

PUTNAM COUNTY BOARD OF COMMISSIONERS



117 Putnam Drive, Suite A ♦ Eatonton, GA 31024

Agenda

Tuesday, February 15, 2022 ♦ 6:30 PM

Putnam County Administration Building – Room 203

Opening

1. Welcome - Call to Order
2. Approval of Agenda
3. Invocation - Rev. Dr. Craig Williamson
4. Pledge of Allegiance (JW)

Zoning Public Hearing

5. Request by Rick McAllister, agent for Shaifer Oconee, LLC, to rezone 3.096 acres on Scott Road from C-PUD to C-2 [Map 102, Part of Parcel 002, District 3] (staff-P&D)
6. Request by Matt Fleming, agent for Carolyn Walton c/o Carol W. Williams, to rezone 32.11 acres on Loch Way from AG to R-1 [Map 095A, Parcel 011, District 2] (staff-CC) **The applicant is requesting to withdraw without prejudice.**
7. Request by Jay V. Dell, agent for 5 Star Pinestraw, LLC, to rezone 1.00 acre on Lakeman Road from C-1 to C-2 [Map 097, Parcel 066001, District 3] (staff-P&D)
8. Request by Jay V. Dell, agent for 5 Star Pinestraw, LLC, to rezone 1.00 acre on Lakeman Road from C-1 to C-2 [Map 097, Parcel 066002, District 3] (staff-P&D)

Regular Business Meeting

9. Public Comments
10. Consent Agenda
 - a. Approval of Minutes - February 4, 2022 Regular Meeting (staff-CC)
 - b. Approval of 2022 Alcohol Licenses (staff-CC)
11. Authorization for Chairman to sign Subdivision Final Plat for Cuscowilla on Lake Oconee - Section H - Spirit Run (staff-P&D)
12. Authorization for Chairman to sign Revised Final Plat for Plantation Pines Business Park Phase 2 (staff-P&D)
13. Discussion and possible action to advertise for bids a new Fire/EMS/Coroner Public Safety Building (staff-CM-Fire)

Reports/Announcements

14. County Manager Report
15. County Attorney Report
16. Commissioner Announcements

Closing

17. Adjournment

The Board of Commissioners reserves the right to continue the meeting to another time and place in the event the number of people in attendance at the meeting, including the Board of Commissioners, staff, and members of the public exceeds the legal limits. The meeting cannot be closed to the public except by a majority vote of a quorum present for the meeting. The board can vote to go into an executive session on a legally exempt matter during a public meeting even if not advertised or listed on the agenda. Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities are required to contact the ADA Compliance Officer, at least three business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.

File Attachments for Item:

5. Request by Rick McAllister, agent for Shaifer Oconee, LLC, to rezone 3.096 acres on Scott Road from C-PUD to C-2 [Map 102, Part of Parcel 002, District 3] (staff-P&D)

Request by Rick McAllister, agent for Shaifer Oconee, LLC to rezone 3.096 acres on Scott Road/Sammons Industrial Parkway from C-PUD to C-2. [Map 102, Part of Parcel 002, District 3].

PLANNING & DEVELOPMENT-LISA JACKSON STAFF RECOMMENDATION:

The applicant is requesting to rezone 3.096 acres of their 161.32-acre lot from C-PUD to C-2. There is an existing local business that would like to purchase the 3.096 acres in hopes of developing a contractor services business. They are proposing to place a warehouse with office space, and outdoor storage for materials and equipment. The intended use is not allowed in the current C-PUD zoning district. However, the proposed use is consistent with the allowed uses, as listed in Sec. 66-106(A) of the C-2 zoning district. Although the Putnam County Comprehensive Future Land Use Plan has this parcel listed as residential use, the entire parent parcel was rezoned to C-PUD in 2020 and the adjacent parcels are identified as commercial and industrial future land use. Therefore, the proposed use is compatible with the nearby and adjacent properties. While the property can be used as it is currently zoned, staff sees no adverse effect that the proposed C-2 zoning would have on the existing use, value, or usability of adjacent or nearby properties. In addition, there is no evidence that the proposed development would cause excessive or burdensome use of public services, nor should it affect police, fire protection, or sewer services.

Staff recommendations is for approval to rezone 3.096 acres on Scott Road from C-PUD to C-2 [Map 102, Part of Parcel 002, District 3].

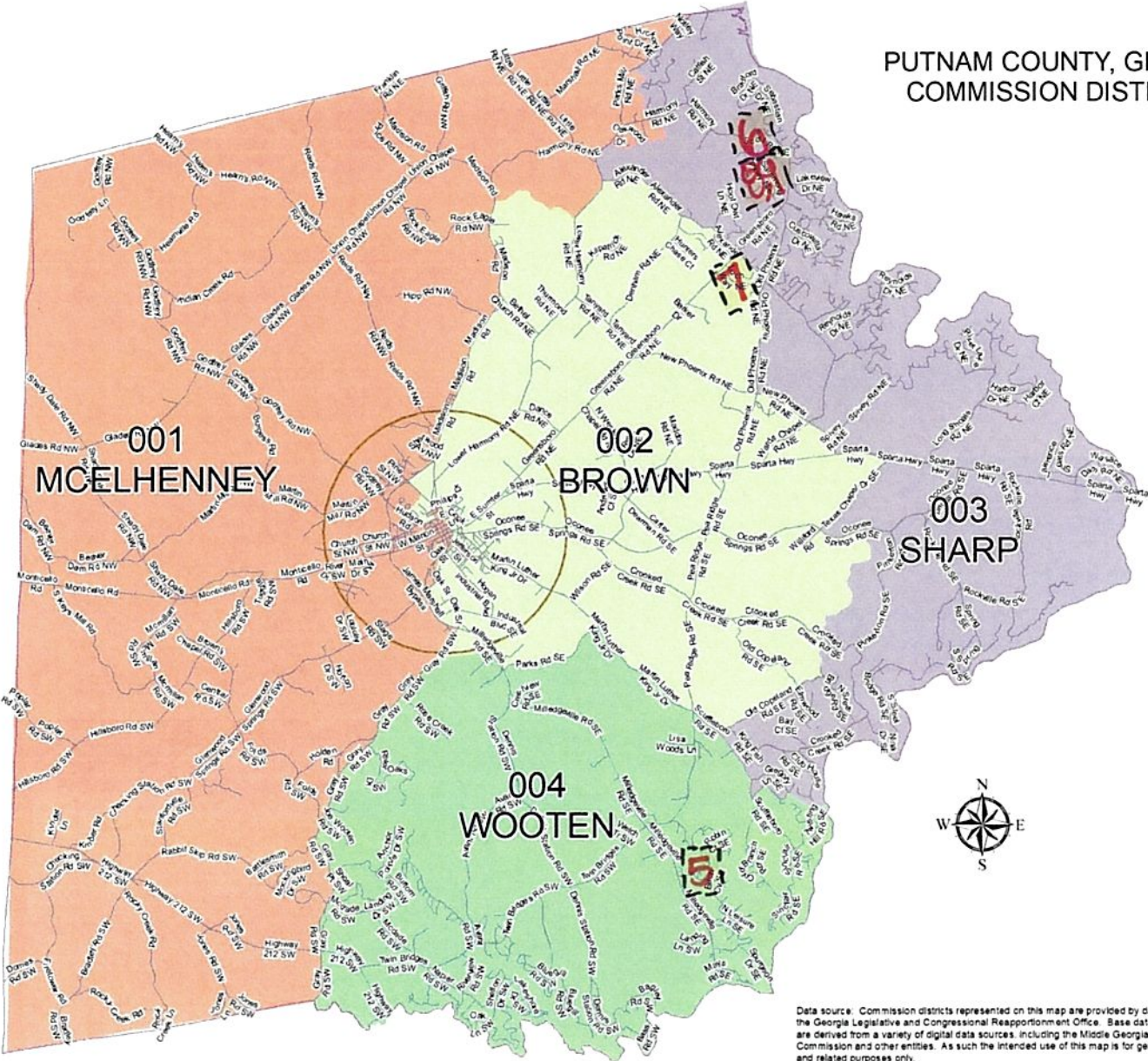


PLANNING & ZONING COMMISSION RECOMMENDATION:

The Planning & Zoning Commission's recommendation is for approval to rezone 3.096 acres on Scott Road from C-PUD to C-2 [Map 102, Part of Parcel 002, District 3].

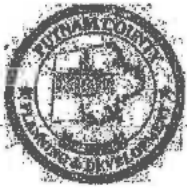
PLANNING & ZONING COMMISSION MINUTES:

PUTNAM COUNTY, GEORGIA
COMMISSION DISTRICTS



MAP SCALE 1" = 5,697.28' SCALE RATIO 1:68,367.34 DATE: JANUARY 2021

5. Request by **Jim Carlisle** for a side yard setback variance at 113 Cherry Point. Presently zoned R-1 [Map 087B, Parcel 197, District 4].
6. Request by **Rick McAllister, agent for Shaifer Oconee, LLC** to rezone 3.096 acres on Scott Road/Sammons Industrial Parkway from C-PUD to C-2. [Map 102, Part of Parcel 002, District 3].*
7. Request by **Matt Fleming, agent for Carolyn Walton c/o Carol W. Williams** to rezone 32.11 acres on Loch Way from AG to R-1. [Map 095A, Parcel 011, District 2].*
8. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066001, District 3].*
9. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066002, District 3].*



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ◊ Eatonton, GA 31024

Tel: 706-485-2776 ◊ 706-485-0552 fax ◊ www.putnamcountyga.us

APPLICATION FOR REZONING

REZONING

PERMIT# PLAN2021-02-130

APPLICATION NO. _____

DATE: 11-24-21

MAP 102 PARCEL 002

ZONING DISTRICT C-3/CPUD C-PUD

1. Owner Name: Shalfer Coonee, LLC

2. Applicant Name (If different from above): Rick McAlister

3. Mailing Address: 1341 Beverly Drive Athens GA 30606

4. Email Address: [REDACTED]

5. Phone: (home) _____ (office) _____ (cell) [REDACTED]

6. The location of the subject property, including street number, if any:
Parcel 102-002 is located along Scott Road and a section which adjoins Sammons Industrial Parkway

7. The area of land proposed to be rezoned (stated in square feet if less than one acre):
3,098 acres

8. The proposed zoning district desired: C-2

9. The purpose of this rezoning is (Attach Letter of Intent)
See attached letter of intent

10. Present use of property: Undeveloped commercial Desired use of property: Contractor business with outdoor storage

11. Existing zoning district classification of the property and adjacent properties:
Existing: C-3/CPUD
North: C-3/CPUD South: C-2 East: C-3/CPUD West: C-2/C-1

12. Copy of warranty deed for proof of ownership and if not owned by applicant, please attach a signed and notarized letter of agency from each property owner for all property sought to be rezoned.

13. Legal description and recorded plat of the property to be rezoned. attached

14. The Comprehensive Plan Future Land Use Map category in which the property is located. (If more than one category applies, the areas in each category are to be illustrated on the concept plan. See concept plan insert.): See attached concept plan

15. A detailed description of existing land uses: Undeveloped Commercial

16. Source of domestic water supply: well _____, community water _____, or private provider* _____.
If source is not an existing system, please provide a letter from provider.



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- 17. Provision for sanitary sewage disposal: septic system , or sewer x. If sewer, please provide name of company providing same, or, if new development, provide a letter from sewer provider.
- 18. Complete attachment of Disclosure of Campaign Contributions Form by the applicant and/or the applicant's attorney as required by the Georgia Conflict of Interest in Zoning Act (O.C.G.A. 36-67A).
- 19. The application designation, date of application and action taken on all prior applications filed for rezoning for all or part of the subject property. (Please attach on separate sheet.)
- 20. Proof that property taxes for the parcel(s) in question have been paid.
- 21. Concept plan.
 - If the application is for less than 25 single-family residential lots, a concept plan need not be submitted. (See attachment.)
 - A concept plan may be required for commercial development at director's discretion
- 22. Impact analysis.
 - If the application is for less than 25 single-family residential lots, an impact analysis need not be submitted. (See attachment.)
 - An Impact analysis (including a traffic study) is required when rezoning from residential zoned or used property to commercial or industrial districts.

THE ABOVE STATEMENTS AND ACCOMPANYING MATERIALS ARE COMPLETE AND ACCURATE. APPLICANT HEREBY GRANTS PERMISSION FOR PLANNING AND DEVELOPMENT PERSONNEL OR ANY LEGAL REPRESENTATIVE OF PUTNAM COUNTY TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE PUTNAM COUNTY CODE OF ORDINANCES.

[Signature] 10.29.21
Signature (Property Owner) (Date)

[Signature]
Signature (Applicant) (Date)

Kimberly V. Baker
Notary Public

Kimberly V. Baker
Notary Public

Office Use		
Paid: \$ <u>275.00</u>	(cash) <u> </u>	(check) <u> </u> (credit card) <input checked="" type="checkbox"/>
Receipt No. <u>102600</u>	Date Paid: <u> </u>	
Date Application Received: <u>11/24/21</u>		
Reviewed for completeness by: <u>CJA</u>		
Date of BOC hearing: <u>1-18-22</u>	Date submitted to newspaper: <u>12-16-21</u>	
Date sign posted on property: <u>12-15-21</u>	Picture attached: yes <u> </u> no <u> </u>	

After recording, return to:
 Blasingame, Burch, Garrard & Ashley, P.C.
 1021 Parkside Commons, Suite 104
 Greensboro, GA 30642
 C/M # 25057-0001 RWS

eFiled & eRecorded
 DATE: 3/12/2021
 TIME: 11:13 AM
 DEED BOOK: 01028
 PAGE: 00738 - 00739
 RECORDING FEES: \$25.00
 TRANSFER TAX: \$1425.00
 PARTICIPANT ID: 1281406978
 CLERK: Trevor J. Addison
 Putnam County, GA
 PT61: 117-2021-000432

LIMITED WARRANTY DEED

STATE OF GEORGIA, GREENE COUNTY

THIS INDENTURE, made this 12th day of March, 2021, between FARMERS AND MERCHANTS BANK, a Georgia banking company, Grantor, as party of the first part (hereinafter called "Grantor") and SHAIKER O'CONNOR, LLC, a Georgia limited liability company, Grantee, as party of the second part (hereinafter called "Grantee").

WITNESSETH:

That the said Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) and other valuable consideration, in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said Grantee, its successors and assigns, all the following described property, to-wit:

All that tract or parcel of land lying and being in Land Lots, 350, 351, 352, 368, 368 & 370 of the 3rd Land District, located in the 389th G.M.D. of Putnam County, Georgia, being known as Tract 1, containing 171.23 acres, more or less, according to that plat of survey for Steve Sammons, dated June 6, 2007, prepared by Ogletree & Chivers Land Surveyors, certified by Phillip H. Chivers, R.L.S. No. 2658, recorded in Plat Book 32, Page 39, in the Office of the Clerk of Superior Court of Putnam County, Georgia, which said plat and the record thereof are incorporated herein for a more complete description.

Prior Deed Reference: Deed Book 806, Pages 433-434, said Clerk's Office.

TO HAVE AND TO HOLD, the said bargained premises, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, its successors and assigns, forever in FEE SIMPLE.

AND the said Grantor, for himself, his successors and assigns, will warrant and forever defend the right and title to the above described property unto the said Grantee, its successors and assigns, against the claims of all persons claiming by, through or under the undersigned.

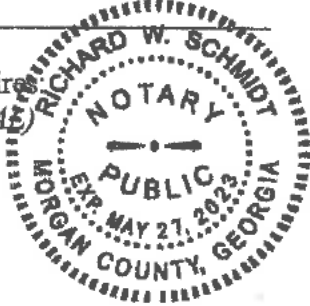
IN WITNESS WHEREOF, the said Grantor has hereunto set its hand and affixed its seal the day and year first above written.

Signed, sealed and delivered
in the presence of:

[Signature]
Unofficial Witness

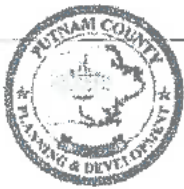
[Signature]

Notary Public
My Commission Expires
(AFFIX NOTARY SEAL)



Farmers and Merchants Bank
a Georgia banking company

BY: [Signature] (SEAL)
William L. Gower, COO



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

LETTER OF AGENCY- Re-Zone of property

WE, THE UNDERSIGNED OWNERS OF REAL PROPERTY LOCATED IN THE CITY OF EATONTON/PUTNAM COUNTY, GEORGIA, HEREBY APPOINT Rick McAllister TO BE MY AGENT FOR THE PURPOSE OF APPLYING FOR Re-Zone of property OF PROPERTY DESCRIBED AS MAP 102 PARCEL 002, CONSISTING OF 3.096 ACRES, WHICH HAS THE FOLLOWING ADDRESS: Frontage on Sammons Industrial Parkway EATONTON, GEORGIA 31024. ATTACHED HERETO IS A COPY OF A DEED AND OR PLAT OF SURVEY DESCRIBING THE PROPERTY OWNED BY THE PROPERTY OWNER(S) TO WHICH THIS LETTER OF AGENCY APPLIES.

THE ABOVE NAMED AGENT HEREBY IS AUTHORIZED TO COMPLETE AND SIGN THE CITY OF EATONTON/PUTNAM COUNTY APPLICATION FOR Re-Zone of property ON OUR BEHALF. WE UNDERSTAND THAT THIS LETTER OF AGENCY WILL BE ATTACHED TO AND MADE PART OF SAID FORM AND WILL BE RELIED UPON BY THE CITY OF EATONTON/PUTNAM COUNTY. FOR AND IN CONSIDERATION OF THE CITY OF EATONTON/PUTNAM COUNTY ACCEPTING THIS LETTER OF AGENCY, WE HEREBY INDEMNIFY AND HOLD HARMLESS THE CITY OF EATONTON/PUTNAM COUNTY AND ITS AGENTS AND/OR EMPLOYEES IN THE EVENT THAT THE ABOVE NAMED AGENT SHOULD MISUSE THIS LETTER OF AGENCY AND WE SUFFER DAMAGES AS A RESULT.

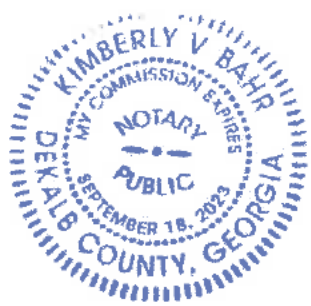
THIS 29th DAY OF October, 2021.

PROPERTY OWNER(S): Shaifer Oconee, LLC
NAME (PRINTED)
[Signature]
SIGNATURE

ADDRESS: 5256 Peachtree Road, Suite 100, Chamblee, GA 30341
PHONE: 404.316.6192

ALL SIGNATURES WERE HEREBY SWORN TO AND SUBSCRIBED BEFORE ME THIS 29 DAY OF October, 2021

Kimberly V. Bahr
NOTARY
MY COMMISSION EXPIRES: 9/18/2023





April 14, 2020

Lisa Jackson
Director
Putnam County Planning & Development
117 Putnam Drive, Suite B
Eatonton, Georgia 31024

Subject: Scott Road Development Re-zoning Application

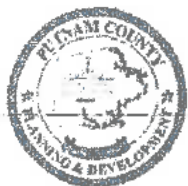
Dear Ms. Jackson:

This letter is to confirm that Piedmont Water Company (PWC) currently has adequate water and sewer capacity to serve the proposed Scott Road development, in accordance with Putnam County requirements. PWC's confirmation is based on the attached Scott Road Development Conceptual Site Plan dated April 1, 2020, with an estimated water and sewer demand of 0.10 MGD at project completion. This availability reflects our current capacity status and is subject to change based on other unforeseen demands in the future.

Please feel free to contact me at 770-255-7984 should you have any questions on this, or any other matter.

Sincerely,

W. J. Matthews
Vice President of Operations



PUTNAM COUNTY PLANNING & DEVELOPMENT

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Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

DISCLOSURE OF APPLICANT'S CAMPAIGN CONTRIBUTION

The Putnam County Code of Ordinances, Section 66-167(c) states as follows:

“When any applicant or his attorney for a rezoning action has made, within two years immediately preceding the filing of that applicant’s application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application, it shall be the duty of the applicant to file a disclosure report with the governing authority of the respective local government showing:

a. The name and official position of the local government official to whom the campaign contribution was made; and

b. The dollar amount and description of each campaign contribution made by the applicant to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution. The disclosures required by this section shall be filed within ten days after an application for the rezoning action is first filed.”

1. Name: _____

2. Address: _____

3. Have you given contributions that aggregated \$250.00 or more within two years immediately preceding the filing of the attached application to a candidate that will hear the proposed application? _____ Yes No If yes, who did you make the contributions to? _____

Signature of Applicant: _____

Date: 10 / 29 / 21

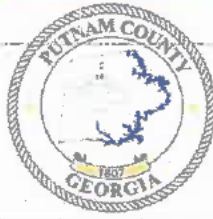
Item# 19 -

Re-zone from R-1 to C3 - August 18, 2020 - see attached letter for BOC (all of property)

Rezone from C-3 to C-2 - September 30, 2021 - Application attached - Pending BOC Approval-
Portion of Tract Only

PUTNAM COUNTY BOARD OF COMMISSIONERS

16



DISTRICT ONE:
KELVIN IRVIN

DISTRICT TWO:
DANIEL W. BROWN

CHAIRMAN:
BILLY WEBSTER

DISTRICT THREE:
B. W. "BILL" SHARP

DISTRICT FOUR:
TREVOR J. ADDISON

August 19, 2020

Rick McAllister
1341 Beverly Drive
Athens, GA 30606

RE: Map 102, Parcel 002

At their August 18, 2020 board meeting, the Putnam County Board of Commissioners considered your request to rezone 171.23 acres on Scott Road from R-1 to C-3. Their decision was **for approval with the following conditions:**

- 1. The developer shall construct a deceleration lane and turn lane in accordance with the Georgia Department of Transportation Regulations for Driveway & Encroachment Control to service the main entrance on Scott Road to the residential portion of the development. Additional right-of-way to accommodate the deceleration lane and a ten-foot shoulder shall be dedicated by the developer to the county. It shall be completed by the developer prior to the completion of phase one, and**
- 2. The developer shall direct construction traffic through the entrance located at Sammons Parkway or the current ingress and egress point servicing the Putnam County Convenience Center, located approximately 672 feet from the intersection of Scott Road and Harmony Road. Subject to this condition, the Planning & Development Director may authorize, in writing, construction traffic along Scott Road on an as necessary basis. The intention of this condition is to minimize construction traffic along Scott Road.**

If you have any questions, please call me at 706-485-1877.

Sincerely,

Lynn Butterworth
County Clerk



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024
Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

APPLICATION FOR REZONING

REZONING

PERMIT# _____

APPLICATION NO. _____

DATE: 9-30-21

MAP 102 PARCEL 002-001

ZONING DISTRICT CPUD

1. Owner Name: BTC COMMERCIAL, LLC

2. Applicant Name (If different from above): Rick McAllister

3. Mailing Address: 1341 Beverly Drive Athens GA 30606

4. Email Address: [REDACTED]

5. Phone: (home) _____ (office) _____ (cell) [REDACTED]

6. The location of the subject property, including street number, if any: Scott Road

7. The area of land proposed to be rezoned (stated in square feet if less than one acre):
9.32 acres

8. The proposed zoning district desired: C-2

9. The purpose of this rezoning is (Attach Letter of Intent)
See attached letter of Intent

10. Present use of property: CPUD- Undeveloped Desired use of property: C-2 Expansion of current business

11. Existing zoning district classification of the property and adjacent properties:

Existing: CPUD
North: C-1 South: C-1 East: CPUD West: C-2

12. Copy of warranty deed for proof of ownership and if not owned by applicant, please attach a signed and notarized letter of agency from each property owner for all property sought to be rezoned.

13. Legal description and recorded plat of the property to be rezoned.

14. The Comprehensive Plan Future Land Use Map category in which the property is located. (If more than one category applies, the areas in each category are to be illustrated on the concept plan. See concept plan insert.): See attached concept plan

15. A detailed description of existing land uses: CPUD- Undeveloped

16. Source of domestic water supply: well _____, community water _____, or private provider _____.
If source is not an existing system, please provide a letter from provider. See Scott Road Application

INTERNET TAX RECEIPT

HARMONY RD

102 002

2020 007168
 FARMERS & MERCHANTS BANK

DESCRIPTION	TAX AMOUNT	EXEMPTION	MILLAGE
FAIR MARKET VALUE	\$643,162		
COUNTY	\$2,078.19	\$0.00	8.078
SCHOOL	\$4,067.58	\$0.00	15.772
SPEC SERV	\$97.25	\$0.00	0.378

ORIGINAL TAX DUE
\$6,233.02
INTEREST
COLLECTION COST
FIFA CHARGE
PENALTY
TOTAL PAID
\$6,233.02
TOTAL DUE
\$0.00

TO FARMERS & MERCHANTS BANK
 5256 PEACHTREE RD
 STE 120
 CHAMBLEE, GA 30341

FROM Putnam County Tax Commissioner
 100 South Jefferson Ave Suite 207
 Eatonton, GA 31024-1061
 (706) 485-5441



Date Paid: 11/6/2020



Scan this code
 with your mobile
 phone to view this
 bill

INTERNET TAX RECEIPT

IMPACT ANALYSIS

Portion of Parcel 102-002 PROPOSED C-2 DEVELOPMENT REZONING REQUEST .



MCALLISTER SITE CONSULTING, LLC
RICK MCALLISTER
1341 BEVERLY DRIVE
ATHENS, GEORGIA 30606
706-206-5030

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Letter of Intent..... Page 3

Impact Study Information Page 4

Traffic Study Attachment

Plat of Property Attachment

Existing Conditions Attachment

Existing ZoningSee Conceptual Site Plan

Conceptual Site Plan Attachment

LETTER OF INTENT – SHAFER OCONEE , LLC
C-2 ZONING REQUEST

The application for rezoning request is for a portion of parcel 102-002. Currently, parcel 102-002 is approximately 160 acres with primary frontage along Scott Road. The parcel was zoned from Residential to Commercial C-3 in August of 2020.

A portion of the parcel fronts Sammons Industrial Parkway. A local existing business would like to purchase 3.096 ac piece of the 102-002 tract. With approximately 300 LF of road frontage along Sammons Industrial Parkway, the request for zoning amendment is limited to a 3.096-acre parcel. The parent parcel is currently zoned CPUD / C-3 and surrounding parcels include C-2 and C-1 zoning.

The intended land use for this property is Contractor Services – General. Currently, CPUD / C3 zoning does not include the intended land use within current Putnam County Ordinance. The intended land use definition from Putnam County Ordinance is noted below:

Sec. 66-20. - Definitions.

means a use engaged in the provision of construction activities, including, but not limited to, plumbing, electrical work, building, grading, paving, roofing, carpentry, landscaping, and other such activities, including the storage of material and equipment in outdoor storage areas.

Sammons Industrial Parkway area includes many Commercial and Industrial uses. Of the existing approximately 48 Parcels fronting Sammons Industrial Parkway, 36% of the land mass is currently zoned I-M, 4% zoned C-1 and 60% zoned C-2.

We appreciate the consideration to promote quality development within Putnam County.

IMPACT ANALYSIS INFORMATION

ITEM #1

Is the proposed use consistent with the stated purpose of the zoning district that is being requested?

The proposed use is consistent with C-2 Zoning

Is the proposed use suitable in view of the zoning and development of adjacent or nearby property?

The proposed use is within Sammons Industrial Park. Similar uses exist within the development.

Will the proposed use adversely affect the existing use, value or usability of adjacent or nearby property?

The proposed use coincides with the mix of existing businesses in the area. All buffer and setbacks will adhere to county standards.

Is the proposed use compatible with the proposed intent of the Comprehensive Plan?

The Putnam County / City of Eatonton 2007-2030 Comprehensive plan prepared by Middle Georgia RDC indicates the future land use as Commercial Use with a section of Industrial Use. The proposed user is a Utility Contractor business which stores equipment and material outdoors. The surrounding area is commercial / Industrial land use.

Are there substantial reasons why the property cannot or should not be used as currently zoned?

The proposed use is not allowed with in CPUD Zoning as a Contractor Services – General business.

Will the proposed use cause an excessive or burdensome use of public facilities or services or exceed the present or funded capabilities, including but not limited to streets, water or sewer utilities and police or fire protection?

The proposed development will incur the cost of constructing access to existing road infrastructure, including sewer and water. Given the proposed use, the demand for water

and septic are low for this type of project. Final plans will meet emergency vehicle equipment circulation requirements.

Is the proposed use supported by new or changing conditions not anticipated by the Comprehensive Plan or reflected in the existing zoning on the property or surrounding properties?

The Sammons Industrial Parkway area has increased in warehouse-based service business land use.

Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, and reasonable private use of the subject property?

The proposed user is the construction arm of the local water and sewer utility provider. A central location within the utility provider area helps speed access to emergency calls that may affect public health. Given the nature of service and contractor companies in the area, the proposed use is reasonable for the property.

ITEM #2 TRAFFIC ANALYSIS – (SEE ATTACHMENT)

ITEM# 3

The conceptual plan is based upon development standards for C-2 Zoning are as follows:

Up to 10K Sf Warehouse / Office space and outdoor storage of materials and equipment.

ITEM #4

Effect on environment surrounding the area:

Natural:

Property is currently undeveloped wooded with topography sloped into 1 drainage corridor. The entire parcel comprises of own watershed directed to existing drainage corridors which eventually flow into proposed storm pond per county standards. A 25' State Waters buffer will be placed on all qualified pond or stream components. Some wetland areas may exist on site and will be delineated by an Environmental Consultant. Wetlands will be mapped, surveyed and protected per environmental guidelines upon development of project areas(s). Source: Putnam County / City of Eatonton 2007-2030 Comprehensive Plan – Wetlands Map 6 Prepared by Middle Georgia RDC

Erosion:

The property is currently in wooded state. Development plans will adhere to State and Local Regulations of Erosion Control and Storm water standards. Source: On site Observation

Historic:

The proposed site has no known or listed Cultural or Historical Resources located on site. Source: Putnam County / City of Eatonton 2007-2030 Comprehensive Plan Cultural and Historical Resources Map 13 prepared by Middle Georgia RDC

ITEM #5

Impact on fire protection – Site will have access to fire hydrant(s)

ITEM #6 – PHYSICAL CHARACTERISTICS OF SITE (SEE ATTACHMENT)

ITEM #7 – ADJACENT AND NEARBY ZONING (SEE CONCEPTUAL PLAN)



SIMONTON
ENGINEERING

SCOTT ROAD DEVELOPMENT

Traffic Impact Study



Paul Simonton
paul@simontoneng.com

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Scott Road Project
C3 Zoning Request
Traffic Impact Study

General

The Scott Road Project is a mixed commercial and residential development with primary use being an assisted living development. The development includes eight commercial sites totaling 29.09 acres, 196 residential units, a 130,000 square foot assisted living facility with an adjacent medical office and hospice site. The remaining land uses at the site include a community park, boat storage, maintenance area and walking/cart path. All of the ancillary uses are considered to be internal use and will only generate minimal external traffic.

Predicted Condition

Trip Generation software by Microtrans will be used to generate average daily traffic plus peak hour enter and exit projections for each use. These projected future flows will be combined with existing counts provided by Putnam County to predict total roadway traffic.

Passer-by traffic, which is generally defined as traffic that is already on the roadway and contained in existing counts but will also be included in projected counts. The percentage of passerby traffic included in the projections will vary by land use. Commercial land use usually has a much higher percentage than residential. Further, since primary use of the site is associated with assisted living, the residential component would be considered a destination site with a minimal reduction for passerby. The following passerby rates will be used for the traffic projection reduction.

Commercial Passerby Rate = 20% reduction

Residential Passerby Rate = 5% reduction

The commercial component of the development will be located directly along Scott Road so 100% of that traffic will enter and exit to and from Scott Road. The balance of the development will have at least two access points; one on Scott Road and one on Sammons Parkway. The traffic split between the two access points will be based on predicted destination. Any traffic predicted with a destination of Greene County or the area of Putnam County between Scott Road and Lake Oconee; will be projected to use the Scott Road access. Traffic predicted to have a destination of Eatonton, Harmony Road area and Milledgeville will be projected to use the Sammons parkway access point.

For the purpose of this impact study, the following access percentages will be used to predict traffic impacts.

Commercial - 100% Scott Road

Residential & Remaining uses – 50% Scott Road

50% Sammons Parkway

The traffic leaving the development will then be split 80% on Scott Road to Hwy 44 and 20% on Scott Road to Harmony Road.

Normally, we would direct a higher percentage of traffic to traffic-signal controlled intersection. Since Putnam County is pursuing a traffic signal at Scott Road, we have split the residential uses equally.

Table 1 below provides a detailed traffic projection that includes the land use, the ITE code used for each, along with average daily volumes plus enter and exit projection for a.m. and p.m. peak. All of these rates are then adjusted for passerby rates.

Table 1

C-2 Tract (10%)

Land Use	ITE Code	Unadjusted					Existing Passer by Reduction Factor	Adjusted Average Daily Volume	Adjusted			
		Average Daily Vol.	Peak Hour PM		Peak AM				Peak Hour PM		Peak AM	
			Enter	Exit	Enter	Exit		Enter	Exit	Enter	Exit	
1 Commercial (8 ea-2.5 acre sites)												
Commercial is external on Scott Rd												
Garden Center (75K sf)	817	2706	0	0	0	0	541	2165	0	0	0	0
Warehousing (75K sf)	150	372	9	25	28	6	74	298	7	21	22	5
Utilities (75K sf)	170	0	26	32	38	23	0	0	21	26	30	18
Specialty retail (50K sf)	814	2216	60	76	0	0	443	1773	48	63	0	0
Furniture (30K sf)	890	152	6	8	4	2	30	122	5	6	3	2
Apparel Store (25K sf)	870	2660	48	48	20	5	392	1328	58	58	16	4
Drug Store (15Ksf)	880	1332	63	66	23	17	266	1086	50	58	18	14
Furniture (50k sf)	890	152	6	8	4	2	30	122	5	6	3	2
Total Commercial		8590	218	264	117	55	1718	6872	174	211	94	44
		4295	109	132	58.5	27.5						
2 Residential												
Courtyard Cottages (50 units)	270	375	20	11	6	20	19	356	19	10	6	19
Dual Cottage Units (82 units)	270	615	33	18	9	33	31	584	31	17	9	31
Patio units (64 Units)	270	480	25	14	7	26	24	456	25	13	7	25
Assisted Living (130,000 SF) (assume 228 beds)	252	793	16	9	9	9	40	753	15	9	9	9
Total Residential		2263	95	52	31	88	113	2150	90	49	29	84
3 Expansion Area	151	179	9	8	8	5	9	170	9	8	8	5
4 Hoopce (10 Units)	254	27	1	1	1	1	1	26	1	1	1	1
5 County Park (7.6 acres)**	412	1.7	0	0	0	0	0	2	0	0	0	0
6 Boat storage (6.89 acres) *	151	134	14	13	11	8	7	127	13	12	10	8
7 Maintenance 4.33 acres)	170	0	3	3	7	4	0	0	3	3	7	4
8 Medical Offices for assisted Living *** (25,000 sf)	720	908	25	68	49	13	45	858	24	65	47	12
Adjusted Peak Hour for AM & PM Traffic									314	343	195	157
Adjusted ADT Addition for Full Development								10204				
Adjusted Peak Hour for AM & PM Traffic Scott Rd									172	271	105	24
Adjusted Peak Hour for AM & PM Traffic Sammons Pkwy									29	28	52	43
Reduction Factors												
A * Assume half of these trips are internal to the development												
B ** Assume 90% is internal to development												
C *** Assumes 50% of traffic is internal												

The projected traffic contained in Table 1 is for a 100% build-out, as can be seen in the attached Development Summary 100% build-out will take 20 years. Based on the information presented in Table 2 below, the first five years of development will generate significantly less traffic than full build.

