



PLANNING BOARD MEETING- JUNE

Monday, June 05, 2023 at 5:30 PM
City Council Chambers | 202 N. Virginia Street, Port Lavaca TX 77979

PUBLIC NOTICE OF MEETING

AGENDA

Planning Board will consider/discuss the following items and take any action deemed necessary.

COVID-19 MEETING PROCEDURE

Public notice is hereby given that the Planning Board of the City of Port Lavaca, Texas, will hold a regular meeting Monday, June 5, 2023 beginning at 5:30 p.m., at the regular meeting place in Council Chambers at City Hall, 202 North Virginia Street, Port Lavaca, Texas to consider the following items of business:

The meeting will also be available via the video conferencing application “ ZOOM”.

Join Zoom Meeting

<https://us02web.zoom.us/j/84391185971?pwd=YWRzcFk1WU53Q3pFYU44ZDlNRjFyQT09>

Meeting ID: 843 9118 5971

Passcode: 522145

One tap mobile

+13462487799,,84391185971#,,, *522145# US (Houston)

Dial by your location

+1 346 248 7799 US (Houston)

ROLL CALL

CALL TO ORDER

APPROVAL OF MINUTES

1. Review and approval of the May 2023 meeting minutes.

ACTION ITEMS - *Council will consider/discuss the following items and take any action deemed necessary*

2. Consider and discuss approval for a Variance to the ordinance Sec. 12-24. - Building Setbacks for Block 1, Lot 37 of the Burkeshire Addition (1615 Burkedale Drive), Parcel ID # 19116.
3. Consider and discuss approval for a conceptual two-story, single-family dwelling and restaurant with a Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107. To be located at 212 South Commerce Street.

4. Consider and discuss a conceptual light industrial park to be located on Alcoa Drive within the city limits of Port Lavaca. The property identification number is 40091. The legal description for this parcel is A0137 SAMUEL SHUPE, TRACT PT 3, ACRES 29.31, Port Lavaca, Calhoun County, Texas.
5. Consider and discuss approval of a replat and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N).

COMMENTS FROM THE PUBLIC

** (Limited to 3 minutes per individual unless permission to speak longer is received in advance. You may make public comments as you would at a meeting by logging on with your computer and using "Join Zoom Meeting" information on first page of this agenda).*

ADJOURN

CERTIFICATION OF POSTING NOTICE

This is to certify that the above notice of a regular meeting of The Planning Board of The City of Port Lavaca, scheduled for **Monday, June 5, 2023**, beginning at 5:30 p.m., was posted at city hall, easily accessible to the public, as of **5:00 p.m. Friday, June 2, 2023**.

Derrick Smith, *Director of Development Services*

ADA NOTICE

The Port Lavaca City Hall and Council Chambers are wheelchair accessible. Access to the building is available at the primary north entrance facing Mahan Street. Special parking spaces are located in the Mahan Street parking area. In compliance with the Americans with Disabilities Act, the City of Port Lavaca will provide for reasonable accommodations for persons attending meetings. To better serve you, requests should be received 24 hours prior to the meetings. Please contact City Secretary Mandy Grant at (361) 552-9793 Ext. 230 for assistance.

COMMUNICATION

SUBJECT: Consider and discuss approval for a Variance to the ordinance Sec. 12-24. - Building Setbacks for Block 1, Lot 37 of the Burkeshire Addition (1615 Burkedale Drive), Parcel ID # 19116.

INFORMATION:

CITY OF PORT LAVACA

MEETING: June 5, 2023 **AGENDA ITEM** _____

DATE: 05/24/2023

TO: PLANNING COMMISSION

FROM: DERRICK SMITH, DEVELOPMENT SERVICES DIRECTOR

SUBJECT: Consider and discuss approval for a Variance to the ordinance Sec. 12-24. - Building Setbacks for Block 1, Lot 37 of the Burkeshire Addition (1615 Burkedale Drive), Parcel ID # 19116.

This Variance request is to construct a carport that will project into the 25ft front building setback line. The dimensions of the finished carport would leave 12' from back of curb on the west side of the driveway and 26' 6" from back of curb on the east side of the driveway. Please see applicant Request for Variance for more details.

Sec. 12-24. - Building setbacks

- (a) *Definitions.* For the purpose of this article, the term "building setback lines" means to the distance that buildings or structures must be from the property line.
- (d) Minimum setback requirements.
- (10) Subdivision building lines.

Subdivision	Front Building Setback Line
Burkeshire	25 feet min.
	40 feet max.

Staff Recommendation: Approval of the request due to similar allowances for properties within the same block.

Attachments:

- Request for Variance
- Proposed site plan
- Picture

City of Port Lavaca Request for Variance

Date: 05-23-2023

Name: Eduardo Villalobos

Address: 1615 Burkedale dr

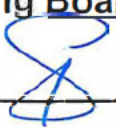
Variance being requested: for the building
setback line on the front of the property

Reason for
request: Construction of carport with wooden
structure fixed to the ground and metal roof.
Measurements are 25' by 27' total of 675 ft²
Carport will be 30' from the curb except on
the left side where the curb has a curve
where it measures 15'. Carport will still be within
my property and won't disturb any city services.

Eduardo Villalobos
Signature


Phone number

Date of Planning Board: 6/5/2023

Received by: 



CITY OF PORT LAVACA TEXAS

Permit Number

RESIDENTIAL BUILDING PERMIT APPLICATION

Requirements - PLEASE READ ALL OF THE FOLLOWING INSTRUCTIONS CAREFULLY

Your application will not be accepted if any of the below items are missing or incomplete. Submit applications to buildingdepartment@portlavaca.org.

- ☐ Completed and signed application form
- ☐ Contractors registered with City of Port Lavaca
- ☐ Digital submission of all required plans, as well as a printed labeled sets of required plans.

Project Information

Property Address: 1615 Burkedale dr

Building/Suite/Unit Numbers: _____ Flood Zone ☐ Yes ☒ No

Square footage: 700 Project Valuation: 2000

Type of construction: ☒ New construction ☐ Addition ☐ Remodel

Describe work to be done in detail (scope of work): Construction of Carport
With Wooden structure fixed to the floor
With anchored screws and Metal roof attached to the
house

Contractor Information (Serves as primary contact for this permit)

Contractor Name: _____

Company Name: _____

Address: _____

Phone: _____ Email: _____

Property Owner Information

Owner Name: Eduardo Villalobos

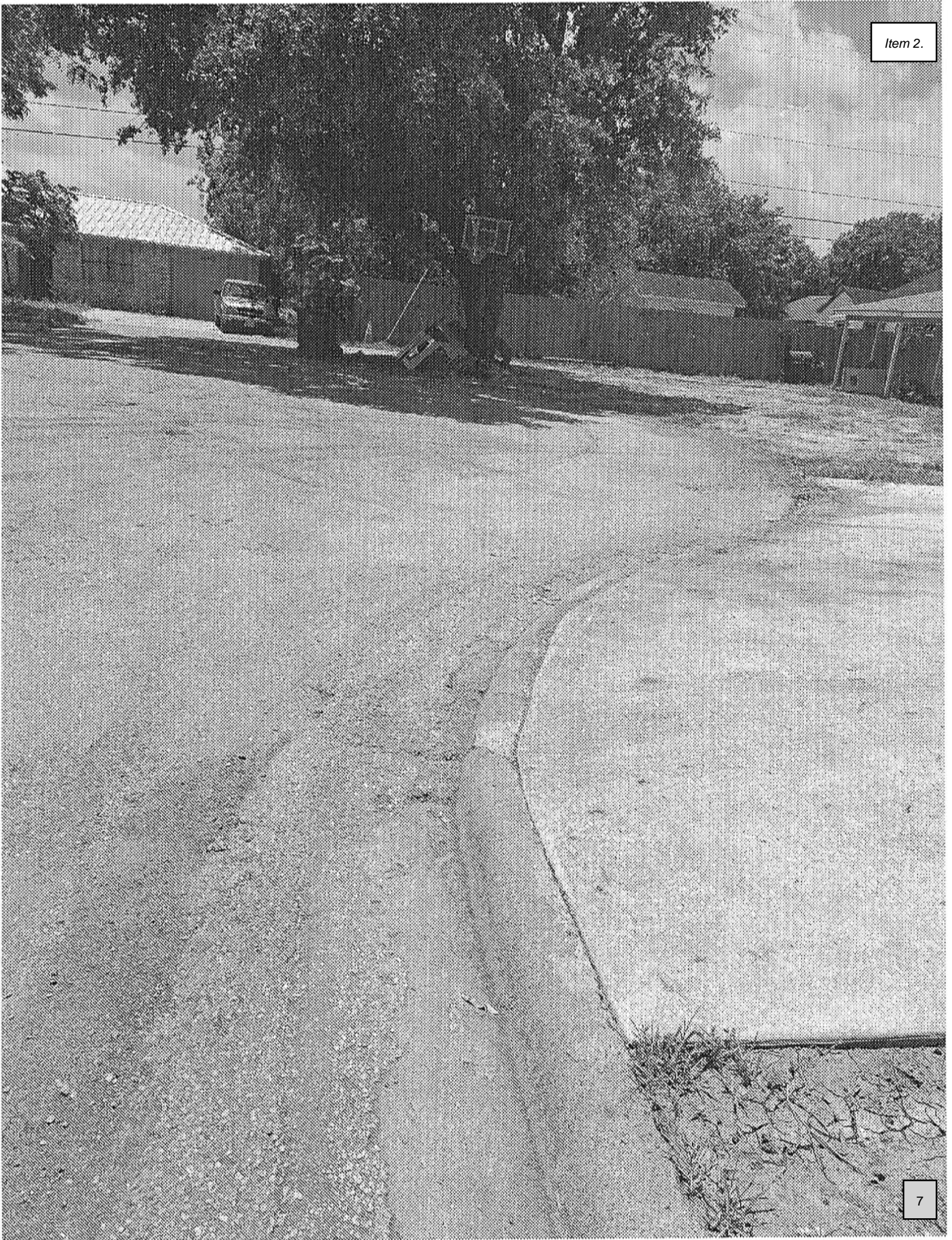
Owner Address: 1615 Burkedale dr

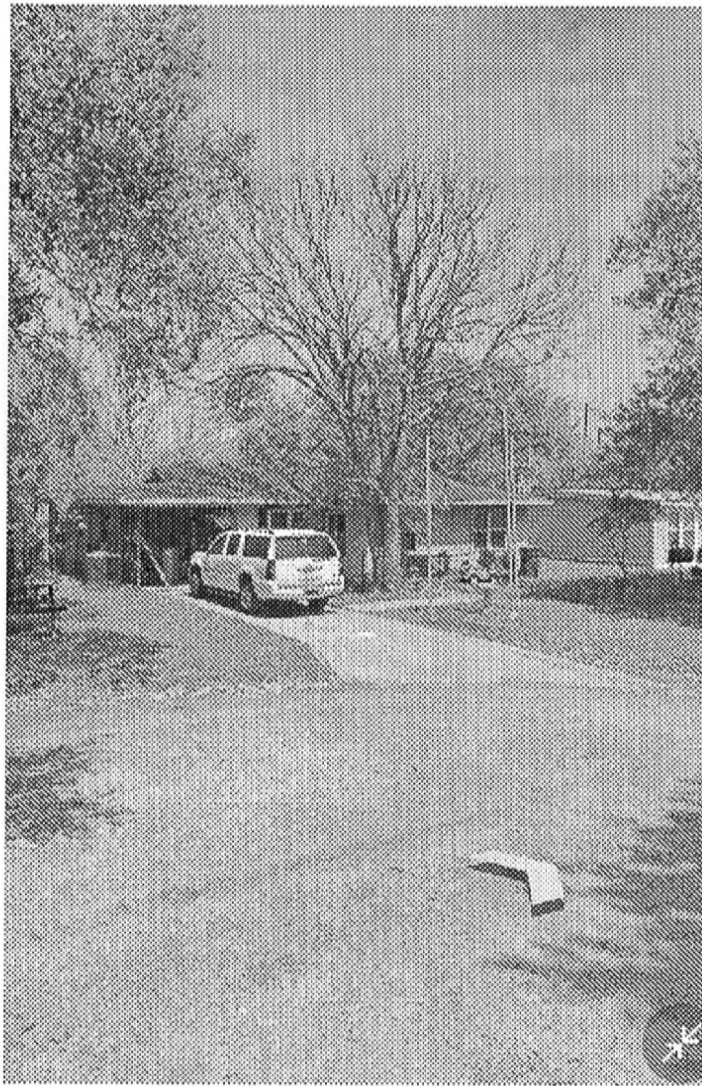
Owner Phone: [REDACTED] Owner Email: [REDACTED]

Applicant Agreement

By signing below, I acknowledge that I have read and completed all applicable requirements. I understand that if I have submitted an incomplete or false application, my application may be rejected.

Signature of Applicant: Eduardo Villalobos Date: 05-11-2023

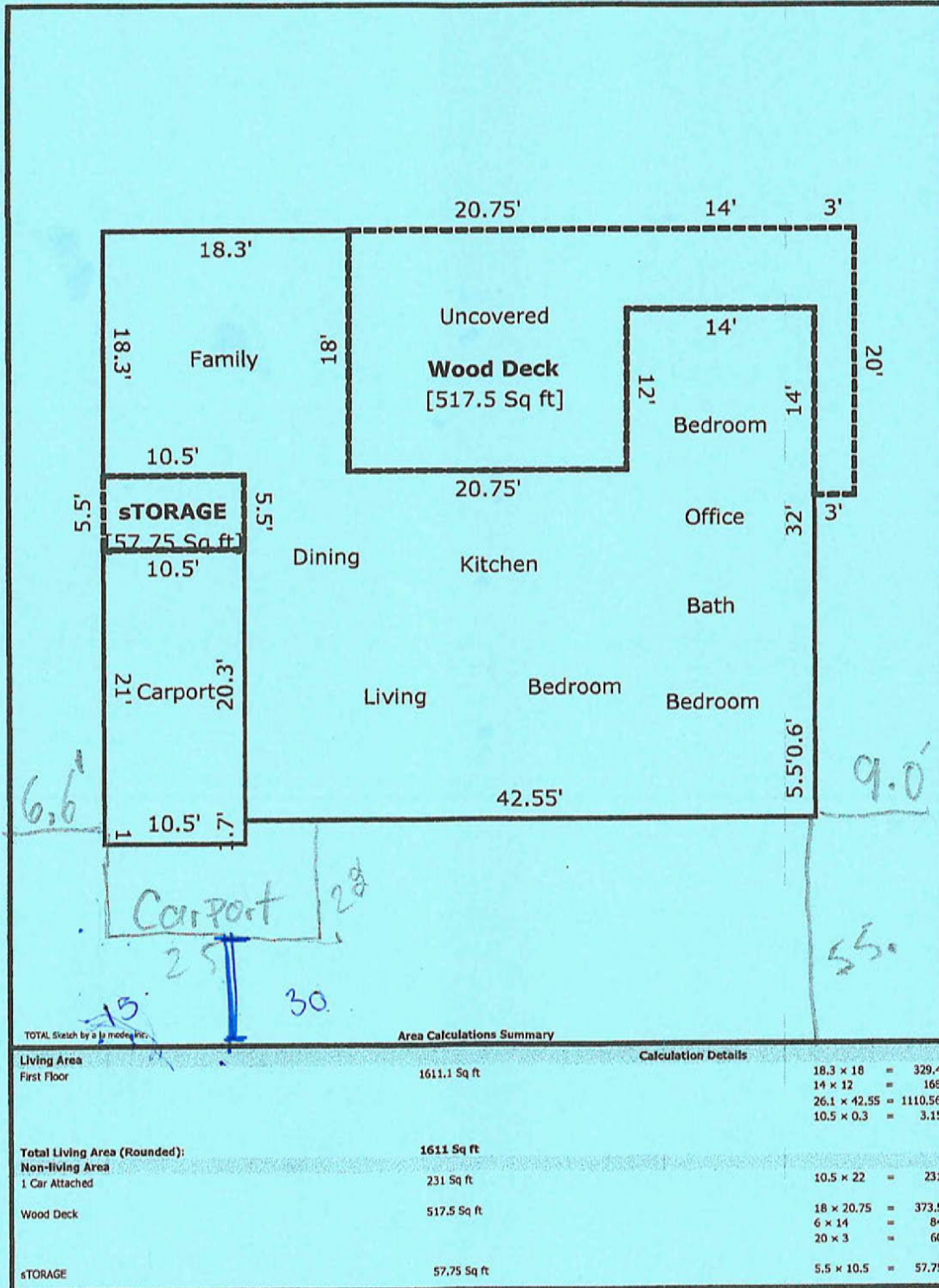


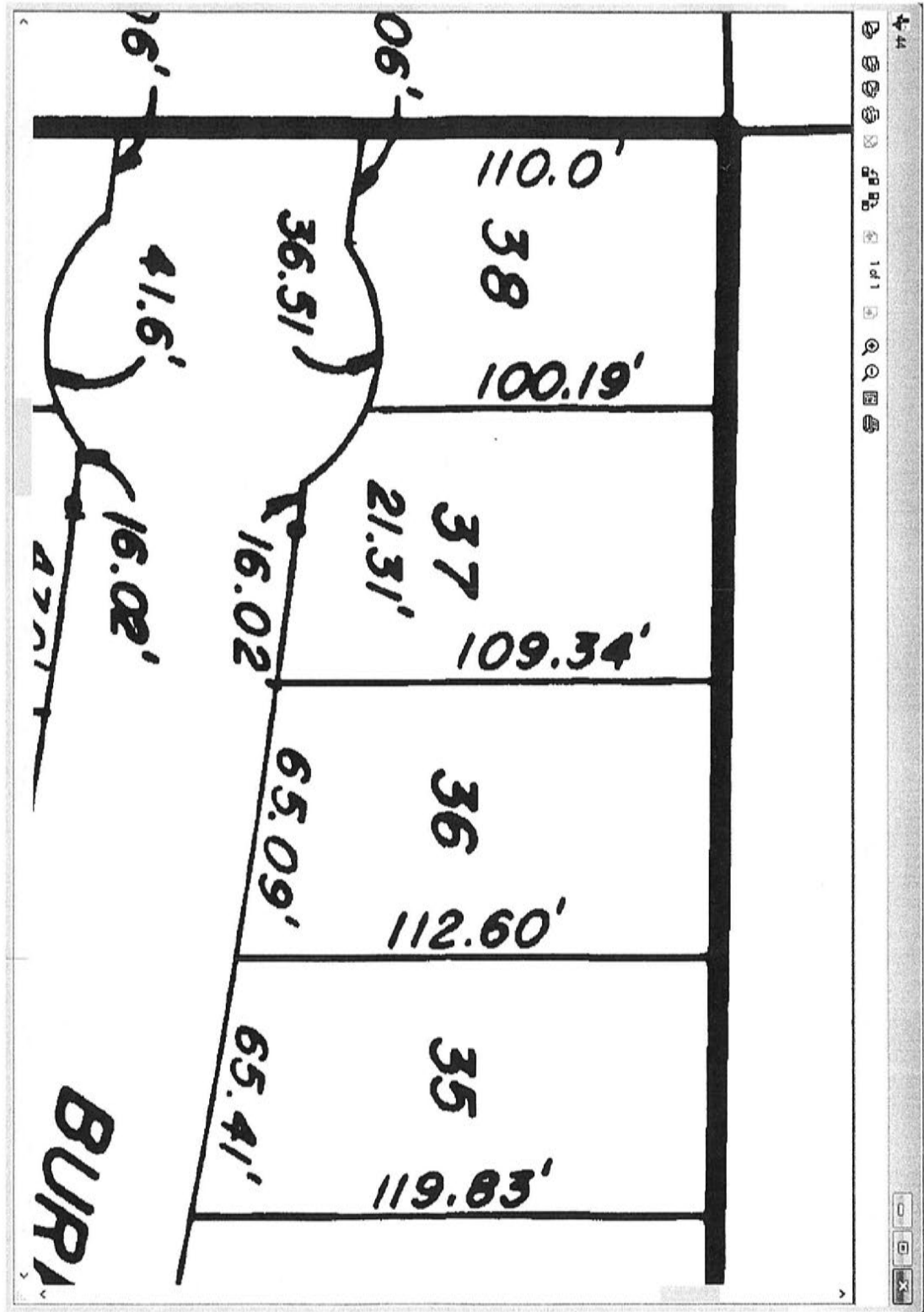




Building Sketch

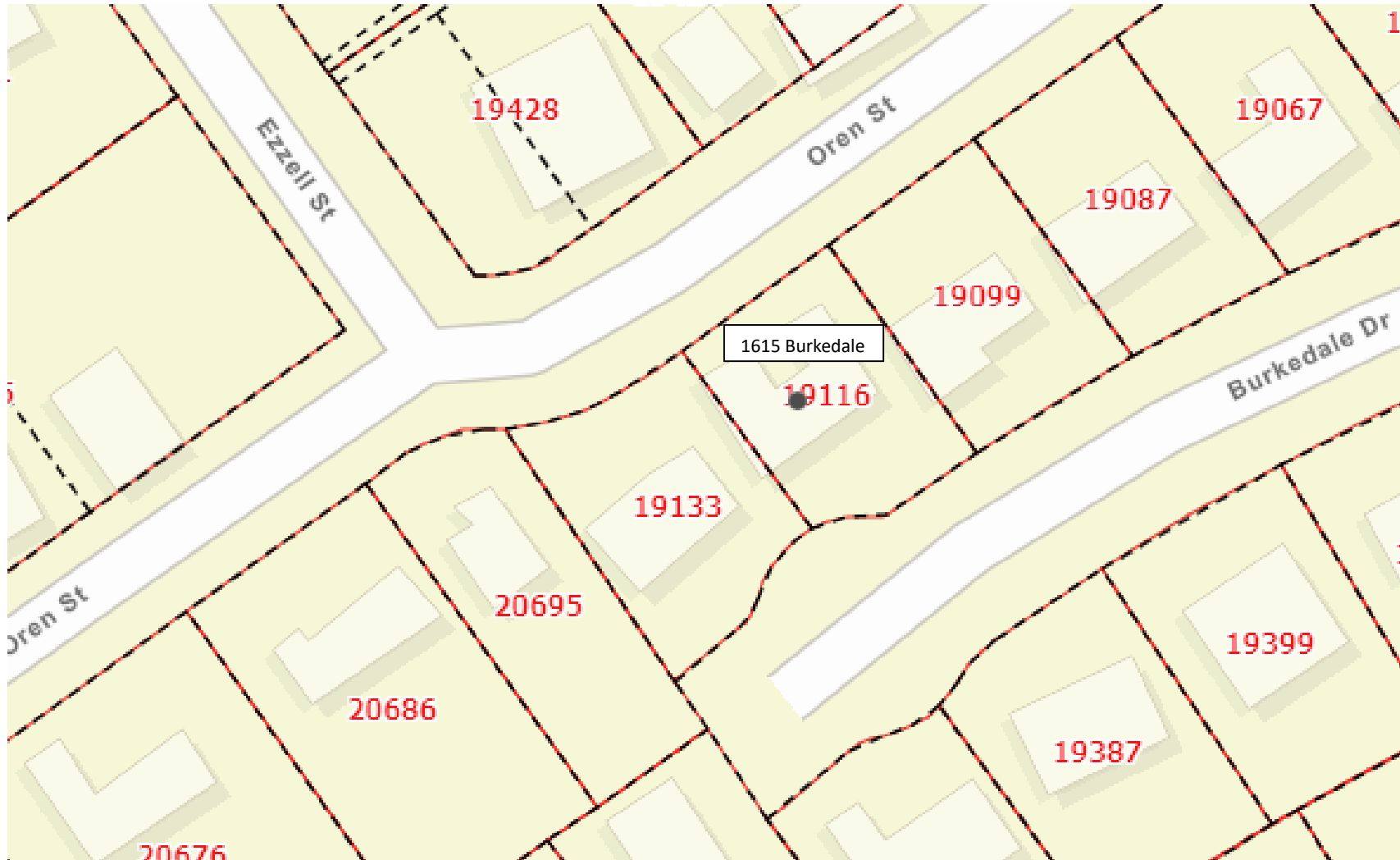
Borrower	Eduardo Villalobos				
Property Address	1615 Burkedale Dr				
City	Port Lavaca	County	Calhoun	State	TX Zip Code 77979
Lender/Client	First National Bank in Port Lavaca				







1615 Burkedale Drive



COMMUNICATION

SUBJECT: Consider and discuss approval for a conceptual two-story, single-family dwelling and restaurant with a Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107. To be located at 212 South Commerce Street.

