



**AGENDA**  
**Planning & Zoning Commission**  
Prosper Town Hall, Council Chambers  
250 W. First Street, Prosper, Texas  
Tuesday, April 15, 2025  
**6:00 PM**

Welcome to the Prosper Planning & Zoning Commission Meeting.

Citizens may watch the meeting live by using the following link: [www.prospertx.gov/livemeetings](http://www.prospertx.gov/livemeetings)

**Addressing the Planning & Zoning Commission:**

Those wishing to address the Planning & Zoning Commission must complete the Public Comment Request Form located on the Town's website or in the Council Chambers.

**If you are attending in person**, please submit this form to the Town Secretary or the person recording the minutes for the Board/Commission prior to the meeting. When called upon, please come to the podium, and state your name and address for the record.

**If you are watching online**, please submit this form to the Town Secretary prior to 4:00 p.m. on the day of the meeting in order for your comments to be read into the record. The Town assumes no responsibility for technical issues beyond our control.

In compliance with the Texas Open Meetings Act, the Town Council/Board/ Commission may not deliberate or vote on any matter that does not appear on the agenda. The Council/Board/Commission, however, may provide statements of fact regarding the topic, request the topic be included as part of a future meeting, and/or refer the topic to Town Staff for further assistance.

Citizens and other visitors attending Planning and Zoning Commission meetings shall observe the same rules of propriety, decorum, and good conduct applicable to members of the Commission. Any person making personal, impertinent, profane or slanderous remarks or who becomes boisterous while addressing the Commission or while attending the meeting shall be removed from the room, if so directed by the Mayor or presiding officer, and the person shall be barred from further audience before the Commission during that session of the meeting. Disruption of a public meeting could constitute a violation of Section 42.05 of the Texas Penal Code.

1. Call to Order / Roll Call.
2. Pledge of Allegiance
3. Update on Future Development Plans for the Dallas North Tollway and discussion of existing Planned Development Districts.

**CONSENT AGENDA:**

Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of a Commission Member or Staff.

- 4a. Consider and act upon the minutes from the April 1, 2025, Planning & Zoning Commission work session meeting.

- [4b.](#) Consider and act upon the minutes from the April 1, 2025, Planning & Zoning Commission regular meeting.
- [4c.](#) Consider and act upon a request for a Revised Site Plan for a Funeral Home on SCI Prosper Trails Addition, Block A, Lots 1-2, on 53.2± acres, located on the west side of Custer Road and 1,870± feet north of University Drive. (DEVAPP-24-0016)
- [4d.](#) Consider and act upon a request for a Final Plat of SCI Prosper Trails Addition, Block A, Lots 1-2, on 53.2± acres, located on the west side of Custer Road and 1,870± feet north of University Drive. (DEVAPP-24-0145)
- [4e.](#) Consider and act upon a request for a Site Plan for Restaurant/Retail Building on Prosper Center, Block D, Lot 4, on 2.8± acres, located on the southeast corner of Legacy Drive and Prairie Drive. (DEVAPP-24-0138)
- [4f.](#) Consider and act upon a request for a Final Plat of Prosper Center, Block D, Lot 4, on 2.8± acres, located on the southeast corner of Legacy Drive and Prairie Drive. (DEVAPP-24-0139)
- [4g.](#) Consider and act upon a request for a Site Plan for an Amenity Area on Park Place, Phase 2, Block X, Lot 2, on 12.4± acres, located on the west side of Teel Parkway and 1,150± feet south of Prosper Trail. (DEVAPP-25-0010)
- [4h.](#) Consider and act upon a request for a Conveyance Plat of Hunter Gateway Centre Addition, Block A, Lots 10 & 14-15 on 12.9± acres, located on the north side of University Drive and 900± feet east of La Cima Boulevard. (DEVAPP-25-0013)

### **CITIZEN COMMENTS**

The public is invited to address the Commission on any topic. However, the Commission is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Comment Request Form" and present it to a Staff member prior to the meeting.

### **REGULAR AGENDA:**

If you wish to address the Commission, please fill out a "Public Comment Request Form" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Commission during the Citizen Comments portion of the meeting or when the item is considered by the Planning & Zoning Commission.

- 5. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
- 6. Adjourn.



### **CERTIFICATION**

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, April 11, 2025, and remained so posted at least 72 hours before said meeting was convened.

\_\_\_\_\_  
Michelle Lewis Sirianni, Town Secretary

\_\_\_\_\_  
Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

### **NOTICE**

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper Staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

<p><b>NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:</b> The Prosper Town Council meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1073 at least 48 hours prior to the meeting time.</p>
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**MINUTES**  
**Prosper Planning & Zoning Commission**  
**Work Session**  
Prosper Town Hall  
Executive Conference Room  
250 W. First Street, Prosper, Texas  
Tuesday April 1, 2025, 5:30 p.m.

**Call to Order / Roll Call**

The meeting was called to order at 5:33 p.m.

Commissioners Present: Chair Brandon Daniel, Vice Chair Damon Jackson, Secretary Josh Carson, Sekou Harris, John Hamilton, Glen Blanscet, and Matthew Furay

Staff Present: Suzanne Porter, AICP (Planning Manager), Dakari Hill (Senior Planner), Jerron Hicks (Planner), and Michelle Crowe (Senior Administrative Assistant)

Other(s) Present: Jeremy Page, L.L.P. (Town Attorney)

**Items for Individual Consideration:**

**1. Discuss items on the April 1, 2025, Planning & Zoning Commission agenda.**

Ms. Porter and Mr. Hill presented the items on the April 1, 2025, Planning & Zoning Commission agenda.

The Commission inquired about Item 3d. There was discussion pertaining to the development's compliance with the Future Land Use Plan and existing zoning.

The Commission inquired about Item 3f. There was discussion pertaining to the project's compliance with the overall density within Planned Development-90 and open space requirements.

The Commission inquired about Item 3g. There was discussion pertaining to the lot dimensions of the proposed townhomes, usable open space within the development, and pedestrian connectivity throughout the open space areas.

**Adjourn.**

The work session was adjourned at 6:24 p.m.

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Michelle Crowe, Senior Administrative Assistant

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Josh Carson, Secretary



**MINUTES**  
**Prosper Planning & Zoning Commission**  
**Regular Meeting**  
Prosper Town Hall  
Council Chambers  
250 W. First Street, Prosper, Texas  
Tuesday, April 1, 2025, 6:00 p.m.

**1. Call to Order / Roll Call**

The meeting was called to order at 6:29 p.m.

Commissioners Present: Chair Brandon Daniel, Vice Chair Damon Jackson, Secretary Josh Carson, Sekou Harris, John Hamilton, Glen Blanscet, and Matthew Furay

Staff Members Present: Suzanne Porter, AICP (Planning Manager), Dakari Hill (Senior Planner), Jerron Hicks (Planner), and Michelle Crowe (Senior Administrative Assistant)

Other(s) Present: Jeremy Page, L.L.P. (Town Attorney)

**2. Recitation of the Pledge of Allegiance.**

**CONSENT AGENDA**

- 3a. Consider and act upon the minutes from the March 18, 2025, Planning & Zoning Commission work session meeting that proceeded the regular meeting.
- 3b. Consider and act upon the minutes from the March 18, 2025, Planning & Zoning Commission meeting.
- 3c. Consider and act upon the minutes from the March 18, 2025, Planning & Zoning Commission work session meeting that followed the regular meeting.
- 3d. Consider and act upon a request for a Site Plan for two Office/Warehouse buildings on Eagles Crossing Addition, Block A, Lots 1R1, 2R, and 3, on 9.5± acres, located on the west side of Coleman Street and 690± feet south of Prosper Trail. (DEVAPP-24-0099)
- 3e. Consider and act upon a request for a Replat Eagles Crossing Addition, Block A, Lots 1R1 & 2R, and a Final Plat of Eagles Crossing Addition, Block A, Lot 3, on 9.5± acres, located on the west side of Coleman Street and 690± feet south of Prosper Trail. (DEVAPP-24-0098)
- 3f. Consider and act upon a request for a Preliminary Plat of Prosper 170, Phases 1 & 2, on 169.5± acres, located on the north side of First Street and 1,860± feet east of Coit Road. (DEVAPP-24-0125)
- 3g. Consider and act upon a request for a Preliminary Plat of Mythri Brookhollow Townhomes, on 20.2± acres, located 500± feet north of University Drive and 2,585± feet west of Custer Road. (DEVAPP-24-0137)

**3h. Consider and act upon a request for a Preliminary Site Plan for an Automobile Sales, Service and Leasing Facility, a Restaurant, and a Restaurant with a Drive-through on Hunter Gateway Centre, Block A, Lots 10, 14, and 15, on 12.9± acres, located on the north side of University Drive and 900± feet east of La Cima Boulevard. (DEVAPP-24-0172)**

Commissioner Hamilton made a request to pull Items 3f and 3g from the Consent Agenda.

Commissioner Harris made a motion to approve Items 3a, 3b, 3c, 3d, 3e and 3h. The motion was seconded by Commissioner Hamilton. The motion was carried unanimously by a vote of 7-0.

Mr. Hicks presented Item 3f.

Commissioner Hamilton discussed the density standards in the Planned Development for individual neighborhoods at 5.0 dwelling units per acre and an overall density of 3.0 dwelling units, asking that Staff evaluate and ensure compliance with the overall density requirement. Commissioner Hamilton addressed the Planned Development standards for open space and expressed his desire for open space to be useable and accessible for this development and the area surrounding it. Additionally, Commissioner Hamilton requested clarification regarding the materials of the screening along First Street and fencing adjacent to residential lots versus adjacent to open space lots.

Mr. Hill stated that the Town's Zoning Ordinance required screening walls adjacent to thoroughfares to be at least 50 percent open. Additionally, he stated that fencing adjacent to residential lots can be board-on-board wooden fencing whereas fencing adjacent to open space lots is required to be open fencing, typically wrought iron.

Mr. Hill added that the proposed subdivision showed pocket parks with different amenities and trails leading to them that provided connectivity throughout the development.

Commissioner Carson asked about the connectivity of roads between the proposed subdivision and the neighboring subdivision on its eastern boundary.

Mr. Hill stated that neighboring subdivisions are required to have road connections.

Ms. Porter added that the existing right-of-way would be extended to connect to the proposed subdivision.

Commissioner Hamilton made a motion to approve Item 3f subject to Town Staff verifying compliance with the overall density and open space requirements in Planned Development-90. The motion was seconded by Commissioner Blanscet. The motion was carried unanimously by a vote of 7-0.

Mr. Hill presented Item 3g.

Commissioner Hamilton asked about the proposed screening on both the eastern and southern boundaries of the property. Additionally, Commissioner Hamilton asked about the width of the open space on the northern boundary of the property.

Mr. Hill answered that, to his knowledge, the screening on both boundaries would be a six-foot masonry screening wall. Additionally, Mr. Hil added that the width of the open space on the northern boundary was 50-feet wide, which met the minimum width requirement for open space, and that the applicant worked with the Town's Landscape Planner to ensure compliance with open space requirements.

Commissioners Harris and Hamilton asked if amenity centers could be located within the required open space areas.

Mr. Hill replied that amenity centers were permitted within required open space area. Mr. Hill added that Town Staff could verify the open space percentage excluding the proposed amenity center.

Commissioner Carson asked if detention ponds could be counted as open space and inquired about the location of the sidewalks in front of the proposed townhome units due to the zoning allowing for zero-foot build lines.

Mr. Hill responded that detention ponds could count as open space if they were amenitized.

Ms. Porter responded that the sidewalks would be located within the right-of-way and would be provided with the development.

Commissioner Daniel invited the applicant to the podium to speak on this item.

The applicant, David Kalhoefer with Westwood Professional Services, (1100 Frisco Street, Suite 400, Frisco, TX) came forward to provide additional insight into the proposal. Mr. Kalhoefer clarified that the sidewalks would be in the right-of-way and that the screening on the eastern boundary would be ornamental metal fencing instead of a six-foot masonry wall.

Commissioner Daniel requested additional information pertaining to whether the townhomes would be for sale, have a Homeowner's Association, and the anticipated price point.

Mr. Kalhoefer confirmed that the townhomes would be for sale, a Homeowner's Association would be established, and the price point for the units would be high.

Commissioner Hamilton asked Town Staff about the maximum height of townhomes adjacent to the residential development to the north.

Mr. Hill answered that the maximum height for the units is three stories and that there was a two-story cap on buildings adjacent to detached single-family homes.

Mr. Kalhoefer expressed that his interpretation of the regulations was that this was only applicable to units that were directly adjacent to the detached single-family homes and that none of the units were impacted due to the 50-foot open space area separating the developments.

Mr. Hill stated that the interpretation of the requirement would be the decision of the Director of Development Services.

Commissioner Carson expressed his desire for the property owners in the residential subdivision to the north to be considered when interpreting the regulation.

Commissioner Harris made a motion to approve Item 3g subject to Town Staff verification of compliance with the minimum open space requirements in Planned Development-114 being met. The motion was seconded by Commissioner Blanscet. The motion was carried unanimously by a vote of 7-0.

**REGULAR AGENDA:**

- 4. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.**

Mr. Hill informed the Commissioners of the past Town Council actions and upcoming cases for Planning & Zoning Commission action.

Commissioner Hamilton noted that he would not be present at the next Planning & Zoning Commission meeting.

The meeting was adjourned at 7:08 p.m.

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Michelle Crowe, Senior Administrative Assistant

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Josh Carson, Secretary



## PLANNING

**To:** Planning & Zoning Commission **Item No. 4c**

**From:** Dakari Hill, Senior Planner

**Through:** David Hoover, AICP, Director of Development Services

**Cc:** Suzanne Porter, AICP, Planning Manager

**Re:** Site Plan for SCI Prosper Trails Addition, Block A, Lots 1-2

**Meeting:** April 15, 2025

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**Agenda Item:**

Consider and act upon a request for a Revised Site Plan for a Funeral Home on SCI Prosper Trails Addition, Block A, Lots 1-2, on 53.2± acres, located on the west side of Custer Road and 1,870± feet north of University Drive. (DEVAPP-24-0016)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Parks.

**Zoning:**

The property is zoned Planned Development-105 (Single Family-15).

**Conformance:**

The Site Plan conforms to the development standards of Planned Development-105.

**Description of Agenda Item:**

The Site Plan consists of a 7,881 square foot funeral home with a crematorium and associated parking.

A Site Plan (DEVAPP-24-0016) was approved by the Planning & Zoning Commission on May 7, 2024. This plan indicated that half (12') of the Fire, Access, Utility, and Drainage Easement running through the middle of the site was to be filed by separate instrument. This required the consent of the property owner adjacent to the site which was not received; therefore, the easement was shifted.

**Access:**

Access is provided from Custer Road.



**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements.

**Companion Item:**

As a companion item, the Final Plat (DEVAPP-24-0145) is on this Planning & Zoning Commission agenda.

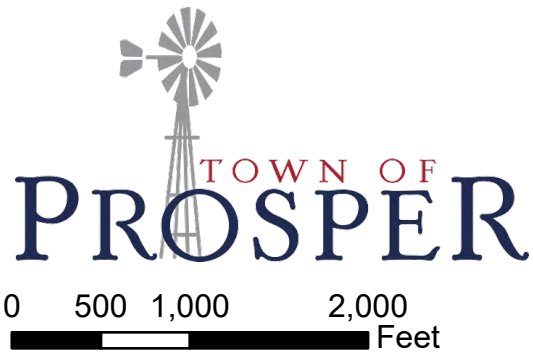
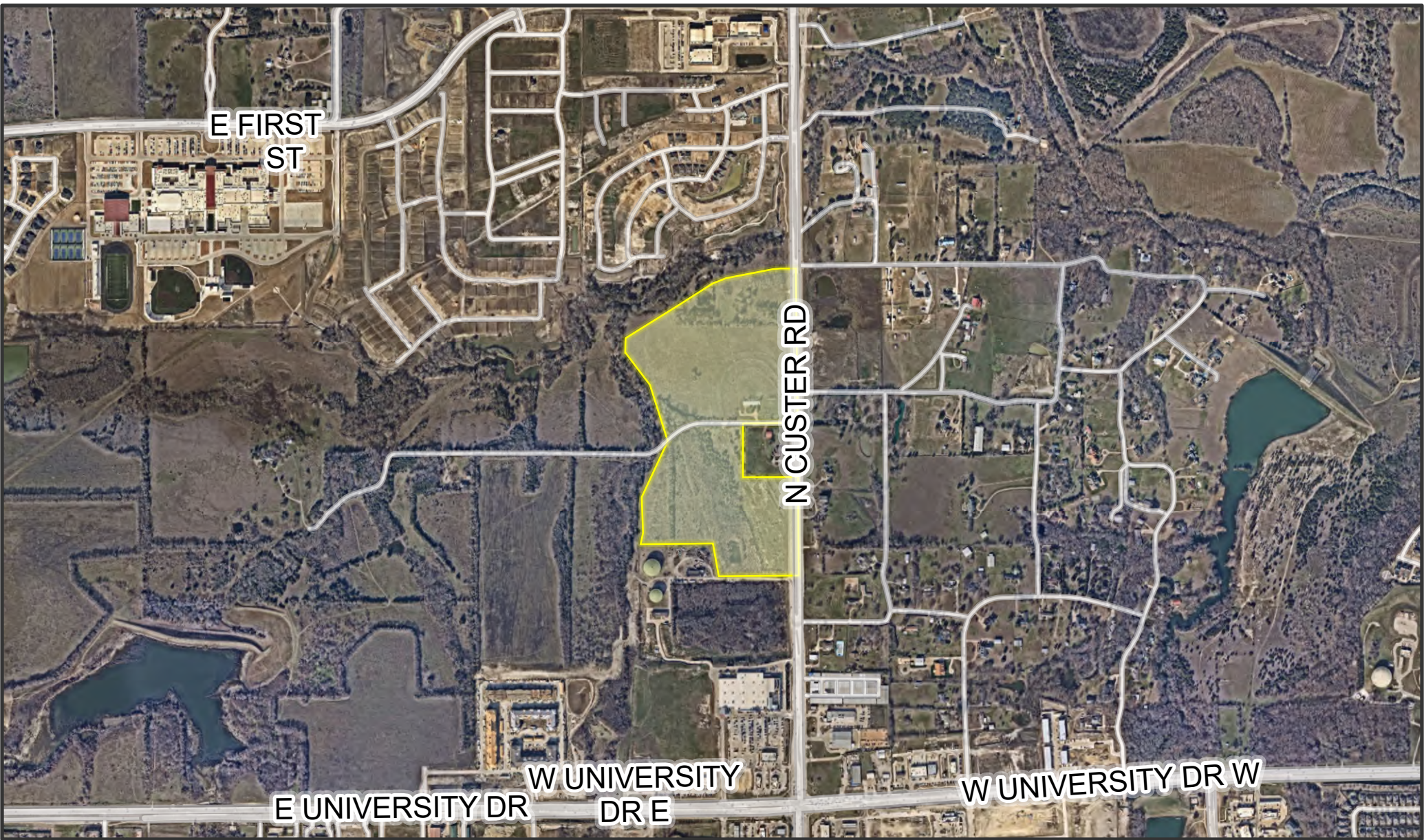
**Attachments:**

1. Location Map
2. Revised Site Plan
3. Approved Site Plan (DEVAPP-24-0016)

**Town Staff Recommendation:**

Town Staff recommends approval of the Revised Site Plan.

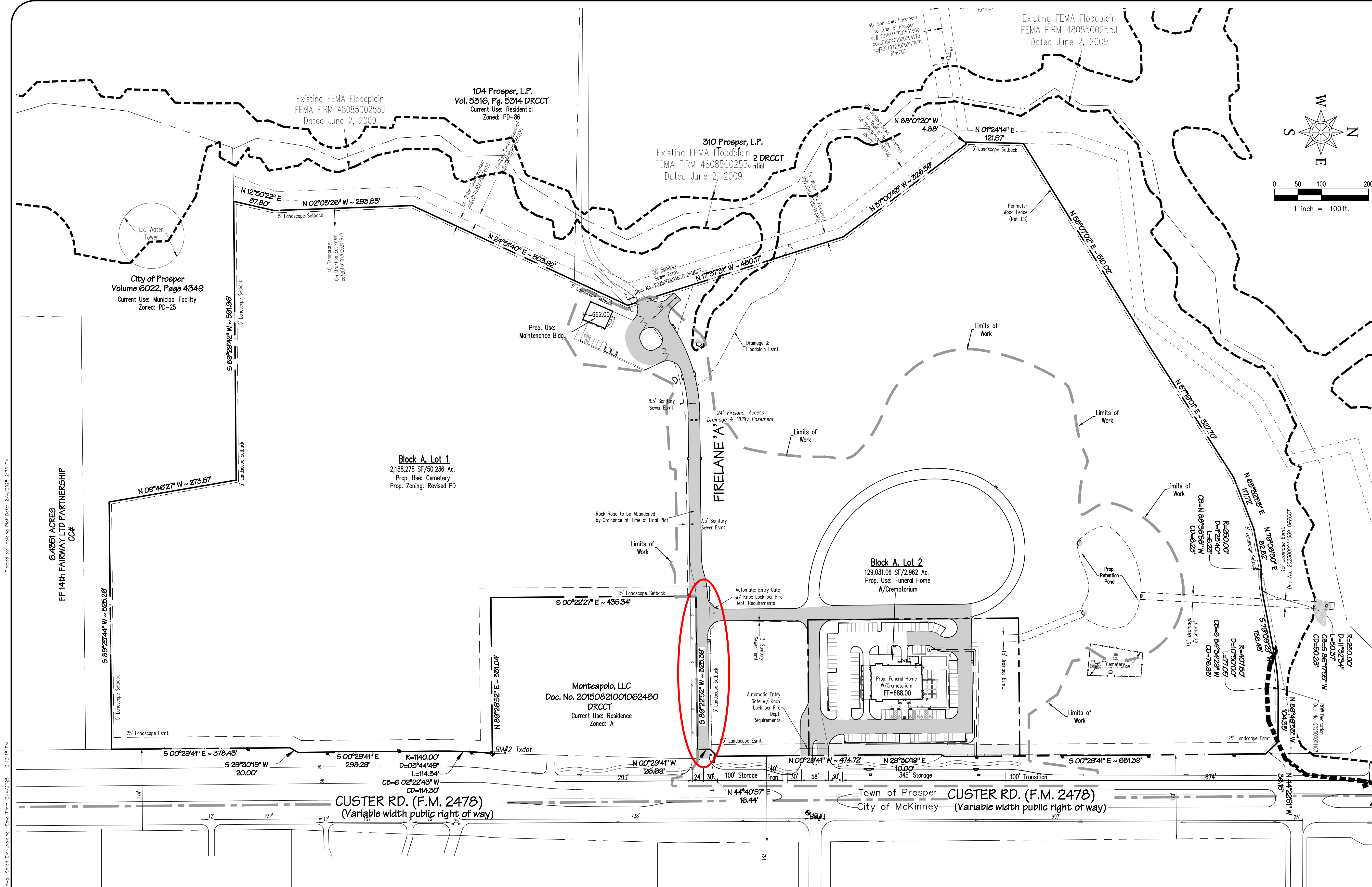




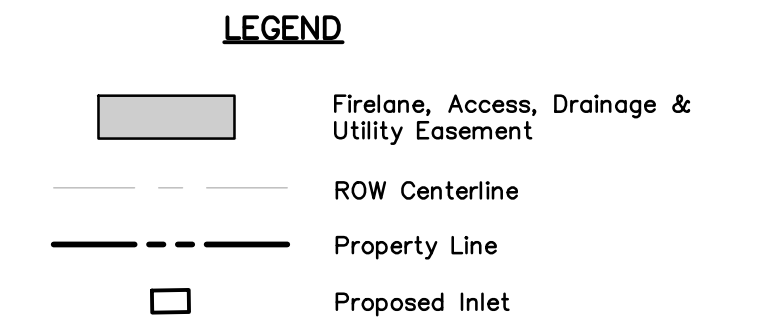
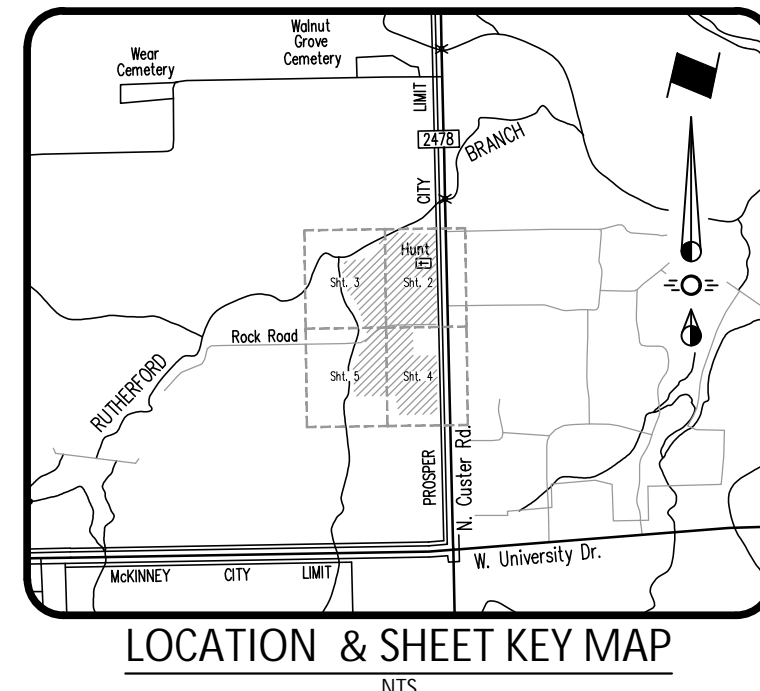
DEVAPP-24-0016

