



Planning & Zoning Meeting

Wednesday, July 07, 2021 at 6:00 PM
102 W. Bailey Street, Ponder, TX 76259

NOTICE

THE PLANNING & ZONING COMMISSION FOR THE TOWN OF PONDER, TEXAS, WILL HOLD A REGULAR SESSION P&Z MEETING AT 6:00 P.M. ON JULY 7, 2021, IN PONDER TOWN HALL, AT 102 W. BAILEY STREET, PONDER.

REGULAR SESSION AGENDA

CALL TO ORDER

ROLL CALL

OPEN FORUM FOR CITIZEN INPUT (Please limit to 5 minutes per person and if you wish to speak on a particular agenda item, please list the agenda item next to your name).

This is a time for the public to address the P & Z Commission on any subject. However, the Texas Open Meetings Act prohibits the P & Z Commission from discussing issues which the public has not been given seventy-two (72) hours' notice. Issues raised may be referred to Town Staff for research and possible future action.

CONSENT AGENDA

1. Consider and act on approval of the February 3, 2021 P&Z Minutes.
2. Consider and act on approval of the April 7, 2021 P&Z Minutes.
3. Consider and act on approval of the June 2, 2021 P&Z / CIAC Minutes.
4. Consider and act on approval of the June 8, 2021 P&Z / CIAC Minutes.

ITEMS OF BUSINESS

5. Conduct a public hearing to hear public comments and consider recommendations regarding a Zoning Change Request for Lot 2, Block 2, Merrifield Estates, First Section in the Town limits of Ponder. This 1.74 acre vacant lot is physically located on the west side of the 1000 Block of N FM 156, south King George Rd. and north of Owendale Way. The property owner requests rezoning from MF to C2 to build a Sonic Drive-in restaurant.

6. Consider and act to recommend approval to the Town Council for the rezoning of Lot 2, Block 2, Merrifield Estates, First Section from MF to C2 to build a Sonic Drive-in restaurant.
7. Conduct a public hearing to hear public comments and consider recommendations regarding an SUP/Site Plan for Ferti Technologies for Tieszen Industrial Park, Block A Lot 1, DCAD Property ID 201828. This property is physically located at 100 E FM 2449, in Ponder's Town limits and is zoned M1 (Manufacturing/Industrial Light) Ferti Technologies proposes to remodel the existing building and bring it up to code for the blending and distribution of dry lawn-grade fertilizers, which is allowed in this zoning designation. They request a Specific Use Permit to be approved with the Site Plan allowing for deviations in the maximum height allowance from 50 ft to 70 ft, fewer parking spaces from 111 to 75, and a phased landscape and buffer plan.
8. Consider and act on the SUP/Site Plan for Ferti Technologies for Tieszen Industrial Park, Block A Lot 1, DCAD Property ID 201828. This property is physically located at 100 E FM 2449, in Ponder's Town limits and is zoned M1 (Manufacturing/Industrial Light) Ferti Technologies proposes to remodel the existing building and bring it up to code for the blending and distribution of dry lawn-grade fertilizers, which is allowed in this zoning designation. They request a Specific Use Permit to be approved with the Site Plan allowing for deviations in the maximum height allowance from 50 ft to 70 ft, fewer parking spaces from 111 to 75, and a phased landscape and buffer plan.

ITEMS FOR NEXT AGENDA

ADJOURN

CERTIFICATION

I hereby certify that the above notice was posted on the bulletin board at the Ponder Town Hall at 102 W. Bailey Street, Ponder, Texas on the 2nd day of July 2021, at 11:00 a.m.

Carolyn Farmer, Planning & Zoning Director

If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact our office at 940-479-7009. Reasonable accommodations will be made to assist your needs.

THE TOWN OF PONDER, TEXAS U.S.A.
102 W BAILEY ST, PONDER, TEXAS 76259
940-479-2396

MINUTES FROM PLANNING & ZONING MEETING HELD FEBRUARY 3, 2021

1. CALL TO ORDER.

- Meeting called to order at 6:05 PM by Carolyn Farmer, P&Z Director for the Town of Ponder

2. ROLL CALL.

- Planning & Zoning Board Members present were Brandon Mitchell, John Estes and Crystal Ramsey
- Planning & Zoning Board Member not present was Staci Johnson

3. CONSENT AGENDA:

- May 11, 2020 Planning & Zoning meeting minutes
- December 2, 2020 Planning & Zoning meeting minutes
 - P&Z Member John Estes motioned to approve both the May and December 2020 P&Z meeting minutes.
 - P&Z Member Crystal Ramsey seconded the motion.
 - Minutes approved with 3 Ayes and 0 Nays.

4. OPEN FORUM FOR CITIZEN INPUT (Please limit to 5 minutes per person and if you wish to speak on a specific agenda item, please list the agenda item next to your name).

- No one signed up to speak

5. CONSIDER AND ACT on a Final Plat for DCAD property ID# 181610, physically located in the 500 block of W FM 2449. Town Engineer George Belcheff recommends conditional approval of this Final Plat (no date) by Castlerock Surveying, PLLC, Justin, Texas, subject resolution of the following conditions: Applicant, Pastor Daryl Baker represents the Christian Faith Fellowship Church.

- Revise Final Engineering concerns listed in his review letter dated January 6, 2021, to the satisfaction of the Town Engineer.
- Town concurrence with Town Engineer's Rough Proportionality conditions
- Town concurrence with driveway connection to FM 2449, subject to TxDOT review and approval
- Town acceptance of TxDOT water line crossing permit
- Developer funding to upgrade Park Road to a reinforced concrete section
- Approval of a Special Use Permit
 - P&Z Member Brandon Mitchell asked the square footage of the proposed building.
 - David Bond with Spiars Engineering stated approximately 35,000 square feet.
 - P&Z Member Brandon Mitchell motioned to approve the Final Plat conditionally as recommended by George Belcheff's review letter dated January 6, 2021. (Attached in full)
 - P&Z Member Crystal Ramsey seconded the motion
 - Motion passed with 3 Ayes and 0 Nays.

6. ADJOURN.

- P&Z Member Brandon Mitchell motioned to adjourn
- P&Z Member John Estes seconded.
- Meeting adjourned at 6:20 PM

APPROVED:

Mayor Matthew Poole

Date

ATTEST:

Carolyn Farmer
Planning & Zoning Director

THE TOWN OF PONDER, TEXAS U.S.A.
102 W BAILEY ST, PONDER, TEXAS 76259
940-479-2396

MINUTES FROM PLANNING & ZONING MEETING HELD APRIL 7, 2021

CALL TO ORDER

*P&Z Member Staci Johnson called the meeting to order at 6:01 PM

ROLL CALL

*P&Z Members present were John Estes, Staci Johnson, and Crystal Ramsey

*P&Z Member not present was Brandon Mitchell

OPEN FORUM FOR CITIZEN INPUT

*No one signed up

CONSENT AGENDA

1. Consider and act on approval of the February 3, 2021 minutes.

*Tabled until the next meeting.

ITEMS OF BUSINESS

2. Conduct a Public Hearing to hear comments and suggestions to allow a Site Plan/Specific Use Permit allowing Church/Rectory use within an A-Agricultural District.

*P&Z Member John Estes motioned to open the public hearing

*P&Z Member Crystal Ramsey seconded

* Public Hearing open with 3 Ayes and 0 Nays.

*David Bond with Spiars Engineering for the Church was available for questions.

*No one spoke

* P&Z Member John Estes motioned to close the public hearing

* P&Z Member Crystal Ramsey seconded

*Public hearing closed

3. Consider and act on approval of Site Plan/Specific Use Permit allowing Church/Rectory use within A-Agricultural District for the Christian Faith Fellowship Church.

*P&Z Member Staci Johnson motioned to conditionally approve the Site Plan/SUP for the Church following Town Engineer's recommendations in his review letter dated March 31, 2021. (Attached in full)

*P&Z Member John Estes seconded.

*Motion passed with 3 Ayes and 0 Nays.

ITEMS FOR NEXT AGENDA

ADJOURN

- *P&Z Member Staci Johnson motioned to adjourn
- *P&Z Member John Estes seconded
- *Meeting adjourned at 6:17 PM

APPROVED:

Mayor Matthew Poole

Date

ATTEST:

Carolyn Farmer
Planning & Zoning Director

**THE TOWN OF PONDER, TEXAS U.S.A.
102 W BAILEY ST, PONDER, TEXAS 76259
940-479-2396**

**MINUTES FROM PLANNING & ZONING MEETING AND
THE CAPITAL IMPROVEMENTS ADVISORY COMMITTEE HELD JUNE 2, 2021**

CALL TO ORDER

This meeting was called to order at 6:12 pm by Carolyn Farmer, Planning & Zoning Director

ROLL CALL

Members present were John Estes, Brandon Mitchell and Stephanie Johnson
Member Crystal Ramsey was not present

OPEN FORUM FOR CITIZEN INPUT (Please limit to 5 minutes per person and if you wish to speak on a particular agenda item, please list the agenda item next to your name).

No one signed up

APPOINT OFFICERS FOR PLANNING & ZONING COMMISSION

1. Chairman -Stephanie Johnson was voted in as Chairperson
2. Co-Chairman- John Estes was voted in as Co-Chair

CONSENT AGENDA

1. Consider and act on approval of the February 3, 2021 minutes.
2. Consider and act on approval of the April 7, 2021 minutes.

Not enough members present for a quorum, consent agenda tabled.

ITEMS OF BUSINESS – NO BUSINESS ITEMS FOR THE P&Z COMMISSION

ITEMS OF BUSINESS – CAPITAL IMPROVEMENTS ADVISORY COMMITTEE

1. Presentation of the 2021 Impact Fee Study results by Belcheff and Associates to the Planning & Zoning Commission acting as the Capital Improvements Advisory Committee.
2. Consider and act on approval of proposed amendments to the current land use assumptions, capital improvement plans, and imposition of water and sewer impact fees with recommendation to Town Council.

Not enough members present for a quorum. Item 2 for the CIAC tabled.

ITEMS FOR NEXT AGENDA

A special meeting of the CIAC will be planned for Tuesday June 8th.

ADJOURN

Meeting adjourned at 7:00 pm

APPROVED:

Mayor Matthew Poole

Date

ATTEST:

Carolyn Farmer
Planning & Zoning Director

THE TOWN OF PONDER, TEXAS U.S.A.
102 W BAILEY ST, PONDER, TEXAS 76259
940-479-2396

MINUTES FROM THE CAPITAL IMPROVEMENTS ADVISORY COMMITTEE
SPECIAL SESSION HELD JUNE 8, 2021

CALL TO ORDER

Meeting called to order at 6:00 pm by Staci Johnson, Chairperson, via Zoom.

ROLL CALL

Members present were Brandon Mitchell, Crystal Ramsey, and John Estes

OPEN FORUM FOR CITIZEN INPUT (Please limit to 5 minutes per person and if you wish to speak on a particular agenda item, please list the agenda item next to your name).

No one signed up to speak

ITEMS OF BUSINESS – CAPITAL IMPROVEMENTS ADVISORY COMMITTEE

- 1. Consider and act on approval of proposed amendments to the current land use assumptions, capital improvement plans, and imposition of water and sewer impact fees with recommendation to Town Council.

Member John Estes motioned to recommend approval of the updated water and sewer impact fees to the Town Council.

Member Brandon Mitchell seconded.

Motion passed with 4 Ayes, 0 Nays and 0 Abstentions.

ADJOURN

Member John Estes motioned to adjourn.

Member Brandon Mitchell seconded.

Meeting adjourned at 6:02 pm

APPROVED:

Mayor Matthew Poole

Date

ATTEST:

Carolyn Farmer
Planning & Zoning Director



ZONING CHANGE REQUEST APPLICATION

Fee \$350

Applicant: Marc DeGenaro Phone: 940-565-8215

Mailing Address: 725 S. Locust St. Denton, Texas 76201

Phone: _____ Fax: _____

Owner's name if different: Wayne Peters

General Location of Property: 1000 block of N. FM 156, Ponder, Texas

Legal Description of Property: Lot 2, Block 2, Merrifield Est, First Section
(Attach complete metes and bounds)

Current Zoning Designation: MF - MultiFamily

I hereby request that the Zoning Designation be changed to: C-2 Commercial General

Existing Use: Vacant Proposed Use: Sonic Drivethrough

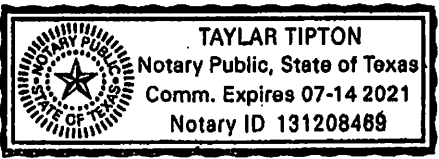
Contact Email:
marc@colemansurveying.com

I certify that the information concerning this proposed zoning change is true and correct and that I am the owner of record or the authorized agent for the owner of the above described property.

Applicant Signature *Marc DeGenaro* Date 6/14/21

Application Complete _____
Fee Paid _____
Date to appear P&Z _____ Council _____

Received by _____
(Time/date stamp)



[Handwritten Signature]



Coleman & Assoc. Land Surveying

P. O. Box 686
Denton, Texas 76202
Phone (940)565-8215 Fax (940)565-9800
REGISTRATION #10095100

June 11, 2021

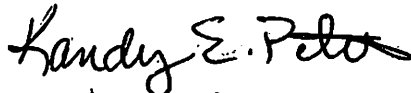
Town of Ponder
102 W. Bailey St.
Ponder, Texas

Gentlemen:

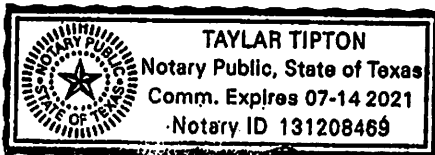
This letter is to serve as authorization for Marc G. DeGenaro or William M. Coleman of Coleman & Assoc. Land Surveying to prepare and submit Applications and other appropriate documents as required for the Zoning Change Request and development of the Lot 2, Block 2, Merrifield Estates, First Section property located in the 1000 block of N. FM 156 in Ponder, Texas and to represent me at meetings and hearings in the absence of, or at the request of, other representatives.

Regards,


Wayne Peters


Kandy E. Peters

6/14/2021







Coleman & Assoc. Land Surveying

P. O. Box 686
Denton, Texas 76202
Phone (940)565-8215 Fax (940)565-9800
REGISTRATION #10095100

Town of Ponder
102 W. Bailey St.
Ponder, Texas 76259
940-479-2396

Project Name: Lot 2, Block 2, Merrifield Estates, First Section

Dear Sirs,

This site is currently a vacant 1.74 acre Lot 2, Block 2, Merrifield Estates, First Section. It is located on the West side of F. M. Highway 156, South of King George Road and North of Owendale Way. The property is currently zoned MF. The property owner proposes to divide the property in half by replat and then build a Sonic Drive-In on the southern lot. The property owner would like to rezone the property to C-2.

Any questions or comments concerning this document should be directed to the undersigned.

