



Town of Paradise Planning Commission Meeting Agenda 6:00 PM – August 15, 2023

Town of Paradise Council Chamber – 5555 Skyway, Paradise, CA

Planning Commission Staff:

Susan Hartman, Community Development Director

Planning Commission Members:

Lynn Costa, Chair
Kim Morris, Vice Chair
Carissa Garrard, Commissioner
Charles Holman, Commissioner
Zeb Reynolds, Commissioner

CALL TO ORDER

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

ROLL CALL

1. APPROVAL OF MINUTES

[1a.](#) Approve Regular Meeting Minutes of June 20, 2023.

2. COMMUNICATION

- 2a. Recent Council Actions
- 2b. Staff Comments

3. PUBLIC COMMUNICATION

Comments are limited to a maximum of five minutes duration. If more time is needed, please request staff to place the subject on an agenda for a future Commission meeting.

*** PUBLIC HEARING PROCEDURE ***

- | | |
|-----------------------------------|--------------------------------|
| A. Staff comments | C. Close hearing to the public |
| B. Open the hearing to the public | D. Commission discussion |
| 1. Project applicant | E. Motion |
| 2. Parties for the project | F. Vote |
| 3. Parties against the project | |
| 4. Rebuttals | |

NOTE: Pursuant to Planning Commission Resolution No. 96-001, any person may speak before the Commission regarding the matter under consideration for a maximum of five minutes unless granted additional time by the Chair. "In accordance with the Americans with Disabilities Act, if you need a special accommodation to participate, please contact the Community Development Dept., at 872-6291 at least 48 hours in advance of the meeting."

4. CONTINUED PUBLIC HEARING - None

5. PUBLIC HEARING

5a. Item to be determined exempt from environmental review:

Ely Site Plan Review Permit Application (PL23-00106): Planning Commission consideration of a site plan review permit application proposing the rebuild of a single-family residence on a property zoned Neighborhood Commercial (NC). The project site is a 0.62-acre property located at 1694 Wagstaff Rd, Paradise and further identified as Assessor Parcel No. 050-180023.

5b. Item to be determined to be exempt from environmental review:

Bartok Site Plan Review Permit Application (PL23-00110): Planning Commission consideration of a site plan review permit application proposing the rebuild of a single-family residence on a property zoned Neighborhood Commercial (NC). The project site is a 0.32-acre property located at 1197 Arlene Way, Paradise and further identified as Assessor Parcel No. 051-132-115.

5c. Item to be determined to be exempt from environmental review:

Skyway Villa Mobile Home Park Conditional Use Permit Application (PL23-00076): Planning Commission consideration of a request for a conditional use permit to grant an 8-space expansion of an existing mobile home park. The property is currently permitted by the State for 58 combined mobile home and RV sites on a +/-8.75-acre property with an adjoining 2.4-acre property to remain undeveloped. The properties are zoned Multi-Family (MF) and are located at 7726 Skyway and further identified as Assessor Parcel Nos. 051-164-060 & 016.

5d. Item to be determined to be exempt from environmental review:

Fisher Rezone Application (PL23-00111): Planning Commission consideration of a resolution recommending Town Council approval of a rezone affecting a +/-1.22-acre portion of a +/- 4.64 property from Rural Residential 2/3 acre minimum (RR 2/3) to Rural Residential 1/2 acre minimum (RR 1/2) to accommodate a conditionally approved lot line adjustment. The project site is located at 5460 Filbert Ave, Paradise and further identified as Assessor Parcel No. 052-260-135.

6. OTHER BUSINESS

7. COMMITTEE ACTIVITIES

8. COMMISSION MEMBERS

8a. Identification of future agenda items (All Commissioners/Staff)

9. ADJOURNMENT

| | |
|--|-----|
| STATE OF CALIFORNIA) COUNTY OF BUTTE) | SS. |
| I declare under penalty of perjury that I am employed by the Town of Paradise in the Town Clerk's Department and that I posted this Agenda on the bulletin Board both inside and outside of Town Hall on the following date: | |
| _____ | |
| TOWN/ASSISTANT TOWN CLERK SIGNATURE | |



Town of Paradise Planning Commission Minutes 6:00 PM – June 20, 2023

Town of Paradise Council Chamber – 5555 Skyway, Paradise, CA

CALL TO ORDER by Chair Costa at 6:00 p.m. who led the pledge of Allegiance to the Flag of the United States of America.

PLANNING COMMISSIONERS PRESENT: Carissa Garrard, Charles Holman, Kim Morris and Lynn Costa, Chair

PLANNING COMMISSIONERS ABSENT: Zeb Reynolds

1. APPROVAL OF MINUTES

- 1a. **MOTION by Garrard, seconded by Holman**, approved regular meeting minutes of May 16, 2023. AYES: Garrard, Holman and Costa; NOES: None; ABSENT: Reynolds; ABSTAIN: Morris. MOTION CARRIES

2. COMMUNICATION

- 2a. Community Development Director Susan Hartman shared that Town Council approved PID's General Plan Amendment and Rezone as recommended by Planning Commission; Council extended Cole Huber's contract to serve as legal counsel through the upcoming fiscal year; Council discussed options to regulate the design standards for murals in town, but ultimately decided to keep the current standards in place; and requested that an urgency ordinance for laydown yards in residential neighborhoods be place on June 28th Special Meeting agenda for consideration.

3. PUBLIC COMMUNICATION - None

4. CONTINUED PUBLIC HEARING - None

5. PUBLIC HEARING

- 5a. Assistant Planner Anne Vierra presented the on the proposed conditional use permit application for West Family Homes, Inc. to rebuild a nonconforming 10-unit multiple family development that was destroyed in the Camp Fire.

Chair Costa opened the public hearing at 6:08 p.m.

1. The project applicant, Tyler West, shared that West Family Homes, Inc. intends to keep the complex affordable; shared that the location is centralized to town; the parking lot would remain in the middle of the complex; and that he hopes to be able to break ground within a year.

2. Jim Harding spoke in favor of this item.

Chair Costa closed the public hearing at 6:13 p.m.

MOTION by Morris, seconded by Garrard, approved the conditional use permit application for the reconstruction and minor expansion of a legal nonconforming 10-unit multiple family development that was destroyed in the Camp Fire, subject to the General Conditions outlined below. The project proposal consists of 10, 1-bedroom units within three buildings with a total square footage of 6,160 square feet as well as some associated improvements such as a garbage enclosure. The project site is a 0.71-acre property zoned Town Residential 1/3 acre minimum (TR 1/3) and is located at 5905 Oliver Road, further identified with Assessor's Parcel No. 052-170-034. Roll call vote was unanimous with Commissioner Reynolds absent and not voting.

Commission and the applicants were reminded that there is a seven-day appeal period and that no permits would be issued before that time.

GENERAL CONDITIONS

1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.
2. Outside light fixtures associated with the project shall be designed to not exceed a height of sixteen feet above finished grade and shall be shielded to prevent the direct projection of light onto adjoining and nearby properties.
3. Minor changes to the interior and/or exterior design of the project may be approved administratively by the Town Planning Director upon submittal of a written request for such changes if the requested changes are consistent with the overall intent of the project and its approval action. Any requested changes deemed by the Planning Director to be major or significant shall require a formal use permit modification review by the Planning Commission and the payment of the appropriate processing fees.
4. Pay all applicable development impact fees prior to issuance of building permits for project construction in accordance with Paradise Municipal Code requirements.
5. All work within the public right of way is subject to Town issuance of an encroachment permit. Applicant shall secure an encroachment permit from the Town of Paradise Public Works Department, Engineering Division. All work in the public right-of-way requires a licensed, bonded, and insured contractor.
6. Secure Design Review approval of architectural design for the proposed project and for the establishment of any new sign structures and maintain the property in a manner consistent with the Town of Paradise Design Standards. The proposed buildings shall be designed and constructed of non-glare material.

CONDITIONS TO BE MET PRIOR TO ISSUANCE OF BUILDING PERMIT(S)

CONSTRUCTION CODES

7. Meet the requirements of the Town Building Official regarding the submittal of construction plans, building permit applications, and all applicable town adopted construction code requirements.

SITE DEVELOPMENT

8. Submit three (3) copies of an engineered site plan related to the project site's proposed new features (i.e., parking facility, walkways, encroachment, etc.) to the Engineering Division for approval prior to building permit issuance (site plan must show all grading and other relevant details including, but not limited to: finished floor, finished grade, contours, slopes, limit of grading, curb, gutter and sidewalk improvements, ADA paths of travel, and curb ramp.) Approval of the engineered site plan by the Town Engineer is required PRIOR TO COMMENCEMENT of site work for the project.
9. Submit an erosion & sediment control plan worksheet to the Town Public Works Department for approval by the Town Engineer PRIOR to the start of any earthwork. Show all erosion control devices and sedimentation basins required by Paradise Municipal Code Section 15.04.280.
10. Deed thirty (30') from the center of the Oliver Road right-of-way in a manner deemed satisfactory to the Town Engineer or provide a recorded document showing that this requirement has been met.
11. Submit application materials and secure issuance of a repair permit for the replacement of two septic tanks through the Town Onsite Wastewater Division.

CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND CERTIFICATE OF OCCUPANCY

12. Submit landscaping plans and current application fee to the Development Services Department, Planning Division in accordance with Paradise Municipal Code requirements consisting of a minimum of 10% of the developed area and install approved landscape materials in a manner deemed satisfactory to the town Planning Director. Installation of required landscape materials may be guaranteed by a bond (or a similar financial instrument) for a limited additional period of time determined by the Planning Director to be appropriate (ex: 90 days). Landscape Plans shall be designed in accordance with the requirements of the State of California Model Water Efficient Landscape Ordinance (MWELO). No final building inspection or occupancy shall be permitted until the landscape plans for the project have been formally approved by the Town of Paradise and landscape materials have been installed (or bonded to guarantee installation).
13. Building facades shall be in conformance with the approved Architectural Design Review elevations.
14. The applicant shall submit a comprehensive construction and demolition recycling plan, which meets all local, state, and federal regulations, for review and approval by the Town Development Services Department, Building Division.

15. Provide evidence that the Paradise Irrigation District water advisory has been lifted for the property.

SITE DEVELOPMENT

16. Meet all requirements of the Paradise Irrigation District (PID) including the service lateral replacements, meter upgrades, and backflow prevention assembly. in accordance with the written comments from PID staff dated 5/4/2023 and on file with the Town Development Services Department.
17. Submit landscaping plans and current application fee to the Development Services Department, Planning Division in accordance with Paradise Municipal Code requirements consisting of a minimum of 10% of the developed area and install approved landscape materials in a manner deemed satisfactory to the town Planning Director. Installation of required landscape materials may be guaranteed by a bond (or a similar financial instrument) for a limited additional period of time determined by the Planning Director to be appropriate (ex: 90 days). Landscape Plans shall be designed in accordance with the requirements of the State of California Model Water Efficient Landscape Ordinance (MWELO). No final building inspection or occupancy shall be permitted until the landscape plans for the project have been formally approved by the Town of Paradise and landscape materials have been installed (or bonded to guarantee installation).
18. Building facades shall be in conformance with the approved Architectural Design Review elevations.
19. Meet all requirements of Northern Recycling & Waste Services regarding the construction and installation of the required garbage enclosure.

6. OTHER BUSINESS - None

7. COMMITTEE ACTIVITIES – None

8. COMMISSION MEMBERS

- 8a. Community Development Director Susan Hartman shared that there is interest in expanding the mobile home park at Skyway Villa and that the Family Fun Center is out for corrections.

9. ADJOURNMENT

Chair Costa adjourned the meeting at 6:17 p.m.

Date Approved:

By:

Attest:

Lynn Costa, Chair

Melanie Elvis, Deputy Town Clerk



Town of Paradise

Planning Commission Agenda Summary

Agenda Item: 5(a)

Date: August 15, 2023

ORIGINATED BY:

Anne Vierra, Assistant Planner

REVIEWED BY:

Susan Hartman, Community Development Director

SUBJECT:

Review of Ely Site Plan Review Permit Application (PL23-00106) requesting Planning Commission approval to rebuild a single-family residence in the Neighborhood Commercial zoning district.

COMMISSION ACTION REQUESTED:

1. Adopt findings and approve the Ely Site Plan Review Permit application (PL23-00106) to allow the reconstruction of a single-family residence on a Neighborhood Commercial zoned property.

General information:

Applicant: Marshall Ely
1698 Wagstaff Road
Paradise, CA 95969

Location: 1694 Wagstaff Road, Paradise

Purpose: To reestablish a legal non-conforming land use and rebuild a single-family dwelling

Present Zoning: "N-C" Neighborhood Commercial

General Plan Designation: "N-C" Neighborhood Commercial

Existing Land Use: Vacant lot. The property previously held an identical land use (single family residence) that was destroyed in the 2018 Camp Fire.

Surrounding Land Use: North: Wagstaff Road, (vacant residential lot)
East: Applicant's store & lumber yard, NC zoning
South: Applicant's lumber yard, NC zoning
West: Two vacant residential parcels

Parcel Size: ±0.62 acres

CEQA Determination: Categorically Exempt – CEQA Section 15302, Class 2

Other: An appeal of the Planning Commission's decision can be made within seven (7) days of the decision date.

Background:

The permit applicant, Marshall Ely, requests Site Plan Review Permit approval from the Town of Paradise to rebuild a two-bedroom single family dwelling. The overall square footage of conditioned space would be decreased from 1381 sq. ft. pre-fire to 1259 sq. ft. upon proposed reconstruction. The property is currently vacant after the previously existing home burned in the 2018 Camp Fire. The previous residence was built prior to the Town's incorporation. At the time of incorporation, the property was zoned Neighborhood Commercial under the County's zoning ordinance which permitted a single-family residence without a land use entitlement. Upon subsequent adoption of the Town's zoning ordinance, single-family residences in the Neighborhood Commercial zone became subject to land use entitlement thereby making the previously existing residence non-conforming.

The +/-0.62-acre subject parcel contains no structures but retains the septic infrastructure from the 2-bedroom home lost in the 2018 Camp Fire. The project site is in the Neighborhood Commercial zoning district, abbreviated as "N-C". Access to the site is provided by Wagstaff Road, a public street.

Surrounding land uses include two vacant residential parcels to the west. Wagstaff Road, a public street, is located directly to the north of the subject parcel. Residentially zoned parcels are located across the street. To the east and south of the property is a lumberyard on properties zoned neighborhood commercial and owned by the applicant.

Analysis:

The proposed structure is considered a single-family land use. This land use is permitted in the Neighborhood Commercial zoning district with approval of a site plan review permit. The applicant, Marshall Ely, applied for this site plan review permit on June 28, 2023.

The project has received favorable responses from the commenting agencies and is proposed in a location that appears to be reasonable for a single-family dwelling due to its proximity to residential zoning. This property, and the surrounding neighborhood commercial zoned properties are already owned by the applicant.

Environmental Review:

This project can be found exempt from CEQA under Section 15302, Class 2, *Replacement or Reconstruction*. This project consists of the rebuilding of a single-family dwelling. This reconstruction is like for like, meaning no substantial changes to the pre-fire residence are proposed.

Financial Impact:

There would be no impact to the Town's General Fund to adopt the required findings and approve the Ely Site Plan Review Permit (PL23-00106).

Recommendation:

Adopt the required findings for approval as provided by staff and approve the Ely Site Plan Review

permit application (PL23-00106) to allow the construction of the proposed single-family residence.

Required Findings for Approval:

- a. Find that the proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Class 2) of the CEQA guidelines.
- b. Find that the project, **as conditioned**, is compatible with surrounding land uses and would not be detrimental to the health, safety and general welfare of the residents of the Town of Paradise.
- c. Find that, **as conditioned**, approval of the Ely Site Plan Review Permit can be found to be consistent with the goals and land use policies of the current 1994 Paradise General Plan.

GENERAL CONDITIONS

- 1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.
- 2. Pay any applicable development impact fees prior to issuance of building permits for project construction in accordance with Paradise Municipal Code requirements.
- 3. Development on the property shall comply with the site development regulations outlined in Paradise Municipal Code (PMC) Section 17.20.400.

CONDITIONS TO BE MET PRIOR TO ISSUANCE OF BUILDING PERMIT(S)

Construction codes

- 4. Complete the requirements of the Town Building Official & Fire Marshal regarding submittal of construction plans, building permit application, and all applicable town adopted construction code requirements.
- 5. Meet the requirements of PMC Section 8.58.060 including the use of noncombustible materials within 5 feet of the proposed structure.

Grading and Drainage

- 6. If disturbing more than 50 cubic yards of soil outside of the building footprint, secure a grading permit and meet the requirements of the Engineering Division.
- 7. Submit Erosion and Sediment control plan for review by the Engineering Division.

Site Development

- 8. Submit site plan to the Engineering Division for approval **prior to** building permit issuance (site plan must show all grading as required per Town Municipal Code Section 15.02.150.1 - Section J104.2, including, but not limited to: finished floor, finished grade, contours, slopes, limit of grading, cut/fill, grades, etc.). Show slopes and limits of grading near building (include flow direction arrows, slope percentage, what is existing, and delineate any cut/fill).

Sanitation

9. Complete the requirements of the Town Onsite Sanitary Official concerning evaluation of the wastewater system. If deemed failed, secure permits for the repair or replacement of the system.
10. To comply with PMC Section 13.04.112 – *Bedrooms*, the proposed manufactured home floor plan must be modified by removing the door to the hallway from the “den” and providing a 4’ cased opening into the living room.

CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND CERTIFICATE OF OCCUPANCY

Utilities

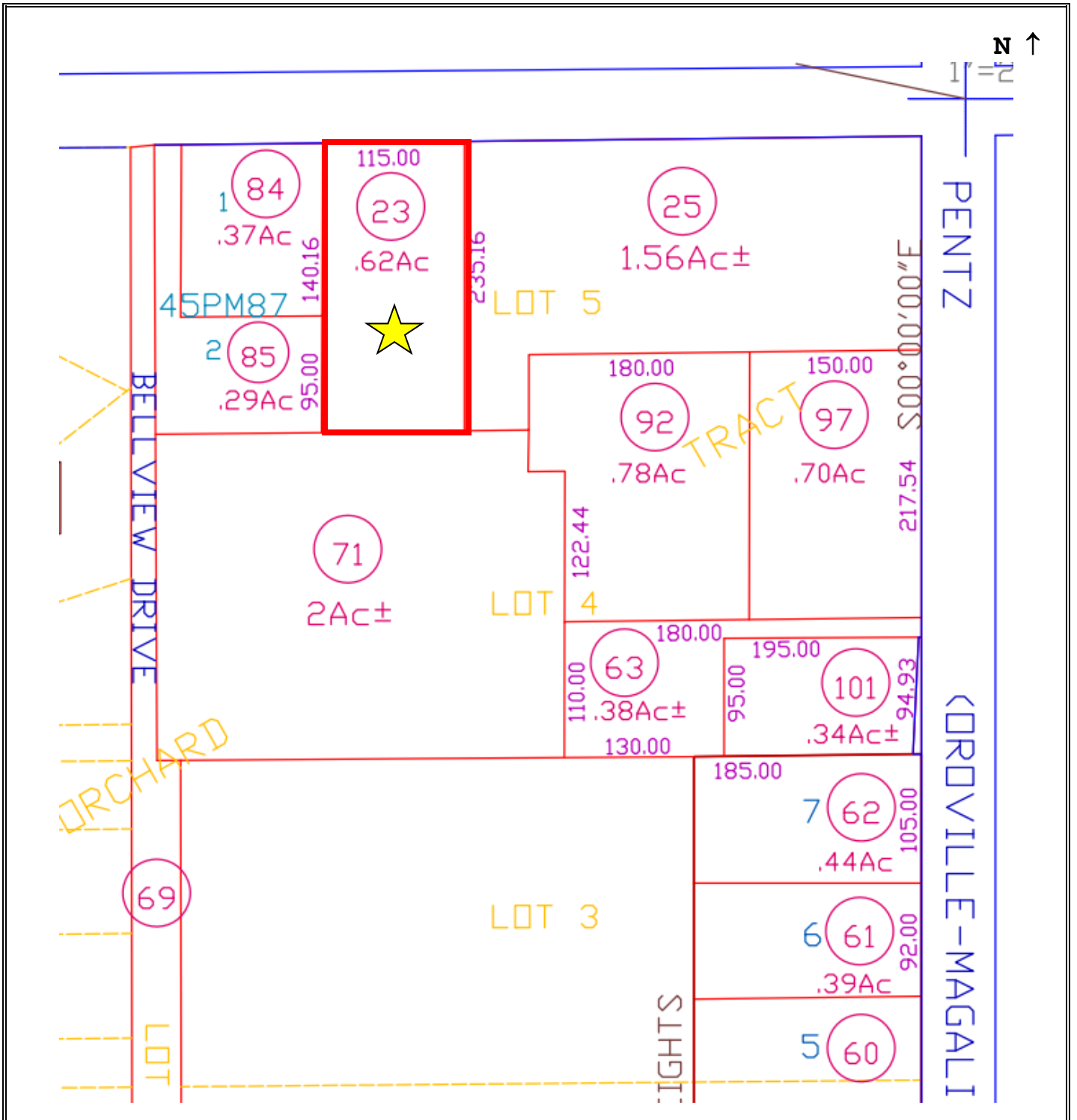
11. Meet the requirements of the Paradise Irrigation District (PID) regarding any required water meter upgrade and backflow prevention assembly, in accordance with the written comments from PID staff dated July 13, 2023 and on file with the Town Development Services Department.
12. Provide evidence that the Paradise Irrigation District water advisory has been lifted for the property.

Site Development:

13. Any work associated with repairing or replacing the driveway encroachment requires the issuance of an encroachment permit from the Town Public Works Department.
14. Approved numbers or addresses shall be placed on the building above the doorway, or in such a position as to be visible from the street or road fronting the property.
15. Meet the requirements of the Town Onsite Sanitary Official with regards to any issued permits to repair or replace the septic, if any.

LIST OF ATTACHMENTS FOR ELY SITE PLAN REVIEW PERMIT APPLICATION (PL23-00106)

1. Project site vicinity map
2. Notice sent to surrounding property owners for the August 15, 2023, public hearing
3. Mailing list of property owners notified of the August 15, 2023, public hearing
4. Summary of development review comments received
5. Notice of Exemption document for the Ely Site Plan Review project
6. Site Plan Review Permit application submitted by Marshall Ely
7. Project floor plan and site plan



| | | |
|--|---|--------------------------------------|
| APPLICANT: Marshall Ely | | 1694 Wagstaff Rd |
| OWNER: Marshall Ely | | |
| PROJECT DESCRIPTION: Rebuild of a two-bedroom single family residence on a 0.62 acre property zoned neighborhood commercial (N-C) | | |
| ZONING: Neighborhood Commercial (N-C) | GENERAL PLAN: Neighborhood Commercial (NC) | FILE NO. PL23-00106 |
| ASSESSOR PARCEL NO. : 050-180-023-000 | | MEETING DATE: August 15, 2023 |

NOTICE OF PUBLIC HEARING: PARADISE PLANNING COMMISSION

NOTICE IS HEREBY GIVEN by the Planning Commission that a public hearing will be held on **Tuesday, August 15, 2023 at 6:00 p.m.** in the Town Hall Council Chambers, 5555 Skyway, Paradise, CA, regarding the following project:

a. Item to be determined to be exempt from environmental review:

Ely Site Plan Review Permit Application (PL23-00106): Planning Commission consideration of a site plan review permit application proposing the rebuild of a single-family residence on a property zoned Neighborhood Commercial (NC). The project site is a 0.62-acre property located at 1694 Wagstaff Rd, Paradise and further identified as Assessor Parcel No. 050-180-023.

The project file is available for public inspection at the Town of Paradise Building Resiliency Center, 6295 Skyway, Paradise, CA 95969. If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Planning Division at (530) 872-6291, extension 412.

SUSAN HARTMAN
Planning Director

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

Paradise Irrigation District
6332 Clark Road
Paradise, CA 95969

Paradise Recreation & Park Dist.
6626 Skyway
Paradise, CA 95969

Paradise Ridge Chamber of
Commerce
6161 Clark Road Ste. 1
Paradise, CA 95969

Paradise Board of Realtors
6161 Clark Road Ste. 2
Paradise, CA 95969

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem St.
Chico, CA 95928

Butte County Planning
Courier

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.
629 Entler Ave., Suite 15
Chico, CA 95928

Butte Environmental Council
313 Walnut St., Ste. 140
Chico, CA 95928

ELY

050-310-008-000
Schrads Joleen Marie & Abrams Rush
2228 Summerhill Dr
Encinitas Ca 92024

050-171-020-000
Presentati Armand & Kimberly
1681 Wagstaff Rd
Paradise Ca 95969

050-180-063-000
Aguilar Jorge A Medina & Angel Floriberta
Rincon
Po Box 3293
Paradise Ca 95967

050-180-084-000
Hoglund Jennifer L & Joe
498 Mill Creek Dr
Chico Ca 95973

050-290-029-000
Mammon Bethany A
6186 Sawmill Rd
Paradise Ca 95969

050-310-006-000
Yanner Fredrick S & Robin R Rev Living
Trust
C/O Yanner Fredrick S & Robin R Trustees
Po Box 877
Chico Ca 95927

050-180-023-000
Ely Marshall & Barbara Family Trust
C/O Marshall M & Barbara C Trustees
3575 Ayres Holmes Ln
Auburn Ca 95602

050-171-025-000
Compton Donna L
6700 Belleview Dr
Paradise Ca 95969

050-180-069-000
Paradise Irrigation District
6332 Clark Rd
Paradise Ca 95969

050-180-085-000
Bozzer Michael J & Michele A
156 Sherwood Ln
Grants Pass Wa 97527

050-310-001-000
Hankes Family Trust
C/O Hankes Donald E & Ann A Trustees
1682 Wagstaff Rd
Paradise Ca 95969

050-310-007-000
Sproles Ryan & Darian
6642 Dolores Dr
Paradise Ca 95969

050-171-019-000
Becker Bob Irwin
Po Box 67
Paradise Ca 95967

050-180-025-000
Ely Marshall & Barbara Family Trust
C/O Ely Marshall M & Barbara C Trustees
3575 Ayres Holmes Ln
Auburn Ca 95602

050-180-071-000
Ely Marshall & Barbara Family Trust
C/O Ely Marshall M & Barbara C Trustees
6633 Pentz Rd
Paradise Ca 95969

050-180-092-000
Ely Marshall & Barbara Family Trust
C/O Ely Marshall M & Barbara C Trustees
3575 Ayres Holmes Ln
Auburn Ca 95602

050-310-005-000
Lord Aaron & Christina L
6646 Dolores Dr
Paradise Ca 95969

Ely



Town of Paradise Department Responses

| PL23-00106 | 1694 Wagstaff SPR | | | | |
|--|--------------------------|--|-------------------------------------|-------------------------------------|---|
| Department | Date received | Comment | | | |
| Building & Fire | 6/29/23 | I | F | na | BUILDING |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3 sets of construction plans |
| | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Structural calculations (2 sets) |
| | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Title 24 energy calculations (2 sets) |
| | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Truss calculations (2 sets) |
| | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Special Permit Zone certification letter (flood zone) |
| | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Fire sprinkler system plans (2 sets) |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Hydrant fire flow (@ Station #81) |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Grant deed and legal description |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Development Impact Fees |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | PUSD Impact Fees |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | PRPD Impact Fees |
| | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | PID water service clearance |
| | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Butte County Environmental Health clearance |
| | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Construction & Demolition Recycling Plan |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Plans on CD | | |
| <i>Tony Lindsey, Building Official & Fire Marshal</i> | | | | | |
| Engineering | 7/13/23 | No Comment | | | |
| <i>David Kehn, Capital Projects Manager</i> | | | | | |
| Onsite / Wastewater | | A complete evaluation of the system is required | | | |
| <i>Bob Larson, Town Onsite Official</i> | | | | | |



Town of Paradise
 Community Development Department
 6295 Skyway
 Paradise, CA 95969
 (530) 872-6291

| Planning | 7/13/23 | <table border="1"> <thead> <tr> <th>I</th> <th>F</th> <th>na</th> <th></th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>Design review (sign / architectural)</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Entitlement (Admin permit/Site Plan Rev/Cond. Use Pmt)</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>Tree removal permit</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>Tree hearing (5-30 minor, 31+ major)</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>Landscape plan (\$318.20)</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>Tree preservation/protection plan (\$106.07)</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>Offsite parking review (\$176.07)</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>Address assignment</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td></td> </tr> </tbody> </table> | I | F | na | | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Design review (sign / architectural) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Entitlement (Admin permit/Site Plan Rev/Cond. Use Pmt) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Tree removal permit | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Tree hearing (5-30 minor, 31+ major) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Landscape plan (\$318.20) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Tree preservation/protection plan (\$106.07) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Offsite parking review (\$176.07) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Address assignment | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p style="text-align: center;">PLANNING</p> | |
|-------------------------------------|--------------------------|--|--|---|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------------------|-------------------------------------|--------------------------|--------------------------|--|--------------------------|--------------------------|-------------------------------------|---------------------|--------------------------|--------------------------|-------------------------------------|--------------------------------------|--------------------------|--------------------------|-------------------------------------|---------------------------|--------------------------|--------------------------|-------------------------------------|--|--------------------------|--------------------------|-------------------------------------|-----------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------|--------------------------|--------------------------|--------------------------|--|--|--|
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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Tree removal permit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Tree hearing (5-30 minor, 31+ major) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Landscape plan (\$318.20) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Tree preservation/protection plan (\$106.07) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Offsite parking review (\$176.07) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Address assignment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Police department | | <p style="text-align: center;">No Comment</p> <p style="text-align: center;">Eric R. Reinbold – Chief of Police</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Paradise Irrigation District | 7/13/23 | <p style="text-align: center;">CONDITIONS PRIOR TO PERMIT FINAL:</p> <p>APN 050-180-023 was previously served through a 1" metered service connection. At the time of this response the water quality advisory has not been lifted at the service lateral, however the main serving the lateral has been tested and found to be potable. A service lateral replacement and backflow requirements are required at this parcel to lift the water quality advisory. The service lateral will be replaced in its previous location unless otherwise determined by PID. Contact PID if the planned development or code upgrades prompt any size upgrades to the meter, service, or backflow. Costs for any necessary upgrades are the responsibility of the property owner. It is recommended that the customer contacts PID early on in their process or once a building permit is issued for this property. Please contact the PID office at 530-877-4971 for questions or assistance in establishing potable water service.</p> <p style="text-align: center;">Blaine Allen, PID District Engineer.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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NOTICE OF EXEMPTION

TO: File – [PL23-00106]; AP No. 050-180-023-000
FROM: Town of Paradise, Community Development Department,
Planning Division, 5555 Skyway, Paradise CA 95969

PROJECT TITLE: Ely Site Plan Review Permit

PROJECT APPLICANT: Ely Marshall

PROJECT LOCATION: 1694 Wagstaff Rd , Paradise CA 95969

PROJECT DESCRIPTION: Proposed use to reestablish a legal non-conforming 2-bedroom residence destroyed in the Camp Fire. The property has a neighborhood commercial zoning which does not support building a single-family residence without a use permit. The new residence is proposed at 1,259 sq ft.


APPROVING PUBLIC AGENCY: Town of Paradise

PERSON OR AGENCY CARRYING OUT PROJECT: Applicant & Owner: Marshall Ely

EXEMPT STATUS: General Rule Exemption (Section 15061)
 Ministerial (Section 15268)
 Emergency Project (Section 15269)
 Categorical Exemption
Section 15302; Class 2

REASON FOR EXEMPTION: Reconstruction or Replacement.

CONTACT PERSON: Susan Hartman, Planning Director
(530) 872-6291

SIGNATURE: 

Planning Director

Date: July 12, 2023

**TOWN OF PARADISE
APPLICATION FOR CONDITIONAL USE PERMIT**

Applicant Marshall Ely Phone 530-566-7141

Applicant's Mailing Address 1698 Wagstaff Rd Paradise, ca 95969

Applicant's email address Southhillmikesbeglobal.net Fax N/A

Applicant's Interest in Property (Owner, Lessee*, Other*) Owner

*If applicant is NOT the property owner, the owner's signature or owner-signed letter of authorization MUST accompany this application.

Owner's Name _____ Phone _____

Owner's Mailing Address _____

Property Address 1694 Wagstaff Rd Parcel Size _____

Engineer (Name, Address) _____

Engineer Phone _____ Fax _____ Email _____

AP Number(s) 050-181-023 Zone NC Existing Use VACANT (PREVIOUS SPR)

Detailed project description: (attach additional sheets if necessary) REBUILD A 2-BDRM RES ON NC ZONED PROPERTY

Purpose of project: SITE WATCHMAN (FOR LUMBER YARD)

Radial distance to the nearest billboard _____

Sq. ft. of proposed structure/project _____ Approx. no. yards of cut/fill _____

Percentage increase in area of structures on site (example: A 250 sq. ft. addition to a 1,000 sq. ft. building = 25%) _____

Distance to nearest fire hydrant _____ Distance from centerline _____

Days/hours of operation: Days _____ Hours _____ Proposed no. of employees _____

Residential Density _____ Max. occupancy _____ Max. height of proposed structure/project _____

Describe exterior design and exterior finish (Attach additional sheet(s) if necessary.): _____

Method of sewage disposal? EXISTING SEPTIC SYSTEM

Is the proposed project site considered sensitive for archaeological resources? Yes _____ No _____ (Please consult staff.)

NOTE: IF YES, PLEASE SUBMIT PAYMENT OF FEES TO "NORTHEASTERN INFORMATION CENTER" FOR ARCHAEOLOGICAL RECORDS INVENTORY SEARCH.

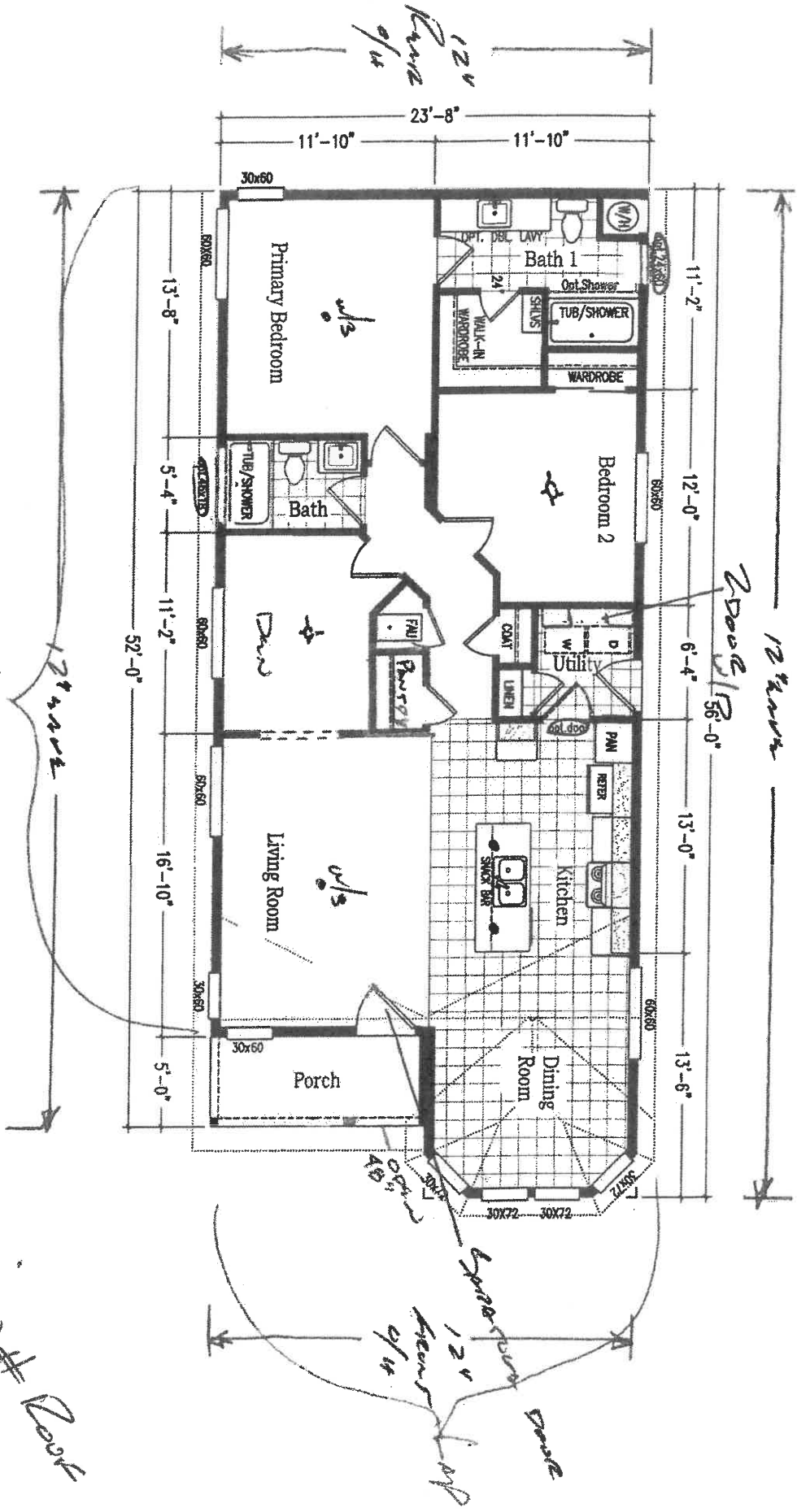
I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE STATEMENTS AND ATTACHED PLOT PLAN ARE TRUE, ACCURATE, COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Applicant's Signature Marshall Ely Date 5/25/2023

Property Owner Signature _____ Date _____
(If applicable)

PLEASE ALLOW 6-8 WEEKS FOR PROCESSING; LONGER IF THE PROJECT IS SUBJECT TO ENVIRONMENTAL REVIEW.

