



BOARD OF TRUSTEES MEETING

Thursday, November 13, 2025 at 6:00 PM

Palmer Lake Town Hall – 28 Valley Crescent, Palmer Lake, Colorado

LIVE STREAM available on Town website

AGENDA

This agenda is subject to revision 24 hours prior to commencement of the meeting.

The Board of Trustees values public comment on issues relevant to Town government. To permit the fair and orderly expression of such comments, the Board will adhere to the following rules for public comment, whether for an agenda item or during public comment for non-agenda items brought by the public.

A speaker must be recognized by the Mayor to step to the podium, sign in, use the microphone, state name and address for the record, and address comments solely to the Board, as a whole.

Each speaker is limited to 3 minutes, cannot pool time with another, and each speaker may only speak once per topic. Civility and respect is required. Comments should not be directed to Town staff, individual Board members or to public members. Comments or disruption from audience members not recognized by the Mayor are prohibited. Points already made should not be duplicated. Only written comments limited to one page will be permitted. Public members are also invited to submit comments by email to be distributed to the Board separately. Note that comments submitted to the Board are public record. Please understand that the Board will listen and consider public comments; however, members will not discuss or take action on your comment but may refer it to staff and/or a future meeting for discussion.

Thank you for your cooperation.

Call to Order

Roll Call

Invocation

Pledge of Allegiance

Introductions/Presentations

- 1.** Palmer Lake Outdoor Classic -
- 2.** Monument Fire Discussion

Consent Agenda - *Items under the consent agenda may be acted upon by one motion. If, in the judgment of a board member, a consent agenda item requires discussion, the item can be placed on the regular agenda for discussion and/or action.*

- 3.** Minutes from October 23, 2025 Meeting
- 4.** Checks Over \$15,000 - Krob Law (October -\$21,420.00)

Staff/Department Reports

- [5.](#) Water
- [6.](#) Public Works including Roads & Park Maintenance
- [7.](#) Interim Administrator/Police
- [8.](#) Fire
- [9.](#) Town Clerk/Administration
10. Attorney

Public Hearing – *Mayor will introduce the item and hear the applicant request. Mayor will ask if any public member wishes to speak for or against the request. Public should address the Board members directly while members listen. Applicant may provide closing remarks and members may ask questions of the applicant. Mayor will close the hearing and members will discuss the item, take action or continue the hearing to a particular date.*

- [11.](#) Review 2025 Budget Amendment
- [12.](#) Review Proposed Draft 2026 Budget

Business Items

- [13.](#) Resolution 64-2025 to Amend 2025 Budget
14. Direction on Proposed Draft 2026 Budget
- [15.](#) Resolution 65-2025 Setting the Special Election for the Monument Crossing, LLC Aka Red Rock Acres Annexation Election February 3, 2026
- [16.](#) Resolution 66-2025 Setting the Special Election for the Monument Ridge West, LLC Aka Buc-ee's Annexation Election February 3, 2026
- [17.](#) Resolution 67-2025 Setting the Title & Ballot Language for Monument Ridge West, LLC Aka Buc-ee's Annexation Election
- [18.](#) Resolution 68-2025 Setting the Title & Ballot Language for Monument Crossing, LLC Aka Red Rocks Acres Annexation Election
- [19.](#) Ordinance XX-2025 Code Provision Annexation Election
20. Discussion of and Possible Approval of Parks Commission Applicant
- [21.](#) Discussion and Possible Direction: Public Safety Feasibility Study
22. Discussion – Trustee Vacancy Applications, Interview Dates, and Possible Special Meeting

Public Comment - *Public comments are encouraged to be emailed to the Town office at info@palmer-lake.org with subject line of Public Comment (24 hours prior to meeting) and shall be distributed and read at the meeting. Otherwise, please be recognized to speak, sign in, and address the Board on matters not on the agenda. Thank you!*

Board Reports**Next Meeting and Future Items**

Convene to Executive Session

For the purpose of determining positions relative to matters that may be subject to negotiations, developing strategy for negotiations, and/or instructing negotiators under C.R.S. 24-6-402(4)(e) – Lakeview Heights

Reconvene to Open Session

Adjourn

Americans with Disabilities Act

Reasonable accommodations for persons with a disability will be made upon request. Please notify the Town of Palmer Lake (at 719-481-2953) at least 48 hours in advance. The Town of Palmer Lake will make every effort to accommodate the needs of the public.

Lewis Palmer Hockey

IT'S A GREAT DAY FOR HOCKEY...BOB JOHNSON



5th Annual Palmer Lake Outdoor Classic January 10th & 11th 2026

**Scott and Jill Bradley
Palmer Lake Outdoor Classic
Founders**



5th Annual Palmer Lake Outdoor Classic

- Overview
- Objectives
- Operational Plan
- Logistics
- Safety





5th Annual: Palmer Lake Outdoor Classic

- Saturday, Jan 10th: Youth Camp
 - 9:00-11:00am
- Saturday, Jan 10th: CHSAA 4-School Foundation Game
 - 6:00-9:00pm
 - Lewis Palmer (Palmer Ridge), Liberty, Chatfield, Chapparral
- Sunday, Jan 11th: Adult Hockey mini tourney
 - 3:00-7:30pm





Objectives Item 1.

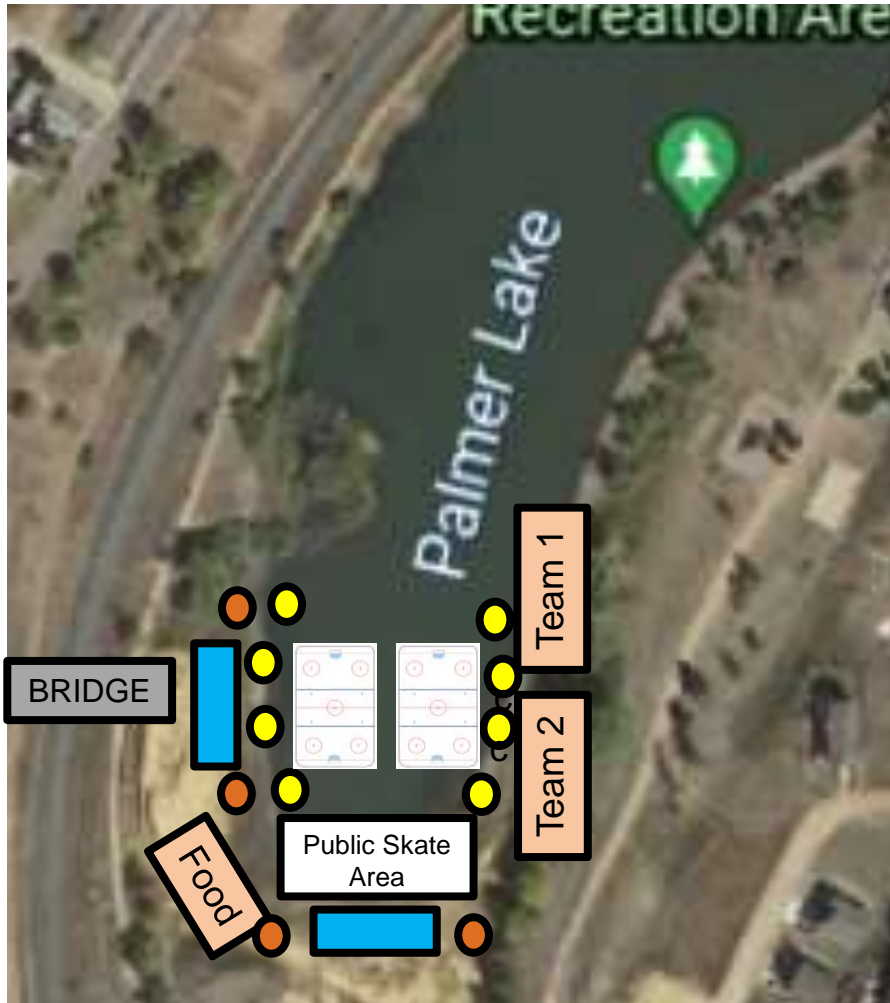


Palmer Lake Outdoor Classic Objective

- Safely Execute a 2-day PLOC event on Palmer Lake Friday, January 10-11th 2026.
- Safely execute a youth camp on Palmer Lake Sunday, January 5th.
- Safely execute CHSAA Foundation game Jan 10th.
- Safely execute an adult tournament Jan 11th.



Operational Plan Item 1.



- Tentative Plan: Saturday, Jan 10 2026
- Youth Camp
 - 0830: PLFD determines ice safety
 - 0900: Youth Camp Start
 - 1100: Youth Camp End



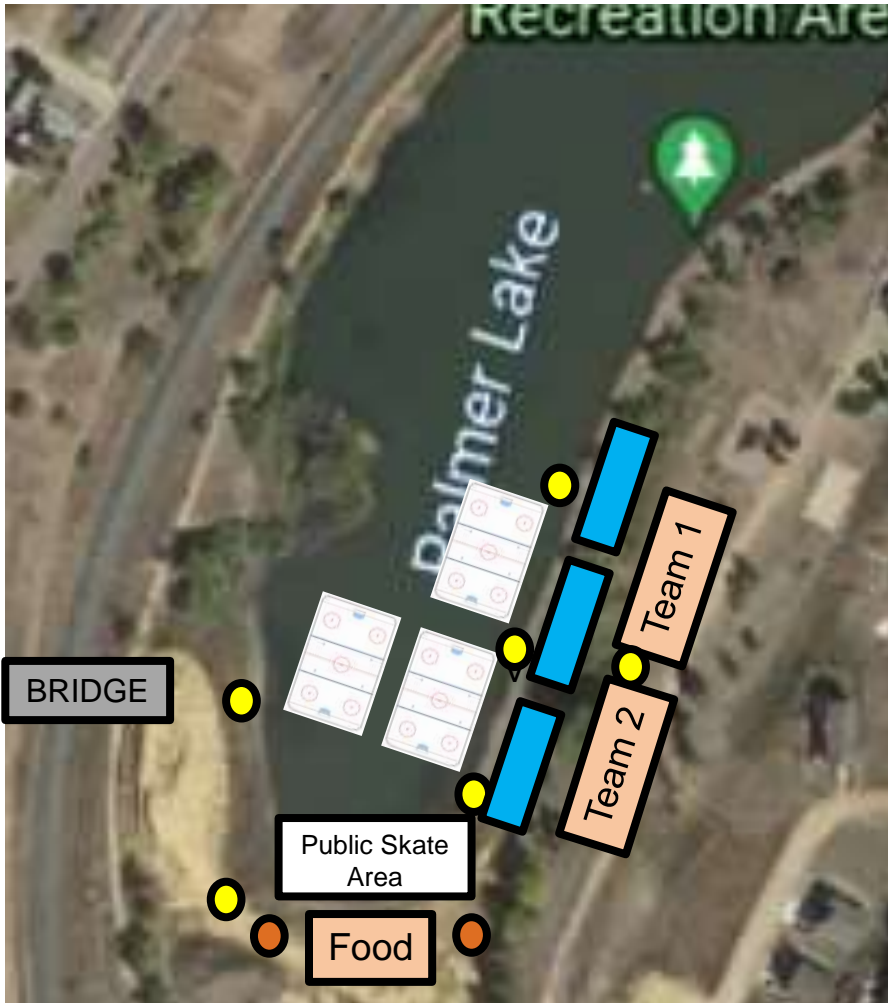
Operational Plan Item 1.



- **Tentative Plan: Saturday, Jan 10 2026**
- CHSAA 4-School Foundation Game
 - 1600: PLFD determines ice safety
 - 1630: Public Skate
 - 1652: Sunset
 - 1745: Team warmups
 - 1800: Opening Ceremony
 - 1805: CHSAA Varsity Game #1 Start
 - 1830: Ice Improvements
 - 1845: CHSAA Varsity Game #2 Start
 - 1915: Ice Improvements
 - 1930: CHSAA JV Game #1 Start
 - 2000: CHSAA JV Game #2 Start
 - 2030: CHSAA Foundation game end



Operational Plan Item 1.



- **Tentative Plan: Sunday, Jan 11th 2026**
- **Adult Hockey Tournament**
 - 1400 Adult Team Check in
 - 1530: Adult Tourney Start
 - 2000: Adult Tourney End



Logistics

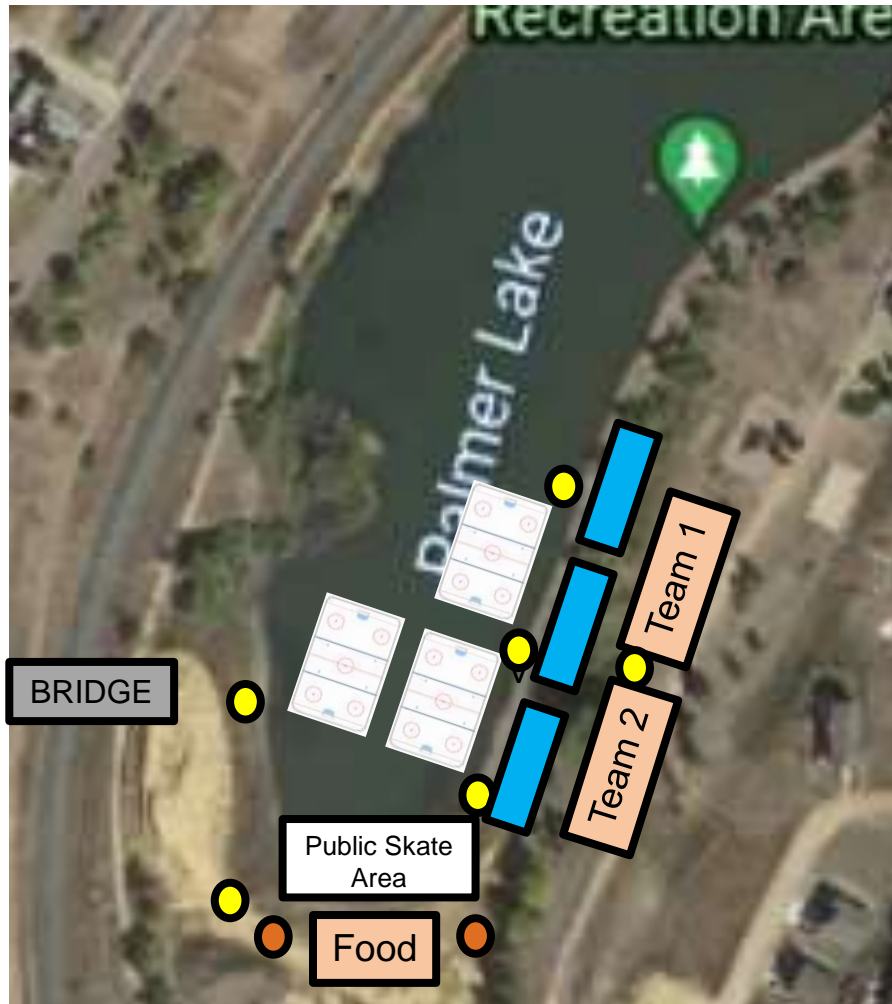
Item 1.



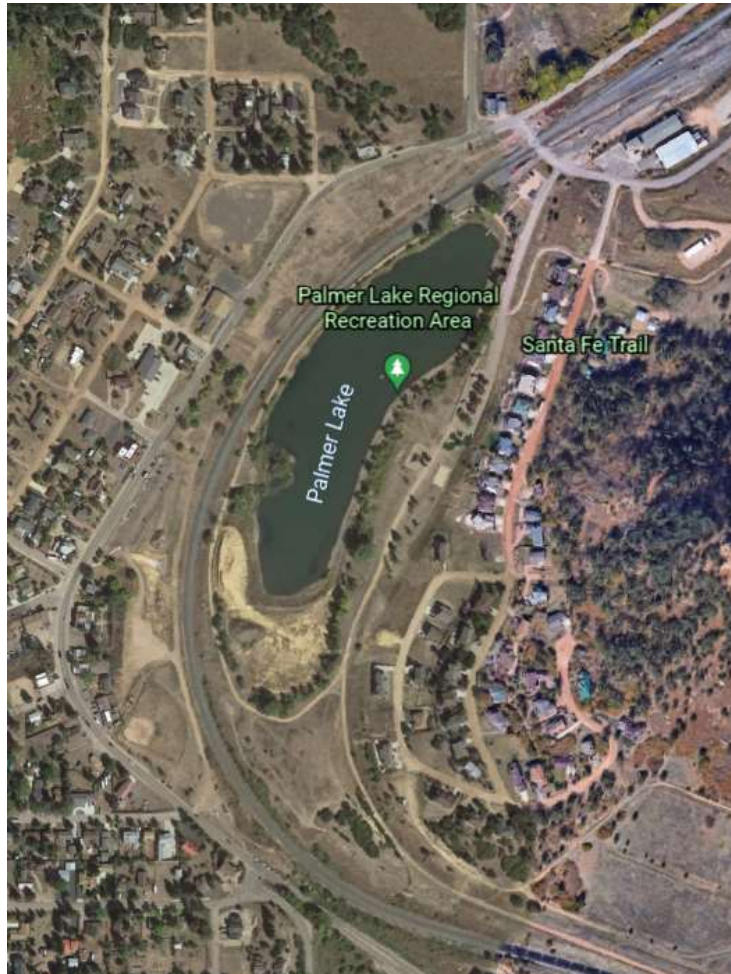
- Parking
 - PLPD Presence (North/South)
 - Parking Attendants
- Gate / Ticket sales
 - Primary Access Point – Bridge
 - North Access Point – NE Parking Lot



Logistics Item 1.



- Food & Beverage
 - Food Trucks
 - Alcohol permit for Sunday Adult tournament only
- Spectators
 - West & South
- Team Areas
 - East
- Public Skate Area
 - South



- Palmer Lake Fire Department:
 - Ice Safe Call
 - Fire Barrel Monitors
- Palmer Lake Police Department:
 - Security Presence
 - PLPD Vehicle North / South
- Railroad Fence / Barrier
- District 38 Reps:
 - Gate /Ticket Sales Reps
 - Event participant monitors
- Game Officials



Item 1.

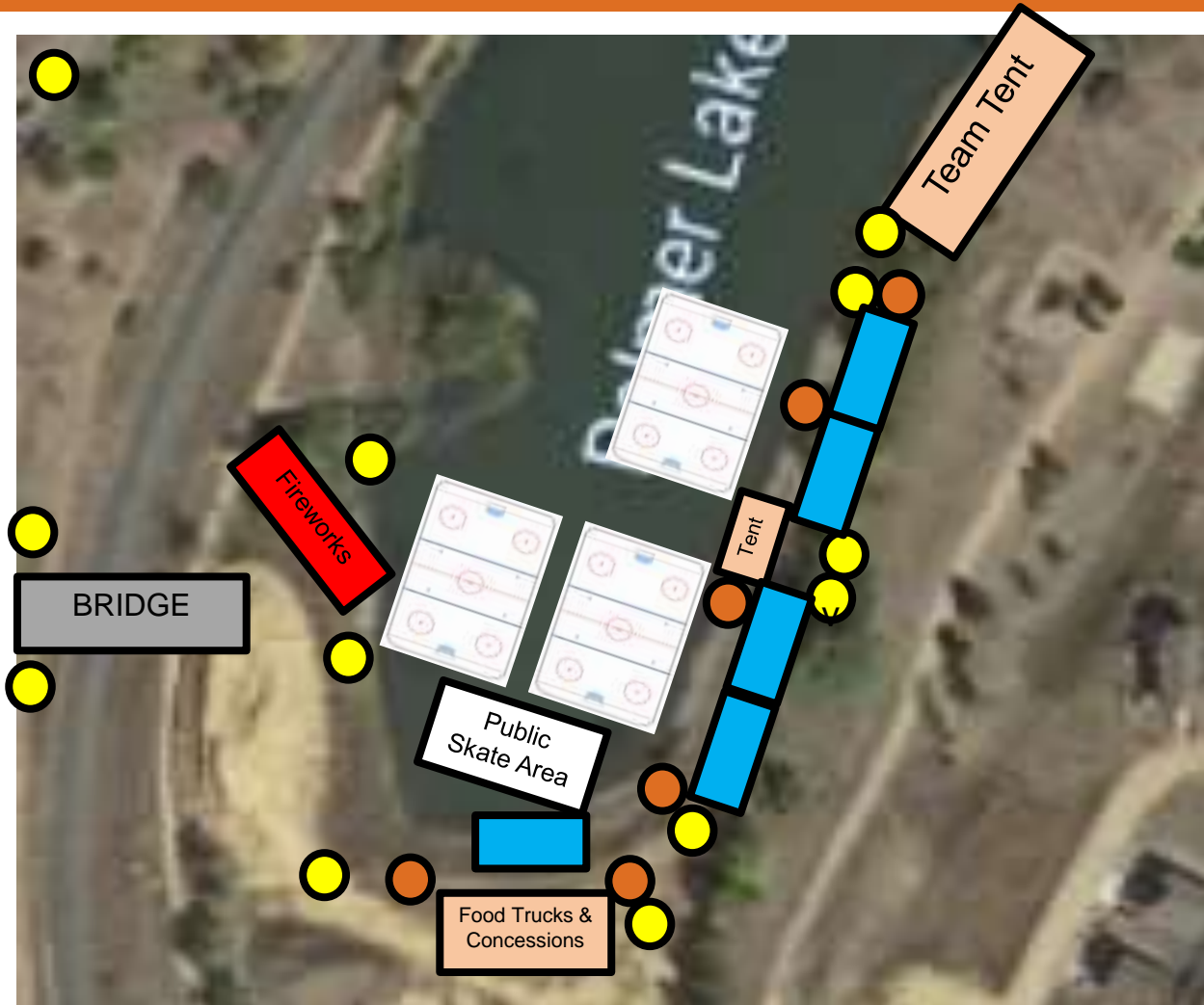
Questions





Power Team Plan

Item 1.



- - (12) Light Towers; self-contained generators
- - (12) Fire Pits
- - (10) Bleachers
- - (3) Tents

Equipment:

- Sound
- Rink deco lights
- Propane Tanks (10)
- Generators (2)
- Jet Heaters (5)

Comm Plan:

- Radios
- Firework "Fire"
- Light Sequence

Monument Fire District



Town of Palmer Lake Fire & EMS Services Presentation



Character, Commitment, and Commitment

History/Community Partners



- The fire department is an extension of the community
- We will actively participate in existing community events AND find creative ways to continue to engage the community
- “Proud traditions, dynamic future”



Fire District Information

- Coverage area: 62 sq. mi.
- Five fire stations
 - Regional Training Center – 14 acres
 - 23 career personnel on duty
 - Three advanced life support ambulances
- Approx. 4,000 calls for service
- Insurance Services Office (ISO) – 2/2Y (DW) 3/3Y (TLM)



Fire District Information

- Physical Resources:
 - Apparatus replacement
 - Facilities improvements
 - Wildfire mitigation program
 - Hazardous materials response
- Benefits of the economy of scale
 - Reduce the duplication of effort



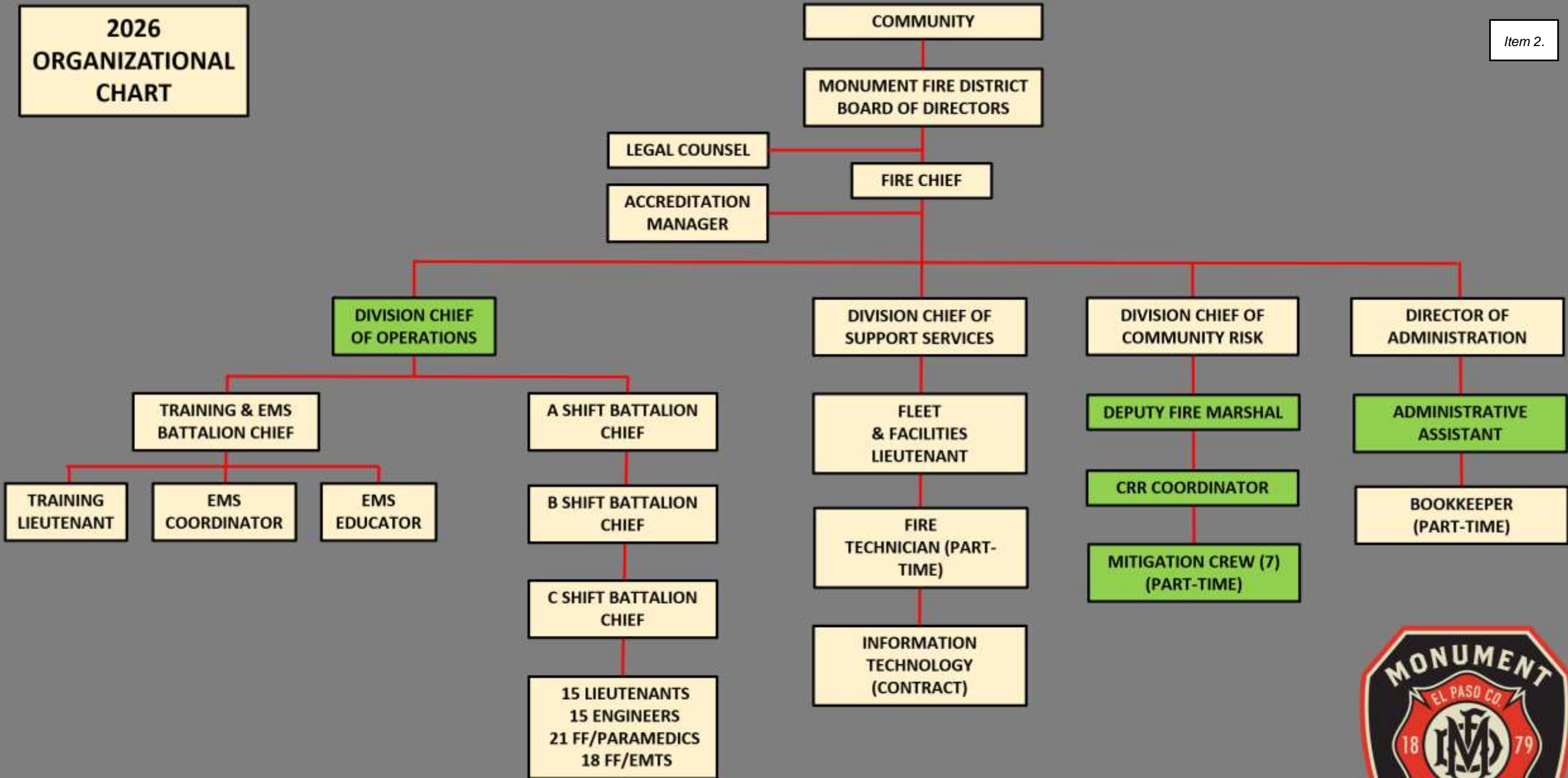
Fire District Accreditation

- Agency accreditation:
 - Achieved this year
 - One of only 300 fire departments nationally to achieve this honor (less than 1%)
 - Continuous improvement model
 - New strategic plan in 2026



**2026
ORGANIZATIONAL
CHART**

Item 2.



Benefits

- Reduction in ISO rating from a 4 to a 2
 - Reduce homeowner’s insurance cost
- Community partnership
 - Palmer Lake FF’s Association
 - Historical society
- ALS services – shorter response times
- Consideration of a future public safety facility



Questions?