SCI Prosper Trails Addition,  
Block A, Lots 1-2





Site Data Summary Table		
General Site Data	Lot 1	Lot 2
Zoning	PD-105	PD-105
Land Use	Cemetery	Funeral Home W/Crematorium
Lot Area Gross (SF)	2,188,278	129,031
Lot Area Gross (Ac)	50.236	2.962
Building Footprint Area	2,000	7,881
Total Building Area	2,000	5,978
Building Height	1 Story- 25'	1 Story- 30'
Lot Coverage	0.1%	6.2%
Floor Area Ratio	0.001:1	0.061:1
<b>Parking</b>		
Parking Ratio	NA	1 per 250 SF
Parking Required	NA	79
Parking Provided	NA	106
Accessible Parking Required	NA	5
Accessible Parking Provided	NA	6
<b>Landscaping</b>		
Required Interior Parking Landscape	60	1,590
Interior Landscape Area Provided	700	40,127
Impervious Area(SF)	37,994	85,847
Open Space Required (7%)	153,179	9,032
Open Space Provided	2,037,484	30,310



- Town of Prosper Site Plan Notes:**
- All development standards shall follow Town Standards.
  - Landscaping shall conform to landscape plans approved by the Town of Prosper.
  - All development standards shall follow Fire Requirements per the Town of Prosper.
  - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
  - All signage is subject to Building Official approval.
  - Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
  - The approval of a Preliminary Site Plan shall be effective for a period of two (2) years from the date that the Preliminary Site Plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of a Site Plan approval is null and void.
  - Open Space requirements shall follow the Zoning Ordinance, per tract. Open Space shall not include vehicular paving, required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks, and detention pond.

Note: Berming along Custer Road shall be provided as required by the Zoning Ordinance, ranging in height from 3-6 feet and an overall minimum average of 4.5 feet.

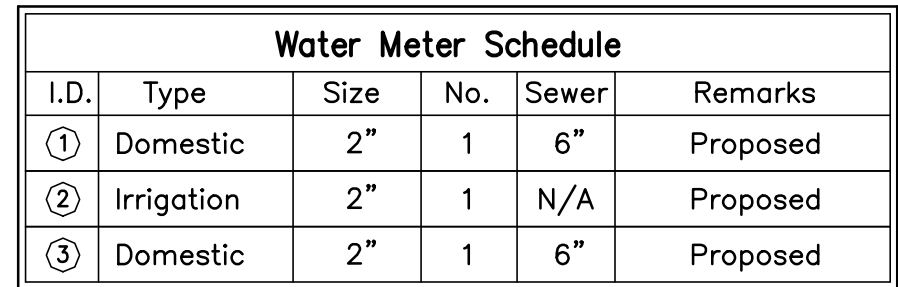
Note: This development proposes to use residential style tote trash and recycling receptacles that will be stored internal to the building. If receptacles are stored outside of the building, a masonry screening wall will be required to be constructed in conformance with the Zoning Ordinance.











CASE No. - DEVAPP-24-0016  
**SITE PLAN**  
**SCI Prosper Trails Addition**  
Block A, Lot 1 & 2 - 53.193 Acres  
SITUATED IN THE  
JEREMIAH HORN SURVEY, ABSTRACT NO. 787  
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS

OWNER/APPLICANT  
SCI Texas Funeral Services, LLC  
1929 Allen Parkway  
Houston, TX 77219  
Telephone: (713) 525-5277  
Contact: Cameron Alexander

ENGINEER / SURVEYOR  
Sparks Engineering, Inc.  
TBPE No. F-2121  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
Contact: David Bond

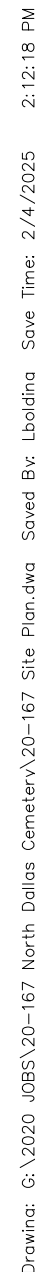
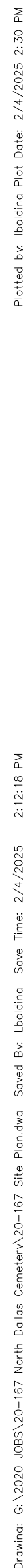




- ### LEGEND
- |   |                                     |
|---|-------------------------------------|
|  | Firelane, Access & Utility Easement |
|  | Existing Fire Hydrant               |
|  | Existing Water Valve                |
|  | Existing Sanitary Sewer Manhole     |
|  | Proposed Fire Hydrant               |
|  | Proposed Water Meter                |
|  | Proposed FDC                        |
|  | ROW Centerline                      |
|  | Property Line                       |
|  | Proposed Inlet                      |

CASE No. - DEVAPP-24-0016  
SITE PLAN  
**SCI Prosper Trails Addition**  
Block A, Lot 1 & 2 - 53.193 Acres  
SITUATED IN THE  
JEREMIAH HORN SURVEY, ABSTRACT NO. 787  
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS

<b>OWNER/APPLICANT</b>	<b>ENGINEER / SURVEYOR</b>
SCI Texas Funeral Services, LLC	Sparks Engineering, Inc.
1929 Allen Parkway	TBPE No. F-2121
Houston, TX 77219	765 Custer Road, Suite 100
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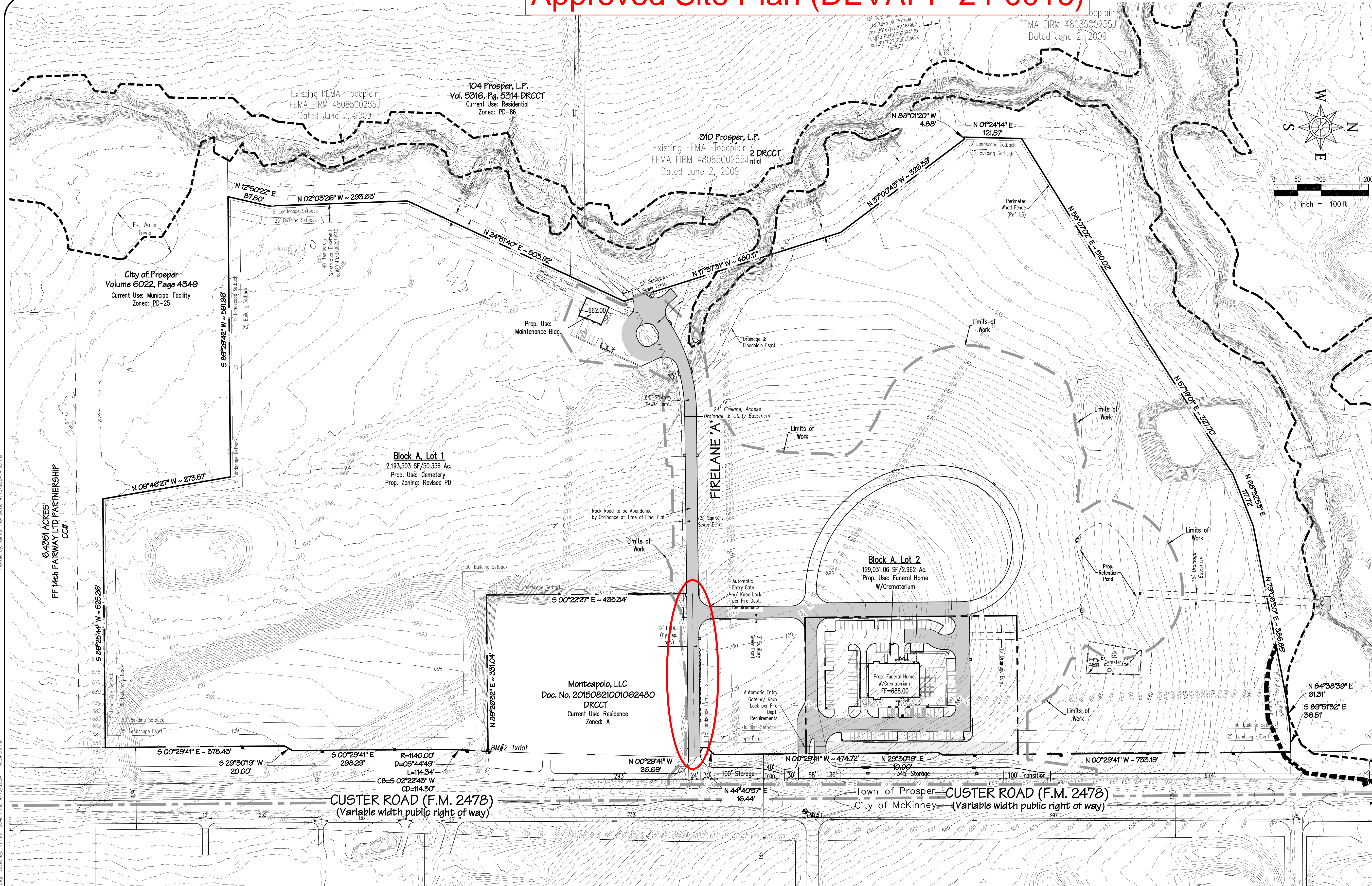


CASE No. - DEVAPP-24-0016  
SITE PLAN  
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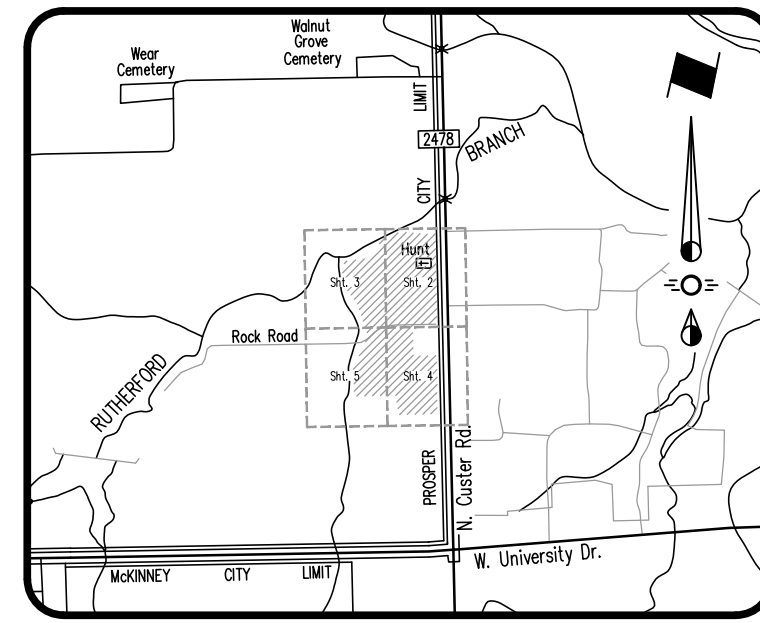
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Spiars Engineering, Inc.  
TBPE No. F-2121  
65 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
Contact: David Bond



Approved Site Plan (DEVAPP-24-0016)



Site Data Summary Table		
General Site Data	Lot 1	Lot 2
Zoning	PD-105	PD-105
Land Use	Cemetery	Funeral Home W/Crematorium
Lot Area Gross (SF)	2,193,503	129,031
Lot Area Gross (Ac)	50.356	2.962
Building Footprint Area	2,000	7,881
Total Building Area	2,000	5,978
Building Height	1 Story- 25'	1 Story- 30'
Lot Coverage	0.1%	6.2%
Floor Area Ratio	0.001:1	0.061:1
<b>Parking</b>		
Parking Ratio	NA	1 per 250 SF
Parking Required	NA	79
Parking Provided	NA	106
Accessible Parking Required	NA	5
Accessible Parking Provided	NA	6
<b>Landscaping</b>		
Required Interior Parking Landscape	60	1,590
Interior Landscape Area Provided	700	40,127
Impervious Area(SF)	37,994	85,847
Open Space Required (7%)	153,545	9,032
Open Space Provided	2,042,953	30,310



LOCATION & SHEET KEY MAP

LEGEND	
	Firelane, Access, Drainage & Utility Easement
	ROW Centerline
	Property Line
	Proposed Inlet



P&Z Approved  
05/07/2024

CASE No. - DEVAPP-24-0016  
SITE PLAN

**SCI Prosper Trails Addition**  
Block A, Lot 1 & 2 - 53.318 Acres  
SITUATED IN THE  
JEREMIAH HORN SURVEY, ABSTRACT NO. 787  
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS

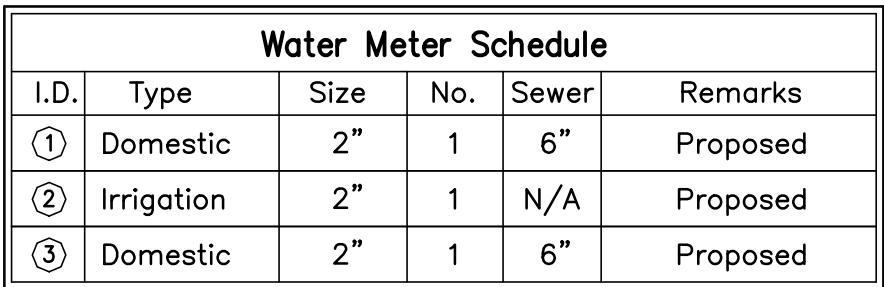
OWNER/APPLICANT SCI Texas Funeral Services, LLC 1929 Allen Parkway Houston, TX 77219 Telephone: (713) 525-5277 Contact: Cameron Alexander	ENGINEER / SURVEYOR Spiars Engineering, Inc. TBPE No. F-2121 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 Contact: David Bond
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- Town of Prosper Site Plan Notes:**
- All development standards shall follow Town Standards.
  - Landscaping shall conform to landscape plans approved by the Town of Prosper.
  - All development standards shall follow Fire Requirements per the Town of Prosper.
  - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
  - All signage is subject to Building Official approval.
  - Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
  - The approval of a Preliminary Site Plan shall be effective for a period of two (2) years from the date that the Preliminary Site Plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of a Site Plan approval is null and void.
  - Open Space requirements shall follow the Zoning Ordinance, per tract. Open Space shall not include vehicular paving, required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks, and detention pond.

Note: Berming along Custer Road shall be provided as required by the Zoning Ordinance, ranging in height from 3-6 feet and an overall minimum average of 4.5 feet.

Note: This development proposes to use residential style tote trash and recycling receptacles that will be stored internal to the building. If receptacles are stored outside of the building, a masonry screening wall will be required to be constructed in conformance with the Zoning Ordinance.



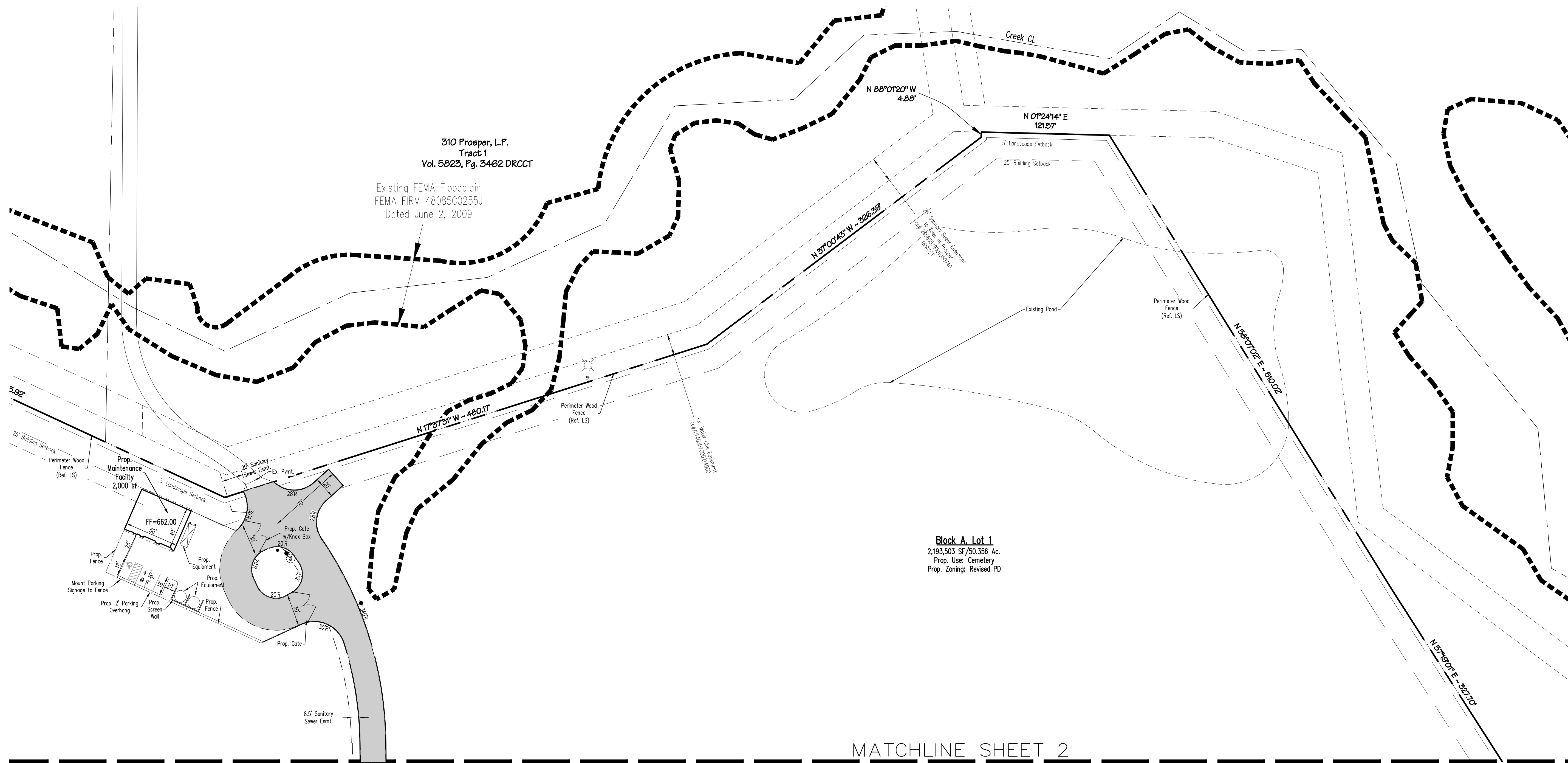
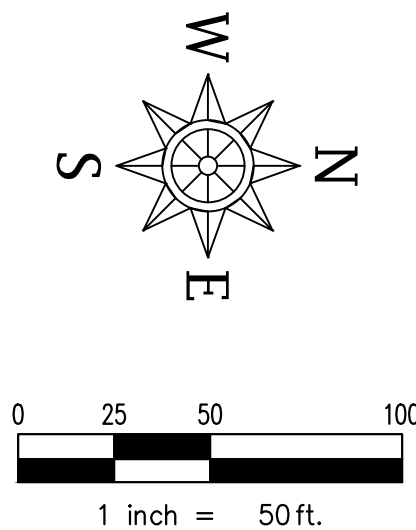


- ### LEGEND
- |   |                                     |
|---|-------------------------------------|
|  | Firelane, Access & Utility Easement |
|  | Existing Fire Hydrant               |
|  | Existing Water Valve                |
|  | Existing Sanitary Sewer Manhole     |
|  | Proposed Fire Hydrant               |
|  | Proposed Water Meter                |
|  | Proposed FDC                        |
|  | ROW Centerline                      |
|  | Property Line                       |
|  | Proposed Inlet                      |

CASE No. - DEVAPP-24-0016  
SITE PLAN  
**SCI Prosper Trails Addition**  
Block A, Lot 1 & 2 - 53.318 Acres  
SITUATED IN THE  
JEREMIAH HORN SURVEY, ABSTRACT NO. 787  
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS

<b>OWNER/APPLICANT</b>	<b>ENGINEER / SURVEYOR</b>
SCI Texas Funeral Services, LLC	Spiars Engineering, Inc.
1929 Allen Parkway	TBPE No. F-2121
Houston, TX 77219	765 Custer Road, Suite 100
Telephone: (713) 525-5277	Plano, TX 75075
Contact: Cameron Alexander	Telephone: (972) 422-0077
	Contact: David Bond





- LEGEND**
- Firelane, Access & Utility Easement
  - Existing Fire Hydrant
  - Existing Water Valve
  - Existing Sanitary Sewer Manhole
  - Proposed Fire Hydrant
  - Proposed Water Meter
  - Proposed FDC
  - ROW Centerline
  - Property Line
  - Proposed Inlet

Water Meter Schedule					
I.D.	Type	Size	No.	Sewer	Remarks
①	Domestic	2"	1	6"	Proposed
②	Irrigation	2"	1	N/A	Proposed
③	Domestic	2"	1	6"	Proposed

CASE No. - DEVAPP-24-0016  
SITE PLAN  
**SCI Prosper Trails Addition**  
Block A, Lot 1 & 2 - 53.318 Acres  
SITUATED IN THE  
JEREMIAH HORN SURVEY, ABSTRACT NO. 787  
IN THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS

OWNER/APPLICANT  
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765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
Contact: David Bond



## PLANNING

**To:** Planning & Zoning Commission **Item No. 4d**  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Final Plat of SCI Prosper Trails Addition, Block A, Lots 1-2  
**Meeting:** April 15, 2025

---

**Agenda Item:**

Consider and act upon a request for a Final Plat of SCI Prosper Trails Addition, Block A, Lots 1-2, on 53.2± acres, located on the west side of Custer Road and 1,870± feet north of University Drive. (DEVAPP-24-0145)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Parks.

**Zoning:**

The property is zoned Planned Development-105 (Single Family-15).

**Conformance:**

The Final Plat conforms to the development standards of Planned Development-105.

**Description of Agenda Item:**

The purpose of this Final Plat is to dedicate easements and for the development of a funeral home with a crematorium and shift the location of a Fire, Access, Utility, and Drainage Easement.