NOTE: By signing this application form, the applicant is indicating that the project site is not included on any state or local list of hazardous waste sites compiled pursuant to California Government Code Section 65962.5, effective July 1, 1987.



MORRO BAY

CSH24563D

1212/1259 SQUARE FEET



Because our company has a continuous product update process, specifications, floor plan lay-out and dimensions shown on this literature are subject to change without notice or obligations. Construction and design specifications as well as features identified are conceptual, therefore should not be used as actual construction data, and may not be offered in all series or models. Our Retailer will provide accurate, up-to-date information on available options and specifications for your home.

11/15/23

10/23/23

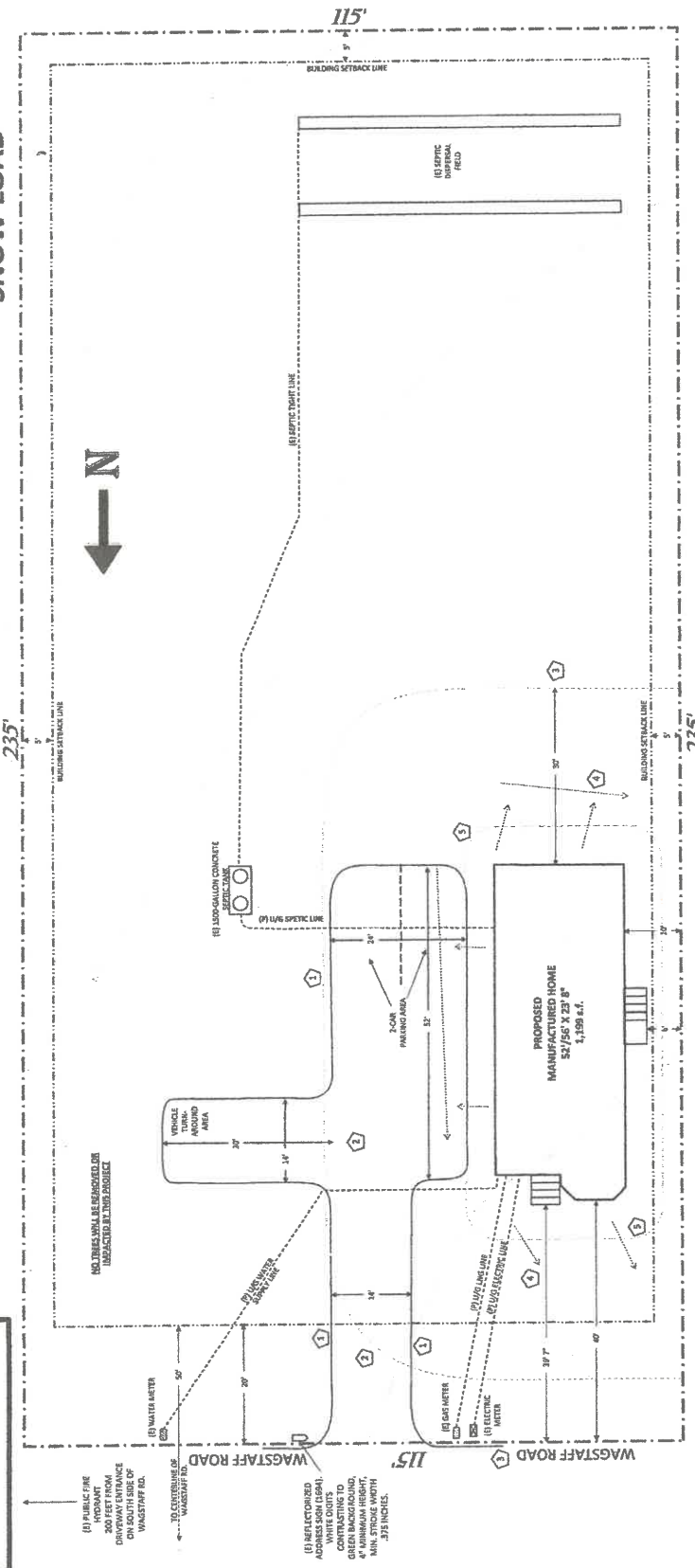
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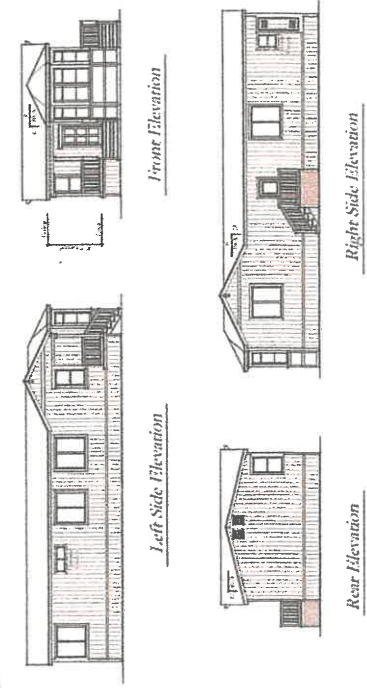
PROPOSED SITE PLAN

**30# GROUND
SNOW LOAD**

**NOT AN OFFICIAL SURVEY
NOT FOR SURVEY PURPOSES**



1 SITE DETAIL
SCALE 1" = 10'



2 ELEVATIONS
SCALE 1" = 10'

SCOPE OF WORK
NEW MANUFACTURED HOME TO REPLACE BURNED-DOWN HOME
PRIORITY UTILITIES, SINGLE STORY
PROPOSED STRUCTURE HEIGHT: 15 FEET
GRAVING NO MORE THAN 25 CUBIC YARDS OF NATIVE SOIL WILL BE GRADOSTRURED
FOR UTILITY TRENCHING PURPOSES.

SHEET INDEX
S1 PROPOSED SITE PLAN AND STRUCTURE
ELEVATIONS

DESIGN CRITERIA
SEISMIC ZONE D
WIND SPEED 140 MPH
CHARACTERISTICS: 1,500 LB.
WIND ZONE 1
OCCUPANCY GROUP: R-3
ZONING: A1-3

APPLICABLE CODES
2022 Edition California Building Code
2022 Edition California Fire Code
2022 Edition California Electrical Code
2022 Edition California Mechanical Code
2022 Edition California Plumbing Code



SQUARE FOOTAGE

| | |
|---------------|-------|
| LIVING | 1,199 |
| COVERED PORCH | 71 |
| DECK & STAIRS | "A" |
| GARAGE | N/A |
| BASEMENT | N/A |
| STORAGE | N/A |
| UNFINISHED | N/A |

LEGEND

(E) = EXISTING
(P) = PROPOSED
U/G = UNDERGROUND
O/H = OVERHEAD
C.C. = ON CENTER
CL = CENTER LINE

NOTES:

- Fuel Modification Area: 10' from both driveway edges. Vertical clearance shall be maintained at 15 feet minimum measured from the outside edge of shoulder.
- Gravel driveway over existing graded unfinished driveway, 14" min. width, Class II Gravel or equivalent, 40,000 lb. load rating, sloped to drain off edges, cross-slope 2% minimum fall, 3-foot shoulders. Per Town of Paradise Road Standard A-1. Overall driveway length 300 feet with clear line of sight to home.
- Wildland Urban Interface: Designable Space Requirement: 30' and 100' from structures (up to property line), Per CBC 337.1.5.
- Stormwater Management—Finish grade to provide 5% slope away from structure for a minimum of 10 feet, as denoted by:
- Grading NOTE: No significant grading will be performed. Slope for drainage away from home will be obtained with imported, graded and compacted Class II road base. Manufactured home and underpinnings will be installed above grade. Approximately 20 cubic yards to be excavated and returned for U/G utility extensions.

Project Name: Ely Family Trust
APN: 050-180-023
Project: New Manufactured Home

SITE ADDRESS:
1634 Wagastraff Rd,
Paradise, CA 95969
SCALE: N/A
SHEET: S1

PROPERTY OWNER:
Michael & Barbara Ely
13700 Wagon Wheel Hwy
Azusa, CA 91703
561-885-4683



Town of Paradise
Planning Commission Agenda Summary **Agenda Item: 5(b)**
Date: August 15, 2023

ORIGINATED BY: Nick Bateman, Associate Planner
REVIEWED BY: Susan Hartman, Community Development Director

SUBJECT: Review of the Bartok Site Plan Review Permit Application (PL23-00110) requesting Planning Commission approval to rebuild a single-family residence in the Neighborhood Commercial zoning district.

COMMISSION ACTION REQUESTED:

1. Adopt findings of approval and approve the Bartok Site Plan Review Permit application (PL23-00110) to allow the reconstruction of a single-family residence on a Neighborhood Commercial zoned property.

General information:

Applicant: Joseph Bartok
1197 Arlene Way
Paradise, CA 95969

Location: 1197 Arlene Way, Paradise

Purpose: To rebuild a single-family dwelling.

Present Zoning: "N-C" Neighborhood Commercial

General Plan Designation: "N-C" Neighborhood Commercial

Existing Land Use: Vacant lot. The property previously held an identical land use (single family residence) that was destroyed in the 2018 Camp Fire.

Surrounding Land Use:

| | |
|--------|---|
| North: | Parcel sharing the NC zoning and Skyway, a public street. |
| East: | A residentially zoned parcel |
| South: | Arlene Way, a private road, and two parcels, one with a residential zoning and another sharing the NC zoning. |
| West: | Skyway, a public street |

Parcel Size: ±0.32 acres

CEQA Determination: Categorically Exempt – CEQA Section 15302, Class 2

Other: An appeal of the Planning Commission's decision can be made within seven (7) days of the decision date.

Background:

The permit applicant, Joseph Bartok, requests Site Plan Review Permit approval from the Town of Paradise to rebuild a two-bedroom single family dwelling. The property is currently vacant after the previously existing home burned in the 2018 Camp Fire. The previous residence was built in 1973, prior to the Town's incorporation. When the home was originally constructed, no planning entitlement was required. Upon subsequent adoption of the Town's zoning ordinance, single-family residences in the Neighborhood Commercial zone became subject to land use entitlement thereby making the previously existing residence legal non-conforming.

The +/-0.32-acre parcel contains no structures but retains the septic infrastructure from the 2-bedroom home lost in the 2018 Camp Fire. The project site is in the Neighborhood Commercial zoning district, abbreviated as "N-C". Access to the site is provided by Arlene Way, a private road.

Surrounding land uses include several parcels sharing the neighborhood commercial (NC) zoning as well as parcels with the Town Residential zoning with a ½ acre minimum. The property is bordered by Skyway to the west. Across Skyway, there are several properties with a community services (CS) zoning. One neighboring residence on Arlene survived the fire and another residence is being rebuilt across Skyway. Overall, the neighborhood has a residential character and is recovering.

Analysis:

The proposed structure is considered a single-family land use. This land use is permitted in the Neighborhood Commercial zoning district with approval of a site plan review permit. The applicant, Joseph Bartok, applied for this site plan review permit on July 13, 2023.

The project has received favorable responses from the commenting agencies and is proposed in a location that appears to be reasonable for a single-family dwelling due to its proximity to residential zoning.

Environmental Review:

This project can be found exempt from CEQA under Section 15302, Class 2, *Replacement or Reconstruction*. This project consists of the rebuilding of a single-family dwelling. This reconstruction is like for like, meaning no substantial changes to the pre-fire residence are proposed.

Recommendation:

Adopt the required findings for approval as provided by staff and approve the Bartok Site Plan Review permit application (PL23-00110) to allow the construction of the proposed single-family residence.

Required Findings for Approval:

- a. Find that the proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Class 2) of the

CEQA guidelines.

- b. Find that the project, **as conditioned**, is compatible with surrounding land uses and would not be detrimental to the health, safety, and general welfare of the residents of the Town of Paradise.
- c. Find that, **as conditioned**, approval of the Bartok Site Plan Review Permit can be found to be consistent with Title 17 of the Paradise Municipal Code and the goals and land use policies of the current 1994 Paradise General Plan.

GENERAL CONDITIONS

- 1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.
- 2. Pay any applicable development impact fees prior to issuance of building permits for project construction in accordance with Paradise Municipal Code requirements.
- 3. Development on the property shall comply with the site development regulations outlined in Paradise Municipal Code (PMC) Section 17.20.400.

CONDITIONS TO BE MET PRIOR TO ISSUANCE OF BUILDING PERMIT(S)

Construction codes

- 4. Complete the requirements of the Town Building Official & Fire Marshal regarding submittal of construction plans, building permit application, and all applicable town adopted construction code requirements.
- 5. Meet the requirements of PMC Section 8.58.060 including the use of noncombustible materials within 5 feet of the proposed structure.

Grading and Drainage

- 6. If disturbing more than 50 cubic yards of soil outside of the building footprint, secure a grading permit and meet the requirements of the Engineering Division.
- 7. Submit Erosion and Sediment control plan for review by the Engineering Division.

Site Development

- 8. Submit a site plan to the Engineering Division for approval **prior to** building permit issuance (site plan must show all grading as required per Town Municipal Code Section 15.02.150.1 - Section J104.2, including, but not limited to: finished floor, finished grade, contours, slopes, limit of grading, cut/fill, grades, etc.). Show slopes and limits of grading near building (include flow direction arrows, slope percentage, what is existing, and delineate any cut/fill).

CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND CERTIFICATE OF OCCUPANCY

Utilities

9. Meet the requirements of the Paradise Irrigation District (PID) regarding any required water meter upgrade and backflow prevention assembly, in accordance with the written comments from PID staff dated July 14, 2023, and on file with the Town Development Services Department.
10. Provide evidence that the Paradise Irrigation District water advisory has been lifted for the property.

Site Development:

11. Approved numbers or addresses shall be placed on the building above the doorway, or in such a position as to be visible from the street or road fronting the property.

**LIST OF ATTACHMENTS FOR BARTOK SITE PLAN REVIEW PERMIT APPLICATION
(PL23-00110)**

1. Project site vicinity map
2. Notice sent to surrounding property owners for the August 15, 2023, public hearing.
3. Mailing list of property owners notified of the August 15, 2023, public hearing.
4. Summary of development review comments received.
5. Notice of Exemption document for the Bartok Site Plan Review project
6. Site Plan Review Permit application submitted by Joseph Bartok
7. Project floor plan and site plan



APPLICANT: Joseph Bartok

1197 Arlene Way

OWNER: Joseph Bartok

PROJECT DESCRIPTION:

Planning Commission consideration of a site plan review permit application proposing the rebuild of a single-family residence on a 0.32-acre property zoned Neighborhood Commercial (NC).

ZONING: NC

GENERAL PLAN: NC

FILE NO. PL23-00110

ASSESSOR PARCEL NO. 051-132-115

MEETING DATE: 08/15/2023

NOTICE OF PUBLIC HEARING: PARADISE PLANNING COMMISSION

NOTICE IS HEREBY GIVEN by the Planning Commission that a public hearing will be held on **Tuesday, August 15, 2023 at 6:00 p.m.** in the Town Hall Council Chambers, 5555 Skyway, Paradise, CA, regarding the following project:

a. Item to be determined to be exempt from environmental review:

Bartok Site Plan Review Permit Application (PL23-00110): Planning Commission consideration of a site plan review permit application proposing the rebuild of a single-family residence on a property zoned Neighborhood Commercial (NC). The project site is a 0.32-acre property located at 1197 Arlene Way, Paradise and further identified as Assessor Parcel No. 051-132-115.

The project file is available for public inspection at the Town of Paradise Building Resiliency Center, 6295 Skyway, Paradise, CA 95969. If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Planning Division at (530) 872-6291, extension 423.

SUSAN HARTMAN
Planning Director

051-132-114-000
Bartok Joseph A
Po Box 2336
Paradise Ca 95967

051-132-115-000
Bartok Joseph A
Po Box 2336
Paradise Ca 95967

051-102-010-000
Mittag Penelope Ann
928 Wagstaff Rd
Paradise Ca 95969

051-104-025-000
Higgins Gregory & Judy
6280 Co Rd 18
Orland Ca 95963

051-104-026-000
Morgan Dale A
6563 Montna Dr
Paradise Ca 95969

051-104-167-000
Jensen Susie
1270 Incline Dr #1
Lincoln Ca 95648

051-104-172-000
Tapper Jb Living Trust
C/O Tapper John V & Barabra A Trustees
12818 Cresthaven Dr
Groveland Ca 95321

051-132-038-000
Vollmer Derek
8466 Skyway
Paradise Ca 95969

051-132-042-000
Newport Federal
4425 Jamboree Rd Ste 250
Newport Beach Ca 92660

051-132-044-000
Town Of Paradise
5555 Skyway
Paradise Ca 95969

051-132-059-000
Howard Shannon James & Erin Rev Inter
Vivos Trus C/O Howard Shannon James &
Erin Trustees
Po Box 1303
Paradise Ca 95969

051-132-070-000
Obrien Terese M
3400 Humming Bird Ln
Denton Tx 76209

051-132-071-000
Lanser Richard J
35594 Clermont Dr
Newark Ca 94560

051-132-096-000
Dunham Athenia Marie
4729 Ward Dr Ne
Salem Or 97305

051-132-099-000
Davis Tommy R & Alicia D
1372 Ringtail Way
Chico Ca 95973

051-132-100-000
Hudgens Violet
Bartok Joseph A
Po Box 2336
Paradise Ca 95967

051-132-104-000
Stukey Florica Etal
7283 S Bennett Cir
Gold Canyon Az 85118

051-132-105-000
Foley Florica Rev Trust
C/O Foley Florica Trustee
7283 S Bennett Cr
Gold Canyon Az 85118

Bartok

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

Paradise Irrigation District
6332 Clark Road
Paradise, CA 95969

Paradise Recreation & Park Dist.
6626 Skyway
Paradise, CA 95969

Paradise Ridge Chamber of
Commerce
6161 Clark Road Ste. 1
Paradise, CA 95969

Paradise Board of Realtors
6161 Clark Road Ste. 2
Paradise, CA 95969

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem St.
Chico, CA 95928

Butte County Planning
Courier

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.
629 Entler Ave., Suite 15
Chico, CA 95928