- I would encourage you to look at our website, strategic plan, feasibility study, and our annual report.
- Feel free to contact me with questions:

Andy Kovacs, Fire Chief
akovacs@monumentfire.org
719-484-0911



BOARD OF TRUSTEES MEETING

Thursday, October 23, 2025 at 6:00 PM

Palmer Lake Town Hall – 28 Valley Crescent, Palmer Lake, Colorado

MINUTES

Executive Session

Call to Order: Call to Order/Roll Call Meeting called to order by Mayor Stern 3:30PM

Present: Trustees Elizabeth Harris, Roger Moseley, Michael Boyette, Dennis Stern, Tim Caves, and Atis Jurka

Motion to enter into Executive Session (Stern, Boyett)

The Board convened into Executive Session pursuant to C.R.S. § 24-6-402(4)(f) for the purpose of discussing personnel matters related to the recruitment process and qualifications for the position of Town Administrator, and to meet with the recruitment firm (SGR) assisting the Town in that process. The Board reconvened to open session. No formal action was taken during the Executive Session.

Roll Call Regular Meeting called to order by Mayor Stern at 6:00pm

Present: Trustees Elizabeth Harris, Roger Moseley, Michael Boyette, Dennis Stern, Tim Caves, and Atis Jurka

Invocation by/Pledge of Allegiance Trustee Boyette, Roger Moseley

MOTION (Stern, Jurka) made and approved to amend the agenda to include a Proclamation for National Veterans Small Business Week (Nov 3–7, 2025). Motion passed unanimously.

Introductions/Presentations

1. Presentation of 2024 Financial Audit (P.Hall)

Interim Town Administrator Glenn Smith reported the audit was not completed by the contracted auditor.

- Auditor missed multiple deadlines despite extensions.
- Recommendation: Sever contract due to non-performance.
- Town Attorney Scott Krob confirmed legal grounds exist for termination with minimal financial risk, as no payment has been made.
- Board discussed audit delays, communication issues, and the need for a new auditor.

MOTION (Harris, Moseley) to serve the contract with auditor to include the items listed in notification motion passed unanimously.

MOTION (Moseley, Caves) to give directions to Interim Town Administrator Smith to

- Terminate the auditor contract, with proper documentation and legal notice. *(Unanimous)*

- Authorize Town Administrator to secure a new auditor promptly, with a cost cap of 20% over the prior contract amount (\$21,600), subject to budget limits. *(Unanimous)*

Consent Agenda – MOTION to pass (Boyett, Stern) motion passed unanimously

Approved as presented.

Items included:

- October 9, 2025, Meeting Minutes
- September Financials
- Checks over \$15,000 (Mar & Sons – \$23,853.81)

Staff/Department Reports

5. Water – Charles Ruibdoux ORC/Water Supervisor
Requested early approval to order filter media and underdrains for Filter Vessel #2 at the Groundwater Treatment Plant (approx. \$65,000).
 - Originally budgeted for 2026, but supply issues and system wear prompted early replacement.
 - Informational item only; no formal action required at this meeting.
6. Public Works including Roads & Park Maintenance –
No formal updates. Maintenance and cleanup around the creek trail were noted as excellent.
7. Police - Officers completing annual state training requirements by December.
8. Fire - No new updates; focused on 2026 budget planning.
9. Administration/Town Clerk –
No major updates: focus remains on budget and upcoming board processes work session/training.
10. Attorney - Scott Krob
 - Provided draft Code of Conduct and Ethics examples from the City of Evans for board consideration.
 - Updated ongoing litigation:
 - Integrity Matters Case: CIRSA pursuing attorney fees (\$35,000).
 - Mosley/Brozik Case: Plaintiff filed notice of appeal; town considering recovery of legal fees.
 - Clarified annexation and election legal procedures
11. Town Administrator – Interim Glen Smith provided updates on the following
 - Budget preparation and land use applications are ongoing.
 - Pickleball bathrooms will remain open and winterized with door closures installed.
 - Auditor correspondence fully documented for termination process.

Business Items

12. Discussion regarding Resolution 62-2025 Initiating Annexation Proceedings and Setting a Hearing to Determine the Eligibility of Certain Lands, Crossing at Monument Creek.

Attorney Krob explained the eligibility process and timeline. He noted a type of 2024/2025 and explained setting the hearing. Krob explained we are obligated to set a hearing, and the board needs to determine if its eligible.

Trustee Moseley asked questions regarding DRT and invoices specific to Red Rocks and stated its an issue to look into he wants to understand the DRT process and contractors' reimbursements. Attorney Krob recommended Trustee Moseley better understand the Town process.

Public Comment form Amy Hutson was given regarding the DRT process.

- Developers submitted pre applications to staff, DRT reviews for completeness and suggested Trustee Moseley better familiarize himself with the process.

The Town Attorney clarified a quick summary of DRT process

- Developers submit applications to staff, DRT reviews for completeness.
- Consultants act only under town direction, not developers.
- Process documentation will be improved for transparency.
- A future work session will outline the full DRT process.

The Town Attorney explained that the matter is quasi-judicial in nature and cautioned the Board of Trustees against becoming directly involved in the process.

Public comment by Martha Brodzik spoke about referencing code with DRT process.

MOTION (Stern, Boyett) to pass Resolution 62-2025 – Initiating Annexation Proceedings

Property: *Crossing at Monument Creek*

- Sets Eligibility Hearing for December 11, 2025 (6 PM). Passes Unanimously

13. Designation of Monument Ridge West Election Date Board discussed adjusting the annexation election date from January 20, 2026 (holiday conflict) to February 19, 2026.

Motion (Stern, Boyett) Passed Unanimously to move election date to February 19, 2026.

Town Attorney clarified:

- Annexation proposals, not just petitions, are subject to election by code.
- Ballot language will be drafted by the applicant and reviewed by the Town for clarity and fairness.
- Future ordinance amendments will define election procedures, costs, and timing.

14. Ballot Language for Annexation Election - Attorney Krob reported that he has spoken with the applicant's attorney regarding the annexation election ballot language.

- The Board of Trustees will receive a draft of the ballot language approximately one week prior to the next meeting for review.
- Attorney Krob explained that the Town is allowing the applicant to draft initial ballot language essentially granting them partial input on how the question is presented to voters subject to Board review and approval.
- The Board has requested that the applicant clearly state what they are asking voters to decide on.

- It is ultimately the Board's responsibility to review, revise, and make recommendations on the final ballot language.
- The Board will also need to address the parameters and procedures related to the upcoming annexation election

Public Comment from Martha Brodzic request people to review the language. Kellie Currie wanted to address the board of 2024 and the start of the process and letter with questions to Dawn Collins and questions she had regarding all this. Gary Atkins he asked about the process and his confusion regarding the application for annexation.

15. Address Board of Trustee Vacancy – Mayor Stern spoke about referenced a prior motion by Trustee Beth to consider the three previously interviewed applicants for the vacant trustee position.

- Alex Farr is no longer interested in being considered.
- This leaves two remaining candidates, both of whom attended the prior meeting.
- Concerns were raised regarding the conduct of those candidates during that meeting, including inappropriate behavior and lack of decorum.
- Trustee [Name] recommended reopening the application process for two weeks, noting that two weeks have already elapsed within the 60-day appointment window.
- The proposal included:
 - Conducting new interviews within the two-week period.
 - Making an appointment within the 60-day timeframe.
 - Proceed to a special election if the Board cannot reach an appointment decision.
- A motion was made to reopen the application process for the vacant trustee position.

MOTION: Stern moved to reopen the application process for the vacant Trustee position. Motion seconded by Trustee Boyett.

Roll Call Vote:

- Jurka – No
- Caves – Yes
- Stern – Yes
- Boyett – Yes
- Roger – No (*stated that he does not believe an explanation regarding a candidate is grounds for disapproval*)
- Harris – No

Result: **MOTION** failed (3–3).

Discussion continued regarding election timing and potential cost-saving options. The Board reviewed whether aligning future elections could reduce expenses; however, based on the current timeline and state statute requirements, this does not appear feasible at this time. Town Clerk Romero gave information with options of opening up applications and still having the options of going to an election which will help save potential cost and confusion adding to other elections.

Staff reviewed the statutory timelines related to setting elections following a vacancy. It was noted that:

- An election must be called within 60 days of the vacancy declaration, with the deadline falling on December 8.
- The next regular meeting on December 11 could serve as the date to call the election, if necessary, as the 60-day period ends over the weekend.
- Depending on when recall petitions are verified and other election timelines begin, the dates for multiple potential elections may not align due to statutory requirements and timing differences of 10–15 days between events.
- Staff indicated they are working on a flow chart to outline various election scenarios but are awaiting confirmed dates for accuracy.

Staff clarified that if the Board chooses to accept and review applications for the vacancy, and determines none of the applicants are suitable, the Board would still remain within the legal time frame to call an election. This allows for both appointment and election options to remain open.

Board members discussed the timing of a potential election for the vacancy created by the recent resignation. Questions were raised regarding the specific statutory time frames for calling and holding the election (60–90 days). Staff committed to confirming the exact dates.

It was further noted that the cost of a special election is approximately \$30,000, while reviewing applications and making an appointment would only require staff time. Several trustees expressed interest in accepting applications and conducting interviews to attempt an appointment before moving to an election.

Public Comment

Kevin Dreer, Urged the Board to take applications and collaborate to appoint a qualified individual rather than spend town funds on another special election, emphasizing fiscal responsibility and teamwork. Martha Bradzik stated that qualifications should take precedence over personal preferences and encourage consideration of all qualified residents, and she is willing to work with any willingness to work. Kathy Keely asked for clarification on prior applicants and whether all interested individuals had been contacted. The Board confirmed that one candidate declined further consideration. Trina Shook referenced Tim Caves recall and past elections. Mr. Moseley requested Kevin and Shanna not to step down and stated they made the right decisions. Additional residents expressed concerns about transparency and communication among trustees regarding applicant outreach. Staff clarified that individual conversations with residents are allowed provided no quorum meets or decisions are made outside public meetings.

The Town Administrator emphasized the workload and cost associated with repeated special elections and recalls, noting that they impact on staff capacity across departments. The Administrator requested that the Board seek collaborative solutions to minimize administrative and financial burdens when possible.

- Following discussion, a **MOTION** was made by Trustee Stern and seconded by Trustee Boyett.
- Roll Call Vote:
 - Jurka – No
 - Caves – Yes
 - Stern – Yes
 - Boyett – Yes
 - Moseley – Yes
 - Harris – No

- **MOTION** passed (4–2).
- The Board approved opening the vacant Trustee position to public applications for two weeks.
- Interviews will be conducted, and an appointment vote will be held at a meeting before December 8, 2025.
- Applications will open immediately, and interviews will be scheduled prior to the deadline.

Public Comment – Public Comment Summary

Angela Fike Asked whether the Board has considered seeking bids from other law firms to help reduce legal costs, noting that over \$70,000 has already been spent. Suggested that the Town could save money by evaluating alternative firms that provide similar services at a lower rate.

Additionally, clarified language from a prior annexation ballot initiative, stating that under the ordinance, no annexation becomes effective unless approved by voters, expressing concern that it may have been previously misinterpreted. Martha Bradzik addressed concerns regarding process and adherence to Town code, referencing a Planning Commission meeting on October 30 where an agenda item was added less than 24 hours before the meeting. Urged the Town to follow established public notice and minor subdivision procedures, particularly concerning the Elephant Rock property and the EoSpa development, emphasizing the need for transparency and consistency with Town code. Amy Hudson clarified that the Willins do not yet own the EoSpa property, confirming ownership remains with the Town until subdivision is finalized Laurel Scow Submitted a written statement to the Board expressing concern over the annexation process and zoning implications related to the proposed Buc-ee's development. Stated that the October 2 meeting represented a turning point for community trust, alleging the process was manipulated to favor a specific outcome. Argued that the proposed annexation conflicts with the area's historic zoning, which has long supported only small-scale commercial and residential uses. Emphasized that the annexation election is fundamentally about protecting zoning integrity and community character, asserting that the project sets a concerning precedent for future development in northern El Paso County. Mr. Moseley clarified more information regarding EcoSpa the town is still in charge not the applicant and thanked Glen Smith for his work on that project.

Board Reports –

- Trustee Harris thanked the public for their continued engagement and participation in Town meetings.
- Trustee Moseley complimented the CML training he attended, noting that it was excellent and informative, and expressed appreciation to staff for encouraging his attendance.

Next Meeting and Future Items- November 13, 2025, 6pm at Town Hall

MOTION to adjourn was made by Trustee Boyett and seconded by Trustee Harris. The meeting was adjourned at 9:27 PM.



KROB LAW OFFICE, LLC
Attorneys at Law

8400 E. Prentice Avenue, Penthouse
Greenwood Village, CO 80111
Phone: (303) 694-0099

INVOICE

Date: 10/22/2025

Town of Palmer Lake

Town of Palmer Lake-General Legal Services

General Legal Services

Attorney	Date	Notes	Quantity	Rate	Total
SPK	09/02/2025	Telephone conference with E. Romero and G. Smith regarding audit concerns, PC agenda preparation, and next steps for Chin annexation, Follow up telephone conference with E. Romero regarding PC agenda and packet, Follow up telephone conference with Planning Commissioner regarding possible recusal	1.40	\$175.00	\$245.00
SPK	09/04/2025	Telephone conference with K. Dreher regarding intimidation concerns, Email to Brownstein firm regarding concern with ex parte communications, Email to A. Bergeron regarding safety concerns, Telephone conference with E. Romero regarding election issues and pending matters, Telephone conference with G. Smith regarding safety concerns and pending matters	1.30	\$175.00	\$227.50
SPK	09/05/2025	Telephone conference with G. Smith regarding 121 Lake Ave plans and discussion with division water engineer, Receive and review email related to personnel matter, Receive and review email from M. Brodzik regarding who to complain to, Receive and review email from E. Romero regarding agenda prep, Receive and review email from R. Moseley regarding non-public training of election judges, Receive and review emails regarding election issues	1.90	\$175.00	\$332.50
SPK	09/07/2025	Review Chin petition, Review statute regarding annexation elections, Draft initial resolution, Receive, review and respond to email from J. Egbert and E. Romero regarding election issues, Review Colorado constitution regarding annexation election petitions,	1.90	\$175.00	\$332.50

10/22/2025

		Finish initial resolution for Chin annexation, Email to E. Romero with cover			
SPK	09/08/2025	Receive and review email from M. Brodzik regarding election and response from J. Egbert, Telephone conference with Mayor regarding election question, Receive and review email from G. Smith regarding public access signage, Telephone conference with G. Smith regarding same, election issues, and pending matters, Review files and update list of pending matters, Receive and review updated list of pending matters from B. Cole, Email regarding DRT, Receive and review follow up emails from B. Cole and E. Romero regarding same, Receive and review email from N. Poppe regarding subpoenas for media sites, Receive and review emails regarding agenda prep, Prepare for and attend DRT virtual meeting, Finish initial resolution for Chin annexation, Email to E. Romero with cover	3.80	\$175.00	\$665.00
SPK	09/09/2025	Draft proposed press release and email to E. Romero, Receive and review email from chief regarding police incident, Receive and review email from E. Romero to N. Poppe regarding subpoena follow up, Receive and review update from J. Chavez regarding Illumination Point, Receive and review emails between G. Smith and M. Brodzik regarding chain of administration, Receive, review and respond to email from E. Romero regarding limiting access to Town administration building, Receive, review and respond to email from attorney for municipal court Defendant Strzok, Telephone call to attorney regarding same, Telephone conference with E. Romano regarding election and pending matters, Email resolution to set annexation hearing to T. Messenger in connection with Chin petitions with cover regarding additional Town Code requirements	2.20	\$175.00	\$385.00
SPK	09/10/2025	Receive and review initial election results, Telephone conference with E. Romero regarding same and upcoming BOT meeting, Receive and review emails regarding recall results, Receive, review and respond to email from E. Romero regarding replacement trustees, Outline pending issues related to election, Research statute and Town Code regarding implementation of initiated ordinance, Receive and review B. Cole memo to Muni Code regarding codification, Email to B. Cole regarding same	3.20	\$175.00	\$560.00
SPK	09/11/2025	Telephone conference with G. Smith regarding excavation and related issues at Elephant Rock, Telephone conference with E. Romero regarding election, new trustee and commissioner training, implementing initiated ordinance and pending matters, Telephone conference with attorney for municipal court defendant Strozok regarding possible disposition, Receive and review driving records for municipal court	2.10	\$175.00	\$367.50

10/22/2025

defendants Stroz, Pohlen, and Deuter

SPK	09/12/2025	Telephone conference with G. Smith regarding Elephant Rock and work being done by Willans, Review amendment to EcoSpa option to purchase. Email to G. Smith with cover, Follow up telephone conference with G. Smith regarding same, Follow up emails regarding proceeding with parking area work, Receive and review email from B. Cole regarding additional clean up to land use code, Receive and review response regarding same, Review billing file and generate number of hours for IM CORA review, Email to C. Birkeland regarding same, Receive and review email from E. Romero regarding trustee training, Telephone conference with E. Romero regarding same and ordinance authorizing sale of Town property to TwentyFive, Review ordinance and email to E. Romero with cover, Receive and review updated memo from CMI to MuniCode regarding codification, Receive and review emails from Title Company regarding TwentyFive closing, Email to closing agent regarding receipt and review of documents in advance of closing, Receive, review and respond to emails from E. Romero and S. Light regarding Trustee and Commissioner training, Receive and review title commitment and correspondence from Title Company for sale to TwentyFive, Email to title company regarding review of documents for Town to sign, Receive and review emails regarding buyer's survey and issue of ownership of Parcel C, Receive and review follow up email from title company regarding change in identity of buyer, Receive and review emails from B. Cole regarding comments to applicant for Red Rocks annexation, Receive and review survey from buyer's surveyor, Receive and review email from title company regarding authority of mayor pro tem, Provide code section to address authority of mayor pro tem, Listen to BOA meeting regarding 121 Lake Avenue setback variance request, Review BOA minutes from 121 Lake variance hearing and BOA packet	7.90	\$175.00	\$1,382.50
SPK	09/13/2025	Receive and review emails regarding swearing in of new trustees, Receive and review email from J. Chavez regarding MS4 requirements for EcoSpa parking lot	0.30	\$175.00	\$52.50
SPK	09/15/2025	Review DOLA materials regarding ADU compliance, Telephone conferences with E. Romero regarding TwentyFive closing, Receive, review and provide comments on special warranty deed, Follow up with E. Romero regarding same same and pending matters	0.90	\$175.00	\$157.50
SPK	09/16/2025	Telephone conference with E. Romero and G. Smith regarding EcoSpa related matters and pending items, Review amendment to EcoSpa option to purchase, Email to B. Cole, M. Morton, and J. Chaevz with cover, Receive and review email regarding meeting to	2.00	\$175.00	\$350.00

10/22/2025

		discuss same, Prepare for and participate in virtual meeting with staff to discuss next steps with Eco/Spa			
SPK	09/17/2025	Receive and review emails from Title Company and buyer's realtor regarding TwentyFive parcel, Confer with E. Romero regarding same and request for amendment to extend closing, Receive and review email from buyer's realtor regarding proceeding with closing on reduced parcel, Draft and send email to buyer's realtor regarding need to resolve remaining issues before closing, Telephone conference with E. Romero regarding CORA requests and pending matters, Receive and review follow up email from TwentyFive realtor, Receive and review emails from Mayor Pro Tem regarding TwentyFive closing issues and BOT meeting matters	1.60	\$175.00	\$280.00
SPK	09/18/2025	Receive and review email from B. Cole regarding Title 17 and Muni Code, Receive, review and respond to email from TwntyFive's realtor regarding extending the closing and resolving ROW and access issues, Virtual meeting with E. Romero regarding pending legal matters and upcoming BOT agenda items, Receive, review and respond to email from E. Romero regarding oaths of office, Receive and review ILC and correspondence related to 121 Lake Ave setback issue, Receive, review and respond to email from M. Helwege regarding TwentyFive transaction, Review PSA regarding calculation of purchase price, Receive, review and respond to email from A. Hutson regarding TwentyFive closing and BOT meeting agenda items	3.50	\$175.00	\$612.50
SPK	09/19/2025	Update list of pending matters, Telephone conference with B. Cole regarding errata version of Title 17 and review and approval process, Update regarding Monument Creek annexation petition and process, Receive and review email from C. Birkelund regarding accounting processes, Draft ordinance to implement initiated ordinance, Telephone conference with TwentyFive's realtor regarding next steps and amendment, Draft and send confirming email regarding same	3.50	\$175.00	\$612.50
SPK	09/21/2025	Continue to draft ordinance implementing ballot initiative requiring annexation election and revised Section 17.14.040 reflecting same	0.70	\$175.00	\$122.50
SPK	09/22/2025	Update list of pending matters, Telephone call to Chin annexation's counsel regarding status, Finish ordinance and Exhibit A to implement initiative regarding annexation elections and revise Town Code, Email to E. Romero with cover, Receive and review emails from R. Moseley and E. Romero regarding budget and BOT packet process, Receive and review follow up email from realtor for TwentyFive, Telephone conference with E. Romero regarding initiative ordinance, TwentyFive amendment and status, and	6.80	\$175.00	\$1,190.00

items for BOT, Receive, review and respond to email from G. Smith regarding possible future auditors for the Town, Receive, review and reply to response from Chin's attorney regarding status of annexation petition, Receive and review draft BOT agenda, Prepare for and participate in agenda preparation session with E. Romero and Mayor Pro Tem, Review notes from Eco Spa discussion with DRT, Prepare for and participate in virtual meeting with E. Romero, T. Caves, and A. Hutson regarding EcoSpa development, Prepare for and participate in DRT, Telephone conference with E. Romero regarding revisions to agenda to address post executive session actions, Draft and email suggested language to E. Romero, Receive, review and respond to email from E. Romero regarding revisions to ordinance implementing initiative

SPK	09/23/2025	Review notes and email from applicant's realtor, Prepare for and attend virtual meeting with same and E. Romero and M. Morton to discuss well access easement and amendment to PSA, Receive and review email from applicant's realtor regarding language for 3rd amendment, Review and prepare proposed dispos for defendants Deuter, Pohlen, and Strzok in municipal court, Review email from M. Helwege regarding amendment to PSA with TwentyFive, Telephone conference with G. Smith regarding 121 Lake Avenue inspection, Draft ordinance to vacate portion of Estabrook Street in connection with PSA with TwntyFive, Follow up telephone conference with E. Romero regarding vacation ordinance and amended PSA for TwentyFive PSA	4.60	\$175.00	\$805.00
SPK	09/24/2025	Telephone conference with Mayor regarding participation of new trustees and pending items, Follow up discussion with Mayor regarding same, Receive and review materials from CIRSA's attorney for trustee training, Review SPK materials for trustee training, Outline issues for Trustee transition, Telephone conference with S. Light regarding Trustee training and succession and related issues, Telephone conference with E. Romero regarding packet, Receive and review BOT packet, Draft executive session script for BOT and email to A. Hutson with cover, Work on orientation and training materials, Review Town Code regarding ethics/conduct provisions, Email to E. Romero regarding same	6.30	\$175.00	\$1,102.50
SPK	09/25/2025	Review files and prepare notes for attorney report, Telephone conference with K. Earhart regarding 121 Lake Avenue, Draft and revise report regarding 121 Lake Avenue and email to Town staff and BOA for review, Prepare for and attend office conference with Mayor Pro Tem, E. Romero, and G. Smith regarding pending CORA requests, BOT meeting items, and pending matters, Prepare for and attend BOT meeting and executive session	7.70	\$175.00	\$1,347.50

10/22/2025

SPK	09/26/2025	Finish review of S. Light materials for training, Edit materials for training session and email to E. Romero with cover, Prepare for and participate in training session with newly elected trustees and planning commissioners, Confer with G. Smith regarding budget and personnel matters, Follow up telephone conference with K. Eberhardt regarding 121 Lake Ave memo, Receive and review follow up memo from G. Smith regarding personnel matter, Telephone conference with E. Romero regarding possible request for annexation election and materials to include in BOT packet	7.10	\$175.00	\$1,242.50
SPK	09/27/2025	Receive and review emails from R. Moseley regarding agenda item related to accounting and personnel concerns to mayor or attorney, agenda items, and concerns with EcoSpa, Email to DJ Goddard regarding conflict issues for Trustee Moseley in light of pending litigation against the Town, Update list of pending matters	1.60	\$175.00	\$280.00
SPK	09/29/2025	Receive and review email from G. Smith regarding personnel matter and possible investigation. Telephone conference with G. Smith regarding same and agenda for BOT meeting, Finalize municipal court dispositions, Receive and review email from municipal court defendant Swanson, Prepare for and attend DRT meeting	1.90	\$175.00	\$332.50
SPK	09/30/2025	Outline issues for Lakeview Heights land conservation discussion, Prepare for and participate in virtual meeting with Land Conservancy, E. Sepp, E. Romero, and G. Smith regarding same, Notes to file regarding same, Telephone conference with G. Smith regarding Lakeview Heights follow up, Elephant Rock issues and possible meeting and pending matters, Confer with G. Smith and E. Romero regarding personnel issue and pending matters	1.80	\$175.00	\$315.00

ACCOUNT# 10-21-5103
CB

Subtotal \$13,300.00

Town of Palmer Lake-2024 Annexation

2024 Annexation

Attorney	Date	Notes	Quantity	Rate	Total
SPK	09/01/2025	Telephone conference with Planning Commissioner Bergeron regarding packet received from Brownstein firm	0.30	\$175.00	\$52.50
SPK	09/02/2025	Finish review of PC questions and possible responses from staff, Draft and send email to consultants	7.90	\$175.00	\$1,382.50

10/22/2025

		regarding next steps with PC, Draft and send email to Brownstein attorney regarding packets provided to PC members, Draft email to PC regarding PC questions to applicant, receipt of materials from Brownstein firm, outline of PC packet and pending matters, Prepare for and participate in virtual meeting with staff and consultants to prepare for continued PC meeting, Draft agenda language for PC continued meeting and email to E. Romero with cover, Telephone conference with S. Frear regarding materials related to Land Conservancy ROW acquisition, Review Galloway traffic study comments, BBA water study comments and HWA environmental study comments			
SPK	09/02/2025	(CORA-IM) Continue review of documents for privilege, Follow up email to C. Gayle	1.00	\$175.00	\$175.00
SPK	09/03/2025	(CORA - IM) Continue to review documents and generate privilege log	3.00	\$175.00	\$525.00
SPK	09/03/2025	Review list of questions from PC, Prepare for and attend weekly meeting with applicant's counsel and staff, Follow up telephone conferences with applicant's counsel regarding PC meeting, Receive and review applicant's summary of PC's questions and applicant's responses, Draft script for PC chair for hearing, Office conference with A. Bergeron regarding recusing, Review packet of materials from Brownstein provided to PC members, Office conference with E. Romero and PC chair, Prepare for and attend PC meeting, Confer with staff regarding same	7.50	\$175.00	\$1,312.50
SPK	09/04/2025	Receive and review email from applicant's counsel regarding planning commission, Telephone conference with applicant's counsel regarding same and steps moving forward	0.50	\$175.00	\$87.50
SPK	09/04/2025	(CORA - IM) Continue to review documents and prepare privilege log	2.50	\$175.00	\$437.50
SPK	09/05/2025	(CORA - IM) Continue to review documents and prepare privilege log, Confer with NLK regarding same	7.70	\$175.00	\$1,347.50
SPK	09/05/2025	Telephone conference with G. Smith regarding discussion with division engineer	0.30	\$175.00	\$52.50
NK	09/05/2025	[CORA-IM] Review documents and draft privilege log	2.00	\$175.00	\$350.00
SPK	09/08/2025	(CORA - IM) Email privilege log to C. Bergelund with cover, Follow up discussion regarding same and delivering to Integrity Matters	0.30	\$175.00	\$52.50
SPK	09/09/2025	Receive, review and respond to email from Town staff regarding redaction of privileged documents based on privilege log, Correct privilege log and resend	0.70	\$175.00	\$122.50

