



# Town of Paradise Planning Commission Meeting Agenda 6:00 PM – March 15, 2022

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**Town of Paradise Council Chamber – 5555 Skyway, Paradise, CA**

**Planning Commission Staff:**

Susan Hartman, Community Development Director

**Planning Commission Members:**

Carissa Garrard, Chair  
Ron Lassonde, Vice Chair  
Lynn Costa, Commissioner  
Kim Morris, Commissioner  
Zeb Reynolds, Commissioner

In accordance with the Americans with Disabilities Act, if you need a special accommodation to participate, please contact Community Development Director Hartman, at 872-6291 ext. 417 at least 48 hours in advance of the meeting. Hearing assistance devices for the hearing impaired are available from the Presiding Clerk. Members of the public may address the Planning Commission on any agenda item. If you wish to address the Planning Commission on any matter on the Agenda, it is requested that you complete a "Request to Address Council/Commission" card and give it to the Presiding Clerk prior to the beginning of the Meeting. All writings or documents which are related to any item on an open session agenda and which are distributed to a majority of the Planning Commission within 72 hours of a Regular Meeting will be available for public inspection at the Town Hall in the Town Clerk or Community Development Services Department located at 5555 Skyway, at the time the subject writing or document is distributed to a majority of the subject body. Regular business hours are Monday through Thursday from 8:00 a.m. to 5:00 p.m.

## **CALL TO ORDER**

## **PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA**

## **ROLL CALL**

### **1. APPROVAL OF MINUTES**

- 1a. Approve Special Meeting Minutes of January 13, 2022 and Regular Meeting Minutes of February 15, 2022.

### **2. COMMUNICATION**

- 2a. Recent Council Actions  
2b. Staff Comments

### **3. PUBLIC COMMUNICATION**

Comments may be submitted via e-mail to [dvolenski@townofparadise.com](mailto:dvolenski@townofparadise.com) prior to 4:00 p.m. the day of the meeting. Comments will not be accepted via YouTube. Comments are limited to a maximum of five minutes duration. If more time is needed, please request staff to place the subject on an agenda for a future Commission meeting.

**\* \* \* \* \* PUBLIC HEARING PROCEDURE \* \* \* \* \***

- |                                   |                                |
|-----------------------------------|--------------------------------|
| A. Staff comments                 | C. Close hearing to the public |
| B. Open the hearing to the public | D. Commission discussion       |
| 1. Project applicant              | E. Motion                      |
| 2. Parties for the project        | F. Vote                        |
| 3. Parties against the project    |                                |
| 4. Rebuttals                      |                                |

NOTE: Pursuant to Planning Commission Resolution No. 96-001, any person may speak before the Commission regarding the matter under consideration for a maximum of five minutes unless granted additional time by the Chair. "In accordance with the Americans with Disabilities Act, if you need a special accommodation to participate, please contact the Community Development Dept., at 872-6291 at least 48 hours in advance of the meeting."

**4. CONTINUED PUBLIC HEARING - None**

**5. PUBLIC HEARING**

- 5a. Approve a Conditional Use Permit to convert a portion of an assisted living facility to a motel-lodging land use (short-term rentals) for 14 units with an additional 45 units to be created as market-rate multi-family housing; or, Provide staff with alternative direction. (ROLL CALL VOTE)

**6. OTHER BUSINESS**

- 6a. Adopt Resolution No. 2022-01, "A Resolution of the Paradise Planning Commission Recommending Town Council Adoption of Updated Design Standards for the Downtown and Clark Road/Community Commercial Development Areas of the 2010 Design Standards and Rescind the Greater RDA Project Area Design District Standards and Update the Adoption Date in Paradise Municipal Code Chapter 17.41", or, 1. Direct staff to make further changes to the Design Standards. (ROLL CALL VOTE)

**7. COMMITTEE ACTIVITIES**

**8. COMMISSION MEMBERS**

- 8a. Identification of future agenda items (All Commissioners/Staff)

**9. ADJOURNMENT**

STATE OF CALIFORNIA )	SS.
COUNTY OF BUTTE )	
I declare under penalty of perjury that I am employed by the Town of Paradise in the Town Clerk's Department and that I posted this Agenda on the bulletin Board both inside and outside of Town Hall on the following date:	
<hr/>	
TOWN/ASSISTANT TOWN CLERK SIGNATURE	





# **Town of Paradise**

## **Planning Commission Special Meeting Minutes**

### **January 13, 2022**

### **6:00 PM**

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**CALL TO ORDER** by Vice Chair Lassonde at 6:00 p.m. who led the pledge of Allegiance to the Flag of the United States of America.

**PLANNING COMMISSIONERS PRESENT:** Lynn Costa, Carissa Garrard (via Teams), Kim Morris, Zeb Reynolds and Ron Lassonde (Chairing the Meeting),

#### **1. OTHER BUSINESS**

- 1a. Community Development Director Susan Hartman shared that no public comments were received during the public comment period on the draft Housing Element. Ms. Hartman also reviewed the new review process. Previously, the State Department of Housing & Community Development (HCD) would have reviewed the Draft Housing Element during the same period as the public review/comment period, however, the public comment period now precedes the HCD review process. HCD will then provide a conditional review in May; the draft will then be brought before the Town Council in June and then again to HCD for final review.

Leslie Carmichael and Tabitha Tolsma from Urban Planning Partners, Inc. were present via Teams and available for questions.

The Planning Commission discussed the draft 2022-2030 Housing Element update and provided staff with verbal direction to submit the draft 2022-2030 Housing Element update to HCD for their initial 90-day review. All Commission concurred.

#### **2. ADJOURNMENT**

Ron Lassonde adjourned the meeting at 6:17 p.m.

Date Approved:

By: \_\_\_\_\_  
Ron Lassonde, Vice Chair

Attest:

\_\_\_\_\_  
Melanie Norris, Deputy Town Clerk



**Town of Paradise  
Planning Commission Minutes  
February 15, 2022  
6:00 PM**

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**CALL TO ORDER** by Chair Garrard at 6:00 p.m. who led the pledge of Allegiance to the Flag of the United States of America.

**PLANNING COMMISSIONERS PRESENT:** Lynn Costa (via Teams), Kim Morris, Ron Lassonde, Zeb Reynolds (via Teams) and Carissa Garrard, Chair

**1. APPROVAL OF MINUTES**

- 1a. **MOTION by Morris, seconded by Lassonde**, approved the Regular Meeting Minutes of December 21, 2021 Planning Commission meeting. Roll call vote was unanimous.

**2. COMMUNICATION**

- 2a. Community Development Director Susan Hartman reported that Town Council approved the Notice of Intent to Comply for the State's new solid waste organics ordinance. Council also approved the Building and Housing Division to submit for State funds to be able to buy property, contract homes to be built and sell the homes to income eligible individuals.

**3. PUBLIC COMMUNICATION -None**

**4. CONTINUED PUBLIC HEARING - None**

**5. PUBLIC HEARING - None**

**6. OTHER BUSINESS**

- 6a. Community Development Director Susan Hartman presented on both items 6a the Planning Commission Annual Report for calendar year 2021 to the Town Council regarding the present implementation status of the 1994 Paradise General Plan and 6b the Planning Commission Annual Report for calendar year 2021 to the Town Council regarding the present implementation status of the 1994 Paradise General Plan Housing Element, together. Ms. Hartman reviewed the recommended policies. Items 6a and 6b were voted on as a single item.

**MOTION by Garrard, seconded by Morris**, 1. Accepted and referred the Planning Commission Annual Report for calendar year 2021 to the Town Council regarding the present implementation status of the 1994 Paradise General Plan; and, 2. Accepted and referred the Planning Commission Annual Report for calendar year 2021 to the Town Council regarding the present implementation status of the 1994 Paradise General Plan Housing Element. Roll call vote was unanimous.

**7. COMMITTEE ACTIVITIES -None**

**8. COMMISSION MEMBERS**

- 8a. Community Development Director Susan Hartman shared that the Feather River Retirement Residence is working with Planning to convert the entire facility to multifamily. This, however, would create a different impact with people coming

and going, therefore, they have proposed scaling it down to just 59 units of the 115 apartments. Planning staff is working to match up the new use against the previous environmental review before they can bring it forward.

**9. ADJOURNMENT**

Chair Garrard adjourned the meeting at 6:25 p.m.

Date Approved:

By: \_\_\_\_\_  
Carissa Garrard, Chair

Attest:

\_\_\_\_\_  
Dina Volenski, CMC, Town Clerk



**Town of Paradise**  
**Planning Commission Agenda Summary**      **Agenda Item: 5(a)**  
**Date: March 15, 2022**

**ORIGINATED BY:** Christopher Smith, Associate Planner  
**REVIEWED BY:** Susan Hartman, Planning Director  
**SUBJECT:** Feather Canyon Conditional Use Permit Application  
(PL21-00144)

**COMMISSION ACTION REQUESTED:**

1. Approve a Conditional Use Permit to convert a portion of an assisted living facility to a motel-lodging land use (short-term rentals) for 14 units with an additional 45 units to be created as market-rate multi-family housing. OR
2. Provide staff with alternative direction.

**Project Information:**

Project Density: ±4.44 Dwelling Units Per Acre  
Present Zoning: CS (Community Services)  
General Plan  
Designation: CS (Community Service)  
Existing Land Use: Community Care Facility  
Surrounding Land Use: North: Residential  
East: Vacant County Land  
South: Hospital Service  
West: Residential  
Parcel Size: ±13.3 acres  
CEQA Determination: Categorically Exempt - CEQA Section 15301, Class 1  
Other: An appeal of the Planning Commission's decision can be made within seven (7) days of the decision date.

**Background:**

Guillon Inc. Construction is requesting approval of a conditional use permit from the Town of Paradise to establish 14 motel-lodging units (short-term rentals), as well as 45 multiple-family residential units within a portion of an existing structure previously used as an assisted

living facility. The ±13.3-acre project site is located at the central-eastern edge of Paradise at 5900 Canyon View Drive and is situated within the Community-Services (C-S) zoning district.

The project site is currently improved with an existing 115-bed care facility which previously operated as the Feather Canyon Gracious Retirement Living facility, offering assisted living, independent living, and dementia care, with detached satellite dwellings on the property. While the detached structures were destroyed by the Camp Fire, the main structure remained with minimal damage. The building still has fire sprinklers, and seven (7) fire hydrants remain on or near the property. All 59 units would occupy the western wing of the building, which is separated from the remainder of the building by a two-hour firewall.

Primary access to the structure would continue to come from Pentz Road to Peach Lane which then connects to Canyon View Drive, as it was previously accessed. Canyon View Drive is a private road that terminates near the structure and provides access to the front building entrance, to the east, and the largest parking lot, which sits to the south of the building. The paved interior access road ends in a parking lot to the north of the building with appropriate ADA access to the structure. An unpaved access road connects to the north parking lot and circles around the rear of the building, connecting to a driveway south of the building. This allows the structure to be accessed from all directions.

The Paradise Municipal Code requires seventy-five (75) parking spaces for the project, as proposed, with seventy (70) parking spaces already existing on-site. The applicant has proposed additional parking spaces on the northeastern edge of the property, where previous buildings stood, to provide the necessary additional parking as well as capacity for extra spaces if needed.

The wastewater treatment plant serving the facility was reviewed and approved by the Onsite Sanitary Official for capacity to serve the proposed project and necessary post-fire repairs were previously completed and signed off by Town staff.

If approved, alterations would be made to meet current building code requirements and offer additional on-site services. Second story units may include ranges and ventilation hoods. Common areas are slated for mailboxes, exercise machines, billiards, and a book/computer room. In addition, the structure has a commercial-grade kitchen and could provide limited food services to the tenants.

### **Environmental Review:**

As a project that would utilize an existing structure and have a significantly similar use and impacts, the project belongs to a class of projects that can be determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15301 (Class 1) of the CEQA Guidelines.

### **Analysis:**

Pursuant to Chapter 17.26 of the Paradise Municipal Code, the establishment of a motel-lodging land use along with multi-family units is subject to town approval of a conditional use permit.

An Environmental Impact Report (EIR) was completed in 1997 for the establishment of the existing assisted living and retirement community at this site. While most environmental impacts were mitigated to below a level of significance, two items remained significant in their environmental effects: cumulative impact of an increase in regional traffic and vehicle

emissions, and public fire safety due to limited access and fire department response times. When identified impacts to the environment cannot be mitigated to a less than significant level, a statement of overriding considerations must be made to certify the EIR which the Planning Commission did through Resolution 98-007.

The current project has been scaled down to 59 units to maintain comparable impacts to the previous use, reducing estimated vehicle trips by 16 per day. By doing so, the current project falls under a CEQA categorical exemption pursuant to Section 15301, Class 1, as the project would use an existing facility and have substantially the same purpose and capacity as the use replaced. Traffic calculations were verified by a third party, on contract to the Town, using the 11<sup>th</sup> edition Institute of Traffic Engineers Trip Generation Manual.

After reviewing the application materials and circumstances associated with this application request, it is staff's position that the requested conditional use permit application is reasonable and that the establishment of the proposed motel-lodging and market rate multiple family land use is vital to the rebuild of the Town of Paradise and the site is appropriate for such a use. Therefore, staff recommends Planning Commission approval of the Feather Canyon Conditional Use Permit application, based upon and subject to the following recommended findings and conditions of project approval:

#### **Required Findings for Approval:**

- a. The proposed project is categorically exempt from environmental review under the provisions of the California Environmental Quality Act (CEQA), pursuant to Section 15301, (Class 1) of the CEQA guidelines
- b. Find that the project, **as conditioned**, is consistent with the Community Services designation as shown on the Paradise General Plan land use map, and is consistent with the development goals, objectives and policies of all applicable Paradise Municipal Code Chapter 17.26 (Community Services Zone).
- c. Find that the project, **as conditioned**, is compatible with surrounding land uses and would not be detrimental to the health, safety and general welfare of the residents of the Town of Paradise.

#### **Recommendation:**

Adopt the required findings for approval as provided by staff and approve the Feather Canyon Conditional Use Permit application (PL21-00144) to allow the establishment of 59 rental units consisting of 14 motel-lodging units (short-term rentals) and 45 multi-family units 3subject to the following conditions:

#### **GENERAL CONDITIONS**

If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the conditional use permit may become subject to revocation by the Town of Paradise.

1. Outside light fixtures associated with the project shall be designed to not exceed a height of sixteen feet above finished grade and shall be shielded to prevent the direct projection of light onto adjoining and nearby properties.

2. Secure Design Review approval for the establishment of any signage and maintain the property in a manner consistent with the Town of Paradise Design Standards.
3. The property owner shall be required to establish and maintain solid waste collection services for the project property, provided by the franchised solid waste hauler, for the duration of the land use.
4. If food service is provided by the commercial kitchen, clearance and inspection through Butte County Environmental Health is required.

### **CONDITIONS TO BE MET PRIOR TO BUILDING PERMIT ISSUANCE**

5. Meet the requirements of the Town Building Official regarding submittal of construction plans, building permit application, and all applicable town adopted construction code requirements for the conversion of a portion of the assisted living facility to 59 rental units.
6. Provide an Engineered site plan and civil improvement plan, to the Engineering Division, showing the additional parking stalls required to support the development, the required grading and site plan revisions needed to accommodate the additional parking stalls, materials proposed for the additional parking (asphalt or concrete), associated site drainage, post construction BMPs (if applicable based on the proposed size of new impervious surfaces), site access/turning templates for residential, delivery and emergency service vehicles, roadway improvements as required to support the additional parking and site access evaluation, and pedestrian access from proposed parking stalls, as required. Pay appropriate fees as adopted by the Master Fee Schedule.

### **CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND OCCUPANCY**

#### **UTILITIES**

7. Provide evidence from Paradise Irrigation District that the water advisory has been lifted for the site.

#### **SITE DEVELOPMENT**

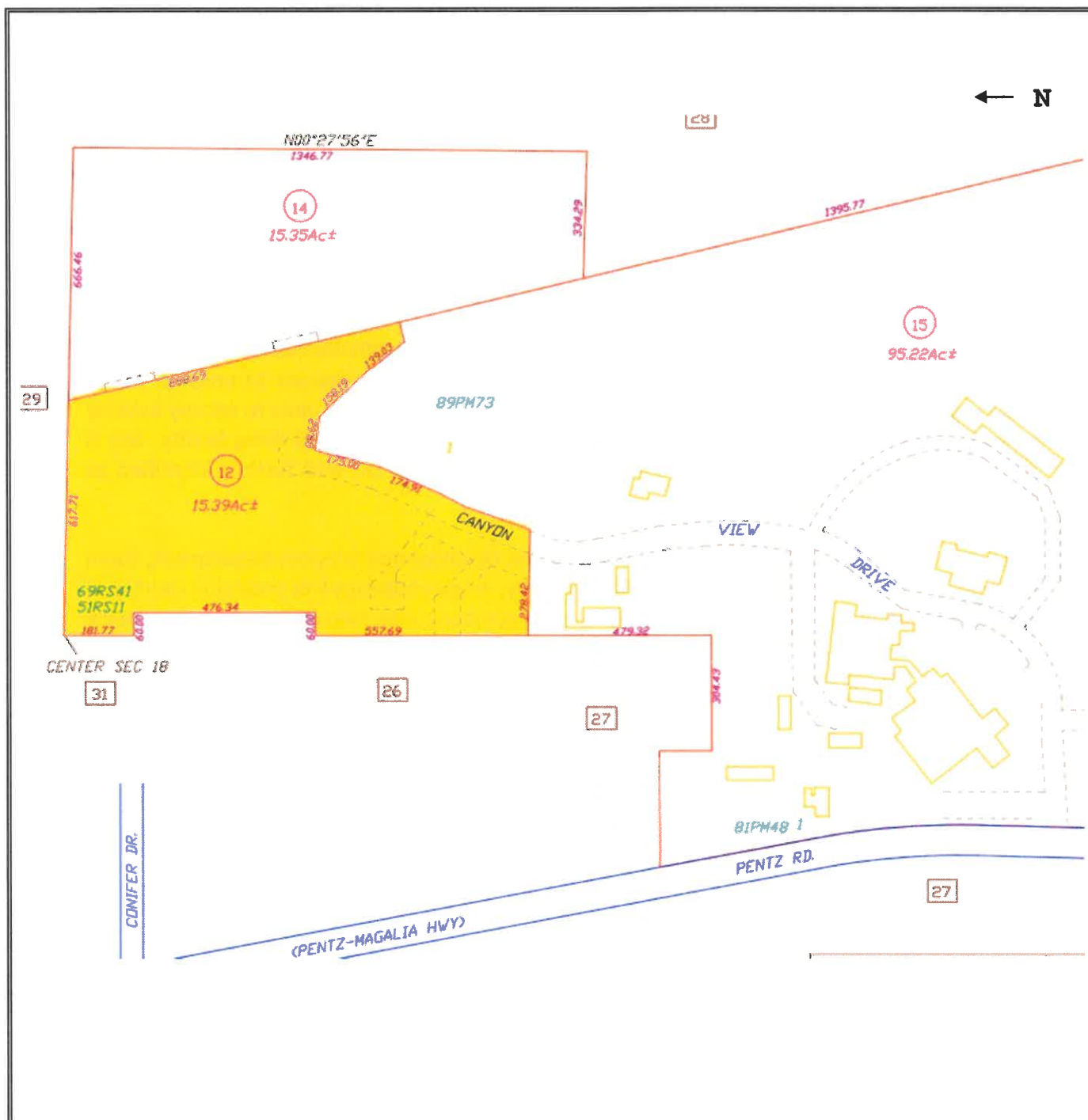
8. Required landscape plans for the proposed project shall be designed to provide for landscaping comprising a minimum of ten percent of the developed area of the site. Landscape Plans shall be designed in accordance with the requirements of the State of California Model Water Efficient Landscape Ordinance (MWELO).
9. Complete a 5-year inspection of the fire sprinkler system and an annual fire alarm inspection.

**Failure to uphold and maintain compliance with the conditions of this permit may result in the permit being administratively revoked by the Town of Paradise (PMC Section 17.45.230).**

**ATTACHMENTS FOR THE  
FEATHER CANYON CONDITIONAL USE PERMIT (PL21-00144)**

1. Project site vicinity map
2. Notice sent to surrounding property owners for the March 15<sup>th</sup>, 2022, public hearing
3. Mailing list of property owners notified of the March 15<sup>th</sup>, 2022, public hearing
4. Comments received from reviewing departments/agencies
5. Conditional Use Permit application submitted by Guillon Inc.
6. Project site plan and elevations
7. Project Description
8. Letter of Support





APPLICANT: Guillon Inc.		5900 Canyon View
OWNER: Guillon Inc.		
PROJECT DESCRIPTION: Proposed 14 units for motel and lodging use with an additional 45 market rate apartments. Dwelling units to occupy existing structure on site with a 115-unit capacity, previously used as an assisted living facility.		
ZONING: CS	GENERAL PLAN: CS	FILE NO. PL21-00144
ASSESSOR PARCEL NOS. 053-390-012		MEETING DATE: 03-15-22

## NOTICE OF PUBLIC HEARING: PARADISE PLANNING COMMISSION

**NOTICE IS HEREBY GIVEN** by the Planning Commission that a public hearing will be held on **Tuesday, March 15, 2022 at 6:00 p.m.** in the Town Hall Council Chambers, 5555 Skyway, Paradise, CA, regarding the following project:

- a. Item to be determined to be exempt from environmental review

**Feather Canyon Conditional Use Permit Application (PL21-00144)** Planning Commission consideration of a request for conditional use permit approval of proposed 14 units for motel and lodging use with an additional 45 market rate apartments. Dwelling units to occupy existing structure on site with a 115-unit capacity, previously used as an assisted living facility. Site is zoned Community Services (CS), located at 5900 Canyon View Dr. and further identified as Assessor Parcel Nos. 053-390-012.

The project file is available for public inspection at the Development Services Department, Town of Paradise, Building Resiliency Center at 6295 Skyway. If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town Planning Director at, or prior to, the public hearing. For further information please contact the Planning Division at (530) 872-6291 x435.

SUSAN HARTMAN  
Planning Director

Apn  
Owner  
Owner2  
Street\_Address  
City\_State\_Zip

053-390-012-000  
Paradise Retirement Residence Lp  
601 S 74th Place, Suite 100  
Ridgefield, Wa 98642

053-260-021-000  
Darwin Amy L & Ayers Everett W  
6562 Elk River Rd  
Eureka, Ca 95503

053-260-022-000  
Darwin Amy L & Ayers Everett W  
6562 Elk River Rd  
Eureka, Ca 95503

053-260-041-000  
Jacobs Matthew G  
1876 Del Rio Way  
Paradise, Ca 95969

053-260-044-000  
Darwin Amy L & Ayers Everett W  
6562 Elk River Rd  
Eureka, Ca 95503

053-260-054-000  
Koehn Daniel L Etal  
Tayco Dana A  
14409 Seagate Dr  
San Leandro, Ca 94577

053-260-055-000  
Bruno Leaha A  
2838 Orange Ave  
Oroville, Ca 95966

053-260-059-000  
Mckasson Richard C & Debra K Trust  
C/O Mckasson Richard & Debra Trustees  
1870 Del Rio Way  
Paradise, Ca 95969

053-260-062-000  
Coons Ruth Effie Living Trust Estate  
C/O Coons Carole A Succ Trustee  
1249 Andalusia Dr  
Sacramento, Ca 95833

053-260-066-000  
Olshak Hannelore Etal  
Sullivan Loreen & Mark  
1872 Del Rio Way  
Paradise, Ca 95969

053-260-087-000  
Siler Jeffry & Diana Family Trust  
C/O Siler Jeffry N & Diana D Trustees  
1871 Vineyard Dr  
Paradise, Ca 95969

053-260-088-000  
Avila Norberto S  
116 W 11th Ave  
Chico, Ca 95926

053-260-089-000  
Jordan Anthony  
774 Portal Dr  
Chico, Ca 95973

053-260-090-000  
Thomas Arthur E & Helen E  
1870 Vineyard Dr  
Paradise, Ca 95969

053-271-002-000  
Hindahl Jason Alan Etal  
Ray Livana L  
5940 Rockydale Rd  
Cave Junction, Or 97523

053-290-006-000  
Ralston Revocable Inter Vivos Trust  
94 Dominion Dr  
Chico, Ca 95973

053-290-020-000  
Ralston Cheryl C Etal  
Gross Wayne & Henley Family Trust  
129 Sycamore Valley Dr  
Chico, Ca 95973

053-290-021-000  
Fleury Gary & Thanpirak-Fleury Kim  
8110 Carsington Way  
Sacramento, Ca 95829

053-290-023-000  
Habitat For Humanity Of Butte County  
220 Meyers St  
Chico, Ca 95928

053-290-029-000  
Darwin Amy L & Ayers Everett W  
6562 Elk River Rd  
Eureka, Ca 95503

053-290-053-000  
Ralston Ronald M & Cheryl C  
94 Dominion Dr  
Chico, Ca 95973

053-290-055-000  
Masters Susan C  
6035 Blackberry Ln  
Paradise, Ca 95969

053-290-058-000  
Henley Family Trust  
C/O Henley Debra J Trustee  
129 Sycamore Vallley Rd  
Chico, Ca 95973

053-310-010-000  
Bear Jedidiah  
5589 Ora St  
San Jose, Ca 95129

053-310-011-000  
Bredow Helmut & Diana Trust  
C/O Bredow Helmut & Diana Trustees  
1644 Spanish Bay Dr  
Redding, Ca 96003

053-310-012-000  
Webb Jeanie Irene Rev Inter Vivos Trust  
C/O Webb Jeanie Irene Trustee  
5 Roseanna Ct  
Chico, Ca 95973

053-310-013-000  
Mescall John J & Sally  
1301 Waring St  
Seaside, Ca 93955

053-310-014-000  
Crain Daniel W & Tammy A  
520 Jackpine Dr  
Grants Pass, Or 97526

053-310-031-000  
Ivanov Andrei Etal  
Ivanov Natalia  
4951 Jolana Ln  
North Highlands, Ca 95660

Apn  
Owner  
Owner2  
Street\_Address  
City\_State\_Zip

053-310-034-000  
Darwin Amy L & Ayers Everett W  
6562 Elk River Rd  
Eureka, Ca 95503

053-390-014-000  
Feather River Hospital  
5974 Pentz Rd  
Paradise, Ca 95969

053-310-032-000  
Colyer Revocable Inter Vivos Trust  
C/O Colyer Arthur S & Joan M Trustees  
1839 Stark Ln  
Paradise, Ca 95969

053-310-035-000  
Keane Christopher M  
1874 Conifer Dr  
Paradise, Ca 95969

053-390-015-000  
Feather River Hospital  
Attn: Financial Shared Services/Fixed  
Assets  
Po Box 619135  
Roseville, Ca 95661

053-310-033-000  
Tayco Dana A Etal  
Koehn Daniel L  
14409 Seagate Dr  
San Leandro, Ca 94577

053-310-036-000  
White Cathlene D  
1470 Bennett Rd  
Paradise, Ca 95969

Feather Canyon

Paradise Unified School District  
6696 Clark Road  
Paradise, CA 95969

Paradise Irrigation District  
6332 Clark Road  
Paradise, CA 95969

Paradise Recreation & Park Dist.  
6626 Skyway  
Paradise, CA 95969

Paradise Ridge Chamber of  
Commerce  
6161 Clark Road Ste. 1  
Paradise, CA 95969

Paradise Board of Realtors  
6161 Clark Road Ste. 2  
Paradise, CA 95969

Pacific Gas & Electric  
Laird Oelrichs, Land Agent  
350 Salem St.  
Chico, CA 95928

Butte County Planning  
Courier

Paradise Cemetery District  
980 Elliott Road  
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.  
629 Entler Ave., Suite 15  
Chico, CA 95928

*Feather Canyon*

Butte Environmental Council  
313 Walnut St., Ste. 140  
Chico, CA 95928

Paradise Unified School District  
6696 Clark Road  
Paradise, CA 95969

Paradise Irrigation District  
6332 Clark Road  
Paradise, CA 95969

Paradise Recreation & Park Dist.  
6626 Skyway  
Paradise, CA 95969

Paradise Ridge Chamber of  
Commerce  
6161 Clark Road Ste. 1  
Paradise, CA 95969

Paradise Board of Realtors  
6161 Clark Road Ste. 2  
Paradise, CA 95969

Pacific Gas & Electric  
Laird Oelrichs, Land Agent  
350 Salem St.  
Chico, CA 95928

Butte County Planning  
Courier

Paradise Cemetery District  
980 Elliott Road  
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.  
629 Entler Ave., Suite 15  
Chico, CA 95928

Butte Environmental Council  
313 Walnut St., Ste. 140  
Chico, CA 95928



**Town of Paradise**  
 Community Development Department  
 Building Resiliency Center  
 6295 Skyway  
 Paradise, CA 95969  
 (530) 872-6291 x411

## Town of Paradise Department Responses

PL21-00144 Feather Canyon Conditional Use Permit		
<b>Commenting Department</b>	<b>Date received</b>	<b>Comment</b>
<b>Building</b>	10/28/21	<p>1. Project shall adhere all applicable California Building standards.</p> <p><b>Tony Lindsey, Building Official</b></p>
<b>Engineering</b>	11/01/21	<p><b>Conditions Prior to permit Issuance:</b></p> <p>1. Provide an Engineered site plan and civil improvement plan showing the additional parking stalls required to support the development, the required grading and site plan revisions needed to accommodate the additional parking stalls, materials proposed for the additional parking (asphalt or concrete), associated site drainage, post construction BMPs (if applicable based on the proposed size of new impervious surfaces), site access/turning templates for residential, delivery and emergency service vehicles, roadway improvements as required to support the additional parking and site access evaluation, and pedestrian access from proposed parking stalls, as required.</p> <p><b>Ashley Stanley, Principal Engineer</b></p>
<b>Fire</b>	10/28/21	<p><u><b>STANDARD FIRE CONDITIONS:</b></u></p> <p>1. fire sprinkler system requires a 5 Year inspection</p> <p>2. fire alarm requires an annual inspection</p> <p><b>Tony Lindsey, Fire Marshal</b></p>



**Town of Paradise**  
 Community Development Department  
 Building Resiliency Center  
 6295 Skyway  
 Paradise, CA 95969  
 (530) 872-6291 x411

<b>Onsite / Wastewater</b>	11/2/21	<p>1. Obtain building permit for all septic construction.</p> <p><b>Bob Larson, Town Onsite Official</b></p>
<b>Police department</b>	10/25/21	<p><b>No Comments</b></p> <p><b>Eric R. Reinbold, Chief of Police</b></p>
<b>Paradise Irrigation District</b>	10/28/21	<p><b>Conditions prior to permit final:</b></p> <p>1. "APN 051-131-013 is currently served through a 1.5" metered service connection. Contact PID if the planned development or code upgrades prompt any size upgrades to the meter, service, or backflow. Costs for any necessary upgrades are the responsibility of the property owner. Please contact the PID office at 530-877-4971 for questions or assistance."</p> <p><b>Blaine Allen, PID</b></p>



# TOWN OF PARADISE APPLICATION FOR CONDITIONAL USE PERMIT

[Project Number (to be filled by town staff): PL \_\_\_\_ - \_\_\_\_]

Applicant Guillon Inc. Construction Email JAKE@GUILLONINC.COM

Phone (530) 513-3626 Mailing Address 2550 LAKEVIEW #50, CHICO CA 95928

Applicant Interest in Property (Owner, Lessee, other) ESCROW  
(If applicant is *not* the property owner, the owner's signature or owner-signed letter of authorization *must* accompany this application)

Owner PARADISE RETIREMENT RESIDENCE L.P. Phone (360) 213-1530

Owner mailing address 601 S 74TH PLACE RICHFIELD WA 98662 ATTN: SUSAN HAIDER

Property Address 5900 CANYON VIEW DR. Parcel Acreage 15.39

Engineer (Name, Address) \_\_\_\_\_ Phone \_\_\_\_\_

Engineer Phone \_\_\_\_\_ Email \_\_\_\_\_

AP Number(S) 053-390-012-000 Zone CS Existing Use RETIREMENT RESIDENCE - VACANT

Detailed project description (Attach additional sheets if necessary) CONVERT EXISTING STRUCTURE INTO A MULTI-FAMILY SETTING, WHILE RESERVING SOME UNITS (14) FOR SHORT TERM RENTAL

Approximate no. yards cut and fill N/A

Radial distance to nearest billboard UNKNOWN Sq. ft. of proposed structure/project OVER 110,000 +/-

Percent increase in area of structures on site (i.e., a 250 Sq. Ft. addition to a 1,000 sq. ft. building = 25%) N/A

Distance to nearest fire hydrant ON-SITE (8 TOOR) Distance from centerline N/A

Days of operation \_\_\_\_\_ Hours of operation \_\_\_\_\_ Proposed no. of employees 2-3

Residential Density \_\_\_\_\_ Max. Occupancy \_\_\_\_\_ Max. height of proposed structure \_\_\_\_\_

Describe exterior design and finish (attach additional sheets if necessary) \_\_\_\_\_

Method of sewage disposal EXISTING SEPTIC FACILITY

Is the proposed project site considered sensitive for archaeological resources? Yes \_\_\_\_\_ No \_\_\_\_\_ (Please consult staff.)