Butte Environmental Council
313 Walnut St., Ste. 140
Chico, CA 95928

BARTOL



Town of Paradise Department Responses

| PL23-00110 | Bartok Site Plan Review Permit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-------------------------------------|--------------------------------|--|--|---|----|-------------|--------------------------|--------------------------|-------------------------------------|---|--------------------------|--------------------------|-------------------------------------|----------------|-------------------------------------|--------------------------|--------------------------|----------------------|--------------------------|--------------------------|-------------------------------------|-------------------------------|-------------------------------------|--------------------------|--------------------------|----------------------|--------------------------|--------------------------|-------------------------------------|---|-------------------------------------|--------------------------|--------------------------|---------------------------------|--------------------------|--------------------------|-------------------------------------|---|--------------------------|--------------------------|-------------------------------------|--|--------------------------|--------------------------|-------------------------------------|--|--------------------------|--------------------------|-------------------------------------|----------------------------|--------------------------|--------------------------|-------------------------------------|---|
| Commenting Department | Date received | Comment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Building | 7/26/23 | <p><i>“The project shall comply with current California Building Standards at time of submittal.”</i></p> <p>Tony Lindsey, Building Official</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Engineering | 7/25/23 | <p>The below table refers to issuance of a building permit and final/occupancy I = Required for Issuance F = Required for Project Final na = Not applicable</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-bottom: 10px;"> <thead> <tr> <th style="width: 5%;">I</th> <th style="width: 5%;">F</th> <th style="width: 5%;">na</th> <th style="text-align: center;">ENGINEERING</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Encroachment permit (must be licensed and bonded)</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Grading permit</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td>Erosion control plan</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Onsite civil improvement plan</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td>Engineered site plan</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Stormwater Post Construction Plan (Regulated / Small)</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td>Erosion & Sediment Control Plan</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Lot merger application (\$645.46 deposit)</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Lot line adjustment application (\$1,129.55 deposit)</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Covenant agreement (deferral of frontage improvements)</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Dedication of right-of-way</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td>Parking within street setback review (\$322.73)</td> </tr> </tbody> </table> <p>“Engineering Comments on Admin Permit 7/25/23 Conceptually Approved</p> <ol style="list-style-type: none"> 1. <i>Site Plan conceptually approved. For Building Permit issuance; Site Plan required per PMC 15.02.150 (finished floor, finished grade, site grading, slopes, contours, overland release, etc.) including CBC requirements of 5% away on landscape for 10’ and 2% away on hardscape for 5’.</i> 2. <i>Portions of the site contain the Town’s Special Permit Zone. Additional review and discretionary approvals may be required based on impacts to the upstream or downstream drainageways (see PMC 8.55.035 and 15.02.140). See attached Parcel Flood Report.</i> 3. <i>Erosion and Sediment Control Plan required for Building Permit issuance (https://www.townofparadise.com/pwe/page/stormwater-management-program)</i> 4. <i>Please be advised that Arlene Way is a private street. The applicant is made aware that they may be required to obtain approval from property owners who have a legal right to Arlene Way for approval prior to construction in the private roadway, as applicable and that</i> | I | F | na | ENGINEERING | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Encroachment permit (must be licensed and bonded) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Grading permit | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Erosion control plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Onsite civil improvement plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Engineered site plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Stormwater Post Construction Plan (Regulated / Small) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Erosion & Sediment Control Plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Lot merger application (\$645.46 deposit) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Lot line adjustment application (\$1,129.55 deposit) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Covenant agreement (deferral of frontage improvements) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Dedication of right-of-way | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Parking within street setback review (\$322.73) |
| I | F | na | ENGINEERING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Grading permit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Erosion control plan | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Erosion & Sediment Control Plan | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| | | |
|-------------------------------------|---------|---|
| | | <p>there may be existing maintenance agreements or cost sharing requirements for the public road (the Town has no jurisdiction over the private road, but requirements may apply).</p> <p>Engineering Requirements Prior to Building Permit Issuance</p> <ol style="list-style-type: none"> 1. Site Plan required per PMC 15.02.150 (finished floor, finished grade, site grading, slopes, contours, overland release, etc.) including CBC requirements of 5% away on landscape for 10' and 2% away on hardscape for 5'. 2. Portions of the site contain the Town's Special Permit Zone. Additional review and discretionary approvals may be required based on impacts to the upstream or downstream drainageways (see PMC 8.55.035 and 15.02.140). See attached Parcel Flood Report. 3. Erosion and Sediment Control Plan required (https://www.townofparadise.com/pwe/page/stormwater-management-program)” <p>David Kehn, Town Engineer</p> |
| Fire | | <p>No comments received. Agency has capacity to serve the project.</p> <p>Tony Lindsey, Fire Marshal</p> |
| Onsite / Wastewater | 7/26/23 | <p>“No Conditions”</p> <p>Bob Larson, Town Onsite Official</p> |
| Paradise Irrigation District | | <p>“APN 051-132-115 was previously served through a 0.75” metered service connection. At the time of the response the water quality advisory has not been lifted at the service lateral, however the main serving the lateral has been tested and found to be potable. A service lateral replacement and backflow requirements are required at this parcel to lift the water quality advisory. The service lateral will be replaced in its previous location unless otherwise determined by PID. Contact PID if the planned development or code upgrades prompt any size upgrades to the meter, service, or backflow. Costs for any necessary upgrades are the responsibility of the property owner. It is recommended that the customer contacts PID early on in their process or once a building permit is issued for the property. Please contact the PID office at 530-877-4971 for questions or assistance in establishing potable water service.”</p> <p>Blaine Allen, PID District Engineer.</p> |

NOTICE OF EXEMPTION

TO: File – [PL23-00110]; AP No. 051-132-115-000
FROM: Town of Paradise, Community Development Department,
Planning Division, 5555 Skyway, Paradise CA 95969

PROJECT TITLE: Bartok Site Plan Review Permit

PROJECT APPLICANT: Joseph Bartok

PROJECT LOCATION: 1197 Arlene Way, Paradise CA 95969

PROJECT DESCRIPTION: Proposed establishment of a single family home land use on property with a neighborhood commercial (NC) zoning.

APPROVING PUBLIC AGENCY: Town of Paradise

PERSON OR AGENCY CARRYING OUT PROJECT: Applicant & Owner: Joseph Bartok

EXEMPT STATUS: General Rule Exemption (Section 15061)
 Ministerial (Section 15268)
 Emergency Project (Section 15269)
 Categorical Exemption
Section 15302; Class 2

REASON FOR EXEMPTION: Replacement or reconstruction.

CONTACT PERSON: Susan Hartman, Planning Director
(530) 872-6291

SIGNATURE: 

Planning Director

Date: August 2, 2023



TOWN OF PARADISE APPLICATION FOR SITE PLAN REVIEW PERMIT

[Project Number (to be filled by town staff): PL ____ - ____]

Applicant JOSEPH BARTOK Email bartokjoseph57@gmail.com
Phone 530-321-5670 Mailing Address 1197 ALLENS WAY PARADISE

Applicant Interest in Property (Owner, Lessee, other) _____
(If applicant is *not* the property owner, the owner's signature or owner-signed letter of authorization *must* accompany this application)

Owner JOSEPH BARTOK Phone 530-321-5670

Owner mailing address 1197 ALLENS WAY PARADISE, CA 95969

Property Address SAME AS ABOVE Parcel Acreage _____

Engineer (Name, Address) _____ Phone _____

Engineer Phone _____ Email _____

AP Number(S) 051-132-115 Zone _____ Existing Use _____

Detailed project description (Attach additional sheets if necessary) _____

Approximate no. yards cut and fill _____

Radial distance to nearest billboard _____ Sq. ft. of proposed structure/project _____

Percent increase in area of structures on site (i.e., a 250 Sq. Ft. addition to a 1,000 sq. ft. building = 25%) _____

Distance to nearest fire hydrant 10 FEET Distance from centerline 30 FEET

Days of operation _____ Hours of operation _____ Proposed no. of employees _____

Residential Density _____ Max. Occupancy _____ Max. height of proposed structure _____

Describe exterior design and finish (attach additional sheets if necessary) _____

Method of sewage disposal SEPTIC

Is the proposed project site considered sensitive for archaeological resources? Yes _____ No _____ (Please consult staff.)

(Note: If yes, please submit payment of fees to the Northeastern Information Center for an archaeological records inventory search)

I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE STATEMENTS AND ATTACHED PLOT PLAN ARE TRUE, ACCURATE, COMPLETE, AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Applicant's Signature Joseph Bartok Date 6-30-23

Property Owner's Signature Joseph Bartok Date 6-30-23
(If applicable)

PLEASE ALLOW 6-8 WEEKS FOR PROCESSING; LONGER IF THE PROJECT IS SUBJECT TO ENVIRONMENTAL REVIEW

Note: By signing this application form, the applicant is indicating that the project site is not included on any State or local list of hazardous waste sites compiled pursuant to California Government Code Section 65962.5, effective July 1, 1987.

GENERAL NOTES

- ALL LUMBER TO BE DOUG FIR #2 AND BETTER, STUDS TO BE STUD GRADE OR BETTER, UNLESS OTHERWISE NOTED.
- ALL BEARING WALL HEADERS TO BE 6X12 DF#2 UNLESS OTHERWISE NOTED.
- ALL CEILINGS TO BE 8'-0" UNLESS OTHERWISE NOTED.
- INSULATE AT TUB AND SHOWER EXTERIOR WALLS BEFORE NAILING UP SIDING
- SEE TITLE SHEET FOR ADDITIONAL NOTES
- BLOCK FOR TOWEL BARS
2X8 BLOCKING AT BATH FOR GRAB BARS
- WINDOW AND SLIDING GLASS DOOR OPENINGS ARE PER CALL-OUT. DOOR OPENINGS ARE CALL-OUT PLUS 2".
- SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE
- BOND ALL METAL GAS & WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE (CEC 250.104)

DESIGN CRITERIA

ROOF DEAD LOAD: 20# PER SQ. FT.
ROOF LIVE LOAD: 20# PER SQ. FT.
DESIGN WIND SPEED: 95 MPH. EXPOSURE B
SEISMIC DESIGN PARAMETERS: CATEGORY D
FOUNDATION/SOIL DESIGN PARAMETERS: SOIL SITE CLASS S
ALLOWABLE BEARING PRESSURE: 1500 PSF

SHOWER NOTES:

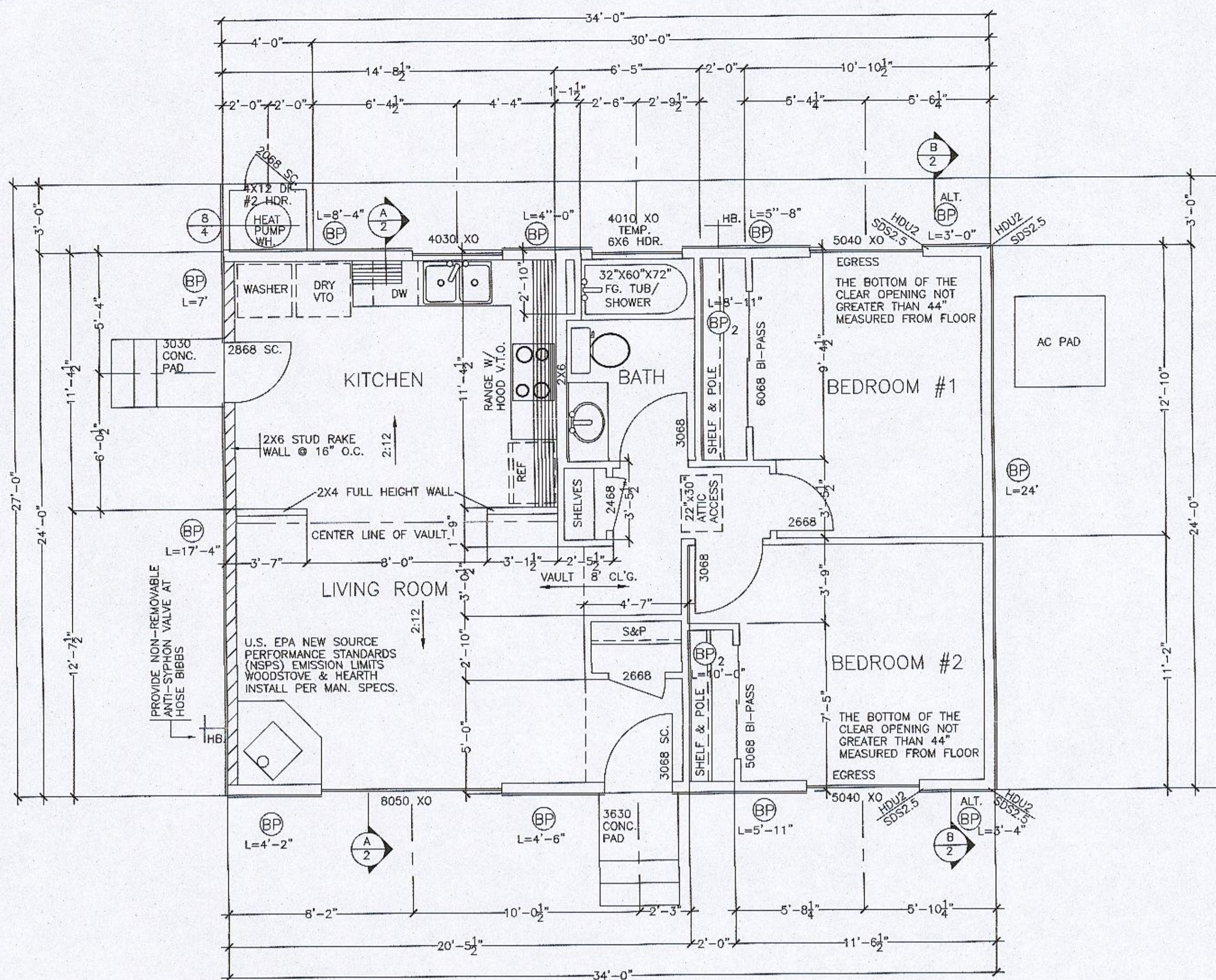
- THE MIN. FINISHED INTERIOR AREA OF A SHOWER NEEDS TO BE AT LEAST 1024 SQ. IN. WITH A MIN. DIMENSION OF 30". THE SHOWER AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET. THE SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72".
- THE BASE FOR ADHESIVE APPLICATION OF WALL TILE OR OTHER NON ABSORBENT FINISH MATERIAL IN TUB AND SHOWER AREAS SHALL COMPLY WITH ASTM C 1178, C1278 OR C 1396. USE OF WATER RESISTANT GYP. BOARD IS PERMITTED ON CEILINGS WITH FRAMING O.C. 12" FOR 1/2" THICK AND 16" O.C. FOR 5/8" THICK. WATER RESISTANT GYP. BOARD SHALL NOT BE USED OVER A CALSS I OR II VAPOR BARRIER IN TUB OR SHOWER COMPARTMENTS. CRC R702.3.8

NOTE: ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CPC SECTION 150.0(j)2.vi.

NOTE: ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CPC SECTION 150.0(j)2.vi.

NOTE: ALL EXHAUST DUCTS SHALL TERMINATE AT LEAST 3 FEET FROM ANY OPENINGS INTO THE BUILDINGS.

NOTE: THE WATER SYSTEM SHALL BE PROVIDED WITH AN APPROVED, LISTED, ADEQUATELY SIZED COMBINATION TEMPERATURE AND PRESSURE-RELIEF VALVE, OR CHECK THE MANUFACTURE'S INSTALLATION INSTRUCTIONS FOR THE INSTANTANEOUS WATER HEATER DOES NOT REQUIRE A TEMPERATURE OR PRESSURE-RELIEF VALVE. ADDITIONALLY, EACH COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE SHALL BE PROVIDED WITH A DRAIN IN ACCORDANCE WITH CPC. 698.5.



FLOOR PLAN

HOUSE: 816 SQ. FT.
W.H. CLOSET: 10.5 SQ. FT.

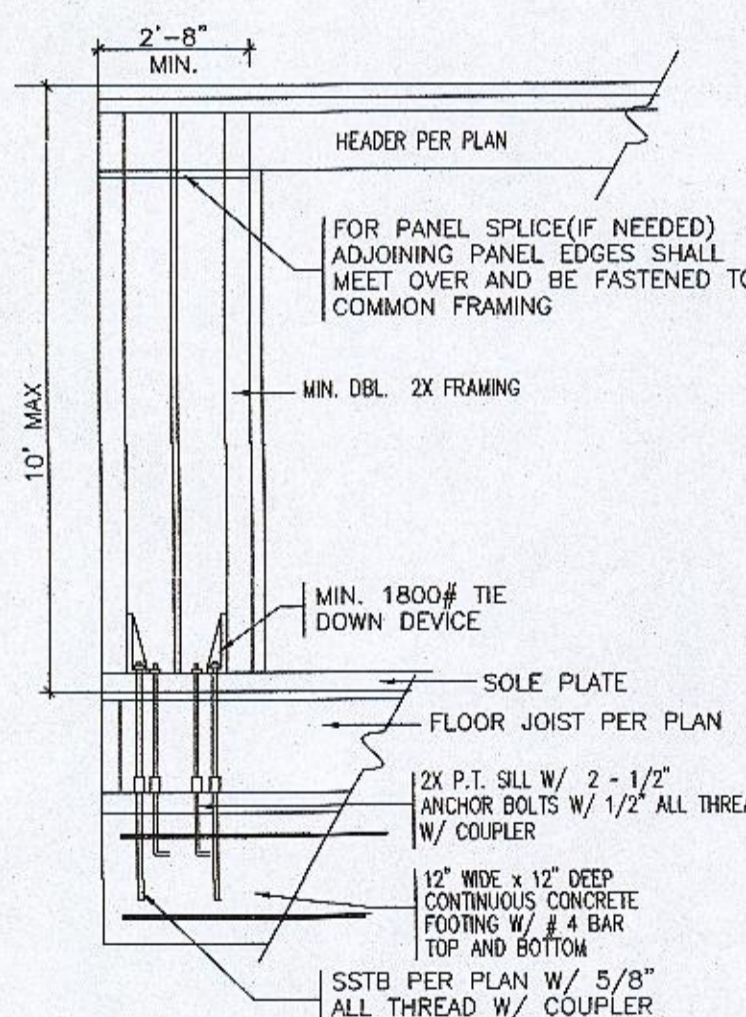
WUI NOTES

- PRIOR TO BUILDING PERMIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIF. FIRE CODE SECTION CRC R3371.5.
- WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRE STOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72# MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3908 INSTALLED OVER THE COMBUSTIBLE DECKING. CRC R337.5.2.
- WHEN PROVIDED, VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019 INCH NO. 26 GAGE GALV. SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72# MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909. A MINIMUM OF 36" WIDE RUNNING THE FULL LENGTH OF THE VALLEY. CRC R337.5.3.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. CRC R337.5.4.
- ROOF, ATTIC AND UNDERFLOOR VENTS SHALL BE DESIGNED TO RESIST THE INTRUSION OF FLAME AND EMBERS THROUGH THE VENTILATION OPENINGS. THE VENTS SHALL BE LISTED ON FIRE MARSHAL WEBSITE OR LISTED TO ATSM STANDARD PER CRC JULY 1ST 2021 ERRATA.
- EAVE OR CORNICE VENTS SHALL NOT BE INSTALLED UNLESS THEY ARE DESIGNED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA, OR IF THE ATTIC SPACE BEING VENTED IS FULLY SPRINKLERED. CRC R337.6.3.
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS IN DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257. CRC R337.8.2.1.
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1.375 INCHES THICK WITH INTERIOR PANELS NO LESS THAN 1.25 INCHES THICK OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. CRC R337.8.3.
- EXTERIOR WALLS: THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL, OR HEAVY TIMBER OR LOG WALL CONSTRUCTION. CRC R337.7.3.
- EXTENT OF EXTERIOR WALL COVERING: EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, TERMINATING AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR TERMINATING AT THE ENCLOSURE OF ENCLOSED EAVES. CRC R337.7.3.1.
- OPEN ROOF EAVES: THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF NONCOMBUSTIBLE MATERIAL, OR IGNITION-RESISTANT MATERIAL OR 1 LAYER 5/8" TYPE 2" GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK, OR THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK. CRC R337.7.4.
- THE DECKING MATERIAL SHALL BE IN ACCORDANCE WITH CRC SEC. R337.9 AND THE EXTERIOR PORCH CEILINGS ARE TO BE EITHER IGNITION RESISTANT OR NON-COMBUSTIBLE PER CRC SEC. 337.7.6.
- ATTIC GABLE AND EAVES BELOW 12' AND UNDER-FLOOR VENTILATION SHALL BE LISTED ON FIRE MARSHAL WEBSITE OR LISTED TO ATSM STANDARD PER CRC JULY 1ST, 2021 ERRATA.

