



PLANNING BOARD MEETING

Tuesday, February 20, 2024 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

AGENDA

Pursuant to the temporary provisions pertaining to the Open Meeting Law, public bodies may continue holding meetings remotely without a quorum of the public body physically present at a meeting location until March 31, 2025. The public is invited to participate in the meeting in person, via telephone or computer.

A. Call to Order - Roll Call

B. Chairperson Comments

C. Approval of Minutes

1. Minutes of 1/23/2024

D. Public Speaks

E. Public Hearings

F. Old/Unfinished Business

G. New Business

1. Site Plan & Design Review - Short Street

2. ANR - Wilmarth Road

H. Staff Report

***Active Subdivision Review**

***Active Project Review**

***Upcoming Projects**

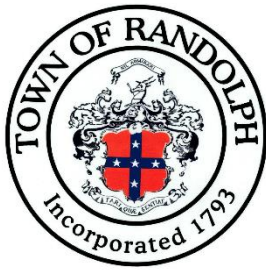
I. Board Comments

J. Adjournment

Notification of Upcoming Meeting Dates

File Attachments for Item:

1. Minutes of 1/23/2024



PLANNING BOARD MEETING

Tuesday, January 23, 2024 at 6:00 PM

Town Hall - 41 South Main Street Randolph, MA 02368

MINUTES

Pursuant to the temporary provisions pertaining to the Open Meeting Law, public bodies may continue holding meetings remotely without a quorum of the public body physically present at a meeting location until March 31, 2025. The public is invited to participate in the meeting in person, via telephone or computer.

A. Call to Order - Roll Call

Chairman Plizga called the meeting to order at 6:03 PM.

PRESENT

Alexandra Alexopoulos
Tony Plizga
Araba Adjei-Koranteng
Peter Taveira
Lou Sahlu

B. Chairperson Comments

Chairman Plizga welcomed new member Araba Adjei-Koranteng to the Board.

C. Approval of Minutes

1. Minutes of 12/12/2023

The Board approved the minutes of December 12, 2023 as presented.

Motion made by Plizga, Seconded by Sahlu to approve the meeting minutes of December 12, 2023.

Voting Yea: Alexopoulos, Plizga, Sahlu

Voting Abstaining: Adjei-Koranteng, Taveira

D. Public Speaks

Town Councilor Jessie Gordon of 52 West Street wanted to clarify for the community that there are two separate projects located on Scanlon Drive. Chairman Plizga confirmed that the projects are unrelated. The project on the southern side has been approved for Yankee Bus Lines and the proposed project to the north for Maxim Crane.

E. Public Hearings

1. Scanlon Drive - Site Plan, Design and Stormwater Review (6:30 PM)

Chairman Plizga opened the public hearing for Scanlon Drive - Site Plan and Design Review and Stormwater Review by reading the public notice into the record. Public notice was published in the Patriot Ledger on January 6, 2024 and January 13, 2024.

Planner Tyler provided an overview of the project. Board members received a set of plans along with reports for stormwater management, traffic and a narrative about the project including building elevations. The project will take place at the property known as Lantana and adjacent land located in the Blue Hill River Highway District. A portion of the project is required to serve as only surface parking as part of a land agreement with DCR. Phase one of construction will be discussed tonight.

The project is subject to Stormwater review. Once that has been analyzed and approved by the Stormwater Authority they can apply for permits. The project has been sent out for peer review with Weston and Sampson.

The project requires a discontinuance of a portion of High Street by Norfolk County Town Council and discontinuance or realignment of Billings Street by the Town Council. Any denials that would impact the development would force the project to come back before the Planning Board for review. The project also requires lot consolidation by ANR.

Planner Tyler turned it over to the project team for introductions and presentation.

Jeff Ganguly, attorney with Foley Hoag LLP, representing Core Investments introduced the team: Art Campbell of Core Invest, Applicant and Developer; Dave Kadish of Stantec Architecture, Architectural Design; and Andrew Street, Vertex, Civil Engineer.

Approvals required for the project:

- Billings Street Discontinuance
- High Street Discontinuance
- Approval Not Required - lot consolidation plan to restructure lot lines.
- Site Plan Review - reviewed during the hearing
- DPW Stormwater Review - underway
- Conservation Commission Review - in the process of confirming whether the project requires ConCom review.
- MEPA - applicant anticipates they will not need a MEP review
- MassDOT Approvals based on location of 128 there will be a MassDot approval required
- DCR - Approvals
- Fuel Tanks Storage (AST) Permit
- Permits (Building, Demo, ...)

Existing Conditions

The site is made up of 43 Scanlon Drive, 6 Billings Street and a series of High properties: 486, 494 and 493 High Street and another lot which is the undeveloped portion.

Dave Kadish of Stantec showed the Board a plan of the Existing Conditions and a plan with an overlay of the parcel uses. He explained that the focus for the hearing tonight is on the Maxim Crane site/parcel A.

Parcelage Uses:

Assemblage A: Maxim Crane site

Assemblage B: future phase/project

Assemblage C: future DCR trailhead

Assemblage D: houses an existing cell tower that will remain

Overall Site Plan/Renderings

The building will be a gray metal building with lush landscaping. The crane yard and employee parking are located to the west.

Engineering/Stormwater Management

Andrew Street of Vertex noted that there was a geotechnical study with borings on site to understand what is underground as well as test pits to understand what is needed on site for stormwater management systems. They have wetland scientists defining the possible resource areas. There have been ongoing discussions with the Conservation Commission regarding any permitting that may be required. Traffic studies have been completed.

Mr. Street showed the Board the proposed water management system for parcel A and noted that there is a culvert that passes through parcel B.

There will be erosion control around the perimeter of the site to capture any sediment run off.

Utility Layout

There will be a looped water system that wraps around the site to ensure adequate flow. For the Maxim property/parcel A, the sewer will come in on the Scanlon side. For parcel B, phase 2, the sewer pipe will need to be relocated.

Snow Storage Plan

Snow storage is marked on the plan in the crane yard area.

Fuel Storage

Details to be determined at a later date.

Fire Apparatus; Discontinuance of Billing Street

Captain Austrino of the Randolph Fire Department was present to discuss the fire apparatus access to parcel/building A. The plans for parcel A require an update to the

truck turning diagrams to reflect updated fire apparatus specifications. Once the correction is made, the fire department sees no issue with the proposal for parcel A.

For parcel B, the Fire Department has concerns about the discontinuance of Billings Street. The discontinuance would limit their access to the hotel sprinkler room located on the north side of the building at 1374 North Main Street. It would also eliminate a turnaround for fire apparatus on the property.

Dave Kadish of Stantec noted that they are working on updates to the plans for both parcel A and B to address the Fire Department's concerns.

Correspondence

The Planning Board received a letter on behalf of hotel management from Mr. Patel. He wrote with concerns about discontinuing Billings Street as it serves as a major access point to their property and to eliminate it could pose a safety issue. Planner Tyler recommended that Mr. Patel send correspondence to the Town Council as they will be holding the hearing for the road discontinuance.

Public Speaks/Comments

Joe Burke of 54 Hills Street has concerns over weight of the cranes being stored on the property and the effect on water/sewer. He pointed out troubles they had in the past on Pond Street for the water treatment plant from Sears. Mr. Burke asked if they can't put the crane company there, what can they put there?

Mr. Street said they have separators designed to capture run-off with a trench drain that goes to oil and gas separators before it's discharged. Chairman Plizga explained that the applicant can build whatever they want on the site as long as it complies with the Town's Zoning Regulations.

Steve Newton of 8 Waldo Street asked if the Town Council has approved the taking of a portion of High Street and the discontinuance of Billings Street for this project?

Mr. Plizga replied they have not and the portion of High Street will need to go before Norfolk County.

Mr. Newton has concerns that the applicant is putting the cart before the horse in that they are eliminating a portion of High Street for Parcel A with no real design or proposed use for Parcel B. He is also concerned about the traffic volume and the size of the vehicles flowing in and out of the property and believes it will be quite difficult for a crane to manage the turn at the light by the gas station coming off of Rt 28. Mr. Newton asked what considerations have been made regarding off hour access to the property (regular hours 6:00 am - 7:00 pm). Mr. Newton also inquired if the new bus terminal was taken into consideration regarding traffic?

Mr. Street noted that the traffic consultant was not available this evening, but that is something they can provide greater detail on at a future meeting.

Art Campbell noted that he does not anticipate expanded hours of operations outside of normal business hours. Planner Tyler noted that hours of operation are not under

the purview of the Planning Board. The applicant would need a special permit for 24-hour operation.

Planner Tyler participated in a road safety audit in December along Rt 28 looking at ways that stretch of road can be improved with regard to traffic and accidents in the area.

Sue Baker of 21 Mitchell Street has concern about light pollution the project brings to the area.

Mr. Plizga replied that they have not submitted lighting plans, but that they will have to meet regulatory requirements.

Town Councilor Jesse Gordon of 52 West Street spoke on behalf of the Friends of the Blue Hills in favor of the proposed DCR trailhead to Smith Trail and is pleased with the proposed plans for that area.

Joe Burke of 54 Hill Street asked how the public would know when they are going before Norfolk County?

Planner Tyler said they provide public notice for their hearings. It will be on a public notice for the Town Council meeting.

Hearing no further questions, Chairman Plizga closed the Public Speaks portion of the hearing.

Planning Board Discussion

Existing Conditions

The applicant will be seeking a discontinuance of roads and an ANR to combine and reorganize the lots accordingly.

Chairman Plizga scanned through the soils report and wonders if there are any EPA issues on the site presently? Mr. Campbell replied there are not.

Chairman Plizga asked the age of the house on site? Planner Tyler will find the age noting that if it is over 100 years it would be reviewed by the Historic Commission.

The applicant will provide an easement to the existing Cell Tower. Chairman Plizga requested the easement be shown on the plans. Mr. Kadish will update the plans. The applicant ensures uninterrupted access to the cell tower during construction. Ms. Adjei-Koranteng asked if there would be any cell service disruption during construction? Mr. Campbell said there would be no downtime.

Demolition Plan

All existing structures will be raised and done in phases beginning on Parcel A, then Parcel B.

Ms. Adjei-Koranteng asked what measures would be taken to protect the surrounding properties during demolition? Chairman Plizga said he did not believe there would be

a need for any blasting, but that would be done under state regulations, if necessary. Mr. Street does not anticipate any disruption to the roadways during the demolition phase.

Mr. Taveira asked if the rock in the area of the trailhead parking will need to be blasted? Mr. Street believes the rock may be able to be ripped out versus blasted. A wall may be necessary to balance the grading difference. The area will be fenced for privacy as well as safety.

Fire Apparatus Plan

Chairman Plizga asked Captain Austrino if any new fire hydrants would be necessary? Captain Austrino replied that what has been presented is sufficient.

There was a discussion about gates on the Maxim Crane property and the cell tower property. The Maxim site will be gated and the cell tower area will remain gated as well (around the site itself - not the easement).

Mrs. Alexopoulos noticed that the snow storage area appears to be along the access area between the buildings on parcel A & B and asked for clarification. Mr. Street noted that the snow storage area could potentially change as the plans for Parcel B are further developed. Fire would have access between the Maxim building and the diagrammatic building on parcel B.

Chairman Plizga pointed out that Fire and DPW require separate taps for fire protection and water.

Captain Austrino noted that any gates that go up will need to be done in coordination with the Fire Department to ensure they have access through them.

Mr. Taveira asked Captain Austrino about the approval process for onsite fuel storage on site? Any fuel storage over a certain limit will need to go before the licensing board for approval and require permitting by the Fire Department. Once the project is further along, the applicant provides the Fire Department with a Hazard list by which they determine what permits and licenses they may need. The location of the storage tanks would be approved by the Licensing Board and DEP. The Fire Department would oversee the construction/installation of the tanks.

Stormwater Management

The Board will defer to the Stormwater Authority and the Peer Review.

Final Grading and Drainage

Under the purview of the DPW and Stormwater Authority.

Utilities

The utilities will be located underground. EV charging stations will likely be installed, with further details to follow.

Easements

Possibly one for the DCR parking area. One for access to the cell tower.

Lighting Plan

Not available on the current plan. Chairman Plizga requested the update on the next plan set.

Signage

Chairman Plizga requested demarcation of directional signage on the next set of plans.

Fuel Pad

Chairman requested fuel pad details on the next plan submittal including the dimensions, details and if it includes a curbing to contain any spills.

Site Layout Plan

Chairman Plizga requested the following be added to the next revision: building footprint dimensions, gates, EV charging spaces, dumpster locations (showing fencing, if any), fence details, transformer location, erosion control (shown on an individual sheet or on the site plan). Mr. Taveira requested they include any plans for renewable energy on site such as solar or infrastructure for future installation. Chairman requested a zoning matrix be shown on the cover sheet for parcel A, with a separate matrix for parcel B. Planner Tyler pointed out the lots for DCR parking and cell tower parcels would be listed as non-buildable, therefore no need to provide a matrix for those parcels.

Ms. Adjei-Koranteng asked if the Maxim employee parking could be used during off hours for the DCR trailhead access? Parking for the DCR will be limited to designated spots for trailhead access.

Mr. Taveira asked about the types of cranes stored on site and if they would be stored in an upright position? Mr. Campbell said that Maxim Crane's uses two types of cranes: tower cranes (assembled & disassembled and stored in pieces) and crawler cranes situated on a truck chassis flattened behind the fence line. Mr. Campbell feels that between the height of the building, fencing and landscaping, views of the cranes will be limited. Mr. Taveira asked the Board if they would be interested in putting a height restriction on anything stored there? As a point of order, Planner Tyler noted that is beyond the Board's purview. The Board could not restrict the type of equipment stored at that site, as it is allowed by right. Mr. Kadish pointed out that the site will be heavily landscaped to keep visibility of cranes low. Mr. Campbell pointed out that the site will also be used to store shrink wrapped parts such as air handlers etc.

Traffic Study

There were some notes in the traffic study about some ADA improvements at nearby traffic lights. Chairman Plizga asked the applicant to be prepared to discuss improvements they would be willing to make. Planner Tyler noted that it would fall under MASSDOT control (on Rt 28), that's not to say they couldn't coordinate with

them on it. Chairman Plizga would like Maxim to limit their use of High Street moving the cranes by using Scanlon to access the highway.

Planner Tyler outlined the items to be reviewed at the next hearing:

- The Board will review architectural and landscaping plans at the next meeting.
- Planner Tyler summarized open items to be discussed further at the next meeting:
- Updated Fire Apparatus Plan
- Details on proposed gates
- Utilities - water - separate taps for water and fire protection
- Lighting for the site including photometrics
- Directional Signage
- Fuel pad details including any curbing that would need to be installed to contain spills.
- Add building dimensions on the site plan
- Identify EV spaces on site with intended level of charge (at all locations - Maxim and DCR)
- Call out any dumpsters or trash enclosures on site
- Call out the details of the fences (height, type)
- Transformer location on site and if there is intention to install bollards for protection.
- Call out erosion control on the plan.
- Have traffic consultant/engineer available to address question at the next meeting
- Be prepared to discuss any renewable energy plans for the site
- Landscape plan
- Identify parking space sizes on the plan
- Color samples for building materials

Motion made by Plizga, Seconded by Taveira to continue the Public Hearing for Scanlon Drive to February 27 at 6:30pm.

Voting Yea: Alexopoulos, Plizga, Adjei-Koranteng, Taveira, Sahl

F. Old/Unfinished Business

G. New Business

1. Discussion about potential renovations to 334 Center Street

Planner Tyler received a request for a casual discussion before the Planning Board for potential renovations to 334 Centre Street, currently known as Bova's.

Planner Tyler introduced engineer Sean Hardy of Hardy and Mann Design Group to speak on behalf of the potential project. Mr. Hardy explained that the building is situated on a small lot with little parking. The owner would like to expand by adding a second level for office space and storage. Parking may be an issue in order to meet the number of required spaces. It is a family owned business with 2-3 employees there at a time. Mr. Hardy wanted to run the proposal by the Board before moving forward.

