



PLANNING BOARD MEETING

Tuesday, February 13, 2024 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

AGENDA

Pursuant to the temporary provisions pertaining to the Open Meeting Law, public bodies may continue holding meetings remotely without a quorum of the public body physically present at a meeting location until March 31, 2025. The public is invited to participate in the meeting in person, via telephone or computer.

A. Call to Order - Roll Call

B. Chairperson Comments

C. Approval of Minutes

1. Minutes of 1/23/2024

D. Public Speaks

E. Public Hearings

F. Old/Unfinished Business

G. New Business

1. Site Plan & Design Review - Short Street

2. ANR - Wilmarth Road

H. Staff Report

***Active Subdivision Review**

***Active Project Review**

***Upcoming Projects**

I. Board Comments

J. Adjournment

Notification of Upcoming Meeting Dates

File Attachments for Item:

1. Site Plan & Design Review - Short Street

9 SHORT STREET
REAR YARD MODIFICATION
RANDOLPH, MASSACHUSETTS

NOVEMBER 17, 2023 PERMIT & CONSTRUCTION SET



46 Waltham Street, Suite 2A
Boston, Massachusetts 02118
617-542-4522



PROPOSED RENDERING

CRAWFORD SQUARE BUSINESS DISTRICT
CSBD

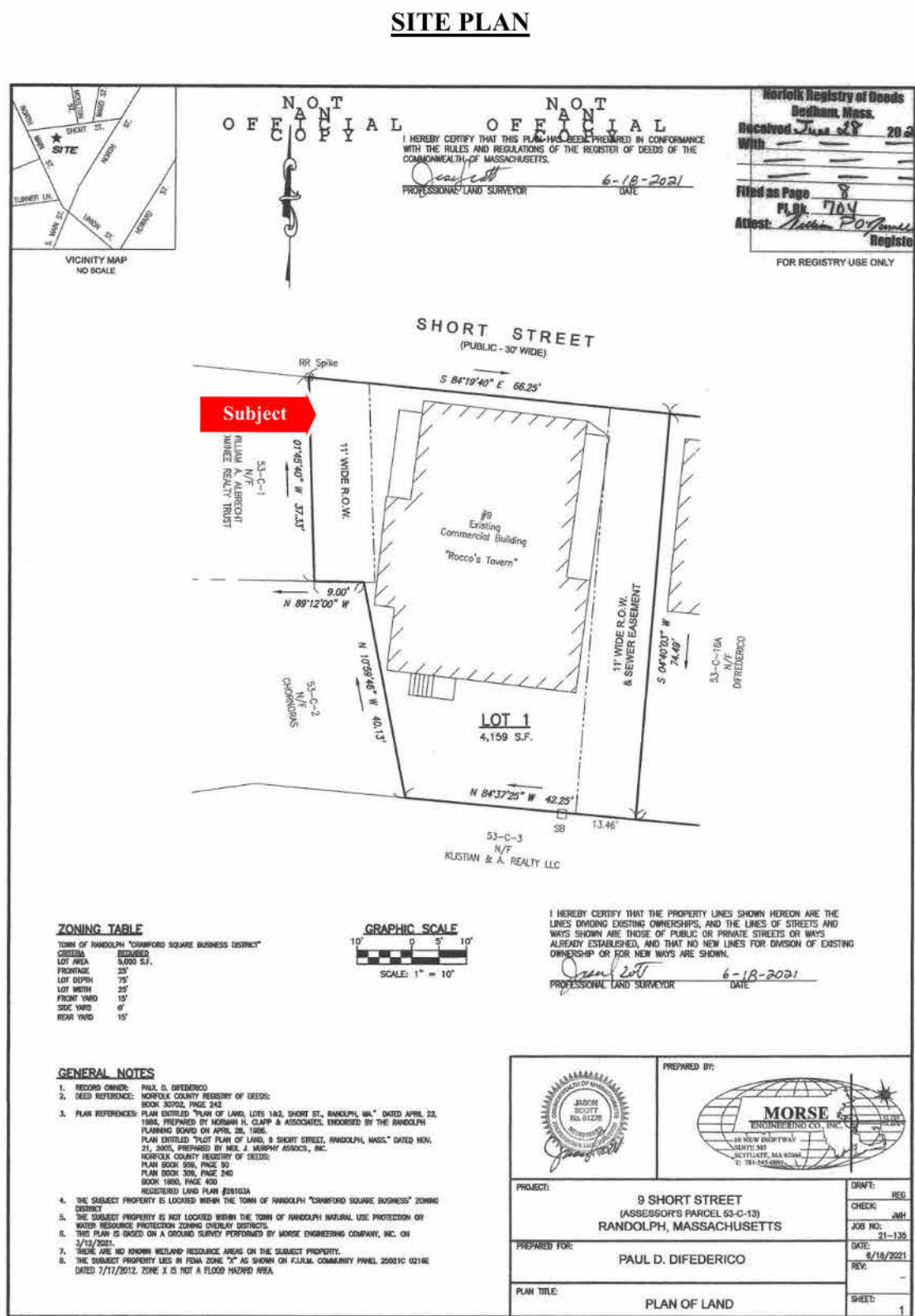
	REQ./ALLOWED	EXISTING BUSINESS	PROPOSED BUSINESS	COMMENTS
USE				
MIN LOT AREA	5,000 SF	4,159 SF	4,159 SF	EXISTING NON-CONFORMING
BLDG LOT COVERAGE	60%	41% EST	41% EST	
IMPERVIOUS	30%	22% EST	34% EST	
GREEN AREA	10%	0%	0%	
MAX. COVERAGE	90%	63% EST	75% EST	
STORIES	3	1-1/2	1-1/2	
HEIGHT	40 FT	22 FT EST	22 FT EST	
MIN. FRONTAGE	25 FT	66.25 FT	66.25 FT	
MIN. DEPTH	75 FT	74.49 FT	74.49 FT	
MIN. WIDTH	25 FT	42.25 & 66.25 FT	42.25 & 66.25 FT	
FRONT SETBACK	15 FT	0'	0'	STREET FRONT ALIGNMENT
SIDE YARD	0 FT	0'	0'	
REAR YARD	15 FT	19.9 FT	19.9 FT	
NOTE: VALUES ABOVE ARE ESTIMATED AND SHOULD BE CONFIRMED BY SURVEYOR				

ZONING INFORMATION
1/4" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
001	COVER
1/1	EXISTING PLOT PLAN & CERTIFIED PLOT PLAN
A101	FLOOR PLANS
A102	SECTIONS, ELEVATIONS & REAR YARD PERSPECTIVE
S-1	FOUNDATION, FIRST FLOOR PLAN & SECTIONS

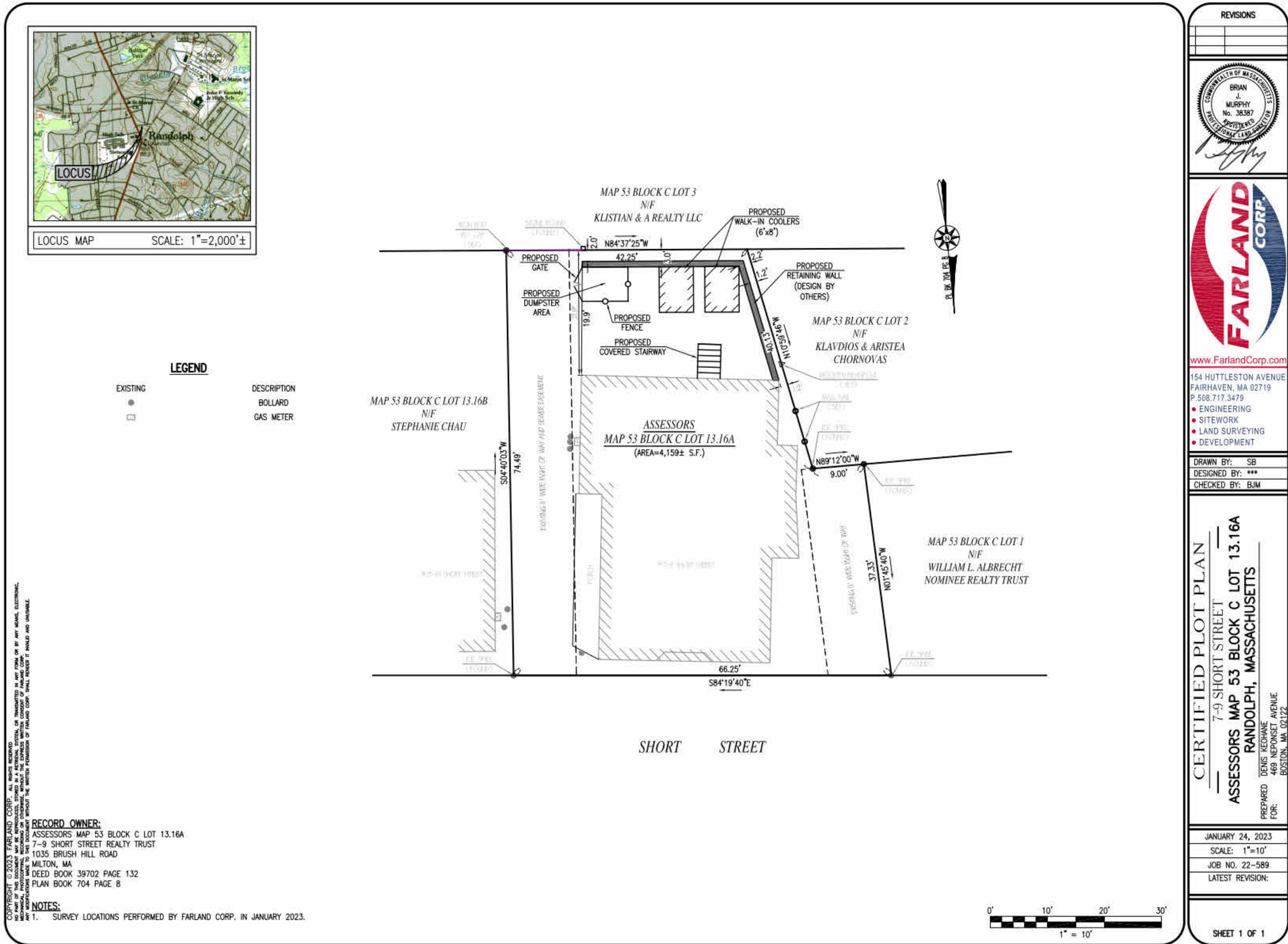
7-9 SHORT
STREET

RANDOLPH, MA



Eric Wolff & Associates

22



EXISTING PLOT
PLAN &
CERTIFIED PLOT
PLAN

Project No.
7-9 SH 2022

Date

Scale

Drawn By

Checked By

Drawing No.

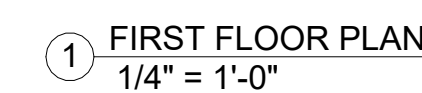
1/1

RANDOLPH, MA

	Seal
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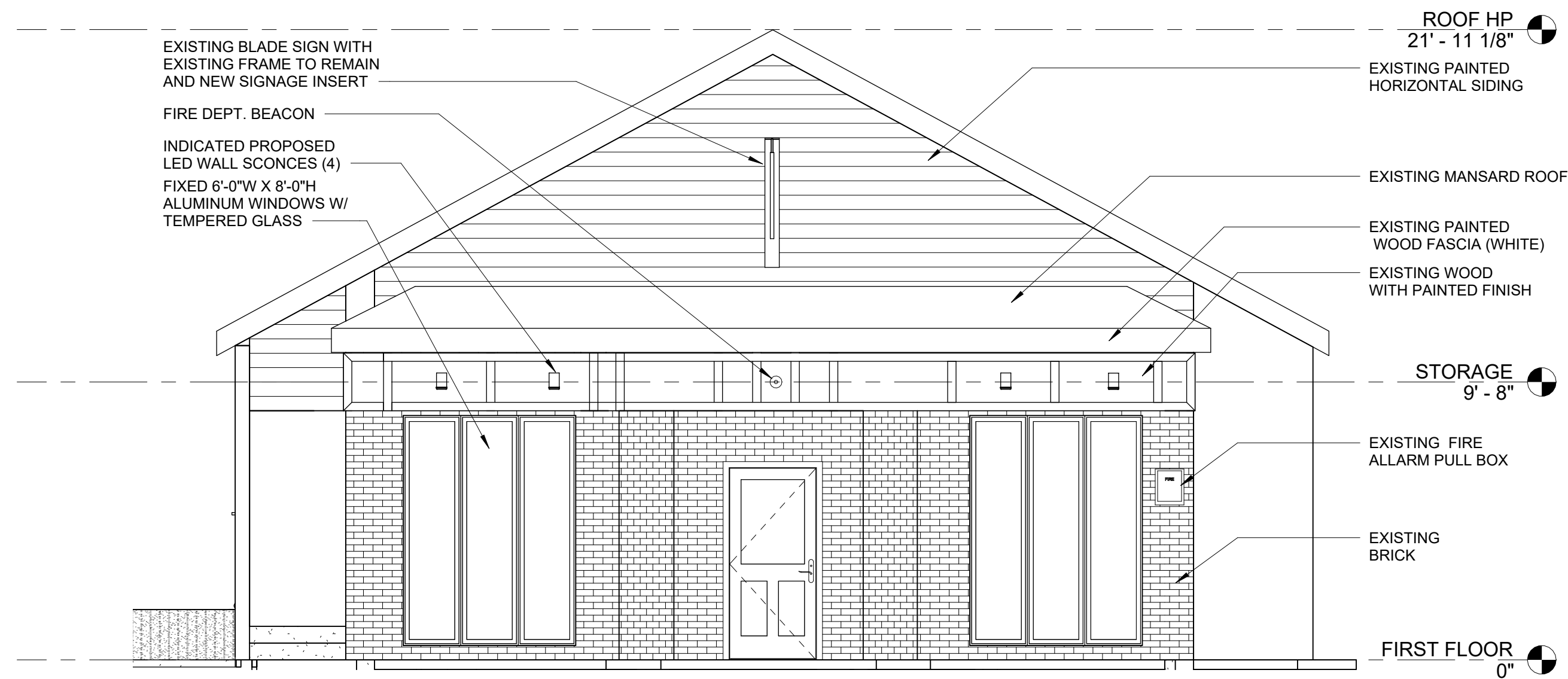
FLOOR PLANS

© Copyright Spalding Tougias Architects, Inc.

