

PUTNAM COUNTY BOARD OF COMMISSIONERS

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117 Putnam Drive, Suite A ♦ Eatonton, GA 31024

Agenda

Tuesday, August 19, 2025 ♦ 6:00 PM

Putnam County Administration Building – Room 203

Opening

1. Welcome - Call to Order
2. Approval of Agenda
3. Invocation - Cynthia Wallace
4. Pledge of Allegiance (TM)

Zoning Public Hearing

- [5.](#) Request by Bailey Lively, agent for Betty Weem, for a conditional use at 671 Twin Bridges Road, presently zoned AG [Map 057, Parcel 010, District 4] (staff-P&D)
- [6.](#) Request by Rick McAllister, agent for Imperial Park Holdings, LLC, to rezone 3.0 acres at 301 New Phoenix Road from AG to C-1 [Map 105, Part of Parcel 019, District 1] (staff-P&D)

Budget Public Hearing

- [7.](#) Presentation of Proposed FY26 Budget (staff-CM & Fin)
8. Comments from Commissioners and/or Staff
9. Comments from the Public

Road Abandonment Public Hearing

- [10.](#) Proposed Abandonment of Joe Wooten Road
- [11.](#) Proposed Abandonment of Wooten Road

Regular Business Meeting

12. Public Comments
- [13.](#) Consent Agenda
 - a. Approval of Minutes - August 1, 2025 Regular Meeting (staff-CC)
 - b. Approval of Minutes - August 1, 2025 Budget Work Session (staff-CC)
- [14.](#) Request for Approval of Bailiff and Juror Compensation Increases for FY26 (COC)
- [15.](#) Request for Final Plat Subdivision Approval - Cottage Grove at Lake Oconee (staff-P&D)
- [16.](#) Authorization for Chairman to sign Resolution Calling for an Election to Impose a County Special Purpose Local Option Sales Tax (SPLOST 10) (staff-CM/CA)
- [17.](#) Discussion and possible action to end the moratorium on Putnam County Code of Ordinances, Chapter 18 "Public Nuisance Dwellings, Buildings, or Structures" (SH)
- [18.](#) Discussion and possible action to request that the County Clerk increase the Short Term Rental application fees to \$700 and to allocate \$300 per application to the Special Service District (SH)

The Board of Commissioners reserves the right to continue the meeting to another time and place in the event the number of people in attendance at the meeting, including the Board of Commissioners, staff, and members of the public exceeds the legal limits. The meeting cannot be closed to the public except by a majority vote of a quorum present for the meeting. The board can vote to go into an executive session on a legally exempt matter during a public meeting even if not advertised or listed on the agenda. Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities are required to contact the ADA Compliance Officer, at least three business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.

19. Discussion and possible action to schedule the "Development" work session voted by the BOC on April 4, 2025 (RG)

Reports/Announcements

- 20. County Manager Report
- 21. County Attorney Report
- 22. Commissioner Announcements

Executive Session

- 23. Enter Executive Session as allowed by O.C.G.A. 50-14-4 for Personnel, Litigation, or Real Estate
- 24. Reopen meeting following Executive Session
- 25. Authorize Chairman to sign Affidavit concerning the subject matter of the closed portion of the meeting
- 26. Action, if any, resulting from the Executive Session

Closing

- 27. Adjournment

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File Attachments for Item:

5. Request by Bailey Lively, agent for Betty Weem, for a conditional use at 671 Twin Bridges Road, presently zoned AG [Map 057, Parcel 010, District 4] (staff-P&D)



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

August 7, 2025

BOC Staff Recommendations

TO: Board of Commissioners
FROM: Lisa Jackson Recommendations
RE: Staff Recommendations for Public Hearing Agenda on 8/7/2025

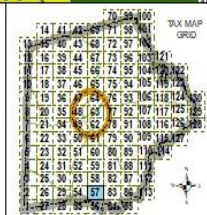
REQUEST

5. Request by **Bailey Lively, agent for Brenda Wright** for a conditional use at 671 Twin Bridges Road. Presently zoned AG. [Map 057, Parcel 010, District 4].* The applicant is requesting a conditional use approval to place a cell tower on the property. While transmission and communication towers are permitted within the AG zoning district, they require conditional use approval prior to installation. The proposed project includes a 255-foot lattice tower for T-Mobile, along with associated antenna equipment, all to be located within a secured 60' x 60' fenced compound. The fenced area will serve to protect the equipment and limit unauthorized access. The tower is intended to improve wireless service and network reliability for the surrounding community.

According to the enclosed letter of intent, T-Mobile is looking to enhance their network and provide improved cellular data and coverage in Putnam County through the installation of new telecommunications tower in partnership with APC Towers. The proposed location will provide high-speed wireless broadband access. It will fill a gap in the network where there is currently poor too little coverage and provide enhanced E-911 services to the community and surrounding areas. The infrastructure will provide the opportunity for additional cell carriers to improve and expand their coverage while also eliminating the need for additional facilities in the surrounding area. This parcel is surrounded by a mixture of Agricultural, Commercial, and Residential zoned parcels. The proposed placement of the tower meets the minimum distance requirement as stated in [Section 58-6\(4\)](#) of the Putnam County Code of Ordinances. This conditional use request will not adversely affect this district, nor should it cause any excessive or burdensome use of public facilities or services. The tower and associated equipment will not create smoke, fumes, odors, dust, glare, or noise pollution. No water services, sanitary facilities, gas services, or garbage disposal/pick-up services are needed. Current traffic will not be affected as the proposed facility is unmanned and unstaffed and may be visited by maintenance personnel minimally as needed for servicing or in case of emergencies. The intended use should not have a significant impact or an adverse effect on the nearby or adjacent properties. Therefore, staff recommends approval of the requested conditional use.

Staff recommendation is for approval for a conditional use at 671 Twin Bridges Road. Presently zoned AG. [Map 057, Parcel 010, District 4].*

The Planning & Zoning Commission's recommendation is for approval for a conditional use at 671 Twin Bridges Road. Presently zoned AG. [Map 057, Parcel 010, District 4].*



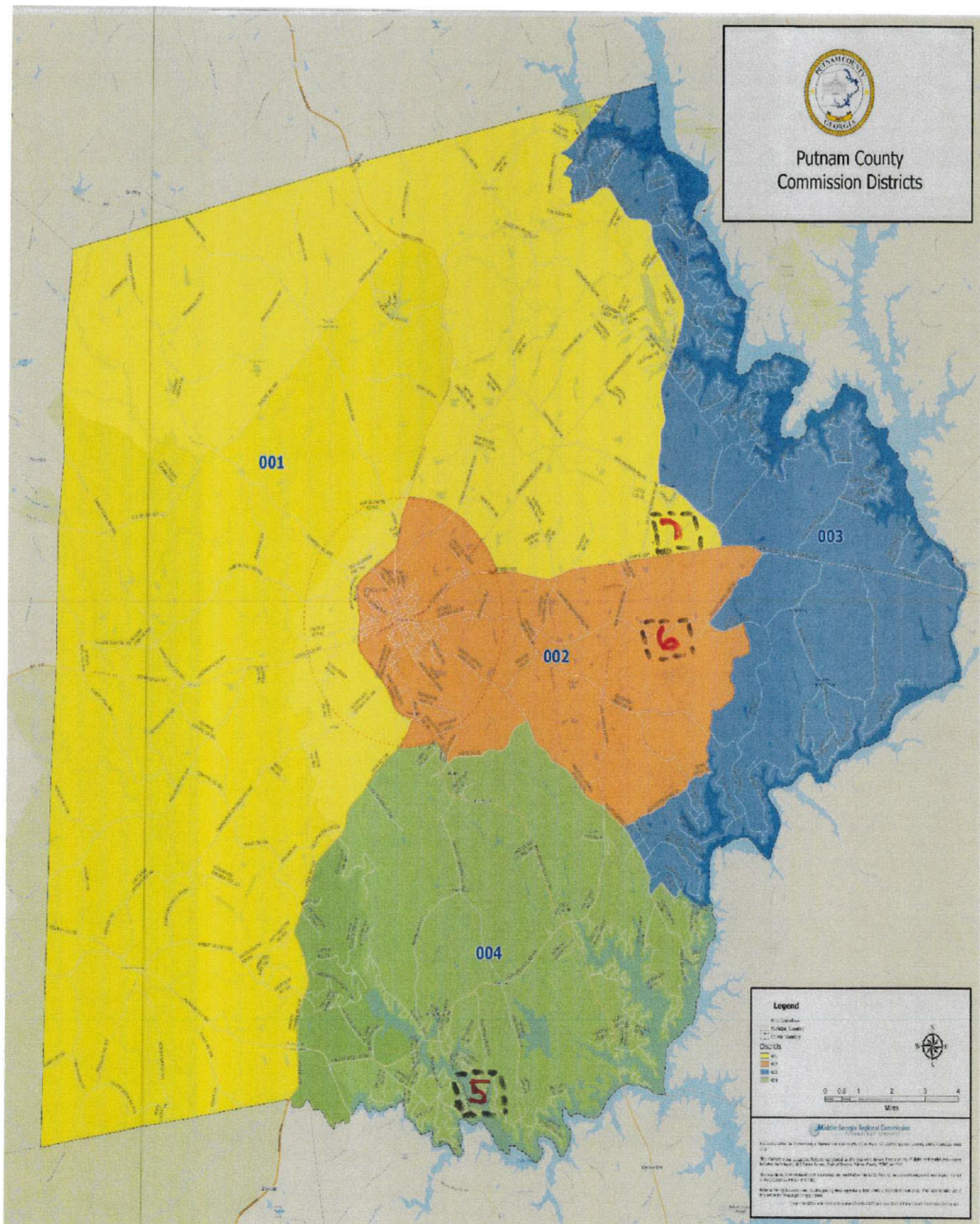
The applicant is requesting a conditional use to place a cell tower at 671 Twin Bridges Road. **[Map 057, Parcel 010, District 4].**

Commercial Lots

Commercial Lots

Cell Tower
Location

Residential Lots



5. Request by **Bailey Lively**, agent for **Betty Weem** for a conditional use at 671 Twin Bridges Road. Presently zoned AG. [Map 057, Parcel 010, District 4].*



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APPLICATION CONDITIONAL USE

PLAN 2025-COND-2

Application Information

(same as owner Yes B ☐ No ☒)

Name: Mike Daubenmire (Agent for APC)

Address: 3875 Embassy Parkway, Suite 280
Akron, OH 44333

Phone: 216-230-4304

Email: mike.daubenmire@kimley-horn.com

Fax: n/a

Arterial/State Road. Yes: ☐ No: ☒

Property Information

Address: Twin Bridges Rd. Eatonton, GA 31024

Map: Parcel: 057010

Presently Zoned: AG Com. District:

Total Acreage: 92.48

In Conservation Use: Yes ☐ No ☒

State Waters on Property: Yes ☐ No ☒

Briefly describe the proposed conditional use: Proposed Telecommunications Facility

Existing zoning district classification of the property and adjacent properties:

Existing: AG North: AG/C1/R2 South: AG East: AG/R2 West: AG/C2

SUPPORTING INFORMATION ATTACHED TO APPLICATION:

RECORDED PLAT: ☒ LETTER OF AGENCY ☐ LETTER OF INTENT ☒

COPY OF WARRANTY DEED: ☒

Source of domestic water supply: well ☐, community water ☐, or private provider ☐. If source is not an existing system, please provide a letter from provider. Provision for sanitary sewage disposal: septic system ☐, or sewer ☐. If sewer, please provide name of company providing same, or, if new development, provide a letter from sewer provider.

*SIGNATURE OF APPLICANT:

M. D. A. (AGENT FOR APC)

DATE: 04/22/2025

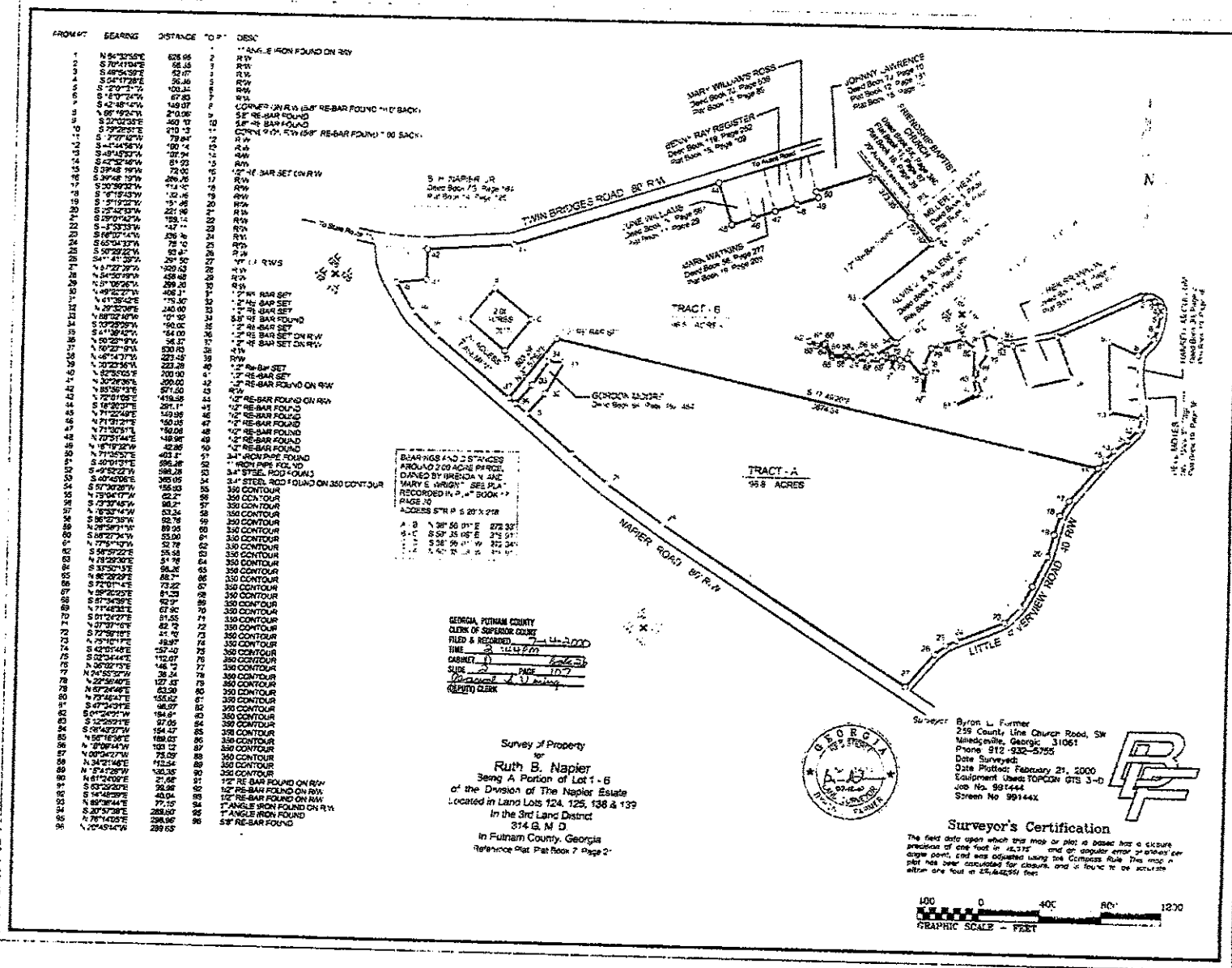
Bailey Lively (Agent for applicant)

*APPLICANT HEREBY AFFIRMS THAT APPLICANT IS THE PROPERTY OWNER OR HAS THE LEGAL AUTHORITY TO SIGN THIS FORM ON OWNER'S BEHALF, AND APPLICANT AGREES TO INDEMNIFY AND HOLD PUTNAM COUNTY/CITY OF EATONTON HARMLESS IN THE EVENT IT IS DETERMINED APPLICANT DOES NOT HAVE SUCH LEGAL AUTHORITY.

DATE FILED 5/12/25 FEE: \$ 245.00 CK. NO. CASH ☒ C. CARD ☒ INITIALS *aw*
RECEIPT # 2634409034052 paid 5/14/25
DATE OF NEWSPAPER AD: 6/30/25 DATE SIGN POSTED:
PLANNING & ZONING HEARING: 5/12/25 RESULT:
COMMISSIONERS/CITY COUNCIL HEARING: 5/19/25 RESULT:

BOOK 26 PAGE 107

RECEIVED MAY 07 2025



April 22, 2025

Putnam County
Planning & Zoning Commission
117 Putnam Drive, Suite B
Eatonton, Georgia 31024

RE: *Letter of Intent for Conditional Use Permit to Locate a New Telecommunications Facility at Twin Bridge Road, Eatonton, GA 31024 (Parcel No. 057010)*

Dear Members of the Planning & Zoning Commission:

Please accept this letter, along with the attached documents, as part of our formal application for a Conditional Use Permit from **APC Towers** in conjunction with **T-Mobile** to install a 255ft lattice tower and associated antenna equipment within a 60' x 60' fenced compound located at Twin Bridges Road, Eatonton, GA 31024 (Parcel No. 057010).

T-Mobile is looking to enhance their network and to provide improved cellular data and coverage in Putnam County through the installation of a new telecommunications tower in partnership with APC Towers. The proposed location will provide high-speed wireless broadband access, fill a gap in the network where there is currently poor too little coverage, and provide enhanced E-911 services to the community, and the surrounding areas. The proposed infrastructure will provide the opportunity for additional cell carriers to improve and expand their coverage while also eliminating the need for an additional facility within the surrounding area.

APC Towers and T-Mobile are seeking a Conditional Use Permit for the wireless communications facility based on the criteria, and the general provisions outlined in **Chapter 58 - Telecommunications of the Putnam County Code of Ordinances**. The property of the proposed telecommunications facility is currently zoned agricultural, which permits telecommunication facilities as a Conditional Use with the Planning and Zoning Commissions approval.

In addition to the wireless communication facility complying with the standards stated in **Chapter 58 - Telecommunications** of the code, the proposed lattice tower and associated equipment will not create smoke, fumes, odors, dust, glare, or noise pollution. No water services, sanitary facilities, gas services, or garbage disposal/pick-up services are needed. Current traffic will not be affected as the proposed facility is unmanned and unstaffed and may

be visited by maintenance personnel minimally as needed for servicing or in the case of emergencies. Soil erosion control measures will comply with the local regulations as may be required by the county and other local authorities.

Please review this letter along with all documentation provided in which APC Towers intends to comply with the Putnam County's Code of Ordinances along with the attached documents as requested in the following sections of the ordinance and as outlined in the Application for the Telecommunications Facility:

Chapter 58 - Telecommunications (Sections 58-5 & 58-6)

Section 58-5 – Placement by Zoning District

(1) & (2): These subsections do not apply to this application. The proposed location does not fall within an R, RM, or MHP districts, or along any corridors listed in Subsection (1).

(3) This subsection lists all of the zoning districts where towers and antennas are permitted as conditional use. Subsection (3)(b) permits towers and antennas within an agricultural district, and the proposed telecommunications facility is located within an agriculturally zoned district, so it is permitted as a conditional use.

(4) *Prohibitions.* No new cell tower may be established if there is a technically suitable space available on an existing tower within the search area that the new cell is to serve. A propagation study will be required to show proof that coverage objections cannot be met, should a carrier seek a variance to this provision.

Response: See Exhibit A, which shows an aerial view of T-Mobile's search ring area. The search ring is where the tower must be to provide sufficient coverage and fill the coverage gap in the area, shown on the RF propagation maps, also attached to the exhibit. As shown in the exhibit, there are no towers or structures of suitable height available for collocation within the search ring area. All existing towers are approximately a mile or further from the boundaries of the search ring, many of which T-Mobile already has equipment installed on, so would not meet T-Mobile's coverage objective or fill the coverage gap that currently exists. Whereas the proposed site meets T-Mobile's objectives and eliminates the coverage gap.

(5) *Preferred location sites.* Any telecommunications towers being used for transmitting or receiving analog, digital, microwave, cellular, telephone, personal wireless service or similar forms of electronic communication and any existing structure shall be a preferred location site for antenna where located within nonresidential districts; provided,

however, that locations which meet these criteria shall be subject to the design and sighting components of this article.

Response: The proposed telecommunications facility is within an agricultural district, a non-residential district. As proven within this letter of intent, and with the documentation provided, the facility meets or exceeds the design and sighting components of this article.

Sec. 58-6. - General provisions

The following provisions are applicable to all towers and antennas regardless of location unless context limits application to towers only:

(1). *Landscaping and maintenance.* Tower facilities shall be landscaped with a buffer of plant materials that effectively screens the view of the tower compound from adjacent properties. As such, a landscaping buffer consisting of evergreen material that is at least six feet in height, xeriscape tolerant, or irrigated, shall be planted on all sides of the site, said landscaping plan shall be submitted to the planning and development department when the building permit is applied for. Said buffer shall be maintained and any loss of vegetation within the buffer shall be replaced by the applicant. Existing mature tree growth and natural landforms on the site shall be preserved to the maximum extent possible. In some cases, such as tower sited on large, wooded lots, natural growth around the property perimeter may provide a sufficient buffer as determined by the appropriate county authority. Native vegetation on the site shall be preserved to the greatest practical extent. The applicant shall provide a site plan showing existing significant vegetation to be removed, and vegetation to be replanted to replace that lost. The landscaping maintenance set forth herein shall be a required condition for approval of the annual occupation registration. No more than two parking spaces per facility shall be allowed, and a minimum ten-foot-wide turnaround drive with an all-weather surface shall be required if parking spaces are provided.

Response: See sheet C-8 of the zoning drawings for the proposed landscaping details meeting the requirements of the above subsection.

(2) *Lighting.* Towers and antennas shall not be artificially lighted, unless required by the Federal Aviation Administration or other applicable authority. If lighting is required, the governing authority may review the available lighting alternatives and approve the design that would cause the least disturbance to the surrounding area and views, or the tower shall use a dual lighting system consisting of a strobe light during the day and a slow flashing red light at night unless otherwise required by the Federal Aviation Administration.

Response: The applicant has filed with the FAA (Filing # FAA 2025-ASO-5250-OE), and the application is being processed. The applicant intends to fully adhere to all lighting requirements as determined by the FAA and will provide all approvals and requirements upon receipt and before the issuance of the building permit.

(3) *Removal of abandoned towers and antennas.* After a continuous period of 12 months during which an antenna or tower is not used for its original purpose (including upgraded equipment), it shall be considered abandoned, and the owner of such antenna or tower shall remove same within 90 days of receipt of notice from Putnam County Planning and Development Department notifying the owner of such abandonment. The owner may request a three-month extension prior to the end of the 12-month period. Said three-month extension may be granted administratively by the planning and development department if the request is received in writing by the planning and development department prior to the end of the 12-month period. If a three-month grace period is granted, then a notice of abandonment will be given to the owner at the end of the three-month period. If any abandoned antenna or tower is not removed by the owner within said 90 days after notice of abandonment, then the governing authority may remove such antenna or tower at the owner's expense. If there are two or more users of a single tower, then this provision shall not become effective for the tower until all users cease using the tower. Within 30 days of the owner's receipt of said notice of abandonment, any owner aggrieved by said notice of abandonment may file a written request to be heard before the governing authority.

In addition, prior to the issuance of any tower construction permit, the applicant shall submit security for the costs of removal of the structure in an amount estimated by the applicant and approved by the building official as sufficient to cover the costs of removal.

Response: If the tower is not being used for its intended purpose, for a continuous period of 12 months, the applicant agrees to remove the tower within (90) days of receipt of notice from Putnam County and adhere to all other requirements in this subsection. Furthermore, the applicant agrees to provide one of the following to cover the cost of removal; an 18-month bond, a letter of credit, or a deposit of cash before the issuance of the building permit.

(4) *Setbacks and separation.* The following setbacks and separation requirements shall apply to all towers:

- a. Freestanding towers must be set back a distance equal to the total height of the tower from adjacent property lines, as measured radially from the base of tower to the property line of the subject property; and the design must be able to fully collapse upon itself.

Response: See sheet C-1 of the zoning drawings which shows the setback requirements and the setback distances from the tower to all the property lines exceeding the requirements of this subsection.

b. Freestanding towers must also be set back from all single- and two-family residential districts and historic districts or historic landmarks, a distance of the total height of the tower in all directions, as measured radially from the base of the tower to the district boundaries or landmark boundaries.

Response: See sheet C-1 of the zoning drawings which shows the setback requirements and the setback distances from the tower to all the property lines exceeding the requirements of this subsection.

c. Guy wires and accessory facilities associated with towers must satisfy the minimum zoning district setback requirements for buildings.

Response: There are no guyed wires, and all accessory facilities associated with the tower meets the setback requirements for buildings in an agricultural district (Front-30', Side -20', and Rear -20'). See sheet C-1 of the zoning drawings.

d. All lattice or guy-wired towers constructed after the effective date of this chapter shall conform to the following minimum tower separation requirements as set out in the chart form below. Antennas mounted on rooftops, monopole towers, or alternative tower structures shall be exempt from these minimum separation distances as set out in chart form below.

Lattice or Guy-Wired Tower Height	Next Closest Tower Height 50 Feet Separation	Next Closest Tower Height 50—100 Feet Separation	Next Closest Tower Height 101—150 Feet Separation	Next Closest Tower Height 150 Feet Separation
50'	300'	500'	750'	1,000'
50—100'	500'	750'	1,000'	1,500'
101—150'	750'	1,000'	1,500'	2,000'
150'+	1,000'	1,500'	2,000'	2,500'

Response: The proposed tower is 255', and all existing towers, as shown in Exhibit B, exceed the 2,500' tower separation requirement with the closest tower being 2.25 miles (11,958') from the proposed location.

(5) *Tower color.* The color of the tower shall be either painted gray or left in its natural gray metallic state unless otherwise required by the Federal Aviation Administration

Response: Unless otherwise required by the FAA, the tower will remain in its natural gray metallic state.

(6) *Insurance.* Commercial general liability insurance shall be required with combined single limits of liability coverage of \$1,000,000.00 per occurrence, for bodily injury and property damages, with respect to the construction, use of the property, maintenance, operation, or other liabilities associated with a telecommunication tower.

Response: Applicant acknowledges the requirements of this subsection and agrees to carry insurance as outlined above. Applicant will provide a copy of its COI upon request of the Planning & Zoning Commission.

(7) *Federal and state requirements.* All towers and antennas must meet or exceed current standards and regulations of the Federal Aviation Administration, the Federal Communications Commission, and any other agency of the federal government or state government with the authority to regulate towers and antennas. If such standards and regulations are changed, then the owner of the towers and antennas governed by this chapter shall bring such towers and antennas into compliance with such revised standards and regulations within the compliance schedule mandated by the controlling federal or state agency. Failure to bring towers and antennas into compliance with such revised standards and regulations shall constitute grounds for removal of the tower or antenna by the owner or by the local governing authority at the owner's expense. Any such removal by the governing authority shall be in the manner provided above.

Response: The applicant acknowledges that the tower and antennas must meet the standards of the FAA and FCC, and other agencies of the Federal or State government having authority to regulate towers and antennas. The applicant has already filed with both the FAA and the FCC. The application filing numbers are FCC A1309931 and FAA 2025-ASO-5250-OE. The applicant agrees to provide all findings and approvals from the FAA, FCC, or any other federal or state agency having authority to the county as a condition of approval.

(8) *Building codes and safety standards.* To insure the structural integrity of towers, the owner of a tower shall ensure that it is maintained in compliance with standards contained in applicable local building codes and the applicable standards for towers that are published by the latest edition of the Electronic Industries Association, as amended from time to time. A professional engineer shall certify that all antennas, towers, and wireless telecommunications equipment are erected and installed so as to comply with said codes and standards. The tower design must be able to fully collapse upon itself.

Response: In conjunction with the building permit application, the applicant will prepare and provide construction drawings signed and sealed by a professional engineer and a set of tower and foundation designs with calculations using the latest ANSI/TIA standards, signed and sealed by a structural engineer. All applicable codes will be

referenced in these plans. Enclosed is the stamped letter from the tower designer, confirming that the tower will be designed with the latest ANSI/TIA code, and if in the rare event that the tower failed, it would fall within a 50' radius of the tower.

(9) *Security fence.* All towers shall have a security fence of not less than six feet in height with anti-climbing devices on the fence. A sign no larger than 32 square feet in size shall be placed on the security fence or other outermost structural element of the telecommunication facility, which sign shall state the name and telephone number of a person responsible for the safety and maintenance of said facility and emergency contact numbers. No other signs, symbols, or advertisements shall be allowed on the security fence or on any monopole, tower, or antenna. Check with the office of Putnam County Planning and Development for sign permits and allowable sign sizes.

Response: See sheet C-7 of the zoning drawings for the fence detail, and sheet C-6 for the signage details. The site identification sign is larger than 32 square feet and is an industry-standard size. However, if the Planning & Zoning Commission wishes to reduce the sign size to 32 square feet, the applicant will agree to reduce the size. The only other signage that will be posted on site is the notice and warning signs required to be posted by the FCC.

(10) *Noise.* The intensity level of sound from the wireless telecommunications facility, including temporary generators used during power outages, measured at the property line of abutting property zoned for residential use shall not at any time exceed 70 decibels from 7:00 a.m. to 10:00 p.m. and 55 decibels from 10:00 p.m. to 7:00 a.m.; and abutting property zoned for non-residential use the same shall not exceed 80 decibels at any time.

Response: Applicant acknowledges the noise requirements of this section and agrees to adhere to these requirements. The only noise that will originate from the facility would be the backup generator which will only run during a complete power loss.

(11) *Maintenance of telecommunications facilities.* Towers must be properly and routinely maintained in good and safe condition and in a manner that complies with all included in submittal information. The owner shall provide the Putnam County Planning and Development Department with a certified copy of the engineer's inspection report, which includes, but is not limited to, the condition of the grounding system, the structural integrity of the facility, any damage incurred over the past year, the condition of the bolts, and a plan to correct any deficiencies. Tower owners shall conduct periodic inspections of communications towers as follows: Guyed tower at least once every two years; lattice or self-supported towers every three years; and monopoles every three to five years to insure structural integrity. Inspections shall be conducted by a structural engineer licensed to practice in Georgia. The results of such inspection shall be provided to the Putnam County Planning and Development

Department. If, upon inspection, the Putnam County Planning and Development Department concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have 30 days from the date of the mailing of such notice, to bring such tower into compliance within said 30 days, or the owner may submit an alternate schedule for approval within 30 days of notice. There is no guarantee an alternate schedule will be approved. The governing authority may remove such tower at the owner's expense, if the deadline is not met. Any such removal by the governing authority shall be in the manner provided.

Response: The applicant agrees to adhere to the requirements of this subsection, specifically relating to a self-support tower, by providing an inspection report to the Putnam County Planning and Development department every three years and will resolve any issues witnessed during the inspection within 30 days of receipt of notice of such by the Planning and Development Department.

(12) *Fire prevention.* All telecommunication facilities shall be designed and operated in such a manner so as to minimize the risk of igniting a fire or intensifying one that otherwise occurs. To this end all of the following measures shall be implemented for all telecommunications facilities when determined necessary by the state fire marshal. Demonstration of compliance with requirements a. through f. shall be evidenced by a certificate signed by the state fire marshal on the building plans submitted.

Response: Applicant agrees to adhere to all requirements outlined in subsections (a) through (f) prior to the issuance of the building permit.

(13) *Co-location.* Each telecommunications tower application shall be required by affidavit of the applicant to make a good faith effort to substantially demonstrate that no existing or planned towers within the applicant's search ring can accommodate the applicant's proposed antenna/transmitter

Response: As previously noted, and shown in Exhibit A, there are no existing towers or structures of suitable height available for collocation within the search ring area. This subsection does not apply to this application due to the lack of towers or structures of sufficient height. All existing towers are approximately a mile or further from the boundaries of the search ring area, many of which T-Mobile is already on, so does not meet T-Mobile's coverage objective or fill the coverage gap that currently exists.

(14) Any new antenna/provider shall ensure there will be no interference to other providers or customers in the area. If such occurs this may result in an immediate rescission of the permit and service may be required to be terminated immediately.

Response: Applicant acknowledges and agrees to the requirements of this subsection.

(15) The county shall be afforded the vertical real estate opportunity to place public safety radio equipment on the tower and the necessary ground real estate for all applicable supporting infrastructure at no charge (except for reinforcing the existing tower design).

Response: Applicant agrees to work with the county to provide reasonable vertical real estate opportunity to place public safety equipment on the tower and provide necessary ground real estate so long as it does not interfere with the applicant, its tenant, or future tenant's use of the facilities.

In Summary, we believe that the proposed wireless telecommunications facility meets the intent of Chapter 58 - Telecommunications of the Putnam County Code of Ordinances. We appreciate your review and consideration for a Conditional Use Permit.

If you have any questions or require any additional information, please reach out to me directly.

Sincerely,

Mike Daubenmire

Mike Daubenmire

Kimley-Horn | 3875 Embassy Parkway, Suite 280, Akron, OH 44333

Direct: 216 230 4304 | Mobile: 330 462 8631 | mike.daubenmire@kimley-horn.com

March 24, 2025

Lorna Kennedy
Director of Development
APC Towers

RE: Proposed 255' Sabre Self-Supporting Tower for GA-1968, GA

Dear Ms. Kennedy,

Upon receipt of order, we propose to design and supply a tower for the above referenced project for a Basic Wind Speed of 109 mph with no ice and 30 mph with 1" radial ice, Risk Category II, Exposure Category C, and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Support Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the tower will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one or more of the tower members in the upper portion. This would result in a buckling failure mode, where the loaded member would bend beyond its elastic limit (beyond the point where the member would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of such an extreme wind event would be localized buckling of a tower section. Assuming that the wind pressure profile is similar to that used to design the tower, the tower is most likely to buckle at the location of the highest combined stress ratio in the upper portion of the tower. This would result in the portion of the tower above the failure location "folding over" onto the portion of the tower below the failure location.

Please note that this letter only applies to the above referenced tower designed and manufactured by Sabre Industries. In the unlikely event of total separation, this would result in a fall radius within 50 feet at ground level.

Sincerely,

Amy R. Herbst, S.E.
Senior Design Engineer



FILED IN OFFICE OF THE
CLERK OF SUPERIOR COURT
PUTNAM COUNTY, GEORGIAPutnam County, Georgia
Real Estate Transfer Tax

2000 JUL 14 PM 2:48

Paid \$ 6.67Date 7-14-2000BOOK 314 PAGE 32-33Deanne L. Young
(Deputy Clerk of Superior Court)Deanne L. Young

STATE OF GEORGIA, :) (WARRANTY)

:) DEED OF GIFT

COUNTY OF PUTNAM. :)

THIS INDENTURE, Made and entered into on this
the 25th Day of May, 2000, between RUTH B. NAPIER
of Baldwin County, Georgia, as party of the First
Part herein, and her daughter, BRENDA N. WRIGHT, of
Putnam County, Georgia, as party of the Second Part
herein,

W I T N E S S E T H :

That the said party of the First Part herein
for and in consideration of the natural love and
affection she has for her daughter, party of the
Second Part herein, and the sum of One (\$1.00)
Dollar, to her in hand paid at and before the
sealing and delivery of these presents, the receipt
and sufficiency whereof is hereby acknowledged, has
given, granted, bargained, sold and conveyed and by
these presents does give, grant, bargain, sell and
convey unto the said party of the Second Part, her
heirs and assigns, the following described
property, to-wit:

All of that tract or parcel of land being a
Portion of Lot 1-B, of The Division of The Napier
Estate, Located in Land Lots 124, 125, 138 & 139,
in the 3rd Land District and 314 G.M.D., of Putnam
County, Georgia, containing 96.8 Acres, More or
Less, being all of TRACT "B" as shown on that plat
made from a survey by Byron L. Farmer, Georgia
Registered Surveyor No. 1679, dated February 21,
2000, which said plat is hereto attached to this
deed and made a part hereof by reference and same
is to be recorded concurrent with the recording of
this deed in Plat Book 26 at Page No. 107, in
the office of the Clerk of The Superior Court of
Putnam County, Georgia. Reference is here made to
said plat and its record for a more complete
description of the metes and bounds, courses,
distance of the within described land and property.

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PRIOR DEED REFERENCE: This is a part and portion of that same land and property which was by Warranty Deed dated July 21, 1993, conveyed by S. H. Napier, Jr., to Ruth B. Napier, his wife, which said deed is recorded in the office of the Clerk of The Superior Court of Putnam County, Georgia, in Deed Book Number 99, at Page Number 240. A plat of said property is recorded in the aforesaid Clerk's Office in Plat Book 7, at Page No. 21. And, reference is here made to said deed and plat and their record in further aid of the foregoing description of said land and property.

TO HAVE AND TO HOLD the said described property unto said party of the second party her heirs and assigns, together with all and singular the rights, members, rents, reversions, profits and appurtenances thereof to the same in any manner belonging to them and their own proper use, benefit and behoof, Forever, in Fee Simple. And the said party of the first part for her heirs, executors and administrators the said bargained property unto the said party of the second part, her heirs, executors, administrators and assigns will warrant and forever defend the right and the title thereof against the claim or claims of all and every other person or person whomsoever.

IN WITNESS WHEREOF, the said Ruth B. Napier has hereunder set her hand and affixed her seal on this the day and year and at the place first above written.

Ruth B. Napier (SEAL)
Ruth B. Napier

Signed, Sealed and Delivered
In the Presence of:

Clairie Connor
Unofficial Witness

Hope W. Hines

N. P., Baldwin County, Ga.

My Commission Expires: Notary Public, Wilkeson County, Georgia
(Notary Public Seal Impression) My Commission Expires March 2, 2008

SEAL AFFIXED

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PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

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OWNER AUTHORIZATION

Submission of inaccurate information may be cause for denial of the request or, if discrepancies are realized after the approval for the petition or issuance of the relevant local permits, cause for the revocation of the approval and any related permits by the Board of Commissioners. The following documents must be submitted with this application prior to the application deadline. **Incomplete applications will not be accepted.**

1. Payment of appropriate fee (please make checks payable to Putnam County Planning & Development)
2. Recorded plat of property.
3. Concept plan or site plan drawn to scale.
4. Written description of your request in letter format, addressed to Putnam County Planning & Development.
5. All required criteria (attached) must be addressed in the written description.

The documents listed above are the minimum requirements. Staff may require additional documentation depending on the nature of the Variance Request. All submitted documents are public records and subject to Opens Records Law.

I have reviewed the application procedures and all applicable criteria and regulations in the Putnam County Zoning Ordinance for the above requested Variance Request. I hereby claim that this application fulfills said procedures and meets the criteria for approval.

Applicant Signature: Bailey Lively (Agent for applicant) [Signature] Date: 6/25/25

I swear that I am the owner of the property listed above. I authorize Bailey Lively (applicant's name) to apply for a zoning action (zoning map amendment, conditional use, variance) at the above listed address, as identified on the attached application.

Owner Signature

[Signature]
VP. CONSTRUCTION
ARC TOWERS IV

Notary Public

Sworn and subscribed before me this
26th day of June 2025



Revised 1-04-24



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountygga.us

CAMPAIGN CONTRIBUTION DISCLOSURE

Has applicant made \$250 or more campaign contributions to a local government official within two years immediately preceding the filing of this application? Yes ☐ No ☒ If yes, please complete contribution affidavit.

If the business of the applicant or owner, or the applicant or owner individually, have made contributions or gifts having a total value of over \$250 or more to any elected official in Putnam County within two (2) years preceding the date of this application, the following must be completed:

Name of Recipient	Date	Contribution Amount	Description of Gift	Value of Gift

Name of Business:

APC Towers & Kimley-Horn

Business Ownership Interest: _____

Property Ownership Interest: _____

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

M. D. A.

Owner or Applicant Signature

[Signature]

Notary Public

Sworn and subscribed before me this

1st day of May 2025.



JASON RIGGS
Notary Public - Seal
Hendricks County - State of Indiana
Commission Number NP0649604
My Commission Expires Jan 22, 2030

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Revised 1-04-24

OPTION FOR EASEMENT AGREEMENT

THIS OPTION FOR EASEMENT AGREEMENT ("**Agreement**") is made as of the latter signature date below ("**Effective Date**"), by and between BRENDA N. WRIGHT, whose address is 117 Napier Road, Eatonton, GA 31024 ("**Grantor**") and APC TOWERS IV, LLC, a Delaware limited liability company, whose address is 8601 Six Forks Road, Suite 250, Raleigh, NC 27615, Attention: Daniel C. Agresta III, President & CEO, Site Number: GA-1968 ("**Grantee**"). All references hereafter to Grantee and Grantor shall include their respective heirs, successors and assigns (Grantee and Grantor, collectively, the "**Parties**").

RECITALS

A. Grantor is the owner of certain real property located near Napier Road, Eatonton, Putnam County, GA 31024, also known as parcel number 057 010, as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "**Grantor's Property**").

B. Grantor desires to grant to Grantee, and Grantee desires to obtain from Grantor an option to acquire easements granting Grantee the right to use a portion of Grantor's Property (100' x 100' – 10,000 square feet) for purpose of constructing, operating, maintaining, repairing, replacing and removing a communications tower and for certain other related activities as set forth herein.

NOW THEREFORE, for and in consideration of the covenants and agreements herein contained and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. **Option for Easement.** In consideration of the sum of [REDACTED] (the "**Option Fee**"), to be paid by Grantee to Grantor upon full execution of this Agreement, Grantor grants to Grantee for a term of eighteen (18) months (the "**Option Period**") an exclusive and irrevocable option to acquire (i) an exclusive fifty (50)-year easement (the "**Communication Easement**") in, to, under and over the portion of the Grantor's Property substantially as shown and described on Exhibit B for the transmission and reception of any and all wireless communication signals and the construction, maintenance, repair, replacement, improvement, operation and removal of towers, antennas, buildings, fences, gates and related facilities for Grantee's use and that of Grantee's subtenants, licensees and customers (collectively, "**Facilities**") and any related activities and uses including those necessary for Grantee to comply with any obligations arising under any agreements with wireless communications providers together with the right to enter Grantor's Property at any time, day or night, as may be required in connection with the foregoing activities and use; (ii) non-exclusive easements in and to the Communication Easement over a portion of Grantor's Property described on Exhibit B hereto (the "**Access Easement**" and "**Utility Easement**"), for the access and utilities; and (iii) if requested by Grantee, non-exclusive easements in and to Grantor's Property for the development, installation, repair, replacement, improvement, maintenance and removal of guy wires and anchors, as applicable over a portion of Grantor's Property also described on Exhibit B hereto (collectively, the "**Guy Wire Easement**") respectively, on the terms and conditions set forth herein below (the "**Option**"). As used herein "**Easements**" means collectively the Communication Easement, Access Easement, Utility Easement and the Guy Wire Easement, if applicable. Grantee has the right to extend the Option for one (1) additional term of eighteen (18) months (the/each an "**Extended Option Period**"). The Option will automatically be extended for the/each Extended Option Period unless Grantee provides Grantor written notice of its intent not to extend the Option. Grantee will pay Grantor an additional payment (the "**Additional Option Fee**") of [REDACTED] within thirty (30) days of the commencement of the each Extended Option Period. In the event that Grantee exercises the Option, Grantee will pay a one-time lump sum payment to Grantor in the amount of [REDACTED] (the "**Easement Fee**") A one-time payment of [REDACTED]

reduced by the amount of the Option Fee and any Additional Option Fee paid by Grantee to Grantor and adjusted for the prorations and adjustments in accordance with Section 6.

2. **Feasibility Studies.** Upon prior notification to Grantor, during the Option Period and any Extended Option Period, Grantee and its agents, engineers, surveyors and other representatives will have the right to enter upon the Grantor's Property to inspect, examine, conduct soil, drainage and precolation testing, material sampling, and other geological or engineering tests, studies or surveys of Grantor's Property (collectively, the "**Tests**"), to conduct title examinations and lien searches of Grantor's Property, to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Grantee's sole discretion for its use of the Easements for the Facilities including, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the "**Government Approvals**"), initiate the ordering and/or scheduling of necessary utilities, and otherwise to do those things on or off the Grantor's Property that, in the opinion of Grantee, are necessary in Grantee's sole discretion to determine the physical condition of the Grantor's Property, the environmental history of the Grantor's Property, Grantor's title to the Grantor's Property and the feasibility or suitability of the Grantor's Property for Grantee's permitted use, all at Grantee's expense. Grantee shall prepare, at Grantee's expense, for review and approval by Grantor, which approval shall not be unreasonably withheld, conditioned or delayed, a boundary or similar survey of the Easements (the "**Survey**") from a surveyor licensed under the laws of the state in which Grantor's Property is located. The Survey will include legal descriptions for all of the Easements and such descriptions, after approval by Grantor, will replace any sketch or depiction of the Easements and be used on the final Easement Agreement to be executed by the Parties. Grantor agrees to cooperate with Grantee in obtaining the Government Approvals, at Grantee's expense but for no additional consideration payable to Grantor. Grantor hereby irrevocably appoints Grantee or Grantee's agent as Grantor's agent to file applications on behalf of Grantor with federal, state and local governmental authorities which applications relate to Grantee's use of Grantor's Property and the Easements including but not limited to land use and zoning applications. Grantee will not be liable to Grantor or any third party on account of any pre-existing defect or condition on or with respect to the Grantor's Property, whether or not such defect or condition is disclosed by Grantee's inspection. No such inspections, investigations or examinations shall unreasonably interfere with Grantor's use of Grantor's Property.

3. **Grantor's Cooperation.** Grantor shall furnish to Grantee, within five (5) business days of Grantee's reasonable request, all reports, documents, records, and information, including electronic copies thereof, that Grantor has in its possession or can obtain without unreasonable effort or expense, to permit Grantee to perform the due diligence investigations described in Section 2 above with respect to Grantor's Property. In addition, upon Grantee's exercise of the Option, Grantor agrees to execute and deliver to Grantee all documents reasonably requested by Grantee and Grantee's national title insurance company (the "**Title Company**") as further described in Section 6 below and, upon Grantee's written request, remove liens and encumbrances disclosed by Grantee's title examination that Grantee reasonably believes will adversely affects the Easements and Grantee's use thereof.

4. **Representations, Warranties and Covenants of Grantor.** As a material inducement to Grantee to enter into this Agreement and to consummate the transactions contemplated herein, Grantor represents and warrants the following for the benefit of Grantee and Grantee's permitted assigns, each of which are true and correct at the execution of this Agreement by Grantor and will be true and correct at the signing of the Easement Agreement contemplated by this Agreement and from which Grantor shall not be relieved by any investigation made by or on behalf of Grantee:

- (a) Grantor possesses good and marketable fee simple title in and to Grantor's Property free and clear of all liens, claims, encumbrances, restrictions and reservations except for current state and

county ad valorem real property or personal property taxes not due and payable, (ii) easements for the maintenance of public utilities that do not adversely affect Grantee's intended use of the Easements and (iii) any Mortgage, Deed of Trust or similar instrument(s).

