



PLANNING BOARD MEETING- JUNE

Monday, June 05, 2023 at 5:30 PM
City Council Chambers | 202 N. Virginia Street, Port Lavaca TX 77979

PUBLIC NOTICE OF MEETING

AGENDA

Planning Board will consider/discuss the following items and take any action deemed necessary.

COVID-19 MEETING PROCEDURE

Public notice is hereby given that the Planning Board of the City of Port Lavaca, Texas, will hold a regular meeting Monday, June 5, 2023 beginning at 5:30 p.m., at the regular meeting place in Council Chambers at City Hall, 202 North Virginia Street, Port Lavaca, Texas to consider the following items of business:

The meeting will also be available via the video conferencing application “ ZOOM”.

Join Zoom Meeting

<https://us02web.zoom.us/j/84391185971?pwd=YWRzcFk1WU53Q3pFYU44ZDlNRjFyQT09>

Meeting ID: 843 9118 5971

Passcode: 522145

One tap mobile

+13462487799,,84391185971#,,,,*522145# US (Houston)

Dial by your location

+1 346 248 7799 US (Houston)

ROLL CALL

CALL TO ORDER

APPROVAL OF MINUTES

1. Review and approval of the May 2023 meeting minutes.

ACTION ITEMS - *Council will consider/discuss the following items and take any action deemed necessary*

2. Consider and discuss approval for a Variance to the ordinance Sec. 12-24. - Building Setbacks for Block 1, Lot 37 of the Burkeshire Addition (1615 Burkedale Drive), Parcel ID # 19116.
3. Consider and discuss approval for a conceptual two-story, single-family dwelling and restaurant with a Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107. To be located at 212 South Commerce Street.

4. Consider and discuss a conceptual light industrial park to be located on Alcoa Drive within the city limits of Port Lavaca. The property identification number is 40091. The legal description for this parcel is A0137 SAMUEL SHUPE, TRACT PT 3, ACRES 29.31, Port Lavaca, Calhoun County, Texas.
5. Consider and discuss approval of a replat and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N).

COMMENTS FROM THE PUBLIC

** (Limited to 3 minutes per individual unless permission to speak longer is received in advance. You may make public comments as you would at a meeting by logging on with your computer and using "Join Zoom Meeting" information on first page of this agenda).*

ADJOURN

CERTIFICATION OF POSTING NOTICE

This is to certify that the above notice of a regular meeting of The Planning Board of The City of Port Lavaca, scheduled for **Monday, June 5, 2023**, beginning at 5:30 p.m., was posted at city hall, easily accessible to the public, as of **5:00 p.m. Friday, June 2, 2023**.

Derrick Smith, *Director of Development Services*

ADA NOTICE

The Port Lavaca City Hall and Council Chambers are wheelchair accessible. Access to the building is available at the primary north entrance facing Mahan Street. Special parking spaces are located in the Mahan Street parking area. In compliance with the Americans with Disabilities Act, the City of Port Lavaca will provide for reasonable accommodations for persons attending meetings. To better serve you, requests should be received 24 hours prior to the meetings. Please contact City Secretary Mandy Grant at (361) 552-9793 Ext. 230 for assistance.

COMMUNICATION

SUBJECT: Consider and discuss approval for a Variance to the ordinance Sec. 12-24. - Building Setbacks for Block 1, Lot 37 of the Burkeshire Addition (1615 Burkedale Drive), Parcel ID # 19116.

INFORMATION:

CITY OF PORT LAVACA

MEETING: June 5, 2023 AGENDA ITEM _____

DATE: 05/24/2023

TO: PLANNING COMMISSION

FROM: DERRICK SMITH, DEVELOPMENT SERVICES DIRECTOR

SUBJECT: Consider and discuss approval for a Variance to the ordinance Sec. 12-24. - Building Setbacks for Block 1, Lot 37 of the Burkeshire Addition (1615 Burkedale Drive), Parcel ID # 19116.

This Variance request is to construct a carport that will project into the 25ft front building setback line. The dimensions of the finished carport would leave 12' from back of curb on the west side of the driveway and 26' 6" from back of curb on the east side of the driveway. Please see applicant Request for Variance for more details.

Sec. 12-24. - Building setbacks

- (a) *Definitions.* For the purpose of this article, the term "building setback lines" means to the distance that buildings or structures must be from the property line.
- (d) Minimum setback requirements.
 - (10) Subdivision building lines.

Subdivision	Front Building Setback Line
Burkeshire	25 feet min.
	40 feet max.

Staff Recommendation: Approval of the request due to similar allowances for properties within the same block.

Attachments:

- Request for Variance
- Proposed site plan
- Picture

City of Port Lavaca Request for Variance

Date: 05-23-2023

Name: Eduardo Villalobos

Address: 1615 Burkedale dr

Variance being requested: for the building
setback line on the front of the property

Reason for request: Construction of carport with wooden structure fixed to the ground and metal roof. Measurements are 25' by 27' total of 675 ft². Carport will be 30' from the curb except on the left side where the curb has a curve where it measures 15'. Carport will still be within my property and won't disturb any city services.

Eduardo Villalobos
Signature


Phone number

Date of Planning Board: 6/5/2023

Received by: 



CITY OF PORT LAVACA TEXAS

Permit Number

RESIDENTIAL BUILDING PERMIT APPLICATION

Requirements - PLEASE READ ALL OF THE FOLLOWING INSTRUCTIONS CAREFULLY

Your application will not be accepted if any of the below items are missing or incomplete. Submit applications to buildingdepartment@portlavaca.org.

- Completed and signed application form
- Contractors registered with City of Port Lavaca
- Digital submission of all required plans, as well as a printed labeled sets of required plans.

Project Information

Property Address: 1615 Burkedale dr

Building/Suite/Unit Numbers: _____ Flood Zone Yes No

Square footage: 700 Project Valuation: 2000

Type of construction: New construction Addition Remodel

Describe work to be done in detail (scope of work): Construction of Carport
With wooden structure fixed to the floor
With anchored screws and Metal roof attached to the
house

Contractor Information *(Serves as primary contact for this permit)*

Contractor Name: _____

Company Name: _____

Address: _____

Phone: _____ Email: _____

Property Owner Information

Owner Name: Eduardo Villalobos

Owner Address: 1615 Burkedale dr

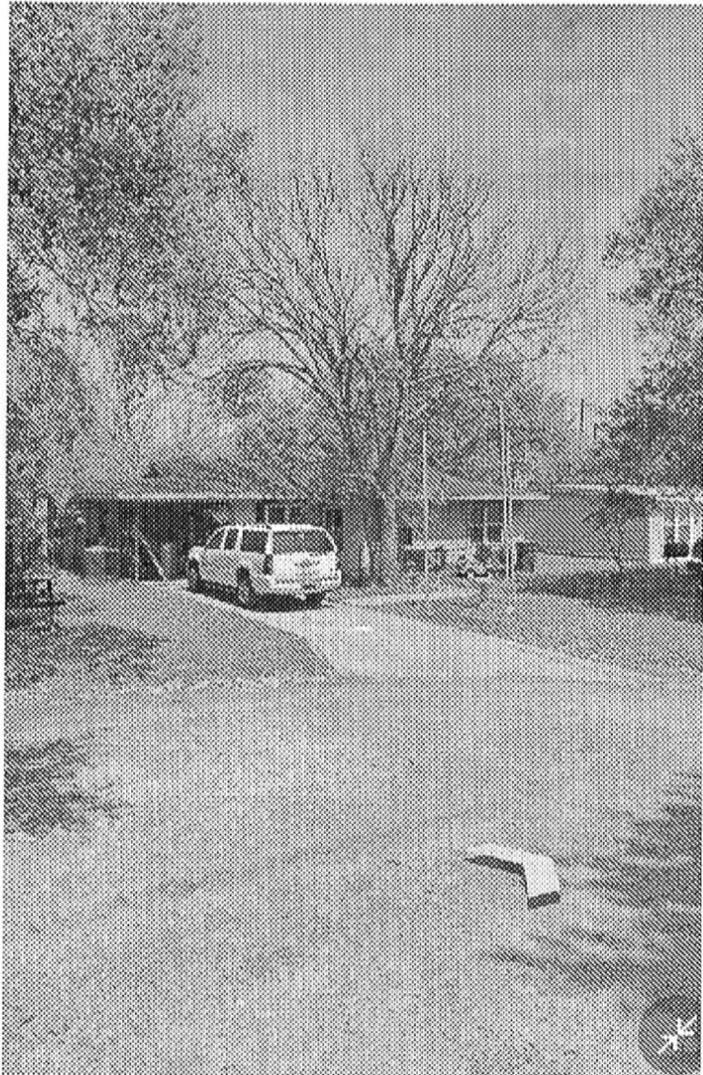
Owner Phone: [REDACTED] Owner Email: [REDACTED]

Applicant Agreement

By signing below, I acknowledge that I have read and completed all applicable requirements. I understand that if I have submitted an incomplete or false application, my application may be rejected.

Signature of Applicant: Eduardo Villalobos Date: 05-11-2023

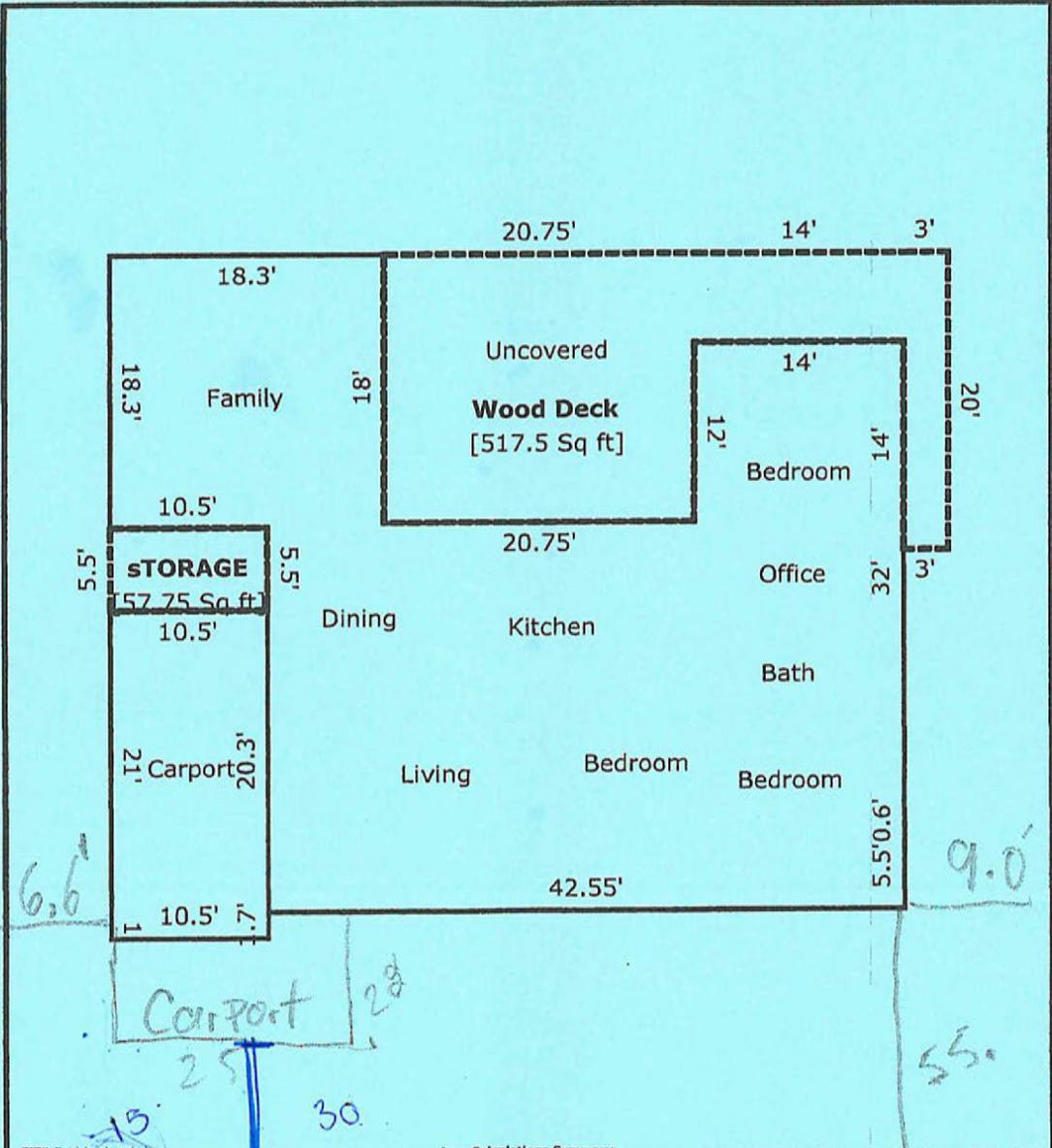




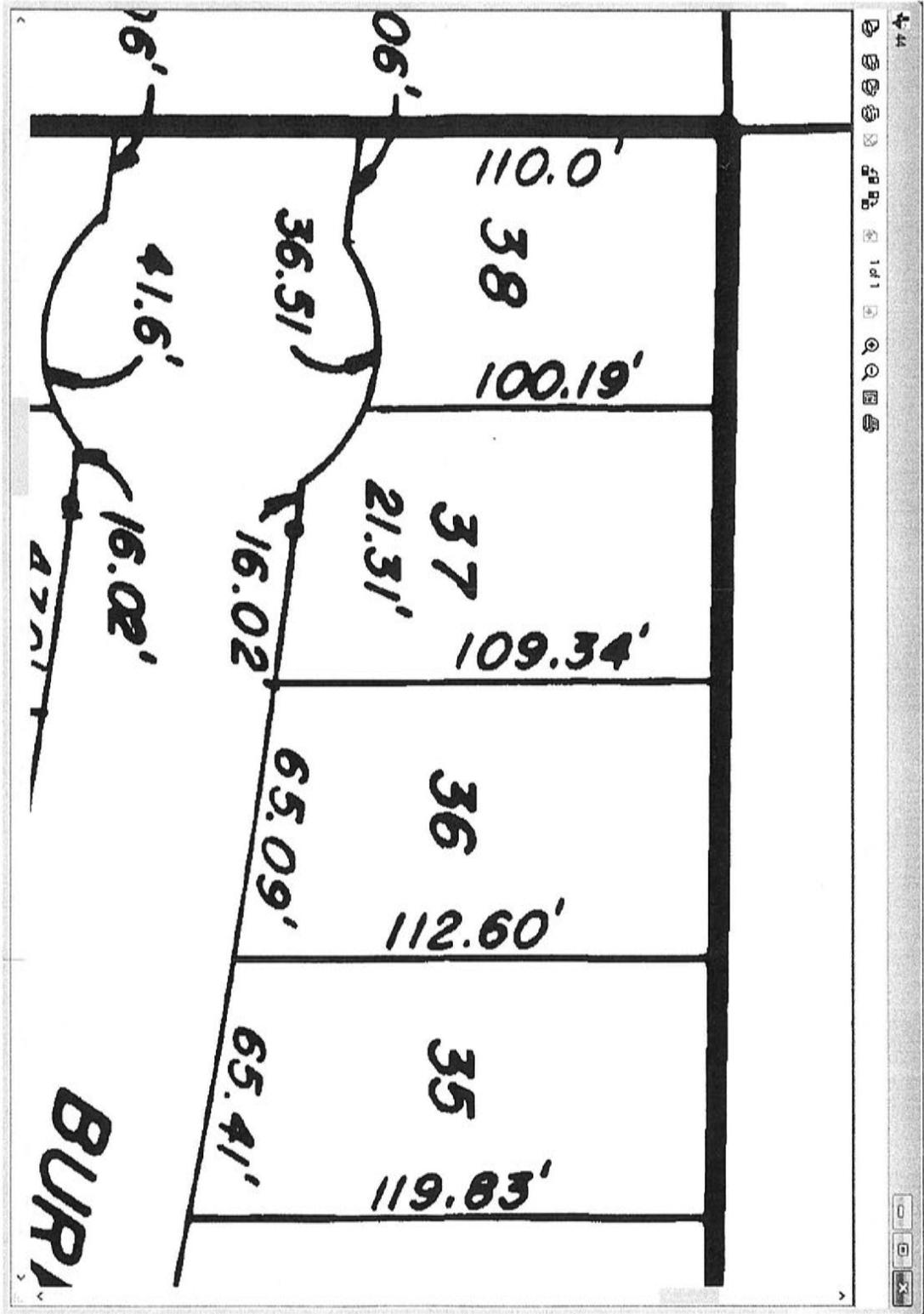


Building Sketch

Borrower	Eduardo Villalobos				
Property Address	1615 Burkedale Dr				
City	Port Lavaca	County	Calhoun	State	TX Zip Code 77979
Lender/Client	First National Bank in Port Lavaca				

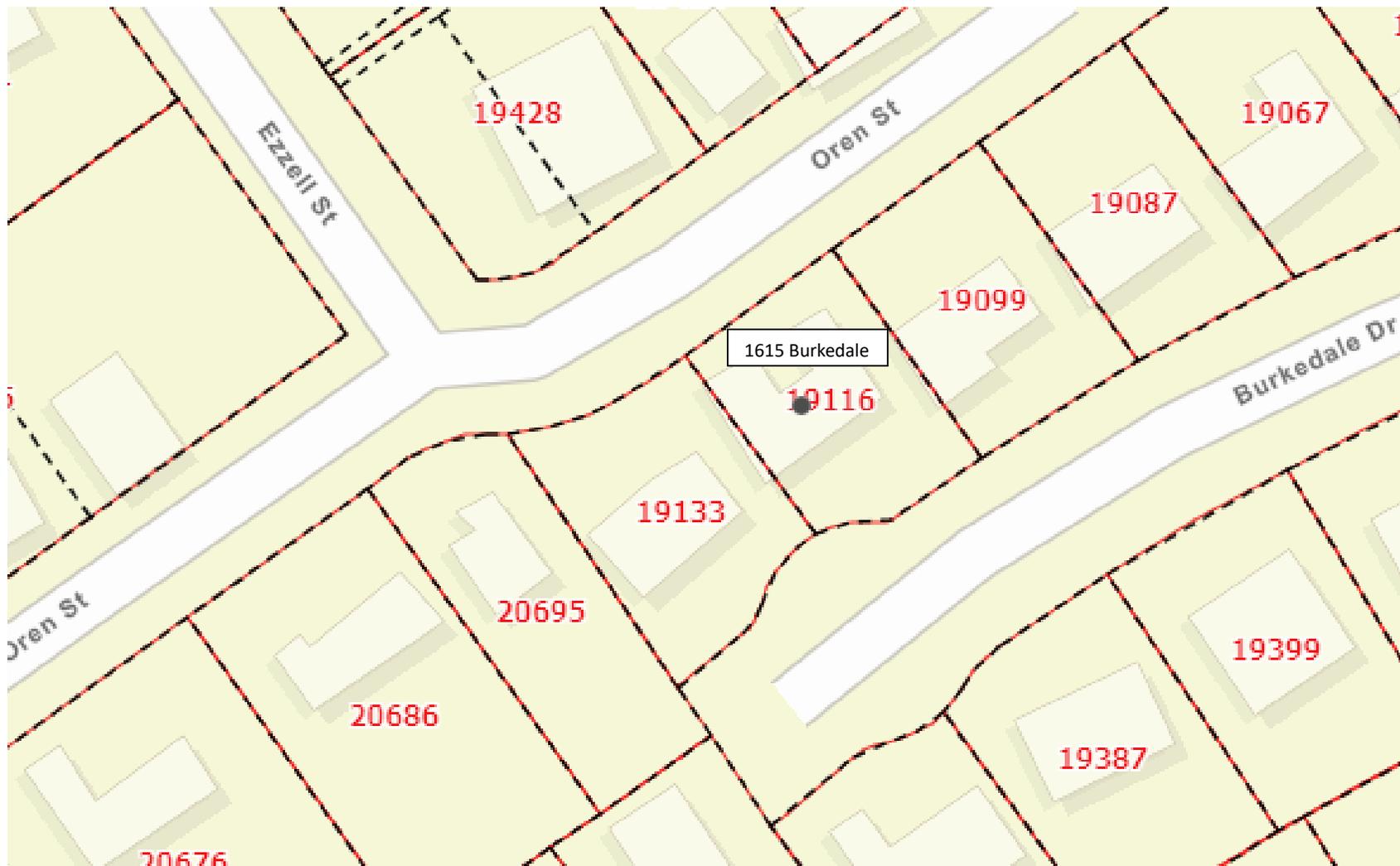


TOTAL Sketch by a la mode, Inc.		Area Calculations Summary	
Living Area		Calculation Details	
First Floor	1611.1 Sq ft	18.3 x 18 =	329.4
		14 x 12 =	168
		26.1 x 42.55 =	1110.56
		10.5 x 0.3 =	3.15
Total Living Area (Rounded):	1611 Sq ft		
Non-living Area			
1 Car Attached	231 Sq ft	10.5 x 22 =	231
Wood Deck	517.5 Sq ft	18 x 20.75 =	373.5
		6 x 14 =	84
		20 x 3 =	60
STORAGE	57.75 Sq ft	5.5 x 10.5 =	57.75





1615 Burkedale Drive



COMMUNICATION

SUBJECT: Consider and discuss approval for a conceptual two-story, single-family dwelling and restaurant with a Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107. To be located at 212 South Commerce Street.

INFORMATION:

CITY OF PORT LAVACA

MEETING: June 5, 2023 **AGENDA ITEM** _____

DATE: 05/24/2023

TO: PLANNING BOARD

FROM: DERRICK SMITH, DEVELOPMENT SERVICES DIRECTOR

SUBJECT: Consider and discuss approval for a conceptual two-story single-family dwelling and restaurant with a Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107. To be located at 212 South Commerce Street.

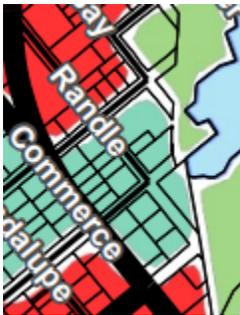
Kevin and Sasha Nevarez are requesting approval of a conceptual plan for a proposed structure that will have a restaurant elevated with pilings on the first floor and a single-family dwelling unit on the second floor. The requested variance is due to site constraints.

Sec. 42-159. - Approval of planning commission required.

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

Applicants Kevin and Sasha Nevarez are complying with this section of the ordinance.

The designation of the parcel is in accordance with the Future Land Use Map. The proposed area is designated as mixed-use.



<https://portlavaca.org/wp-content/uploads/2020/10/Future-Land-Use-Plan.pdf>

Subdivision II. - Off-Street Parking

Sec. 48-106. - Facility requirements.

- (a) Location. The off-street parking facilities required by this division shall be located on the same lot or parcel of land as the building, use or structure to which they are an accessory. Street rights-of-way between the curb and property line shall not be used

except for entrance or exit to driveways. In the event of particular difficulties in establishing the off-street parking facilities on the same parcel of land, the director of public works or the planning commission may permit such parking facilities on another lot or parcel of land, providing the straight-line distance between the two parcels shall not exceed 300 feet, and providing further, other safeguards to ensure permanent provisions of such facilities to the building, use or structure requiring same.

Subdivision II. - Off-Street Parking

Sec. 48-107. - Minimum standards.