Chairman Plizga asked what the first floor would be used for? Mr. Hardy explained that the first floor would remain a kitchen but would be modernized to enhance operations. Chairman asked if the building encroaches across the property line. Mr. Hardy doesn't believe so - a survey would be needed. The Board discussed zoning and whether or not the property is pre-existing non-conforming. Planner Tyler recommended a check-in with the Building Commissioner for review.

Pat Fisher of Fisher Associates, Inc., the architect for the project provided a memo to the Board. The summary described the property as an existing wood framed building on a partial foundation with a sloped roof containing a bakery for off-site bread sales containing 1,418 square feet of space on 4,800 sq ft lot. The space within the building currently contains bakery, storage, sales floor, toilet room and mechanical space. The proposed second story addition will be 1,400 sq ft with private offices, additional bakery space, and one toilet room with exit stairs for the second floor on the exterior of the building. First floor will be renovated with a baking dumb waiter installed in a fire rated enclosure between the floors. Bakery is seasonal – 6-month use. Office space is year-round.

Planner Tyler was able to confirm that the property is located in the Business District which requires a minimum of 12,000 square feet, which would likely require ZBA review/approval. Planner will forward the details to the Building Commissioner for review.

2. Subdivision - Perry Estates - Request for Extension

Planner Tyler received a request from Mike Perry for an extension for completion of the subdivision known as Perry Estates set to expire in May of 2024. Due to health issues the one lot subdivision approved in 2022 remains incomplete. The driveway became the road and the street sign "Toby Lane" has gone up but no construction has taken place.

Chairman Plizga suggested an 18-month extension. He asked if the Board members had any questions before making a motion. Mr. Taveira asked if the owner switched his ownership to a living trust prior to completion if that has any impact on Planning Board? Planner Tyler explained that under Subdivision Control Law the subdivision can be transferred without notifying the Planning Board, as the decision runs with the land.

Motion made by Plizga, Seconded by Alexopoulos to move the completion date from the current date of May 10, 2024 to November 1, 2025.

Voting Yea: Alexopoulos, Plizga, Taveira, Sahl

Voting Abstaining: Adjei-Koranteng

H. Staff Report

Active Project Review

33 Mazzeo Drive (Splash Car Wash)

Transformer is being installed and should be opening late winter early spring.

259 Allen Street (Convenience Store)

Interior nearing completion. Anticipated Spring opening.

647 North Main Street (Daycare)

Mass DOT has asked for an extension of the sidewalk related to where the lights are which will take place this spring prior to opening.

34 Scanlon Drive (Yankee Bus Lines)

Received a minor change to the site plan to swap some green space for parking - a 1:1 swap. Also, a minor modification to the building to accommodate their fueling system.

MBTA Zoning

The consultant has taken all the feedback from the four workshops that were held and put them on a map to identify potential districts. They are now applying our zoning density to determine if we comply using our existing zoning density. If not, changes to existing zoning will need to be established to bring the town into compliance.

Zoning Recodification

Funding is available for economic development for zoning recodification. The town will use Fisher Associates. Town Manager will be appointing a committee with members from ZBA, Planning, Town Council and the Building Commissioner as well as ad hoc participation by other municipal staff. This is roughly an 18 month project. Kick off meeting is anticipated for March.

Mill Street Subdivision Denial Appeal

The Mill Street Subdivision denial has been formally appealed and will go before Superior Court. Outside Counsel has been retained. The water line is still an issue. Planner will be meeting with interim DPW Superintendent Blythe Robinson, Town Engineer Jean Pierre-Louis and Neil Crowley, Water and Sewer Supervisor to discuss any other possible solutions.

Upcoming Projects

Request for amendments for 7 Short Street. Planner has concerns about the plot plan. Request to convert a single family to a multi-family home.

I. Board Comments

None

J. Adjournment

Notification of Upcoming Meeting Dates

Feb 13 and 27
Mar 12 and 26

Meeting adjourned at 8:32 pm.

File Attachments for Item:

1. Site Plan & Design Review - Short Street

9 SHORT STREET
REAR YARD MODIFICATION
RANDOLPH, MASSACHUSETTS

NOVEMBER 17, 2023 PERMIT & CONSTRUCTION SET



46 Waltham Street, Suite 2A
Boston, Massachusetts 02118
617-542-4522



PROPOSED RENDERING

CRAWFORD SQUARE BUSINESS DISTRICT
CSBD

USE	REQ./ALLOWED	EXISTING BUSINESS	PROPOSED BUSINESS	COMMENTS
MIN LOT AREA	5,000 SF	4,159 SF	4,159 SF	EXISTING NON-CONFORMING
BLDG LOT COVERAGE	60%	41% EST	41% EST	
IMPERVIOUS	30%	22% EST	34% EST	
GREEN AREA	10%	0%	0%	
MAX. COVERAGE	90%	63% EST	75% EST	STREET FRONT ALIGNMENT
STORIES	3	1-1/2	1-1/2	
HEIGHT	40 FT	22 FT EST	22 FT EST	
MIN. FRONTAGE	25 FT	66.25 FT	66.25 FT	
MIN. DEPTH	75FT	74.49 FT	74.49 FT	
MIN. WIDTH	25 FT	42.25 & 66.25 FT	42.25 & 66.25 FT	
FRONT SETBACK	15 FT	0'	0'	
SIDE YARD	0 FT	0'	0'	
REAR YARD	15 FT	19.9 FT	19.9 FT	

NOTE:
VALUES ABOVE ARE ESTIMATED AND SHOULD BE CONFIRMED BY SURVEYOR

○ ZONING INFORMATION
1/4" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
001	COVER
1/1	EXISTING PLOT PLAN & CERTIFIED PLOT PLAN
A101	FLOOR PLANS
A102	SECTIONS, ELEVATIONS & REAR YARD PERSPECTIVE
S-1	FOUNDATION, FIRST FLOOR PLAN & SECTIONS

RANDOLPH, MA



EXISTING

DESCRIPTION
BOLLARD
GAS METER



EXISTING PLOT
PLAN &
CERTIFIED PLOT
PLAN

7-9 SHORT
STREET

RANDOLPH, MA

1	9/14/23	DOUBLE DOOR
No.	Date	Revision

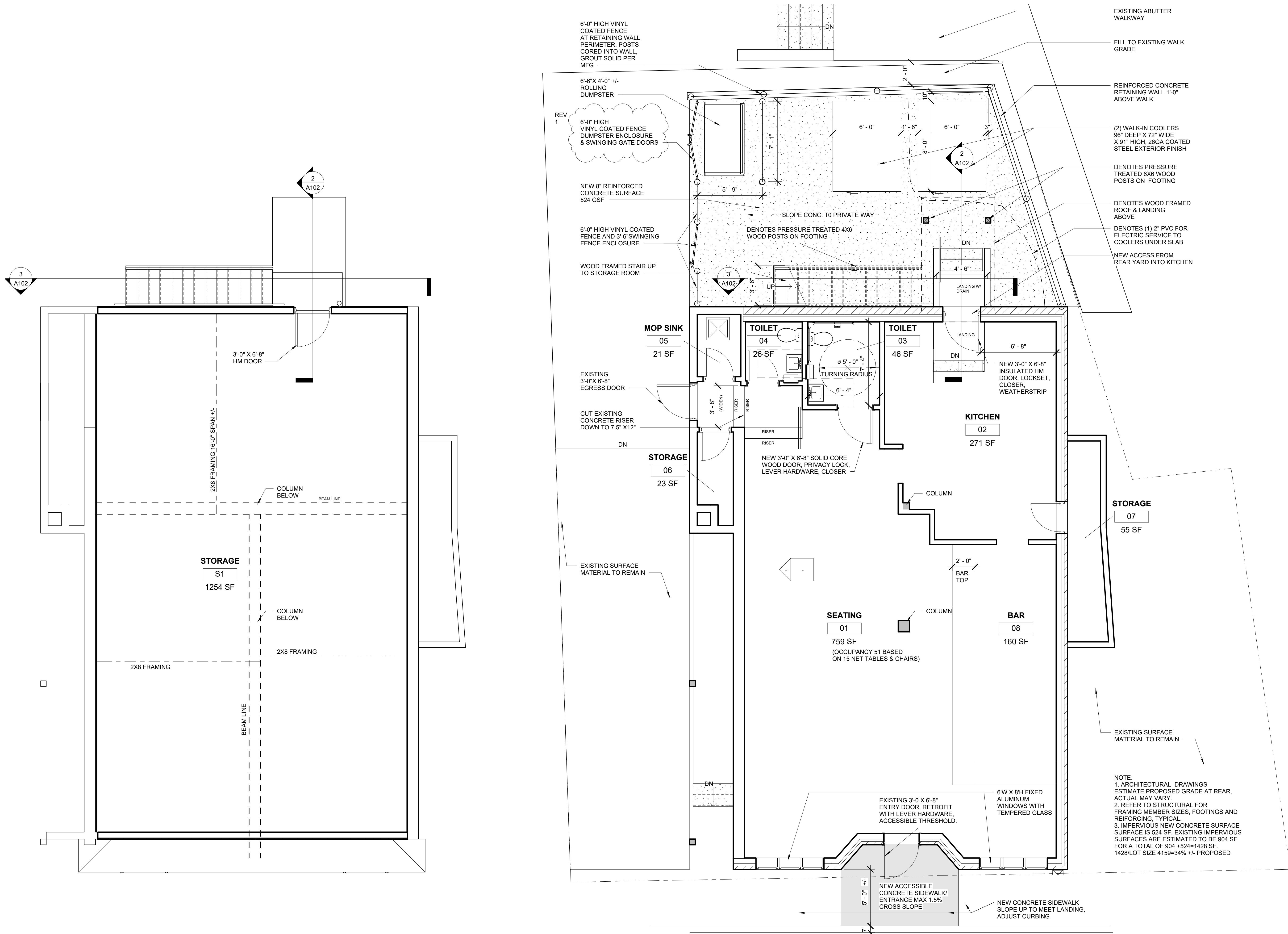
Seal

Drawing Title

FLOOR PLANS

Project No.
7-9 SH 2022
Date
10 19 23
Scale
1/4" = 1'-0"
Drawn By
GEO
Checked By
CFT

A101

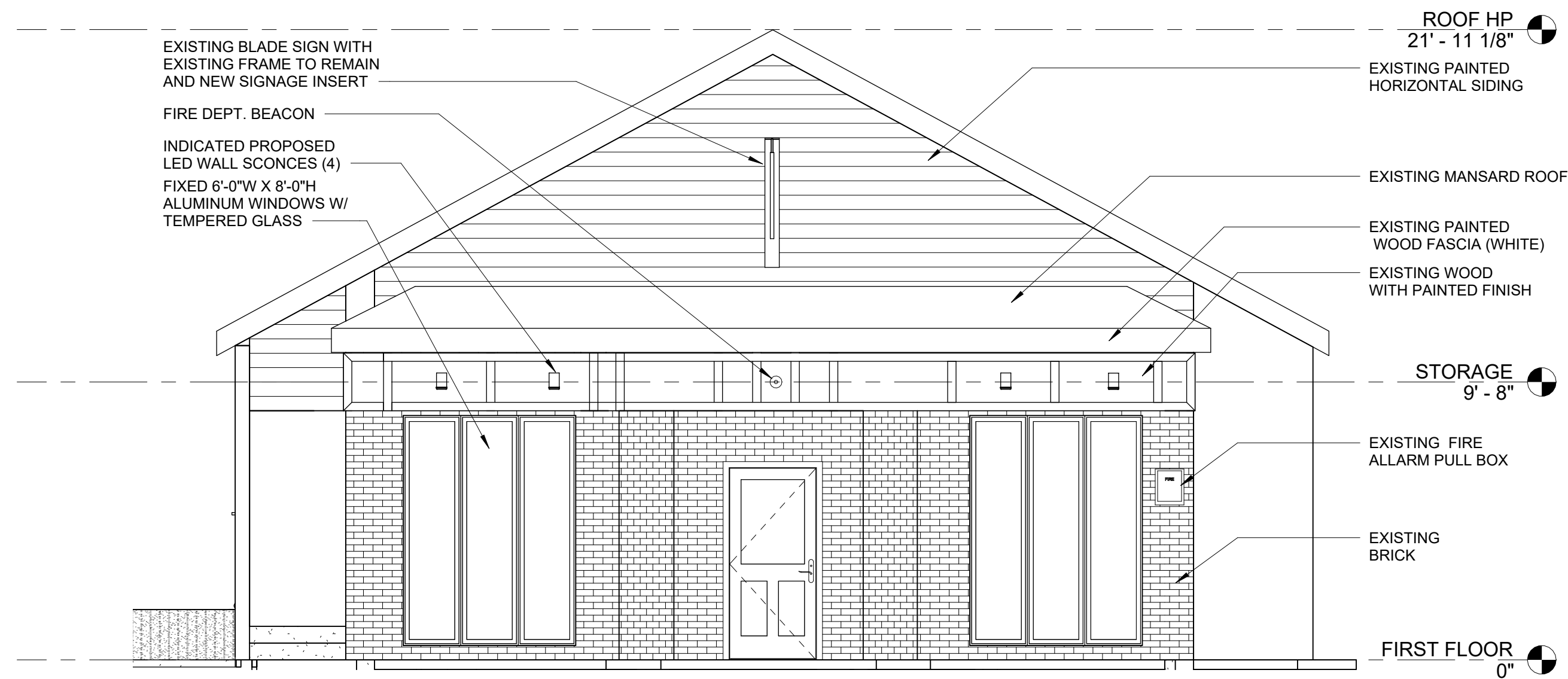


4 ATTIC STORAGE
1/4" = 1'-0"

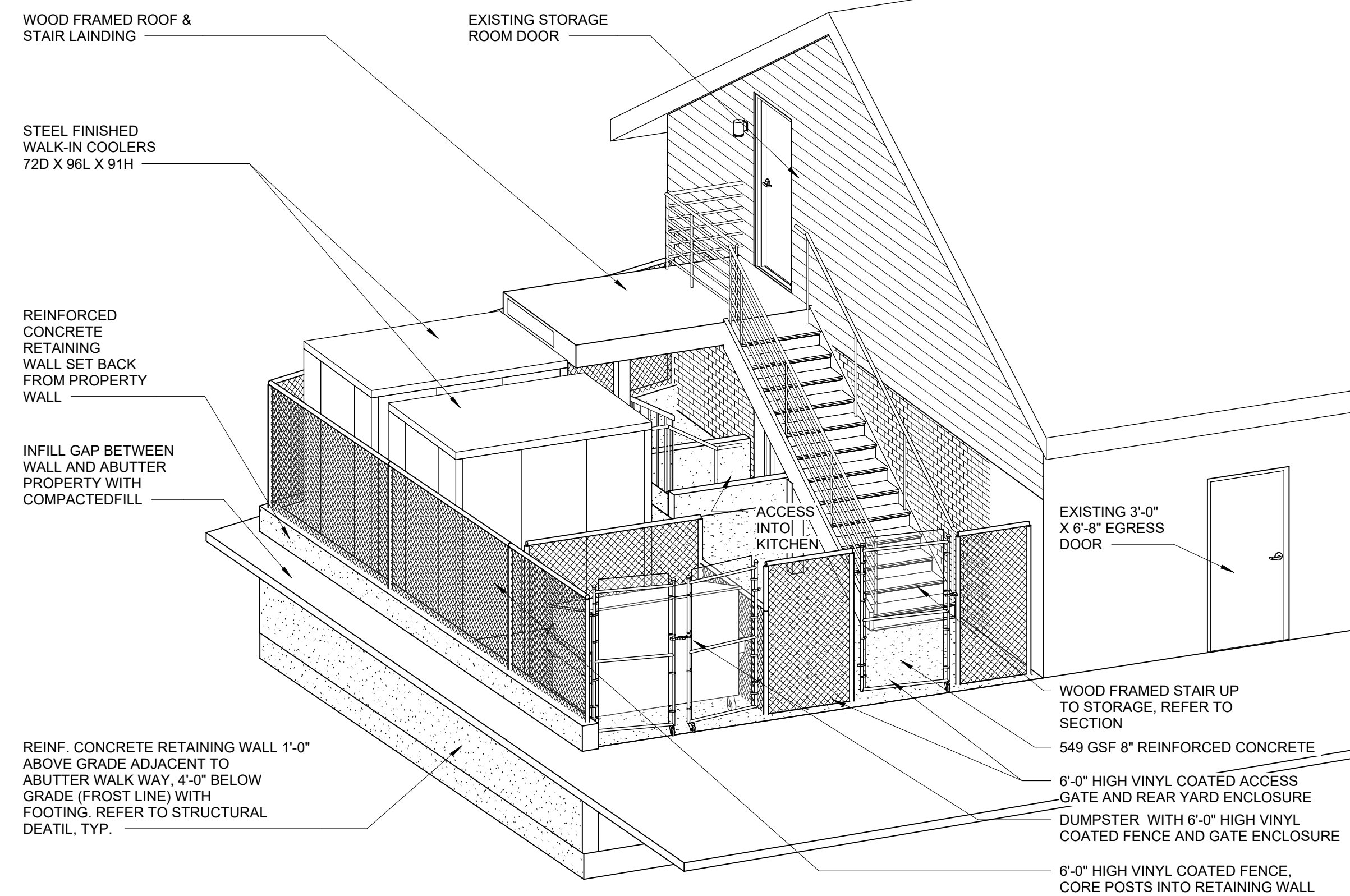
1 FIRST FLOOR PLAN
1/4" = 1'-0"