- (b) Grantor has neither received notice nor are there (i) any suits, judgments or violations relating to Grantor's Property of any zoning, building, fire, health, pollution, environmental protection or waste disposal or other governmental ordinance, code, law or regulation; (ii) any pending or, to Grantor's knowledge, contemplated proceedings or public improvements which could or might result in the levy of any special tax or assessment against Grantor's Property; (iii) litigation or proceedings of any type pending or, to Grantor's knowledge, threatened against or relating to Grantor or Grantor's Property, including, but not limited to, condemnation or eminent domain proceedings; and (iv) plans for special assessments or liens or for the widening, change in grade or limitation on use of streets or roads abutting Grantor's Property or for a change in the zoning or master plan for Grantor's Property.
- (c) There are no existing options, leases or agreements to lease, either oral or written, regarding Grantor's Property affecting the Easements, nor are there any persons in possession or occupancy of the area of the Easements or any part thereof nor are there any persons who have possessory rights in respect to the areas of the Easements or any part thereof except for Grantor. No part of Grantor's Property that will be subject to the Easements is subject to a right of first refusal, option or other right which Grantor or one of its predecessors may have granted to other persons or parties, whether oral or written.
- (d) The operation of Grantor's Property has met, in all material respects, the applicable laws and regulations of all federal, state, and local government authorities having jurisdiction, including, without limitation, all requirements pursuant to environmental protection, health, or safety laws and regulations. Grantor further represents that it has not permitted or engaged in the use of, and has no knowledge of, any substance, chemical or waste (collectively "**Hazardous Substance**") located on, under or about Grantor's Property that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. No underground storage tanks for petroleum or any other Hazardous Substance, or underground piping or conduits, are or have previously been located on Grantor's Property, and no asbestos-containing insulation or products containing PCB or other Hazardous Substances have been placed anywhere on Grantor's Property by Grantor or, to Grantor's knowledge, by any prior owner or user of Grantor's Property.
- (e) Grantor has full power, authority and legal right to execute, deliver and carry out Grantor's obligations under this Agreement and under all documents to be executed in connection herewith without the consent or joinder of any other person or entity; the execution, delivery, and performance of this Agreement and the transactions contemplated herein shall not violate or breach the terms, conditions or provisions of or cause a default under any agreement, order or decree to which Grantor is a party; and the persons signing this Agreement has full power and authority to bind Grantor and to execute and perform this Agreement.

5. **Exercise of Option.** During the Option Period or any Extended Option Period, Grantee may exercise the Option by notifying Grantor in writing (the "**Exercise Notice**"). If Grantee exercises the Option then Grantor will grant the Easements to the Grantee subject to the terms and conditions of the preapproved Easement Agreement attached hereto as **Exhibit C** and the Parties will complete the transactions contemplated by this Agreement pursuant to the procedures set forth in Section 6 below. If Grantee does not exercise the Option, this Agreement will terminate and the Parties will have no further liability to each other except that Grantee will restore Grantor's Property to its condition as it existed at the

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commencement of the Option Period, reasonable wear and tear and casualty not caused by Grantee excepted, and shall indemnify, defend and hold Grantor harmless from and against any and all injury, loss, damage or claims arising directly out of the Tests and any activity Grantee conducted on Grantor's Property during the Option Period or any Extended Option Period. Grantor shall make all claims for indemnification under this Section 5 within one (1) year of expiration or termination of the Option and be deemed to have waived any such claim not made within the one (1)-year period.

6. **Delivery of Easement Agreement; Easement Fee and Possession.** If Grantee exercises the Option by delivering the Exercise Notice to Grantor, Grantee and Grantor shall execute the Easement Agreement and finalize the easement transaction within fifteen (15) business days of Grantor's receipt of the Exercise Notice (the "**Closing Date**"). The Parties intend to exchange the Easement Agreement, other executed documents identified below and the Easement Fee through escrow with counsel for Grantee or Grantor or with the Title Company, with the "closing" of the easement transaction to be conducted by telephone. Grantor shall execute and/or deliver to Grantee such normal transaction documents and other materials as may reasonably be required by the Grantee or the Title Company including the following: (i) three (3) originals of the executed Easement Agreement, subject to modification to (a) include the legal descriptions of the Easements prepared from the Survey and (b) comply with the laws, rules and regulations of the state or municipal governmental unit in which Grantor's Property is located, (ii) a certificate stating that the Grantor is not a "foreign person" as defined in the federal Foreign Investment in Real Land Tax Act of 1980, and the 1984 Tax Reform Act, as amended, in a form reasonably acceptable to Grantee, (iii) any reasonable and customary affidavits required by, and satisfactory to, the Title Company, including a standard mechanics' and material men's lien affidavit in the form required by the Title Company so that an easement owner's title insurance policy may be issued free and clear of the standard exceptions which a title company is permitted to remove or modify upon delivery of such affidavits, (iv) documents evidencing that each of the persons executing and delivering the Easement Agreement and related documents on behalf of Grantor has the authority to execute and deliver such documents, (v) a non-disturbance and attornment agreement in favor of Grantee for any mortgage, deed of trust or similar document encumbering Grantor's Property, (vi) releases for monetary liens encumbering Grantor's Property, and (vii) a statement certifying that the representations made by Grantor in Section 4 are true and correct on the date the Easement is signed. Grantee shall sign three (3) originals of the executed Easement Agreement, any other documents required by the Title Company and pay the Easement Fee into escrow on the Closing Date. Grantee may take possession of the Easements upon completion of the transactions described in this Section 6.

7. **Transaction Costs.** Grantee shall pay for the preparation and recording of the Easement Agreement, all fees payable to the Title Company for the services requested by Grantee, its own counsel fees, and any brokerage commissions due by Grantee in connection with this transaction. Grantor shall pay any real estate excise or transfer taxes due in connection with the Easement Agreement, the costs associated with the release of any mortgages, liens or encumbrances against the Easements or Grantor's Property, its own counsel fees, and any brokerage commissions due by Grantor in connection with this transaction. The Parties will sign a settlement statement prepared by Grantee's counsel or the Title Company, and approved by Grantor, detailing the costs owed by each Party.

8. **Recording of Option for Easement.** Grantor and Grantee hereby agree, following the execution of this Agreement, to execute the Memorandum of Option, in substantially the form of Exhibit D attached hereto and incorporated herein by reference as modified to conform to the laws of the state in which the Grantor's Property is located. Grantee, at its sole expense, shall file the Memorandum of record in the county and state where the Grantor's Property is located.

9. **Non-competition.** From the Effective Date until the earlier to occur of (i) the termination of this Agreement and (ii) the signing of the Easement Agreement, Grantor shall not grant any interest in any portion of the Easements to any third party or grant any portion of Grantor's Property to a third party

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which intends to use Grantor's Property for telecommunications purposes or assign this Agreement to a third party, without the prior written consent of Grantee in each instance, in Grantee's sole and absolute discretion.

10. **Broker/Grantor's Agent.** Grantor and Grantee each represent to the other that no real estate broker, commission agent or other person is entitled to any commission with respect to the transactions herein contemplated (collectively, "**Broker**"). Except with regard to a breach of Grantee's warranty set forth in this Section, Grantor hereby indemnifies and holds Grantee harmless from any loss, cost, damages and expenses arising out of a brokerage, commission, or fee due or alleged to be due in connection with this Agreement or the transactions contemplated hereby. Except with regard to a breach of Grantor's warranty set forth in this Section, Grantee hereby indemnifies and holds Grantor harmless from any loss, cost, damage and expense arising out of a brokerage commission or fee due or alleged to be due arising out of breach of Grantee's warranty set forth in this Section. The foregoing representations and warranties shall survive signing of the Easement Agreement.

11. **Remedies of Grantor.**

(a) In the event of Grantee's default under this Agreement, Grantor agrees to provide Grantee with written notice specifying the nature of such default. Grantee shall have thirty (30) days from the date of receipt of said notice to cure said default. In the event Grantee does not cure such default within such 30 day period, and provided that Grantor has fully performed all of its obligations hereunder, then Grantor may terminate this Agreement and pursue the remedies set forth in the following paragraph of this Section.

(b) Grantee and Grantor acknowledge that it would be extremely impracticable and difficult to ascertain the actual damages that would be suffered by Grantor if Grantee fails to exercise the Option (for any reason other than Grantor's breach of the terms hereof). Grantee and Grantor have carefully considered such damages and have agreed that the Option Fee and Additional Option Fee(s), collectively, is a reasonable estimate of such damage. If Grantor has performed its covenants and agreements hereunder, but Grantee has breached its covenants and agreements hereunder and has failed, refused or is unable to exercise the Option, then Grantor shall retain the Option Fee and Additional Option Fee paid as full and complete liquidated damages, and no party to this Agreement shall have any liability to any other party to this Agreement, and this Agreement shall, in its entirety, be deemed of no further force and effect.

12. **Remedies of Grantee.** Grantor and Grantee acknowledge and agree that the extent of damages in the event of the breach of any provision of this Agreement by Grantor would be difficult or impossible to ascertain, and that in such circumstance there will be available no adequate remedy at law in the event of any such breach. Therefore, if Grantor has breached any of its covenants and agreements under this Agreement or has otherwise failed, refused or is unable to consummate the transactions contemplated herein, then Grantee may, at its sole election: (i) terminate this Agreement and receive a full refund on any and all Option Fee and Additional Option Fee payments made to Grantor, (ii) obtain specific performance plus the cost of obtaining specific performance, including reasonably attorneys' fees, without the need of posting an bond, or (iii) pursue any or all of its remedies at law and equity, including, but not limited to, monetary damages.

13. **Notices.** All notices required to be given by any of the provisions of this Agreement, unless otherwise stated, shall be in writing and delivered in person or by a national overnight delivery service (and shall be effective when received, when refused or when the same cannot be delivered) to the appropriate party at the address set forth above in the Preamble (or such other address as has been designated in writing by either party hereto).

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14. **Assignability/Binding Effect.** This Agreement may be assigned by Grantee to any party. Grantor may not assign its rights or obligations under this Agreement, except with the written consent of Grantee, which consent may be granted or withheld in Grantee's sole discretion. If Grantor does assign this Agreement to a third party with the permission of Grantee, Grantor shall cause any such assignee to assume this Agreement and the obligations under this Agreement. This Agreement is binding upon and inures to the benefit of the parties' respective heirs, personal representatives, successors, and assigns.

15. **Severability.** If any provision of this Agreement is deemed unenforceable in whole or in part, such provision shall be limited to the extent necessary to render the same valid or shall be excised from this Agreement, as circumstances require, and this Agreement shall be construed as if such provision had been so limited or as if such provision had not been included herein, as the case may be.

16. **Entire Understanding and Amendment.** This Agreement constitutes the entire understanding between the parties with regard to the subject matter hereof and there are no representations, inducements, conditions, or other provisions other than those expressed herein. This Agreement may not be modified, amended, altered or changed in any respect except by written agreement and signed by the party to be charged.

17. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the state or commonwealth where Grantor's Property is located without regard to that state's conflicts of laws principles.

18. **Attorney's Fees.** In the event of any dispute arising hereunder or a breach by a party, if litigation is commenced, the prevailing party shall be entitled to recover from the other party all costs and expenses incurred in connection with such litigation, including, but not limited to, reasonable attorneys' fees and costs.

19. **Counterparts.** This Agreement may be executed in one or more counterparts, and by the different parties hereto in separate counterparts, each of which when executed shall be deemed to be an original but all of which taken together shall constitute one and the same agreement.

(Signature Pages Follow)

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the dates written below.

GRANTEE:

APC TOWERS IV, LLC
a Delaware limited liability company

By: 

Name: Daniel C. Agresta III

Title: President & CEO

Date: 2/21/2025

GRANTOR:

BRENDA N. WRIGHT

By: 

Name: Brenda Napier Wright

Date: 02-03-2025

**EXHIBIT A
TO OPTION FOR EASEMENT AGREEMENT**

LEGAL DESCRIPTION OF GRANTOR'S PROPERTY

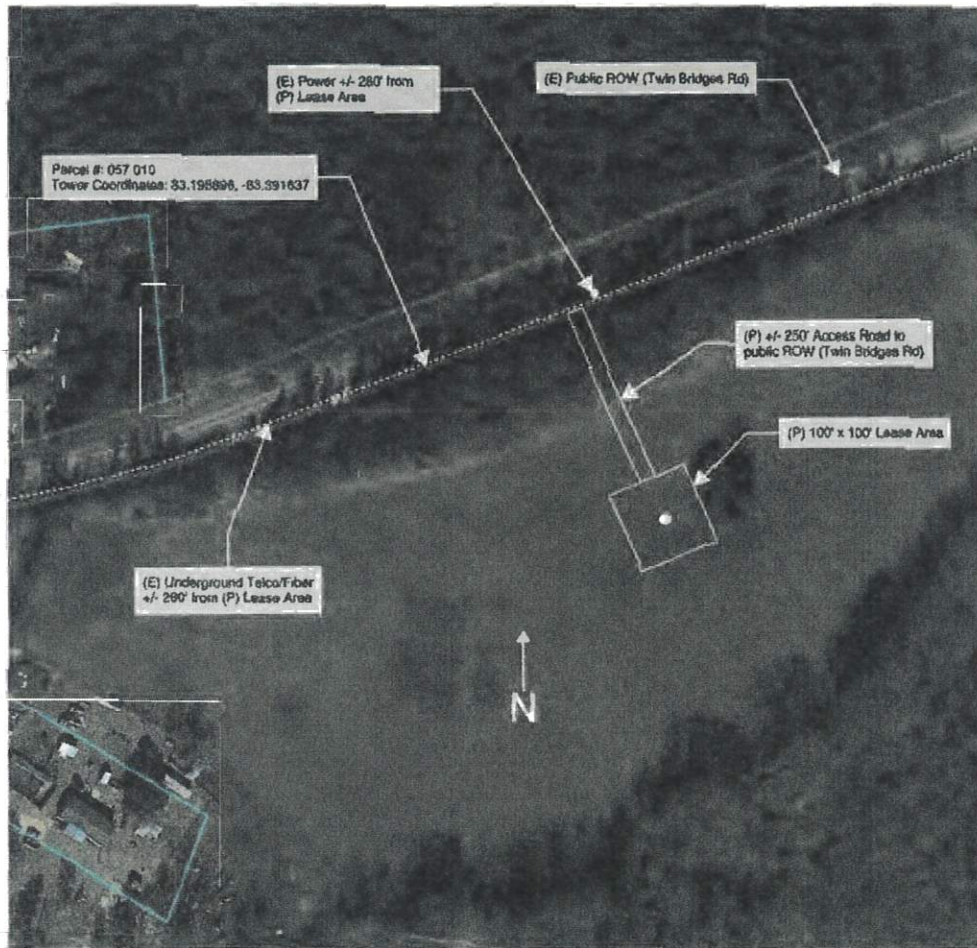
ALL OF THAT TRACT OR PARCEL OF LAND BEING A PORTION OF LOT 1-B, OF THE DIVISION OF THE NAPIER ESTATE, LOCATED IN LAND LOTS 124, 125, 138 & 139, IN THE 3RD LAND DISTRICT AND 314 G.M.D., OF PUTNAM COUNTY, GEORGIA, CONTAINING 96.8 ACRES, MORE OR LESS, BEING ALL OF TRACT "B" AS SHOWN ON THAT PLAT MADE FROM A SURVEY BY BYRON L. FARMER, GEORGIA REGISTERED SURVEYOR NO. 1679, DATED FEBRUARY 21, 2000, WHICH SAID PLAT IS HERETO ATTACHED TO THIS DEED AND MADE A PART HEREOF BY REFERENCE.

TAX ID: 057 010

BEING THE SAME PROPERTY CONVEYED TO BRENDA N. WRIGHT, GRANTEE, FROM RUTH B. NAPIER, GRANTOR, BY WARRANTY DEED RECORDED 07/14/2000, IN BOOK 314, PAGE 32, OF THE PUTNAM COUNTY RECORDS.

EXHIBIT B
TO OPTION FOR EASEMENT AGREEMENT
DESCRIPTION OF EASEMENT

Site Sketch



Notes:

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

APC Site ID: GA-1968 - Eatonton
 Easement

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Initials: BW, 162-03-25 DA

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EXHIBIT C
EASEMENT AGREEMENT
(Attached Hereto)

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EASEMENT AGREEMENT

PREPARED BY
AND WHEN RECORDED RETURN TO:

Talicia C. Neal
APC Towers IV, LLC
8601 Six Forks Road, Suite 250
Raleigh, NC 27615
(919) 324-1922

(Recorder's Use Above this Line)

STATE OF GEORGIA

Premises Parcel No.: 057 010

COUNTY OF PUTNAM

THIS EASEMENT AGREEMENT ("**Agreement**"), made and entered as of the latter signature date hereto (the "**Effective Date**"), by and between BRENDA N. WRIGHT whose address is 117 Napier Road, Eatonton, GA 31024 ("**Grantor**") and APC TOWERS IV, LLC, a Delaware limited liability company ("**Grantee**") whose address is 8601 Six Forks Road, Suite 250, Raleigh, NC 27615, Attention: Daniel C. Agresta III, President & CEO, Site Number: GA-1968. All references hereafter to Grantee and Grantor shall include their respective heirs, successors and assigns (Grantee and Grantor, collectively, "**Parties**").

RECITALS

A. Grantor is the owner of certain real property located near Napier Road, Eatonton, Putnam County, GA 31024, also known as parcel number 057 010, as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "**Grantor's Property**").

B. Grantor desires to grant to Grantee, and Grantee desires to obtain from Grantor easements granting Grantee the right to use a portion of Grantor's Property for purpose of constructing, operating,

APC Site ID: GA-1968 - Eatonton
Easement

Page 11 of 28

Initials: BW, 02-03-25 TA

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maintaining, repairing, replacing and removing a communications tower and certain related rights as set forth herein.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which Grantor and Grantee agree as follows:

1. Grant of Easement.

(a) Grantor grants, bargains, sells, transfers and conveys to Grantee:

(1) an exclusive easement in, to, under and over the portion of Grantor's Property substantially as shown and described on Exhibit B-1 ("**Communication Easement**") for the transmission and reception of any and all wireless communication signals and the construction, maintenance, repair, replacement, improvement, operation and removal of towers, antennas, buildings, fences, gates and related facilities (collectively, "**Facilities**") and any related activities and uses including those necessary for Grantee to comply with any obligations arising under any agreements with wireless service providers or other customers of Grantee, together with the right to enter Grantor's Property at any time, day or night, as may be required in connection with the foregoing activities and uses, and

(2) non-exclusive easements in, to, under and over portions of Grantor's Property substantially as shown and described on Exhibit B-2 for ingress and egress to and from the Communication Easement and a publicly dedicated roadway (the "**Access Easement**"); and utilities providing service to the Communication Easement and the Facilities ("**Utility Easement**"), and any related activities and uses. The Communication Easement, Access Easement and Utility Easement are collectively referred to as the "**Easements**".

[Add provision if site will have guy wires and guy wire and anchor easement to be granted.]

(b) The Parties agree that the Communication Easement includes, without limitation, (i) the portion of Grantor's Property available for use by wireless service providers, if any, and (ii) the portion of Grantor's Property upon which any Facilities are located, if any on the Effective Date.

2. Use of Easements. Grantee may use the Easement for the uses described in Section 1 above. In addition, Grantee shall have the unrestricted right to lease, license, transfer or assign, in whole or in part, or permit the use of the Easements and/or its rights under this Agreement, by any third parties including communication service providers or tower owners or operators, and any lessee or licensee under any existing agreements and the affiliates, agents, contractors, invitees and employees of Grantee and/or Grantee's present or future lessees or licensees (collectively, "**Customers**").

3. Term. The term of this Agreement ("**Term**") is fifty (50) years, beginning on beginning on the Effective Date, and expiring as of midnight on the day prior to the fiftieth (50th) anniversary of the Effective Date.

4. Easement Fee. Grantee shall pay Grantor a one-time fee in the amount set forth on Schedule 1 attached hereto and made a part hereof ("**Fee**"). The Fee is due and payable on the Fee Payment Date. The "**Fee Payment Date**" is the earlier of (i) the Effective Date or (ii) the date Grantor and Grantee finalize the transactions resulting in this Agreement pursuant to Section 6 of the Option for Easement Agreement dated _____. Grantee's failure to remit payment for the Fee pursuant to this paragraph shall be deemed to be a default under this Agreement.

5. Termination. This Agreement may not be terminated by Grantor. In addition to other termination rights contained in this Agreement, this Agreement may be terminated by Grantee, upon 30 days' prior written

notice to Grantor. Upon termination, Grantor and Grantee shall execute and record such documents reasonably required to terminate the Easements.

6. Improvements; Utilities. Grantee and its Customers, may, at their discretion and expense, construct such improvements in, to, under and over the Easements, consistent with the uses specified in Sections 1 and 2, all of which shall be deemed part of the Facilities. The Facilities shall remain the property of Grantee and its Customers, as applicable, and Grantor shall possess no right, title or interest therein. In the event that utilities necessary to serve the Facilities cannot be installed within the Easements, Grantor agrees to cooperate with Grantee and to act reasonably and in good faith in granting Grantee the right to locate such utilities on Grantor's Property without requiring the payment of additional fees. If necessary, Grantor shall, upon Grantee's request, execute and record a separate written easement with Grantee or with the utility company providing the utility service to reflect such right. Grantor agrees to cooperate with Grantee in obtaining, at Grantee's expense, all licenses and permits required for Grantee's and Grantee's Customers' use of the Easements and Grantor hereby irrevocably constitutes and appoints Grantee as its true and lawful attorney-in-fact, with full power of substitution and resubstitution, to apply for and obtain any and all licenses, permits, consents or approvals which may be required in connection with the use of the Easements by Grantee, in the name of Grantor or Grantee, as necessary to comply with applicable laws, statutes or regulations.

7. Taxes. Grantor shall pay, on or before the due date, all present and future real property taxes, transfer taxes, penalties, interest, roll-back or additional taxes, sales and use taxes and all other fees and assessments (the "Taxes") attributable to Grantor's Property, this Agreement, and the Easements regardless of the party to whom such Taxes are billed. Grantee shall reimburse Grantor in full for any property taxes assessed against Grantor but attributed to the Facilities within thirty (30) days of Grantor's request for such reimbursement, provided that such request is accompanied by documentation reasonably supporting such request. Within ten (10) days of receiving a request from Grantee, Grantor shall furnish to Grantee a copy of each bill for any such Taxes and evidence of Grantor's payment of such bill. If Grantor fails to pay any Taxes when due, Grantee shall have the right, but not the obligation, to pay such Taxes on behalf of Grantor. Grantor shall reimburse Grantee for the full amount of such Taxes paid by Grantee on Grantor's behalf within five (5) business days of Grantor's receipt of an invoice from Grantee.

8. Environmental Covenants and Indemnity. Grantor represents that it has not permitted or engaged in the use of, and has no knowledge of, any substance, chemical or waste (collectively "Hazardous Substance") located on, under or about Grantor's Property that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. No underground storage tanks for petroleum or any other Hazardous Substance, or underground piping or conduits, are or have previously been located on Grantor's Property, and no asbestos-containing insulation or products containing PCB or other Hazardous Substances have been placed anywhere on Grantor's Property by Grantor or, to Grantor's knowledge, by any prior owner or user of Grantor's Property. Neither Grantor nor Grantee will introduce or use any such Hazardous Substance on, under or about Grantor's Property in violation of any applicable law or regulation. Grantor and Grantee shall each defend, indemnify, protect and hold the other party harmless from and against all claims, costs, fines, judgments and liabilities, including attorney's fees and costs, arising out of or in connection with the presence, storage, use or disposal of any Hazardous Substance on, under or about Grantor's Property caused by the acts, omissions or negligence of the indemnifying party and their respective agents, contractors and employees. The foregoing indemnity shall survive any termination of this Agreement.

9. General Indemnity. In addition to the Environmental Indemnity set forth above, Grantor and Grantee each indemnify, defend and hold the other harmless against any and all costs (including reasonable attorney's fees) and claims of liability or loss arising (i) due to the breach of any representation, warranty or covenant of such indemnifying party set forth herein; and (ii) out of the use and/or occupancy of

Grantor's Property and Easements by the indemnifying party. This indemnity shall not apply to any claims to the extent arising from the gross negligence or intentional misconduct of the indemnified party.

10. Secured Parties. Grantee has the unrestricted right to assign, mortgage or grant a security interest in all of Grantee's interest in and to this Agreement and the Easements, and may assign this Agreement and the Easements to any such assignees, mortgagees or holders of security interests, including their successors and assigns ("Secured Party" or, collectively, "Secured Parties"), without the consent of Grantor. Grantor agrees to notify Grantee and Secured Parties simultaneously of any default by Grantee and give Secured Parties the same right to cure any default. If a termination, disaffirmation or rejection of this Agreement by Grantee shall occur, pursuant to any laws (including any bankruptcy or insolvency laws), or if Grantor shall terminate this Agreement for any reason, Grantor will notify Secured Parties promptly and Grantor shall enter into a new easement agreement with any such Secured Party upon the same terms of this Agreement, without requiring the payment of any additional fees. If any Secured Party shall succeed to Grantee's interest under this Agreement, such Secured Party shall have no liability for any defaults of Grantee accruing prior to the date that such Secured Party succeeds to such interest. Grantor will enter into modifications of this Agreement reasonably requested by any Secured Party. Grantor hereby waives any and all lien rights it may have, statutory or otherwise, in and to the Easements and/or the Facilities or any portion thereof. Grantor acknowledges that Secured Parties are third-party beneficiaries of this Agreement.

11. Assignment. Grantee may assign or transfer this Agreement and all or any part of the Easements without the prior consent of Grantor. Upon assignment, Grantee shall be relieved of all liabilities and obligations under this Agreement, provided that the recipient of such assignment agrees to be bound by the terms of this Agreement. Grantee shall also have the right to lease or sublet the Easement Premises without the prior consent of Grantor.

12. Casualty and Condemnation. If, prior to the expiration of the Term, all or any material portion of Grantor's Property is damaged or destroyed by fire or other casualty, or taken by governmental authority, Grantee may, in its sole discretion, terminate this Agreement upon written notice to Grantor. If Grantee does not elect to exercise its option to terminate this Agreement as aforesaid, this Agreement shall remain in full force and effect. In the event of any condemnation of the Easements in whole or in part, Grantee shall be entitled to file claims against the condemning authority for, and to receive the value of the portion of Grantor's Property so taken on which the Easements are located, business dislocation expenses and any other award or compensation to which Grantee may be legally entitled. Grantor hereby assigns to Grantee any such claims and agrees that any claims made by Grantor will not reduce the claims made by Grantee. Grantee shall be entitled to receive any insurance proceeds or condemnation award attributable to Grantee's personal property and its interest in this Agreement and the Easements throughout the term of this Agreement. Grantor shall not settle or compromise any insurance claim or condemnation award relating to the Easement without Grantee's prior written approval, which shall not be unreasonably withheld.

13. Covenant Running with the Land. The provisions of and covenants contained in this Agreement shall run with the land and shall bind and inure to the benefit of the Parties and their respective successors, heirs and assigns.

14. Dispute Resolution.

(a) If Grantee fails to perform any of its obligations under this Agreement, Grantor agrees to notify Grantee and any Secured Parties in writing, and to give Grantee and/or any Secured Parties the right to cure any such default within a period of not less than sixty (60) days from Grantee's receipt of the written default notice. If Grantee or any Secured Parties shall fail to cure any default in accordance with this Section, Grantor agrees that its sole remedy for such default shall be to utilize the process set forth herein, and that any and all damages for which Grantor may be compensated is limited to the actual damages of Grantor, which shall in no event exceed the amount of consideration paid by Grantee

for this Agreement. If any dispute or claim arises that could impair the use or possession of the Facilities by Grantee or its Customers, Grantee shall have the right to seek injunctive relief, without the necessity of posting a bond. In no event will a Secured Party have any obligation to cure a default by Grantee.

(b) Except as set forth in Section 14(a), in the event of any dispute arising out of this Agreement, the following dispute resolution process shall be followed: (1) upon a party's written notice of dispute to the other party, an authorized representative of the Grantor and Grantee shall, through a good faith negotiation, attempt to settle a written resolution within thirty (30) days and (2) if such negotiation attempts fail, the dispute may be submitted by either party to a court having jurisdiction over such dispute and shall be entitled to pursue any and all legal and equitable rights and remedies permitted by applicable law, subject to the terms of this Agreement.

15. Notices. All notices, requests, demands and other communications hereunder shall be in writing and shall be deemed given one (1) day after posting with a nationally recognized overnight courier service, or the earlier of receipt or ten (10) days after posting by registered or certified mail, return receipt requested, to the addresses of Grantor and Grantee set forth in the first paragraph of this Agreement. Either party may change its notice address by providing a new recipient name and address by notice as set forth in this paragraph.

16. Right of First Refusal. In the event Grantor shall receive a bona fide offer from a third party to purchase or if Grantor intends to communicate to a third party an offer to sell, (a) all or any portion of the Easements, (b) any adjoining or adjacent property subject to an Easement hereunder or (c) this Agreement or any rights hereunder including the right to receive rent (in each case, the "Sale Assets"), Grantor shall first communicate the terms of such offer to Grantee, provide a copy of the bona fide offer to Grantee and offer to sell such property to Grantee upon the same terms and conditions, including any financing terms. Grantee shall have thirty (30) days from receipt of said notice from Grantor to accept said offer in writing. If Grantee accepts Grantor's offer within thirty (30) days, Grantor shall be bound to sell the Sale Assets to Grantee, and Grantee shall be bound to purchase the Sale Assets from Grantor, in accordance with the bona fide offer. If Grantee purchases the Sale Assets pursuant to this paragraph, any easements granted from Grantor to Grantee shall become permanent easements without further consideration. If Grantee fails to exercise such right of first refusal within the stated time, Grantor may sell the Sale Assets subject to any and all terms and conditions of this Agreement; provided, however, that if the terms of sale change and if Grantor has not sold or transferred title to such property within ninety (90) days of the date of Grantor's written notice to Grantee, any such sale and transfer of title shall again be subject to Grantee's said right of first refusal. Grantee's right of first refusal shall continue in effect as to any subsequent proposed sale by the current Grantor or by any transferee.

17. Exclusivity. Grantor shall not grant any interest in any portion of the Easements to any third party nor grant any portion of Grantor's Property to a third party which intends to use Grantor's Property for telecommunications purposes, without the prior written consent of Grantee, in Grantee's sole and absolute discretion.

18. Miscellaneous. (a) This Agreement and all Exhibits attached hereto constitute the entire agreement and understanding of Grantor and Grantee with respect to the subject matter of this Agreement, and supersedes all offers, negotiations and any other written or verbal agreements, including the Option for Easement Agreement between Grantor and Grantee (except for the indemnity obligations relating to brokers which shall survive); (b) any amendments to this Agreement must be in writing and executed by both parties; (c) this Agreement is governed by the laws of the State in which Grantor's Property is located; (d) if any term of this Agreement is found to be void or invalid, such provision shall be fully severable herefrom and such invalidity shall not affect the remaining terms of this Agreement, which shall continue in full force and effect, and this Agreement shall be reformed and construed as if such invalid provision had never been

contained herein, and if possible, such provision shall be reformed to the maximum extent permitted under applicable law to render same valid, operative and enforceable to reflect the intent of the Parties as expressed herein; (e) the paragraph headings of this Agreement have been inserted for convenience of reference only, and shall in no way modify or restrict the terms of this Agreement; (f) Grantor acknowledges that Grantee has not provided any legal or tax advice to Grantor in connection with the execution of this instrument; and (g) this Agreement may be executed in any number of counterparts, each of which shall, when executed, be deemed to be an original and all of which shall be deemed to be one and the same instrument.

19. Maintenance and Access. Grantor agrees to be solely responsible for the maintenance of Grantor's Property. Grantor agrees to provide Grantee and its Customers access to and from the Easements consistent with the grant of the Easements set forth in Section 1 above, twenty-four (24) hours a day, seven (7) days a week.

20. Estoppel, Non-Disturbance and Attornment. Grantor agrees, from time to time, upon not less than 10 days prior written notice from Grantee, to execute and deliver to Grantee a written estoppel certificate certifying that as of the date of the certification: (i) this Agreement is a valid enforceable agreement, presently in full force and effect; (ii) whether Grantor has any knowledge of any default or breach by Grantee under any of the terms, conditions, or covenants of this Agreement; (iii) the Term (its commencement and termination dates) and the term of any option or renewal periods granted to Grantee to extend the Term; (iv) the amount of the then-current Fees payable under this Agreement; or with respect to the Easements under a separate agreement, (v) attached to the certification is a true and correct copy of the Agreement and all amendments thereto, (vi) and such other facts as Grantee or its prospective mortgagee or purchaser may request. Grantor shall obtain for Grantee from the holder of any mortgage and deed of trust now or hereafter encumbering Grantor's Property a subordination and non-disturbance agreement in a form provided upon request by Grantee, providing that so long as Grantee is not in default under this Agreement, its rights as holder of the Easements hereunder shall not be terminated and its access to and possession of Grantor's Property shall not be disturbed by the mortgagee or trustee, or by any proceedings on the debt which any such mortgage or deed of trust secures, and that any sale at foreclosure shall be subject to this Agreement.

21. Recording. An original of this Agreement will be placed of record, at Grantee's cost, in the county and state where the Grantor's Property is located, after removing Schedule 1.

(Signature Pages Follow)

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the dates written below.

GRANTOR:

BRENDA N. WRIGHT

By: [Signature]

Name: Brenda Napier Wright

Date: 02-03-2025

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

GRANTOR ACKNOWLEDGMENT

STATE OF GEORGIA

COUNTY OF Jones

On the 3 day of February in the year 2025 before me, the undersigned, personally appeared Brenda Napier Wright, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

[Signature]

_____, Notary Public

My Commission Expires: 07.21.2025

GRANTEE:

APC TOWERS IV, LLC,
a limited liability company

By: [Signature]
Name: Daniel C. Agresta III

Title: President & CEO
Date: 2/21/2025

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

GRANTEE ACKNOWLEDGMENT

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Talicia C. Neal, a Notary Public of Wake County, North Carolina, certify that Daniel C. Agresta III personally came before me this day and acknowledged that he is the President & CEO of APC TOWERS IV, LLC, and that he, as President & CEO, being authorized to do so, executed the foregoing on behalf of APC TOWERS IV, LLC.

Witness my hand and official seal this 21st day of February 2025.
[Signature: Talicia C. Neal]

Talicia C. Neal, Notary Public
My Commission Expires: April 12, 2028.



EXHIBIT A**LEGAL DESCRIPTION OF GRANTOR'S PROPERTY**

ALL OF THAT TRACT OR PARCEL OF LAND BEING A PORTION OF LOT 1-B, OF THE DIVISION OF THE NAPIER ESTATE, LOCATED IN LAND LOTS 124, 125, 138 & 139, IN THE 3RD LAND DISTRICT AND 314 G.M.D., OF PUTNAM COUNTY, GEORGIA, CONTAINING 96.8 ACRES, MORE OR LESS, BEING ALL OF TRACT "B" AS SHOWN ON THAT PLAT MADE FROM A SURVEY BY BYRON L. FARMER, GEORGIA REGISTERED SURVEYOR NO. 1679, DATED FEBRUARY 21, 2000, WHICH SAID PLAT IS HERETO ATTACHED TO THIS DEED AND MADE A PART HEREOF BY REFERENCE.

TAX ID: 057 010

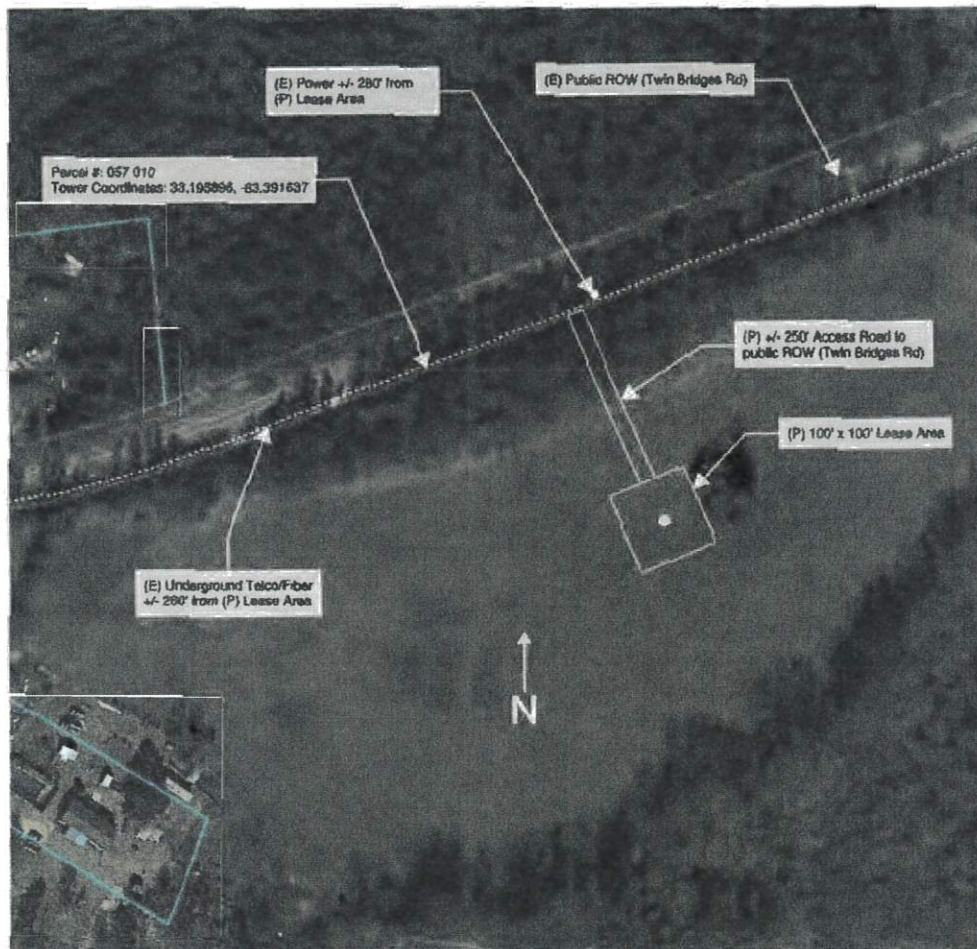
BEING THE SAME PROPERTY CONVEYED TO BRENDA N. WRIGHT, GRANTEE, FROM RUTH B. NAPIER, GRANTOR, BY WARRANTY DEED RECORDED 07/14/2000, IN BOOK 314, PAGE 32, OF THE PUTNAM COUNTY RECORDS.

RECEIVED MAY 07 2025
OW

EXHIBIT B-1**COMMUNICATION EASEMENT**

That portion of Grantor's Property on which any Facilities (other than those located within any Utility Easements and Access Easements) exist on the date of this Agreement, and that portion of Grantor's Property described as follows:

Site Sketch

**Notes:**

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

APC Site ID: GA-1968 - Eatonton
Easement

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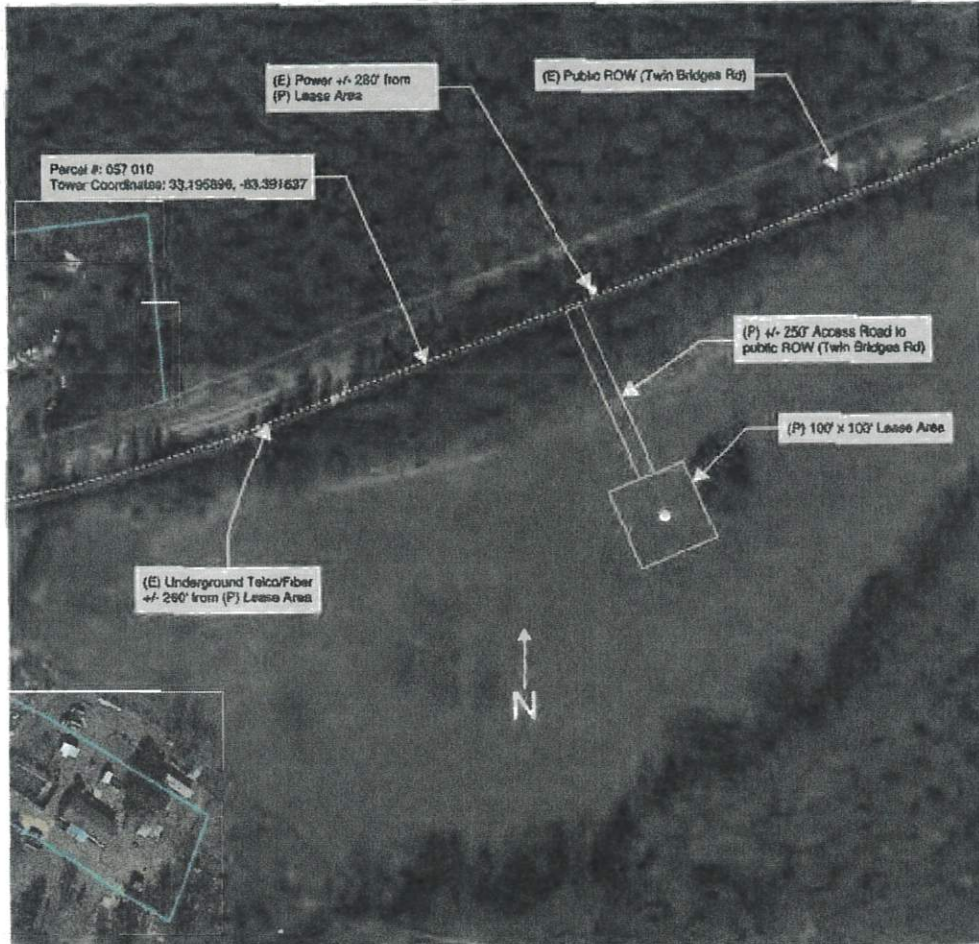
Initials: BN / 02-03-25 DK

RECEIVED MAY 07 2025

EXHIBIT B-2**ACCESS AND UTILITY EASEMENTS**

That portion of Grantor's Property on which any Facilities exist on the date of this Agreement for access and utility providers, including the following:

Site Sketch

**Notes:**

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

SCHEDULE 1**EASEMENT FEE**

[REDACTED] reduced by the amount of the Option Fee and any Additional Option Fee paid by Grantee to Grantor and adjusted for the prorations and adjustments in accordance with Section 6 of the Easement Option Agreement.

RECEIVED MAY 07 2025
aw

EXHIBIT D
MEMORANDUM OF OPTION FOR EASEMENT
(Attached Hereto)

MEMORANDUM OF OPTION FOR EASEMENT

PREPARED BY
AND WHEN RECORDED MAIL TO:

Talicia C. Neal
APC Towers IV, LLC
8601 Six Forks Road, Suite 250
Raleigh, NC 27615
(919) 324-1922

(space above for Recorder's use only)

THIS MEMORANDUM OF OPTION FOR EASEMENT ("**Memorandum**"), made and entered as of the latter signature date hereto (the "**Effective Date**"), by and between BRENDA N. WRIGHT, having an address of 117 Napier Road, Eatonton, GA 31024 ("**Grantor**"), and APC TOWERS IV, LLC, a Delaware limited liability company, having an address of 8601 Six Forks Road, Suite 250, Raleigh, NC 27615, Attention: Daniel C. Agresta III, President & CEO, Site Number: GA-1968 ("**Grantee**"), is a record of that certain Option for Easement Agreement ("**Agreement**") by and between Grantor and Grantee dated as of 02-03-25, which Agreement contains, among other things, the following terms:

1. Description of Option. In the Agreement Grantor grants Grantee the exclusive option to obtain exclusive and non-exclusive easements pertaining to a portion of Grantor's certain real property (the "**Grantor's Property**"). Grantor's Property is described in Exhibit A attached to this Memorandum.
2. Option Term. The term of the option granted in the Agreement is eighteen (18) months from the date of the Agreement, subject to Grantee's right to extend the option term for up to one (1) additional eighteen (18) month period(s).
3. Easements. If Grantee exercises said option and acquires the Easements from Grantor, the terms and conditions of the granting of the Easements will be contained in an easement agreement, which will be duly recorded.
4. Ratification of Agreement. By this Memorandum, the parties intend to record a reference to the Agreement and do hereby ratify and confirm all of the terms and conditions of the Agreement and declare that the Easements are subject to all of the applicable provisions of the Agreement.

(Signature Pages Follow)

IN WITNESS WHEREOF, Grantor and Grantee have executed this Memorandum as of the dates written below.

GRANTOR:

BRENDA N. WRIGHT

By: Brenda Napier Wright
Name: Brenda Napier Wright
Date: 02-03-2025

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

GRANTOR ACKNOWLEDGMENT

STATE OF GEORGIA

COUNTY OF Jones

On the 3 day of February in the year 2025 before me, the undersigned, personally appeared Brenda Napier Wright, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ZABRINA WARREN KIRBY
NOTARY PUBLIC
Jones County
State of Georgia
My Commission Expires 07/21/25

Zabrina Warren Kirby, Notary Public

My Commission Expires: 07.21.2025

GRANTEE:

APC TOWERS IV, LLC,
a limited liability company

By: _____

Name: Daniel C. Agresta III

Title: President & CEO

Date: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

GRANTEE ACKNOWLEDGMENT

STATE OF NORTH CAROLINA

COUNTY OF WAKE

I, Talicia C. Neal, a Notary Public of Wake County, North Carolina, certify that Daniel C. Agresta III personally came before me this day and acknowledged that he is the President & CEO of APC TOWERS IV, LLC, and that he, as President & CEO, being authorized to do so, executed the foregoing on behalf of APC TOWERS IV, LLC.

Witness my hand and official seal this the 21st day of February, 2025.

Talicia C. Neal

Talicia C. Neal, Notary Public

My Commission Expires: April 12, 2028.