Minimum Standards for Off-Street Parking	
Type of Structure or Use	Number of Spaces
Single-family units, more than 1,200 square feet	2
Restaurants, bars, nightclubs, etc.	0.33 per seat

The dwelling unit and restaurant are proposed to be 2,494 square feet each. The dwelling unit requires 2 spaces and the restaurant is proposed to have 44 seats and requires 15 spaces. The request is for 11 spaces which will include two ADA parking spaces.

https://library.municode.com/tx/port_lavaca/codes/code_of_ordinances?nodeId=PTIICOOR_C_H48TRVE_ARTIIPASTST_DIV3OREPALO_SDIIOREPA

Department Comments:

Engineering: Ensure ADA compliance and adequate parking

Fire: The building will need to be sprinkled

Public Works:

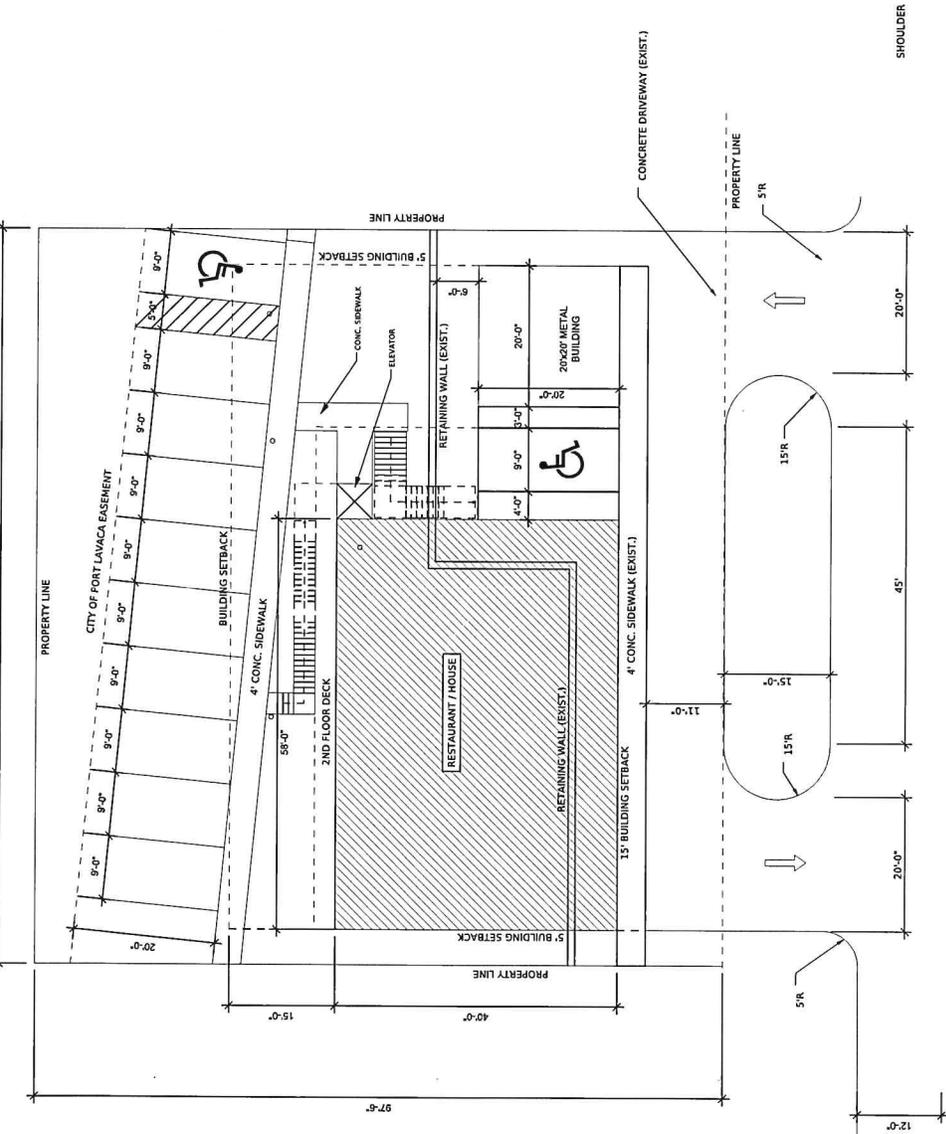
Development Services:

Staff Recommendation: APPROVAL of the Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107.

Attachments:

- Nevarez’s variance request
- CAD ID# 87352-87353
- Nevarez’s site plan

212 S. Commerce Street
 Collage Core S/D
 Block 2, Lot 4-5



S. COMMERCE ST. (SH 238)

GENERAL NOTES

Parking Requirements:
 Restaurant - 44 seats x 0.33 = 15 spaces
 Fish Market - 150 sf = 1 space
 House - 2 spaces
 Total - 18 spaces

Spaces available:
 Off-street on property - 11, 12 HO, 20KCE
 On-street - 45' available frontage at 22' per space = 2, 20KCE
 On-street in front of adjacent property owned by City of Fort Lavaca - 211' available at 22' per space = 9, 20KCE

Total spaces available:
 Off-street - 11
 On-street - 11

No.	REVISION/ISSUE	DATE

ORIENTATION

STAMP

VEF ENGINEERING
 527 Birchurst Drive
 Port Lavaca, TX 77979
 (361) 920-6240
 TX Firm No. 17596

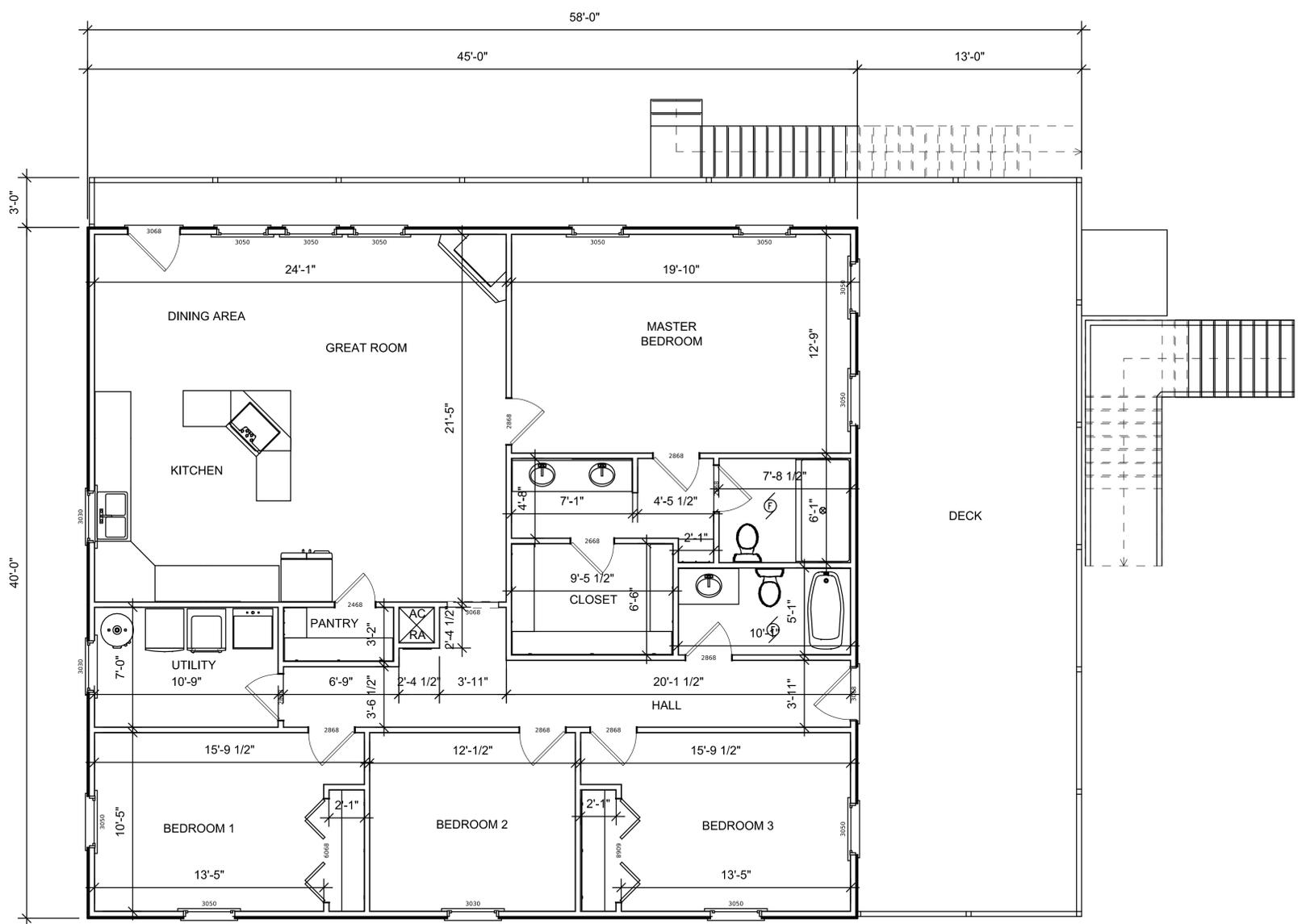
PROJECT NAME
 Nevezar House / Restaurant
 212 S. Commerce Street
 Port Lavaca, TX

CLIENT
 Kevin and Sasha Nevezar

DRAWING
SITE PLAN
 SCALE: 1/8" = 1'-0"
 DATE: MAY 2023

SHEET:
2

DRAWN BY: VEF
 CHECKED BY: VEF
 APPROVED BY: VEF



DESIGN DATA:
 2018 IRC
 WIND VELOCITY: 145 MPH (Vult.)
 IMPORTANCE CAT.: II
 EXPOSURE: C

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP
-------------	-------

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

VEF Engineering
 527 Elmhurst Drive
 Port Lavaca, TX 77979
 (361) 920-6240
 TX Firm No. 17596

PROJECT NAME:
Nevarez House / Restaurant
 212 S. Commerce Street
 Port Lavaca, TX

CLIENT:
Kevin and Sasha Nevarez

DRAWING:
FLOOR PLAN
 2nd Floor
 SCALE: 1/4" = 1'-0" DATE: NOV. 2021

DRAWN BY: VEF	SHEET: 5
CHECKED BY: VEF	
APPROVED BY: VEF	

2nd Floor Area: 1800 sf

212 South Commerce Street



COMMUNICATION

SUBJECT: Consider and discuss a conceptual light industrial park to be located on Alcoa Drive within the city limits of Port Lavaca. The property identification number is 40091. The legal description for this parcel is A0137 SAMUEL SHUPE, TRACT PT 3, ACRES 29.31, Port Lavaca, Calhoun County, Texas.

INFORMATION:

CITY OF PORT LAVACA

PB MEETING: JUNE 5, 2023 **AGENDA ITEM** _____

DATE: 05.30.2023

TO: PLANNING COMMISSION

FROM: DERRICK SMITH, DIRECTOR OF DEVELOPMENT SERVICES

SUBJECT: Consider and discuss a conceptual light industrial park to be located on Alcoa Drive within the city limits of Port Lavaca. The property identification number is 40091. The legal description for this parcel is A0137 SAMUEL SHUPE, TRACT PT 3, ACRES 29.31, Port Lavaca, Calhoun County, Texas.

Sec. 42-159. - Approval of planning commission required.

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

The applicant Henry LaBrie is proposing to develop a light industrial park on Alcoa Drive. The development will begin with the construction of two buildings on the northeast corner of the property and will continue developing the property as businesses show interest.

The designation of the parcel is not in accordance with the Future Land Use Map. The proposed area is designated as multi-family.

Future Land Use Map:

<https://portlavaca.org/wp-content/uploads/2020/10/Future-Land-Use-Plan.pdf>

Department Comments:

Engineering:

Fire:

Public Works:

Development Services:

Attachments:

- CAD Map
- Site Plan with Address
- Conceptual Plan Packet











GENERAL NOTES

THE STRUCTURE UNDER THIS CONTRACT HAS BEEN DESIGNED AND DETAILED FOR THE LOADS AND CONDITIONS STIPULATED IN THE CONTRACT AND SHOWN ON THESE DRAWINGS. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM, REMOVAL OF ANY COMPONENT PARTS, OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE ADVICE AND DIRECTION OF A REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER. THE BUILDING MANUFACTURER WILL ASSUME NO RESPONSIBILITY FOR ANY LOADS NOT INDICATED.

THIS METAL BUILDING IS DESIGNED WITH THE BUILDING MANUFACTURER'S STANDARD PRACTICES WHICH ARE BASED ON PERTINENT PROCEDURES AND RECOMMENDATIONS OF THE FOLLOWING ORGANIZATIONS AND CODES AS APPLICABLE:

1. AMERICAN INSTITUTE OF STEEL CONSTRUCTION, SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS
2. AMERICAN IRON AND STEEL INSTITUTE, SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS.
3. AMERICAN WELDING SOCIETY, STRUCTURAL WELDING CODE AWS D1.1
4. METAL BUILDING MANUFACTURER'S ASSOCIATION, LOW RISE BUILDING SYSTEMS MANUAL
5. INTERNATIONAL CODE COUNCIL: INTERNATIONAL BUILDING CODE

ALL WELDING ELECTRODES SHALL BE A233 CLASS E-70 SERIES. MINIMUM WELDS ON PRIMARY STRUCTURAL MEMBERS SHALL BE 3/16 FILLET WELDS UNLESS SHOWN OTHERWISE ON SHOP FABRICATION DRAWINGS.

ALL STRUCTURAL STEEL SHALL BE SHOP FABRICATED UNLESS NOTED.
MATERIAL PROPERTIES OF STEEL PLATE AND SHEET USED IN THE FABRICATION OF PRIMARY RIGID FRAMES AND ALL PRIMARY STRUCTURAL FRAMING MEMBERS (OTHER THAN COLD-FORMED SECTIONS) CONFORM TO THE CHEMISTRY REQUIREMENTS OF ASTM-A36 WITH MINIMUM YIELD POINT OF 50,000 P.S.I. OR 36,000 P.S.I. AS REQUIRED BY DESIGN.

MATERIAL PROPERTIES OF COLD FORMED LIGHT GAGE STEEL MEMBERS CONFORM TO THE REQUIREMENTS OF A.S.T.M. A-570, GRADE 55, WITH A MINIMUM YIELD POINT OF 57,000 P.S.I.

ALL PIPE SHALL BE MINIMUM SCHEDULE 40 AND 36,000 P.S.I. UNLESS OTHERWISE NOTED.
CABLE BRACING TO BE "BRACE GRIP" SYSTEM AS MANUFACTURED BY FLORIDA WIRE AND CABLE COMPANY, EHS CABLE OR EQUAL. BRACING IN FLUSH GIRT SIDEWALL / ENDWALL BAYS MAY REQUIRE THE FIELD CUTTING OF SLOTS SO THAT CABLE IS INSTALLED WITHIN GIRTS.

STRUCTURAL JOINTS WITH A.S.T.M. A-325 HIGH STRENGTH BOLTS, WHERE INDICATED ON THE DRAWINGS, SHALL BE ASSEMBLED AND THE FASTENERS TIGHTENED IN ACCORDANCE WITH 'SNUG-TIGHT' METHOD AS DESCRIBED IN THE SPECIFICATION FOR STRUCTURAL JOINTS USING A.S.T.M. A-325 OR A-490 BOLTS (JUNE 30, 2004 EDITION). UNLESS OTHERWISE NOTED. ALL JOINTS WILL BE ASSEMBLED WITHOUT WASHERS UNLESS OTHERWISE NOTED.

ALL STEEL MEMBERS EXCEPT BOLTS AND FASTENERS SHALL RECEIVE ONE SHOP COAT OF IRON OXIDE CORROSION INHIBITIVE PRIMER.

SHOP AND FIELD INSPECTIONS AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS OTHERWISE NOTED, ALL SCREWED-DOWN ROOF AND WALL PANELS ARE TO BE INSTALLED USING A MINIMUM OF ONE SCREW PER FOOT AT EACH PURLIN / GIRT AND ONE STITCH SCREW EVERY 24 INCH ALONG THE PANEL LAPS AND ENDS AS DESCRIBED IN THE INSTALLATION MANUAL. SINCE BEARING FRAME ENDWALLS DEPEND ON DIAPHRAGM STRENGTH TO PROVIDE LATERAL SUPPORT, THE NUMBER AND SIZE OF FIELD INSTALLED OPENINGS IN THESE WALLS MAY BE LIMITED. SEE THE APPLICABLE WALL DRAWING OR CONTACT YOUR SALES REPRESENTATIVE FOR MORE INFORMATION.

BUILDING DESCRIPTION

BLDG	WIDTH	LENGTH	HEIGHT		ROOF PITCH	
			BACK	FRONT	BACK	FRONT
1	50'-0"	X 99'-0"	X 20'-0"	20'-0"	1.00:12	1.00:12

WARRANTY NOTE

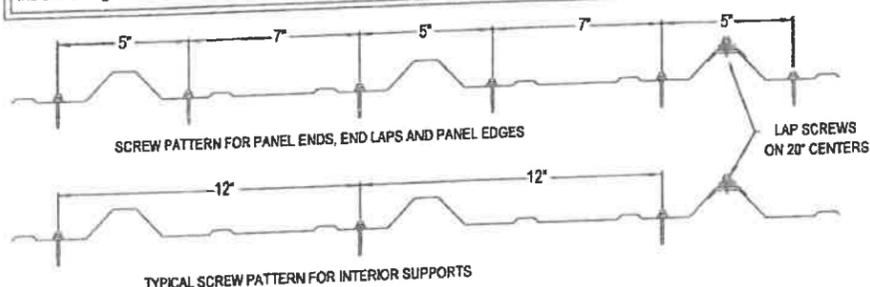
ENGINEERING CALCULATIONS AND DESIGN ARE BASED ON PRE-FABRICATED METAL BUILDING(S) AS SHOWN IN THESE DRAWINGS AND SUPPLIED BY MUELLER, INC. AND ANY FIELD FABRICATION AND/OR MODIFICATION OF SAID BUILDING(S) IS THE SOLE RESPONSIBILITY OF THE CUSTOMER AND MAY VOID ALL ENGINEERING AND WARRANTY.

TDI WINDSTORM INSPECTION PROGRAM

This building as supplied by Mueller, Inc. is designed to meet or exceed the wind loading criteria set forth in the IBC 2006 Edition as required by the Texas Dept. of Insurance's Windstorm Inspection Program. In order to maintain the integrity of this design, no field fabrication nor modification is allowed. All exterior openings (doors, window, skylights, vents, etc.) shall contain products designed and installed to comply with the Uniform Static Wind Pressure and Impact Resistance requirements set forth by the Texas Dept. of Insurance. Use of any coverings not rated to meet this criteria will void all engineering and warranty.

FASTENER SPACING:

A line of fasteners in a 5"-7"-5"-7"-5" pattern shall be used at all panel ends, end laps, and panel edges when attached to the rake, base, roof or wall purlin and eave struts. Panel side laps should have lap screws spaced at 20" on center along the entire length of the panel lap.



PRODUCT CERTIFICATIONS

THIS IS TO CERTIFY THE ABOVE REFERENCED BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH A.I.S.C. AND A.I.S.I. DESIGN PROCEDURES AND GOOD ENGINEERING PRACTICE AND FOR THE FOLLOWING LOADS. ALL WELDING IS PER THE A.W.S. D1.1 & D1.3 CODES. LOADS ARE APPLIED IN ACCORDANCE WITH THE M.B.M.A. LOW RISE BUILDING SYSTEMS MANUAL, AND THE DESIGN SATISFIES THE REQUIREMENTS OF IBC'12

DEAD LOAD: METAL BLDG STRUCTURE ONLY AS FURNISHED BY MUELLER, INC.

LIVE LOAD (ROOF): 20.0 (psf) GROUND SNOW LOAD: $P_g = 0.0$ (psf)

LIVE LOAD REDUCED PER CODE? YES ROOF SNOW LOAD (Flat): $P_r = 0.0$ (psf)

WIND EXPOSURE: C $C_e = 1.0$ $I_s = 1.0$

RISK CATEGORY: II - Normal WIND LOAD: $V_{ULT} = 141.0$ MPH
 $V_{ASD} = 109$ MPH

SEISMIC LOADS

$I_e = 1.0$ SEISMIC DESIGN CATEGORY: B

$S_s = 0.080$ $S_{ds} = 0.085$ SITE CLASS: D

$S_1 = 0.043$ $S_{d1} = 0.069$ ANALYSIS PROCEDURE: Equivalent Lateral Force Method

BUILDING-SPECIFIC LOADING INFORMATION

BLDG	Collateral Load (psf)	C _t	SNOW		Roof (Sloped) P _s (psf)	WIND		SEISMIC	
			C _s	C _s		Enclosure	GC _F	R	C _s
1	0.5	1.0	1.0	0.00	Enclosed	± 0.18	3.25	0.026	0.81

THIS LETTER OF CERTIFICATION APPLIES SOLELY TO THIS BUILDING AND ITS COMPONENT PARTS AS FURNISHED AND/OR FABRICATED BY MUELLER, INC. AND SPECIFICALLY EXCLUDES FOUNDATION, MASONRY OR GENERAL CONTRACT WORK INCLUDING ERECTION CERTIFICATION. THE DESIGN AND CERTIFICATION FOR THIS PROJECT IS IN ACCORDANCE WITH THE PROVISIONS AND LOADS SPECIFIED ON THE CONTRACT DOCUMENTS. THE CUSTOMER IS TO INSURE ALL LOADS ARE IN COMPLIANCE WITH LOCAL REGULATORY AUTHORITIES. ALL COMPONENTS AND PARTS MUST WITHSTAND THE WIND LOAD AND DESIGN SPECIFICATIONS MENTIONED ABOVE.

PANEL ACCESSORY INFORMATION

	PANEL TYPE	PANEL COLOR	TRIM COLOR
WALL SHEETS	126 PBR	GP Galvalume Plus	BLK Black
ROOF SHEETS	126 PBR	GP Galvalume Plus	BLK Black

WARNING: IN NO CASE SHOULD GALVALUME STEEL PANELS BE USED IN CONJUNCTION WITH LEAD OR COPPER. BOTH LEAD AND COPPER HAVE HARMFUL CORROSION EFFECTS ON THE ALUMINUM ZINC ALLOY COATING WHEN THEY ARE USED IN CONTACT WITH GALVALUME STEEL PANELS. EVEN RUN-OFF FROM COPPER FLASHING, WIRING, OR TUBING ONTO GALVALUME SHOULD BE AVOIDED.

NOTE: THIS BUILDING IS DESIGNED AS AN ENCLOSED STRUCTURE. ANY ACCESSORIES USED WITH THIS BUILDING (DOORS, WINDOWS, VENTS, ETC.) MUST BE RATED TO MEET THE SAME WIND CRITERIA AS THIS BUILDING.