10/22/2025

SPK	09/10/2025	Confer with E. Romero, Prepare for and attend weekly meeting with applicant and staff	0.50	\$175.00	\$87.50
SPK	09/12/2025	Email to Town consultants and staff regarding holding off on further work for the moment	0.20	\$175.00	\$35.00
SPK	09/17/2025	Telephone conference with applicant's counsel regarding status of application, Receive and review letter from governor regarding opposition to application	0.40	\$175.00	\$70.00
SPK	09/18/2025	Receive and review and outline response to Integrity Matters objection to CORA invoice	0.30	\$175.00	\$52.50
SPK	09/19/2025	Receive, review and respond to email from K. Gayle objecting to CORA bill	0.60	\$175.00	\$105.00
SPK	09/21/2025	Receive and review M. Beeson email regarding trustee conflict of interest in connection with Buc-ee's vote	0.20	\$175.00	\$35.00
SPK	09/22/2025	Telephone conference with applicant's counsel regarding status of annexation, Receive and review email from applicant's counsel regarding same	0.40	\$175.00	\$70.00
SPK	09/23/2025	Email to E. Romero regarding response to Integrity Matters CORA request, Finalize and send response to K. Gayle	0.40	\$175.00	\$70.00
SPK	09/24/2025	Telephone conference with Mayor regarding possible continuance of 10/2 hearing, Prepare for and participate in weekly meeting with applicant, Telephone conference with applicant's counsel regarding issues for BOT hearing	0.80	\$175.00	\$140.00
SPK	09/25/2025	Receive and review email from applicant's attorney regarding timing of annexation elections required by initiative	0.20	\$175.00	\$35.00
SPK	09/26/2025	Outline materials for BOT packet, Telephone conference with E. Romero regarding same, Telephone conference with S. Frear regarding packet and election request, Follow up call to E. Romero regarding same	0.80	\$175.00	\$140.00
SPK	09/27/2025	Telephone conference with Mayor regarding status of application and possible request for annexation election, Email to N. Poppe regarding Trustee Mosely conflicts, Outline list of pending issues in connection with Buc-ee's annexation	1.50	\$175.00	\$262.50
SPK	09/29/2025	Receive and review email from N. Poppe regarding confidentiality concerns, Receive and review email from M. Beeson regarding possible Trustee conflict of interest, Receive and review letter from applicant's attorney requesting annexation election, Follow up call to applicant's attorney regarding annexation election cost and timing issues, Review notes and finalize PC resolution recommending denial of PD in redline and clean format	2.10	\$175.00	\$367.50

10/22/2025

SPK	09/30/2025	Receive and review final letter from applicant requesting annexation election and outline issues for discussion with staff, Email to staff regarding meeting to discuss same and BOT agenda, Draft staff memo regarding annexation election and continuance, Email to E. Romero to send to BOT, Virtual call with staff and A. Hutson regarding same, Receive and review response from S. Frear regarding BOT meeting attendance, Agenda prep with staff and Mayor Pro Tem, Telephone conferences with T. Caves regarding BOT meeting and annexation election, Receive and review mail from E. Romero and agenda for special meeting, Receive and review email from Trustee Moseley regarding staff memo for annexation election/continuance issue	4.30	\$175.00	\$752.50
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Subtotal \$8,120.00

ACCOUNT# 10-21-5109-040 REIMB
CB

Total \$21,420.00

Detailed Statement of Account

Current Invoice

Invoice Number	Due On	Amount Due	Payments Received	Balance Due
1301	10/22/2025	\$21,420.00	\$0.00	\$21,420.00
			Outstanding Balance	\$21,420.00
			Total Amount Outstanding	\$21,420.00

Please make all amounts payable to: Krob Law Office, LLC

Payment is due upon receipt.

Palmer Lake Water Department

October 2025 Operations

Total water produced for the month: 15.02 Acre-feet/4,894,282 gallons

Surface plant production: 10.15 acre-feet/3,306,000 gallons

Ground plant production(D2R well): 4.88 acre-feet/1,589,000 gallons

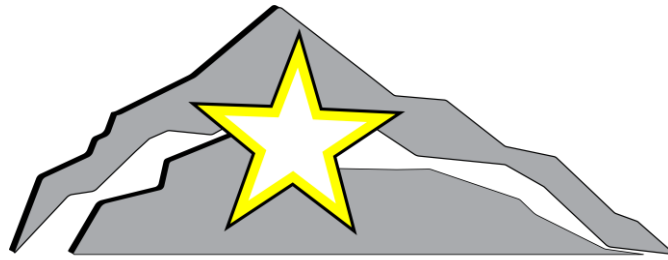
Avg daily production: 158k gallons per day (gpd)

110 gallons per minute (gpm)

SWTP daily avg. 74 gpm/107k per day

GWTP daily avg. 36 gpm/51k per day

- 4th Quarter sampling results received; all results were well within regulatory limits. Testing included Distribution Chlorite residual, Disinfection By-Products, and PFAS (perfluorinated compounds) at SWTP, D2 and A2 wells.
- Replaced failed level transducer in High Zone Tank 1
- Completed Upper and Lower reservoir inspections. No increase in seepage. Water clarity is excellent but still seeing a lot of algae growth.
- SCADA laptop is in service and being utilized nightly for system operations.
- Awaiting rebuilt chlorine dioxide pump....
- Placed order for Filter Vessel #2 media and underdrains; 4-6 weeks out.
- Replaced failed solenoid control block for filter vessel #1 effluent valve; back in-service



Town of Palmer Lake

Board of Trustees Summary Sheet

	October 2025
Title	Public Works Monthly Report
Date	October 3, 2025
Contact	Stacy DeLozier
Summary	<p>Routine monthly roads and parks maintenance.</p> <p>Winterized EPC bathroom on East side of the Lake.</p> <p>Removed Fountain from the Lake.</p> <p>Prepped Pickleball Court bathrooms to stay open year-round.</p> <p>We prepared plow trucks, equipment and roads for winter season.</p> <p>Monthly Parks Commission Meeting 11/4/2025</p>
Training	Ongoing weekly/ monthly safety training, meetings, PPACG, Monthly safety meetings
Other Activity	<p>Spruce Mountain Road meeting with CDOT and PPACG coming up in the next week or so.</p> <p>Working on 2026 PW/Parks Proposed budget.</p>



Board of Trustees Summary Sheet

November 2025	
Title	Police Monthly Report
Action	N/A
Date	10/1/25-10/31/2025
Contact	Lieutenant A. Lundy
Summary	In the month of October 2025, the PLPD made 46 traffic stops and issued 40 citations. Also, in the month of October 32 reports were taken and there were 4 traffic accidents. PLPD Officers charged 2 domestic violence cases in the month of October. PLPD made 21 citizen contacts.
Training	All officers completed Driving on Patrol training.
Other Actions	PLPD successfully hosted another blood drive. There were 17 donors, 0 deferrals, and 3 power red donations. A total of 19 units of blood were collected with a goal of 17. Approximately 57 lives could be saved from these donations. The PLPD Honor Guard performed the Opening Ceremony for Legacy Race’s annual fund raising event at the Norris Penrose Event Center. The event raised \$122,000 for Breast Cancer research and awareness. The event also received an additional monetary sum as a result of the PLPD Pink Patch sales in the month of October.

Calls for service	PLPD officers responded to 116 calls for service in the month of October.
B.H.C.O.N.	The PLPD B.H.C.O.N. program launched at the beginning of this year. The grant funded program is intended to circumvent arrests of mentally ill individuals when appropriate and afford these individuals resources to seek the help they need. The program has had 148 calls for service and has taken 23 case reports as a result.
S.T.E.P.	S.T.E.P. was instituted in March of 2021 and has made a great impact on police operations and overall street safety of Palmer Lake. Officers have conducted 360 shifts over the last 2 years. The most common citations written are for failure to stop at stop signs and speeding. Monies gained from these shifts have been a great benefit to the overall Town budget as a supplemental income. Proceeds from the S.T.E.P. program have recently purchased 2 vehicles for the PLPD which were previously unbudgeted for but needed.
H.V.E.	PLPD's High Visibility Enforcement (DUI/DUID) program has added to the safety of Palmer Lake's residents by effectively enforcing DUIs and DUIDs within its jurisdiction. H.V.E. has created 167 calls for service and taken 18 case reports. 290 hours have been worked between 3 Officers. There have been 133 contacts and 12 arrests, 2 of which were felony level DUIs. There is an average of 1 DUI arrest per H.V.E. shift.



November 3, 2025

Board of Trustees
Town of Palmer Lake
42 Valley Crescent
Palmer Lake, Colorado 80133

We are pleased to confirm our understanding of the services we are to provide to the Town of Palmer Lake (the Town). We will audit the financial statements of the governmental activities, each major fund, the aggregate remaining fund information, and the related notes to the financial statements, which collectively comprise the basic financial statements of the Town as of and for the year ended December 31, 2024.

In addition, we will audit the entity's compliance over major federal award programs for the period ended December 31, 2024, if required. We are pleased to confirm our acceptance and our understanding of this audit engagement by means of this letter. Our audits will be conducted with the objectives of our expressing an opinion on each opinion unit and an opinion on compliance regarding the entity's major federal award programs.

Accounting principles generally accepted in the United States of America require that supplementary information (RSI), such as management's discussion and analysis (MD&A), budgetary comparison schedule for the General Fund, schedules of the Town's proportionate share of the net pension liability and the Town's contributions, if applicable be presented to supplement the Town's basic financial statements. Such information, although not a part of the basic financial statements, is required by the *Governmental Accounting Standards Board* who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. As part of our engagement, we will apply certain limited procedures to the required supplementary information (RSI) in accordance with auditing standards generally accepted in the United States of America. These limited procedures will consist primarily of inquiries of management regarding their methods of measurement and presentation and comparing the information for consistency with management's responses to our inquiries. We will not express an opinion or provide any form of assurance on the RSI. The following RSI is required by accounting principles generally accepted in the United States of America. This RSI will be subjected to certain limited procedures but will not be audited:

- Management's Discussion and Analysis
- Budgetary Comparison Schedules
- Schedule of the Town's proportionate share of the net pension liability, if applicable
- Schedule of the Town's contributions, if applicable

Office Locations:

Colorado Springs, CO
Denver, CO
Frisco, CO
Tulsa, OK

Denver Office:

750 W. Hampden Avenue,
Suite 400
Englewood,
Colorado 80110
TEL: 303.796.1000
FAX: 303.796.1001
www.HinkleCPAs.com

Supplementary information other than RSI will accompany the Town's basic financial statements. We will subject the following supplementary information to the auditing procedures applied in our audit of the basic financial statements and certain additional procedures, including comparing and reconciling supplementary information to the underlying accounting and other records used to prepare the financial statements or to the financial statements themselves, and additional procedures in accordance with auditing standards generally accepted in the United States of America. We intend to provide an opinion on the following information in relation to the financial statements as a whole:

- Schedule of expenditures of federal awards (if required)
- Combining financial statements
- Local highway finance report

Schedule of Expenditures of Federal Awards (if required)

We will subject the schedule of expenditures of federal awards to the auditing procedures applied in our audit of the basic financial statements and certain additional procedures, including comparing and reconciling the schedule to the underlying accounting and other records used to prepare the financial statements or to the financial statements themselves, and additional procedures in accordance with auditing standards generally accepted in the United States of America. We intend to provide an opinion on whether the schedule of expenditures of federal awards is presented fairly in all material respects in relation to the financial statements as a whole.

Data Collection Form (if required)

Prior to the completion of our engagement, we will complete the sections of the Data Collection Form that are our responsibility. The form will summarize our audit findings, amounts and conclusions. It is management's responsibility to submit a reporting package including financial statements, schedule of expenditures of federal awards, summary schedule of prior audit findings and corrective action plan along with the Data Collection Form to the Federal Audit Clearinghouse. The financial reporting package must be text searchable, unencrypted, and unlocked. Otherwise, the reporting package will not be accepted by the Federal Audit Clearinghouse. We will assist you in the electronic submission and certification. You may request from us copies of our report for you to include with the reporting package submitted to pass-through entities.

The Data Collection Form is required to be submitted within the earlier of 30 days after receipt of our auditor's reports or nine months after the end of the audit period, unless specifically waived by a federal cognizant or oversight agency for audits. Data Collection Forms submitted untimely are one of the factors in assessing programs at a higher risk.



Audit of the Financial Statements

We will conduct our audit in accordance with auditing standards generally accepted in the United States of America (U.S. GAAS), the standards applicable to financial audits contained in Government Auditing Standards, issued by the Comptroller General of the United States of America; the audit requirements of Title 2 U.S. Code of Federal Regulations (CFR) Part 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards (Uniform Guidance) and, if applicable, in accordance with any state or regulatory audit requirements. Those standards and the Uniform Guidance require that we plan and perform the audit to obtain reasonable assurance about whether the basic financial statements are free from material misstatement. An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the financial statements. The procedures selected depend on the auditor's judgment, including the assessment of the risks of material misstatement of the financial statements, whether due to error, fraudulent financial reporting, misappropriation of assets, or violations of laws, governmental regulations, grant agreements, or contractual agreements.

An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluating the overall presentation of the financial statements. If appropriate, our procedures will therefore include tests of documentary evidence that support the transactions recorded in the accounts, tests of the physical existence of inventories, and direct confirmation of cash, investments, and certain other assets and liabilities by correspondence with creditors and financial institutions. As part of our audit process, we will request written representations from your attorneys, and they may bill you for responding. At the conclusion of our audit, we will also request certain written representations from you about the financial statements and related matters.

Because of the inherent limitations of an audit, together with the inherent limitations of internal control, an unavoidable risk that some material misstatements or noncompliance (whether caused by errors, fraudulent financial reporting, misappropriation of assets, detected abuse, or violations of laws or governmental regulations) may not be detected exists, even though the audit is properly planned and performed in accordance with U.S. GAAS and Government Auditing Standards of the Comptroller General of the United States of America and, if applicable, in accordance with any state or regulatory audit requirements. Please note that the determination of abuse is subjective and Government Auditing Standards does not require auditors to detect abuse.

In making our risk assessments, we consider internal control relevant to the entity's preparation and fair presentation of the financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the entity's internal control. However, we will communicate to you in writing concerning any significant deficiencies or material weaknesses in internal control relevant to the audit of the financial statements that we have identified during the audit. Our responsibility as auditors is, of course, limited to the period covered by our audit and does not extend to any other periods.

We will issue a written report upon completion of our audit of the Town's basic financial statements. Our report will be addressed to the governing body of the Town. We cannot provide assurance that unmodified opinions will be expressed. Circumstances may arise in which it is necessary for us to modify our opinions, add an emphasis-of-matter or other-matter paragraph(s), or withdraw from the engagement.



In accordance with the requirements of Government Auditing Standards, we will also issue a written report describing the scope of our testing over internal control over financial reporting and over compliance with laws, regulations, and provisions of grants and contracts, including the results of that testing. However, providing an opinion on internal control and compliance over financial reporting will not be an objective of the audit and, therefore, no such opinion will be expressed.

Audit of Major Program Compliance

If a Single Audit is required, our audit of the Town's major federal award program(s) compliance will be conducted in accordance with the requirements of the Single Audit Act, as amended; and the Uniform Guidance, and will include tests of accounting records, a determination of major programs in accordance with the Uniform Guidance and other procedures we consider necessary to enable us to express such an opinion on major federal award program compliance and to render the required reports. We cannot provide assurance that an unmodified opinion on compliance will be expressed. Circumstances may arise in which it is necessary for us to modify our opinion or withdraw from the engagement.

The Uniform Guidance requires that we also plan and perform the audit to obtain reasonable assurance about whether the entity has complied with applicable laws and regulations and the provisions of contracts and grant agreements applicable to major federal award programs. Our procedures will consist of determining major federal programs and performing the applicable procedures described in the U.S. Office of Management and Budget OMB Compliance Supplement for the types of compliance requirements that could have a direct and material effect on each of the entity's major programs. The purpose of those procedures will be to express an opinion on the entity's compliance with requirements applicable to each of its major programs in our report on compliance issued pursuant to the Uniform Guidance.

Also, as required by the Uniform Guidance, we will perform tests of controls to evaluate the effectiveness of the design and operation of controls that we consider relevant to preventing or detecting material noncompliance with compliance requirements applicable to each of the entity's major federal award programs. However, our tests will be less in scope than would be necessary to render an opinion on these controls and, accordingly, no opinion will be expressed in our report.

We will issue a report on compliance that will include an opinion or disclaimer of opinion regarding the entity's major federal award programs, and a report on internal controls over compliance that will report any significant deficiencies and material weaknesses identified; however, such report will not express an opinion on internal control.

Management's Responsibilities

Our audit will be conducted on the basis that management acknowledge and understand that they have responsibility:

1. For the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America;
2. For the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error;



3. For identifying, in its accounts, all federal awards received and expended during the period and the federal programs under which they were received, including federal awards and funding increments received prior to December 26, 2014 (if any), and those received in accordance with the Uniform Guidance (generally received after December 26, 2014);
4. For maintaining records that adequately identify the source and application of funds for federally funded activities;
5. For preparing the schedule of expenditures of federal awards, if required, (including notes and noncash assistance received) in accordance with the Uniform Guidance;
6. For the design, implementation, and maintenance of internal control over federal awards;
7. For establishing and maintaining effective internal control over federal awards that provides reasonable assurance that the nonfederal entity is managing federal awards in compliance with federal statutes, regulations, and the terms and conditions of the federal awards;
8. For identifying and ensuring that the entity complies with federal statutes, regulations, and the terms and conditions of federal award programs and implementing systems designed to achieve compliance with applicable federal statutes, regulations, and the terms and conditions of federal award programs;
9. For disclosing accurately, currently, and completely the financial results of each federal award in accordance with the requirements of the award;
10. For identifying and providing report copies of previous audits, attestation engagements, or other studies that directly relate to the objectives of the audit, including whether related recommendations have been implemented;
11. For taking prompt action when instances of noncompliance are identified;
12. For addressing the findings and recommendations of auditors, for establishing and maintaining a process to track the status of such findings and recommendations and taking corrective action on reported audit findings from prior periods and preparing a summary schedule of prior audit findings;
13. For following up and taking corrective action on current year audit findings and preparing a corrective action plan for such findings;
14. For submitting the reporting package and data collection form, if required, to the appropriate parties;
15. For making the auditor aware of any significant contractor relationships where the contractor is responsible for program compliance;
16. To provide us with:
 - a. Access to all information of which management is aware that is relevant to the preparation and fair presentation of the financial statements, and relevant to federal award programs, such as records, documentation, and other matters;
 - b. Additional information that we may request from management for the purpose of the audit; and
 - c. Unrestricted access to persons within the entity from whom we determine it necessary to obtain audit evidence.
17. For adjusting the financial statements to correct material misstatements and confirming to us in the management representation letter that the effects of any uncorrected misstatements aggregated by us during the current engagement and pertaining to the current year period(s) under audit are immaterial, both individually and in the aggregate, to the financial statements as a whole;
18. For maintaining adequate records, selecting and applying accounting principles, and safeguarding assets;
19. For taking reasonable measures to safeguard protected personally identifiable and other sensitive information; and
20. For confirming your understanding of your responsibilities as defined in this letter to us in your management representation letter.



With regard to the schedule of expenditures of federal awards referred to above, if applicable, you acknowledge and understand your responsibility (a) for the preparation of the schedule of expenditures of federal awards in accordance with the Uniform Guidance, (b) to provide us with the appropriate written representations regarding the schedule of expenditures of federal awards, (c) to include our report on the schedule of expenditures of federal awards in any document that contains the schedule of expenditures of federal awards and that indicates that we have reported on such schedule, and (d) to present the schedule of expenditures of federal awards with the audited financial statements, or if the schedule will not be presented with the audited financial statements, to make the audited financial statements readily available to the intended users of the schedule of expenditures of federal awards no later than the date of issuance by you of the schedule and our report thereon.

As part of our audit process, we will request from management, written confirmation concerning representations made to us in connection with the audit.

We understand that your employees will prepare all confirmations we request and will locate any documents or invoices selected by us for testing.

If you intend to publish or otherwise reproduce the financial statements and make reference to our firm, you agree to provide us with printers' proofs or masters for our review and approval before printing. You also agree to provide us with a copy of the final reproduced material for our approval before it is distributed.

Fees and Timing

Jim Hinkle is the engagement partner for the audit services specified in this letter. His responsibilities include supervising the auditing services performed as part of this engagement and signing or authorizing another qualified firm representative to sign the audit report.

Our fees are based on the amount of time required at various levels of responsibility, plus actual out-of-pocket expenses. Invoices will be rendered every two weeks and are payable upon presentation. We estimate that our fee for the audit will be \$18,000. We will notify you immediately of any circumstances we encounter that could significantly affect this initial fee estimate. Whenever possible, we will attempt to use the Town's personnel to assist in the preparation of schedules and analyses of accounts. This effort could substantially reduce our time requirements and facilitate the timely conclusion of the audit.

Other Matters

During the course of the engagement, we may communicate with you or your personnel via fax or e-mail, and you should be aware that communication in those mediums contains a risk of misdirected or intercepted communications.



The audit documentation for this engagement is the property of Hinkle & Company, PC and constitutes confidential information. However, we may be requested to make certain audit documentation available to state and federal agencies and the U.S. Government Accountability Office pursuant to authority given to it by law or regulation, or to peer reviewers. If requested, access to such audit documentation will be provided under the supervision of Hinkle & Company, PC's personnel. Furthermore, upon request, we may provide copies of selected audit documentation to these agencies and regulators. The regulators and agencies may intend, or decide, to distribute the copies of information contained therein to others, including other governmental agencies. We agree to retain our audit documentation or work papers for a period of at least five years from the date of our report.

Further, we will be available during the year to consult with you on financial management and accounting matters of a routine nature.

With respect to any nonattest services we perform, the Town's management is responsible for (a) making all management decisions and performing all management functions; (b) assigning a competent individual to oversee the services; (c) evaluating the adequacy of the services performed; (d) evaluating and accepting responsibility for the results of the services performed; and (e) establishing and maintaining internal controls, including monitoring ongoing activities.

During the course of the audit, we may observe opportunities for economy in, or improved controls over, your operations. We will bring such matters to the attention of the appropriate level of management, either orally or in writing.

You agree to inform us of facts that may affect the financial statements of which you may become aware during the period from the date of the auditor's report to the date the financial statements are issued.

At the conclusion of our audit engagement, we will communicate to the Board of Trustees, the following significant findings from the audit:

- Our view about the qualitative aspects of the entity's significant accounting practices;
- Significant difficulties, if any, encountered during the audit;
- Uncorrected misstatements, other than those we believe are trivial, if any;
- Disagreements with management, if any;
- Other findings or issues, if any, arising from the audit that are, in our professional judgment, significant and relevant to those charged with governance regarding their oversight of the financial reporting process;
- Material, corrected misstatements that were brought to the attention of management as a result of our audit procedures;
- Representations we requested from management;
- Management's consultations with other accountants, if any; and
- Significant issues, if any, arising from the audit that were discussed, or the subject of correspondence, with management.



Town of Palmer Lake
Engagement Letter
Page 8

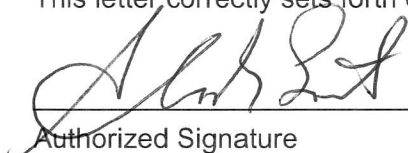
Please sign and return the attached copy of this letter to indicate your acknowledgment of, and agreement with, the arrangements for our audit of the financial statements, Single Audit (if required) and compliance over major federal award programs including our respective responsibilities (if required).

In accordance with the requirements of *Government Auditing Standards*, we have attached a copy of our latest external peer review report of our firm for your consideration and files.

We appreciate the opportunity to be your financial statement auditors and look forward to working with you and your staff.

Hick & Company, PC

This letter correctly sets forth our understanding of the Town of Palmer Lake.