**EXHIBIT A
TO MEMORANDUM OF OPTION FOR EASEMENT**

LEGAL DESCRIPTION OF GRANTOR'S PROPERTY

ALL OF THAT TRACT OR PARCEL OF LAND BEING A PORTION OF LOT 1-B, OF THE DIVISION OF THE NAPIER ESTATE, LOCATED IN LAND LOTS 124, 125, 138 & 139, IN THE 3RD LAND DISTRICT AND 314 G.M.D., OF PUTNAM COUNTY, GEORGIA, CONTAINING 96.8 ACRES, MORE OR LESS, BEING ALL OF TRACT "B" AS SHOWN ON THAT PLAT MADE FROM A SURVEY BY BYRON L. FARMER, GEORGIA REGISTERED SURVEYOR NO. 1679, DATED FEBRUARY 21, 2000, WHICH SAID PLAT IS HERETO ATTACHED TO THIS DEED AND MADE A PART HEREOF BY REFERENCE.

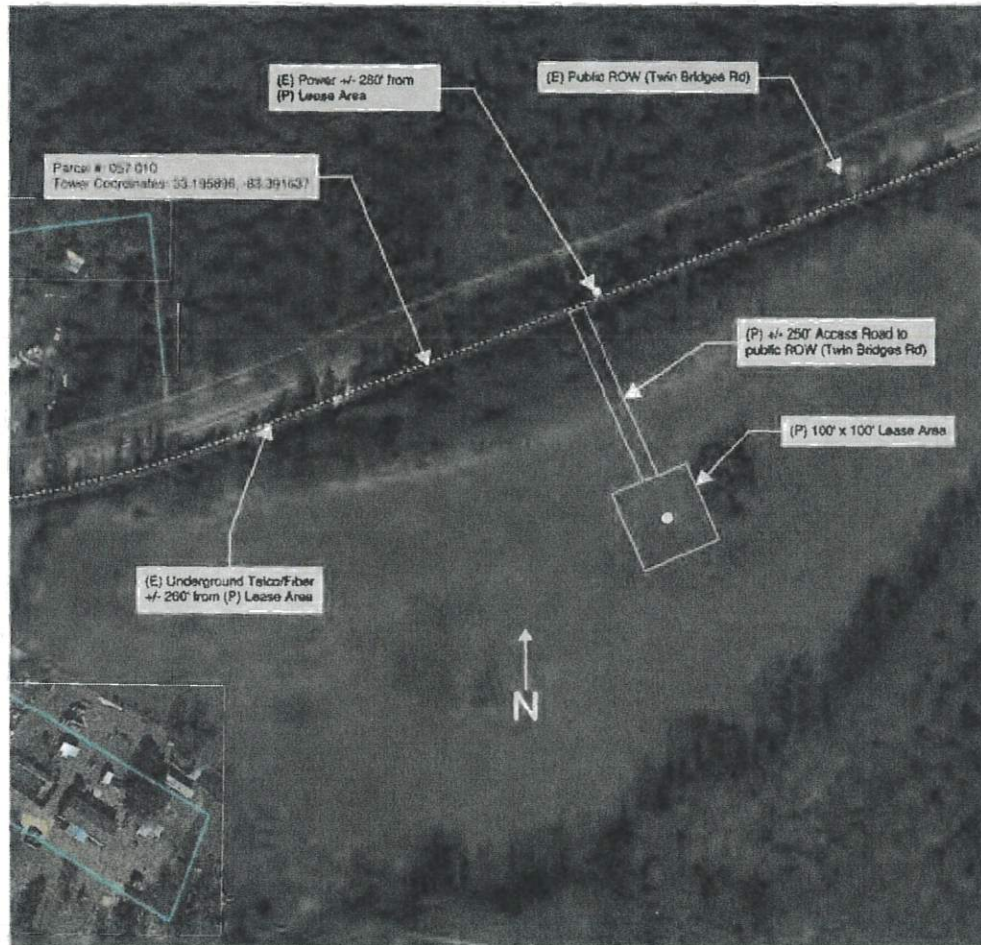
TAX ID: 057 010

BEING THE SAME PROPERTY CONVEYED TO BRENDA N. WRIGHT, GRANTEE, FROM RUTH B. NAPIER, GRANTOR, BY WARRANTY DEED RECORDED 07/14/2000, IN BOOK 314, PAGE 32, OF THE PUTNAM COUNTY RECORDS.

RECEIVED MAY 07 2025
ow

EXHIBIT B
TO MEMORANDUM OF OPTION FOR EASEMENT
DESCRIPTION OF EASEMENT

Site Sketch



Notes:

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

APC Site ID: GA-1968 - Eatonton
 Easement

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Initials: BW / 02-03-25 DA

RECEIVED MAY 07 2025
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PROJECT SUMMARY

APC TOWERS SITE NAME:	EATONTON
APC TOWERS SITE NUMBER:	GA-1968
T-MOBILE SITE NUMBER:	9AT7222
PROPERTY SITE ADDRESS:	117 NAPIER RD EATONTON, GA 31024
PROPERTY OWNER:	BRENDA N. WRIGHT
PROPERTY PARCEL NUMBER:	057 010
E911 ADDRESS:	TBD NAPIER RD EATONTON, GA 31024
TOWER OWNER:	APC TOWERS IV, LLC. 8601 SIX FORKS ROAD SUITE 250 RALEIGH, NC 27615
ZONING JURISDICTION:	PUTNAM COUNTY
ZONING DESIGNATION:	AG
SITE COORDINATES:	1A
LATITUDE:	33° 11' 45.22"
LONGITUDE:	-83° 23' 29.89"
ELEVATION:	405.6'
APPLICANT:	APC TOWERS IV, LLC. 8601 SIX FORKS ROAD SUITE 250 RALEIGH, NC 27615
TENANT:	T-MOBILE
OCCUPANCY TYPE:	UNMANNED
A.D.A. COMPLIANCE:	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION

CONSULTING TEAM

ENGINEERING FIRM:	TELEPHONE/FIBER COMPANY:
KIMLEY-HORN & ASSOCIATES	WINDSTREAM
3875 EMBASSY PKWY, SUITE 280	4005 N RODNEY PARHAM RD
AKRON, OH 44333	LITTLE ROCK, AR 72212
CONTACT: KEVIN CLEMENTS	CONTACT: TBD
PHONE: (216) 505-7771	PHONE: (833) 241-0100
SURVEYING FIRM:	POWER COMPANY:
GEOLINE SURVEYING, INC.	TRI-COUNTY EMC
13430 NW 104TH TERRACE, SUITE A	PO BOX 487
ALACHUA, FL 32615	GRAY, GA 31032
CONTACT: ZACK WALL	CONTACT: TBD
PHONE: (386) 418-0500	PHONE: (866) 254-8100

APPROVALS

LANDLORD	DATE
APC TOWERS	DATE



APC TOWERS SITE NAME
EATONTON

APC TOWERS SITE I.D. T-MOBILE SITE I.D.
GA-1968 9AT7222

E911 ADDRESS
TBD NAPIER RD
EATONTON, GA 31024

PROJECT TYPE
255' SELF-SUPPORT TOWER
PLAN ORIGINATION DATE
03/11/25

ZONING DRAWINGS

LOCATION MAP



DRIVING DIRECTIONS

FROM NEAREST CITY:
FROM ATLANTA, HEAD EAST ON I-20 E. AFTER 39.9 MILES, TAKE EXIT 98 FOR GA-11. AFTER 0.2 MILES, TURN RIGHT ONTO GA-11 S. AFTER 0.8 MILES, TAKE THE 2ND EXIT AT THE TRAFFIC CIRCLE TO STAY ON GA-11 S. AFTER 3.4 MILES, TURN LEFT ONTO GA-142 E. AFTER 23.7 MILES, TURN RIGHT ONTO LINCHBURG RD NW. AFTER 450 FT, CONTINUE ONTO BROWNS CHAPEL RD. AFTER 3.3 MILES, TURN RIGHT ONTO GLENWOOD SPRINGS RD. AFTER 450 FT, TURN LEFT ONTO FOLDS RD. AFTER 3.2 MILES, TURN RIGHT ONTO US-129 S. AFTER 2.8 MILES, TURN LEFT ONTO GA-212 E. AFTER 0.9 MILES, TURN LEFT ONTO TWIN BRIDGES RD SW. AFTER 1.7 MILES, SITE WILL BE ON THE RIGHT.

DRAWING INDEX

SHEET #	SHEET TITLE
T-1	TITLE SHEET
T-2	LEGEND
LS-1	LAND SURVEY
LS-2	LAND SURVEY
LS-3	LAND SURVEY
C-1	AERIAL SITE PLAN
C-2	OVERALL SITE PLAN
C-3	ENLARGED COMPOUND PLAN
C-4	TOWER ELEVATION
C-5	CONSTRUCTION DETAILS
C-6	SIGNAGE DETAILS
C-7	FENCE DETAILS
C-8	LANDSCAPE PLAN

PROJECT DESCRIPTION

- THE PROPOSED PROJECT INCLUDES:
- CONSTRUCT (1) 255' SELF-SUPPORT TOWER
 - CONSTRUCT FENCED GRAVEL UTILITY COMPOUND WITH LOCKING ACCESS GATE, 60' X 60' WITHIN 100' X 100' LEASE AREA
 - INSTALL (1) H-FRAME W/ UTILITY EQUIPMENT
 - INSTALL PROPOSED POWER & TELCO SERVICES
 - CONSTRUCT 12' WIDE GRAVEL ACCESS ROAD
 - INSTALL A VEGETATION BUFFER SURROUNDING COMPOUND

CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CODE TYPE	CODE
BUILDING/DWELLING	IBC 2018 WITH STATE AMENDMENTS
STRUCTURAL	ACI 318, 2014 WITH STATE AMENDMENTS
MECHANICAL	IMC 2018 WITH STATE AMENDMENTS
ELECTRICAL	NFPA 70, 2023
TIA	222-H-2016
WIND SPEED	110 MPH



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8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615



COA: PEF00379
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
PHONE: 216-505-7775
WWW.KIMLEY-HORN.COM

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SCALE:	AS SHOWN
DRAWN BY:	TAM
PLAN ORIG. DATE:	03/11/25

REVISIONS		
0	03/27/25	FOR ZONING
B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY
NO.	DATE	DESCRIPTION



PROJECT No.	KHCL-73760
SITE NAME:	EATONTON
SITE NUMBER:	GA-1968
SITE ADDRESS:	117 NAPIER RD EATONTON, GA 31024
FILE NAME:	GA-1968_9AT7222_ZDs_REVA.dwg

SHEET TITLE: TITLE SHEET	
DRAWING NO. T-1	REVISION: 0

RECEIVED MAY 07 2025

EXISTING LEGEND

	PROPERTY LINE
	EASEMENT LINE
	FENCE LINE
	FIBER LINE
	COMMUNICATION LINE
	GAS MAIN
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	CURB AND GUTTER
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	TREELINE
	SIGN
	FLARED END
	STORM MANHOLE
	STORM CATCHBASIN
	SANITARY SEWER MANHOLE
	CLEANOUT
	GAS METER
	POST INDICATOR VALVE
	VALVE
	WELL
	AUTOMATIC SPRINKLER
	HYDRANT
	ELECTRICAL MANHOLE
	COMMUNICATION MANHOLE
	AIR CONDITIONING UNIT
	ELECTRICAL METER
	GUY WIRE
	HAND HOLE
	CABLE BOX
	POWER POLE
	LIGHT POLE
	TREE
	DRAINAGE DIRECTION
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	AGGREGATE SURFACING

PROPOSED LEGEND

	PROPERTY LINE
	LEASE LINE
	LIMITS OF DISTURBENCE
	SETBACK LINE
	EASEMENT LINE
	FENCE LINE
	FIBER LINE
	GROUNDING LINE
	POWER LINE
	CURB AND GUTTER
	CONTOUR MAJOR
	CONTOUR MINOR
	RIDGELINE
	SWALE
	STORM SEWER
	SILT FENCE
	GUY WIRE
	FULL DEPTH SAWCUT
	REMOVE CURB AND GUTTER
	REMOVE UTILITY LINES
	FILL AND ABANDON UTILITY LINE
	SPOT ELEVATION
	HIGHPOINT ELEVATION
	LOWPOINT ELEVATION
	MATCH EXISTING
	EMERGENCY OVERFLOW ELEVATION
	DRAINAGE DIRECTION
	REMOVE TREE
	ROCK CONSTRUCTION ENTRANCE
	EROSION CONTROL BLANKET
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	AGGREGATE SURFACING
	REMOVE BITUMINOUS SURFACE
	REMOVE CONCRETE SURFACE
	REMOVE BUILDING
	CLEARING & GRUBBING



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A	03/11/25	PRELIMINARY
NO.	DATE	DESCRIPTION



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SITE NUMBER:	GA-1968
SITE ADDRESS:	117 NAPIER RD EATONTON, GA 31024
FILE NAME:	GA-1968_9AT7222_ZDs_REVA.dwg

SHEET TITLE:	LEGEND
--------------	--------

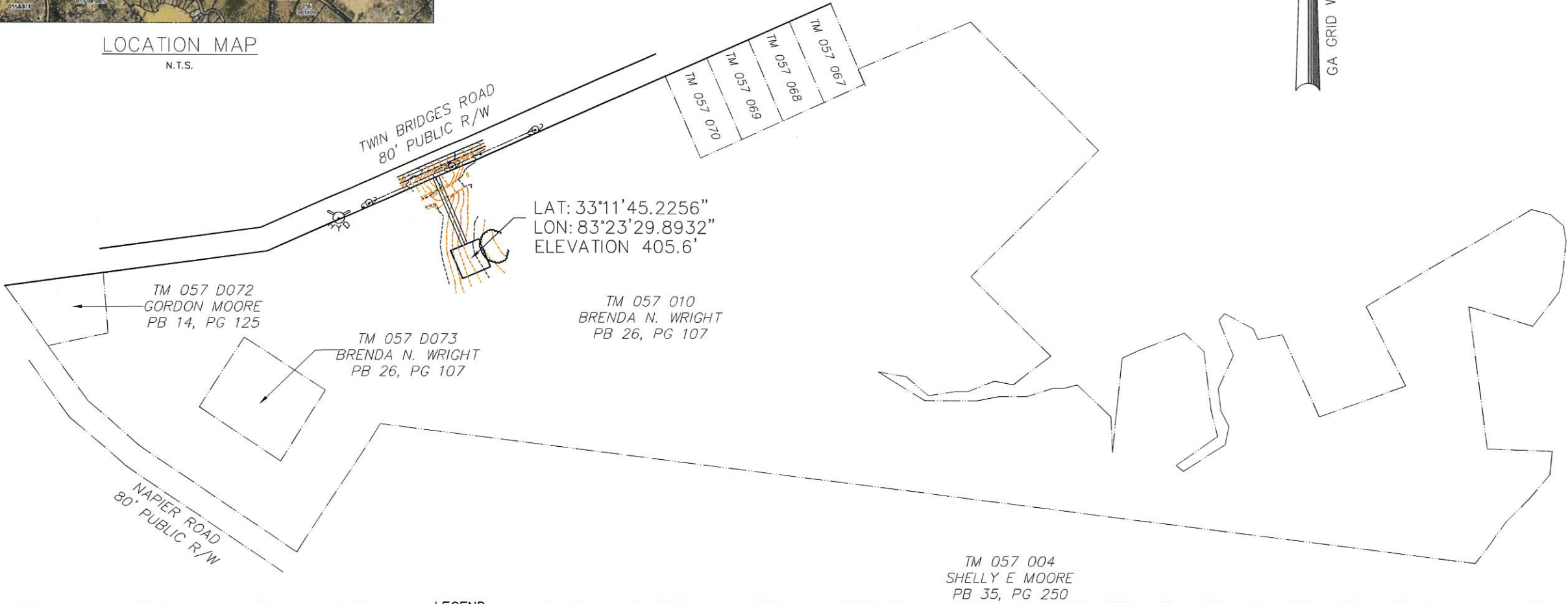
DRAWING NO.	T-2
REVISION:	0



LOCATION MAP
N.T.S.

NAD 83
Latitude: 33°11' 45.22" N.
Longitude: 83°23' 29.89" W.

Elevation at Ground: 405.6' Feet NAVD 88



- LEGEND**
- (---) : RECORD DESCRIPTION DATA.
 - C/L : CENTERLINE OF ROAD.
 - R/W : RIGHT OF WAY.
 - P.O.B. : POINT OF BEGINNING.
 - P.O.C. : POINT OF COMMENCEMENT.
 - X--- : FENCE AS NOTED.
 - OH--- : OVER HEAD UTILITY LINES.
 - ⊙ : WOOD UTILITY POLE.
 - ⊞ : ELECTRIC TRANSFORMER.
 - A&U : ACCESS & UTILITY

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000 FEET, AND AN ANGULAR ERROR OF 00-00-03 PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

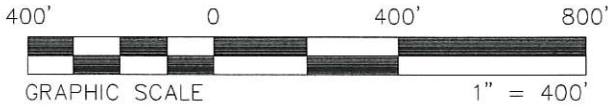
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 25,000+ FEET.

AREA TABLE		SQUARE FEET	ACRE
(A)	PARENT PARCEL	N/A	92.48
(B)	LESSEE LEASE	10,000	0.23
(C)	20' A&U EASEMENT	4847	0.11

RBS = #4 REBAR SET
RBF = #4 REBAR FOUND
IPF = IRON PIPE FOUND
OTPF = OPEN TOP PIPE FOUND

NOTE: THIS PROPERTY MAY ALSO BE SUBJECT TO EASEMENTS, SETBACKS, OR REGULATIONS NOT SHOWN ON THIS PLAT BUT WHICH MAY BE ON RECORD IN THE CLERK OF COURT'S OFFICE

FLOOD NOTE: NO PORTION OF THIS PROPERTY IS LOCATED IN A 100-YR. FLOOD PLAIN ACCORDING TO FEMA MAP NO. 13237C0250D, DATED 1/26/2023.



RAW LAND SURVEY
LAND LOT 125
314TH GMD

KIMLEY-HORN

SITE: TBD
SITE NUMBER GA-1968
ADDRESS: NAPIER ROAD
EATONTON, GA 31024
PUTNAM COUNTY

NATIONAL SURVEY SERVICES COORDINATION BY:

G E O L I N E
SURVEYING, INC.

13430 NW 104th Terrace, Suite A, Alachua, FL 32615
Office: (386) 418-0500 Fax: (386) 462-9986
WWW.GEOLINEINC.COM

SURVEY WORK PERFORMED BY:

William R. Gore

PROFESSIONAL LAND SURVEYORS, INC.
1804 CENTRAL AVE AUGUSTA, GEORGIA 30904
TEL: (706) 738-8771 FAX: (706) 736-6249

DRAWN BY: WRG CHECKED BY: WRG JOB #:

SURVEYOR'S NOTES

1. BASIS OF BEARING GRID NORTH
2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
4. ALL VISIBLE TOWER EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.
5. SYMBOLS DEPICTED NOT TO SCALE.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY

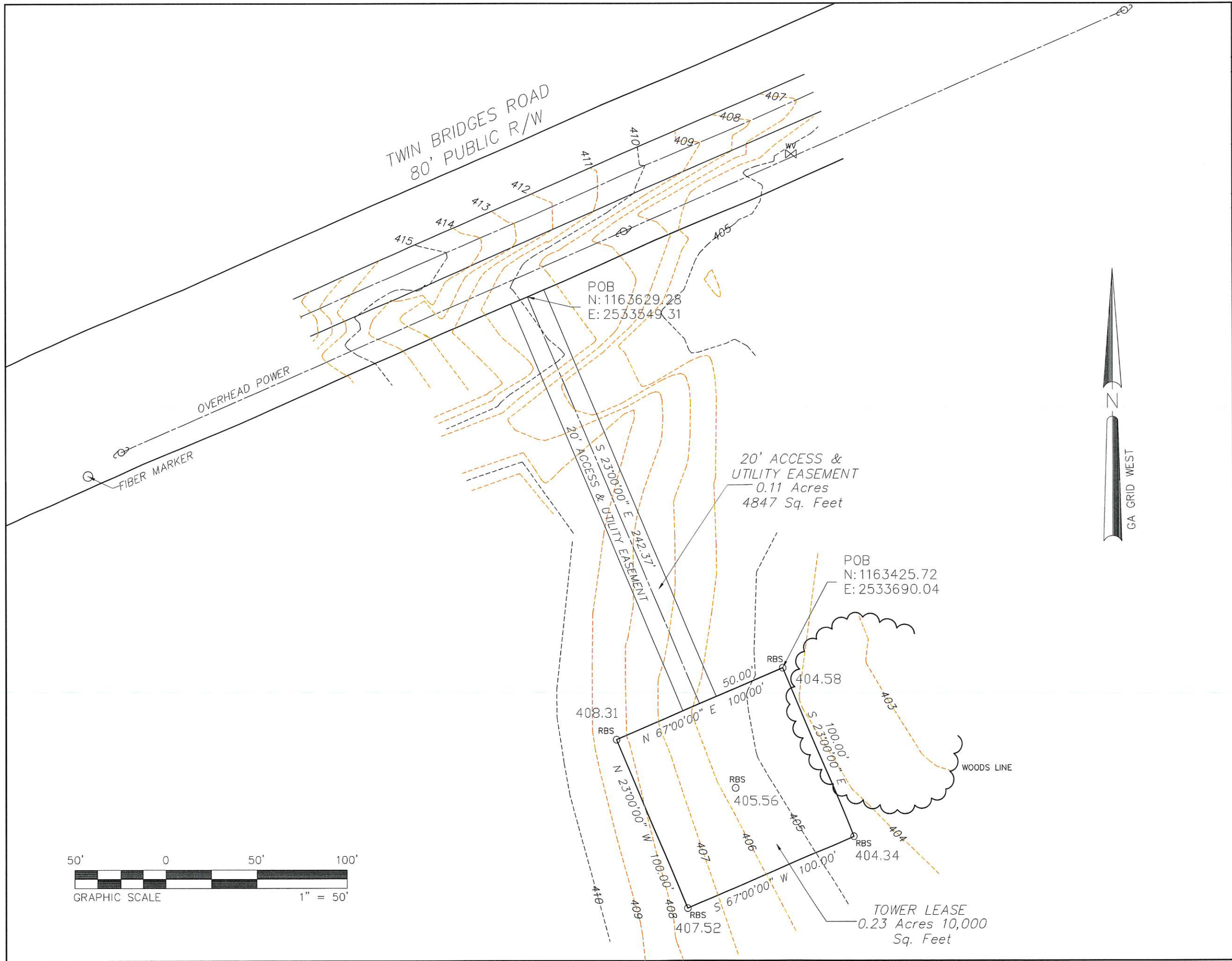
WILLIAM R. GORE PROFESSIONAL LAND SURVEYING

William R. Gore

WILLIAM R. GORE
LAND SURVEYOR - GA. 2502

Date: 02/02/2025





RAW LAND SURVEY LAND LOT 125 314TH GMD	
KIMLEY-HORN	
SITE: TBD SITE NUMBER GA-1968 ADDRESS: NAPIER ROAD EATONTON, GA 31024 PUTNAM COUNTY	
NATIONAL SURVEY SERVICES COORDINATION BY:	
GEOLINE SURVEYING, INC. 13430 NW 104th Terrace, Suite A, Alachua, FL 32615 Office: (386) 418-0500 Fax: (386) 462-9986 WWW.GEOLINEINC.COM	
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William R. Gore PROFESSIONAL LAND SURVEYORS, INC. 1804 CENTRAL AVE AUGUSTA, GEORGIA 30904 TEL: (706) 738-8771 FAX: (706) 736-6249	
DRAWN BY: WRG CHECKED BY: WRG JOB #:	
SURVEYOR'S NOTES 1. BASIS OF BEARING GRID NORTH 2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY. 3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL. 4. ALL VISIBLE TOWER EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA. 5. SYMBOLS DEPICTED NOT TO SCALE.	
SURVEYOR'S CERTIFICATION I HEREBY CERTIFY	
WILLIAM R. GORE PROFESSIONAL LAND SURVEYING <i>William R. Gore</i> WILLIAM R. GORE LAND SURVEYOR - GA. 2502 Date: 02/02/2025	
 WILLIAM R. GORE	
SHEET 2 OF 3	

LEGAL DESCRIPTION
TOWER LEASE

ALL THAT TRACT OR PARCEL OF LAND LYING, SITUATE, AND BEING IN LAND LOT 125, 314TH GMD, COUNTY OF PUTNAM STATE OF GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT A #4 REBAR SET, SAID REBAR HAVING GEORGIA STATE PLANE COORDINATES WEST ZONE OF NORTH 1163425.72' AND EAST 2533690.04', SAID REBAR BEING THE POINT OF BEGINNING.
THENCE S23°00'00"E 100.00' TO A #4 REBAR SET;
THENCE S67°00'00"W 100.00' TO A #4 REBAR SET;
THENCE N23°00'00"W 100.00' TO A #4 REBAR SET;
THENCE N67°00'00"E 100.00' TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 10,000 SF (0.23 ACRES)

LEGAL DESCRIPTION
20' ACCESS & UTILITY EASEMENT

ALL THAT TRACT OR PARCEL OF LAND LYING, SITUATE, AND BEING IN LAND LOT 125, 314TH GMD, COUNTY OF PUTNAM STATE OF GEORGIA, AND BEING 10' PARALLEL TO AND ON EITHER SIDE OF THE MORE PARTICULARLY DESCRIBED CENTERLINE AS FOLLOWS.

BEGINNING AT A POINT ON THE SOUTHERN RIGHT-OF-WAY OF TWIN BRIDGES ROAD, SAID POINT HAVING GEORGIA STATE PLANE COORDINATES WEST ZONE OF NORTH 1163629.28' AND EAST 2533549.31', SAID POINT BEING THE POINT OF BEGINNING.

THENCE S23°00'00"E 242.37' TO THE POINT OF TERMINUS.

SAID PARCEL CONTAINS 4,847 SF (0.11 ACRES)

EXHIBIT "A"

ALL OF THAT TRACT OR PARCEL OF LAND BEING A PORTION OF LOT 1-13, OF THE DIVISION OF THE NAPIER ESTATE, LOCATED IN LAND LOTS 124, 125, 138 & 139, IN THE 3RD LAND DISTRICT AND 314 G.M.D., OF PUTNAM COUNTY, GEORGIA, CONTAINING 96.8 ACRES, MORE OR LESS, BEING ALL OF TRACT "B" AS SHOWN ON THAT PLAT MADE FROM A SURVEY BY BYRON L. FARMER, GEORGIA REGISTERED SURVEYOR NO. 1679, DATED FEBRUARY 21, 2000, WHICH SAID PLAT IS HERETO ATTACHED TO THIS DEED AND MADE A PART HEREOF BY REFERENCE.

TAX ID: 057 010

BEING THE SAME PROPERTY CONVEYED TO BRENDAN. WRIGHT, GRANTEE, FROM RUTH B. NAPIER, GRANTOR, BY WARRANTY DEED RECORDED 07/1412000, IN BOOK 314, PAGE 32, OF THE PUTNAM COUNTY RECORDS.

SCHEDULE B II
COMMITMENT

EXCEPTIONS FROM COVERAGE
1-10 STANDARD EXCEPTIONS

II. SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, SET BACK LINES, EASEMENTS AND RIGHTS OF WAYS, IF ANY, SET FORTH ON THE PLAT, RECORDED 02104/1975, IN BOOK 7, PAGE 21, OF THE PUTNAM COUNTY RECORDS.

(GENERAL IN NATURE)

12. SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, SET BACK LINES, EASEMENTS AND RIGHTS OF WAYS, IF ANY, SET FORTH ON THE PLAT, RECORDED 09/07/1989, IN BOOK 17, PAGE 30, OF THE PUTNAM COUNTY RECORDS.

(GENERAL IN NATURE)

13. SUBJECT TO THE EASEMENT SET FORTH IN THE DEED, RECORDED 10/30/1989, IN BOOK 7W, PAGE 195, OF THE PUTNAM COUNTY RECORDS.

14. EASEMENT IN FAVOR OF THE TRI-COUNTY ELECTRIC MEMBERSHIP CORPORATION, RECORDED 07/03/1990, IN BOOK 4, PAGE 630, OF THE PUTNAM COUNTY RECORDS.

(BLANKET IN NATURE)

15. SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, SET BACK LINES, EASEMENTS AND RIGHTS OF WAYS, IF ANY, SET FORTH ON THE PLAT, RECORDED 07/14/2000, IN BOOK 26, PAGE 107, OF THE PUTNAM COUNTY RECORDS.

(GENERAL IN NATURE)

16. SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, SET BACK LINES, EASEMENTS AND RIGHTS OF WAYS, IF ANY, SET FORTH ON THE PLAT, RECORDED 12/17/2003, IN BOOK 28, PAGE 171, OF THE PUTNAM COUNTY RECORDS.

(GENERAL IN NATURE-DOES NOT APPEAR TO AFFECT SUBJECT TOWER LEASE OR ACCESS/UTILITY EASEMENT)

RAW LAND SURVEY

LAND LOT 125
314TH GMD

KIMLEY-HORN

SITE: TBD
SITE NUMBER GA-1968
ADDRESS: NAPIER ROAD
EATONTON, GA 31024
PUTNAM COUNTY

NATIONAL SURVEY SERVICES COORDINATION BY:

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TEL: (706) 738-8771 FAX: (706) 736-6249

DRAWN BY: WRG CHECKED BY: WRG JOB #:

SURVEYOR'S NOTES

1. BASIS OF BEARING GRID NORTH
2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
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5. SYMBOLS DEPICTED NOT TO SCALE.

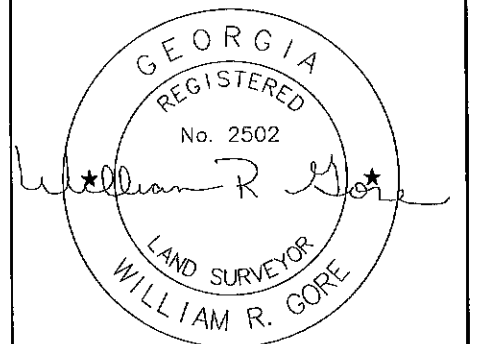
SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY

WILLIAM R. GORE PROFESSIONAL LAND SURVEYING

William R. Gore

WILLIAM R. GORE
LAND SURVEYOR - GA. 2502

Date: 02/02/2025





- NOTES:
1. TOWER LATITUDE, LONGITUDE, & ELEVATION MEET FAA "1-A" ACCURACY REQUIREMENTS.
 2. EXISTING FEATURES SHOWN HEREON ARE BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS. SEE LS SHEETS FOR SURVEY.
 3. THE CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND IMPROVEMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY RELOCATION OR REPAIR OF EXISTING IMPROVEMENTS DUE TO DAMAGE CAUSED DURING CONSTRUCTION.
 5. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS PROJECT.
 6. CONTRACTOR TO VERIFY POWER & TELCO DEMARCS WITH UTILITY PROVIDERS PRIOR TO BIDDING PROJECT.
 7. CONTRACTOR TO FILL ANY EXISTING GRAVEL AREAS THAT ARE DISTURBED DURING THE COURSE OF CONSTRUCTION, GRAVEL TO MATCH EXISTING
 8. CONTRACTOR TO ENSURE THAT NO DAMAGE OR DEBRIS OCCURS ON THE ADJACENT PROPERTIES
 9. CONTRACTOR SHALL SEED ALL DISTURBED AREAS WITH LOW MAINTENANCE NATIVE GRASS AND COVER WITH APPROVED STRAW
 10. CONTRACTOR SHALL PROVIDE ALL REQUIRED EROSION CONTROL TECHNIQUES AND BEST MANAGEMENT PRACTICES PER LOCAL AND STATE REQUIREMENTS AS APPLICABLE
 11. CONTRACTOR TO REMOVE EXISTING TREES AS NEEDED WITHIN THE PROPOSED LEASE AREA, INGRESS/EGRESS, AND UTILITY EASEMENT
 12. AT THE TIME THIS DRAWING WAS COMPLETED, KIMLEY-HORN AND ASSOCIATES DID NOT POSSESS A COPY OF THE TOWER/FOUNDATION DESIGN DRAWINGS. THE SIZES SHOWN ARE APPROXIMATE PENDING RECEIPT OF FINAL DESIGN DRAWINGS

FLOOD ZONE NOTE

THE HEREON DESCRIBED LEASE PARCEL AND EASEMENTS APPEARS TO LINE IN FLOOD ZONE X BASED ON THE FEDERAL EMERGENCY MANAGEMENT ACT FIRM, COMMUNITY PANEL MAP NUMBER 13237C0250D DATED JANUARY 26, 2023.

TOWER DATA		
PROPOSED 255' SELF-SUPPORT TOWER		
NAD 83		
LATITUDE:	33° 11' 45.22"	
LONGITUDE:	-83° 23' 29.89"	
GROUND ELEVATION:	405.6'	
TOWER SETBACKS		
PARENT TRACK	REQUIRED	PROVIDED
NORTH	255'	±293'
SOUTH	255'	±577'
EAST	255'	±835'
WEST	255'	±648'

1 AERIAL SITE PLAN

SCALE: 1" = 300'-0" (FULL SIZE)
1" = 600'-0" (11x17)



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DRAWN BY:	TAM
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B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY
NO.	DATE	DESCRIPTION



PROJECT No.
KHCL-73760

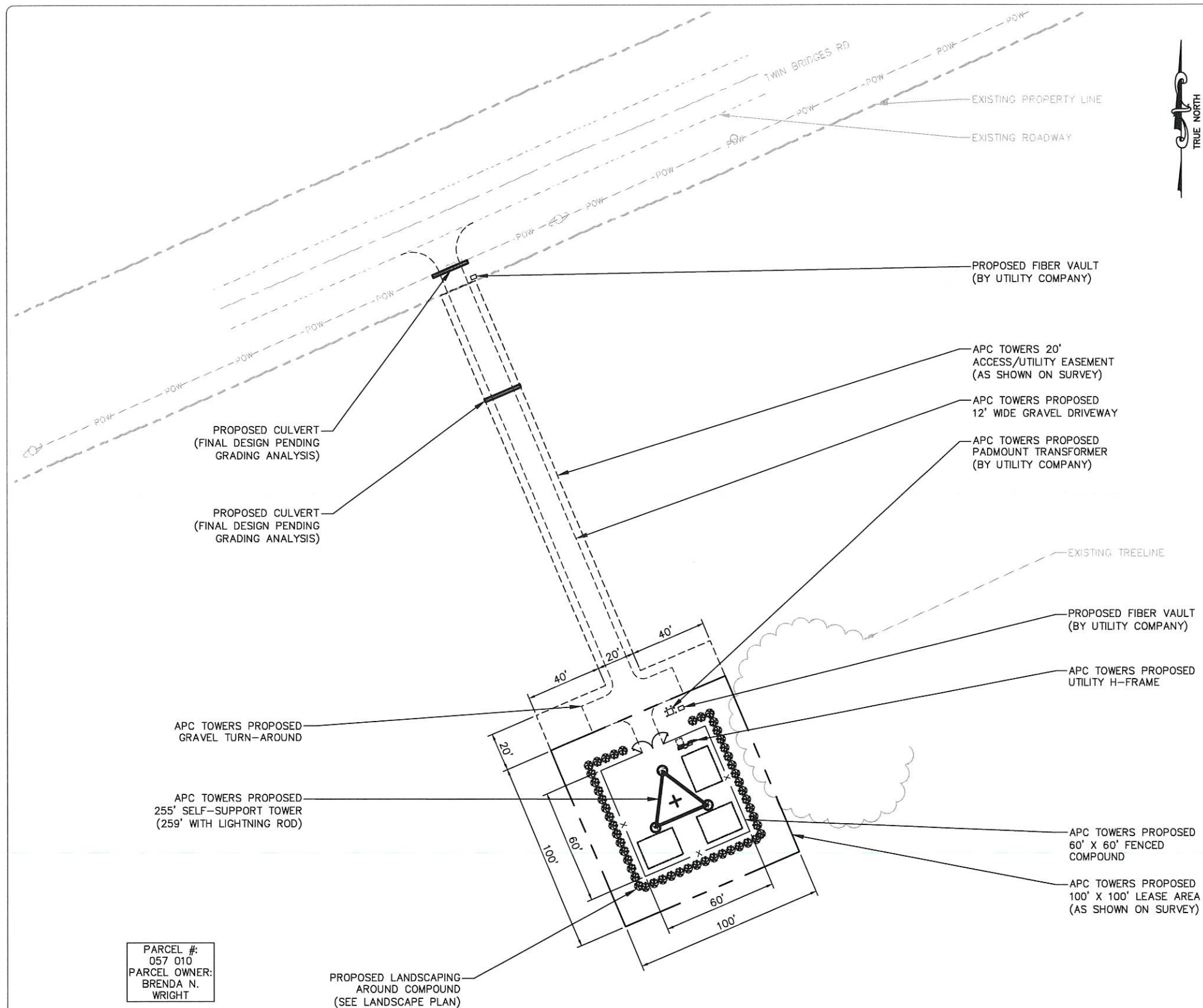
SITE NAME:
EATONTON

SITE NUMBER:
GA-1968

SITE ADDRESS:
117 NAPIER RD
EATONTON, GA 31024

FILE NAME:
GA-1968_9AT7222_ZDs_REVA.dwg

SHEET TITLE: AERIAL SITE PLAN	
DRAWING NO. C-1	REVISION: 0



1 OVERALL SITE PLAN
 SCALE: 1"=30'-0" (FULL SIZE)
 1"=60'-0" (11x17)

NOTES:

1. TOWER LATITUDE, LONGITUDE, & ELEVATION MEET FAA "1-A" ACCURACY REQUIREMENTS.
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12. AT THE TIME THIS DRAWING WAS COMPLETED, KIMLEY-HORN AND ASSOCIATES DID NOT POSSESS A COPY OF THE TOWER/FOUNDATION DESIGN DRAWINGS. THE SIZES SHOWN ARE APPROXIMATE PENDING RECEIPT OF FINAL DESIGN DRAWINGS.

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PROPOSED 255' SELF-SUPPORT TOWER

NAD 83
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 LONGITUDE: -83° 23' 29.89"
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APC Towers

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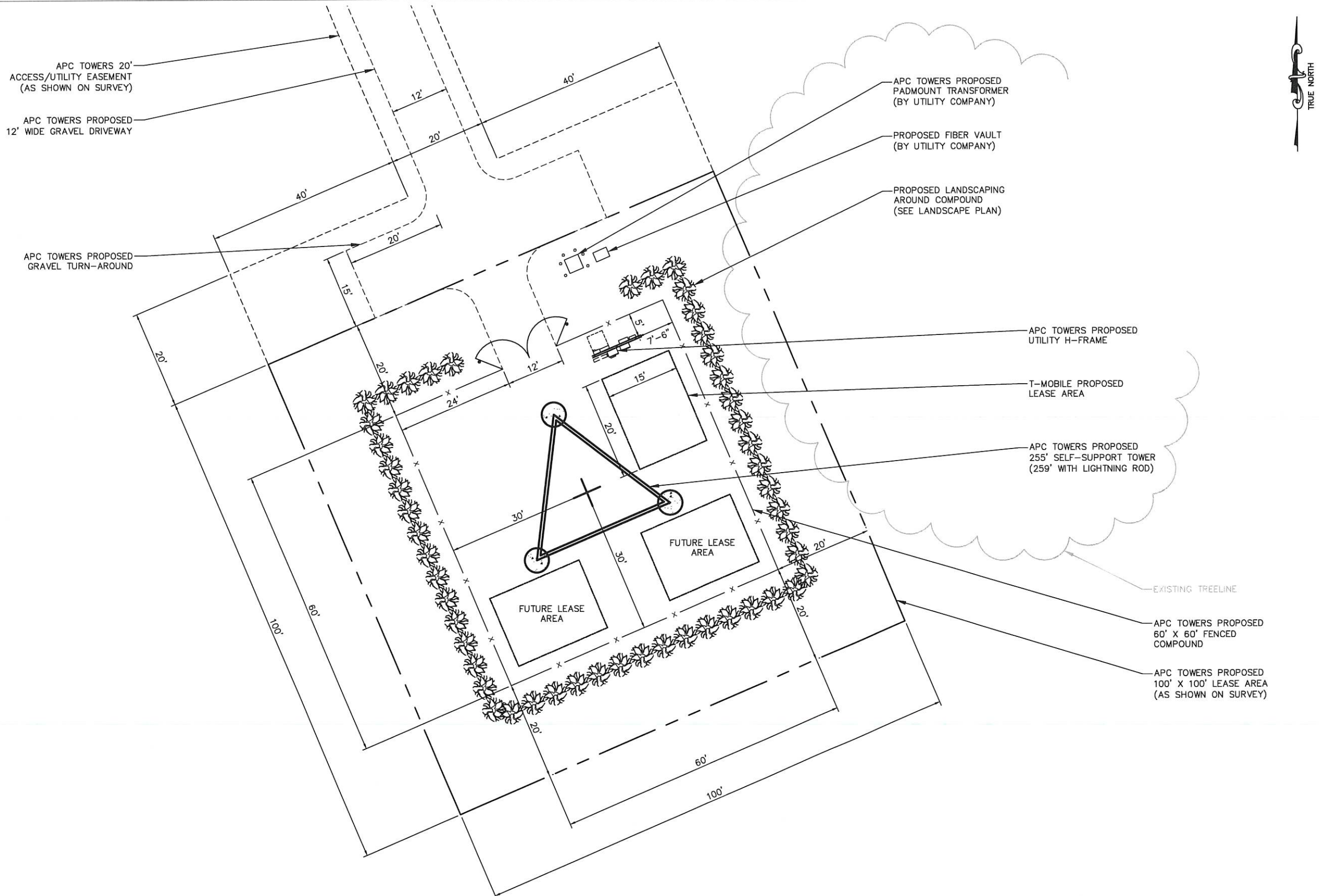
SHEET TITLE:
OVERALL SITE PLAN

DRAWING NO.	REVISION:
C-2	0



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RALEIGH, NC 27615



COA: PEF00379
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
PHONE: 216-505-7775
WWW.KIMLEY-HORN.COM

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SCALE:	AS SHOWN
DRAWN BY:	TAM
PLAN ORIG. DATE:	03/11/25

REVISIONS		
0	03/27/25	FOR ZONING
B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY
NO.	DATE	DESCRIPTION



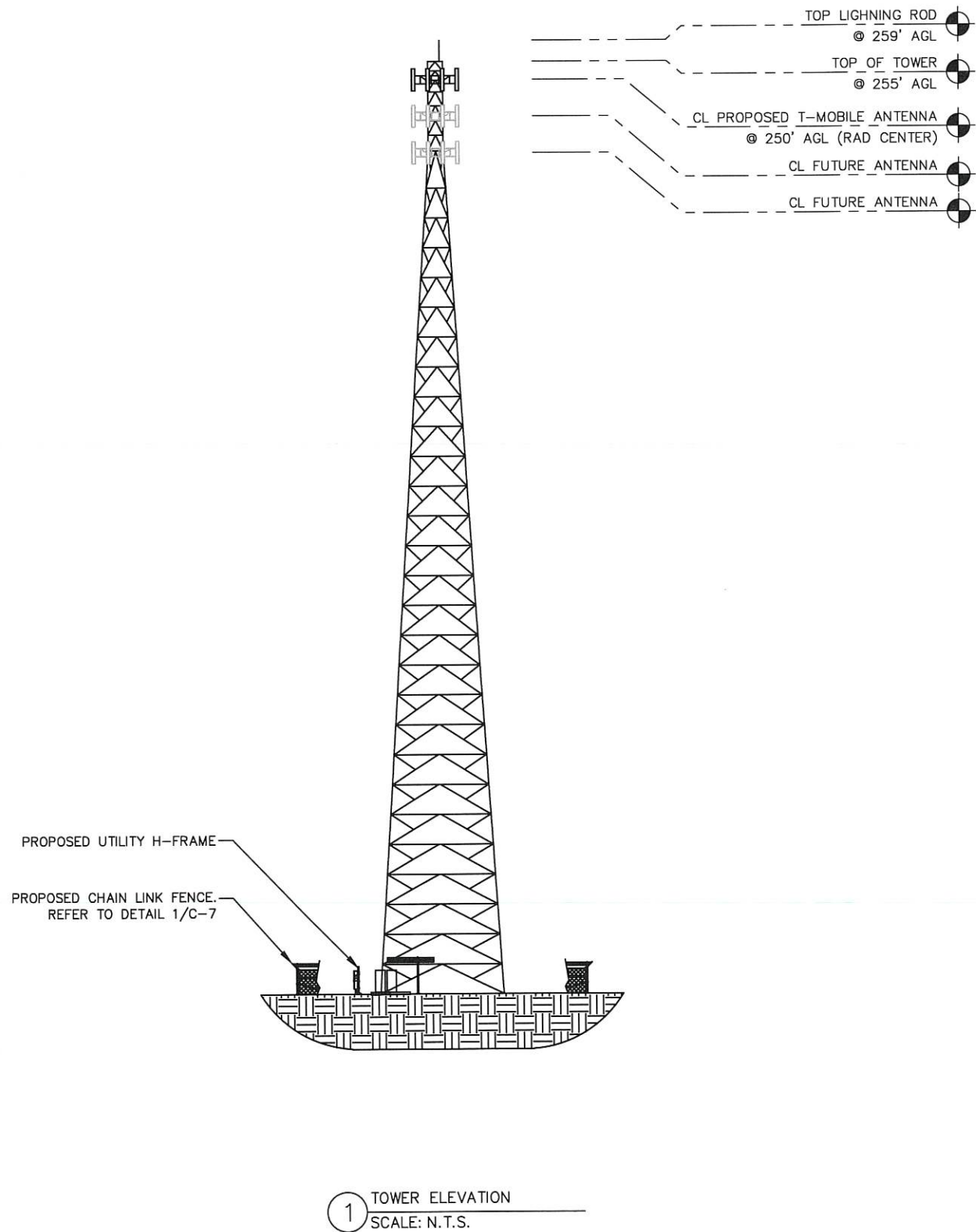
PROJECT No.	KHCL-73760
SITE NAME:	EATONTON
SITE NUMBER:	GA-1968
SITE ADDRESS:	117 NAPIER RD EATONTON, GA 31024
FILE NAME:	GA-1968_9AT7222_ZDs_REVA.dwg

SHEET TITLE:	ENLARGED COMPOUND PLAN
--------------	------------------------

DRAWING NO.	REVISION:
C-3	0

1 ENLARGED SITE PLAN
SCALE: 1"=10'-0" (FULL SIZE)
1"=20'-0" (11x17)

CALL GEORGIA ONE CALL
(800) 282-7411
CALL 3 WORKING DAYS
BEFORE YOU DIG!



