



# Petersburg Borough

12 South Nordic Drive  
Petersburg, AK 99833

## Meeting Agenda Borough Assembly Regular Meeting

---

Monday, June 01, 2026

12:00 PM

Assembly Chambers

---

### **Zoom Information**

When: June 1, 2026 12:00 PM Alaska

Topic: Regular Assembly Meeting

<https://petersburgak-gov.zoom.us/j/89535018470?pwd=aac16XxfTumwaFKhEzSVcTcWPzj80k.1>

Webinar ID: 895 3501 8470

Passcode: 412728

Call-in (Audio Only) (253) 215-8782

1. **Call To Order/Roll Call**
2. **Voluntary Pledge of Allegiance**
3. **Approval of Minutes**
  - A. Regular Assembly Meeting Minutes, May 18, 2026**
4. **Amendment and Approval of Meeting Agenda**
5. **Public Hearings**
  - A. Ordinance #2026-10: An Ordinance Amending Section 4.28.120 of the Petersburg Municipal Code, To Increase the Amount of the Single Purchase Sales Tax Cap from \$1,200 To \$5,000, and Directing That the Proposed Amendment Be Submitted to the Qualified Voters of the Borough**

Any public testimony regarding Ordinance #2026-10 should be given during this public hearing. A copy of Ordinance #2026-10 may be found under agenda item 14E.
  - B. Ordinance #2026-11: An Ordinance Updating Chapter 14.08 of The Municipal Code, Entitled "Sewer Utility"**

Any public testimony regarding Ordinance #2026-11 should be given during this public hearing. A copy of Ordinance #2026-11 may be found under agenda item 14F.
  - C. Ordinance #2026-12: An Ordinance Amending Title 19 Zoning, of the Petersburg Municipal Code to Regulate Wireless Communication Facilities (WCF) And Other Towers and Transmitters**

Any public testimony regarding Ordinance #2026-12 should be given during this public hearing. A copy of Ordinance #2026-12 may be found under agenda item 14G.

**6. Bid Awards**

**7. Persons to be Heard Related to Agenda**

*Persons wishing to share their views on any item on today's agenda may do so at this time.*

**8. Persons to be Heard Unrelated to Agenda**

*Persons with views on subjects not on today's agenda may share those views at this time.*

**9. Boards, Commission and Committee Reports**

**10. Consent Agenda**

**A. Kito's Kave Inc. Package Store Liquor License and Beverage Dispensary License Transfer**

Kito's Kave Inc. has applied with the Alcohol & Marijuana Control Office (AMCO) to transfer ownership of a package store liquor license and beverage dispensary license. The Assembly may support or protest the application within 60 days of the date of notice of the application filing.

**B. Beachcomber Lodge LLC Beverage Dispensary License Renewal**

The Beachcomber Lodge has applied with the Alcohol & Marijuana Control Office (AMCO) to renew their Beverage Dispensary License. AMCO has determined the application to be complete. A local governing body may support or protest the renewal within 60 days of the notice of filing the application.

**11. Report of Other Officers**

**A. Petersburg Medical Center**

PMC CEO Hofstetter will update the Assembly on Medical Center activities.

**B. US Forest Service**

District Ranger Case will provide an update on Forest Service activities.

**C. Petersburg School District**

Petersburg School Superintendent Taylor will provide a report on school district activities.

**12. Mayor's Report**

**A. June 1, 2026 Mayor's Report**

**13. Manager's Report**

**A. June 1, 2026 Manager's Report**

**14. Unfinished Business**

**A. Ordinance #2026-06: An Ordinance Amending Petersburg Municipal Code Title 20, Entitled "Watershed Management", To Update Language and to Account for Borough Incorporation - Third Reading**

If approved in three readings, this ordinance would update and codify existing watershed management regulations into the borough code, reflect borough formation, and continue protections for the City Creek and Cabin Creek water supply watersheds to safeguard water quality and quantity for Service Area 1. Ordinance #2026-06 was unanimously approved in its first and second readings.

**B. Ordinance #2026-07: An Ordinance Amending Petersburg Municipal Code Chapter 4.80 To Adjust the Marine Passenger Fee to Address Increased Borough Costs Associated with Services to and Infrastructure for Marine Passenger Vessels and Their Passengers - Third Reading**

If approved in three readings, this ordinance would amend the Marine Passenger Fee by increasing the per- passenger charge to address rising costs for public safety, harbor operations, sanitation, emergency response, and other Borough services and infrastructure impacted by marine passenger vessels, while codifying the change in the municipal code with the increase effective January 1, 2027. Ordinance #2026-07 was unanimously approved in its first and second readings.

**C. Ordinance #2026-08: An Ordinance Updating Chapter 14.16 of the Municipal Code, Entitled “Electric Utility” - Third Reading**

If approved in three readings, this ordinance would update electric utility rates and charges for FY 2027 to ensure Petersburg Municipal Power & Light can fully cover operating expenses, inflation, capital needs, reserve requirements, and debt coverage obligations, while maintaining reliable electric service and codifying the revised rates and fees in the municipal code. A memo from Director Hagerman is attached. Ordinance #2026-08 was unanimously approved in its first and second readings.

**D. Ordinance #2026-09: An Ordinance of the Petersburg Borough Adopting the Budget for the Fiscal Year July 1, 2026 Through June 30, 2027 - Third Reading**

If approved in three readings, this ordinance would adopt the Fiscal Year 2027 operating budget for the Petersburg Borough.

Ordinance #2026-09 was unanimously approved in its first and second readings.

**E. Ordinance #2026-10: An Ordinance Amending Section 4.28.120 of the Petersburg Municipal Code, To Increase the Amount of the Single Purchase Sales Tax Cap from \$1,200 To \$5,000, and Directing That the Proposed Amendment Be Submitted to the Qualified Voters of the Borough - Second Reading**

If approved in three readings, Ordinance #2026-10 would increase the maximum single purchase amount subject to the borough sales tax from \$1,200 to \$5,000 and submit the question to borough voters at the October 6, 2026 regular election. The proposed change would increase the maximum sales tax collected on a single transaction from \$72 to \$300, modernize a cap that has only been adjusted once since 1959, and generate additional revenue to support essential borough services, including the Petersburg School District, while still remaining among the lowest caps in Southeast Alaska.

Ordinance #2026-10 was approved on first reading by a vote of 6 -1.

**F. Ordinance #2026-11: An Ordinance Updating Chapter 14.08 of The Municipal Code, Entitled “Sewer Utility” - Second Reading**

If approved in three readings, Ordinance #2026-11 would update sewer utility service rates for FY2027 through FY2030 based on the annual rate review, reflecting higher projected operating costs and planned capital needs. The changes amend Section 14.08.320A of the Municipal Code to establish updated service charges and commodity rates to support long-term financial sustainability of the Sewer Utility. A memo from Assistant Public Works Director Rummel is attached to this agenda item. Ordinance #2026-11 was unanimously approved in its first reading.

**G. Ordinance #2026-12: An Ordinance Amending Title 19 Zoning, of the Petersburg Municipal Code to Regulate Wireless Communication Facilities (WCF) And Other Towers and Transmitters - Second Reading**

If approved in three readings, this ordinance would establish zoning and permitting standards for wireless communication facilities and other towers. It requires these facilities to be reviewed as conditional uses, providing public notice and Planning Commission review and approval, while remaining consistent with the Federal Telecommunications Act of 1996 and related regulations.

The ordinance creates a new chapter of the municipal code governing wireless facilities, prioritizes collocation and use of existing structures, and sets development standards addressing location, safety, visual impacts, and FCC compliance. It is intended to balance the community’s need for reliable wireless and other communication services with public safety and aesthetic concerns.

A memo from Director Cabrera is attached to this agenda item along with a map illustrating the proposed 1500-foot separation distances from schools, childcare facilities, the hospital, and assisted living facilities required by the ordinance. Ordinance #2026-12 was unanimously approved in its first reading.

**15. New Business**

**A. Resolution #2026-16: A Resolution Approving the Sale of a Borough Parcel to the Central Council of the Tlingit & Haida Indian Tribes of Alaska, Doing Business as Tidal Network**

If approved, Resolution #2026-16 would authorize the sale of an approximately 0.23-acre Borough-owned parcel in the Petersburg Borough to the Central Council of the Tlingit & Haida Indian Tribes of Alaska, doing business as Tidal Network, under the terms of the attached Contract of Sale.

**B. Request for Extension - Dangerous Building Order**

Joshua Adams is requesting an extension of 30 days to comply with a dangerous building order at 12 S Sing Lee Alley. The extension would give Mr. Adams until June 23, 2026, to address the required corrections. Staff recommends the approval of the extension. The order is attached to this agenda item.

**C. Fire Station 2 Training Props Relocation**

*This agenda item requested by Member Meucci*

At the May 18, 2026 assembly meeting, the Assembly considered directing the Borough Manager to develop a comprehensive plan to relocate training props from the Scow Bay Fire Station to a site adjacent to Fire Station 1. That motion failed, and no formal direction was provided.

The Assembly is asked to consider directing the Borough Manager to plan for relocation of Fire Station 2 training props, including the burn tower and vans, to an area adjacent to Fire Station 1.

This request is limited to establishing a minimal fire training area and relocating existing training props to that site, without development of a comprehensive project plan or evaluation of alternative locations.

**16. Communications**

**A. Correspondence Received Since May 14, 2026**

**17. Assembly Discussion Items**

**A. Assembly Meeting Schedule Discussion**

*This agenda item requested by Member Martin*

Discuss potential adjustments to the regular meeting schedule during the summer months (June through August) to better accommodate travel and seasonal demands.

Discussion will include consideration of changing regular meeting days (e.g., Thursday or Friday) and setting a 6:00 p.m. start time during the summer months. The Assembly may also consider whether similar changes should be implemented year-round, including a permanent 6:00 p.m. start time, taking into account the availability of remote participation options.

**B. Assembly - Staff Work Session Discussion**

*This agenda item requested by Mayor Lynn*

The Mayor requests Assembly and staff discussion on establishing regular work sessions to review topics of interest to Assembly members.

The work sessions would be held outside the regularly scheduled meetings and would not include a formal agenda or any decision making.

**C. Assembly Member Comments**

**D. Recognitions**

**18. Adjourn**



# Petersburg Borough

12 South Nordic Drive  
Petersburg, AK 99833

## Meeting Minutes Borough Assembly Regular Meeting

---

Monday, May 18, 2026

6:00 PM

Assembly Chambers

---

### 1. Call To Order/Roll Call

The meeting was called to order by Mayor Lynn at 6:00 pm.

#### PRESENT

Mayor Bob Lynn  
Assembly Member Rob Schwartz  
Vice Mayor Jeigh Stanton Gregor  
Assembly Member James Valentine  
Assembly Member Jeff Meucci  
Assembly Member Bob Martin  
Assembly Member Scott Newman

### 2. Voluntary Pledge of Allegiance

The Pledge was recited.

### 3. Approval of Minutes

#### A. Regular Assembly Meeting Minutes April 20, 2026

The minutes of the April 20, 2026 meeting were unanimously approved as submitted.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Valentine.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

#### B. Regular Assembly Meeting Minutes May 4, 2026

The minutes of the May 4, 2026 meeting were unanimously approved as submitted.

Motion made by Assembly Member Valentine, Seconded by Assembly Member Meucci.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**4. Amendment and Approval of Meeting Agenda**

The agenda was approved as submitted.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Schwartz. Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**5. Public Hearings**

**A. Ordinance #2026-06: An Ordinance Amending Petersburg Municipal Code Title 20, Entitled “Watershed Management”, To Update Language and to Account for Borough Incorporation**

No testimony was given.

**B. Ordinance #2026-07: An Ordinance Amending Petersburg Municipal Code Chapter 4.80 To Adjust the Marine Passenger Fee to Address Increased Borough Costs Associated with Services to and Infrastructure for Marine Passenger Vessels and Their Passengers**

No testimony was given.

**C. Ordinance #2026-08: An Ordinance Updating Chapter 14.16 of the Municipal Code, Entitled “Electric Utility”**

No testimony was given.

**D. Ordinance #2026-09: An Ordinance of the Petersburg Borough Adopting the Budget for the Fiscal Year July 1, 2026 Through June 30, 2027**

Stuart Whyte, Development Director and Interim General Manager of KFSK, testified in support of continued Borough funding through the Community Service Grant Program.

Bill Tremblay, Treasurer for the KFSK Board of Directors, testified in support of funding for KFSK.

**6. Bid Awards**

There were no bid awards.

**7. Persons to be Heard Related to Agenda**

*Persons wishing to share their views on any item on today's agenda may do so at this time.*

Bill Tremblay, the President of the Petersburg Volunteer Fire Department Association, spoke in support of Resolution 2026-14, noting the Association’s intent to assume ownership of antique fire vehicles and its ongoing investment in their restoration and maintenance.

Judy Ohmer, speaking for herself and reading comments from Kirsten Dupree, encouraged the Assembly to review broader research regarding telecommunications infrastructure and data centers. She raised concerns about environmental, financial, and community impacts, as well as the need for additional information, safeguards, and caution before proceeding with related projects.

Becky Knight, speaking for herself, expressed opposition to cell towers and data center development, citing concerns about long-term impacts, privacy, and artificial intelligence.

Dominique Davis, speaking for herself, expressed concern regarding increasing taxes and rates. She encouraged consideration of alternatives to tax increases and suggested exploring community-supported solutions.

Raleigh Cook, speaking for himself, commented on Ordinance 2026-10, stating support for changes to the sales tax cap. He also offered to assist with relocating a training tower, suggesting costs may be lower than currently projected, and expressed concern regarding rising property taxes.

David Beebe, speaking for himself, addressed concerns related to additional cell towers and proposed data center development. He cited potential public health, privacy, and community impacts and advocated for a moratorium or public referendum.

**8. Persons to be Heard Unrelated to Agenda**

*Persons with views on subjects not on today's agenda may share those views at this time.*

No views were shared.

**9. Boards, Commission and Committee Reports**

No board reports.

**10. Consent Agenda**

There were no consent agenda items.

**11. Report of Other Officers**

There were no reports.

**12. Mayor's Report**

**A. May 18, 2026 Mayor's Report**

Mayor Lynn read his report into the record.

**13. Manager's Report**

**A. No manager's report for this meeting.**

There was no written manager's report. Manager Giesbrecht updated the Assembly on the status of the Tidal Network contract.

**14. Unfinished Business**

**A. Ordinance #2026-06: An Ordinance Amending Petersburg Municipal Code Title 20, Entitled “Watershed Management”, To Update Language and to Account for Borough Incorporation - Second Reading**

If approved in three readings, this ordinance would update and codify existing watershed management regulations into the borough code, reflect borough formation, and continue protections for the City Creek and Cabin Creek water supply watersheds to safeguard water quality and quantity for Service Area 1.

By unanimous roll call vote, Ordinance #2026-06 was approved in its second reading.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Schwartz.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**B. Ordinance #2026-07: An Ordinance Amending Petersburg Municipal Code Chapter 4.80 To Adjust the Marine Passenger Fee to Address Increased Borough Costs Associated with Services to and Infrastructure for Marine Passenger Vessels and Their Passengers - Second Reading**

If approved in three readings, this ordinance would amend the Marine Passenger Fee by increasing the per- passenger charge to address rising costs for public safety, harbor operations, sanitation, emergency response, and other Borough services and infrastructure impacted by marine passenger vessels, while codifying the change in the municipal code with the increase effective January 1, 2027.

By unanimous roll call vote, Ordinance #2026-07 was approved in its second reading.

Motion made by Assembly Member Valentine, Seconded by Assembly Member Martin.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**C. Ordinance #2026-08: An Ordinance Updating Chapter 14.16 of the Municipal Code, Entitled “Electric Utility” - Second Reading**

If approved in three readings, this ordinance would update electric utility rates and charges for FY 2027 to ensure Petersburg Municipal Power & Light can fully cover operating expenses, inflation, capital needs, reserve requirements, and debt coverage obligations, while maintaining reliable electric service and codifying the revised rates and fees in the municipal code. A memo from Director Hagerman is attached.

By unanimous roll call vote, Ordinance #2026-08 was approved in its second reading.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Valentine.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**D. Ordinance #2026-09: An Ordinance of the Petersburg Borough Adopting the Budget for the Fiscal Year July 1, 2026 Through June 30, 2027 - Second Reading**

If approved in three readings, this ordinance would adopt the Fiscal Year 2027 operating budget for the Petersburg Borough.

By unanimous roll call vote, Ordinance #2026-09 was approved in its second reading.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Valentine.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**15. New Business**

**A. Ordinance #2026-10: An Ordinance Amending Section 4.28.120 of the Petersburg Municipal Code, To Increase the Amount of the Single Purchase Sales Tax Cap from \$1,200 To \$5,000, and Directing That the Proposed Amendment Be Submitted to the Qualified Voters of the Borough - First Reading**

If approved in three readings, Ordinance #2026-10 would increase the maximum single purchase amount subject to the borough sales tax from \$1,200 to \$5,000 and submit the change to borough voters at the October 6, 2026 regular election. The increase would raise the maximum sales tax on a single transaction from \$72 to \$300, modernize a cap that has changed only once since 1959, and help generate additional revenue to support essential borough services, including the Petersburg School District, while still remaining among the lowest caps in Southeast Alaska.

Ordinance #2026-10 was approved by a vote of 6 – 1 in its first reading.

Motion made by Vice Mayor Stanton Gregor, Seconded by Assembly Member Meucci.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin  
Voting Nay: Assembly Member Newman

**B. Ordinance #2026-11: An Ordinance Updating Chapter 14.08 of The Municipal Code, Entitled “Sewer Utility” - First Reading**

If approved in three readings, Ordinance #2026-11 would update sewer utility service rates for FY2027 through FY2030 based on the annual rate review, reflecting higher projected operating costs and planned capital needs. The changes amend Section 14.08.320A of the Municipal Code to establish updated service charges and commodity rates to support long-term financial sustainability of the Sewer Utility.

By unanimous roll call vote, Ordinance #2026-11 was approved in its first reading.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Valentine.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**C. Ordinance #2026-12: An Ordinance Amending Title 19 Zoning, of the Petersburg Municipal Code to Regulate Wireless Communication Facilities (WCF) And Other Towers and Transmitters - First Reading**

If approved in three readings, this ordinance would establish zoning and permitting standards for wireless communication facilities and other towers. It requires these facilities to be reviewed as conditional uses, providing public notice and Planning Commission review and approval, while remaining consistent with the Federal Telecommunications Act of 1996 and related regulations.

The ordinance creates a new chapter of the municipal code governing wireless facilities, prioritizes collocation and use of existing structures, and sets development standards addressing location, safety, visual impacts, and FCC compliance. It is intended to balance the community’s need for reliable wireless and other communication services with public safety and aesthetic concerns.

By unanimous roll call vote, Ordinance #2026-12 was approved in its first reading.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Newman.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**D. Resolution #2026-13: A Resolution of the Petersburg Borough Setting the Millage Rates for the Fiscal Year July 1, 2026 Through June 30, 2027**

If approved, this resolution would establish the property tax millage rates for the fiscal year July 1, 2026 through June 30, 2027, based on final assessed property values and in accordance with Borough code and charter limits. The adopted rates fund area-wide services, education, voter- approved general obligation bond debt, and Service Area 1 services, and set the due date for 2026 property taxes.

By unanimous roll call vote, Resolution #2026-13 was approved.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Valentine.

Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**E. Resolution #2026-14: A Resolution Authorizing the Borough Manager to Transfer Ownership of Certain Antique Fire Apparatus to the Petersburg Volunteer Fire Department Association**

If approved, this resolution would allow the Petersburg Volunteer Fire Department Association to take ownership of three antique fire apparatus it has restored and maintained. The Association will assume all insurance and maintenance responsibilities, continue to make the vehicles available for public display, and return ownership to the Borough if the Association dissolves.

By unanimous roll call vote, Resolution #2026-14 was approved.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Martin. Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**F. Resolution #2026-15: A Resolution of the Petersburg Borough Assembly Approving the Sale of a Borough Owned Parcel to Taylor Jensen**

If approved, Resolution #2026- 15 would authorize the sale of a Borough- owned parcel at 505 Mill Street to Taylor Jensen under the negotiated Contract of Sale.

By unanimous roll call vote, Resolution #2026-15 was approved.

Motion made by Assembly Member Valentine, Seconded by Assembly Member Meucci. Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**G. Land Purchase Application**

The Borough has received an application from Robert Funk to purchase Borough- owned property at 502 Lumber Street. The Planning Commission held a public hearing on April 14, 2026, as required by PMC § 16.12.080, and recommends approval of the sale of the property to the applicant. The assessed value of the property is \$33,100.

The assembly unanimously approved that the Borough Manager negotiate a direct sale of 502 Lumber Street to Robert Funk.

Motion made by Vice Mayor Stanton Gregor, Seconded by Assembly Member Valentine. Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin, Assembly Member Newman

**H. Letter of Interest for Planning Commission**

The Assembly received a letter of interest from Jim Floyd expressing his willingness to serve on the Planning Commission. His letter was presented for Assembly review and consideration for appointment.

Mayor Lynn appointed Jim Floyd to serve on the Planning Commission until October 2026.

**I. Scow Bay Fire Station Training Props Relocation Plan**

*This agenda item requested by Member Meucci*

Consider directing the Borough Manager to develop a plan to relocate the Scow Bay Fire Station training props to a site adjacent to Fire Station One.

The plan shall include a proposed timeline for the move, detailed cost estimates for relocating the training vans, burn tower, and associated gear, estimated engineering and construction costs for a suitable pad at the Fire Station One site, and identification of potential funding options. The plan shall also include coordination with and required approval from the Department of Transportation (DOT). If DOT does not grant approval for the proposed location, staff shall immediately begin evaluation and planning for an alternative site.

Motion made by Assembly Member Meucci, Seconded by Assembly Member Valentine.

Discussion focused on site evaluation status, cost differences (Fire Station 1 vs. 14th Street), lack of funding, and the need for further analysis by staff.

An amendment to cease consideration of the 14th Street site failed (2 - 5).

Motion made by Assembly Member Martin, Seconded by Assembly Member Schwartz.  
Voting Yea: Assembly Member Martin, Assembly Member Meucci  
Voting Nay: Mayor Lynn, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Newman, Assembly Member Schwartz

The main motion failed (3 - 4).

Voting Yea: Assembly Member Meucci, Assembly Member Schwartz, Assembly Member Valentine,  
Voting Nay: Mayor Lynn, Vice Mayor Stanton Gregor, Assembly Member Newman, Assembly Member Martin

Staff will continue evaluating options and return with additional information.

**J. Formation of a Housing Task Force**

*This agenda item requested by Member Meucci*

Consider the formation of a Housing Task Force.

Discussion included differing views on timing and need. Some members supported forming a task force to engage the public and develop recommendations on housing issues. Others noted recent housing efforts, existing studies, and projects underway,

and expressed a preference to allow staff to continue current work and gather more data before establishing a new group. Motion to form a housing task force failed (2 -5).

Motion made by Assembly Member Meucci, Seconded by Assembly Member Martin.

Voting Yea: Assembly Member Meucci, Assembly Member Martin  
Voting Nay: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor, Assembly Member Valentine, Assembly Member Newman

**16. Communications**

**A. Correspondence Received Since April 20, 2026**

**17. Assembly Discussion Items**

**A. Arctic Security Cutter Homeport Consideration**

*This discussion item requested by Member Meucci*

Discussion regarding the potential for Petersburg to be considered as a home port for Arctic Security Coast Guard cutters. The Borough Manager reported that due to harbor depth, infrastructure requirements, and housing limitations, Petersburg is not currently a viable location for large icebreakers. Efforts are instead focused on retaining and expanding smaller Coast Guard assets, including buoy tenders and cutters. The Assembly discussed prior outreach efforts and the possibility of a future resolution expressing interest.

**B. Former South Mitkof Ferry Terminal**

*This discussion item requested by Member Meucci*

The Borough Manager reported that discussions with the Department of Transportation are ongoing regarding ownership, potential transfer to the Borough, and allowable future uses. No determinations have been made at this time.

**C. Power and Light Ordinances (Large Commercial Users)**

*This discussion item requested by Member Meucci*

Discussion was held regarding updates to power and light ordinances to address large commercial power users. Director Harbour reported he is working with the borough attorney to develop updated rate classifications and regulatory frameworks to better manage high-demand users, ensure cost recovery, and protect existing ratepayers while allowing for future growth. The Assembly discussed the need for clear guidelines, and flexibility for future development.

**D. Assembly Member Comments**

Member Valentine spoke about community concerns regarding housing affordability and workforce income levels made suggestions to improve public understanding of homebuying processes and financial resources.

Member Martin acknowledged the success of the Little Norway Festival and expressed appreciation for volunteers help at the festival.

## E. Recognitions

Member Schwartz congratulated Sig and Ambre Burrell who were this year's Norwegian American award recipients.

## 18. Adjourn

The meeting was adjourned at 9:00 pm.

Motion made by Assembly Member Valentine, Seconded by Assembly Member Martin.  
Voting Yea: Mayor Lynn, Assembly Member Schwartz, Vice Mayor Stanton Gregor,  
Assembly Member Valentine, Assembly Member Meucci, Assembly Member Martin,  
Assembly Member Newman



THE STATE of ALASKA GOVERNOR MIKE DUNLEAVY

Department of Commerce, Community, and Economic Development

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West Seventh Avenue, Suite 1600 Anchorage, Alaska 99501 Main: 907.269.0350

May 15, 2026

Petersburg Borough

VIA Email: tiffany.glass@petersburgak.gov; bregula@petersburgak.gov

Table with 2 columns: License Type, Licensee, Doing Business As, Premises Address, Endorsement(s). License Type: Package Store, License Number: 590, Licensee: Kitos, LLC, Doing Business As: Kitos Public House, Premises Address: 200 Chief John Lott, Petersburg, AK 99833, Endorsement(s): None.

- License Application types: New Application, Transfer of Location Application, Transfer of Ownership Application (checked), Transfer of Controlling Interest Application.

We have received a completed application for the above listed license (see attached application documents) within your jurisdiction. This is the notice required under AS 04.11.480.

A local governing body may protest the approval of an application(s) pursuant to AS 04.11.480 by furnishing the director and the applicant with a clear and concise written statement of reasons for the protest within 60 days of receipt of this notice, and by allowing the applicant a reasonable opportunity to defend the application before a meeting of the local governing body, as required by 3 AAC 305.085(d). If a protest is filed, the board will deny the application unless the board finds that the protest is arbitrary, capricious, and unreasonable. To protest the application referenced above, please submit your protest within 60 days and show proof of service upon the applicant.

AS 04.11.491 – AS 04.11.509 provide that the board will deny a license application if the board finds that the license is prohibited under as a result of an election conducted under AS 04.11.507.

AS 04.11.420 provides that the board will not issue a license when a local governing body protests an application on the grounds that the applicant’s proposed licensed premises are located in a place within the local government where a local zoning ordinance prohibits the alcohol establishment, unless the local government has approved a variance from the local ordinance.

Sincerely,

Anna White
Licensing Examiner II
For
Kevin Richard, Director
amco.localgovernmentonly@alaska.gov



THE STATE  
of **ALASKA**  
GOVERNOR MIKE DUNLEAVY

Department of Commerce, Community,  
and Economic Development

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West Seventh Avenue, Suite 1600  
Anchorage, Alaska 99501  
Main: 907.269.0350

May 15, 2026

Petersburg Borough

VIA Email: [tiffany.glass@petersburgak.gov](mailto:tiffany.glass@petersburgak.gov); [bregula@petersburgak.gov](mailto:bregula@petersburgak.gov)

<b>License Type:</b>	Beverage Dispensary	<b>License Number:</b>	589
<b>Licensee:</b>	Kitos, LLC		
<b>Doing Business As:</b>	Kitos Public House		
<b>Premises Address</b>	200 Chief John Lott, Petersburg, AK 99833		
<b>Endorsement(s):</b>	None		

- New Application**
 **Transfer of Ownership Application**  
 **Transfer of Location Application**
 **Transfer of Controlling Interest Application**

We have received a completed application for the above listed license (see attached application documents) within your jurisdiction. This is the notice required under AS 04.11.480.

A local governing body may protest the approval of an application(s) pursuant to AS 04.11.480 by furnishing the director **and** the applicant with a clear and concise written statement of reasons for the protest within 60 days of receipt of this notice, and by allowing the applicant a reasonable opportunity to defend the application before a meeting of the local governing body, as required by 3 AAC 305.085(d). If a protest is filed, the board will deny the application unless the board finds that the protest is arbitrary, capricious, and unreasonable. To protest the application referenced above, please submit your protest within 60 days and show proof of service upon the applicant.

AS 04.11.491 – AS 04.11.509 provide that the board will deny a license application if the board finds that the license is prohibited under as a result of an election conducted under AS 04.11.507.

AS 04.11.420 provides that the board will not issue a license when a local governing body protests an application on the grounds that the applicant's proposed licensed premises are located in a place within the local government where a local zoning ordinance prohibits the alcohol establishment, unless the local government has approved a variance from the local ordinance.

Sincerely,

Anna White  
Licensing Examiner II  
For  
Kevin Richard, Director  
[amco.localgovernmentonly@alaska.gov](mailto:amco.localgovernmentonly@alaska.gov)



THE STATE  
of **ALASKA**  
GOVERNOR MIKE DUNLEAVY

Department of Commerce, Community,  
and Economic Development

ALCOHOL & MARIJUANA CONTROL OFFICE  
550 West 7<sup>th</sup> Avenue, Suite 1600  
Anchorage, AK 99501  
Main: 907.269.0350

May 27, 2026

From: [Alcohol.licensing@alaska.gov](mailto:Alcohol.licensing@alaska.gov); [amco.localgovernmentonly@alaska.gov](mailto:amco.localgovernmentonly@alaska.gov);

Licensee: **Beachcomber Lodge LLC**

DBA: Beachcomber Lodge LLC

Via email: [beachcomberlodgellc@gmail.com](mailto:beachcomberlodgellc@gmail.com)

Local Government 1: Petersburg Borough

Via email: [tiffany.glass@petersburgak.gov](mailto:tiffany.glass@petersburgak.gov); [bregula@petersburgak.gov](mailto:bregula@petersburgak.gov)

Re: Beverage Dispensary License #100 Combined Renewal Notice for 2026-2027 Renewal Cycle

<b>License Number:</b>	#100
<b>License Type:</b>	Beverage Dispensary License
<b>Licensee:</b>	Beachcomber Lodge LLC
<b>Doing Business As:</b>	Beachcomber Lodge LLC
<b>Physical Address:</b>	384 Mitkof Highway Petersburg, AK 99833
<b>Designated Licensee:</b>	Ambre Burrell
<b>Phone Number:</b>	907-723-7514
<b>Email Address:</b>	<a href="mailto:beachcomberlodgellc@gmail.com">beachcomberlodgellc@gmail.com</a>

License Renewal Application

Endorsement Renewal Application

**Dear Licensee:**

Our staff has reviewed your application after receiving your application and the required fees. Your renewal documents appear to be in order, and I have determined that your application is complete for purposes of AS 04.11.510, and AS 04.11.520.

Your application is now considered complete and will be sent electronically to the local governing body(s), your community council if your proposed premises are in Anchorage or certain locations in the Matanuska-Susitna Borough, and to any non-profit agencies who have requested notification of applications. The local governing body(s) will have 60 days to protest the renewal of your license.

Your application will be scheduled for the **June 23rd, 2026** board meeting for Alcoholic Beverage Control Board consideration. The address and call-in number for the meeting will be posted on our home page. The board will not grant or deny your application at the meeting unless your local government waives its right to

protest per AS 04.11.480(a). Information about this board meeting can be found on our website closer to the date of the board meeting. [Home, Alcohol & Marijuana Control Office](#)

Please feel free to contact us through the [Alcohol.licensing@alaska.gov](mailto:Alcohol.licensing@alaska.gov) email address if you have any questions.

**Dear Local Government:**

We have received completed renewal applications for the above-listed licenses within your jurisdiction. This is the notice required under AS 04.11.480. A local governing body may protest the issuance, renewal, relocation, or transfer to another person of a license with one or more endorsements, or issuance of an endorsement by sending the director and the applicant a protest and the reasons for the protest in a clear and concise statement within 60 days of the date of the notice of filing of the application. A protest received after the 60-day period may not be accepted by the board, and no event may a protest cause the board to reconsider an approved renewal, relocation, or transfer.

To protest any application(s) referenced above, please submit your written protest for each within 60 days to AMCO and provide proof of service upon the applicant and proof that the applicant has had a reasonable opportunity to defend the application before the meeting of the local governing body. If you have any questions, please email [amco.localgovernmentonly@alaska.gov](mailto:amco.localgovernmentonly@alaska.gov).

Sincerely,  
Reece Parks, Licensing Examiner II  
For  
Kevin Richard, Director



## PMC Executive Summary June 2026

---

**Mission Statement:** Excellence in healthcare services and the promotion of wellness in our community.

**Guiding Values:** Dignity, Integrity, Professionalism, Teamwork, and Quality

**Summary:**

PMC continued ongoing advocacy, outreach, and service development efforts during May. This included a tour of the aging hospital facility and the WERC building for gubernatorial candidate Click Bishop, coordinated in partnership with Mayor Lynn. The tour provided an opportunity to directly demonstrate the operational challenges associated with the aging infrastructure, including plant limitations, deferred facility issues, and the importance of PMC's phased replacement strategy. Discussions also highlighted the role of healthcare as critical infrastructure and an economic driver for rural Alaska communities. In addition, meetings continue with state leadership, including Representative Himschoot this week, to discuss rural healthcare sustainability, infrastructure, and transformation opportunities. On the federal side, PMC received encouraging news that Senator Murkowski submitted an additional \$2.7 million appropriation request in support of PMC priorities, complementing the previously submitted \$2 million request from Congressman Begich. These ongoing advocacy efforts continue to build momentum around long-term capital planning, replacement infrastructure discussions, MRI implementation efforts, and broader healthcare transformation initiatives tied to RHTP and rural healthcare sustainability. By the time of the Board meeting, PMC is hopeful to have additional clarity regarding RHTP funding and implementation guidance, which will significantly influence both operational and capital planning discussions moving into the next fiscal year.

From a service line perspective, specialty outreach activity continues to expand. Optometry services occurred within the past two weeks with strong community utilization, PMC is meeting with Orthopedics this week regarding ongoing and future specialty coverage, and the organization is looking forward to the next Scope Clinic scheduled for June as part of continued efforts to improve local access to specialty care.

**Workforce Wellness:** *Goal: To create a supportive work environment and promote the physical and mental well-being of hospital staff to improve retention and overall productivity.*

- **May 2:** Pinning Ceremony- Celebrated the accomplishments of Holli Davis and Bessie Johnson that symbolizes the transition from student to professional nurse.



- **May 5<sup>th</sup> & 8<sup>th</sup>:** Employee Forum at WERC building. Thank you to board members for attending.



- **May 6:** Provider Lunch/Discussion
- **May 6-12:** National Nurses Week-PMC is proud to recognize our nurses that provide care across a wide range of settings including acute care, chemotherapy, emergency services, home health, long term care, outpatient services, pharmacy support, and wound care. We are very appreciative and proud of their commitment to patients and dedication to meeting the diverse needs of our community.
- **May 21:** CEO office hours open to employees
- **May:** National Speech-Language-Hearing Month- From supporting stroke recovery and cognitive changes, to diagnosing and managing hearing loss, these services help

members of our community to regain skills, adapt to changes, and preserve quality of life.



- **Ongoing:** Employee Meals
- **Ongoing:** Employee Recognition and Rewards



**Community Engagement:** *Goal: To strengthen the hospital's relationship with the local community and promote health and wellness within the community.*

- **May 4:** Submitted written report for Borough Noon Assembly Meeting.
- **May 8:** Rehabilitation/ Physical Therapy Dept Manager hosted a booth at the Teen Health Fair
- **May 12:** AHHA 2026 Committee Meeting
- **May 15:** RHTP Impacts: Spark Technology and Innovation Meeting
- **May 20:** Health E Connect Board Meeting (Board Member)
- **May 28:** PMC Live radio show on KFSK
- **May 28:** Hospital Board Meeting open to the public, and broadcast live on KFSK
- **Ongoing:** Kinder Skog Program -Newly added is the opportunity for any community member to sponsor a Skoggy and open the door to camp for a child. If you have any questions or would like more information, please call Katie at 907-531-5913 or email kholmlund@pmc-health.org
- **Ongoing:** Bingocize and Tai Chi Programs- Tai Chi has a Wednesday at noon class for beginners at the WERC building.
- **Ongoing:** CNA training course has started and is ongoing.
- **Ongoing:** PMC is currently in the process of developing a new website designed to enhance usability and improve access to information for our patients and the community we serve.
- **Adult Day-** Cedar Social Club offered to eligible persons 60 and older, please call 772-5716 to learn more about this program.

**Patient Centered Care:** *Goal: To provide high-quality, patient-centered care, and promote wellness for patients.*

- **May 13:** Pianist Corbin Beisner played classical piano for our LTC care residents
- **May 20:** Quality Meetings (LTC & CAH)
- **Joy Janssen Clinic** Access to Primary Care: We are currently staffed with 3 Physicians and 3 mid-level practitioners. Locums staffed as needed.
  - We are actively looking for a provider to fill the 4<sup>th</sup> position available.
  - As of May 13th, 2026, average patient access across all present providers reflects a 3-day wait for the next available appointment and 13 days for the third next available, indicating relatively consistent scheduling availability.
  - Locum coverage through August to cover provider PTO.
  - Same day acute care appointments remain consistently available.
  - Clinic is open and available M-F 8AM-5PM, and Saturday 8AM-12, 1PM-4:30PM. Same day appointments for urgent or acute care are readily available.
- **Audiology:** Phil Hofstetter continues to see patients in the Specialty Clinic. Call 772-5792 to schedule.

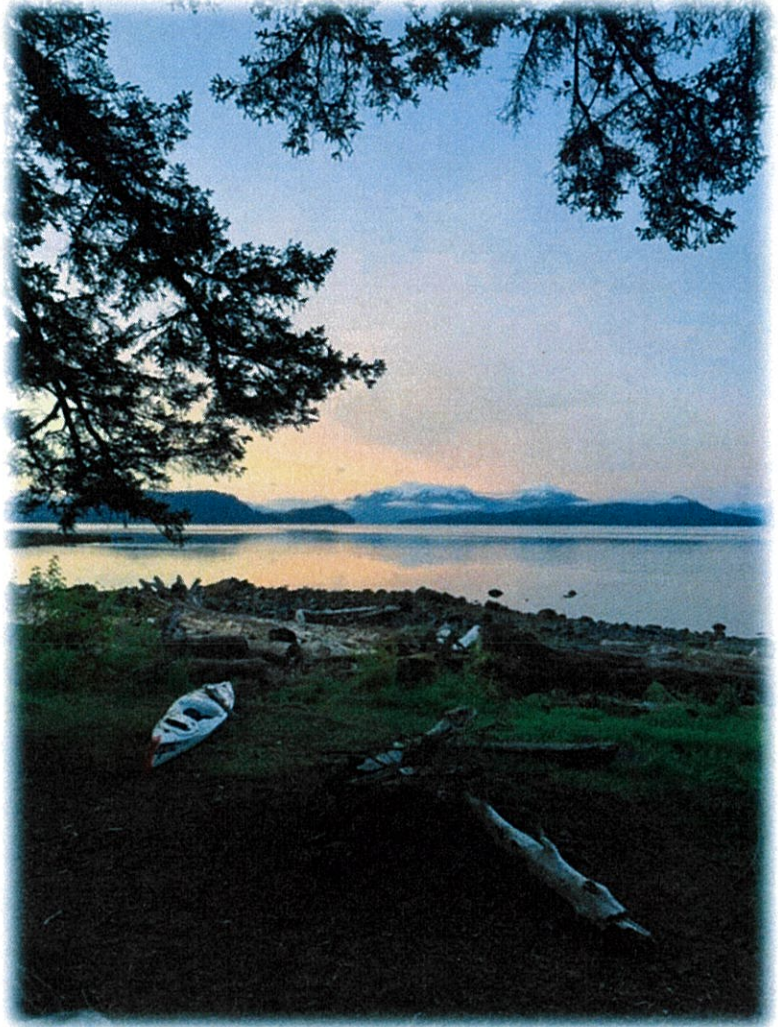
- **Psychiatry:** Dr. Sonkiss continues to provide ongoing services via telehealth and has a planned site visit for August.
- **Integrative Medicine:** Integrated Medicine with Dr. Hyer is offered via telehealth, email Dr. Hyer directly at [jhyer@pmc-health.org](mailto:jhyer@pmc-health.org) to schedule.
- **Optometry Clinic:** Dr. Kamey Kapp, Optometrist with Last Frontier Eye Care, regularly visits Petersburg in the Specialty Clinic. She was here this month seeing patients. Please call 907-434-1554 to schedule appointments.
- **Scopes Clinic:** Dr. Taggart and CRNA Jenilyn Lo will have their next clinic June 24<sup>th</sup> and 25<sup>th</sup>.
- **Dermatology:** Cameron French routinely visits Petersburg for dermatology, please call the clinic to schedule.
- **Orthopedic Clinic:** Discussions are ongoing to explore options for bringing ortho clinic specialty to Petersburg.
- **Cardiology-** Exploring options for cardiac testing locally, have started discussions regarding workflows.

**New Facility:** *Goal: To expand the capacity and capabilities of the community borough-owned rural hospital through the construction of a new facility, while considering the needs and priorities of the local community.*

- The WERC building is undergoing grounds cleanup in preparation for an early summer open house event. General site cleanup and event preparations will be completed in advance of the occasion.
- MRI tech acquired
- Please see attached report submitted by J. Wetzel with Arcadis
- Seeking Art Proposals: PMC is seeking inviting, contemporary art representative of the people of Petersburg, the area's nature-based environment, and Petersburg's unique history to decorate the walls of the WERC building. Proposals are due May 31, 2026. Eligibility: Alaskan Artists. Maximum 3 proposals.

**Financial Wellness:** *Goal: To achieve financial stability and sustainability for the hospital. FY25 Benchmarks for Key Performance Indicators (KPIs): Gross A/R days to be less than 55, DNFB < then 5 days, and 90 Days Cash on Hand*

- Accounts Receivables (AR) Update: Fluctuating mid to low fifties.
- There are still many unknowns with the Rural Health Transformation Program. PMC submitted our requests and at the time of this report submission we are still waiting to hear back to see if we will be able to move forward with next steps in that process, which may be a more detailed, line-item request.



**Submitted by:** Phil Hofstetter, CEO

---

**Mayor's Report  
For  
June 1, 2026 Assembly Meeting**

1. **Amy Hallingstad Day:** The second annual Amy Hallingstad Day will be observed on June 28th, recognizing and honoring the life and legacy of Amy Hallingstad. This day was established in appreciation of Ms. Hallingstad's enduring contributions as a civil rights pioneer and advocate for Alaska Native peoples. Her legacy as the "First Lady for the First People" has inspired generations.
  
2. **SEAPA Annual Shutdown:** SEAPA will be shutting down the hydroelectric feed to Petersburg from June 11th – 18th to allow for numerous critical maintenance activities at Tyee Lake, Swan Lake and the SEAPA Intertie transmission line. Petersburg Municipal Power & Light is asking the community to conserve electricity to minimize the loads, enabling us to keep our added costs down when operating diesels. **Customers are encouraged to conserve power which helps us burn less diesel and creates a lighter load for our generators.**



**Assembly Meeting 1 June 2026  
Manager's Report**

- ❖ Congratulations to David Mazzella for successfully achieving his journeyman lineman ticket from the State of Alaska on May 16<sup>th</sup>!
- ❖ The transition of PMPL leadership from Karl to Stephan is going well. All written plans mandated by our FERC license have been edited in this regard and submitted to the agency, other areas of regulatory responsibility have been transferred, and Karl continues to download information as appropriate.
- ❖ Dawson Construction has achieved 95% on the Scow Bay Generator #2 project design and is now working on an updated cost estimate. Due to current budget constraints, a contract amendment to build only the generator building foundations and shell is being drafted so that this work can happen this summer. PMPL appreciates Jody Tow's assistance in starting the bonding process to fully fund the completion of this project. The bonding ordinance will be introduced at the June 15<sup>th</sup> Assembly meeting.
- ❖ Steelhead Enterprises has completed work on the storage building addition at the Scow Bay pole yard. This project will provide much needed covered storage for spools of wire and other materials that get compromised when they are exposed to our local weather.
- ❖ The annual FERC dam safety inspection is set for July 14<sup>th</sup>. The FERC mandated Owner's Dam Safety Plan audit, due every 5 years, will occur at the same time. PMPL has not received any word from FERC in regard to our request to lower the Crystal Lake Dam hazard potential to "low" after completing the Dam Break Study earlier this year.
- ❖ The annual SEAPA maintenance shutdown will occur from June 11<sup>th</sup> – 18<sup>th</sup>. PMPL will be supplying all power to the community with our diesel plant and Blind Slough hydro during this time.
- ❖ Streets Crew prepared for the Little Norway festival by conducting street cleaning and roadway painting throughout town. Staff also completed road and ditch work at Greens Camp for the Memorial Day weekend.
- ❖ Sanitation's primary focus is preparing for the upcoming household hazardous waste event and ensuring operations are organized to make the event run as smoothly as possible. Crews are also preparing the oil burner system for servicing and ensuring the system is cleaned and ready for the upcoming winter season. Tire baling has been completed, and refrigerator processing will begin as time allows.
- ❖ Steelhead Enterprises has completed the walk-in cooler/freezer floor replacement in Elderly Housing. Thank you to Alan Murph for engineering the project. The final phase will have APEX Refrigeration

reinstalling the units.

- ❖ Both Elderly Housing and Assisted Living have reached 100% occupancy.
- ❖ Assisted Living has 3 resident assistant positions available, 1 cook position and always welcomes on-call employees for filling shifts.
- ❖ DNR issued the Final Finding and Decision for 21 acres of tidelands and submerged lands at Scow Bay. A small portion of this area will be used for the forthcoming haul-out project, but most of the area is for future development of a new harbor at this location.
- ❖ Alaska Housing Finance Corporation is offering \$10,000 rebates for new home construction. Individuals who are buying or building a newly constructed home in Alaska that meets a 5-Star Plus or higher energy efficiency standard may be eligible. Funds are available on a first-come-first served basis. Visit [alaskahousingenergy.us](http://alaskahousingenergy.us) or call 888-994-2432 for more information.
- ❖ Tour ship season is off to a good start. A reminder that the updated schedule can be found on the Boroughs website. Staff also posts the upcoming week's schedule by location for customers trying to work around the Drive Down, Port Dock, C Float and Loading Zones.
- ❖ Launch Permits are up for renewal as of June 1. Reminders were sent out last month, stop by the Harbor Office and pick yours up.
- ❖ Parking is being enforced in the Harbors, please pay attention to the signage or ask the Harbor Office for directions. The longest parking available is 7 days, so anything over that people are encouraged to figure out a different location for their vehicles.
- ❖ Ketchikan Mechanical and Rainforest Contracting have begun work on Aquatic Center sewer project.
- ❖ Gymnasium annual cleaning and maintenance will have the gym side closed June 8 - June 14, reopening June 15 @ 6a.
- ❖ The repairs at Banana Point breakwater continue to move forward with the funding from Denali. The Borough may also receive additional funding from Federal CDS in the amount of \$2M. If this occurs, the Borough will hope to use the funds for work on the ramp, a boarding float, and work on the road entering the facility.
- ❖ The Borough continues to work with ADOT and ADNR to get ownership of Papke's Landing tidelands and uplands. As a reminder, there is no current funding budgeted for repairs to this facility.
- ❖ The Borough's negotiating team (Steve G., Michelle Lopez, Jody Tow, Becky Regula and Tiffany Marohl) continue to meet with PMEA representatives on a new 3-year contract. This will be ongoing until ratified.
- ❖

**PETERSBURG BOROUGH  
ORDINANCE #2026-06**

**AN ORDINANCE AMENDING PETERSBURG MUNICIPAL CODE TITLE 20,  
ENTITLED “WATERSHED MANAGEMENT”, TO UPDATE LANGUAGE AND TO  
ACCOUNT FOR BOROUGH INCORPORATION**

**Whereas**, on January 3, 2013 the Election Division for the State of Alaska certified the election results of the December 18, 2012 incorporation election for the Petersburg Borough; and

**Whereas**, the certified election confirmed the incorporation of the Petersburg Borough and dissolved the City of Petersburg; and

**Whereas**, Petersburg Borough Charter, Section 19.06 requires all ordinances, resolutions, regulations, orders and rules in effect for the former City of Petersburg to continue in full force and effect within the Petersburg Borough, Service Area 1, until expressly reaffirmed, revised or repealed by the Assembly; and

**Whereas**, Title 20 of the former City of Petersburg Code, entitled *Watershed Management*, requires amendments in order to move it into the current municipal code and to account for necessary changes since the Title was adopted in 1995.

**THEREFORE, THE PETERSBURG BOROUGH ORDAINS**, as follows:

**Section 1. Classification:** This ordinance is of a general and permanent nature and shall be codified in the Petersburg Municipal Code.

**Section 2. Purpose:** The purpose of this ordinance is to update the language of the municipal code regarding watershed management, to move it into the borough code and to account for borough formation.

**Section 3. Substantive Provisions:** Title 20, *Watershed Management*, of the Petersburg Municipal Code is hereby amended as follows. The language proposed for addition is **underlined and bold**, and the language proposed for deletion is in [brackets] and struck through:

**Title 20 WATERSHED MANAGEMENT**

**Chapter 20.10 DEFINITIONS**

**20.10.010 Applicability of definitions.**

For the purpose of this title, the terms contained in this chapter shall have the following meanings stated and rights defined unless the context requires otherwise.

**20.10.020 Cabin Creek watershed.**

"Cabin Creek water supply watershed" means those lands above the Cabin Creek water supply reservoir dam and that drain into the water supply reservoir, **specifically including without limitation Sections 7, 8, 9, 16, 17, 18, 19, and 20 of T59S, R80E, CM and Sections 13, 23, and 24 of T59S, R79E, CM.**

**20.10.030 City Creek watershed.**

"City Creek water supply watershed" means those lands above the City Creek water supply reservoir dam and that drain into the water supply reservoir, **specifically including without limitation Sections 1, 2, 11, 12, 13, and 14 of T59S, R79E, CM.**

**20.10.040 Wastes.**

"Wastes" means unwanted or discarded materials, liquid or solid, resulting from manufacturing processes or human habitation or activity.

***Chapter 20.20 AUTHORITY AND APPLICABILITY***

**20.20.010 Applicability.**

~~[The ordinance codified in t]~~This title shall apply to all lands within the [e]City **Creek** and Cabin Creek municipal water supply watersheds and in the immediate vicinity of the existing or planned locations of the impoundment structures or reservoirs.

**20.20.020 Authority.**

Alaska Statutes 29.35.180(b) provides that a home rule municipality shall provide for planning, platting and land use regulation.

***Chapter 20.30 FINDINGS AND PURPOSE***

**20.30.010 - Water supplies.**

The **borough**[city] finds that the City Creek **and Cabin Creek** reservoirs and watersheds currently serve[s] as the [city's sole] source of potable water **for service area #1**~~[, and that a new water supply reservoir is being developed in the Cabin Creek watershed].~~

**20.30.020 - Use of watershed lands.**

The **borough** [city] further finds that water supplies of sufficient quantity and quality are essential to the health and welfare of its residents, visitors and industries; that serving as a public water supply is the highest and best use of water supply watershed lands; that uses of and activities on water supply watershed lands must be consistent with their use and value as public water supplies; and that uses of, and activities on water supply watershed lands that could threaten the quality or quantity of the water supplies are to be prohibited.

***Chapter 20.40 WATERSHED MANAGEMENT PROGRAM***

**20.40.010 - Watershed management program.**

The [city] watershed management program [is] **previously** adopted **by the City of Petersburg is hereby adopted by the borough and incorporated herein** as part of ~~[the ordinance codified in]~~ this title. Management policies and measures set out in the watershed management program are enforceable provisions of this **borough** code.

~~***Chapter 20.50 COMPREHENSIVE PLAN AMENDMENT***~~

~~**20.50.010 - Comprehensive plan amendment.**~~

~~The land use plan specified by the Petersburg comprehensive plan is amended to designate all City Creek and Cabin Creek water supply watershed lands as "open space" classification as defined in the comprehensive plan.]~~

~~***Chapter 20.60 ZONING ORDINANCE AMENDMENT***~~

**20.60.010 – Zoning ordinance amendment.**

Title 19 of this code, known as the zoning ordinance, is amended to designate all City Creek and Cabin Creek water supply watershed lands as "open space" district as defined in Title 19.]

**Chapter 20.50[70] PROHIBITIONS****20.50[70].010 - Defacing property.**

No person in the Cabin Creek and City Creek water supply watersheds shall willfully mar, deface, disfigure, injure, tamper with, or displace or remove, any **borough**[city]-owned building, equipment, structure, supplies, sign, notice or placard, monument, stake, post or other boundary marker.

**20.50[70].020 - Discharge and disposal.**

No person in the Cabin Creek and City Creek water supply watersheds shall discharge or dispose of pesticides, chemical fire suppressants, road chemicals, refuse, litter, sewage, oils, solvents, or other wastes, liquid or solid, into City Creek or Cabin Creek, into their tributaries, into the reservoirs, or onto the lands. This prohibition does not apply to the Ravens Roost Cabin outhouse.

**20.50[70].030 - Gravel, sand and mineral extraction.**

No person in the Cabin Creek and City Creek water supply watersheds shall explore for, or extract rock, gravel, sand, peat or minerals.

**20.50[70].040 - Structures.**

No person in the Cabin Creek and City Creek water supply watersheds shall place, construct or install any structure without the specific approval of the **borough**[city] after finding that the structure will not threaten water quality or quantity, or cause or encourage activities that could threaten water quality or quantity. This prohibition does not apply to the maintenance or reconstruction of existing structures such as those associated with the Ravens Roost Cabin and Trail.

**20.50[70].050 - Surface disturbance.**

No person in the Cabin Creek and City Creek water supply watershed shall undertake construction or other activity that disturbs the vegetative cover or solids, except that minor disturbances associated with allowable uses or maintenance of trails or recreational facilities is permitted.

**20.50[70].060 - Timber harvesting.**

No person in the Cabin Creek and City Creek water supply watersheds shall harvest timber for commercial, personal or other uses[~~except as required for the initial project~~].

**Chapter 20.60[80] ALLOWABLE ACTIVITIES****20.60[80].010 - Recreation.**

Allowable uses of Cabin Creek and City Creek water supply watershed lands are camping, hiking, berry picking, skiing and other personal use or recreational activities provided that such activities, exclusive of ingress and egress, are conducted at a minimum distance of **fifty (50) feet** [~~one-quarter mile~~] from the **shorelines of the** reservoirs and comply with the other provisions of [~~the ordinance codified in~~] this title. **Hunting within the watersheds is permitted per applicable State of Alaska or U.S. Forest Service regulation, but game shall not be harvested within fifty (50) feet of the shorelines of the reservoirs, and the entire animal must be moved to downstream of the reservoir dams prior to cleaning, skinning or butchering.**

**20.60[80].020 - Water supply activities.**

Not[-]withstanding other provisions of [~~the ordinance codified in~~] this title, allowable uses of Cabin Creek and City Creek water supply watershed lands include activities authorized by or conducted by the **borough**[~~city~~] and specifically intended to maintain or improve either the quantity or quality of the water supplies; or deemed necessary to construct, maintain, safeguard, or improve impoundment, intake or other water supply structures or functions.

**Section 4. Severability:** If any provision of this Ordinance or any application to any person or circumstance is held invalid, the remainder of this Ordinance and the application to other persons or circumstances shall not be affected.

**Section 5. Effective Date:** This Ordinance shall become effective upon adoption.

**PASSED AND APPROVED by the Petersburg Borough Assembly, Petersburg, Alaska this 1st day of June, 2026.**

\_\_\_\_\_  
**Robert Lynn, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Rebecca Regula, Borough Clerk**

Adopted:  
Noticed:  
Effective:

**PETERSBURG BOROUGH  
ORDINANCE #2026-07**

**AN ORDINANCE AMENDING PETERSBURG MUNICIPAL CODE CHAPTER 4.80 TO  
ADJUST THE MARINE PASSENGER FEE TO ADDRESS INCREASED BOROUGH  
COSTS ASSOCIATED WITH SERVICES TO AND INFRASTRUCTURE FOR MARINE  
PASSENGER VESSELS AND THEIR PASSENGERS**

**WHEREAS**, the Petersburg Borough Assembly finds that costs associated with public safety, harbor facilities, sanitation, emergency response, and other Borough services have substantially increased since the marine passenger fee was adopted on March 5, 2018; and

**WHEREAS**, an increase to the marine passenger fee is necessary to ensure the Borough can continue to provide adequate services and maintain infrastructure impacted by marine passenger vessels.

