



**AGENDA**  
**Planning & Zoning Commission**  
Prosper Town Hall, Council Chambers  
250 W. First Street, Prosper, Texas  
Tuesday, October 21, 2025  
**6:00 PM**

Welcome to the Prosper Planning & Zoning Commission Meeting.

Citizens may watch the meeting live by using the following link: [www.prospertx.gov/livemeetings](http://www.prospertx.gov/livemeetings)

**Addressing the Planning & Zoning Commission:**

Those wishing to address the Planning & Zoning Commission must complete the Public Comment Request Form located on the Town's website or in the Council Chambers.

**If you are attending in person**, please submit this form to the Town Secretary or the person recording the minutes for the Board/Commission prior to the meeting. When called upon, please come to the podium, and state your name and address for the record.

**If you are watching online**, please submit this form to the Town Secretary prior to 4:00 p.m. on the day of the meeting in order for your comments to be read into the record. The Town assumes no responsibility for technical issues beyond our control.

In compliance with the Texas Open Meetings Act, the Planning & Zoning/Board/ Commission may not deliberate or vote on any matter that does not appear on the agenda. The Council/Board/Commission, however, may provide statements of fact regarding the topic, request the topic be included as part of a future meeting, and/or refer the topic to Town Staff for further assistance.

Citizens and other visitors attending Planning & Zoning Commission meetings shall observe the same rules of propriety, decorum, and good conduct applicable to members of the Commission. Any person making personal, impertinent, profane or slanderous remarks or who becomes boisterous while addressing the Commission or while attending the meeting shall be removed from the room, if so directed by the Mayor or presiding officer, and the person shall be barred from further audience before the Commission during that session of the meeting. Disruption of a public meeting could constitute a violation of Section 42.05 of the Texas Penal Code.

1. Call to Order / Roll Call.
2. Pledge of Allegiance and Pledge to the Texas Flag.
3. Election of Officers.

**CONSENT AGENDA:**

Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of a Commission Member or Staff.

- 4a. Consider and act upon the minutes from the October 7, 2025, Planning & Zoning Commission work session meeting.

- [4b.](#) Consider and act upon the minutes from the October 7, 2025, Planning & Zoning Commission regular meeting.
- [4c.](#) Consider and act upon a request for a Site Plan for Restaurant/Retail and Retail Buildings on Mustang Texas Realty Addition, Block A, Lots 1-2, on 3.4± acres, located on the north side of First Street and 170± feet east of Coit Road. (DEVAPP-24-0152)
- [4d.](#) Consider and act upon a request for a Final Plat of Mustang Texas Realty Addition, Block A, Lots 1-2, on 3.4± acres, located on the north side of First Street and 170± feet east of Coit Road. (DEVAPP-24-0153)
- [4e.](#) Consider and act upon a request for a Preliminary Site Plan for Restaurant/Retail and Retail Buildings on Westfork Crossing, Block A, Lots 9-10 & 11X, on 82.6± acres, located on the north side of University Drive and 510± feet east of Gee Road. (DEVAPP-24-0174)
- [4f.](#) Consider and act upon a request for a Site Plan for Restaurants on Gates of Prosper, Phase 3B, Block B, Lot 3B, on 12.2± acres, located on the northwest corner of Preston Road and University Drive. (DEVAPP-25-0033)
- [4g.](#) Consider and act upon a request for a Final Plat of Gates of Prosper, Phase 3B, Block B, Lot 3B, on 12.2± acres, located on the northwest corner of Preston Road and University Drive. (DEVAPP-25-0032)
- [4h.](#) Consider and act upon a request for a Façade Plan for Restaurants at Gates of Prosper, Phase 3B, Block B, Lot 3B, on 12.2± acres, located on the northwest corner of Preston Road and University Drive. (DEVAPP-25-0031)
- [4i.](#) Consider and act upon a request for a Conveyance Plat of Windsong Ranch Office Addition, Block A, Lots 2-3, on 3.5± acres, located on the east side of Teel Parkway and 900± feet north of Prosper Trail. (DEVAPP-25-0104)
- [4i.](#) **[TABLED TO NOVEMBER 4]** Conduct a Public Hearing to consider the adoption of a Unified Development Code, which encompasses amendments to Building Regulations, Business Regulations, Fire Prevention and Protection codes, Health and Sanitation codes, the Subdivision Regulation, Utilities standards, the Zoning Ordinance, Engineering Design Standards, and Definitions. (ZONE-25-0014). *Town Staff has requested this item to be tabled.*

## **CITIZEN COMMENTS**

The public is invited to address the Commission on any topic. However, the Commission is unable to discuss or take action on any topic not listed on this agenda. Please complete a “Public Comment Request Form” and present it to a Staff member prior to the meeting. Please limit your comments to three minutes. If multiple individuals wish to speak on a topic, they may yield their three minutes to one individual appointed to speak on their behalf. All individuals yielding their time must be present at the meeting, and the appointed individual will be limited to a total of 15 minutes.

## **REGULAR AGENDA:**

If you wish to address the Commission, please fill out a “Public Comment Request Form” and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning & Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For



individuals wishing to speak on a non-public hearing item, they may either address the Commission during the Citizen Comments portion of the meeting or when the item is considered by the Planning & Zoning Commission.

5. Discussion of Proposed Unified Development Code.
6. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
7. Adjourn.

### **CERTIFICATION**

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Wednesday, October 15, 2025, and remained so posted at least 3 days before said meeting was convened.

\_\_\_\_\_  
Michelle Lewis Sirianni, Town Secretary

\_\_\_\_\_  
Date Notice Removed

Pursuant to Section 551.071 of the Texas Government Code, the Planning & Zoning reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

### **NOTICE**

**NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:** The Prosper Planning & Zoning meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1073 at least 48 hours prior to the meeting time.



**MINUTES**  
**Prosper Planning & Zoning Commission**  
**Work Session**  
Prosper Town Hall– Executive Conference Room  
250 W. First Street, Prosper, Texas  
Monday, October 7, 2025  
**5:30 PM**

**1. Call to Order / Roll Call**

The meeting was called to order at 5:32 p.m.

Commissioners Present: Vice Chair Damon Jackson, Secretary Josh Carson, Brett Butler, John Hamilton, Matt Furay, and Glen Blanscet.

Commissioners Absent: Deborah Daniel

Staff Members Present: Chuck Ewings (Assistant Town Manager), Suzanne Porter, AICP (Planning Manager), Dakari Hill (Senior Planner), Jerron Hicks (Planner), and Michelle Crowe (Senior Administrative Assistant)

Other(s) Present: Jeremy Page, Town Attorney

**Items for Individual Consideration:**

**1. Discuss items on the October 7<sup>TH</sup>, 2025, Planning & Zoning Commission agenda.**

Staff provided a brief overview of Consent Agenda Items 3a – 3e.

Commissioner Hamilton inquired about Item 3c. Specifically, the location of the proposed cell tower. Town Staff explained that the location was in a similar location to what was approved with the Specific Use Permit.

Commissioner Blanscet inquired about Items 3d and 3e. Specifically, there was discussion regarding the park being located on two lots with an alley in the middle. Town Staff explained that since both lots and the alley were owned by the Town, the two properties did not need to be platted into one.

Staff provided a brief overview of Regular Agenda Item 4.

Town Staff explained their recommendation to table the item was based upon providing the consultant with additional time to make requested updates to the Unified Development Code.

**2. Adjourn.**

The work session was adjourned at 5:41 p.m.

\_\_\_\_\_  
Michelle Crowe, Senior Administrative Assistant

\_\_\_\_\_  
Josh Carson, Secretary



**MINUTES**  
**Prosper Planning & Zoning Commission**  
**Regular Meeting**  
Prosper Town Hall  
Council Chambers  
250 W. First Street, Prosper, Texas  
Monday, October 7, 2025, 6:00 p.m.

**1. Call to Order / Roll Call**

The meeting was called to order at 6:00 p.m.

Commissioners Present: Vice Chair Damon Jackson, Secretary Josh Carson, Brett Butler, John Hamilton, Matt Furay, Glen Blanscet, and Deborah Daniel

Staff Members Present: Chuck Ewings (Assistant Town Manager), Suzanne Porter, AICP (Planning Manager), Dakari Hill (Senior Planner), Jerron Hicks (Planner), and Michelle Crowe (Senior Administrative Assistant)

Other(s) Present: Jeremy Page, Town Attorney

**2. Recitation of the Pledge of Allegiance.**

**CONSENT AGENDA**

- 3a. Consider and act upon the minutes from the September 15, 2025, Planning & Zoning Commission work session meeting.**
- 3b. Consider and act upon the minutes from the September 15, 2025, Planning & Zoning Commission regular meeting.**
- 3c. Consider and act upon a request for a Final Plat of Lakewood Park, Block A, Lot 1, on 22.8± acres, located on the east side of Coit Road and 815± feet south of First Street. (DEVAPP-25-0049)**
- 3d. Consider and act upon a request for a Site Plan for a Town Park on Parvin Park, Block A, Lots 1 and 2, on 2.5± acres, located on the northwest corner of Parvin Street and Broadway Street. (DEVAPP-25-0062)**
- 3e. Consider and act upon a request for a Final Plat of Parvin Park, Block A, Lots 1 and 2, on 2.5± acres, located on the northwest corner of Parvin Street and Broadway Street. (DEVAPP-25-0063)**

Commissioner Blanscet made a motion to approve Items 3a, 3b, 3c, 3d, and 3e. The motion was seconded by Commissioner Furay. The motion was carried unanimously by a vote of 7-0.

**CITIZEN COMMENTS**

No comments were made.

- 4. Conduct a Public Hearing to consider the adoption of a Unified Development Code, which encompasses amendments to Building Regulations, Business Regulations, Fire Prevention and Protection codes, Health and Sanitation codes, the Subdivision Regulation, Utilities standards, the Zoning Ordinance, Engineering Design Standards, and Definitions. (ZONE-25-0014) (This Item is to be tabled until the 10/21/2025 Planning & Zoning Commission meeting)**

Ms. Porter presented Item 4 to the Commission.

Ms. Porter explained that Town Staff's recommendation to table the item was based upon providing the consultant with additional time to make requested updates to the Unified Development Code.

Vice Chair Jackson opened the public hearing.

No comments were made.

Commissioner Hamilton made a motion to table Item 4 and continue the public hearing to the Planning & Zoning Commission meeting on October 21, 2025. This motion was seconded by Commissioner Carson. The motion was carried unanimously by a vote of 7-0.

- 5. Review actions taken by the Planning & Zoning Commission and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.**

Ms. Porter informed the Commissioners of past Town Council actions and upcoming cases for Planning & Zoning Commission consideration.

- 6. Adjourn.**

Commissioner Carson made a motion to adjourn the meeting. The motion was seconded by Commissioner Blanscet. The motion was carried unanimously by a vote of 7-0.

The meeting was adjourned at 6:09 P.M.

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Michelle Crowe, Senior Administrative Assistant

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Josh Carson, Secretary



## PLANNING

**To:** Planning & Zoning Commission **Item No. 4c**  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Site Plan for Mustang Texas Realty Addition, Block A, Lots 1-2  
**Meeting:** October 21, 2025

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**Agenda Item:**

Consider and act upon a request for a Site Plan for Restaurant/Retail and Retail Buildings on Mustang Texas Realty Addition, Block A, Lots 1-2, on 3.4± acres, located on the north side of First Street and 170± feet east of Coit Road. (DEVAPP-24-0152)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Retail & Neighborhood Services.

**Zoning:**

The property is zoned Retail.

**Conformance:**

The Site Plan conforms to the development standards of the Retail District

**Description of Agenda Item:**

The Site Plan consists of a 10,934 square foot retail building and a 14,329 square foot restaurant/retail building with a 400 square foot patio and associated parking.

A Preliminary Site Plan (DEVAPP-24-0049) was approved by the Planning & Zoning Commission on August 6, 2024. The plan was shown in two phases with Lots 1-2 shown in Phase 1 and Lot 3 shown in Phase 2. The Site Plan conforms to the approved Preliminary Site Plan.

**Access:**

Access is provided from First Street.

**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements.

**Companion Item:**

As a companion item, the Final Plat (DEVAPP-24-0153) is on this Planning & Zoning Commission agenda.

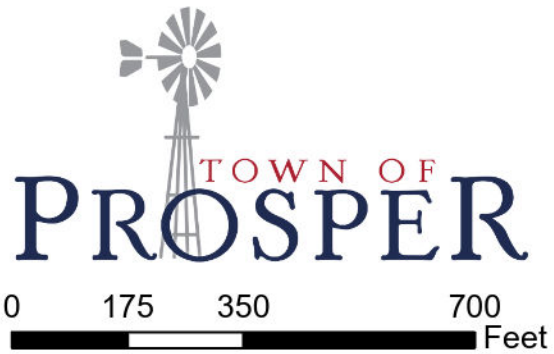
**Attachments:**

1. Location Map
2. Site Plan
3. Open Space Plan
4. Approved Preliminary Site Plan (DEVAPP-24-0049)

**Town Staff Recommendation:**

Town Staff recommends approval of the Site Plan.





This map for illustration purposes only

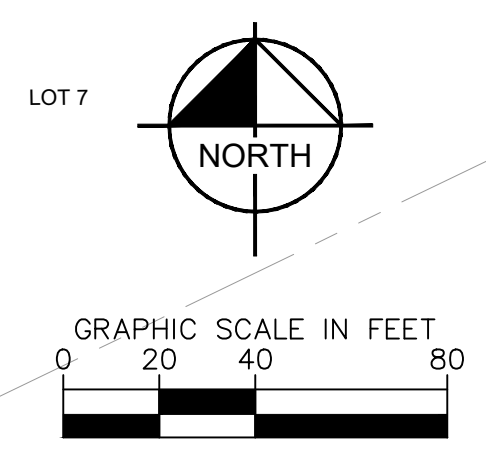
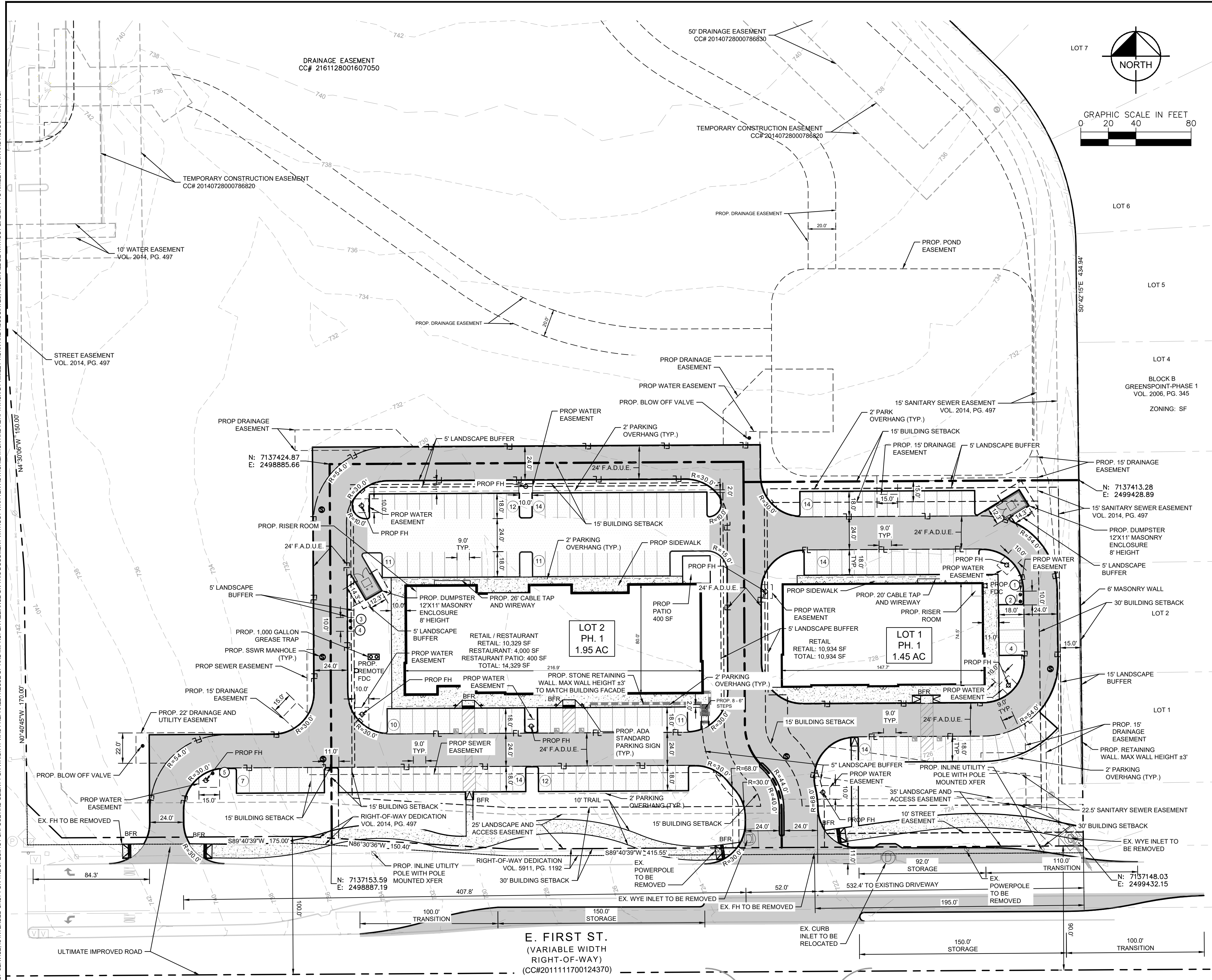
**DEVAPP-24-0152**

Mustang Texas Realty Addition,  
Block A, Lots 1-2

Site Plan



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

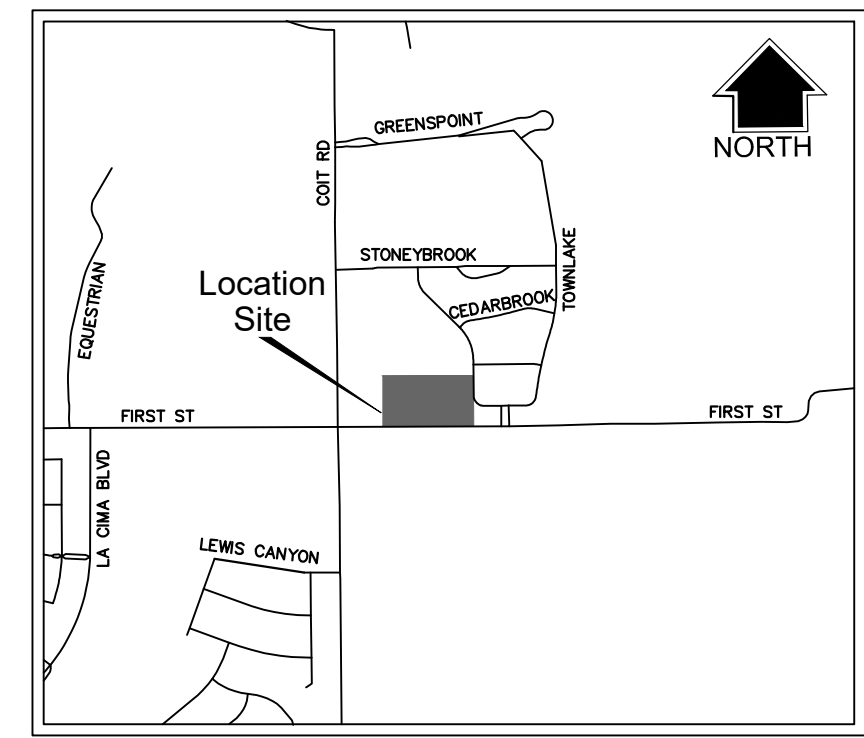


ZONING	RETAIL DISTRICT (R)
PROPOSED USE	RETAIL
LOT AREA	63,199 SF (1.45 AC)
BUILDING AREA	10,934 SF (0.25 AC)
BUILDING HEIGHT	20'-10" MAX BUILDING 1-2 STORY
LOT COVERAGE	17.30%
FLOOR AREA RATIO	0.2:1
PARKING RATIO	1 SPACE PER 250 SF (RETAIL)
TOTAL PARKING REQUIRED	44
TOTAL PARKING PROVIDED	46
HANDICAP PARKING REQUIRED	2
HANDICAP PARKING PROVIDED	2
PARKING LOT LANDSCAPE REQUIRED	690 SF
PARKING LOT LANDSCAPE PROVIDED	1,552 SF
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	44,667 SF
OPEN SPACE REQUIRED	4,424 SF (7%)
OPEN SPACE PROVIDED	6,327 SF (10%)

ZONING	RETAIL DISTRICT (R)
PROPOSED USE	RESTAURANT/RETAIL
LOT AREA	84,953 SF (1.95 AC)
BUILDING AREA	14,329 SF (0.39 AC)
BUILDING HEIGHT	20'-10" MAX BUILDING 2-2 STORY
LOT COVERAGE	16.87%
FLOOR AREA RATIO	0.2:1
PARKING RATIO	1 SPACE PER 250 SF (RESTAURANT) 1 SPACE PER 200 SF (RESTAURANT PATIO)
TOTAL PARKING REQUIRED	84
TOTAL PARKING PROVIDED	95
HANDICAP PARKING REQUIRED	4
HANDICAP PARKING PROVIDED	4
PARKING LOT LANDSCAPE REQUIRED	1,440 SF
PARKING LOT LANDSCAPE PROVIDED	8,862 SF
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	66,584 SF
OPEN SPACE REQUIRED	5,947 SF (7%)
OPEN SPACE PROVIDED	6,998 SF (8.2%)

**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED FIRE LANE, ACCESS, DRAINAGE, AND UTILITY EASEMENT
- EXISTING OVERHEAD POWER LINE
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- BARRIER FREE RAMP (BFR)
- FIRELANE, ACCESS, DRAINAGE, AND UTILITY EASEMENT
- NUMBER OF PARKING SPACES PER ROW
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM MANHOLE
- EXISTING SIGN



I.D.	TYPE	SIZE	NO.	SAN. SEWER	REMARKS
1	DOMESTIC	2"	1	6"	PROPOSED
2	IRRIGATION	1-1/2" & BACK FLOW PREVENTER	1	-	PROPOSED
3	DOMESTIC	2"	1	6"	PROPOSED
4	IRRIGATION	1-1/2" & BACK FLOW PREVENTER	1	-	PROPOSED
5	IRRIGATION	1-1/2" & BACK FLOW PREVENTER	1	-	PROPOSED

- NOTES**
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  - ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER TOWN OF PROSPER.
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  - OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE. PER TRACT OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

**SITE PLAN**  
 TOWN OF PROSPER CASE NO. DEVAPP-24-0152  
**MUSTANG CROSSING**  
 MUSTANG TEXAS REALTY ADDITION  
 BLOCK A, LOTS 1-2  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
 SEPTEMBER 2025

ENGINEER / SURVEYOR  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 TELEPHONE: (972) 770-1300  
 TBP NO. F-928  
 CONTACT: CATLIN FLAHERTY, P.E.

OWNER / DEVELOPER  
 MUSTANG TEXAS REALTY LLC  
 1505 ISAAC LANE  
 MCKINNEY, TEXAS 75071  
 CONTACT: MRS. PHANI JUNGHA  
 PHANI.J7@GMAIL.COM

NO.	REVISIONS	DATE	BY

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PHONE: (972) 770-1300 FAX: (972) 268-8580  
 TEXAS REGISTERED ENGINEERS FROM 1998

FOR REVIEW ONLY  
 Not for construction or permit purposes.

Engineer: CATLIN FLAHERTY, P.E.  
 P.E. No. 127516 Date: 09/18/2025

PROJECT NO.	080020300
DATE:	09/20/25
SCALE:	AS SHOWN
DESIGNED BY:	AMW
DRAWN BY:	AMW
CHECKED BY:	CMF

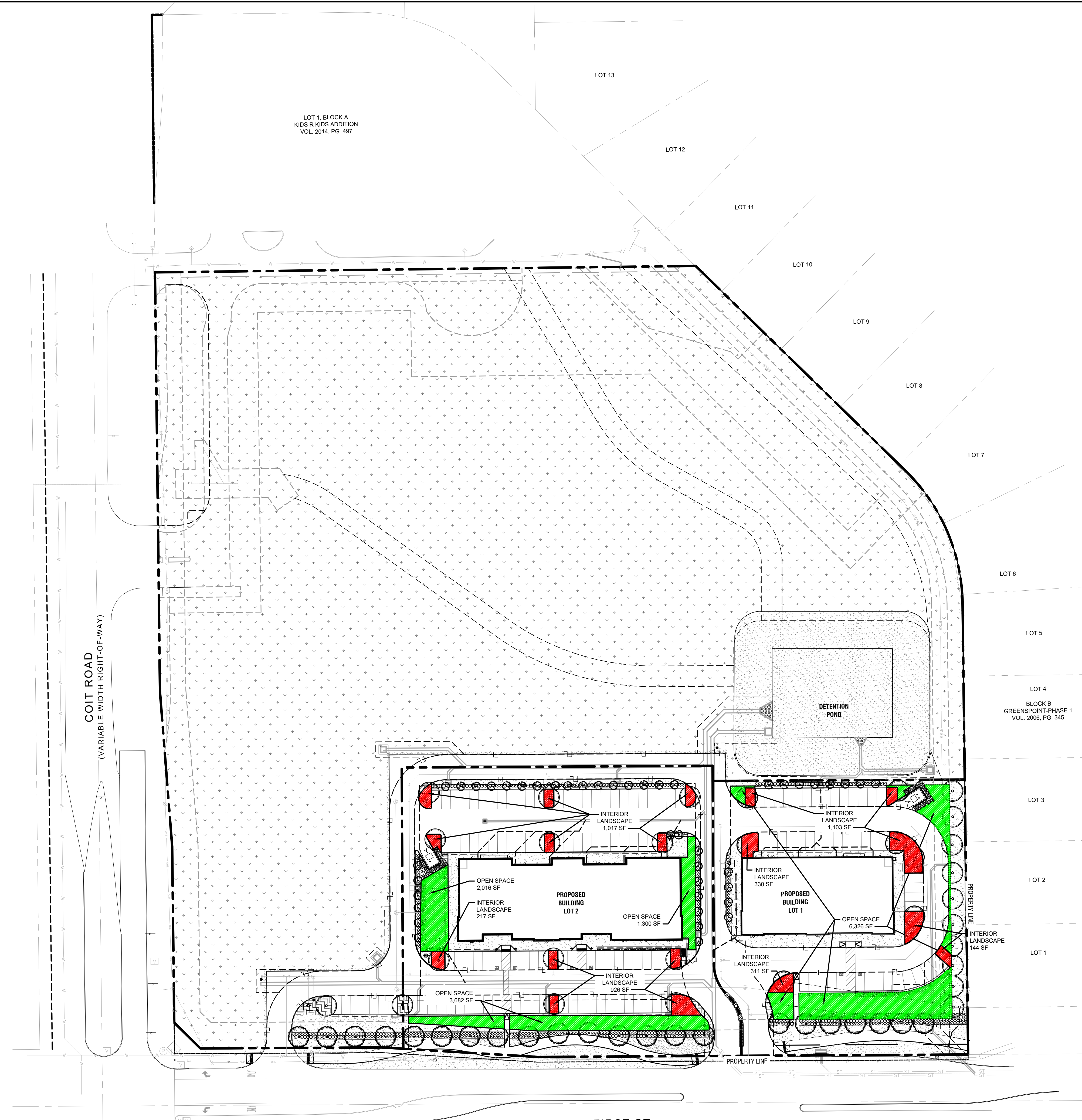
**MUSTANG CROSSING**  
**PHASE 1**  
 PROSPER, TEXAS

**SITE PLAN**  
 SHEET NUMBER  
**C-09**

2024 KIMLEY-HORN AND ASSOCIATES, INC.



PLOTTED BY: HARMAN, ANNE 09/16/2025 10:27 PM  
 LAST SAVED: 09/16/2025 10:27 AM  
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



First & Coit Prosper Open Space Code Calculations Chart		
LOT 1		
<b>Site Data</b>	AC	SF
Total Site Area	1.45	63,199
<b>Open Space</b>	Required (SF)	Provided (SF)
Open Space (63,199 x 7% = 4,774)	4,424	6,326
LOT 2		
<b>Site Data</b>	AC	SF
Total Site Area	1.95	84,953
<b>Open Space</b>	Required (SF)	Provided (SF)
Open Space (84,953 x 7% = 5,947)	5,947	6,998

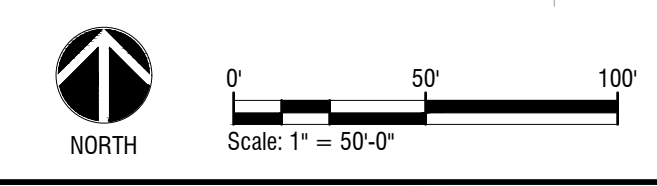
**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED FIRE LANE
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM LINE
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- BARRIER FREE RAMP (BFR)
- FIRELANE, ACCESS, DRAINAGE, AND UTILITY EASEMENT
- NUMBER OF PARKING SPACES PER ROW
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM MANHOLE
- EXISTING SIGN
- PROP. OPEN SPACE AREA
- PROP. INTERIOR LANDSCAPE AREA

**LANDSCAPE PLAN**  
 TOWN OF PROSPER CASE NO. DEVAPP-24-0152  
**MUSTANG CROSSING**  
 MUSTANG TEXAS REALTY ADDITION  
 BLOCK A, LOTS 1-2  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
 SEPTEMBER 2025

E. FIRST ST.  
 (VARIABLE WIDTH RIGHT-OF-WAY)  
 (CC#2011111700124370)

Open Space Plan  
 Scale: 1" = 50' - 0"  
**A**



**ENGINEER / SURVEYOR**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 TELEPHONE: (972) 770-1300  
 TBP# NO. F-928  
 CONTACT: CAITLIN FLAHERTY, P.E.

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 MUSTANG TEXAS REALTY LLC  
 1505 ISAAC LANE  
 MCKINNEY, TEXAS 75071  
 CONTACT: MR. PHANI JUNGHA  
 PHANI.JT@GMAIL.COM

NO.	REVISIONS	DATE	BY

Kimley»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PHONE: 972.770.1300 FAX: 972.268.8850  
 TEXAS REGISTERED ENGINEERS FROM F-928

PUBLIC NOTICE  
 FOR REVIEW ONLY  
 Not for construction or permit purposes.  
  
 P.L.A. JENNIFER HARMAN  
 I.A. No. 009887 Date 08/16/2025

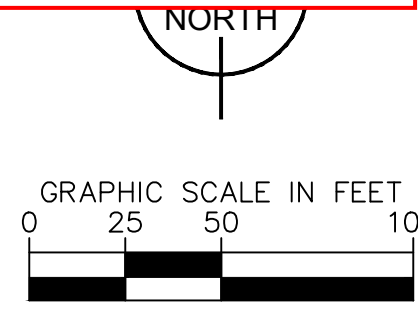
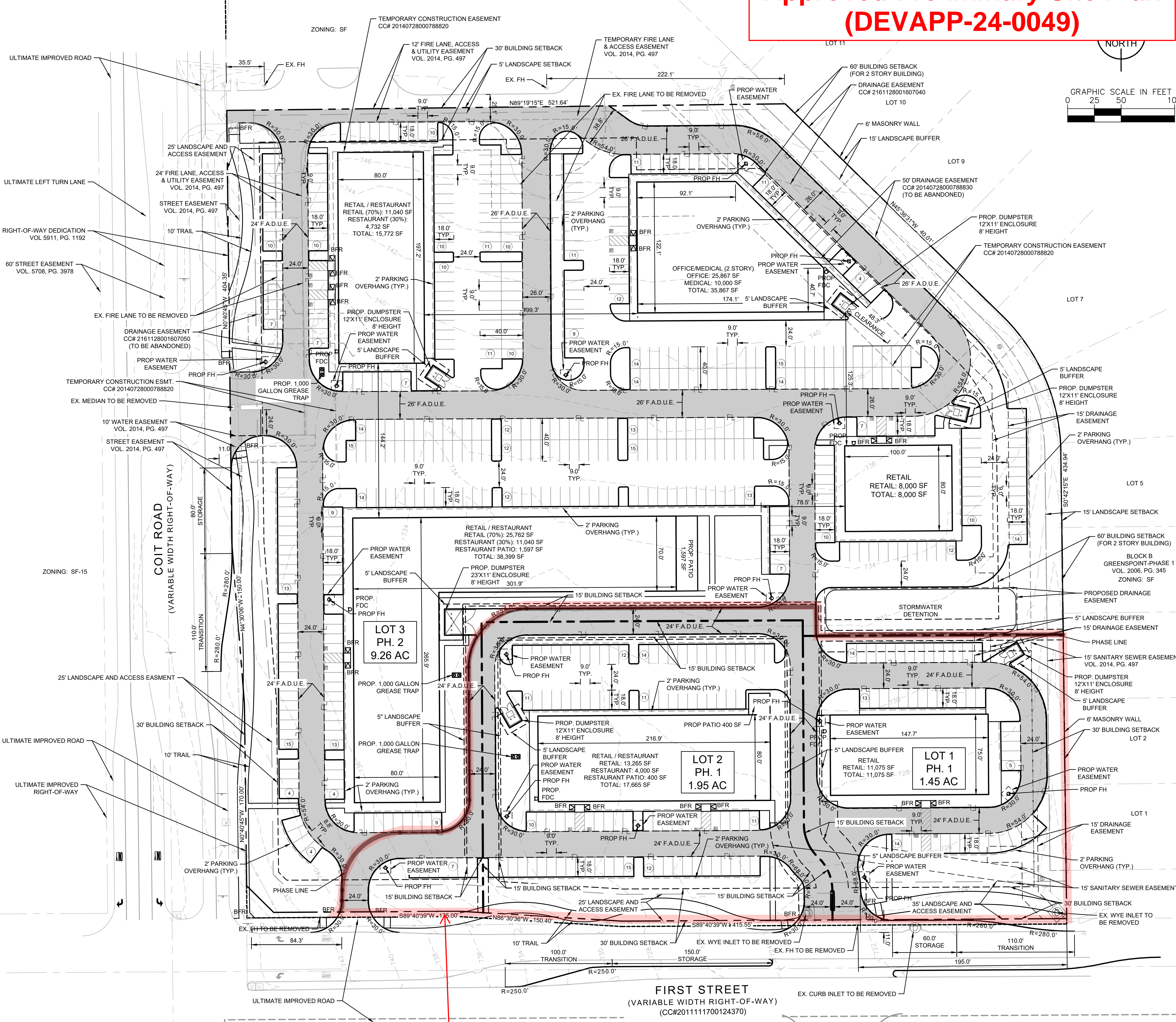
PROJECT No.	06002600
DATE:	09/16/2025
SCALE:	AS SHOWN
DESIGNED BY:	AH, JK
DRAWN BY:	JK
CHECKED BY:	AH

MUSTANG CROSSING  
 PHASE 1  
 PROSPER, TEXAS

OPEN SPACE PLAN
SHEET NUMBER <b>L0.01</b>



# Approved Preliminary Site Plan (DEVAPP-24-0049)



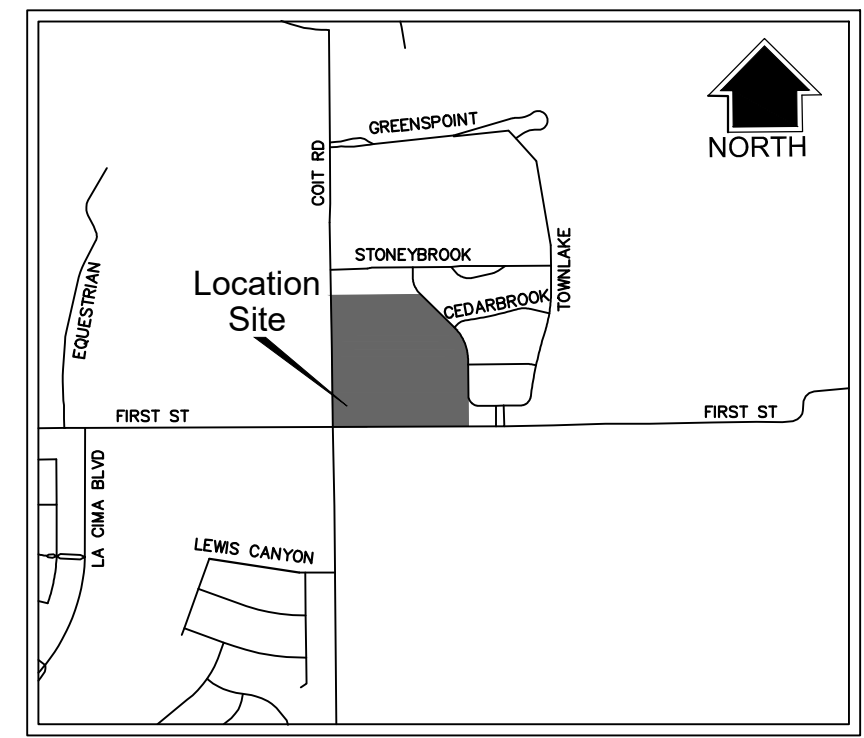
ZONING	RETAIL DISTRICT (R)
PROPOSED USE	RETAIL
LOT AREA	63,199 SF (1.45 AC)
BUILDING AREA	11,075 SF (0.25 AC)
BUILDING HEIGHT	26' MAX
LOT COVERAGE	17.52%
FLOOR AREA RATIO	0.1752:1
PARKING RATIO	1 SPACE PER 250 SF (RETAIL)
TOTAL PARKING REQUIRED	46
TOTAL PARKING PROVIDED	46
HANDICAP PARKING REQUIRED	2
HANDICAP PARKING PROVIDED	2
PARKING LOT LANDSCAPE REQUIRED	690 SF
PARKING LOT LANDSCAPE PROVIDED	1,552 SF
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	43,785 SF
OPEN SPACE REQUIRED	4,774 SF (7%)
OPEN SPACE PROVIDED	6,580 SF (10.4%)

ZONING	RETAIL DISTRICT (R)
PROPOSED USE	RESTAURANT/RETAIL
LOT AREA	84,953 SF (1.95 AC)
BUILDING AREA	17,265 SF (0.40 AC)
PATIO AREA	400 SF
BUILDING HEIGHT	26' MAX
LOT COVERAGE	20.32%
FLOOR AREA RATIO	0.2032:1
PARKING RATIO	1 SPACE PER 100 SF (RESTAURANT) 1 SPACE PER 250 SF (RETAIL) 1 SPACE PER 350 SF (OFFICE) 1 SPACE PER 200 SF (RESTAURANT PATIO)
TOTAL PARKING REQUIRED	96
TOTAL PARKING PROVIDED	96
HANDICAP PARKING REQUIRED	4
HANDICAP PARKING PROVIDED	4
PARKING LOT LANDSCAPE REQUIRED	1,440 SF
PARKING LOT LANDSCAPE PROVIDED	8,862 SF
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	66,584 SF
OPEN SPACE REQUIRED	5,947 SF (7%)
OPEN SPACE PROVIDED	7,880 SF (9.3%)

ZONING	RETAIL DISTRICT (R)
PROPOSED USE	RETAIL
LOT AREA	407,489 SF (9.26 AC)
BUILDING AREA	96,441 SF (2.21 AC)
PATIO AREA	1,597 SF
BUILDING HEIGHT	26' MAX, 32' MAX FOR 2 STORY OFFICE/MEDICAL
LOT COVERAGE	23.65%
FLOOR AREA RATIO	0.2365:1
PARKING RATIO	1 SPACE PER 100 SF (RESTAURANT) 1 SPACE PER 250 SF (RETAIL) 1 SPACE PER 350 SF (OFFICE) 1 SPACE PER 200 SF (RESTAURANT PATIO)
TOTAL PARKING REQUIRED	460
TOTAL PARKING PROVIDED	486
HANDICAP PARKING REQUIRED	9
HANDICAP PARKING PROVIDED	9
PARKING LOT LANDSCAPE REQUIRED	7,290 SF
PARKING LOT LANDSCAPE PROVIDED	16,242 SF
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	315,686 SF
OPEN SPACE REQUIRED	28,540 SF (7.1%)
OPEN SPACE PROVIDED	28,994 SF (7.1%)

### LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED FIRE LANE, ACCESS, DRAINAGE, AND UTILITY EASEMENT
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM LINE
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- BARRIER FREE RAMP (BFR)
- FIRELANE, ACCESS, DRAINAGE, AND UTILITY EASEMENT
- NUMBER OF PARKING SPACES PER ROW
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM MANHOLE
- EXISTING SIGN



- ### NOTES
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  - ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER TOWN OF PROSPER.
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF GO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  - OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE. PER TRACT OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

Phase 1 Boundary



P&Z Approved  
08/06/2024

PRELIMINARY SITE PLAN  
TOWN OF PROSPER CASE NO. DEVAPP-24-0049  
**MUSTANG CROSSING**  
MUSTANG TEXAS REALTY ADDITION  
BLOCK A, LOTS 1-3  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
JUNE 2024

ENGINEER / SURVEYOR  
KIMLEY-HORN AND ASSOCIATES, INC.  
19455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
TELEPHONE: (972) 770-1300  
TSP# NO. F-928  
CONTACT: CAITLIN FLAHERTY, P.E.

OWNER / DEVELOPER  
MUSTANG TEXAS REALTY LLC  
1505 ISAAC LANE  
MCKINNEY, TEXAS 75071  
CONTACT: MR. PHANI JUNGA  
PHANI.J7@GMAIL.COM





## PLANNING

**To:** Planning & Zoning Commission **Item No. 4d**  
**From:** Dakari Hill, Senior Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Final Plat of Mustang Texas Realty Addition, Block A, Lots 1-2  
**Meeting:** October 21, 2025

---

**Agenda Item:**

Consider and act upon a request for a Final Plat of Mustang Texas Realty Addition, Block A, Lots 1-2, on 3.4± acres, located on the north side of First Street and 170± feet east of Coit Road. (DEVAPP-24-0153)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Retail & Neighborhood Services.

**Zoning:**

The property is zoned Retail.

**Conformance:**

The Final Plat conforms to the development standards of the Retail District.

**Description of Agenda Item:**

The purpose of this Final Plat is to dedicate easements necessary for development of Lots 1-2.

**Companion Item:**

As a companion item, the Site Plan (DEVAPP-24-0152) is on this Planning & Zoning Commission agenda.

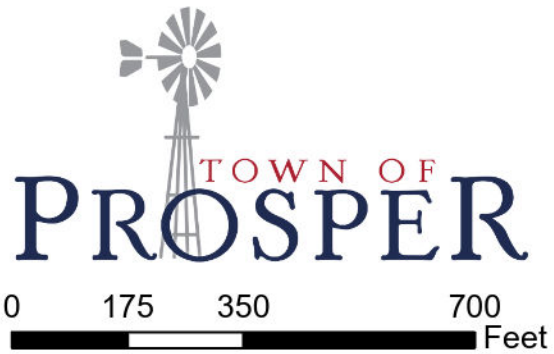
**Attached Documents:**

1. Location Map
2. Final Plat

**Town Staff Recommendation:**

Town Staff recommends approval of the Final Plat.





This map for illustration purposes only

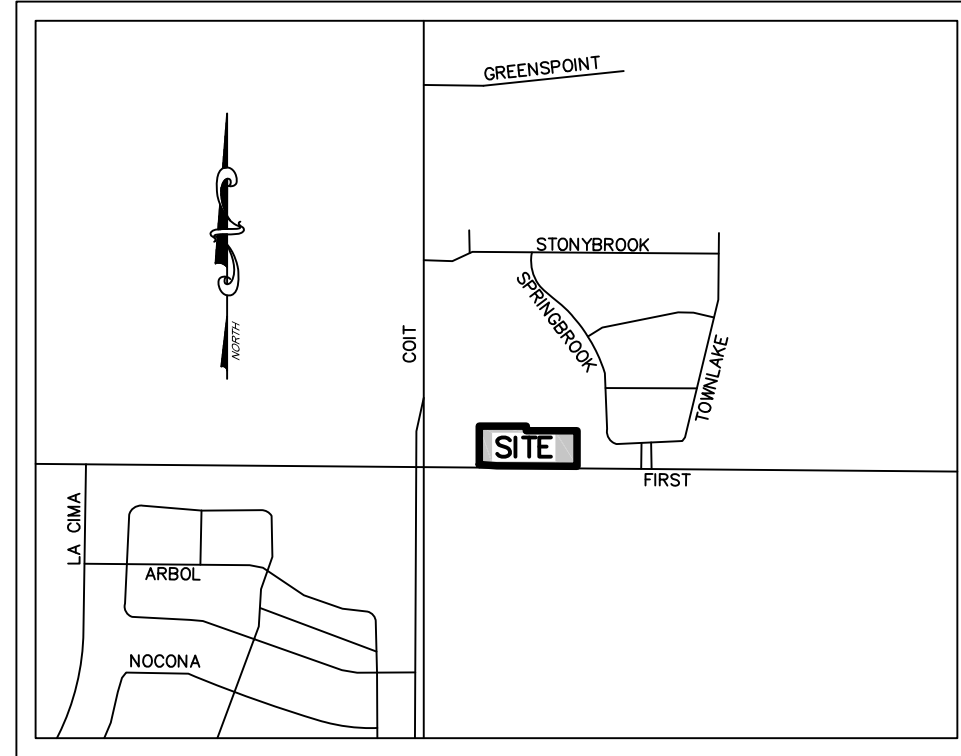
**DEVAPP-24-0153**

Mustang Texas Realty Addition,  
Block A, Lots 1-2

Final Plat



VICINITY MAP  
NOT TO SCALE



**GENERAL NOTES:**

- 1. Bearings of lines shown hereon refer to Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202; NAD83 (2011) Epoch 2010) as derived locally from Allterra Central's Continuously Operating Reference Stations (CORS) via Real Time Kinematic (RTK) Methods. An average Combination Factor of 1.000153614 was used to scale grid coordinates and distances to surface.
- 2. Notice: Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and state law and is subject to fines and withholding of utilities and building permits.
- 3. All corners shown hereon are Iron Rod Found with "Peiser & Mankin" red plastic cap, unless otherwise noted.
- 4. No floodplain exists on the site.
- 5. Landscape Easements shall be exclusive of other easements unless shown on this plat and approved by the Town.