- NOTES:
1. THESE DRAWINGS SHALL NOT BE RELIED UPON AS AN INDICATION THAT THE TOWER STRUCTURE, ITS COMPONENTS, AND ITS FOUNDATION HAVE ADEQUATE STRUCTURAL CAPACITY TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, MOUNTS, EQUIPMENT, AND COAXIAL CABLES. KIMLEY-HORN HAS NOT PERFORMED A STRUCTURAL ANALYSIS ON THE TOWER, FOUNDATION, ANTENNA MOUNT, AND ALL ITS COMPONENTS. IT IS THE RESPONSIBILITY OF THE OWNER TO HAVE A STRUCTURAL ANALYSIS PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS PRIOR TO THE INSTALLATION OF ANY PROPOSED EQUIPMENT, COAXIAL CABLES, ANTENNAS, OR APPURTENANCES ON THE TOWER. THIS STRUCTURAL ANALYSIS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 2. IF ANY WORK IS PERFORMED AT THIS SITE THAT REQUIRES THE SITE TO BE OFF AIR OR TURNED DOWN, THE SWITCH IS TO BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION VIA NCR/CTS.
 3. INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES, AND SUPPORT STRUCTURES. ANTENNA WORK TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWER MANUFACTURER'S SPECIFICATION.
 4. ANTENNA AND MOUNT DESIGN MUST COMPLY WITH TIA-EIA-222-G AND ALL LOCAL CODES.
 5. CONTRACTOR TO PROVIDE THE PROPER COAX JUMPER SUPPORT ATTACHMENTS TO THE TOWER AND ANTENNA MOUNT.



8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615



COA: PEF00379
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
PHONE: 216-505-7775
WWW.KIMLEY-HORN.COM

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SCALE:	AS SHOWN
DRAWN BY:	TAM
PLAN ORIG. DATE:	03/11/25

REVISIONS		
0	03/27/25	FOR ZONING
B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY
NO.	DATE	DESCRIPTION



PROJECT No.
KHCLE-73760

SITE NAME:
EATONTON

SITE NUMBER:
GA-1968

SITE ADDRESS:
117 NAPIER RD
EATONTON, GA 31024

FILE NAME:
GA-1968_9AT7222_ZDs_REVA.dwg

SHEET TITLE:
TOWER ELEVATION

DRAWING NO.
C-4

REVISION:
0

APC Towers

8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615

Kimley»Horn

COA: PEF00379
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
PHONE: 216-505-7775
WWW.KIMLEY-HORN.COM

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SCALE: AS SHOWN

DRAWN BY: TAM

PLAN ORIG. DATE: 03/11/25

REVISIONS

NO.	DATE	DESCRIPTION
0	03/27/25	FOR ZONING
B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY



PROJECT No.
KHCL-73760

SITE NAME:
EATONTON

SITE NUMBER:
GA-1968

SITE ADDRESS:
117 NAPIER RD
EATONTON, GA 31024

FILE NAME:
GA-1968_9AT7222_ZDs_REVA.dwg

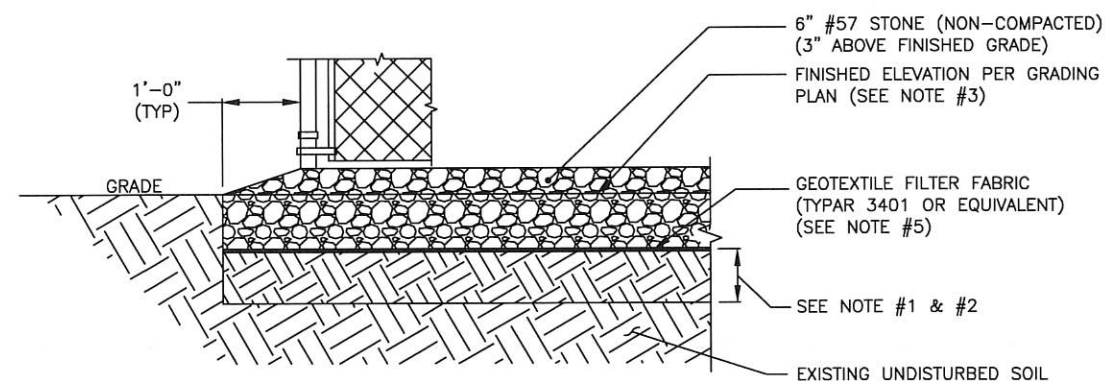
SHEET TITLE:
CONSTRUCTION DETAILS

DRAWING NO.

C-5

REVISION:

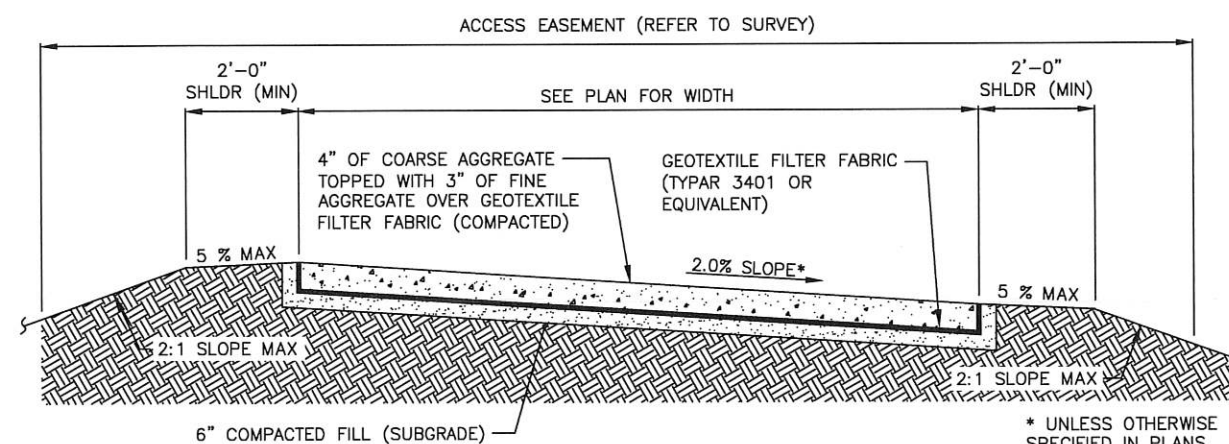
0



COMPOUND SECTION NOTES:

- EXCAVATE TOP 4" OF SOIL. CLEAR & GRUB 6" BELOW EXCAVATED 4". PROOF ROLL TO DETERMINE SUITABILITY & REPLACE AS REQUIRED W/ STRUCTURAL FILL. COMPACT TO 95% OF MAXIMUM DENSITY, AS DETERMINED PER ASTM D1557, TO A MINIMUM DEPTH OF 6".
- DEPTH OF FILL TO BE ADJUSTED AS REQUIRED TO MEET FINAL ELEVATION SHOWN ON GRADING PLAN. STRUCTURAL FILL SHALL BE GRANULAR FREE-DRAINING MATERIAL FREE OF DEBRIS, ORGANICS, REFUSE AND OTHERWISE DELETERIOUS MATERIALS. MATERIAL SHALL BE PLACED IN LIFTS NO GREATER THAN 12" IN DEPTH AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED PER ASTM D1557.
- INSTALL 4" OF 3/4" CRUSHER RUN. COMPACT TO 95% OF MAXIMUM DENSITY AS DETERMINED PER ASTM D1557. TOP OF CRUSHER RUN CONSIDERED FINISH GRADE AND IS TO BE SLOPED PER GRADING PLAN.
- PRIOR TO LAYING THE FABRIC & STONE, THE COMPOUND SHOULD BE STERILIZED WITH ENVIRONMENTALLY SAFE WEED KILLER, AND TREATED WITH ENVIRONMENTALLY SAFE HERBICIDE.
- LAY GEOTEXTILE FABRIC OVER COMPACTED SOIL AND LAP ALL JOINTS A MINIMUM OF 12 INCHES.
- SITE WILL BE GRADED TO ALLOW DRAINAGE AWAY FROM TOWER AND SHELTER.
- AFTER PROJECT COMPLETION ALL DISTURBED AREAS OUTSIDE OF COMPOUND MUST BE SEEDED WITH LOW MAINTENANCE GRASS.

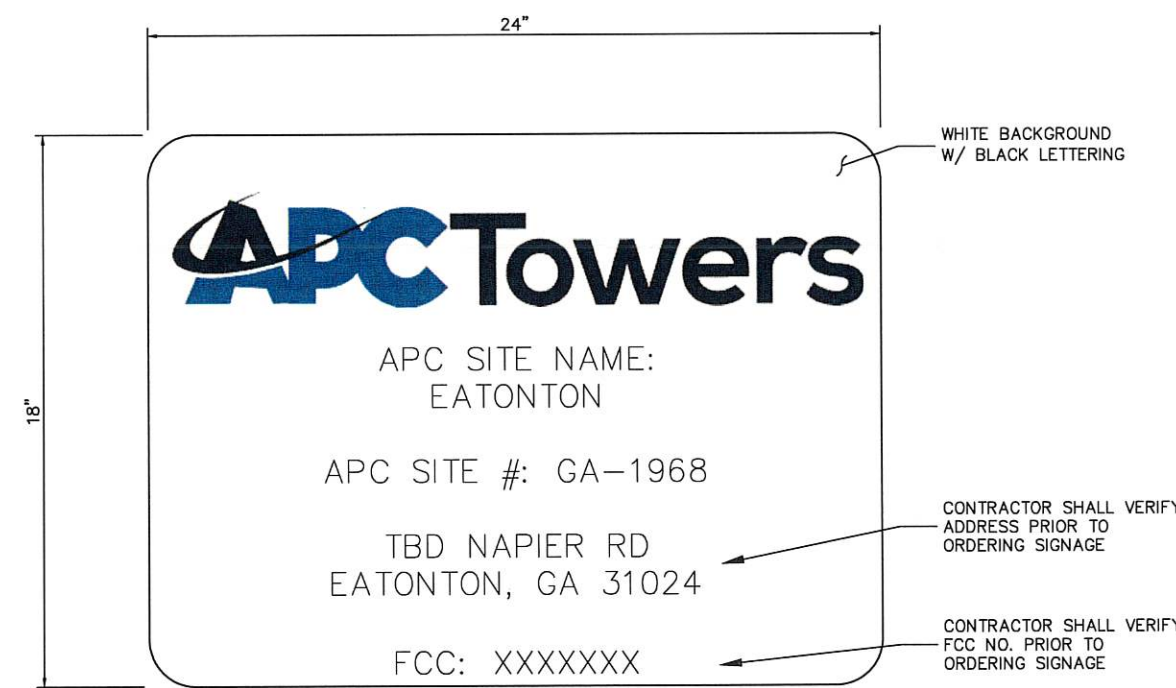
1 COMPOUND SECTION DETAIL
SCALE: N.T.S.



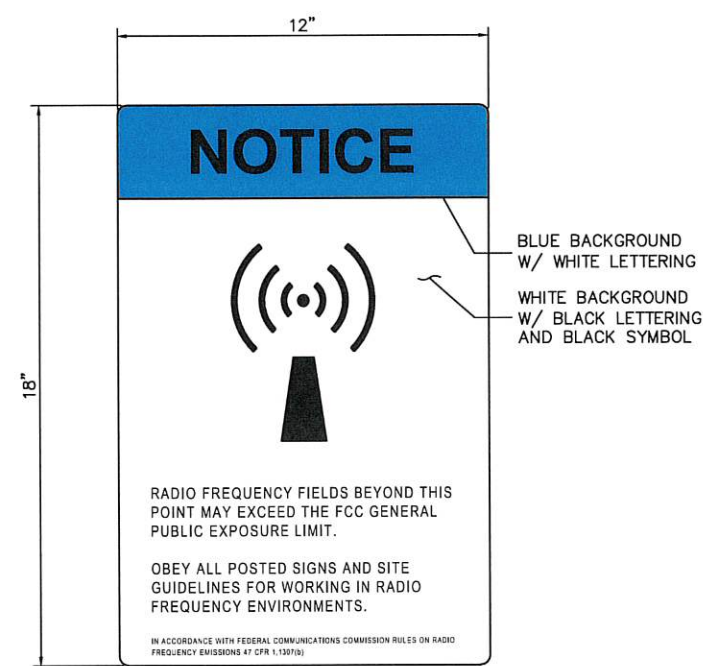
NOTES:

- COMPACTED FILL (SUBGRADE) SHALL BE COMPACTED 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
- PRIOR TO LAYING THE STONE THE ACCESS ROADWAY SHOULD BE CLEARED OF ALL ORGANIC MATTER, STERILIZED WITH ENVIRONMENTALLY SAFE WEED KILLER, AND TREATED WITH ENVIRONMENTALLY SAFE HERBICIDE.
- A MINIMUM TURNING RADIUS OF THE ACCESS ROAD SHALL BE 55 DEGREES FOR THE SHELTER DELIVERY.
- THE MAXIMUM LONGITUDINAL SLOPE OF THE ACCESS ROAD SHALL NOT EXCEED 10%.
- CONTRACTOR, AT MINIMUM, MUST REMOVE OR TRIM ALL TREES THAT ARE WITHIN 3' OF THE ACCESS ROAD ON BOTH SIDES.

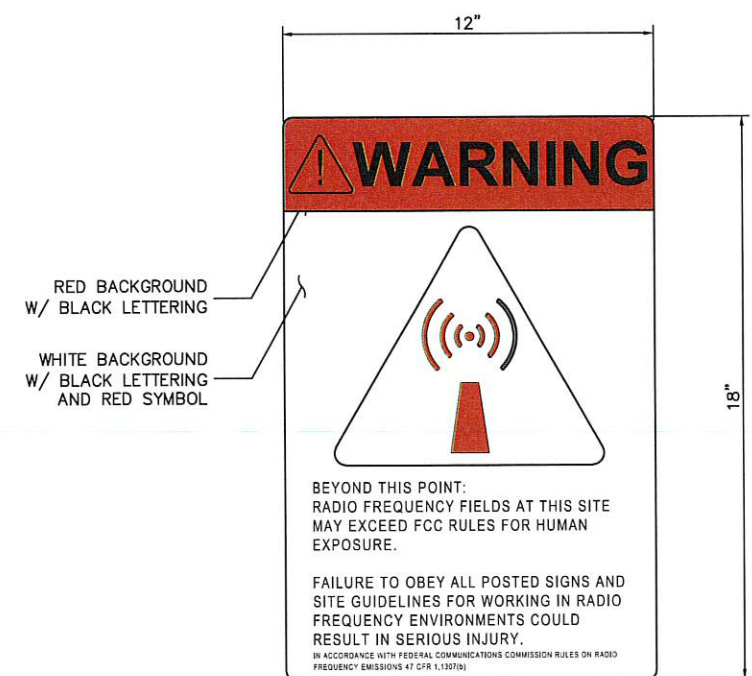
2 ROAD SECTION DETAIL
SCALE: N.T.S.



1 IDENTIFICATION SIGN
SCALE: N.T.S.



2 RFE NOTICE SIGN
SCALE: N.T.S.



3 RFE WARNING SIGN
SCALE: N.T.S.



8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615



COA: PEF00379
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
PHONE: 216-505-7775
WWW.KIMLEY-HORN.COM

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OTHER THAN THAT WHICH RELATES
TO THE CLIENT IS STRICTLY PROHIBITED.

SCALE:	AS SHOWN
DRAWN BY:	TAM
PLAN ORIG. DATE:	03/11/25

REVISIONS		
0	03/27/25	FOR ZONING
B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY
NO.	DATE	DESCRIPTION



PROJECT No.	KHCLE-73760
SITE NAME:	EATONTON
SITE NUMBER:	GA-1968
SITE ADDRESS:	117 NAPIER RD EATONTON, GA 31024
FILE NAME:	GA-1968_9AT7222_ZDs_REVA.dwg

SHEET TITLE:	SIGNAGE DETAILS
--------------	------------------------

DRAWING NO.	REVISION:
C-6	0



8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615



COA: PEF00379
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
PHONE: 216-505-7775
WWW.KIMLEY-HORN.COM

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SCALE: AS SHOWN

DRAWN BY: TAM

PLAN ORIG. DATE: 03/11/25

REVISIONS

NO.	DATE	DESCRIPTION
0	03/27/25	FOR ZONING
B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY



PROJECT No. KHCL-73760

SITE NAME: EATONTON

SITE NUMBER: GA-1968

SITE ADDRESS:
117 NAPIER RD
EATONTON, GA 31024

FILE NAME:
GA-1968_9AT7222_ZDs_REVA.dwg

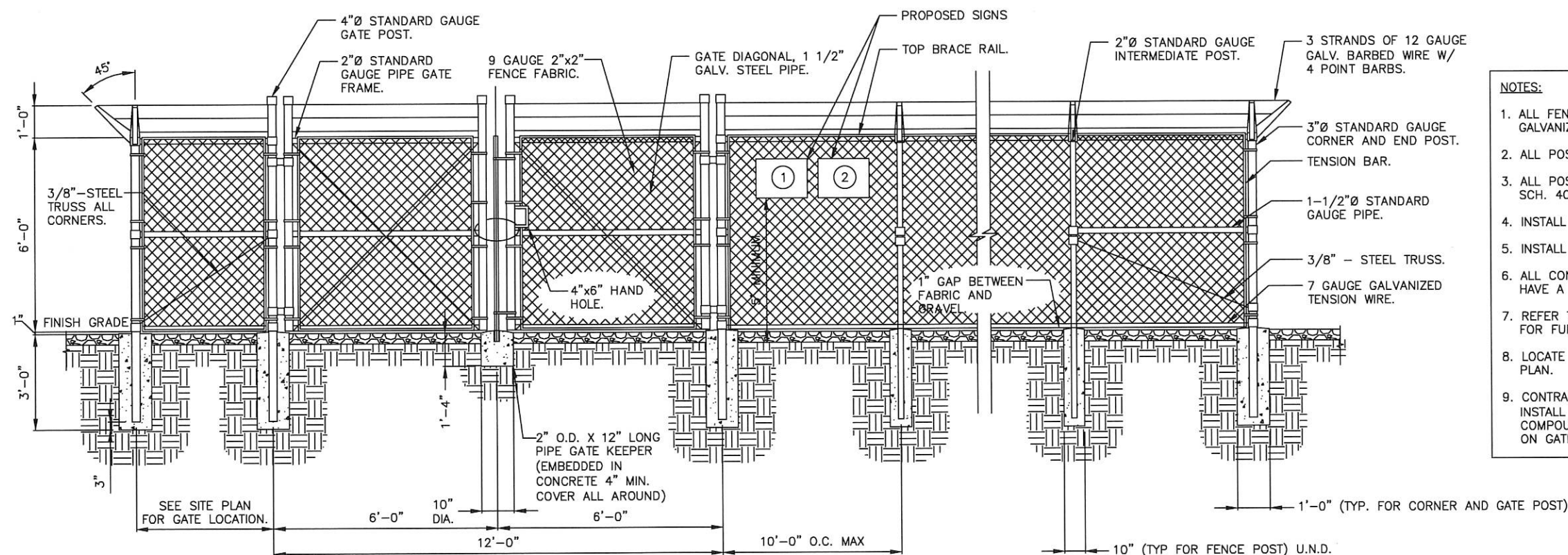
SHEET TITLE:
FENCE DETAILS

DRAWING NO.

C-7

REVISION:

0



NOTES:

1. ALL FENCING MATERIAL MUST BE GALVANIZED.
2. ALL POSTS MUST HAVE STEEL CAPS.
3. ALL POSTS AND BRACING MUST BE SCH. 40
4. INSTALL FENCING PER ASTM F-567
5. INSTALL GATES PER ASTM F-900
6. ALL CONCRETE FOUNDATIONS TO HAVE A MINIMUM OF 4000 PSI.
7. REFER TO FENCE SPECIFICATIONS FOR FURTHER INFORMATION.
8. LOCATE FENCE AS SHOWN ON SITE PLAN.
9. CONTRACTOR TO PROVIDE AND INSTALL "STYMIE LOCK" ON COMPOUND GATE, WORK WITH CLIENT ON GATE COMBO.

1 CHAIN LINK FENCE DETAIL
SCALE: N.T.S.

APC TOWERS PROPOSED
12' WIDE GRAVEL DRIVEWAY

APC TOWERS PROPOSED
GRAVEL TURN-AROUND

APC TOWERS PROPOSED
255' SELF-SUPPORT TOWER
(259' WITH LIGHTNING ROD)

PROPOSED CONTINUOUS
EVERGREEN LANDSCAPE
BUFFER. BUFFER TO BE
MINIMUM 6' TALL AT
TIME OF PLANTING.


APC TOWERS PROPOSED
100' X 100' LEASE AREA
(AS SHOWN ON SURVEY)

APC TOWERS PROPOSED
60' X 60' FENCED
COMPOUND


- NOTES:**
1. EXISTING VEGETATION SHALL BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE.
 2. VEGETATION SHALL BE MAINTAINED IN A HEALTHY STATE AND VEGETATION THAT PERISHES OR FAILS TO THRIVE SHALL BE REPLACED.

- PUTNAM COUNTY NOTES:**
1. LANDSCAPE BUFFER SHALL CONSIST OF EVERGREEN MATERIAL THAT IS AT LEAST 6' IN HEIGHT.
 2. LANDSCAPE BUFFER SHALL BE XERISCAPE TOLERANT OR IRRIGATED.

1 LANDSCAPE PLAN
SCALE: 1"=10'-0" (FULL SIZE)
1"=20'-0" (11x17)



CALL GEORGIA ONE CALL
(800) 282-7411
CALL 3 WORKING DAYS
BEFORE YOU DIG!





8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615



COA: PEF00379
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
PHONE: 216-505-7775
WWW.KIMLEY-HORN.COM

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DRAWN BY:	TAM
PLAN ORIG. DATE:	03/11/25

REVISIONS		
0	03/27/25	FOR ZONING
B	03/20/25	PRELIMINARY
A	03/11/25	PRELIMINARY
NO.	DATE	DESCRIPTION



PROJECT No.
KHCL-73760

SITE NAME:
EATONTON

SITE NUMBER:
GA-1968

SITE ADDRESS:
117 NAPIER RD
EATONTON, GA 31024

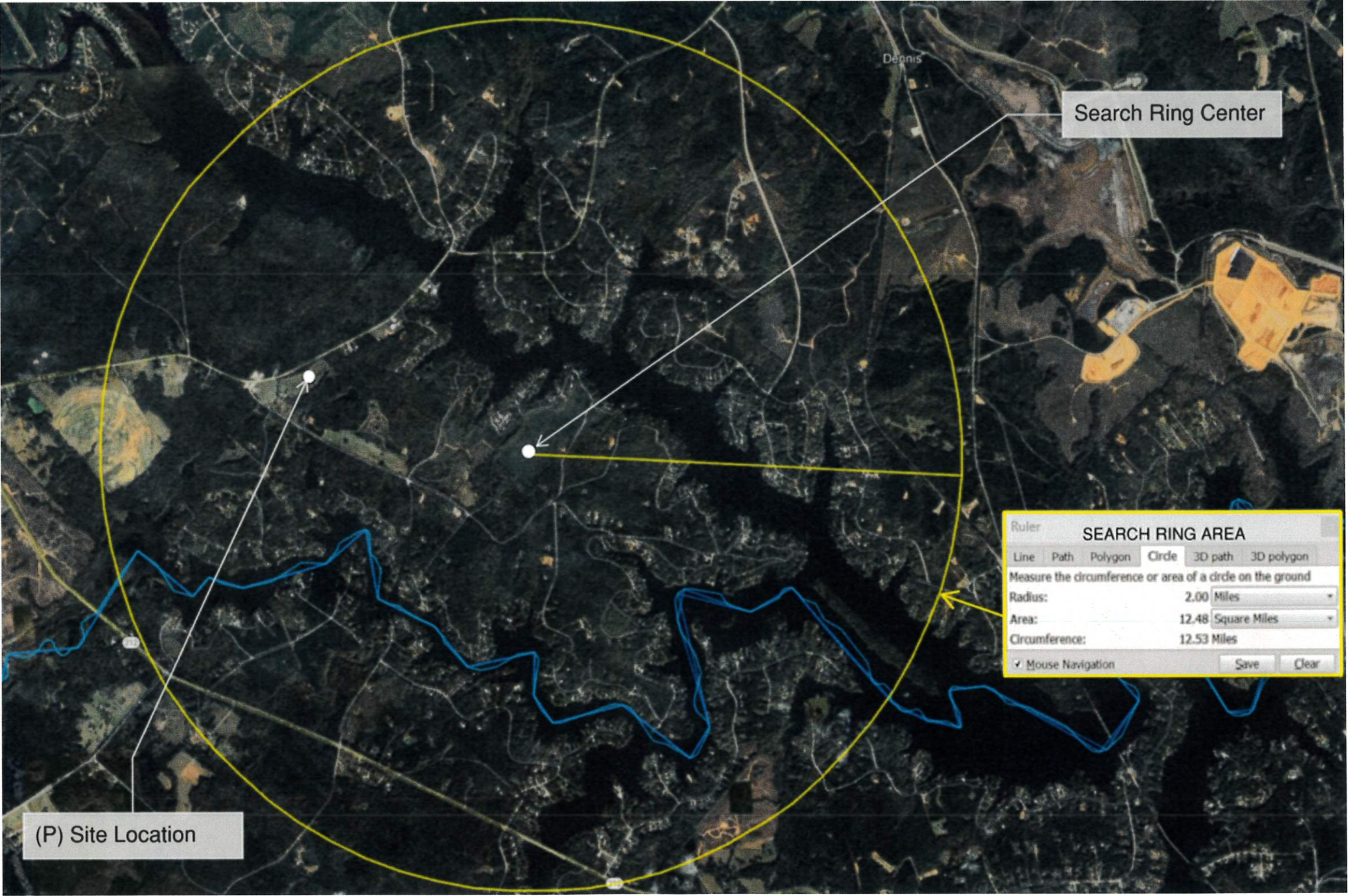
FILE NAME:
GA-1968_9AT7222_ZDs_REVA.dwg

SHEET TITLE:
LANDSCAPE PLAN

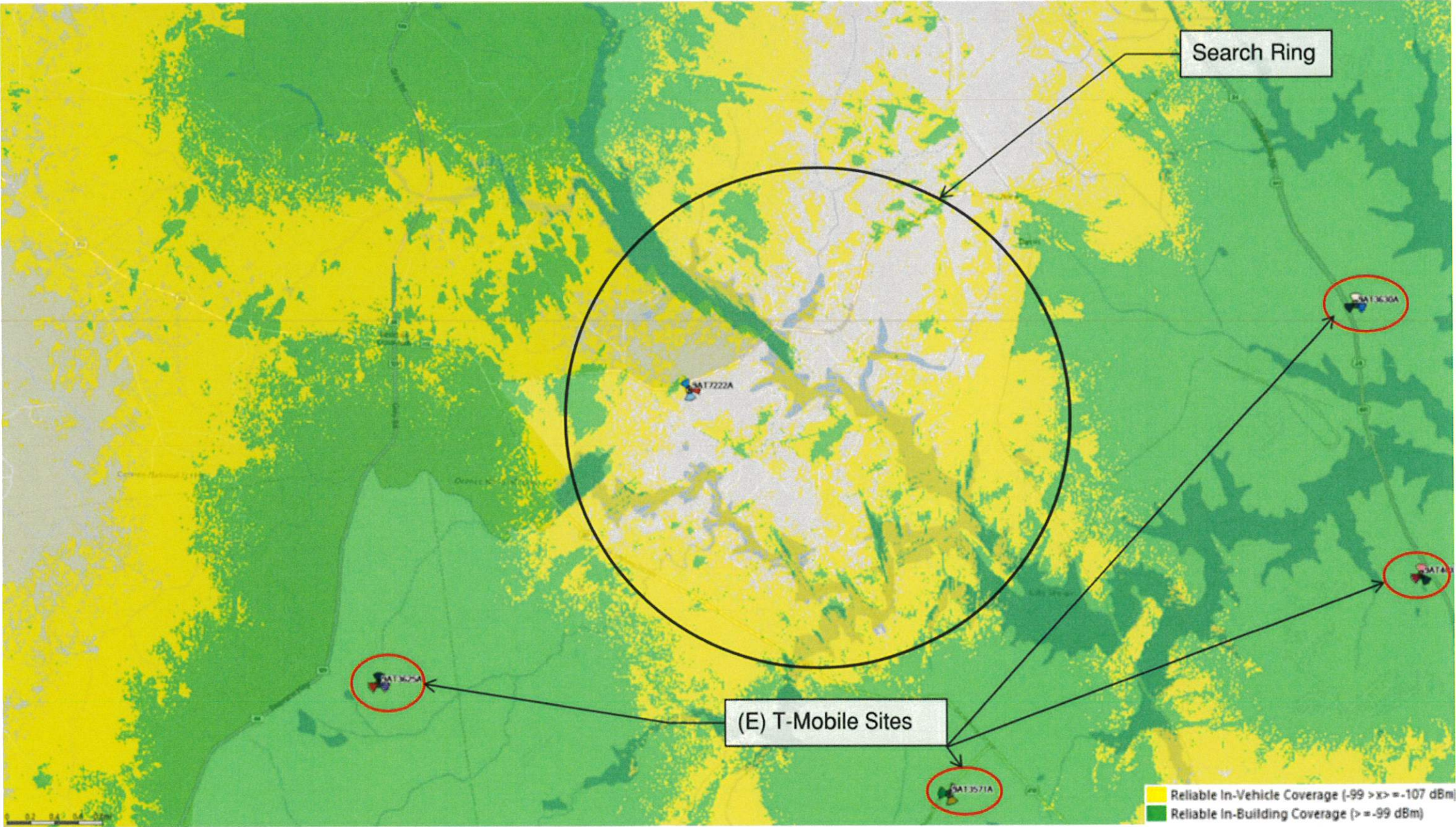
DRAWING NO. C-8	REVISION: 0
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EXHIBIT A

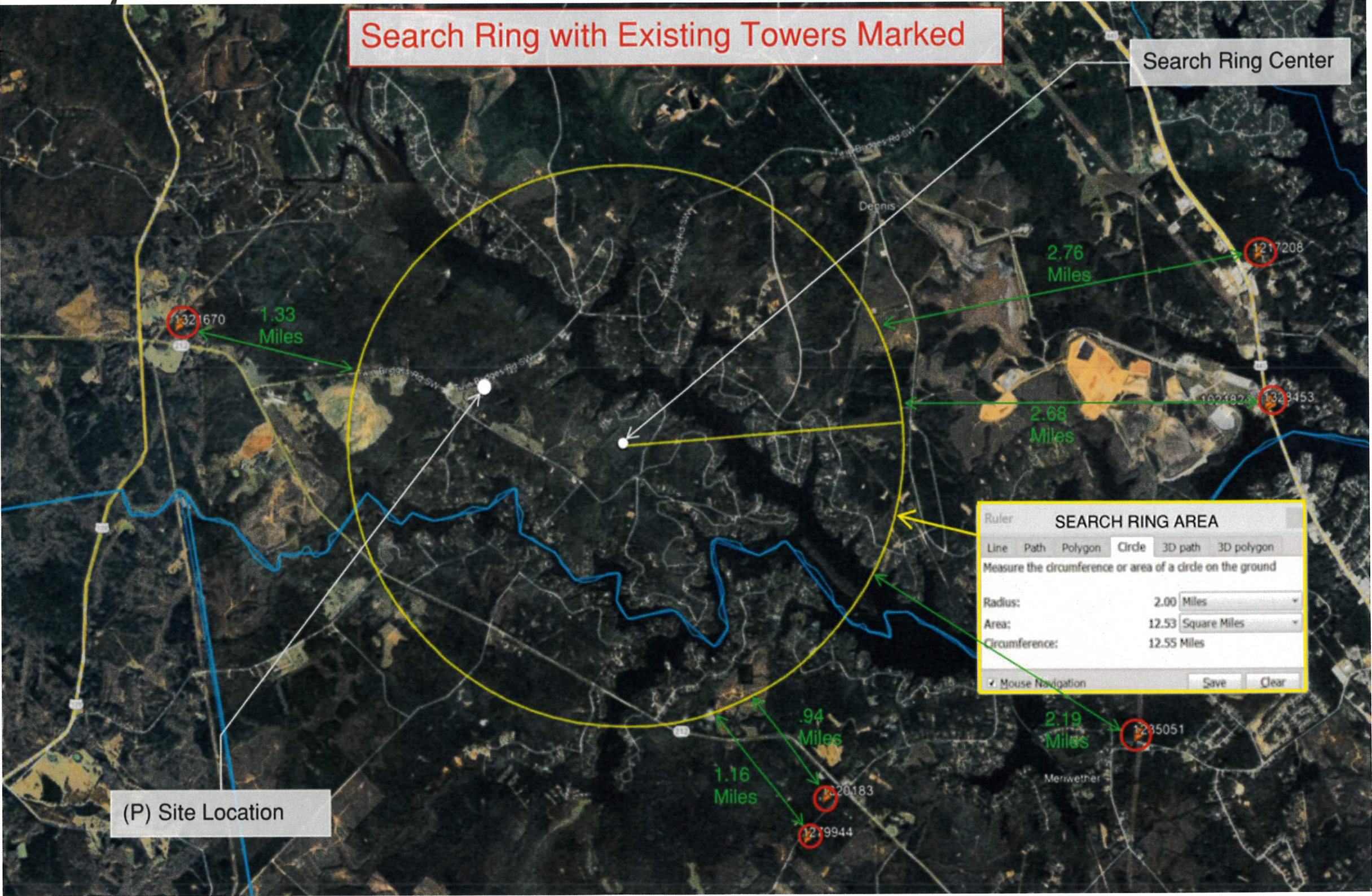
As Required in Sections 58-5(4) & 58-6(13)



4G Voice Service without the Proposed Site
MID BAND (700 MHZ) LTE COVERAGE MAP (RSRP)



Kimley»Horn



4G Voice Service with the Proposed Site @ 250' AGL
MID BAND (700 MHZ) LTE COVERAGE MAP (RSRP)

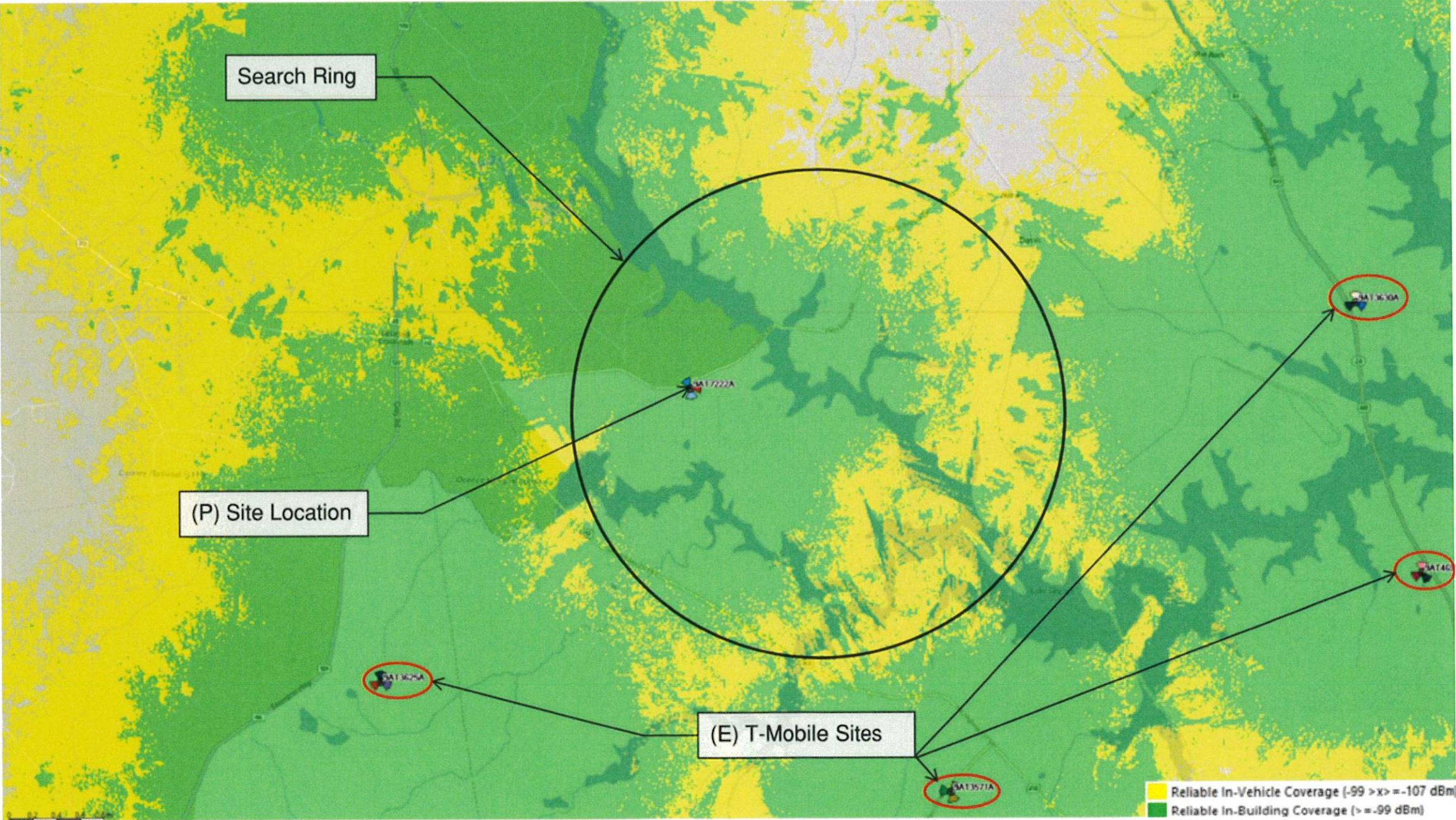
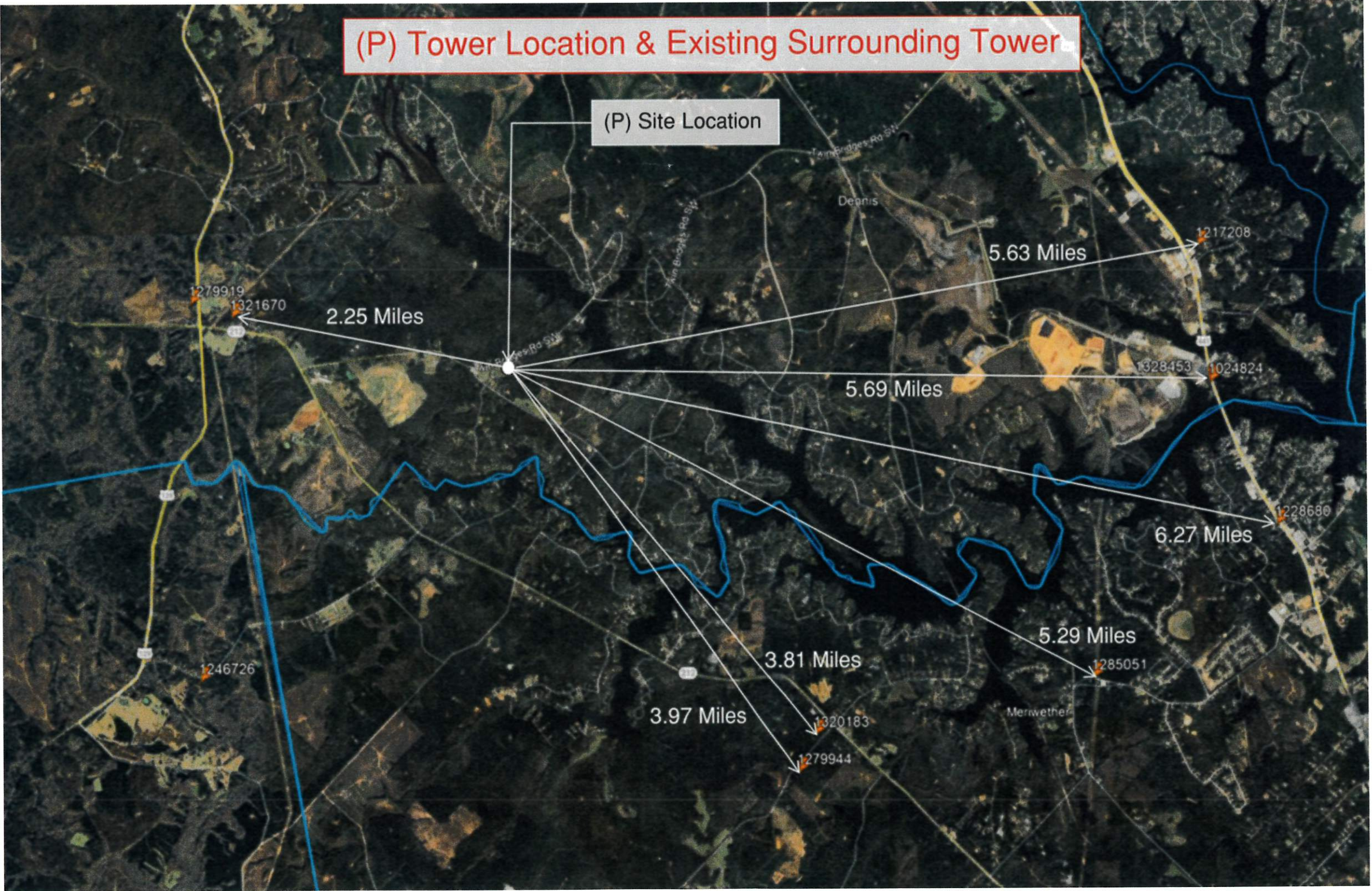


EXHIBIT B

As Required in Sections 58-4(d)



June 29, 2025

Lisa Jackson
Putnam County Planning and Development
Director of Planning & Development
117 Putnam Drive, Suite B
Eatonton, Georgia 31024

Re: Notification of Proposed Balloon Test
Parcel ID 057010 / 117 Napier Road, Eatonton, Georgia, Putnam County

Dear Director Jackson:

My name is Michael Gould. I worked with you on another tower project many years ago when I was with Retel Engineering and was happy to see that you are still the director of planning in Putnam County!

The attached letter has been sent to all property owners within 1,200 feet of APC Tower's proposed 255ft. self-support lattice tower on Napier Road. I am sending you a copy as a courtesy. USPS certified mail receipts will be presented to your office as soon as possible.

I look forward to working with you again!

Sincerely,

Michael Gould



885 Woodstock Rd, Suite 430-309
Roswell, GA 30075
770-617-2958 mobile
michael@goulddigitalimaging.com

June 30, 2025

Re: Notification of Proposed Balloon Test
Parcel ID 057010 / 117 Napier Road, Eatonton, Georgia, Putnam County

Dear Property Owner:

Pursuant to Putnam County Georgia Telecommunication Ordinance Chapter 58 Section 58-7. Subsection (a)(7) (hereinafter "the Regulation"), this letter serves to notify you of a proposed 3-day Balloon Test at the site of a proposed wireless telecommunication facility on the referenced parcel. The Regulation requires notification to all property owners of record within 1,200 feet of the proposed location.

The purpose of this balloon test is to inform the public of the proposed wireless telecommunications facility. APC Towers, Inc. is proposing to build a 255ft. self-support lattice tower at the coordinates below located on the referenced parcel.

NAD 83

Latitude: 33° 11' 45.22" N

Longitude: -83° 23' 29.89" W

Balloon Test schedule:

Saturday, July 19, 2025 from sunrise to 5:00pm

Sunday, July 20, 2025 from sunrise to 5:00pm

Monday, July 21, 2025 from sunrise to 5:00pm

A public hearing will be held on August 7, 2025 at 6:30pm in front of the Putnam County Planning Commission.