A Final Plat (D21-0057) was approved by the Planning & Zoning Commission on July 6, 2021. This plat expired on July 6, 2023, as final plats have an expiration date of two years from when they are approved by the Planning & Zoning Commission if construction plans have not been approved. Additionally, the expired plat does not reflect the shift of the F.A.U.D.E that corresponds with the Revised Site Plan.

**Companion Item:**

As a companion item, the Site Plan (DEVAPP-24-0016) is on this Planning & Zoning Commission agenda.

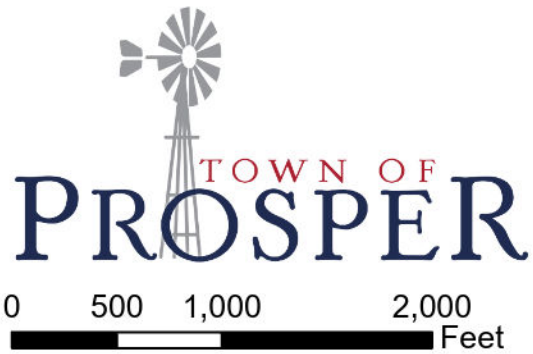
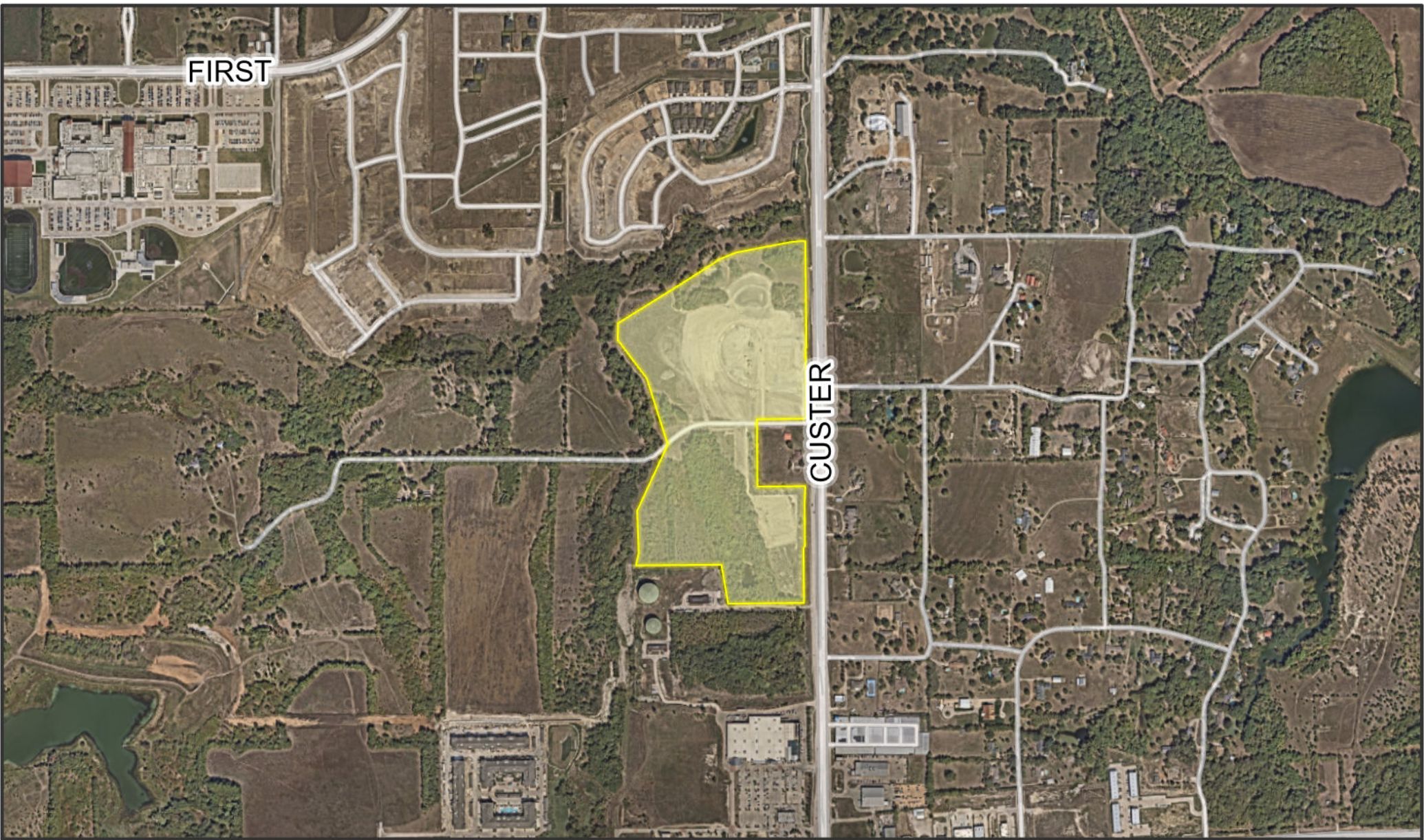
**Attached Documents:**

1. Location Map
2. Final Plat
3. Expired Final Plat (D21-0057)

**Town Staff Recommendation:**

Town Staff recommends approval of the Final Plat.





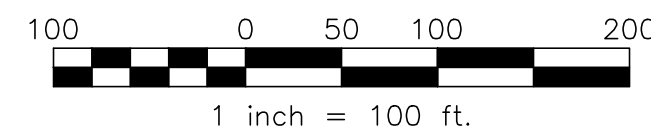
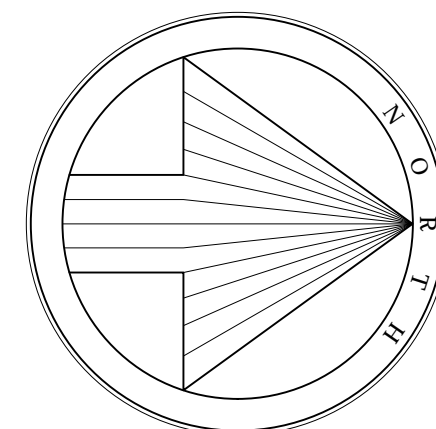
This map for illustration purposes only

DEVAPP-24-0145

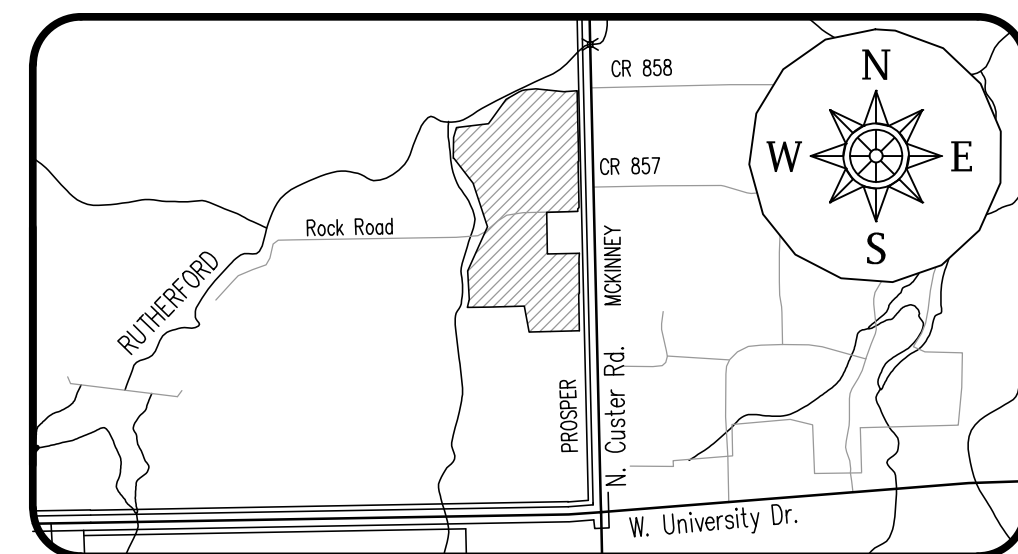
SCI Prosper Trails Addition,  
Block A, Lots 1-2

Final Plat





LEGEND	
(Not all items may be applicable)	
o	1/2" IRON ROD WITH PLASTIC CAP
	OTHERWISE NOTED
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
CM	CONTROL MONUMENT
(BIP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
DRCCT	DEED RECORDS, COLLIN COUNTY, TEXAS
PRCCT	PLAT RECORDS, COLLIN COUNTY, TEXAS



LOCATION MAP  
1" = 200'

NOTES:

- This plat was prepared without the benefit of a commitment for title insurance. No research was performed for any easements other than that shown on the record plat of this property. Therefore, easements, agreements, and other documents may exist that affect the subject property that are not shown on this replat.
- Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.
- Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
- A portion of the subject land is located in a 100-year Flood Plain or in an identified "flood prone area," as defined pursuant to the Flood Disaster Protection Act of 1973, as amended, as reflected by Flood Insurance Rate Map Panel 48085C0255J, effective June 1, 2009. The property is located in Zone "A" (No base flood elevations determined).
- The Purpose of this Final Plat is to dedicate easements for development.

TOWN APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, by the Planning and Zoning Commission of the Town of Prosper, Texas.

Town Secretary \_\_\_\_\_

Engineering Department \_\_\_\_\_

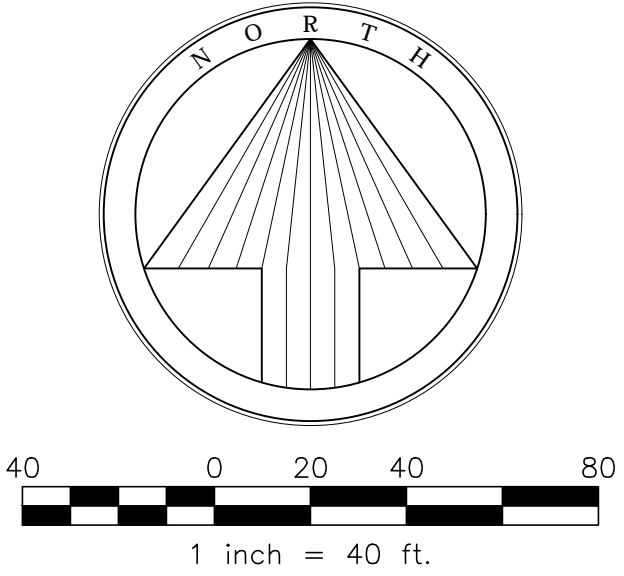
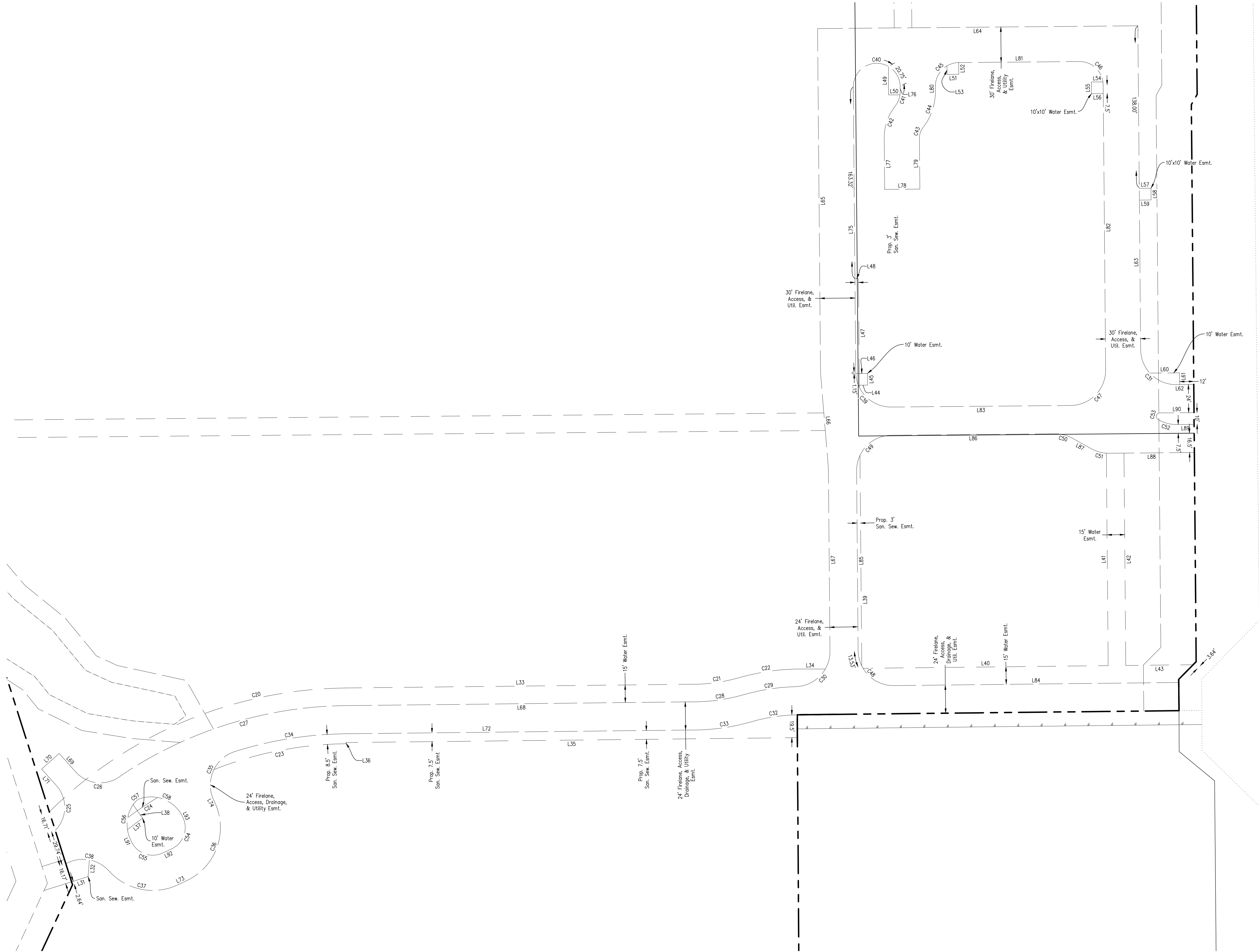
Development Services Department \_\_\_\_\_

Town Case No. DEVAPP-24-0145  
FINAL PLAT

**SCI PROSPER  
TRAILS ADDITION**  
BLOCK A, LOTS 1&2  
BEING 53.193 ACRES  
IN THE J. HORN SURVEY, ABST. NO. 411  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
Page 1 of 3

OWNER/APPLICANT  
SCI Texas Funeral Services, LLC  
1929 Allen Parkway  
Houston, TX 77219  
Telephone: (713) 525-5277  
Contact: Michael White

ENGINEER / SURVEYOR  
Spars Engineering, Inc.  
TBPE No. F-2121  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
Contact: David Bond



LEGEND	
(Not all items may be applicable)	
○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPARSING" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
ORF	CAPPED IRON ROD FOUND
CM	CONTROL MONUMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
DROCT	DEED RECORDS, COLLIN COUNTY, TEXAS
PRCCT	PLAT RECORDS, COLLIN COUNTY, TEXAS

Town Case No. DEVAPP-24-0145  
FINAL PLAT  
**SCI PROSPER  
TRAILS ADDITION**  
BLOCK A, LOTS 1&2  
BEING 53.193 ACRES  
IN THE J. HORN SURVEY, ABST. NO. 411  
TOWN OF PROSPER  
COLLIN COUNTY, TEXAS  
Page 2 of 3

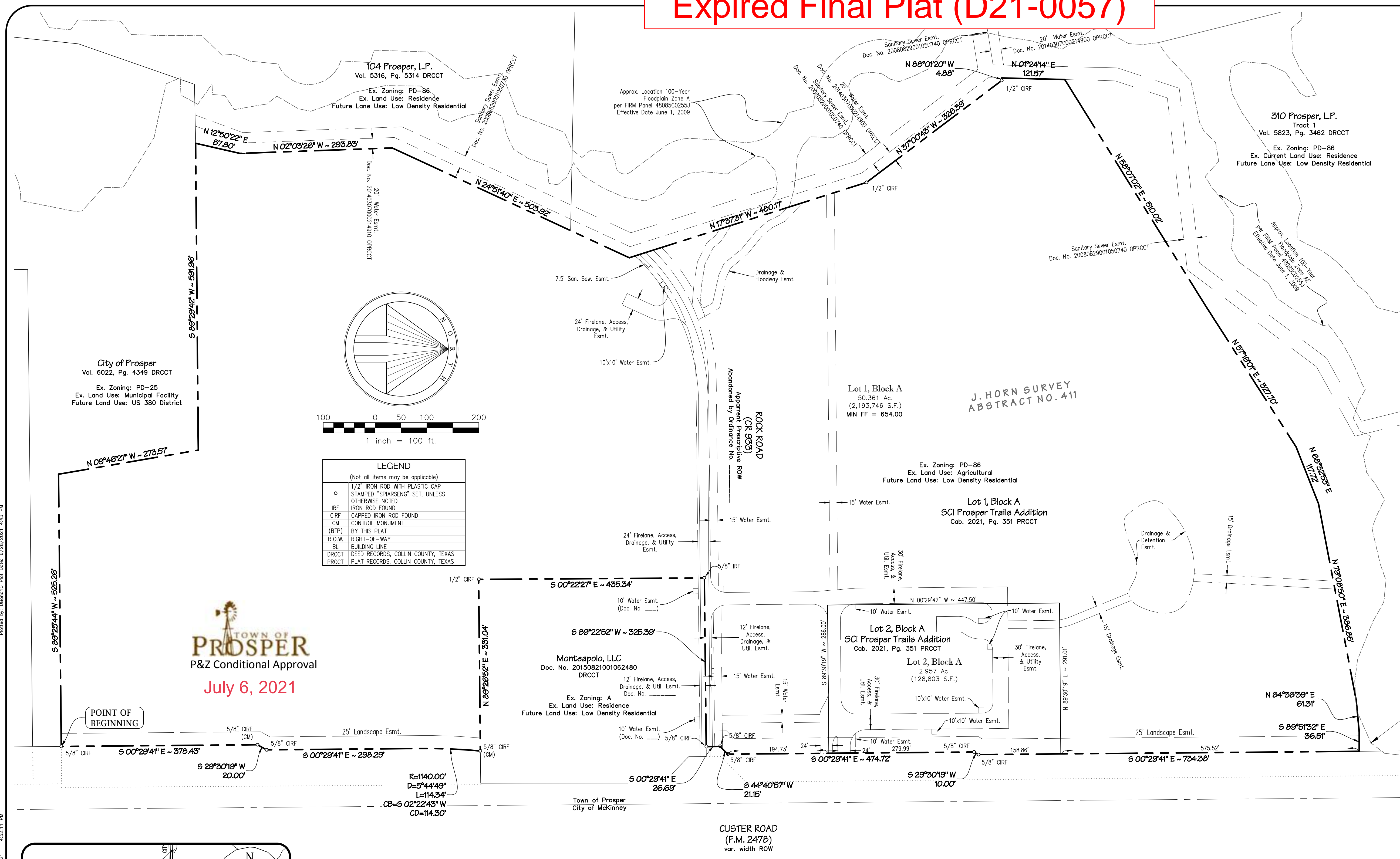
OWNER/APPLICANT  
SCI Texas Funeral Services, LLC  
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Houston, TX 77219  
Telephone: (713) 525-5277  
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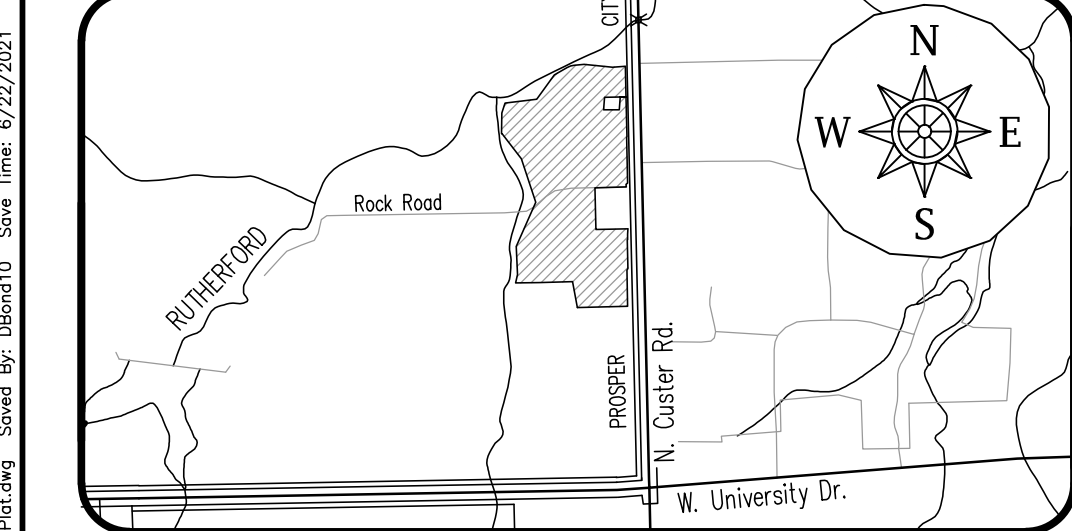


# Expired Final Plat (D21-0057)



Printed By: D:\Bent10 Prod Date: 6/28/2021 4:43 PM

Drawing: C:\2020 JOBS\20-167 North Spars Cemetery\20-167 Final Plat.dwg Saved By: D:\Bent10 Show Time: 6/22/2021 4:52:11 PM



- NOTES:**
- This plat was prepared without the benefit of a commitment for title insurance. No research was performed for any easements other than that shown on the record plat of this property. Therefore, easements, agreements, and other documents may exist that affect the subject property that are not shown on this plat.
  - Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.
  - Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
  - A portion of the subject land is located in a 100-year Flood Plain or in an identified "flood prone area," as defined pursuant to the Flood Disaster Protection Act of 1973, as amended, as reflected by Flood Insurance Rate Map Panel 48085C0255J, effective June 1, 2009. The property is located in Zone "A" (No base flood elevations determined).