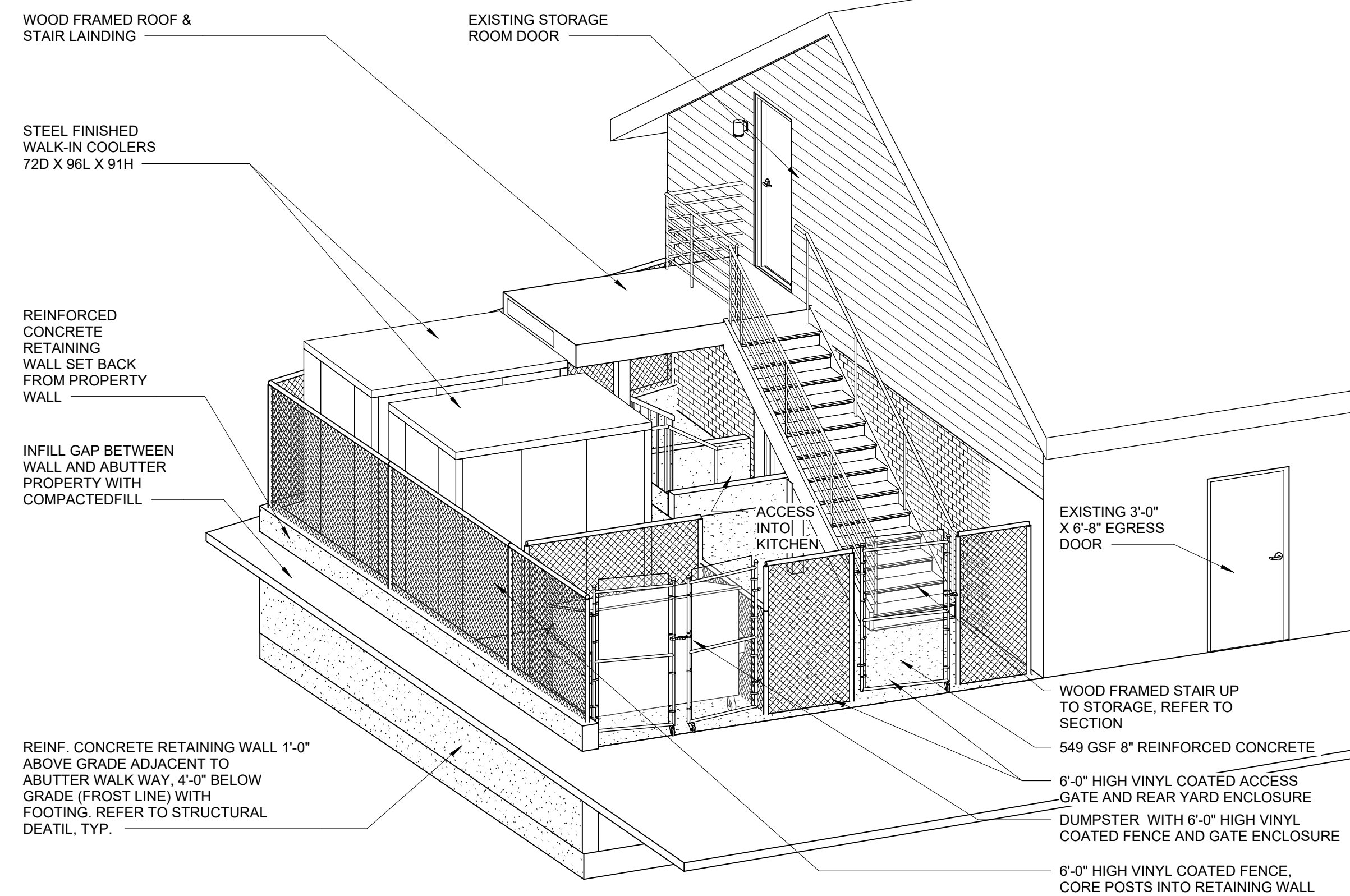


7-9 SHORT
STREET

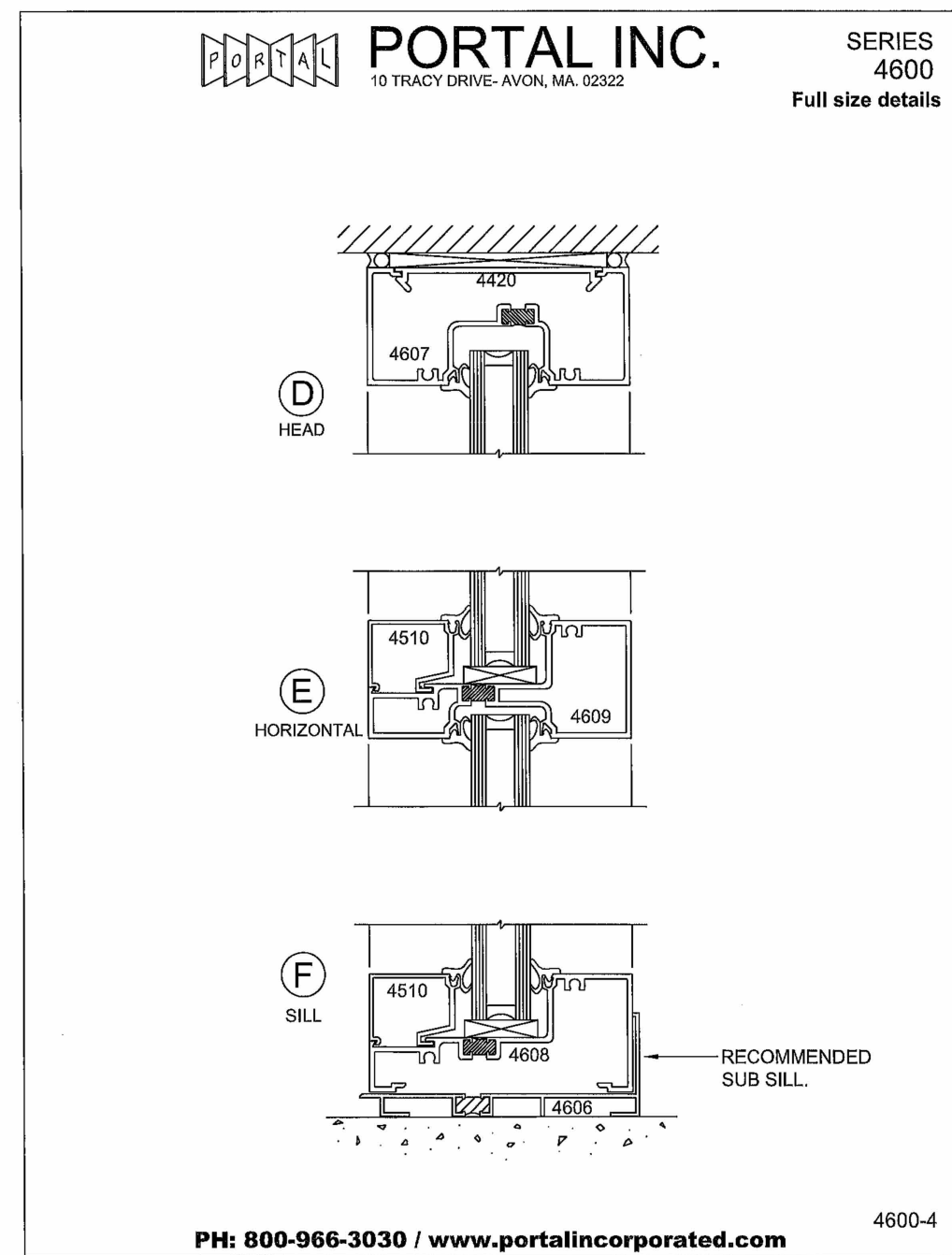
RANDOLPH, MA



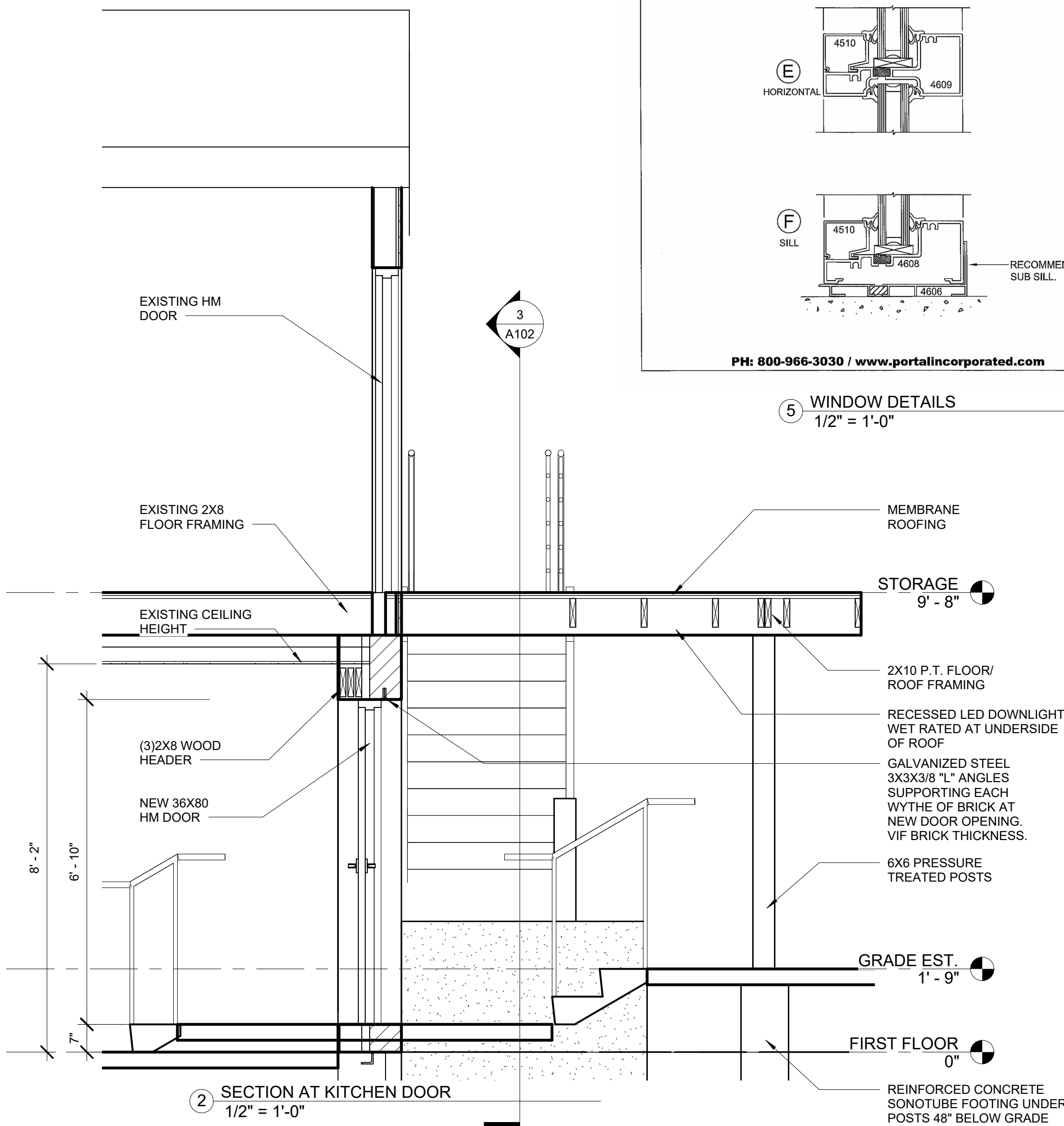
4 SHORT STREET ELEVATION
1/4" = 1'-0"