**FLOOD CERTIFICATE:**

No floodplain exists on this site. As determined by the FLOOD INSURANCE RATE MAPS for Collin County, the subject property Does Not appear to lie within a Special Flood Hazard Area (100 Year Flood), Map date 6/2/09 Community Panel No. 48085C0235J subject lot is located in Zone 'X'. If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.

**LEGEND:**  
IRS - IRON ROD SET WITH "PEISER & MANKIN RED PLASTIC CAP"  
IRF - IRON ROD FOUND  
YCIRF - IRON ROD WITH YELLOW CAP FOUND  
VOL - VOLUME, PG - PAGE  
DOC - DOCUMENT  
NO - NUMBER  
CC# - COUNTY CLERK'S FILE NUMBER

**PURPOSE OF FINAL PLAT:**  
TO SHOW/LABEL EASEMENTS TO BE DEDICATED FOR DEVELOPMENT OF LOTS 1 & 2

**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF COLLIN §

Whereas Prosper First Venture LLC and Prosper Second Venture, LLC are the owners of a tract of land situated in the William H. Thomason Survey, Abstract No. 895, Town of Prosper, Collin County, Texas, and being Lots 1-2, Block A, Mustang Texas Realty Addition, an Addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2024, Page 794, Plat Records of Collin County, Texas, and being all of that certain tract of land conveyed to Prosper First Venture LLC by Special Warranty Deed recorded in County Clerk's File No. 202400011681, Official Public Records, Collin County, Texas, and being all of that certain tract of land conveyed to Prosper Second Venture, LLC by Special Warranty Deed recorded in County Clerk's File No. 202400011171, Official Public Records, Collin County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with red plastic cap stamped "Peiser & Mankin SURV" found (hereinafter referred to as 1/2 inch iron rod found) for the southeast corner of said Lot 1, same being the southwest corner of Block B, Greenspoint-Phase 1, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2006, Page 345, Plat Records, Collin County, Texas, same being in the north right-of-way line of E. First Street (a variable width right-of-way);

THENCE South 89 deg. 40 min. 39 sec. West, along the common line of said Lot 1 and said E. First Street, passing a 1/2 inch iron rod found for the southwest corner of said Lot 1, same being the southeast corner of aforesaid Lot 2, and continuing along the common line of said Lot 2 and said First Street, a total distance of 415.55 feet to a 1/2 inch iron rod found for angle point;

THENCE North 86 deg. 30 min. 36 sec. West, continuing along the common line of said Lot 2 and said E. First Street, a distance of 129.66 feet to a 1/2 inch iron rod found for the southwest corner of said Lot 2, same being the most southerly southeast corner of Lot 3, aforesaid Block A, Mustang Texas Realty Addition;

THENCE along the common line of said Lots 2 and 3 as follows:

North 00 deg. 19 min. 21 sec. West, a distance of 271.29 feet to a 1/2 inch iron rod found for the northwest corner of said Lot 2;

North 89 deg. 40 min. 39 sec. East, a distance of 300.01 feet to a 1/2 inch iron rod found for the northeast corner of said Lot 2;

South 00 deg. 19 min. 21 sec. East, a distance of 14.65 feet to a 1/2 inch iron rod found for the northwest corner of aforesaid Lot 1;

THENCE North 89 deg. 40 min. 39 sec. East, along the common line of said Lot 1 and said Lot 3, a distance of 243.15 feet to a 1/2 inch iron rod found for the northeast corner of said Lot 1, same being the most easterly southeast corner of said Lot 3, same being in the west line of aforesaid Block B;

THENCE South 00 deg. 42 min. 15 sec. East, along the common line of said Lot 1 and said Block B, a distance of 265.27 feet to the POINT OF BEGINNING and containing 148,152 square feet or 3.401 acres of computed land, more or less.

**SURVEYOR'S CERTIFICATE**

KNOW ALL MEN BY THESE PRESENTS:

That I, Timothy R Mankin, do hereby certify that I have prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulation of the Town of Prosper, Texas

Dated this \_\_\_\_ day of \_\_\_\_\_, 2025

PRELIMINARY--NOT TO BE RECORDED FOR ANY REASON

Timothy R Mankin  
Registered Professional Land Surveyor  
Texas Registration No. 6122

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this personally appeared Timothy R Mankin, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Notary Public in and for the State of Texas

**OWNER'S CERTIFICATE**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT Prosper First Venture LLC and Prosper Second Venture LLC acting herein and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as **MUSTANG TEXAS REALTY ADDITION, BLOCK A, LOTS 1-2**, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. The Prosper First Venture LLC and Prosper Second Venture LLC does hereby certify the following:

- 1. The streets and alleys are dedicated for street and alley purposes.
- 2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- 3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
- 4. No buildings, fences, trees, shrubs, or other improvements or growth shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- 5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- 6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use of particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
- 7. The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growth which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- 8. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time procuring permission from anyone.
- 9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

Prosper First Venture LLC

By: \_\_\_\_\_, 2025.

Authorized Signature, Vidwan Katkuri, Managing Member

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this personally appeared Vidwan Katkuri, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2025.

Prosper Second Venture LLC

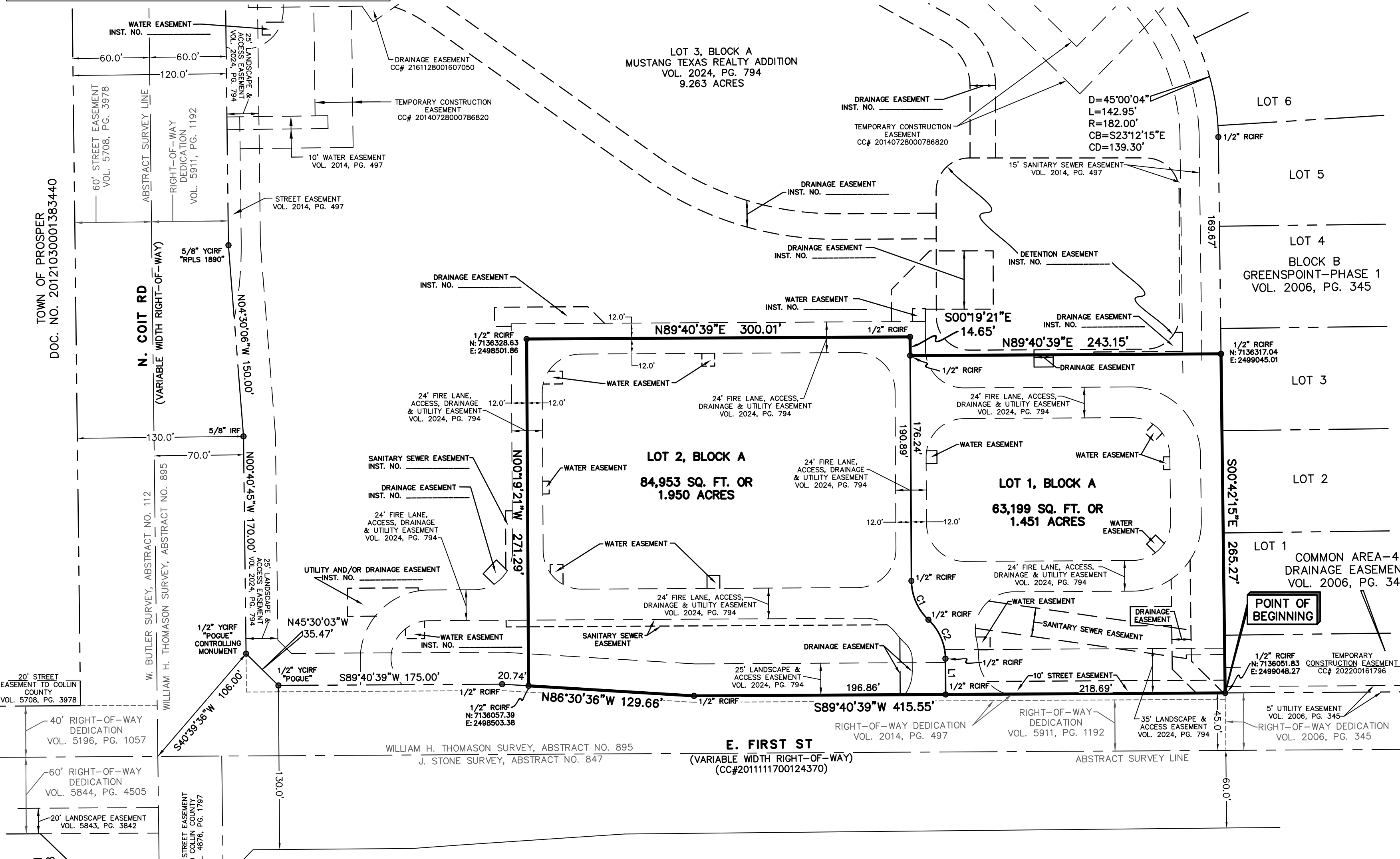
By: \_\_\_\_\_, 2025.

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this personally appeared Vidwan Katkuri, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas



**LANDSCAPE EASEMENT:**

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a Replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any 'homeowners' association hereafter established for the owners of lots in this subdivision and/or the owner of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

**ACCESS EASEMENT:**

The undersigned covenants and agrees that the access easement(s) may be utilized by any person of the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all time of the Town of Prosper, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon, and across said premises.

**FIRE LANE EASEMENT:**

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fenced trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lane, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

**STREET EASEMENT**

The area or areas shown on the plat as "Street Easement" are hereby given and granted to the Town of Prosper (Called "Town") its successors and assigns, as an easement to construct, reconstruct, operate, repair, re-build, replace, relocated, alter, remove and perpetually maintain street and highway facilities, together with all appurtenances and incidental improvements, in, upon and across certain real property owned by Grantor. Appurtenances and incidental improvements include, but are not limited to, curbs, gutters, inlets, aprons, traffic signs with or without attached flashing lights, guard rails, sidewalks, buried conduits, buried Town utilities, and underground franchise utilities. Street Easements shall remain accessible at all times and shall be maintained by the Owners of the lot or lots that are traversed by, or adjacent to the Street Easement. After doing any work in connection with the construction, operation or repair of the street and highway facilities, the Town shall restore the surface of the Street Easements as close to the condition in which it was found before such work was undertaken as is reasonably practicable, except for trees, shrubs and structures within the Street Easement that were removed as a result of such work.

SEE EASEMENT DETAIL FOR WATER, STREET, SANITARY SEWER EASEMENT & DRAINAGE EASEMENT ANNOTATIONS & TAGS

**LINETYPE TABLE**

---	BOUNDARY LINE
---	ADJOINER LINE
---	EASEMENT LINE
---	BUILDING LINE
---	STREET CENTERLINE

**BOUNDARY LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 00°19'21" E	28.04'

**BOUNDARY CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	42.00'	34.12'	33.19'	S 23°35'45" E	46°32'47"
C2	42.00'	34.12'	33.19'	S 23°35'45" E	46°32'47"

**CERTIFICATE OF APPROVAL**  
Approved this \_\_\_\_ day of \_\_\_\_\_, 2025 by the Planning & Zoning Commission of the Town of Prosper, Texas.

\_\_\_\_\_  
Town Secretary

\_\_\_\_\_  
Engineer Department

\_\_\_\_\_  
Development Services Department

ENGINEER:  
KIMLEY-HORN  
CONTACT: CAITLIN FLAHERTY  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER  
SUITE 700  
DALLAS, TX 75240  
972-770-1300

OWNER (LOT 1):  
PROSPER FIRST VENTURE LLC  
CONTACT: VIDWAN KATKURI,  
MANAGING DIRECTOR  
1415 ADRIANE AVE.  
ALLEN, TEXAS 75013  
VIDWAN@KAPINFRA.COM

OWNER (LOT 2):  
PROSPER SECOND VENTURE, LLC  
CONTACT: VIDWAN KATKURI,  
MANAGING DIRECTOR  
1415 ADRIANE AVE.  
ALLEN, TEXAS 75013  
VIDWAN@KAPINFRA.COM

**FINAL PLAT  
MUSTANG TEXAS REALTY ADDITION  
BLOCK A, LOTS 1-2**

BEING A FINAL PLAT OF LOTS 1-2, BLOCK A, MUSTANG TEXAS REALTY ADDITION, ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN VOL. 2024, PG. 794 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS AND BEING SITUATED IN THE WILLIAM H. THOMASON SURVEY, ABSTRACT NO. 895, TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
3.401 ACRES  
MARCH 2025

Town of Prosper Project No.: DEVAPP-24-0153

PEISER & MANKIN SURVEYING, LLC  
www.peisersurveying.com

1612 HART STREET, SUITE 201, SOUTH LAKE, TEXAS 76092  
817-481-1806 (O)

COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE

Texas Society of Professional Surveyors

Member Since 1977

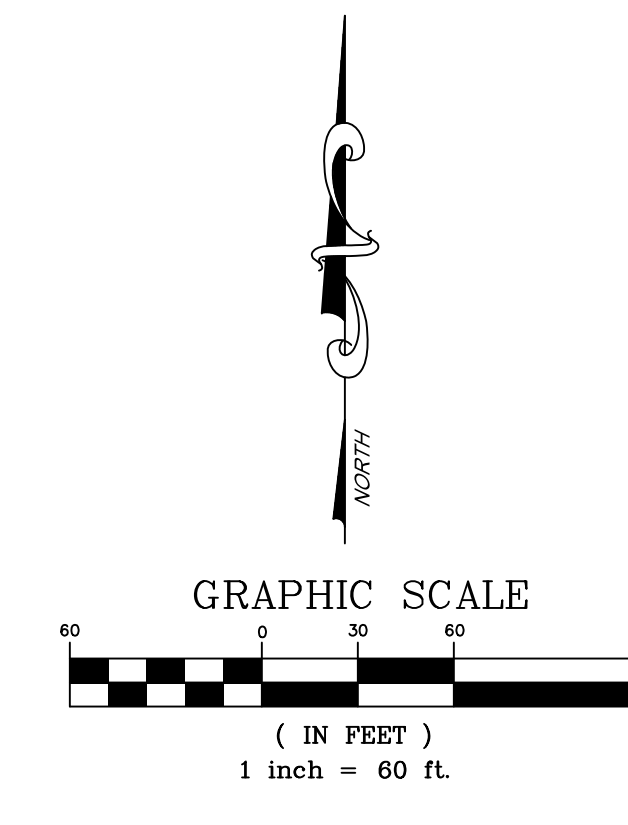
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REV: 6/6/2025  
REV: 6/12/2025  
REV: 6/20/2025  
REV: 7/9/2025  
REV: 9/10/2025  
REV: 9/25/2025  
REV: 11/7/2023

SCALE: 1" = 60'

FIELD: A.R.M.  
DRAWN: J.S.W.  
CHECKED: T.R.M.

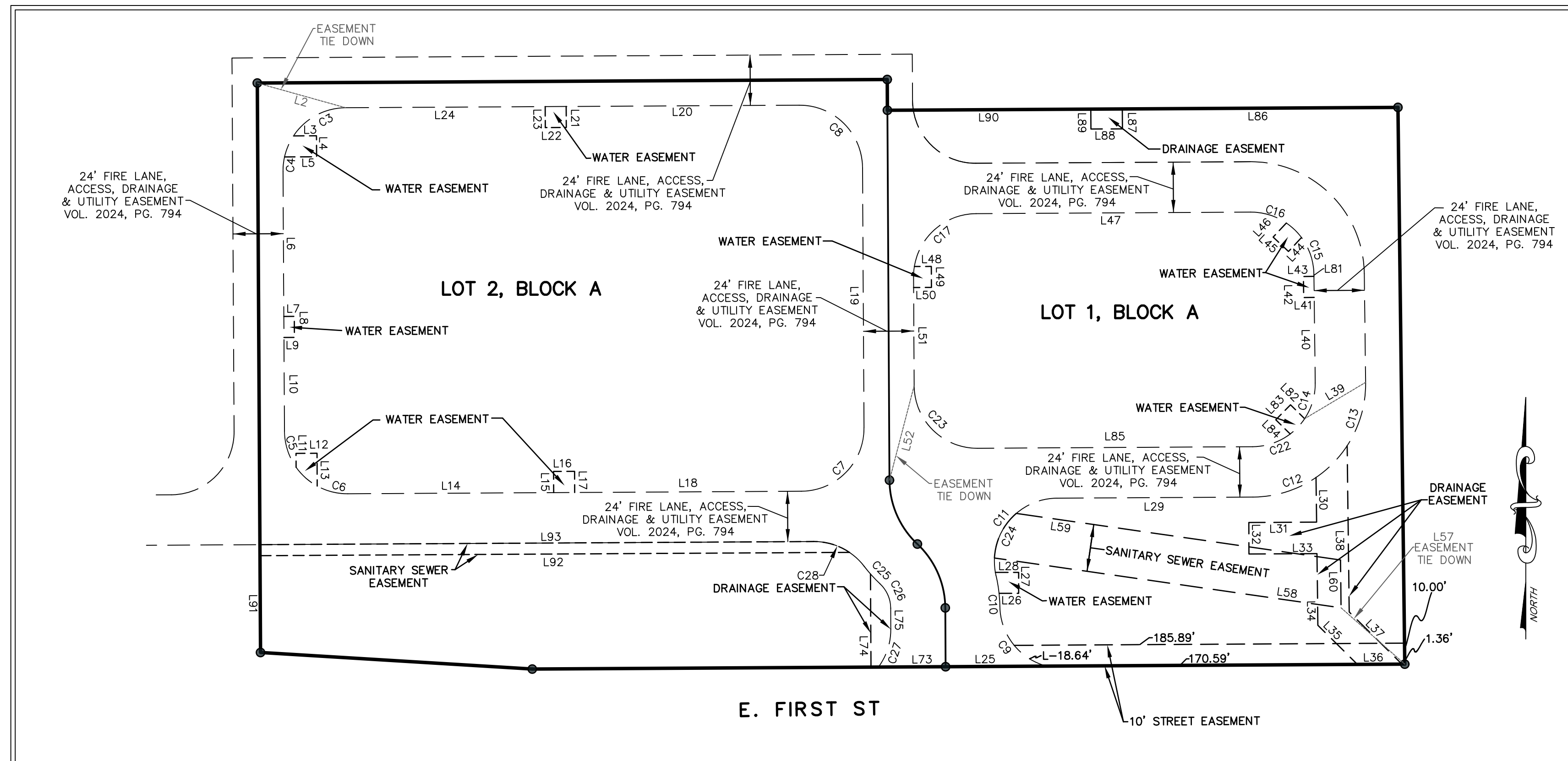
FIRM No. 100999-00

SHEET 1 OF 2





EASEMENT DETAIL FOR WATER, STREET, SANITARY SEWER & DRAINAGE EASEMENTS (NOT TO SCALE)



LINE TABLE EASEMENT DETAIL			LINE TABLE EASEMENT DETAIL		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L2	S 74°22'38" E	43.88'	L39	S 59°11'23" W	33.82'
L3	N 89°40'39" E	10.94'	L40	N 00°42'15" W	40.77'
L4	S 00°19'21" E	10.00'	L41	S 89°17'45" W	5.00'
L5	S 89°40'39" W	15.27'	L42	N 00°42'15" W	10.00'
L6	S 00°19'21" E	69.27'	L43	N 89°17'45" E	5.00'
L7	N 89°40'39" E	5.00'	L44	S 43°04'46" W	9.06'
L8	S 00°19'21" E	10.00'	L45	N 46°55'14" W	10.00'
L9	S 89°40'39" W	5.00'	L46	N 43°04'46" E	9.19'
L10	S 00°19'21" E	44.65'	L47	S 89°40'39" W	130.68'
L11	N 00°19'21" W	6.61'	L48	N 89°40'39" E	8.08'
L12	N 89°40'39" E	10.00'	L49	S 00°19'21" E	10.00'
L13	S 00°19'21" E	15.61'	L50	S 89°40'39" W	8.50'
L14	N 89°40'39" E	98.05'	L51	S 00°19'21" E	46.75'
L15	N 00°19'21" W	10.10'	L52	S 14°36'56" W	46.55'
L16	N 89°40'39" E	10.00'	L53	S 44°44'39" W	43.16'
L17	S 00°19'21" E	10.10'	L54	N 81°49'36" W	166.31'
L18	N 89°40'39" E	107.96'	L55	S 81°49'36" E	159.38'
L19	N 00°19'21" W	123.91'	L56	S 00°42'15" E	15.18'
L20	S 89°40'39" W	110.97'	L57	S 89°40'39" W	35.54'
L21	S 00°19'21" E	10.00'	L58	N 00°19'21" W	44.33'
L22	S 89°40'39" W	10.00'	L59	S 00°19'21" E	10.01'
L23	N 00°19'21" W	10.00'	L60	N 00°42'15" W	1.00'
L24	S 89°40'39" W	95.04'	L61	N 45°30'48" W	9.44'
L25	N 89°40'39" E	48.10'	L62	S 44°29'12" W	10.00'
L26	N 89°59'05" E	9.32'	L63	S 45°30'48" E	9.64'
L27	N 00°19'21" W	10.00'	L64	S 89°40'39" W	131.03'
L28	S 89°59'00" W	11.08'	L65	S 89°40'39" W	131.27'
L29	N 89°40'39" E	93.29'	L66	S 00°19'21" E	9.50'
L30	S 00°42'15" E	21.30'	L67	S 89°40'39" W	15.00'
L31	S 89°40'39" W	32.29'	L68	N 00°19'21" W	9.50'
L32	S 00°19'21" E	15.00'	L69	S 89°40'39" W	96.88'
L33	N 89°40'39" E	32.39'	L70	N 00°19'21" W	46.13'
L34	S 00°42'15" E	34.13'	L71	N 89°40'39" E	280.73'
L35	S 45°16'39" E	26.52'	L72	S 89°40'39" W	263.77'
L36	N 89°40'39" E	21.20'			
L37	N 45°16'39" W	35.35'			
L38	N 00°42'15" W	79.19'			

CURVE TABLE EASEMENT DETAIL					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C3	30.00'	29.38'	28.22'	S 61°37'15" W	56°06'47"
C4	30.00'	6.78'	6.77'	S 06°09'22" W	12°57'26"
C5	30.00'	18.36'	18.08'	S 17°51'21" E	35°04'00"
C6	30.00'	15.20'	15.03'	S 75°48'41" E	29°01'20"
C7	30.00'	47.12'	42.43'	N 44°40'39" E	90°00'00"
C8	30.00'	47.12'	42.43'	N 45°19'21" W	90°00'00"
C9	30.00'	38.86'	36.20'	S 37°57'35" E	74°13'17"
C10	68.00'	6.15'	6.15'	N 03°26'30" W	5°11'07"
C11	30.00'	52.33'	45.94'	S 39°42'23" W	99°56'32"
C12	54.00'	31.97'	31.50'	N 72°43'00" E	33°55'17"
C13	54.00'	31.93'	31.46'	N 16°14'03" E	33°52'59"
C14	30.00'	18.03'	17.76'	N 16°30'50" E	34°26'12"
C15	30.00'	18.79'	18.48'	N 18°38'42" W	35°52'53"
C16	30.00'	18.09'	17.82'	N 73°02'56" W	34°32'50"
C17	30.00'	42.12'	38.74'	S 49°27'29" W	80°28'19"
C22	30.00'	19.24'	18.92'	N 71°18'03" E	36°45'11"
C23	30.00'	47.12'	42.43'	S 45°19'21" E	90°00'00"
C24	30.00'	15.85'	15.69'	N 25°11'30" E	28°41'50"
C25	101.05'	6.52'	6.52'	S 44°32'14" E	3°41'44"
C26	16.32'	12.98'	12.64'	S 23°35'45" E	45°34'44"
C27	30.00'	19.34'	19.01'	S 18°08'57" W	36°56'36"
C28	30.00'	18.02'	17.75'	N 73°07'01" W	34°24'41"

FINAL PLAT  
**MUSTANG TEXAS REALTY ADDITION**  
**BLOCK A, LOTS 1-2**  
 BEING A FINAL PLAT OF LOTS 1-2, BLOCK A, MUSTANG TEXAS REALTY ADDITION,  
 ADDITION TO THE TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
 ACCORDING TO THE PLAT THEREOF RECORDED IN VOL. 2024, PG. 794  
 OF THE OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS  
 AND BEING SITUATED IN THE WILLIAM H. THOMASON SURVEY, ABSTRACT NO. 895,  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS  
 3.401 ACRES  
 MARCH 2025

ENGINEER: KIMLEY-HORN  
 CONTACT: CAITLIN FLAHERTY  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER  
 SUITE 700  
 DALLAS, TX 75240  
 972-770-1300

OWNER (LOT 1): PROSPER FIRST VENTURE LLC  
 CONTACT: VIDWAN KATKURI,  
 MANAGING DIRECTOR  
 1415 ADRIANE AVE.  
 ALLEN, TEXAS 75013  
 VIDWAN@KAPINFRA.COM

OWNER (LOT 2): PROSPER SECOND VENTURE, LLC  
 CONTACT: VIDWAN KATKURI,  
 MANAGING DIRECTOR  
 1415 ADRIANE AVE.  
 ALLEN, TEXAS 75013  
 VIDWAN@KAPINFRA.COM

JOB NO.: 17-0112  
 DATE: 10/9/2024  
 REV: 3/27/2025  
 REV: 4/23/2025  
 REV: 6/6/2025  
 REV: 6/12/2025  
 REV: 6/20/2025  
 REV: 7/9/2025  
 REV: 9/10/2025  
 REV: 9/25/2025  
 FIELD DATE: 11/7/2023  
 SCALE: N.T.S.  
 FIELD: A.R.M.  
 DRAWN: J.B.W.  
 CHECKED: T.R.M.

Town of Prosper Project No.: DEVAPP-24-0153

**PEISER & MANKIN SURVEYING, LLC**  
 www.peisersurveying.com

1612 HART STREET,  
 SUITE 201  
 SOUTHLAKE, TEXAS 76092  
 817-481-1806 (O)

COMMERCIAL  
 RESIDENTIAL  
 BOUNDARIES  
 TOPOGRAPHY  
 MORTGAGE

Texas Society of Professional Surveyors

FIRM No. 100999-00  
 Member Since 1977

SHEET 2 OF 2



## PLANNING

**To:** Planning & Zoning Commission **Item No. 4e**  
**From:** Jerron Hicks, Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Preliminary Site Plan for Westfork Crossing, Block A, Lots 9-10 & 11X  
**Meeting:** October 21, 2025

---

**Agenda Item:**

Consider and act upon a request for a Preliminary Site Plan for Restaurant/Retail and Retail Buildings on Westfork Crossing, Block A, Lots 9-10 & 11X, on 82.6± acres, located on the north side of University Drive and 510± feet east of Gee Road. (DEVAPP-24-0174)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as the US Highway 380 District.

**Zoning:**

The property is zoned Commercial and Single Family-10 (C, SF-10). Lots 9 and 10 are both zoned Commercial. The northern portion of Lot 11X is zoned Single Family-10 and the southern portion is zoned Commercial.

**Conformance:**

The Preliminary Site Plan conforms to the development standards of the Commercial District.

**Description of Agenda Item:**

The Preliminary Site Plan consists of three lots (Lots 9-10 & 11X). Lots 9 and 10 contain two restaurant/retail and retail buildings totaling 157,300 square feet. Lot 11X contains open space and floodplain.

A Preliminary Site Plan for Westfork Crossing (D22-0039) was approved on June 8, 2022; however, it has expired. This Preliminary Site Plan serves to replace the expired plan with minor revisions.

**Access:**

Access is provided from University Drive and Gee Road through cross access provided by Lots 7 and 8.

**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements. A visibility corridor will be provided from Gee Road and University Drive. Additionally, hike and bike trails will be provided throughout Lot 11X that connect to Lot 9, Lot 10, and the subdivision to the north, Windsong Ranch.

**Companion Item:**

There is no companion item on this Planning & Zoning Commission agenda.

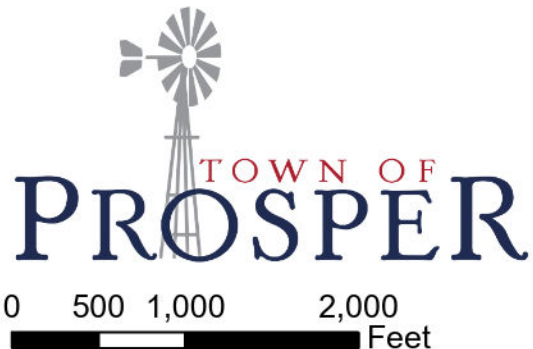
**Attachments:**

1. Location Map
2. Preliminary Site Plan
3. Open Space Plan
4. Expired Preliminary Site Plan (D22-0039)

**Town Staff Recommendation:**

Town Staff recommends approval of the Preliminary Site Plan.





This map for illustration purposes only

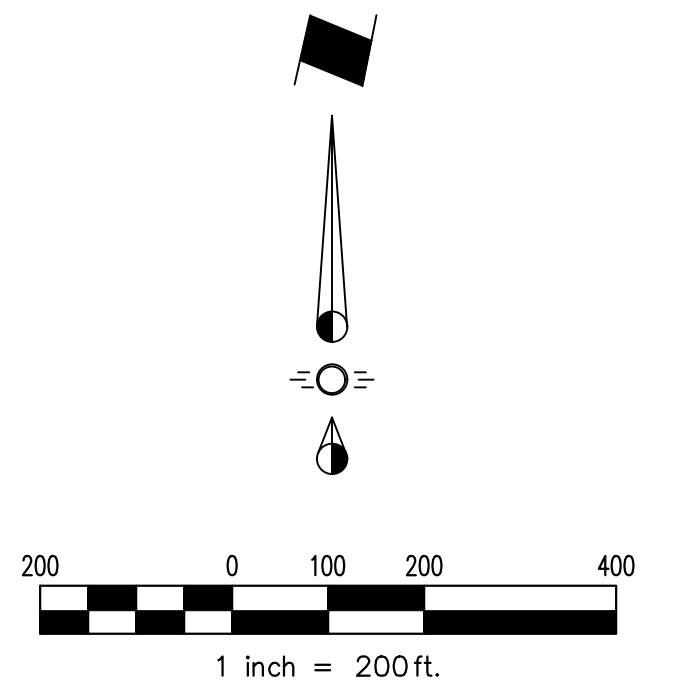
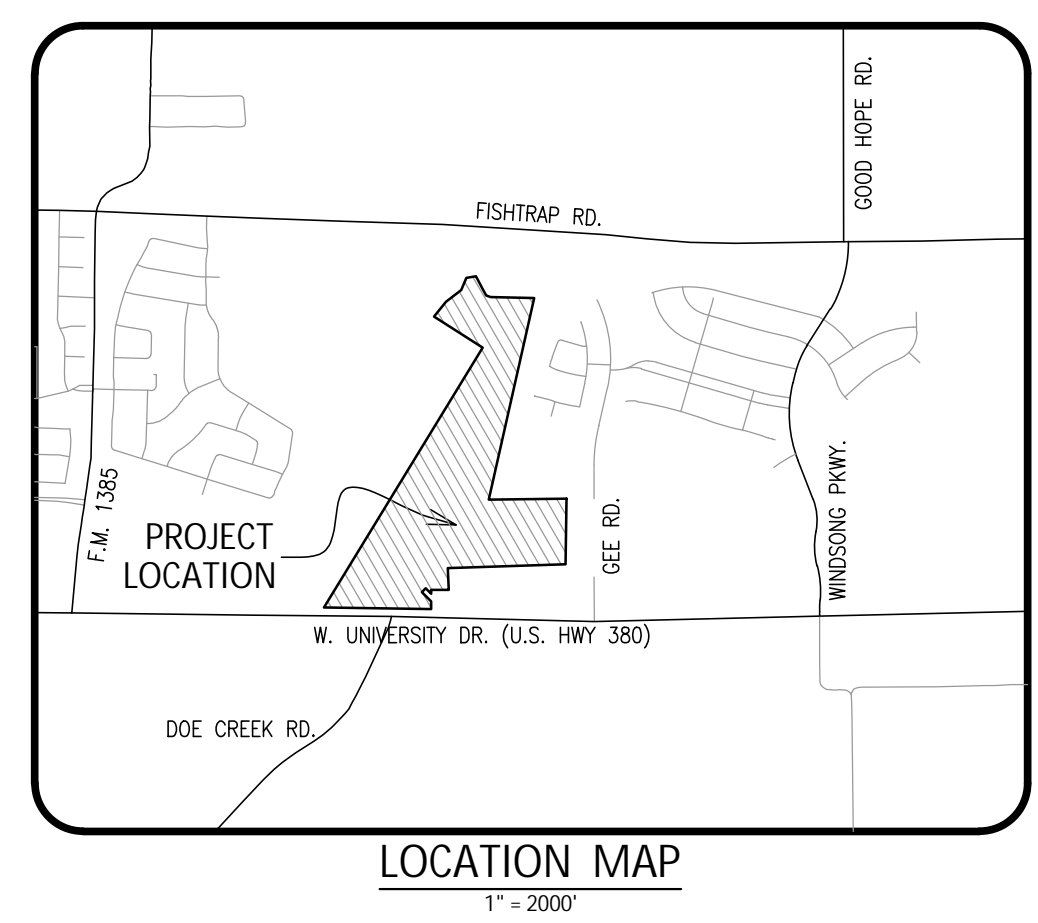
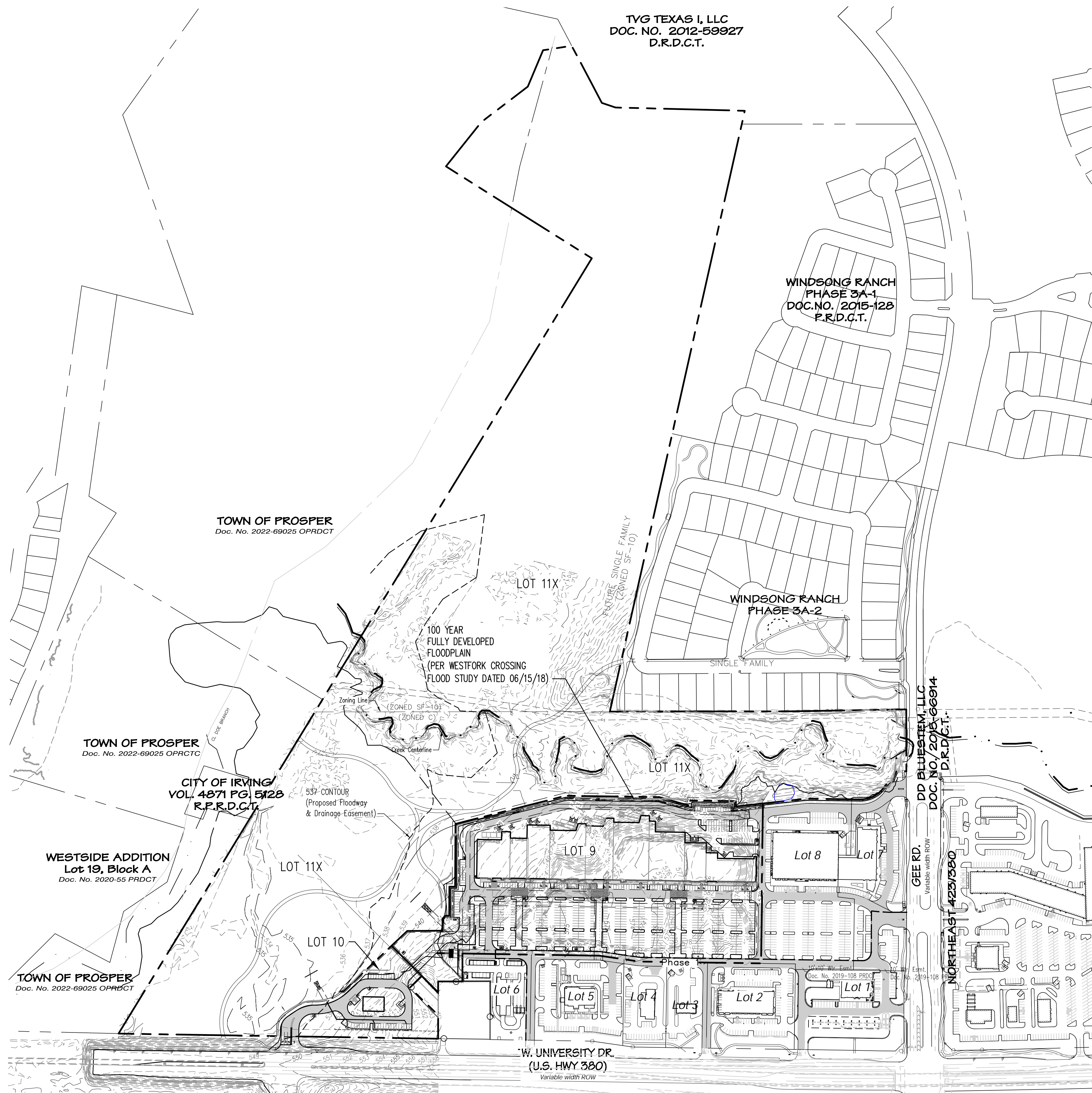
# DEVAPP-24-0174

Westfork Crossing  
Block A, Lots 9-10 & 11X

Preliminary Site Plan



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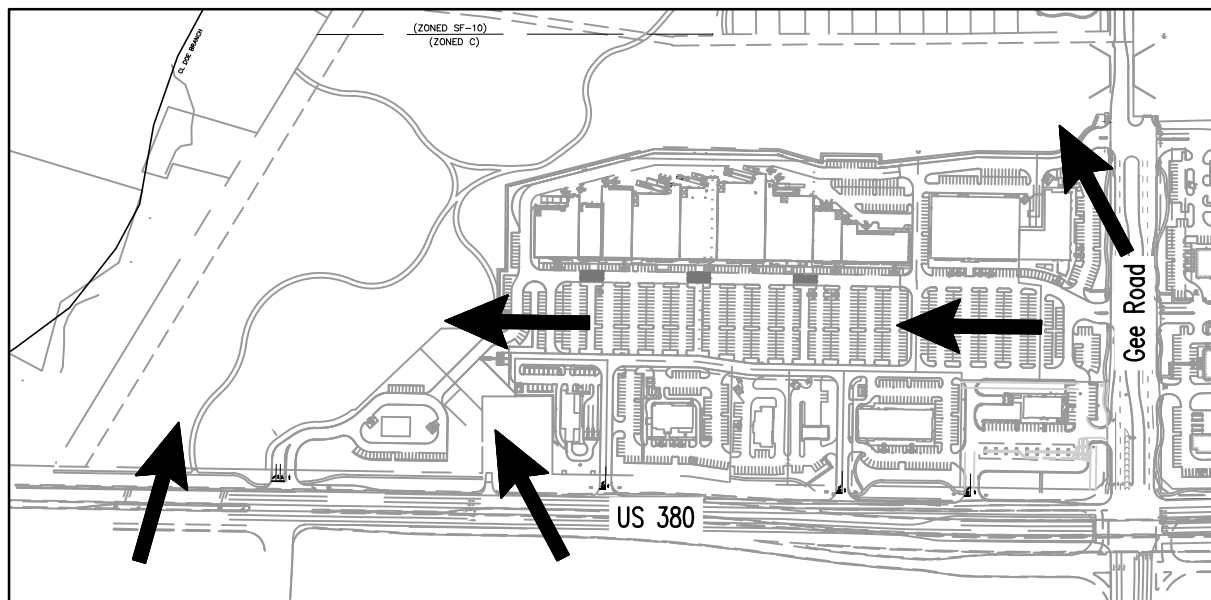


**Town of Prosper Site Plan Notes:**

1. All development standards shall follow Town Standards.
2. Landscaping shall conform to landscape plans approved by the Town of Prosper.
3. All development standards shall follow Fire Requirements per the Town of Prosper.
4. Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted Building Code.
5. All signage is subject to Building Official approval.
6. Impact fees will be assessed in accordance with the land use classification(s) identified on the Site Data Summary Table; however, changes to the proposed land use at the time of CO and/or finish-out permit may result in additional impact fees and/or parking requirements.
7. The approval of a Preliminary Site Plan shall be effective for a period of two (2) years from the date that the Preliminary Site Plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received the approval of a Site Plan by the Planning & Zoning Commission. If a site plan is not approved within such two (2) year period, the Preliminary Site Plan approval is null and void. If Site Plan approval is only for a portion of the property, the approval of the Preliminary Site Plan for the remaining property shall be null and void.
8. Open Space requirements shall follow the Zoning Ordinance, per tract. Open Space shall not include vehicular paving, required parking lot landscape islands, building footprint, utility yards, required landscape setbacks, sidewalks\*, and detention pond
9. All Retaining walls along creek to be stone.
10. All landscape easements must be exclusive of any other type of easement.
11. Impact fees will be assessed in accordance with the land use classification(s) identified on the site data summary table; however, changes to the proposed land use at the time of CO and/or finish out permit may result in additional impact fees and/or parking requirements.
12. Public Hike and Bike Trail is conceptual. Final alignment to be determined at the time of final site plan to be approved by the Town.
13. All environmental studies required to reclaim floodplain shall be submitted at time of final plat to develop each lot.
14. The owner(s) of Lots 7, 8, 9, and 10 shall continue to have rights to access Lot 11X after deeding to the Town for the purpose of floodplain reclamation, grading, retaining wall maintenance, utility installation, and any additional activities required for the development and maintenance of the improvements shown on Lots 7, 8, 9, and 10.
15. Nothing shall prohibit the owner from attempting to reclaim a lot from the floodplain (and adjacent areas) in Lot 11X, subject to appropriate federal approvals to the extent required by law.
16. Per the Development Agreement, 10 parking spaces are dedicated for the proposed hike and bike trail.
17. All retail/commercial buildings with facades greater than 200 feet in length shall incorporate wall plane projections or recesses that are at least six feet deep. Projections/recesses must be at least 25% of the length of the facade. No uninterrupted length may exceed 100 feet in length.
18. At the Site Plan level, ensure all proposed commercial restaurant/food facilities install their own individual minimum 1,000 gallon grease trap. Grease trap must be exterior, in ground and must include a sample well. Grease trap cannot be installed in a parking stall or firelane. Grease trap size and location must be shown on Site Plan per Health Department.

