefully allay those fears. They would possibly be willing to put in a few plantings to address the screening concerns. Chairman Plizga stated that related to the noise; he feels the residents in the two-family would likely be less noisy than the adjacent poolside at Reservoir Crossing.

Chairman Plizga asked Mrs. Tyler if she had any further comments. Mrs. Tyler stated that she asked the applicant for additional plan pages for drainage and utilities as well as an updated zoning table that were not ready for the meeting.

Chairman Plizga asked the Board if they had any comments or questions. Member Adjei-Koranteng asked about the driveway turnaround. Attorney Reilly explained that the car could back into the base of the "U-shaped or wishbone" parking configuration to pull straight out onto North Street. Chairman Plizga requested driveway measurements on the plan. There was a brief discussion about the sidewalk. Member Alexopoulos noticed that the abutting property's driveway was encroaching on the lot. Attorney Reilly stated that the applicant owns both properties but it could be rectified later with an easement. Member Taveira asked about a bus stop that was once in front of the property and if it would impact the driveway. Mrs. Tyler stated she would have information on the bus stop for the next meeting. Member Alexopoulos is concerned about the grading/slope towards the fence and the adjacent property. Chairman Plizga stated they would look at the grading plan at the next meeting.

Chairman Plizga read the Board a list of considerations for when they are ready to make a motion at a later meeting:

1. That the proposed use is in harmony with the general purpose intent of the Town's Ordinances.

Chairman Plizga stated it meets the requirements.

Member Adjei-Koranteng inquired about the zoning. Mrs. Tyler responded that the zoning is *Residential Single-Family High Density* with a very small, narrow portion of the lot at the rear zoned *Industrial*.

2. That the proposed use is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district.

Chairman Plizga stated with the variety of property types in the area this condition has been met.

3. Adequate and appropriate facilities will be provided for the proper operation of the proposed site.

Chairman Plizga feels this condition has been met.

4. That the proposed use would not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse materials or other visual nuisances.

Chairman Plizga feels this condition has been met.

5. The proposed use would not cause undue traffic or congestion in the immediate area.

Chairman Plizga feels that it would not make an impact on traffic.

Chairman Plizga asked the Board if they had any further questions. Member Adjei-Koranteng asked for the project completion timeframe. Mrs. Tyler stated that they are given 2-years for completion. Attorney Reilly stated the owner plans to move quickly.

Motion made by Plizga, Seconded by Alexopoulos to continue the public hearing for North Street the 2-family residence to May 13, 2025 at 6:15pm.

Voting Yea: Alexopoulos, Adjei-Koranteng, Plizga, Taveira, Sahlu

Mrs. Tyler stated that there was an individual (Lyndon Kim) on Zoom with their hand raised that would need to reach out to her directly with questions, as the Public Comment portion of the public hearing and meeting was closed.

Chairman Plizga agreed to let Lyndon Kim of Reservoir Crossing, Unit 2414, speak. Mr. Kim felt the lot was cleared prematurely and that the project would devalue his property. Mr. Kim was worried about privacy and noise and disagreed with Chairman Plizga's argument that those issues work both ways. Mr. Kim stated the property sits higher so privacy is more of an issue for the condos. Mr. Kim stated the condo complex was there first and adding these two units would lead to the devaluation of hundreds of units.

Chairman Plizga responded to Mr. Kim's concerns. Regarding trees; Chairman Plizga stated that any property owner in Randolph can cut down trees on their property whether they are building on it or not. Chairman Plizga stated that this property has been zoned residential likely since before the condominium complex was built and feels which project came first is irrelevant. The property owner has a right to build and develop that property.

Larry Adwin asked for a copy of the drainage plan. Mrs. Tyler stated she would email it to Mr. Adwin when it came in.

The hearing was continued to May 13, 2025 at 6:15pm.

F. Old/Unfinished Business

None

Active Subdivision Review

Subdivisions Status

Mrs. Tyler has been reviewing the files for incomplete subdivisions. Notes will go out to developers requesting status updates for projects that are incomplete.

Active Project Review

Daycare - 647 North Main Street

The Planning Director is still monitoring the final work to be completed related to the traffic signal and the punch list items. The curbing at Orchard Street, curbing, lining and striping, landscaping and a dumpster enclosure. Their sign permit has been approved. Member Alexopoulos asked Mrs. Tyler to check the intervals for the crosswalk signal. The light seems to be triggering without pedestrian activity and it is causing a back up to the corner of N. Main, Chestnut and Oak Street. Mrs. Tyler will check with MassDOT.

MBTA Zoning

The State promulgated final regulations for MBTA Zoning on April 11, 2025. The language has been reviewed by the Town Attorney. They will be taking a second look to ensure there are no changes needed to our MBTA Zoning Ordinance.

Mrs. Tyler advised the Board of a potential MBTA development anticipated for the end of May consisting of duplex units. Mrs. Tyler stated they are pretty far along with their concept. Chairman Plizga stated they are welcome to come before the Board for a preliminary review.

21 Randolph Road Signage

The applicant submitted a sign application. They will be putting in a monument sign at the corner of Randolph Road and North Street that will indicate all of the tenants on Randolph Road. Mrs. Tyler stated that the "Boxing" sign would come down which was never permitted. There will be an additional tenant sign at 11 Randolph Road.

Upcoming Projects

32 Wilmarth Road

Mrs. Tyler anticipates the owner will be back before the Board, informally to review some sketches. They did an ANR a few years ago (from 31 and 35 Wilmarth) which left a buildable lot and a non-buildable lot due to frontage. The owner is seeking solutions to make the lot buildable. Mrs. Tyler also noted that Mary Lee Brook runs through the property.

EV Stations 84 Mazzeo Drive (Popeyes)

Updated plans have been received for the proposed EV Charging Stations behind Popeyes that will come before the Board for a site plan review.

H. Board Comments

Member Adjei Koranteng stated that there is a street light missing at the Bank of America intersection. Mrs. Tyler stated that it was actually a traffic light that would be addressed by DPW.

Chairman Plizga stated that Taj Estates apartment complex is now known as the Meridian. The commercial business will be going in with approved signage. Meridian has not made a sign request yet.

I. Adjournment

Notification of Upcoming Meeting Dates

May 27, 2025

June 10, 2025

June 24, 2025

July 8, 2025

July 22, 2025

Adjourned at 6:57pm.

Motion made by Adjei-Koranteng, Seconded by Taveira to adjourn the meeting.
Voting Yea: Alexopoulos, Adjei-Koranteng, Plizga, Taveira, Sahlu

File Attachments for Item:

1. Council Order 2025-015: Request for the Town Council to Initiate An Amendment to the Randolph Zoning Ordinance - Chapter 200 of the General Code of the Town of Randolph - Concerning Scientific or Research Laboratories

ORDINANCE AMEND-
MENT
LEGAL NOTICE

The Randolph Planning Board will hold a public hearing on Tuesday, May 27 at 6:15pm to consider to consider an amendment to the Randolph Zoning Ordinance concerning Scientific or Research Laboratories. The proposed language may be viewed at the office of the Town Clerk during regular business hours. Interested parties may participate in person at Randolph Town Hall, 41 S Main St, Randolph, MA 02368 in the Washington Room or virtually via ZOOM. The link to join the meeting is on the Town of Randolph calendar.

#11251471
PL 5/6, 5/13/25

**Request for the Town Council to Initiate An Amendment to
the Randolph Zoning Ordinance – Chapter 200 of the
General Code of the Town of Randolph – Concerning
Scientific or Research Laboratories**

That the Town Council of the Town of Randolph hereby initiates an amendment to the Randolph Zoning Ordinance, Chapter 200 of the General Code of the Town of Randolph, concerning scientific or research laboratories, pursuant to M.G.L. ch. 40A, Section 5, and hereby amends the Zoning Ordinance as follows:

1. Amend §200-3 Word usage; definitions. to add (additions are identified as **bold/italics**, deletions are identified as ~~strike-throughs~~):

RENEWABLE OR ALTERNATIVE ENERGY

The following renewable or alternative energy generation activities, products, or technologies: solar (both photovoltaic (PV) and thermal); wind; biomass power conversion or thermal technologies, wood pellets; ultra-low emissions high efficiency wood pellet boilers and furnaces; low impact hydro (electric or kinetic); ocean thermal, wave or tidal; geothermal; landfill gas; fuel cells that use renewable energy; advanced bio-fuels; combined heat and power; electric and hydrogen powered vehicles and associated technologies including advanced batteries and recharging stations.

SCIENTIFIC OR RESEARCH LABORATORY

The analysis, testing, and development of products, or services predominantly for scientific research operations. May include biotechnology, pharmaceuticals, medical equipment, communication and information technology, electronics, computer hardware, renewable or alternative energy, and their substantial equivalents. Ancillary development of mock-ups and prototypes is permitted so long as the total floor area devoted to their fabrication or assembly is limited to no more than twenty-five percent (25%) to the gross floor area occupied by the use. Does not include activities involved in fabricating, assembling, warehousing, or sale of products for the retail or wholesale market.

2. Amend §200-16.2 Expedited Permitting as follows (additions are identified as **bold/italics**, deletions are identified as ~~strike-throughs~~):

C. In zoning districts where Scientific or Research Laboratory is allowed as of right, if a proposal for a Renewable or Alternative Energy facility is submitted, all local permitting decisions (i.e., formal determinations, orders of conditions, licenses, certificates, authorizations, registrations, plan approvals, or other approvals or determinations with respect to the use, development or redevelopment of land, buildings, or structures required by any issuing authority) will be issued within one year of submission of a completed application. The prescribed timeline will be suspended if it is determined that:

***An application is incomplete;
An application contains false or misleading information; and/or,
Substantial changes to the project affect the information on the permit application(s)
since the original submission.***

3. Amend Chapter 200 Zoning Attachment 1 – Table of Allowable Activity as follows (additions are identified as ***bold/italics***, deletions are identified as ~~strike-throughs~~):

Town of Randolph

Table of Allowable Activity

| | CSBD | NRBD | WCBD | GPCCOD | BRHD | GBHD | BD | BP | OSBD | ID | RSHDD | RSMDD | RMFD | R2FD | RMF55+D | SFD |
|--|------|------|-------------------|--------|------|------|------|----|------|----|-------|-------|------|------|---------|-----|
| Scientific or research laboratories (less than 25,000 sq) | SPPB | SPPB | Y SPPB | Y | Y | Y | SPPB | N | N | Y | N | N | N | N | N | N |
| Scientific or research laboratories (all) | N | N | N | Y | Y | Y | N | N | N | Y | N | N | N | N | N | N |



STAFF REPORT

Order: 2025-15

Proposed by: Town Manager Brian Howard

Introduced by: Town Council President Christos Alexopoulos

Date referred: April 14, 2025

PETITION

To amend the Randolph Zoning Ordinance, Chapter 200 of the General Code of the Town of Randolph, concerning scientific or research laboratories, pursuant to M.G.L. ch. 40A, Section 5.

BACKGROUND

The Town of Randolph is moving forward with efforts to become a Massachusetts Green Community, as have 298 other cities and towns to date. Becoming a Green Community will help the Town become more energy efficient, reduce dependency upon fossil fuels, improve indoor air quality, and save on energy bills, among other benefits. Significantly, Randolph will immediately receive a grant of approximately \$230,000 based upon the State's formula towards implementation of the Town's energy efficiency goals. The Town will also become eligible to receive additional competitive energy efficiency and other grant funds. Some communities have successfully competed for \$1+ million in grant funds over time.

The State has established five criteria to becoming a Green Community. These include:

1. Adopt as-of-right siting for clean energy generation, research and design, or manufacturing;
2. Adopt expedited permitting process for the clean energy uses;
3. Create an Energy Reduction Plan to reduce energy use by 20% in 5 years;
4. Adopt Fuel Efficient Vehicle Purchase Policy; and,
5. Adopt the State's Energy Stretch Code.

The proposed ordinance under consideration by the Planning Board addresses Criterion #1 and #2 above.

Criterion #1

The proposed ordinance will add two new definitions to the zoning ordinance – "Renewable or Alternative Energy" and "Scientific or Research Laboratory". At present, the zoning ordinance references Scientific or Research Laboratory in the use table and elsewhere, but does not provide a definition.

The table of uses is proposed to be amended to distinguish between Scientific or Research Laboratories that are less than 25,000 sf in size and those that are 25,000 sf in size or greater. Per the Green Community requirements, Randolph must show “that a combination of available land for new construction and existing available vacant space in existing buildings can accommodate a facility or facilities of 50,000 square feet or larger in the aggregate” by-right.

To comply with the State requirements, but to also appropriately site a use of this size, it is proposed that the Scientific or Research Laboratory greater than 25,000 sf be allowed by right in the Industrial (ID), Blue Hill River Highway District (BRHD), Great Bear Swamp Highway District (GBHD), and Great Pond Commercial Overlay District (GPCCOD) zoning districts. All of these districts are intended for large scale commercial and industrial uses. Laboratories that are smaller than 25,000 sf would also be allowed by right in these districts. Site plan approval will still be required within these districts.