DRAWING INDEX

PAGE	DESCRIPTION
C1	COVERSHEET
AB1	ANCHOR BOLT PLAN
AB2	ANCHOR BOLT DETAILS
AB3	ANCHOR BOLT DETAILS
AB4	REACTIONS
E1	ROOF PLAN
E2	WALL ELEVATION AT GRID D
E3	WALL ELEVATION AT GRID A
E4	WALL ELEVATION AT GRID 1
E5	WALL ELEVATION AT GRID 5
E6	FRAME ELEVATION ON GRID 2
E7	FRAME ELEVATION ON GRID 3
E8	FRAME ELEVATION ON GRID 4
E101	ERECTION DETAILS
E102	ERECTION DETAILS
E103	ERECTION DETAILS
S101	SHEETING DETAILS

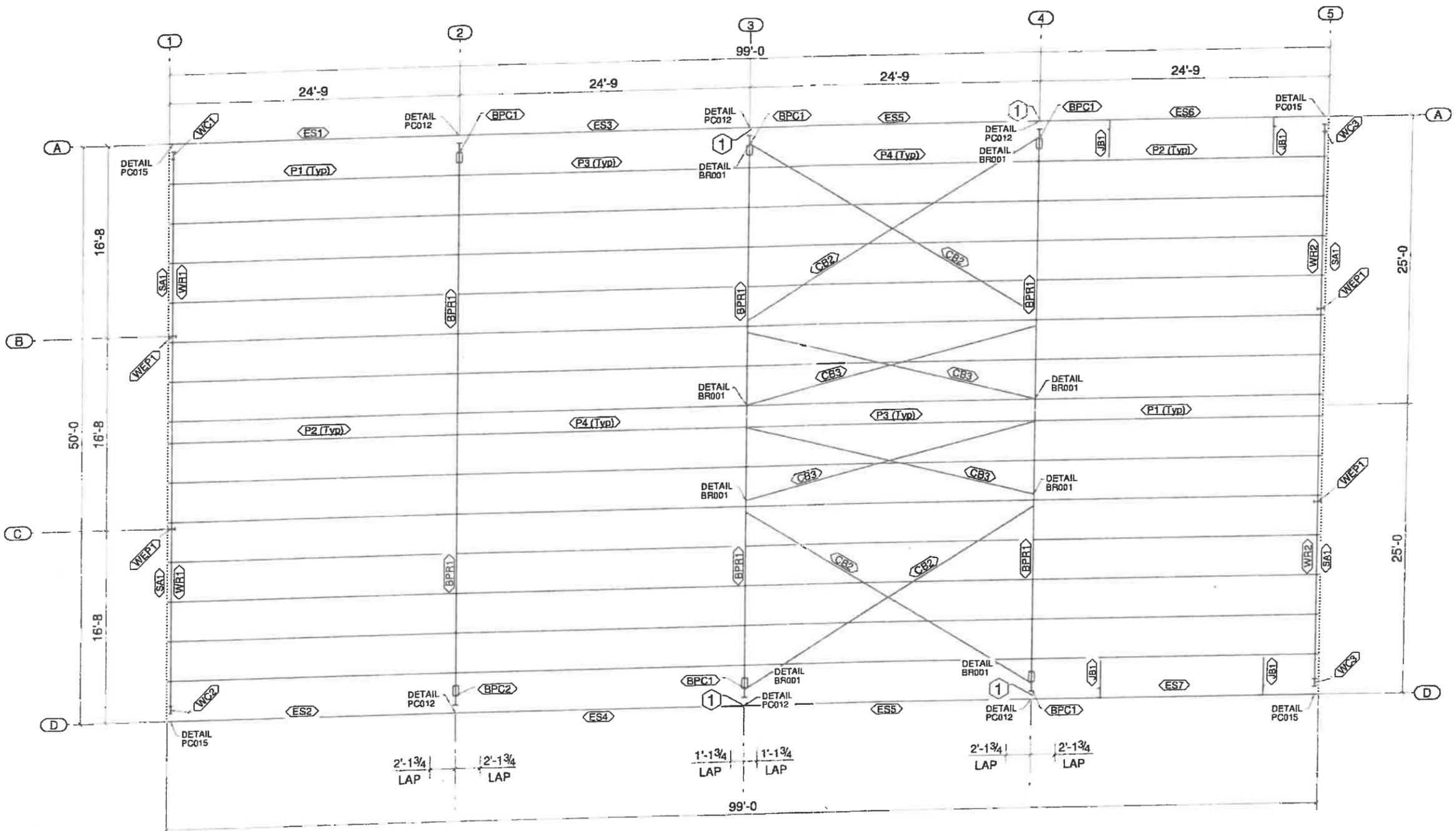


NOTE: THE UNDERSIGNED ENGINEER IS NOT THE "REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE" NOR "ENGINEER OF RECORD" FOR THE OVERALL PROJECT.

0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1013 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: COVERSHEET		ROOF SLOPE 1.00:12
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	SCALE NONE
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	DWG # C1
DETAILER: TMR	CHECKER: DATE:	JOB # 5031537
		REV. 0

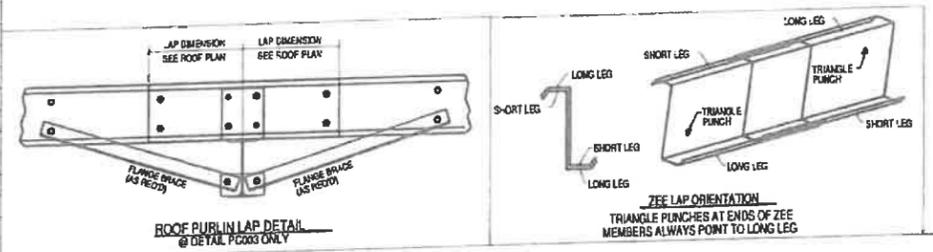
Special Bolts - Roof Plan				
ID	Qty	Type	Dia	Length
1	4	A325N	1/2"	1 1/2"

Item 4.



ROOF PLAN

Bill of Materials			
Qty	Mark	Profile	Length
4	CB2	CB5/16D	27'-3 13/16"
4	CB3	CB1/4D	23'-8 9/16"
1	ES1	81E12DU-1	24'-8 1/2"
1	ES2	81E12DU-1	24'-8 1/2"
1	ES3	81E12DU-1	24'-8 1/2"
1	ES4	81E12DU-1	24'-8 1/2"
2	ES5	81E12DU-1	24'-8 1/2"
1	ES6	81E14DU-1	24'-8 1/2"
1	ES7	81E14DU-1	24'-8 1/2"
14	P1	8X25Z14	26'-10 1/2"
14	P2	8X25Z14	26'-10 1/2"
14	P3	8X25Z16	28'-0 1/2"
14	P4	8X25Z16	28'-0 1/2"
4	SA1	L4X2x14GA	25'-0 9/16"



DJB

REV	DATE	DESCRIPTION
0		For Construction

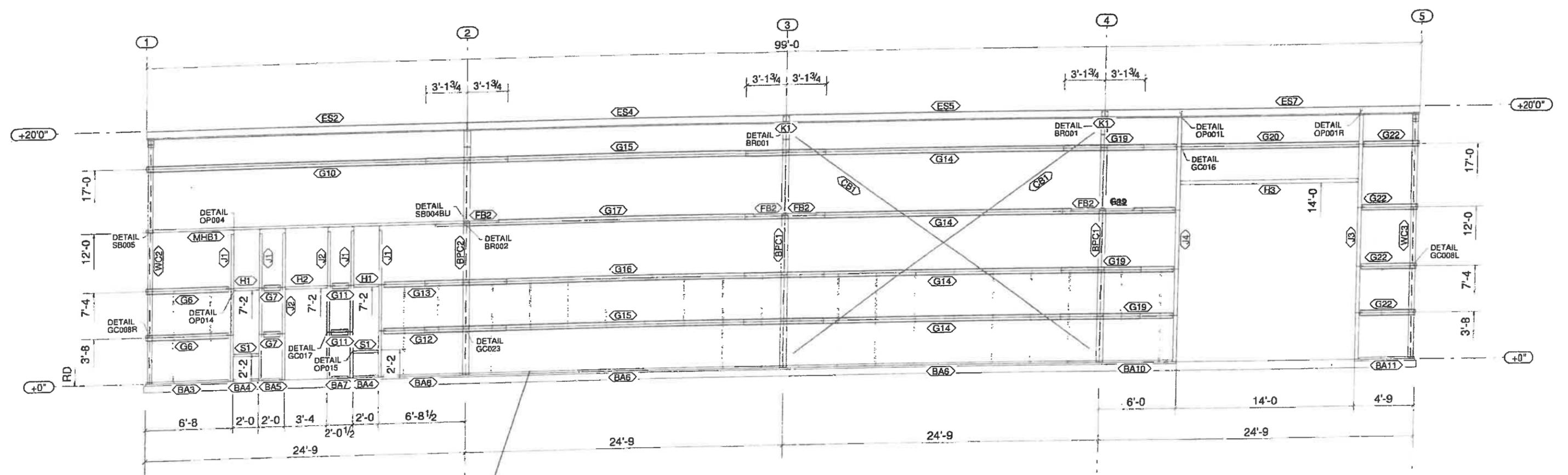
MUELLER, INC.
STEEL BUILDING SYSTEMS & COMPONENTS
1913 Hutchins Ave. Ballinger, TX 76821
(800) 527-1087

DRAWING DESCRIPTION: **ROOF PLAN**

SALESMAN: JACOB KENNA
CUSTOMER NAME: FLOODMASTER
DETAILER: TMR
CHECKER: []
DATE: []

BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"
ADDRESS: BEAUMONT, TX 77705
JOB #: 5031537

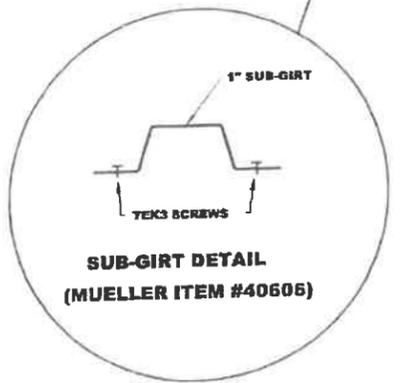
ROOF SLOPE: 1:00:12
SCALE: NONE
DWG #: E1



WALL ELEVATION AT GRID D

Sub-Girt Spacing - 3'-0" O.C. MAX

NOTE:
THIS WALL WILL BE SHEETED WITH HORIZONTAL U-PANEL UP TO 7'-4".
MUELLER ITEM #40606 WILL RUN VERTICALLY BETWEEN GIRTS WITH A MAX SPACING OF 3'-0".
USE TEK3 SCREWS TO FASTEN #40606 TO GIRTS.

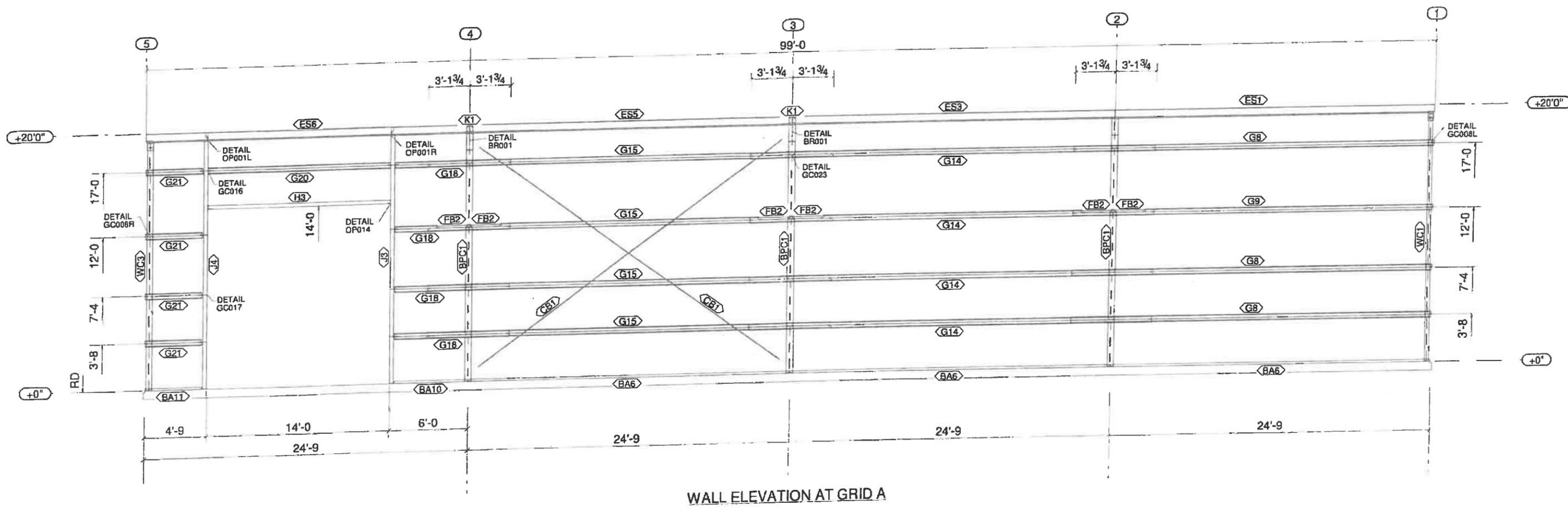


Qty	Mark	Profile	Length
1	MHB1	C8X11.5	24'-8 1/2"
1	BA3	L4X2x14GA	6'-3 1/2"
2	BA4	L4X2x14GA	1'-11 1/2"
1	BA5	L4X2x14GA	1'-3 1/2"
2	BA6	L4X2x14GA	24'-8 1/2"
1	BA7	L4X2x14GA	1'-4"
1	BA8	L4X2x14GA	6'-4"
1	BA10	L4X2x14GA	5'-7 1/2"
1	BA11	L4X2x14GA	4'-4 1/2"
2	CB1	CB3/8D	28'-10 15/16"
5	FB2	2X2L12	2'-9 7/8"
2	G6	8X25Z16	6'-3 7/16"
2	G7	8X25Z16	1'-3 3/8"
1	G10	8X25Z14	27'-10 1/2"
2	G11	8X25Z16	1'-3 7/8"
1	G12	8X25Z16	9'-5 15/16"
1	G13	8X25Z14	9'-5 15/16"
4	G14	8X25Z16	31'-0 1/2"
2	G15	8X25Z16	31'-0 1/2"
1	G16	8X25Z14	31'-0 1/2"
1	G17	8X25Z12	27'-10 1/2"
4	G19	8X25Z16	8'-9 3/8"
1	G20	8X25Z16	13'-11 1/2"
4	G22	8X25Z16	4'-4 3/8"
2	H1	8X25C16	1'-11 1/2"
1	H2	8X25C16	3'-3 1/2"
1	H3	10X35C14	13'-11 1/2"
4	J1	8X25C16	11'-7 3/8"
2	J2	8X25C16	11'-7 3/8"
1	J3	10X35C12	18'-3 5/16"
1	J4	10X35C12	18'-3 5/16"
2	S1	8X25C16	1'-11 1/2"



DJB

0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION:		ROOF SLOPE
WALL ELEVATION AT GRID D		1.00:12
SALESMAN:	JACOB KENNA	BUILDING DESCRIPTION:
CUSTOMER NAME:	FLOODMASTER	50'-0" X 99'-0" X 20'-0"
DETAILER:	TMR	ADDRESS:
CHECKER:		BEAUMONT TX 77705
DATE:		JOB #
		5031537
		DWG #
		E2



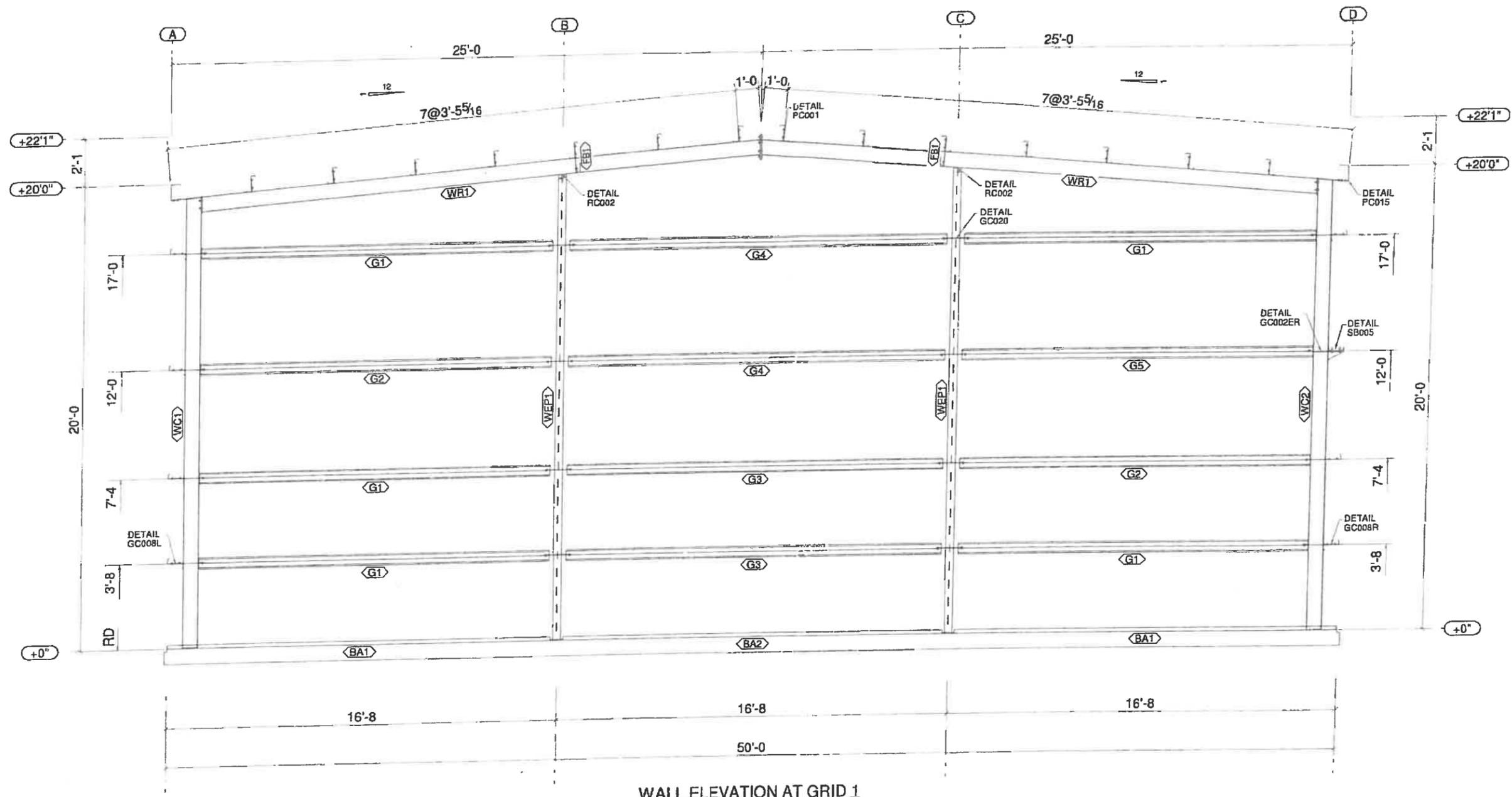
WALL ELEVATION AT GRID A

Bill of Materials			
Qty	Mark	Profile	Length
3	BA6	L4X2x14GA	24'-8 1/2"
1	BA10	L4X2x14GA	5'-7 1/2"
1	BA11	L4X2x14GA	4'-4 1/2"
2	CB1	CB3/8D	28'-10 15/16"
6	FB2	2X2L12	2'-9 7/8"
3	G8	8X25Z14	27'-10 1/2"
1	G9	8X25Z12	27'-10 1/2"
4	G14	8X25Z18	31'-0 1/2"
4	G15	8X25Z18	31'-0 1/2"
4	G18	8X25Z16	8'-9 3/8"
1	G20	8X25Z18	13'-11 1/2"
4	G21	8X25Z16	4'-4 3/8"
1	H3	10X35C14	13'-11 1/2"
1	J3	10X35C12	19'-3 5/16"
1	J4	10X35C12	19'-3 5/16"

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC.		
STEEL BUILDING SYSTEMS & COMPONENTS		
1913 Hutchins Ave. Ballinger, TX 76821		
(800) 527-1087		
DRAWING DESCRIPTION: WALL ELEVATION AT GRID A		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1:00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # E3	REV.



WALL ELEVATION AT GRID 1

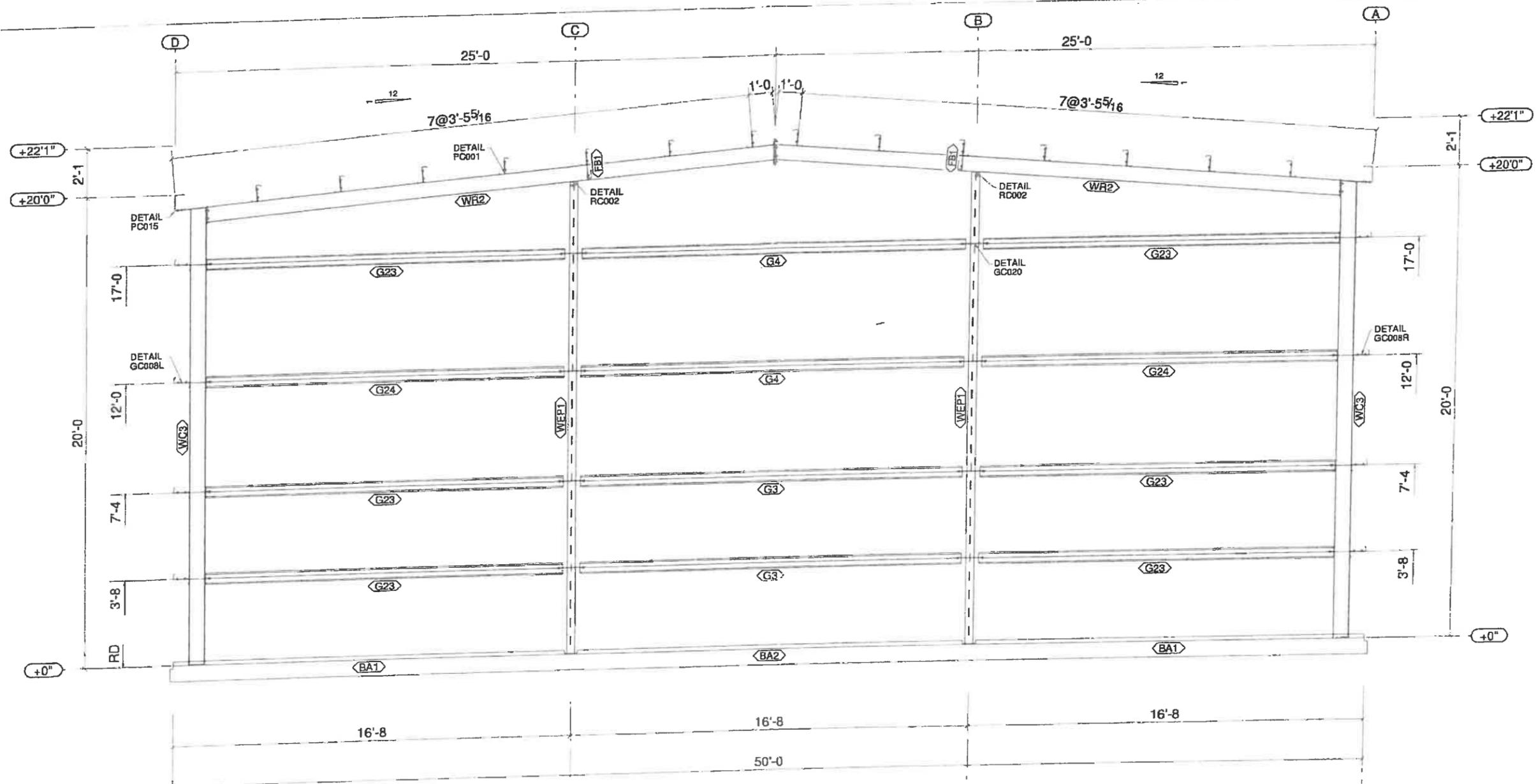
Bill of Materials			
Qty	Mark	Profile	Length
1	WC1	W8X10	
1	WC2	W8X10	
2	WEP1	W8X10	
2	WR1	W8X10	
2	BA1	L4X2x14GA	18'-4 1/2"
1	BA2	L4X2x14GA	15'-1 1/2"
2	FB1	2X2L12	2'-6"
5	G1	8X25Z16	14'-11 9/16"
2	G2	8X25Z14	14'-11 9/16"
2	G3	8X25Z16	15'-11 5/16"
2	G4	8X25Z14	15'-11 5/16"
1	G5	8X25Z14	14'-11 9/16"

DJB



ALL ENDWALL COLUMNS AND JAMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.