7-9 SHORT
STREET

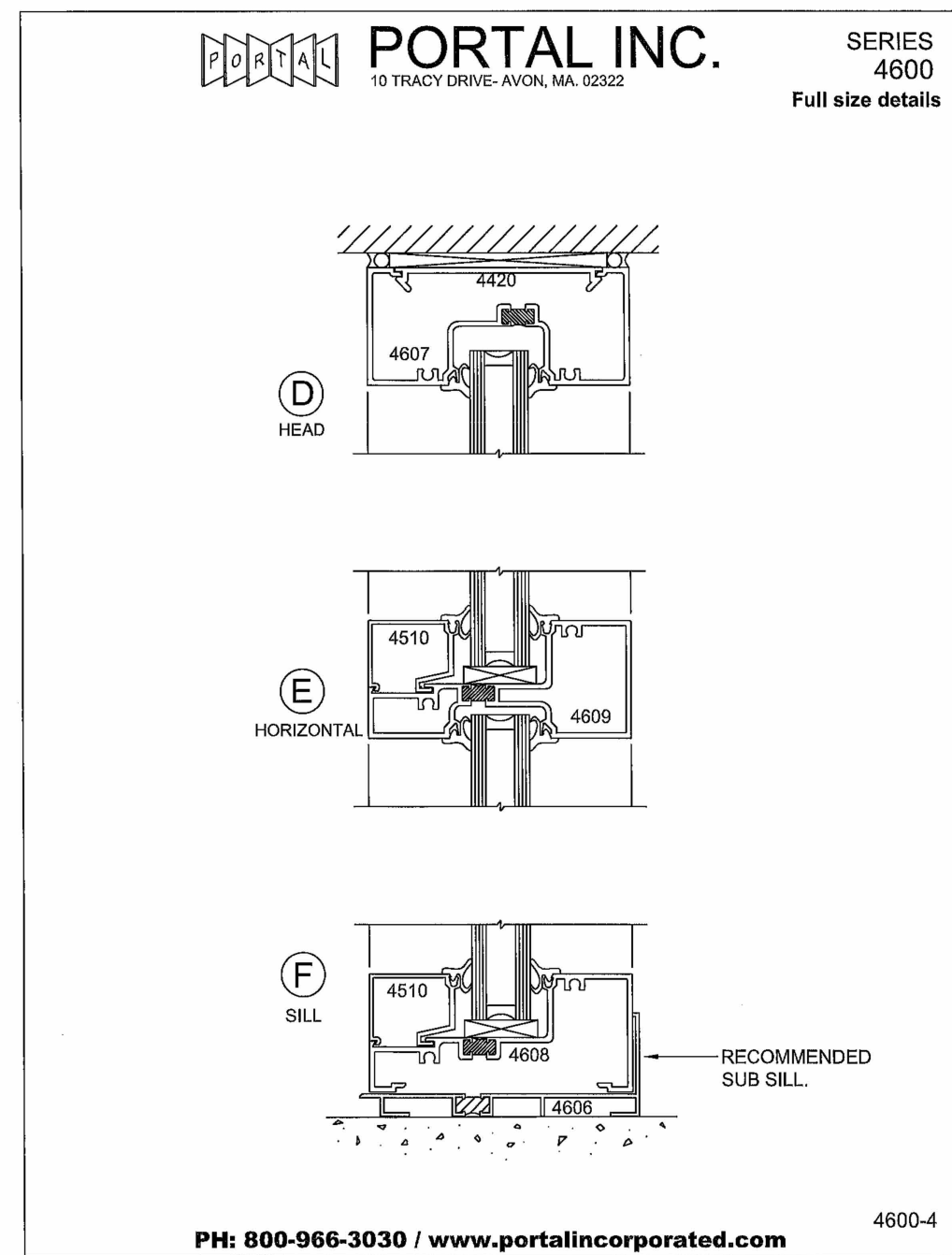
RANDOLPH, MA



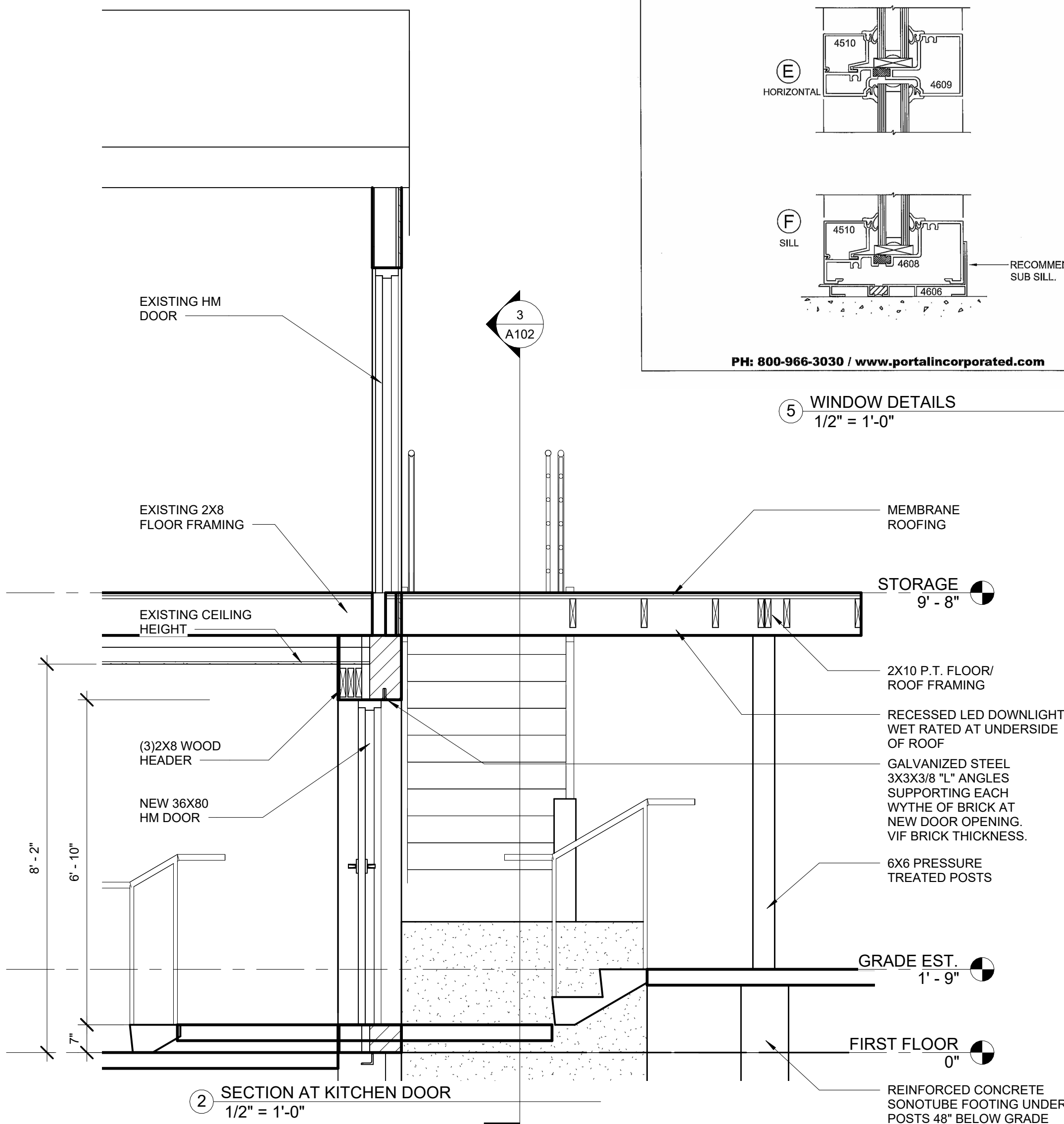
4 SHORT STREET ELEVATION
1/4" = 1'-0"



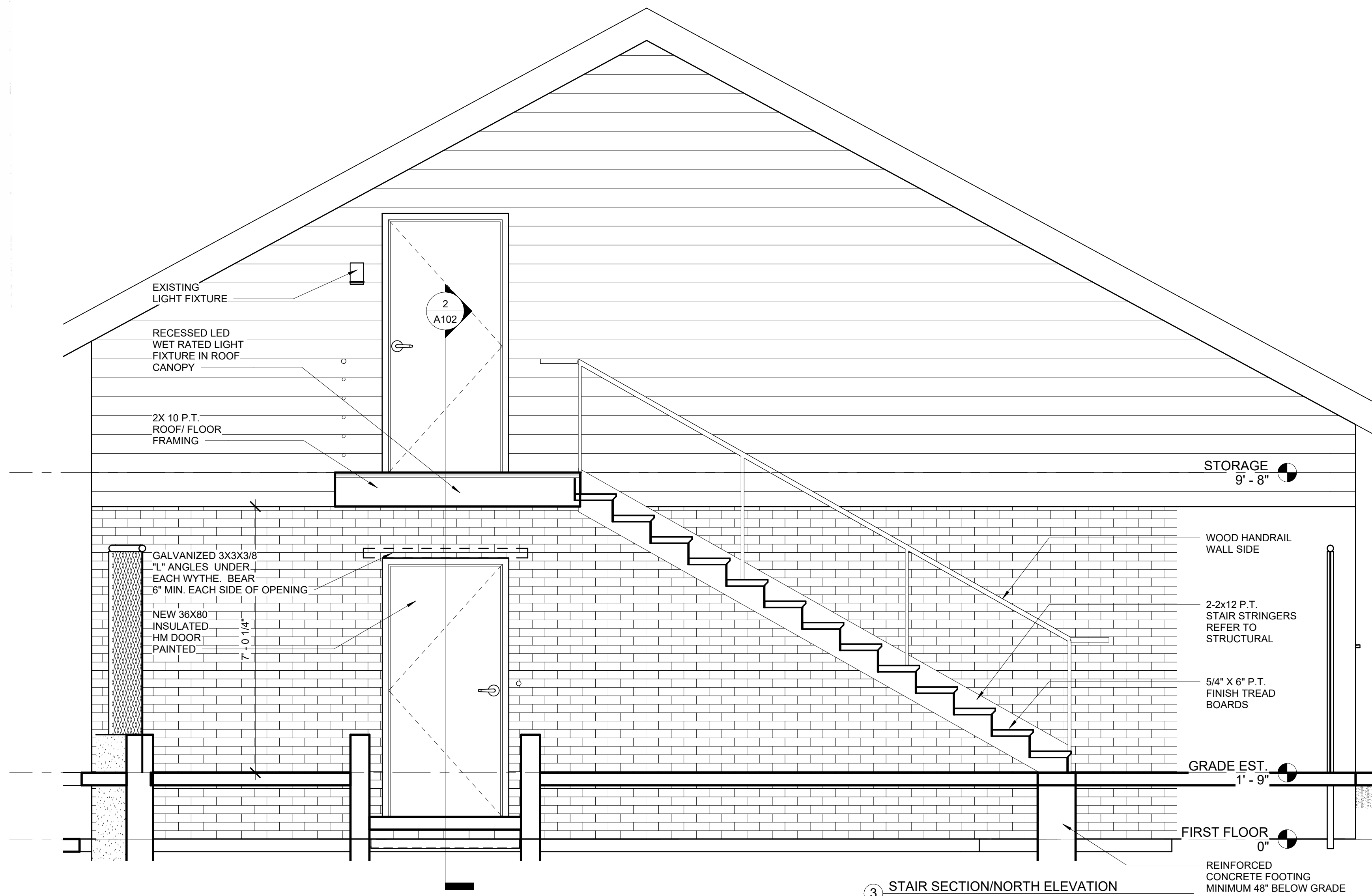
1 3D VIEW



5 WINDOW DETAILS
1/2" = 1'-0"



2 SECTION AT KITCHEN DOOR
1/2" = 1'-0"



3 STAIR SECTION/NORTH ELEVATION
1/2" = 1'-0"

No. Date Revision

Seal

Drawing Title

SECTIONS,
ELEVATIONS &
REAR YARD
PERSPECTIVE

Project No.