Authorized Signature

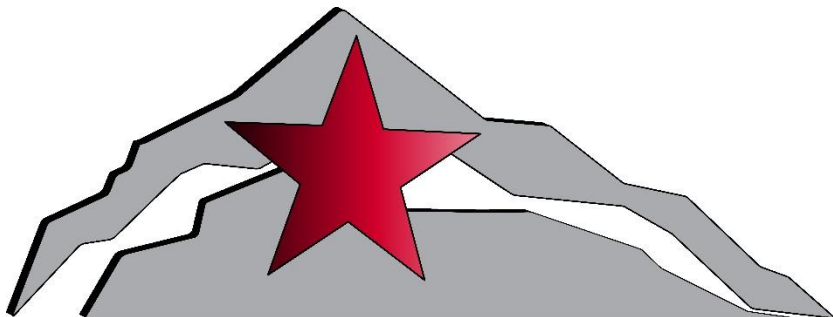
11/3/25

Date



Title





PALMER LAKE FIRE DEPARTMENT

Title	Fire Department Report- October 2025
Date	5 November 2025
Contact	Chief Vincent
Summary	Respond to Residential Structure fire. One member obtained their Fire Instructor-1 certification. One member obtained their Firefighter-2 certification. Responded to an outside fire in the Glen. Responded to a structure fire. See photo Responded to 2 vehicle traffic accident. Conducted Halloween operations at the station.
Training	230 hours.
Photographs	One.
Other Action	





Board of Trustees Summary Sheet

	November 2025																																																																								
Title	Administration																																																																								
Date	11/13/2025																																																																								
Contact	Admin personnel																																																																								
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Land Use permits Issued	<p>August 2025 Type: Single Family; Qty: 0 Other; Qty: 3 Total water taps issued: 1043</p>																																																																								

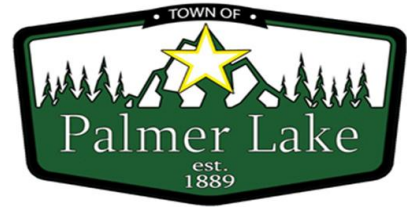
Business Licenses

BUSINESS LICENSE STATUS CHANGES BY BUSINESS TYPE	2025	2025
	Oct	Oct
Business Type	STR	other
New Licenses	0	4
Licenses Renewed	2	4
Licenses Expired	0	1
Businesses Closed	0	0
CURRENT BUSINESS LICENSES BY BUSINESS TYPE (New + Renewed)	44	140
TOTAL CURRENT BUSINESS LICENSES (New + Renewed)	184	

SCHEDULED TO RENEW IN December 2025:

BUSINESS NAME
Balanced Studio
Dead Flowers Meds LLC
Facinelli Motors, Inc.
Joseph O'Malley's Steak Pub Inc. dba O'Malley's
Kurt Ehrhardt Construction Corp.
Letellier Enterprises Inc, dba Sara Sausage
Lindsay Aho Management
Polarized Electric
Protech Manufacturing Inc
Psycho Daisies Custom. LLC
Rocky Mountain Custom Trim
Waste Management

Water Billing	Year	Month	# of Water Accounts	# of Gallons Sold	# of Shutoffs		
	2022	Jan-Dec	1015	41,405,900	11		
	2023	Jan-Dec	1018	44,855,150	7		
	2024	Jan-Dec	1,022	47,011,334	0		
	2025	January	1022	3,505,500	0		
		February	1022	3,114,600	1		
		March	1023	2,787,302	1		
		April	1023	3,058,632	0		
		May	1023	3,148,147	1		
		June	1024	4,150,990	3		
		July	1024	4,454,800	0		
		August	1024	4,554,000	0		
		September	1024	4,234,100	0		
		October	1023	3,609,100	0		
	YTD			36,617,171	6		
*Please note that June-September # of Water Accounts was incorrectly reported as 1024 from AmCobi. The correct number of accounts for those months is 1023.							
Grant Activity Updates	Dept	Name	Grantor	Grant Purpose	Grant Amount	Match/ Cost Sharing	STATUS/NEXT STEPS
	Police	DRE	Colorado Dept of Law	drug recognition expert training	\$2,800	\$0	Awarded.
Upcoming Approved Special Events	FD Chili Super, Star & Christmas Tree Lighting			11/29/2025			
	Yule Log Potluck & Hunt			12/10 & 12/14/2025			
	A Christmas Carol			12/18-12/22/2025			
Other Activity	Town Holiday Lights 11/29/2025 2026 Outdoor Classic 1/10-1/11/2026 Winterfest Broomball Tournament 1/18/2026						



**TOWN OF PALMER LAKE
BOARD OF TRUSTEES - MEMO SUMMARY**

DATE: November 13, 2025	ITEM NO. xx	SUBJECT: Ordinance to Adopt Amended 2025 Budget
Presented by: Interim Town Administrator Glen Smith		

Background

With the following noted corrections and expansions (new lines created by splitting one line into multiple lines with project extensions it is requested to amend the 2025 budget as presented.

General Fund:

- Spruce Mtn Rd – some design and all construction moved to 2026 (rev and exp)
- 105 Sidewalk – some design moved to 2026 (rev and exp)
- Fire Deployments – higher than expected (rev and exp)
- Development cost land use reimbursements (rev and exp) – unknown so originally unbudgeted
- Chipper – added expense as grants for remaining cost were denied (reve and exp)
- Amended Fund Balance Total

Water Fund:

- Less water usage than expected
- Fewer taps purchased than expected
- GWTP underdrains/media replacement needed
- Added tank rehab; removed Parks St; postponed Shady Ln project
- Removed vehicle replacement; added SCADA laptop
- Amended Fund Balance Total

Recommended Action

Staff recommend adopting the amended 2025 budget as presented. These figures are further reflected in the proposed 2026 budget fund balances.

TOWN OF PALMER LAKE			
WATER FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
		Original Budget FY2025	Proposed Amended Budget FY2025
Description			Amendment Notes
WATER FUND REVENUE			
Water Billing Revenue	\$ 1,438,257	\$ 1,250,000	<i>less water usage than expected</i>
Water Improvement Fee	79,626	\$ 79,626	
Water Loan Revenue	217,596	\$ 217,596	
Water Tap Fees	75,090	\$ 37,545	<i>fewer taps purchased than expected</i>
Water Meter/ Parts	2,550	\$ 2,550	
Late Fees/ Service Fees	15,000	\$ 15,000	
Water Interest	30,000	\$ 30,000	
Misc. Income	-	\$ -	
American Rescue Plan	-	\$ -	
PLES Upper Glenway Water Improvement	-	\$ -	
Water Grants	-	\$ -	
Total Revenue	1,858,119	1,632,317	
Unassigned Fund Balance	1,443,847	1,553,576	<i>unaudited 2024 year-end fund balance; increase due to year-end 2024 accruals. May adjust with 2024 audit.</i>
(Less) Restricted Fund Balance	(216,571)	(229,263)	<i>based on unaudited 2024 Total G&A & Ops</i>
Unrestricted Fund Balance	1,227,276	1,324,313	
Total Revenue and Unrestricted Fund Balance	3,085,395	2,956,630	
WATER FUND EXPENDITURES			
<u>Salaries and Benefits</u>			
Salaries/Wages, Full Time	392,126	392,126	
Salaries/Wages, Part Time	28,619	28,619	
Standby Pay	22,898	2,700	
Overtime	17,398	17,398	
Social Security ER	28,585	28,585	
Medicare ER	6,685	6,685	
FUTA	227	227	
Workers Comp Ins	7,971	7,971	
Retirement ER Match	11,529	11,529	
Health Ins ER- pd	34,030	34,030	
Dental Ins ER- pd	-	-	
Vision Ins ER- pd	-	-	
Life Ins ER- pd	1,071	1,071	
	551,139	530,941	
<u>Professional Services</u>			
Professional Svcs- Acctg	27,000	27,000	
Professional Svcs IT/ Water Billing	75,500	75,500	
Professional Svcs- Legal	6,000	6,000	
Professional Svcs- Other	25,000	25,000	
	133,500	133,500	
<u>Administrative/Operations</u>			
Employee Clothing	1,000	1,000	

TOWN OF PALMER LAKE			
WATER FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
	Original Budget FY2025	Proposed Amended Budget FY2025	
Description			Amendment Notes
Employee Training	3,000	3,000	
Employee Travel	200	200	
Employee Per Diem	100	100	
Bank Fees/ Services	100	100	
Communications	2,800	2,800	
Insurance	51,600	51,600	
Membership/ Registrations	8,500	8,500	
General Supplies	2,500	2,500	
General Supplies- Treatment	55,000	55,000	
General Supplies - Distribution	30,000	30,000	
Water Meters/ Parts Replace	10,000	10,000	
General Services	12,000	12,000	
General Svc/Maint - Treatment	50,000	173,000	<i>GWTP underdrain/media(#1) repair (58k); #2 (65k)</i>
General Svc/Maint - Distribution	40,000	40,000	
Utilities	120,000	120,000	
Equipment Maintenance	-	-	
Building Maintenance	3,500	3,500	
Vehicle Repair/ Maint	16,000	16,000	
Fuel	10,000	10,000	
Water Quality Tests	11,000	11,000	
Reservoirs / Dam Maintenance	16,000	16,000	
	443,300	566,300	
Capital Outlays			
Capital Improvement - Building	15,000	15,000	
Capital Improvement - Treatment	10,000	10,000	
Cap Imp - Treat - SWTP Instrumentation	-	26,000	<i>SWTP Instrumentation</i>
Capital Improvement - Distribution	185,000	207,432	<i>Canon City Crest (105k); removed Park St (80k); added Tank rehab (312k)</i>
Capital Improvement (Dist) - PLES Upper	-	-	
Capital Improvement - Shady Ln	180,000	-	<i>project postponed</i>
ARP - Expenses	-	-	
Capital Equipment	64,800	6,800	<i>removed vehicle replacement (48k); added SCADA laptop (6800)</i>
	454,800	265,232	
Debt Service			
CWRPDA 2009 Principal	94,558	94,558	
CWRPDA 2009 Interest	10,413	10,413	
CWRPDA 2018 Principal	51,850	51,850	
CWRPDA 2018 Interest	16,318	16,318	
General Fund Loan- Principal	29,181	29,181	
General Fund Loan- Interest	9,567	9,567	
	211,887	211,887	
Other Uses			
Transfers to Other Funds	-	-	
	-	-	
Total Expenditures and Other Uses	1,794,627	1,707,860	

TOWN OF PALMER LAKE			
GENERAL FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
		Original Budget FY2025	Proposed Amended Budget FY2025
Description			Amendment Notes
GENERAL FUND REVENUE			
<u>Taxes</u>			
Property Tax - General	\$ 657,668	\$ 657,668	
Property Tax - Fire	585,218	585,218	
Specific Ownership Tax	108,000	108,000	
Motor Vehicle Registration	11,000	11,000	
Highway Users Tax	103,000	103,000	
El Paso Co Road & Bridge Tax	9,000	9,000	
Use Tax - Building Materials	30,000	30,000	
Sales/Use/Excise Tax - All Other	2,076,000	2,076,000	
	3,579,885	3,579,885	
<u>Fees and Licenses</u>			
Franchise Fee - Comcast	25,000	25,000	
Franchise Fee - CORE (IREA)	60,000	60,000	
Franchise Fee - Black Hills	55,000	55,000	
Franchise Fee - Other	2,000	2,000	
Fees/Permits/Zoning/Subdivisions	60,000	32,000	<i>fewer applications than expected impact fees to be reviewed with the adoption of new zoning code</i>
Impact Fees - Drainage	15,000	1,009	
Business Licenses	20,000	20,000	
Lodging Fees	40,000	40,000	
Liquor/MJ License Fees	11,725	11,725	
	288,725	246,734	
<u>Fines</u>			
Citation Fines/Court Fees	40,000	40,000	
Citation Fines/Court Fees - STEP	20,000	20,000	
	60,000	60,000	
<u>Interest</u>			
Interest	76,000	76,000	
Interest - Water Loan	9,567	9,567	
	85,567	85,567	
<u>Departmental</u>			
Admin Revenue	4,500	4,500	
Police Revenue*	11,000	11,000	
Fire Revenue	5,000	5,000	
Roads Revenue	-	-	
Parks Revenue*	50,000	50,000	
	70,500	70,500	
<u>Grants and Donations</u>			
Admin Grants	18,050	18,050	
PD Grants	165,156	-	<i>split with grants below</i>
PD Grants - HVE	-	7,000	<i>split from general PD grants</i>
PD Grants - BHCON	-	105,000	<i>split from general PD grants; BHCON clinician started late</i>
PD Grants - LE Recruit	-	26,000	<i>split from general PD grants; LE grant, split with 2026</i>
PD Grants - CRIMEWATCH	-	2,400	<i>split from general PD grants; LE grant, split with 2026</i>
Fire Grants	-	35,352	<i>AEDs; chipper</i>
Roads Grants	1,317,311	-	<i>split to projects below</i>

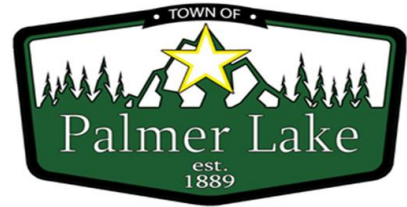
TOWN OF PALMER LAKE			
GENERAL FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
		Original Budget FY2025	Proposed Amended Budget FY2025
Description			Amendment Notes
Roads Grants - Spruce Mtn Rd	-	80,587	<i>split from general Road Grants; reduce design, remove construction</i>
Roads Grants - Sidewalk Design	-	39,200	<i>split from general Road Grants; remove/push portion of design work</i>
CDOT PL Elem Sch Rd Improv	-	-	
Parks Grants	-	-	
Admin Donations	-	-	
PD Donations	-	-	
Fire Donations	-	-	
Roads Donations	-	-	
Parks Donations	-	-	
Pickleball Donations*	12,000	12,000	
	1,512,517	325,589	
Miscellaneous			
Land/Building Rent	37,600	12,600	<i>split with venue res below</i>
Pickleball Court Rent*	-	300	<i>split from Land/Bldg rent above; revenue lower than expected</i>
Rent - Other Venues	-	15,000	<i>split from Land/Bldg rent above; revenue lower than expected</i>
Fire Deployment Reimbursement*	50,000	459,603	<i>increased state and nat'l demand</i>
Developer Reimbursements	-	-	
Dev Reimb - Travel Center	-	398,056	<i>development cost reimbursement; will update with Sept month-end</i>
Dev Reimb - Lakeview Heights	-	18,918	<i>development cost reimbursement</i>
Dev Reimb - Cross at Mon Creek (formerly Red Rock Acres)	-	1,661	<i>development cost reimbursement</i>
Dev Reimb - Brook St	-	1,988	<i>development cost reimbursement</i>
Miscellaneous Income	-	-	
	87,600	908,126	
Other Financing Sources			
Land/Equipment Sales	-	-	
Transfers from Other Funds	-	-	
	-	-	
Total Revenue (New Revenue and Other Financing Sources)	5,684,794	5,276,401	
Unassigned Fund Balance	4,507,793	4,721,781	<i>Unaudited 2024 year-end fund balance; increase due to year-end 2024 accruals. May adjust with 2024 audit.</i>
Total Revenue and Unassigned Fund Balance	10,192,587	9,998,182	
GENERAL FUND EXPENDITURES			
Administration			
Salaries and Benefits			
Salaries/Wages, Full Time	115,287	115,287	
Salaries/Wages, Part Time	139,172	139,172	
Overtime	6,234	6,234	
Social Security ER	16,163	16,163	
Medicare ER	3,780	3,780	
FUTA	252	252	
Workers Comp Ins	610	610	

TOWN OF PALMER LAKE			
GENERAL FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
		Original Budget FY2025	Proposed Amended Budget FY2025
Description			Amendment Notes
Retirement ER Match	6,182	6,182	
Health Ins ER- pd	19,090	19,090	
Dental Ins ER- pd	-	-	
Vision Ins ER- pd	-	-	
Life Ins ER- pd	483	483	
	307,253	307,253	
Professional Services			
Professional Svcs-Accounting	63,000	63,000	
Professional Svcs-IT	64,700	64,700	
Professional Svcs-Legal/OJW	95,000	95,000	
Professional Svcs-Other	150,000	150,000	
Prof Svcs - Travel Center	-	356,983	<i>expanded from Prof Svcs above; reimbursable land use dev costs</i>
Prof Svcs - Lakeview Heights	-	6,361	<i>expanded from Prof Svcs above; reimbursable land use dev costs</i>
Prof Svcs - Cross at Mon Creek (formerly Red Rock Acres)	-	1,661	<i>expanded from Prof Svcs above; reimbursable land use dev costs</i>
Prof Svcs - Elephant Rock PL	-	175	<i>expanded from Prof Svcs above; reimbursable land use dev costs</i>
Prof Svcs - Brook Street	-	1,988	<i>expanded from Prof Svcs above; reimbursable land use dev costs</i>
	372,700	739,868	
Administrative/Operations			
Employee/BOT Clothing	800	800	
Employee/BOT/PC Training	8,000	8,000	
Employee/BOT/PC Travel	1,000	1,000	
Employee/BOT/PC Per Diem	200	200	
Advertising	2,000	2,000	
Bank Fees/Services	100	100	
Communications	6,400	6,400	
County Treasurer Fees	12,000	12,000	
Election Expense	12,000	26,000	<i>special election</i>
Insurance	120,400	120,400	
Legal Notices/Recordings	3,000	3,000	
Memberships/Registrations	13,500	13,500	
Postage	2,400	2,400	
Economic Development	1,500	1,500	
General Supplies	15,000	15,000	
General Services	24,500	24,500	
General Service- Elephant Rock	1,000	1,000	
Utilities	18,000	18,000	
Utilities- Elephant Rock	12,000	12,000	
Building Maintenance	5,000	5,000	
Vehicle Repair & Maintenance	1,500	1,500	
Fuel	400	400	
	260,700	274,700	
Capital Outlays			
Capital Improvement	15,000	15,000	
Capital Improvement- Town Hall	-	-	
Capital Equipment	11,200	11,200	
	26,200	26,200	

TOWN OF PALMER LAKE			
GENERAL FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
	Original	Proposed	
	Budget	Amended	
Description	FY2025	FY2025	Amendment Notes
Total Administration Expenditures	966,853	1,348,021	
<u>Police Department</u>			
<u>Salaries and Benefits</u>			
Salaries/Wages, Full Time	701,828	683,754	<i>split with Grants below</i>
Salaries/Wages, HVE	-	3,075	<i>split from FT wages above</i>
Salaries/Wages, LE Training	-	15,000	<i>split from FT wages above</i>
Salaries/Wages, Part Time	139,994	139,994	
Salaries/Wages, STEP	10,000	10,000	
Salaries/Wages, Extra Duty	8,000	8,000	
Overtime	29,464	29,464	
Social Security ER	12,056	12,056	
Medicare ER	12,895	12,895	
FUTA	554	554	
Worker Comp Ins	21,675	21,675	
Retirement ER Match	21,154	21,154	
FPPA	71,067	71,067	
FPPA D&D	25,719	25,719	
Health Insurance	68,060	68,060	
Dental Ins ER- pd	-	-	
Vision Ins ER- pd	-	-	
Life Ins ER- pd	2,142	2,142	
	1,124,609	1,124,609	
<u>Professional Services</u>			
Professional Svcs-IT	18,300	18,300	
Professional Svcs-Other	96,100	11,100	<i>split with BHCON below</i>
Professional Svcs-Other-BHCON	-	85,000	<i>split from Prof Svcs above</i>
	114,400	114,400	
<u>Administrative/Operations</u>			
Employee Clothing	7,700	7,700	
Employee Training	24,534	1,433	<i>split with LE Training below</i>
Employee Training - LE Training	-	23,102	<i>split from Training above</i>
Employee Travel	3,100	2,557	<i>split with BHCON below</i>
Employee Travel - BHCON	-	1,716	<i>split from Travel above</i>
Employee Per Diem	500	500	
Subject Testing	5,000	5,000	
Communications	22,175	21,547	<i>split with BHCON below</i>
Communications - BHCON	-	628	<i>split from Communications above</i>
Memberships/Registrations	13,000	13,000	
Postage	-	-	
General Supplies	40,000	36,700	<i>split with BHCON below</i>
General Supplies - BHCON	-	2,000	<i>split from General Supplies above</i>
General Supplies - LE Training	-	1,300	<i>split from General Supplies above</i>
General Services	9,000	9,000	
Utilities	5,000	5,000	
Building Maintenance	10,000	10,000	
Equipment Maintenance	3,000	3,000	
Vehicle Repair & Maintenance	21,000	21,000	
Fuel	20,000	20,000	
	184,009	185,183	
<u>Capital Outlays</u>			
Capital Improvement	7,000	7,000	

TOWN OF PALMER LAKE			
GENERAL FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
		Proposed	
	Original	Amended	
	Budget	Budget	
Description	FY2025	FY2025	Amendment Notes
Capital Equipment	5,000	67,558	<i>2 vehicles; upfitting; 2 MDCs</i>
	12,000	74,558	
Total Police Department Expenditures	1,435,018	1,498,750	
<u>Fire Department</u>			
<u>Salaries and Benefits</u>			
Salaries/Wages, Full Time	615,003	615,003	
Salaries/Wages, Part Time	59,174	59,174	
Overtime	85,087	85,087	
Fire Deployment	25,000	134,511	<i>increased state and nat'l demand</i>
Social Security ER	8,232	8,232	
Medicare ER	11,372	11,372	
FUTA	470	470	
Workers Comp Ins	24,405	24,405	
Retirement ER Match	17,972	17,972	
FPPA ER	68,407	68,407	
FPPA D&D	24,757	24,757	
FPPA Volunteer Pension Fund	2,519	2,519	
Health Ins ER- pd	55,610	55,610	
Dental Ins ER- pd	-	-	
Vision Ins ER- pd	-	-	
Life Ins ER- pd	1,512	1,512	
	999,520	1,109,031	
<u>Professional Services</u>			
Professional Svcs-IT	17,700	17,700	
	17,700	17,700	
<u>Administrative/Operations</u>			
Employee Clothing	12,000	12,000	
Employee Training	12,000	12,000	
Employee Travel	1,000	1,000	
Employee Per Diem	200	200	
Communications	11,325	11,325	
Memberships/Registrations	400	400	
Postage	-	-	
General Supplies	11,100	11,100	
Medical Equip/Supplies	5,000	5,000	
PPE Equipment	-	-	
General Services	12,000	12,000	
Utilities	7,000	7,000	
Building Maintenance	7,500	7,500	
Equipment Maintenance	3,000	3,000	
Fire Deployment Expenses	12,500	12,500	
Vehicle Repair & Maintenance	30,000	50,000	<i>unexpected engine repair</i>
Fuel	12,500	12,500	
	137,525	157,525	
<u>Capital Outlays</u>			
Capital Improvements	-	-	
Capital Equipment	15,000	71,000	<i>chipper (grants denied)</i>
	15,000	71,000	
Total Fire Department Expenditures	1,169,745	1,355,256	

TOWN OF PALMER LAKE			
GENERAL FUND			
2025 Budget Amendment DRAFT rev.11.13.25			
		Original Budget FY2025	Proposed Amended Budget FY2025
Description			Amendment Notes
<u>Public Works Department - Roads</u>			
<u>Salaries and Benefits</u>			
Salaries/Wages, Full Time		203,360	203,361
Salaries/Wages, Part Time		23,623	23,623
Overtime		7,944	7,944
Social Security ER		14,565	14,565
Medicare ER		3,406	3,406
FUTA		218	218
Workers Comp Ins		7,713	7,713
Retirement ER Match		5,317	5,317
Health Insurance ER		26,560	26,560
Dental Ins ER- pd		-	-
Vision Ins ER- pd		-	-
Life Ins ER - pd		672	672
		293,379	293,379
<u>Professional Services</u>			
Professional Svcs-IT		1,300	1,300
Professional Services - MS4		10,000	10,000
Professional Svcs Other		20,000	20,000
		31,300	31,300
<u>Administrative/Operations</u>			
Employee Clothing		1,500	1,500
Employee Training		1,000	1,000
Employee Travel		200	200
Employee Per Diem		100	100
Communications		2,000	2,000
Memberships/Registrations		1,500	1,500
General Supplies		3,500	3,500
Signs Parts/Supplies		9,000	9,000
General Services		50,000	50,000
Utilities		4,000	4,000
Street Lights- Road		14,000	14,000
Building Maintenance		2,500	2,500
Equipment Maintenance		4,500	4,500
Road/Street Material		35,000	35,000
Dust Control		14,000	14,000
Culverts		8,000	8,000
Vehicle Repair & Maintenance		7,000	7,000
Repair - Heavy Equipment		15,000	15,000
Fuel		15,000	15,000
		187,800	187,800
<u>Capital Outlays</u>			
Capital Improvements - Building		15,000	15,000
Capital Improvements - Roads		30,000	30,000
Capital Improvement - Drainage		90,000	90,000
CDOT PL Elem Sch Rd Improv		-	-
Capital Imp - Spruce Mtn Rd		1,499,996	97,339
Capital Imp - Sidewalk Design		181,000	39,200
Capital Equipment		10,000	10,000
		1,825,996	281,539
			<i>reduce design; remove construction design work delayed/reduced</i>



**TOWN OF PALMER LAKE
BOARD OF TRUSTEES - MEMO SUMMARY**

DATE: November 13, 2025	ITEM NO. xx	SUBJECT: Direction on Proposed 2026 Budget
Presented by: Interim Town Administrator Glen Smith		

Background

Historically, Town Administration seemed to react to town matters. It is my goal to shift that in the coming year and, in collaboration with the Board of Trustees, begin developing a plan of objectives for the organization and the community to assist in planning for the future.

Understand that the proposed figures will be adjusted with final figures as we approach the December 1 meeting for adoption of the budget. Understand, also, that the annual revenue does not support all of the organization’s needs, additions, and certainly not capital expenditures requested and in areas necessary for town operations.

Therefore, the proposed 2026 budget is presented with the following recommendations based on department discussions and priorities identified by Administration and discussed with the Board.

Reference the enclosed completed, ongoing, and proposed projects.

General Fund:

- Revenue – Sales Tax –reduction due to the passing of SB-25-268 cut the portion of revenue distributed to local governments from 10% to 3.5% effective July 2025. Revenue has also been reduced due to increased competition.
- Revenue – grant funds include the following confirmed monies – MMOF funds (sidewalk design); TIP (Spruce Mtn roadway improvement); BHCON (clinician/CIT program);
- Operating – pursuant to the compensation study, it is burdensome to increase to the recommended wages; therefore, the proposed budget includes an increase for wages lower than the recommended wage to be increased halfway to the recommended wage with a commitment to complete the wage increase to recommended wages in 2027 and with an additional COLA increase for all employees.
- Operating – pursuant to the needs of the departments, all operating expenditures were reviewed and are accounted for as discussed, and modifications noted.
- Capital – improvement projects and equipment are generally unable to be funded by annual revenue, thereby utilizing fund balance.

Note: Over \$507k capital expenditures utilizing ~ \$507k FB

Water Operating Fund:

- Revenue – healthy revenue covers operating
- Operating – staffing includes three
- Operating – pursuant to discussions with water department, operating costs continue to increase.
- Transfer to new Water Capital Fund proposed amount equal to 2025 Proposed Amendment Ending Fund Balance less 6 months operating expenditures

Water Capital Fund (this section heading should be out to the left with no bullet)

- Capital – projects include shop and treatment plant security fencing, coagulation system, low zone tank rehab, and plant instrumentation. If staff is able to consider replacing water distribution lines, board direction



will be sought. No line replacements are currently planned for 2026. After coagulation is in place for a time, Water staff will review potential need for an additional well.

- Code review is needed to ensure proper revenue and expense lines are included in this fund.

Staff recommends establishing a Capital Improvement Fund for the General Fund. More discussion will follow with policy for these funds.

Conservation Trust Fund (CTF):

- Revenue – steady from year to year and restricted use of funds for playground maintenance and capital improvement.
- Operating – planned expenditures are summer wages of one staff member maintaining parks.
Capital – a planned capital item is possible shade structures. More discussion is needed with Parks Commission project list.

Recommended Action

Staff recommendations are reflected in the proposed budget. Management recommends increase of wages, staff restructuring, and prioritized capital items with use of fund balance accordingly.

If the Board has specific input, or different objectives at this time, please provide such direction.