2- Development Summary

DEVELOPMENT SUMMARY - TOTAL SITE 171.23 ACRES
 BASED ON CONCEPTUAL PLAN DATED APRIL 1, 2020 FOR C-3 ZONING DISTRICT

Description	Area in Acres	Per Zoning C-3 Units / SF	Development in SF or Units				Totals
			Year 2021-2026	Year 2027-2030	Year 2031-2035	Year 2036-2040	
Commercial Sites (8) Total	35.29	12K SF per Acre 423,480	148218 35%	148218 35%	105870 25%	21174 5%	423480 100%
Residential Mixed Units	53	8 Units / AC 424	148.4 35%	148.4 35%	106 25%	21.2 5%	424 100%
Assisted Living / Independent Living / Memory Care	5.82	130,000 +/- SF	100000 76.92%	30000 23.08%			130000 100%
Expansion Area	4.6	25 K SF per Acre 115,000 SF			115000 100%		115000 100%
Hospice Site	2	25 K SF per Acre 50,000 SF	50000 100.00%				50000 100%
Event Space	1			15246 100%			15246 100%
Community Park	7.6		3.3 43.42%	4.3 56.58%			7.6 100%
Boat Storage	6.89		3 43.54%	3.89 56.46%			6.89 100%
Maintenance Area	4.33		4.33 100%				4.33 100%

Utilizing the information contained in Table 2 “Development Summary”, traffic was projected for the first five years of development. Consideration of the first five year development along with the existing condition of the transportation system provides the impacts that would be experienced at initial development. If the traffic signal at the intersection of Hwy 44 and Scott Road is installed in the future, the overall impact of the development and the traffic environment will change and should warrant further study of the traffic at that time.

Table 3 below presents the short-term traffic impacts of the development on the transportation system as it exist at the time of this study.

(See next page)

Table 3

Land Use	ITE Code	Adjusted Average Daily Volume	First Five years adjusted			
			Peak Hour PM		Peak AM	
			Enter	Exit	Enter	Exit
1 Commercial (8 ea-2.5 acre sites)						
assumes 12,000sf building for each use						
Commercial is external on Scott Rd						
Garden Center (75K sf)	817	758	0	0	0	0
Warehousing (75K sf)	150	104	3	7	8	2
Utilities (75K sf)	170	0	7	9	11	6
Specialty retail (50K sf)	814	620	17	21	0	0
Furniture (30K sf)	890	43	2	2	1	1
Apparel Store (25K sf)	870	465	13	13	6	1
Drug Store (15Ksf)	880	373	18	18	6	5
Furniture (50k sf)	890	43	2	2	1	1
Total Commercial		2405	61	74	33	15
2 Residential						
Courtyard Cottages (50 units)	270	125	7	4	2	7
Dual Cottage Units (82 units)	270	204	11	6	3	11
Patio units (64 Units)	270	160	9	5	2	9
Assisted Living (130,000 SF) (assume 228 beds)	252	264	5	3	3	3
Total Residential		752	32	17	10	29
3 Expansion Area	151					
4 Hospice (10 Units)	254	26	1	1	1	1
5 County Park (7.6 acres)**	412	2	0	0	0	0
6 Boat storage (6.89 acres) *	151	127	13	12	10	7
7 Maintenance (4.33 acres)	170	0	3	3	6	4
8 Medical Offices for assisted living *** (25,000 sf)	720	858	23	61	44	12
Total AM & PM Peak Hour ADT addition for the first five year development			131	168	104	68
Adjusted Peak Hour AM & PM Peak Hour Scott Rd			91	117	65	39
Adjusted Peak Hour for AM & PM Traffic Sammons Pkwy			40	51	40	29

C-2 Tract (10%)

- Reduction Factors**
- A * Assume half of these trips are internal to the development
 - B ** Assume 90% is internal to development
 - C *** Assumes 50% of traffic is internal

Based on the information presented previously in this report, the short term impacts to the local roadway are as follows for peak hour.

Total traffic impacts on Scott Road

Average Daily Traffic: 2406 vehicles per day
Peak Hour Enter (PM) 91 vehicles per hour
Peak Hour Exit (PM) 117 vehicles per hour
Total Peak Hour: 208 vehicles per hour two way on Scott Road

By taking this information then splitting the predicted traffic as 80% right turn on Scott to Hwy 44, then 20% left on Scott road to Harmony Road the impacts would be in accordance with the following Table.

Exiting Traffic Split Prediction

Traffic Impacts	Total	Left turn Scott Rd. to Harmony	Right Turn Scott Rd to Hwy 44
ADT	2406	481	1924
Peak Hour Exit	117	23	94

Sammons Parkway

Average Daily: 882 vehicles per day ADT
Total Peak Hour: 51 vehicles per hour

Using the above information the split for the Sammons Parkway access point is projected in the table below.

Exiting Traffic Split Sammons Parkway

Traffic Impact	Total	Left turn to Harmony Road	Right turn to Harmony Road
ADT	882	706	176
Peak Hour Exit	51	41	10

Existing Traffic

Examination of the existing traffic counts, provided by Putnam County, the West bound ADT is 1615 vehicles per day and the East Bound ADT is 1640 vehicles per day. The information also revealed that peak hour counts for the Scott Road and Hwy 44 occurs from 15:00 to 16:00 (3:00 pm to 4:00 pm). During this peak hour period the two-way traffic on Scott Road and on Hwy 44 is shown in Table 4 below.

Table 4 (2019 Counts)

Time	Scott Road West	Scott Road East	Two Way Totals	Hwy 44 North	Hwy 44 South	Two Way Totals	Total Both roads
7:00 to 8:00	93	125	218	517	397	914	1132
8:00 to 9:00	77	146	223	690	413	1103	1326
9:00 to 10:00	93	146	239	558	468	1026	1265
10:00 to 11:00	91	115	206	499	500	999	1205
11:00 to 12:00	111	116	227	537	532	1069	1296
12:00 to 13:00	130	133	263	548	617	1165	1428
13:00 to 14:00	136	133	269	583	591	1174	1443
14:00 to 15:00	142	122	264	584	661	1245	1509
15:00 to 16:00	175	124	299	558	722	1280	1579
16:00 to 17:00	161	116	277	469	774	1243	1520
17:00 to 18:00	111	117	228	530	749	1279	1507
18:00 to 19:00	107	61	168	354	438	792	960

Conclusion and recommendations

Using the above information and combining the existing and projected traffic, the impacts to the Scott Road/Hwy 44 intersection can be evaluated. Information presented in the following table combines the existing 2019 peak hour traffic with the predicted development peak hour traffic in the first five years.

Combined Existing + Projected Scott Road Peak Four Hour Traffic

Time	Existing	Projected	Combined	Existing	Projected	Combined
	Scott Rd	Scott Road	Scott Rd	Scott Rd	Scott Rd	Scott Rd
	West Bd	West Bd	West Bd	East Bd	East Bd	East Bd
14:00 to 15:00	142	65	207	122	72	194
15:00 to 16:00	175	91	266	124	117	241
16:00 to 17:00	161	74	235	116	68	184
17:00 to 18:00	111	51	162	117	69	186

As can be seen, the traffic impact as a result of the rezoning of the tract on Scott Road increases traffic, on Scott Road, by a total of 2,406 two-way trips per day or a peak hour for existing and proposed of 507 pcph. The 2,000 Highway Capacity Manual suggest the capacity of two lane, two-way highways to be 3,400 passenger cars per hour (pcph) for both directions and 1,700 pcph for one direction. As stated in the terminology, this capacity would be for a highway operating at it maximum capacity. A two-lane local street will generally have a peak hour capacity of 1,000 vehicles per hour with an acceptable livability that is more desirable. These identified capacities are normally associated with a 24' wide roadway with either curb and gutter or five (5') shoulders and acceptable clear zone geometrics beyond the shoulder. Scott Road is a 20' roadway with narrow shoulders and does not meet the roadway width shown above, however the projected hourly demand is 507 vehicles per hour . In order to determine the true impact of the development on Scott Road, we used McTrans software to prepared a two lane roadway capacity evaluation to determine the Level of Service (LOS) on Scott Road under existing conditions, first five year development and under full development. The LOS in the existing and first five years development scenarios is LOS C, so it can be concluded that the existing roadway is adequate for the immediate projected traffic. At full twenty year development the LOS on Scott road does go to LOS D. The detailed reports can be found in **Appendix A** to this report.

We are aware of the effort by Putnam County to permit a traffic signal at the intersection of Scott Road and Hwy 44. If this happens the future impacts to Scott road as a result of the new signal will be significant; much higher than the projected 4.7% annual increase included in the report

supplied by Putnam County. Currently, east bound traffic on Harmony Road turning left onto Hwy 44 will continue to the signal at Harmony Road and Hwy 44 to turn left on a protected arrow. If the signal is installed at Scott Road and Hwy 44 the Greene County bound traffic will likely take Scott Road to get to Hwy 44. This action will have a much bigger impact on Scott Road and Hwy 44 intersection than the proposed development.

To help meet the future needs the developer should plan a deceleration lane and left turn lane at the main intersection of the development and Scott Road. In addition, the Sammons Parkway intersection should be improved to encourage more traffic to utilize that access point.

As can be seen earlier in this report the projected impact to Harmony Road via Sammons Parkway is 882 ADT and 49 peak hour vehicles. Approximately 80% of this traffic will travel through the Harmony Road/Hwy 44 intersection. So, the impact of the development traffic at that intersection is an ADT of 706 vehicles per day or peak hour of 39 vehicles per hour. Based on the study provided by Putnam County the current peak hour traffic Eastbound on Harmony Road is 381 vehicles and the total twelve hour, two way traffic is 3,278 vehicles. Based on this information Harmony Road is currently operating at or near capacity, however the total contributed from the development has a minimal impact and will not change the level of service on the roadway or the intersection. The installation of the signal at the Scott Road/Hwy 44 intersection will have a larger impact on the Harmony Road.

If the project is rezoned and development moves forward a much more comprehensive traffic impact study should be undertaken in conjunction with Putnam County to provide direction for the future. The impacts of the action of both entities should be considered in planning any improvements in the area.

Appendix A
Roadway Capacity Analysis

Phone:
E-Mail:

Fax:

Directional Two-Lane Highway Segment Analysis Existing

Analyst Paul Simonton
 Agency/Co. Simonton Engineering
 Date Performed 3/22/2020
 Analysis Time Period 15:00 to 16:00
 Highway Scott Road
 From/To Harmony Road to Hwy 44
 Jurisdiction Putnam County
 Analysis Year 2020
 Description DR for Scott Road development

Input Data

Highway class	Class 2	Peak hour factor, PHF	0.88
Shoulder width	2.0 ft	% Trucks and buses	4 %
Lane width	11.0 ft	% Trucks crawling	0.0 %
Segment length	1.1 mi	Truck crawl speed	0.0 mi/hr
Terrain type	Rolling	% Recreational vehicles	4 %
Grade: Length	- mi	% No-passing zones	80 %
Up/down	- %	Access point density	4 /mi

Analysis direction volume, Vd 175 veh/h
 Opposing direction volume, Vo 175 veh/h

Average Travel Speed

Direction	Analysis (d)	Opposing (o)
PCE for trucks, ET	2.3	2.3
PCE for RVs, ER	1.1	1.1
Heavy-vehicle adj. factor, (note-5) fHV	0.947	0.947
Grade adj. factor, (note-1) fg	0.75	0.75
Directional flow rate, (note-2) vi	280 pc/h	280 pc/h

Free-Flow Speed from Field Measurement:

Field measured speed, (note-3) S FM - mi/h
 Observed total demand, (note-3) V - veh/h

Estimated Free-Flow Speed:

Base free-flow speed, (note-3) BFFS 45.0 mi/h
 Adj. for lane and shoulder width, (note-3) fLS 3.0 mi/h
 Adj. for access point density, (note-3) fA 1.0 mi/h

Free-flow speed, FFSD 41.0 mi/h

Adjustment for no-passing zones, fnp 3.3 mi/h
 Average travel speed, ATSD 33.4 mi/h
 Percent Free Flow Speed, PFFS 81.4 %

Percent Time-Spent-Following

Direction	Analysis (d)	Opposing (o)
PCE-for-trucks,-ET-	1.8	1.8
PCE for RVs, ER	1.0	1.0
Heavy-vehicle adjustment factor, fHV	0.969	0.969
Grade adjustment factor, (note-1) fg	0.80	0.80
Directional flow rate, (note-2) vi	257 pc/h	257 pc/h
Base percent time-spent-following, (note-4) BPTSFD	27.9 %	
Adjustment for no-passing zones, fnp	58.9	
Percent time-spent-following, PTSFD	57.3 %	

Level of Service and Other Performance Measures

Level of service, LOS	C	
Volume to capacity ratio, v/c	0.12	
Peak 15-min vehicle-miles of travel, VMT15	55	veh-mi
Peak-hour vehicle-miles of travel, VMT60	193	veh-mi
Peak 15-min total travel time, TT15	1.6	veh-h
Capacity from ATS, CdATS	1673	veh/h
Capacity from PTSF, CdPTSF	1700	veh/h
Directional Capacity	1700	veh/h

Passing Lane Analysis

Total length of analysis segment, Lt	1.1	mi
Length of two-lane highway upstream of the passing lane, Lu	-	mi
Length of passing lane including tapers, Lpl	-	mi
Average travel speed, ATSD (from above)	33.4	mi/h
Percent time-spent-following, PTSFD (from above)	57.3	
Level of service, LOSd (from above)	C	

Average Travel Speed with Passing Lane

Downstream length of two-lane highway within effective length of passing lane for average travel speed, Lde	-	mi
Length of two-lane highway downstream of effective length of the passing lane for average travel speed, Ld	-	mi
Adj. factor for the effect of passing lane on average speed, fpl	-	
Average travel speed including passing lane, ATSp1	-	
Percent free flow speed including passing lane, PFFSp1	0.0	%

Percent Time-Spent-Following with Passing Lane

Downstream length of two-lane highway within effective length of passing lane for percent time-spent-following, Lde	-	mi
Length of two-lane highway downstream of effective length of the passing lane for percent time-spent-following, Ld	-	mi
Adj. factor for the effect of passing lane on percent time-spent-following, fpl	-	
Percent time-spent-following including passing lane, PTSFpl	-	%

Level of Service and Other Performance Measures with Passing Lane

Level of service including passing lane, LOSpl	A	
Peak 15-min total travel time, TT15	-	veh-h

Bicycle Level of Service

Posted speed limit, Sp	45
Percent of segment with occupied on-highway parking	0
Pavement rating, P	3
Flow-rate-in-outside-lane, VOL	198.9
Effective width of outside lane, We	13.00
Effective speed factor, St	4.42
Bicycle LOS Score, BLOS	5.15
Bicycle LOS	E

Notes:

1. Note that the adjustment factor for level terrain is 1.00, as level terrain is one of the base conditions. For the purpose of grade adjustment, specific downgrade segments are treated as level terrain.
2. If v_i (v_d or v_o) $\geq 1,700$ pc/h, terminate analysis-the LOS is F.
3. For the analysis direction only and for $v > 200$ veh/h.
4. For the analysis direction only.
5. Use alternative Exhibit 15-14 if some trucks operate at crawl speeds on a specific downgrade.

Phone: Fax:
E-Mail:

Directional Two-Lane Highway Segment Analysis First Five Years

Analyst Paul Simonton
Agency/Co. Simonton Engineering
Date Performed 3/22/2020
Analysis Time Period 15:00 to 16:00
Highway Scott Road
From/To Harmony Road to Hwy 44
Jurisdiction Putnam County
Analysis Year 2020
Description DR for Scott Road development

Input Data

Highway class	Class 2	Peak hour factor, PHF	0.88	
Shoulder width	2.0 ft	% Trucks and buses	4	%
Lane width	11.0 ft	% Trucks crawling	0.0	%
Segment length	1.1 mi	Truck crawl speed	0.0	mi/hr
Terrain type	Specific Grade	% Recreational vehicles	4	%
Grade: Length	0.25 mi	% No-passing zones	80	%
Up/down	3.0 %	Access point density	4	/mi

Analysis direction volume, Vd 255 veh/h
Opposing direction volume, Vo veh/h

Average Travel Speed

Direction	Analysis (d)	Opposing (o)
PCE for trucks, ET	2.3	1.3
PCE for RVs, ER	1.1	1.0
Heavy-vehicle adj. factor, (note-5) fHV	0.947	0.988
Grade adj. factor, (note-1) fg	0.87	1.00
Directional flow rate, (note-2) vi	352 pc/h	370 pc/h

Free-Flow Speed from Field Measurement:

Field measured speed, (note-3) S FM - mi/h
Observed total demand, (note-3) V - veh/h

Estimated Free-Flow Speed:

Base free-flow speed, (note-3) BFFS 60.0 mi/h
Adj. for lane and shoulder width, (note-3) fLS 3.0 mi/h
Adj. for access point density, (note-3) fA 1.0 mi/h

Free-flow speed, FFSd 56.0 mi/h

Adjustment for no-passing zones, fnp 2.9 mi/h
Average travel speed, ATSD 47.5 mi/h
Percent Free Flow Speed, PFFS 84.8 %

Percent Time-Spent-Following

Direction	Analysis (d)	Opposing (o)
PCE-for-trucks, ET	1.0	1.1
PCE for RVs, ER	1.0	1.0
Heavy-vehicle adjustment factor, fHV	1.000	0.996
Grade adjustment factor, (note-1) fg	0.97	1.00
Directional flow rate, (note-2) vi	298 pc/h	367 pc/h
Base percent time-spent-following, (note-4) BPTSFD	34.5 %	
Adjustment for no-passing zones, fnp	50.0	
Percent time-spent-following, PTSFD	56.9 %	

Level of Service and Other Performance Measures

Level of service, LOS	C
Volume to capacity ratio, v/c	0.18
Peak 15-min vehicle-miles of travel, VMT15	80 veh-mi
Peak-hour vehicle-miles of travel, VMT60	281 veh-mi
Peak 15-min total travel time, TT15	1.7 veh-h
Capacity from ATS, CdATS	1693 veh/h
Capacity from PTSF, CdPTSF	1564 veh/h
Directional Capacity	1564 veh/h

Passing Lane Analysis

Total length of analysis segment, Lt	1.1 mi
Length of two-lane highway upstream of the passing lane, Lu	- mi
Length of passing lane including tapers, Lpl	- mi
Average travel speed, ATSD (from above)	47.5 mi/h
Percent time-spent-following, PTSFD (from above)	56.9
Level of service, LOSd (from above)	C

Average Travel Speed with Passing Lane

Downstream length of two-lane highway within effective length of passing lane for average travel speed, Lde	- mi
Length of two-lane highway downstream of effective length of the passing lane for average travel speed, Ld	- mi
Adj. factor for the effect of passing lane on average speed, fpl	-
Average travel speed including passing lane, ATSpI	-
Percent free flow speed including passing lane, PFFSpI	0.0 %

Percent Time-Spent-Following with Passing Lane

Downstream length of two-lane highway within effective length of passing lane for percent time-spent-following, Lde	- mi
Length of two-lane highway downstream of effective length of the passing lane for percent time-spent-following, Ld	- mi
Adj. factor for the effect of passing lane on percent time-spent-following, fpl	-
Percent time-spent-following including passing lane, PTSFpl	- %

Level of Service and Other Performance Measures with Passing Lane

Level of service including passing lane, LOSpl	A
Peak 15-min total travel time, TT15	- veh-h

Bicycle Level of Service

Posted speed limit, Sp	45
Percent of segment with occupied on-highway parking	0
Pavement rating, P	3
Flow rate in outside lane, vOL	289.8
Effective width of outside lane, We	13.00
Effective speed factor, St	4.42
Bicycle LOS Score, BLOS	5.34
Bicycle LOS	E

Notes:

1. Note that the adjustment factor for level terrain is 1.00, as level terrain is one of the base conditions. For the purpose of grade adjustment, specific downgrade segments are treated as level terrain.
2. If v_i (v_d or v_o) $\geq 1,700$ pc/h, terminate analysis-the LOS is F.
3. For the analysis direction only and for $v > 200$ veh/h.
4. For the analysis direction only.
5. Use alternative Exhibit 15-14 if some trucks operate at crawl speeds on a specific downgrade.

Phone: _____ Fax: _____
 E-Mail: _____

Directional Two-Lane Highway Segment Analysis Full Development

Analyst Paul Simonton
 Agency/Co. Simonton Engineering
 Date Performed 3/22/2020
 Analysis Time Period 15:00 to 16:00
 Highway Scott Road
 From/To Harmony Road to Hwy 44
 Jurisdiction Putnam County
 Analysis Year 2020
 Description DR for Scott Road development

Input Data

Highway class	Class 2	Peak hour factor, PHF	0.88	
Shoulder width	2.0 ft	% Trucks and buses	4	%
Lane width	11.0 ft	% Trucks crawling	0.0	%
Segment length	1.1 mi	Truck crawl speed	0.0	mi/hr
Terrain type	Specific Grade	% Recreational vehicles	4	%
Grade: Length	0.25 mi	% No-passing zones	80	%
Up/down	3.0 %	Access point density	4	/mi

Analysis direction volume, Vd 394 veh/h
 Opposing direction volume, Vo veh/h

Average Travel Speed

Direction	Analysis (d)	Opposing (o)
PCE for trucks, ET	2.0	1.4
PCE for RVs, ER	1.0	1.0
Heavy-vehicle adj. factor, (note-5) fHV	0.961	0.984
Grade adj. factor, (note-1) fg	0.95	1.00
Directional flow rate, (note-2) vi	490 pc/h	301 pc/h

Free-Flow Speed from Field Measurement:

Field measured speed, (note-3) S FM - mi/h
 Observed total demand, (note-3) V - veh/h

Estimated Free-Flow Speed:

Base free-flow speed, (note-3) BFFS 60.0 mi/h
 Adj. for lane and shoulder width, (note-3) fLS 3.0 mi/h
 Adj. for access point density, (note-3) fA 1.0 mi/h

Free-flow speed, FFSd 56.0 mi/h

Adjustment for no-passing zones, fnp 3.3 mi/h
 Average travel speed, ATSD 46.6 mi/h
 Percent Free Flow Speed, PFFS 83.1 %

Percent Time-Spent-Following

Direction	Analysis(d)	Opposing (o)
PCE for trucks, ET	1.0	1.1
PCE for RVs, ER	1.0	1.0
Heavy-vehicle adjustment factor, fHV	1.000	0.996
Grade adjustment factor, (note-1) fg	0.94	1.00
Directional flow rate, (note-2) vi	476 pc/h	298 pc/h
Base percent time-spent-following, (note-4) BPTSFD	46.3 %	
Adjustment for no-passing zones, fnp	41.5	
Percent time-spent-following, PTSFD	71.8 %	

Level of Service and Other Performance Measures

Level of service, LOS	D	
Volume to capacity ratio, v/c	0.28	
Peak 15-min vehicle-miles of travel, VMT15	123	veh-mi
Peak-hour vehicle-miles of travel, VMT60	433	veh-mi
Peak 15-min total travel time, TT15	2.6	veh-h
Capacity from ATS, CdATS	1693	veh/h
Capacity from PTSF, CdPTSF	1564	veh/h
Directional Capacity	1564	veh/h

Passing Lane Analysis

Total length of analysis segment, Lt	1.1	mi
Length of two-lane highway upstream of the passing lane, Lu	-	mi
Length of passing lane including tapers, Lpl	-	mi
Average travel speed, ATSD (from above)	46.6	mi/h
Percent time-spent-following, PTSFD (from above)	71.8	
Level of service, LOSd (from above)	D	

Average Travel Speed with Passing Lane

Downstream length of two-lane highway within effective length of passing lane for average travel speed, Lde	-	mi
Length of two-lane highway downstream of effective length of the passing lane for average travel speed, Ld	-	mi
Adj. factor for the effect of passing lane on average speed, fpl	-	
Average travel speed including passing lane, ATSp1	-	
Percent free flow speed including passing lane, PFFSp1	0.0	%

Percent Time-Spent-Following with Passing Lane

Downstream length of two-lane highway within effective length of passing lane for percent time-spent-following, Lde	-	mi
Length of two-lane highway downstream of effective length of the passing lane for percent time-spent-following, Ld	-	mi
Adj. factor for the effect of passing lane on percent time-spent-following, fpl	-	
Percent time-spent-following including passing lane, PTSFpl	-	%

Level of Service and Other Performance Measures with Passing Lane

Level of service including passing lane, LOSpl	A	
Peak 15-min total travel time, TT15	-	veh-h

Bicycle Level of Service

Posted speed limit, Sp	45
Percent of segment with occupied on-highway parking	0
Pavement rating, P	3
Flow rate in outside lane, vOL	447.7
Effective width of outside lane, We	13.00
Effective speed factor, St	4.42
Bicycle LOS Score, BLOS	5.56
Bicycle LOS	F

Notes:

1. Note that the adjustment factor for level terrain is 1.00, as level terrain is one of the base conditions. For the purpose of grade adjustment, specific downgrade segments are treated as level terrain.
2. If v_i (v_d or v_o) $\geq 1,700$ pc/h, terminate analysis-the LOS is F.
3. For the analysis direction only and for $v > 200$ veh/h.
4. For the analysis direction only.
5. Use alternative Exhibit 15-14 if some trucks operate at crawl speeds on a specific downgrade.



SURVEY NOTES

1. Elevations are based on N.A.V.D. 88 datum.
2. Contour lines are of one (1) foot intervals.
3. Equipment used: Leica 1200 robotic total station and Allegro RX data collector.
4. Software used: Carlson Survey 2013 and Carlson Survey.
5. Above ground visible utilities were obtained from field observations. Georgia Land Surveying Co. has not researched underground utility locations. Information shown hereon as to location of underground utilities is based on observations made in the field and Georgia Land Surveying Co. is unable to certify the accuracy or completeness of this underground information.
6. Any graphic depiction of setback lines and other matters of zoning are the surveyor's interpretation of the zoning information furnished. The surveyor offers no certification as to the zoning of the subject property or compliance with zoning regulations for the structures or business on the subject property.

CLOSURE STATEMENT

The field data used to compile this plat was gathered by differential adjusted G.P.S. coordinates and radial survey measurements and has a positional tolerance of 0.1 feet. This map or plat has been calculated for closure and is found to be accurate within one foot in 687,147 feet.

LEGEND

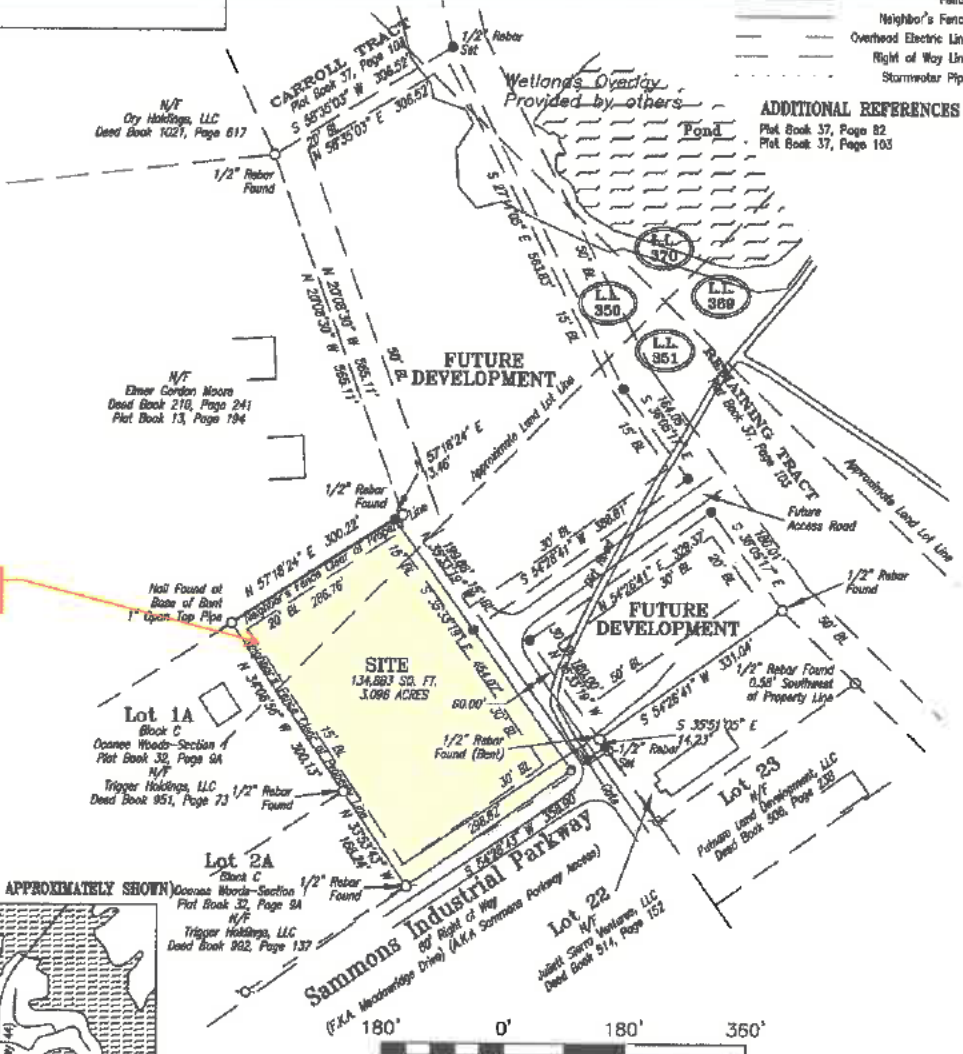
These standard symbols may be found in the drawing.

- 1/2" Rebar Set
- Iron Pin Found
- Building Line
- ⊕ Stormwater Junction Box
- Drop Inlet
- + Day Wire Anchor
- Light Pole
- Power Pole
- Fire Hydrant
- Balland
- Sign
- Fence
- Neighbor's Fence
- Overhead Electric Line
- Right of Way Line
- Stormwater Pipe

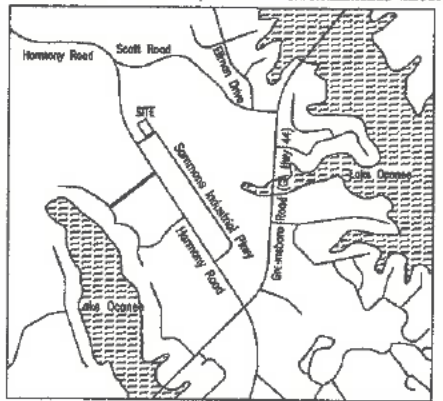
ADDITIONAL REFERENCES

Plat Book 37, Page 82
Plat Book 37, Page 103

Site



VICINITY MAP - N.T.S. - (BOUNDARY APPROXIMATELY SHOWN)



NOT FOR RECORDING ZONING EXHIBIT ONLY

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

By: *[Signature]*
Josh Lewis N. Registered Land Survey Number 3026

155 CLIFTWOOD DRIVE - ATLANTA, GEORGIA 30328 - TELEPHONE: (404) 255-4671 - FAX: (404) 255-6607 - WWW.GEORGIALANDSURVEYING.COM

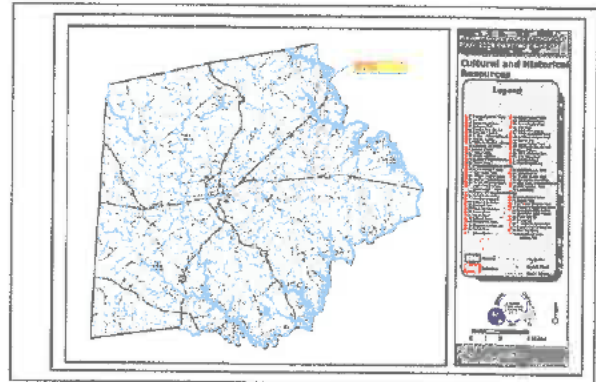
JOB NUMBER 202550:6 DRAWING NUMBER 5763	SURVEY PLAT FOR: 0 Scott Road, Eatonton Georgia 31024		DATE: 2/22/21	SCALE: 180'	
	Shaifer Oconee LLC				
	LAND LOT: 350 and 351	3rd DISTRICT	SECTION	Pulnam COUNTY, GA	
	LOT:	BLOCK:	UNIT:	PHASE:	
	SUBDIVISION:				
PLAT BOOK 32, PAGE 39	DRAFTER: BMS	REVISION DATE: 6/14/21 (Revise Setbacks)			
DEED BOOK 808, PAGE 433	PARTY CHIEF: J4	FIELD DATE: 3/9/21	SHEET 1 OF 1		

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED THEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.

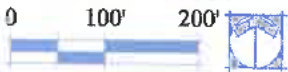
This plan is conceptual in nature and is an approximate representation of potential land uses, sites, lot layouts and circulation patterns. The plan is intended to be developed over a period of time and should remain flexible to accommodate specific soil conditions, environmental concerns, physical conditions, market conditions and design parameters.