(Note: If yes, please submit payment of fees to the Northeastern Information Center for an archaeological records inventory search)

I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE STATEMENTS AND ATTACHED PLOT PLAN ARE TRUE, ACCURATE, COMPLETE, AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Applicant's Signature Jake Mely Date NOV 9 / 2021

Property Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_  
(If applicable)

PLEASE ALLOW 6-8 WEEKS FOR PROCESSING; LONGER IF THE PROJECT IS SUBJECT TO ENVIRONMENTAL REVIEW

Note: By signing this application form, the applicant is indicating that the project site is not included on any State or local list of hazardous waste sites compiled pursuant to California Government Code Section 65962.5, effective July 1, 1987.

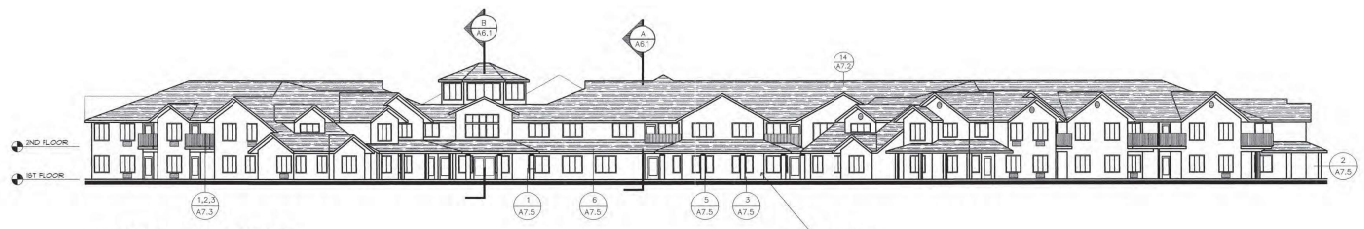




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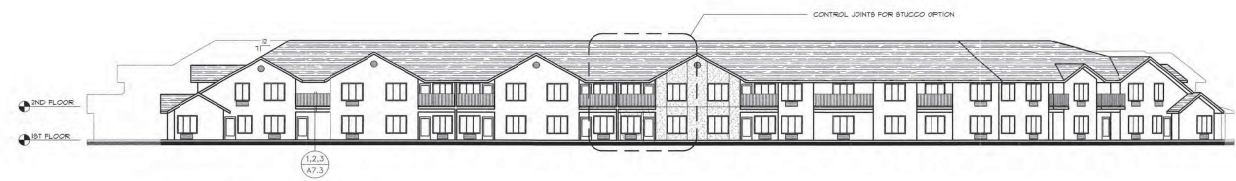
**A FRONT ELEVATION**  
SCALE: 1/8"=1'-0" (TYP. ALL DIMS THIS SHEET U.O.N.)



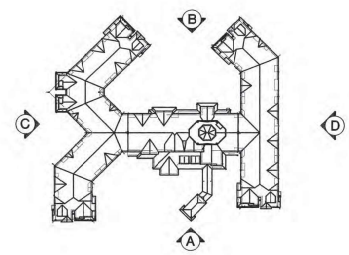
**B REAR ELEVATION**  
SCALE: 1/8"=1'-0" (TYP. ALL DIMS THIS SHEET U.O.N.)



**C LEFT ELEVATION**  
SCALE: 1/8"=1'-0" (TYP. ALL DIMS THIS SHEET U.O.N.)



**D RIGHT ELEVATION**  
SCALE: 1/8"=1'-0" (TYP. ALL DIMS THIS SHEET U.O.N.)



**Curry Brandaw Architects**  
ARCHITECTS  
2250 W. 10TH AVE., SUITE 200  
SANTA ANA, CA 92705  
TEL: 714.241.1111 FAX: 714.241.1112

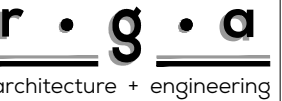
**COLSON AND COLSON**  
GENERAL CONTRACTOR, INC.  
2250 W. 10TH AVE., SUITE 200  
SANTA ANA, CA 92705  
PHONE: (714) 370-7070

**PARADISE RETIREMENT RESIDENCE**  
PARADISE, CALIFORNIA

**EXTERIOR BUILDING ELEVATIONS**

DATE: 05/28/99  
REVISED DATE:  
SHEET: A 6.3

PONDEROSA RETIREMENT RESIDENCE



RUSSELL,  
GALLAWAY  
ASSOCIATES inc.

115 MEYERS STREET  
SUITE 110  
CHICO, CA 95928  
530 342 0302

[www.rgachico.com](http://www.rgachico.com)

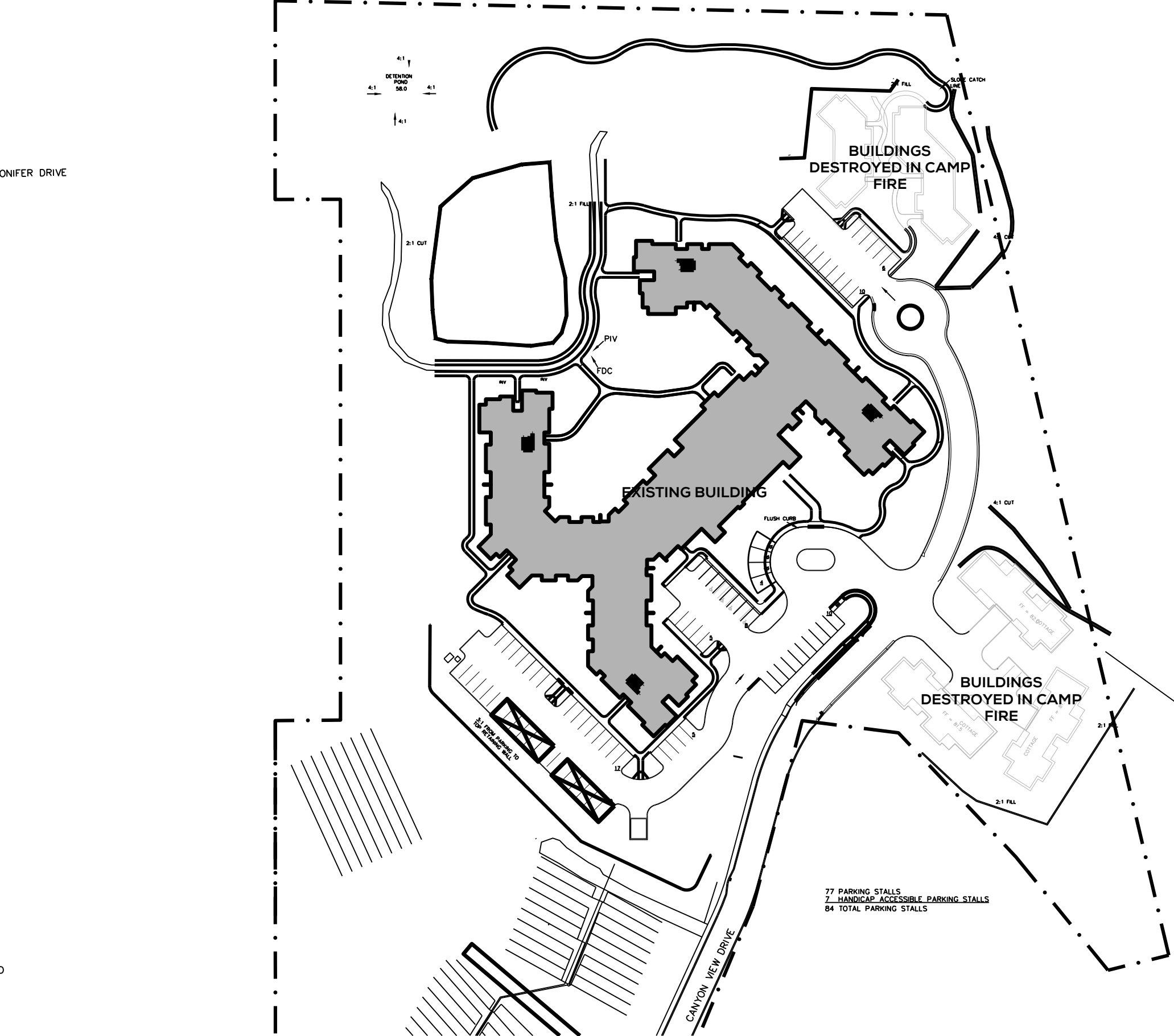
# FEATHER CANYON

5900 CANYON VIEW  
PARADISE  
ASSESSORS  
PARCEL NUMBER

DRAWING SCALE	1"=100'
IRGA PROJECT #	21-706
DRAWN	GALLAWAY
CHECKED	JM
STATUS DATE	2022.01.12

# PARKING LAYOUT

# EX B



**Revised Project Description  
5900 Canyon View Drive, Paradise, CA 95969**

The revised request is to convert the western wing of 5900 Canyon View into a combination of apartment units (45) and short term rental units (14). Short term rentals will be limited to no stay longer than 3 weeks.

The western wing is defined as the residential units on the west side of the two-hour firewall that separates the west wing from the common core (as noted and delineated on the attached plans). The common core area will be accessible for tenants, as it contains mail boxes, book/computer room, billiard table, exercise machines, main access door, elevator and office and other common areas and lobby spaces.

*Landscaping*

The area immediately abutting the structure (Zone 0) and extending 5 feet will receive the most stringent wildfire fuel reduction. All existing landscaping, including scrubs, trees and groundcover will be moved within this area and replaced with a non-combustible material such as stones, gravel or pavers. In some instances, this zone area will extend further out than 5 feet, to ensure safe passage from building exits and a reduction in unnecessary landscaping.

The area just outside of the 5 foot and extending up to 30 feet from the structure (Zone 1), will have all landscaping that is dead or dying removed. Branches will be limbed up on trees to ensure at least a 6 foot clearance from grade and no branches will extend over vertical boundary of Zone 0. All shrubs within this zone will be removed if they are under the canopy of a tree or next to any patio or deck to remove the possibility of fire climb.

All other landscaping that has died since the Campfire will be replaced with drought-tolerant plants and mulch, so long as the landscaping does not encroach or is in compliance with Zone 0 and 1. The existing drip irrigation system is sound, with minor replacement needed for specific areas that are damaged. All landscaping will be installed pursuant to MWEL water standards.

*Parking*

The site currently accommodates 71 parking stalls, with 54 of them located near the western wing. The proposal to convert the western wing into multi-family and allow short term rentals, would require the site to have a total of 74 stalls. To accommodate the change in use, at a minimum an additional 3 stalls will be provided on site.

*Food*

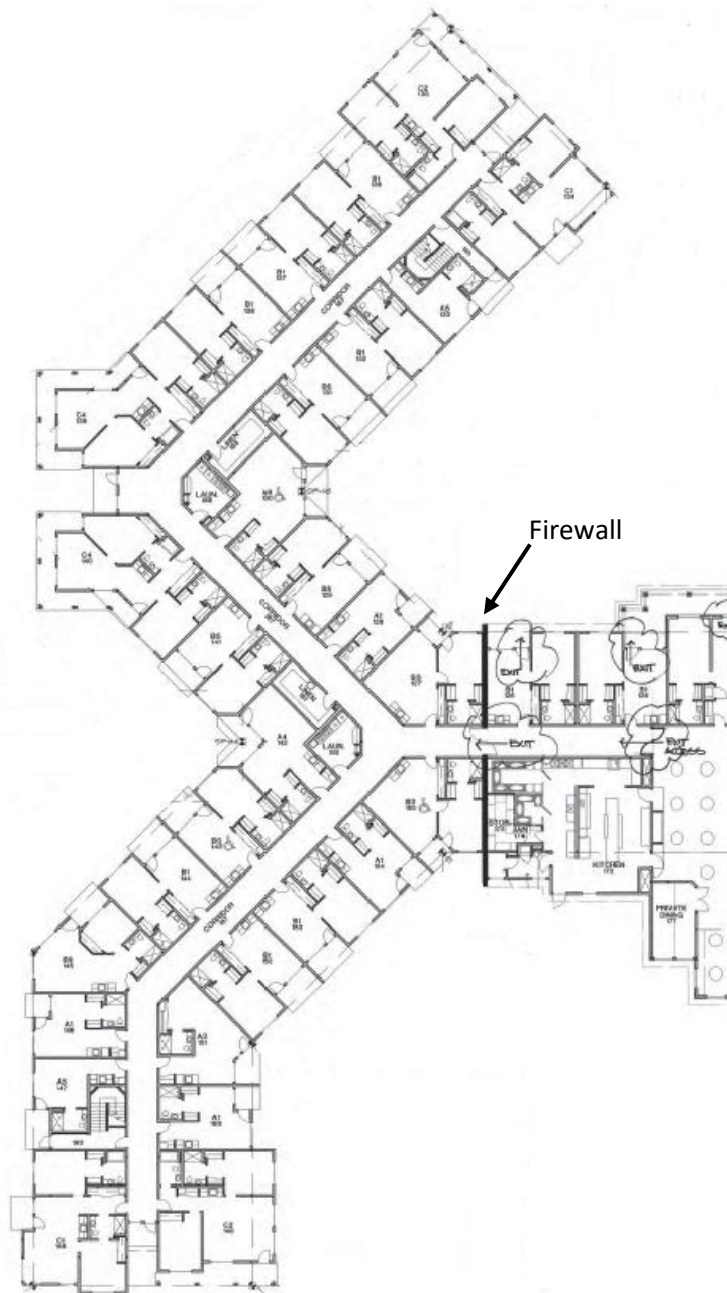
Currently the subject facility has a commercial grade kitchen, as such, we are looking to have limited operation of the kitchen to provide the opportunity for tenants to purchase a meal. The operator of the kitchen may be the same who operates Nick's Deli in Paradise. We have also received a proposal from a local vending machine operator to provide machines on site that will initially provide dry goods and sodas, then hopefully scale up into fresh and frozen items, some of which will be provided directly from the on site kitchen.



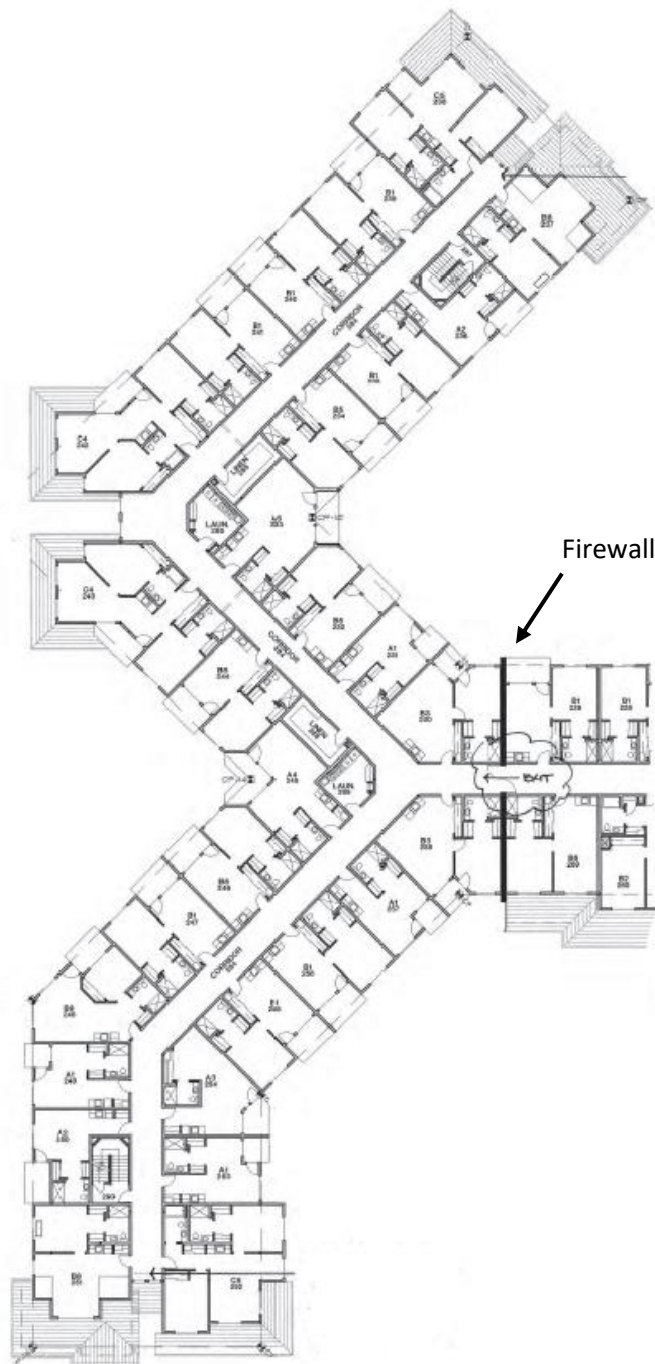
### *Existing Conditions*

Currently the subject site has approximately 6 fire hydrants that are located around the perimeter of the building. Five of which are within 35 feet of the structure. The structure is physically accessible by a fire truck as Canyon View and a parking lot wrap around the southern, eastern and northern side, while a gravel road and hollowood access strips are along the western side.

The structure itself contains a fire sprinkler system, which is also located on the outside of the structure in common roof overhang areas (covered walkways, entrances/exits).



First Floor of 5900 Canyon View.  
Consist of 14 AirBNB units and 15 multi-family units.



Second floor of 5900 Canyon View  
Consisting of 20 multi-family units



Disaster Case Management Program  
P.O. Box 568  
Paradise, CA 95967

March 04, 2022

Chris Smith  
Town of Paradise  
5555 Skyway  
Paradise, CA 95969

Dear Mr. Smith,

I'm writing in support of Feather Canyon Apartments opening as a much needed affordable housing solution in Paradise. I am currently the Program Manager for St. Vincent de Paul's Disaster Case Management Program and work with case managers to permanently house fire survivors. I have lived on the Ridge since 1998 and have been involved in social services in our community since 2003. While working as the director of The Salvation Army's Social Service Center and later for Sojourner's House on the Ridge (SHOR), it became evident that while the Ridge was a great place to live, it lacked an adequate inventory of both affordable and subsidized housing. Therefore, with the number of disabled, elderly, and low-income individuals living in Paradise, finding creative solutions to providing sustainable housing to Ridge residents has been an underlying community issue for years.

Since the 2018 Camp Fire and the destruction of much of the affordable housing in our community, it has become drastically more challenging to house vulnerable and low-income populations. Therefore, most would agree that implementing creative solutions to providing housing options has become a necessary component of "rebuilding the Ridge." Thus, I was very pleased to learn that Feather Canyon may reopen as apartments that are no longer designated only for "independent living." This represents over 100 units that are already built and sitting empty that could be utilized to house the most vulnerable in our community. While the apartments would be considered "market rate," the disaster case managers I supervise have not found any other units in that price range that are not substandard. Feather Canyon has the potential to offer a great deal of value to renters who are unable to afford most other market rate rentals in Paradise. Therefore, I wholeheartedly support this project and what it would offer to our community and those still trying to secure permanent housing after the Camp Fire. The Town's approval of the opening of Feather Canyon Apartments would immediately house some of the most vulnerable in our community by bringing already built affordable units online.

I would welcome a conversation with anyone involved regarding my experience with housing needs on the Ridge. Feel free to contact me at (530) 519-8436 or [sgregorio@svdp-sacramento.org](mailto:sgregorio@svdp-sacramento.org).

Respectfully,

*Stephanie Gregorio*

Stephanie Gregorio  
Program Manager  
Disaster Case Management Program



**Town of Paradise**  
**Planning Commission Agenda Summary      Agenda Item: 6(a)**  
**Date: March 15, 2022**

**ORIGINATED BY:** Susan Hartman, Community Development  
Director – Planning & Wastewater  
**REVIEWED BY:** Kevin Phillips, Town Manager  
**SUBJECT:** Revised Design Standards – Downtown & the Clark Rd  
/Community Commercial Development Areas

**COMMISSION ACTION REQUESTED:**

1. Adopt Resolution No. 2022-01, “A Resolution of the Paradise Planning Commission Recommending Town Council Adoption of Updated Design Standards for the Downtown and Clark Road/Community Commercial Development Areas of the 2010 Design Standards and Rescind the Greater RDA Project Area Design District Standards and Update the Adoption Date in Paradise Municipal Code Chapter 17.41”, OR
2. Direct staff to make further changes to the Design Standards.

**Background:**

The original Design Guidelines were adopted in May 2002 for the downtown only and then later revised in August of 2003 to include the RDA project area (Skyway). In March 2010 the Design Guidelines were renamed to “Design Standards” and standards were adopted town wide, encompassing five (5) geographical design areas – the Downtown, Greater RDA Project Area, Clark Road/Community Commercial Development Area, Gateways & Scenic Highway Corridors, and the Business/Industrial Cluster Area. The Clark Road/Community Commercial Development Area was a catch-all for any non-residential property not encompassed by one of the other design areas.

In March 2021, both the Planning Commission and the Town Council reviewed and approved changes to the Zoning Ordinance removing references and standards to the now defunct Paradise Redevelopment Agency and Area. However, those changes did not include rescinding the section of the Design Standards pertaining to the Greater RDA Project Area.

Through an EDA (Economic Development Administration) funded grant, as a related task of the Transportation Master Plan project, the Town began work with Mark Thomas Engineering in early 2021 for the updating of the Downtown and Clark Rd/Community Commercial Development Area Design Standards, incorporating relevant ordinance amendments over the last 12 years which affect development. The updates were being prepared with the intention of rescinding the Greater RDA Project Area Design Standards at the time the updated standards moved forward for adoption.

In April and July 2021, public workshops were held regarding the Design Standards to solicit feedback from the residents and business owners. In July/August 2021 an online poll was released to gather information on the types of design aesthetics the community wanted to see.



The survey polled respondents, using multiple-choice pictures and write-in comments, on topics such as trash receptacles, lighting standards, benches, pavement material, signage, storefront landscaping, bus shelters, bike racks, sidewalks, planters, crosswalks, on-street parking, streetscape designs, commercial building facades, multi-family building facades, color palettes, and building materials for both the Downtown and the general Community Commercial areas. This mix of public and private infrastructure design feedback provided the Town with guidance for both the Design Standards and standards to be applied to future capital improvement projects in the Town's right-of-way.

### **Analysis:**

These updated Design Standards are intended to inspire thoughtful interpretation and response to design opportunities, while promoting and reinforcing the physical image of commercial areas and multi-family developments within the Town of Paradise. The Design Standards are not intended to replace the requirements in the Zoning Ordinance, the General Plan, or public works standards, all of which contain requirements that must be adhered to when designing projects. However, the guidelines are intended to encourage quality, well designed development throughout Paradise that enhances existing neighborhood areas, creates identity, encourages investment in the Town, and improves the overall quality of life within the community. The standards are intended to promote a desired level of future development in Paradise that:

- Preserves the sense of a small-scale, small-town community and maintains the natural beauty of the surrounding environment;
- Contributes to a positive physical image and identity;
- Provides design assistance to the development community, architects/designers and property owners;
- Promotes high-quality development that stimulates investment in and strengthening of the economic vitality of all areas of Paradise;
- Facilitates the development of projects that establish a sense of place while complementing the character of traditional design established within the existing neighborhood and the Town;
- Implements the goals, objectives, and policies of the Town of Paradise General Plan;
- Maintains and enhances property values and pride of ownership.

### **What has changed?**

- The updated Design Standards have integrated the new defensible space ordinance and 5-foot non-combustible standards around buildings which will make the Design Standards consistent with the proposed updated General Plan Housing & Safety Elements currently in review.
- Higher quality pictorial examples, instead of drawings, of encouraged and discouraged design elements, including more local examples and examples of designs which rated favorably from the online community poll.
- Longer sub-category narratives, with more pictures, which provide greater guidance on desired individual building elements such as windows, canopies, and other architectural features as well as more detail and thought towards site design features like pavement treatments, pedestrian open spaces, and site furnishings such as drinking fountains, bike racks, and benches.
- Revised section on landscaping to reference the updated statewide landscaping requirements known as MWEL (Model Water Efficient Landscape Ordinance).
- The updated documents now have internal hyperlinks from the Table of Contents and

section headers that link to each of their respective sections which make the documents more digital friendly.

- The Clark Rd/Community Commercial Development Area standards will now encompass the RDA.
- Includes new text, under Pedestrian Circulation, that discusses incorporating outdoor dining spaces in the Downtown – a response to the changes in dining since COVID.
- The appendixes, addressing the design review process and plant/color palettes, are now incorporated into each updated district, instead of as a separate attachment to the Standards.

#### What has NOT changed?

- The main categories (top of page, horizontal categories) and sub-categories (side of page, vertical categories) of design features are the same as before.
- Most of the old text has been brought over, just elaborated upon.
- The color palettes remain the same as before.
- The plant palette remains the same as before.

The benefit of the proposed updated Design Standards is that clearer direction is given, with better examples, of an appropriate level of detail and design for newly constructed non-single-family buildings. The previous Standards, much of which is still relevant and being brought forward, were too broad with statements such as building facades being “interesting and varied”. Whereas the updated Standards seek to articulate those façade features in measurable standards such as a minimum number of material and color variations, or wall reveals, over a set vertical and horizontal distance. Greater discussion is given to the need to vary the roof line, emphasize the point of entry, and provide architectural details that are at a pedestrian scale. This will work towards creating commercial buildings that are visually attractive with quality materials and design that draw consumers to them and avoid boxy designs, made of a single material/color, with no architectural interest or poorly incorporated faux exteriors.

Planning staff, and the Town Attorney have determined, that the nature of the proposed text amendments is sufficiently minor in that there is no possibility adoption and implementation of the amendment would result in a direct and significantly adverse effect upon the environment. Thus, the proposed amendments can be found to be exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines section 15061(b)(3) [General Rule Exemption].

#### **Financial Impact:**

The cost of the revisions to the attached Design Standards were covered by an EDA grant secured by the Engineering Division. The updated Standards will be available electronically on the Town’s website, for no cost, or hard copy prints can be made according to the per sheet copy fee as listed in the Town’s Master Fee Schedule.

**TOWN OF PARADISE PLANNING COMMISSION  
RESOLUTION 2022-01**

**A RESOLUTION OF THE PARADISE PLANNING COMMISSION RECOMMENDING  
TOWN COUNCIL ADOPTION OF UPDATED DESIGN STANDARDS FOR THE DOWNTOWN AND  
CLARK ROAD/COMMUNITY COMMERCIAL DEVELOPMENT AREAS DESIGN DISTRICTS OF  
THE 2010 DESIGN STANDARDS AND RESCIND THE GREATER RDA PROJECT AREA DESIGN  
DISTRICT STANDARDS AND UPDATE THE ADOPTION DATE IN PARADISE MUNICIPAL CODE  
CHAPTER 17.41**

**WHEREAS** the Town Council of the Town of Paradise adopted an Ordinance in 2010 that required Design Review on a town-wide basis for all new or expanded commercial, quasi-commercial, community service, office, public-funded or multi-family development projects; and

**WHEREAS**, the Town planning staff advise that text within the Downtown and Clark Rd/Community Commercial Development Area design district standards warrant update and amendment in order to: 1) become internally consistent with updated defensible space and landscaping ordinances; 2) become consistent with the proposed updated Paradise General Housing and Safety Elements; 3) promote standards that support thoughtful and quality design of commercial and multi-family developments; and if adopted, would assist in the Camp Fire recovery efforts; and

**WHEREAS**, as of February 1, 2012, state law (AB 26) dissolved all redevelopment agencies in California, including the Paradise Redevelopment Agency and its respective Redevelopment Area and therefore design standards applied to a now defunct RDA should be rescinded; and

**WHEREAS** it is determined that the proposed updated Design Standards is an activity that is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15061(b)(3) [general rule exemption] because there is no possibility that the text amendments would result in a significantly adverse effect upon the environment; and

**WHEREAS** the Planning Commission has considered the recommendation of town staff, as well as input received from the public; and on the basis of the foregoing, has determined that updated design standards to the Downtown and Clark Rd/Community Commercial Development Area design districts of the 2010 Design Standards and rescinding the Greater RDA Project Area design district standards and updating the adoption date in Paradise Municipal Code (PMC) Chapter 17.41 are warranted to support the current and future development of commercial and multi-family buildings and to aid in the rebuild efforts following the Camp Fire.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE TOWN OF PARADISE** as follows:

The Planning Commission hereby recommends to the Town Council of the Town of Paradise, adoption of the proposed text amendments to the Downtown and Clark Rd/Community Commercial Development Area design districts of the 2010 Design Standards as set forth in “**Exhibit A**” and “**Exhibit B**” attached hereto and made a part of by reference; and recommends to the Town Council to rescind the Greater RDA Project Area design district standards; and recommends to the Town Council that, if adopted, the adoption date in PMC Chapter 17.41 be updated accordingly; and that the proposed Paradise Design Standards text amendments are not subject to the requirements of the California Environmental Quality Act (CEQA) in accordance with the general rule categorical exemption provisions of CEQA Guidelines section 15061.