INFORMATION:

CITY OF PORT LAVACA

MEETING: June 5, 2023 **AGENDA ITEM** _____

DATE: 05/24/2023

TO: PLANNING BOARD

FROM: DERRICK SMITH, DEVELOPMENT SERVICES DIRECTOR

SUBJECT: Consider and discuss approval for a conceptual two-story single-family dwelling and restaurant with a Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107. To be located at 212 South Commerce Street.

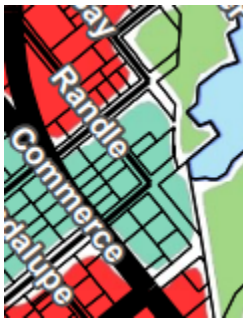
Kevin and Sasha Nevarez are requesting approval of a conceptual plan for a proposed structure that will have a restaurant elevated with pilings on the first floor and a single-family dwelling unit on the second floor. The requested variance is due to site constraints.

Sec. 42-159. - Approval of planning commission required.

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

Applicants Kevin and Sasha Nevarez are complying with this section of the ordinance.

The designation of the parcel is in accordance with the Future Land Use Map. The proposed area is designated as mixed-use.



<https://portlavaca.org/wp-content/uploads/2020/10/Future-Land-Use-Plan.pdf>

Subdivision II. - Off-Street Parking

Sec. 48-106. - Facility requirements.

- (a) Location. The off-street parking facilities required by this division shall be located on the same lot or parcel of land as the building, use or structure to which they are an accessory. Street rights-of-way between the curb and property line shall not be used

except for entrance or exit to driveways. In the event of particular difficulties in establishing the off-street parking facilities on the same parcel of land, the director of public works or the planning commission may permit such parking facilities on another lot or parcel of land, providing the straight-line distance between the two parcels shall not exceed 300 feet, and providing further, other safeguards to ensure permanent provisions of such facilities to the building, use or structure requiring same.

Subdivision II. - Off-Street Parking

Sec. 48-107. - Minimum standards.

Minimum Standards for Off-Street Parking	
Type of Structure or Use	Number of Spaces
Single-family units, more than 1,200 square feet	2
Restaurants, bars, nightclubs, etc.	0.33 per seat

The dwelling unit and restaurant are proposed to be 2,494 square feet each. The dwelling unit requires 2 spaces and the restaurant is proposed to have 44 seats and requires 15 spaces. The request is for 11 spaces which will include two ADA parking spaces.

https://library.municode.com/tx/port_lavaca/codes/code_of_ordinances?nodeId=PTIICOOR_C_H48TRVE_ARTIIPASTST_DIV3OREPALO_SDIIOREPA

Department Comments:

Engineering: Ensure ADA compliance and adequate parking

Fire: The building will need to be sprinkled

Public Works:

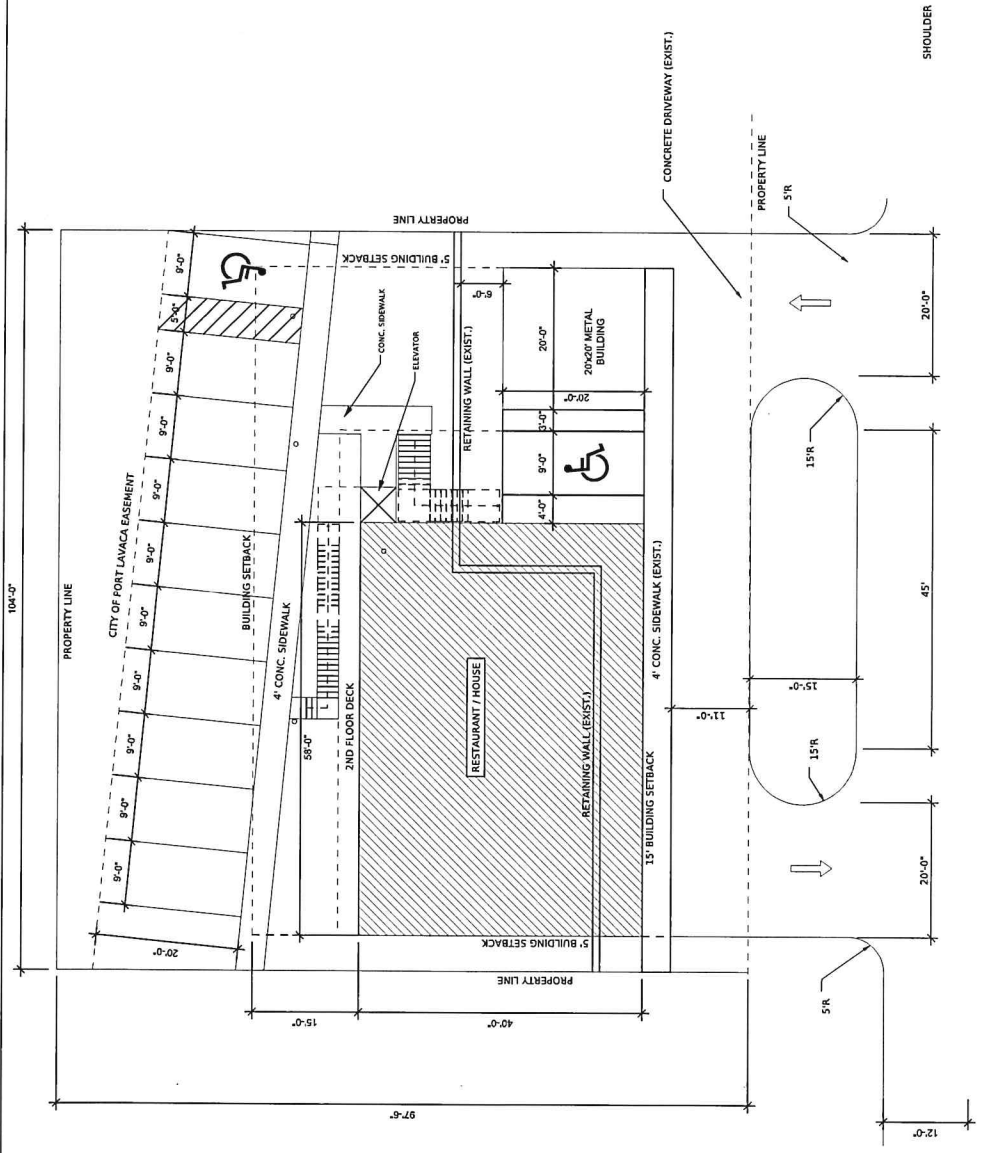
Development Services:

Staff Recommendation: APPROVAL of the Variance request to the ordinance Chapter 48, Division 3-Off Street Parking and Loading, Sec.48-106 and Sec. 48-107.

Attachments:

- Nevarez's variance request
- CAD ID# 87352-87353
- Nevarez's site plan

212 S. Commerce Street
Collage Cove S.D.
Block 2, Lot 4-5



S. COMMERCE ST. (SH 238)

GENERAL NOTES

Parking Requirements:
Restaurant - 44 seats x 0.33 = 15 spaces
Fish Market - 150 sf = 1 space
House - 2 spaces
Total - 18 spaces

Spaces available:
Off-street on property - 11.12 HCL spaces
On-street - 45' available frontage at 22' per space = 2.53 HCL spaces
On-street in front of adjacent property owned by City of Port Lavaca - 211' available at 22' per space = 9.59 HCL spaces
Total spaces available:
On-street - 11
On-street - 11

No.	REVISION/ISSUE	DATE

ORIENTATION

STAMP

5/11/2023

ALL PLANNING AND THE PROPERTY OF THE ENGINEER. NO PART OF THIS PLAN OR ANY PART THEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

VEF ENGINEERING

527 Birchard Drive
Port Lavaca, TX 77979
(361) 920-6240
TX Firm No. 17596

PROJECT NAME:
Nevarez House / Restaurant
212 S. Commerce Street
Port Lavaca, TX

CLIENT:
Kevin and Sasha Nevarez

DRAWING:
SITE PLAN

SCALE: 1/8" = 1'-0"

DATE: MAY 2023

DRAWN BY: VEF

CHECKED BY: VEF

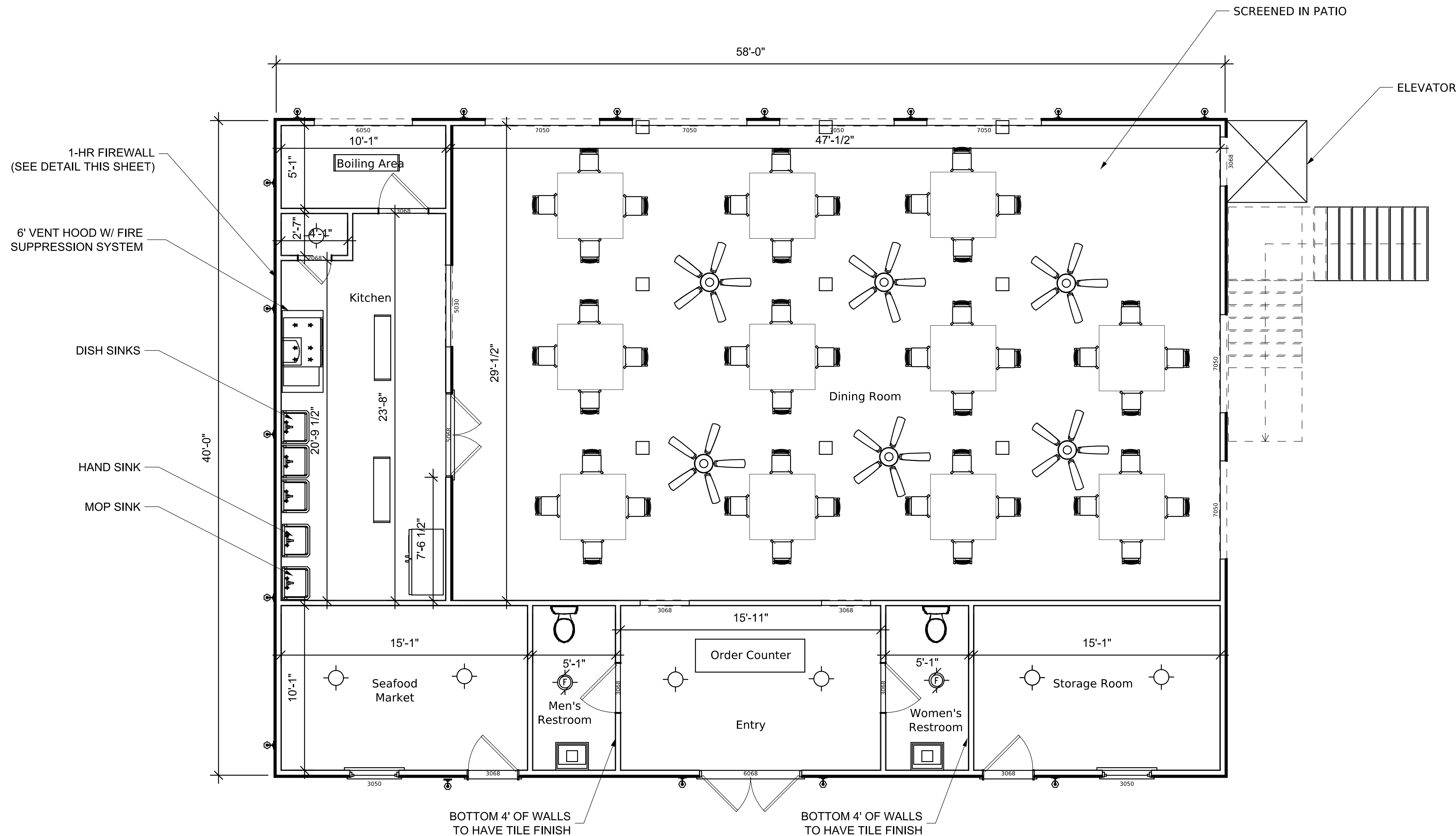
APPROVED BY: VEF

SHEET:
2

NOTE: KITCHEN AND BOILER ROOM CEILINGS
TO BE FIRE RESISTANT (2-HR), SEE DETAIL THIS SHEET

DESIGN DATA:

2018 IRC
WIND VELOCITY: 145 MPH (Vult.)
IMPORTANCE CAT.: II
EXPOSURE: C



1st Floor Area: 2320 sf

2 Hour Fire-Rated Construction		Dimensional Lumber		Acoustical Performance			Reference	
Construction Detail		Description	Test Number	STC	IIC	Test Number	ARL	Index
	cig. wt. 5 13 3/4"	<ul style="list-style-type: none">Two layers 5/8" SHEETROCK FIRECODE C Core gypsum panels1" nominal wood sub and finished floor2 x 10 wood joist 16" o.c.RC-1 channel or equivalentjoints finished	UL Des L511			Assembly not recommended when sound control is a major consideration		B-71

2-HR FIRE RESISTANT CEILING DETAIL

1 Hour Fire-Rated Construction		Loadbearing		Acoustical Performance		Reference	
Construction Detail		Description	Test Number	STC	Test Number	Index	
	wt. 7 4 3/4"	<ul style="list-style-type: none">5/8" SHEETROCK FIRECODE Core panels, or5/8" SHEETROCK UltraLight panels Firecode X, or 5/8" Fiberox panels2 x 4 wood stud 16" or 24" o.c.optional insulation	UL Des U305, U314	32	RAL-TL11-129 Based on 5/8" SHEETROCK FIRECODE core panels, no sound bat	A-59	
				33	RAL-TL11-172 Based on 5/8" SHEETROCK UltraLight Panels Firecode X, no sound bat		
				34	RAL-TL11-173, RAL-TL11-130 Based on 5/8" SHEETROCK FIRECODE core panels or 5/8" SHEETROCK UltraLight Panels Firecode X with R-11 fiberglass sound bat		
				37	RAL-TL11-081, RAL-TL11-084 Based on double layer one side 5/8" SHEETROCK FIRECODE core panels or 5/8" SHEETROCK UltraLight Panels Firecode X with R-11 fiberglass sound bat		

1-HR FIRE RESISTANT WALL DETAIL

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER
AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN
PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS
BEFORE COMMENCING WORK AND TO REPORT ANY
DISCREPANCIES TO THE DESIGNER

VEF Engineering

527 Elmhurst Drive
Port Lavaca, TX 77979
(361) 920-6240
TX Firm No. 17596

PROJECT NAME:

Nevarez House / Restaurant
212 S. Commerce Street
Port Lavaca, TX

CLIENT:

Kevin and Sasha Nevarez

DRAWING:

FLOOR PLAN
1st Floor

SCALE: 1/4" = 1'-0"

DATE: NOV. 2021

DRAWN BY:

VEF

CHECKED BY:

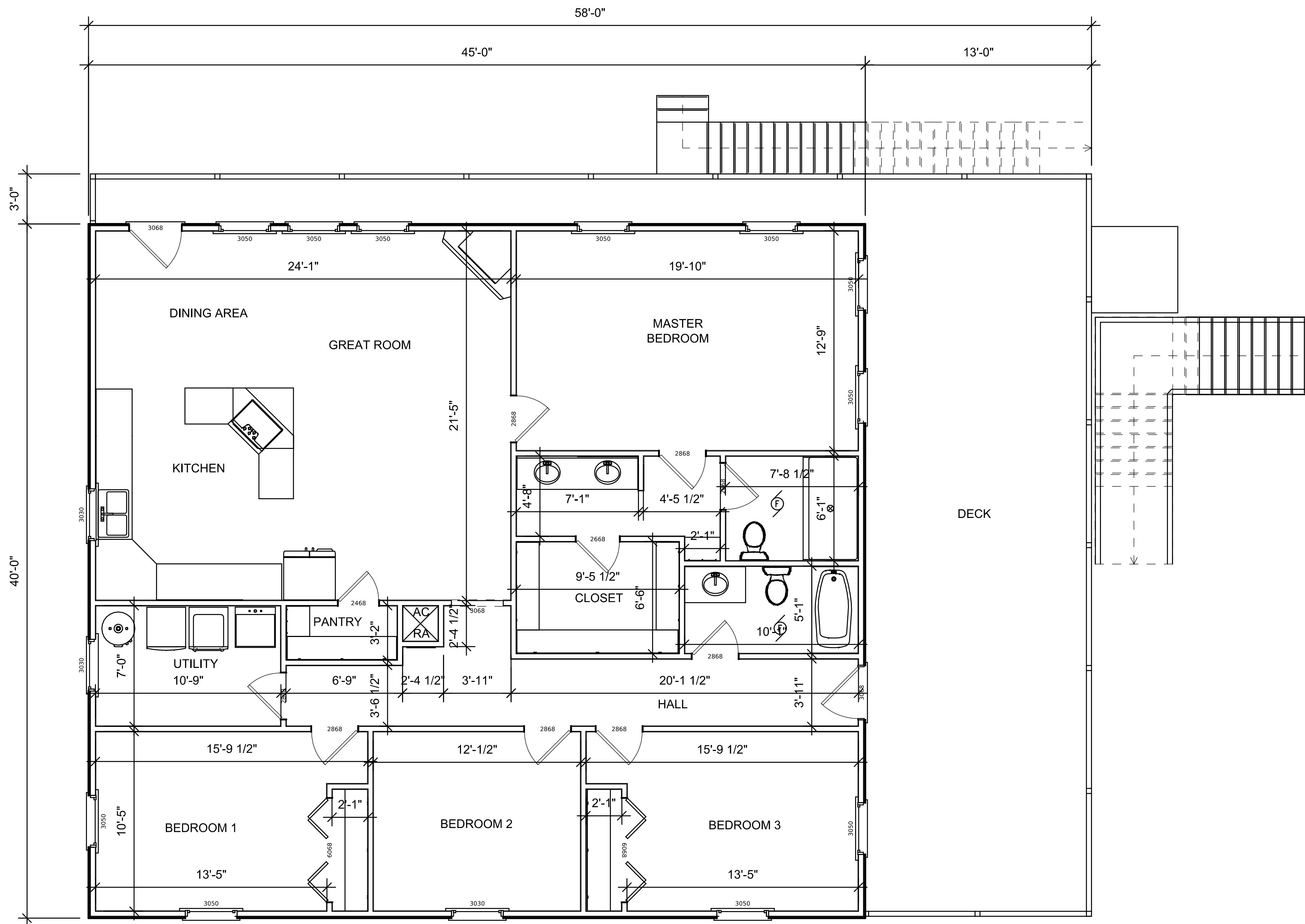
VEF

APPROVED BY:

VEF

SHEET:

4



2nd Floor Area: 1800 sf

DESIGN DATA:
2018 IRC
WIND VELOCITY: 145 MPH (Vult.)
IMPORTANCE CAT.: II
EXPOSURE: C

GENERAL NOTES

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DISCREPANCIES TO THE DESIGNER

VEF Engineering
527 Elmhurst Drive
Port Lavaca, TX 77979
(361) 920-6240
TX Firm No. 17596

PROJECT NAME:
Nevarez House / Restaurant
212 S. Commerce Street
Port Lavaca, TX

CLIENT:
Kevin and Sasha Nevarez

DRAWING: **FLOOR PLAN**
2nd Floor
SCALE: 1/4" = 1'-0" DATE: NOV. 2021

DRAWN BY: VEF	SHEET: 5
CHECKED BY: VEF	
APPROVED BY: VEF	

212 South Commerce Street



COMMUNICATION

SUBJECT: Consider and discuss a conceptual light industrial park to be located on Alcoa Drive within the city limits of Port Lavaca. The property identification number is 40091. The legal description for this parcel is A0137 SAMUEL SHUPE, TRACT PT 3, ACRES 29.31, Port Lavaca, Calhoun County, Texas.

INFORMATION:

CITY OF PORT LAVACA

PB MEETING: JUNE 5, 2023 **AGENDA ITEM** _____

DATE: 05.30.2023

TO: PLANNING COMMISSION

FROM: DERRICK SMITH, DIRECTOR OF DEVELOPMENT SERVICES

SUBJECT: Consider and discuss a conceptual light industrial park to be located on Alcoa Drive within the city limits of Port Lavaca. The property identification number is 40091. The legal description for this parcel is A0137 SAMUEL SHUPE, TRACT PT 3, ACRES 29.31, Port Lavaca, Calhoun County, Texas.

Sec. 42-159. - Approval of planning commission required.

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

The applicant Henry LaBrie is proposing to develop a light industrial park on Alcoa Drive. The development will begin with the construction of two buildings on the northeast corner of the property and will continue developing the property as businesses show interest.

The designation of the parcel is not in accordance with the Future Land Use Map. The proposed area is designated as multi-family.

Future Land Use Map:

<https://portlavaca.org/wp-content/uploads/2020/10/Future-Land-Use-Plan.pdf>

Department Comments:

Engineering:

Fire:

Public Works:

Development Services:

Attachments:

- CAD Map
- Site Plan with Address
- Conceptual Plan Packet



Black Break Metal —

— Black Break Metal









GENERAL NOTES

THE STRUCTURE UNDER THIS CONTRACT HAS BEEN DESIGNED AND DETAILED FOR THE LOADS AND CONDITIONS STIPULATED IN THE CONTRACT AND SHOWN ON THESE DRAWINGS. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM, REMOVAL OF ANY COMPONENT PARTS, OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE ADVICE AND DIRECTION OF A REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER. THE BUILDING MANUFACTURER WILL ASSUME NO RESPONSIBILITY FOR ANY LOADS NOT INDICATED.

THIS METAL BUILDING IS DESIGNED WITH THE BUILDING MANUFACTURER'S STANDARD PRACTICES WHICH ARE BASED ON PERTINENT PROCEDURES AND RECOMMENDATIONS OF THE FOLLOWING ORGANIZATIONS AND CODES AS APPLICABLE:

1. AMERICAN INSTITUTE OF STEEL CONSTRUCTION, SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS.
2. AMERICAN IRON AND STEEL INSTITUTE, SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS.
3. AMERICAN WELDING SOCIETY, STRUCTURAL WELDING CODE AWS D1.1
4. METAL BUILDING MANUFACTURER'S ASSOCIATION, LOW RISE BUILDING SYSTEMS MANUAL
5. INTERNATIONAL CODE COUNCIL: INTERNATIONAL BUILDING CODE

ALL WELDING ELECTRODES SHALL BE A233 CLASS E-70 SERIES. MINIMUM WELDS ON PRIMARY STRUCTURAL MEMBERS SHALL BE 3/16 FILLET WELDS UNLESS SHOWN OTHERWISE ON SHOP FABRICATION DRAWINGS.

ALL STRUCTURAL STEEL SHALL BE SHOP FABRICATED UNLESS NOTED.

MATERIAL PROPERTIES OF STEEL PLATE AND SHEET USED IN THE FABRICATION OF PRIMARY RIGID FRAMES AND ALL PRIMARY STRUCTURAL FRAMING MEMBERS (OTHER THAN COLD-FORMED SECTIONS) CONFORM TO THE CHEMISTRY REQUIREMENTS OF ASTM-A36 WITH MINIMUM YIELD POINT OF 50,000 P.S.I. OR 36,000 P.S.I. AS REQUIRED BY DESIGN.

MATERIAL PROPERTIES OF COLD FORMED LIGHT GAGE STEEL MEMBERS CONFORM TO THE REQUIREMENTS OF A.S.T.M. A-570, GRADE 55, WITH A MINIMUM YIELD POINT OF 57,000 P.S.I.

ALL PIPE SHALL BE MINIMUM SCHEDULE 40 AND 36,000 P.S.I. UNLESS OTHERWISE NOTED.

CABLE BRACING TO BE "BRACE GRIP" SYSTEM AS MANUFACTURED BY FLORIDA WIRE AND CABLE COMPANY, EHS CABLE OR EQUAL. BRACING IN FLUSH GIRT SIDEWALL / ENDWALL BAYS MAY REQUIRE THE FIELD CUTTING OF SLOTS SO THAT CABLE IS INSTALLED WITHIN GIRTS.