CURRENT ZONING AND PARCEL MAP
SCALE AS NOTED



CULTURAL AND HISTORICAL RESOURCES MAP
SCALE AS NOTED



PHYSICAL CHARACTERISTICS MAP

SCALE: As Noted Subject to Change
November 12, 2021

PORTION OF PARCEL 102-002

SITE EXHIBIT
PUTNAM COUNTY, GEORGIA



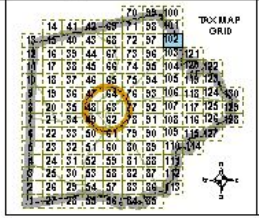
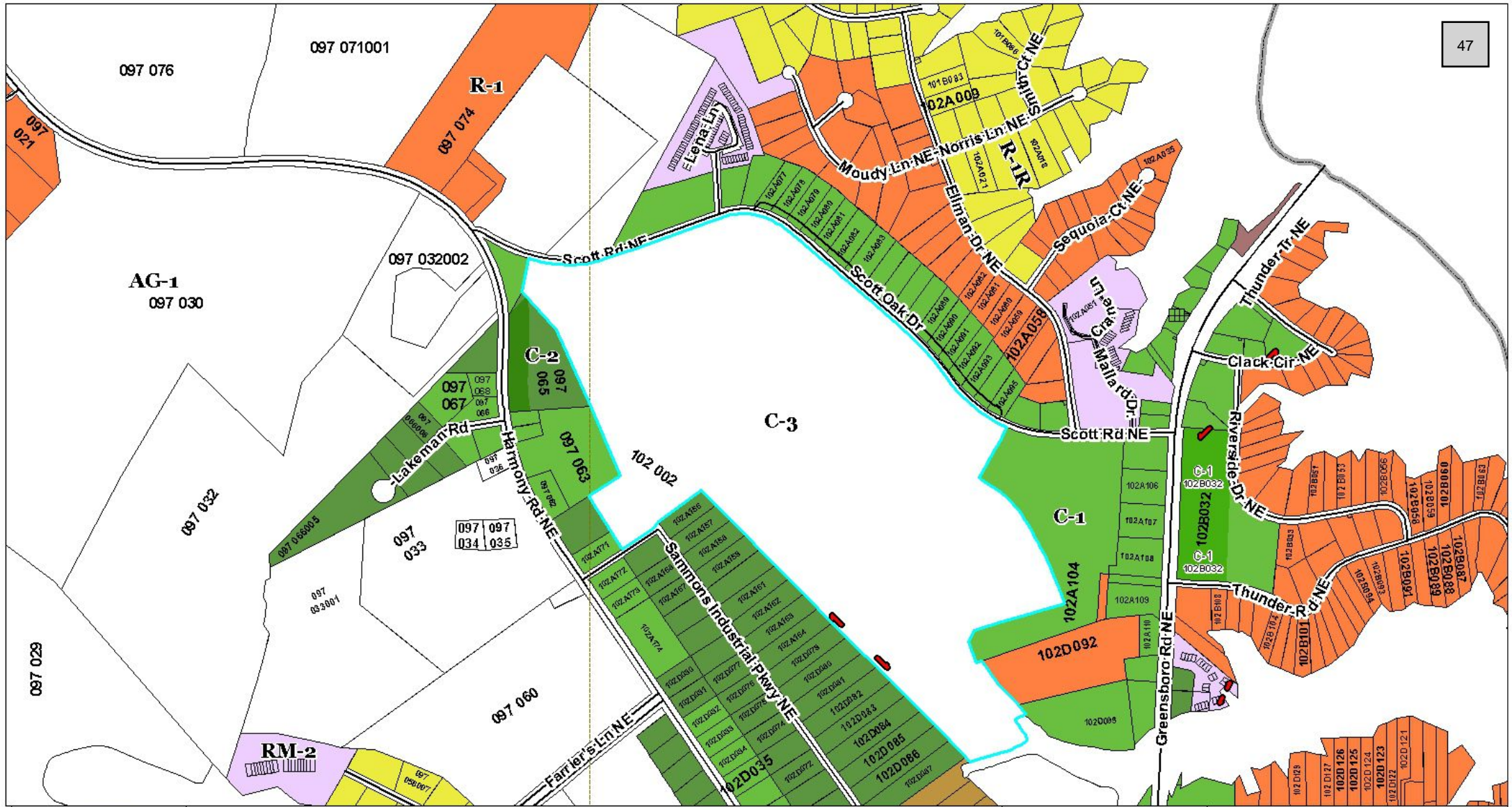


Overview



Legend

- City Limit
- Parcels
- Parcel Numbers
- Zoning
- A-1 CITY
- A-1 and AG-1
- AG
- AG-1
- AG-2
- C-1
- C-1 CITY
- C-2
- C-2 CITY
- C-2 PUD
- C-PUD
- I-1 CITY
- I-2 CITY
- I-M
- MHP
- PUBLIC
- PUBLIC CITY
- R - 1 CITY
- R - 2 CITY
- R - 3 CITY
- R - 4 CITY
- R-1
- R-1R
- R-2
- R-PUD
- RM-1
- RM-2
- RM-3
- VILLAGE
- Roads



GEOGRAPHIC FEATURE LEGEND

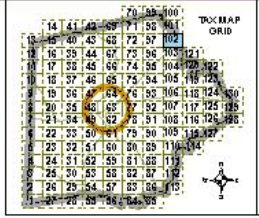
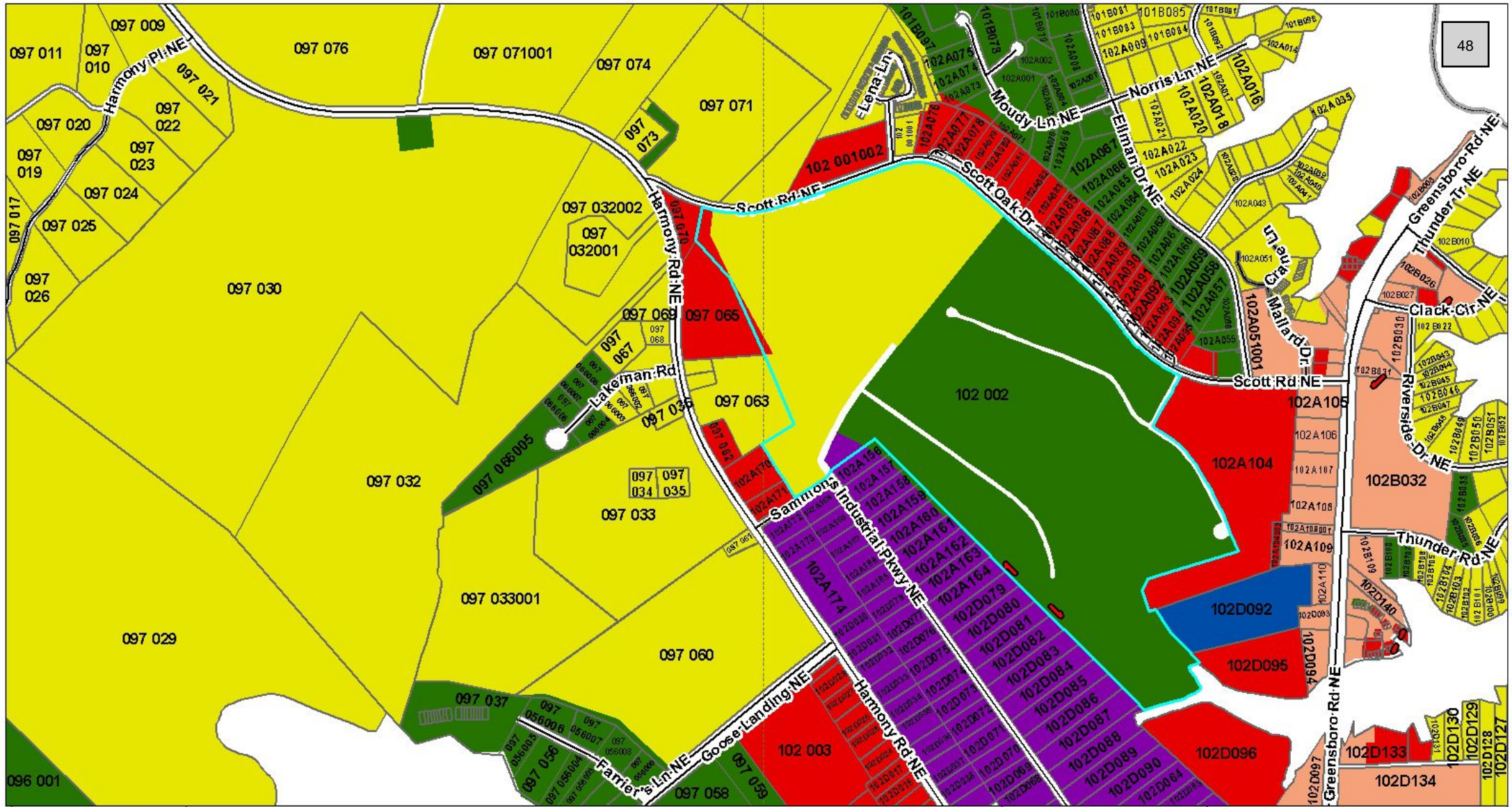
Eatonton Limits	Overlay District	AG-2	C-2 CITY	IND-2 CITY	R - 1 CITY	RM-2
County Boundary	No Code	C-1	I-M	MHP	R - 2 CITY	R-1R
Roads	AG-1	C-1 CITY	IND-1 CITY	PUBLIC	R - 3 CITY	RM-3
Parcels	AG-1 CITY	C-2	IND-2	PUBLIC CITY	R - 4 CITY	VILLAGE
Parcel_Hooks						

MGRC
Middle Georgia Regional Commission
175 Emory Hwy
Suite C
Macon, Georgia 31217
(478) 751-6160
Web: www.middlegeorgia.org

PUTNAM COUNTY, GEORGIA
ZONING MAPS

MAP 102

MAP SCALE: 1" = 695.67' SCALE RATIO: 1:69,567 DATE: 06 DECEMBER 2021



GEOGRAPHIC FEATURE LEGEND

Eatonton Limits	Agriculture/Forestry	Mixed Use	Residential
County Boundary	Commercial	Park/Recreation/Conservation	Transportation/Communication/Utilities
Roads	Industrial	Public/Institutional	Undeveloped/Vacant
Parcels			
Parcel_Hooks			

LMGR
IT GIS SERVICES

Middle Georgia Regional Commission
175 Emery Hwy
Suite C
Macon, Georgia 31217
(478) 751-6160
Web:
www.middlegeorgia.org

PUTNAM COUNTY, GEORGIA
FUTURE LAND USE MAPS

MAP 102

MAP SCALE: 1" = 695.67' SCALE RATIO: 1:2,000 DATE: 06 DECEMBER 2021

File Attachments for Item:

6. Request by Matt Fleming, agent for Carolyn Walton c/o Carol W. Williams, to rezone 32.11 acres on Loch Way from AG to R-1 [Map 095A, Parcel 011, District 2] (staff-CC)

Request by Matt Fleming, agent for Carolyn Walton c/o Carol W. Williams to rezone 32.11 acres on Loch Way from AG to R-1. [Map 095A, Parcel 011, District 2]. **The applicant is requesting to withdraw without prejudice.**

PLANNING & DEVELOPMENT-LISA JACKSON STAFF RECOMMENDATION:

The applicant is requesting to rezone 32.11 acres from AG to R-1. He plans to develop single-family residential lots. A portion of the parent parcel was previously rezoned from AG to R-1 in November of 2020. If approved, the applicants would continue the development of single-family residential lots in the Loch Haven subdivision. Each lot would vary between 1 and 5 acres. In addition, he does not foresee creating more than 24 residential lots. **The applicant is requesting to withdraw without prejudice.**

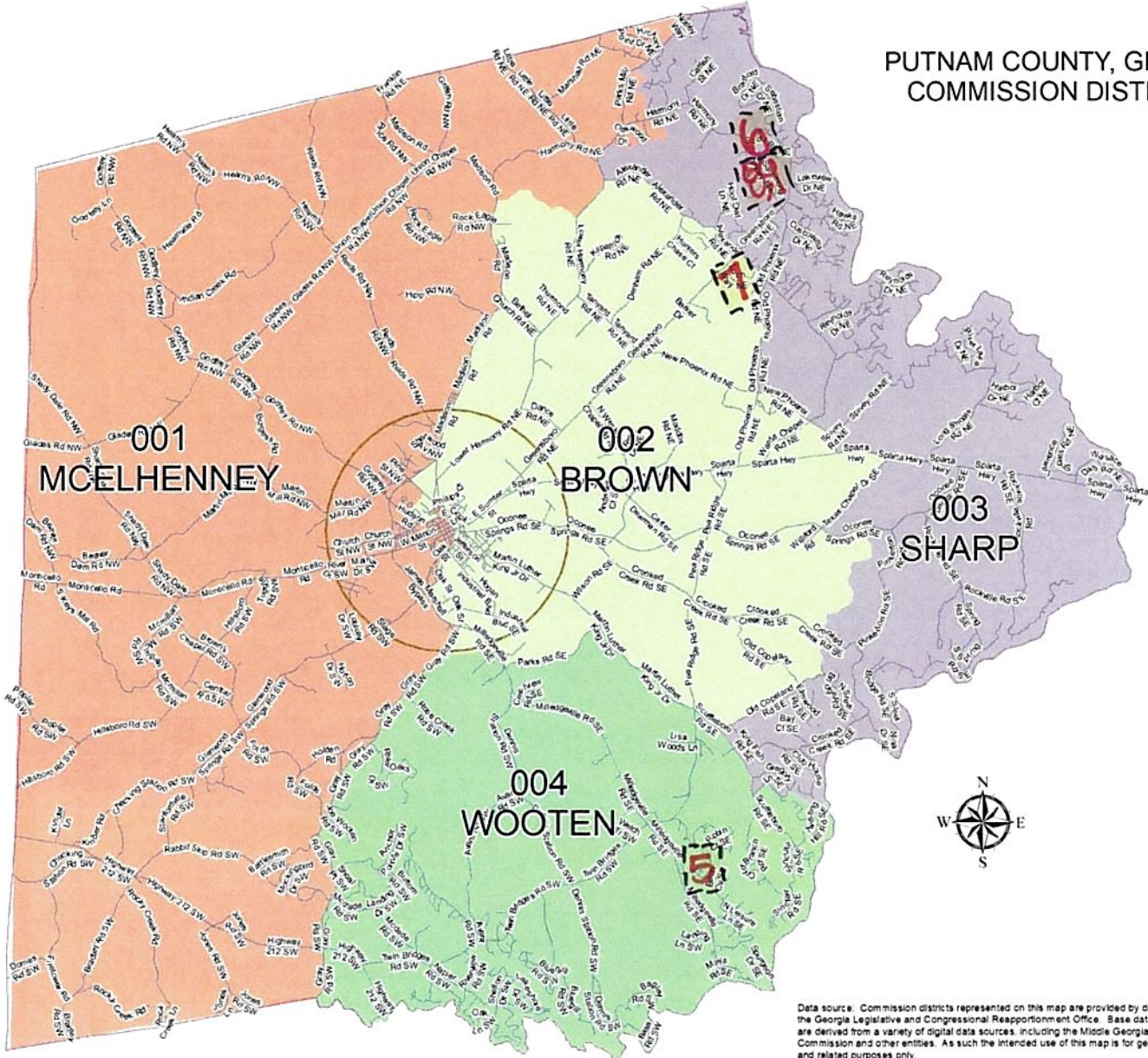
Staff recommendations is for approval to withdraw without prejudice on Loch Way [Map 095A, Part of Parcel 011, District 3].

PLANNING & ZONING COMMISSION RECOMMENDATION:

The Planning & Zoning Commission's recommendation is for approval to withdraw without prejudice on Loch Way [Map 095A, Part of Parcel 011, District 3].

PLANNING & ZONING COMMISSION MINUTES:

PUTNAM COUNTY, GEORGIA
COMMISSION DISTRICTS



MAP SCALE 1" = 5,697.28' SCALE RATIO 1:68,367.34 DATE: JANUARY 2021

5. Request by **Jim Carlisle** for a side yard setback variance at 113 Cherry Point. Presently zoned R-1 [Map 087B, Parcel 197, District 4].
6. Request by **Rick McAllister, agent for Shaifer Oconee, LLC** to rezone 3.096 acres on Scott Road/Sammons Industrial Parkway from C-PUD to C-2. [Map 102, Part of Parcel 002, District 3].*
7. Request by **Matt Fleming, agent for Carolyn Walton c/o Carol W. Williams** to rezone 32.11 acres on Loch Way from AG to R-1. [Map 095A, Parcel 011, District 2].*
8. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066001, District 3].*
9. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066002, District 3].*



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

APPLICATION FOR REZONING

REZONING

PERMIT# Plan 2021-02579

APPLICATION NO. _____

DATE: 12/6/21

MAP 095A PARCEL 011 ZONING DISTRICT 2

- 1. Owner Name: CAROLYN WALTON C/O CAROL W. WILLIAMS
- 2. Applicant Name (If different from above): MATT FLEMING
- 3. Mailing Address: 238 INDIAN CREEK RD LOUST GROVE GA 30248
- 4. Email Address: MATT @ HAYDENGROVE.COM
- 5. Phone: (home) N/A (office) N/A (cell) [REDACTED]
- 6. The location of the subject property, including street number, if any: SW CORNER OF *LOCH WAY AND GREENSBORO RD NE
- 7. The area of land proposed to be rezoned (stated in square feet if less than one acre):
32.11 ACRES
- 8. The proposed zoning district desired: R1
- 9. The purpose of this rezoning is (Attach Letter of Intent)
SINGLE FAMILY RESIDENTIAL

10. Present use of property: AG^{JCO} AGRICULTURAL Desired use of property: RESIDENTIAL

11. Existing zoning district classification of the property and adjacent properties:
Existing: AG-1
North: R1 South: AG-1 East: R1 West: AG-1

12. Copy of warranty deed for proof of ownership and if not owned by applicant, please attach a signed and notarized letter of agency from each property owner for all property sought to be rezoned.

13. Legal description and recorded plat of the property to be rezoned.

14. The Comprehensive Plan Future Land Use Map category in which the property is located. (If more than one category applies, the areas in each category are to be illustrated on the concept plan. See concept plan insert.): RESIDENTIAL

15. A detailed description of existing land uses: PASTURE USED FOR HAY PRODUCTION

16. Source of domestic water supply: well _____, community water _____, or private provider .
If source is not an existing system, please provide a letter from provider. PIEDMONT WATER

RECEIVED DEC 21 2021 JCO



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ◊ Eatonton, GA 31024

Tel: 706-485-2776 ◊ 706-485-0552 fax ◊ www.putnamcountyga.us

- 17. Provision for sanitary sewage disposal: septic system or sewer . If sewer, please provide name of company providing same, or, if new development, provide a letter from sewer provider.
- 18. Complete attachment of Disclosure of Campaign Contributions Form by the applicant and/or the applicant's attorney as required by the Georgia Conflict of Interest in Zoning Act (O.C.G.A. 36-67A).
- 19. The application designation, date of application and action taken on all prior applications filed for rezoning for all or part of the subject property. (Please attach on separate sheet.)
- 20. Proof that property taxes for the parcel(s) in question have been paid.
- 21. Concept plan.
 - If the application is for less than 25 single-family residential lots, a concept plan need not be submitted. (See attachment.)
 - A concept plan may be required for commercial development at director's discretion
- 22. Impact analysis.
 - If the application is for less than 25 single-family residential lots, an impact analysis need not be submitted. (See attachment.)
 - An Impact analysis (including a traffic study) is required when rezoning from residential zoned or used property to commercial or industrial districts.

THE ABOVE STATEMENTS AND ACCOMPANYING MATERIALS ARE COMPLETE AND ACCURATE. APPLICANT HEREBY GRANTS PERMISSION FOR PLANNING AND DEVELOPMENT PERSONNEL OR ANY LEGAL REPRESENTATIVE OF PUTNAM COUNTY TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE PUTNAM COUNTY CODE OF ORDINANCES.



Signature (Property Owner) _____ (Date) *12/19/2021*
Signature (Applicant) _____ (Date) *12/18/21*



Signature (Applicant) _____ (Date) *12/18/21*

 Notary Public

exp 10/17/2025

Office Use	
Paid: \$ <u>550.00</u> (cash) _____ (check) <u>2064</u> (credit card) _____	Receipt No. _____ Date Paid: _____
Date Application Received: _____	
Reviewed for completeness by: _____	
Date of BOC hearing: _____	Date submitted to newspaper: _____
Date sign posted on property: _____	Picture attached: yes _____ no _____

RECEIVED DEC 21 2021 *JW*

LETTER OF INTENT

December 6, 2021

Mrs. Lisa Jackson, Director
Putnam County Planning and Development
117 Putnam Drive, Suite B
Eatonton, GA 31024

Re: Rezoning of 32.11 Acres on the SW corner of Loch Way and Greensboro Road NE

Dear Mrs. Jackson,

I am requesting the rezoning of 32.11 acres located on the SW corner of Loch Way and Greensboro Road NE on behalf of Mrs. Carolyn Walton and Carol W. Williams. The property is also described as parcel #095A011 with the Putnam Tax Assessor. This property is located along the South side of Loch Way, leading into Loch Haven subdivision, and adjoins residential lots that are currently zoned R-1. The purpose of this rezoning from AG-1 to R-1 is to continue with the development of single-family residential lots in the Loch Haven subdivision. Due to the shape and topography of this parcel, the lots would range in size from 1 to 5 acres and would not exceed 24 lots on the 32.11 acres. All lots will comply with the Putnam County Planning and Development requirements for the R-1 Single Family Residential District.

Thank you for your consideration,



Matt Fleming

RECEIVED DEC 21 2021 *LD*

Cross Ref:
PLAT 37/50

After filing, please return to Jesse Copelan, Jr., P.O. Box 3099, Eatonton, GA 31024

This space reserved for the use of Clerk.

DOC# 005131
FILED IN OFFICE
12/31/2012 11:42 AM
BK:769 PG:697-697
SHEILA H. PERRY
CLERK OF COURT
PUTNAM COUNTY

Richard Perry
REAL ESTATE TRANSFER T
AX
PAID: \$0.00

JESSE COPELAN, JR., P. C. *PT 61-117-2012-001786*
ATTORNEY AT LAW
EATONTON, GEORGIA

EXECUTOR'S DEED

NO TITLE OPINION GIVEN

STATE OF GEORGIA
COUNTY OF PUTNAM

This Indenture, between the **ESTATE OF William L. Walton, acting through W. Cary Walton and Carol W. Williams, the duly qualified Executors**, of the first part, and **CAROLYN C. WALTON**, of the second part, witnesses:

That the said representatives of said estate being duly authorized by the Will, which was duly probated in Solemn form in the September 21, 2012 Term of the Probate Court of Putnam County, Georgia, does for and in consideration of ONE AND NO/100 (\$1.00) DOLLAR, receipt of which is acknowledged, sell and convey by virtue of the power granted in said Will, to the party of the second part, their heirs and assigns, the following described land, to-wit:

All that tract or parcel of land, lying and being in the 389th GMD, Putnam County, Georgia, designated as Map & Parcel Number 095A011 on the Putnam County Tax Map and being 46 acres, more or less. Said property is bound as follows: on the North by Greensboro Road, SR 44; on the East by property of Vintage Land LLC and bound by property of Thomas et al and Piedmont Water Company, south of Loch Way Road; on the South and West by property of Cary Walton et al. Said tract is divided by Loch Way Road that runs North and South through the property. Said property also includes 2.738 acres referred to in a deed from James E. Dooley to William Love Walton, recorded in Deed Book 6-F, pages 212-213, Clerk's Office, Putnam County Superior Court.

IN WITNESS WHEREOF, the party of the first part's name and seal are hereto affixed by its proper representative this 28th day of December, 2012.

Signed, sealed & delivered
In the presence of:
Brett Sanford
Witness

Estate of William L. Walton
W. Cary Walton L.S.
W. Cary Walton, Executor

Jay L. Walter
Notary Public

Carol W. Williams L.S.
Carol W. Williams, Executor

1227walton.exe.deed
2012-132



DEC 21 2012 *JW*



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

LETTER OF AGENCY- _____

WE, THE UNDERSIGNED OWNERS OF REAL PROPERTY LOCATED IN THE CITY OF EATONTON PUTNAM COUNTY, GEORGIA, HEREBY APPOINT MATT FLEMING TO BE MY AGENT FOR THE PURPOSE OF APPLYING FOR REZONING OF PROPERTY DESCRIBED AS MAP 095A PARCEL 011, CONSISTING OF 3.11 ACRES, WHICH HAS THE FOLLOWING ADDRESS: LOCH WAY EATONTON, GEORGIA 31024. ATTACHED HERETO IS A COPY OF A DEED AND OR PLAT OF SURVEY DESCRIBING THE PROPERTY OWNED BY THE PROPERTY OWNER(S) TO WHICH THIS LETTER OF AGENCY APPLIES.

THE ABOVE NAMED AGENT HEREBY IS AUTHORIZED TO COMPLETE AND SIGN THE CITY OF EATONTON/PUTNAM COUNTY APPLICATION FOR REZONING ON OUR BEHALF. WE UNDERSTAND THAT THIS LETTER OF AGENCY WILL BE ATTACHED TO AND MADE PART OF SAID FORM AND WILL BE RELIED UPON BY THE CITY OF EATONTON/PUTNAM COUNTY. FOR AND IN CONSIDERATION OF THE CITY OF EATONTON/PUTNAM COUNTY ACCEPTING THIS LETTER OF AGENCY, WE HEREBY INDEMNIFY AND HOLD HARMLESS THE CITY OF EATONTON/PUTNAM COUNTY AND ITS AGENTS AND/OR EMPLOYEES IN THE EVENT THAT THE ABOVE NAMED AGENT SHOULD MISUSE THIS LETTER OF AGENCY AND WE SUFFER DAMAGES AS A RESULT.

THIS 9th DAY OF December, 2021st

PROPERTY OWNER(S): Carol W. Williams POA for Carolyn C. Walton

Carol W. Williams POA for Carolyn C. Walton
NAME (PRINTED)
SIGNATURE

ADDRESS: 116 Windsor Drive, Eatonton, GA 31024
PHONE: [REDACTED]

ALL SIGNATURES WERE HEREBY SWORN TO AND SUBSCRIBED BEFORE ME THIS:

9 DAY OF Dec, 2019-2021

Herman Austin Hutton
NOTARY

MY COMMISSION EXPIRES: 4/1/22



RECEIVED DEC 21 2021 *[Signature]*

All that tract or parcel of land, lying and being in the 389th GMD, Putnam County, Georgia, designated as Map & Parcel Number 095A011 on the Putnam County Tax Map and being 46 acres, more or less. Said property is bound as follows: on the North by Greensboro Road, SR 44; on the East by property of Vintage Land LLC and bound by property of Thomas et al and Piedmont Water Company, south of Loch Way Road; on the South and West by property of Cary Walton et al. Said tract is divided by Loch Way Road that runs North and South through the property. Said property also includes 2.738 acres referred to in a deed from James E. Dooley to William Love Walton, recorded in Deed Book 6-F, pages 212-213, Clerk's Office, Putnam County Superior Court.

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P86
106

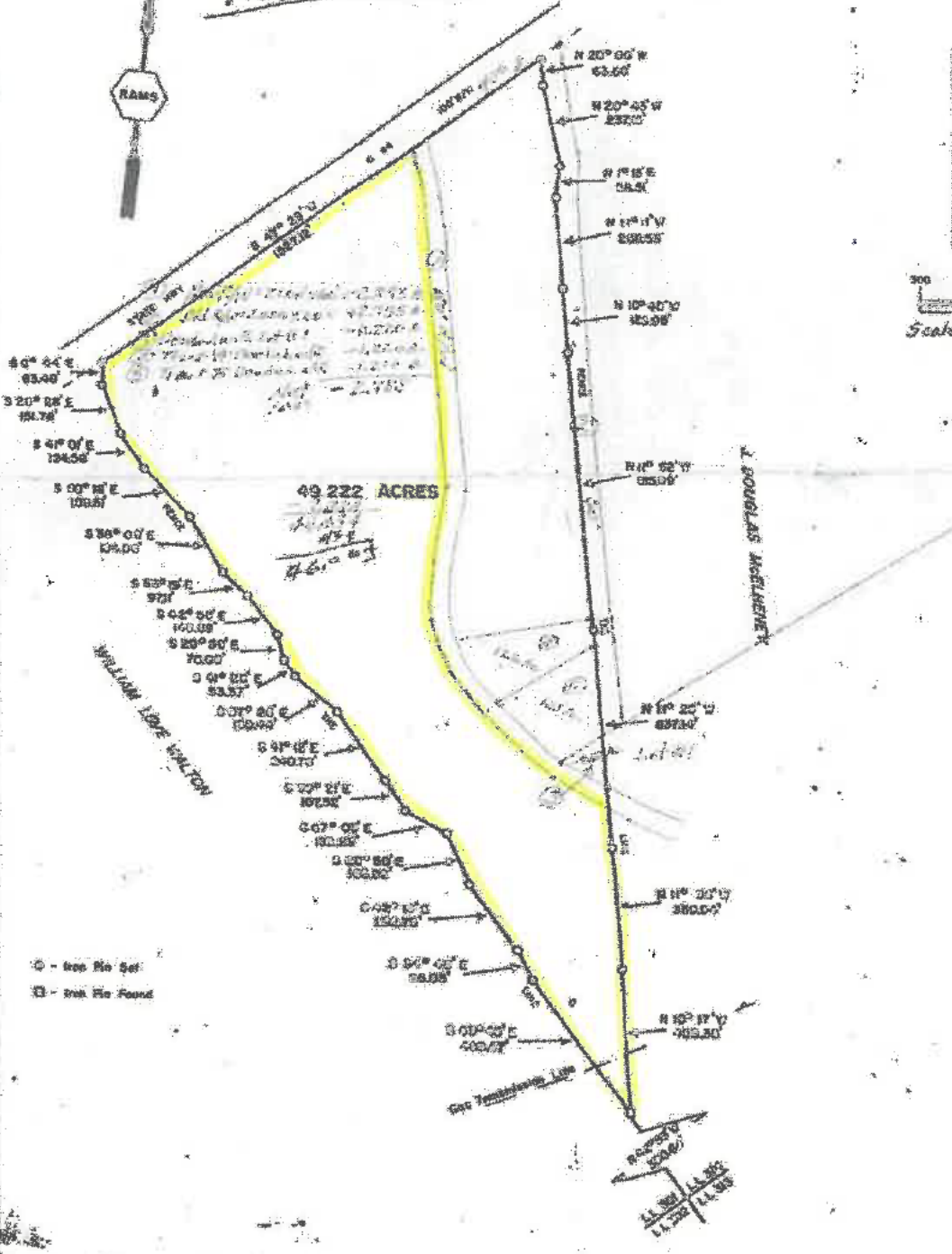
Recorded July 9, 1974

Elizabeth W. Cassin

W. Love Waltham



WILLIAM LOVE
Srd. Lc
Shadbrook (I
PUTNAM CL

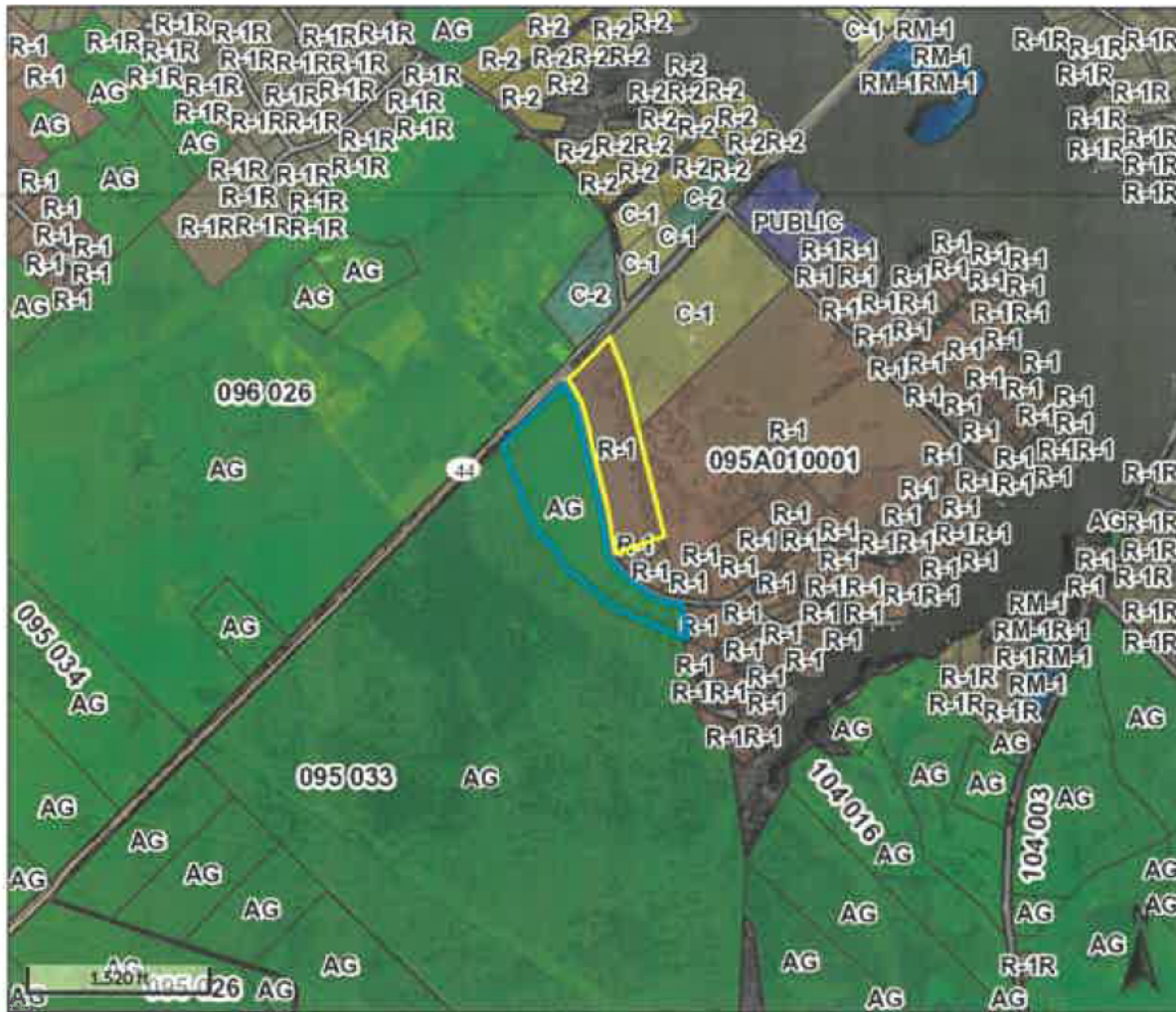


CHUCK ROBERTS
WAS PREPARED BY
SURVEY OF THE PT
2/18/74
IT TRUS AND CORR
THE LAND PLATTE
RATED IN CONFOR
STANDARDS AND R
LAW.
CHUCK ROBERTS,

THIS PLAT HAS
BEARINGS CALCUL
ANGLES AND HIT
HORIZONTAL MEA
FOR CLOSURE BY
TURNS AND IS FC
WITHIN ONE FOOT

DEC 21 2021

JD



Overview



Legend

- City Limit
- Parcels
- Parcel Numbers
- Zoning
 - A-1 CITY
 - A-1 and AG-1
 - AG
 - AG-1
 - AG-2
 - C-1
 - C-1 CITY
 - C-2
 - C-2 CITY
 - C-2 PUD
 - C-PUD
 - I-1 CITY
 - I-2 CITY
 - I-M
 - MHP
 - PUBLIC
 - PUBLIC CITY
 - R-1 CITY
 - R-2 CITY
 - R-3 CITY
 - R-4 CITY
 - R-1
 - R-1R
 - R-2
 - R-PUD
 - RM-1
 - RM-2
 - RM-3
 - VILLAGE
 - Roads

Parcel ID	095A011	Owner	WALTON CAROLYN C	Last 2 Sales			
Real Key / Acct	2786		C/O CAROL W. WILLIAMS	Date	Price	Reason	Qual
Class Code	Agricultural		116 WINDSOR DR	12/28/2012	0	DA	U
Taxing District	PUTNAM		EATONTON, GA 31024	1/7/1985	0	NF	U



December 9, 2021

Putnam County Planning & Zoning Commission

Subject: Water Service on Loch Way

Dear Sir or Madam:

This letter is to confirm that sufficient water capacity exists to supply new homes on Loch way. The provision of this water is contingent upon the completion of a water line extension.

Sincerely,

W. J. Matthews
Vice President of Operations

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PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

DISCLOSURE OF APPLICANT'S CAMPAIGN CONTRIBUTION

The *Putnam County Code of Ordinances*, Section 66-167(c) states as follows:

“When any applicant or his attorney for a rezoning action has made, within two years immediately preceding the filing of that applicant’s application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application, it shall be the duty of the applicant to file a disclosure report with the governing authority of the respective local government showing:

a. The name and official position of the local government official to whom the campaign contribution was made; and


b. The dollar amount and description of each campaign contribution made by the applicant to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution. The disclosures required by this section shall be filed within ten days after an application for the rezoning action is first filed.”

1. Name: MATT FLEMING

2. Address: 238 INDIAN CREEK RD
LOCUST GROVE GA 30248

3. Have you given contributions that aggregated \$250.00 or more within two years immediately preceding the filing of the attached application to a candidate that will hear the proposed application? Yes No If yes, who did you make the contributions to? _____

Signature of Applicant: 
Date: 12 / 6 / 21

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Zoning Designation

The 32.11 acres that is in consideration for rezoning, according to the owners, has always been under the AG-1 designation. The subject parcel was originally part of a 46+/- acre tract. A 13.89 acre portion of the original parcel was rezoned from AG-1 to R-1 on November 17th, 2020. The 32.11 acre parcel that pertains to this rezoning request is the remaining acreage from the original 46+/- acre tract.