**PASSED AND ADOPTED** by the Planning Commission of the Town of Paradise this 15<sup>th</sup> day of March 2022 by the Following Vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

---

Carissa Garrard, Chair

**ATTEST:**

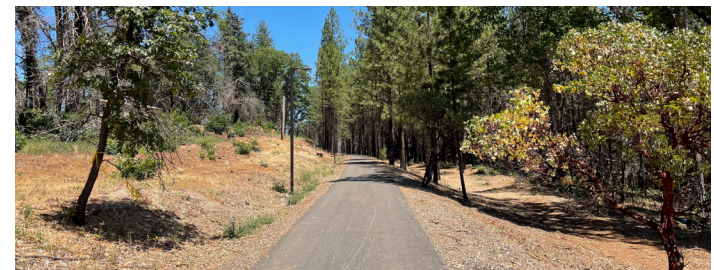
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Dina Volenski, Town Clerk

## EXHIBIT "B"



# CLARK ROAD AND COMMUNITY COMMERCIAL DEVELOPMENT AREAS DESIGN STANDARDS TOWN OF PARADISE



ADOPTED BY THE TOWN COUNCIL  
DATE

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# GENERAL:

## PURPOSE:

These Design Standards represent the community's desire for good design by encouraging creativity, interest and variety, and by building upon local character to create efficient, sustainable and livable places. The Standards are intended to promote a desired level of future development in Paradise that:

1. Preserves the sense of a small-town community in a natural mountain environment;
2. Contributes to a positive physical image and identity, while preserving the surrounding environment;
3. Provides design assistance to the development community, architects/designers and property owners;
4. Promotes high-quality development that stimulates investment in the economic vitality of Paradise;
5. Facilitates the development of projects that establish a sense of place while complementing the character of traditional design established within the existing neighborhoods of the Town;
6. Implements the goals, objectives, and policies of the Town of Paradise General Plan;
7. Maintains and enhances property values and pride of ownership.

These Standards are meant for use by property owners, developers, business owners, and architects in achieving a superior quality design of new construction and additions to existing buildings. The purpose of the Standards is to promote quality designs that have been carefully considered and that have well integrated building features and architectural elements. These Standards complement existing development procedures, policies and laws.

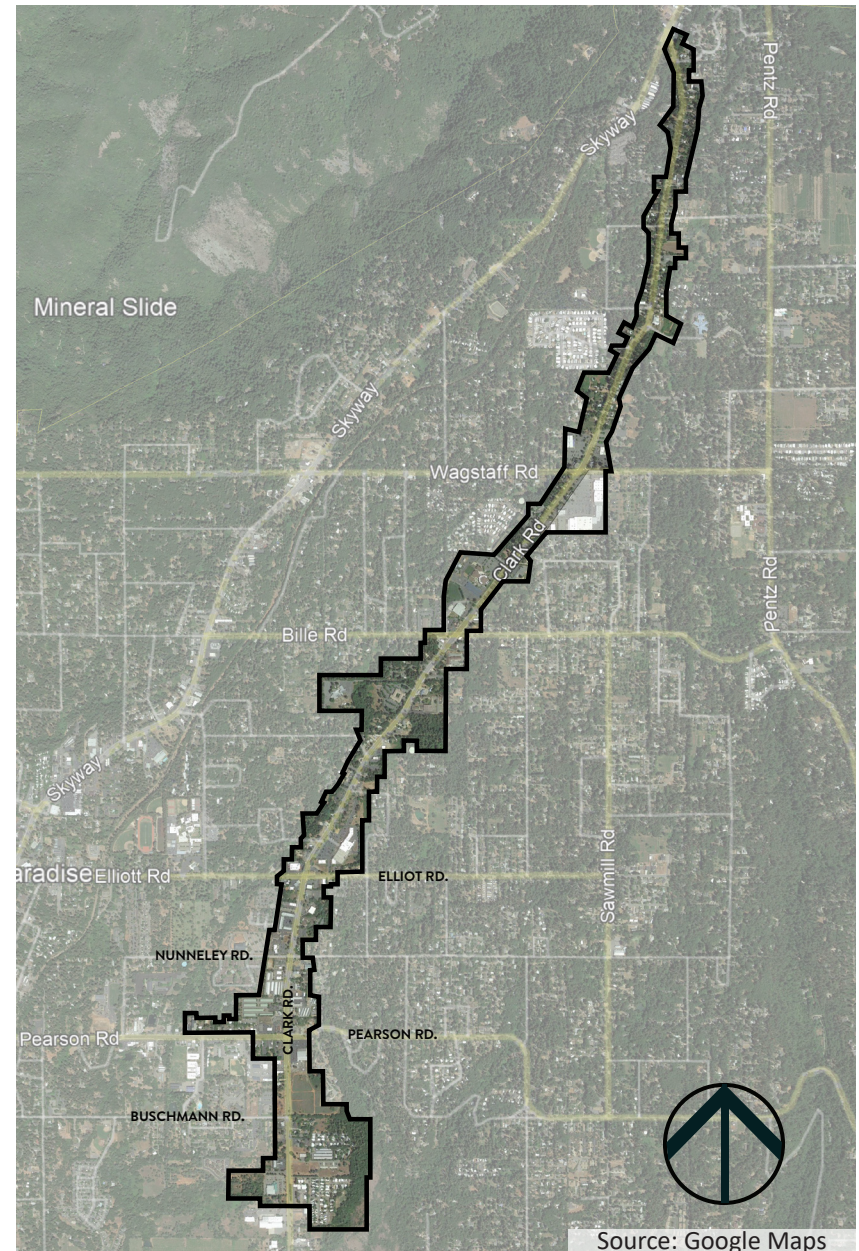
## APPLICATION:

The standards contained in this document are focused on design. This document is not intended to provide a listing of all Town standards or requirements. Applicants should also refer to the *Paradise General Plan*, the *Paradise Zoning Code*, the *Paradise Municipal Code*, the *Subdivision Ordinance*, and engineering design standards and related documents. Where any conflict arises, the Town codes and standards listed above will supersede these design standards.

In cases where a property is located in an overlapping geographical design area, the following hierarchical order will be applied to the property when making decisions for Design Review: (1) Downtown (2) Gateway\ Scenic Highway Corridor (3) Clark Road and Community Commercial Development Areas (4) Industrial \ Business Cluster.

In this document the terms “should” or “encouraged” means that the Town strongly prefers that the applicant apply the criteria to his or her project, but the applicant may use an alternative design feature to the one expressed by the criteria, if they can demonstrate that an alternative design feature may be used to achieve the design concept or desired aesthetic. The term “discouraged” is intended to illustrate those aspects of design which do not achieve the Town’s design review objective or meet the design review criteria and are therefore not permitted. Final determination rests with the design review approval process.

**\*\*The Clark Road Corridor and Community Development Areas include all properties in Town, except single-family residential land uses and properties that are already included in an established geographical design area.**



**FIGURE 1-1** Clark Road Corridor is shown in the Highlighted Area. Refer to *Paradise Zoning Map* for more information regarding the limit of the Clark Road Corridor.

## GOALS:

The Clark Road and Community Commercial Development Areas provides a key opportunity for vital economic growth for businesses, and contributes to the livability of surrounding neighborhoods.

The following goals provide the foundation for achieving a vibrant, successful, and enduring commercial corridor:

1. Promote quality commercial development in the Town's commercial corridor that is sustainable, functional and attractive.
2. Site features such as trees, creeks, and views of surrounding landscapes should be considered as prime design determinates in planning new commercial centers.
3. Integrate existing natural features and landscaping into the overall design and layout of the development that provide physical separators and buffers from adjacent uses, landscaped parking areas, and an attractive design from the street.
4. Develop the site to include walk-ability to, from, and within the development, especially to and from public transportation.
5. Encourage appropriate uses and intensity of uses for the commercial corridor.
6. Promote the reuse and revitalization of existing commercial buildings.

These design standards encourage and promote the further development of the Mountain Craftsman style in Paradise. Representative of the surrounding environment in which Paradise is located, the Mountain Craftsman style makes use of natural materials including stone and timber. Columns, beams, rafters, and other elements are exposed and displayed as important architectural components. Warm earth tones and natural colors are reflective of the rich natural beauty that Paradise is known for.

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# HOW TO USE THIS GUIDE:

## LOCATION OF DESIGN ELEMENT:

The following graphic shows some potential design elements for Clark Road and Community Commercial Development Areas. The various design elements have been included in this guide. Click on the image for more information regarding the design element.

SERVICE AREA ENCLOSURE



BUILDING DESIGN



SIGNAGE



RETAINING WALL



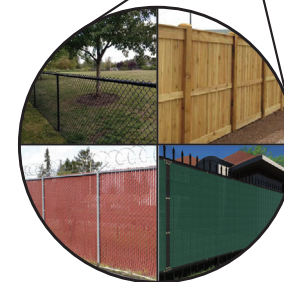
LIGHTING



LANDSCAPING



HARDSCAPE



FENCES

# NAVIGATION OF EACH SHEET:

\*Example Reference: "Refer to Section 2-C.1..."

Navigation Bar

Main Category

Sub Category

Page Number

1 - BUILDING

2 - SITE

3 - SIGNS

4 - STREETSCAPE

5 - APPENDIX

A INGRESS/EGRESS

B PARKING CIRCULATION

C PEDESTRIAN CIRCULATION

D CREATING PLACES

E PAVING/HARDSCAPE

F LOCATION OF STRUCTURES

G LANDSCAPING/IRRIGATION

H FENCES/WALLS

I SITE FURNISHINGS

J SITE LIGHTING

K SERVICE/UTILITY/WASTEWATER TREATMENT AREAS

L ENERGY EFFICIENCY

2-C: PEDESTRIAN CIRCULATION

Where commercial and residential structures adjoin public areas, and along internal circulation paths of the downtown area, provide pedestrians with the greatest possible sense of safety, comfort, aesthetic pleasure, and connection to building activities at edges.

PEDESTRIAN SHELTER:

1. Provide shade from the summer sun (and protection from the rain, when possible) with street trees,trellises, awnings and other devices along street frontages and paths internal to the project, especially on the south side of buildings.

AESTHETIC QUALITY:

2. The highest detail and material quality for projects should be placed where pedestrians have the greatest and closest contact with the project.

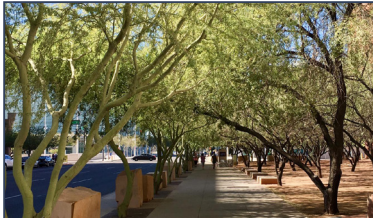


Sonoran Shelter, Marana, Arizona

+ Provides adequate shade

+ Allows for circulations paths, enhances safety and comfort

✗ Shelter design does not complement the aesthetic of the Town




Phoenix, Arizona

+ Walkable space

+ Natural tree shading

✗ Too dense of tree planting, can cause a fire hazard



Seaside, California

+ Shelter design complements the aesthetic of the Town

+ Provides seating for users

✗ Does not provide adequate shade

Image Example

Location/Source

Encouraged/ Preferred Design

✗ Discouraged Design

1

WWW.TOWNOFPARADISE.COM

Town Website/Title of Document

\*Hyperlink Embedded

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TOWN OF PARADISE : DESIGN STANDARDS - CLARK ROAD & COMMUNITY COMMERCIAL DEVELOPMENT AREAS

# BUILDING DESIGN:

FORM, MASS, AND SCALE

ARCHITECTURAL FEATURES

CANOPIES & AWNINGS

VISIBILITY/WINDOWS

BUILDING ENTRANCES

MATERIALS AND COLORS

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## A FORM, MASS, AND SCALE

## 1-A: FORM, MASS, AND SCALE

Refer to the *Paradise Zoning Ordinance* for specific height and setback requirements in addition to those discussed herein.

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/ WINDOWS

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## F MATERIALS AND COLORS

1. In large buildings, vary massing to provide visual interest and ease the visual appearance of a single large mass.
2. Compose building forms, roofs, and facades to provide variation, visual interest, and appropriate scales.
3. Design the ground floor of buildings to include architectural features such as columns, ribs, pilasters, changes in plane, changes in texture or material or an equivalent element that subdivides the wall into more “human-scale” proportions.
4. Integrate elements of buildings used to give scale and proportion so they are integral with building form and construction.
5. Ensure compatibility with surrounding developments, and respect the character of the neighborhood.
6. Use building height and massing to emphasize building corners, points of entry and preserve visible skyline.
7. Minimize impact of commercial development to adjacent residential properties.
8. Locate new structures on property to maintain access to light and air circulation, and privacy of existing private open spaces on adjoining properties



- + Form of building fits into broader landscape
- + Variation in roof heights with consistent form
- + Roof forms emphasize point of entry, create variation, and provide visual interest
- + Roof steps down at ends and edges of building



- + Roof forms accentuate building entrances
- + Window rhythm and roof corbels reinforce pedestrian scale.
- ✗ Long, unarticulated roof lacks visual interest
- ✗ Exposed roof pitch of less than 3 : 12

## A FORM, MASS, AND SCALE

## 1-A: FORM, MASS AND SCALE (CONT.)

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/ WINDOWS

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

9. Roofs with dominant forms and additional architectural features such as changes in height, towers, roof dormers, or clerestories.
10. Deep eaves and overhangs with architectural detail and exposed rafter tails.
11. Long, uninterrupted roof forms and ridge lines should be avoided.
12. Unarticulated walls on publicly visible portions of the building should be avoided. Refer to *Building Facades in Section 1-B*.



- + Detailed soffits and corbels add visual interest to overhangs
- + Articulated roof design with dormers and changes in level break up overall roof form
- + Storefront windows and wainscot stone enforce relationship to pedestrian access

## A FORM, MASS, AND SCALE

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## 1-B: ARCHITECTURAL FEATURES

## BUILDING BASES

The building base is the lowest portion of the building where it touches the ground.

1. Elements or materials that are visually heavier, including stone or masonry, should be incorporated at the base of buildings.
2. Building bases should be of adequate size and scale to ensure buildings appear visually grounded

## BUILDING FACADES

A facade is typically the front of a building, but is also considered any side or exterior wall of the building that faces a public way or space.

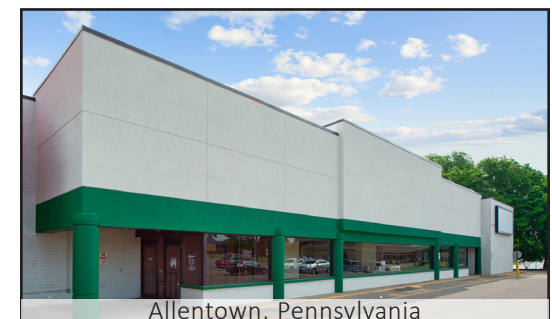
3. Building facades should be interesting, varied, and create an attractive and vibrant streetscape.
4. Incorporate horizontal and/or vertical articulations in wall planes of no less than 1 inch, such as ledges, trim, joint lines, canopies, or changes in material, to provide variation in facades.
5. In a unified development or strip mall where buildings are directly adjacent to each other, buildings should continue the pattern of the lines from neighboring buildings to unify facades on a street block.
6. A corporate image, as in the case of many national franchised stores, should be secondary in the design of projects. Branded buildings are discouraged as they are difficult to reuse if vacated by the primary business.



- + Stone, heavier materials, and darker colors help to visually anchor the building while conveying permanence and durability



- + Scale of the building base matches the pedestrian space adjacent to it
- + Site walls make use of stone veneer, matching building for consistency



- ✗ Building lacks a well-defined base, and instead features flat walls with large expanses of the same color

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## 1-B: ARCHITECTURAL FEATURES (CONT.)

7. Projects with multiple buildings should incorporate a design theme throughout to ensure consistency between neighboring buildings.
8. Building entries should be clearly delineated through the use of recesses, additional detailing, overhangs, lighting and change of volume and form. The greater the functional use of the entrance, the more it should be distinguished from the balance of the building.
9. Bulkheads below the base of a storefront window or adjacent to a storefront door should be used to provide protection to the storefront by raising the glass area to a safer and more easily viewed height. To achieve this protective function, bulkhead materials should be resistant to water, dirt, and impact (e.g. ceramic tile, finished stone, brick). Bulkheads in multiple storefront buildings should be complementary in height and material.

## CORPORATE IDENTITY:

10. The design character shall not be a standard franchise prototype and shall incorporate dominant characteristics that are unique to Paradise.

## DETAILS

11. Facades at the ground level of buildings should use details to reinforce pedestrian scale elements. Examples include, but are not limited to, architectural canopies over entrances, decorative lintels above windows, and stone or masonry caps or banding.
12. Vary wall surfaces to create relief and shadow lines.



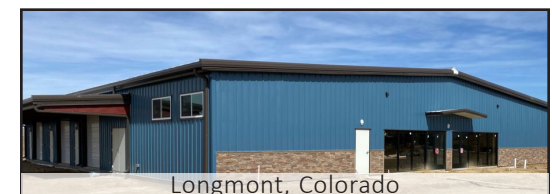
Jackson, Wyoming

- + Varied facades create an interesting and vibrant streetscape
- ✗ Some facades lack sufficient detail
- ✗ Lack of continuity between buildings creates non-cohesive aesthetic



Truckee, California

- + Line of neighboring buildings continue for a unified facade on the street block
- + Building articulation and details create shadows, line surfaces, and visual interest



Longmont, Colorado

- ✗ Stone base not extended on all visible sides of building



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## 1-B: ARCHITECTURAL FEATURES (CONT.)

13. All visible sides of buildings should be designed with a complementary level of detail, quality of materials, and continuity of color. Building designs should not incorporate blank wall segments when visible from public spaces. Parapets on commercial buildings should be extended to all visible walls to ensure continuity.
14. Permanent security bars or grilles on publicly visible windows should not be used.
15. All rooftop mechanical equipment shall be screened as viewed from the farthest edge of the adjoining right of way. Equipment shall be located behind parapet walls and/or additional rooftop screens.
16. All ground-level mechanical equipment shall be screened to the height of the unit as viewed from the property line. Walls, opaque fences, and landscape material which relate to the overall building design are appropriate methods for screening ground-level mechanical equipment.
17. Visible satellite dishes or satellite dish accessories should be placed out of public view.

## LIGHTING

18. In addition to site lighting, architectural lighting integrated with the building should be used to promote safety, security, and to enhance the architectural character of the building.
19. Light fixtures should be consistent with the architectural style of the building, and should compliment other building elements in color, material, or style to help unify the building design. Historic fixtures should be used when appropriate.



- + Decorative light fixtures compliment architectural style of building. Black metal finish consistent with other materials including black metal structural hardware above.

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**1-B: ARCHITECTURAL FEATURES (CONT.)****LIGHTING (CONT.)**

20. Storefront lighting should be designed to illuminate the sidewalk in front of the store in the evening. Shop windows shall be well lit. Fixed overhead spotlights, recessed incandescent ceiling fixtures, track lights or other concealed fixtures are recommended. Building entrances should be accentuated by brighter lighting. The building street number should be illuminated by the entry lighting.

**ENERGY EFFICIENCY:**

21. Lighter-colored finishes should be used on the exterior of buildings to help reflect heat in the summer months. Minimize west and south-westerly facing windows due to intense afternoon sun conditions. Properly proportion overhangs on south windows, and sun screening on south and west windows. Accommodate daylighting of multistory office buildings by making one plan dimension (preferably the east or west dimensions) of the building small enough to maximize the number of people working near windows..

**SIGNAGE:**

22. Refer to *Sign Design, Section 3.D* for sign locations on a building.

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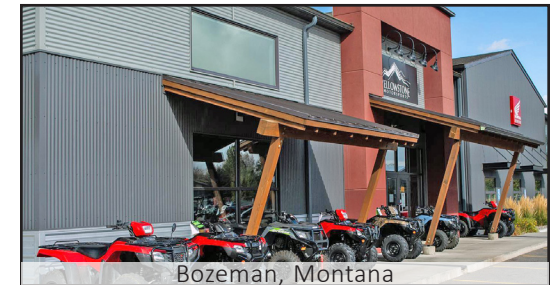
## F MATERIALS AND COLORS

## 1-C: CANOPIES AND AWNINGS

1. Provide building overhangs, canopies, or awnings which articulate the building facade and provide protection from inclement weather.
2. Architectural canopies and awnings should support the building design. Colors and materials of the canopies or awning should complement the material and colors of the building.
3. Awnings should be well maintained, washed regularly, and replaced when faded or torn.
4. Fabric awnings should make use of woven fabric (not vinyl), suitable for use in exterior applications, and resistant to fading or tearing.
5. Canopies made of metal or other materials may be appropriate on some buildings if they are compatible with building codes and are also compatible in scale and overall design.
6. Canopies and awnings should be mounted in locations that respect the design of a building, including the arrangement of bays and openings on all floors. The design of canopies/awnings should respond to the scale, proportion, and rhythm created by these elements, and should reinforce pedestrian scale details. They should also emphasize building entrances where applicable.



- + Awnings provide visual contrast and help integrate windows into building facade
- + Building base stone helps visually ground building, and signifies entrance
- ✗ Vertical pilasters lack detail and articulation



- + Canopies are integrated into building, and provide protective cover for entrance and outdoor product display

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D VISIBILITY/  
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## 1-C: CANOPIES AND AWNINGS (CONT.)

7. The minimum height of canopies/awnings should be 8 feet (measured from bottom of the awning/canopy to the sidewalk).
8. Covered porches should not extend outwardly from the building more than 8 feet. Canopies should not extend outwardly from the building more than 6 feet.
9. The highest point of a first-floor awning should not exceed the midpoint of space created between the second story windowsill (or parapet for a single story building) and the top of the first floor storefront window.
10. When several businesses occupy one building utilizing canopies/awnings, the canopies/awnings should make use of consistent color, material, and form.



Bozeman, Montana

+ Canopies, changes in material, and variation of facade depth provide shadow lines and definition to an otherwise boxy building



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WINDOWS

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## 1-D: VISIBILITY / WINDOWS

### WINDOWS

1. Windows are an important architectural element of facade design because they create a visual rhythm of building openings, as well as provide views into the interior. Display windows add 'warmth' to the street and enliven the pedestrian experience.
2. Windows and doors should be designed in an orderly arrangement to provide articulation and scale to facades of buildings. Incorporate windows into all applicable facades and coordinate their placement and design with other architectural elements.
3. Integrate windows and doors into building walls by using detailing such as trim, lintels, ledges, canopies, or other details integrated into the building design.
4. Where transom windows exist, every effort should be made to retain this storefront feature.
5. The first floor of a commercial building that is fronting or siding on a street shall have a minimum of 30% of its length in windows. There should be no lengths of facade walls in excess of 40 feet without windows.
6. Corner buildings shall incorporate display windows in blank walls over 20 feet long.
7. Display windows in existing buildings that have been covered-up should be converted back into windows where feasible.



Coachella, California

+ Windows can be integrated into a building facade using a variety of techniques including trim, lintels, ledges, canopies, or other detail work



Los Angeles, California

+ Large windows provide visibility into and out of the business

✗ Lack of detail around perimeter of window, and absence of building base element presents windows as punched openings

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## 1-D: VISIBILITY/WINDOWS (CONT.)

8. Every building entry, including entries to individual shops, shall be lighted. Lighted entries increase safety for walking, and decreases possibilities of crime. Entry lights should be controlled by a photocell switch. Window displays of merchandise, night time lighting of display windows, or animated window displays are strongly encouraged to attract pedestrians and increase security. Merchandise behind display windows should face the sidewalk.
9. Taverns, bars, or private offices in storefronts located within the Downtown area may use blinds or cafe curtains for privacy if consistent with the building's design.
10. Permanent, fixed security grates or grilles over windows should not be used.
11. Air conditioning units placed in windows are not permitted in publicly visible portions of the building.
12. Replacing existing windows and doors with incompatible materials such as anodized aluminum, and tinted or reflective glass is not permitted.

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## 1-E: BUILDING ENTRANCES

1. Provide clearly defined site and building entrances that are scaled appropriately to the area and that relate directly to the street frontage(s).
2. Entrances should be clearly delineated through the use of recesses, additional detailing, overhangs, lighting and change of volume and form. The greater the functional use of the entrance, the more it should be distinguished from the balance of the building.
3. Secondary entrances (such as small retail shops on the ground floor of a larger office building) should be architecturally treated as subordinate to the primary entrance (such as the entrance to all the residential or office uses on the upper floors). Doors that are not regularly used, such as utility access doors, should not be accentuated, and should be integrated into the design surrounding them.
4. Entrances should include protected areas covered by a recess, canopy, overhang, or marquee to provide protection from the rain.
5. Entrances to commercial or retail buildings should have large glass storefronts where appropriate. Full lite doors are encouraged because they extend the openness and transparency of the storefront.



+ Signage, lighting, and building base materials can effectively identify building entrances



+ Appropriately scaled tower elements and architectural detailing can be used to identify building entrances

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## 1-E: BUILDING ENTRANCES (CONT.)

### EXISTING BUILDINGS

- Existing doors in historical or existing buildings should be re-used where feasible. New doors provided in existing buildings should match or compliment the architectural style of the existing building

### REAR ENTRANCES

- Rear entrances must respond to the same needs as the primary entrances, only at a reduced scale. These include identification signage, windows, and lighting.
- The design of a rear entrance should be appropriate to its surroundings. The visual character of rear facades, alleys, and parking lots is a relatively casual and utilitarian one, especially when compared to formal facades.
- Rear entrances should incorporate architectural elements from the front facade for consistency.
- Signs should be appropriately scaled to match the size and scale of rear entrances.
- Refuse containers should be screened from public view or integrated within the building's architecture (consult with trash removal company prior to finalizing actual location).
- Service equipment, utilities, and mechanical equipment should be screened from view and integrated into the building's architecture to the greatest extent possible.
- Second level residential units should have separate entrances from commercial uses, Residential entrances should be provided with private outdoor space (porches).



Paradise, California

- + Secondary and primary entrances should share consistent detailing and materials, with forms scaled appropriately to indicate their primary and secondary nature

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**1-F: MATERIALS AND COLORS**

1. Complimentary materials should be used that result in a cohesive building design. In general, variations in colors and materials are encouraged. Care should be taken, however, not to use too many materials that may result in visual clutter. If only one material is used, then articulation and detail should be used.
2. Integrate at least one material change, color variation, or horizontal reveal for every 12 vertical feet of building facade. Vertical spacing may be averaged over the height of the facade.
3. Integrate at least one material change, color variation, or vertical reveal every 50 horizontal feet of building facade. Horizontal spacing may be averaged over the length of the facade.
4. Use materials and finishes that are compatible in quality, color, texture, finish, and dimension to surrounding properties.
5. If imitation materials are used, the detailing, coloring, and visual appearance should be consistent with the material they are imitating.
6. Non-durable materials and finishes that are susceptible to weathering, wear and tear, and sun-damage or fading should be avoided. Materials should be selected, detailed, and finished for durability in Paradise's climate. Painted wood surfaces facing south should be properly prepared for painting and have opaque high quality paints or sealants applied in multiple coats.
7. Buildings with multiple public-visible facades should use consistent material combinations, detailing, and material quality throughout all facades visible to the public.
8. Provide detailing at material transitions or terminations to reinforce the natural appearance of the material. For example, stone or masonry should be wrapped around visible corners to provide the appearance of mass instead of a thin veneer.
9. Materials or finishes with subtle, neutral, or natural tones should be integrated with accent materials or details.
10. Materials or finishes that are intensely saturated or fluorescent are not permitted to be used as a primary materials, although they may be appropriate as accent materials.
11. Materials or finishes that are highly reflective, such as certain metals or reflective glazing, should not be used where they present a public nuisance or safety hazard.
12. Corporate image should be secondary in the design of projects, as branded buildings are difficult to reuse if vacated by the primary business.
13. Refer to the *Appendix*.

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# SITE DESIGN:

INGRESS/EGRESS

PARKING CIRCULATION

PEDESTRIAN CIRCULATION

CREATING PLACES

PAVING/HARDSCAPE

LOCATION OF STRUCTURES

LANDSCAPING/IRRIGATION

FENCES AND WALLS

SITE FURNISHINGS

SITE LIGHTING

SERVICE, UTILITY, AND WASTEWATER TREATMENT AREAS

ENERGY EFFICIENCY

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## A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

## D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

## H FENCES/WALLS

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## J SITE LIGHTING

K SERVICE/UTILITY/  
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## 2-A: INGRESS/EGRESS

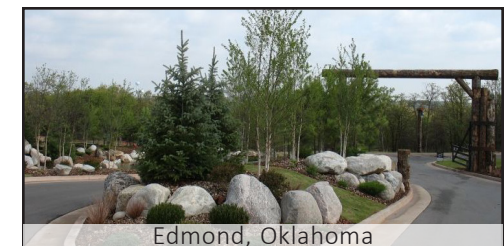
## VEHICLE ACCESS:

1. Major access points to developments should have coordinated access points whenever possible. Separated ingress and egress points with landscaped islands should be provided. Ingress or egress points should be coordinated with openings in the center median and existing or planned access points on the opposite side of the roadway.
2. Line of Sight: Sight distance for driveways should be protected with the use of visibility triangles on each side of the driveway to allow a passing motorist to view a car exiting a driveway. In this area, structures, fences, walls signs, plant materials and etc. with the exception of street trees should not exceed 2.5 feet in height above the street grade. Clear sight triangles will vary based on roadway speeds and other criteria. *Refer to AASHTO (American Association of State Highway and Transportation Officials): A Policy on Geometric Design of Highways and Streets, Current Edition and the Town Engineer for additional requirements.*
3. On-site vehicle circulation should be designed to discourage speeding throughout parking areas to minimize the potential conflict with pedestrians and parked vehicles. Radii for turns shall be designed to facilitate emergency vehicles to the satisfaction of the Fire Department.
4. Shared access drives between adjacent parcels of similar use should be utilized to minimize the number of curb cuts to the street. Reciprocal access and parking agreements, between compatible adjacent land uses, for pedestrians and vehicles are strongly encouraged.
5. Avoid use of parking bumpers in the parking areas to facilitate lot cleaning and snow removal.
6. Design must conform with *Paradise Municipal Code Chapter 8.58 (Defensible Space and Hazardous Fuel Management)*.