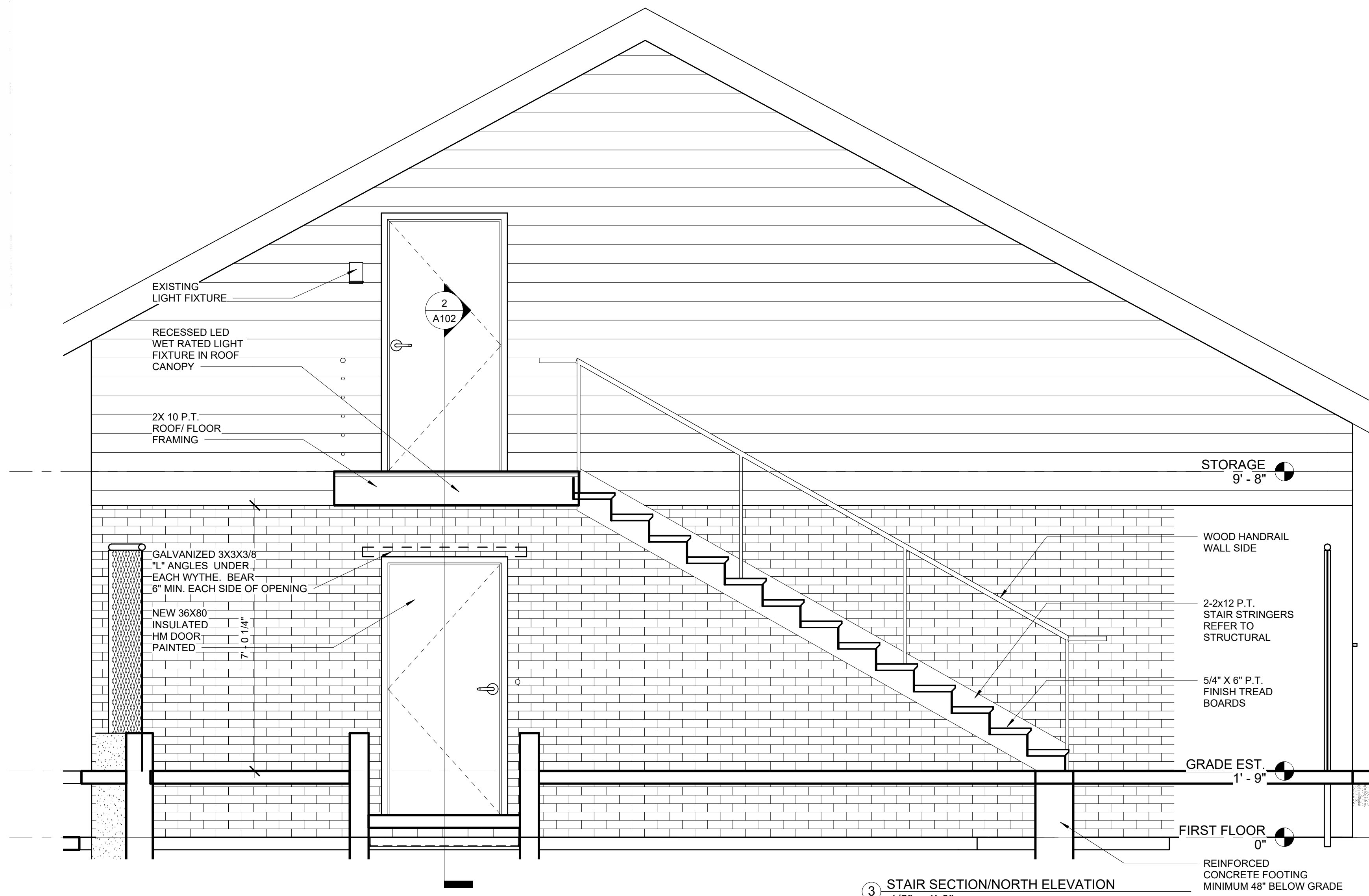
1 3D VIEW



5 WINDOW DETAILS
1/2" = 1'-0"



2 SECTION AT KITCHEN DOOR
1/2" = 1'-0"



3 STAIR SECTION/NORTH ELEVATION
1/2" = 1'-0"

No.	Date	Revision
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Seal

Drawing Title

SECTIONS,
ELEVATIONS &
REAR YARD
PERSPECTIVE

Project No.
7-9 SH 2022

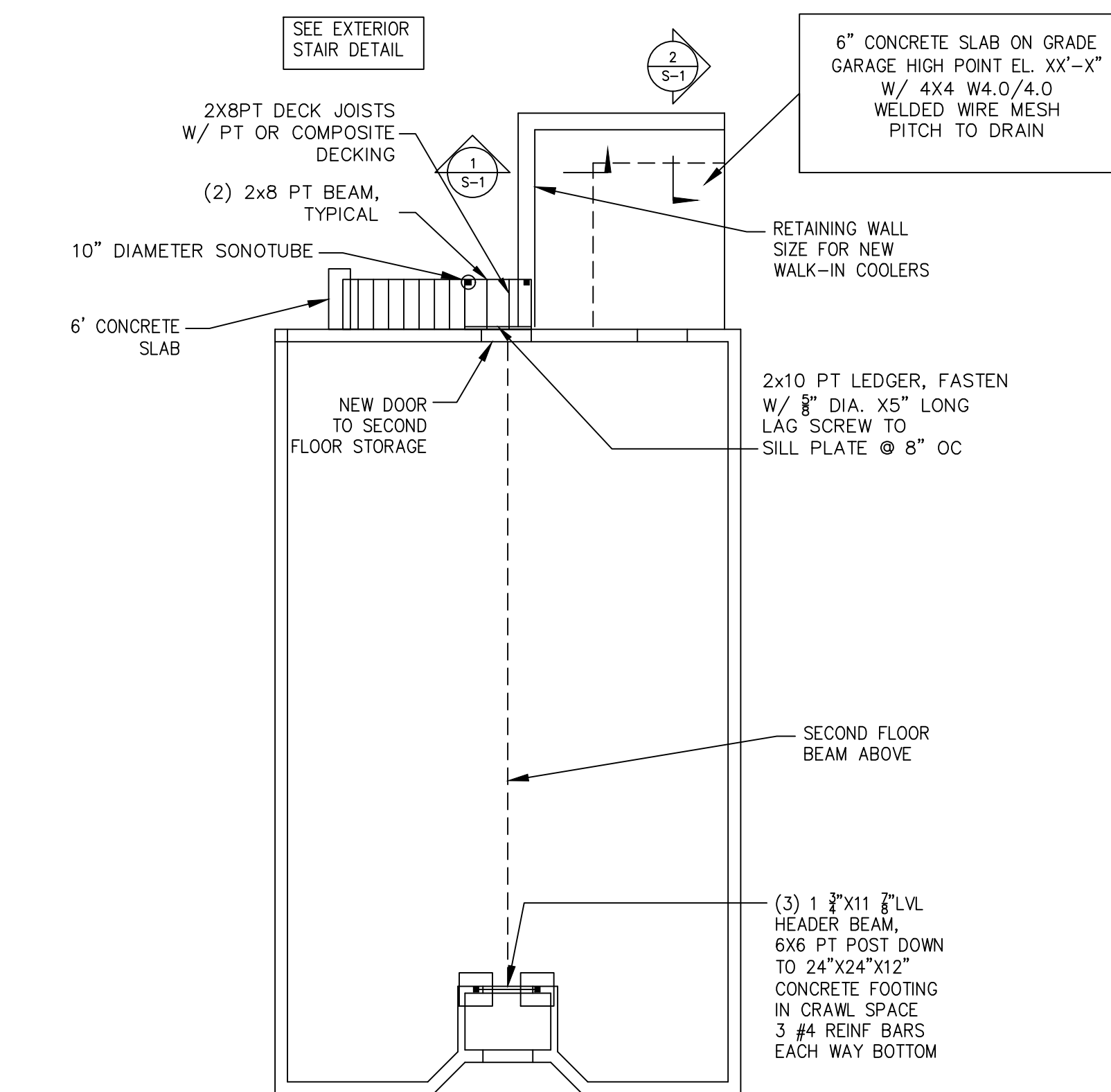
Date
10 19 23

Scale
As indicated

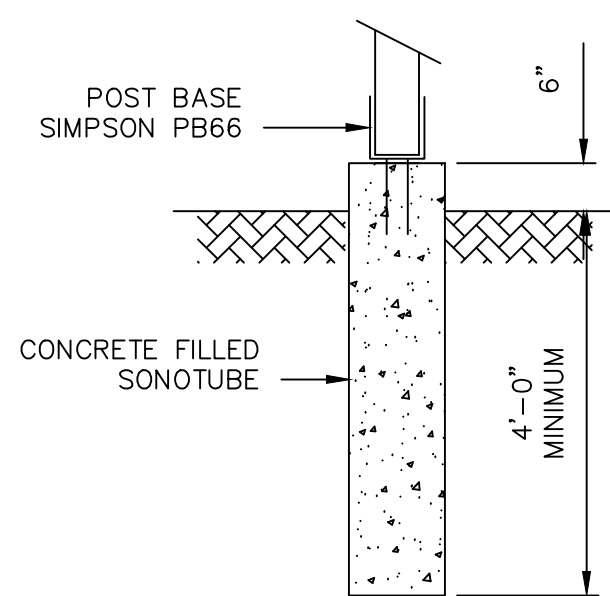
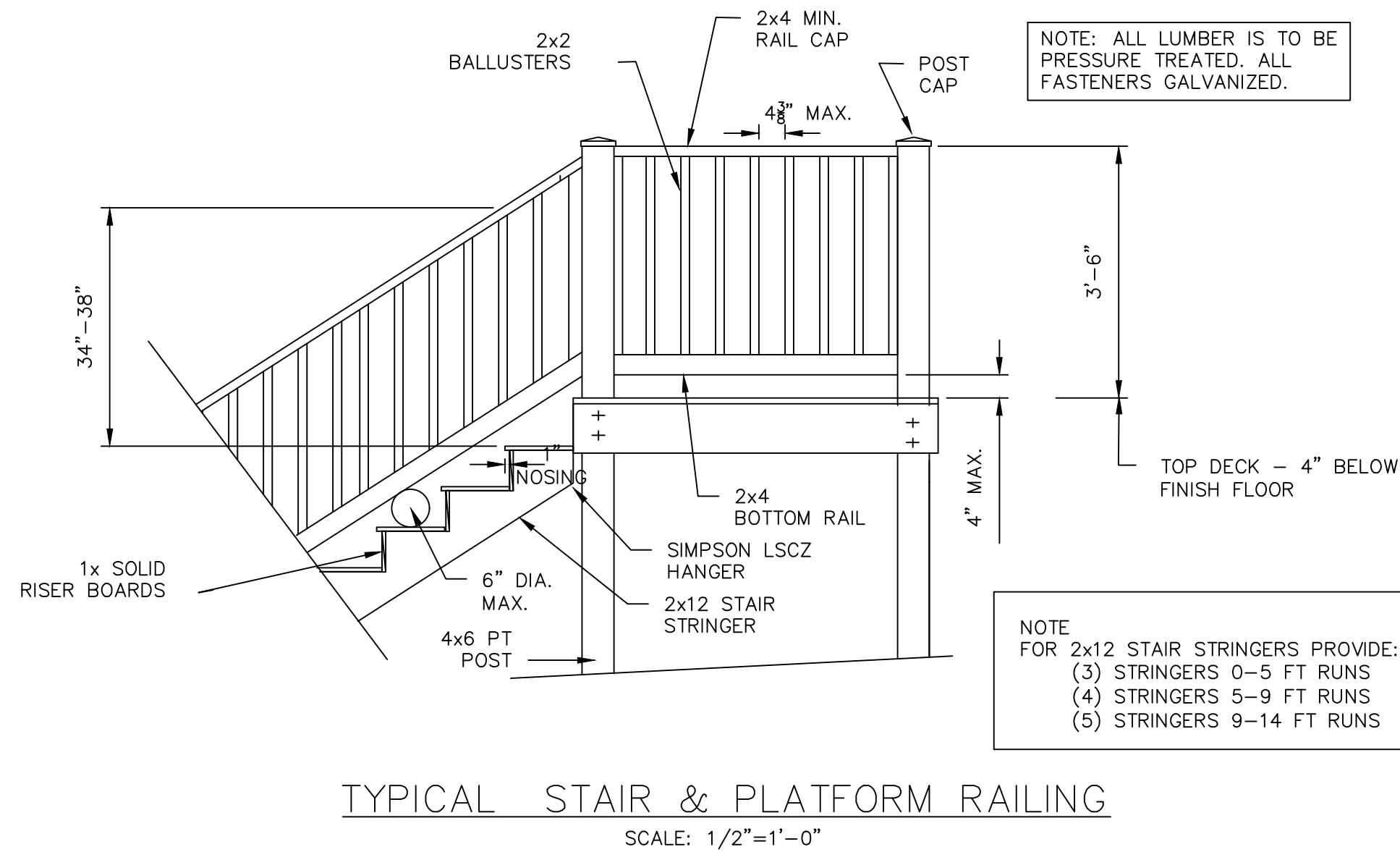
Drawn By
GEO

Checked By
CFT

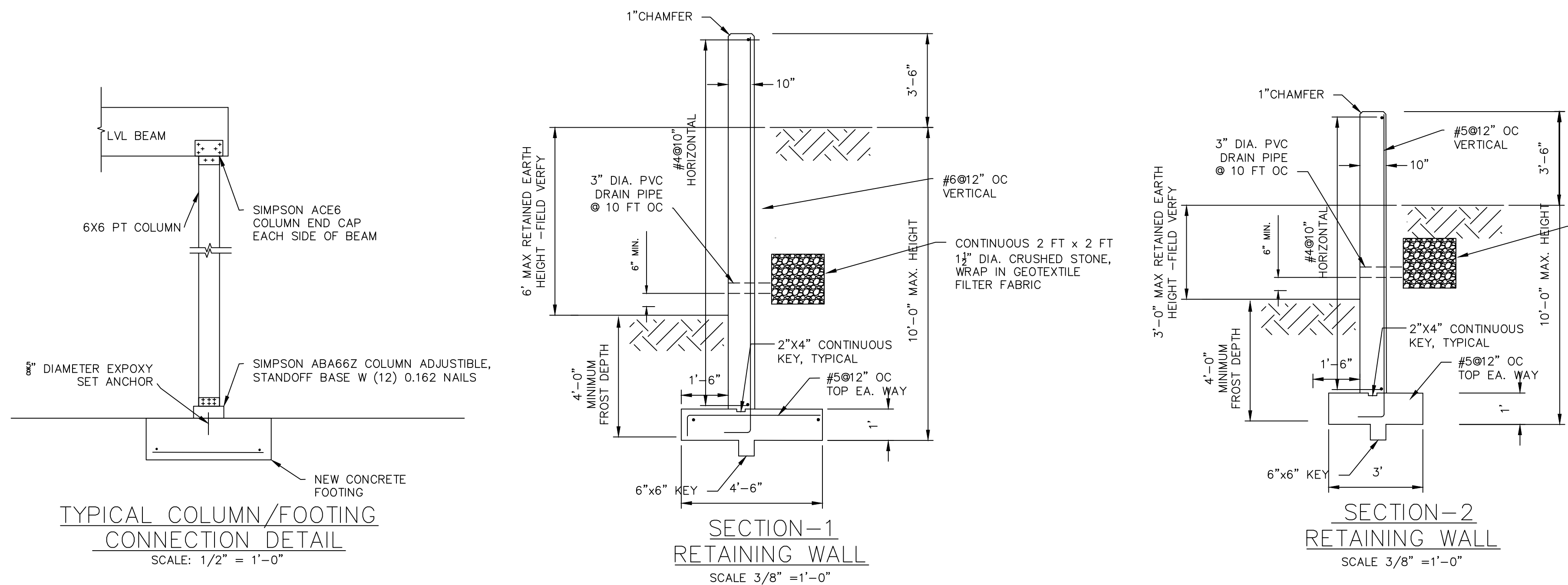
A102



FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



SONOTUBE FOUNDATION
SCALE: 1/2"=1'-0"



TYPICAL COLUMN/FOOTING
CONNECTION DETAIL
SCALE: 1/2" = 1'-0"

SECTION-1
RETAINING WALL
SCALE 3/8" =1'-0"

SECTION-2
RETAINING WALL
SCALE 3/8" =1'-0"

GENERAL

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION (IBC 2015 AND MASSACHUSETTS AMENDMENTS)

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS AFFECTING THE WORK. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER

3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN, IN THE COURSE OF THE WORK, CONDITIONS ARE UNCOVERED WHICH ARE UNANTICIPATED OR OTHERWISE APPEAR TO PRESENT A DANGEROUS CONDITION.