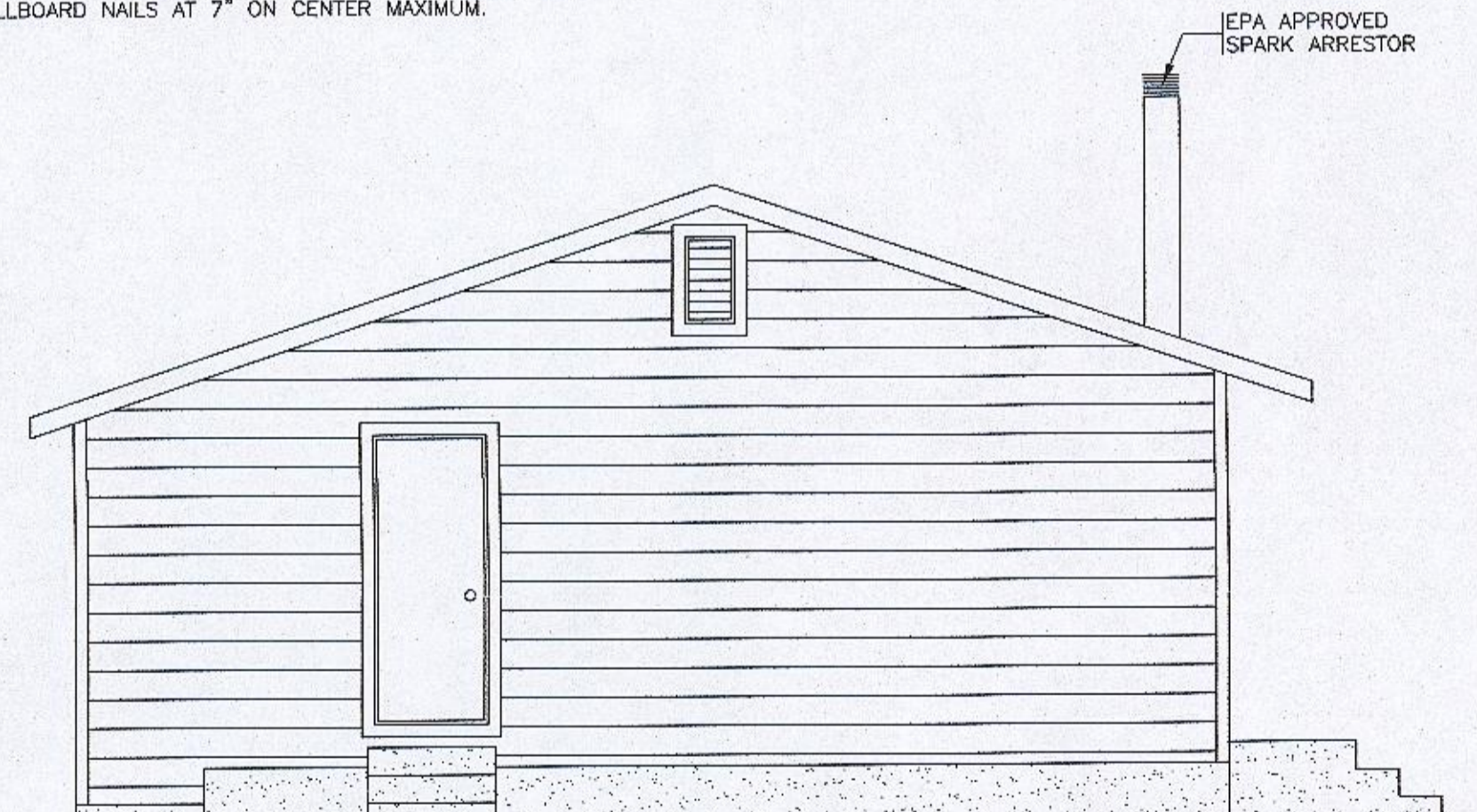
BP MINIMUM 3/8" APA RATED PLYWOOD APPLIED OVER 2X FRAMING AT 16" O.C. WITH 8d (0.113 X 2 3/8") NAILS AT 6" ON CENTER EDGE NAILED, 12" ON CENTER FIELD NAILED, COVERING 3 STUD SPACES.
FLOOR PLATE TO BE ANCHORED WITH MINIMUM 1/2" BY 10" ANCHOR BOLTS 12" FROM THE EDGE AND 6" O.C.
FLOOR PLATE TO BE ANCHORED WITH MINIMUM 1/2" BY 10" ANCHOR BOLTS WITH 3"X3"X0.228" PLATE WASHERS

ALT. BP MINIMUM 3/8" APA RATED PLYWOOD, O.C. CD, WITH 8d(0.113X2 3/8") NAILS AT 6" O.C. EDGE NAILED, 12" O.C. FIELD NAILED ON 2X DOUGLAS FIR FRAMING AT 16" O.C. COVERING A MINIMUM OF THREE STUD SPACES. TWO 1/2" DIA. ANCHOR BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH CRC FIGURE R602.10.6.1 ANCHOR BOLTS SHALL BE PLACED AT PANEL QUARTER POINTS. EACH PANEL END STUD SHALL HAVE A HOLDDOWN CAPABLE OF PROVIDING AN UPLIFT CAPACITY OF 1800 POUNDS.

BP-2 1/2" GYPSUM WALLBOARD, UNBLOCKED, APPLIED TO 2X FRAMING WITH 5d COOLER OR WALLBOARD NAILS AT 7" ON CENTER MAXIMUM.

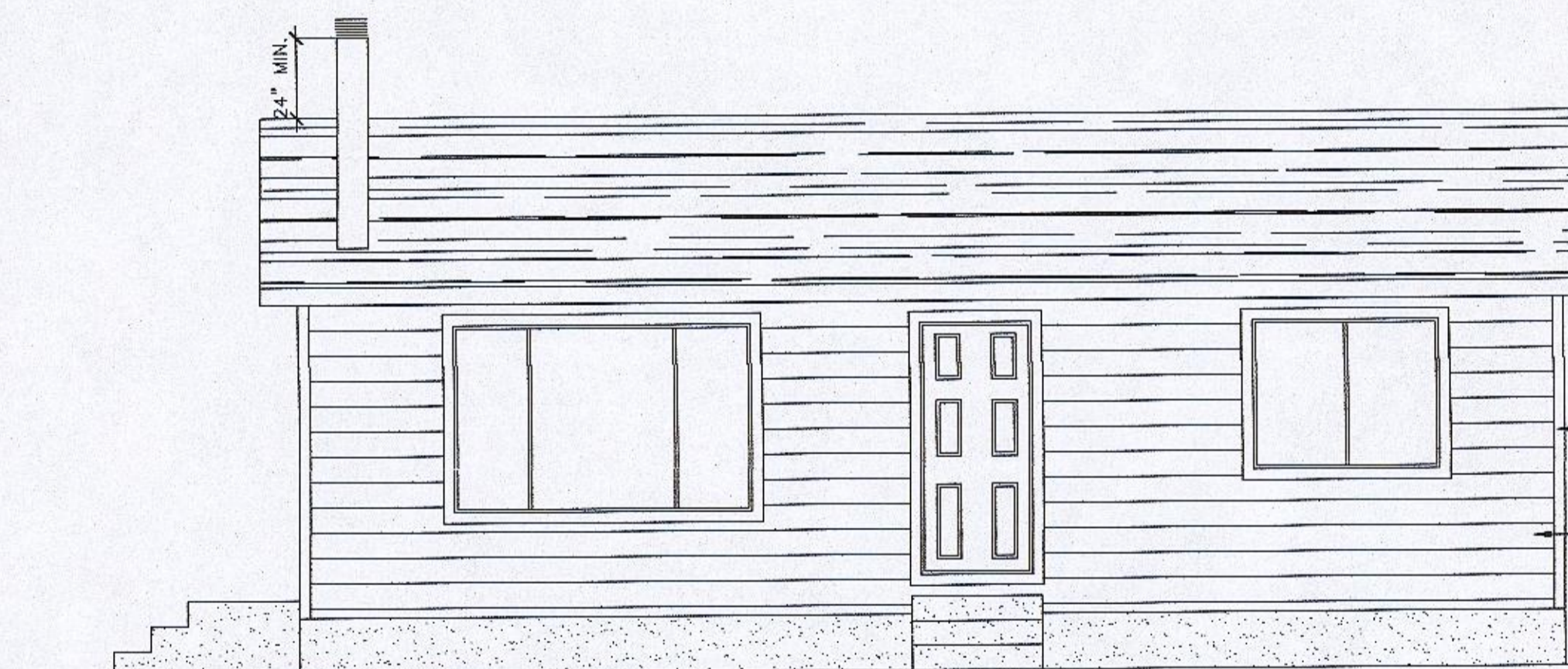


ALTERNATE BRACED WALL PANEL

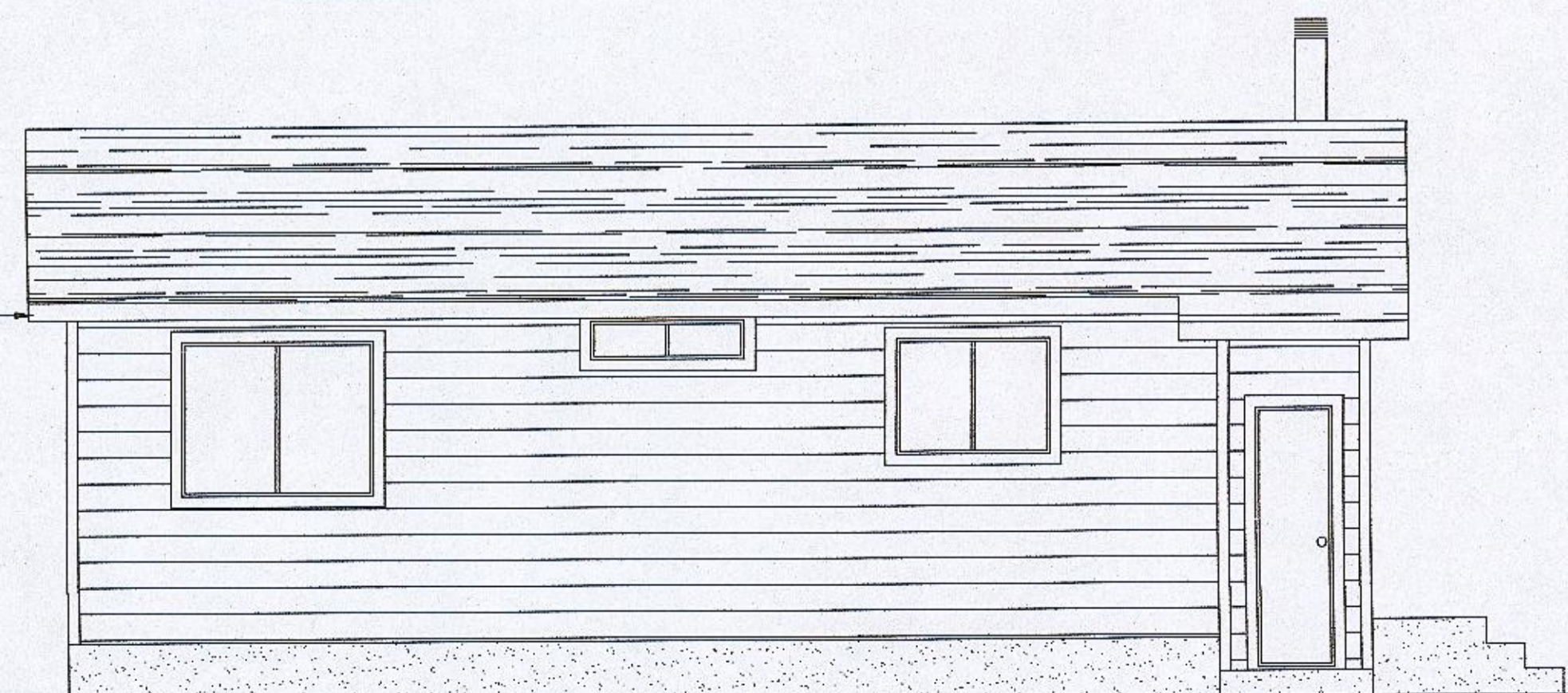


LEFT ELEVATION

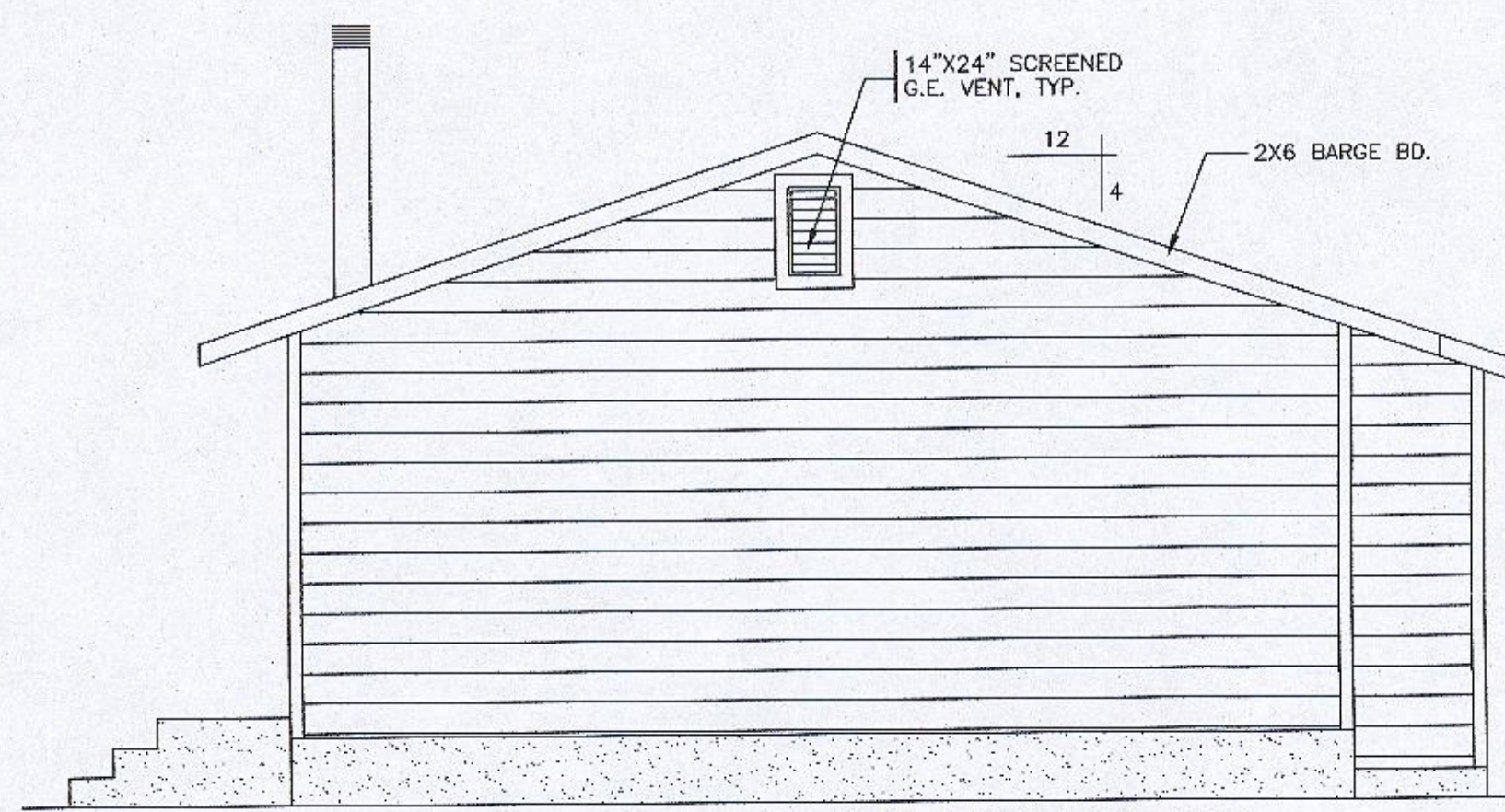
STEPS: 11" MIN. TREAD
7 3/4" MAX. RISE



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

B. Rubanoff

ENDEAVOR HOMES
OROVILLE CALIFORNIA 95965
PO BOX 1947
TELEPHONE (530) 534-0300
FAX (530) 534-5269

A RESIDENCE FOR:
JOE BARTOK
1192 ARLENE WAY
PARADISE CALIF. 95969
A.P.#: 051-132-115
PHONE #: 530-321-5670

DRAWN BY: B. RUBANOFF

CHECKED: BILL WICKLAS

DATE: 4-29-23

SCALE: 1/4"=1'-0"

JOB: BARTOK

SHEET #

1 OF 5

SKY WAY

171.88'

APN 05-132-115-000
 SITE 1197 ALLEN'S WAY
 MAX # BDRMS 2
 MAX SQ FT

DRIVE WAY

SEPTIC 12' FROM HOUSE



34.6'

HOUSE

24'

12'

23'

102.40'

← 1197 ALLEN'S WAY →

172.82'

20' EASTMENT
 MY

150 = 5'



Town of Paradise
Planning Commission Agenda Summary **Agenda Item: 5(c)**
Date: August 15, 2023

ORIGINATED BY: Amber DePaola, Senior Planner
REVIEWED BY: Susan Hartman, Community Development Director
SUBJECT: Skyway Villa Mobile Home Park Conditional Use Permit application (PL23-00076) requesting Planning Commission approval to add eight (8) mobile home spaces to an existing 58-space mobile home park for a total of 66 spaces.

COMMISSION ACTION REQUESTED:

1. Adopt findings and approve the Skyway Villa Mobile Home Park conditional use permit application (PL23-00076) to allow the re-establishment of eight (8) additional mobile home spaces.

General Information:

Applicant: Skyway Value, LLC
25616 Narbonne Ave., Ste 102
Lomita, CA 90717

Location: 7726 Skyway, Paradise, CA 95969

Requested Action: Request for approval of a conditional use permit to re-establish the 8 (eight) additional spaces in a mobile home park that was destroyed in the 2018 Camp Fire. The permit would bring the town-approved spaces from 58-66.

Purpose: To legitimize all spaces in the mobile home park

Present Zoning: "MF" (Multi-Family)

General Plan Designation: "MR" (Multi-Family Residential)

Existing Land Use: Vacant, permitted for storage of manufactured homes through a temporary use permit.

Surrounding Land Use: North: Vacant parcels zoned TR 1 and CC zoning and 1 standing residence
East: Vacant and abandoned railway Right-of-Way.
South: Vacant parcels with MF and CC zoning.
West: Skyway a public street, parcels with CC zoning, and a new warehouse.