**Proposed Creek Amenities:**

1. Hike & bike trail
2. Visibility corridor from Gee Road and US380  
- see Inset A for Visibility Corridors
3. Trail head park



CASE No. - DEVAPP - 24 - 0174  
 Sheet 1 of 3  
**REVISED PRELIMINARY SITE PLAN**  
**WESTFORK CROSSING**  
 BLOCK A, LOTS 9, 10, 11X  
 82.596 Acres  
 SITUATED IN THE  
 M.E.P. RAILROAD SURVEY, ABSTRACT NO. 1476  
 P. BARNES SURVEY, ABSTRACT NO. 79  
 A. JAMISON SURVEY, ABSTRACT NO. 672  
 TOWN OF PROSPER, DENTON COUNTY, TEXAS

SITE DATA SUMMARY TABLE																		
LOT	ZONING	PROPOSED USE	LOT AREA		BUILDING AREA (SF)	BUILDING HEIGHT	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	REQUIRED HANDICAP PARKING	PROVIDED HANDICAP PARKING	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)	OPEN SPACE REQUIRED (SF)	OPEN SPACE PROVIDED (SF)
			SF	AC														
9	C	RETAIL + RESTAURANT	617,515	14.18	153,600 SF (144,850 RETAIL, 8,750 RESTAURANT)	1 Story - Max. 38'-10"	24.9%	0.2580:1	1/250(RETAIL) 1/100(RESTAURANT)	144,850/250 + 8,750/100 = 667	667	14	16	10,005	19,725	488,100	43,226	44,357
10	C	RETAIL	101,010	2.32	3,700	1 Story - Max. 40'	3.7%	0.0366:1	1/250	15	37	4	4	555	1,165	44,600	7,071	15,496
11X	C	OPEN SPACE	2,895,045	66.46	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	202,653	207,918

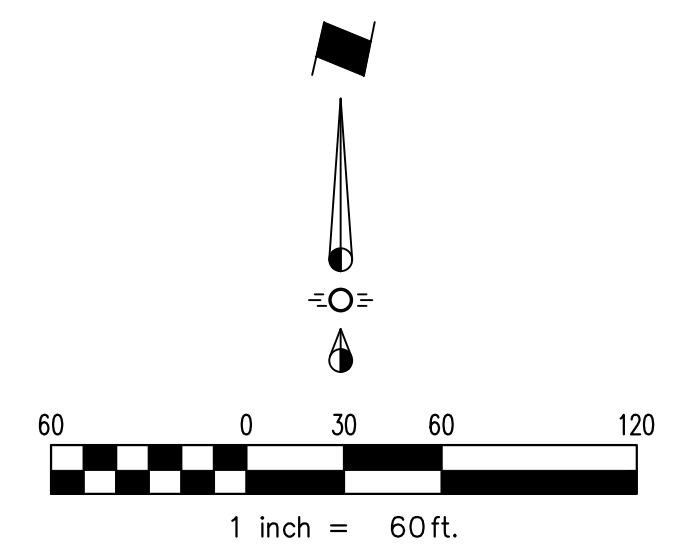
OWNER / APPLICANT  
 Northwest 423/380 LP  
 7001 Preston Road, Suite 410  
 Dallas, Texas 75205  
 Telephone (214) 224-4600  
 Contact: Robert Dorazil

ENGINEER / SURVEYOR  
 Spiers Engineering, Inc.  
 TBPE No. F-2121  
 765 Custer Road, Suite 100  
 Plano, TX 75075  
 Telephone: (972) 422-0077  
 Contact: Kevin Wier



WINDSONG RANCH PHASE 3A-2

Zoning: SF (PD-53)  
Use: Single Family



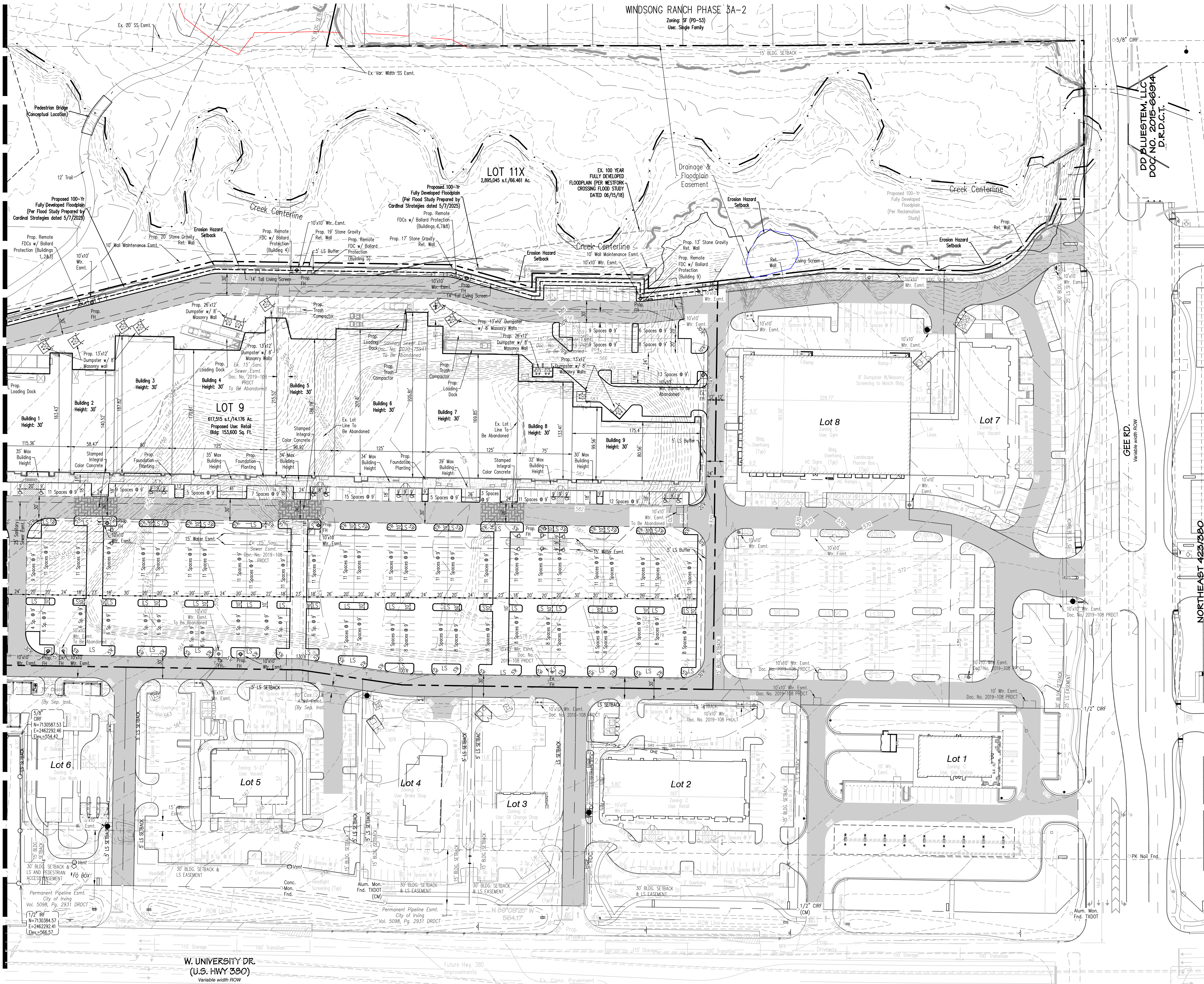
- Proposed Creek Amenities:**
1. Hike & bike trail
  2. Visibility corridor from Gee Road
  3. Trail head park

DD BLUESTEM, LLC  
DOC NO. 2015-66914  
D.R.D.C.T.

MATCHLINE SHEET 3

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**LEGEND**

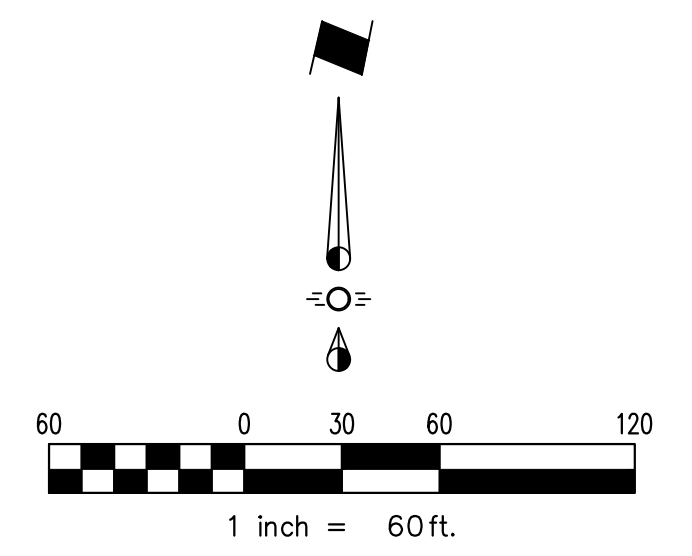
	FIRELANE ACCESS, DRAINAGE & UTILITY EASEMENT
	PROPOSED FIRE HYDRANT
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE

CASE No. - DEVAPP - 24 - 0174  
Sheet 2 of 3  
**REVISED PRELIMINARY SITE PLAN**  
**WESTFORK CROSSING**  
BLOCK A, LOTS 9, 10, 11X  
82.596 Acres  
SITUATED IN THE  
M.E.P. RAILROAD SURVEY, ABSTRACT NO. 1476  
P. BARNES SURVEY, ABSTRACT NO. 79  
A. JAMISON SURVEY, ABSTRACT NO. 672  
TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER / APPLICANT Northwest 423/380 LP 7001 Preston Road, Suite 410 Dallas, Texas 75205 Telephone (214) 224-4600 Contact: Robert Dorazil	ENGINEER / SURVEYOR Spiars Engineering, Inc. TBPE No. F-2121 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 Contact: Kevin Wier
---	---

W. UNIVERSITY DR.  
(U.S. HWY 380)  
Variable width ROW





- Proposed Creek Amenities:**
1. Hike & bike trail
  2. Visibility corridor from Gee Road
  3. Trail head park

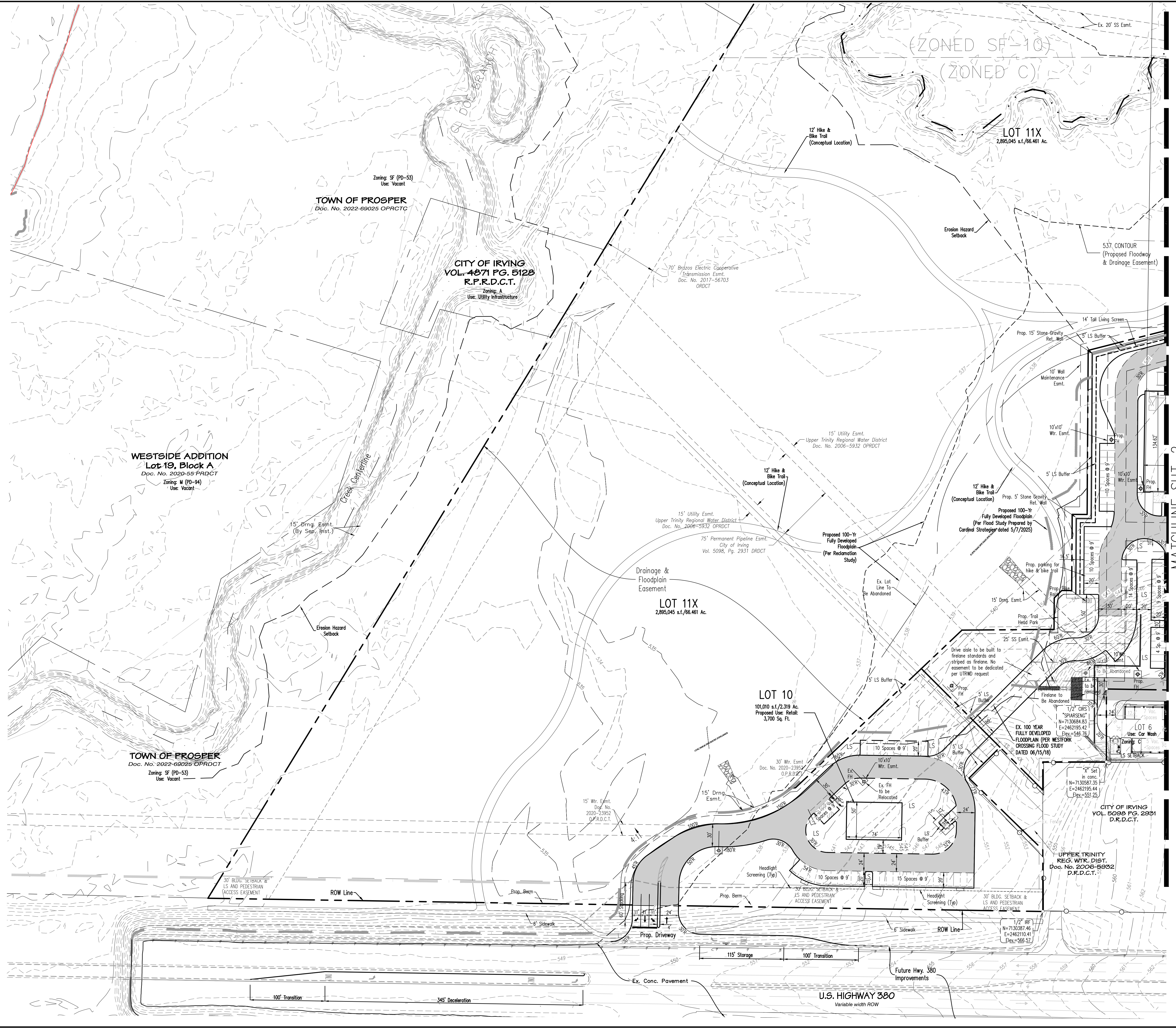
MATCHLINE SHT. 2

- LEGEND**
- FIRELANE ACCESS, DRAINAGE & UTILITY EASEMENT
  - FUTURE HIGHWAY 380 IMPROVEMENTS
  - PROPOSED FIRE HYDRANT
  - PROPOSED PROPERTY LINE
  - EXISTING PROPERTY LINE

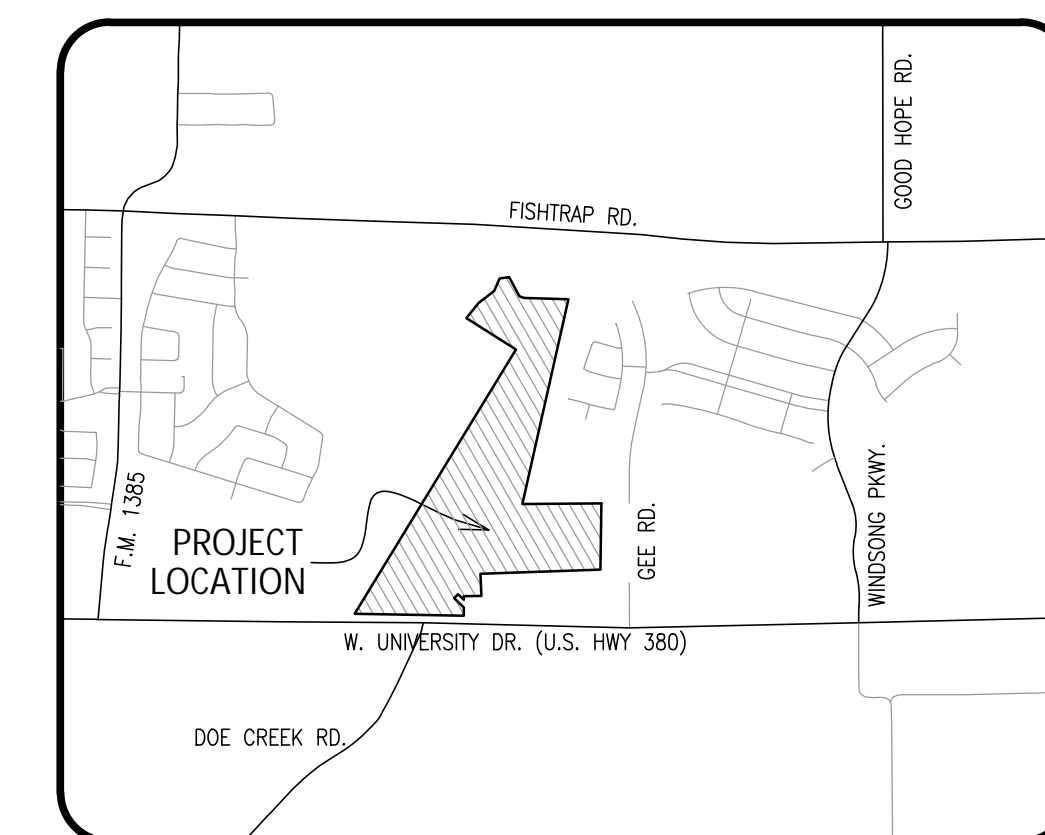
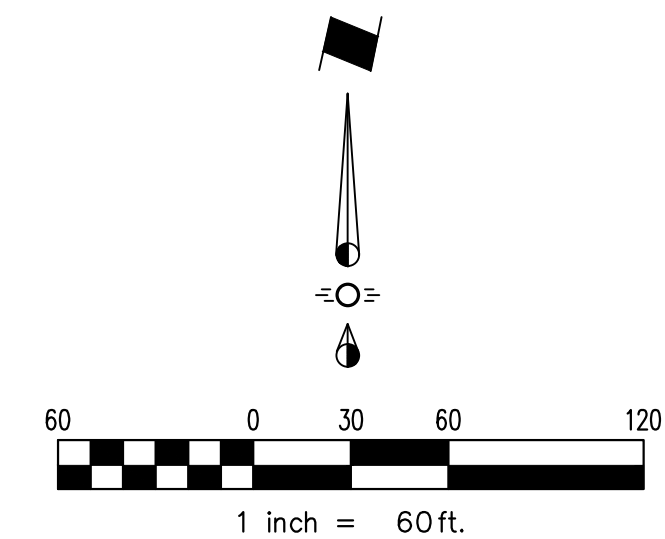
CASE No. - DEVAPP - 24 - 0174  
 Sheet 3 of 3  
**REVISED PRELIMINARY SITE PLAN**  
**WESTFORK CROSSING**  
 BLOCK A, LOTS 9, 10, 11X  
 82.596 Acres  
 SITUATED IN THE  
 M.E.P. RAILROAD SURVEY, ABSTRACT NO. 1476  
 P. BARNES SURVEY, ABSTRACT NO. 79  
 A. JAMISON SURVEY, ABSTRACT NO. 672  
 TOWN OF PROSPER, DENTON COUNTY, TEXAS

<p><b>OWNER / APPLICANT</b>          Northwest 423/380 LP          7001 Preston Road, Suite 410          Dallas, Texas 75205          Telephone (214) 224-4600          Contact: Robert Dorazil</p>	<p><b>ENGINEER / SURVEYOR</b>          Spiars Engineering, Inc.          TBPE No. F-2121          765 Custer Road, Suite 100          Plano, TX 75075          Telephone: (972) 422-0077          Contact: Kevin Wier</p>
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Drawing: © 2025, 2025-03-18 MNC Miss. Geology CAD/Preliminary Site Plan/Drawings Saved By: Wally Save Time 8/15/2025 2:30:51 PM  
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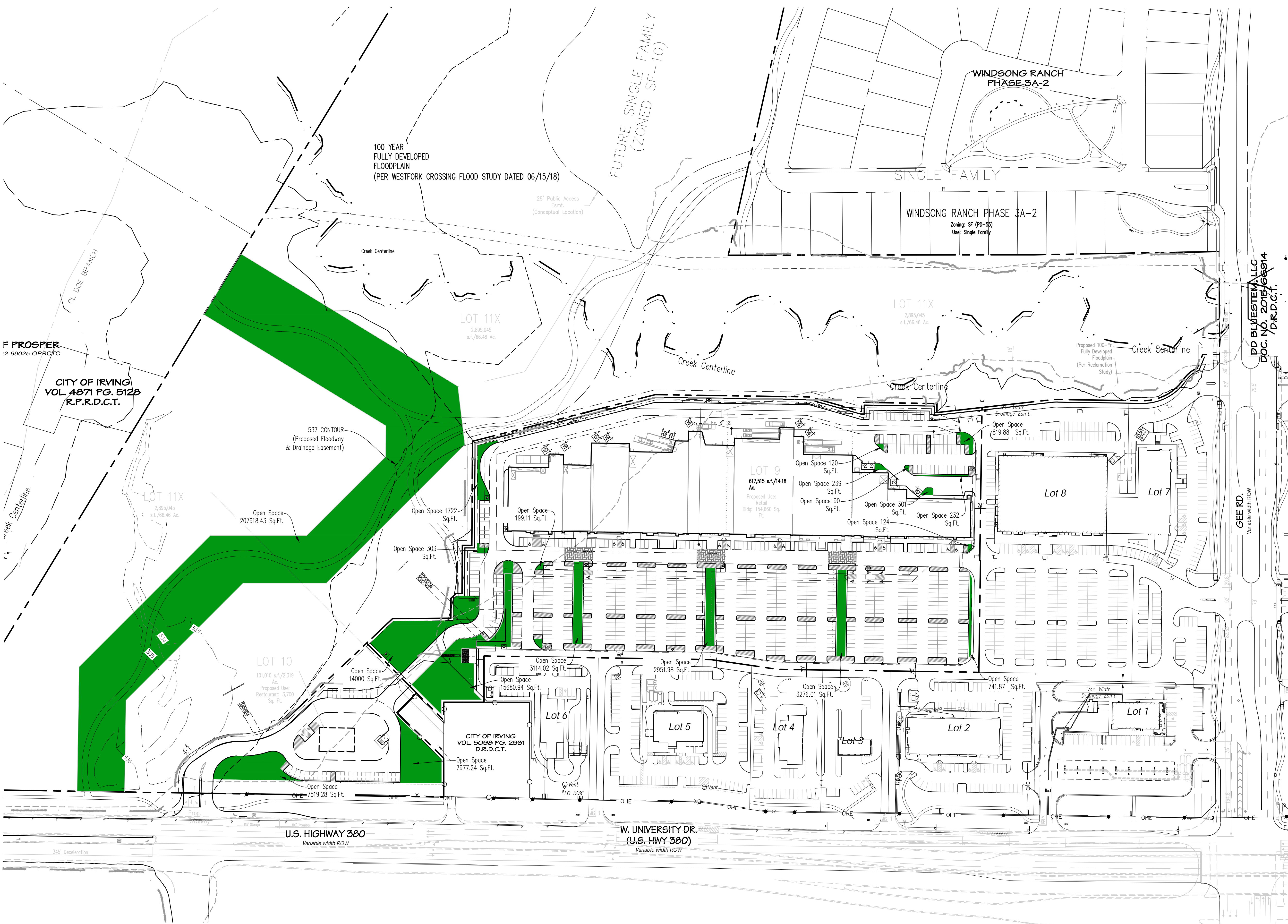






LOCATION MAP  
1" = 2000'

- LEGEND**
- INTERIOR LANDSCAPE AREA PROVIDED
  - OPEN SPACE PROVIDED



SITE DATA	Lot 9	Lot 11x	Lot 10
Lot Area	14.18 Ac. (617,515 SQ FT)	66.46 Ac. (2,895,045 SQ FT)	2.32 Ac. (101,010 SQ FT)
Required Open Space (7%)	43,226 SQ FT	202,653 SQ FT	7071 SQ FT
Provided Open Space	44,357 SQ FT	207,918 SQ FT	15,496 SQ FT
Required Interior Landscape Area	10,005 SQ FT	NA	555 SQ FT
Provided Interior Landscape Area	18,304 SQ FT	NA	1,166 SQ FT

CASE No. - DEVAPP - 24 - 0174  
 Sheet 1 of 1  
**OPEN SPACE PLAN**  
**WESTFORK CROSSING**  
 BLOCK A, LOTS 9, 10 & 11X  
 82.596 Acres  
 SITUATED IN THE  
 M.E.P. RAILROAD SURVEY, ABSTRACT NO. 1476  
 P. BARNES SURVEY, ABSTRACT NO. 79  
 A. JAMISON SURVEY, ABSTRACT NO. 672  
 TOWN OF PROSPER, DENTON COUNTY, TEXAS

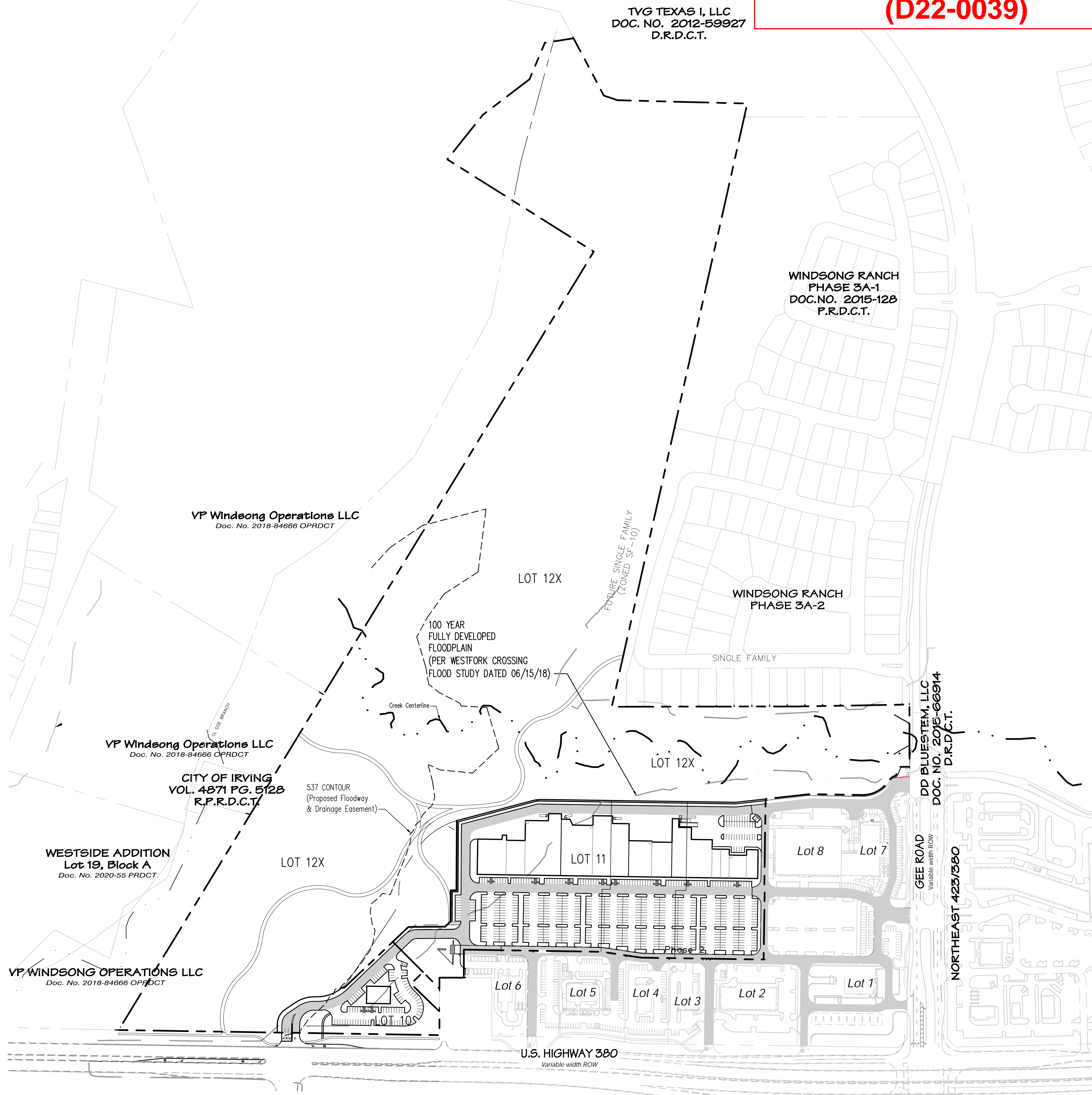
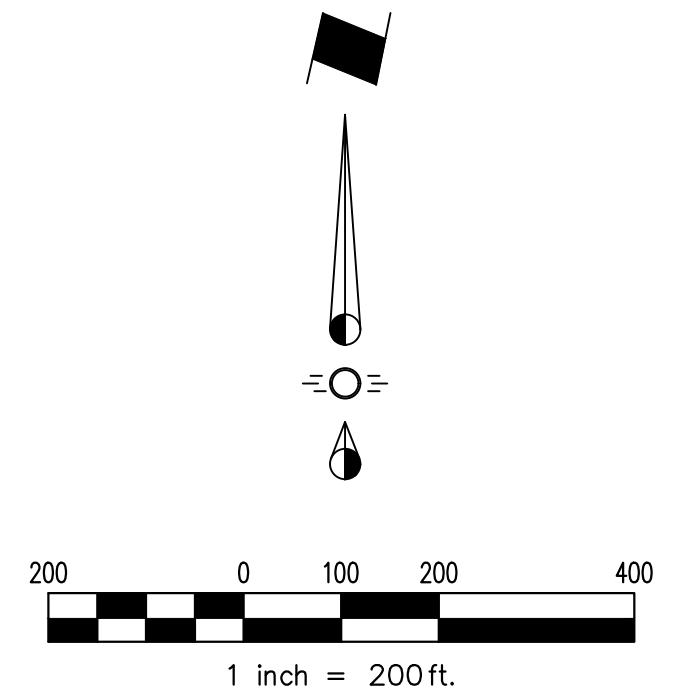
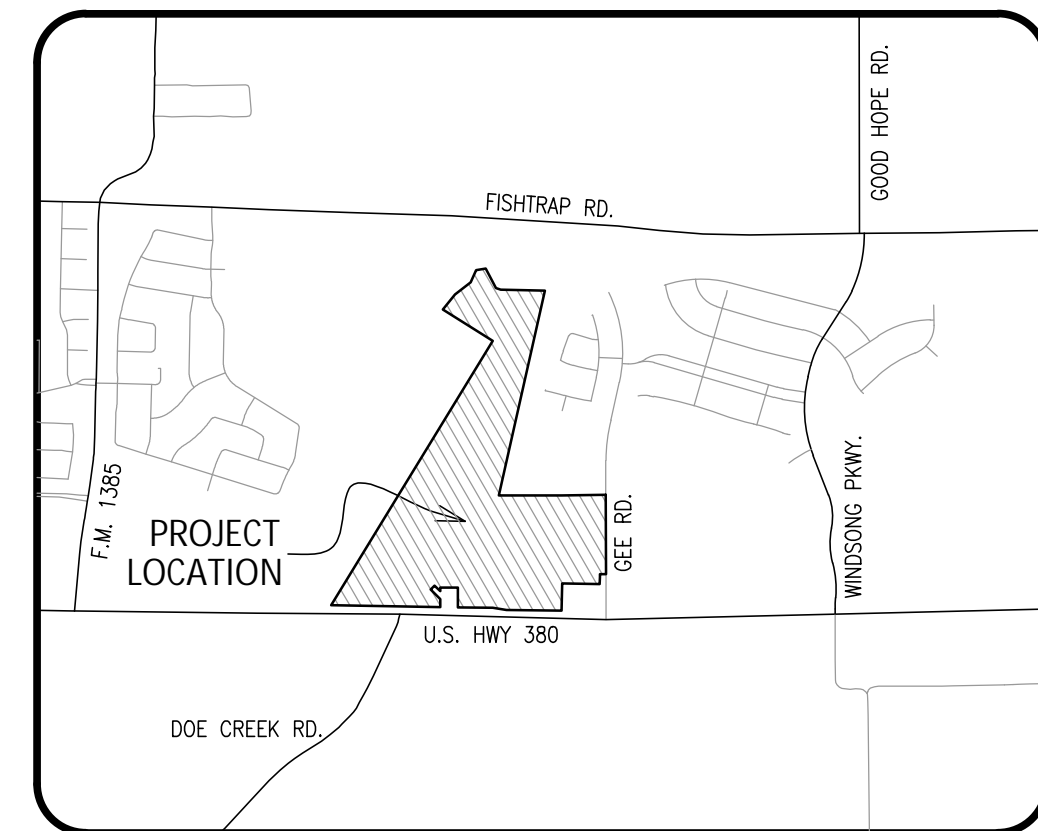
OWNER / APPLICANT  
 Northwest 423/380 LP  
 7001 Preston Road, Suite 410  
 Dallas, Texas 75205  
 Telephone (214) 224-4600  
 Contact: Robert Dorazil

ENGINEER / SURVEYOR  
 Spiars Engineering, Inc.  
 TBPE No. F-2121  
 765 Custer Road, Suite 100  
 Plano, TX 75075  
 Telephone: (972) 422-0077  
 Contact: Kevin Wier

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# Expired Preliminary Site Plan (D22-0039)



**Town of Prosper Site Plan Notes:**

1. Dumpsters and trash compactors shall be screened in accordance of the Zoning Ordinance.
2. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
3. Outdoor lighting shall comply with the lighting and glare standards contained within the Zoning Ordinance and Subdivision Regulation Ordinance.
4. Landscaping shall conform to landscape plans approved by the town.
5. All elevations shall comply with the standards contained within the Zoning Ordinance.
6. Buildings of 5,000 square feet or greater shall be 100% fire sprinkled. Alternative fire protection measures may be approved by the Fire Department.
7. Fire lanes shall be designed and constructed per town standards or as directed by the Fire Department.
8. Two points of access shall be maintained for the property at all times.
9. Speedbumps/humps are not permitted within a fire lane.
10. Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA) and with the requirements of the current, adopted uniform Building Code.
11. All signage is subject to Building Official approval.
12. All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
13. All exterior building materials are subject to Building Official approval and shall conform to the approved facade plan.
14. Sidewalks of not less than six (6') feet in width along thoroughfares and five (5') in width along collectors and residential streets, and barrier free ramps at all curb crossings shall be provided per Town standards.
15. Approval of the site plan is not final until all engineering plans are approved by the Engineering Department.
16. Site plan approval is required prior to grading release.
17. All new electrical lines shall be installed and/or relocated underground.
18. All mechanical equipment shall be screened from public view in accordance with the Zoning Ordinance.
19. Lots shall have frontage on a common access drive or a public street. The common access drive shall be dedicated public access, utility and fire lane easement.
20. All Retaining walls along creek to be stone.
21. All landscape easements must be exclusive of any other type of easement.
22. Impact fees will be assessed in accordance with the land use classification(s) identified on the site data summary table; however, changes to the proposed land use at the time of CO and/or finish out permit may result in additional impact fees and/or parking requirements.
23. Public Hike and Bike Trail is conceptual. Final alignment to be determined at the time of final site plan to be approved by the Town.
24. All environmental studies required to reclaim floodplain shall be submitted at time of final plat to develop each lot.
25. The approval of a preliminary site plan shall be effective for a period of two (2) years from the date that the preliminary site plan is approved by the Planning & Zoning Commission, at the end of which time the applicant must have submitted and received approval of a site plan by the Planning & Zoning Commission. If a site plan is not approved within such (2) year period the preliminary site plan approval is null and void. If site plan approval is only for a portion of the property, the approval of the preliminary site plan for the remaining property shall be null and void.
26. Prior to the submission of a site plan for either Lot 7, 8, 9, 10 or 11, the owner of Lot 12X shall execute a right-of-way dedication and escrow agreement, subject to the approval of the Town Council, not to be unreasonably withheld, dedicating a 30-foot wide public right-of-way in fee simple for a hike and bike trail and establishing an escrow of funds to offset the Town's construction, maintenance and ownership obligations for the hike and bike trail and the right-of-way, and the owner shall have no liability relating to the construction, maintenance or use of the hike and bike trail and right-of-way.
27. Nothing shall prohibit the owner from attempting to reclaim a lot from the floodplain (and adjacent areas) in Lot 12X, subject to appropriate federal approvals to the extent required by law.
28. Per the Development Agreement, 10 parking spaces are dedicated for the proposed hike and bike trail.



CASE No. - D22-0039  
 Sheet 1 of 3  
 REVISED PRELIMINARY SITE PLAN  
**WESTFORK CROSSING**  
 BLOCK A, LOTS 10, 11 & 12X  
 82.596 Acres  
 SITUATED IN THE  
 M.E.P. RAILROAD SURVEY, ABSTRACT NO. 1476  
 P. BARNES SURVEY, ABSTRACT NO. 79  
 A. JAMISON SURVEY, ABSTRACT NO. 672  
 TOWN OF PROSPER, DENTON COUNTY, TEXAS

SITE DATA SUMMARY TABLE																		
LOT	ZONING	PROPOSED USE	LOT AREA		BUILDING AREA (SF)	BUILDING HEIGHT (Max. 40')	COVERAGE (%)	FLOOR AREA RATIO	REQ. PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	REQUIRED HANDICAP PARKING	PROVIDED HANDICAP PARKING	INTERIOR LANDSCAPE REQUIRED (SF)	INTERIOR LANDSCAPE PROVIDED (SF)	IMPERVIOUS AREA (SF)	OPEN SPACE REQUIRED (SF)	OPEN SPACE PROVIDED (SF)
			SF	AC														
10	C	RETAIL	101,010	2.32	5,000	2 Story - Max. 40'	5.0%	0.0495:1	1/250	20	88	4	4	1,320	4,820	47,301	7,071	43,889
11	C	RETAIL/RESTAURANT	599,478	13.76	145,000	1 Story - Max. 40'	24.2%	0.2419:1	1/250 (RETAIL) 1/100 (RESTAURANT)	561	649	14	16	9,960	36,480	344,057	41,963	73,941
12X	C	OPEN SPACE	2,913,082	66.88	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	203,916	199,025

OWNER / APPLICANT  
 Northwest 423/380 LP  
 7001 Preston Road, Suite 410  
 Dallas, Texas 75205  
 Telephone (214) 224-4600  
 Contact: Robert Dorazil

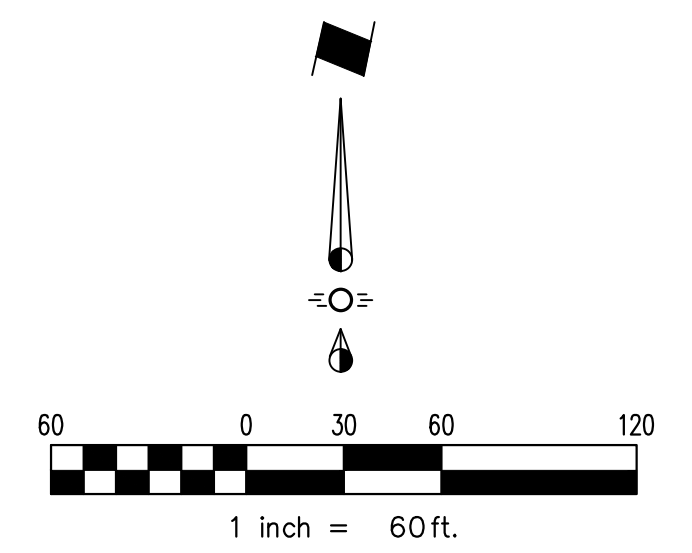
ENGINEER / SURVEYOR  
 Spiars Engineering, Inc.  
 TBPE No. F-2121  
 765 Custer Road, Suite 100  
 Plano, TX 75075  
 Telephone: (972) 422-0077  
 Contact: Kevin Wier

Drawing: 0\_2021\_00551-211 Westfork Crossing Revised P&Z & Floodplain Ord Preliminary Site Plan.dwg Saved By: jabsol Save Time: 5/24/2022 1:21:16 PM  
 Printed By: jabsol Plot Date: 5/24/2022 1:21:16 PM



WINDSONG RANCH PHASE 3A-2

Zoning: SF (PD-53)  
Use: Single Family

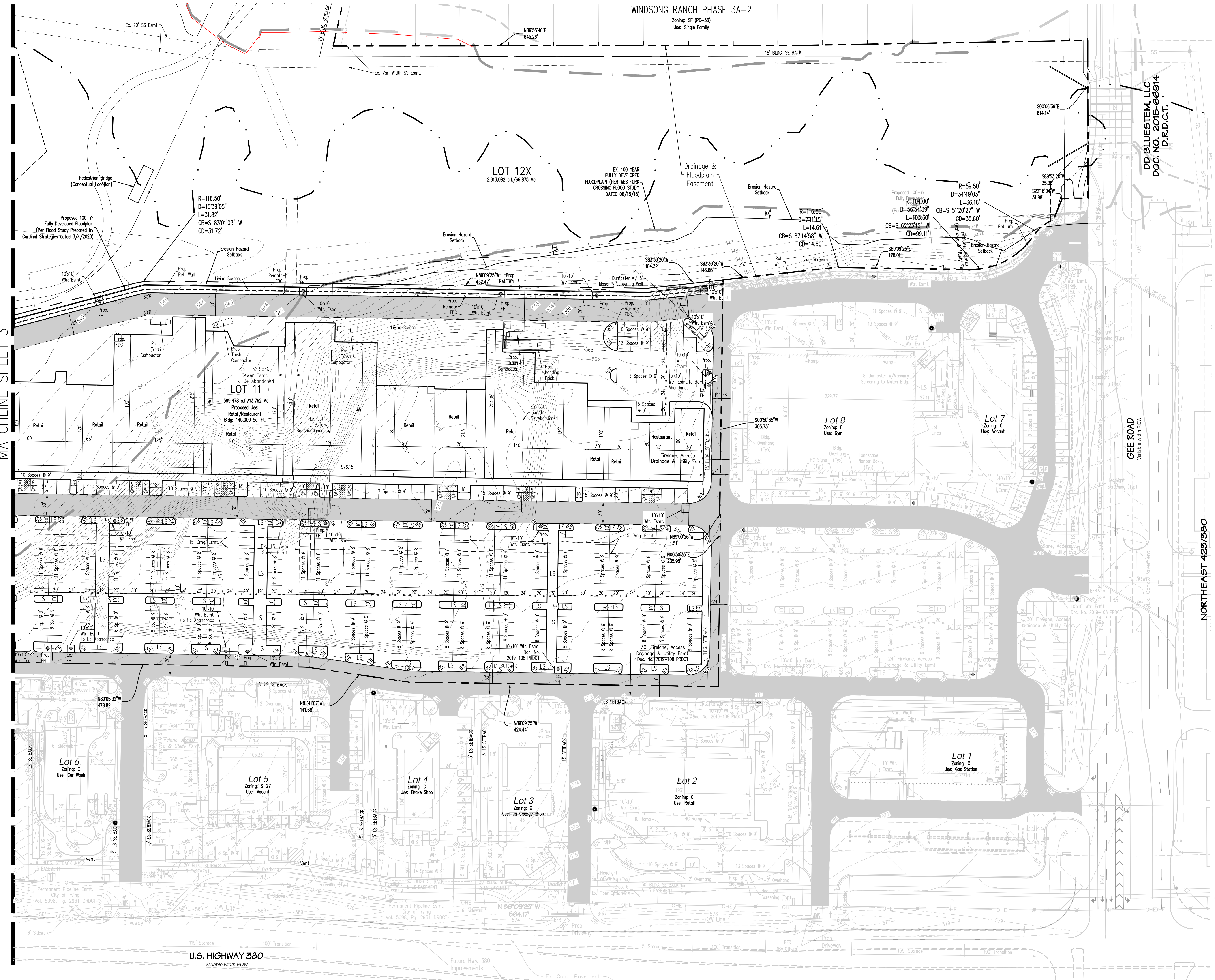


MATCHLINE SHEET 3

DD BLUESTEM, LLC  
DOC. NO. 2015-66914  
D.R.D.C.T.