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, **SCI TEXAS FUNERAL SERVICES, LLC**, do hereby adopt this final plat designating the hereinabove described property as **SCI PROSPER TRAILS ADDITION, LOTS 1&2, BLOCK A**, an Addition to the Town of Prosper, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all planning ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

Witness our hands at \_\_\_\_\_ County, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**SCI TEXAS FUNERAL SERVICES, LLC**  
a Delaware limited liability company

By: Michael White, President By: Janet S. Kay, Secretary

STATE OF TEXAS §  
COUNTY OF HARRIS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Notary Public, State of Texas

**SURVEYOR'S CERTIFICATE**

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
DARREN K. BROWN, R.P.L.S. NO. 5252

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public, State of Texas



**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF COLLIN §

WHEREAS **SCI TEXAS FUNERAL SERVICES, LLC**, is the owner of a tract of land situated in the J. Horn Survey, Abstract No. 411, Town of Prosper, Collin County, Texas, being all of those tracts described by deeds recorded in Document No. 20210309000465540 and Document No. 20210309000465550, of the Deed Records, Collin County, Texas (DRCCCT), and being all of Lots 1 and 2, Block A, SCI Prosper Trails Addition, according to the plat recorded in Cabinet 2021, Page 351, Plat Records, Collin County, Texas (PRCCT), with the subject tract being more particularly described as follows:

BEGINNING at a 5/8" iron rod with plastic cap found on the west line of Custer Road, a variable width right-of-way (also known as Farm to Market Road 2478), for the northeast corner of a tract conveyed to City of Prosper, recorded in Volume 6022, Page 4349 DRCCCT;

THENCE S 89°25'44" W, 525.26 feet along the north line thereof;

THENCE N 09°46'27" W, 273.57 feet along the north line thereof;

THENCE S 89°29'42" W, 591.96 feet along the north line thereof to a point;

THENCE departing said City of Prosper tract, the following:

N 12°50'22" E, 87.80 feet;

N 02°03'26" W, 293.83 feet;

N 24°51'40" E, 503.92 feet;

N 17°37'31" W, 480.17 feet to a 1/2" iron rod with plastic cap found;

N 37°00'43" W, 326.39 feet 1/2" iron rod with plastic cap found;

N 88°01'20" W, 4.88 feet;

N 01°24'14" E, 121.57 feet;

N 58°07'02" E, 510.02 feet;

N 57°19'01" E, 327.70 feet;

N 68°32'53" E, 117.72 feet;

N 79°08'50" E, 386.85 feet;

N 84°38'39" E, 61.31 feet;

And S 89°51'32" E, 36.51 feet to the west line of Custer Road;

THENCE along the west line of Custer Road, the following:

S 00°29'41" E, 734.38 feet to a 5/8" iron rod with plastic cap found;

S 29°30'19" W, 10.00 feet to a 5/8" iron rod with plastic cap found;

S 00°29'41" E, 474.72 feet to a 5/8" iron rod with plastic cap found;

S 44°40'57" W, 21.15 feet to a 5/8" iron rod with plastic cap found;

And S 00°29'41" E, 26.69 feet to a 5/8" iron rod with plastic cap found on the north line of a tract conveyed to Montepolo, LLC, recorded in Document No. 20150821001062480 DRCCCT;

THENCE along the common line thereof, the following:

S 89°22'52" W, 325.39 feet to a 5/8" iron rod found;

S 00°22'27" E, 435.34 feet to a 1/2" iron rod with plastic cap found;

And N 89°26'52" E, 331.04 feet to a 5/8" iron rod with plastic cap found on the west line of Custer Road;

THENCE along the west line thereof, the following:

A non-tangent curve to the left having a central angle of 05°44'49", a radius of 1140.00 feet, a chord of S 02°22'43" W - 114.30 feet, an arc length of 114.34 feet;

S 00°29'41" E, 298.29 feet to a 5/8" iron rod with plastic cap found;

S 29°30'19" W, 20.00 feet to a 5/8" iron rod with plastic cap found;

And S 00°29'41" E, 378.43 feet to the POINT OF BEGINNING with the subject tract containing 2,322,549 square feet or 53.318 acres of land.

**TOWN APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, by the Planning and Zoning Commission of the Town of Prosper, Texas.

\_\_\_\_\_  
Town Secretary

\_\_\_\_\_  
Engineering Department

\_\_\_\_\_  
Development Services Department

**Town Case No. D21-0057**  
**FINAL PLAT**

**SCI PROSPER TRAILS ADDITION**  
**LOTS 1&2, BLOCK A**  
**BEING 53.318 ACRES**  
**IN THE J. HORN SURVEY, ABST. NO. 411**  
**TOWN OF PROSPER, COLLIN COUNTY, TEXAS**

**OWNER/APPLICANT**  
SCI Texas Funeral Services, LLC  
1929 Allen Parkway  
Houston, TX 77219  
Telephone: (713) 525-5277  
Contact: Michael White

**ENGINEER / SURVEYOR**  
Spiars Engineering, Inc.  
TBPE No. F-2121  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
Contact: David Bond



## PLANNING

**To:** Planning & Zoning Commission

**From:** Dakari Hill, Senior Planner

**Through:** David Hoover, AICP, Director of Development Services

**Cc:** Suzanne Porter, AICP, Planning Manager

**Re:** Site Plan for Prosper Center, Block D, Lot 4

**Meeting:** April 15, 2025

**Item No. 4e**

---

**Agenda Item:**

Consider and act upon a request for a Site Plan for Restaurant/Retail Building on Prosper Center, Block D, Lot 4, on 2.8± acres, located on the southeast corner of Legacy Drive and Prairie Drive. (DEVAPP-24-0138)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the US Highway 380 District.

**Zoning:**

The property is zoned Planned Development-65.

**Conformance:**

The Site Plan conforms to the development standards of Planned Development-65.

**Description of Agenda Item:**

The Site Plan consists of two restaurant/retail buildings totaling 25,000 square feet and associated parking.

A Preliminary Site Plan (D18-0051) was approved by the Planning & Zoning Commission on June 19, 2018. This plan showed a house of worship, One Community Church, on Lot 3 and two retail buildings on Lot 4.

**Access:**

Access is provided from Legacy Drive.

**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements.

**Companion Item:**

As a companion item, the Final Plat (DEVAPP-24-0139) is on this Planning & Zoning Commission agenda.

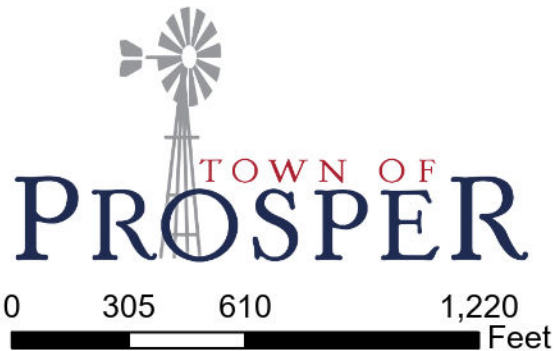
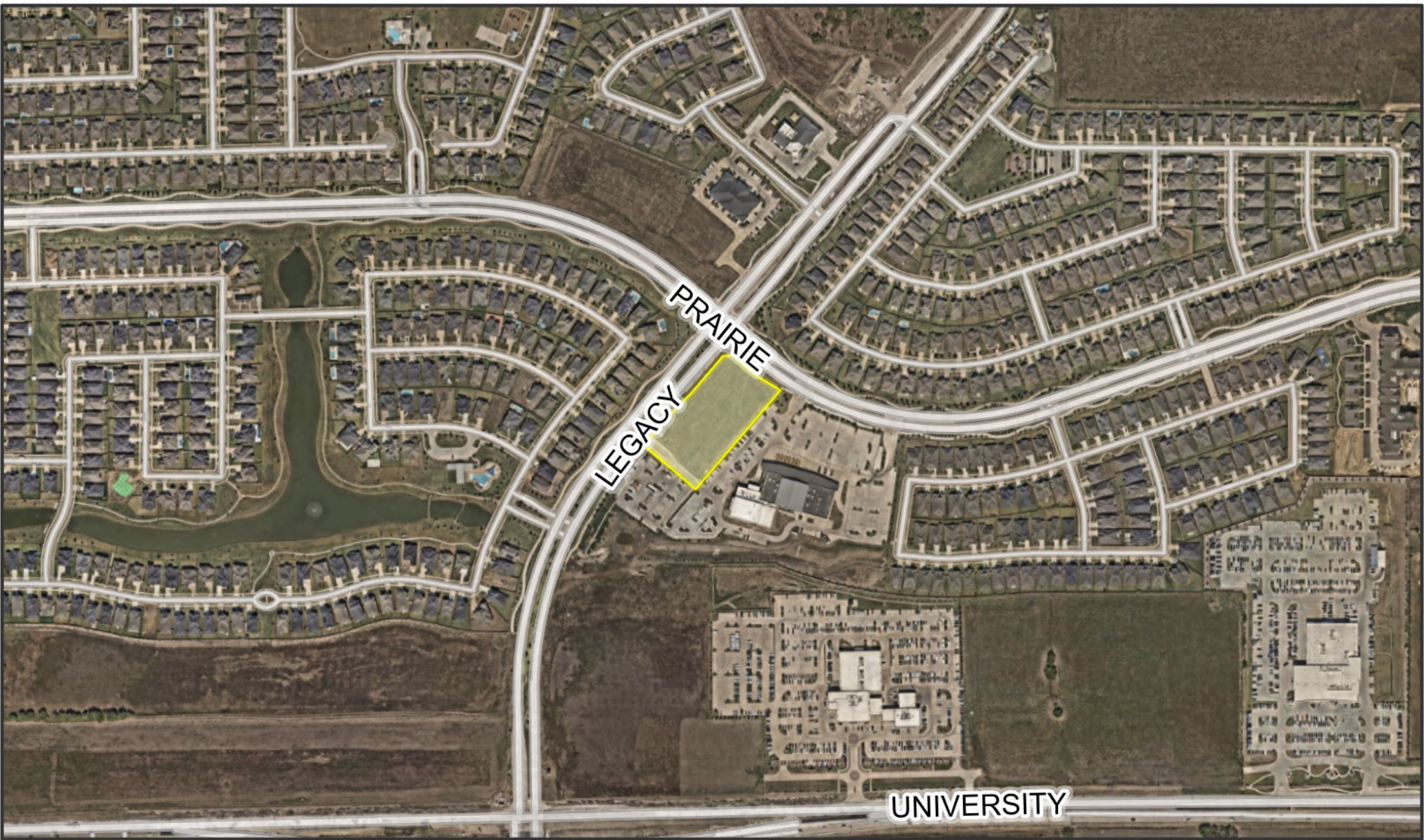
**Attachments:**

1. Location Map
2. Site Plan
3. Open Space Plan
4. Approved Preliminary Site Plan (D18-0051)

**Town Staff Recommendation:**

Town Staff recommends approval of the Site Plan.





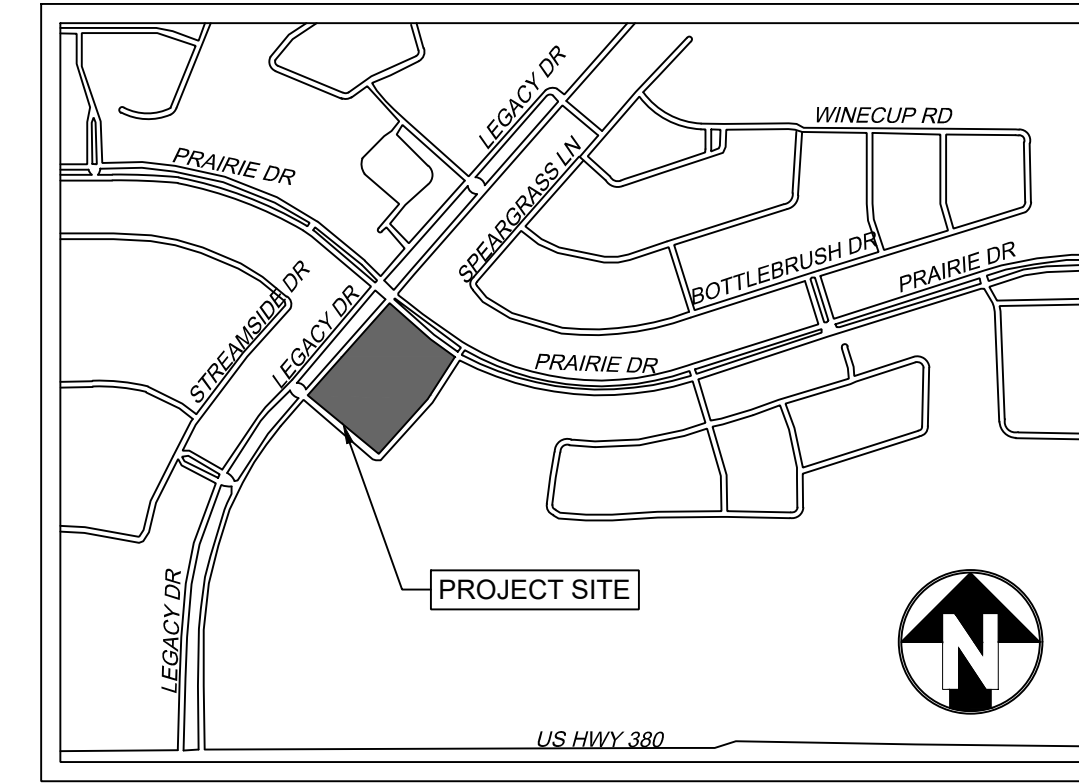
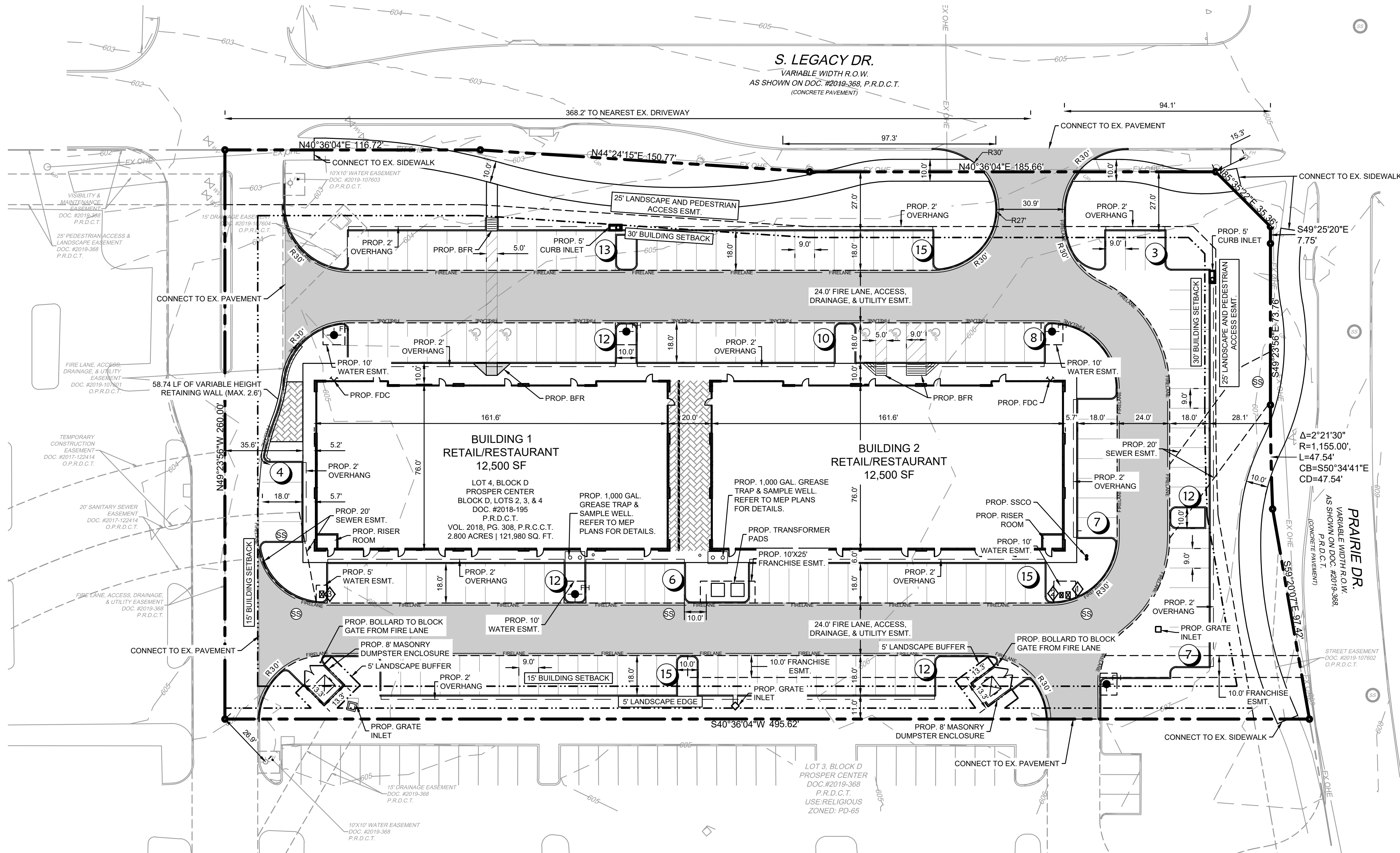
This map for illustration purposes only

DEVAPP-24-0138

Prosper Center,  
Block D, Lot 4

Site Plan



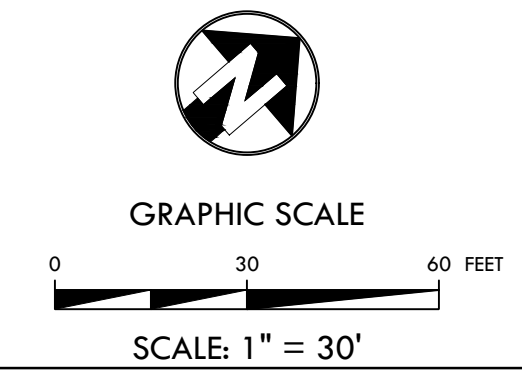


VICINITY MAP  
N.T.S.

LEGEND

- PROPOSED SIGN
- FIRE LANE STRIPING
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY MANHOLE
- PROPOSED CURB INLET
- PROPOSED GRATE INLET
- ACCESSIBLE ROUTE
- PARKING COUNT
- PROPOSED FDC
- PROPERTY BOUNDARY
- PROPOSED FIRE LANE
- PROPOSED PAVERS

SITE PLAN DATA TABLE	
EXISTING ZONING	PD-65
PROPOSED USE	RETAIL/RESTAURANT
LOT AREA (SF) / (ACRES)	121,980 / 2.80027
TOTAL BUILDING AREA (SF)	25,000
BUILDING HEIGHT	30'-0" (1 STORY)
BUILDING LOT COVERAGE (%) / FLOOR AREA RATIO	20.2% / 0.202:1
RETAIL PARKING REQUIREMENT	1 SPACE PER 250 SF
RESTAURANT PARKING REQUIREMENT	1 SPACE PER 100 SF
PORTION OF BUILDING 1 RETAIL	69.28% / 8,660 SF
PORTION OF BUILDING 1 RESTAURANT	30.72% / 3,840 SF
PORTION OF BUILDING 2 RETAIL	69.28% / 8,660 SF
PORTION OF BUILDING 2 RESTAURANT	30.72% / 3,840 SF
RETAIL PARKING SPACES REQUIRED	70 SPACES
RESTAURANT PARKING SPACES REQUIRED	77 SPACES
TOTAL PARKING SPACES REQUIRED	147 SPACES
TOTAL PARKING SPACES PROVIDED	151 SPACES
REQUIRED ADA PARKING	5 SPACES (2 VAN)
PROVIDED ADA PARKING	5 SPACES (2 VAN)
PARKING LOT LANDSCAPING REQUIRED	2,280 SF
PARKING LOT LANDSCAPING PROVIDED	3,578 SF
OPEN SPACE REQUIRED (7% OF LOT AREA)	8,538 SF
OPEN SPACE PROVIDED	8,681 SF
TOTAL AREA OF IMPERVIOUS SURFACE	88,995 SF



**SITE PLAN**  
**TOWN PROJECT NO. DEVAPP-24-0138**  
**LEGACY PROSPER**  
PROSPER CENTER  
BLOCK D, LOT 4  
DOC. #2018-195  
P.R.D.C.T.  
TOWN OF PROSPER,  
DENTON COUNTY, TEXAS  
PREPARATION DATE: 4/1/2025

**OWNER/APPLICANT**  
LEGACY-PAIRIE LLC  
6553 SIMON AVE  
FRISCO, TEXAS 75035  
PH: 651-587-9761  
CONTACT: REDDY GOTTIPOLU

**LANDSCAPE ARCHITECT**  
STUDIO GREEN SPOT  
1782 W MCDERMOTT ST  
ALLEN, TEXAS 75013  
PH: 469-369-4448  
CONTACT: CHRIS TRONZANO, RLA

**ENGINEER**  
KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PH: 817-468-4880  
CONTACT: SHAWN WALDO, PE

**SURVEYOR**  
BARTON CHAPA SURVEYING  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PH: 817-864-1957  
CONTACT: JACK BARTON, RPLS

- SITE PLAN STANDARD NOTES:**
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  - ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE. HOWEVER, CHANGES TO THE PROPOSED USE AT THE TIME OF GO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY PLANNING & ZONING COMMISSION. AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF HE SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF A SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  - OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACK, SIDEWALKS, AND DETENTION PONDS.

WATER METER TABLE			
METER #	METER TYPE	METER SIZE	METER LOCATION
1	DOMESTIC	2"	BACK OF BUILDING 2
2	IRRIGATION	1.5"	BACK OF BUILDING 2
3	DOMESTIC	2"	BACK OF BUILDING 1

PLANNING & ZONING DEPARTMENT  
TOWN OF PROSPER, TEXAS  
4/1/2025

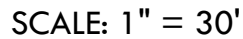


LOT 4, BLOCK D  
TOWN OF PROSPER  
DENTON COUNTY, TEXAS

KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

## OPEN SPACE PLAN

# OS1



**SURVEYOR**  
BARTON CHAPA SURVEYING  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PH: 817-864-1957  
CONTACT: JACK BARTON, RPLS



N:\0014921\0014921.DWG CIVIL\0014921 - C.PSP.DWG

CAUTION !!!  
EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



BENCHMARK LIST:

BENCHMARK #1  
"X" CUT AT WEST CORNER OF CURB INLET LOCATED IN NORTH SIDE OF PRAIRIE DRIVE  
800'± EAST OF LEGACY DRIVE.  
ELEVATION = 611.33

BENCHMARK #2  
"X" CUT AT NORTH CORNER OF CURB INLET LOCATED IN EAST SIDE OF LEGACY DRIVE  
NEAR THE SOUTHWEST CORNER OF THE SITE.  
ELEVATION = 600.29

NOTES:

1. ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB, UNLESS OTHERWISE NOTED.
2. NO 100-YR FEMA FLOODPLAIN EXISTS ON THIS SITE.
3. ALL PARKING STALLS ARE 9'x20' UNLESS OTHERWISE NOTED. STALLS 18' DEEP HAVE A 2' OVERHANG OFFSET.
4. THE RETAIL BUILDINGS ARE PARKED FOR RETAIL ONLY. USE OF THE BUILDINGS FOR RESTAURANT USES WILL REQUIRE ADDITIONAL PARKING.

LOT 1, BLOCK C  
PROSPER CENTER  
LOTS 1, 2, 3 & 4 BLOCK A  
LOT 1, BLOCK B, LOT 1, BLOCK  
C, LOT 1, BLOCK D  
(VOL. 2015, PG. 344 P.R.C.T.  
DOC. #2015-242 P.R.D.C.T.)