Sincerely,

Michael Gould



885 Woodstock Rd, Suite 430-309
Roswell, GA 30075
770-617-2958 mobile
michael@goulddigitalimaging.com

- f. Design of the antenna or tower, with particular reference to design features that have the effect of reducing or eliminating visual obtrusiveness;
 - g. Availability of suitable existing antennas or towers or other structures for antenna co-location;
 - h. Proximity of the antenna or tower to other antennas or towers;
 - i. Impact of the tower and antenna upon scenic views and upon visual quality of surrounding areas; and
 - j. Such other and additional standards of review as set forth concerning conditional uses, of the Zoning Ordinance of Putnam County.
- (6) Any decision to deny a conditional use permit shall be in writing and supported by substantial evidence contained in a written record. No decision to deny a conditional use permit for a wireless telecommunications tower or antenna shall be based on the environmental effects of radio frequency emissions to the extent such facilities comply with the Federal Communications Commission's regulations concerning such emissions.
- (7) Public notice for location of tower: In addition to the requirements of the Zoning Ordinance of Putnam County, the following additional public noticing shall be provided for towers more than 150 feet in total height to be located within 1,200 feet of any residential district: at least 15 days and not more than 45 days prior to the required public hearing, the applicant shall cause to be floated from the proposed tower site a balloon of the standard size used in aerial line of sight surveys. Said balloon shall be floated to the height of the proposed tower for a period of three working days so that the visibility of the tower from locations surrounding the proposed tower site can be viewed by the public prior to the required hearing. It is required that one of the three days be a Saturday. In addition, during the three-day period the balloon shall be taken down every day at 5:00 p.m. and refloated at sunrise. After the three-day period required herein, the balloon may be taken down permanently by the applicant. The applicant shall send certified/return receipt letters (at least 15 days prior to the testing) to property owners within a distance of 1,200 feet of the proposed tower as measured from the base of the tower to the subject property lines; the applicant will furnish receipts to the planning department. The owners of record shall be as shown on the Putnam County Tax Commissioners records. In addition, the required legal notices shall explain the applicant's request including date and time of public hearing and the presence of and the purpose of said balloon. It is acknowledged that inclement weather may have an affect on this procedure. As such this procedure may require some mutually agreed alteration. The applicant, shall also post the purpose of the balloon. Said sign shall be erected, in a conspicuous location, on or adjacent to the proposed tower site and be at least four feet by eight feet in size.
- (b) *Administrative procedures for tower and antenna building permit.* A building permit issued by the building official is required in advance of the initiation of construction, erection, moving or alteration of any tower or antenna permitted. Additionally, only a building permit shall be required for a provider intending to co-locate on an existing tower.
- All telecommunication facilities which have received conditional use approval shall obtain a building permit and be required to submit to the Putnam County Planning and Development Department all applicable forms and documentation. Permit fees shall be subject to the Putnam County Planning and Development fee schedules.
- (c) *Annual operating permit required.* All wireless telecommunication facilities must obtain an operating permit on or before April 1 of each calendar year. The operating permit shall be issued by the planning and development department after written application to the planning and development department on a form to be supplied by the planning and development department. Any change in the five-year build out plan must be submitted with the application for the operating permit. Within 90 days of receiving a complete application for a renewal permit, the planning and development department shall issue a written determination granting or denying the operating permit in whole or in part, based on the applicant's

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

BRENDA WRIGHT
117 NAPIER RD
EATONTON, GA 31024



9590 9402 9446 5069 1302 23

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8705 22

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

GRADY LAWRENCE
698 TWIN BRIDGE RD SW
EATONTON, GA 31024



9590 9402 9446 5069 1312 44

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8689 63

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Lisa Jackson
Director of Planning & Dev
117 Putnam Drive, Suite B
Eatonton, Georgia 31024



9590 9402 9446 5069 1312 37

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8689 32

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

73

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

SENDER: COMPLETE THIS SECTION

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

GORDON N & GLENDA N
MOORE
129 NAPIER RD SW
EATONTON, GA 31024



9590 9402 9446 5069 1312 51

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8689 70

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

JUNE WILLIAMS
698 A TWIN BRIDGES RD SW
EATONTON, GA 31024



9590 9402 9446 5069 1312 13

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8689 56

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

TERRY AARON
131 SUNRISE DRIVE
EATONTON, GA 31024



9590 9402 9446 5069 1302 30

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8705 15

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

AARON F & JOANNE M RAATZ
414 N MADISON AVE
EATONTON, GA 31024



9590 9402 9446 5069 1302 54

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8689 25

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

RKH TRUCKING INC
105 SPORTSMAN CIRCLE NE
MILLEDGEVILLE, GA 31061



9590 9402 9446 5069 1302 78

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8689 94

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

SHELLEY E & ET AL MOORE
133 NAPIER RD
EATONTON, GA 31024



9590 9402 9446 5069 1312 20

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8689 49

PS Form 3811, July 2020 PSN 7530-02-000-9053

A. Signature

X

☐ Agent
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery

- ☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

☐ Restricted Delivery

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To GRADY LAWRENCE
698 TWIN BRIDGE RD SW
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To JUNE WILLIAMS
698 A TWIN BRIDGES RD SW
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To GORDON MOORE
129 NAPIER RD SW
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To Lisa Jackson
Director of Planning & Dev
117 Putnam Drive, Suite B
Eatonton, Georgia 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To SHELLEY E & ET AL MOORE
133 NAPIER RD
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To AARON F & JOANNE M RAATZ
414 N MADISON AVE
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Atlanta, GA 30339

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To JDC RESIDENTIAL
PROPERTIES LLC
3781 RANDALL FARM ROAD
ATLANTA, GA 30339

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To TERRY AARON
131 SUNRISE DRIVE
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Milledgeville, GA 31061

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To RKH TRUCKING INC
105 SPORTSMAN CIRCLE NE
MILLEDGEVILLE, GA 31061

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Gainesville, GA 30501

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To USNF
508 OAK ST NW
GAINESVILLE, GA 30501

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To BRENDA WRIGHT
117 NAPIER RD
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

Eatonton, GA 31024

Certified Mail Fee \$14.85

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.72

Total Postage and Fees \$9.62

Sent To GORDON N & GLENDA N
MOORE
129 NAPIER RD SW
EATONTON, GA 31024

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

GORDON MOORE
129 NAPIER RD SW
EATONTON, GA 31024



9590 9402 9446 5069 1311 52

2. Article Number (Transfer from service label)

9589 0710 5270 3301 8705 46

PS Form 3811, July 2020 PSN 7530-02-000-9053

CO

A. Signature

X

G. Moore

☐ Agent
☒ Addressee

B. Received by (Printed Name)

C. Date of Delivery

7/3

 D. Is delivery address different from item 1? ☐ Yes
 If YES, enter delivery address below: ☒ No

3. Service Type

- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
| <input type="checkbox"/> Registered Mail Restricted Delivery (\$500) | |

Domestic Return Receipt



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
06/27/2025

76

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION** IS **WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER
Aon Risk Services Northeast, Inc.
New York NY Office
One Liberty Plaza
165 Broadway, Suite 3201
New York NY 10006 USA

CONTACT NAME:
PHONE (A/C. No. Ext): (866) 283-7122 **FAX (A/C. No.):** (800) 363-0105
E-MAIL ADDRESS:

INSURED
Verizon Communications Inc.
1095 Avenue of the Americas
New York NY 10036 USA

INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER A: Liberty Mutual Fire Ins Co	23035
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	
INSURER F:	

COVERAGES**CERTIFICATE NUMBER:** 570113798230**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Limits shown are as requested

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU Coverage is included <input checked="" type="checkbox"/> Standard Contractual Liability GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			TB2691550588145	06/30/2025	06/30/2026	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$1,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$1,000,000 PRODUCTS - COMP/OP AGG \$1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION						EACH OCCURRENCE AGGREGATE
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/> N/A					PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT E.L. DISEASE-EA EMPLOYEE E.L. DISEASE-POLICY LIMIT

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Site Name: Twin Bridges, 0 Napier Rd., Eatonton, GA 31034, Location Code: 304180. Putnam County Planning & Development Dept is included as an Additional insured with respect to the General Liability policy.

CERTIFICATE HOLDER**CANCELLATION**

Putnam County Planning
& Development Dept
Attn: Lisa Jackson
117 Putnam Drive, Suite B
Eatonton GA 31024 USA

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Aon Risk Services Northeast Inc.

Holder Identifier :

Certificate No : 570113798230

000000 02 02 01 6685 053446 P



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
06/27/2025

77

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Services Northeast, Inc. New York NY Office One Liberty Plaza 165 Broadway, Suite 3201 New York NY 10006 USA	CONTACT NAME:	
	PHONE (A/C No. Ext): (866) 283-7122	FAX (A/C No.): (800) 363-0105
INSURED Verizon Communications Inc. 1095 Avenue of the Americas New York NY 10036 USA	E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	
	NAIC #	
	INSURER A: Liberty Mutual Fire Ins Co 23035	
	INSURER B:	
	INSURER C:	
INSURER D:		
INSURER E:		
INSURER F:		

COVERAGES **CERTIFICATE NUMBER:** 570113798230 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. **Limits shown are as requested**

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU Coverage is Included <input checked="" type="checkbox"/> Standard Contractual Liability GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			TB2691550588145	06/30/2025	06/30/2026	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$1,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$1,000,000 PRODUCTS - COMP/OP AGG \$1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> Hired AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION						EACH OCCURRENCE AGGREGATE
	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE E.L. EACH ACCIDENT E.L. DISEASE-EA EMPLOYEE E.L. DISEASE-POLICY LIMIT

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
RE: Site Name: Twin Bridges, 0 Napier Rd., Eatonton, GA 31034, Location Code: 304180. Putnam County Planning & Development Dept is included as an Additional Insured with respect to the General Liability policy.

CERTIFICATE HOLDER**CANCELLATION**

Putnam County Planning & Development Dept Attn: Lisa Jackson 117 Putnam Drive, Suite B Eatonton GA 31024 USA	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Aon Risk Services Northeast, Inc.</i>



July 24, 2025

Lorna Kennedy
Director of Development
APC Towers UV, LLC
8601 Six Forks Road, Suite 250
Raleigh, NC 27615

Re: GA-1968 Site
Gould Digital Imaging 3-Day 255' Balloon Test Report

My name is Michael Gould, and I am owner and operator of Gould Digital Imaging, LLC. APC Towers UV, LLC hired Gould Digital Imaging to perform various aspects of photographic imaging work in connection with the development of their telecommunications tower network in Putnam County, GA.

I have over twenty five years' experience working specifically with telecommunications companies including T-Mobile, Inc., AT&T Wireless, Verizon Wireless, Nextel, Alltel, Cricket, Sprint PCS, COMPASS Technology Services, Inc., Crown Castle International, Vertical Bridge, and American Tower Corporation in preparing photographic simulations of telecommunications towers. I have a Bachelors Degree in Art from St. Mary's College of Maryland; over thirty years of professional experience in the field of digital photographic enhancement and I have produced approximately 6,000 photographic simulations for Verizon Wireless, AT&T, T-Mobile, Inc., American Tower Corp., Diamond, and other telecommunications services companies.

APC Towers hired Gould Digital Imaging to perform a "3-Day 255 foot Balloon Test" at Their GA-1968 site on Napier Road, in Eatonton, GA. A balloon test is a visual reference of how tall a proposed structure would appear if constructed.

A ten foot red helium filled blimp shaped balloon is filled and raised above the proposed site on a measured line to the height of the proposed structure and anchored to the ground at the proposed site.

This balloon test was scheduled to be conducted on Saturday, July 19th, 2025 from Sunrise to 5:00pm, Sunday, July 20th, 2025 from Sunrise to 5:00pm, and Monday, July 21st, 2025 from Sunrise to 5:00pm.

At approximately 6:30am on Saturday, July 19th, 2025, the balloon was raised to a height of 255 feet to the bottom of the balloon and anchored in the center of the leased area of the proposed tower site. I deployed a secondary tether line keep the balloon better positioned directly over the anchor. The balloon was lowered at 5:00pm.

Weather conditions during Saturday's balloon test were ideal with partly cloudy skies and actual wind speeds measuring around 5 to 8mph throughout the test. The balloon stayed directly above the anchor during the entire test.

At approximately 6:30am on Sunday, July 20th, 2025, the balloon was raised to a height of 255 feet to the bottom of the balloon and anchored in the center of the leased area of the proposed tower site. I deployed a secondary tether line keep the balloon better positioned directly over the anchor. The balloon was lowered at 5:00pm.

Weather conditions during Sunday's balloon test were favorable with partly cloudy skies and actual wind speeds measuring around 6 to 8mph throughout the test. Other than a few gusts, the balloon stayed directly above the anchor during the entire test.

At approximately 6:30am on Monday, July 21st, 2025, the balloon was raised to a height of 255 feet to the bottom of the balloon and anchored in the center of the leased area of the proposed tower site. I deployed a secondary tether line keep the balloon better positioned directly over the anchor. The balloon was lowered at 5:00pm.

Weather conditions during Monday's balloon test were favorable in the morning with actual wind speeds measuring around 6 to 8mph. The weather developed into scattered rain showers in the afternoon with a period between 3 and 4pm where the balloon was moving almost constantly and rarely got directly above the anchor.

This report includes a screenshot of the wind forecast during the time the balloon was in the air. Also included are photographs of the balloon test taken from several locations surrounding the site. Photos were taken Saturday afternoon during calm wind conditions.

In my professional opinion, the balloon test reflects to a reasonable certainty the anticipated projection of the height of the tower if constructed at the GA-1968 site. If you need any additional information, please do not hesitate to call me at (770) 617-2958 or e-mail at michael@goulddigitalimaging.com.

Sincerely,



Michael Gould



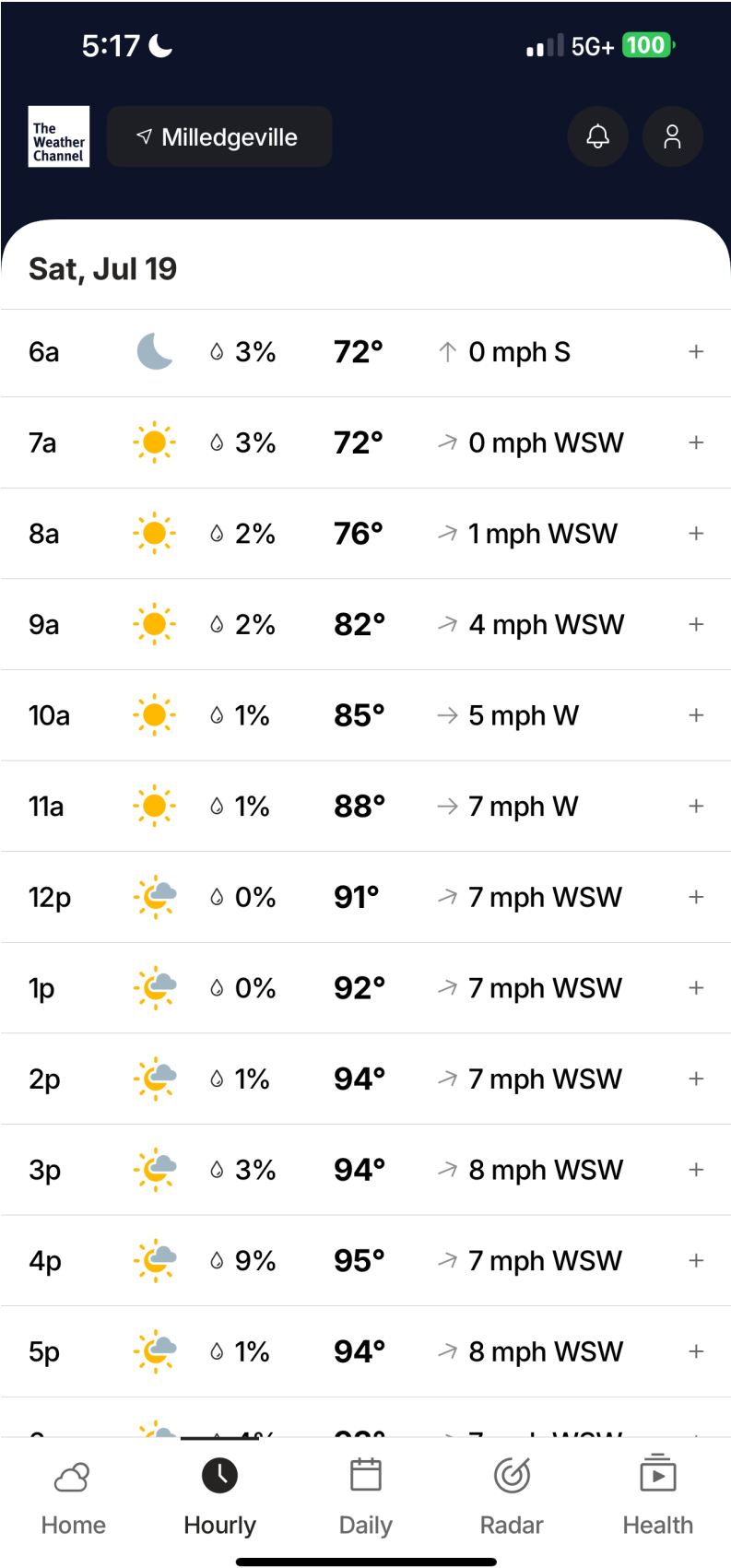
890 ATLANTA STREET, SUITE 190
ROSWELL, GA 30075
770-617-2958 mobile
michael@goulddigitalimaging.com



Saturday, July 19, 2025 6:30am



Saturday, July 19, 2025 5:00pm



Wind Forecast



Sunday, July 20, 2025 6:30am



Sunday, July 20, 2025 5:00pm

5:27

5G+

100

The Weather Channel

Milledgeville

Sun, Jul 20

6a		6%	78°	→ 3 mph W	+
7a		6%	77°	→ 3 mph W	+
8a		4%	79°	→ 4 mph W	+
9a		2%	83°	→ 5 mph W	+
10a		2%	86°	→ 6 mph WNW	+
11a		2%	90°	→ 8 mph WNW	+
12p		2%	91°	→ 9 mph WNW	+
1p		2%	92°	→ 8 mph WNW	+
2p		4%	94°	→ 8 mph WNW	+
3p		3%	94°	→ 8 mph W	+
4p		6%	94°	→ 7 mph WNW	+
5p		1%	94°	→ 8 mph W	+
6p		5%	93°	→ 8 mph W	+

Home

Hourly

Daily

Radar

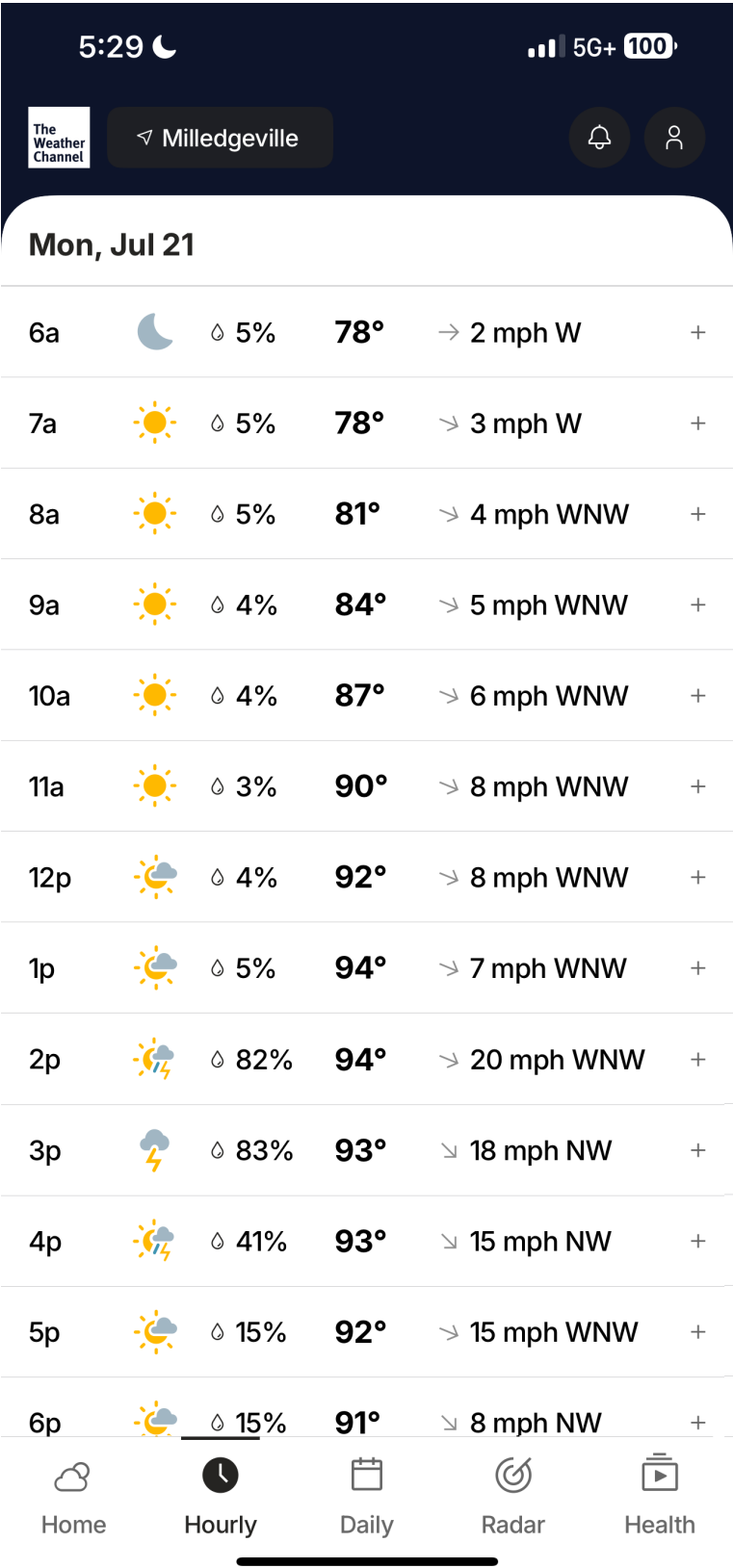
Health



Monday, July 21, 2025 6:30am

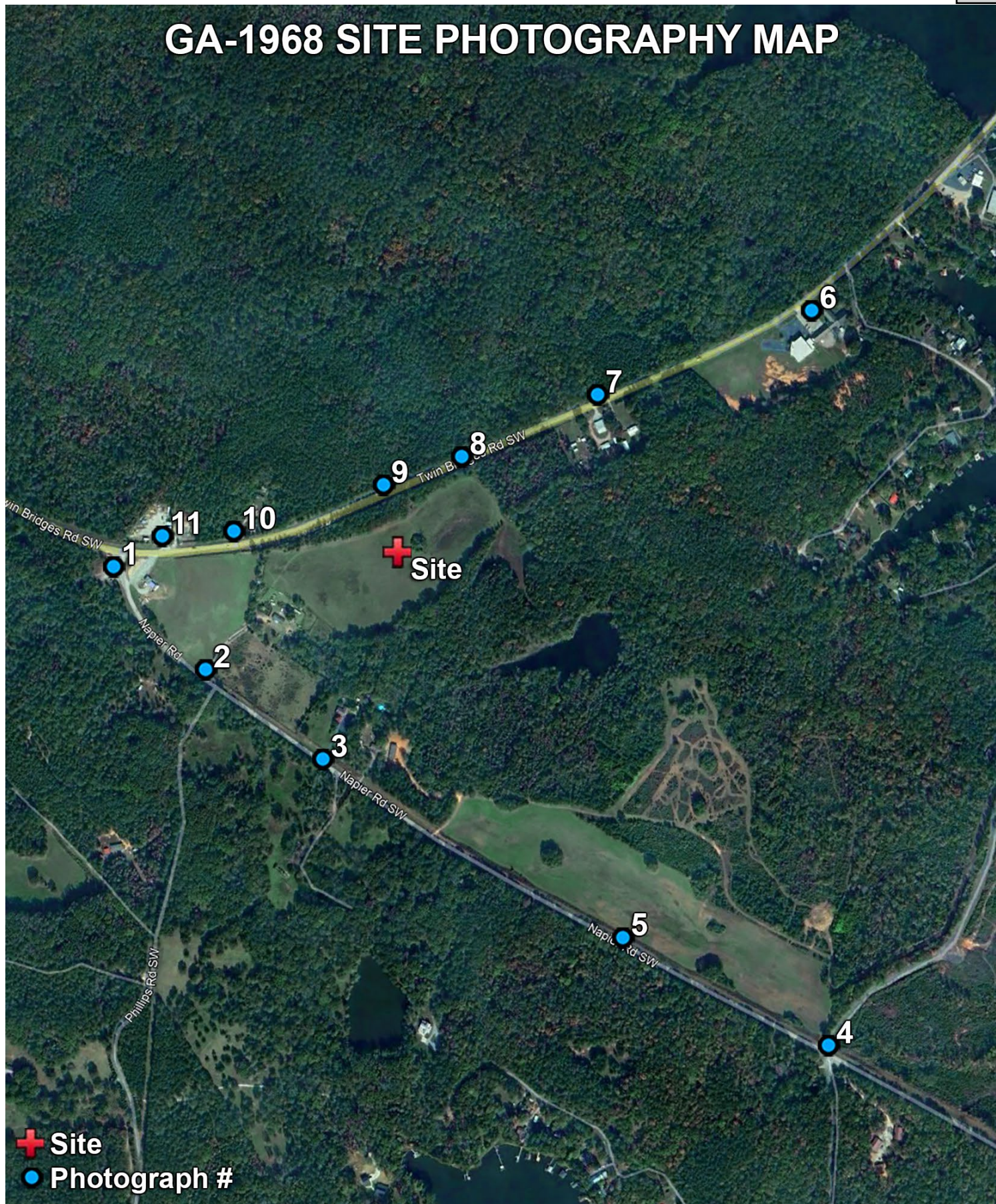


Monday, July 21, 2025 5:00pm



Wind Forecast

GA-1968 SITE PHOTOGRAPHY MAP



+ Site
● Photograph #



3



4



5



6









File Attachments for Item:

6. Request by Rick McAllister, agent for Imperial Park Holdings, LLC, to rezone 3.0 acres at 301 New Phoenix Road from AG to C-1 [Map 105, Part of Parcel 019, District 1] (staff-P&D)



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

August 7, 2025

BOC Staff Recommendations

TO: Board of Commissioners

FROM: Lisa Jackson Recommendations

RE: Staff Recommendations for Public Hearing Agenda on 8/7/2025

REQUEST

6. Request by **Rick McAllister, agent Imperial Park Holdings, LLC** to rezone 3.0 acres at 301 New Phoenix Road from AG to C-1. [**Map 105, Part of Parcel 019, District 1**].* Mr. McAllister is requesting to rezone 3 acres of the 29.54-acre tract from AG to C-1 on behalf of Imperial Park Holdings, LLC. If approved, the intended land use for this property is to develop a convenience store with fuel pumps. The proposed commercial development will consist of a 5,000 square foot convenience store, 8 fueling stations, and 5 diesel fueling stations.

The subject property is located at the intersection of New Phoenix and Old Phoenix. It is directly adjacent to The Phoenix Crossing Subdivision. This residential community contains over 120 existing residential homes and is steadily growing. The proposed C-1 use could have a direct impact on the adjacent parcel. However, it would not adversely affect the overall area given that it is located at the corner of New Phoenix and Old Phoenix and is on a main arterial road. According to the submitted traffic analysis, a convenience store typically has a significant percentage of passerby traffic given that the existing neighborhood will utilize the facility. The passer-by traffic is expected to be moderately high especially during AM and PM peak hours, so traffic projection impacts on the existing roadway will be reduced by 40%. This development will have access points from both Old Phoenix and New Phoenix Road. Old Phoenix Road is an established path of travel for traffic traveling back and forth between Lake Sinclair and the Milledgeville area to the Lake Oconee area and is the primary contributor to the intersection. It is assumed that the right turn and left turn traffic projected for this site will be split 50/50 and the arriving traffic will be split 80/20 with 20% being the New Phoenix Road entry. It also states that the impact of the development would warrant both a right turn lane and a left turn lane on Old Phoenix and New Phoenix Road based on GDOT guidelines. Although the traffic on Old Phoenix Road was significantly less than the 6,000 ADT and has a posted speed limit of 55 MPH, it would require a center left turn lane since the projected distribution will exceed 250 LTV (Left Turn Volumes) per day.

Old Phoenix is a major thoroughfare and connector between State Hwy 441, Georgia State Route 16 and the Lake Oconee area. Moreover, this rezoning request mirrors the current zoning of the two C-1 parcels on the opposite corners of Old and New Phoenix. Although this parcel can be used and developed as it is currently zoned, the applicant's request is more marketable, and neighborhood friendly. The proposed use will cause little to no excessive or burdensome use of public facilities or services. The parcel identified as Map 105 Parcel 016, is directly across the road from this site. It was recently rezoned to Commercial-1 for the purpose of constructing a storage facility. At the time, the proposed use was presented as having minimal adverse impact on the surrounding community. However, no conditions were attached to that

rezoning. This has raised concerns within the community, particularly from neighboring property owners who opposed the original rezoning due to its potential impact on the surrounding residential development.

Given the rapid growth currently occurring in Putnam County, it is likely that other landowners with property at high-visibility intersections will also seek a C-1 rezoning. Without an updated comprehensive plan to address the major intersections, the County may face a steady stream of rezoning requests which increases the risk of incompatible land uses, traffic congestion, and may have an adverse effect on community character. It is imperative that Putnam County implement a coordinated land use plan to address commercial development at major intersections. This will ensure that decisions are made with long-term goals supporting compatible growth while preserving the character of existing residential neighborhoods. Furthermore, staff recommends that the Board of Commissioners:

1. **Conduct a comprehensive assessment of major intersections throughout the County, particularly those located along primary arterial roads.**
2. **Formulate a list of community-compatible uses appropriate for development at each intersection.**
3. **Adopt this list and incorporate overlay districts for these key intersections, thereby providing clear expectations for future rezonings and balancing the interests of both residents and other property owners.**

This process will create consistency, improve public trust, and allow the County to accommodate growth while preserving the character of its communities.

Subject to the same, staff recommends approval of the rezoning requests subject to the following conditions:

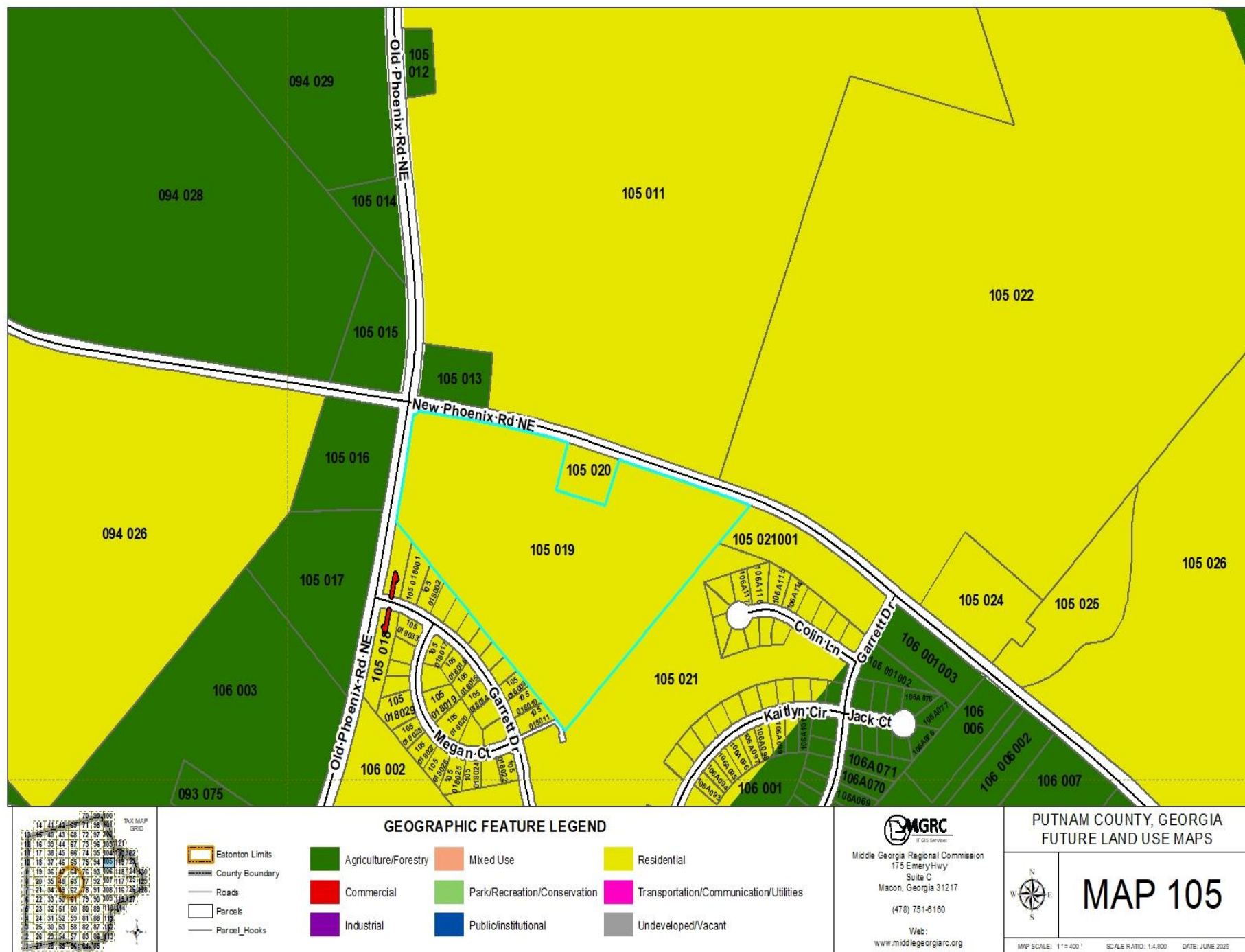
1. **The property must be used for the purpose stated in the filed application, unless approved by the Board of Commissioners.**
2. **The developer shall install both a right turn lane and left turn lane, on Old Phoenix and New Phoenix Road, per state and local guidelines.**
3. **This rezoning shall be conditioned upon the resurveying and recordation in the Superior Court of Putnam County of an accurate plat within 120 days of approval by the board of commissioners. A copy of the recorded plat shall be filed with the planning and development department director. Failure to file a plat pursuant to this subsection shall have the effect of invalidating**
4. **Failure to abide by the stated conditions shall cause the property to revert to the Agriculture designation.**

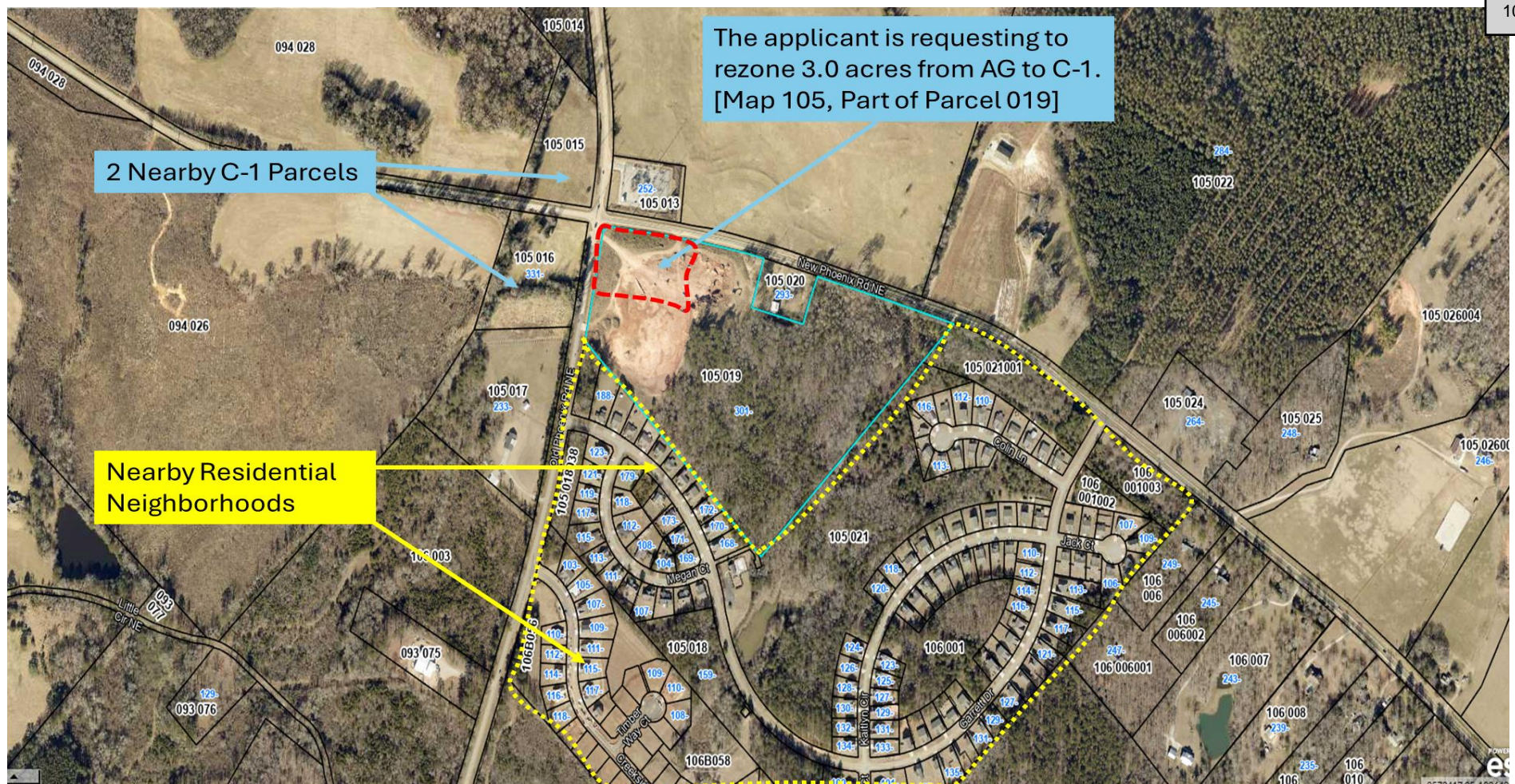
Staff recommendation is for approval to rezone 3.0 acres at 301 New Phoenix Road from AG to C-1. [Map 105, Part of Parcel 019, District 1].*with the following conditions:

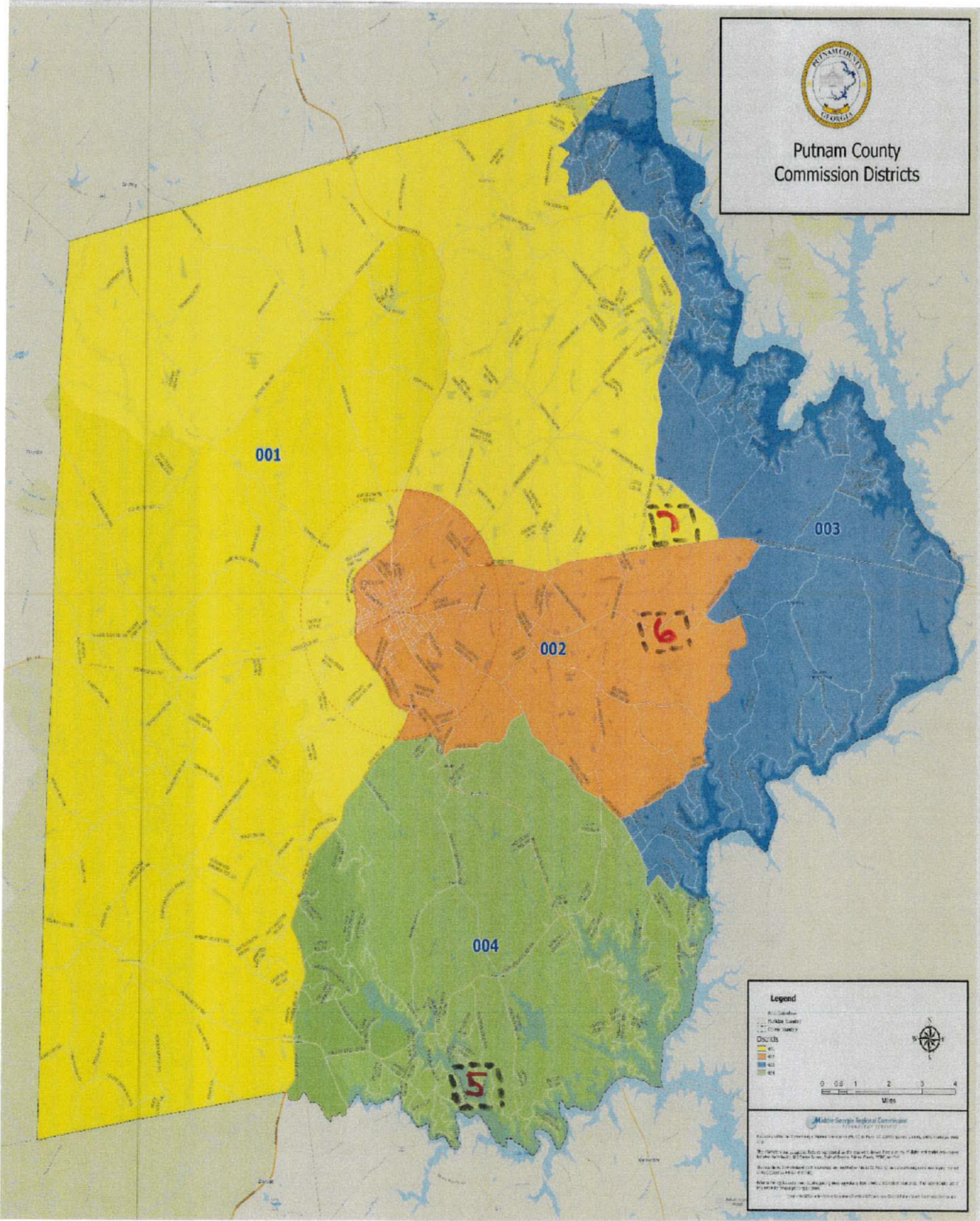
1. **The property must be used for the purpose stated in the filed application, unless approved by the Board of Commissioners.**
2. **The developer shall install both a right turn lane and left turn lane, on Old Phoenix and New Phoenix Road, per state and local guidelines.**
3. **This rezoning shall be conditioned upon the resurveying and recordation in the Superior Court of Putnam County of an accurate plat within 120 days of approval by the board of commissioners. A copy of the recorded plat shall be filed with the planning and development department director. Failure to file a plat pursuant to this subsection shall have the effect of invalidating the rezoning action.**
4. **Failure to abide by the stated conditions shall cause the property to revert to the Agriculture designation.**

The Planning & Zoning Commission's recommendation is for approval to rezone 3.0 acres at 301 New Phoenix Road from AG to C-1. [Map 105, Part of Parcel 019, District 1].*with the following conditions:

1. *The property must be used for the purpose stated in the filed application, unless approved by the Board of Commissioners.*
2. *The developer shall install both a right turn lane and left turn lane, on Old Phoenix and New Phoenix Road, per state and local guidelines.*
3. *This rezoning shall be conditioned upon the resurveying and recordation in the Superior Court of Putnam County of an accurate plat within 120 days of approval by the board of commissioners. A copy of the recorded plat shall be filed with the planning and development department director. Failure to file a plat pursuant to this subsection shall have the effect of invalidating the rezoning action.*
4. *Failure to abide by the stated conditions shall cause the property to revert to the Agriculture designation.*







7. Request by **Rick McAllister, agent Imperial Park Holdings, LLC** to rezone 3.0 acres at 301 New Phoenix Road from AG to C-1. [Map 105, Part of Parcel 019, District 1].*



PUTNAM COUNTY PLANNING & DEVELOPMENT

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☒ REZONING

APPLICATION NO. 2025-REZONE-10

DATE: May 28, 2025

MAP 105 PARCEL 019 ZONING DISTRICT AG

1. Owner Name: Imperial Park Holdings, LLC

2. Applicant Name (If different from above): Rick McAllister

3. Mailing Address: 1341 Beverly Drive Athens, GA 30606

4. Email Address: rmcallister.msc@gmail.com

5. Phone: (home) _____ (office) _____ (cell) 706-206-5030

6. The location of the subject property, including street number, if any: 301 New Phoenix Road

7. The area of land proposed to be rezoned (stated in square feet if less than one acre): 3.0 Acres

8. The proposed zoning district desired: C-1

9. The purpose of this rezoning is (Attach Letter of Intent)
See attached letter of intent

10. Present use of property: AG Desired use of property: C-1

11. Existing zoning district classification of the property and adjacent properties:

Existing: AG
North: Public/AG South: R-1R East: R-1R West: C-1

12. Copy of warranty deed for proof of ownership and if not owned by applicant, please attach a signed and notarized letter of agency from each property owner for all property sought to be rezoned.

13. Legal description and recorded plat of the property to be rezoned.

14. The Comprehensive Plan Future Land Use Map category in which the property is located. (If more than one category applies, the areas in each category are to be illustrated on the concept plan. See concept plan insert.): See Concept plan

15. A detailed description of existing land uses: Existing - AG use, timber - East C-1 undeveloped
South / West - AG use - timber - North - power sub station

16. Source of domestic water supply: well x, community water _____, or private provider _____.
If source is not an existing system, please provide a letter from provider.

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1-04-24



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103

17. Provision for sanitary sewage disposal: septic system X, or sewer _____. If sewer, please provide name of company providing same, or, if new development, provide a letter from sewer provider.
18. Complete attachment of Disclosure of Campaign Contributions Form by the applicant and/or the applicant's attorney as required by the Georgia Conflict of Interest in Zoning Act (O.C.G.A. 36-67A).
19. The application designation, date of application and action taken on all prior applications filed for rezoning for all or part of the subject property. (Please attach on separate sheet.)
20. Proof that property taxes for the parcel(s) in question have been paid.
21. Concept plan.
 - If the application is for less than 25 single-family residential lots, a concept plan need not be submitted. (See attachment.)
 - A concept plan may be required for commercial development at director's discretion
22. Impact analysis.
 - If the application is for less than 25 single-family residential lots, an impact analysis need not be submitted. (See attachment.)
 - An Impact analysis (including a traffic study) is required when rezoning from residential zoned or used property to commercial or industrial districts.

THE ABOVE STATEMENTS AND ACCOMPANYING MATERIALS ARE COMPLETE AND ACCURATE. APPLICANT HEREBY GRANTS PERMISSION FOR PLANNING AND DEVELOPMENT PERSONNEL OR ANY LEGAL REPRESENTATIVE OF PUTNAM COUNTY TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE PUTNAM COUNTY CODE OF ORDINANCES.

Ingrid Park Holdings by 5-29-25
Signature (Property Owner) (Date)

Robert Waldrop 5-29-25
Signature (Applicant) (Date)

Nicole A Mesik

Notary Public exp Sept 26, 2026



Nicole A Mesik

Notary Public

Office Use

Paid: \$ 600.00 (cash) _____ (check) _____ (credit card) ✓
 Receipt No. 265050104 Date Paid: 5/30/25
 Date Application Received: 5/30/25
 Reviewed for completeness by: Angela Waldrop
 Date of BOC hearing: 8/19/25 Date submitted to newspaper: 6/30/25
 Date sign posted on property: _____ Picture attached: yes _____ no _____

DISCLOSURE OF APPLICANT'S CAMPAIGN CONTRIBUTION

1-04-24

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LETTER OF INTENT – IMPERIAL HOLDINGS, LLC
C1 ZONING REQUEST

The site is located at the intersection of Old and New Phoenix Road with an area of approximately 3.0 acres. Surrounding land uses include C-1 and AG. Proposed road access includes proposed curb cuts on each existing road.

The intended land use for this property is convenience store with fuel pumps. Attached conceptual plan illustrates the proposed amount of each use including conceptual layout of interior roads.

We appreciate the consideration to promote quality development within Putnam County.



May 29, 2025

Ms. Lisa Jackson
Director of Planning and Development
Putnam County Planning and Development
117 Putnam Drive, Suite B
Eatonton, GA 31024

RE: Map 105, Parcel 019. Request rezone 3.0 acres from AG to C-1

Dear Ms. Jackson,

On behalf of Imperial Holdings, LLC, please accept this letter and attached information to request a zoning map amendment for a portion parcel 105-019.

Attachments via email include - application, concept plan and impact study with additional supporting documents.

Please let me know if you have any questions.

Sincerely

A handwritten signature in blue ink, appearing to read 'Rick McAllister', is written over a faint, larger version of the same signature.

Rick McAllister
McAllister Site Consulting, LLC
Agent for Imperial Holdings, LLC

RECEIVED MAY 30 2025
and

eFiled & eRecorded
 DATE: 6/22/2022
 TIME: 8:09 AM
 DEED BOOK: 01089
 PAGE: 00353 - 00356
 RECORDING FEES: \$25.00
 TRANSFER TAX: \$375.00
 PARTICIPANT ID: 6837478023
 CLERK: Trevor J. Addison
 Putnam County, GA
 PT61: 117-2022-001164

Return to: Huskins Law Firm LLC, 114 1/2 West Marion Street, Eatonton, Georgia 31024

LIMITED WARRANTY DEED

STATE OF GEORGIA,
 COUNTY OF PUTNAM

THIS INDENTURE, Made this 2nd day of June, in the Year of Our Lord Two Thousand Twenty-Two (2022) between ANN G. JESTER, MARY CAROLINE G. JONES AND JAMES M. GREGORY, JR., as parties of the first, hereinafter called Grantor, and IMPERIAL PARK HOLDINGS, LLC, a Georgia Limited Liability Company, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors, and assigns where the context requires or permits).