0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS		
1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: WALL ELEVATION AT GRID 1		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 12:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # E4	REV. 0



WALL ELEVATION AT GRID 5

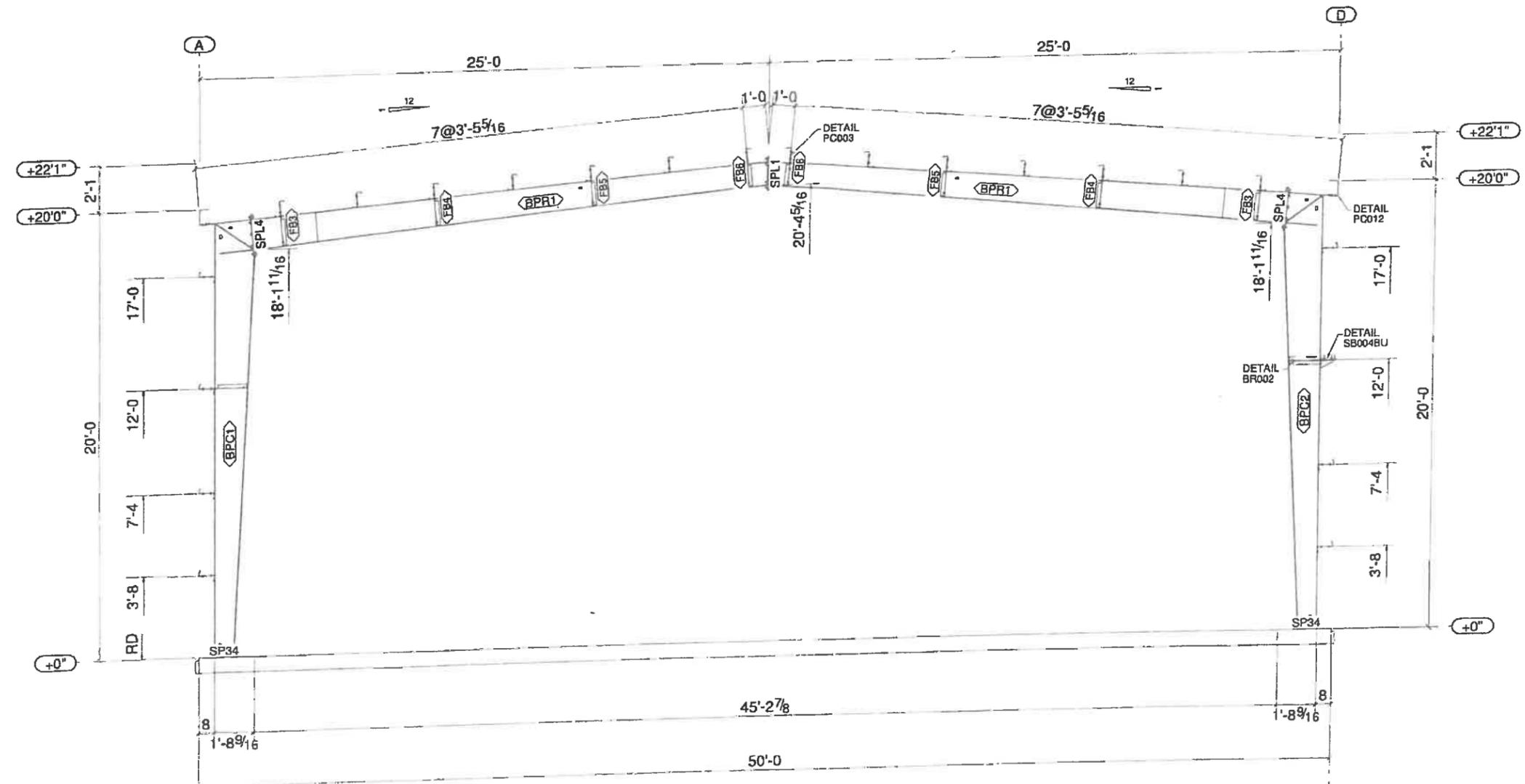
Bill of Materials			
Qty	Mark	Profile	Length
2	WC3	W8X18	
2	WEP1	W8X10	
2	WR2	W8X10	
2	BA1	L4X2x14GA	16'-4 1/2"
1	BA2	L4X2x14GA	16'-1 1/2"
2	FB1	2X2L12	2'-6"
2	G3	8X25Z16	15'-11 5/16"
2	G4	8X25Z14	15'-11 5/16"
6	G23	8X25Z16	14'-11 5/16"
2	G24	8X25Z14	14'-11 5/16"

DJB



ALL ENDWALL COLUMNS AND JAMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.

0		For Construction	
REV	DATE	DESCRIPTION	
MUELLER, INC.			
STEEL BUILDING SYSTEMS & COMPONENTS			
1013 Hutchins Ave. Ballinger, TX 76821			
(800) 527-1087			
DRAWING DESCRIPTION:			
WALL ELEVATION AT GRID 5			
SALESMAN:	JACOB KENNA	BUILDING DESCRIPTION:	50'-0" X 99'-0" X 20'-0"
CUSTOMER NAME:	FLOODMASTER	ADDRESS:	BEAUMONT, TX 77705
DETAILER:	TMR	DATE:	
CHECKER:		JOB #	5031537
		DWG #	E5
		SCALE	NONE
		REV.	
		ROOF SLOPE	1.00:12



FRAME ELEVATION ON GRID 2

BUILT UP MEMBER TABLE

Mark	Type	Thick x Max Width x Length
BPC1	WB	SHT10GAX20" x 233 3/8"
	IF	PL5/16"x6" x 213 3/4"
	OF	PL1/4"x6" x 231 13/16"
BPC2	WB	SHT10GAX20" x 233 3/8"
	IF	PL5/16"x6" x 213 3/4"
	OF	PL1/4"x6" x 231 13/16"
BPR1	WB	SHT10GAX15 1/2" x 240"
	IF	PL5/16"x6" x 38 5/8"
	IF	PL5/16"x6" x 233"
	OF	PL5/16"x6" x 38 5/8"
	OF	PL5/16"x6" x 234"
	WB	SHT10GAX16" x 32 5/8"

Bill of Materials

Qty	Mark	Profile	Length
1	BPC1	SHT10GAX20"	
1	BPC2	SHT10GAX20"	
2	BPR1	SHT10GAX15 1/2"	
4	FB3	2X2L12	2'-9 9/16"
4	FB4	2X2L12	2'-8 15/16"
4	FB5	2X2L12	2'-8 3/8"
4	FB6	2X2L12	2'-7 13/16"

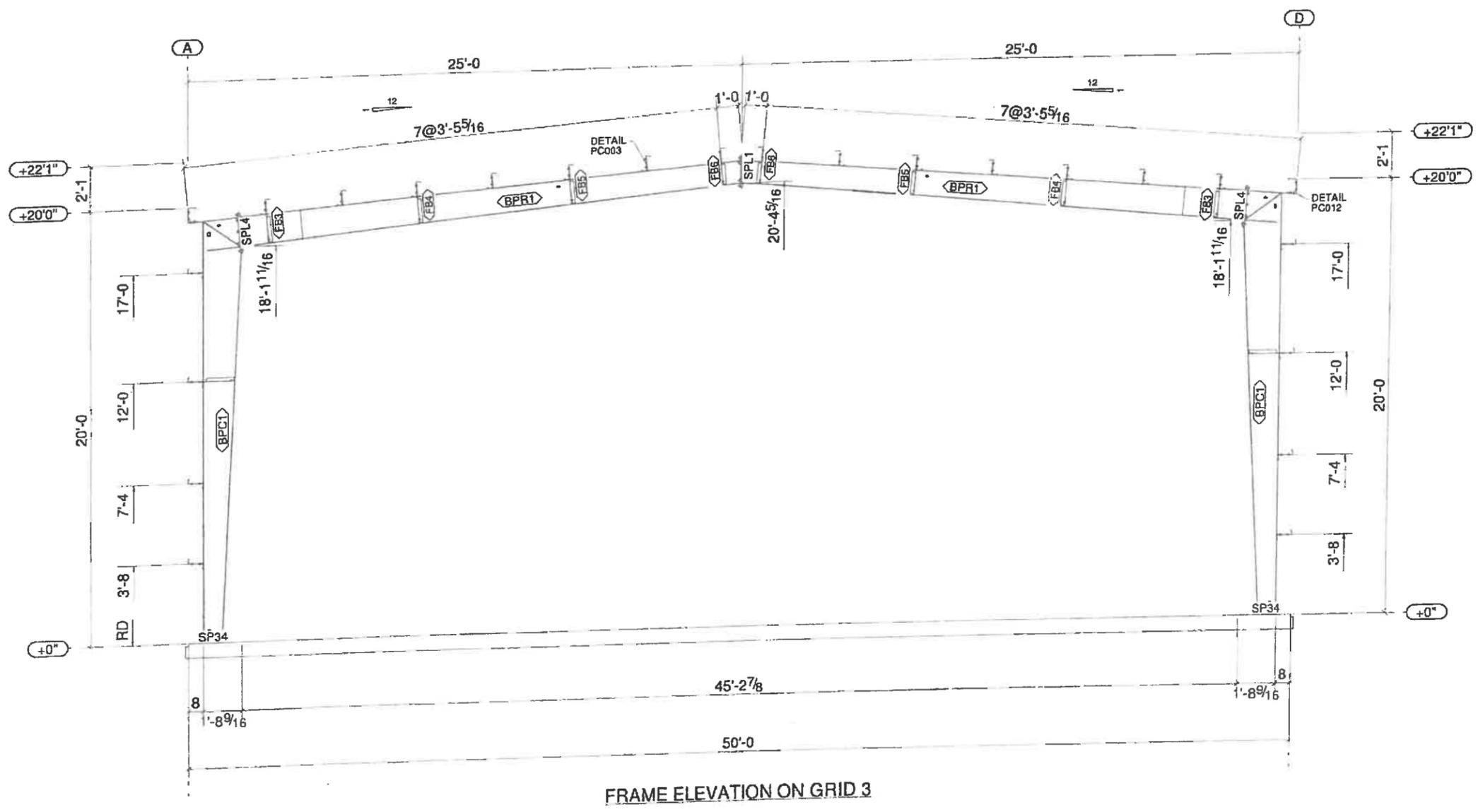
Connection Plate and Bolt Table

Mark	Plate Profile	Bolt Description
SP34	PL1/2"x6" x 10 1/2"	REF. AB PLAN
SPL1	PL1/2"x6" x 18 1/2"	8 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 - 3/4" x 2 1/2" A325N

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: FRAME ELEVATION ON GRID 2		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1.00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # E6	REV.



FRAME ELEVATION ON GRID 3

BUILT UP MEMBER TABLE

Mark	Type	Thick x Max Width x Length
BPC1	WB	SHT10GAX20" x 233 3/8"
	IF	PL5/16"x6" x 213 3/4"
	OF	PL1/4"x6" x 231 13/16"
BPR1	WB	SHT10GAX15 1/2" x 240"
	IF	PL5/16"x6" x 38 5/8"
	IF	PL5/16"x6" x 233"
	OF	PL5/16"x6" x 38 5/8"
	OF	PL5/16"x6" x 234"
WB		SHT10GAX16" x 32 5/8"

Bill of Materials

Qty	Mark	Profile	Length
2	BPC1	SHT10GAX20"	
2	BPR1	SHT10GAX15 1/2"	
4	FB3	2X2L12	2'-9 1/2"
4	FB4	2X2L12	2'-8 7/8"
4	FB5	2X2L12	2'-8 5/16"
4	FB6	2X2L12	2'-7 3/4"

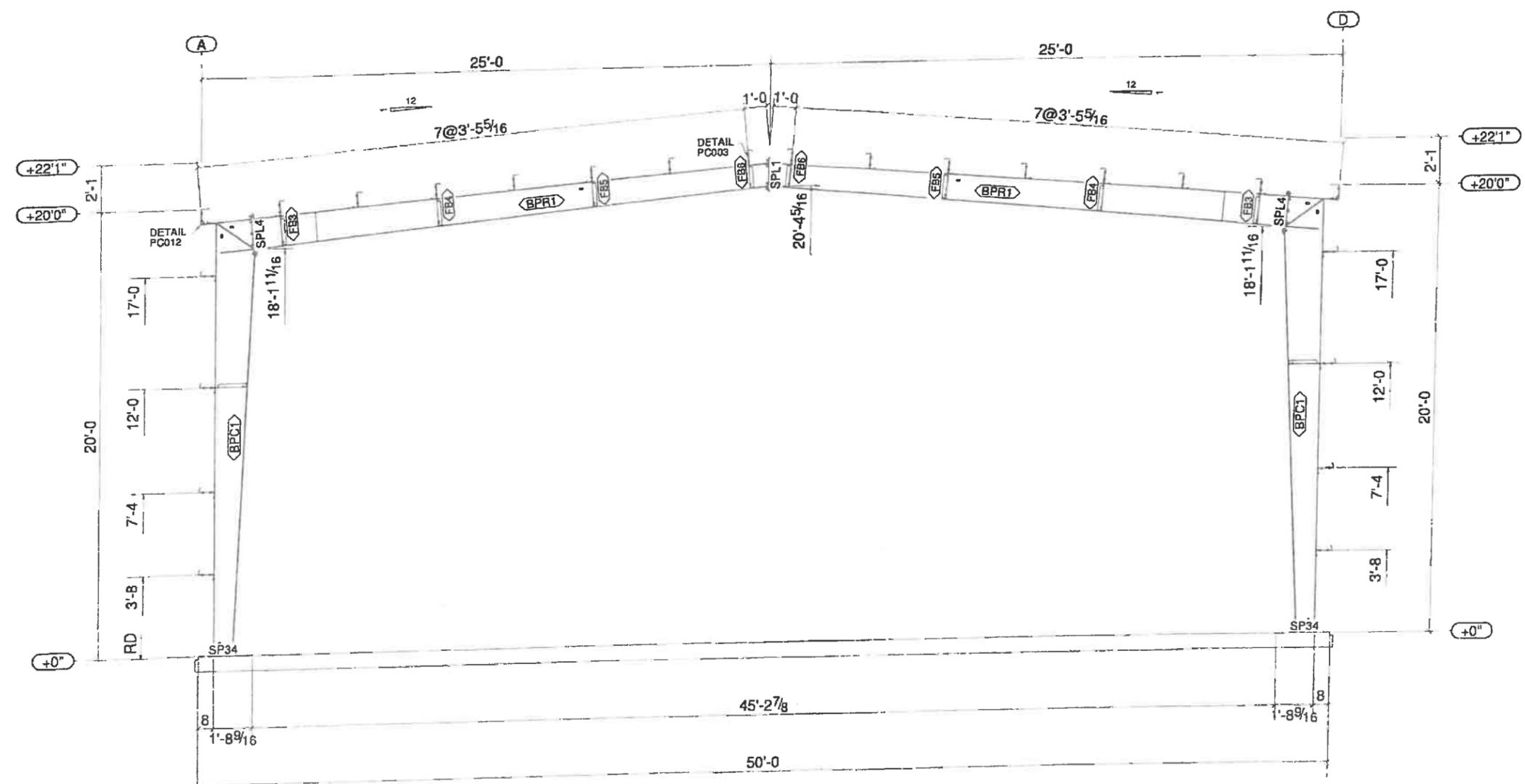
Connection Plate and Bolt Table

Mark	Plate Profile	Bolt Description
SP34	PL1/2"x6" x 10 1/2"	REF. AB PLAN
SPL1	PL1/2"x6" x 18 1/2"	8 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	0 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	0 - 3/4" x 2 1/2" A325N

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: FRAME ELEVATION ON GRID 3		ROOF SLOPE 1.00:12
SALESMAN: JACOB KENNA		SCALE NONE
CUSTOMER NAME: FLOODMASTER		JOB # 5031537
DETAILER: TMR	CHECKER:	DATE:
DWG # E7		



FRAME ELEVATION ON GRID 4

BUILT UP MEMBER TABLE			
Mark	Type	TNick x Max Width x Length	
BPC1	WB	SHT10GAX20" x 233 3/8"	
	IF	PL5/16"x6" x 213 3/4"	
	OF	PL1/4"x6" x 231 13/16"	
BPR1	WB	SHT10GAX15 1/2" x 240"	
	IF	PL5/16"x6" x 38 5/8"	
	IF	PL5/16"x6" x 233"	
	OF	PL5/16"x6" x 38 5/8"	
	OF	PL5/16"x6" x 234"	
	WB	SHT10GAX16" x 32 5/8"	

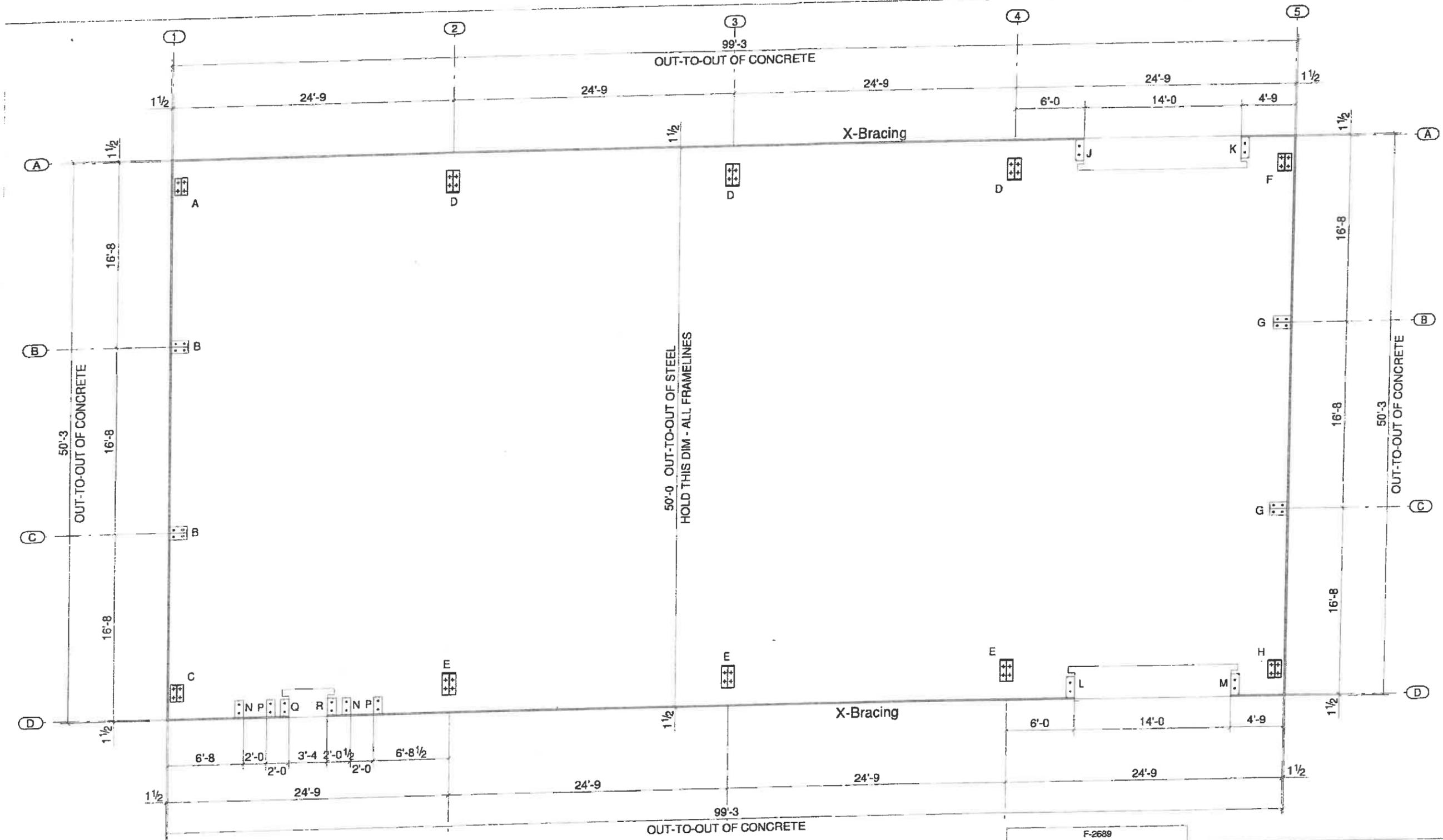
Bill of Materials			
Qty	Mark	Profile	Length
2	BPC1	SHT10GAX20"	
2	BPR1	SHT10GAX15 1/2"	
4	FB3	2X2L12	2'-9 9/16"
4	FB4	2X2L12	2'-8 15/16"
4	FB5	2X2L12	2'-8 3/8"
4	FB6	2X2L12	2'-7 13/16"

Connection Plate and Bolt Table		
Mark	Plate Profile	Bolt Description
SP34	PL1/2"x6" x 10 1/2"	REF. AB PLAN
SPL1	PL1/2"x6" x 18 1/2"	8 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 - 3/4" x 2 1/2" A325N

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS		
1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: FRAME ELEVATION ON GRID 4		ROOF SLOPE: 1.00:12
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	SCALE: NONE
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	REV.:
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # E8	REV. # 0

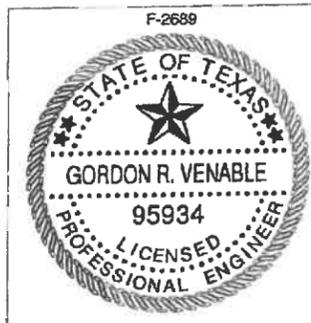


ANCHOR BOLT PLAN
NOTE: Base Plates @ 100'-0" (U.N.)