It is becoming imperative that the following discussions are considered to prioritize future planning –

- Generation of revenue
- Fire Department
- A proper facility for public safety
- A master drainage plan for the community for guidance of infrastructure improvement, along with consideration of an enterprise fund for necessary infrastructure
- Water System Improvements
- Consider the planned use of elephant rock property to determine improvements needed
- Security of public facilities – ie., fence/gate shop yard and water facilities; security cameras
- Consider Town fuel tanks at shop for all dept use
- Consider ADA plan for community – ie., prioritizing parks, public areas
-

TOWN OF PALMER LAKE

WATER OPERATING FUND

2026 Budget DRAFT rev.11.13.25

	Amended	Unaudited	Original	Proposed	YTD Estimate	Proposed	
Description	Budget	December	Budget	Amended	Ending	Budget	
	FY2024	FY2024	FY2025	Budget	FY2025	FY2025	FY2026
WATER FUND REVENUE							
Water Billing Revenue	\$ 1,375,000	\$ 1,381,020	\$ 1,438,257	\$ 1,250,000	\$ 1,282,107	\$ 1,105,788	
Water Improvement Fee	74,000	75,632	79,626	79,626	79,235	-	
Water Loan Revenue	216,000	216,634	217,596	217,596	217,669	-	
Water Tap Fees	72,000	73,057	75,090	37,545	33,373	-	
Water Meter/Parts	2,550	1,700	2,550	2,550	1,133	1,700	
Late Fees/Service Fees	16,000	19,909	15,000	15,000	18,775	16,000	
Water Interest	24,000	33,391	30,000	30,000	28,913	13,050	
Misc. Income	-	794	-	-	4,341	-	
American Rescue Plan	103,669	103,669	-	-	-	-	
PLES Upper Glenway Water Imprvmt	287,697	290,699	-	-	-	-	
Water Grants	-	-	-	-	7,500	-	
Total Revenue	2,170,916	2,196,505	1,858,119	1,632,317	1,673,047	1,136,538	
Unassigned Fund Balance	1,304,220	1,304,220	1,443,847	1,553,576	1,553,576	1,576,909	
(Less) Restricted Fund Balance	(216,571)	(216,571)	(216,571)	(229,263)	(229,263)	(229,263)	
Unrestricted Fund Balance	1,087,649	1,087,649	1,227,276	1,324,313	1,324,313	1,347,646	
Total Revenue and Unrestricted Fund Balance	3,258,565	3,284,154	3,085,395	2,956,630	2,997,360	2,484,183	
WATER FUND EXPENDITURES							
<u>Salaries and Benefits</u>							
Salaries/Wages, Full Time	373,082	322,451	392,126	392,126	332,468	342,503	
Salaries/Wages, Full Time-Water Apprent	-	7,500	-	-	-	-	
Salaries/Wages, Part Time	24,414	26,148	28,619	28,619	27,692	34,628	
Standby Pay	15,768	-	22,898	2,700	2,700	15,600	
Overtime	1,311	2,725	17,398	17,398	1,773	3,771	
Social Security ER	25,704	22,571	28,585	28,585	22,025	24,583	
Medicare ER	6,011	4,930	6,685	6,685	5,151	5,749	
FUTA	227	228	227	227	293	197	
Workers Comp Ins	12,703	12,430	7,971	7,971	10,987	5,842	
Retirement ER Match	17,185	2,482	11,529	11,529	2,039	18,204	
Health Ins ER-pd	39,780	10,656	34,030	34,030	16,737	36,520	
Dental Ins ER-pd	2,202	1,108	-	-	-	-	
Vision Ins ER-pd	348	175	-	-	-	-	
Life Ins ER-pd	1,014	1,007	1,071	1,071	984	1,135	
	519,749	414,411	551,139	530,941	422,849	488,734	
<u>Professional Services</u>							
Professional Svcs- Acctg	30,000	22,803	27,000	27,000	27,000	28,000	
Professional Svcs IT/ Water Billing	62,000	59,004	75,500	75,500	61,279	75,500	
Professional Svcs- Legal	10,000	2,368	6,000	6,000	132	3,000	

TOWN OF PALMER LAKE

WATER OPERATING FUND

2026 Budget DRAFT rev.11.13.25

Description	Amended	Unaudited	Original	Proposed	YTD Estimate	Proposed
	Budget	December	Budget	Amended		
	FY2024	FY2024	FY2025	FY2025	Ending	Budget
					FY2025	FY2026
Professional Svcs- Other	35,000	1,563	25,000	25,000	5,513	15,000
	137,000	85,738	133,500	133,500	93,924	121,500
<u>Administrative/Operations</u>						
Employee Clothing	1,000	960	1,000	1,000	1,247	1,000
Employee Training	3,000	1,563	3,000	3,000	6,000	5,000
Employee Travel	300	-	200	200	-	200
Employee Per Diem	500	-	100	100	-	100
Bank Fees/ Services	100	-	100	100	-	100
Communications	3,000	2,140	2,800	2,800	2,784	2,800
Insurance	42,900	39,653	51,600	51,600	51,600	58,200
Membership/ Registrations	10,000	5,970	8,500	8,500	6,992	8,500
General Supplies	1,000	1,198	2,500	2,500	2,519	3,000
General Supplies- Treatment	50,000	49,457	55,000	55,000	44,351	115,000
General Supplies - Distribution	8,000	40,187	30,000	30,000	11,357	15,000
Water Meters/ Parts Replace	10,000	15,188	10,000	10,000	11,996	23,500
General Services	39,000	1,559	12,000	12,000	5,891	8,000
General Svc/Maint - Treatment	45,000	55,274	50,000	173,000	173,000	52,500
General Svc/Maint - Distribution	40,000	30,085	40,000	40,000	12,376	35,000
Utilities	135,000	120,336	120,000	120,000	122,744	130,000
Equipment Maintenance	-	159	-	-	-	-
Building Maintenance	5,000	24	3,500	3,500	-	3,500
Vehicle Repair/ Maint	12,000	25,187	16,000	16,000	10,303	12,000
Fuel	9,500	7,401	10,000	10,000	7,865	9,500
Water Quality Tests	10,000	4,279	11,000	11,000	7,472	11,550
Reservoirs / Dam Maintenance	13,000	16,284	16,000	16,000	10,932	16,000
	438,300	416,904	443,300	566,300	489,428	510,450
<u>Capital Outlays</u>						
Capital Improvement - Building	12,000	-	15,000	15,000	-	-
Capital Improvement - Treatment	5,000	40,583	10,000	10,000	-	-
Cap Imp - Treat - SWTP Instrumentation	-	-	-	26,000	29,000	-
Capital Improvement - Distribution	150,000	150,499	185,000	207,432	400,000	-
Capital Improvement (Dist) - PLES Upper	522,326	489,211	-	-	-	-
Capital Improvement - Shady Ln	183,000	-	180,000	-	-	-
ARP - Expenses	103,669	103,669	-	-	-	-
Capital Equipment	40,000	8,320	64,800	6,800	2,625	-
	1,015,995	792,282	454,800	265,232	431,625	-
<u>Debt Service</u>						
CWRPDA 2009 Principal	92,695	92,695	94,558	94,558	94,558	-
CWRPDA 2009 Interest	12,276	12,276	10,413	10,413	10,413	-
CWRPDA 2018 Principal	50,829	50,829	51,850	51,850	51,850	-
CWRPDA 2018 Interest	17,340	17,340	16,318	16,318	16,318	-
General Fund Loan- Principal	14,375	14,374	29,181	29,181	29,181	-
General Fund Loan- Interest	10,000	10,000	9,567	9,567	9,567	-
	197,515	197,514	211,887	211,887	211,887	-
<u>Other Uses</u>						

TOWN OF PALMER LAKE

WATER OPERATING FUND

2026 Budget DRAFT rev.11.13.25

Description	Amended Budget	Unaudited December	Original Budget	Proposed Amended Budget	YTD Estimate Ending	Proposed Budget
	FY2024	FY2024	FY2025	FY2025	FY2025	FY2026
Transfers to Other Funds	40,300	40,300	-	-	-	983,909
	40,300	40,300	-	-	-	983,909
Total Expenditures and Other Uses	2,348,859	1,947,149	1,794,626	1,707,860	1,649,714	2,104,592
TOTAL REVENUE AND UNRESTRICTED FUND BALANCE OVER (UNDER) EXPENDITURES AND OTHER USES	909,706	1,337,005	1,290,769	1,248,771	1,347,646	379,591
TOTAL REVENUE OVER (UNDER) EXPENDITURES AND OTHER USES	(177,943)	249,356	63,493	(75,543)	23,333	(968,055)
APPROPRIATE FROM UNASSIGNED FUND BALANCE	177,943	-	-	75,543	-	968,055
FUND BAL - BEGIN OF YEAR	1,304,220	1,304,220	1,443,847	1,553,576	1,553,576	1,576,909
FUND BAL - END OF YEAR**	\$ 1,126,277	\$ 1,553,576	\$ 1,507,340	\$ 1,478,034	\$ 1,576,909	\$ 608,854
<i>*3 month Operating Reserve (requirement moved to WCF) by CWR&PDA</i>						
<i>\$216,571 per 2023 audit</i>						
<i>\$229,263 in 2024 (unaudited)</i>						

TOWN OF PALMER LAKE						
CONSERVATION TRUST FUND						
2026 Budget DRAFT rev.11.13.25						
		Original Budget FY2024	Unaudited December FY2024	Original Budget FY2025	YTD Estimate Ending FY2025	Proposed Budget FY2026
Description						
CTF REVENUE						
	Interest	\$ 1,200	\$ 1,576	\$ 1,425	\$ 1,364	\$ 2,963
	CTF Revenue	36,140	32,656	36,000	36,000	32,000
Total Revenue		37,340	34,232	37,425	37,364	34,963
Unassigned Fund Balance		50,561	59,044	87,992	79,157	103,008
Total Revenue and Unassigned Fund Balance		87,901	93,276	125,417	116,521	137,971
CTF EXPENDITURES						
<u>Salaries and Benefits</u>						
	Salaries/Wages, Part Time	13,000	7,808	12,000	9,548	10,000
	Social Security ER	806	484	744	592	620
	Medicare ER	189	113	174	138	145
	FUTA	21	42	42	42	42
	Workers Comp Ins	364	205	336	208	280
		14,380	8,651	13,296	10,528	11,087
<u>Administrative/Operations</u>						
	General Supplies	-	5,467	4,000	1,985	2,000
	General Services	3,000	-	-	-	-
	Fuels/Lubricants	-	-	-	1,000	1,000
		3,000	5,467	4,000	2,985	3,000
<u>Capital Outlays</u>						
	Capital Improvement	19,000	-	10,000	-	35,000
		19,000	-	10,000	-	35,000
Total Expenditures		36,380	14,119	27,296	13,513	49,087
TOTAL REVENUE AND UNASSIGNED FUND BALANCE OVER (UNDER) EXPENDITURES		51,522	79,157	98,121	103,008	88,884
TOTAL REVENUE OVER (UNDER) EXPENDITURES		961	20,113	10,129	23,851	(14,125)
APPROPRIATE FROM UNASSIGNED FUND BALANCE		-	-	-	-	14,125
FUND BALANCE - BEGIN OF YEAR		50,561	59,044	87,992	79,157	103,008
FUND BALANCE - END OF YEAR		\$ 51,522	\$ 79,157	\$ 98,121	\$ 103,008	\$ 88,884

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

	Amended Budget FY2024	Unaudited December FY2024	Original Budget FY2025	Proposed Amended Budget FY2025	YTD Estimate Ending FY2025	Proposed Budget FY2026	
Description							
GENERAL FUND REVENUE							
<u>Taxes</u>							
Property Tax - General	\$ 658,809	\$ 659,190	\$ 657,668	\$ 657,668	\$ 657,668	\$ 703,550	
Property Tax - Fire	586,234	584,565	585,218	585,218	585,218	626,046	
Specific Ownership Tax	110,000	109,887	108,000	108,000	112,179	110,000	
Motor Vehicle Registration	-	10,779	11,000	11,000	10,953	11,000	
Highway Users Tax	90,000	119,166	103,000	103,000	103,725	100,000	
El Paso Co Road & Bridge Tax	7,000	8,768	9,000	9,000	9,000	10,000	
Use Tax - Building Materials	36,000	14,720	30,000	30,000	30,000	20,000	
Sales/Use/Excise Tax - All Other	1,388,000	2,390,730	2,076,000	2,076,000	2,012,353	1,928,353	
	2,876,043	3,897,805	3,579,885	3,579,885	3,521,097	3,508,949	
<u>Fees and Licenses</u>							
Franchise Fee - Comcast	25,000	14,996	25,000	25,000	16,000	18,000	
Franchise Fee - CORE (IREA)	47,000	60,948	60,000	60,000	41,552	55,000	
Franchise Fee - Black Hills	74,000	46,197	55,000	55,000	37,433	45,000	
Franchise Fee - Other	25	1,009	2,000	2,000	-	-	
Administration Fees	-	-	-	-	-	-	
Fees/Permits/Zoning/Subdivisions	45,000	27,183	60,000	32,000	36,824	38,000	
Impact Fees - Drainage	20,000	1,989	15,000	1,009	1,009	10,000	
Business Licenses	25,000	21,991	20,000	20,000	20,569	20,000	
Lodging Fees	45,000	52,967	40,000	40,000	40,384	40,000	
Liquor/MJ License Fees	10,000	18,115	11,725	11,725	8,250	8,250	
Stormwater Control	-	-	-	-	500	500	
	291,025	245,395	288,725	246,734	202,522	234,750	
<u>Fines</u>							
Citation Fines/Court Fees	45,000	46,888	40,000	40,000	21,199	20,000	
Citation Fines/Court Fees - STEP*R	20,000	20,346	20,000	20,000	32,365	28,000	
	65,000	67,234	60,000	60,000	53,564	48,000	
<u>Interest</u>							
Interest	70,000	87,930	76,000	76,000	76,283	112,500	
Interest - Water Loan	10,000	10,000	9,567	9,567	6,475	8,980	
	80,000	97,930	85,567	85,567	82,757	121,480	
<u>Departmental</u>							
Admin Revenue*	5,000	8,278	4,500	4,500	12,975	12,000	
Police Revenue*	10,000	13,057	11,000	11,000	18,293	16,000	
Fire Revenue	5,000	3,916	5,000	5,000	763	900	
Fire Deployment Reimbursement*	40,000	74,744	50,000	459,603	459,603	50,000	
Roads Revenue	-	-	-	-	175	-	
Parks Revenue*	45,000	53,230	50,000	50,000	57,644	53,000	
	105,000	153,225	120,500	530,103	549,453	131,900	
<u>Grants and Donations</u>							
Admin Grants	25,000	14,647	18,050	18,050	18,050	-	
PD Grants*R	199,000	12,216	165,156	-	6,000	7,892	
PD Grants - HVE*R	-	-	-	7,000	7,000	9,686	
PD Grants - BHCON*R	-	84,821	-	105,000	105,000	100,000	

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

Description	Amended	Unaudited	Original	Proposed	YTD Estimate	Proposed
	Budget	December	Budget	Amended		
	FY2024	FY2024	FY2025	FY2025	Ending	Budget
					FY2025	FY2026
PD Grants - LE Recruit*R	-	-	-	26,000	26,000	21,756
PD Grants - Crimewatch*R	-	2,400	-	2,400	2,400	-
Fire Grants*R	-	-	-	35,352	10,352	-
Roads Grants*R	354,311	-	1,317,311	-	-	-
Roads Grants - Spruce Mtn Rd*R	-	-	-	80,587	80,587	1,162,000
Roads Grants - Sidewalk Design*R	-	73,157	-	39,200	39,200	52,000
CDOT PL Elem Sch Rd Improv*R	621,471	649,076	-	-	-	-
Parks Grants*R	-	-	-	-	-	-
Admin Donations	-	104	-	-	-	-
PD Donations	-	-	-	-	400	-
Fire Donations	-	425	-	-	13	-
Roads Donations	-	-	-	-	-	-
Parks Donations	-	4,010	-	-	-	-
Pickleball Donations*C	-	12,000	12,000	12,000	12,000	12,000
	1,199,782	852,856	1,512,517	325,589	307,002	1,365,334
Developer Reimbursements						
Developer Reimbursements	-	-	-	-	-	-
Dev Reimb - Travel Center	-	25,000	-	398,056	398,056	-
Dev Reimb - Lakeview Heights	-	18,803	-	18,918	18,506	-
Dev Reimb - Elephant Rock Villas	-	6,098	-	-	-	-
Dev Reimb - Cross at Mon Creek (formerly Red Rock Acres)	-	-	-	1,661	-	-
Dev Reimb - Brook St	-	-	-	1,988	-	-
	-	49,901	-	420,623	416,562	-
Miscellaneous						
Land/Building Rent	30,000	27,115	37,600	12,600	12,600	12,600
Pickleball Court Rent*C	-	-	-	300	300	1,000
Rent - Other Venues	-	-	-	15,000	15,000	16,000
Miscellaneous Income	-	13,069	-	-	4,573	-
	30,000	40,184	37,600	27,900	32,473	29,600
Other Financing Sources						
Land/Equipment Sales	-	7,090	-	-	-	385,000
Transfers from Other Funds	40,300	40,300	-	-	-	-
	40,300	47,390	-	-	-	385,000
Total Revenue (New Revenue and Other Financing Sources)						
	4,687,150	5,451,920	5,684,794	5,276,401	5,165,430	5,825,013
Unassigned Fund Balance	3,661,915	3,661,915	4,507,793	4,721,781	4,721,781	5,250,662
Total Revenue and Unassigned Fund Balance	8,349,065	9,113,835	10,192,588	9,998,182	9,887,211	11,075,675
GENERAL FUND EXPENDITURES						
Administration						
Salaries and Benefits						
Salaries/Wages, Full Time	105,900	62,895	115,287	115,287	145,333	184,330
Salaries/Wages, Part Time	96,486	101,999	139,172	139,172	109,797	80,800
Overtime	496	-	6,234	6,234	-	2,651
Social Security ER	12,579	9,623	16,163	16,163	15,169	16,602

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

	Amended Budget FY2024	Unaudited December FY2024	Original Budget FY2025	Proposed Amended Budget FY2025	YTD Estimate Ending FY2025	Proposed Budget FY2026	
Description							
Medicare ER	2,942	2,251	3,780	3,780	3,324	3,883	
FUTA	210	224	252	252	317	155	
Workers Comp Ins	2,759	2,926	610	610	840	240	
Retirement ER Match	5,928	8,768	6,182	6,182	6,421	11,250	
Health Ins ER-pd	17,940	11,048	19,090	19,090	18,484	24,900	
Dental Ins ER-pd	993	676	-	-	-	-	
Vision Ins ER-pd	157	107	-	-	-	-	
Life Ins ER-pd	483	338	483	483	467	774	
	246,873	200,855	307,253	307,253	300,153	325,586	
<u>Professional Services</u>							
Professional Svcs-Accounting	70,000	60,764	63,000	63,000	63,000	66,150	
Professional Svcs-IT	33,000	31,825	64,700	64,700	43,935	56,300	
Professional Svcs-Legal/OJW	60,000	105,485	95,000	95,000	145,860	140,000	
Professional Svcs-Other	210,000	131,210	150,000	150,000	140,095	145,000	
Prof Svcs-Travel Center	-	78,660	-	356,983	356,983	-	
Prof Svcs-Lakeview Heights	-	600	-	6,361	6,300	-	
Prof Svcs- Other - Red Rock Acres	-	-	-	1,661	1,573	-	
Professional Svcs-Elephant Rock PL	-	-	-	175	175	-	
Prof Svcs- Other - Brook Street	-	-	-	1,988	3,147	-	
	373,000	408,544	372,700	739,868	761,067	407,450	
<u>Administrative/Operations</u>							
Employee/BOT Clothing	500	365	800	800	733	1,190	
Employee/BOT/PC Training	5,000	4,131	8,000	8,000	1,220	8,000	
Employee/BOT/PC Travel	3,000	615	1,000	1,000	1,182	2,000	
Employee/BOT/PC Per Diem	2,000	127	200	200	-	210	
Advertising	2,000	1,100	2,000	2,000	1,000	2,000	
Bank Fees/Services	200	68	100	100	365	2,100	
Communications	1,800	5,062	6,400	6,400	6,660	7,000	
County Treasurer Fees	13,000	12,238	12,000	12,000	12,429	13,296	
Election Expense	12,000	1,403	12,000	26,000	28,000	94,000	
Insurance	100,100	93,939	120,400	120,400	120,400	135,800	
Legal Notices/Recordings	5,000	1,876	3,000	3,000	964	9,000	
Memberships/Registrations	14,000	10,762	13,500	13,500	13,000	13,500	
Postage	1,300	1,665	2,400	2,400	1,559	2,400	
Economic Development	5,000	-	1,500	1,500	-	1,500	
General Supplies	15,236	11,725	15,000	15,000	11,759	13,400	
General Services	27,500	21,260	24,500	24,500	17,524	20,000	
General Service- Elephant Rock	100,000	179,293	1,000	1,000	1,051	1,000	
Utilities	19,000	17,955	18,000	18,000	18,317	18,900	
Utilities- Elephant Rock	1,000	11,370	12,000	12,000	13,301	4,000	
Building Maintenance	5,000	6,472	5,000	5,000	500	5,000	
Vehicle Repair & Maintenance	-	1,621	1,500	1,500	700	1,500	
Fuel	300	123	400	400	565	600	
	332,936	383,170	260,700	274,700	251,229	356,396	
<u>Capital Outlays</u>							
Capital Improvement	-	11,129	15,000	15,000	-	-	
Capital Improvement- Town Hall	10,000	-	-	-	-	20,000	

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

Description	Amended	Unaudited	Original	Proposed	YTD Estimate	Proposed
	Budget	December	Budget	Amended		Budget
	FY2024	FY2024	FY2025	FY2025	Ending	FY2026
					FY2025	
Capital Equipment	-	-	11,200	11,200	23,154	-
	10,000	11,129	26,200	26,200	23,154	20,000
Total Administration Expenditures	962,809	1,003,698	966,853	1,348,021	1,335,604	1,109,432
Police Department						
<u>Salaries and Benefits</u>						
Salaries/Wages, Full Time	400,710	412,262	701,828	683,754	701,828	945,658
Salaries/Wages, HVE		-	-	3,075	3,075	5,000
Salaries/Wages, LE Training		-	-	15,000	15,000	21,756
Salaries/Wages, Part Time	113,104	127,942	139,994	139,994	102,305	53,402
Salaries/Wages, STEP	10,000	6,480	10,000	10,000	10,693	10,000
Salaries/Wages, Extra Duty	8,000	7,520	8,000	8,000	10,160	8,000
Overtime	1,798	1,084	29,464	29,464	4,748	9,991
Social Security ER	8,612	9,381	12,056	12,056	7,572	5,171
Medicare ER	7,476	7,528	12,895	12,895	11,017	14,892
FUTA	512	505	554	554	739	554
Worker Comp Ins	19,985	19,740	21,675	21,675	29,875	25,832
Retirement ER Match	17,030	7,734	21,154	21,154	8,483	45,393
FPPA	37,671	36,340	71,067	71,067	58,872	101,821
FPPA D&D	13,562	13,165	25,719	25,719	22,225	37,026
Health Ins ER-pd	32,760	20,746	68,060	68,060	49,051	101,260
Dental Ins ER-pd	1,813	1,576	-	-	-	-
Vision Ins ER-pd	287	249	-	-	-	-
Life Ins ER-pd	1,302	1,357	2,142	2,142	2,008	3,148
	674,622	673,609	1,124,609	1,124,609	1,037,651	1,388,905
<u>Professional Services</u>						
Professional Svcs-IT	16,200	13,552	18,300	18,300	16,249	51,100
Professional Svcs-IT-BHCON	-	500	-	-	-	-
Professional Svcs-IT-Crimewatch	-	2,400	-	-	-	-
Professional Svcs-Other	96,400	9,328	96,100	11,100	833	1,000
Professional Svcs-Other-BHCON	-	-	-	85,000	85,000	105,000
	112,600	25,780	114,400	114,400	102,083	157,100
<u>Administrative/Operations</u>						
Employee Clothing	4,120	3,759	7,700	7,700	5,453	15,000
Employee Training	3,000	6,829	24,534	1,433	1,433	15,000
Employee Training - LE Training	-	-	-	23,102	23,102	-
Employee Travel	3,400	856	3,100	2,557	4,973	3,000
Employee Travel - BHCON	-	2,331	-	1,716	1,716	-
Employee Per Diem	1,000	64	500	500	337	500
Subject Testing	1,000	446	5,000	5,000	1,167	3,000
Communications	20,525	18,113	22,175	21,547	18,209	16,000
Communications - BHCON	-	160	-	628	629	1,100
Memberships/Registrations	13,000	12,406	13,000	13,000	17,779	15,000
Postage	-	51	-	-	-	-
General Supplies	10,000	38,132	40,000	36,700	36,880	20,000
General Supplies - BHCON	-	6,689	-	2,000	2,153	500
General Supplies-LE Training	-	-	-	1,300	1,279	-

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

Description	Amended Budget	Unaudited December	Original Budget	Proposed Amended Budget	YTD Estimate Ending	Proposed Budget
	FY2024	FY2024	FY2025	FY2025	FY2025	FY2026
General Supplies - Honor Guard	-	-	-	-	-	1,000
General Services	3,000	10,355	9,000	9,000	8,617	8,000
Utilities	3,800	3,891	5,000	5,000	4,056	5,000
Building Maintenance	1,000	13,606	10,000	10,000	5,337	10,000
Equipment Maintenance	-	448	3,000	3,000	-	3,000
Vehicle Repair & Maintenance	5,000	15,546	21,000	21,000	32,036	25,000
Fuel	18,000	15,534	20,000	20,000	20,597	21,000
	86,845	149,216	184,009	185,183	185,755	162,100
Capital Outlays						
Capital Improvement	5,000	4,494	7,000	7,000	12,694	5,000
Capital Equipment	75,000	20,125	5,000	67,558	67,558	-
Capital Equipment - BHCON	-	75,141	-	-	-	-
	80,000	99,760	12,000	74,558	80,252	5,000
Total Police Department Expenditures	954,067	948,365	1,435,018	1,498,750	1,405,741	1,713,105
Fire Department						
<u>Salaries and Benefits</u>						
Salaries/Wages, Full Time	374,124	361,835	615,003	615,003	538,127	618,327
Salaries/Wages, Part Time	62,612	48,605	59,174	59,174	44,499	56,809
Overtime	31,909	53,287	85,087	85,087	59,167	69,097
Fire Deployment	20,000	120,655	25,000	134,511	143,798	25,000
Social Security ER	5,370	7,635	8,232	8,232	7,356	7,351
Medicare ER	6,795	8,315	11,372	11,372	10,711	11,154
FUTA	344	487	470	470	635	470
Workers Comp Ins	21,903	22,663	24,405	24,405	33,637	23,030
Retirement ER Match	17,256	5,064	17,972	17,972	4,095	32,332
FPPA ER	38,203	38,410	68,407	68,407	59,768	71,574
FPPA D&D	13,753	13,831	24,757	24,757	21,631	26,027
FPPA Volunteer Pension Fund	2,519	2,519	2,519	2,519	2,519	1,500
Health Ins ER-pd	32,760	23,900	55,610	55,610	35,227	59,760
Dental Ins ER-pd	1,813	3,750	-	-	-	-
Vision Ins ER-pd	287	497	-	-	-	-
Life Ins ER-pd	1,092	1,224	1,512	1,512	1,491	1,858
	630,741	712,677	999,520	1,109,031	962,658	1,004,289
<u>Professional Services</u>						
Professional Svcs-IT	10,000	12,846	17,700	17,700	16,000	17,500
	10,000	12,846	17,700	17,700	16,000	17,500
<u>Administrative/Operations</u>						
Employee Clothing	5,000	1,786	12,000	12,000	6,343	4,000
Employee Training	10,000	8,634	12,000	12,000	4,077	8,000
Employee Travel	2,000	473	1,000	1,000	-	1,000
Employee Per Diem	2,000	63	200	200	131	200
Communications	17,200	10,089	11,325	11,325	11,325	14,900
Memberships/Registrations	400	185	400	400	400	400
Postage	-	18	-	-	-	-
General Supplies	15,000	3,963	11,100	11,100	6,044	8,000
Medical Equip/Supplies	2,500	19,100	5,000	5,000	6,256	5,500
PPE Equipment	-	-	-	-	-	7,500