Sincerely,

Marc G. DeGenaro, Project Manager
Coleman & Assoc. Land Surveying

FIELD NOTES to all that certain tract of land situated in the D. Rudder Survey Abstract Number 1060, Town of Ponder, Denton County, Texas and being all of the called Lot 2, Block 2, Merrifield Estates, First Section as shown by the plat thereof recorded in Cabinet J, Page 136 of the Plat Records of Denton County, Texas; the subject tract being more particularly described as follows:

BEGINNING for the Northaest corner of the tract being described herein at a 1/2 inch iron rod with a yellow plastic cap stamped "COLEMAN RPLS 4001" set (herein after referred to as 1/2IRS) for the Northeast corner of the said Lot 2 on the West right-of-way line of F. M. Highway 156;

THENCE Southwesterly with the East line of Lot 2 and the West right-of-way line of F. M. Highway 156, along the arc of a curve to the left having a radius of 2,904.93 feet, an arc length of 255.08 feet (chord bearing South 13 Degrees 53 Minutes 12 Seconds West a distance of 255.00 feet) to a 1/2IRS for the Southeast corner of Lot 2;

THENCE North 76 Degrees 23 Minutes 38 Seconds West with the South line of Lot 2 a distance of 298.81 feet to a 1/2IRS for the Southwest corner thereof;

THENCE North 13 Degrees 47 Minutes 10 Seconds East with the West line of Lot 2 a distance of 255.07 feet to a 1/2 inch iron rod found at the Northwest corner thereof;

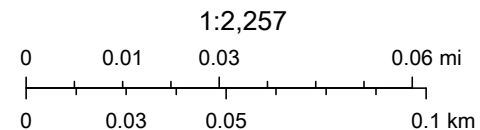
THENCE South 76 Degrees 22 Minutes 51 Seconds East with the North line of Lot 2 a distance of 299.26 feet to the PLACE OF BEGINNING and enclosing 1.740 acres of land.

Denton CAD Web Map



6/15/2021, 3:58:19 PM

- Streets
- Parcels



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Denton County Appraisal District, Harris Govern -- www.harrisgovern.com

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



SPECIFIC USE PERMIT APPLICATION

Specific Use Permit Fee \$100.00

Applicant: Todd Eppenbach

Company: Inventure

Address: 2708 Powlett Creek Dr.

Tel: (469) 989-3713

Fax:

City: Frisco

State: Texas

Zip: 75034

Property Owner: Hugo Provencher

Company: Ferti Management Corp.

Address: 560, Chemin Rheaume, C.P. 129

Tel: (450) 454-5367

City: Saint-Michel

State: Quebec, Canada

Zip: J0L 2J0

Legal description* Lot 1, Block A of Tieszen Industrial Park, an addition to the Town of Ponder, Texas, according to the plat thereof recorded in Cabinet O, Page 335, Plat Records, Denton County, Texas.

*(Attach metes and bounds description of property)

Detailed description of Proposed Use: Ferti Technologies will use this site as a fertilizer blender facility. Raw material is brought into the site and stored in large bins within the building. The raw material is then mixed to create different blends of fertilizer, bagged, staged on pallets then shipped out to end-users. Facility will also office and support areas within the building.

Total Area of Land: Acres 23.23 Lots: 1 Blocks: A Streets: F.M. Road 2449

Current Zoning Classification: M-1 Existing Use Manufacturing/Industrial Light

Contact Email: todd@inventure.design

I have carefully examined the completed application and know the same to be true and correct. I hereby agree to comply with all provisions set forth by the Town of Ponder whether herein specified or not.

ApplicantSignature:

Date: 5/12/21

SPECIFIC USE PERMIT APPLICATION

*****OFFICE USE ONLY*****

Fee paid _____ Date _____ Accepted by _____



Town of Ponder Planning & Zoning
102 W. Bailey Street
Ponder, TX 76259

May 11, 2021

Re: Ferti Technologies Specific Use Permit

Dear Sir/Madame,

Ferti Technologies is requesting a Specific Use Permit for deviations from the Town of Ponder Code of Ordinances for the following items:

- 1) A deviation from Appendix B, Table 2: Height, Area and Setback Regulations. The current allowable height for a M-1 district is 50-feet. We request a deviation to allow the two proposed receiving elevators to be 70-feet tall and the two proposed unloading elevators with hoppers to be 60-feet tall. This equipment at the requested height is essential to the efficient operation of the plant.
- 2) A deviation from section 154.38 Off-Street Parking and Loading Requirements division (F) items 20, 25 & 36. Per the current guidelines a total of 111 parking spaces is required. We request a reduction in the requirement for a total of 75 parking spaces. Our average daily use for number of employees will be 20 during non-peak. At a peak time, our maximum parking needs would be 30 which would include employee parking as well as visitors to the facility.
- 3) A deviation from section 154.41 Landscape and Buffer Requirements division (M) item 5. The current requirement is to install an 8-foot high solid block wall from the start of the SF-3 development along the east property line down to the south property line, approximately 1,970 liner foot of wall. We request a deviation for an Alternative Landscape Plan per 154.41 division (I) to substitute the solid wall with evergreen trees to create the screening requirement. We also request a reduction in the length of the screening requirement to screen the current developed part of the site, 845 liner foot. We agree to continue the screening for any future development on the site. The current site sheet flows from the west to the east into the existing drainage swale along the east property line. An evergreen tree screening wall would allow for the site to continue sheet drainage into the swale.

We appreciate your consideration of these requests.

Very truly yours,

A handwritten signature in black ink, appearing to read "Hugo Provencher", written over a horizontal line.

Hugo Provencher
Vice President
Ferti Technologies

Staff Report

SUP/SITE PLAN – 100 E FM 2449 – FERTI TECHNOLOGIES	
P & Z Meeting: July 7, 2021	Agenda Item No.: 4

Here is an excerpt from Town Engineer, George Belcheff's review letter (attached in full)

Submittal information suggests that the proposed use is allowed in an M1 district subject to certain clarifications. The applicant has provide certification from a corporate representative stating that "the proposed uses do not emit dust, smoke, odor, gas, fumes, or present a possible hazard beyond the bounding property lines of the lot or tract upon which the use or uses are located, and which do not generate noise or vibration at the boundary of the lot or tract which is generally perceptible in frequency or pressure above the ambient level of noise or vibration in the adjacent area."

Town Engineer's Recommendation –

If the Town is inclined to approve the requested SUP with Site Plan, it is recommended that the following conditions be included:

1. Acceptance of certain structure heights in excess of the allowed 50' to a maximum of 70' as shown in the Site Plan
2. Acceptance of phased Landscaping Plan as shown in the Site Plan
3. Approval of reduced parking to 75 spaces as shown in the Site Plan
4. Resolution of construction plan comments to the satisfaction of the Town Engineer and Public Works Director
5. Authorizing the Mayor to enter the Town into a Development Agreement to include provisions for:
 - a. Developer design/installation and funding of onsite 8" public water lines
 - b. Developer funding of onsite 8" portion with Town design/installation and funding of oversizing to 12" as shown on the Site Plan
 - c. Town design/installation and funding of offsite 12" FM 156/BNSF RR water line crossing
6. Dedication of all necessary water/sewer utility easements by separate instrument

Belcheff & Associates, Inc.

Municipal Engineering & Management
TBPE Reg. No. F-368

1660 Keller Pkwy., Ste. 103
Keller, Texas 76248

June 16, 2021

Via e-mail to cfarmer@pondertx.com

Matthew Poole, Mayor
Chairperson Planning & Zoning Commission
Town of Ponder
102 W Bailey St
Ponder, TX 76259

Re: *Site Plan – Lot 1 Block A Tieszen Industrial Park Addition (Ferti Technologies Plant Renovation)*

Dear Mayor Poole:

The Town has received a Site Plan submittal from KAZ Surveying, Denton, Texas, representing Ferti Management Corp., of Phoenix, Arizona. The application is requesting to perform certain renovations to the industrial site located at 100 E. FM 2449 within the Town.

This letter provides review comments on the submittal “Ferti Technologies – Plant Renovation, which includes certain sheets culled from a construction plan set dated 03/22/2021, as amended, namely those sheets that provide the Town with data required for a Site Plan as required by the Town’s Zoning Ordinance. Those sheets have been attached with comments included by the Town Engineer.

Location – south side of FM 2449 approx. east of FM 156, within Ponder Corporate Limits (City)

Comprehensive Plan – Proposed Use - Industrial

1. Future Land Use Plan – Industrial
2. Thoroughfare Plan –
 - a) P5U at north boundary (FM 2449) – *no additional ROW proposed or required*
3. Sewer Master Plan –
 - a) service to be provided via existing 8” collector at east boundary
4. Water Master Plan –
 - a) existing 8” waterline at northeast boundary of lot (south side FM 2449)
 - b) required 8” extension at north side of lot (12” oversizing by Town)
 - c) required 8” crossing extension to west side of FM 156 existing 12” (12” oversizing by Town)
 - d) required 8” waterline loop around building for fire hydrant coverage

Mayor Mathew Poole
 June 16, 2021
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- e) required 8” extension to south boundary of lot for fire flow capability (10” at Robinson Rd Pump Station)

Zoning

- a) M1 (Manufacturing/Industrial District - Light) - *proposed use should certify as compliant with current zoning*

<u>Height, Area and Setback Regulations</u>	<i>SF-3 (ad-joins)</i>	<i>C-1 (ad-joins)</i>	<i>M-1</i>	<i>Compliance?</i>
Maximum height (feet)			50	No – towers at 70’ (SUP condition)
Minimum lot area (square feet)	6,000	B	B	Yes
Minimum front yard setback (feet)	25	B	B	Yes
Minimum side yard setback (feet) ^D	5	B	B	Yes
Minimum rear yard setback (feet)	10	B	B	Yes
Minimum lot width (feet)	60	B	B	Yes
Minimum lot depth (feet)	100	B	B	Yes
Maximum lot coverage (%)	50	B	B	Yes
Minimum living area (square feet)	1,200	NA	NA	NA

- A. Total lot area shall not be less than 9,000 SF, or 1,500 SF per dwelling unit, whichever is greater. A maximum of 25 units may be constructed per acre.
- B. None required, except where **nonresidential use abuts a residential** or agricultural lot, in which case the requirements shall be the same as the adjoining residential zone and shall comply with visibility and parking requirements as provided within this chapter. **(SUP condition)**
- C. At the most extruding point of the outside wall excluding the overhang only.
- D. If the lot size is greater than 15,000 square feet, then the side yard adjacent to the street setback will be 25 feet. If the lot size is less than 15,000 square feet, then the side yard adjacent to the street setback will be 15 feet. Key lot setbacks will be 25 feet with 2 front yards.

Submittal Analysis

The referenced site was reportedly occupied by Southwest Molding, a non-conforming use with respect to site requirements of the Town’s development regulations. Southwest Molding ceased operations (use) in excess of six months; and as such is no longer grandfathered. Any reoccupation of the property is therefore required to be compliant with the Town’s regulations. This analysis is therefore provided with the intent of evaluating the applicant’s submittal package with respect to the Town’s current development ordinances, more specifically, Zoning and Subdivision requirements.

Submittal information suggests that the proposed use is allowed in an M1 district subject to certain clarifications. The applicant has provide certification from a corporate representative stating that “the proposed uses do not emit dust, smoke, odor, gas, fumes, or present a possible hazard beyond the bounding property lines of the lot or tract upon which the use or uses are located, and which do not generate noise or vibration at the boundary of the lot or tract which is generally perceptible in frequency or pressure above the ambient level of noise or vibration in the adjacent area.” (Ref. letter dated May 11, 2021 by Hugo Provencher, Vice President)

Current data indicates that the Town does not have adequate water distribution capacity to serve projected demands (potable uses and fire flows) of the proposed redevelopment. To

Mayor Mathew Poole
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meet such demands, certain water system extensions are necessary, both onsite and off. The development proposes to install an 8" waterline along the east side of the lot and around the building, connecting two existing lines north and south of the lot; and an 8" along the northwest side of the lot, connecting to an existing 12" line on the west side of FM 156.

The Town's Water Master Plan recommends this northwest extension as a 12" in which the Town should participate in oversizing, as well as providing the 12" extension under FM 156 and RR property. Additional easements are necessary and are shown on the comment mark-up plans.

Additional onsite fire hydrants/fire department connections/emergency vehicle (fire lanes) access routing will also be necessary, subject to Fire Marshal concurrence. Such provisions have been shown in the Site Plan packet. [3500 gpm; 4 hydrants; 210' coverage]

The submittal drawings reference a proposed fire suppression (sprinkler) system which is to include a booster pump. Such pumps can cause the Town's water system to violate TCEQ operating requirements and will need additional study once the distribution system improvements are available. The Site Plan provides an agreement to resolve.

The existing 8" sewer line at the east side of the lot should have sufficient capacity for typical wastewater generators shown in the Site Plans but is subject to periodic overcharging. This line is funded by the Town for replacement with a larger sewer line to assure capacity for this and other properties. Additional easement space will be necessary and is shown on the comment mark-ups. No special pre-treatment requirements are evident from the submittal.

The submitted Site Plan information does not provide sufficient drainage study/planning information to ensure that stormwater will be appropriately managed. While the lot appears to be within a designated flood plain, no information has been provided to allow for proper review and permitting under the Town's Floodplain Development regulations.

Access to the site is via an existing single drive to FM 2449. The applicant has submitted a preliminary vehicle trip report indicating that the drive should be sufficient for the proposed use; therefore, no further Traffic Impact Analysis should be required.

Two separate entrances are usually required to meet the Town's Fire code requirements. The applicant has proposed to maintain the existing single drive in which case the Town's Fire Marshal was consulted to verify adequacy due to certain allowances in the Fire Code since the applicant will be installing a full fire sprinkler system.

An ongoing TxDOT FM 2449 Feasibility Study does not suggest that this development accommodate future ROW expansion to the south of the current limits.

The proposed parking areas (111 spaces) do not meet space counts as required for this project; however, the applicant has provided additional information to justify a reduction to 75 spaces as proposed in the Site Plan.

The submittal packet includes a Landscaping Plan, which appears to generally comply with the Town's Screening and Landscaping requirements for the existing developed portion of

Mayor Mathew Poole
 June 16, 2021
 Page 4 of 5

the Lot. The applicant has requested via their SUP to defer future expansion of their screening until the remaining southern portion of the Lot is developed.as noted on the attached mark-up.

The Site Plan includes a Photometric Analysis demonstrating that proposed lighting within the Site Plan should meet the limitations of this zoning district.


Please note that a Development Agreement is required for proposed public improvements.