Parcel Size: +/-8.75 acres

CEQA Determination: Categorically Exempt – CEQA Section 15302, Class 2 (rebuild)

Other: An appeal of the Planning Commission's decision can be made within seven (7) days of the decision date.

Background:

The permit applicant, Skyway Value, LLC, requests approval of a Conditional Use Permit from the Town of Paradise to re-establish a total of 66 units. The property is currently permitted for storage of manufactured homes under a temporary use permit but is otherwise vacant after being burned in the 2018 Camp Fire.

The +/-8.75-acre parcel contains no structures but retains existing septic infrastructure. While some components of the septic systems may be re-used (depending on capacity and evaluation results), an upgraded system is needed to effectively serve the site. It also contains an existing asphalt driveway with access to the site provided by an encroachment to Skyway, a public street, along the western property line.

Surrounding land uses include vacant residential and commercial parcels to the north as well as one standing home, a vacant parcel with abandoned railway right-of-way to the east, vacant parcels that share the same zoning, as well as commercial zoning to the south, and Skyway running along the west property line with one newly constructed warehouse building and other vacant commercial zoning across Skyway.

Analysis:

The proposed use is considered a multiple-family land use and is appropriate for the Multi-Family ("MF") zoning district. The additional eight (8) units, while not included in a previously expired use permit from 1996, had been established by a previous park owner without benefit of permit from the Town or the State prior to the 2018 Camp Fire. This expansion can be formally established with a Town-approved conditional use permit. The project has received favorable responses from the commenting agencies and is a reasonable request. The design of the proposed project can be found to be consistent with applicable municipal code standards.

Environmental Review:

This project can be found exempt from the California Environmental Quality Act (CEQA) under Section 15302, Class 2, *Replacement or Reconstruction*. This project consists of the establishment and rebuilding of eight (8) mobile home spaces. This establishment and reconstruction is like for like from what was existing prior to the fire and would not add any additional use or square footage than what existed prior to the fire.

Recommendation:

Adopt the required findings for approval as provided by staff and approve the Skyway Villa Mobile Home Park conditional use permit application (PL23-00076) to allow the re-establishment of 66 total spaces at an existing mobile home park.

Financial Impact:

There would be no impact to the Town's General Fund through the approval of the Skyway Villa Mobile Home Park conditional use permit application.

Required Findings for Approval:

- Find that the proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Class 2) of the CEQA guidelines.
- b. Find that, **as conditioned**, approval of the Skyway Villa Mobile Home Park conditional use permit is consistent with the provisions of Title 17 (zoning) of the Paradise Municipal Code as well as the goals and land use policies of the current 1994 Paradise General Plan.
 - c. Find that the project, **as conditioned**, is compatible with surrounding land uses and would not be detrimental to the health, safety, and general welfare of the residents of the Town of Paradise.

GENERAL CONDITIONS

1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.
2. Meet the requirements of Paradise Municipal Code Section 8.58.060 *Defensible space/hazardous fuel management* which regulates combustibles within 5' from a dwelling unit.
3. Any work within the Town right-of-way will require an encroachment permit through the Town of Paradise Engineering Division.

Sanitation

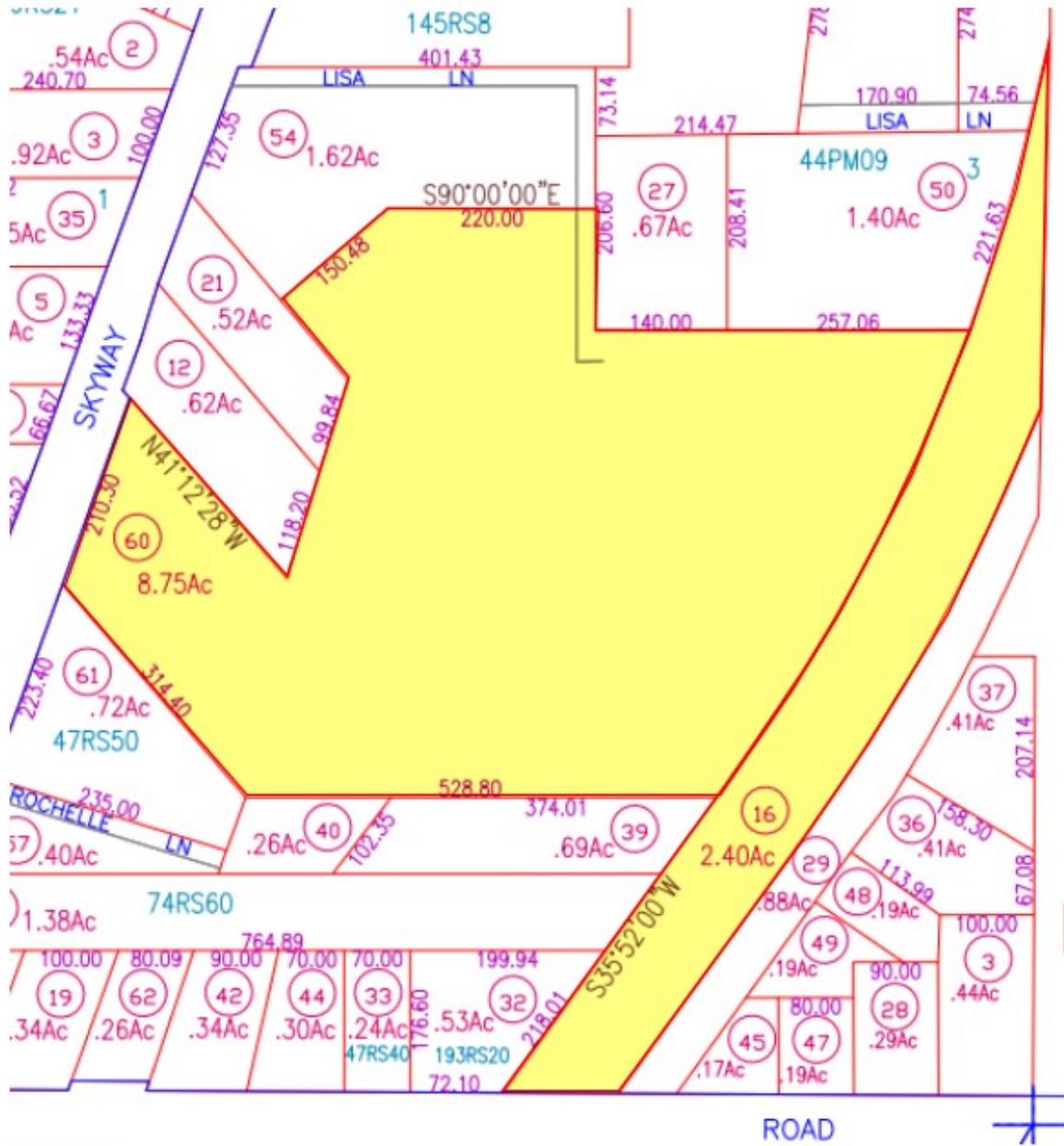
4. Submit a design for review of the repair or replacement of the septic system(s) to adequately serve 66 spaces.

CONDITIONS TO BE MET PRIOR TO HCD FINAL – FORM 514

5. Provide evidence of completion of the required septic system installation and provide a copy of the final as-built to the Town of Paradise Onsite Wastewater Division.
6. Provide evidence that the Paradise Irrigation District water advisory has been lifted for the property to the Town of Paradise Planning Division.
7. Install addresses for each Lot as required by Title 25 and provide a map with the final Lot layout and space addresses to the Town of Paradise Planning Division.

LIST OF ATTACHMENTS:

1. Project site vicinity map.
2. Notice sent to surrounding property owners for the August 15, 2023 public hearing.
3. Mailing list of property owners notified of the public hearing.
4. On-Site Wastewater Division requirement memo.
5. Notice of Exemption document.
6. Conditional Use Permit application submitted by Skyway Value, LLC
7. Project site plan.



APPLICANT: Skyway Value, LLC

OWNER: Skyway Value, LLC

PROJECT DESCRIPTION:

Conditional use permit to grant a 32-space expansion of an existing mobile home park. The property currently has 34 combined mobile home and RV sites.

ZONING: Multi-family (MF)

GENERAL PLAN: MR

FILE NO. PL23-00076

ASSESSOR PARCEL NOS. 051-160-060, -016

MEETING DATE: August 15, 2023

NOTICE OF PUBLIC HEARING: PARADISE PLANNING COMMISSION

NOTICE IS HEREBY GIVEN by the Planning Commission that a public hearing will be held on **Tuesday, August 15, 2023 at 6:00 p.m.** in the Town Hall Council Chambers, 5555 Skyway, Paradise, CA, regarding the following project:

a. Item to be determined to be exempt from environmental review:

Skyway Villa Mobile Home Park Conditional Use Permit Application (PL23-00076) Planning Commission consideration of a request for a conditional use permit to grant an 8-space expansion of an existing mobile home park. The property is currently permitted by the State for 58 combined mobile home and RV sites on a +/-8.75-acre property with an adjoining 2.4-acre property to remain undeveloped. The properties are zoned Multi-Family (MF) and are located at 7726 Skyway and further identified as Assessor Parcel Nos. 051-164-060 & 016.

The project file is available for public inspection at the Town of Paradise Building Resiliency Center, 6295 Skyway, Paradise, CA 95969. If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Planning Division at (530) 872-6291, extension 435.

SUSAN HARTMAN
Planning Director

apn . *skyway*
owner *nlia*
owner2
street_address
city_state_zip

051-164-060-000
SKYWAY VALUE LLC
ATTN JONATHAN SAUL
25616 NARBONNE AVE STE 102
LOMITA CA 90717

051-163-003-000
TRAN QUY MANH ETAL
HOANG HOA
178 YUGEN
IRVINE CA 92618

051-163-005-000
COOK RONALD & SHAUNDRA TRUST
C/O COOK RONALD LEE &
SHAUNDRA D TRUSTEES
3861 ADOBE LN
BUTTE VALLEY CA 95965

051-163-006-000
KARLSTEDT STEVE
PO BOX 1714
MCCALL ID 83638

051-163-008-000
ROPP JOHN C
7707 W VALLEJO RD
BOISE ID 83709

051-163-020-000
KARLSTEDT STEVEN
PO BOX 1714
MCCALL ID 83638

051-163-021-000
ROPP JOHN C
7707 W VALLEJO RD
BOISE ID 83709

051-163-035-000
JAIN JAI KUMAR & NEELMAN
5416 ROYAL OAKS DR
OROVILLE CA 95966

051-163-038-000
MOSELEY TRUST
7671 Skyway
Paradise, CA 95969

051-164-012-000
FISCHER DEVELOPMENT INC
2690 S VILLA AVE
PALERMO CA 95968

051-164-016-000
SKYWAY VALUE LLC
ATTN JONATHAN SAUL
25616 NARBONNE AVE STE 102
LOMITA CA 90717

051-164-019-000
WILLIAMS FAMILY SURVIVORS
TRUST
C/O WILLIAMS SANDEE TRUSTEE
PO BOX 338
TRUCKEE CA 96160

051-164-021-000
NEWPORT FEDERAL
4425 JAMBOREE RD STE 250
NEWPORT BEACH CA 92660

051-164-024-000
MARTINEZ CRISANTO ALEJANDRO &
VERONICA
1061 LISA LN
PARADISE CA 95969

051-164-027-000
GENTILE KATHLEEN ETAL
MANICCI GINO FRANCISCO PEATRO
IV
1080 LISA LN
PARADISE CA 95969

051-164-029-000
PARADISE IRRIGATION DISTRICT
6332 CLARK RD
PARADISE CA 95969

051-164-032-000
JOHNSON CHRISTINE E SPECIAL
NEEDS TRUST
C/O PURSER ARLITA TRUSTEE
6082 LUCKY JOHN RD
PARADISE CA 95969

051-164-033-000
MARJAMA FAMILY PARTNERS LP
PO BOX 2499
PARADISE CA 95967

051-164-036-000
GRAULICH REVOCABLE TRUST
C/O GRAULICH KIRK L & JULIE A
TRUSTEES
3497 SCHILL LN
CHICO CA 95973

051-164-037-000
ERISKIN M SAIM
13514 CONTADO CR
CYRESS TX 77429

051-164-039-000
SCUDDER BILLY L & BARBARA J
19399 RICHSON CT
REDDING CA 96003

051-164-040-000
KAUR-KHAK HARPREET ETAL
KAUR HARKEERET
4312 TORRES AVE
FREMONT CA 94536

051-164-042-000
EVESLAGE WALLEEN Y LIVING
TRUST
EVESALGE WALLEEN Y TRUSTEE
10082 JONES AVE
DURHAM CA 95938

051-164-044-000
RASER FAMILY TRUST
C/O RASER RAYMOND C & GAIL M &
JACOB B TRUSTEES
PO BOX 460482
ESCONDIDO CA 92046

051-164-048-000
GUEVARRA PHILIP C
14057 GREENBERRY LN
CHICO CA 95973

051-164-049-000
GRIMARD REVOCABLE INTER VIVOS
TRUST
C/O GRIMARD NADINE M TRUSTEE
4831 REDWOOD RETREAT RD
GILROY CA 95070

051-164-050-000
WELDON BRADLEY S REVOCABLE
LIVING TRUST
C/O WELDON BRADLEY S TRUSTEE
1080 LISA LN
PARADISE CA 95969

051-164-051-000
WELDON BRADLEY S REV LIVING
TRUST
C/O WELDON BRADLEY S TRUSTEE
1080 LISA LN
PARADISE CA 95969

051-164-052-000
WELDON BRADLEY S REV LIVING
TRUST
C/O WELDON BRADLEY S TRUSTEE
1080 LISA LN
PARADISE CA 95969

051-164-053-000
RRA RECONSTRUCTION & RECOVERY
ADVISORS INC
100 N GLENDORA AVE #G
GLENDORA CA 91741

051-164-054-000
PHILLIPS MATTHEW H & STACY
545 WIRTHS WAY
PARADISE CA 95969

051-164-057-000
STATEWIDE HOMES INC
562 WHITING ST
GRASS VALLEY CA 95945

051-164-058-000
PHILLIPS MATTHEW H
13532 GARNER LN
CHICO CA 95973

051-164-061-000
STATEWIDE HOME INC
562 WHITING ST
GRASS VALLEY CA 95945

051-164-062-000
UNITED PENTECOSTAL CHURCH OF
PARADISE
PO BOX 2133
OROVILLE CA 95965

051-171-010-000
PRATER SHARON G TRUST ETAL
C/O PRATER SHARON G TRUSTEE
20 COMANCHE CT
CHICO CA 95928

051-171-011-000
CONNORS CATHLEEN
121 BENSEN TER
CHICO CA 95928

051-171-013-000
HATCH JOHN CHRISTOPHER
GENERAL DELIVERY
NILAND CA 92257

051-171-073-000
ROSE PHILLIP M

051-171-104-000
MONROE ANTHONY & SIOBHAN M
6256 BERKSHIRE AVE
PARADISE CA 95969

051-171-105-000
REGNIER IAN E ETAL
REGNIER JULIE A
1208 WAGSTAFF RD
PARADISE CA 95969

1092 HILLSIDE DR
PARADISE CA 95969

Skyway Villa

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

Paradise Irrigation District
6332 Clark Road
Paradise, CA 95969

Paradise Recreation & Park Dist.
6626 Skyway
Paradise, CA 95969

Paradise Ridge Chamber of
Commerce
6161 Clark Road Ste. 1
Paradise, CA 95969

Paradise Board of Realtors
6161 Clark Road Ste. 2
Paradise, CA 95969

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem St.
Chico, CA 95928

Butte County Planning
Courier

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.
629 Entler Ave., Suite 15
Chico, CA 95928

Butte Environmental Council
313 Walnut St., Ste. 140
Chico, CA 95928

Skyway villa

M E M O R A N D U M

TO: File
FROM: Bob Larson, Onsite Sanitary Official
SUBJECT: 7726 Skyway, AP# 051-164-060 (former skyway villa)
DATE: July 12, 2023

With the approved 2010 onsite land use review for the proposed twelve (12) additional recreational vehicle spaces which are not proposed to be used by the current owner, the onsite division approves of a total of 66 spaces consisting of a mixed use of mobile homes and RV spaces.

The current review for the wastewater system repairs on 5/5/2023 was proposed for a total of 37 spaces. The wastewater system repair plans will need to be revised to reflect a total of 66 spaces. Each mobile home space will have a wastewater flow of 125 gallons per day per space. RV spaces will have a wastewater flow of 100 gallons per day per space.

A qualified septic system designer could be required to design an appropriate wastewater system for the park which may require an advanced treatment system to be designed.

Bob Larson



Onsite Sanitary Official

Town of Paradise

NOTICE OF EXEMPTION

TO: File – PL23-00076; AP No. 051-164-060 and -016
FROM: Town of Paradise, Community Development Department,
Planning Division, 5555 Skyway, Paradise CA 95969

PROJECT TITLE: Skyway Villa Mobile Home Park Conditional Use Permit

PROJECT APPLICANT: Skyway Value, LLC

PROJECT LOCATION: 7726 Skyway, Paradise CA 95969

PROJECT DESCRIPTION: Expansion of an existing Use Permit of a 58-space mobile home park and formal establishment of additional 8 spaces that were existing prior to the 2018 Camp Fire. A total of 66 spaces had been present for many years, however, the previous entitlement was not vested or reported to the State.


APPROVING PUBLIC AGENCY: Town of Paradise

PERSON OR AGENCY CARRYING OUT PROJECT: Applicant & Owner: Shawn Rowles, Skyway Value, LLC

EXEMPT STATUS: General Rule Exemption (Section 15061)
 Ministerial (Section 15268)
 Emergency Project (Section 15269)
 Categorical Exemption
Section 15301; Class 2

REASON FOR EXEMPTION: Minor alteration to land.

CONTACT PERSON: Susan Hartman, Planning Director
(530) 872-6291

SIGNATURE: 

Planning Director

Date: August 7, 2023

TOWN OF PARADISE
APPLICATION FOR CONDITIONAL USE PERMIT

Applicant Skyway Value, LLC Phone 510-926-9249Applicant's Mailing Address 25616 Narbonne Ave. Suite 102, Lomita, CA. 90717Applicant's email address shawn@BayAreaHomeOptions.com Fax _____Applicant's Interest in Property (Owner, Lessee*, Other*) Owner


*If applicant is NOT the property owner, the owner's signature or owner-signed letter of authorization MUST accompany this application.