WITNESSETH: That the said parties of the First Part, for and in consideration of the sum of **OTHER GOOD AND VALUABLE CONSIDERATION AND TEN AND 00/100 (\$10.00) DOLLARS**, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said party of the Second Part, its heirs and assigns,

SEE EXHIBIT A

THIS CONVEYANCE is made subject to all easements, covenants, agreements, restrictions, right of ways, reservations, permits, governmental regulations, zoning ordinances, and all matters of record affecting said described property.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of the said party of the Second Part, its heirs and assigns, forever, in Fee Simple.

AND THE SAID parties of the First Part, for their heirs, executors and administrators, will warrant and forever defend the right and title to the above described property, unto the said party of the Second Part, its heirs and assigns, against the claims of all persons owning, holding or claiming by, through or under the said party of the First Part.

a.g.

RECEIVED MAY 30 2025

Glenn Brown
Witness

Mary Caroline G. Jones (SEAL)
Mary Caroline G. Jones

Brandy T. Huskins
Notary Public
My Commission Expires: 3-3-26
(Affix Notary Seal)



Glenn Brown
Witness

James M. Gregory, Jr. (SEAL)
James M. Gregory, Jr.

Brandy T. Huskins
Notary Public
My Commission Expires: 3-3-26
(Affix Notary Seal)



IN WITNESS WHEREOF, the said parties of the First Part have hereunto set their hand and seal,
the day and year above written.

Signed, sealed and delivered in presence of:

Evelyn Williams
Witness

Ann G. Jester (SEAL)
Ann G. Jester

Kimberly Boyd
Notary Public
My Commission Expires:
(Affix Notary Seal)

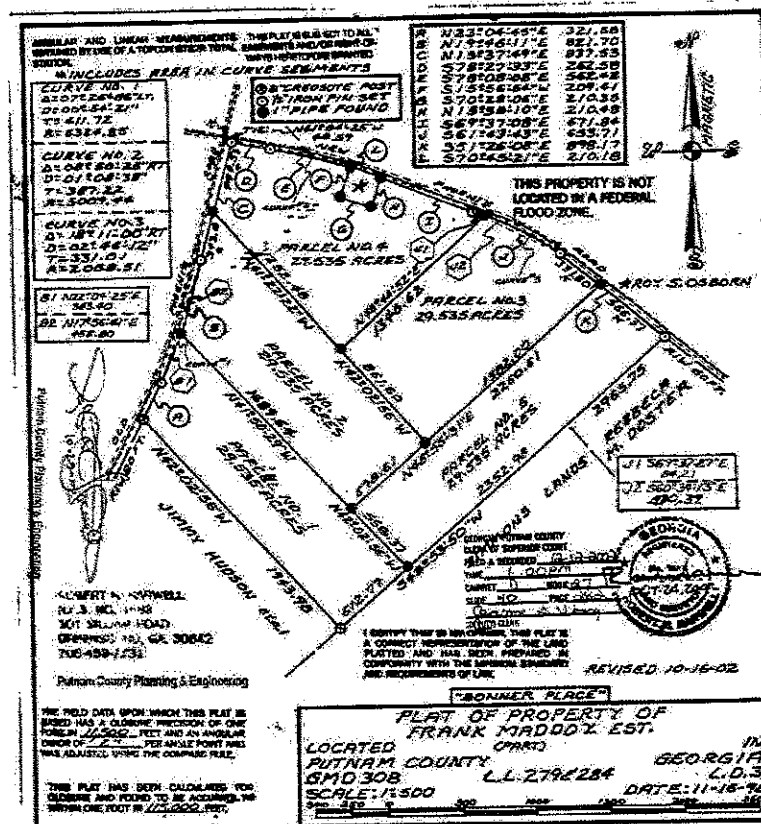
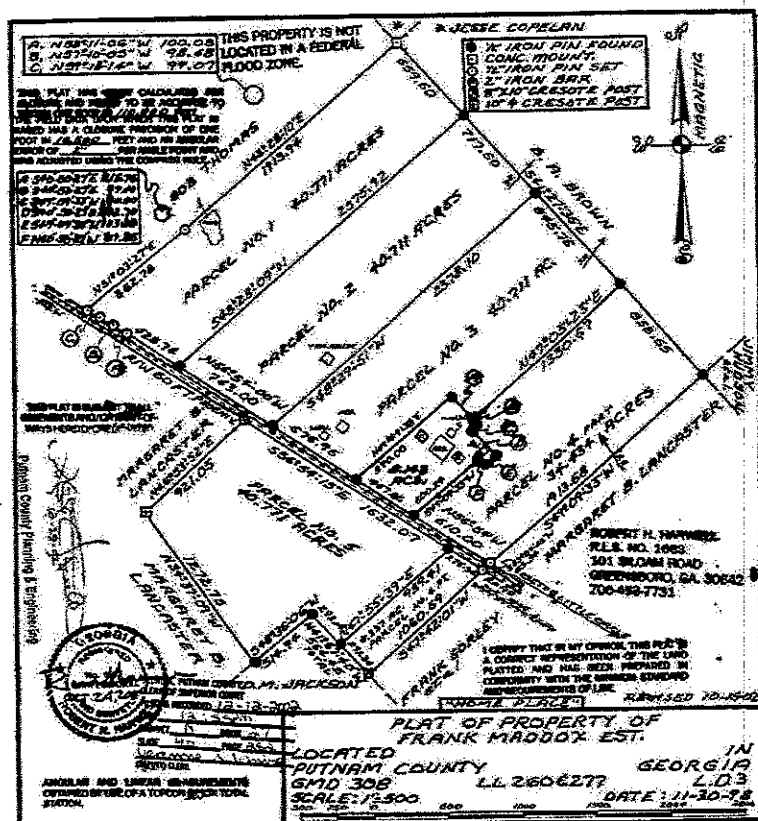


W

Exhibit A

All that tract or parcel of land, lying and being in the 308th G.M. District, Putnam County, Georgia,, containing 29.535 acres, more or less, and being designated as Parcel No. 4 of the "Bonner Place" Tract as shown on a plat prepared for the Frank Maddox Estate by Robert H. Harwell, Georgia Registered Land Surveyor No. 1683, dated November 16, 1998, and recorded in Cabinet D, Plat Book 27, Slide 40, Page 282, Clerk's Office, Putnam County Superior Court, and by reference said plat is hereby made a part of this description.

PRIOR DEED REFERENCE: This is that same land conveyed in a Warranty Deed from Laurie M. Gregory to Ann G. Jester, Mary Caroline G. Jones, and James M. Gregory, Jr. recorded in Deed Book 396, Pages 261-262 dated December 17, 2002, said records.



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2024 011581
IMPERIAL PARK HOLDINGS LLC

INTERNET TAX RECEIPT
PARCEL 4 BONNER PLACE
105 019

112

DESCRIPTION	TAX AMOUNT	EXEMPTION	MILLAGE
FAIR MARKET VALUE	\$337,853		
COUNTY	\$824.50	\$0.00	6.101
SCHOOL	\$1,449.25	\$0.00	10.724
SCHOOL BND	\$0.00	\$0.00	0
SPEC SERV	\$54.06	\$0.00	0.4
COUNTY BND	\$0.00	\$0.00	0
SP SVC BD	\$0.00	\$0.00	0

ORIGINAL TAX DUE
\$2,327.81
INTEREST
COLLECTION COST
FIFA CHARGE
PENALTY
TOTAL PAID
\$2,327.81
TOTAL DUE
\$0.00

Date Paid: 11/12/2024

TO IMPERIAL PARK HOLDINGS LLC
185 N WESLEY CHAPEL ROAD
EATONTON, GA 31024

FROM Putnam County Tax Commissioner
100 South Jefferson Ave Suite 207
Eatonton, GA 31024-1061
(706) 485-5441



Scan this code
with your mobile
phone to view this
bill

INTERNET TAX RECEIPT

RECEIVED MAY 30 2025 *aw*



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024
Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountygga.us

LETTER OF AGENCY- Rezone and Preliminary Plat

WE, THE UNDERSIGNED OWNERS OF REAL PROPERTY LOCATED IN THE CITY OF
EATONTON/PUTNAM COUNTY, GEORGIA, HEREBY APPOINT Rick McAllister TO BE MY/OUR
AGENT FOR THE PURPOSE OF APPLYING FOR Rezone / Preliminary Plat OF PROPERTY DESCRIBED AS
MAP 105 PARCEL 019, CONSISTING OF 3.0 ACRES, WHICH HAS THE FOLLOWING ADDRESS:
301 New Phoenix Road EATONTON, GEORGIA 31024. ATTACHED HERETO IS A COPY OF A DEED
AND OR PLAT OF SURVEY DESCRIBING THE PROPERTY OWNED BY THE PROPERTY OWNER(S) TO WHICH
THIS LETTER OF AGENCY APPLIES.

THE ABOVE-NAMED AGENT HEREBY IS AUTHORIZED TO COMPLETE AND SIGN THE CITY OF
EATONTON/PUTNAM COUNTY APPLICATION FOR Rezone / Preliminary Plat ON OUR BEHALF.
WE UNDERSTAND THAT THIS LETTER OF AGENCY WILL BE ATTACHED TO AND MADE PART OF
SAID FORM AND WILL BE RELIED UPON BY THE CITY OF EATONTON/PUTNAM COUNTY. FOR
AND IN CONSIDERATION OF THE CITY OF EATONTON/PUTNAM COUNTY ACCEPTING THIS LETTER OF
AGENCY, WE HEREBY INDEMNIFY AND HOLD HARMLESS THE CITY OF EATONTON/PUTNAM COUNTY AND
ITS AGENTS AND/OR EMPLOYEES IN THE EVENT THAT THE
ABOVE NAMED AGENT SHOULD MISUSE THIS LETTER OF AGENCY AND WE SUFFER DAMAGES
AS A RESULT.

THIS 28th DAY OF May, 2025.

PROPERTY OWNER(S): Imperial Park Holdings LLC
NAME (Neatly PRINTED)
Imperial Park Holdings by Jay S
SIGNATURE
ADDRESS: 530 New Phoenix Rd Eatonton, GA 31024
PHONE: (706) 485-9848

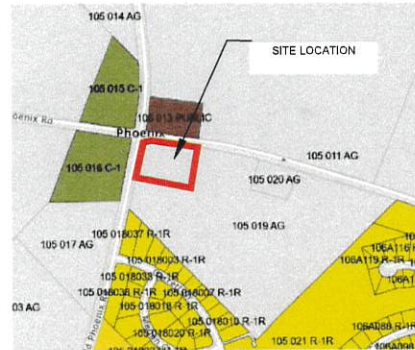
ALL SIGNATURES WERE HEREBY SWORN TO AND SUBSCRIBED BEFORE ME THIS
28th DAY OF May, 2025

NOTARY Nichole A Mesik
MY COMMISSION EXPIRES: Sept 26, 2026

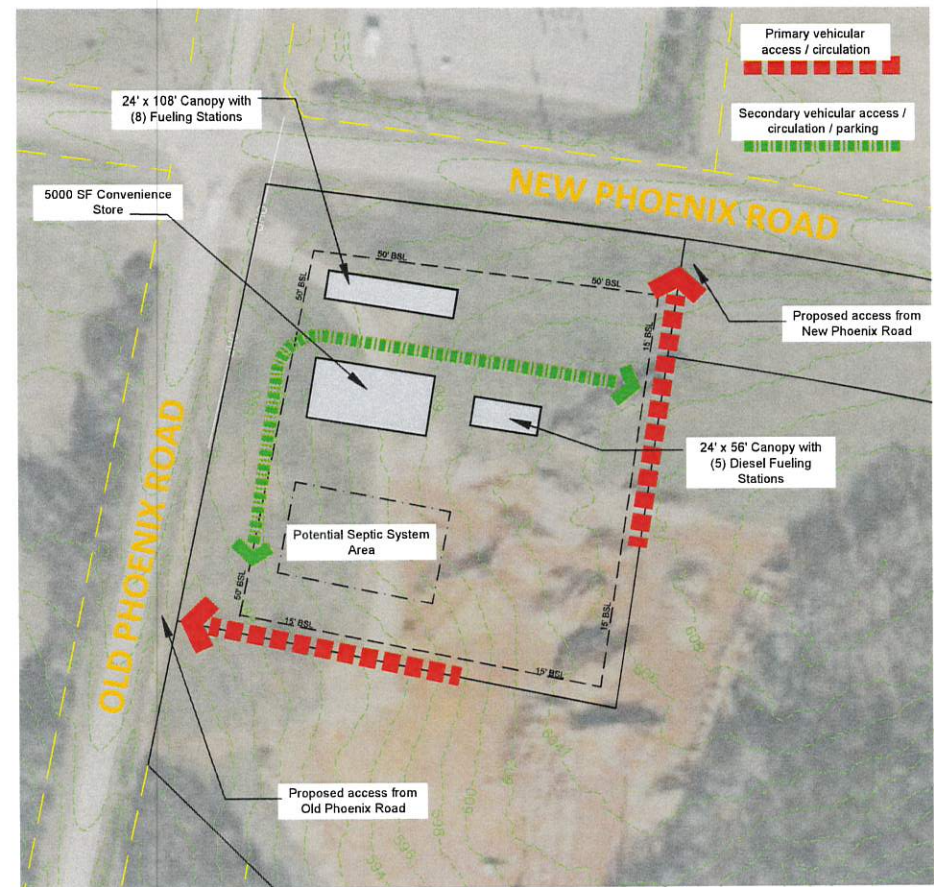


(SEAL)

Intent: Amend zoning to C-1. Develop commercial use utilizing convenience Store land use.



CURRENT ZONING AND PARCEL MAP
NOT TO SCALE



M | S | C
McAllister Site Consulting, LLC

Putnam County 2022 Future Land Use

Legend

- Unincorporated
- Agricultural/Forestry
- Commercial
- Industrial
- Mixed Use
- Work/Residential/Conservation
- Public/Health/Local
- Residential
- County Boundary
- Municipal Boundaries
- State Corridors

SITE LOCATION

The map displays Putnam County with various land use designations. A red circle and arrow indicate the **SITE LOCATION** in the northeast. The legend includes categories: Unincorporated, Agricultural/Forestry, Commercial, Industrial, Mixed Use, Work/Residential/Conservation, Public/Health/Local, Residential, County Boundary, Municipal Boundaries, and State Corridors. A scale bar and north arrow are also present.

CONCEPTUAL DEVELOPMENT PLAN

PARCEL 105-019
SITE EXHIBIT
PUTNAM COUNTY, GEORGIA

RECEIVED MAY 30 2025

**IMPACT ANALYSIS
PARCEL 105-019 (PARTIAL)**

**PROPOSED C-1 DEVELOPMENT
REZONING REQUEST.**



**MCALLISTER SITE CONSULTING, LLC
RICK MCALLISTER
1341 BEVERLY DRIVE
ATHENS, GEORGIA 30606
706-206-5030**

TABLE OF CONTENTS

Letter of Intent..... Page 3

Impact Study Information Page 4

Traffic Study Attachment

Plat of Property Attachment

Existing Conditions Attachment

Existing ZoningSee Conceptual Site Plan

Conceptual Site Plan Attachment

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aw

LETTER OF INTENT – IMPERIAL HOLDINGS, LLC
C1 ZONING REQUEST

The site is located at the intersection of Old and New Phoenix Road with an area of approximately 3.0 acres. Surrounding land uses include C-1 and AG. Proposed road access includes proposed curb cuts on each existing road.

The intended land use for this property is convenience store with fuel pumps. Attached conceptual plan illustrates the proposed amount of each use including conceptual layout of interior roads.

We appreciate the consideration to promote quality development within Putnam County.

IMPACT ANALYSIS INFORMATION

ITEM #1

Is the proposed use consistent with the stated purpose of the zoning district that is being requested?

The proposed use is acceptable in C-1 Zoning.

Is the proposed use suitable in view of the zoning and development of adjacent or nearby property?

The proposed site is located at the intersection of Old and New Phoenix Road. Of the four corners represented within the intersection – 2 are zoned C-1 and 1 is zoned Public use – this parcel remains AG – There fore our request is suitable as the existing parcels have been zoned.

Will the proposed use adversely affect the existing use, value or usability of adjacent or nearby property?

The proposed use reflects existing zoning in the area. All buffers and setbacks will adhere to county standards.

Is the proposed use compatible with the proposed intent of the Comprehensive Plan?

The comprehensive plan notes this area as residential – However the existing zoning map has commercial in close proximity to proposed site.

Are there substantial reasons why the property cannot or should not be used as currently zoned?

The proposed use is not noted as an acceptable use as currently zoned.

Will the proposed use cause an excessive or burdensome use of public facilities or services or exceed the present or funded capabilities, including but not limited to streets, water or sewer utilities and police or fire protection?

The proposed development will incur the cost of constructing streets interior to the project. Given the proposed use, the demand for water and septic are low for this type of project. Final plans will meet emergency vehicle equipment circulation requirements.

Is the proposed use supported by new or changing conditions not anticipated by the Comprehensive Plan or reflected in the existing zoning on the property or surrounding properties?

The proposed use is supported by the anticipated existing and future use of commercial.

Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, and reasonable private use of the subject property?

The proposed use responds to a need for convenience store support to the neighboring residential communities.

ITEM #2 TRAFFIC ANALYSIS – (SEE ATTACHMENT)

ITEM# 3

The conceptual plan is based upon development standards for C-1 Zoning are as follows:

5000 SF Convenience Store with associated fuel pumps

ITEM #4

Effect on environment surrounding the area:

Natural:

Property is currently mixed open pasture and partially wooded with topography sloped into 2 drainage corridors. The entire parcel comprises of own watershed directed to existing drainage corridors. A 25' State Waters buffer will be placed on all qualified pond or stream components. Some wetland areas may exist on site and will be delineated by an Environmental Consultant. Wetlands will be mapped, surveyed and protected per environmental guidelines upon development of project areas(s). Source: Putnam County / City of Eatonton 2007-2030 Comprehensive Plan – Wetlands Map 6 Prepared by Middle Georgia RDC

Erosion:

The property is currently in open pasture and partially wooded state. Development plans will adhere to State and Local Regulations of Erosion Control and Storm water standards. Source: On site Observation

Historic:

The proposed site has no known or listed Cultural or Historical Resources located on site.

Source: Putnam County / City of Eatonton 2007-2030 Comprehensive Plan Cultural and Historical Resources Map 13 prepared by Middle Georgia RDC

ITEM #5

Impact on fire protection - TBD

ITEM #6 – PHYSICAL CHARACTERISTICS OF SITE (SEE ATTACHMENT)

ITEM #7 – ADJACENT AND NEARBY ZONING (SEE CONCEPTUAL PLAN)



SIMONTON
ENGINEERING

OLD PHOENIX ROAD COMMERCIAL DEVELOPMENT (EMBRY)

Traffic Impact Study 2025-70

Updated July 31, 2025



Paul Simonton
paul@simontoneng.com

Hinesville, Georgia Phone: (912) 977-1502
Greensboro, Georgia Phone: (706) 454-0870

Old Phoenix Road Traffic Impact Study

General

The Old Phoenix Road Commercial Development is planned to include a convenience with 8 gasoline pumps and 5 diesel pumps, located in the Northeast corner of the Old Phoenix Road and New Phoenix Road intersection. The tract includes approximately 3 acres to be developed but will be limited by the need for on-site water and sewer systems.



EXISTING TRAFFIC

The AM and PM peak hour traffic and AADT was measured at the intersection on January 24, 2023, and is reflected in the table on the following page. These counts were updated to current traffic using historical growth projected forward. We have examined historical growth for two GDOT count locations in the area and found all of the locations growing at a rate of 1.09% to 1.5% per year with an average of 1.33% per year. The traffic used in the evaluation will be updated by that percentage for the two year period.

PEAK HOUR TRAFFIC ALL DIRECTIONS

	Old Phoenix Rd Northbound				Old Phoenix Rd Southbound				New Phoenix Rd Eastbound				New Phoenix Rd Westbound				Total all directions
	left	Thru	Right	Total	left	Thru	Right	Total	left	Thru	Right	Total	left	Thru	Right	Total	
AM Peak																	
7:00 AM	0	37	0	37	7	26	0	33	0	0	0	0	2	3	13	18	88
7:15 AM	2	69	1	72	1	26	0	27	1	1	1	3	5	11	8	24	126
7:30 AM	2	63	2	67	2	29	3	34	2	1	1	4	2	16	19	37	142
7:45 AM	1	96	3	100	7	25	2	34	3	7	2	12	3	12	13	28	174
8:00 AM	0	71	1	72	9	25	0	34	1	5	3	9	1	6	13	20	135
8:15 AM	0	65	0	65	4	21	2	27	0	6	1	7	1	4	12	17	116
8:30 AM	0	58	3	61	1	24	0	25	2	5	0	7	0	3	10	13	106
8:45 AM	0	37	0	37	7	26	0	33	0	0	0	0	2	3	13	18	88
PM Peak																	0
4:00 PM	1	26	2	29	9	39	1	49	0	6	1	7	2	1	6	9	94
4:15 PM	4	24	3	31	23	59	3	85	0	7	3	10	0	8	8	16	142
4:00 PM	0	22	1	23	11	59	2	72	1	7	1	9	0	1	3	4	108
4:45 PM	1	20	3	24	15	44	0	59	0	6	3	9	1	4	2	7	99
5:00 PM	1	21	0	22	21	95	0	116	0	6	1	7	0	3	7	10	155
5:15 PM	3	24	2	29	14	66	1	81	3	5	2	10	1	6	9	16	136
5:30 PM	4	24	1	29	11	62	1	74	0	5	3	8	1	2	5	8	119
5:45 PM	2	28	0	30	13	56	1	70	0	7	2	9	0	2	8	10	119

These counts were used then updated at 1.33% per year to make them current

As can be seen by examination of the existing peak hour traffic table, the morning (AM) peak occurs from 7:15 to 8:15 AM with a total traffic through the intersection of 592 vehicles. The PM peak occurs from 5:00 to 6:00 and totals 543 vehicles. It can be seen that Old Phoenix Rd is the major contributor to the intersection with New Phoenix being a minor impact.

Predicted Traffic

Trip Generation software by Microtrans will be used to generate average daily traffic plus peak hour enter and exit projections for each use. The projected future traffic will be combined with existing counts provided by the GDOT Traffic data website to predict total roadway traffic.

Passer-by traffic, is generally defined as traffic that is already on the roadway and contained in existing counts but will also be included in projected counts. A convenience store typically has a significant percentage as passerby traffic given that the existing neighborhood will utilize the facility. We expect that passer-by rate to be moderately high especially during AM and PM peak hours, so traffic projection impacts on the existing roadway will be reduced by 40%.

As shown the development will have access points from both Old Phoenix Road and New Phoenix Road. Old Phoenix Road is an established path of travel for traffic traveling back and forth between Lake Sinclair and Milledgeville area to the Lake Oconee area and is the primary contributor to the intersection. It is assumed that right turn and left turn traffic projected for the site will be split 50/50 and that the arriving traffic will be split 80/20 with 20% being the New Phoenix Road entry. Since most of the activity at the intersection occurs during the PM and PM peak hours, the focus of the impacts is evaluated for peak hour instead of the total day.

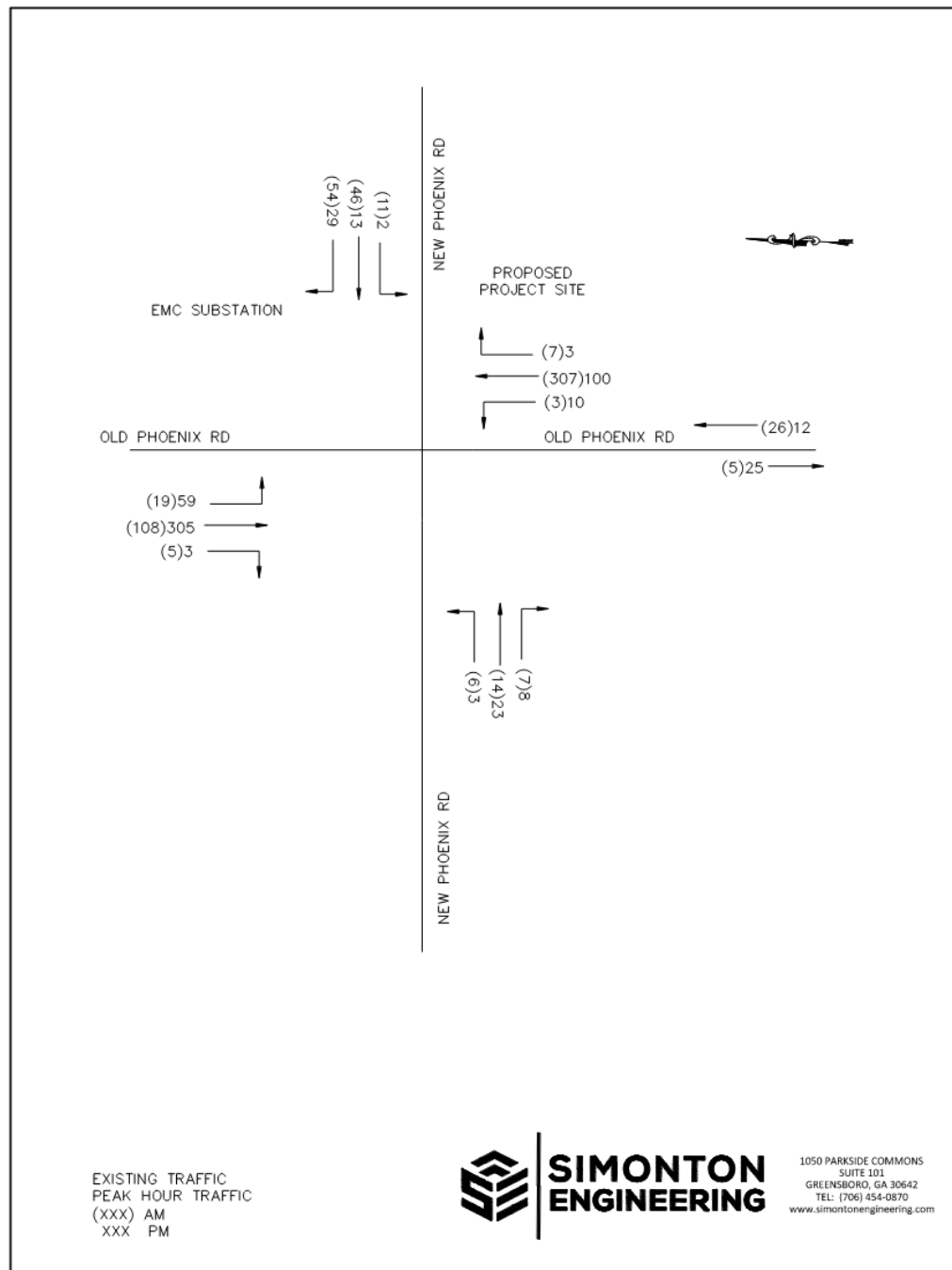
- Existing total daily trips through the intersection = 1,001 during the AM 2 hours and 998 in the PM 2 hour period.
- Projected Weekday two way Volume = $(7242 * 60\%)$ 4346 TPD
- Projected Peak Hour Total = $(250 * 60\%)$ 150 PM (TPH)
- Projected Enter/Exit Peak Hour Trips (PM)= 75 Enter 75 Exit during peak hour
- Old Phoenix Rd entry
 - Eastbound right turn arrivals (80% of 50%) = $(2,116 * 80\%)$ 1692 (TPD)
 - West bound left turn arrival (80% of 50%) = $(2,116 * 80\%)$ 1692 (TPD)
- New Phoenix Rd entry 1692
 - North bound right turn arrivals (20% of 50%) = $(2116 * 20\%)$ 423 (TPD)
 - South bound left turn arrivals (20% of 50%) = $(2116 * 20\%)$ = 423 (TPD)

Table 1 below provides a detailed traffic projection that includes the land use, the ITE code used for each, along with average daily volumes plus enter and exit projection for AM and PM Peak. The projected traffic contained in **Table 1** is for a 100% build-out.

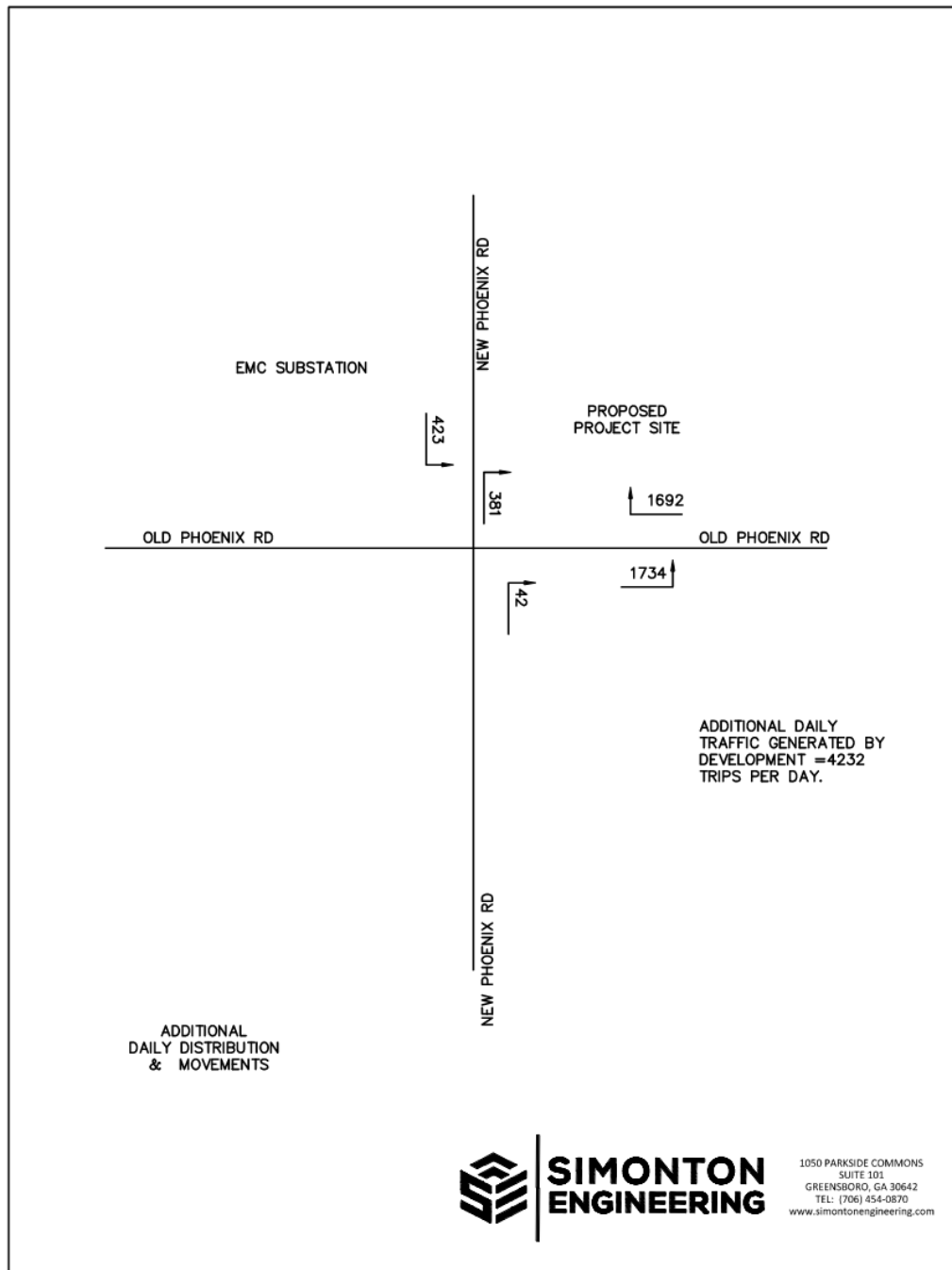
Table 1

Land Use	Total Trips	AM Peak Hour Enter/Exit	PM Peak Hour Enter/Exit	Peak Hour
Convenience Market with Gas Pumps ITE Code (853)	250	125	125	125

See below Figure for traffic distribution and Peak Hour project movements. The predominant movement at the intersection is very clear that evening traffic is north bound and evening traffic south bound on Old Phoenix Road. It is also very evident that the impacts of New Phoenix Road on the intersection is very minor. Based on the traffic through the intersection as shown above the all-way stop intersection is currently operating at average Level of Service (LOS) of A/B. The projected traffic for the traffic is substantial but approximately 40% of the projection is passer-by the LOS of the intersection is expected to change based on the proposed development, and will likely drop to a LOS of C.



Existing Peak Hour Movements for Project Figure 1



Projected Daily Traffic Movement

Turning Movement Evaluation

In order to fully evaluate the impacts on the local roadway the GDOT State Route Regulations were used that require the entrance to any development that connects to a state road will meet all state and local requirements for intersection design. As required by this provision the GDOT right turn and left turn standards were used to complete the evaluation of the entrance road on Old and New Pheonix Road for this project.

For the right turn evaluation the GDOT *Regulations for Driveway and Encroachment Control (Driveway manual)* revision 5.0, dated July 3, 2019, Section 4.9.1.1 of the manual was consulted

4.9.1.1 Minimum Requirements for Right Turn Deceleration Lanes

Right turn deceleration lanes must be constructed at no cost to the Department if the daily site generated Right Turn Volumes (RTV) based on ITE Trip Generation (assuming a reasonable distribution of entry volumes) meet or exceed the values shown in Table 4-6. Passing lane sections fall under the criteria for two or more lanes.

Posted Speed	2 Lane Routes		More than 2 Lanes on Main Road	
	AADT		AADT	
	< 6,000	>=6,000	<10,000	>=10,000
35 MPH or Less	200 RTV a day	100 RTV a day	200 RTV a day	100 RTV a day
40 to 50 MPH	150 RTV a day	75 RTV a day	150 RTV a day	75 RTV a day
55 to 60 MPH	100 RTV a day	50 RTV a day	100 RTV a day	50 RTV a day
>= 65 MPH	Always	Always	Always	Always

Table 4-6 Minimum Volumes Requiring Right Turn Lanes

Speed limit on Old Phoenix road is 55 MPH and daily traffic is well below the 6,000 AADT for a two-lane road. This development exceeds the threshold for requiring a right URN on both Old and New Phoenix Roads. Because of the limited room for roadway widening at the intersection, this should be worked out during the site design phase of the project.

For the left turn evaluation the GDOT *Regulations for Driveway and Encroachment Control (Driveway manual)* revision 5.0, dated July 3, 2019, Section 4.9.1.2 of the manual was consulted.

4.9.1.2 Minimum Requirements for Left Turn Lanes

Left turn lanes must be constructed at no cost to the Department if the daily site generated Left Turn Volumes (LTV) based on ITE Trip Generation (assuming a reasonable distribution of entry volumes) meet or exceed the values shown in Table 4-7a **Condition 1**. If the LTVs are below the requirements for **Condition 1**, the applicant may be required to construct a Right Hand Passing Lane (see **Figure 4-7** if they meet the criteria in Table 4-7b **Condition 2**). The District Traffic Engineer will use engineering judgment to determine if the field conditions would allow construction of the Right Hand Passing Lane. Passing lane sections fall under the criteria for two or more lanes.

Condition 1

LEFT TURN REQUIREMENTS-FULL CONSTRUCTION				
Posted Speed	2 Lane Routes		More than 2 Lanes on Main Road	
	ADT		ADT	
	<6,000	>=6,000	<10,000	>=10,000
35 MPH or Less	300 LTV a day	200 LTV a day	400 LTV a day	300 LTV a day
40 to 50 MPH	250 LTV a day	175 LTV a day	325 LTV a day	250 LTV a day
>= 55 MPH	200 LTV a day	150 LTV a day	250 LTV a day	200 LTV a day

Table 4-7a Minimum Volumes Requiring Left Turn Lanes

Condition 2

LEFT TURN REQUIREMENTS w/Right Hand Passing Lane Option		
Posted Speed	2 Lane Routes only	
	ADT	
	<4,000	>=4,000
35 MPH or Less	200 LTV a day	125 LTV a day
40 to 45 MPH	100 LTV a day	75 LTV a day
50 to 55 MPH	75 LTV a day	50 LTV a day

Table 4-7b Minimum Volumes Requiring Right Hand Passing Lanes

As noted above Old Pheonix Road has significantly less than the 6,000 ADT and has a posted speed limit of 55 MPH, which would require a center left turn lane if projected left turns exceeded 250 LTV per day under condition 1. Projected distribution does meet this threshold for requiring the center left turn lane. As stated above the lane additions should be addressed during the design phase of the project.

Conclusions & Recommendations

This study meets the requirements of the *Putnam County Traffic Impact Study* in that it assess and project's impact of the development on the existing infrastructure based on the projected site plan included. As noted above, both a right turn lane and a left turn lane is warranted on Old Phoenix Rd and New Phoenix Rd. During the site design phase we should consider one of the drives being limited access and the other being moved as far away from the intersection as possible.



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GEOGRAPHIC FEATURE LEGEND

- | | | | |
|-----------------|----------------------|------------------------------|--|
| Eatonton Limits | Agriculture/Forestry | Mixed Use | Residential |
| County Boundary | Commercial | Park/Recreation/Conservation | Transportation/Communication/Utilities |
| Roads | Industrial | Public/Institutional | Undeveloped/Vacant |
| Parcels | | | |
| Parcel Hooks | | | |



Middle Georgia Regional Commission
175 Emory Hwy
Suite C
Macon, Georgia 31217
(478) 751-8160
Web:
www.middlegeorgia.org

PUTNAM COUNTY, GEORGIA
FUTURE LAND USE MAPS



MAP 105

MAP SCALE: 1" = 400' SCALE RATIO: 1:4,800 DATE: JUNE 2025

File Attachments for Item:

7. Presentation of Proposed FY26 Budget (staff-CM & Fin)

2026 PUTNAM COUNTY BUDGET - EXHIBIT A

135

Fiscal Year October 1, 2025 to September 30, 2026

GENERAL FUND

GENERAL FUND REVENUES	Request	Proposed	Request	Proposed
Taxes	21,700,285	22,013,625		
Licenses and Permits	103,200	114,500		
Intergovernmental Revenues	362,407	372,407		
Charges for Services	3,369,300	3,430,800		
Fines	452,000	452,000		
Interest & Miscellaneous	560,000	563,000		
Transfer from Other Funds	362,123	405,123		
Appropriation from Fund Balance	8,375,917	1,097,032		
TOTAL GENERAL FUND REVENUES	35,285,232	28,448,487		

GENERAL FUND EXPENDITURES:

General Government			Public Safety		
District Commissioners	388,692	388,692	Sheriff and Jail Operations	6,346,665	6,056,874
Executive Officers	303,432	303,432	Fire Stations & Rescue	8,177,744	4,907,030
Board of Elections & Registration	331,821	331,821	Ambulance Service	3,187,213	2,799,713
Finance Department	401,777	401,777	Coroner	81,130	70,607
General Administration	1,128,500	1,162,650	Emergency Management	75,433	75,433
Legal Services	260,000	210,000	Total Public Safety	17,868,185	13,909,657
Human Resources	164,618	161,197			
Tax Commissioner	839,990	839,990	Public Works	3,467,105	2,208,513
Tax Assessors	1,007,442	981,691			
Board of Equalization	32,269	32,269	Health and Welfare		
Risk Management	450,000	450,000	Health Department	239,497	239,497
Public Buildings	977,918	810,368	Putnam General Hospital	2,000,000	800,000
Public Relations	241,605	236,562	Putnam Jasper Service Center	16,000	16,000
Total General Government	6,528,064	6,310,449	Family & Children's Services	32,078	32,078
			Indigent Burial	1,200	1,200
Judicial			Public Transit System	434,385	434,385
Superior Court	40,100	44,600	Total Health & Welfare	2,723,160	1,523,160
Superior Court-Ocmulgee Circuit	108,941	108,941			
Clerk of Superior Court & Image Acc.	646,262	631,262	Cultural and Recreational		
District Attorney	235,222	235,222	Recreation	1,139,184	1,123,184
State Court	126,651	126,651	Uncle Remus Golf Course	776,808	756,298
State Court Judge's Office	126,244	126,244	Total Culture and Recreation	1,915,992	1,879,482
Magistrate Court	347,998	347,998			
Probate Court	311,283	311,283	Development		
Juvenile Court	81,614	81,614	County Extension Service	57,695	57,695
Juvenile Prosecutor's Office	18,000	18,000	Planning & Development	119,350	119,350
Juvenile Court-Ocmulgee Circuit	51,022	51,022	Putnam Development Authority	275,000	120,000
Public Defender's Office	144,855	144,855	Edgewater Event Center	92,489	92,489
Total Judicial	2,238,192	2,227,692	Total Development	544,534	389,534
			TOTAL GENERAL FUND EXPENSES	35,285,232	28,448,487

2026 PUTNAM COUNTY BUDGET - EXHIBIT A

136

Fiscal Year October 1, 2025 to September 30, 2026

SPECIAL REVENUE FUNDS

	Request	Request	Proposed	Proposed
	<u>Revenues</u>	<u>Expenditures</u>	<u>Revenues</u>	<u>Expenditures</u>
Law Library Fund	15,225	15,225	15,225	15,225
Jail Fund	74,700	74,700	74,700	74,700
Juvenile Services Fund	8,000	8,000	8,000	8,000
Drug Abuse Education & Treatment Fund	165,878	165,878	171,382	171,382
Drug Confiscation Fund	50,000	50,000	50,000	50,000
Federal Forfeiture Fund	1,010	1,010	1,010	1,010
Emergency 911 Fund	586,708	586,708	471,880	471,880
Hotel/Motel Tax Fund	1,187,000	1,187,000	1,187,000	1,187,000
Local Maintenance Improvement Grant	632,000	632,000	632,000	632,000
Juvenile Prosecutors Fund	226,100	226,100	265,047	226,100

SPECIAL SERVICE DISTRICT FUND

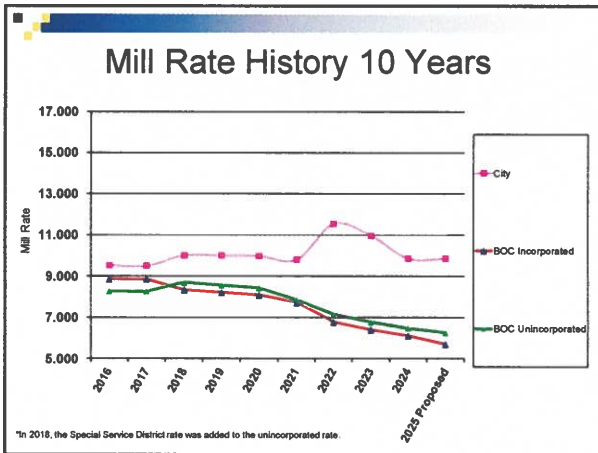
	Request	Request
	<u>Revenues</u>	<u>Revenues</u>
Taxes	2,700,150	3,169,778
License & Permits	812,000	893,600
Charges for Services	86,051	86,051
Fines	0	0
Interest & Miscellaneous	70,000	70,000
Donations	0	0
Appropriation from Fund Balance	602,956	0
Special Service District Revenues	4,271,157	4,219,429
	<u>Expenditures</u>	<u>Expenditures</u>
Middle GA Regional Commission	21,765	21,765
Animal Services	315,030	315,030
Animal Services - City	76,851	76,851
Recyclables Collections	1,860,250	1,860,250
Senior Citizens Program	30,000	30,000
Eatonton Public Library	208,940	208,940
Planning & Development & Code Enforcement	1,758,321	1,437,748
Special Service District Expenditures	4,271,157	3,950,584

ENTERPRISE FUNDS

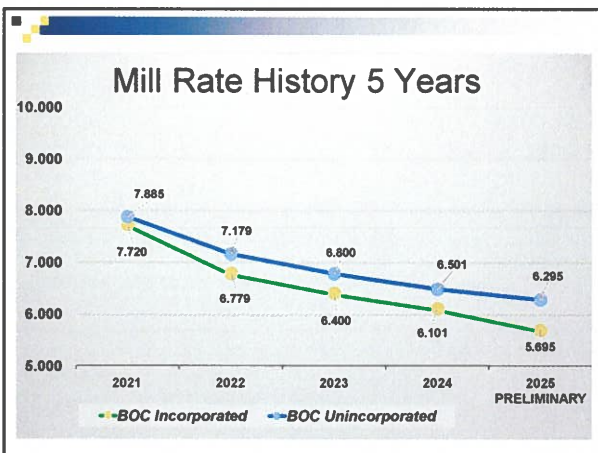
	Request	Request	Proposed	Proposed
	<u>Revenues</u>	<u>Expenses</u>	<u>Revenues</u>	<u>Expenses</u>
Solid Waste Fund	110,000	110,000	110,000	110,000
Oconee Springs Park Fund	662,686	662,686	662,686	662,686



1



2



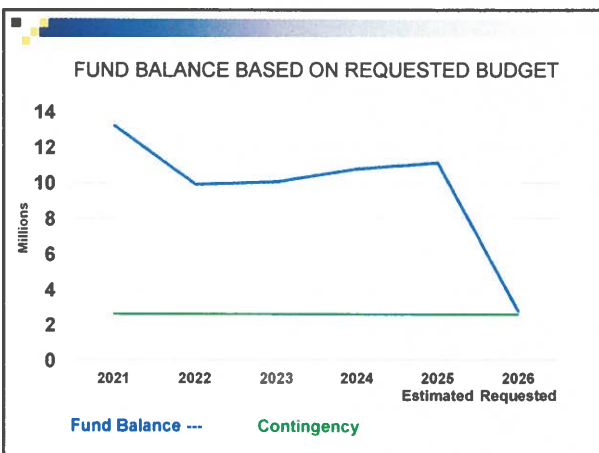
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REVENUE FROM TAX DIGEST			
Tax levy is stated by calendar year			Fiscal Year (Budget)
Year	Tax Levy	% Change	
2021	11,415,035	2.03%	2022
2022	12,019,908	5.30%	2023
2023	13,705,989	14.03%	2024
2024	14,311,182	4.42%	2025
2025	14,602,450	2.00%	2026