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

	Amended Budget FY2024	Unaudited December FY2024	Original Budget FY2025	Proposed Amended Budget FY2025	YTD Estimate Ending FY2025	Proposed Budget FY2026	
Description							
General Services	16,000	7,415	12,000	12,000	3,000	10,150	
Utilities	4,500	5,967	7,000	7,000	6,509	7,000	
Building Maintenance	3,000	3,475	7,500	7,500	3,000	4,000	
Equipment Maintenance	5,000	2,086	3,000	3,000	7,000	7,000	
Fire Deployment Expenses	10,000	62,194	12,500	12,500	35,297	12,500	
Vehicle Repair & Maintenance	25,000	22,850	30,000	50,000	50,000	40,000	
Fuel	11,000	7,820	12,500	12,500	9,331	9,500	
	128,600	156,118	137,525	157,525	148,713	139,650	
Capital Outlays							
Capital Improvements	-	-	-	-	-	-	
Capital Equipment	-	35,145	15,000	71,000	71,000	16,000	
	-	35,145	15,000	71,000	71,000	16,000	
Total Fire Department Expenditures	769,341	916,786	1,169,745	1,355,256	1,198,371	1,177,439	
Public Works Department - Roads							
Salaries and Benefits							
Salaries/Wages, Full Time	206,389	169,165	203,360	203,361	196,345	213,711	
Salaries/Wages, Part Time	55,574	26,484	23,623	23,623	36,253	40,334	
Overtime	917	754	7,944	7,944	-	2,540	
Social Security ER	16,299	11,674	14,565	14,565	14,137	15,908	
Medicare ER	3,812	2,730	3,406	3,406	3,307	3,720	
FUTA	260	232	218	218	347	302	
Workers Comp Ins	15,537	15,150	7,713	7,713	10,631	8,397	
Retirement ER Match	8,810	548	5,317	5,317	-	10,272	
Health Ins ER-pd	24,960	14,757	26,560	26,560	13,656	26,560	
Dental Ins ER-pd	1,382	1,000	-	-	-	-	
Vision Ins ER-pd	287	184	-	-	-	-	
Life Ins ER-pd	672	521	672	672	627	826	
	334,898	243,199	293,379	293,379	275,303	322,571	
Professional Services							
Professional Svcs-IT	1,300	1,168	1,300	1,300	1,757	1,800	
Professional Services - MS4	10,000	3,413	10,000	10,000	10,333	10,000	
Professional Svcs Other	29,000	20,882	20,000	20,000	10,351	15,000	
	40,300	25,463	31,300	31,300	22,441	26,800	
Administrative/Operations							
Employee Clothing	700	1,255	1,500	1,500	593	1,500	
Employee Training	500	4,690	1,000	1,000	-	1,000	
Employee Travel	200	-	200	200	-	200	
Employee Per Diem	200	-	100	100	-	100	
Communications	2,000	1,212	2,000	2,000	1,964	2,000	
Memberships/Registrations	700	462	1,500	1,500	-	250	
General Supplies	4,000	3,612	3,500	3,500	2,619	3,000	
Signs Parts/Supplies	3,500	-	9,000	9,000	857	6,000	
	40,000	15,815	50,000	50,000	43,509	55,000	
Utilities	3,700	3,882	4,000	4,000	5,223	5,600	
Street Lights- Road	13,000	13,235	14,000	14,000	13,511	14,000	
Building Maintenance	5,000	609	2,500	2,500	-	2,000	

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

Description	Amended	Unaudited	Original	Proposed	YTD Estimate	Proposed
	Budget	December	Budget	Amended		
	FY2024	FY2024	FY2025	FY2025	Ending	Budget
					FY2025	FY2026
Equipment Maintenance	1,000	3,437	4,500	4,500	4,880	5,000
Road/Street Material	30,000	32,105	35,000	35,000	47,051	40,000
Dust Control	18,000	-	14,000	14,000	5,000	5,000
Culverts	5,000	-	8,000	8,000	-	2,000
Vehicle Repair & Maintenance	6,000	9,179	7,000	7,000	653	6,000
Repair - Heavy Equipment	20,000	9,129	15,000	15,000	24,137	18,000
Fuel	14,000	11,699	15,000	15,000	11,875	15,000
	167,500	110,321	187,800	187,800	161,872	181,650
Capital Outlays						
Capital Improvements - Building	12,000	-	15,000	15,000	-	15,000
Capital Improvements - Roads/Drainage	100,000	-	30,000	30,000	-	120,000
Capital Improvement - Drainage	90,000	-	90,000	90,000	-	-
CDOT PL Elem Sch Rd Improv	1,015,357	998,428	-	-	-	-
Capital Imp - Spruce Mtn Rd	247,000	-	1,499,996	97,339	97,339	1,402,000
Capital Imp - Sidewalk Design	218,000	75,950	181,000	39,200	39,200	190,050
Capital Equipment	-	-	10,000	10,000	27,365	-
	1,682,357	1,074,378	1,825,996	281,539	163,904	1,727,050
Total PW Dept - Roads Expenditures	2,225,055	1,453,361	2,338,475	794,018	623,520	2,258,071
Public Works Department - Parks Expenditures						
Administrative/Operations						
Employee Clothing	200	-	250	250	792	600
Employee Training	200	-	450	450	-	450
Memberships/Registrations	100	-	200	200	-	200
General Supplies	8,000	4,963	12,000	11,718	10,213	11,000
General Supplies - Pickleball Court	-	-	-	282	251	500
General Services	20,000	15,837	20,000	30,000	35,000	36,000
Utilities	4,600	5,440	5,600	5,600	7,957	8,000
Equipment Maintenance	1,000	268	1,000	1,000	299	1,000
Vehicle Repair	1,000	81	1,000	1,000	729	1,000
Fuel/Lubricants	3,500	1,232	4,000	4,000	2,148	2,200
Parking Kiosk Expenses	3,500	2,996	3,100	3,100	6,549	3,100
	42,100	30,817	47,600	57,600	63,939	64,050
Capital Outlays						
Capital Improvements	31,000	39,027	20,000	20,000	9,374	10,000
Capital Equipment	-	-	-	-	-	-
	31,000	39,027	20,000	20,000	9,374	10,000
Total PW Dept - Parks Expenditures	73,100	69,844	67,600	77,600	73,313	74,050
Total Departments Expenditures	4,984,373	4,392,054	5,977,692	5,073,645	4,636,549	6,332,097

TOWN OF PALMER LAKE

GENERAL FUND

2026 Budget DRAFT rev.11.13.25

Description	Amended Budget FY2024	Unaudited December FY2024	Original Budget FY2025	Proposed Amended Budget FY2025	YTD Estimate Ending FY2025	Proposed Budget FY2026	
TOTAL REVENUE AND UNASSIGNED FUND BALANCE OVER (UNDER) EXPENDITURES	3,364,692	4,721,781	4,214,896	4,924,537	5,250,662	4,743,578	
TOTAL REVENUE OVER (UNDER) EXPENDITURES	(297,223)	1,059,866	(292,897)	202,756	528,881	(507,084)	
APPROPRIATE FROM UNASSIGNED FUND BALANCE	297,223	-	292,897	-	-	507,084	
FUND BAL - BEGIN OF YEAR	3,661,915	3,661,915	4,507,793	4,721,781	4,721,781	5,250,662	
FUND BAL - END OF YEAR**	\$ 3,364,692	\$ 4,721,781	\$ 4,214,896	\$ 4,924,537	\$ 5,250,662	\$ 4,743,578	
**3 month Operating Reserve as recommended by State of Colorado							
<i>\$775,497 in 2023</i>							
<i>\$1,098,014 in 2024 (unaudited)</i>							

TOWN OF PALMER LAKE	
WATER CAPITAL FUND	
2026 Budget DRAFT rev.11.13.25	
	Proposed Budget
Description	FY2026
WATER FUND REVENUE	
<u>New Revenue</u>	
Water Improvement Fee	\$ 61,994
Water Loan Revenue	468,452
Water Tap Fees	52,564
Water Interest	66,038
	649,047
<u>Other Financing Sources</u>	
Land/Equipment Sales	-
Transfers from Other Funds	983,909
	983,909
Total Revenue (New Revenue and Other Financing Sources)	1,632,956
Unassigned Fund Balance	-
(Less) Restricted Fund Balance	(229,263)
Unrestricted Fund Balance	(229,263)
Total Revenue and Unrestricted Fund Balance	1,403,693
WATER CAPITAL FUND EXPENDITURES	
<u>Capital Outlays</u>	
Cap Imp - Bldg - Shop security fencing	15,000
Cap Imp - Bldg - WTP security fencing	30,000
Cap Imp - Treat - Coagulation System	125,000
Cap Imp - Dist - Low Zone Tank Rehab	300,000
Cap Equip - Treat - SWTP Instrumentation	26,000
	496,000
<u>Debt Service</u>	
CWRPDA 2009 Principal	96,459
CWRPDA 2009 Interest	8,512
CWRPDA 2018 Principal	52,892
CWRPDA 2018 Interest	15,276
General Fund Loan 2019- Principal	29,767
General Fund Loan 2019 - Interest	8,981
	211,887
Total Expenditures and Other Uses	707,887

TOWN OF PALMER LAKE	
WATER CAPITAL FUND	
2026 Budget DRAFT rev.11.13.25	
	Proposed
Description	Budget
FY2026	
TOTAL REVENUE AND UNRESTRICTED FUND BALANCE OVER (UNDER) EXPENDITURES AND OTHER USES	695,806
TOTAL REVENUE OVER (UNDER) EXPENDITURES AND OTHER USES	925,069
APPROPRIATE FROM UNASSIGNED FUND BALANCE	-
FUND BALANCE - BEGIN OF YEAR	-
FUND BALANCE - END OF YEAR	\$ 925,069
<i>*3 month Operating Reserve (requirement moved to WCF) by CWR&</i>	
<i>\$216,571 per 2023 audit</i>	
<i>\$229,263 in 2024 (unaudited)</i>	



-Ad Proof-

This is the proof of your ad scheduled to run on the dates indicated below. Please proof read carefully if changes are needed, please contact us prior to deadline at (719) 476-1667 or email at fredrick.rogers@gazette.com.

NOTICE OF PROPOSED BUDGET FOR 2026
Notice is hereby given that the proposed draft budget for the ensuing year of 2026 has been submitted to the Town of Palmer Lake Board of Trustees and is available for public viewing. The proposed 2026 budget will be considered, and a Public Hearing will be held at the Board of Trustees regular meeting at the Town Hall, located at 28 Valley Crescent, Palmer Lake, Colorado, on Thursday, November 13, 2025, at 6:00 PM. Notice is further given that an amendment to the 2025 town budget may be considered at this same meeting if necessary. Copies of the proposed 2026 budget will be available for inspection at the Town office, 42 Valley Crescent, Palmer Lake, Colorado, during regular business hours, and a draft of the budget document can be found online as updated at www.townofpalmerlake.com. Any interested elector of the Town of Palmer Lake may inspect the proposed budget and file or register any comments with the town office at any time prior to the final adoption of the budget.
/s/ Erica N. Romero, Town of Palmer Lake
Published in the Tri-Lakes Tribune October 29, 2025.

Date: 10/21/25
Account #: 10341
Company Name: Town Of Palmer Lake
Contact: Maria Kelly
Address: PO Box 208
Palmer Lake 80133
Telephone: (719) 481-2953
Fax: (000) 000-0000

Run Dates:
Tri Lakes Tribune 10/29/25
Gazette.com 10/29/25

Ad ID: 229755
Start: 10/29/25
Stop: 10/29/25
Total Cost: \$56.73
of Lines: 27
Total Depth: 3.125
of Inserts:
Ad Class: 905
Phone # (719) 476-1667
Email: fredrick.rogers@gazette.com

**TOWN OF PALMER LAKE, COLORADO
RESOLUTION NO. 64-2025
A RESOLUTION AMENDING THE 2025 BUDGET**

WHEREAS, the Board of Trustees of the Town of Palmer Lake, Colorado, pursuant to Colorado statute and the Town of Palmer Lake Municipal Code, is vested with the authority of administering the affairs of the Town of Palmer Lake, Colorado; and

WHEREAS, §29-1-109, C.R.S., authorizes the Board of Trustees to amend the budget; and

WHEREAS, the Board of Trustees held a regular meeting on December 12, 2024, to adopt a budget for the 2025 fiscal year; and

WHEREAS, the Board of Trustees of the Town of Palmer Lake appropriated funds for the fiscal year 2025 as follows:

General Fund	\$5,977,692
Water Enterprise Fund	\$1,794,627

and;

WHEREAS, it is necessary for a carryover appropriation for reduced revenue within the Water Enterprise Fund.

WHEREAS, the Town has funds available for such carryover appropriation.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE OF EL PASO COUNTY, COLORADO, AS FOLLOWS:

1. The Board of Trustees amends the budget for the fiscal year 2025 as follows:

General Fund	\$5,073,645
Water Enterprise Fund	\$1,707,860

BE IT FURTHER RESOLVED that such sums are hereby appropriated to the General and Enterprise Funds for the purposes noted in Exhibit A.

2. Severability. If any article, section, paragraph, sentence, clause, or phrase of this Resolution is held to be unconstitutional or invalid for any reason such decision shall not affect the validity or constitutionality of the remaining portions of this Resolution. The Board of Trustees hereby declares that it would have passed this resolution and each part or parts thereof irrespective of the fact that any one part or parts be declared unconstitutional or invalid.

3. Repeal. Existing resolutions or parts of resolutions covering the same matters embraced in this Resolution are hereby repealed and all resolutions or parts of resolutions inconsistent with the provisions of this Resolution are hereby repealed.

INTRODUCED, RESOLVED, AND PASSED AT A REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE ON THIS 13TH DAY OF NOVEMBER 2025.

ATTEST:

TOWN OF PALMER LAKE, COLORADO

Erica N. Romero
Town Clerk

BY: _____
Dennis Stern
Mayor

TOWN OF PALMER LAKE, COLORADO

RESOLUTION NO. 65-2025

A RESOLUTION SETTING AND ESTABLISHING THE DETAILS OF A SPECIAL ELECTION TO BE CONDUCTED ON FEBRUARY 3, 2026 TO CONSIDER A BALLOT QUESTION REGARDING THE PROPOSED MONUMENT CROSSING, LLC ANNEXATION, AKA RED ROCK ACRES ANNEXATION

WHEREAS, the Board of Trustees of the Town of Palmer Lake, Colorado, pursuant to Colorado statute and the Town of Palmer Lake Municipal Code, is vested with the authority of administering the affairs of the Town of Palmer Lake, Colorado; and

WHEREAS, at the September 9, 2025, special election voters passed an initiated ordinance requiring annexation proposals to be submitted to voters; and

WHEREAS, a special election must take place before the Board of Trustees can take final action regarding the annexation proposal of Monument Cross, LLC, also known as the Red Rock Acres annexation, including the annexation, annexation agreement, proposed zoning as a planned development, and proposed subdivision sketch plan; and

WHEREAS, the Board desires to have such election conducted on February 3, 2026; and

WHEREAS, specific details for the special election are to be established by the Board of Trustees.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE, COLORADO AS FOLLOWS:

1. The Board of Trustees hereby sets the date of Tuesday, February 3, 2026, for a special election to consider a ballot question regarding Monument Crossing, LLC's annexation proposal, aka Red Rock Acres' annexation proposal.
2. The Board of Trustees hereby specifies the Town Clerk as the Designated Election Official (DEO).
3. The February 3, 2026 election shall be conducted as a mail ballot election pursuant to the provisions of the Municipal Election Code, Article 10 of Chapter 31, C.R.S.
4. The Board of Trustees grants the Town Clerk, as the DEO, the authority to appoint election judges as needed for the February 3, 2026, election and to take all other reasonable steps to facilitate such election.
5. Severability. If any article, section, paragraph, sentence, clause, or phrase of this Resolution is held to be unconstitutional or invalid for any reason such decision shall not affect the validity or constitutionality of the remaining portions of this Resolution. The Board of Trustees hereby declares that it would have passed this resolution and each part or parts thereof irrespective of the fact that any one part or parts be declared unconstitutional or invalid.

6. Repeal. Existing resolutions or parts of resolutions covering the same matters embraced in this Resolution are hereby repealed and all resolutions or parts of resolutions inconsistent with the provisions of this Resolution are hereby repealed.

INTRODUCED, RESOLVED, AND PASSED AT A REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE ON THIS 13th DAY OF NOVEMBER 2025.

ATTEST:

TOWN OF PALMER LAKE, COLORADO

Erica N. Romero
Town Clerk

BY: _____
Dennis Stern
Mayor

TOWN OF PALMER LAKE, COLORADO

RESOLUTION NO. 66-2025

A RESOLUTION SETTING AND ESTABLISHING THE DETAILS OF A SPECIAL ELECTION TO BE CONDUCTED ON FEBRUARY 3, 2026 TO CONSIDER A BALLOT QUESTION REGARDING THE PROPOSED MONUMENT RIDGE WEST, LLC ANNEXATION, AKA BUC-EE'S ANNEXATION

WHEREAS, the Board of Trustees of the Town of Palmer Lake, Colorado, pursuant to Colorado statute and the Town of Palmer Lake Municipal Code, is vested with the authority of administering the affairs of the Town of Palmer Lake, Colorado; and

WHEREAS, at the September 9, 2025, special election voters passed an initiated ordinance requiring annexation proposals to be submitted to voters; and

WHEREAS, the Board of Trustees has set February 19, 2026, as the date to take final action on the annexation proposal of Monument Ridge West, LLC, also known as the Buc-ee's annexation, including the annexation, annexation agreement, proposed zoning as a planned development, and proposed subdivision sketch plan; and

WHEREAS, the required annexation election needs to be completed prior to February 19, 2026, to enable the Board of Trustees to take such action; and

WHEREAS, specific details for the special election are to be established by the Board of Trustees.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE, COLORADO AS FOLLOWS:

1. The Board of Trustees hereby sets the date of Tuesday, February 3, 2026, for a special election to consider a ballot question regarding Monument Ridge West, LLC's annexation proposal, aka Buc-ee's annexation proposal.
2. The Board of Trustees hereby specifies the Town Clerk as the Designated Election Official (DEO).
3. The February 3, 2026 election shall be conducted as a mail ballot election pursuant to the provisions of the Municipal Election Code, Article 10 of Chapter 31, C.R.S.
4. The Board of Trustees grants the Town Clerk, as the DEO, the authority to appoint election judges as needed for the February 3, 2026, election and to take all other reasonable steps to facilitate such election.
5. Severability. If any article, section, paragraph, sentence, clause, or phrase of this Resolution is held to be unconstitutional or invalid for any reason such decision shall not affect the validity or constitutionality of the remaining portions of this Resolution. The Board of Trustees hereby declares that it would have passed this resolution and each part or parts thereof irrespective

of the fact that any one part or parts be declared unconstitutional or invalid.

6. Repeal. Existing resolutions or parts of resolutions covering the same matters embraced in this Resolution are hereby repealed and all resolutions or parts of resolutions inconsistent with the provisions of this Resolution are hereby repealed.

INTRODUCED, RESOLVED, AND PASSED AT A REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE ON THIS 13th DAY OF NOVEMBER 2025.

ATTEST:

TOWN OF PALMER LAKE, COLORADO

Erica N. Romero
Town Clerk

BY: _____
Dennis Stern
Mayor

TOWN OF PALMER LAKE, COLORADO

RESOLUTION NO. 67-2025

A RESOLUTION SETTING THE BALLOT TITLE AND APPROVING THE BALLOT QUESTION LANGUAGE FOR THE PROPOSED MONUMENT RIDGE WEST, LLC ANNEXATION, AKA BUC-EE'S ANNEXATION

WHEREAS, the Board of Trustees of the Town of Palmer Lake, Colorado, pursuant to Colorado statute and the Town of Palmer Lake Municipal Code, is vested with the authority of administering the affairs of the Town of Palmer Lake, Colorado; and

WHEREAS, at the September 9, 2025, special election voters passed an initiated ordinance requiring annexation proposals to be submitted to voters; and

WHEREAS, the Board of Trustees has adopted a resolution setting a special election regarding the annexation proposal of Monument Ridge West, LLC, also known as the annexation proposal of Buc-ee's for February 3, 2026; and

WHEREAS, in connection with such special election, the Board of Trustees desires to establish the ballot title for the election and to approve the language of the ballot question to be presented to the voters.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE, COLORADO AS FOLLOWS:

1. The Board of Trustees hereby sets the ballot title for the special election to be held on Tuesday, February 3, 2026, consider the annexation proposal of Monument Ridge West, LLC, aka Buc-ee's annexation to read as follows:

CONSIDERATION OF MONUMENT RIDGE WEST, LLC'S ANNEXATION PROPOSAL, AKA BUC-EE'S ANNEXATION PROPOSAL

2. The Board of Trustees hereby approves the following as the language for the ballot question for the special election to be held on Tuesday, February 3, 2026, consider the annexation proposal of Monument Crossing, LLC, aka Buc-ee's annexation:

Shall the Board of Trustees vote to approve the following applications of Monument Ridge West, LLC, which together shall be known and referred to collectively as the "Monument Ridge West, LLC, aka Buc-ee's Proposal to Annex:"

- a) **A petition for annexation, including the approval of a proposed annexation agreement, of a flagpole to parcels 7102200016 and 7102200014 and said parcels, located at the southwest corner of I-25 and County Line/Palmer Divide Road, as set forth on County Line Annexation No. 1 Annexation Map, County Line Annexation No. 2 Annexation Map and County Line Annexation No. 3 Annexation Map within Annexation Application, [_____, dated _____] and the draft Annexation Agreement dated _____;**

- b) **A planned development plan to zone the property as a Planned Development for a family travel center on 24.77 acres consisting of gasoline, food, beverages and retail sales, along with restrooms and rest areas, as set forth as Planned Development Application, [_____, dated _____];**
- c) **A sketch plan for subdivision of the property, as set forth as Sketch Plan Application, [_____, dated _____]?**

A yes vote directs the Board of Trustees to approve the Proposal to Annex comprised of items a), b) and c), in their entirety.

A no vote directs the Board of Trustees to deny the Proposal to Annex comprised of items a), b) and c), in their entirety.

3. Severability. If any article, section, paragraph, sentence, clause, or phrase of this Resolution is held to be unconstitutional or invalid for any reason such decision shall not affect the validity or constitutionality of the remaining portions of this Resolution. The Board of Trustees hereby declares that it would have passed this resolution and each part or parts thereof irrespective of the fact that any one part or parts be declared unconstitutional or invalid.

4. Repeal. Existing resolutions or parts of resolutions covering the same matters embraced in this Resolution are hereby repealed and all resolutions or parts of resolutions inconsistent with the provisions of this Resolution are hereby repealed.

INTRODUCED, RESOLVED, AND PASSED AT A REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE ON THIS 13th DAY OF NOVEMBER 2025.

ATTEST:

TOWN OF PALMER LAKE, COLORADO

Erica N. Romero
Town Clerk

BY: _____
Dennis Stern
Mayor

TOWN OF PALMER LAKE, COLORADO

RESOLUTION NO. 68-2025

A RESOLUTION SETTING THE BALLOT TITLE AND APPROVING THE BALLOT QUESTION LANGUAGE FOR THE PROPOSED MONUMENT CROSSING, LLC ANNEXATION, AKA RED ROCK ACRES ANNEXATION

WHEREAS, the Board of Trustees of the Town of Palmer Lake, Colorado, pursuant to Colorado statute and the Town of Palmer Lake Municipal Code, is vested with the authority of administering the affairs of the Town of Palmer Lake, Colorado; and

WHEREAS, at the September 9, 2025, special election voters passed an initiated ordinance requiring annexation proposals to be submitted to voters; and

WHEREAS, the Board of Trustees has adopted a resolution setting a special election regarding the annexation proposal of Monument Crossing, LLC, also known as the Red Rock Acres for February 3, 2026; and

WHEREAS, in connection with such special election, the Board of Trustees desires to establish the ballot title for the election and to approve the language of the ballot question to be presented to the voters.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE, COLORADO AS FOLLOWS:

- 1. The Board of Trustees hereby sets the ballot title for the special election to be held on Tuesday, February 3, 2026, consider the annexation proposal of Monument Crossing, LLC, aka Red Rock Acres to read as follows:

CONSIDERATON OF MONUMENT CROSGING, LLC’S ANNEXATION PROPOSAL, AKA RED ROCK ACRES’S ANNEXATION PROPOSAL

- 2. The Board of Trustees hereby approves the following as the language for the ballot question for the special election to be held on Tuesday, February 3, 2026, consider the annexation proposal of Monument Crossing, LLC, aka Red Rock Acres:

Shall the Board of Trustees vote to approve the following applications of Monument Crossing, which together shall be known and referred to collectively as the “Monument Crossing, LLC, aka Red Rock Acres’ Proposal to Annex:”

- a) **A petition for annexation, including the approval of a proposed annexation agreement, of parcels _____16 and _____ , as set forth on the Annexation Map, within Annexation Application, [_____, dated _____] and the draft Annexation Agreement dated _____;**

- b) **A planned development plan to zone the property as a Planned Development for a residential development and related areas, as set forth as Planned Development Application, [_____, dated _____];**
- c) **A sketch plan for subdivision of the property, as set forth as Sketch Plan Application, [_____, dated _____]?**

A yes vote directs the Board of Trustees to approve the Proposal to Annex comprised of items a), b) and c), in their entirety.

A no vote directs the Board of Trustees to deny the Proposal to Annex comprised of items a), b) and c), in their entirety.

3. Severability. If any article, section, paragraph, sentence, clause, or phrase of this Resolution is held to be unconstitutional or invalid for any reason such decision shall not affect the validity or constitutionality of the remaining portions of this Resolution. The Board of Trustees hereby declares that it would have passed this resolution and each part or parts thereof irrespective of the fact that any one part or parts be declared unconstitutional or invalid.

4. Repeal. Existing resolutions or parts of resolutions covering the same matters embraced in this Resolution are hereby repealed and all resolutions or parts of resolutions inconsistent with the provisions of this Resolution are hereby repealed.

INTRODUCED, RESOLVED, AND PASSED AT A REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE ON THIS 13th DAY OF NOVEMBER 2025.

ATTEST:

TOWN OF PALMER LAKE, COLORADO

Erica N. Romero
Town Clerk

BY: _____
Dennis Stern
Mayor



KROB LAW OFFICE, LLC
Attorneys at Law

MEMORANDUM

To: Palmer Lake Mayor and Board of Trustees

From: Scotty P. Krob, Town Attorney

Date: November 10, 2025

Re: Some consideration in discussing parameters governing future annexation elections and amendments to Town Code

This memorandum is being provided in conjunction with your consideration of an ordinance adopting possible amendments to the Town Code governing future annexation elections and some of the specific issues and considerations involved with those amendments.