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PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

Agenda

Thursday, November 05, 2020 ♦ 6:30 PM

Putnam County Administration Building – Room 203

Opening

1. Call to Order
2. Attendance
3. Rules of Procedures

Minutes

4. Approval of Minutes - October 1, 2020

Requests

5. Request by **Tim & Ramona Driscoll** for a side yard setback variance at 122 W Daylight Dr. Presently zoned R-2. [Map 053C, Parcel 111, District 4]. **This item has been removed.**
6. Request by **Dale Barnes** for a side yard setback variance at 143 Spurgeon Dr. Presently zoned R-1. [Map 086B, Parcel 077, District 4].
7. Request by **Brian Evans** for a side yard setback variance at 178 Spurgeon Drive SE. Presently zoned R-1. [Map 086C, Parcel 127, District 4].
8. Request by **Alexander Johnson** for a rear yard setback variance at 148 Dogwood Drive. Presently zoned R-1. [Map 112C, Parcel 090, District 4].
9. Request by **Smith Built Homes** for a side and rear yard setback variance at 147 Collis Marina Road. Presently zoned RM-2. [Map 104B, Parcel 012, District 3].
10. Request by **SolAmerica Energy, LLC, agent for David Erickson** for conditional use on Pea Ridge Road. Presently zoned C-2. [Map 090, Parcel 032, District 2]. *
11. Request by **SolAmerica Energy, LLC, agent for David Erickson** for conditional use on Pea Ridge Road. Presently zoned AG-1. [Map 090, Parcel 033001, District 2]. *
12. Request by **SolAmerica Energy, LLC, agent for David Erickson** for conditional use on Pea Ridge Road. Presently zoned AG-1. [Map 090, Parcel 027001, District 2]. *
13. Request by **Joshua Daniel, agent for Carolyn Walton** to rezone 13.89 acres from AG-1 to R-1 on Loch Way. [Map 095A, Part of Parcel 011, District 2]. *

New Business

Adjournment

The Planning & Zoning Commission meeting will be conducted pursuant and in accordance with O.C.G.A. Chapter 36-66.

Notice: All opponents to any rezoning request on the Planning & Zoning Commission and the Board of Commissioners agendas must file a disclosure of campaign contributions with the Planning & Development Department within five calendar days prior to public hearings if you have contributed \$250.00 or more to an elected official in Putnam County within the last five years.

*The Putnam County Board of Commissioners will hear these agenda items on November 17, 2020 at 6:30 P.M., in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024.

The full meeting package can be reviewed in the Planning & Development office upon request.

The Board of Commissioners reserves the right to continue the meeting to another time and place in the event the number of people in attendance at the meeting, including the Board of Commissioners, staff, and members of the public exceeds the legal limits.

2021 024606 ACCT # 2786R S OF GREENSBORO RD & W OF LOCH
WALTON CAROLYN C 095A 011

DESCRIPTION	AMOUNT	DESCRIPTION	AMOUNT	TOTAL TAX DUE
FAIR MARKET VALUE	142,756	GROSS ASSESSMENT	57,102	1,301.07
COUNTY EXEMPTION		NET COUNTY ASSESSMENT	57,102	INTEREST
SCHOOL EXEMPTION		NET SCHOOL ASSESSMENT	57,102	
COUNTY	440.83			COLLECTION COST
SCHOOL	850.82			FIFA CHARGE
SPEC SERV	9.42			PENALTY
DUE 12/01/21	1,301.07	PAID IN FULL	10/08/2021	TOTAL
				1,301.07

00000 01 T WALTON CAROLYN C
O C/O CAROL W. WILLIAMS
116 WINDSOR DR
EATONTON GA 31024

FROM PAMELA K. LANCASTER
PUTNAM COUNTY TAX COMM
100 S JEFFERSON ST # 207
EATONTON GA 31024

DUE IN FULL BY 12/01/2021

2021 024606 ACCT # 2786R S OF GREENSBORO RD & W OF LOCH
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00000 01 T WALTON CAROLYN C
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116 WINDSOR DR
EATONTON GA 31024

FROM PAMELA K. LANCASTER
PUTNAM COUNTY TAX COMM
100 S JEFFERSON ST # 207
EATONTON GA 31024

DUE IN FULL BY 12/01/2021

DEC 21 2021 JCO



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountygga.us

CONCEPT PLAN

Concept plan. If the application is for less than 25 single-family residential lots, a concept plan need not be submitted. All commercial, industrial, and residential developments greater than 25 lots must submit a concept plan with their application.

1. A concept plan may be prepared by a professional engineer, a registered land surveyor, a landscape architect, a land planner or any other person professionally involved in and familiar with land development activities.
2. The concept plan shall be drawn on a boundary survey of the property. The boundary survey shall have been prepared by a currently registered Georgia Registered Land Surveyor and meet the requirements of the State of Georgia for such a map or plat under O.C.G.A. 15-6-67(b).
3. The concept plan shall show the following:
 - a. Proposed use of the property.
 - b. The proposed project layout including:
 - (1) For residential subdivisions, commercial, or industrial applications, approximate lot lines and street right-of-way lines, along with the front building setback line on each lot.
 - (2) For multi-family and nonresidential development projects, the approximate outline and location of all buildings, and the location of all minimum building setback lines, outdoor storage areas, dumpsters, zoning buffers, parking areas, loading stations, storm water detention facilities, and driveways, entrances and exits.
 - c. Name, address, and telephone number of the applicant, if different than the owner.
 - d. The approximate location of proposed storm water detention facilities and the location shown.
 - e. Such additional information as may be useful to permit an understanding of the proposed use and development of the property particularly with respect to the compatibility of the proposed use with adjacent properties.

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IMPACT ANALYSIS

Impact analysis. An impact analysis is required for all applications unless the application will result in fewer than 25 single-family residential lots. The impact analysis shall be prepared by a professional engineer, a registered land surveyor, a landscape architect, a land planner or any other person professionally involved in and familiar with land development activities.

1. The application must be accompanied by a written, documented analysis of the proposed zoning change with regard to each of the standards governing consideration, (which are enumerated under Putnam County Code of Ordinances, Chapter 66-Zoning, Sec. 66-165(d)) and are as follows:

- a. Is the proposed use consistent with the stated purpose of the zoning district that is being requested?
- b. Is the proposed use suitable in view of the zoning and development of adjacent and nearby property?
- c. Will the proposed use adversely affect the existing use, value or usability of adjacent or nearby property?
- d. Is the proposed use compatible with the purpose and intent of the Comprehensive Plan?
- e. Are there substantial reasons why the property cannot or should not be used as currently zoned?
- f. Will the proposed use cause an excessive or burdensome use of public facilities or services or exceed the present or funded capabilities, included but not limited to streets, water or sewer utilities, and police or fire protection?
- g. Is the proposed use supported by new or changing conditions not anticipated by the Comprehensive Plan or reflected in the existing zoning on the property or surrounding properties?
- h. Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, and a reasonable private use of the subject property?

2. A traffic impact analysis is to include the existing average daily traffic on road/streets leading to the nearest intersection and the projected average daily traffic. Additional requirements for the analysis may be provided by the Planning and Development Department and included with the application.

3. The estimated number of dwelling units and total floor area of non-residential uses (if applicable) of the proposed development.

4. Effect on the environment surrounding the area to be rezoned including the effect on all natural and historic resources. (State source of the information)

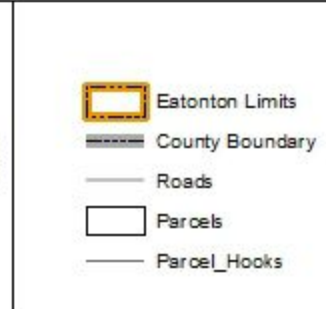
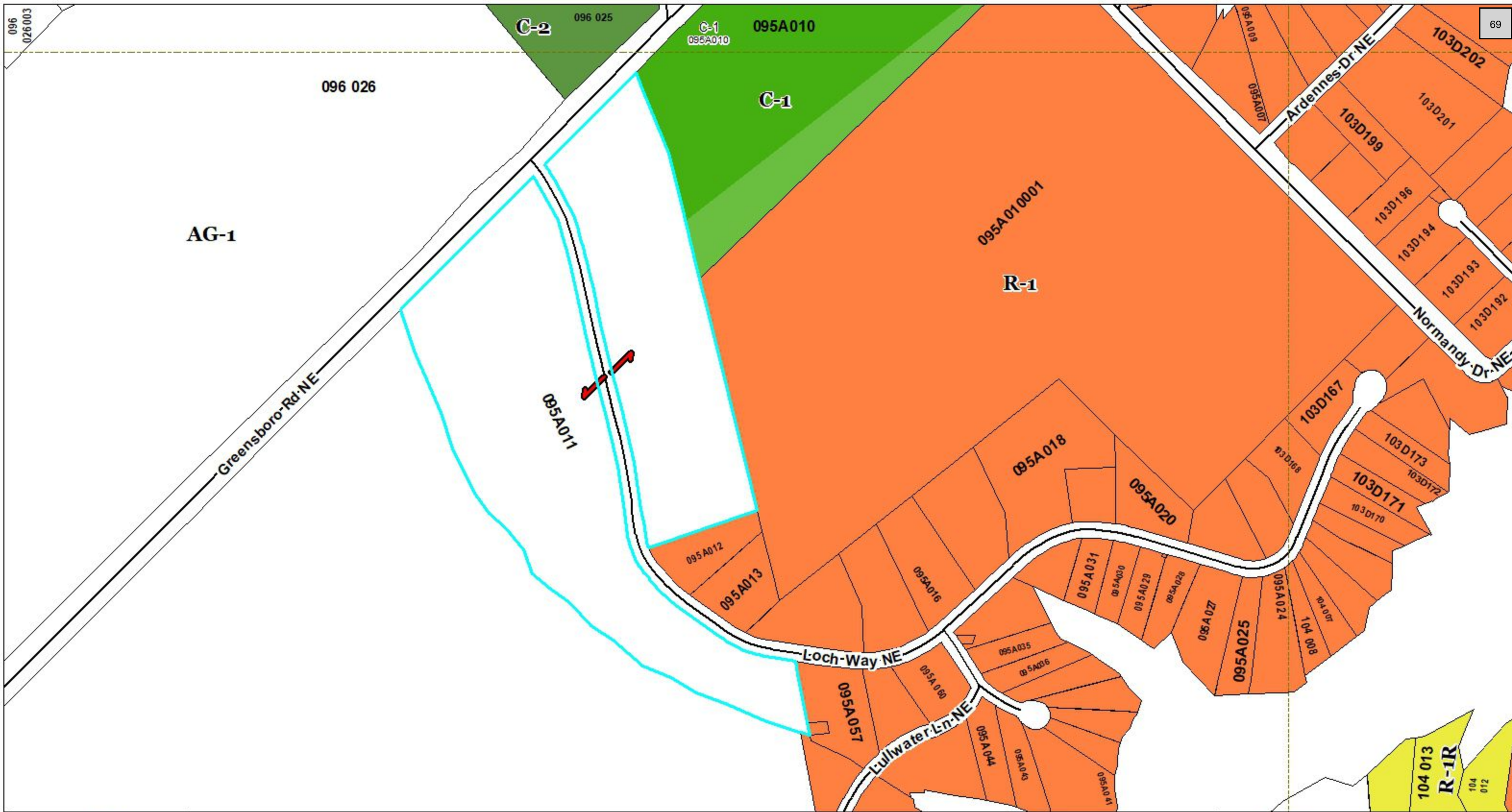
5. Impact on fire protection with respect to the need for additional firefighting equipment or personnel. (State source of the information)

6. What are the physical characteristics of the site with respect to topography and drainage courses?

7. Adjacent and nearby zoning and land use.

JW

DEC 21 2021



GEOGRAPHIC FEATURE LEGEND

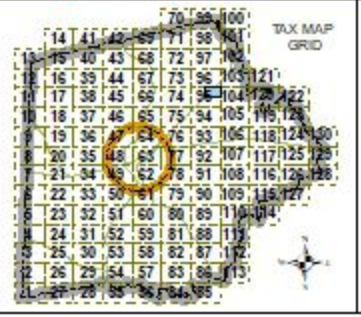
Overlay District	AG-2	C-2 CITY	IND-2 CITY	R - 1 CITY	R-1	RM-2
No Code	C-1	I-M	MHP	R - 2 CITY	R-1R	RM-3
AG-1	C-1 CITY	IND-1 CITY	PUBLIC	R - 3 CITY	R-2	VILLAGE
AG-1 CITY	C-2	IND-2	PUBLIC CITY	R - 4 CITY	RM-1	

MGRC
IT GIS Services
Middle Georgia Regional Commission
175 Emery Hwy
Suite C
Macon, Georgia 31217
(478) 751-8180
Web:
www.middlegeorgiarc.org

PUTNAM COUNTY, GEORGIA
ZONING MAPS

MAP 095A

MAP SCALE: 1" = 333.33' SCALE RATIO: 1:4,000 DATE: OCTOBER 2020



GEOGRAPHIC FEATURE LEGEND

Eatonton Limits	Agriculture/Forestry	Mixed Use	Residential
County Boundary	Commercial	Park/Recreation/Conservation	Transportation/Communication/Utilities
Roads	Industrial	Public/institutional	Undeveloped/Vacant
Parcels			
Parcel_Hooks			

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PUTNAM COUNTY, GEORGIA
FUTURE LAND USE MAPS

MAP 095A

MAP SCALE: 1" = 333.33' SCALE RATIO: 1:4,000 DATE: OCTOBER 2020

File Attachments for Item:

7. Request by Jay V. Dell, agent for 5 Star Pinestraw, LLC, to rezone 1.00 acre on Lakeman Road from C-1 to C-2 [Map 097, Parcel 066001, District 3] (staff-P&D)

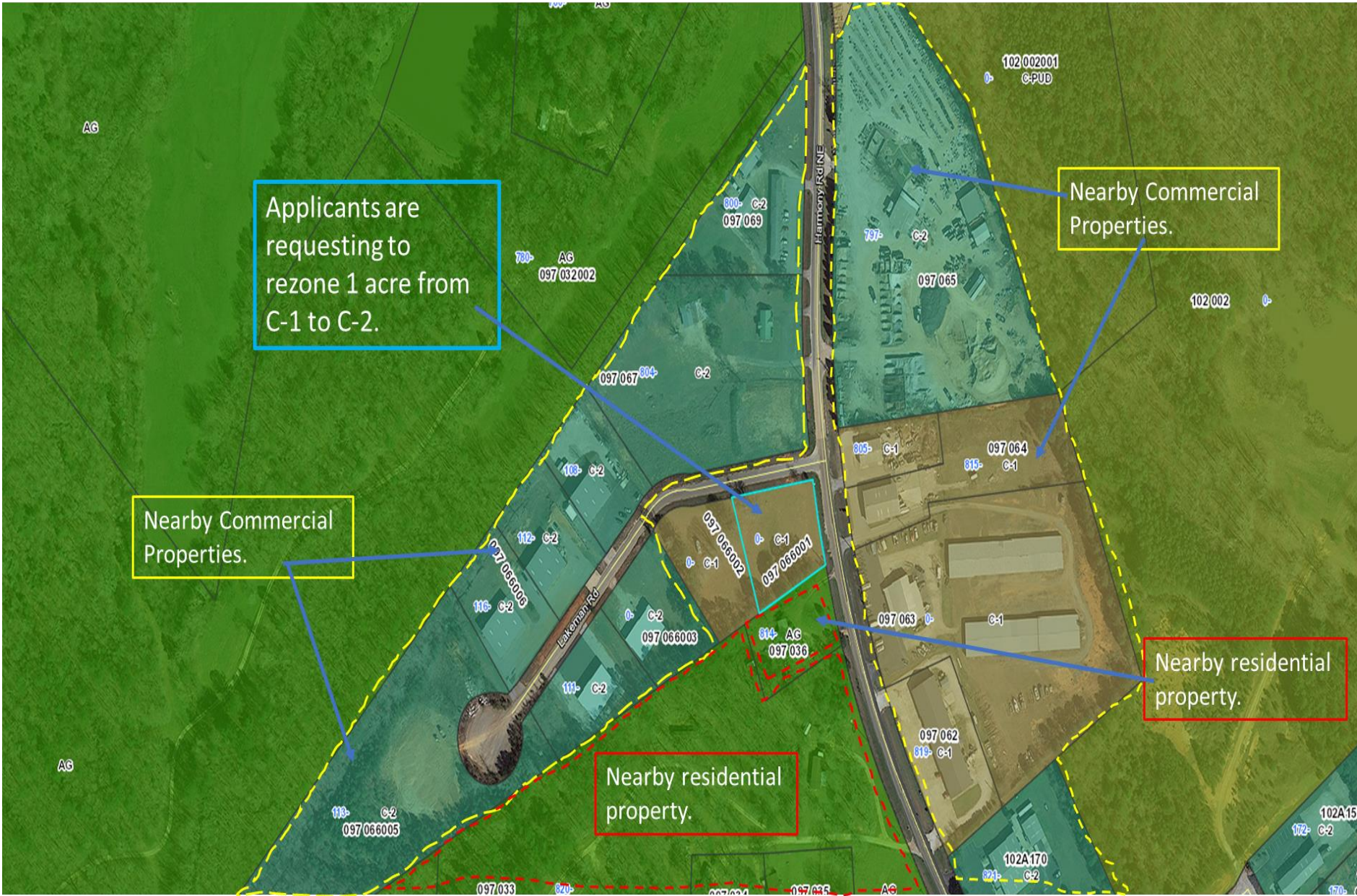
Request by Jay V. Dell, agent for 5 Star Pinestraw, LLC to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066001, District 3].

PLANNING & DEVELOPMENT-LISA JACKSON STAFF RECOMMENDATION:

The applicant is requesting to rezone 1.00 acres from C-1 to C-2 in order to establish an outdoor pinestraw business, consisting of storage, sales, and delivery. The current C-1 zoning does not allow any outside display, and all establishments are operated wholly within permanently enclosed buildings, as stated in the Putnam County Code of Ordinances **Sec. 66-102-Purpose**. The proposed C-2 zoning will allow the applicants to display merchandise outside of their business. Although the Putnam County Comprehensive Future Land Use Plan has this parcel listed as residential use, there are multiple commercial C-1 and C-2 parcels in the area. The proposed parcel is located at the corner of Lakeman and Harmony Road. All of the parcels on Lakeman road are presently zoned C-2 with the exception of the two items on the agenda. While the property can be used as it is currently zoned, this request coincides with the neighboring properties. The rezoning will not adversely affect the existing use, value, or usability of adjacent or nearby properties. In addition, there is no evidence that the proposed development would cause excessive or burdensome use of public services, nor should it affect police, fire protection, or sewer services. If approved, the developer would be required to establish and maintain a 50-foot berm or buffer along the property line that abuts the adjacent residential property (Map 097, Parcel 036) as stated in **Sec. 66-107(g) of the Putnam County Code of Ordinances**.

Staff recommendation is for approval to rezone 1.00 acres from C-1 to C-2 on Lakeman Road [Map 097, Parcel 066001, District 3] with the following condition:

- 1) The developer shall develop and maintain a 50-foot buffer or berm along the property lines that abut Map 097, Parcel 036 as stated in Section 66-107(g) of the Putnam County Code of Ordinances.**



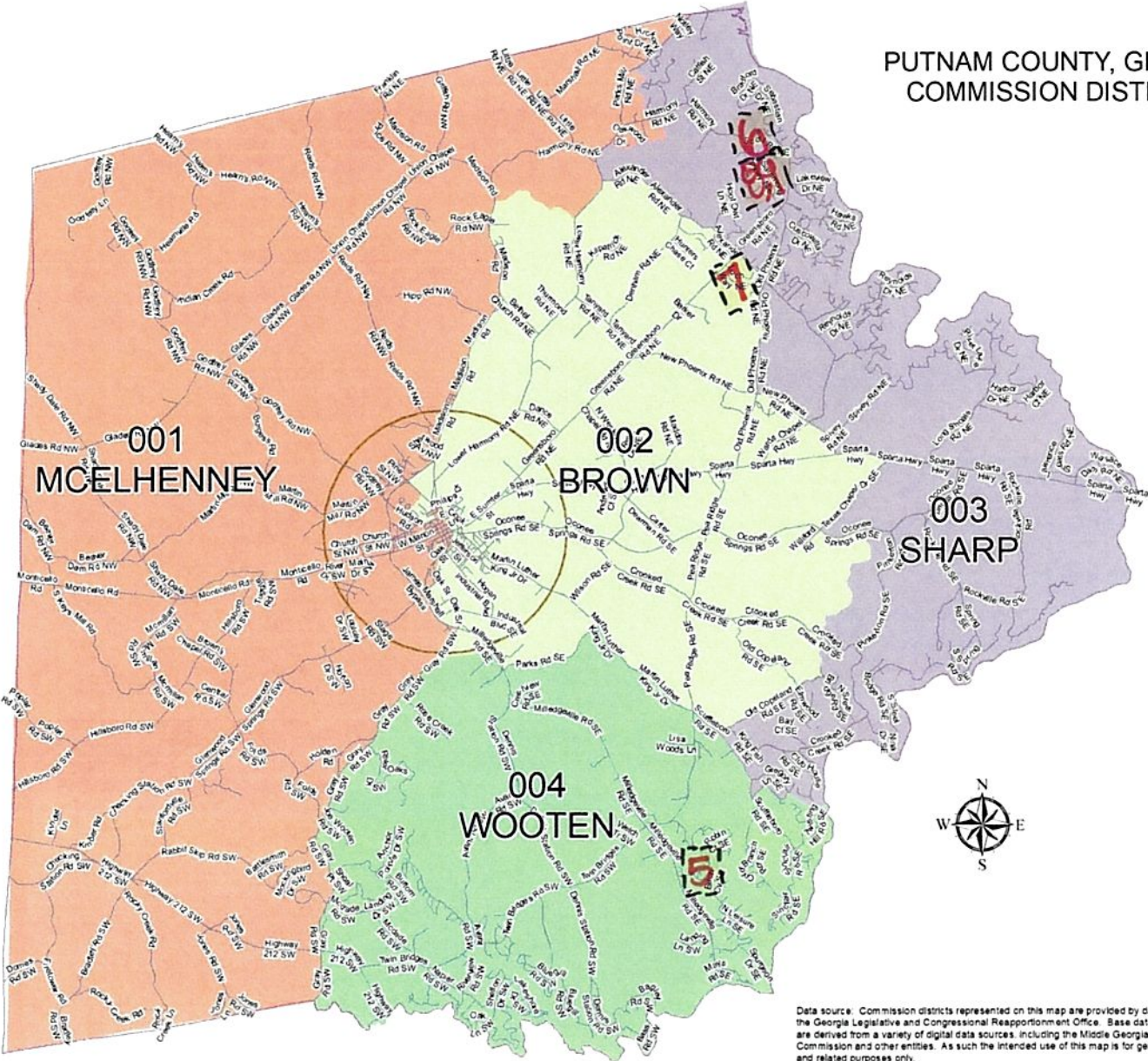
PLANNING & ZONING COMMISSION RECOMMENDATION:

The Planning & Zoning Commission's recommendation is for approval to rezone 1.00 acres from C-1 to C-2 on Lakeman Road [Map 097, Parcel 066001, District 3] with the following condition:

- 1) The developer shall develop and maintain a 50-foot buffer or berm along the property lines that abut Map 097, Parcel 036 as stated in Section 66-107(g) of the Putnam County Code of Ordinances.*

PLANNING & ZONING COMMISSION MINUTES:

PUTNAM COUNTY, GEORGIA
COMMISSION DISTRICTS



MAP SCALE 1" = 5,697.28' SCALE RATIO 1:68,367.34 DATE: JANUARY 2021

5. Request by **Jim Carlisle** for a side yard setback variance at 113 Cherry Point. Presently zoned R-1 [Map 087B, Parcel 197, District 4].
6. Request by **Rick McAllister, agent for Shaifer Oconee, LLC** to rezone 3.096 acres on Scott Road/Sammons Industrial Parkway from C-PUD to C-2. [Map 102, Part of Parcel 002, District 3].*
7. Request by **Matt Fleming, agent for Carolyn Walton c/o Carol W. Williams** to rezone 32.11 acres on Loch Way from AG to R-1. [Map 095A, Parcel 011, District 2].*
8. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066001, District 3].*
9. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066002, District 3].*



PUTNAM COUNTY PLANNING & DEVELOPMENT

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Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

APPLICATION FOR REZONING

REZONING

PERMIT# Plan-2021-02525

APPLICATION NO. _____

DATE: 11/23/2021

MAP 097 PARCEL 066 001 ZONING DISTRICT C-1^{KW}

1. Owner Name: 5 Star Pinestraw, LLC
2. Applicant Name (If different from above): Jay V. Dell, as agent for 5 Star Pinestraw, LLC
3. Mailing Address: 1040 Founders Row, Ste B, Greensboro, GA 30642
4. Email Address: jay.dell@jvdelllaw.com
5. Phone: (home) N/A (office) (706) 453-4800 (cell) [REDACTED]
6. The location of the subject property, including street number, if any: Lot 2 Lakeman Road, Eatonton, GA 31024
7. The area of land proposed to be rezoned (stated in square feet if less than one acre): 1 Acres
8. The proposed zoning district desired: C-2
9. The purpose of this rezoning is (Attach Letter of Intent)
Retail sale of pinestraw and related products and services
10. Present use of property: Vacant Desired use of property: Pinestraw Sales
11. Existing zoning district classification of the property and adjacent properties:
Existing: C-1
North: C-2 South: AG East: C-1 West: C-2
12. Copy of warranty deed for proof of ownership and if not owned by applicant, please attach a signed and notarized letter of agency from each property owner for all property sought to be rezoned. See Attached
13. Legal description and recorded plat of the property to be rezoned. See Attached
14. The Comprehensive Plan Future Land Use Map category in which the property is located. (If more than one category applies, the areas in each category are to be illustrated on the concept plan. See concept plan insert.): Residential
15. A detailed description of existing land uses: Vacant, not used for anything at the current time.
16. Source of domestic water supply: well _____, community water _____, or private provider X.
If source is not an existing system, please provide a letter from provider. See Attached

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- 17. Provision for sanitary sewage disposal: septic system X, or sewer _____. If sewer, please provide name of company providing same, or, if new development, provide a letter from sewer provider.
- 18. Complete attachment of Disclosure of Campaign Contributions Form by the applicant and/or the applicant's attorney as required by the Georgia Conflict of Interest in Zoning Act (O.C.G.A. 36-67A). See attached
- 19. The application designation, date of application and action taken on all prior applications filed for rezoning for all or part of the subject property. (Please attach on separate sheet.) None
- 20. Proof that property taxes for the parcel(s) in question have been paid. See Attached
- 21. Concept plan. Not Applicable
 - If the application is for less than 25 single-family residential lots, a concept plan need not be submitted. (See attachment.)
 - A concept plan may be required for commercial development at director's discretion
- 22. Impact analysis. Not Applicable
 - If the application is for less than 25 single-family residential lots, an impact analysis need not be submitted. (See attachment.)
 - An Impact analysis (including a traffic study) is required when rezoning from residential zoned or used property to commercial or industrial districts.

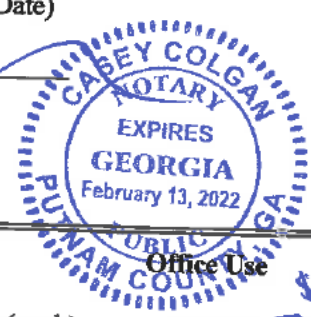
THE ABOVE STATEMENTS AND ACCOMPANYING MATERIALS ARE COMPLETE AND ACCURATE. APPLICANT HEREBY GRANTS PERMISSION FOR PLANNING AND DEVELOPMENT PERSONNEL OR ANY LEGAL REPRESENTATIVE OF PUTNAM COUNTY TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE PUTNAM COUNTY CODE OF ORDINANCES.

Director Pine Street, etc
By: [Signature] 12-3-21
Signature (Property Owner) (Date)

[Signature] 12/1/21
Signature (Applicant) (Date)

[Signature]
Notary Public

[Signature]
Notary Public



Office Use

Paid: \$ 275 (cash) _____ (check) 7457 (credit card) \$250.00

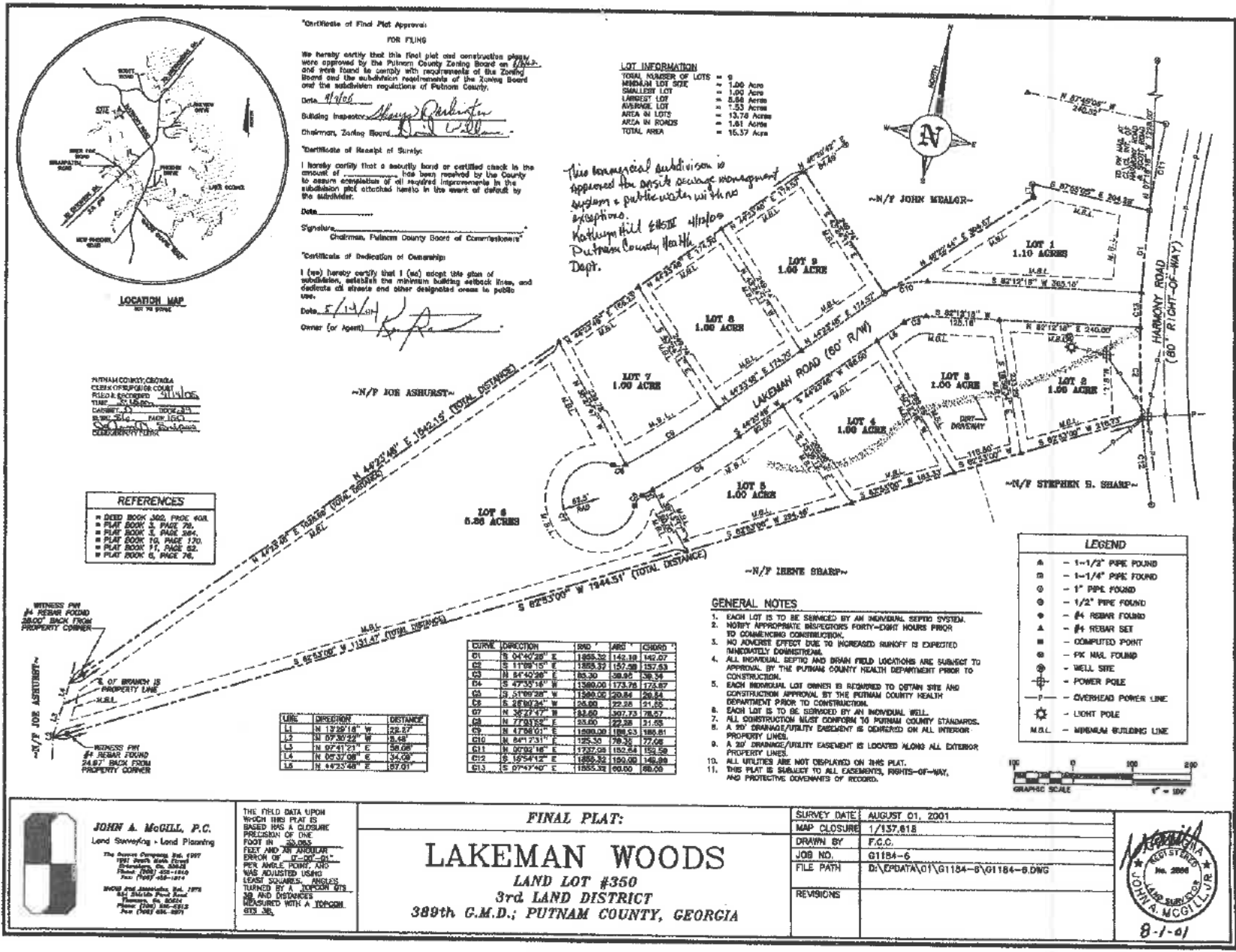
Receipt No. _____ Date Paid: 12/15/21

Date Application Received: 12/14/21

Reviewed for completeness by: _____

Date of BOC hearing: _____ Date submitted to newspaper: _____

Date sign posted on property: _____ Picture attached: yes _____ no _____



eFiled & eRecorded
DATE: 7/8/2021
TIME: 1:48 PM
DEED BOOK: 01046
PAGE: 00417 - 00418
RECORDING FEES: \$25.00
TRANSFER TAX: \$0.00
PARTICIPANT ID: 3762125793
CLERK: Trevor J. Addison
Putnam County, GA
PT61: 117-2021-001401

STATE OF GEORGIA
COUNTY OF PUTNAM

THIS INSTRUMENT WAS PREPARED BY AND SHOULD BE RETURNED TO:
RUSSELL W. WALL
LAW OFFICE OF RUSSELL W. WALL, LLC
122 NORTH MAIN STREET, SUITE B
GREENSBORO, GEORGIA 30642
(706) 433-0089
FILE NO.: 21-06046 Perez

LIMITED WARRANTY DEED

THIS INDENTURE is made and entered into as of the 7th day of July, 2021, by and between Domingo Garza, Jr. and Efrain Ruiz (a/k/a Efrain Perez-Ruiz), Grantors, and 5 STAR PINESTRAW LLC, Grantees.

WITNESSETH

That the said Grantors, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, have granted, bargained, sold, aliened, conveyed and confirmed, and by these presents do hereby grant, bargain, sell, alien, convey and confirm unto the said Grantees the following described property:

Tract I:

All that tract or parcel of land, lying and being in the 389th GMD, Putnam County, Georgia, containing 1.00 acre, more or less, designated as Lot 2, Lakeman Woods on plat prepared by John A. McGill, Jr., RLS No. 2838, dated August 1, 2001 and recorded in Plat Book 29, page 150, Clerk's Office, Putnam County Superior Court and incorporated herein.

FOR INFORMATIONAL PURPOSES ONLY:

PARCEL ID: 097 066 001

Prior Deed Reference: Deed Book 592, Page 213, said records.

Tract II:

All that tract or parcel of land lying and being in the 389th District, G.M., Putnam County, Georgia, being shown as Lot 3, containing 1.00 acres, more or less, on that certain plat of survey prepared for Lakeman Woods by John A. McGill, Jr., Registered Land Surveyor No. 2858, dated August 1, 2001, recorded in Deed Book 29, Page 150, Putnam County, Georgia records. Said plat and the record thereof are hereby incorporated herein and made a part hereof by reference.

FOR INFORMATIONAL PURPOSES ONLY:

PARCEL ID: 097 066 002



Prior Deed Reference: Deed Book 502, Page 583, said records.

TO HAVE AND TO HOLD the said described property, with all and singular the rights, members and appurtenances thereunto appertaining, to the only proper use, benefit and behoof of the said Grantee, its heirs, successors and assigns, in Fee Simple.

And the said Grantor warrants and will forever defend the right and title to the said property conveyed hereby unto the said Grantee, its heirs, successors and assigns, against the lawful claims of all persons claiming by, under, or through Grantor.

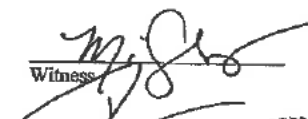

IN WITNESS WHEREOF, the Grantors have hereunto set their hands, affixed their seals, and delivered these presents on the day and year first written above.

Signed, sealed and delivered
in the presence of:

Witness 
Notary Public 

Domingo Garza, Jr. (Seal)
Domingo Garza, Jr.

Signed, sealed and delivered
in the presence of:

Witness 
Notary Public 

Efrain Ruiz (a/k/a Efrain Perez-Ruiz) (Seal)
Efrain Ruiz (a/k/a Efrain Perez-Ruiz)

LEGAL DESCRIPTION

Tract 1:

All that tract or parcel of land, lying and being in the 389th GMD, Putnam County, Georgia, containing 1.00 acre, more or less, designated as Lot 2, Lakeman Woods on plat prepared by John A. McGill, Jr., RLS No. 2858, dated August 1,2001 and recorded in Plat Book 29, page 150, Clerk's Office, Putnam County Superior Court and incorporated herein.

FOR INFORMATIONAL PURPOSES ONLY:

PARCEL ID: 097 066 001

Prior Deed Reference: Deed Book 592, Page 213, said records.

Tract 2:

All that tract or parcel of land lying and being in the 389th District, G.M., Putnam County, Georgia, being shown as Lot 3, containing 1.00 acre, more or less, on that certain plat of survey prepared for Lakeman Woods by John A. McGill, Jr., Registered Land Surveyor No. 2858, dated August 1, 2001, recorded in Deed Book 29, Page 150, Putnam County, Georgia records. Said plat and the record thereof are hereby incorporated herein and made a part hereof by reference.