In addition to the by-right districts, smaller scale Scientific or Research Laboratories would be allowed with a special permit reviewed by the Planning Board in the Crawford Square Business District (CSBD), North Randolph Business District (NRBD), West Corners Business District (WCBD), and Business District (BD). The special permit requirement will allow the Planning Board to provide greater oversight to proposals in these areas.

Criterion #2

Under Criterion #2, the State requires that any application for a Scientific or Research Laboratory for clean energy research and design be acted upon within one calendar year of submission of a complete application. Language has been proposed to establish the one-year timeline in the zoning section that currently relates to expedited permitting for priority development sites. A new subsection C will be added for these clean energy uses.

STAFF DISCUSSION

Becoming a Green Community will provide multiple benefits to the Town of Randolph including access to significant grant funds that can improve town and school buildings. The proposed revisions to the Zoning Ordinance are narrowly written to comply with the State requirements. The Massachusetts Department of Energy (DOE) has reviewed the draft ordinance and provided verbal confirmation that the proposal is consistent with their requirements.

STAFF RECOMMENDATION

I recommend that the ordinance be adopted.

File Attachments for Item:

2. 6:30 pm - Special Permit Continuation - North Street Proposed Two-Family

NORTH ST LEGAL NOTICE

The Randolph Planning Board will hold a public hearing on Tuesday, April 22 at 6:15pm to consider a request for a special permit from Andrew and Lisa Kazakis to construct a two family dwelling at Randolph Assessor's parcel 16-K-012 located on North St. The proposed plans may be viewed at the office of the Town Clerk during regular business hours. Interested parties may participate in person at Randolph Town Hall, 41 S Main St, Randolph, MA 02368 in the Washington Room or virtually via ZOOM. The link to join the meeting is on the Town of Randolph calendar.

#11142508
PL 4/1, 4/8/25

APPLICATION FOR SPECIAL PERMIT ~ AND/OR ~ SITE PLAN & DESIGN REVIEW

| | | | | | | |
|--|---|-------------------------------------|----------------------------------|--|--|--|
| Project Type | <input type="radio"/> Tier 1 Review (administrative) <input type="radio"/> Tier 2 Review <input type="radio"/> Tier 3 Site Plan/Design Review | | | <input type="radio"/> In-Law Apartment <input checked="" type="radio"/> Two-Family Dwelling <input type="radio"/> Special Permit | | |
| Assessor Parcel ID <i>map-block-parcel</i> | 16-K Lot 12 | Norfolk County Registry of Deeds | Book & Page or Land Court Cert # | | | |
| Parcel Address | North St | | | | | |
| Current Use | Vacant Lot | | | | | |
| Zoning District | Res High density | Size of Parcel | 26,657 | | | |
| Project Description | Construct new two family dwelling (Duplex). | | | | | |
| Other permits or approvals may be required | Are there wetlands on the parcel or within 200 feet of the construction? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <i>If yes – the project may require review by the Conservation Commission</i> | | | | | |
| | Is land disturbance > 5,000 square feet? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <i>If yes – file a stormwater permit with DPW</i> | | | | | |
| | Does the proposed use increase pollutant loads? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <i>If yes – file a stormwater permit with DPW</i> | | | | | |
| | Is structure > 100 years old? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <i>If yes – file with the Historic Commission</i> | | | | | |

| | | | | | | |
|-------------------------|--|--------------|-----------------------|----|------------|-------|
| Applicant Name | Andrew Kazakis | | | | | |
| Contact person | Andrew Kazakis | | | | | |
| Applicant Status | <input checked="" type="radio"/> Owner <input type="radio"/> Tenant <input type="radio"/> Licensee <input type="radio"/> Buyer <input type="radio"/> Other _____ | | | | | |
| Address | 105 Saint Claire st | | | | | |
| | CITY | Braintree | STATE | Ma | ZIP | 02184 |
| Phone | 6172013407 | Email | Andrewkaz84@yahoo.com | | | |

If property owner is not the Applicant, authorization from the owner is required

| | | | | | | |
|-----------------------|---------------------|--------------|---------------------|----|------------|-------|
| Surveyor | Hoyt Land Surveying | | | | | |
| Contact person | Peter Hoyt | | | | | |
| Address | 1287 Washington st | | | | | |
| | CITY | Weymouth | STATE | MA | ZIP | 02189 |
| Phone | 7816829192 | Email | hoytlls@comcast.net | | | |


| | | | | | |
|-----------------------|-------------|--------------|--------------|--|------------|
| Engineer | | | | | |
| Contact person | | | | | |
| Address | | | | | |
| | CITY | | STATE | | ZIP |
| Phone | | Email | | | |

| | | | | | |
|-----------------------|-----------------------|--------------|-----------------------|----|------------------|
| Property Owner | Andrew & Lisa Kazakis | | | | |
| Address | 105 Saint claire st | | | | |
| | CITY | Braintree | STATE | Ma | ZIP 02184 |
| Phone | 6172013407 | Email | andrewkaz84@yahoo.com | | |

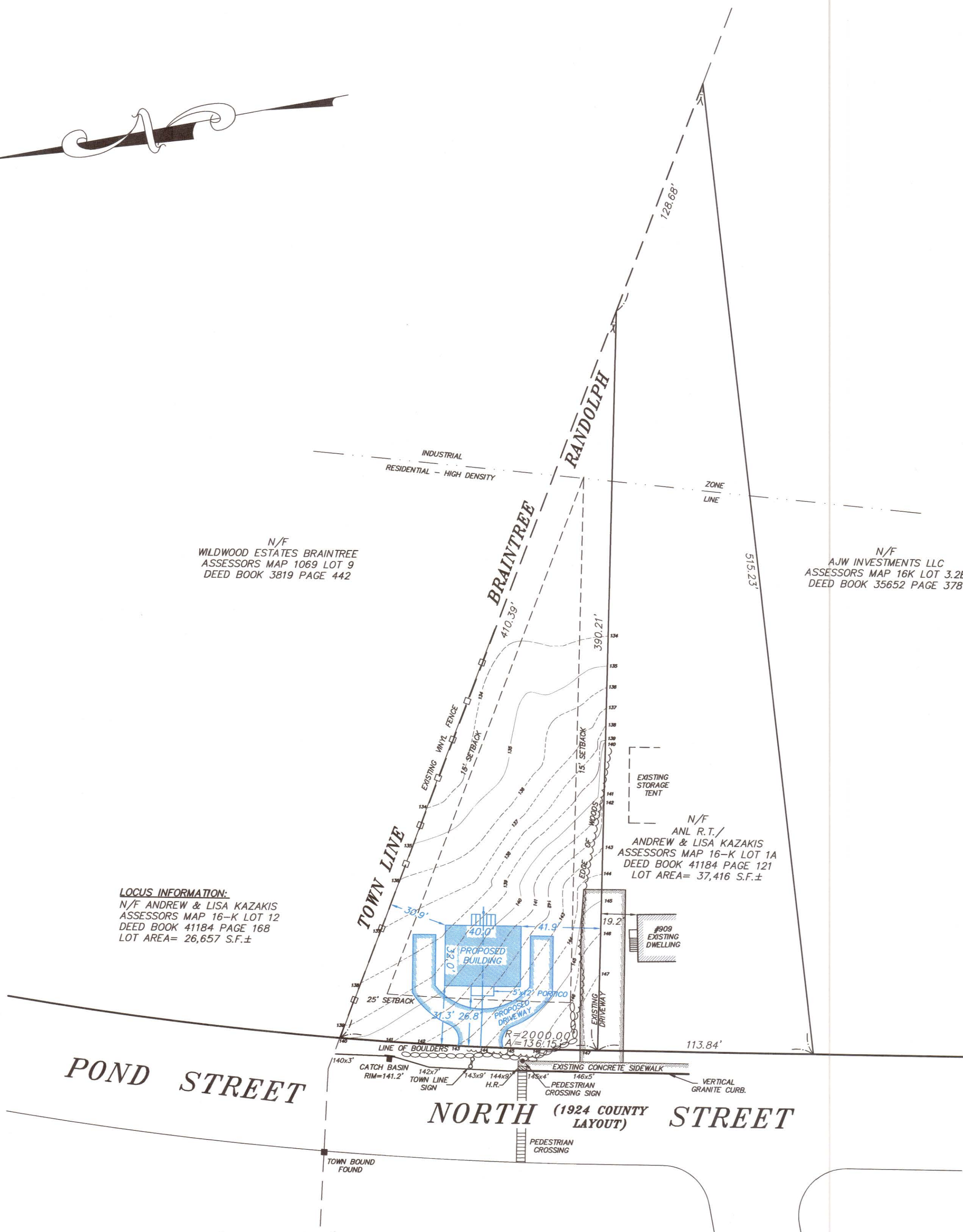
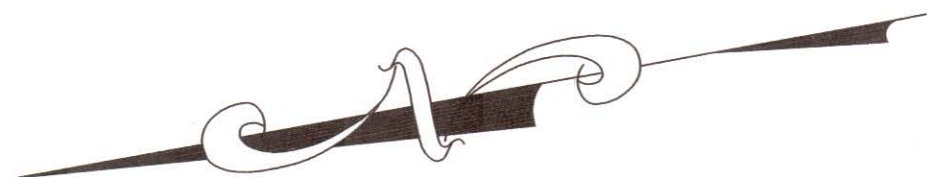
For any application for a **Special Permit**, the applicant shall submit additional documentation to support:

- That the proposed use is in harmony with the general purpose and intent of the Town's ordinances;
- That the proposed use is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district;
- Adequate and appropriate facilities will be provided for the proper operation of the proposed use;
- That the proposed use would not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse materials or other visual nuisances;
- That the proposed use would not cause undue traffic congestion in the immediate area.

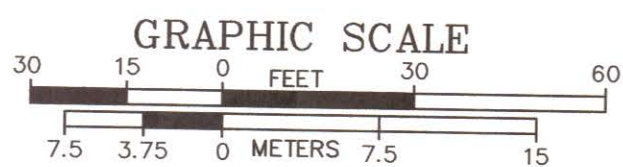
I hereby certify, under the pains and penalties of perjury, that the information contained in this application is true, accurate and complete to the best of my knowledge and belief. I agree to abide by the Randolph Zoning Ordinances and complete construction of the project in accordance with said rules and any conditions of the Planning Board.


Applicant Signature

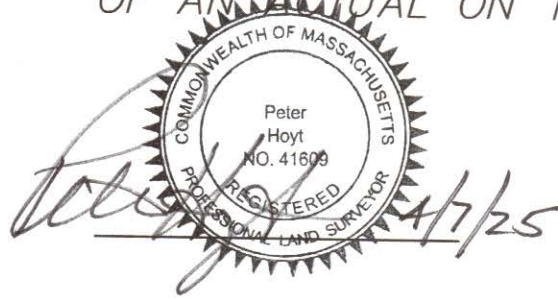
3/13/25
Date



NOTES:
-EXISTING ELEVATIONS 1988 NAVD DATUM.
-(140x3) DENOTES EXISTING SPOT ELEVATION.



I CERTIFY THAT THIS PLAN IS THE RESULT
OF AN ACTUAL ON THE GROUND SURVEY.



PETER G. HOYT PLS

| DIMENSIONAL REQUIREMENTS RESIDENTIAL SINGLE FAMILY HIGH DENSITY | | | |
|--|--------|----------|----------|
| SECTION VII, TABLE II | RB | EXISTING | PROPOSED |
| MIN LOT AREA SQ. FT. | 12,000 | 26,657 | 26,657 |
| MIN LOT FRONT LIN. FT. | 100 | 136.15 | 136.15 |
| MIN LOT WIDTH | 75 | 136.15 | 136.15 |
| MIN LOT DEPTH LIN. FT. | 100 | 390.21 | 390.21 |
| MIN SETBACKS | | | |
| FRONT | 25 | | 27.6 |
| SIDE | 15 | | 32.2 |
| REAR | 15 | | 332.5 |
| MAX FRONT SETBACK | N/A | | |
| MAX BUILDING HEIGHT FEET (LIN. FT.) | 40 | | 30.1 |
| STORIES | 2 1/2 | | |
| MAX BUILDING COVER. | 20% | | 4.4% |
| MAX LOT COVER. | 25% | | 7.6% |
| MIN OPEN SPACE | 75% | | 92.4% |
| MAX FLOOR AREA RATIO | | | |

| | | | | | | | | | | | |
|----|------|-----------|---------|------------|------------------------------------|------------------------|---|-------------|---|------------|----------|
| NO | DATE | REVISIONS | MADE BY | CHECKED BY | PROJECT TITLE: | SHEET TITLE: | HOYT LAND SURVEYING, INC. 1287 WASHINGTON STREET WEYMOUTH, MASSACHUSETTS 02189 TEL: 781-682-9192 | | 1 | | |
| | | | | | 909 NORTH STREET, RANDOLPH, MA. | PROPOSED BUILDING PLAN | | | | | |
| | | | | | FILE NO. | PROJECT NO. | SCALE 1"=30' | APPROVED BY | | CHECKED BY | DRAWN BY |

ANDREW KAZAKIS
NORTH ST.
RANDOLPH MA 02368

THESE DRAWINGS ARE FOR
PERMIT AND GENERAL
CONSTRUCTION USE ONLY.