4. STRUCTURAL MATERIALS AND COMPONENTS SHALL HAVE PRIOR APPROVAL OF THE ENGINEER. MATERIAL SAMPLES OR CERTIFICATES AND INSTALLATION SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL PARTS OF THE WORK FOR APPROVAL, ALLOWING SUFFICIENT TIME FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

5. MODIFICATIONS TO THE WORK SHALL NOT BE PERFORMED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.

6. STRUCTURAL CONSTRUCTION SHALL BE PRECEDED BY ADEQUATE SHORING AND TEMPORARY BRACING UNTIL ALL MEMBERS ARE PLACED AND TRUE TO PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.

7. THE CONTRACTOR SHALL EXAMINE ALL ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS (INCLUDING OWNER FURNISHED EQUIPMENT DRAWINGS) FOR VERIFICATION, LOCATION, AND DIMENSIONS OF EMBEDDED ITEMS, SLEEVES, CHASES, INSERTS, WASHES, DRIPS, REVEALS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS EFFECTING THE STRUCTURAL WORK.

8. OPENINGS SHOWN ON DRAWINGS SHALL NOT BE REVISED OR NEW OPENINGS ADDED TO THE WORK WITHOUT PRIOR APPROVAL OF THE ENGINEER

9. TYPICAL DETAILS AND NOTES ON THE STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE STRUCTURAL WORK.

STRUCTURAL DESIGN LOADS

1. SNOW LOADS 35 PSF GROUND SNOW
30 PSF FLAT ROOF SNOW

2. WIND LOADS BASIC WIND SPEED ULTIMATE 131 MPH
RISK CATEGORY II

3. LIVE LOADS COMMERCIAL SPACE 100 PSF

SHORING AND BRACING

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SHORING AND BRACING OF EXCAVATIONS, FOUNDATIONS, AND ALL CONSTRUCTION IN THE WORK.

2. TEMPORARY SHORES SHALL BE INDIVIDUALLY DESIGNED, ERECTED, SUPPORTED, BRACED AND MAINTAINED BY THE CONTRACTOR TO SAFELY SUPPORT ALL LOADS BEING CARRIED BY EXISTING STRUCTURE MEMBERS AND THEIR FOUNDATIONS BEING REMOVED, ALTERED, AND/OR UNDERMINED BY THE WORK.

PROJECT GEOTECHNICAL ENGINEER

1. NO GEOTECHNICAL REPORT WAS AVAILABLE AT THE TIME OF THIS DESIGN. IT IS THE RESPONSIBILITY OF THE OWNER TO RETAIN A GEOTECHNICAL ENGINEER TO ESTABLISH FOUNDATION APPROACH, SOIL BEARING CAPACITY, AND GROUND WATER ELEVATIONS. PRIOR TO RECEIPT OF REPORT, SOIL BEARING CAPACITY WILL BE ASSUMED AS 2,000 PSF AND SOILS SUITABLE FOR EXTERIOR GRADE WALL AND INTERIOR ISOLATED FOOTINGS.

FOUNDATIONS

1. EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN BELOW FINISHED EXTERIOR GRADE TO A MINIMUM DEPTH OF 4'-0", UNLESS OTHERWISE NOTED.

2. SURFACE AND SUBSURFACE WATER SHALL BE CONTROLLED DURING CONSTRUCTION TO ENSURE THAT ALL FOUNDATION CONCRETE WORK IS DONE IN DRY CONDITIONS. IF REQUIRED, PROVIDE SHEETING, WELL POINTS, AND/OR DE-WATERING WELLS AS REQUIRED FOR PROPER EXCAVATION AND PLACEMENT OF CONCRETE.

3. CONCRETE SHALL BE PLACED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL MATERIAL.

5. NO FOUNDATION CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN SUB-GRADE MATERIAL.

6. IN-PLACE FOUNDATIONS AND SLABS SHALL BE PROTECTED FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.

7. REMOVAL OF DISTURBED AND UNSUITABLE MATERIALS AND PLACING, COMPACTING AND TESTING OF COMPACTED FILL SHALL ONLY BE PERFORMED BY THE GENERAL CONTRACTOR WHILE A PROFESSIONAL GEOTECHNICAL ENGINEER, REGISTERED IN THE STATE OF MASSACHUSETTS AND RETAINED BY THE OWNER, IS OBSERVING THE WORK.

8. BOTTOM OF FOOTING ELEVATIONS SHOWN ON THE CONTRACT DOCUMENTS ARE MINIMUM DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY THE AMOUNT OF EXCAVATION NECESSARY TO REACH A SUFFICIENT BEARING STRATUM.

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI-318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI-301).

2. ALL STRUCTURAL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE NORMAL WEIGHT (145 PCF) AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

3. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.

4. CONCRETE PLACEMENTS SHALL BE LIMITED TO A 30 FOOT LENGTH MAXIMUM TO CONSTRUCTION JOINT. ADJACENT CONCRETE PLACEMENTS SHALL BE AFTER 72 HOURS OF CURING TIME.

5. MINIMUM PROTECTIVE COVER FOR CONCRETE REINFORCING STEEL SHALL BE AS FOLLOWS:

- A) UNFORMED SURFACES CAST AGAINST EARTH - 3 INCHES
B) FORMED SURFACES NOT IN CONTACT TO EARTH - 3/4 INCHES
OR EXPOSED TO WEATHER, WALLS AND SLABS,
#11 BARS OR SMALLER
C) FORMED SURFACES IN CONTACT TO EARTH
OR EXPOSED TO WEATHER, WALLS AND SLABS,
#6 TO #18 BARS - 2 INCHES
#5 AND SMALLER - 1 1/2 INCHES

CARPENTRY

1. ALL STRUCTURAL LUMBER SHALL BE GRADE STAMPED PER STANDARD GRADING RULES. UNLESS OTHERWISE NOTED, ALL STRUCTURAL LUMBER SHALL BE SPRUCE-PINE-FIR.
NO. 2 KD 15% INTERIOR.

2. NON-BEARING STUD WALLS SHALL BE STUD GRADE.

3. PLYWOOD SHEATHING SHALL BE DFPA GRADE STAMPED, TYPE CDS 5 PLY WITH EXTERIOR GLUE UNLESS OTHERWISE NOTED ON PLANS. WALLS SHALL BE A MINIMUM OF 1/2 INCH THICK SHEATHING AND FLOORS 3/4 INCH.

4. PRE-DRILL ALL HOLES FOR 20D AND LARGER NAILS AND LAG BOLTS.

5. DOUBLE TOP PLATES ON ALL EXTERIOR AND BEARING PARTITIONS (NOT OTHERWISE DETAILED). PLATES SHALL LAP 4'-0" MINIMUM AND 8'-0" MAXIMUM AT SPLICES. AND HAVE (14) 16D NAILS MINIMUM THROUGH EACH SIDE OF SPLICE.

6. SILLS AND ROOF BLOCKING SHALL BE PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES.

WOOD FLOOR & WALL SHEATHING

1. ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE "SIMPSON STRONG-TIE" SPECIFICATIONS.

CLIENT:

KEOHANE COMPANY LTD
BOSTON, MA

DRAWING NOTES:

1. EXISTING CONDITIONS MAY VARY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.

2. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF LEON A. BOMBARDIER. PE ANY USE WITHOUT WRITTEN CONSENT IS PROHIBITED.

ARCHITECT:

ROUGE DESIGN
JAMES CHRISTIANSON

OWNER:

BOMBARDIER
STRUCTURAL ENGINEERING

LEON A. BOMBARDIER, PE
Structural Engineer
131 Lincoln Street
Abington, MA 02351

email: bse05@verizon.net
phone: (508) 631-3332 fax: (781) 878-7986

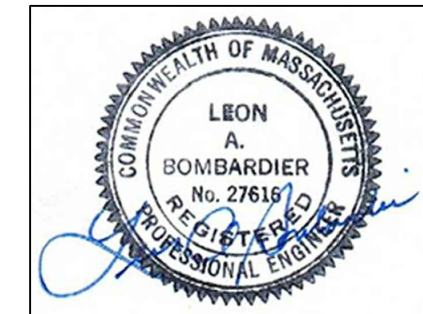
PROJECT:

RETAIL ALTERATIONS
7-9 SHORT STREET
RANDOLPH, MA

DRAWING TITLE:

BASEMENT
FOUNDATION &
FIRST FLOOR PLAN
& SECTIONS

STAMP:



OCTOBER 4, 2021

SCALE:
AS NOTED
DATE:
10/04/2021
DRAWN BY:
LAB
CHECKED BY:
LAB
PROJECT #:
2021-76

S-1



9 SHORT ST, RANDOLPH, MA

EXTERIOR RENOVATIONS



EXTERIOR RENOVATION CALL OUTS

1. Existing brick will be painted BM Amherst Gray HC-167 with contrasting accents of BM Black 2132-10. The rendering suggests the application for the paint.
2. Cut sheets have been provided for the front windows in this package of submittal.
3. Clapboard on the front of the building to be painted BM
4. Down lights on the front of the building are Cylinder Outdoor Up/Down Wall Sconce by Kichler, specs have been included in this packet.
5. The panel behind the front lights is the existing material, to be painted the BM Black 2132-10.
6. The new logo and restaurant sign will be applied the existing sign frame. Colors are black and white.
7. Fencing and gates at rear will be white vinyl 6'H x 8'W purchased from Lowes. Product information included in this packet.
8. The new rear decking and stairs will be pressure treated lumber material.
9. The porch railing will be deck mounted cable railing components, specs attached.









PORTAL INC.
10 TRACY DRIVE- AVON, MA. 02322

Section G, Item 1.

**SERIES
4600**

SERIES 4600

2" X 4-1/2" THERMAL FLUSHGLAZED FOR 1" GLAZING

INDEX:	1
ELEVATIONS:	2
JAMBS:	3
HORIZONTALS:	4
ALT. HORIZONTALS:	5
TRANSOM BARS:	6
CORNER POSTS:	7
SPECIFICATIONS & DESIGN DATA:	8

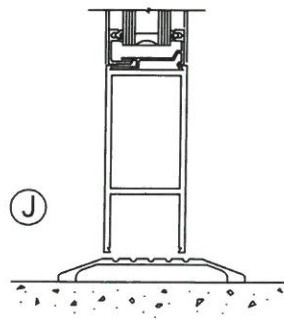
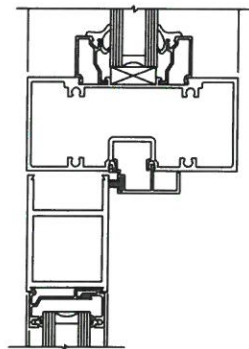
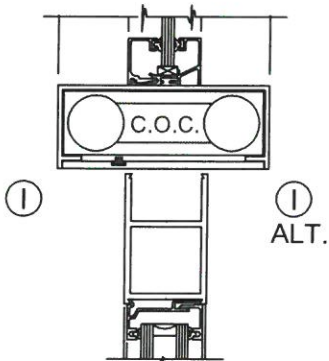
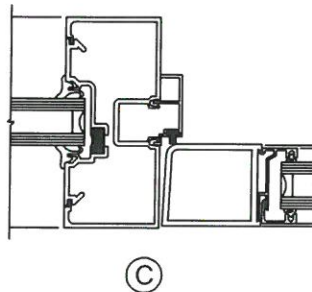
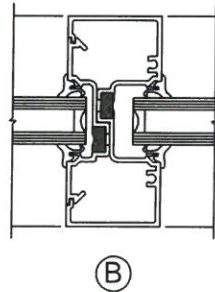
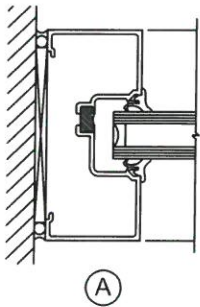
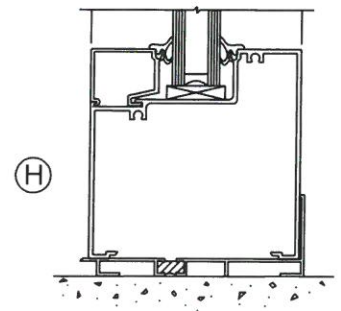
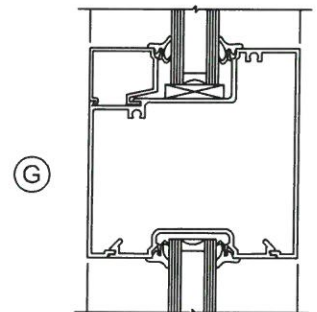
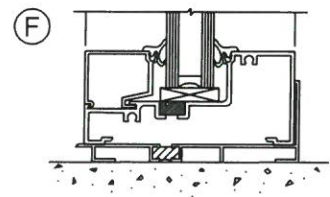
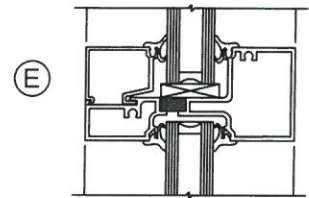
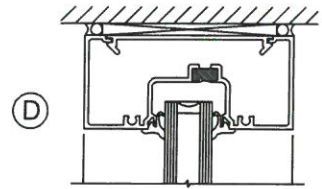
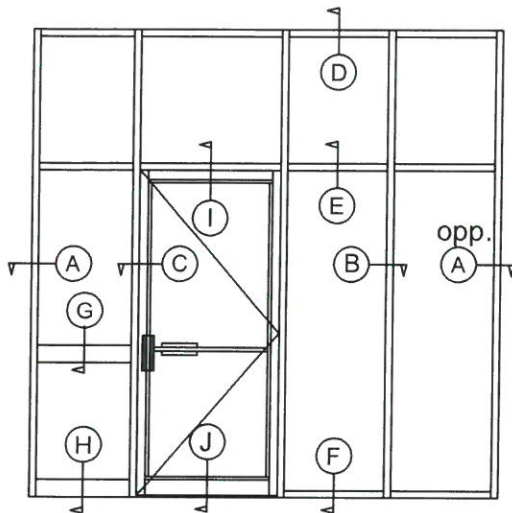