7-9 SH 2022

Date

10 19 23

Scale

As indicated

Drawn By

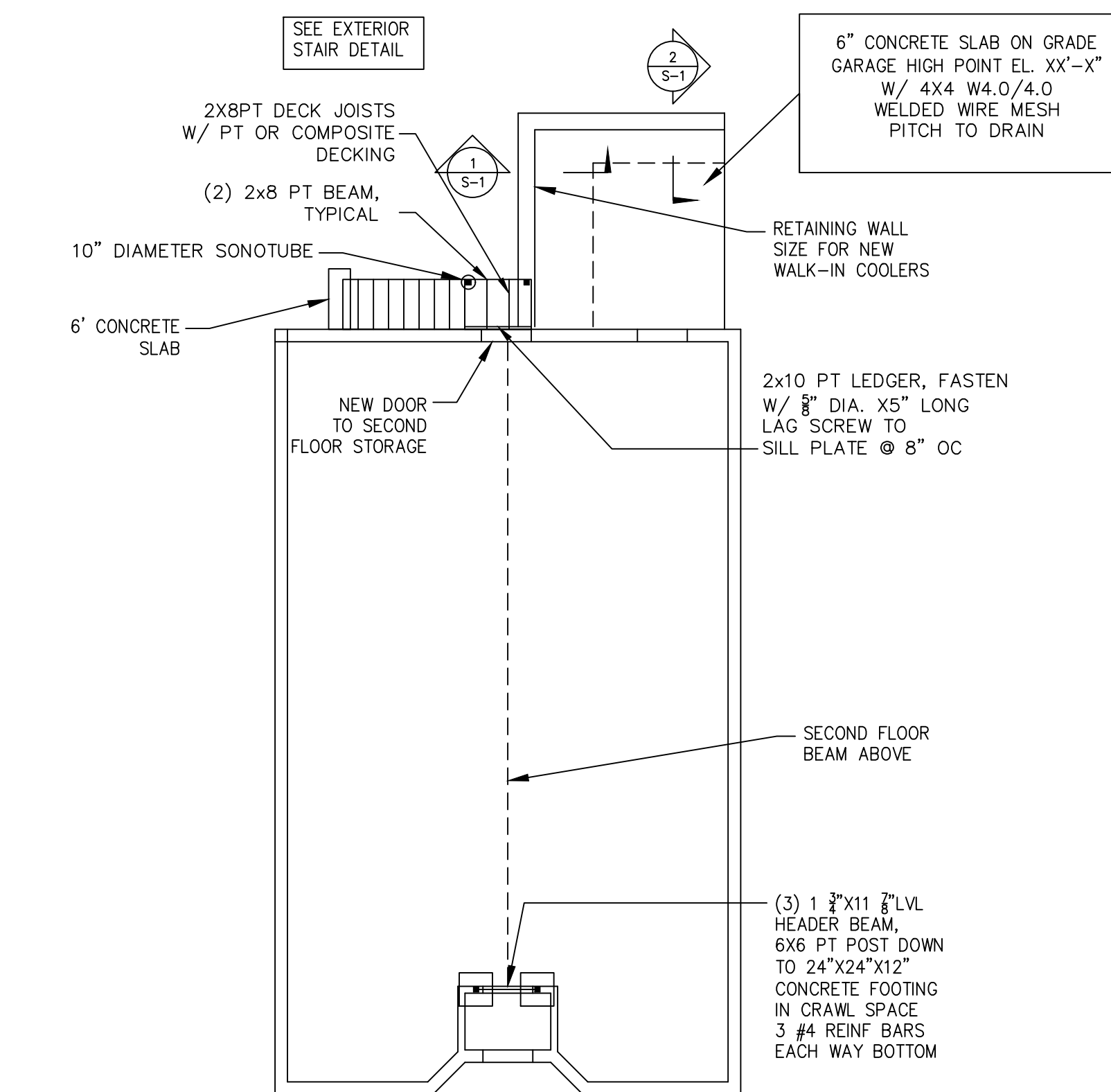
GEO

Checked By

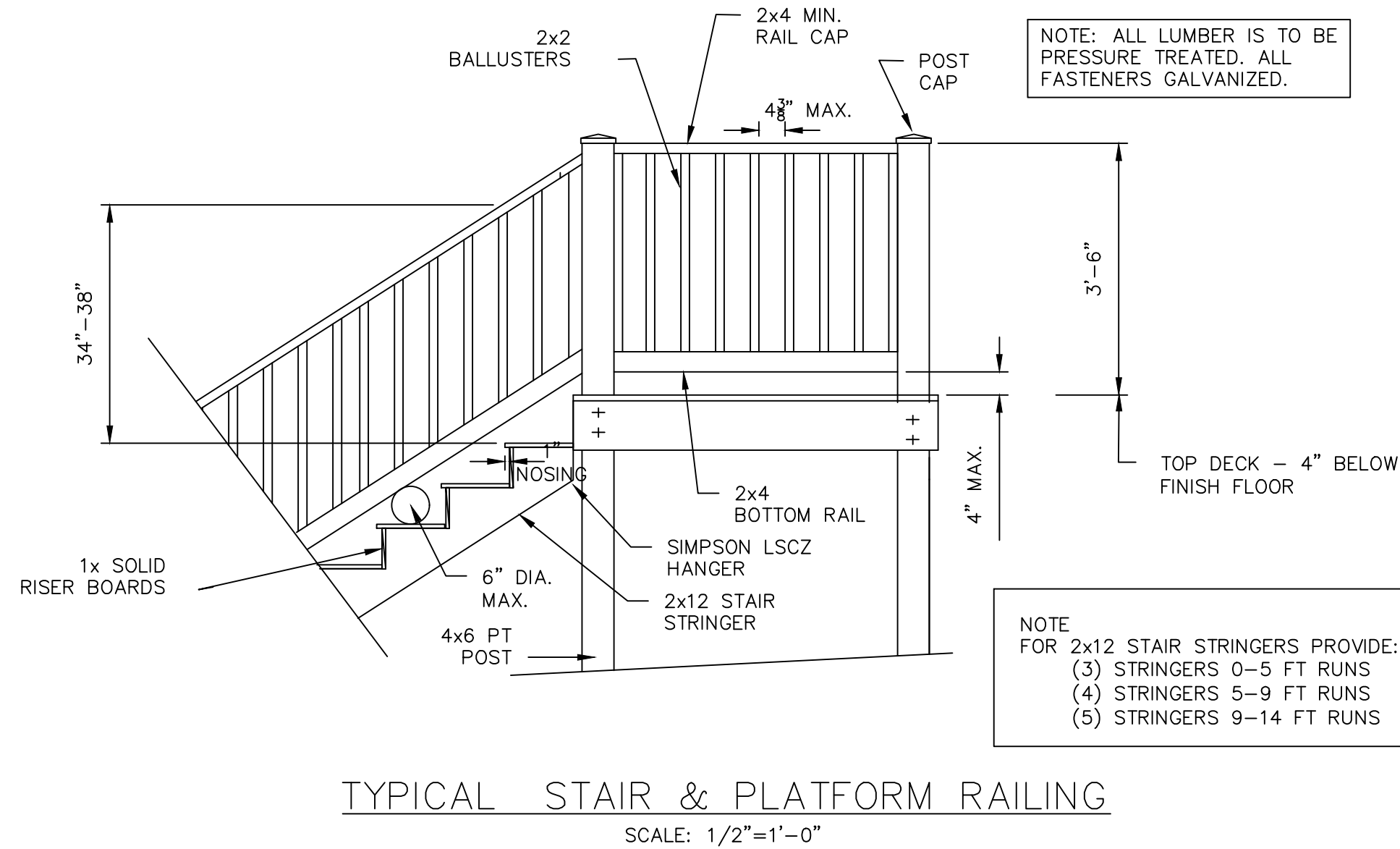
CFT

Drawing No.

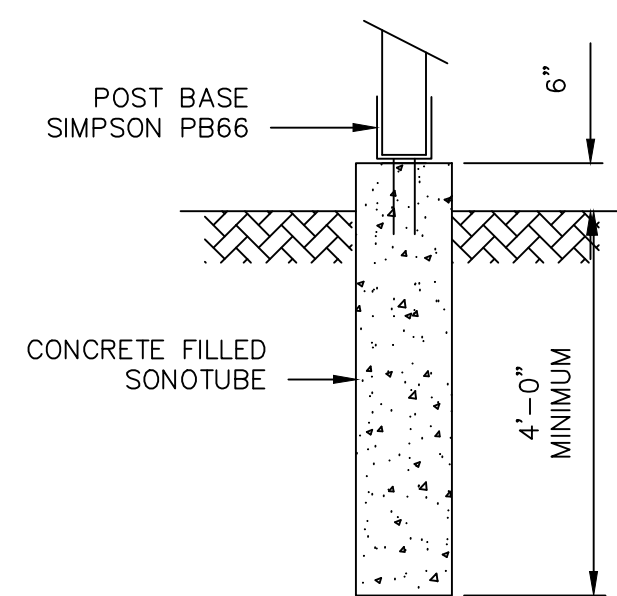
A102



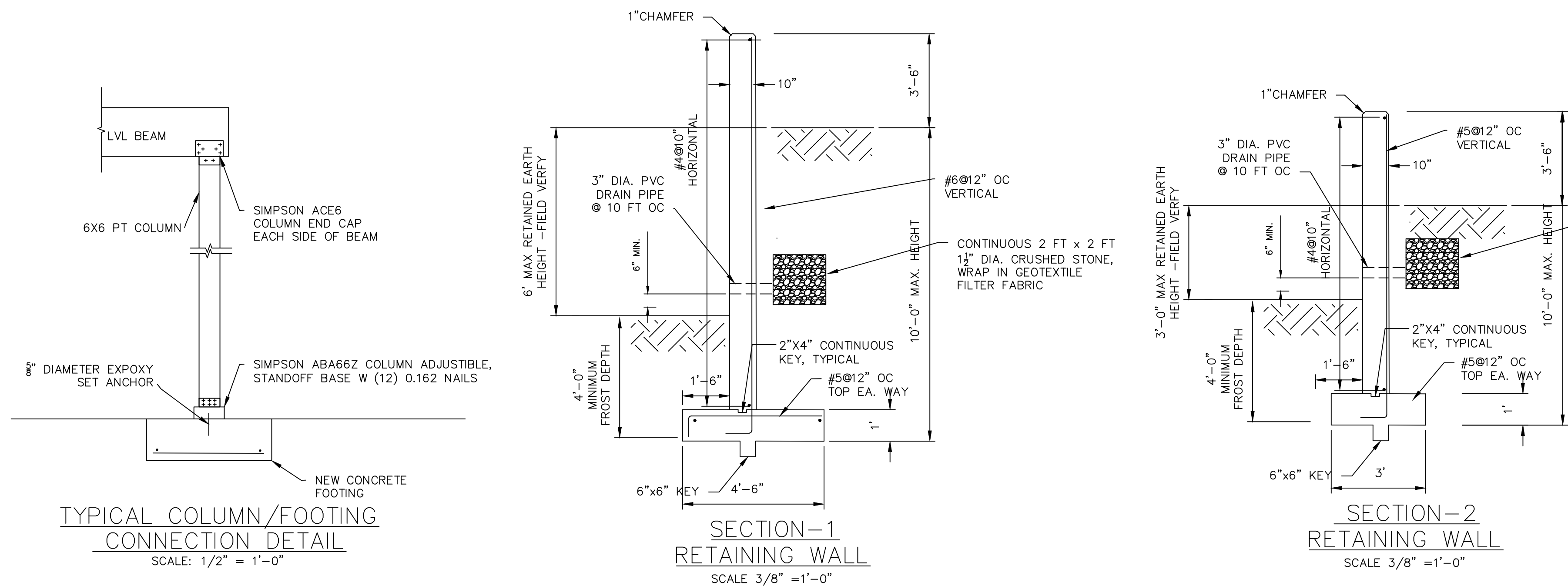
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



TYPICAL STAIR & PLATFORM RAILING
SCALE: 1/2"=1'-0"

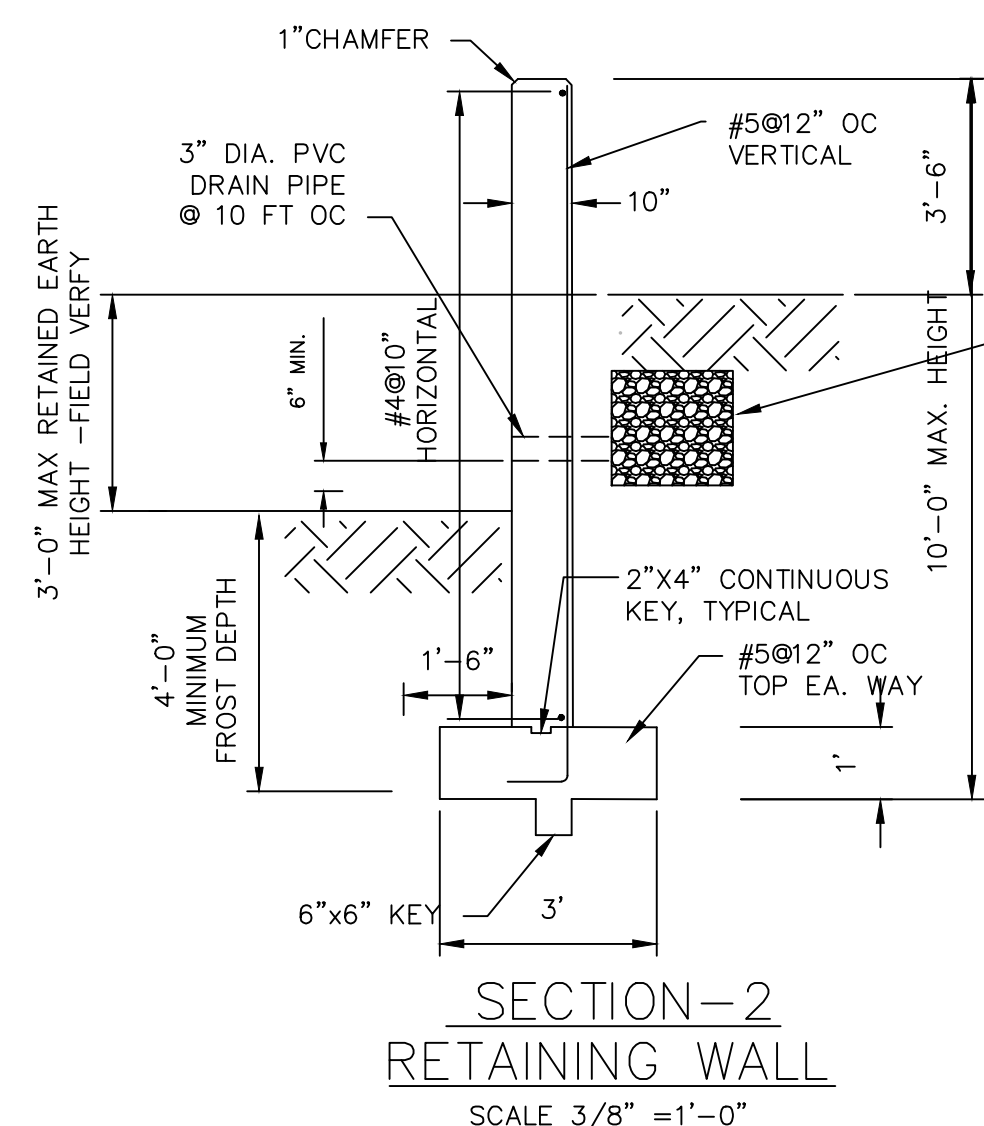


SONOTUBE FOUNDATION
SCALE: 1/2"=1'-0"



TYPICAL COLUMN/FOOTING
CONNECTION DETAIL
SCALE: 1/2" = 1'-0"

SECTION-1
RETAINING WALL
SCALE 3/8" =1'-0"



SECTION-2
RETAINING WALL
SCALE 3/8" =1'-0"

GENERAL

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION (IBC 2015 AND MASSACHUSETTS AMENDMENTS)

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS AFFECTING THE WORK. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER

3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN, IN THE COURSE OF THE WORK, CONDITIONS ARE UNCOVERED WHICH ARE UNANTICIPATED OR OTHERWISE APPEAR TO PRESENT A DANGEROUS CONDITION.

4. STRUCTURAL MATERIALS AND COMPONENTS SHALL HAVE PRIOR APPROVAL OF THE ENGINEER. MATERIAL SAMPLES OR CERTIFICATES AND INSTALLATION SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL PARTS OF THE WORK FOR APPROVAL, ALLOWING SUFFICIENT TIME FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

5. MODIFICATIONS TO THE WORK SHALL NOT BE PERFORMED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.

6. STRUCTURAL CONSTRUCTION SHALL BE PRECEDED BY ADEQUATE SHORING AND TEMPORARY BRACING UNTIL ALL MEMBERS ARE PLACED AND TRUE TO PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.

7. THE CONTRACTOR SHALL EXAMINE ALL ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS (INCLUDING OWNER FURNISHED EQUIPMENT DRAWINGS) FOR VERIFICATION, LOCATION, AND DIMENSIONS OF EMBEDDED ITEMS, SLEEVES, CHASES, INSERTS, WASHERS, DRIPS, REVEALS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS EFFECTING THE STRUCTURAL WORK.

8. OPENINGS SHOWN ON DRAWINGS SHALL NOT BE REVISED OR NEW OPENINGS ADDED TO THE WORK WITHOUT PRIOR APPROVAL OF THE ENGINEER

9. TYPICAL DETAILS AND NOTES ON THE STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE STRUCTURAL WORK.

STRUCTURAL DESIGN LOADS

1. SNOW LOADS 35 PSF GROUND SNOW
30 PSF FLAT ROOF SNOW

2. WIND LOADS BASIC WIND SPEED ULTIMATE 131 MPH
RISK CATEGORY II

3. LIVE LOADS COMMERCIAL SPACE 100 PSF

SHORING AND BRACING

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SHORING AND BRACING OF EXCAVATIONS, FOUNDATIONS, AND ALL CONSTRUCTION IN THE WORK.

2. TEMPORARY SHORES SHALL BE INDIVIDUALLY DESIGNED, ERECTED, SUPPORTED, BRACED AND MAINTAINED BY THE CONTRACTOR TO SAFELY SUPPORT ALL LOADS BEING CARRIED BY EXISTING STRUCTURE MEMBERS AND THEIR FOUNDATIONS BEING REMOVED, ALTERED, AND/OR UNDERMINED BY THE WORK.