FOR INFORMATIONAL PURPOSES ONLY:

PARCEL ID: 097 066 002

Prior Deed Reference: Deed Book 502, Page 583, said records.



December 3, 2021

Jay Dell
J. V. Dell, P.C.
1040 Founders Row
Suite B
Greensboro, Georgia 30642

Subject: Water Service for Tax Parcels 097066001 & 097066002

Mr. Dell:

Piedmont Water Company has water mains along Lakeman Road and can provide service to the parcels listed above.

Sincerely,

A handwritten signature in dark ink, appearing to read "W. J. Matthews", with a long horizontal flourish extending to the right.

W. J. Matthews
Vice President of Operations

LETTER OF INTENT

5 STAR PINESTRAW, LLC

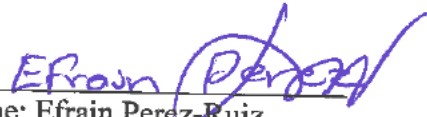
TAX MAP PARCEL 097 066 001& 097 066 002

December 1, 2021

Putnam County Zoning Administration:

We are requesting to rezone the above property from C-1 to C-2 zoning district classification. The property is currently vacant and has no use at this time. We recently purchased the property with the intent of relocating our pine straw business to this location. The business will consist of storing, selling, and delivering pine straw for consumers in the local area. We intend to relocate our current business at 1026 Greensboro Road, Eatonton, GA 31204 to this property. We will build a small sales office and have storage facilities for pine straw and other related products.

Sincerely,
5 Star Pinestraw, LLC

By: 
Name: Efrain Perez-Ruiz
Its: Manager



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

DISCLOSURE OF APPLICANT'S CAMPAIGN CONTRIBUTION

The Putnam County Code of Ordinances, Section 66-167(c) states as follows:

“When any applicant or his attorney for a rezoning action has made, within two years immediately preceding the filing of that applicant’s application for the rezoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application, it shall be the duty of the applicant to file a disclosure report with the governing authority of the respective local government showing:

a. The name and official position of the local government official to whom the campaign contribution was made; and

b. The dollar amount and description of each campaign contribution made by the applicant to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution. The disclosures required by this section shall be filed within ten days after an application for the rezoning action is first filed.”

1. Name: Jay Dell, Attorney At Law

2. Address: 1040 Founders Row, Ste B, Greensboro, GA 30642

3. Have you given contributions that aggregated \$250.00 or more within two years immediately preceding the filing of the attached application to a candidate that will hear the proposed application? Yes X No If yes, who did you make the contributions to? : _____

Signature of Applicant: 

Date: 12 / 1 / 21



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1. Name: Efrain Perez Ruiz

2. Address: 153 New Phoenix Road NE, Eatonton, GA 31024

3. Have you given contributions that aggregated \$250.00 or more within two years immediately preceding the filing of the attached application to a candidate that will hear the proposed application? Yes X No If yes, who did you make the contributions to? : _____

Signature of Applicant: Efrain Perez Ruiz
Date: 12 / 3 / 21

INTERNET TAX RECEIPT

2021 001047
BANDEL FRANK & LINDA

LT 2 LAKEMAN WOODS
097 066 001

DESCRIPTION	TAX AMOUNT	EXEMPTION	MILLAGE
FAIR MARKET VALUE	\$25,000		
COUNTY	\$77.20	\$0.00	7.72
SCHOOL	\$149.00	\$0.00	14.9
SPEC SERV	\$1.65	\$0.00	0.165

ORIGINAL TAX DUE
\$227.85
INTEREST
COLLECTION COST
FIFA CHARGE
PENALTY
TOTAL PAID
\$227.85
TOTAL DUE
\$0.00

TO BANDEL FRANK & LINDA
153 NEW PHOENIX RD
EATONTON, GA 31024

FROM Putnam County Tax Commissioner
100 South Jefferson Ave Suite 207
Eatonton, GA 31024-1061
(706) 485-5441



Date Paid: 11/19/2021



Scan this code with
your mobile phone
to view this bill

INTERNET TAX RECEIPT

INTERNET TAX RECEIPT
 LT 3 LAKEMAN WOODS
 097 066 002

2021 024777
 WATKINS MARK E

DESCRIPTION	TAX AMOUNT	EXEMPTION	MILLAGE
FAIR MARKET VALUE	\$26,000		
COUNTY	\$77.20	\$0.00	7.72
SCHOOL	\$149.00	\$0.00	14.9
SPEC SERV	\$1.65	\$0.00	0.165

ORIGINAL TAX DUE	\$227.85
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TOTAL PAID	\$227.85
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TO WATKINS MARK E
 153 NEW PHOENIX RD
 EATONTON, GA 31024

FROM Putnam County Tax Commissioner
 100 South Jefferson Ave Suite 207
 Eatonton, GA 31024-1061
 (706) 485-6441



Date Paid: 11/19/2021



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 your mobile phone
 to view this bill

INTERNET TAX RECEIPT



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

LETTER OF AGENCY- 5 Star Pinestraw, LLC

WE, THE UNDERSIGNED OWNERS OF REAL PROPERTY LOCATED IN THE CITY OF EATONTON/PUTNAM COUNTY, GEORGIA, HEREBY APPOINT Jay V. Dell TO BE MY/OUR AGENT FOR THE PURPOSE OF APPLYING FOR Rezoning OF PROPERTY DESCRIBED AS MAP 097 PARCEL 006 001 & 006 002, CONSISTING OF 2 ACRES, WHICH HAS THE FOLLOWING ADDRESS: Lot 2 & 3, Lakeman Road EATONTON, GEORGIA 31024. ATTACHED HERETO IS A COPY OF A DEED AND OR PLAT OF SURVEY DESCRIBING THE PROPERTY OWNED BY THE PROPERTY OWNER(S) TO WHICH THIS LETTER OF AGENCY APPLIES.

THE ABOVE-NAMED AGENT HEREBY IS AUTHORIZED TO COMPLETE AND SIGN THE CITY OF EATONTON/PUTNAM COUNTY APPLICATION FOR 5 Star Pinestraw, LLC ON OUR BEHALF. WE UNDERSTAND THAT THIS LETTER OF AGENCY WILL BE ATTACHED TO AND MADE PART OF SAID FORM AND WILL BE RELIED UPON BY THE CITY OF EATONTON/PUTNAM COUNTY. FOR AND IN CONSIDERATION OF THE CITY OF EATONTON/PUTNAM COUNTY ACCEPTING THIS LETTER OF AGENCY, WE HEREBY INDEMNIFY AND HOLD HARMLESS THE CITY OF EATONTON/PUTNAM COUNTY AND ITS AGENTS AND/OR EMPLOYEES IN THE EVENT THAT THE ABOVE NAMED AGENT SHOULD MISUSE THIS LETTER OF AGENCY AND WE SUFFER DAMAGES AS A RESULT.

THIS 23rd DAY OF November, 2021.

PROPERTY OWNER(S): 5 Star Pinestraw, LLC

Efrain Perera NAME (Neatly PRINTED)
Efrain Perera SIGNATURE

ADDRESS: P O Box 3153, Eatonton, GA 31024
PHONE: (912) 347-8027

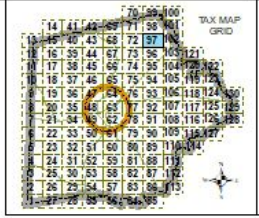
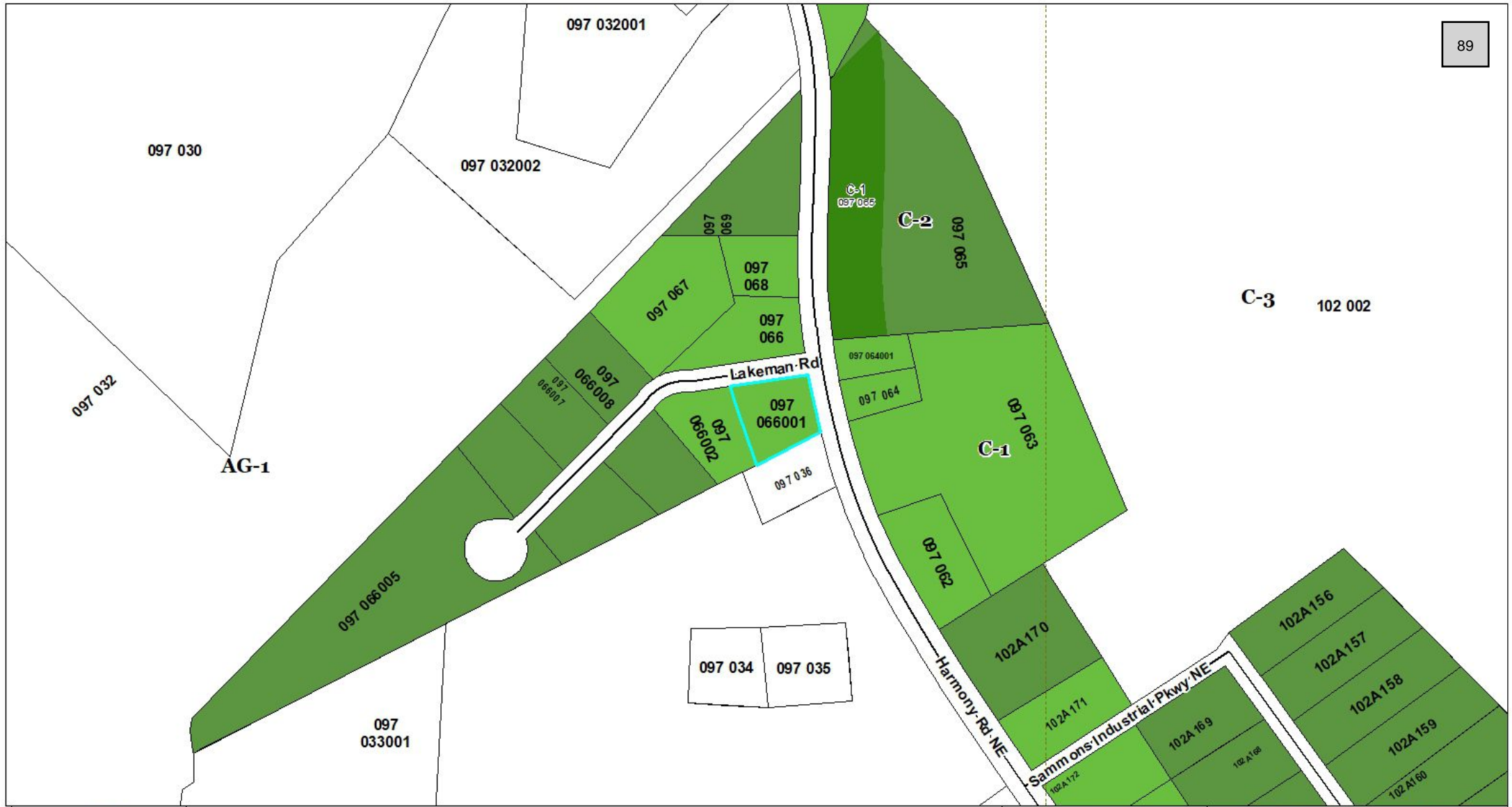
ALL SIGNATURES WERE HEREBY SWORN TO AND SUBSCRIBED BEFORE ME THIS 23rd DAY OF November, 2021

NOTARY Casey Colgan

MY COMMISSION EXPIRES:



(SEAL)



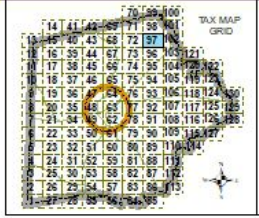
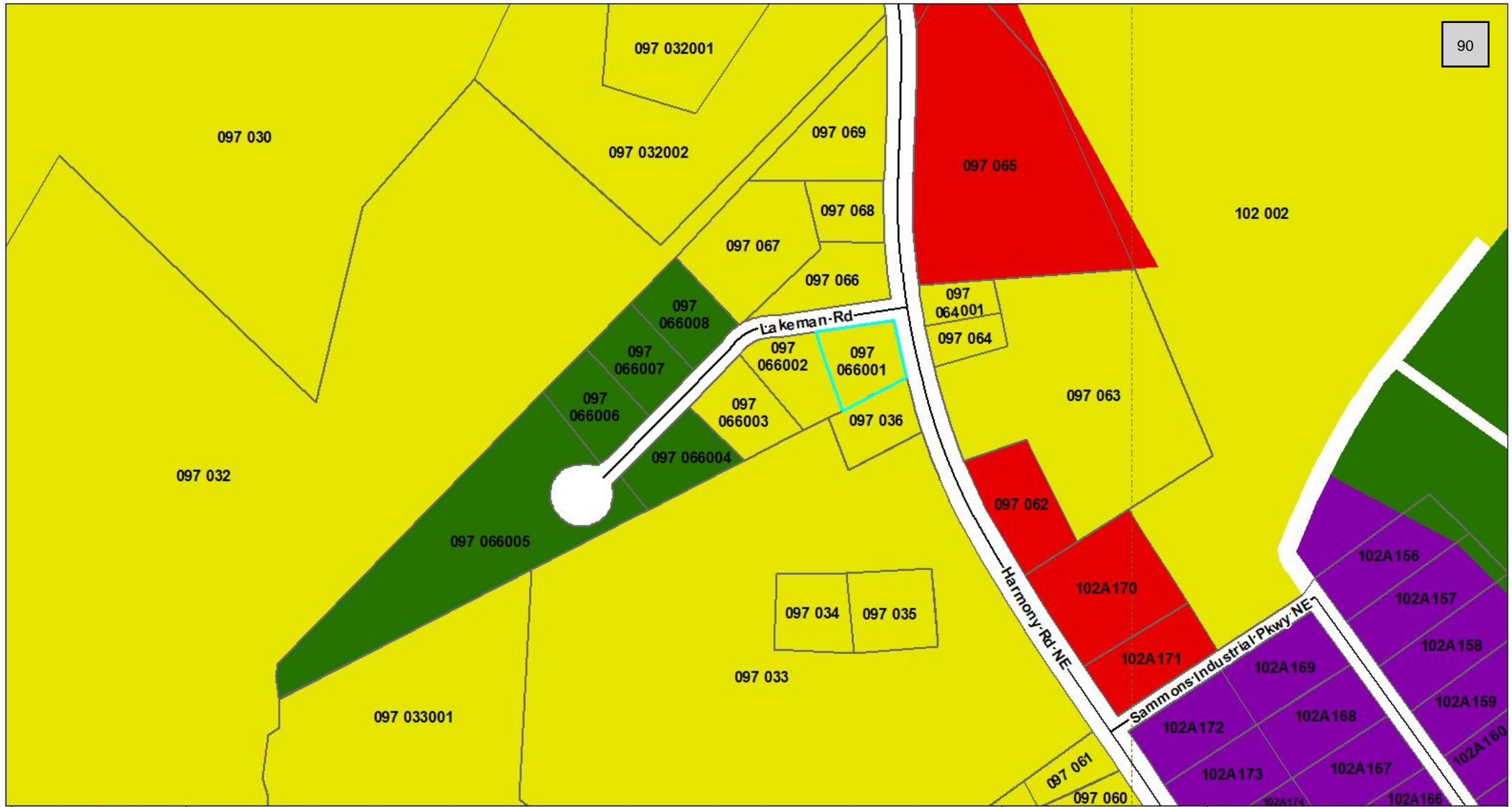
GEOGRAPHIC FEATURE LEGEND					
Eatonton Limits	Overlay District	AG-2	C-2 CITY	IND-2 CITY	R - 1 CITY
County Boundary	No Code	C-1	I-M	MHP	R - 2 CITY
Roads	AG-1	C-1 CITY	IND-1 CITY	PUBLIC	R-1R
Parcels	AG-1 CITY	C-2	IND-2	PUBLIC CITY	R-2
Parcel Hooks				R - 4 CITY	RM-1
					RM-2
					VILLAGE
					RM-3

LMGRC
Middle Georgia Regional Commission
175 Emery Hwy
Suite C
Macon, Georgia 31217
(478) 751-6160
Web:
www.middlegeorgia.org

PUTNAM COUNTY, GEORGIA
ZONING MAPS

MAP 097

MAP SCALE: 1" = 250'
SCALE RATIO: 1:3,000
DATE: DECEMBER 2021



GEOGRAPHIC FEATURE LEGEND

Eatonton Limits	Agriculture/Forestry	Mixed Use	Residential
County Boundary	Commercial	Park/Recreation/Conservation	Transportation/Communication/Utilities
Roads	Industrial	Public/Institutional	Undeveloped/Vacant
Parcels			
Parcel_Hooks			

LMGRC
Middle Georgia Regional Commission
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PUTNAM COUNTY, GEORGIA
FUTURE LAND USE MAPS

MAP 097

MAP SCALE: 1" = 250' SCALE RATIO: 1:3,000 DATE: DECEMBER 2021

File Attachments for Item:

8. Request by Jay V. Dell, agent for 5 Star Pinestraw, LLC, to rezone 1.00 acre on Lakeman Road from C-1 to C-2 [Map 097, Parcel 066002, District 3] (staff-P&D)

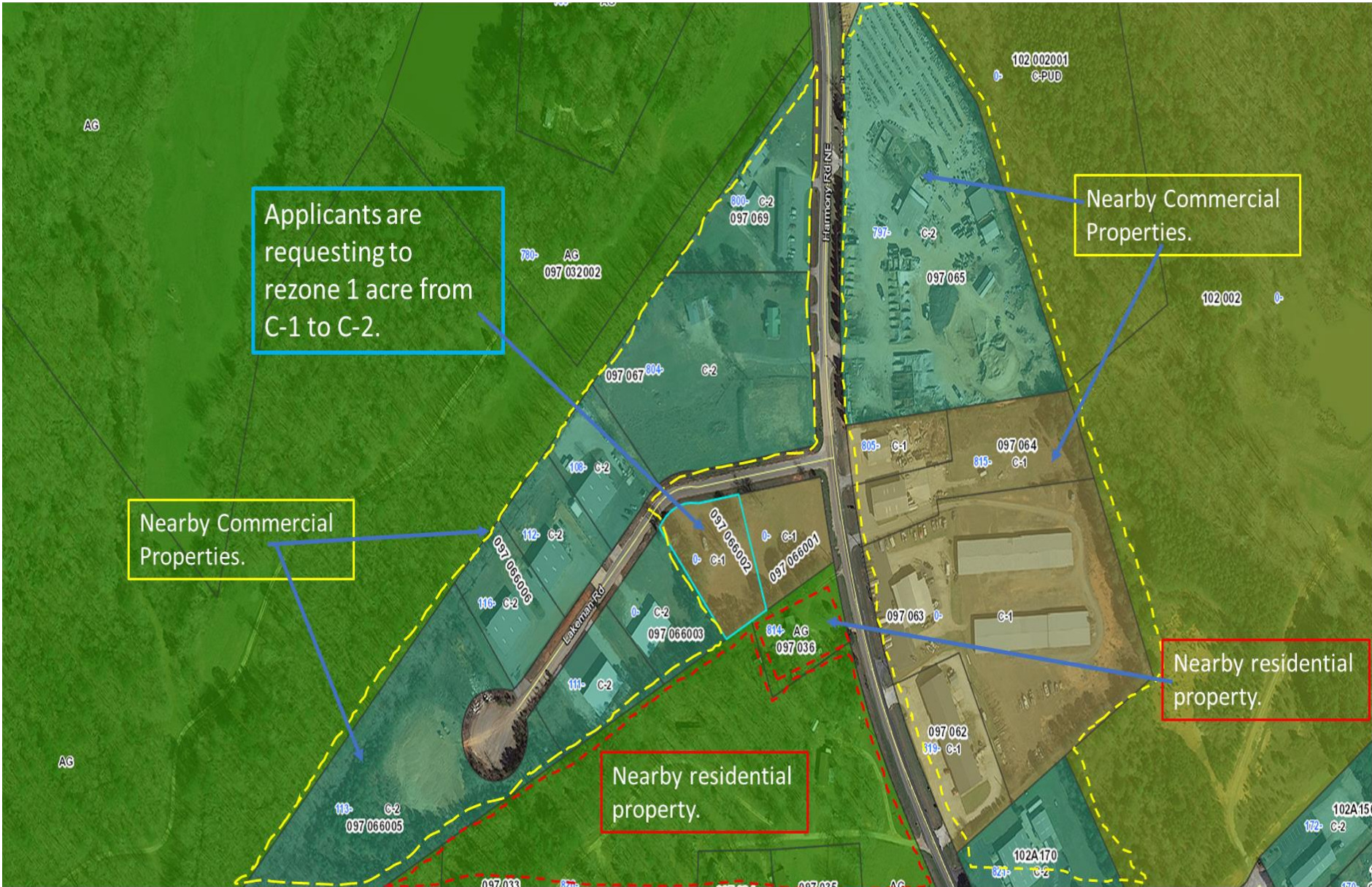
Request by Jay V. Dell, agent for 5 Star Pinestraw, LLC to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066002, District 3].

PLANNING & DEVELOPMENT-LISA JACKSON STAFF RECOMMENDATION:

The applicant is requesting to rezone 1.00 acres from C-1 to C-2 in order to establish an outdoor pinestraw business, consisting of storage, sales, and delivery. The current C-1 zoning does not allow any outside display, and all establishments are operated wholly within permanently enclosed buildings, as stated in the Putnam County Code of Ordinances **Sec. 66-102-Purpose**. The proposed C-2 zoning will allow the applicants to display merchandise outside of their business. Although the Putnam County Comprehensive Future Land Use Plan has this parcel listed as residential use, there are multiple commercial C-1 and C-2 parcels in the area. The proposed parcel is located at the corner of Lakeman and Harmony Road. All of the parcels on Lakeman road are presently zoned C-2 with the exception of the two items on the agenda. While the property can be used as it is currently zoned, this request coincides with the neighboring properties. The rezoning will not adversely affect the existing use, value, or usability of adjacent or nearby properties. In addition, there is no evidence that the proposed development would cause excessive or burdensome use of public services, nor should it affect police, fire protection, or sewer services. If approved, the developer would be required to establish and maintain a 50-foot berm or buffer along the property line that abuts the adjacent residential properties (Map 097, Parcel 036 and Map 097, Parcel 033) as stated in **Sec. 66-107(g) of the Putnam County Code of Ordinances**.

Staff recommendation is for approval to rezone 1.00 acres from C-1 to C-2 on Lakeman Road [Map 097, Parcel 066002, District 3] with the following condition:

- 1) The developer shall develop and maintain a 50-foot buffer or berm along the property lines that abut Map 097, Parcel 036 and Map 097, Parcel 033 as stated in section 66-107(g) of the Putnam County Code of Ordinances.**



Applicants are requesting to rezone 1 acre from C-1 to C-2.

Nearby Commercial Properties.

Nearby Commercial Properties.

Nearby residential property.

Nearby residential property.

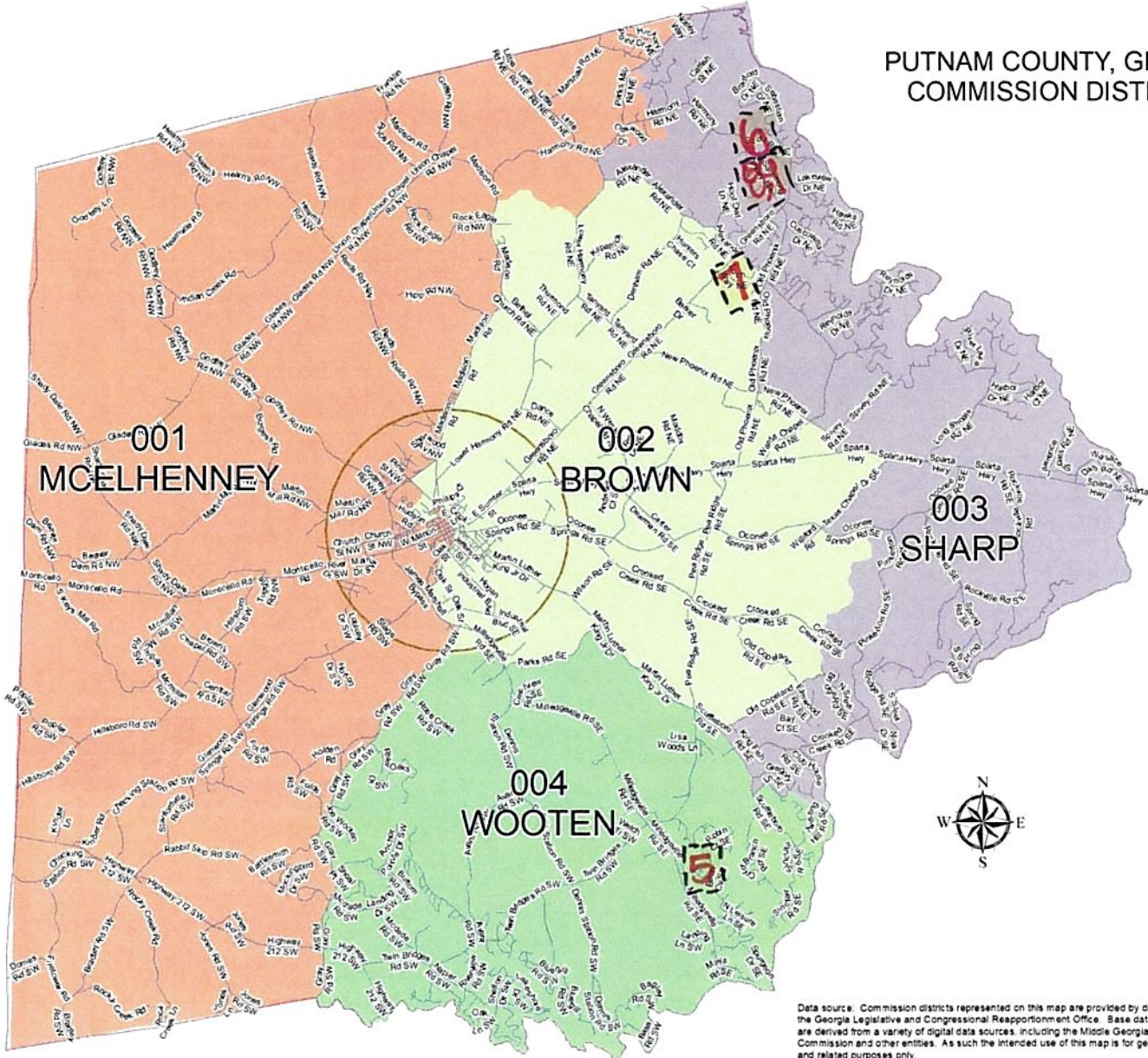
PLANNING & ZONING COMMISSION RECOMMENDATION:

The Planning & Zoning Commission's recommendation is for approval to rezone 1.00 acres from C-1 to C-2 on Lakeman Road [Map 097, Parcel 066002, District 3] with the following condition:

- 2) The developer shall develop and maintain a 50-foot buffer or berm along the property lines that abut Map 097, Parcel 036 and Map 097, Parcel 033 as stated in section 66-107(g) of the Putnam County Code of Ordinances.*

PLANNING & ZONING COMMISSION MINUTES:

PUTNAM COUNTY, GEORGIA
COMMISSION DISTRICTS



Data source: Commission districts represented on this map are provided by data from the Georgia Legislative and Congressional Reapportionment Office. Base data features are derived from a variety of digital data sources, including the Middle Georgia Regional Commission and other entities. As such the intended use of this map is for general planning and related purposes only.

MAP SCALE 1" = 5,697.28' SCALE RATIO 1:68,367.34 DATE: JANUARY 2021

5. Request by **Jim Carlisle** for a side yard setback variance at 113 Cherry Point. Presently zoned R-1 [Map 087B, Parcel 197, District 4].
6. Request by **Rick McAllister, agent for Shaifer Oconee, LLC** to rezone 3.096 acres on Scott Road/Sammons Industrial Parkway from C-PUD to C-2. [Map 102, Part of Parcel 002, District 3].*
7. Request by **Matt Fleming, agent for Carolyn Walton c/o Carol W. Williams** to rezone 32.11 acres on Loch Way from AG to R-1. [Map 095A, Parcel 011, District 2].*
8. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066001, District 3].*
9. Request by **Jay V. Dell, agent for 5 Star Pinstraw, LLC** to rezone 1.00 acres on Lakeman Road from C-1 to C-2. [Map 097, Parcel 066002, District 3].*



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

APPLICATION FOR REZONING

REZONING

PERMIT# Plan 2021-02541

APPLICATION NO. _____

DATE: 11/23/2021

MAP 097 PARCE: _____ 066 002 ZONING DISTRICT C-1

1. Owner Name: 5 Star Pinestraw, LLC

2. Applicant Name (If different from above): Jay V. Dell, as agent for 5 Star Pinestraw, LLC

3. Mailing Address: 1040 Founders Row, Ste B, Greensboro, GA 30642

4. Email Address: jay.dell@jvdelllaw.com

5. Phone: (home) N/A (office) (706) 453-4800 (cell) [REDACTED]

6. The location of the subject property, including street number, if any: Lot 3
Lakeman Road, Eatonton, GA 31024

7. The area of land proposed to be rezoned (stated in square feet if less than one acre):
1 Acres

8. The proposed zoning district desired: C-2

9. The purpose of this rezoning is (Attach Letter of Intent)
Retail sale of pinestraw and related products and services

10. Present use of property: Vacant Desired use of property: Pinestraw Sales

11. Existing zoning district classification of the property and adjacent properties:
Existing: C-1
North: C-2 South: AG East: C-1 West: C-2

12. Copy of warranty deed for proof of ownership and if not owned by applicant, please attach a signed and notarized letter of agency from each property owner for all property sought to be rezoned. See Attached

13. Legal description and recorded plat of the property to be rezoned. See Attached

14. The Comprehensive Plan Future Land Use Map category in which the property is located. (If more than one category applies, the areas in each category are to be illustrated on the concept plan. See concept plan insert.): Residential

15. A detailed description of existing land uses: Vacant, not used for anything at the current time.

16. Source of domestic water supply: well _____, community water _____, or private provider X.
If source is not an existing system, please provide a letter from provider. See Attached



PUTNAM COUNTY PLANNING & DEVELOPMENT

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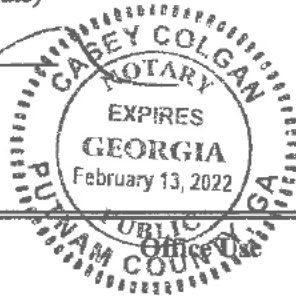
- 17. Provision for sanitary sewage disposal: septic system X, or sewer _____. If sewer, please provide name of company providing same, or, if new development, provide a letter from sewer provider.
- 18. Complete attachment of Disclosure of Campaign Contributions Form by the applicant and/or the applicant's attorney as required by the Georgia Conflict of Interest in Zoning Act (O.C.G.A. 36-67A). See attached
- 19. The application designation, date of application and action taken on all prior applications filed for rezoning for all or part of the subject property. (Please attach on separate sheet.) None
- 20. Proof that property taxes for the parcel(s) in question have been paid. See Attached
- 21. Concept plan. Not Applicable
 - If the application is for less than 25 single-family residential lots, a concept plan need not be submitted. (See attachment.)
 - A concept plan may be required for commercial development at director's discretion
- 22. Impact analysis. Not Applicable
 - If the application is for less than 25 single-family residential lots, an impact analysis need not be submitted. (See attachment.)
 - An Impact analysis (including a traffic study) is required when rezoning from residential zoned or used property to commercial or industrial districts.

THE ABOVE STATEMENTS AND ACCOMPANYING MATERIALS ARE COMPLETE AND ACCURATE. APPLICANT HEREBY GRANTS PERMISSION FOR PLANNING AND DEVELOPMENT PERSONNEL OR ANY LEGAL REPRESENTATIVE OF PUTNAM COUNTY TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE PUTNAM COUNTY CODE OF ORDINANCES.

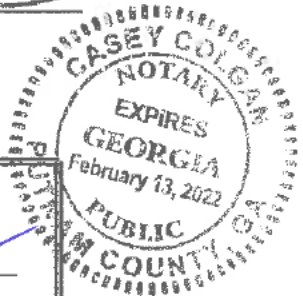
2470 Pine Strain, LLC
By: T. [Signature] 12-3-21
 Signature (Property Owner) (Date)

[Signature] 12/1/21
 Signature (Applicant) (Date)

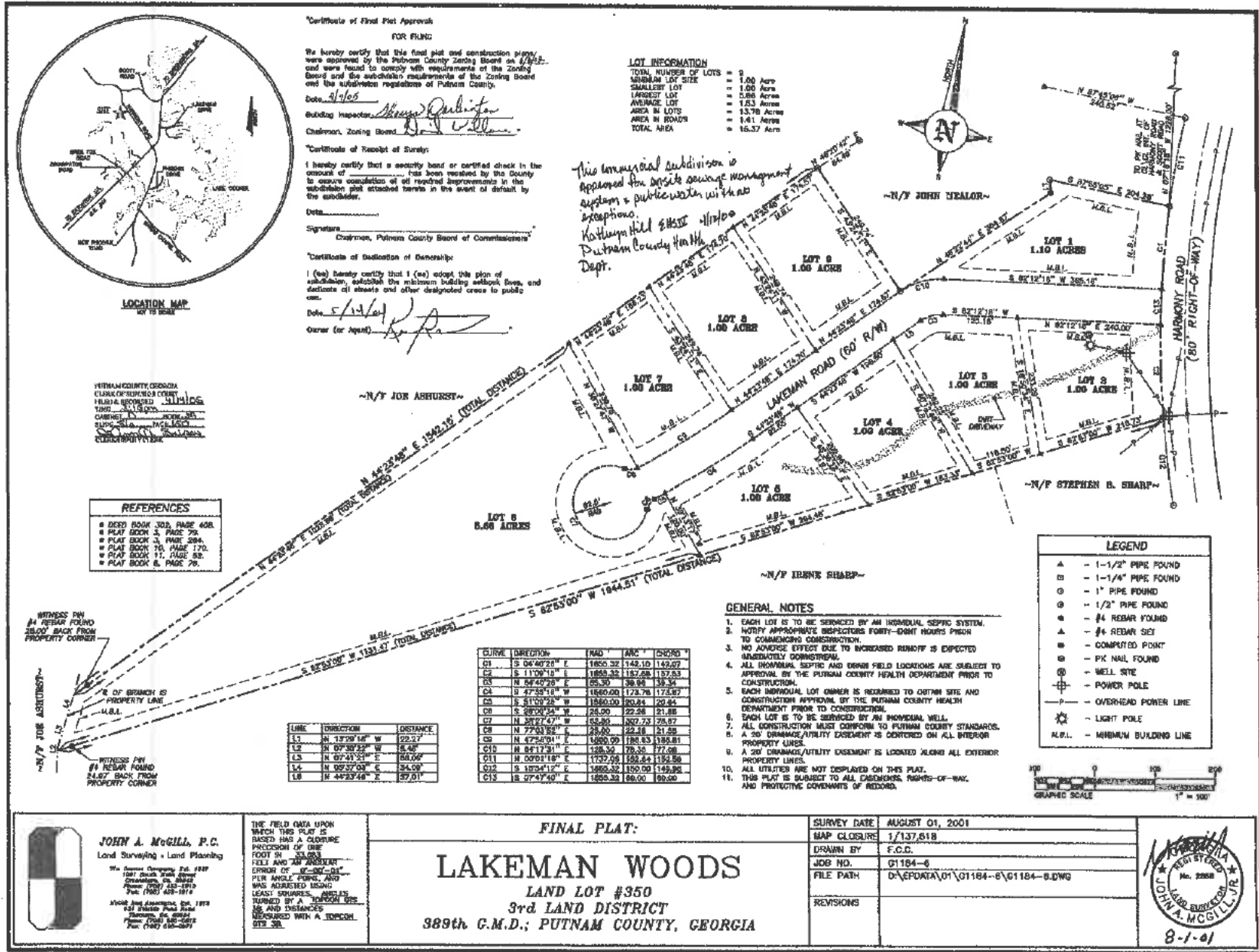
[Signature]
 Notary Public



[Signature]
 Notary Public



Paid: \$ <u>275.00</u> (cash) _____ (check) _____ (credit card) <input checked="" type="checkbox"/>		
Receipt No. _____	Date Paid: <u>12/15/21</u>	
Date Application Received: <u>12/15/21</u>		
Reviewed for completeness by: _____		
Date of BOC hearing: _____	Date submitted to newspaper: _____	
Date sign posted on property: _____	Picture attached: yes _____ no _____	



eFiled & eRecorded
DATE: 7/8/2021
TIME: 1:48 PM
DEED BOOK: 01046
PAGE: 00417 - 00418
RECORDING FEES: \$25.00
TRANSFER TAX: \$0.00
PARTICIPANT ID: 3762125793
CLERK: Trevor J. Addison
Putnam County, GA
PT61: 117-2021-001401

STATE OF GEORGIA
COUNTY OF PUTNAM

THIS INSTRUMENT WAS PREPARED BY AND SHOULD BE RETURNED TO:
RUSSELL W. WALL
LAW OFFICE OF RUSSELL W. WALL, LLC
122 NORTH MAIN STREET, SUITE B
GREENSBORO, GEORGIA 30642
(706) 453-0089
FILE NO.: 21-06046 Perez

LIMITED WARRANTY DEED

THIS INDENTURE is made and entered into as of the 7th day of July, 2021, by and between Domingo Garza, Jr. and Efraim Ruiz (a/k/a Efraim Perez-Ruiz), Grantors, and 5 STAR PINESTRAW LLC, Grantees.