ALL ENGINEERED LUMBER, LOAD
CALCS ETC. IS THE
RESPONSIBILITY OF THE GENERAL
CONTRACTOR. ANY AND ALL
STRUCTURAL AND ARCHITECTURAL
ENGINEERING REQUIRED IS BY THE
CONTRACTOR.

ANY ERRORS OR OMISSIONS ON
THESE DRAWINGS ARE NOT THE
RESPONSIBILITY OF THE
PREPARER. PREPARED BY TOM
FERRONE, CSL 087743,
774-254-6034

REQUIRED INSULATION:
CEILINGS R. 49

WALLS R. 21

FLOORS R. 30

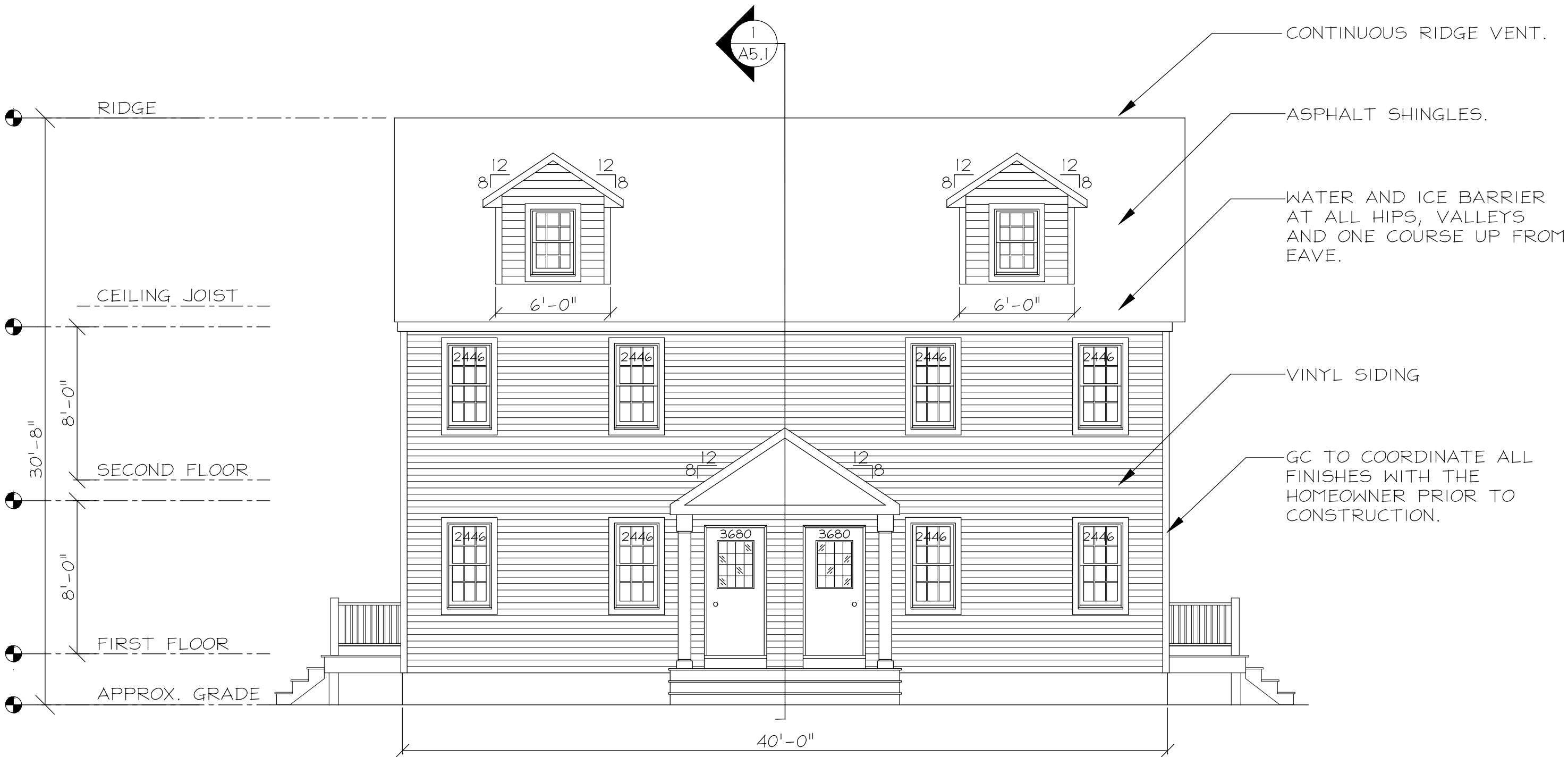
SQUARE FEET PER UNIT:
1ST FLOOR - 640 FT₂
2ND FLOOR - 640 FT₂
TOTAL - 1,280 FT₂

- LEGEND:
- A1.1 FRONT & RIGHT ELEVATIONS
 - A1.2 REAR & LEFT ELEVATIONS
 - A2.1 FOUNDATION PLAN
 - A3.1 BASEMENT PLAN
 - A3.2 1ST & 2ND FLOOR PLANS
 - A4.1 FRAMING PLANS
 - A4.2 FRAMING PLANS
 - A5.1 SECTIONS

A1.1

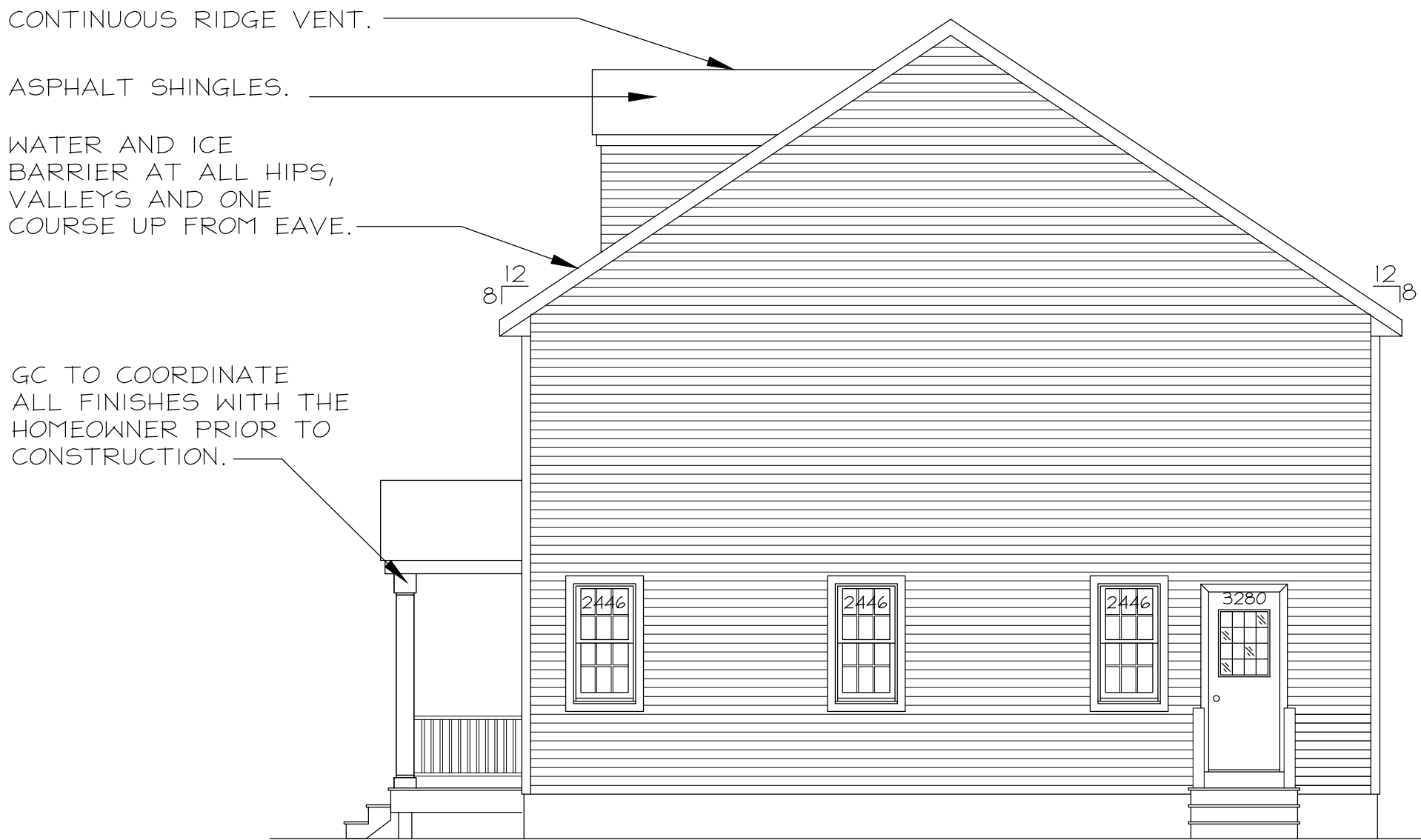
Date: 02/05/25
Revisions:
Scale: AS NOTED