1. Timing of Election within the annexation process

- a. Provision: See Subsection (8)(a)(i)
- b. Considerations

To address this item requires some background regarding the steps involved in the annexation process. There are three primary steps in an annexation where 100% of the owners of the property proposed for annexation desire to be annexed to the Town.

Step 1: Initiation of annexation. Submission of annexation petition and map, and adopting initial resolution setting hearing for determining whether the property is eligible to be annexed.

Step 2. Eligibility hearing. At the date and time set by the Board for the eligibility hearing, the Board considers whether the petition and the property satisfy the requirements of the Colorado Constitution and the statutes in order for the property to be eligible for annexation. This step involves only a limited amount of discretion by the Board, as it looks at criteria

such as whether the area proposed to be annexed is 1/6 contiguous with the Town's existing limits. If the proposed property does not meet the eligibility criteria then the annexation proposal is terminated at that point and no further proceedings are allowed under the statutes.

Step 3. Annexation. This final step is the actual annexation of the property. This is a purely discretionary decision previously made by the Board of Trustees (and the property owner), but now subject to approval by the electors. Annexation usually does not occur unless it is agreed to by both parties - the Town and the property owner. The terms of the agreement are usually set forth in an annexation agreement. Annexation is accomplished by the Town Board of Trustees adopting an annexation ordinance. The annexation ordinance usually approves the annexation thereby making the property a part of the Town, approves the annexation agreement, and zones the property. Usually by the time the matter reaches this decision point, the zoning aspects of the applicant's annexation proposal will have been reviewed by the Planning Commission and their recommendation will have been provided to the Board. Often a sketch plan of the proposed subdivision of the property that is being proposed for annexation will also be presented to the Board as part of the annexation.

The initiated ordinance was silent as to what point in the annexation process the election is to occur. Since an annexation terminates if it does not satisfy the eligibility requirements of the statutes, it does not make sense to have the election before the property is determined to be eligible.

The election could be held immediately after the property is determined to be eligible. The benefit of holding it at this point is that if the election fails, then no effort will have been wasted on determining the appropriate zoning or negotiating an annexation agreement. The downside of having the election at this early stage is that the voters may feel like they do not have enough information about what is being proposed to enable to make an informed decision.

Another option is to hold the election after the zoning the applicant is proposing has been finalized and the proposed annexation agreement has been negotiated between the Board and the applicant. The advantage of holding the election at this point later in the process is that the electors will know what they are voting for or against. However, to get to this point could take a substantial amount of time, expense, and staff resources.

c. Initial Recommendation

My initial recommendation is to have the election after (1) the Board and the Applicant have negotiated a mutually acceptable annexation agreement, (2) The Board of Trustees has approved the proposed zoning through the process provided in Chapter 17.14 of the Town Code, including but not limited to review and recommendation by the Planning Commission, and (3) the Board of Trustees has approved the subdivision sketch plan, with the caveat that the Board can decide that the election related to a specific annexation should occur sooner. That caveat might come into play, for example, if there is an annexation proposal that the Board believes has little or no chance of passing and does not want to spend the time and effort on zoning or an annexation agreement.

2. Scheduling of election

- a. Provision: See Subsection (8)(a)(ii)
- b. Considerations

In conferring with the Town Clerk and Judy Egbert of GovPro, who the Town has used as an election advisor, they suggest the date allow at least 150 days and preferably 180 after the resolution setting the election is adopted to allow time to implement the election. [SPK: at what point is the resolution to be adopted? See issue 1???

- c. Initial Recommendation

180 days from the date of the resolution setting the election.

3. Payment of election costs

- a. Provision: Subsection (8)(a)(iii)
- b. Considerations

The general rule is that development pays its own way. However, if there is a proposed annexation that is particularly beneficial to the Town, the Board may want to consider having the flexibility to have the Town pay for the election to encourage the annexation. The draft section includes language that would allow the Board to do so.

- c. Initial Recommendation

See proposed language in Subsection (8)(a)(iii)

- 4. Formulation of ballot question
- 5.
 - a. Provision: Subsection (8)(a)(iv)
 - b. Considerations

There is some benefit in placing the primary responsibility for formulating the ballot question on the applicant. That approach would limit the ability of the applicant to complain after the election that the ballot question was insufficient to clearly approve the applicant's annexation proposal, or in the event of a denial, that the electors did not understand the annexation proposal. However, it is the Town's ballot and the Board may want to have at least the ability to review what the applicant proposes, to ensure it is not misleading or otherwise improper. There is also an issue inherent setting the ballot question of what happens if the applicant and the Board are

unable to agree on what it should say? Should the applicant have the ultimate say or the Board or should it be joint?

c. Initial Recommendation:

Place primary responsibility for formulating the question, but reserving to the Board the ability to revise it in the interest of clarity, if the Board deems clarification necessary. With regard to the form of a particular question, I suggest that it reference a petition, an annexation agreement, a zoning application, and a subdivision submittal from the applicant that are referenced to a place where they can be found on the Town's website, with a hard copy available at the Clerk's office.

6. Other possible issues:

7.

a. What if BOT says no to an annexation/agreement/zoning/subdivision aspect of the annexation proposal. Does applicant still have right to insist on an election? It is likely a court would conclude that the language of the initiated ordinance gives the voters the right to vote on any annexation and gives the applicant the right to insist on the electors considering the annexation proposal.

b. I encourage you to give some thought to other issues that are likely to arise in the context of implementing the annexation elections required by the initiated ordinance. It will be better to identify and address them in advance where possible.

8. I look forward to our discussion of these and other possible issues.

TOWN OF PALMER LAKE, COLORADO

ORDINANCE NO. __-2025

AN ORDINANCE AMENDING SECTION 17.14.040 OF THE PALMER LAKE MUNICIPAL CODE TO PROVIDE CERTAIN REQUIREMENTS AND GUIDELINES FOR ANNEXATION ELECTIONS

WHEREAS, the Board of Trustees of the Town of Palmer Lake, Colorado, pursuant to Colorado statute and the Palmer Lake Municipal Code, is vested with the authority of administering the affairs of the Town; and

WHEREAS, annexation of land to the Town of Palmer Lake is governed by Colorado statute and by the provisions of Section 17.14.040 of the Palmer Lake Town Code.; and

WHEREAS, on September 9, 2025 a majority of the electors of the Town of Palmer Lake approved an initiated ordinance requiring voter approval of all annexation proposals.

WHEREAS, on September 25, 2025, the Board of Trustees adopted Ordinance 05-2025 to incorporate the Initiative Question approved by the electors into Section 17.14.040 of the Town Code; and

WHEREAS, the Board desires to further amend Section 17.14.040 of the Town Code to establish certain requirements and guidelines governing annexation elections including but not limited to the timing, expense, and ballot language for annexation elections and to provide other details related to such elections.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE, COLORADO AS FOLLOWS:

Section 1. Section 17.14.040 is hereby amended by adding the underlined language to read in its entirety as set forth on Exhibit A, attached.

Section 2. Severability. If any article, section, paragraph, sentence, clause, or phrase of this Ordinance is held to be unconstitutional or invalid for any reason such decision shall not affect the validity or constitutionality of the remaining portions of this Ordinance. The Board of Trustees hereby declares that it would have passed this Ordinance and each part or parts thereof irrespective of the fact that any one part or parts be declared unconstitutional or invalid.

Section 3. Repeal. Existing ordinances or parts of ordinances covering the same matters embraced in this Ordinance are hereby repealed and all ordinances or parts of ordinances inconsistent with the provisions of this Ordinance are hereby repealed except that this repeal shall not affect or prevent the prosecution or punishment of any person for any act done or committed in violation of any ordinance hereby repealed prior to the effective date of this Ordinance.

INTRODUCED AND PASSED AT A REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE TOWN OF PALMER LAKE ON THIS 13th DAY OF SEPTEMBER, 2025.

ATTEST:

TOWN OF PALMER LAKE, COLORADO

Erica N. Romero
Town Clerk

BY: _____
Denis Stern
Mayor

EXHIBIT A

17.14.040. Annexation of land.

- (a) *Applicability.* This section shall apply to all actions to annex new land into the municipal boundaries of the town and shall apply to all property sought to be annexed to the town by voluntary petition of landowners, except this section is not intended to apply to and nothing in this section shall be interpreted to increase the requirements or add to the processes for annexation of enclaves, partially surrounded land, and municipally owned land as provided for in C.R.S. § 31-12-106.
- (b) *Specific procedure and compliance with State law.*
- (1) All annexation proposals shall comply with the requirements of the Colorado Revised Statutes, including but not limited to CRS 31-12-101, et seq., and any other applicable municipal and state laws. The applicant for the annexation of land and the town shall complete all those actions necessary for full compliance with C.R.S. §§ 31-12-101 et. seq., the Colorado Annexation Act of 1965, as amended.
 - (2) In case of any conflict between the provisions of this Code and the requirements of C.R.S. §§ 31-12-101 et. seq., the provisions of C.R.S. §§ 31-12-101 et. seq. shall apply.
 - (3) By petitioning for and accepting annexation of property to the town, the petitioner shall be deemed to agree to be governed and abide by the terms and conditions herein set forth, together with any other conditions or requirements which the town board of trustees may lawfully impose in a specific case.
 - (4) The petitioner has the burden of demonstrating that his or her property is eligible for annexation, as defined by C.R.S. §§ 31-12-104 and 31-12-105.
 - (5) Property annexed to the town shall be eligible for municipal services, including utilities, subject to and as provided by the annexation agreement pertaining to the annexation, this Code, and town ordinances, resolutions, rules, and regulations as now or hereafter constituted.
 - (6) Each application for annexation shall be accompanied by an application for zoning of the annexed properties into one or more of the zoning districts shown in article 2 and the town shall complete the procedure for making a decision on the proposed zoning of the land pursuant to section 17.14.010 rezoning (amendment to official zoning map), but final action by the town board of trustees regarding zoning for the annexed property shall not be taken before the annexation of the property has been completed.
 - (7) The town shall provide to the applicant a draft annexation agreement prior to the zoning public hearing before the planning commission. The annexation agreement shall outline the responsibilities of the applicant and the town regarding the provision and extension of streets and utilities, the dedication of water rights, the payment of fees and charges related to the annexation and proposed development, the provision of facilities for the public and for residents and occupants of the annexed land, and other matters related to the impacts of the annexation on the town. Any changes or additions to the annexation agreement proposed by the town or suggested by the applicant shall be resolved before the public hearing before the planning commission. If a property to be annexed has multiple ownership, all of the owners must sign the annexation agreement. If multiple properties are combined for annexation purposes, but each will be developed separately, separate annexation agreements are to be signed by each owner. The final annexation agreement shall be signed by the applicant and made available to the town clerk before final action by the town board of trustees on the proposed annexation.
 - (8) Requirement for Voter Approval of Annexation.

a. Any proposal to annex land into the Town of Palmer Lake shall be subject to approval by a majority vote of the registered electors of the Town of Palmer Lake at a regular or special municipal election. No annexation shall be deemed effective unless and until it has been approved by the voters in accordance with this subsection (8). Such annexation shall be subject to the following guidelines and requirements.

i. Timing of the annexation election. [Unless the Board of Trustees
[decides otherwise]

OR

[the Board of Trustees and the Applicant agree otherwise in writing,]

the annexation election shall be held

after the property proposed for annexation has been determined to be eligible for annexation

OR

after (1) the Board and the Applicant have negotiated a mutually acceptable annexation agreement, (2) The Board of Trustees has approved the proposed zoning through the process provided in Chapter 17.14 of the Town Code, including but not limited to review and recommendation by the Planning Commission, and (3) the Board of Trustees has approved the subdivision sketch plan

ii. Scheduling of the election. By resolution, the Board of Trustees shall set the date for the annexation election. Such date shall be no more than ____ days after _____. Such date may be continued by the Board of Trustees for good cause.

iii. Payment of costs of election by the Applicant. Unless the Board of Trustees expressly agrees otherwise, all costs of the annexation election, including but not limited to consultant fees, staff time, attorney's fees and other expenses related to formulating the ballot question, the costs of noticing and publishing the election, providing election judges, and canvassing and certifying the election, as well as all costs associated with any challenges to or appeals of the election, shall be paid by the applicant, unless the Board of Trustees agrees otherwise. The applicant shall deposit with the Town the anticipated costs of the election no later than ____ days of _____. Failure to deposit the required funds by the required date may be deemed by the Board of Trustees to be a withdrawal or abandonment of the annexation proposal by the applicant. To the extent the actual costs of the election exceed the anticipated costs, such difference shall be paid by the Applicant within 30 days of billing by the Town. If such payment is not made, then the Town may withhold further approvals related to the property or pursue all other remedies available at law or equity.

iv. Formulation of ballot question for the election. The Applicant shall submit a proposed ballot question to the Board of Trustees for its consideration within ____ days of _____. The Board of Trustees shall provide the Applicant with the Board's suggested revisions to the Applicant within 30 days of receipt. If the Applicant and the Board are unable to agree on the ballot language, then

the final ballot language shall be determined by the Applicant

OR

the final ballot language shall be determined by the Board of Trustees

OR

the Board of Trustees may deem the annexation proposal to be withdrawn or abandoned.

- b. Any annexation approved by the Town Board of Trustees within one year prior to ___[insert anticipated effective date of ordinance – 30 days after publication]____, 2025, but not yet finalized (including those pending legal challenge or awaiting infrastructure development) shall be subject to voter approval as described in Subsection a., above.
- (c) *Request for concept review.* Prior to the submission of a petition for annexation, the petitioner may request a concept review. Upon receipt of a request, the town will schedule a meeting with the planning commission and/or the town board of trustees, as necessary.
- (1) *Purpose of concept review.* The concept review is an informal opportunity for the petitioner to discuss the scope and general concept of the proposed annexation with the planning commission and/or the board of trustees and to receive assistance in identifying issues and concerns regarding the proposed annexation that would likely be of concern to the planning commission, the board of trustees and the public prior to the submission of a petition for annexation.
- (2) *Information required.* At the concept review, the petitioner should be prepared to provide general information regarding the property to be annexed, including but not limited to:
- a. Existing uses of the property.
 - b. Land uses and densities proposed for the property following annexation and expected zoning classifications.
 - c. Major public improvements necessary to serve the property, including potential access points and major streets.
 - d. Anticipated public utility and service demands.
 - e. Natural hazards and physical features.
 - f. Sketches, photographs and conceptual drawings or plans that will aid in the understanding of the proposed annexation.
 - g. Statement of benefit to the town and any other matters relevant to the annexation, development, and service needs of the property.
- (d) *Petition for annexation.* In addition to the matters and allegations required by C.R.S. § 31-12-107, the petition for annexation shall contain the information set forth below:
- (1) A written legal description of the boundaries of the area proposed to be annexed. If requested by the town, the petitioner shall include within the boundaries of such area the full width of any and all county roads designated by the town for annexation, along with the privately owned lands.
 - (2) Evidence of fee ownership of each separately owned parcel of land proposed for annexation. Such evidence shall consist of a commitment for or a title insurance policy, a written attorney title opinion, a subdivision certificate or a written ownership and encumbrance report, all dated within 30 days before the date of submission to the town. If a corporation, partnership, or joint venture owns the property, the petitioner shall furnish such additional information (e.g., partnership agreement or joint venture

- affidavit, as provided by C.R.S. § 38-30-166) as may be requested by the town in order to determine that the signatories have been authorized by that entity to execute such documents.
- (3) Legal descriptions of water and ditch rights appurtenant to the properties within the area proposed to be annexed.
- (e) *Criteria for decision.* In making their recommendation or decision, the planning commission, and board of trustees, respectively, shall approve the annexation of land, only if it makes the findings required by C.R.S. § 31-12-110. In addition, the annexation shall comply with the annexation policies of the town's community master plan (aka comprehensive plan).
- (f) *Required notice.* An application for the annexation of land requires special noticing requirement pursuant to C.R.S. § 31-12-108. Notice shall be published in a newspaper of general circulation in the municipality at least once each week for four consecutive weeks before the hearing.
- (1) Published notice shall:
- Identify the application type.
 - Describe the nature and scope of the proposed project.
 - Identify the location subject to the application.
 - Identify where and when the application and associated materials may be inspected; and
 - Indicate opportunity to appear at the public hearing, including the public hearing date, time, and location.
- (2) Mailed notice complying with C.R.S. § 31-12-108 shall be sent to the town board of trustees and the town attorney and to any special district or school district in which the areas to be annexed are located, at least 25 days before the date fixed for the public hearing.
- (3) Mailed notice complying with C.R.S. § 31-12-108 shall be sent to the owners of real property within 300 feet of the boundaries of the proposed annexation, irrigation ditch companies whose rights-of-way traverse the property to be annexed, and to the mineral estate owners and their lessees of the property to be annexed. Notice provided by the town to the owners of the minerals estate and their lessees shall not relieve the petitioner(s) from the responsibility of providing notice as required by C.R.S. § 24-65.5-101, et. seq.
- (4) In the case of a "flagpole" annexation, the town shall also provide notice to abutting property owners as specified in C.R.S. § 31-12-105 as amended.
- (g) *Annexation agreement.*
- Agreement required.* As a condition of approval of an annexation, the town will require the petitioner to agree to certain terms and conditions for such annexation and to execute an annexation agreement memorializing such agreement.
 - Enforceability.* The terms and conditions of the final annexation agreement are not effective or enforceable until approved by the town board of trustees by ordinance.
- (h) *Deed conveying water rights.* Any person seeking to annex to the town shall comply with the requirements of section 13.28.040 of the Town Code regarding deeding of water and water rights to the town, unless expressly exempted from doing so by the terms of an annexation agreement.
- (Ord. No. 4-2024, § 1(Exh. A), 4-11-2024)
- Ord. No. 4-2024, § 1(Exh. A), adopted April 11, 2024, amended the Code by the addition of § 17.98; however, said provisions have been redesignated as § 17.14.040, at the editor's discretion, for purposes of maintaining a consistent numbering style and allowing for future expansion of the Code.

PALMER LAKE FEASIBILITY STUDY

for development of a Public Safety Facility

Prepared by:



Architvity

Ron Conder & Ryan Koeniger

TABLE OF CONTENTS

1.0 - INTRODUCTION

2.0 - SANTA FE RIDGE, TRACT A

- 2.1 - Site Analysis
- 2.2 - Vehicular Access
- 2.3 - Traffic Impact Analysis
- 2.4 - Undeveloped Land Analysis
- 2.5 - Utility Service Availability
- 2.6 - Site Security
- 2.7 - Planning, Zoning, and Code
- 2.8 - Cost Analysis

3.0 - ELEPHANT ROCK

- 3.1 - Site Analysis
- 3.2 - Vehicular Access
- 3.3 - Traffic Impact Analysis
- 3.4 - Undeveloped Land Analysis
- 3.5 - Utility Service Availability
- 3.6 - Site Security
- 3.7 - Planning, Zoning, and Code
- 3.8 - Cost Analysis

4.0 - VALLEY CRESCENT (TOWN)

- 4.1 - Site Analysis
- 4.2 - Vehicular Access
- 4.3 - Traffic Impact Analysis
- 4.4 - Undeveloped Land Analysis
- 4.5 - Utility Service Availability
- 4.6 - Site Security
- 4.7 - Planning, Zoning, and Code
- 4.8 - Cost Analysis

5.0 - SITE COMPARISON MATRIX

6.0 CONCLUSION

Appendix A - Colorado Geological Survey Palmer Lake Quadrangle - Complete Map

Appendix B - Enlarged Legend for Colorado Geological Survey Map

Appendix C - Zoning Map for Town of Palmer Lake

Appendix D - Programming for Public Safety Facility - *(initial for study purposes only)*

Appendix E - Cost Estimate for Three Sites

Appendix F - Site Diagrams for Fire Equipment Turning Radii

1.0 INTRODUCTION

The Town of Palmer Lake has requested a Feasibility Study for a future Public Safety Facility for the Fire and Police Departments. The Feasibility Study looks at three potential sites within the Town of Palmer Lake, two of which are owned by the Town and one which would need to be purchased. The objective of the Feasibility Study is to document the physical features and various data, and determine the potential for each site to meet the requirements for a future building.

The following report documents each site individually under separate sections considering environmental characteristics, vehicular and traffic analysis, development and improvement factors, and big picture costs. The three sites under consideration are named as follows for reference within the report:

2.0 Santa Fe Ridge, Tract A - *represented in yellow*

3.0 Elephant Rock - *represented in red*

4.0 Valley Crescent (Town) - *represented in blue*

[refer to diagram 1A for a reference map]

Section 5.0 provides a Site Comparison Matrix to compare the three sites across each of the study areas.

Section 6.0 Conclusion provides a professional recommendation of which Site may be best suited to the Town's needs, based upon the findings of the research and data analysis.



Diagram 1A: Overall Map of Palmer Lake and potential Sites

2.0 SANTA FE RIDGE

2.1 Site Analysis:

- Physical properties - topography, orientation, geology, existing vegetation, existing structures or man-made features, environmental.
 - General: The Santa Fe Ridge Site is part of a 13 acre commercial property with multiple Lots, two of which are developed with existing buildings, parking and landscaping. The Lot under consideration is Tract A [*refer to diagram 2A*] which is located on the south side of the existing paved access road between the two existing buildings on Lots 4 and 6. Tract A is reported to have a site area of approximately 59,678 sq.ft. The Site is below the level of the existing access road and the land drops significantly toward the south to act as the drainage detention area for the combined properties within the development. Research into the



Diagram 2A: Santa Fe Ridge Development Plan Diagram

Santa Fe Ridge development with the land owner, Mr. James Fitzgerald, indicate that Tract A is intended to be the drainage detention basin for the overall development and was not intended to be used for a building site. There are other Lots within the Santa Fe Ridge development that are intended for buildings. The use of Tract A for the Town's proposed purposes is not feasible. While it is not within the scope of this report to propose other possible Sites for the Town's

needs for a Public Safety Facility, there are other possible Lots within the Santa Fe Ridge development that could be considered for a building site, such as the combined Lots 2 & 3 or possibly Lot 5. Further study of those lots would be required, but information below may still apply.

- Environmental: Prevailing Winds are from the north, northwest, Solar Exposure is to the south and east along the length of the site, and it sits below or level the existing adjacent properties with no potential for shading from existing structures on adjacent lots. Drainage and Erosion control is an issue with this Lot, because it was designed to receive the drainage from adjacent properties, as described above. It is our assessment that Tract A is the detention basin for the adjoining lots. The catchment area to the north and west is higher in elevation and it could be expected that surface drainage will shed onto the property from adjacent land to the northwest. The site is visible from Hwy 105 and potential future building(s) would be visible to passers-by. Due to local environmental conditions where the north-side of buildings and north-facing driveways and parking areas are subject to significant seasonal snow and ice build-up, it will be strongly recommended to have the driveways and parking areas on the south-side of any buildings. [Refer to diagram 2]
- Topography [refer to diagram 2B] on Tract A is sharply sloping from the north to the south, and then generally flat with a defined lower depression for drainage catchment. There are drainage swales and rip-rap entering from the north, west, and east sides which direct water from adjacent Lots within the development.

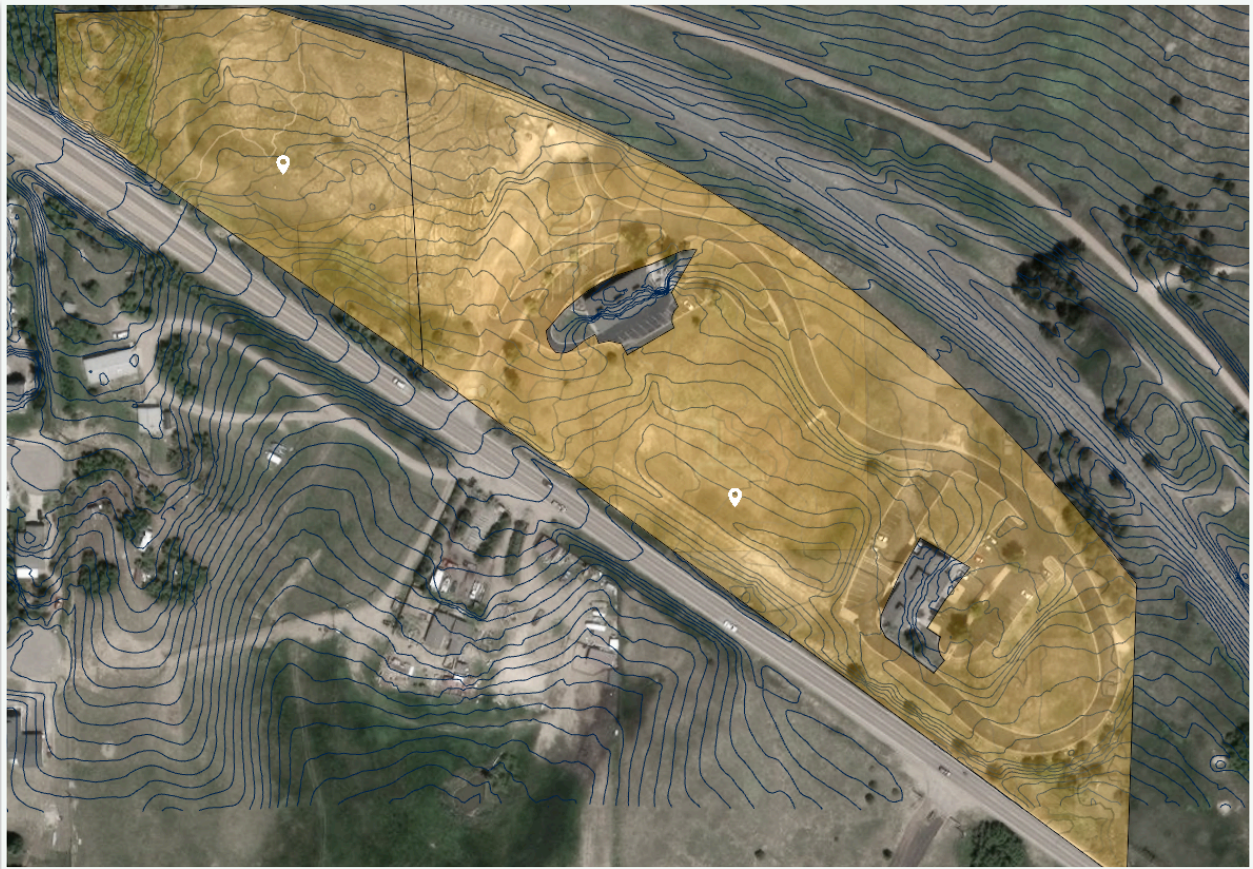


Diagram 2B: Santa Fe Ridge Topography

- Orientation: Tract A is oriented with its breadth spanning northwest-southeast, in line with existing contours. It is bordered on the south by the Highway 105 berm and the access road, Santa Fe Ridge, to the north.
- Geology: Data reviewed from the Colorado Geological Survey Map for the Palmer Lake Quadrangle indicates the Santa Fe Ridge Site is located within a geological area that may not be generally suitable for building construction without a geotechnical investigation and report provided by a geotechnical engineer. The engineer will determine requirements for foundations, which may include over excavation, soil amendment and/or deeper foundations. This would likely apply to any Lot within the Santa Fe Ridge development. Geology found within the limits of the Santa Fe Ridge location: TKda₄, Qcs, Qa₁ [Refer to diagram 2C and Overall Map and Legend found in Appendix A & B].