CHB=N 30°56'29" E  
CH=449.35'  
L=451.48'  
R=1340.00'

CHB=S 70°18'07" E  
CH=463.49'  
L=466.72'  
R=1145.00'

CHB=N 30°56'29" E  
CH=449.35'  
L=451.48'  
R=1340.00'

CHB=N 30°56'29" E  
CH=449.35'  
L=451.48'  
R=1340.00'

CHB=N 30°56'29" E  
CH=449.35'  
L=451.48'  
R=1340.00'

CHB=N 30°56'29" E  
CH=449.35'  
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R=1340.00'

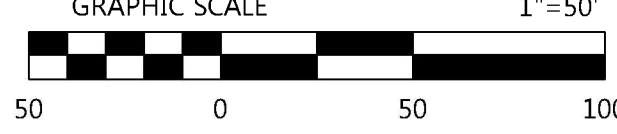
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CH=449.35'  
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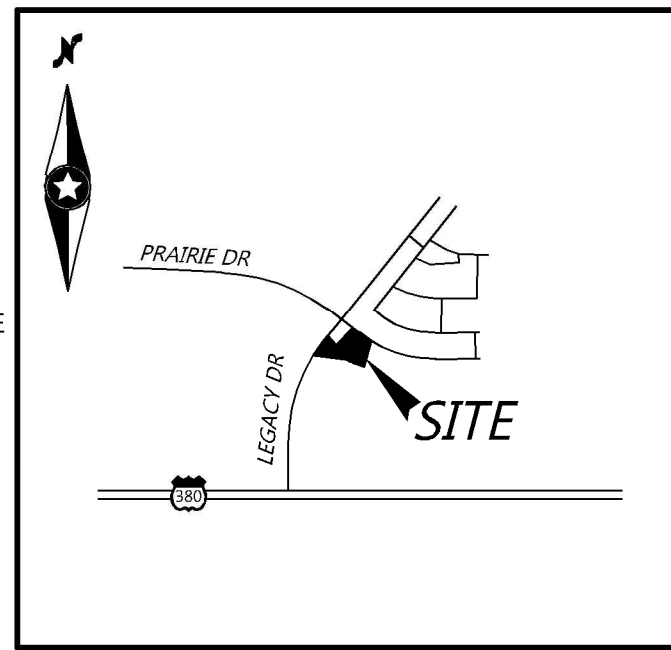
CHB=N 30°56'29" E  
CH=449.35'  
L=451.48'  
R=1340.00'

CHB=N 30°56'29" E  
CH=449.35'  
L=451.48'  
R=1340.00'

# Approved Preliminary Site Plan (D18-0051)



- LEGEND
- PROPERTY LINE
  - PROPOSED EASEMENT
  - PROPOSED WATER LINE
  - PROPOSED SANITARY SEWER LINE
  - L.A. LANDSCAPE AREA
  - FIRE LANE
  - P.A.L.E. PEDESTRIAN ACCESS AND LANDSCAPE EASEMENT



VICINITY MAP  
NOT TO SCALE

SITE DATA SUMMARY TABLE

ITEM	LOT 3	LOT 4
ZONING	PD-65	PD-65
PROPOSED USE	CHURCH	RETAIL
LOT AREA (SF/ACRES)	592,406 SF/13.600 AC	121,982 SF/2.800 AC
BUILDING AREA (SF)	35,570	20,775
BUILDING HEIGHT (STORIES)	37	40' (MAX)
FLOOR AREA RATIO	6.00%	17.03%
CHURCH PARKING REQUIRED (1 PER 3 SEATS IN MAIN AUDITORIUM)	184 SPACES	NA
RETAIL PARKING REQUIRED (1/250 SF)	NA	84 SPACES
TOTAL PARKING REQUIRED	184 SPACES	84 SPACES
TOTAL PARKING PROVIDED	953 SPACES	126 SPACES
HANDICAPPED PARKING REQUIRED	20 SPACES	5 SPACES
HANDICAPPED PARKING PROVIDED	20 SPACES	5 SPACES
INTERIOR LANDSCAPING REQUIRED	15,585	2,175
INTERIOR LANDSCAPING PROVIDED	22,661	5,684
IMPERVIOUS AREA (SF)	448,065	86,366
OPEN SPACE AREA REQUIRED (LOT SF*7%)	41,468	8,539
OPEN SPACE AREA PROVIDED	42,927.59	18,358

NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

PROSPER SITE PLAN NOTES

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

1. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE AND SUBDIVISION ORDINANCE.
4. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN.
5. ALL ELEVATIONS SHALL COMPLY WITH THE STANDARDS CONTAINED WITHIN THE ZONING ORDINANCE.
6. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
7. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER TOWN STANDARDS OR AS DIRECTED BY THE FIRE DEPARTMENT.
8. TWO POINTS OF ACCESS SHALL BE MAINTAINED FOR THE PROPERTY AT ALL TIMES.
9. SPEED BUMPS/JUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
10. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
11. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
12. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
13. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE PLAN.
14. SIDEWALKS OF NOT LESS THAN SIX (6) FEET IN WIDTH ALONG THOROUGHFARES AND COLLECTORS AND FIVE (5) FEET IN WIDTH ALONG RESIDENTIAL STREETS, AND BARRIER FREE RAMPS AT ALL CURB CROSSINGS SHALL BE PROVIDED PER TOWN STANDARDS.
15. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE ENGINEERING DEPARTMENT.
16. SITE PLAN APPROVAL IS REQUIRED PRIOR TO GRADING RELEASE.
17. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
18. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
19. ALL LANDSCAPE EASEMENTS MUST BE EXCLUSIVE OF ANY OTHER TYPE OF EASEMENT.
20. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
21. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.



CASE NUMBER D18-0051  
PRELIMINARY SITE PLAN  
PROSPER CENTER  
BLOCK D, LOTS 3 & 4  
16.4 ACRES

LOCATED IN THE TOWN OF PROSPER, TEXAS  
AND BEING OUT OF THE  
L. NETHERLY SURVEY, ABSTRACT No. 962  
DENTON COUNTY, TEXAS  
PREPARED: JUNE, 2018

DESIGNED: AWS  
CHECKED: AWS  
DRAWN: HIR  
FIELD CREW:  
FIELD WORK DATE:

INITIAL ISSUE: 06-11-2018  
REVISIONS:

PREPARED FOR:

ONE COMMUNITY CHURCH

2400 STATE HIGHWAY 121  
PLANO, TEXAS 75025

PRELIMINARY  
FOR INTERIM REVIEW ONLY  
NOT TO BE USED FOR:  
CONSTRUCTION OR  
BIDDING PURPOSES  
Engineer: **ALAN W. NELSON, P.E.**  
P.E. No.: **96877**  
Date: **06-11-2018**  
**Westwood**

ONE COMMUNITY CHURCH-PROSPER

PROSPER, TEXAS

**Westwood**

Phone (214) 473-4640 2740 Dallas Parkway, Suite 280  
Toll Free (888) 937-5150 Plano, TX 75093  
westwoods.com  
Westwood Professional Services, Inc.

PRELIMINARY SITE PLAN

SHEET NUMBER:

1.01

DATE: 06-11-2018

0014921.00

ONE COMMUNITY CHURCH-PROSPER





## PLANNING

**To:** Planning & Zoning Commission

**From:** Dakari Hill, Senior Planner

**Through:** David Hoover, AICP, Director of Development Services

**Cc:** Suzanne Porter, AICP, Planning Manager

**Re:** Final Plat of Prosper Center, Block D, Lot 4

**Meeting:** April 15, 2025

**Item No. 4f**

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**Agenda Item:**

Consider and act upon a request for a Final Plat of Prosper Center, Block D, Lot 4, on 2.8± acres, located on the southeast corner of Legacy Drive and Prairie Drive. (DEVAPP-24-0139)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the US Highway 380 District.

**Zoning:**

The property is zoned Planned Development-65.

**Conformance:**

The Final Plat conforms to the development standards of Planned Development-65.

**Description of Agenda Item:**

The purpose of this Final Plat is to abandon easements and dedicate new easements for the development of two restaurant/retail buildings.

**Companion Item:**

As a companion item, the Site Plan (DEVAPP-24-0138) is on this Planning & Zoning Commission agenda.

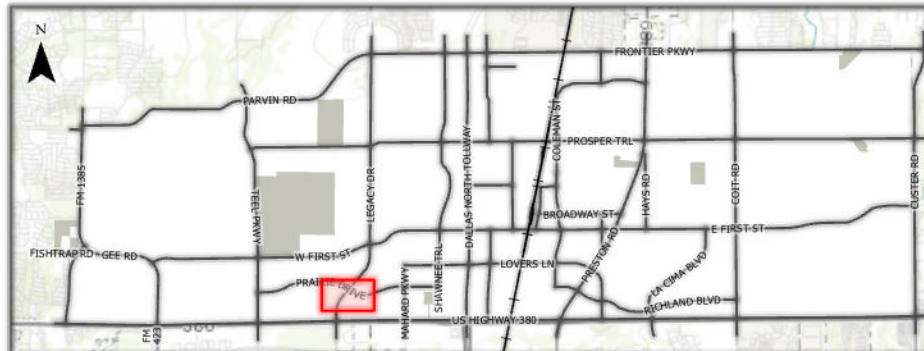
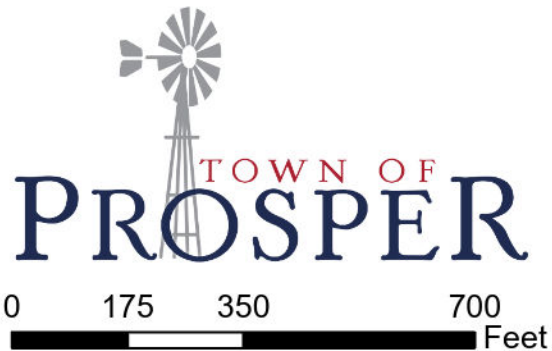
**Attached Documents:**

1. Location Map
2. Final Plat

**Town Staff Recommendation:**

Town Staff recommends approval of the Final Plat.





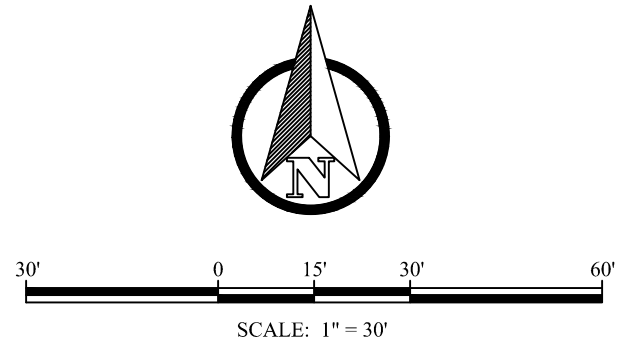
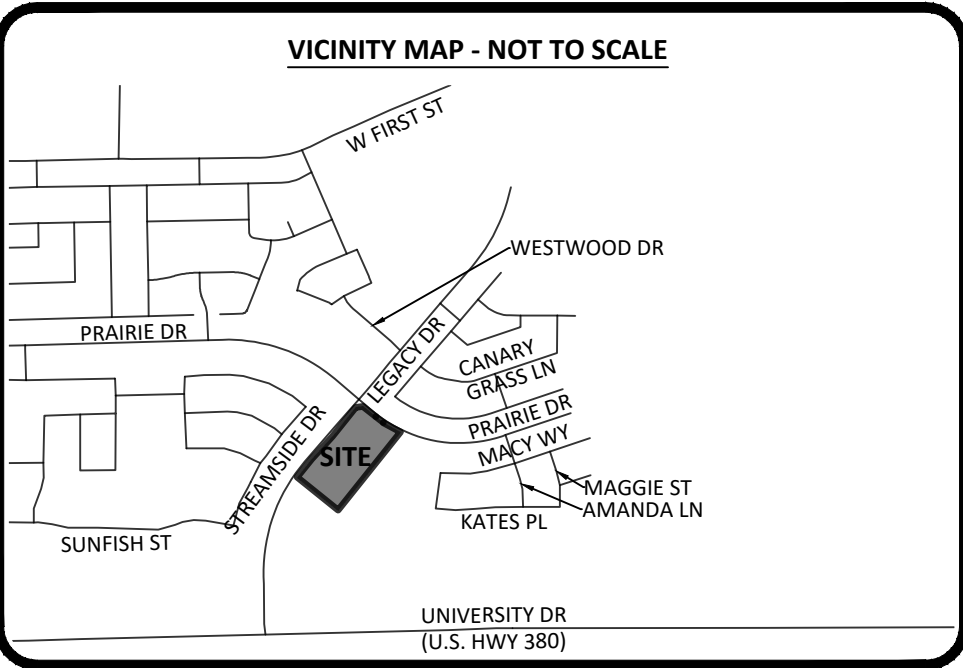
This map for illustration purposes only

DEVAPP-24-0139

Prosper Center,  
Block D, Lot 4

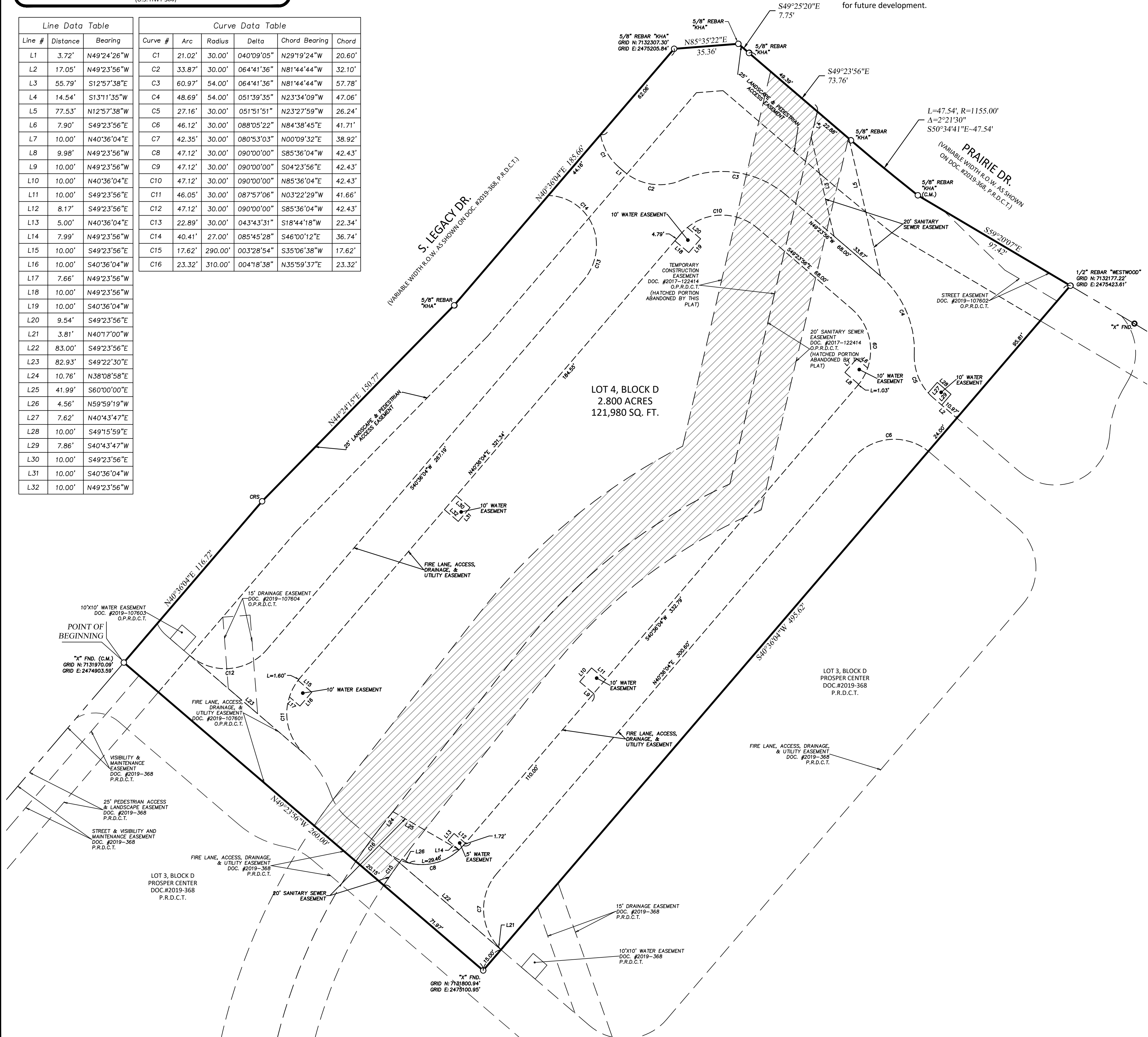
Final Plat





- LEGEND OF ABBREVIATIONS**
- D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
  - P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
  - O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
  - DOC.# DOCUMENT NUMBER
  - C.M. CONTROLLING MONUMENT
  - SQ. FT. SQUARE FEET
  - ROW RIGHT OF WAY
  - CRS CAPPED REBAR SET

Line Data Table			Curve Data Table				
Line #	Distance	Bearing	Curve #	Arc	Radius	Delta	Chord Bearing
L1	3.72'	N49°24'26"W	C1	21.02'	30.00'	040°09'05"	N29°19'24"W 20.60'
L2	17.05'	N49°23'56"W	C2	33.87'	30.00'	064°41'36"	N81°44'44"W 32.10'
L3	55.79'	S12°57'38"E	C3	60.97'	54.00'	064°41'36"	N81°44'44"W 57.78'
L4	14.54'	S13°11'35"W	C4	48.69'	54.00'	051°39'35"	N23°34'09"W 47.06'
L5	77.53'	N12°57'38"W	C5	27.16'	30.00'	051°51'51"	N23°27'59"W 26.24'
L6	7.90'	S49°23'56"E	C6	46.12'	30.00'	088°05'22"	N84°38'45"E 41.71'
L7	10.00'	N40°36'04"E	C7	42.35'	30.00'	080°53'03"	N00°09'32"E 38.92'
L8	9.98'	N49°23'56"W	C8	47.12'	30.00'	090°00'00"	S85°36'04"W 42.43'
L9	10.00'	N49°23'56"W	C9	47.12'	30.00'	090°00'00"	S04°23'56"E 42.43'
L10	10.00'	N40°36'04"E	C10	47.12'	30.00'	090°00'00"	N85°36'04"E 42.43'
L11	10.00'	S49°23'56"E	C11	46.05'	30.00'	087°57'06"	N03°22'29"W 41.66'
L12	8.17'	S49°23'56"E	C12	47.12'	30.00'	090°00'00"	S85°36'04"W 42.43'
L13	5.00'	N40°36'04"E	C13	22.89'	30.00'	043°43'31"	S18°44'18"W 22.34'
L14	7.99'	N49°23'56"W	C14	40.41'	27.00'	085°45'28"	S46°00'12"E 36.74'
L15	10.00'	S49°23'56"E	C15	17.62'	290.00'	003°28'54"	S35°06'38"W 17.62'
L16	10.00'	S40°36'04"W	C16	23.32'	310.00'	004°18'38"	N35°59'37"E 23.32'
L17	7.66'	N49°23'56"W					
L18	10.00'	N49°23'56"W					
L19	10.00'	S40°36'04"W					
L20	9.54'	S49°23'56"E					
L21	3.81'	N40°17'00"W					
L22	83.00'	S49°23'56"E					
L23	82.93'	S49°22'30"E					
L24	10.76'	N38°08'58"E					
L25	41.99'	S60°00'00"E					
L26	4.56'	N59°59'19"W					
L27	7.62'	N40°43'47"E					
L28	10.00'	S49°15'59"E					
L29	7.86'	S40°43'47"W					
L30	10.00'	S49°23'56"E					
L31	10.00'	S40°36'04"W					
L32	10.00'	N49°23'56"W					



**SURVEYOR'S NOTES:**

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015063.
- This property lies within Zone "X" of the Flood Insurance Rate Map for Denton County, Texas and Incorporated Areas, map no. 48121C0430G, with an effective date of April 18, 2011, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.

**PLAT NOTES:**

- Notice: Selling a portion of this addition by metes and bounds is a violation of town ordinance and state law and is subject to fines and withholding of utilities and building permits.
- No floodplain exists on site.
- The purpose of this plat is to abandon easements and dedicate new easements for future development.

**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF DENTON §

**WHEREAS, LEGACY-PRAIRIE LLC** is the owner of a tract of land situated in the L. Netherly Survey, Abstract No. 962, Denton County, Texas and being Lot 4 in Block D of Prosper Center, an addition in the Town of Prosper, Denton County, Texas, according to the plat recorded under Document Number 2018-195, Plat Records, Denton County, Texas, (P.R.D.C.T.), and being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83)):

**BEGINNING** at an "X" cut found for the westernmost southwest corner of said Lot 4 and the herein described tract;

**THENCE** with the perimeter and the corners of said Lot 4, the following calls:

- North 40 degrees 36 minutes 04 seconds East, a distance of 116.72 feet to a 1/2 inch rebar with pink cap stamped "BARTON CHAPA" set;
- North 44 degrees 24 minutes 15 seconds East, a distance of 150.77 feet to a 5/8 inch rebar with cap stamped "KHA" found;
- North 40 degrees 36 minutes 04 seconds East, a distance of 185.66 feet to a 5/8 inch rebar with cap stamped "KHA" found;
- North 85 degrees 35 minutes 22 seconds East, a distance of 35.36 feet to a 5/8 inch rebar with cap stamped "KHA" found;
- South 49 degrees 25 minutes 20 seconds East, a distance of 7.75 feet to a 5/8 inch rebar with cap stamped "KHA" found;
- South 49 degrees 23 minutes 56 seconds East, a distance of 73.76 feet to a 5/8 inch rebar with cap stamped "KHA" found for the beginning of a tangent curve to the left with a radius of 1,155.00 feet, having a delta angle of 02 degrees 21 minutes 30 seconds, whose chord bears South 50 degrees 34 minutes 41 seconds East, a distance of 47.54 feet;
- Along said tangent curve to the left, an arch length of 47.54 feet to a 5/8 inch rebar with cap stamped "KHA" found;
- South 59 degrees 20 minutes 07 seconds East, a distance of 97.42 feet to a 1/2 inch rebar with cap stamped "WESTWOOD" found;
- South 40 degrees 36 minutes 04 seconds West, a distance of 495.62 feet to an "X" cut found;
- North 49 degrees 23 minutes 56 seconds West, a distance of 260.00 feet, returning to the **POINT OF BEGINNING** and enclosing 2.800 acres (121,980 square feet) of land, more or less.

**NOW, THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:**

**THAT, LEGACY-PRAIRIE LLC** acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as **PROSPER CENTER, BLOCK D, LOT 4**, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. That Legacy-Prairie LLC does hereby certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown are dedicated for the public use forever for the purposes indicated on this plat.
- No building, fences, trees, shrubs, or other improvements or growth shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.

**ACCESS EASEMENT**

The undersigned covenants and agrees that the access easement(s) may be utilized by any person of the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all time of the Town of Prosper, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon, and across said premises.

**FIRE LANE EASEMENT**

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of food repair at all times and keep the same free and clear of any structures, fenced trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

**LANDSCAPE EASEMENT**

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a Replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any 'homeowners' association hereafter established for the owners of lots in this subdivision and/or the owner of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

**DRAINAGE AND DETENTION EASEMENT**

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block D, as shown on the plat is called "Drainage and Detention Easement". The Drainage and Detention Easement within the limits of this addition, will remain accessible at all times and will be maintained in a safe and sanitary condition by the owners of the lot or lots that are traversed by or adjacent to the Drainage and Detention Easement. The Town will not be responsible for the maintenance and operation of said Easement or for any damage to private property or person that results from conditions in the Easement, or for the control of erosion. No construction of any type of building, fence or any other structure within the Drainage and Detention Easement, as herein above defined shall be permitted, unless approved by the Town Engineer. Provided, however, it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type if drainage structure in order to improve the storm drainage that may be occasions by drainage in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Detention Easement at any point, or points, to investigate, survey or to erect, construct and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall jeep the Drainage and Detention Easement clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right or ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The Town shall not be held liable for any damages of any nature resulting from the failure of any structure of structures, within the Easement.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_

Authorized Signature Printed Name and Title

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

**SURVEYOR'S CERTIFICATE**

Known All Men By These Presents:

That I, John H. Barton III, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulation of the Town of Prosper, Texas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

John H. Barton III, RPLS# 6737

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

**CERTIFICATE OF APPROVAL**

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the Planning & Zoning Commission of the Town of Prosper, Texas.