ELEVATIONS



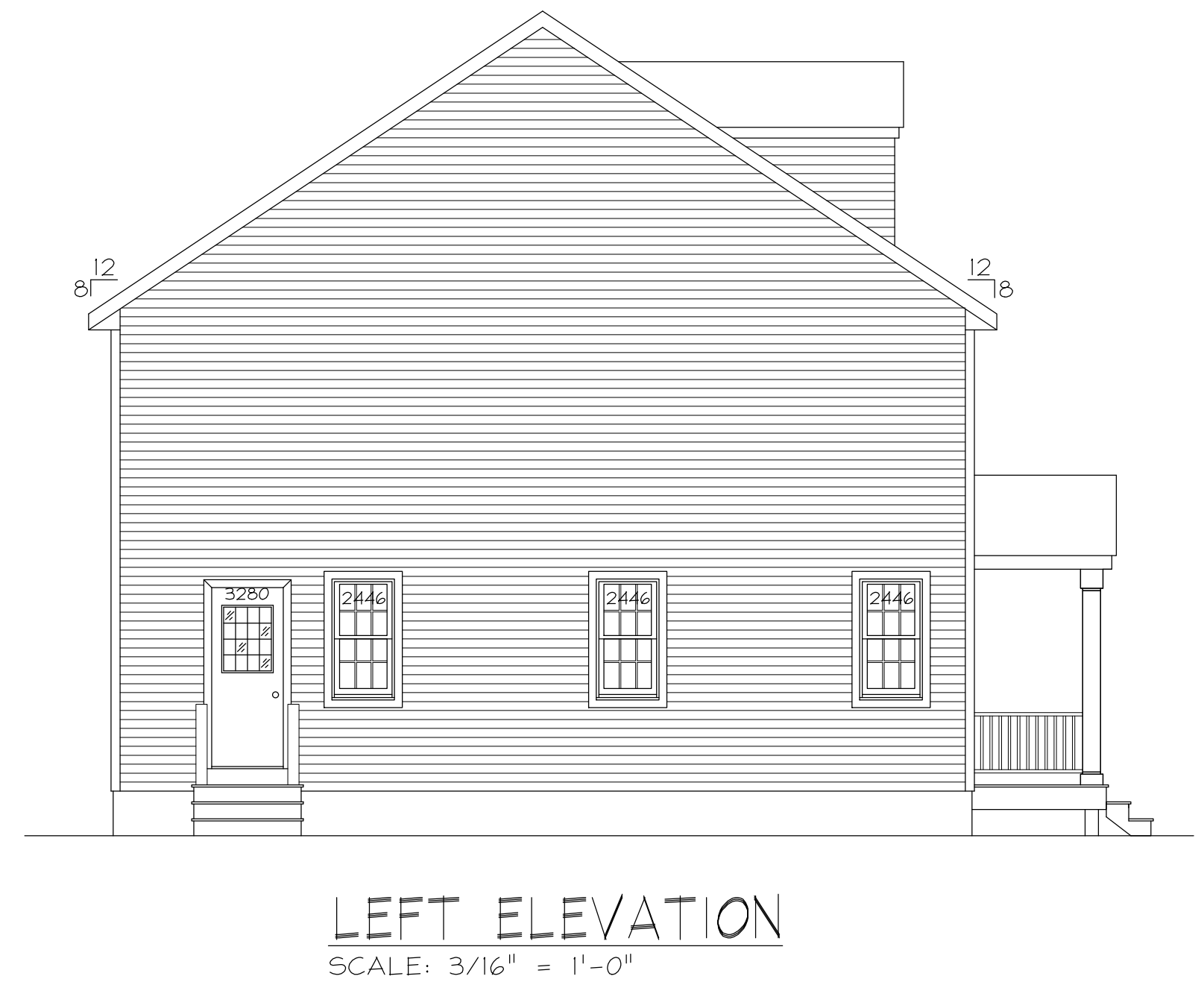
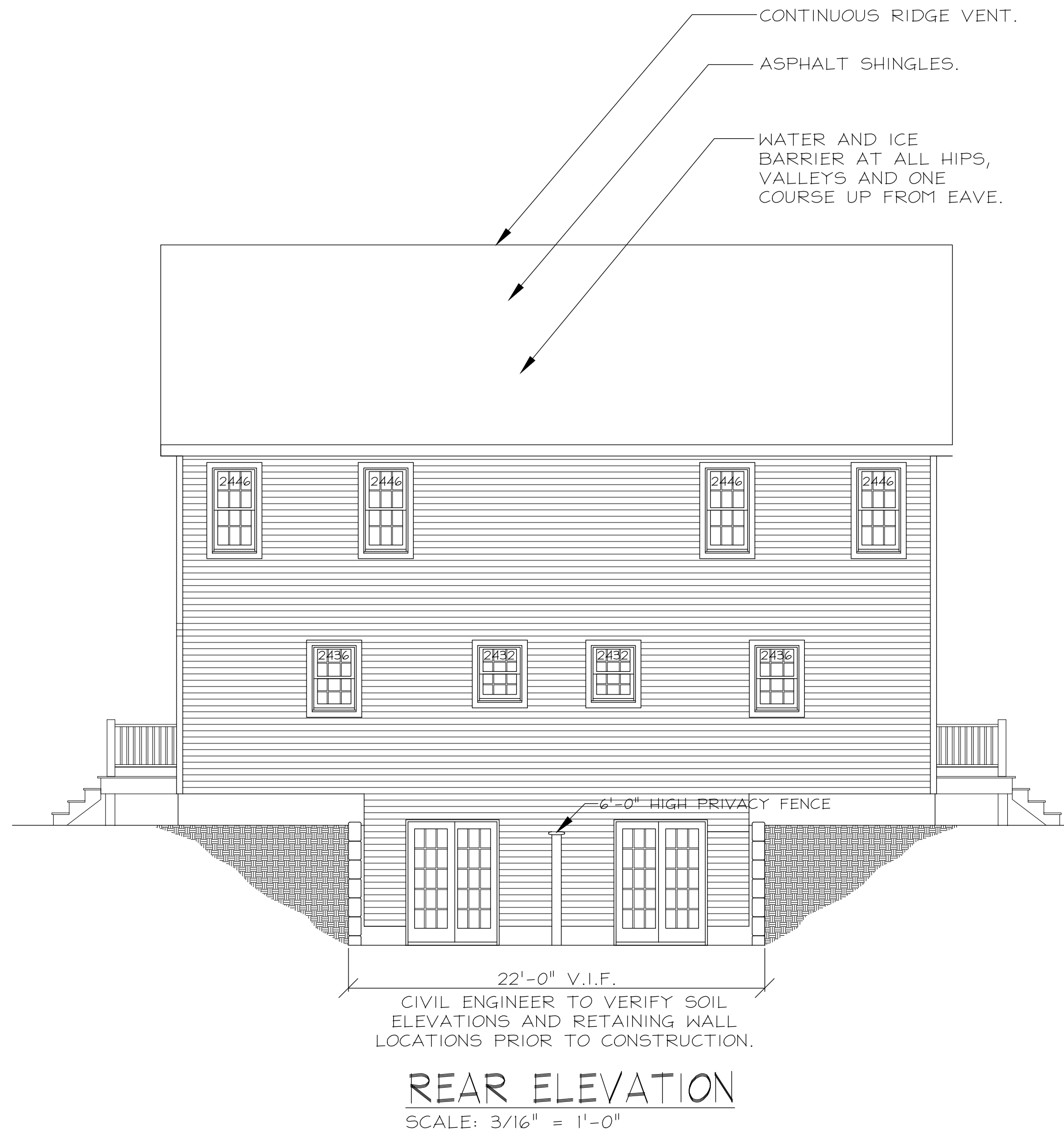
FRONT ELEVATION

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



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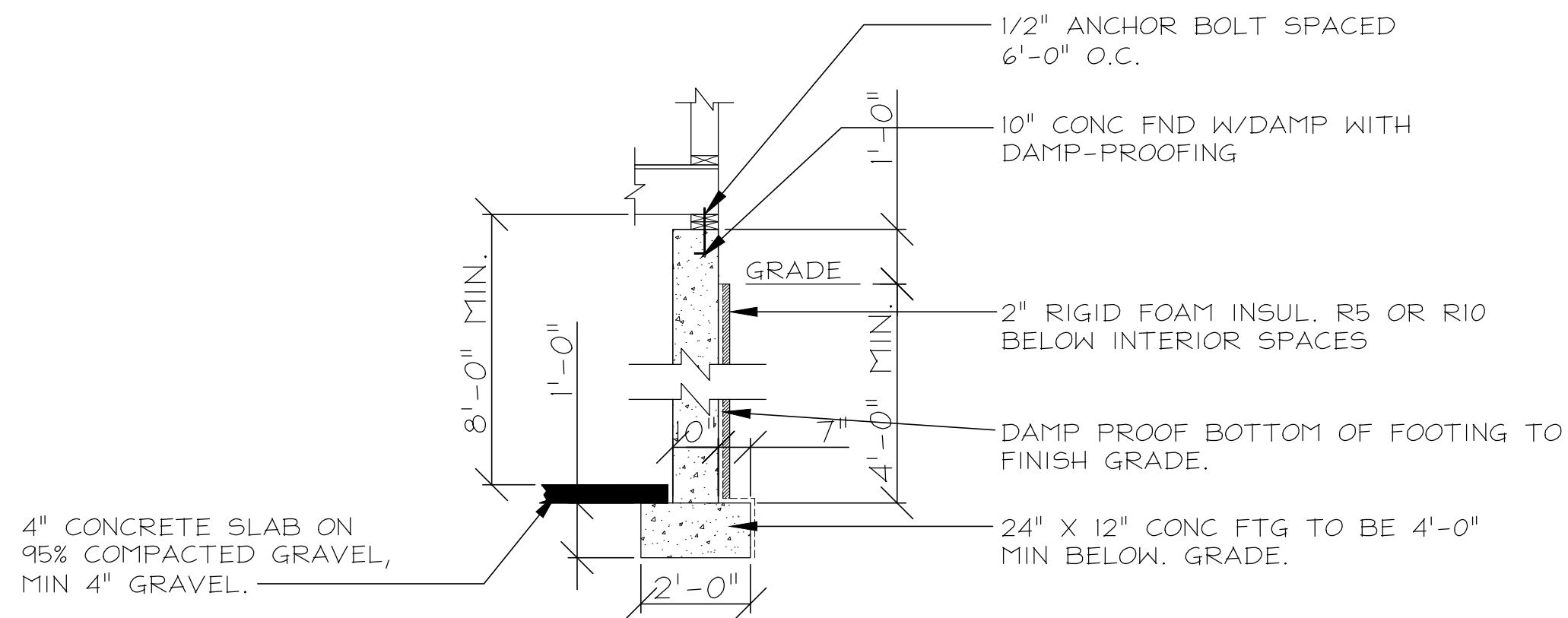
ALL ENGINEERED LUMBER AND ANY LOAD CALCS. ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY AND ALL STRUCTURAL AND ARCHITECTURAL ENGINEERING REQUIRED IS BY THE CONTRACTOR.

ANY ERRORS OR OMISSIONS ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THE PREPARER. PREPARED BY TOM FERRONE, CS-087743, 774-254-6034