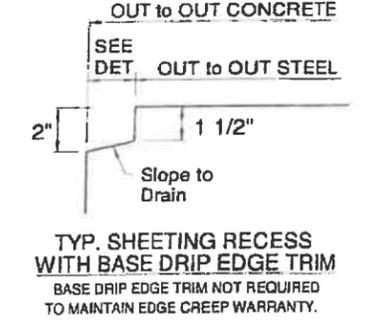
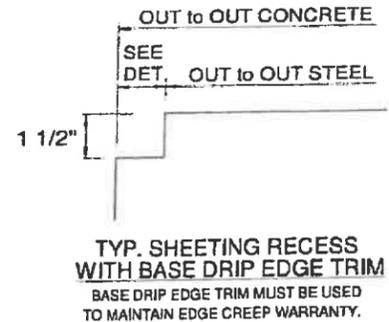
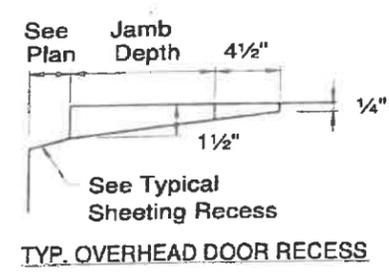
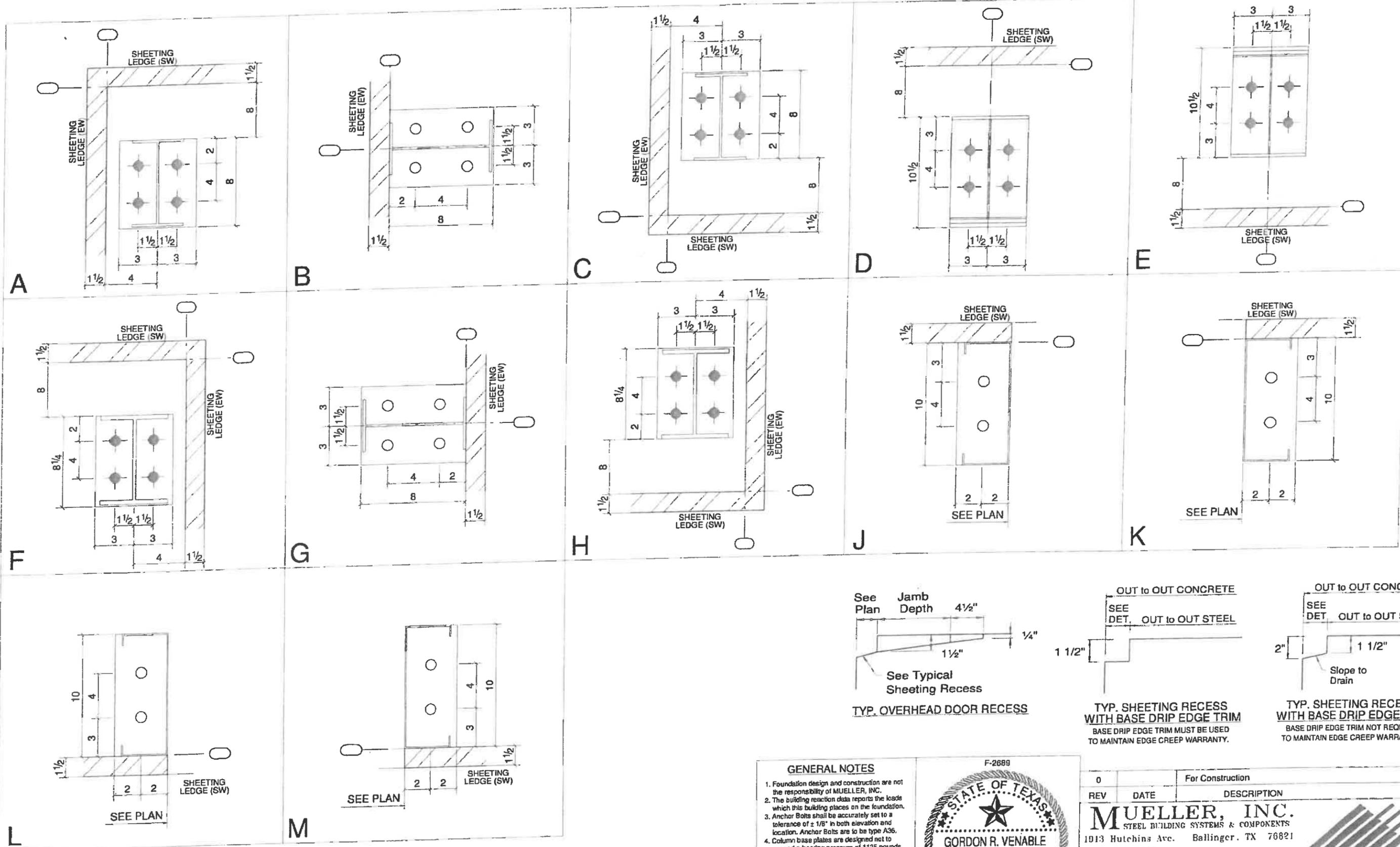
ANCHOR BOLT SUMMARY		
QTY	LOCATION	DIA
16	ENDWALL	5/8"
20	JAMB	5/8"
16	ENDWALL	3/4"
24	MAINFRAME	3/4"

Not To Scale

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1013 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION:		ROOF SLOPE
ANCHOR BOLT PLAN		1:00:12
SALESMAN:		SCALE
JACOB KENNA		NONE
CUSTOMER NAME:		REV.
FLOODMASTER		
DETAILER:	CHECKER:	DATE:
TMR		
BUILDING DESCRIPTION:		JOB #
50'-0" X 99'-0" X 20'-0"		5031537
ADDRESS:		DWG #
BEAUMONT, TX 77705		AB1



GENERAL NOTES

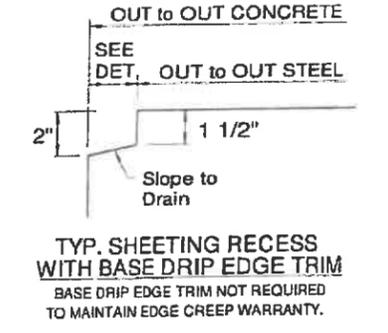
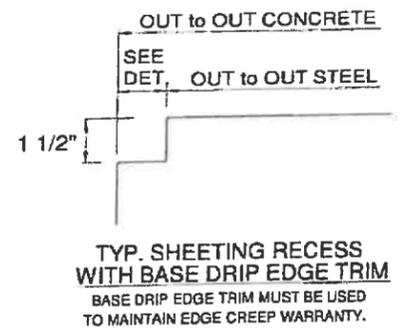
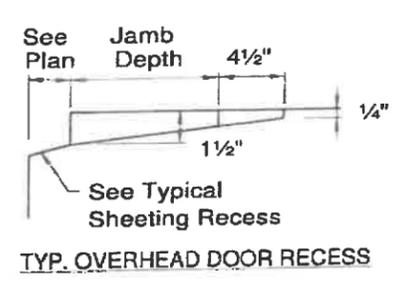
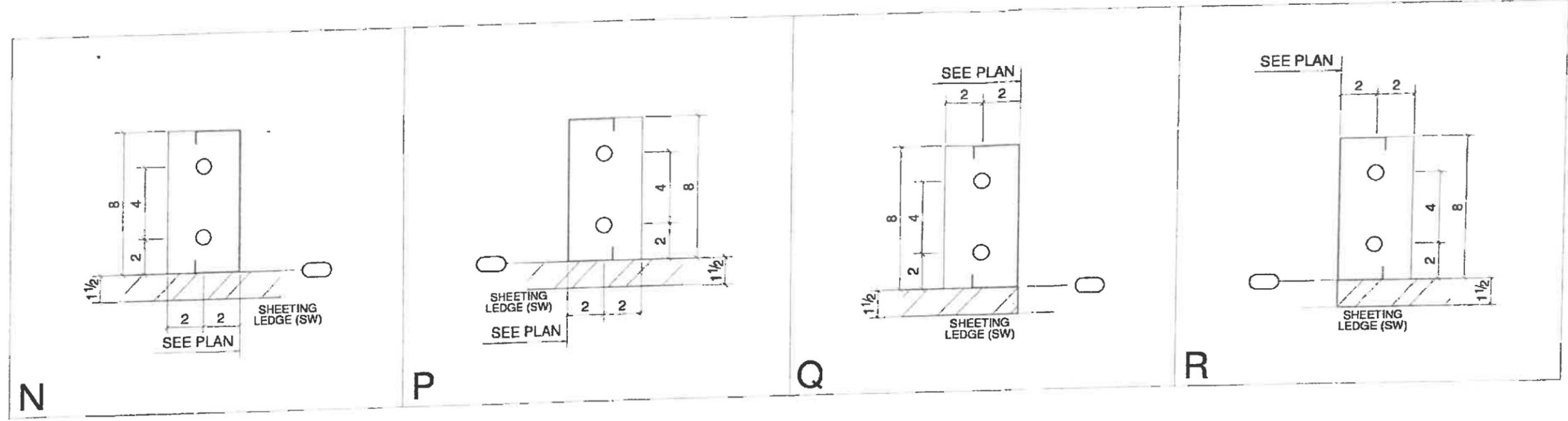
- Foundation design and construction are not the responsibility of MUELLER, INC.
- The building reaction data reports the loads which this building places on the foundation.
- Anchor Bolts shall be accurately set to a tolerance of $\pm 1/8"$ in both elevation and location. Anchor Bolts are to be type A36.
- Column base plates are designed not to exceed a bearing pressure of 1125 pounds per square inch.
- Anchor Bolt sizes are based on the concrete design strength being a minimum of 3000 psi. Anchorage of the anchor bolts and adequacy of any foundation anchorage (including anchor bolts, drive pins, or any other foundation anchorage provided by MUELLER, INC.) is solely the responsibility of the foundation designer and / or customer.



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1013 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ANCHOR BOLT DETAILS		ROOF SLOPE: 1.00:12
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	SCALE: NONE
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	DWG # AB2
DETAILER: TMR	CHECKER: DATE:	JOB # 5031537

○ DIA = 5/8"
◆ DIA = 3/4"

DJB



○ DIA = 5/8"

DJB

GENERAL NOTES

1. Foundation design and construction are not the responsibility of MUELLER, INC.
2. The building reaction data reports the loads which this building places on the foundation.
3. Anchor Bolts shall be accurately set to a tolerance of ± 1/8" in both elevation and location. Anchor Bolts are to be type A36.
4. Column base plates are designed not to exceed a bearing pressure of 1125 pounds per square inch.
5. Anchor Bolt sizes are based on the concrete design strength being a minimum of 3000 psi. Anchorage of the anchor bolts and adequacy of any foundation anchorage (including anchor bolts, drive pins, or any other foundation anchorage provided by MUELLER, INC.) is solely the responsibility of the foundation designer and / or customer.

F-2689

0		For Construction
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS		
1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ANCHOR BOLT DETAILS		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1:00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # AB3	REV.

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horiz	Wind Suct Horiz	Wind Long1 Vert	Wind Long2 Vert	Seis Left Vert
1	A	0.5	0.0	1.7	-3.7	-2.1	-3.7	-2.1	-2.8	3.1	-3.8	-2.2	0.0
1	B	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
1	C	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
1	D	0.5	0.0	1.7	-2.1	-3.7	-2.1	-3.7	-2.8	3.1	-2.2	-3.8	0.0

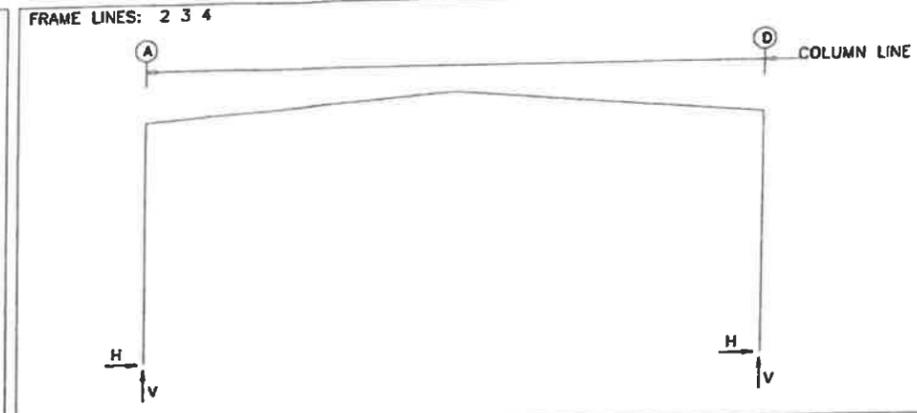
Frm Line	Col Line	Seis Right Vert	E1PAT_LL1- Horiz	E1PAT_LL2- Horiz	E1PAT_LL3- Horiz	E1PAT_LL4- Horiz
1	A	0.0	0.0	1.7	0.0	2.0
1	B	0.0	0.0	4.9	0.0	2.2
1	C	0.0	0.0	4.9	0.0	2.2
1	D	0.0	-0.2	0.0	1.7	2.0

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horiz	Wind Suct Horiz	Wind Long1 Vert	Wind Long2 Vert	Seis Left Vert
5	D	0.6	0.0	1.7	-3.7	-2.1	-3.7	-2.1	-2.8	3.1	-3.8	-2.2	0.0
5	C	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
5	B	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
5	A	0.6	0.0	1.7	-2.1	-3.7	-2.1	-3.7	-2.8	3.1	-2.2	-3.8	0.0

Frm Line	Col Line	Seis Right Vert	E2PAT_LL1- Horiz	E2PAT_LL2- Horiz	E2PAT_LL3- Horiz	E2PAT_LL4- Horiz
5	D	0.0	0.0	1.7	0.0	2.0
5	C	0.0	0.0	4.9	0.0	2.2
5	B	0.0	0.0	4.9	0.0	2.2
5	A	0.0	-0.2	0.0	1.7	2.0

ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Load ID	Hmax H	V Vmax	Load ID	Hmin H	V Vmin	Anc. Qty	Bolt Dia	Base_Plate Width	Length	Thick	Grout (in)
1	A	5	1.9	-2.0	7	-1.7	-2.0	4	0.750	6.000	8.000	0.500	0.0
1	B	8	3.6	-5.3	7	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
1	C	9	3.6	-5.3	10	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
1	D	11	1.9	-2.0	10	-1.7	-2.0	4	0.750	6.000	8.000	0.500	0.0
5	D	6	1.9	-1.9	7	-1.7	-1.9	4	0.750	6.000	8.250	0.500	0.0
5	C	8	3.6	-5.3	7	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
5	B	9	3.6	-5.3	10	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
5	A	11	1.9	-1.9	10	-1.7	-1.9	4	0.750	6.000	8.250	0.500	0.0



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Load ID	Hmax H	V Vmax	Load ID	Hmin H	V Vmin	Anc. Qty	Bolt Dia	Base_Plate Width	Length	Thick	Grout (in)
2*	A	1	3.5	10.1	2	-6.5	-6.4	4	0.750	6.000	10.50	0.500	0.0
2*	D	3	6.5	-6.4	1	-3.5	10.1	4	0.750	6.000	10.50	0.500	0.0

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead Horiz	Dead Vert	Collateral Horiz	Collateral Vert	Live Horiz	Live Vert	Wind_Left1 Horiz	Wind_Left1 Vert	Wind_Right1 Horiz	Wind_Right1 Vert	Wind_Left2 Horiz	Wind_Left2 Vert
2*	A	0.7	2.3	0.1	0.3	2.7	7.4	-11.4	-21.6	1.3	-12.6	11.4	-21.6
2*	D	-0.7	2.3	-0.1	0.3	-2.7	7.4	-1.3	-12.6	11.4	-21.6	-1.1	-3.9

Frame Line	Column Line	Wind_Right2 Horiz	Wind_Right2 Vert	Wind_Long1 Horiz	Wind_Long1 Vert	Wind_Long2 Horiz	Wind_Long2 Vert	Seismic_Left Horiz	Seismic_Left Vert	Seismic_Right Horiz	Seismic_Right Vert	Seismic_Long Horiz	Seismic_Long Vert
2*	A	1.1	-3.9	-0.1	-25.2	-0.8	-21.7	-0.1	-0.1	0.1	0.1	0.0	-0.8
2*	D	11.5	-12.9	0.8	-21.7	0.1	-25.2	-0.1	0.1	0.1	-0.1	0.0	-0.8

NOTES FOR REACTIONS

Building reactions are based on the following building data:

Width (ft)	50
Length (ft)	99
Back Eave Height (ft)	20
Front Eave Height (ft)	20
Back Roof Slope (rise/12)	1.0:12
Front Roof Slope (rise/12)	1.0:12
Dead Load (psf)	Metal Building Structure Only
Collateral Load (psf)	0.5
Roof Live Load (psf)	20.00
Frame Live Load (psf)	Yes
Ground Snow Load (psf)	0.0000
Roof Snow Load (psf)	0.0000
Wind Speed (mph)	141
Wind Code	IBC 12
Wind Exposure	C
Enclosure	Closed
Importance Wind	1.00
Importance Seismic	1.00
Seismic Design Category	B
Seismic Coefficient	0.128
Risk Category	II - Normal

ID Description

- 1 Dead+Collateral+Live
- 2 0.6Dead+0.6Wind_Left12
- 3 0.6Dead+0.6Wind_Right12
- 4 0.6Dead+0.6Wind_Long1
- 5 0.6Dead+0.6Wind_Long2
- 6 0.6Dead+0.6Wind_Suction+0.6Wind_Long1
- 7 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1
- 8 0.6Dead+0.6Wind_Left12+0.6Wind_Suction
- 9 0.6Dead+0.6Wind_Right12+0.6Wind_Suction
- 10 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2
- 11 0.6Dead+0.6Wind_Suction+0.6Wind_Long2

BUILDING BRACING REACTIONS

Loc	Wall Line	Col Line	Wind Horiz	Wind Vert	Seismic Horiz	Seismic Vert	Panel Shear (lb/ft)	Wind	Seis
L_EW	1	D	3.4	8.5	6.3	0.4	0.3	51	2
F_SW	D	3,4	8.5	6.3	0.4	0.3	48	2	
R_EW	5	A	4.3	8.5	6.3	0.4	0.3		
B_SW	A	4,3	8.5	6.3	0.4	0.3			

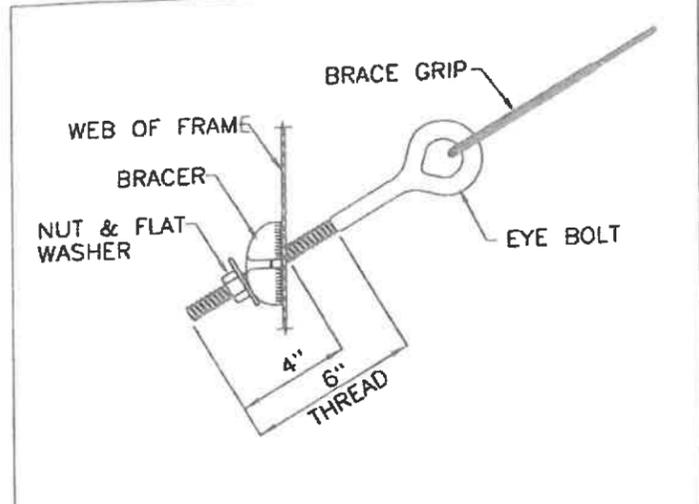


REV	DATE	DESCRIPTION
0		For Construction

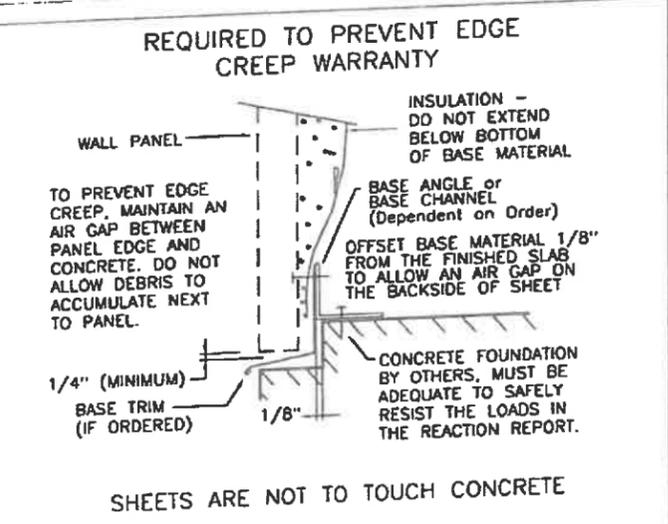
MUELLER, INC.
STEEL BUILDING SYSTEMS & COMPONENTS
1013 Hutchins Ave. Ballinger, TX 76821
(800) 527-1087

SALESMAN:	BUILDING DESCRIPTION:	ROOF SLOPE
JACOB KENNA	50'-0" X 99'-0" X 20'-0"	1.00:12
CUSTOMER NAME:	ADDRESS:	SCALE
FLOODMASTER	BEAUMONT, TX 77705	NONE
DETAILER:	CHECKER:	DATE:
TMR		
JOB #	DWG #	REV.
5031537	AB4	

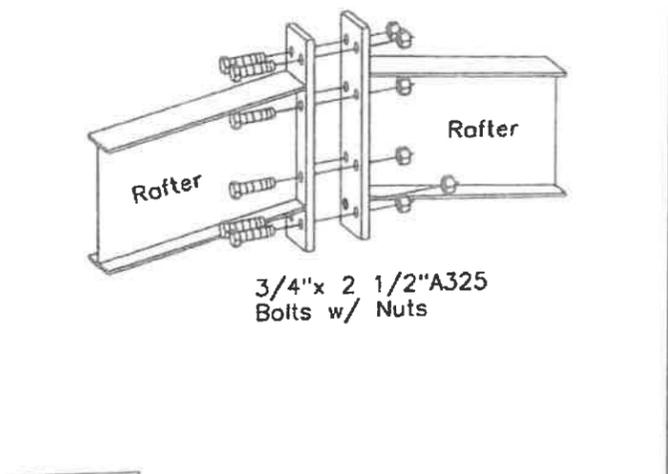
DJB



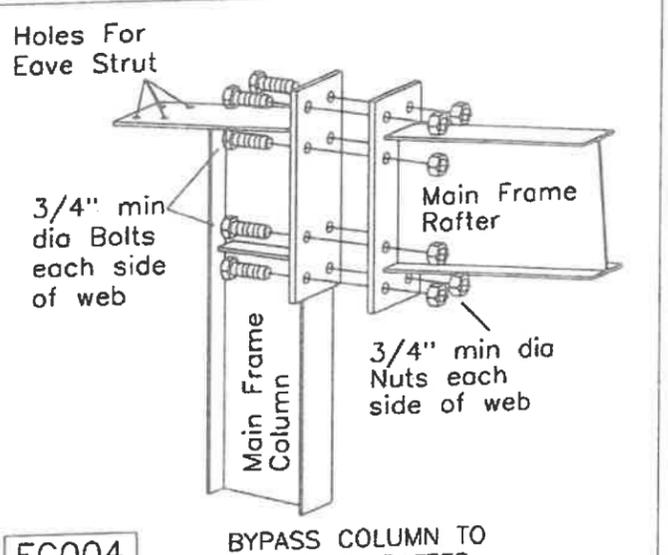
BR001 CABLE TO COLUMN OR RAFTER WEB WITH EYEBOLT ATTACHMENT