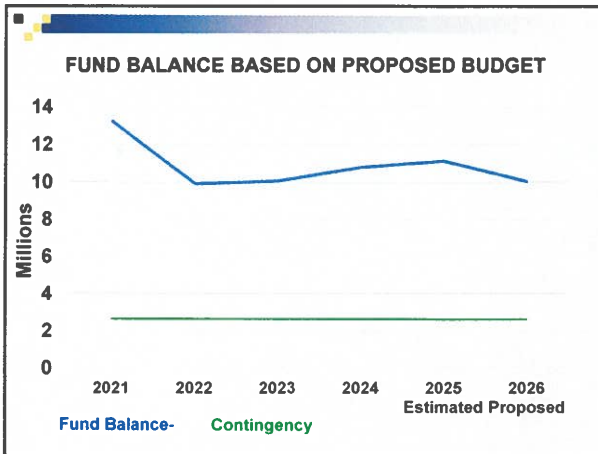
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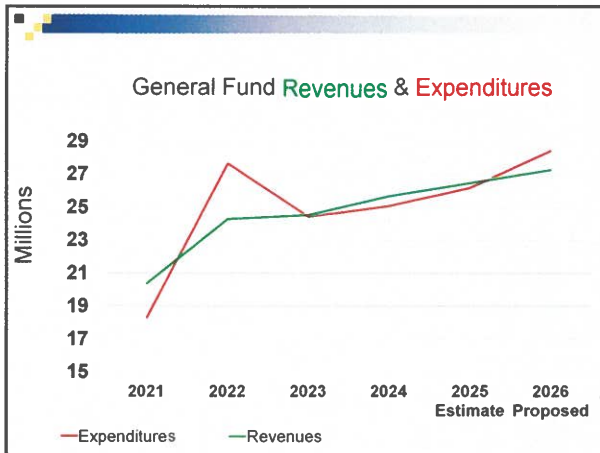
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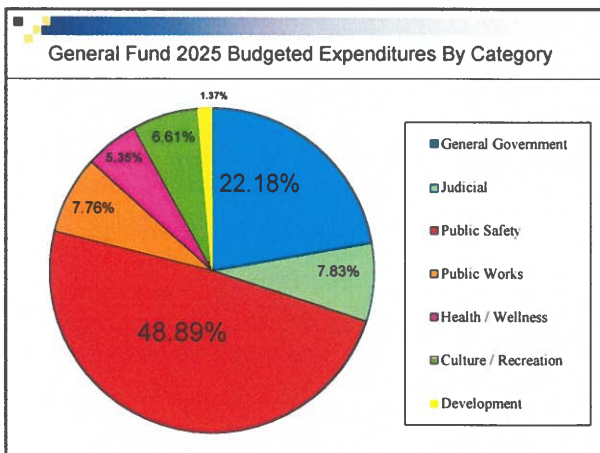
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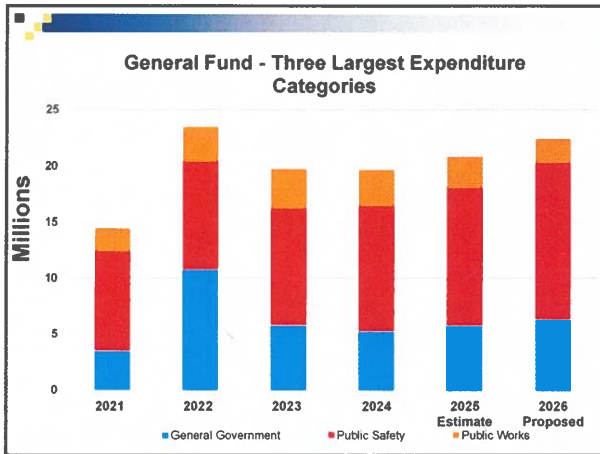
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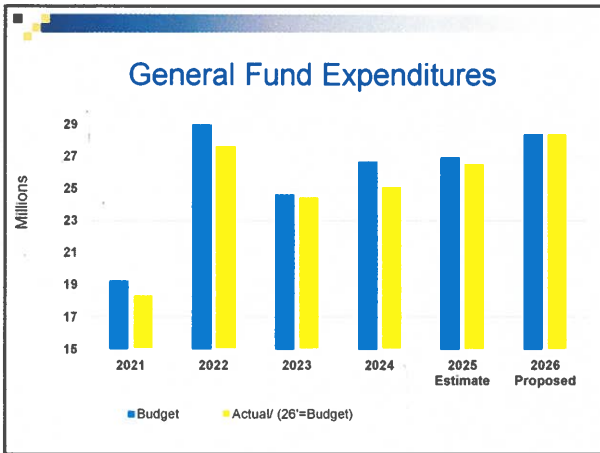
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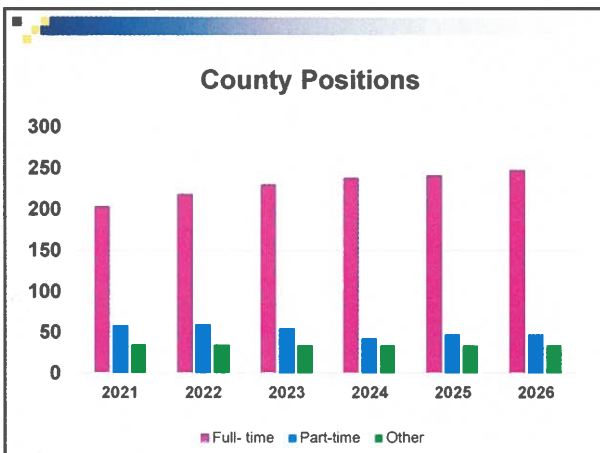
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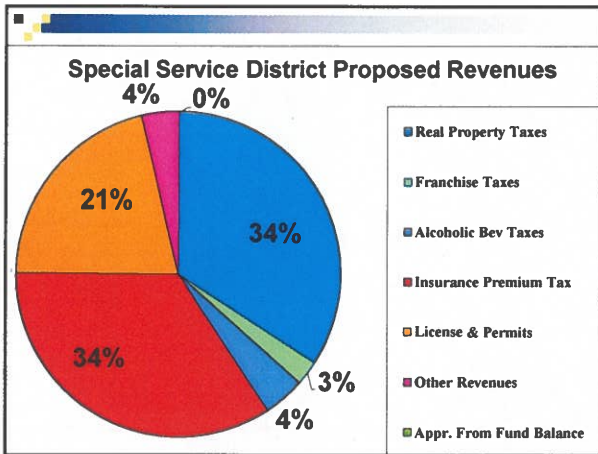
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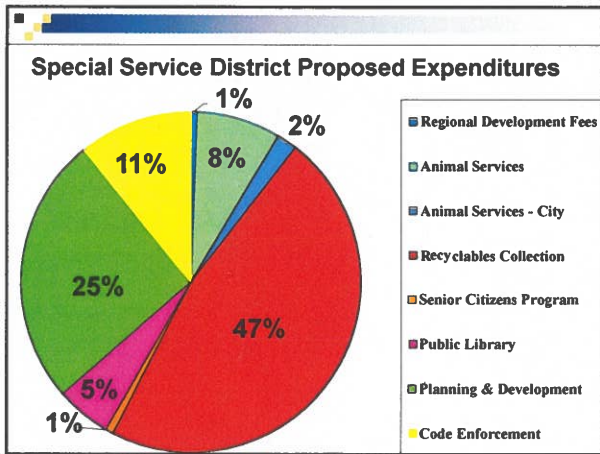
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File Attachments for Item:

10. Proposed Abandonment of Joe Wooten Road

ROAD ABANDONMENT CHECKLIST

Name of Road Joe Wooten Road

When there is a request to abandon a county road the following steps must be followed:

1. The Board of Commissioners must approve beginning the process at a regular board meeting.

Completed ☒

Date 6-24-2025

2. A "Notice of Intent to Abandon A County Road" must be published in the legal organ of the county for two weeks.

Completed ☒

Dates 7-24-2025 & 7-31-2025

3. Post signs at each end of the road proposed to be abandoned.

Completed ☒

Date _____

4. Public hearing is held.

Completed ☐

Date 8-19-2025

5. Board of Commissioners approves Certification of Road Abandonment at a regular board meeting.

Completed ☐

Date _____

- a. A copy of the certification and plat is mailed to the property owner(s).

Completed ☐

Date _____

- b. A copy of the certification and plat is published in the county's legal organ for two weeks.

Completed ☐

Dates _____

6. Board of Commissioners declares road abandoned and authorizes Chairman to sign affidavit of abandonment (and, if needed, resolution conveying land to property owner and quit-claim deed) at a regular board meeting.

Completed ☐

Date _____

- a. County attorney prepares an affidavit of abandonment (and, if needed, resolution and quit-claim deed), to be executed by the Chairman, and files the affidavit and quit-claim deed with the Putnam County Superior Court.

Completed ☐

Date _____

8. **Approval of beginning the process of Road Abandonment for Wooten Road and Joe Wooten Road (JW)**

Mr. Billy Webster commented on various things to consider when abandoning a road, such as not isolating or landlocking any landowner and the impact on mail delivery services.

Commissioner Wooten commented that his family was always under the impression it was a private road and explained the history of maintaining farm roads for feed and milk trucks when agriculture was very important to the county. His family never found evidence showing the road was deeded to the county. He addressed the concerns regarding any isolated landowners, confirming there will be an easement given to the specific landowner in question, and confirmed that there are no mailboxes or school buses travelling on this road.

Motion to approve starting the process for road abandonment for Wooten Road and Joe Wooten Road.

Motion made by Commissioner Wooten, Seconded by Commissioner Garrett.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Wooten

9. Declaration of Road Abandonment of a segment of Napier Mill Road and authorization for Chairman to sign required documents (staff-CC)

Motion to approve the Declaration of Road Abandonment of a segment of Napier Mill Road and authorization for Chairman to sign required documents.

Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Wooten
(Copy of documents made a part of the minutes on minute book pages _____ to _____.)

10. Authorization for Chairman to sign Intergovernmental Agreement for the Use and Distribution of Proceeds from SPLOST 10 (staff-CM)

Mr. Jim Berardicurti asked several questions about the different proposals in the meeting packet and commented on the state of the roads.

Commissioner Hersey arrived at 6:39 p.m.

Ms. Jennifer Ray showed photos and commented on road conditions.

Mr. Billy Webster submitted a handout and read a letter from the Pine Forest Property Owners Association supporting Commissioner Hersey’s SPLOST 10 proposal.

County Manager Van Haute compared the two project lists and explained that one was discussed by the whole board at meetings and the other is Commissioner Hersey’s proposal. He also explained that no roads were included on the initial list because TSPLOST #3 will be coming soon.

Minutes	Page 3 of 7	Approved
June 24, 2025		July 15, 2025

PUTNAM COUNTY BOARD OF COMMISSIONERS



117 Putnam Drive, Suite A ♦ Eatonton, GA 31024
706-485-5826
www.putnamcountyga.us

NOTICE OF INTENT TO ABANDON A COUNTY ROAD

Pursuant to O.C.G.A. Section 32-7-1 and 32-7-2, notice is given that Putnam County will consider the abandonment of **Joe Wooten Road**, depicted as beginning at Point 56 and running to Point 49, being bound on the South by Points 47, 48, 83, 86, 87, and 91-95, on plat of survey, prepared by Byron L. Farmer, R.L.S. No. 1679, dated December 26, 2000, and recorded in the Clerk of the Superior Court of Putnam County, Georgia, in Plat Book 27, Page 8, reference to said plat being made for a more complete description of the property.

It appears the roadway proposed to be abandoned serves no public purpose and it is otherwise in the best interest of the County to abandon the same. If abandoned, this road shall no longer be part of the county road system and the rights of the public in and to the section of road, as a public road shall cease.

A public hearing will be held on August 19, 2025 at 6:00 p.m.* in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024 regarding the abandonment of this county road. The public is invited to express any concerns regarding Putnam County's determination.

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The Board of Commissioners reserves the right to continue the hearing to another time and place in the event the number of people in attendance at the hearing, including the Board of Commissioners, staff, and members of the public exceeds the legal limits. Hearings will be conducted pursuant to O.C.G.A. 50-14-1 and Section 2-42 of the Putnam County Code of Ordinances.

*Start time may be delayed if another public hearing is scheduled prior to this meeting.

07/24/2025 & 07/31/2025

Legal Advertisements

LEGAL ADVERTISING FOR PUTNAM COUNTY, GEORGIA

LEGAL RATES

EFFECTIVE JULY 1, 2025. LEGAL RATES ARE \$15 per 100 words multiplied by number of insertions up to 4. The following table are flat rate:

Divorce	Run 2 Weeks	\$120*
Trade Name Affidavit	Run 2 Weeks	\$40
Articles of Amendment		\$40
Articles of Merger		\$40
Notice of Incorporation	Run 2 Weeks	\$40
Intent to Dissolve	Run 2 Weeks	\$40
Petition to Adopt	Run 3 Weeks	\$135*
County Beer Application		\$40
City Beer Application		\$40
Notice to Debtors & Creditors	Run 4 Weeks	\$60*
Name Change	Run 4 Weeks	\$110*
Appointed Administrator	Run 4 Weeks	\$180*
Petition for Support	Run 4 Weeks	\$180*

*Provided the total number of words are not exceeded.

Your legal advertising is important to us. You may submit your legal in any of the following ways:

Bring your legal to:
100 N. Jefferson Ave.
Eatonton GA 31024

Mail your legal to:
P.O. Box 4027
Eatonton, GA 31024
(Please allow 5 days to reach us by deadline)

Fax your legal to:
706.485.4166

E-mail your legal to:
msgr@msgr.com
(Word or Word Perfect or text format ONLY)

Affidavits of publication will be provided upon request for a fee of \$25.

THE LEGAL DEADLINE FOR THURSDAY PUBLICATIONS IS MONDAYS AT 12:00 NOON, EXCEPT FOR FORTNIGHTLY NOTICES, WHICH ARE DUE BY 12:00 NOON FRIDAY BEFORE PUBLICATION. A \$20 CANCELLATION FEE WILL BE CHARGED FOR ALL LEGAL ADS THAT ARE CANCELED AFTER THE FIRST INSERTION DATE. THE CANCELLATION DEADLINE FOR ALL ADVERTISEMENTS IS MONDAY PRIOR TO PUBLICATION BY 12:00 NOON. THE ORIGINAL REQUEST FOR CANCELLATION MUST BE IN PERSON OR VIA U.S. MAIL AND MAY ONLY BE CANCELED BY THE PARTY WHICH SUBMITTED THE LEGAL FOR ADVERTISEMENT. IT MUST BE ON LETTERHEAD OF THE ATTORNEY'S OFFICE THAT INITIALLY PLACED THE LEGAL. TO VIEW LEGALS ONLINE GO TO: WWW.GEORGIAPUBLICNOTICE.COM

905-Construction/Service Bids

INVITATION TO BID BID NO.: 25-42001-001

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Full Depth Reclamation of Harmony Road, Dennis Station Road, Nahall Drive, Wards Chapel Road, Crooked Creek Road, and Little Circle Using High Performance Paving. The project consists of approximately 13.8 miles of full depth reclamation on various county roads using high performance paving. Contractors must be CDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:00 P.M. on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandersonville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@netatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@netatl.com no later than Thursday, August 14, 2025. All questions must be sent via email no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supersede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option

to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-02-14c

INVITATION TO BID BID NO.: 25-42001-002

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Resurfacing of Denham Road, Old Capelan Road, Quail Knoll Road, Carter Dranman Road, Lakeview Lane, Lakewood Drive, Willow Forest Road, Willow Trace Court, Bark Circle, Shoreline Court, and Cold Branch Road. The project consists of approximately 12.30 miles of patching and resurfacing various county roads, shoulder clipping, rebuilding to a maximum 5-foot wide, grading, and striping. Contractors must be CDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:15 P.M. on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandersonville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@netatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@netatl.com no later than Thursday, August 14, 2025. All questions must be sent via email no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supersede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option

to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-02-14c

INVITATION TO BID BID NO.: 25-42001-003

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Guardrail Replacement on Parks Mill Road at Lake Oconee. The project consists of approximately 0.241 miles of guardrail removal and replacement on Parks Mill Road at the bridge over Lake Oconee. Contractors must be CDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:30 P.M. on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate and include:
1. Completed Bid Form
2. Bid Bond, Certified Check or Cashier's Check
3. Contractor Affidavit and Agreement
4. Subcontractor Affidavit and Agreement
5. Prime Contractor Certification of Non-Segregated Facilities
6. Subcontractor Certification of Non-Segregated Facilities
7. References
8. List of Subcontractors
9. Schedule of items
All suppliers must submit with bid, a bid bond, certified check or cashier's check in the amount of five percent (5%) of the total bid. Failure to submit a bid bond with the proper rating will result in the bid being deemed non-responsive. Successful supplier will be required to meet insurance requirements, submit a one hundred percent (100%) performance bond and a one hundred percent (100%) payment bond. Insurance and Bonding Company must be licensed to do business by the Georgia Secretary of State, authorized to do business in Georgia by The Georgia Insurance Department, listed in the Department of Treasury's Publication of Companies Accepting Certificates of Authority as Acceptable Surety on Federal Bonds and as acceptable reinsuring companies. The bid bond, payment bond, and performance bond must have an A.M. Best rating of A-10 or higher.

Individuals, firms and businesses seeking an award of a Putnam County contract may not initiate or continue any verbal or written communications regarding a solicitation with any county officer, elected official, employee or other Putnam County representative without permission of the County Manager. If determined that such communication has compromised the competitive process, the offer submitted by the individual, firm or business may be disqualified from consideration for award. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandersonville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@netatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@netatl.com no later than Thursday, August 14, 2025. All questions must be sent via email no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supersede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-02-14c

906-Corporations, Business Organizations

APPLICATION TO REGISTER A BUSINESS TO BE CONDUCTED UNDER TRADE NAME

STATE OF GEORGIA
COUNTY OF PUTNAM
The undersigned hereby certifies that he is conducting a business in the City of Eatonton, County of Putnam, State of Georgia, under the trade name Cypress Springs Creative and that the nature of the business is: social media marketing for small businesses and that said business is composed of the following person: Catherine Hancock, 153 Shadydale Road, Eatonton, GA.
This affidavit is made in compliance with GA Code Annotated, Title 10, Chapter 1, Section 490.
07-24-31p

907-Debtors and Creditors

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25S00607
All debtors and creditors of the Estate of Kenneth Paul Watson, deceased, late of Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payment to the Personal Representative(s).
This 24th day of June, 2025.
Tammy G. Alliston
135 Hunts Chapel Road
Eatonton, Georgia 31024
Personal Representative in the Estate of
Steven Lynn Alliston
07-03-10-17-24c

are required to make immediate payment to the Personal Representative(s).
This 26th day of June, 2025.
Sarah L. Watson
305 Carriage Way
Eatonton, Georgia 31024
Personal Representative in the Estate of
Kenneth Paul Watson
07-03-10-17-24c

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25S00051
All debtors and creditors of the Estate of Steven Lynn Alliston, deceased, late of Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payment to the Personal Representative(s).
This 24th day of June, 2025.
Tammy G. Alliston
135 Hunts Chapel Road
Eatonton, Georgia 31024
Personal Representative in the Estate of
Steven Lynn Alliston
07-03-10-17-24c

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25S00606
All debtors and creditors of the Estate of Hugh Harold Harris, deceased, late of Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate

ADVERTISEMENT FOR BIDS

Sealed proposals will be received by the City of Eatonton, located at Eatonton City Hall, 201 North Jefferson Avenue, Eatonton, Georgia 31024 on August 21st, 2025 until 2:00 p.m. local time for the Briar Patch Trail Phase II.

The work to be performed consists of furnishing all labor and materials to complete the Briar Patch Trail Phase II. More specifically, the project will consist of installation of approximately 2,900 LF of multi-use trail and trail construction improvements including 1,700 S.Y. of crusher run trail, 1,300 S.Y. of previous asphalt binder trail, a pedestrian bridge, trail signage, informational kiosks, benches, exercise stations, associated drainage improvements, and other improvements typically included in a multi-use trail construction project.

Plans, Specifications, and Contract documents are open to public inspection at the Eatonton City Hall, 201 North Jefferson Avenue, Eatonton, Georgia 31024, Dodge Data and Analytics, ConstructConnect, and Simonon Engineering, LLC, 1050 Parkside Commons, Suite 101, Greensboro, Georgia 30642. Copies of the Plans, Specifications and Contract Documents may be obtained by contacting Simonon Engineering, LLC, admin@simononeng.com, 1050 Parkside Commons, Suite 101, Greensboro, Georgia 30642, (706) 454-0870, and by depositing a non-refundable Fifty Dollar (\$50.00) for electronic (PDF) set of plans and One Hundred Dollar (\$100.00) for each set of printed plans requested.

Each Contractor must prequalify for bid by submitting a completed "Statement of Bidder Qualifications" form supplied by the Engineer. Bids will be accepted from prequalified bidders only.

Bids must be accompanied by a certified check or bid bond in an amount equal to at least five percent (5%) of total amount bid for the completed work.

No bids may be withdrawn for a period of sixty (60) days after the closing time schedule for receipt of bids.

A non-mandatory pre-bid meeting is scheduled for August 7th, 2025 at 2:00 p.m. at the Eatonton City Hall, 201 North Jefferson Avenue, Eatonton, Georgia 31024.

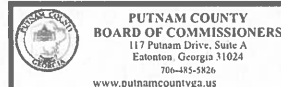
The Owner reserves the right to accept or reject any or all bids and to waive informalities. Award of the contract, if it is awarded, will be to the lowest responsible bidder.

NOTE: Plans and Specifications must be obtained no later than five (5) working days before the bid date. No exceptions.



NOTICE OF INTENT TO ABANDON A COUNTY ROAD

Pursuant to O.C.G.A. Section 32-7-1 and 32-7-2, notice is given that Putnam County will consider the abandonment of Joe Wooten Road, depicted as beginning at Point 56 and running to Point 49, being bound on the South by Points 47, 48, 83, 86, 87, and 91-95, on plat of survey, prepared by Byron L. Farmer, R.L.S. No. 1679, dated December 26, 2000, and recorded in the Clerk of the Superior Court of Putnam County, Georgia, in Plat Book 27, Page 8, reference to said plat being made for a more complete description of the property.
It appears the roadway proposed to be abandoned serves no public purpose and it is otherwise in the best interest of the County to abandon the same. If abandoned, this road shall no longer be part of the county road system and the rights of the public in and to the section of road, as a public road shall cease.
A public hearing will be held on August 19, 2025 at 6:00 p.m. in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024 regarding the abandonment of this county road. The public is invited to express any concerns regarding Putnam County's determination.
Persons with special needs relating to handicapped accessibility shall contact the ADA Compliance Officer, at least five business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.
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*Start time may be delayed if another public hearing is scheduled prior to this meeting.
07/24/2025 & 07/31/2025



NOTICE OF INTENT TO ABANDON A COUNTY ROAD

Pursuant to O.C.G.A. Section 32-7-1 and 32-7-2, notice is given that Putnam County will consider the abandonment of Wooten Road, depicted as running along Points 1 through 12 on plat of survey, prepared by Byron L. Farmer, R.L.S. No. 1679, dated December 26, 2000, and recorded in the Clerk of the Superior Court of Putnam County, Georgia, in Plat Book 27, Page 8, reference to said plat being made for a more complete description of the property.
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07/24/2025 & 07/31/2025

07/24/2025 & 07/31/20



Notice is given that Putnam County will consider the abandonment of a Joe Woolen Rd.

A public hearing will be held on August 19, 2025 at 6:00 p.m. in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024 regarding the abandonment of this county road.

The public is invited to express any concerns regarding Putnam County's determination.

File Attachments for Item:

11. Proposed Abandonment of Wooten Road

ROAD ABANDONMENT CHECKLIST

Name of Road Wooten Road

When there is a request to abandon a county road the following steps must be followed:

1. The Board of Commissioners must approve beginning the process at a regular board meeting.

Completed ☒ Date 6-24-2025

2. A "Notice of Intent to Abandon A County Road" must be published in the legal organ of the county for two weeks.

Completed ☒ Dates 7-24-2025 & 7-31-2025

3. Post signs at each end of the road proposed to be abandoned.

Completed ☒ Date _____

4. Public hearing is held.

Completed ☐ Date 8-19-2025

5. Board of Commissioners approves Certification of Road Abandonment at a regular board meeting.

Completed ☐ Date _____

- a. A copy of the certification and plat is mailed to the property owner(s).

Completed ☐ Date _____

- b. A copy of the certification and plat is published in the county's legal organ for two weeks.

Completed ☐ Dates _____

6. Board of Commissioners declares road abandoned and authorizes Chairman to sign affidavit of abandonment (and, if needed, resolution conveying land to property owner and quit-claim deed) at a regular board meeting.

Completed ☐ Date _____

- a. County attorney prepares an affidavit of abandonment (and, if needed, resolution and quit-claim deed), to be executed by the Chairman, and files the affidavit and quit-claim deed with the Putnam County Superior Court.

Completed ☐ Date _____

8. **Approval of beginning the process of Road Abandonment for Wooten Road and Joe Wooten Road (JW)**

Mr. Billy Webster commented on various things to consider when abandoning a road, such as not isolating or landlocking any landowner and the impact on mail delivery services.

Commissioner Wooten commented that his family was always under the impression it was a private road and explained the history of maintaining farm roads for feed and milk trucks when agriculture was very important to the county. His family never found evidence showing the road was deeded to the county. He addressed the concerns regarding any isolated landowners, confirming there will be an easement given to the specific landowner in question, and confirmed that there are no mailboxes or school buses travelling on this road.

Motion to approve starting the process for road abandonment for Wooten Road and Joe Wooten Road.

**Motion made by Commissioner Wooten, Seconded by Commissioner Garrett.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Wooten**

9. Declaration of Road Abandonment of a segment of Napier Mill Road and authorization for Chairman to sign required documents (staff-CC)

Motion to approve the Declaration of Road Abandonment of a segment of Napier Mill Road and authorization for Chairman to sign required documents.

**Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Wooten**
(Copy of documents made a part of the minutes on minute book pages _____ to _____.)

10. Authorization for Chairman to sign Intergovernmental Agreement for the Use and Distribution of Proceeds from SPLOST 10 (staff-CM)

Mr. Jim Berardicurti asked several questions about the different proposals in the meeting packet and commented on the state of the roads.

Commissioner Hersey arrived at 6:39 p.m.

Ms. Jennifer Ray showed photos and commented on road conditions.

Mr. Billy Webster submitted a handout and read a letter from the Pine Forest Property Owners Association supporting Commissioner Hersey's SPLOST 10 proposal.

County Manager Van Haute compared the two project lists and explained that one was discussed by the whole board at meetings and the other is Commissioner Hersey's proposal. He also explained that no roads were included on the initial list because TSPLOST #3 will be coming soon.

Minutes	Page 3 of 7	Approved
June 24, 2025		July 15, 2025



117 Putnam Drive, Suite A ♦ Eatonton, GA 31024
706-485-5826
www.putnamcountyga.us

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Notice of Incorporation	Runs 2 Weeks.....\$40
Inten to Dissolve	Runs 2 Weeks.....\$40
Petition to Adopt	Runs 3 Weeks.....\$135*
County Bar Application\$40
City Tree Application\$30
Notice to Defer to Creditors	Runs 4 Weeks.....\$60*
Name Change	Runs 4 Weeks.....\$120*
Appointed Administrator	Runs 4 Weeks.....\$180*
Petition Year Support	Runs 4 Weeks.....\$180*

*Provided the usual number of words are not exceeded.

Your legal advertising is important to us. You may submit your legals in any of the following ways:

Bring your legals to:
100 N. Jefferson Ave.
Eatonton GA 31024

Mail your legals to:
P.O. Box 4027
Eatonton, GA 31024
(Please allow 5 days to
reach us by deadline)

Fax your legals to:
706.485.4166

E-mail your legals to:
mrg@mtmr.com
(Word or Word Perfect or
text format ONLY)

Affidavits of
publication will be
provided upon request
for a fee of \$25.

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to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-0714c

INVITATION TO BID BID NO.: 25- 42001-002

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Resurfacing of Denham Road, Old Copelan Road, Quail Knoll Road, Carter Dearman Road, Lakeview Lane, Lakeview Drive, Willow Forest Road, Willow Trace Court, Bark Circle, Shoreline Court, and Cold Branch Road. The project consists of approximately 12.30 miles of patching and resurfacing various county roads, shoulder clipping, regrading to a maximum 5-foot wide, grading, and striping. Contractors must be GDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:00 P.M. on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandsville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@netatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@netatl.com no later than Thursday, August 14, 2025. All questions must be sent via email no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supercede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option

to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-0714c

INVITATION TO BID BID NO.: 25- 42001-003

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Guardrail Replacement on Parks Mill Road at Lake Oconee. The project consists of approximately 0.241 miles of guardrail removal and replacement on Parks Mill Road at the bridge over Lake Oconee. Contractors must be GDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:30 P.M. on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate and include:

1. Completed Bid Form
2. Bid Bond, Certified Check or Cashier's Check
3. Contractor Affidavit and Agreement
4. Subcontractor Affidavit and Agreement
5. Prime Contractor Certification of Non-Segregated Facilities
6. Subcontractor Certification of Non-Segregated Facilities
7. References
8. List of Subcontractors
9. Schedule of Items

All suppliers must submit with bid, a bid bond, certified check or cashier's check in the amount of five percent (5%) of the total bid. Failure to submit a bid bond with the proper rating will result in the bid being deemed non-responsive. Successful supplier will be required to meet insurance requirements, submit a one hundred percent (100%) performance bond and a one hundred percent (100%) payment bond. Insurance and Bonding Company must be licensed to do business by the Georgia Insurance Department, listed in the Department of Treasury's Publication of Companies holding Certificates of Authority as Acceptable-Surety and as acceptable reinsurance companies. The bid bond, payment bond, and performance bond must have an A.M. Best rating of A-10 or higher.

Individuals, firms and businesses seeking an award of a Putnam County contract may not initiate or continue any verbal or written communications regarding a solicitation with any county officer, elected official, employee or other Putnam County representative without the permission of the County named in the solicitation between the date of the issuance of the solicitation and the date of the final contract award by the county. Violations will be reviewed by the County Manager. If determined that such communication has compromised the competitive process, the offer submitted by the individual, firm or business may be disqualified from consideration for award. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandsville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@netatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@netatl.com no later than Thursday, August 14, 2025. All questions must be sent via email no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supercede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-0714c

906-Corporations, Business Organizations

APPLICATION TO REGISTER A BUSINESS TO BE CONDUCTED UNDER TRADE NAME

STATE OF GEORGIA
COUNTY OF PUTNAM
The undersigned hereby certifies that she is conducting a business in the City of Eatonton, County of Putnam, State of Georgia, under the trade name: Cypress Springs Creative and that the nature of the business is: social media marketing for small businesses and that said business is composed of the following person: Catherine Hancock, 153 Shadydale Road, Eatonton, GA.

This affidavit is made in compliance with GA Code Annotated, Title 10, Chapter 1, Section 490.
07-24-31p

907-Debtors and Creditors

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25ES0067
All debtors and creditors of the late of Kenneth Paul Ward, deceased, late of Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payment to the Personal Representative(s).
The 26th day of June, 2025.
Tammy G. Allston
135 Harris Chapel Road
Eatonton, Georgia 31024
Personal Representative
in the Estate of
Steven Lynn Allston
07-03-10-1724c

are required to make immediate payment to the Personal Representative(s).
This 26th day of June, 2025.
Sarah L. Watson
305 Carriage Way
Eatonton, Georgia 31024
Personal Representative
in the Estate of
Kenneth Paul Watson
07-03-10-1724c

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25ES0051
All debtors and creditors of the late of Steven Lynn Allston, deceased, late of Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payment to the Personal Representative(s).
The 26th day of June, 2025.
Tammy G. Allston
135 Harris Chapel Road
Eatonton, Georgia 31024
Personal Representative
in the Estate of
Steven Lynn Allston
07-03-10-1724c

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25ES0060
All debtors and creditors of the late of Kenneth Paul Ward, deceased, late of Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payment to the Personal Representative(s).
The 26th day of June, 2025.
Tammy G. Allston
135 Harris Chapel Road
Eatonton, Georgia 31024
Personal Representative
in the Estate of
Steven Lynn Allston
07-03-10-1724c

ADVERTISEMENT FOR BIDS

Sealed proposals will be received by the City of Eatonton, located at Eatonton City Hall, 201 North Jefferson Avenue, Eatonton, Georgia 31024 on August 21st, 2025 until 2:00 p.m. local time for the Briar Patch Trail Phase II.

The work to be performed consists of furnishing all labor and materials to complete the Briar Patch Trail Phase II. More specifically, the project will consist of installation of approximately 2,900 LF of multi-use trail and trail construction improvements including 1,700 S.Y. of crusher run trail, 1,300 S.Y. of previous asphalt binder trail, a pedestrian bridge, trail signage, informational kiosks, benches, exercise stations, associated drainage improvements, and other improvements typically included in a multi-use trail construction project.

Plans, Specifications, and Contract documents are open to public inspection at the Eatonton City Hall, 201 North Jefferson Avenue, Eatonton, Georgia 31024, Dodge Data and Analytics, ConstructConnect, and Simon Engineering, LLC, 1050 Parkside Commons, Suite 101, Greensboro, Georgia 30642. Copies of the Plans, Specifications, and Contract Documents may be obtained by contacting Simon Engineering, LLC, admin@simontong.com, 1050 Parkside Commons, Suite 101, Greensboro, Georgia 30642, (766) 454-0870, and by depositing a non-refundable Fifty Dollar (\$50.00) for electronic (PDF) set of plans and One Hundred Dollar (\$100.00) for each set of printed plans required.

Each Contractor must prequalify for bid by submitting a completed "Statement of Bidder Qualifications" form supplied by the Engineer. Bids will be accepted from prequalified bidders only.

Bids must be accompanied by a certified check or bid bond in an amount equal to at least five percent (5%) of total amount bid for the completed work.

No bids may be withdrawn for a period of sixty (60) days after the closing time schedule for receipt of bids.

A non-mandatory pre-bid meeting is scheduled for August 7th, 2025 at 2:00 p.m. at the Eatonton City Hall, 201 North Jefferson Avenue, Eatonton, Georgia 31024.

The Owner reserves the right to accept or reject any or all bids and to waive informalities. Award of the contract, if it is awarded, will be to the lowest responsible bidder.

NOTE: Plans and Specifications must be obtained no later than five (5) working days before the bid date. No exceptions.



**PUTNAM COUNTY
BOARD OF COMMISSIONERS**
117 Putnam Drive, Suite A
Eatonton, Georgia 31024
706-485-5826
www.putnamcountygva.us

NOTICE OF INTENT TO ABANDON A COUNTY ROAD

Pursuant to O.C.G.A. Section 32-7-1 and 32-7-2, notice is given that Putnam County will consider the abandonment of Joe Wooten Road, depicted as beginning at Point 56 and running to Point 49, being bound on the South by Points 47, 48, 83, 86, 87, and 91-95, on plat of survey, prepared by Byron L. Farmer, R.L.S. No. 1679, dated December 26, 2000, and recorded in the Clerk of the Superior Court of Putnam County, Georgia, in Plat Book 27, Page 8, reference to said plat being made for a more complete description of the property.

It appears the roadway proposed to be abandoned serves no public purpose and it is otherwise in the best interest of the County to abandon the same. If abandoned, this road shall no longer be part of the county road system and the rights of the public in and to the section of road, as a public road shall cease.

A public hearing will be held on August 19, 2025 at 6:00 p.m.* in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024 regarding the abandonment of this county road. The public is invited to express any concerns regarding Putnam County's determination.

Persons with special needs relating to handicapped accessibility shall contact the ADA Compliance Officer, at least five business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.

The Board of Commissioners reserves the right to continue the hearing to another time and place in the event the number of people in attendance at the hearing, including the Board of Commissioners, staff, and members of the public exceeds the legal limits. Hearings will be conducted pursuant to O.C.G.A. 50-14-1 and Section 2-42 of the Putnam County Code of Ordinances.

*Start time may be delayed if another public hearing is scheduled prior to this meeting.

07/24/2025 & 07/31/2025



**PUTNAM COUNTY
BOARD OF COMMISSIONERS**
117 Putnam Drive, Suite A
Eatonton, Georgia 31024
706-485-5826
www.putnamcountygva.us

NOTICE OF INTENT TO ABANDON A COUNTY ROAD

Pursuant to O.C.G.A. Section 32-7-1 and 32-7-2, notice is given that Putnam County will consider the abandonment of Wooten Road, depicted as running along Points 1 through 12 on plat of survey, prepared by Byron L. Farmer, R.L.S. No. 1679, dated December 26, 2000, and recorded in the Clerk of the Superior Court of Putnam County, Georgia, in Plat Book 27, Page 8, reference to said plat being made for a more complete description of the property.

It appears the roadway proposed to be abandoned serves no public purpose and it is otherwise in the best interest of the County to abandon the same. If abandoned, this road shall no longer be part of the county road system and the rights of the public in and to the section of road, as a public road shall cease.

A public hearing will be held on August 19, 2025 at 6:00 p.m.* in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024 regarding the abandonment of this county road. The public is invited to express any concerns regarding Putnam County's determination.

Persons with special needs relating to handicapped accessibility shall contact the ADA Compliance Officer, at least five business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.

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*Start time may be delayed if another public hearing is scheduled prior to this meeting.

07/24/2025 & 07/31/2025

Legal Advertisements

LEGAL ADVERTISING FOR PUTNAM COUNTY, GEORGIA

LEGAL RATES

PERFECTED JULY 2, 2023, 1.001 RATES ARE:

\$15 per 100 words multiplied by number of insertions up to 4. The following rates are flat rates:

Notice	Runs 4 Weeks	\$120*
Trade Name Affidavit	Runs 2 Weeks	\$40
Articles of Amendment	Runs 2 Weeks	\$40
Articles of Merger	Runs 2 Weeks	\$40
Notice of Incorporation	Runs 2 Weeks	\$40
Intent to Dissolve	Runs 2 Weeks	\$40
Petition to Adopt	Runs 3 Weeks	\$135*
County Fee Application	Runs 4 Weeks	\$40
City Fee Application	Runs 4 Weeks	\$40
Notice to Debtors & Creditors	Runs 4 Weeks	\$60*
Name Change	Runs 4 Weeks	\$120*
Appointed Administrator	Runs 4 Weeks	\$180*
Petition Year's Support	Runs 4 Weeks	\$180*

*Provided the total number of words are not exceeded.

Your legal advertising is important to us. You may submit your legal in any of the following ways:

Bring your legal to:
100 N. Jefferson Ave.
Eatonton GA 31024

Mail your legal to:
P.O. Box 4027
Eatonton, GA 31024
(Please allow 5 days to reach by deadline)

Fax your legal to:
706.485.4166

E-mail your legal to:
mgr@emgr.com
(Word or Word Perfect or text format ONLY)

Affidavits of publication will be provided upon request for a fee of \$25.

THE LEGAL DEADLINE FOR THURSDAY PUBLICATIONS IS MONDAYS AT 12:00 NOON, EXCEPT FOR FORECLOSURE NOTICES, WHICH ARE DUE BY 12:00 NOON FRIDAY BEFORE PUBLICATION. A \$20 CANCELLATION FEE WILL BE CHARGED FOR ALL LEGAL ADS THAT ARE CANCELED AFTER THE FIRST INSERTION DATE. THE CANCELLATION DEADLINE FOR ALL ADVERTISEMENTS IS MONDAY PRIOR TO PUBLICATION BY 12:00 NOON. THE ORIGINAL REQUEST FOR CANCELLATION MUST BE IN PERSON OR VIA U.S. MAIL AND MAY ONLY BE CANCELED BY THE PARTY WHICH SUBMITTED THE LEGAL FOR ADVERTISEMENT. IT MUST BE ON LETTERHEAD OF THE ATTORNEY'S OFFICE THAT INITIALLY PLACED THE LEGAL. TO VIEW LEGALS ONLINE GO TO: WWW.GEORGIAPUBLICNOTICE.COM

905-Construction/Service Bids

INVITATION TO BID BID NO.: 25-42001-001

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Full Depth Reclamation of Harmony Road, Dennis Station Road, Mahaffey Drive, Wards Chapel Road, Cooled Creek Road, and Little Circle Using High Performance Paving. The project consists of approximately 13.84 miles of full depth reclamation on various county roads using high performance paving. Contractors must be GDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:00 PM, on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandersville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@oneatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@oneatl.com no later than Thursday, August 14, 2025. All questions must be sent via email; no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supersede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option

to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-0714c

INVITATION TO BID BID NO.: 25-42001-002

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Resurfacing of Denham Road, Old Copelan Road, Quail Knoll Road, Carter Dream Road, Lakeview Lane, Lakeview Drive, Willow Trace Court, Bark Circle, Shoreline Court, and Cold Branch Road. The project consists of approximately 12.30 miles of patching and resurfacing various county roads, shoulder clipping, rebuilding to a maximum 5-foot wide, grading, and striping. Contractors must be GDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:15 PM, on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandersville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@oneatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@oneatl.com no later than Thursday, August 14, 2025. All questions must be sent via email; no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supersede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option

to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-0714c

INVITATION TO BID BID NO.: 25-42001-003

The Putnam County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the Guardrail Replacement on Parks Mill Road at Lake Oconee. The project consists of approximately 0.241 miles of guardrail removal and replacement on Parks Mill Road at the bridge over Lake Oconee. Contractors must be GDOT approved. Bids should be typed or submitted in ink and returned in a sealed container marked on the outside with the name of the bidder, the date and hour of opening, the bid number, and the project name. Bids will be received until 2:30 PM, on Thursday August 21, 2025, at the office of the Putnam County Board of Commissioners, 117 Putnam Drive, Suite A, Eatonton, Georgia 31024. Any bid received after this date and time will not be accepted. Bids are legal and binding upon the bidder when submitted. All bids should be submitted in duplicate and include:

1. Completed Bid Form
2. Bid Bond, Certified Check or Cashier's Check
3. Contractor Affidavit and Agreement
4. Subcontractor Affidavit and Agreement
5. Prime Contractor Certification of Non-Segregated Facilities
6. Subcontractor Certification of Non-Segregated Facilities
7. References
8. List of Subcontractors
9. Schedule of Items

All suppliers must submit with bid, a bid bond, certified check or cashier's check in the amount of five percent (5%) of the total bid. Failure to submit a bid bond with the proper rating will result in the bid being deemed non-responsive. Successful supplier will be required to meet insurance requirements, submit a one hundred percent (100%) performance bond and a one hundred percent (100%) payment bond. Insurance and Bonding Company must be licensed to do business by the Georgia Secretary of State, authorized to do business in Georgia by The Georgia Insurance Department, listed in the Department of Treasury's Publication of Companies holding Certificates of Authority as Acceptable Surety on Federal Bonds and as acceptable reinsuring companies. The bid bond,

payment bond, and performance bond must have an A.M. Best rating of A-10 or higher. Individuals, firms and businesses seeking an award of a Putnam County contract may not initiate or continue any verbal or written communications regarding a solicitation with any county officer, elected official, employee or other Putnam County representative without permission of the County Executive Manager. If it is determined that the date of the issuance of the solicitation and the date of the final contract award by the County. Violations will be reviewed by the County Manager. If it is determined that such communication has compromised the competitive process, the offer submitted by the individual, firm or business may be disqualified from consideration for award. Bidding documents may be purchased at the office of Atlas Technical Consultants, LLC, Attn: Alan Smith, 616 South Harris Street, Sandersville, Georgia 31082. Contact Alan Smith at (478) 357-4192 or via email alan.smith@oneatl.com to receive a bid package. Bid packages are \$25 per copy (non-refundable). You may pay by credit card or check. Questions regarding bidding documents, drawings, and specifications should be directed to Alan Smith, Atlas Technical Consultants, LLC at alan.smith@oneatl.com no later than Thursday, August 14, 2025. All questions must be sent via email; no verbal responses will be given to oral questions. Putnam County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written bid documents supersede any verbal or written prior communications between the parties. Award will be made to the contractor submitting the lowest responsive and responsible bid. Putnam County reserves the right to reject any or all bids, to waive technicalities, and to make an award as deemed in its best interest. Putnam County reserves the option to negotiate terms, conditions and pricing with the lowest responsive, responsible bidder(s) at its discretion. 07-24-31-08-0714c

906-Corporations, Business Organizations

APPLICATION TO REGISTER A BUSINESS TO BE CONDUCTED UNDER TRADE NAME

STATE OF GEORGIA
COUNTY OF PUTNAM
The undersigned hereby certifies that he is conducting a business in the City of Eatonton, County of Putnam, State of Georgia, under the trade name Cypress Springs Creative and that the nature of the business is: social media marketing for small businesses and that said business is composed of the following person: Catherine Hancock, 153 Shadydale Road, Eatonton, GA. This affidavit is made in compliance with GA Code Annotated, Title 10, Chapter 1, Section 490. 07-24-31

APPLICATION TO REGISTER A BUSINESS TO BE CONDUCTED UNDER TRADE NAME

STATE OF GEORGIA
COUNTY OF PUTNAM
The undersigned hereby certifies that he is conducting a business in the City of Eatonton, County of Putnam, State of Georgia, under the trade name: Domino's and that the nature of the business is: Quick Service Restaurant and that said business is composed of the following corporation: Sals River Plaza, LLC, 3rd Log Cabin Road NE, Milledgeville, GA 31061. This affidavit is made in compliance with GA Code Annotated, Title 10, Chapter 1, Section 490. 07-31-08-07p

907-Debtors and Creditors

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25ES0060
All debtors and creditors of the Estate of Hugh Harold Harris, deceased, late of Eatonton, Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payments to the Personal Representative(s).

Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payments to the Personal Representative(s). This 24, day of July, 2025. Sandra Harris Baxter 138A N Little River Run Eatonton, Georgia 31024 Personal Representative of the Estate of Hugh Harold Harris 07-10-17-24-31c

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25ES0059
All debtors and creditors of the Estate of Mary Lou Harris, deceased, late of Eatonton, Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons indebted to said Estate are required to make immediate payments to the Personal Representative(s). This 24, day of July, 2025. Sandra Harris Baxter 138A N Little River Run Eatonton, Georgia 31024 Personal Representative of the Estate of Mary Lou Harris 07-10-17-24-31c

NOTICE TO DEBTORS AND CREDITORS

STATE OF GEORGIA
PUTNAM COUNTY
ESTATE NUMBER: 25ES0055
All debtors and creditors of the Estate of Sandra Sue Christopherson, deceased, late of Eatonton, Putnam County, Georgia, are hereby notified to render their demands and payments to the Personal Representative(s) of the estate, according to law, and all persons

Agenda

Thursday, September 04, 2025 6:30 PM

Putnam County Administration Building - Room 203
The Putnam County Planning & Zoning Commission will conduct a public hearing meeting on September 4, 2025 at 6:30 PM in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA. The following agenda will be considered:

- Opening
 1. Call to Order
 2. Attendance
 3. Rules of Procedures
 - Minutes
 4. Approval of Minutes 8-7-25
 - Requests
 5. Request by Bailey Lively, agent for APC for a conditional use at 1103 Occanee Springs Road. Presently zoned AG [Map 107, Parcel 025, District 2].*
 - New Business
 - Adjournment
- The Planning & Zoning Commission meeting will be conducted pursuant to and in accordance with O.C.G.A. Chapter 36-66.
- Notice: All opponents to any rezoning request on the Planning & Zoning Commission and the Board of Commissioners agendas must file a disclosure of campaign contributions with the Planning & Development Department within five calendar days prior to public hearings. If you have contributed \$250.00 or more to an elected official in Putnam County within the last five years.
- *The Putnam County Board of Commissioners will hear these agenda items on September 16, 2025 at 6:00 P.M. in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024.
- The full meeting package can be reviewed in the Planning & Development office upon request.
- The Board of Commissioners reserves the right to continue the meeting to another time and place in the event the number of people in attendance at the meeting, including the Board of Commissioners, staff, and members of the public exceeds the legal limits.
- The Board of Commissioners' hearing will be conducted pursuant to O.C.G.A. 50-14-1 and Section 66-159 of the Putnam County Code of Ordinances and meets the requirements of the Zoning Procedures Laws established in O.C.G.A. 36-66.
- Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities are required to contact the ADA Compliance Officer, at least three business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.

PUTNAM COUNTY BOARD OF COMMISSIONERS
117 Putnam Drive, Suite A
Eatonton, Georgia 31024
706-485-5826
www.putnamcountyga.us

NOTICE OF INTENT TO ABANDON A COUNTY ROAD

Pursuant to O.C.G.A. Section 32-7-1 and 32-7-2, notice is given that Putnam County will consider the abandonment of Wooten Road, depicted as running along Points 1 through 12 on plat of survey, prepared by Byron L. Farmer, R.L.S. No. 1679, dated December 26, 2000, and recorded in the Clerk of the Superior Court of Putnam County, Georgia, in Plat Book 27, Page 8, reference to said plat being made for a more complete description of the property.

It appears the roadway proposed to be abandoned serves no public purpose and it is otherwise in the best interest of the County to abandon the same. If abandoned, this road shall no longer be part of the county road system and the rights of the public in and to the section of road, as a public road shall cease.

A public hearing will be held on August 19, 2025 at 6:00 p.m. * in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024 regarding the abandonment of this county road. The public is invited to express any concerns regarding Putnam County's determination.

Persons with special needs relating to handicapped accessibility shall contact the ADA Compliance Officer, at least five business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.

The Board of Commissioners reserves the right to continue the hearing to another time and place in the event the number of people in attendance at the hearing, including the Board of Commissioners, staff, and members of the public exceeds the legal limits. Hearings will be conducted pursuant to O.C.G.A. 50-14-1 and Section 2-42 of the Putnam County Code of Ordinances.

*Start time may be delayed if another public hearing is scheduled prior to this meeting.

07/24/2025 & 07/31/2025

PUTNAM COUNTY BOARD OF COMMISSIONERS
117 Putnam Drive, Suite A
Eatonton, Georgia 31024
706-485-5826
www.putnamcountyga.us

NOTICE OF INTENT TO ABANDON A COUNTY ROAD

Pursuant to O.C.G.A. Section 32-7-1 and 32-7-2, notice is given that Putnam County will consider the abandonment of Jee Wooten Road, depicted as beginning at Point 56 and running to Point 49, being bound on the South by Points 47, 48, 83, 86, 87, and 91-95, on plat of survey, prepared by Byron L. Farmer, R.L.S. No. 1679, dated December 26, 2000, and recorded in the Clerk of the Superior Court of Putnam County, Georgia, in Plat Book 27, Page 8, reference to said plat being made for a more complete description of the property.

It appears the roadway proposed to be abandoned serves no public purpose and it is otherwise in the best interest of the County to abandon the same. If abandoned, this road shall no longer be part of the county road system and the rights of the public in and to the section of road, as a public road shall cease.

A public hearing will be held on August 19, 2025 at 6:00 p.m. * in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, GA 31024 regarding the abandonment of this county road. The public is invited to express any concerns regarding Putnam County's determination.

Persons with special needs relating to handicapped accessibility shall contact the ADA Compliance Officer, at least five business days in advance of the meeting at 706-485-2776 to allow the County to make reasonable accommodations for those persons.

The Board of Commissioners reserves the right to continue the hearing to another time and place in the event the number of people in attendance at the hearing, including the Board of Commissioners, staff, and members of the public exceeds the legal limits. Hearings will be conducted pursuant to O.C.G.A. 50-14-1 and Section 2-42 of the Putnam County Code of Ordinances.

*Start time may be delayed if another public hearing is scheduled prior to this meeting.

07/24/2025 & 07/31/2025



File Attachments for Item:

13. Consent Agenda

- a. Approval of Minutes - August 1, 2025 Regular Meeting (staff-CC)
- b. Approval of Minutes - August 1, 2025 Budget Work Session (staff-CC)

PUTNAM COUNTY BOARD OF COMMISSIONERS



117 Putnam Drive, Suite A ♦ Eatonton, GA 31024

Minutes

Friday, August 1, 2025 ♦ 10:00 AM

Putnam County Administration Building – Room 203

The Putnam County Board of Commissioners met on Friday, August 1, 2025 at approximately 10:00 AM in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, Georgia.

PRESENT

Chairman Bill Sharp
Commissioner Tom McElhenney
Commissioner Richard Garrett
Commissioner Steve Hersey
Commissioner Jeff Wooten

STAFF PRESENT

County Attorney Adam Nelson
County Manager Paul Van Haute
County Clerk Lynn Butterworth
Deputy County Clerk Mercy Fluker

Opening

1. Welcome - Call to Order

Chairman Sharp called the meeting to order at approximately 10:00 a.m.

Chairman Sharp reminded everyone of the Budget Work Session immediately following the Regular Business Meeting.

(Copy of agenda made a part of the minutes on minute book page _____.)

2. Approval of Agenda

Chairman Sharp requested to move item #11 “Report from Putnam Development Authority” to right after item #5 “Special Presentation”.

Motion to approve the agenda with item #11 “Report from Putnam Development Authority” moved to right after item #5 “Special Presentation” and the deletion of item #18 “Approval of Final Plat for Thunder Pointe Commercial Subdivision”.

Motion made by Commissioner Hersey, Seconded by Commissioner Garrett.

Draft Minutes	Page 1 of 7	
August 1, 2025		

Motion amended to change the wording of item #18 to “Discussion and possible action regarding the approval of Final Plat for Thunder Pointe Commercial Subdivision”
Motion amended by Commissioner Garrett, Seconded by Commissioner Wooten.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

Motion to approve the agenda with item #11 “Report from Putnam Development Authority” moved to right after item #5 “Special Presentation” and item #18 changed to “Discussion and possible action regarding the approval of Final Plat for Thunder Pointe Commercial Subdivision”.
Motion made by Commissioner Wooten, Seconded by Commissioner Hersey.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

3. Invocation
Rev. Avis Williams gave the invocation.

4. Pledge of Allegiance (TM)
Commissioner McElhenney led the Pledge of Allegiance.

5. Special Presentation - Brandy Jones and Dr. Daniel Bennett, Putnam General Hospital Heart Fund
Putnam General Hospital Foundation and Marketing Director Brandy Jones and CEO Alan Horton (Dr. Bennett was unable to be present) presented information about the Georgia Heart Hospital Program.
(Copy of presentation made a part of the minutes on minute book pages _____ to _____.)

6. Report from Putnam Development Authority (previously item #11)
Matt Poyner presented the quarterly report for the Putnam Development Authority.
(Copy of presentation made a part of the minutes on minute book pages _____ to _____.)

Meeting recessed at approximately 10:54 a.m.
Meeting reconvened at approximately 11:04 a.m.

Mill Rate Public Hearing

Chairman Sharp opened the Mill Rate Public Hearing at approximately 11:04 a.m.

7. Presentation of Proposed 2025 Mill Rate (staff-CM & Finance)
County Manager Paul Van Haute presented information about the Proposed 2025 Mill Rate.
(Copy of presentation made a part of the minutes on minute book pages _____ to _____.)

8. Comments from the Public
None.

9. Comments from Commissioners and/or Staff
Commissioner Hersey commented on advertising the mill rate and the need to hold three public hearings if the mill rate is increased; he also commented on the hotel motel tax revenues in the general fund, and increases in tax bills due to appraisals.

Commissioner Wooten commented on viewing the county as a whole instead of by district.

Commissioner Garrett commented on the tradeoffs of raising taxes and discussing the rate further at the Budget Work Session.

Commissioner McElhenney asked about the Tax Assessor’s final numbers.

Chairman Sharp closed the Mill Rate Public Hearing at approximately 11:27 a.m.

Regular Business Meeting

10. Public Comments

Mr. John Repetto signed up to speak but left the meeting before being called.

Ms. Wanda Addeo from Overview Inc. provided a handout and reviewed their annual report that highlights the programs they offer in Putnam County.

Ms. Barbara Vargo commented on the FY26 budget.

Mr. Bill Vargo commented on the FY26 budget.
(Copy of handout made a part of the minutes on minute book pages _____ to _____.)

11. Consent Agenda

- a. Approval of Minutes - July 15, 2025 Regular Business Meeting (staff-CC)
- b. Approval of Minutes - July 16, 2025 Budget Work Session (staff-CC)
- c. Approval of Minutes - July 18, 2025 Budget Work Session (staff-CC)
- d. Approval of Minutes - July 18, 2025 Called Meeting (staff-CC)

Motion to approve the Consent Agenda.

Motion made by Commissioner Wooten, Seconded by Commissioner McElhenney.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

Report from Putnam Development Authority
Moved to item #6.

12. ISO Rating Presentation (staff-Fire)

Chief McClain presented information on Putnam County’s new ISO rating. No action was taken.

13. Ratification for After-School and Summer Enrichment Grant for Jimmy Davis Park (staff-CM)

Mr. Don Sadler commented on the procedures of committees presenting items to the Board of Commissioners.

Mr. Billy Webster commented on the grant submission deadline and the proper channels for submitting it.

Jimmy Davis Park Partnership Advisory Committee Chairperson Janie Reid explained that Beyond the Bell is the applying entity and reviewed some of the programs Beyond the Bell has offered in Putnam County. The grant is for \$181,000.00 to be used for an after-school and summer enrichment program that would launch October 2025; the application has been submitted with a suggestion to hold the program at Jimmy Davis Park but no commitments have been made on behalf of Putnam County.

Motion to table the Ratification for After-School and Summer Enrichment Grant for Jimmy Davis Park.
Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

14. Appointment of Chairperson to the Putnam County Board of Elections and Registration (staff-CC)

Nomination to appoint Charles Patten as Chairperson of the Putnam County Board of Elections and Registration.
Nomination made by Commissioner Hersey, Seconded by Commissioner Garrett.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

15. Authorization for Chairman to sign EPD Letter of Concurrence for Glades Landing (CA)
County Attorney Nelson explained this letter allows the Glades Landing development to be serviced by a water line. This only says we will allow the service; this item will come back before the board for the actual placement of the line.

Motion to authorize the Chairman to sign the EPD Letter of Concurrence for Glades Landing.
Motion made by Commissioner McElhenney, Seconded by Commissioner Wooten.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten
(Copy of letter made a part of the minutes on minute book page _____.)

16. Approval of 180-day Moratorium on Putnam County Code of Ordinances Chapter 18 "Public Nuisance Dwellings, Buildings, or Structures" for review and possible update (JW)
Commissioner Wooten explained that the ordinance needs to be restructured for efficiency due to a backlog of complaints that have been received about older houses around the lake in the 4th district.

**Motion to approve a 180-day Moratorium on Putnam County Code of Ordinances Chapter 18 “Public Nuisance Dwellings, Buildings, or Structures” for review and possible update.
Motion made by Commissioner Wooten, Seconded by Commissioner McElhenney.**

County Attorney Nelson suggested adding to the motion that pending complaints will not be affected.

**Motion amended to add language, “with any pending cases still moving forward.”
Amended motion made by Commissioner Wooten, Seconded by Commissioner McElhenney.**

**Voting Yea: Commission McElhenney, Commission Wooten, Chairman Sharp
Voting Nay: Commission Garrett, Commissioner Hersey**

Vote on original motion as amended:

**Voting Yea: Commission McElhenney, Commission Wooten, Chairman Sharp
Voting Nay: Commission Garrett, Commissioner Hersey**

17. Discussion and possible action regarding widening Harmony Road from Highway 44 to Scott Road (staff-CM)

County Manager Van Haute reminded the Commissioners that he sent an email with the estimated costs for widening 1.64 miles of Harmony Road from Highway 44 to Scott Road and creating a middle turning lane. Engineering through construction of creating the third lane with curb and gutter is a \$5M proposal; without curb and gutter is a \$4.3M proposal. With numbers this large, County Manager Van Haute wanted to bring this back before the board to confirm if they are interested in moving forward.

The Commissioners discussed the increased traffic on Harmony Road and Old Phoenix Road and how best to plan for the next five years, including staff looking into additional proposals. No action was taken.

18. Discussion and possible action on Final Plat for Thunder Pointe Commercial Subdivision (staff-P&D)

Ms. Renee Burgdorf commented that the neighborhood attorney has sent constitutional and legal objection to this final plat and requested that the developer study their modified plan and find a better way to proceed; also need to wait until appeal is heard before approving the final plat.

Mr. Jerry Donovan read a letter from his neighbor, Mr. Brian Adamo, regarding opposition to the proposed sediment pond and commercial access through the residential neighborhood. Letter also submitted for the record.

Mr. Tom Parham commented that there are numerous legal defects in the final plat, including location of detention pond on a residential zoned property; he requested the matter be tabled.

Mr. Brandon Burgess read numerous letters in support of this project.

Planning and Development Director Jackson advised that all inspections were completed and all necessary county officials have signed off on the plat as meeting minimum requirements of the county code.

County Attorney Nelson explained what has happened so far: the developer put up a bond to finish out the portions of the project not completed as of today; several documents have been filed by both the attorneys for Thunder Valley and attorneys for the developer; the only action taken place so far is the preliminary plat has been approved by the Planning and Development Director and other necessary county officials; appeal of the preliminary plat is scheduled to be heard next Thursday evening at the Planning and Zoning Commission meeting; the code allows the developer to move forward at their own risk.

**Motion to table consideration or approval of the final plat for Thunder Pointe commercial subdivision until such time as the preliminary plat appeals have run their course.
Motion made by Commissioner Hersey, Seconded by Commissioner Garrett.**

**Motion amended to table the discussion and possible action on Final Plat for Thunder Pointe Commercial Subdivision.
Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett.
Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey
Voting Nay: Commissioner Wooten**

Reports/Announcements

19. County Manager Report
None

20. County Attorney Report
None

21. Commissioner Announcements
Commissioner McElhenney: recently rode the unpaved roads in his area; thanked Public Works for all they do.

Commissioner Garrett: looking forward to connecting with Public Works and going for a ride on the county roads in his district

Commissioner Hersey: none

Commissioner Wooten: none

Chairman Sharp: thanked Public Works

Closing

22. Adjournment

Motion to adjourn the meeting.

Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett.

**Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey,
Commissioner Wooten**

Meeting adjourned at approximately 2:10 p.m.

ATTEST:

Lynn Butterworth
County Clerk

B. W. “Bill” Sharp
Chairman

PUTNAM COUNTY BOARD OF COMMISSIONERS



117 Putnam Drive, Suite A ♦ Eatonton, GA 31024

Budget Work Session

Minutes

Friday, August 1, 2025 ♦ 11:00 AM

Time is approximate – Work Session will immediately follow Regular Meeting

Putnam County Administration Building – Room 203

The Putnam County Board of Commissioners met for a Budget Work Session on Friday, August 1, 2025 at approximately 2:25 p.m. in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, Georgia.

PRESENT

Chairman Bill Sharp
Commissioner Tom McElhenney
Commissioner Richard Garrett
Commissioner Steve Hersey

ABSENT

Commissioner Jeff Wooten

STAFF PRESENT

County Manager Paul Van Haute
County Clerk Lynn Butterworth
Deputy County Clerk Mercy Fluker

Opening

1. Call to Order

Chairman Sharp called the work session to order at approximately 2:25 p.m.

(Copy of agenda made a part of the minutes on minute book page _____.)

Work Session

2. Budget Discussions

Comments were made by Lou Benjamin, Rhonda Largo, and Alan Horton for Putnam General Hospital.

County Manager Van Haute reviewed the proposed budget. His plan involves taking a little over \$1M for the fund balance. He also advised that he plans to increase fees approximately 10% in all areas except for the rental of Jimmy Davis Park. No action was taken.

Draft Budget Work Session Minutes	Page 1 of 2	
August 1, 2025		

Closing

3. Adjournment

Motion to adjourn the work session.

Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey

Work session adjourned at approximately 3:57 p.m.

ATTEST:

Lynn Butterworth
County Clerk

B. W. “Bill” Sharp
Chairman

Draft Budget Work Session Minutes	Page 2 of 2	
August 1, 2025		

File Attachments for Item:

14. Request for Approval of Bailiff and Juror Compensation Increases for FY26 (COC)



TREVOR J. ADDISON

CLERK OF SUPERIOR COURT • CLERK OF STATE COURT • CLERK OF JUVENILE COURT

Putnam County Courthouse • 100 South Jefferson Avenue • Suite 236 • Eatonton, Georgia 31024
TEL: 706-485-4501 • www.putnamcourtclerk.org

31 July 2025

Request for Placement on the Board of Commissioners Agenda –19 August 2025

Agenda Item: *Approval of Bailiff and Juror Compensation Increases for Fiscal Year 2026 (Clerk of Superior Court)*

Mr. Chairman, Commissioners, Staff:

On 16 September 2024, the first Grand Jury impaneled for the Fall Term of the Superior Court convened and, pursuant to O.C.G.A. § 15-12-7, exercised its statutory authority to recommend:

- The daily compensation rate for court bailiffs serving in the Superior Court, and
- The daily expense allowance for both trial and grand jurors.

Please find attached the official Grand Jury Presentments for the referenced term. Within those presentments, the Grand Jury recommended the following adjustments:

- **Bailiff compensation:** Increase from \$50.00 to **\$75.00 per day**
- **Juror compensation:** Increase from \$25.00 to **\$35.00 per day**

As required by O.C.G.A. § 15-12-7, these adjustments must receive approval from the county's governing authority before implementation. Because the Fiscal Year 2025 budget had already been adopted at the time of the Grand Jury's recommendation, these increases were deferred for consideration as part of the Fiscal Year 2026 budget planning process.

Consistent with our prior discussions during the FY 2026 budget work sessions, I now formally present this request for the Board's approval. Both bailiff and juror compensation are paid from line items within the Clerk of Court's operating budget, and I fully support the proposed increases.

Thank you for your consideration.

Respectfully submitted,

Trevor J. Addison
Clerk of Superior Court

Enclosed: 16 September 2024 Grand Jury Presentments,
Copy of O.C.G.A. 15-12-7

STATE OF GEORGIA
PUTNAM COUNTY
SUPERIOR COURT

SEP 16 2024

IN THE SUPERIOR COURT OF PUTNAM COUNTY 12 12 3 4 5 6 7 8 9 10 11:16 AM (PM)
STATE OF GEORGIA

FILED IN OFFICE

TREVOR J. ADDISON, CLERK

PRESENTMENTS OF THE SEPTEMBER 2024 PUTNAM GRAND JURY:

We, the September, 2024 Term of the Putnam County Grand Jury, convened on September 16th, 2024.

We considered a total of twenty-three (23) bills of indictment; of these, we true billed each and every count on twenty-two (22) bills of indictment and no-billed one count on one indictment.

We, the Grand Jury, recommend to the Putnam County Commissioners to increase juror pay from \$25.00 per day to \$35.00 per day.

We, the Grand Jury, recommend to the Putnam County Commissioners to increase bailiff pay from \$50.00 per day to \$75.00 per day.

We, the Grand Jury, would like to thank District Attorney T. Wright Barksdale, III, Chief Assistant District Attorney Allison Mauldin, Legal Assistant Dolores Faireloth and Misty Frazier, Victim Advocate, for their guidance in performing our duties.

We, the Grand Jury, would also like to thank Bailiffs Fletcher Streater and Rita Stanley, and Clerk of Superior Court Trevor J. Addison and his office for their assistance.

We, the Grand Jury, would also like to commend the officers from the Eatonton Police Department and Putnam County Sheriff's Office for the professional manner in which their cases were presented.

The above presentments are respectfully submitted by the Grand Jury of Putnam County, September Term, 2024, Putnam County Superior Court, this 16th day of September, 2024.

Steve Grady Perry

Steve Grady Perry, Foreperson

Linda Ann Berube

Linda Ann Berube, Secretary

2024 CODE OF GEORGIA

Title 15 - COURTS (§§ 15-1-1 — 15-25-3)

Chapter 12 - JURIES (§§ 15-12-1 — 15-12-172)

Article 1 - GENERAL PROVISIONS (§§ 15-12-1 — 15-12-12)

Section 15-12-7 - Compensation of court bailiffs and expense allowance for trial or grand jurors

Universal Citation:

GA Code § 15-12-7 (2024) ○

[Previous](#)

[Next](#)

(a) The first grand jury impaneled at the fall term of the superior courts of the several counties shall fix:

(1) The compensation of court bailiffs in the superior courts of such counties for the next succeeding year, such compensation not to be less than \$5.00 per diem. The same compensation shall be allowed to bailiffs of the several state courts and special courts as is allowed bailiffs in the superior court of the county in which the state or special court is located;

(2) An expense allowance for trial or grand jurors in the superior courts of such counties for the next succeeding year not to be less than \$5.00 nor to exceed \$50.00 per diem. The same expense allowance shall be allowed to jurors of the several state courts and special courts as is allowed jurors in the superior court of the county in which the state or special court is located; and

(3) An expense allowance for grand jurors, such expense allowance not to be less than \$5.00 nor to exceed \$50.00 per diem.

(b) Any increase in the compensation of court bailiffs or increases in expense allowances for jurors fixed by a grand jury shall be subject to the approval of the governing authority of the county.

Amended by 2014 Ga. Laws 668, § 5, eff. 4/29/2014.

Amended by 2011 Ga. Laws 50, § 1-8, eff. 7/1/2011.

Amended by 2008 Ga. Laws 432, § 1, eff. 7/1/2008.

File Attachments for Item:

15. Request for Final Plat Subdivision Approval - Cottage Grove at Lake Oconee (staff-P&D)



Plan 2025-61548

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PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

REQUEST FOR FINAL PLAT SUBDIVISION APPROVAL

THE UNDERSIGNED HEREBY REQUESTS AN INSPECTION OF SUBDIVISION FOR FINAL PLAT APPROVAL.

APPLICANT: WALT RABERN

ADDRESS: 234 W Washington St
Madison, GA 30650

PHONE: [REDACTED]

PROPERTY OWNER IS DIFFERENT FROM ABOVE: _____
ADDRESS: _____

PHONE: _____

PROPERTY:

SUBDIVISION NAME: COTTAGE GROVE AT LAKE OCONEE
LOCATION: 842 HARMONY ROAD, EATONTON, GEORGIA, 31024
MAP 97 PARCEL 060001 NUMBER OF ACRES 20.85 +/- PHASE N/A

SUPPORTING INFORMATION ATTACHED TO APPLICATION:

☒ FOUR COPIES OF THE AS-BUILT SURVEY
☐ BOND FOR PERFORMANCE/MAINTENANCE
☐ DEDICATION DEEDS FOR EASEMENTS, STREETS, and RIGHT-OF-WAYS

***APPLICANT HEREBY AFFIRMS THAT APPLICANT IS THE PROPERTY OWNER OR HAS THE LEGAL AUTHORITY TO SIGN THIS FORM ON OWNER'S BEHALF AND APPLICANT AGREES TO INDEMNIFY AND HOLD PUTNAM COUNTY HARMLESS IN THE EVENT IT IS DETERMINED APPLICANT DOES NOT HAVE SUCH LEGAL AUTHORITY.**

*SIGNATURE OF APPLICANT: [Signature] DATE: July 10, 2025

FOR OFFICE USE	
AMOUNT \$ <u>\$365.00</u>	CHECK NO. <u>1002</u>
CASH _____	CREDIT CARD _____
RECEIPT# _____	
DATE FILED: _____	BOC MEETING _____
DATE SIGNED: _____	

RECEIVED JUL 15 2025

Revised 10-1-23

RECEIVED JUL 15 2025



PUTNAM COUNTY PLANNING & DEVELOPMENT

117 Putnam Drive, Suite B ♦ Eatonton, GA 31024

Tel: 706-485-2776 ♦ 706-485-0552 fax ♦ www.putnamcountyga.us

Plan 2025-015-18

172

REQUEST FOR FINAL PLAT SUBDIVISION INSPECTION

THE UNDERSIGNED HEREBY REQUESTS AN INSPECTION OF THE SUBDIVISION FOR FINAL PLAT APPROVAL.

APPLICANT: WALT RABERN

ADDRESS: 234 W Washington St Madison, GA 30650

PHONE: _____

CELL: _____

PROPERTY:

SUBDIVISION NAME: COTTAGE GROVE AT LAKE OCONEE

LOCATION: 842 HARMONY ROAD, EATONTON, GEORGIA, 31024

MAP 97

PARCEL 060001

NUMBER OF ACRES 20.85 +/-

SUPPORTING INFORMATION ATTACHED TO APPLICATION:

- ☒ RED-LINED PRELIMINARY PLAT (1 COPIES)
- ☒ COPIES OF THE AS-BUILT FINAL PLAT (2 COPIES)
- ☒ CONSTRUCTION PLANS FOR ROADS AND UTILITIES
- ☒ COMPACTION REPORTS

*APPLICANT HEREBY AFFIRMS THAT APPLICANT IS THE PROPERTY OWNER OR HAS THE LEGAL AUTHORITY TO SIGN THIS FORM ON OWNER'S BEHALF AND APPLICANT AGREES TO INDEMNIFY AND HOLD PUTNAM COUNTY HARMLESS IN THE EVENT IT IS DETERMINED APPLICANT DOES NOT HAVE SUCH LEGAL AUTHORITY.

*SIGNATURE OF APPLICANT: _____ DATE: July 10, 2025

FOR OFFICE USE

Land Disturbance *P&D
Sub-grade Proof-roll *PW
Wearing Course Proof-roll *PW
Compaction Test Report *PW
Final Stabilization *P&D
St. Signs/Lights Installation *PW
Fire Chief Approval

Date: 7-31-25
Date: 07/31/2025
Date: 07/31/2025
Date: _____
Date: 7-31-25
Date: 07/31/2025
Date: 7-31-2025

Witnessed By: [Signature]
Witnessed By: [Signature]
Approved By: [Signature]
Approved By: [Signature]
Approved By: [Signature]

DATE FILED: _____ CASH _____ CHECK NO. 1002

CREDIT CARD _____ AMOUNT \$125.00 RECEIPT# _____

*P&D (Planning & Development)
*PW (Public Works)

File Attachments for Item:

16. Authorization for Chairman to sign Resolution Calling for an Election to Impose a County Special Purpose Local Option Sales Tax (SPLOST 10) (staff-CM/CA)

Resolution Calling for an Election to Impose a County Special Purpose Local Option Sales Tax

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF PUTNAM COUNTY, GEORGIA IMPOSING A COUNTY ONE PERCENT SALES AND USE TAX AS AUTHORIZED BY PART 1 OF ARTICLE 3 OF CHAPTER 8 OF TITLE 48 OF THE OFFICIAL CODE OF GEORGIA ANNOTATED, SPECIFYING THE PURPOSES FOR WHICH THE PROCEEDS OF SUCH TAX ARE TO BE USED; SPECIFYING THE PERIOD OF TIME FOR WHICH SUCH TAX SHALL BE IMPOSED; SPECIFYING THE ESTIMATED COST OF THE FACILITIES TO BE FUNDED FROM THE PROCEEDS OF SUCH TAX; REQUESTING THE ELECTION SUPERINTENDENT TO CALL AN ELECTION OF THE VOTERS OF PUTNAM COUNTY TO APPROVE THE IMPOSITION OF SUCH SALES AND USE TAX; APPROVING THE FORM OF BALLOT TO BE USED IN SUCH AN ELECTION; AND FOR OTHER PURPOSES.

WHEREAS, Part 1 of Article 3 of Chapter 8 of Title 48 of the Official Code of Georgia Annotated. (the “Act”) authorizes the imposition of a county one percent sales and use tax (the “SPLOST”) for the purpose, *inter alia*, of financing certain capital outlay projects which include those set forth herein; and

WHEREAS, the Board of Commissioners of Putnam County, Georgia (the “Board of Commissioners”) has determined that it is in the best interest of the citizens of Putnam County, Georgia (the “County”) that a one percent SPLOST be imposed in a special district within the County to collect approximately \$_____ for the purpose of funding capital outlay projects (the “Projects”); and

WHEREAS, the Board of Commissioners delivered a written notice (the “Notice”) to the Mayor in the municipality located within the County regarding the imposition of the SPLOST; and

WHEREAS, the Notice contained the date, time, place, and purpose of a meeting at which designated representatives of the County and the City of Eatonton (“the Municipality”) met and discussed the possible projects for inclusion in the referendum, including municipally owned and operated projects; and

WHEREAS, the Notice was delivered or mailed at least 10 days prior to the date of the meeting, and the meeting was held at least 30 days prior to the issuance of a call for the referendum; and

WHEREAS, the Municipality represents 29 percent of the total population of the County, based on the 2020 census.

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of Putnam County, Georgia as follows:

A. Assuming the question of imposing a County SPLOST is approved by the voters of the special district in the election hereinafter referred to, the SPLOST shall be imposed for the term, purposes and costs as follows:

1. In order to finance the Projects described herein, a SPLOST in the amount of one percent (1%) on all sales and uses in the County is hereby authorized to be levied and collected within the special district created in the County as provided in the Act.

2. The proceeds of such tax are to be used to fund the Projects. The Projects consist of “County Projects” and “Municipal Projects.” The County Projects, the Municipal Projects, and the estimated Costs are set forth below:

<u>County Projects</u>	<u>Estimated Costs</u>
Jail Renovation Project	\$9,137,541.20
Sheriff's Office Vehicles	\$2,208,000.00
EMS Ambulances and Equipment	\$2,520,000.00
Fire Department Trucks and Equipment, Debt Service and Improvements	\$7,559,241.00
Public Works Heavy Duty Trucks and Equipment	\$851,000.00
Putnam General Hospital	\$3,694,046.88
Recreation Department-Pickleball, Lighting, Facility Improvements at JDP and PRC	\$2,135,236.00
Golf Course Equipment and Course Upgrades	\$989,590.12
Public Building Improvements	\$750,000.00
Oconee Springs Park Improvements	\$1,437,500.00
County Extension Office	\$2,875,000.00
Animal Services Vehicles and Building	\$200,000.00
<u>City Projects</u>	<u>Estimated Costs</u>
Gas Tools & Equipment	\$900,000.00
Gas Line Expansion	\$600,000.00
Gas Vehicles	\$100,000.00
Police Vehicles	\$1,000,000.00
Police Tools & Equipment	\$255,000.00
Fire Trucks/Vehicles	\$1,066,000.00
Fire Tools & Equipment	\$225,000.00
Streets Roads/Bridges/Sidewalks/Drainage	\$3,500,000.00
Streets Department Tools & Equipment	\$810,000.00
Streets Department Vehicles	\$512,000.00
City Shop Tools & Equipment	\$50,000.00
Buildings & Grounds Tools & Equipment ds	\$25,000.00
Public Buildings & Site Improvements	\$1,872,551.00
Senior Center Vehicles	\$70,000.00
Blight Remediation	\$300,000.00
City Hall Furnishings & Equipment	\$45,000.00

3. The SPLOST is to be imposed for a period of six years.

B. Call for the Election; Ballot Form; Notice.

1. The Board of Elections of Putnam County is hereby requested to call an election in all voting precincts in the County on the 4th day of November, 2025, for the purpose of submitting to the qualified voters of the County the question set forth in paragraph 2. below.

2. The ballots to be used in the election shall have written or printed thereon substantially the following:

“() Yes () No

“Shall a special one percent sales and use tax be imposed in the special district of Putnam County for a period of time not to exceed six years and for the raising of an estimated amount of \$45,688,706.20 for the purpose of completion of capital outlay projects as follows (1) Jail Renovation Project, Sheriff’s Office Vehicles, EMS Ambulances and Equipment, Fire Department Trucks and Equipment, Debt Service and Improvements, Public Works Heavy Duty Trucks and Equipment, Putnam General Hospital, Recreation Department-Pickleball, Lighting, Facility Improvements at JDP and PRC, Golf Course Equipment and Course Upgrades, Public Building Improvements, Oconee Springs Park Improvements, County Extension Office, and Animal Services Vehicles and Building, and; (2) Gas Tools & Equipment, Gas Line Expansion, Gas Department Vehicles, Police Vehicles, Police Tools & Equipment, Fire Trucks/Vehicles, Fire Tools & Equipment, Street Department Tools & Equipment, Street Department Vehicles, City Shop Tools & Equipment, Building & Grounds Tools & Equipment, Public Buildings & Site Improvements, Senior Center Vehicles, Blight Remediation, and City Hall Furnishings & Equipment for the Municipality of the City of Eatonton?”

3. It is hereby requested that the election be held by the Board of Elections of Putnam County in accordance with the election laws of the State of Georgia, including, without limitation, the election laws relating to special elections. It is hereby further requested that the Board of Elections of Putnam County canvass the returns declare the result of the election and certify the result to the Secretary of State and to the Commissioner of Revenue.

4. The Board of Elections of Putnam County is hereby authorized and requested to publish a notice of the election as required by law in the newspaper in which Sheriff’s advertisements for the County are published once a week for four weeks immediately preceding the date of the election. The notice of the election shall be in substantially the form attached hereto as Exhibit “A”.

C. The Clerk of the Board of Commissioners is hereby authorized and directed to deliver a copy of the resolution to the Board of Elections of Putnam County, with a request that the Board of Elections of Putnam County issue the call for an election.

- D. The proper officers and agents of the County are hereby authorized to take any and all further actions as may be required in connection with the imposition of SPLOST.
- E. The Resolution shall take effect immediately upon its adoption.

PUTNAM COUNTY, GEORGIA

Chairman

ATTEST:

County Clerk
Date Adopted _____

EXHIBIT “A”

NOTICE OF SPECIAL ELECTION

**TO THE QUALIFIED VOTERS OF
PUTNAM COUNTY, GEORGIA**

NOTICE IS HEREBY GIVEN that on the 5th day of November, 2024, an election will be held at the regular polling places in all the election districts of Putnam County, Georgia (“the County”), at which time there will be submitted to the qualified voters of the county for their determination the question of whether a one percent county special purpose local option sales and use tax (the “SPLOST”) shall be imposed on all sales and uses in the special district created in the County for a period of 6 years for the raising of approximately \$45,688,706.20 for the purpose of funding capital outlay projects (“the Projects”) specified in the form of the ballot set forth below.

The ballots to be used at such election shall have written or printed thereon substantially the following:

“(☐) Yes (☐) No

“Shall a special one percent sales and use tax be imposed in the special district of Putnam County for a period of time not to exceed six years and for the raising of an estimated amount of \$45,688,706.20 for the purpose of completion of capital outlay projects as follows (1) Jail Renovation Project, Sheriff’s Office Vehicles, EMS Ambulances and Equipment, Fire Department Trucks and Equipment, Debt Service and Improvements, Public Works Heavy Duty Trucks and Equipment, Putnam General Hospital, Recreation Department-Pickleball, Lighting, Facility Improvements at JDP and PRC, Golf Course Equipment and Course Upgrades, Public Building Improvements, Oconee Springs Park Improvements, County Extension Office, and Animal Services Vehicles and Building, and; (2) Gas Tools & Equipment, Gas Line Expansion, Gas Department Vehicles, Police Vehicles, Police Tools & Equipment, Fire Trucks/Vehicles, Fire Tools & Equipment, Street Department Tools & Equipment, Street Department Vehicles, City Shop Tools & Equipment, Building & Grounds Tools & Equipment, Public Buildings & Site Improvements, Senior Center Vehicles, Blight Remediation, and City Hall Furnishings & Equipment for the Municipality of the City of Eatonton?”

The several places for holding said special election shall be at the regular and established voting precincts of the election districts of Putnam County, Georgia, and the polls will be open from 7:00 a.m. to 7:00 p.m. on the date fixed for the special election. All polling places will be open.

The last day to register to vote in this special election shall be October 6, 2025 through 5:00 p.m. Mail voter registration applications must be postmarked on or before October 6, 2025.

Those residents of Putnam County qualified to vote in such special election shall be determined in all respects in accordance with the election laws of the State of Georgia.

This notice is given pursuant to a resolution of the Putnam County Board of Commissioners adopted on _____, 2025.

This ____ day or August, 2025

File Attachments for Item:

17. Discussion and possible action to end the moratorium on Putnam County Code of Ordinances, Chapter 18 "Public Nuisance Dwellings, Buildings, or Structures" (SH)









07/15/2025

File Attachments for Item:

18. Discussion and possible action to request that the County Clerk increase the Short Term Rental application fees to \$700 and to allocate \$300 per application to the Special Service District (SH)

Sec. 22-124. Short term vacation rental application.

Applicants shall submit, on an annual basis, an application for a short term vacation rental license to the county clerk. Such application shall include:

- (a) The name, address, telephone and email address of the owner(s) of record of the dwelling unit for which a license is sought;
- (b) The address of the dwelling unit to be used as a short term vacation rental;
- (c) The name, address, telephone number and email address of the short term vacation rental agent, which shall constitute his or her 24-hour contact information, and who shall be at least 25 years old, and shall be able to be present onsite within one hour of contact;
- (d) The owner's sworn acknowledgement that he or she has received a copy of this section, has reviewed it and understands its requirements;
- (e) The number and location of parking spaces allotted to the premises and site plan indicating designated parking areas;
- (f) The owner's agreement to use his or her best efforts to assure that use of the premises by short term vacation rental occupants will not disrupt the neighborhood, and will not interfere with the rights of neighboring property owners to the quiet enjoyment of their properties and will abide by all other short term vacation rental regulations, and will abide by any and all other regulations established by this Code.
- (g) Any other information that this article requires the owner to provide to the county as part of an application for a short term vacation rental permit. The county clerk, or their designee, shall have the authority to obtain additional information from the applicant as necessary to achieve the objectives of this chapter.
- (h) If the rental agent changes, the property owner shall notify the county within five business days.
- (i) Application fees shall be as established by the county clerk.

(Ord. of 9-1-2023(1), § 1)

File Attachments for Item:

19. Discussion and possible action to schedule the "Development" work session voted by the BOC on April 4, 2025 (RG)

PUTNAM COUNTY BOARD OF COMMISSIONERS



117 Putnam Drive, Suite A ♦ Eatonton, GA 31024

Minutes

Friday, April 4, 2025 ♦ 10:00 AM

Putnam County Administration Building – Room 203

The Putnam County Board of Commissioners met on Friday, April 4, 2025 at approximately 10:00 AM in the Putnam County Administration Building, 117 Putnam Drive, Room 203, Eatonton, Georgia.

PRESENT

Chairman Bill Sharp
Commissioner Tom McElhenney
Commissioner Richard Garrett
Commissioner Steve Hersey
Commissioner Jeff Wooten

STAFF PRESENT

County Attorney Adam Nelson
County Manager Paul Van Haute
County Clerk Lynn Butterworth
Deputy County Clerk Mercy Fluker

Opening

1. Welcome - Call to Order
Chairman Sharp called the meeting to order at approximately 10:02 a.m.
(Copy of agenda made a part of the minutes on minute book page _____.)

2. Approval of Agenda

Motion to approve the agenda.

Motion made by Commissioner Wooten, Seconded by Commissioner McElhenney.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

3. Invocation

Pastor Jonathon Dawson from Lakepoint Community Church gave the invocation.

4. Pledge of Allegiance (SH)

Commissioner Hersey led the pledge of allegiance.

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Regular Business Meeting

5. Public Comments

Mr. William Vargo signed in to speak but passed.

6. Consent Agenda

- a. Approval of Minutes - March 17, 2025 Joint Called Meeting (staff-CC)
- b. Approval of Minutes - March 18, 2025 Regular Meeting (staff-CC)

Motion to approve the consent agenda.

Motion made by Commissioner Garrett, Seconded by Commissioner McElhenney.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

7. Report from Putnam Development Authority

Economic Development Director Matt Poyner presented the quarterly report for the Putnam Development Authority.

(Copy of presentation made a part of the minutes on minute book pages _____ to _____.)

8. Short Term Rental Update (BS)

- a. Licensing
- b. Code Enforcement

STR Coordinator Monica Evans, Code Enforcement Officer Cedrick Moreland, Planning & Development Director Lisa Jackson, and Sheriff Howard Sills presented information and answered questions about Short Term Rental Licensing and Code Enforcement.

(Copy of presentation made a part of the minutes on minute book pages _____ to _____.)

9. Authorization for Chairman to sign Resolution Naming County Roads in Proposed Habitat for Humanity Community (staff-CM)

Ms. Kristine Tarrer, a lawyer on behalf of Habitat for Humanity, commented that she is here for questions and gave information regarding the roads being renamed.

Mr. Billy Webster commented on the condition of roads not being up to standards and requested the renaming be delayed until the roads are improved.

County Manager Van Haute provided background information and advised the roads were accepted by Putnam County back in the early 1990's.

Motion to authorize the Chairman to sign the Resolution Naming County Roads in Proposed Habitat for Humanity Community.

Motion made by Commissioner Wooten, Seconded by Commissioner McElhenney.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

(Copy of resolution made a part of the minutes on minute book pages _____ to _____.)

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10. Authorization for staff to schedule a Public Hearing on proposed changes to the Putnam County Code of Ordinances - Chapter 2 (Administration) (staff-CA)
County Attorney Adam Nelson briefly explained the creation of the new code and changes to the ordinance that need a public hearing to discuss recreation and resources.

Motion to authorize staff to schedule a Public Hearing on proposed changes to the Putnam County Code of Ordinances – Chapter 2 (Administration).

Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

(Copy of proposed changes made a part of the minutes on minute book pages _____ to _____.)

11. Authorization for staff to schedule a Public Hearing on proposed changes to the Putnam County Code of Ordinances - Chapter 18 (Buildings and Building Regulations) (SH)
Commissioner Hersey explained this is about nuisance structures, not based on appearances but on health, safety, and law enforcement issues in the county, and reviewed how the process would work (steps 1-8). This code is based off the state code.

County Attorney Adam Nelson explained this would be new to our code and that it is a state code mandated process but is not required.

Motion to authorize staff to schedule a Public Hearing on proposed changes to the Putnam County Code of Ordinances – Chapter 18 (Buildings and Building Regulations).

Motion made by Commissioner Hersey, Seconded by Commissioner Garrett.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

(Copy of proposed changes made a part of the minutes on minute book pages _____ to _____.)

12. Discussion and possible action on Harmony Road widening project (SH)
Commissioner Hersey explained this would allow the county to come up with a design and obtain the potential costs for adding a third lane to Harmony Road and pointed out that there are several questions that need to be answered by the engineers to determine if this can be done. Commissioner McElhenney commented that this is something worth looking into to see if it is viable and worth spending money on.

Motion to authorize staff to obtain an engineering study and probable cost estimate for adding a 3rd lane to Harmony Road between Hwy 44 and Scott Road.

Motion made by Commissioner Hersey, Seconded by Commissioner McElhenney.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

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13. Authorization for the Chairman to sign a Resolution enacting a moratorium on development in District Three and to schedule a Work Session on development in Putnam County (SH)

Mr. Charles Gray commented on the consequences and financial impact to contractors and developers, as well as how pending applications will be handled and how this could impact district three and the entire county.

Mr. Josh Sprayberry requested the board not to approve this and commented on his current project and other projects bringing jobs to the area and the message this sends.

Ms. Tracy Southerland, representing Brandon Burgess, read a letter from Mr. Burgess.

Mr. Todd Ciavola commented on smart growth and smart development, the lack of notice for people to make public comments, modifying the moratorium, damages to landowners and land values, the process for comprehensive land use plans, and participating in a study committee.

Mr. Derrick Daniel requested clarification regarding the permits being included in this and commented on long-term residents losing their investments.

County Attorney Adam Nelson reviewed a letter received this morning from Jeff Haymore, that it is a threat of litigation against any action taken today that can be discussed in executive session if desired.

Commissioner Hersey explained that the resolution has been revised to only have a moratorium on rezoning applications and major subdivisions and commented that he would like to see Planning & Development use conditional uses instead of rezoning. Conditional use ties the property owner to a particular plan; if the plan changes then the conditional use goes away.

Motion to authorize the Chairman to sign a Resolution enacting a 90-day Moratorium on major subdivisions and rezoning in District Three (beginning April 5, 2025 at 11:00 a.m.).

Motion made by Commissioner Hersey, Seconded by Commissioner Garrett.

Voting Yea: Commissioner Hersey

Voting Nay: Commissioner McElhenney, Commissioner Garrett, Commissioner Wooten

Motion fails.

Motion to authorize the Chairman to schedule a Work Session to discuss development processes in Putnam County.

Motion made by Commissioner Hersey, Seconded by Commissioner Wooten,

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

Reports/Announcements

14. County Manager Report

No report.

15. County Attorney Report

No report.

16. Commissioner Announcements

Commissioner McElhenney: none

Commissioner Garrett: commended Butler Baker Alumni group on a successful luncheon and announced that they are 100% owners now.

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Commissioner Hersey: none

Commissioner Wooten: none

Chairman Sharp: announced a Work Session on SPLOST 10 Projects is scheduled on Friday, April 11th at 10:00 a.m. in Room 203.

Closing

17. Adjournment

Motion to adjourn the meeting.

Motion made by Commissioner McElhenney, Seconded by Commissioner Garrett.

Voting Yea: Commissioner McElhenney, Commissioner Garrett, Commissioner Hersey, Commissioner Wooten

Meeting adjourned at approximately 12:03 p.m.

ATTEST:

Lynn Butterworth
County Clerk

B. W. “Bill” Sharp
Chairman

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