Town Engineer's Recommendation –

If the Town is inclined to approve the requested SUP with Site Plan, it is recommended that the following conditions be included:

1. Acceptance of certain structure heights in excess of the allowed 50' to a maximum of 70' as shown in the Site Plan
2. Acceptance of phased Landscaping Plan as shown in the Site Plan
3. Approval of reduced parking to 75 spaces as shown in the Site Plan
4. Resolution of construction plan comments to the satisfaction of the Town Engineer and Public Works Director
5. Authorizing the Mayor to enter the Town into a Development Agreement to include provisions for:
 - a. Developer design/installation and funding of onsite 8" public water lines
 - b. Developer funding of onsite 8" portion with Town design/installation and funding of oversizing to 12" as shown on the Site Plan
 - c. Town design/installation and funding of offsite 12" FM 156/BNSF RR water line crossing
6. Dedication of all necessary water/sewer utility easements by separate instrument

Sincerely,



George Belcheff, P.E.
 Town Engineer for Ponder

Attached: Ferti Technologies Plant Renovation [Site Plan] dated 03/22/2021 as amended Review Mark-up

cc: Planning & Zoning Commission/Town Council Members *via meeting packets*
 Sheri Clearman, Town Secretary *via e-mail*
 Gary Morris, Director of Public Works *via e-mail*

Mayor Mathew Poole
June 16, 2021
Page 5 of 5

Carolyn Farmer, Planning & Zoning Director *via e-mail*
Applicant/Engineer/Surveyor



Town of Ponder Planning & Zoning
102 W. Bailey Street
Ponder, TX 76259

May 11, 2021

Re: Ferti Technologies Specific Use Permit

Dear Sir/Madame,

Ferti Technologies is requesting a Specific Use Permit for deviations from the Town of Ponder Code of Ordinances for the following items:

- 1) A deviation from Appendix B, Table 2: Height, Area and Setback Regulations. The current allowable height for a M-1 district is 50-feet. We request a deviation to allow the two proposed receiving elevators to be 70-feet tall and the two proposed unloading elevators with hoppers to be 60-feet tall. This equipment at the requested height is essential to the efficient operation of the plant.
- 2) A deviation from section 154.38 Off-Street Parking and Loading Requirements division (F) items 20, 25 & 36. Per the current guidelines a total of 111 parking spaces is required. We request a reduction in the requirement for a total of 75 parking spaces. Our average daily use for number of employees will be 20 during non-peak. At a peak time, our maximum parking needs would be 30 which would include employee parking as well as visitors to the facility.
- 3) A deviation from section 154.41 Landscape and Buffer Requirements division (M) item 5. The current requirement is to install an 8-foot high solid block wall from the start of the SF-3 development along the east property line down to the south property line, approximately 1,970 liner foot of wall. We request a deviation for an Alternative Landscape Plan per 154.41 division (I) to substitute the solid wall with evergreen trees to create the screening requirement. We also request a reduction in the length of the screening requirement to screen the current developed part of the site, 845 liner foot. We agree to continue the screening for any future development on the site. The current site sheet flows from the west to the east into the existing drainage swale along the east property line. An evergreen tree screening wall would allow for the site to continue sheet drainage into the swale.

We appreciate your consideration of these requests.

Very truly yours,

A handwritten signature in black ink, appearing to read "Hugo Provencher", written over a horizontal line.

Hugo Provencher
Vice President
Ferti Technologies



Town of Ponder Planning & Zoning
102 W. Bailey Street
Ponder, TX 76259

May 11, 2021

Re: Ferti Technologies Specific Use Permit

Dear Sir/Madame,

As you are aware, Ferti Technologies is applying for a special use permit for our new facility in Ponder. This is confirmation that the proposed use of the facility shall not emit dust, smoke, odor, gas, fumes, or present a possible hazard beyond the bounding property lines of Lot 1 Block A, Tieszen Industrial Park, and shall not generate noise or vibration at the boundary of the lot which is generally perceptible in frequency or pressure above the ambient level of noise or vibration in the adjacent area. The facility is self-contained and will have no environmental impact on the surrounding area.

Very truly yours,

A handwritten signature in black ink, appearing to read "Hugo Provencher", written over a horizontal line.

Hugo Provencher
Vice President
Ferti Technologies

Voigt Associates, Inc.

Professional Traffic Engineers
Texas Registered Firm F-5333

2631 Lakecrest Drive
Pearland, Texas 77584
832.264.0429
tony@voigtassociates.com

May 20, 2021

Mr. Todd Eppenbach
Inventure Design
3118 Richmond Avenue, Suite 200
Houston, Texas 77098

**RE: Trip Generation Estimate, Ferti Technologies
100 East FM 2449, Ponder, Texas 76259**

Dear Mr. Eppenbach:

Per the City of Ponder's request, this brief letter report documents the anticipated trip generation for Ferti Technologies redevelopment of the existing industrial building located at 100 East FM 2449. Ferti Technologies provides granular fertilizer products and is planning to repurpose the existing 98,000 SF industrial building on 23.2 acres to a fertilizer manufacturing facility. Access to the site is via one 56' wide driveway located on FM 2449 about 360' east of FM 156. Exhibit A1 (attached in Appendix A) shows the project location. Exhibit A2 shows the site layout.

To estimate trip generation of the fertilizer manufacturing facility, the Institute of Transportation Engineers' *Trip Generation Manual (10th Edition)* was used to estimate trips to the site using Land Use #140 – Manufacturing. Information from Ferti Technologies indicates that the site will employ 30 persons and will have fewer than 20 truck trips (ten in and ten out) during the typical weekday.

Based on using the most relevant independent variable of *employees* for the proposed facility, the manufacturing land use generates trips at the following trip rates:

- Total Daily Trips: 2.47 trips/employee
- Weekday AM Peak Hour Trips (of trip generator): 0.43 trips/employee
- Weekday PM Peak Hour Trips (of trip generator): 0.45 trips/employee.

Based on *trip rates*, with 30 employees, the site is expected to generate the following number of trips:

- Total Daily Trips: 74 (37 entering and 37 exiting)
- Weekday AM Peak Hour: Total: 13 trips; Entering: 10 vehicles; Exiting: 3 vehicles
- Weekday PM Peak Hour: Total: 14 trips; Entering: 6 vehicles; Exiting: 8 vehicles.

The *Trip Generation Manual* also provides the option to generate trip estimates based on regression analysis and fitted curves. Based on these *fitted curves*, with 30 employees, the site is expected to generate the following number of trips:

- Total Daily Trips: 112 (56 entering and 56 exiting)
- Weekday AM Peak Hour: Total: 49 trips; Entering: 40 vehicles; Exiting: 9 vehicles
- Weekday PM Peak Hour: Total: 36 trips; Entering: 16 vehicles; Exiting: 20 vehicles.

Per Section 153.118 (Traffic Impact Analysis Required) of the Ponder city ordinances, a traffic impact analysis may be required if a site generates more than 250 trips per peak hour. Since

Voigt Associates, Inc.

Professional Traffic Engineers
Texas Registered Firm F-5333

Mr. Todd Eppenbach
May 20, 2021
Page 2

this development would be expected to generate less than 250 trips per hour (with peak hour trip estimates ranging from 13 to 49 trips per hour), a formal traffic impact analysis should not be required.

Voigt Associates appreciates the opportunity to assist you with this project. If you have any questions about the analysis or the results of this report, please feel free to contact me at 832-264-0429.

Sincerely,



Anthony Voigt, P.E., PTOE
Principal

Attachments:

Appendix A. Exhibits





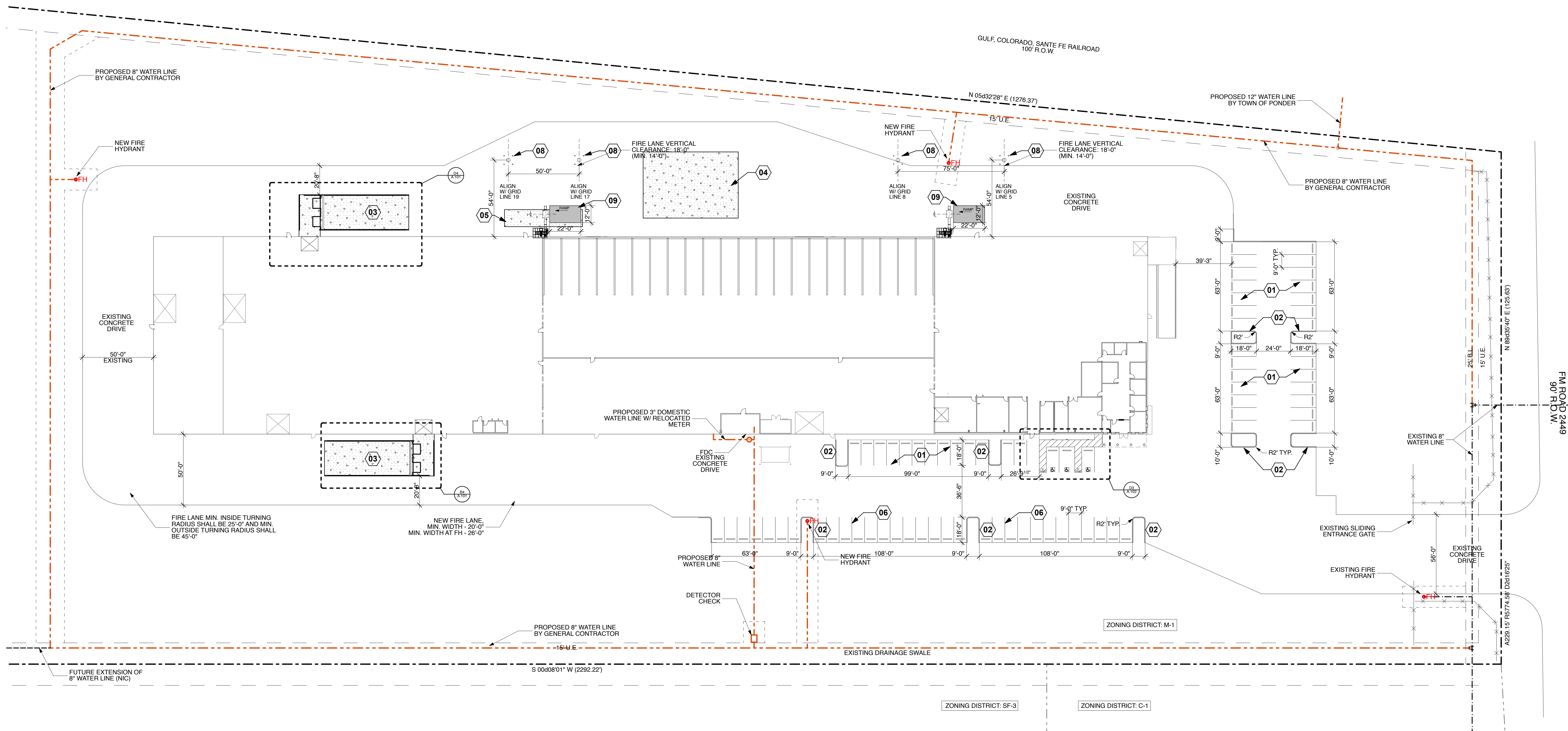
Exhibit A1. Site Location Map.

North to top of page. Not to scale.

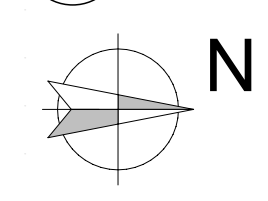


Ferti Technologies
100 E. FM 2449
Ponder, Texas 76259

#	date	issue name
01	3/22/21	ISSUED FOR PERMIT & PRICING
	5/12/21	SPECIFIC USE PERMIT



B6 Site Plan
SCALE: 1/32" = 1'-0"



Site Plan Notes

#	Note
01	RE-STRIPE EXISTING PARKING LOT AS SHOWN AND INSTALL CONCRETE WHEEL STOPS AT EACH PARKING STALL; 4' STRIPES PAINTED WHITE
02	NEW LANDSCAPE ISLAND WITH 6" CONCRETE CURB
03	NEW DEPRESSED TRUCK LOADING DOCK
04	NEW CONCRETE PAVING WHERE ELEVATED CONCRETE PADS WERE REMOVED; RE: CIVIL DRAWINGS
05	NEW CONCRETE PAVING WHERE DEPRESSED LOADING DOCK WAS REMOVED; RE: CIVIL DRAWINGS
06	STRIPES EXISTING CONCRETE PAVING AS SHOWN; 4' STRIPES PAINTED WHITE
08	NEW STRUCTURAL SUPPORT FOR UNLOADING ELEVATORS; RE: STRUCTURAL DRAWINGS. PROVIDE FOUR PIPE BOLLARDS AT EACH SUPPORT; RE: DETAIL B1/A.102
09	NEW CONCRETE RAMP FOR TRUCK UNLOADING, 22' LONG, 12' WIDE, 1" HIGH AT TOP OF RAMP; RE: CIVIL DRAWINGS

154.38 OFF-STREET PARKING AND LOADING REQUIREMENTS

DIV. F 20. MANUFACTURING, PROCESSING OR REPAIRING
ONE PARKING SPACE FOR EACH 2 EMPLOYEES ON THE MAXIMUM WORKING SHIFT, PLUS SPACE TO ACCOMMODATE ALL VEHICLES USED IN CONNECTION THEREWITH, BUT NOT LESS THAN 1 SPACE FOR EACH 1,000 SQUARE FEET OF FLOOR AREA, WHICHEVER IS GREATER.

54,670 SQ. FT. / 1,000 = 55 PARKING SPACES

DIV. F 25. OFFICE, GENERAL:
ONE SPACE FOR EACH 300 SQUARE FEET OF TOTAL FLOOR AREA.

4,851 SQ. FT. / 300 = 17 PARKING SPACES

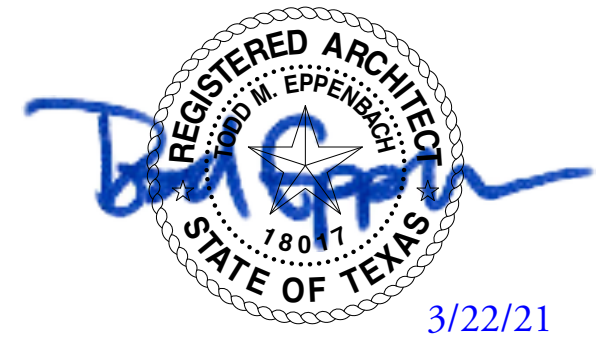
DIV. F 36. STORAGE OR WAREHOUSING:
ONE SPACE FOR EACH 2 EMPLOYEES, OR 1 SPACE FOR EACH 1,000 SQUARE FEET OF TOTAL FLOOR AREA, WHICHEVER IS GREATER.