WITNESSETH

That the said Grantors, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, have granted, bargained, sold, aliened, conveyed and confirmed, and by these presents do hereby grant, bargain, sell, alien, convey and confirm unto the said Grantees the following described property:

Tract I:

All that tract or parcel of land, lying and being in the 389th GMD, Putnam County, Georgia, containing 1.00 acre, more or less, designated as Lot 2, Lakeman Woods on plat prepared by John A. McGill, Jr., RLS No. 2858, dated August 1, 2001 and recorded in Plat Book 29, page 150, Clerk's Office, Putnam County Superior Court and incorporated herein.

FOR INFORMATIONAL PURPOSES ONLY:

PARCEL ID: 097 066 001

Prior Deed Reference: Deed Book 592, Page 213, said records.

Tract II:

All that tract or parcel of land lying and being in the 389th District, G.M., Putnam County, Georgia, being shown as Lot 3, containing 1.00 acres, more or less, on that certain plat of survey prepared for Lakeman Woods by John A. McGill, Jr., Registered Land Surveyor No. 2858, dated August 1, 2001, recorded in Deed Book 29, Page 150, Putnam County, Georgia records. Said plat and the record thereof are hereby incorporated herein and made a part hereof by reference.

FOR INFORMATIONAL PURPOSES ONLY:

PARCEL ID: 097 066 002

Prior Deed Reference: Deed Book 502, Page 583, said records.

TO HAVE AND TO HOLD the said described property, with all and singular the rights, members and appurtenances thereunto appertaining, to the only proper use, benefit and behoof of the said Grantee, its heirs, successors and assigns, in Fee Simple.

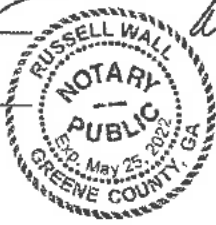
And the said Grantor warrants and will forever defend the right and title to the said property conveyed hereby unto the said Grantee, its heirs, successors and assigns, against the lawful claims of all persons claiming by, under, or through Grantor.

IN WITNESS WHEREOF, the Grantors have hereunto set their hands, affixed their seals, and delivered these presents on the day and year first written above.

Signed, sealed and delivered
in the presence of:

M. J. [Signature]
Witness

Notary Public

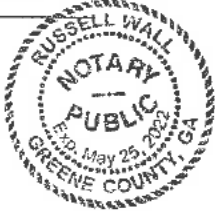


Domínguez Garza, Jr. [Signature] (Seal)
Domínguez Garza, Jr.

Signed, sealed and delivered
in the presence of:

M. J. [Signature]
Witness

Notary Public



Efraín Pérez [Signature] (Seal)
Efraín Ruiz (a/k/a Efraín Pérez-Ruiz)

LEGAL DESCRIPTION

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PARCEL ID: 097 066 002

Prior Deed Reference: Deed Book 502, Page 583, said records.



December 3, 2021

Jay Dell
J. V. Dell, P.C.
1040 Founders Row
Suite B
Greensboro, Georgia 30642

Subject: Water Service for Tax Parcels 097066001 & 097066002

Mr. Dell:

Piedmont Water Company has water mains along Lakeman Road and can provide service to the parcels listed above.

Sincerely,

A handwritten signature in black ink, appearing to read "W. J. Matthews", with a long horizontal flourish extending to the right.

W. J. Matthews
Vice President of Operations

LETTER OF INTENT

5 STAR PINESTRAW, LLC

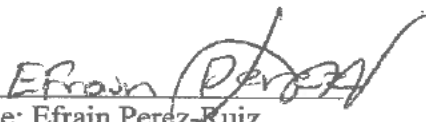
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December 1, 2021

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Sincerely,
5 Star Pinestraw, LLC

By: 
Name: Efrain Perez-Ruiz
Its: Manager

INTERNET TAX RECEIPT

2021 001047
BANDEL FRANK & LINDA

LT 2 LAKEMAN WOODS

097 066 001

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FIFA CHARGE
PENALTY
TOTAL PAID
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TOTAL DUE
\$0.00

TO BANDEL FRANK & LINDA
153 NEW PHOENIX RD
EATONTON, GA 31024

FROM Putnam County Tax Commissioner
100 South Jefferson Ave Suite 207
Eatonton, GA 31024-1061
(706) 485-5441



Date Paid: 11/19/2021



Scan this code with
your mobile phone
to view this bill

INTERNET TAX RECEIPT

INTERNET TAX RECEIPT

2021 024777
 WATKINS MARK E

LT 3 LAKEMAN WOODS
 097 066 002

DESCRIPTION	TAX AMOUNT	EXEMPTION	MILLAGE
FAIR MARKET VALUE	\$25,000		
COUNTY	\$77.20	\$0.00	7.72
SCHOOL	\$149.00	\$0.00	14.9
SPEC SERV	\$1.65	\$0.00	0.165

ORIGINAL TAX DUE
\$227.85
INTEREST
COLLECTION COST
FIFA CHARGE
PENALTY
TOTAL PAID
\$227.85
TOTAL DUE
\$0.00

TO WATKINS MARK E
 153 NEW PHOENIX RD
 EATONTON, GA 31024

FROM Putnam County Tax Commissioner
 100 South Jefferson Ave Suite 207
 Eatonton, GA 31024-1061
 (706) 485-5441



Date Paid: 11/19/2021



Scan this code with
 your mobile phone
 to view this bill

INTERNET TAX RECEIPT



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ◊ Eatonton, GA 31024

Tel: 706-485-2776 ◊ 706-485-0552 fax ◊ www.putnamcountyga.us

LETTER OF AGENCY- 5 Star Pinestraw, LLC

WE, THE UNDERSIGNED OWNERS OF REAL PROPERTY LOCATED IN THE CITY OF EATONTON/PUTNAM COUNTY, GEORGIA, HEREBY APPOINT Jay V. Dell TO BE MY/OUR AGENT FOR THE PURPOSE OF APPLYING FOR Rezoning OF PROPERTY DESCRIBED AS MAP 097 PARCEL 006 001 & 006 002, CONSISTING OF 2 ACRES, WHICH HAS THE FOLLOWING ADDRESS: Lot 2 & 3, Lakeman Road EATONTON, GEORGIA 31024. ATTACHED HERETO IS A COPY OF A DEED AND OR PLAT OF SURVEY DESCRIBING THE PROPERTY OWNED BY THE PROPERTY OWNER(S) TO WHICH THIS LETTER OF AGENCY APPLIES.

THE ABOVE-NAMED AGENT HEREBY IS AUTHORIZED TO COMPLETE AND SIGN THE CITY OF EATONTON/PUTNAM COUNTY APPLICATION FOR 5 Star Pinestraw, LLC ON OUR BEHALF. WE UNDERSTAND THAT THIS LETTER OF AGENCY WILL BE ATTACHED TO AND MADE PART OF SAID FORM AND WILL BE RELIED UPON BY THE CITY OF EATONTON/PUTNAM COUNTY. FOR AND IN CONSIDERATION OF THE CITY OF EATONTON/PUTNAM COUNTY ACCEPTING THIS LETTER OF AGENCY, WE HEREBY INDEMNIFY AND HOLD HARMLESS THE CITY OF EATONTON/PUTNAM COUNTY AND ITS AGENTS AND/OR EMPLOYEES IN THE EVENT THAT THE ABOVE NAMED AGENT SHOULD MISUSE THIS LETTER OF AGENCY AND WE SUFFER DAMAGES AS A RESULT.

THIS 23rd DAY OF November, 2021.

PROPERTY OWNER(S): 5 Star Pinestraw, LLC

Efrain Perera NAME (Neatly PRINTED) Efrain Perera SIGNATURE

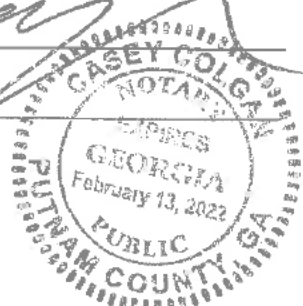
ADDRESS: P O Box 3153, Eatonton, GA 31024

PHONE: (912) 347-8027

ALL SIGNATURES WERE HEREBY SWORN TO AND SUBSCRIBED BEFORE ME THIS 23rd DAY OF November, 2021

NOTARY Casey Golgan

MY COMMISSION EXPIRES:

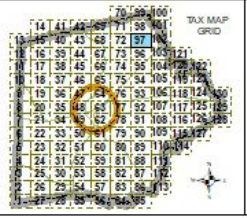


(SEAL)



AG-1

097 034 097 035



- Eatonton Limits
- County Boundary
- Roads
- Parcels
- Parcel Hooks

GEOGRAPHIC FEATURE LEGEND

Overlay District	AG-2	C-2 CITY	IND-2 CITY	R - 1 CITY	RM-2
No Code	C-1	I-M	MHP	R - 2 CITY	R-1R
AG-1	C-1 CITY	IND-1 CITY	PUBLIC	R - 3 CITY	RM-3
AG-1 CITY	C-2	IND-2	PUBLIC CITY	R - 4 CITY	RM-1

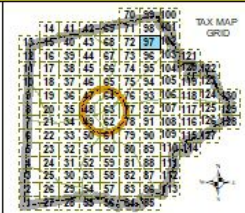
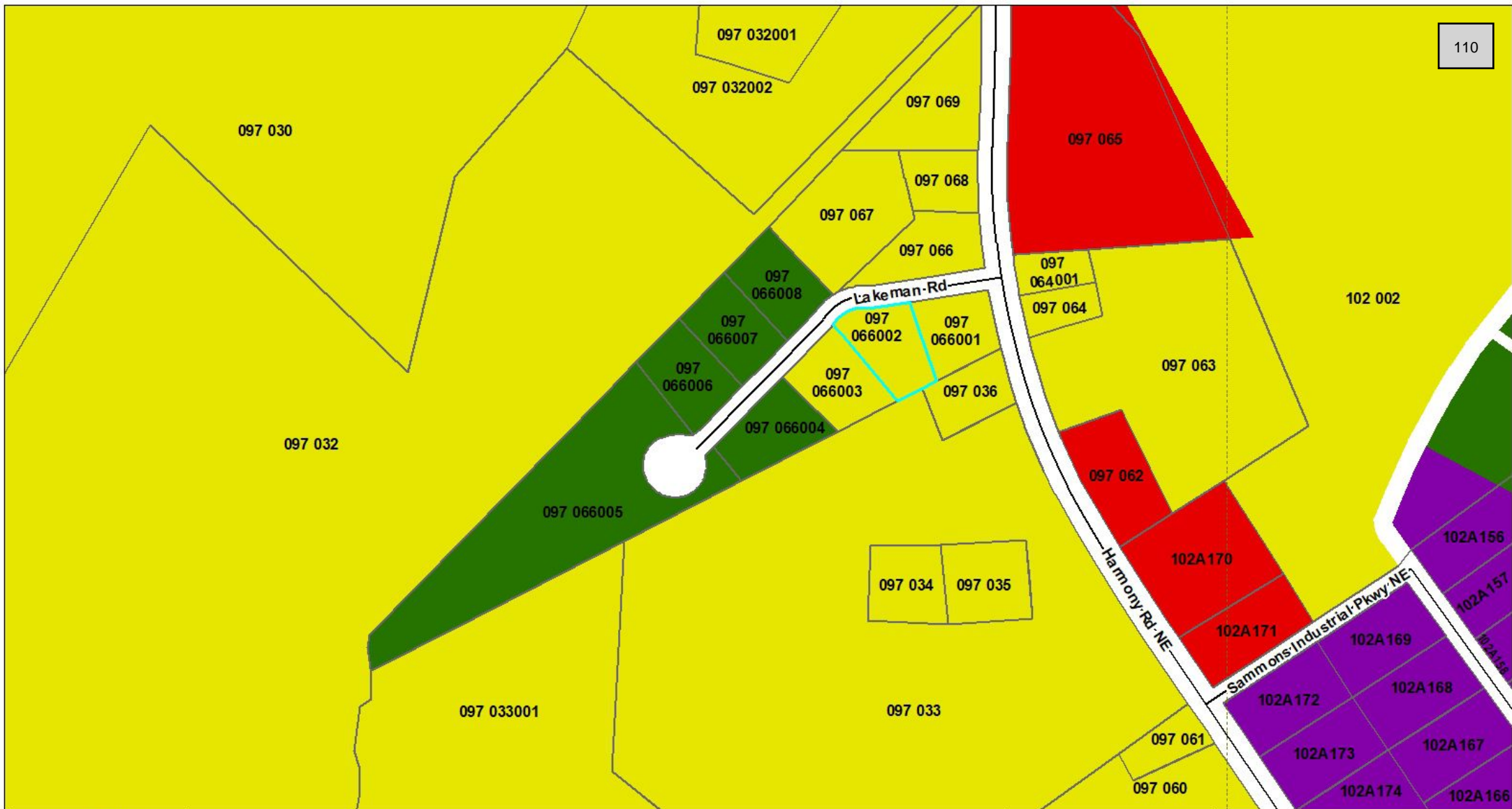


Middle Georgia Regional Commission
 175 Emery Hwy
 Suite C
 Macon, Georgia 31217
 (478) 751-6160
 Web:
www.middlegeorgia.org

PUTNAM COUNTY, GEORGIA
ZONING MAPS

MAP 097

MAP SCALE: 1" = 250' SCALE RATIO: 1:3,000 DATE: DECEMBER 2021



GEOGRAPHIC FEATURE LEGEND			
Eatonton Limits	Agriculture/Forestry	Mixed Use	Residential
County Boundary	Commercial	Park/Recreation/Conservation	Transportation/Communication/Utilities
Roads	Industrial	Public/Institutional	Undeveloped/Vacant
Parcels			
Parcel Hooks			

Middle Georgia Regional Commission

 175 Emery Hwy

 Suite C

 Macon, Georgia 31217

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PUTNAM COUNTY, GEORGIA

 FUTURE LAND USE MAPS

MAP 097

 MAP SCALE: 1" = 250' SCALE RATIO: 1:3,000 DATE: DECEMBER 2021

File Attachments for Item:

10. Consent Agenda

- a. Approval of Minutes - February 4, 2022 Regular Meeting (staff-CC)
- b. Approval of 2022 Alcohol Licenses (staff-CC)

PUTNAM COUNTY BOARD OF COMMISSIONERS



117 Putnam Drive, Suite A ♦ Eatonton, GA 31024

Minutes

Friday, February 4, 2022 ♦ 9:00 AM

Putnam County Administration Building – Room 203

The Putnam County Board of Commissioners met on Friday, February 4, 2022 at approximately 9:00 AM in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, Georgia.

PRESENT

- Chairman Billy Webster
- Commissioner Gary McElhenney
- Commissioner Daniel Brown
- Commissioner Bill Sharp
- Commissioner Jeff Wooten

STAFF PRESENT

- County Attorney Adam Nelson
- County Manager Paul Van Haute
- County Clerk Lynn Butterworth

Opening

1. Welcome - Call to Order

Chairman Webster called the meeting to order at approximately 9:00 a.m.
(Copy of agenda made a part of the minutes on minute book page _____.)

2. Approval of Agenda

Motion to approve the Agenda.

Motion made by Commissioner Sharp, Seconded by Commissioner Wooten.

Voting Yea: Commissioner McElhenney, Commissioner Brown, Commissioner Sharp, Commissioner Wooten

3. Invocation - Rev. Dr. Ford G'Segner

Rev. Dr. Ford G'Segner gave the invocation.

4. Pledge of Allegiance (JW)

Commissioner Jeff Wooten led the Pledge of Allegiance.

Draft Minutes	Page 1 of 5	
February 4, 2021		

5. Special Presentation-Public Safety Payment from the Governor's Office
County Manager Van Haute asked EMS Director Brad Murphey, Fire Chief Thomas McClain, and Sheriff Howard Sills to come up front to receive funds from the Governor's office for their respective employees. It took several months to get these funds and countless emails and phone calls by the Finance & Human Resources departments, who went above and beyond to get these checks to the men and women who deserve these funds. Putnam County and the State of Georgia are committed to public safety and thank all those who serve in these fields.

Regular Business Meeting

6. Public Comments

None

7. Consent Agenda

a. Approval of Minutes - January 18, 2022 Regular Meeting (staff-CC)

b. Approval of 2022 Alcohol Licenses (staff-CC)

Motion to approve the Consent Agenda.

Motion made by Commissioner McElhenney, Seconded by Commissioner Wooten.

Voting Yea: Commissioner McElhenney, Commissioner Brown, Commissioner Sharp, Commissioner Wooten

(Copy of alcohol licenses made a part of the minutes on minute book pages _____ to _____.)

8. Discussion and possible action concerning a 2022 Alcohol License (staff-CC)

County Attorney Nelson explained that the alcohol license application from James Alex Davidson for Georgia Butts BBQ was removed from the Consent Agenda after receiving correspondence from the Sheriff recommending that it be denied. He read the following from the Putnam County Code of Ordinances, Section 6-31:

Mr. Ben F. Windham, attorney representing Mr. Davidson, advised that Mr. Davidson has been charged with four counts of serving to minors since April 2021 and he has pled not guilty in State Court. He also had a friend who operated a trailer selling daiquiris from his parking lot who sold to a minor. There have been no other citations other than for noise ordinances. He is asking the board to renew the alcohol license until the results from the trial date.

Ms. Cindy Metcalf spoke on behalf of Mr. Davidson and the employees of Georgia Butts asking that the license not be denied because it affects the employees and community as well.

Ms. George Craig, on behalf of the Georgia Parenting Project, which is a benefactor of Georgia Butts, spoke to the character of Mr. Davidson and said that the trailer selling alcohol in his parking lot was separate from his business; she asked that the license not be denied.

Sheriff Howard Sills commented on his letter, stating it was not about a noise ordinance, but about alcohol ordinance violations that have been a pattern for over two years. He also advised that the drink wagon was not a separate business and it operated under Mr. Davidson's alcohol license and that it was shut down by the State Revenue Department. He advised that if the board is going to have an ordinance it should be enforced.

Draft Minutes	Page 2 of 5	
February 4, 2021		

Motion to deny the request of James Alex Davidson for an alcohol license, to afford Mr. Davidson his right to an evidentiary hearing pursuant to O.C.G.A. 3-3-2 if he so elects by providing written notice to the County Clerk within 30 days of this action, and to allow Mr. Davidson to continue alcohol service until the hearing afforded Mr. Davidson under O.C.G.A. 3-3-2.

Motion made by Commissioner Sharp, Seconded by Commissioner Brown.

Voting Yea: Commissioner McElhenney, Commissioner Brown, Commissioner Sharp, Commissioner Wooten

9. Discussion with Middle Georgia Regional Commission on Joint Comprehensive Plan (staff-CM)

Mr. Joe Black and Mr. Taylor Stickels from the Middle Georgia Regional Commission presented a PowerPoint and provided an update on the Putnam County and City of Eatonton Joint Comprehensive Plan. They explained the background of the plan and the plan components. They also provided an estimated timeline and requested suggestions for the stakeholders group, input on the structure of the meetings, and any upcoming opportunities for engagement with the community. No action was taken.

(Copy of presentation made a part of the minutes on minute book pages _____ to _____.)

10. Request from Solicitor General regarding Victim Witness & Assistance Fund (SG) (Tabled from 1-18-22 meeting)

Solicitor General Russell Thomas asked for the County Finance Department to resume fiduciary responsibilities as the holder of funds for the Victim Witness & Assistance Fund.

Motion to accept the Victim Witness & Assistance Fund back from the Solicitor General.

Motion made by Commissioner Sharp, Seconded by Commissioner McElhenney.

Voting Yea: Commissioner McElhenney, Commissioner Brown, Commissioner Sharp, Commissioner Wooten

11. Correction of Funding Source for Motions from October 19, 2021 and December 21, 2021 (staff-Finance)

County Manager Van Haute explained that a couple of previous motions needed to clarify the funding source.

From October 19, 2021 concerning the discussion of an Electric Vehicle Charging Station - the original motion was to submit the application to the State with a 50% match (\$40,000). From December 21, 2021 concerning a one time lump sum payment to the Sinclair Water Authority - the original motion was to approve a one time lump sum payment of \$250K out of rescue money to SWA.

Motion to submit the application for an Electric Vehicle Charging Station to the State with a 50% match (\$40,000) funded from American Rescue Plan funds from the county and motion to approve a one time lump sum payment of \$250K to the Sinclair Water Authority out of American Rescue Plan funds from the county.

Motion made by Commissioner McElhenney, Seconded by Commissioner Sharp.

Voting Yea: Commissioner McElhenney, Commissioner Brown, Commissioner Sharp, Commissioner Wooten

Draft Minutes	Page 3 of 5	
February 4, 2021		

12. Awarding of Sale for Old Jail (staff-Finance)

County Manager Van Haute advised that the Old Jail was put out for bid on GovDeals. We received one bid from Asad Halai of GLT LLC out of Elgin, Texas in the amount of \$109,500.00 plus an Administrative Fee of \$8,212.50, totaling \$117,712.50.

Motion to award the sale of the Old Jail to Asad Halai of GLT LLC in the amount of \$109,500.00 plus an Administrative Fee of \$8,212.50, totaling \$117,712.50.

Motion made by Commissioner Sharp, Seconded by Commissioner Wooten.

Voting Yea: Commissioner McElhenney, Commissioner Brown, Commissioner Sharp, Commissioner Wooten

Reports/Announcements

13. County Manager Report

County Manager Van Haute reported the following:

- The Event Center at Oconee Springs Park is coming to fruition and Mrs. Susan Campbell is looking for some guidance on a name for the center. Susan came forward and thanked the board for their support and invited them to come see the progress on the Event Center. She would like to create a separate name and logo for the event venue to help identify it, keeping it a part of OSP yet with its own identity. She will be doing some marketing for it that is separate from what they do with the park and campground. She threw out some of the names she has thought of and invited the board to think about it and share their ideas. Chairman Webster asked about the possibility of making this a contest to the public with prizes. Susan advised that she is also considering putting this out on their Facebook page.
- Dean Nelson from the Middle Georgia Regional Commission emailed recently with an update on the Splash Pad Grant, advising that we should receive a notice of award sometime between March 1 and April 15.
- Reviewed the employee medical insurance renewal update and the trend is about 65% and the target line for the insurance carriers is usually 75% which means we should be able to hold what we have or see a slight decrease. All this is also dependent on the loss pool with ACCG, which is unknown at this time.
- The traffic signal at Scott Road is underway.
- There will be a ribbon cutting and Chamber Business After Hours at Oconee Springs Park when the event center is completed, probably in May.
- Putnam County did not receive any of the ARPA money for broadband, but Baldwin County did.
- Welcome back to Mr. Don Cottrell; it's been a while since he was able to attend a meeting.

14. County Attorney Report

No report.

15. Commissioner Announcements

Commissioner McElhenney: thanked Public Works department for the work they have done in his district and gave kudos to the Recreation Department. He visited recently with his grandson and they have renovated a lot out there and it looks really good.

Draft Minutes	Page 4 of 5	
February 4, 2021		

Commissioner Brown: commented that he also has a grandson that plays at the Recreation Department and he recently visited and got a tour from Director Scott Haley. They've remodeled the gym area, added a new concession area and redid the bathrooms with stainless steel fixtures. He also thanked Susan and Lonnie Campbell for the work they do at Oconee Springs Park.

Commissioner Sharp: shared a copy of the Spring/Summer edition of the Putnam County Recreation Magazine, commenting that it is a wonderful brochure full of programs for all ages. He also thanked County Manager Van Haute for being on top of things with all he has to do and commented that he is so proud the Scott Road traffic signal project has started.

Commissioner Wooten: commented that this has been a proud week for him. He recently spoke to a Putnam County citizen originally from Tampa, Florida, who said we have the best permitting office and health department. He was also recently contacted by the Sole Commissioner of Bleckley County, who has some property in Putnam County, to meet him at the convenience center. He said we have the most efficient, well-kept convenience center at Pea Ridge. They also visited the new center on Sammons Parkway and were really impressed.

Chairman Webster: thanked the commissioners for all their well-said comments. He also thanked the emergency responders for what they do, usually under extreme conditions. He also mentioned that Public Information Officer Stephanie McMullen puts a lot of the information mentioned by the commissioners on our social media sites and thanked her for keeping everyone informed. He also provided an update on the LOST negotiations with the City of Eatonton with a PowerPoint presentation focusing on the Per Capita Benefit and advised there is another meeting at 1:00 p.m. today.

(Copy of presentation made a part of the minutes on minute book pages _____ to _____.)

Closing

16. Adjournment

Motion to adjourn the meeting.

Motion made by Commissioner McElhenney, Seconded by Commissioner Sharp.

Voting Yea: Commissioner McElhenney, Commissioner Brown, Commissioner Sharp, Commissioner Wooten

Meeting adjourned at approximately 10:06 a.m.

ATTEST:

Lynn Butterworth
County Clerk

Billy Webster
Chairman

Draft Minutes	Page 5 of 5	
February 4, 2021		



Office of the County Clerk
117 Putnam Drive, Suite A ♦ Eatonton, GA 31024
706-485-5826 (main office) ♦ 706-485-1877 (direct line) ♦ 706-923-2345 (fax)
lbutterworth@putnamcountyga.us ♦ www.putnamcountyga.us

Approval of 2022 Alcohol Licenses

The following alcohol license applications (which are available for review in the County Clerk’s office) have been approved by the Sheriff, Fire Marshal and/or Building Inspector, and Tax Commissioner and are ready for BOC approval:

Individual Name	Business Name	Address	License Type
Mark Little	Twin Bridges Landing	611 Twin Bridges Road	Retail Package Sale: Malt Beverages and/or Wine
Joann Hedrick	Oconee Outdoors	891 Greensboro Highway	Retail Package Sale: Malt Beverages and/or Wine

File Attachments for Item:

11. Authorization for Chairman to sign Subdivision Final Plat for Cuscowilla on Lake Oconee - Section H - Spirit Run (staff-P&D)



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

REQUEST FOR FINAL PLAT SUBDIVISION APPROVAL

PLAN 2022-000
129

THE UNDERSIGNED HEREBY REQUESTS AN INSPECTION OF SUBDIVISION FOR FINAL PLAT APPROVAL.

APPLICANT: Rick McAllister

ADDRESS: 1341 Beverly Drive
Athens, GA 30606

PHONE: [REDACTED]

PROPERTY OWNER IS DIFFERENT FROM ABOVE: Seed Orchard, LLC
ADDRESS: 126 Cuscowilla Drive
Eatonton, GA 31024
PHONE: 706-485-0885

PROPERTY:

SUBDIVISION NAME: Cuscowilla on Lake Oconee - Section H - Spirit Run
LOCATION: Sprit Run - Cuscowilla on Lake Oconee
MAP 103B PARCEL 100-10015 NUMBER OF ACRES 8.41 PHASE 2

SUPPORTING INFORMATION ATTACHED TO APPLICATION:

- FOUR COPIES OF THE AS-BUILT SURVEY
 - BOND FOR PERFORMANCE/MAINTENANCE
 - DEDICATION DEEDS FOR EASEMENTS, STREETS, and RIGHT-OF-WAYS
- ** Private Roads - Not required

***APPLICANT HEREBY AFFIRMS THAT APPLICANT IS THE PROPERTY OWNER OR HAS THE LEGAL AUTHORITY TO SIGN THIS FORM ON OWNER'S BEHALF AND APPLICANT AGREES TO INDEMNIFY AND HOLD PUTNAM COUNTY HARMLESS IN THE EVENT IT IS DETERMINED APPLICANT DOES NOT HAVE SUCH LEGAL AUTHORITY.**

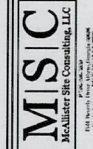
*SIGNATURE OF APPLICANT: *Rick McAllister* DATE: 12-20-21

FOR OFFICE USE			
DATE FILED: <u>1/20/22</u>	FILING FEE: <u>\$330.00</u>	CREDIT CARD <input checked="" type="checkbox"/>	RECEIPT# _____
CHECK NO. _____	CASH: <input type="checkbox"/>	DATE SIGNED: _____	
BOC MEETING _____			

RCVD 2022 JAN 18 *RC*

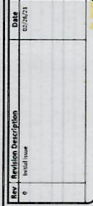
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RCMD 2027 JAN 18



GRADING & DRAINAGE PLAN

Cuscowilla on Lake Oconee
Section H - Spirit Run
Eatonton - Putnam County, Georgia
GMD 308 Land Lots 354



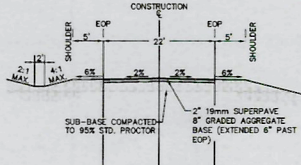
Sheet No. 5 of 14

- GRADING DRAINAGE NOTES:**
1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE SUPERVISING CONSTRUCTION MANAGER / ENGINEER IF ANY FOUNDATION, PAVEMENT OR UTILITY STAKE IS DISTURBED.
 2. ALL DISTURBED AREAS ARE TO BE GRASSED AND MULCHED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" AND MAINTAINED UNTIL A SATISFACTORY SIGNAL OF GRASS ACCEPTABLE TO THE REGULATORY AGENCY, AND OWNER HAS BEEN OBTAINED. ANY WASHOUTS, BLOWN SEEDS AND GRASSING WORK, AND OTHER DRAINAGE WORK REQUIRED WILL BE PERFORMED BY THE CONTRACTOR AT HIS EXPENSE. UNLESS OTHERWISE SPECIFIED BY OWNER.
 3. ALL SUBGRADE SHALL BE COMPACTED TO 95% STD. PROCTOR.
 4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND PROCEDURES.
 5. ANY DEPRESSIONS SHALL BE FILLED WITH SUITABLE SOIL MATERIAL.
 6. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NO GREATER THAN 6" THK.
 7. FINISHED GRADE SHALL BE WITHIN 1/2" OF PROPOSED GRADE.
 8. ANY PONDING OR PUDDING IS UNACCEPTABLE ON FINAL PAVED SURFACE.
 9. ALL CORRUGATED METAL PIPE SHALL BE BURNISHED COATED.
 10. DO NOT PLACE PIPE IN A TRENCH WITH A WET BOTTOM.
 11. BELL END OF PIPE SHALL BE PLACED UPDRIVE.
 12. DAMAGED MATERIALS WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 13. HEAVY DUTY EQUIPMENT SHALL NOT RUN PARALLEL TO EXISTING WATERWAY WHEN SUCH EXISTENT OVER PIPE, WHEN IN THE VICINITY OF THE PIPE, EQUIPMENT SHALL CROSS PIPE AT 90° ANGLES TO AVOID DAMAGE.
 14. THE SITE SHALL BE CLEARED OF ALL OBSTRUCTIONS SUCH AS FENCES, WALL FOUNDATIONS, LOGS, SHRUBS, BRUSH, WEEDS, OTHER VEGETATION AND ACCUMULATIONS OF RUBBERST OF WHATEVER NATURE. THESE OBSTRUCTIONS SHALL BE DISPOSED OF SATISFACTORILY AND LEGALLY.
 15. MAXIMUM CUT/SLOPE RATES SHALL BE 2H:1V EXCEPT WHERE NOTED ON PLANS.
 16. WHEN UNSUITABLE MATERIAL IS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THESE AREAS WILL BE STABILIZED ACCORDING TO THE GEOLOGICAL ENGINEER'S RECOMMENDATION. UNSUITABLE MATERIAL IS ANY ORGANIC OR INORGANIC MATERIAL WHICH BY ITS NATURE CANNOT SUPPORT THE IMPROVEMENTS SHOWN ON THE PLANS.
 17. ALL DRAINAGE STRUCTURES TO HAVE A MINIMUM SOIL BEARING CAPACITY OF 2200 PSF.
 18. CONTRACTOR TO UTILIZE EXISTING BENCHMARK TO ESTABLISH PERMANENT BENCHMARKS PRIOR TO CONSTRUCTION.
 19. CONTRACTOR TO PROTECT & SAVE SPECIALLY TREES WHEN AT ALL POSSIBLE. MINOR CHANGES WILL BE ALLOWED, CONSULT WITH OWNER OR ENGINEER.
 20. NOTIFY PUTNAM COUNTY SITE INSPECTOR BEFORE EACH PHASE OF CONSTRUCTION COMMENCES.
 21. GRADING OPERATIONS AND OTHER SOIL DISTURBING ACTIVITIES THAT ARE EXTENDED FOR MORE THAN SEVEN (7) CALENDAR DAYS SHALL HAVE TEMPORARY VEGETATION, MULCHING, SILT FENCE, AND/OR OTHER EROSION CONTROL MEASURES, AT THE DISCRETION OF PUTNAM COUNTY EMPLOYED TO PROTECT THE SOIL FROM EROSION ELEMENTS. PROTECT THE SOIL FROM EROSION ELEMENTS.
 22. GRADING OPERATIONS OR OTHER SOIL DISTURBING ACTIVITIES THAT ARE ABANDONED OR INTERRUPTED ACTIVITY FOR THIRTY (30) CALENDAR DAYS SHALL HAVE PERMANENT GRASSING, SILT FENCE, AND/OR OTHER EROSION CONTROL MEASURES EMPLOYED TO PROTECT THE AREA. IF THE SITE INCLUDES PROPOSED ROADSIDES, IT SHALL BE REGRASSED TO REMOVE ANY GRASS, WEEDS OR OTHER PERSISTABLE MATTER PRIOR TO FINAL ACCEPTANCE OF SUBGRADE.
 23. UTILITY EXISTENCE: IN ADDITION TO SHOWING THE STRUCTURES TO BE BUILT UNDER THIS CONTRACT, THE DRAINAGE SHOW CERTAIN INFORMATION OBTAINED BY THE ENGINEER REGARDING THE SURFACE POLE LINES, CONDUITS, AND OTHER STRUCTURES WHICH EXISTING ALONG THE LINE OF THE WORK, BOTH AT AND BELOW THE SURFACE OF THE GROUND. THE ENGINEER AND THE OWNER EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION GIVEN ON THE DRAWINGS WITH REGARD TO EXISTING STRUCTURES, AND THE CONTRACTOR WILL NOT BE ENTITLED TO ANY EXTRA COMPENSATION ON ACCOUNT OF ANY INACCURACY OR INCOMPLETENESS OF SUCH INFORMATION, SAID STRUCTURES BEING INDICATED LINES FOR THE CONVENIENCE OF THE CONTRACTOR. WHO MUST VERIFY THE INFORMATION TO HIS OWN SATISFACTION. THE GIVING OF THIS INFORMATION FROM THE CONTRACTOR'S DRAWINGS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO SUPPORT AND PROTECT ALL PIPES, CONDUITS, AND OTHER STRUCTURES. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND OBSTRUCTIONS PRIOR TO EXCAVATION SO AS TO AVOID ANY DAMAGE TO THESE SERVICES OF OTHER UTILITIES. ANY SUCH DAMAGES MUST BE REPAIRED WITHOUT DELAY AND THE COST OF SUCH REPAIRS MUST BE BORNE BY THE CONTRACTOR.