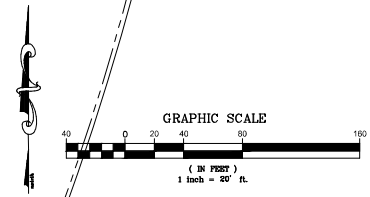
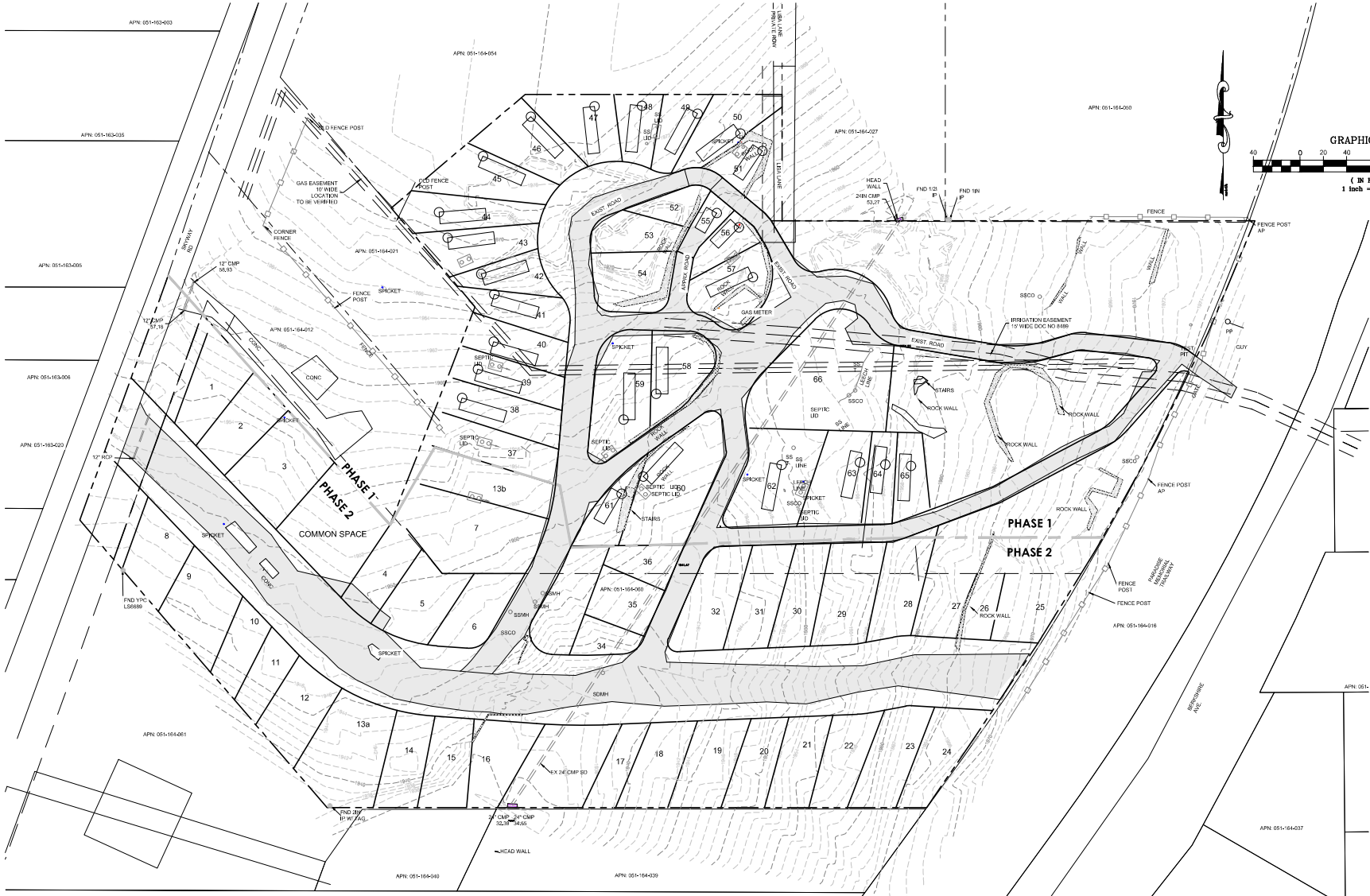
Owner's Name Skyway Value, LLC Phone sameOwner's Mailing Address sameProperty Address 7726 Skyway Road Parcel Size 8.75 + 2.4 acres = 11.15 acresEngineer (Name, Address) David Hagen PE, please contact Owner/Applicant with all questions

Engineer Phone _____ Fax _____ Email _____

AP Number(s) 051-164-060-000 & 051-164-016-000 Zone MF Existing Use Manufactured home communityDetailed project description: (attach additional sheets if necessary) Update Use Permit to match previous use according to Town of Paradise septic records and County records so HCD permit can be properly updated from 57 to 66 units.Additional details illustrate HCD density, Butte County density and Town of Paradise septic density records.Purpose of project: Market rate manufactured home and RV sites that meet affordable residential rent levels.Radial distance to the nearest billboard unknown, what is bill board in this contextSq. ft. of proposed structure/project N/A HCD Approx. no. yards of cut/fill N/A HCD

Percentage increase in area of structures on site (example: A 250 sq. ft. addition to a 1,000 sq. ft. building = 25%) _____

Distance to nearest fire hydrant On site Distance from centerline _____Days/hours of operation: Days 7 Hours 24 Proposed no. of employees 0Residential Density 7-10 per acre Max. occupancy 11.15a * 7 = 78.05 Max. height of proposed structure/project N/A HCDDescribe exterior design and exterior finish (Attach additional sheet(s) if necessary.): N/A HCDMethod of sewage disposal? 8 septic tanks & drain fields, plus 5 tanks & injection fields, reviewed to be permitted & built.Is the proposed project site considered sensitive for archaeological resources? Yes _____ No X (Please consult staff.)**NOTE: IF YES, PLEASE SUBMIT PAYMENT OF FEES TO "NORTHEASTERN INFORMATION CENTER" FOR ARCHAEOLOGICAL RECORDS INVENTORY SEARCH.****I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE STATEMENTS AND ATTACHED PLOT PLAN ARE TRUE, ACCURATE, COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.**Applicant's Signature  Date 5/17/23Property Owner Signature Same Date _____
(If applicable)PLEASE ALLOW 6-8 WEEKS FOR PROCESSING; LONGER IF THE PROJECT IS SUBJECT TO ENVIRONMENTAL REVIEW.**NOTE:** By signing this application form, the applicant is indicating that the project site is not included on any state or local list of hazardous waste sites compiled pursuant to California Government Code Section 65962.5, effective July 1, 1987.



NOTE:
 LOTS AND PRIVATE ROW SHOWN FOR
 REFERENCE

PID: 051-164-060-000, 51-164-016-000
 7726 SKYWAY BLVD., PARADISE, CA 95069
 BUTTE COUNTY CALIFORNIA
 SKYWAY VALUE, LLC.
 SHAWN ROWLES
 25810 NARBONNE AVE. SUITE 102, LOMITA, CA 90717
 OFFICE: (610)-928-9249

Revisions:

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| |
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Brunner-Hagen, Inc.
 ENGINEERING • PLANNING • SURVEYING
 400 Camino Street
 Melbourne, FL 32901
 www.brunnerhagen.com
 (772) 886-2867

10/11/2022

HCD SUBMITTAL

CONSTRUCTION DOCUMENTS

Sheet Title:
EXISTING CONDITIONS

Project: **SKYWAY**
 Drawn By: **PDB**
 Checked By: **DLH**
 Scale:
 Date: **10-11-22**

Sheet Number:
1.0





Town of Paradise

Planning Commission Agenda Summary

Agenda Item: 5(d)

Date: August 15, 2023

ORIGINATED BY: Susan Hartman, Planning Director
REVIEWED BY: Jim Goodwin, Town Manager
SUBJECT: Public Hearing to Consider a Rezone Application (RR 2/3 to RR ½) to Accommodate a Lot Line Adjustment Application between Three Residential Properties (PL23-00111 Fisher)

COMMISSION ACTION REQUESTED:

1. Conduct duly noticed public hearing; AND
2. Adopt Planning Commission Resolution No. 2023-03, "A Resolution of the Paradise Planning Commission Recommending Town Council Adoption of Rezoning of Certain Real Property Within the Town of Paradise (Fisher: PL23-00111)."

Background:

Project applicants, Josh and Holly Fisher, are seeking Town of Paradise approval of a partial rezone from Rural Residential 2/3-acre minimum (RR 2/3) to Rural Residential ½-acre minimum (RR 1/2) affecting a ±1.22-acre portion of a ±4.64-acre property to accommodate a conditionally approved lot line adjustment. The lot line along the western edge of 5460 Filbert St, zoned RR 2/3, is being adjusted inwardly to the east to effectively increase the lot areas of 5462 & 5458 Filbert St; adjacent properties zoned RR ½ also owned by the Fishers. However, because 5462 & 5458 Filbert St are zoned RR ½, that additional land being added to their lot area needs to be rezoned from RR 2/3 to RR ½ because the properties are not large enough to be approved as split-zoned parcels. The lot line adjustment and partial rezone will bring 5458 Filbert St (Resultant Parcel 3) into zoning compliance regarding parcel size and will allow 5462 Filbert St (Resultant Parcel 2) to square off their side property line into a straight line. The lot line adjustment application was conditionally approved by the Engineering Division on June 14, 2023, with the condition of securing a partial rezone before the adjustment could be recorded.

Analysis:

Attached with this staff report for your review and consideration is a copy of the application form and other application materials that were filed with the Town of Paradise by J.B. Surveys LLC, the project surveyor. A detailed map exhibit was submitted with the project application depicting the adjustments of the lot lines and the areas to be rezoned.

The proposed project application has been evaluated in accordance with the requirements of the California Environmental Quality Act (CEQA) and was determined to belong to a class of projects that are categorically exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to CEQA section 15061 (General Rule Exemption). This exemption applies to

the project application because there is no physical development proposed and, therefore, no possibility of any significant adverse environmental impacts upon the existing environmental setting.

This matter has been scheduled for a public hearing before the Planning Commission during its August 15, 2023 meeting. The public hearing notice has been published in the local newspaper and copies of the public hearing have been mailed to owners of properties located within 300 feet of the project site. As of the date of this staff report, no comments in opposition to the proposed project have been filed with the Community Development Department.

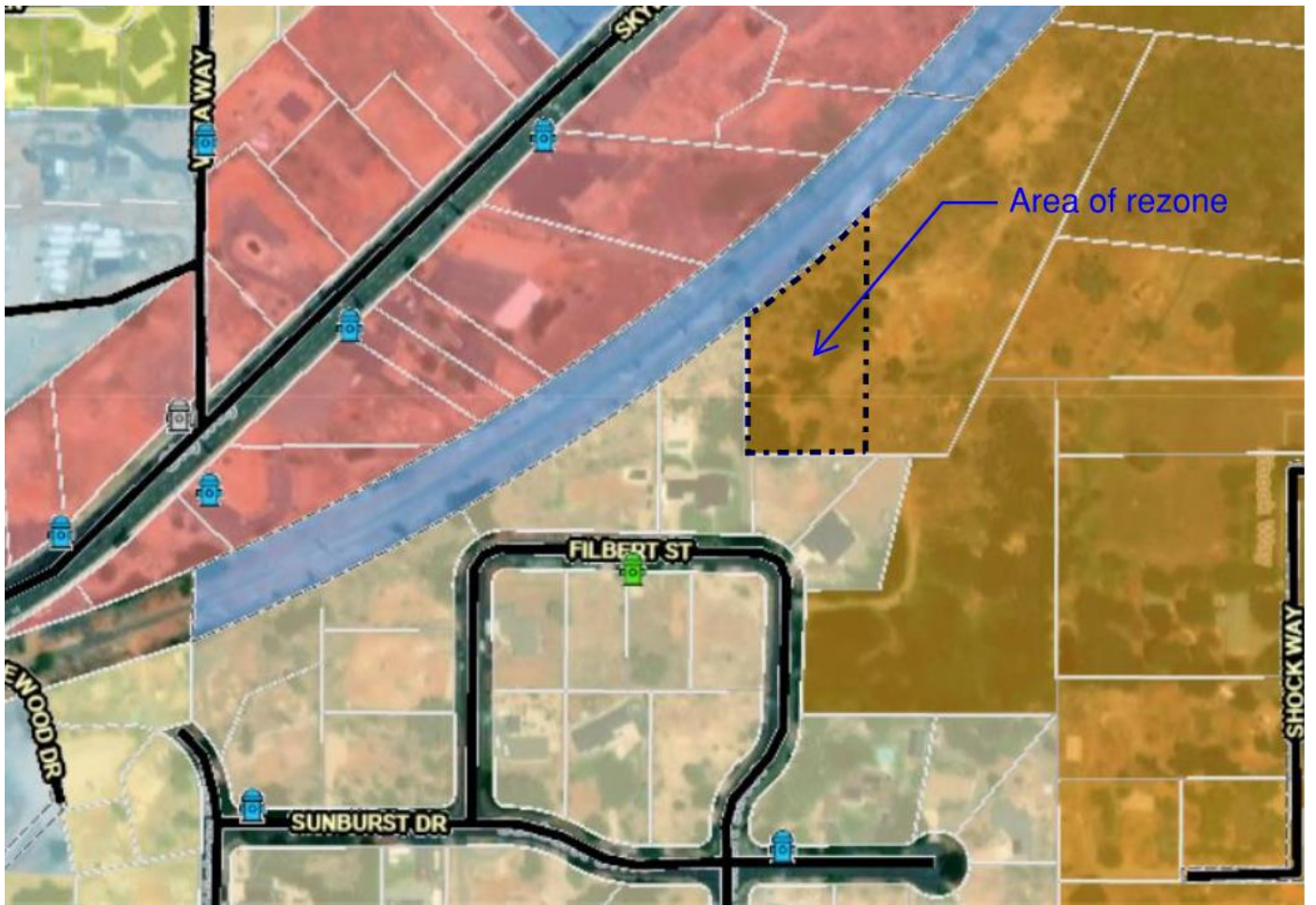
Given the circumstances outlined above, Town staff is supportive of the Planning Commission endorsing the proposed project application and adopting a formal recommendation to the Town Council for approval of a partial zone change, affecting approximately 1.22-acres, for 5460 Filbert St. Therefore, attached with this staff report for your consideration and recommended adoption is a proposed Planning Commission Resolution No. 2023-03 and its related Exhibits "A" & "B".

Financial Impact:

If ultimately adopted by the Town Council, the costs associated with updating the Town's zoning maps through the Chico State Geographical Information Center (GIC) would be covered by the Town's existing contract with the GIC.

**ATTACHMENTS FOR
FISHER REZONE**

1. Project vicinity map.
2. Notice sent to surrounding property owners and Paradise Post for the August 15, 2023 public hearing regarding the Fisher project application.
3. Mailing list of property owners and agencies notified of the public hearing regarding the Fisher project.
4. Notice of Exemption prepared for the Fisher project.
5. Property rezone application submitted by J.B. Surveys LLC.
6. Town of Paradise Resolution No.2023-03 "A Resolution of the Paradise Planning Commission Recommending Town Council Adoption of a Partial Rezoning of Certain Real Property Within the Town of Paradise (Fisher; PL23-00111)."



APPLICANT: Joshua & Holly Fisher

OWNER: Joshua & Holly Fisher

5460 Filbert St

PROJECT DESCRIPTION:

Planning Commission consideration of a resolution recommending Town Council approval of a rezone affecting a +/-1.22-acre portion of a +/- 4.64 property from Rural Residential 2/3 acre minimum (RR 2/3) to Rural Residential 1/2 acre minimum (RR 1/2) to accommodate a conditionally approved lot line adjustment.

ZONING: RR 2/3

GENERAL PLAN: RR

FILE NO. PL23-00111

ASSESSOR PARCEL NO. 052-260-135

MEETING DATE: 08/15/2023

NOTICE OF PUBLIC HEARING: PARADISE PLANNING COMMISSION

NOTICE IS HEREBY GIVEN by the Planning Commission that a public hearing will be held on **Tuesday, August 15, 2023 at 6:00 p.m.** in the Town Hall Council Chambers, 5555 Skyway, Paradise, CA, regarding the following project:

a. Item to be determined to be exempt from environmental review:

Fisher Rezone Application (PL23-00111): Planning Commission consideration of a resolution recommending Town Council approval of a rezone affecting a +/-1.22-acre portion of a +/- 4.64 property from Rural Residential 2/3 acre minimum (RR 2/3) to Rural Residential ½ acre minimum (RR ½) to accommodate a conditionally approved lot line adjustment. The project site is located at 5460 Filbert Ave, Paradise and further identified as Assessor Parcel No. 052-260-135.

The project file is available for public inspection at the Town of Paradise Building Resiliency Center, 6295 Skyway, Paradise, CA 95969. If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Community Development Department at (530) 872-6291, extension 411.

SUSAN HARTMAN
Planning Director

052-260-144-000
Fisher Holly & Joshua
5462 Filbert St
Paradise Ca 95969

052-260-135-000
Fisher Joshua P & Holly
5462 Filbert St
Paradise Ca 95969

052-250-039-000
Town Of Paradise
5555 Skyway
Paradise Ca 95969

052-250-052-000
Colunga Richard & Debbie
591 Bille Rd
Paradise Ca 95969

052-250-101-000
Johnson Family Trust
C/O Johnson Learoy W Trustee
1500 Lofty Dr
Paradise Ca 95969

052-250-114-000
Castaldo John & Jacklyn Rev Trust
C/O Castaldo John Trustee
6 Williamsburg Ln
Chico Ca 95926

052-250-117-000
Maran Trust
C/O Maran John J & Grace M Trustees
5640 Indian Rock Ln
Paradise Ca 95969

052-260-010-000
Molly B Family Living Trust
C/O Dewell Donald E Jr & Junge-Dewell
Erin E Trust
2656 Neal Rd
Paradise Ca 95969

052-260-013-000
White-Jones Dinene Trust Etal
Jones Laurie Ann
589 Hillcrest Dr
Paradise Ca 95969

052-260-038-000
Town Of Paradise
5555 Skyway
Paradise Ca 95969

052-260-080-000
Castaldo John & Jacklyn Rev Trust
C/O Castaldo John Trustee
6 Williamsburg Ln
Chico Ca 95926

052-260-083-000
Trinca Family Trust
C/O Trinca Gibson D & Michael D Trustees
573 Hillcrest Drive
Paradise Ca 95969

052-260-093-000
Paradise Community Council Inc
P O Box 1853
Paradise Ca 95967

052-260-114-000
Fisher Joshua P & Holly
5462 Filbert St
Paradise Ca 95969

052-260-121-000
Coppin Heidi
Po Box 2350
Hayden Id 83835

052-260-122-000
Ayala Grace Etal
Connor Colleen
5778 Stratton Ln
Paradise Ca 95969

052-260-124-000
Penna Revocable Inter Vivos Trust
C/O Penna Albert P & Myrna T Trustees
P O Box 1464
Paradise Ca 95967

052-260-137-000
Trinca Family Trust
C/O Trinca Gibson D & Michael D Trustees
573 Hillcrest Dr
Paradise Ca 95969

052-260-138-000
Trinca Nathan & Elizabeth
573 Hillcrest Dr
Paradise Ca 95969

052-260-139-000
Bean Robert L Family Trust
C/O Bean Robert Trustee
5049 Russell Dr
Paradise Ca 95969

052-260-140-000
Castaldo John & Jacklyn Rev Trust
C/O Castaldo John Trustee
6 Williamsburg Ln
Chico Ca 95926

052-260-143-000
Fisher Joshua P & Holly
5462 Filbert St
Paradise Ca 95969

Fisher Rezone

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

Paradise Irrigation District
6332 Clark Road
Paradise, CA 95969

Paradise Recreation & Park Dist.
6626 Skyway
Paradise, CA 95969

Paradise Ridge Chamber of
Commerce
6161 Clark Road Ste. 1
Paradise, CA 95969

Paradise Board of Realtors
6161 Clark Road Ste. 2
Paradise, CA 95969

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem St.
Chico, CA 95928

Butte County Planning
Courier

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.
629 Entler Ave., Suite 15
Chico, CA 95928

Butte Environmental Council
313 Walnut St., Ste. 140
Chico, CA 95928

Fisher Rezone

NOTICE OF EXEMPTION

To: File

From: Town of Paradise, Development Services Department,
Planning Division, 6295 Skyway, Paradise, CA 95969

Project Title: Fisher Rezone

Project Applicant: Town of Paradise

Project Location: 5460 Filbert St, Paradise

Project Description: Rezone a ± 1.22 -acre portion of a ± 4.64 -acre property from Rural Residential 2/3 acre minimum to Rural Residential $\frac{1}{2}$ acre minimum to accommodate a conditionally approved lot line adjustment application.