38,371 SQ. FT. / 1,000 = 39 PARKING SPACES

REQUIRED: 55+17+39 = 111 PARKING SPACES;
TOTAL PARKING SPACES PROVIDED = 106

REQUIRED ACCESSIBLE PARKING SPACES = 5 (1 VAN);
TOTAL PROVIDED = 111

NOTE - A SPECIFIC USE PERMIT HAS BEEN SUBMITTED FOR APPROVAL TO REDUCE THE REDUCE THE PARKING FROM 111 SPACE DOWN TO 75 SPACES



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PROJECT NUMBER
20.175.00

DRAWING NAME
Site Plan

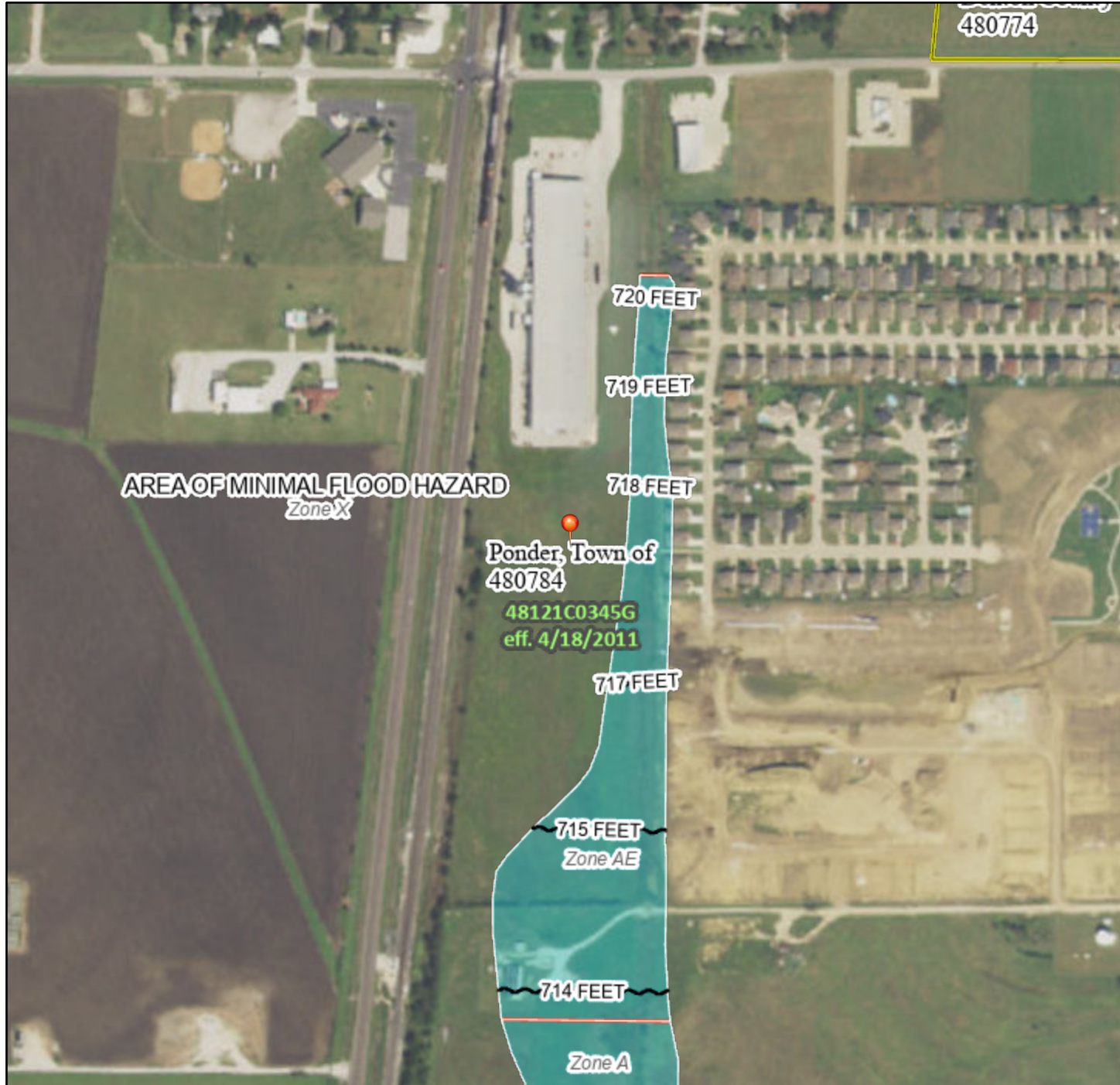
DRAWING NUMBER

A.100

National Flood Hazard Layer FIRMMette



97°17'31"W 33°10'49"N



Legend

Item 7.

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard <i>Zone D</i> |
| | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance |
| | | 17.5 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| MAP PANELS | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |
| | | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location. |



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/21/2021 at 8:59 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map image unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

97°16'54"W 33°10'19"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Ferti Technologies Plant Renovation

100 E. FM 2449 Ponder, Texas 76259

Inventure

1 469.889.2713
2118 Richmond Ave
Suite 200
Houston, TX 77058
inventure-design

CONSULTANTS



PROJECT NAME



Ferti
Technologies
100 E. FM 2449
Ponder, Texas 76259

Date Issue Name

01 3/22/21 ISSUED FOR PERMIT & PRICING

Architectural Design:

Inventure

Inventure
2118 Richmond Ave
Suite 200
Houston, TX 77058
1 469.889.2713
inventure-design
inventure-design, LLC

Civil / Structural Design:



GeislerPender Consulting Engineers
1500 North Central Expressway
Suite 701
Dallas, TX 75243
469.406.2408
k@geislerpender.com, PE

MEP Design:



DBR Engineering
15011 Spectrum Drive
Suite 301
Addicks, TX 75001
214.217.8500
k@dbreng.com, PE



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20.175.00

DRAWING NAME

Cover Sheet

DRAWING NUMBER

G.000

T 480.213.3070
2001 N. Lamar St.
Dallas, TX 75202
inventure.design

CONSULTANTS

Jonathan Ponder
Principal
Sasha Ponder
Engineer - 18432

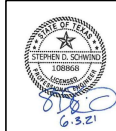
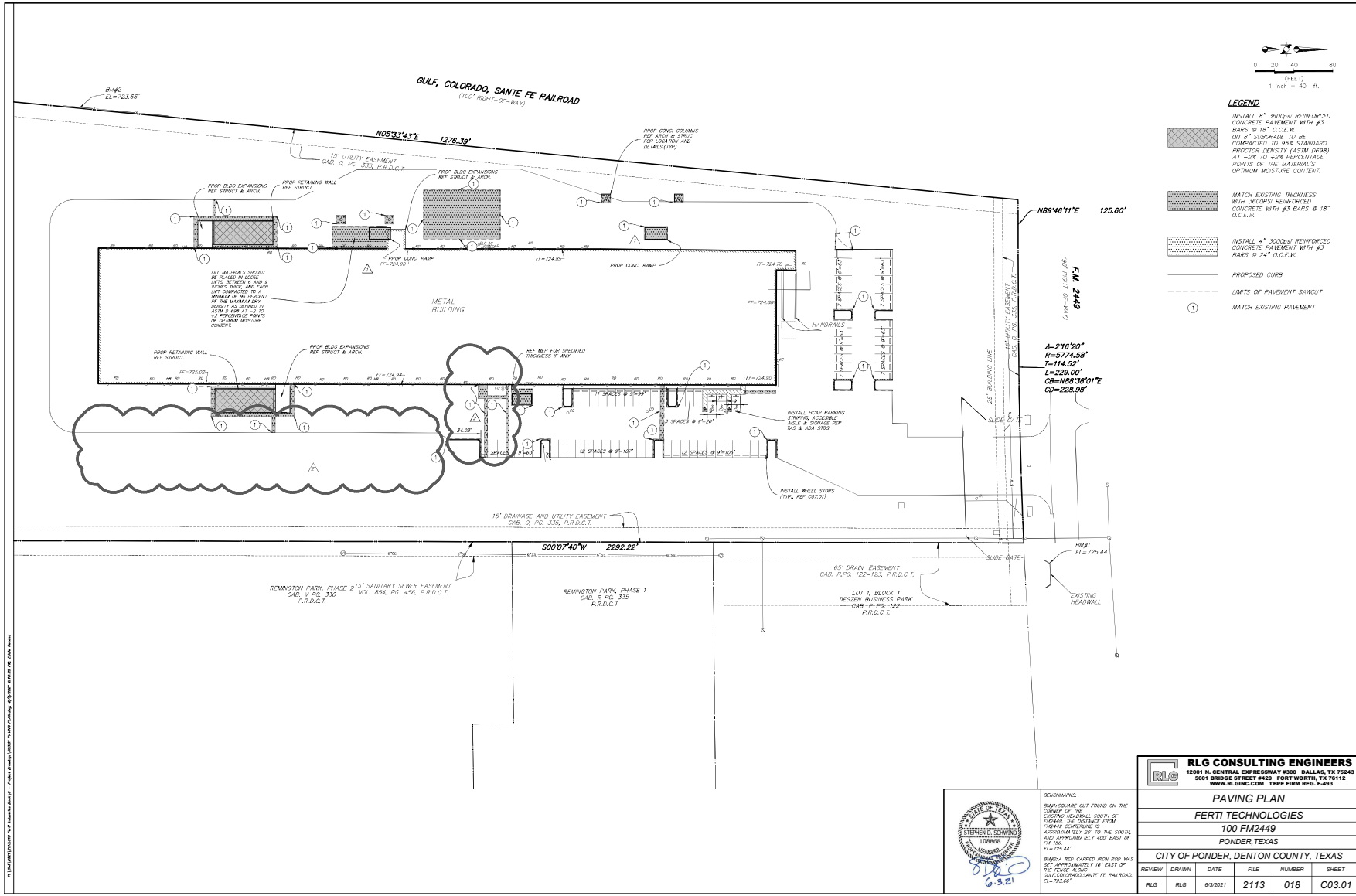
Project Number: 20020
12001 N. Central Expressway, Suite 501
Dallas, Texas 75243
Tel: 469.350.1100
Fax: 469.350.1101
www.gripinstitute.com

FERTI TECHNOLOGIES



Ferti Technologies
100 E. FM 2449
Ponder, Texas
76259

#	Date	Issue Name
E	3/01/2021	ISSUED FOR PRICING
A	3/01/2021	ADDENDUM 1
A	6/21/2021	PERMIT REVISIONS



REVISIONS:
 SMALL SQUARE CUT FOUND ON THE CORNER OF THE EXISTING HEADWALL SOUTH OF THE HIGHWAY OVERPASS FROM APPROXIMATE 15' TO THE SOUTH AND APPROXIMATE 1' EAST EAST OF THE CURB.
 (1) A RED CEMENT WORK STOP WAS SET IMMEDIATELY TO THE EAST OF THE STOP ALONG THE CURB ALONG THE CURB ALONG THE PAVEMENT TO THE PAVEMENT EL=725.44

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 9401 BRIDGE STREET #400, FORT WORTH, TX 76114
 WWW.RLGINC.COM TEL: 817.350.7493

PAVING PLAN

FERTI TECHNOLOGIES

100 FM2449

PONDER TEXAS

CITY OF PONDER, DENTON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	6/3/2021	2113	018	C03.01

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DRAWING NAME:
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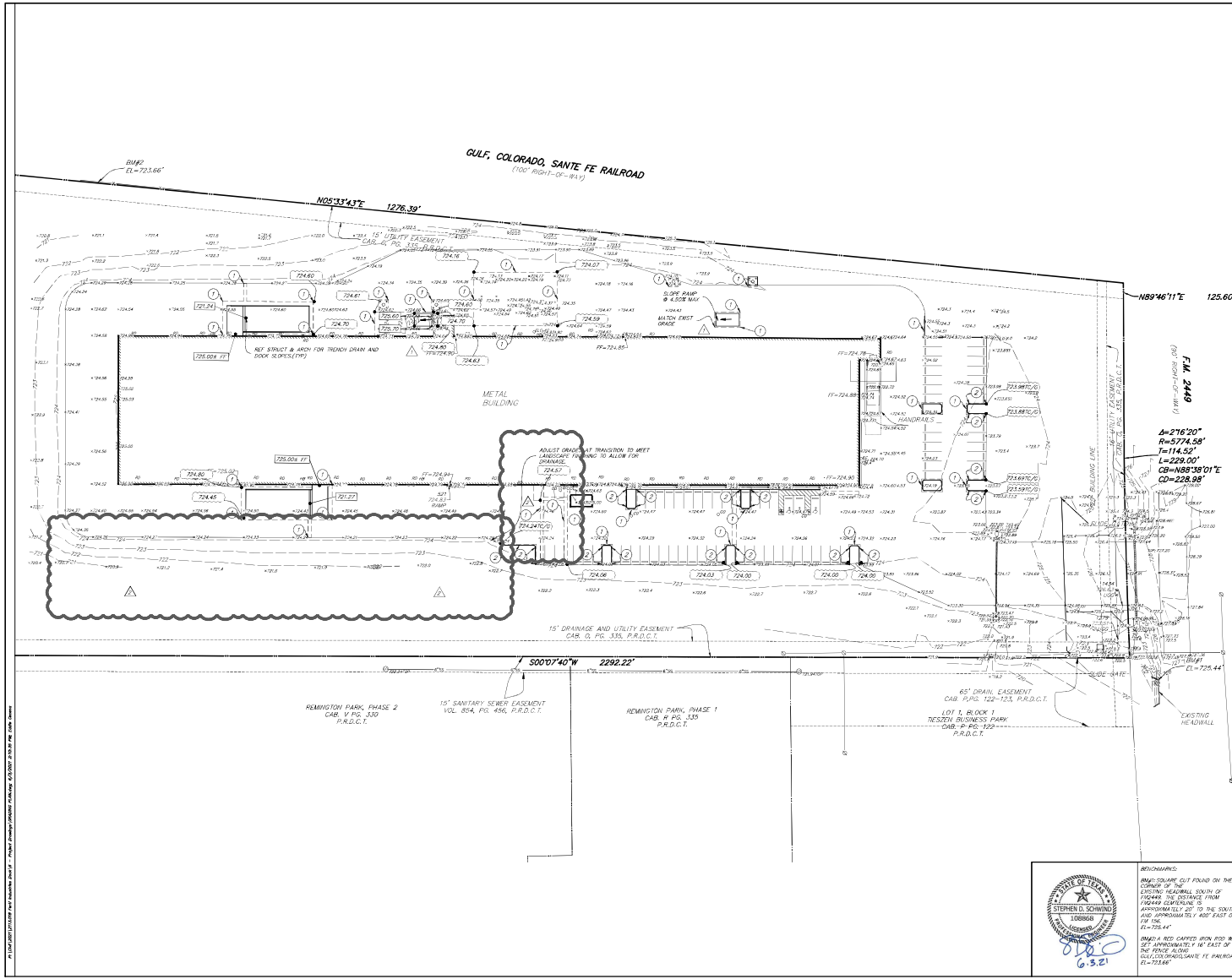
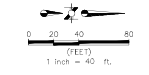
DRAWING NUMBER:
C03.01

T 460.13.0070
2001 N. Lamar St.
Dallas, TX 75242
inventure.design

CONSULTANTS

Geotek Ponder
Civil Engineering
Soils/Pavement/Concrete
Engineering - 184.642

Project Number: 20020
12001 N. Central Expressway, Suite 101
Dallas, Texas 75243
Tel: 972.350.1300
Fax: 972.350.1305
www.geotekpond.com



LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SAIKUT
- ① MATCH EXISTING PAVEMENT GRADE
- ② 16" W.A.C. 0"-6"

FERTI TECHNOLOGIES



Ferti Technologies
100 E. FM 2449
Ponder, Texas
76259

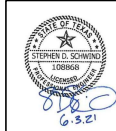
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A	3/21/2021	ADDendum 1
A	6/2/2021	PERMIT REVISIONS

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12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
9001 BRIDGE STREET #400, FORT WORTH, TX 76112
WWW.RLGINC.COM TYPE FIRM REG. F-493

GRADING PLAN

FERTI TECHNOLOGIES
100 FM2449
PONDER TEXAS
CITY OF PONDER, DENTON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	6/9/2021	2113	018	C04.01



REVISIONS:
1. SMALL SQUARE CUT FOUND ON THE CORNER OF THE EXISTING HEADWALL SOUTH OF HIGHER ELEVATION IS TO BE REMOVED AND APPROXIMATELY 4' EAST OF THE CUT.
2. A RED CAPPED 18" DIA. 18" DEEP MANHOLE TO BE INSTALLED AT EAST OF THE ABOVE ALSO TO BE APPROXIMATELY 4' EAST OF THE CUT.
3. EXISTING HEADWALL EL=725.44