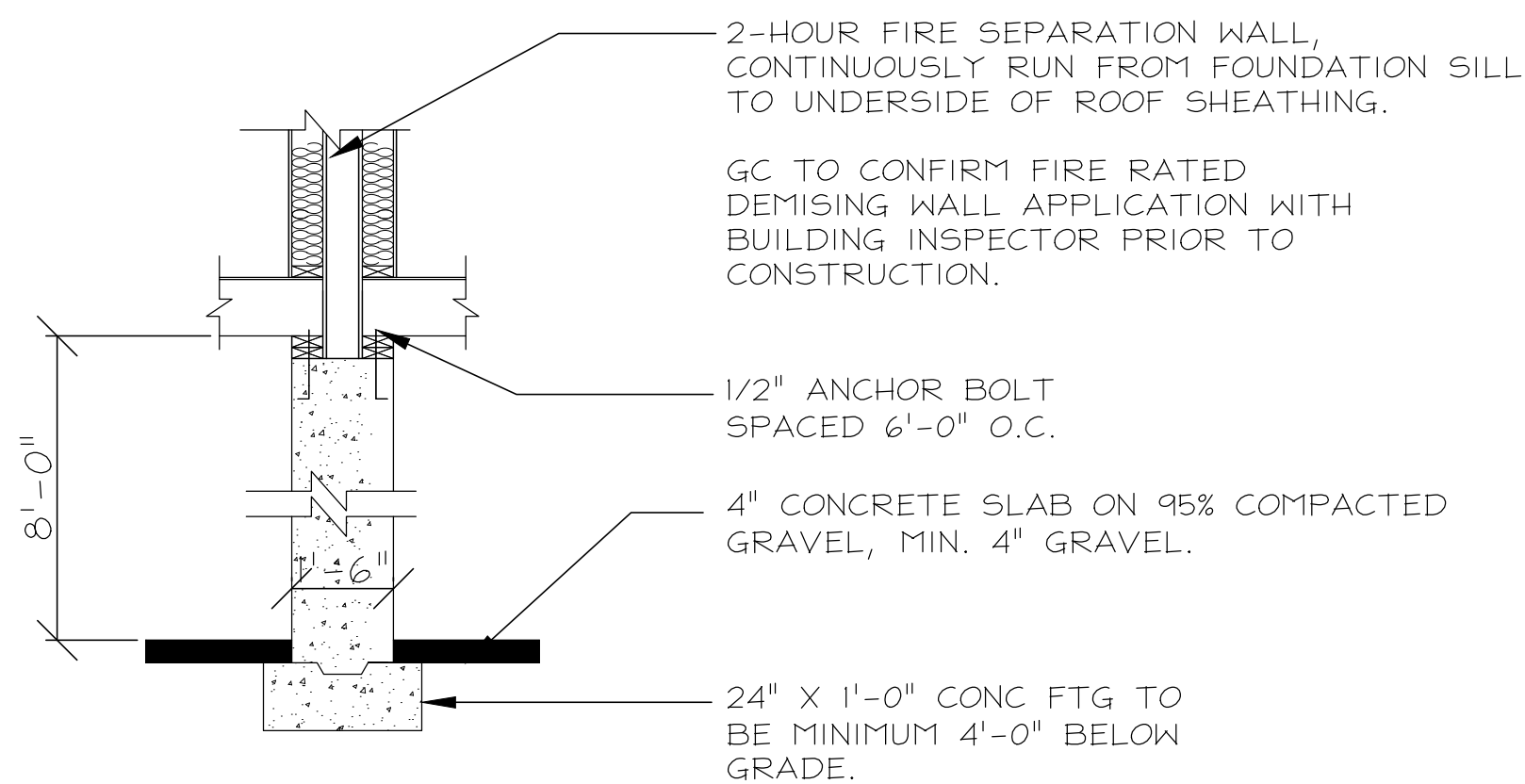
A1.2

Date: 02/05/25
Revisions:
Scale: AS NOTED

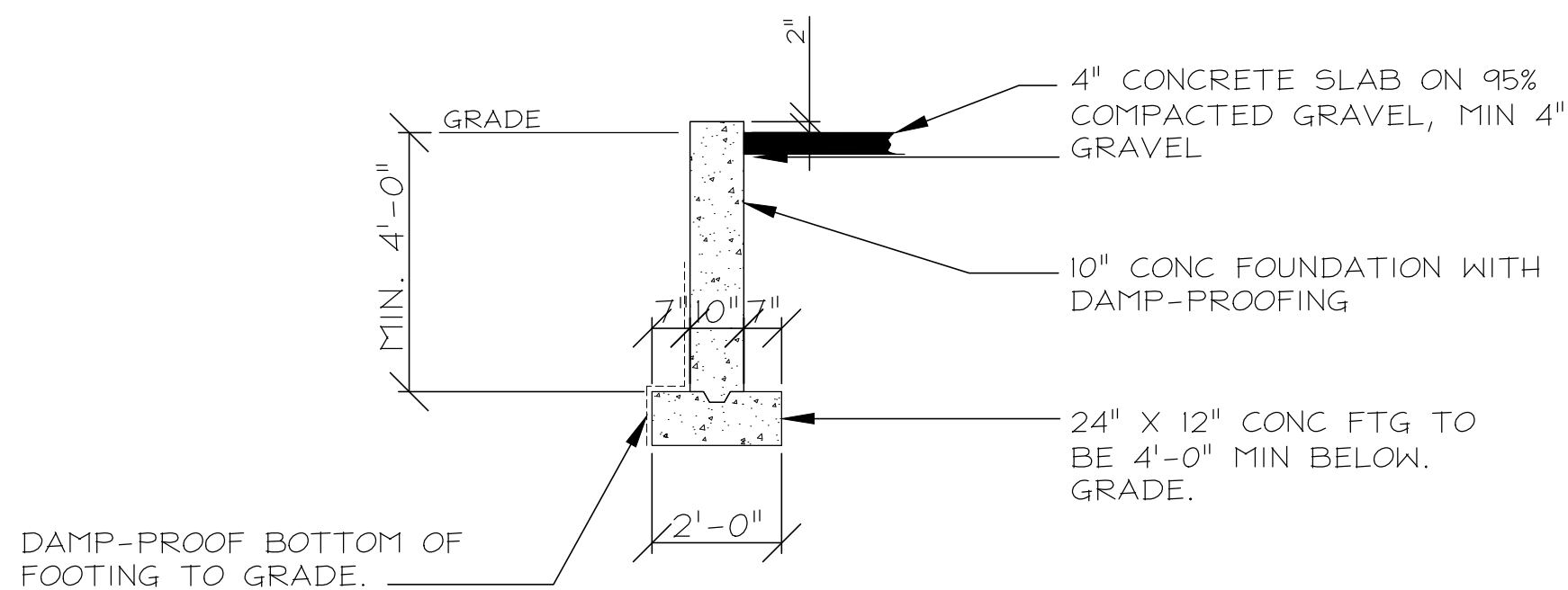
ELEVATIONS



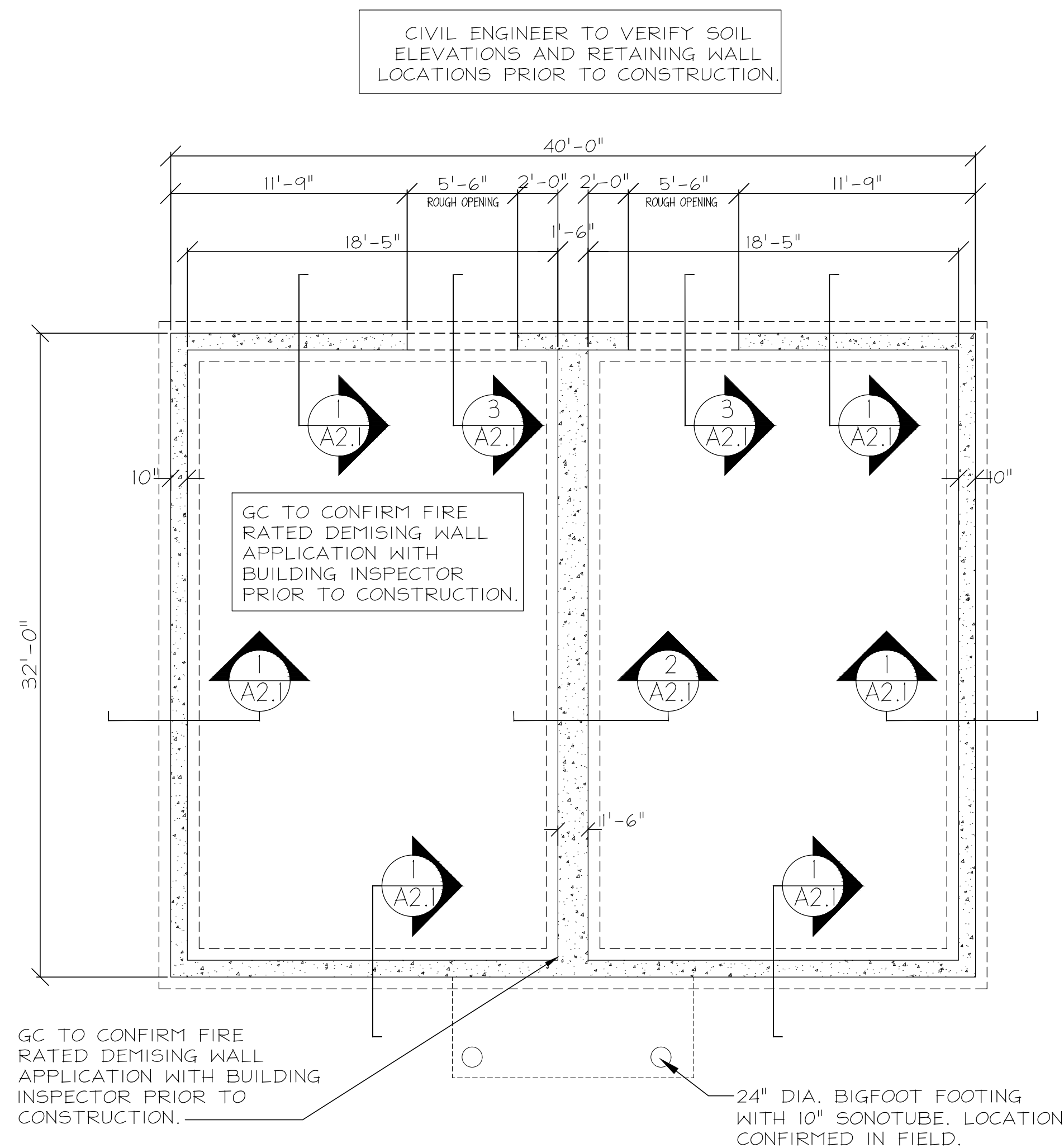
1 CONDITION
SCALE: 1/8" = 1'-0"



2 CONDITION
SCALE: 1/8" = 1'-0"



3 CONDITION
SCALE: 1/8" = 1'-0"



FOUNDATION PLAN

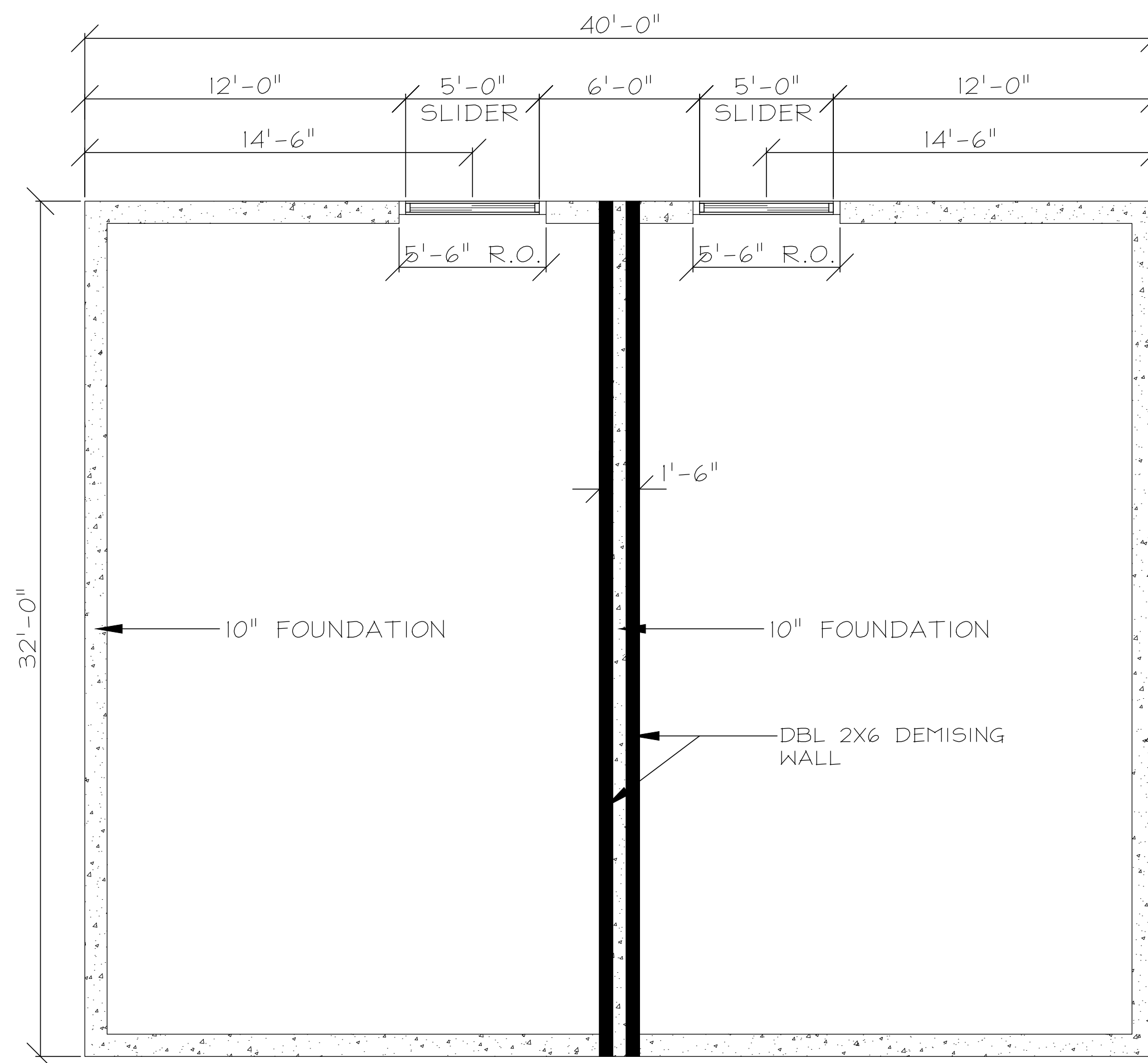
SCALE: 3/16" = 1'-0"

- ALL FND CONCRETE TO BE MIN. 3,000 PSI IN 28 DAYS.
- ALL FTGS TO REST ON UNDISTURBED SOIL.
- CONCRETE SHALL CONFORM TO BUILDING CODE REQUIREMENTS.
- 1/2" DIA ANCHOR BOLTS MAX 6'-0" O.C. NO MORE THAN 12" FROM CORNER.

A2.1

FOUNDATION

Date: 02/05/25
Revisions:
Scale: AS NOTED



UNFINISHED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

GC TO CONFIRM FIRE
RATED DEMISING WALL
APPLICATION WITH
BUILDING INSPECTOR
PRIOR TO CONSTRUCTION.

THESE DRAWINGS ARE FOR PERMIT AND
GENERAL CONSTRUCTION USE ONLY.

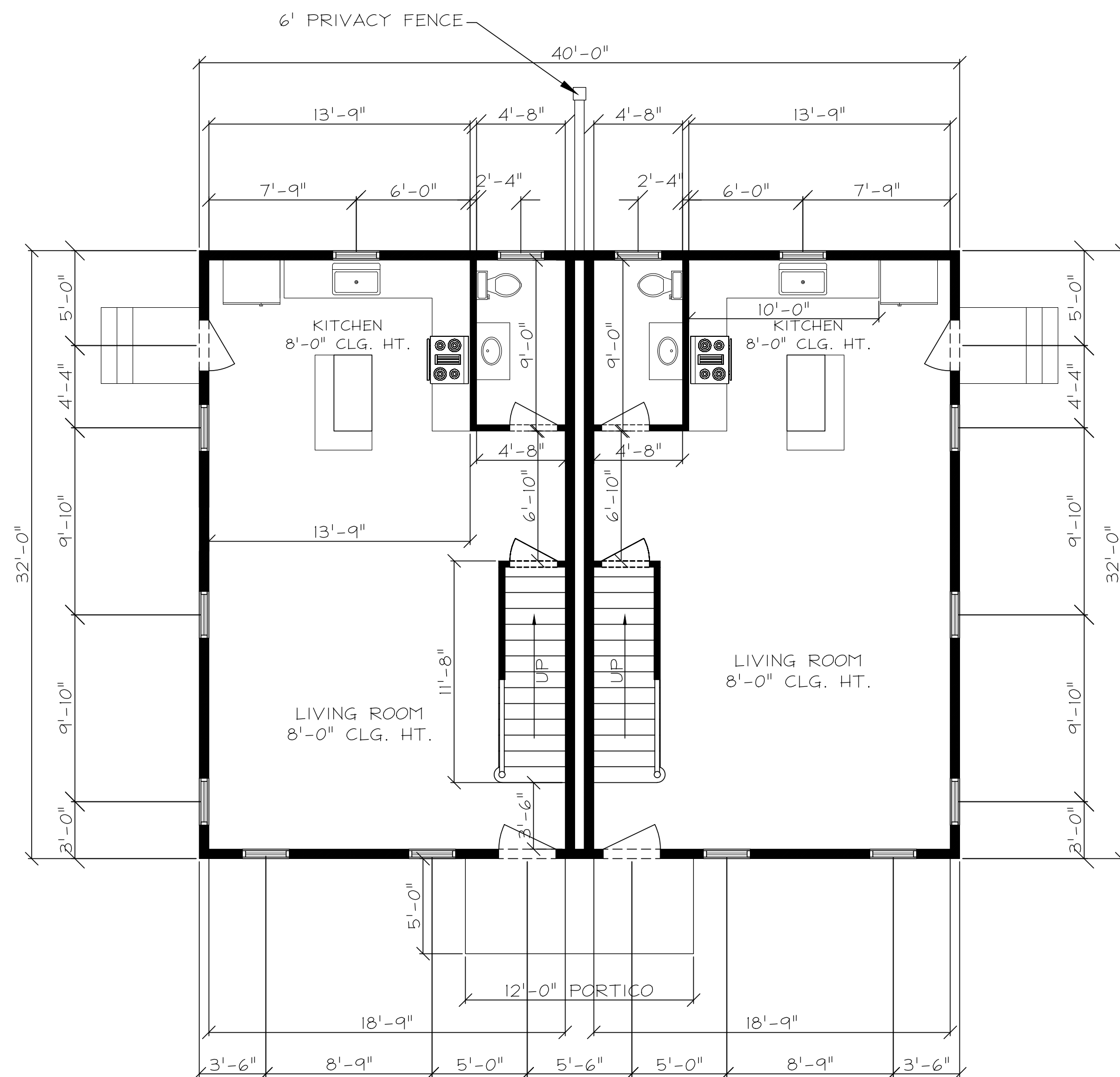
ALL ENGINEERED LUMBER AND ANY LOAD
CALCS. ARE THE RESPONSIBILITY OF THE
GENERAL CONTRACTOR. ANY AND ALL
STRUCTURAL AND ARCHITECTURAL
ENGINEERING REQUIRED IS BY THE
CONTRACTOR.