**THEREFORE, THE PETERSBURG BOROUGH ORDAINS as follows:**

**Section 1. Classification:**

This ordinance is of a permanent nature and shall be codified in the Petersburg Municipal Code.

**Section 2. Purpose:**

The purpose of this ordinance is to amend Chapter 4.80, Marine Passenger Fee, to increase the per-passenger fee by \$3.00 in order to address the Borough's rising costs for services and infrastructure rendered to or for the benefit of marine passenger vessels visiting the Borough.

**Section 3. Substantive Provisions:**

Petersburg Municipal Code 4.80.030, *Imposition of Fee*, is hereby amended to read as follows (the language proposed for deletion is struck through, and the new language is **bold and underlined**):

**4.80 Marine Passenger Fee**

4.80.030 Imposition of fee.

A. A fee of **\$8.00** ~~5.00~~ per passenger shall be assessed for every marine passenger ship not otherwise exempted upon entry into any port within the Borough.

B. The per passenger fee imposed under this Chapter shall be assessed only once per cruise, at the time of first entry by a ship into any port within the Borough.

**Section 4. Severability:**

If any provision of this ordinance or any application to any person or circumstance is held invalid, the remainder of this ordinance and the application of other persons or circumstances shall not be affected.

**PETERSBURG BOROUGH  
ORDINANCE #2026-07**

**Section 5. Effective Date:** This Ordinance shall be effective upon adoption, however the fee increase established in Section 3 shall not go into effect until January 1, 2027.

**Passed and approved** by the Petersburg Borough Assembly, Petersburg, Alaska this 1<sup>st</sup> day of June, 2026

\_\_\_\_\_  
**Robert Lynn, Mayor**

**Attest:**

\_\_\_\_\_  
**Rebecca Regula , Borough Clerk**

Adopted:  
Published:  
Effective:

PETERSBURG BOROUGH  
ORDINANCE #2026-08

AN ORDINANCE UPDATING CHAPTER 14.16 OF THE MUNICIPAL  
CODE, ENTITLED "ELECTRIC UTILITY"

**WHEREAS**, in this year’s budget preparations and through the use of the new Waterworth rate review software, Petersburg Municipal Power & Light identified that overall department revenues need to increase by an average of approximately 4% in FY27 in order to fully cover expenses and inflation, fund capital projects, meet reserve policies, and achieve the required debt coverage ration required by our revenue bond.

**THEREFORE, THE PETERSBURG BOROUGH ORDAINS**, the following service rates and charges set out in Chapter 14.16, Electric Utility, are hereby amended:

**Section 1. Classification:** This ordinance is of a general and permanent nature and shall be codified in the Petersburg Municipal Code.

**Section 2. Purpose:** The purpose of this ordinance is to update service rates and charges for FY 2027 for electric service, as set out in Chapter 14.16.

**Section 3. Substantive Provisions:** Sections 14.16.670 *Rates-Residential service*, 14.16.680 *Rates—General service class*, 14.16.690 *Rates—Large commercial service*, 14.16.700 *Rates—Boat harbor service*, 14.16.715 *Rates—Security lighting service*, 14.16.716 *Economic development power rate*, 14.16.717 *Rates—Municipal buildings*, 14.16.720 *Rates—Fuel and purchased power adjustment charge*, 14.16.725 *Rates—Diesel generation adjustment charge*, and 14.16.730 *Service charges*, of Chapter 14.16, Electric Utility, of the Petersburg Borough Municipal Code are hereby amended as follows. The language proposed for addition is in bold and underlined, and the language proposed for deletion is in brackets and struck through:

14.16.670 - Rates—Residential service.

A. *Applicability.* The rates in this section apply to domestic usage in private residences and apartments, measured through a single meter; provided, that single-phase motors shall not exceed seven and one-half horsepower.

B. *Character of service.* Residential service will be 60-hertz, alternating current. The utility reserves the right to specify the voltage and phase of service supplied under this schedule.

C. *Monthly rate.*

		Effective 7/2026 <del>[5]</del> Billing
Customer charge:		\$16. <del>64</del> <del>[00]</del>
Energy charge:	All kwh	12. <del>7</del> <del>[2]</del> cents/kwh

D. *Fuel and purchased power adjustment charge.* Subject to section 14.16.720.

14.16.680 - Rates—General service class.

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

A. *Applicability.* The rates in this section may apply to all requirements for lighting, heating and power **service, typically for commercial entities,** measured through a single meter ~~[that is below]~~ **up to a** 50 kilovolt-ampere transformer rating or 50 kilowatt demand, **or having any motor loads greater than seven and one-half horsepower.**

B. *Character of service.* General service will be 60-hertz, alternating current. The utility reserves the right to specify the voltage and phase of service supplied under this schedule.

C. *Monthly rate.*

		Effective 7/202 <del>6</del> <sup>[5]</sup> Billing
Customer charge:		\$20. <del>80</del> <sup>[00]</sup>
Energy charge:	All kwh	<b><u>12.4</u></b> <del>[44.9]</del> cents/kwh

D. *Fuel and purchased power adjustment charge:* Subject to section 14.16.720.

14.16.690 - Rates—Large commercial service.

A. *Applicability.* The rates in this section apply to lighting, heating and power service for commercial or industrial **customers served by one or more transformer(s) installed solely to provide that service, where the service has a measured demand greater than 50 kilovolt-amperes, or any service for commercial or industrial customers that have greater than 50 kilowatts of demand from any transformer.** ~~[service having measured demands equal to or greater than 50 kilovolt-ampere transformer rating or 50 kilowatt demand.]~~

B. *Character of service.* Large commercial service will be 60-hertz, alternating current. The utility reserves the right to specify the voltage or phase of service supplied under this schedule.

C. *Monthly rate.*

		Effective 7/202 <del>6</del> <sup>[5]</sup> Billing
Customer charge:		\$ <b><u>41.60</u></b> <del>[40.00]</del>
Demand charge:		\$3. <del>85</del> <sup>[70]</sup> per KW of billing demand
Energy charge:	All kwh	<b><u>12.4</u></b> <del>[44.9]</del> cents/kwh

D. *Fuel and purchased power adjustment charge.* Subject to section 14.16.720.

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

E. *Minimum charge.* The minimum demand charge shall not be less than 75 percent of the highest demand billed during the preceding 11 months, ~~but~~ in any case no less than **\$200.00 after July 1, 2026.** [~~\$170.00 after January 2, 2022; and \$185.00 after July 1, 2022.~~]

F. *Billing demand.* The billing demand shall be the maximum 15-minute measured demand during the billing period, adjusted for power factor.

G. *Adjustment of demand for power factor.* Demands will be adjusted to correct for average power factors lower than 90 percent. Such adjustments will be made by increasing the measured demand one percent for each one percent or portion thereof by which the average power factor is less than 90 percent lagging.

H. *Agreement of service.* The borough may require an agreement to be entered into for service under this schedule.

14.16.700 - Rates—Boat harbor service.

A. *Applicability.* The rates in this section apply to usage in moored [~~private~~] boats, measured through a single meter, at the boat harbors; provided, that single-phase motors shall not exceed seven and one-half horsepower.

B. *Character of service.* Boat harbor service will be 60-hertz, alternating current. The utility reserves the right to specify the voltage and phase of service supplied under this schedule.

C. *Monthly rate.*

		Effective 7/202 <del>6</del> <sup>5</sup> Billing
Customer charge:		\$20. <del>80</del> <sup>80</sup>
Energy charge:	All kwh	12. <del>9</del> <sup>9</sup> cents/kwh

D. *Fuel and purchased power adjustment charge.* Subject to section 14.16.720.

14.16.715 - Rates—Security lighting service.

A. *Installation policy.* Residential or commercial customers may **select light-emitting diode (LED) security lighting fixtures using the wattage ranges identified in paragraph C below. High pressure sodium (HPS) fixtures shall not be available for new installations or replacements under this schedule after July 1, 2026.** [~~choose 70-watt, 100-watt, 200-watt or 400-watt high pressure sodium (H.P.S.) lamps, or LED wattage equivalent fixtures, for security lighting purposes.~~] The municipal electric utility shall install and maintain the fixtures on existing poles, **and at its discretion may replace HPS security lights for equivalent LED lights. In the case of HPS replacement with an LED light, the monthly rates in section C below shall apply to the wattage of the new LED light.**

B. *Character of service.* Security lighting shall be served from an existing source of 60-hertz, alternating current. The utility reserves the right to specify the voltage of service supplied under this schedule.

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

C. *Rates.* Monthly rates for the fixtures shall be:

<b>Wattage</b>	<b>Rate per lamp</b>
20—30 watt LED	\$8.50
31—50 watt LED	\$10.00
51—100 watt LED	\$12.50
101—150 watt LED	\$15.00
70 watt HPS	\$8.50
100 watt HPS	\$10.00
200 watt HPS	\$15.00
400 watt HPS	\$20.00

D. *Special provisions.* Where suitable poles and/or existing services do not exist, the customer may be required to participate in or bear the cost of installation of poles and conductors. Such installations are at the sole discretion of the utility director.

14.16.716 - Economic development power rate.

A. The purpose of this rate schedule is to encourage economic development by encouraging capital investments, adding jobs, improving the efficient utilization of existing municipal power and light facilities and diversifying customer base.

B. Applicant eligibility requirements are as follows:

1. New commercial or industrial customers at one location having peak demand equal to, or greater than, 50 kilowatts. A new customer's electric service represents demand not previously serviced by the electric utility at any location.

2. Existing commercial or industrial customers who increase their peak demand at one location by no less than 50 kilowatts. The rate shall apply only to the expanded demand and shall be measurable by installation of a separate electric meter or other device approved by the utility director.

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

3. The applicant is required to be located where there is no significant additional investment in utility facilities by the borough or pay for the line extension and/or transformer costs under terms of the existing code.

4. Upon connection of the new or increased load addressing sections B.1 or B.2 of this section, a customer will be charged established normal rates per the applicable customer class until they prove that they have met sections B.1 and B.2. The customer has up to 12 months from the month service is energized or new load is added to demonstrate eligibility under provisions B.1. or B.2. of this section. The customer must provide a written request for application of the economic development rate to the utility director, with information provided that clearly shows that the load threshold has been met.

5. All written requests for service under this section will be considered by the borough assembly, after review and recommendation by the utility director; however, requests which do not conform to purpose and applicability provisions as determined by the director, shall not be approved.

C. *Character of service.* Service will be 60-hertz, alternating current. The borough reserves the right to specify the voltage or phase of service supplied under this schedule.

D. *Monthly rate.*

		Billing Period
Customer charge:		<b>\$31.20</b> <del>[30.00]</del>
Demand charge:		-0-
Energy charge:	All KWH	10. <b>9</b> <del>[5]</del> cents/KWH

E. *Term of rate.*

1. The term of this rate shall not exceed a period of three years from the month that increased or added loads have been proven by the customer and approval of the rate is approved.

2. Continuation of service beyond the three year limit will be at the appropriate standard rate.

3. This rate will not go into effect until applicant is approved by the borough assembly, and no refund or consideration for past power consumption will be considered.

F. *Special provisions.* This rate may be curtailed by the borough assembly upon 30 days' notice in the event that sufficient hydro power is no longer available. Should this occur, the customer would have the option of switching to the appropriate standard rate schedule or having the service discontinued.

G. *Agreement of service.* The borough assembly may require an agreement to be entered into for service under this schedule.

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

14.16.717 - Rates—Municipal buildings.

A. *Applicability.* The rates of this section apply only to the following municipal buildings, of the Petersburg Borough who receive a large commercial rate: 1) the Aquatic Center Boiler Room, 2) the Aquatic Center, 3) the High School/Middle School/High School Gym, and 4) the Elementary School.

B. *Character of service.* The service voltage shall be three-phase, 60-hertz. The utility reserves the right to specify the voltage supplied under this service.

C. *Monthly rate.* The energy charge and monthly customer charges shall be as presented in the table below. There are no demand or power factor penalty charges. In addition to the energy charge and monthly customer charge, the fuel and purchased power adjustment charge described in section 14.15.720 will apply.

		Effective 7/2026 <del>[5]</del> Billing Period
Customer charge:		<b>\$35.36</b> <del>[34.00]</del>
Demand charge:		-0-
Energy charge:	All kwh	11. <b>6</b> <del>[2]</del> cents/kwh

D. *Special provisions.* During the annual budget process, the electric utility shall report to the assembly the dollar amount difference by offering the municipal rate instead of the large commercial rate.

14.16.720 - Rates—Fuel and purchased power adjustment charge.

A. *Applicability.* An adjustment shall be applied to each kilowatt-hour billed under all schedules to reflect increases in purchased wholesale power above a rate of 7.3 cents/kwh for SEAPA wholesale power. **Upon the Electric Utility Director’s recommendation, and the Borough Manager’s approval**~~[At the assembly’s discretion]~~, an adjustment may be applied to each kilowatt-hour billed under all schedules for diesel fuel purchased, for purposes of generation, above **the budgeted per gallon cost established in the current fiscal year**~~[a cost of two hundred forty cents/gallon]~~. The adjustment **rate will be applied to kWh usage during a billing period that includes diesel generation (the “billing period” in the formula below), and the adjustment charge will be billed the month following.**~~[s will be based on the previous month’s usage.]~~

B. *Method of calculation.* The adjustment A (in cents/kilowatt-hour) ~~[applied to prior month’s usage]~~ shall be calculated as follows:

A = (Fuel adjustment formula) + (Purchased Power adjustment formula)

A = ((F-~~FB~~~~[240]~~)/13.5 × D/G) + ((S-7.3) × P/G)

Where:

F = Cost in cents/gallon of most recent purchase of diesel fuel.

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

**FB = Cost in cents/gallon of current fiscal year’s budgeted fuel purchase expense.**

D = Kilowatt-hours generated during **the billing period.** [~~prior month by diesel plant.~~]

G = Total generation during **the billing period** [~~prior month~~] **(Blind Slough Hydro + Diesel Plant + SEAPA),** [~~including purchased power,~~] in kilowatt-hours.

S = SEAPA wholesale power rate, in cents/kilowatt-hour.

P = Energy purchased from SEAPA during [~~month prior to billing period~~] **the billing period,** in kilowatt-hours.

[~~G = Total generation during prior month (Blind Slough Hydro + Diesel Plant + Tyee), in kilowatt-hours.~~]

14.16.725 - Rates—Diesel generation adjustment charge.

A. *Applicability.* **Upon the Electric Utility Director’s recommendation, and the Borough Manager’s approval**[~~At the Assembly’s discretion~~], an adjustment may be applied to each kilowatt-hour billed under all schedules for fuel, engine oil and staff overtime expenses incurred when unplanned and unbudgeted diesel generation is required in support of insufficient supply of purchased power, or to supplant purchased power due to an emergency situation. This shall not apply to diesel generation required during scheduled maintenance periods of the wholesale power supplier, which are covered under section 14.16.720.

B. *Method of calculation.* The adjustment (in cents/kilowatt-hour applied to prior month's usage) shall be calculated as follows:

$$\text{Diesel Generation Adjustment} = ((B+O+OT)/D) \times (D/G) \times 100$$

Where:

B = Total prior month's cost of fuel burned during diesel generation event in dollars.

O = Total prior month's cost of oil consumed during diesel generation event in dollars.

OT = Total prior month's cost of staff operations overtime during diesel generation event in dollars.

D = Kilowatt-hours generated during prior month by diesel plant.

G = Total generation during prior month, including purchased power, in kilowatt-hours.

14.16.730 - Service charges.

A. *Connect/reconnect fee:* ~~\$50~~[25].00 during normal business hours for each premises served. Actual labor costs, plus 15 percent after business hours.

B. *Transfer fee:* ~~\$40~~[25].00. The transfer fee covers the cost of name change and meter reading at two service locations and is billed to the new account.

C. *Shut-off due to unauthorized turn-on, fraud or abuse:* Actual costs to the borough, plus 15 percent.

D. *Meter testing fee:* ~~\$100~~[75].00 (if test initiated by customer). See section 14.16.290 B.

E. *New service fees:* Fees are per single point of attachment (one meter) and customers will be charged the actual cost for any additional meters.

1. Residential connection (overhead or underground):

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

100 amp service: overhead ~~\$800[350]~~.00; underground ~~\$1,100[650]~~.00.

150 amp service: overhead ~~\$900[400]~~.00; underground ~~\$1,200[700]~~.00.

200 amp service: overhead ~~\$1,000[450]~~.00; underground ~~\$1,500[750]~~.00.

400 amp service (Class 320): overhead ~~\$1,200[550]~~.00; underground ~~\$2,000[850]~~.00.

2. Residential temporary connection fee: ~~\$250[100]~~.00.

3. Commercial connection (overhead or underground—single phase):

100 amp service: overhead ~~\$1,200[650]~~.00, underground ~~\$1,400[850]~~.00, plus transformer costs;

150 amp service: overhead ~~\$1,300[700]~~.00, underground ~~\$1,500[900]~~.00, plus transformer costs;

200 amp service: overhead ~~\$1,500[850]~~.00, underground ~~\$2,000[1,050]~~.00, plus transformer costs.

Above 200 amp service: overhead ~~\$1,750[900]~~.00, underground ~~\$2,400[1,100]~~.00, plus ~~\$15[40]~~.00 per KVA requirement, plus transformer costs.

4. Commercial connections (overhead—three phase):

100 amp service: ~~\$2,000[950]~~.00, plus transformer costs;

150 amp service: ~~\$2,200[1,050]~~.00, plus transformer costs;

200 amp service and larger: ~~\$2,500[1,200]~~.00, plus ~~\$15[40]~~.00 per KVA requirement, plus transformer costs.

5. Commercial connection (underground—three phase):

100 amp service: ~~\$2,200[1,000]~~.00, plus transformer costs;

150 amp service: ~~\$2,400[1,200]~~.00, plus transformer costs;

200 amp service: ~~\$2,600[1,300]~~.00, plus transformer costs.

Above 200 amp service: ~~\$2,750[1,300]~~.00, plus ~~\$15[40]~~.00 per KVA requirement, plus transformer costs.

Owner must provide trenching, backfilling, concrete or fiberglass pad, and PVC conduit, as specified by the utility, from secondary spades to metering enclosure.

6. Commercial temporary connection:

Single phase: ~~\$250[100]~~.00;

Three phase: ~~\$850[450]~~.00.

7. Service upgrade fee. Customers who request to upgrade service shall pay the difference between their current service connection fee and the requested service connection fee.

F. *Permit fees:*

1. Residential up to six sockets or outlets: heat pump installations: \$50.00;

2. Residential over six sockets or outlets: \$75.00;

3. Temporary meter setting and other miscellaneous works: \$50.00;

**PETERSBURG BOROUGH  
ORDINANCE #2026-08**

- 4. Commercial buildings: \$75.00, plus twenty-five cents per socket or outlet;
- 5. The above fees include two inspections: one rough and one final inspection;
- 6. For each additional inspection: \$50.00;
- 7. For inspection of any electrical equipment for which no fee is specifically prescribed: \$50.00;
- 8. Upon failure to make application and secure permit by the second workday after commencing work: add \$50.00 to permit fee. Permits will be issued by the electrical inspector within 72 hours from time of application, Saturdays, Sundays and holidays excluded.
- 9. Permit fees for borough-owned projects or work may be waived by the utility director, **however connection fees shall still apply.**

G. *Secondary service work:* If secondary service work is required, the customer will be charged actual costs. Customers requesting such service outside of normal working hours shall pay actual labor costs, **including overtime and double time pay rates that apply** [~~plus fifteen percent~~].

H. Electric rates and fees shall be reviewed **annually** [~~periodically~~] by the electric utility and a recommendation made to the borough manager for the increase or decrease of rates as needed for the sound financial management of the electric utility. The borough manager shall review the findings and present the recommendations to the borough assembly.

**Section 4. Severability:** If any provision of this ordinance or any application to any person or circumstance is held invalid, the remainder of this ordinance and the application to other persons or circumstances shall not be affected.

**Section 5. Effective Date:** This Ordinance shall become effective immediately upon final passage.

**PASSED AND APPROVED by the Petersburg Borough Assembly, Petersburg, Alaska this 1<sup>st</sup> day of June 2026.**


\_\_\_\_\_  
Robert Lynn, Mayor

**ATTEST:**

\_\_\_\_\_  
Rebecca Regula, Borough Clerk

Adopted:  
Noticed:  
Effective:

## MEMORANDUM

**TO:** MAYOR LYNN AND BOROUGH ASSEMBLY  
**FROM:** KARL HAGERMAN, UTILITY DIRECTOR   
**SUBJECT:** RECOMMENDATION FOR ELECTRIC UTILITY RATE INCREASE  
**DATE:** 4/28/2026  
**CC:** STEVE GIESBRECHT, BOROUGH MANAGER  
STEPHAN HARBOUR, UTILITY DIRECTOR (INCOMING)  
JODY TOW, FINANCE DIRECTOR

In this year's budget preparations and through the use of the new Waterworth rate review software, Petersburg Municipal Power & Light identified that overall department revenues need to increase by 4% in FY27 in order to fully cover expenses and inflation, fund capital projects, meet reserve policies, and achieve the required debt coverage ratio required by our revenue bond.

The new singular energy rate for each customer class established last year has worked well, with revenues meeting projections in FY26. However, as capital improvement plans solidify and inflation continues to impact department expenses, the rate setting software shows that a 4% across the board increase is needed to fund the needs of the department in FY27.

Additionally, the utility is recommending an increase to various connection fees in this ordinance. PMPL has been providing connections at reasonable rates for many years, but cost increases have gotten to the point where it has become difficult to justify. On average, PMPL spends approximately \$5,000 to connect a standard residential customer. This includes a service pole, wire, hardware, terminations, equipment time and line crew labor. The utility is not seeking to recover 100% of those costs to make service requests accessible for new home owners or business startups, but to increase the fee to cover more of the materials needed to establish service.

As was provided last year, an attachment to this memo shows comparisons of various customer billings using the current rates and the proposed rates. The recommended 4% across the board increase is noted.

Also, the utility is providing information on how the proposed rates compare to other communities in our region. As you'll see, Petersburg's rates remain extremely competitive even with the proposed increases.

It is PMPL's recommendation that the Assembly approve the proposed rate ordinance. Thank you for your consideration.

**PMPL Proposed Rate Increase  
Customer Comparisons**

	<i>Charges with Current Rates</i>	<i>Charges with Proposed Rates</i>
<b>Residential Customer #1</b>	\$16.00	\$16.64
1203 kWh	\$147.03	\$152.91
TOTAL	<b>\$163.03</b>	<b>\$169.55</b>
<i>Percentage increase</i>		4.00%
<b>Residential Customer #2</b>	\$16.00	\$16.64
3590 kWh	\$438.77	\$456.32
TOTAL	<b>\$454.77</b>	<b>\$472.96</b>
<i>Percentage increase</i>		4.00%
<b>General Service Customer #1</b>	\$20.00	\$20.80
1279 kWh	\$152.60	\$158.70
TOTAL	<b>\$172.60</b>	<b>\$179.50</b>
<i>Percentage increase</i>		4.00%
<b>General Service Customer #2</b>	\$20.00	\$20.80
7428 kWh	\$886.23	\$921.68
TOTAL	<b>\$906.23</b>	<b>\$942.48</b>
<i>Percentage increase</i>		4.00%
<b>Harbor Customer #1</b>	\$20.00	\$20.80
629 kWh	\$78.10	\$81.22
TOTAL	<b>\$98.10</b>	<b>\$102.02</b>
<i>Percentage increase</i>		4.00%
<b>Harbor Customer # 2</b>	\$20.00	\$20.80
1,322 kWh	\$164.14	\$170.71
TOTAL	<b>\$184.14</b>	<b>\$191.51</b>
<i>Percentage increase</i>		4.00%
<b>Lg Commercial #1</b>	\$40.00	\$41.60
56,400 kWh	\$6,729.08	\$6,998.24
742.5 KW	\$2,747.25	\$2,857.14
TOTAL	<b>\$9,516.33</b>	<b>\$9,896.98</b>
<i>Percentage increase</i>		4.00%
<b>Lg Commercial Customer #2</b>	\$40.00	\$41.60
144,960 kWh	\$17,295.17	\$17,986.98
591.36 KW	\$2,188.03	\$2,275.55
TOTAL	<b>\$19,523.20</b>	<b>\$20,304.13</b>
<i>Percentage increase</i>		4.00%
<b>MUNI Customer #1</b>	\$34.00	\$35.36
15,840 kWh	1774.08	1845.0432
TOTAL	<b>\$1,808.08</b>	<b>\$1,880.40</b>
<i>Percentage increase</i>		4.00%
<b>MUNI Customer #2</b>	\$34.00	\$35.36
33,480 kWh	3749.76	3899.7504
TOTAL	<b>\$3,783.76</b>	<b>\$3,935.11</b>
<i>Percentage increase</i>		4.00%

# ELECTRIC RATES 2026

## SOUTHEAST ALASKA

Location	Residential Rate		
	Rate	Demand	Monthly
<b>Petersburg Current</b>	<b>\$0.1222</b>	all kWh	\$16.00

<b>Petersburg PROPOSED</b>	<b>\$0.1271</b>	all kWh	\$16.64
----------------------------	-----------------	---------	---------

<b>JUNEAU 1/1/2026</b>			
AEL&P	Rate	Demand	Monthly
Nov - May	<b>\$0.1229</b>		\$10.08
Jun - Oct	<b>\$0.1010</b>		\$10.08
Nov - May w/ demand	<b>\$0.0596</b>	\$11.4300	\$12.01
Jun - Oct w/ demand	<b>\$0.0521</b>	\$6.9100	\$12.01

	Rate	Demand	Monthly
<b>Ketchikan 04/2025</b>	<b>\$0.1346</b>		\$8.95
KPU			

	Rate	Demand	Monthly
<b>Wrangell 7/2023</b>	<b>\$0.1548</b>	0-300KWH	\$8.00
WMLP	<b>\$0.1291</b>	300-1200kWH	\$8.00
Rate study in progress	<b>\$0.1056</b>	1200KWH+	\$8.00

	Rate	Demand	Monthly
<b>Sitka 07/1/2025</b>	<b>\$0.1371</b>	Nov - April	\$21.90
Rate increase as of 7/1/25	<b>\$0.2193</b>	May - October	

	Rate	Demand	Monthly
100-200 AMP			
<b>Kodiak 2025</b>	<b>\$0.1823</b>	all kWh	\$7.50
400 AMP			
	<b>\$0.1823</b>	all kWh	\$12.50

	Rate		
<b>Seattle (2024)</b>	<b>0.4103</b>	Base Charge per day	
Time of use rate coming in 2025	<b>0.1375</b>	kWh	

**PETERSBURG BOROUGH  
ORDINANCE #2026-09**

**AN ORDINANCE OF THE PETERSBURG BOROUGH ADOPTING THE BUDGET FOR THE FISCAL YEAR JULY 1,  
2026 THROUGH JUNE 30, 2027**

**Section 1. Classification:** This ordinance is not of a permanent nature and shall not be codified in the Petersburg Municipal Code.

**Section 2. Purpose:** The purpose of this ordinance is to set forth budgetary requirements for the operation of the various divisions, departments and organizations of the Petersburg Borough for Fiscal Year 2027. Support to the Petersburg School District has been included in the General Fund Expenditures.

**Section 3. Substantive Provisions:** In accordance with Section 11.07 of the Charter of the Petersburg Borough, the budget for the fiscal period beginning July 1, 2026 and ending June 30, 2027 is hereby approved in the amounts and for the purposes as stated below. The supporting line item budget detail, as reviewed by the Assembly, is incorporated as part of this ordinance.

**A. Fiscal Year 2027 Revenue and Expenditure Budget**

<b>FUND</b>	<b>REVENUES</b>	<b>EXPENDITURES BUDGET</b>
<b>GENERAL FUND</b>		
General Fund	\$ 14,176,368	\$ 14,171,706
<b>ENTERPRISE FUNDS</b>		
Electric Fund	\$ 7,946,389	\$ 8,950,397
Water Fund	\$ 1,247,220	\$ 2,056,871
Wastewater Fund	\$ 1,593,290	\$ 1,935,836
Sanitation Fund	\$ 1,703,393	\$ 2,107,133
Harbor Fund	\$ 2,221,545	\$ 6,320,035
Elderly Housing Fund	\$ 559,756	\$ 505,287
Assisted Living Fund	\$ 2,265,889	\$ 2,185,200
<b>INTERNAL SERVICE FUNDS</b>		
Motor Pool Fund	\$ 1,607,389	\$ 1,805,200
<b>DEBT SERVICE FUND</b>		
	\$ 447,375	\$ 447,375
<b>SPECIAL REVENUE FUNDS</b>		
Miscellaneous Grants	\$ 77,886	\$ 77,886
Economic Development Fund	\$ 100,000	\$ 815,895
Secure Rural Schools Fund	\$ 560,000	\$ 650,000
Secure Rural Roads Fund	\$ 105,000	\$ 624,223
Property Development Fund	\$ 85,692	\$ 85,692
Transient Room Tax Fund	\$ 139,842	\$ 121,500
E911 Surcharge Fund	\$ 80,000	\$ 79,600
Marine Passenger Fee	\$ 52,000	\$ 145,000
Borough Organizational Fund	\$ -	\$ 50,000
Local Assistance & Tribal Consistency Fund	\$ -	\$ -
<b>CAPITAL PROJECTS FUNDS</b>		
	\$ 20,817,744	\$ 24,306,061

**PETERSBURG BOROUGH  
ORDINANCE #2026-09**

**Section 4. Severability:** If any provision of this ordinance or any application to any person or circumstance is held invalid, the remainder of this ordinance and application to any person and circumstance shall not be affected.

**Section 5. Effective Date:** This ordinance shall become effective July 1, 2026.

**Passed and approved by the Petersburg Borough Assembly, Petersburg, Alaska this 1st day of June, 2026.**

\_\_\_\_\_  
**Robert Lynn, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Rebecca Regula, Borough Clerk**

Adopted:  
Published:  
Effective:

**PETERSBURG BOROUGH, ALASKA  
ORDINANCE #2026-10**

**AN ORDINANCE AMENDING SECTION 4.28.120 OF THE  
PETERSBURG MUNICIPAL CODE, TO INCREASE THE AMOUNT OF  
THE SINGLE PURCHASE SALES TAX CAP FROM \$1,200 TO \$5,000,  
AND DIRECTING THAT THE PROPOSED AMENDMENT BE  
SUBMITTED TO THE QUALIFIED VOTERS OF THE BOROUGH**

**WHEREAS**, the Petersburg Municipal Code (PMC), in the exemptions found at sections 4.28.120D and E, currently sets the maximum sales tax which can be collected on a specific job or task, or on a single purchase (defined as purchases made at the same time or within a 24 hour transaction period) at \$72.00; and

**WHEREAS**, this means that the total amount of any single purchase of goods or services subject to the Borough sales tax is currently limited to \$1,200 and the purchase price exceeding \$1,200 is tax-free; and

**WHEREAS**, this maximum single purchase amount was initially established in Petersburg in 1959, and set at \$1,000; and

**WHEREAS**, if that maximum had kept pace with inflation since its inception, it would now be close to \$11,300; and

**WHEREAS**, this maximum amount has been raised only once in the last 67 years, when it was increased from \$1,000 to \$1,200, in 2002; and

**WHEREAS**, exempted local sales due to the sales tax cap amounted to over \$25 million in calendar year 2025. Over \$6.3 million were from travel, charter, guides, lodges, hotels and B&B sales; and

**WHEREAS**, Petersburg has the lowest maximum taxable single purchase amount in Southeast Alaska, and most other Southeast communities limit the purchase to a single item only and not to a total purchase transaction, or have no maximum limit at all.

<b>Municipality</b>	<b>Sales Tax Cap</b>	<b>Notes</b>
Haines Borough	\$ 10,000.00	On single Item or vehicle
Haines Borough	\$ 5,000.00	On single service
Juneau Borough	\$ 15,000.00	On single Item/or Service/Or vehicle
Kake	None	No Sales Tax Cap
Ketchikan	\$ 2,000.00	On Single Item/Service/Vehicle
Sitka	\$ 12,000.00	On Single Item or Service

**PETERSBURG BOROUGH, ALASKA  
ORDINANCE #2026-10**

<b>Municipality</b>	<b>Sales Tax Cap</b>	<b>Notes</b>
Skagway	None	No Sales Tax Cap
Thorne Bay	\$ 7,500.00	On Single Item/Vehicle
Thorne Bay	None	No cap on Services
Wrangell	\$ 5,000.00	On Single Item/Single Service
Craig	None	No cap on Items/Services
Craig	\$ 5,000.00	On Vehicle/Boat sales
Gustavus	None	No Cap on items, Services, Vehicles
Petersburg	\$ 1,200.00	Per Invoice
Pelican	None	No Sales Tax Cap

; and

**WHEREAS**, if Petersburg increases its maximum taxable single transaction amount to \$5,000 from the current amount of \$1,200, the maximum sales tax collectible would increase from \$72 to \$300, and it would still be one of the lowest maximums in Southeast Alaska; and

**WHEREAS**, by increasing the maximum taxable amount to \$5,000, the Borough will be able to raise funds to support important governmental services, including the Petersburg School District; and

**WHEREAS**, in the current climate of increased expenses and shrinking state revenues, and considering that the maximum taxable amount has been adjusted only once in the past 67 years (with no changes for over two decades), a modest increase is reasonable; and

**WHEREAS**, under the Borough charter, sec. 12.02B, any change in the exemptions to the sales tax are to be made by ordinance, and ratified by a majority of the qualified borough voters; and

**WHEREAS**, it is the intent of the Borough Assembly to adopt this change and put the matter before the qualified voters of the Borough at the next regular election.

**THEREFORE, THE PETERSBURG BOROUGH ORDAINS**, Paragraphs D and E, Section 4.28.120, *Exemptions*, of Chapter 4.28, Sales Tax, of the Petersburg Municipal Code, are hereby amended as follows:

**Section 1. Classification:** This ordinance is of a general and permanent nature and shall be codified in the Petersburg Municipal Code.

**Section 2. Purpose:** The purpose of this ordinance is to increase the maximum taxable transaction amount subject to borough sales tax on a single purchase of goods or services from \$1,200 to \$5,000.

**PETERSBURG BOROUGH, ALASKA  
ORDINANCE #2026-10**

**Section 3 Substantive Provisions:** Paragraphs D and E of Section 4.28.120 of the Petersburg Municipal Code, entitled *Exemptions*, are hereby amended as follows. The language proposed for addition is **underlined and bolded**, and the language proposed for deletion is in brackets and struck through.

4.28.120 Exemptions.

The following sales and services are exempt from said sales tax:

*[There are no changes to paragraphs A-C]*

- D. That part of a sale of goods over **\$5,000.00** [~~\$1,200.00~~] when all items purchased or delivered at the same time or within a 24-hour period are added together;
- E. That part of a sale of services over **\$5,000.00** [~~\$1,200.00~~] for a specific job or task. Invoices for sales of services shall be computed for tax purposes monthly;

**Section 4. Submittal to Voters:**

A. In accordance with subsection 12.02B of the Borough Charter, the Borough Clerk shall submit this ordinance as a single proposition to the voters of the Borough at the next regular election, to be held on October 6, 2026.

B. The proposition to be submitted to the voters shall read substantially as follows:

Proposition # \_\_\_\_

Increasing the maximum single transaction amount subject to the borough sales tax from \$1,200 to \$5,000.

Shall Paragraphs D and E of Section 4.28.120, *Exemptions*, of the Borough Code be amended to increase the single purchase transaction amount subject to the borough sales tax from \$1,200 to \$5,000?

- YES
- NO

This change would only affect single purchase transactions over \$1,200. If this proposition is approved, the maximum amount of a single transaction that is subject to the Borough's 6% sales tax would increase from \$1,200 to \$5,000, thus increasing the maximum sales tax due from \$72 to \$300.

**PETERSBURG BOROUGH, ALASKA  
ORDINANCE #2026-10**

**Section 5. Severability:** If any provision of this ordinance or any application to any person or circumstance is held invalid, the remainder of this ordinance and the application to other persons or circumstances shall not be affected.

**Section 6. Effective Date:** This ordinance shall be effective upon adoption. The proposed amendment to PMC 4.28.120, if approved by the voters, shall become effective January 1, 2027.

Passed and approved by the Petersburg Borough Assembly, Petersburg, Alaska this 15<sup>th</sup> day of June, 2026.

---

**Robert Lynn, Mayor**

**ATTEST:**

---

**Rebecca Regula, Borough Clerk**

Adopted:  
Noticed:  
Effective:

**PETERSBURG BOROUGH  
ORDINANCE #2026-11**

**AN ORDINANCE UPDATING CHAPTER 14.08 OF THE MUNICIPAL CODE,  
ENTITLED "SEWER UTILITY"**

**WHEREAS**, the annual rate review of the Borough Sewer Utility, utilizing the Waterworth rate review software, identified the need for greater-than-anticipated rate increases for FY2027 through FY2030 to address rising costs and expenses and future capital projects.

**THEREFORE**, THE PETERSBURG BOROUGH ORDAINS, Section 14.08.320A of Chapter 14.08 of the Petersburg Municipal Code, entitled Sewer Utility, is hereby amended as follows:

**Section 1. Classification:** This ordinance is of a general and permanent nature and shall be codified in the Petersburg Municipal Code.

**Section 2. Purpose:** The purpose of this ordinance is to update the rates for FY2027, FY2028, FY2029 and FY2030 for sewer utility service set out in Section 14.08.320A.

**Section 3. Substantive Provisions:** Section 14.08.320A of the Petersburg Borough Municipal Code is hereby amended as follows. The language proposed for addition is in blue and the language proposed for deletion is bracketed in red and struck through.

**14.08.320 Sewer collection rates.**

- A. The sewer utility rate shall apply to the owner of all houses, buildings or other structures designed or used for human occupancy, employment, recreation or other purpose provided that the public sewer is within 150 feet of the property line. The rate for the sewer utility shall be a minimum based on a unit fee predicated on the size of the water service, plus a water commodity charge as follows. In the event municipal water service is not connected, the monthly minimum for five-eighths inch service shall apply unless it is apparent to the borough that a larger amount of water is being used on the premises.

**Sewer Utility Monthly Service Charge Rate Schedule**

		FY2026 25% inc.	FY2027 <del>{10% inc}</del> 20% inc.	FY2028 10% inc.	FY2029 10% inc.	FY2030 10% inc.
Service Description	Size of Water Meter	Service Charge \$/mth	Service Charge \$/mth	Service Charge \$/mth	Service Charge \$/mth	Service Charge \$/mth
Residential	¾"	56.79	<del>{62.47}</del> 68.15	<del>{68.71}</del> 74.97	<del>{75.58}</del> 82.47	<del>{83.14}</del> 90.72
1" Sewer	1"	127.24	<del>{139.96}</del> 152.69	<del>{153.96}</del> 167.96	<del>{169.35}</del> 184.76	<del>{186.29}</del> 203.24
1½" Sewer	1½"	306.16	<del>{336.78}</del> 367.39	<del>{370.46}</del> 404.13	<del>{407.50}</del> 444.54	<del>{448.25}</del> 488.99
2" Sewer	2"	612.38	<del>{673.61}</del> 734.86	<del>{740.97}</del> 808.35	<del>{815.07}</del> 889.19	<del>{896.58}</del> 978.11
3" Sewer	3"	1,179.60	<del>{1,297.56}</del> 1,415.52	<del>{1,427.32}</del> 1,557.07	<del>{1,570.05}</del> 1,712.78	<del>{1,727.05}</del> 1,884.06
6" Sewer	6"	3,080.80	<del>{3,388.88}</del> 3,696.96	<del>{3,727.77}</del> 4,066.66	<del>{4,100.54}</del> 4,473.33	<del>{4,510.60}</del> 4,920.66

**PETERSBURG BOROUGH  
ORDINANCE #2026-11**

Industrial Sewer		743.06	<del>{817.37}</del> 891.67	<del>{899.11}</del> 980.84	<del>{989.02}</del> 1,078.92	<del>{1,087.92}</del> 1,186.81
Sewer 3/Base Conspt	¾"	170.36	<del>{187.40}</del> 204.43	<del>{206.14}</del> 224.87	<del>{226.75}</del> 247.36	<del>{249.43}</del> 272.10
DBL Base+Conspt/Res	¾"	113.58	<del>{124.93}</del> 136.30	<del>{137.43}</del> 149.93	<del>{151.17}</del> 164.92	<del>{166.29}</del> 181.41
Sewer Conspt-Res	¾"	0.00	0.00	0.00	0.00	0.00
Sewer Base	¾"	56.79	<del>{62.47}</del> 68.15	<del>{68.71}</del> 74.97	<del>{75.58}</del> 82.47	<del>{83.14}</del> 90.72
Sewer Conspt-Com		0.00	0.00	0.00	0.00	0.00
Sewer-Condos		511.09	<del>{562.20}</del> 613.31	<del>{618.42}</del> 674.64	<del>{680.26}</del> 742.10	<del>{748.28}</del> 816.31
Sewer 3xBase +Conspt		170.36	<del>{187.40}</del> 204.43	<del>{206.14}</del> 224.87	<del>{226.75}</del> 247.36	<del>{249.43}</del> 272.10
Housing Apartments	¾"	340.73	<del>{374.80}</del> 408.88	<del>{412.28}</del> 449.77	<del>{453.50}</del> 494.75	<del>{498.86}</del> 544.23
Commercial Swr Base		127.24	<del>{139.96}</del> 152.69	<del>{153.96}</del> 167.96	<del>{169.35}</del> 184.76	<del>{186.29}</del> 203.24
Half Chg Senior Cit	¾"	28.40	<del>{31.24}</del> 34.08	<del>{34.36}</del> 37.49	<del>{37.79}</del> 41.24	<del>{41.57}</del> 45.36

**Sewer Utility Commodity Charge Rate Schedule**

		FY2026 25% inc.	FY2027 <del>{10% inc.}</del> 20% inc.	FY2028 10% inc.	FY2029 10% inc.	FY2030 10% inc.
Service Description	Size of Water Meter	\$/Kgal	\$/Kgal	\$/Kgal	\$/Kgal	\$/Kgal
All service levels	All	1.44	<del>{1.58}</del> 1.73	<del>{1.74}</del> 1.90	<del>{1.91}</del> 2.09	<del>{2.10}</del> 2.30

The commodity charge is billed from the rate schedule as presented in this chapter, for each unit. A unit shall be each separate residence, house, trailer, apartment, commercial or industrial premises, public restroom or any structure designed or used for dwelling or business purposes.

**B. Fees for sewer services and administration shall be as follows:**

*Connect/reconnect fee.* If water valve seals have been used to disconnect a private water system and facilitate the disconnection of sewer service, a \$30.00 fee shall be assessed when service is reconnected. When borough water service is being connected or reconnected, the connect fee for the water utility shall be billed but no connection fee for sewer shall apply.

*Disconnect fee.* In the event borough water service is disconnected to a unit, sewer service charges may be discontinued. If a unit is not served by borough water service, disconnection of the unit's water supply and installation of a borough valve seal on an accessible water control valve will meet the requirements for discontinuation of sewer charges. The borough shall bill the property owner the actual cost to discontinue the service. If borough seals are tampered with or broken before being removed by the borough in preparation to reconnect services, the property owner will be backbilled for all waived charges during the disconnection period.

*Charges for Service.* If Borough staff responds to a call for service and the cause of the problem is found to be located on private property, the property owner is responsible for all labor and equipment costs for repair of service.

New service fee:	
Four- or six-inch sewer line	\$150.00

**PETERSBURG BOROUGH  
ORDINANCE #2026-11**

Eight-inch and larger sewer line	\$250.00
New service line installation:	Actual cost
Private sewage disposal:	\$4.00 per 100 gallons of liquid waste delivered to the wastewater treatment plant.
	\$50.00 per 55 gallon volume of waste containing at least ten percent solids by weight.
Vactor Service:	\$750.00 per load flat fee for septic tanks, outhouse or vault toilet pumping.
Portable toilet service:	\$300.00 flat fee for pumping of temporary, rented or privately-owned portable toilets.
Marine pumping: (Vessel pumps to Borough tanker)	\$800.00 flat fee per load. Responsibility for wastewater spills lies solely with vessel owner during pumping.
Camera Inspection Equipment:	An equipment fee of \$40.00 per hour is charged for pipeline inspection services on private sewer lines, with a 1 hour minimum. Actual personnel costs are charged in addition to the equipment fee.
Sewer Cleaning Equipment:	An equipment fee of \$40.00 per hour is charged for clearing of blockages on private property, with a 1 hour minimum. Actual personnel costs are charged in addition to the equipment fee.

- C. Nonresident rates and fees. Charges for all sewer services and fees for users outside Service Area 1 or the municipal limits shall be twice the Service Area 1 rate.
- D. Sewer rates and fees shall be reviewed annually by the sewer utility and finance departments and a recommendation made to the borough manager for the increase or decrease of rates as needed for the sound financial management of the sewer utility. The borough manager shall review the findings and present the recommendation to the borough assembly.
- E. Interest shall accrue on past due accounts: Maximum rate allowable by state law.

(Ord. No. 2018-07, § 3, 3-5-2018; Ord. No. 2022-06, § 3, 5-16-2022; Ord. No. 2023-06, § 3, 6-5-2023; Ord. No. 2025-09, § 3, 6-16-2025)

**Section 4. Severability:** If any provision of this ordinance or any application to any person or circumstance is held invalid, the remainder of this ordinance and the application to other persons or circumstances shall not be affected.

**Section 5. Effective Date:** This Ordinance shall become effective immediately upon final passage.

**PASSED AND APPROVED by the Petersburg Borough Assembly, Petersburg, Alaska this 15th day of June 2026.**

\_\_\_\_\_  
**Robert Lynn, Mayor**

ATTEST:

\_\_\_\_\_  
**Rebecca Regula, Borough Clerk**

Adopted:  
Published  
Effective:



PUBLIC WORKS DEPARTMENT

## Memorandum

To: MAYOR LYNN AND BOROUGH ASSEMBLY

From: THOMAS RUMMEL, ASSISTANT PUBLIC WORKS DIRECTOR

Date: 05/18/2026

CC: STEVE GIESBRECHT, BOROUGH MANAGER

The Wastewater Treatment Utility is recommending a rate adjustment to maintain the long-term reliability, regulatory compliance, and financial sustainability of the Borough's wastewater system. The proposed increase is necessary to address rising operational costs, aging infrastructure, and increasing state and federal regulatory requirements impacting wastewater utilities throughout Alaska.

Over the past several years, the cost of operating and maintaining wastewater infrastructure has increased substantially. At the same time, the Environmental Protection Agency (EPA) and Alaska Department of Environmental Conservation (DEC) continue to implement increasingly stringent environmental compliance and reporting requirements which require additional monitoring, testing, engineering support, operational oversight, and long-term infrastructure planning.

In addition to regulatory pressures, much of the Borough's wastewater infrastructure is aging and will require significant repair and replacement in the coming years. Critical components including lift stations, piping, pumps, controls, and marine outfall infrastructure are approaching or have exceeded their intended service life. Deferred maintenance and escalating construction costs continue to increase the financial impact of these necessary capital improvement projects.

The proposed rate increase will help ensure the Borough can continue providing safe and reliable wastewater collection and treatment services while maintaining compliance with state and federal environmental regulations. Revenue generated through the adjustment will support ongoing operations and maintenance, future infrastructure replacement projects, and long-term utility system sustainability.

Even with the proposed increase, the Borough's wastewater rates remain generally comparable to similar Southeast Alaska communities facing many of the same operational and infrastructure challenges.

Staff respectfully recommends Assembly approval of the proposed wastewater rate adjustment to ensure continued safe, reliable, and compliant wastewater utility operations for the community.

**Public Works Department**

PO Box 329, Petersburg, AK 99833 – Phone (907) 772-4430 Fax (907) 772-4102

[www.petersburgak.gov](http://www.petersburgak.gov)

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

**AN ORDINANCE AMENDING TITLE 19 ZONING, OF THE PETERSBURG MUNICIPAL  
CODE TO REGULATE WIRELESS COMMUNICATION FACILITIES (WCF) AND OTHER  
TOWERS AND TRANSMITTERS**

**WHEREAS**, the Federal Telecommunications Act of 1996 preserves the authority of local governments to regulate the placement, construction, and modification of personal wireless service facilities to protect the health, safety, and welfare of the community; and

**WHEREAS**, the Petersburg Borough recognizes the increasing demand for wireless services and the necessity of high-quality telecommunications infrastructure for public safety, education, and economic development; and

**WHEREAS**, the unregulated proliferation of standalone towers can lead to significant visual blight, degradation of the community aesthetic, and potential impacts on neighboring properties and property values, including “fall zone” risks and creation of nuisances; and

**WHEREAS**, the Planning Commission has held a duly noticed public hearing and determined that these regulations provide the least intrusive means to achieve the community’s connectivity goals while protecting the public interest.

**NOW, THEREFORE, BE IT ORDAINED BY THE ASSEMBLY OF THE PETERSBURG  
BOROUGH, ALASKA, AS FOLLOWS:**

**Section 1. Classification:** This ordinance is of a general and permanent nature and shall be codified in the Petersburg Municipal Code.

**Section 2. Purpose:** The purpose of this Ordinance is to establish comprehensive standards for the siting of wireless communication facilities and other towers and transmitters.

**Section 3. Substantive Provisions:** Title 19, *Zoning*, of the Petersburg Municipal Code is hereby amended as follows. The language proposed for addition is **underlined and bold**, and the language proposed for deletion is in [brackets] and ~~struck through~~.

A. Chapter 19.04, Definitions, is amended to add and/or modify the following definitions:

**19.04.185 – Director**

**“Director” means the director of community development for the Petersburg Borough.**  
19.04.270 – Essential services.

“Essential services” **or “required essential services”** means the erection, construction, alteration or maintenance by municipal public utility companies or municipal departments or commissions of underground or overhead gas, electrical, steam, wastewater, or water transmission or distribution systems[;], and collection, communication, supply or disposal **components [systems] related to said systems**, including poles, wires, mains, drains, sewers, pipes, conduits, cables, fire alarm boxes, traffic signals, hydrants and other similar equipment and accessories[;y] in connection therewith. This definition shall not be interpreted to include public buildings **or wireless communication facilities.**

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

**19.04.537 – Noncommercial Antenna.**

**Noncommercial antenna means an antenna and antenna support structure designed and used for private, personal use rather than for business purposes or commercial broadcasting. These include noncommercial a) FCC-licensed amateur (ham) antennas, b) broadcast reception antennas (devices used only to receive over-the-air radio or television signals), c) citizen band (CB) antennas, and d) antennas meeting the conditions of an over-the-air receiving device under 47 CFR 1.4000(a)(1)(i) through (iv), or any successor provision.**

**19.04.806 – Wireless communication facility.**

**“Wireless communication facility (WCF)” means the set of equipment and network components, including communication towers and affixed or adjacent antennas, accessory equipment, transmitters, base stations, power supplies, and cabling, necessary or otherwise installed to provide wireless services, including cellular, mobile broadband, and fixed wireless internet services. This term does not include noncommercial antennas and facilities used solely for the transmission of over-the-air broadcast radio or television signals.**

- B. Section 19.16.030 – R-R District, Rural Residential – *Accessory uses permitted*, is amended as follows:

19.16.030 – Accessory uses permitted.

The following are accessory uses permitted:

- A. Private garages and required off-street parking;
- B. Greenhouses, woodsheds, tool sheds;
- C. Private docks, moorage, boathouses and net houses;
- D. Detached accessory dwelling per section 19.56.090;
- E. **Noncommercial antennas;**

[E]F. Uses and structures which are customarily accessory and clearly subordinate to permitted uses.

- C. Section 19.20.030 - S-F District, Single-Family Residential – *Accessory uses permitted*, is amended as follows:

19.20.030 – Accessory uses permitted.

- A. Private garages and required off-street parking;
- B. Greenhouses and tool sheds;
- C. Detached accessory dwelling per section 19.56.090;
- D. **Noncommercial antennas;**

[D]E. Uses and structures which are customarily accessory and clearly subordinate to permitted uses.

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

- D. Section 19.20.040 – S-F District, Single-Family Residential – *Conditional uses*, is amended as follows:

19.20.040 - Conditional uses.

The following are uses that may be permitted by action of the commission under the conditions and procedures specified in Chapter 19.72 of this title:

- A. Home occupation;
- B. Trailers used for construction purposes;
- C. Public and private schools;
- D. Children's nursery;
- E. Churches;
- F. Public buildings and structures;
- ~~G. Noncommercial radio and television transmitters or towers;~~
- ~~[H]~~**G.** Private docks, moorage, boathouses and net houses;
- ~~[I]~~**H.** Required essential services.

- E. Section 19.22.030 – S-F 2 District, Single-Family, Special Use – *Accessory uses permitted*, is amended as follows:

19.22.030 – Accessory uses permitted.

- a. Private garages and required off-street parking;
- b. Greenhouses and tool sheds;
- c. Detached accessory dwelling per section 19.56.090;
- d. **Noncommercial antennas**;
- ~~[d]~~**e.** Uses and structures which are customarily accessory and clearly subordinate to permitted uses.

- F. Section 19.24.030 – M-F District, Multiple-Family Residential – *Accessory uses permitted*, is amended as follows:

19.24.030 – Accessory uses permitted.

**A. Noncommercial Antennas**;

**B.** Uses and structures which are clearly incidental and subordinate to principal permitted uses and which will not create a nuisance or hazard are permitted as accessory uses.

- G. Section 19.24.040 – M-F District, Multiple-Family Residential – *Conditional Uses*, is amended as follows:

19.24.040 – Conditional uses

The following are uses that may be permitted by action of the commission under the conditions and procedures specified in Chapter 19.72 of this title:

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

- A. Boardinghouses;
  - B. Rooming houses;
  - C. Home occupations;
  - D. Trailers used for construction purposes;
  - E. Public and private schools;
  - F. Children's nursery;
  - G. Churches;
  - H. Public buildings and structures;
  - ~~[I. Noncommercial radio and television transmitters or towers;]~~
  - ~~[J]~~I. Required essential services;
  - ~~[K]~~J. Private docks, moorage, boathouses and net houses.
- H. Section 19.28.030 – SFMH District, Single-Family Mobile Home – *Accessory uses permitted*, is amended as follows:
- 19.28.030 – Accessory uses permitted.
- A. Detached accessory dwellings per section 19.56.090;
  - B. **Noncommercial antennas**;
  - C**. Uses and structures which are clearly incidental and subordinate to principal permitted uses and which will not create a nuisance or hazard are permitted as accessory uses.
- I. Section 19.28.040 – SFMH District, Single-Family Mobile Home – *Conditional uses*, is amended as follows:
- 19.28.040 – Conditional uses.
- The following are uses that may be permitted by action of the commission under the conditions and procedures specified in Chapter 19.72 of this title:
- A. Home occupation;
  - B. Trailers used for construction purposes;
  - C. Public and private schools;
  - D. Children's nursery;
  - E. Churches;
  - F. Public buildings and structures;
  - ~~[G. Noncommercial radio and television transmitters or towers;]~~
  - ~~[H]~~G. Required essential services;
  - ~~[I]~~H. Private docks, moorage, boathouses and net houses.
- J. Section 19.32.020 – C-1, Commercial-1 District – *Principal uses permitted*, is amended as follows:
- 19.32.020 – Principal uses permitted.
- The following are principal permitted uses:
- A. Retail businesses;

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

- B. Business and professional offices;
- C. Barbershops and beauty shops, laundries and other consumer services;
- D. Restaurants, cafes, bars;
- E. Theaters and assembly halls;
- F. Clubs, lodges and fraternal organizations;
- G. Hotels and motels;
- H. Governmental and civic buildings;
- I. Multiple-family dwellings, boardinghouses and rooming houses;
- J. Recreational vehicle parks;
- K. Newspaper and printing establishments;
- L. All uses permitted in S-F and M-F zones;
- ~~[M. Commercial radio and television transmitter or towers;]~~
- ~~[N]~~**M.** Service stations;
- ~~[O]~~**N.** Required essential services.

- K. Chapter 19.32, C-1, Commercial-1 District, is amended to insert a new section, 19.32.035, entitled Conditional uses, to read as follows:

**19.32.035 Conditional uses.**

**A. Wireless communication facilities (WCF) under the provisions of Chapter 19.58.**

**B. A radio or television antenna, transmitter, or tower or any other antenna, transmitter, or tower that is not a WCF, excepting noncommercial antennas.**

- L. Section 19.36.020 – C-2, Commercial-2 District – *Permitted uses permitted*, is amended as follows:

19.36.020. **Principal** ~~[Permitted]~~ uses permitted.