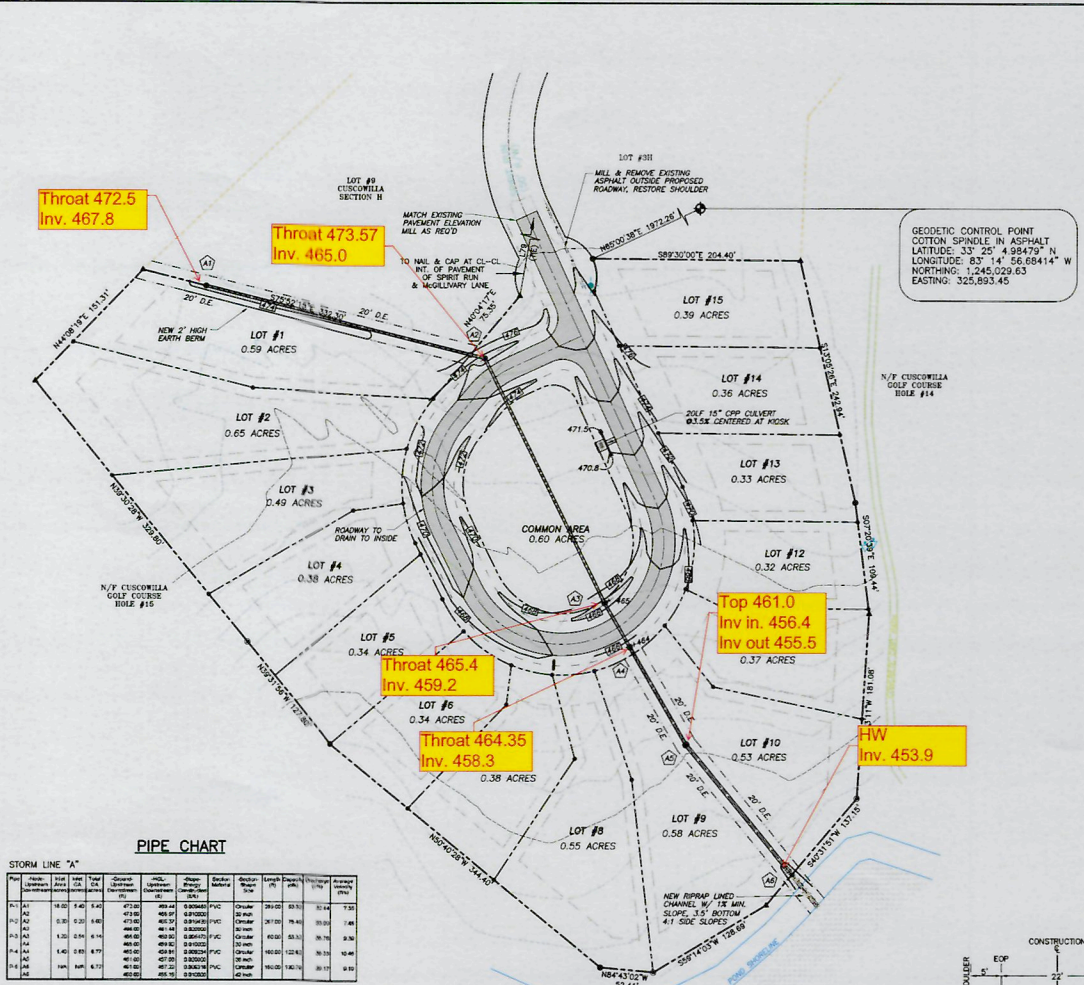
BUFFER VERIFICATION AND ENCROACHMENT NOTE:

CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE LIMITS OF CLEARING AND GRADING ADJACENT TO ANY BUFFER AREA ASSOCIATED WITH THE 45' STATE WATERS BUFFER OR OTHER ENVIRONMENTAL BUFFERS IMPOSED IN THE DEVELOPMENT OF LOCAL REGULATIONS. BUFFERS SHALL BE MEASURED FROM WHERE THE FLOW OF THE CREEK, STREAM, BRANCH, OR RIVER HAS WRITTEN THE VEGETATION FROM THE BANK TO THE STREAM OR THE ENCROACHMENT, NOT FROM THE CENTERLINE OF THE CHANNEL. ANY ENCROACHMENT OF THE BUFFER LIMITS SHALL BE REPORTED TO THE STATE IMMEDIATELY. THE CONTRACTOR SHALL VERIFY LOCATIONS OF BUFFERS FROM THE CHANNELS AND DISTURBANCE ACTIVITIES WITHIN 500' OF ANY STATE WATERS, SPRINGS, OR TRIBUTARIES FOUND TO THIS MAXIMUM AND CEASE ANY CLEARING ACTIVITIES IN THE GENERAL AREA UNTIL SUCH NOTICE TO PROCEED BY THE OWNER OR PROJECT MANAGER.

AS-BUILT PLAN 1-12-22



Roadway Typical Section



GRADING & DRAINAGE PLAN SCALE: 1" = 50'

PIPE CHART

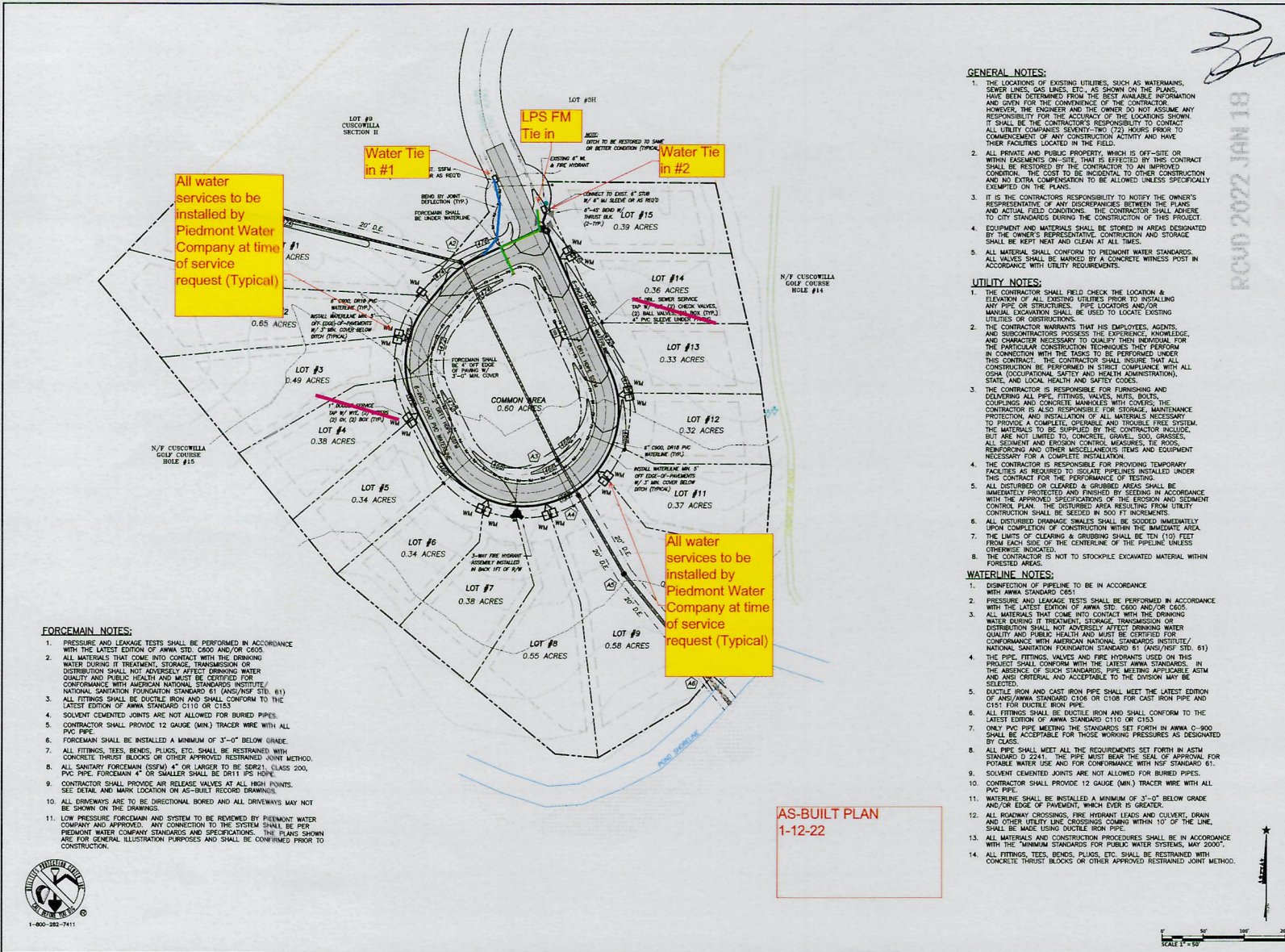
STORM LINE "A"

Pipe	Material	Size	Length	Start	End	Station	Notes
A1	4" PVC	18.00	14.40	473.00	487.40	0+00.00	0.00000
A2	4" PVC	51.00	23.16	473.00	496.16	0+00.00	0.00000
A3	4" PVC	11.00	5.16	473.00	484.16	0+00.00	0.00000
A4	4" PVC	1.00	0.16	473.00	474.16	0+00.00	0.00000
A5	4" PVC	1.00	0.16	473.00	474.16	0+00.00	0.00000
A6	4" PVC	1.00	0.16	473.00	474.16	0+00.00	0.00000
A7	4" PVC	1.00	0.16	473.00	474.16	0+00.00	0.00000
A8	4" PVC	1.00	0.16	473.00	474.16	0+00.00	0.00000

NOTE:
NO GRADED SLOPE SHALL EXCEED 2H:1V
PIPELINE PROFILES ARE ON SHEET 7
HOPE PIPE SHALL BE INSTALLED PER GADOT SPECIAL PROVISION, SECTION 550



1-800-282-7411



All water services to be installed by Piedmont Water Company at time of service request (Typical)

All water services to be installed by Piedmont Water Company at time of service request (Typical)

FORCEMAIN NOTES:

1. PRESSURE AND LEAKAGE TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STD. C600 AND/OR C605.
2. ALL MATERIALS THAT COME INTO CONTACT WITH THE DRINKING WATER DURING IT TREATMENT, STORAGE, TRANSMISSION OR DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/ NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STD. 61).
3. ALL FITTINGS SHALL BE DUCTILE IRON AND SHALL CONFORM TO THE LATEST EDITION OF AWWA STANDARD C110 OR C153.
4. SOLVENT CEMENTED JOINTS ARE NOT ALLOWED FOR BURIED PIPES.
5. CONTRACTOR SHALL PROVIDE 12 GAUGE (MIN.) TRACER WIRE WITH ALL PVC PIPE.
6. FORCEMAIN SHALL BE INSTALLED A MINIMUM OF 3'-0" BELOW GRADE.
7. ALL FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE RESTRAINED WITH CONCRETE THROST BLOCKS OR OTHER APPROVED RESTRAINED JOINT METHOD.
8. ALL SANITARY FORCEMAIN (SSFM) 4" OR LARGER TO BE SDR21, CLASS 200, PVC PIPE. FORCEMAIN 4" OR SMALLER SHALL BE DR11 IPS HOPE.
9. CONTRACTOR SHALL PROVIDE AIR RELEASE VALVES AT ALL HIGH POINTS. SEE DETAIL AND MARK LOCATION ON AS-BUILT RECORD DRAWINGS.
10. ALL DRIVEWAYS ARE TO BE DIRECTIONAL BORED AND ALL DRIVEWAYS MAY NOT BE SHOWN ON THE DRAWINGS.
11. LOW PRESSURE FORCEMAIN AND SYSTEM TO BE REVIEWED BY PIEDMONT WATER COMPANY AND APPROVED. ANY CONNECTION TO THE SYSTEM SHALL BE PER PIEDMONT WATER COMPANY STANDARDS AND SPECIFICATIONS. THE PLANS SHOWN ARE FOR GENERAL ILLUSTRATION PURPOSES AND SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.

GENERAL NOTES:

1. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATERMANS, SEWER LINES, GAS LINES, ETC., AS SHOWN ON THE PLANS, HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND THE OWNER DO NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES SEVENTY-TWO (72) HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY AND HAVE THEIR FACILITIES LOCATED IN THE FIELD.
2. ALL PRIVATE AND PUBLIC PROPERTY, WHICH IS OFF-SITE OR WITHIN EASEMENTS ON-SITE, THAT IS ERECTED BY THIS CONTRACT SHALL BE RESTORED BY THE CONTRACTOR TO AN IMPROVED CONDITION. THE COST TO BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION TO BE ALLOWED UNLESS SPECIFICALLY EXEMPTED ON THE PLANS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL ADHERE TO CITY STANDARDS DURING THE CONSTRUCTION OF THIS PROJECT.
4. EQUIPMENT AND MATERIALS SHALL BE STORED IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. CONSTRUCTION AND STORAGE SHALL BE KEPT NEAT AND CLEAN AT ALL TIMES.
5. ALL MATERIAL SHALL CONFORM TO PIEDMONT WATER STANDARDS. ALL VALVES SHALL BE MARKED BY A CONCRETE WITNESS POST IN ACCORDANCE WITH UTILITY REQUIREMENTS.

UTILITY NOTES:

1. THE CONTRACTOR SHALL FIELD CHECK THE LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY PIPE OR STRUCTURES. PIPE LOCATORS AND/OR MANUAL EXCAVATION SHALL BE USED TO LOCATE EXISTING UTILITIES OR OBSTRUCTIONS.
2. THE CONTRACTOR WARRANTS THAT HIS EMPLOYEES, AGENTS, AND SUBCONTRACTORS POSSESS THE EXPERIENCE, KNOWLEDGE, AND CHARACTER NECESSARY TO QUALIFY THEM INDIVIDUAL FOR THE PARTICULAR CONSTRUCTION TECHNIQUES THEY PERFORM IN CONNECTION WITH THE TASKS TO BE PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL INSURE THAT ALL CONSTRUCTION BE PERFORMED IN STRICT COMPLIANCE WITH ALL OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION), STATE, AND LOCAL HEALTH AND SAFETY CODES.
3. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND DELIVERING ALL PIPE, FITTINGS, VALVES, NUTS, BOLTS, COUPLINGS AND CONCRETE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR STORAGE, MAINTENANCE PROTECTION, AND INSTALLATION. ALL MATERIALS NECESSARY TO PROVIDE A COMPLETE, OPERABLE AND TROUBLE FREE SYSTEM. THE MATERIALS TO BE SUPPLIED BY THE CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE, GRAVEL, SOIL, GRASSES, ALL SEDIMENT AND EROSION CONTROL MEASURES, TIE ROOS, REINFORCING AND OTHER MISCELLANEOUS ITEMS AND EQUIPMENT NECESSARY FOR A COMPLETE INSTALLATION.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FACILITIES AS REQUIRED TO ISOLATE PIPELINES INSTALLED UNDER THIS CONTRACT FOR THE PERFORMANCE OF TESTING.
5. ALL DISTURBED OR CLEARED & GRUBBED AREAS SHALL BE IMMEDIATELY PROTECTED AND FINISHED BY SEEDING IN ACCORDANCE WITH THE APPROVED SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL PLAN. THE DISTURBED AREA RESULTING FROM UTILITY CONSTRUCTION SHALL BE SEDED IN 300 FT INCREMENTS.
6. ALL DISTURBED DRAINAGE SWALES SHALL BE SOODED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION WITHIN THE MAINTENANCE AREA.
7. THE LIMITS OF CLEARING & GRUBBING SHALL BE TEN (10) FEET FROM EACH SIDE OF THE CENTERLINE OF THE PIPELINE UNLESS OTHERWISE INDICATED.
8. THE CONTRACTOR IS NOT TO STOCKPILE EXCAVATED MATERIAL WITHIN FORESTED AREAS.

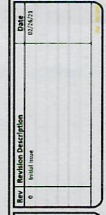
WATERLINE NOTES:

1. DISINFECTON OF PIPELINE TO BE IN ACCORDANCE WITH AWWA STANDARD C651.
2. PRESSURE AND LEAKAGE TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STD. C600 AND/OR C605.
3. ALL MATERIALS THAT COME INTO CONTACT WITH THE DRINKING WATER DURING IT TREATMENT, STORAGE, TRANSMISSION OR DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/ NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STD. 61).
4. THE PIPE, FITTINGS, VALVES AND FIRE HYDRANTS USED ON THIS PROJECT SHALL CONFORM WITH THE LATEST AWWA STANDARDS. IN THE ABSENCE OF SUCH STANDARDS, PIPE MEETING APPLICABLE ASTM AND AISC CRITERIA AND ACCEPTABLE TO THE DIVISION MAY BE SELECTED.
5. DUCTILE IRON AND CAST IRON PIPE SHALL MEET THE LATEST EDITION OF ANSI/AWWA STANDARD C108 OR C108 FOR CAST IRON PIPE AND C115 FOR DUCTILE IRON PIPE.
6. ALL FITTINGS SHALL BE DUCTILE IRON AND SHALL CONFORM TO THE LATEST EDITION OF AWWA STANDARD C110 OR C153.
7. ONLY PVC PIPE MEETING THE STANDARDS SET FORTH IN AWWA C-900 SHALL BE ACCEPTABLE FOR THOSE WORKING PRESSURES AS DESIGNATED BY CLASS.
8. ALL PIPE SHALL MEET ALL THE REQUIREMENTS SET FORTH IN ASTM STANDARD D 2241. THE PIPE MUST BEAR THE SEAL OF APPROVAL FOR POTABLE WATER USE AND FOR CONFORMANCE WITH NSF STANDARD 61.
9. SOLVENT CEMENTED JOINTS ARE NOT ALLOWED FOR BURIED PIPES.
10. CONTRACTOR SHALL PROVIDE 12 GAUGE (MIN.) TRACER WIRE WITH ALL PVC PIPE.
11. WATERLINE SHALL BE INSTALLED A MINIMUM OF 3'-0" BELOW GRADE AND/OR EDGE OF PAVEMENT, WHICH EVER IS GREATER.
12. ALL ROADWAY CROSSINGS, FIRE HYDRANT LEADS AND CULVERT, DRAIN AND OTHER UTILITY LINE CROSSINGS COMING WITHIN 10' OF THE LINE, SHALL BE MADE USING DUCTILE IRON PIPE.
13. ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS, MAY 2007.
14. ALL FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE RESTRAINED WITH CONCRETE THROST BLOCKS OR OTHER APPROVED RESTRAINED JOINT METHOD.



UTILITY PLAN

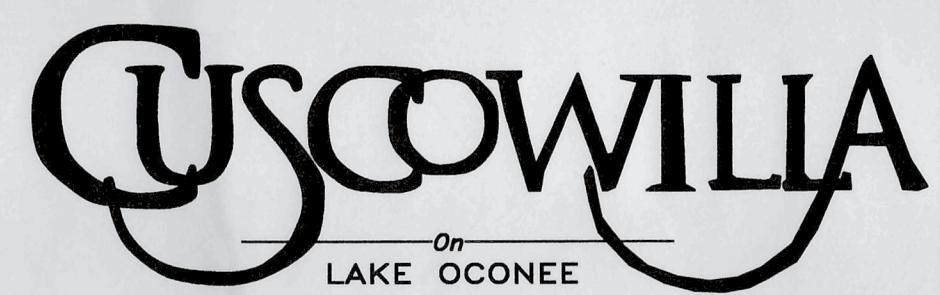
Cuscovilla on Lake Oconee
Section H - Spirit Run
Eatonton - Pulham County, Georgia
GMD 308 Land Lots 354



Sheet No.
6 of 14



1-800-282-7411



This block reserved for the Clerk of the Superior Court.

Signatures

Final Surveyor's Certificate:
 It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision; that all monuments shown hereon actually exist, and their location, size, type, and material are correctly shown. The field data upon which this plat is based has a closure precision of one foot in 55,106 feet and an angular error of 6 seconds per angle point, and was adjusted using the Least Squares Rule. This plat has been calculated for closure and is found to be accurate within one foot in 55,640 feet, and contains a total of 8.41 acres or 366,542 square feet. The equipment used to obtain the linear and angular measurements herein was a Leica TS12 Robotic Total Station.

John A. McGill, Jr.
 Surveyor's Signature (John A. McGill, Jr.) 01/07/2022
 Date

Owner's Acknowledgement and Declaration:
 State of Georgia, Putnam County
 The owner of the land shown on this plat and whose name is subscribed thereto, in person or through a duly authorized agent, acknowledges that this plat was made from an actual survey, and dedicates by this Acknowledgement and Declaration to the use of the public forever all streets, sewer collectors, lift stations, drains, easements, and other public facilities and appurtenances thereon shown.

Jacob Clark
 Signature of Owner 1/20/22
 Date
Jacob Clark
 Printed name of Owner

Public Works Department Approval:
 Infrastructure Certification
 I hereby certify that the new road construction depicted hereon meets the requirements of the Putnam County Development Regulations.

Jonny Clack
 Signature: Putnam County Public Works Director 2/7/2022
 Date

Private Sewer Service:
 I hereby certify that all proposed lots of this subdivision meet the requirements of Piedmont Water Resources and Georgia Department of Natural Resources - Environmental Protection Division for a low pressure sewer system.

Brent Hunt
 Sanitarian: Piedmont Water Company 1/20/22
 Date

Water Certification:
 I hereby certify that all proposed lots of this subdivision meet the requirements of Piedmont Water Resources and Georgia Department of Natural Resources - Environmental Protection Division for installation of water system.

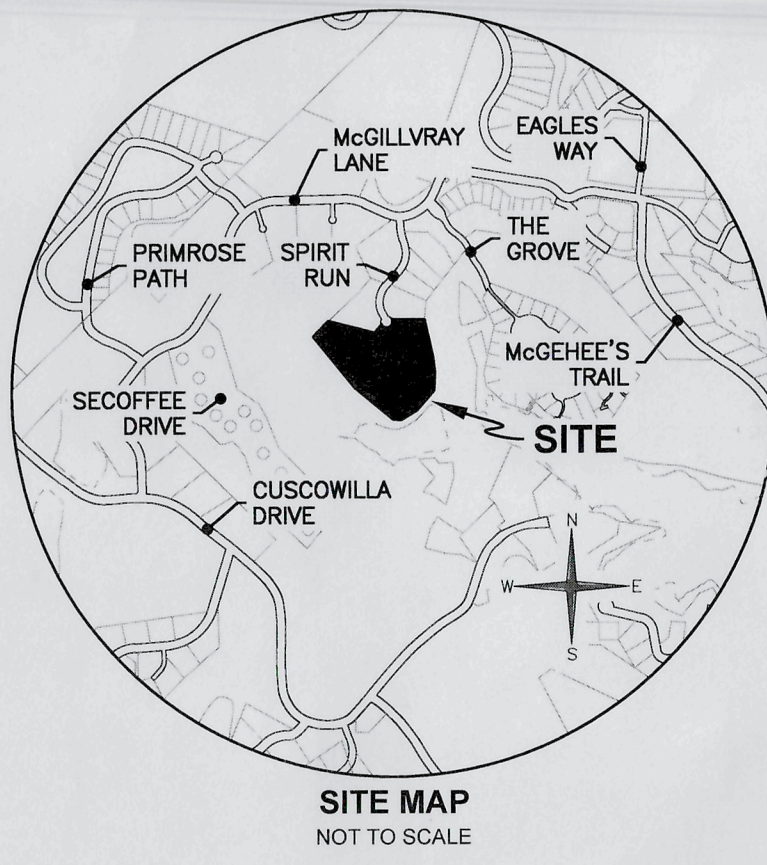
Brent Hunt
 Signature: Water Provider 1/20/22
 Date

Final plat Approval:
 The Director of the Planning and Development Department or designee certifies that this plat complies with the Putnam County Development Regulations.

Lisa Crack
 Signature: Director, Planning and Development Dept. 2-7-22
 Date

Board of Commissioners:
 The Putnam County of Commissioners hereby accepts this final plat.

Signature: Chairman, Board of Commissioners Date
 AND
 Signature: County Clerk Date



Surveyor's Certification:
 As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned Land Surveyor certifies that this plat complies with the Minimum Technical Standards for Property Surveys in Georgia as set forth in the Rules and Regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

John A. McGill, Jr.
 John A. McGill, Jr.
 GA RLS No. 2858
 01-14-2021
 Date

- General Notes:**
- This property may contain wetlands. All wetlands are under the jurisdiction of the U.S. Army Corps of Engineers and/or the State of Georgia Department of Natural Resources. Property owners are subject to penalty by law for disturbance to these protected areas without the proper permit application and approval.
 - Proposed use for lots described on this plat is for single-family residential.
 - All utilities may not be shown.
 - All improvements may not be shown.
 - This plat is subject to all easements, rights-of-way, and protective covenants of record.
 - Bearing datum is Georgia Grid-West Zone (NAD83) as taken from plats of reference.
 - All stated distances are "horizontal" distances.
 - All stated distances are "ground" distances.
 - There shall be a minimum 20' separation between all buildings.
 - This map or plat is not based on a title abstract. Subject and adjacent property Owners' deed and plat references were taken from public records and are not guaranteed as to accuracy or completeness.
 - This map or plat has been calculated for closure and is found to be accurate within 1 FOOT in 34,068 FEET.
 - The field data upon which this plat or map is based has a closure precision of 1 FOOT in 18,222 FEET, and angular error of 7 SECONDS per angle point and was adjusted using the Compass Rule. Angles were turned by a Leica TS12 and distances were measured with a Leica TS12.
 - The certification, as shown hereon, is purely a statement of professional opinion based on knowledge, information and belief, and based on existing field evidence and documentary evidence available. The certification is not an expressed or implied warranty or guarantee. This survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (O.C.G.A.) 15-6-67 as amended by HB1004 (2016), in that where a conflict exists between those two sets of specifications, the requirements of law prevail.

Subject Property Information:
 Name of Development: Cuscowilla on Lake Oconee - Phase II - Section H

Owner / Developer:
 Seed Orchard, LLC
 126 Cuscowilla Drive
 Eatonton, Georgia 31024
 (706) 485-0885

Property Summary:
 Zoning - RM-3: 8.41 Acres
 Single Family Lots - 15 Total - Minimum 1000 Heated Square Feet
 Single Family Homes
 Area in Lots: total 6.60 acres
 Interior Right of Way: 1.21 acres
 Common Area / Community open space: 0.60 acre

Minimum Development Standards:
 No lots adjacent to Lake Oconee
 30' Front Setback, 30' Rear Setback, 10' Side Setback
 60' Right of Way- Spirit Run - Classification: Local (Private)

Utility Providers:
 Power: Tri County EMC
 Water: Piedmont Water Company
 Sewer: Piedmont Water Company

Proposed Roads:
 Proposed road (Spirit Run) will be 22' wide and 60' Right of Way and will be a PRIVATE road.

Existing Utility Note:
 Existing utilities include Low pressure sewer and water provided by Piedmont Water Company. Power and street lights provided by Tri- County EMC.

Existing Development Notes:
 Existing platted area consists of 15 cottage lots which are undeveloped. Proposed use will remove cottage lots and add 15 Single Family Lots.

Flood Zone Information:
 A portion of the property described on this survey lies within the 100-year Federally designated Special Flood Hazard Area (SFHA) according to the following:

- Putnam County Flood Insurance Rate Map No. 13237C0075C, Panel 75 of 275, Community: Putnam County, Community No. 130540, Panel No. 0075, Suffix "C", Effective Date: September 26th, 2008.

Note: A field run survey was not performed to determine the flood zone designation listed above. The determination was made from scaled map information and graphic plotting only.

Reference Information
 (Abandoned Parcels)

Subdivision	Lot number	Tax Parcel Number	Deed reference	Plat reference	Owner
Lake Village at Cuscowilla	1	038B00001	D.B. 740, pp. 419-420	P.B. 31, p. 126	Seed Farm II, LLC
Lake Village at Cuscowilla	2	038B00002	"	"	"
Lake Village at Cuscowilla	3	038B00003	"	"	"
Lake Village at Cuscowilla	4	038B00004	"	"	"
Lake Village at Cuscowilla	5	038B00005	"	"	"
Lake Village at Cuscowilla	6	038B00006	"	"	"
Lake Village at Cuscowilla	7	038B00007	"	"	"
Lake Village at Cuscowilla	8	038B00008	"	"	"
Lake Village at Cuscowilla	9	038B00009	"	"	"
Lake Village at Cuscowilla	10	038B00010	"	"	"
Lake Village at Cuscowilla	11	038B00011	"	"	"
Lake Village at Cuscowilla	12	038B00012	"	"	"
Lake Village at Cuscowilla	13	038B00013	"	"	"
Lake Village at Cuscowilla	14	038B00014	"	"	"
Lake Village at Cuscowilla	15	038B00015	"	"	"

RE-DIVISION PLAT FOR:
Seed Farm, LLC
 Lots 1-15
 Cuscowilla on Lake Oconee
 Phase II - Section H
 Land Lot 354 - Land District 3
 308th Georgia Militia District
 Putnam County, Georgia

Timeline/Revisions		
No.	DATE	DESCRIPTION
1	12/17/2021	a. SET PROPERTY CORNERS
2	01/14/2022	a. PREPARE FINAL PLAT

P.O. Box 1330
 Greensboro, GA 30642
 Phone: 706-817-0679
 Email: olsjmcgill@gmail.com

DRAWN BY: J.A.M.
C.O.A. No: LSF001255
PROJECT No.: 2007-0058FP1
SHEET No. 1 OF 2

CUSCOWILLA

On LAKE OCONEE

Golf Course/
Greenspace
T.P.N.: 103024
Seed Orchard, LLC

Lot 9
Cuscowilla
Section H
T.P.N.: 103B101
Seed Orchard, LLC
P.B. 25, p. 143
Zoning status: RM-3

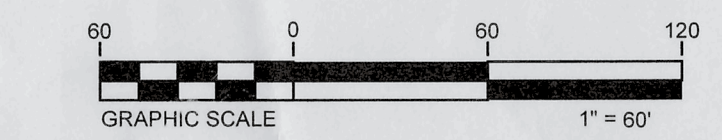
Lot 4
Cuscowilla
Section H
T.P.N.: 103016032
Robert A. Andreottola
D.B. 915, p. 422
P.B. 30, pp. 240-241
Zoning status: RM-3

Symbols Legend

- ☐ - TRANSFORMER
- ⊠ - PHONE PEDESTAL
- ⦿ - FIRE HYDRANT
- ⋄ - WATER VALVE
- D.B. - DEED BOOK
- P.B. - PLAT BOOK
- R/W - RIGHT OF WAY LINE
- T.P.N. - TAX PARCEL NUMBER
- TYP. - TYPICAL
- ⊕ - BENCHMARK
- - CALCULATED POINT
- ▲ - 1/2" REBAR SET
- - 1/2" REBAR FOUND
- - 3/8" REBAR FOUND

CURVE	CHORD BEARING	CHORD	ARC	RADIUS
C1	S 27°47'43" W	55.28'	55.71'	130.00'
C2	S 03°37'34" E	53.58'	53.97'	130.00'
C3	S 17°14'46" E	40.58'	40.74'	130.00'
C4	S 34°11'48" E	36.06'	36.18'	130.00'
C5	S 76°56'52" E	41.24'	41.42'	130.00'
C6	N 84°44'46" E	41.48'	41.65'	130.00'
C7	N 66°18'56" E	41.80'	41.98'	130.00'
C8	N 47°56'45" E	41.20'	41.38'	130.00'
C9	N 29°44'11" E	41.08'	41.25'	130.00'
C10	N 05°35'43" E	67.51'	68.29'	130.00'
C11	N 17°01'46" W	34.27'	34.37'	130.00'
C12	S 54°59'41" E	57.72'	58.20'	130.00'
C13	N 03°01'03" W	31.74'	32.63'	40.00'
C14	N 64°10'49" W	199.97'	309.96'	100.00'
C15	N 06°55'24" E	109.36'	115.71'	100.00'
C16	N 52°44'01" E	43.84'	44.20'	100.00'
C17	N 06°55'24" E	76.55'	81.00'	70.00'
C18	N 52°44'01" E	30.69'	30.94'	70.00'
C19	S 69°36'15" E	35.36'	39.27'	25.00'
C20	S 64°10'49" W	139.97'	216.94'	70.00'

LINE	BEARING	DISTANCE
L1	S 07°20'39" E	19.04'
L2	S 40°31'51" W	39.24'
L3	N 84°43'02" W	52.41'
L4	N 39°31'56" W	42.80'
L5	N 39°30'28" W	60.07'
L6	N 44°08'19" E	53.14'
L7	S 81°56'26" W	49.65'
L8	S 06°50'30" W	38.91'
L9	S 15°11'07" E	85.10'
L10	S 19°18'02" E	112.73'
L11	S 38°41'15" E	76.65'
L12	S 63°53'02" E	42.42'
L13	S 40°04'17" W	56.46'
L14	S 26°13'29" E	11.99'
L15	S 26°13'29" E	50.61'
L16	N 24°36'15" W	57.78'
L17	N 24°36'15" W	93.87'
L18	N 24°36'15" W	58.89'
L19	N 40°04'17" E	75.35'
L20	S 24°36'15" E	23.08'
L21	N 26°13'29" W	64.01'
L22	N 40°04'17" E	30.82'
L23	N 26°13'52" W	63.58'
L24	S 07°20'39" E	4.51'
L25	N 65°23'45" E	30.00'
L26	N 65°23'45" E	30.00'



Surveyor's Certification:

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned Land Surveyor certifies that this plat complies with the Minimum Technical Standards for Property Surveys in Georgia as set forth in the Rules and Regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

John A. McGill, Jr.
John A. McGill, Jr.
GA RLS No. 2858
01-14-2021
Date

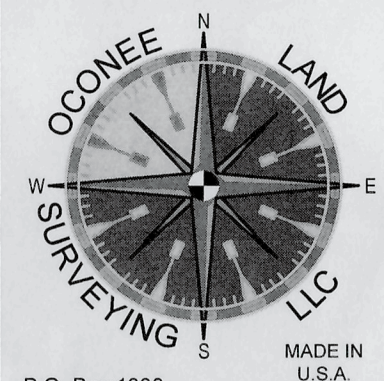
RE-DIVISION PLAT FOR:

Seed Farm, LLC

Lots 1-15
Cuscowilla on Lake Oconee
Phase II - Section H
Land Lot 354 - Land District 3
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Putnam County, Georgia

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P.O. Box 1330
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Phone: 706-817-0679
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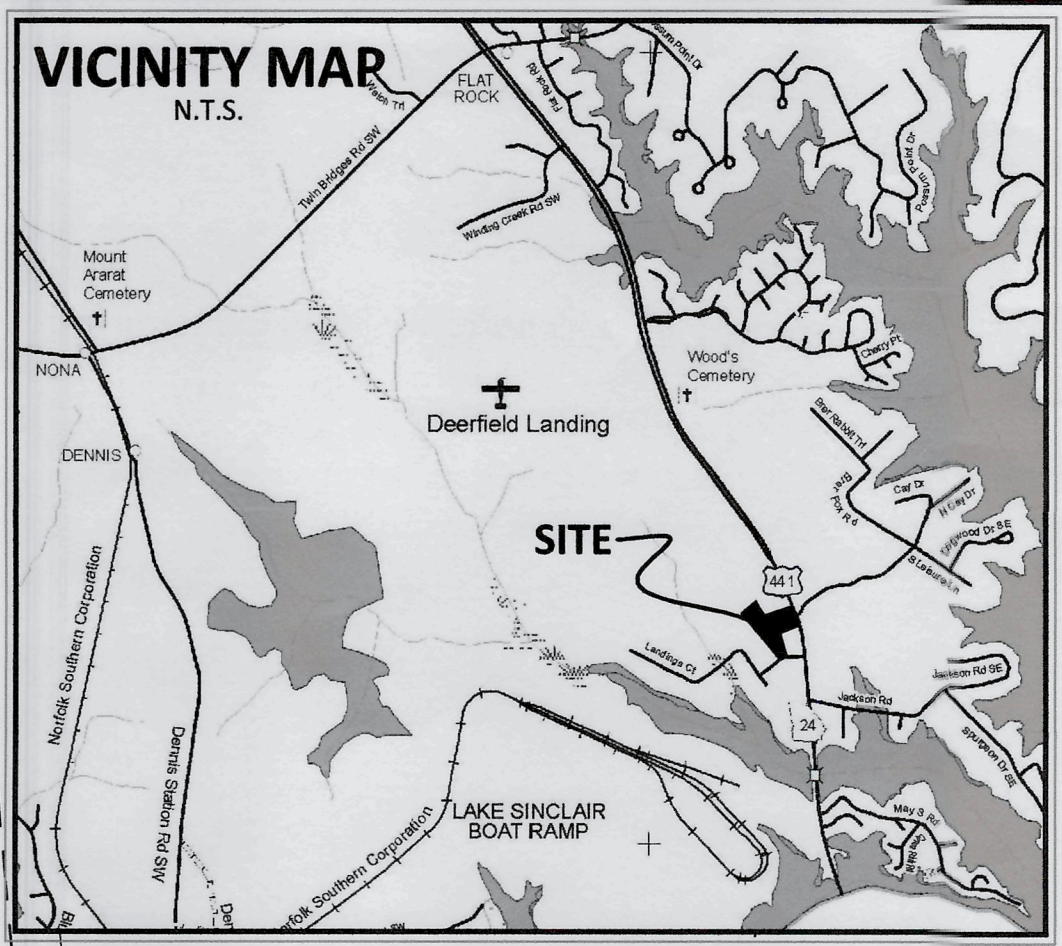
PROJECT No.: 2007-0058FP1
DRAWN BY: J.A.M.
C.O.A. No.: LSF001255
SHEET No.: 1 OF 2

File Attachments for Item:

12. Authorization for Chairman to sign Revised Final Plat for Plantation Pines Business Park Phase 2 (staff-P&D)

SHEET 1 OF 2 FINAL PLAT FOR PLANTATION PINES BUSINESS PARK PHASE 2 LAND LOT 217, DISTRICT 2 GEORGIA MILITIA DISTRICT 312 PUTNAM COUNTY, GEORGIA

OWNER / DEVELOPER:
James H. Jenkins, Jr.
996 Millidgeville Rd
Eatonton, Georgia 31024
Office Phone: 706.458.4707
Contact: James H. Jenkins, Jr.
Email: skylineconst@yahoo.com



SUBJECT PROPERTY INFORMATION:

CURRENT OWNER: THE VERDE CORPORATION
DEED RECORD: D.B. 493, p. 307; D.B. 569, p. 525; D.B. 740, p. 464
PLAT RECORD: P.B. 27, p. 54; P.B. 32, p. 288
TAX RECORD: PARCELS 086 005, 086 007 AND 086 003001
THE FIELD SURVEY WAS COMPLETED IN JULY 2020.
THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A FLOODPLAIN AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP PANEL 13237C 0271C FOR PUTNAM COUNTY, GEORGIA DATED 9-26-2008.
EASEMENTS OR RIGHTS-OF-WAY MAY EXIST WHICH ARE NOT SHOWN HEREON AND MAY BE RECORDED OR UNRECORDED.
THE HORIZONTAL REFERENCE IS GEORGIA STATE PLANE, WEST ZONE, NAD83 (2011) US SURVEY FEET.
THE VERTICAL DATUM IS NAVD83 IN FEET.