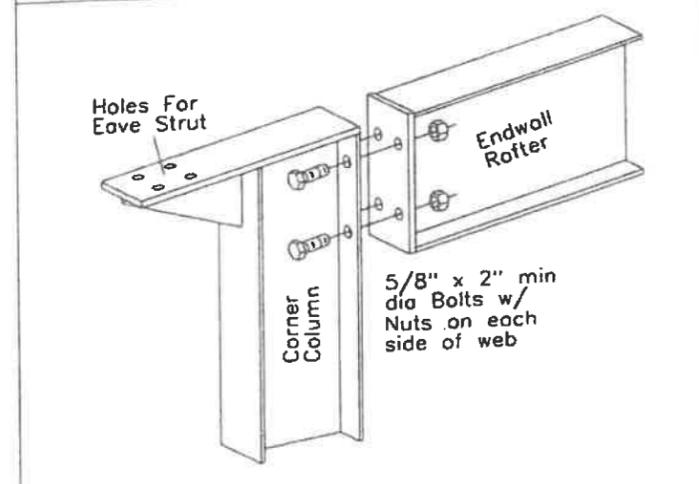
CW001 SECTION THRU WALL PANEL AND CONCRETE FOUNDATION



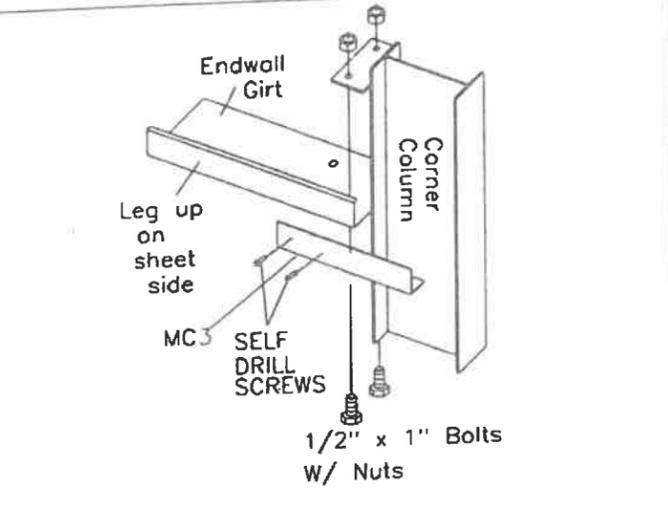
EC002 RAFTER SPLICE AT PEAK



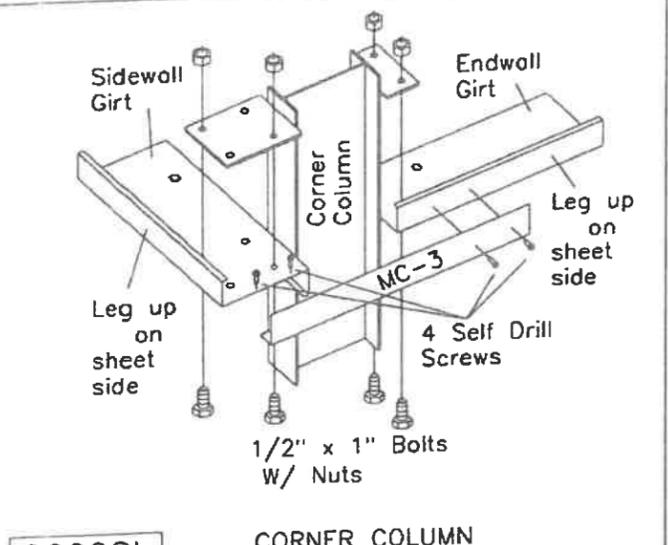
EC004 BYPASS COLUMN TO MAINFRAME RAFTER



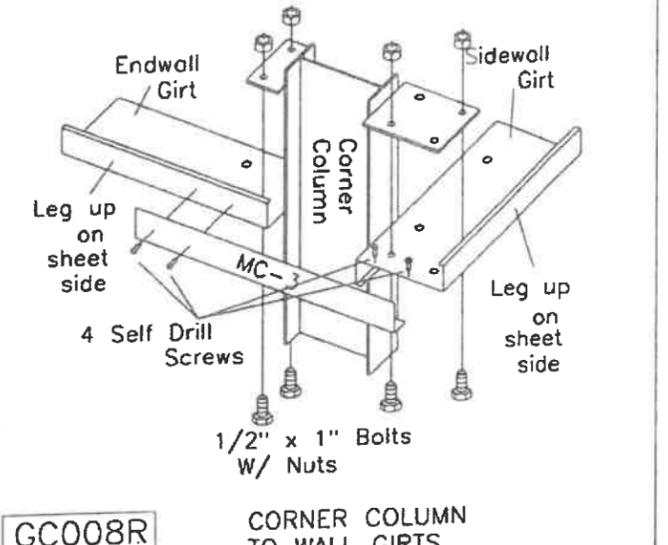
EC011 BYPASS CORNER COLUMN TO STANDARD ENDWALL RAFTER



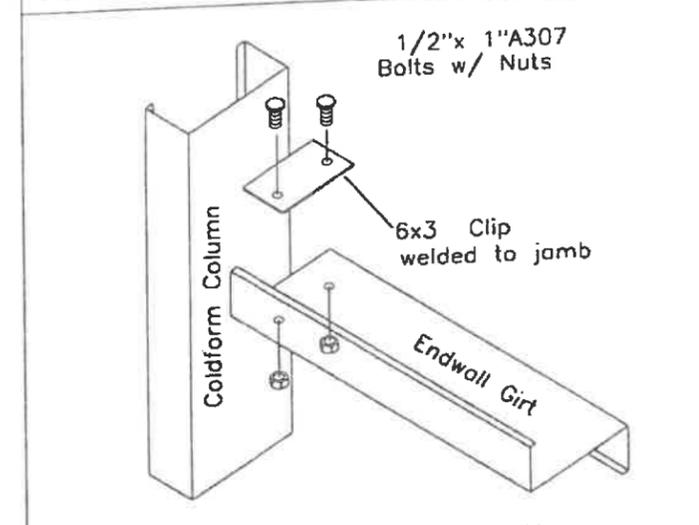
GC002ER CORNER COLUMN TO ENDWALL GIRTS



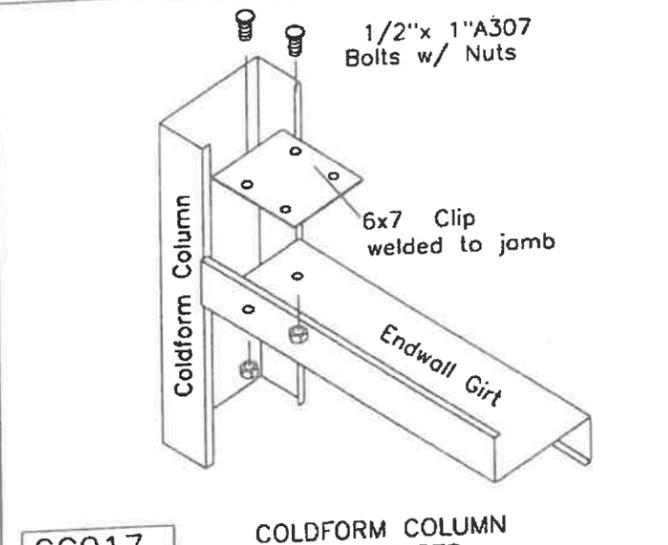
GC008L CORNER COLUMN TO WALL GIRTS



GC008R CORNER COLUMN TO WALL GIRTS



GC016 COLDFORM COLUMN TO WALL GIRTS

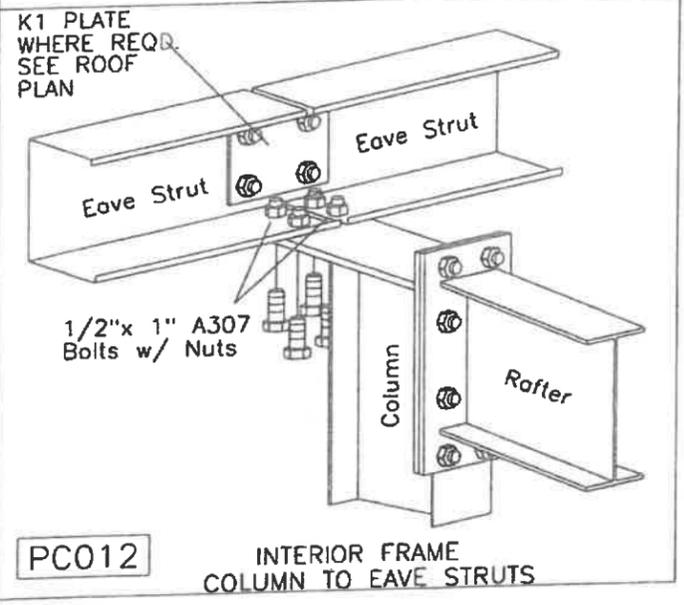
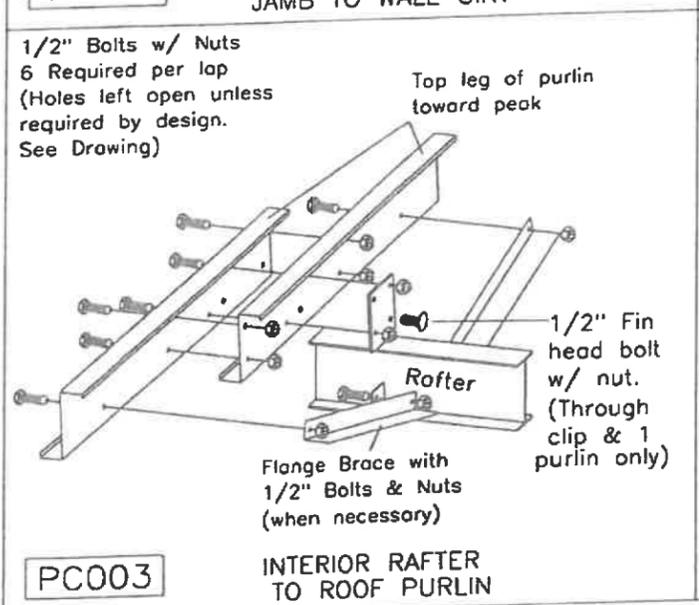
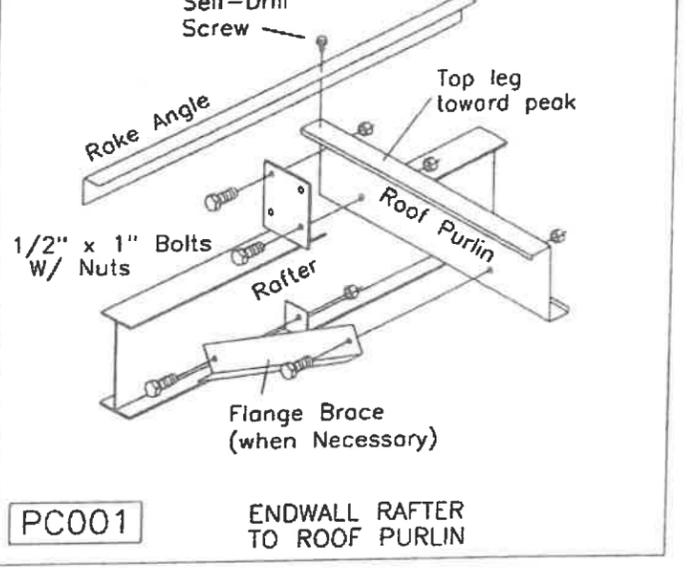
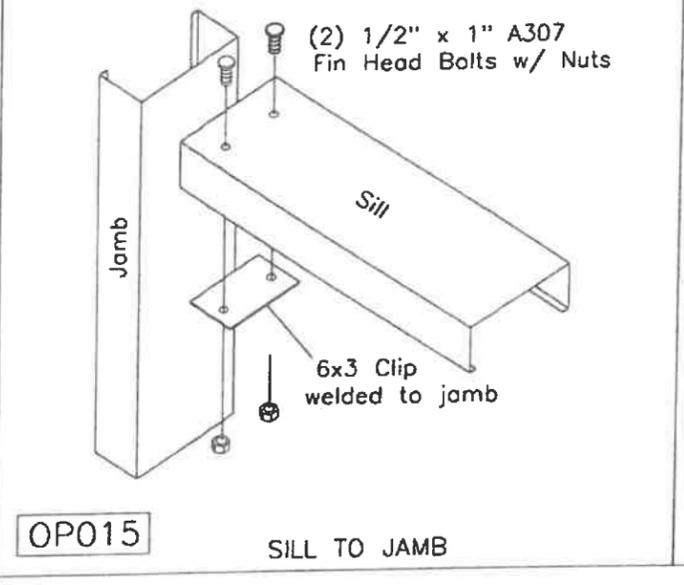
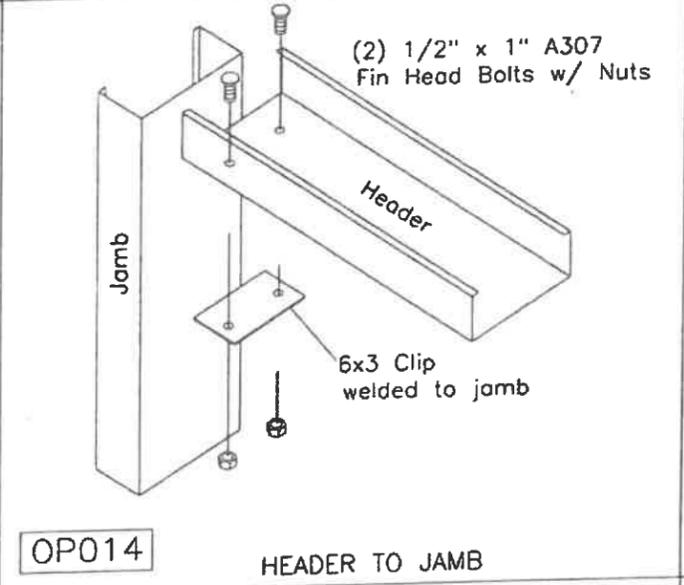
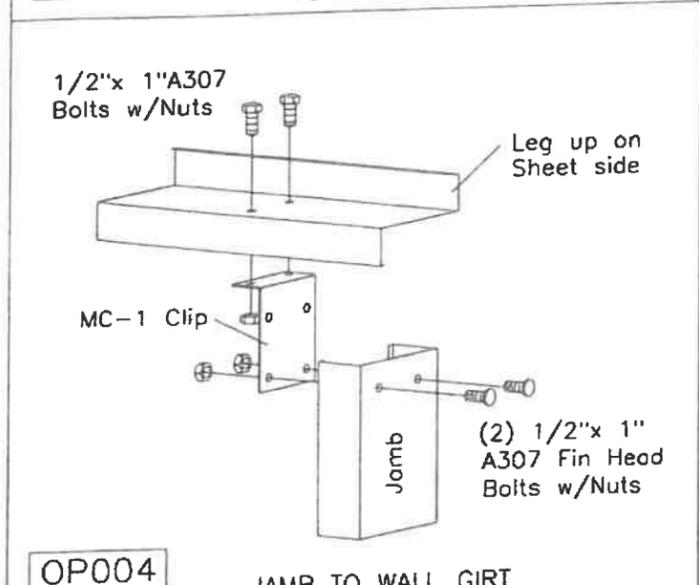
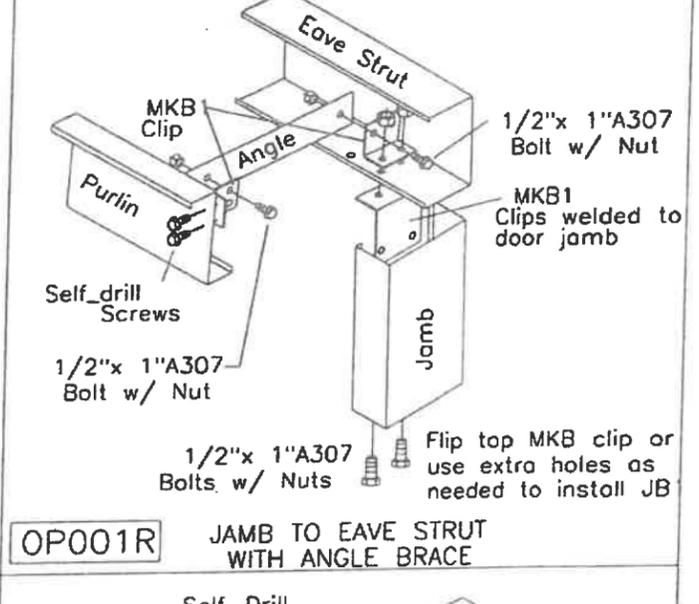
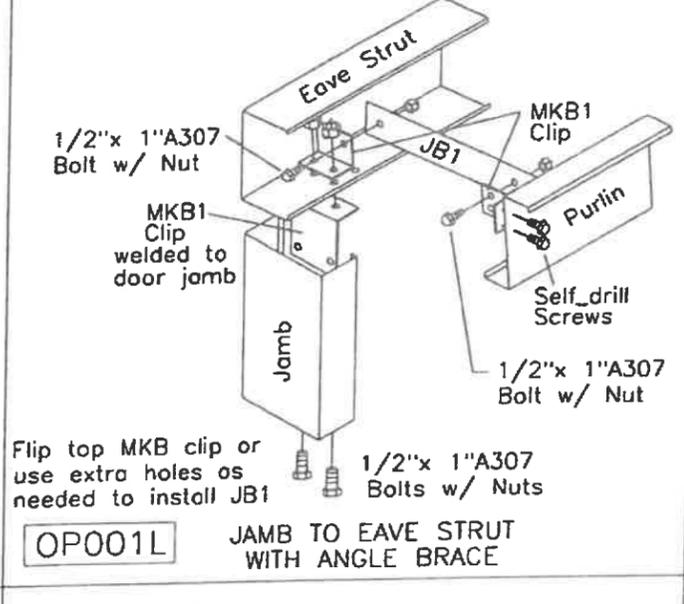
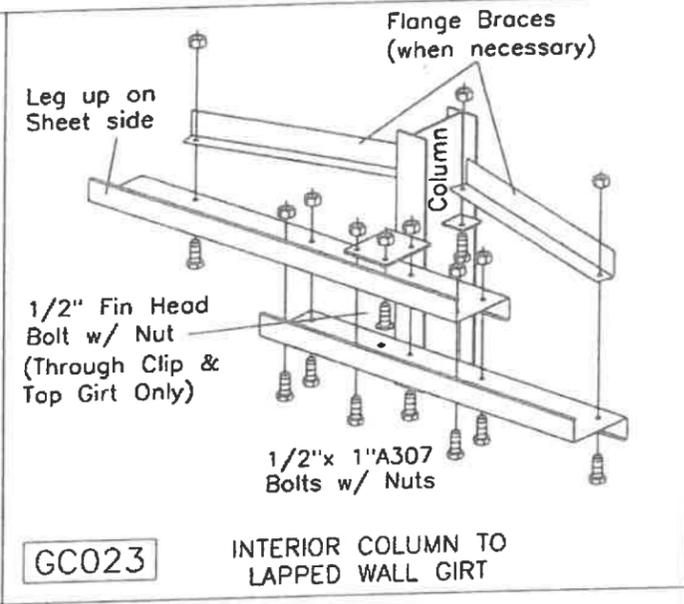
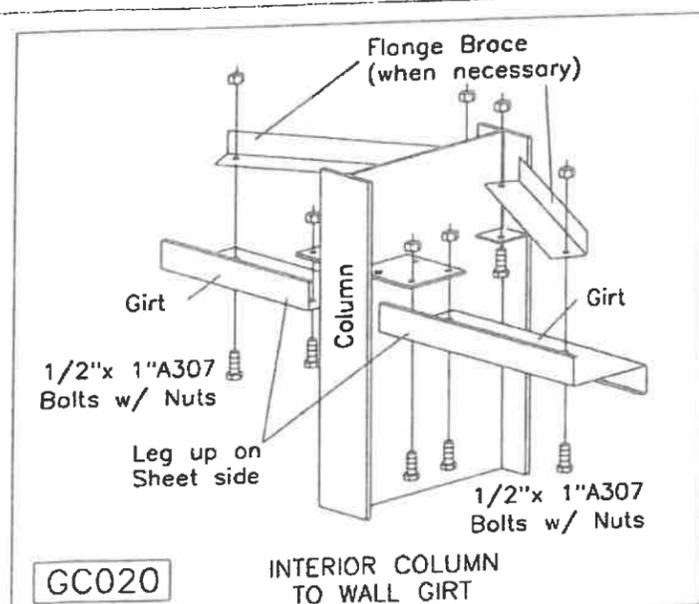


GC017 COLDFORM COLUMN TO WALL GIRTS



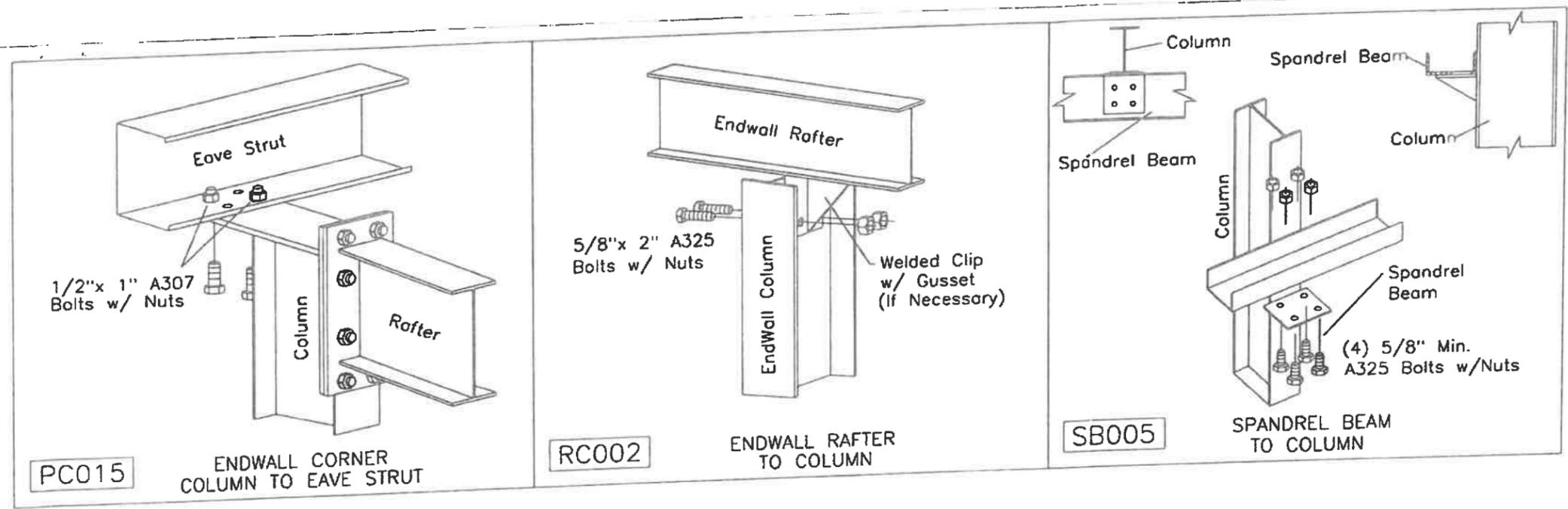
DJB

0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS		
1913 Hutchins Ave. Ballinger, TX 76821		
(800) 527-1087		
DRAWING DESCRIPTION: ERECTION DETAILS		
SALESMAN: JACOB KENNA		
CUSTOMER NAME: FLOODMASTER		
DETAILER: TMR		
BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"		
ADDRESS: BEAUMONT, TX 77705		
JOB #: 5031537		
ROOF SLOPE: 1:00:12		
SCALE: NONE		
DWG #: E101		