NORTHEAST 423/390

GEE ROAD  
Variable width ROW



- LEGEND**
- FIRELANE ACCESS, DRAINAGE & UTILITY EASEMENT
  - PROPOSED FIRE HYDRANT

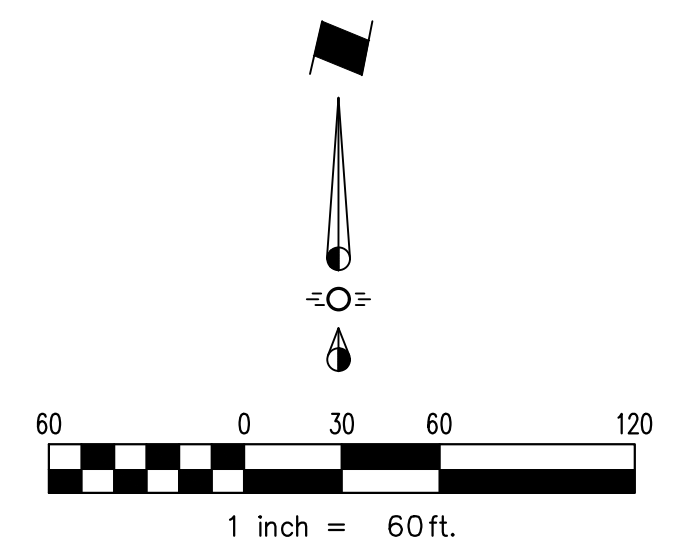
CASE No. - D22-0039  
 Sheet 2 of 3  
 REVISED PRELIMINARY SITE PLAN  
**WESTFORK CROSSING**  
 BLOCK A, LOTS 10, 11 & 12X  
 82.596 Acres  
 SITUATED IN THE  
 M.E.P. RAILROAD SURVEY, ABSTRACT NO. 1476  
 P. BARNES SURVEY, ABSTRACT NO. 79  
 A. JAMISON SURVEY, ABSTRACT NO. 672  
 TOWN OF PROSPER, DENTON COUNTY, TEXAS

OWNER / APPLICANT  
 Northwest 423/380 LP  
 7001 Preston Road, Suite 410  
 Dallas, Texas 75205  
 Telephone (214) 224-4600  
 Contact: Robert Dorazil

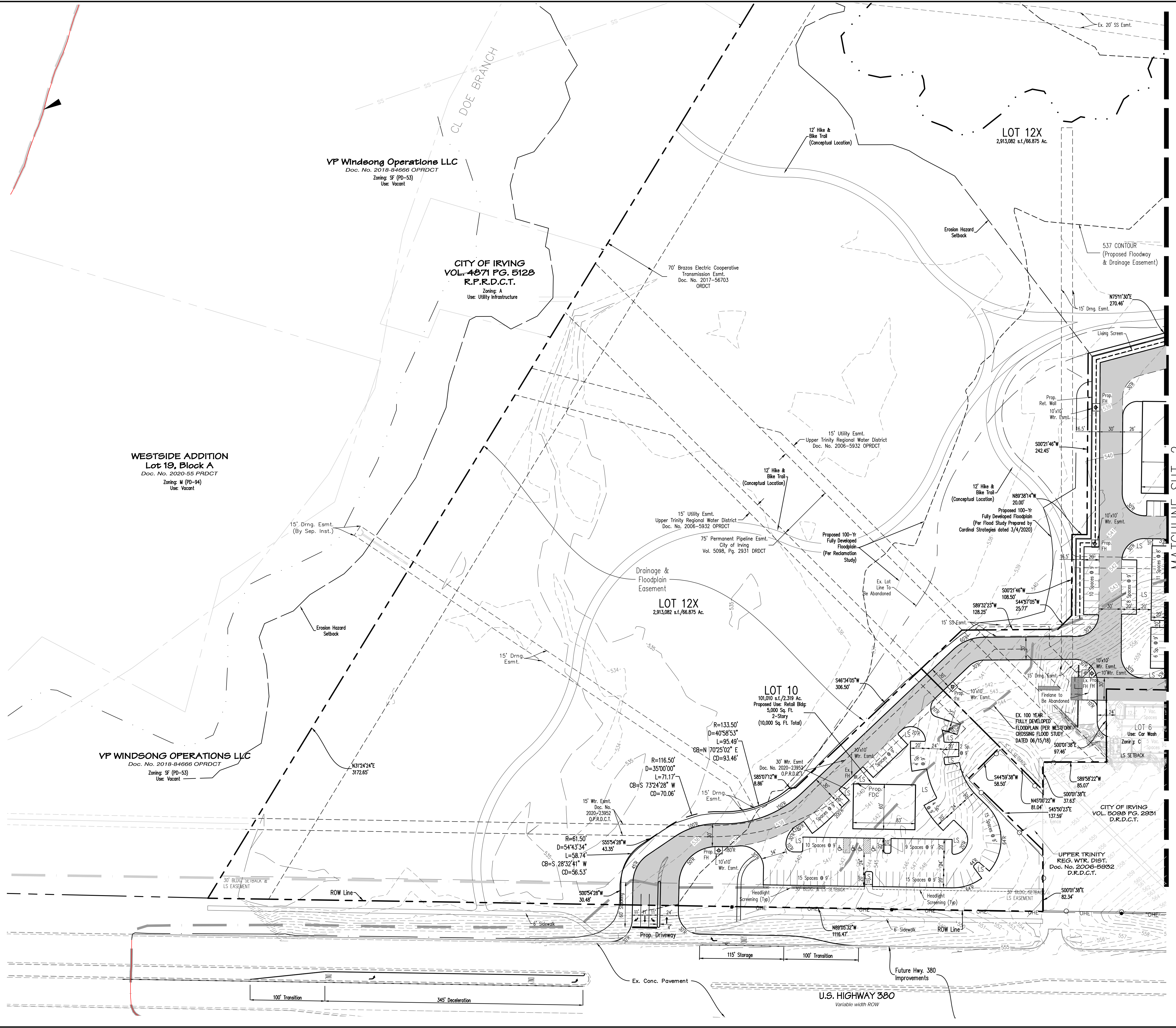
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 765 Custer Road, Suite 100  
 Plano, TX 75075  
 Telephone: (972) 422-0077  
 Contact: Kevin Wier

Drawing: © 2021, J005121-211 Westfork Crossing Revised P&S & Floodplain/CDD Preliminary Site Plan.dwg Saved By: jlabat Save Time: 5/24/2022 2:28:09 PM  
 Printed by: jlabat Plot Date: 5/24/2022 2:28:09 PM





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 Printed By: jstall Plot Date: 5/24/2022 2:37 PM



- LEGEND**
- FIRELANE ACCESS, DRAINAGE & UTILITY EASEMENT
  - FUTURE HIGHWAY 380 IMPROVEMENTS
  - PROPOSED FIRE HYDRANT

CASE No. - D22-0039  
 Sheet 3 of 3  
**REVISED PRELIMINARY SITE PLAN**  
**WESTFORK CROSSING**  
 BLOCK A, LOTS 10, 11 & 12X  
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 A. JAMISON SURVEY, ABSTRACT NO. 672  
 TOWN OF PROSPER, DENTON COUNTY, TEXAS

<p>OWNER / APPLICANT          Northwest 423/380 LP          7001 Preston Road, Suite 410          Dallas, Texas 75205          Telephone (214) 224-4600          Contact: Robert Dorazil</p>	<p>ENGINEER / SURVEYOR          Spiars Engineering, Inc.          TBPE No. F-2121          765 Custer Road, Suite 100          Plano, TX 75075          Telephone: (972) 422-0077          Contact: Kevin Wier</p>
--	--



## PLANNING

**To:** Planning & Zoning Commission **Item No. 4f**  
**From:** Jerron Hicks, Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Site Plan for Gates of Prosper, Phase 3B, Block B, Lot 3B  
**Meeting:** October 21, 2025

---

**Agenda Item:**

Consider and act upon a request for a Site Plan for Restaurants on Gates of Prosper, Phase 3B, Block B, Lot 3B, on 12.2± acres, located on the northwest corner of Preston Road and University Drive. (DEVAPP-25-0033)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Town Center.

**Zoning:**

The property is zoned Planned Development-67 (Mixed Use).

**Conformance:**

The Site Plan conforms to the development standards of Planned Development-67.

**Description of Agenda Item:**

The Site Plan consists of three restaurant buildings totaling 38,516 square feet and associated parking.

A Preliminary Site Plan (DEVAPP-24-0157) was approved by the Planning & Zoning Commission on May 6, 2025. The only change from the approved Preliminary Site Plan to the proposed Site Plan is the removal of one restaurant building as the original plan showed four.

**Access:**

Access is provided from Preston Road and University Drive.



**Landscaping, Open Space, and Screening:**

The proposed development complies with all landscaping, open space, and screening requirements.

**Companion Item:**

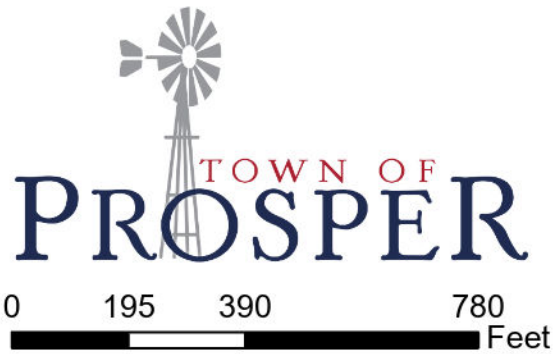
As companion items, the Final Plat (DEVAPP-25-0032) and Façade Plan (DEVAPP-25-0031) are on this Planning & Zoning Commission agenda.

**Attachments:**

1. Location Map
2. Site Plan
3. Open Space Plan
4. Approved Preliminary Site Plan (DEVAPP-24-0157)

**Town Staff Recommendation:**

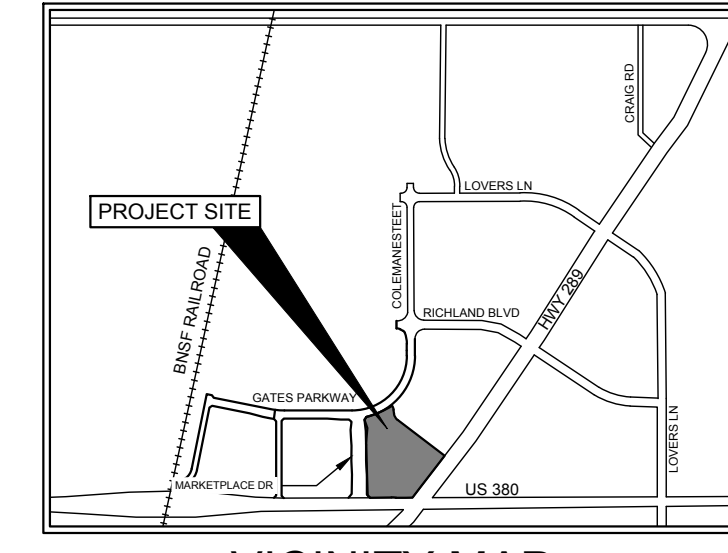
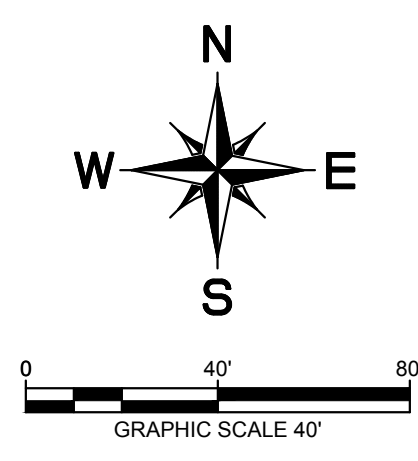
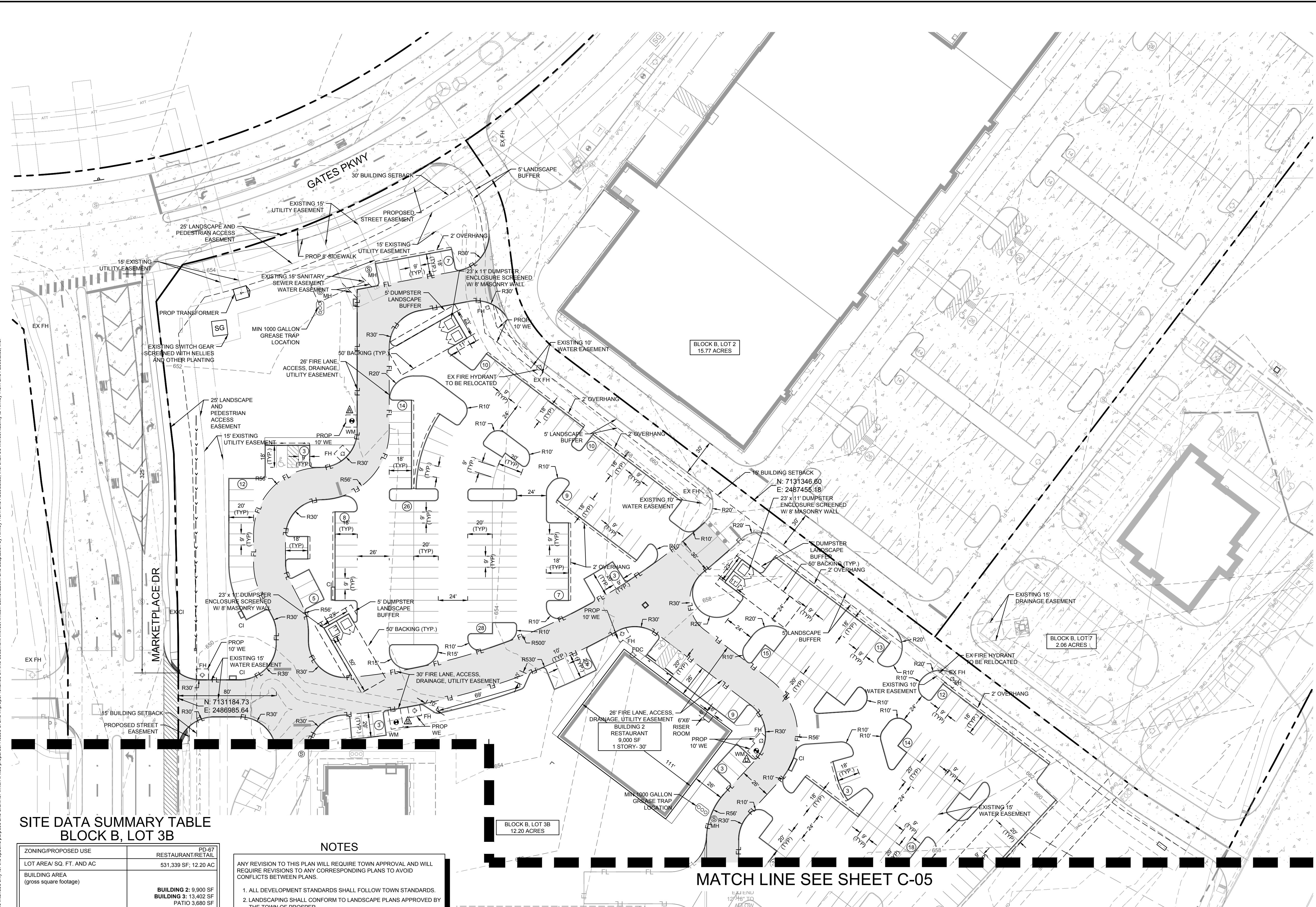
Town Staff recommends approval of the Site Plan.



This map for illustration purposes only

**DEVAPP-25-0033**  
 Gates of Prosper, Phase 3B,  
 Block B, Lot 3B





VICINITY MAP  
N.T.S.

NOTE:  
 1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67  
 2. FINAL DUMPSTER/TRASH SERVICE LAYOUTS TO BE PROVIDED WITH FINAL DESIGN OF EACH BLOCK AND LOT.  
 3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB  
 4. EXISTING TxDOT ROW CONFLICTS WITH LOT 7 DEVELOPMENT. INTENT IS TO PURCHASE ROW FROM TxDOT PRIOR TO SITE PLAN APPROVAL.

**LEGEND**

	EXISTING PAVEMENT
	PROPOSED FIRE LANE
	PROPOSED BUILDING
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
	WATER METER (AND VAULT)
	JUNCTION BOX
	MANHOLE
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
	TYPICAL
	SANITARY SEWER EASEMENT
	WATER EASEMENT
	DRAINAGE EASEMENT
	BARRIER FREE RAMP
	SIDEWALK
	BUILDING LINE/SETBACK
	CURB INLET
	GRATE INLET
	WYE INLET
	EXISTING
	PROPOSED

**SITE DATA SUMMARY TABLE  
BLOCK B, LOT 3B**

ZONING/PROPOSED USE	PD-67 RESTAURANT/RETAIL
LOT AREA SQ. FT. AND AC	531,339 SF, 12.20 AC
BUILDING AREA (gross square footage)	<b>BUILDING 2:</b> 9,900 SF <b>BUILDING 3:</b> 13,402 SF <b>PATIO 3:</b> 3,680 SF <b>BUILDING 4:</b> 9,322 SF <b>PATIO 4:</b> 2,212 SF <b>TOTAL:</b> 38,516 GSF
BUILDING HEIGHT	BUILDING 2,3 AND 4: 30'
LOT COVERAGE	7.2%
FLOOR AREA RATIO (for non-residential zoning)	07.1
TOTAL PARKING REQUIRED RESTAURANT/100 PATIO(200)	<b>BUILDING 2:</b> 99 SPACES <b>BUILDING 3:</b> 153 SPACES <b>BUILDING 4:</b> 105 SPACES <b>TOTAL:</b> 357 SPACES
TOTAL PARKING PROVIDED	445 SURFACE SPACES
TOTAL HANDICAP REQUIRED	12 SPACES
TOTAL HANDICAP PROVIDED	13 SPACES
INTERIOR LANDSCAPING REQUIRED	6,795 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	19,838 SQ. FT.
IMPERVIOUS SURFACE	182,254 SQ. FT.
USABLE OPEN SPACE REQUIRED	37,194 SQ. FT. (7%)
USABLE OPEN SPACE PROVIDED	108,950 SQ. FT. (20%)

**NOTES**

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MATCH LINE SEE SHEET C-05

**WATER METER SCHEDULE**

I.D.	TYPE	SIZE	NO.	SAN. SEW
▲	DOMESTIC	2"	1	1-8"
▲	DOMESTIC	2"	1	1-8"
▲	DOMESTIC	2"	1	1-8"
▲	DOMESTIC	2"	1	1-8"
▲	IRRIGATION	2"	1	

**SITE PLAN  
GATES OF PROSPER - PHASE 3B  
BLOCK B, LOT 3B  
DEVAPP-25-0033  
Being All Of The  
GATES OF PROSPER, BLOCK B,  
LOT 3B  
Town of Prosper, Collin County, Texas  
Submitted: October 10, 2025**

**Owner/Developer:**  
380 & 289 LP  
1 Cowboys Way  
Frisco, Texas 75034  
Contact: Nicholas Link  
Phone: (972)-497-4854

**Engineer:**  
Kimley-Horn and Associates, Inc.  
280 East Davis Street Suite 100  
McKinney, Texas 75069  
Contact: Rachel Korus, P.E.  
Phone: (469)-301-2594

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.  
280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
PHONE: 469-301-2590 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928

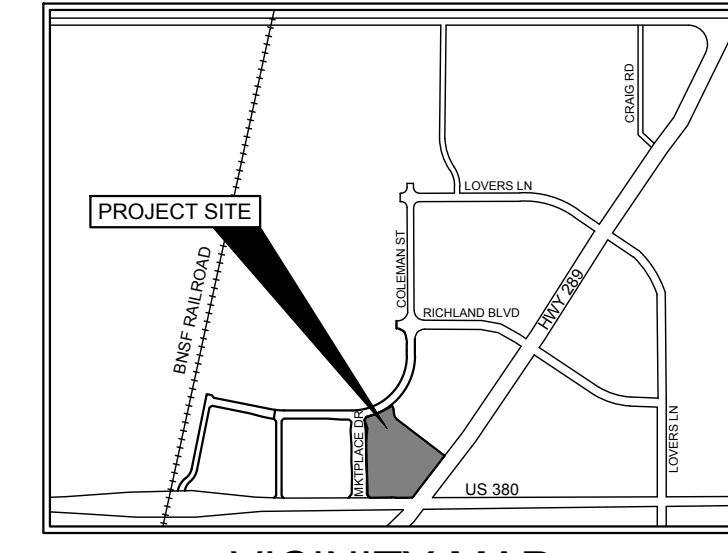
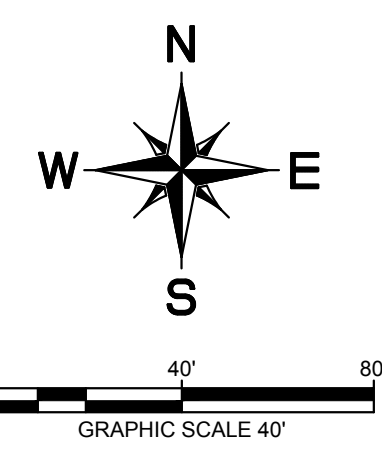
KHA PROJECT	068109076
DATE	OCTOBER 2024
SCALE	AS SHOWN
DESIGNED BY	RAK
DRAWN BY	EM
CHECKED BY	JCR

**THE GATES OF PROSPER - PHASE 3B**  
TOWN OF PROSPER  
PROSPER, TEXAS

**SITE PLAN**  
SHEET NUMBER  
**C-04**

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND DELIBERATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.





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[Symbol]	EXISTING PAVEMENT
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[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONTOUR - MAJOR
[Symbol]	PROPOSED CONTOUR - MINOR
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[Symbol]	BARRIER FREE RAMP (BFR)
[Symbol]	ACCESSIBLE PARKING SYMBOL
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[Symbol]	TYPICAL
[Symbol]	SANITARY SEWER EASEMENT
[Symbol]	WATER EASEMENT
[Symbol]	DRAINAGE EASEMENT
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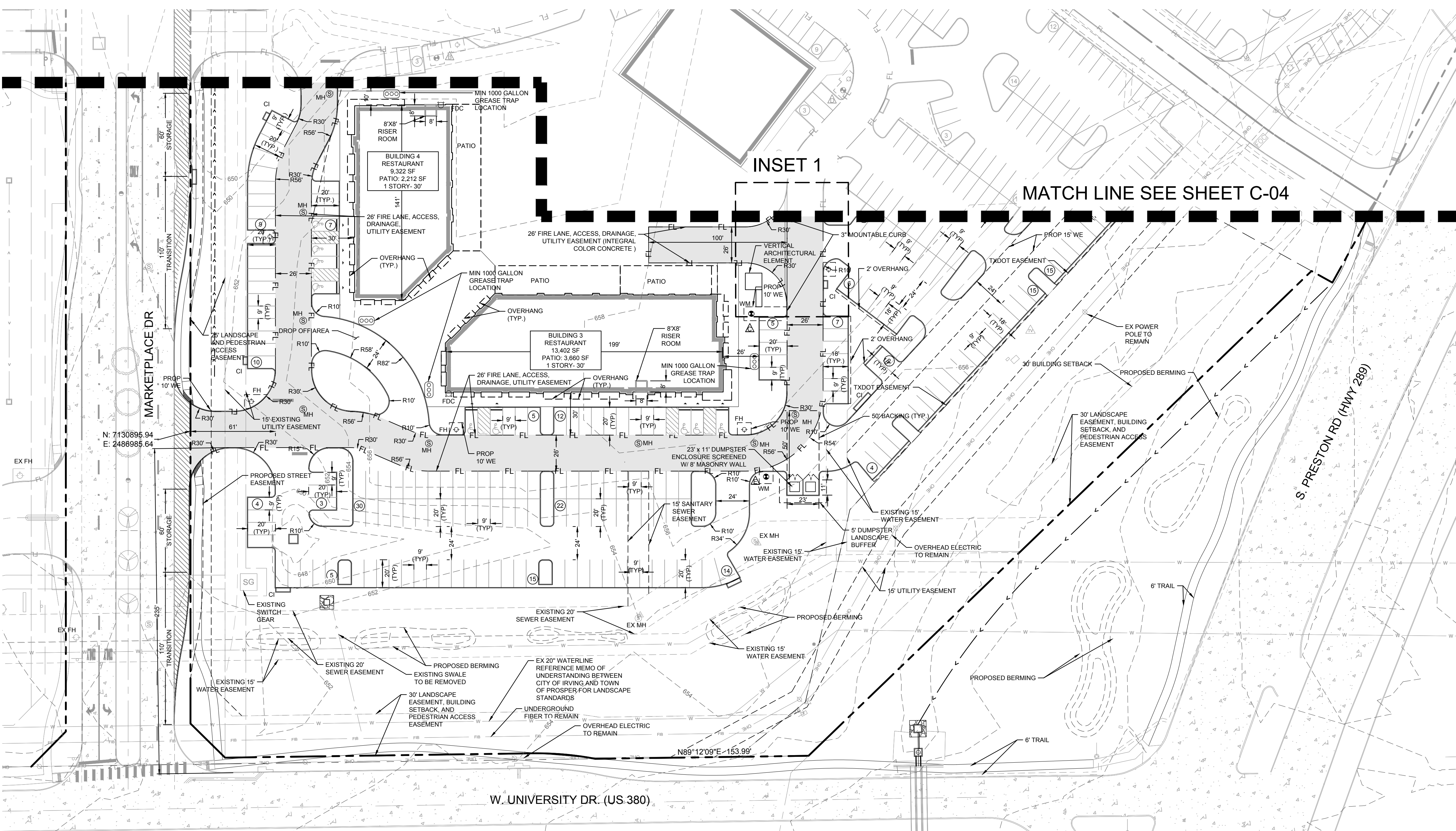
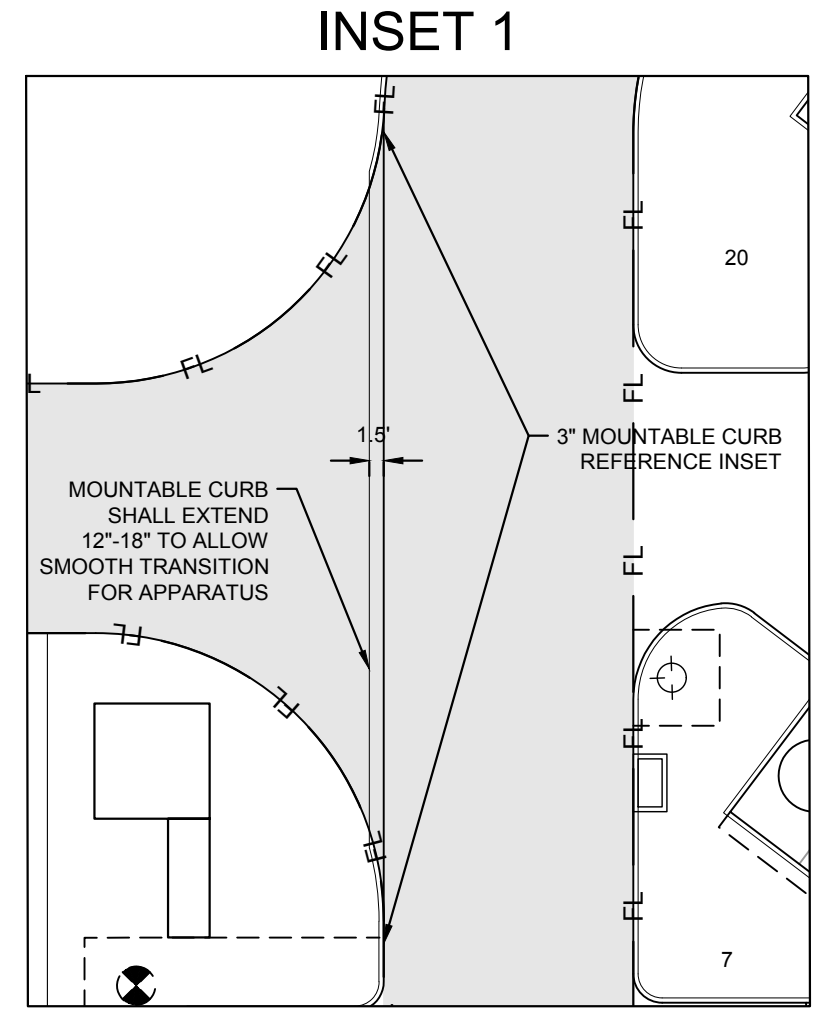
**SITE PLAN**  
**GATES OF PROSPER - PHASE 3B**  
**BLOCK B, LOT 3B**  
**DEVAPP-25-0033**  
*Being All Of The*  
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BUILDING HEIGHT	BUILDING 2,3 AND 4: 30'
LOT COVERAGE	7.2%
FLOOR AREA RATIO (for non-residential zoning)	0.71
TOTAL PARKING REQUIRED RESTAURANT/100 PATIO(200)	<b>BUILDING 2:</b> 99 SPACES <b>BUILDING 3:</b> 153 SPACES <b>BUILDING 4:</b> 105 SPACES <b>TOTAL:</b> 357 SPACES
TOTAL PARKING PROVIDED	445 SURFACE SPACES
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NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
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 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
 PHONE: 469-301-2594 FAX: 972-239-8320  
 WWW.KIMLEY-HORN.COM TX F-928

**THE GATES OF PROSPER - PHASE 3B**

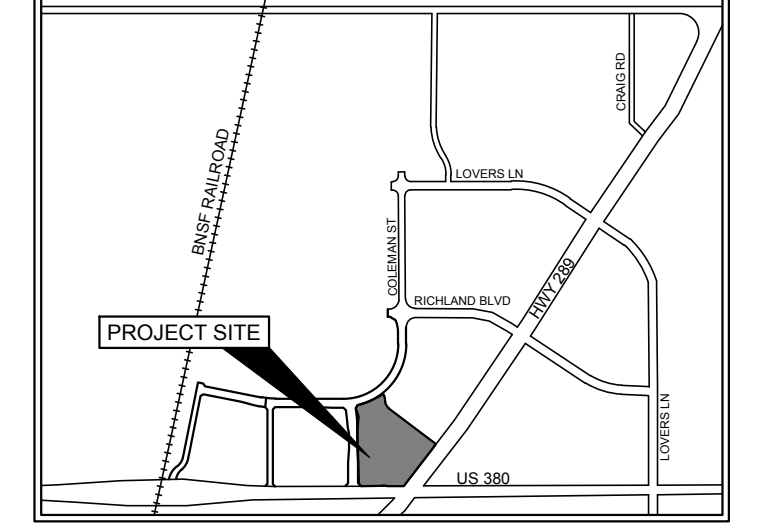
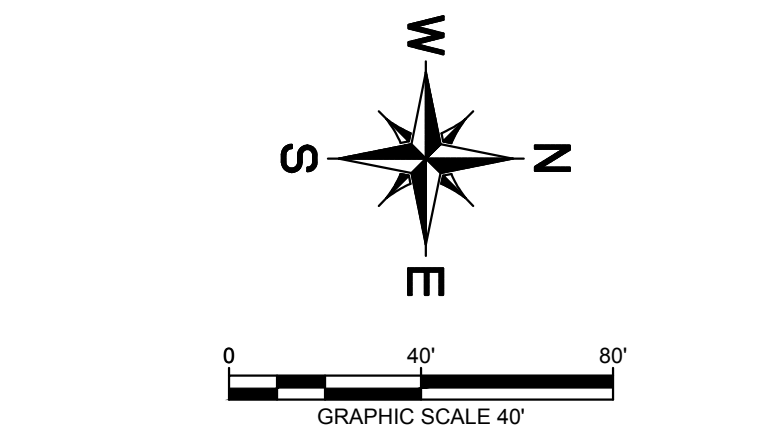
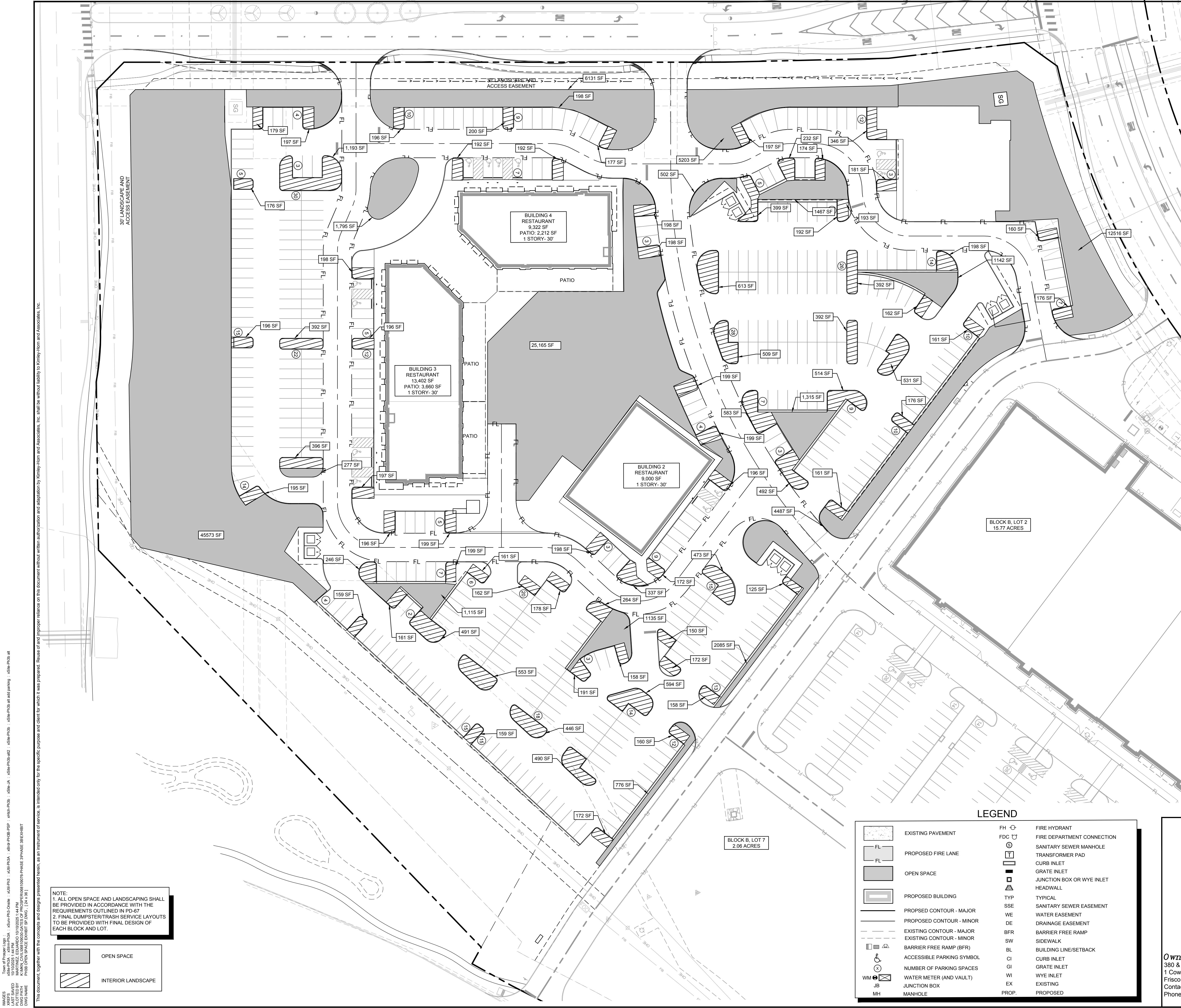
KHA PROJECT	DATE	SCALE	DESIGNED BY	EM	JCR
068109076	OCTOBER 2024	AS SHOWN	RAK		

**PROSPER**  
 PROSPER, TEXAS

**SITE PLAN**  
 SHEET NUMBER  
**C-05**

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 KIMLEY-HORN AND ASSOCIATES, INC. 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TEXAS 75069  
 PHONE: 469-301-2594 FAX: 972-239-8320 WWW.KIMLEY-HORN.COM  
 DATE: 10/10/2024 1:47 PM  
 DRAWN BY: KIMLEY-HORN  
 CHECKED BY: KIMLEY-HORN  
 PROJECT: THE GATES OF PROSPER - PHASE 3B - PLANS SHEETS





VICINITY MAP  
N.T.S.

NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
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TOTAL PARKING REQUIRED RESTAURANT/100 PATIO(200)	<b>BUILDING 2:</b> 99 SPACES <b>BUILDING 3:</b> 153 SPACES <b>BUILDING 4:</b> 105 SPACES <b>TOTAL:</b> 357 SPACES
TOTAL PARKING PROVIDED	445 SURFACE SPACES
TOTAL HANDICAP REQUIRED	12 SPACES
TOTAL HANDICAP PROVIDED	13 SPACES
INTERIOR LANDSCAPING REQUIRED	6,795 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	19,838 SQ. FT.
IMPERVIOUS SURFACE	182,254 SQ. FT.
USABLE OPEN SPACE REQUIRED	37,194 SQ. FT. (7%)
USABLE OPEN SPACE PROVIDED	108,950 SQ. FT. (20%)

\*HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH TAS STANDARDS

LEGEND

	EXISTING PAVEMENT		FIRE HYDRANT
	PROPOSED FIRE LANE		FIRE DEPARTMENT CONNECTION
	OPEN SPACE		SANITARY SEWER MANHOLE
	PROPOSED BUILDING		TRANSFORMER PAD
	PROPOSED CONTOUR - MAJOR		CURB INLET
	PROPOSED CONTOUR - MINOR		GRATE INLET
	EXISTING CONTOUR - MAJOR		JUNCTION BOX OR WYE INLET
	EXISTING CONTOUR - MINOR		HEADWALL
	BARRIER FREE RAMP (BFR)		TYPICAL SANITARY SEWER EASEMENT
	ACCESSIBLE PARKING SYMBOL		WATER EASEMENT
	NUMBER OF PARKING SPACES		DRAINAGE EASEMENT
	WATER METER (AND VAULT)		BARRIER FREE RAMP
	JUNCTION BOX		SIDEWALK
	MANHOLE		BUILDING LINE/SETBACK
			CURB INLET
			GRATE INLET
			WYE INLET
			EXISTING
			PROPOSED

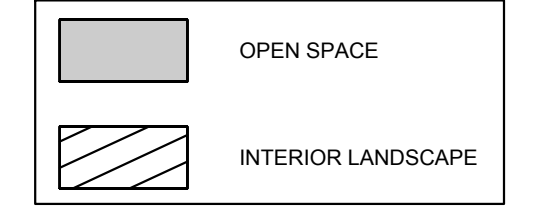
SITE PLAN  
GATES OF PROSPER - PHASE 3B  
BLOCK B, LOT 3B  
DEVAPP-25-0033  
Being All Of The  
GATES OF PROSPER, BLOCK B,  
LOT 3B  
Town of Prosper, Collin County, Texas  
Submitted: October 10, 2025

Owner/Developer:  
380 & 289 LP  
1 Cowboys Way  
Frisco, Texas 75034  
Contact: Nicholas Link  
Phone: (972)-497-4854

Engineer:  
Kimley-Horn and Associates, Inc.  
260 East Davis Street Suite 100  
McKinney, Texas 75069  
Contact: Rachel Korus, P.E.  
Phone: (469)-301-2594

SHEET NO. 05-1  
 DATE: 10/10/2025  
 DRAWN BY: JCR  
 CHECKED BY: JCR  
 PROJECT: THE GATES OF PROSPER - PHASE 3B  
 BLOCK B, LOT 3B  
 DEVAPP-25-0033

NOTE:  
1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67  
2. FINAL DUMPSTER/TRASH SERVICE LAYOUTS TO BE PROVIDED WITH FINAL DESIGN OF EACH BLOCK AND LOT.



THE GATES OF PROSPER - PHASE 3B  
BLOCK B, LOT 3B  
DEVAPP-25-0033

OPEN SPACE EXHIBIT

PROSPER, TEXAS

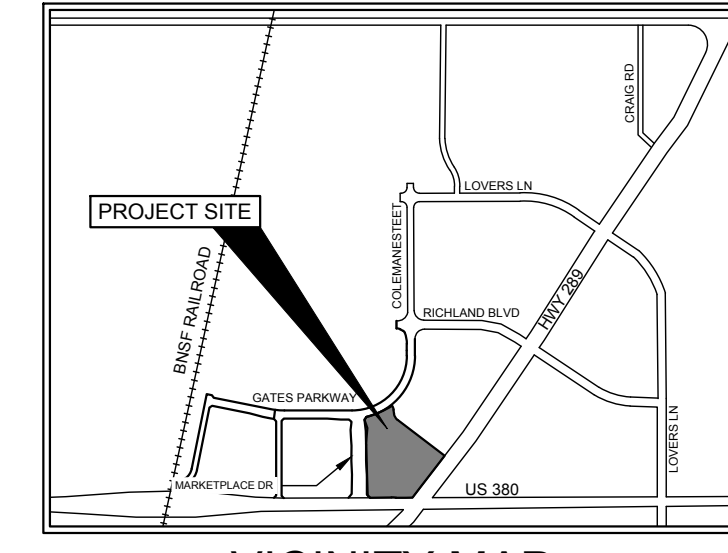
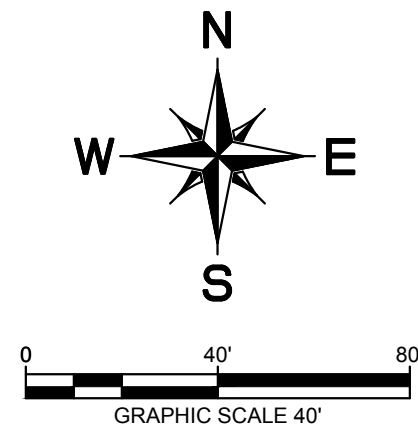
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.  
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
PHONE: 469-301-2590 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928

KHA PROJECT	068-09076	DATE	OCTOBER 2024	SCALE	AS SHOWN
DESIGNED BY	RAK	DRAWN BY	EMI	CHECKED BY	JCR
NO.		REVISIONS		DATE	BY

SHEET NUMBER  
**OS-1**



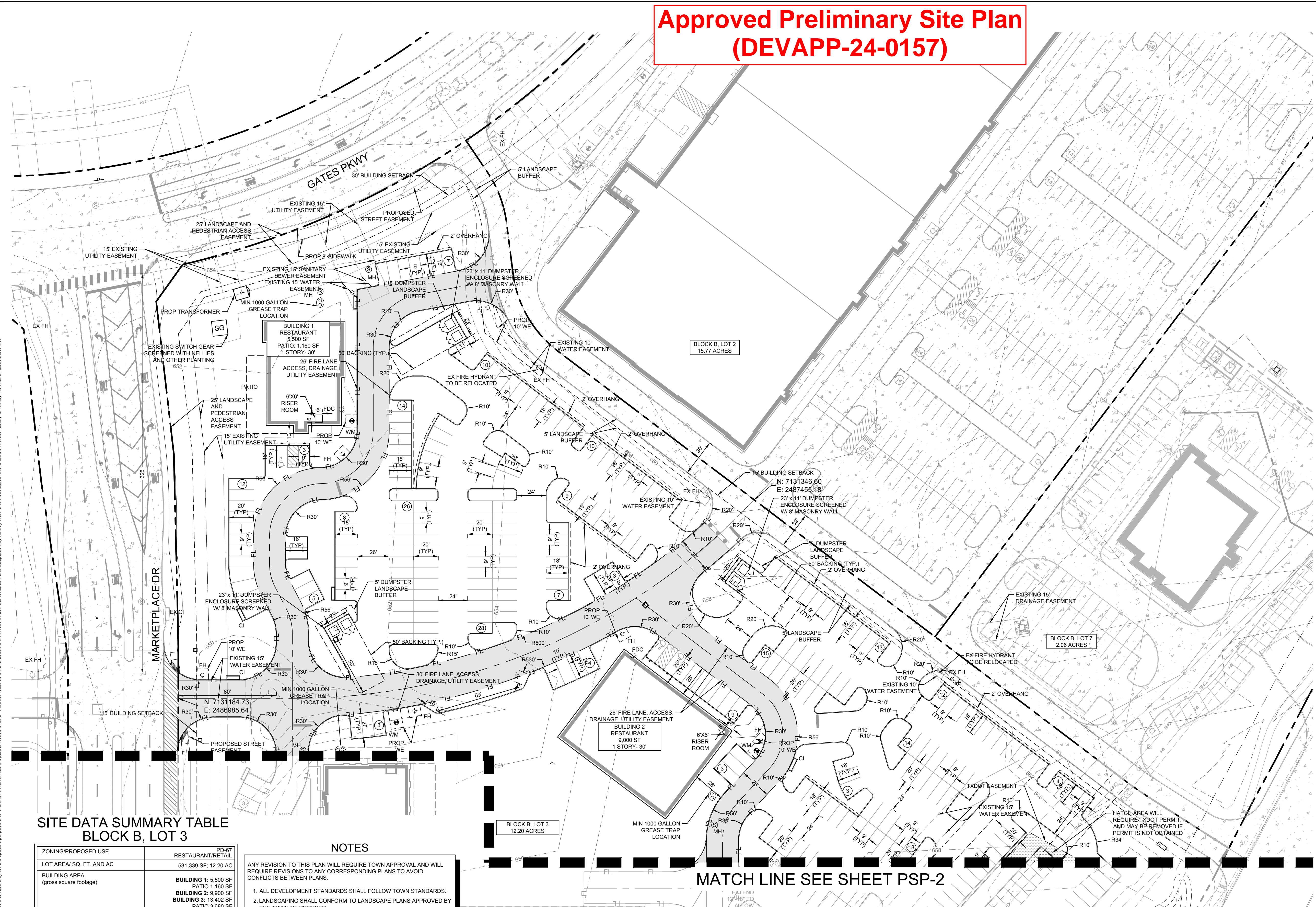
# Approved Preliminary Site Plan (DEVAPP-24-0157)



VICINITY MAP  
N.T.S.

NOTE:  
 1. ALL OPEN SPACE AND LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN PD-67  
 2. FINAL DUMPSTER/TRASH SERVICE LAYOUTS TO BE PROVIDED WITH FINAL DESIGN OF EACH BLOCK AND LOT.  
 3. ALL DIMENSIONS PROVIDED ARE FROM THE FACE OF CURB.  
 4. EXISTING TXDOT ROW CONFLICTS WITH LOT 7 DEVELOPMENT. INTENT IS TO PURCHASE ROW FROM TXDOT PRIOR TO SITE PLAN APPROVAL.