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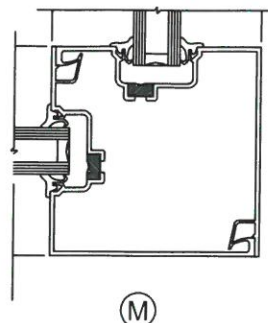
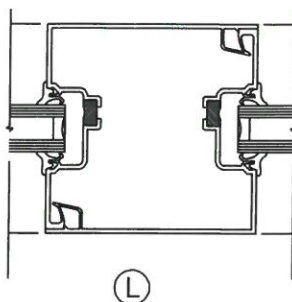
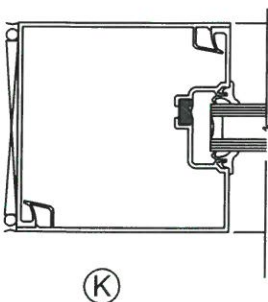
Section G, Item 1.

SERIES
4600

Quarter size details



CORNER POSTS:



PH: 800-966-3030 / www.portalincorporated.com

4600

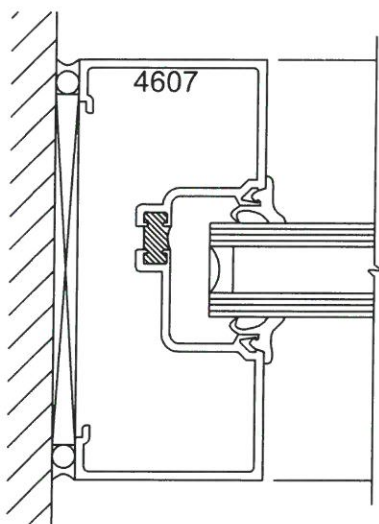


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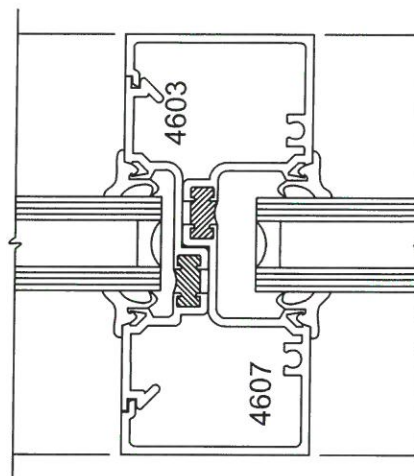
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**SERIES
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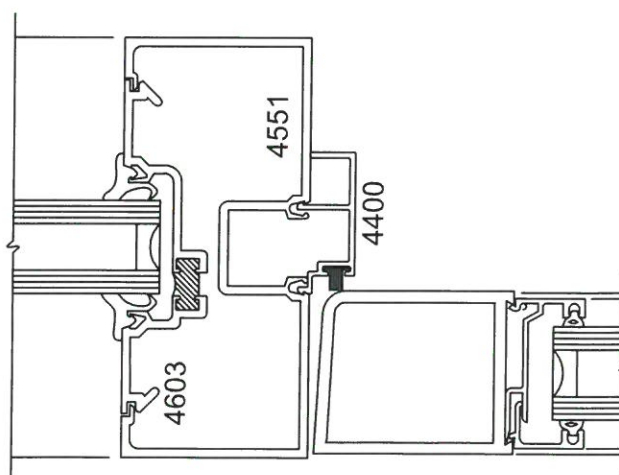
Full size details



(A) JAMB



(B) MULLION



(C) DOOR JAMB



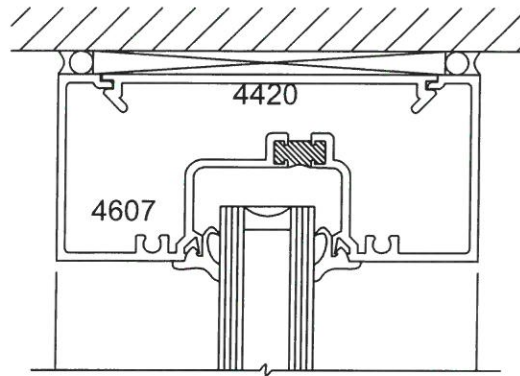
PORTAL INC.
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Section G, Item 1.

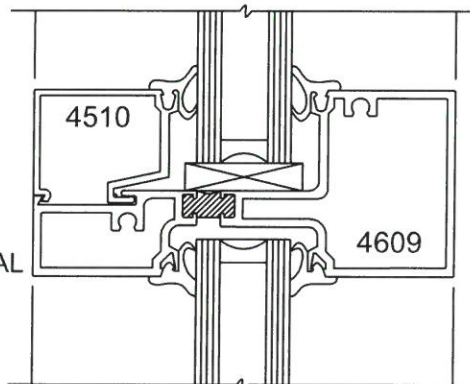
**SERIES
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Full size details

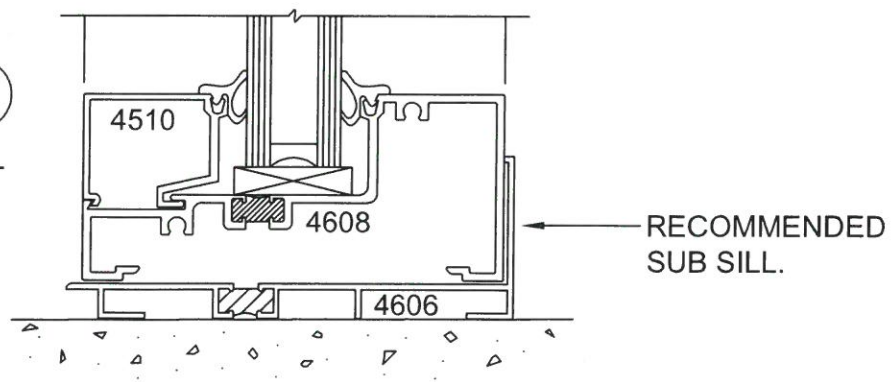
(D)
HEAD



(E)
HORIZONTAL



(F)
SILL





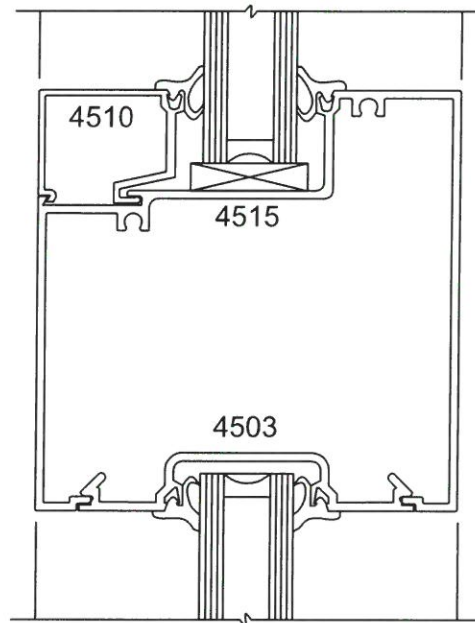
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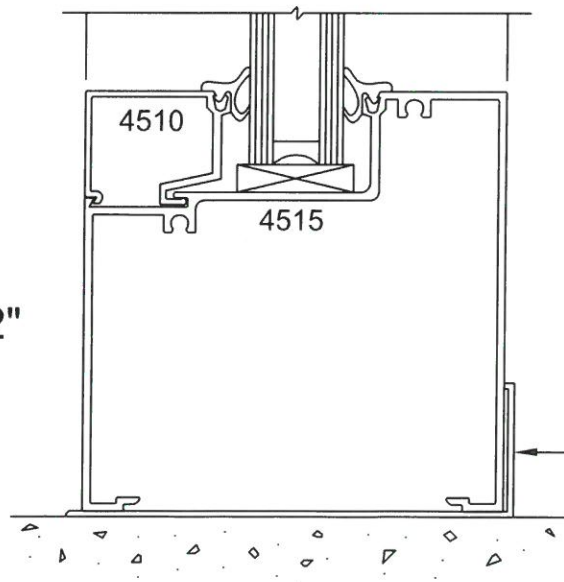
**SERIES
4600**

Full size details

(G)
4-1/2" X 4-1/2"
HORIZONTAL



(H)
4-1/2" X 4-1/2"
SILL



RECOMMENDED SILL
FLASHING #4406.

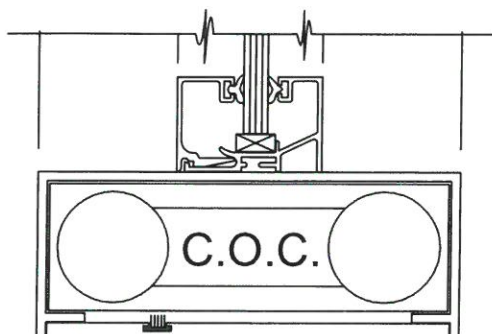


PORTAL INC.

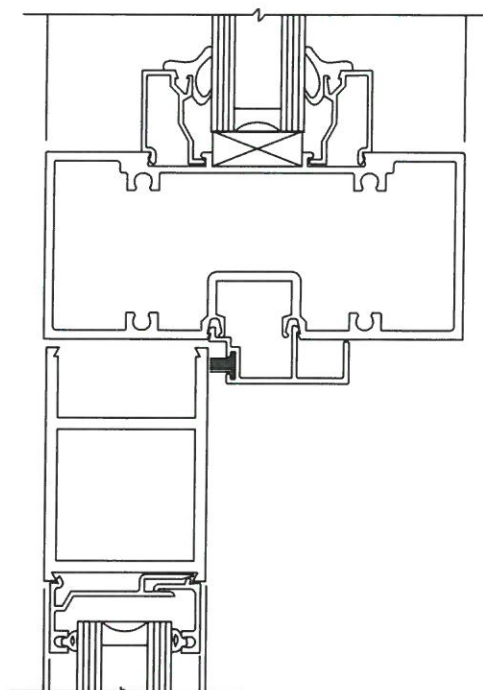
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SERIES
4600

Full size details

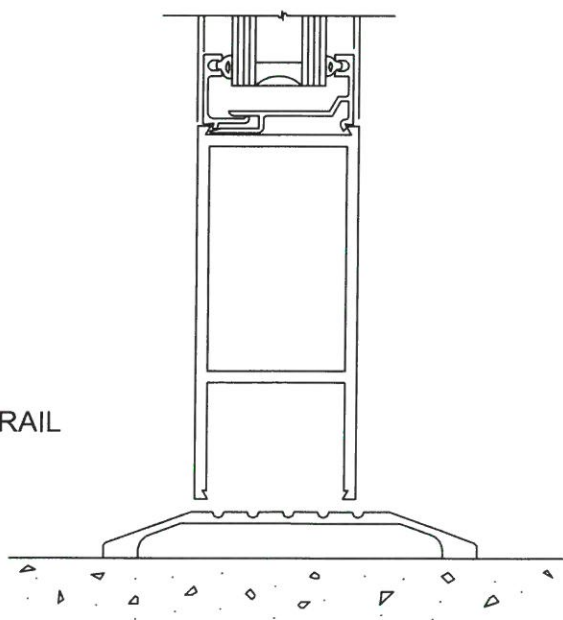


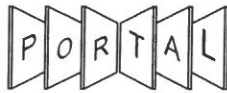
①
TRANSOM BAR



①
ALT.
TRANSOM BAR

②
BOTTOM RAIL



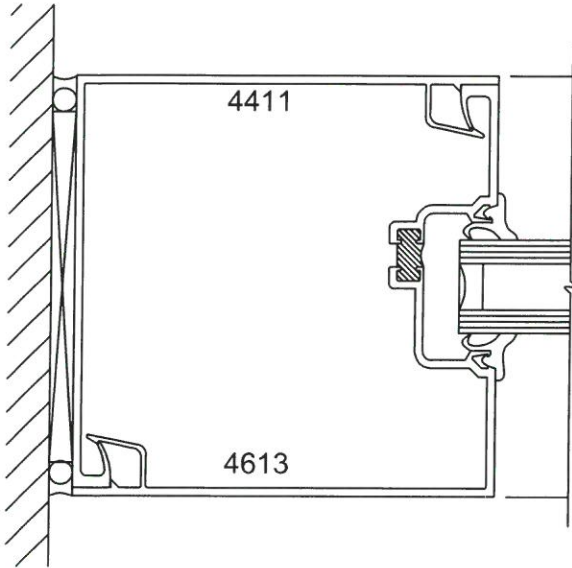


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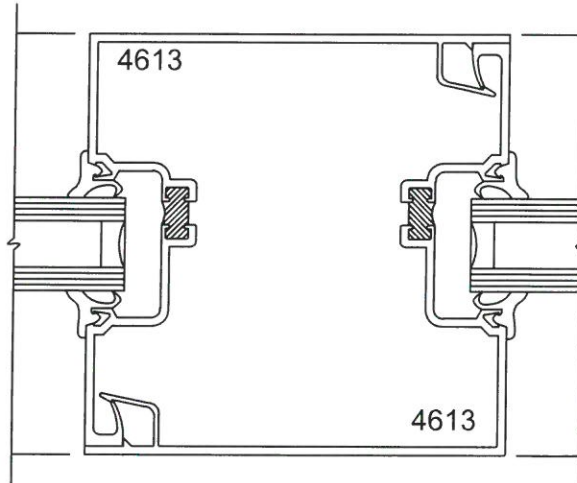
**SERIES
4600**

Full size details



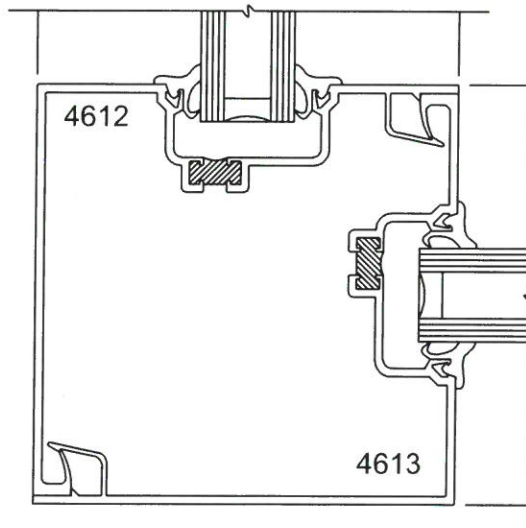
(K)

4-1/2" X 4-1/2" JAMB



(L)

4-1/2" X 4-1/2" MULLION



(M)

4-1/2" X 4-1/2" CORNER



PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

Section G, Item 1.