\_\_\_\_\_  
Town Secretary

\_\_\_\_\_  
Engineering Department

\_\_\_\_\_  
Development Services Department

DEVAPP-24-0139  
FINAL PLAT  
**PROSPER CENTER  
BLOCK D, LOT 4**

BEING A REPLAT OF LOT 4, BLOCK D, PROSPER CENTER  
ACCORDING TO PLAT RECORDED UNDER DOC. #2018-195, P.R.D.C.T.  
2.800 ACRES SITUATED IN THE L. NETHERLY SURVEY, ABSTRACT #962  
TOWN OF PROSPER, DENTON COUNTY, TEXAS | PREPARED AUGUST, 2024

ENGINEER/APPLICANT



5200 State Highway 121  
Colleyville, TX 76034  
Phone: 817-488-4960  
Contact: Shawn Waldo

SURVEYOR/PREPARER  
BARTON CHAPA SURVEYING, LLC  
3601 NE Loop 820, Suite 108  
Fort Worth, TX 76137  
Phone: 817-864-1957  
Contact: Jack Barton

OWNER  
LEGACY-PRAIRIE LLC  
6653 Simon Avenue  
Frisco, TX 75035  
Contact: Bhikthavathsala Reddy Gottipolu

JOB NO. 2024.001.346

DRAWN: SMW

CHECKED: JHB

**TABLE OF REVISIONS**

DATE	SUMMARY

SHEET:

**VO1**





## PLANNING

**To:** Planning & Zoning Commission

**From:** Dakari Hill, Senior Planner

**Through:** David Hoover, AICP, Director of Development Services

**Cc:** Suzanne Porter, AICP, Planning Manager

**Re:** Site Plan for Park Place, Phase 2, Block X, Lot 2

**Meeting:** April 15, 2025

**Item No. 4g**

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**Agenda Item:**

Consider and act upon a request for a Site Plan for an Amenity Area on Park Place, Phase 2, Block X, Lot 2, on 12.4± acres, located on west side of Teel Parkway and 1,150± feet south of Prosper Trail. (DEVAPP-25-0010)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Medium Density Residential.

**Zoning:**

The property is zoned Planned Development-123 (Single Family-10).

**Conformance:**

The Site Plan conforms to the development standards of Planned Development-123.

**Description of Agenda Item:**

The Site Plan consists of a playground facility, pickleball courts, and a shade structure with seating totaling 1,000 square feet. Per Planned Development-123, a minimum of three of the following ten amenities were required as part of the residential subdivision.

- Basketball Court
- Bocce Ball Court
- Children's Playground Facility
- Convenience Parking
- Dog Park
- Grill & Picnic Area
- Landscape Gathering Area

- Pickleball Court
- Shade Structure w/ Seating
- Tennis Court

Additionally, one of the three amenities is required to be a basketball court, children's playground facility, pickleball court, or a tennis court.

A Final Plat (DEVAPP-24-0092) was approved by the Planning & Zoning Commission on September 3, 2024. This plat shows the location of the proposed amenity area on Block X, Lot 2.

**Access:**

Access is provided from internal streets within the subdivision.

**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements.

**Companion Item:**

There is no companion item on this Planning & Zoning Commission agenda.

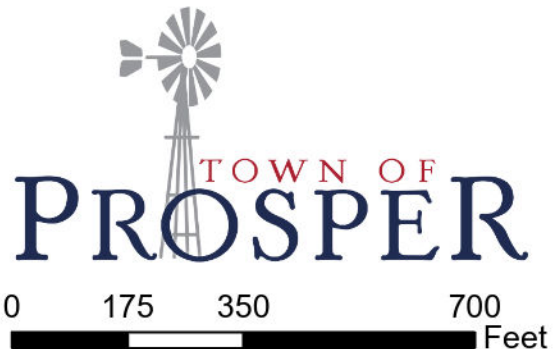
**Attachments:**

1. Location Map
2. Site Plan
3. Approved Final Plat (DEVAPP-24-0092)

**Town Staff Recommendation:**

Town Staff recommends approval of the Site Plan.



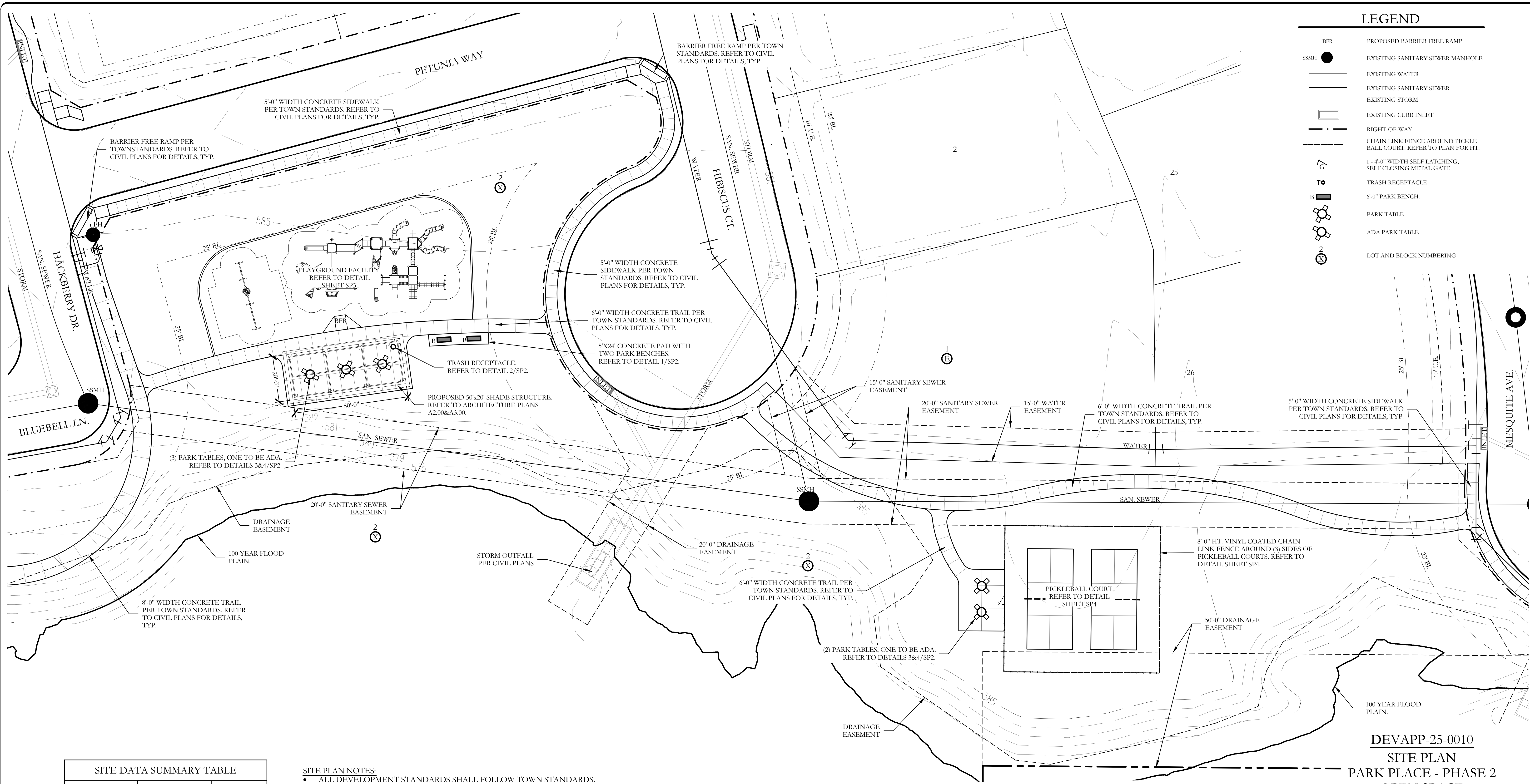


DEVAPP-25-0010

Park Place, Phase 2,  
Block X, Lot 2

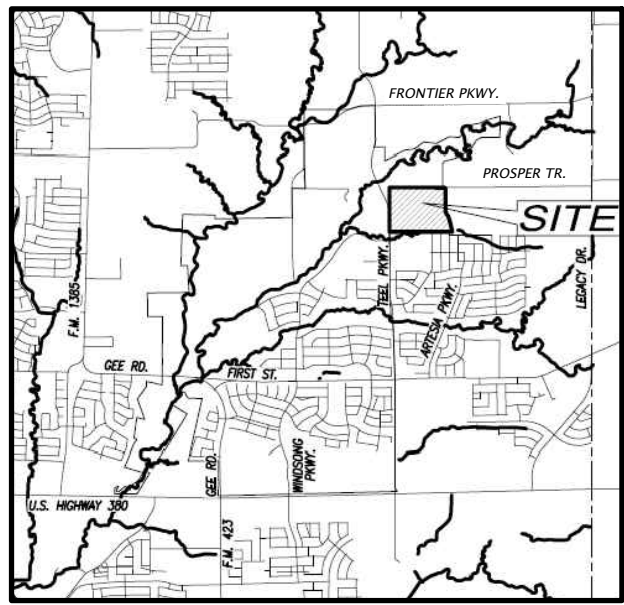
Site Plan



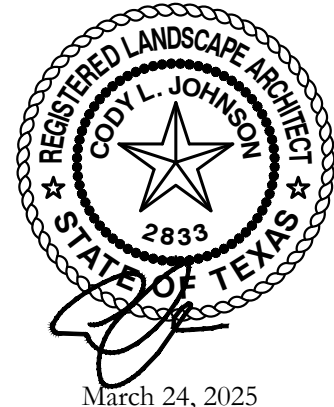
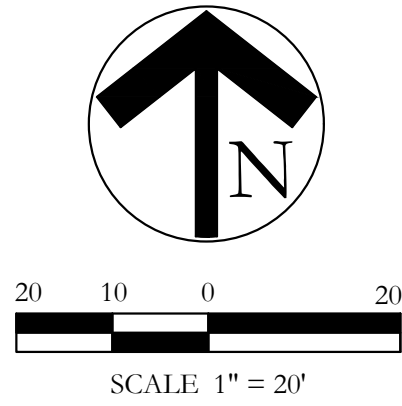


SITE DATA SUMMARY TABLE		
ZONING	PD-123	
PROPOSED USE	OUTDOOR RECREATION AREA	
LOT AREA	540,013.32 SF. 12.397 AC.	
BUILDING AREA	1,000.00 SF.	
BUILDING HEIGHT	16'-1" (1 STORY)	
LOT COVERAGE	0.185%	
FLOOR AREA RATIO	1,000.00/ 540,013.32 OR 0.00185	
	REQUIRED	PROVIDED
TOTAL PARKING:	N/A	N/A
HANDICAP PARKING:	N/A	N/A
PARKING LOT LANDSCAPING	N/A	N/A
S.F. OF IMPERVIOUS SURFACE	24,862.73 S.F.	
OPEN SPACE:	7% OF NET LOT AREA = 37,800.93 S.F.	520,419.86 S.F. 95.44%

- SITE PLAN NOTES:**
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  - ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  - OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS\*, AND DETENTION POND \*



LOCATION MAP  
NOT TO SCALE



March 24, 2025

**DEVAPP-25-0010**  
**SITE PLAN**  
**PARK PLACE - PHASE 2**  
**OPEN SPACE**  
**BLOCK X, LOT 2**  
**~AMENITY AREA~**

BEING 12.397 ACRES OF THE 68.815 ACRES  
LOCATED IN THE L. NETHERLY SURVEY,  
ABSTRACT NO. 962  
TOWN OF PROSPER  
DENTON COUNTY, TEXAS

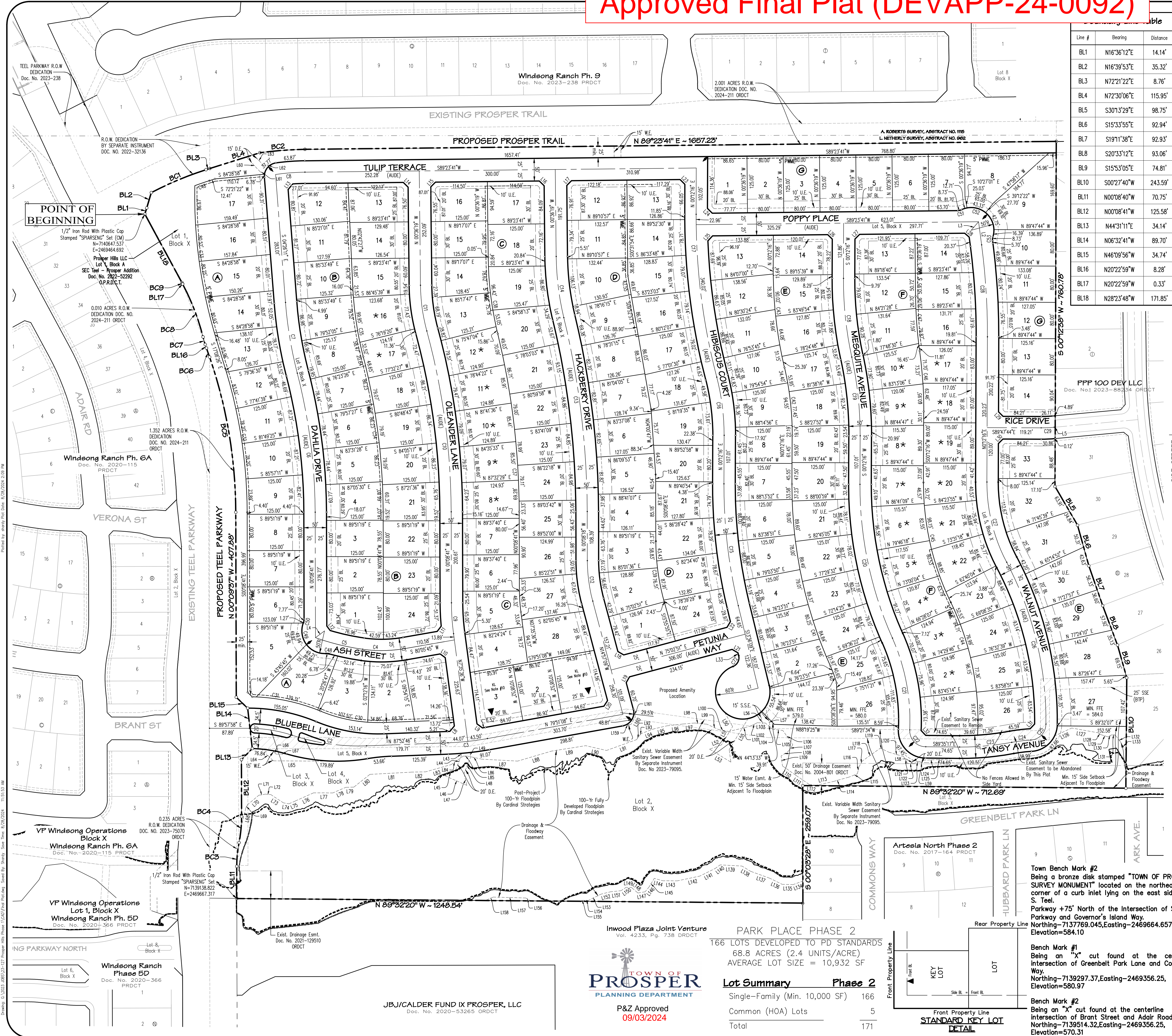
**OWNER/DEVELOPER:**  
SHADDOCK-PROSPER PARK PLACE 2, LLC  
2400 DALLAS PARKWAY, SUITE 560  
PLANO, TEXAS 75093  
PH. (214) 405-6942  
CONTACT: WILL SHADDOCK

**LANDSCAPE ARCHITECT:**  
JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST,  
SUITE 1200  
PLANO, TEXAS 75074  
PH. (972) 201-3100  
CONTACT: CODY JOHNSON, RLA, ASLA, LI

SUBMITTAL DATE: March 24, 2025 SP1



Approved Final Plat (DEVAPP-24-0092)



Line #	Bearing	Distance
BL1	N16°36'12"E	14.14'
BL2	N16°39'53"E	35.32'
BL3	N72°21'22"E	8.76'
BL4	N72°30'06"E	115.95'
BL5	S30°13'29"E	98.75'
BL6	S15°33'55"E	92.94'
BL7	S19°11'38"E	92.93'
BL8	S20°33'31"E	93.06'
BL9	S15°53'05"E	74.81'
BL10	S00°27'40"W	243.59'
BL11	N00°08'40"W	70.75'
BL12	N00°08'41"W	125.58'
BL13	N44°31'11"E	34.14'
BL14	N06°32'41"W	89.70'
BL15	N46°09'56"W	34.74'
BL16	N20°22'59"W	8.28'
BL17	N20°22'59"W	0.33'
BL18	N28°23'48"W	171.85'

Boundary Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Distance
BC1	130.87'	745.00'	100°35'2"	N67°19'26"E	130.70'
BC2	99.57'	839.32'	6°47'49"	N85°39'03"E	99.51'
BC3	52.74'	268.50'	11°15'12"	N05°36'13"E	52.65'
BC4	57.87'	291.50'	11°22'30"	N05°32'34"E	57.78'
BC5	348.41'	1060.00'	18°49'57"	N09°33'40"W	346.85'
BC6	21.12'	1060.00'	108°29"	N19°32'53"W	21.12'
BC7	17.33'	504.50'	158°04"	N15°14'40"W	17.33'
BC8	125.35'	525.50'	13°40'01"	N21°05'38"W	125.05'
BC9	3.18'	1070.00'	0°10'12"	N28°18'42"W	3.18'

25' Rear BL

15' Side Setback

LOT 1

6' Side Setback

20' Front BL

5' U.E.

5' S.U.E.

25' Rear BL

8' Side Setback

LOT 2

8' Side Setback

25' Front BL

25' Front BL

20' Rear BL

8' Side Setback

LOT 3

30' Front BL

### STANDARD LOT DETAIL

\* Lots with a 25' Front Building Line will allow for a 5' encroachment into the front yard and Lots with a 30' Front Building Line will allow for a 10' encroachment into the front yard for a potential J-swing garage per Article 4, Division 9.3 Section 4.9.3(J)

of the Town of Prosper Zoning Ordinance. Lots with a 20' Front Building Line shall not allow for encroachment for a J-swing garage.

## NOTES

1. Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
  2. All corners are 1/2 inch iron rods with red plastic caps stamped "SPIARS ECH RPLS 5252" unless otherwise noted.
  3. All development will comply with Town of Prosper development Requirements.
  4. All common areas, Blocks 1-5, Block X, to be owned and maintained by the H.O.A.
  5. Lots 1-2, Block X to be used for sidewalks, trails, and landscaping. Pedestrian access and landscape easements for these uses are granted by this plat. A minimum 6' wide private trail shall be constructed to lead from the Proposed Amenity Location and east to Mesquite Avenue in accordance with PD-123.
  6. No transformers or utility pedestals shall be allowed in the sidewalk and utility easement or landscape easements.
  7. This plat is subject to the additional residential zoning standards outlined in Ordinance 15-55.
  8. All landscape easements must be exclusive of any other type of easement, with the exception of perpendicular crossings, unless otherwise approved by the Town.
  9. Flood plain reclamation subject to engineering approval of flood study, wetland delineation study, habitat study, and vegetative study at time of Final Plat submittal.
  10. Key lot fencing restrictions exist on this plat.
  11. Finished floor elevation shall be at least 2' above the 100-year floodplain.
  12. Lots siding to the floodplain shall have a 15' minimum side setback adjacent to the floodplain.
  13. Lot 5, Block X (all streets) shall be private streets, access, utility, and drainage easements.
  14. Residential lots that are allowed to back or side to the Base Floodplain and/or common (HOA) lot shall have an ornamental open metal fence along the rear and side of the lots. The lot owner is responsible for the maintenance of the fence.
  15. No fences allowed within the sewer easement of Lots 1 and 26, Block F.
  16. 166 Lots developed to PD Standards - 68.8 Acres (2.4 Units/Acre) - Average Lot Size = 10,932 SF
- DEV APPEND - 24-0092**

DEVAPP-24-0092

FINAL PLAT

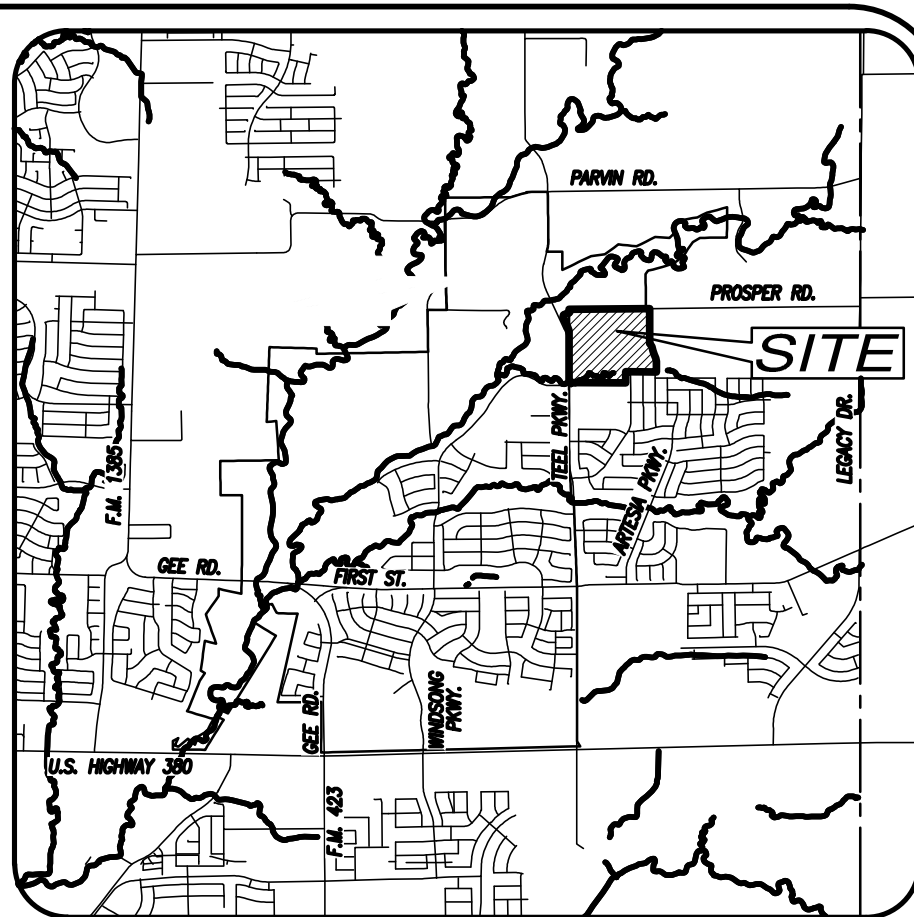
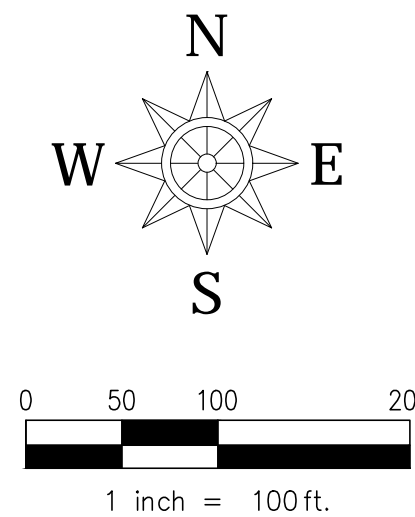
# PARK PLACE PHASE 2

166 SINGLE FAMILY LOTS &  
5 COMMON (HOA) LOTS  
PD-123 ZONING  
68.815 ACRES OUT OF THE  
L. NETHERLY SURVEY ~ ABSTRACT NO. 962  
TOWN OF PROSPER  
DENTON COUNTY, TEXAS

OWNER / APPLICANT	ENGINEER / SURVEYOR
SHADDOCK-PROSPER PARK PLACE 2, LLC	Spars Engineering, Inc.
2400 Dallas Pkwy, Ste 560	765 Custer Road, Suite 100
Plano, TX 75093	Plano, TX 75075
Telephone: (214) 405-6942	Telephone: (972) 422-0077
Contact: William C. Shaddock, Jr.	TBPELS No. F-2121 And No. F-10043100
	Contact: Ryan Hartman, P.E.