	EXISTING PAVEMENT
	PROPOSED FIRE LANE
	PROPOSED BUILDING
	TXDOT EASEMENT
	PROPOSED CONTOUR - MAJOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
	WATER METER (AND VAULT)
	JUNCTION BOX
	MANHOLE
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
	TYPICAL
	SANITARY SEWER EASEMENT
	WATER EASEMENT
	DRAINAGE EASEMENT
	BARRIER FREE RAMP
	SIDEWALK
	BUILDING LINE/SETBACK
	CURB INLET
	GRATE INLET
	WYE INLET
	EXISTING
	PROPOSED



SITE DATA SUMMARY TABLE  
BLOCK B, LOT 3

ZONING/PROPOSED USE	PD-67 RESTAURANT/RETAIL
LOT AREA/ SQ. FT. AND AC	531,339 SF; 12.20 AC
BUILDING AREA (gross square footage)	BUILDING 1: 5,500 SF PATIO 1: 1,160 SF BUILDING 2: 9,900 SF PATIO 2: 13,402 SF PATIO 3: 3,580 SF BUILDING 4: 9,322 SF PATIO 4: 2,212 SF <b>TOTAL: 45,176 GSF</b>
BUILDING HEIGHT	BUILDING 1,2,3 AND 4: 30'
LOT COVERAGE	8.5%
FLOOR AREA RATIO (for non-residential zoning)	0.91
TOTAL PARKING REQUIRED RESTAURANT/100 (PATIO/200)	BUILDING 1: 61 SPACES BUILDING 2: 99 SPACES BUILDING 3: 153 SPACES BUILDING 4: 105 SPACES <b>TOTAL: 418 SPACES</b>
TOTAL PARKING PROVIDED	498 SURFACE SPACES
TOTAL HANDICAP REQUIRED	12 SPACES
TOTAL HANDICAP PROVIDED	13 SPACES
INTERIOR LANDSCAPING REQUIRED	7,470 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	22,125 SQ. FT.
IMPERVIOUS SURFACE	197,069 SQ. FT.
USABLE OPEN SPACE REQUIRED	37,194 SQ. FT. (7%)
USABLE OPEN SPACE PROVIDED	128,944 SQ. FT. (24%)

NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  - ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  - OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND.

MATCH LINE SEE SHEET PSP-2



P&Z Approved  
5/6/2025

PRELIMINARY SITE PLAN  
 GATES OF PROSPER - PHASE 3B  
 BLOCK B, LOT 3  
 DEVAPP-24-0157  
*Being All Of The*  
 GATES OF PROSPER PHASE 3, BLOCK B,  
 LOT 3  
 Town of Prosper, Collin County, Texas  
 Submitted: April 8, 2025

Owner/Developer:  
 380 & 289 LP  
 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

Engineer:  
 Kimley-Horn and Associates, Inc.  
 280 East Davis Street Suite 100  
 McKinney, Texas 75069  
 Contact: Rachel Korus, P.E.  
 Phone: (469)-301-2594

NO.
REVISIONS
DATE

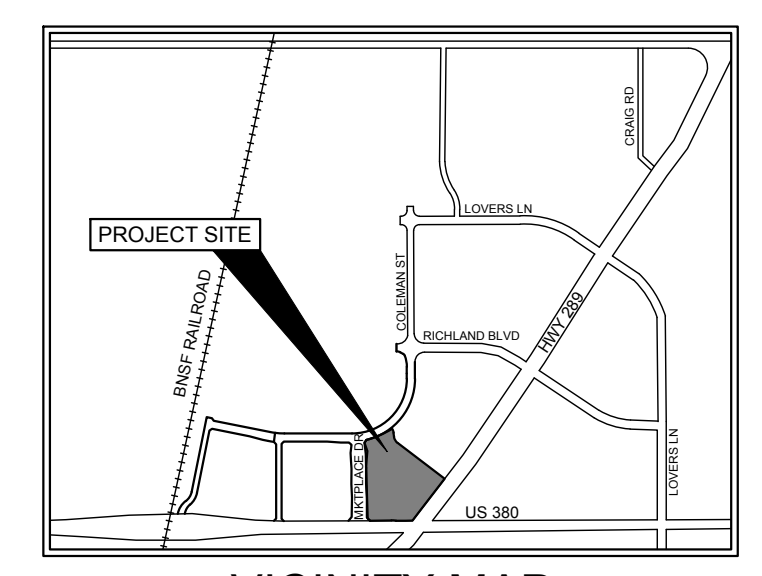
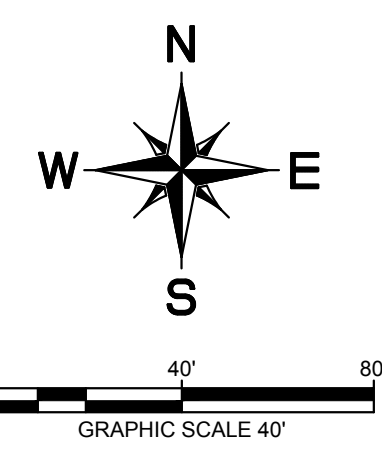
**Kimley-Horn**  
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.  
 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
 PHONE: 469-301-2590 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928

THE GATES OF PROSPER - PHASE 3B  
 PRELIMINARY SITE PLAN

RHA PROJECT 068109076  
 DATE OCTOBER 2024  
 SCALE AS SHOWN  
 DESIGNED BY RAK  
 DRAWN BY EMI  
 CHECKED BY JCR  
 PROSPER, TEXAS

SHEET NUMBER
PSP-1





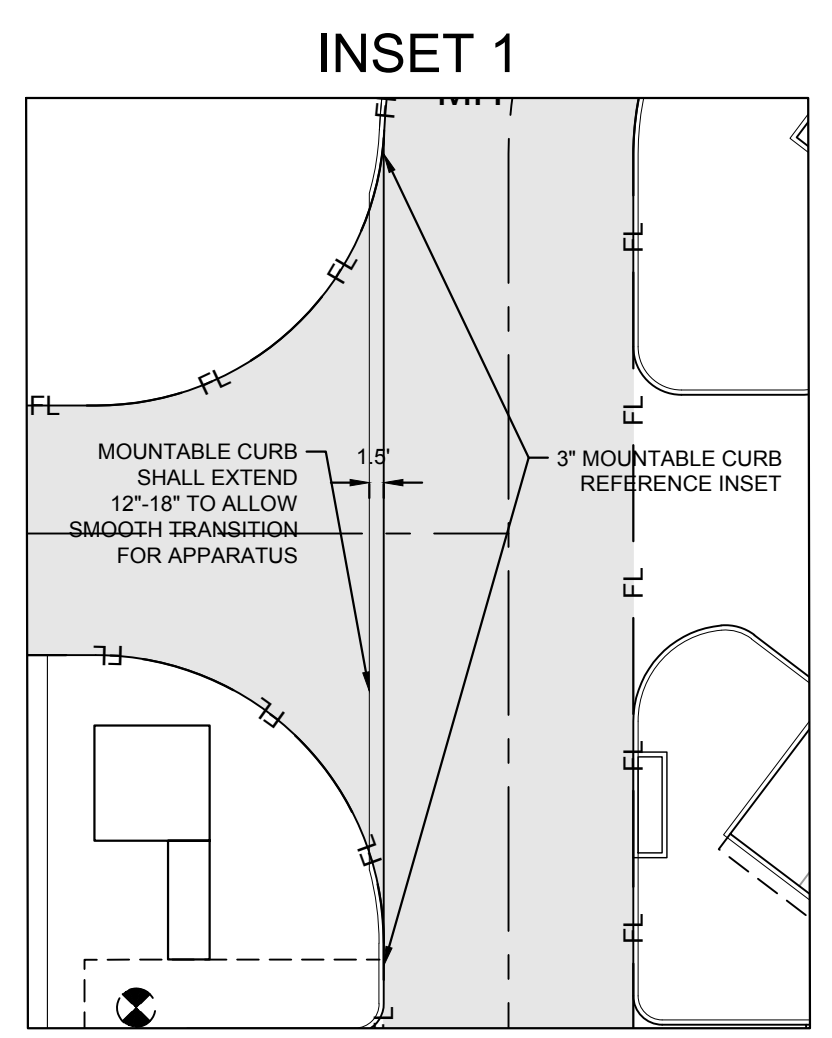
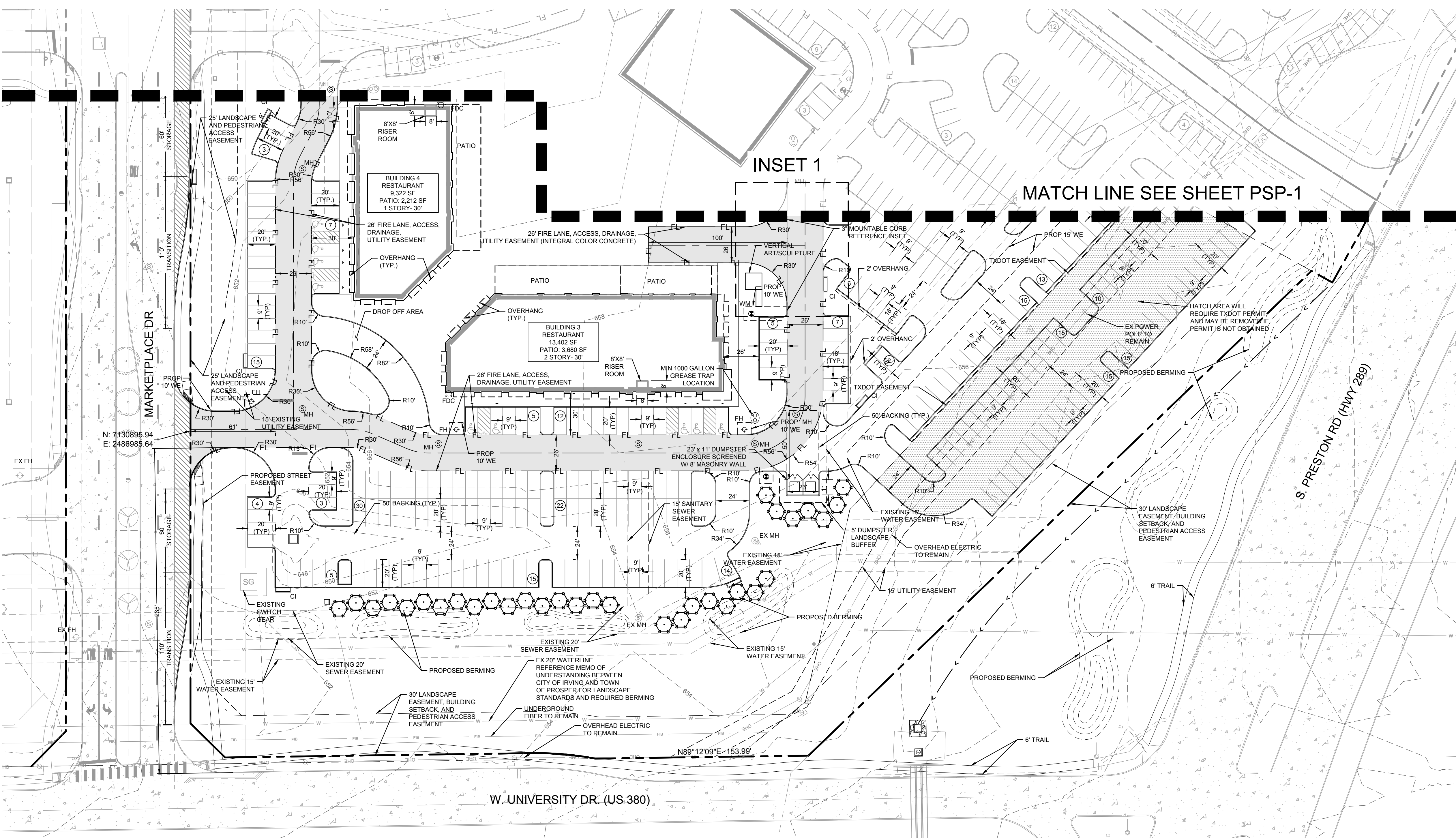
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**LEGEND**

[Symbol]	EXISTING PAVEMENT
[Symbol]	PROPOSED FIRE LANE
[Symbol]	PROPOSED BUILDING
[Symbol]	TXDOT EASEMENT
[Symbol]	PROPOSED CONTOUR - MAJOR
[Symbol]	PROPOSED CONTOUR - MINOR
[Symbol]	EXISTING CONTOUR - MAJOR
[Symbol]	EXISTING CONTOUR - MINOR
[Symbol]	BARRIER FREE RAMP (BFR)
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	NUMBER OF PARKING SPACES
[Symbol]	WATER METER (AND VAULT)
[Symbol]	JUNCTION BOX
[Symbol]	MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	TRANSFORMER PAD
[Symbol]	CURB INLET
[Symbol]	GRATE INLET
[Symbol]	JUNCTION BOX OR WYE INLET
[Symbol]	HEADWALL
[Symbol]	TYPICAL
[Symbol]	SANITARY SEWER EASEMENT
[Symbol]	WE WATER EASEMENT
[Symbol]	DE DRAINAGE EASEMENT
[Symbol]	BFR BARRIER FREE RAMP
[Symbol]	SW SIDEWALK
[Symbol]	BL BUILDING LINE/SETBACK
[Symbol]	CI CURB INLET
[Symbol]	GI GRATE INLET
[Symbol]	WI WYE INLET
[Symbol]	EX EXISTING
[Symbol]	PROP. PROPOSED

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BUILDING HEIGHT	BUILDING 1,2,3 AND 4: 30'
LOT COVERAGE	8.5%
FLOOR AREA RATIO (for non-residential zoning)	0.91
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NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
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 260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069  
 PHONE: 469-301-2560 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928

KHA PROJECT	068109076
DATE	OCTOBER 2024
SCALE	AS SHOWN
DESIGNED BY	RAK
DRAWN BY	EM
CHECKED BY	JCR

**THE GATES OF PROSPER - PHASE 3B**  
 TOWN OF PROSPER  
 PROSPER, TEXAS

**PRELIMINARY SITE PLAN**  
 SHEET NUMBER  
**PSP-2**

**PRELIMINARY SITE PLAN  
 GATES OF PROSPER - PHASE 3B  
 BLOCK B, LOT 3  
 DEVAPP-24-0157  
 Being All Of The  
 GATES OF PROSPER PHASE 3, BLOCK B,  
 LOT 3  
 Town of Prosper, Collin County, Texas  
 Submitted: April 8, 2025**

**Owner/Developer:**  
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 1 Cowboys Way  
 Frisco, Texas 75034  
 Contact: Nicholas Link  
 Phone: (972)-497-4854

**Engineer:**  
 Kimley-Horn and Associates, Inc.  
 260 East Davis Street Suite 100  
 McKinney, Texas 75069  
 Contact: Rachel Korus, P.E.  
 Phone: (469)-301-2594

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## PLANNING

**To:** Planning & Zoning Commission  
**From:** Jerron Hicks, Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Final Plat of Gates of Prosper, Phase 3B, Block B, Lot 3B  
**Meeting:** October 21, 2025

**Item No. 4g**

---

**Agenda Item:**

Consider and act upon a request for a Final Plat of Gates of Prosper, Phase 3B, Block B, Lot 3B, on 12.2± acres, located on the northwest corner of Preston Road and University Drive. (DEVAPP-25-0032)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Town Center.

**Zoning:**

The property is zoned Planned Development-67 (Mixed Use).

**Conformance:**

The Final Plat conforms to the development standards of Planned Development-67.

**Description of Agenda Item:**

The purpose of this Final Plat is to dedicate easements necessary for the development of Lot 3B.

**Companion Item:**

As companion items, the Site Plan (DEVAPP-25-0033) and Façade Plan (DEVAPP-25-0031) are on this Planning & Zoning Commission agenda.

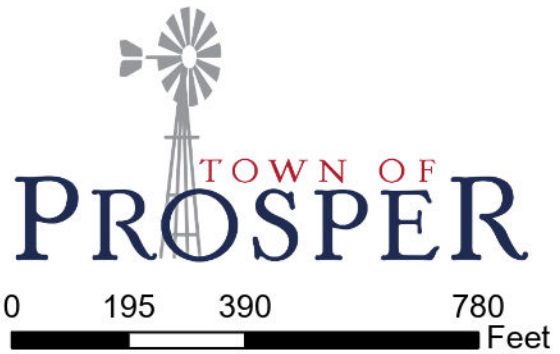
**Attachments:**

1. Location Map
2. Final Plat

**Town Staff Recommendation:**

Town Staff recommends approval of the Final Plat.





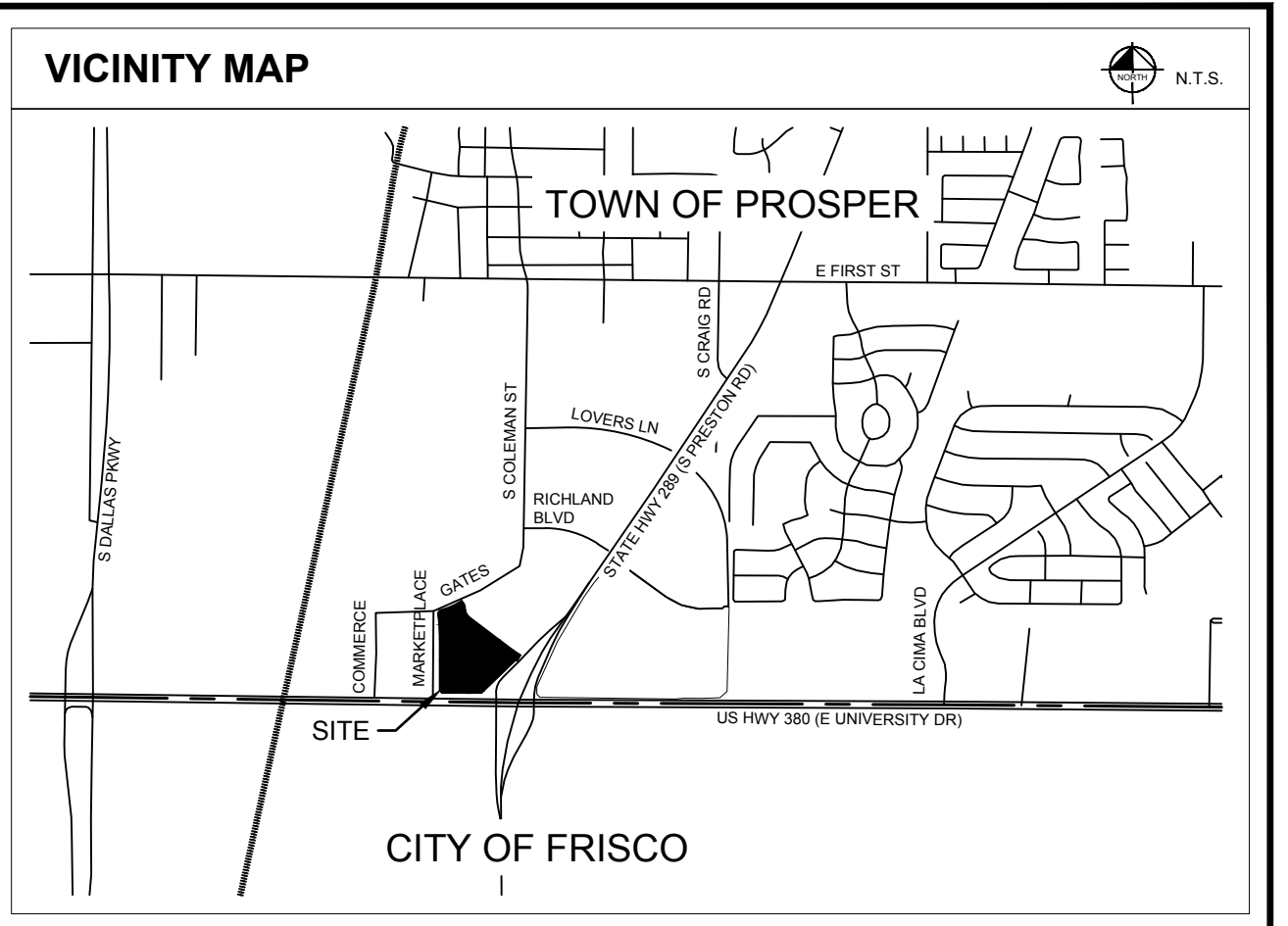
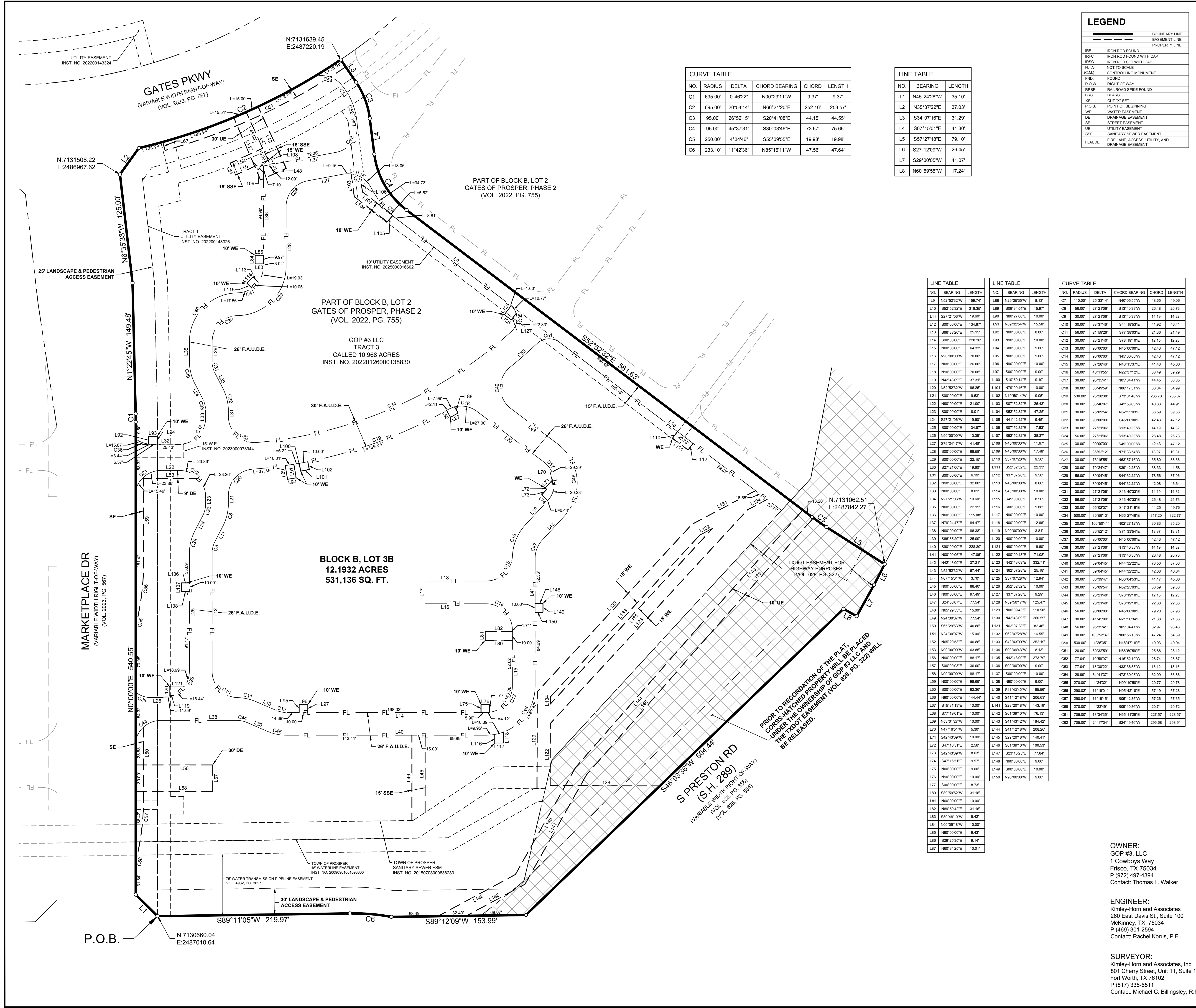
**DEVAPP-25-0032**

Gates of Prosper, Phase 3B,  
Block B, Lot 3B

Final Plat

This map for illustration purposes only





**CURVE TABLE**

NO.	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	695.00'	0°46'22"	N00°23'11"W	9.37'	9.37'
C2	695.00'	20°54'14"	N66°21'20"E	252.16'	253.57'
C3	95.00'	26°52'15"	S20°41'08"E	44.15'	44.55'
C4	95.00'	45°37'31"	S30°03'48"E	73.67'	75.65'
C5	250.00'	4°34'46"	S55°09'55"E	19.98'	19.98'
C6	233.10'	11°42'36"	N85°16'11"W	47.56'	47.64'

**LINE TABLE**

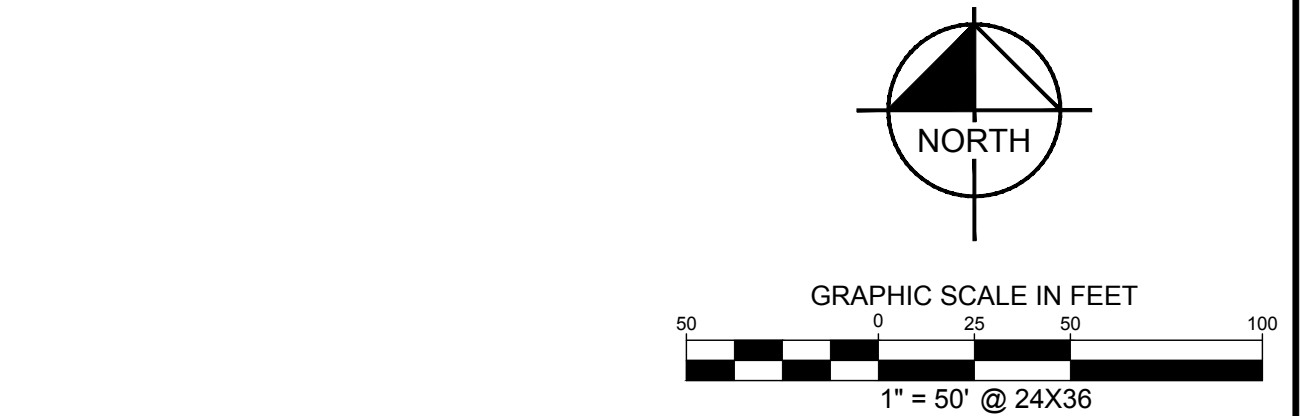
NO.	BEARING	LENGTH
L1	N45°24'28"W	35.10'
L2	N35°37'22"E	37.03'
L3	S34°07'16"E	31.29'
L4	S07°15'01"E	41.30'
L5	S57°27'18"E	79.10'
L6	S27°12'09"W	26.45'
L7	S29°00'05"W	41.07'
L8	N60°59'55"W	17.24'

**LEGEND**

- BOUNDARY LINE
- EASEMENT LINE
- PROPERTY LINE
- IRF IRON ROD FOUND
- IRFC IRON ROD FOUND WITH CAP
- IRISC IRON ROD SET WITH CAP
- N.T.S. NOT TO SCALE
- (C.M.) CONTROLLING MONUMENT
- F.O.D. FOUND
- R.O.W. RIGHT OF WAY
- R.R.S.P. RAILROAD SPIKE FOUND
- B.E.M. BEARS
- CUT "X" SET
- P.O.B. POINT OF BEGINNING
- WE WATER EASEMENT
- DE DRAINAGE EASEMENT
- SE STREET EASEMENT
- UE UTILITY EASEMENT
- SSE SANITARY SEWER EASEMENT
- FLA FLENE, ACCESS, UTILITY, AND DRAINAGE EASEMENT

**LINE TABLE**

NO.	BEARING	LENGTH
L9	N52°52'32"E	159.74'
L10	S52°52'32"E	318.52'
L11	S27°21'08"W	13.69'
L12	S00°00'00"E	134.87'
L13	S68°38'02"E	35.15'
L14	S00°00'00"E	238.30'
L15	N00°00'00"E	64.32'
L16	N00°00'00"W	70.00'
L17	N00°00'00"E	26.00'
L18	N00°00'00"E	70.06'
L19	N42°43'09"E	37.31'
L20	N52°52'32"W	96.25'
L21	S00°00'00"E	9.53'
L22	N00°00'00"E	21.00'
L23	S00°00'00"E	8.01'
L24	S27°21'08"W	19.60'
L25	S00°00'00"E	134.87'
L26	N00°00'00"W	13.38'
L27	S79°24'47"W	41.48'
L28	S00°00'00"E	68.58'
L29	S00°00'00"E	22.15'
L30	S27°21'08"E	18.60'
L31	S00°00'00"E	6.19'
L32	N90°00'00"E	32.00'
L33	N00°00'00"E	8.01'
L34	N27°21'08"W	19.60'
L35	N00°00'00"E	22.15'
L36	N00°00'00"E	115.08'
L37	N79°24'47"E	84.47'
L38	N00°00'00"E	86.38'
L39	S89°38'20"E	25.09'
L40	S90°00'00"E	238.30'
L41	N00°00'00"E	147.08'
L42	N42°43'09"E	37.31'
L43	N42°52'32"W	67.44'
L44	N67°15'01"W	3.70'
L45	N00°00'00"E	88.40'
L46	N00°00'00"E	97.49'
L47	S24°30'02"E	77.54'
L48	N85°29'53"E	15.00'
L49	N24°30'02"W	77.54'
L50	S69°29'53"W	40.86'
L51	N24°30'02"W	15.00'
L52	N65°29'53"E	40.86'
L53	N00°00'00"W	63.85'
L54	N00°00'00"W	63.85'
L55	N00°00'00"W	88.17'
L56	N00°00'00"W	88.17'
L57	S00°00'00"E	30.00'
L58	N00°00'00"W	88.17'
L59	N00°00'00"E	58.69'
L60	S00°00'00"E	82.36'
L61	N00°00'00"E	144.44'
L62	S15°31'13"E	10.00'
L63	S77°19'01"E	10.00'
L64	N53°01'27"W	10.00'
L65	N47°18'51"W	5.30'
L66	S47°18'51"E	2.56'
L67	S47°43'09"W	8.63'
L68	S47°18'51"E	9.57'
L69	N00°00'00"E	9.00'
L70	N00°00'00"E	10.00'
L71	S00°00'00"E	8.73'
L72	S89°59'52"W	31.16'
L73	N89°59'42"E	31.16'
L74	N00°00'00"W	10.00'
L75	N00°00'00"E	10.00'
L76	S29°23'03"E	9.14'
L77	N40°24'23"E	10.61'



- NOTES:**
- Bearing system based on the easterly right of way line of South Craig Road as depicted in the Conveyance Plat of Gates of Prosper, Block E, Lots 1 and 2, recorded in Volume 2018, Page 549, Plat Records, Collin County, Texas, said bearing being North 0°04'46" West.
  - According to Map No. 48085C0235 J dated June 2, 2009, of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone X (unshaded) and is not within a special flood hazard area. If this site is within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - Notice: Selling a portion of this addition by metes and bounds is a violation of town ordinance and state law and is subject to fines and withholding of utilities and building permits.
  - The purpose of this Final Plat is to dedicate easements necessary for development of Lot 3B.
  - Prior to the recordation of the plat, the hatched property will be placed under the ownership of GOP #3 LLC and the TxDOT easement will be released.

**DEVAPP-25-0032**  
**FINAL PLAT**  
**GATES OF PROSPER**  
**BLOCK B, LOT 3B**  
 AN ADDITION TO THE TOWN OF PROSPER  
 12.1932 ACRES  
 SITUATED IN THE  
 JOHN YARNELL SURVEY, ABSTRACT NO. 1038  
 TOWN OF PROSPER, COLLIN COUNTY, TEXAS

**Kimley»Horn**  
 801 Cherry Street, Unit 11, # 1300      Tel. No. (817) 335-6511  
 Fort Worth, Texas 76102      FIRM # 10194040      www.kimley-horn.com

**OWNER:**  
 GOP #3, LLC  
 1 Cowboys Way  
 Frisco, TX 75034  
 P (972) 497-4394  
 Contact: Thomas L. Walker

**ENGINEER:**  
 Kimley-Horn and Associates  
 280 East Davis St., Suite 100  
 McKinney, TX 75034  
 P (469) 301-2594  
 Contact: Rachel Korus, P.E.

**SURVEYOR:**  
 Kimley-Horn and Associates, Inc.  
 801 Cherry Street, Unit 11, Suite 1300  
 Fort Worth, TX 76102  
 P (817) 335-6511  
 Contact: Michael C. Billingsley, R.P.L.S.

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 50'	GRW	MCB	5/21/2025	068109074	1 OF 2

D:\G\NAME\WIMBLEY-HORN\CDL\TWP\FW\GATES OF PROSPER\BLOCK B\LOT 3B\FINAL PLAT\DWG\GATES OF PROSPER\_FINAL\_PLAT\_25-0032.dwg PLOTTED BY: WELLS, HELEN/5/21/2025 11:11 AM LAST SAVED: 5/21/2025 11:10 AM



**OWNER'S CERTIFICATE**

STATE OF TEXAS §

COUNTY OF COLLIN §

**BEGINNING** at the east end of a right-of-way corner clip at the intersection of the north right-of-way line of South Preston Road (S.H. 289) (a variable width right-of-way) and the east right-of-way line of Marketplace Drive (a variable width right-of-way);

**THENCE** North 45°24'28" West, along the said right-of-way corner clip, a distance of 35.10 feet to a point for the west end of the said corner clip;

**THENCE** along the said east right-of-way line of Marketplace Drive, the following four (4) calls:

North 00°00'00" East, a distance of 540.55 feet to a point for the beginning of a tangent curve to the left with a radius of 695.00 feet, a central angle of 00°46'22", and a chord bearing and distance of North 00°23'11" West, 9.37 feet;

In a northerly direction, with said tangent curve to the left, an arc distance of 9.37 feet to a point for corner;

North 01°22'45" West, a distance of 149.48 feet to a point for corner;

North 06°35'33" West, a distance of 125.00 feet to a point for the south end of a right-of-way corner clip at the intersection of the said east right-of-way line of Marketplace Drive and the south right-of-way line of Gates Parkway (a variable width right-of-way);

**THENCE** North 35°37'22" East, along the said right-of-way corner clip, a distance of 37.03 feet to the north end of said right-of-way corner clip for the beginning of a non-tangent curve to the left with a radius of 695.00 feet, a central angle of 20°54'14", and a chord bearing and distance of North 66°21'20" East, 252.16 feet.

**THENCE** in a northeasterly direction, along the said south right-of-way line of Gates Parkway and with said non-tangent curve to the left, an arc distance of 253.57 feet to a point for corner;

**THENCE** South 34°07'16" East, departing the said south right-of-way line of Gates Parkway, a distance of 31.29 feet to a point for the beginning of a tangent curve to the right with a radius of 95.00 feet, a central angle of 26°52'15", and a chord bearing and distance of South 20°41'08" East, 44.15 feet.

**THENCE** in a southerly direction, with said tangent curve to the right, an arc distance of 44.55 feet to a point for corner;

**THENCE** South 07°15'01" East, a distance of 41.30 feet to a point at the beginning of a tangent curve to the left with a radius of 95.00 feet, a central angle of 45°37'31", and a chord bearing and distance of South 30°03'46" East, 73.67 feet;

**THENCE** in a southeasterly direction, with said tangent curve to the left, an arc distance of 75.65 feet to a point for corner;

**THENCE** South 52°52'32" East, a distance of 581.63 feet to a point at the beginning of a tangent curve to the left with a radius of 250.00 feet, a central angle of 04°34'46", and a chord bearing and distance of South 55°09'55" East, 19.98 feet;

**THENCE** in a southeasterly direction, with said tangent curve to the left, an arc distance of 19.98 feet to a point for corner;

**THENCE** South 57°27'18" East, a distance of 79.10 feet to a point for corner in the said south right-of-way line of South Preston Road;

**THENCE** along the said south right-of-way line of South Preston Road, the following seven (7) calls:

South 27°12'09" West, a distance of 26.45 feet to a point for corner;

South 29°00'05" West, a distance of 41.07 feet to a point for corner;

North 60°59'55" West, a distance of 17.24 feet to a point for corner;

South 46°03'36" West, a distance of 504.44 feet to a point for corner;

South 89°12'09" West, a distance of 153.99 feet to a point for the beginning of a non-tangent curve to the left with a radius of 233.10 feet, a central angle of 11°42'36", and a chord bearing and distance of North 85°16'11" West, 47.56 feet;

In a westerly direction, with said non-tangent curve to the left, an arc distance of 47.64 feet to a point for corner;

South 89°11'05" West, a distance of 219.97 feet to the **POINT OF BEGINNING** and containing 531,136 square feet or 12.1932 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT **GOP #3, LLC, acting** herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as **GATES OF PROSPER, BLOCK B, LOT 3B**, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. **GOP #3, LLC**, does herein certify the following:

1. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
2. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
3. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
4. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
5. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
6. The Town of Prosper and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
7. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
8. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Prosper, Texas.

WITNESS, my hand, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

**BY: GOP #3, LLC**

**BY:**

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Thomas L. Walker, CFO

STATE OF TEXAS §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Thomas L. Walker, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public, State of \_\_\_\_\_

**ACCESS EASEMENT**

The undersigned covenants and agrees that the access easement(s) may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress, and regress in, along, upon, and across said premises.

**FIRE LANE EASEMENT**

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

**LANDSCAPE EASEMENT**

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any 'homeowners' association hereafter established for the owners of lots in this subdivision and/or the owner of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

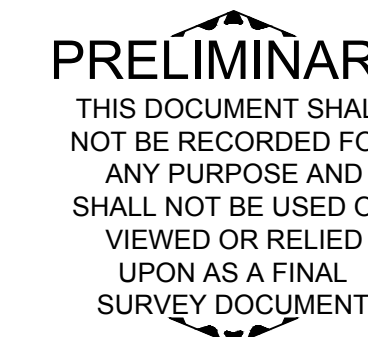
**SURVEYOR'S CERTIFICATE**

Know All Men By These Presents:

That I, Michael C. Billingsley, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Michael C. Billingsley  
Registered Professional Land Surveyor No. 6558  
Kimley-Horn and Associates, Inc.  
801 Cherry Street, Unit 11, Suite 1300  
Fort Worth, Texas 76102  
Phone 817-335-6511



STATE OF TEXAS §

COUNTY OF TARRANT §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Michael B. Marx, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public, State of Texas

**CERTIFICATE OF APPROVAL**

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the Planning & Zoning Commission of the Town of Prosper, Texas.

\_\_\_\_\_  
Town Secretary  
\_\_\_\_\_  
Engineering Department  
\_\_\_\_\_  
Development Services Department

OWNER:  
GOP #3, LLC  
1 Cowboys Way  
Frisco, TX 75034  
P (972) 497-4394  
Contact: Thomas L. Walker

ENGINEER:  
Kimley-Horn and Associates  
260 East Davis St., Suite 100  
McKinney, TX 75034  
P (469) 301-2594  
Contact: Rachel Korus, P.E.

SURVEYOR:  
Kimley-Horn and Associates, Inc.  
801 Cherry Street, Unit 11, Suite 1300  
Fort Worth, Texas 76102  
P (817) 335-6511  
Contact: Michael C. Billingsley, R.P.L.S.

DEVAPP-25-0032  
FINAL PLAT  
**GATES OF PROSPER  
BLOCK B, LOT 3B**  
AN ADDITION TO THE TOWN OF PROSPER  
12.1932 ACRES  
SITUATED IN THE  
JOHN YARNELL SURVEY, ABSTRACT NO. 1038  
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**Kimley»Horn**

801 Cherry Street, Unit 11, # 1300      Tel. No. (817) 335-6511  
Fort Worth, Texas 76102      FIRM # 10194040      www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	GRW	MCB	5/21/2025	068109074	2 OF 2



## PLANNING

**To:** Planning & Zoning Commission **Item No. 4h**  
**From:** Jerron Hicks, Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Façade Plan for Gates of Prosper, Phase 3B, Block B, Lot 3B  
**Meeting:** October 21, 2025

---

**Agenda Item:**

Consider and act upon a request for a Façade Plan for Restaurants at Gates of Prosper, Phase 3B, Block B, Lot 3B, on 12.2± acres, located on the northwest corner of Preston Road and University Drive. (DEVAPP-25-0031)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Town Center.

**Zoning:**

The property is zoned Planned Development-67 (Mixed Use).

**Conformance:**

The Façade Plan conforms to the development standards of Planned Development-67.

**Description of Agenda Item:**

The Façade Plan is for three restaurant buildings totaling 38,516 square feet.

**Companion Item:**

As companion items, the Site Plan (DEVAPP-25-0033) and Final Plat (DEVAPP-25-0032) are on this Planning & Zoning Commission agenda.

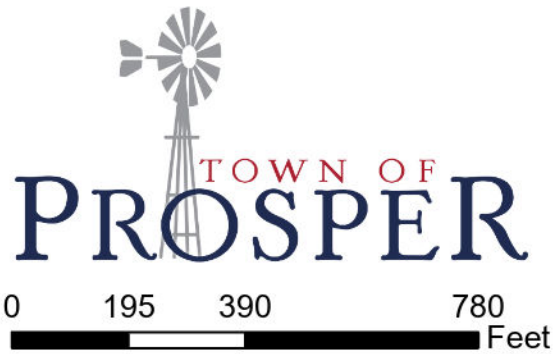
**Attachments:**

1. Location Map
2. Façade Plan



**Town Staff Recommendation:**

Town Staff recommends approval of the Façade Plan, subject to Town Council approval.