DJB

0	..	For Construction
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS		
1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ERECTION DETAILS		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1:00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
	JOB # 5031537	DWG # E102

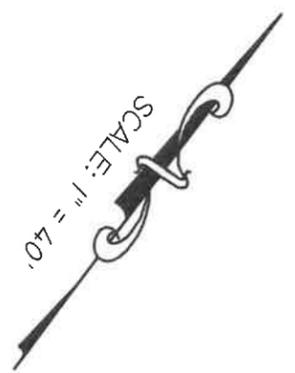
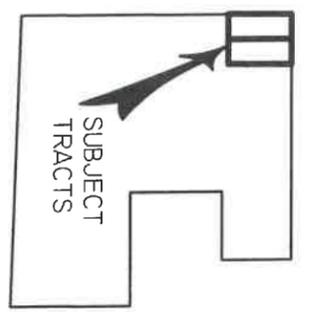
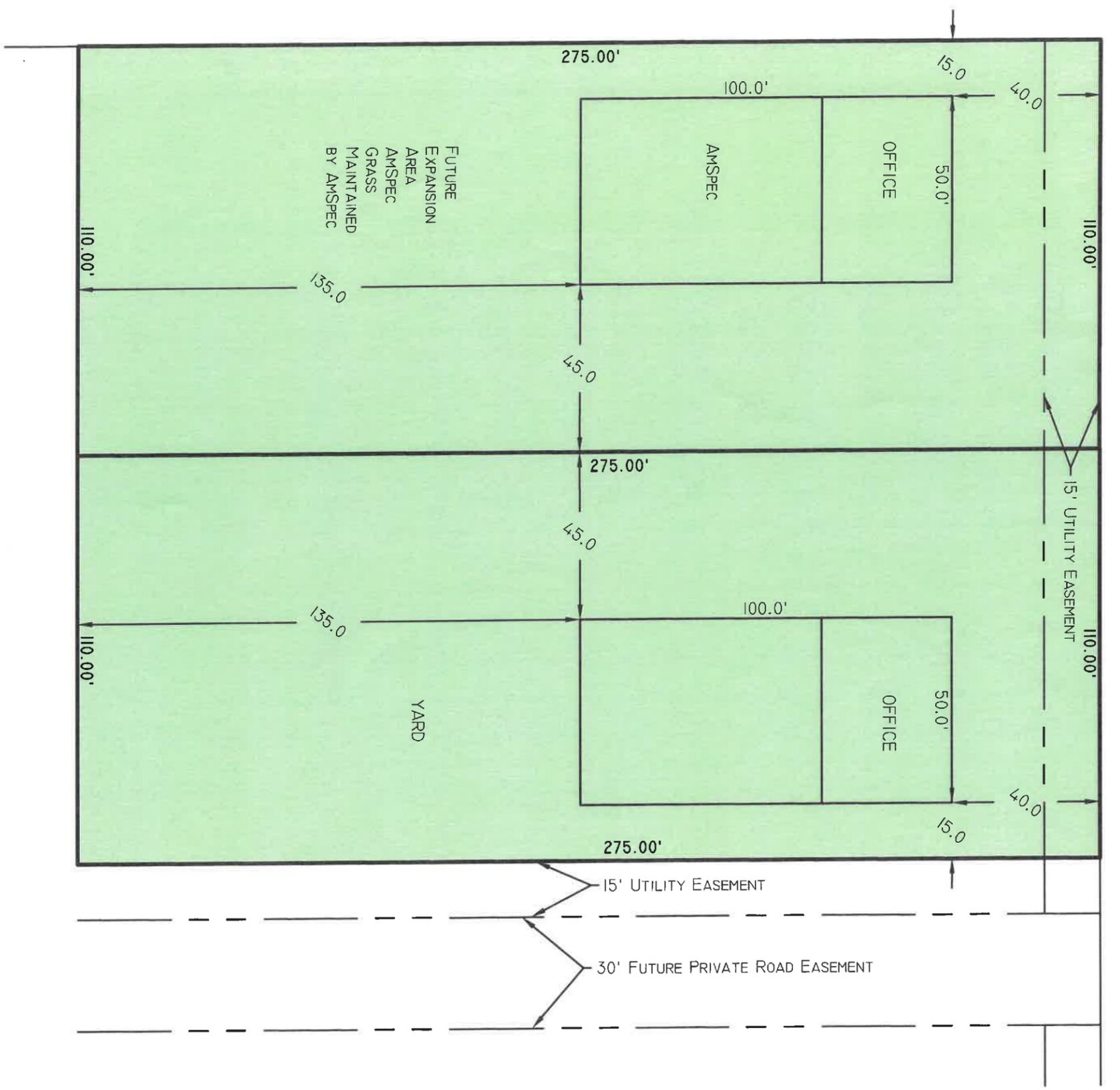


DJB



0		For Construction
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1013 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ERECTION DETAILS		BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"
SALESMAN: JACOB KENNA	ADDRESS: BEAUMONT, TX 77705	ROOF SLOPE: 1.00:12
CUSTOMER NAME: FLOODMASTER	JOB # 5031537	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
		DWG # E103

ALCOA DRIVE



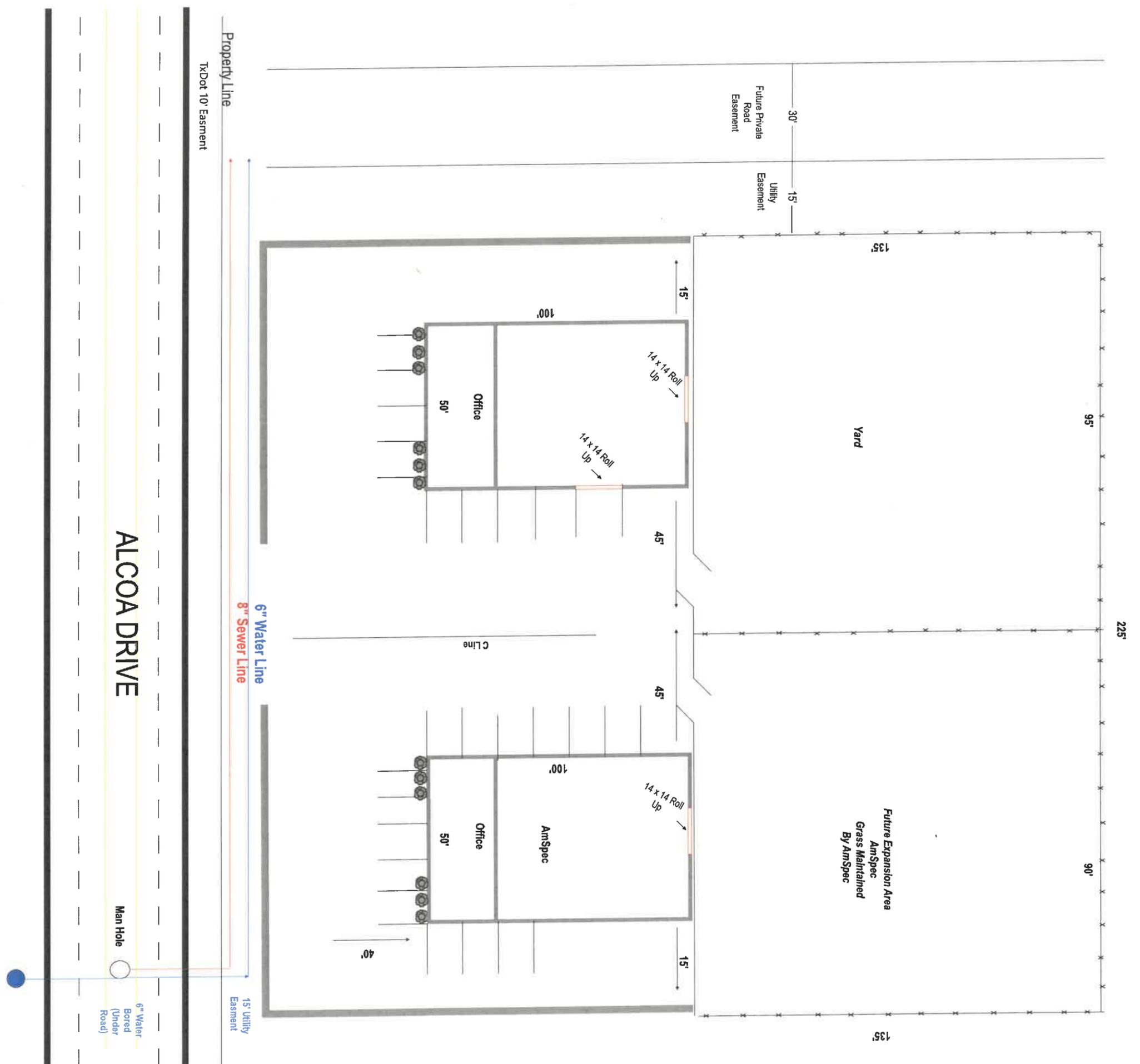
SITE SKETCH

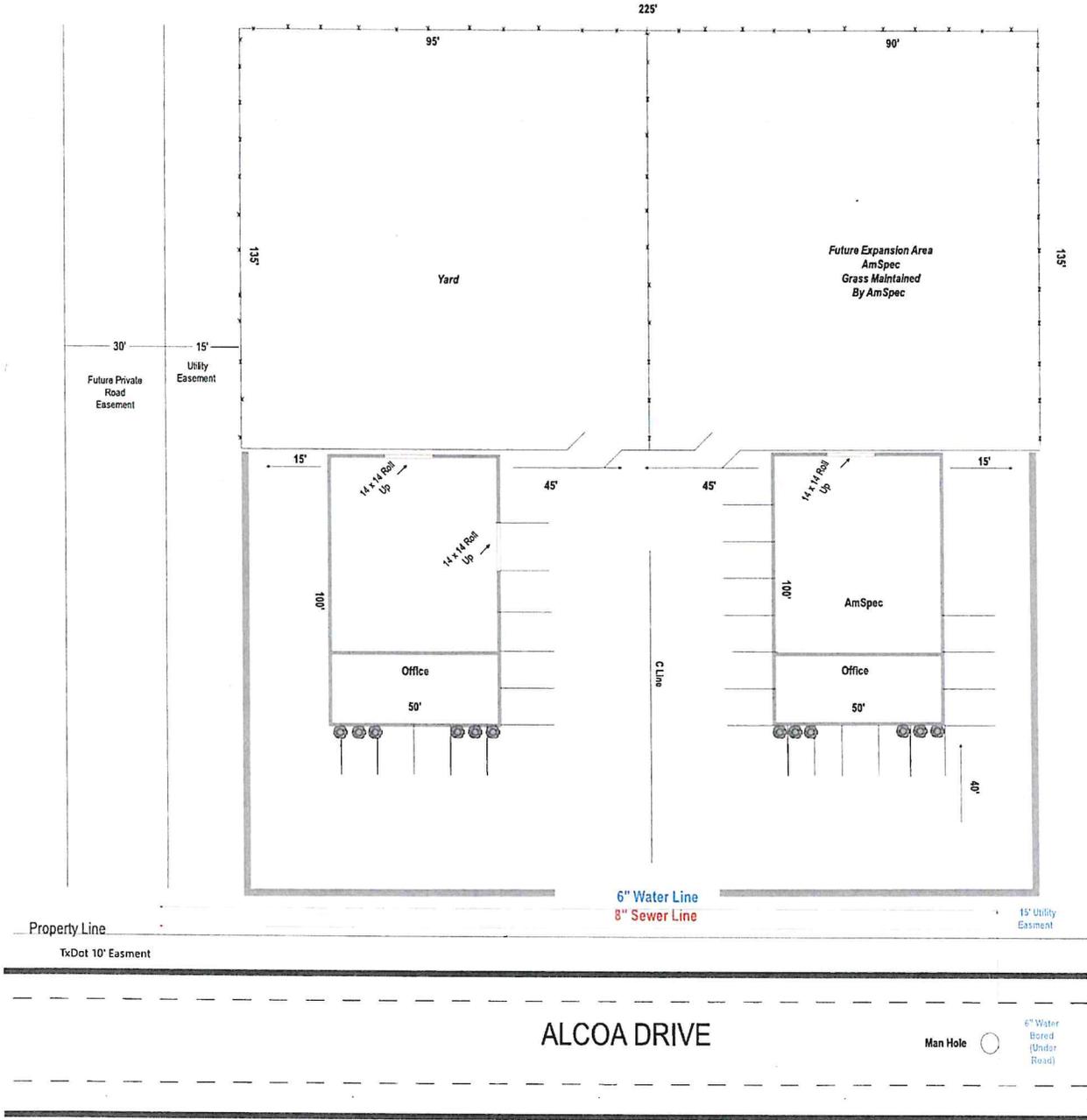
OUT OF A 29.41 ACRE TRACT
 SAMUEL SHUPE SURVEY
 ABSTRACT NO. 137
 CALHOUN COUNTY, TEXAS



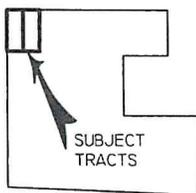
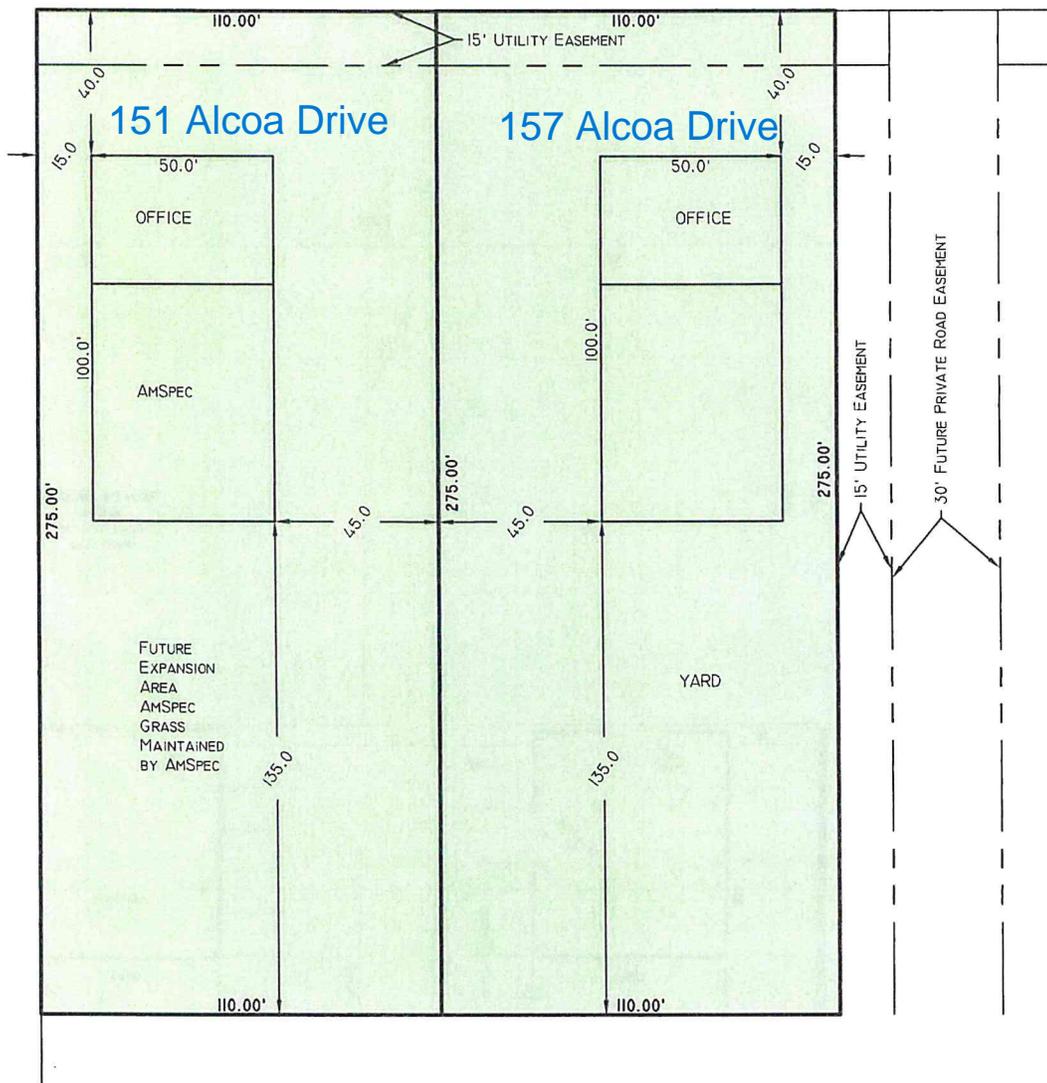
ACCESS
 Surveyors, LLC

Commercial - Industrial - Residential
 11025 Old Voth Road - Beumount, Texas 77713
 Telephone (409) 838-6322 Facsimile 838-6122
 www.access-surveyors.com & rpls5163@aol.com
 FILE: 2023463 FIRM NO. 10136400 TECHNICIAN: A.MLEA





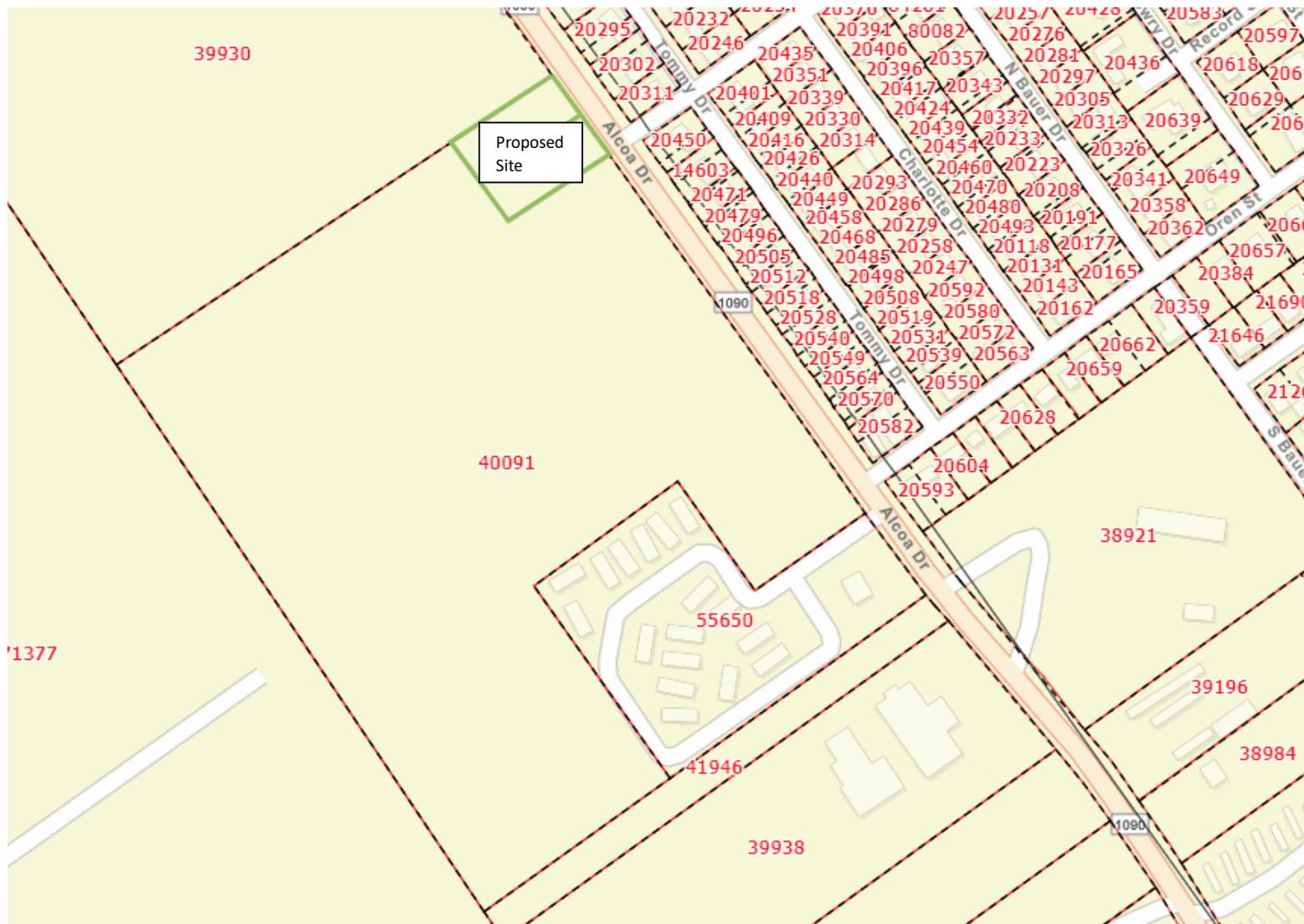
ALCOA DRIVE



SITE SKETCH
 OUT OF A 29.41 ACRE TRACT
 SAMUEL SHUPE SURVEY
 ABSTRACT NO. 137
 CALHOUN COUNTY, TEXAS

Access
 Surveyors, LLC
 Commercial - Industrial - Residential
 11025 Old Voth Road - Beaumont, Texas 77713
 Telephone (409) 838-6322 Facsimile 838-6122
 www.access-surveyors.com § rpls5163@aol.com
 FILE: 2023-63 FIRM No. 10136400 TECHNICIAN: A.M.LEA

Proposed Alcoa Drive Development



COMMUNICATION

SUBJECT: Consider and discuss approval of a replat and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N).

INFORMATION:

CITY OF PORT LAVACA

PB MEETING: JUNE 5, 2023 **AGENDA ITEM** _____

DATE: 05.25.2023

TO: PLANNING BOARD

FROM: DERRICK SMITH, DIRECTOR OF DEVELOPMENT SERVICES

SUBJECT: Consider and discuss approval of a replat and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N).

Sec. 42-106. - Application—Required.

The subdivider or his duly authorized representative shall appear before the planning commission, at an official meeting, and submit a formal application for replat approval.

Applicant has adhered to the proper subdivision replat application submittal and review procedural process prior to presentation before the Planning Commission.

Below references the City Code of Ordnances, Chapter 42 – Subdivisions and Plats, where this Preliminary Plat request is compliant and will meet the ordinance as presented.

Sec. 42-5. - Policy.

(a) It shall be unlawful for any owner or agent of any owner of land to lay out, subdivide, plat or replat any land into lots, blocks, and streets within the jurisdictional area of this chapter without the proper approval of the planning commission. It shall be unlawful for any such owner or agent to offer for sale or sell property for building lots, building tracts or urban use therein, which has not been laid out, subdivided, platted, or replatted with the approval of the planning commission in accordance with this chapter.

The applicant is compliant with the replat process prior to submitting plans for construction.

Sec. 42-159. - Approval of planning commission required.

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

The intent of this request is for the sale of a 1.058-acre tract of land for a proposed restaurant. The property will have a shared entrance drive with the adjacent hotel.