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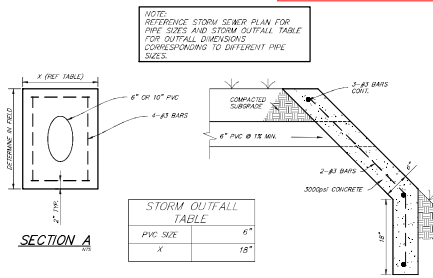
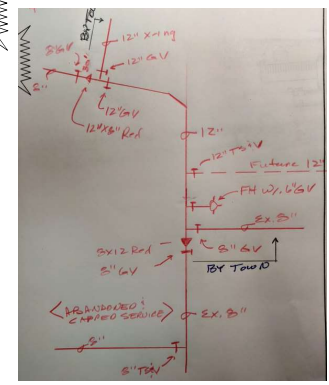
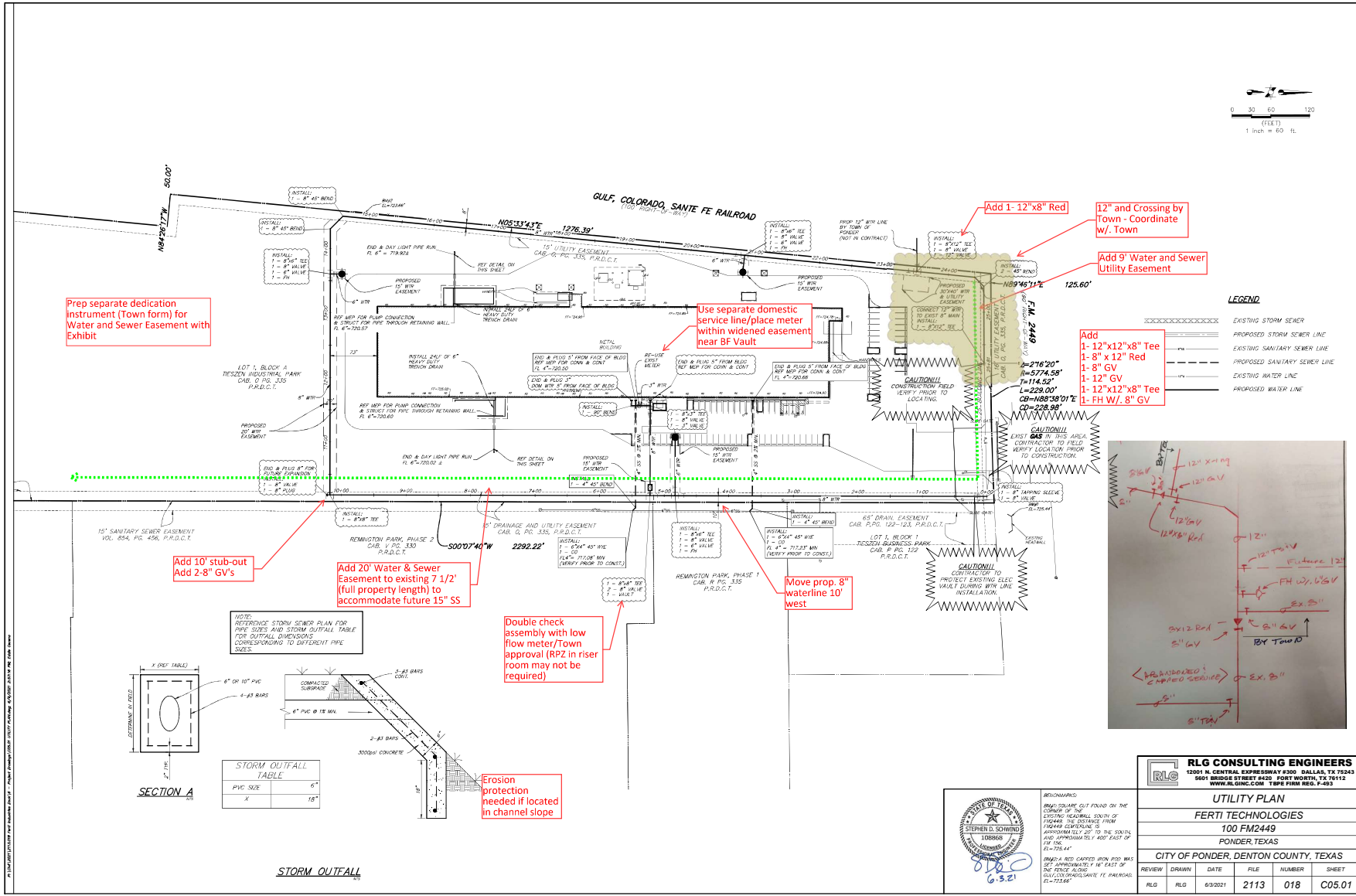
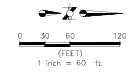
PROJECT NUMBER
20.175.00

DRAWING NAME
GRADING PLAN

DRAWING NUMBER
C04.01

T 465213.0070
2001 N. Lamar St.
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CONSULTANTS
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Sasha Ponder
Project Number: 20020
1000 N Central Expressway, Suite 501
Dallas, Texas 75243
Tel: 972.350.1300
Fax: 972.350.1300
www.gustafponder.com

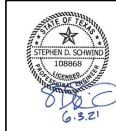


NOTE: REFER TO STORM SEWER PLAN FOR PIPE SIZES AND STORM OUTFALL TABLE FOR OUTFALL DIMENSIONS CORRESPONDING TO DIFFERENT PIPE SIZES.

RLG CONSULTING ENGINEERS
12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
9401 BRIDGE STREET #400, FORT WORTH, TX 76117
WWW.RLGINC.COM TYPE FIRM REG. F-493

UTILITY PLAN
FERTI TECHNOLOGIES
100 FM2449
PONDER TEXAS
CITY OF PONDER, DENTON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	6/3/2021	2113	018	C05.01



REVISIONS:
SMALL SQUARE CUT FOUND ON THE CORNER OF THE EXISTING NEARLY SOUTH OF HIGHWAY CLAPLINE IS APPROXIMATELY 10' TO THE SOUTH AND APPROXIMATELY 400' EAST OF PL=726.44'
MAYBE A RED CAPTED W/IN 800' WAS SET APPROXIMATELY 10' EAST OF THE W/INCE ALONG GULF COAST/SHADDADE FE PARKWAY PL=726.64'



Ferti Technologies
100 E. FM 2449
Ponder, Texas
76259

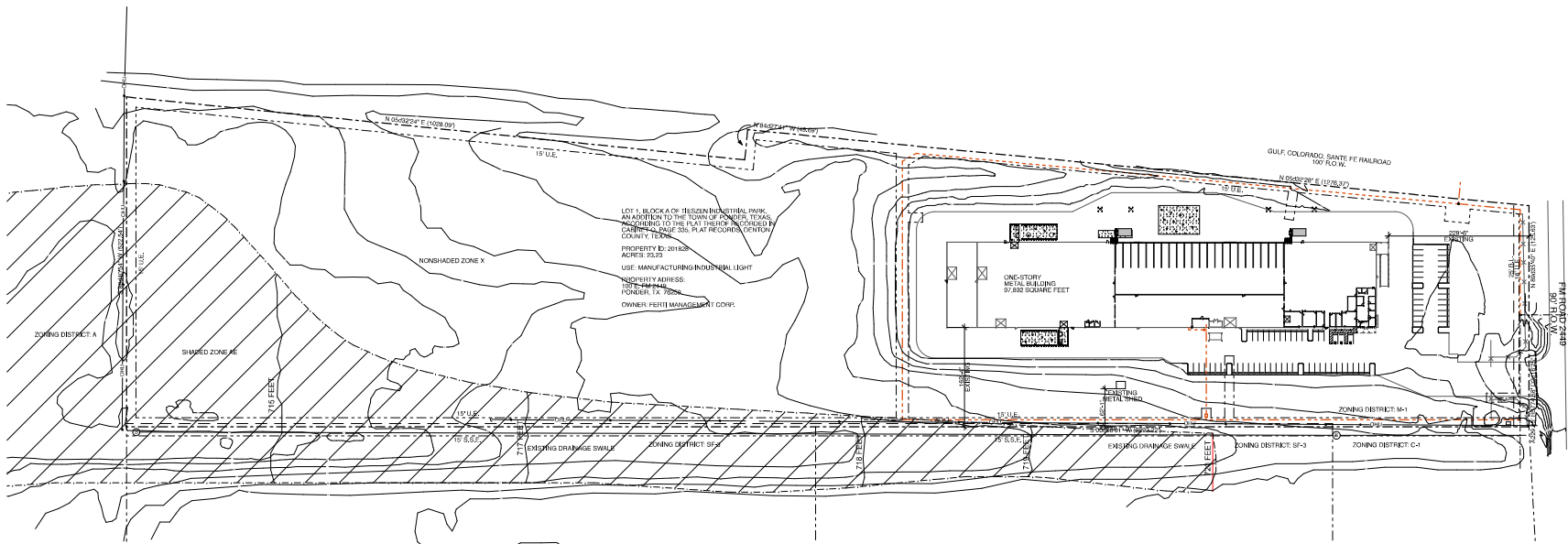
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1	3/21/2021	ISSUED FOR PRICING
2	6/3/2021	PERMIT REVISIONS

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PROJECT NUMBER: 20175.00

DRAWING NAME: **UTILITY PLAN**

DRAWING NUMBER: **C05.01**



C6 Site Plan
SCALE: 1" = 40'

Inventure

1 469.889.3713
2188 Boardman Ave
Suite 200
Houston, TX 77058
inventure-design

CONSULTANTS
Geisler Pender
Consulting Engineers + Inc.



PROJECT NAME
ferti
TECHNOLOGIES

Ferti
Technologies
100 E. FM 2449
Ponder, Texas 76259

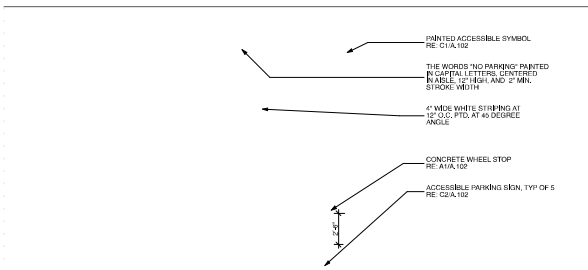
#	Date	Issue Name
02	5/24/22	PERMIT REVISIONS

SITE IMPROVEMENTS
SITE TOTAL SQUARE FOOTAGE = 1,012,079 SF
EXISTING SITE IMPERVIOUS SURFACE AREA = 234,546 SF (23.24%)
PROPOSED SITE IMPERVIOUS SURFACE AREA = 233,433 SF (23.14%)
THE PROPOSED SITE WORK DECREASES THE IMPERVIOUS SURFACE AREA BY 1,112 SF OR 0.2%

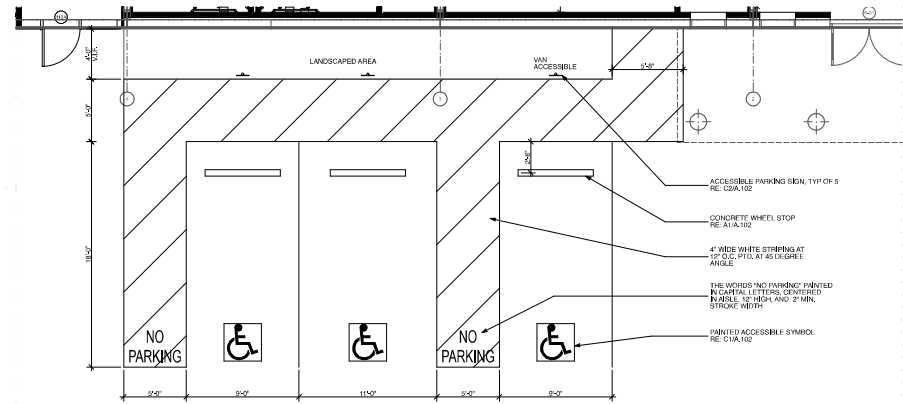


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PROJECT NUMBER
20.175.00
DRAWING NAME
Site Plan
DRAWING NUMBER

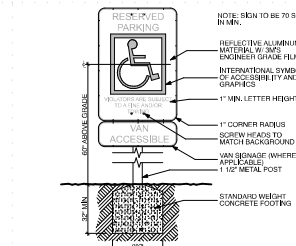
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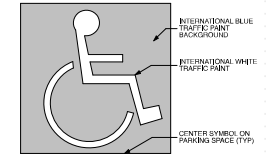
D6 Accessible Parking
SCALE: 1/4" = 1'-0"



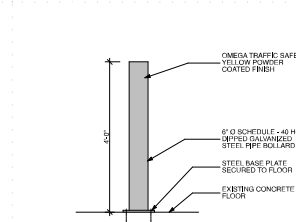
D3 Accessible Parking
SCALE: 1/4" = 1'-0"



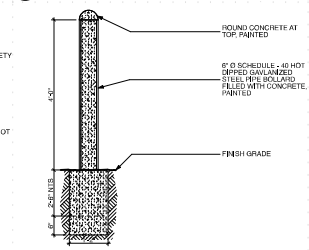
C2 Reserved Parking Indicator
SCALE: 1/2" = 1'-0"



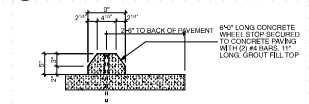
C1 Accessible Symbol
SCALE: 3/4" = 1'-0"



B2 Surface Mounted Bollard Detail
SCALE: 3/4" = 1'-0"



B1 Exterior Bollard Detail
SCALE: 3/4" = 1'-0"



A1 Concrete Wheel Stop
SCALE: 1" = 1'-0"



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PROJECT NUMBER

20.175.00

DRAWING NAME

Site Plan Details

DRAWING NUMBER

A.102

Inventure

1469.889.3713
 3180 Boardman Ave
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CONSULTANTS