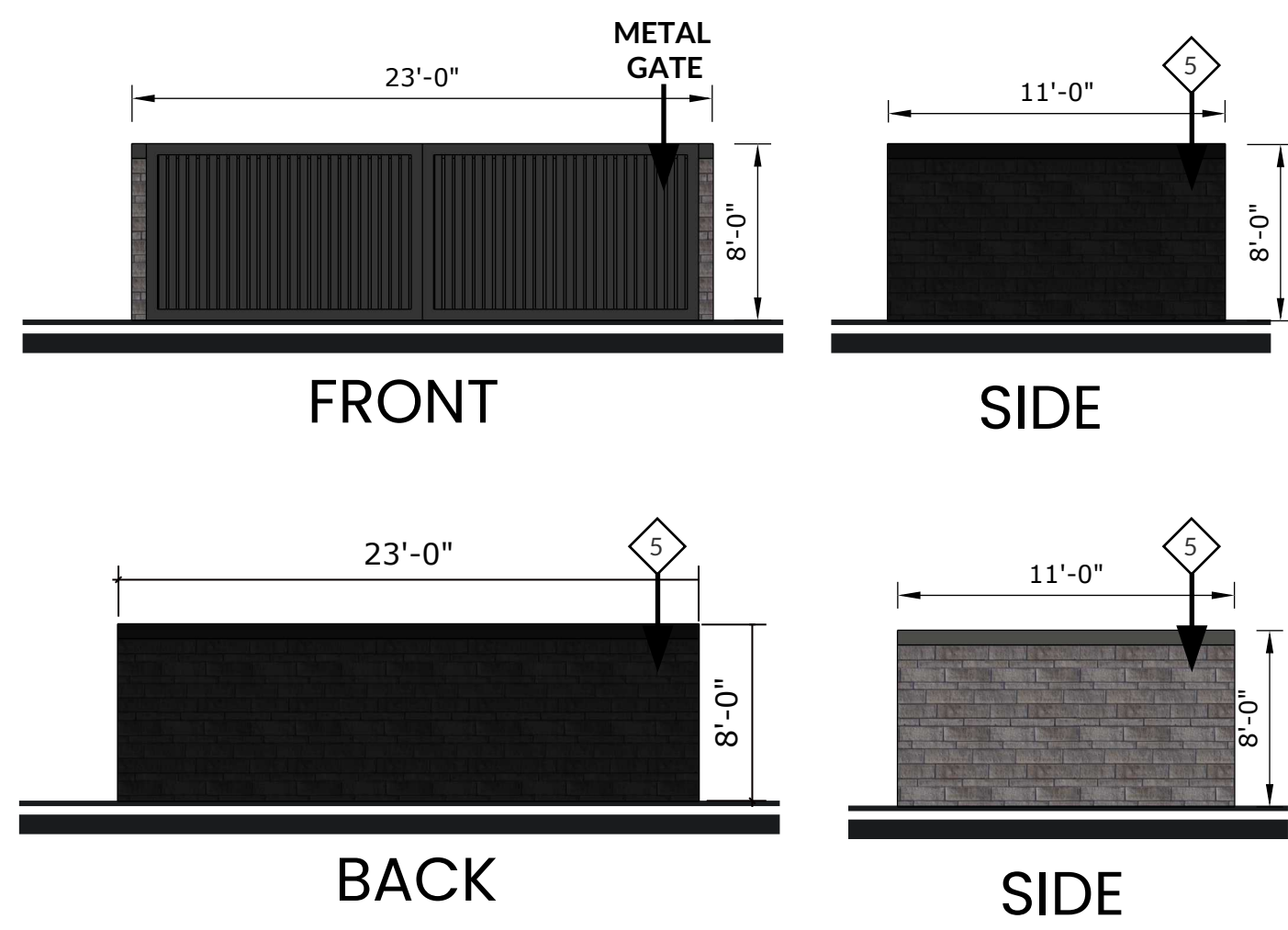


This map for illustration purposes only

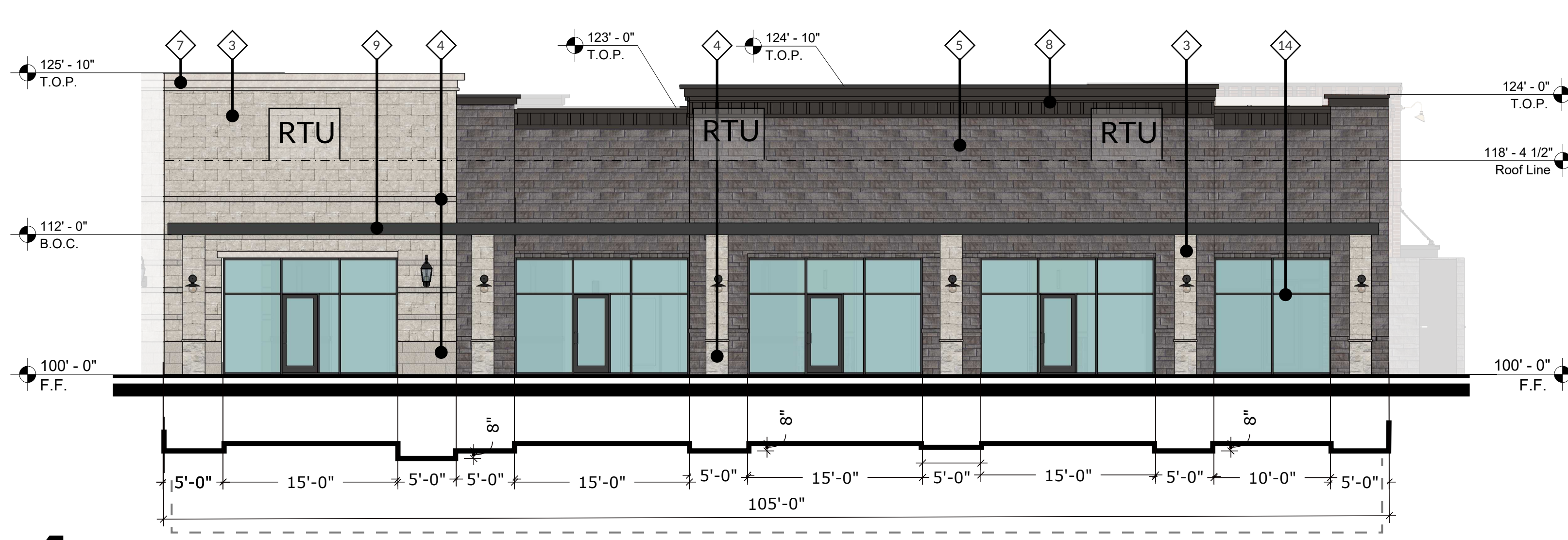
# DEVAPP-25-0031

Gates of Prosper, Phase 3B,  
Block B, Lot 3B



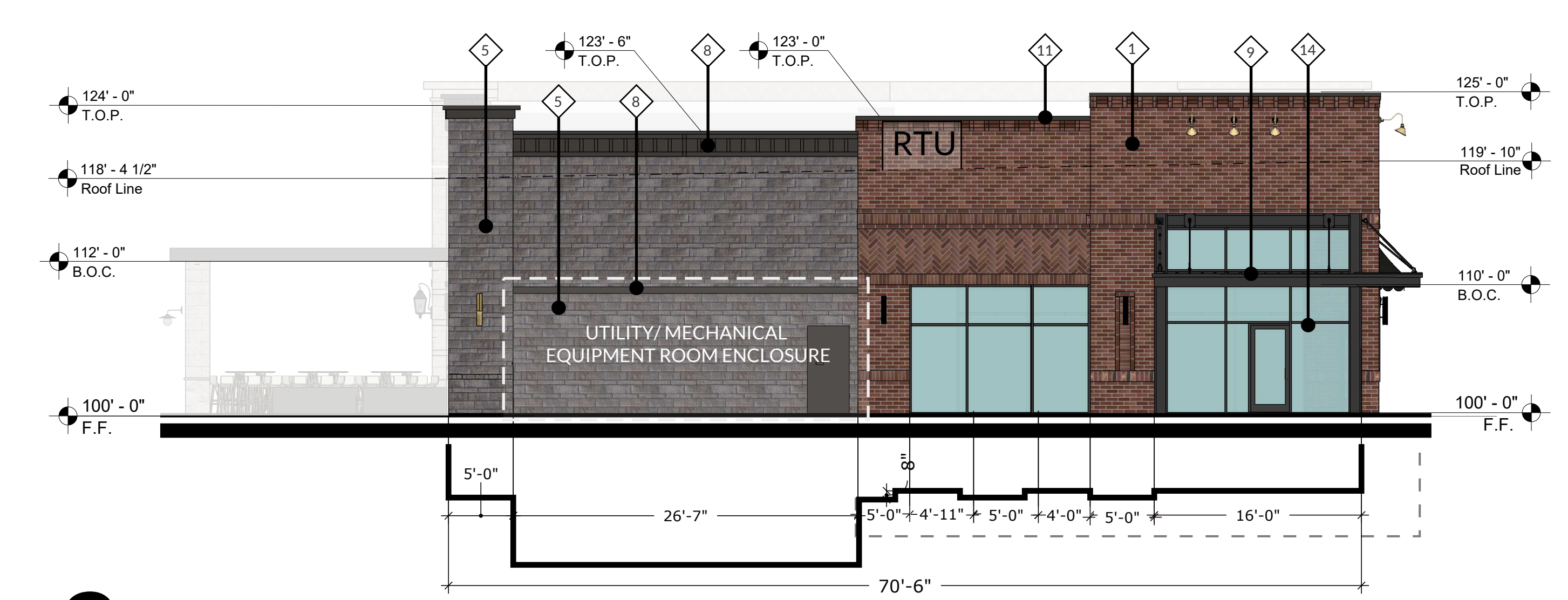


**5 DUMPSTER ENCLOSURE ELEVATIONS**  
SCALE: NTS



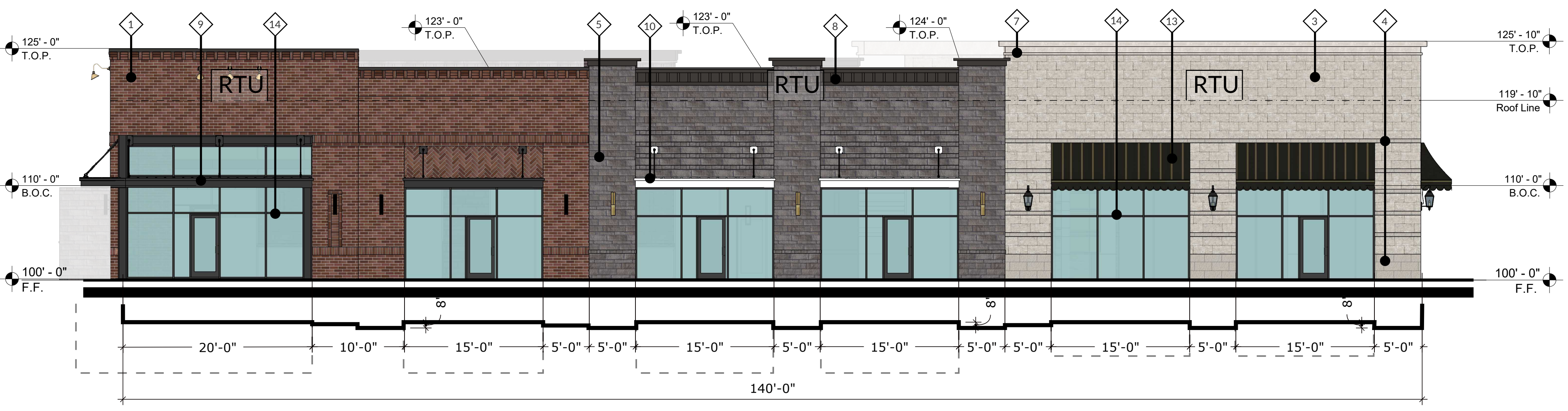
**4 BUILDING A EAST ELEVATION (BACK)**  
SCALE: 1/8" = 1'-0"

EAST ELEVATION BLDG A (BACK)		
PRIMARY MATERIALS (MASORNY) SF:	1573	85%
1-BRICK	0	
2-BRICK	0	
3-MFR.STONE	379	
4-MFR.STONE	66	
5-MFR.STONE	1128	
SECONDARY MATERIALS SF:	275	15%
EIFS	195	
METAL	80	
TOTAL MATERIALS SF:	1848	100%
GLAZING SF:	699	
TOTAL WALL AREA SF:	2547	



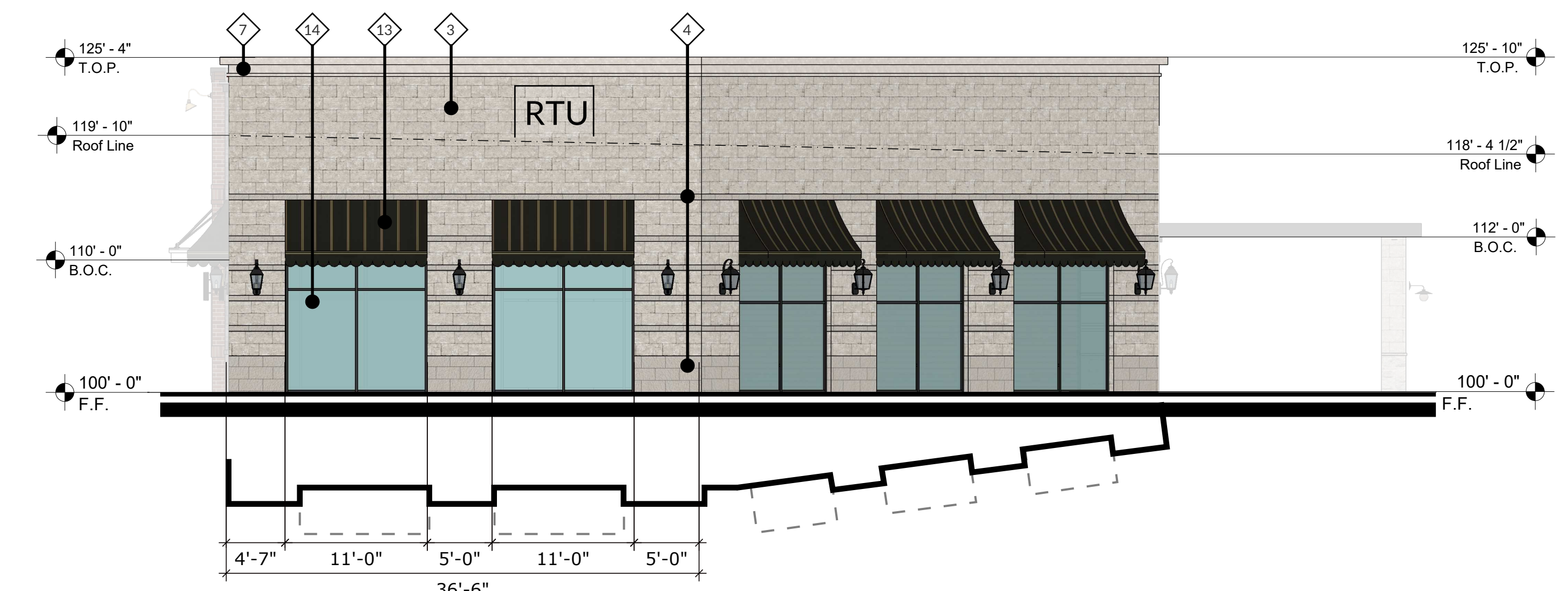
**3 BUILDING A NORTH ELEVATION (SIDE)**  
SCALE: 1/8" = 1'-0"

NORTH ELEVATION BLDG A (SIDE)		
PRIMARY MATERIALS (MASORNY) SF:	1357	91%
1-BRICK	625	
2-BRICK	732	
3-MFR.STONE	0	
4-MFR.STONE	0	
5-MFR.STONE	0	
SECONDARY MATERIALS SF:	136	9%
EIFS	28	
METAL	108	
TOTAL MATERIALS SF:	1493	100%
GLAZING SF:	274	
TOTAL WALL AREA SF:	1767	



**2 BUILDING A WEST ELEVATION (FRONT)**  
SCALE: 1/8" = 1'-0"

WEST ELEVATION BLDG A (FRONT)		
PRIMARY MATERIALS (MASORNY) SF:	2234	91%
1-BRICK	798	
2-BRICK	0	
3-MFR.STONE	630	
4-MFR.STONE	643	
5-MFR.STONE	143	
SECONDARY MATERIALS SF:	222	9%
EIFS	87	
METAL	135	
TOTAL MATERIALS SF:	2456	100%
GLAZING SF:	1013	
TOTAL WALL AREA SF:	3469	



**1 BUILDING A SOUTH ELEVATION (SIDE)**  
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION BLDG A (SIDE)		
PRIMARY MATERIALS (MASORNY) SF:	1648	94%
1-BRICK	0	
2-BRICK	0	
3-MFR.STONE	1540	
4-MFR.STONE	0	
5-MFR.STONE	108	
SECONDARY MATERIALS SF:	112	6%
EIFS	82	
METAL	30	
TOTAL MATERIALS SF:	1760	100%
GLAZING SF:	610	
TOTAL WALL AREA SF:	2370	

**ELEVATION NOTES**

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE PER THE SPECIFICATIONS OF THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
- WINDOWS SHALL BE MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN(10) PERCENT.
- ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

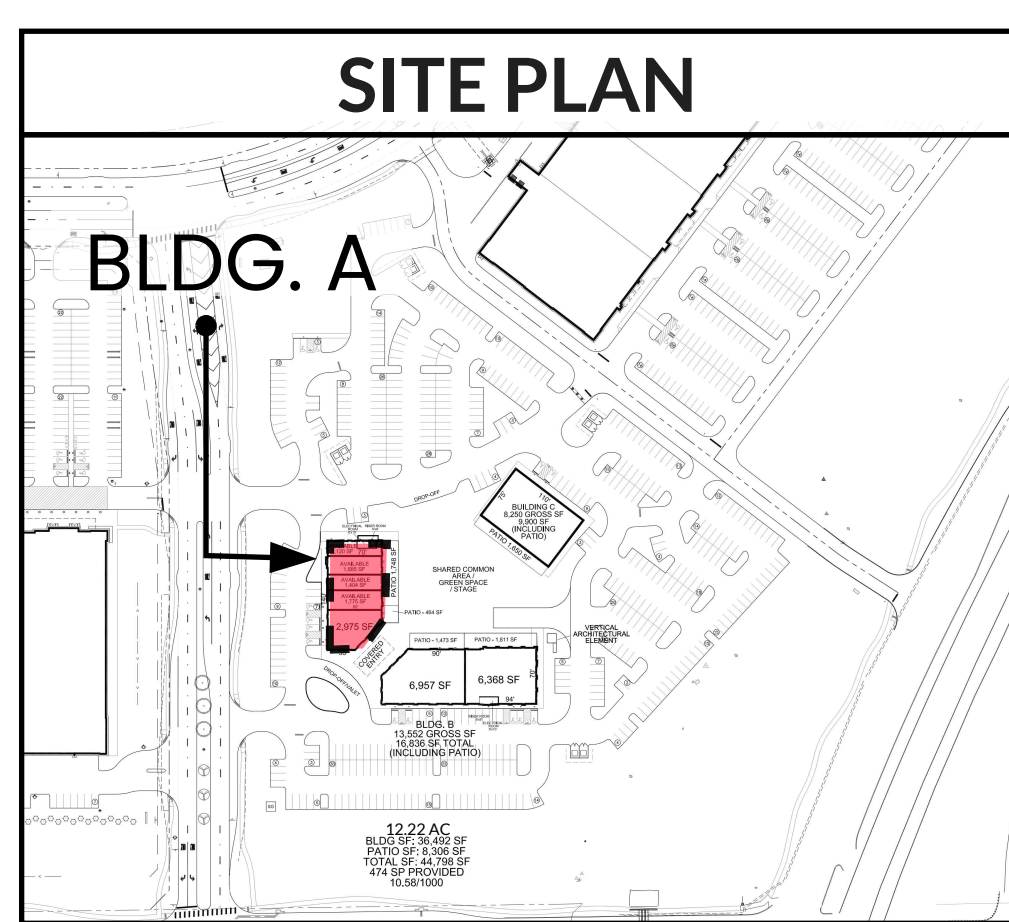
**MATERIAL LEGEND**

PRIMARY MATERIALS - MASONRY

1 BRICK - ENDICOTT - MEDIUM IRONSPOK 46	4 MANUFACTURED STONE CORONADO STONE - SPLIT LIMESTONE - CREAM
2 BRICK - ACME - OYSTER BAY - KING SIZE	5 MANUFACTURED STONE CORONADO STONE - PRAIRIE STONE - SMOKE
3 MANUFACTURED STONE CORONADO STONE - FRENCH LIMESTONE - CREAM	

SECONDARY MATERIALS

7 EIFS - 449 BUCKSKIN	11 METAL COPING - DARK BRONZE
8 EIFS - 616 KING'S GRAY	12 METAL COPING - SIERRA TAN
9 PRE-FAB ALUMINIUM CANOPY - SW 7048 URBANE BRONZE	13 CANVAS AWNING W/ PRE-FAB ALUMINIUM STRUCTURE
10 PRE-FAB ALUMINIUM CANOPY - SW 7004 SNOWBOUND	
14 GLAZING - DARK BRONZE	



**FACADE PLAN**

GATES OF PROSPER, PHASE 03B  
BLOCK B, LOT 3B

DEVAPP-25-0031  
BEING ALL OF THE GATES OF PROSPER PHASE 3  
BLOCK B, LOT 3  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

SUBMITTED:  
10/10/2025

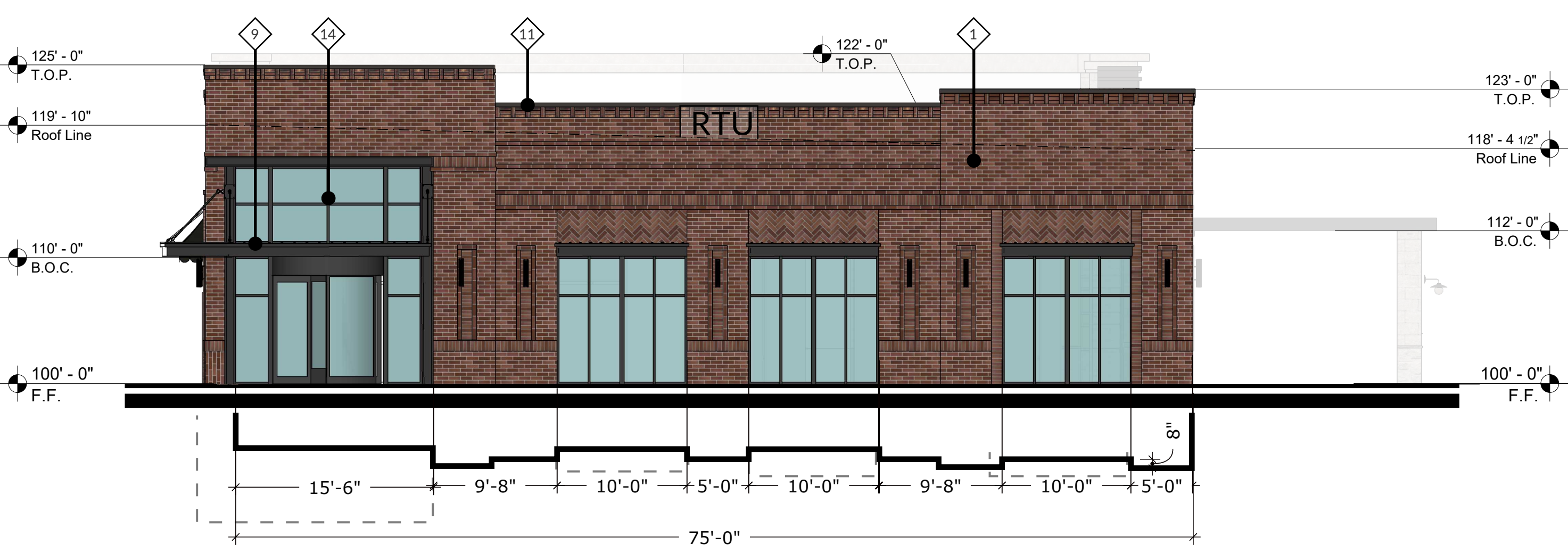
OWNER/DEVELOPER:  
380 & 289 LP  
1 COWBOYS WAY  
FRISCO, TEXAS 75034  
CONTACT:  
NICHOLAS LINK  
PHONE: (972)497-4854

ENGINEER:  
KIMLEY-HORN AND ASSOCIATES  
INC.  
260 EAST DAVIS STREET SUITE 100  
MCKINNEY, TEXAS 75069  
CONTACT: RACHEL KORUS, P.E.  
PHONE: (469) 301-2594

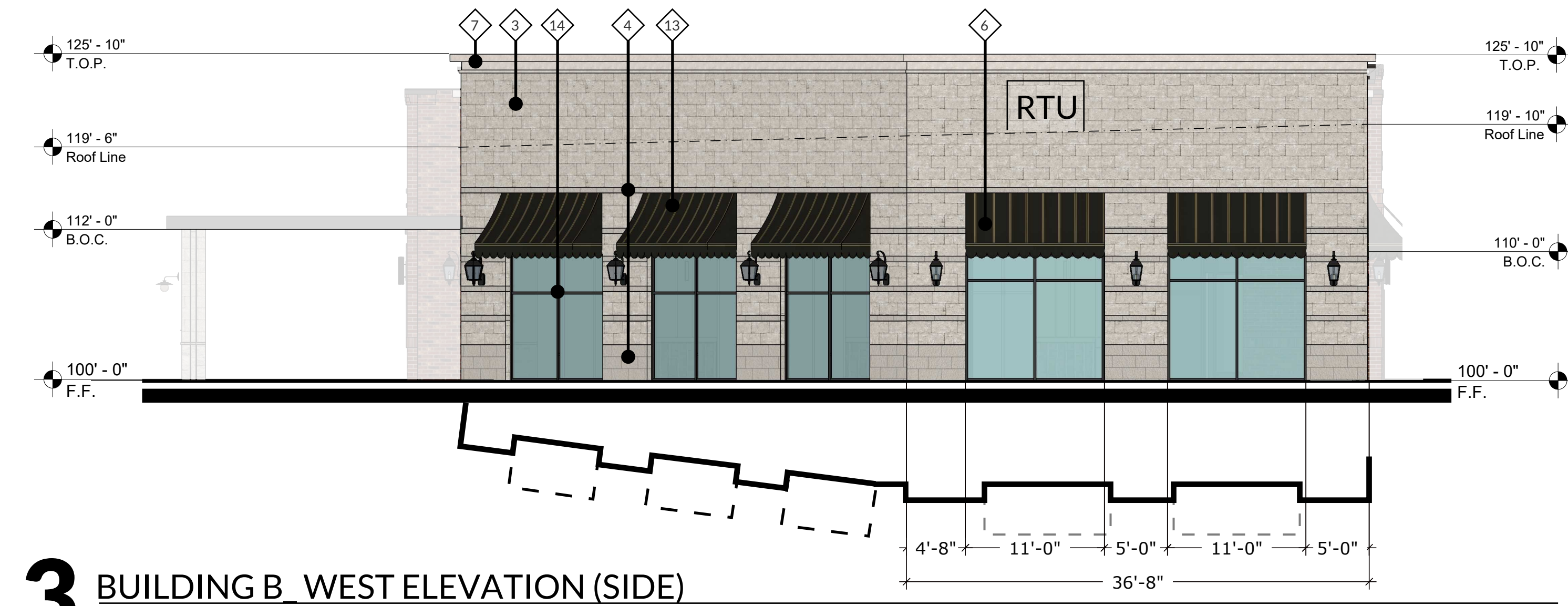
ARCHITECT:  
O'BRIEN ARCHITECTS  
1722 ROUTH ST., SUITE 122  
DALLAS, TEXAS 75201  
CONTACT: DAVID TRUONG  
PHONE: (972) 788-1010

**GATES OF PROSPER PHASE III – RESTAURANT PARK**



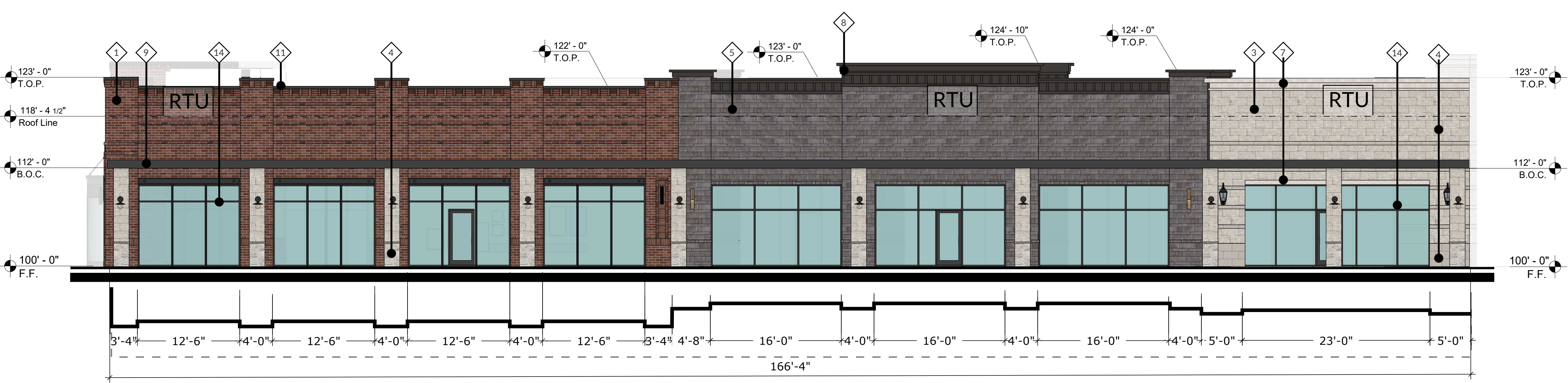


EAST ELEVATION BLDG B (SIDE)	
PRIMARY MATERIALS (MASORNY) SF: <b>1195 88%</b>	
1-BRICK	1195
2-BRICK	0
3-MFR.STONE	0
4-MFR.STONE	0
5-MFR.STONE	0
SECONDARY MATERIALS SF: <b>160 12%</b>	
EIFS	25
METAL	135
TOTAL MATERIALS SF: <b>1355 100%</b>	
GLAZING SF:	566
TOTAL WALL AREA SF:	1921



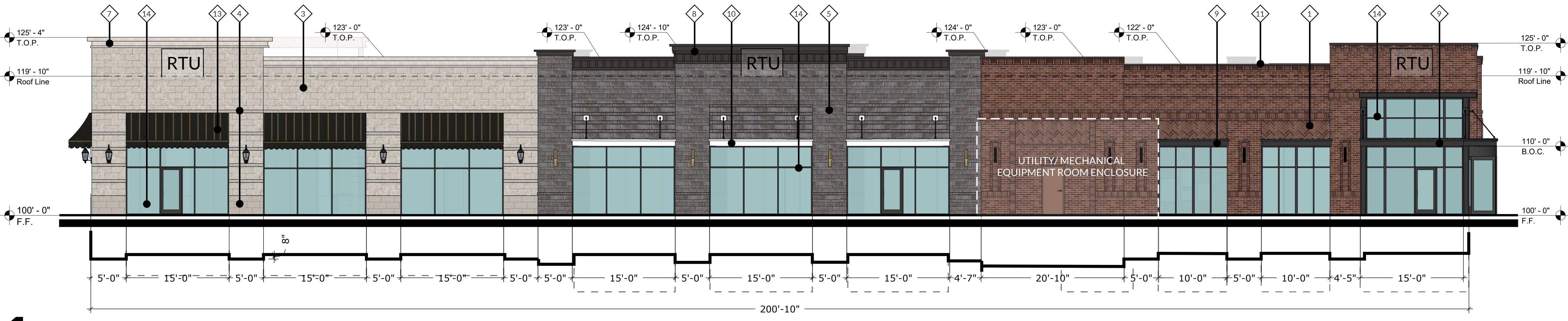
**3 BUILDING B WEST ELEVATION (SIDE)**  
SCALE: 1/8" = 1'-0"

WEST ELEVATION BLDG B (SIDE)	
PRIMARY MATERIALS (MASORNY) SF: <b>1576 91%</b>	
1-BRICK	0
2-BRICK	0
3-MFR.STONE	1249
4-MFR.STONE	327
5-MFR.STONE	0
SECONDARY MATERIALS SF: <b>154 9%</b>	
EIFS	109
METAL	45
TOTAL MATERIALS SF: <b>1730 100%</b>	
GLAZING SF:	516
TOTAL WALL AREA SF:	2246



NORTH ELEVATION BLDG B (BACK)	
PRIMARY MATERIALS (MASORNY) SF: <b>2393 86%</b>	
1-BRICK	1047
2-BRICK	0
3-MFR.STONE	374
4-MFR.STONE	66
5-MFR.STONE	906
SECONDARY MATERIALS SF: <b>399 14%</b>	
EIFS	202
METAL	197
TOTAL MATERIALS SF: <b>2792 100%</b>	
GLAZING SF:	1189
TOTAL WALL AREA SF:	3981

**2 BUILDING B NORTH ELEVATION (BACK)**  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION BLDG B (FRONT)	
PRIMARY MATERIALS (MASORNY) SF: <b>3138 90%</b>	
1-BRICK	1104
2-BRICK	0
3-MFR.STONE	870
4-MFR.STONE	972
5-MFR.STONE	192
SECONDARY MATERIALS SF: <b>333 10%</b>	
EIFS	192
METAL	141
TOTAL MATERIALS SF: <b>3471 100%</b>	
GLAZING SF:	1451
TOTAL WALL AREA SF:	4922

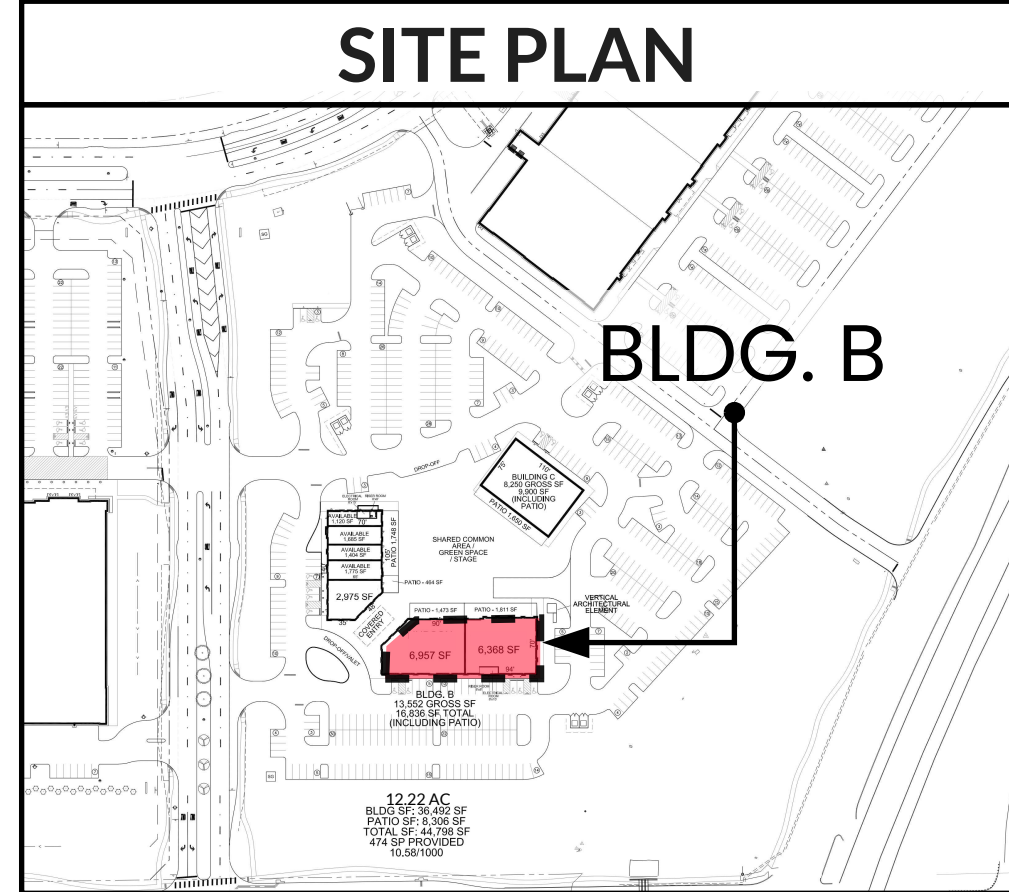
**1 BUILDING B SOUTH ELEVATION (FRONT)**  
SCALE: 1/8" = 1'-0"

**ELEVATION NOTES**

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE PER THE SPECIFICATIONS OF THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
- WINDOWS SHALL BE MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN(10) PERCENT.
- ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

**MATERIAL LEGEND**

PRIMARY MATERIALS - MASONRY	
1 BRICK - ENDICOTT - MEDIUM IRONSPOK 46	4 MANUFACTURED STONE CORONADO STONE - SPLIT LIMESTONE - CREAM
2 BRICK - ACME - OYSTER BAY - KING SIZE	5 MANUFACTURED STONE CORONADO STONE - PRAIRIE STONE - SMOKE
3 MANUFACTURED STONE CORONADO STONE - FRENCH LIMESTONE - CREAM	
SECONDARY MATERIALS	
7 EIFS - 449 BUCKSKIN	11 METAL COPING - DARK BRONZE
8 EIFS - 616 KING'S GRAY	12 METAL COPING - SIERRA TAN
9 PRE-FAB ALUMINIUM CANOPY - SW 7048 URBANE BRONZE	13 CANVAS AWNING W/ PRE-FAB ALUMINIUM STRUCTURE
10 PRE-FAB ALUMINIUM CANOPY - SW 7004 SNOWBOUND	
14 GLAZING - DARK BRONZE	



**FACADE PLAN**

GATES OF PROSPER, PHASE 03B  
BLOCK B, LOT 3B

DEVAPP-25-0031  
BEING ALL OF THE GATES OF PROSPER PHASE 3  
BLOCK B, LOT 3  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

SUBMITTED:  
10/10/2025

OWNER/DEVELOPER:  
380 & 289 LP  
1 COWBOYS WAY  
FRISCO, TEXAS 75034  
CONTACT:  
NICHOLAS LINK  
PHONE: (972)497-4854

ENGINEER:  
KIMLEY-HORN AND ASSOCIATES  
INC.  
260 EAST DAVIS STREET SUITE 100  
MCKINNEY, TEXAS 75069  
CONTACT: R ACHEL KORUS, P.E.  
PHONE: (469) 301-2594

ARCHITECT:  
O'BRIEN ARCHITECTS  
1722 ROUTH ST., SUITE 122  
DALLAS, TEXAS 75201  
CONTACT: DAVID TRUONG  
PHONE: (972) 788-1010

**GATES OF PROSPER PHASE III - RESTAURANT PARK**



PROSPER, TX

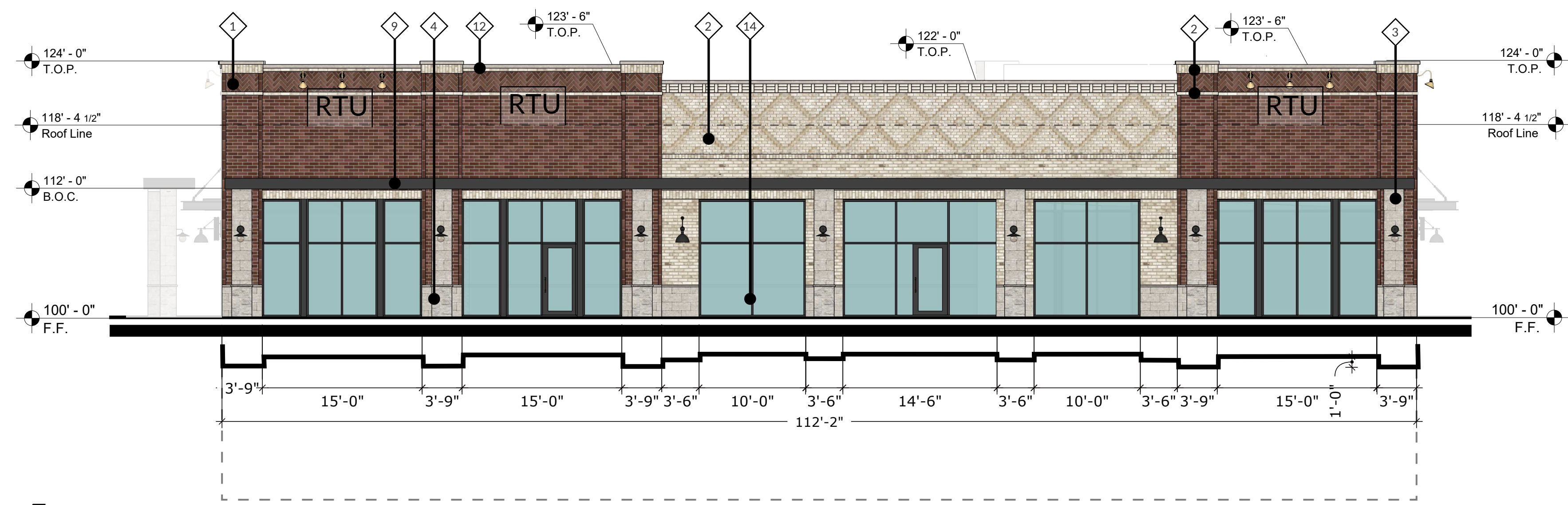
**BLDG.B ELEVATIONS**

SCALE : 1/8" = 1'-0"

10.10.2025



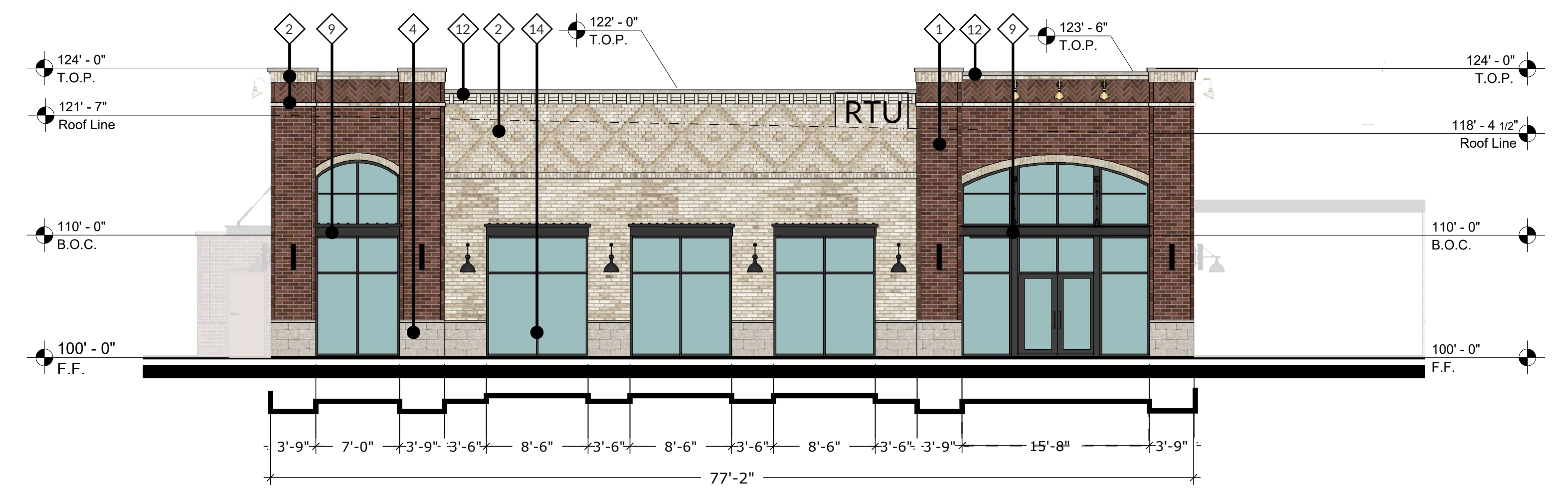




**4 BUILDING C SOUTH ELEVATION (BACK)**

SCALE: 1/8" = 1'-0"

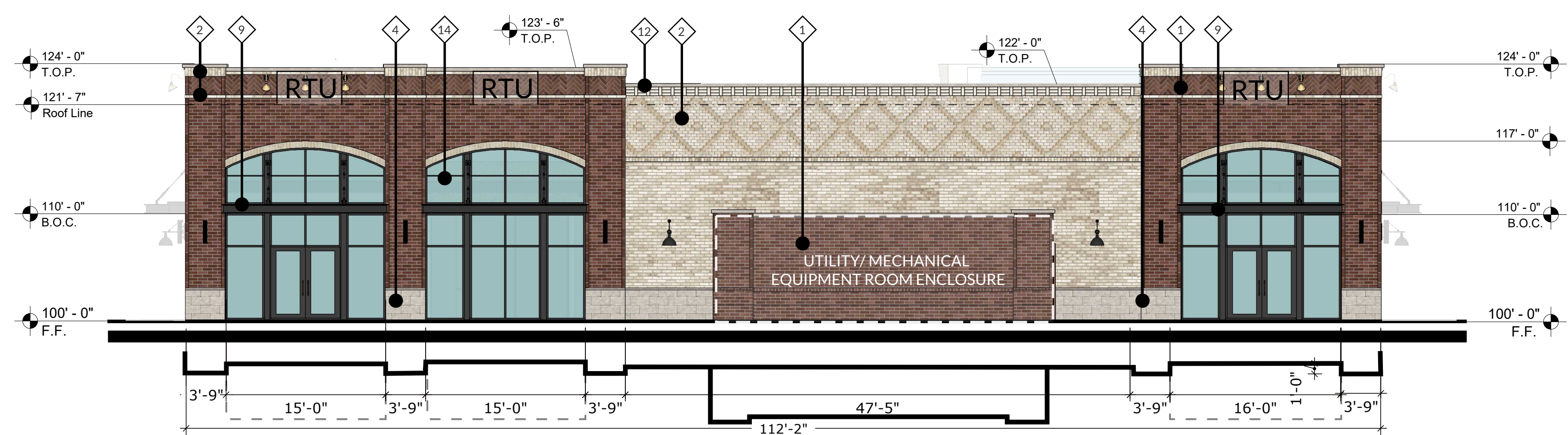
SOUTH ELEVATION BLDG C (BACK)	
PRIMARY MATERIALS (MASORNY) SF:	<b>1623 88%</b>
1-BRICK	844
2-BRICK	681
3-MFR.STONE	0
4-MFR.STONE	98
5-MFR.STONE	0
SECONDARY MATERIALS SF:	<b>220 12%</b>
EIFS	30
METAL	190
TOTAL MATERIALS SF:	<b>1843 100%</b>
GLAZING SF:	763
TOTAL WALL AREA SF:	2606



**3 BUILDING C WEST ELEVATION (SIDE)**

SCALE: 1/8" = 1'-0"

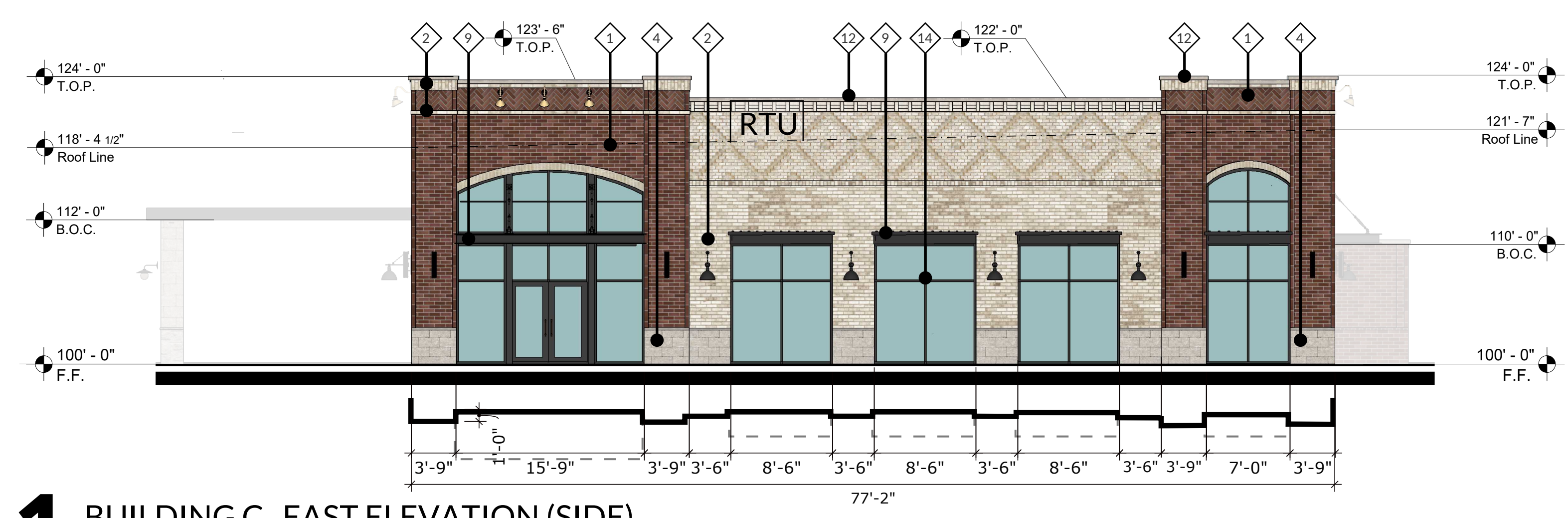
WEST ELEVATION BLDG C (SIDE)	
PRIMARY MATERIALS (MASORNY) SF:	<b>1488 96%</b>
1-BRICK	879
2-BRICK	543
3-MFR.STONE	0
4-MFR.STONE	66
5-MFR.STONE	0
SECONDARY MATERIALS SF:	<b>62 4%</b>
EIFS	32
METAL	30
TOTAL MATERIALS SF:	<b>1550 100%</b>
GLAZING SF:	205
TOTAL WALL AREA SF:	1755