STRUCTURAL JOINTS WITH A.S.T.M. A-325 HIGH STRENGTH BOLTS, WHERE INDICATED ON THE DRAWINGS, SHALL BE ASSEMBLED AND THE FASTENERS TIGHTENED IN ACCORDANCE WITH "SNUG-TIGHT" METHOD AS DESCRIBED IN THE SPECIFICATION FOR STRUCTURAL JOINTS USING A.S.T.M. A-325 OR A-490 BOLTS (JUNE 30, 2004 EDITION). UNLESS OTHERWISE NOTED. ALL JOINTS WILL BE ASSEMBLED WITHOUT WASHERS UNLESS OTHERWISE NOTED.

ALL STEEL MEMBERS EXCEPT BOLTS AND FASTENERS SHALL RECEIVE ONE SHOP COAT OF IRON OXIDE CORROSION INHIBITIVE PRIMER.

SHOP AND FIELD INSPECTIONS AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS OTHERWISE NOTED, ALL SCREWED-DOWN ROOF AND WALL PANELS ARE TO BE INSTALLED USING A MINIMUM OF ONE SCREW PER FOOT AT EACH PURLIN / GIRT AND ONE STITCH SCREW EVERY 24 INCH ALONG THE PANEL LAPS AND ENDS AS DESCRIBED IN THE INSTALLATION MANUAL. SINCE BEARING FRAME ENDWALLS DEPEND ON DIAPHRAGM STRENGTH TO PROVIDE LATERAL SUPPORT, THE NUMBER AND SIZE OF FIELD INSTALLED OPENINGS IN THESE WALLS MAY BE LIMITED. SEE THE APPLICABLE WALL DRAWING OR CONTACT YOUR SALES REPRESENTATIVE FOR MORE INFORMATION.

BUILDING DESCRIPTION

BLDG	WIDTH	LENGTH	HEIGHT	BACK	FRONT	BACK	FRONT
1	50'-0"	X 99'-0"	X 20'-0"	20'-0"	1.00:12	1.00:12	

WARRANTY NOTE

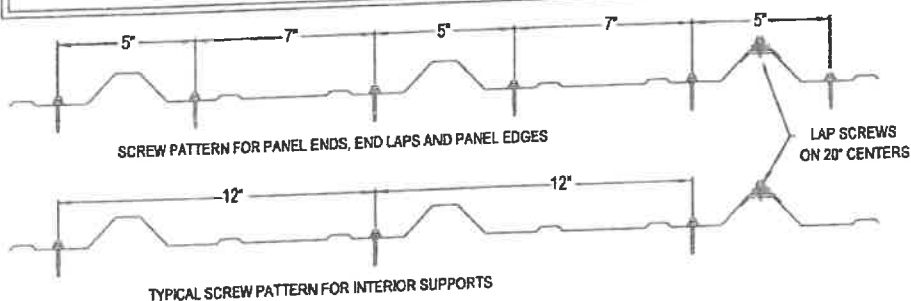
ENGINEERING CALCULATIONS AND DESIGN ARE BASED ON PRE-FABRICATED METAL BUILDING(S) AS SHOWN IN THESE DRAWINGS AND SUPPLIED BY MUELLER, INC. AND ANY FIELD FABRICATION AND/OR MODIFICATION OF SAID BUILDING(S) IS THE SOLE RESPONSIBILITY OF THE CUSTOMER AND MAY VOID ALL ENGINEERING AND WARRANTY.

TDI WINDSTORM INSPECTION PROGRAM

This building as supplied by Mueller, Inc. is designed to meet or exceed the wind loading criteria set forth in the IBC 2006 Edition as required by the Texas Dept. of Insurance's Windstorm Inspection Program. In order to maintain the integrity of this design, no field fabrication nor modification is allowed. All exterior openings (doors, window, skylights, vents, etc.) shall contain products designed and installed to comply with the Uniform Static Wind Pressure and Impact Resistance requirements set forth by the Texas Dept. of Insurance. Use of any coverings not rated to meet this criteria will void all engineering and warranty.

FASTENER SPACING:

A line of fasteners in a 5"-7"-5"-7"-5" pattern shall be used at all panel ends, end laps, and panel edges when attached to the rake, base, roof or wall purlin and eave struts. Panel side laps should have lap screws spaced at 20" on center along the entire length of the panel lap.



PRODUCT CERTIFICATIONS

THIS IS TO CERTIFY THE ABOVE REFERENCED BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH A.I.S.C. AND A.I.S.I. DESIGN PROCEDURES AND GOOD ENGINEERING PRACTICE AND FOR THE FOLLOWING LOADS. ALL WELDING IS PER THE A.W.S. D1.1 & D1.3 CODES. LOADS ARE APPLIED IN ACCORDANCE WITH THE M.B.M.A. LOW RISE BUILDING SYSTEMS MANUAL, AND THE DESIGN SATISFIES THE REQUIREMENTS OF IBC'12

DEAD LOAD: METAL BLDG STRUCTURE ONLY AS FURNISHED BY MUELLER, INC.

LIVE LOAD (ROOF): 20.0 (psf) GROUND SNOW LOAD: $P_g = 0.0$ (psf)

LIVE LOAD REDUCED PER CODE? YES ROOF SNOW LOAD (Flat): $P_r = 0.0$ (psf)

WIND EXPOSURE: C $C_e = 1.0$ $I_s = 1.0$

RISK CATEGORY: II - Normal WIND LOAD: $V_{ULT} = 141.0$ MPH

$V_{ASD} = 109$ MPH

SEISMIC LOADS

$I_e = 1.0$ SEISMIC DESIGN CATEGORY: B

$S_s = 0.080$ $S_{ds} = 0.085$ SITE CLASS: D

$S_1 = 0.043$ $S_{d1} = 0.069$ ANALYSIS PROCEDURE: Equivalent Lateral Force Method

BUILDING-SPECIFIC LOADING INFORMATION

BLDG	Collateral Load (psf)	C_t	SNOW C_s	Roof (Sloped) P_s (psf)	WIND Enclosure	GC_{Pf}	R	SEISMIC C_s	V (kips)
1	0.5	1.0	1.0	0.00	Enclosed	± 0.18	3.25	0.026	0.81

THIS LETTER OF CERTIFICATION APPLIES SOLELY TO THIS BUILDING AND ITS COMPONENT PARTS AS FURNISHED AND/OR FABRICATED BY MUELLER, INC. AND SPECIFICALLY EXCLUDES FOUNDATION, MASONRY OR GENERAL CONTRACT WORK INCLUDING ERECTION CERTIFICATION. THE DESIGN AND CERTIFICATION FOR THIS PROJECT IS IN ACCORDANCE WITH THE PROVISIONS AND LOADS SPECIFIED ON THE CONTRACT DOCUMENTS. THE CUSTOMER IS TO INSURE ALL LOADS ARE IN COMPLIANCE WITH LOCAL REGULATORY AUTHORITIES. ALL COMPONENTS AND PARTS MUST WITHSTAND THE WIND LOAD AND DESIGN SPECIFICATIONS MENTIONED ABOVE.

PANEL ACCESSORY INFORMATION

	PANEL TYPE	PANEL COLOR	TRIM COLOR
WALL SHEETS	126 PBR	GP Galvalume Plus	BLK Black
ROOF SHEETS	126 PBR	GP Galvalume Plus	BLK Black

WARNING: IN NO CASE SHOULD GALVALUME STEEL PANELS BE USED IN CONJUNCTION WITH LEAD OR COPPER. BOTH LEAD AND COPPER HAVE HARMFUL CORROSION EFFECTS ON THE ALUMINUM ZINC ALLOY COATING WHEN THEY ARE USED IN CONTACT WITH GALVALUME STEEL PANELS. EVEN RUN-OFF FROM COPPER FLASHING, WIRING, OR TUBING ONTO GALVALUME SHOULD BE AVOIDED.

NOTE:

THIS BUILDING IS DESIGNED AS AN ENCLOSED STRUCTURE. ANY ACCESSORIES USED WITH THIS BUILDING (DOORS, WINDOWS, VENTS, ETC.) MUST BE RATED TO MEET THE SAME WIND CRITERIA AS THIS BUILDING.

DRAWING INDEX

PAGE	DESCRIPTION
C1	COVERSHEET
AB1	ANCHOR BOLT PLAN
AB2	ANCHOR BOLT DETAILS
AB3	ANCHOR BOLT DETAILS
AB4	REACTIONS
E1	ROOF PLAN
E2	WALL ELEVATION AT GRID D
E3	WALL ELEVATION AT GRID A
E4	WALL ELEVATION AT GRID 1
E5	WALL ELEVATION AT GRID 5
E6	FRAME ELEVATION ON GRID 2
E7	FRAME ELEVATION ON GRID 3
E8	FRAME ELEVATION ON GRID 4
E101	ERECTION DETAILS
E102	ERECTION DETAILS
E103	ERECTION DETAILS
S101	SHEETING DETAILS

F-2689

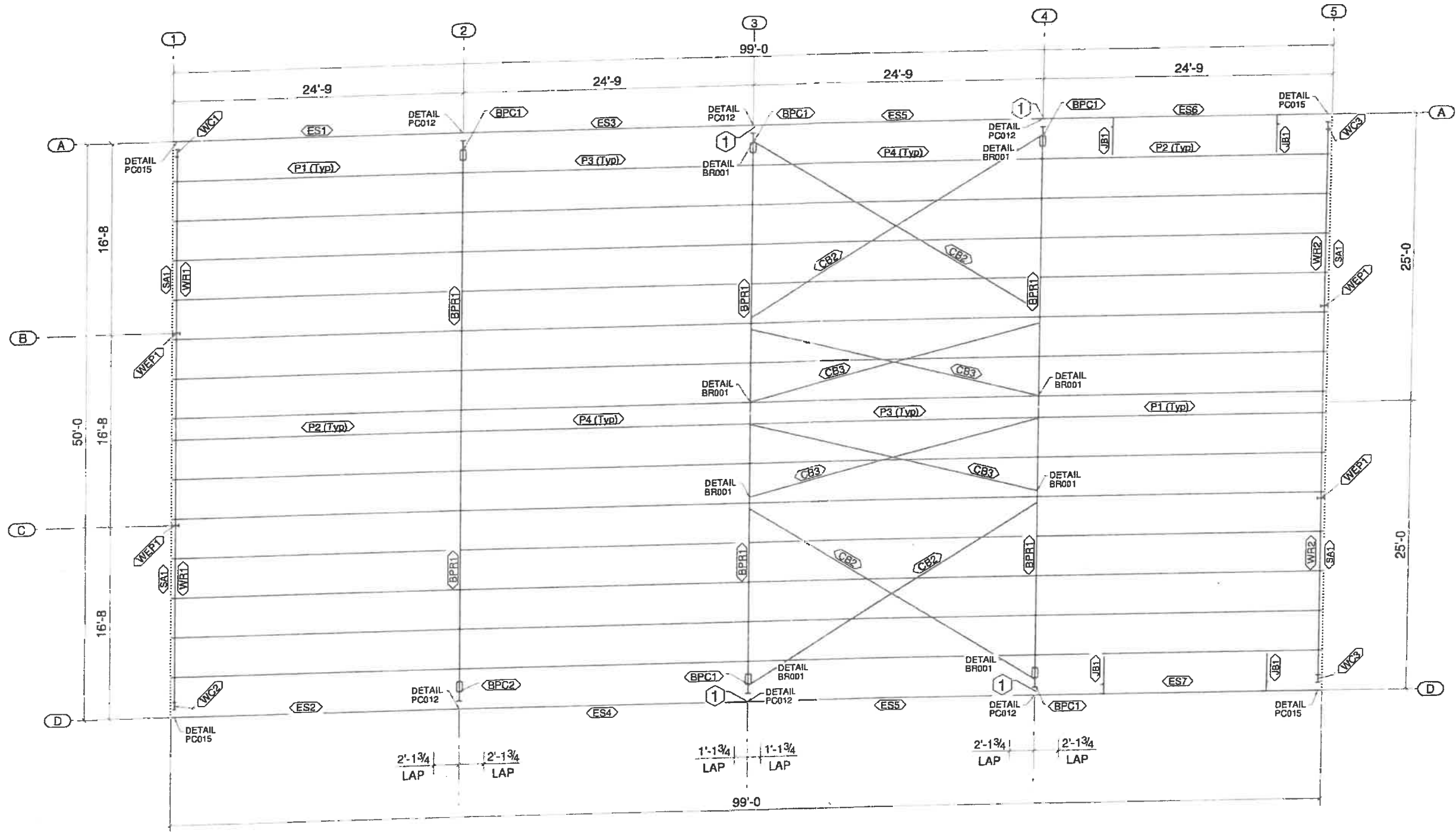


DJB

NOTE: THE UNDERSIGNED ENGINEER IS NOT THE "REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE" NOR "ENGINEER OF RECORD" FOR THE OVERALL PROJECT.

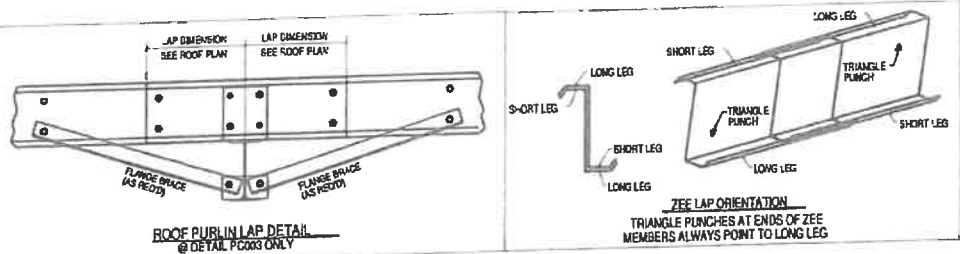
0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: COVERSHEET		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1.00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # C1	REV: 0

Special Bolts - Roof Plan					Item 4.
O ID	Qty	Type	Dia	Length	
1	4	A325N	1/2"	1 1/2"	



ROOF PLAN

Bill of Materials			
Qty	Mark	Profile	Length
4	CB2	CB5/16D	27'-3 13/16"
4	CB3	CB1/4D	23'-8 9/16"
1	ES1	81E12DU-1	24'-8 1/2"
1	ES2	81E12DU-1	24'-8 1/2"
1	ES3	81E12DU-1	24'-8 1/2"
1	ES4	81E12DU-1	24'-8 1/2"
2	ES5	81E12DU-1	24'-8 1/2"
1	ES6	81E14DU-1	24'-8 1/2"
1	ES7	81E14DU-1	24'-8 1/2"
14	P1	8X25Z14	26'-10 1/2"
14	P2	8X25Z14	26'-10 1/2"
14	P3	8X25Z16	28'-0 1/2"
14	P4	8X25Z16	28'-0 1/2"
4	SA1	L4X2x14GA	25'-0 9/16"



DJB



0		For Construction	
REV	DATE	DESCRIPTION	
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 327-1087			
DRAWING DESCRIPTION: ROOF PLAN			
SALESMAN: JACOB KENNA		BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	
CUSTOMER NAME: FLOODMASTER		ADDRESS: BEAUMONT, TX 77705	
DETAILER: TMR	CHECKER:	DATE:	JOB #: 5031537
		DWG #: E1	SCALE: NONE

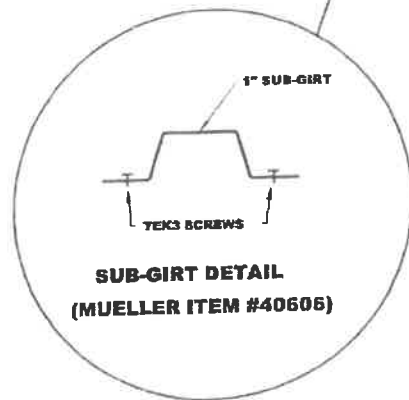


Sub-Girt Spacing - 3'-0" O.C. MAX


NOTE:

THIS WALL WILL BE SHEETED WITH HORIZONATAL U-PANEL UP TO 7'-4".
MUELLER ITEM #40606 WILL RUN VERTICALLY BETWEEN GIRTS WITH A MAX SPACING OF 3'-0".
USE TEK3 SCREWS TO FASTEN #40606 TO GIRTS.

Bill of Materials			
Qty	Mark	Profile	Length
1	MHB1	C8X11.5	24'-8 1/2"
1	BA3	L4X2x14GA	6'-3 1/2"
2	BA4	L4X2x14GA	1'-11 1/2"
1	BA5	L4X2x14GA	1'-3 1/2"
2	BA6	L4X2x14GA	24'-8 1/2"
1	BA7	L4X2x14GA	1'-4"
1	BA8	L4X2x14GA	6'-4"
1	BA10	L4X2x14GA	5'-7 1/2"
1	BA11	L4X2x14GA	4'-4 1/2"
2	CB1	CB3/BD	28'-10 15/16"
5	FB2	2X2L12	2'-9 7/8"
2	G6	8X25Z16	6'-3 7/16"
2	G7	8X25Z16	1'-3 3/8"
1	G10	8X25Z14	27'-10 1/2"
2	G11	8X25Z16	1'-3 7/8"
1	G12	8X25Z16	9'-5 15/16"
1	G13	8X25Z14	9'-5 15/16"
4	G14	8X25Z16	31'-0 1/2"
2	G15	8X25Z16	31'-0 1/2"
1	G16	8X25Z14	31'-0 1/2"
1	G17	8X25Z12	27'-10 1/2"
4	G19	8X25Z16	8'-9 3/8"
1	G20	8X25Z16	13'-11 1/2"
4	G22	8X25Z16	4'-4 3/8"
2	H1	8X25C16	1'-11 1/2"
1	H2	8X25C16	3'-3 1/2"
1	H3	10X35C14	13'-11 1/2"
4	J1	8X25C16	11'-7 3/8"
2	J2	8X25C16	11'-7 3/8"
1	J3	10X35C12	18'-3 5/16"
1	J4	10X35C12	18'-3 5/16"
2	S1	8X25C16	1'-11 1/2"



DJB

0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION:		
WALL ELEVATION AT GRID D		
SALESMAN:	BUILDING DESCRIPTION:	
JACOB KENNA	50'-0" X 99'-0" X 20'-0"	
CUSTOMER NAME:	ADDRESS:	
FLOODMASTER	BEAUMONT TX 77705	
DETAILER:	CHECKER:	DATE:
TMR		
JOB #		DWG #
5031537		E2
ROOF SLOPE		SCALE
1:00:12		NONE
		REV.
		0

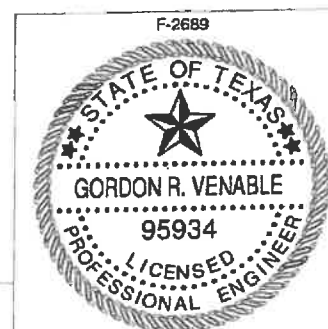
Bill of Materials			
Qty	Mark	Profile	Length
1	WC1	W8X10	
1	WC2	W8X10	
2	WEP1	W8X10	
2	WR1	W8X10	
2	BA1	L4X2x14GA	16'-4 1/2"
1	BA2	L4X2x14GA	16'-1 1/2"
2	FB1	2X2L12	2'-6"
5	G1	8X25Z16	14'-11 9/16"
2	G2	8X25Z14	14'-11 9/16"
2	G3	8X25Z16	15'-11 5/16"
2	G4	8X25Z14	15'-11 5/16"
1	G5	8X25Z14	14'-11 9/16"

A circular professional engineer seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars on each side. The inner circle features a five-pointed star at the top, followed by the name "GORDON R. VENABLE" and the license number "95934". The entire seal is enclosed in a rope-like border.

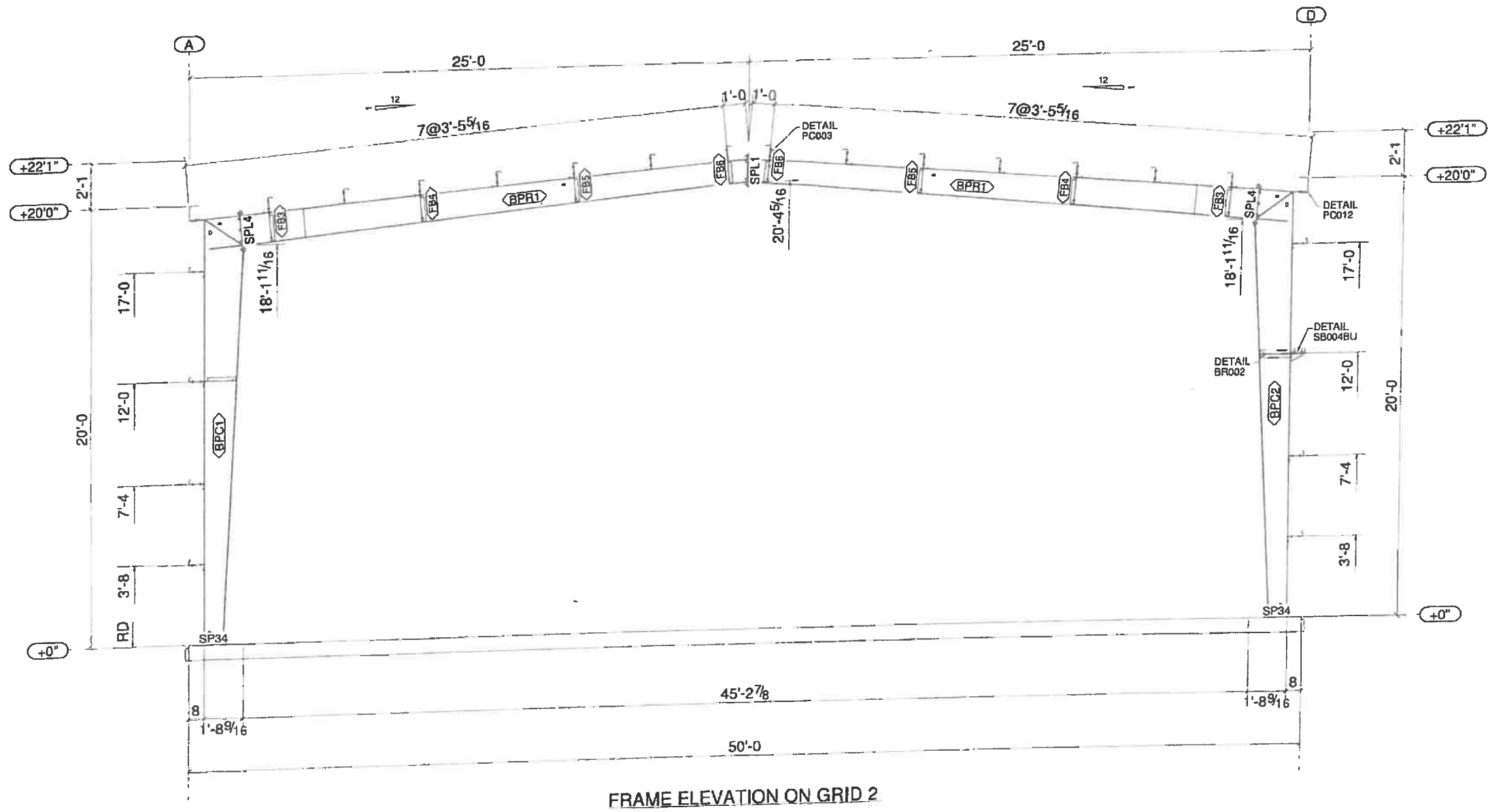
0	For Construction		
REV	DATE	DESCRIPTION	
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hulchins Ave. Ballinger, TX 76821 (800) 327-1087			
DRAWING DESCRIPTION:			
WALL ELEVATION AT GRID 1			
SALESMAN:		BUILDING DESCRIPTION:	
JACOB KENNA		50'-0" X 99'-0" X 20'-0"	
CUSTOMER NAME:		ADDRESS:	
FLOODMASTER		BEAUMONT, TX 77705	
DETAILER:	CHECKER:	DATE:	JOB # 5031537
TMP			DWG # E4
			ROOF SLOPE: 1:00:12 SCALE: NONE REV: 0



ALL ENDWALL COLUMNS AND JAMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.