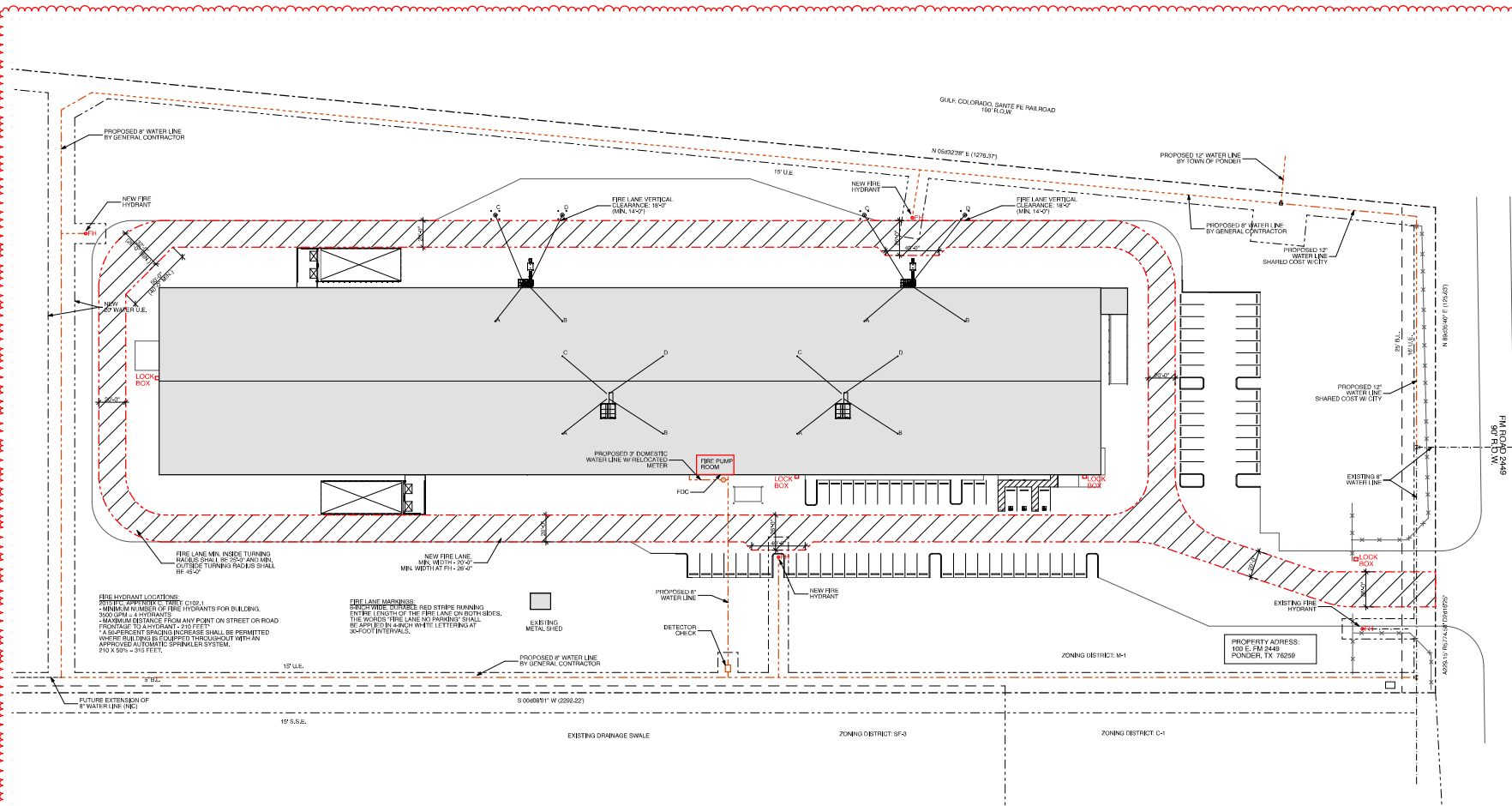


PROJECT NAME



Ferti
 Technologies
 100 E. FM 2449
 Ponder, Texas 76259

#	Date	Issue Name
02	5/26/23	PERMIT REVISIONS



FIRE HYDRANT LOCATIONS:
 - SPECIFIC APPROXIMATE TO HYDRANT CENTER
 - MINIMUM NUMBER OF FIRE HYDRANTS FOR BUILDING: 2
 - MINIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD TO HYDRANT: 210 FEET
 - MINIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD TO HYDRANT: 210 FEET
 - AS NECESSARY, SPECIFIC DISTANCE INCREASE SHALL BE PERMITTED WHERE FIRE LINES IS COMBINED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
 THIS A 200' - 210 FEET.

FIRE LANE MARKINGS:
 - PAINTED SURFACE RED STRIPS RUNNING ENTIRE LENGTH OF THE FIRE LANE ON BOTH SIDES.
 - THE WORDS "FIRE LANE NO PARKING" SHALL BE APPLIED IN LARGE WHITE LETTERING AT 30-FOOT INTERVALS.

B6 Fire Protection Plan
 SCALE: 1/8" = 1'-0"



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PROJECT NUMBER

20.175.00

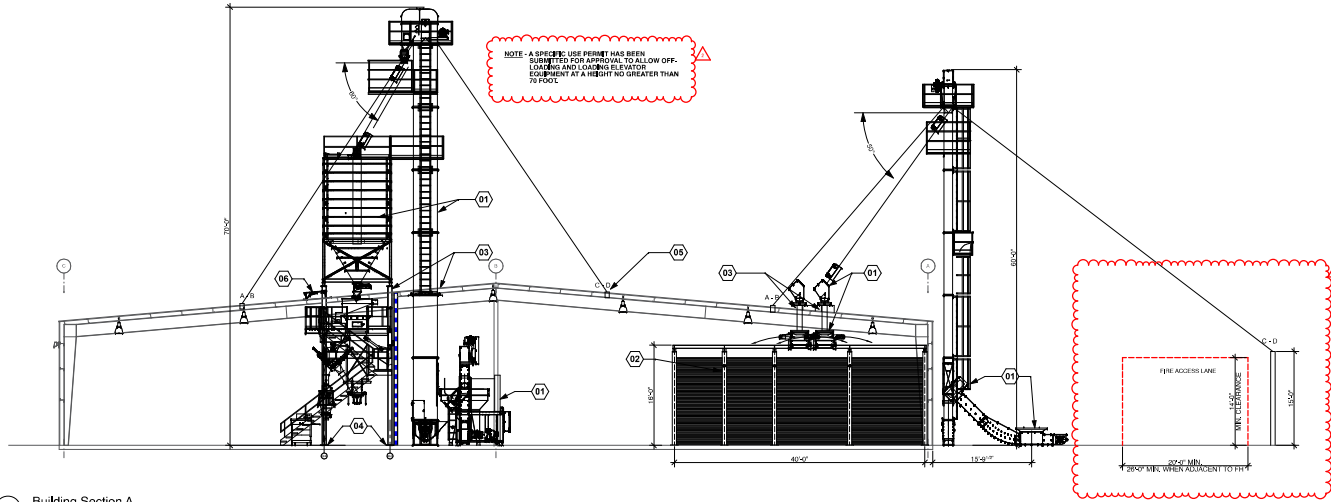
DRAWING NAME

Fire Protection Site Plan

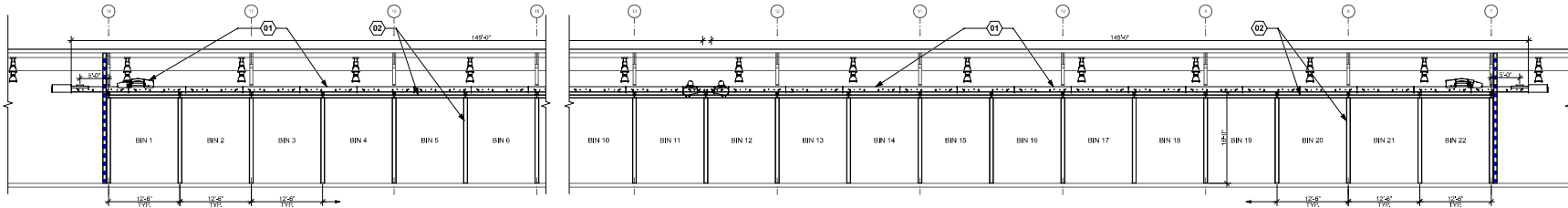
DRAWING NUMBER

A.103

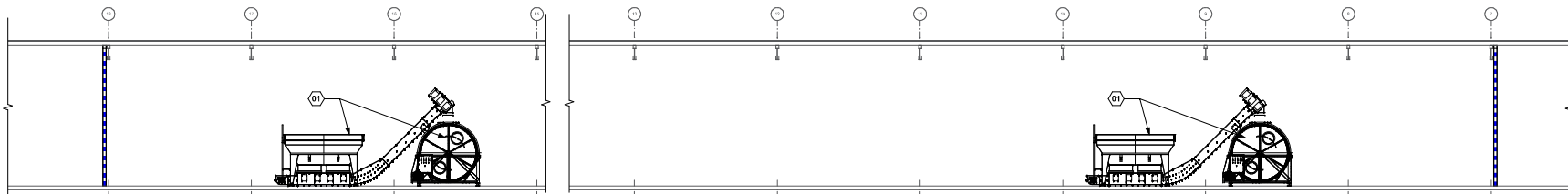
01	5/22/21	ISSUED FOR PERMIT & PRICING
	5/22/21	SPECIFIC USE PERMIT
02	5/26/21	PERMIT REVISIONS



D5 Building Section A
SCALE: 1/8" = 1'-0"



C6 Building Section B
SCALE: 1/8" = 1'-0"



B6 Building Section C
SCALE: 1/8" = 1'-0"

#	Note
01	OWNER HAS CONTRACTED WITH LAMARCONI INC. TO SUBMIT AND OBTAIN PERMIT TO CONSTRUCT AND INSTALL CONCRETE AND STORAGE OF EQUIPMENT. OWNER WILL CONTRACT WITH THIRD PARTY MULTIPRO COMPANY TO INSTALL EQUIPMENT.
02	REVISION TO DRAWING TO SHOW CONCRETE AND STORAGE OF EQUIPMENT. PROVIDE AND INSTALL STEEL SUPPORTS AND ANCHORS FOR STORAGE. GO TO ORIGINAL ROOM CUT LAYOUT BETWEEN STEEL SUPPORTS PROVIDED BY OWNER.
03	GO TO CONCRETE AND STORAGE MEASUREMENT WINDOW FOR CONCRETE FOR EQUIPMENT RETENTION. GO TO CLOSE UP OPENINGS TO PROVIDE NEAR PERFECT ENVELOPE.
04	GO TO PROVIDE FOUNDATIONS FOR EQUIPMENT. REFER TO STRUCTURAL DRAWINGS.
05	GO TO PROVIDE STRUCTURAL SUPPORT FOR SPLY WIRE. REFER TO STRUCTURAL DRAWINGS. CONCRETE MUST BE COMPACTED TO 150% OF SPECIFIED COMPACT.
06	BEHOLDERS MUST MATCH CONCRETE BALL LOCATIONS WITH DRAWINGS. VENDOR TO ALIGN WITH EQUIPMENT PLATFORM. RE: CEMEX CSAL130



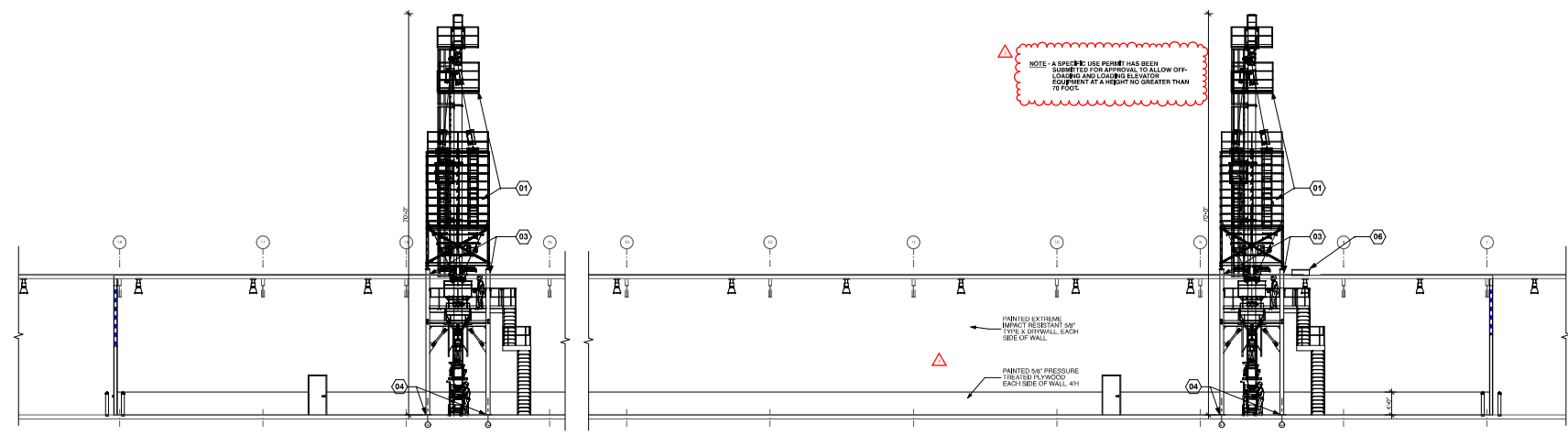
PROJECT NUMBER
20,175,00

DRAWING NAME
Building Sections

DRAWING NUMBER

A.600

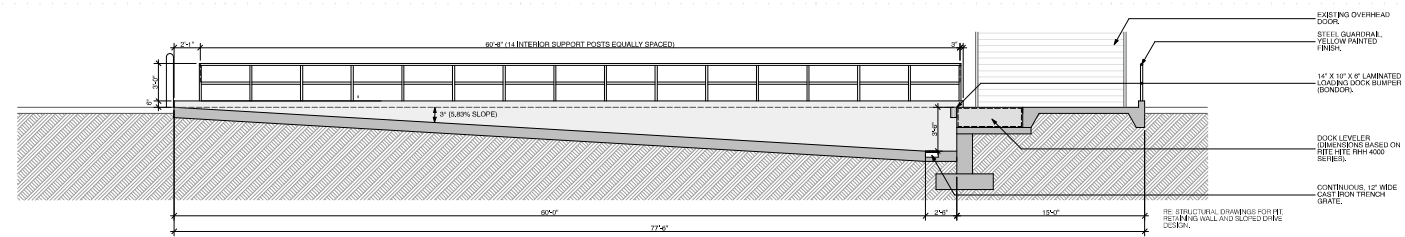
#	Date	Issue Name
01	5/22/21	ISSUED FOR PERMIT & PRICING
02	4/1/21	ADDENDUM 1
03	5/22/21	SPECIFIC USE PERMIT
05	5/26/21	PERMIT REVISIONS



NOTE: A SPECIFIC USE PERMIT HAS BEEN SUBMITTED FOR APPROVAL TO ALLOW OFF-LOADING AND LOADING ELEVATOR EQUIPMENT AT A HEIGHT NO GREATER THAN 70 FEET.

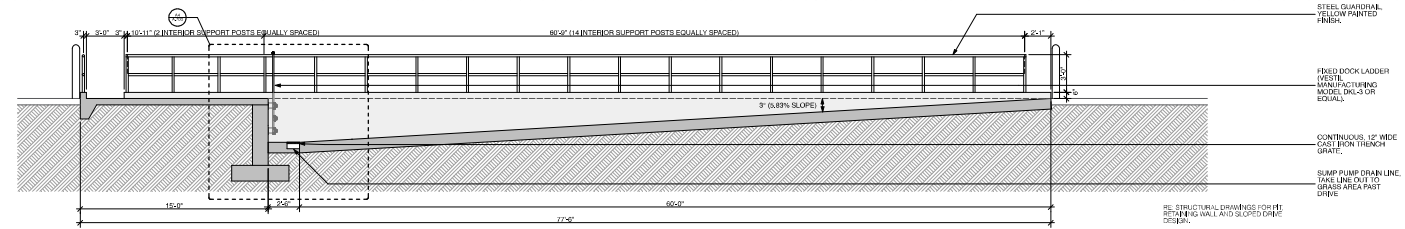
PAINTED EXTERIOR IMPACT RESISTANT 2x4 TYPE X DRYWALL EACH SIDE OF WALL.
 PAINTED 3/4" PRESSURE TREATED POLYWOOD EACH SIDE OF WALL #11

D6 Building Section D
 SCALE: 1/4" = 1'-0"



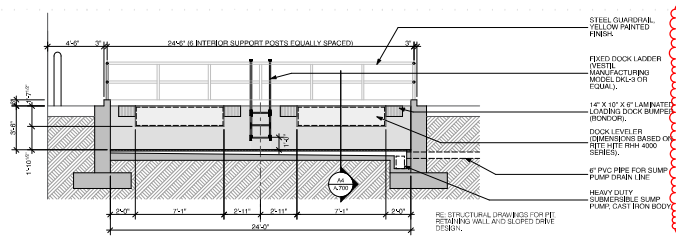
EXISTING OVERHEAD DOOR
 STEEL GUARDRAIL, YELLOW PAINTED FINISH
 14" X 10" X 8" LAMINATED LOADING DOCK BUMPER BOUNDARY
 DOCK LEVELER (DIMENSIONS BASED ON SITE METE RHH 4000 SHEETS)
 CONTINUOUS 12" WIDE CAST IRON TRENCH GRATE
 RE: STRUCTURAL DRAWINGS FOR THE RETAINING WALL AND SLOPED DRIVE CURB.