Approving Public Agency: Town of Paradise

**Person or Agency
Carrying Out Project:** Town of Paradise

Exempt Status: _____ Ministerial (Section 15268)
_____ Emergency Project (Section 15269)
_____ Categorical Exemption (Section 15302)
 X General Rule Exemption (Section 15061)

Reason for Exemption: The rezone does not constitute a project under CEQA, no physical activity is planned and there is no possibility of a significant environmental effect.

Contact Person: Susan Hartman, Planning Director
(530) 872-6291 x424

Signature: 

Date: _____ 08/07/2023 _____

DEPARTMENT USE ONLY:

Receipt No. _____ Fee _____

Project No. _____

TOWN OF PARADISE
APPLICATION FOR GENERAL PLAN AMENDMENT/REZONING
(Including TEXT ONLY Amendments)

Applicant's Name Hilly Fisher Phone (530) 518-9896

Applicant's Mailing Address 5462 Filbert St Paradise CA 95969

Applicant's email hillyfish85@gmail.com Fax _____

Applicant's Interest in Property (Owner, Lessee*, Other*) owner

*If applicant is not the owner, the owner's signature or letter of authorization MUST accompany this application.

Owner's Name Hilly Fisher Phone (530) 518-9896

Owner's Mailing Address 5462 Filbert St Paradise

Property Address 5462 Filbert St Paradise

Engineer (Name, Address) Jim BRAINARD, JB Surveys LLC 903 CAMELIA Ave, Roseville Ca 95678

Engineer's Phone 916-240-3784 Fax _____ email jb surveys llc @ outlook.com

AP Number(s) 052-260-143 / 250-260-114 Zone RR 2/3 Existing Use _____

- Check all that apply:
- 1. General Plan Amendment A. Map Change
 - 2. Rezoning B. Text Change

(For MAP changes, complete entire application. For TEXT ONLY changes, attach a separate sheet detailing the requested change and your reason for the change.)

Present General Plan Designation _____ Present Zoning RR 2/3

Requested General Plan Designation _____ Requested Zoning RR 1/2

Location, dimensions and size of area(s) to be amended/rezoned: LOT 2 will be ~~1.30~~ 1.30 AC
LOT 3 will be 1.502 AC

Is this application a part of a related development project (e.g., use permit, land division, etc.)? Yes -
LOT LINE Adjustment EN 23-00076

Applicant's reasons for amendment/rezoning: (attach additional sheets if necessary)
Rezoning made to meet the minimum zoning requirements, per attached letter.

FOR GENERAL PLAN MAP AMENDMENT: Provide details of how the amendment would be of environmental, social and economic benefit to the Town? N/A

Attach additional sheet(s) if necessary.

I hereby declare under penalty of perjury that the above statements and attached plot plan are true, accurate, complete, and correct to the best of my knowledge and belief.

Applicant's Signature Hilly Fisher Date 7/1/23

Property Owner Signature Hilly Fisher Date 7/1/23
(If applicable)



Town of Paradise
Public Works Department
5555 Skyway
Paradise, CA 95969
(530) 872-6291

June 14, 2023

Joshua & Holly Fisher
5462 Filbert Street
Paradise, CA 95969

Transmitted via email

Subject: Conditional Approval of EN23-00076, 5562 Filbert Street
APN 052-260-143/144/114/135, Filbert/Fisher Lot Line Adjustment

The above-referenced application for a Lot Line Adjustment is hereby Conditionally approved by the Town of Paradise based upon the findings listed below, and subject to, the following conditions:

FINDINGS:

- A. The subject Lot Line Adjustment is a project that is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) as per CEQA guidelines Section 15305 (Class 5 exemption).

CONDITIONS OF APPROVAL

- 1. Corrections to the Lot Line Adjustment shall be made to meet the minimum zoning requirements. For approval, this Lot Line Adjustment needs to be accompanied by a concurrent rezone application to rezone the RR 2/3 portions of Lots 2 & 3 to RR 1/2. Apply for a re-zone at the Building Resiliency Center, Planning Department.
 - a. When creating a new parcel that is split zoned, each side needs to meet the regulations of those individual zones (as currently submitted, Lots 2 & 3 do not meet the regulations of the individual zones).
 - i. Resultant Lot 2 will create a new split zoned parcel where the RR 2/3 area of the lot (taken from Resultant Parcel 3) is well below the 29,040 sq ft min size for that zone.
 - ii. Resultant Lot 3, 052-260-114 is only 0.38 ac so it cannot be combined with another parcel that is not zoned RR 1/2.
 - iii. The PMC section this is in violation of is 17.05.500.A: When a lot or parcel is divided by a district boundary, the regulations applicable to each zoning district shall apply separately to each affected portion of the site.
- 2. Corrections to the Lot Line Adjustment Plat and Legal shall be revised and re-submitted
- 3. That record title be identified at the time of recording of the Lot Line Adjustment deeds. Title interest must be reconveyed to the new property descriptions.
- 4. Modify and/or partially reconvey any deeds of trust that affect this Lot Line Adjustment.
- 5. If any monuments are set that a map referencing said monuments also be recorded.
- 6. That the corrected wet stamped and signed exhibit(s) be submitted for our review and signature after deed preparation.
- 7. That grant deed and plat (as modified to resolve the technical comments provided separately by the Town of Paradise) be recorded with the Butte County Recorder within one (1) year of the date of approval.
- 8. Provide an original Statement of Taxes from the Butte County Tax Collector verifying payment of current and estimated taxes. Payment of current taxes is required. If you elect not to pay estimated taxes, you will receive a supplemental tax bill for the subsequent tax year.




Town of Paradise
Public Works Department
5555 Skyway
Paradise, CA 95969
(530) 872-6291

If you wish to appeal the decision of the Town Engineer, you must do so within ten (10) days of the date of the Town Engineer's decision by filing your written appeal together with the appeal fee deposit of \$117.38 to the Development Services Department at 6295 Skyway, Paradise, CA 95969, 530-872-6291. If no appeal is filed within the time period, your Lot Line Adjustment will be deemed conditionally approved.

Please call if you have any questions.

Sincerely,


Ashley A. Stanley
Engineering Division Manager

**TOWN OF PARADISE
PLANNING COMMISSION**

RESOLUTION NO. 2023-03

**A RESOLUTION OF THE PARADISE PLANNING COMMISSION RECOMMENDING TOWN
COUNCIL ADOPTION OF A PARTIAL REZONING OF CERTAIN REAL PROPERTY
WITHIN THE TOWN OF PARADISE
(FISHER; PL23-00111)**

WHEREAS, the Paradise Planning Commission has conducted a public hearing, pursuant to the California Planning and Zoning Law, concerning a partial property rezone; and

WHEREAS, said public hearing also included review of potential environmental impacts, pursuant to the California Environmental Quality Act; and

WHEREAS, Sections 65854 and 65855 of the California Government Code require the Planning Commission to conduct a public hearing and notify the Town Council in writing of its recommendation; and

WHEREAS, the Planning Commission has considered the analysis and recommendation of the Community Development Department (Planning Division) and has considered the comments made at a public hearing conducted by the Planning Commission on August 15, 2023 and has determined that the subject rezone, as requested, is not only in the public interest but also consistent with the 1994 Paradise General Plan; and

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

SECTION 1. The Planning Commission of the Town of Paradise hereby recommends to the Town Council the adoption of the rezone known as the Fisher application (PL23-00111) for property identified as AP No. 052-260-135 as described within the Lot Line Adjustment Resultant parcel descriptions in Exhibit "A" and shown in Exhibit "B" attached hereto and made a part hereof by reference.

PASSED AND ADOPTED by the Planning Commission of the Town of Paradise this 15th day of August 2023, by the following vote:

AYES:

NOES:

ABSENT:

NOT VOTING:

ATTEST:

Melanie Elvis, Deputy Town Clerk

Lynn Costa, Chair

EXHIBIT "A"

RESULTANT PARCEL TWO

All that real property described in the grant deed to Holly Fisher and Joshua Fisher, dated April 1, 2021, recorded in Document No. 2021-0014911, Official Records of Butte County, being all of Lot 21 and a portion of Lot 22, as shown on that certain map entitled "Sunland Acres Subdivision Unit 3", in Book 58 of Maps, Page 60-61, and a portion of Lot 17, as shown on that certain map entitled "Official Map of Section 22, Township 22 North, Range 3 East, M.D.B. & M., in Book 'B' of Maps, Page 33, Butte County Records, more particularly described as follows:

COMMENCING at the Southwest corner of Lot 22, as designated on said map entitled "Sunland Acres Subdivision Unit 3"; Thence from said POINT OF COMMENCMENT, along the northerly right of way of Filbert Street along the arc of a curve to the right with a radius of 80.00 feet through a central angle of 32°28'21" for an arc length of 45.34 feet; thence continuing along the northerly right of way of Filbert Street South 88°39'51" East 156.72 feet to the POINT OF BEGINNING; Thence from said POINT OF BEGINNING, leaving said northerly right of way of Filbert Street North 00°00'00" West 173.62 feet to the easterly right of way line of the Abandoned Southern Pacific Railroad as shown on said "Official Map of Section 22"; Thence along said easterly right of way of the Abandoned Southern Pacific Railroad the following four courses: 1) North 56°52'00" East 3.47 feet; 2) North 55°11'00" East 101.39 feet; 3) North 53°25'00" East 101.64 feet; 4) North 51°40'00" East 71.02 feet; Thence leaving said easterly right of way line of the Abandoned Southern Pacific Railroad, South 00°35'42" West 224.25 feet to the northeast corner of Lot 21 of Sunland Acres Subdivision Unit 3; Thence along the east line of said Lot 21 South 00°35'42" West 118.94 to the southeast corner of Lot 21 and the northerly right of way of Filbert Street; Thence along said northerly right of way of Filbert Street North 88°39'51" West 219.97 feet to the POINT OF BEGINNING.

RESULTANT PARCEL THREE

All that real property described in the grant deed to Holly Fisher and Joshua Fisher, dated October 11, 2019, recorded in Document No. 2019-0045149, Official Records of Butte County, being all of Lot 20, as shown on that certain map entitled "Sunland Acres Subdivision Unit 3", in Book 58 of Maps, Page 60-61, and a portion of Lot 17, as shown on that certain map entitled "Official Map of Section 22, Township 22 North, Range 3 East, M.D.B. & M., in Book 'B' of Maps, Page 33, Butte County Records, more particularly described as follows:

BEGINNING at the southwest corner of Lot 20, as designated on said map entitled "Sunland Acres Subdivision Unit 3"; Thence from said POINT OF BEGINNING, along the northerly right of way of Filbert Street along the arc of a curve to the right with a radius of 80.00 feet through a central angle of 42°43'58" for an arc length of 59.67 feet; Thence leaving said northerly right of way of Filbert Street North 44°04'29" East 196.85 feet to the northeast corner of Lot 20; Thence along the north line of Lot 20, North 90°00'00" West 20.88 feet; Thence leaving said north line of Lot 20, North 00°35'42" East 371.36 feet to the easterly right of way line of the Abandoned Southern Pacific Railroad as shown on said "Official Map of Section 22"; Thence along said easterly right of way of the Abandoned Southern Pacific Railroad the following 3 courses: 1) South 47°46'00" West 93.42 feet; 2) South 49°41'00" West 101.70 feet; 3) South 51°40'00" West 29.84 feet; Thence leaving said easterly right of way line of the Abandoned Southern Pacific Railroad, South 00°35'42" West 224.25 feet to the northwest corner of Lot 20 of "Sunland Acres Subdivision Unit 3; Thence along the west line of said Lot 20 South 00°35'42" West 118.94 to the southwest corner of Lot 20 and the northerly right of way of Filbert Street and the POINT OF BEGINNING.

PARCEL 1 APN 052-260-144 EXISTING ACREAGE = 0.86 ACRES / NEW ACREAGE = 0.515 ACRES
 PARCEL 2 APN 052-260-143 EXISTING ACREAGE = 0.88 ACRES / NEW ACREAGE = 1.300 ACRES
 PARCEL 3 APN 052-260-114 EXISTING ACREAGE = 0.38 ACRES / NEW ACREAGE = 1.522 ACRES
 PARCEL 4 APN 052-260-135 EXISTING ACREAGE = 4.62 ACRES / NEW ACREAGE = 3.396 ACRES

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 60°21'00" W | 66.45' |
| L2 | S 58°34'00" W | 88.58' |
| L3 | N 58°34'00" E | 11.99' |
| L4 | S 56°52'00" W | 98.01' |
| L5 | S 56°52'00" W | 3.47' |
| L6 | S 55°11'00" W | 101.39' |
| L7 | S 53°25'00" W | 101.64' |
| L8 | S 51°40'00" W | 71.02' |
| L9 | N 51°40'00" E | 29.84' |
| L10 | S 49°41'00" W | 101.70' |
| L11 | S 47°46'00" W | 93.42' |
| L12 | S 47°46'00" W | 8.02' |
| L13 | S 46°24'00" W | 101.40' |
| L14 | S 44°33'00" W | 97.68' |
| L15 | S 43°01'00" W | 113.95' |
| L16 | S 40°24'36" W | 86.62' |

CURRENT ZONING = RR 1
 REQUESTED REZONING = RR 1/2

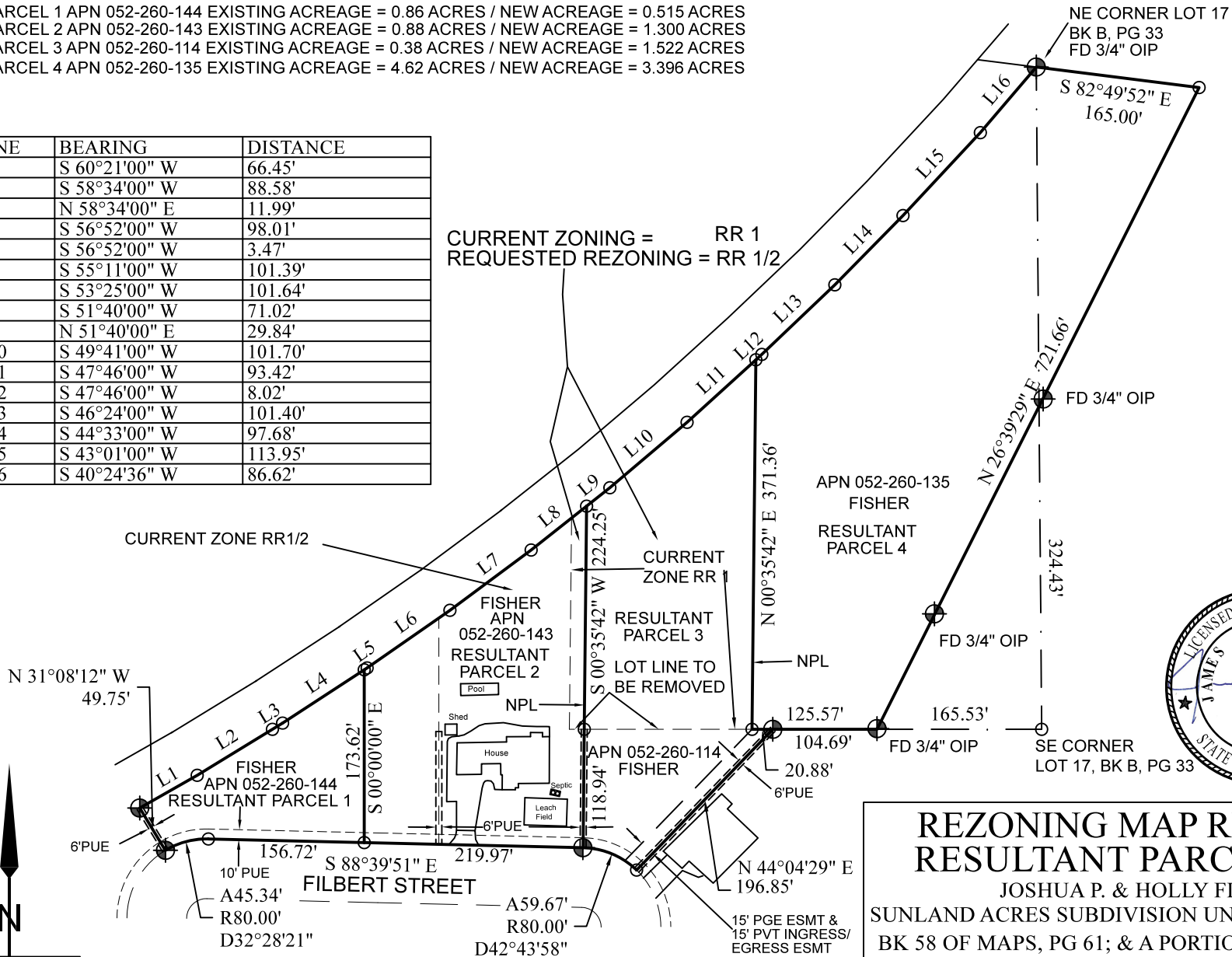
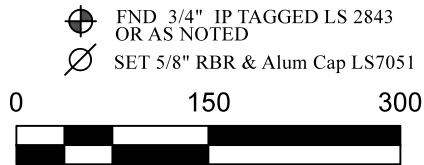


EXHIBIT "B"

REZONING MAP REQUEST RESULTANT PARCEL 2 & 3

JOSHUA P. & HOLLY FISHER
 SUNLAND ACRES SUBDIVISION UNIT 3, LOTS 20,21,22
 BK 58 OF MAPS, PG 61; & A PORTION OF LOT 17 & 18
 SUBDIVISION OF SECTION 22, BK B OF MAPS, PG 33
 5462 FILBERT STREET, PARADISE, CA 95969

J.B. SURVEYS, LLC
 916-240-3784
 903 Camelia Avenue
 Roseville, Ca. 95678
 jbsurveysllc@outlook.com



| | | |
|----------------|------------------|--|
| Scale: 1"=150' | Date: 07/13/2023 | APN: 052-260-114, APN: 052-260-143, |
| Drawn: JCB | Checked: | Job: 2023-03-06 |