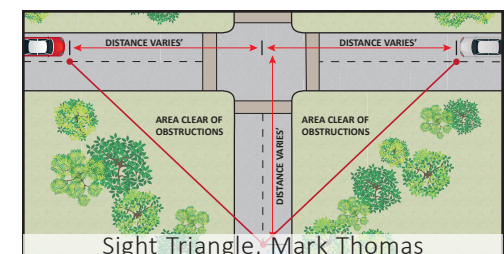
Old Town Temecula, California

- + Coordination of major access points, alerts vehicles upon entry point
- ✗ Entry monument creates a possible site triangle conflict for users



Edmond, Oklahoma

- + Egress and ingress point is divided by landscape island
- + Landscape materials help prevent glare/reflection from opposing vehicles



- + Graphic provides an example of site triangles and it does not cause obstructions to view for users

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EFFICIENCY**2-B: PARKING CIRCULATION**

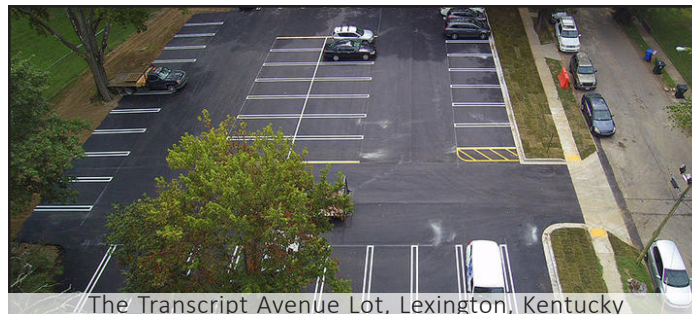
- Refer to *Paradise Municipal Code Chapter 17.38 (Off-Street Parking and Loading Regulations)* for specific parking lot requirement.

**ACCESS:**

1. Vehicle access should be carefully considered for a clear and uniform traffic pattern through the lot.
2. Parking lots should include clear pedestrian paths to enhance pedestrian access and safety.

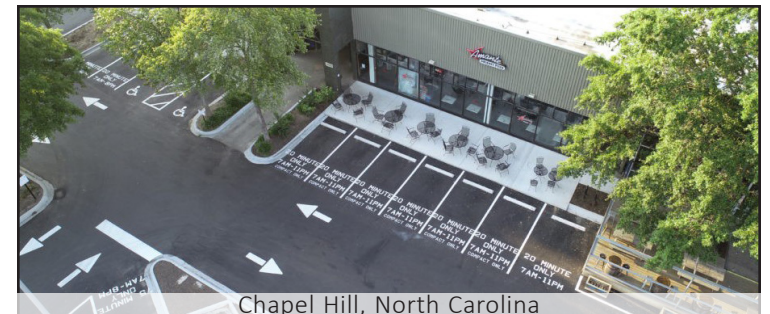
**LOCATIONS:**

3. Refer to *Paradise Municipal Code Chapter 17.38 (Off-Street Parking and Loading Regulations)* for parking lot location. Parking that does front on streets should be screened with an attractive wall, fence or bushes that are a minimum of 30 inches high and a maximum of 48 inches high, and in a planter with a minimum width of 5 feet.



The Transcript Avenue Lot, Lexington, Kentucky

- + Considers a clear and uniform traffic pattern through the lot
- + Considers parking for multiple businesses within the Clark Road area
- ✗ Does not provide adequate tree shading



Chapel Hill, North Carolina

- + Considers clear pedestrian paths
- + Adjacent to property, enhances the security and efficiency for user
- + Provides adequate tree shading

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## 2-B: PARKING CIRCULATION (CONT.)

## LANDSCAPING:

4. Parking lot perimeters that have street frontage should provide an aesthetically pleasing visual buffer and follow the same general guidelines as proposed for the rest of the community commercial area.
5. Plants chosen should be easily maintained, resilient to excess pedestrian traffic, and tolerant of excessive heat gain from asphalt parking areas. Consideration should be given to native plants.
6. Parking lot landscaping shall not prevent a clear view for emergency services such as the fire and police department.
7. Plant heights within parking lot islands and perimeter buffers should not exceed 30 inches in height, and should be evergreen in nature.
8. Accent color is encouraged. Deciduous trees should be selected to provide a minimum of 50% shade coverage of total parking area, not including drive aisles, at maturity. Planter islands in parking lots shall be a minimum of 6' x 6'. Refer to the *Planting Palette in the Appendix*.



Portland, Oregon

- + Provides a pleasing visual buffer
- + Plant palette considers easy maintenance landscaping



Little Bay Park, Whitestone, New York

- + Considers drought tolerant plants
- + Clear view of emergency vehicles
- ✗ Does not consider adequate tree shading



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## 2-C: PEDESTRIAN CIRCULATION

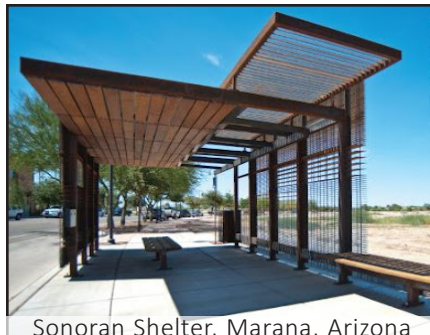
Where structures adjoin public areas, and along internal circulation paths of the corridor, provide pedestrians with the greatest possible sense of safety, comfort, aesthetic pleasure, and connection to building activities at edges.

### WALKWAYS:

1. Pavement and treated walkways add visual interest and allow pedestrians to visit multiple buildings located at one site.

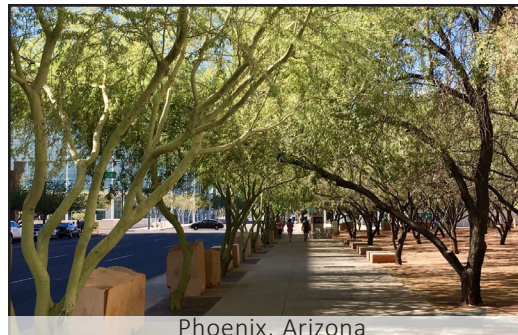
### PEDESTRIAN SHELTER:

2. Provide shade from the summer sun (and protection from the rain, when possible) with street trees, trellises, awnings and other devices along street frontages and paths internal to the project, especially on the south side of buildings.



Sonoran Shelter, Marana, Arizona

- + Provides adequate shade
- + Allows for circulations paths, enhances safety and comfort
- ✗ Shelter design does not complement the aesthetic of the Town



Phoenix, Arizona

- + Walkable space
- + Natural tree shading
- ✗ Too dense of tree planting, can cause a fire hazard



Seaside, California

- + Shelter design complements the aesthetic of the Town
- + Provides seating for users
- ✗ Does not provide adequate shade

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## 2-C: PEDESTRIAN CIRCULATION (CONT.)

### AESTHETIC QUALITY:

- The highest detail and material quality for projects should be placed where pedestrians have the greatest and closest contact with the project.

### SEMI-PRIVATE SPACES ON STREET:

- Porches, patios, balconies, and courtyards that allow residents of multiple projects or other users to actually and symbolically claim the space; should be placed along pedestrian paths wherever possible. This will provide clarity about who has the right to control a space, and thus a greater sense of security for the user and an increased potential for social spacing.

### OBSERVE ALL OUTDOOR SPACES:

- The ability to observe all outdoor spaces from windows in shops, offices, or upper level residences and from porches and other private and semi-private outdoor spaces should be provided.



Massillon, Ohio

- + Existing spaces used to provide spaces for outdoor dining
- + Encourages social connections
- ✗ Does not provide a clarity who has the right to control the space



Penetanguishene, Ontario, Canada

- + Provides a clarity who has the right to control the space
- + Usage of landscaping as a screening

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## 2-D: CREATING PLACES

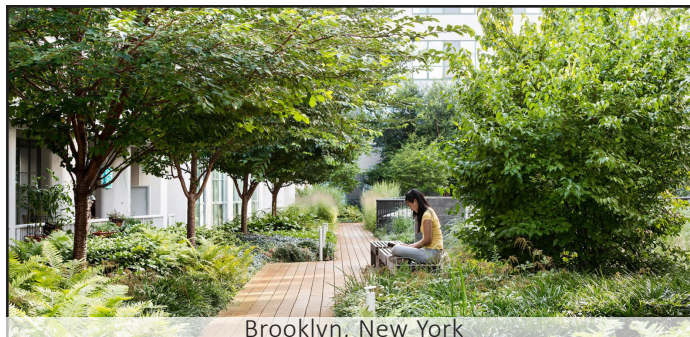
Create spaces that are clearly defined to satisfy gathering and privacy needs of people at various scales. Each scale should be appropriate to the role of the space in the community.

### PUBLIC AND SEMIPUBLIC OPEN SPACE :

1. Design common open spaces to support the ability to create special places in the project. (Examples: Parks, plazas, and other shared open spaces.)
2. Designers shall not design isolated spaces that may encourage homeless encampments.

### VISIBLE OPEN SPACE:

3. Courtyards and other common open space, internal to buildings or groups of buildings, should be as visible as possible to and from the street, and provide a “transition” between the street and private areas near the building or courtyard.



Brooklyn, New York

- + Courtyard common space
- + Provides a transition
- ✗ Design might encourage transients



Greenwood, Indiana

- + Common open space
- + Ability to create special places in project
- + Visible open space



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## 2-E: PAVING/HARDSCAPE

### FITTING INTO CLARK RD. AND COMMUNITY COMMERCIAL DEVELOPMENTS:

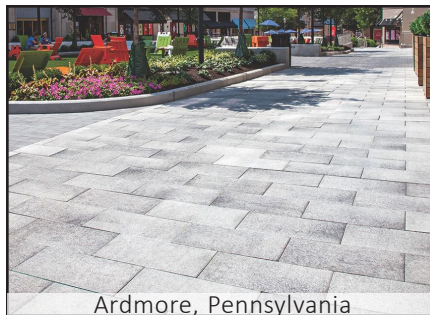
1. Hardscape design should reflect the inherent character of the Community Commercial area with formal patterns and layout.

### PAVEMENT TREATMENTS:

2. Support the project design concept with paving and hardscape materials selected to best complement materials, textures, and color of proposed structures, and to enhance the proposed landscaping.

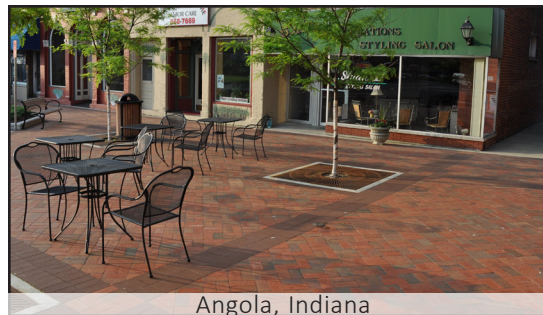
### QUALITY OF DESIGN:

3. Interesting paving patterns are encouraged. The uniqueness of a well designed hard surface that fits or complements the visual features of the surrounding area can enhance the overall project design. Front entries to businesses can represent the individuality of the occupants with differing hardscape treatments.



Ardmore, Pennsylvania

- + Slip resistance surface
- + High quality material



Angola, Indiana

- + Complements the Town's aesthetic
- + Creates banding that enhances the space



Kennedy St., Washington D.C.

- + Encourages interesting paving patterns, provides individuality

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## 2-E: PAVING/HARDSCAPE (CONT.)

### MATERIALS:

4. High quality building materials are recommended. The use of complementary paving materials to create banding and/or borders can greatly enhance the richness of a paving surface without adding extraordinary project costs.

### SAFETY:

5. All paving and hardscape surfaces should provide the proper slip resistance to prevent potential injuries. Property owners and designers should check the *Paradise Municipal Code and with Town building officials* for current codes concerning this issue.



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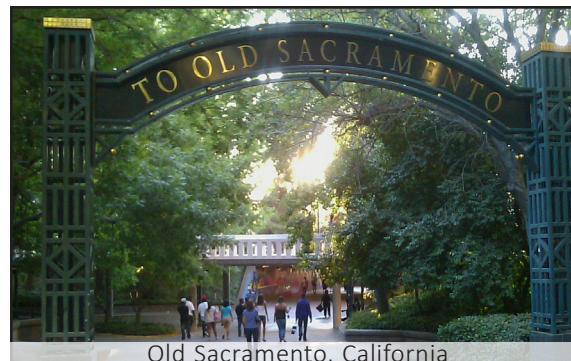
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## 2-F: LOCATION OF STRUCTURES

Locate structures to create usable outdoor places and continuity of desirable characteristics of adjoining structures along the street face. Locate buildings on the site to complement the natural topography.

1. Site features such as trees, creeks, and views of surrounding landscapes should be considered as prime design determinates in planning new commercial centers.
2. Building placement should consider site circulation, should not impede traffic flow or accessibility from adjacent roadways, and should blend with the setback and pattern of development on adjacent sites. Clustered building arrangements are preferred.
3. Planned Developments and multi-building complexes should have an integrated design with respect to building placement, proportion, color, roof lines, and other architectural details.
4. Pedestrian open spaces such as covered walkways, courtyards and plazas are encouraged, as well as the development of open and attractive passages between buildings and blocks.
5. Minimize the visual impact of large scale commercial/industrial uses such as large expanses of parking area, large utilitarian buildings, signage and lighting.
6. Wastewater Treatment equipment should always be located in the back portion of the property, or the portion of the property least affected by public view (including residential areas). In those instances where high ground water or other site restricting elements does not permit the wastewater equipment to be totally obscured from sight, than a decorative, secured privacy wall with landscaping will be required.



- + Provides a transitional space
- + Encourages public access

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## 2-G: LANDSCAPING/IRRIGATION

### PLANT SELECTION:

1. The landscape design should balance the needs of the natural environment and its human inhabitants. Each site should be analyzed to determine the specific functional and spatial requirements.
2. Select plants and trees appropriate to the Paradise area that blend with and complement the surrounding neighborhoods, and that are sized appropriately for maximum healthy growth within the planting area. Refer to the *Planting Palette in the Appendix*.
3. Incorporate appropriate landscaping that includes a variety of trees, shrubs and other planting.
4. On-center spacing shall not follow a specified formula but should provide for a visually uniform canopy that creates minimum obstruction of signage, street lighting, and building entries.
5. Colorful ground plantings at intersections shall be encouraged.
6. Ground cover planting, with the exception of turf, shall be encouraged within parkway strips and commercial frontages.
7. Refer to *Paradise Municipal Code Chapter 8.58.060 (Defensible Space/Hazardous Fuel Management Requirements)* for five (5) feet non-combustible perimeter.



Minneapolis, Minnesota



Aurora, Oregon

- + Landscape design enhances a balanced environment
- + Incorporates variety of planting

- + Complements the environment
- + Drought tolerant plant palette

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## 2-G: LANDSCAPING/IRRIGATION (CONT.)

### PARKING LOT LANDSCAPING:

1. Large expanses of parking should be broken up with landscaping and pedestrian walkways with pedestrian scale lighting. Adequate directional mechanisms such as curbing and parking lines should be provided. Crosswalks across vehicular lanes should be clearly delineated to promote pedestrian flow between parking areas and building entrances.

### DIVIDERS:

2. Planted areas in parking lots and driveway entrances should be large enough to function as a physical divider, provide an aesthetic landscape area, and be easily maintained.
3. Plants should not intrude ingress/egress areas and vehicular access.

### MECHANICAL IRRIGATION VS HAND WATERING:

4. The plant material lives a healthier life cycle with consistent supplemental watering. An automatic, underground, irrigation system is required to promote and/or protect the landscape investment that is installed with new projects.

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## 2-G: LANDSCAPING/IRRIGATION (CONT.)

### DRIP IRRIGATION:

5. Drip irrigation is the most efficient means to deliver supplemental water to plant material, but it requires more attention and maintenance than a conventional spray system. Drip irrigation is recommended for water conservation and reduction of water runoff, but if proper maintenance can not be provided, a conventional spray system is preferable.
6. Irrigation design shall meet *California MWELO (Model Water Efficient Landscape Ordinance) Requirements*.

### SPRINKLER:

7. All sprinkler heads (when used) adjacent to walks, curbs, or any pedestrian way should be pop-up varieties. Adjust all sprinkler heads to provide even coverage and to avoid overthrow onto walks, walls, and windows. Install anti-drain valves to prevent line drainage and soil erosion. Irrigation heads within turf grass areas should provide head-to-head coverage. Turf grass planting should be irrigated separately from shrub/ground cover areas. Trees should be deep irrigated with bubblers.
8. When installing overhead sprays near impervious paving, irrigation shall have a 24" minimum setback.

### WATER CONSERVATION:

9. Select trees and plants that reflect the climate of Paradise and minimize water consumption. Refer to the *Planting Plan in the Appendix*.



Drip Irrigation System, Netafim



Sprinkler System, Rainbird



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## 2-H: FENCES/WALLS

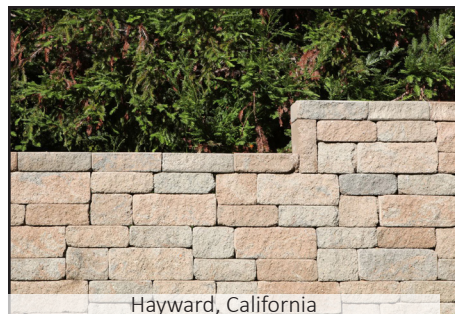
### DETAILING AND MATERIALS:

1. Detailing and materials of walls and fences shall reflect the style and character of the building and its site. Walls should be painted to match or complement the surrounding architecture. Brick and natural stone should not be painted.
2. For fencing material within five (5) feet from any structure, see *Paradise Municipal Code Chapter 8.58 (Defensible Space and Hazardous Fuel Management)*. Any materials not listed in the *Paradise Municipal Code Chapter 8.58* will require approval from Town Officials. Chain-link fences, plywood, barbed wire, and concertina (razor) wire fences are discouraged for fences that face Clark Road.

### SCREENING:

3. Where large expanses of fencing are unavoidably exposed, they should be screened with upright shrubs or trellised vines. A combination of fencing and landscaping shall screen public views of the following:

- Parking lots
- Trash disposal areas
- Service and loading/unloading areas
- Equipment on the roof, side of building, or ground
- Wastewater treatment equipment
- Equipment storage yards



- + Wall style complements the Town's aesthetic



- + Encourages property boundary
- + Provides privacy and security
- + Aesthetically appealing
- ✗ Wood material has the potential to be flammable



- + Provides adequate screening
- + Combination of fencing and landscaping

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## 2-I: SITE FURNISHINGS

Utilize site and street furniture of a design, material, and color that best complements the proposed structure and landscaping concept.

## DESIGN:

1. The proposed furnishings should be of a quality consistent with the surrounding neighborhood. Furniture, such as benches, chairs, tables, and drinking fountains, should be simple in character and compatible with the style, color, and scale of adjacent buildings and outdoor spaces.

## DRINKING FOUNTAINS:

2. The inclusion of drinking fountains within outdoor spaces, adjacent to businesses, transit stops and multi-family residential buildings, is encouraged.

## BENCHES:

3. Benches should be placed in an area where it is easily accessible and made of all-weather materials. Metals should have a non-corrosive finish. The style should work with the architecture of the business and maintained by the same business.



Outdoor Fountain, Elkay

+ ADA accessible and dog-friendly



Commercial Park Bench, BYO Recreation

+ All weather and is tied in with the Architecture



Contemporary Table, Victor Stanley (Maryland)

+ Neutral Colors, See Appendix for color suggestions

✗ ADA accessible

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## 2-I: SITE FURNISHINGS (CONT.)

### TABLES:

4. Benches should be placed in an area where it is easily accessible and made of all-weather materials. Metals shall have a non-corrosive finish. A shade canopy is highly recommended for seasonal weather.

### TRASH RECEPTACLES:

5. Trash receptacles should be placed in an area where it is easily accessible and made of all-weather materials. Metals should have a non-corrosive finish. The style should work with the architecture of the business and maintained by the same business.

### PLANTERS:

6. Raised planters are acceptable and should be fabricated with durable all-weather materials. Pots should not drain onto sidewalks and are encourage to use the plant materials suggested in the *Appendix*.



Trash Receptacle, Victor Stanley (Maryland)

- + Maintained and provided for outdoor seating areas



Bike Racks, Reliance Foundry

- + Meets Town code
- + Aesthetically appealing
- + Accessible



San Francisco, California

- + Well maintained and accessible
- ✗ Impeding pedestrian movement



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## 2-I: SITE FURNISHINGS (CONT.)

### BIKE RACKS:

7. Bike racks should be placed in an area where it is easily accessible and made of all-weather materials. Metals shall have a non-corrosive finish. Bike racks should meet *CalGreen (California Green Building Standards Code 2019) Standards* and not be located in area to hinder pedestrian movement.

### BIKE STORAGE:

8. Bike storage should be placed in an area where it is easily accessible and made of all-weather materials. Metals shall have a non-corrosive finish. Bike storage should meet *CalGreen (California Green Building Standards Code 2019) Standards* and not be located in area to hinder pedestrian movement.

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## 2-J: SITE LIGHTING

Site lighting shall have a scale, design, and color that best complements the character and design of the adjacent structure. Lighting should be visible from the exterior of a building and the project's boundaries should be limited to that necessary for security, safety, and identification. It should also be screened from adjacent areas and not be directed in an upward manner or beyond the boundaries of the parcel on which the building is located.

## PATH:

1. Paths through covered or open courtyards should be illuminated.

## LOCATION AND DESIGN:

2. Lighting should be accomplished in a manner that does not create glare for pedestrians, drivers, or adjacent properties. If light fixtures are visible, they should have a low enough intensity or have adequate diffusing lenses to minimize their brightness. The emphasis should be on lighting landscape, pedestrian spaces, or building surfaces. Lighting style shall be compatible with the street theme. Refer to *Paradise Municipal Code* for parking lot height and location requirements.



- + Light fixture complements the Town's aesthetic, providing a "traditional" look
- + Type of lighting does not cause glare for users



- + Light fixture complements the Town's aesthetic
- + Illuminates paths for user



- + Light fixture encourages individuality of design

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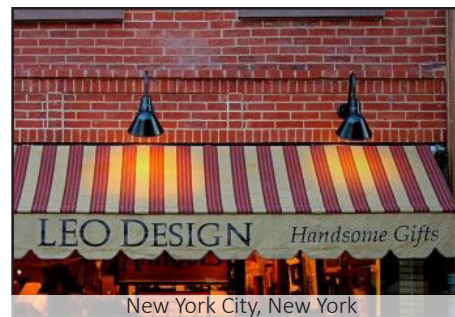
## 2-J: SITE LIGHTING (CONT.)

### UNDER CANOPY AND ENTRY LIGHTING:

1. Under canopy and entry lighting shall be placed to illuminate the pedestrian walkway which may be shaded from streetlights. These fixtures may be recessed down lights or pendant fixtures set in the soffit or other wall mounted shaded fixtures.

### PARKING LOTS:

2. Parking lots must provide adequate lighting for safety. Lighting should complement the building lighting fixtures. Refer to *Building Design, Section 1.B.* for lighting on building facades.



New York City, New York

- + Provides adequate entry lighting on the exterior of the building
- ✗ Lighting does not extend beyond awning to provide lighting under canopy



New Prague, Minnesota

- + Light fixture complements the Town's aesthetic
- + Illuminates paths for user

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## 2-K: SERVICE, UTILITY, AND WASTEWATER TREATMENT AREAS

### TRASH AND RECYCLING ENCLOSURE DESIGN:

1. Prior to the design of a trash enclosure it is recommended that the applicant consult with the trash hauler company providing refuse collection services to the property. The enclosure shall be integrated with the building through the use of compatible materials and detailing; for example, if the building is brick, then the enclosure shall be brick to match. In addition, landscape screening is desirable.

- Masonry is the most appropriate material for trash enclosures because of its extreme durability. The exterior shall be designed to be compatible with the building design.
- If the exterior of the building is primarily wood siding a wood enclosure may be approved provided the following guidelines are met:
  - The walls are constructed, at a minimum of 2x4's at 16" on center.
  - The walls shall sit on 6" high concrete curb which shall extend into the interior of the enclosure, serving as a wheel stop to prevent the trash bin from coming in contact with the walls.
  - The exterior shall be sided with the same material as the building.
  - The interior shall be sheathed in 3/4" plywood and painted to provide a washable surface.
  - Wood fencing, chain link fencing and chain link with redwood slats are not acceptable trash enclosure materials. Exposed concrete block may not be acceptable unless adequately detailed and screened.



- + Enclosure is aesthetically pleasing
- + Compatible materials



- + Landscape screening
- + Compatible materials

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## 2-K: SERVICE, UTILITY, AND WASTEWATER TREATMENT (CONT.)

### SERVICE AREA ENCLOSURE:

2. They may also stand apart from the building. In these cases the enclosure shall be constructed of substantial, durable materials that are compatible with the building finishes, as noted below, and shall be screened with landscaping in a planter which shall be along the entire trash enclosure wall perimeter.

### MECHANICAL, ELECTRICAL SERVICES AND SITE EQUIPMENT:

3. New surface mounted exposed conduit or electrical lines are not acceptable. Electrical switch gear, meters, etc., which are visible to the public must be screened or housed in an enclosure that is compatible in design to the structure.
  - Site equipment such as vapor recovery units, transformers, gas and electric meters, irrigation controls, fire department connections, sprinkler risers, etc., must be screened from view at both the front and rear of buildings by landscaping and/or approved enclosures while still providing service and maintenance access.

### ROOF MOUNTED EQUIPMENT:

4. Roof mounted equipment must be thoughtfully located. Air conditioners, fans, vents, antennae, and other roof top equipment must be set back from the roof edge sufficiently to be out of the line of sight of a pedestrian on the opposite side of the street, or this equipment must be screened from view. Screening materials should be substantial, durable materials, compatible with the design and materials of the building. Refer to *Building Design* for specifications.

### WASTEWATER TREATMENT FACILITIES:

5. Wastewater treatment equipment must be secured behind an approved fence system and obscured from site by landscaping. Facilities that are located within the public view will have more site-obscuring landscaping required.

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## 2-L: ENERGY EFFICIENCY

Incorporate practical energy efficient strategies in the project design. Refer to the current *California Green Building Code* located online at, <https://codes.iccsafe.org/content/CAGBSC2019/cover>. The following list of the most practical energy efficiency strategies for building design apply to both residential and commercial uses, unless stated otherwise. Strategies should be integrated into the design of the building and not “tacked on.”

### SITE DESIGN ELEMENTS:

1. Deciduous trees should be a part of the landscape improvements, especially those that are positioned to shade windows, the building, air conditioning units, and paved areas, including the street. South and west facing sides of the building that are shaded with deciduous trees will save the most energy.

### EQUIPMENT ELEMENTS:

2. Include well insulated envelopes that minimize conductive and convective heat transfer through walls, ceilings, elevated floors and window systems. Consider night ventilation, economizer cycles, direct and indirect evaporative cooling, and other efficient heating and cooling strategies. Consider passively cooled thermal mass in residential construction, solar water heaters integrated with the forms of buildings, efficient electric lighting systems, electric vehicle charging stations in new parking lots, elements that reduce water consumption (low flow fixtures, recycled grey water, etc.), and appropriate solar design including allowance for future distributed generation systems such as photovoltaics and fuel cells.

### UTILITY CONSULTATION:

3. Early consultation with utilities on energy efficiency for medium and large-sized projects is strongly encouraged.



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## 2-L: ENERGY EFFICIENCY (CONT.)

### SITE LIGHTING:

- Should be design to include cut-offs to minimize the negative effects of lighting of the sky.

### SOLAR ACCESS - ADJACENT PROPERTY:

- To protect solar options on adjacent properties, projects should be designed to respect solar access on adjacent properties. Refer to *Building Design* for specifications.

### SOLAR ACCESS - ROOF AREA:

- To allow for future solar options, projects should be designed to provide a south-facing roof area equivalent to 20% of the building floor area with unobstructed solar access. Refer to *Building Design* for specifications.



Renton, Washington

- + Promotes energy efficiency, car charging station



South Carolina

- + Light-colored finishes help keep the building cool



Solar Panel, Carolina Solar

- + Promotes energy efficiency



# SIGNS:

SIGN DESIGN CONSIDERATION

SIGN SIZE, COLOR, AND FONT

QUALITY AND MATERIALS

LOCATION ON BUILDING

ARCHITECTURE COMPATIBILITY & CORPORATE IDENTITY

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A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY**3-A: SIGN DESIGN CONSIDERATION**

Signs are essential to any business. They are not only the most affordable means of advertising for many businesses, but also the first impression that the public gleans about your business. Well-designed and optimally visible signs are invaluable to a business, whereas ill-designed and incompatible signs detract from a business and can result in reduced patronage.

Signs are one of the most noticeable elements along Paradise's commercial streets and play a major role in creating a visual image for the Town. Well-designed signs add to the Town's attractiveness whereas signage that is poorly designed, constructed from low quality materials, or does not match the scale or style of the adjacent buildings reflects negatively on the streetscape and may negatively impact viewers' perceptions of local businesses and the broader community. Because of these factors, the Town encourages well designed signage using high quality materials and a clearly communicated message.

- Refer to the *Paradise Municipal Code, Chapter 17.37* regarding current sign regulations.

It is in the interest of the Town, its residents, and local businesses that clear standards for sign design, materials, and placement are established to contribute to the expression of local character and the development of a distinctive Town image. The intent of the Town-wide Design Standards and criteria includes the following:

1. Assist property owners and business owners in understanding Town expectations.
2. Enhance the physical appearance of the Town.
3. Reduce the time and fees for processing sign approvals, when required.
4. Assist Staff reviewing sign permit applications by establishing criteria with which to judge the appropriateness of a sign's design.
5. Clark Road Corridor signs should primarily be oriented toward vehicular traffic. The vehicle-oriented sign is usually read from a distance of 200 feet.
6. Signs within the Clark Road area shall be compatible with the architecture. The size and shape of a sign shall be proportionate with the scale and the architecture of the building and/or structure.
7. Signs shall contribute to the general appearance of the street and the character of the neighborhood in which they are located.
8. Monument signs shall be placed to establish design continuity, scale and proportion.

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-A: SIGN DESIGN CONSIDERATION (CONT.)