C6 Loading Dock Section A
 SCALE: 1/4" = 1'-0"



EXISTING OVERHEAD DOOR
 STEEL GUARDRAIL, YELLOW PAINTED FINISH
 FIXED DOCK LADDER (METAL MANUFACTURING MODEL DKL-3 OR EQUIV.)
 CONTINUOUS 12" WIDE CAST IRON TRENCH GRATE
 SLUMP PUMP DRAIN LINE (DRAIN LINE OUT TO GRADES AREA PAST DRIVE)
 RE: STRUCTURAL DRAWINGS FOR THE RETAINING WALL AND SLOPED DRIVE CURB.

B6 Loading Dock Section B
 SCALE: 1/4" = 1'-0"



EXISTING OVERHEAD DOOR
 STEEL GUARDRAIL, YELLOW PAINTED FINISH
 FIXED DOCK LADDER (METAL MANUFACTURING MODEL DKL-3 OR EQUIV.)
 CONTINUOUS 12" WIDE CAST IRON TRENCH GRATE
 SLUMP PUMP DRAIN LINE (DRAIN LINE OUT TO GRADES AREA PAST DRIVE)
 RE: STRUCTURAL DRAWINGS FOR THE RETAINING WALL AND SLOPED DRIVE CURB.

A4 Loading Dock Section C
 SCALE: 1/4" = 1'-0"

Building Section Notes

#	Note
01	OWNER HAS CONTRACTED WITH LAMARCO GROUP, INC. TO SUBMIT AND STORE OF EQUIPMENT. OWNER WILL CONTRACT WITH THIRD PARTY MULTIPURPOSE COMPANY TO INSTALL TO PERMIT.
02	ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE IN METERS.
03	PROVIDE AND INSTALL STEEL SUPPORTS AND ANCHORS FOR STORAGE (BNC, GO TO ORIGINAL ROOM CUT LAYOUT BETWEEN STEEL SUPPORTS PROVIDED BY NEAREST EXISTING WALL).
04	GO TO CONCRETE FOUNDATION MEASUREMENT WINDOW PROVIDED IN ROOM FOR EQUIPMENT RETENTION. GO TO CLOSE UP OPENINGS TO PROVIDE NEAREST EXISTING WALL.
05	GO TO PROVIDE FOUNDATIONS FOR EQUIPMENT. REFER TO STRUCTURAL DRAWINGS.
06	GO TO PROVIDE STRUCTURAL SUPPORT FOR GUY WIRES. REFER TO STRUCTURAL DRAWINGS. CONCRETE FLOOR SHALL BE 150MM THICK.
07	HEAVY DUTY SUMMERABLE SLUMP PUMP. CAST IRON BODY.



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 PROJECT NUMBER: 20.175.00
 DRAWING NAME: Building Sections
 DRAWING NUMBER: A.601

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PROJECT NAME



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  **MEP SITE PLAN - PHOTOMETRICS**
 1"=30'-0"

#	ISSUE	ISSUE NAME
03.2021	ISSUED FOR PERMITS & PHOTOMETRICS	
03.2021	ADDENDUM 1	
05.2021	PERMIT REVISIONS	

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PROJECT NUMBER
 20.175.00
 DRAWING NAME
 MEP SITE PLAN - PHOTOMETRICS
 DRAWING NUMBER

MEP.202

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PROJECT NAME



Ferti Technologies
100 E. FM 2449
Ponder, Texas 76259

#	ISSUE NUMBER	ISSUE DATE	DESCRIPTION
03.2021	ISSUED FOR PERMITS & PENDING		
03.2021	ADDENDUM 1		

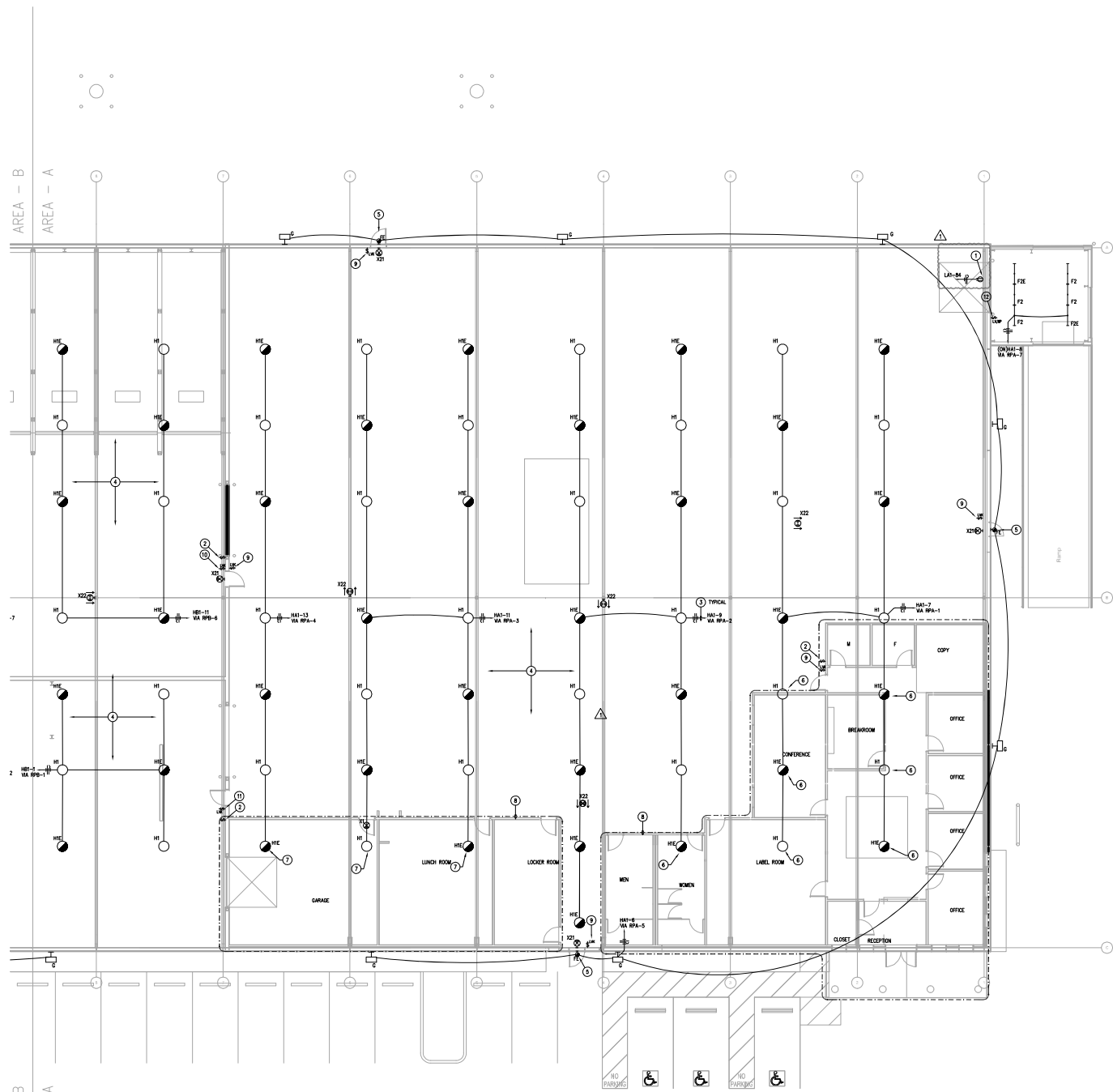
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PROJECT NUMBER
20.175.00
DRAWING NAME
LIGHTING PLAN - AREA A
DRAWING NUMBER

ELECTRICAL GENERAL NOTES:

- A. REFER TO E-402 FOR LIGHT FIXTURE SCHEDULE.
- B. ALL HIGH BAY FIXTURES SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.
- C. REFER TO E-402 FOR LIGHTING CONTROLS DEVICE SCHEDULE. PROVIDE POWER PAKS; PERMITS SWITCHES; ROOM CONTROLLERS; CEILING WIRING AND ADDITIONAL EQUIPMENT AS REQUIRED FOR CONTROLS INDICATED.
- D. LOCATE ULTRASONIC OCCUPANCY SENSORS A MINIMUM OF 3 FEET FROM MECHANICAL DIFFUSERS AND OTHER NOISE PRODUCING EQUIPMENT.
- E. LOWVOLTAGE LETTERING NEXT TO LIGHT SWITCHES AND LIGHT FIXTURES INDICATES SWITCHING SCHEME.
- F. ALL CEILING MOUNTED DEVICES LOCATED IN LAY-IN CEILINGS SHALL BE COVERED BY THE CEILING TILES.
- G. MULTIPLE SWITCHES SHOWN TOGETHER SHALL BE GANGED TOGETHER UNDER A COMMON COVER PLATE.
- H. CONTRACTOR SHALL PROVIDE LIGHTING CIRCUIT CONTROLLED BY EACH SWITCH BY PROVIDING THE SWITCH LABELING LOCATED ON INSIDE FACE OF EACH SWITCH COVER PLATE.
- I. SPRINKLER CONTRACTOR SHALL COORDINATE SPRINKLER HEAD LOCATIONS WITH CEILING MOUNTED LIGHTING FIXTURES.
- J. ALL MATERIALS/EQUIPMENT/DEVICES INSTALLED IN PLenum SPACES SHALL BE PLenum RATED MATERIALS/EQUIPMENT/DEVICES.
- K. PROVIDE AN UNSWITCHED HOT LEG, AS DEFINED IN NEC 700.2, TO ALL LIGHT FIXTURES DESIGNATED AS EMERGENCY FIXTURES. HOT LEGS SHALL ORIGINATE FROM CIRCUIT SERVING NORMAL LIGHTING FIXTURES IN THAT SPACE. UNSWITCHED HOT LEGS SHALL CONNECT TO THE NORMAL POWER SENSING LUG ON THE GFD DEVICE.
- L. REFER TO LIGHTING RELAY PANE SCHEDULE ON SHEET E-402.
- M. ALL EXIT SIGNS WITHIN AREA A SHALL BE CONNECTED UN-SWITCHED TO CIRCUIT 101-4. UNLESS NOTED OTHERWISE.
- N. ALL EXTERIOR WALL PACKS SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.

ELECTRICAL KEYED NOTES:

- 1. PROVIDE REE-LITE FLEX NECK LED DOCK LIGHT TO SERVE DOCKS. FIELD COORDINATE EXACT LOCATION PRIOR TO DEMO-IN. REFER TO E-401/E-402 FOR COORDINATING INFORMATION AND CAD FOR FUTURE INFORMATION. COORDINATE WITH MANUFACTURER MANUAL FOR PROPER INSTALLATION. COORDINATE EXACT SPECIFICATION PRIOR TO ORDERING.
- 2. PROVIDE MULTI-BUTTON SWITCH TO SERVE IN-WHOUSE. COORDINATE ALL PROGRAMMING, SETTINGS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, TIME DELAYS, TIMEOUTS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
- 3. ROUTE LIGHTING CIRCUIT THROUGH DESIGNATED DIGITAL LIGHTING CONTROLS RELAY. COORDINATE ALL PROGRAMMING, SETTINGS, TIME DELAYS, TIMEOUTS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, TIME DELAYS, TIMEOUTS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
- 4. PROVIDE EXIT SIGNS ON ALL THE COLUMNS LEADING TO IT'S NEAREST EXIT. TOP SECTION OF IN-WHOUSE SHALL LEAD TO TOP EXITS AND LOWER SECTION OF IN-WHOUSE SHALL LEAD TO LOWER EXITS. ALL EXIT SIGNS LOCATION SHALL BE VISIBLE.
- 5. NEW EXTERIOR FIXTURE IN NEW LOCATION ABOVE OFFICE SPACE AREA.
- 6. NEW HIGH BAY FIXTURE IN NEW LOCATION ABOVE OFFICE SPACE AREA.
- 7. NEW HIGH BAY FIXTURE ABOVE OFFICE SPACE AREA.
- 8. REFER TO DRAWING #E-101 FOR LIGHTING LAYOUT WITHIN THIS AREA.
- 9. PROVIDE KEYS LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA A MANUAL OVERRIDE.
- 10. PROVIDE KEYS LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA B MANUAL OVERRIDE.
- 11. PROVIDE KEYS LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR PARKING AREA MANUAL OVERRIDE.
- 12. PROVIDE KEYS LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR LOADING DOOR. AREA MANUAL OVERRIDE. PROVIDE WEATHERPROOF BOX AND COVER.