0	For Construction	
REV	DATE	DESCRIPTION
<h1>MUELLER, INC.</h1> <p>STEEL BUILDING SYSTEMS & COMPONENTS</p> <p>1913 Hutchins Ave. Ballinger, TX 76821</p> <p>(800) 527-1087</p>		
DRAWING DESCRIPTION:		
WALL ELEVATION AT GRID 5		
SALESMAN:	BUILDING DESCRIPTION:	
JACOB KENNA	50'-0" X 99'-0" X 20'-0"	
CUSTOMER NAME:	ADDRESS:	
FLOODMASTER	BEAUMONT, TX 77705	
DETAILER:	CHECKER:	JOB #
TMR		5031537
		DWG #
		E5
		REV.



FRAME ELEVATION ON GRID 2

BUILT UP MEMBER TABLE				
Mark	Type	Thick	Max Width	Length
BPC1	WB	SHT10GAX20" x 233 3/8"		
	IF	PL5/16"x6" x 213 3/4"		
	OF	PL1/4"x6" x 231 13/16"		
BPC2	WB	SHT10GAX20" x 233 3/8"		
	IF	PL5/16"x6" x 213 3/4"		
	OF	PL1/4"x6" x 231 13/16"		
BPR1	WB	SHT10GAX15 1/2" x 240"		
	IF	PL5/16"x6" x 38 5/8"		
	OF	PL5/16"x6" x 233"		
	IF	PL5/16"x6" x 38 5/8"		
	OF	PL5/16"x6" x 234"		
	WB	SHT10GAX16" x 32 5/8"		

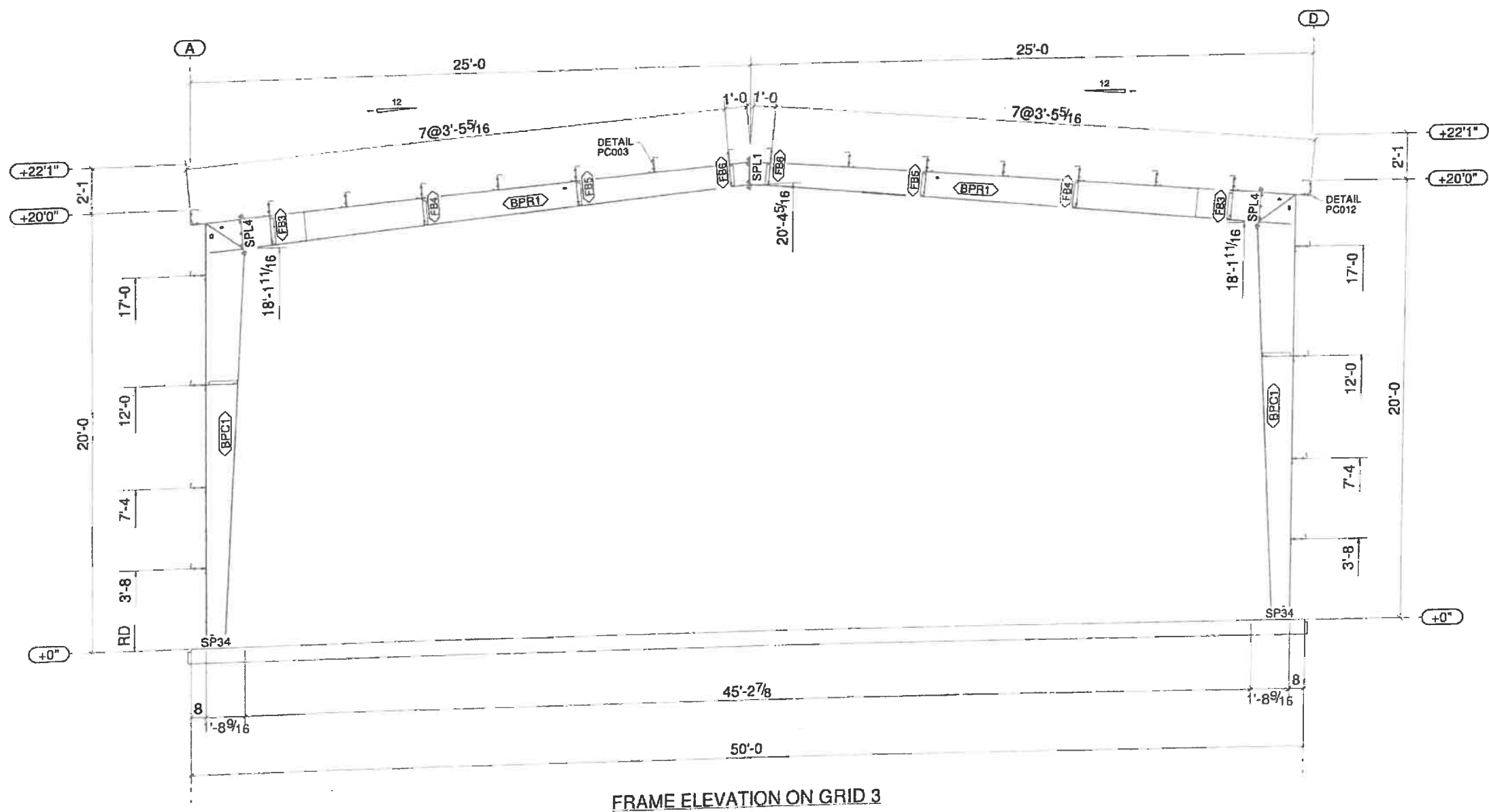
Bill of Materials			
Qty	Mark	Profile	Length
1	BPC1	SHT10GAX20"	
1	BPC2	SHT10GAX20"	
2	BPR1	SHT10GAX15 1/2"	
4	FB3	2X2L12	2'-9 9/16"
4	FB4	2X2L12	2'-8 15/16"
4	FB5	2X2L12	2'-8 3/8"
4	FB6	2X2L12	2'-7 13/16"

Connection Plate and Bolt Table		
Mark	Plate Profile	Bolt Description
REF. AB PLAN		
SP34	PL1/2"x6" x 10 1/2"	8 ~ 3/4" x 2 1/2" A325N
SPL1	PL1/2"x6" x 18 1/2"	10 ~ 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 ~ 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 ~ 3/4" x 2 1/2" A325N

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: FRAME ELEVATION ON GRID 2		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1:00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # E6	REV.



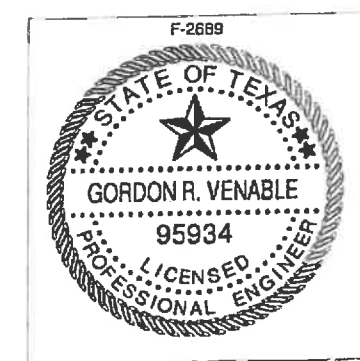
FRAME ELEVATION ON GRID 3

BUILT UP MEMBER TABLE				
Mark	Type	Thick	Max Width	Length
BPC1	WB	SHT10GAX20"	x 233 3/8"	
	IF	PL5/16"x6"	x 213 3/4"	
	OF	PL1/4"x6"	x 231 13/16"	
BPR1	WB	SHT10GAX15 1/2"	x 240"	
	IF	PL5/16"x6"	x 38 5/8"	
	IF	PL5/16"x6"	x 233"	
	OF	PL5/16"x6"	x 38 5/8"	
	OF	PL5/16"x6"	x 234"	
	WB	SHT10GAX16"	x 32 5/8"	

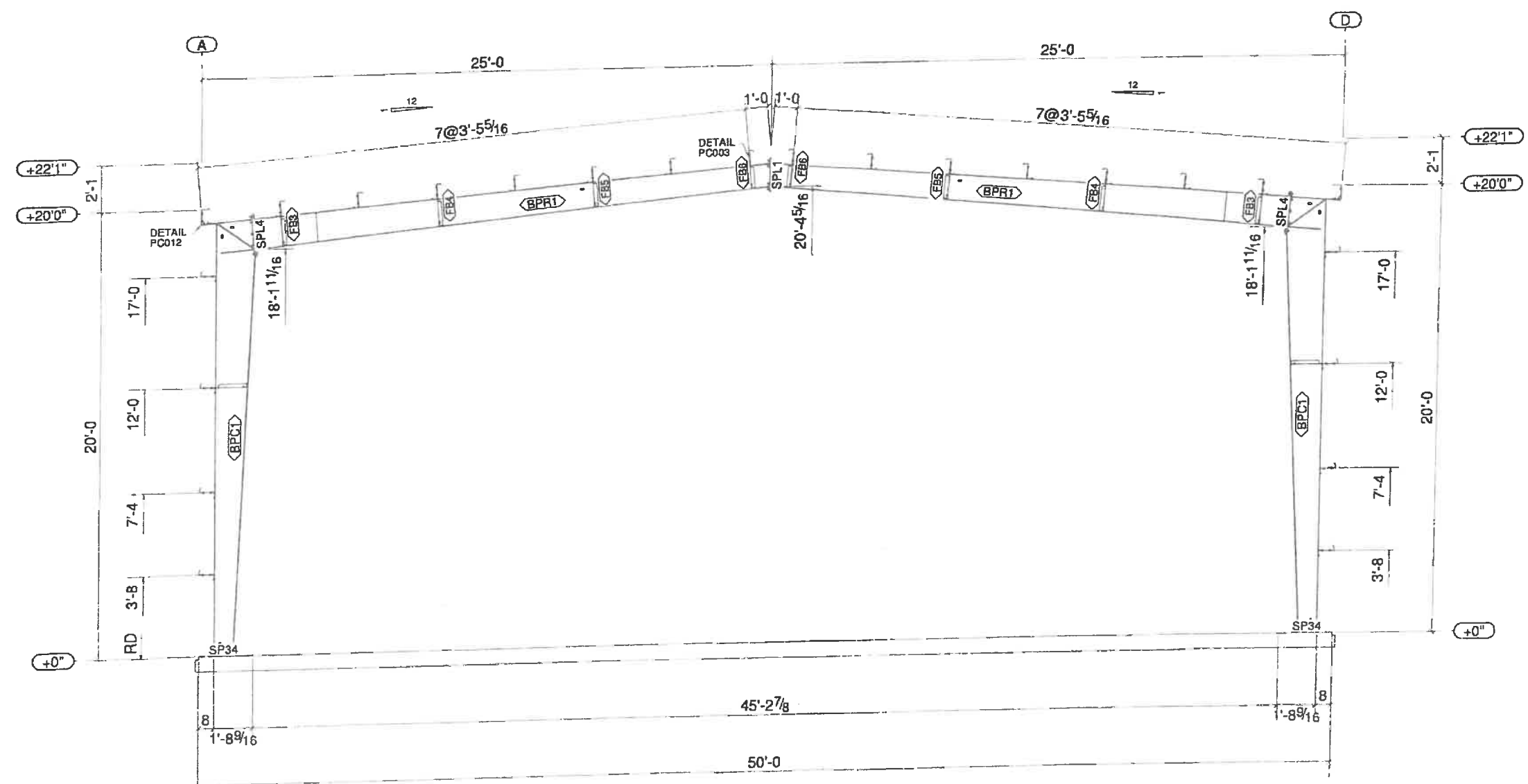
Bill of Materials			
Qty	Mark	Profile	Length
2	BPC1	SHT10GAX20"	
2	BPR1	SHT10GAX15 1/2"	
4	FB3	2X2L12	2'-9 1/2"
4	FB4	2X2L12	2'-8 7/8"
4	FB5	2X2L12	2'-8 5/16"
4	FB6	2X2L12	2'-7 3/4"

Connection Plate and Bolt Table		
Mark	Plate Profile	Bolt Description
		REF. AB PLAN
SP34	PL1/2"x6" x 10 1/2"	8 - 3/4" x 2 1/2" A325N
SPL1	PL1/2"x6" x 18 1/2"	0 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	0 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	0 - 3/4" x 2 1/2" A325N

DJB



0	For Construction
REV	DATE DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087	
DRAWING DESCRIPTION: FRAME ELEVATION ON GRID 3	
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705
DETAILER: TMR	CHECKER: DATE: JOB # 5031537
	SCALE: NONE
	DWG # E7



FRAME ELEVATION ON GRID 4

BUILT UP MEMBER TABLE				
Mark	Type	T Nick	Max Width	Length
BPC1	WB	SHT10GAX20"	x 233 3/8"	
	IF	PL5/16"x6"	x 213 3/4"	
	OF	PL1/4"x6"	x 231 13/16"	
BPR1	WB	SHT10GAX15 1/2"	x 240"	
	IF	PL5/16"x6"	x 38 5/8"	
	IF	PL5/16"x6"	x 233"	
	OF	PL5/16"x6"	x 38 5/8"	
	OF	PL5/16"x6"	x 234"	
	WB	SHT10GAX16"	x 32 5/8"	

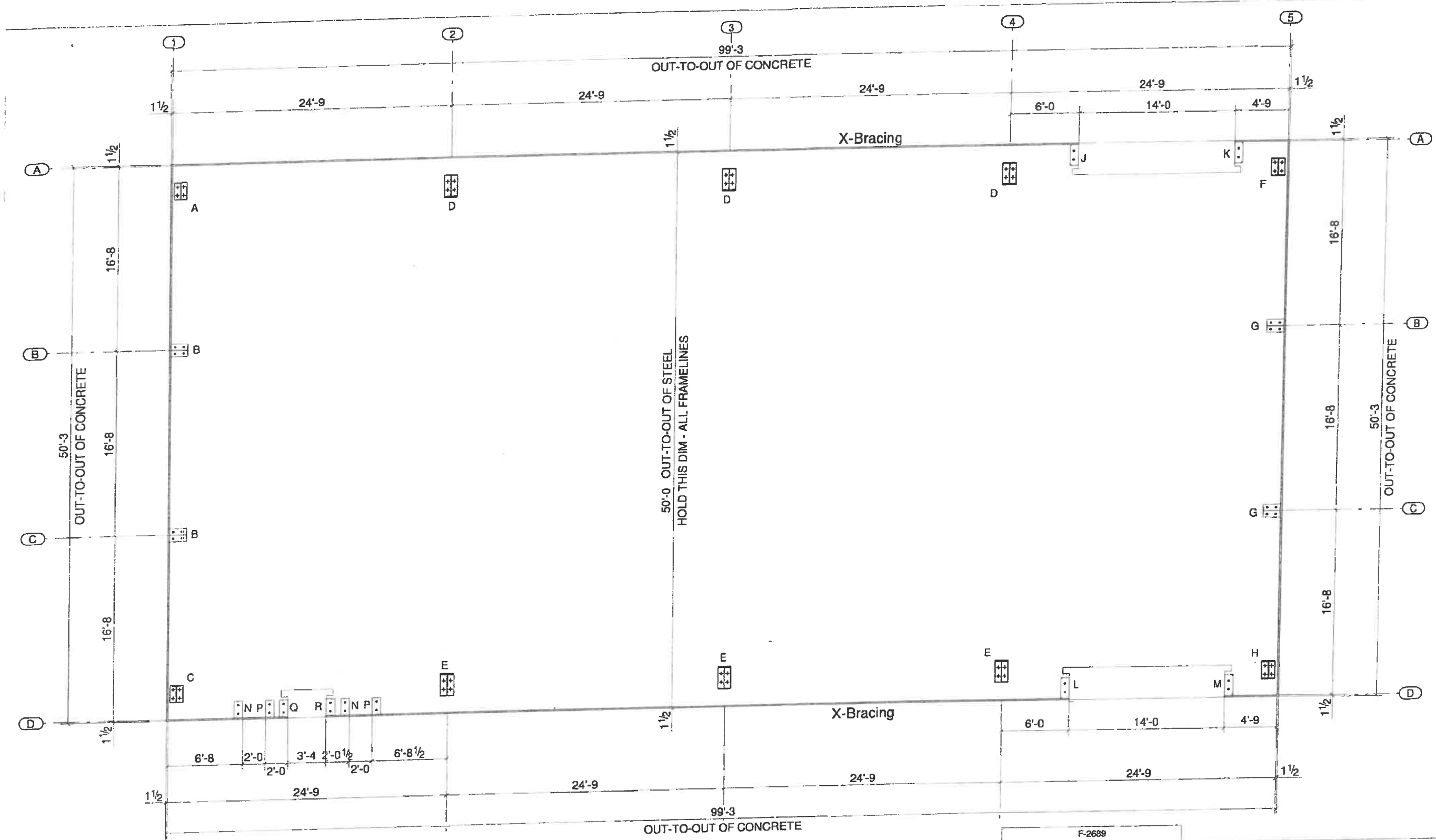
Bill of Materials			
Qty	Mark	Profile	Length
2	BPC1	SHT10GAX20"	
2	BPR1	SHT10GAX15 1/2"	
4	FB3	2X2L12	2'-9 9/16"
4	FB4	2X2L12	2'-8 15/16"
4	FB5	2X2L12	2'-8 3/8"
4	FB6	2X2L12	2'-7 13/16"

Connection Plate and Bolt Table		
Mark	Plate Profile	Bolt Description
SP34	PL1/2"x6" x 10 1/2"	REF. AB PLAN
SPL1	PL1/2"x6" x 18 1/2"	8 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 - 3/4" x 2 1/2" A325N
SPL4	PL5/8"x6" x 23"	10 - 3/4" x 2 1/2" A325N

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: FRAME ELEVATION ON GRID 4		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1:00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537	DWG # E8	REV. 0

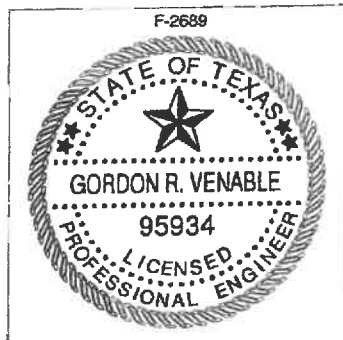


ANCHOR BOLT PLAN
NOTE: Base Plates @ 100'-0" (U.N.)

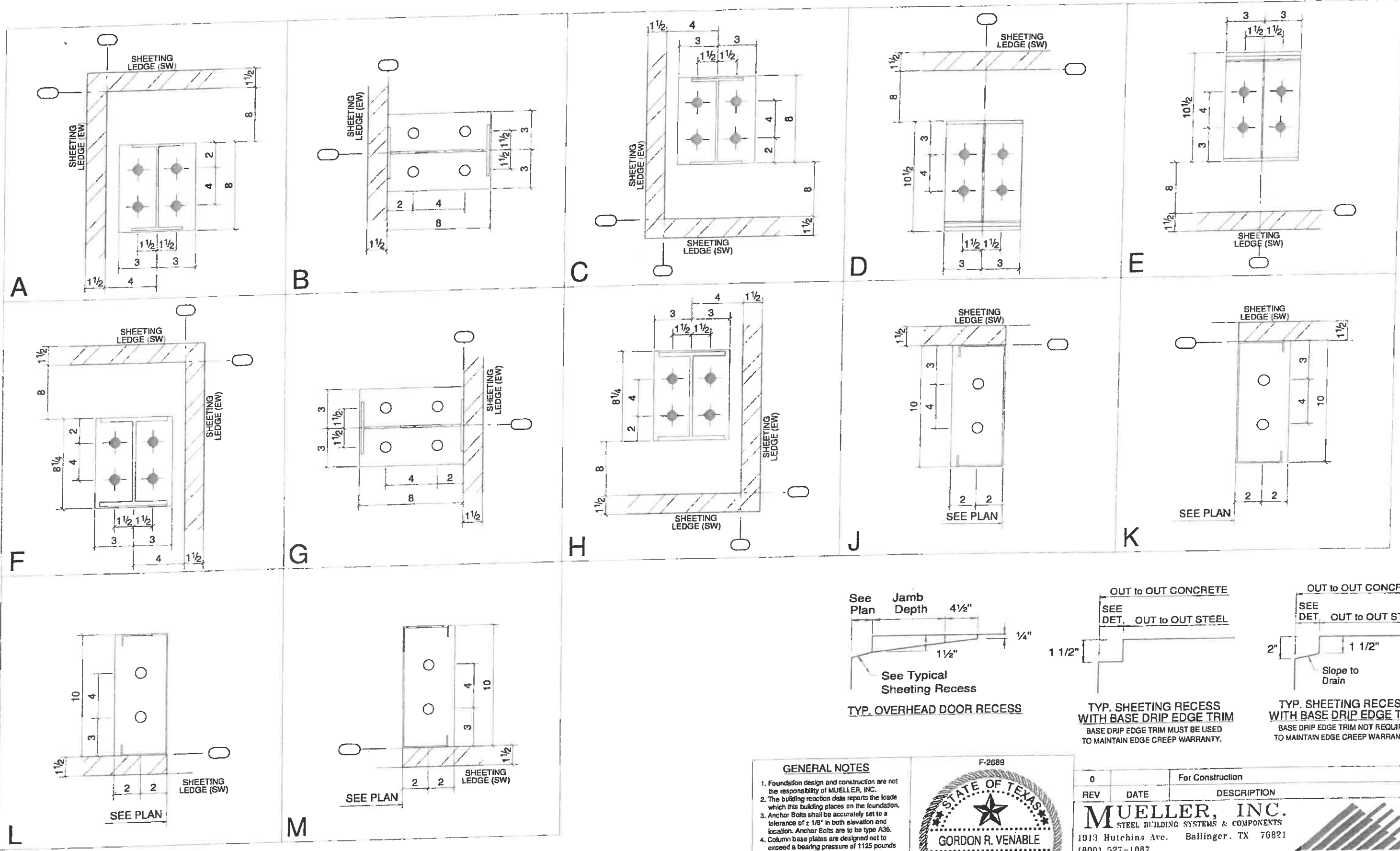
ANCHOR BOLT SUMMARY			
QTY	LOCATION	DIA	
16	ENDWALL	5/8"	
20	JAMB	5/8"	
16	ENDWALL	3/4"	
24	MAINFRAME	3/4"	

Not To Scale

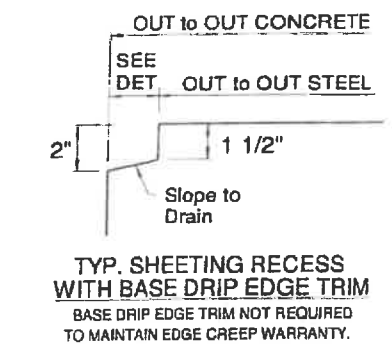
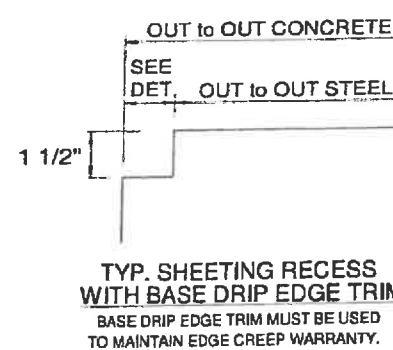
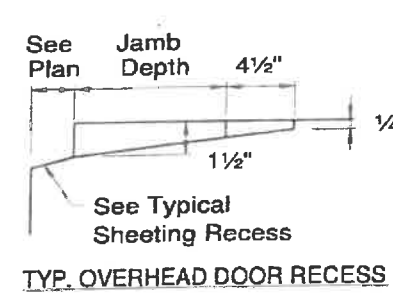
DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1013 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ANCHOR BOLT PLAN		
SALESMAN: JACOB KENNA		BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"
CUSTOMER NAME: FLOODMASTER		ADDRESS: BEAUMONT, TX 77705
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537		DWG # AB1
REV.		SCALE: NONE



○ DIA = 5/8"
◆ DIA = 3/4"



GENERAL NOTES

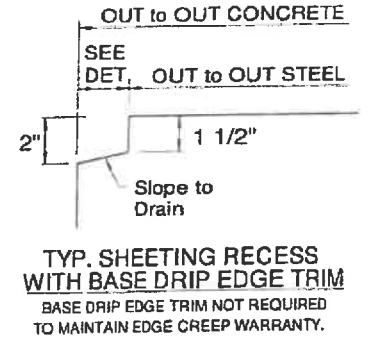
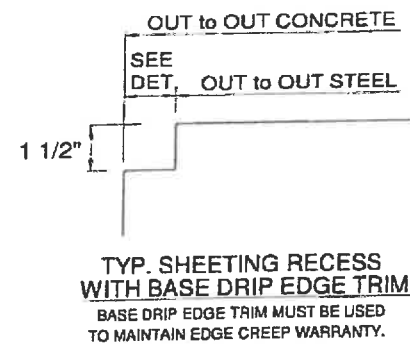
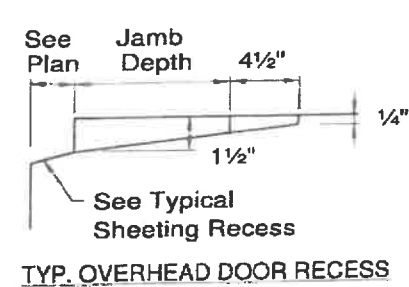
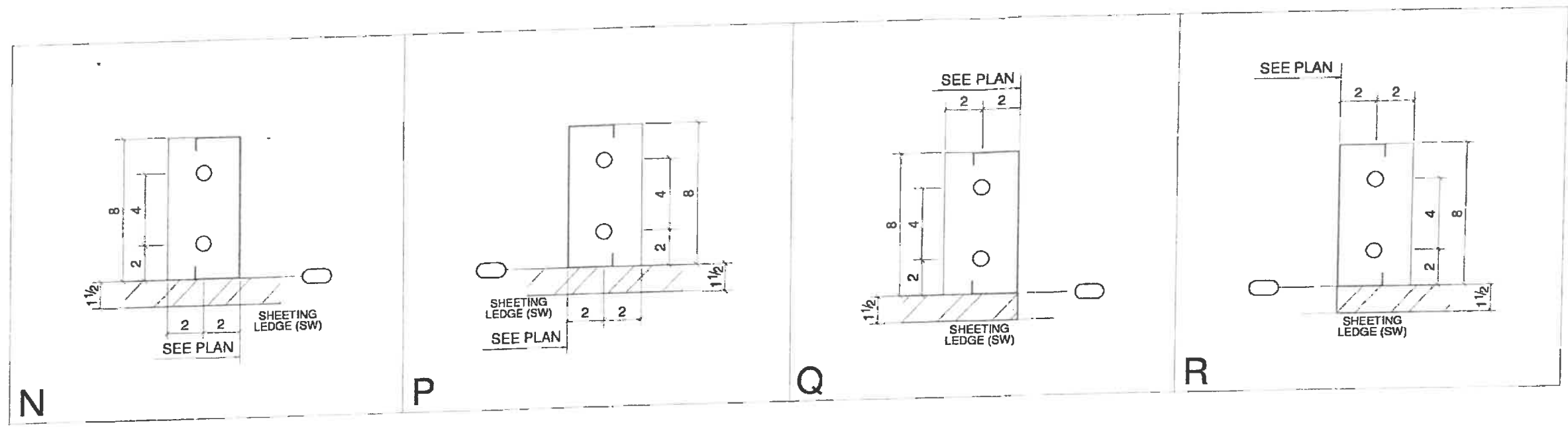
1. Foundation design and construction are not the responsibility of MUELLER, INC.
2. The building reaction data reports the loads which this building places on the foundation.
3. Anchor Bolts shall be accurately set to a tolerance of $\pm 1/8"$ in both elevation and location. Anchor Bolts are to be type A36.
4. Column base plates are designed not to exceed a bearing pressure of 1125 pounds per square inch.
5. Anchor Bolt sizes are based on the concrete design strength being a minimum of 3000 psi. Anchorage of the anchor bolts and adequacy of any foundation anchorage (including anchor bolts, drive pins, or any other foundation anchorage provided by MUELLER, INC.) is solely the responsibility of the foundation designer and / or customer.