Basis of bearing: State Plane Coordinate System,  
Texas North Central Zone 4202, North American Datum  
of 1983. Adjustment Realization 2011.

Scale: 1" = 100'      August, 2024      SEI Job No. 23-127



## LOCATION MAP / KEY MAP

### LEGEND

LEGEND	
	(Not All Items May Be Applicable)
7/2" IRON ROD WITH PLASTIC CAP STAMPED "SPARSING-SE", UNLESS OTHERWISE NOTED	
NOTE: IF UNABLE TO SET ACTUAL LOT CORNER, A 5' FOOT OFFSET IRON ROD MAY BE SET WITH A PINK PLASTIC CAP STAMPED "SPARSING-5' 0/5 PC".	
IRF	IRON ROD FOUND
CRF	CAPPED IRON ROD FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
Exmt.	EASEMENT
UTL	UTILITY
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	DRAINAGE EASEMENT
WE	WATER EASEMENT
SE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
ST	STREET EASEMENT
AUE	ACCESS, UTILITY & DRAINAGE EASEMENT
WME	WALL MAINTENANCE EASEMENT
PWME	PRIVATE WALL MAINTENANCE EASEMENT
H&B	HIKE & BIKE TRAIL EASEMENT
YAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
(BTP)	BY THIS PLAT
ROW	RIGHT-OF-WAY
Min. F.	MINIMUM FINISH FLOOR ELEVATION
BL	BUILDING LINE
(A)	STREET NAME CHANGE
	BLOCK DESIGNATION
Lot	LOT FRONTAGE
Cab.	CABINET
Vol.	VOLUME
Pg.	PAGE
	NUMBER
FEWA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIM	FLOOD INSURANCE RATE MAP
Ord. No.	ORDINANCE NUMBER
Inst./Doc.	INSTRUMENT OR DOCUMENT
DRECT	DEED RECORDS, DEUTON COUNTY, TEXAS
PLAT	PLAT RECORDS, DEUTON COUNTY, TEXAS
PROCT	OFFICIAL PUBLIC RECORDS, DEUTON COUNTY, TEXAS
	EXISTING EASEMENT TO BE ABANDONED
	LOTS WITH REDUCED LOT DEPTH AS PERMITTED BY PP-173
★	KEY LOT



Printed by: sherry Plot Date: 8/28/2024 3:30 PM

Drawing: G:\2024\JOBS\24-127 Prosper 166 Single Family Lots Phase 1\240724.dwg User: sherry Plot Date: 8/28/2024 3:30 PM

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	A	12,522	0.287
2	A	11,977	0.275
3	A	12,234	0.281
4	A	13,259	0.304
5	A	14,342	0.329
6	A	10,001	0.230
7	A	10,000	0.230
8	A	10,000	0.230
9	A	10,319	0.237
10	A	10,338	0.237
11	A	10,338	0.237
12	A	10,185	0.234
13	A	11,034	0.253
14	A	11,542	0.265
15	A	12,364	0.284
16	A	12,813	0.294
17	A	15,028	0.345

Centerline Line Table		
Line #	Bearing	Distance
L1	N76°23'51"E	35.00'
L2	N07°26'06"W	51.42'
L3	S40°58'48"W	25.00'
L4	N52°59'06"E	25.00'
L5	N84°45'49"E	2.39'

Lot Line Table		
Line #	Bearing	Distance
L8	S39°53'40"W	15.48'
L9	N53°33'33"W	15.10'
L10	S53°44'55"E	13.85'
L11	S37°02'23"W	14.61'
L12	N36°44'15"W	12.52'
L13	N40°13'11"E	15.97'
L14	S45°36'19"E	14.85'
L15	N44°23'41"E	14.85'
L16	S45°36'19"E	14.85'
L17	S44°23'41"W	14.85'
L18	S59°57'09"E	14.85'
L19	N30°02'51"E	14.85'
L20	S32°27'00"W	14.72'
L21	S59°16'39"E	15.02'

Lot Line Table		
Line #	Bearing	Distance
L22	N30°43'21"E	14.67'
L23	N45°12'01"W	14.95'
L24	N45°12'01"W	14.95'
L25	N43°34'58"E	15.06'
L26	S45°12'01"E	14.04'
L27	S44°47'59"W	14.74'
L28	N49°01'12"W	13.27'
L29	N44°47'44"W	14.14'
L30	N45°12'16"E	14.14'
L31	N43°46'15"E	14.36'
L32	S43°26'36"E	15.14'
L33	S13°36'09"E	6.20'

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	B	11,833	0.272
2	B	10,000	0.230
3	B	10,000	0.230
4	B	10,233	0.235
5	B	10,292	0.236
6	B	10,292	0.236
7	B	10,292	0.236
8	B	10,393	0.239
9	B	10,737	0.246
10	B	10,202	0.234
11	B	10,500	0.241
12	B	11,616	0.267
13	B	11,349	0.261
14	B	10,241	0.235
15	B	10,313	0.237
16	B	10,955	0.251
17	B	10,302	0.237
18	B	10,330	0.237
19	B	10,346	0.238
20	B	10,333	0.237
21	B	10,319	0.237
22	B	10,000	0.230
23	B	10,000	0.230
24	B	11,680	0.268

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	C	12,471	0.286
2	C	10,865	0.249
3	C	12,277	0.282
4	C	10,496	0.241
5	C	11,122	0.255
6	C	10,019	0.230
7	C	10,000	0.230
8	C	10,206	0.234
9	C	10,278	0.236
10	C	10,271	0.236
11	C	10,327	0.237
12	C	10,337	0.237
13	C	11,005	0.253
14	C	10,490	0.241
15	C	10,000	0.230
16	C	10,811	0.248
17	C	11,769	0.270
18	C	11,625	0.267
19	C	11,451	0.263
20	C	11,815	0.271

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
21	C	11,241	0.258
22	C	10,242	0.235
23	C	10,240	0.235
24	C	10,256	0.235
25	C	10,077	0.231
26	C	10,760	0.247
27	C	11,518	0.264
28	C	13,140	0.302

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	G	10,885	0.250
2	G	10,000	0.230
3	G	10,000	0.230
4	G	10,000	0.230
5	G	10,000	0.230
6	G	10,000	0.230
7	G	10,023	0.230
8	G	14,249	0.327
9	G	16,979	0.390
10	G	10,947	0.251
11	G	10,377	0.238
12	G	10,061	0.231
13	G	10,013	0.230
14	G	11,415	0.262

Centerline Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	95.79'	300.00'	181°7'40"	N80°49'08"W	95.38'
C2	166.81'	467.37'	20°26'56"	S81°53'46"E	165.92'
C3	87.56'	625.00'	80°1'38"	N83°51'57"E	87.49'
C4	93.58'	300.00'	17°52'19"	N89°02'31"E	93.20'
C5	107.33'	532.00'	11°33'32"	S76°14'33"E	107.15'
C6	309.78'	1235.00'	14°22'19"	N07°19'51"W	308.97'
C7	158.34'	900.00'	10°04'49"	S09°28'35"E	158.14'
C8	64.93'	475.00'	7°49'55"	S85°28'44"W	64.88'
C9	68.25'	525.00'	7°26'55"	S03°52'09"E	68.20'
C10	403.58'	1535.00'	15°03'51"	N07°40'37"W	402.42'
C11	101.95'	400.00'	14°36'14"	S07°54'26"E	101.68'
C12	90.24'	350.00'	14°46'19"	S07°33'59"E	89.99'
C13	431.45'	1835.00'	13°28'17"	N06°52'50"W	430.46'
C14	136.25'	600.00'	13°00'40"	S07°06'39"E	135.96'
C15	271.10'	1125.00'	13°48'25"	S06°41'57"E	270.45'

Centerline Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Distance
C16	129.63'	500.00'	14°51'18"	N07°13'23"W	129.27'
C17	362.98'	1400.00'	14°51'18"	S07°13'23"E	361.96'
C18	174.83'	800.00'	12°31'17"	S06°03'22"E	174.48'
C19	174.83'	800.00'	12°31'17"	N06°03'22"W	174.48'
C20	349.19'	825.00'	24°15'03"	N11°55'15"W	346.59'
C21	207.74'	445.00'	26°44'53"	N10°40'21"W	205.86'
C22	57.18'	35.50'	92°17'23"	S43°26'36"E	51.20'
C23	115.69'	600.00'	11°02'50"	N84°53'17"E	115.51'
C24	42.29'	320.58'	7°33'28"	S83°08'36"W	42.26'
C25	53.47'	35.50'	86°18'11"	N43°46'15"E	48.56'
C26	371.18'	746.03'	28°30'27"	N13°38'04"W	367.37'
C27	183.87'	375.00'	28°05'33"	S13°50'31"E	182.03'
C28	203.33'	1525.00'	7°38'22"	N03°36'55"W	203.18'
C29	28.49'	300.00'	5°26'27"	N87°29'03"E	28.48'

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	D	11,427	0.262
2	D	11,230	0.258
3	D	10,864	0.249
4	D	10,584	0.243
5	D	10,763	0.247
6	D	10,905	0.250
7	D	10,928	0.251
8	D	10,789	0.248
9	D	11,397	0.262
10	D	12,290	0.282
11	D	11,245	0.258
12	D	11,506	0.264
13	D	11,118	0.255
14	D	10,535	0.242
15	D	10,706	0.246
16	D	10,400	0.239
17	D	10,374	0.238
18	D	11,204	0.257
19	D	11,346	0.260
20	D	10,208	0.234
21	D	10,527	0.242
22	D	10,845	0.249
23	D	11,177	0.257
24	D	11,624	0.267

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	E	14,875	0.341
2	E	10,994	0.252
3	E	10,245	0.235
4	E	10,246	0.235
5	E	10,375	0.238
6	E	10,375	0.238
7	E	10,160	0.233
8	E	10,188	0.234
9	E	10,682	0.245
10	E	10,322	0.237
11	E	10,688	0.245
12	E	11,134	0.256
13	E	13,002	0.298
14	E	11,438	0.263
15	E	10,815	0.248
16	E	10,631	0.244
17	E	10,367	0.238
18	E	10,611	0.244
19	E	10,142	0.233
20	E	10,294	0.236
21	E	10,482	0.241
22	E	10,470	0.240
23	E	10,456	0.240
24	E	10,246	0.235
25	E	10,496	0.241

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
26	E	12,760	0.293
27	E	16,812	0.386
28	E	13,419	0.308
29	E	11,981	0.275
30	E	12,469	0.286
31	E	13,708	0.315
32	E	13,353	0.307
33	E	10,853	0.249

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	F	11,368	0.261
2	F	10,755	0.247
3	F	10,743	0.247
4	F	10,360	0.238
5	F	10,421	0.239
6	F	10,425	0.239
7	F	10,038	0.230
8	F	10,103	0.232
9	F	10,018	0.230
10	F	10,266	0.236
11	F	10,915	0.251
12	F	11,068	0.254
13	F	11,553	0.265
14	F	10,709	0.246
15	F	10,425	0.239
16	F	10,445	0.240
17	F	10,043	0.231
18	F	10,048	0.231
19	F	10,235	0.235
20	F	10,104	0.232
21	F	10,160	0.233
22	F	10,554	0.242
23	F	10,653	0.245
24	F	10,633	0.244
25	F	10,684	0.245
26	F	11,711	0.269

Common (HOA) Lot Area Table		
Lot #	Block #	Acres
1	X	2.395
2	X	12.397
3	X	0.040
4	X	0.019
5	X	12.081

Lot Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Distance
C30	142.38'	331.00'	24°38'48"	S79°47'51"E	141.29'
C31	154.61'	414.00'	21°23'52"	N78°10'23"W	153.72'
C32	321.85'	1085.00'	17°00'37"	N08°38'34"W	320.67'
C33	344.84'	1083.11'	18°14'31"	S08°00'59"E	343.39'
C34	86.23'	1385.00'	3°34'01"	N08°15'32"W	86.21'
C35	99.95'	750.00'	7°38'07"	N08°10'12"W	99.87'
C36	48.75'	375.00'	7°26'55"	N03°52'09"W	48.72'
C37	85.50'	1685.00'	2°54'26"	N03°57'14"W	85.49'
C38	96.42'	750.00'	7°21'58"	N05°52'50"W	96.36'
C39	76.51'	500.00'	8°46'02"	S11°16'13"E	76.43'
C40	23.39'	296.03'	4°31'34"	N18°25'56"W	23.38'
C41	80.25'	975.00'	4°42'58"	S17°56'15"E	80.23'
C42	77.45'	650.00'	6°49'36"	N04°56'56"W	77.40'
C43	90.02'	950.00'	5°25'45"	S03°27'13"E	89.98'
C44	94.71'	596.03'	9°06'16"	N20°03'00"W	94.61'
C45	98.15'	600.00'	9°22'21"	S09°19'31"E	98.04'
C46	71.70'	950.00'	4°19'27"	N05°43'29"W	71.68'
C47	79.87'	950.00'	4°49'01"	S04°45'58"E	79.84'
C48	6.78'	20.50'	18°56'20"	N84°02'42"W	6.75'
C49	49.94'	50.00'	5°17'35"W	N08°30'12"W	47.89'
C50	7.77'	20.50'	21°42'31"	N10°42'34"E	7.72'
C51	8.73'	20.50'	24°24'28"	N77°11'27"E	8.67'
C52	43.33'	50.00'	49°39'23"	N75°37'20"W	41.99'
C53	8.73'	20.50'	24°42'28"	S04°46'08"W	8.67'
C72	29.52'	20.50'	82°30'19"	S27°39'00"W	27.03'

OWNER’S CERTIFICATE

STATE OF TEXAS §  
COUNTY OF DENTON §

BEING a tract of land situated in the L. Netherly Survey, Abstract No. 962, Town of Prosper, Denton County, Texas, a portion of Lot 1, Block A, SEC–TEEL PROSPER ADDITION, an Addition to the Town of Prosper, Denton County, Texas, recorded in Document No. 2022–130, Plat Records, Denton County, Texas (PRDCT), being a portion of a called 70.670 acre tract of land described in a deed to SHADDOCK–PROSPER PARK PLACE 2, LLC, recorded in Document No. 2024–8530, of the Official Records of Denton County, Texas (ORDCT), and all of a called 1.742 acre tract of land described in a deed to SHADDOCK–PROSPER PARK PLACE 2, LLC, recorded in Document No. 2024–8531, ORDCT, being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2” iron rod with plastic cap stamped “SPIARSENG” found for the south end of a corner clip being the intersection of the east line of Teel Parkway, a variable width public right–of–way, the right–of–way thereof being dedicated to the Town of Prosper by said plat of SEC–TEEL PROSPER ADDITION, with the south line of Prosper Trail, a variable width public right–of–way, for a westerly corner of said Lot 1;

THENCE N 16°36’12” E, 14.14 feet along said corner clip and said dedication per plat, to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found for corner, being a southerly corner of the right–of–way conveyed to the Town of Prosper by deed, recorded in Document No. 2022–32136 ORDCT;

THENCE N 16°39’53” E, 35.32 feet continuing along said corner clip and said right–of–way dedication to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found for the north end of said corner clip;

THENCE along the south line of Prosper Trail, and same for said right–of–way dedication, around a non–tangent curve to the right having a central angle of 10°03’52”, a radius of 745.00 feet, a chord of N 67°19’26” E – 130.70 feet, an arc length of 130.87 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

THENCE N 72°21’22” E, 8.76 feet continuing along the south line of Prosper Trail, and same for said right–of–way dedication, to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found for a southeasterly corner of said dedication;

THENCE N 72°30’06” E, 115.95 feet to a point along Prosper Trail, and along the south line of said dedication per plat;

THENCE along the south line of Prosper Trail, and same for said right–of–way dedication, around a non–tangent curve to the right having a central angle of 06°47’49”, a radius of 839.32 feet, a chord of N 85°39’03” E – 99.51 feet, an arc length of 99.57 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

THENCE N 89°23’41” E, 1,657.23 feet to a point through Prosper Trail, along a south line of said dedication to a point for the northwest corner of PPP 100 DEV LLC, recorded in Document No. 2023–88234 ORDCT;

THENCE along the east line of said 70.670 acre tract and said 1.742 acre tract, the following courses and distances:

S 00°12’38” W, 760.78 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

S 30°13’29” E, 98.75 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

S 15°33’55” E, 92.94 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

S 19°11’38” E, 92.93 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

S 20°33’12” E, 93.06 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

S 15°53’05” E, 74.81 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

S 00°27’40” W, 243.59 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set on the north line of Lot 3, Block X, of ARTESIA NORTH PHASE 2, an Addition to the Town of Prosper, Denton County, Texas, recorded in Document No. 2017–164, PRDCT, from which an “X” in concrete found for the intersection of the centerlines of Greenbelt Park Lane and Sutton Park Avenue, bears S 26°14’33” E, 50.62 feet;

THENCE N 89°32’20” W, 712.69 feet along the north line of said Artesia North Phase 2 to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found for the northwest corner thereof;

THENCE S 00°03’28” E, 259.07 feet along the west line of said ARTESIA NORTH PHASE 2 to a point at the northeast corner of a remainder of a tract conveyed to Inwood Plaza Joint Venture, recorded in Volume 4233, Page 738, Deed Records, Denton County, Texas;

THENCE N 89°32’20” W, 1,248.54 feet along the north line of said remainder, to the northeast corner of Teel Parkway Extension, an addition to the Town of Prosper, recorded in Document No. 2018–397 PRDCT, and the southeast corner of a right–of–way dedication to the Town of Prosper, recorded in Document No. 2023–75070, ORDCT, same being on the east line of said Teel Parkway;

THENCE along the west line of said Lot 2, the following courses and distances:

N 00°08’40” W, 70.75 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

A non–tangent curve to the right having a central angle of 11°15’12”, a radius of 268.50 feet, a chord of N 05°36’13” E – 52.65 feet, an arc length of 52.74 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

A reverse curve to the left having a central angle of 11°22’30”, a radius of 291.50 feet, a chord of N 05°32’34” E – 57.78 feet, an arc length of 57.87 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

N 00°08’41” W, 125.58 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

N 44°31’11” E, 34.14 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

THENCE N 06°32’41” W, 89.70 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

THENCE along the west line of said Lot 1, the following courses and distances:

N 46°09’56” W, 34.74 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

N 00°09’37” W, 407.88 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” set;

A non–tangent curve to the left having a central angle of 18°49’57”, a radius of 1,060.00 feet, a chord of N 09°33’40” W – 346.85 feet, an arc length of 348.41 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

A compound curve to the left having a central angle of 01°08’29”, a radius of 1,060.00 feet, a chord of N 19°32’53” W – 21.12 feet, an arc length of 21.12 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

N 20°22’59” W, 8.28 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

A non–tangent curve to the right having a central angle of 01°58’04”, a radius of 504.50 feet, a chord of N 15°14’40” W – 17.33 feet, an arc length of 17.33 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

A reverse curve to the left having a central angle of 13°40’01”, a radius of 525.50 feet, a chord of N 21°05’38” W – 125.05 feet, an arc length of 125.35 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

N 20°22’59” W, 0.33 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

A non–tangent curve to the left having a central angle of 00°10’12”, a radius of 1070.00 feet, a chord of N 28°18’42” W – 3.18 feet, an arc length of 3.18 feet to a 1/2” iron rod with plastic cap stamped “SPIARSENG” found;

N 28°23’48” W, 171.85 feet to the POINT OF BEGINNING and containing 2,997,571 square feet or 68.815 acres of land.

NOW THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT SHADDOCK–PROSPER PARK PLACE 2, LLC, acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as **PARK PLACE PHASE 2**, an addition to the town of prosper. The streets and alleys shown on this plat as access easements are for the use and benefit or the owner of the property of this subdivision, their leases, invitees, and licensees. By acceptance of a deed conveying title to any lot in this subdivision, the owner thereof shall be deemed to have agreed and acknowledged and does certify the following:

- The street and alleys (and all associated storm sewer systems) are private streets and alleys (and storm sewer) and are dedicated to the Town of Prosper as Access, Utility, and Drainage Easements. The Town has no responsibility or liability to make any repairs to such streets and alleys and storm sewer as long as they are private streets and alleys, except repairs made necessary by reason of installation, repair, or replacement of municipal utilities located therein or in the utility easements adjacent thereto.
- So long as such streets and alleys and associated storm sewer are private, the sole responsibility for maintenance and replacement thereof shall be borne by the owners of the lots in this subdivision and/or any homeowner’s association hereafter established for the owners of lots in this subdivision (the “Association”). Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as same may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law.
- Neither the property owners within this subdivision, nor the Association, nor any other association or other organization or entity representing them shall have the right to request dedication (whether by voluntary or involuntary act or omission) of such private streets and alleys and storm sewer to the Town unless and until the Town has inspected such streets and alleys and determined that, at the time in question, they meet the Town’s standards. If the Town desires to accept a dedication of said streets and alleys and storm sewer, the Association, its successors or assigns, or the owners of the lots in the subdivision will may, at the owners’ or the Association’s expense, all repairs required by the Town to the private streets and alleys and storm sewer to the Town. Before dedication, all public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- These easements and public use areas, as shown, are dedicated for the benefit of the owners of the property in this subdivision, their leases, invitees, and licensees use forever, for the purpose indicated on this plat.
- The provisions hereof shall be binding upon and enforceable against all property owners in this subdivision, their successors and assigns and the Association and its successors and assigns. The provisions hereof may be enforced by the Town, any property owner in the subdivision, and/or the Association.
- These covenants and restrictions shall run with the land and be binding on the owners of the property in this subdivision, their successor and assigns, the Association, its successors and assigns and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions and covenants in it’s sole discretion. These covenants and restrictions shall terminate when all the access easements shown on this plat are included within a replat of all or part of this property and are dedicated to the Town as public streets and alleys. In addition, all modifications to this document shall be by means of plat and approved by the Town of Prosper.
- If the owner of the property in this subdivision should open the private streets to the public, such use shall be considered a temporary license only. The owners of property in this subdivision through the Association reserve the right to close the street to the public at any time prior to formal dedication of the street to the public, and acceptance of the same by The Town.
- The owners of property in this subdivision and the Association shall allow access to the subdivision and the streets in the subdivision to all Town employees and contractors acting on behalf of the Town and all governmental service vehicles, including, without limitation, law enforcement, fire, ambulance, sanitation, inspection, and health vehicles. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Town’s use thereof. The Town of Prosper and public utilities shall, at all time, have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding or removing all or parts of their respective systems without the necessity of procuring permission from anyone.
- The owners of property within this subdivision hereby agree and recognize that the entire subdivision is benefited by the Town allowing the owners to maintain and control access to the private streets shown hereon, and that the Town is benefited by having the value of the property enhanced for ad valorem tax purposes and not being under any covenants, the benefits shall constitute sufficient and valid consideration.
- The owner of each lot affected by a drainage easement across the rear portion of such lot may not construct any improvements within such lot except those improvements which (a) do not impeded the natural flow of water across the property affected by such drainage easement (such as swimming pools and open fences) and (b) are built in accordance with and pursuant to a building permit issued by the Town. In no event shall SHADDOCK–PROSPER PARK PLACE 2, LLC, the Town, the Association or any of their successors or assigns have any liability for any improvements built in any drainage or utility easement. Each lot owner shall build in such area at his or her own risk and shall indemnify SHADDOCK–PROSPER PARK PLACE 2, LLC, the Town, the Association and their successors and assigns against any and all losses, damages and liability arising out of or associated with the construction of improvements on such owners’ lot in any drainage or utility easement.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscaping improvements may be placed in Landscape Easements, if approved by the Town. Landscaping may be placed in/or near other easements with Town approval. The Town and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Invalidation of any word, phrase, sentence, paragraph, covenant or restriction by court judgment or otherwise, shall not affect the validity of the other covenants or restrictions contained herein.
- For lots adjacent to a Floodplain Only:
  - 100 Year Floodplain Easement Restriction: Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result; and subject to all owners or the property by such construction becoming a part to the request.) Where construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100–year flood elevation as determined by analyzing the ultimate build–out conditions of the entire drainage basin. Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with the maintenance of the area. The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure within the natural drainage channels. The natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If a subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF PROSPER, TEXAS.