- A. Warehouses and storage;
- B. Transportation and transshipment facilities;
- C. Manufacturing, fabricating and assembling of a light industrial nature;
- ~~[D. Commercial radio and television transmitters or towers;]~~
- ~~[E]~~**D.** Required essential services;
- ~~[F]~~**E.** All uses permitted in C-1 zone.

- M. Chapter 19.36, – C-2, Commercial-2 District, is amended to insert a new section, 19.36.035, entitled Conditional uses, to read as follows:

**19.36.035 – Conditional uses.**

**A. Wireless communication facilities (WCF) under the provisions of Chapter 19.58.**

**B. A radio or television antenna, transmitter, or tower or any other antenna, transmitter, or tower that is not a WCF, excepting noncommercial antennas.**

- N. Section 19.38.030 – C-3, Commercial-3 District – *Accessory uses permitted*, is amended as follows:

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

19.38.030 – Accessory uses permitted.

**A. Noncommercial antennas;**

**B.** Uses and structures which are clearly incidental and subordinate to principal uses permitted and which will not create a nuisance or hazard and which are located on the same lot, are permitted.

- O. Section 19.40.030 – MHP District, Mobile Home Park, -- *Accessory uses permitted*, is amended as follows:

19.40.030 – Accessory uses permitted.

**A. Noncommercial antennas;**

**B.** Uses and structures which are clearly incidental and subordinate to principal permitted uses and which will not create a nuisance or hazard are permitted as accessory uses.

- P. Section 19.40.040 – MHP District, Mobile Home Park, -- *Conditional uses*, is amended as follows:

19.40.040 – Conditional uses.

The following are uses that may be permitted by action of the commission under the conditions and procedures specified in Chapter 19.72 of this title:

- A. Home occupation;
- B. Trailers used for construction purposes;
- C. Public and private schools;
- D. Children's nursery;
- E. Churches;
- F. Public buildings and structures;
- ~~G. Noncommercial radio and television transmitters or towers;~~
- H)G.** Required essential services.

- Q. Section 19.44.040 - I-1, Industrial District, *Conditional uses*, is amended to read as follows:

19.44.040 – Conditional uses.

- A. Multifamily structures, dormitories, rooming houses and boardinghouses;
- B. Mobile homes on single lots;
- C. Mobile home parks;
- D. One- and two-family dwellings;
- E. Wireless communication facilities (WCF) under the provisions of Chapter 19.58;**
- F. A radio or television antenna, transmitter, or tower or any other antenna, transmitter, or tower that is not a WCF, excepting noncommercial antennas.**

- R. Chapter 19.48 - P-1, Public Use District, is amended to insert a new section 19.48.030, to read as follows:

**19.48.030 – Conditional uses.**

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

- A. Wireless communication facilities (WCF) under the provisions of Chapter 19.58.**  
**B. A radio or television antenna, transmitter, or tower or any other antenna, transmitter, or tower that is not a WCF, excepting noncommercial antennas.**

- S. Section 19.56.110 – Building Regulations - *Exceptions to height restrictions*, is amended as follows:

19.56.110 – Exceptions to height restrictions.

A. The height limitations of this title shall not apply to church spires, belfries, cupolas and domes, if not used for human occupancy, nor to chimneys, ventilators, weather vanes, skylights, water tanks, bulkheads, monuments, flag poles, **noncommercial antennas** [~~television and radio antennas~~], and other similar features, and necessary mechanical appurtenances usually carried above roof level.

B. The provisions of this title shall not apply to prevent the erection, above the building height limit, of parapet walls or cornices, if without windows and not exceeding five feet in height.

C. The provisions of this title shall not prevent the erection above the building height limit, of any structure within any commercial or industrial zone with an approved fire suppression system approved by the State Fire Marshal's office.

- T. Title 19 is hereby amended to add a new Chapter 19.58 – entitled *Wireless Communication Facilities*, to read as follows:

**Chapter 19.58 – Wireless Communication Facilities**

**19.58.010 – Purpose.**

**The purpose of this chapter is to establish reasonable regulations for the issuance of a conditional use permit for the placement, construction, and modification of wireless communication facilities (WCF) consistent with the Telecommunications Act of 1996 and applicable law in order to:**

- A. Promote the health, safety, and general welfare of the public and the borough;**  
**B. Preserve the authority of the borough to regulate the location of wireless communication facilities; and**  
**C. Protect residential neighborhoods and the borough's aesthetic character from the adverse impacts of towers.**

**19.58.020 – Applicability.**

**Except for facilities and activities exempt under section 19.58.030, this chapter applies to development of WCFs, including, without limitation, placement, installation, construction, modification, and collocation, and applies to existing and new WCFs.**

PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12

- A. The provisions of this title are not intended to and shall not be interpreted to prohibit or to have the effect of prohibiting personal wireless services as the term is defined in 47 U.S.C. 332(c)(7)(C)(i).
- B. This chapter shall not be applied in such a manner as to unreasonably discriminate between providers of functionally equivalent personal wireless services.

**19.58.030 – Exempt facilities and activities.**

**The following facilities and activities are exempt from this chapter:**

- A. A noncommercial antenna.
- B. A radio and television antenna, transmitter, or tower or any other antenna, transmitter, or tower that is not a WCF.
- C. A temporary WCF installed upon the declaration of a state of emergency by federal, state, or local government, or a written determination of public necessity by the borough manager except that such facility must comply with all federal, state and local requirements. The WCF shall be exempt from the provisions of this article for up to one (1) week after termination or expiration of the state of emergency;
- D. Temporary, commercial WCF installed for providing coverage of a special event such as news coverage or sporting event, subject to approval by the director. The WCF shall be exempt from the provisions of this article for up to one (1) week after the end of the special event;
- E. All legally permitted WCFs existing on or before the effective date of this chapter shall be allowed to continue as they presently exist, provided however, that any proposed modification to an existing WCF, including collocation, must comply with this chapter.
- F. Eligible facility requests, and routine maintenance and repairs, that do not meet the definition of a substantial change, provided that any existing conditions of approval of the WCF are met. These activities may also require approval of the state fire marshal and a borough building permit prior to commencement of development. As a condition of any required building permit, the applicant shall provide documentation certifying that the modification will meet radio frequency emission standards established by the Federal Communications Commission (FCC).
- G. Facilities and activities that would be exempt from this chapter under federal law.

**19.58.040 – Location preferences.**

- A. Locating a new WCF shall be in accordance with the following priorities, one (1) being the highest priority and seven (7) being the lowest priority:
  - 1. Collocated WCF on an existing communication tower;
  - 2. Rooftop WCF;
  - 3. Attached WCF on an existing building;

PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12

4. New communication tower located in C-1, C-2, or I-1 district at least 500 feet from a residential district, waterfront, or public park;
  5. New communication tower in I-1 district;
  6. New communication tower in C-1 or C-2 district;
  7. Any communication tower located in an area where the FAA would require air navigation lighting.
- B. An application seeking to vary from the stated priority hierarchy set out in paragraph A above and locate a WCF in a lower-ranked location may be denied unless the applicant demonstrates, to the satisfaction of the planning commission, that, despite diligent efforts to adhere to the established hierarchy, doing so is technically infeasible as demonstrated by a Radio Frequency (RF) Propagation Study certified by a qualified radio frequency engineer, structurally impossible as certified by a professional engineer licensed in the state of Alaska, or commercially impractical or unavailable.

**19.58.050 - Development standards for WCFs.**

- A. Setbacks. Notwithstanding any other yard setback requirements for each district,
  - a. A communication tower base must be situated on a parcel such that it is set back a minimum of One Hundred Ten Percent (110%) of the total tower height (1x1.1 ratio) from all property lines and the boundary lines of any public road or right-of-way.
  - b. Sensitive area setback. A communication tower base must be situated on a parcel such that it is set back a minimum of Fifteen Hundred (1,500) feet from any property line of a parcel on which is located an existing school, assisted living facility, childcare facility (children's nursery), or hospital.
- B. Separation. No communication tower shall be permitted within one-half (1/2) mile (2,640 feet) of another communication tower.
- C. Minimum number of antenna arrays. A communication tower exceeding 120 feet shall be engineered and constructed to accommodate no fewer than three antenna arrays. A communication tower exceeding 150 feet in height shall be engineered and constructed to accommodate no fewer than four antenna arrays.
- D. Fencing. A WCF shall be enclosed by a minimum seven (7) foot fence or wall with a secured gate. Transmitters and telecommunications control points must be installed in a manner to be readily accessible only to people authorized to operate or service them.
- E. Signs. No sign, flag, banner, or pennant may be attached to a communication tower except that the following shall be posted in a location that is visible from the ground outside the equipment compound:
  - a. A weatherproof sign identifying the party responsible for the operation and maintenance of the communication tower, with a 24-hour emergency contact telephone number.
  - b. Any antenna structure registration number required by the FCC.

PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12

- c. Warnings of dangers associated with the communication tower or equipment located at the site.
- F. Lighting. No lighting shall be mounted on or illuminate a communication tower, except when required by the Federal Aviation Administration (FAA). Required lighting shall be equipped with shields or louvers to avoid projecting directly onto surrounding properties.
- G. Height.
1. Subject to paragraph 2 below, the height of a collocated WCF shall not exceed the greater of:
    - a. The maximum building height of the zoning district in which the WCF is located;
    - b. The height of a building or utility pole to which the WCF is attached, including any existing mechanical equipment located on the roof of a building; or
    - c. The minimum height necessary for effective functioning of the WCF, as certified by a qualified radio frequency engineer, but not to exceed:
      - (i) Ten (10) feet above the height of the existing utility pole to which the WCF will be attached; or
      - (ii) Fifteen (15) feet above the height of the existing building to which the WCF will be attached, including any existing mechanical equipment located on the roof.
  2. The height of a communication tower shall not be greater than the minimum necessary for effective functioning of a WCF as certified by a qualified radio frequency engineer. For new construction, proposed height should consider required collocations under paragraph C above.
- H. Protrusion Limit. No part of a WCF shall protrude more than 36 inches from the face of the support structure, measured to the outer face of the WCF.
- I. Radio Frequency Emission Standards. Radio frequency emissions from antenna array(s), both individually and cumulatively and considering any other WCF located on or immediately adjacent to the proposed WCF, shall meet radio frequency emission standards established by the FCC.
- J. No Air Navigation Hazard. An Applicant shall submit a determination of no hazard to air navigation for the communication tower issued by the FAA.
- K. Professional engineering plans. The WCF, including foundation and appurtenant attachments, shall be designed by a professional engineer licensed in the state of Alaska to meet relevant site and subsurface conditions, and will be constructed to meet ANSI/TIA-222-G (as amended) and adopted building code structural requirements for loads, including wind, snow and ice loads.

PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12

- L. No guy wires. Use of guy wires is prohibited for all communication towers.
- M. Visual impacts. WCFs shall be configured and located in a manner that shall minimize adverse visual impacts on the landscape and adjacent properties, including through use of alternative tower structure or other stealth technologies.
- N. Significant Coverage Gap/Least Intrusive Means. A WCF shall be placed, constructed, or installed only to fill a significant coverage gap in the least intrusive manner available.

19.58.060 – Conditional use permitting process for WCFs.

- A. As of the effective date of this chapter, and excepting exempt facilities and activities under section .030 of this chapter, no WCF shall be sited, placed, built, constructed, installed, collocated, or modified in any zoning district unless permitted as a conditional use and a conditional use permit has been obtained per this chapter and chapter 19.72 of this title. In the event of any conflict between this chapter and chapter 19.72, this chapter shall govern.
- B. The director may, at the director's discretion, require a technical review from a third-party expert, the actual costs of which shall be borne by the applicant, when the director determines that such review would aid the borough's review of the application. Based on the results of the technical review, the director may require changes to the WCF design or location, or submittal of additional documentation, before the application is considered complete. The technical expert review may address any matter deemed to be relevant to determining whether a proposed WCF complies with the provisions of this chapter.
- C. An application, meeting the requirements of section .070 of this chapter, shall be submitted to the director. The director shall review the application for completeness.
  1. Incomplete applications shall be rejected and the applicant notified in writing within thirty (30) days of submission. If rejected, the director's decision shall identify the deficiencies in the application, which, if cured, would make the application complete.
  2. Once resubmitted following a notice of deficiency, the director will have ten (10) days to identify any missing documents or information consistent with the director's original notification under paragraph 1 necessary to make the application complete.
  3. Once an application is deemed complete, the application shall be scheduled for a public hearing before the planning commission per 19.72.060.
- D. Following the public hearing, and notwithstanding the requirements of 19.72.080, the planning commission shall grant or reject a WCF conditional use permit application within a presumptively reasonable period of time, as such is defined under 47 CFR §1.6003, less any tolling periods. If no applicable period of time is established under 47 CFR §1.6003, the period of time shall not exceed One Hundred Fifty (150) days, less any tolling periods.

PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12

- E. The planning commission's decision shall be in writing and be based on the compliance of the application with the requirements and conditions of this chapter. The decision of the commission and the reasons therefore shall be entered in the records of the commission and shall be available to the public. A denial of a permit shall be in writing and supported by substantial evidence contained in a written record.

**19.58.070 – Conditional use permit application requirements for WCFs.**

- A. An application for a conditional use permit for a WCF subject to regulation under this chapter shall be made on a form provided by the borough and include the following information. Additional information may be required under other provisions of this title or requested by the director or the planning commission:
1. Site plan. Consistent with section 19.72.040, applicant shall provide a site plan of the parcel on which the WCF is to be located, with the following information:
    - a. Size of the parcel stated both in square feet and lot line dimensions, and a diagram showing the location of all lot lines;
    - b. Locations of any dwellings and public roads within a radius equal to the height of the proposed tower from its base;
    - c. Location, size, and height of all existing and proposed structures on the parcel;
    - d. Location, size, and height of all proposed and existing antennas and all appurtenant structures, including fuel tanks and generators; and
    - e. Type, locations, and dimensions of all proposed and existing lighting, landscaping, and fencing.
  2. Coverage area. The application shall provide information about the existing and proposed coverage area and demonstrate the significant coverage gap the proposed WCF will fill by submittal of a RF propagation study certified by a qualified radio frequency engineer.
  3. Site justification. An application shall provide supporting documentation that justifies the proposed site in accordance with the location priorities set out in Section 19.58.040, and demonstrates that the means chosen by applicant to fill a significant coverage gap is the least intrusive means available. This should include verification that no existing sites or structures are available for equipment, summary of alternative locations investigated, and an explanation of the technical, structural or commercial impediments that rendered higher-ranked sites infeasible.
  4. Height. An application shall provide supporting documentation that the proposed WCF meets the requirements of paragraph 19.58.050(G).
  5. Visual impacts. An application shall provide an analysis of the potential visual impacts of the communication tower at distances of 500 feet and 1,500 feet from the proposed location, through the use of photo simulations of the communication tower and the wireless communication equipment

PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12

that it will support. The analysis shall include, to the extent practicable, the visual impact from multiple vantage points of any adjacent roadways and from all residential zones that are within 1,500 feet of the proposed site. The analysis should include recommendations to mitigate adverse visual impacts of the communication tower on nearby properties.

6. Other information. An application shall include maps, plans, studies, reports, certifications, and other necessary information to show compliance with the other requirements of section 19.58.050.
7. Waiver request. Applicants seeking a waiver under 19.58.090 shall provide supporting documentation justifying the request and demonstrating request is minimum required at the time of application.

19.58.080 - Conditions of approval.

- A. The planning commission shall approve a WCF conditional use permit if the commission finds the WCF conforms to the development requirements of this chapter and the other applicable standards and criteria in this title, including without limitation that the location satisfies the priorities of section 19.58.040, and that the selected site provides the necessary coverage for the applicant's wireless communication services customers with the least intrusive manner available, including consideration of visual impacts on other properties.
- B. Insurance, Performance Guarantee, and Removal Requirements. Every conditional use permit issued under this chapter shall include the insurance, performance guarantee, and removal requirements of sections .100 and .110 of this chapter as express conditions of approval.
- C. Compliance with FCC enforcement orders. Every conditional use permit issued under this chapter shall include as an express condition of approval compliance by the permittee with all FCC rules, regulations, and enforcement orders, including without limitation those relating to radio frequency emissions and interferences.
- D. No action may be taken on a WCF conditional use permit application on the basis of the environmental effects of radio frequency emissions, provided that the wireless communication equipment that will be sited complies with FCC regulations concerning such emissions.

19.58.090 - Waiver.

- A. The planning commission may grant a waiver to one or more of the development standards for WCFs set out in paragraphs 19.58.050(A-H), if it is determined that the applicant has established that denial of a permit or strict adherence to the standards would:
  1. Require a technically infeasible location, design or installation of a WCF, as certified by a qualified radio frequency engineer; or

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

2. Result in a structurally unsound support structure of a WCF, as certified by a qualified engineer licensed in the state of Alaska; or
  3. Jeopardize public health, safety, and welfare because the current level of service in the proposed coverage area is functionally inadequate for emergency calls.
- B. If a waiver is granted under paragraph A above, the waiver shall be limited to the minimum extent required to avoid the findings of A(1-3) hereof.
  - C. Any applicant seeking a waiver hereunder shall, at the time of submission of its application, provide a detailed description, explanation, and documentation supporting its request for a waiver, demonstrating that it meets the requirements of A above.
  - D. In addition to the circumstances set out in paragraph A of this section, the commission may grant a waiver of the minimum setback requirements in paragraph 19.58.050(A) of this chapter if a qualified structural engineer licensed in the state of Alaska certifies a breakpoint design that limits the fall radius to a lesser area.
  - E. At the director's discretion, technical claims for a waiver, including engineering reports and RF propagation maps, may be reviewed and verified by an independent third-party hired by the borough under 19.58.060B.

**19.58.100 - Insurance requirements.**

**The issuance and continuation of a permit for a WCF that is subject to regulation under this title shall be conditioned upon the permittee securing and at all times maintaining insurance meeting the following requirements:**

- A. An insurance policy providing commercial general liability coverage for personal injuries, death and property damage with limits not less than \$1,000,000 per occurrence and \$3,000,000 in the aggregate. The policy shall also contain coverage for environmental damages, including fuel spills, if the WCF contains a fuel tank.
- B. The insurance policy shall be issued by an insurance company licensed to do business in the State of Alaska and with an AM Best's rating of at least A.
- C. The insurance policy shall contain an endorsement obligating the insurance company to furnish the borough with at least 30 days' prior written notice in advance of the cancellation of the insurance.
- D. The permittee shall provide the borough with a certificate of insurance demonstrating compliance with the requirements of this section before the permit is issued, and upon annual renewal thereafter, at least 30 days before expiration.
- E. At the assembly's discretion, the requirements of this section may be amended from time to time, including increases in policy limits, in accordance with changing industry standards. Such amended requirements shall be applicable to all new and existing permittees.

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

**19.58.110 Removal requirements and performance guarantee.**

- A. A WCF shall be removed, and the parcel returned to its prior condition, upon either of the following:**
- 1. Within six (6) months, after revocation of a permit issued under this Chapter. This period may be shortened if the revocation is based upon the WCF presenting an immediate safety threat or health hazard as reasonably determined by the borough building official; or**
  - 2. Within ninety (90) days, after all wireless communication equipment on a communication tower has been removed, or such equipment has been nonoperational for at least twelve (12) consecutive months.**
- B. The owner of the WCF and the owner of the parcel on which the WCF is located are jointly and severally responsible for its removal.**
- C. The issuance of a conditional use permit for a communication tower that is subject to regulation under this title shall be conditioned upon the permittee providing and maintaining for the benefit of the borough a performance guarantee, in the form of a cash or surety bond, in an amount equal to the estimated costs of removing the tower and returning the parcel to its original condition, but in no event less than the sum of One Hundred Fifty Thousand Dollars and No Cents (\$150,000.00). A surety bond must be issued by a corporation licensed to act as a surety in Alaska and securing the obligations of the tower and property owner. A current certificate must be provided to the borough demonstrating compliance with this provision.**

**19.58.120 Definitions**

**The following definitions shall apply to this chapter:**

- A. "Alternative tower structure" means siting techniques, such as artificial trees or similar mounting structures, that camouflage or conceal the presence of antennas or communication towers.**
- B. "Antenna" means any exterior apparatus designed for telephonic, data, voice, internet, or any other communications through the sending or receiving of electromagnetic waves.**
- C. "Base station" means a structure or equipment that enables wireless communications, as further described in 47 CFR 1.6100.**
- D. "Collocation" means mounting or installing a WCF onto an existing structure, regardless of whether another WCF is already mounted on the structure. This definition includes modification or replacement of existing structures for the purpose of mounting or installing WCF transmission equipment on that structure. This definition shall include "collocation" as described in 47 CFR 1.6002(g), or any successor provision.**
- E. "Communication tower" means any structure built for the sole or primary purpose of supporting any wireless communication facility. This definition shall include "tower" as described in 47 CFR 1.6100(b)(9), or any successor provision.**

**PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12**

- F. **“Eligible facilities request” (“EFR”) means any request for modification of an existing WCF that involves a collocation, removal or replacement of transmission equipment that does not substantially change the physical dimensions of the existing support structure.**
- G. **“Substantial change” means a modification that meets the criteria of 47 CFR 1.6100(b)(7), or its successor.**
- H. **“Temporary WCF” means a support structure that is not permanently affixed to the ground or another structure. This definition includes, but is not limited to, cell-on-wheels (COW), WCFs attached to vehicles, and crank-up towers.**
- U. **Section 19.72.020 - Conditional Use Permits - Conditions of approval, is amended as follows:**
- A. The commission shall consider the suitability of the property, the character of the surrounding property and the economic and aesthetic effects of the proposed use upon the property and neighboring property. The use will be permitted if it is in harmony with the general purpose and intent of this title and where the use will be in keeping with the uses generally authorized for the zone in which the use is to take place. The commission shall require the conditional user to take those steps necessary so that the permitted conditional use will not be offensive because of injurious and noxious noise, vibrations, smoke, gas, fumes or odors or will not be hazardous to the community because of danger of **fall, collapse**, fire or explosion.
- B. Exits and entrances and off-street parking for the conditional use shall be located to prevent traffic hazards or congestion on public streets.
- C. In addition to the conditions of subsections (A) and (B) of this section, schools, governmental and civic buildings and other public uses shall meet the following condition: The proposed location of the use and size and character of the site shall facilitate maximum benefit and service to the public.
- D. **In addition to the conditions of subsections (A) and (B) of this section, a radio and television antenna, transmitter, or tower or any other antenna, transmitter, or tower that is not a WCF, excepting noncommercial antennas, shall meet the following standards, unless waived by the commission upon a finding that strict compliance with the standard would be technically infeasible, structurally unsound, or result in conditions unreasonably disproportionate to the public benefit served by the standard:**
1. **Setbacks. Notwithstanding any other yard setback requirements for a district,**
    - a. **A tower base must be situated on a parcel such that it is set back a minimum of One Hundred Ten Percent (110%) of the total transmitter or tower height (1x1.1 ratio) from all property lines and the boundary lines of any public road or right-of-way.**

PETERSBURG BOROUGH  
ORDINANCE NO. 2026-12

- b. *Sensitive area setback.* A tower base must be situated on a parcel such that it is set back a minimum of Fifteen Hundred (1,500) feet from any property line of a parcel on which is located an existing school, assisted living facility, childcare facility (children’s nursery), or hospital.
- 2. *Separation.* No tower shall be permitted within one-half (1/2) mile (2,640 feet) of another tower.
- 3. *Fencing.* A tower shall be enclosed by a minimum seven (7) foot fence or wall with a secured gate.
- 4. *Lighting.* No lighting shall be mounted on or illuminate a tower, except when required by the Federal Aviation Administration (FAA). Required lighting shall be equipped with shields or louvers to avoid projecting directly onto surrounding properties.
- 5. *Height.* The height of a tower shall not be greater than the minimum necessary for effective functioning of the tower.
- 6. *Visual impacts.* A tower shall be located in a manner that shall minimize adverse visual impacts on the landscape and adjacent properties.
- 7. *Compliance with FCC enforcement orders.* A conditional use permit issued for a radio and television transmitter or tower (excepting a noncommercial, FCC-licensed amateur (ham) antenna) or any other transmitter or tower that is not a WCF shall include as an express condition of approval that the permittee must operate in compliance with all FCC rules, regulations, and enforcement orders, including without limitation those relating to radio frequency emissions and interferences.

**Section 4. Severability:** If any provision of this ordinance or any application to any person or circumstance is held invalid, the remainder of this ordinance and the application to other persons or circumstances shall not be affected.

**Section 5. Effective Date:** This ordinance will take effect immediately upon adoption.

PASSED and APPROVED by the Assembly of the Petersburg Borough, Alaska this 15th day of June, 2026.

\_\_\_\_\_  
Robert Lynn, Mayor

ATTEST:

\_\_\_\_\_  
Rebecca Regula, Borough Clerk

# MEMORANDUM

**TO:** Borough Assembly

**FROM:** Liz Cabrera, Director, Community & Economic Development Department

**DATE:** May 12, 2026

**RE:** Ordinance 2026-12 – Wireless Communication Facilities

## Summary

---

Ordinance No. 2026-12 establishes a zoning and permitting framework for wireless communication facilities (WCFs), including cellular towers, communication towers, antennas, and related telecommunications equipment. It also establishes permitting requirements for radio/TV towers and other towers that do not qualify as WCFs.

The ordinance significantly expands the Borough's regulation of wireless infrastructure by:

- requiring conditional use permits for most new wireless facilities,
- establishing siting priorities and development standards,
- requiring technical and engineering documentation,
- imposing design and visual impact standards,
- creating insurance, removal, and bonding requirements,
- formalizing review procedures for WCFs, and
- requiring conditional use permits for radio, television, and other non-WCF towers.

The ordinance is intended to give the Borough greater control over where and how wireless infrastructure is developed while preserving a realistic and feasible path to provide wireless and other communication services within the community.

## Federal Telecommunications Act Context

---

Wireless communication facilities are regulated not only by local zoning law, but also by federal law under the Telecommunications Act of 1996 (TCA), related FCC regulations, and federal court case law.

The TCA preserves local government authority over land use, tower siting, aesthetics, setbacks, structural safety, and neighborhood compatibility. However, federal law also limits local authority in several important ways. Local governments generally may not:

- prohibit wireless service (including through de facto prohibition),
- unreasonably discriminate among providers of functionally equivalent services,
- deny facilities based on radio frequency (RF) health concerns if FCC standards are met,
- delay decisions beyond federally established timelines.

A *de facto* prohibition can arise from setback or spacing requirements that eliminate all feasible sites within a provider's service area; repeated denial of applications despite demonstrated coverage gaps where no reasonable alternative locations exist; or requirements that make

deployment commercially or technically infeasible. Petersburg’s ordinance was specifically designed to avoid these outcomes — the location hierarchy, the waiver process, and the multiple available zones collectively ensure viable sites exist.

The ordinance was drafted with TCA limitations in mind and includes language intended to preserve borough authority while avoiding conflict with federal law. The ordinance expressly provides that it shall not be applied to prohibit or have the effect of prohibiting personal wireless services, and that it shall not unreasonably discriminate between providers of functionally equivalent services (19.58.020(A) and (B)).

## **Purpose of the Ordinance**

---

The ordinance is designed to address several concerns that commonly arise with wireless infrastructure development, including:

- visual impacts from towers,
- proliferation of standalone towers,
- placement near residential or sensitive areas,
- long-term maintenance and abandonment issues, and
- structural and public safety concerns.

The ordinance also recognizes that wireless infrastructure is increasingly important for emergency communications, public safety, economic activity, and daily communications needs.

The proposal attempts to balance those competing interests by allowing wireless development while subjecting it to more detailed local review. The ordinance also establishes a permitting process for radio/TV towers and other non-WCF towers, which fall outside the scope of the TCA but were previously permitted by right in commercial and industrial zones without meaningful review.

## **Section-by-Section Summary**

---

### **Section 1. Classification**

The ordinance is of a general and permanent nature and shall be codified in the Petersburg Municipal Code in Title 19.

### **Section 2. Purpose**

Establishes the purpose of the ordinance: to create comprehensive standards for the siting of wireless communication facilities and other towers and transmitters.

### **Section 3. Substantive Provisions**

#### **(A) Definitions**

This section adds or modifies definitions in Chapter 19.04. Key additions and changes include:

- Director (19.04.185): Defined as the director of community development for the Petersburg Borough. This definition supports the new WCF permitting process in Chapter 19.58.

- Essential services (19.04.270): Clarified to expressly exclude wireless communication facilities. Because essential services are permitted by right in most zoning districts, this exclusion is necessary to ensure that WCFs are subject to the new conditional use permitting framework rather than being installed without review.
- Noncommercial antenna (19.04.537): Defined to include FCC-licensed amateur (ham) antennas, broadcast reception antennas, citizen band (CB) antennas, and antennas qualifying as over-the-air receiving devices under 47 CFR 1.4000(a)(1). These are exempted from WCF regulation throughout the ordinance.
- Wireless communication facility (19.04.806): Defined to include the full set of equipment and network components necessary to provide wireless services, including cellular, mobile broadband, and fixed wireless internet services. The definition expressly excludes noncommercial antennas and facilities used solely for over-the-air broadcast radio or television transmission.

### **(B–R) Zoning District Amendments**

The ordinance amends multiple zoning districts to modernize and restructure how wireless and antenna uses are classified. The principal changes across districts are:

- Noncommercial antennas are added as expressly permitted accessory uses in all residential districts (R-R, S-F, S-F 2, M-F, SFMH, MHP, C-3) and in most other zones where they were previously unaddressed. Accessory use is allowed once permitted use is established. For example, a noncommercial antenna is allowed in a residential district once a dwelling is constructed.
- Legacy references to “noncommercial radio and television transmitters or towers” as conditional uses in residential and mobile home districts are removed. These uses are now addressed through the noncommercial antenna definition or, if commercial in nature, through the new WCF chapter.
- Legacy references to “commercial radio and television transmitters or towers” as permitted uses in C-1 and C-2 commercial and I-1 industrial districts are removed and replaced with conditional use requirements.
- WCFs are established as conditional uses (requiring a CUP under Chapter 19.58) in C-1, C-2, I-1, and P-1 districts.
- Radio and television antennas, transmitters, or towers that are not WCFs — and that are not noncommercial antennas — are added as conditional uses in C-1, C-2, I-1, and P-1 districts, subject to standards in amended 19.72.020(D).

### **(S) Building Height Exemption**

The exception to height restrictions in 19.56.110 is updated to reference “noncommercial antennas” rather than the former “television and radio antennas,” consistent with the new definition.

### **(T) New Chapter 19.58 – Wireless Communication Facilities**

The ordinance creates an entirely new chapter dedicated to WCF regulation. Key components are summarized below.

#### **Applicability and Exemptions – 19.58.020 and 19.58.030**

Chapter 19.58 applies to all WCF development — including placement, installation, construction, modification, and collocation — for both new and existing WCFs, except for the following exempt facilities and activities:

- Noncommercial antennas.

- Radio and television antennas, transmitters, or towers that are not WCFs.
- Temporary WCFs installed during a declared state of emergency or upon a written determination of public necessity by the borough manager, for up to one week after the emergency ends.
- Temporary WCFs for special events (news coverage, sporting events, etc.), subject to director approval, for up to one week after the event.
- Existing lawfully permitted WCFs that were in place on the ordinance's effective date. Such facilities may continue operating as they presently exist, but any proposed modification — including collocation — must comply with the new chapter.
- Eligible facilities requests (EFRs) and routine maintenance and repairs that do not constitute a “substantial change” under 47 CFR 1.6100(b)(7). Federal law (Section 6409(a) of the Spectrum Act) requires local governments to approve these requests within 60 days. A building permit with FCC RF emissions certification may still be required.
- Facilities and activities that are federally exempt.

### **Location Preferences – 19.58.040**

The ordinance establishes a seven-tier siting hierarchy, with Priority 1: Collocation on an existing communication tower being most preferred.

Applicants seeking a lower-priority site must demonstrate, to the satisfaction of the planning commission, that adherence to a higher-priority location is technically infeasible (certified by a qualified RF engineer), structurally impossible (certified by a licensed Alaska PE), or commercially impractical or unavailable.

### **Development Standards – 19.58.050**

The ordinance establishes detailed physical standards for WCFs:

- **Setbacks:** A communication tower base must be set back from all property lines and road rights-of-way by a minimum of 110% of the total tower height. A separate sensitive area setback requires a minimum of 1,500 feet from the property line of any parcel containing a school, assisted living facility, childcare facility, or hospital.
- **Tower separation:** No communication tower may be located within one-half mile (2,640 feet) of another communication tower.
- **Collocation capacity:** Towers exceeding 120 feet must be engineered to accommodate at least three antenna arrays; towers exceeding 150 feet must accommodate at least four.
- **Fencing:** WCFs must be enclosed by a minimum seven-foot fence or wall with a secured gate.
- **Signs:** Required identification signage with 24-hour emergency contact information, FCC antenna structure registration number, and danger warnings.
- **Lighting:** No lighting on towers except when required by the FAA; required lighting must use shields or louvers.
- **Height:** Tower height must be the minimum necessary for effective functioning, as certified by a qualified RF engineer. For collocated facilities, height is also limited relative to the structure on which the WCF is mounted.
- **Protrusion:** No part of a WCF may protrude more than 36 inches from its support structure.
- **RF emissions:** Must meet FCC emission standards individually and cumulatively.

- No air navigation hazard: Applicants must obtain an FAA determination of no hazard to air navigation.
- Engineering: WCFs must be designed by a licensed Alaska professional engineer to meet ANSI/TIA-222-G structural requirements and applicable building codes.
- No guy wires: Guy wires are prohibited for all communication towers.
- Visual impacts: WCFs must be configured to minimize adverse visual impacts, including use of alternative tower structures or stealth technologies.
- Coverage gap/least intrusive means: A WCF may only be placed to fill a significant coverage gap, using the least intrusive means available.

### **Permitting Procedures – 19.58.060**

All WCFs not otherwise exempt require a conditional use permit under this chapter. Key procedural elements include:

- Completeness review: The director reviews applications for completeness. Incomplete applications must be rejected in writing within 30 days of submission with identification of deficiencies. Upon resubmittal, the director has 10 days to identify any remaining deficiencies.
- Third-party technical review: At the director's discretion, a third-party technical expert may be retained to review the application. The actual costs of this review are borne by the applicant.
- Public hearing: Once complete, the application is scheduled for a public hearing before the planning commission.
- Decision timeline: The planning commission must grant or deny the application within the presumptively reasonable timeframe established under 47 CFR §1.6003 (generally 90 days for collocations, 150 days for new towers), less any tolling periods. If no federal tolling period applies, the maximum is 150 days.
- Written decision: All decisions must be in writing and based on compliance with the standards of this chapter. Denials must be supported by substantial evidence in a written record.

### **Application Requirements – 19.58.070**

Applications must include:

- A site plan showing parcel dimensions, lot lines, proximity of dwellings and roads, existing and proposed structures, antennas, appurtenances, lighting, landscaping, and fencing.
- A coverage area analysis demonstrating the significant coverage gap to be filled, supported by an RF propagation study certified by a qualified RF engineer.
- Site justification demonstrating compliance with the location priority hierarchy, verification that no higher-ranked sites are available, a summary of alternative locations investigated, and an explanation of why those sites are infeasible.
- Height documentation certifying compliance with the height standards of 19.58.050(G).
- A visual impact analysis with photo simulations at 500-foot and 1,500-foot distances, including multiple vantage points from adjacent roadways and residential zones within 1,500 feet.
- Maps, plans, studies, reports, certifications, and other materials necessary to demonstrate compliance with all development standards.

- Waiver documentation, if applicable.

### **Conditions of Approval – 19.58.080**

The planning commission shall approve a WCF CUP if it finds the application meets all applicable development standards, that the location satisfies the siting priority hierarchy, that the proposed site fills the necessary coverage gap, and that the least intrusive means available has been selected.

Every issued permit automatically includes as conditions of approval: the insurance requirements of 19.58.100, the performance guarantee and removal requirements of 19.58.110, and compliance with all FCC rules and enforcement orders.

The commission may not deny a permit on the basis of radio frequency emission health concerns if the equipment meets FCC standards.

### **Waiver – 19.58.090**

The planning commission may grant a waiver from one or more of the development standards in 19.58.050(A)–(H) if the applicant demonstrates that denial of a permit or strict adherence to the standard would:

- require a technically infeasible location, design, or installation, as certified by a qualified RF engineer;
- result in a structurally unsound support structure, as certified by a licensed Alaska PE; or
- jeopardize public health, safety, or welfare because the current level of service in the proposed coverage area is functionally inadequate for emergency calls.

The commission may also waive the minimum setback requirement of 19.58.050(A) if a qualified structural engineer certifies a breakpoint design that limits the tower's fall radius to a lesser area.

The waiver provision serves an important federal law function. The TCA prohibits local governments from taking any action that effectively prohibits wireless service. Without a waiver mechanism, rigid application of the Borough's development standards could, in certain circumstances, make it impossible for a carrier to provide service — potentially exposing the Borough to a federal preemption challenge. The waiver process provides a structured, on-the-record path to grant limited relief where strict compliance is genuinely unworkable, without opening the door to broad exceptions.

Three key guardrails govern all waivers: (1) the waiver extends only to the minimum relief necessary to resolve the qualifying condition — not a blanket exemption from the standard; (2) all waiver documentation must be submitted with the original application; and (3) the director may obtain an independent third-party review of technical waiver claims at the applicant's expense.

### **Insurance Requirements – 19.58.100**

Every WCF permittee must maintain commercial general liability insurance for as long as the permit is active, providing at minimum \$1,000,000 coverage per occurrence and \$3,000,000 in the aggregate. Facilities with fuel tanks must also carry environmental damage coverage. The insurer must be licensed in Alaska and carry an AM Best rating of at least A. The insurer must provide the Borough at least 30 days' advance written notice before cancellation. The Assembly may update coverage limits from time to time, and any amended requirements apply to all new and existing permittees.

### **Removal and Performance Guarantee – 19.58.110**

WCFs must be removed and the parcel restored to its prior condition:

- within six months of permit revocation (shortened if the WCF presents an immediate safety or health hazard as determined by the borough building official); or
- within ninety days after all wireless communication equipment on a tower has been removed or has been nonoperational for at least 12 consecutive months.

The WCF owner and the parcel owner are responsible for removal. As a condition of any CUP for a communication tower, the permittee must maintain a performance guarantee — in the form of cash or a surety bond — in an amount equal to estimated removal and site restoration costs, but no less than \$150,000. A current certificate evidencing the guarantee must be provided to the Borough.

### **Definitions – 19.58.120**

Chapter 19.58 includes its own definitions applicable throughout the chapter, including: alternative tower structure, antenna, base station, collocation, communication tower, eligible facilities request (EFR), substantial change, and temporary WCF. Several definitions incorporate or cross-reference federal regulatory definitions for consistency with federal law.

### **(U) Conditional Use Standards for Non-WCF Towers – 19.72.020(D)**

The conditional use permit criteria in 19.72.020 are amended to add a new subsection (D) establishing standards for radio and television antennas, transmitters, or towers — and any other antenna, transmitter, or tower — that are not WCFs and are not noncommercial antennas. These standards parallel some of the WCF development standards and include:

- Setbacks: 110% of tower height from all property lines and road rights-of-way; 1,500-foot sensitive area setback from schools, hospitals, childcare facilities, and assisted living facilities.
- Tower separation: One-half mile (2,640 feet) from any other tower.
- Fencing: Minimum seven-foot fence or wall with secured gate.
- Lighting: No illumination except as required by the FAA; required lighting must use shields or louvers.
- Height: Minimum necessary for effective functioning.
- Visual impacts: Located to minimize adverse visual impacts.
- FCC compliance: Permit must include as an express condition compliance with all FCC rules and enforcement orders regarding RF emissions and interference (except for noncommercial amateur ham antennas).

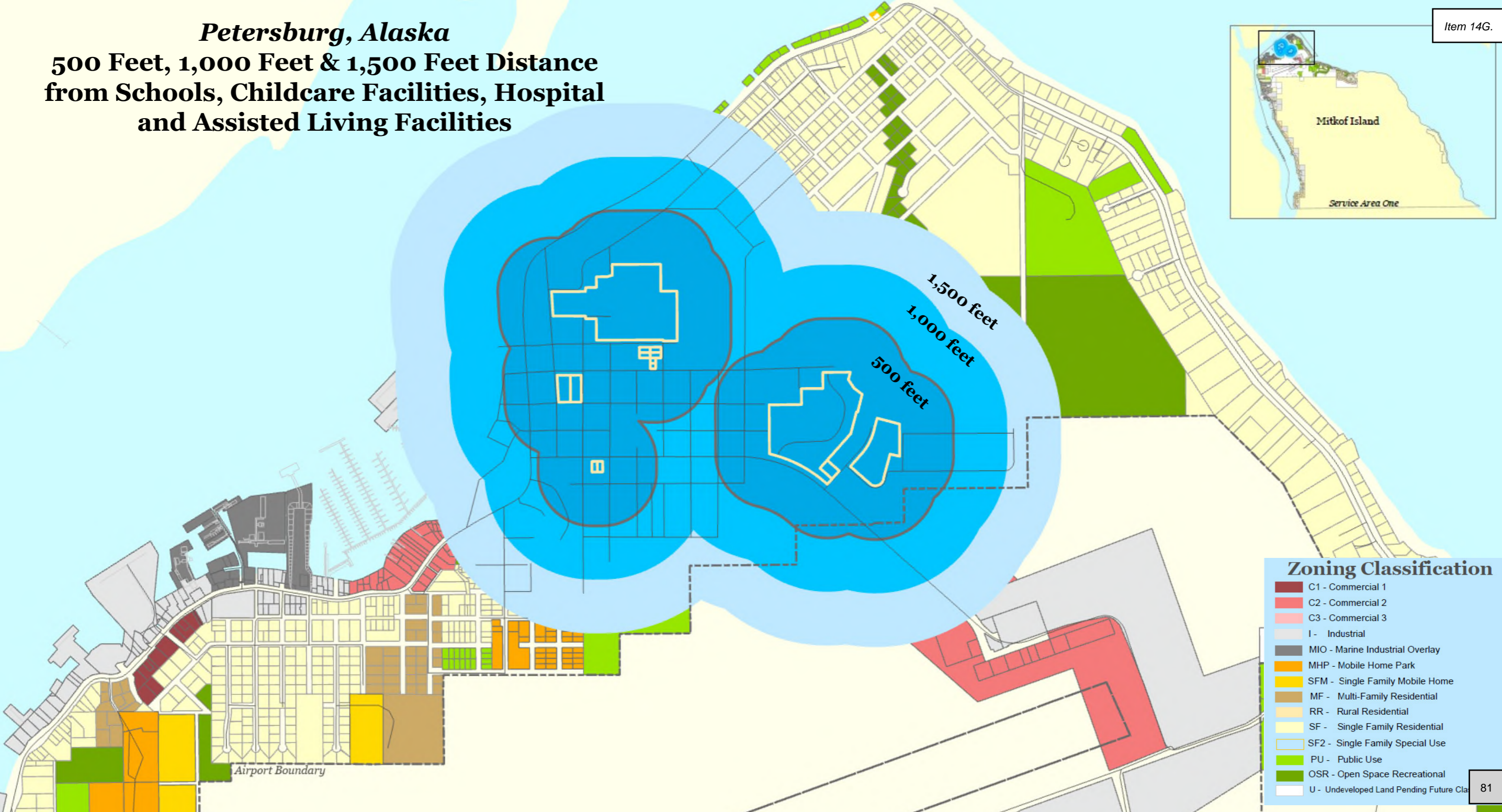
The commission may waive any of these standards upon finding that strict compliance would be technically infeasible, structurally unsound, or result in conditions unreasonably disproportionate to the public benefit served by the standard.

## **Section 4. Severability**

If any part of this ordinance is found to be invalid, the rest of it remains in effect.

# Petersburg, Alaska

## 500 Feet, 1,000 Feet & 1,500 Feet Distance from Schools, Childcare Facilities, Hospital and Assisted Living Facilities



**Zoning Classification**

- C1 - Commercial 1
- C2 - Commercial 2
- C3 - Commercial 3
- I - Industrial
- MIO - Marine Industrial Overlay
- MHP - Mobile Home Park
- SFM - Single Family Mobile Home
- MF - Multi-Family Residential
- RR - Rural Residential
- SF - Single Family Residential
- SF2 - Single Family Special Use
- PU - Public Use
- OSR - Open Space Recreational
- U - Undeveloped Land Pending Future Cla

Airport Boundary



# Petersburg Borough

12 South Nordic Drive  
Petersburg, AK 99833

## Meeting Minutes Planning Commission Special Meeting

---

Friday, January 23, 2026

10:00 AM

Assembly Chambers

---

### 1. Call to Order

The meeting was called to order at 10:03 AM

### 2. Roll Call

#### PRESENT

Commission Chair Chris Fry  
Commission Vice-Chair Heather O'Neil  
Commissioner Marietta Davis  
Commission Secretary Sarah Fine-Walsh  
Commissioner Joshua Adams  
Commissioner Mika Cline

#### ABSENT

Commissioner John Jensen

### 3. Acceptance of Agenda

The agenda was accepted as presented.

Motion made by Commissioner Davis, Seconded by Commission Secretary Fine-Walsh.  
Voting Yea: Commission Chair Fry, Commission Vice-Chair O'Neil, Commissioner Davis,  
Commission Secretary Fine-Walsh, Commissioner Adams, Commissioner Cline

### 4. Agenda Items

- A. Initiation of an amendment to Title 19, Zoning, to address Wireless Communication Facilities.

Judy Ohmer, speaking on her own behalf, encouraged taking a step back to consider what is best for Petersburg. She noted that many communities across the country use 1500-foot setbacks and that these standards have withstood legal challenges.

Tom Kowalski, speaking on his own behalf, provided examples of setback requirements used in other cities across the country and referenced ordinances adopted elsewhere that aim to protect residents from EF radiation.

Harvey Gilliland, speaking on his own behalf, asked whether the tower projects were funded by the federal government or the Bureau of Indian Affairs. He also questioned

whether a survey or study of existing cellular coverage had been conducted and how the proposed towers might affect private providers. Director Liz Cabrera explained that Tlingit & Haida, the regional tribe, had received a federal grant to construct the towers and expand broadband service. She noted that Tidal Network would need to address the question regarding a survey or study and potential impacts on private providers.

Chad Carvey, speaking on his own behalf, emphasized the precautionary principle and noted that Petersburg has ample space offering multiple tower location options.

Commissioner Joshua Adams asked the people who testified where they would choose to put towers. Tom Kowalski responded by saying he would like to see the Papke's tower moved near the rifle range, the Mill Rd tower moved to the back of Mill Rd near the back road, and the tower in town he is unsure.

John Murgas spoke representing himself, he has industrial property at Scow Bay and would like to offer it as an option for tower location.

Motion made by Commission Secretary Fine-Walsh, Seconded by Commissioner Davis.

Commission Chair Fry noted the setback map and stated that under the proposed code, no tower may be located within a half-mile of an existing tower.

Commissioner Secretary Fine-Walsh suggested adding a section to the draft code to address maximum tower heights. She referenced Ketchikan's standards, which limit towers not adjacent to homes or sensitive areas to 200 feet, and those adjacent to such areas to 60 feet

Discussion.

Motion made by Commission Secretary Fine-Walsh, to amend language in the draft ordinance title. As amended ORDINANCES REGULATING WIRELESS COMMUNICATION FACILITIES (WCF) SHALL APPLY THROUGHOUT PETERSBURG BOROUGH WETHER WITHIN OR WITHOUT DESIGNATED SERVICE AREAS. Seconded by Commissioner Cline.

Discussion.

Commissioner Adams asked Director Liz Cabrera maybe we don't need a service area 2 if this works? Director Cabrera stated we don't have a conditional use permit process or zoning outside of service area 1. This ordinance relies on the structure of the zoning code that we have in place inside service area 1. We don't have that outside service area 1 or the mechanism of enforcement.

Commissioner Secretary Fine-Walsh further amended her motion to add language ORDINANCES REGULATING WIRELESS COMMUNICATION FACILITIES (WCF) SHALL APPLY THROUGHOUT PETERSBURG BOROUGH WETHER WITHIN OR WITHOUT DESIGNATED SERVICE AREAS WHICH SHALL BE ENFORCED UPON THE CREATION OF ANY ADDITIONAL SERVICE AREAS.

Discussion.

Commissioner Secretary Fine-Walsh amended her motion to going back to the original phrasing to add a paragraph to the draft titled BOROUGH WIDE - ORDINANCES REGULATING WIRELESS COMMUNICATION FACILITIES (WCF) SHALL APPLY THROUGHOUT PETERSBURG BOROUGH WETHER WITHIN OR WITHOUT DESIGNATED SERVICE AREAS. Seconded by Commissioner Cline

Voting Yea: Commission Chair Fry, Commission Vice-Chair O'Neil, Commissioner Davis, Commissioner Adams, Commissioner Cline

Voting Nay: Commission Secretary Fine-Walsh

Motion made by Commission Secretary Fine-Walsh to amend Section 7. adding Subsection 4. to read - Federal Compliance as a Condition of Permit. All PWSF/WCF shall be operated in strict accordance with the rules and regulations of the Federal Communications Commission (FCC) regarding radio frequency interference. Continued compliance with FCC interference standards is a material condition of the borough's conditional use permit and/or building permit. Seconded by Commissioner Davis.

Voting Yea: Commission Chair Fry, Commission Vice-Chair O'Neil, Commissioner Davis, Commission Secretary Fine-Walsh, Commissioner Adams, Commissioner Cline

Discussion regarding Section 6, Subsection 2. Sensitive area setbacks.

Motion made by Commission Secretary Fine-Walsh to amend Section 6, Subsection 2 Sensitive area setback: The tower base must be set back a distance of 1500-feet from any school, assisted living facility, or childcare facility. Seconded by Commissioner Davis.

Bob Martin spoke representing himself, mentioned it would be nice if sensitive areas were defined in a way we could try and reconcile that with the Telecommunications Act, as far as why is Assisted living a sensitive area.

Commission Secretary Fine-Walsh said school, assisted living, or childcare facility is our list, we are naming that the sensitive area list.

Amendment to the Motion made by Commission Vice-Chair O'Neil to add hospital to the list of sensitive areas. Seconded by Commission Secretary Fine-Walsh.

Discussion.

Voting as amended to add hospital to the list, all in favor.

Voting Yea: Commission Chair Fry, Commission Vice-Chair O'Neil, Commissioner Davis, Commission Secretary Fine-Walsh, Commissioner Adams, Commissioner Cline

Discussion.

Amendment to the Motion made by Commission Secretary Fine-Wash Amendment to the setback distance to 1000-feet for sensitive areas. Seconded by Commissioner Davis.

The proposed amendment fails by roll call vote.

Voting Yea: Commission Chair Fry, Commissioner Davis, Commission Secretary Fine-Walsh

Voting Nay: Commission Vice-Chair O'Neil, Commissioner Adams, Commissioner Cline

The motion as amended. Section 6, Subsection 2. Sensitive area setbacks: The tower base must be set back a distance of 1500-feet from any school, assisted living facility, childcare facility, or hospital.

Amendment passes by roll call vote.

Voting Yea: Commission Vice-Chair O'Neil, Commission Secretary Fine-Walsh, Commissioner Adams, Commissioner Cline

Voting Nay: Commission Chair Fry, Commissioner Davis

A clerical error was corrected on page 2. The fifth whereas, 125% should be 110%.

Scott Newman spoke on behalf of himself, being a pilot, tower height is a concern of his.

Chad Carvey spoke representing himself to ask if State lands include Alaska Mental Health Trust lands and could those lands be purchased for this. Commission Chair Fry spoke to say yes, lands could potentially be purchased but it's a question of if they would sell the land.

Voting on the original motion as amended.

Voting Yea: Commission Chair Fry, Commission Vice-Chair O'Neil, Commissioner Davis, Commission Secretary Fine-Walsh, Commissioner Adams, Commissioner Cline

## 6. Adjournment

The meeting adjourned at 11:36pm.

Motion made by Commission Secretary Fine-Walsh, Seconded by Commissioner Cline.

Voting Yea: Commission Chair Fry, Commission Vice-Chair O'Neil, Commissioner Davis, Commission Secretary Fine-Walsh, Commissioner Adams, Commissioner Cline

**PETERSBURG BOROUGH  
RESOLUTION #2026-16**

**A RESOLUTION APPROVING THE SALE OF A BOROUGH PARCEL TO THE  
CENTRAL COUNCIL OF THE TLINGIT & HAIDA INDIAN TRIBES OF ALASKA,  
DOING BUSINESS AS TIDAL NETWORK**

**WHEREAS**, the Petersburg Borough owns a parcel of real property described as follows:

An unsubdivided parcel, approximately .23 acre in size (10,036± sq.ft.), located within U.S.S. 1168, Petersburg Townsite, as more specifically shown on Exhibit A hereto (the "parcel")

**WHEREAS**, the parcel has a total FY 2026 assessed value of \$45,000.00; and

**WHEREAS**, on June 11, 2025, the Central Council of the Tlingit & Haida Indian Tribes of Alaska, doing business as Tidal Network, submitted an application to purchase the parcel from the Petersburg Borough; and

**WHEREAS**, on August 12, 2025, the Petersburg Borough Planning Commission reviewed the application and proposed sale after a duly noticed public hearing and recommended approval to the Borough Assembly; and

**WHEREAS**, the Borough Assembly, on September 2, 2025, approved and advanced the application, authorizing direct negotiations for the sale of the parcel, with the final terms subject to Assembly approval; and

**WHEREAS**, thereafter, the Borough Manager negotiated the terms and conditions for purchase of the parcel, which are memorialized in a proposed Contract of Sale attached hereto as Exhibit A and incorporated herein by reference; and

**WHEREAS**, the Borough Assembly has determined that the parcel is not required for municipal purposes and finds that the proposed sale of the parcel to the Central Council of the Tlingit & Haida Indian Tribes of Alaska, doing business as Tidal Network, supports the goal of economic development within the borough; and

**WHEREAS**, Petersburg Municipal Code 16.12.160C, provides that the disposal of borough property with an assessed value of \$250,000 or less be authorized by resolution of the Assembly.

**NOW, THEREFORE, BE IT RESOLVED** by the Assembly of the Petersburg Borough, Alaska, as follows:

**PETERSBURG BOROUGH  
RESOLUTION #2026-16**

**Section 1.** The Petersburg Borough Assembly hereby approves the sale of the parcel to the Central Council of the Tlingit & Haida Indian Tribes of Alaska, doing business as Tidal Network, pursuant to the terms and conditions contained in the attached Contract of Sale.

**Section 2.** The Borough Manager is hereby authorized to execute the Contract of Sale and, upon approval and recordation of the plat by the Planning Commission, any associated closing documents, deeds, disclosures, or agreements necessary to complete the conveyance of the parcel to the Buyer.

**Section 3.** This resolution shall take effect immediately upon adoption.

**PASSED AND APPROVED** by the Assembly of the Petersburg Borough, Alaska, this 1st day of June, 2026.

\_\_\_\_\_

Mayor

Robert Lynn,

**ATTEST:** \_\_\_\_\_  
Rebecca Regula, Borough Clerk

CONTRACT OF SALE

This contract of sale (this "Agreement"), effective as of the date of the last signature below (the "Effective Date"), is made by and between the Petersburg Borough, P.O. Box 329, Petersburg, Alaska, 99833 (hereinafter "Seller"), and the Central Council of the Tlingit & Haida Indian Tribes of Alaska, doing business as Tidal Network, P.O. Box 25500, Juneau, Alaska 99802 (hereinafter "Buyer"). Seller and Buyer are collectively referred to hereinafter as the "parties."

Recitals

A. Seller, as successor-in-interest to the City of Petersburg, is the owner of the following real property, located in the Petersburg Recording District, First Judicial District, State of Alaska:

An unsubdivided parcel, approximately .23 acre in size (10,036± sq.ft.), located within U.S.S. 1168, Petersburg Townsite, as more specifically shown on Exhibit A hereto (the "parcel")

B. Buyer has requested to purchase the parcel to install and construct a communication tower to support the expansion of fixed wireless broadband coverage in the community (the "project").

Therefore, Seller hereby agrees to sell and convey, and Buyer agrees to purchase, the parcel upon the following terms and conditions and those set out in Petersburg Borough Assembly Resolution #2026-16, incorporated herein by reference:

1. Purchase Price. The total purchase price for the parcel is \$45,000.00 (the "purchase price").
2. Payment of Purchase Price; Costs of Sale. A deposit equal to a minimum of five percent (5%) of the purchase price shall be paid to Seller within five (5) business days of the effective date. The balance of the purchase price shall be paid in full to Seller at the time of conveyance of the parcel to Buyer. Conveyance shall take place within thirty (30) days of satisfaction of the contingencies set out below in Subsections 3(A) and (B). Buyer is responsible for all costs of sale and closing of the transaction, including without limitation costs set out in Petersburg Municipal Code (PMC) 16.12.090, any title insurance premiums, escrow fees or closing costs, recording fees, and the commission of any real estate agent or broker representing Buyer in this transaction. In the event any other claim for real estate commissions or compensation arises in connection with Buyer in this transaction, Buyer agrees to indemnify, defend, and hold harmless Seller from any loss or damage, including attorney fees incurred by Seller as a result of such claim.