PROJECT GEOTECHNICAL ENGINEER

1. NO GEOTECHNICAL REPORT WAS AVAILABLE AT THE TIME OF THIS DESIGN. IT IS THE RESPONSIBILITY OF THE OWNER TO RETAIN A GEOTECHNICAL ENGINEER TO ESTABLISH FOUNDATION APPROACH, SOIL BEARING CAPACITY, AND GROUND WATER ELEVATIONS. PRIOR TO RECEIPT OF REPORT, SOIL BEARING CAPACITY WILL BE ASSUMED AS 2,000 PSF AND SOILS SUITABLE FOR EXTERIOR GRADE WALL AND INTERIOR ISOLATED FOOTINGS.

FOUNDATIONS

1. EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN BELOW FINISHED EXTERIOR GRADE TO A MINIMUM DEPTH OF 4'-0", UNLESS OTHERWISE NOTED.

2. SURFACE AND SUBSURFACE WATER SHALL BE CONTROLLED DURING CONSTRUCTION TO ENSURE THAT ALL FOUNDATION CONCRETE WORK IS DONE IN DRY CONDITIONS. IF REQUIRED, PROVIDE SHEETING, WELL POINTS, AND/OR DE-WATERING WELLS AS REQUIRED FOR PROPER EXCAVATION AND PLACEMENT OF CONCRETE.

3. CONCRETE SHALL BE PLACED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL MATERIAL.

4. NO FOUNDATION CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN SUB-GRADE MATERIAL.

5. IN-PLACE FOUNDATIONS AND SLABS SHALL BE PROTECTED FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.

7. REMOVAL OF DISTURBED AND UNSUITABLE MATERIALS AND PLACING, COMPACTING AND TESTING OF COMPACTED FILL SHALL ONLY BE PERFORMED BY THE GENERAL CONTRACTOR WHILE A PROFESSIONAL GEOTECHNICAL ENGINEER, REGISTERED IN THE STATE OF MASSACHUSETTS AND RETAINED BY THE OWNER, IS OBSERVING THE WORK.

8. BOTTOM OF FOOTING ELEVATIONS SHOWN ON THE CONTRACT DOCUMENTS ARE MINIMUM DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY THE AMOUNT OF EXCAVATION NECESSARY TO REACH A SUFFICIENT BEARING STRATUM.

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI-318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI-301).

2. ALL STRUCTURAL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE NORMAL WEIGHT (145 PCF) AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

3. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.

4. CONCRETE PLACEMENTS SHALL BE LIMITED TO A 30 FOOT LENGTH MAXIMUM TO CONSTRUCTION JOINT. ADJACENT CONCRETE PLACEMENTS SHALL BE AFTER 72 HOURS OF CURING TIME.

5. MINIMUM PROTECTIVE COVER FOR CONCRETE REINFORCING STEEL SHALL BE AS FOLLOWS:

A) UNFORMED SURFACES CAST AGAINST EARTH - 3 INCHES
B) FORMED SURFACES NOT IN CONTACT TO EARTH - 3/4 INCHES
OR EXPOSED TO WEATHER, WALLS AND SLABS,
#11 BARS OR SMALLER

C) FORMED SURFACES IN CONTACT TO EARTH
OR EXPOSED TO WEATHER, WALLS AND SLABS,
#6 TO #18 BARS - 2 INCHES
#5 AND SMALLER - 1 1/2 INCHES

CARPENTRY

1. ALL STRUCTURAL LUMBER SHALL BE GRADE STAMPED PER STANDARD GRADING RULES. UNLESS OTHERWISE NOTED, ALL STRUCTURAL LUMBER SHALL BE SPRUCE-PINE-FIR.

NO. 2 KD 15% INTERIOR.

2. NON-BEARING STUD WALLS SHALL BE STUD GRADE.

3. PLYWOOD SHEATHING SHALL BE DFPA GRADE STAMPED, TYPE CDS 5 PLY WITH EXTERIOR GLUE UNLESS OTHERWISE NOTED ON PLANS. WALLS SHALL BE A MINIMUM OF 1/2 INCH THICK SHEATHING AND FLOORS 3/4 INCH.

4. PRE-DRILL ALL HOLES FOR 20D AND LARGER NAILS AND LAG BOLTS.

5. DOUBLE TOP PLATES ON ALL EXTERIOR AND BEARING PARTITIONS (NOT OTHERWISE DETAILED). PLATES SHALL LAP 4'-0" MINIMUM AND 8'-0" MAXIMUM AT SPLICES. AND HAVE (14) 16D NAILS MINIMUM THROUGH EACH SIDE OF SPLICE.

6. SILLS AND ROOF BLOCKING SHALL BE PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES.

WOOD FLOOR & WALL SHEATHING

1. ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE "SIMPSON STRONG-TIE" SPECIFICATIONS.

CLIENT:

KEOHANE COMPANY LTD
BOSTON, MA

DRAWING NOTES:

1. EXISTING CONDITIONS MAY VARY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.

2. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF LEON A. BOMBARDIER. PE ANY USE WITHOUT WRITTEN CONSENT IS PROHIBITED.

ARCHITECT:

ROUGE DESIGN
JAMES CHRISTIANSON

OWNER:

—

BOMBARDIER
STRUCTURAL ENGINEERING

#	REVISIONS	DATE

LEON A. BOMBARDIER, PE
Structural Engineer
131 Lincoln Street
Abington, MA 02351

email: bse05@verizon.net
phone: (508) 631-3332 fax: (781) 878-7986

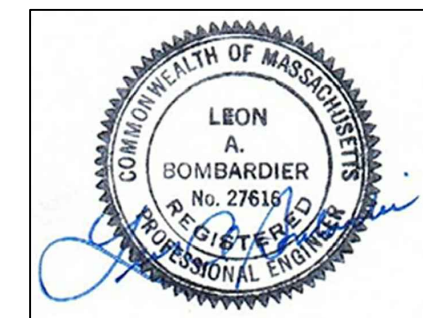
PROJECT:

RETAIL ALTERATIONS
7-9 SHORT STREET
RANDOLPH, MA

DRAWING TITLE:

BASEMENT
FOUNDATION &
FIRST FLOOR PLAN
& SECTIONS

STAMP:



OCTOBER 4, 2021

SCALE:
AS NOTED
DATE:
10/04/2021
DRAWN BY:
LAB
CHECKED BY:
LAB
PROJECT #:
2021-76

S-1



9 SHORT ST, RANDOLPH, MA

EXTERIOR RENOVATIONS



EXTERIOR RENOVATION CALL OUTS

1. Existing brick will be painted BM Amherst Gray HC-167 with contrasting accents of BM Black 2132-10. The rendering suggests the application for the paint.
2. Cut sheets have been provided for the front windows in this package of submittal.
3. Clapboard on the front of the building to be painted BM
4. Down lights on the front of the building are Cylinder Outdoor Up/Down Wall Sconce by Kichler, specs have been included in this packet.
5. The panel behind the front lights is the existing material, to be painted the BM Black 2132-10.
6. The new logo and restaurant sign will be applied the existing sign frame. Colors are black and white.
7. Fencing and gates at rear will be white vinyl 6'H x 8'W purchased from Lowes. Product information included in this packet.
8. The new rear decking and stairs will be pressure treated lumber material.
9. The porch railing will be deck mounted cable railing components, specs attached.









PORTAL INC.
10 TRACY DRIVE- AVON, MA. 02322

Section G, Item 1.

**SERIES
4600**

SERIES 4600

2" X 4-1/2" THERMAL FLUSHGLAZED FOR 1" GLAZING

INDEX:	1
ELEVATIONS:	2
JAMBS:	3
HORIZONTALS:	4
ALT. HORIZONTALS:	5
TRANSOM BARS:	6
CORNER POSTS:	7
SPECIFICATIONS & DESIGN DATA:	8



PORTAL INC.

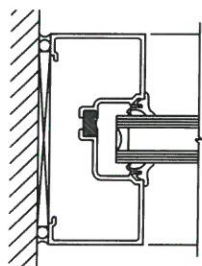
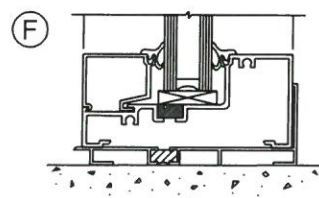
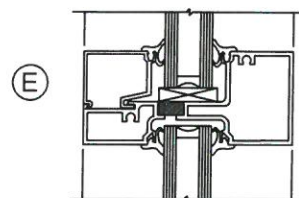
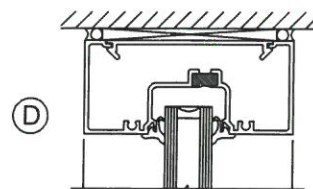
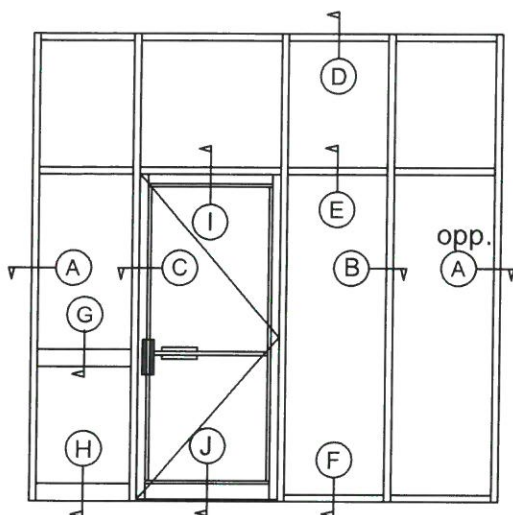
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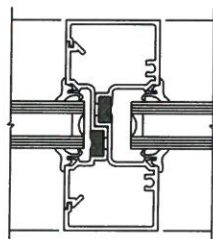
SERIES

4600

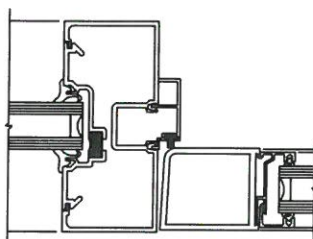
Quarter size details



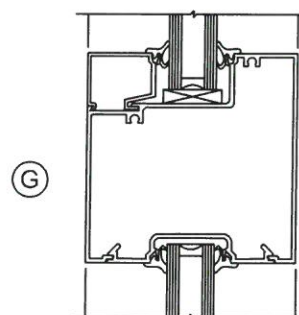
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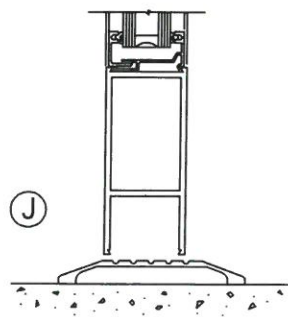
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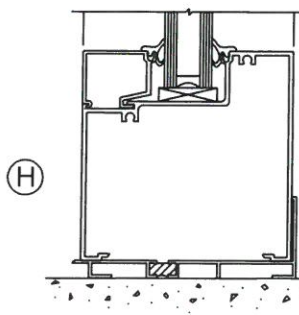
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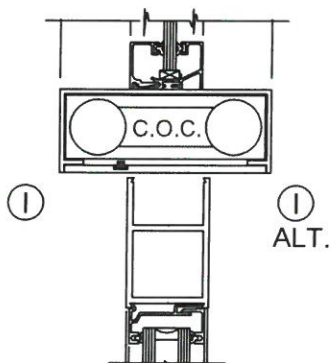
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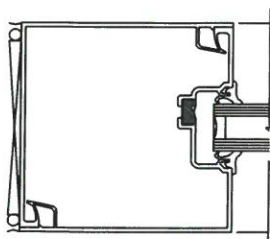
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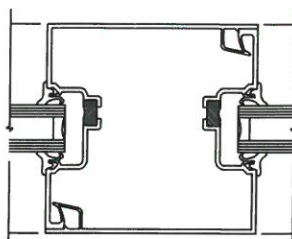
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ALT.

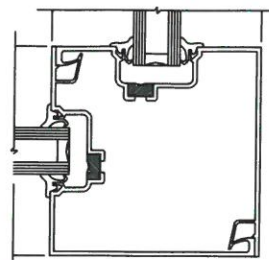
CORNER POSTS:



K



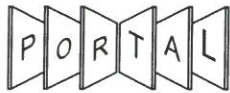
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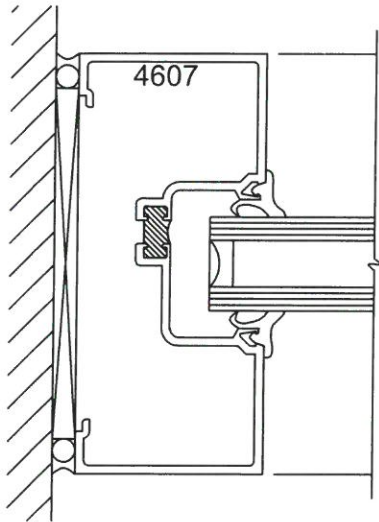
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4600

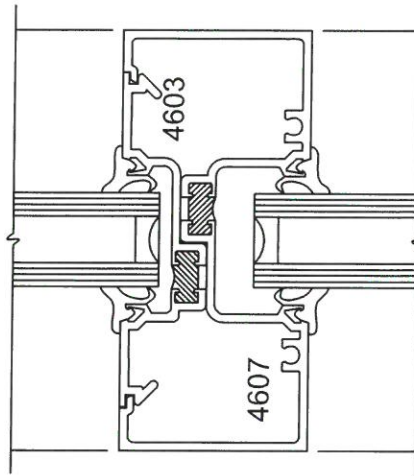


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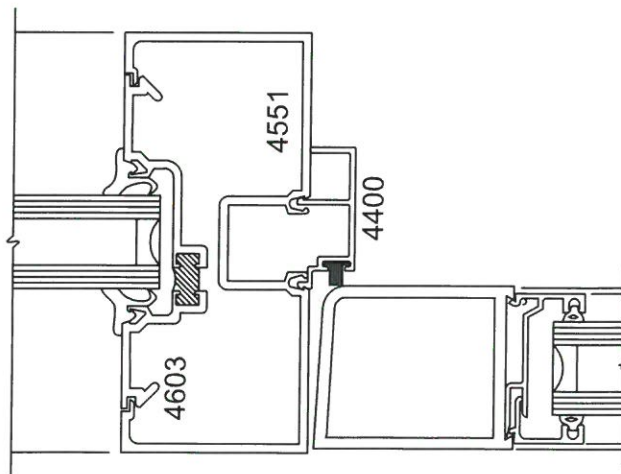
**SERIES
4600**
Full size details



(A) JAMB



(B) MULLION



(C) DOOR JAMB



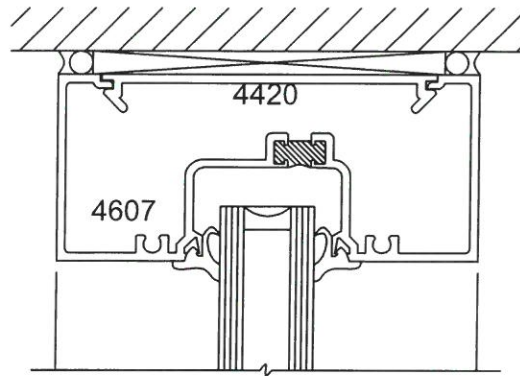
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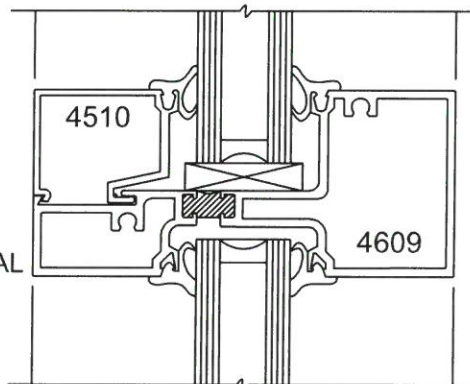
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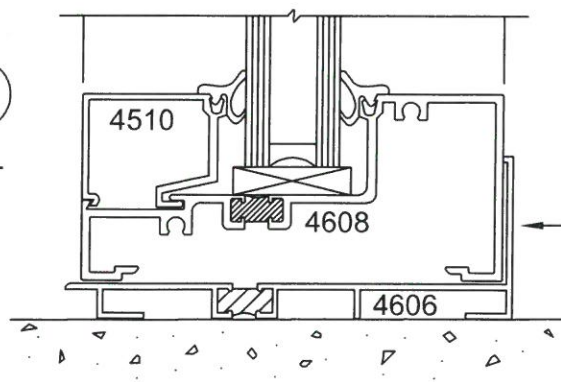
(D)
HEAD



(E)
HORIZONTAL



(F)
SILL



← RECOMMENDED
SUB SILL.