F-2689

STATE OF TEXAS
GORDON R. VENABLE
95934
PROFESSIONAL ENGINEER

0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1013 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ANCHOR BOLT DETAILS		
SALESMAN: JACOB KENNA		BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"
CUSTOMER NAME: FLOODMASTER		ADDRESS: BEAUMONT, TX 77705
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537		DWG # AB2
ROOF SLOPE: 1:00:12		SCALE: NONE

DJB



○ DIA = 5/8"

DJB

GENERAL NOTES

1. Foundation design and construction are not the responsibility of MUELLER, INC.
2. The building reaction data reports the loads which this building places on the foundation.
3. Anchor Bolts shall be accurately set to a tolerance of $\pm 1/8"$ in both elevation and location. Anchor Bolts are to be type A36.
4. Column base plates are designed not to exceed a bearing pressure of 1125 pounds per square inch.
5. Anchor Bolt sizes are based on the concrete design strength being a minimum of 3000 psi. Anchorage of the anchor bolts and adequacy of any foundation anchorage (including anchor bolts, drive pins, or any other foundation anchorage provided by MUELLER, INC.) is solely the responsibility of the foundation designer and / or customer.



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ANCHOR BOLT DETAILS		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE 1:00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE NONE
DEALER: TMR	CHECKER: DATE:	JOB # 5031537
DWG # AB3		REV.

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horiz	Wind Suct Horiz	Wind Long1 Vert	Wind Long2 Vert	Seis Left Vert
1	A	0.5	0.0	1.7	-3.7	-2.1	-3.7	-2.1	-2.8	3.1	-3.8	-2.2	0.0
1	B	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
1	C	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
1	D	0.5	0.0	1.7	-2.1	-3.7	-2.1	-3.7	-2.8	3.1	-2.2	-3.8	0.0

Frm Line	Col Line	Seis Right Vert	E1PAT_LL1- Horiz	E1PAT_LL2- Horiz	E1PAT_LL3- Horiz	E1PAT_LL4- Horiz
1	A	0.0	0.0	1.7	0.0	2.0
1	B	0.0	0.0	4.9	0.0	2.2
1	C	0.0	0.0	4.9	0.0	2.2
1	D	0.0	0.0	1.7	0.0	2.0

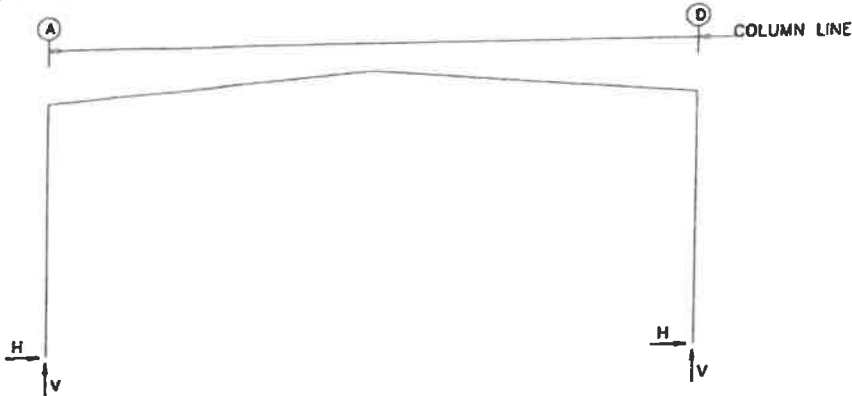
Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horiz	Wind Suct Horiz	Wind Long1 Vert	Wind Long2 Vert	Seis Left Vert
5	D	0.6	0.0	1.7	-3.7	-2.1	-3.7	-2.1	-2.8	3.1	-3.8	-2.2	0.0
5	C	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
5	B	0.9	0.1	4.5	-9.8	-6.0	-9.8	-6.0	-5.6	6.1	-9.7	-5.9	0.0
5	A	0.6	0.0	1.7	-2.1	-3.7	-2.1	-3.7	-2.8	3.1	-2.2	-3.8	0.0

Frm Line	Col Line	Seis Right Vert	E2PAT_LL1- Horiz	E2PAT_LL2- Horiz	E2PAT_LL3- Horiz	E2PAT_LL4- Horiz
5	D	0.0	0.0	1.7	0.0	2.0
5	C	0.0	0.0	4.9	0.0	2.2
5	B	0.0	0.0	4.9	0.0	2.2
5	A	0.0	0.0	1.7	0.0	2.0

ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column Reactions (k)						Anc. Qty	Bolt Dia	Base Plate (in)			Grout (in)
		Load ID	Hmax H	V Vmax	Load ID	Hmin H	V Vmin			Width	Length	Thick	
1	A	6	1.9	-2.0	7	-1.7	-2.0	4	0.750	6.000	8.000	0.500	0.0
		1	0.0	2.3	6	1.9	-2.0						
1	B	8	3.6	-5.3	7	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
		1	0.0	5.6	8	3.6	-5.3						
1	C	9	3.6	-5.3	10	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
		1	0.0	5.6	9	3.6	-5.3						
1	D	11	1.9	-2.0	10	-1.7	-2.0	4	0.750	6.000	8.000	0.500	0.0
		1	0.0	2.3	11	1.9	-2.0						
5	D	6	1.9	-1.9	7	-1.7	-1.9	4	0.750	6.000	8.250	0.500	0.0
		1	0.0	2.4	6	1.9	-1.9						
5	C	8	3.6	-5.3	7	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
		1	0.0	5.6	8	3.6	-5.3						
5	B	9	3.6	-5.3	10	-3.3	-5.2	4	0.625	6.000	8.000	0.500	0.0
		1	0.0	5.6	9	3.6	-5.3						
5	A	11	1.9	-1.9	10	-1.7	-1.9	4	0.750	6.000	8.250	0.500	0.0
		1	0.0	2.4	11	1.9	-1.9						

FRAME LINES: 2 3 4



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column Reactions (k)						Anc. Qty	Bolt Dia	Base Plate (in)			Grout (in)
		Load ID	Hmax H	V Vmax	Load ID	Hmin H	V Vmin			Width	Length	Thick	
2*	A	1	3.5	10.1	2	-6.5	-6.4	4	0.750	6.000	10.50	0.500	0.0
					4	0.4	-13.7						
2*	D	3	6.5	-6.4	1	-3.5	10.1	4	0.750	6.000	10.50	0.500	0.0
		1	-3.5	10.1	5	-0.4	-13.7						

2* Frame lines: 2 3 4

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead Horiz	Dead Vert	Collateral Horiz	Collateral Vert	Live Horiz	Live Vert	Wind_Left1 Horiz	Wind_Left1 Vert	Wind_Right1 Horiz	Wind_Right1 Vert	Wind_Left2 Horiz	Wind_Left2 Vert	Wind_Right2 Horiz	Wind_Right2 Vert
2*	A	0.7	2.3	0.1	0.3	2.7	7.4	-11.4	-21.6	11.4	-21.6	-1.1	-3.9	-1.1	-3.9
2*	D	-0.7	2.3	-0.1	0.3	-2.7	7.4	-1.3	-12.6	0.1	0.1	0.0	-0.8	0.1	-0.1

2* Frame lines: 2 3 4

NOTES FOR REACTIONS

Building reactions are based on the following building data:

Width (ft)	50
Length (ft)	99
Back Eave Height (ft)	20
Front Eave Height (ft)	20
Back Roof Slope (rise/12)	1.0:12
Front Roof Slope (rise/12)	1.0:12
Dead Load (psf)	141
Collateral Load (psf)	0.5
Roof Live Load (psf)	20.00
Frame Live Load (psf)	Yes
Ground Snow Load (psf)	0.0000
Roof Snow Load (psf)	0.0000
Wind Speed (mph)	141
Wind Code	IBC 12
Wind Exposure	C
Enclosure	Closed
Importance Wind	1.00
Importance Seismic	1.00
Seismic Design Category	B
Seismic Coefficient	0.128
Risk Category	II - Normal

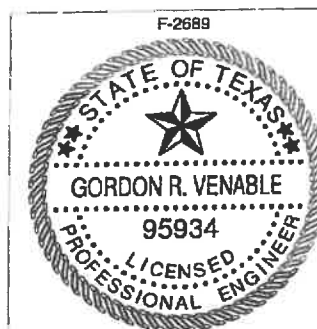
ID Description

1	Dead+Collateral+Live
2	0.6Dead+0.6Wind_Left12
3	0.6Dead+0.6Wind_Right12
4	0.6Dead+0.6Wind_Long1
5	0.6Dead+0.6Wind_Long2
6	0.6Dead+0.6Wind_Suction+0.6Wind_Long1
7	0.6Dead+0.6Wind_Pressure+0.6Wind_Long1
8	0.6Dead+0.6Wind_Left12+0.6Wind_Suction
9	0.6Dead+0.6Wind_Right12+0.6Wind_Suction
10	0.6Dead+0.6Wind_Pressure+0.6Wind_Long2
11	0.6Dead+0.6Wind_Suction+0.6Wind_Long2

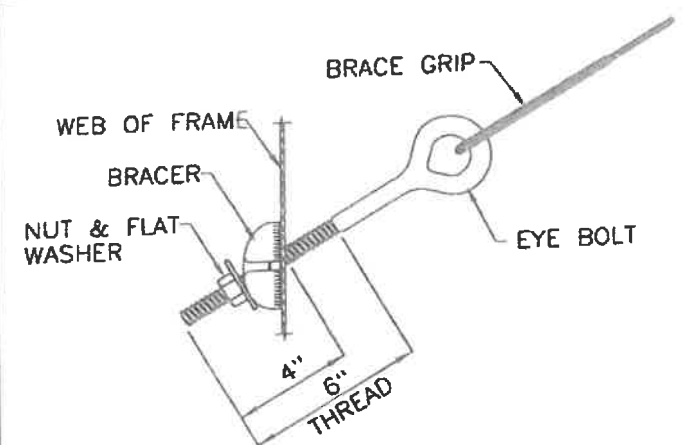
BUILDING BRACING REACTIONS

Loc	Line	Col Line	± Reactions (k)	Panel Shear (lb/ft)
LEW	1			51
F_SW	D	3,4	8.5 6.3 0.4 0.3	48
R_SW	5			2
B_SW	A	4,3	8.5 6.3 0.4 0.3	

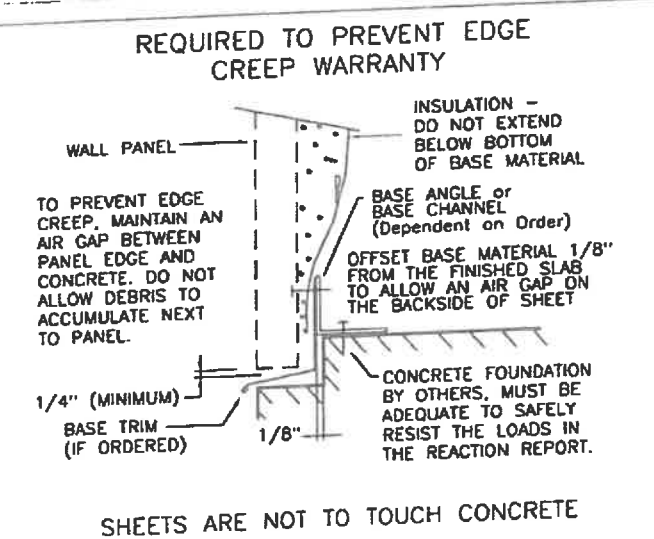
DJB



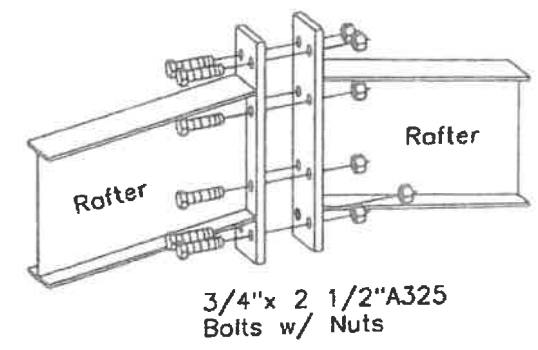
0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION:		
REACTIONS		
SALESMAN:	JACOB KENNA	BUILDING DESCRIPTION:
CUSTOMER NAME:	FLOODMASTER	50'-0" X 99'-0" X 20'-0"
DETAILER:	TMR	ADDRESS:
CHECKER:		BEAUMONT, TX 77705
DATE:		JOB #
		5031537
		DWG #
		AB4
		SCALE
		NONE
		REV.



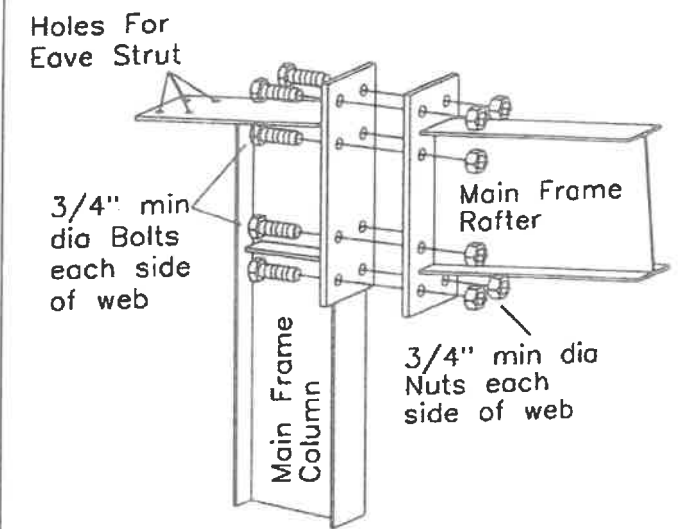
BR001 CABLE TO COLUMN OR RAFTER WEB WITH EYEBOLT ATTACHMENT



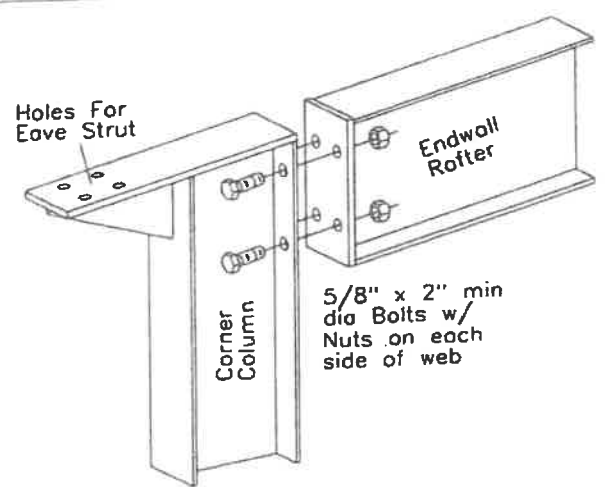
CW001 SECTION THRU WALL PANEL AND CONCRETE FOUNDATION



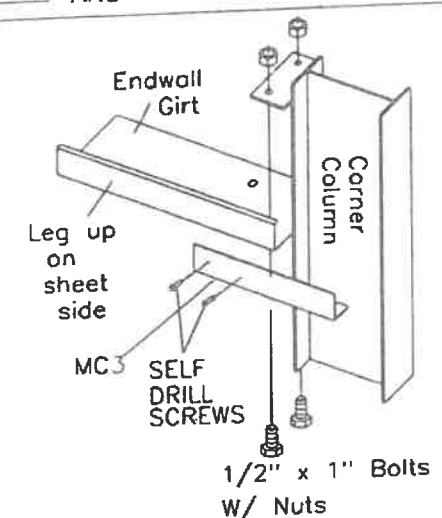
EC002 RAFTER SPLICE AT PEAK



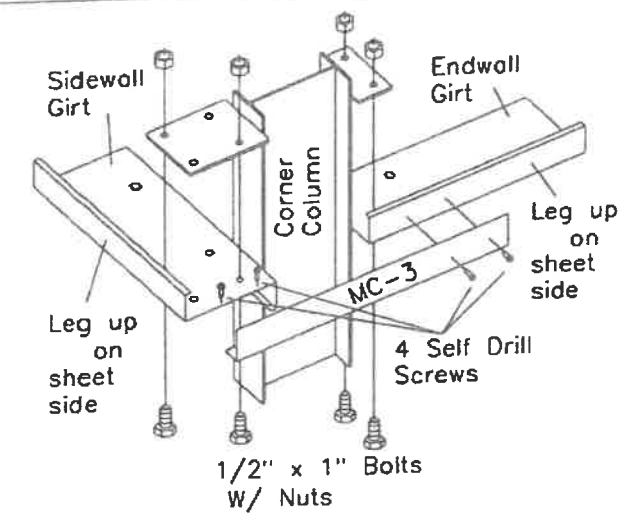
EC004 BYPASS COLUMN TO MAINFRAME RAFTER



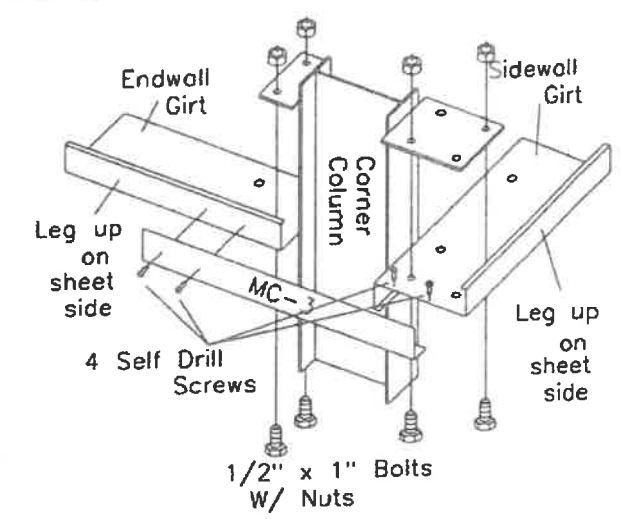
EC011 BYPASS CORNER COLUMN TO STANDARD ENDWALL RAFTER



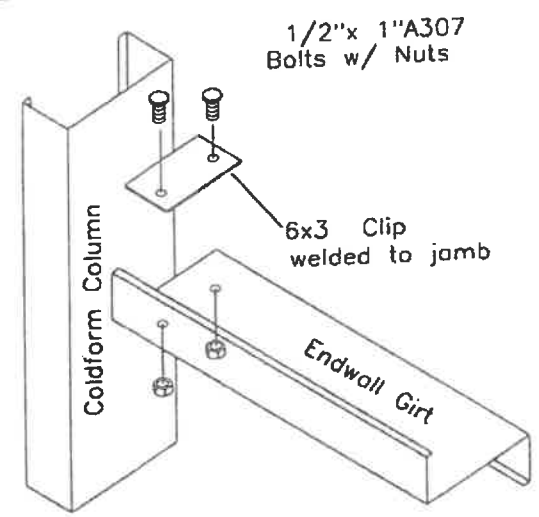
GC002ER CORNER COLUMN TO ENDWALL GIRTS



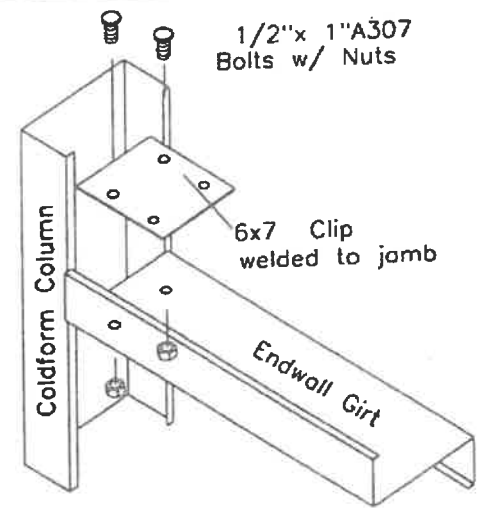
GC008L CORNER COLUMN TO WALL GIRTS



GC008R CORNER COLUMN TO WALL GIRTS



GC016 COLDFORM COLUMN TO WALL GIRTS



GC017 COLDFORM COLUMN TO WALL GIRTS

DJB



0	For Construction	
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ERECTION DETAILS		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	
DETAILER: TMR	CHECKER:	DATE:
JOB # 5031537		DWG # E101
REV.		REV.