All payments shall be made at the Borough Finance Office, P.O. Box 329, 12 S. Nordic Drive, Petersburg, Alaska in readily available funds.

If Buyer defaults, by failing to timely make the required deposit, timely subdivide the parcel or meet

any other contingency of sale, or timely pay the balance of the purchase price, any deposit made by Buyer shall be forfeited to Seller and Buyer shall have no further interest in or to the parcel, or right to purchase the parcel. This section is not intended to limit any other legal remedy available to Seller.

3. Contingency of Sale. The sale and conveyance of the parcel under this Agreement is contingent upon the following. A failure by Buyer to timely meet either of these contingencies is considered a default under this Agreement.

A. Subdivision of the parcel. Buyer shall, within 90 days of the effective date, submit an application and proposed plat to the Borough Planning Department, in accordance with Petersburg Municipal Code (PMC) Chapter 18.20, to legally create the parcel, and shall thereafter diligently pursue approval of the plat. Seller will sign the subdivision application, however Buyer is solely responsible for the performance of all other acts and filings required to properly subdivide the real property and create the parcel, and for payment of all fees and costs of subdivision, including surveying and engineering fees, borough platting fees, and recording fees. The plat must be finalized, approved by borough authorities, and recorded within one (1) year of the Effective Date of this Agreement, unless the Borough Assembly agrees to an extension, and such approval shall not be unreasonably withheld. If the plat is timely submitted, and review and consideration of the plat by the Borough Planning Department or Platting Board is unreasonably delayed, the period of such delay shall not be counted toward the one (1) year deadline.

B. Driveway Permit. Buyer shall, within one (1) year of the effective date of this Agreement, obtain a Driveway and Approach Road Permit from the Alaska Department of Transportation and Public Facilities to access the parcel directly from Haugen Drive, unless the Borough Assembly agrees to an extension, and such approval shall not be unreasonably withheld. Buyer understands and acknowledges that access to the parcel cannot be provided through the adjacent borough fire department facilities.

4. Rights of Seller Following Completion of Sale.

A. Right of Repurchase and Right of First Refusal. In the event that development of the project has not been completed with respect to the parcel within five (5) years from the effective date, Seller shall have the absolute right, but not the obligation, to repurchase the parcel, at Seller’s sole discretion, for a price equal to the purchase price set out in Section 1 of this agreement, less ten percent (10%). Seller may exercise such right of the repurchase only by providing written notice to Buyer in accordance with Section 13 of this Agreement, no later than six (6) months after the expiration of such five (5) year period. Such notice shall state that the Seller is exercising its right of repurchase under this Section and shall specify a closing date for the repurchase, upon which Seller shall tender to Buyer the repurchase price in full. If Seller does not provide such written notice of its intent to exercise its repurchase right within said six (6) month period, Seller’s right of repurchase under this section shall

expire. For purposes of this Agreement, project development will be considered to have been completed upon Buyer’s performance of the tape drop and Buyer’s reporting of that event and final completion of construction to the FAA and FCC. Buyer shall provide Seller with written verification confirming that these actions have been completed. If project development is not completed within such five (5) year period, any subsequent completion shall not impair Seller’s right to exercise its right of repurchase during the six (6) month notice period set forth above.

In the event of Seller’s exercise of its repurchase right and payment of the repurchase price at closing, Buyer relinquishes all right, title, and interest in and to the parcel, and fee simple title to the parcel shall automatically vest in Seller, free and clear of any right, claim, or interest of Buyer, without the necessity of further action by either party except that the Buyer is obligated to and shall execute and deliver to Seller at closing such instruments as may be reasonably required to effectuate conveyance and recordation of Seller’s title in the parcel.

In addition to its right of repurchase, and in the event the Borough does not exercise such right, the Borough shall have the right of first refusal with respect to any subsequent sale of the parcel by Buyer. Prior to any such sale, Buyer shall provide the Borough with written notice of the terms and conditions of the proposed sale. The Borough shall have sixty (60) days from receipt of such notice to exercise its right to purchase the parcel on the same terms and conditions. Buyer shall not sell the parcel on terms more favorable to a third-party purchaser than those offered to the Borough. These provisions shall be recorded in the deed to be issued under paragraph 6 hereof.

B. Right of Installation. As a municipal government, Seller may in the future expand its police, fire and emergency response services beyond the current boundaries of Service Area 1 of the Borough, or may need additional equipment to adequately serve Service Area 1. Such expansion may create a need for Seller to place antennas and repeaters on Buyer's communication towers located within the Borough to support the necessary public-safety equipment. The parties agree that Seller may install, operate, maintain, repair and replace public-safety antennas, repeaters, and similar and necessary equipment on Buyer’s towers and adjacent ground, at no cost to Buyer, and Seller shall not be charged any rental or other usage fee by Buyer. Seller shall be responsible for any electrical power consumption by Seller’s equipment.

If such installation becomes necessary, the parties shall negotiate in good faith regarding the placement, technical specifications, and frequency use of the Seller’s equipment; however, Seller’s equipment shall not unreasonably interfere with Buyer’s current or future operations. If at any time available capacity on a tower owned by Buyer is reduced to space sufficient for only one additional installation, Seller shall have the right of first refusal to occupy such remaining space. Buyer shall provide Seller with written notice of such availability, along with applicable terms and conditions (other than rental or usage fees, which shall not apply), and Seller shall have sixty (60) days from receipt of

notice to elect, in writing, to occupy the space. If the Seller does not timely exercise its right of first refusal, the Buyer may offer the remaining space to another party on terms not materially more favorable than those offered to the Borough. Seller shall be liable for any damage caused to Buyer's tower by Seller's installation of any public-safety antennas, repeaters, and similar equipment.

5. Parcel Sold in its Present Condition; Assumption and Presumption for Environmental Conditions. The parcel is sold "as is, where is", in its current condition and with all faults, known or unknown, as of the effective date. Buyer has entered into this Agreement relying solely upon information and knowledge obtained from Buyer's own investigation and/or inspection of the parcel. Seller expressly makes no representations regarding, and disclaims any liability for, the parcel, and any improvements located thereon, including without limitation (1) the condition of the parcel (including the existence of any hazardous or environmental conditions); (2) the existence or condition of any improvements located thereon; (3) the exact location or size of the parcel, the existence of markers on the parcel, or the ability or cost of surveying the parcel; (4) the status or insurability of title to the parcel, including the existence of any liens, encumbrances or conditions on the parcel; (5) the ability of Buyer to utilize the parcel or any improvements in any fashion and for any particular purpose or use; (6) any zoning of the parcel; and (7) the existence, or the potential for installation, of any utility or access on or to the parcel. The parcel is sold subject to all platted easements, rights-of-way and reservations, and all liens, encumbrances, and conditions, of record or not of record, including but not limited to matters which would have been disclosed by a survey or physical inspection of the parcel. Seller makes no representations, warranty or guarantees, express or implied, as to quality, merchantability or suitability of the parcel for a particular purpose or use. Closing of the purchase hereunder will constitute an acknowledgment by Buyer that Seller is relieved from any and all responsibility and liability for the condition of the parcel.

Additionally, Buyer assumes all risks for any adverse environmental conditions, past, present or future, existing on the parcel, including hazardous substances, waste and materials. Buyer agrees that should any subsequent cleanup, remediation or removal of hazardous substances, waste or materials be necessary due to environmental conditions or contamination occurring on or from the parcel, such clean-up, removal or remediation shall be the sole responsibility of, and shall be performed at the sole cost and expense of, Buyer and Buyer shall have no claim against the Seller.

6. Conveyance. Conveyance of the parcel to Buyer shall be by quitclaim deed, upon payment of the full purchase price. Seller is not obtaining title insurance for the parcel. If Buyer desires to obtain title insurance, Buyer may do so at Buyer's own expense.

7. Further Conditions of Sale. Seller and Buyer acknowledge the following conditions of sale apply to the project:

A. Fuel Tank. In connection with the operation of its communication tower, Buyer may

install a fuel tank to support its equipment and activities. The parties acknowledge and agree that any such fuel tank shall have a maximum capacity of two hundred (200) gallons and shall be designed, located, installed, and maintained in the configuration and manner depicted on Exhibit B. The fuel tank shall comply with all applicable federal, state, and local laws, regulations, and industry standards, including those governing the storage, handling, and containment of fuel. Any modification to the size, configuration, or location of the fuel tank shall require the Borough's prior written consent, which shall not be unreasonably withheld.

B. Development of parcel.

(i) The project shall be developed on the parcel in accordance with the plans attached hereto as Exhibit C. Any material change in development from that set out in Exhibit C, including placement of additional or different structures, or location of structures, shall require the Borough's prior written consent, which shall not be unreasonably withheld. In this provision, "material" includes any change that increases the tower height, expands the ground footprint from that provided for in Exhibit C, or alters the visual appearance or profile of the site from that provided for in Exhibit C.

Excepting material changes that require building official review under the Borough Code, and notwithstanding the provisions of the foregoing paragraph, Buyer shall not be required to obtain Seller's consent for: 1. The installation, modification, or replacement of antennas, microwave dishes, remote radio heads, cabling, or similar telecommunications equipment on the tower by Buyer or its tenants (provided the tower height does not exceed the maximum set forth in Section 7(D)); or 2. The placement of additional ground equipment shelters, cabinets, or generators within the fenced compound; provided, however, that all such equipment and installations shall be installed and maintained in compliance with applicable federal, state, and local safety standards, including but not limited to those established by the Federal Communications Commission (FCC).

(ii) Buyer shall design, engineer, and construct the communication tower to include one or more engineered breakpoints, intended to cause controlled structural failure at predetermined locations, to ensure that the tower does not fall onto a public roadway or critical borough infrastructure, including the adjacent borough fire department facilities. At the time of submission of its permit application to the Borough's Planning Department, Buyer shall include a certified engineered fall zone letter, stamped by a professional engineer licensed in the State of Alaska, verifying inclusion of the necessary breakpoints.

C. *Intentionally omitted.*

D. Maximum height of tower. The maximum height of the communication tower to be constructed on the parcel shall be One Hundred Thirty Feet (130'), inclusive of lightning rod.

E. No further communication towers on Mitkof Island. Buyer agrees that other than the

three communication towers described in Subsection 7(C) above, Buyer shall not, either by itself or in concert or coordination with others, install or construct any other or further communication towers, whether for broadband, cellular, or other communications technologies, on Mitkof Island, Alaska for five (5) years from the Effective Date without approval of the Petersburg Borough Assembly, which shall not be unreasonably withheld. Notwithstanding the foregoing, Buyer retains the right to repair, reinforce, or replace its three (3) towers on Mitkof Island at their current or planned locations, in accordance with the provisions of Subsection 7 hereof, provided such work does not result in a new tower in a wholly new location.

F. Disclosure of Construction Costs. Upon completion of construction of the tower contemplated by this Agreement, as well as any other tower constructed by Buyer within the Borough, Buyer shall provide to the Borough Finance Department its total cost of construction of the tower, including all labor, materials and equipment costs (“total costs of construction”), in order for the Borough to properly assess the tower for purposes of real property taxation under AS 29.45 and PMC 4.24. In the event that Buyer has previously constructed a tower within the Borough, the Buyer shall, upon the Effective Date, provide the total costs of construction for such existing tower(s).

G. Noninterference. The parties understand and acknowledge that the tower contemplated by this Agreement will be constructed on a parcel located immediately adjacent to the Borough’s fire department facilities, which house the Borough’s back-up 911 system and its fire, police, and emergency services radio system (“emergency systems”). Buyer shall not permit installation or operation of any equipment on the tower that causes interference with the emergency systems and shall, upon notice from the Borough of any such interference, promptly take all necessary actions to eliminate it.

The parties expressly acknowledge and agree that these conditions are essential and material terms of this agreement, form part of the bargained-for consideration, and are intrinsic to Seller’s willingness to enter into this Agreement, without which Seller would not have agreed to the sale.

8. Tower at Papke’s Landing. Buyer understands and acknowledges that there has been substantial community concern regarding its plans to install and construct a communication tower on Rory Road at Papke’s Landing. Buyer agrees to attempt, in good faith and using all reasonable means, to establish an alternative location for this tower, to move it away from residential structures.

9. Entire Agreement. This Contract of Sale is fully integrated and sets forth the entire understanding and agreement of the parties with respect to the purchase and sale of the parcel. This Agreement supersedes any and all prior negotiations, discussions, agreements, and understandings between the parties with respect to the subject matter hereof.

10. Amendment. This Contract of Sale may not be modified, amended or subjected to a novation

except by a written agreement executed and delivered by both Seller and Buyer.

11. Interpretation. Both Buyer and Seller have had an opportunity for independent counsel to review and modify the Contract of Sale. The rule of construction to the effect that any ambiguities are to be strictly construed against the drafter shall not apply to any interpretation of this agreement. The captions in this Contract of Sale are inserted for convenience of reference only and in no way define, describe or limit the scope or intent of this agreement or any of the provisions of this agreement.

12. Assignment. Buyer may not assign Buyer's rights, obligations or interest in this Contract of Sale to any other person or entity without first obtaining the prior written consent of Seller, to be granted at Seller's sole discretion.

13. Notices. Any notices or communications required or permitted to be given under this Agreement, including any written notice of termination of this agreement, shall be given in writing and shall be delivered (i) in person, (ii) by certified mail, postage prepaid, return receipt requested, or (iii) by electronic mail. Such notices shall be addressed as follows:

To Seller:  
c/o Borough Manager  
PO Box 329  
Petersburg, Alaska 99833  
Email: sgiesbrecht@petersburgak.gov

To Buyer:  
c/o President  
PO Box 25500  
Juneau, Alaska 99802  
Email: tidalmgnt@tlingitandhaida.gov

Any such notice or communication shall be considered given or delivered, as the case may be, on the date of personal delivery, three (3) days after deposit in the United States mail, or in the case of email transmission, upon the date sent, provided the party has proof of such sending. Rejection or other refusal to accept or inability to deliver because of changed address of which no notice was given shall be deemed to be receipt of the notice or communication. Either party may at any time change its contact information by giving notice hereunder.

14. Severability. If any provision of this Agreement is determined by a court of competent jurisdiction to be invalid or unenforceable, the remainder of this Agreement shall nonetheless remain in full force and effect so long as the intent of the parties can be reasonably accomplished thereby.

15. Governing Law/Waiver of Jury Trial. This Agreement shall be governed by, and construed in accordance with, the laws of the State of Alaska. The parties hereby waive any and all rights to a trial by jury in any action or proceeding brought in connection with this Agreement, and consent to the jurisdiction of the courts of the State of Alaska, located in Petersburg, Alaska. Buyer hereby agrees to a limited waiver of any sovereign immunity that it may possess to permit an action to be brought against it by the Borough in the State Courts of the State of Alaska to enforce the provisions of this

Agreement, as set forth in the Resolution attached hereto as Exhibit D. This limited waiver shall survive closing of this sale, to the extent necessary to enforce the provisions of this Agreement.

16. No Joint Venture; No Third-Party Beneficiaries. This Agreement shall not be construed or interpreted to create a partnership or joint venture between the parties. The provisions of this Agreement are and will be for the benefit of Seller and Buyer only and are not for the benefit of any third party. Accordingly, no third party shall have the right to enforce any provision of this Agreement.

17. Counterparts and Electronic Mail Signatures. This Agreement may be executed and delivered in one or more counterparts. Each such counterpart shall be deemed an original instrument, but all such counterparts together shall constitute one agreement. Signatures on documents forwarded by electronic mail are intended to be the equivalent of original signatures.

IN WITNESS WHEREOF the parties have hereunto executed this Agreement.

SELLER: Petersburg Borough

BUYER: Central Council of the Tlingit & Haida  
Indian Tribes of Alaska, dba Tidal Network

\_\_\_\_\_  
By: Stephen Giesbrecht  
Its: Borough Manager  
Dated: \_\_\_\_\_

\_\_\_\_\_  
By: \_\_\_\_\_  
Its: \_\_\_\_\_  
Dated: \_\_\_\_\_

# Exhibit A

### CERTIFICATE OF OWNERSHIP

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE HAUGEN SUBDIVISION AS SHOWN ON THIS PLAT. I APPROVE THIS SURVEY AND PLAT.

XX XX XX  
1200 HAUGEN DRIVE, PETERSBURG,  
ALASKA 99833

### NOTARY'S ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

BY: \_\_\_\_\_  
(PERSON APPEARING)

NOTARY PUBLIC FOR ALASKA  
MY COMMISSION EXPIRES \_\_\_\_\_

### PLAT APPROVAL

I CERTIFY THAT THIS SUBDIVISION PLAT AS SHOWN COMPLIES WITH THE SUBDIVISION REGULATIONS OF THE CITY OF PETERSBURG. THIS SUBDIVISION PLAT IS APPROVED FOR THE RECORDING BY THE DISTRICT RECORDER IN THE PETERSBURG RECORDING DISTRICT.

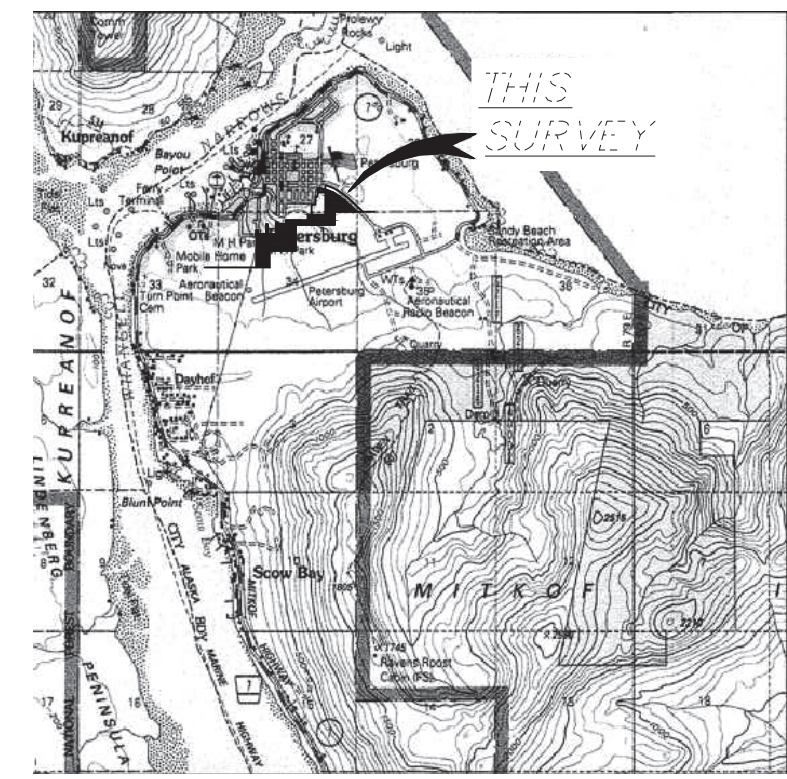
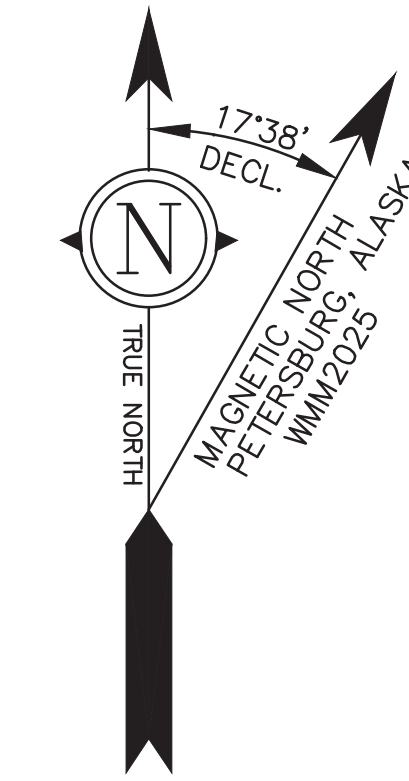
DATE \_\_\_\_\_ CHAIR, PETERSBURG PLATTING BOARD

DATE \_\_\_\_\_ ATTEST  
SECRETARY, PETERSBURG PLATTING BOARD

### TAX CERTIFICATE

I CERTIFY I AM THE FINANCE DIRECTOR OF THE CITY OF PETERSBURG. U.S. SURVEY NO.1168 IS OWNED BY THE CITY OF PETERSBURG, SO THERE ARE NO TAXES ASSESSED AGAINST THIS PARCEL.

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_



VICINITY MAP  
SOURCE: U.S.G.S. QUADRANGLE PETERSBURG (D-3), ALASKA 1986  
1" = 1 MILE

### NOTES

- THE EXISTING ORIGINAL CORNERS WERE RECOVERED AND USED TO CONTROL AND CALCULATE THE LOCATION OF THE SUBDIVISION BOUNDARIES, AS SHOWN ON THIS PLAT.
- SET 30" LONG 5/8" DIAMETER REBAR WITH 2" ALUMINUM CAP WITH PLASTIC INSERT AT LOCATIONS AS INDICATED ON THIS PLAT, STAMPED AS SHOWN IN THE TYPICAL.
- THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:5000, AND/OR CORNER POSITIONS HAVE A RELATIVE POSITION ACCURACY AT THE 95 PERCENT CONFIDENCE LEVEL OF 0.13 FEET PLUS 100 PPM.
- ALL BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARING AND DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES.
- THIS PLAT IS SUBJECT TO:
  - THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2009-16.
  - THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2024-5.
  - THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2010-1.
  - THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 69-202.
  - THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2023-5.
  - THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2016-4.

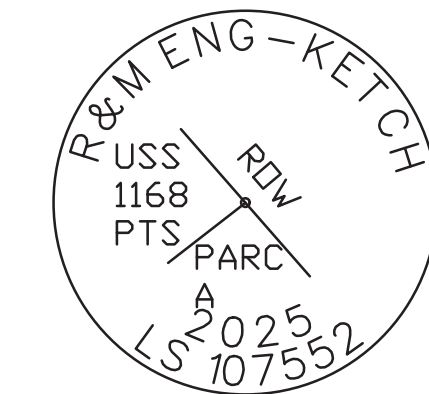
### LEGEND

	FOUND PRIMARY MONUMENT-3 1/4" DIA. ALUM. CAP ON 2 1/2" DIA. ALUM. POST WITH MAGNET UNLESS OTHERWISE NOTED
	SECONDARY MONUMENT RECOVERED
	SECONDARY MONUMENT SET THIS SURVEY
	UNSURVEYED
	SURVEYED
	OVERHEAD UTILITY LINE
	RECORD BEARING AND DISTANCE PLAT 2009-16
	UTILITY POLE

### BASIS OF BEARING

BEARINGS SHOWN ARE NAD 83 GEODETIC BEARINGS BASED ON HIGH PRECISION GLOBAL NAVIGATION SATELLITE SYSTEM TECHNOLOGY, USING TRIMBLE R10-2 RECEIVERS, DIFFERENTIALLY CORRECTED AND PROCESSED USING TRIMBLE BUSINESS CENTER SOFTWARE VERSION 2025.10. DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES.

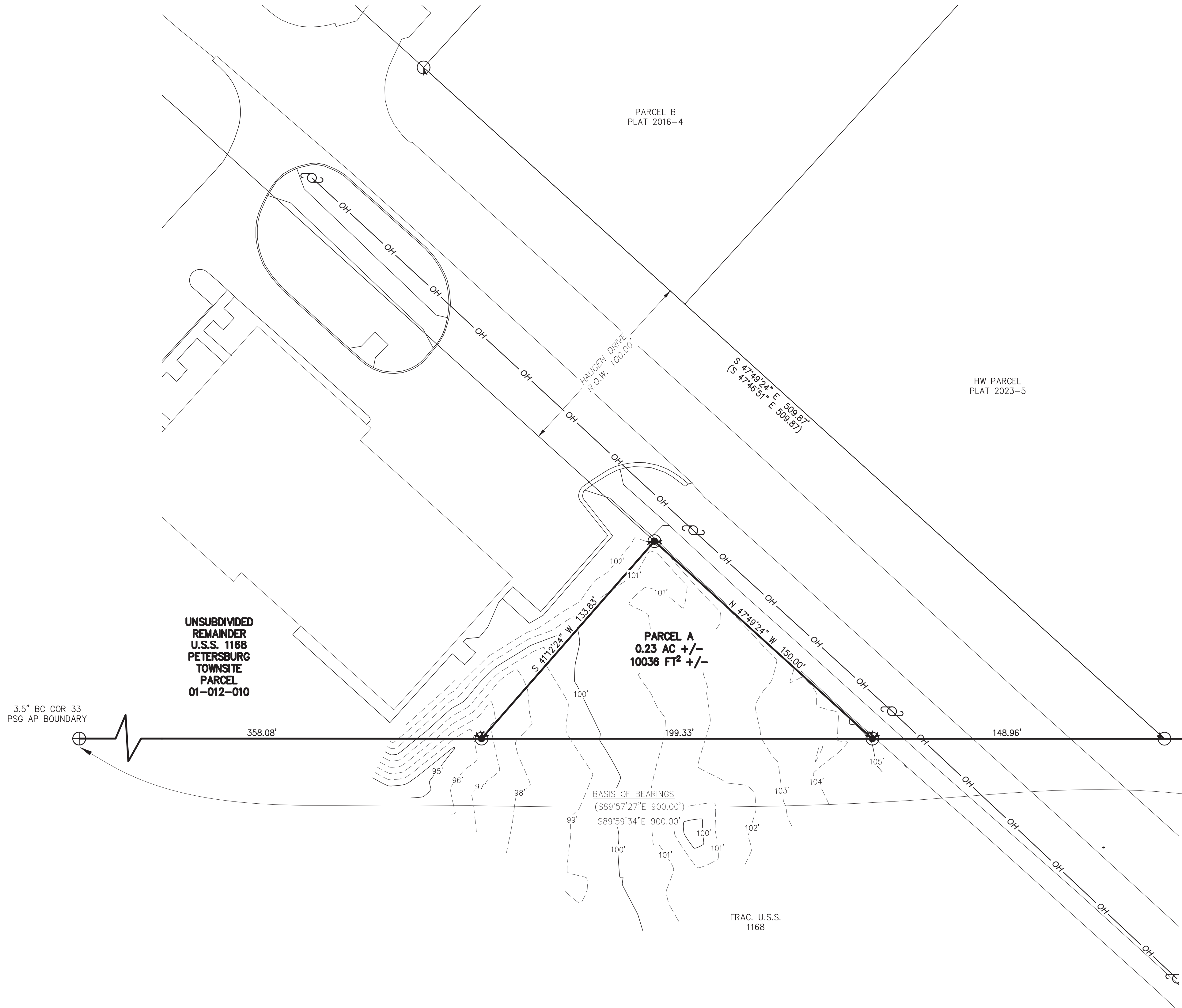
### TYPICAL SECONDARY MONUMENT SET THIS SURVEY



SET 5/8" X 30" LONG REBAR (UNLESS OTHERWISE NOTED) AND 2" ALUMINUM CAP WITH PLASTIC INSERT

### SCALE 1"=30'

THIS DRAWING MAY BE REDUCED. VERIFY SCALE BEFORE USING  
0 15 30 60 90 120 FEET  
0 3 6 9 12 15 30 36 METERS  
1 METER = 3.2808333 U.S. SURVEY FEET  
1 U.S. ACRE = 0.4047 HECTARES



UNSUBDIVIDED REMAINDER U.S.S. 1168 PETERSBURG TOWNSITE PARCEL 01-012-010

PARCEL A  
0.23 AC +/-  
10036 FT<sup>2</sup> +/-

FRAC. U.S.S. 1168

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF ALASKA, THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT.

DATE \_\_\_\_\_

CHRISTOPHER G. PIBURN, PLS # 107552



PRELIMINARY

DATE OF SURVEY: _____	R&M ENGINEERING-KETCHIKAN, INC. 7180 REVILLA ROAD, SUITE 300 KETCHIKAN, AK 99901 Phone: (907) 225-7917 CERTIFICATE OF AUTHORIZATION #: C576
BEGINNING: _____ OCTOBER 2025	
ENDING: _____ OCTOBER, 2025	

### A PLAT OF HAUGEN SUBDIVISION CREATING PARCEL A

A SUBDIVISION OF  
USS 1168 PETERSBURG TOWNSITE  
PARCEL 01-012-010  
LOCATED WITHIN  
USS 1168 PETERSBURG TOWNSITE  
CREATING PARCEL A  
CONTAINING 0.23 ACRES MORE OR LESS  
PETERSBURG RECORDING DISTRICT

DRAWN BY: EBH	CHECKED: CGP	RM PROJECT NUMBER 252759.01
DATE: NOVEMBER 2025		
SURVEYOR: EBH		
SCALE: 1"=30'		

**GENERAC**

Protector®

**RA  
Protector® Series****Protector Series  
Standby Generator  
Liquid-Cooled Diesel Engine**

1 of 13

**STANDARD FEATURES**

- Power Zone® 410 Controller, NFPA 110 System Control Capable
- Corrosion Resistant Sound Attenuated Aluminum Enclosure
- Five Year / 2,000 Hour Limited Warranty
- ±1% Digital Voltage Regulation
- <5% Total Harmonic Distortion Power Quality
- Double-Wall Fuel Tank UL 142 & ULC S601 Certified
- EPA Emissions Certified
- CA & MA Emissions Compliant
- UL 2200 Listed

**OPTIONAL FIELD-INSTALLABLE FEATURES**

Available as field-installable kits

- Push-Button Emergency Stop
- NFPA 110 System Control & Remote Annunciation
- Cold Weather Operation Heaters
- Fuel System & Venting Kits

**STANDBY POWER RATING**

Model RA01522 - 15 kW, 60 Hz Emergency Standby Power Generator  
 Model RA02022 - 20 kW, 60 Hz Emergency Standby Power Generator  
 Model RA03022 - 30 kW, 60 Hz Emergency Standby Power Generator



Generator shown without fuel tank. Fuel tank is always included with generator. Model may vary from image.

QUIET TEST™



\*Assembled in the USA using domestic and foreign parts

**FEATURES**

- **INNOVATIVE DESIGN & PROTOTYPE TESTING** are key components of GENERAC'S success in "IMPROVING POWER BY DESIGN." But it doesn't stop there. Total commitment to component testing, reliability testing, environmental testing, destruction and life testing, plus testing to applicable CSA, NEMA, EGSA, and other standards, allows you to choose GENERAC POWER SYSTEMS with the confidence these systems will provide superior performance.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at ±1%.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is the GENERAC product line includes its own transfer systems and controls for total system compatibility.

**GENERAC®**

## GENERATOR SPECIFICATIONS

### GENERATOR OUTPUT

Voltage	RA01522		RA02022		RA03022	
	Power (kW)	Current (A)	Power (kW)	Current (A)	Power (kW)	Current (A)
120/240 V 1-Phase	15	62	20	83	30	125
208/120 V 3-Phase	15	52	20	69	30	104
240/120 V 3-Phase	15	45	20	60	30	90
480/277 V 3-Phase	—	—	—	—	30	45

### ALTERNATOR SYSTEM

		RA01522	RA02022	RA03022
Circuit Breaker (CB) Size (A)	120/240 V 1-Phase	70	100	150
	208/120 V 3-Phase	60	80	125
	240/120 V 3-Phase	50	70	100
	480/277 V 3-Phase	—	—	50
Alternator Type		Synchronous		
Rotor Insulation Class		H		
Stator Insulation Class		H		
Telephone Interference Factor (TIF)		<50		
Bearings		Sealed Ball		
Coupling		Flexible Disc		
Excitation System		Direct		
Total Harmonic Distortion		<5%		

### VOLTAGE REGULATION

Type	Digital
Sensing	1-Phase
Regulation	±1%

### MOTOR STARTING CAPABILITY

skVA at 0.3 Power Factor	RA01522	RA02022	RA03022
	30% Voltage Dip (A)	30% Voltage Dip (A)	30% Voltage Dip (A)
120/240 V 1-Phase	21	32	74
208/120 V 3-Phase	27	27	52
240/120 V 3-Phase	27	27	52
480/277 V 3-Phase	—	—	70

## GENERATOR SPECIFICATIONS

### ENGINE SYSTEM

	RA01522	RA02022	RA03022
Make	Perkins		
Model	2.2 L Inline 4-Cylinder, Naturally Aspirated		2.2 L Inline 4-Cylinder, Turbocharged & Aftercooled
Compression Ratio	23.3:1		
Oil Pump Type	Gear		
Oil Filter Type	Full Flow Spin-on		
Crankcase Capacity (qt (L))	11.2 (10.6)		
Temperature Derate	3.4% per 10 °F above 77 °F (3% per 5 °C above 25 °C)		
Altitude Derate	3% per 1,000 ft above 3,000 ft (1% per 100 m above 915 m)	3% per 1,000 ft above 1,000 ft (1% per 100 m above 305 m)	3% per 1,000 ft above 3,000 ft (1% per 100 m above 915 m)
Exercise Speed (rpm)	1,500		
Operating Speed (rpm)	1,800		
Exhaust Flow at Rated Output (cfm (m <sup>3</sup> /min))	160 (4.5)	168 (4.8)	297 (8.4)

### GOVERNOR

Type	Electronic
Frequency Regulation	Isochronous

### COOLING SYSTEM

	RA01522	RA02022	RA03022
Coolant	50/50 (50% Ethylene Glycol)		
Coolant System Capacity (qt (L))	2.0 (7.6)		3.3 (12.5)
Water Pump Type	Belt Driven		
Fan Type	Belt Driven		
Fan Quantity	1		
Maximum Ambient Air Temperature (°F (°C))	122 (50)		

## GENERATOR SPECIFICATIONS

### FUEL SYSTEM

Fuel Type	ULSD (Ultra Low Sulfur Diesel)
Fuel Pump Type	Gear
Injector Type	Mechanical
Fuel Filter Type (microns)	5

### FUEL CONSUMPTION

Rated Load	RA01522		RA02022		RA03022	
	(US gph)	(L/h)	(US gph)	(L/h)	(US gph)	(L/h)
25%	0.6	2.3	0.7	2.6	1.0	3.8
50%	0.8	3.2	1.0	3.8	1.3	5.0
75%	1.1	4.1	1.4	5.2	1.9	7.2
100%	1.4	5.2	1.8	6.9	2.7	10.2

### FUEL TANKS

Double-Wall Fuel Tank	Capacity & Runtime	RA01522	RA02022	RA03022
50 US gallon	Total Capacity (US gal (L))	54 (204)	54 (204)	54 (204)
	Usable Capacity (US gal (L))	50 (189)	50 (189)	50 (189)
	Runtime @50% Load (Hours)	63	50	38
100 US gallon	Total Capacity (US gal (L))	103 (390)	103 (390)	—
	Usable Capacity (US gal (L))	100 (379)	100 (379)	—
	Runtime @50% Load (Hours)	125	100	—
130 US gallon	Total Capacity (US gal (L))	—	—	138 (522)
	Usable Capacity (US gal (L))	—	—	130 (492)
	Runtime @50% Load (Hours)	—	—	100

### ELECTRICAL SYSTEM

System Voltage (V)	12
Charge Alternator (A)	85
Battery Charger (A)	5
Recommended Battery (not included)	Flooded Lead Acid, Group 27, 600 CCA Minimum
Maximum Battery Size	Flooded Lead Acid, Group 31, 750 CCA Minimum

### ENCLOSURE

	RA01522	RA02022	RA03022
Sound Level at Exercise Speed (dB(A) @23 ft (7 m))	65	65	65
Sound Level at Operating Speed & No Load (dB(A) @23 ft (7 m))	70	70	67
Color	Bisque		

# GENERATOR SPECIFICATIONS

## POWER ZONE 410 CONTROLLER



016030

### Standard Features

- 128 x 64 Pixel Graphical Display with Heater
- Multilingual
  - English
  - French
  - Spanish
  - Portuguese
- 3-Phase Sensing Digital Voltage Regulator
- Full Range Standby Operation
- Full System Status
  - 3-Phase AC Voltage
  - 3-Phase Current
  - Power
  - Power Factor
  - Oil Pressure
  - Engine Coolant Temperature
  - Oil Temperature (check for oil temp sensor)
  - Fuel Pressure
  - Engine Speed
  - Battery Voltage
  - Output Frequency
  - Time
  - Date
  - Load On Line Power and Gen Power
  - Hourmeter
  - Service Reminders
  - Fault History (Alarm Log)
- Remote Communications
- Programmable Auto Crank
- Emergency Stop
- Not in Auto Flashing Light
- Selectable Low Speed Exercise
- NFPA 110 System Control Capable
- 5A Integrated Battery Charger

### Standard Protections

- Low Oil Pressure
- Low Coolant Level
- High/Low Coolant Temperature
- Oil Temperature
- Over/Under Speed
- Over/Under Voltage
- Over/Under Frequency
- Over/Under Current

- Overload
- Battery Voltage
- Battery Charger Current
- Phase-to-Phase and Phase-to-Neutral Short Circuits (I<sup>2</sup>T Algorithm)
- Ground Fault

### Display

- Easy Menu Structure
- Multilingual (English, Spanish, French, and Portuguese)
- On Screen Editable Parameters
- Key Function Monitoring
  - 3-Phase Voltage, Amperage, Power, Apparent Power, Reactive Power
  - Selectable Average or Line-to-Neutral Voltage Measurements
  - Frequency
  - Engine Speed
  - Engine Coolant Temperature
  - Oil Pressure
  - Battery Voltage
  - Warning and Alarm Indication
  - Diagnostics
  - Maintenance Events/Information
  - Hourmeter

### Control Panel

- AUTO/OFF/MANUAL
  - Operation Through Onboard Buttons or Optional Key Switch
  - Indication Through Display Screen and LEDs
- Audible Alarm and Silence
- Auxiliary Shutdown Rocker Switch (on controller)
- Not-in-Auto Indication

### Voltage Regulation

- Digital Control
- 3-Phase Sensing
- Variable V/F Slope Settings
- Negative Power Limit
- Loss of Sensing Protection
- Fault Protection (I<sup>2</sup>T Function)
- High Voltage Limit
- Low Voltage Limit
- Maximum Power Limit

### Governor Functionality

- Speed Control through ECM Integration

### Communications Ports

- 1 CANbus Port
- 1 USB Port (for Configuration Transfer and Firmware Upgrades)
- 1 RS-485 Modbus Master Port (for External RAP/RRP/External I/O Modules)
- 1 RS-485 Modbus Slave Port (for other uses, e.g. Building Management System)
- 2 RS-232 Communication Ports (for connectivity device or other uses)

### Codes And Standards

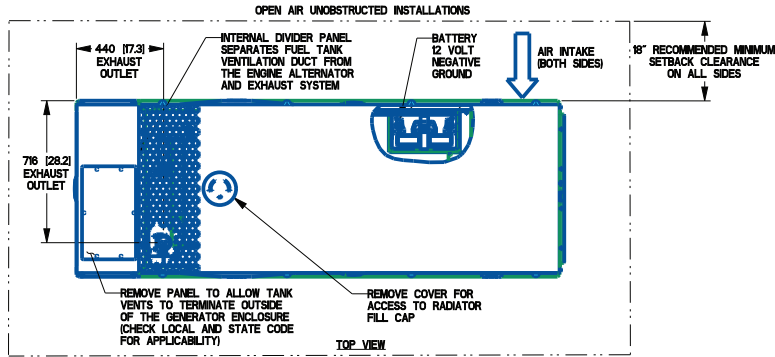
- UL 6200
- CE
- NFPA 110

## ACCESSORIES

PRODUCT	PART NUMBER	DESCRIPTION
<b>Control System Kits</b>		
90% Fuel Level Alarm	G0080180	The 90% fuel level alarm alerts the fuel fill operator when the tank reaches 90% fill level by sounding an audible alarm and triggering an LED warning light.
Enclosure Mounted Emergency Stop Kit	G0080170	Emergency Stop consists of a red push button switch; mounts to the exterior of the generator enclosure; replaces the Generator Emergency Shutdown rocker switch in the same location.
Remote Emergency Stop Kit, Surface Mount	G0099250	Emergency Stop consists of a red push button switch with a twist release; switch has an aluminum enclosure which can be mounted extending out from a surface; mounts remote from generator such as near an electrical panel.
Remote Emergency Stop Kit, Flush Mount	G0099260	Emergency Stop consists of a red push button switch with twist release; switch has an aluminum enclosure which can be mounted flush; mounts remote from generator such as near an electrical panel.
Remote Emergency Stop Kit, Break Glass	G0099270	Emergency Stop consists of a spring-loaded switch; switch is behind breakable glass in an aluminum enclosure; glass can be broken with a tethered hammer; mounts remote from generator such as near an electrical panel.
Generac Load Manager, 50 A	G0070001	50 A Load Manager helps optimize the performance of the standby generator by managing large electrical loads upon startup and shed them to aid in recovery when overloaded.
Generac Load Manager, 100 A	G0070061	100 A Load Manager helps optimize the performance of the standby generator by managing large electrical loads upon startup and shed them to aid in recovery when overloaded.
<b>Power Zone Kits</b>		
NFPA 110 Controller Kit	G0080240	Includes controller module with Key Switch, Alarm Horn, and Emergency Stop Switch that connects to Power Zone 410 controller, 10 A battery charger, and remote annunciator panel; requires a capable transfer switch to be considered for NFPA 110 system control and remote annunciation.
Remote Annunciator Panel with 8 Relays	G0098511	Remote annunciator panel with relays; mounts in the structure which is connected to backup power.
Remote Relay Panel	G0098521	Remote relay panel without LEDs or keypad; mounts in the structure which is connected to backup power.
Remote Annunciator Panel without Relays	G0098531	Remote annunciator panel without relays; mounts in the structure which is connected to backup power.
Power Zone 410 I/O Extender Kit	G0089370	Expands I/O for the Power Zone 410 controller to provide connections for additional accessories; connects to controller with a three-wire RS-485 interface.
Power Zone Gateway Kit	G0089360	Provides an Ethernet connection port for the generator for a Building Management System (BMS); NOT intended for or able to be used with Mobile Link or Fleet.
<b>Operating Environment Kits</b>		
Cold Weather Kit	G0080140	Kit includes an engine block heater and battery heater; recommended for operating environments where the temperature drops below 32 °F (0 °C); applies to RA01522, RA02022, and RA03022 models.
<b>Installation Kits</b>		
5 Gallon Spill Box Kit	G0089040	The 5 Gallon Spill Box screws into the existing fuel fill port of the base tank; it captures and contains fuel if over filling or spilling occurs during the fueling process; applies to double-wall fuel tanks only.
Spill Box Drainback Kit	G0080160	The Spill Box Drainback kit allows fuel captured in the Five Gallon Spill Box to drain directly back into the fuel tank; applies to double wall fuel tanks only.
Tank Riser Kit, RA01522 & RA02022	G0080190	Tank Risers support the fuel tank raising it above the foundation surface; may be required in some jurisdictions to help avoid potential corrosion; applies to RA01522 and RA02022 double-wall fuel tank models
Tank Riser Kit, RA03022	G0098990	Tank Risers support the fuel tank raising it above the foundation surface; may be required in some jurisdictions to help avoid potential corrosion; applies to RA03022 double-wall fuel tank models.
Fuel Fill Drop Tube, 50 US Gallon Tank, RA01522 & RA02022	G0080210	The Fuel Fill Drop Tube is used to prevent sparking due to static electricity buildup which can be caused by the fuel dropping into the tank from the fill area; using a drop tube results in submerged filling which increases the fuel delivery flow rate and reduces vapors, foam, and potential tank evaporation; applies to 50 US gallon double-wall fuel tank for RA01522 and RA02022.

**ACCESSORIES**

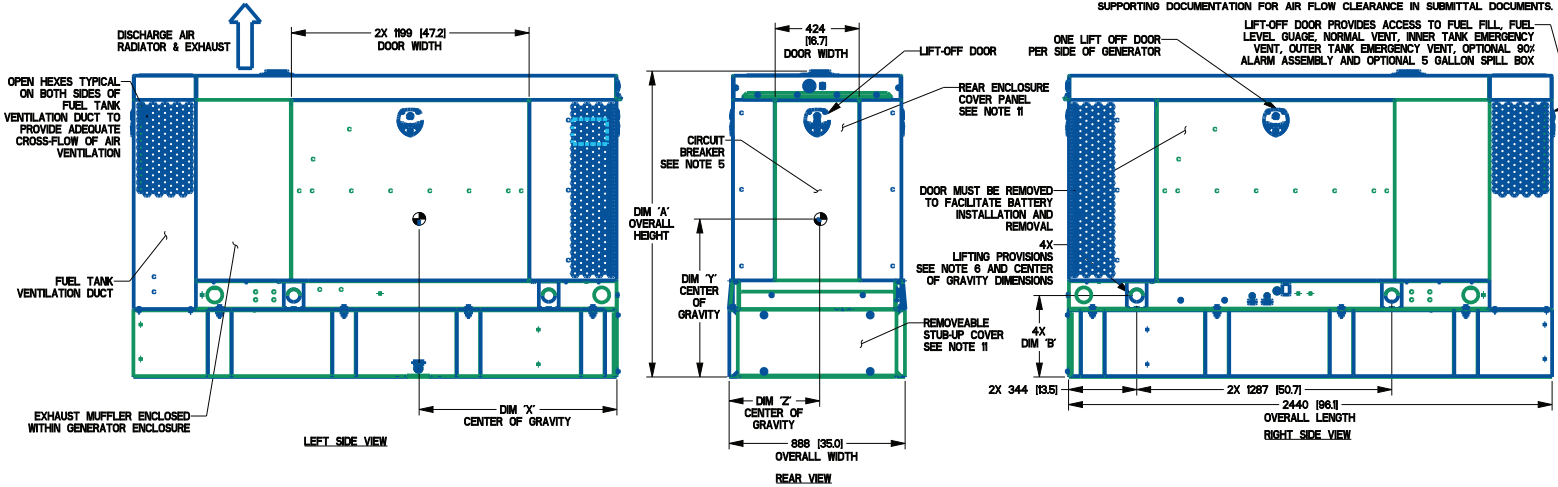
Fuel Fill Drop Tube, 100 US Gallon Tank, RA01522 & RA02022	G0080200	The Fuel Fill Drop Tube is used to prevent sparking due to static electricity buildup which can be caused by the fuel dropping into the tank from the fill area; using a drop tube results in submerged filling which increases the fuel delivery flow rate and reduces vapors, foam, and potential tank evaporation; applies to 100 US gallon for RA01522 and RA02022.
Fuel Fill Drop Tube, 50 US Gallon Tank, RA03022	G0098930	The Fuel Fill Drop Tube is used to prevent sparking due to static electricity buildup which can be caused by the fuel dropping into the tank from the fill area; using a drop tube results in submerged filling which increases the fuel delivery flow rate and reduces vapors, foam, and potential tank evaporation; applies to 50 US gallon double-wall fuel tank double-wall tank for RA03022.
Fuel Fill Drop Tube, 130 US Gallon Tank, RA03022	G0098940	The Fuel Fill Drop Tube is used to prevent sparking due to static electricity buildup which can be caused by the fuel dropping into the tank from the fill area; using a drop tube results in submerged filling which increases the fuel delivery flow rate and reduces vapors, foam, and potential tank evaporation; applies to 130 US gallon double-wall fuel tank for RA03022.
Stainless Steel Fuel Lines, RA01522 & RA02022	G0080220	Jurisdictions may require the use of stainless steel fuel lines instead of the standard hoses provided with the generator; stainless steel lines are fire resistant for additional safety; applies to RA01522 and RA02022.
Stainless Steel Fuel Lines, RA03022	G0098960	Jurisdictions may require the use of stainless steel fuel lines instead of the standard hoses provided with the generator; stainless steel lines are fire resistant for additional safety; applies to RA03022.
Vent Extension Kit, RA01522 & RA02022	G0080230	The Vent Extension kit consists of fuel tank vent pipes and supports raising the vent height above the height of the generator roof; applies to double-wall fuel tanks for RA01522 and RA02022 .
Vent Extension Kit, RA03022	G0098970	The Vent Extension kit consists of fuel tank vent pipes and supports raising the vent height above the height of the generator roof; applies to double-wall fuel tanks for RA03022 .
Lockable Fuel Cap	G0065120	The Lockable Fuel Cap provides the ability to lock the fuel system to help prevent tampering or fuel theft.
<b>Maintenance Kits</b>		
Bisque Paint Kit	G0057030	If the generator enclosure is scratched or damaged, it is important to touch-up the paint to protect from future corrosion. The paint kit includes the necessary paint to correctly maintain or touch-up a generator enclosure.
Maintenance Kit, Perkins 2.2 L Engine	G0076410	Regular maintenance kit includes oil filter, oil funnel, air filter, and fuel filter; applies to RA01522, RA02022, RA03022, and RD03022.
<b>Transfer Switch Kits</b>		
3-Phase Voltage Sensing Kit for 208/120 & 240/120 V RTS Transfer Switch	G0074110	3-phase Voltage Sensing Kit <u>required</u> for RTS Transfer Switches <u>when used with</u> the Power Zone 410 controller for 'G' 208/120 or 'J' 240/120 V 3-phase voltage; applies to 3-phase RA01522, RA02022, and RA03022 models configured for 'G' or 'J' voltage.
3-Phase Voltage Sensing Kit for 480/277 V RTS Transfer Switch	G0074120	3-phase Voltage Sensing Kit <u>required</u> for RTS Transfer Switches <u>when used with</u> the Power Zone 410 controller for 'K' 480/277 V 3-phase voltage; applies to 3-phase RA01522, RA02022, and RA03022 models configured for 'K' voltage.



SERVICE ITEM	2.2L
OIL FILL CAP	RIGHT SIDE
OIL DIP STICK	RIGHT SIDE
OIL FILTER	RIGHT SIDE
OIL DRAIN HOSE	RIGHT SIDE
RADIATOR DRAIN HOSE	RIGHT SIDE
COOLANT RECOVERY BOTTLE	RIGHT SIDE
RADIATOR FILL CAP ACCESS	ROOF
AIR CLEANER ELEMENT	RIGHT SIDE
MUFFLER	FRONT
FAN BELT	ETHER SIDE
BATTERY	RIGHT SIDE

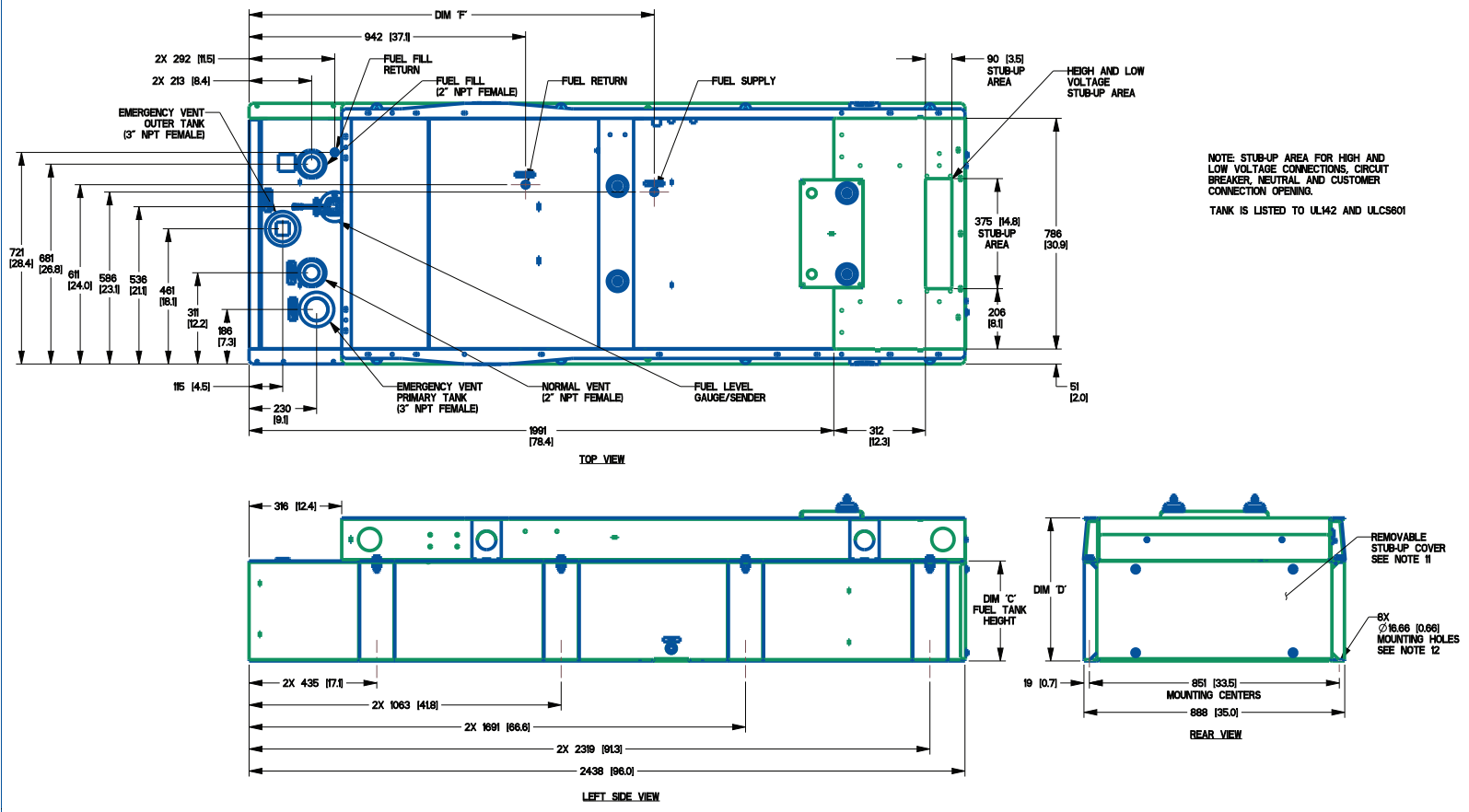
REFERENCE OWNERS MANUAL FOR PERIODIC REPLACEMENT PART LISTINGS

- NOTES:
- CONTROL PANEL, 15 AMP BATTERY CHARGER INSIDE.
  - 120V, 20A GFCI & 250V, 15A OUTLET (OPTIONAL).
  - CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN THE LOW VOLTAGE CONNECTION BOX. USE LOW VOLTAGE STUB-UP AREA.
  - BATTERY (12 VOLT NEGATIVE GROUND SYSTEM).
  - MAIN LINE CIRCUIT BREAKER (MCB), AC LOAD LEADS. MAIN LINE CIRCUIT BREAKER INFORMATION: -SEE SPECIFICATION SHEET OR OWNERS MANUAL. -ACCESSIBLE THROUGH REAR ENCLOSURE COVER PANEL. (DIMENSIONS MAY VARY DUE TO UNIT CONFIGURATION)
  - CENTER OF GRAVITY AND WEIGHT MAY CHANGE DUE TO UNIT OPTIONS. FOR WEIGHT AND CENTER OF GRAVITY DATA SEE SHEET 3.
  - ENGINE SERVICE CONNECTIONS:
    - INLET DIESEL : 1/4" NPT
    - RETURN DIESEL : 1/4" NPT
    - OIL DRAIN : 3/8" NPT
    - RADIATOR DRAIN : 1/4" NPT
  - SEE GENERATOR SIZING GUIDE FOR FUEL PIPE SIZING TO SUIT APPLICATION
  - GENERATOR SET MUST BE INSTALLED SUCH THAT FRESH COOLING AIR IS AVAILABLE AND DISCHARGE AIR FROM THE RADIATOR IS NOT RECIRCULATED.
  - BOTTOM OF GENERATOR SET MUST BE ENCLOSED TO PREVENT PEST INTRUSION AND RECIRCULATION OF DISCHARGE AIR AND/OR IMPROPER COOLING AIR FLOW.
  - EXHAUST SYSTEM MAXIMUM BACK PRESSURE : 10" H2O (ADDITIONAL)
  - REMOVE THE REAR ENCLOSURE COVER PANEL TO ACCESS THE STUB-UP AREAS AS FOLLOWS:
    - HIGH VOLTAGE CONNECTION INCLUDING AC LOAD LEAD CONDUIT CONNECTION
    - NEUTRAL CONNECTION, BATTERY CHARGER (50V AC (15 AMP MAX)) CONNECTION
    - LOW VOLTAGE CONNECTION INCLUDING TRANSFER SWITCH CONTROL WIRES.
  - BOLTS OR STUDS USED TO MOUNT UNIT TO PAD SHALL BE 5/8" - 11 GRADE 5.
  - ALLOW SUFFICIENT ROOM ON ALL SIDES OF THE GENERATOR FOR MAINTENANCE AND SERVICING. THIS UNIT MUST BE INSTALLED IN ACCORDANCE WITH CURRENT APPLICABLE NFPA 37 AND NFPA 70 STANDARDS AS WELL AS ANY OTHER FEDERAL, STATE AND LOCAL CODES.
  - FOR INSTALLATIONS WITH AIRFLOW OBSTRUCTIONS ON ANY SIDE OF THE GENERATOR SEE SUPPORTING DOCUMENTATION FOR AIR FLOW CLEARANCE IN SUBMITTAL DOCUMENTS.