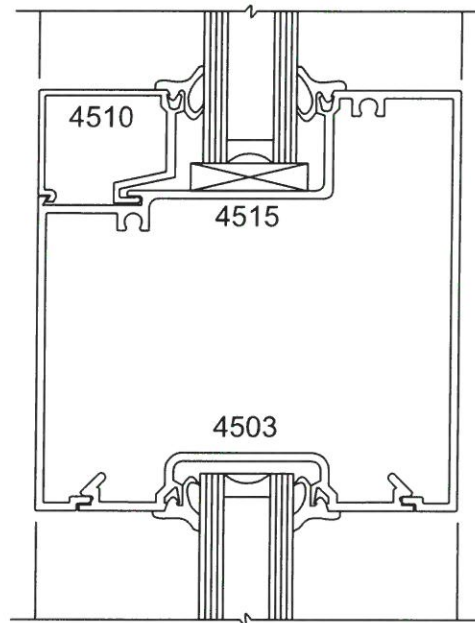
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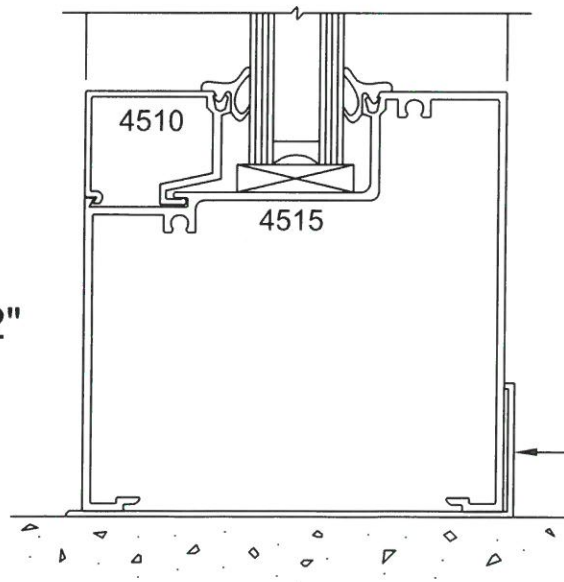
**SERIES
4600**

Full size details

(G)
4-1/2" X 4-1/2"
HORIZONTAL



(H)
4-1/2" X 4-1/2"
SILL



RECOMMENDED SILL
FLASHING #4406.

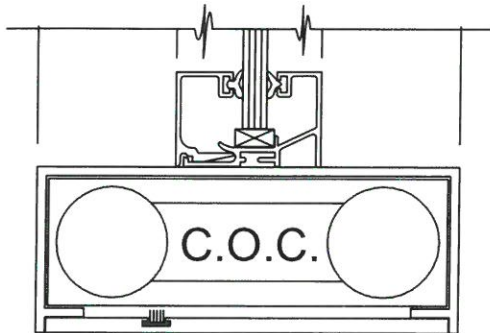


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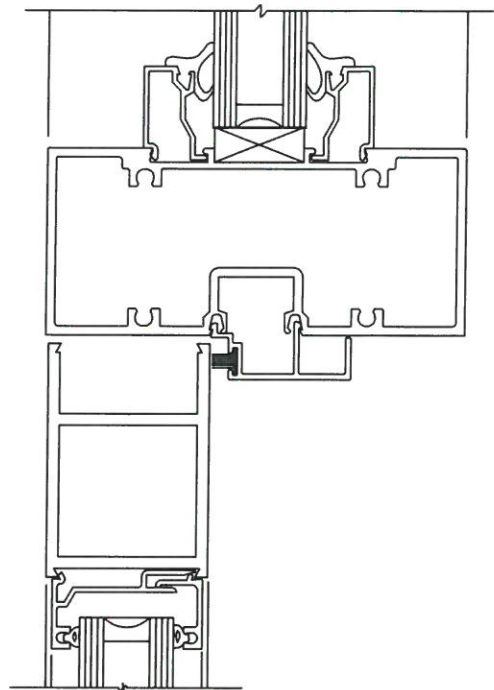
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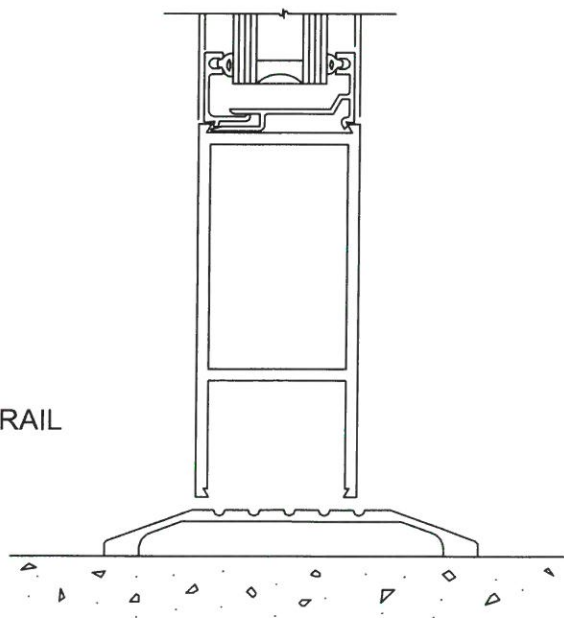


①
TRANSOM BAR



①
ALT.
TRANSOM BAR

②
BOTTOM RAIL



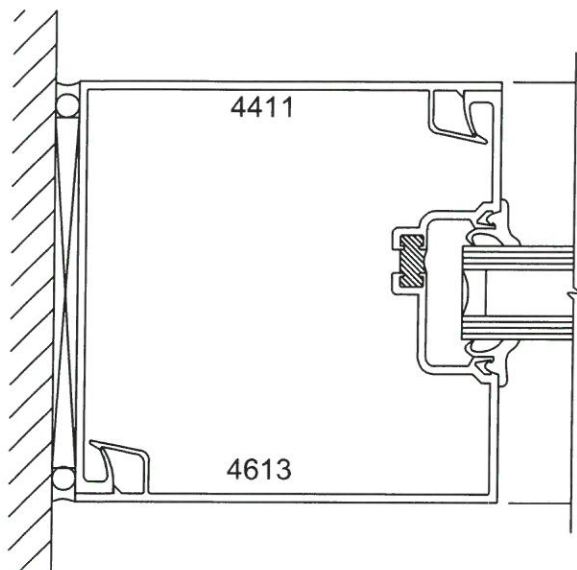


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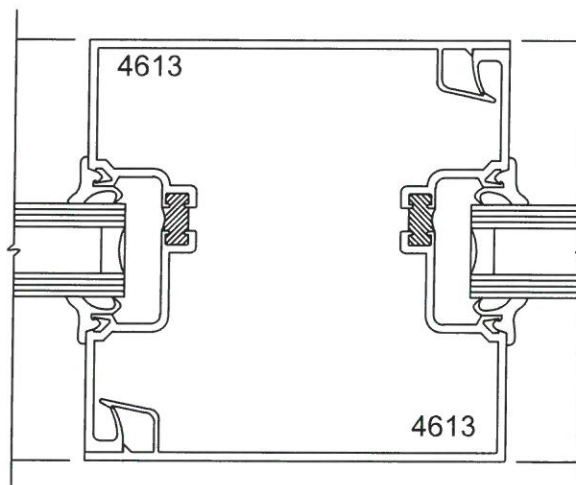
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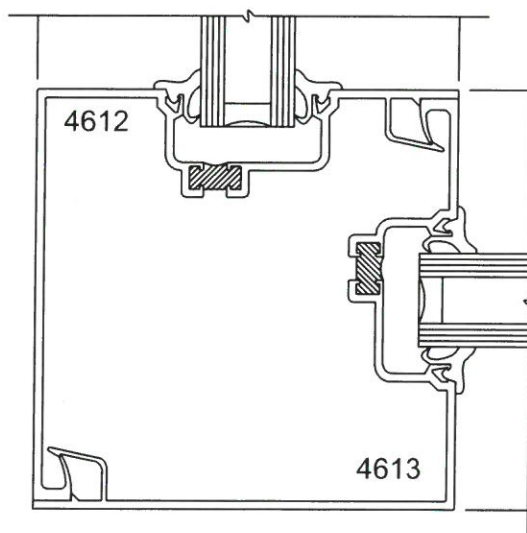
(K)

4-1/2" X 4-1/2" JAMB



(L)

4-1/2" X 4-1/2" MULLION



(M)

4-1/2" X 4-1/2" CORNER



PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

Section G, Item 1.

**SERIES
4600**

SPECIFICATIONS

SERIES 4600

1" THERMAL FLUSH GLAZING SYSTEM

1. GENERAL

DESCRIPTION:

WORK INCLUDED: Furnish all necessary materials, labor and equipment for the complete installation of aluminum framing as shown on the drawings and herein specified.

WORK NOT INCLUDED: Non-integrated structural support of the framing system, adjoining interior and / or exterior trim or flashing.

RELATED WORK SPECIFIED ELSEWHERE

QUALITY ASSURANCE:

Drawings and specifications are based on series #4600 as manufactured by Portal, Inc. Whenever substitute products are to be considered, supporting technical literature, samples, drawings and performance data shall be submitted for comparison prior bid date.

PERFORMANCE:

air infiltration shall be tested in accordance with ASTM 283, infiltration shall not exceed .06 CFM per square foot of fixed area. Water infiltration shall be tested in accordance with ASTM E 331. No water shall penetrate at test pressure of 6.25 PSF.

Structural performance shall be based on a maximum deflection of $\frac{1}{175}$ of the span when subjected to windload of 25 PSF.

2. PRODUCTS

MATERIALS:

Extrusions shall be of 6063 T5 aluminum alloy and temper per (ASTM B221 alloy G.S. 10A-T5) Exposed fasteners shall be aluminum, stainless steel or zinc plated steel in accordance with ASTM A164. Perimeter anchors shall be aluminum or steel properly isolated from the aluminum. Glazing Gaskets shall be either EPDM elastomeric or vinyl extrusions.

FINISH:

All exposed framing surfaces shall be free from scratches or other serious blemishes. Aluminum shall be given a caustic etch followed by an anodic oxide treatment to obtain (specify one of the following);

- . an architectural class 1 anodic coating conforming to Aluminum Association standard AA-M12 C22 A44 Dark bronze

or

- . a #100 clear anodic coating conforming to Aluminum Association standard AA-M12 C22 A31.

FABRICATION:

Horizontal heads, sills and intermediates shall be cut between two-piece interlocking vertical mullions and fastened to them with stainless steel screws into integral screw grooves in a concealed manner. One-piece vertical mullions shall have concealed shear blocks attached, to support horizontals when so specified. All cuts shall be made smooth square and true. Glazing beads shall snap in place and be flush. Nominal dimensions of framing members shall have a 1-3/4" face and depth of 4-1/2" with $\frac{5}{8}$ " wide glazing pockets for $\frac{1}{4}$ " glass.

3. EXECUTION

INSTALLATION:

All framing for glass shall be set in locations as shown in the details and shall be level, plumb, square and in alignment with other work in accordance with the manufacturers installation instructions and/or approved shop drawings. All joints between the framing and the building shall be securely sealed for a watertight installation.

PROTECTION:

After installation, the general contractor shall adequately protect exposed aluminum surfaces from damage by grinding and polishing compounds, plaster, lime, acid cement or other contaminants. The general contractor shall be responsible for final cleaning.

Outdoor Up/Down Cylinder Wall Sconce
By Kichler



Outdoor Up/Down Cylinder Wall Sconce
By Kichler

Product Options

Finish: Black,
Size: 12 inches

Details

Up and down light

Dimensions

12 inches Option Backplate: Width 4.5", Height 4.88"
12 inches Option Fixture: Width 4.75", Height 12",
Depth 7", Weight 1.95Lbs

Lighting

12 inches

Lamp Type	LED
Total Lumens	2100.0
# of Bulbs	2 (Not Included)
Bulb Type	11W BR30 E26
Volts	120
Color Temp	2700 (Warm)
Average Lifespan (Hours)	15,000
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	Yes



Notes:

Prepared
by:

Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:
<https://www.lumens.com/outdoor-up-down-cylinder-wall-sconce-by-kichler-KCH2190685.html>
Rating: UL Listed Damp

ITEM#: KCH2190685



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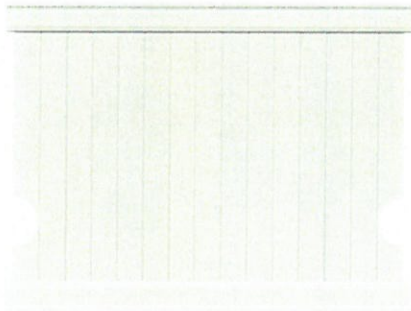
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Freedom Emblem 6-ft H x 8-ft W White Vinyl Fence Panel

Item #667016 | Model #73014714

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~~\$140.79~~ **\$99.98**

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3 monthly installments of \$33.34 with Lowe's Pay [Learn How](#)


Panel comes unassembled, assembly required
Kit includes top and bottom rail, infill boards
Panel will follow the slope of your terrain - up to 1 inch per foot

Pickup

Ready by **Tue, Nov 21 (Est.)**

Delivery


As soon as **Fri, Nov 24**

 **FREE Pickup at Warwick Lowe's**

— +

Add to Cart

Maximum Qty of 30

 Lifestyle/in use images; accessories are not included

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Freedom Emblem 6-ft H x 8-ft W White Vinyl Fence Panel **\$99.98**

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Building Supplies / Decking / Deck Railing Systems

CityPost Deck Mount 8-ft x 5in x 36-in Black Steel Deck Cable Rail Kit

Item #4661717 | Model #CP-8-B-D

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\$540.00

\$513.00 when you choose

5% savings on eligible purchases every day.

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\$90/mo suggested

payments with 6 month special financing. [Learn how](#)



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All parts included for a complete install with one purchase
Cable and hardware: marine grade 316 stainless steel
For 3-sided deck, simply order (3) kits that match side lengths

Pickup

Ready by Mon, Nov 27 (Est.)

Delivery

As soon as Mon, Nov 27

FREE Pickup at Warwick Lowe's

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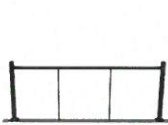
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Contemporary cable 8-ft ...

\$93.58

CityPost Stair Deck Mount 6-ft x 5in x 36-in Black Steel Deck Cable Rail Kit

\$510.00

DOLLE InstaRail 72-in x 1-in x 24.5-in Stainless Steel...

\$110.86

CityPost Deck Mount 6-ft x 5in x 36-in Black Steel Deck Cable Rail Kit

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Deckorators Pre-Assembled Aluminum 6-ft...

\$164.00

Trex Enhance 36-in Char...