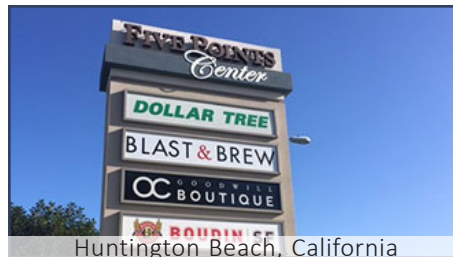
9. As an alternative to an attached sign, individually mounted lettering is encouraged.

## ENCOURAGED SIGNS:

- 10. Flush-mounted wall signs with backlighting.
- 11. Matte or non-glossy backgrounds as glare and shine can contribute to illegibility.
- 12. Prefer ivory or off-white backgrounds. Bright, stark white backgrounds contribute to illegible signs.
- 13. Awning signs (restricted to the valance or end flap); can be internally illuminated or backlit.
- 14. Ground-mounted monument signs with landscaping.

## ACCEPTABLE SIGNS:

- 15. Projecting, blade or hanging signs.
- 16. Illuminated signs where the panel is dark and the light is illuminated behind the letters.
- 17. Neon tube lighting on painted wall signs, on window signs.
- 18. Marquee signs for movie and theater and/or “community service” uses.
- 19. Building signs at customer accessible rear building entrances.



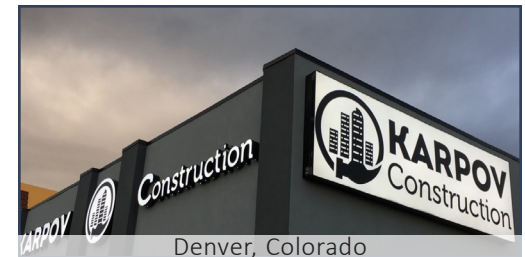
Huntington Beach, California

- + Oriented towards vehicle
- + Clearly legible



Midlothian, Virginia

- + Monument signage within property line, highly visible.
- ✗ Blocking sightlines for vehicles



Denver, Colorado

- + Flush mounted wall signs with backlighting
- + Good Visibility for multiple users
- + Location of sign on the wall

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-A: SIGN DESIGN CONSIDERATION (CONT.)

## ACCEPTABLE SIGNS (CONT.):

- 20. Banners for special sales promotions, etc.
- 21. Portable signs professionally designed and temporary that comply with ADA accessibility and placed to not obstruct pedestrian movement.
- 22. Appurtenances must be compatible with building design and compliment surrounding businesses and area. Natural coloring and landscaping is preferred. Appurtenances must go through the design review process in order to be approved.

## DISCOURAGED SIGNS:

- 23. "Temporary" banners for business identification for more than 60 days unless extended by the Planning Director (per *Paradise Municipal Code 17.37*).
- 24. Animated, emitting, rotating, moving, or flashing signs; exposed raceways behind channel letters.
- 25. Abandoned signs.
- 26. Roof mounted signs upon buildings at or above street level (Refer to *Paradise Municipal Code, Chapter 17.37* for exceptions).
- 27. Balloon signs, paper-, cloth-, or plastic-streamers and bunting (except holiday decorations).
- 28. Traffic sign replicas.



Austin, Texas

- + Temporary signs for daily business use.
- ✗ Obstruction to pedestrian movement



Eugene, Oregon

- ✗ Mounted on roof per Municipal Code
- ✗ Poorly constructed, unstable roof mounting



Milwaukee, Wisconsin

- ✗ Pole signs; free-standing
- ✗ Located in the public's right of way

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-A: SIGN DESIGN CONSIDERATION (CONT.)

## DISCOURAGED SIGNS (CONT.):

29. Handmade portable signs that are not professionally designed, that violate ADA accessibility requirements, or that obstruct pedestrian movement.
30. Signs with obscene, indecent or immoral content.
31. Signs constituting a safety hazard.
32. Plastic or vinyl material stretched over a structure as a temporary sign except as allowed sign zoning code.

## 3-B: SIGN SIZE, COLOR, AND FONT

## SIGN SIZE:

1. Refer to *Paradise Municipal Code; Chapter 17.37* regarding current sign regulations. All signs shall relate proportionately in size and placement to other building elements.
2. Lettering should be proportionate to the size of the sign.
3. Window Signs: refer to *Paradise Municipal Code; Chapter 17.37* regarding current sign regulations of window signs.



Catalina Bay, California

- + Size is at pedestrian scale
- ✗ Blocking access to site amenities or entries



Norcross, Georgia

- + Simple contrasting color scheme, See colors in Appendix Section



York, United Kingdom

- + Size appropriate to entrance and building
- ✗ Extending into Public Right of Way

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-B: SIGN SIZE, COLOR, AND FONT (CONT.)

4. Monument signs: are permitted if sight distance and engineering Right of Way specifications allow. New monument signs and monuments signs proposed in new developments are required to be landscaped. The landscape plan for the newly proposed monument sign must be reviewed as part of the Design Review process for the new sign.

## SIGN COLOR:

5. Sign color is just as important as the textual content. To be effective, the color should contribute to the legibility and design integrity of the affected property and should complement the colors of the building. Due to our geographical setting, natural, earth-tone colors are the preferred color palette for buildings and signs in the project area. Neon florescent or bright colors are discouraged.
6. Encouraged colors: Natural, earth tone colors, such as: brown, beige, green, cream, muted reds, toned down blues, and pale yellows.
7. Discouraged Colors: Bright white, including excessively bright reds, yellows, greens, and blues. No florescent colors or glossy white backgrounds.

## SIGN FONT:

8. A sign which contains too many fonts can be difficult to read, confusing and may appear disorganized. Some fonts can be very difficult to read at any reasonable distance.

*The **U**se of **Too Many** Fonts Can be **confusing**!*

A b c d e

- ✗ Difficult to read
- ✗ Confusing

- + Large bold lettering
- ✗ Thin font with minimal background contrasting



A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY**3-C: QUALITY AND MATERIALS**

All signs shall be constructed of high quality and weatherproof materials. Appropriate materials shall be used for all elements of signs including all letters, exposed edges, and surfaces.

Except for decorative wrought iron, any exposed hardware such as conduit, tubing (except neon tubing), raceways, conductors, transformers, mounting hardware and other equipment shall be concealed.

A project proposed with inappropriate materials may apply for special considerations only if the Town sign permit administrator determines that one of the following is applicable:

- The proposed material, in the particular application, will blend well with the existing or new materials;
- Other materials would not achieve the same desired theme of the proposed use; or
- The overall architectural design and detailing is of such quality as to justify its use.

**PREFERRED SIGN MATERIALS:**

1. Metal, wood, print on canvas awnings, painted graphics on building surfaces.

**ALLOWABLE SIGN MATERIALS:**

2. Plexiglas, lexan or plastic, neon, vinyl lettering, other durable products deemed suitable for outdoor signs.

**PROHIBITED SIGN MATERIALS:**

3. Unfinished Plywood, particleboard, or paper.



Paradise, California

- + All weather materials
- ✗ Materials not resilient to seasonal conditions.



Fair Oaks, California

- + Enhanced lighting and durable materials
- ✗ Painted directly on building

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY**3-D: LOCATION ON BUILDING****FLUSH MOUNTED SIGN:**

1. Sign placement should be symmetrically located within space that is defined by the building's architectural features such as its massing and its trim.

**AWNING SIGNS:**

2. An awning is permanently attached to a building or can be raised or retracted to a position against the building when not in use. An awning sign is a message that is painted, printed, sewn, or stained onto the awning or awning flap.
3. The sign on awnings shall be placed on the awning flap. The flap shall be at least eight (8) inches in height and with enough contrast so that the letters and symbols can be easily read.
4. The color of an awning sign should be compatible with and complementary to the color and material of the building to which it is attached.



- + Flush mounting.
- + Emphasizes main entrance
- ✗ Non contrasting colors



- + Meets construction methods and standards
- + On-well maintained awnings
- ✗ Contrasting the building character

A SIGN DESIGN  
CONSIDERATION

B SIGN SIZE, COLOR,  
AND FONT

C QUALITY AND  
MATERIALS

D LOCATION ON  
BUILDING

E ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-D: LOCATION ON BUILDING (CONT.)

### PEDESTRIAN-ORIENTED HANGING/SHINGLE SIGNS:

5. A hanging sign is generally located within a complex or plaza to be read by pedestrians along a sidewalk or arcade and by motorists in slow-moving vehicles.
6. The size of a hanging sign shall be proportional to the building façade to which it is attached and typically should not exceed ten (10) square feet.
7. A hanging sign can be hung perpendicular to but shall not project more than five (5) feet from the face of the building.
8. Hanging signs shall not be located within close proximity to other hanging signs or projecting signs, preferably maintaining a separation of at least twenty-five (25) feet from each other.
9. The placement of a hanging sign shall not impede the safe movement of people or vehicles within a public right-of-way and shall be properly secured to a building in a structurally sound manner.

### PROMOTIONAL BANNER SIGNS:

10. Refer to the *Paradise Municipal Code; Chapter 17.37* regarding current sign regulations referencing promotional banner signs.

A SIGN DESIGN  
CONSIDERATION

B SIGN SIZE, COLOR,  
AND FONT

C QUALITY AND  
MATERIALS

D LOCATION ON  
BUILDING

E ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-E: ARCHITECTURAL COMPATIBILITY & CORPORATE IDENTITY

### ARCHITECTURAL COMPATIBILITY - COMPLEMENT BUILDING:

1. Signage shall be modestly scaled and shall be incorporated into an architectural element that complements the overall character of the building. All signs shall relate proportionately in placement and size to other building elements, and sign style and color should complement the building façade.

### CORPORATE IDENTITY:

2. Corporate identity shall be secondary in the design of projects, and projects shall be consistent with the architecture of the surrounding community.

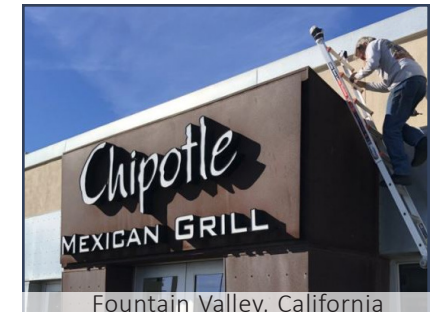
- **Signs:** Corporate signage for renovations shall be modest in scale and located to be compatible with the existing building.



- + Not out of scale with building
- ✗ Oversized corporate stamping



- + Standard corporate identity within private development lot
- ✗ Non-standard placement or appearance



- + Placement complements business entrance and identity
- ✗ Within scale

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# STREETSCAPE:

LANDSCAPE DESIGN

PRESERVATION OF TREES



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## A LANDSCAPE DESIGN

## B PRESERVATION OF TREES

## 4-A: LANDSCAPE DESIGN

Attention should be paid to the selection of plants with natural water conserving tendencies that also promote aesthetic and functionality of the landscape. Plants in public places should be hardy, easy to maintain, and promote a safe environment for the visitor. Refer to the *Paradise Municipal Code* for the requirements concerning streets, sidewalks, curbs, gutters and etc. before designing the site landscaping.

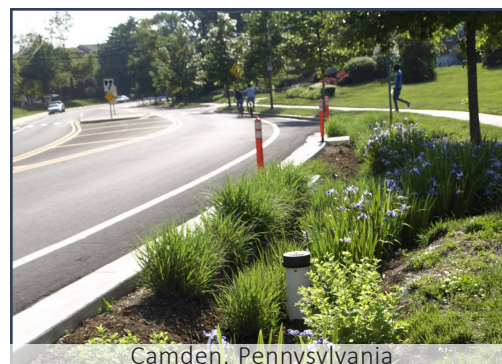
## LINE OF SIGHT:

1. Sight distance for driveways should be protected with the use of visibility triangles on each side of the driveway to ensure adequate visibility. In this area, structures, fences, walls and plant material, with the exception of street trees, should not exceed 2.5 feet in height above the street grade. Clear sight triangles will vary based on roadway speeds and other criteria. Refer to *AASHTO (American Association of State Highway and Transportation Officials): A Policy on Geometric Design of Highways and Streets, Current Edition and Paradise Development Regulations* for additional requirements.



Fair Oaks, California

- + Provide adequate planter area
- + Deciduous tree
- ✗ Encroaches the public right of way



Camden, Pennsylvania

- + Allows of good pedestrian visibility
- + Color Palette



Franklin, Massachusetts

- + Maintained plants
- + Provides pedestrian line of sight

A LANDSCAPE  
DESIGNB PRESERVATION OF  
TREES**4-A: LANDSCAPE DESIGN (CONT.)****FORMS:**

2. Use landscape forms, such as hedges, trellises, fountains, and arbors to create public and private places. Accent color is encouraged. Deciduous trees shall be selected to provide a minimum of 50% shade coverage of total parking area, not including drive aisles. Minimum planter islands in parking fields shall be 6' x 6'. Refer to the *Planting Palette in the Appendix*.

**SAFETY:**

3. Visibility is critical in creating a safe environment and landscape should be designed with safety in mind. Using trees with tall canopies and low shrub materials (less than 36" in height) will facilitate visibility throughout the property. Parking lot landscaping shall not prevent a clear view for emergency services such as the fire and police department.

**STREET TREES:**

4. Balance long-term viability of trees with the need for greater or lesser setbacks where conflicts with existing street trees exist. Street trees shall be selected from a mixed palette and shall consist of both deciduous and evergreen tree species with large broad canopies, including indigenous conifers. Provide adequate planter areas, irrigation source and maintenance.

**FOUNDATION PLANTING:**

5. Plant heights within parking lot islands and perimeter buffers shall not exceed 30 inches in height, and shall be evergreen in nature. Only low-growing and high-moisture vegetation, such as flowers, groundcovers and green lawns, free of dead vegetative debris, shall be allowed within five (5) feet of any structure.

**WATER CONSERVATION:**

6. Select trees and plants that reflect the climate of Paradise and minimize water consumption.

**A LANDSCAPE  
DESIGN****B PRESERVATION OF  
TREES****4-A: LANDSCAPE DESIGN (CONT.)****PAVING/HARDSCAPE:**

7. Refer to *Site Design, Section 2.E* for specific requirements. Pavement materials, colors, and finishes shall be developed in coordination with Town Staff.

**LANDSCAPE IRRIGATION:**

8. Refer to *Site Design, Section 2.G* for specific requirements.

**LANDSCAPE SITE FURNISHINGS:**

9. Refer to *Site Design, Section 2.I* for specific requirements.

A LANDSCAPE  
DESIGNB PRESERVATION OF  
TREES

## 4-B: PRESERVATION OF TREES

Street trees can be one of the most valuable assets to providing a city aesthetic character. Whenever possible, retain existing street trees and trees on sites that have been determined to be of significant value in contributing to the final landscape design.

### ARBORIST:

1. Consult with a professional arborist for advice on the health and maintenance of existing trees and sections of street trees prior to design.
2. Preserve existing street trees. When replacing or building new sidewalks near existing historic trees, sidewalks should provide additional spaces and bend around widened tree trunks to lessen concrete root conflicts. Provide appropriate new street trees that fit within the existing planting patterns.

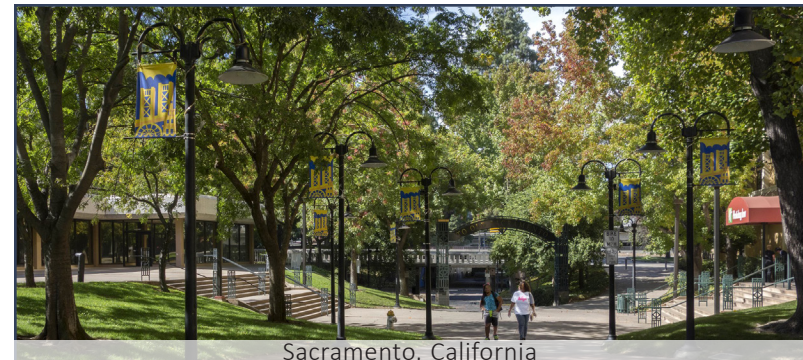
### HEALTHY TREES:

- New development shall minimize loss of healthy existing trees.



Salt Lake City, Utah

+ Appropriate tree staking



Sacramento, California

+ Maintained tree canopy

# APPENDIX:

GLOSSARY

DESIGN REVIEW COMMITTEE & PROCESS

PLANT PALETTE

COLOR PALETTE



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## GLOSSARY:

**ADDITION:** New construction added to an existing building or structure.

**ACCESSORY (OR ANCILLARY) STRUCTURES:** A structure detached from a principal building located on the same lot and customarily incidental and subordinate to the principal building or use.

**ALTERATION:** Work which impacts any exterior architectural feature including construction, reconstruction, or removal of any building or building.

**ANIMATED:** Describes the use of building elements, areas, and colors that create variety and a sense of activity in and around a building.

**APPURTENANCE:** An appendage that is attached to a structure such as a roof top mechanical system, enclosed storage area, etc..

**ARTICULATION:** The dividing or segmenting of building elements into smaller components to create a sense of finer detailing. The variations in the exterior of the building or massing of buildings in a development. Elements of articulation may be described in terms of roughness of surface material, numbers of openings, patterns within the material or of different materials, massing, etc. Articulation can reduce the scale of larger buildings by the use of small detailed patterns.

**BALUSTER:** A turned or rectangular upright member supporting a stair rail.

**BALUSTRADE:** An entire railing system with top rail and balusters.

**BARGEBOARD:** A board which hangs from the projecting end of a gable roof covering the end rafters, and often sawn into a decorative pattern.

**BAY WINDOW:** A window in a wall that projects at an angle to another wall.

**BOARD AND BATTEN:** Siding fashioned of boards set vertically and covered where their edges join by narrow strips called battens.

**BOLLARD:** A vertical element designed to prevent the movement of vehicles across a roadway or into a pedestrian area.

**BRACKET:** An ornamental or structural member or both set under a projecting element, such as the eaves of a house.

**CAPITAL:** The head of a column or pilaster.

**COLUMN:** A vertical support, usually supporting a member above.

**CORBEL:** In masonry, a projection, or one of a series of projections, each stepped progressively farther forward with height and articulating a cornice or supporting an overhanging member.

**CORNICE:** The uppermost projecting part of an entablature, or a feature resembling it. Any projecting ornamental molding along the top of a wall, building, etc.

**CRESTING:** Decoration applied along roof ridges generally consisting of ornamental metal.

**DENTILS:** A row of small tooth-like blocks in a classical cornice.

**DESIGN CONTINUITY:** A unifying or connecting theme or physical feature for a particular setting or place, provided by one or more elements of the natural or created environment. Consistency in scale, quality, or character between new and existing development so as to avoid abrupt and/or severe differences.

**DESIGN RHYTHM OR PATTERN:** The regular or harmonious recurrence of lines, shapes, forms, elements or colors, usually within a proportional system.

**DORMER WINDOW:** A window that projects from a roof.

**DOUBLE HUNG WINDOW:** A window with two sashes, one sliding vertically over the other.

**EAVES:** The edge of a roof that projects beyond the face of a wall.

**ELEVATION:** The external faces of the building.

**ELL:** The rear wing of a house, generally one room wide and running perpendicular to the principal building.

**ENGAGED COLUMN:** A round column attached to the wall.

**ENTABLATURE:** The band of moldings near the top of a facade, divided into cornice, frieze, and architrave.

**FACADE:** The exterior walls of a building exposed to public view, or that wall viewed by persons not within the building.

**FENESTRATION:** The arrangement of windows on a building.

**FINIAL:** A pointed ornament at a gable peak.

**FLUTING:** Shallow, concave grooves running vertically on the shaft of a column, pilaster, or other surface.

**FRETWORK:** Ornamental woodwork, cut into a pattern, often elaborate.

**FRIEZE BOARD:** A flat board at the top of a wall directly beneath the cornice.

**GABLE:** The triangular section of a wall to carry a pitched roof.

**GABLE ROOF:** A roof with a central ridge and one slope at each side.

**HARDSCAPE VS. SOFTSCAPE:** Hardscape street improvements that include paving elements, such as roads sidewalks, and medians.

Softscape improvements include landscaping elements, such as trees, bushes and other plant material.

**HIPPED ROOF:** A roof with uniform slopes on all four sides.

**HOOD MOLD:** A projecting molding above an arch, doorway or window.

**IRRIGATION:** Method of artificial watering, usually through automatic sprinkler systems.

**LATTICE:** An openwork grill of interlacing wood strips used as screening.

**LINTEL:** A horizontal beam or stone bridging an opening.

**MANSARD ROOF:** A roof with two slopes on all four sides, with the lower slope almost vertical and the upper almost horizontal.

**MASSING:** The distribution of building volumes in regard to a) the building's relative location on the site; and b) the height, width, depth of the elements of a building relative to each other. An example of the second aspect could be "the bell tower of a church in relation to the assembly building of a church" are separate masses.

**MEDIAN:** A barrier placed between lanes of traffic flowing in opposite directions, usually wide enough to be landscaped and have trees planted in it.

**METAL STANDING SEAM ROOF:** A roof composed of overlapping sections of metal such as copper-bearing steel or iron coated with a thin alloy of lead and tin. These roofs were attached or crimped together in various raised seams for which the roofs are named.

**MODILLION:** A horizontal bracket, often in the form of a plain block, ornamenting, or sometimes supporting, the underside of a cornice.

**MONOCHROMATIC:** The use of one color.

**MULLION:** A vertical strip dividing the panes of a window.

**MUNTIN:** A secondary framing member to hold panes within a window or glazed door.

**OPAQUE:** A material that does not transmit light.

**ORIENTATION:** The direction that various sides of a building face.

**PALLADIAN WINDOW:** A window with three openings, the central one arched and wider than the flanking ones.

**PARAPET:** The extension of the main wall of a building above the roof level.

**PAVING:** Common terminology for surface materials. These can be asphalt paving, integral paving, stones, brick or concrete (See Hardscape).

**PEDESTRIAN SCALE:** A design relating to the scale of an average person.

**PEDIMENT:** A triangular space in a gable closed on all three sides.

**PERSPECTIVE:** The presentation of a building elevation from a three-dimensional orientation.

**PILASTER:** A square pillar attached, but projecting from a wall, resembling a classical column.

**PORTE-COCHERE:** A porch large enough to enclose wheeled vehicles.

**PORTICO:** A roofed space, open or partly enclosed, forming the entrance and centerpiece of the facade of a building, often with columns and a pediment.

**PUBLIC IMPROVEMENTS:** Publicly directed enhancements, often to streetscapes and other public amenities.

**PUNCHED WINDOWS:** Individual window elements as opposed to a continuous horizontal band of windows. Punched windows can be either in the same plane with the exterior surface or more appropriately recede behind the plane.

**PYRAMIDAL ROOF:** A roof with four identical sides rising to a central peak.

**QUOINS:** Stone blocks or bricks ornamenting the outside walls of a building.

**REHABILITATION:** To restore to a good condition while preserving significant features.

**REMODEL:** To reconstruct or alter.

**RENDERING:** The detailed colored presentation of a building elevation, perspective, or plan.

**RESTORATION:** To bring back to a documented former condition or appearance.

**RIGHT OF WAY (R.O.W.):** Land publicly controlled, including streets, sidewalks and alleys.

**SASH:** The movable framework containing the glass in a window.

**SCALE:** Describes the relationship of objects size to another. A building's scale might be described in relation to its neighboring context, to the components of the building itself, or to a human being. For the purpose of this text, "Human Scale" refers to buildings and streetscapes that comfortably relate to the human figure (pedestrians).

**SCORING PATTERNS:** Lines scribed into concrete, usually in sidewalks.

**SCREENING:** To visually separate, or mask for aesthetic purposes or privacy issues.

**SETBACK:** The distance between the building and any lot line.

**SHADOW CASTING:** The shade cast by a structure or building on the surrounding areas during the day and over various seasons.

**SILL:** A horizontal member at the bottom of a window or door opening.

**SIDING:** The exterior wall covering or sheathing of a structure.

**SPALLING:** Flaking of the outer face of masonry, often caused by expanding moisture in freezing conditions.

**STREETSCAPE:** A setting or expanse describing visible signage, fixtures, paving, landscaping, and buildings along a street way.

**TERRA COTTA:** Cast and fired clay units, used as ornamentation.

**TRANSOM:** Horizontal window like element above the door.

**VERGEBOARD:** The vertical face board following and set under the roof edge of a gable, sometimes decorated by carving.

**WEATHERBOARD:** Wood siding consisting of overlapping boards usually thicker at one edge than the other.

**ZONING ORDINANCE:** The Zoning Ordinance of the Town of Paradise.



# DESIGN REVIEW PROCESS:

## DESIGN REVIEW PROCESS:

The design review process is set by Council and is enumerated in *Paradise Municipal Code Chapter 17.41*. The specific steps are noted in detail in the application packet. The application packet is posted on the Town's website. Applicants may submit for design review in concurrence with certain land use applications, however, building permits will not be issued without design review approval or conditional approval. An applicant may appeal any decision made by the Design Review Committee to the Town Council as set forth by the procedures in *Paradise Municipal Code Chapter 17.41*.

## APPEALS TO THE DESIGN REVIEW DECISION:

The applicant may appeal staff's decision to the Town Council by paying the appropriate fee, as adopted in the Town's Master Fee Schedule. The appeal must be filed within 10 days of the decision with the Town Clerk's Office.

# ENCOURAGED PLANT PALETTE:

## STREET TREES:

### BOTANICAL NAME:

Acer Rubrum	Red Maple
Calocedrus Decurrens	Incense Cedar
Liriodendron Tulipifera "Arnold"	Tulip Tree
Platanus Acerifolia 'Bloodgood'	London Plane Tree
Platanus Racemosa	Californica Sycamore
Quercus Douglasii	Blue Oak
Quercus Ilex	Holly Oak
Quercus Lobata	Valley Oak
Quercus Rubra	Red Oak
Quercus Wislizenii	Interior Live Oak

## SECONDARY STREET TREES:

### BOTANICAL NAME:

Cedrus Deodara	Deodar Cedar
Prunus Cerasifera 'Krauter Vesuvius'	Purple Leaf Plum
Pyrus Calleryana 'Aristocrat'	Aristocrat Pear
Tilia Americana	American Linden

## SMALL ACCENT TREES:

### BOTANICAL NAME:

Arbutus Marina	Strawberry Tree
Cercis Occidentalis	Western Redbud
Cornus Nuttallii	Pacific Dogwood
Heteromeles Arbutifolia	Toyon
Magnolia Stellata	Star Magnolia (multi-trunk)
Prunus caroliniana	Carolina Laurel Cherry

## LARGE SHRUBS (5'-6' TALL):

### BOTANICAL NAME:

Arbutus unedo 'Compacta'	Dwarf Strawberry Tree
Cotoneaster Parneyi	Parney Cotoneaster
Ilex cornuta	Chinese Holly
Ligustrum japonicum 'Texanum'	Texas Privet
Philadelphus Lewisii	Wild Mock Orange
Photinia Fraseri	Photinia
Pittosporum Tobira	Mock Orange
Pittosporum Tobira 'Variegata'	Variegated Tobira
Prunus Caroliniana 'Brite N Tite'	Carolina Cherry
Prunus Laurocerasus	English Laurel
Raphiolepis Indica 'Majestic Beauty'	Majestic Beauty Raphiolepis
Rhamnus spp.	Coffeeberry
Viburnum Opulus 'Roseum'	European Cranberry Bush

## MEDIUM SHRUBS (3'-4' TALL):

### BOTANICAL NAME:

Atriplex spp.	Saltbush
Berberis thunbergii 'Atropurpurea'	Red Leaf Japanese Barberry
Buxus Japonica	Boxwood species
Dietes Vegeta	Fortnight Lily
Grevillea Noellii	Grevillea
Hypericum Moserianum	Gold Flower
Pinus Mugo	Mugo Pine
Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel
Raphiolepis indica 'Jack Evans'	Jack Evans Raphiolepis
Rhus integrifolia	Lemonade Berry
Rosa spp.	Various Rose species
Umbellularia californica	California Bay Laurel
Nandina Domestica	Heavenly Bamboo

## ENCOURAGED PLANT PALETTE (CONT.):

### SMALL SHRUBS (1'-3' TALL):

#### BOTANICAL NAME:

Artemisia 'Powis Castle'	Artemisia
Baccharis Pilularis 'Pigeon Point'	Dwarf Coyote Bush
Berberis Thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry
Calycanthus Occidentalis	Spice Bush
Carpenteria Californica	Bush Anemone
Chaenomeles 'Stanford Red'	Flowering Quince
Cotoneaster dammeri 'Lowfast'	Lowfast Bearberry Cotoneaster
Hemerocallis Hybrid	Daylily
Heuchera S. 'Santa Ana Cardinal'	Coral Bells
Iris Germanica	Bearded Iris
Juniperus Conferta	Shore Juniper
Juniperus Horizontalis 'Youngstown'	Youngstown Juniper
Mahonia aquifolium 'Compacta'	Dwarf Oregon Grape
Penstemon gloxinoides 'Firebird'	Border Penstemon
Pittosporum tobira 'Wheeler's Dwarf'	Dwarf Tobira
Raphiolepis Ballerina	Dwarf Raphiolepis
Rhus Ovata	Sugar Bush
Rosemarinus Ingramii	Collingwood Ingram Rosemary
Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea

### GROUNDcover:

#### BOTANICAL NAME:

Arctostaphylos 'Emerald Carpet'	Dwarf Manzanita
Baccharis Pilularis 'Twin Peaks'	Coyote Bush
Coprosma Pumila 'Verde Vista'	Coprosma
Hypericum Calycinum	St. Johnswort
Juniperus Conferta	Shore Juniper
Rosmarinus officinalis	Prostrate Rosemary
Trachelospermum Asiaticum	Asian Jasmine
Trachelospermum Jasminoides	Star Jasmine

### VINES:

#### BOTANICAL NAME:

Campsis Radicans	Trumpet Vine
Clematis spp.	Clematis
Lonicera Japonica	Honeysuckle
Parthenocissus Tricuspidata	Boston Ivy

# COLOR PALETTE:

## ENCOURAGED COLORS:

When considering future development, one has only to look around for inspiration. Paradise is located on a beautiful ridgetop in the Sierra Nevada foothills with breathtaking canyon views and heavenly blue skylines. A large portion of the Town is tucked away among the trees and the natural wooded forest. Fresh water lakes, rivers and waterways sustain the native habitat. The natural vegetation is awakened each Spring with vibrant color, while the Fall, not to be outdone, defies the winter frost with striking a splendor of crimson and gold. These are the colors of Paradise.

Since structural elements such as buildings and signs are designed to be part of the landscape for a long period of time, it is important to respect the existing view shed and follow desired design standards. Choosing a color palette from the natural environment ensures aesthetic harmony.