**SERIES
4600**

SPECIFICATIONS

SERIES 4600

1" THERMAL FLUSH GLAZING SYSTEM

1. GENERAL

DESCRIPTION:

WORK INCLUDED: Furnish all necessary materials, labor and equipment for the complete installation of aluminum framing as shown on the drawings and herein specified.

WORK NOT INCLUDED: Non-integrated structural support of the framing system, adjoining interior and / or exterior trim or flashing.

RELATED WORK SPECIFIED ELSEWHERE

QUALITY ASSURANCE:

Drawings and specifications are based on series #4600 as manufactured by Portal, Inc. Whenever substitute products are to be considered, supporting technical literature, samples, drawings and performance data shall be submitted for comparison prior bid date.

PERFORMANCE:

air infiltration shall be tested in accordance with ASTM 283, infiltration shall not exceed .06 CFM per square foot of fixed area. Water infiltration shall be tested in accordance with ASTM E 331. No water shall penetrate at test pressure of 6.25 PSF.

Structural performance shall be based on a maximum deflection of $\frac{1}{175}$ of the span when subjected to windload of 25 PSF.

2. PRODUCTS

MATERIALS:

Extrusions shall be of 6063 T5 aluminum alloy and temper per (ASTM B221 alloy G.S. 10A-T5) Exposed fasteners shall be aluminum, stainless steel or zinc plated steel in accordance with ASTM A164. Perimeter anchors shall be aluminum or steel properly isolated from the aluminum. Glazing Gaskets shall be either EPDM elastomeric or vinyl extrusions.

FINISH:

All exposed framing surfaces shall be free from scratches or other serious blemishes. Aluminum shall be given a caustic etch followed by an anodic oxide treatment to obtain (specify one of the following);

- . an architectural class 1 anodic coating conforming to Aluminum Association standard AA-M12 C22 A44 Dark bronze

or

- . a #100 clear anodic coating conforming to Aluminum Association standard AA-M12 C22 A31.

FABRICATION:

Horizontal heads, sills and intermediates shall be cut between two-piece interlocking vertical mullions and fastened to them with stainless steel screws into integral screw grooves in a concealed manner. One-piece vertical mullions shall have concealed shear blocks attached, to support horizontals when so specified. All cuts shall be made smooth square and true. Glazing beads shall snap in place and be flush. Nominal dimensions of framing members shall have a 1-3/4" face and depth of 4-1/2" with $\frac{5}{8}$ " wide glazing pockets for $\frac{1}{4}$ " glass.

3. EXECUTION

INSTALLATION:

All framing for glass shall be set in locations as shown in the details and shall be level, plumb, square and in alignment with other work in accordance with the manufacturers installation instructions and/or approved shop drawings. All joints between the framing and the building shall be securely sealed for a watertight installation.

PROTECTION:

After installation, the general contractor shall adequately protect exposed aluminum surfaces from damage by grinding and polishing compounds, plaster, lime, acid cement or other contaminants. The general contractor shall be responsible for final cleaning.

Outdoor Up/Down Cylinder Wall Sconce
By Kichler



Outdoor Up/Down Cylinder Wall Sconce
By Kichler

Product Options

Finish: Black,
Size: 12 inches

Details

Up and down light

Dimensions

12 inches Option Backplate: Width 4.5", Height 4.88"
12 inches Option Fixture: Width 4.75", Height 12",
Depth 7", Weight 1.95Lbs

Lighting

12 inches

Lamp Type	LED
Total Lumens	2100.0
# of Bulbs	2 (Not Included)
Bulb Type	11W BR30 E26
Volts	120
Color Temp	2700 (Warm)
Average Lifespan (Hours)	15,000
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	Yes



Notes:

Prepared
by:

Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:
<https://www.lumens.com/outdoor-up-down-cylinder-wall-sconce-by-kichler-KCH2190685.html>
Rating: UL Listed Damp

ITEM#: KCH2190685



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Search 

 **Warwick Lowe's** Open until 9 PM 

Deliv
0281



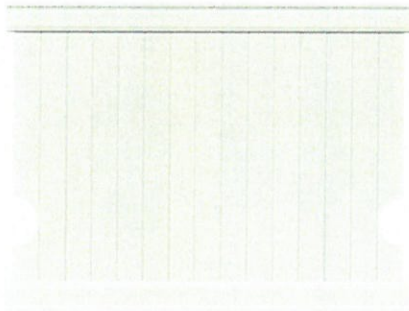
Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

[Building Supplies](#) / [Fencing & Gates](#) / [Vinyl Fencing](#)

Freedom Emblem 6-ft H x 8-ft W White Vinyl Fence Panel

Item #667016 | Model #73014714

[Shop Freedom](#) ★★★★★  15



TRENDING NOW

~~\$140.79~~ **\$99.98**

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3 monthly installments of \$33.34 with Lowe's Pay [Learn How](#)


Panel comes unassembled, assembly required
Kit includes top and bottom rail, infill boards
Panel will follow the slope of your terrain - up to 1 inch per foot

Pickup

Ready by **Tue, Nov 21 (Est.)**


Delivery

As soon as **Fri, Nov 24**

 **FREE Pickup at Warwick Lowe's**

— +

Maximum Qty of 30

 Lifestyle/in use images; accessories are not included

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Feedback

Freedom Emblem 6-ft H x 8-ft W White Vinyl Fence Panel **\$99.98**

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Building Supplies / Decking / Deck Railing Systems

CityPost Deck Mount 8-ft x 5in x 36-in Black Steel Deck Cable Rail Kit

Item #4661717 | Model #CP-8-B-D

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\$540.00

\$513.00 when you choose

5% savings on eligible purchases every day.

[Learn how](#)

OR

\$90/mo suggested

payments with 6 month special financing. [Learn how](#)



12 monthly installments of \$48.74 with Lowe's Pay [Learn How](#)

All parts included for a complete install with one purchase
Cable and hardware: marine grade 316 stainless steel
For 3-sided deck, simply order (3) kits that match side lengths

Pickup

Ready by Mon, Nov 27 (Est.)

Delivery

As soon as Mon, Nov 27

FREE Pickup at Warwick Lowe's

1

+

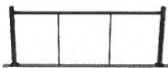
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Easy & Free Returns

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Here are some similar items ...



CityPost Deck Mount 8-ft x 5in x 36-in Black Steel Deck Cable Rail Kit \$540.00

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Deckorators

Contemporary cable 8-ft ...

\$93.58

CityPost Stair Deck Mount 6-ft x 5in x 36-in Black Steel Deck Cable Rail Kit

\$510.00

DOLLE InstaRail 72-in x 1-in x 24.5-in Stainless Steel...

\$110.86

CityPost Deck Mount 6-ft x 5in x 36-in Black Steel Deck Cable Rail Kit

\$510.00

Deckorators Pre-Assembled Aluminum 6-ft...

\$164.00

Trex Enhance 36-in Char...

\$164.00

Feedback



- All parts included for a complete install with one purchase
- Cable and hardware: marine grade 316 stainless steel
- For 3-sided deck, simply order (3) kits that match side lengths
- Modern sleek design in budget friendly kit
- 36 inch tall railing
- Unlimited railing combinations available in the dimension guide

 **HowTo Manual**
PDF

 **Installation Manual**
PDF

 **Dimensions Guide**
PDF

Specifications

General

Color/Finish Family	Black	Series Name	Deck Mount
Manufacturer Color/Finish	Black	Type	Cable rail kit

Dimensions

Actual Height (Inches)	36	Common Length (Feet)	8
Actual Length (Feet)	8	Common Width (Inches)	5
Actual Width (Inches)	5	Dimensions (L x W x H)	8-ft x 5in x 36-in
Common Height (Inches)	36		

Features

Assembly	Assembly required	Minimum Opening (Inches)	3
Baluster Material	Stainless steel	Orientation	Horizontal
Balusters Included	Yes	Post Caps Included	Yes
Cable Included	Yes	Post Sleeves Included	Yes
Green or Kiln-Dried	N/A	Posts Included	Yes
Hardware Included	Yes	Pressure Treated	No
Material	Steel	Rails Included	Yes

CityPost Deck Mount 8-ft x 5in x 36-in Black Steel Deck Cable Rail Kit **\$540.00**

[Shop CityPost](#)

★★★★★ 16





STAFF REPORT

File		Reported By	Michelle Tyler
Project Site	9 Short Street	Application Type	Tier 2 Site Plan
Site Visit Date	Multiple	Hearing Date	February 13, 2024

Project Summary

The applicant proposes modifications to an existing eating establishment including construction of a concrete pad for walk-in coolers, new covered egress, dumpster enclosure, lighting and architectural modifications

Zoning District

	Current Zoning	Existing Land Use
Subject	Crawford Square Business District	Restaurant/bar
North	Crawford Square Business District	Bank/Commercial building
South	Crawford Square Business District	Multiunit commercial use
East	Crawford Square Business District	Two-family residential
West	Crawford Square Business District	Multiunit commercial/retail

Documents Reviewed

- Application for Tier 2 review
- Existing plot plan and certified plot plan prepared by Farland Corp dated January 2023
- Site Plan Set prepared by Spaulding Tougias Architects, Inc. dated October 19, 2023
- Narrative summary with spec sheets (undated, preparer unknown)

Analysis

1. Summary of Land Use Designation

Crawford Square Business District (CSBD) - The Crawford Square Business District (CSBD) accommodates and encourages small-scale establishments offering a wide variety of goods and services. It also provides for family dwellings living in upper floors of business buildings. Intensive development oriented to pedestrians is encouraged.

2. Compliance with Regulations

- a. The parcel size is non-conforming with zoning. The Planning Board of 1986 endorsed an "Approval Not Required" separating a single lot that contained #9 Short Street and a two-family residence #13/15 Short Street. Said plan was never recorded at the Norfolk Registry of Deeds. The lot lost the 3-year zoning protection afforded by MGL Chapter 40A, section 6 and, as a result, became non-conforming with subsequent amendments to the Town's Zoning Bylaws/Ordinances.
- b. The proposed siting of the structure, height, side and rear setbacks comply with zoning.
- c. The front yard setback is pre-existing non-conforming.
- d. The proposed impervious lot coverage does not comply with zoning.
- e. The proposed green space requirement is not provided in the plan set for review.
- f. Off-street parking requirements are not met as the structure is pre-existing.

3. Consistency with Plans

There are no inconsistencies with the Comprehensive Master Plan last updated in 2017.

4. Compatibility with Surrounding Neighborhood

This parcel is within a commercial district and is compatible with most surrounding uses. The adjacent two-family residential structure is pre-existing. The layout and design of the structure and site have no negative visual impact to the street front and adjacent businesses. It may have minimal impact to the abutting residences due to the addition of refrigeration units.

Staff Comments**1. Plan Review**

- a. Pictorial renderings (page 4) depict a new door on the eastern side of the structure but there is no corresponding reference on the civil plans A-101). Either the civil plan or the pictorial renderings submitted should be correct to accurately indicate the intent.
- b. The plan set (A-101) indicated concrete sloping to a “private way”. There is no private way associated with the parcel. Plan notes should be corrected.
- c. The plan set (A-101) indicates the fencing is vinyl coated fence but the narrative with spec sheets calls out a fence panel. Either the civil plan or the pictorial renderings submitted should be correct to accurately indicate the intent.
- d. The plan set (A-101) calls out a drain at the landing but no plan set includes the placement of a dry well.
- e. The plans do not call out roof drains and how the run-off will be managed.

2. Conservation Commission Review

- a. The proposal does not lie within a floodplain nor near any known wetlands. A review by Conservation does not appear to be required.

3. Stormwater

- a. The project does not propose earth disturbance that would trigger a stormwater review and approval.

4. Department of Public Works

- a. The plan set references modification of the public right of way at the entrance to the structure. This work must be coordinated with the Department of Public Works to the Town’s specifications. The replacement of the entire sidewalk in front of the structure should be replaced with a concrete sidewalk and granite curbing with a 6” reveal.

5. Site Generated Noise

- a. The site is anticipated to produce minimally more noise than previous use only due to the introduction of exterior refrigeration units.