1 LIGHTING PLAN - AREA A
1/8"=1'-0"

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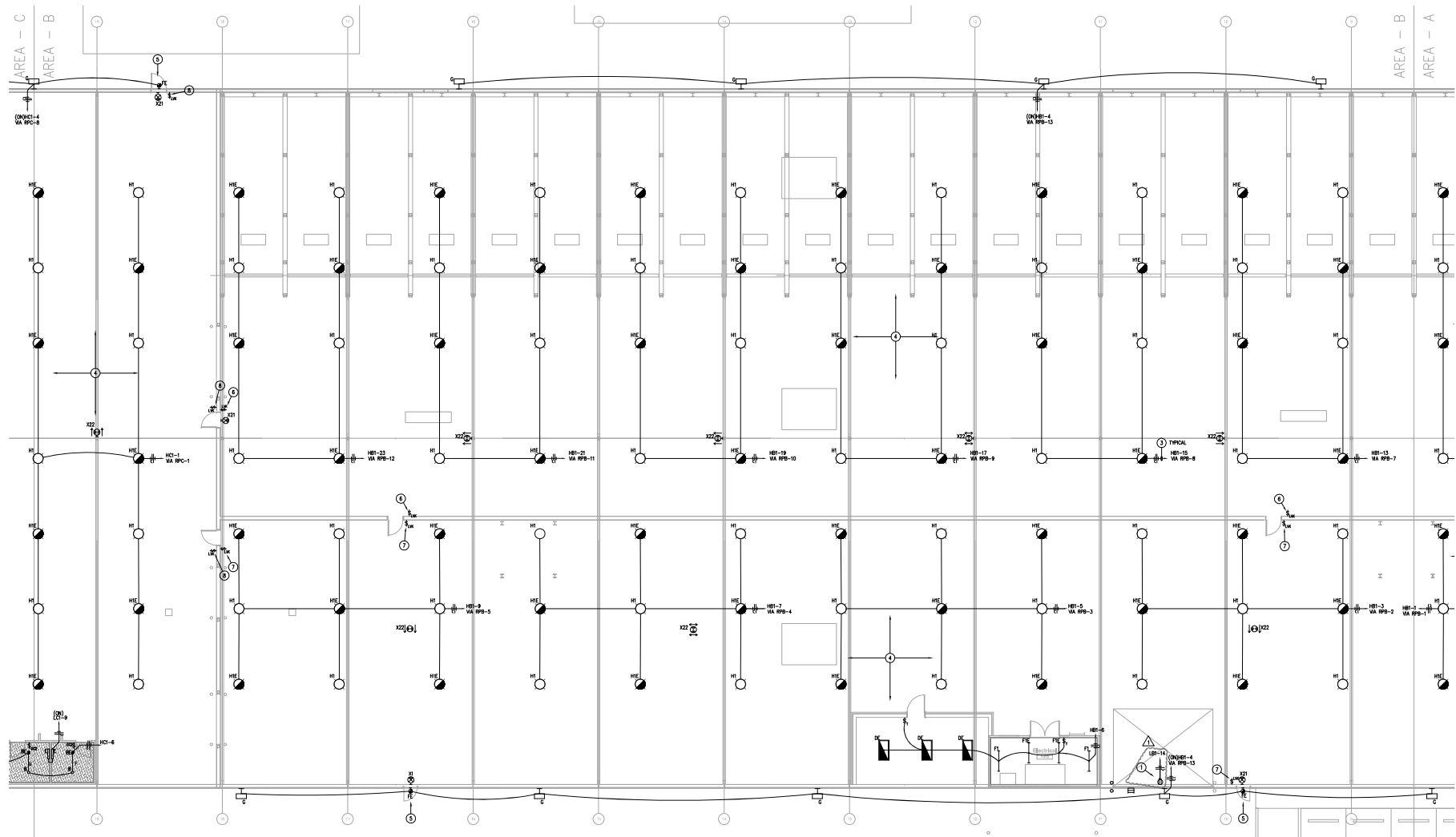


PROJECT NAME



Ferti Technologies
100 E. FM 2449
Ponder, Texas 76259

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03.2021	ISSUED FOR PERMITS & PHE-IG	
03.2021	ADDENDUM 1	



1 LIGHTING PLAN - AREA B
1/8"=1'-0"

ELECTRICAL GENERAL NOTES:

- A. REFER TO E-402 FOR LIGHT FIXTURE SCHEDULE.
- B. ALL HIGH BAY FIXTURES SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.
- C. REFER TO E-402 FOR LIGHTING CONTROLS DEVICE SCHEDULE. PROVIDE POWER PACKS, OCCUPANCY SENSORS, ROOM CONTROLLERS, CABLEING/WIRING AND AUXILIARY EQUIPMENT AS REQUIRED FOR CONTROL/INSTALLED.
- D. LOCATE ULTRASONIC OCCUPANCY SENSORS A MINIMUM OF 3 FEET FROM MECHANICAL DIFFUSERS AND OTHER NOISE PRODUCING EQUIPMENT.
- E. LONGLEASE LETTERING NEXT TO LIGHT SWITCHES AND LIGHT FIXTURES IDENTIFY SWITCHING SCHEME.
- F. ALL CEILING MOUNTED DEVICES LOCATED IN LAY-IN CEILINGS SHALL BE COVERED IN THE CEILING TILE.
- G. MULTIPLE SWITCHES SHOWN TOGETHER SHALL BE GANGED TOGETHER UNDER A COMMON COVER PLATE.
- H. CONTRACTOR SHALL INDICATE LIGHTING CIRCUIT CONTROLLED BY EACH SWITCH BY PROVIDING TYPE LETTERS LOCATED ON REAR FACE OF EACH SWITCH COVER PLATE.
- I. SPRINKLER CONTRACTOR SHALL COORDINATE SPRINKLER HEAD LOCATIONS WITH CEILING MOUNTED LIGHTING FIXTURES.
- J. ALL MATERIALS/EQUIPMENT/DEVICES INSTALLED IN PLENUM SPACES SHALL BE PLENUM RATED MATERIALS/EQUIPMENT/DEVICES.
- K. ROUTE AN UNSWITCHED HOT LUG, AS DEFINED IN NEC 708.10, TO ALL LIGHT FIXTURES DESIGNATED AS EMERGENCY FIXTURES. HOT LUG SHALL ORIGINATE FROM DISCREETLY NORMAL LIGHTING FIXTURES IN THAT SPACE. UNSWITCHED HOT LUG SHALL CONNECT TO THE NORMAL POWER SENSING LUG ON THE CDS DEVICE.
- L. REFER TO LIGHTING RELAY PANEL SCHEDULE ON SHEET E-402.
- M. ALL DET SONS WITHIN AREA B SHALL BE CONNECTED IN-SWITCHED TO CIRCUIT HEB-2 UNLESS NOTED OTHERWISE.
- N. ALL EXTERIOR WALL PIERCE SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.

ELECTRICAL KEYED NOTES:

- 1. PROVIDE RITE-LITE FLEX NEW LED DOCK LIGHT TO SERVE DOCKS. FIELD COORDINATE EXACT LOCATION PRIOR TO INSTALLATION. REFER TO E-402 FOR CIRCUITING INFORMATION AND C-402 FOR FIXTURE INFORMATION. COORDINATE WITH MANUFACTURER MARKING FOR PROPER INSTALLATION. COORDINATE EXACT SPECIFICATION PRIOR TO ORDERING.
- 2. PROVIDE WITH-BUTTON SWITCH TO SERVE BARRICADE. COORDINATE ALL PROGRAMMING, SETTINGS, SCHEDULES AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, THE DELAYS, TIMERS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
- 3. ROUTE LIGHTING CIRCUIT THROUGH DEDICATED DIGITAL LIGHTING CONTROLS RELAY. COORDINATE ALL PROGRAMMING, SETTINGS, THE DELAYS, TIMERS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, THE DELAYS, TIMERS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
- 4. PROVIDE DET SONS ON ALL THE COLUMNS LEADING TO ITS NEAREST EXIT. TOP SECTION OF BARRICADE SHALL LEAD TO TOP EXITS AND LOWER SECTION OF BARRICADE SHALL LEAD TO LOWER EXITS. ALL EXIT SONS LOCATION SHALL BE VISIBLE.
- 5. NEW EXTERIOR FIXTURE IN NEW LOCATION ABOVE DOOR.
- 6. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA B MANUAL OVERRIDE.
- 7. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR PACKING AREA MANUAL OVERRIDE.
- 8. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA C MANUAL OVERRIDE.

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PROJECT NUMBER
20.175.00

DRAWING NAME
LIGHTING PLAN - AREA B

DRAWING NUMBER
EL.202

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 210.546.0000 / 210.546.0001
 TBPE Firm Registration No. 2234

DBR Project Number: 203037.000

KR NB AS NB



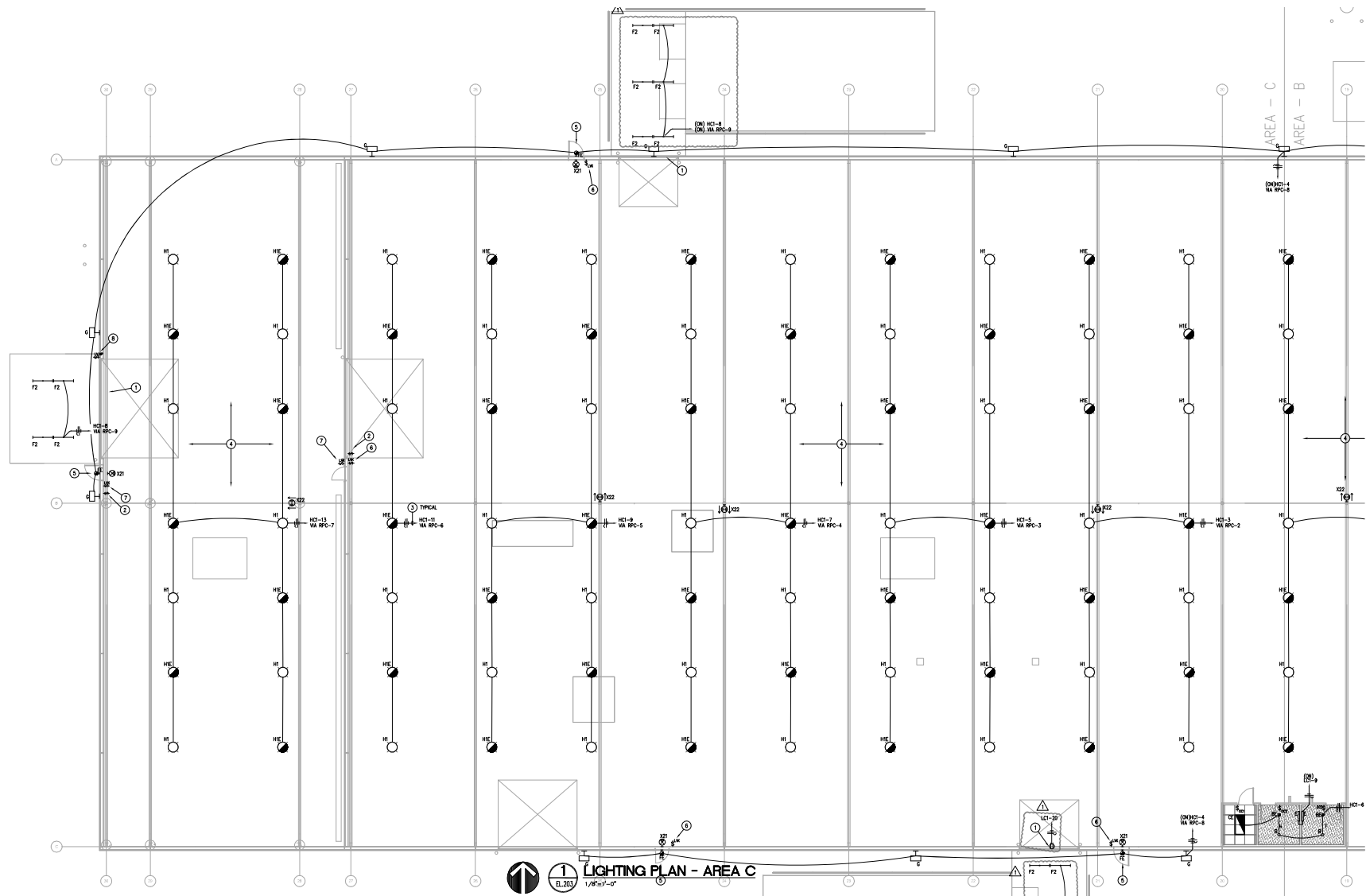
PROJECT NAME

Ferti Technologies
 100 E. FM 2449
 Ponder, Texas 76259

0301 ISSUE NUMBER

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03.2021 ADDENDUM 1



1480-210-3370
2061 N. Lamar St.
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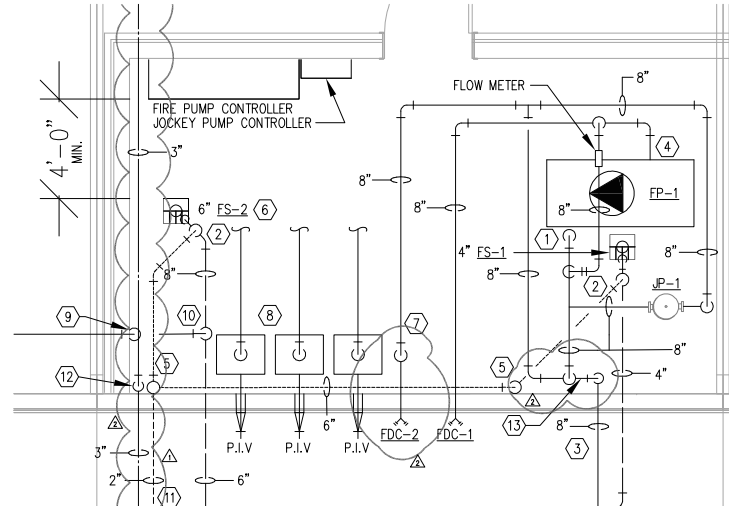
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100 E. FM 2449
Ponder, Texas 76259



ENLARGED FIRE PUMP ROOM
P.301 1/2"=1'-0"

PLUMBING GENERAL NOTES

- 1. REFER TO P.300 FOR PLUMBING GENERAL NOTES.
- 2. REFER TO 1/P.301 FOR FIRE PROTECTION SCHEMATIC DIAGRAM.

PLUMBING KEYED NOTES

- ① 8" FIRE CONNECTED TO SUCTION SIDE OF FIRE PUMP. CONNECT PER MANUFACTURERS RECOMMENDATIONS.
- ② 2" SANITARY VENT OFF TOP OF DRAIN LINE BELOW FLOOR WITH SLOPING VENT BELOW FLOOR TO RISE AS SHOWN.
- ③ 8" FIRE WATER MAIN, REFER TO MEP SITE PLAN FOR CONTINUATION.
- ④ 8" FIRE WATER CONNECTION TO FIRE PUMP ON DISCHARGE SIDE; CONNECT PER MANUFACTURERS RECOMMENDATIONS.
- ⑤ 2" SANITARY VENT UP FROM BELOW FLOOR, SIZE AS NOTED; PROVIDE WALL CLEANOUT ABOVE GRADE 42" A.F.F.
- ⑥ FLOOR SINK TO BE POURED IN A CONCRETE CURB AND PROVIDE FIELD FABRICATED STAINLESS STEEL METAL HOOD; REFER TO 12/P.401.
- ⑦ 8" FIRE WATER DOWN TO FIRE SPRINKLER HEADER; REFER TO 12/P.401.
- ⑧ FIRE SPRINKLER ZONE VALVE ASSEMBLY PIPING, REFER TO SPRINKLER CONTRACTOR DRAWINGS FOR PIPING CONTINUATION, HEAD LOCATIONS AND HYDRAULIC CALCULATIONS.
- ⑨ 2" SANITARY LINE DOWN IN WALL ROUTED UNDERGROUND AS SHOWN.
- ⑩ CONNECT 2" LINE FROM SUMP PUMP TO TOP OF 8" SANITARY LINE.
- ⑪ 2" VENT-ROOFED UNDERGROUND FROM FLOOR SINK ON SITE. ROUTE VENT UP THRU FLOOR IN PUMP ROOM AND CONNECT TO BOTTOM OF VENT RISER; REF: MEP-201 FOR CONTINUATION, CONTRACTOR SHALL NOTE THIS ONLY APPLIES IF THE ALTERNATE IS ACCEPTED.
- ⑫ NEW 8" DOMESTIC WATER SERVICE UP IN PUMP ROOM REFER TO P.302 FOR CONTINUATION. RE: 16/P.401
- ⑬ PROVIDE WATTS No. 4000RS REDUCED PRESSURE ZONE ASSEMBLY FOR THE NEW 8" FIRE SERVICE ENTRY.

Add note to verify design flow availability determined after installation of water lines

#	ISS#	ISSUE NAME
	03/2021	ISSUED FOR PERMITS & PENDING
△	03/2021	ADDENDUM 1
△	05/2021	PERMIT REVISIONS

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DRAWING NAME
ENLARGED PLUMBING PLAN
DRAWING NUMBER

P.301