GC020 INTERIOR COLUMN TO WALL GIRT

GC023 INTERIOR COLUMN TO LAPPED WALL GIRT

OP001L JAMB TO EAVE STRUT WITH ANGLE BRACE

OP001R JAMB TO EAVE STRUT WITH ANGLE BRACE

OP004 JAMB TO WALL GIRT

OP014 HEADER TO JAMB

OP015 SILL TO JAMB

PC001 ENDWALL RAFTER TO ROOF PURLIN

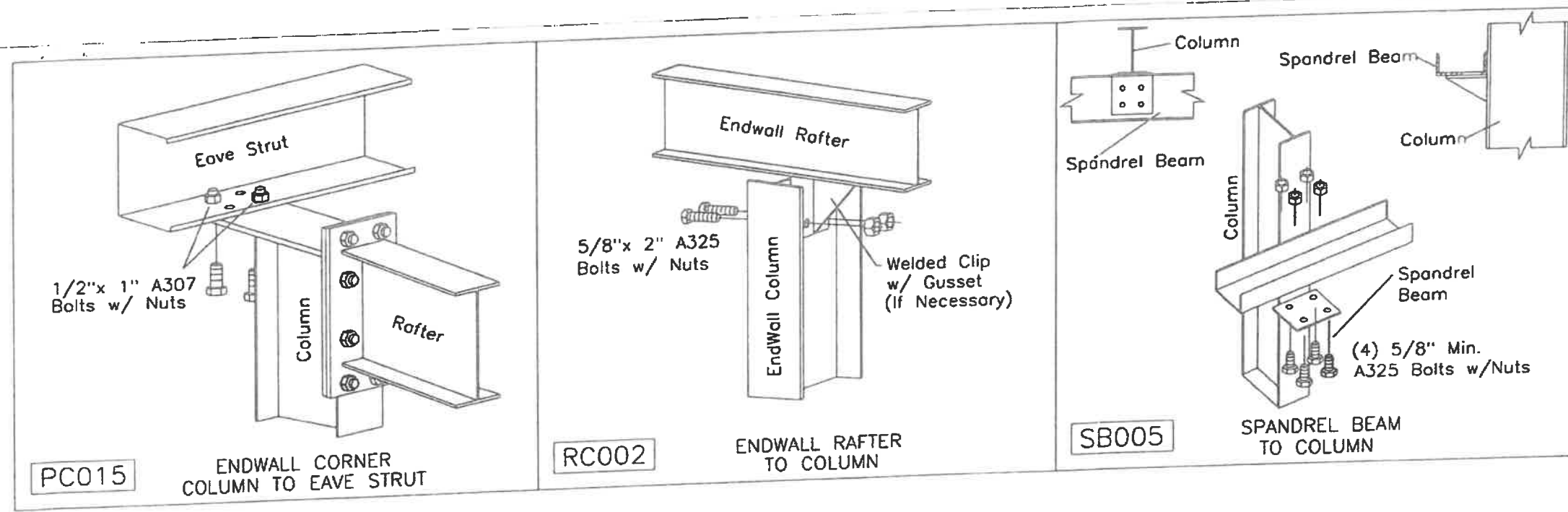
PC003 INTERIOR RAFTER TO ROOF PURLIN

PC012 INTERIOR FRAME COLUMN TO EAVE STRUTS

DJB



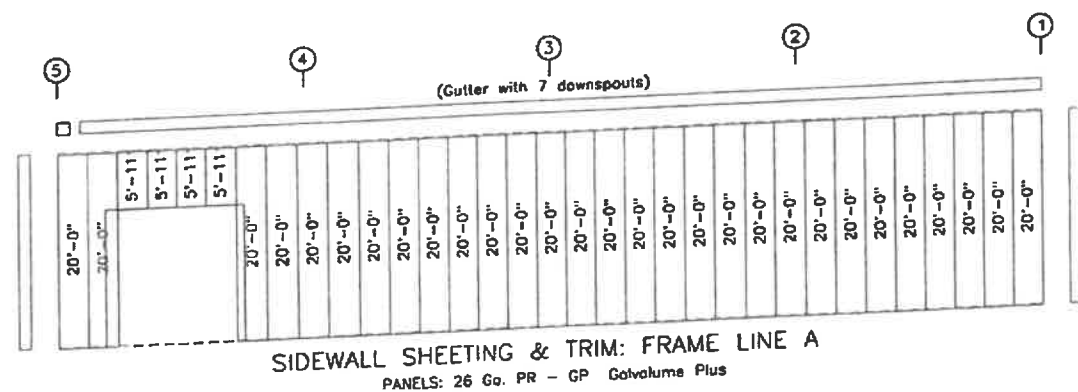
0	..	For Construction
REV	DATE	DESCRIPTION
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087		
DRAWING DESCRIPTION: ERECTION DETAILS		
SALESMAN: JACOB KENNA	BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	ROOF SLOPE: 1:00:12
CUSTOMER NAME: FLOODMASTER	ADDRESS: BEAUMONT, TX 77705	SCALE: NONE
DETAILER: TMR	CHECKER: DATE:	JOB # 5031537 DWG # E102



DJB



0		For Construction	
REV	DATE	DESCRIPTION	
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1013 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087			
DRAWING DESCRIPTION: ERECTION DETAILS			
SALESMAN: JACOB KENNA		BUILDING DESCRIPTION: 50'-0" X 99'-0" X 20'-0"	
CUSTOMER NAME: FLOODMASTER		ADDRESS: BEAUMONT, TX 77705	
DETAILER: TMR	CHECKER:	DATE:	JOB # 5031537
		DWG # E103	REV.
		ROOF SLOPE: 1:12	SCALE: NONE

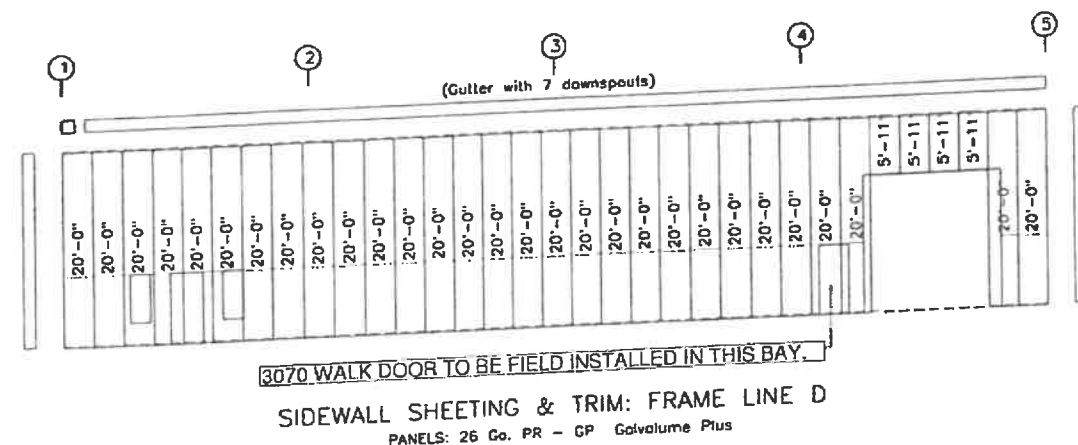
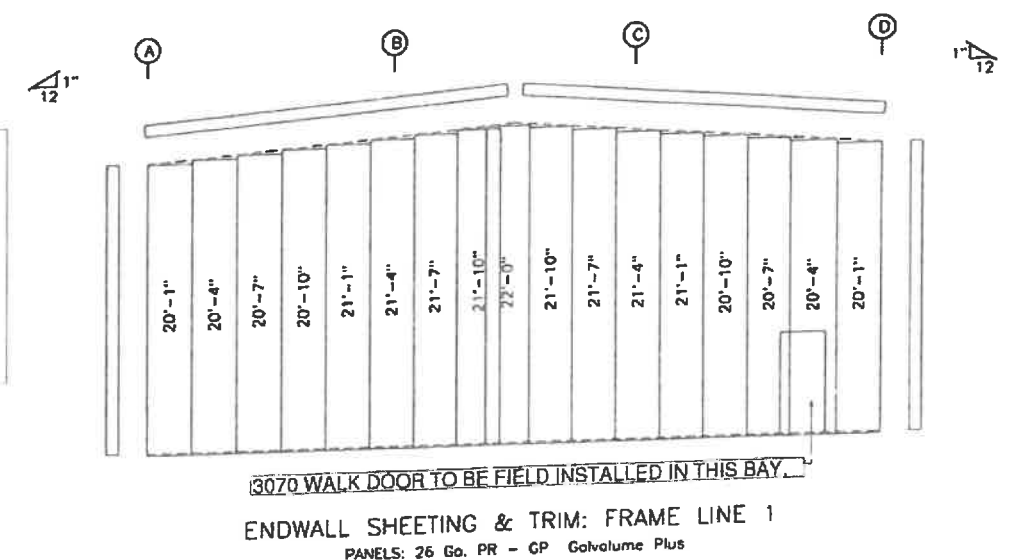


GENERAL NOTES:

****CAUTION****
THE FOLLOWING MAXIMUM ADDITIONAL LINEAR FOOTAGE MEASURED (HORIZONTALLY) OF PANELS MAY BE REMOVED FOR FIELD LOCATED FRAMED OPENINGS WITHOUT AFFECTING THE DIAPHRAGM STRENGTH OF THE PANELS.

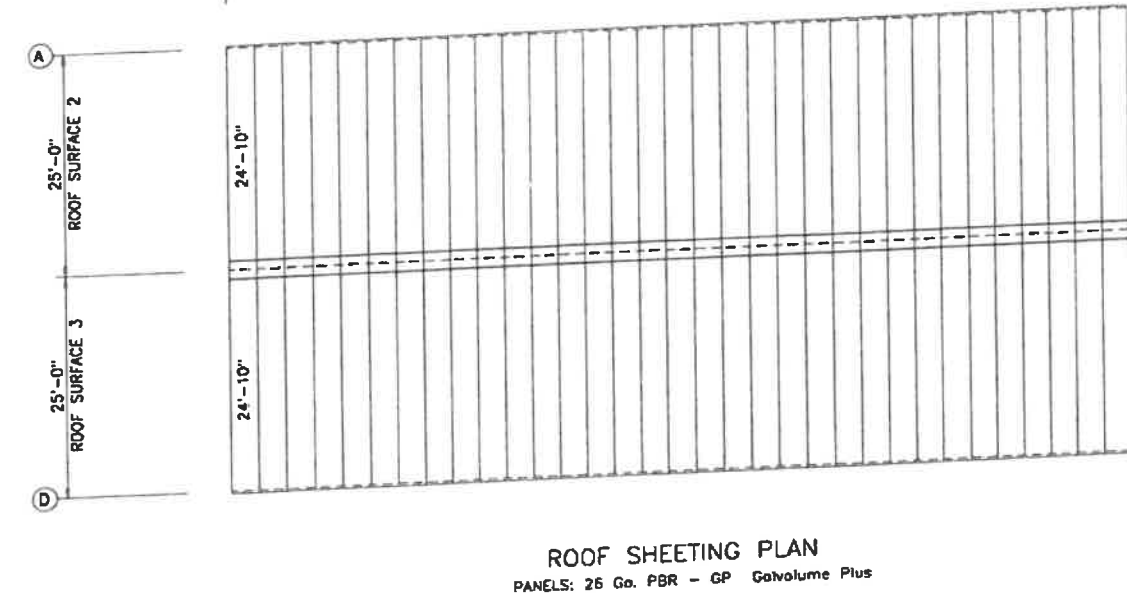
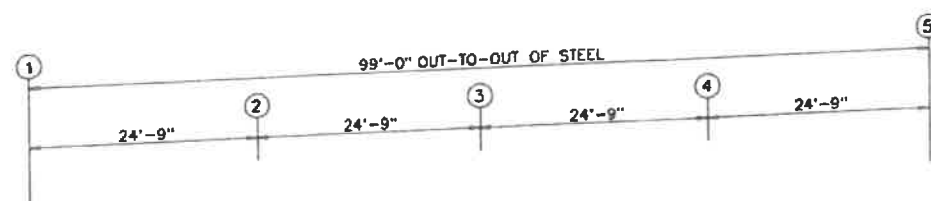
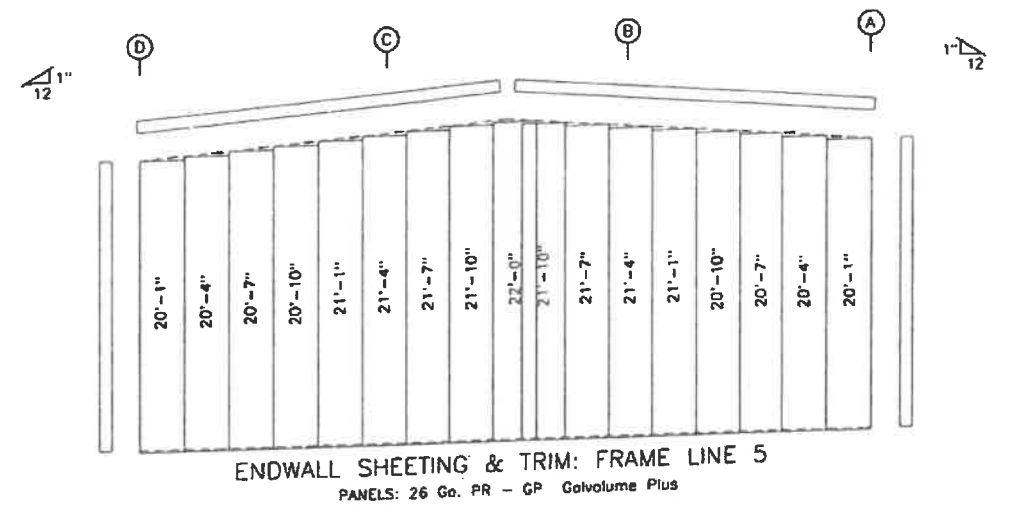
LEFT ENDWALL: 3
RIGHT ENDWALL: 0

ROOF SLOPES GREATER THAN 1:12 REQUIRE ENDWALL PANELS BE FIELD CUT TO MATCH ROOF SLOPE.



NOTE:

THIS WALL WILL BE SHEETED WITH HORIZONTAL U-PANEL UP TO 7'-4".
MUELLER ITEM #40606 WILL RUN VERTICALLY BETWEEN GIRTS WITH A MAX SPACING OF 3'-0".
USE TEK3 SCREWS TO FASTEN #40606 TO GIRTS.

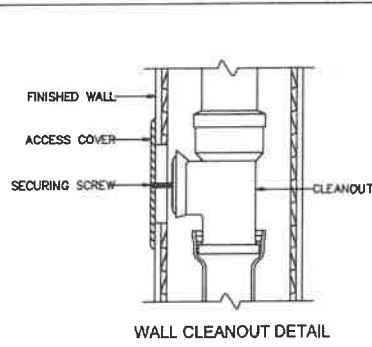


DJB

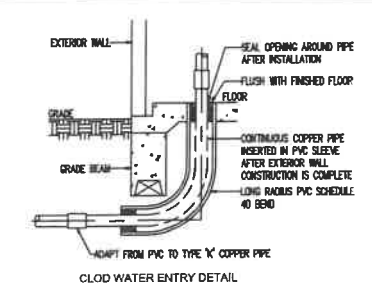


0		For Construction	
REV	DATE	DESCRIPTION	
MUELLER, INC.			
STEEL BUILDING SYSTEMS & COMPONENTS			
1913 Hutchins Ave. Ballinger, TX 76821			
(800) 527-1087			
DRAWING DESCRIPTION:		BUILDING DESCRIPTION:	
SHEETING DETAILS		50'-0" X 99'-0" X 20'-0"	
SALESMAN:		ROOF SLOPE	
JACOB KENNA		1:12	
CUSTOMER NAME:		SCALE	
FLOODMASTER		NONE	
DETAILER:		REV.	
TMR		0	
CHECKER:	DATE:	JOB #	DWG #
		5031537	S101



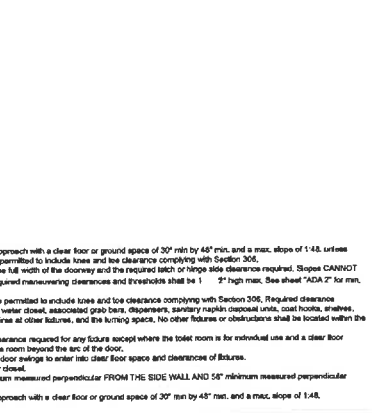


WALL CLEANOUT DETAIL



CLOD WATER ENTRY DETAIL

7
P-1 Typical Water Entry to Building
NOT TO SCALE



ENLARGED SINGLE USER RESTROOM

PLUMBING NOTES

Contractor to verify elevation and dimensions of finished floors and walls. True all drains, rough-ins and carries accordance with proposed elevations and finished surfaces.

Provide deep seal T-Platts on all drains provided with trap primers.

Mounting height elevation of all wall hung or counter mounted fixtures shall be coordinated with the architect prior to installation.

For all fixtures and equipment with associated trim or component accessories provided under separate divisions and required plumbing connections; the contractor shall make provisions for and supply all materials and labor for complete final connections.

All fixture stops shall be solid brass. Loose key operated. Chromium plated and fitted tight to chrome plated pipe for wall mounted equipment.

All plumbing fixtures and fixture faucets supplies shall conform to the requirements of senate bill 587 for water saving performance requirements.

All rough-in openings shall be fitted with chromium plated heavy gauge brass escutcheon plate fitted tight to the pipe.

All exposed brass shall be chromium plated.

Seal all spaces plumbing fixtures and mounting surfaces with white caulk wiped smooth and flush with fixtures.

All domestic waste and piping shall be PE-X.

All waste and vent piping shall be no hub service weight cast iron with neoprene gaskets.

All wheelchair lavatory exposed piping to be insulated.

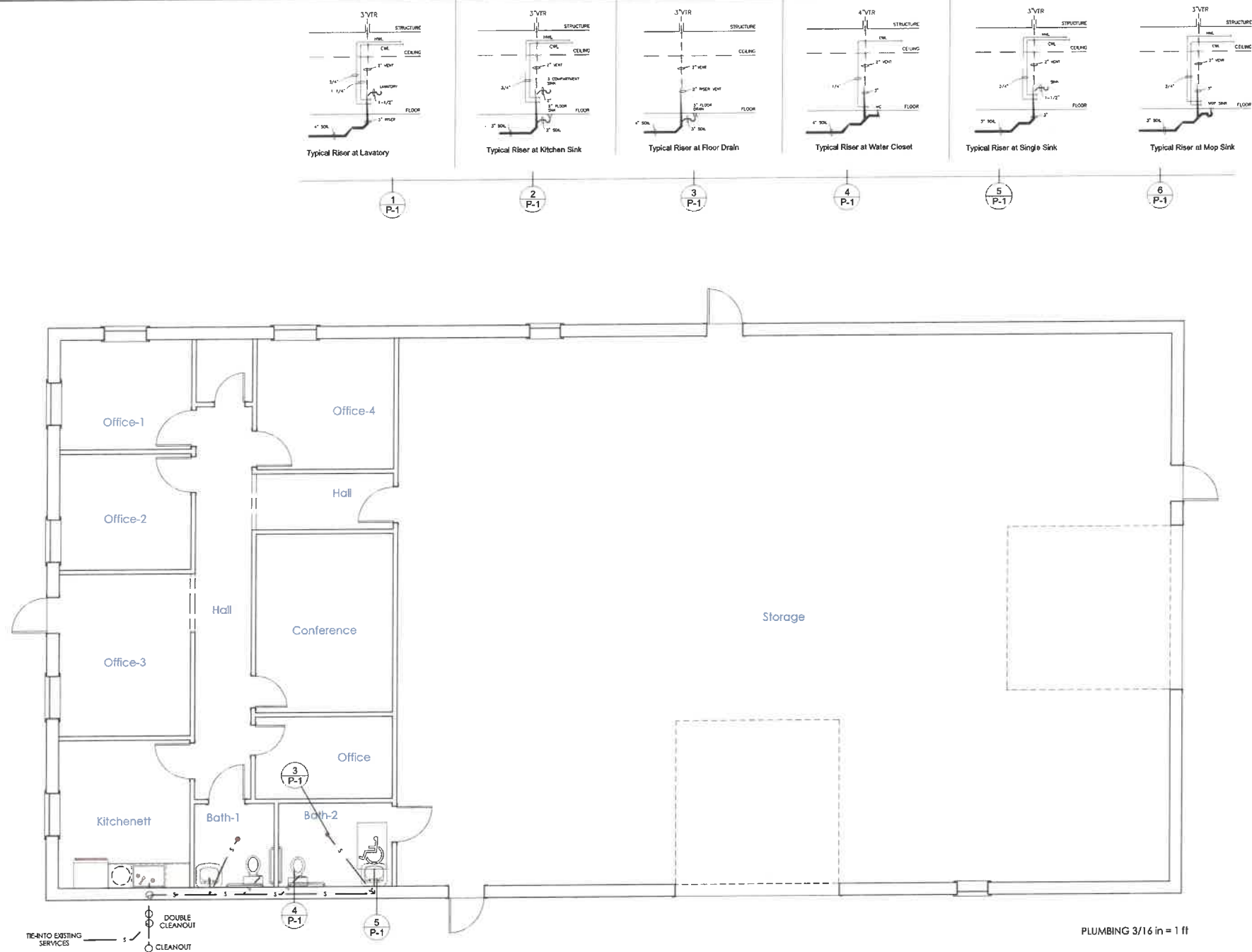
All plumbing shall be installed in accordance with state, local and the local code.

Sanitary sewer piping shall be PVC schedule 40 & SDR 26.

Provide shock absorbers at each main battery of fixtures.

Rough-in and make connections to all equipment including items furnished by others.

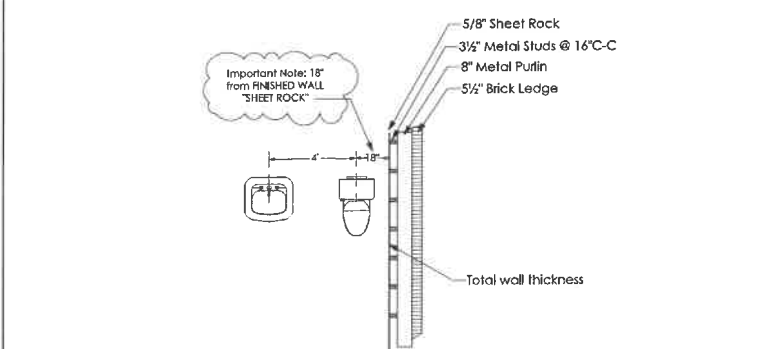
ALL PLUMBING WORK SHALL COMPLY WITH THE CITY OF PORT LAVACA PLUMBING CODES.



PLUMBING 3/16 in = 1 ft

NOTE:
PLUMBER MUST FIELD VERIFY THE
EXISTING SEWER LOCATION FOR
FLOW LINE & DEPTH PRIOR TO
ANY PLUMBING CONNECTIONS.