The common understanding of earth tones include a color scheme that draws from a palette of browns, tans, grays, greens, oranges, whites, blues and some reds. The colors in an earth tone scheme are muted and flat in an emulation of the neutral colors found in soil, moss, trees and rocks. Many earth tones originate from clay earth pigments, such as umber, ochre and sienna.

## DISCOURAGED COLORS:

The right color palette enhances the attractiveness of a structure or sign face. Using compatible color families, hues, values and tones will ensure that colors blend well and fit in with the surrounding elements.

Some advertisers use bright colors to attract attention, which is acceptable for television and print media. However when designing permanent structures and permanent signs, colors should blend, enhance, and promote the natural beauty of the surrounding area. Therefore bright, intensively-toned colors are typically not viewed as a visually pleasing color choice for certain design elements.

Fluorescent colors are intense and brilliant with a strong, vivid color saturation. Therefore, fluorescent and other brightly toned colors which are mainly used to “stand out” and distract will not be eligible color choices for permanent structures.

When using digital processing for sign design, colors above 60% on the CYMK color chart will be questioned or prohibited. In other words, adding shades or diminishing tones of certain colors will be necessary to obtain design review approval for color palettes.

## EXHIBIT "A"



# DOWNTOWN DESIGN STANDARDS TOWN OF PARADISE



ADOPTED BY THE TOWN COUNCIL  
DATE

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# GENERAL:

## PURPOSE:

These Design Standards represent the community's desire for good design by encouraging creativity, interest and variety, and by building upon local character to create efficient, sustainable, and livable places. The Standards are intended to promote a desired level of future development in Paradise that:

1. Preserves the sense of a small-town community in a natural mountain environment;
2. Contributes to a positive physical image and identity, while preserving the surrounding environment;
3. Provides design assistance to the development community, architects/designers, and property owners;
4. Promotes high-quality development that stimulates investment in the economic vitality of Paradise;
5. Facilitates the development of projects that establish a sense of place while complementing the character of traditional design established within the existing neighborhoods of the Town;
6. Implements the goals, objectives, and policies of the Town of Paradise General Plan;
7. Maintains and enhances property values and pride of ownership.

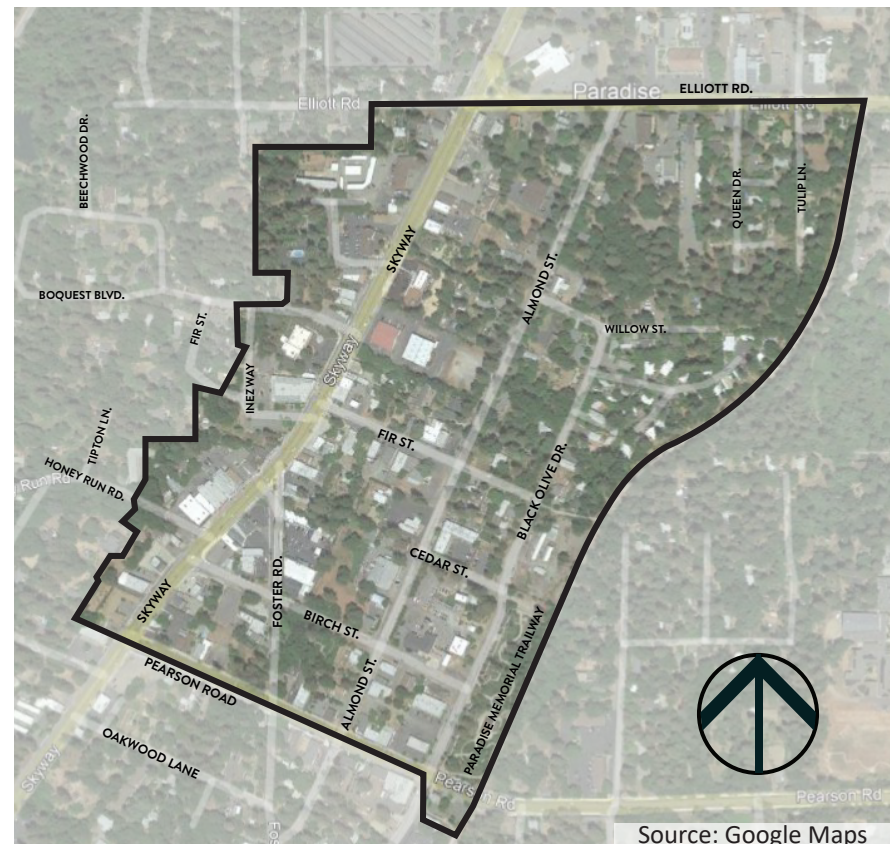
These Standards are meant for use by property owners, developers, business owners, and architects in achieving a superior quality design of new construction and additions to existing buildings. The purpose of the Standards is to guide quality designs that have been carefully considered and that have well integrated building features and architectural elements. These Standards complement existing development procedures, policies, and laws.

## APPLICATION:

The standards contained in this document are focused on design. This document is not intended to provide a listing of all Town standards or requirements. Applicants should also refer to the *Paradise General Plan*, the *Paradise Zoning Code*, the *Paradise Municipal Code*, the *Subdivision Ordinance*, and engineering design standards, and related documents. Where any conflict arises, the Town codes and standards listed above will supersede these design standards.

In cases where a property is located in an overlapping geographical design area, the following hierarchical order will be applied to the property when making decisions for Design Review: (1) Downtown (2) Gateway \ Scenic Highway Corridor (3) Clark Road and the Community Commercial Development Areas (4) Industrial \ Business Cluster.

In this document the terms “should” or “encouraged” means that the Town strongly prefers that the applicant apply the criteria to his or her project, but the applicant may use an alternative design feature to the one expressed by the criteria, if they can demonstrate that an alternative design feature may be used to achieve the design concept or desired aesthetic. The term “discouraged” is intended to illustrate those aspects of design which do not achieve the Town’s design review objective or meet the design review criteria and are therefore not permitted. Final determination rests with the design review approval process.



**FIGURE 1-1** The Design Guide Applies to the Highlighted Area.

## GOALS:

The goal of the Downtown is to use good design to “create a place” that attracts pedestrians, promotes mixed-use developments, encourages commerce, and aesthetically improves the character of Paradise, as a charming mountain community.

The current theme consists predominately of parapets, covered walkways, awnings, and architectural features consistent with the Mountain Craftsman style. Representative of the surrounding environment in which Paradise is located, the Mountain Craftsman style makes use of natural materials including stone and timber. Columns, beams, rafters, and other elements are exposed and displayed as important architectural components. Warm earth tones and natural colors are reflective of the rich natural beauty that Paradise is known for. These design standards encourage and promote the further development of this style in Paradise.

Good design considers the proposed site, the surrounding properties, and the continuity of buildings along the street frontage at the proposed location to blend existing designs, upgrade deteriorated buildings and eliminate clutter and blight. Good design also considers mixed-use developments, which brings new customers and business opportunities to the downtown area.

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# HOW TO USE THIS GUIDE:

## LOCATION OF DESIGN ELEMENT:

The following graphic shows some potential design elements for Downtown Paradise. The various design elements have been included in this guide. Click on the image for more information regarding the design element.



# NAVIGATION OF EACH SHEET:

\*Example Reference: "Refer to Section 2-C.1..."

Navigation Bar

Main Category

Sub Category

Page Number

1 - BUILDING

2 - SITE

3 - SIGNS

4 - STREETScape

5 - APPENDIX

A INGRESS/EGRESS

B PARKING CIRCULATION

C PEDESTRIAN CIRCULATION

D CREATING PLACES

E PAVING/HARDSCAPE

F LOCATION OF STRUCTURES

G LANDSCAPING/IRRIGATION

H FENCES/WALLS

I SITE FURNISHINGS

J SITE LIGHTING

K SERVICE/UTILITY/WASTEWATER TREATMENT AREAS

L ENERGY EFFICIENCY

1

WWW.TOWNOFPARADISE.COM

2-C: PEDESTRIAN CIRCULATION

Where commercial and residential structures adjoin public areas, and along internal circulation paths of the downtown area, provide pedestrians with the greatest possible sense of safety, comfort, aesthetic pleasure, and connection to building activities at edges.

PEDESTRIAN SHELTER:

1. Provide shade from the summer sun (and protection from the rain, when possible) with street trees, trellises, awnings and other devices along street frontages and paths internal to the project, especially on the south side of buildings.

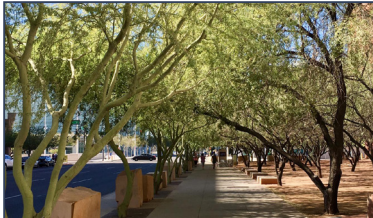
AESTHETIC QUALITY:

2. The highest detail and material quality for projects should be placed where pedestrians have the greatest and closest contact with the project.



Sonoran Shelter, Marana, Arizona

- + Provides adequate shade
- + Allows for circulations paths, enhances safety and comfort
- ✗ Shelter design does not complement the aesthetic of the Town



Phoenix, Arizona

- + Walkable space
- + Natural tree shading
- ✗ Too dense of tree planting, can cause a fire hazard



Seaside, California

- + Shelter design complements the aesthetic of the Town
- + Provides seating for users
- ✗ Does not provide adequate shade

Image Example

Location/Source

Encouraged/Preferred Design

✗ Discouraged Design

Town Website/Title of Document

\*Hyperlink Embedded

# BUILDING DESIGN:

FORM, MASS, AND SCALE

ARCHITECTURAL FEATURES

CANOPIES & AWNINGS

VISIBILITY/WINDOWS

BUILDING ENTRANCES

MATERIALS AND COLORS

**INTENTIONALLY LEFT BLANK**

## A FORM, MASS, AND SCALE

## 1-A: FORM, MASS, AND SCALE

Refer to the *Paradise Zoning Ordinance* for specific height and setback requirements in addition to those discussed herein.

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/WINDOWS

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

1. In large buildings, vary massing to provide visual interest and ease the visual appearance of a single large mass.
2. Compose building forms, roofs, and facades to provide variation, visual interest, and appropriate scales.
3. Design the ground floor of buildings to include architectural features such as columns, ribs, pilasters, changes in plane, changes in texture or material or an equivalent element that subdivides the wall into more “human-scale” proportions.
4. Integrate elements of buildings used to give scale and proportion so they are integral with building form and construction.
5. Ensure compatibility with surrounding developments, and respect the character of the neighborhood.
6. Use building height and massing to emphasize building corners, points of entry and preserve visible skyline.
7. Minimize impact of commercial development to adjacent residential properties.
8. Locate new structures on property to maintain access to light and air circulation, and privacy of existing private open spaces on adjoining properties.



- + Form of building fits into broader landscape
- + Variation in roof heights with consistent form
- + Roof forms emphasize point of entry, create variation, and provide visual interest
- + Roof steps down at ends and edges of building



- + Roof forms accentuate building entrances
- + Window rhythm and roof corbels reinforce pedestrian scale.
- ✗ Long, unarticulated roof lacks visual interest
- ✗ Exposed roof pitch of less than 3 : 12



## A FORM, MASS, AND SCALE

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/WINDOWS

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

## 1-A: FORM, MASS AND SCALE (CONT.)

9. Roofs with dominant forms and additional architectural features such as changes in height, towers, roof dormers, or clerestories.
10. Deep eaves and overhangs with architectural detail and exposed rafter tails.
11. Long, uninterrupted roof forms and ridge lines should be avoided.
12. Unarticulated walls on publicly visible portions of the building should be avoided. Refer to *Building Facades in Section 1-B*.



- + Detailed soffits and corbels add visual interest to overhangs
- + Articulated roof design with dormers and changes in level break up overall roof form
- + Storefront windows and wainscot stone enforce relationship to pedestrian access



## A FORM, MASS, AND SCALE

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/ WINDOWS

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

## 1-B: ARCHITECTURAL FEATURES

## BUILDING BASES

The building base is the lowest portion of the building where it touches the ground.

1. Elements or materials that are visually heavier, including stone or masonry, should be incorporated at the base of buildings.
2. Building bases should be of adequate size and scale to ensure buildings appear visually grounded

## BUILDING FACADES

A facade is typically the front of a building, but is also considered any side or exterior wall of the building that faces a public way or space.

3. Building facades should be interesting, varied, and create an attractive and vibrant streetscape.
4. Incorporate horizontal and/or vertical articulations in wall planes of no less than 1 inch, such as ledges, trim, joint lines, canopies, or changes in material, to provide variation in facades.
5. In the Downtown area where buildings are directly adjacent to each other, buildings should continue the pattern of the lines from neighboring buildings to unify facades on a street block.
6. A corporate image, as in the case of many national franchised stores, should be secondary in the design of projects. Branded buildings are discouraged as they are difficult to reuse if vacated by the primary business.



Rite Aid, Paradise, California

- + Stone, heavier materials, and darker colors help to visually anchor the building while conveying permanence and durability



Feather River Health Center, Paradise, California

- + Scale of the building base matches the pedestrian space adjacent to it
- + Site walls make use of stone veneer, matching building for consistency



Allentown, Pennsylvania

- ✗ Building lacks a well-defined base, and instead features flat walls with large expanses of the same color

## A FORM, MASS, AND SCALE

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/WINDOWS

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

## 1-B: ARCHITECTURAL FEATURES (CONT.)

7. Projects with multiple buildings should incorporate a design theme throughout to ensure consistency between neighboring buildings.
8. Building entries should be clearly delineated through the use of recesses, additional detailing, overhangs, lighting and change of volume and form. The greater the functional use of the entrance, the more it should be distinguished from the balance of the building.
9. Bulkheads below the base of a storefront window or adjacent to a storefront door should be used to provide protection to the storefront by raising the glass area to a safer and more easily viewed height. To achieve this protective function, bulkhead materials should be resistant to water, dirt, and impact (e.g. ceramic tile, finished stone, brick). Bulkheads in multiple storefront buildings should be complementary in height and material.

## CORPORATE IDENTITY:

10. The design character shall not be a standard franchise prototype and shall incorporate dominant characteristics that are unique to Paradise.

## DETAILS

11. Facades at the ground level of buildings should use details to reinforce pedestrian scale elements. Examples include, but are not limited to, architectural canopies over entrances, decorative lintels above windows, and stone or masonry caps or banding.
12. Vary wall surfaces to create relief and shadow lines.



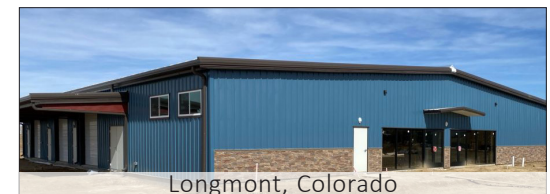
Jackson, Wyoming

- + Varied facades create an interesting and vibrant streetscape
- ✗ Some facades lack sufficient detail
- ✗ Lack of continuity between buildings creates non-cohesive aesthetic



Truckee, California

- + Line of neighboring buildings continue for a unified facade on the street block
- + Building articulation and details create shadows, line surfaces, and visual interest



Longmont, Colorado

- ✗ Stone base not extended on all visible sides of building

## A FORM, MASS, AND SCALE

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/WINDOWS

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

## 1-B: ARCHITECTURAL FEATURES (CONT.)

13. All visible sides of buildings should be designed with a complementary level of detail, quality of materials, and continuity of color. Building designs should not incorporate blank wall segments when visible from public spaces. Parapets on commercial buildings should be extended to all visible walls to ensure continuity.
14. Permanent security bars or grilles on publicly visible windows should not be used.
15. All rooftop mechanical equipment shall be screened as viewed from the farthest edge of the adjoining right of way. Equipment shall be located behind parapet walls and/or additional rooftop screens.
16. All ground-level mechanical equipment shall be screened to the height of the unit as viewed from the property line. Walls, opaque fences, and landscape material which relate to the overall building design are appropriate methods for screening ground-level mechanical equipment.
17. Visible satellite dishes or satellite dish accessories should be placed out of public view.

## LIGHTING

18. In addition to site lighting, architectural lighting integrated with the building should be used to promote safety, security, and to enhance the architectural character of the building.
19. Light fixtures should be consistent with the architectural style of the building, and should compliment other building elements in color, material, or style to help unify the building design. Historic fixtures should be used when appropriate.



- + Decorative light fixtures compliment architectural style of building. Black metal finish consistent with other materials including black metal structural hardware above.

## A FORM, MASS, AND SCALE

**1-B: ARCHITECTURAL FEATURES (CONT.)**

## B ARCHITECTURAL FEATURES

**LIGHTING (CONT.)**

20. Lighting should comply with the requirements of the *California Energy Code* for backlight, uplight, glare, and other code requirements.

21. Storefront lighting should be designed to illuminate the sidewalk in front of the store in the evening. Shop windows shall be well lit. Fixed overhead spotlights, recessed incandescent ceiling fixtures, track lights or other concealed fixtures are recommended. Building entrances should be accentuated by brighter lighting. The building street number should be illuminated by the entry lighting.

## C CANOPIES AND AWNINGS

D VISIBILITY/  
WINDOWS**ENERGY EFFICIENCY:**

22. Lighter-colored finishes should be used on the exterior of buildings to help reflect heat in the summer months. Minimize west and south-westerly facing windows due to intense afternoon sun conditions. Properly proportion overhangs on south windows, and sun screening on south and west windows. Accommodate daylighting of multistory office buildings by making one plan dimension (preferably the east or west dimensions) of the building small enough to maximize the number of people working near windows.

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

**SIGNAGE:**

23. Refer to *Sign Design, Section 3.D* for sign locations on a building.



## A FORM, MASS, AND SCALE

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/ WINDOWS

## E BUILDING ENTRANCES

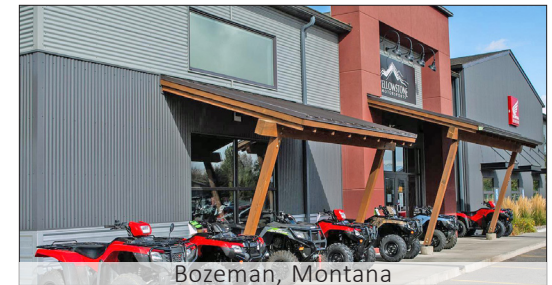
## F MATERIALS AND COLORS

## 1-C: CANOPIES AND AWNINGS

1. Provide building overhangs, canopies, or awnings which articulate the building facade and provide protection from inclement weather.
2. Architectural canopies and awnings should support the building design. Colors and materials of the canopies or awning should complement the material and colors of the building.
3. Awnings should be well maintained, washed regularly, and replaced when faded or torn.
4. Fabric awnings should make use of woven fabric (not vinyl), suitable for use in exterior applications, and resistant to fading or tearing.
5. Canopies made of metal or other materials may be appropriate on some buildings if they are compatible with building codes and are also compatible in scale and overall design.
6. Canopies and awnings should be mounted in locations that respect the design of a building, including the arrangement of bays and openings on all floors. The design of canopies/awnings should respond to the scale, proportion, and rhythm created by these elements, and should reinforce pedestrian scale details. They should also emphasize building entrances where applicable.



- + Awnings provide visual contrast and help integrate windows into building facade
- + Building base stone helps visually ground building, and signifies entrance
- ✗ Vertical pilasters lack detail and articulation



- + Canopies are integrated into building, and provide protective cover for entrance and outdoor product display
- + Taller canopy identifies building entrance

A FORM, MASS, AND SCALE

B ARCHITECTURAL FEATURES

C CANOPIES AND AWNINGS

D VISIBILITY/  
WINDOWSE BUILDING  
ENTRANCESF MATERIALS AND  
COLORS**1-C: CANOPIES AND AWNINGS (CONT.)**

7. The minimum height of canopies/awnings should be 8 feet (measured from bottom of the awning/canopy to the sidewalk).
8. Covered porches should not extend outwardly from the building more than 8 feet. Canopies should not extend outwardly from the building more than 6 feet.
9. The highest point of a first-floor awning should not exceed the midpoint of space created between the second story windowsill (or parapet for a single story building) and the top of the first floor storefront window.
10. When several businesses occupy one building utilizing canopies/awnings, the canopies/awnings should make use of consistent color, material, and form.



Bozeman, Montana

+ Canopies, changes in material, and variation of facade depth provide shadow lines and definition to an otherwise boxy building



A FORM, MASS, AND SCALE

B ARCHITECTURAL FEATURES

C CANOPIES AND AWNINGS

D VISIBILITY/  
WINDOWS

E BUILDING ENTRANCES

F MATERIALS AND COLORS

## 1-D: VISIBILITY / WINDOWS

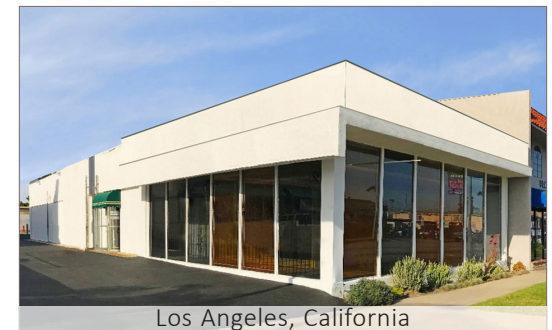
### WINDOWS

1. Windows are an important architectural element of facade design because they create a visual rhythm of building openings, as well as provide views into the interior. Display windows add 'warmth' to the street and enliven the pedestrian experience.
2. Windows and doors should be designed in an orderly arrangement to provide articulation and scale to facades of buildings. Incorporate windows into all applicable facades and coordinate their placement and design with other architectural elements.
3. Integrate windows and doors into building walls by using detailing such as trim, lintels, ledges, canopies, or other details integrated into the building design.
4. Where transom windows exist, every effort should be made to retain this storefront feature.
5. The first floor of a commercial building in the downtown area that is fronting or siding on a street shall have a minimum of 30% of its length in windows. There should be no lengths of facade walls in excess of 40 feet without windows.
6. Corner buildings shall incorporate display windows in blank walls over 20 feet long.
7. Display windows in existing buildings that have been covered-up should be converted back into windows where feasible.



Coachella, California

+ Windows can be integrated into a building facade using a variety of techniques including trim, lintels, ledges, canopies, or other detail work



Los Angeles, California

+ Large windows provide visibility into and out of the business

✗ Lack of detail around perimeter of window, and absence of building base element presents windows as punched openings

A FORM, MASS, AND  
SCALE

B ARCHITECTURAL  
FEATURES

C CANOPIES AND  
AWNINGS

D VISIBILITY/  
WINDOWS

E BUILDING  
ENTRANCES

F MATERIALS AND  
COLORS

## 1-D: VISIBILITY/WINDOWS (CONT.)

8. Every building entry, including entries to individual shops, shall be lighted. Lighted entries increase safety for walking, and decreases possibilities of crime. Entry lights should be controlled by a photocell switch. Window displays of merchandise, night time lighting of display windows, or animated window displays are strongly encouraged to attract pedestrians and increase security. Merchandise behind display windows should face the sidewalk.
9. Taverns, bars, or private offices in storefronts located within the Downtown area may use blinds or cafe curtains for privacy if consistent with the building's design.
10. Permanent, fixed security grates or grilles over windows should not be used.
11. Air conditioning units placed in windows are not permitted in publicly visible portions of the building.
12. Replacing existing windows and doors with incompatible materials such as anodized aluminum, and tinted or reflective glass is not permitted.

A FORM, MASS, AND SCALE

B ARCHITECTURAL FEATURES

C CANOPIES AND AWNINGS

D VISIBILITY/  
WINDOWS

E BUILDING  
ENTRANCES

F MATERIALS AND  
COLORS

## 1-E: BUILDING ENTRANCES

1. Provide clearly defined site and building entrances that are scaled appropriately to the area and that relate directly to the street frontage(s).
2. Entrances should be clearly delineated through the use of recesses, additional detailing, overhangs, lighting and change of volume and form. The greater the functional use of the entrance, the more it should be distinguished from the balance of the building.
3. Secondary entrances (such as small retail shops on the ground floor of a larger office building) should be architecturally treated as subordinate to the primary entrance (such as the entrance to all the residential or office uses on the upper floors). Doors that are not regularly used, such as utility access doors, should not be accentuated, and should be integrated into the design surrounding them.
4. Entrances should include protected areas covered by a recess, canopy, overhang, or marquee to provide protection from the rain.
5. Entrances to commercial or retail buildings should have large glass storefronts where appropriate. Full lite doors are encouraged because they extend the openness and transparency of the storefront.



+ Signage, lighting, and building base materials can effectively identify building entrances



+ Appropriately scaled tower elements and architectural detailing can be used to identify building entrances

A FORM, MASS, AND SCALE

B ARCHITECTURAL FEATURES

C CANOPIES AND AWNINGS

D VISIBILITY/  
WINDOWS

E BUILDING  
ENTRANCES

F MATERIALS AND  
COLORS

## 1-E: BUILDING ENTRANCES (CONT.)

### EXISTING BUILDINGS

6. Existing doors in historical or existing buildings should be re-used where feasible. New doors provided in existing buildings should match or compliment the architectural style of the existing building

### REAR ENTRANCES

7. Rear entrances are encouraged where feasible for Downtown businesses to improve pedestrian access.
8. Rear entrances must respond to the same needs as the primary entrances, only at a reduced scale. These include identification signage, windows, and lighting.
9. The design of a rear entrance should be appropriate to its surroundings. The visual character of rear facades, alleys, and parking lots is a relatively casual and utilitarian one, especially when compared to formal facades.
10. Rear entrances should incorporate architectural elements from the front facade for consistency.
11. Signs should be appropriately scaled to match the size and scale of rear entrances.
12. Refuse containers should be screened from public view or integrated within the building's architecture (consult with trash removal company prior to finalizing actual location).
13. Service equipment, utilities, and mechanical equipment should be screened from view and integrated into the building's architecture to the greatest extent possible.



+ Secondary and primary entrances should share consistent detailing and materials, with forms scaled appropriately to indicate their primary and secondary nature

## A FORM, MASS, AND SCALE

## B ARCHITECTURAL FEATURES

## C CANOPIES AND AWNINGS

## D VISIBILITY/ WINDOWS

## E BUILDING ENTRANCES

## F MATERIALS AND COLORS

**1-F: MATERIALS AND COLORS**

1. Complimentary materials should be used that result in a cohesive building design. In general, variations in colors and materials are encouraged. Care should be taken, however, not to use too many materials that may result in visual clutter. If only one material is used, then articulation and detail should be used.
2. Integrate at least one material change, color variation, or horizontal reveal for every 12 vertical feet of building facade. Vertical spacing may be averaged over the height of the facade.
3. Integrate at least one material change, color variation, or vertical reveal every 50 horizontal feet of building facade. Horizontal spacing may be averaged over the length of the facade.
4. Use materials and finishes that are compatible in quality, color, texture, finish, and dimension to surrounding properties.
5. If imitation materials are used, the detailing, coloring, and visual appearance should be consistent with the material they are imitating.
6. Non-durable materials and finishes that are susceptible to weathering, wear and tear, and sun-damage or fading should be avoided. Materials should be selected, detailed, and finished for durability in Paradise's climate. Painted wood surfaces facing south should be properly prepared for painting and have opaque high quality paints or sealants applied in multiple coats.
7. Buildings with multiple public-visible facades should use consistent material combinations, detailing, and material quality throughout all facades visible to the public.
8. Provide detailing at material transitions or terminations to reinforce the natural appearance of the material. For example, stone or masonry should be wrapped around visible corners to provide the appearance of mass instead of a thin veneer.
9. Materials or finishes with subtle, neutral, or natural tones should be integrated with accent materials or details.
10. Materials or finishes that are intensely saturated or fluorescent are not permitted to be used as a primary materials, although they may be appropriate as accent materials.
11. Materials or finishes that are highly reflective, such as certain metals or reflective glazing, should not be used where they present a public nuisance or safety hazard.
12. Corporate image should be secondary in the design of projects, as branded buildings are difficult to reuse if vacated by the primary business.
13. Refer to the *Appendix*.

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# SITE DESIGN:

INGRESS/EGRESS

PARKING CIRCULATION

PEDESTRIAN CIRCULATION

CREATING PLACES

PAVING/HARDSCAPE

LOCATION OF STRUCTURES

LANDSCAPING/IRRIGATION

FENCES AND WALLS

SITE FURNISHINGS

SITE LIGHTING

SERVICE, UTILITY, AND WASTEWATER TREATMENT AREAS

ENERGY EFFICIENCY

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## A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

## D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

## H FENCES/WALLS

## I SITE FURNISHINGS

## J SITE LIGHTING

K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-A: INGRESS/EGRESS

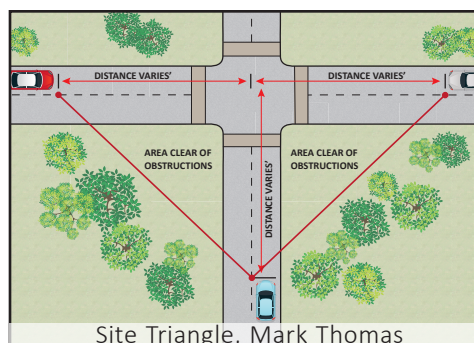
## VEHICLE ACCESS:

1. Major access points to sites should be coordinated whenever possible. Separated ingress and egress points with landscaped islands should be provided.
2. Shared access drives between adjacent parcels of similar use should be utilized to minimize the number of curb cuts to the street. Reciprocal access and parking agreements, between compatible adjacent land uses, for pedestrians and vehicles are strongly encouraged.
3. Line of Sight: Sight distance for driveways should be protected with the use of visibility triangles on each side of the driveway to allow a passing motorist to view a car exiting a driveway. In this area, structures, fences, walls signs, plant materials and etc. with the exception of street trees should not exceed 2.5 feet in height above the street grade. Clear sight triangles will vary based on roadway speeds and other criteria. *Refer to AASHTO (American Association of State Highway and Transportation Officials): A Policy on Geometric Design of Highways and Streets, Current Edition and the Town Engineer for additional requirements.*
4. Signs should not be placed in areas that constitutes a safety hazard to vehicle access especially to emergency vehicular access.
5. Design must conform with *Paradise Municipal Code: Chapter 8.58 (Defensible Space and Hazardous Fuel Management)*.



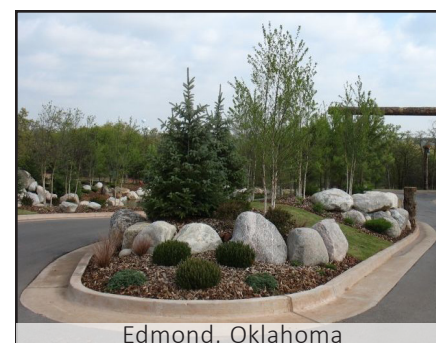
Old Town Temecula, California

- + Coordination of major access points, alerts vehicles upon entry point
- ✗ Entry monument creates a possible site triangle conflict for users



Site Triangle, Mark Thomas

- + Graphic provides an example of site triangles and it does not cause obstructions to view for users



Edmond, Oklahoma

- + Egress and ingress point is divided by landscape island
- + Landscape materials help prevent glare/reflection from opposing vehicles

## A INGRESS/EGRESS

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## 2-B: PARKING CIRCULATION

Locations of parking lots, services and utilities should be carefully evaluated in terms of visual prominence as well as functional requirements.