ANY ERRORS OR OMISSIONS ON THESE
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FERRONE, CS-087743, 774-254-6034

A3.1

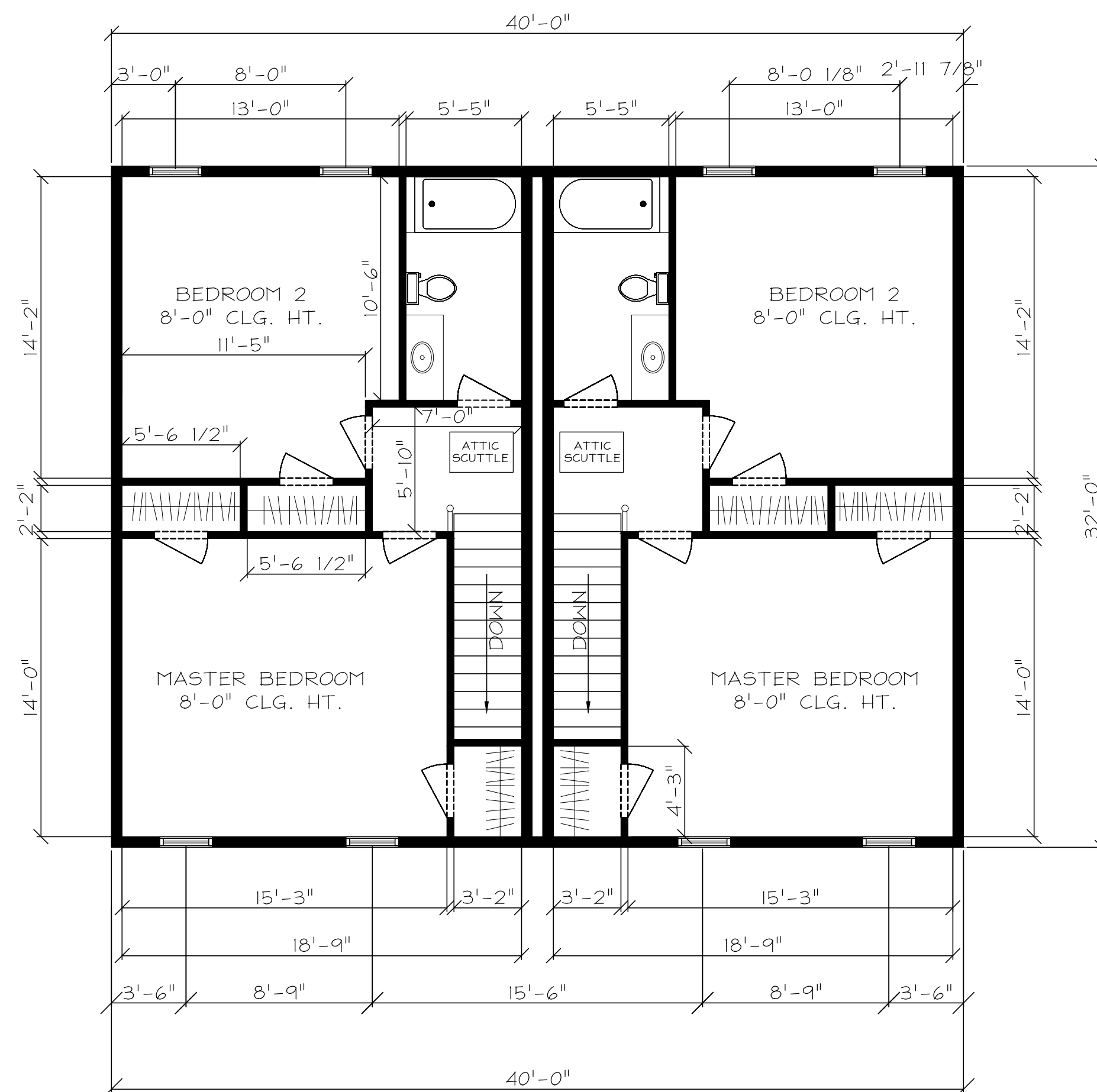
| | |
|------------|----------|
| Date: | 02/05/25 |
| Revisions: | |
| Scale: | AS NOTED |

BASEMENT PLAN



PROPOSED 1ST FLOOR

SCALE: 3/16" = 1'-0"



PROPOSED 2ND FLOOR

SCALE: 3/16" = 1'-0"

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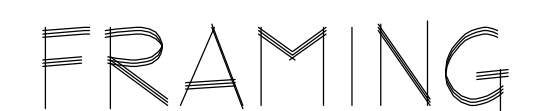
ALL ENGINEERED LUMBER, LOAD CALCS ETC. IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY AND ALL STRUCTURAL AND ARCHITECTURAL ENGINEERING REQUIRED IS BY THE CONTRACTOR.

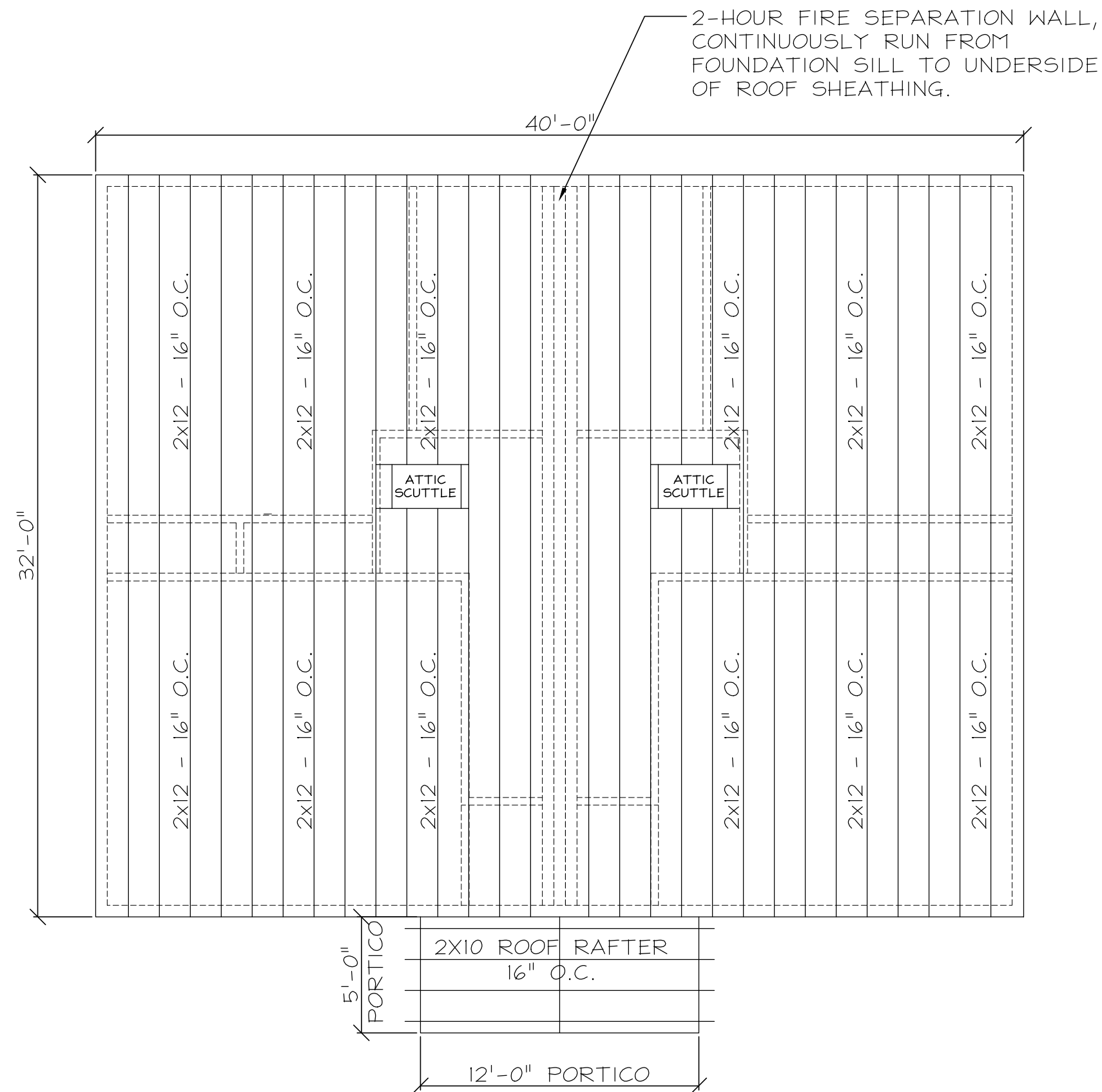
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A3.2

FLOOR PLANS

Date: 02/05/25
Revisions:
Scale: AS NOTED



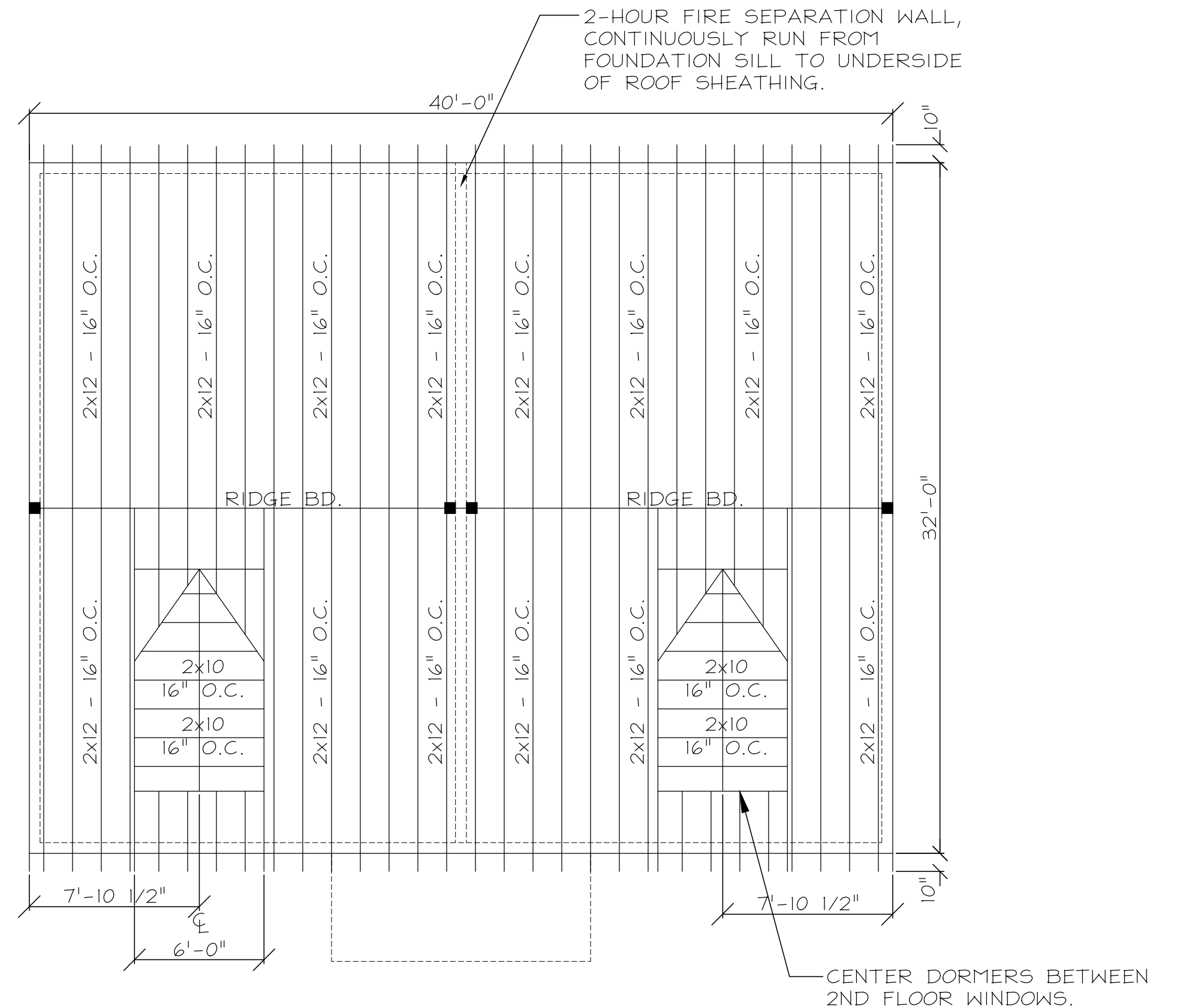


2ND FLOOR - CEILING JOISTS

SCALE: 3/16" = 1'-0"

NOTE:

GENERAL CONTRACTOR HAS DISCRETION TO USE A DIFFERENT FRAMING APPLICATION. PROVIDED IT IS IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE.