DIMENSIONS ARE IN MILLIMETERS (INCHES)

D2.2L G22 Enclosed (A0004795247 2 of 3) RA03022



NOTE: STUB-UP AREA FOR HIGH AND LOW VOLTAGE CONNECTIONS, CIRCUIT BREAKER, NEUTRAL AND CUSTOMER CONNECTION OPENING.  
TANK IS LISTED TO UL142 AND ULCS601

DIMENSIONS ARE IN MILLIMETERS (INCHES)

INSTALLATION DRAWING



D2.2L G22 Enclosed (A0004795247 3 of 3) RA03022

**STD ENCLOSURE, ALUMINUM**

MODEL	FUEL TANK	UNIT WEIGHT	(SEE NOTE 6)	TANK WEIGHT	CAPACITY			DIMENSIONS					CENTER OF GRAVITY (SEE NOTE 6)		
		GENERATOR AS SHOWN	WITH WOODEN SHIPPING SKID	DRY WEIGHT	TOTAL CAPACITY	USABLE CAPACITY	DIM 'A' OVERALL HEIGHT	DIM 'B' LIFTING EYE HEIGHT	DIM 'C' FUEL TANK HEIGHT	DIM 'D' FUEL TANK & FRAME HEIGHT	DIM 'F' FUEL SUPPLY	DIM 'X'	DIM 'Y'	DIM 'Z'	
RA030	50 GAL	990 [2183]	1041 [2295]	252 [556]	204 [54]	189 [50]	1544 [60.8]	411 [16.2]	341 [13.4]	487 [19.2]	1380 [54.3]	1066 [42]	335 [13.2]	454 [17.9]	
RA030	130 GAL	1117 [2463]	1168 [2575]	379 [836]	522 [138]	492 [130]	1874 [73.8]	741 [29.2]	671 [26.4]	818 [32.2]	1517 [59.7]	1098 [43.2]	213 [8.4]	453 [17.8]	

PREPARED FOR:

# TIDAL NETWORK



SITE NAME:

## PETERSBURG ZONE 01

SITE ADDRESS (E-911 TO BE VERIFIED)

1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY  
 LATITUDE: 56° 48' 33.91" N  
 LONGITUDE: 132° 56' 34.03" W  
 PARCEL ID: XXX  
 ZONING: PUBLIC USE

**PETERSBURG POLICE DEPARTMENT:**  
 14 SOUTH NORDIC DRIVE  
 PO BOX 329  
 PETERSBURG, AK 99833  
 PHONE: (907) 772-3838  
 ATTN: NON-EMERGENCY

**PETERSBURG VOLUNTEER FIRE DEPARTMENT:**  
 1200 HAUGEN DRIVE  
 P.O. BOX 329  
 PETERSBURG, AK 99833  
 PHONE: (907) 772-3355  
 ATTN: NON-EMERGENCY

**COMMUNITY DEVELOPMENT:**  
 12 S NORDIC DRIVE  
 P.O. BOX 329  
 PETERSBURG, AK 99833  
 (907) 772-5412  
 EMAIL: LCABRERA@PETERSBURGAK.GOV  
 ATTN: LIZ CABRERA

**PERMIT INFORMATION**



VICINITY MAP

**JURISDICTION:**  
 PETERSBURG

**STATE:**  
 ALASKA

**TOWER TYPE:**  
 SELF-SUPPORT TOWER

**TOWER HEIGHT:**  
 120' (130' TO HIGHEST APPURTENANCE)

**NUMBER OF CARRIERS:**  
 0 EXISTING, 1 PROPOSED

**USE:**  
 PROPOSED TELECOMMUNICATIONS TOWER AND UNMANNED GROUND EQUIPMENT

**FLOOD INFO:**  
 SITE IS LOCATED WITHIN FEMA FLOOD MAP AREA 0200740001B DATED 06/01/1982 WITHIN FLOOD ZONE C.

**PROJECT SUMMARY**

**DEVELOPER:**  
 CENTRAL COUNCIL OF THE TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA (DBA TIDAL NETWORK)  
 PO BOX 25500  
 JUNEAU, AK 99802  
 PHONE: (907) 538-8255  
 ATTN: CHRIS CROPLEY

**POWER PROVIDER:**  
 PETERSBURG MUNICIPAL POWER & LIGHT  
 11 SOUTH NORDIC DRIVE  
 PETERSBURG, AK 99833  
 PHONE: (907) 772-5421  
 ATTN: KARL HAGERMAN

**PROJECT COORDINATOR:**  
 PIERSON WIRELESS  
 7534 F STREET  
 OMAHA, NE 68127  
 PHONE: (402) 429-7660  
 ATTN: JESSIE RICO

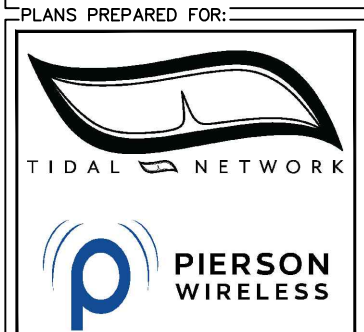
**A/E CONSULTANT:**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: (770) 464-2523  
 ATTN: CASEY ADAMSON, P.E. (AK)

**PROJECT CONTACTS**

Sheet Number	Sheet Title
G0	COVER SHEET
G1	SURVEY INFORMATION
G2	GENERAL NOTES
C0	AERIAL PLAN VIEW
C1	OVERALL SITE PLAN
C2	COMPOUND SITE PLAN
C3	EQUIPMENT PLAN
C4	SHELTER DETAILS
C5	SHELTER DETAILS
C6	FENCE, GATE AND COMPOUND DETAILS
C7	SITE SIGN DETAILS
C8	WAVEGUIDE BRIDGE DETAILS
C9	GRADING AND EROSION CONTROL PLAN
C10	GRADING AND EROSION CONTROL DETAILS
C11	ACCESS ROAD DETAILS
C12	ANTENNA AND TOWER ELEVATION DETAILS
S0	STRUCTURAL NOTES
S1	FOUNDATION PLAN
S2	FOUNDATION EQUIPMENT PLAN
S3	FOUNDATION ELEVATION
S4	FOUNDATION ELEVATION
S5	STRUCTURAL DETAILS
S6	ALT. FOUNDATION PLAN
S7	ALT. FOUNDATION EQUIPMENT PLAN
S8	ALT. FOUNDATION ELEVATION
S9	ALT. FOUNDATION ELEVATION
S10	ALT. STRUCTURAL DETAILS
E0	ELECTRICAL NOTES
E1	OVERALL UTILITY SERVICE ROUTING PLAN
E2	COMPOUND UTILITY ROUTING PLAN
E3	METER RACK DETAILS
E4	ELECTRICAL SINGLE LINE DIAGRAM
E5	PANEL SCHEDULE
E6	ELECTRICAL DETAILS
E7	GROUNDING NOTES
E8	GROUNDING PLAN
E9	GROUNDING SINGLE LINE DIAGRAM
E10	GROUNDING DETAILS
E11	GROUNDING DETAILS

**SHEET INDEX**

**PROJECT INFORMATION:**  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



**PLANS PREPARED BY:**  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

**LICENSER:**

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**KHA PROJECT NUMBER:**  
 017619024

**DRAWN BY:** RBV **CHECKED BY:** TRN

**SHEET TITLE:**  
**COVER SHEET**

**SHEET NUMBER:**  
 G0

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:15 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

FOR REFERENCE ONLY

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

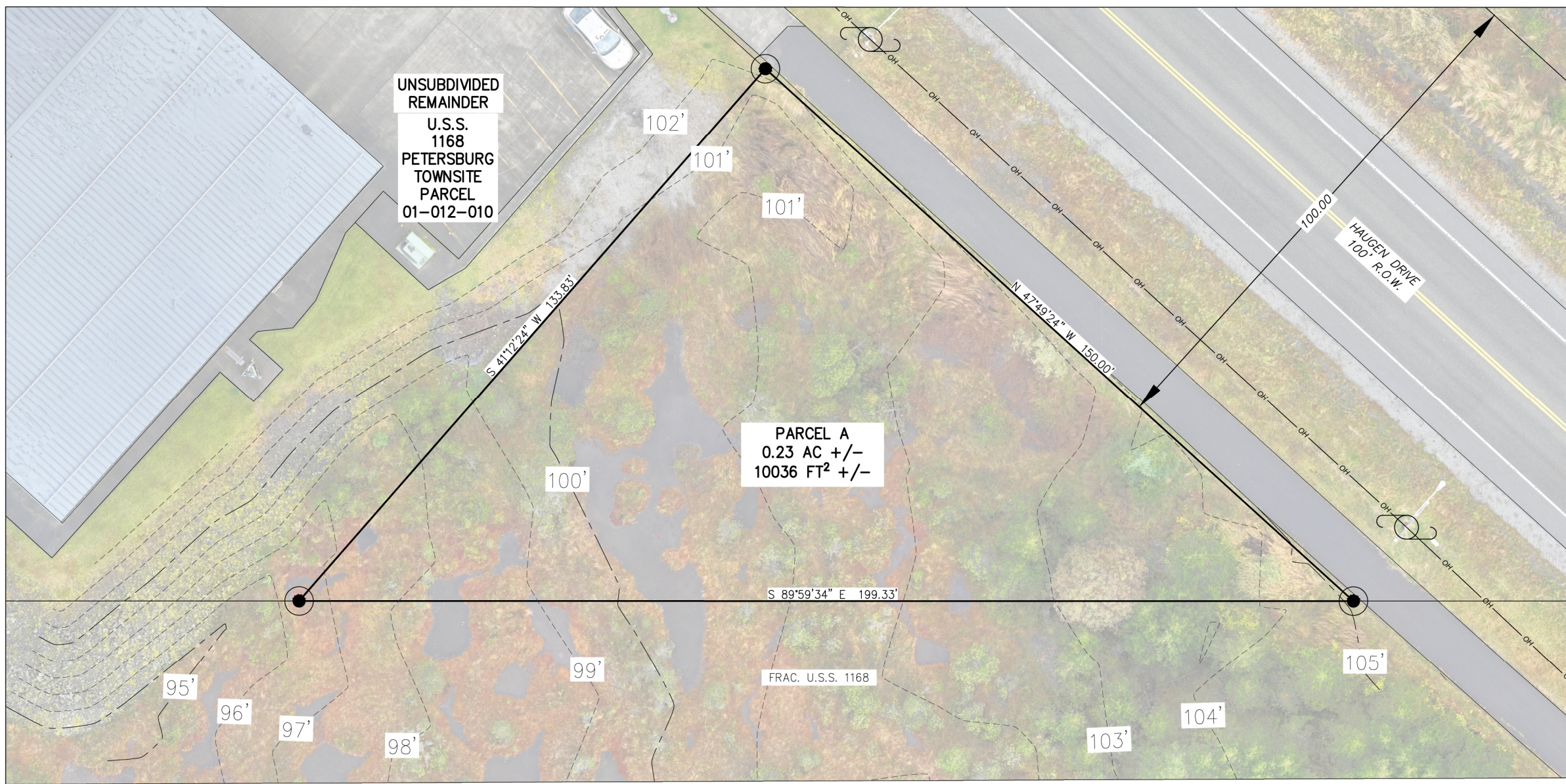
RBV TRN

SHEET TITLE:

SURVEY INFORMATION

SHEET NUMBER:

G1



REVISIONS:

DATE	

EXISTING CONDITIONS TOPOGRAPHIC SURVEY  
PETERSBURG 1200 HAUGEN DRIVE TIDAL NETWORK TOWER  
PARCEL A  
LOCATED WITHIN  
USS 1168 PETERSBURG TOWNSITE

DRAWN BY: EBH  
CHECKED BY: CGP  
DATE: 11/19/25  
R&M # 252759.02  
CADD FILE:

**PRSM**  
R&M ENGINEERING-KETCHIKAN, INC.  
7180 REVILLA ROAD, SUITE 300  
KETCHIKAN, ALASKA 99901



SHEET DESCRIPTION  
SHEET  
1

LEGEND

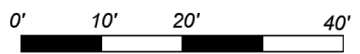
- UNSURVEYED
- SURVEYED
- OH — OVERHEAD UTILITY LINE
- UTILITY POLE
- SECONDARY MONUMENT SET  
ALUMINUM CAP ON 5/8 REBAR

PLAT NOTES

1. THIS PLAT DOES NOT MEET MINIMUM STANDARDS FOR BOUNDARY SURVEYS, AS SET FORTH BY THE ALASKA SOCIETY OF PROFESSIONAL LAND SURVEYORS. (A.S.P.L.S.)
2. THIS PLAT IS NOT TO BE SCALED FROM, USE GIVEN DIMENSIONS ONLY.
3. THIS COMPANY WAS NOT PROVIDED A TITLE REPORT FOR THIS SURVEY. RECORD INFORMATION SHOWN WAS DERIVED FROM READILY AVAILABLE RECORD INFORMATION ON THE ALASKA D.N.R. WEBSITE.
4. REFERENCE THE FOLLOWING WITHIN THE PETERSBURG RECORDING DISTRICT
  - 4.1. THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2009-16.
  - 4.2. THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2024-5.
  - 4.3. THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2010-1.
  - 4.4. THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 69-202.
  - 4.5. THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2023-5.
  - 4.6. THIS PLAT IS SUBJECT TO THE NOTES AND EASEMENTS SHOWN ON PLAT 2016-4.

SCALE 1"=10'

THIS DRAWING MAY BE REDUCED,  
VERIFY SCALE BEFORE USING



k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:15 AM by: John.Little

PROJECT INFORMATION:

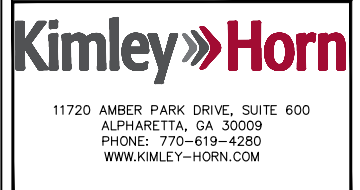
SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

SHEET TITLE:

**GENERAL NOTES**

SHEET NUMBER:

G2



**1.00 GENERAL NOTES**

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND TIDAL WIRELESS SPECIFICATIONS, THE TIDAL WIRELESS PROJECT MANAGER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM TIDAL WIRELESS PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "ALASKA 811" 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER 1-800-478-3121 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY TIDAL WIRELESS PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER TIDAL WIRELESS PROJECT MANAGER'S INSTRUCTIONS.

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:15 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

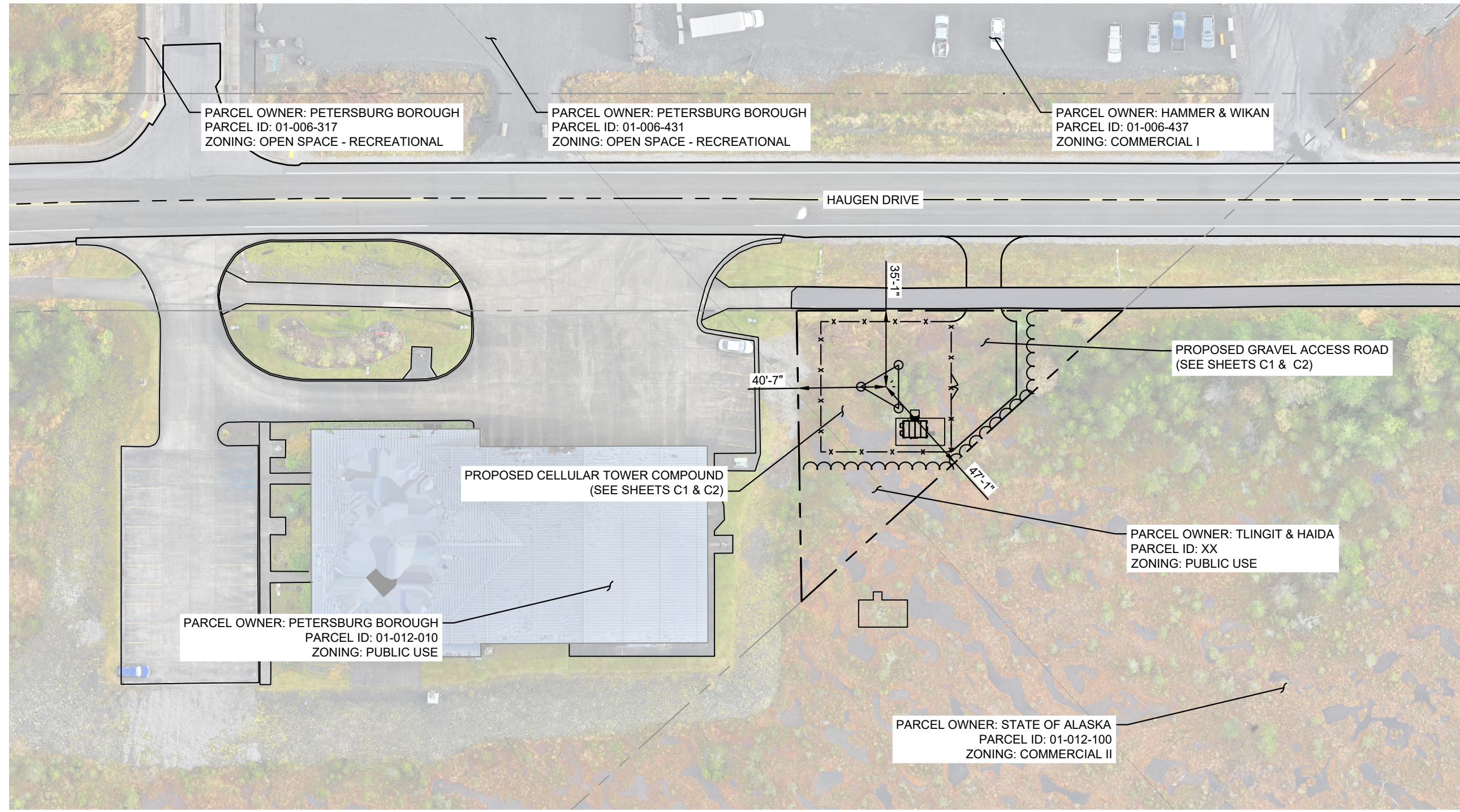
**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024

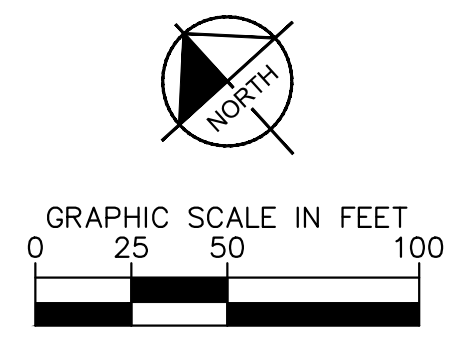
DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**AERIAL PLAN VIEW**

SHEET NUMBER:  
**C0**



**1** AERIAL PLAN VIEW  
**C0**





SURVEY NOTE:  
 1. PROPOSED COMPOUND LAYOUT IS BASED ON SURVEY PROVIDED BY R&M ENGINEERING-KETCHIKAN, INC. DATED 11/2025 AND SITE VISIT ON XX/XX/XXXX (REFER TO SHEET G1).

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\C0\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:15 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

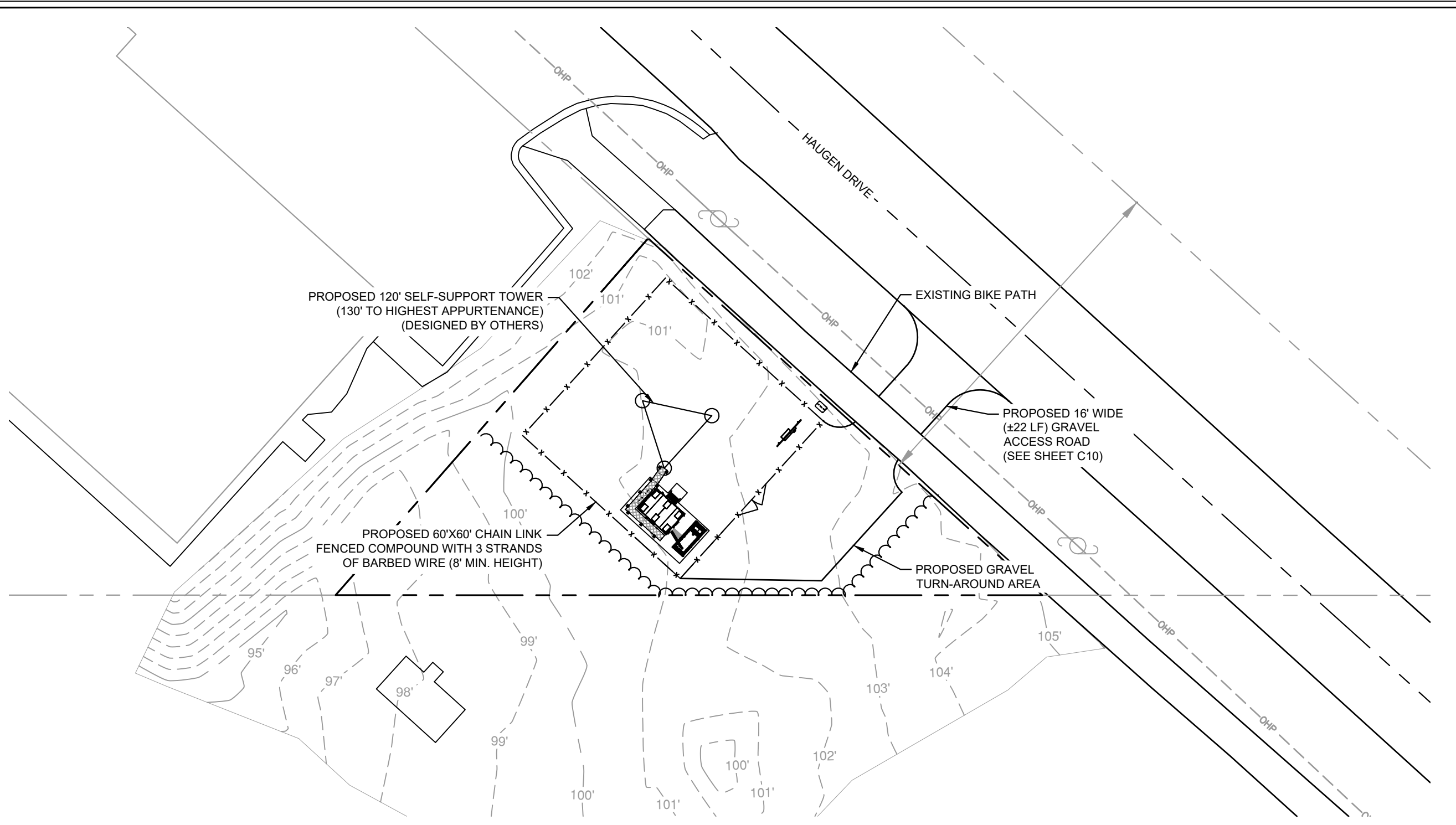
LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

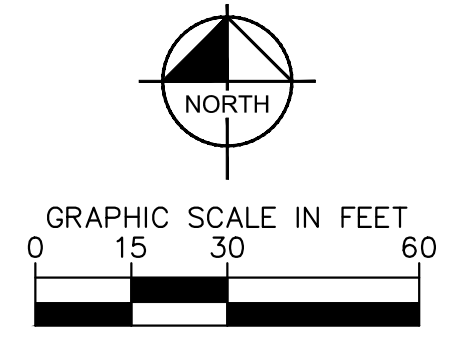
KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**C1**



**1** OVERALL SITE PLAN  
**C1**



SURVEY NOTE:  
 1. PROPOSED COMPOUND LAYOUT IS BASED ON SURVEY PROVIDED BY R&M  
 ENGINEERING-KETCHIKAN, INC. DATED 11/2025 AND SITE VISIT ON XX/XX/XXXX  
 (REFER TO SHEET G1).

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:

**Kimley»Horn**

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

SHEET TITLE:

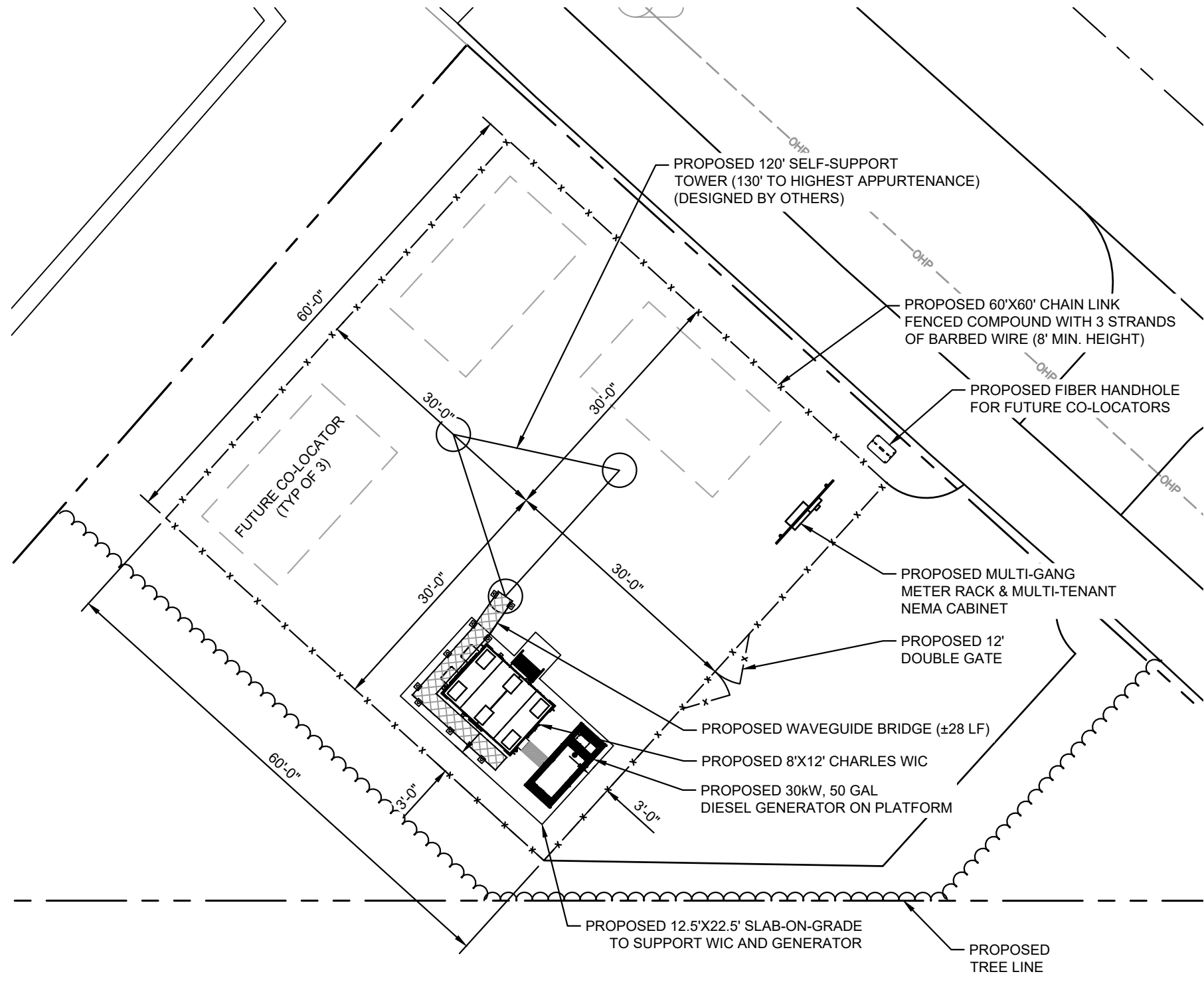
**COMPOUND SITE PLAN**

SHEET NUMBER:

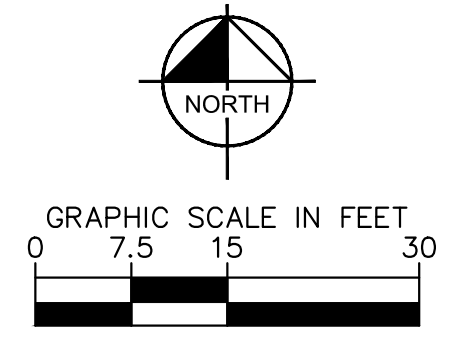
C2

SITE NOTES:

1. PROPOSED COMPOUND LAYOUT IS BASED ON SURVEY PROVIDED BY R&M ENGINEERING-KETCHIKAN, INC. DATED 11/2025 AND SITE VISIT ON XX/XX/XXXX (REFER TO SHEET G1).
2. CONTRACTOR TO CONFIRM WITH TIDAL WIRELESS CONSTRUCTION MANAGER THAT THE EQUIPMENT SHOWN HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
3. THE BASIS OF EQUIPMENT DESIGN INCLUDES ONE (1) RF CABINET.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MODIFYING SCOPE OF WORK TO ACCOMMODATE ANY CHANGES IN THE EXACT EQUIPMENT PROCURED BY TIDAL WIRELESS. COORDINATE ANY CHANGES WITH TIDAL WIRELESS CONSTRUCTION MANAGER.
5. ROUTE COAX/FIBER UP TOWER PER STRUCTURAL ANALYSIS BY TOWER OWNER.
6. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN A COPY OF TOWER ERECTION DRAWINGS FROM TIDAL WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION. CAISSONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWINGS BY OTHERS. DO NOT SCALE.

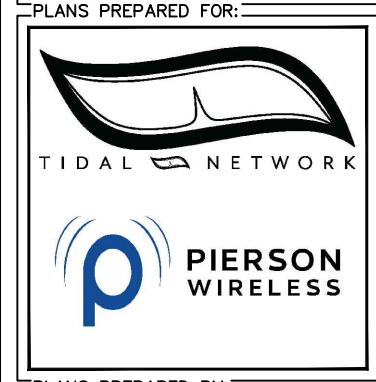


1  
C2 COMPOUND SITE PLAN



k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

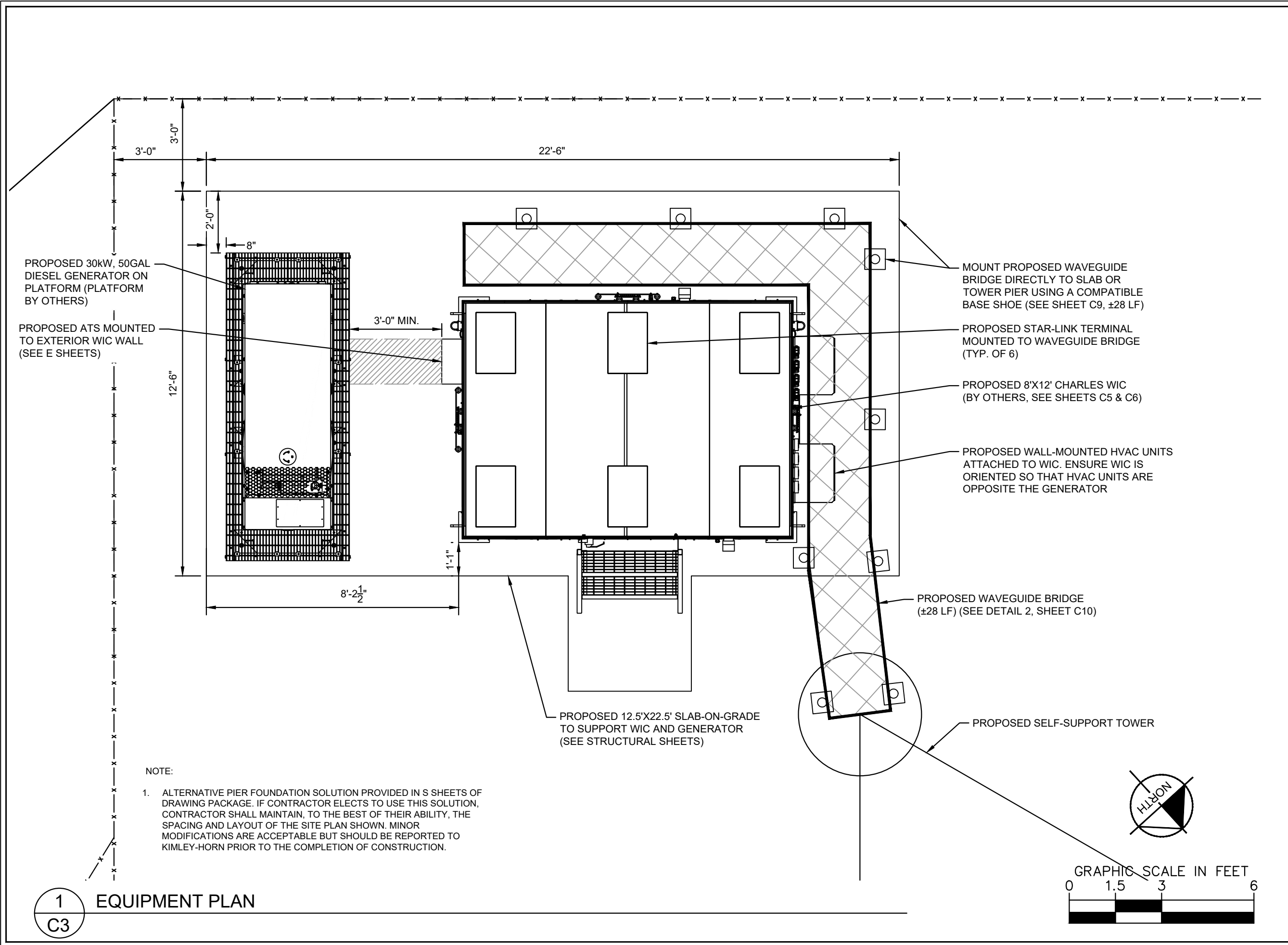
LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

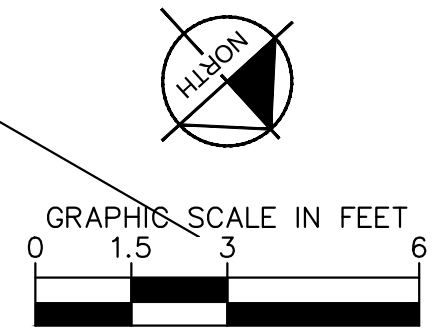
KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**EQUIPMENT PLAN**

SHEET NUMBER:  
 C3



NOTE:  
 1. ALTERNATIVE PIER FOUNDATION SOLUTION PROVIDED IN S SHEETS OF DRAWING PACKAGE. IF CONTRACTOR ELECTS TO USE THIS SOLUTION, CONTRACTOR SHALL MAINTAIN, TO THE BEST OF THEIR ABILITY, THE SPACING AND LAYOUT OF THE SITE PLAN SHOWN. MINOR MODIFICATIONS ARE ACCEPTABLE BUT SHOULD BE REPORTED TO KIMLEY-HORN PRIOR TO THE COMPLETION OF CONSTRUCTION.



1  
 C3 EQUIPMENT PLAN

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

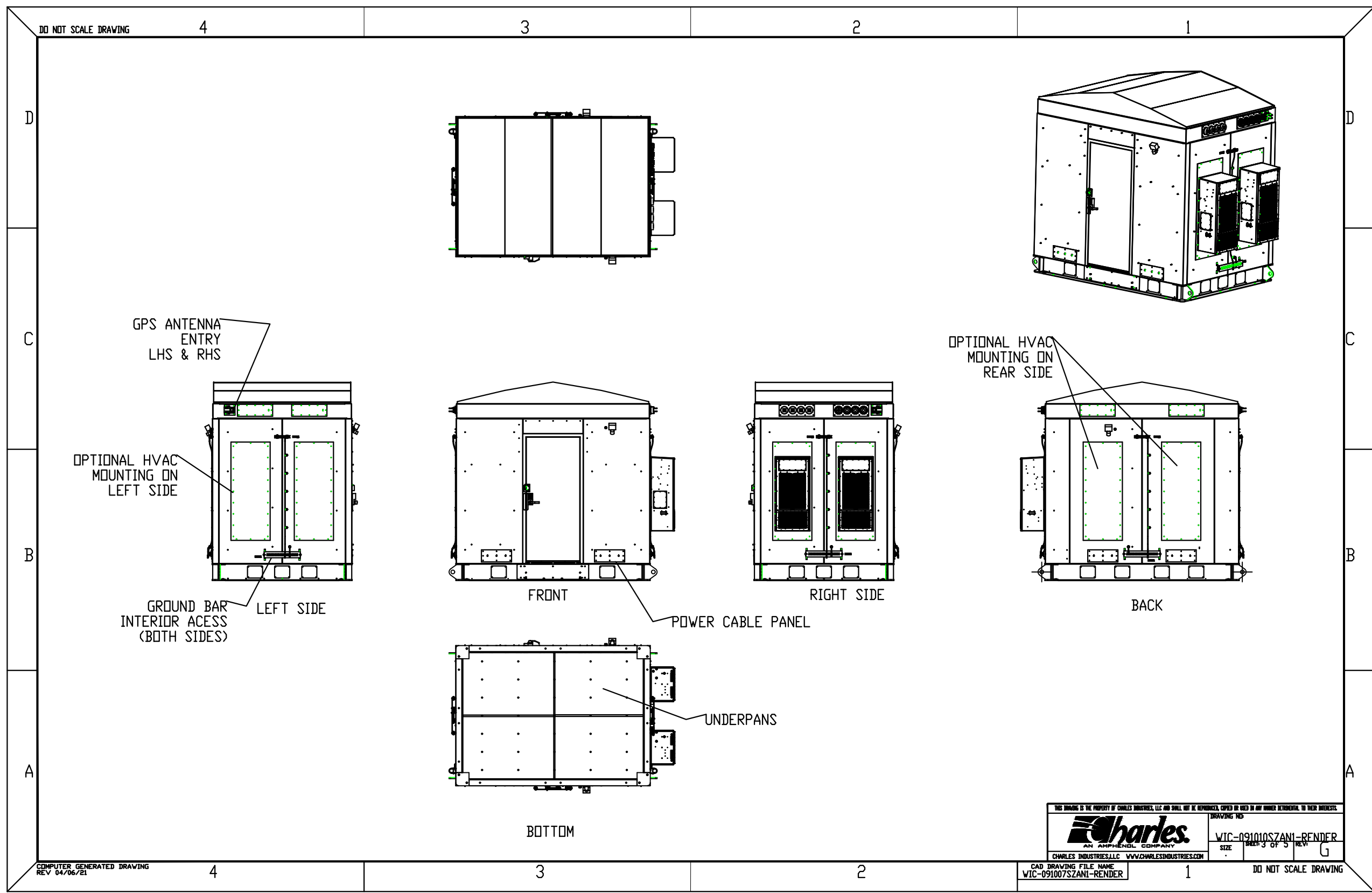
RBV TRN

SHEET TITLE:

**SHELTER DETAILS**

SHEET NUMBER:

**C4**





**1** SHELTER DETAILS  
**C4** NOT TO SCALE

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

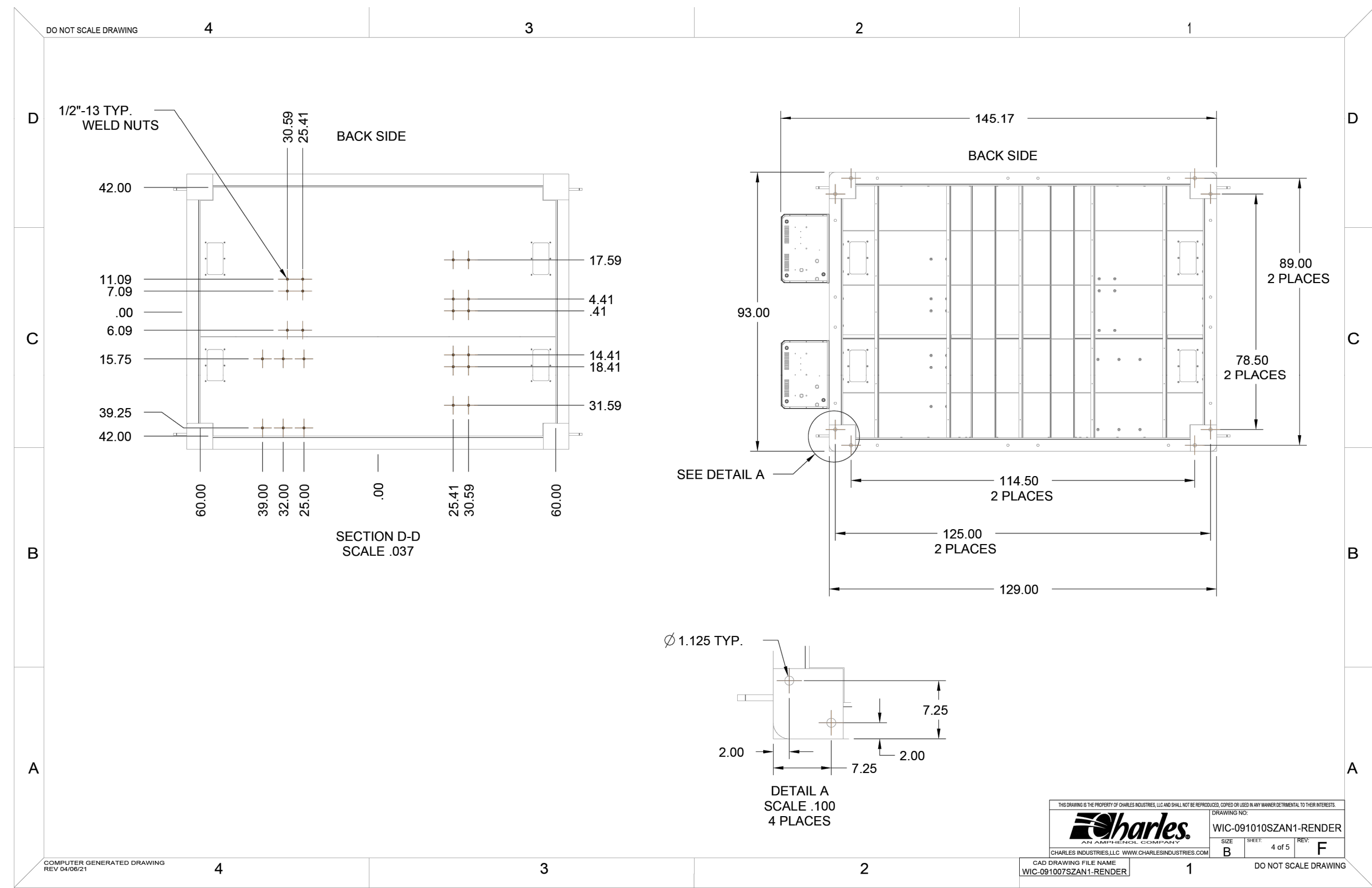
9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

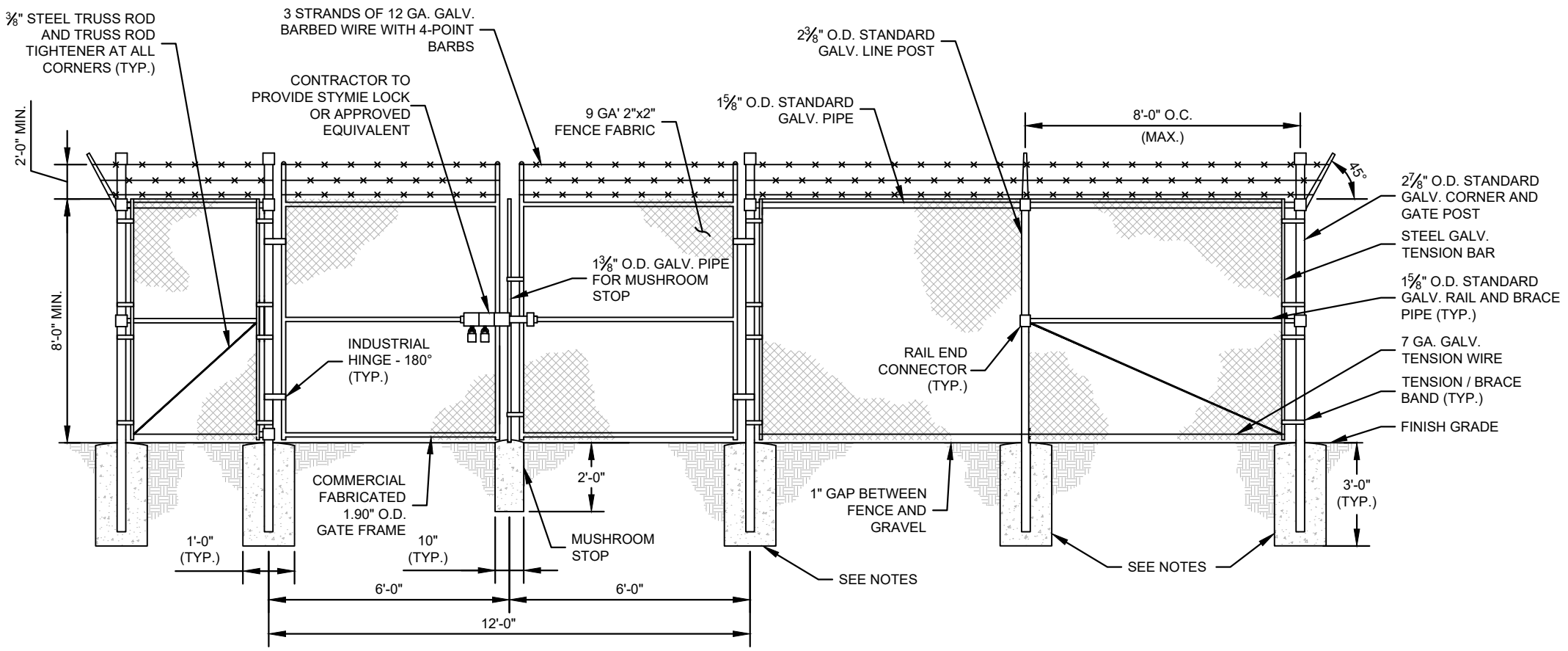
SHEET TITLE:  
**SHELTER DETAILS**  
 SHEET NUMBER:  
 C5



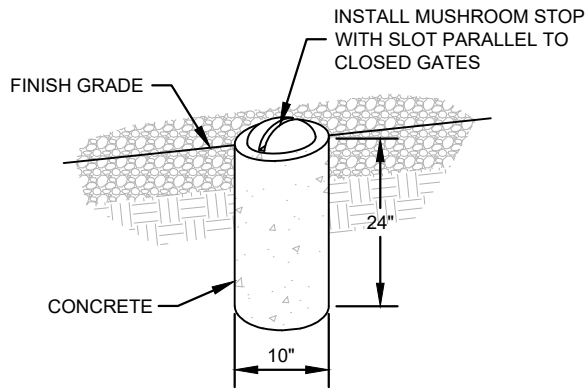
**1** SHELTER DETAILS  
**C5** NOT TO SCALE

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

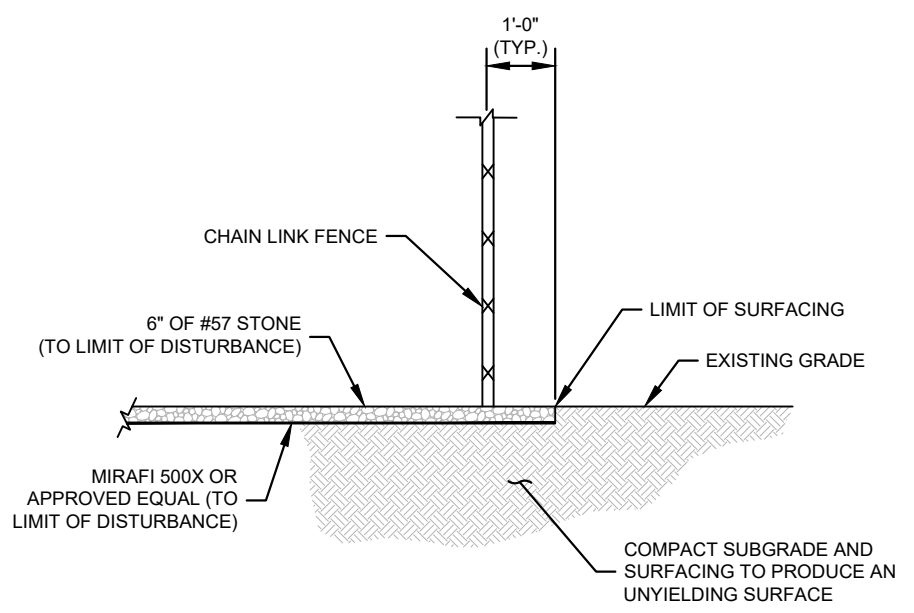
- FENCE NOTES:**
- USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
  - WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
  - ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
  - CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
  - PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
  - THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
  - CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
  - CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



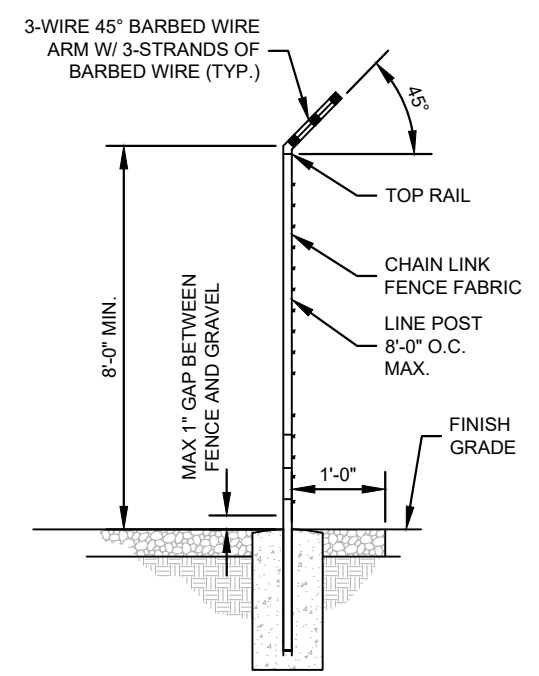
**1 CHAIN LINK FENCE AND GATE ELEVATION**  
C6 NOT TO SCALE



**2 MUSHROOM STOP**  
C6 NOT TO SCALE



**3 SITE COMPOUND SURFACE DETAIL**  
C6 NOT TO SCALE



**4 SECTION AT FENCE**  
C6 NOT TO SCALE

PROJECT INFORMATION:  
SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01  
1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

**Kimley»Horn**  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:  
**PRELIMINARY**  
NOT FOR CONSTRUCTION

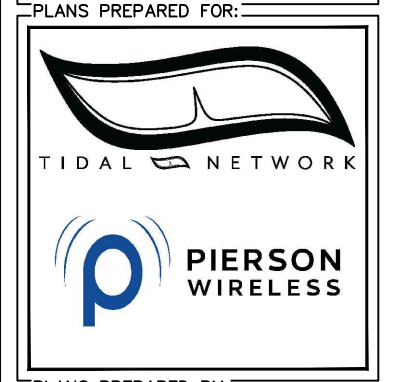
KHA PROJECT NUMBER:  
017619024  
DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
RBV TRN

SHEET TITLE:  
**FENCE, GATE AND COMPOUND DETAILS**

SHEET NUMBER:  
C6

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:

**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

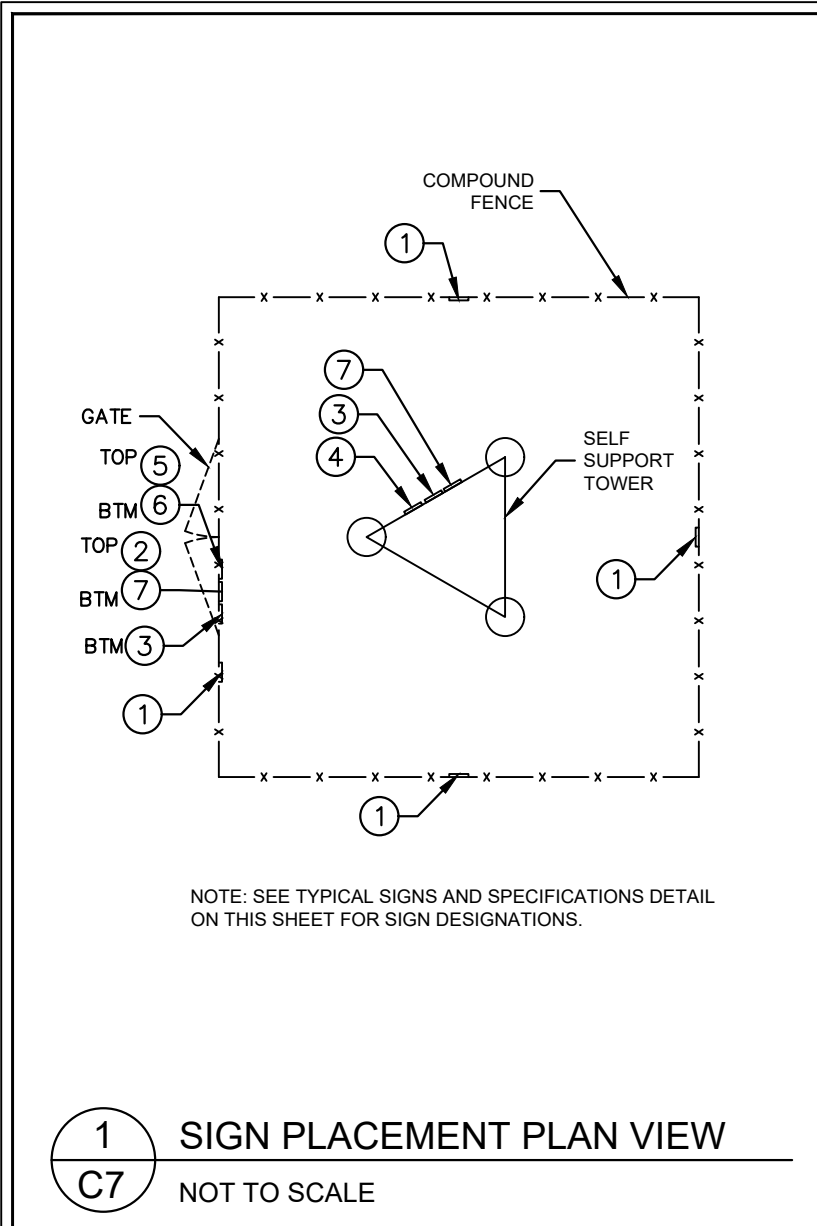
**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 RBV TRN

SHEET TITLE:  
**SITE SIGN DETAILS**

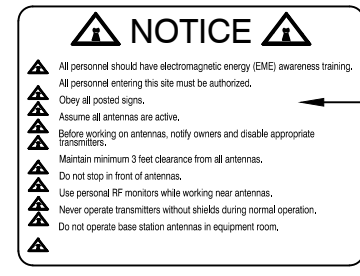
SHEET NUMBER:  
**C7**



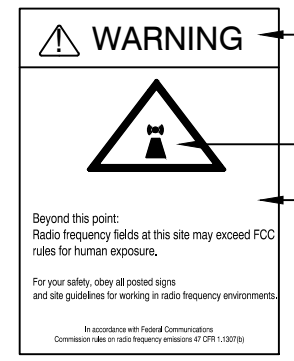
**1 NO-TRESPASSING SIGN**  
 18" HIGH X 24" WIDE  
 (OPERATIONS PROVIDED)

SIGN DETAIL PENDING AND TO BE PROVIDED BY TIDAL NETWORK AT A LATER DATE

**2 TIDAL NETWORK - SITE ID SIGN**



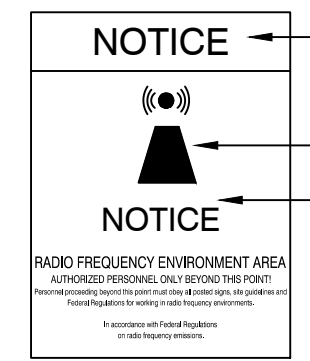
**3 NOTICE-RFE SIGN**  
 12" WIDE X 18" HIGH  
 (OPERATIONS PROVIDED)