**2 BUILDING C NORTH ELEVATION (FRONT)**

SCALE: 1/8" = 1'-0"

NORTH ELEVATION BLDG C (FRONT)	
PRIMARY MATERIALS (MASORNY) SF:	<b>1574 93%</b>
1-BRICK	655
2-BRICK	802
3-MFR.STONE	0
4-MFR.STONE	117
5-MFR.STONE	0
SECONDARY MATERIALS SF:	<b>110 7%</b>
EIFS	31
METAL	79
TOTAL MATERIALS SF:	<b>1684 100%</b>
GLAZING SF:	850
TOTAL WALL AREA SF:	2534



**1 BUILDING C EAST ELEVATION (SIDE)**

SCALE: 1/8" = 1'-0"

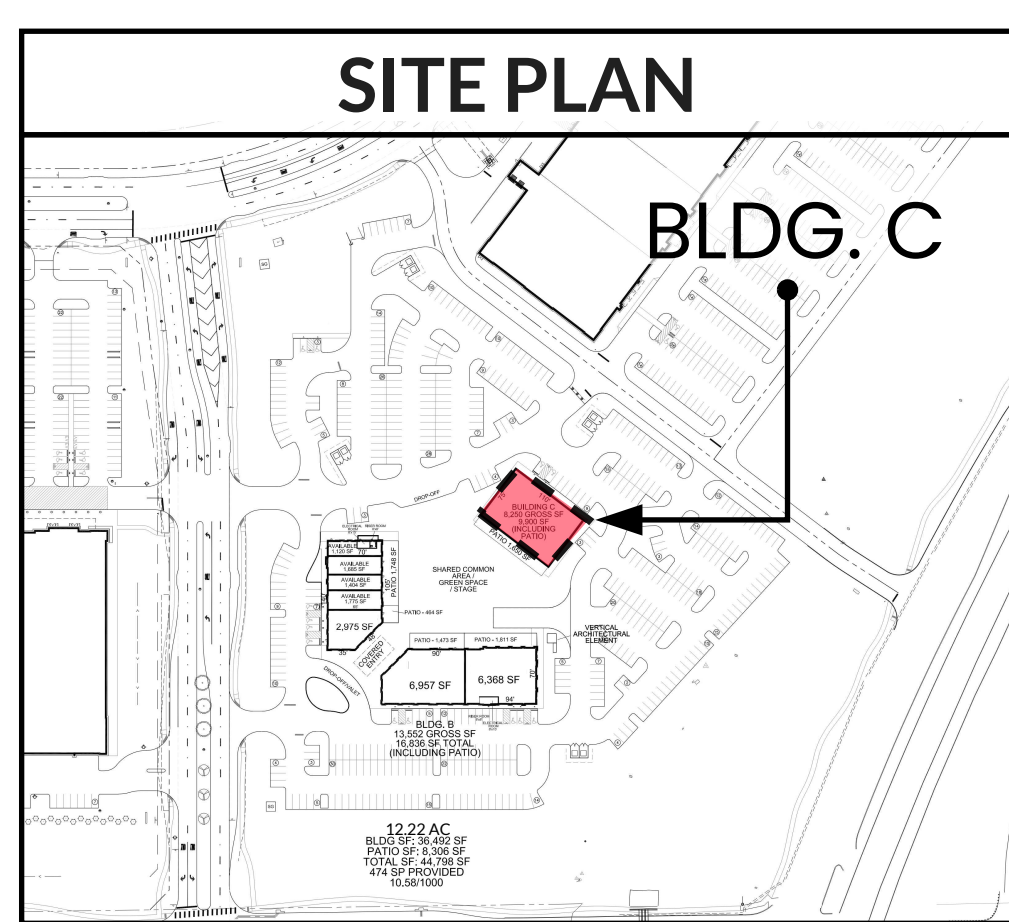
EAST ELEVATION BLDG C (SIDE)	
PRIMARY MATERIALS (MASORNY) SF:	<b>1143 94%</b>
1-BRICK	389
2-BRICK	667
3-MFR.STONE	0
4-MFR.STONE	87
5-MFR.STONE	0
SECONDARY MATERIALS SF:	<b>74 6%</b>
EIFS	21
METAL	53
TOTAL MATERIALS SF:	<b>1217 100%</b>
GLAZING SF:	572
TOTAL WALL AREA SF:	1789

**ELEVATION NOTES**

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**MATERIAL LEGEND**

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10 PRE-FAB ALUMINIUM CANOPY - SW 7004 SNOWBOUND	
14 GLAZING - DARK BRONZE	



**FACADE PLAN**

GATES OF PROSPER, PHASE 03B  
BLOCK B, LOT 3B

DEVAPP-25-0031  
BEING ALL OF THE GATES OF PROSPER PHASE 3  
BLOCK B, LOT 3  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

SUBMITTED:  
10/10/2025

OWNER/DEVELOPER:  
380 & 289 LP  
1 COWBOYS WAY  
FRISCO, TEXAS 75034  
CONTACT:  
NICHOLAS LINK  
PHONE: (972)497-4854

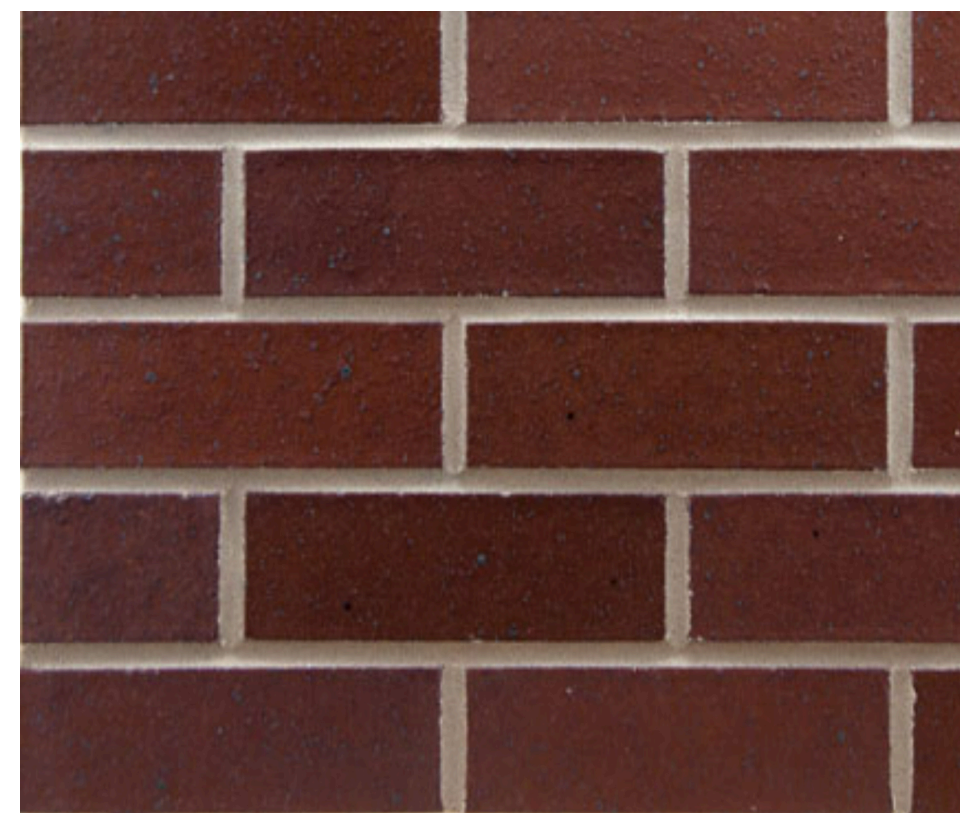
ENGINEER:  
KIMLEY-HORN AND ASSOCIATES  
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260 EAST DAVIS STREET SUITE 100  
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CONTACT: RACHEL KORUS, P.E.  
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O'BRIEN ARCHITECTS  
1722 ROUTH ST., SUITE 122  
DALLAS, TEXAS 75201  
CONTACT: DAVID TRUONG  
PHONE: (972) 788-1010

**GATES OF PROSPER PHASE III – RESTAURANT PARK**



## BRICK



1 ENDICOTT FACE BRICK - MEDIUM IRONSPOT #46



2 ACME - OYSTER BAY - KING SIZE



3 CORONADO STONE - 12X24" FRENCH LIMESTONE - CREAM

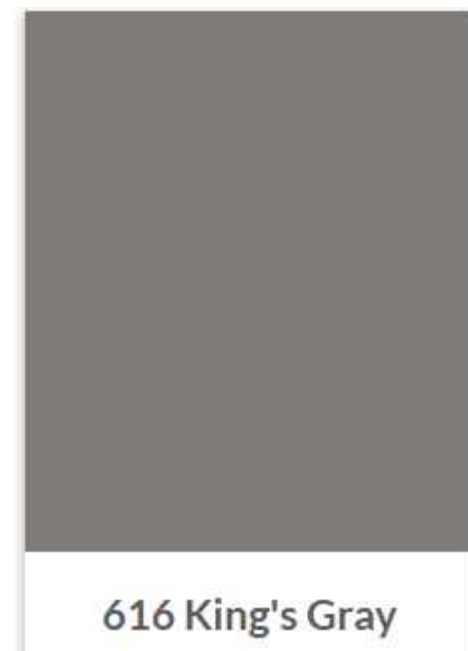


4 CORONADO STONE - 12X24" SPLIT LIMESTONE - CREAM



5 CORONADO STONE - PRAIRIE STONE - SMOKE

## EIFS CORNICE & DETAILING



7 DRYVIT - 616 KING'S GRAY



8 DRYVIT - 449 BUCKSKIN

## CANVAS AWNING

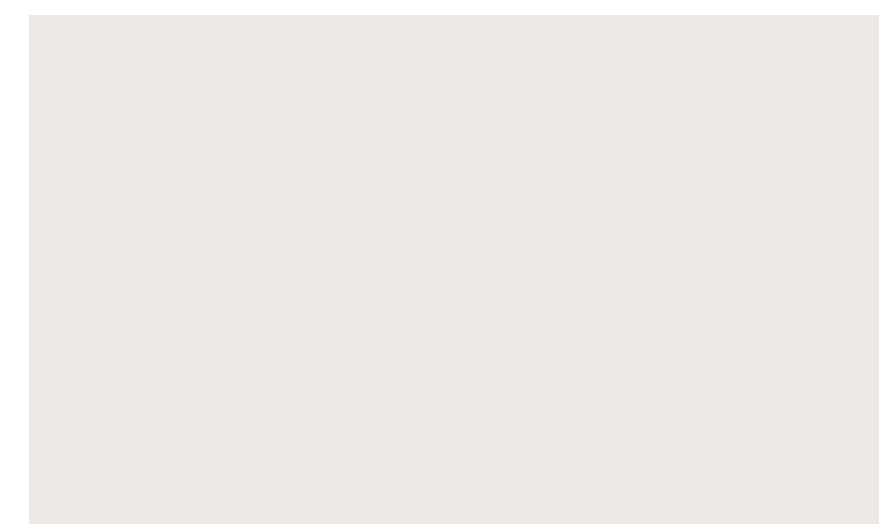


13 SUNBRELLA - COPPER BLACK

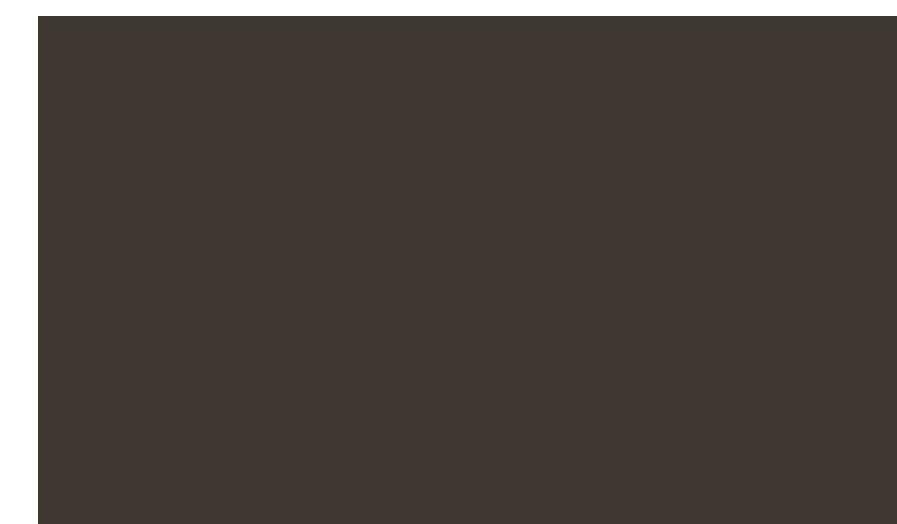
## METAL



9 PRE-FAB ALUMINIUM CANOPIES & SOFFITS - PAINTED SHERWIN WILLIAMS URBANE BRONZE, SW 7048



10 PRE-FAB ALUMINIUM CANOPIES & SOFFITS - PAINTED SHERWIN WILLIAMS SNOWBOUND, SW 7004



11 METAL COPING - BERRIDGE DARK BRONZE



12 METAL COPING - BERRIDGE SIERRA TAN

## GLAZING



14 VITRO GLAZING SOLARBAN 70 (2) ATLANTICA + CLEAR VISIBLE LIGHT REFLECTANCE: EXTERIOR: 10% INTERIOR: 13#

## STOREFRONT SYSTEM



14 DARK BRONZE

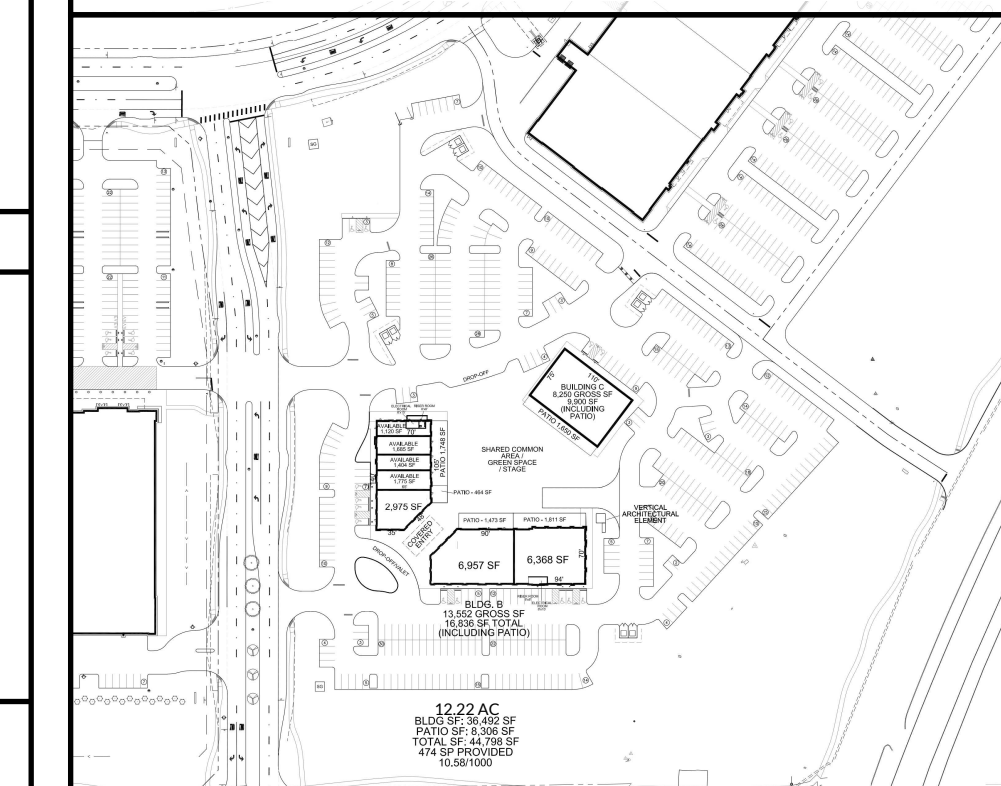
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10 PRE-FAB ALUMINIUM CANOPY - SW 7004 SNOWBOUND	
14 GLAZING - DARK BRONZE	

### SITE PLAN



### FACADE PLAN

GATES OF PROSPER, PHASE 03B  
BLOCK B, LOT 3B

DEVAPP-25-0031  
BEING ALL OF THE GATES OF PROSPER PHASE 3  
BLOCK B, LOT 3  
TOWN OF PROSPER, COLLIN COUNTY, TEXAS

SUBMITTED:  
10/10/2025

OWNER/DEVELOPER:  
380 & 289 LP  
1 COWBOYS WAY  
FRISCO, TEXAS 75034  
CONTACT:  
NICHOLAS LINK  
PHONE: (972)497-4854

ENGINEER:  
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260 EAST DAVIS STREET SUITE 100  
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DALLAS, TEXAS 75201  
CONTACT: DAVID TRUONG  
PHONE: (972) 788-1010

## GATES OF PROSPER PHASE III - RESTAURANT PARK





## PLANNING

**To:** Planning & Zoning Commission **Item No. 4i**  
**From:** Jerron Hicks, Planner  
**Through:** David Hoover, AICP, Director of Development Services  
**Cc:** Suzanne Porter, AICP, Planning Manager  
**Re:** Conveyance Plat of Windsong Ranch Office Addition, Block A, Lots 2-3  
**Meeting:** October 21, 2025

---

**Agenda Item:**

Consider and act upon a request for a Conveyance Plat of Windsong Ranch Office Addition, Block A, Lots 2-3, on 3.5± acres, located on the east side of Teel Parkway and 900± feet north of Prosper Trail. (DEVAPP-25-0104)

**Future Land Use Plan:**

The Future Land Use Plan designates this area as Retail & Neighborhood Services.

**Zoning:**

The property is zoned Planned Development-103 (Office).

**Conformance:**

The Conveyance Plat conforms to the development standards of Planned Development-103.

**Description of Agenda Item:**

The purpose of this Conveyance Plat is to divide Lot 2 into two lots. A Conveyance Plat (D22-0023) was approved by the Planning & Zoning Commission on April 5, 2022, that created Lots 1 and 2. This plat subdivides Lot 2 into two lots, creating Lot 3 in the process.

A Site Plan (DEVAPP-24-0040) and Final Plat (DEVAPP-24-0041) were approved for the development of two lots on September 3, 2024. Construction of the site is underway, and the owner desires to subdivide the property. The final plat that dedicates all development related easements will be recorded after construction.

**Companion Item:**

There is no companion item on this Planning & Zoning Commission agenda.



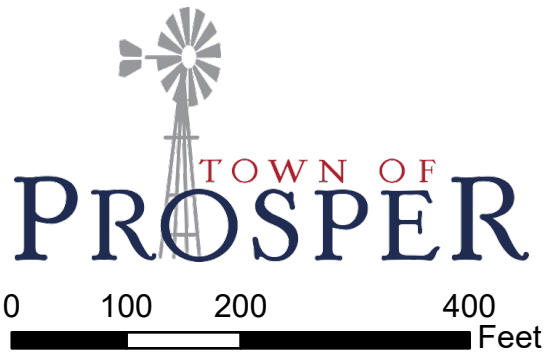
**Attached Documents:**

1. Location Map
2. Revised Conveyance Plat
3. Approved Conveyance Plat (D22-0023)
4. Approved Site Plan (DEVAPP-24-0040)
5. Approved Final Plat (DEVAPP-24-0041)

**Town Staff Recommendation:**

Town Staff recommends approval of the Conveyance Plat.





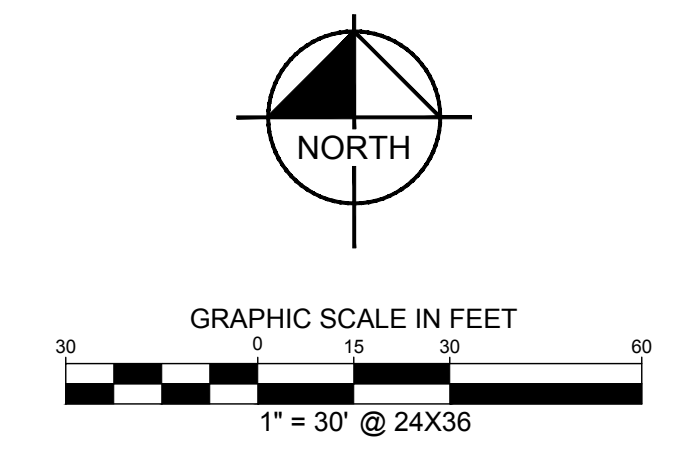
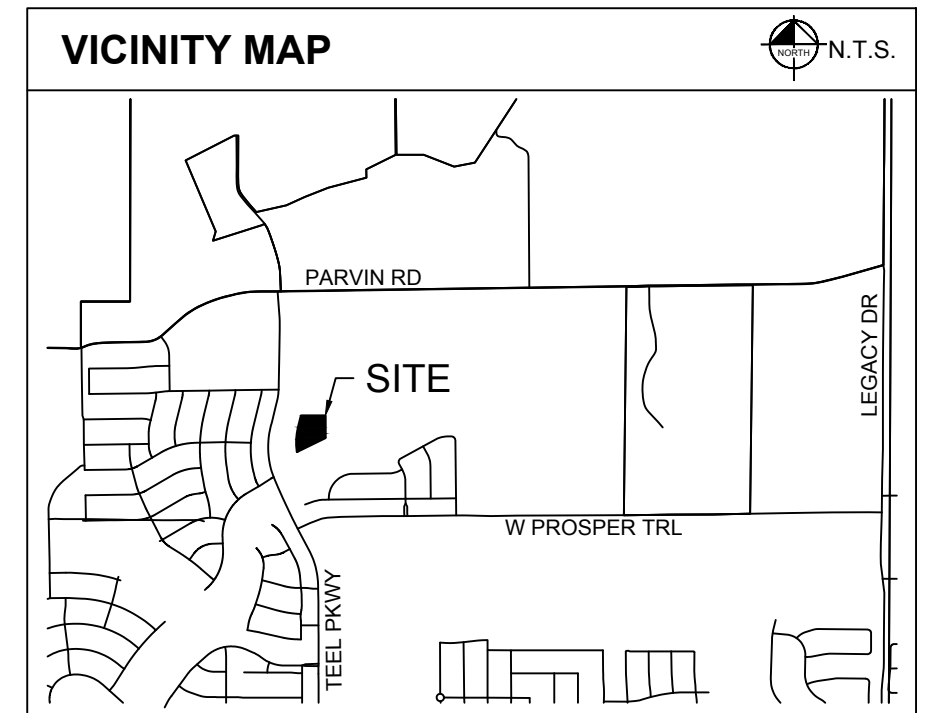
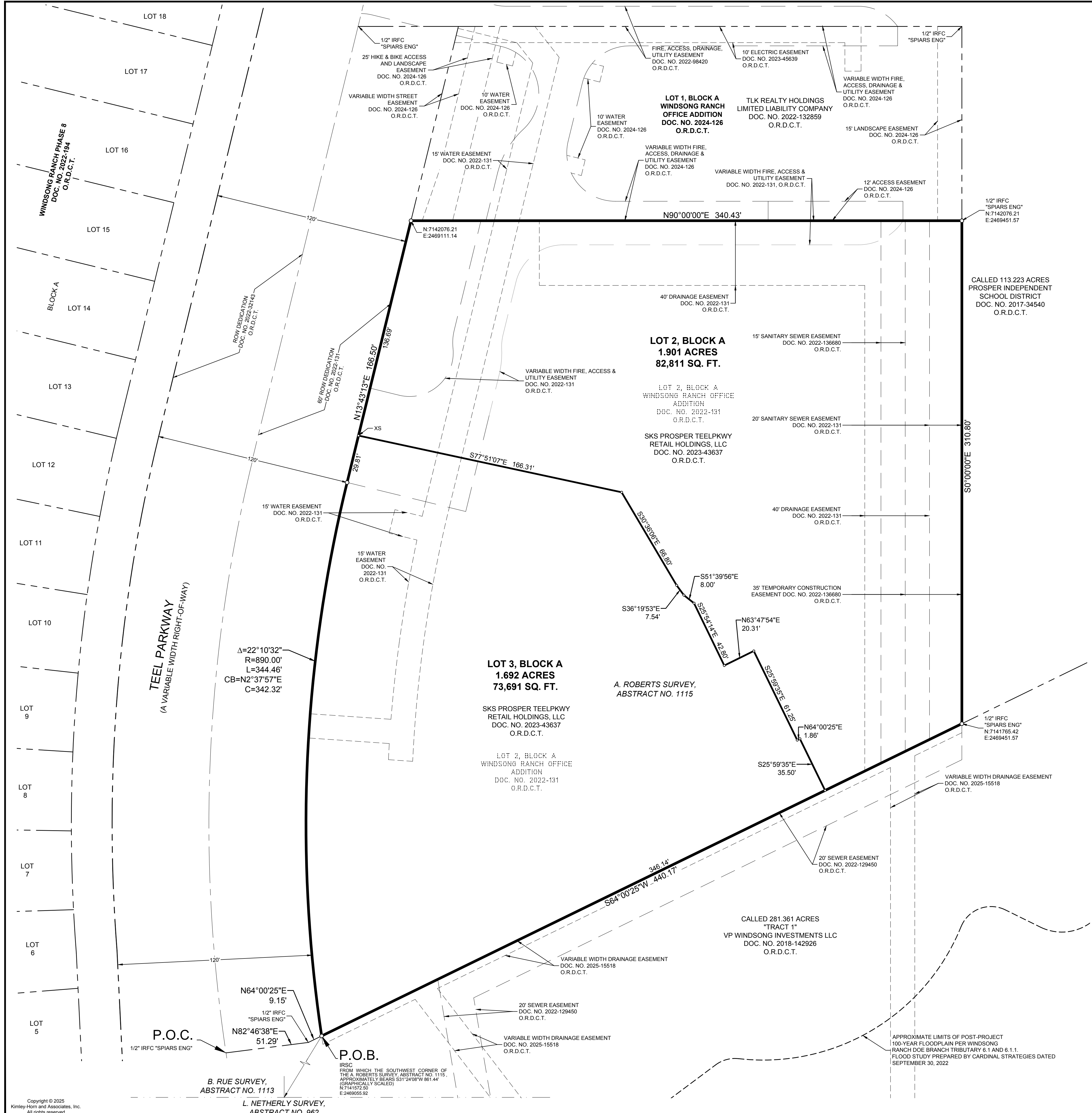
**DEVAPP-25-0104**

Windsong Ranch Office Addition,  
Block A, Lots 2-3

Conveyance Plat

50





**LINE TYPE LEGEND**

---	SUBJECT BOUNDARY LINE
---	EASEMENT LINE
---	PROPERTY LINE

**LEGEND**

P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
DOC. NO.	DOCUMENT NUMBER
IRSC	5/8" IRON ROD WITH RED PLASTIC CAP STAMPED "KHA" SET
IRFC	IRON ROD WITH PLASTIC CAP FOUND
XS	"X" CUT IN CONCRETE SET
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING

**FLOOD STATEMENT:**

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48121C0290G and 48121C0430G, for Denton County, Texas and incorporated areas, dated April 18, 2011, a portion of this property is located within Zone X (unshaded) and a portion of this land is located in Zone A. Zone X (unshaded) is defined as "Areas determined to be outside the 0.2% annual chance floodplain" and Zone A defined as "Special flood hazard areas (SFHAs) subject to inundation by the 1% annual chance flood (No Base Flood Elevations determined)".

Current FEMA floodplain lines are not graphically depicted per the direction of Town of Prosper Engineering.

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

**NOTES:**

- Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).
- The purpose of this conveyance plat is to create 2 lots for conveyance.
- Notice: Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and state law and is subject to fine and withholding of utilities and building permits.
- Boundary and Lot corners are 5/8-inch iron rod with red plastic cap stamped "KHA" set, unless otherwise noted.
- Notice: A conveyance plat is a record of property approved by the Town of Prosper, Texas, for the purpose of sale or conveyance in its entirety or interest thereon defined. No building permit shall be issued nor permanent public utility service provided until a Final Plat is approved and public improvements approved in accordance with the provisions of the Subdivision Ordinance of the Town of Prosper.
- The coordinates shown herein are Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 (2011) on grid coordinate values, no scale no projection.

**CONVEYANCE PLAT  
WINDSONG RANCH OFFICE ADDITION  
BLOCK A, LOT 2 & 3**

BEING ALL OF THE CONVEYANCE PLAT OF WINDSONG RANCH OFFICE ADDITION BLOCK A, LOT 2 RECORDED IN DOCUMENT NO. 2022-131, O.R.D.C.T. 3.593 ACRES AARON ROBERTS SURVEY, ABSTRACT NO. 1115 TOWN OF PROSPER, DENTON COUNTY, TEXAS TOWN PROJECT NO. DEVAPP-25-0104

**Kimley»Horn**

801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 30'	AEL	DJD	Sep. 2025	064620300	1 OF 2

**OWNER:**  
SKS PROSPER TEELPKWY HOLDING, LLC  
603 E BROADWAY STREET  
PROSPER, TEXAS 75078  
CONTACT: SHREE RAMA  
PH. (956) 220-4194

**ENGINEER/SURVEYOR:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER,  
SUITE 700  
DALLAS, TEXAS 75240  
CONTACT: JEFFREY DOLJAN  
PH. (972) 770-1300



OWNERS CERTIFICATE  
STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC, is the owner of a tract of land situated in the Aaron Roberts Survey, Abstract No. 1115, Town of Prosper, Denton County, Texas, and being all of that tract of land described in the Special Warranty Deed to SKS Prosper Teelpkwy Retail Holdings, LLC, recorded in Document No. 2023-43637, Official Records, Denton County, Texas, and being all of Lot 2, Block A of Windsong Ranch Office Addition, an addition to the Town of Prosper, according to the Conveyance Plat thereof recorded in Document No. 2022-131, Official Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod with plastic cap stamped "SPIARS ENG" found for the southwest corner of said Windsong Ranch Office Addition, and being in an east right-of-way line of Teel Parkway (a variable width right-of-way);

THENCE with the south line of said Windsong Ranch Office Addition, the following courses and distances:

North 82°46'38" East, a distance of 51.29 feet to a 1/2-inch iron rod with plastic cap stamped "SPIARS ENG" found for corner;

North 64°00'25" East, a distance of 9.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the POINT OF BEGINNING in said east right-of-way line of Teel Parkway, the southwest corner of said Lot 2, Block A, the southeast corner of a 60-foot Right-of-Way Dedication recorded in said Document No. 2022-131, and being in the north line of that called 281.361 acre tract of land designated as "Tract 1" as described in the Special Warranty Deed to VP Windsong Investments LLC., recorded in Document No. 2018-142926, Official Records, Denton County, Texas, and being at the beginning of a non-tangent curve to the right with a radius of 890.00 feet, a central angle of 22°10'32", and a chord bearing and distance of North 02°37'57" East, 342.32 feet;

THENCE with said east right-of-way line and the west line of said Lot 2, Block A, the following courses and distances:

In a northerly direction, with said non-tangent curve to the right, an arc distance of 344.46 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

North 13°43'13" East, a distance of 166.50 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the northwest corner of said Lot 2, Block A, same being the southwest corner of Lot 1, Block A of Windsong Ranch Office Addition, an addition to the Town of Prosper, according to the plat thereof recorded in Document No. 2024-126, Official Records, Denton County, Texas;

THENCE with the common line of said Lot 1 and 2, Block A, North 90°00'00" East, a distance of 340.43 feet to a 1/2-inch iron rod with yellow plastic cap stamped "SPIARS ENG" found for the southeast corner of said Lot 1, Block A, the northeast corner of said Lot 2, Block A, and being in the west line of a called 113.223 acre tract of land described in the Special Warranty Deed to Prosper Independent School District, recorded in Document No. 2017-34540, Official Records, Denton County, Texas;

THENCE with the common line of said Lot 2, Block A and said 113.223 acre tract, South 00°00'00" East, a distance of 310.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "SPIARS ENG" found for the southeast corner of said Lot 2, Block A, the southwest corner of said 113.223 acre tract and being in the north line of said 281.361 acre tract;

THENCE with the common line of said Lot 2, Block A and said 281.361 acre tract, South 64°00'25" West, a distance of 440.17 feet to the POINT OF BEGINNING and containing a computed area of 156,502 square feet or 3,593 acres of land.

NOW THEREFORE KNOWN ALL MEN BY THESE PRESENTS:

THAT, SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC, acting herein by and through its duly authorized officer, does hereby certify and adopt this plat designating the herein above described property as WINDSONG RANCH OFFICE ADDITION, BLOCK A, LOT 2 & 3, an addition to the Town of Prosper, and does hereby dedicate to the public user forever, the streets and alleys shown thereon. The SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC, does hereby certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens and/or encumbrances.
- The easements and public use areas, as shown are dedicated for the public use forever for the purposes indicated on this plat.
- No building, fences, trees, shrubs or other improvements or growth shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.
- 100 year Floodplain Easement Restriction: Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result; and subject to all owners or the property affected by such construction becoming a party to the request.) Where construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100-year flood elevation as determined by analyzing the ultimate build-out conditions of the entire drainage basin. Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with maintenance of the area. The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure(s) within the natural drainage channels. The natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If the Subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person of the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all time of the Town of Prosper, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon, and across said premises.

FIRE LANE EASEMENT

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fenced trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Prosper, Texas.

WITNESS, my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

By: SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC

\_\_\_\_\_  
Authorized Signature Printed Name and Title

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledge to me the he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public, State of Texas

SURVEYOR'S CERTIFICATE

Known All Men By these Presents:

That I, David J. De Weirdt, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulation of the Town of Prosper, Texas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT  
10/10/2025

David J. De Weirdt  
Registered Professional Land Surveyor  
Texas Registration No. 5066

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared David J. De Weirdt, known to me to be the person and office whose name is subscribed to the foregoing instrument, and acknowledge to me the he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public, State of Texas

CERTIFICATE OF APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025,  
by the Planning & Zoning Commission of the Town of Prosper,  
Texas.

\_\_\_\_\_  
Town Secretary

\_\_\_\_\_  
Engineering Department

\_\_\_\_\_  
Development Services Department

CONVEYANCE PLAT  
WINDSONG RANCH OFFICE ADDITION  
BLOCK A, LOT 2 & 3

BEING ALL OF THE CONVEYANCE PLAT OF  
WINDSONG RANCH OFFICE ADDITION BLOCK A, LOT 2  
RECORDED IN DOCUMENT NO. 2022-131, O.R.D.C.T.  
3.593 ACRES  
AARON ROBERTS SURVEY, ABSTRACT NO. 1115  
TOWN OF PROSPER, DENTON COUNTY, TEXAS  
TOWN PROJECT NO. DEVAPP-25-0104

Kimley»Horn

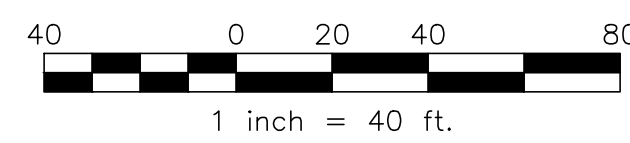
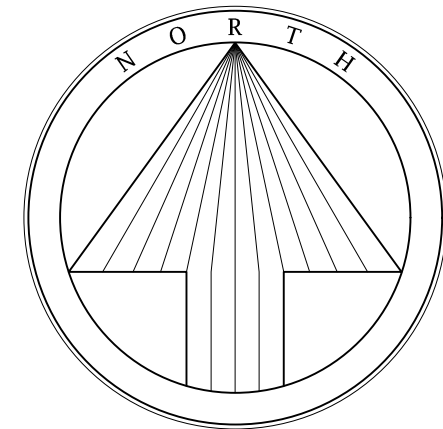
801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	AEL	DJD	Sep. 2025	064620300	2 OF 2

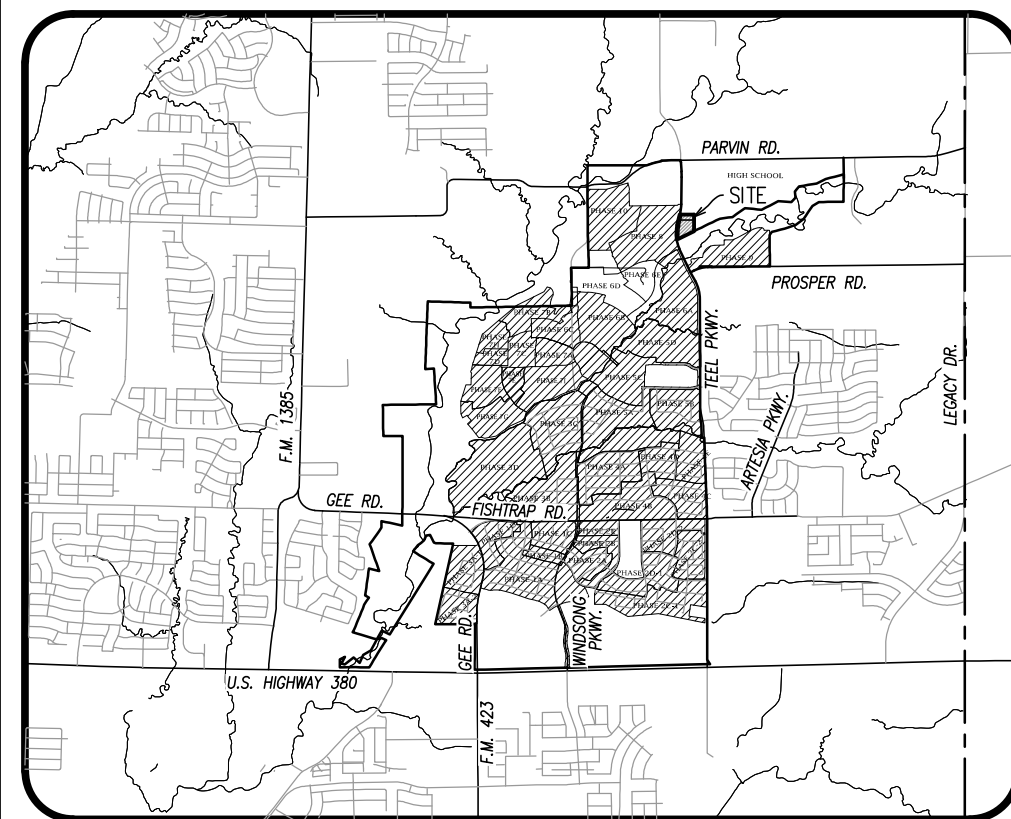
OWNER:  
SKS PROSPER TEELPKWY HOLDING, LLC  
603 E BROADWAY STREET  
PROSPER, TEXAS 75078  
CONTACT: SHREE RAMA  
PH. (956) 220-4194

ENGINEER/SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER,  
SUITE 700  
DALLAS, TEXAS 75240  
CONTACT: JEFFREY DOLJAN  
PH. (972) 770-1300





Basis of bearing: State Plane  
Coordinate System, North Texas  
Central Zone 4202, North American  
Datum of 1983. Adjustment  
Realization 2011.



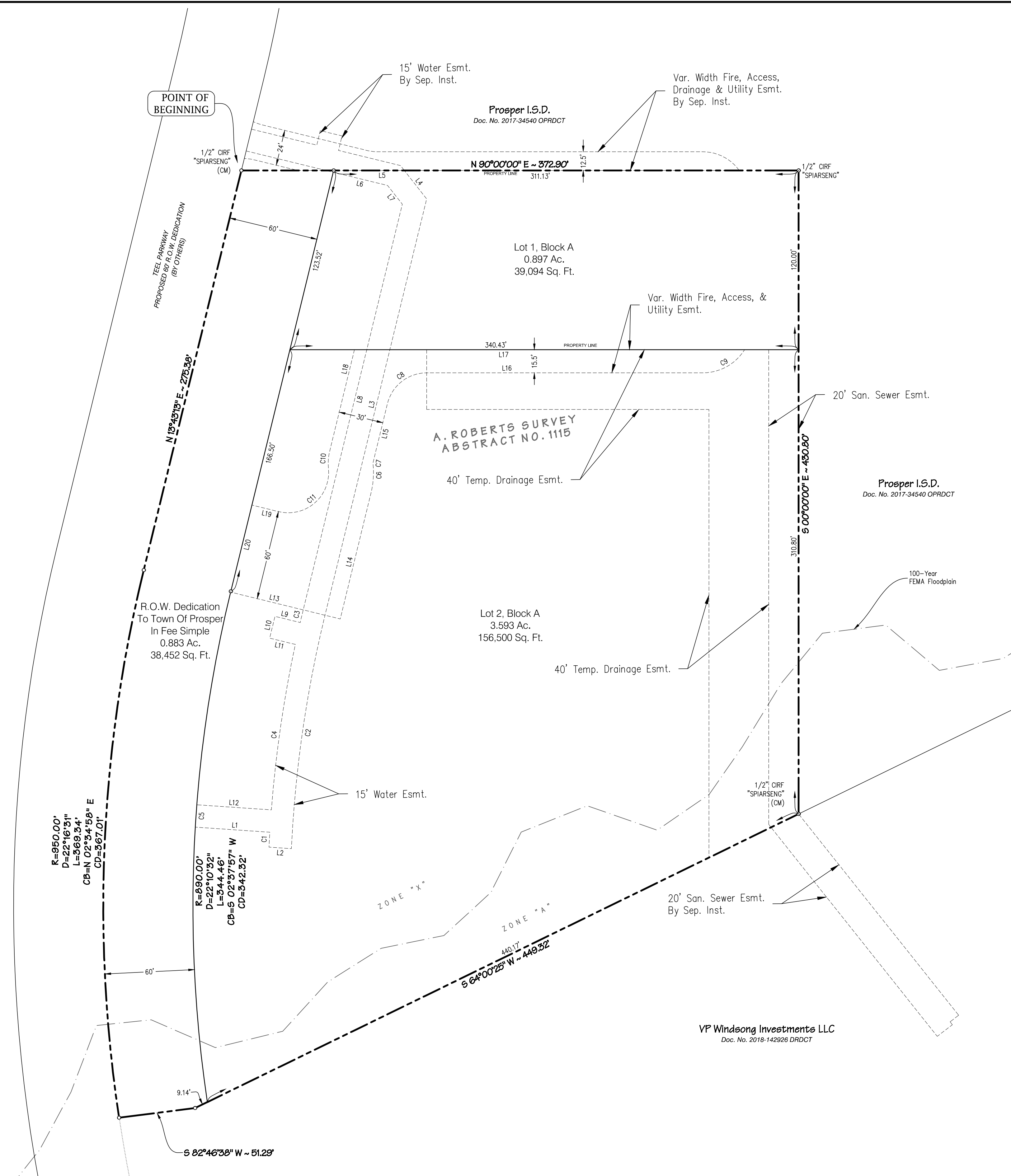
LOCATION MAP  
1" = 5000'

LEGEND	
○	1/2" IRON ROD W/ PLASTIC CAP STAMPED "SPARSENG" SET, UNLESS OTHERWISE NOTED.
—	IRON ROD FOUND
○	CIRF CAPPED IRON ROD FOUND
—	CHAIN LINK FENCE
—	BARBED WIRE FENCE
—	WOOD FENCE
—	OVERHEAD POWER LINE
—	CONTROL MONUMENT

VP Windsong Investments LLC  
Doc. No. 2018-142926 DRDCT

NOTES:

1. Basis of bearing derived from the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, (2011).
2. Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
3. Notice: A conveyance plat is a record of property approved by the Town of Prosper, Texas, for the purpose of sale or conveyance in its entirety or interest thereon defined. No building permit shall be issued nor permanent public utility service provided until a Final Plat is approved and public improvements approved in accordance with the provisions of the Subdivision Ordinance of the town of Prosper.