[illegible]

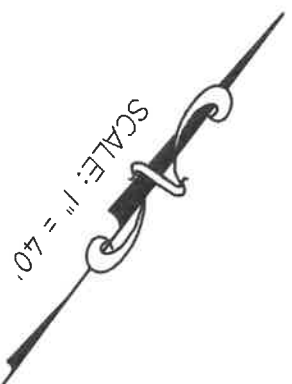
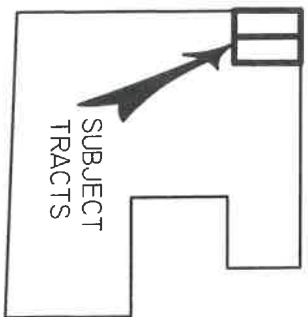
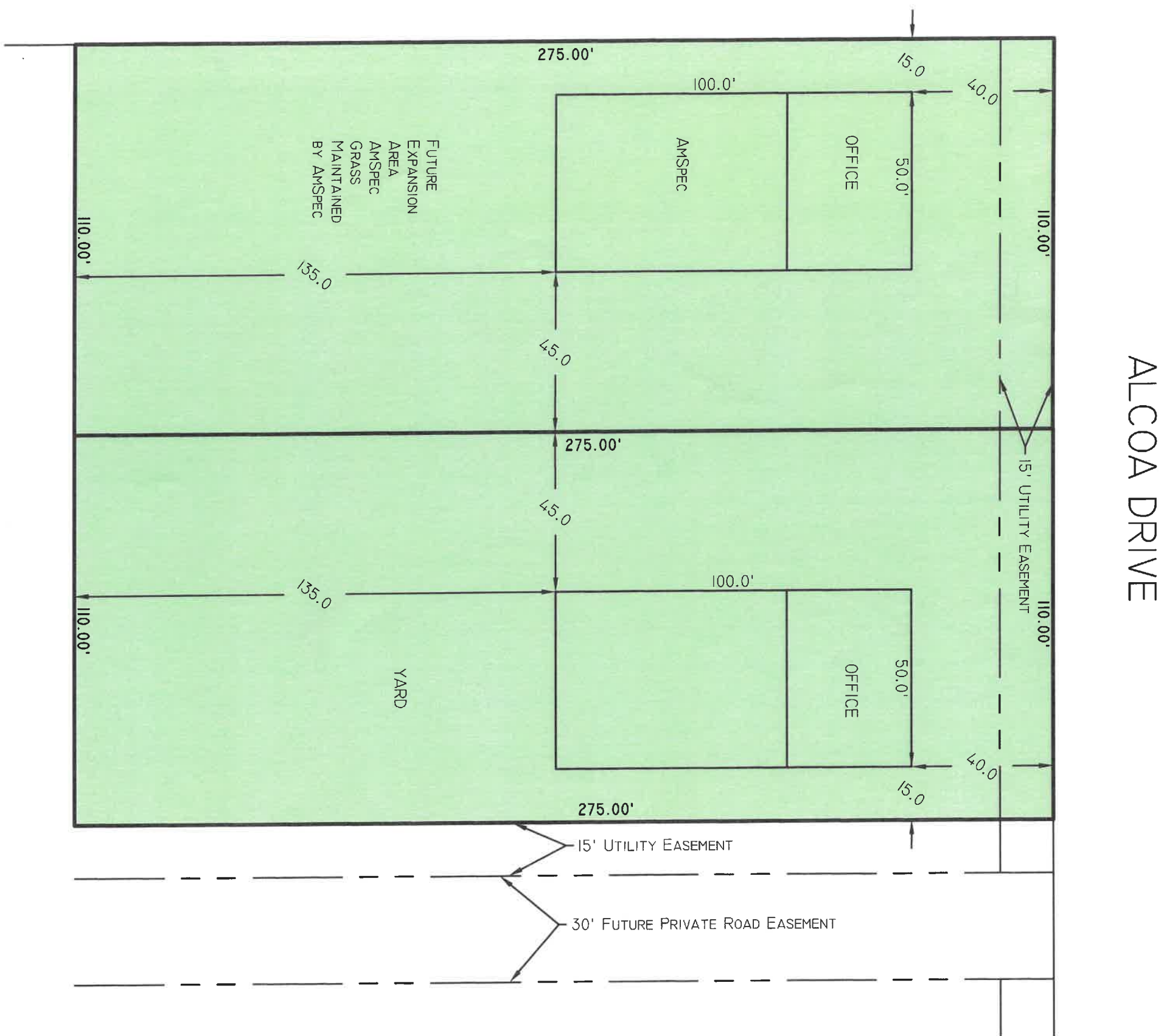


HANGER RODS ATTACH ONLY TO TOP CHORD OF JOISTS

PROVIDE A SECTION OF HIGH COMPRESSION STRENGTH INSULATION AT EACH HANGER POINT. INSULATION MAY BE HALF ROUND OR FULL ROUND AND EXTEND 2" BEYOND GALV. SHIELD EACH WAY.

GALVANIZED IRON SHEET SHIELD





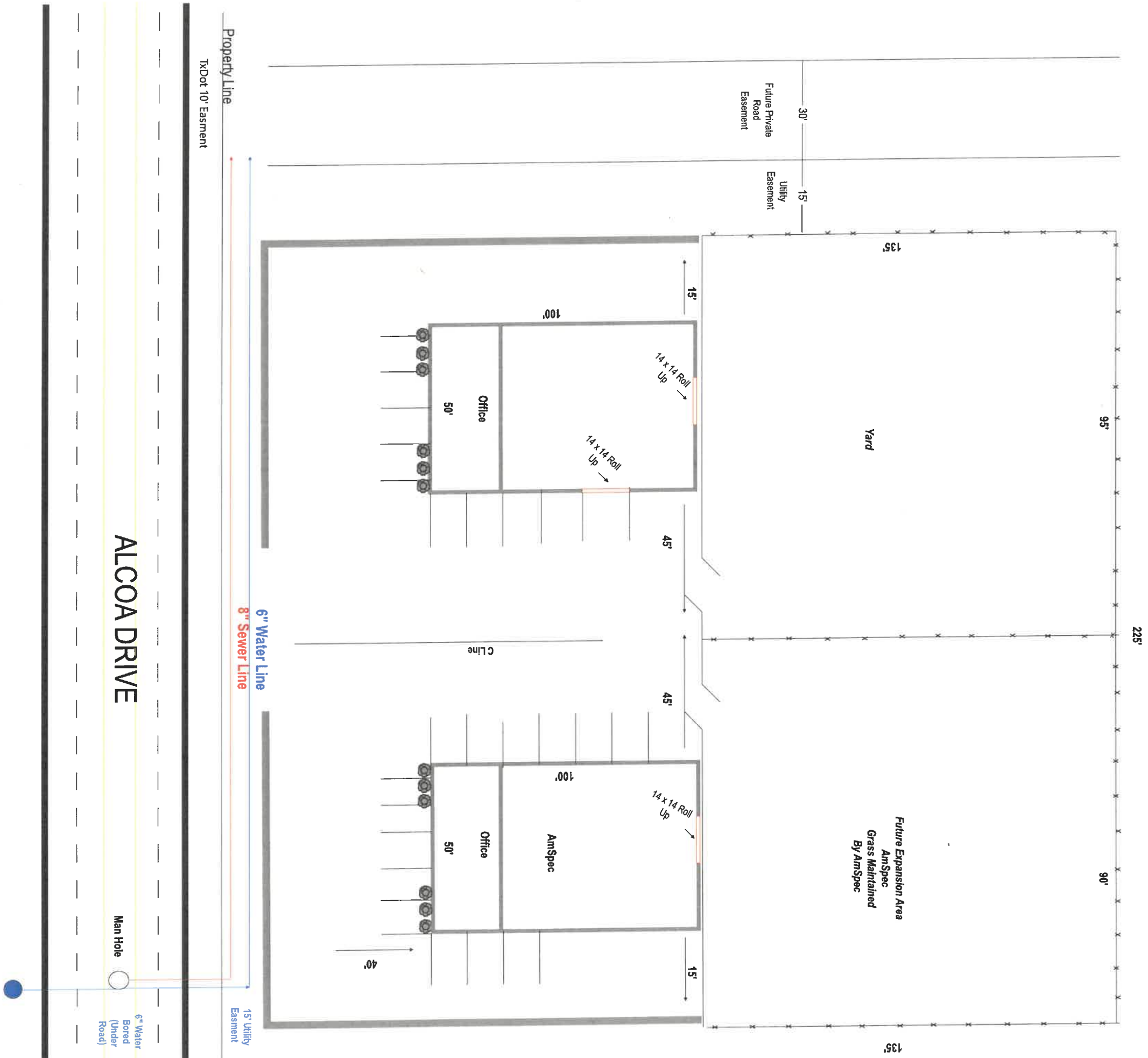
SITE SKETCH

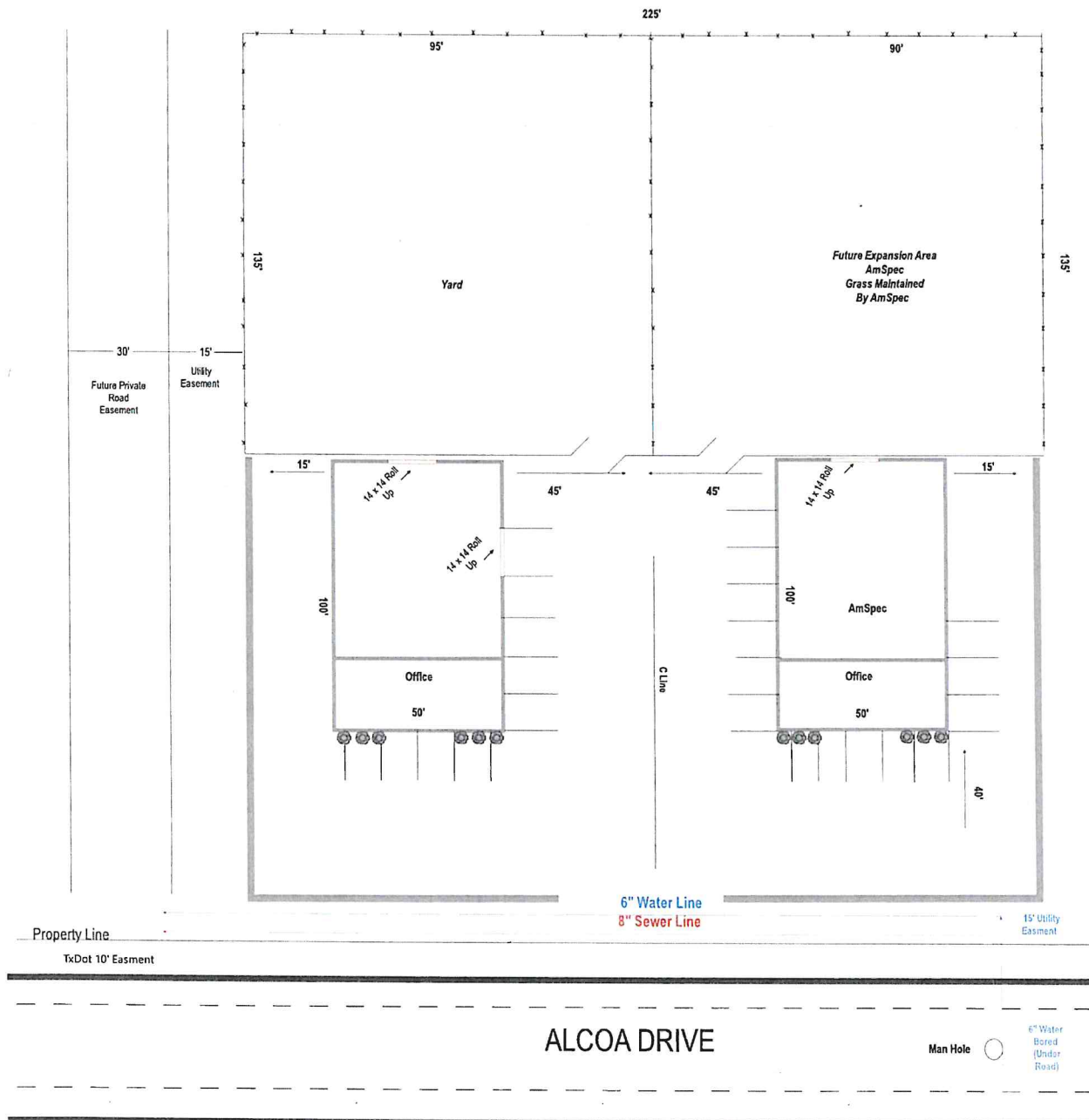
OUT OF A 29.41 ACRE TRACT
SAMUEL SHUPE SURVEY
ABSTRACT NO. 137
CALHOUN COUNTY, TEXAS



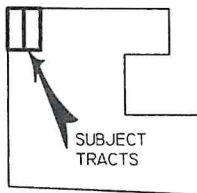
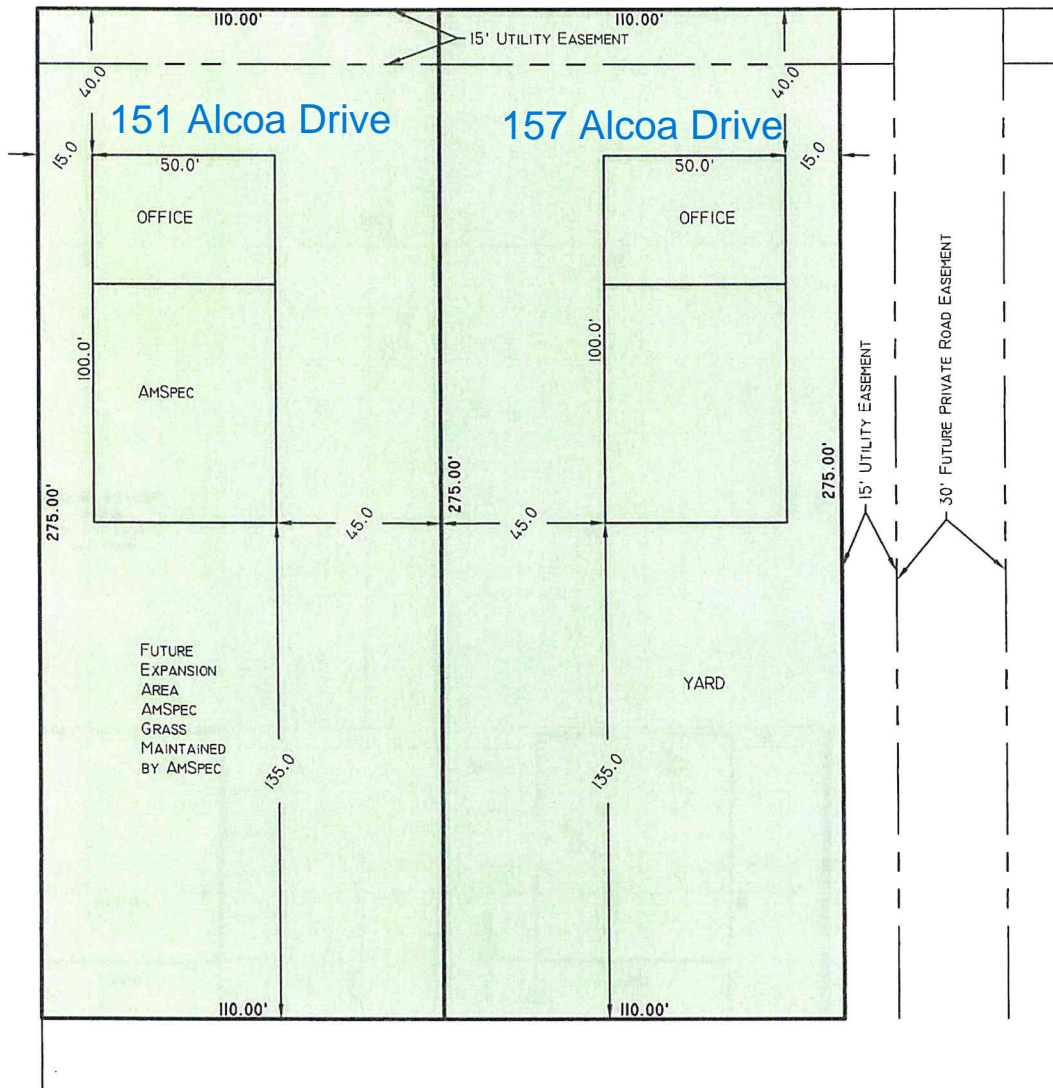
Access
Surveyors, LLC

Commercial - Industrial - Residential
11025 Old Voth Road - Beumount, Texas 77713
Telephone (409) 838-6322 Facsimile 838-6122
www.access-surveyors.com & rpls5163@aol.com
FILE: 2023463 FIRM NO. 10136400 TECHNICIAN: A.M.LEA





ALCOA DRIVE



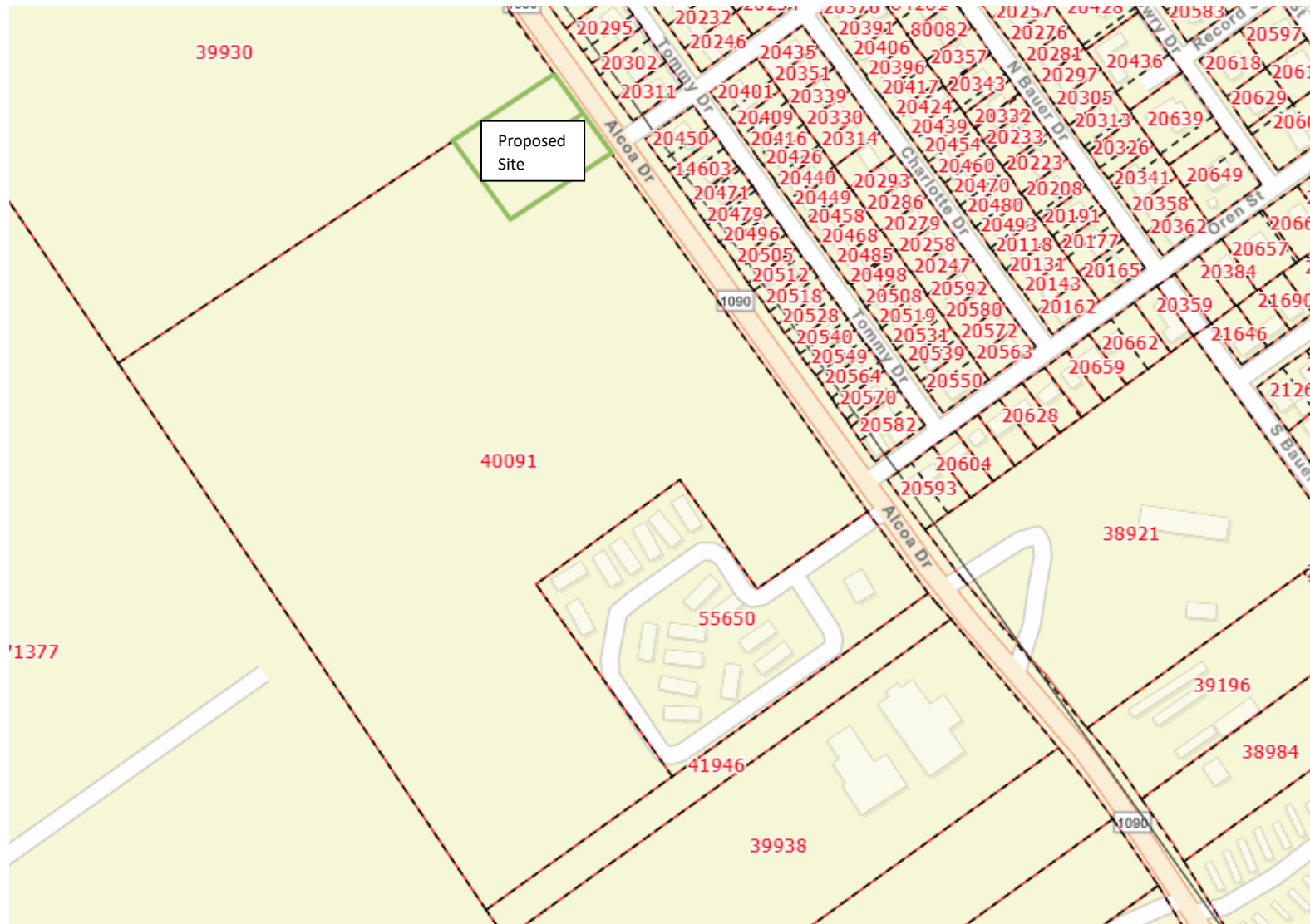
SCALE: 1" = 40'

SITE SKETCH
OUT OF A 29.41 ACRE TRACT
SAMUEL SHUPE SURVEY
ABSTRACT NO. 137
CALHOUN COUNTY, TEXAS



Commercial - Industrial - Residential
11025 Old Voth Road - Beaumont, Texas 77713
Telephone (409) 838-6322 Facsimile 838-6122
www.access-surveyors.com § rpls5163@aol.com
FILE: 2023163 FIRM NO. 10136400 TECHNICIAN: A.M. LEA

Proposed Alcoa Drive Development



COMMUNICATION

SUBJECT: Consider and discuss approval of a replat and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N).

INFORMATION:

CITY OF PORT LAVACA

PB MEETING: JUNE 5, 2023 **AGENDA ITEM** _____

DATE: 05.25.2023

TO: PLANNING BOARD

FROM: DERRICK SMITH, DIRECTOR OF DEVELOPMENT SERVICES

SUBJECT: Consider and discuss approval of a replat and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N).

Sec. 42-106. - Application—Required.

The subdivider or his duly authorized representative shall appear before the planning commission, at an official meeting, and submit a formal application for replat approval.

Applicant has adhered to the proper subdivision replat application submittal and review procedural process prior to presentation before the Planning Commission.

Below references the City Code of Ordinances, Chapter 42 – Subdivisions and Plats, where this Preliminary Plat request is compliant and will meet the ordinance as presented.

Sec. 42-5. - Policy.

(a) It shall be unlawful for any owner or agent of any owner of land to lay out, subdivide, plat or replat any land into lots, blocks, and streets within the jurisdictional area of this chapter without the proper approval of the planning commission. It shall be unlawful for any such owner or agent to offer for sale or sell property for building lots, building tracts or urban use therein, which has not been laid out, subdivided, platted, or replatted with the approval of the planning commission in accordance with this chapter.

The applicant is compliant with the replat process prior to submitting plans for construction.

Sec. 42-159. - Approval of planning commission required.

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

The intent of this request is for the sale of a 1.058-acre tract of land for a proposed restaurant. The property will have a shared entrance drive with the adjacent hotel.

Department Comments:

Engineering:

Fire:

Public Works:

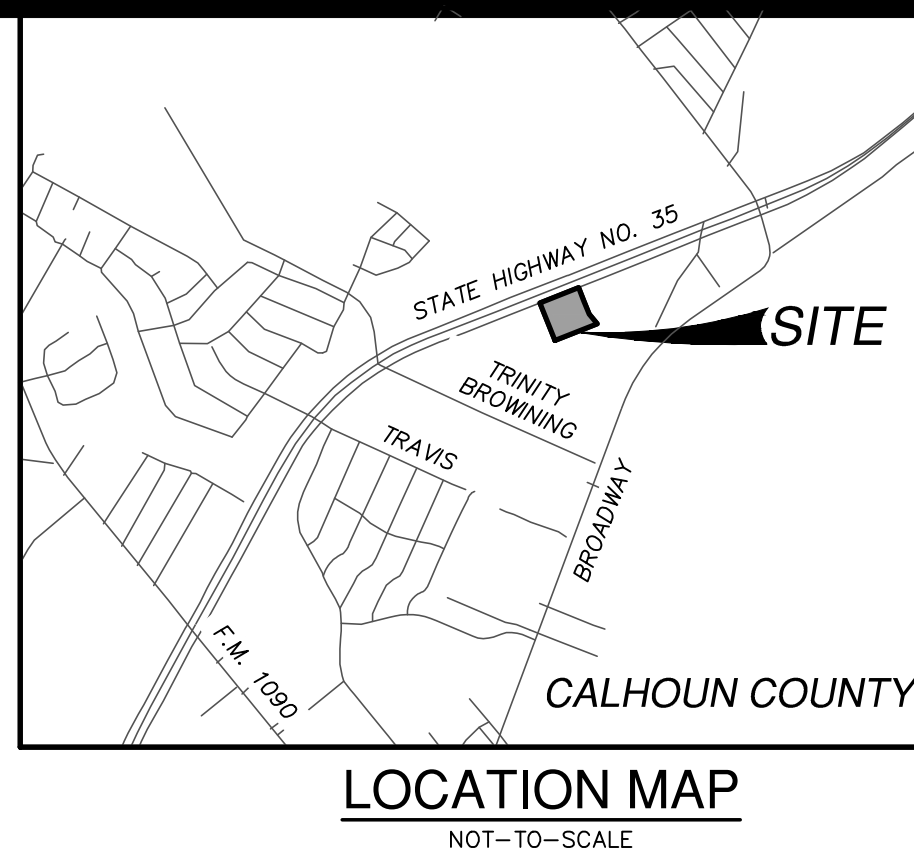
Development Services:

Staff Recommendation: Approval

The replat request for approval and conceptual plan for Lot 2A, Block 1, of the Janav Subdivision (1782 State HWY 35 N) meets the City Code of Ordinance, Chapter 42 - Subdivisions and Plats. Therefore, staff recommends approval as per the ordinance citations within this report.