**4 WARNING-RF SIGN (RED)**  
 12" WIDE X 18" HIGH



**5 CAUTION-RF SIGN (YELLOW)**  
 12" WIDE X 18" HIGH

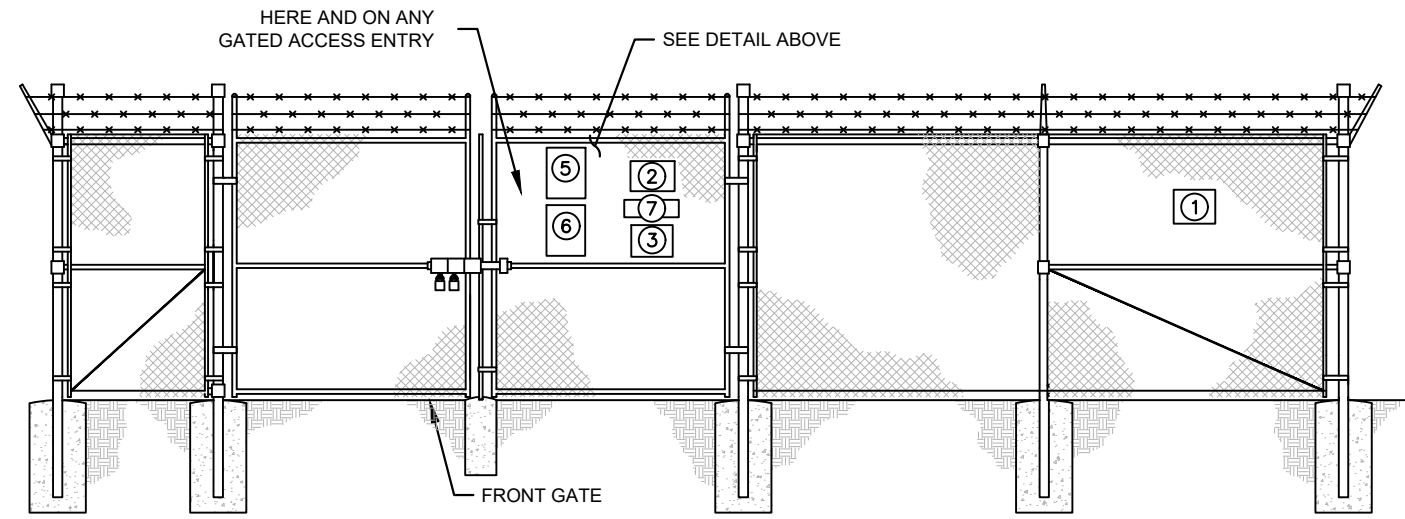


**6 NOTICE-RF SIGN (BLUE)**  
 12" WIDE X 18" HIGH



**7 FCC REGISTRATION SIGN**  
 20 WIDE X 4" HIGH

**2 TYPICAL SIGNS AND SPECIFICATIONS**  
 C7 NOT TO SCALE



**3 SIGN PLACEMENT FRONT GATE VIEW**  
 C7 NOT TO SCALE



**SIGNAGE NOTES:**

- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
- SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**WAVEGUIDE BRIDGE DETAILS**

SHEET NUMBER:  
 C8

## WB-BS



Base Shoe for 3-1/2 in OD pipe, hardware included

### Product Classification

**Product Type** Shoe

### General Specifications

**Application** Base shoe

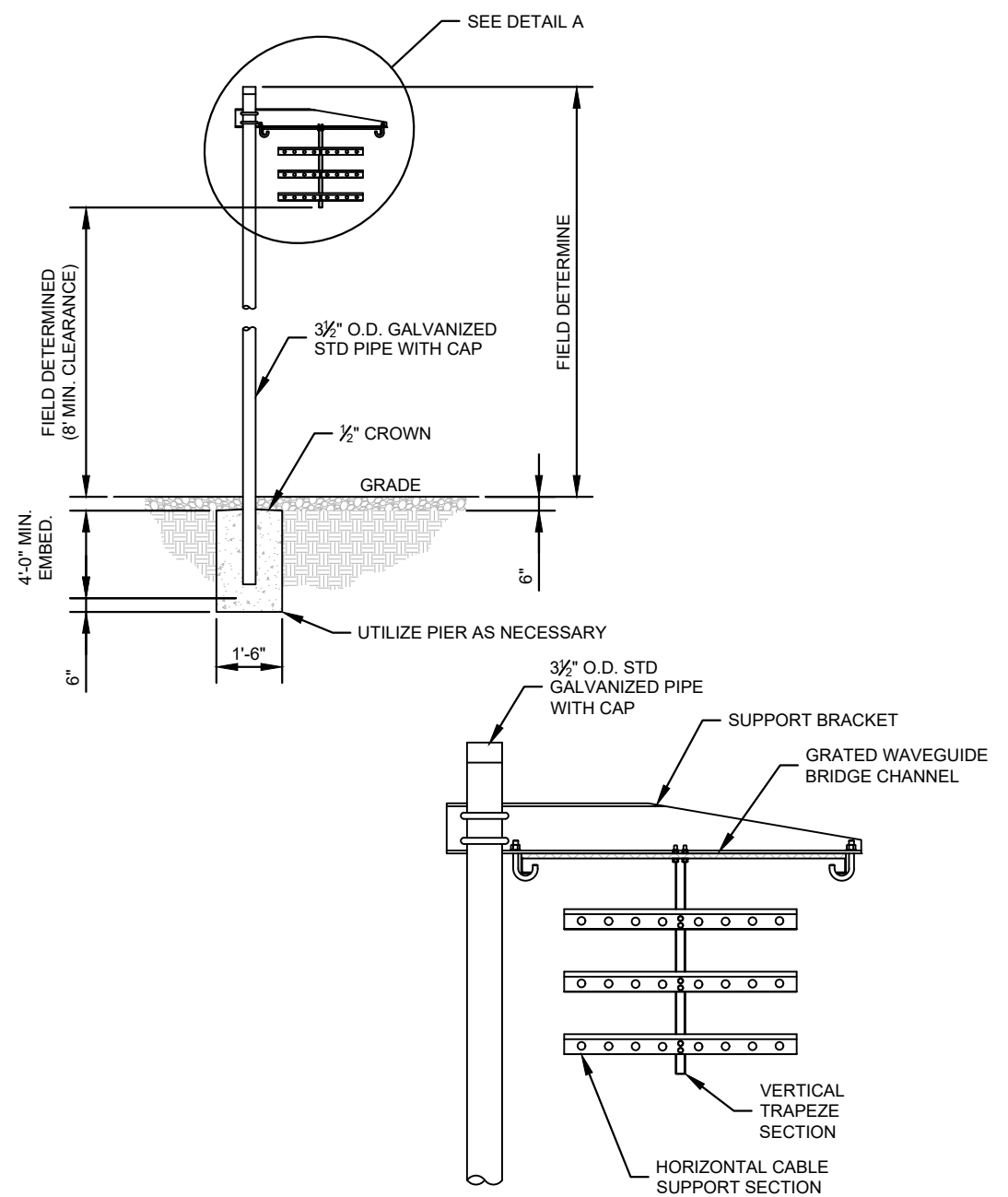
**Mounting** Pipe, 88.9 mm (3-1/2 in) OD

### Dimensions

**Height** 152.4 mm | 6 in

**Width** 203.2 mm | 8 in

**Length** 203.2 mm | 8 in



### DETAIL A


COMMSCOPE 1 POST WAVEGUIDE BRIDGE KIT WITH BASE SHOE (PART #s: WB-K210-B15 & WB-BS, OR APPROVED EQUIVALENTS)

- NOTE:
- ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

**2** WAVEGUIDE BRIDGE DETAIL WITH ALT DESIGN  
**C8** NOT TO SCALE

Page 1 of 3

©2025 ANDREW, an Amphenol company. All rights reserved. Amphenol and ANDREW are registered trademarks of Amphenol and/or its affiliates in the U.S. and other countries. All product names, trademarks and registered trademarks are property of their respective owners. Revised: March 12, 2025



k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:16 AM by: John.Little

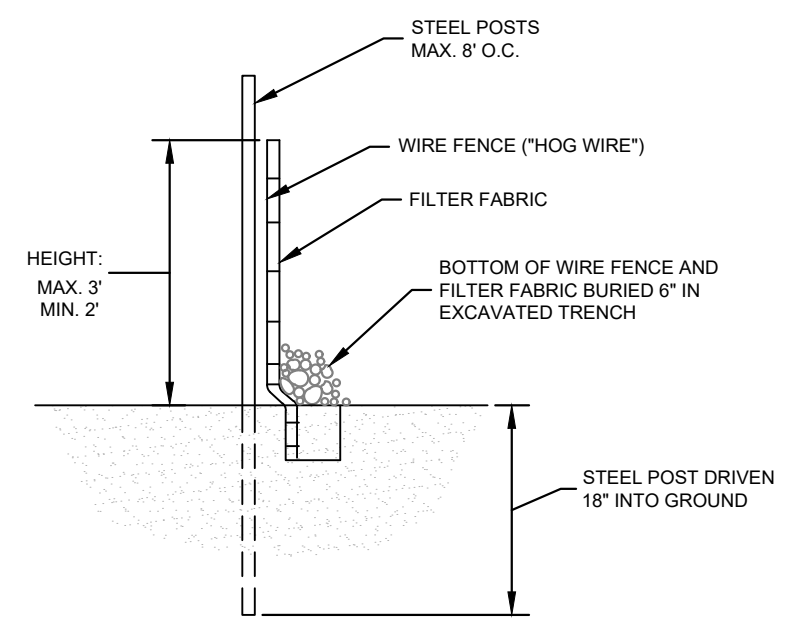


**EROSION CONTROL NOTES:**

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
2. ALL EXCAVATED SOILS NOT NEEDED ON SITE FOR BACKFILL OPERATIONS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AROUND THE ENTIRE CIRCUMFERENCE OF THE PILE.
4. PROVIDE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.

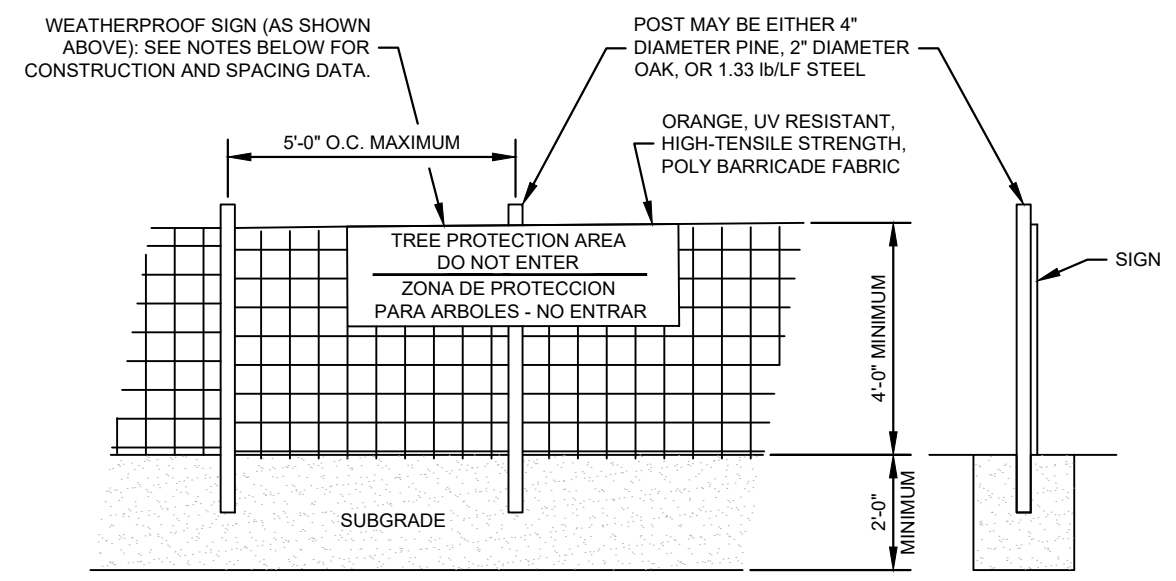
SEEDING SCHEDULE			
SOIL MOISTURE	SOIL GROUP	SPECIES/CULTIVAR SELECTIONS	SEEDING RATE LB./AC.
ALL	ALL	1 NORCOAST BERING HAIRGRASS 1 BOREAL RED FESCUE 2 ARCTARED RED FESCUE 2 NORTRAN TUFTED HAIRGRASS 2 CAIGGLUK TILSY SAGEBRUSH 3 SOURDOUGH BLUEJOINT GRASS 3 PENNLAWN RED FESCUE	40
<p>NOTES</p> <p>1. PT SOILS ARE NOT HIGHLY ERODIBLE. RECOMMEND NO SEEDING, ONLY FERTILIZER APPLICATION. IF SEEDING IS RECOMMEND, USE STANDARD SOUTHWEST SCHEDULE.</p> <p>2. GW AND GP SOILS ARE NOT HIGHLY ERODIBLE. RECOMMEND FERTILIZER AND SCARFICATION ONLY. IF SEEDING IS RECOMMENDED, USE SOUTHWEST SCHEDULE.</p> <p>3. IF THE AREA TO BE REVEGETATED IS ADJACENT TO A COASTLINE, CONSIDER USING BEACH WILDRYE TRANSPLANTS.</p>			

**1 SEEDING SCHEDULES**  
C10



SECTION

**2 SILT FENCE DETAIL**  
C10 NOT TO SCALE



NOTES  
INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR SITE INSPECTION. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

**3 TREE PROTECTION FENCE DETAIL**  
C10 NOT TO SCALE

PROJECT INFORMATION:  
SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01  
1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
017619024  
DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**GRADING AND EROSION CONTROL DETAILS**

SHEET NUMBER:  
C10

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV

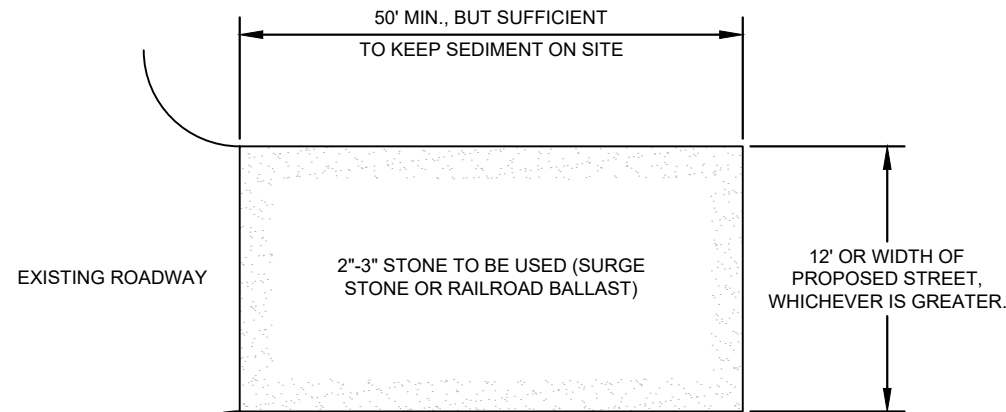
TRN

SHEET TITLE:

**ACCESS ROAD  
DETAILS**

SHEET NUMBER:

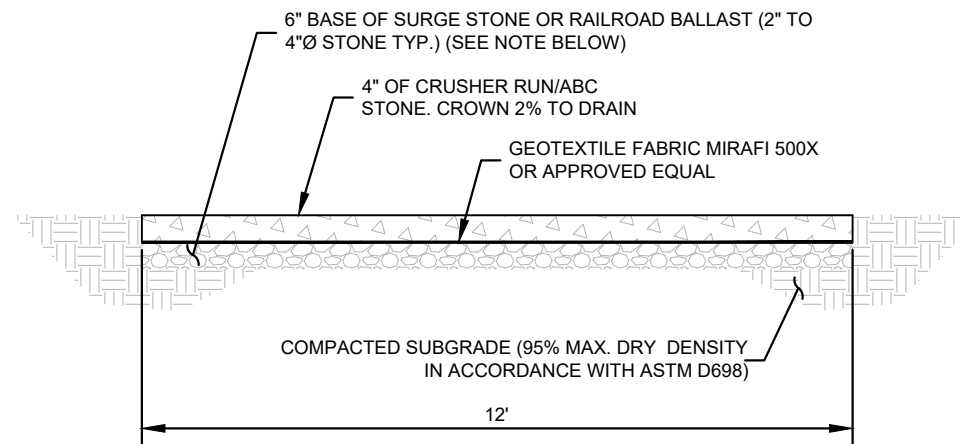
C11



**PLAN**

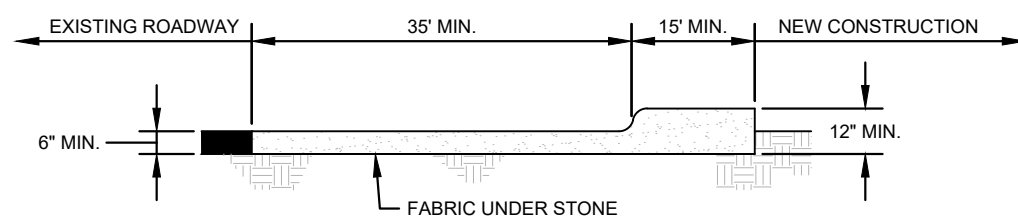
NOTES:

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



**NOTE:**

IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE TIDAL NETWORK PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4"Ø STONE TYP.)





**CROSS SECTION**

**1**  
**C11** CONSTRUCTION ENTRANCE  
NOT TO SCALE

**1**  
**C11** STANDARD ACCESS ROAD AND TURN-AROUND DETAIL  
NOT TO SCALE

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

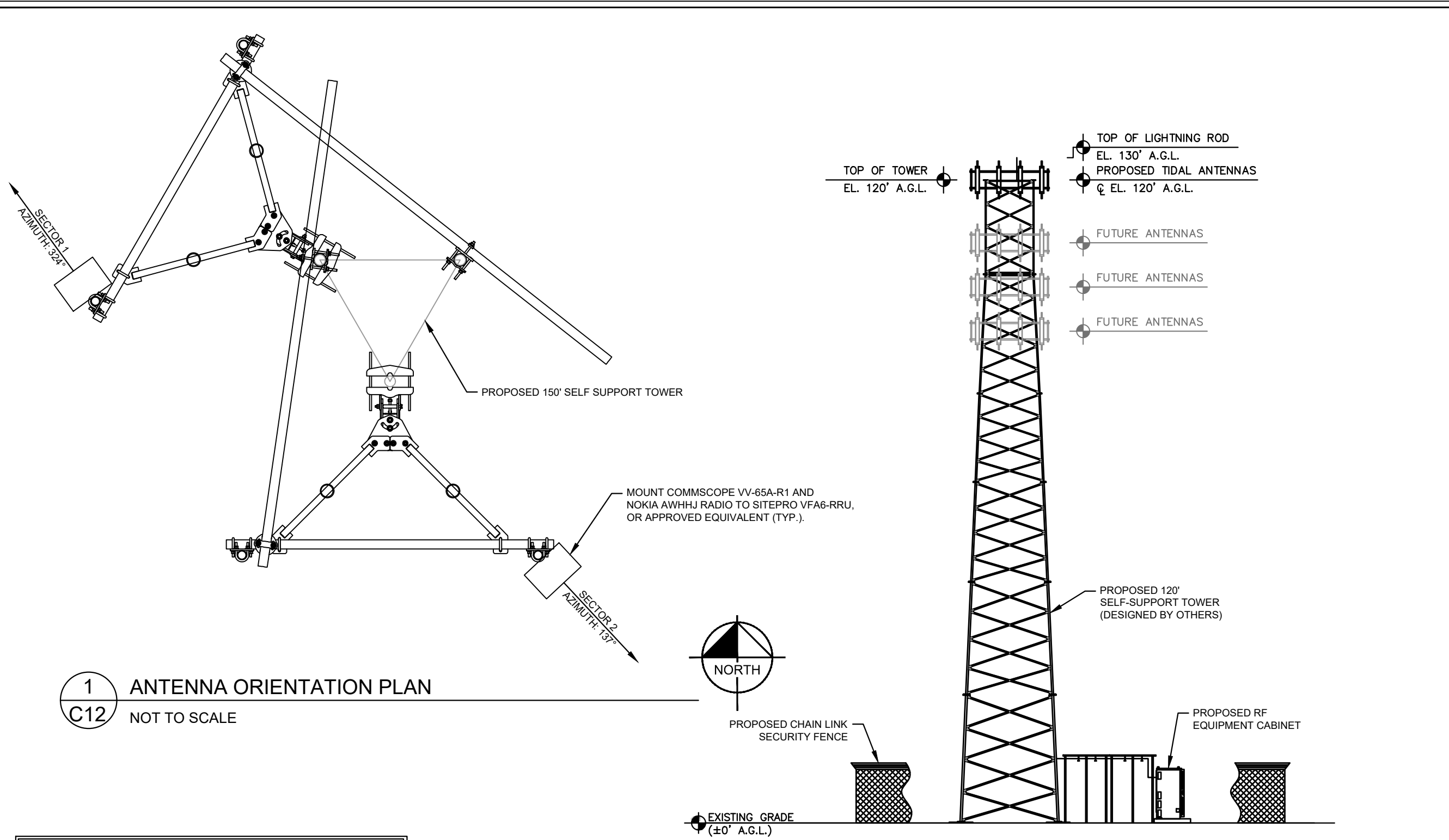
LICENSER: \_\_\_\_\_

FOR REFERENCE ONLY

KHA PROJECT NUMBER: \_\_\_\_\_  
 017619024  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 RBV TRN

SHEET TITLE:  
**ANTENNA AND TOWER ELEVATION DETAILS**

SHEET NUMBER:  
**C12**



**1** ANTENNA ORIENTATION PLAN  
**C12** NOT TO SCALE

**1** SELF-SUPPORT TOWER ELEVATION  
**C12** NOT TO SCALE

**NOTES:**

- ALL INFORMATION ON THIS PAGE IS PROVIDED BY OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE TIDAL WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.
- REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.
- IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.

**NOTES:**

- ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET G2).
- THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
- COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
- PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:

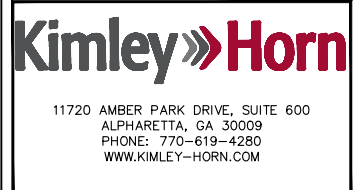
SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:

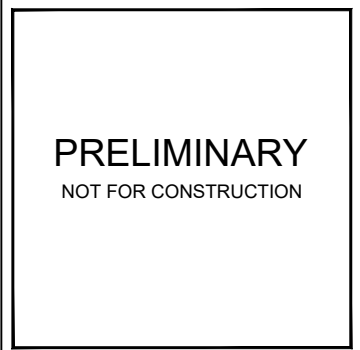


11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:



KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

SHEET TITLE:

STRUCTURAL NOTES

SHEET NUMBER:

S0

1.00 FOUNDATION NOTES

- 1.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 1.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO OWNER/CARRIER.
- 1.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- 1.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
- 1.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 1.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 1.07 AT THE REQUEST OF THE OWNER/CARRIER PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 1.08 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 1.09 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.
- 1.10 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.
- 1.11 TOP OF FOUNDATION FINISH TO BE LEVEL ±1/8" IN 10'.
- 1.12 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.
- 1.13 CONCRETE REINFORCEMENT SHALL HAVE THE FOLLOWING PROTECTIVE COVER:
  - CONCRETE PLACED AGAINST EARTH OF GROUND...3"
  - ALL OTHER LOCATIONS...2"
- 1.14 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.
- 1.15 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM OWNER/CARRIER PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.

2.00 GENERAL STRUCTURAL NOTES

- 2.01 DESIGN: 2021 INTERNATIONAL BUILDING CODE WITH ALASKA AMENDMENTS.
- 2.02 STRUCTURAL STEEL W SHAPES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A992 GR. 50. TUBING SHALL CONFORM TO ASTM A-500 GR. B. PIPE SHALL CONFORM TO ASTM A53 GR. B. CHANNELS AND ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 UNLESS OTHERWISE NOTED.
- 2.03 ALL DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE REQUIREMENTS OF THE AISC SPECIFICATIONS FOR BUILDINGS, LATEST EDITION.
- 2.04 WELDING SHALL BE DONE BY AN AWS CERTIFIED WELDER AND IN COMPLIANCE WITH AWS D1.1 ALL WELDS SIZES SHALL BE THE MAXIMUM ALLOWED BY THE MATERIAL BEING WELDED WITH E70XX ELECTRODES.
- 2.05 UNLESS OTHERWISE NOTED, ALL FIELD CONNECTIONS SHALL BE FULL DEPTH CONNECTIONS MADE WITH 3/4" DIAMETER HIGH STRENGTH BOLTS (ASTM A325-X).
- 2.06 CONNECTIONS SHALL BE DESIGNED AS BEARING TYPE WITH THREADS EXCLUDED FROM THE SHEAR PLANE.
- 2.07 HOT DIP GALVANIZE ALL STRUCTURAL STEEL, GRATING, HANDRAILS, AND HARDWARE. TOUCH UP ALL FIELD WELDS AND ABRADED AREAS WITH GALVANIZING PAINT. REPAIR OF ABRADED OR UNCOATED AREAS SHALL CONFORM TO THE LATEST VERSION OF ASTM A780-93A.
- 2.08 GALVANIZED STEEL SUBJECTED TO FIELD WELDING FOR STRUCTURAL CONNECTIONS SHALL BE PROPERLY PREPARED FOR A MINIMUM DISTANCE OF 1 INCH FROM THE WELD. APPROVED METHODS OF PREPARATION INCLUDE USING SUITABLE MASKING MATERIALS PRIOR TO GALVANIZING IN THE SHOP OR GRINDING THE COATING OFF IN THE FIELD. AFTER WELDING, APPLY EPOXY ZINC COATING SYSTEM SHERWIN-WILLIAMS AEROSOL ZINC CLAD 5 OR ENGINEER APPROVED EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- 2.09 CONTRACTOR / STEEL FABRICATOR SHALL VERIFY ALL DIMENSIONS, EXISTING COLUMN LOCATIONS, AND LOAD BEARING COLUMNS AS REQUIRED BEFORE FABRICATION OF ANY STEEL.
- 2.10 CONTRACTOR / STEEL FABRICATOR SHALL CONFORM TO THE MINIMUM EDGE DISTANCE REQUIREMENTS IN ACCORDANCE TO THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION.
- 2.11 ALL STRUCTURAL STEEL SHALL BE FABRICATED TO FIT AT BOLTED CONNECTIONS WITHIN 1/16 INCH TOLERANCE. STRUCTURAL STEEL SHALL NOT BE FLAME CUT UNDER ANY CIRCUMSTANCES WITHOUT APPROVAL OF THE ENGINEER.
- 2.12 CONTRACTOR / STEEL FABRICATOR SHALL CAP OR SEAL ALL PIPES/TUBES AS REQUIRED TO PREVENT RAINWATER INTRUSION.
- 2.13 CONTRACTOR / STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER'S REVIEW PRIOR TO ANY STEEL FABRICATION. AT THE CONTRACTOR'S OPTION, FIELD SPLICES MAY BE USED FOR ERECTION PURPOSES. IF FIELD SPLICES ARE USED, THE SHOP DRAWINGS SHALL INCLUDE ALL DETAILS FOR THE PROPOSED FIELD SPLICES.
- 2.14 AT THE CONTRACTORS OPTION, SHOP WELDS MAY BE USED INSTEAD OF FIELD WELDS.
- 2.15 GRATING SHALL BE 1 1/2" X 3/16" MCNICHOLS (OR APPROVED EQUAL). GRATING TO BE ATTACHED TO THE STRUCTURAL STEEL PLATFORM FRAMING USING STANDARD GRATING CLIPS IN ACCORDANCE WITH GRATING MANUFACTURERS' STANDARDS AND RECOMMENDATIONS.

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CDD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV

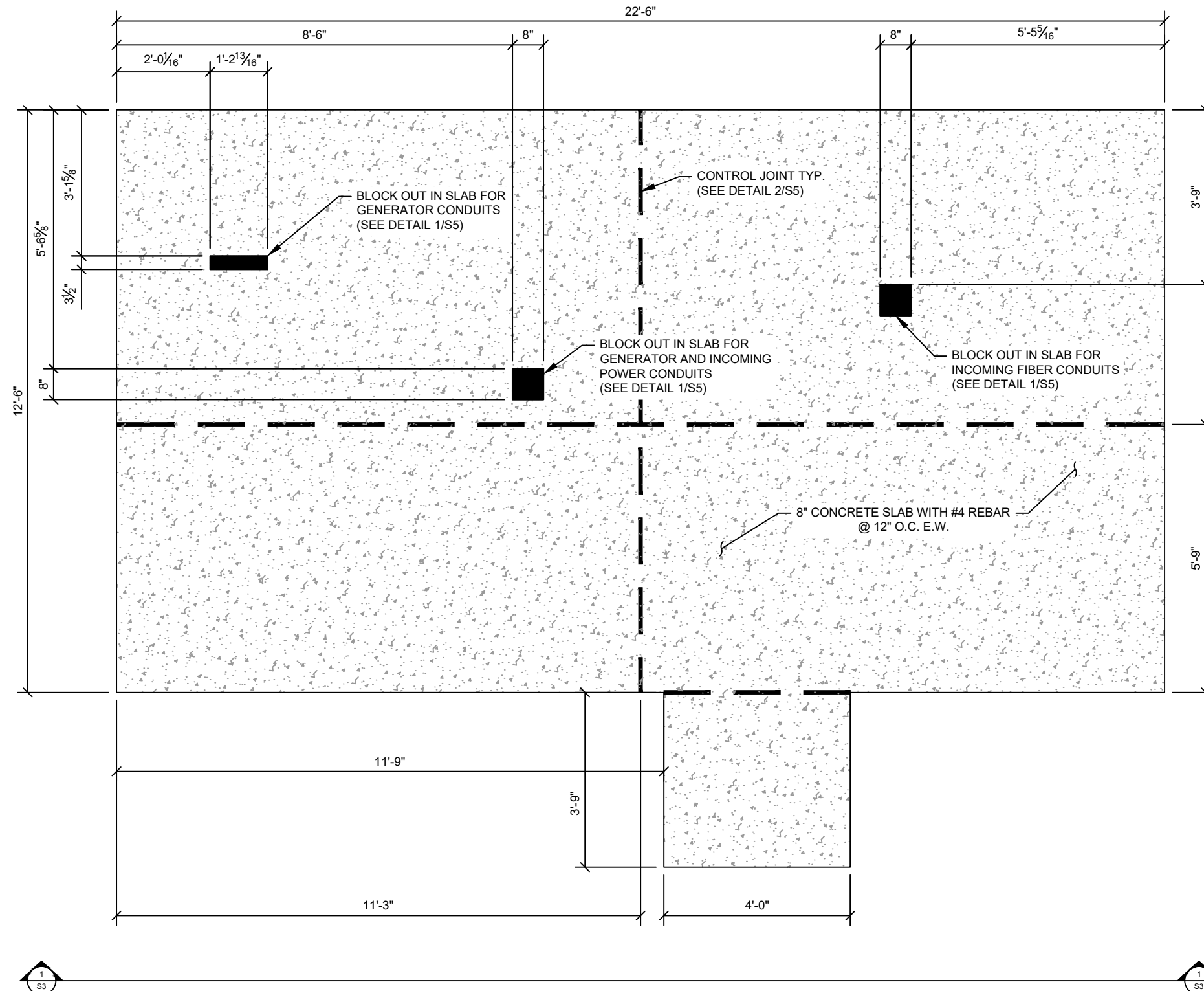
TRN

SHEET TITLE:

**FOUNDATION PLAN**

SHEET NUMBER:

**S1**



**1**  
**S1** FOUNDATION PLAN

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

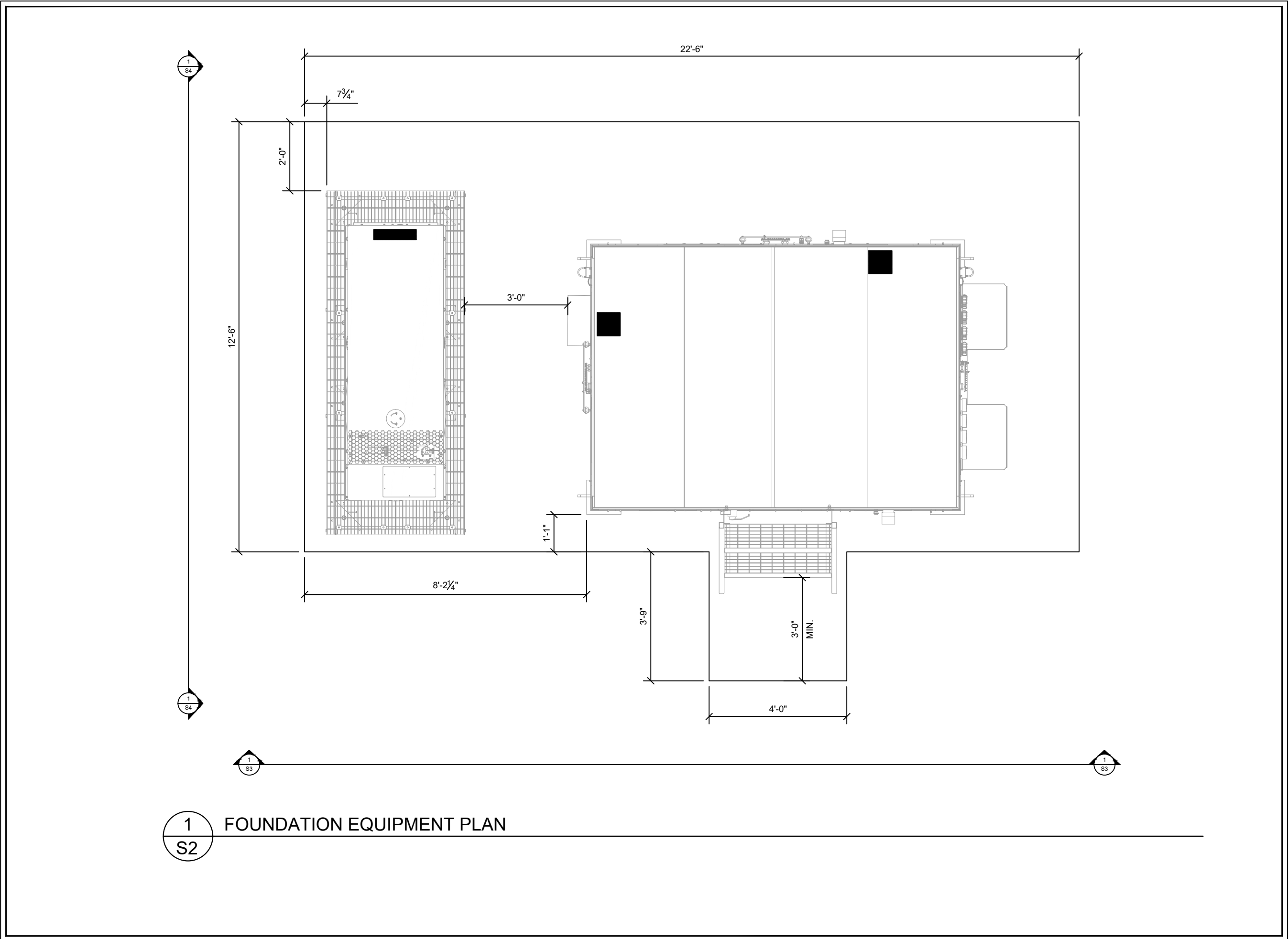
SHEET TITLE:

**FOUNDATION  
EQUIPMENT PLAN**

SHEET NUMBER:

**S2**

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:16 AM by: John.Little



**1**  
**S2** FOUNDATION EQUIPMENT PLAN

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01  
  
1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:

**Kimley»Horn**  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

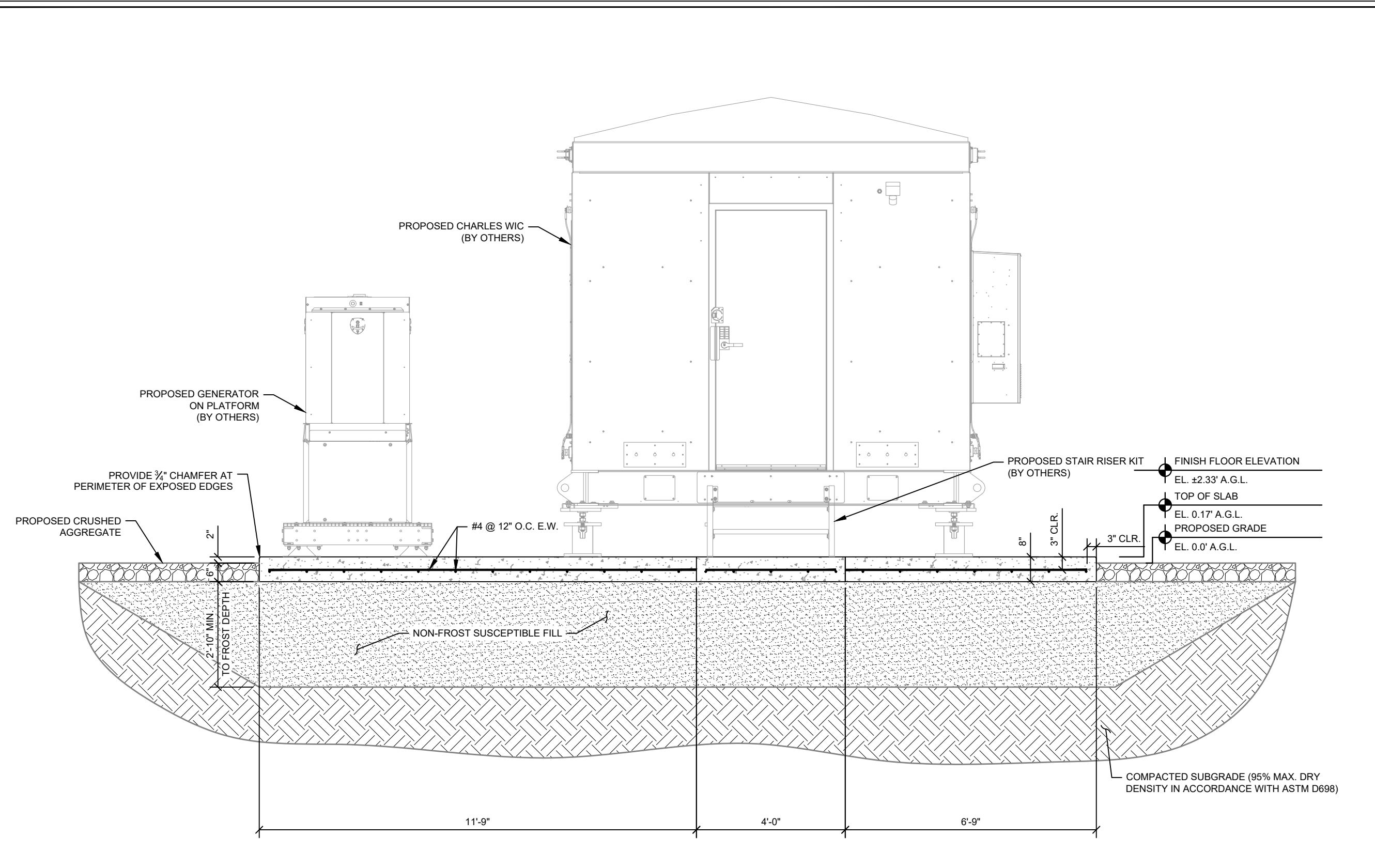
SHEET TITLE:

**FOUNDATION ELEVATION**

SHEET NUMBER:

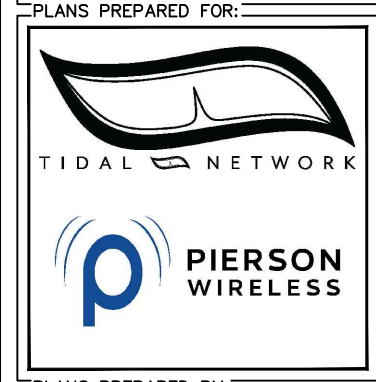
**S3**

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little



**1** FOUNDATION ELEVATION  
**S3**

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:

**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

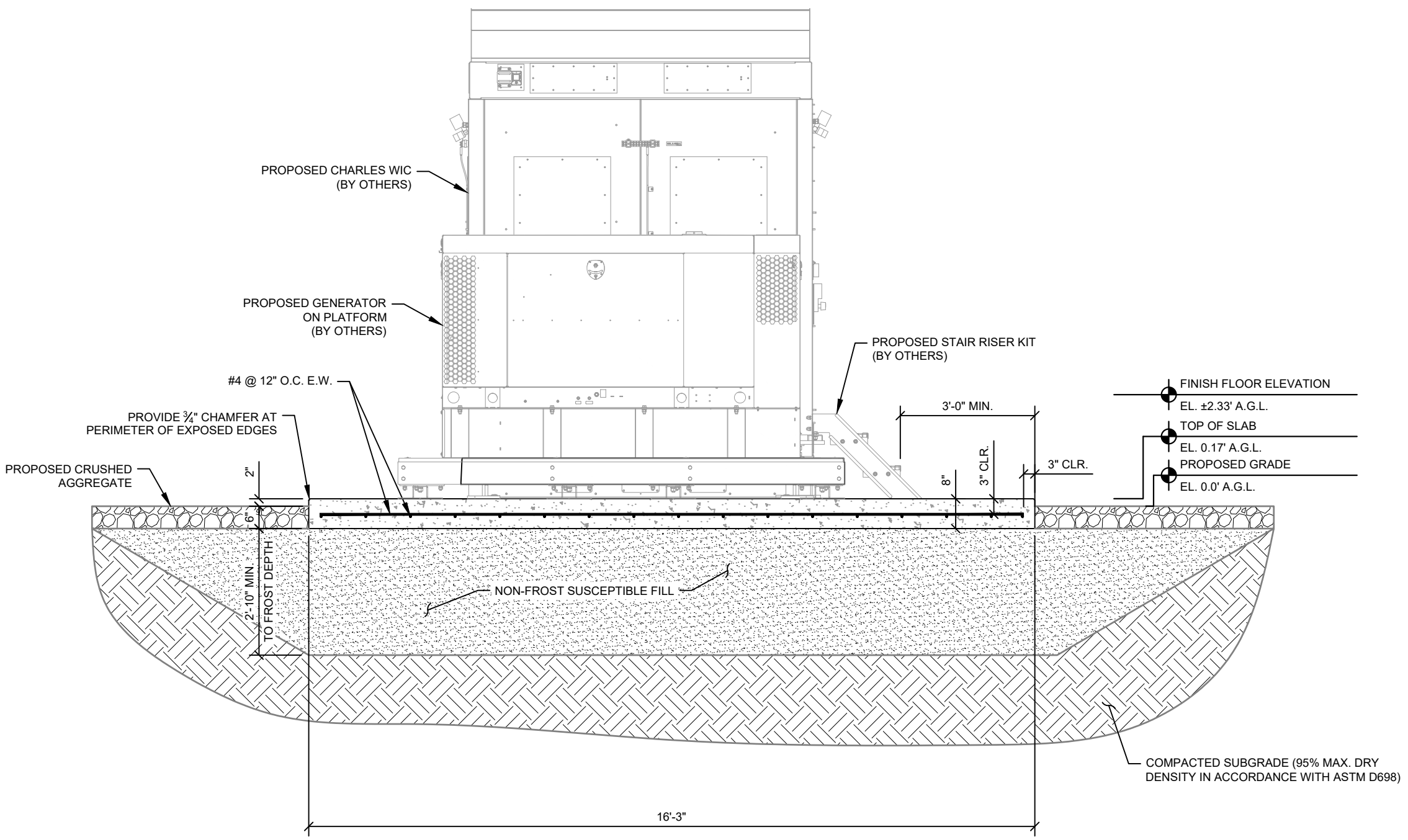
LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**FOUNDATION ELEVATION**

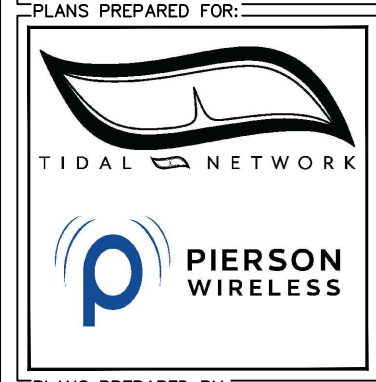
SHEET NUMBER:  
**S4**



1 FOUNDATION ELEVATION  
 S4

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:16 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

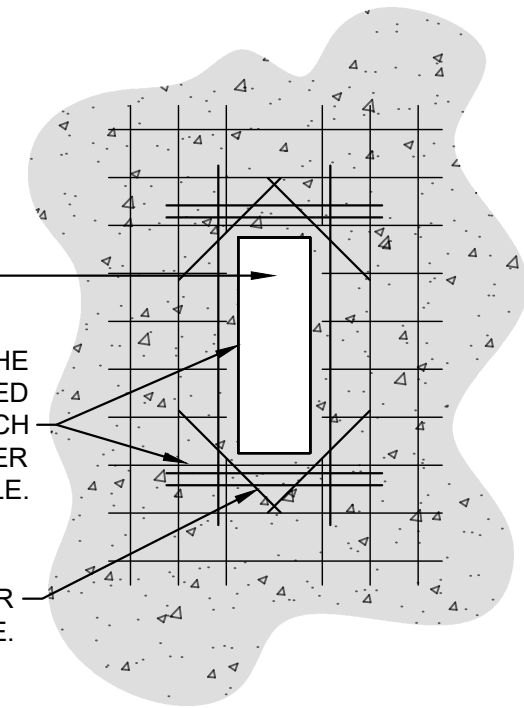
LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**STRUCTURAL DETAILS**

SHEET NUMBER:  
**S5**



SLAB PENETRATION

ADD'L BARS, EQUAL TO THE NUMBER OF BARS INTERRUPTED BY THE OPENINGS, AT EACH EDGE. EXTEND BARS PER LENGTH DICTATED IN TABLE.

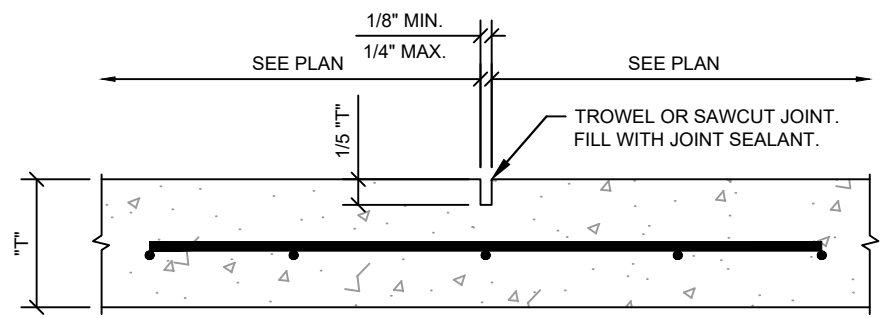
DIAGONAL BAR AT EACH CORNER. EXTEND BARS PER LENGTH DICTATED IN TABLE.

NOTE: PROVIDE 1-1/2" MINIMUM COVER FOR ALL REINFORCEMENT TO THE PENETRATION OPENINGS.

NOTE: OPENINGS SHALL BE A MINIMUM OF 6" FROM ALL CONCRETE EDGES. WHEN OPENINGS ARE CLOSER THAN 24" FROM CONCRETE EDGE, EXTEND ADD'L BARS TO WITHIN 2" OF CONCRETE EDGE AND BEND THE REMAINING LENGTH TO RUN PARALLEL WITH CONCRETE EDGE.

CONCRETE STRENGTH (psi)	≤ #6 BARS	≥ #7 BARS
4000	38d <sub>b</sub>	47d <sub>b</sub>
4500	36d <sub>b</sub>	45d <sub>b</sub>

d<sub>b</sub> = BAR DIAMETER



1 BLOCK OUT REINFORCEMENT - TYPICAL  
 S5

2 SLAB CONTROL JOINT  
 S5

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

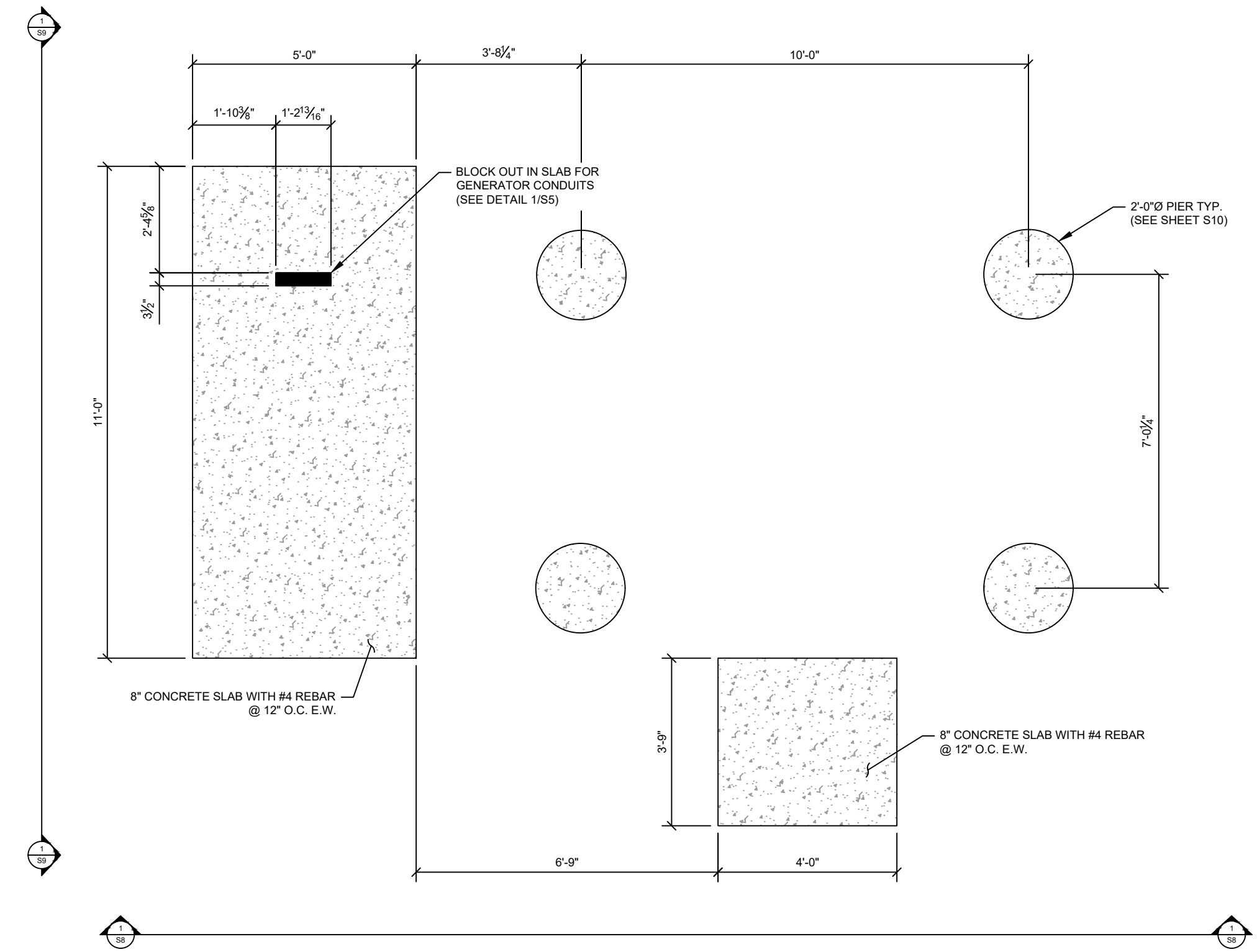
SHEET TITLE:

**ALT. FOUNDATION PLAN**

SHEET NUMBER:

**S6**

**1**  
**S6** ALT. FOUNDATION PLAN



k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV

TRN

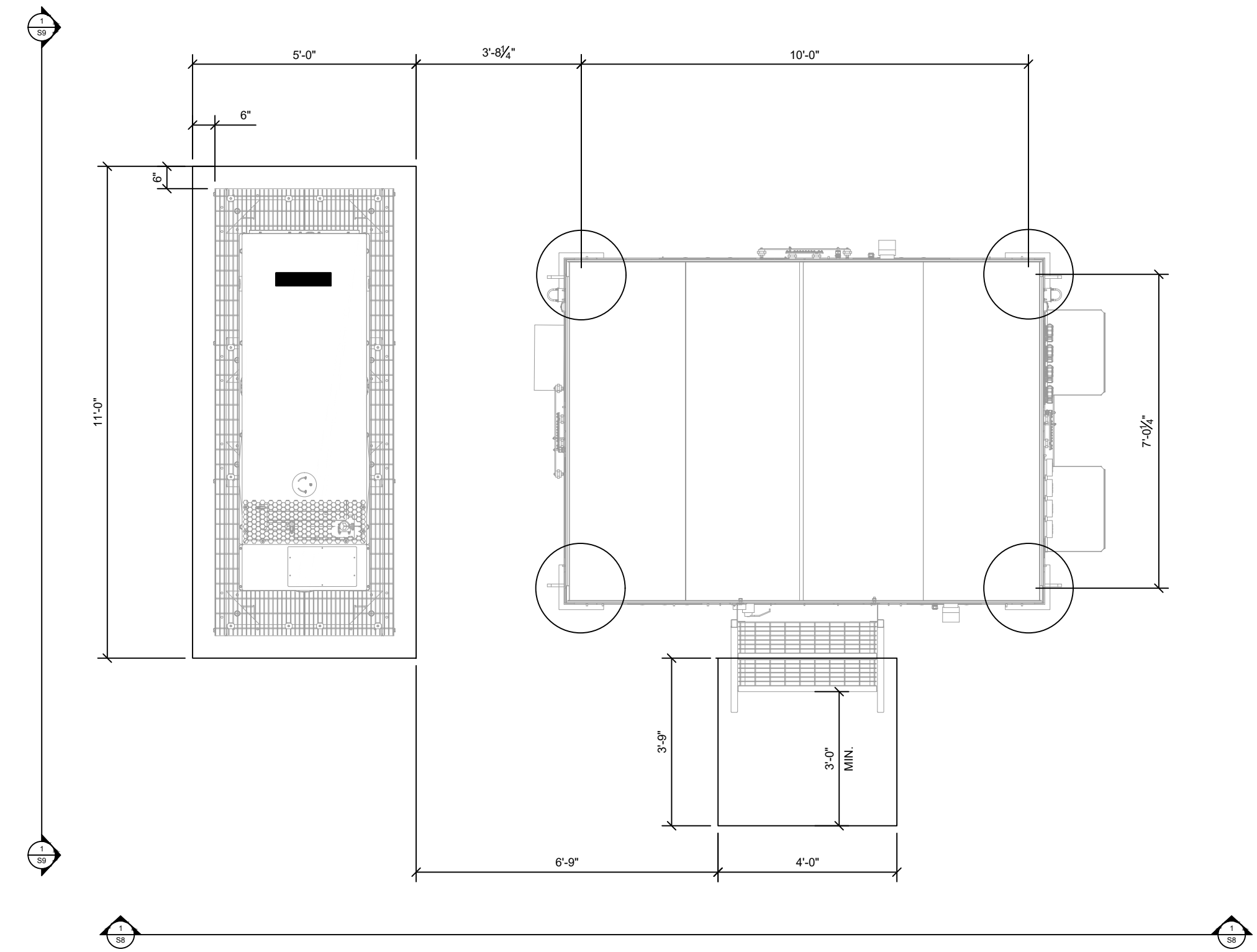
SHEET TITLE:

**ALT. FOUNDATION  
EQUIPMENT PLAN**

SHEET NUMBER:

**S7**



**1**  
**S7** ALT. FOUNDATION EQUIPMENT PLAN



k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

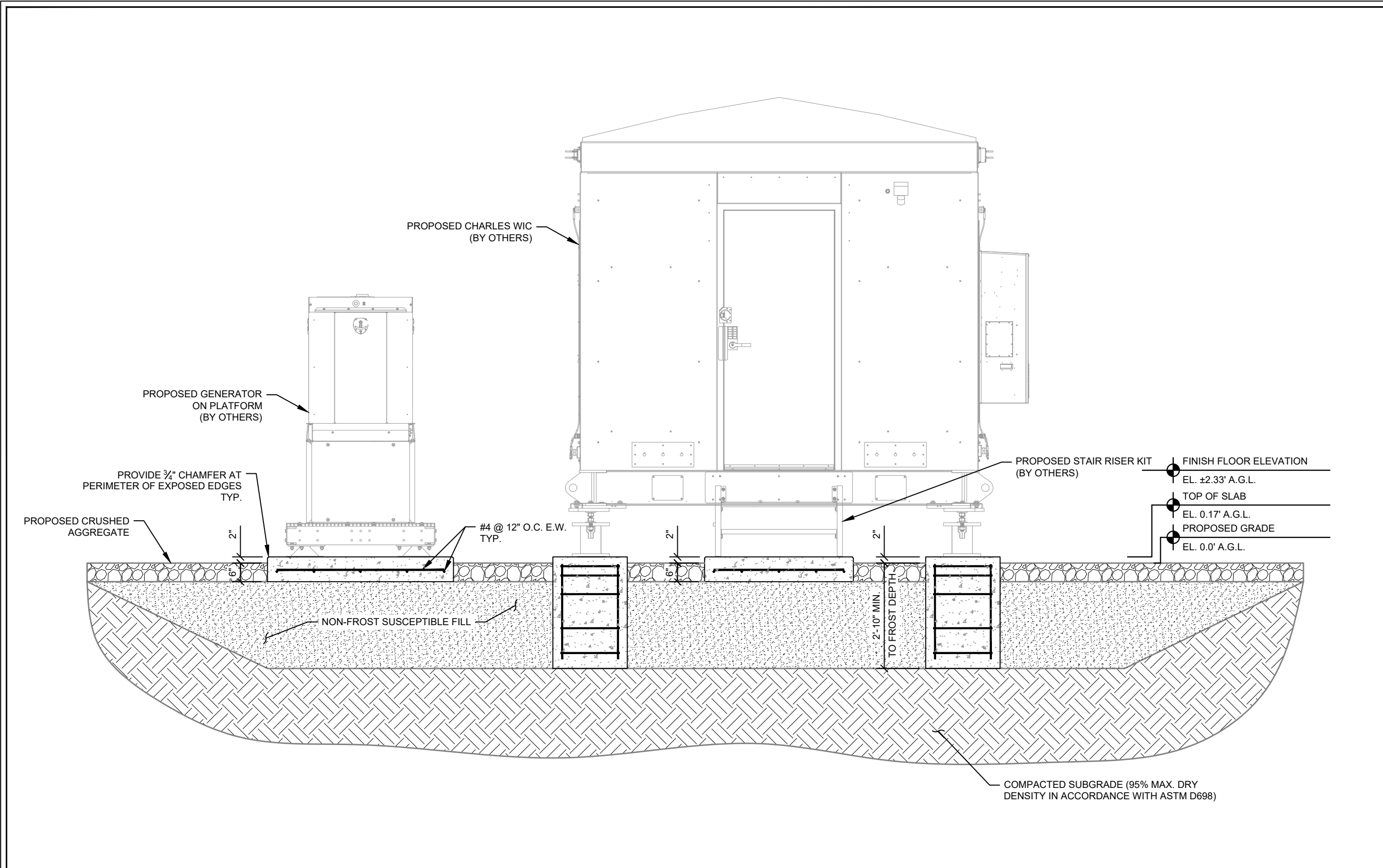
KHA PROJECT NUMBER:  
 017619024

DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:

**ALT. FOUNDATION ELEVATION**

SHEET NUMBER:  
 S8





1 ALT. FOUNDATION ELEVATION  
 S8

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

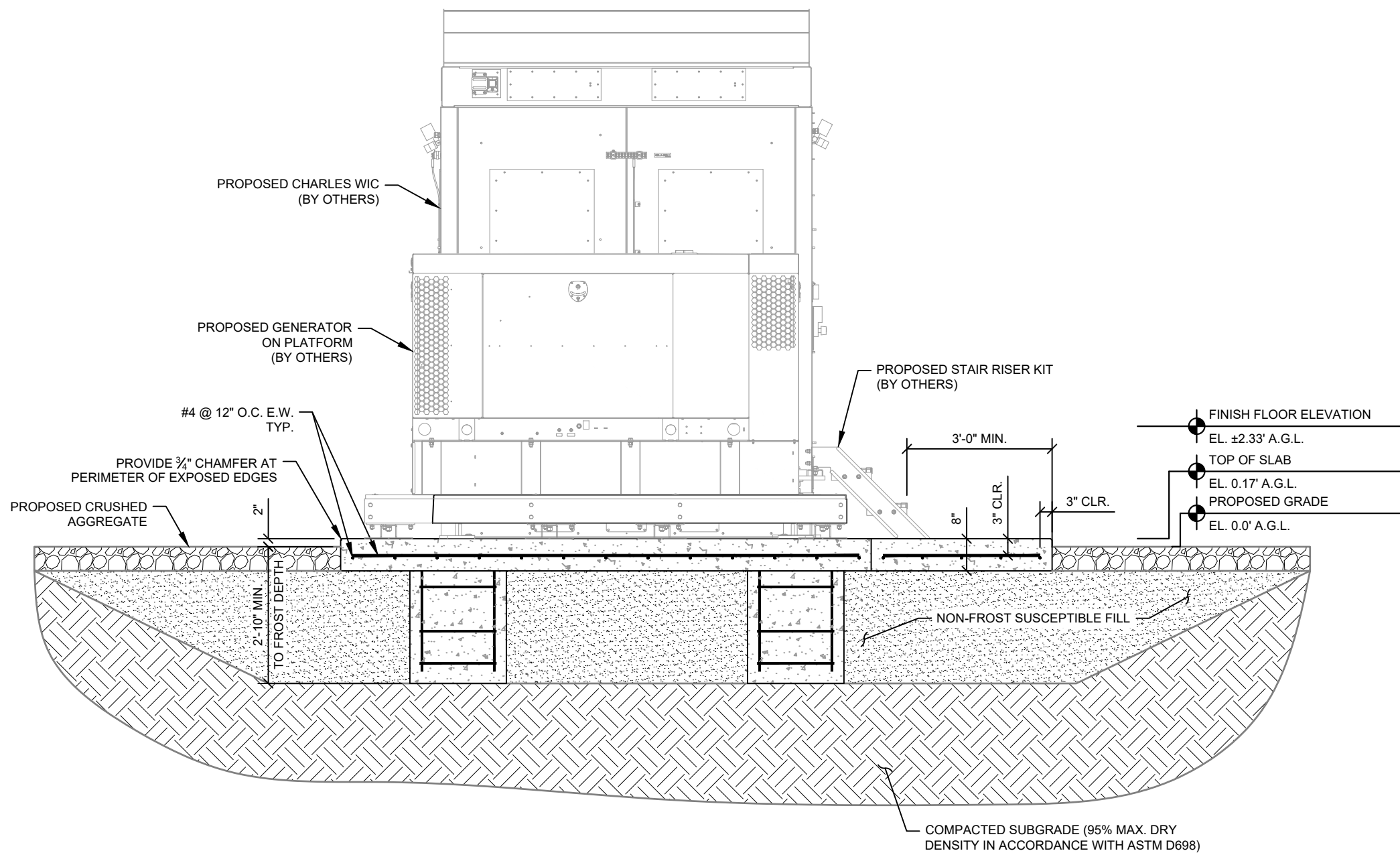
LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**ALT. FOUNDATION ELEVATION**

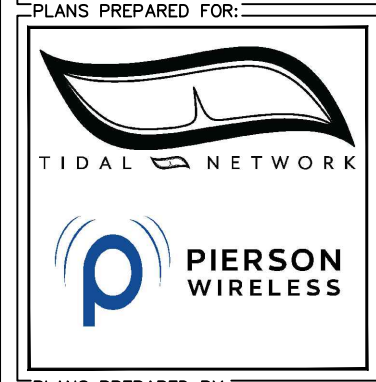
SHEET NUMBER:  
**S9**



1 ALT. FOUNDATION ELEVATION  
 S9

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024

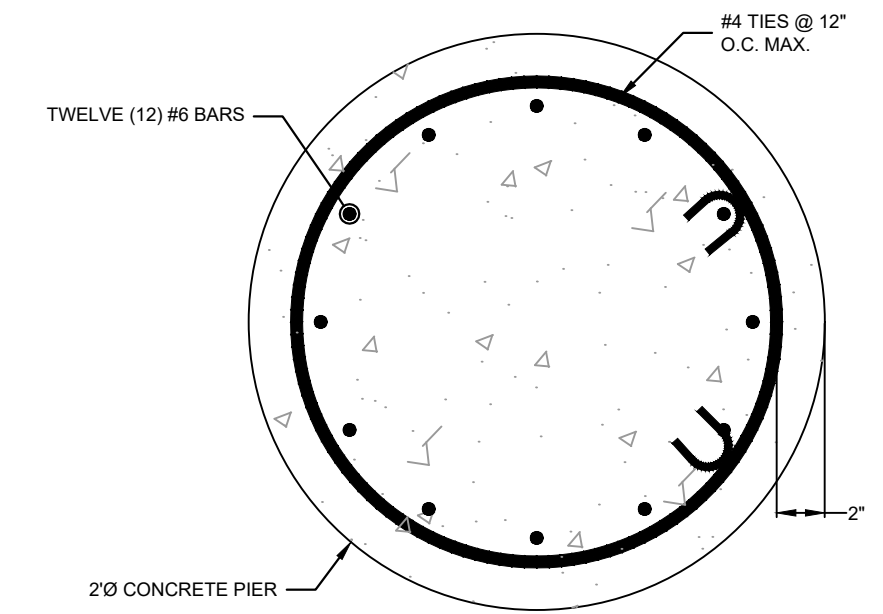
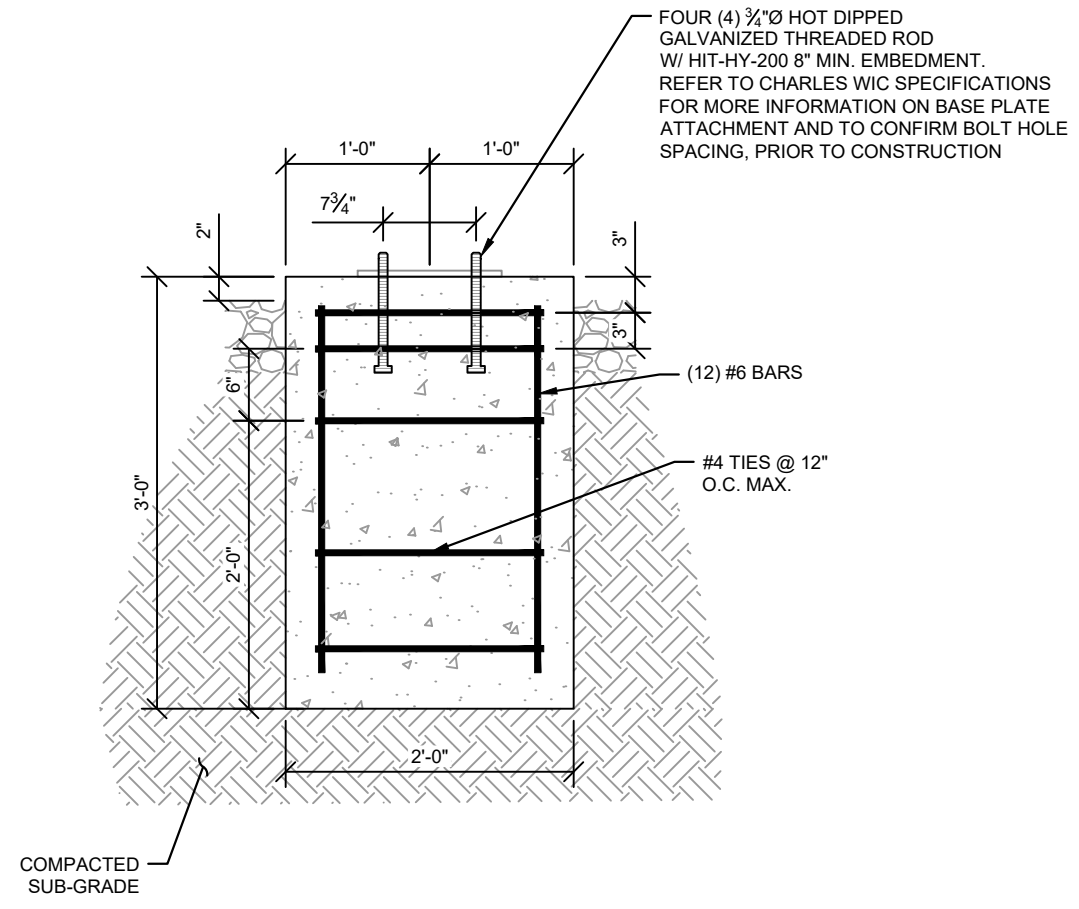
DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:

**ALT. STRUCTURAL  
 DETAILS**

SHEET NUMBER:

**S10**



**1** PIER DETAIL  
 S10

**2** CONCRETE PIER REINFORCEMENT  
 S10

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little

# ELECTRICAL NOTES

## 1.00 CODES, STANDARDS, & SPECIFICATIONS

- 1.01 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL MATERIALS AND LABOR RELATED DIRECTLY OR INDIRECTLY TO ALL ELECTRICAL WORK DOCUMENTED IN THESE DRAWINGS SHALL BE PROVIDED AND PERFORMED IN CONFORMANCE WITH ALL CURRENT GOVERNING CODES, STANDARDS, AND PROFESSIONAL STANDARD OF CARE TO INCLUDE THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), UNDERWRITERS LABORATORY (UL), NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA), AMERICAN STANDARDS ASSOCIATION (ASA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND THE NATIONAL ELECTRICAL CODE (NEC).
- 1.02 MATERIALS SHALL BE NEW AND SHALL CONFORM TO ALL APPLICABLE CURRENT GOVERNING STANDARDS ESTABLISHED FOR EACH ITEM BY ASTM, UL, NEMA, ASA, AND NFPA.
- 1.03 ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY, AND MUNICIPAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT GOVERNING STANDARDS AND PRACTICES AS REQUIRED BY NEC, NEMA, ANSI, NFPA, UBC, UL, IEEE, AND THE LOCAL UTILITY COMPANY.
- 1.04 ALL ELECTRICAL GROUNDING SHALL COMPLY WITH THE CURRENT EDITION OF THE NEC.
- 1.05 CONTRACTOR SHALL MAINTAIN UL LISTED FIRE RATINGS AT ALL WALL PENETRATIONS.
- 1.06 CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF 36" IN FRONT OF ALL ELECTRICAL EQUIPMENT AS REQUIRED BY NEC. MINIMUM CLEARANCE SHALL BE OBSERVED FOR BOTH THE FRONT AND THE REAR OF THE METER H-FRAME RACK AND THE EQUIPMENT H-FRAME RACK.

## 2.00 GENERAL

- 2.01 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND ASSOCIATED FEES RELATED TO THE PROJECT AND SHALL DELIVER A COPY OF ALL PERMITS TO THE VERIZON REPRESENTATIVE.
- 2.02 CONTRACTOR SHALL SCHEDULE AND SHOULD ATTEND ALL INSPECTIONS REQUIRED BY THE JURISDICTION HAVING AUTHORITY.
- 2.03 CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC., FOR A COMPLETE WORKING ELECTRICAL INSTALLATION.
- 2.04 ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- 2.05 CONTRACTOR SHALL PROTECT ADJACENT EQUIPMENT AND FINISHES FROM DAMAGE AND SHALL REPAIR TO ORIGINAL CONDITION ANY ITEMS DAMAGED AS A RESULT OF THE WORK.
- 2.06 CONTRACTOR SHALL REPAIR ANY LANDSCAPING DISTURBED DURING CONSTRUCTION.
- 2.07 IF CONDUIT RUNS HAVE MORE THAN THREE (3) CONSECUTIVE 90 DEGREE TURNS, THE CONTRACTOR SHALL INSTALL PULL BOXES AS REQUIRED BY NEC.
- 2.08 CONTRACTOR SHALL INDICATE THE LOCATION OF ALL CAPPED UNDERGROUND SPARE CONDUIT ON THE RECORD DRAWINGS SUBMITTED TO THE OWNER.
- 2.09 CONTRACTOR SHALL COORDINATE EXACT ROUTING OF CONDUIT WITH OWNER. ALL CONDUIT SHALL BE ROUTED WITHIN 3 FEET, EITHER SIDE, OF PERIMETER FENCING.

## 3.00 MATERIALS

- 3.01 ALL EQUIPMENT AND MATERIALS SHOWN SHALL BE CONSIDERED NEW UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- 3.02 FINAL CONNECTIONS OF EQUIPMENT SHALL BE PER MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS, AND INSTRUCTIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT SUPPLIED BY VERIZON.
- 3.03 CONTRACTOR SHALL PROVIDE AN UPDATED PANELBOARD DIRECTORY FOR THE PANEL FROM WHICH THE NEW VERIZON EQUIPMENT CIRCUIT WILL BE CONNECTED. CONTRACTOR SHALL SUBMIT UPDATED DIRECTORY IN A PLASTIC COVER TO THE BUILDING OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 3.04 CONTRACTOR SHALL FIELD DETERMINE ACTUAL CONDUIT ROUTING AND SHALL OBTAIN APPROVAL FROM THE TOWER OWNER OF THE PROPOSED ROUTING PRIOR TO CONDUIT INSTALLATION.
- 3.05 ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION AND ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES CELSIUS.
- 3.06 ALL NEUTRAL CONDUCTORS SHALL HAVE WHITE INSULATION. ALL GROUND CONDUCTORS SHALL HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT PERMITTED.
- 3.07 CONTRACTOR SHALL SEAL ALL CONDUITS ENTERING AN ENCLOSURE WITH CONDUIT SEALANT THAT IS COMPATIBLE WITH THE INSULATION OF THE CONDUCTORS IN THE CONDUIT.
- 3.08 CONDUIT RUNS SHALL HAVE A CONTINUOUS DOWNWARD SLOPE AWAY FROM ALL EQUIPMENT TO PREVENT WATER INFILTRATION.
- 3.09 ALL CONDUIT SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE ON THE PLANS. WHEN CONDUIT IS ROUTED UNDER A ROADWAY, SCHEDULE 80 PVC CONDUIT SHALL BE UTILIZED. MANUFACTURED BEND RADII SHALL BE PER NEC.
- 3.10 CONTRACTOR SHALL PROVIDE TWO (2) 200 POUND TEST POLYETHYLENE PULL CORDS IN ALL CONDUITS AND ALL INNERDUCTS. PULL CORDS SHALL BE SECURED AT EACH END OF CONDUIT RUNS. ALL SPARE CONDUIT ENDS SHALL BE CAPPED WITH MANUFACTURED PVC FITTINGS.
- 3.11 CONTRACTOR SHALL BOND EACH METALLIC CONDUIT ENTERING A METALLIC ENCLOSURE WITH A #8 MIN AWG INSULATED COPPER BONDING JUMPER PER NEC. CONTRACTOR SHALL BOND ALL ELECTRICAL EQUIPMENT TO THE H-FRAME RACK ON WHICH EQUIPMENT IS MOUNTED WITH #8 MIN AWG INSULATED COPPER BONDING JUMPERS PER NEC.
- 3.12 CONTRACTOR SHALL IDENTIFY THE END OF ALL SPARE UNDERGROUND CONDUITS AND PROVIDE AND INSTALL 90 DEGREE ELBOWS WITH VERTICAL CONDUIT EXTENSIONS TO EXTEND 3" ABOVE FINISHED CRUSHED AGGREGATE GRADE. CONTRACTOR SHALL TERMINATE CONDUITS WITH MANUFACTURED CONDUIT CAPS THAT THE CONTRACTOR HAS PAINTED ORANGE.
- 3.13 CONTRACTOR SHALL PROVIDE AND INSTALL AN ENGRAVED PHENOLIC PLATE ON THE FRONT OF THE INTEGRATED LOAD CENTER. THE WORDING ON THE PLATE SHALL READ AS FOLLOWS: "MAXIMUM DRAW OF ALL RECTIFIERS AND EQUIPMENT ON THE LOAD CENTER CANNOT EXCEED 30kW. IF ADDITIONAL POWER IS REQUIRED, THE EXISTING 30kW GENERATOR MUST BE REPLACED."

## 4.00 PRE-CONSTRUCTION COORDINATION

- 4.01 CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND NOTE EXISTING CONDITIONS THAT MIGHT AFFECT THEIR WORK. ALL SUCH CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO BID.
- 4.02 THE CONTRACTOR SHALL PROVIDE A UTILITY LOCATOR AND SHALL VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 4.03 CONTRACTOR SHALL VERIFY, PRIOR TO ROUGH-IN, THAT SITE CONDITIONS ALLOW FOR THE PLACEMENT OF THE ELECTRICAL EQUIPMENT AS SHOWN ON THE PLANS.
- 4.04 CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL UTILITY REGARDING THE EXACT LOCATION OF THE TRANSFORMER, ALL METERING REQUIREMENTS, AND CONDUIT ROUTING BETWEEN TRANSFORMER AND METER.
- 4.05 CONTRACTOR SHALL COORDINATE WITH LOCAL TELCO UTILITY REGARDING THE EXACT LOCATION OF THE TELCO SERVICE ENTRY POINT.
- 4.06 CONTRACTOR SHALL COORDINATE WITH AUTHORITY HAVING JURISDICTION REGARDING LOCAL FROST LINE REQUIREMENTS FOR RACEWAY MATERIAL SELECTION AND INSTALLATION.
- 4.07 CONTRACTOR SHALL PERFORM AN ARC FLASH ANALYSIS AT THE INTEGRATED LOAD CENTER AND PROVIDE ARC FLASH LABEL PER NEC.
- 4.08 ALL CIRCUIT BREAKERS AND EQUIPMENT SHALL HAVE A MINIMUM AIC RATING OF 10,000 AMPS. IF THE RATING OF THE UTILITY TRANSFORMER PROVIDING THE ELECTRICAL SERVICE IS GREATER THAN 75 kVA, THE CONTRACTOR SHALL PERFORM A SHORT CIRCUIT ANALYSIS TO DETERMINE THE REQUIRED AIC RATING FOR THE CIRCUIT BREAKERS AND EQUIPMENT. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT (AFC) AT THE UTILITY SERVICE POINT. PROVIDE MAX. AFC SIGNAGE AS REQUIRED PER NEC 110.24. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT.

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:



KHA PROJECT NUMBER:

017619024

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

RBV TRN

SHEET TITLE:

ELECTRICAL NOTES

SHEET NUMBER:

E0

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

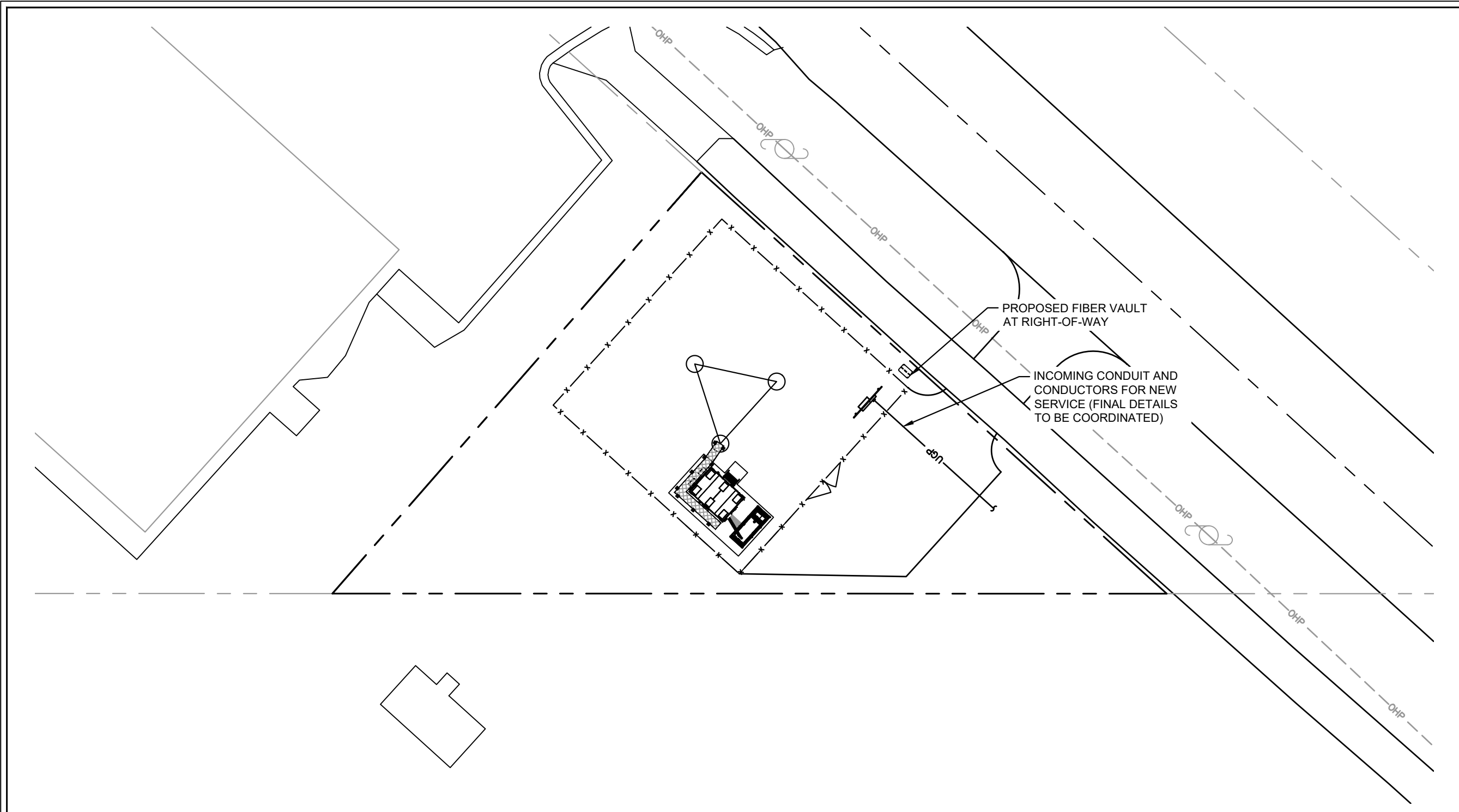
RBV TRN

SHEET TITLE:

**OVERALL UTILITY  
SERVICE ROUTING  
PLAN**

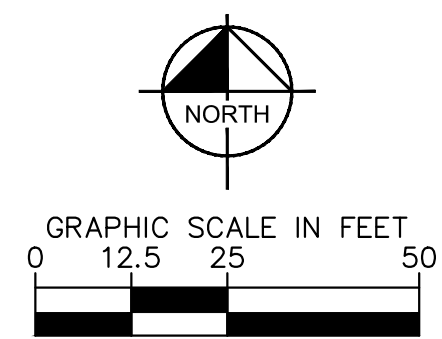
SHEET NUMBER:

**E1**



**1** OVERALL UTILITY SERVICE ROUTING PLAN  
**E1**

POWER NOTES:  
PENDING POWER COORDINATION.



k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

SHEET TITLE:

**COMPOUND  
UTILITY ROUTING  
PLAN**

SHEET NUMBER:

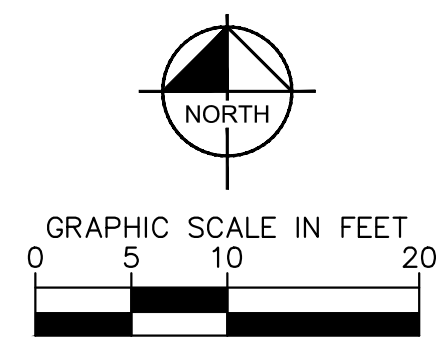
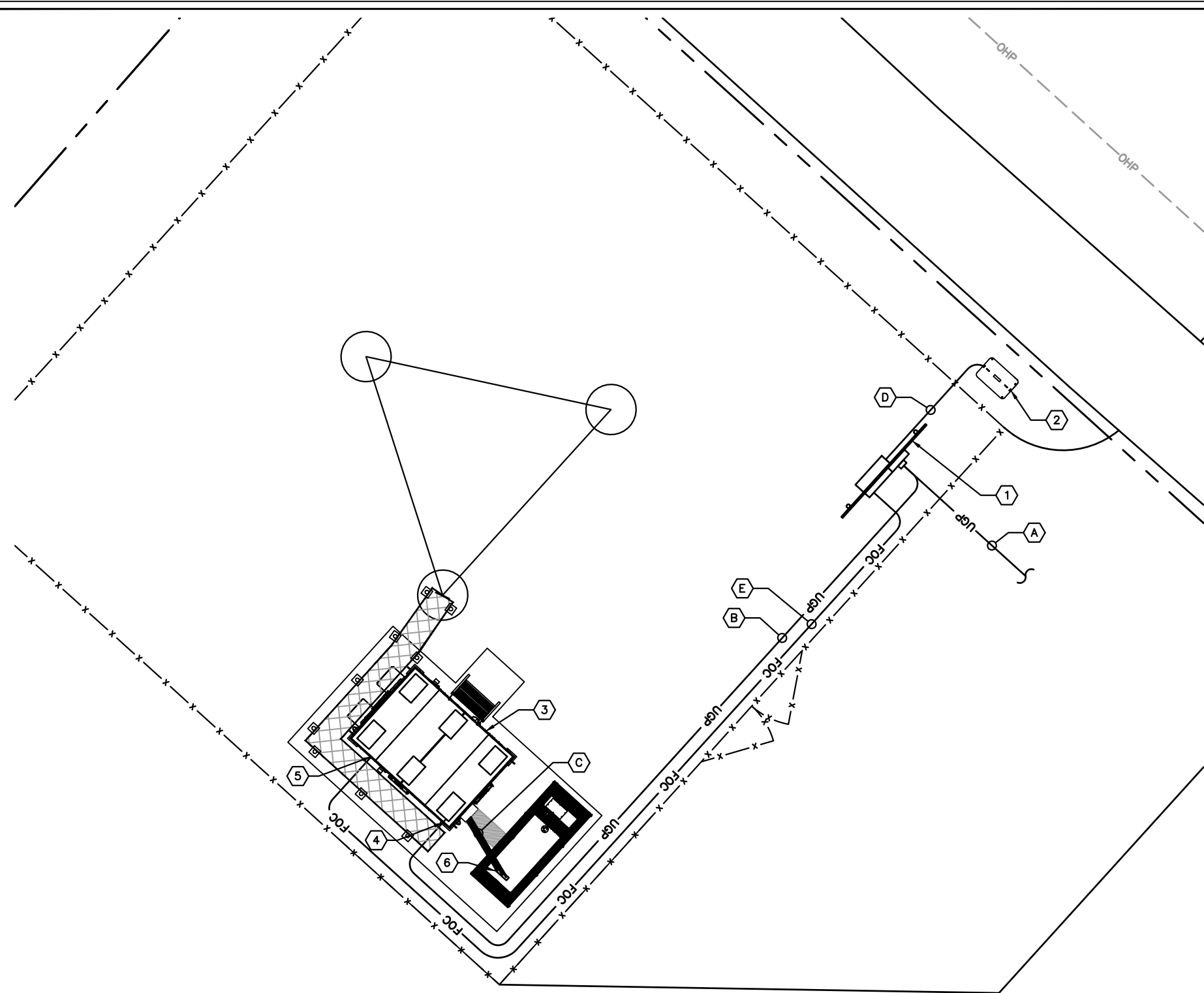
E2

**KEY NOTES - ELECTRICAL EQUIPMENT**

- ① UTILITY METER H-FRAME (SEE DETAIL 1/E3).
- ② PROPOSED FIBER HANDHOLE.
- ③ PROPOSED CHARLES WIC.
- ④ PROPOSED BLOCK-OUT LOCATION FOR POWER CONDUITS NEAR ATS. BENEATH WIC.
- ⑤ PROPOSED BLOCK-OUT LOCATION FOR FIBER CONDUITS BENEATH WIC.
- ⑥ PROPOSED GENERATOR WITH BLOCK-OUT FOR INCOMING CONDUITS.

**KEY NOTES - CONDUIT, CONDUCTORS, & MISC.**

- A TWO (2) 4" PVC POWER CONDUITS FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY (SEE TRENCH DETAIL 2/E5).
- B ONE (1) 2" PVC POWER CONDUIT FROM PROPOSED METER RACK TO ATS (±66 LF) (SEE TRENCH DETAIL 2/E5).
- C ONE (1) 1½" PVC CONDUIT AND (2) 1" PVC CONDUITS FROM ATS TO GENERATOR FOR POWER AND COMMUNICATION CABLES (±6 LF PER) (SEE SINGLE LINE 1/E4) (SEE TRENCH DETAIL 2/E5).
- D TWO (2) 4" PVC CONDUITS, FOR FIBER, FROM FIBER HANDHOLE TO MULTI-TENANT NEMA BOX ON H-FRAME (±12 LF PER) (SEE TRENCH DETAIL 2/E5).
- E ONE (1) 2" PVC CONDUIT, FOR FIBER, FROM MULTI-TENANT NEMA BOX ON H-FRAME BLOCK-OUT IN TIDAL NETWORK EQUIPMENT AREA (±70 LF) (SEE TRENCH DETAIL 2/E5).




1  
E2  
COMPOUND UTILITY ROUTING PLAN

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**METER RACK  
 DETAILS**

SHEET NUMBER:  
**E3**

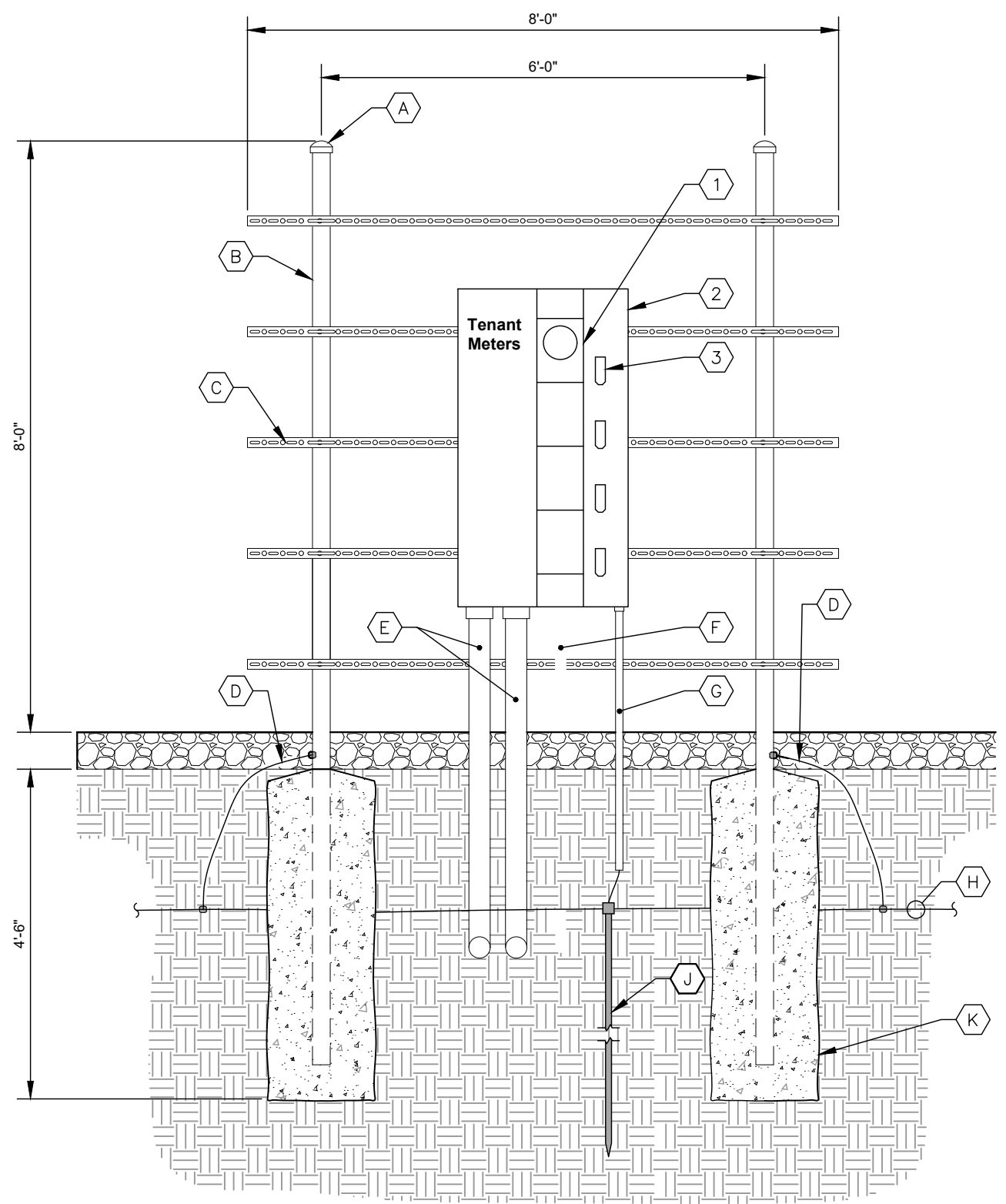
**KEY NOTES - CONDUIT, CONDUCTORS, & MISC**

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (C) 1 1/2" x 1 1/2" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000 OR APPROVED EQUIVALENT) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- (D) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTOR IN 3/4" PVC CONDUIT FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- (E) 4" PVC CONDUIT FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY, TYPICAL OF 2.
- (F) 1" PVC WITH ONE (1) - 2/0 BARE STRANDED TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- (G) GROUND RING (SEE SHEETS E8-E9).
- (H) GROUND ROD, EXOTHERMIC WELD TO GROUND RING
- (J) CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.

**KEY NOTES - ELECTRICAL EQUIPMENT**

- (1) 200 AMP METER SOCKET IN NEMA 3R ENCLOSURE, TYPICAL OF 4. ONLY TOP WILL RECEIVE METER UNDER THIS CONTRACT.
- (2) 600 AMP, 22KAIC (VERIFY FAULT CURRENT WITH LOCAL UTILITY), 4 GANG, SERVICE ENTRANCE RATER METER CENTER IN NEMA 3R ENCLOSURE. BOND TO RACK PER NEC.
- (3) 200 AMP, 2 POLE, 22KAIC (VERIFY FAULT CURRENT WITH LOCAL UTILITY) DISCONNECT CIRCUIT BREAKER FOR TOP METER ONLY. CONTRACTOR SHALL MOUNT THE METER CENTER SUCH THAT THE TOP CIRCUIT BREAKER IS NO MORE THAN 6" ABOVE GRADE.

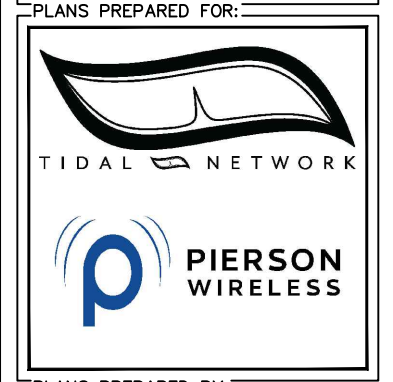
NOTE  
 INSTALL 36"X36"X12" MULTI-TENANT NEMA BOX ON THE REAR SIDE OF THE H-FRAME. FRONT SIDE ONLY SHOWN, FOR CLARITY



**1** METER RACK DETAILS  
**E3** NOT TO SCALE

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:  
**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 RBV      TRN

SHEET TITLE:  
**ELECTRICAL SINGLE LINE DIAGRAM**

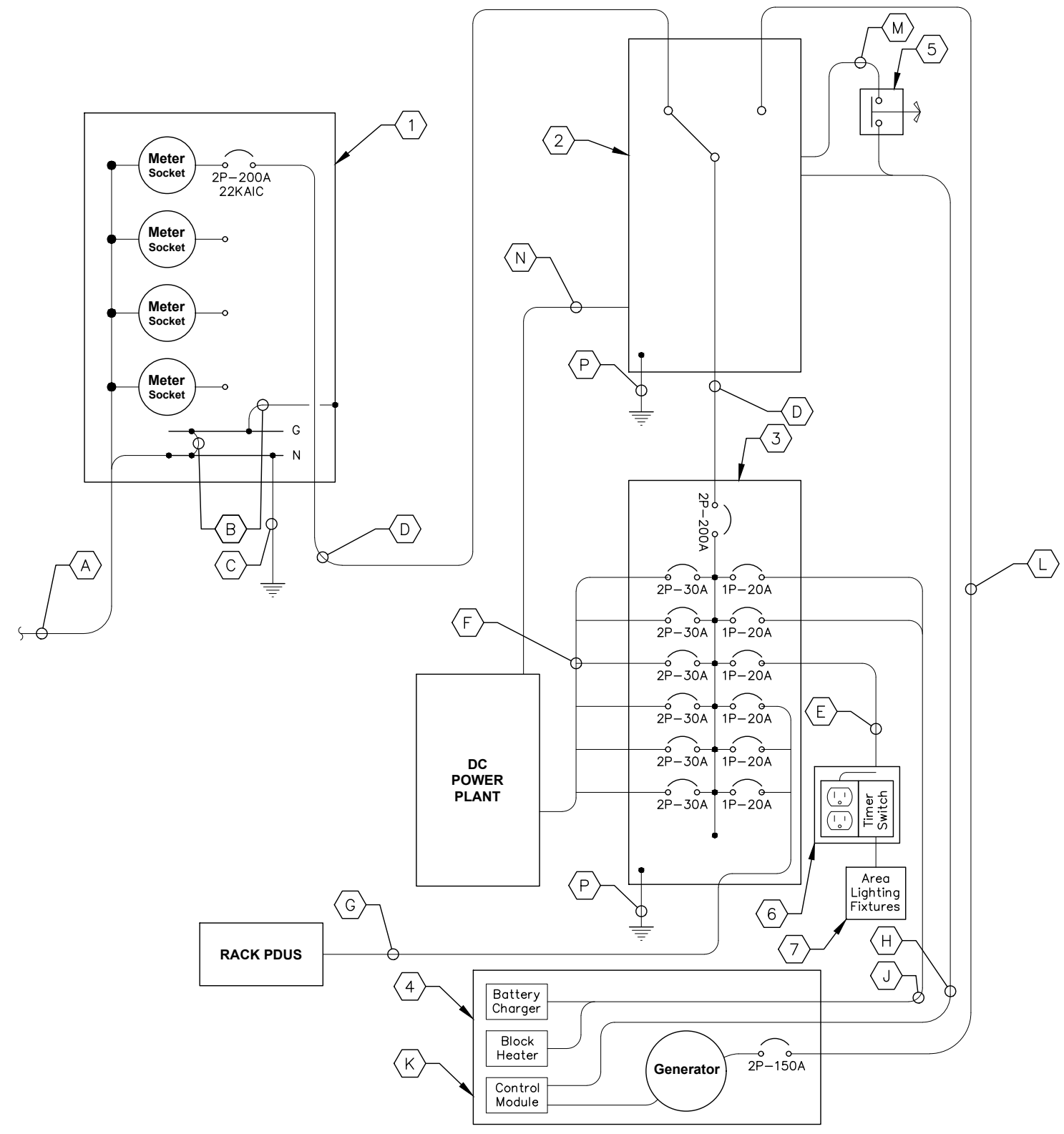
SHEET NUMBER:  
**E4**

**KEY NOTES - CONDUIT, CONDUCTORS, & MISC**

- A** TWO (2) 4" CONDUITS EA. WITH THREE (3) 3/0 CONDUCTORS BY CONTRACTOR FOR INCOMING SERVICE LATERALS BY LOCAL UTILITY FOR 600 AMP, 120/240 VOLT SINGLE PHASE SERVICE.
- B** BOND GROUND BUS TO NEUTRAL BUS AND GROUND BUS TO ENCLOSURE WITH 2/0 BONDING JUMPERS.
- C** ONE (1) 2/0 AWG BARE TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- D** THREE (3) 3/0 CONDUCTORS AND ONE (1) #6 AWG GROUND IN 2" CONDUIT.
- E** TWO (2) #12 AWG CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- F** TWO (2) #10 AWG CONDUCTORS AND ONE (1) #10 AWG GROUND FOR 30 AMP RECTIFIER CIRCUITS. CONDUCTORS TO ROUTE DIRECTLY TO DC POWER PLANT FROM POWER PANEL WITHIN CHARLES WIC.
- G** SIX (6) #12 AWG CONDUCTORS AND THREE (3) #12 AWG GROUNDS FOR 20 AMP FOR RACK PDUS EA. IN 1/2" CONDUIT.
- H** AUTOMATIC TRANSFER SWITCH ALARM AND GENERATOR CONTROL CABLES IN 1" CONDUIT.
- J** FOUR (4) #12 CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- K** THE GENERATOR, WHEN UTILIZING A TWO POLE ATS WITH A SOLID NEUTRAL, IS NOT A SEPARATELY DERIVED SYSTEM. THEREFORE, DO NOT BOND THE NEUTRAL TO THE GROUND AT THE GENERATOR.
- L** THREE (3) 1/0 AWG CONDUCTORS AND ONE (1) #6 AWG EG IN 1 1/2" CONDUIT. VERIFY GENERATOR BREAKER DOES NOT EXCEED 150 AMPS.
- M** 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE ILC TO THE EMERGENCY GENERATOR STOP SWITCH.
- N** ALARM CABLES IN 1" PVC CONDUIT.
- P** ONE (1) #2 AWG BARE TINNED COPPER GROUND LEAD FROM GROUNDING LUG IN TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.

**KEY NOTES - ELECTRICAL EQUIPMENT**

- 1** FURNISH AND INSTALL 600 AMP, 3-WIRE, SINGLE PHASE, 120/240 VOLT, 22KAIC (VERIFY FAULT CURRENT WITH LOCAL UTILITY), FOUR-SPACE MULTI-GANG METER CENTER WITH 200 AMP RATED METER SOCKETS IN NEMA 3R ENCLOSURE, SE RATED. CONTRACTOR SHALL FURNISH AND INSTALL 200 AMP CIRCUIT BREAKER AT METER BASE IF NOT ALREADY EXISTING.
- 2** FURNISH AND INSTALL 200 AMP, 120/240V VOLT, ILC BY GENERAC (RXSC200A3 OR APPROVED EQUIVALENT) WITH 20 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH. ALL CIRCUITS BREAKERS SHALL BE RATED 10KAIC MINIMUM. LOCATE ATS ON EXTERIOR OF CHARLES WIC PER SITE PLAN.
- 3** FURNISH AND INSTALL 125 AMP, 120/240V VOLT, 20 SPACE MCB LOAD CENTER INSIDE CHARLES WIC. ALL CIRCUITS BREAKERS SHALL BE RATED 10KAIC MINIMUM.
- 4** FURNISH AND INSTALL 30 KW DIESEL GENERATOR (GENERAC RA03022ADAL OR APPROVED EQUIVALENT). CONTRACTOR SHALL COORDINATE SPECIFIC GENERATOR CONFIGURATION WITH OWNER AND INSTALL THE GENERATOR IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. GENERATOR BREAKER SIZED AND PROVIDED BY GENERATOR MANUFACTURER.
- 5** FURNISH AND INSTALL EMERGENCY GENERATOR STOP SWITCH IN NEMA 3R ENCLOSURE.
- 6** FURNISH AND INSTALL 20 AMP GFCI DUPLEX OUTLET RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE.
- 7** FURNISH AND INSTALL TWO (2) AREA LIGHTS, (LITHONIA HFR-250M-TA120-DNA-LP1), (OR APPROVED EQUIVALENT).

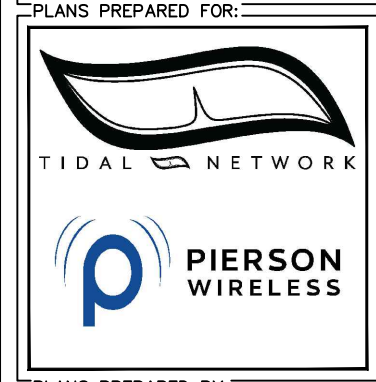


**REQUIRED SIGNAGE PER NEC 702 AT SERVICE DISCONNECT**  
**"WARNING: Shock hazard exists if grounding electrode conductor or bonding jumper connection in this equipment is removed while alternate source(s) is energized. Opening the equipment disconnect will cause the stand-by generator to start. To remove power entirely from the equipment, the generator must be turned OFF and the generator circuit breaker must be open."**

**1** ELECTRICAL SINGLE LINE DIAGRAM  
**E4** NOT TO SCALE

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**PANEL SCHEDULE**

SHEET NUMBER:  
**E5**

<b>TIDAL NETWORK - PSG-Z01</b>											
Voltage: 240/120 Volts Phase, Wires: Single Phase, 3 Wire Mounting Type: Surface Enclosure Type: NEMA 3R					MCB Size: 200 A AIC Rating: 10,000 Amps min Bus Rating: 200 A Neutral Rating: 100%						
Load Served	Load (kVA)		Circuit Bkr Size	Ckt Nbr	Phase		Ckt Nbr	Circuit Bkr Size	Load (kVA)		Load Served
	A	B			A	B			A	B	
Rectifier #1	1.00		2P-30	1	*		2	2P-30	1.00		Rectifier #2
		1.00		3		*	4				
Rectifier #3	1.00		2P-30	5	*		6	2P-30	1.00		Rectifier #4
		1.00		7		*	8				
Rectifier #5	1.00		2P-30	9	*		10	2P-30	1.00		Rectifier #6
		1.00		11		*	12				
Rack PDU #1	0.22		1P-20	13	*		14	1P-20	0.22		Lights/GFCI
Rack PDU #2		0.22	1P-20	15		*	16	1P-20		0.22	Rack PDU #3
Space			---	17	*		18	1P-20	1.50		*Generator Block Heater
Space			---	19		*	20	1P-20		0.30	*Generator Battery Charger
Space			---	21	*		22	---			Space
Space			---	23		*	24	---			Space
Space			---	25	*		26	---			Space
Space			---	27		*	28	---			Space
Space			---	29	*		30	---			Space
<b>Sub-Total (kVA)</b>	<b>3.22</b>	<b>3.22</b>							<b>4.72</b>	<b>3.52</b>	<b>Sub-Total (kVA)</b>

		A	B		
		7.94	6.74		
		14.68		<b>Total Connected (kVA)</b>	

Load Description	Connected Load (kVA)		Demand Factor	Demand Load (kVA)	
	A	B		A	B
Rectifiers/Equipment	6.00	6.00	1.00	6.00	6.00
Largest Motor	0.00	0.00	1.25	0.00	0.00
All Other Motors	0.00	0.00	1.00	0.00	0.00
Lighting	0.00	0.00	1.25	0.00	0.00
Duplex Receptacles	0.44	0.44	1.25	0.55	0.55
Total Miscellaneous	1.50	0.30	1.25	0.00	0.38
<b>Total Power per Phase</b>				6.55	6.93
<b>Total Demand Current per Phase</b>				54.58	57.71
<b>Total Demand Power</b>				13.48	
<b>*Generator Load</b>				12.80	

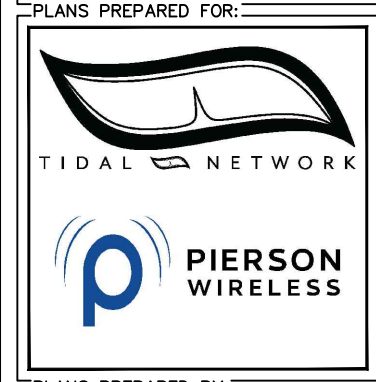
\*Note: Charger load removed and heater load demand demand factor reduced to 1.00 during generator operation.

1  
E5

## PANEL SCHEDULES

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY



PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

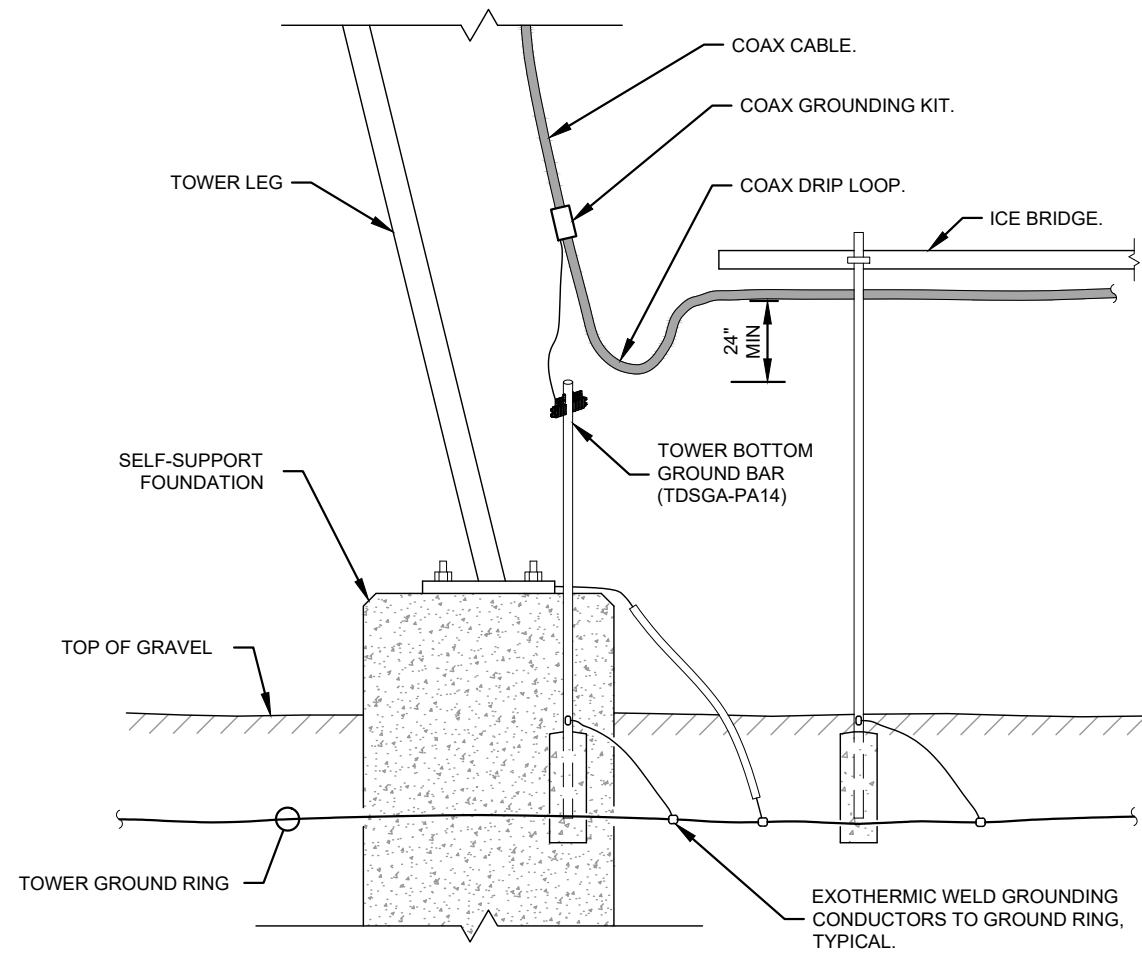
LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

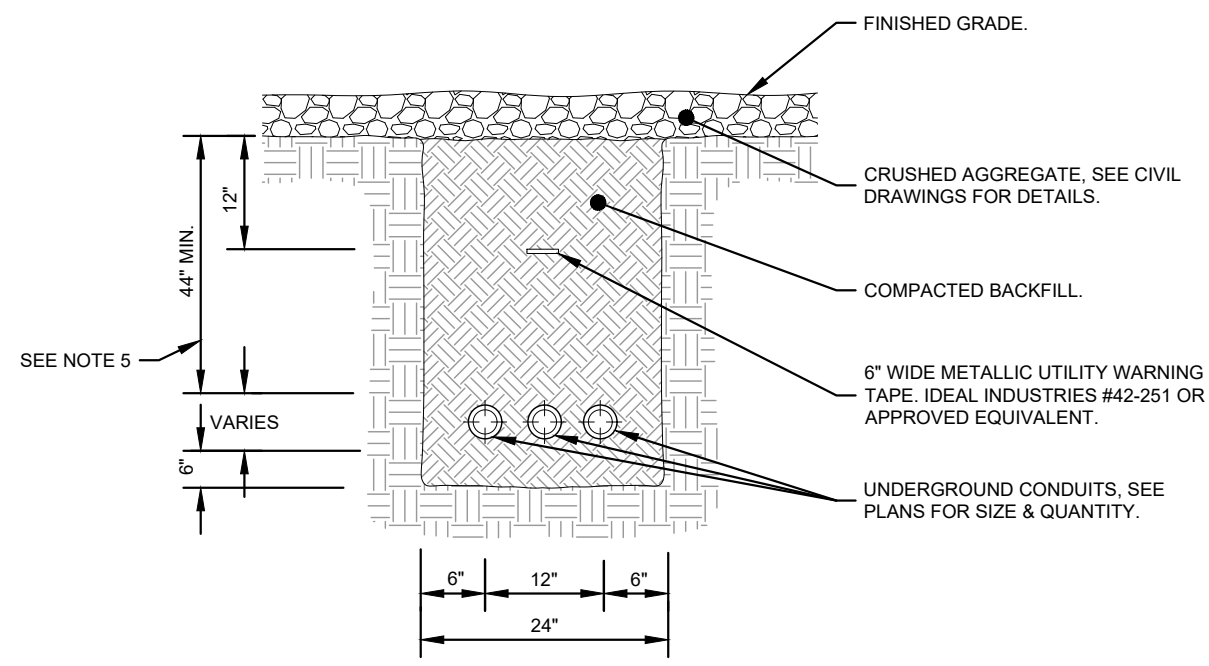
KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 RBV TRN

SHEET TITLE:  
**ELECTRICAL  
 DETAILS**

SHEET NUMBER:  
**E6**



**1** DRIP LOOP DETAIL  
**E6** NOT TO SCALE



**2** TYPICAL TRENCH DETAIL  
**E6** NOT TO SCALE

- NOTES:
1. IF GROUND SURFACE IS OTHER THAN NEWLY GRAVELED AREA. CONTRACTOR IS TO RESTORE TO ORIGINAL CONDITION.
  2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
  3. PROVIDE SCHEDULE 40 OR SCHEDULE 80 PVC CONDUIT & ELBOWS AT STUB UP LOCATIONS (I.E. POLES, EQUIPMENT, ETC.)
  4. PROVIDE SCHEDULE 80 PVC CONDUIT BELOW PARKING LOTS AND ROADWAYS.
  5. PERMAFROST DEPTH ASSUMED TO BE 32". CONTRACTOR TO VERIFY LOCAL PERMAFROST DEPTH AND BURY CONDUITS A MINIMUM OF 12" BELOW PERMAFROST DEPTH.