File Attachments for Item:

2. ANR - Wilmarth Road

PLANNING DEPARTMENT

FORM A**APPLICATION FOR ENDORSEMENT OF A PLAN
BELIEVED NOT TO REQUIRE APPROVAL**

Assessor Parcel ID	6439	Norfolk County Registry of Deeds	Book/Page or Certificate # 40247/286
Parcel Address	31 Wilmarth Road		

Applicant	ACL 31 Wilmarth Road LLC		
Address	15 Lincoln St, Ste 325		
Address2	Wakefield, MA 01880		
Phone	(781) 248-3077	Email	homes@ac-land.com

Surveyor/Engineer	CHESS Engineering LLC		
Address	126 John St, Ste 11		
Address2	Lowell, MA 01851		
Phone	(617) 982-3250	Email	info@chessengineeringne.com

If property owner is not the applicant, separate authorization from the owner is required

Property Owner	ACL 31 Wilmarth Road LLC		
Address	15 Lincoln St, Ste 325		
Address2	Wakefield, MA 01880		
Phone	(781) 248-3077	Email	homes@ac-land.com

PURPOSE OF PLAN
Explanation, purpose of plan and change to/from
The purpose of this plan is to divide existing parcel 6439 into two parcels of land.
Parcel A '35 Wilmarth' is a non-buildable lot as shown.
Parcel B '31 Wilmarth' is a buildable lot as shown.

Specify the reason why the Plan of Land is not a subdivision requiring approval by the Planning Board under the Subdivision Control Law (Select A, B, C or D - **choose only ONE**):

A

A. Each lot on the plan meets one of the following criteria (choose one) by having frontage and lot area required under the Zoning Ordinances for the district in which it is located:

- ☒ 1. A public way, or
☐ 2. A way which the Town Clerk certifies is maintained and used as a public way, or
☐ 3. A way shown on a plan approved and endorsed by the Planning Board under the Subdivision Control Law, recorded in Plan Book _____, Plan _____, or
☐ 4. A way in existence before the adoption of the Subdivision Control Law by the Town and which the Applicant believes is adequate for the way's proposed use, or
☐ 5. A way shown on a plan of a subdivision recorded at the Registry of Deeds or the Land Court prior to the adoption of the Subdivision Control Law: Plan Book _____, Plan _____.

B. Each lot has been clearly marked on the plan to be either:

- ☐ 1. Joined to and made part of an adjacent lot, or
☐ 2. Labeled "Not a Buildable Lot".

C. Each lot on the plan contains a building which existed prior to the adoption of the Subdivision Control Law.

D. The plan shows an existing parcel with no new lot division(s) and has frontage on a way described above.

The undersigned, believing that the accompanying plan of property in the Town of Randolph does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

Mark Mahan
Applicant **MARKING MEMBORA**
ALL 31 WILMINGTON ROAD LLC

01/23/2024
Date

PLANNING BOARD USE ONLY

Items Received: ☐ 5 print copies ☐ 1 Electronic File ☐ Owner Authorization

Date Received:

Fee Received: Amount _____ Check# _____ Date: _____

Reviewed by Engineering: _____ Date: _____

Reviewed by Assessor: _____ Date: _____

1018

51-1415/211

DATE Nov. 23, 2024

\$ 350.00

DOLLARS

Section G, Item 2.

⑆000016⑆ 4021114153⑆ 10335405⑈

APPROVAL IS NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW BY THE TOWN OF RANDOLPH PLANNING BOARD. NO DETERMINATION AS TO COMPLIANCE WITH ZONING REQUIRMENTS HAS BEEN MADE IF INTENDED

DATE:

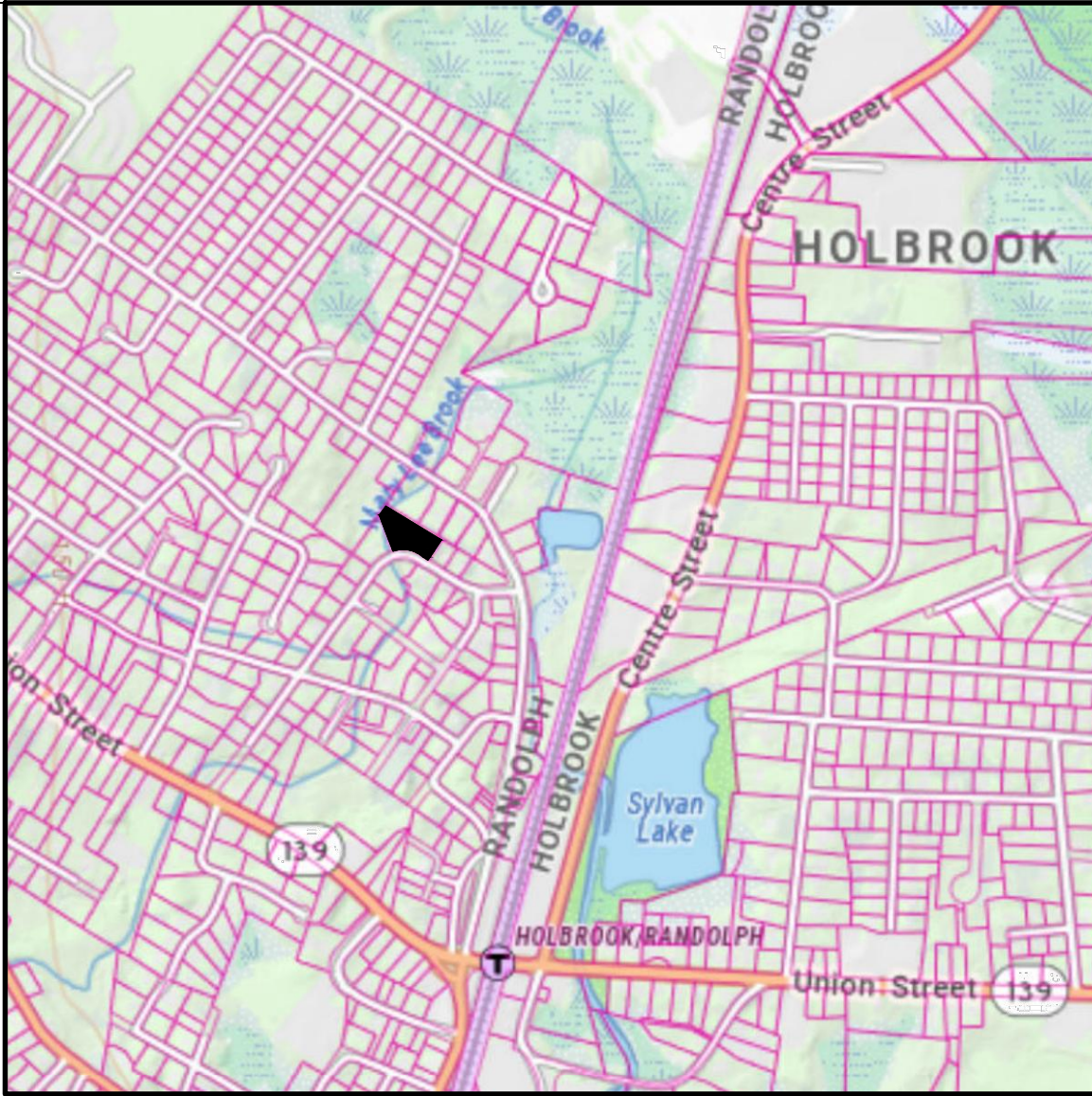
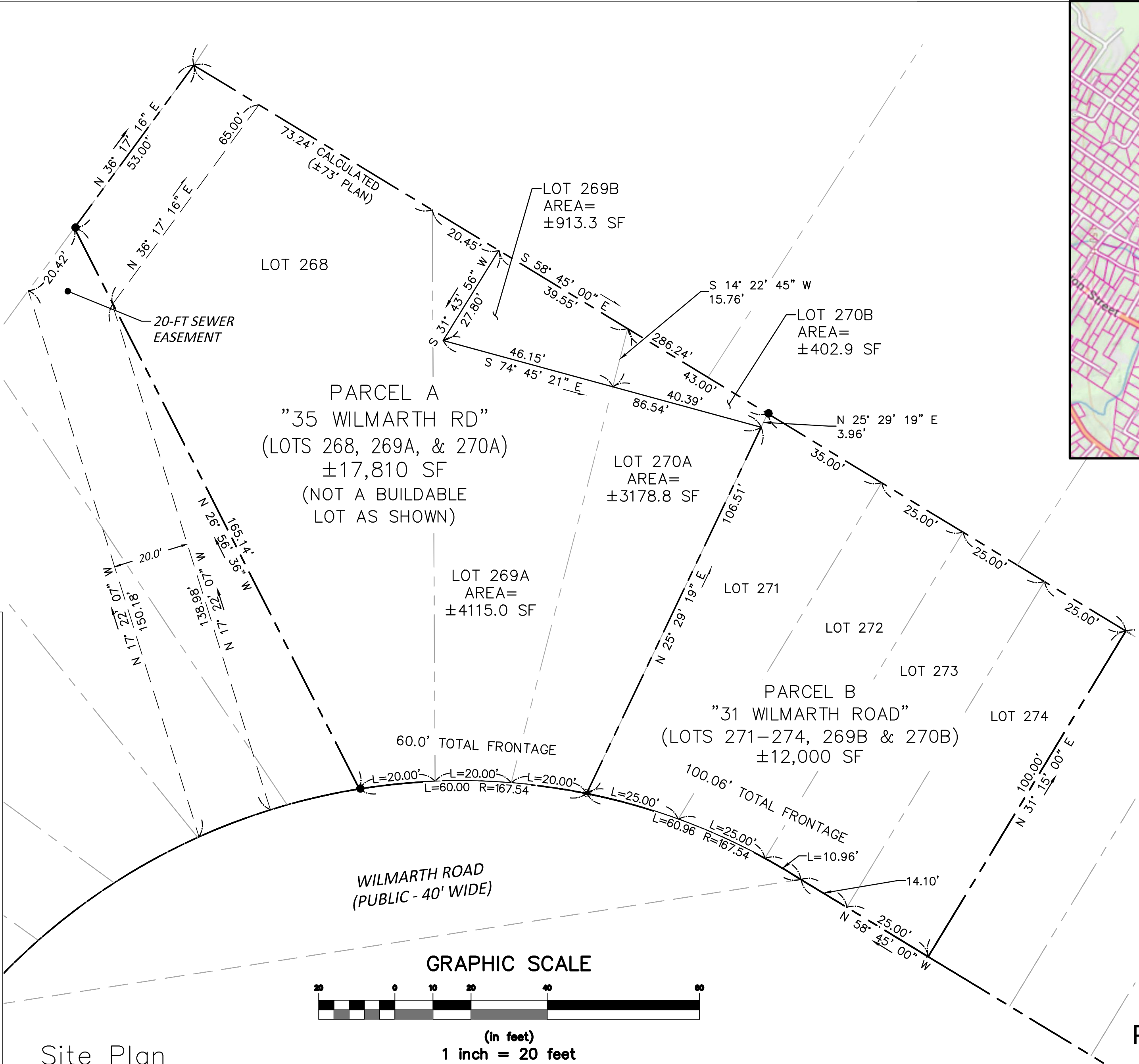
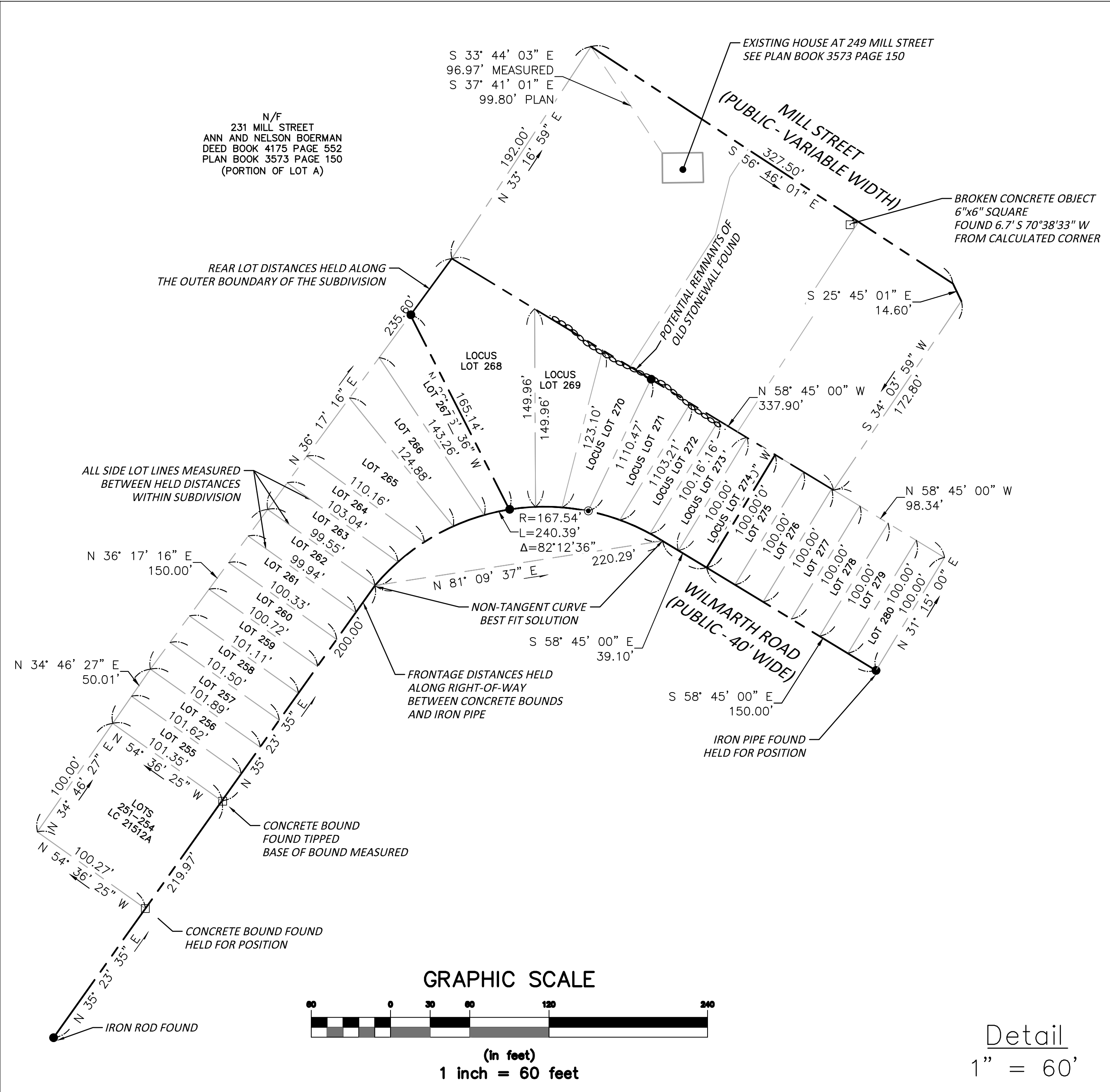
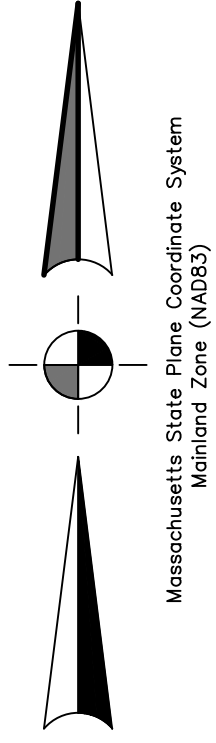
NAME:

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN WAS HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

SUBMITTED
DIGITAL REVIEW COPY

Paul Campbell, PLS #52781 Date: 1/23/2024



LOCUS
1"=800'

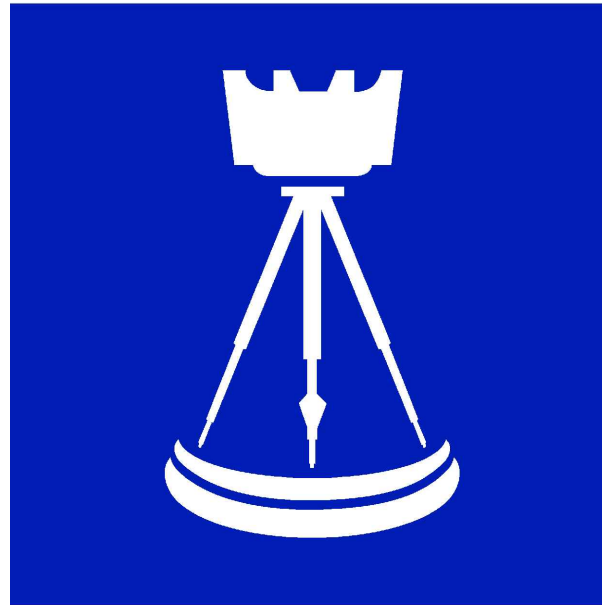
References:

1. Deed Book 40247 Page 286
2. Deed Book 39890 Page 261
3. Deed Book 38701 Page 502
4. Deed Book 34563 Page 443
5. Deed Book 34441 Page 581
6. Deed Book 23134 Page 113
7. Deed Book 17205 Page 41
8. Deed Book 4175 Page 552
9. Plan Book 96 Plan 4658
10. Plan Book 491 Page 693
11. Plan Book 3573 Page 150
12. Plan Book 4823 Page 650
13. Plan Book 5271 Page 700
14. Land Court Plan 21512-A

PLAN OF LAND
IN
RANDOLPH, MASSACHUSETTS
(NORFOLK COUNTY)

OWNED BY
ACL 31 WILMARTH RD LLC
SCALE: AS SHOWN DECEMBER 21, 2023

PREPARED BY



CHESS
ENGINEERING

PO Box 9480
Lowell, MA 01853
Phone (617) 982-3250
www.chessengineeringne.com

Survey Notes:

1. The Data Accumulation And Boundary Survey Depicted Hereon Were Obtained By A Field Survey On September 8 & November 2, 2023 By Chess Engineering, LLC. All Features And Objects Shown Are Existing As Of The Date Of The Survey Unless Otherwise Depicted As Proposed.
2. The Purpose Of This Plan Is To Provide A Plan Of Record In Accordance With MGL Chap. 41 Sec. 81P. This Plan Illustrates This Surveyors' Interpretation Of Observable Monuments, Obtainable Plans And Deeds Of Record, Witness Testimony, And Any Other Plans And Deeds Which May Affect The Locus Property At The Time And Date Of The Field Survey.
3. This Plan Does Not Show Any Unrecorded Or Unwritten Easements Which May Or May Not Exist. A Reasonable And Diligent Attempt Has Been Made To Observe Any Apparent, Visible Uses Of The Land; However, This Does Not Constitute A Guarantee That No Such Easements Exist. This Plan Has Been Prepared Without The Benefit Of A Title Report And Is Subject To Any And All Rights And Encumbrances That Such A Report May Disclose.
4. This Plan And Survey Were Prepared Using Conventional Survey Methods. A Leica TS16 Total Station Was Used Having A Minimal Accuracy Of 5" And 2 PPM.
5. All Improvements Shown Hereon Have Been Spatially Fixed To A Locational Tolerance Of Not More Than 1/10th Of The Plan Scale. Positional Tolerance Does Not Exceed Allowable Standards.
6. All Improvements Located Hereon Are Referenced To The Existing Buildings As Hereon Described.
7. Right-Of-Way Said To Be Public According To Town Clerk Or Their Designee. No Research For Local Acceptance Has Been Conducted As Part Of This Survey.
8. The Basis Of Bearings, Azimuths, And The North Arrow Shown Hereon Is The Massachusetts State Plane Coordinate System, Mainland Zone. A Leica GS-14 GNSS Receiver Was Utilized At A Starting Position USN2883496.6271 USE783553.7652 With A Scale Factor = 0.9999633
9. The Basis Of Elevations Shown Hereon Is The North American Vertical Datum Of 1988 Unless Otherwise Stated. This Plan Does Not Warranty Nor Guarantee The Accuracy Or Precision Of Any Information Provided By Any Record Information.
10. Plans Or Information Referenced Are Pertinent Surveys Of Record Describing The Subject Premises And Any Abutting Premises, On File At The County Registry Of Deeds Unless Otherwise Noted.
11. Scale of Drawing (As Noted) Intended For A 24"x36" Print Only.

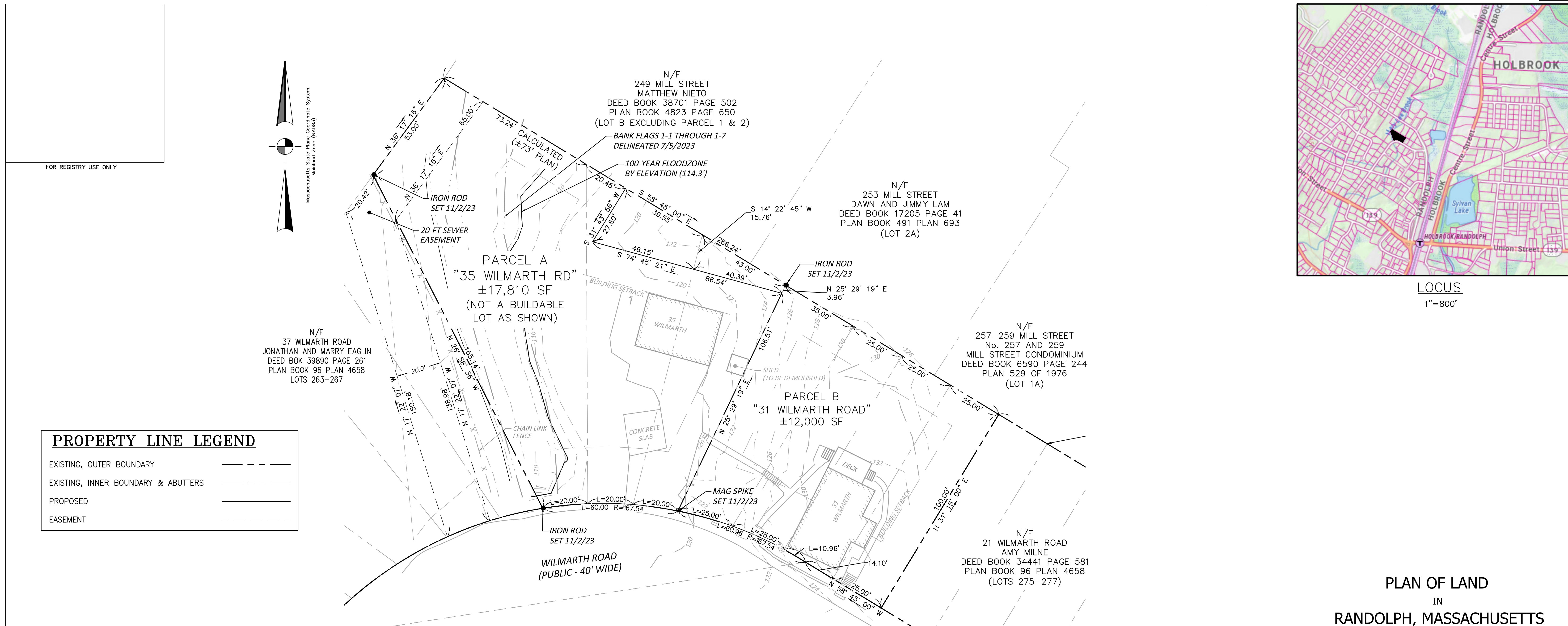
GENERAL NOTES:

LOTS 268, 269A, & 270A ARE TO BE COMBINED TO FORM PARCEL A.
LOTS 269B, 270B, 281, 272, 273, & 274 ARE TO BE COMBINED TO FORM PARCEL B.
PARCEL A IS NOT BUILDABLE AS SHOWN.

TOWN ATLAS MAP REFERENCES ARE TO THE TOWN OF RANDOLPH ASSESSOR DATABASE AS OF DECEMBER 13, 2023.

ZONING DISTRICT — RESIDENTIAL SINGLE FAMILY — HIGH DENSITY DISTRICT
ZONING MAP OF THE CITY/TOWN GIS SYSTEM, DATED 08/04/2023

A PORTION OF THE PROPERTY IS WITHIN F.E.M.A. FLOOD PLAIN DISTRICT — ZONE AE (SEE FLOOD INSURANCE RATE MAP PANEL NO. 25021C0217E, DATED JULY 2012)



ZONING COMPLIANCE TABLE

DIMENSIONAL REQUIREMENTS – RESIDENTIAL SF HIGH DENSITY

THE INFORMATION SUMMARIZED SHALL ONLY BE USED FOR
THE PURPOSES OF ANR ENDORSEMENT IN ACCORDANCE WITH
TOWN OF RANDOLPH PLAN BOARD RULES AND REGULATIONS
EFFECTIVE DATE 1/28/2020 SECTION III.D.

PER 250 CMR 5.03(13), FULL COMPLIANCE WITH THE ZONING
BYLAW OR ANY GENERAL BYLAW OF THE TOWN OF RANDOLPH
FOR THE PROPERTY SHOWN IS EXCLUDED FROM THE
PROFESSIONAL LAND SURVEYOR CERTIFICATION.

	REQUIRED	31 WILMARTH	35 WILMARTH
MIN. LOT AREA	12,000 S.F.	12,000 S.F.	17,810 S.F.
MIN. FRONTAGE	100'	100.06'	60.0'
MIN. LOT WIDTH	75'	±102'	±83'
MIN. LOT DEPTH	100'	>100'	±140'
MAX. BUILDING COVERAGE	20%	10.1%	4.6%
IMPERVIOUS AREA	5%	4.8%	4.9%
COMBINED	25%	14.9%	9.5%
MIN. FRONT YARD	25'	2.2'	65.8'
FRONT STREET	25'	<25'	>25'
SIDE YARD	15'	20.2'	15.0'
REAR YARD	15'	57.1'	15.0'
MIN. BUFFER – RESIDENTIAL	10'	10'	10'
MIN. BUFFER – STREET	10'	22'	10'

GRAPHIC SCALE

(In feet)
1 inch = 20 feet

APPROVAL IS NOT REQUIRED UNDER THE SUBDIVISION
CONTROL LAW BY THE TOWN OF RANDOLPH PLANNING
BOARD. NO DETERMINATION AS TO COMPLIANCE WITH
ZONING REQUIRMENTS HAS BEEN MADE IF INTENDED

DATE:

NAME

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
IN CONFORMITY WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

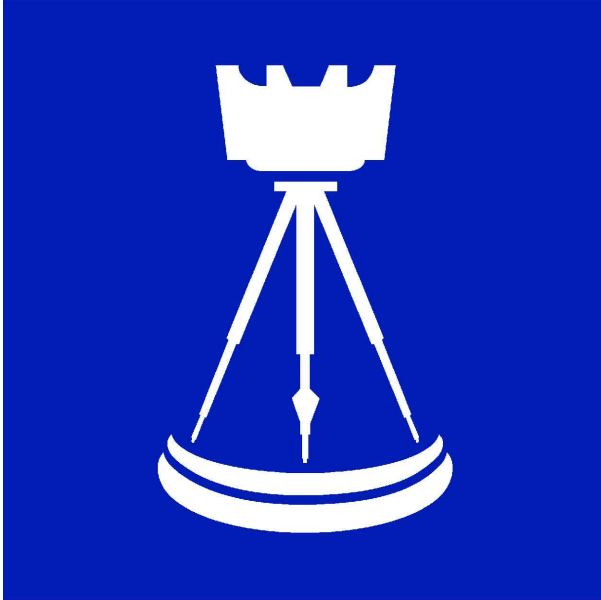
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