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Feedback



- All parts included for a complete install with one purchase
- Cable and hardware: marine grade 316 stainless steel
- For 3-sided deck, simply order (3) kits that match side lengths
- Modern sleek design in budget friendly kit
- 36 inch tall railing
- Unlimited railing combinations available in the dimension guide

 **HowTo Manual**
PDF

 **Installation Manual**
PDF

 **Dimensions Guide**
PDF

Specifications

General

Color/Finish Family	Black	Series Name	Deck Mount
Manufacturer Color/Finish	Black	Type	Cable rail kit

Dimensions

Actual Height (Inches)	36	Common Length (Feet)	8
Actual Length (Feet)	8	Common Width (Inches)	5
Actual Width (Inches)	5	Dimensions (L x W x H)	8-ft x 5in x 36-in
Common Height (Inches)	36		

Features

Assembly	Assembly required	Minimum Opening (Inches)	3
Baluster Material	Stainless steel	Orientation	Horizontal
Balusters Included	Yes	Post Caps Included	Yes
Cable Included	Yes	Post Sleeves Included	Yes
Green or Kiln-Dried	N/A	Posts Included	Yes
Hardware Included	Yes	Pressure Treated	No
Material	Steel	Rails Included	Yes

CityPost Deck Mount 8-ft x 5in x 36-in Black Steel Deck Cable Rail Kit **\$540.00**

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STAFF REPORT

File		Reported By	Michelle Tyler
Project Site	9 Short Street	Application Type	Tier 2 Site Plan
Site Visit Date	Multiple	Hearing Date	February 13, 2024

Project Summary

The applicant proposes modifications to an existing eating establishment including construction of a concrete pad for walk-in coolers, new covered egress, dumpster enclosure, lighting and architectural modifications

Zoning District

	Current Zoning	Existing Land Use
Subject	Crawford Square Business District	Restaurant/bar
North	Crawford Square Business District	Bank/Commercial building
South	Crawford Square Business District	Multiunit commercial use
East	Crawford Square Business District	Two-family residential
West	Crawford Square Business District	Multiunit commercial/retail

Documents Reviewed

- Application for Tier 2 review
- Existing plot plan and certified plot plan prepared by Farland Corp dated January 2023
- Site Plan Set prepared by Spaulding Tougias Architects, Inc. dated October 19, 2023
- Narrative summary with spec sheets (undated, preparer unknown)

Analysis

1. Summary of Land Use Designation

Crawford Square Business District (CSBD) - The Crawford Square Business District (CSBD) accommodates and encourages small-scale establishments offering a wide variety of goods and services. It also provides for family dwellings living in upper floors of business buildings. Intensive development oriented to pedestrians is encouraged.

2. Compliance with Regulations

- a. The parcel size is non-conforming with zoning. The Planning Board of 1986 endorsed an "Approval Not Required" separating a single lot that contained #9 Short Street and a two-family residence #13/15 Short Street. Said plan was never recorded at the Norfolk Registry of Deeds. The lot lost the 3-year zoning protection afforded by MGL Chapter 40A, section 6 and, as a result, became non-conforming with subsequent amendments to the Town's Zoning Bylaws/Ordinances.
- b. The proposed siting of the structure, height, side and rear setbacks comply with zoning.
- c. The front yard setback is pre-existing non-conforming.
- d. The proposed impervious lot coverage does not comply with zoning.
- e. The proposed green space requirement is not provided in the plan set for review.
- f. Off-street parking requirements are not met as the structure is pre-existing.

3. Consistency with Plans

There are no inconsistencies with the Comprehensive Master Plan last updated in 2017.

4. Compatibility with Surrounding Neighborhood

This parcel is within a commercial district and is compatible with most surrounding uses. The adjacent two-family residential structure is pre-existing. The layout and design of the structure and site have no negative visual impact to the street front and adjacent businesses. It may have minimal impact to the abutting residences due to the addition of refrigeration units.

Staff Comments**1. Plan Review**

- a. Pictorial renderings (page 4) depict a new door on the eastern side of the structure but there is no corresponding reference on the civil plans A-101). Either the civil plan or the pictorial renderings submitted should be correct to accurately indicate the intent.
- b. The plan set (A-101) indicated concrete sloping to a “private way”. There is no private way associated with the parcel. Plan notes should be corrected.
- c. The plan set (A-101) indicates the fencing is vinyl coated fence but the narrative with spec sheets calls out a fence panel. Either the civil plan or the pictorial renderings submitted should be correct to accurately indicate the intent.
- d. The plan set (A-101) calls out a drain at the landing but no plan set includes the placement of a dry well.
- e. The plans do not call out roof drains and how the run-off will be managed.

2. Conservation Commission Review

- a. The proposal does not lie within a floodplain nor near any known wetlands. A review by Conservation does not appear to be required.

3. Stormwater

- a. The project does not propose earth disturbance that would trigger a stormwater review and approval.

4. Department of Public Works

- a. The plan set references modification of the public right of way at the entrance to the structure. This work must be coordinated with the Department of Public Works to the Town's specifications. The replacement of the entire sidewalk in front of the structure should be replaced with a concrete sidewalk and granite curbing with a 6” reveal.

5. Site Generated Noise

- a. The site is anticipated to produce minimally more noise than previous use only due to the introduction of exterior refrigeration units.

File Attachments for Item:

2. ANR - Wilmarth Road

PLANNING DEPARTMENT

FORM A**APPLICATION FOR ENDORSEMENT OF A PLAN
BELIEVED NOT TO REQUIRE APPROVAL**

Assessor Parcel ID	6439	Norfolk County Registry of Deeds	Book/Page or Certificate # 40247/286
Parcel Address	31 Wilmarth Road		

Applicant	ACL 31 Wilmarth Road LLC		
Address	15 Lincoln St, Ste 325		
Address2	Wakefield, MA 01880		
Phone	(781) 248-3077	Email	homes@ac-land.com

Surveyor/Engineer	CHESS Engineering LLC		
Address	126 John St, Ste 11		
Address2	Lowell, MA 01851		
Phone	(617) 982-3250	Email	info@chessengineeringne.com

If property owner is not the applicant, separate authorization from the owner is required

Property Owner	ACL 31 Wilmarth Road LLC		
Address	15 Lincoln St, Ste 325		
Address2	Wakefield, MA 01880		
Phone	(781) 248-3077	Email	homes@ac-land.com

PURPOSE OF PLAN
Explanation, purpose of plan and change to/from
The purpose of this plan is to divide existing parcel 6439 into two parcels of land.
Parcel A '35 Wilmarth' is a non-buildable lot as shown.
Parcel B '31 Wilmarth' is a buildable lot as shown.

Specify the reason why the Plan of Land is not a subdivision requiring approval by the Planning Board under the Subdivision Control Law (Select A, B, C or D - **choose only ONE**):

A

A. Each lot on the plan meets one of the following criteria (choose one) by having frontage and lot area required under the Zoning Ordinances for the district in which it is located:

- ☒ 1. A public way, or
☐ 2. A way which the Town Clerk certifies is maintained and used as a public way, or
☐ 3. A way shown on a plan approved and endorsed by the Planning Board under the Subdivision Control Law, recorded in Plan Book _____, Plan _____, or
☐ 4. A way in existence before the adoption of the Subdivision Control Law by the Town and which the Applicant believes is adequate for the way's proposed use, or
☐ 5. A way shown on a plan of a subdivision recorded at the Registry of Deeds or the Land Court prior to the adoption of the Subdivision Control Law: Plan Book _____, Plan _____.

B. Each lot has been clearly marked on the plan to be either:

- ☐ 1. Joined to and made part of an adjacent lot, or
☐ 2. Labeled "Not a Buildable Lot".

C. Each lot on the plan contains a building which existed prior to the adoption of the Subdivision Control Law.

D. The plan shows an existing parcel with no new lot division(s) and has frontage on a way described above.

The undersigned, believing that the accompanying plan of property in the Town of Randolph does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

Mark Mahan
Applicant **MARTINE MEMORA**
ALL 31 WILMINGTON ROAD LLC

01/23/2024
Date

PLANNING BOARD USE ONLY

Items Received: ☐ 5 print copies ☐ 1 Electronic File ☐ Owner Authorization

Date Received:

Fee Received: Amount _____ Check# _____ Date: _____

Reviewed by Engineering: _____ Date: _____

Reviewed by Assessor: _____ Date: _____

1018

51-1415/211

DATE Nov. 23, 2024

\$ 350.00

DOLLARS

Section G, Item 2.

⑈000016⑈ 4021114153⑈ 10335405⑈

APPROVAL IS NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW BY THE TOWN OF RANDOLPH PLANNING BOARD. NO DETERMINATION AS TO COMPLIANCE WITH ZONING REQUIRMENTS HAS BEEN MADE IF INTENDED

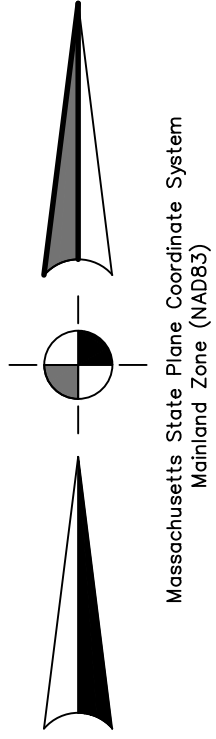
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NAME:

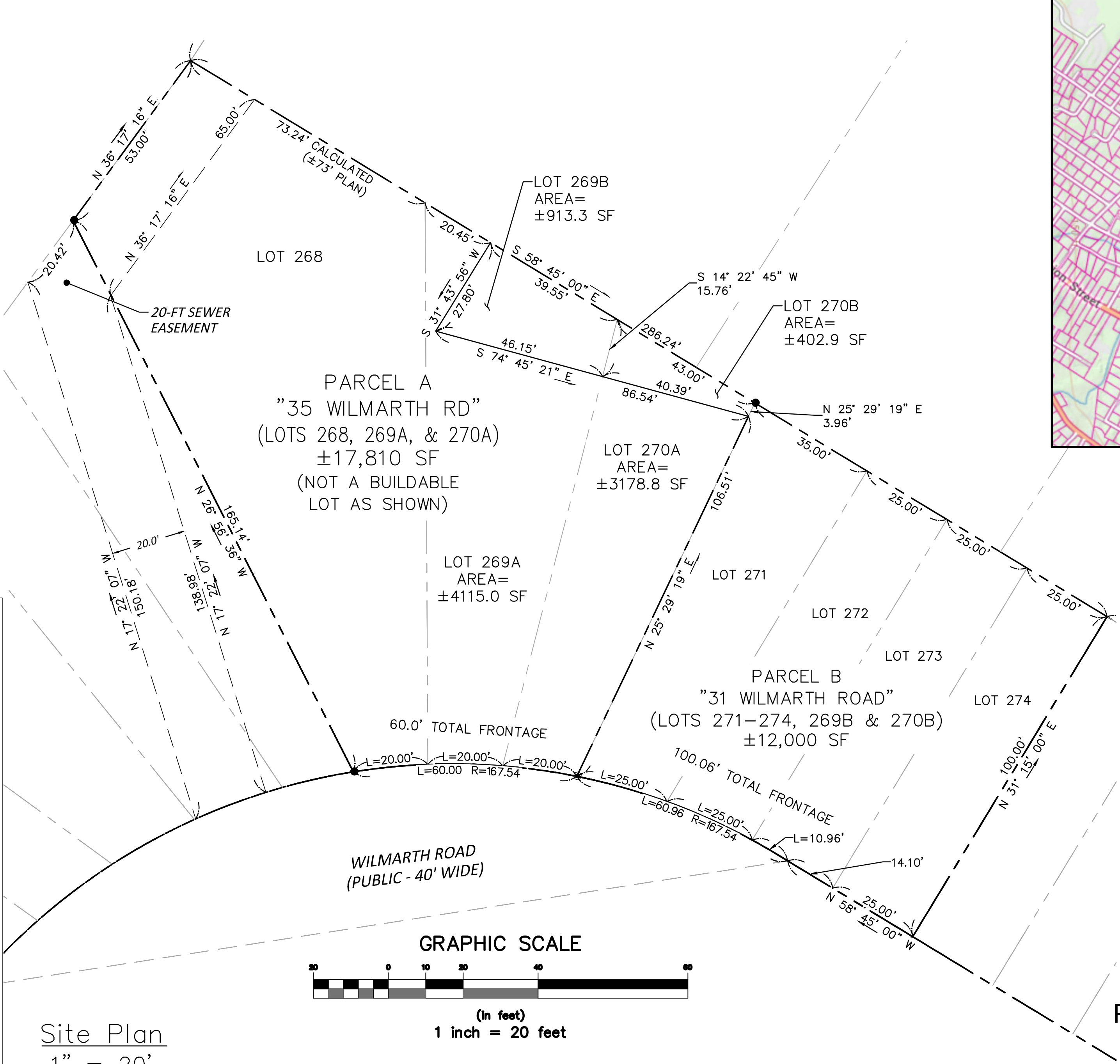
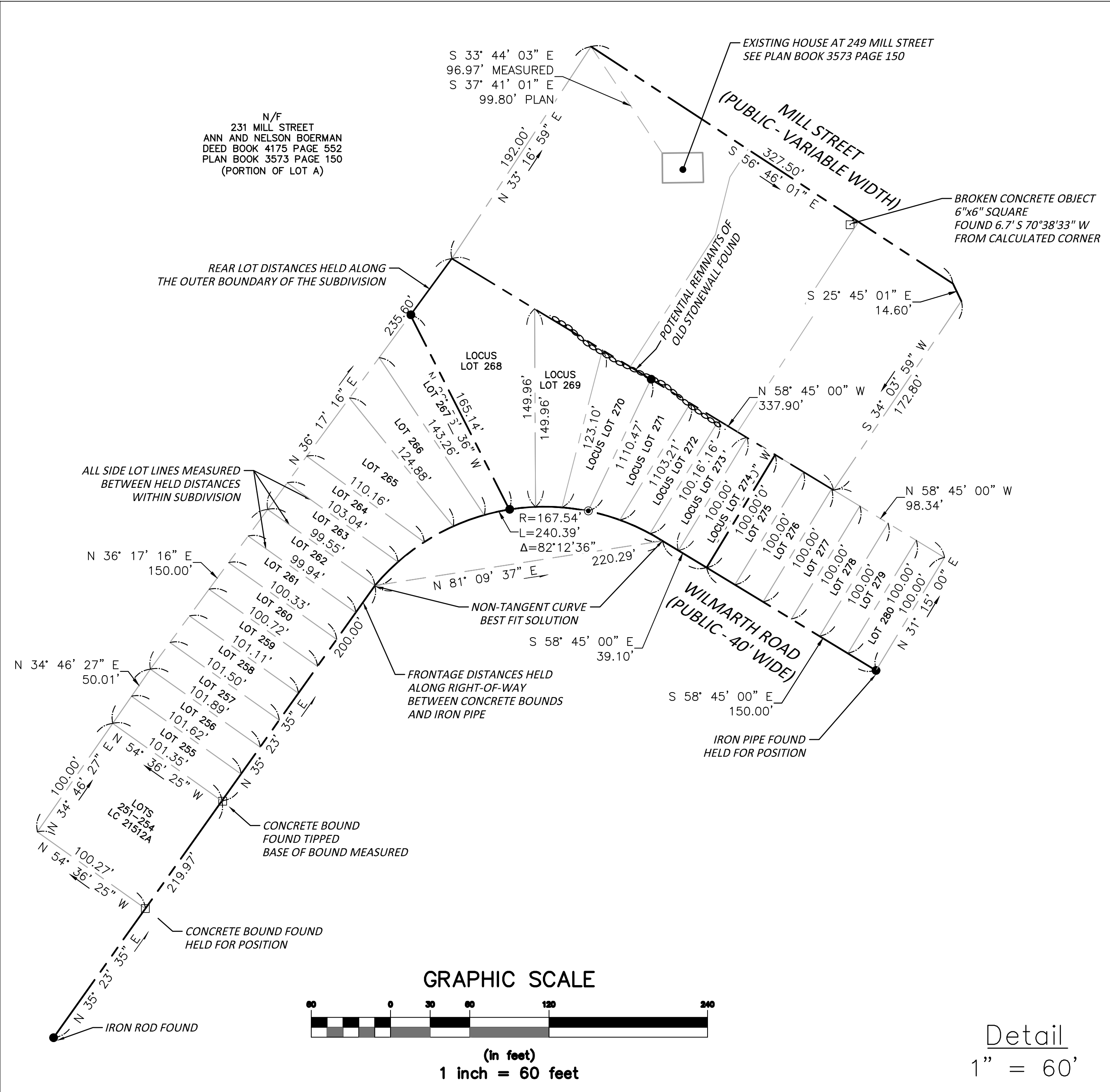
I CERTIFY THAT THIS PLAN WAS HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

SUBMITTED
DIGITAL REVIEW COPY

Paul Campbell, PLS #52781 Date: 1/23/2024



FOR REGISTRY USE ONLY



Site Plan
1" = 20'

Survey Notes:

- The Data Accumulation And Boundary Survey Depicted Hereon Were Obtained By A Field Survey On September 8 & November 2, 2023 By Chess Engineering, LLC. All Features And Objects Shown Are Existing As Of The Date Of The Survey Unless Otherwise Depicted As Proposed.
- The Purpose Of This Plan Is To Provide A Plan Of Record In Accordance With MGL Chap. 41 Sec. 81P. This Plan Illustrates This Surveyors' Interpretation Of Observable Monuments, Obtainable Plans And Deeds Of Record, Witness Testimony, And Any Other Plans And Deeds Which May Affect The Locus Property At The Time And Date Of The Field Survey.
- This Plan Does Not Show Any Unrecorded Or Unwritten Easements Which May Or May Not Exist. A Reasonable And Diligent Attempt Has Been Made To Observe Any Apparent, Visible Uses Of The Land; However, This Does Not Constitute A Guarantee That No Such Easements Exist. This Plan Has Been Prepared Without The Benefit Of A Title Report And Is Subject To Any And All Rights And Encumbrances That Such A Report May Disclose.
- This Plan And Survey Were Prepared Using Conventional Survey Methods. A Leica TS16 Total Station Was Used Having A Minimal Accuracy Of 5" And 2 PPM.
- All Improvements Shown Hereon Have Been Spatially Fixed To A Locational Tolerance Of Not More Than 1/10th Of The Plan Scale. Positional Tolerance Does Not Exceed Allowable Standards.
- All Improvements Located Hereon Are Referenced To The Existing Buildings As Hereon Described.
- Right-Of-Way Said To Be Public According To Town Clerk Or Their Designee. No Research For Local Acceptance Has Been Conducted As Part Of This Survey.
- The Basis Of Bearings, Azimuths, And The North Arrow Shown Hereon Is The Massachusetts State Plane Coordinate System, Mainland Zone. A Leica GS-14 GNSS Receiver Was Utilized At A Starting Position USN2883496.6271 USE783553.7652 With A Scale Factor = 0.9999633

- The Basis Of Elevations Shown Hereon Is The North American Vertical Datum Of 1988 Unless Otherwise Stated. This Plan Does Not Warranty Nor Guarantee The Accuracy Or Precision Of Any Information Provided By Any Record Information.
- Plans Or Information Referenced Are Pertinent Surveys Of Record Describing The Subject Premises And Any Abutting Premises, On File At The County Registry Of Deeds Unless Otherwise Noted.
- Scale of Drawing (As Noted) Intended For A 24"x36" Print Only.