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

# GROUNDING NOTES

1. THE GROUND RING SHALL CONSIST OF #2 AWG BARE SOLID TINNED COPPER (STC) CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 34" BELOW FINISHED GRADE (OR BELOW FROST LINE). LOCATE 24" MINIMUM AND 36" MAXIMUM FROM EQUIPMENT AREA AND FROM TOWER FOUNDATION. ALL CONNECTIONS SHALL BE MADE USING A PARALLEL TYPE EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
1. INSTALL GROUND RODS AS SHOWN AND AS REQUIRED. GROUND RODS TO BE COPPER CLAD STEEL, 5/8" DIAMETER AND 10FT IN LENGTH. SPACING BETWEEN GROUND RODS SHALL BE 10FT MINIMUM AND 15FT MAXIMUM. TOP OF GROUND ROD TO BE 30" MINIMUM BELOW GRADE (OR BELOW FROST LINE). BOND TOP OF GROUND ROD TO GROUND WIRE WITH EXOTHERMIC WELD. DO NOT EXOTHERMICALLY WELD ANYTHING TO GROUND ROD EXCEPT GROUND WIRE WHICH PASSES OVER TOP OF GROUND ROD (CLAMPED CONNECTIONS TO GROUND ROD PER TOWER MANUFACTURERS DETAILS ARE ACCEPTABLE).
2. EQUIPMENT PLATFORM GROUND RING SHALL HAVE A MINIMUM OF 4 GROUND RODS, INSTALLED AT THE CORNERS OF THE GROUND RING PLUS ADDITIONAL RODS AS REQUIRED TO COMPLY WITH THE SPACING REQUIREMENTS. TOWER GROUND RING SHALL HAVE A MINIMUM OF 3 GROUND RODS, EXCEPT USE 4 RODS AT A MONOPOLE TOWER. WHERE SPREAD TOWER FOOTING WOULD PREVENT GROUND RODS FROM BEING DRIVEN INTO SOIL ADJACENT TO TOWER, PROVIDE VERTICAL 1" DIAMETER PVC SLEEVES EMBEDDED IN FOOTING TO ALLOW INSTALLATION OF GROUND RODS.
3. EQUIPMENT GROUND RING AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH TWO #2 STC GROUND LEADS, TYPICALLY ONE ON EACH SIDE OF ICE BRIDGE.
4. BOND TOWER TO TOWER GROUND RING AT THREE LOCATIONS WITH #2 STC GROUND LEAD. SELF SUPPORT TOWERS SHALL HAVE EACH LEG BONDED TO GROUND RING, MONOPOLES AND GUYED TOWERS SHALL HAVE GROUND LEADS EQUALLY SPACED AROUND TOWER. EXOTHERMICALLY WELD GROUND LEADS TO TOP OF BASE PLATES, OR ATTACH TO TOWER USING TOWER MANUFACTURER PROVIDED DETAIL.
5. PROVIDE #2 STC RADIALS FROM THE TOWER GROUND RING TO EACH FENCE CORNER POST. RADIALS SHALL HAVE GROUND RODS AS PER THE REQUIRED SPACING. THE GROUND ROD AT THE END OF EACH RADIAL SHALL BE 24" MAXIMUM FROM FENCE CORNER POST. EQUIPMENT AREA GROUND RING AND CONNECTING GROUND LEADS (BETWEEN EQUIPMENT AREA AND TOWER GROUND RINGS) MAY BE USED AS PART OF THE RADIAL GOING TO THE FENCE CORNER POSTS TO WHICH THE EQUIPMENT AREA IS CLOSER THAN THE TOWER.
6. MINIMUM BEND RADIUS FOR #2 AWG GROUND WIRE IS 12", EXCEPT USE 24" FOR TOWER GROUND RINGS AND EQUIPMENT PAD GROUND RINGS.
7. GROUND ALL EXTERIOR EXPOSED METAL OBJECTS. USE TWO HOLE LUGS FOR CONNECTION TO FLAT METAL SURFACES. USE ONLY STAINLESS STEEL HARDWARE ON ALL MECHANICAL CONNECTIONS. CLEAN ALL SURFACES (AND STRIP PAINTED SURFACES) TO BARE BRIGHT METAL PRIOR TO MAKING GROUND CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO ALL CONNECTIONS. APPLY ZINC RICH PAINT (COLD GALV.) TO ALL EXOTHERMIC WELDS, AND TO ANY METAL EXPOSED BY CLEANING, STRIPPING, GRINDING, CUTTING OR DRILLING.
8. ALL #2 STC GROUNDING CONDUCTORS ABOVE GRADE SHALL BE RUN IN 3/4" FLEXIBLE PVC CONDUIT. CONDUIT SHALL BEGIN WITHIN 3/4" OF ABOVE GROUND CONNECTION POINT, SHALL EXTEND 24" BELOW GRADE MINIMUM WHERE RUNNING INTO THE GROUND, AND SHALL BE FILLED WITH SEALANT AT ANY ABOVE GROUND CONNECTION POINT. SECURE CONDUIT EVERY 24" ON VERTICAL RUNS AND EVERY 36" ELSEWHERE. THE PORTION OF THE SECURING FASTENER WHICH ENCIRCLES THE GROUNDING CONDUCTOR SHALL BE NON-METALLIC.
9. BOND EACH PLATFORM SUPPORT COLUMN AND EACH STAIR STRINGER / LADDER RAIL TO GROUND RING WITH #2 STC GROUND LEAD. EXOTHERMICALLY WELD #2 STC TO TOP OF COLUMN BASE PLATE OR SIDE OF STRINGER / LADDER RAIL. RUN PVC CONDUIT AND GROUND WIRE ALONG TOP OF FOOTING OR PIER USING SHORTEST PATH TO EDGE OF CONCRETE, AND THEN DOWN TO GROUND RING.
- 11A. AT GUYED AND SELF SUPPORT TOWERS MOUNT TDSGA-PA14 TOWER BOTTOM GROUND BAR ON DEDICATED POST DIRECTLY BELOW COAX CABLES COMING OFF TOWER. POST TO BE 3.5" OD GALVANIZED SCHEDULE 40 PIPE WITH GALVANIZED PIPE CAP. TOP OF POST TO BE 78" ABOVE GRADE. EMBED POST 30" MINIMUM IN 12" DIAMETER BY 36" DEEP MINIMUM CONCRETE FOOTING WITH TOP OF FOOTING 6" BELOW GRADE. IF TOWER FOUNDATION OBSTRUCTS AUGERED FOOTING, USE POST WITH 10" SQUARE GALVANIZED STEEL FLANGE PLATE WELDED TO BOTTOM AND BOLT FLANGE TO TOP OF CONCRETE TOWER FOOTING.
- 11B. AT MONOPOLE TOWERS CLAMP TDSGA-BC14 TOWER BOTTOM GROUND BAR DIRECTLY TO TOWER. IF RUNNING COAX INSIDE MONOPOLE, CLAMP ONTO BOTTOM LIP OF EXIT PORT. IF BANDING COAX TO OUTSIDE OF TOWER, CLAMP ONTO STEEL ANGLE WHICH IS Banded TO TOWER. BOND TDSGA-BC14 TO TOWER GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING.
12. AT EQUIPMENT PLATFORM, MOUNT TDSGA-BC14 MAIN EXTERIOR GROUND BAR TO BOTTOM FLANGE OF PLATFORM PERIMETER BEAM BELOW CABLE LADDER FOR COAX/HYBRID CABLES COMING DOWN FROM ICE BRIDGE. ISOLATE GROUND BAR FROM PLATFORM STEEL. BOND TDSGA-BC14 TO EQUIPMENT PLATFORM GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING. RUN PVC CONDUIT AND GROUND WIRE ALONG BOTTOM OF STEEL BEAM, DOWN STEEL COLUMN AND CONCRETE PIER INTO GRAVEL AREA AND THEN DOWN TO GROUND RING.
13. ALL ICE BRIDGE SECTIONS ARE TO BE JUMPERED TOGETHER WITH #2 WIRE, EITHER BARE TINNED COPPER OR GREEN INSULATED STRANDED. ICE BRIDGE SHALL BE GROUNDED AT EACH END WITH #2 STC WIRE LUGGED TO ICE BRIDGE AND EXOTHERMICALLY WELDED TO UPPER PORTION OF NEAREST ICE BRIDGE POST.
14. BOND EACH ICE BRIDGE POST, H-FRAME POST OR DEDICATED GROUNDING POST TO BURIED GROUNDING SYSTEM WITH #2 STC LEAD EXOTHERMICALLY WELDED TO POST BELOW TOP OF GRAVEL AND EXOTHERMICALLY WELDED TO GROUND RING. EACH POST TO HAVE SEPARATE GROUND LEAD DIRECTLY TO GROUND RING - DO NOT DAISY CHAIN POSTS TOGETHER.
15. BOND EACH RF CABINET TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND TO GROUND BAR. LUG TO CABINET BODY USING LOCATION AT WHICH STUDS ON CABINET CHASSIS HAVE DIRECT GROUND WIRE CONNECTION TO CABINET INTERNAL GROUND BAR. RUN CONDUIT AND CONDUCTOR ACROSS BACK OF CABINET (DO NOT RUN TOWARDS NEAREST CORNER OF CABINET AND THEN BEND GROUND WIRE SHARPLY), DOWN THROUGH PLATFORM GRATING, THEN OVER TO MAIN EXTERIOR GROUND BAR.
16. BOND EACH BATTERY CABINET (WHERE USED) TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND TO GROUND BAR. CONNECT TWO HOLE LUG TO BACK OF CABINET AT FACTORY PROVIDED GROUNDING STUDS. RUN CONDUIT AND CONDUCTOR DOWN THROUGH PLATFORM GRATING, THEN OVER TO MAIN EXTERIOR GROUND BAR.
17. BOND H-FRAME MOUNTED SERVICE DISCONNECT (OR METER BASE) AND INTEGRATED LOAD CENTER TO DEDICATED GROUND ROD(S) OR TO GROUND RING AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS. RUN PVC CONDUIT AND GROUND WIRE ALONG BOTTOM OF PLATFORM, DOWN NEAREST PLATFORM PIER, AND THEN DOWN TO GROUND RING.
18. BOND GENERATOR TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 STC LUGGED TO GENERATOR BODY AND TO GROUND BAR. BOND #2 STC AT TWO DIAGONALLY OPPOSITE LOCATIONS ON GENERATOR BY DRILLING AND BOLTING TWO HOLE LUG TO FINS ON GENERATOR BASE STRUCTURE. RUN CONDUIT AND CONDUCTOR DOWN THROUGH PLATFORM GRATING, THEN OVER TO MAIN EXTERIOR GROUND BAR.
19. WHERE PROPANE TANK IS INSTALLED TO FUEL GENERATOR, BOND PROPANE TANK TO GROUND RING WITH A SINGLE #2 STC CLAMPED TO FILLER PIPE OF PROPANE TANK AND EXOTHERMICALLY WELDED TO GROUND RING. GROUND LEAD SHOULD RUN TO TANK SUPPORT AND TAKE SHORTEST PATH ACROSS CONCRETE PAD OR PLATFORM TO GRAVEL AREA, THEN CONTINUE TO GROUND RING. IF PROPANE TANK FUEL LINE IS METALLIC AND CROSSES EQUIPMENT GROUND RING, BOND FUEL LINE TO EQUIPMENT GROUND RING WHERE THE TWO LINES CROSS WITH A SINGLE #2 STC CLAMPED TO FUEL LINE AND EXOTHERMICALLY WELDED TO GROUND RING.
20. BOND GPS ANTENNA AND GPS ANTENNA MOUNT TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 GREEN INSULATED STRANDED GROUND WIRE.
21. PROVIDE TWO GROUND RODS OUTSIDE GATES OF COMPOUND. DISTANCE BETWEEN GROUND RODS SHALL MATCH WIDTH OF GATE OPENING, AND DISTANCE FROM FENCE SHALL MATCH LENGTH OF LONGEST INDIVIDUAL GATE LEAF. BOND GATE POSTS TOGETHER WITH #2 STC LEAD WHICH RUNS PAST AND CONNECTS TO GROUND RODS OUTSIDE GATES.
22. BOND EACH GATE POST WITH #2 STC TO NEAREST PORTION OF GROUNDING SYSTEM INSIDE COMPOUND.
23. BOND EACH GATE TO GATE POST WITH FLEXIBLE INSULATED OR BRAIDED #4/0 COPPER STRAP. EXOTHERMICALLY WELD STRAP TO BOTH GATE AND GATE POST.
24. ANY METAL FENCE POST WITHIN 6FT OF A GROUNDED METAL OBJECT SHALL BE BONDED TO THE NEAREST GROUND RING. ANY METAL FENCE WITHIN 6FT OF A GROUND RING SHALL HAVE THE LINE POSTS BONDED TO THE GROUND RING AT 20FT MAXIMUM INTERVALS AS MEASURED ALONG THE LENGTH OF THE FENCE.
25. WHERE GROUND BASED RRU'S, RAYCAP OVP'S OR DIPLEXERS ARE INSTALLED AT THE EQUIPMENT AREA, BOND EACH COMPONENT TO NEAREST TDSGA GROUND BAR BELOW THE COMPONENT WITH #2 GREEN INSULATED STRANDED GROUND WIRE. SINGLE HOLE LUG OR RING TYPE CONNECTOR IS SUITABLE FOR CONNECTION TO GROUNDING STUD ON EACH COMPONENT.
26. NOTIFY VZW CM TO INSPECT GROUND RING BEFORE BACKFILLING. CONTRACTOR SHALL HIRE A 3RD PARTY TO PERFORM AN IEEE81 FALL OF POTENTIAL METHOD GROUND TEST. MAXIMUM ALLOWABLE RESISTANCE TO GROUND IS 5 OHMS. PROVIDE ADDITIONAL GROUND SYSTEM COMPONENTS AS REQUIRED TO ACHIEVE THIS VALUE.
27. REFER TO TOWER GROUNDING DIAGRAM AND NOTES FOR GROUND SYSTEM REQUIREMENTS ON THE TOWER.
28. GROUNDING OF ALL ELECTRICAL EQUIPMENT SHALL BE AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



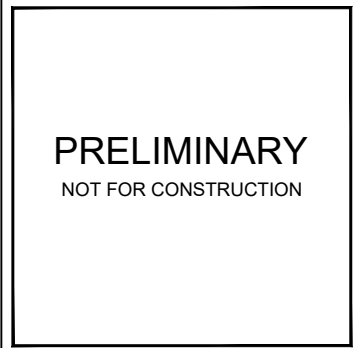
PLANS PREPARED BY:



REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:



KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

SHEET TITLE:

GROUNDING NOTES


SHEET NUMBER:

E7

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CDD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:




PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN






SHEET TITLE:  
**GROUNDING PLAN**

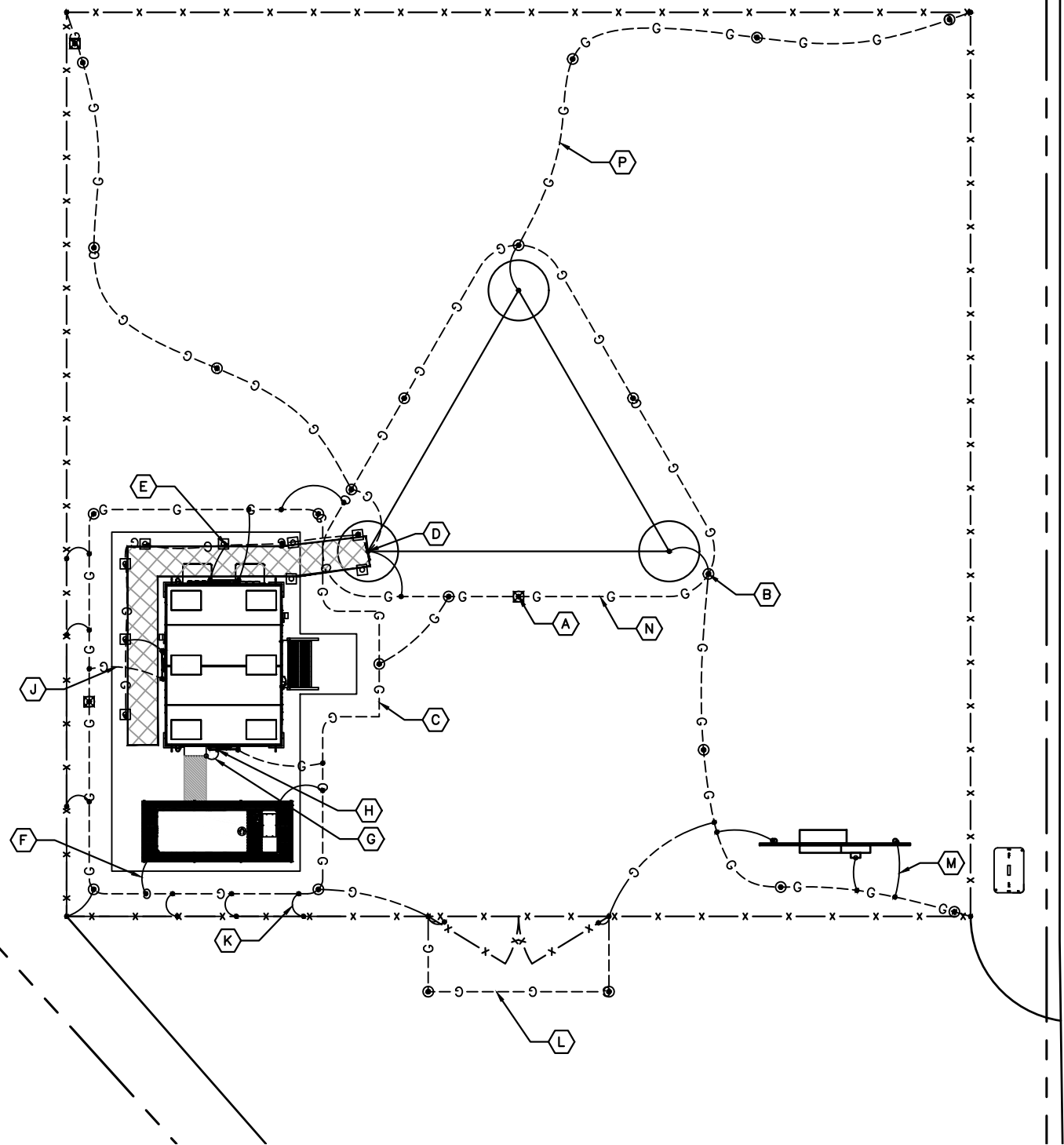
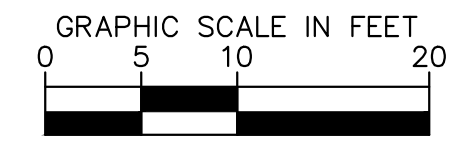
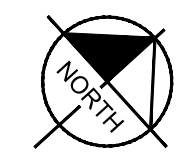
SHEET NUMBER:  
**E8**

**KEY NOTES - GROUNDING EQUIPMENT**

- (A) GROUND ROD TEST WELL (SEE DETAIL 1/E9).
- (B) GROUND ROD, TYPICAL (SEE DETAIL 2/E9).
- (C) TOWER AND EQUIPMENT GROUND RING
- (D) TDSGA-PA14 OR TDSGA-BC14 WHERE APPLICABLE
- (E) ICE BRIDGE POST BOND TO GROUND RING, TYPICAL
- (F) GENERATOR GROUNDING.
- (G) ATS GROUNDING.
- (H) SHELTER PROVIDED GROUND BAR TYPICAL.
- (J) SHELTER GROUNDING.
- (K) FENCE POST GROUNDING, TYPICAL.
- (L) GATE GROUNDING, TYPICAL.
- (M) UTILITY H-FRAME GROUNDING, TYPICAL.
- (N) TOWER GROUNDING, TYPICAL.
- (P) GROUND RADIALS, TYPICAL.
- (Q) REFER TO SHEETS E7, E8, E9, E10 & E11 FOR GROUNDING NOTES, DETAILS, AND SPECIFICATIONS.

**LEGEND:**

-  GROUND RING
-  GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
-  EXOTHERMIC WELD
-  GROUND ROD TEST WELL (SEE DETAIL 1/E10)
-  MECHANICAL CONNECTION



**1**  
**E8**  
**GROUNDING PLAN**

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B	05/20/26	PRELIMINARY	TRN
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

RBV TRN

SHEET TITLE:

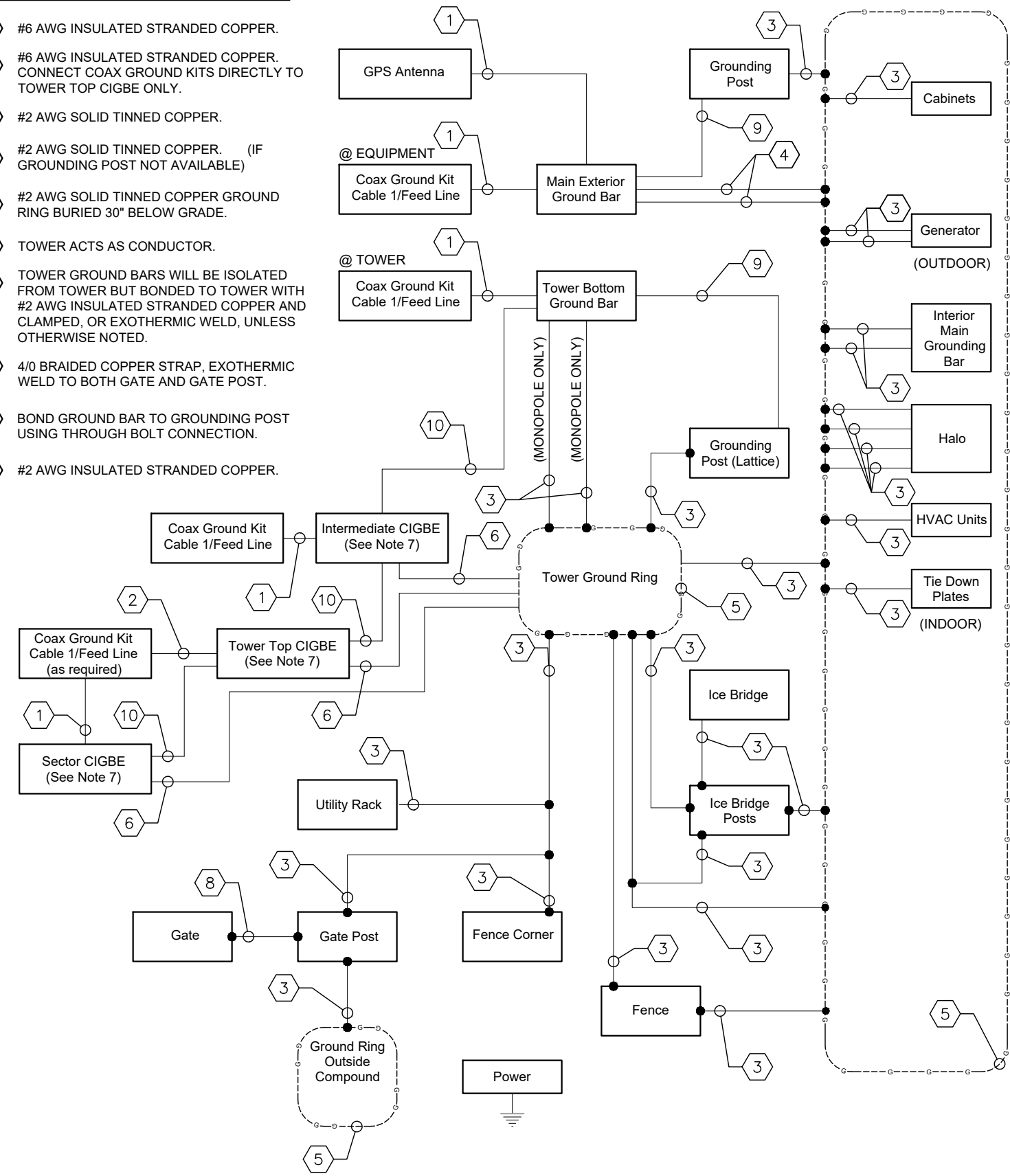
**GROUNDING  
SINGLE LINE  
DIAGRAM**

SHEET NUMBER:

E9

**KEY NOTES - ELECTRICAL EQUIPMENT**

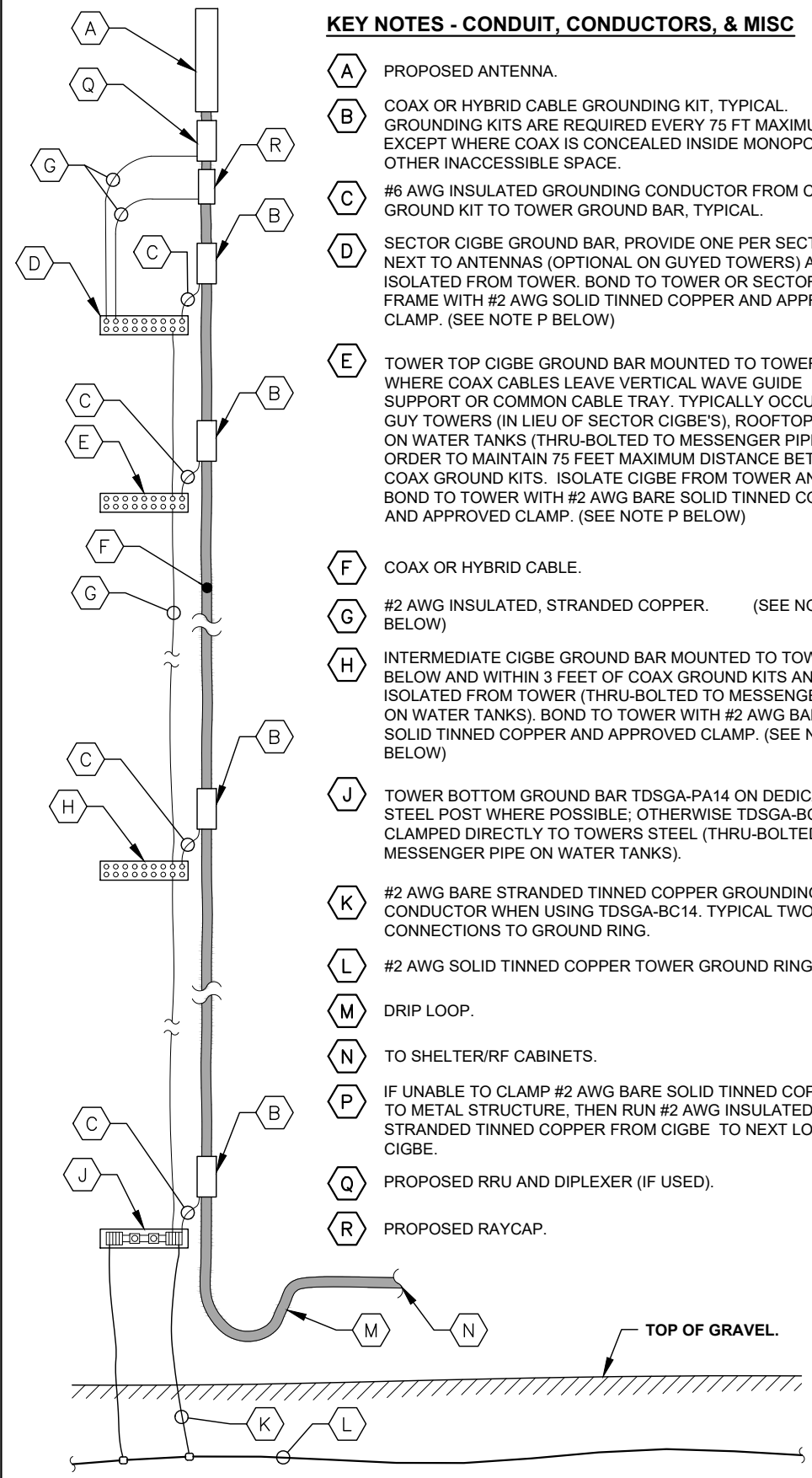
- 1 #6 AWG INSULATED STRANDED COPPER.
- 2 #6 AWG INSULATED STRANDED COPPER. CONNECT COAX GROUND KITS DIRECTLY TO TOWER TOP CIGBE ONLY.
- 3 #2 AWG SOLID TINNED COPPER.
- 4 #2 AWG SOLID TINNED COPPER. (IF GROUNDING POST NOT AVAILABLE)
- 5 #2 AWG SOLID TINNED COPPER GROUND RING BURIED 30" BELOW GRADE.
- 6 TOWER ACTS AS CONDUCTOR.
- 7 TOWER GROUND BARS WILL BE ISOLATED FROM TOWER BUT BONDED TO TOWER WITH #2 AWG INSULATED STRANDED COPPER AND CLAMPED, OR EXOTHERMIC WELD, UNLESS OTHERWISE NOTED.
- 8 4/0 BRAIDED COPPER STRAP, EXOTHERMIC WELD TO BOTH GATE AND GATE POST.
- 9 BOND GROUND BAR TO GROUNDING POST USING THROUGH BOLT CONNECTION.
- 10 #2 AWG INSULATED STRANDED COPPER.



**1 GROUNDING SINGLE LINE DIAGRAM**  
E9 NOT TO SCALE

**KEY NOTES - CONDUIT, CONDUCTORS, & MISC**

- A PROPOSED ANTENNA.
- B COAX OR HYBRID CABLE GROUNDING KIT, TYPICAL. GROUNDING KITS ARE REQUIRED EVERY 75 FT MAXIMUM EXCEPT WHERE COAX IS CONCEALED INSIDE MONOPOLE OR OTHER INACCESSIBLE SPACE.
- C #6 AWG INSULATED GROUNDING CONDUCTOR FROM COAX GROUND KIT TO TOWER GROUND BAR, TYPICAL.
- D SECTOR CIGBE GROUND BAR, PROVIDE ONE PER SECTOR NEXT TO ANTENNAS (OPTIONAL ON GUYED TOWERS) AND ISOLATED FROM TOWER. BOND TO TOWER OR SECTOR FRAME WITH #2 AWG SOLID TINNED COPPER AND APPROVED CLAMP. (SEE NOTE P BELOW)
- E TOWER TOP CIGBE GROUND BAR MOUNTED TO TOWER WHERE COAX CABLES LEAVE VERTICAL WAVE GUIDE SUPPORT OR COMMON CABLE TRAY. TYPICALLY OCCURS ON GUY TOWERS (IN LIEU OF SECTOR CIGBE'S), ROOFTOPS, OR ON WATER TANKS (THRU-BOLTED TO MESSENGER PIPE) IN ORDER TO MAINTAIN 75 FEET MAXIMUM DISTANCE BETWEEN COAX GROUND KITS. ISOLATE CIGBE FROM TOWER AND BOND TO TOWER WITH #2 AWG BARE SOLID TINNED COPPER AND APPROVED CLAMP. (SEE NOTE P BELOW)
- F COAX OR HYBRID CABLE.
- G #2 AWG INSULATED, STRANDED COPPER. (SEE NOTE P BELOW)
- H INTERMEDIATE CIGBE GROUND BAR MOUNTED TO TOWER BELOW AND WITHIN 3 FEET OF COAX GROUND KITS AND ISOLATED FROM TOWER (THRU-BOLTED TO MESSENGER PIPE ON WATER TANKS). BOND TO TOWER WITH #2 AWG BARE SOLID TINNED COPPER AND APPROVED CLAMP. (SEE NOTE P BELOW)
- J TOWER BOTTOM GROUND BAR TDSCA-PA14 ON DEDICATED STEEL POST WHERE POSSIBLE; OTHERWISE TDSCA-BC14 CLAMPED DIRECTLY TO TOWERS STEEL (THRU-BOLTED TO MESSENGER PIPE ON WATER TANKS).
- K #2 AWG BARE STRANDED TINNED COPPER GROUNDING CONDUCTOR WHEN USING TDSCA-BC14. TYPICAL TWO CONNECTIONS TO GROUND RING.
- L #2 AWG SOLID TINNED COPPER TOWER GROUND RING.
- M DRIP LOOP.
- N TO SHELTER/RF CABINETS.
- P IF UNABLE TO CLAMP #2 AWG BARE SOLID TINNED COPPER TO METAL STRUCTURE, THEN RUN #2 AWG INSULATED STRANDED TINNED COPPER FROM CIGBE TO NEXT LOWEST CIGBE.
- Q PROPOSED RRU AND DIPLEXER (IF USED).
- R PROPOSED RAYCAP.



**2 COAX-TOWER GROUNDING SCHEMATIC**  
E9 NOT TO SCALE

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:

SITE NAME:  
PETERSBURG ZONE 01  
SITE No.: PSG-Z01

1200 HAUGEN DRIVE  
PETERSBURG, AK 99833  
PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B			
A	12/16/25	PRELIMINARY	TRN

LICENSER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619024

DRAWN BY: CHECKED BY:

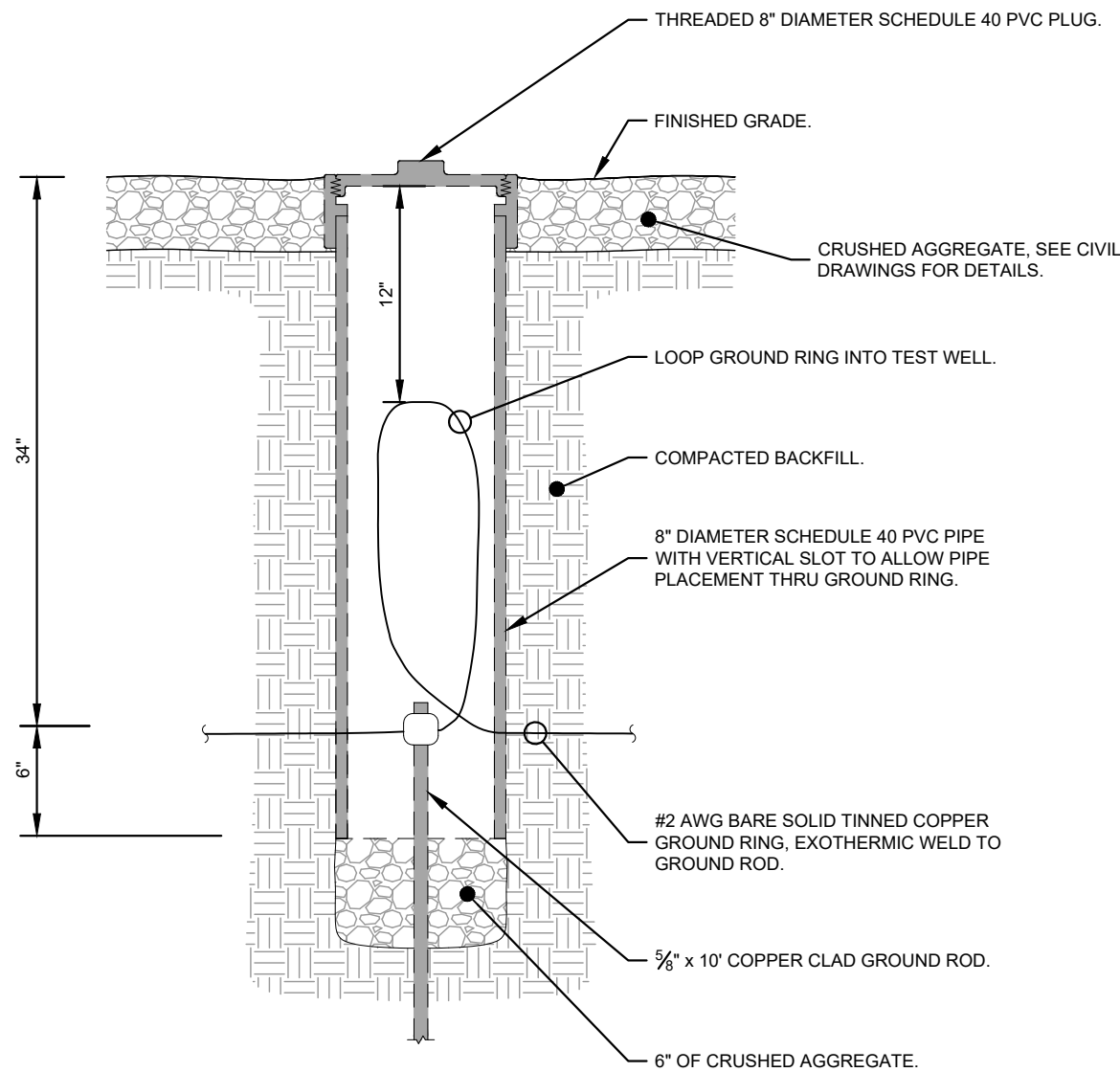
RBV TRN

SHEET TITLE:

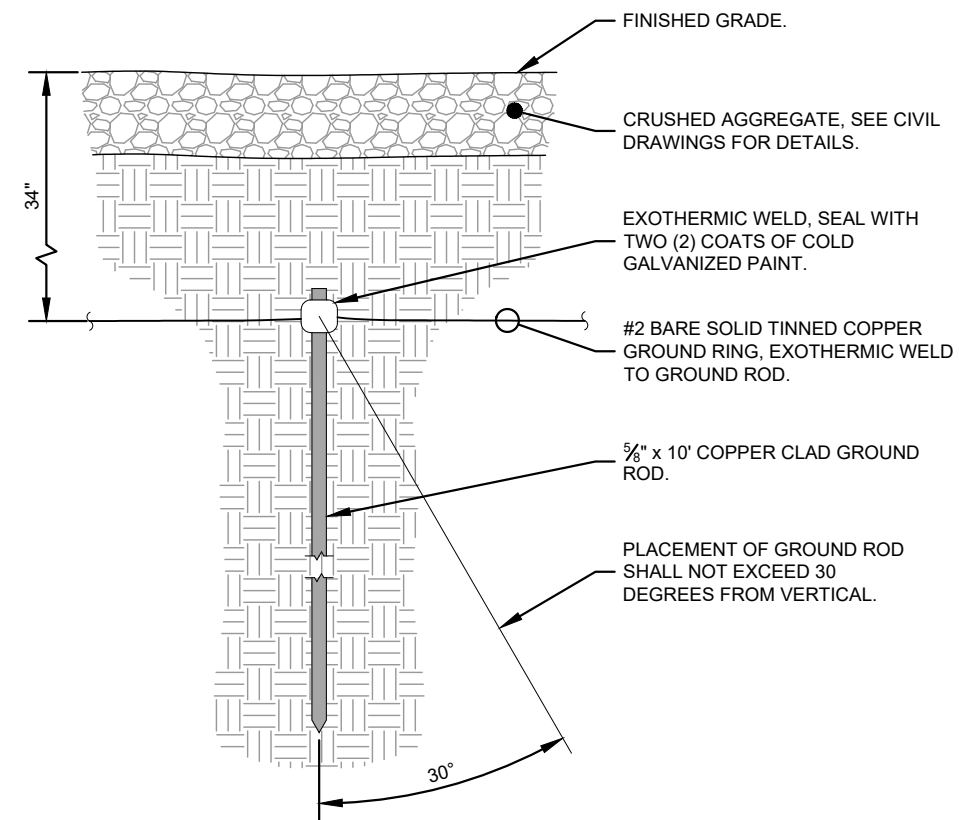
**GROUNDING  
DETAILS**

SHEET NUMBER:

E10



**1** GROUND ROD TEST WELL DETAIL  
E10 NOT TO SCALE




**2** GROUND ROD INSTALLATION DETAIL  
E10 NOT TO SCALE

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 05/21/26 9:17 AM by: John.Little

PROJECT INFORMATION:  
 SITE NAME:  
 PETERSBURG ZONE 01  
 SITE No.: PSG-Z01  
 1200 HAUGEN DRIVE  
 PETERSBURG, AK 99833  
 PETERSBURG COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
B			
A	12/16/25	PRELIMINARY	TRN

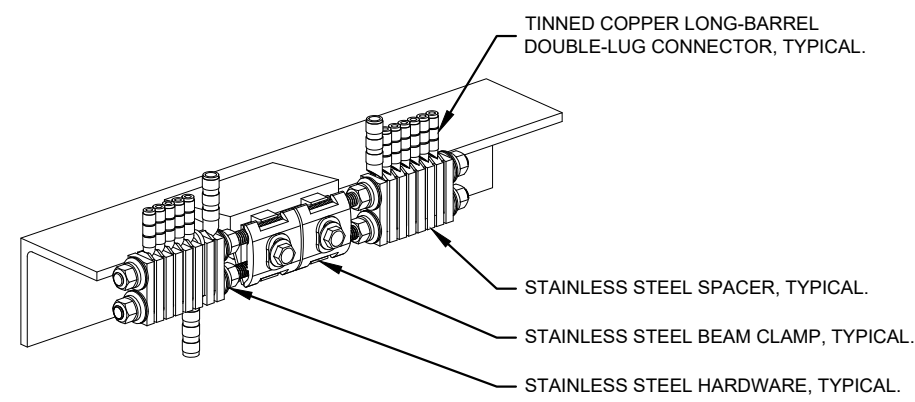
LICENSER:

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

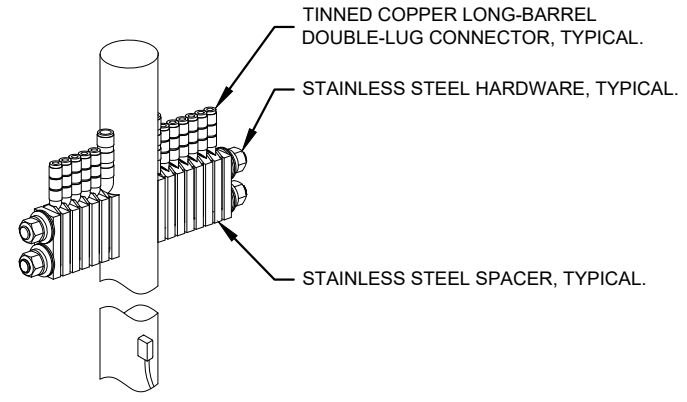
KHA PROJECT NUMBER:  
 017619024  
 DRAWN BY: RBV CHECKED BY: TRN

SHEET TITLE:  
**GROUNDING DETAILS**

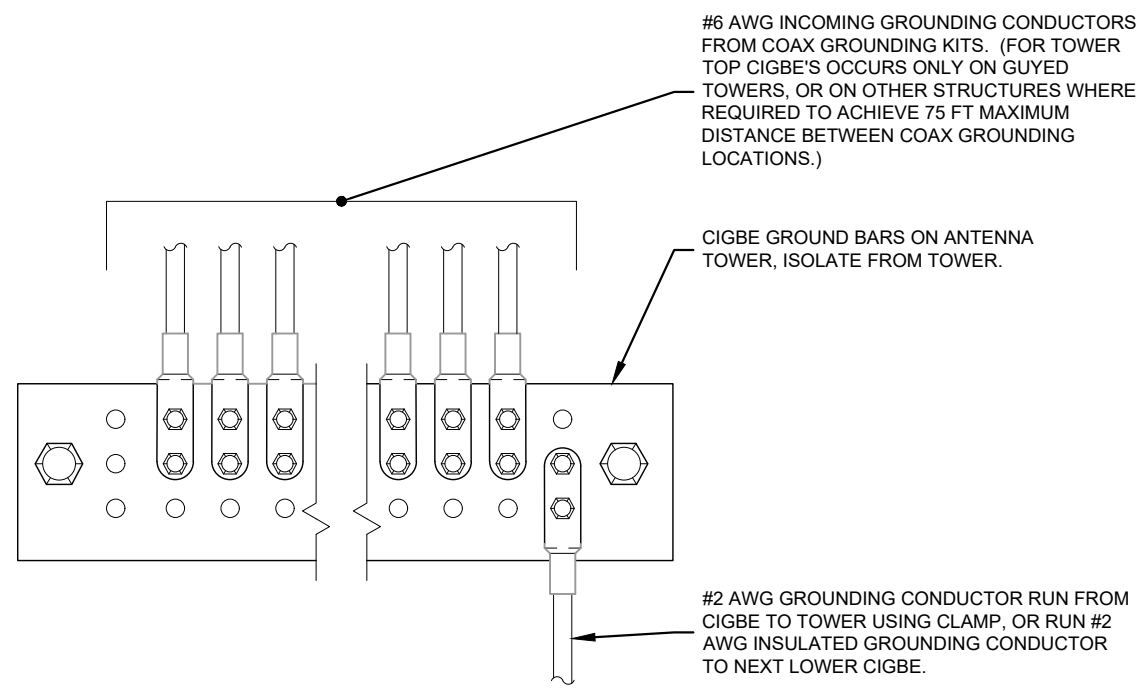
SHEET NUMBER:  
**E11**



**1** BAR NONE GROUNDED BEAM CLAMP (TDSGA-BC14)  
**E11** NOT TO SCALE

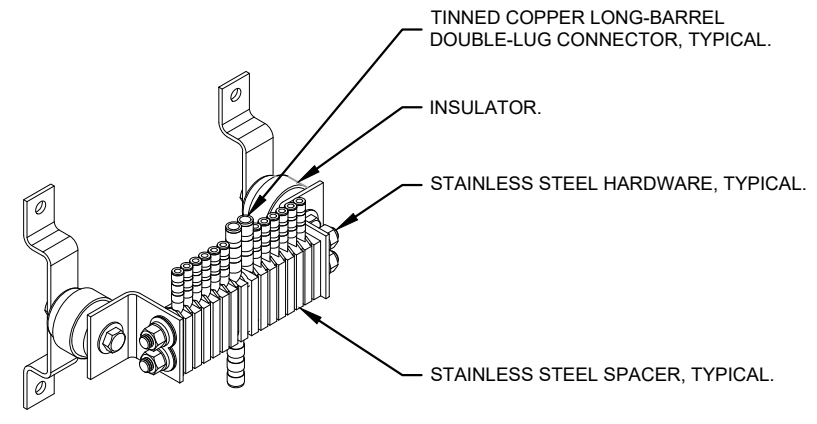


**2** BAR NONE POST MOUNTED (TDSGA-PA14)  
**E11** NOT TO SCALE



**3** ANTENNA GROUND WIRE INSTALLATION DETAIL  
**E11** NOT TO SCALE

- NOTES:
1. ALL CIGBE GROUND BARS ON TOWER ARE TO BE ERICO TDSGA. TYPICALLY USE TDSGA-WB17 ISOLATED FROM UNISTRUT BRACKET.
  2. IF CIGBE CANNOT BE CONNECTED TO TOWER WITH #2 AWG GROUNDING CONDUCTOR, VIA CLAMP OR EXOTHERMIC WELD, THEN RUN #2 AWG BLACK GROUND LEAD FROM CIGBE DOWN TO NEXT LOWER CIGBE. SECURE GROUND LEAD WITH NON-METALIC TIES AT SAME SPACING AS COAX SUPPORTS.



**4** BAR NONE INSULATED (TDSGA-WB17)  
**E11** NOT TO SCALE

k:\atl\_wireless\pierson\_wireless\tidal\_network\petersburg\Zone 1\CAD\CAD\SEAK\_RAWLAND\_CD.dwg ----- 05/21/26 9:17 AM by: John.Little



EXECUTIVE COUNCIL OF THE  
CENTRAL COUNCIL OF THE TLINGIT & HAIDA INDIAN TRIBES OF ALASKA

Resolution EC 26-55

Title: Limited Waiver of Sovereign Immunity Related to Contract of Sale with Petersburg Borough for Parcel Acquisition

WHEREAS, the Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) is a federally recognized tribe with more than 38,000 citizens; and

WHEREAS, pursuant to the Tlingit & Haida Constitution, the Executive Council is the governing body of Tlingit & Haida when the Tribal Assembly is not in session; and

WHEREAS, the Tribal Assembly is not in session; and

WHEREAS, Tlingit & Haida wishes to enter into a Contract of Sale with the Petersburg Borough to purchase an unsubdivided parcel of approximately .23 acres (the "Property") for Tidal Network to install a communications tower for the expansion of fixed wireless broadband (the "Project"); and

WHEREAS, the Contract of Sale requires Tlingit & Haida to grant a limited waiver of sovereign immunity solely to permit an action to be brought against it by the Petersburg Borough in the State of Alaska, located in Petersburg, AK to enforce the Contract of Sale, as set forth in Section 15 therein; and

WHEREAS, Article V, Section 4(a)(2) of Tlingit & Haida's constitution states that waivers of sovereign immunity are "disfavored" and are only to be granted when it is "necessary to secure a substantial advantage or benefit to Tlingit & Haida;"

NOW THEREFORE BE IT RESOLVED, that the Executive Council of the Central Council of Tlingit & Haida Indian Tribes of Alaska hereby determines that the Limited Waiver as described below is necessary to secure a substantial benefit to Tlingit & Haida by enabling the purchase of the Property from the Petersburg Borough to facilitate the expansion of broadband coverage via Tidal Network; and




BE IT FURTHER RESOLVED, that the Executive Council of the Central Council of Tlingit & Haida Indian Tribes of Alaska hereby irrevocably waives its sovereign immunity (and any defense based thereon) solely to the extent expressly set forth herein and for no other purpose, to permit the Petersburg Borough to bring an action in the State Courts of the State of Alaska, located in Petersburg, Alaska, to enforce the Contract of Sale, subject to the following limitations:

1. This Limited Waiver shall survive closing of the sale contemplated by the Contract of Sale, to the extent necessary solely to enforce the provisions of the Contract of Sale;
2. This Limited Waiver is solely in favor of the Petersburg Borough and shall not extend to any other person, agency, or entity;
3. This Limited Waiver does not waive the sovereign immunity of Tlingit & Haida's employees, officers, agents, citizens, and Community Councils;
4. This Limited Waiver is not to be construed as a waiver of or consent to the attachment, execution, levy, encumbrance, or other judicial process upon:
  - a. any real property, or interest in any real property, of Tlingit & Haida or its sub-entities, whether held in fee, in trust for the benefit of Tlingit & Haida or any tribal citizen by the United States, or as restricted fee simple land; provided, however, that solely with respect to the specific Property that is the subject of the Contract of Sale, the Petersburg Borough may seek such judicial relief as is necessary to effectuate, confirm, convey, vest, or record title to the Property in the name of the Borough in accordance with the Contract of Sale. This exception applies only to the Property and does not extend to any other real property of Tlingit & Haida or its sub-entities; or
  - b. any federal, state, or grant funds held, or to be received, by Tlingit & Haida, in trust or otherwise;
5. This Limited Waiver does not entitle or authorize the Petersburg Borough to recover punitive, consequential, incidental, special, or exemplary damages. The Petersburg Borough may seek declaratory relief, injunctive relief, specific performance, damages, and any other rights or remedies available at law or in equity, as may be appropriate to enforce, remedy any breach of, or otherwise give effect to the Contract of Sale, and such remedies shall be cumulative and not exclusive; and
6. Before any action may be filed in a court of competent jurisdiction, Tlingit & Haida and Petersburg Borough shall meet and attempt to resolve any claim(s) through good faith negotiations;

7. No broader waiver than is set out herein shall be implied from this Resolution, the Contract of Sale, or any other document, communication, or conduct.

ADOPTED this 11<sup>th</sup> day of May 2026, by the Executive Council of the Central Council of Tlingit & Haida Indian Tribes of Alaska, by a vote of 5 yeas, 0 nays, 0 abstentions and 1 absence.

CERTIFY

  
\_\_\_\_\_  
President Richard J. Peterson

ATTEST

  
\_\_\_\_\_  
Tribal Secretary Jacqueline L. Pata

### 9.20.050 Notice duties of building official.

The building official, or his designated representative, shall:

- A. Notify in writing the owner, occupant, lessee, mortgagee, agent and all other persons having an interest in any building found by the building official to be a dangerous building within the standards set forth in Section 9.20.010 of this chapter that:
  1. The owner must vacate, or repair, or demolish the building in accordance with the terms of the notice and this chapter,
  2. The occupant or lessee must vacate the building, or may have it repaired in accordance with the notice and remain in possession,
  3. The mortgagee, agent or other person having an interest in the building may, at his own risk, repair, vacate or demolish the building, or have such work or act done;
- B. Set forth in the notice provided for in subsection A of this section a description of the building or structure deemed unsafe, a statement of the particulars which make the building or structure a dangerous building, and an order requiring the same to be put in such condition as to comply with the terms of this chapter within thirty days of the date of notice; provided, however, that any person so notified may petition the city council for a thirty-day extension of time in which to comply with the provision of the notice;
- C. Report to the council any noncompliance with the notice provided for in subsections A and B;
- D. Appear at all hearings conducted by the council, and testify as to the conditions of dangerous buildings;
- E. Place a notice on all dangerous buildings reading as follows:

This building has been found to be a dangerous building by the building official. This notice is to remain on this building until it is repaired, vacated or demolished in accordance with the notice which has been given the owner, occupant, lessee, mortgagee, or agent of this building, and all other persons having an interest in such building. It is unlawful to remove this notice until such notice is complied with.

(Ord. 899 § 3 (part), 2006; Ord. 291 § 5 (part), 1973: prior code § 42.70.040 (part (4—8))



## **NOTICE OF DANGEROUS BUILDING AND ORDER TO VACATE AND REPAIR OR DEMOLISH.**

**Date of Notice:** April 24, 2026,

**Property Address:** 12 S Sing Lee Alley  
**Parcel ID:** 01-007-462

**Property Owner:** ADAMS, JOSHUA  
**Mailing Address:**

Dear Mr. Adams,

An inspection of the above structure by the building official has deemed this structure a dangerous building under PMC 9.20.010, and the structure is further declared to be a public nuisance under PMC Chapter 9.16.

**The building exhibits severe structural instability, characterized by a failed foundation that has subsided to the point where all four walls have sunken below the floor grade. The owner's attempts to stabilize the structure involve makeshift supports and materials—such as a medical backboard, can lids, fish totes, and homemade brackets—that are not compliant with adopted building codes or standard construction practices. Unauthorized excavation has undermined the adjacent public sidewalk, creating an immediate hazard for pedestrians. Moreover, these structural repairs were undertaken without the necessary state or local building permits. Due to these systemic failures and the advanced state of dilapidation, the building official has determined the structure is unfit for human occupancy and poses a direct threat to life, health, and public safety.**

As owner or lessee of the building you are hereby ordered to vacate and repair the building in accordance with terms of this notice.

### **Corrective Action Required:**

1. The building openings must be sealed and secured against unauthorized entry until occupancy is approved by the state fire marshal and this office.
2. The excavation surrounding the building that is undermining the public sidewalk must be filled with D1 base course material and compacted to stabilize the walkway and eliminate the pedestrian hazard.

- 3. Repair of building foundation and walls by a licensed commercial contractor to comply with adopted state and borough building codes.

Corrective action must be completed within thirty days of the date of this notice. If you require additional time to complete the corrective action required, you may appeal to the Borough Assembly for a thirty-day extension.

ISSUED BY: J. Holder ON 4/24/2026

PHONE: 907-772-5410

EMAIL: jholder@petersburgak.gov.

**From:** Architecture of Faith and Historic Preservation <architectureoffaith@gmail.com>  
**Sent:** Friday, May 15, 2026 5:21 AM  
**To:** Assembly <assembly@petersburgak.gov>  
**Subject:** icebreaker homeport

I was in contact with Andrew Mazzella yesterday, and he expressed some measure of petulance over two items:

- A) local regulations/ordinance on data centers
- B) getting Petersburg designated as a homeport for an icebreaker.

Mazzella has big plans to host his dockspace as the homeport for Petersburg, along with setting up a data center. The conversation sounded like an ultimatum, but how feasible would it be for an icebreaker to homeport in Petersburg? The Columbia, at 418 linear feet, has trouble getting docking in our port, and has to do so only during favorable tides. The average icebreaker is from 300 - 450 feet long, so it seems like Petersburg could homeport one of the smaller ones. What would it cost Petersburg to apply for the designation? Wrangell has openly positioned itself as a potential homeport - why shouldn't we?

Joshua Adams  
[architectureoffaith@gmail.com](mailto:architectureoffaith@gmail.com)