April 05, 2022

Easement Line Table		
Line #	Length	Direction
L1	50.00'	S 86°05'21" E
L2	15.00'	S 86°05'22" E
L3	286.28'	N 13°43'13" E
L4	24.23'	N 38°08'23" W
L5	52.39'	N 90°00'00" E
L6	42.43'	N 76°16'47" W
L7	15.92'	N 38°08'23" W
L8	278.99'	N 13°43'13" E
L9	17.38'	S 76°16'47" E
L10	15.00'	N 13°43'13" E
L11	17.68'	N 76°16'47" W
L12	50.00'	S 86°05'21" E
L13	75.50'	S 76°15'02" E
L14	87.00'	N 13°43'13" E
L15	40.35'	N 13°43'03" E
L16	184.84'	N 90°00'00" E
L17	261.11'	N 90°00'00" W
L18	70.18'	S 13°43'08" W
L19	18.48'	N 76°15'02" W
L20	60.00'	S 13°43'13" W

Easement Curve Table					
Curve #	Length	Radius	Chord	Chord Bearing	Delta
C1	10.00'	840.00'	10.00'	S 03°03'30" W	0°40'56"
C2	158.75'	825.00'	158.50'	N 08°12'28" E	11°01'30"
C3	9.30'	840.00'	9.30'	N 13°24'11" E	0°38'04"
C4	112.01'	840.00'	111.93'	N 08°14'33" E	7°38'25"
C5	15.00'	890.00'	15.00'	S 03°54'39" W	0°57'56"
C6	19.57'	57.00'	19.47'	N 03°53'14" E	19°40'01"
C7	1.03'	3.00'	1.02'	N 03°53'11" E	19°39'56"
C8	35.95'	27.00'	33.35'	N 51°51'37" E	76°16'47"
C9	33.39'	33.00'	31.98'	N 61°00'47" E	57°58'27"
C10	11.31'	33.00'	11.26'	S 03°54'01" W	19°38'16"
C11	51.68'	27.00'	44.14'	S 48°54'56" W	109°40'04"

TOWN PROJECT NO. D22-0023  
CONVEYANCE PLAT  
**WINDSONG RANCH**  
**OFFICE ADDITION**  
LOTS 1-2, BLOCK A  
A. ROBERTS SURVEY, ABSTRACT NO. 1115  
IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS  
5.373 ACRES GROSS/4.490 ACRES NET

OWNER / APPLICANT  
VP Windsong Investments LLC  
130 N. Preston Road, Suite 130  
Prosper, Texas 75078  
Telephone (469) 532-0689  
Contact: David Blom

ENGINEER / SURVEYOR  
Spars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
TBPE No. F-2121 / TBPLS No. F-10043100  
Contact: Matt Dorsett

Drawing: C:\2021\_0803\21-316\_Windsong\Comments\21-316\_CONVEYANCE\_PLAT.dwg    Saved By: Sharby    Save Time: 3/23/2022 10:27:45 AM    Plotted By: Sharby    Plot Date: 3/23/2022 10:46 AM



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS VP Windsong Investments LLC are the owners of a tract of land situated in the A. Roberts Survey, Abstract No. 1115, Town of Prosper, Denton County, Texas, being part of a tract conveyed to them by deed recorded in Document No. 2018-142926 of the Official Public Records, Denton County, Texas (OPRDCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped "SPIARSENG" found for the upper southwest corner of a tract conveyed to the Prosper Independent School District, recorded in Document No. 2017-34540 OPRDCT;

THENCE EAST, 372.90 feet along the most westerly south line of said Prosper ISD tract to a 1/2" iron rod with plastic cap stamped "SPIARSENG" found for an inset southwest corner thereof;

THENCE SOUTH, 430.80 feet along the most southerly west line of said Prosper ISD tract to a 1/2" iron rod with plastic cap stamped "SPIARSENG" found for the southerly southwest corner thereof;

THENCE departing said Prosper ISD tract, the following:

S 64°00'25" W, 449.32 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

S 82°46'38" W, 51.29 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

A non-tangent curve to the right having a central angle of 22°16'31", a radius of 950.00 feet, a chord of N 02°34'58" E - 367.01 feet, an arc length of 369.34 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

And N 13°43'13" E, 275.38 feet to the POINT OF BEGINNING with the subject tract containing 234,046 square feet or 5.373 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT VP WINDSONG INVESTMENTS LLC, acting herein by and through its duly authorized officer, does hereby certify and adopt this conveyance plat designating the hereinabove described property as WINDSONG RANCH OFFICE ADDITION, Lots 1-2, Block A an addition to the Town of Prosper, Texas, and does hereby dedicate, to the public use forever, the streets and alleys shown thereon. VP WINDSONG INVESTMENTS LLC do herein certify the following:

- 1. The streets and alleys are dedicated for street purposes.
2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the Town of Prosper.
5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Prosper's use thereof.
7. The Town of Prosper and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the said easements.
8. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

VP WINDSONG INVESTMENTS LLC, a Texas limited partnership

By: D. Craig Martin, President

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared D. Craig Martin, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Notary Public, State of Texas

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Prosper, Texas.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Notary Public, State of Texas

ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person of the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all time of the Town of Prosper, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon, and across said premises.

FIRE LANE EASEMENT

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fenced trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

LIEN HOLDER:

TEXAS CAPITAL BANK, a Texas state bank formerly known as Texas Capital Bank, N.A.

By: TOM MILLER
VICE PRESIDENT

STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Tom Miller, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2022

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022, by the Planning and Zoning Commission of the Town of Prosper, Texas.

Town Secretary

Engineering Department

Planning Department

TOWN PROJECT NO. D22-0023
CONVEYANCE PLAT

WINDSONG RANCH
OFFICE ADDITION

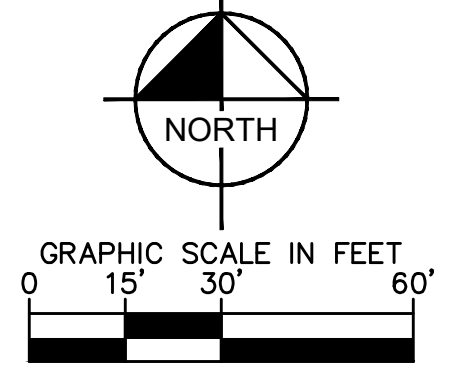
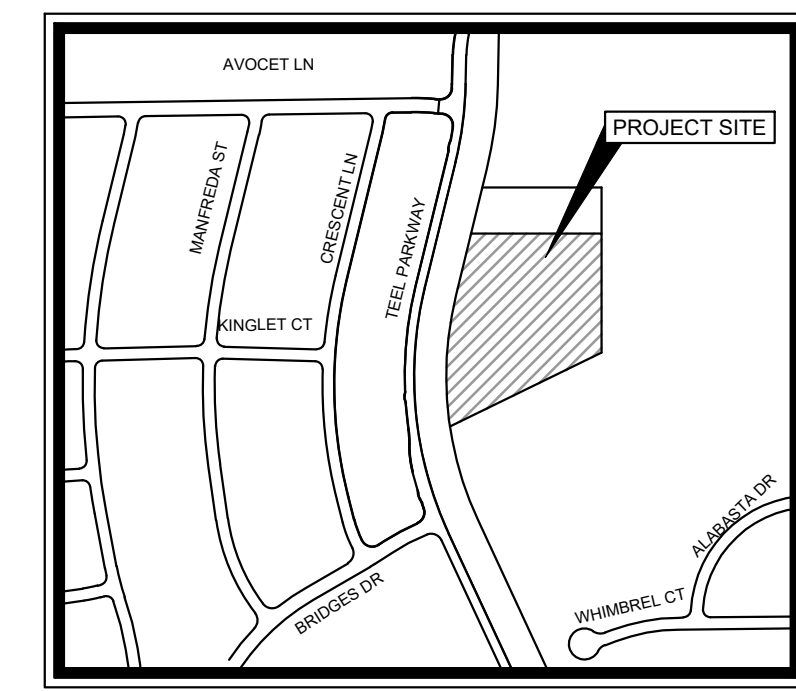
LOTS 1-2, BLOCK A
A. ROBERTS SURVEY, ABSTRACT NO. 1115
IN THE TOWN OF PROSPER, DENTON COUNTY, TEXAS
5.373 ACRES GROSS/4.490 ACRES NET

OWNER / APPLICANT
VP Windsong Investments LLC
130 N. Preston Road, Suite 130
Prosper, Texas 75078
Telephone (469) 532-0689
Contact: David Blom

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121 / TBPLS No. F-10043100
Contact: Matt Dorsett



# Approved Site Plan (DEVAPP-24-0040)



### LEGEND

[Symbol]	PROPOSED FIRE LANE
[Symbol]	EXISTING FIRE LANE
[Symbol]	EXISTING PAVEMENT
[Symbol]	PROPOSED STANDARD DUTY PAVEMENT
[Symbol]	PROPOSED DUMPSTER AREA PAVEMENT
[Symbol]	PROPOSED SIDEWALK
[Symbol]	SOD (CYNODON DACTYLON / COMMON BERMUDA GRASS) [REF. LANDSCAPE PLANS]
[Symbol]	TA (TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE) [REF. LANDSCAPE PLANS]
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONTOUR - MAJOR
[Symbol]	PROPOSED CONTOUR - MINOR
[Symbol]	EXISTING CONTOUR - MAJOR
[Symbol]	EXISTING CONTOUR - MINOR
[Symbol]	OUTDOOR PATIO BOUNDARY
[Symbol]	BARRIER FREE RAMP (BFR)
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	NUMBER OF PARKING SPACES
[Symbol]	WATER METER (AND VAULT)
[Symbol]	FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	TRANSFORMER PAD
[Symbol]	GRATE INLET
[Symbol]	GREASE TRAP AND SAMPLE WELL - MIN. 1,000 GALLON
[Symbol]	JUNCTION BOX OR WYE INLET
[Symbol]	HEADWALL
[Symbol]	TYPICAL
[Symbol]	SSE SANITARY SEWER EASEMENT
[Symbol]	WE WATER EASEMENT
[Symbol]	DE DRAINAGE EASEMENT
[Symbol]	BFR BARRIER FREE RAMP
[Symbol]	SW SIDEWALK
[Symbol]	BL BUILDING LINE/SETBACK
[Symbol]	CI CURB INLET
[Symbol]	GI GRATE INLET
[Symbol]	WI WYE INLET
[Symbol]	JB JUNCTION BOX
[Symbol]	MH MANHOLE
[Symbol]	EX EXISTING
[Symbol]	PROP. PROPOSED

### STANDARD TOWN OF PROSPER SITE PLAN NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- ALL DEVELOPMENT STANDARDS SHALL FOLLOW TOWN STANDARDS.
  - LANDSCAPING SHALL CONFORM TO LANDSCAPE PLANS APPROVED BY THE TOWN OF PROSPER.
  - ALL DEVELOPMENT STANDARDS SHALL FOLLOW FIRE REQUIREMENTS PER THE TOWN OF PROSPER.
  - HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
  - IMPACT FEES WILL BE ASSESSED IN ACCORDANCE WITH THE LAND USE CLASSIFICATION(S) IDENTIFIED ON THE SITE DATA SUMMARY TABLE; HOWEVER, CHANGES TO THE PROPOSED LAND USE AT THE TIME OF CO AND/OR FINISH-OUT PERMIT MAY RESULT IN ADDITIONAL IMPACT FEES AND/OR PARKING REQUIREMENTS.
  - THE APPROVAL OF A PRELIMINARY SITE PLAN SHALL BE EFFECTIVE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE THAT THE PRELIMINARY SITE PLAN IS APPROVED BY THE PLANNING & ZONING COMMISSION, AT THE END OF WHICH TIME THE APPLICANT MUST HAVE SUBMITTED AND RECEIVED THE APPROVAL OF A SITE PLAN BY THE PLANNING & ZONING COMMISSION. IF A SITE PLAN IS NOT APPROVED WITHIN SUCH TWO (2) YEAR PERIOD, THE PRELIMINARY SITE PLAN APPROVAL IS NULL AND VOID. IF SITE PLAN APPROVAL IS ONLY FOR A PORTION OF THE PROPERTY, THE APPROVAL OF THE PRELIMINARY SITE PLAN FOR THE REMAINING PROPERTY SHALL BE NULL AND VOID.
  - OPEN SPACE REQUIREMENTS SHALL FOLLOW THE ZONING ORDINANCE, PER TRACT. OPEN SPACE SHALL NOT INCLUDE VEHICULAR PAVING, REQUIRED PARKING LOT LANDSCAPE ISLANDS, BUILDING FOOTPRINT, UTILITY YARDS, REQUIRED LANDSCAPE SETBACKS, SIDEWALKS, AND DETENTION POND

### BLOCK A, LOT 2&3 SITE DATA SUMMARY TABLE

ZONING/PROPOSED USE	TOTAL SITE PD-103-OFFICE & SUP (S-49)	LOT 3 (BUILDING A) RESTAURANT AND RETAIL	LOT 2 (BUILDING B) RESTAURANT AND RETAIL
LOT AREA/ SQ. FT. AND AC	156,502 SQ. FT. / 3.59 AC	73,691 SQ. FT. / 1.69 AC	82,811 SQ. FT. / 1.90 AC
BUILDING AREA (GROSS SQUARE FOOTAGE)	25,971 SQ. FT.	12,082 SQ. FT.	13,909 SQ. FT.
BUILDING HEIGHT (NUMBER OF STORIES)	28'	28'	28'
FLOOR AREA RATIO (FOR NON-RESIDENTIAL ZONING)	0.17:1	0.16:1	0.17:1
TOTAL RETAIL SF	20,582 SF	10,062 SF	10,500 SF
TOTAL PARKING REQUIRED (RETAIL) (1,250)	83 SPACES	41 SPACES	42 SPACES
TOTAL PARKING PROVIDED (RETAIL)*	83 SPACES	41 SPACES	42 SPACES
TOTAL RESTAURANT SF	5,409 SF	2,000 SF	3,409 SF
TOTAL PARKING REQUIRED (RESTAURANT) (1:100 FOR RESTAURANTS IN MULTI-TENANT BUILDING)	55 SPACES	20 SPACES	35 SPACES
TOTAL PARKING PROVIDED (RESTAURANT)*	60 SPACES	20 SPACES	40 SPACES
TOTAL PATIO SF	1,578 SF	756 SF	822 SF
TOTAL PARKING REQUIRED (PATIO AREA) (1:200 FOR RESTAURANT PATIO AREA)	9 SPACES	4 SPACES	5 SPACES
TOTAL PARKING PROVIDED (PATIO AREA)	13 SPACES	4 SPACES	9 SPACES
TOTAL ADA SPACES REQUIRED	7 SPACES	3 SPACES	4 SPACES
TOTAL ADA SPACES PROVIDED	7 SPACES	3 SPACES	4 SPACES
TOTAL PARKING REQUIRED (RETAIL, RESTAURANT, AND PATIO)*	147 SPACES	65 SPACES	82 SPACES
TOTAL PARKING PROVIDED (RETAIL, RESTAURANT, AND PATIO)*	156 SPACES	65 SPACES	91 SPACES
INTERIOR LANDSCAPING REQUIRED	2,340 SQ. FT.	975 SQ. FT.	1,365 SQ. FT.
INTERIOR LANDSCAPING PROVIDED	6,493 SQ. FT.	3,146 SQ. FT.	3,347 SQ. FT.
IMPERVIOUS SURFACE	116,036 SQ. FT.	50,565 SQ. FT.	65,471 SQ. FT.
USABLE OPEN SPACE REQUIRED (%)	7%	7%	7%
USABLE OPEN SPACE REQUIRED (SQ. FT.)	10,955 SQ. FT.	5,158 SQ. FT.	5,797 SQ. FT.
USABLE OPEN SPACE PROVIDED (%)	7.7%	7.3%	7.3%
USABLE OPEN SPACE PROVIDED (SQ. FT.)	12,174 SQ. FT.	6,114 SQ. FT.	6,060 SQ. FT.

\*ADA PARKING IS PROVIDED IN ACCORDANCE WITH TMS STANDARDS AND IS INCLUDED IN TOTAL PARKING COUNT



P&Z Approved  
09/03/2024

**DEVAPP-24-0040  
SITE PLAN  
TEEL PARKWAY RETAIL  
WINDSONG RANCH OFFICE ADDITION  
BLOCK A, LOT 2 & LOT 3**

*Being 3.593 Acres Out Of The  
AARON ROBERTS SURVEY Abstract No. 1115  
Town of Prosper, Denton County, Texas  
Submitted: AUGUST 22, 2024*

**Owner:**  
SKS Prosper Teelpkwy Retail Holdings, LLC.  
603 E Broadway Street  
Prosper, Texas 75078  
Contact: Shree Rama  
Phone: (956) 220-4194

**Engineer/Surveyor:**  
Kimley-Horn and Associates, Inc.  
13455 Noel Road, Two Galleria Office Tower  
Dallas, Texas 75240  
Contact: Jeffrey Dolan, P.E.  
Phone: (972) 770-1300

TEEL PARKWAY

RETAIL

PREPARED FOR

SKS PROSPER TEEL PKWY

PROSPER TEXAS

KIMLEY-HORN

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD, SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM

PRELIMINARY

FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION PURPOSES  
**Kimley-Horn**  
 Jeffrey W. Dolan  
 P.E. No. 114926 Date: 8/22/2024

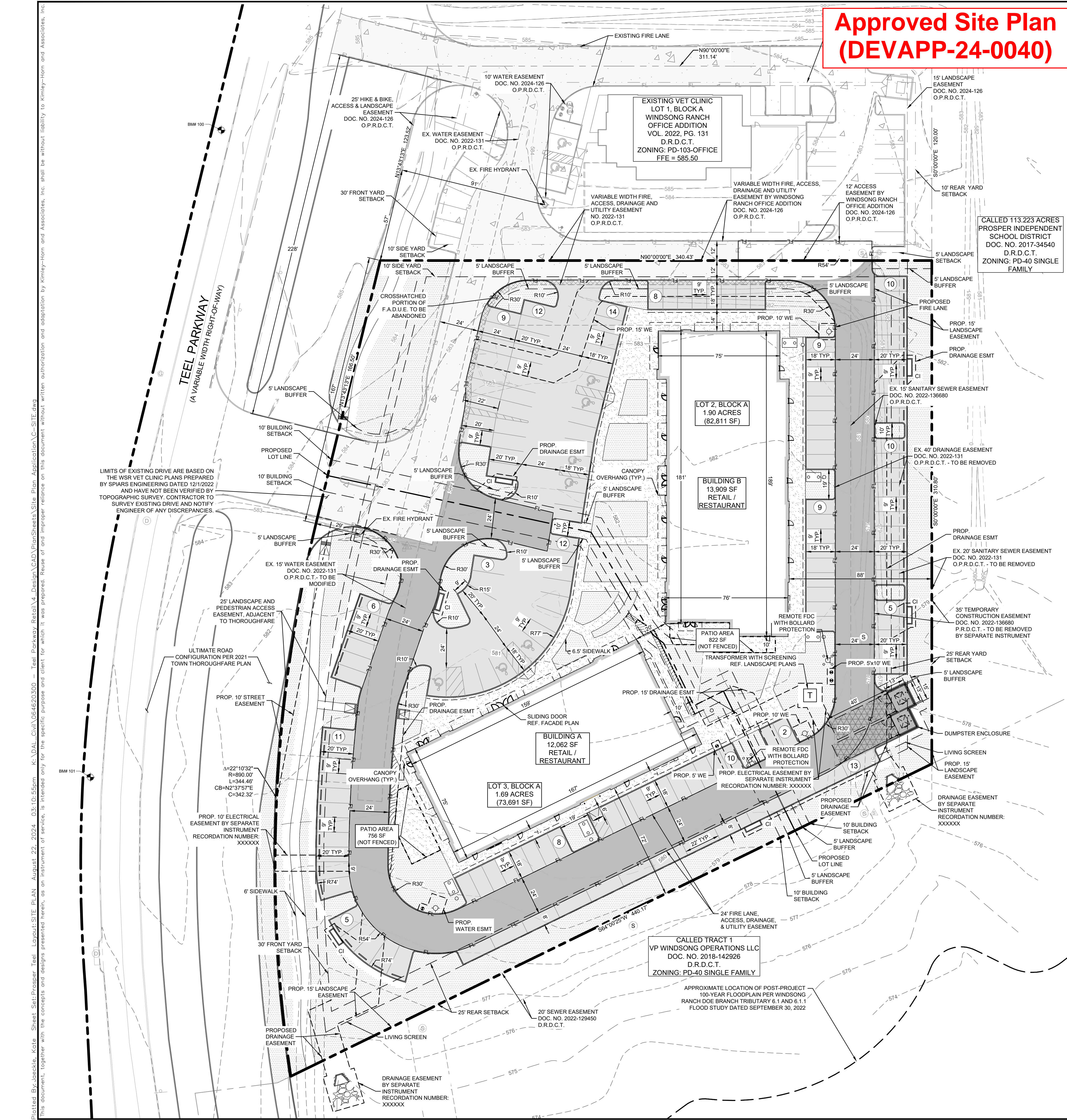
KHA PROJECT: 064620300  
 DATE: 08/22/2024  
 SCALE: AS SHOWN  
 DESIGNED BY: ANL  
 DRAWN BY: KNU  
 CHECKED BY: JWD

SITE PLAN

REVISIONS  
 No. \_\_\_\_\_  
 DATE \_\_\_\_\_

SHEET NUMBER

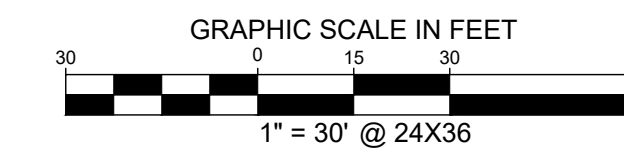
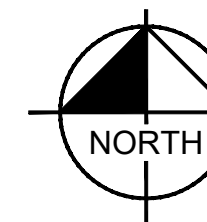
## SP-1



Plotted By: jacobk. kts Sheet: SskProsper Teel Lot 2&3 Site Plan August 22, 2024 03:10:53pm K:\DAL\_Civil\064620300 - Teel Parkway Retail\4\_Design\CAD\PlanSheets\Site Plan Application\CS-SITE.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

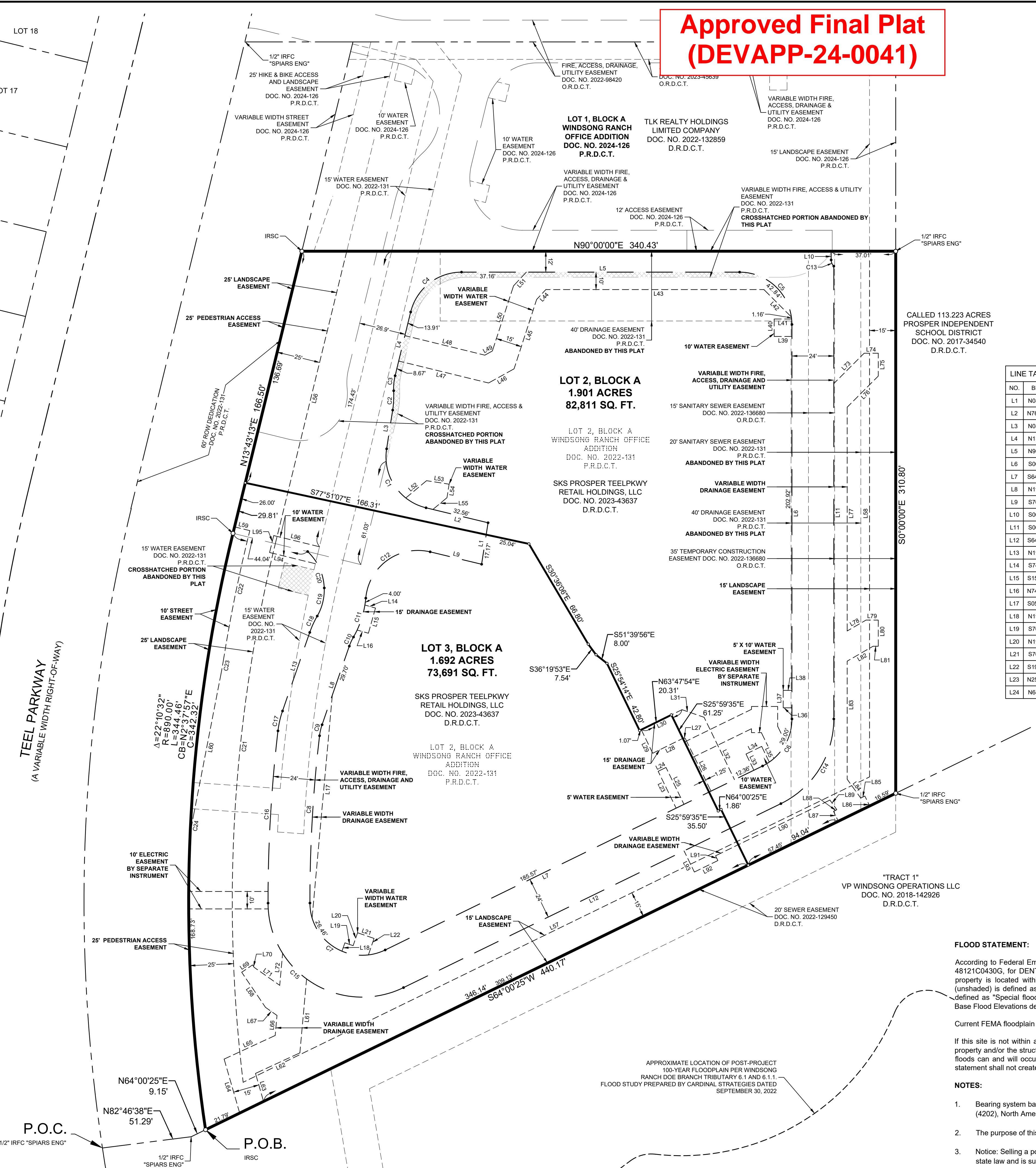
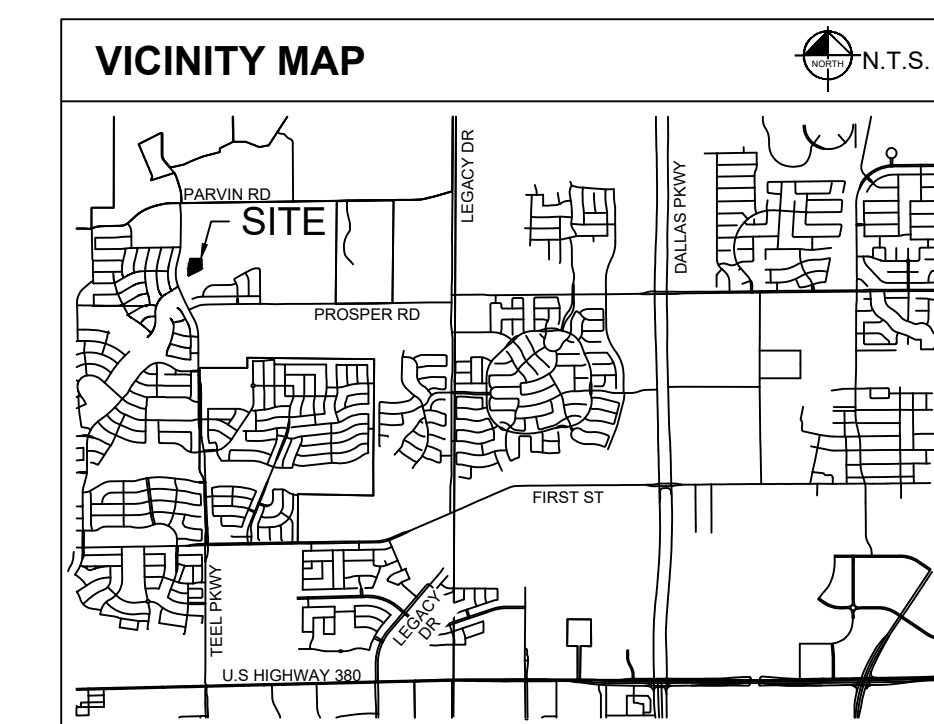


# Approved Final Plat (DEVAPP-24-0041)



LINE TYPE LEGEND	
	SUBJECT BOUNDARY LINE
	EASEMENT LINE
	PROPERTY LINE

LEGEND	
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
DOC. NO.	DOCUMENT NUMBER
IRSC	IRON ROD WITH RED PLASTIC CAP STAMPED "X" FOUND
IRFC	IRON ROD WITH PLASTIC CAP FOUND
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING



LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			CURVE TABLE					
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
L1	N08°52'48"E	24.08'	L25	S25°59'35"E	23.50'	L49	N61°00'00"E	4.94'	L73	N45°00'00"E	24.60'	C1	85°20'10"	30.00'	44.68'	N33°47'22"W	40.66'
L2	N76°27'27"W	36.57'	L26	N25°59'35"W	33.59'	L50	N18°00'00"E	39.25'	L74	N90°00'00"E	8.11'	C2	11°46'45"	54.00'	11.10'	N03°00'24"E	11.08'
L3	N08°52'43"E	22.51'	L27	N70°59'35"W	0.93'	L51	N43°00'00"E	10.76'	L75	S00°00'00"E	13.11'	C3	16°36'28"	30.00'	8.70'	N05°25'07"E	8.67'
L4	N13°43'13"E	37.58'	L28	S63°47'54"W	19.83'	L52	N50°10'59"E	15.48'	L76	S45°00'00"W	25.21'	C4	76°16'47"	30.00'	39.94'	N51°13'17"E	37.05'
L5	N90°00'00"E	159.42'	L29	N25°59'35"W	15.00'	L53	S81°08'46"E	13.09'	L77	S00°00'00"E	128.31'	C5	90°00'00"	30.00'	47.12'	S45°00'00"E	42.43'
L6	S00°00'00"E	226.21'	L30	N63°47'54"E	26.02'	L54	S08°51'14"W	7.83'	L78	N60°00'00"E	12.49'	C6	64°00'25"	30.00'	33.51'	S32°00'12"W	31.80'
L7	S64°00'25"W	240.67'	L31	S70°59'35"E	13.39'	L55	S50°10'59"W	10.55'	L79	N90°00'00"E	7.01'	C7	115°52'50"	30.00'	60.67'	N58°03'10"W	50.85'
L8	N19°07'02"E	47.68'	L32	S25°59'35"E	39.81'	L56	S13°43'13"W	172.62'	L80	S00°00'00"E	15.00'	C8	6°48'51"	808.40'	96.14'	N03°17'41"E	96.09'
L9	S76°27'27"E	30.32'	L33	N25°59'35"W	10.34'	L57	N64°00'25"E	399.50'	L81	N90°00'00"W	2.99'	C9	12°24'56"	30.00'	6.50'	N12°54'34"E	6.49'
L10	S00°00'00"E	5.00'	L34	N64°00'25"E	10.00'	L58	N00°00'00"E	301.42'	L82	S60°00'00"W	17.13'	C10	10°57'30"	30.00'	5.74'	N24°35'47"E	5.73'
L11	S00°00'00"E	259.64'	L35	S25°59'35"E	10.00'	L59	S76°16'47"E	9.01'	L83	S00°00'00"E	67.69'	C11	25°02'09"	54.00'	23.60'	N17°33'28"E	23.41'
L12	S64°00'25"W	240.67'	L36	N90°00'00"W	5.00'	L60	S10°58'53"W	81.13'	L84	S35°45'12"E	13.29'	C12	98°30'09"	30.00'	51.58'	N54°17'29"E	45.45'
L13	N19°07'02"E	47.68'	L37	N00°00'00"E	10.00'	L61	S05°10'59"W	42.57'	L85	N64°00'25"E	2.65'	C13	45°43'45"	5.00'	3.99'	S22°51'52"E	3.89'
L14	S74°10'22"E	6.32'	L38	N90°00'00"E	5.00'	L62	S65°10'59"W	28.03'	L86	S25°59'35"E	6.33'	C14	64°00'25"	54.00'	60.33'	S32°00'12"W	57.24'
L15	S15°49'38"W	15.00'	L39	N90°00'00"W	10.16'	L63	S16°05'07"E	16.73'	L87	N25°59'35"W	6.33'	C15	115°52'50"	54.00'	109.21'	N58°03'10"W	91.53'
L16	N74°10'22"W	6.70'	L40	N00°00'00"E	10.00'	L64	N16°05'07"W	32.22'	L88	N64°00'25"E	2.13'	C16	6°48'51"	832.40'	99.00'	N03°17'41"E	98.94'
L17	S05°10'59"W	128.33'	L41	N90°00'00"E	10.00'	L65	N65°10'59"E	32.24'	L89	N35°45'12"W	6.81'	C17	12°24'56"	54.00'	11.70'	N12°54'34"E	11.68'
L18	N19°00'25"E	5.09'	L42	N45°00'00"W	22.25'	L66	N05°10'59"E	11.53'	L90	S64°00'25"W	72.93'	C18	10°57'30"	54.00'	10.33'	N24°35'47"E	10.31'
L19	S70°59'35"E	5.00'	L43	N90°00'00"E	125.03'	L67	N54°49'01"W	8.07'	L91	S25°59'35"E	3.04'	C19	32°10'11"	30.00'	16.84'	N13°59'27"E	16.62'
L20	N19°00'25"E	7.83'	L44	S43°00'00"W	7.75'	L68	N34°08'12"W	24.30'	L92	S64°00'25"W	15.00'	C20	44°58'30"	30.00'	23.55'	N24°34'54"W	22.95'
L21	S70°59'35"E	10.00'	L45	S18°00'00"W	41.84'	L69	N55°51'48"E	7.50'	L93	N25°59'35"W	13.50'	C21	20°36'11"	865.00'	311.05'	S03°25'07"W	309.37'
L22	S19°00'25"W	10.00'	L46	S61°00'00"W	16.71'	L70	S34°08'12"E	1.70'	L94	N76°16'47"W	27.03'	C22	4°52'36"	881.00'	74.99'	S11°31'46"W	74.96'
L23	N25°59'35"W	23.50'	L47	N76°16'47"W	53.04'	L71	S54°49'01"E	17.91'	L95	N13°43'13"E	10.00'	C23	11°53'25"	290.00'	9.57'	N10°02'11"W	9.57'
L24	N64°00'25"E	5.00'	L48	S76°16'27"E	47.17'	L72	N05°10'59"E	18.45'	L96	S76°16'47"E	27.01'	C24	2°44'47"	270.00'	12.94'	S09°36'30"W	12.94'



P&Z Approved  
09/03/2024

**FINAL PLAT**  
**WINDSONG RANCH OFFICE ADDITION**  
**BLOCK A, LOT 2 & 3**  
BEING ALL OF THE CONVEYANCE PLAT OF WINDSONG RANCH OFFICE ADDITION BLOCK A, LOT 2 RECORDED IN DOCUMENT NO. 2022-131, P.R.D.C.T. **3.593 ACRES**  
AARON ROBERTS SURVEY, ABSTRACT NO. 1115 TOWN OF PROSPER, DENTON COUNTY, TEXAS TOWN PROJECT NO. DEVAPP-24-0041

**FLOOD STATEMENT:**  
According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48121C0290G and 48121C0430G, for DENTON County, Texas and incorporated areas, dated April 18, 2011, a portion of this property is located within Zone X (unshaded) and a portion of this land is located in Zone A. Zone X (unshaded) is defined as "Areas determined to be outside the 0.2% annual chance floodplain" and Zone A defined as "Special flood hazard areas (SFHAs) subject to inundation by the 1% annual chance flood (No Base Flood Elevations determined)".  
Current FEMA floodplain lines are not graphically depicted per the direction of Town of Prosper Engineering.

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

- NOTES:**
- Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).
  - The purpose of this final plat is to dedicate/abandon easements and create 2 lots for development.
  - Notice: Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and state law and is subject to fine and withholding of utilities and building permits.
  - All landscape easements must be exclusive of any other type of easement unless otherwise shown on this plat.

## Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 30'	AEL	DJD	August 2024	064620300	1 OF 2

**OWNER:**  
SKS PROSPER TEELPKWY HOLDING, LLC  
603 E BROADWAY STREET  
PROSPER, TEXAS 75078  
CONTACT: SHREE RAMA  
PH. (956) 220-4194

**ENGINEER/SURVEYOR:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER,  
SUITE 700  
DALLAS, TEXAS 75240  
CONTACT: JEFFREY DOLJAN  
PH. (972) 770-1300



OWNERS CERTIFICATE  
STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC, is the owner of a tract of land situated in the Aaron Roberts Survey, Abstract No. 1115, Town of Prosper, Denton County, Texas, and being all of a that tract of land described in the Special Warranty Deed to SKS Prosper Teelpkwy Retail Holdings LLC, recorded in Document No. 2023-43637, Deed Records, Denton County, Texas, and being all of Lot 2, Block A of the Windsong Ranch Office Addition, an addition to the Town of Prosper, Denton County, Texas, according to the conveyance plat thereof recorded in Document No. 2022-131, Plat Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod with plastic cap stamped "SPIARS ENG" found for the southwest corner of said Windsong Ranch Office Addition, and being in an east right-of-way line of Teel Parkway (a variable width right-of-way);

THENCE with the south line of said Windsong Ranch Office Addition, the following courses and distances:

North 82°46'38" East, a distance of 51.29 feet to a 1/2-inch iron rod with plastic cap stamped "SPIARS ENG" found for corner;

North 64°00'25" East, a distance of 9.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner in said east right-of-way line of Teel Parkway, the southwest corner of said Lot 2, Block A, the southeast corner of a 60-foot Right-of-Way Dedication recorded in said Document No. 2022-131, and being in the north line of that certain tract of land designated as "Tract 1" as described in the Special Warranty Deed to VP WINDSONG OPERATIONS LLC, recorded in Document No. 2018-142926, Deed Records, Denton County, Texas, and being at the beginning of a non-tangent curve to the right with a radius of 890.00 feet, a central angle of 22°10'32", and a chord bearing and distance of North 02°37'57" East, 342.32 feet, and being the **POINT OF BEGINNING**;

THENCE with said east right-of-way line and the west line of said Lot 2, Block A, the following courses and distances:

In a northerly direction, with said non-tangent curve to the right, an arc distance of 344.46 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

North 13°43'13" East, a distance of 166.50 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the northwest corner of said Lot 2, Block A, same being the southwest corner of Lot 1, Block A of the Windsong Ranch Office Addition, an addition to the Town of Prosper, Denton County, Texas, according to the plat thereof recorded in Document No. 2024-126, Plat Records, Denton County, Texas;

THENCE with the common line of said Lot 1 and 2, Block A, North 90°00'00" East, a distance of 340.43 feet to a 1/2-inch iron rod with yellow plastic cap stamped "SPIARS ENG" found for the southeast corner of said Lot 1, Block A, and the northeast corner of said Lot 2, Block A, and being in the west line of a called 113.223 acre tract of land described in the Special Warranty Deed to PROSPER INDEPENDENT SCHOOL DISTRICT, recorded in Document No. 2017-34540, Deed Records, Denton County, Texas;

THENCE with the west line of said 113.223 acre tract, South 00°00'00" East, a distance of 310.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "SPIARS ENG" found for the southwest corner of said 113.223 acre tract, same being in the north line said tract designated as "Tract 1", and being at the southeast corner of said Lot 2, Block A;

THENCE with the common line of said Lot 2, Block A, and said "Tract 1", South 64°00'25" West, a distance of 440.17 feet to the **POINT OF BEGINNING** and containing a computed area of 156,502 square feet or 3.593 acres of land.

**NOW THEREFORE KNOWN ALL MEN BY THESE PRESENTS:**

THAT, SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC, acting herein by and through its duly authorized officer, does hereby certify and adopt this plat designating the herein above described property as **WINDSONG RANCH OFFICE ADDITION, BLOCK A, LOT 2 & 3**, an addition to the Town of Prosper, and does hereby dedicate to the public user forever, the streets and alleys shown thereon. The **SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC**, does hereby certify the following:

- The streets and alleys are dedicated for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens and/or encumbrances.
- The easements and public use areas, as shown are dedicated for the public use forever for the purposes indicated on this plat.
- No building, fences, trees, shrubs or other improvements or growth shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and Town of Prosper's use thereof.
- The Town of Prosper and public utilities shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the Town of Prosper.
- 100 year Floodplain Easement Restriction: Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result; and subject to all owners or the property affected by such construction becoming a party to the request.) Where construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100-year flood elevation as determined by analyzing the ultimate build-out conditions of the entire drainage basin. Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with maintenance of the area. The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure(s) within the natural drainage channels. The natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If the Subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

**ACCESS EASEMENT**

The undersigned covenants and agrees that the access easement(s) may be utilized by any person of the general public for ingress and egress to other real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all time of the Town of Prosper, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon, and across said premises.

**FIRE LANE EASEMENT**

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fenced trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

**STREET EASEMENT**

The area or areas shown on the plat as "Street Easement" are hereby given and granted to the Town of Prosper (Called "Town") its successors and assigns, as an easement to construct, reconstruct, operate, repair, re-build, replace, relocate, alter, remove and perpetually maintain street and highway facilities, together with all appurtenances and incidental improvements, in, upon and across certain real property owned by Grantor. Appearances and incidental improvements include, but are not limited to curbs, gutters, inlets, aprons, traffic signs with or without attached flashing lights, guard rails, sidewalks, buried conduits, buried Town utilities, and underground franchise utilities. Street easements, shall remain accessible at all times and shall be maintained by the Owners of the lot or lots that are traversed by, or adjacent to the Street Easement. After doing any work in connection with the construction, operation or repair of the street and highway facilities, the Town shall restore the surface of the Street Easements as close to the condition in which it was found before such work was undertaken as is reasonably practicable, except for trees, shrubs, and structures within the Street Easement that were removed as a result of such work.

**LANDSCAPE EASEMENT**

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a Replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any homeowners' association hereafter established for the owners of lots in this subdivision and/or the owner of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Prosper, Texas.

WITNESS, my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

By: SKS PROSPER TEELPKWY RETAIL HOLDINGS, LLC

Authorized Signature \_\_\_\_\_ Printed Name and Title \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared \_\_\_\_\_, known to me to be the person and office whose name is subscribed to the foregoing instrument, and acknowledge to me the he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary Public, State of Texas

**SURVEYOR'S CERTIFICATE**

Known All Men By these Presents:

That I, David J. De Weirtd, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulation of the Town of Prosper, Texas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

**PRELIMINARY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT  
8/21/2024

David J. De Weirtd  
Registered Professional Land Surveyor  
Texas Registration No. 5066

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared David J. De Weirtd, known to me to be the person and office whose name is subscribed to the foregoing instrument, and acknowledge to me the he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary Public, State of Texas

**CERTIFICATE OF APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024,  
by the Planning & Zoning Commission of the Town of Prosper,  
Texas.

\_\_\_\_\_  
Town Secretary

\_\_\_\_\_  
Engineering Department

\_\_\_\_\_  
Development Services Department

**FINAL PLAT**  
**WINDSONG RANCH OFFICE ADDITION**  
**BLOCK A, LOT 2 & 3**  
BEING ALL OF THE CONVEYANCE PLAT OF  
WINDSONG RANCH OFFICE ADDITION BLOCK A, LOT 2  
RECORDED IN DOCUMENT NO. 2022-131, P.R.D.C.T.  
**3.593 ACRES**  
AARON ROBERTS SURVEY, ABSTRACT NO. 1115  
TOWN OF PROSPER, DENTON COUNTY, TEXAS  
TOWN PROJECT NO. DEVAPP-24-0041

**Kimley»Horn**

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	AEL	DJD	August 2024	064620300	2 OF 2

OWNER:  
SKS PROSPER TEELPKWY HOLDING, LLC  
603 E BROADWAY STREET  
PROSPER, TEXAS 75078  
CONTACT: SHREE RAMA  
PH. (956) 220-4194

ENGINEER/SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER,  
SUITE 700  
DALLAS, TEXAS 75240  
CONTACT: JEFFREY DOLJAN  
PH. (972) 770-1300





## PLANNING

**To:** Planning & Zoning Commission **Item No. 5**

**From:** Suzanne Porter, AICP, Planning Manager

**Through:** David Hoover, AICP, Director of Development Services

**Re:** Consideration of the Unified Development Code

**Meeting:** October 21, 2025

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**Agenda Item:**

Conduct a Public Hearing to consider the adoption of a Unified Development Code, which encompasses amendments to Building Regulations, Business Regulations, Fire Prevention and Protection codes, Health and Sanitation codes, the Subdivision Regulation, Utilities standards, the Zoning Ordinance, Engineering Design Standards, and Definitions. (ZONE-25-0014)

**Background:**

On October 7, 2025, the Planning & Zoning Commission held a Public Hearing on this item. The Public Hearing was continued, and the item was tabled to October 21, 2025. In order to allow further discussion of the Unified Development Code, Staff recommends tabling the item to November 4, 2025.

**Town Staff Recommendation**

Town Staff recommends that the Planning & Zoning Commission table this item and continue the Public Hearing to November 4, 2025.