Department Comments:

Engineering:

Fire:

Public Works:

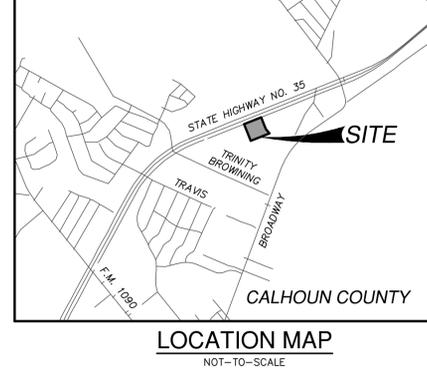
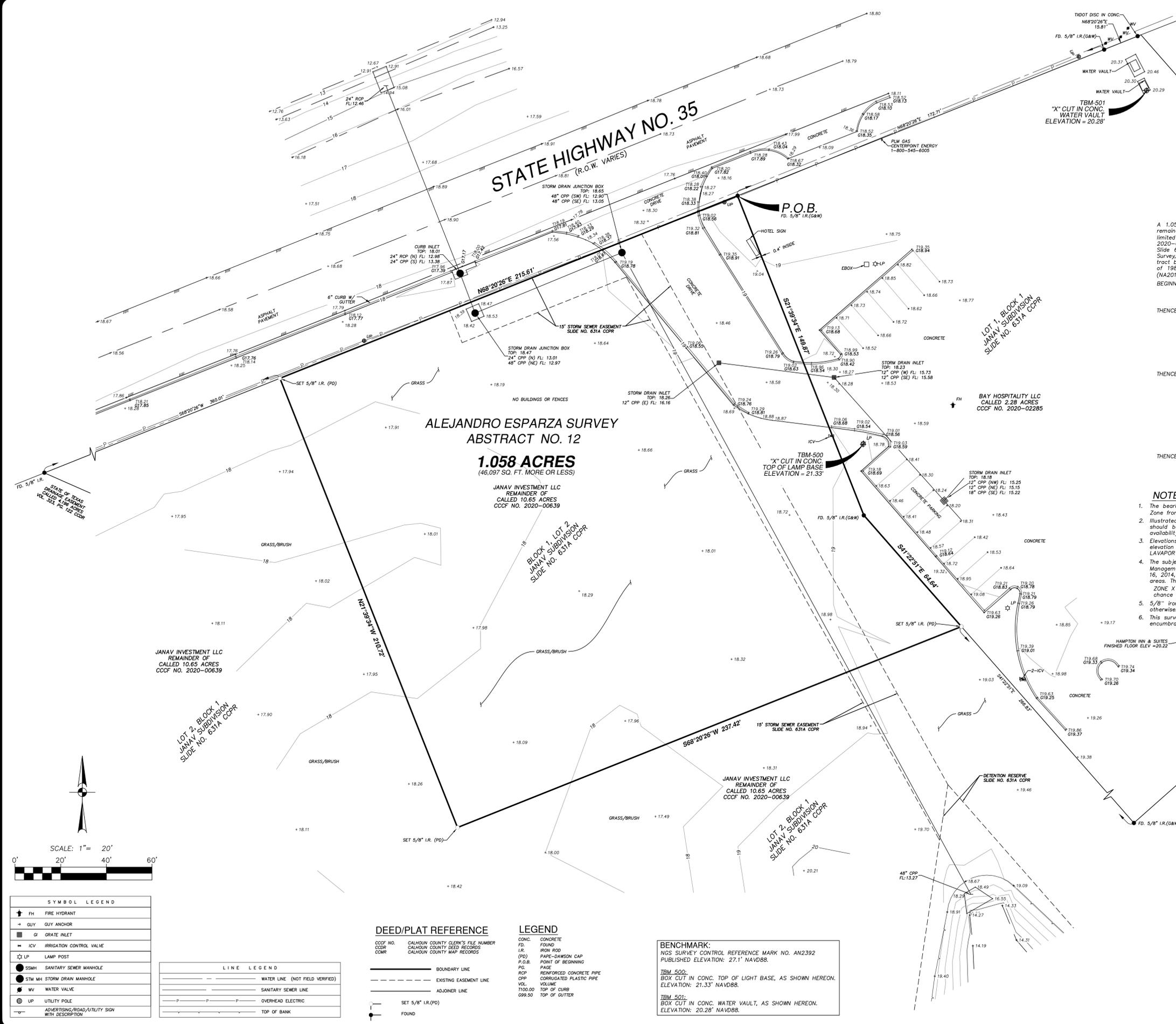
Development Services:

Staff Recommendation: Approval

The replat request for approval and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N) meets the City Code of Ordinance, Chapter 42 - Subdivisions and Plats. Therefore, staff recommends approval as per the ordinance citations within this report.

Attachments:

- Site Plan
- Survey
- Replat



METES AND BOUNDS DESCRIPTION FOR

A 1.058 acre, or 46,907 square feet more or less, tract of land, being a portion of the remainder of a called 10.65 acre tract of land conveyed to JANAV INVESTMENT LLC, a Texas limited liability company, and described in a deed recorded in Calhoun County Clerk's File No. 2020-00639, and being partially out of Lot 1, Block 1 of the Janav Subdivision, as recorded in Slide 631A of the Plat Records of Calhoun County, Texas, situated in the Alejandro Esparza Survey, Abstract Number 12, in the City of Port Lavaca, Calhoun County, Texas. Said 1.058 acre tract being more fully described as follows, with bearings based on the Texas Coordinate System of 1983 established for the South Central Zone from the North American Datum of 1983 (NA2011) epoch 2010.00:

BEGINNING: At a 5/8 inch iron rod with red cap marked "G&W ENG." found on the south right-of-way line of State Highway 35 (width varies), the north line of said 10.65 acre tract, and the north line of said Janav Subdivision, at the northwest corner of Lot 1, Block 1 of said Janav Subdivision, for the northeast corner of this tract;

THENCE: Departing the south right-of-way line of said State Highway 35, the north line of said 10.65 acre tract, and the north line of said Janav Subdivision, along and with the west line of said Lot 1, Block 1 the following courses and distances:

S 21°39'34" E, a distance of 149.87 feet to a 5/8 inch iron rod with red cap marked "G&W ENG.", and

S 41°22'51" E, a distance of 64.64 feet to a 5/8 inch iron rod with a cap marked "Pape-Dawson" to be set; from which 5/8 inch iron rod with red cap marked "G&W ENG." found for the south corner of said Lot 1, Block 1 bears S 41°22'51" E, a distance of 266.83 feet;

THENCE: Departing the west line of said Lot 1, Block 1, over and across said Lot 2, Block 1, and said 10.65 acre tract, the following courses and distances:

S 68°20'26" W, a distance of 237.42 feet to a 5/8 inch iron rod with a cap marked "Pape-Dawson" to be set, and

N 21°39'34" W, a distance of 210.72 feet to a 5/8 inch iron rod with a cap marked "Pape-Dawson" to be set on the south right-of-way line of said State Highway 35, the north line of said Janav Subdivision, and the north line of said 10.65 acre tract; from which a 5/8 inch iron rod found on the northeast line of a called 4.196 acre tract of land described as a Drainage Easement for Highway Purposes, to the State of Texas, in Volume 323, Page 122 of the Deed Records of Calhoun County, Texas, for the northwest corner of said Janav Subdivision, and the northwest corner of said 10.65 acre tract, bears S 68°20'26" W, a distance of 360.01 feet;

THENCE: N 68°20'26" E, along and with the south right-of-way line of said State Highway 35, the north line of said Janav Subdivision, and the north line of said 10.65 acre tract, a distance of 215.61 feet to the POINT OF BEGINNING, and containing 1.058 acres in the City of Port Lavaca, Calhoun County, Texas.

- NOTES:**
- The bearings for this survey are based on the Texas Coordinate System of 1983, South Central Zone from the North American Datum of 1983 (NA2011) epoch 2010.00.
 - Illustrated utilities are based on found visible evidence. The location and depth of existing utilities should be field verified before construction. The surveyor does not have knowledge as to the availability of service to, or the status of the utilities on this site.
 - Elevations shown hereon are based on NGS Survey Control Reference Mark No. AN2393, published elevation of 27.1 feet, NAVD 88. Being a stainless steel rod in sleeve with a logo cap stamped LAVAPORT 1987, located at the Port Lavaca-Calhoun County Airport.
 - The subject property is within the following flood zone(s) as depicted on the Federal Emergency Management Agency (F.E.M.A.) Flood Insurance Rate Map Number(s) 48057C0045E, dated October 16, 2014, and 48057C0065E, dated October 16, 2014 for Calhoun County, Texas and incorporated areas. This data is available on the website www.msc.fema.gov. ZONE X (unshaded), defined as: "Other Areas: Areas determined to be outside 0.2% annual chance floodplain."
 - 5/8" iron rod with cap marked "Pape-Dawson" set at subject property corners unless noted otherwise.
 - This survey was performed without the benefit of a current title report additional easements and encumbrances may exist that are not shown hereon.

I, Jonathan Franz, a Registered Professional Land Surveyor of the State of Texas, hereby certify that the above plat correctly represents the facts found at the time of the survey made on the ground under my supervision. This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B, Condition II Survey. The field work was completed on March 1, 2023.

Jonathan Franz
 Jonathan Franz
 Registration No. 6705
 This 7th day of March 2023 A.D.



NO.	REVISION	DATE

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10350 RICHMOND AVE., STE 200 | HOUSTON, TX 77042 | 713.428.2400
 TYPE FIRM REGISTRATION #071 | TPLS FIRM REGISTRATION #10189374

STANDARD LAND AND TOPOGRAPHIC SURVEY

OF A 1.058 ACRE TRACT OF LAND LOCATED IN THE ALEJANDRO ESPARZA SURVEY, ABSTRACT NO. 12, BEING A PORTION OF LOT 1, BLOCK 1, OF THE JANAV SUBDIVISION, RECORDED IN SLIDE NO. 631A OF THE PLAT RECORDS OF CALHOUN COUNTY, CITY OF PORT LAVACA, CALHOUN COUNTY, TEXAS.

JOB NO. 49037-23

DATE MARCH 2023

CHECKED JEF DRAWN FF

CIVIL JOB NO. ---

REFERENCE: ---

SHEET 1 OF 1

Date: Mar 07, 2023, 4:39pm User: JF User ID: JFranz File: K:\Survey\49037-23\Drawings\49037-23_BTS.dwg

STATE OF TEXAS
COUNTY OF _____

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS JANAV SUBDIVISION PARTIAL REPLAT NO 1, A REPLAT OF LOT 2, BLOCK 1 OF JANAV SUBDIVISION TO THE CITY OF PORT LAVACA, TEXAS, ORIGINALLY FILED FOR RECORD AT THE OFFICE OF THE COUNTY CLERK, CALHOUN COUNTY, TEXAS THE 8TH DAY OF JUNE, 2020 AS SAME APPEARS OF RECORD IN FILE NUMBER 2020-1795 OF THE CALHOUN COUNTY DEED RECORDS, AND SLIDE 631-A OF THE PLAT RECORDS OF CALHOUN COUNTY, DO HEREBY CERTIFY THAT THIS REPLAT IS AN AMENDMENT TO SAID PLAT OF RECORD.

BY: JANAV INVESTMENTS, LLC, A TEXAS LIMITED LIABILITY COMPANY

BY: _____
NAME AND TITLE

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SUCH PERSON EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 2023.

NOTARY PUBLIC, TEXAS

STATE OF TEXAS
COUNTY OF CALHOUN

I, _____, CITY SECRETARY OF THE CITY OF PORT LAVACA, AN INCORPORATED CITY IN CALHOUN COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING REPLAT WAS APPROVED BY THE PLANNING COMMISSION OF SAID CITY AS APPROVED BY LAW, AND THAT THE RESOLUTION APPEARS OF RECORD IN VOLUME _____, PAGE _____ OF THE MINUTES OF THE PLANNING COMMISSION OF PORT LAVACA AS KEPT IN MY OFFICE.

WITNESS MY HAND AND SEAL OF THE CITY OF PORT LAVACA, TEXAS, ON THIS THE _____ DAY OF _____, 2023.

CITY SECRETARY
CITY OF PORT LAVACA, CALHOUN COUNTY
STATE OF TEXAS

STATE OF TEXAS
COUNTY OF CALHOUN

I, _____, CLERK OF COUNTY COURT AND COUNTY CLERK OF CALHOUN COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING REPLAT OF _____ SUBDIVISION OF THE CITY OF PORT LAVACA, CALHOUN COUNTY, TEXAS, DULY AUTHENTICATED BY CERTIFICATION OF THE CITY OF PORT LAVACA, TEXAS, ATTACHED HERETO, AS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 2023, ____ O'CLOCK ____ M., AND WAS DULY RECORDED ON THE ____ DAY OF _____, 2023 IN VOLUME _____, PAGE _____ OF THE CALHOUN COUNTY DEED RECORDS.

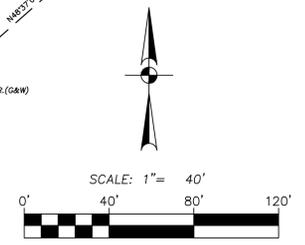
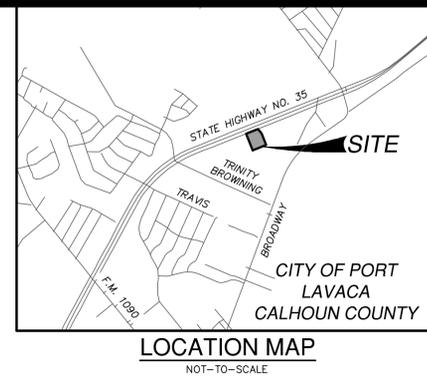
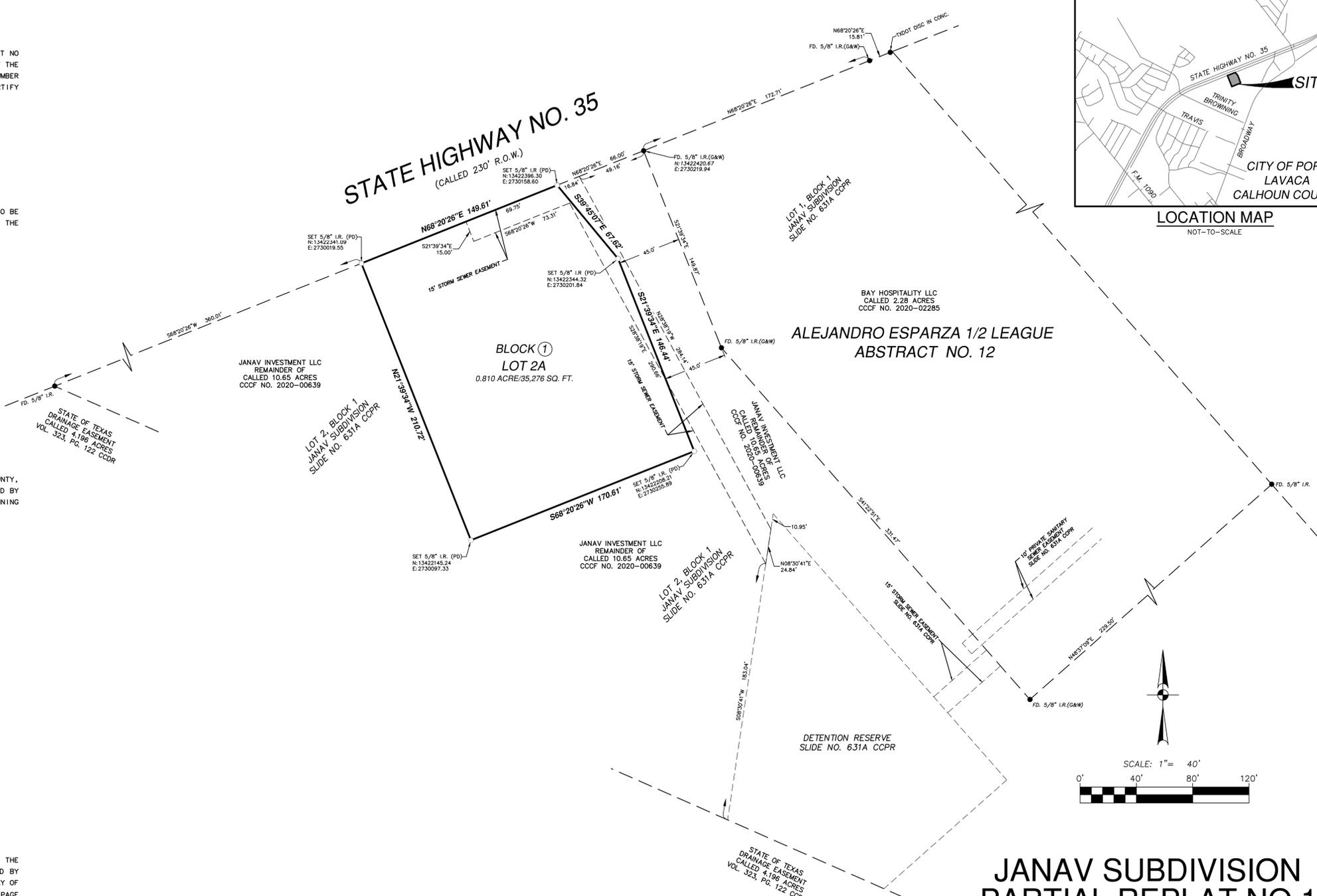
COUNTY CLERK

COUNTY OF CALHOUN
STATE OF TEXAS

I, JONATHAN FRANZ, A REGISTERED PUBLIC SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PLACED UNDER MY PERSONAL SUPERVISION.

DATE: _____/_____/_____

JONATHAN FRANZ
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO 6705



JANAV SUBDIVISION PARTIAL REPLAT NO 1

A SUBDIVISION OF 0.810 ACRES, BEING A PORTION OF LOT 2, BLOCK 1 OF THE JANAV SUBDIVISION, AS RECORDED IN CALHOUN COUNTY CLERK'S FILE NO. 2020-1795 AND SLIDE 631A OF THE PLAT RECORDS OF CALHOUN COUNTY, TEXAS, SITUATED IN THE ALEJANDRO ESPARZA SURVEY 1/2 LEAGUE, ABSTRACT NUMBER 12, CITY OF PORT LAVACA, CALHOUN COUNTY, TEXAS.

REASON FOR REPLAT:
TO CREATE A LOT AND RECONFIGURE 15' STORM SEWER EASEMENT.

1 LOT - 1 BLOCK
SCALE: 1" = 40' - MAY 2023

OWNER:
JANAV INVESTMENTS, LLC
A TEXAS LIMITED LIABILITY COMPANY
22790 US HIGHWAY 59 N,
KINGWOOD, TEXAS 77339



HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
TBP# FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10193974

LEGEND

- FOUND IRON ROD (UNLESS NOTED OTHERWISE)
- SET 5/8" IRON ROD (PD)
- CCCF = CALHOUN COUNTY CLERK'S FILE NUMBER
- CCDR = CALHOUN COUNTY DEED RECORDS
- CCPR = CALHOUN COUNTY PLAT RECORDS
- FD = FOUND
- IR = IRON ROD
- (PD) = PAPE-DAWSON
- R.O.W. = RIGHT-OF-WAY
- SF = SQUARE FEET

NOTES:

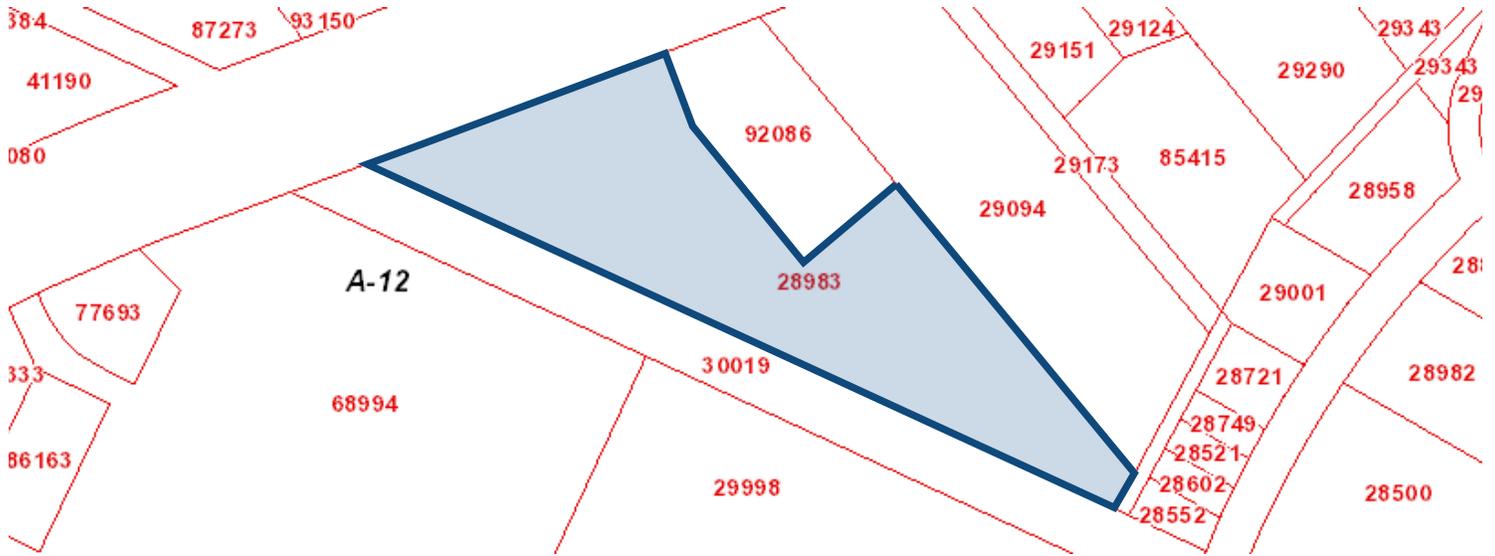
1. THE COORDINATES SHOWN HEREON ARE TEXAS SOUTH CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE COMBINED SCALE FACTOR (NONE).
2. WITH RESPECT TO RECORDED INSTRUMENTS WITHIN THIS PLAT, SURVEYOR RELIED ON TITLE COMMITMENT OF NO. FTH-18-FAH23003554HC, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, EFFECTIVE DATE: APRIL 9, 2023.
3. ALL BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE (4204).
4. SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS AS SET FORTH ON THE PLAT OF JANAV SUBDIVISION, RECORDED IN CALHOUN COUNTY CLERK'S FILE NO. 2020-02284 AND SLIDE 631-A OF THE PLAT RECORDS OF CALHOUN COUNTY, TEXAS.
5. THIS PROPERTY IS DESIGNATED FOR COMMERCIAL USE ONLY.

Date: May 17, 2023, 11:22am User: JF: jfranz File: C:\Survey\Survey\23\49037-23\Drawing\PL49037-23_R1.dwg

PD JOB #49037-23

Item 5.

Map



Property Details

ccount

roperty ID:	28983	Geographic ID:	S0177-00010-0001-00
ype:	Real	Zoning:	
roperty Use:		Condo:	

ocation

itus Address:			
ap ID:	S0177-00010-0001-00	Mapsc0:	1550
egal Description:	JANAV SUBD (PORT LAVACA), BLOCK 1, LOT 2, ACRES 8.38		
bstract/Subdivision:	S0177 - JANAV SUBD (PORT LAVACA)		
ighborhood:	1550		

wner ⓘ

wner ID:	116608
ame:	JANAV INVESTMENT LLC
gent:	
ailing Address:	22790 US HWY 59 N KINGWOOD, TX 77339
, Ownership:	100.0%
xemptions:	For privacy reasons not all exemptions are shown online.

Property Values