Attachments:

- Site Plan
- Survey
- Replat



A 1.058 acre, or 46,907 square feet more or less, tract of land, being portion of the remainder of a called 10.65 acre tract of land conveyed to JANAV INVESTMENT LLC, a Texas limited liability company, and described in a deed recorded in Calhoun County Clerk's File No. 2020-00639, and being partially out of Lot 1, Block 1 of the Janav Subdivision, as recorded in Slide 631A of the Plat Records of Calhoun County, Texas, situated in the Alejandro Esparza Survey, Abstract Number 12, in the City of Port Lavaca, Calhoun County, Texas. Said 1.058 acre tract of land is described as follows, with bearings based on the Texas Coordinate System of 1983 established for the South Central Zone from the North American Datum of 1983 (NAD2011) epoch 2010.00:

BEGINNING: At a 5/8 inch iron rod with red cap marked "G&W ENG." found on the south right-of-way line of State Highway 35 (width varies), the north line of said 10.65 acre tract, and the north line of said Janav Subdivision, at the northwest corner Lot 1, Block 1 of said Janav Subdivision, for the northeast corner of this tract;

THENCE: Departing the south right-of-way line of said State Highway 35, the north line of said 10.65 acre tract, and the north line of said Janav Subdivision, along and with the west line of said Lot 1, Block 1 the following courses and distances:

S 21°39'34" E, a distance of 149.87 feet to a 5/8 inch iron rod with red cap marked "G&W ENG."; and

S 41°22'51" E, a distance of 64.64 feet to a 5/8 inch iron rod with a cap marked "Pope-Dawson" to be set; from which 5/8 inch iron rod with red cap marked "G&W ENG." found for the south corner of said Lot 1, Block 1 bears S 41°22'51" E, a distance of 266.83 feet;

THENCE: Departing the west line of said Lot 1, Block 1, over and across said Lot 2, Block 1, and said 10.65 acre tract, the following courses and distances:

S 68°20'26" W, a distance of 237.42 feet to a 5/8 inch iron rod with a cap marked "Paw-Dawson" to be set, and
N 21°39'34" W, a distance of 210.72 feet to a 5/8 inch iron rod with a cap marked "Paw-Dawson" to be set on the south right-of-way line of said State Highway 35, the north line of said section 32, and the north line of said 10.65 acre tract, from which a 5/8 inch iron rod found on the northeast line of a called 4.196 acre tract of land described as a Drainage Easement for Highway Purposes, to the State of Texas, in Volume 323, Page 122 of the Deed Records of Calhoun County, Texas, for the northwest corner of said section 32, and the northeast corner of said 10.65 acre tract, bears S 68°20'26" W, a distance of 360.01 feet;

THENCE: N 68°20'26" E, along and with the south right-of-way line of said State Highway 35, the north line of said Janav Subdivision, and the north line of said 10.65 acre tract, a distance of 215.61 feet to the POINT OF BEGINNING, and containing 1.058 acres in the City of Port Lavaca, Calhoun County, Texas.

1. The bearings for this survey are based on the Texas Coordinate System of 1983, South Central Zone from the North American Datum of 1983 (NAD2011) epoch 2010.00.
2. Illustrated utilities are based on found visible evidence. The location and depth of existing utilities should be field verified before construction. The surveyor does not have knowledge as to the location of any service, or the status of any utilities.
3. Elevation shown hereon are based on NGS Survey Control Reference Mark No. AN2393, published elevation of 271 feet, NAVD 88. Being a stainless steel rod in sleeve with a logo cap stamped "NAD83 271.00 1987" (NAD2011).
4. The subject property is within the following flood zone(s) as depicted on the Federal Emergency Management Agency (F.E.M.A.) Flood Insurance Rate Map Number(s) 48057C00045E, dated October 16, 2014, and 48057C00065E, dated October 16, 2014 for Calhoun County, Texas and incorporated areas. This data is available on the website www.fema.gov.

ZONE "X" (unshaded), defined as: "Other Areas; Areas determined to be outside 0.2% annual chance floodplain."

5. 5/8" iron rod with cap marked "Pape-Dawson" set at subject property corners unless noted otherwise.
6. This survey was performed without the benefit of a current title report additional easements and encumbrances may exist that are not shown hereon.

I, Jonathan Franz, a Registered Professional Land Surveyor of the State of Texas, hereby certify that the above plat correctly represents the facts found at the time of the survey made on the ground under my supervision. This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B, Condition II Survey. The field work was completed on March 1, 2023.



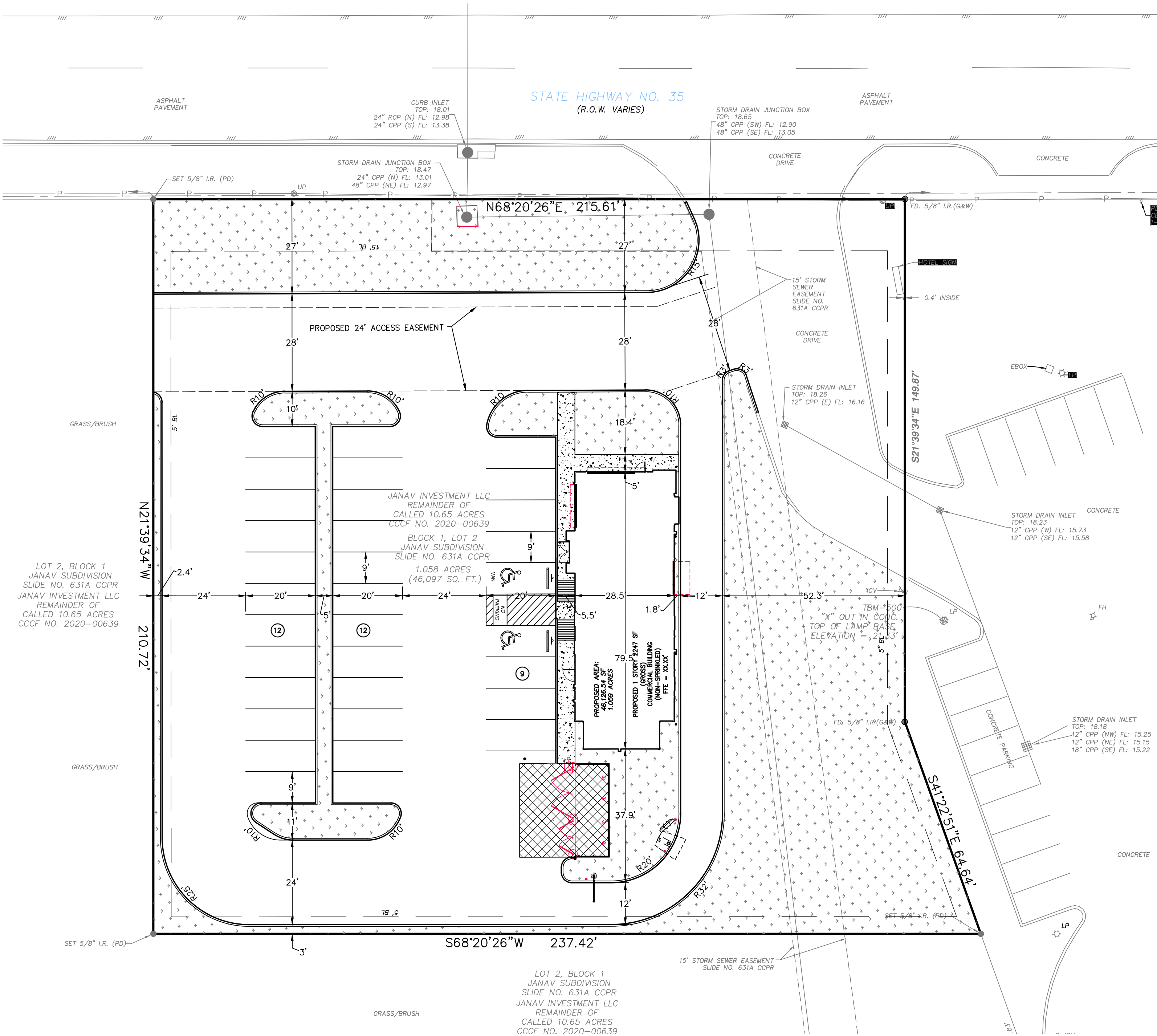
**PAPE-DAWSON
ENGINEERS**

STANDARD LAND AND TOPOGRAPHIC SURVEY

OF A 1.058 ACRE TRACT OF LAND LOCATED IN THE
ALEJANDRO ESPARZA SURVEY, ABSTRACT NO. 12,
A PORTION OF LOT 1, BLOCK 1, OF THE ANALY SURVEY

JOB NO. **49037-23**
DATE **MARCH 2023**
CHECKED **JEF** DRAWN **FF**
CIVIL JOB NO. **---**
REFERENCE: **---**
SHEET **1** OF **1**

PD JOB #49037-23



PROPERTY LINE CONTROL POINTS

PTS	NORTHING	EASTING
10000	13837063.51	2872380.47
10001	13837075.26	2872375.38
10002	13837067.15	2872356.64
10003	13837185.84	2872305.26
10004	13837270.65	2872501.18
10005	13837147.84	2872553.67
10006	13837135.84	2872548.00

BUILDING CONTROL POINTS

PTS	NORTHING	EASTING
50000	13837110.41	2872402.70
50001	13837130.46	2872394.02
50002	13837135.85	2872400.40
50003	13837165.06	2872438.92
50004	13837159.89	2872449.46
50005	13837164.34	2872466.03
50006	13837137.87	2872477.99
50007	13837109.73	2872411.71

BACK OF CURB CONTROL POINTS

PTS	NORTHING	EASTING
10000	13837110.41	2872402.70
10001	13837130.46	2872394.02
10002	13837135.85	2872400.40
10003	13837165.06	2872438.92
10004	13837159.89	2872449.46
10005	13837164.34	2872466.03
10006	13837137.87	2872477.99
10007	13837109.73	2872411.71

AVAILABLE UPON REQUEST

SIGN SCHEDULE		
SYM.	QTY.	DESCRIPTION
(A)	1	POLE MOUNTED MONUMENT SIGN
(B)	1	DRIVE-THRU PORTAL
(C)	1	MENU BOARD
(D)	1	DRIVE THRU CANOPY
(E)	1	ORDER BOARD
(F)	1	ACCESSIBLE PARKING SIGN
(G)	1	ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE APPENDAGE BELOW
(H)	1	PYLON BUSINESS SIGN

PARKING SUMMARY TABLE

MINIMUM SPACES REQUIRED (PER COS*)	24
PROPOSED PARKING SPACES	31
MINIMUM ADA SPACES REQUIRED	2
MINIMUM VAN ACCESSIBLE SPACES REQUIRED	1
PROPOSED ACCESSIBLE SPACES	2 (1 VAN)

*PER CITY OF SEALY CODE OF ORDINANCES, SEC. 28-71, RESTAURANTS:
1.0 PARKING SPACE PER 100 SF OF GFA

KEY NOTES

- 1 ADA COMPLIANT CURB RAMP @ 12:1 MAX SLOPE (SEE DETAIL SHEET C7.10)
- 2 PROPOSED SIDEWALK (SEE DETAIL SHEET C7.10)
- 3 PROPOSED WHEEL STOP (SEE DETAIL SHEET C7.00)
- 4 PROPOSED HANDICAP SYMBOL STRIPING (SEE DETAIL SHEET C7.00)
- 5 VARYING WIDTH CURB AT DRIVE THRU; (SEE DETAIL SHEET C7.10)
- 6 PROPOSED BOLLARD (SEE DETAIL SHEET C7.00)
- 7 PROPOSED TRASH ENCLOSURE (SEE DETAIL SHEET C7.30)
- 8 MAGNETIC LOOP DETECTOR (SEE DETAIL SHEET C7.00)
- 9 CONTRACTOR TO REFER TO DETAIL SHEET C7.00 FOR LAYOUT OF DRIVE THRU EQUIPMENT
- 10 PROPOSED 4" WIDE SOLID YELLOW STRIPING (TYP.)
- 11 NOT USED
- 12 PROPOSED LIGHT POLE
- 13 PROPOSED DIRECTIONAL ARROWS
- 14 PROPOSED ADA STRIPING (SEE DETAIL SHEET C7.00)
- 15 PROPOSED LANDSCAPING
- 16 PROPOSED STORM SEWER CATCH BASIN. CONTRACTOR TO SET TOP OF GRATE FLUSH WITH PROPOSED TOP OF PAVEMENT (SEE DETAIL SHEET C7.20)
- 17 PROPOSED CURB RAMP FOR EMPLOYEE INGRESS/EGRESS
- 18 PROPOSED IRRIGATION METER (SEE DETAIL SHEET C7.20)
- 19 4" YELLOW PAINT STRIPES 24" O.C. (TYP)
- 20 PROPOSED SANITARY SEWER GREASE TRAP AND SAMPLE WELL (SEE SHEET C7.20 FOR DETAILS)
- 21 PROPOSED REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER (SEE DETAIL SHEET C7.20)
- 22 PROPOSED IRRIGATION BACKFLOW PREVENTER (SEE DETAIL SHEET C7.20)
- 23 PROPOSED 6" CURB. (SEE DETAIL SHEETS C7.00 & C7.10)

DIMENSIONAL CONTROL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
3. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
4. ALL DIMENSIONAL CONTROL POINTS AND DIMENSIONS ARE TO THE FACE OF CURB. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
5. REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION. ONLY MINIMUM BUILDING AND PROPERTY CONTROL POINTS ARE PROVIDED ABOVE.
6. CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.
7. ALL CURBS WITHIN PRIVATE PROPERTY ARE 6" HIGH AND ALL CURBS WITHIN PUBLIC RIGHT-OF-WAY ARE 6" HIGH EXCEPT AT CURB RAMPS OR SPECIFICALLY NOTED OTHERWISE.

STRIPING/SIGNAGE NOTES:

1. ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
2. ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION.

CAUTION!!
PRESENCE OF EXISTING SITE UTILITIES HAVE NOT BEEN FIELD VERIFIED. CONTRACTOR TO VERIFY EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICTS.

BENCHMARK:

REFERENCE MARK NO. AX0209, PUBLISHED ELEVATION: 174.3' NAVD88

TBM A:
BOX CUT IN CONC., AS SHOWN HEREON.
ELEVATION: 166.24' NAVD88.

TBM B:
BOX CUT IN CONC. CURB, AS SHOWN HEREON.
ELEVATION: 167.60' NAVD88.

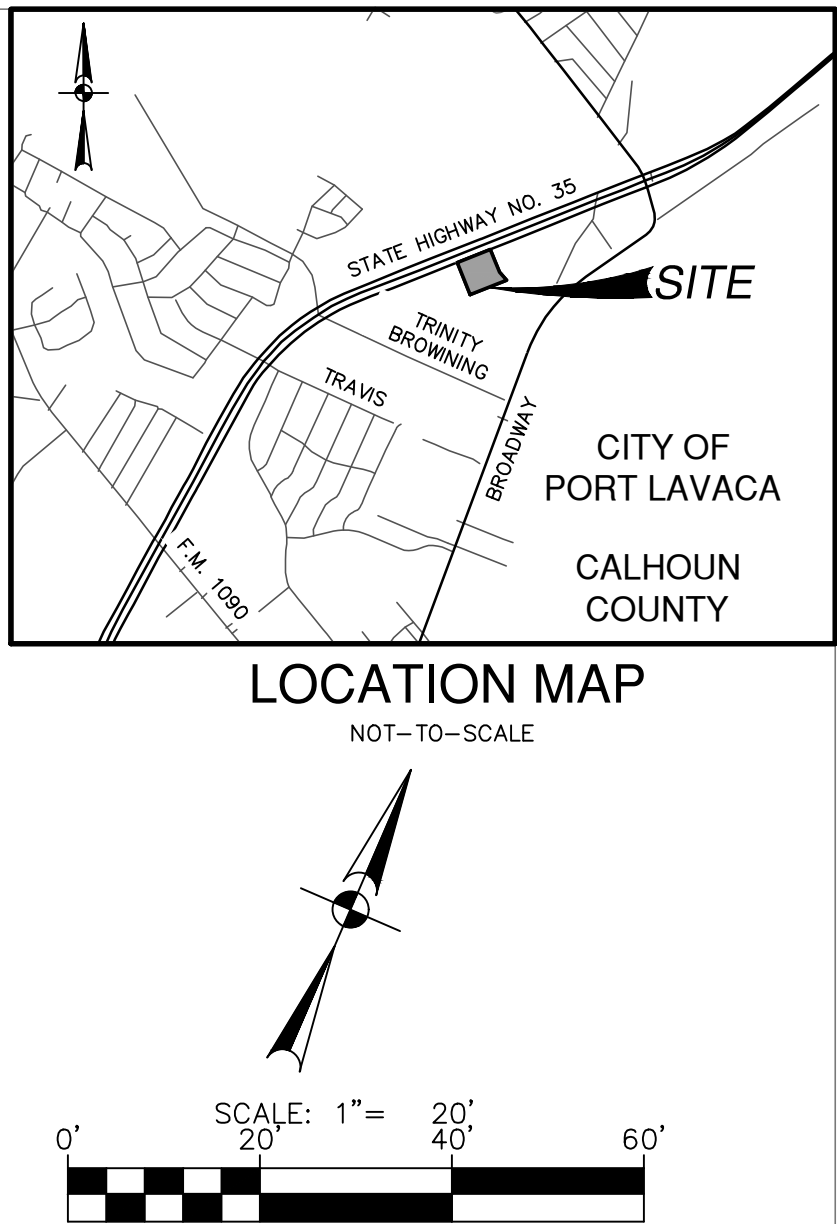
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR AUSTIN COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48015C0320F REVISED OCTOBER 18, 2019, THIS PROPERTY IS LOCATED WITHIN ZONE "X" (SHADED), AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SURVEY NOTE:

BOUNDARY AND TOPOGRAPHIC SURVEY FOR THIS PLAN SET WAS PERFORMED BY PAPE-DAWSON ENGINEERS, DATED 10/28/21. CONTRACTOR TO REFERENCE THIS SURVEY FOR BENCHMARK INFORMATION.

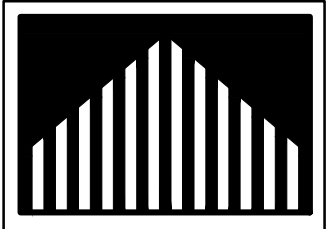
LEGAL DESCRIPTION:

A 0.628 OF AN ACRE, OR 27,358 SQUARE FEET MORE OR LESS, TRACT OF LAND, BEING A PORTION OF A CALLED 6.204 ACRE TRACT BEING LOT 2 OF WALMART NO. 437 SUBDIVISION A REPLAT AS RECORDED UNDER VOLUME 1, PAGE 59 OF THE AUSTIN COUNTY MAP RECORDS AND BEING A PORTION OF LOTS 3, 4 & 5, BLOCK 33 OF THE SEALY SUBDIVISION LOCATED IN THE 5 LEAGUE GRANT TO THE TOWN OF AND FELIPE DE AUSTIN, A-5, AUSTIN COUNTY, TEXAS..



LEGEND

	PROPERTY LINE
	PROPOSED LANDSCAPE AREA
	EXISTING CURB
	PROPOSED CURB
	PROPOSED SIDEWALK
	PROPOSED PARKING SPACES
	PROPOSED YELLOW STRIPING
	PROPOSED SIGN. SEE KEYNOTES AND SIGN SCHEDULE FOR INFORMATION
	PROPOSED ADA PARKING SYMBOL
	PROPOSED CONCRETE BOLLARD
	PROPOSED GREASE INTERCEPTOR AND SAMPLE WELL
	PROPOSED LOOP DETECTOR
	PROPOSED STORM SEWER CATCH BASIN
	ROW LIMITS
	PROPOSED WHEEL STOP (SEE DETAIL SHEET C7.00)
	PROPOSED WATER METER AND BACKFLOW PREVENTER
	OVERHEAD ELECTRIC
	EXISTING SANITARY SEWER MANHOLE
	EXISTINGSTORM SEWER INLET
	EXISTING STORM SEWER MANHOLE
	EXISTING EXISTING FIRE HYDRANT
	EXISTING EDGE OF PAVEMENT TO REMAIN
	EXISTING BOLLARD TO REMAIN
	EXISTING LIGHT POLE TO REMAIN



**Castles
Design
Group**

A Professional Corporation
3801 Kirby Dr., Suite 600
Houston, Texas 77098
tel: 713 664 7974
fax: 713 664 9756

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORIZATION OF NATHAN C. BILLIOT, P.E. (#96488) AND IS **NOT TO BE USED FOR CONSTRUCTION.**



10350 RICHMOND AVE. SUITE 200
HOUSTON, TEXAS 77042
PHONE: 713.428.2400
FAX: 713.428.2420
TBE, FIRM REGISTRATION # 470
TBPLS, FIRM REGISTRATION # 10193974

DATE	REMARKS

CONTRACT DATE: 07.01.2021

BUILDING TYPE: END. MED. 40

PLAN VERSION: MARCH 2021

BRAND DESIGNER: FRANK WANCHO

SITE NUMBER: 314371

STORE NUMBER:

PA/PM:

DRAWN BY.: JCS

JOB NO.: 202109

ENDEAVOR 2.0

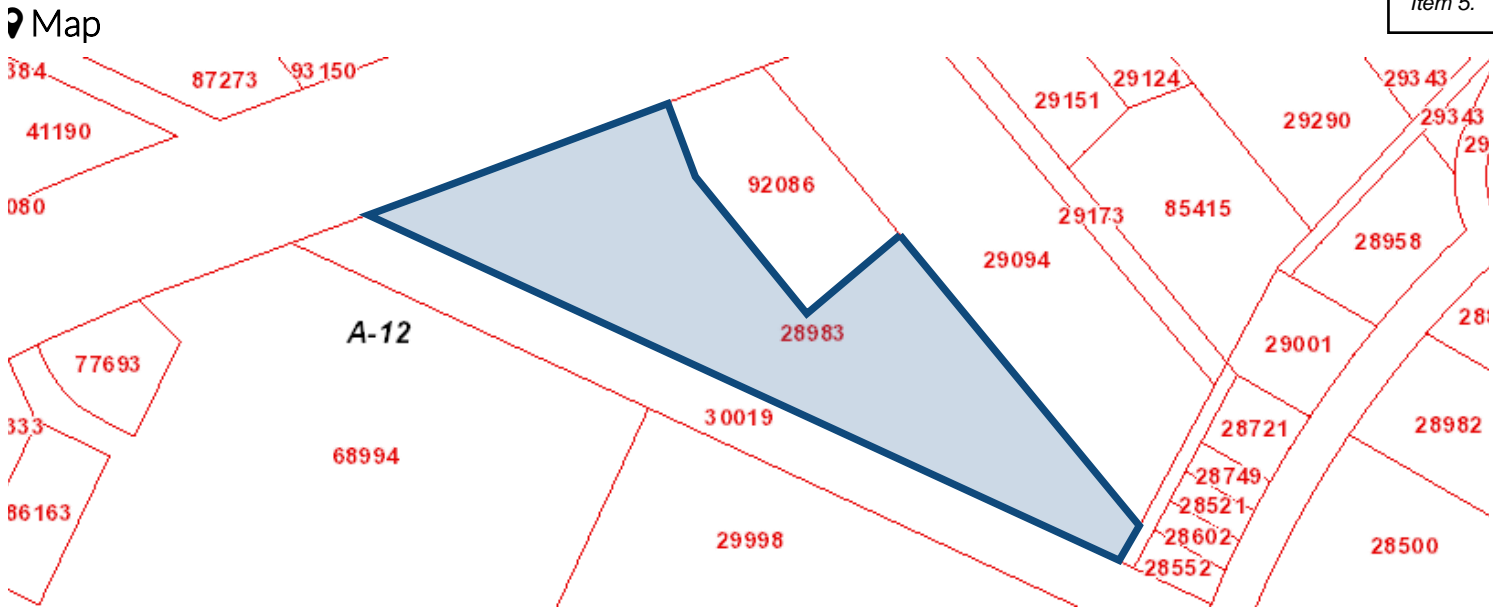
2200 STATE HIGHWAY 36 S
SEALY, TEXAS 77474



ENDEAVOR 2.0

**DIMENSION
CONTROL & OVERAL
SITE PLAN**

C1.00



Property Details

ccount		
roperty ID:	28983	Geographic ID: S0177-00010-0001-00
ype:	Real	Zoning:
roperty Use:		Condo:
ocation		
itus Address:		
ap ID:	S0177-00010-0001-00	Mapsc0: 1550
egal Description:	JANAV SUBD (PORT LAVACA), BLOCK 1, LOT 2, ACRES 8.38	
bstract/Subdivision:	S0177 - JANAV SUBD (PORT LAVACA)	
ighborhood:	1550	
wner ⓘ		
wner ID:	116608	
ame:	JANAV INVESTMENT LLC	
gent:		
ailing Address:	22790 US HWY 59 N KINGWOOD, TX 77339	
, Ownership:	100.0%	
xemptions:	For privacy reasons not all exemptions are shown online.	

Property Values