ROOF RAFTERS

SCALE: 3/16" = 1'-0"

FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES.

A4.2

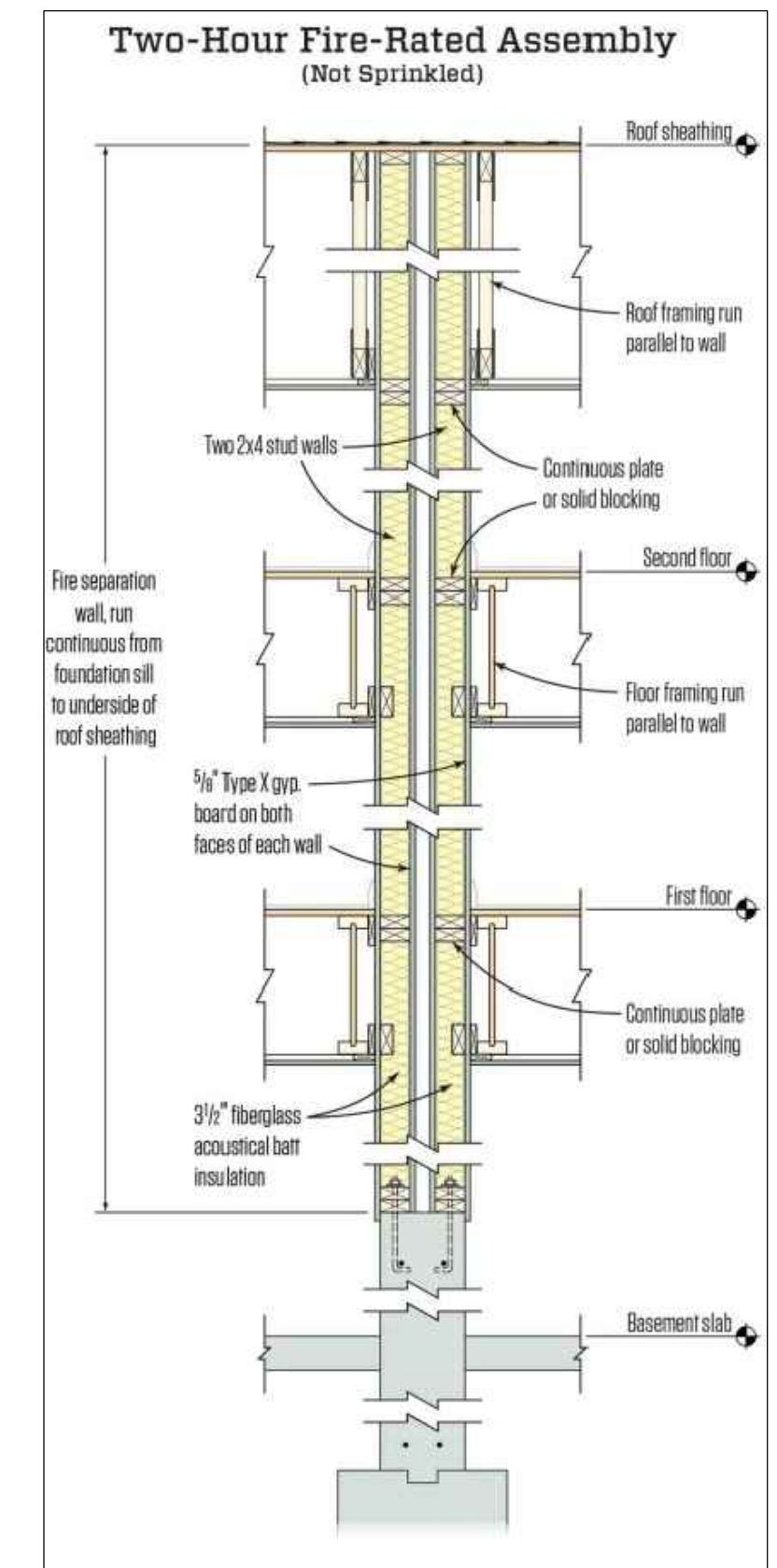
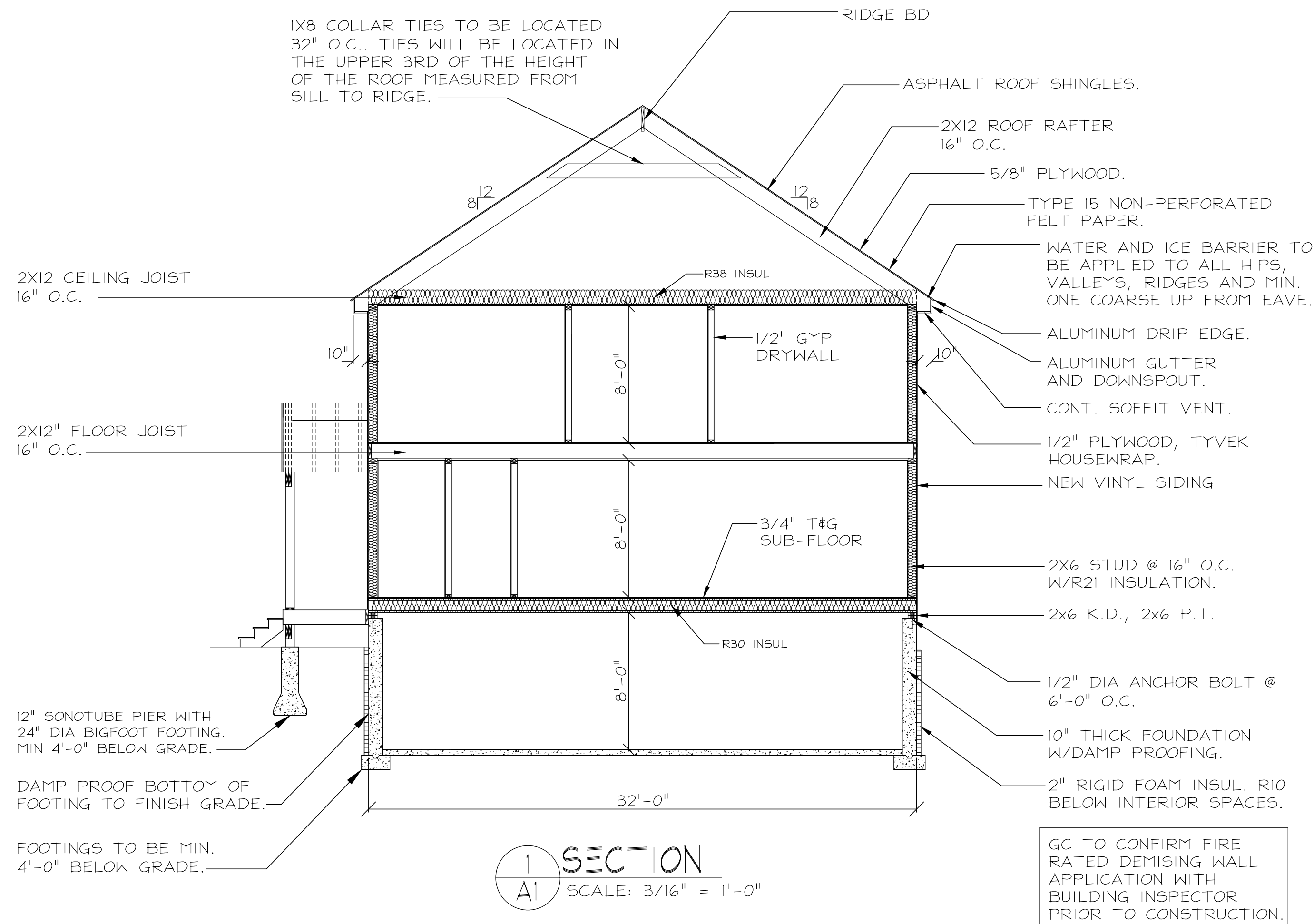
Date: 02/05/25
Revisions:
Scale: AS NOTED

FRAMING

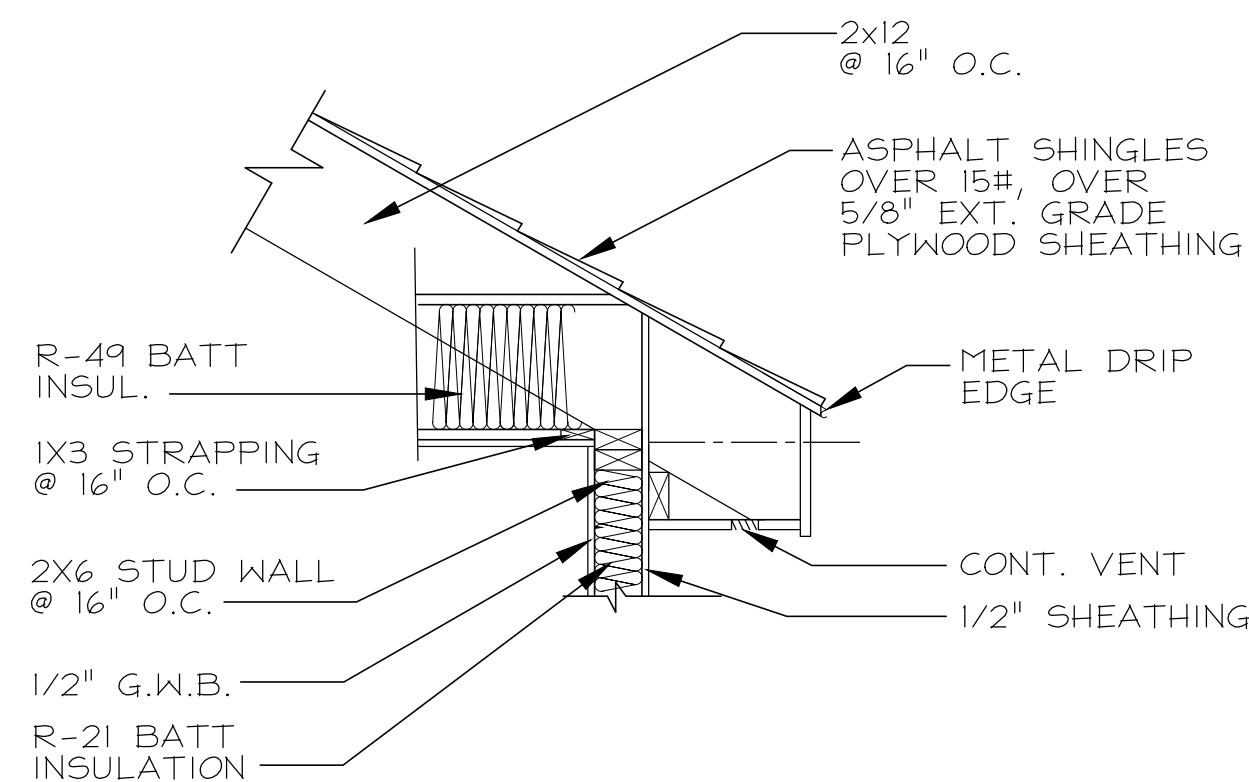
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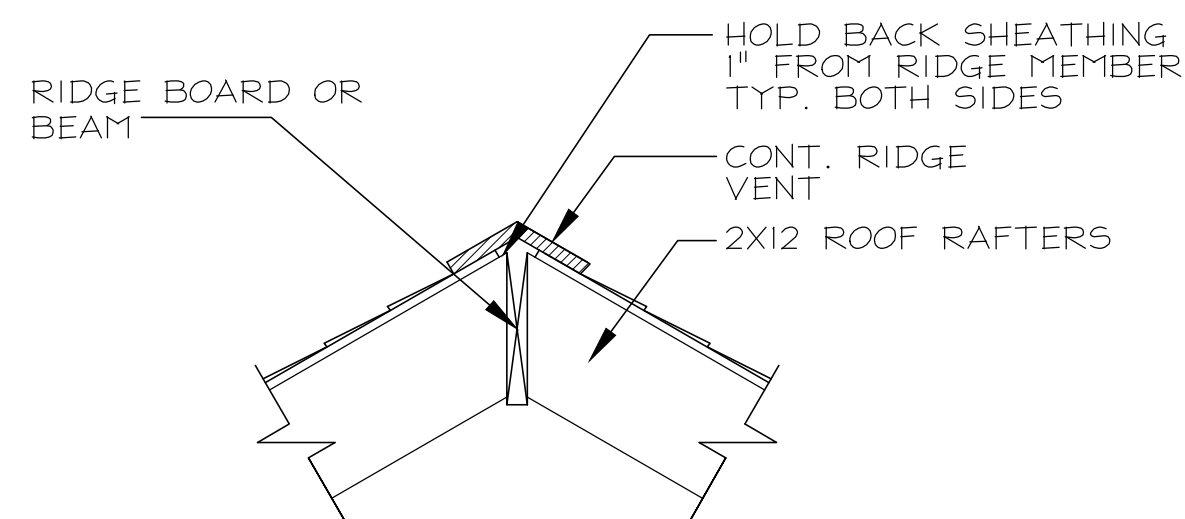
ANY ERRORS OR OMISSIONS ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THE PREPARER. PREPARED BY TOM FERRONE, CSL 087743, 774-254-6034