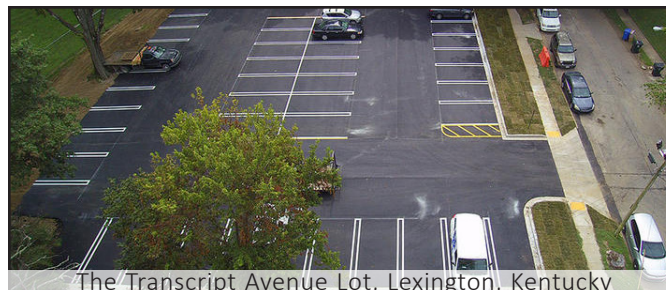
- Refer to Paradise Municipal Code Chapter 17.38 (Off-Street Parking and Loading Regulations) for specific parking lot requirements. Design must conform with Paradise Municipal Code: Chapter 8.58 (Defensible Space and Hazardous Fuel Management)

## ACCESS:

1. Vehicle access should be carefully considered for a clear and uniform traffic pattern through the lot.
2. Parking lots should include clear pedestrian paths to enhance pedestrian access and safety.
3. Crosswalks across vehicular lanes should be clearly delineated to promote pedestrian flow between parking areas and building entrances

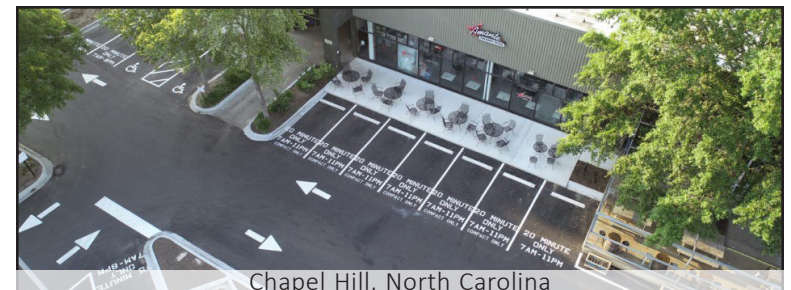
## COMBINING PARKING:

4. Where parking lots are located adjacent to alleys on abutting properties they should, to the extent feasible, be designed as a single lot to increase security and efficiency.
5. If this joint use is infeasible and fencing is required, fences between properties should be as low as possible to allow for surveillance between properties.



The Transcript Avenue Lot, Lexington, Kentucky

- + Considers a clear and uniform traffic pattern through the lot
- + Considers parking for multiple businesses within the Downtown area
- ✗ Does not provide adequate tree shading



Chapel Hill, North Carolina

- + Considers clear pedestrian paths
- + Adjacent to property, enhances the security and efficiency for user
- + Provides adequate tree shading

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EFFICIENCY

## 2-B: PARKING CIRCULATION (CONT.)

## LANDSCAPING:

6. Parking lot perimeters that have street frontage should provide an aesthetically pleasing visual buffer and follow the same general guidelines as proposed for the rest of the downtown area.
7. Plants should be chosen that are easily maintained, resilient to excess pedestrian traffic, and tolerant of excessive heat gain from asphalt parking areas. Consideration should be given to native plants.
8. Parking lot landscaping shall not prevent a clear view for emergency services such as the fire and police department.
9. Plant heights within parking lot islands and perimeter buffers should not exceed 30 inches in height, and should be evergreen in nature.
10. Accent color is encouraged. Deciduous trees should be selected to provide a minimum of 50% shade coverage of total parking area, not including drive aisles, at maturity. Planter islands in parking lots shall be a minimum of 6' x 6'. Refer to the *Planting Palette*.

## LOCATIONS:

11. Refer to *Paradise Municipal Code Chapter 17.38 (Off-Street Parking and Loading Regulations)* for parking lot location. Parking that does front on streets should be screened with an attractive wall, fence or bushes that are a minimum of 30 inches high and a maximum of 48 inches high, and in a planter with a minimum width of 5 feet.



Portland, Oregon

- + Provides a pleasing visual buffer
- + Plant palette considers easy maintenance landscaping



Little Bay Park, Whitestone, New York

- + Considers drought tolerant plants
- + Clear view of emergency vehicles
- ✗ Does not provide adequate tree shading



Duluth, Minnesota

- + Does not take up the lot's street frontage
- + Planter space to provide screening
- ✗ Planting palette does not provide adequate screening



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## 2-C: PEDESTRIAN CIRCULATION

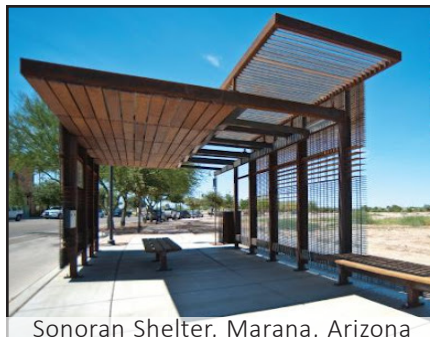
Where commercial and residential structures adjoin public areas, and along internal circulation paths of the downtown area, provide pedestrians with the greatest possible sense of safety, comfort, aesthetic pleasure, and connection to building activities at edges.

### PEDESTRIAN SHELTER:

1. Provide shade from the summer sun (and protection from the rain, when possible) with street trees, trellises, awnings and other devices along street frontages and paths internal to the project, especially on the south side of buildings.

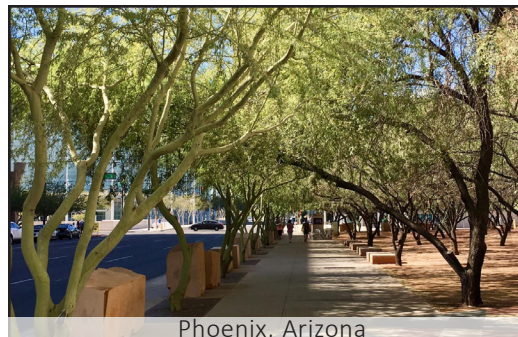
### AESTHETIC QUALITY:

2. The highest detail and material quality for projects should be placed where pedestrians have the greatest and closest contact with the project.



Sonoran Shelter, Marana, Arizona

- + Provides adequate shade
- + Allows for circulations paths, enhances safety and comfort
- ✗ Shelter design does not complement the aesthetic of the Town



Phoenix, Arizona

- + Walkable space
- + Natural tree shading
- ✗ Too dense of tree planting, can cause a fire hazard



Seaside, California

- + Shelter design complements the aesthetic of the Town
- + Provides seating for users
- ✗ Does not provide adequate shade



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## 2-C: PEDESTRIAN CIRCULATION (CONT.)

## SEMI-PRIVATE SPACES ON STREET:

3. Porches, patios, balconies, and courtyards that allow residents of mixed use projects or other users to actually and symbolically claim the space; should be placed along pedestrian paths wherever possible. This will provide clarity about who has the right to control a space, and thus a greater sense of security for the user and an increased potential for social connections.

## OUTDOOR DINING SPACES ON STREET:

4. Existing porches, patios, balconies, courtyards, etc. shall be use to provide spaces for outdoor dining on the street.
5. If necessary and acceptable by the Town, parking spaces may be use to accommodate outdoor dining.
6. Outdoor dining spaces shall not encroach into the public right of way.
7. Outdoor dining spaces shall not be place in areas where it can create a safety hazard to vehicular and pedestrian access, especially to emergency services like the fire and police department.
8. Design must conform with *Paradise Municipal Code: Chapter 8.58 (Defensible Space and Hazardous Fuel Management)*.



Sacramento, California

- + Clear pedestrian path
- ✗ Outdoor dining spaces shall not encroach into the public right of way



Massillon, Ohio

- + Existing spaces used to provide spaces for outdoor dining
- + Encourages social connections
- ✗ Does not provide a clarity who has the right to control the space



Penetanguishene, Ontario, Canada

- + Provides a clarity who has the right to control the space
- + Usage of landscaping as a screening

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## 2-D: CREATING PLACES

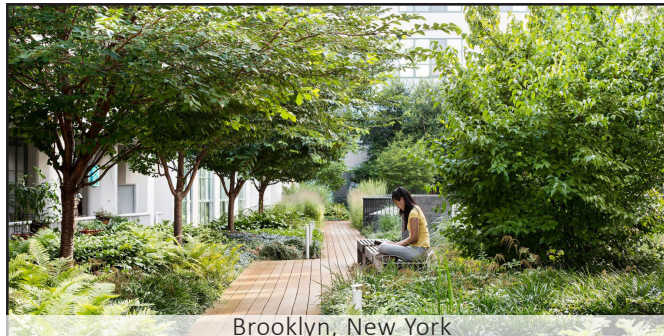
Create spaces that are clearly defined to satisfy gathering and privacy needs of people at various scales. Each scale should be appropriate to the role of the space in the community.

### PUBLIC AND SEMIPUBLIC OPEN SPACE :

1. Design common open spaces to support the ability to create special places in the project. (Examples: Parks, plazas, and other shared open spaces.)
2. Designers should not design isolated spaces that may encourage homeless encampments.

### VISIBLE OPEN SPACE:

3. Courtyards and other common open space, internal to buildings or groups of buildings, should be as visible as possible to and from the street, and provide a “transition” between the street and private areas near the building or courtyard.



Brooklyn, New York

- + Courtyard common space
- + Provides a transition
- ✗ Design might encourage transients



Greenwood, Indiana

- + Common open space
- + Ability to create special places in project
- + Visible open space

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## 2-E: PAVING/HARDSCAPE

### FITTING INTO THE DOWNTOWN:

1. Hardscape design should reflect the inherent character of the Downtown area with formal patterns and layout.

### PAVEMENT TREATMENTS:

2. Support the project design concept with paving and hardscape materials selected to best complement materials, textures, and color of proposed structures, and to enhance the proposed landscaping.

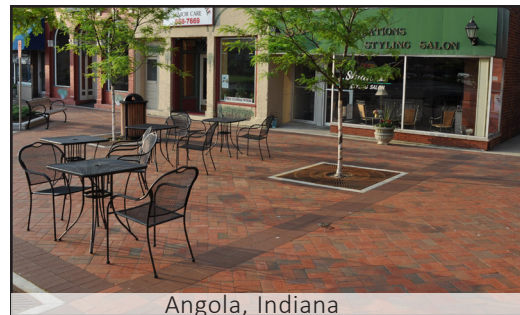
### QUALITY OF DESIGN:

3. Interesting paving patterns are encouraged. The uniqueness of a well designed hard surface can enhance the overall project design. Front entries to businesses can represent the individuality of the occupants with differing hardscape treatments.



Ardmore, Pennsylvania

- + Slip resistance surface
- + High quality material



Angola, Indiana

- + Complements the Town's aesthetic
- + Creates banding that enhances the space



Kennedy St., Washington D.C.

- + Encourages interesting paving patterns, provides individuality

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## 2-E: PAVING/HARDSCAPE (CONT.)

### MATERIALS:

4. High quality building materials are recommended. The use of complementary paving materials to create banding and/or borders can greatly enhance the richness of a paving surface without adding extraordinary project costs.

### SAFETY:

5. All paving and hardscape surfaces shall provide the proper slip resistance to prevent potential injuries. Property owners and designers should check the *Paradise Municipal Code* and with Town building officials for current codes concerning this issue.



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## 2-F: LOCATION OF STRUCTURES

Structures can create usable outdoor places and continuity of desirable characteristics of adjoining structures along the street face. Locate buildings on the site to complement the natural topography.

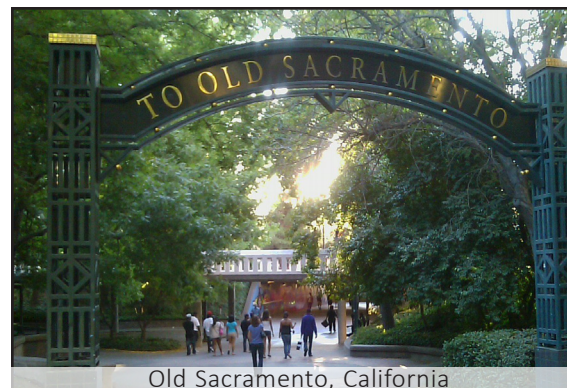
- *Refer to Paradise Municipal Code, Design must conform with Paradise Municipal Code: Title 8 (Health and Safety)*

### PLACE OF TRANSITIONS:

1. Fences, bushes, changes, portals, porches, and doors which face the street should be used to provide transition between varying levels of public accessibility and privacy. They should delineate the use and ownership of public, semipublic, and private spaces, but should not be visual barriers.

### COMMON FACILITIES:

2. The inclusion of common facilities that respond to the anticipated needs of the users is encouraged. Under most circumstances, these common facilities should be located to provide a bridge between the downtown, the greater redevelopment project area, and the community defined by the project, e.g., a public seating area at major entrances to the project.



- + Provides a transitional space
- + Encourages public access

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## 2-G: LANDSCAPING/IRRIGATION

### PLANT SELECTION:

1. The landscape design should balance the needs of the natural environment and its human inhabitants. Each site should be analyzed to determine the specific functional and spatial requirements.
2. Select plants and trees appropriate to the Paradise area that blend with and complement the surrounding neighborhoods, and that are sized appropriately for maximum healthy growth within the planting area. A recommended *Plant Palette* can be found in Appendix.
3. Incorporate appropriate landscaping that includes a variety of trees, shrubs and other plantings.
4. On-center spacing should not follow a specified formula but should provide for a visually uniform canopy that creates minimum obstruction of signage, street lighting, and building entries.
5. Colorful ground plantings at intersections are encouraged.
6. Ground cover planting, with the exception of turf, are encouraged within parkway strips and commercial frontages.
7. Refer to *Paradise Municipal Code Chapter 8.58.060 (Defensible Space/Hazardous Fuel Management Requirements)* for five (5) feet non-combustible perimeter.



Minneapolis, Minnesota

- + Landscape design enhances a balanced environment
- + Incorporates variety of planting



Pennsauken, New Jersey

- + Encourages colorful planting
- + Design focuses on specific users, storefronts



Carlsbad, California

- + Encourages vine planting, add a beauty component while screening the wall



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## 2-G: LANDSCAPING/IRRIGATION (CONT.)

### DIVIDERS:

8. Planted areas in parking lots and driveway entrances should be large enough to function as a physical divider, provide an aesthetic landscape area, and be easily maintained.
9. Plants should not intrude ingress/egress areas and vehicular access.

### MECHANICAL IRRIGATION VS HAND WATERING:

10. The plant material lives a healthier life cycle with consistent supplemental watering. An automatic, underground, irrigation system is required to promote and/or protect the landscape investment that is installed with new projects.

### DRIP IRRIGATION:

11. Drip irrigation is the most efficient means to deliver supplemental water to plant material, but it requires more attention and maintenance than a conventional spray system. Drip irrigation is recommended for water conservation and reduction of water runoff, but if proper maintenance can not be provided, a conventional spray system is preferable.
12. Irrigation design shall meet *MWELo (Model Water Efficient Landscape Ordinance) Requirements*.



Drip Irrigation System, Netafim

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## 2-G: LANDSCAPING/IRRIGATION (CONT.)

### SPRINKLER:

13. All sprinkler heads (when used) adjacent to walks, curbs, or any pedestrian way should be pop-up varieties. Adjust all sprinkler heads to provide even coverage and to avoid overthrow onto walks, walls, and windows. Install anti-drain valves to prevent line drainage and soil erosion. Irrigation heads within turf grass areas should provide head-to-head coverage. Turf grass planting should be irrigated separately from shrub/groundcover areas. Trees should be deep irrigated with bubblers.

14. When installing overhead sprays near impervious paving, irrigation shall have a 24" minimum setback.

### WATER CONSERVATION:

15. Select trees and plants that reflect the climate of Paradise and minimize water consumption. Refer to the *Planting Palette*.



Sprinkler System, Rainbird

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## 2-H: FENCES/WALLS

### DETAILING AND MATERIALS:

1. Detailing and materials of walls and fences shall reflect the style and character of the building and its site. Walls should be painted to match or complement the surrounding architecture. Brick and natural stone should not be painted.
2. Chain-link fences, plywood, barbed wire, and concertina (razor) wire fences are not permitted in public views in the *Downtown Revitalization Master Plan Area*.
3. For fencing material within five (5) feet from any structure, see *Paradise Municipal Code Chapter 8.58 (Defensible Space and Hazardous Fuel Management)*.

### SCREENING:

4. Fences/Walls should be screened with upright shrubs or trellised vines as needed. Aesthetic complementary shall be considered. The design shall comply with *Paradise Municipal Code Chapter 8.58 (Defensible Space and Hazardous Fuel Management)*. A combination of fencing and landscaping shall screen public views of the following:

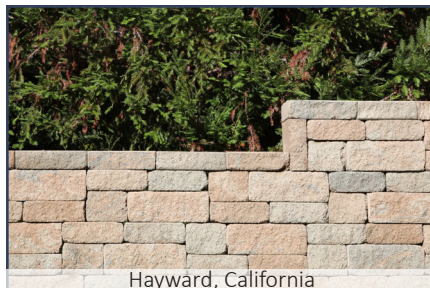
- Parking lots

- Trash disposal areas

- Service and loading/unloading areas

- Equipment on the roof, side of building, or ground

- Wastewater treatment equipment



Hayward, California

- + Wall style complements the Town's aesthetic



Brooklyn Park, Minnesota

- + Encourages property boundary
- + Provides privacy and security
- + Aesthetically appealing
- ✗ Wood material "Flammable"



Marshfield, Massachusetts

- + Provides adequate screening
- + Combination of fencing and landscaping

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## 2-I: SITE FURNISHINGS

Utilize site and street furniture of a design, material, and color that best complements the proposed structure and landscaping concept.

## DESIGN:

1. The proposed furnishing should be of a quality consistent with the surrounding neighborhood. Furniture, such as benches, chairs, tables, and drinking fountains, should be simple in character and compatible with the style, color, and scale of adjacent buildings and outdoor spaces.

## DRINKING FOUNTAINS:

2. The inclusion of drinking fountains within outdoor spaces, adjacent to businesses, transit stops and multi-family residential buildings, is encouraged.

## BENCHES:

3. Benches should be placed in an area where it is easily accessible and made of all-weather materials. Metals should have a non-corrosive finish. The style should work with the architecture of the business and maintained by the same business.



Outdoor Fountain, Elkay

+ ADA accessible and dog-friendly



Commercial Park Bench, BYO Recreation

+ All weather and non-combustion is tied in with the Architecture

✗ Inaccessible for all users



Contemporary Table, Victor Stanley (Maryland)

+ Neutral Colors, See Appendix for color suggestions

✗ ADA Accessible



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IRRIGATION

H FENCES/WALLS

I SITE FURNISHINGS

J SITE LIGHTING

K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-I: SITE FURNISHINGS (CONT.)

### TABLES:

4. Benches should be placed in an area where it is easily accessible and made of all-weather materials. Metals shall have a non-corrosive finish. A shade canopy is highly recommended for seasonal weather.

### TRASH RECEPTACLES:

5. Trash receptacles should be placed in an area where it is easily accessible and made of all-weather materials. Metals should have a non-corrosive finish. The style should work with the architecture of the business and maintained by the same business.

### PLANTERS:

6. Raised planters are acceptable and should be fabricated with durable all-weather materials. Pots should not drain onto sidewalks and are encourage to have plant materials suggested in the *Appendix*.



Trash Receptacle, Victor Stanley (Maryland)

- + Maintained and provided for outdoor seating areas



Bike Racks, Reliance Foundry

- + Meets Town code
- + Aesthetically appealing
- + Accessible



San Francisco, California

- + Well maintained and accessible
- ✗ Impeding pedestrian movement

A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

H FENCES/WALLS

I SITE FURNISHINGS

J SITE LIGHTING

K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-I: SITE FURNISHINGS (CONT.)

### BIKE RACKS:

7. Bike racks should be placed in an area where it is easily accessible and made of all-weather materials. Metals shall have a non-corrosive finish. Bike racks should meet *CalGreen (California Green Building Standards Code 2019) Standards* and not be located in area to hinder pedestrian movement.

### BIKE STORAGE:

8. Bike storage should be placed in an area where it is easily accessible and made of all-weather materials. Metals shall have a non-corrosive finish. Bike storage should meet *CalGreen (California Green Building Standards Code 2019) Standards* and not be located in area to hinder pedestrian movement.



## A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

## D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

## H FENCES/WALLS

## I SITE FURNISHINGS

## J SITE LIGHTING

K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-J: SITE LIGHTING

Site lighting shall have a scale, design, and color that best complements the character and design of the adjacent structure. Lighting should be visible from the exterior of a building and the project's boundaries should be limited to that necessary for security, safety, and identification. It should also be screened from adjacent areas and not be directed in an upward manner or beyond the boundaries of the parcel on which the building is located.

## PATH:

1. Paths through covered or open courtyards should be illuminated.

## LOCATION AND DESIGN:

2. Lighting should be accomplished in a manner that does not create glare for pedestrians, drivers, or adjacent properties. If light fixtures are visible, they should have a low enough intensity or have adequate diffusing lenses to minimize their brightness. The emphasis should be on lighting landscape, pedestrian spaces, or building surface. Lighting style shall be compatible with the street theme. Refer to the *Paradise Municipal Code* for parking lot height and location requirements.



- + Light fixture complements the Town's aesthetic, providing a "traditional" look
- + Type of lighting does not cause glare for users



- + Light fixture complements the Town's aesthetic
- + Illuminates paths for user



- + Light fixture encourages individuality of design

A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

H FENCES/WALLS

I SITE FURNISHINGS

J SITE LIGHTING

K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

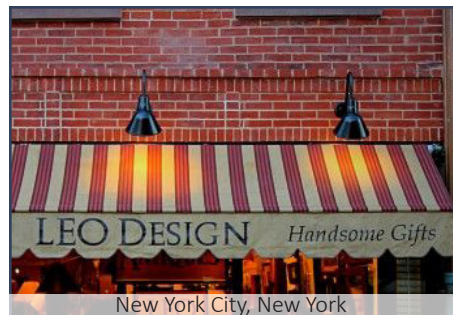
## 2-J: SITE LIGHTING (CONT.).

### UNDER CANOPY AND ENTRY LIGHTING:

- Under canopy and entry lighting shall be placed to illuminate the pedestrian walkway which may be shaded from streetlights. These fixtures may be recessed down lights or pendant fixtures set in the soffit or other wall mounted shaded fixtures.

### PARKING LOTS:

- Parking lots must provide adequate lighting for safety. Lighting should complement the building lighting fixtures. Refer to *Building Design, Section 1.B.* for lighting on building facades.



- + Provides adequate entry lighting on the exterior of the building
- ✗ Lighting does not extend beyond awning to provide lighting under canopy



- + Light fixture complements the Town's aesthetic
- + Illuminates paths for user

A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

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HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

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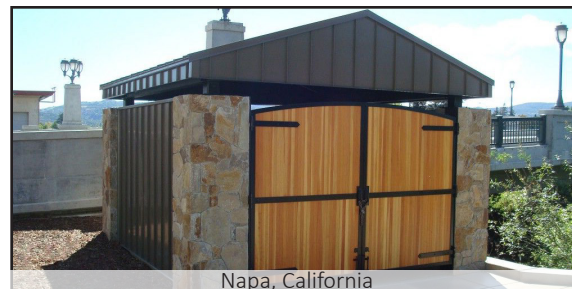
K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-K: SERVICE, UTILITY, AND WASTEWATER TREATMENT AREAS

### TRASH AND RECYCLING ENCLOSURE DESIGN:

1. Prior to the design of a trash enclosure it is recommended that the applicant consult with the trash hauler company providing refuse collection services to the property. The enclosure shall be integrated with the building through the use of compatible materials and detailing; for example, if the building is brick, then the enclosure shall be brick to match. In addition, landscape screening is desirable.

- Masonry is the most appropriate material for trash enclosures because of its extreme durability. The exterior shall be designed to be compatible with the building design.
- If the exterior of the building is primarily wood siding a wood enclosure may be approved provided the following guidelines are met:
  - The walls are constructed, at a minimum of 2x4's at 16" on center.
  - The walls shall sit on 6" high concrete curb which shall extend into the interior of the enclosure, serving as a wheel stop to prevent the trash bin from coming in contact with the walls.
  - The exterior shall be sided with the same material as the building.
  - The interior shall be sheathed in 3/4" plywood and painted to provide a washable surface.
  - Wood fencing, chain link fencing and chain link with redwood slats are not acceptable trash enclosure materials. Exposed concrete block may not be acceptable unless adequately detailed and screened.



Napa, California

- + Enclosure is aesthetically pleasing
- + Compatible materials



Escondido, California

- + Landscape screening

A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
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IRRIGATION

H FENCES/WALLS

I SITE FURNISHINGS

J SITE LIGHTING

K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-K: SERVICE, UTILITY, AND WASTEWATER TREATMENT (CONT.)

### SERVICE AREA ENCLOSURE:

2. They may also stand apart from the building. In these cases the enclosure shall be constructed of substantial, durable materials that are compatible with the building finishes, as noted below, and shall be screened with landscaping in a planter which shall be along the entire trash enclosure wall perimeter.

### MECHANICAL, ELECTRICAL SERVICES AND SITE EQUIPMENT:

3. New surface mounted exposed conduit or electrical lines are not acceptable. Electrical switch gear, meters, etc., which are visible to the public must be screened or housed in an enclosure that is compatible in design to the structure.
  - Site equipment such as vapor recovery units, transformers, gas and electric meters, irrigation controls, fire department connections, sprinkler risers, etc., must be screened from view at both the front and rear of buildings by landscaping and/or approved enclosures while still providing service and maintenance access.

### ROOF MOUNTED EQUIPMENT:

4. Roof mounted equipment must be thoughtfully located. Air conditioners, fans, vents, antennae, and other roof top equipment must be set back from the roof edge sufficiently to be out of the line of sight of a pedestrian on the opposite side of the street, or this equipment must be screened from view. Screening materials should be substantial, durable materials, compatible with the design and materials of the building. Refer to *Building Design* for specifications.

### WASTEWATER TREATMENT FACILITIES:

5. Wastewater treatment equipment must be secured behind an approved fence system and obscured from site by landscaping. Facilities that are located within the public view will have more site-obscuring landscaping required.

A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

H FENCES/WALLS

I SITE FURNISHINGS

J SITE LIGHTING

K SERVICE/UTILITY/  
WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-L: ENERGY EFFICIENCY

Incorporate practical energy efficient strategies in the project design. Refer to the current *California Green Building Code* located online at, <https://codes.iccsafe.org/content/CAGBSC2019/cover>. The following list of the most practical energy efficiency strategies for building design apply to both residential and commercial uses, unless stated otherwise. Strategies should be integrated into the design of the building and not “tacked on.”

### SITE DESIGN ELEMENTS:

1. Deciduous trees should be a part of the landscape improvements, especially those that are positioned to shade windows, the building, air conditioning units, and paved areas, including the street. South and west facing sides of the building that are shaded with deciduous trees will save the most energy.

### EQUIPMENT ELEMENTS:

2. Include well insulated envelopes that minimize conductive and convective heat transfer through walls, ceilings, elevated floors and window systems. Consider night ventilation, economizer cycles, direct and indirect evaporative cooling, and other efficient heating and cooling strategies. Consider passively cooled thermal mass in residential construction, solar water heaters integrated with the forms of buildings, efficient electric lighting systems, electric vehicle charging stations in new parking lots, elements that reduce water consumption (low flow fixtures, recycled grey water, etc.), and appropriate solar design including allowance for future distributed generation systems such as photovoltaics and fuel cells.

### UTILITY CONSULTATION:

3. Early consultation with utilities on energy efficiency for medium and large-sized projects is strongly encouraged.



A INGRESS/EGRESS

B PARKING  
CIRCULATIONC PEDESTRIAN  
CIRCULATION

D CREATING PLACES

E PAVING/  
HARDSCAPEF LOCATION OF  
STRUCTURESG LANDSCAPING/  
IRRIGATION

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J SITE LIGHTING

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WASTEWATER  
TREATMENT  
AREASL ENERGY  
EFFICIENCY

## 2-L: ENERGY EFFICIENCY (CONT.)

### SITE LIGHTING:

- Should be design to include cut-offs to minimize the negative effects of lighting of the sky.

### SOLAR ACCESS - ADJACENT PROPERTY:

- To protect solar options on adjacent properties, projects should be designed to respect solar access on adjacent properties. Refer to *Building Design* for specifications.

### SOLAR ACCESS - ROOF AREA:

- To allow for future solar options, projects should be designed to provide a south-facing roof area equivalent to 20% of the building floor area with unobstructed solar access. Refer to *Building Design* for specifications.



Renton, Washington

- + Promotes energy efficiency, car charging station



South Carolina

- + Light-colored finishes to help keep the building cool



Solar Panel, Carolina Solar

- + Promotes energy efficiency



# SIGNS:

DESIGN CONSIDERATION

SIZE, COLOR, AND FONT

QUALITY AND MATERIALS

LOCATION ON BUILDING

ARCHITECTURE COMPATIBILITY & CORPORATE IDENTITY

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A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY**3-A: SIGN DESIGN CONSIDERATION**

Signs are essential to any business. They are not only the most affordable means of advertising for many businesses, but also the first impression that the public gleans about your business. Well-designed and optimally visible signs are invaluable to a business, whereas ill-designed and incompatible signs detract from a business and can result in reduced patronage.

Signs are one of the most noticeable elements along Paradise's commercial streets and play a major role in creating a visual image for the Town. Well-designed signs add to the Town's attractiveness whereas signage that is poorly designed, constructed from low quality materials, or does not match the scale or style of the adjacent buildings reflects negatively on the streetscape and may negatively impact viewers' perceptions of local businesses and the broader community. Because of these factors, the Town encourages well designed signage using high quality materials and a clearly communicated message.

It is in the interest of the Town, its residents, and local businesses that clear standards for sign design, materials, and placement are established to contribute to the expression of local character and the development of a distinctive Town image. The town-wide Design Standards are intended to assist property owners and business owners in understanding Town expectations, and to enhance the physical appearance of the Town.