SURVEYOR'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN THEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 384,300 FEET. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 384,300 FEET, AND CONTAINS A TOTAL OF 8.6 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS WERE A JAVAD TRIMBLE DUAL FREQUENCY RTK GLOBAL POSITIONING SYSTEM RECEIVER REFERENCING THE GPS STATION NETWORK AND HAVING A RELATIVE POSITIONAL ACCURACY OF LESS THAN 0.04 FEET.

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR. THIS PLAT HAS BEEN APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS THAT REQUIRE PRIOR APPROVAL FOR RECORDING THIS TYPE OF PLAT. FOR ANY APPLICABLE LOCAL JURISDICTION THAT REQUIRES APPROVAL OF THIS TYPE OF PLAT, THE NAMES OF THE INDIVIDUALS SIGNING OR APPROVING THIS PLAT, THE AGENCY OR OFFICE OF THAT INDIVIDUAL, AND THE DATE OF APPROVAL ARE LISTED IN THE APPROVAL TABLE SHOWN. FOR ANY APPLICABLE LOCAL JURISDICTION THAT DOES NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT, THE NAME OF SUCH LOCAL JURISDICTION AND THE NUMBER OF THE APPLICABLE ORDINANCE OR RESOLUTION PROVIDING THAT NO SUCH APPROVAL IS REQUIRED ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. SUCH APPROVALS, AFFIRMATIONS, OR ORDINANCES OR RESOLUTION NUMBERS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Robert O. Jordan
Robert O. Jordan, G.S. 2902

OWNER'S ACKNOWLEDGEMENT & DECLARATION:

STATE OF GEORGIA, PUTNAM COUNTY
THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED THEREIN, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY THIS ACKNOWLEDGEMENT AND DECLARATION TO THE USE OF THE PUBLIC FOR ALL STREETS, SEWER COLLECTORS, UTILITY STATIONS, DRAINS, EASEMENTS, AND OTHER PUBLIC UTILITIES AND APPURTENANCES THEREON SHOWN.

OWNER & SUBDIVIDER:

JAMES H. JENKINS, JR.
BY: *James H. Jenkins, Jr.* DATE: 1/25/22

NOF 086 004
GEORGIA POWER COMPANY
GPC MAP NO. H-540
SHEET 1 OF 16
ZONED AG
BRANCH EASTON PRIMARY 28KV TRANSMISSION LINE
BRANCH EASTON PRIMARY 28KV TRANSMISSION LINE

FINAL PLAT APPROVAL:
THE DIRECTOR OF THE PLANNING AND DEVELOPMENT DEPARTMENT OR DESIGNEE CERTIFIES THAT THIS PLAT COMPLIES WITH THE PUTNAM COUNTY DEVELOPMENT REGULATIONS.
Risa Jackson
DIRECTOR, PLANNING AND DEVELOPMENT DEPARTMENT

HEALTH DEPARTMENT CERTIFICATION:

THE LOTS SHOWN HAVE BEEN REVIEWED BY THE PUTNAM COUNTY HEALTH DEPARTMENT AND ARE APPROVED FOR DEVELOPMENT. EACH LOT MUST BE REVIEWED AND APPROVED FOR SEPTIC TANK INSTALLATION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
Kathleen Hill, Rats 2/1/22
PUTNAM COUNTY HEALTH DEPARTMENT

INFRASTRUCTURE CERTIFICATIONS:

- A. PUBLIC WORKS
I HEREBY CERTIFY THAT THE ROAD(S) MEET THE REQUIREMENTS OF THE PUTNAM COUNTY DEVELOPMENT REGULATIONS.
BY: *Joey Leach* DATE: 2/7/22
PUBLIC WORKS DIRECTOR
- B. EASTON PUTNAM WATER AND SEWER AUTHORITY (EPWSA)
I HEREBY CERTIFY THAT THE WATER SYSTEM MEETS THE INSTALLATION REQUIREMENTS OF THIS DEPARTMENT.
BY: *[Signature]* DATE: 1-25-22
EPWSA DIRECTOR
- C. PUTNAM COUNTY FIRE DEPARTMENT
I HEREBY CERTIFY THAT THIS DEVELOPMENT MEETS THE REQUIREMENTS OF THE PUTNAM COUNTY FIRE DEPARTMENT.
BY: *[Signature]* DATE: 2-8-2022
PUTNAM COUNTY FIRE CHIEF
- D. PUTNAM COUNTY ENGINEER
I HEREBY CERTIFY THAT THIS DEVELOPMENT MEETS THE REQUIREMENTS OF PUTNAM COUNTY.
BY: *NA* DATE:
PUTNAM COUNTY ENGINEER

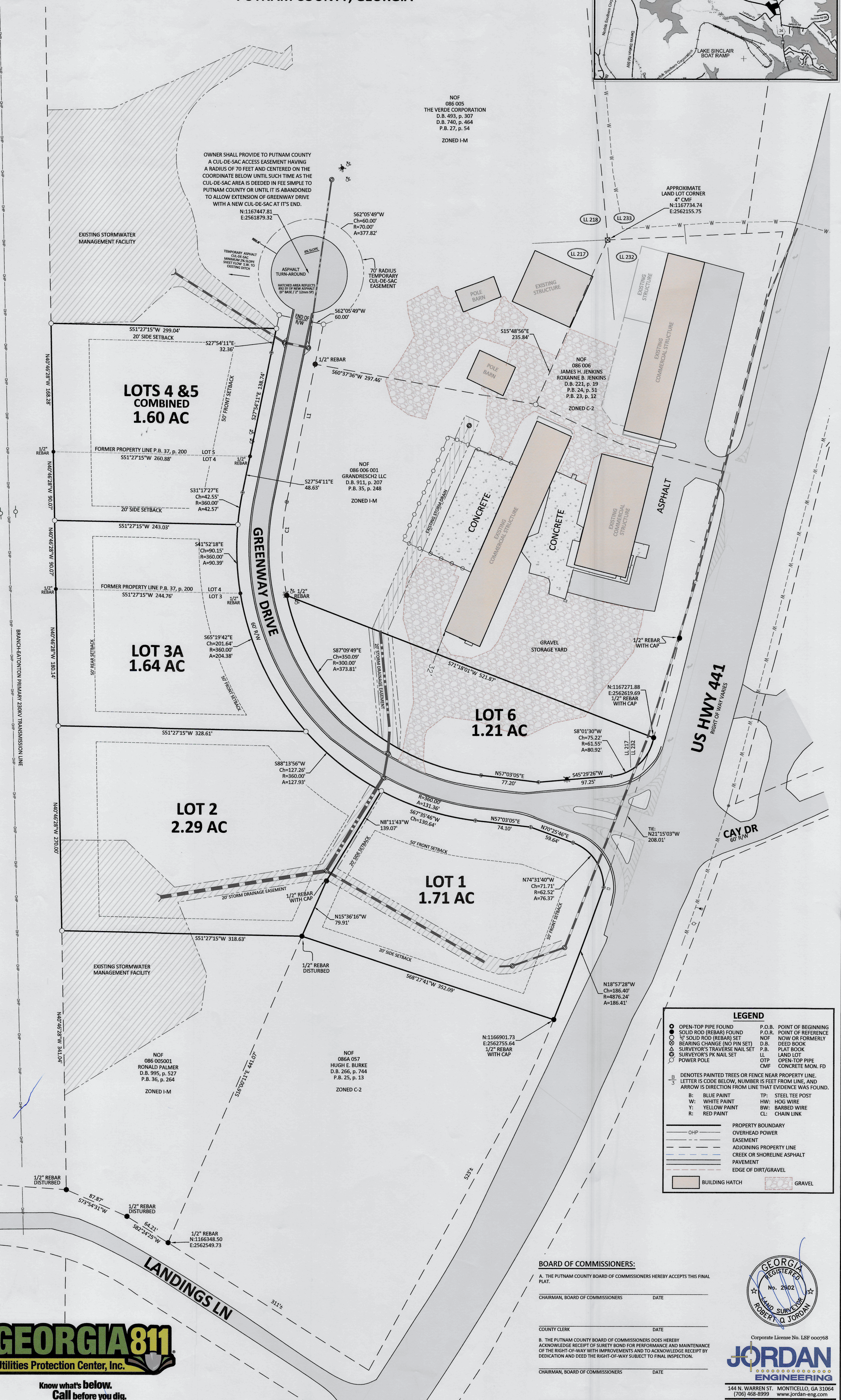
DESIGN INFORMATION:

CURRENT ZONING: I-M INDUSTRIAL MANUFACTURING DISTRICT
PUTNAM COUNTY CODE OF ORDINANCES
SECTION 66 - ZONING - I-M INDUSTRIAL-MANUFACTURING DISTRICT
SECTION 66-111 PURPOSE.
THE I-M ZONING DISTRICT IS INTENDED TO PROVIDE AREAS FOR INDUSTRIES THAT MANUFACTURE, FABRICATE, CHANGE, OR ALTER MATERIALS TO FORM A PRODUCT OR SUBASSEMBLIES, USES THAT IN THE NORMAL COURSE OF BUSINESS MUST STORE MATERIALS OUTDOORS, HAVE VEHICLES, EQUIPMENT, AND LIQUIDS PARKED OR STORED IN CONTAINERS OR THAT THE NATURE OF THE INDUSTRY NECESSITATES OUTDOOR ASSEMBLY OF ALL OR PART OF THE GOODS PRODUCED SHOULD BE IN THIS DISTRICT.
SECTION 66-113 DEVELOPMENT STANDARDS.
MINIMUM LOT SIZE: 1.0 ACRE
MINIMUM LOT WIDTH AT SETBACK LINE: 100 FEET
MINIMUM SETBACK REQUIREMENTS:
FRONT SETBACK: 50 FEET
SIDE SETBACK: 20 FEET
REAR SETBACK: 50 FEET

UTILITY PROVIDERS:

POWER: GEORGIA POWER COMPANY
BUSINESS SOLUTIONS CENTER 1-888-655-5888
WATER: PUTNAM COUNTY WATER AUTHORITY
www.epwsa.com
706-485-5252
https://epwsa.com/wp-content/uploads/2020/03/Updated-Application-for-Service.pdf
SEWAGE: INDIVIDUAL ON-SITE SEPTIC SYSTEMS
PUTNAM COUNTY DEPARTMENT OF PUBLIC HEALTH
706-485-8591

REVISIONS:
1/21/2022 COMBINED 4 OF LOT 4 (P.B. 37, p. 200) WITH EXISTING LOT 3 TO FORM LOT 3A (SHOWN) AND COMBINED REMAINDER OF LOT 4 (P.B. 37, p. 200) WITH EXISTING LOT 5 TO CREATE LOT 5A (SHOWN).
GEORGIA811
Utilities Protection Center, Inc.
Know what's below.
Call before you dig.
SCALE 1" = 60'
OCTOBER 25, 2021



LEGEND

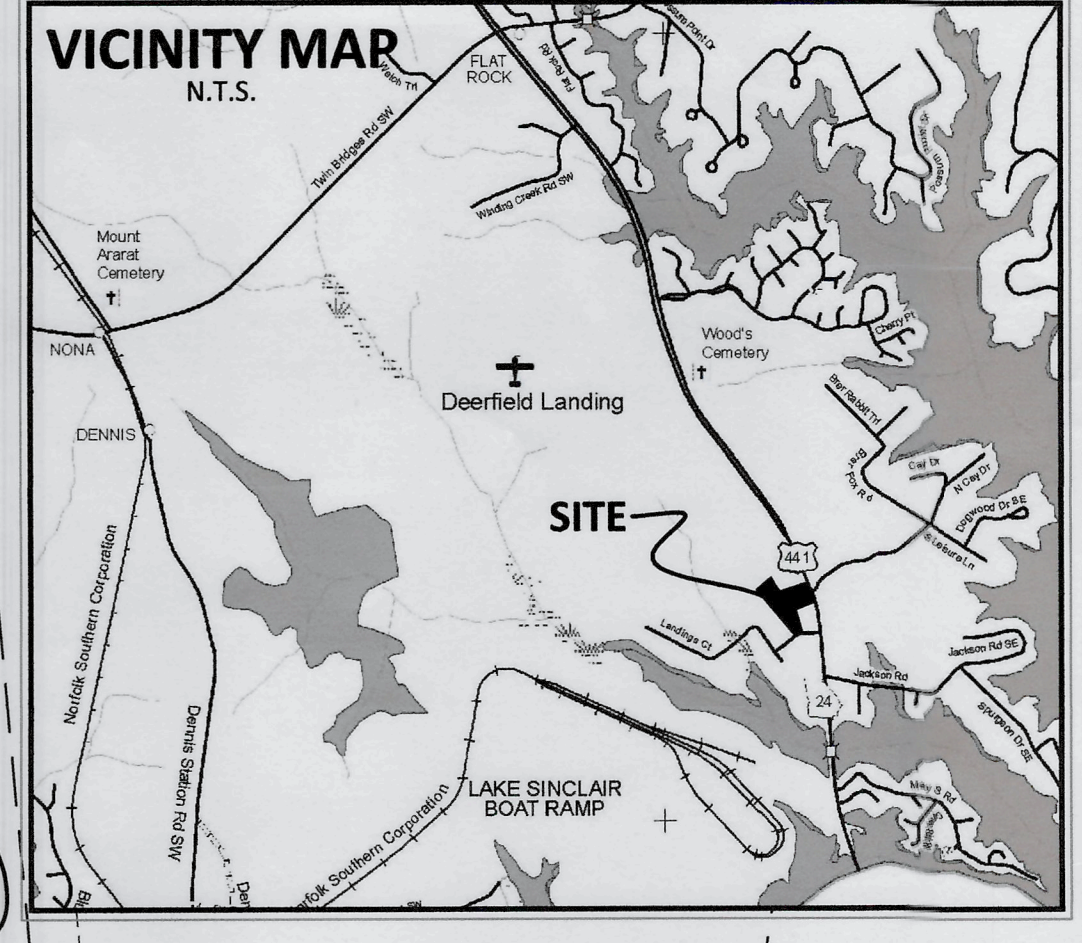
○ OPEN-TOPE PIPE FOUND	P.O.B. POINT OF BEGINNING
● SOLID ROD (REBAR) FOUND	P.O.R. POINT OF REFERENCE
○ 1/2" SOLID ROD (REBAR) SET	NOF NOW OR FORMERLY
○ BEARING CHANGE (NO PIN SET)	D.B. DEED BOOK
△ SURVEYOR'S TRAVERSE NAIL SET	P.B. PLAT BOOK
○ SURVEYOR'S PK NAIL SET	LL LAND LOT
○ POWER POLE	OTF OPEN-TOPE PIPE
	CMF CONCRETE MON. FD
B DENOTES PAINTED TREES OR FENCE NEAR PROPERTY LINE.	
LETTER IS CODE BELOW, NUMBER IS FEET FROM LINE, AND	
ARROW IS DIRECTION FROM LINE THAT EVIDENCE WAS FOUND.	
B: BLUE PAINT	TP: STEEL TEE POST
W: WHITE PAINT	HW: HOG WIRE
Y: YELLOW PAINT	BW: BARBED WIRE
R: RED PAINT	CL: CHAIN LINK
PROPERTY BOUNDARY	
OVERHEAD POWER	
EASEMENT	
ADJOINING PROPERTY LINE	
CREEK OR SHORELINE ASPHALT	
PAVEMENT	
EDGE OF DIRT/GRAVEL	
BUILDING HATCH	
GRAVEL	

BOARD OF COMMISSIONERS:
A. THE PUTNAM COUNTY BOARD OF COMMISSIONERS HEREBY ACCEPTS THIS FINAL PLAT.
CHAIRMAN, BOARD OF COMMISSIONERS DATE
COUNTY CLERK DATE
B. THE PUTNAM COUNTY BOARD OF COMMISSIONERS DOES HEREBY ACKNOWLEDGE RECEIPT OF SURETY BOND FOR PERFORMANCE AND MAINTENANCE OF THE RIGHT-OF-WAY WITH IMPROVEMENTS AND TO ACKNOWLEDGE RECEIPT BY DEDICATION AND DEED THE RIGHT-OF-WAY SUBJECT TO FINAL INSPECTION.
CHAIRMAN, BOARD OF COMMISSIONERS DATE
COUNTY CLERK DATE

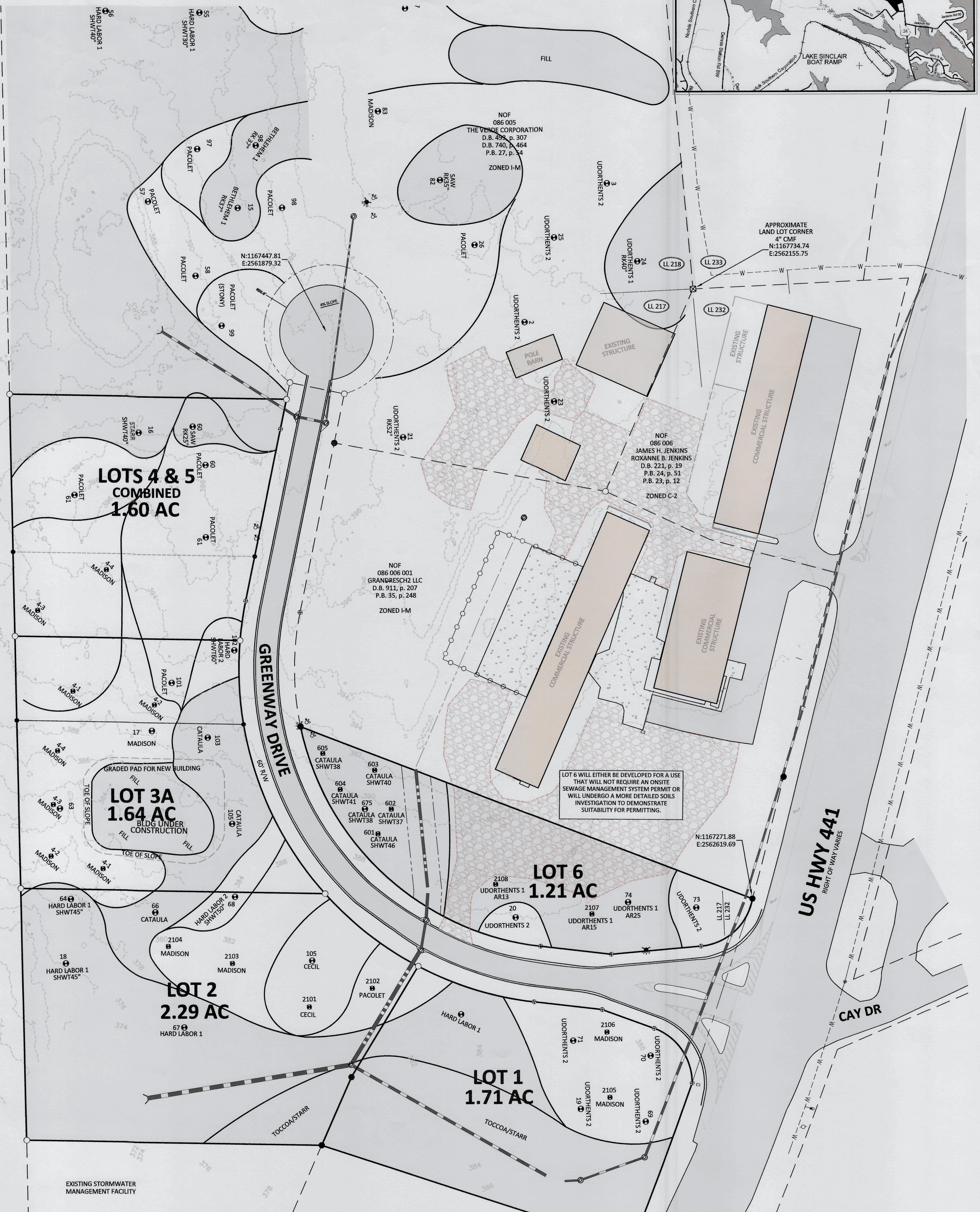
GEORGIA REGISTERED LAND SURVEYOR
No. 2902
ROBERT Q. JORDAN
Corporate License No. LSF 000768
JORDAN ENGINEERING
144 N. WARREN ST. MONTICELLO, GA 31064
(706) 468-8999 www.jordan-eng.com
Engineering • Surveying • Soils • UAV Mapping

SHEET 2 OF 2 (SOIL SURVEY)
 PRELIMINARY PLAT FOR
**PLANTATION PINES
 BUSINESS PARK
 PHASE 2**
 LAND LOT 21, DISTRICT 2
 GEORGIA MILITIA DISTRICT 312
 PUTNAM COUNTY, GEORGIA

OWNER / DEVELOPER:
 James H. Jenkins, Jr.
 996 Milliedgeville Rd
 Eatonton, Georgia 31024
 Office Phone: 706.458.4707
 Contact: James H. Jenkins, Jr.
 Email: skylineconst@yahoo.com



SUBJECT PROPERTY INFORMATION:
 CURRENT OWNER: THE VERDE CORPORATION
 DEED RECORD: D.B. 493, p. 307; D.B. 569, p. 525; D.B. 740, p. 464
 PLAT RECORD: P.B. 27, p. 54; P.B. 32, p. 288
 TAX RECORD: PARCELS 086 005, 086 007 AND 086 003001
 THE FIELD SURVEY WAS COMPLETED IN JULY 2020.
 THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A FLOODPLAIN AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP PANEL 13237C FOR PUTNAM COUNTY, GEORGIA DATED 9-26-2008.
 EASEMENTS OR RIGHTS-OF-WAY MAY EXIST WHICH ARE NOT SHOWN HEREON AND MAY BE RECORDED OR UNRECORDED.
 THE HORIZONTAL REFERENCE IS GEORGIA STATE PLANE, WEST ZONE, NAD83 (2011) IN US SURVEY FEET.
 THE VERTICAL DATUM IS NAVD83 IN FEET.



NOF 086 004
 GEORGIA POWER COMPANY
 GFC MAP NO. H-340
 SHEET 1 OF 16
 ZONED AG

BRANCH-STANTON PRIMARY 23KV TRANSMISSION LINE
 BRANCH-STANTON SOCIAL CIRCLE 23KV TRANSMISSION LINE
 BRANCH-STANTON PRIMARY 23KV TRANSMISSION LINE
 BRANCH-STANTON PRIMARY 23KV TRANSMISSION LINE



GEORGIA CERTIFIED SOIL CLASSIFIER
 I CERTIFY THAT THIS IS A LEVEL 3 SOIL REPORT
SOIL INVESTIGATION REPORT

COUNTY: PUTNAM SUBDIVISION: PLANTATION PINES BUS. PK. LOT NO. 1-6
 CLIENT: JIM JENKINS LAND LOT: 217 DISTRICT: 2
 STREET NAME: GA 441 CLIENT PHONE NO.: 706-485-4707

ESTIMATED SOIL PROPERTIES

Soil Series	Observed High Water Table	Observed Depth to Bedrock	Depth to Indicators of Seasonal Water Table	Absorption Rate (minutes/inch)	Slope (percent)	Depth to Optimum Percolation (inches)	Georgia DHR Suitability Code	NOTES
BETHLEHEM 1	>48"	30-48" HARD	>48"	SEE CODES	2-15	SEE CODES	N1	SEE CODES
BETHLEHEM 2	>48"	>48" HARD	>48"	60	2-15	24	N2	SEE CODES
CATAULA	>72"	>72"	36-48"	70**	2-15	24**	P, C	SEE CODES AND NOTE
CECIL	>72"	>72"	>72"	45	2-15	36	A	SUITABLE
HARD LABOR 1	>72"	>72"	30-48"	SEE CODES	1-10	SEE CODES	C	SEE CODES
HARD LABOR 2*	>72"	>72"	48-72"	80	1-10	24	P	SEE CODES
MADISON	>72"	>72"	>72"	50	2-15	36	A	SUITABLE
PACOLET	>72"	>72"	>72"	40	2-15	36	A	SUITABLE
SAW	>72"	>72"	20-40"	SEE CODES	2-15	SEE CODES	I	NOT SUITABLE
STARR	>72"	>72"	40-70"	SEE CODES	0-5	SEE CODES	D	NOT SUITABLE
TOCCOA	>72"	>72"	30-60"	SEE CODES	0-5	SEE CODES	D	NOT SUITABLE
UDORHTHENS 1	>48"	<48"	>48"	SEE CODES	0-2	SEE CODES	I	NOT SUITABLE
UDORHTHENS 2	>72"	>72"	>65"	70	0-10	30	N2	SUITABLE

** THE DEPTH TO THE RESTRICTIVE LAYER AND SEASONAL PERCHED WATER TABLE THE CATAULA SOIL SERIES IS SUCH THAT A SHALLOW INSTALLATION IN CONJUNCTION WITH AN AEROBIC TREATMENT UNIT MIGHT BE AN ACCEPTABLE OPTION IN THESE AREAS.

SHADED AREAS INDICATE AREAS WHERE ROCK OR INDICATORS OF SEASONAL HIGH WATER TABLE WERE ENCOUNTERED AT A DEPTH LESS THAN 48 INCHES BELOW EXISTING GRADE.

- NOTES:**
 1. THIS REPORT IS VOID IN AREAS WHERE CUT OR FILL OF MORE THAN 18" OCCURS AFTER THE TIME OF THE FIELD SURVEY.
 2. BORINGS WERE PERFORMED USING 72" LONG, 2.75" DIAMETER HAND AUGERS.
 3. SOIL BORING LOCATIONS WERE SURVEYED USING A TRIMBLE GEO XT GPS RECEIVER.
 4. PORTIONS OF THIS SITE WHERE SLOPES EXCEED 25% MAY REQUIRE SPECIAL SYSTEMS OR A SITE-SPECIFIC DESIGN FOR PROPER OPERATION.

A. SOIL SERIES SHOULD HAVE THE ABILITY TO FUNCTION AS SUITABLE ABSORPTION FIELD WITH PROPER DESIGN, INSTALLATION, AND MAINTENANCE.
 B. SOME ROCK OR STONY CONDITIONS WERE FOUND. THIS SOIL SHOULD FUNCTION AS A SUITABLE ABSORPTION FIELD PROVIDING THAT THE SYSTEM IS PUT IN FIRST TO MAKE SURE THERE WILL BE NO ROCK LIMITATIONS. HOLES HAVE BEEN BORED TO 72" DEEP WITHIN THIS UNIT WITH A HAND AUGER.
 C. DUE TO WATER TABLE, FLOODING, AND DRAINAGE PROBLEMS, THERE IS A HIGH PROBABILITY OF FAILURE FOR CONVENTIONAL SYSTEMS INSTALLED IN THIS SOIL SERIES. YOUR HEALTH DEPARTMENT CAN DISCUSS WITH YOU IF AN ALTERNATIVE SYSTEM MIGHT BE AN OPTION FOR YOUR SITUATION.
 D. DUE TO SURFACE DRAINAGE OR FLOODING PROBLEMS, THESE SOIL TYPES SHOULD BE AVOIDED. SITE ALTERATIONS WHICH CONTROL SURFACE AND/OR SUBSURFACE WATER MAY MAKE THESE AREAS SUITABLE. A FURTHER SOIL STUDY IS RECOMMENDED IF ALTERATIONS ARE MADE.
 E. NORMALLY CONSIDERED UNSATISFACTORY FOR INSTALLATION OF CONVENTIONAL ABSORPTION FIELDS.
 F. DUE TO BEDROCK IS GENERALLY NOT SUFFICIENT TO ACCOMMODATE A SEPTIC SYSTEM. HOWEVER, AREAS OF THIS SOIL WITH BEDROCK DEPTHS OF 1' TO 48" SHOULD BE CONSIDERED SUITABLE FOR INSTALLATION OF A SEPTIC SYSTEM. ADDITIONAL HAND AUGER BORINGS OR BACKHOE PIT INSPECTIONS MAY REVEAL SUITABLE AREAS WITHIN THIS SERIES.
 N1. THIS SOIL IS VARIABLE IN HARDNESS AND/OR DEPTH OF THE PARENT MATERIAL OR SAPROLITE. HAND AUGER REFUSAL OCCURRED AT A DEPTH LESS THAN 48". BACKHOE PIT INSPECTIONS IN THESE SOILS MAY REVEAL CONDITIONS OR AREAS THAT ARE SUITABLE FOR CONVENTIONAL SEPTIC SYSTEM INSTALLATION.
 N2. THIS SOIL IS VARIABLE IN HARDNESS AND/OR DEPTH OF THE PARENT MATERIAL OR SAPROLITE. HAND AUGER REFUSAL OCCURRED AT A DEPTH GREATER THAN 48". SHALLOW CONVENTIONAL SEPTIC SYSTEM INSTALLATION SHOULD BE SUCCESSFUL IN THESE SOILS PROVIDED THAT THE SYSTEM IS INSPECTED DURING INSTALLATION TO DETERMINE THAT THERE ARE NO ROCK LIMITATIONS.
 P. THIS SOIL SERIES HAS WATER TABLE OR DRAINAGE PROBLEMS IN THE LOWER PORTION OF THE SOIL WHICH COULD CAUSE PROBLEMS FOR CONVENTIONAL SEPTIC SYSTEMS. HOWEVER, THE DEPTH TO THE SEASONAL WATER HIGH WATER TABLE IS SUCH THAT A SHALLOW INSTALLATION (WHICH MAINTAINS THE REQUIRED 24" SEPARATION BETWEEN THE TRENCH BOTTOM AND THE SEASONAL HIGH WATER TABLE) IS POSSIBLE AND MAY RESULT IN PROPER SYSTEM FUNCTION.

DATA COLLECTION DATES
 A LEVEL 3 SOIL SURVEY WAS ORIGINALLY PERFORMED FOR THE ENTIRE PARENT PARCEL IN NOVEMBER 2005 FOR THE INITIAL SUBMITTAL OF THE PLANTATION PINES BUSINESS PARK PRELIMINARY PLAT. ADDITIONAL SOIL BORINGS WERE INSTALLED IN 2021 TO FURTHER INVESTIGATE LOTS 3 AND 4 AND TO BETTER DEFINE SOIL TYPES AND LOCATIONS ON LOTS 1, 2, 5, AND 6.

LEGEND

- OPEN-TOP PIPE FOUND
- SOLID ROD (BEAR) FOUND
- 2" SOLID ROD (BEAR) SET
- BEARING CHANGE (NO PIN SET)
- SURVEYOR'S TRAVELER NAIL SET
- SURVEYOR'S PK NAIL SET
- POWER POLE
- P.O.B. POINT OF BEGINNING
- P.O.R. POINT OF REFERENCE
- NOW OR FORMERLY
- D.B. DEED BOOK
- P.B. PLAT BOOK
- LL LAND LOT
- O.T.P. OPEN-TOP PIPE
- C.M.F. CONCRETE MON. FD
- DENOTES PAINTED TREES OR FENCE NEAR PROPERTY LINE. LETTER IS CODE BELOW, NUMBER IS FEET FROM LINE, AND ARROW IS DIRECTION FROM LINE THAT EVIDENCE WAS FOUND.
- B: BLUE PAINT
- W: WHITE PAINT
- Y: YELLOW PAINT
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- PROPERTY BOUNDARY
- OVERHEAD POWER
- EASEMENT
- ADJOINING PROPERTY LINE
- CREEK OR SHORELINE ASPHALT
- PAVEMENT
- EDGE OF DIRT/GRAVEL
- BUILDING HATCH
- GRAVEL