FIRE WALL
SCALE: NOT TO SCALE



TYPICAL EAVE CONDITION
SCALE: NOT TO SCALE



RIDGE CONDITION
SCALE: NOT TO SCALE

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ALL ENGINEERED LUMBER AND SHEAR LOADS REQUIRED ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY AND ALL STRUCTURAL AND ARCHITECTURAL ENGINEERING REQUIRED IS BY THE CONTRACTOR.

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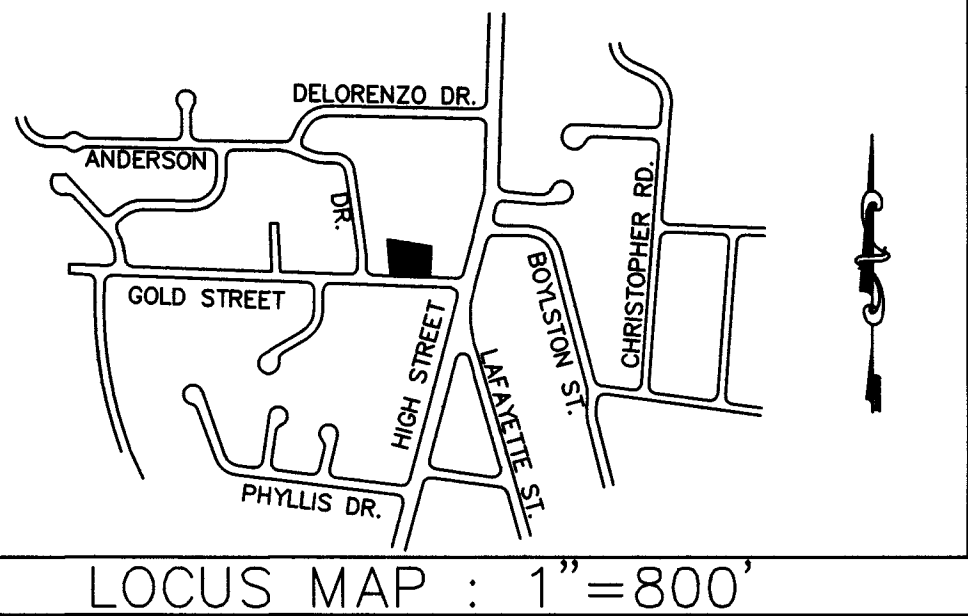
A5.1

Date: 02/05/25
Revisions:
Scale: AS NOTED

SECTIONS

File Attachments for Item:

1. ANR - Gold Street



| ZONING RESIDENTIAL SINGLE FAMILY HIGH DENSITY REQUIREMENTS | | | |
|--|-------------|----------------|----------------|
| | REQUIRED | PROPOSED LOT 1 | EXISTING LOT 2 |
| LOT AREA | 12,000 S.F. | 10,817 S.F. | 12,002 S.F. |
| LOT FRONTAGE | 100.00' | 139.64' | 100.00' |
| LOT DEPTH | 100.00' | 100.93' | 132.6' |
| LOT WIDTH | 75.00' | 77.91' | 97.75' |
| FRONT YARD SETBACK | 25.0 FEET | | 30.5 FEET |
| SIDE YARD SETBACK | 15.0 FEET | | 18.9 FEET |
| REAR YARD SETBACK | 15.0 FEET | | 51.1 FEET |
| LOT COVERAGE | | | |
| BY STRUCTURES | 20.0 % | | 12.75 % |
| BY STRUCTURES AND OTHER IMPERVIOUS | 25.0 % | | 15.55 % |
| MAXIMUM BUILDING HEIGHT STORIES | 2.5 STORIES | | 1.5 STORIES |
| MAXIMUM BUILDING HEIGHT FEET | 40 FEET | | 18.0 FEET |

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

ASSESSOR'S MAP 45 , PARCELS 12 & 13
ZONING : SINGLE FAMILY HIGH DENSITY
DEED REFERENCE : BOOK 40049 PAGE 174
PLAN REFERENCES : BOOK 2876 PG 304
BOOK 4027 PG 50
BOOK 223 PG 98

PLANNING BOARD APPROVAL , UNDER SUBDIVISION CONTROL LAW , IS NOT REQUIRED .

RANDOLPH PLANNING BOARD

DATE:

NO DETERMINATION AS TO COMPLIANCE WITH ZONING REQUIREMENTS HAS BEEN MADE OR INTENDED.

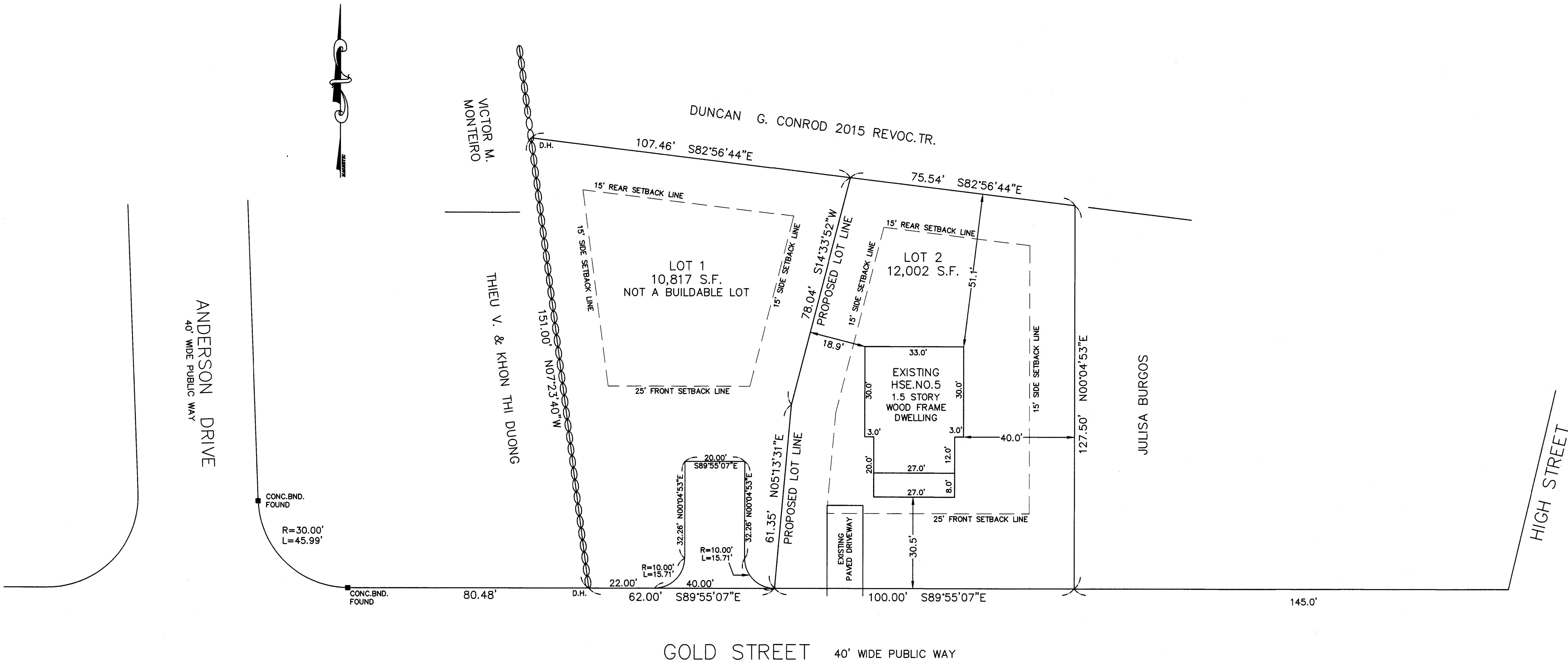
OWNER & APPLICANT :

MICHAEL E. BROWN
13 AVON STREET
ANDOVER, MA. 01810

PLAN OF LAND
IN
RANDOLPH , MA.
SCALE: 1"=20' APRIL 15, 2025

CRAIG E. CYGAWNOSKI DATE

RIM
ENGINEERING CO., INC.
P.O. BOX 32 MANSFIELD, MA. 02048
(508) 339-3731 RIMENGINEERING@VERIZON.NET
BROWN 5 GOLD STREET RANDOLPH
ANR PLAN APRIL 15, 2025



PLANNING DEPARTMENT

FORM A**APPLICATION FOR ENDORSEMENT OF A PLAN
BELIEVED NOT TO REQUIRE APPROVAL**

| | | | |
|--------------------|-----------------------------|-------------------------------------|--|
| Assessor Parcel ID | 28-C-007.1 | Norfolk County Registry of Deeds | Book/Page or Certificate # Book 40049, Page 174 |
| Parcel Address | 5 Gold Street, Randolph, MA | | |

| | | | |
|-----------|-----------------------------------|-------|-----------------------|
| Applicant | Michael E. Brown | | |
| Address | 13 Avon Street, Andover, MA 01810 | | |
| Address2 | | | |
| Phone | (617) 459-3537 | Email | mikex.brown@intel.com |

| | | | |
|-------------------|----------------------------------|-------|----------------------------|
| Surveyor/Engineer | RIM Engineering Co., Inc. | | |
| Address | P.O. Box 32, Mansfield, MA 02048 | | |
| Address2 | | | |
| Phone | (508) 339-3731 | Email | rimengineering@verizon.net |

If property owner is not the applicant, separate authorization from the owner is required

| | | | |
|----------------|------|-------|--|
| Property Owner | Same | | |
| Address | | | |
| Address2 | | | |
| Phone | | Email | |

| PURPOSE OF PLAN |
|---|
| Explanation, purpose of plan and change to/from |
| Applicant seeks to divide existing 22,612 square foot lot so as to create second parcel for potential development as single-family residence. |
| |
| |
| |
| |

Specify the reason why the Plan of Land is not a subdivision requiring approval by the Planning Board under the Subdivision Control Law (Select A, B, C or D - **choose only ONE**):

- A. Each lot on the plan meets one of the following criteria (choose one) by having frontage and lot area required under the Zoning Ordinances for the district in which it is located:
- ☐ 1. A public way, *or*
 - ☐ 2. A way which the Town Clerk certifies is maintained and used as a public way, *or*
 - ☐ 3. A way shown on a plan approved and endorsed by the Planning Board under the Subdivision Control Law, recorded in Plan Book _____, Plan _____, *or*
 - ☒ 4. A way in existence before the adoption of the Subdivision Control Law by the Town and which the Applicant believes is adequate for the way's proposed use, *or*
 - ☐ 5. A way shown on a plan of a subdivision recorded at the Registry of Deeds or the Land Court prior to the adoption of the Subdivision Control Law: Plan Book _____, Plan _____.
- B. Each lot has been clearly marked on the plan to be either:
- ☐ 1. Joined to and made part of an adjacent lot, *or*
 - ☒ 2. Labeled "Not a Buildable Lot".
- C. Each lot on the plan contains a building which existed prior to the adoption of the Subdivision Control Law.
- D. The plan shows an existing parcel with no new lot division(s) and has frontage on a way described above.

The undersigned, believing that the accompanying plan of property in the Town of Randolph does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

Applicant

Attorney for Applicant

Date

PLANNING BOARD USE ONLY

Items Received: ☐ 5 print copies ☐ 1 Electronic File ☐ Owner Authorization

Date Received:

Fee Received: Amount _____ Check# _____ Date: _____

Reviewed by Engineering: _____ Date: _____

Reviewed by Assessor: _____ Date: _____