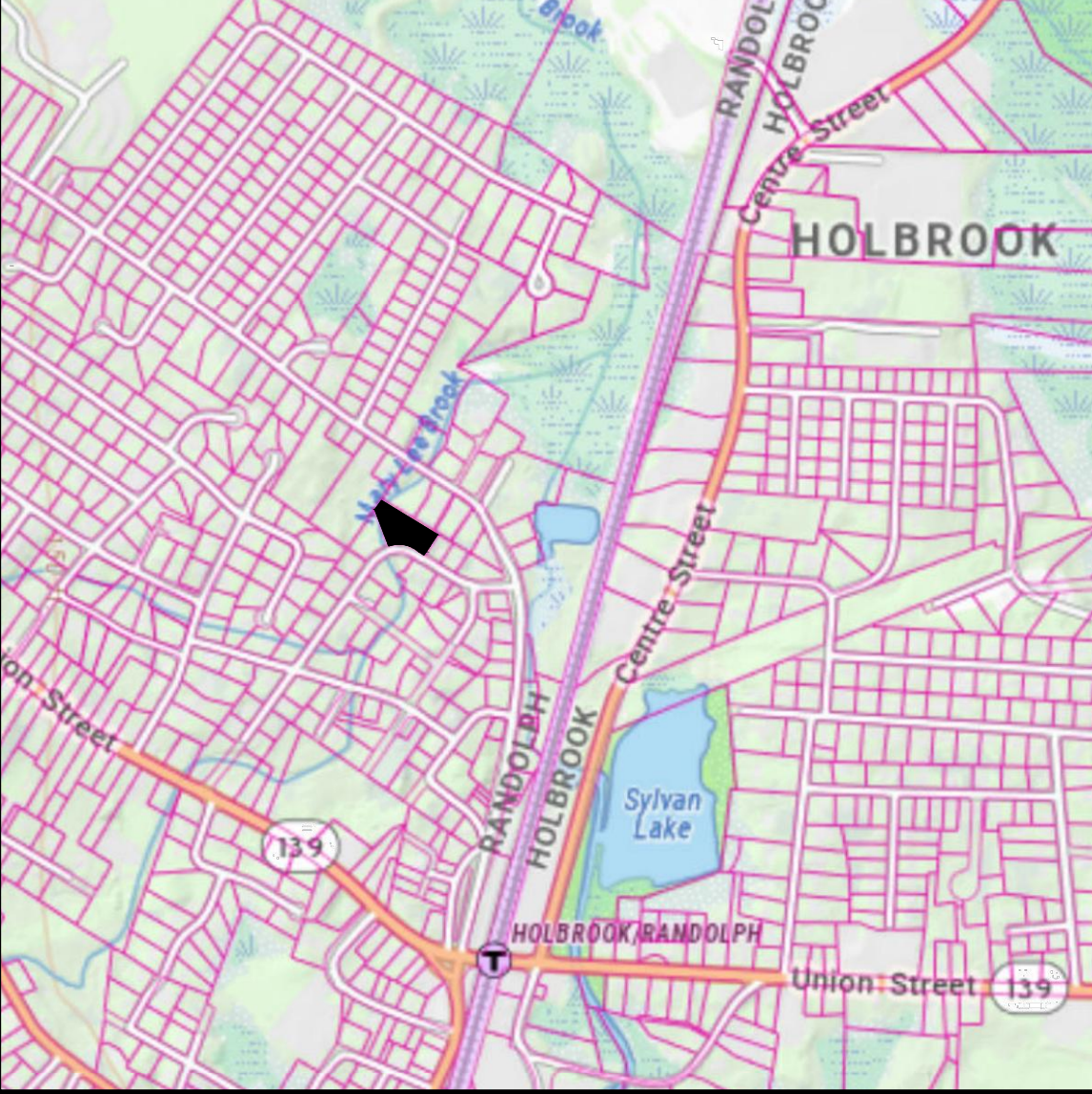
GENERAL NOTES:

LOTS 268, 269A, & 270A ARE TO BE COMBINED TO FORM PARCEL A.
LOTS 269B, 270B, 281, 272, 273, & 274 ARE TO BE COMBINED TO FORM PARCEL B.
PARCEL A IS NOT BUILDABLE AS SHOWN.

TOWN ATLAS MAP REFERENCES ARE TO THE TOWN OF RANDOLPH ASSESSOR DATABASE AS OF DECEMBER 13, 2023.

ZONING DISTRICT — RESIDENTIAL SINGLE FAMILY — HIGH DENSITY DISTRICT
ZONING MAP OF THE CITY/TOWN GIS SYSTEM, DATED 08/04/2023

A PORTION OF THE PROPERTY IS WITHIN F.E.M.A. FLOOD PLAIN DISTRICT — ZONE AE (SEE FLOOD INSURANCE RATE MAP PANEL NO. 25021C0217E, DATED JULY 2012)



LOCUS
1"=800'

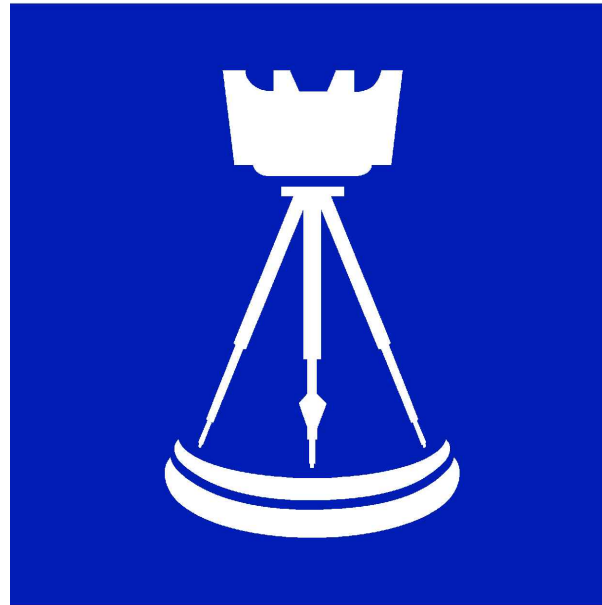
References:

- Deed Book 40247 Page 286
- Deed Book 39890 Page 261
- Deed Book 38701 Page 502
- Deed Book 34563 Page 443
- Deed Book 34441 Page 581
- Deed Book 23134 Page 113
- Deed Book 17205 Page 41
- Deed Book 4175 Page 552
- Plan Book 96 Plan 4658
- Plan Book 491 Page 693
- Plan Book 3573 Page 150
- Plan Book 4823 Page 650
- Plan Book 5271 Page 700
- Land Court Plan 21512-A

PLAN OF LAND
IN
RANDOLPH, MASSACHUSETTS
(NORFOLK COUNTY)

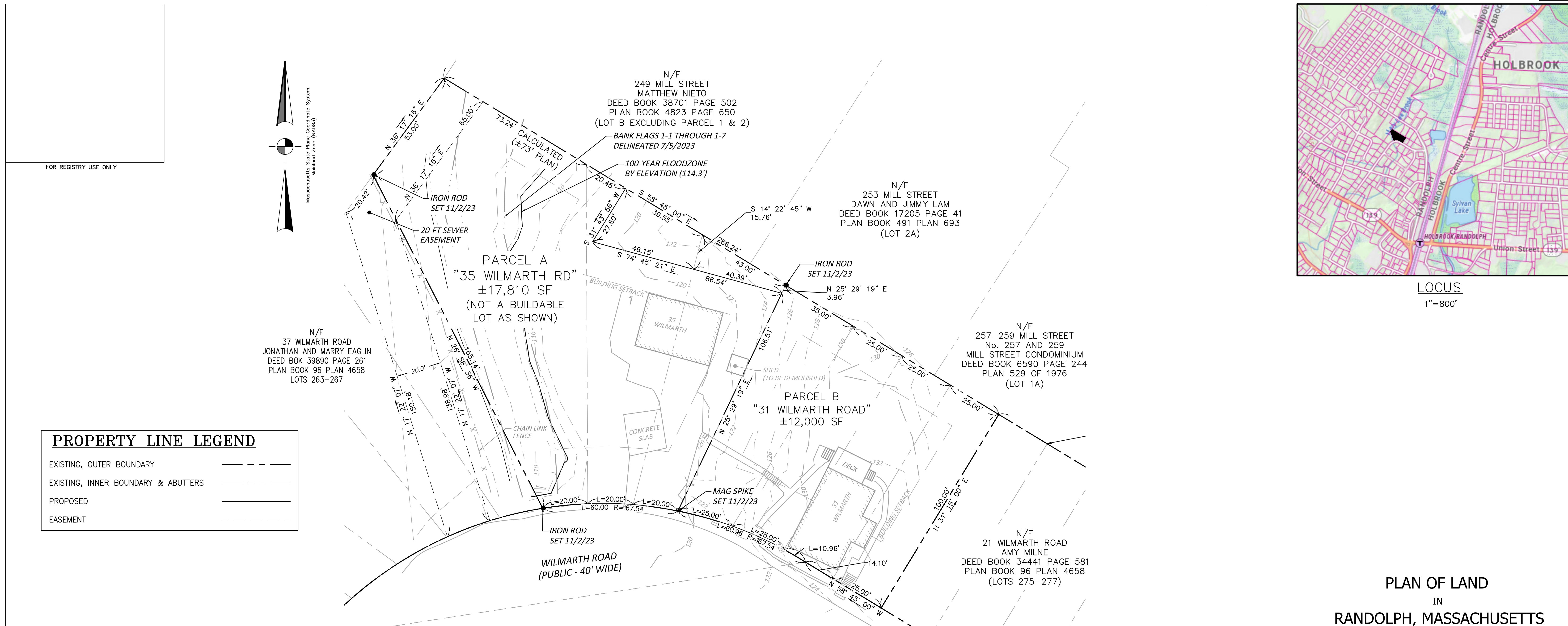
OWNED BY
ACL 31 WILMARTH RD LLC
SCALE: AS SHOWN DECEMBER 21, 2023

PREPARED BY



CHESS
ENGINEERING

PO Box 9480
Lowell, MA 01853
Phone (617) 982-3250
www.chessengineeringne.com



ZONING COMPLIANCE TABLE

DIMENSIONAL REQUIREMENTS – RESIDENTIAL SF HIGH DENSITY

THE INFORMATION SUMMARIZED SHALL ONLY BE USED FOR
THE PURPOSES OF ANR ENDORSEMENT IN ACCORDANCE WITH
TOWN OF RANDOLPH PLAN BOARD RULES AND REGULATIONS
EFFECTIVE DATE 1/28/2020 SECTION III.D.

PER 250 CMR 5.03(13), FULL COMPLIANCE WITH THE ZONING BYLAW OR ANY GENERAL BYLAW OF THE TOWN OF RANDOLPH FOR THE PROPERTY SHOWN IS EXCLUDED FROM THE PROFESSIONAL LAND SURVEYOR CERTIFICATION.

	REQUIRED	31 WILMARTH	35 WILMARTH
MIN. LOT AREA	12,000 S.F.	12,000 S.F.	17,810 S.F.
MIN. FRONTAGE	100'	100.06'	60.0'
MIN. LOT WIDTH	75'	±102'	±83'
MIN. LOT DEPTH	100'	>100'	±140'
MAX. BUILDING COVERAGE	20%	10.1%	4.6%
IMPERVIOUS AREA	5%	4.8%	4.9%
COMBINED	25%	14.9%	9.5%
MIN. FRONT YARD	25'	2.2'	65.8'
FRONT STREET	25'	<25'	>25'
SIDE YARD	15'	20.2'	15.0'
REAR YARD	15'	57.1'	15.0'
MIN. BUFFER – RESIDENTIAL	10'	10'	10'
MIN. BUFFER – STREET	10'	22'	10'

GRAPHIC SCALE

(In feet)
1 inch = 20 feet

APPROVAL IS NOT REQUIRED UNDER THE SUBDIVISION
CONTROL LAW BY THE TOWN OF RANDOLPH PLANNING
BOARD. NO DETERMINATION AS TO COMPLIANCE WITH
ZONING REQUIRMENTS HAS BEEN MADE IF INTENDED

DATE:

NAME:

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
IN CONFORMITY WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

SUBMITTED

DIGITAL REVIEW COPY

Paul Campbell, PLS #52781 Date: 1/23/2024

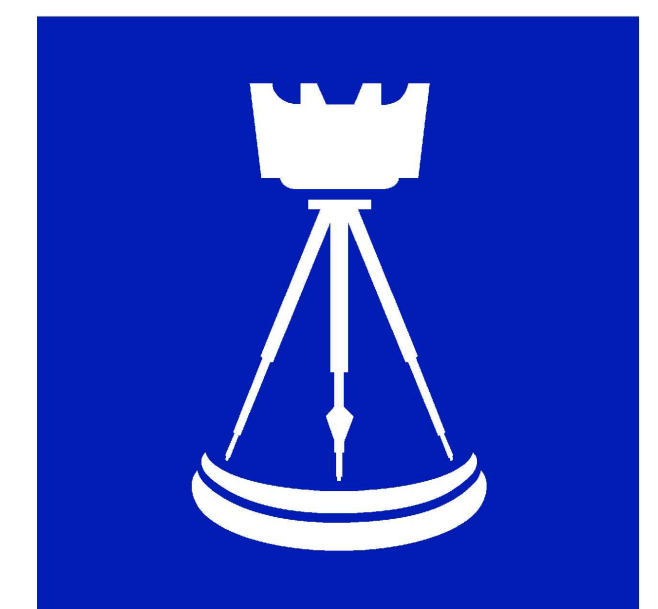
PLAN OF LAND
IN
RANDOLPH, MASSACHUSETTS
(NORFOLK COUNTY)

OWNED BY

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SCALE: AS SHOWN DECEMBER 21, 2023

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