*Refer to the Paradise Municipal Code, Chapter 17.37 regarding current sign regulations.*

**DOWNTOWN SIGNS:**

1. Downtown signs should primarily be oriented to pedestrians. The pedestrian-oriented sign is usually read from a distance of fifteen to twenty feet.
2. Signs within the Downtown area shall be compatible with the existing architecture and lawful conforming signage in the vicinity ( $\pm$  300 feet) of the signs. The size and shape of a sign shall be proportionate with the scale and the architecture of the building and/or structure.
3. Signs shall contribute to the general appearance of the street and the character of the neighborhood in which they are located.
4. Wall signs shall be placed to establish facade design continuity, scale and proportion.
5. As an alternative to an attached sign, lettering may be painted directly on the building facade.

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-A: SIGN DESIGN CONSIDERATION (CONT.)

## ENCOURAGED SIGNS:

6. Blade, or hanging signs that are pedestrian-oriented.
7. Flush-mounted wall signs with backlighting at the upper portion of the first story.
8. Matte or non-glossy backgrounds as glare and shine can contribute to illegibility.
9. Prefer ivory or off-white backgrounds. Bright, stark white backgrounds contribute to illegible signs.
10. Illuminated signs where the panel is dark, the lettering is light and illuminated.
11. Building signs at customer accessible rear building entrances.

## ACCEPTABLE SIGNS:

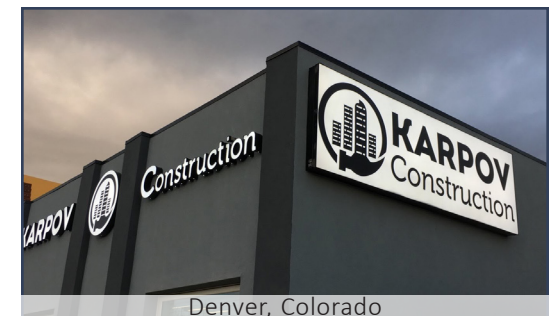
12. Awning signs (restricted to the valance or end flap); can be internally illuminated or backlit.
13. Neon tube lighting on painted wall signs, on window signs, around architectural features and on signs.
14. Marquee signs for movie and theater and/or “community service” uses.
15. Exterior signage for special sales promotions, etc.



- + Oriented towards pedestrian
- + Clearly legible hanging sign at storefront



- + Monument signage within property line, highly visible.
- ✗ Blocking sightlines for vehicles



- + Flush mounted wall signs with backlighting
- + Good visibility for multiple users
- + Location of sign on the wall

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-A: SIGN DESIGN CONSIDERATION (CONT.)

16. Portable signs professionally designed and temporary that comply with ADA accessibility and placed to not obstruct pedestrian movement.
17. Monument signs are allowed if there is appropriate distance set back from the street or parking areas.
18. Attachments must be compatible with building design and compliment surrounding businesses and area. Natural coloring and landscaping is preferred.

## DISCOURAGED SIGNS:

19. "Temporary" banners for business identification for more than 60 days unless extended by the Planning Director per *Paradise Municipal Code 17.37*.
20. Projecting, emitting, rotating, moving, or flashing signs; exposed raceways behind channel letters.
21. Pole signs; free-standing or otherwise.
22. Roof mounted signs upon buildings at or above street level (see exception *Paradise Municipal Code Chapter 17.37*).
23. Any signs above the first story (except window signs or in some cases, wall mounted signs upon any facade or parapet at the upper portion of a single story building).
24. Balloon signs, paper-, cloth-, or plastic-streamers and bunting (except holiday decorations).



Austin, Texas

- + Temporary signs for daily business use.
- ✗ Obstruction to pedestrian movement



Eugene, Oregon

- ✗ Mounted signs are not approved by town unless there's no physical location for a sign. Flush mounted parapet signs are allowed.
- ✗ Poorly constructed, unstable roof mounting



Milwaukee, Wisconsin

- ✗ Pole signs; free-standing
- ✗ Located in the public's right of way

A SIGN DESIGN  
CONSIDERATION

## 3-A: SIGN DESIGN CONSIDERATION (CONT.)

B SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## DISCOURAGED SIGNS (CONT.):

25. Traffic sign replicas.

26. Handmade portable signs that are not professionally designed, that violate ADA accessibility requirements, or that obstruct pedestrian movement.

27. Signs with obscene, indecent or immoral content.

28. Signs constituting a safety hazard.

29. Monument signs are not allowed in the Downtown if the business is located on a zero lot line. Refer to *Paradise Municipal Code Chapter 17.37.700 (Business signs - Regulations in All Zoning Districts)*.

30. Plastic or vinyl material stretched over a structure as a temporary sign except as allowed in the zoning code.



A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-B: SIGN SIZE, COLOR, AND FONT

## SIGN SIZE:

1. Refer to *Paradise Municipal Code; Chapter 17.37 regarding current sign regulations*. All signs shall relate proportionately in size and placement to other building elements.
2. Window Signs: Refer to *Paradise Municipal Code; Chapter 17.37 regarding current sign regulations of window signs*.
3. Monument signs: are permitted if sight distance and engineering Right of Way specifications allow. New monument signs and monuments signs proposed in new developments are required to be landscaped. The landscape plan for the newly proposed monument sign must be reviewed as part of the Design Review process for the new sign.

## SIGN COLOR:

4. Sign color is just as important as the textual content. To be effective, the color should contribute to the legibility and design integrity of the affected property and should complement the colors of the building. Due to our geographical setting, natural, earth-tone colors are the preferred color palette for buildings and signs in the Downtown. Refer to the *Appendix*.



Catalina Bay, California

- + Size is at pedestrian scale
- ✗ Blocking access to site amenities or entries



Norcross, Georgia

- + Simple contrasting color scheme, See colors in Appendix Section



York, United Kingdom

- + Size appropriate to entrance and building
- ✗ Extending into Public Right of Way

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## SIGN FONT:

5. Sign fonts should be uniform, limited of change, appropriately scaled, and easily legible. A sign containing too many fonts can be difficult to read, confusing, and appear disorganized. Some fonts can be very difficult to read at any reasonable distance. In addition, the environment of the sign placement should be taken into account.

*The **U**se of **Too Many** Fonts Can be **confusing**!*

✗ Difficult to read

✗ Confusing

A b C d e

+ Large bold lettering

✗ Thin font with minimal background contrasting

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY**3-C: QUALITY AND MATERIALS**

All signs shall be constructed of high quality and weatherproof materials. All signs must be designed by a professional sign company or sign artist. Appropriate materials shall be used for all elements of signs including all letters, exposed edges, and surfaces.

*Except for decorative wrought iron, any exposed hardware such as conduit, tubing, raceways, conductors, transformers, mounting hardware and other equipment shall be concealed.*

A project proposed with inappropriate materials may apply for special considerations only if the Town sign permit administrator determines that one of the following is applicable:

- The proposed material, in the particular application, will blend well with the existing or new materials;
- Other materials would not achieve the same desired theme of the proposed use; or
- The overall architectural design and detailing is of such quality as to justify its use.

**PREFERRED SIGN MATERIALS:**

1. Metal, wood, print on canvas awnings, painted graphics on building surfaces

**ALLOWABLE SIGN MATERIALS:**

2. Plexiglas, lexan or plastic, neon, vinyl lettering, other durable products deemed suitable for outdoor signs

**PROHIBITED SIGN MATERIALS:**

3. Unfinished plywood, particle board or paper.



Paradise, California

+ All weather materials



Fair Oaks, California

+ Enhanced lighting and durable materials

✗ Painted directly on building

A SIGN DESIGN  
CONSIDERATIONB SIGN SIZE, COLOR,  
AND FONTC QUALITY AND  
MATERIALSD LOCATION ON  
BUILDINGE ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-D: LOCATION ON BUILDING

## FLUSH MOUNTED SIGN:

1. Sign placement should be symmetrically located within space that is defined by the building's architectural features such as its massing and its trim.

## AWNING SIGNS:

2. An awning is permanently attached to a building or can be raised or retracted to a position against the building when not in use. An awning sign is a message that is painted, printed, sewn, or stained onto the awning or awning flap.
3. The sign on awnings shall be placed on the awning flap. The flap shall be at least eight (8) inches in height and with enough contrast so that the letters and symbols can be easily read.
4. The color of an awning sign shall be compatible with and complementary to the color and material of the building to which it is attached.



Dallas, Texas

- + Flush mounting.
- + Emphasizes main entrance
- ✗ Non contrasting colors



Nashville, Tennessee

- + Meets construction methods and standards
- ✗ Contrasting the building character

A SIGN DESIGN  
CONSIDERATION

B SIGN SIZE, COLOR,  
AND FONT

C QUALITY AND  
MATERIALS

D LOCATION ON  
BUILDING

E ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-D: LOCATION ON BUILDING (CONT.)

### PEDESTRIAN-ORIENTED HANGING/SHINGLE SIGNS:

5. A hanging sign is generally located below awning level and is intended to be read by pedestrians along a sidewalk or arcade and by motorists in slow-moving vehicles.
6. A hanging sign shall be hung perpendicular to and shall not project more than five (5) feet from the face of the building.
7. Hanging signs shall not be located within close proximity to other hanging signs or projecting signs, preferably maintaining a separation of at least twenty-five (25) feet from each other.
8. The placement of a hanging sign shall not impede the safe movement of people or vehicles within a public right-of-way and shall be properly secured to a building in a structurally sound manner.

### PROMOTIONAL BANNER SIGNS:

9. Refer to the *Paradise Municipal Code; Chapter 17.37* regarding current sign regulations referencing promotional banner signs.

A SIGN DESIGN  
CONSIDERATION

B SIGN SIZE, COLOR,  
AND FONT

C QUALITY AND  
MATERIALS

D LOCATION ON  
BUILDING

E ARCHITECTURAL  
COMPATIBILITY &  
CORPORATE  
IDENTITY

## 3-E: ARCHITECTURAL COMPATIBILITY & CORPORATE IDENTITY

### ARCHITECTURAL COMPATIBILITY - COMPLEMENT BUILDING:

1. Signage shall be modestly scaled and shall be incorporated into an architectural element that complements the overall character of the building. All signs shall relate proportionately in placement and size to other building elements, and sign style and color should complement the building façade.

### CORPORATE IDENTITY:

2. Corporate identity shall be secondary in the design of projects, and projects shall be consistent with the architecture of the surrounding community.

- **Signs:** Corporate signage for renovations shall be modest in scale and located to be compatible with the existing building.



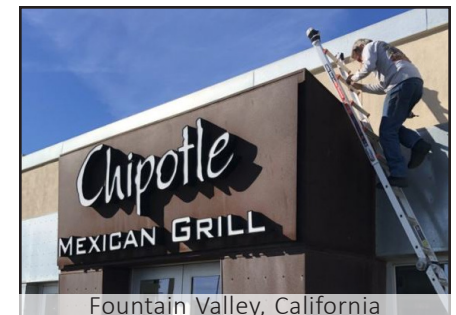
Paradise, California

- + Not out of scale with building
- ✗ Oversized corporate stamping



Ridgeland, Mississippi

- + Standard corporate identity within private development lot
- ✗ Non-standard placement or appearance



Fountain Valley, California

- + Placement complements business entrance and identity
- ✗ Within scale



# STREETSCAPE:

LANDSCAPE DESIGN

PRESERVATION OF TREES

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## A LANDSCAPE DESIGN

## B PRESERVATION OF TREES

## 4-A:LANDSCAPE DESIGN

## LINE OF SIGHT:

1. Sight distance for driveways should be protected with the use of visibility triangles on each side of the driveway to ensure adequate visibility. In this area, structures, fences, walls and plant material, with the exception of street trees, should not exceed 2.5 feet in height above the street grade. Clear sight triangles will vary based on roadway speeds and other criteria. Refer to *AASHTO (American Association of State Highway and Transportation Officials): A Policy on Geometric Design of Highways and Streets, Current Edition and Paradise Development Regulations* for additional requirements.

## STREET TREE CANOPIES:

2. Street trees shall be selected from a mixed palette and shall consist of both deciduous and evergreen tree species with large broad canopies, including indigenous conifers. Provide adequate planter areas, irrigation source and maintenance.



Fair Oaks, California

- + Provide adequate planter area
- + Deciduous tree
- ✗ Encroaches the public right of way



Camden, Pennsylvania

- + Allows good pedestrian visibility
- ✗ Blocking pedestrian line of sight



Seattle, Washington

- + Seasonal color/low water use plant types, See *Appendix*
- ✗ Non-maintained plants

**A LANDSCAPE  
DESIGN****B PRESERVATION OF  
TREES****4-A:LANDSCAPE DESIGN (CONT.)****FOUNDATION PLANTING:**

3. Foundation planting should be installed where there are building setbacks. The intent is to soften the transition between the architectural element and the ground plane. The plant material should be selected to maintain its natural form throughout the year. Only low-growing vegetation with high-moisture content, such as flowers and ground covers and green lawns, free of dead vegetative debris, shall be allowed within five (5) feet of any structure. *Refer to the Defensible Space Ordinance.*

**WATER CONSERVATION:**

4. Select trees and plants that reflect the climate of Paradise and minimize water consumption.

**PAVING/HARDSCAPE**

5. Refer to *Site Design, Section 2.E* for specific requirements. Pavement materials, colors, and finishes shall be developed in coordination with Town Staff.

**LANDSCAPE IRRIGATION**

6. Refer to *Site Design, Section 2.G* for specific requirements.

**LANDSCAPE SITE FURNISHINGS**

7. Refer to *Site Design, Section 2.I* for specific requirements.

A LANDSCAPE  
DESIGNB PRESERVATION OF  
TREES**4-B: PRESERVATION OF TREES**

Street trees can be one of the most valuable assets to providing a city aesthetic character. Whenever possible, retain existing street trees and trees on sites that have been determined to be of significant value in contributing to the final landscape design.

**ARBORIST:**

1. Consult with a professional arborist for advice on the health and maintenance of existing trees and sections of street trees prior to design.
2. Preserve existing street trees. When replacing or building new sidewalks near existing historic trees, sidewalks should provide additional spaces and bend around widened tree trunks to lessen concrete-root conflicts. Provide appropriate new street trees that fit within the existing planting patterns.

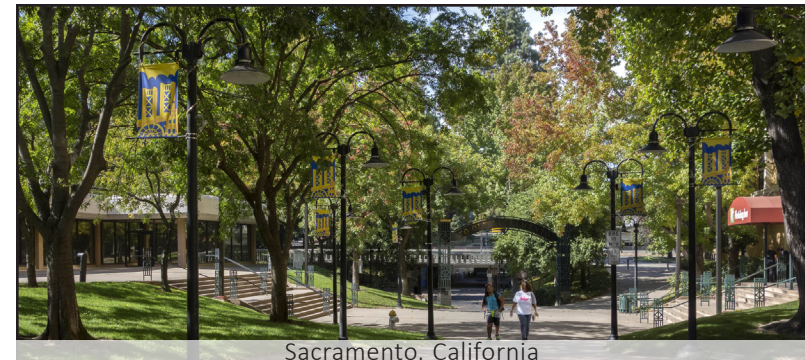
**HEALTHY TREES:**

- New development shall minimize loss of healthy existing trees.



Northfield, Minnesota

+ Appropriate tree staking



Sacramento, California

+ Maintained tree canopy

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# APPENDIX:

GLOSSARY

DESIGN REVIEW COMMITTEE & PROCESS

PLANT PALETTE

COLOR PALETTE

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## GLOSSARY:

**ADDITION:** New construction added to an existing building or structure.

**ACCESSORY (OR ANCILLARY) STRUCTURES:** A structure detached from a principal building located on the same lot and customarily incidental and subordinate to the principal building or use.

**ALTERATION:** Work which impacts any exterior architectural feature including construction, reconstruction, or removal of any building or building.

**ANIMATED:** Describes the use of building elements, areas, and colors that create variety and a sense of activity in and around a building.

**APPURTENANCE:** An appendage that is attached to a structure such as a roof top mechanical system, enclosed storage area, etc..

**ARTICULATION:** The dividing or segmenting of building elements into smaller components to create a sense of finer detailing. The variations in the exterior of the building or massing of buildings in a development. Elements of articulation may be described in terms of roughness of surface material, numbers of openings, patterns within the material or of different materials, massing, etc. Articulation can reduce the scale of larger buildings by the use of small detailed patterns.

**BALUSTER:** A turned or rectangular upright member supporting a stair rail.

**BALUSTRADE:** An entire railing system with top rail and balusters.

**BARGEBOARD:** A board which hangs from the projecting end of a gable roof covering the end rafters, and often sawn into a decorative pattern.

**BAY WINDOW:** A window in a wall that projects at an angle to another wall.

**BOARD AND BATTEN:** Siding fashioned of boards set vertically and covered where their edges join by narrow strips called battens.

**BOLLARD:** A vertical element designed to prevent the movement of vehicles across a roadway or into a pedestrian area.

**BRACKET:** An ornamental or structural member or both set under a projecting element, such as the eaves of a house.

**CAPITAL:** The head of a column or pilaster.

**COLUMN:** A vertical support, usually supporting a member above.

**CORBEL:** In masonry, a projection, or one of a series of projections, each stepped progressively farther forward with height and articulating a cornice or supporting an overhanging member.

**CORNICE:** The uppermost projecting part of an entablature, or a feature resembling it. Any projecting ornamental molding along the top of a wall, building, etc.

**CRESTING:** Decoration applied along roof ridges generally consisting of ornamental metal.

**DENTILS:** A row of small tooth-like blocks in a classical cornice.

**DESIGN CONTINUITY:** A unifying or connecting theme or physical feature for a particular setting or place, provided by one or more elements of the natural or created environment. Consistency in scale, quality, or character between new and existing development so as to avoid abrupt and/or severe differences.

**DESIGN RHYTHM OR PATTERN:** The regular or harmonious recurrence of lines, shapes, forms, elements or colors, usually within a proportional system.

**DORMER WINDOW:** A window that projects from a roof.

**DOUBLE HUNG WINDOW:** A window with two sashes, one sliding vertically over the other.

**EAVES:** The edge of a roof that projects beyond the face of a wall.

**ELEVATION:** The external faces of the building.

**ELL:** The rear wing of a house, generally one room wide and running perpendicular to the principal building.

**ENGAGED COLUMN:** A round column attached to the wall.

**ENTABLATURE:** The band of moldings near the top of a facade, divided into cornice, frieze, and architrave.

**FACADE:** The exterior walls of a building exposed to public view, or that wall viewed by persons not within the building.

**FENESTRATION:** The arrangement of windows on a building.

**FINIAL:** A pointed ornament at a gable peak.

**FLUTING:** Shallow, concave grooves running vertically on the shaft of a column, pilaster, or other surface.

**FRETWORK:** Ornamental woodwork, cut into a pattern, often elaborate.

**FRIEZE BOARD:** A flat board at the top of a wall directly beneath the cornice.

**GABLE:** The triangular section of a wall to carry a pitched roof.

**GABLE ROOF:** A roof with a central ridge and one slope at each side.

**HARDSCAPE VS. SOFTSCAPE:** Hardscape street improvements that include paving elements, such as roads sidewalks, and medians.

Softscape improvements include landscaping elements, such as trees, bushes and other plant material.

**HIPPED ROOF:** A roof with uniform slopes on all four sides.

**HOOD MOLD:** A projecting molding above an arch, doorway or window.

**IRRIGATION:** Method of artificial watering, usually through automatic sprinkler systems.

**LATTICE:** An openwork grill of interlacing wood strips used as screening.

**LINTEL:** A horizontal beam or stone bridging an opening.

**MANSARD ROOF:** A roof with two slopes on all four sides, with the lower slope almost vertical and the upper almost horizontal.

**MASSING:** The distribution of building volumes in regard to a) the building's relative location on the site; and b) the height, width, depth of the elements of a building relative to each other. An example of the second aspect could be "the bell tower of a church in relation to the assembly building of a church" are separate masses.

**MEDIAN:** A barrier placed between lanes of traffic flowing in opposite directions, usually wide enough to be landscaped and have trees planted in it.

**METAL STANDING SEAM ROOF:** A roof composed of overlapping sections of metal such as copper-bearing steel or iron coated with a thin alloy of lead and tin. These roofs were attached or crimped together in various raised seams for which the roofs are named.

**MODILLION:** A horizontal bracket, often in the form of a plain block, ornamenting, or sometimes supporting, the underside of a cornice.

**MONOCHROMATIC:** The use of one color.

**MULLION:** A vertical strip dividing the panes of a window.

**MUNTIN:** A secondary framing member to hold panes within a window or glazed door.

**OPAQUE:** A material that does not transmit light.

**ORIENTATION:** The direction that various sides of a building face.

**PALLADIAN WINDOW:** A window with three openings, the central one arched and wider than the flanking ones.

**PARAPET:** The extension of the main wall of a building above the roof level.

**PAVING:** Common terminology for surface materials. These can be asphalt paving, integral paving, stones, brick or concrete (See Hardscape).

**PEDESTRIAN SCALE:** A design relating to the scale of an average person.

**PEDIMENT:** A triangular space in a gable closed on all three sides.

**PERSPECTIVE:** The presentation of a building elevation from a three-dimensional orientation.

**PILASTER:** A square pillar attached, but projecting from a wall, resembling a classical column.

**PORTE-COCHERE:** A porch large enough to enclose wheeled vehicles.

**PORTICO:** A roofed space, open or partly enclosed, forming the entrance and centerpiece of the facade of a building, often with columns and a pediment.

**PUBLIC IMPROVEMENTS:** Publicly directed enhancements, often to streetscapes and other public amenities.

**PUNCHED WINDOWS:** Individual window elements as opposed to a continuous horizontal band of windows. Punched windows can be either in the same plane with the exterior surface or more appropriately recede behind the plane.

**PYRAMIDAL ROOF:** A roof with four identical sides rising to a central peak.

**QUOINS:** Stone blocks or bricks ornamenting the outside walls of a building.

**REHABILITATION:** To restore to a good condition while preserving significant features.

**REMODEL:** To reconstruct or alter.

**RENDERING:** The detailed colored presentation of a building elevation, perspective, or plan.



**RESTORATION:** To bring back to a documented former condition or appearance.

**RIGHT OF WAY (R.O.W.):** Land publicly controlled, including streets, sidewalks and alleys.

**SASH:** The movable framework containing the glass in a window.

**SCALE:** Describes the relationship of objects size to another. A building's scale might be described in relation to its neighboring context, to the components of the building itself, or to a human being. For the purpose of this text, "Human Scale" refers to buildings and streetscapes that comfortably relate to the human figure (pedestrians).

**SCORING PATTERNS:** Lines scribed into concrete, usually in sidewalks.

**SCREENING:** To visually separate, or mask for aesthetic purposes or privacy issues.

**SETBACK:** The distance between the building and any lot line.

**SHADOW CASTING:** The shade cast by a structure or building on the surrounding areas during the day and over various seasons.

**SILL:** A horizontal member at the bottom of a window or door opening.

**SIDING:** The exterior wall covering or sheathing of a structure.

**SPALLING:** Flaking of the outer face of masonry, often caused by expanding moisture in freezing conditions.

**STREETSCAPE:** A setting or expanse describing visible signage, fixtures, paving, landscaping, and buildings along a street way.

**TERRA COTTA:** Cast and fired clay units, used as ornamentation.

**TRANSOM:** Horizontal window like element above the door.

**VERGEBOARD:** The vertical face board following and set under the roof edge of a gable, sometimes decorated by carving.

**WEATHERBOARD:** Wood siding consisting of overlapping boards usually thicker at one edge than the other.

**ZONING ORDINANCE:** The Zoning Ordinance of the Town of Paradise.

# DESIGN REVIEW PROCESS:

## DESIGN REVIEW PROCESS:

The design review process is set by Council and is enumerated in *Paradise Municipal Code Chapter 17.41*. The specific steps are noted in detail in the application packet. The application packet is posted on the Town's website. Applicants may submit for design review in concurrence with certain land use applications, however, building permits will not be issued without design review approval or conditional approval. An applicant may appeal any decision made by the Design Review Committee to the Town Council as set forth by the procedures in *Paradise Municipal Code Chapter 17.41*.

## APPEALS TO THE DESIGN REVIEW DECISION:

The applicant may appeal staff's decision to the Town Council by paying the appropriate fee, as adopted in the Town's Master Fee Schedule. The appeal must be filed within 10 days of the decision with the Town Clerk's Office.

# ENCOURAGED PLANT PALETTE:

## STREET TREES:

### BOTANICAL NAME:

Acer Rubrum	Red Maple
Calocedrus Decurrens	Incense Cedar
Liriodendron Tulipifera "Arnold"	Tulip Tree
Platanus Acerifolia 'Bloodgood'	London Plane Tree
Platanus Racemosa	Californica Sycamore
Quercus Douglasii	Blue Oak
Quercus Ilex	Holly Oak
Quercus Lobata	Valley Oak
Quercus Rubra	Red Oak
Quercus Wislizenii	Interior Live Oak

## SECONDARY STREET TREES:

### BOTANICAL NAME:

Cedrus Deodara	Deodar Cedar
Prunus Cerasifera 'Krauter Vesuvius'	Purple Leaf Plum
Pyrus Calleryana 'Aristocrat'	Aristocrat Pear
Tilia Americana	American Linden

## SMALL ACCENT TREES:

### BOTANICAL NAME:

Arbutus Marina	Strawberry Tree
Cercis Occidentalis	Western Redbud
Cornus Nuttallii	Pacific Dogwood
Heteromeles Arbutifolia	Toyon
Magnolia Stellata	Star Magnolia (multi-trunk)
Prunus caroliniana	Carolina Laurel Cherry

## LARGE SHRUBS (5'-6' TALL):

### BOTANICAL NAME:

Arbutus unedo 'Compacta'	Dwarf Strawberry Tree
Cotoneaster Parneyi	Parney Cotoneaster
Ilex cornuta	Chinese Holly
Ligustrum japonicum 'Texanum'	Texas Privet
Philadelphus Lewisii	Wild Mock Orange
Photinia Fraseri	Photinia
Pittosporum Tobira	Mock Orange
Pittosporum Tobira 'Variegata'	Variegated Tobira
Prunus Caroliniana 'Brite N Tite'	Carolina Cherry
Prunus Laurocerasus	English Laurel
Raphiolepis Indica 'Majestic Beauty'	Majestic Beauty Raphiolepis
Rhamnus spp.	Coffeeberry
Viburnum Opulus 'Roseum'	European Cranberry Bush

## MEDIUM SHRUBS (3'-4' TALL):

### BOTANICAL NAME:

Atriplex spp.	Saltbush
Berberis thunbergii 'Atropurpurea'	Red Leaf Japanese Barberry
Buxus Japonica	Boxwood species
Dietes Vegeta	Fortnight Lily
Grevillea Noellii	Grevillea
Hypericum Moserianum	Gold Flower
Pinus Mugo	Mugo Pine
Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel
Raphiolepis indica 'Jack Evans'	Jack Evans Raphiolepis
Rhus integrifolia	Lemonade Berry
Rosa spp.	Various Rose species
Umbellularia californica	California Bay Laurel
Nandina Domestica	Heavenly Bamboo

# ENCOURAGED PLANT PALETTE (CONT.):

## SMALL SHRUBS (1'-3' TALL):

### BOTANICAL NAME:

Artemisia 'Powis Castle'	Artemisia
Baccharis Pilularis 'Pigeon Point'	Dwarf Coyote Bush
Berberis Thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry
Calycanthus Occidentalis	Spice Bush
Carpenteria Californica	Bush Anemone
Chaenomeles 'Stanford Red'	Flowering Quince
Cotoneaster dammeri 'Lowfast'	Lowfast Bearberry Cotoneaster
Hemerocallis Hybrid	Daylily
Heuchera S. 'Santa Ana Cardinal'	Coral Bells
Iris Germanica	Bearded Iris
Juniperus Conferta	Shore Juniper
Juniperus Horizontalis 'Youngstown'	Youngstown Juniper
Mahonia aquifolium 'Compacta'	Dwarf Oregon Grape
Penstemon gloxinoides 'Firebird'	Border Penstemon
Pittosporum tobira 'Wheeler's Dwarf'	Dwarf Tobira
Raphiolepis Ballerina	Dwarf Raphiolepis
Rhus Ovata	Sugar Bush
Rosemarinus Ingramii	Collingwood Ingram Rosemary
Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea

## GROUNDcover:

### BOTANICAL NAME:

Arctostaphylos 'Emerald Carpet'	Dwarf Manzanita
Baccharis Pilularis 'Twin Peaks'	Coyote Bush
Coprosma Pumila 'Verde Vista'	Coprosma
Hypericum Calycinum	St. Johnswort
Juniperus Conferta	Shore Juniper
Rosmarinus officinalis	Prostrate Rosemary
Trachelospermum Asiaticum	Asian Jasmine
Trachelospermum Jasminoides	Star Jasmine

## VINES:

### BOTANICAL NAME:

Campsis Radicans	Trumpet Vine
Clematis spp.	Clematis
Lonicera Japonica	Honeysuckle
Parthenocissus Tricuspidata	Boston Ivy

# COLOR PALETTE:

## ENCOURAGED COLORS:

When considering future development, one has only to look around for inspiration. Paradise is located on a beautiful ridgetop in the Sierra Nevada foothills with breathtaking canyon views and heavenly blue skylines. A large portion of the Town is tucked away among the trees and the natural wooded forest. Fresh water lakes, rivers and waterways sustain the native habitat. The natural vegetation is awakened each Spring with vibrant color, while the Fall, not to be outdone, defies the winter frost with striking a splendor of crimson and gold. These are the colors of Paradise.

Since structural elements such as buildings and signs are designed to be part of the landscape for a long period of time, it is important to respect the existing viewshed and follow desired design standards. Choosing a color palette from the natural environment ensures aesthetic harmony.

The common understanding of earth tones include a color scheme that draws from a palette of browns, tans, grays, greens, oranges, whites, blues and some reds. The colors in an earth tone scheme are muted and flat in an emulation of the neutral colors found in soil, moss, trees and rocks. Many earth tones originate from clay earth pigments, such as umber, ochre and sienna.

## DISCOURAGED COLORS:

The right color palette enhances the attractiveness of a structure or sign face. Using compatible color families, hues, values and tones will ensure that colors blend well and fit in with the surrounding elements.

Some advertisers use bright colors to attract attention, which is acceptable for television and print media. However when designing permanent structures and permanent signs, colors should blend, enhance, and promote the natural beauty of the surrounding area. Therefore bright, intensively-toned colors are typically not viewed as a visually pleasing color choice for certain design elements.

Fluorescent colors are intense and brilliant with a strong, vivid color saturation. Therefore, fluorescent and other brightly toned colors which are mainly used to “stand out” and distract will not be eligible color choices for permanent structures.

When using digital processing for sign design, colors above 60% on the CYMK color chart will be questioned or prohibited. In other words, adding shades or diminishing tones of certain colors will be necessary to obtain design review approval for color palettes.