WITNESS, MY HANDS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

SHADDOCK–PROSPER PARK PLACE 2, LLC

By: \_\_\_\_\_  
WILLIAM C. SHADDOCK, JR., MANAGER

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared WILLIAM C. SHADDOCK, JR., known to me to be the person an officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he execute the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public, State of Texas

ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said premises.

DRAINAGE AND FLOODWAY EASEMENT

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called “Town”) subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: All of Lot 2, Block X, as shown on the plat is called “Drainage and Floodway Easement” and is the natural drainage channel crossing each lot. The existing creek or creeks traversing along the Drainage and Floodway Easement within the limits of this addition, will remain as an open channel at all times and will be maintained by the owners of the lot or lots that are traversed by or adjacent to the drainage courses in the Drainage and Floodway Easement. The Town will not be responsible for the maintenance and operation of said creek or creeks or for any damage to private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of storm water run–off shall be permitted by construction of any type of building, fence, or any other structure within the Drainage and Floodway Easement or the natural drainage channels, as herein above defined. Provided it is understood that in the event it becomes necessary for the Town of erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by streets and alleys in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Floodway Easement at any point, or points, to investigate, survey or to erect, construct, and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the natural drainage channels traversing or adjacent to his property clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Floodway Easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the natural drainage channels. Building areas outside the Drainage and Floodway Easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation for each lot shall be as shown on the plat.

LANDSCAPE EASEMENT

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any homeowners’ association hereafter established for the owners of lots in this subdivision and/or the owners of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

SURVEYOR'S CERTIFICATE

That I, Jimmy Bernau, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the \_\_\_\_ day of \_\_\_\_\_, 2024.

PRELIMINARY, THIS DOCUMENT  
SHALL NOT BE RECORDED  
FOR ANY PURPOSE

Jimmy Bernau  
Registered Professional Land Surveyor  
Texas No. 6902

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Jimmy Bernau, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he execute the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

Approved this \_\_\_\_\_day of \_\_\_\_\_, 2024 by the Planning & Zoning  
Commission of the Town of Prosper

Town Secretary

Engineering Department

Development Services Department

DEVAPP-24-0092  
FINAL PLAT

**PARK PLACE PHASE 2**  
**166 SINGLE FAMILY LOTS &**  
**5 COMMON (HOA) LOTS**  
**PD-123 ZONING**  
**68.815 ACRES OUT OF THE**  
**L. NETHERLY SURVEY ~ ABSTRACT NO. 962**  
**TOWN OF PROSPER**  
**DENTON COUNTY, TEXAS**

Sheet 3 of 3





## PLANNING

**To:** Planning & Zoning Commission **Item No. 4h**

**From:** Jerron Hicks, Planner

**Through:** David Hoover, AICP, Director of Development Services

**Cc:** Suzanne Porter, AICP, Planning Manager

**Re:** Conveyance Plat of Hunter Gateway Centre, Block A, Lots 10 & 14-15

**Meeting:** April 15, 2025

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**Agenda Item:**

Consider and act upon a request for a Conveyance Plat of Hunter Gateway Centre Addition, Block A, Lots 10 & 14-15 on 12.9± acres, located on the north side of University Drive and 900± feet east of La Cima Boulevard. (DEVAPP-25-0013)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the US Highway 380 District.

**Zoning:**

The property is zoned Planned Development-2 (Commercial Corridor).

**Conformance:**

The Conveyance Plat conforms to the development standards of Planned Development-2.

**Description of Agenda Item:**

The purpose of this Conveyance Plat is to subdivide the property to create three lots and dedicate shared easements.

**Companion Item:**

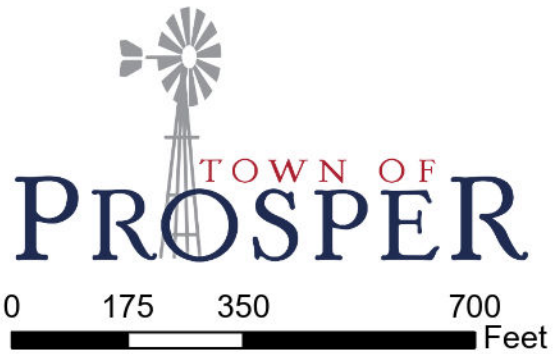
There is no companion item on this Planning & Zoning Commission agenda. The companion item, a Preliminary Site Plan (DEVAPP-24-0172), was approved by the Planning & Zoning Commission on April 1, 2025.

**Attached Documents:**

1. Location Map
2. Conveyance Plat
3. Approved Preliminary Site Plan (DEVAPP-24-0172)

**Town Staff Recommendation:**

Town Staff recommends approval of the Conveyance Plat.



This map for illustration purposes only

DEVAPP-25-0013

Hunter Gateway Centre Addition,  
Block A, Lots 10 & 14-15

Conveyance Plat



STATE OF TEXAS §  
COUNTY OF COLLIN §

OWNER'S DEDICATION

THAT HUB 380 LP, acting herein by and through its duly authorized officer, does hereby adopt this conveyance plat designating the hereinabove described property as Block A, Lots 10, 14, & 15, in addition to the Town of Prosper, Texas, and does hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, fire lanes, drive aisles, parking spaces, parks, and trails, and to the public use forever easements for sidewalks, storm drainage facilities, floodways, water mains, wastewater mains, and other utilities and facilities, and any other property necessary to serve the plat and to implement the requirements of the subdivision regulations and other Town codes and do hereby bind ourselves, our heirs, successors and assigns to warrant and to forever defend the title on the land so dedicated. Further, the undersigned covenants and agrees that he/she shall maintain all easements and facilities in a state of good repair and functional condition at all times in accordance with Town codes and regulations. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be installed, if approved by the Town of Prosper. At no point shall any overhead utilities be installed on the subject property. The Town of Prosper and public utility entities shall have the right to access and maintain all respective easements without the necessity at any time of procuring permission from anyone.

WHEREAS, HUB 380 LP is the owner of a tract of land situated in the H. Jamison Survey, Abstract No. 480, Collin County, Texas, the subject tract being all of Block A, Lot 10 of Hunter Gateway Centre, an addition to the Town of Prosper according to the plat recorded in Cabinet 2019, Page 12, of the Plat Records, Collin County, Texas (PRCCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2 inch capped iron rod found at the southeast corner of said Lot 10, also being at the southwest corner of Lot 2, Block A of the HUB 380 Addition, and addition to the Town of Prosper according to the plat recorded in Document Number 2025010000115, also being on the north right-of-way line of U.S. Highway 380, a variable width public right-of-way (also known as University Drive);

THENCE along the shared line of said Lot 10 and U.S. Highway 380, the following:

N 87°35'18" W, 189.72 feet to an aluminum monument found;

S 89°33'56" W, 300.03 feet to an aluminum monument found;

N 84°45'10" W, 100.46 feet to an aluminum monument found;

S 89°27'16" W, 188.56 feet to a 1/2 inch capped iron rod found at the southwest corner of said Lot 10, also being at the southeast corner of Lot 8R, Block A of said Hunter Gateway Centre Addition;

THENCE N 00°26'50" W, 710.91 feet along the shared line thereof to a point at the northwest corner of said Lot 10, also being the northeast corner of said Lot 8R, also being on the south right-of-way line of Richland Boulevard, a 90-foot public right-of-way per said Hunter Gateway Centre Addition plat;

THENCE along the shared line of said Lot 10 and Richland Boulevard, the following:

N 89°26'13" E, 653.95 feet;

Along a tangent curve to the left having a central angle of 05°41'25", a radius of 1247.50 feet, a chord of N 84°32'02" E - 123.84 feet, and an arc length of 123.89 feet to a 5/8 inch capped iron rod found at the northeast corner of said Lot 10, also being the northwest corner of Lot 1, Block A of said HUB 280 Addition;

THENCE S 00°30'10" E, 742.24 feet along the shared line of Lot 10 and Lots 1 and 2, to the POINT OF BEGINNING with the subject tract containing 560,069 square feet or 12.857 acres of land.

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, HUB 380 LP acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as Hunter Gateway Centre Addition, Block A, Lots 10, 14, 15, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. The HUB 380 LP does hereby certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown are dedicated for the public use forever for the purposes indicated on this plat.
- No building, fences, trees, shrubs, or other improvements or growth shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.

- For lots adjacent to a Floodplain Only:
  - 100 Year Floodplain Easement Restriction: Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result; and subject to all owners or the property affected by such construction becoming a party to the request.) Where construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100-year flood elevation as determined by analyzing the ultimate build-out conditions of the entire drainage basin. Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with maintenance of the area. The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure(s) within the natural drainage channels. The natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If a Subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas

WITNESS, my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

HUB 380, LP

Joya Satya Suresh Donepudi, Manager

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Joya Satya Suresh Donepudi, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public, State of Texas

Lot 9, Blk A  
HUNTER GATEWAY CENTRE  
Cab. 2019, Pg. 12 PRCCT

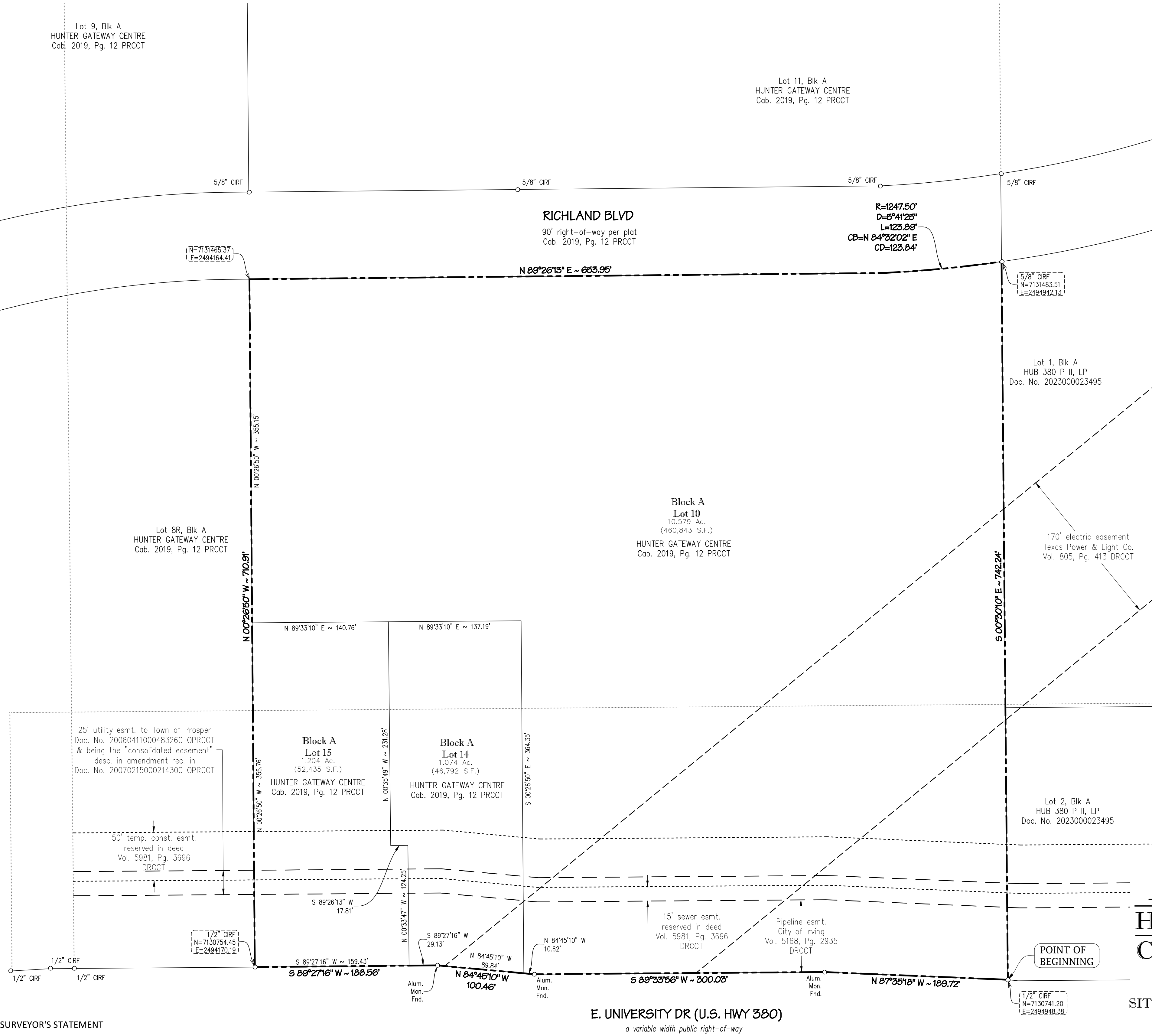
Lot 8R, Blk A  
HUNTER GATEWAY CENTRE  
Cab. 2019, Pg. 12 PRCCT

Block A  
Lot 10  
10.579 Ac.  
(460,843 S.F.)  
HUNTER GATEWAY CENTRE  
Cab. 2019, Pg. 12 PRCCT

Lot 1, Blk A  
HUB 380 P II, LP  
Doc. No. 2023000023495

170' electric easement  
Texas Power & Light Co.  
Vol. 805, Pg. 413 DRCCT

Lot 2, Blk A  
HUB 380 P II, LP  
Doc. No. 2023000023495



SURVEYOR'S STATEMENT

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

DARREN K. BROWN, R.P.L.S. NO. 5252

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025,  
by the Planning & Zoning Commission of the Town of Prosper, Texas.

Town Secretary

Engineering Department

Development Services Department

OWNER/DEVELOPER  
HUB 380 LP  
5 Cowboys Way, Suite 300  
Frisco, TX, 75034  
Telephone: (314) 614-0101  
Contact: Jaya Satya Suresh Donepudi

SURVEYOR  
Spiars Engineering, Inc.  
765 Custer Rd, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
TBPELS No. F-10043100  
Contact: Darren Brown

ENGINEER/APPLICANT  
Spiars Engineering, Inc.  
501 W. PG&T, Suite 200  
Richardson, TX 75080  
Telephone: (469) 395-1192  
TBPE No. F-2121  
Contact: Mike Martine

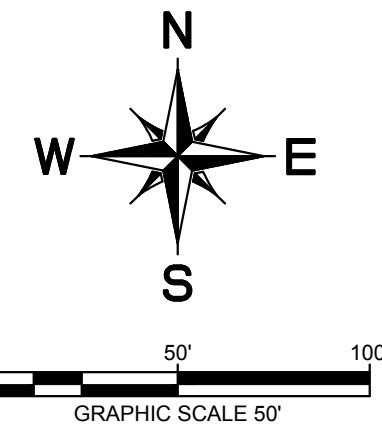
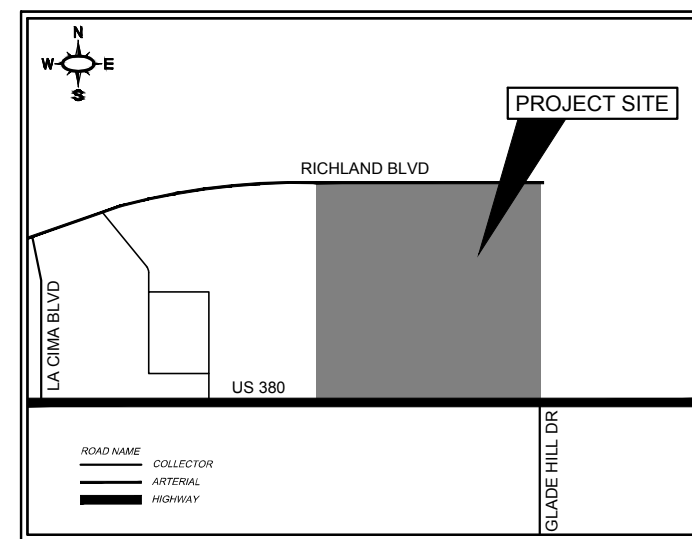
REVISED CONVEYANCE PLAT  
HUNTER GATEWAY  
CENTRE ADDITION

BLOCK A  
LOT 10, LOT 14, & LOT 15  
SITUATED IN THE H. JAMISON SURVEY,  
ABSTRACT NO. 480  
IN THE TOWN OF PROSPER,  
COLLIN COUNTY, TEXAS

Being a Revised Conveyance Plat of Block A, Lot 10  
HUNTER GATEWAY CENTRE ADDITION  
Cab. 2019, Pg. 12 PRCCT  
560,069 Sq.Ft. / 12.857 Acres  
Current Zoning: PD-2  
Town Case No. DEVAPP-25-0013  
Prepared March 2025



Approved Preliminary Site Plan (DEVAPP-24-0172)



## LEGEND

	PROPOSED FIRE LANE
	EXISTING PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
	WATER METER (AND VAULT)
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALK
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

## SITE DATA SUMMARY TABLE BLOCK A, LOT 10

ZONING/PROPOSED USE		PD2 AUTOMOBILE SALES SERVICE AND LEASING
LOT AREA/ SQ. FT. AND AC		461,022 SQ. FT. 10.58 AC
BUILDING AREA (gross square footage)		BUILDING 1: 50,819 GSF BUILDING 2: 32,667 GSF
BUILDING HEIGHT MAX HEIGHT = 40'		BUILDING 1 & 2: 30' (1 STORY)
LOT COVERAGE		18.10%
FLOOR AREA RATIO (for non-residential zoning)		18.10%
TOTAL PARKING REQUIRED:		
BUILDING 1: SHOWROOM(1,500) + 5,766 SF: 12 SPACES SERVICE AUTOMOBILE(1 PER BAY + 1 PER EMPLOYEE) = 86 SPACES		BUILDING 1: 98 SPACES
BUILDING 2: SHOWROOM(1,500) + 3,707 SF: 8 SPACES SERVICE AUTOMOBILE(1 PER BAY + 1 PER EMPLOYEE) = 40 SPACES		BUILDING 2: 58 SPACES
		TOTAL PARKING: 156
TOTAL PAVING PROVIDED		526 SURFACE SPACES
TOTAL HANDICAP REQUIRED		10 SPACES
TOTAL HANDICAP PROVIDED		13 SPACES
INTERIOR LANDSCAPING REQUIRED		8,520 SQ. FT.
INTERIOR LANDSCAPING PROVIDED		16,538 SQ. FT.
IMPERVIOUS SURFACE		343,633 SQ. FT.
USABLE OPEN SPACE REQUIRED		32,271 SQ. FT. (7%)
USABLE OPEN SPACE PROVIDED		47,919 SQ. FT. (10%)

# SITE DATA SUMMARY TABLE

ZONING/PROPOSED USE	PD 2 RESTAURANT
LOT AREA/ SQ. FT. AND AC	52,578 SF, 1.21 AC
BUILDING AREA (gross square footage)	3,300 GSF (REST.)
BUILDING HEIGHT MAX HEIGHT = 40'	30' (1 STORY)
LOT COVERAGE	6.28%
FLOOR AREA RATIO (for non-residential zoning)	.06
TOTAL PARKING REQUIRED 1:75 SF	44 SPACES
TOTAL PARKING PROVIDED	44 SURFACE SPACES
TOTAL HANDICAP REQUIRED	2 SPACES
TOTAL HANDICAP PROVIDED	2 SPACES
INTERIOR LANDSCAPING REQUIRED	600 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	1,739 SQ. FT.
IMPERVIOUS SURFACE	18,954 SQ. FT.
USABLE OPEN SPACE REQUIRED	3,680 SQ. FT. (7%)
USABLE OPEN SPACE PROVIDED	12,012 SQ. FT. (22%)

PERIODIC STAMPED/STAINED CONCRETE TO BE PROVIDED ALONG FIRE LANE CONNECTION FORM RICHLAND BOULEVARD TO US 380. "NO THRU-TRAFFIC" SIGNAGE TO BE PROVIDED AT EACH ENTRANCE

## NOTES

ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

1. ALL DEVELOPING STANDARDS SHALL FOLLOW TOWN STANDARDS.
2. LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
3. ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
4. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
5. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
6. IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATIONS IDENTIFIED ON THE SITE DATA SUMMARY TABLE. HOWEVER, CHARGES FOR THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
7. THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION AT THE TIME OF WHICH THE APPLICATION MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROJECT, THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
8. OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, ETC.
9. THE BUILDINGS SHALL COMPLY WITH THE REQUIREMENTS FOR RECESSES AND PROJECTIONS WHEN 200 FEET OR GREATER IN LENGTH.

## SITE DATA SUMMARY TABLE BLOCK A, LOT 14

ZONING/PROPOSED USE	PD-2 RESTAURANT W/ DRIVE-THRU
LOT AREA/ SQ. FT. AND AC	46,587 SF; 1.07 AC
BUILDING AREA (gross square footage)	2,400 GSF (REST.)
BUILDING HEIGHT MAX HEIGHT = 40'	30' (1 STORY)
LOT COVERAGE	5.15%
FLOOR AREA RATIO (for non-residential zoning)	.051:
TOTAL PARKING REQUIRED (DRIVE THRU) 1:100 SF	24 SPACES
TOTAL PARKING PROVIDED	24 SURFACE SPACES
TOTAL HANDICAP REQUIRED	2 SPACES
TOTAL HANDICAP PROVIDED	2 SPACES
INTERIOR LANDSCAPING REQUIRED	360 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	784 SQ. FT.
IMPERVIOUS SURFACE	17,964 SQ. FT.
USABLE OPEN SPACE REQUIRED	3,261 SQ. FT. (7%)
USABLE OPEN SPACE PROVIDED	10,224 SQ. FT. (22%)

\*HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH TAS STANDARDS

**Developer:**  
Tesla  
901 Page Avenue  
Fremont, CA 94538  
Contact: Bobby Keim  
Phone: (205)-821-7220

**Property Owner:**  
Hub 380 LP  
5 Cowboys Way Ste 300  
Frisco, Tx 75034  
Contact: Jaya s Donepudi  
Phone: (205)-821-7220

**Engineer:**  
Kimley-Horn and Associates, Inc.  
260 East Davis Street Suite 100  
McKinney, Texas 75069  
Contact: Rachel Korus, P.E.  
Phone: (469)-301-2594

PRELIMINARY SITE PLAN  
HUNTER GATEWAY CENTRE  
BLOCK A, LOT 10, 14, 15  
DEVAPP-24-0172  
Being 12.86 AC of  
H. JAMISON SURVEY  
ABSTRACT NO. 480,  
Town of Prosper, Collin County, Texas  
Submitted: March 18, 2025

PRELIMINARY SITE PLAN

TESLA SSD FACILITY

# Kimley»»Horn

**Kimley»»Horn**  
© 2025 KIMLEY HORN AND ASSOCIATES, INC.  
260 EAST DAVIS STREET, SUITE 100, WICKINNEY, TX 75069  
PHONE: 469-301-2580 FAX: 972-238-3820

DATE	SCALE	AS SHOWN
OCTOBER 2022		
DESIGNED BY	DESIGNED BY	REVIEWED BY
DRAWN BY		
CHECKED BY		

A SSD FACTS  
PROSPER, TEXAS

SHEET NUMBER  
**PSP - 1**

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