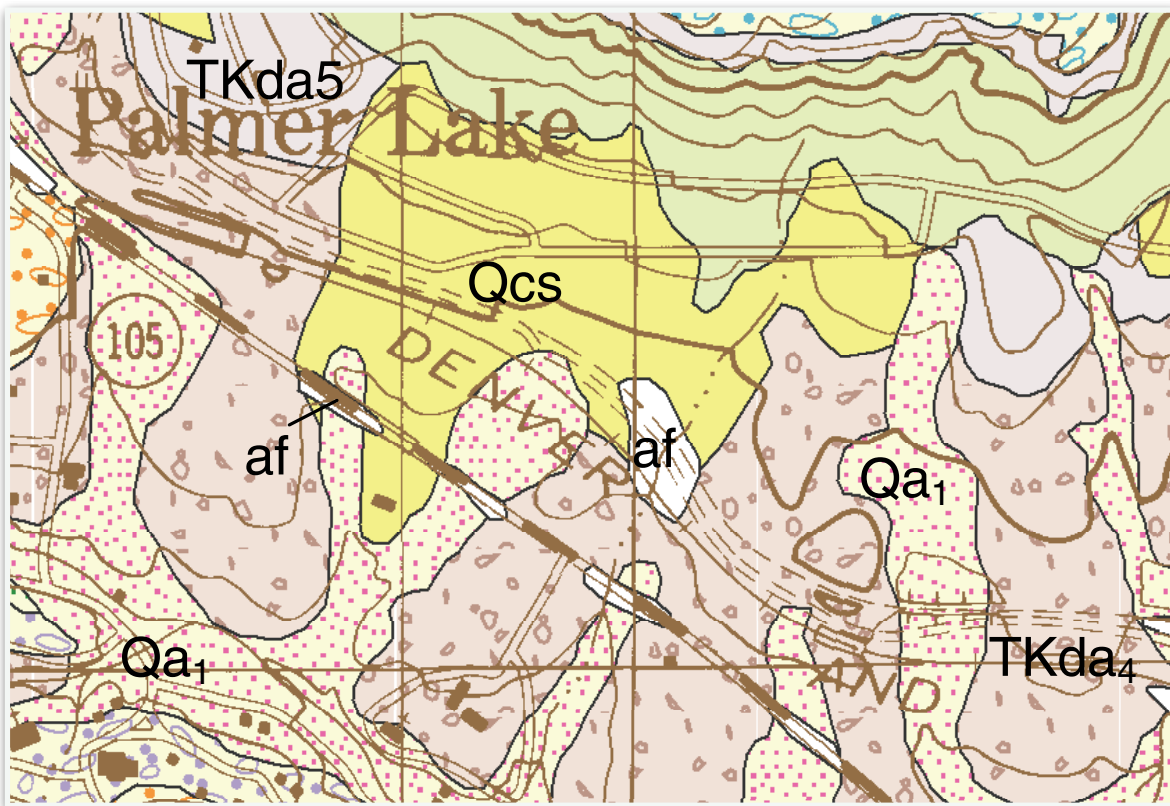


Diagram 2C: portion of Colorado Geological Survey Map - Palmer Lake - SantaFe Ridge Site

- Vegetation: Natural grasses, no trees, no boulders within Tract A.
- Existing structures or human-made features: Existing road and curb & gutter to the north, existing drainage swales and rip-rap at drainage points into Tract A. No existing structures.
- Potential Noise disruption: The site is located within a business development with two existing buildings having businesses with normal day-time operating hours. The Site is located outside of the Downtown zone, in a lower-density area. It is adjacent to Highway 105 with its ambient noise, and limited residential uses adjacent (across the highway to the south). The existing railroad grade is

immediately adjacent to the north of the Santa Fe Ridge development, and has daily trains passing by, creating noise. Noise disruption caused by activity on the site that may affect adjacent properties is not a significant factor with this Site.

2.2 Vehicular access: emergency services and general use to the site and within the site:

- Existing Emergency Service Vehicles in-use by the Town of Palmer Lake:
 - Engine (2011) Height 9.5ft Length 29.7ft, Turning Radii:
 - Curb-to-curb: 40 feet, 11 inches
 - Wall-to-wall: 47 feet, 0 inches
 - Inside Turn: 25 feet, 1 inch
 - Engine (2015) Height 9.5ft Length 29.3ft, Turning Radii:
 - Curb-to-curb: 39 feet, 9 inches
 - Wall-to-wall: 46 feet, 0 inches
 - Inside Turn: 25 feet
 - Two full-sized half-ton pickup trucks: Dodge Ram 2500
 - Two Brush trucks used for wildland firefighting
 - Two side-by-sides and Two ATV utility vehicles
- There is no direct road access to Tract A. Vehicular access to Tract A was not intended in the development plan for the Santa Fe Ridge development.
- Existing Adjacent Street Capacity: Tract A is adjacent to State Highway 105, a 2-lane state highway. The access point to the overall Development for Santa Fe Ridge is limited to the existing driveway at Santa Fe Ridge, located to the northwest of the existing Red Barn building at 300 General Palmer Dr. The access point is broken-down asphalt or road-base with no curb & gutter until a few hundred feet into the site. General Palmer Dr and Santa Fe Ridge are the internal access roads, and are paved with curb & gutter, though it stops for Lots 1,2,3 and 10 to the northwest. The street capacity of Santa Fe Ridge is an internal access road for two-way traffic with one lane in each direction, no shoulder or striping.
- The angle of approach into Tract A from Santa Fe Ridge does not apply as this site is not able to be developed for a building.
- Parking Requirements for the Public Safety building should include spaces for town employee's (Fire and Police) personal vehicles as well as limited public parking. The proposed use would require 1 space for each 300 sq ft of floor area according to Palmer Lake Zoning Ordinance 17.84.020 for off street parking. Based upon the preliminary building requirements for an estimated area of 9,200 sq.ft. of building (not including vehicle garages), the proposed Public Safety building could require as many as 30 spaces for employees and general public. The parking area for vehicles is estimated to require at least 15,000 sq.ft. Other potential Lots within the Santa Fe Ridge Development would need to take this into consideration.

2.3 Traffic Impact Analysis:

- Emergency service vehicles running calls from Lots within the Santa Fe Ridge development (not Tract A) would be required to exit their specific Lot, navigate the narrower access road (Santa Fe Ridge or General Palmer Dr.) before entering onto State Highway 105. It should be expected that an emergency signal would need to be added at the intersection of Santa Fe Ridge where it meets the State Highway.
- Traffic on Highway 105 would be impacted when emergency vehicles are deployed and need to enter the Highway turning right or left. Morning and

evening commuter traffic may experience some congestion if the emergency signal is activated and Highway traffic is stopped to allow emergency vehicles to enter the Highway.

- Based on the existing grade and width of Highway 105 at this location, it is questionable whether any widening of the road would be allowed or possible to create a turn lane or acceleration lane.
- It is not expected that any significant adjustment would be allowed to Highway 105 at the access point at General Palmer Dr. based upon input from Town Staff.

2.4 Undeveloped Land Analysis:

- Development Considerations for Santa Fe Ridge Site:
 - Some existing infrastructure, including streets and utilities are existing to the development and would only need to be extended to a new building on a potential developable Lot. Tract A is not a site that can be developed.
 - Site grading does not apply to Tract A, as it is a detention basin.
 - The existing development drainage structures, including swales, rip-rap, detention basins, and culverts within Tract A need to remain in order to control drainage on adjacent Lots.
 - Available lots within the Santa Fe Ridge development will require complete architectural and civil engineering site planning and will require direct communication with the land owner for approval of any building design.
- Financial implications to begin and maintain ongoing use of any developable lot within the Santa Fe Ridge development would require the purchase of land, with terms to be negotiated with the current land owner. There are development HOA fees that would also be required for internal road maintenance, trash and snow removal.

2.5 Utility Service Availability: *options for all public utilities such as water, sewer, electric, gas, fiber optic, etc., and anticipated public safety communications*

- Availability of Public Utilities:
 - Water service is provided to the Santa Fe Ridge development by an 8-inch PVC line that runs in a loop along the southern boundary parallel to Highway 105. There are two fire hydrants, located at the west and east end of Tract A and multiple other hydrants within the overall development. [refer to Diagram 2.5a]

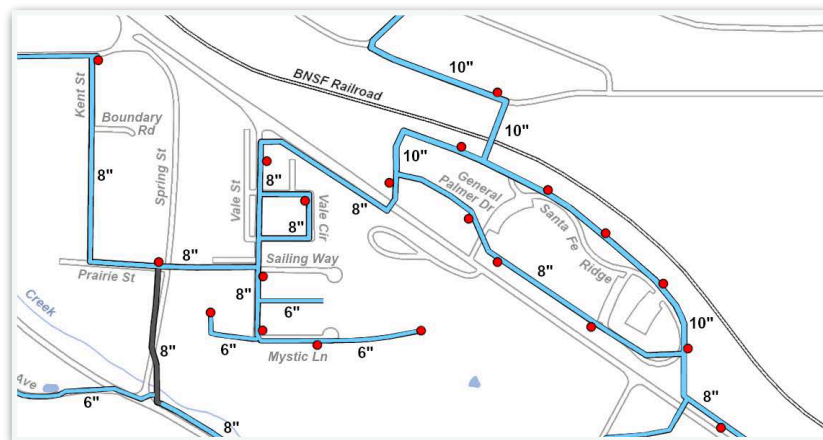


Diagram 2.5a: Water Service Lines - Santa Fe Ridge

- The existing wastewater (sewer) line is an 8-inch diameter pipe, running along the southern Tract A property line, parallel to Highway 105, with a manhole roughly in the center. [refer to Diagram 2.5b]

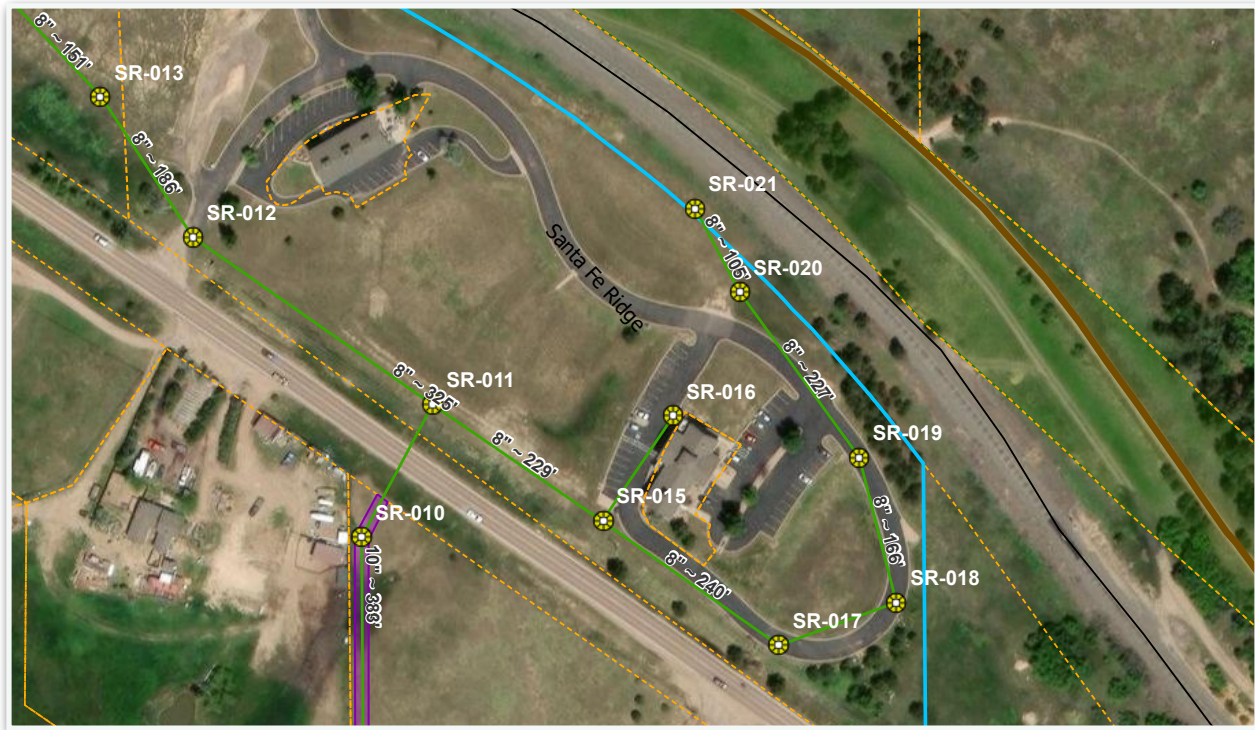


Diagram 2.5b: Wastewater Service Lines - Santa Fe Ridge

- Electrical service is provided by Core, and is supplied by underground 3-phase power that comes from overhead lines along Highway 105 on the south and enters the site near the building at 610 Santa Fe Ridge.
- Gas service is provided by Black Hills Energy and is supplied to the site by a 3" gas service line on the northwest portion of the overall development, with an internal service line to the lots.
- Internet service in Palmer Lake is provided by cable, satellite, and fiber through local providers such as Xfinity, Viasat, CenturyLink, and Force Broadband.
- For all utilities, the service lines to the new buildings would need to be extended from their current locations. All utility needs appear to be readily available for Lots within Santa Fe Ridge.

2.6 Site security: equipment and facility protection against vandalism and acts of violence

- Safety and security for the Santa Fe Ridge Site could potentially be impacted by its more rural location outside of town and along the Highway. It is possible that the new building would be oriented to face south for the benefit of the sun exposure in winter months, and therefore the driveway, access points and garages would be visible from the Highway. The security of the site should be maintained as it will generally be occupied around the clock. The overall development is planned for business uses that currently have occupancy during the day. The police station portion of the future building will be equipped with controlled access devices to prevent unauthorized access.

2.7 Planning, zoning and code implications for each site

- The Santa Fe Ridge Site has a PUD Zoning designation and fronts Highway 105. Zoning regulations for the Town of Palmer Lake require a setback of 200ft from State Highway 105. The setback requirement will have significant impact based on the location of a potential Lot within the Santa Fe Ridge development. Tract A does not apply.

2.8 Site improvement cost estimates

- Development of a site within the Santa Fe Ridge location will require Site Grading and drainage plans and earth work, Utility connections and tap fees, excavation for new building foundations, paving for parking lots, sidewalks, curb and gutter, and coordination with CDOT to install an emergency signal at Highway 105 and General Palmer Dr.
- See Appendix E for a Preliminary Cost Estimate provided by a licensed contractor who considered each of the three potential Sites.

3.0 ELEPHANT ROCK

3.1 Site Analysis:

- Physical properties - *environmental, topography, orientation, geology, existing vegetation, existing structures or man-made features.*
 - General: The Elephant Rock Site is part of a larger 27 acre property on the south side of State Highway 105, made up of two parcels, one adjacent to State Highway 105 that is approximately 6 acres, and a larger 21 acre triangle of land to the south developed with existing buildings, parking and landscaping. The Lot under consideration is on the 6 acre parcel on the north [*refer to diagram 3A*]. The Site is immediately adjacent to the Highway and to an existing dirt access road, and more or less level with it. The western corner of the land drops significantly down from the highway toward the south and is unbuildable. There are natural rock formations which must be preserved and protected with any site development.



Diagram 3A: Elephant Rock Site

- Environmental:[Refer to *diagram 2*] Prevailing Winds are from the northwest, Solar Exposure is to the south and east along the length of the site, and it sits level with the existing adjacent properties with no potential for shading from existing structures on adjacent lots. Drainage and Erosion control is not an issue with most of this Site, based upon the topography described above. The existing slope in the northwest corner may need to be improved with construction of drainage infrastructure when adding impervious area from parking lots and buildings. The site is visible from Highway 105 and potential future building(s) would be visible to passers-by.
- Topography [*refer to diagram 3B*] The Elephant Rock site is gently sloping land that is highest at the north and sloping gradually toward the southwest. The north 1/3 of the 6 acre parcel has steep sloping land forming a drainage to the southwest. The buildable area may be limited to approximately 4 acres of the overall 6-acre parcel based on topography and setback requirements, see below.



Diagram 3B: Topography for Elephant Rock Site.

- Orientation: The Elephant Rock Site faces southwest, and any potential building would need to be oriented with it's breadth spanning southeast - northwest, in line with existing contours, roughly parallel to Highway 105 to the north. It is bordered on the north by State Highway 105 and a berm, a residential property to the west that is lower in elevation, the additional 21-acre parcel owned by the Town on the south, and a residential lot to the east.
- Geology: Data reviewed from the Colorado Geological Survey Map for the Palmer Lake Quadrangle indicates the Elephant Rock Site is located within a geological

area that may not be generally suitable for building construction without a geotechnical investigation and report provided by a geotechnical engineer. The engineer will determine requirements for foundations, which may include over excavation, soil amendment and/or deeper foundations. The site appears to be a mix of Alluvium and Dawson formation sedimentary rock. Geotechnical test borings will be required prior to building design. [Refer to diagram 3C and Overall Map and Legend found in Appendix A & B]

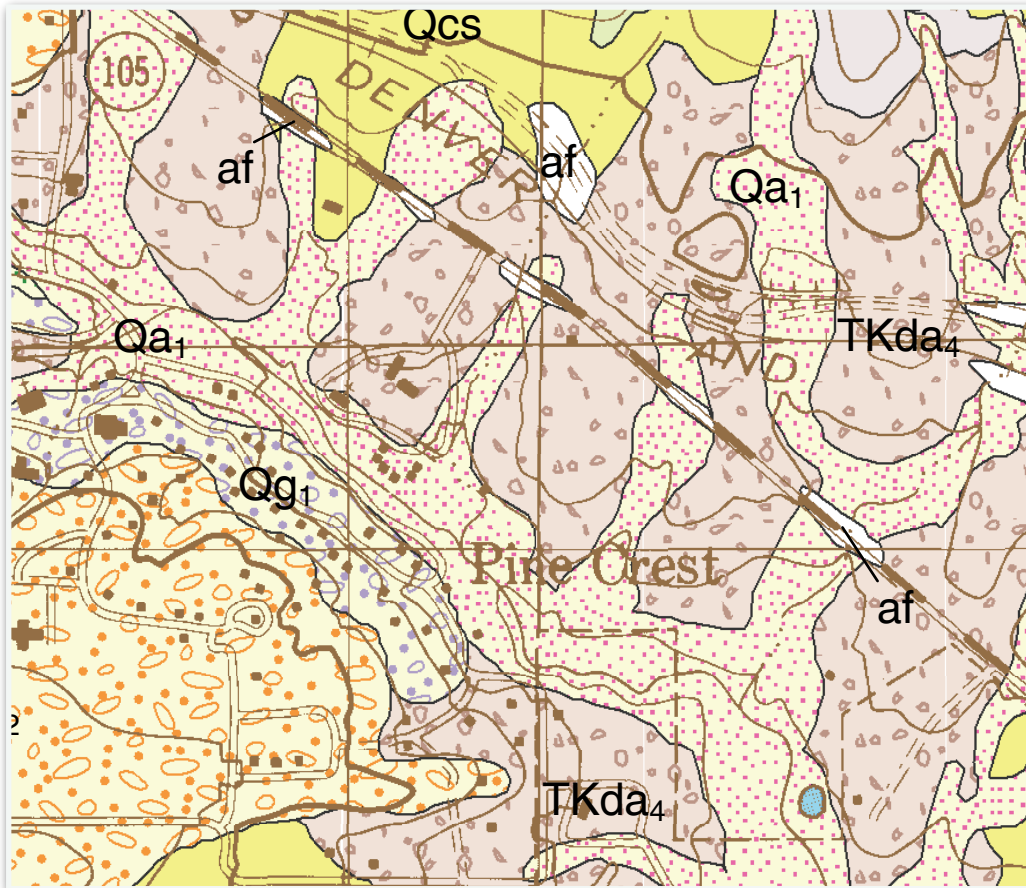


Diagram 3C - Portion of Colorado Geological Survey Map - Palmer Lake - Elephant Rock Site

- **Vegetation:** The site primarily has natural grasses, with a few coniferous trees near the dirt access road. More trees exist on the lower 21-acre parcel.
- **Existing structures or human-made features:** The Site on the ~6-acre parcel is currently undeveloped. The Site entry off of Highway 105 has a pair of gates with stone walls. The existing internal road is dirt with no curb & gutter. There are a number of existing buildings and man-made features on the lower ~21-acre parcel. There is a light pole at the entry point to the property off highway 105, and power poles adjacent to the entry along the dirt road toward the south.
- **Potential Noise disruption:** The Site is located in an area that is outside of town, in a less-densely populated area. It is adjacent to Highway 105 with it's ambient noise, and single-family residential uses on either side. Noise disruption into the Site should be expected from Highway 105 and the nearby railroad track to the north. Noise disruption from the Site is not a significant factor with this property, due the the rural nature of the adjacent properties.

3.2 Vehicular access: *emergency services and public access to and within the site:*

- Refer to section 2.2 for a list of existing vehicles used by the Town of Palmer Lake Fire Department.
- Existing Adjacent Street Capacity - Adjacent to Highway 105, a 2-lane state highway. The access point is from the north and is limited to the existing driveway located in roughly the center of the 6-acre parcel frontage to Highway 105. The road is currently dirt with no curb & gutter, there are two existing gates for entry/exit. The existing internal access road is nominally wide enough for one vehicle in each direction.
- The angle of approach into the Elephant Rock Site from the existing dirt road is flat enough to allow any vehicle to enter / exit with minimal grading required. It should be noted that improving the existing dirt road to be a paved access road with curb and gutter for heavy emergency vehicles and equipment is expected.
- The Elephant Rock site is approximately 6 acres and is deep enough in the north-south direction to allow for a building, driveways, and parking. The Fire Department's existing engines will require a turning radius of at least 41 feet. Given the potential required footprint for the Public Safety building with garage space at least 45 feet deep, and the required driveway and approach into the garages, sufficient space to turn and navigate the site appears to be sufficient.
- Parking Requirements for the public safety building should include spaces for town employee's (Fire and Police) personal vehicles as well as limited public parking. The Elephant Rock site would require 1 space for each 300 sq ft of floor area according to Palmer Lake Zoning Ordinance 17.84.020 for off street parking. Based upon the preliminary building requirements for an estimated area of 9,200 sq.ft. of building (not including vehicle garages), the proposed Public Safety building could require as many as 30 spaces for employees and general public. The parking area for vehicles is estimated to require at least 15,000 sq.ft. This site has sufficient area for parking.
- Public access to the Elephant Rock site would be possible from the existing Highway 105 entry point. Also, there would be sufficient space within this site to allow for the access for Fire and Police vehicles to be separated from Public access and parking areas. The remainder of the Site including the lower 21 acre parcel is planned for public use and the shared internal access road will have vehicles from the public using it.

3.3 Traffic Impact Analysis:

- Emergency service vehicles running calls from the Elephant Rock site would be required to exit the parking lot, navigate the common access road before entering onto State Highway 105. It should be expected that an emergency signal would need to be added at the intersection of the existing access road where it meets Highway 105.
- Traffic on Highway 105 would be impacted when emergency vehicles are deployed and need to enter the Highway turning right or left. Morning and evening commuter traffic may experience some congestion if the emergency signal is activated and Highway traffic is stopped to allow emergency vehicles to enter the Highway.
- Based on the existing grade and width of Highway 105 at this location, it is questionable whether any widening of the road would be allowed or possible to create a turn lane or acceleration lane.

- It is not expected that any significant adjustment would be allowed to Highway 105 at the access point at Elephant Rock based upon input from Town Staff and CDOT indications on other Highway related questions.

3.4 Undeveloped Land Analysis:

- Development Considerations for the Elephant Rock Site:
 - Some existing infrastructure, including a dirt road and utilities are existing to the Site. Utilities would only need to be extended to a new building on the 6-acre parcel.
 - There is a gas main / meter located a few hundred feet into the site on the west side of the dirt road that may need to be relocated, but could be done as part of extending the gas service to the new facility.
 - The dirt road would require improvement to a paved road with reinforced concrete aprons and curb and gutter at least around any public building and within the area of the driveway and garage for the emergency vehicles.
 - Minimal site grading would need to be done to allow access for vehicles, and to create a buildable area for the Public Safety building.
 - There are no existing drainage structures, swales, rip-rap, or detention basins on the 6-acre parcel. These may be necessary to allow for any site improvements.
 - The environmental impacts of adding impervious area with driveways, buildings, and parking lots required for the project would need to be studied by a Civil Engineer.
- Financial implications to begin and maintain ongoing use of the Elephant Rock Site on the 6-acre parcel would primarily include the development and construction costs for building a new facility. The land is owned by the Town of Palmer Lake and is zoned PUD which allows for the type of proposed development.

3.5 Utility Service Availability: *options for all public utilities*

- Availability of Public Utilities:
 - Water service is provided to the Elephant Rock Site by a 6-inch PVC line that runs south on the east side of the dirt access road down to

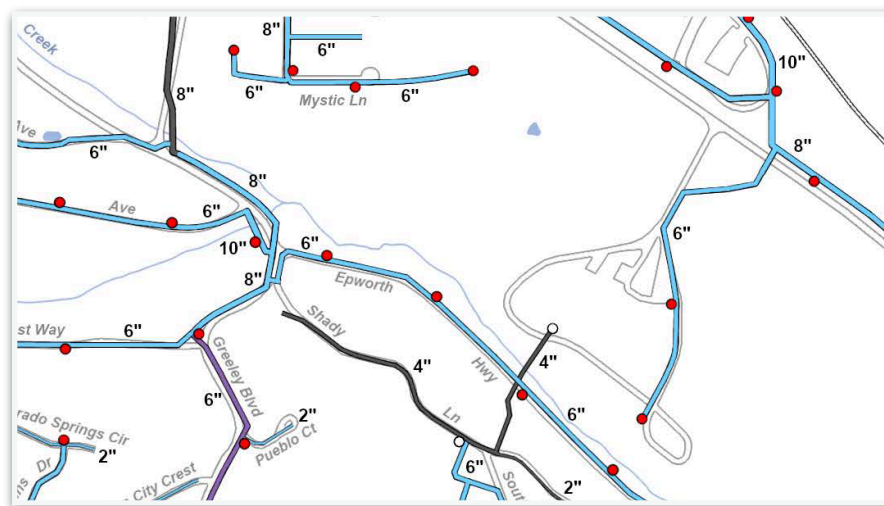


Diagram 3.5a - Water Service Lines - Elephant Rock

the remaining site. There are two fire hydrants, both located on the lower 21-acre parcel. A service line would need to be extended to the west for the new proposed facility. (Refer to Diagram 3.5a)



Diagram 3.5b - Wastewater Service Lines - Elephant Rock

- The existing wastewater (sewer) line is a 10-inch diameter pipe, and runs along the western property line toward the south. There are several manholes along the line through the site. There is no sewer line along the south side of Highway 105 at this location. (Refer to Diagram 3.5b)

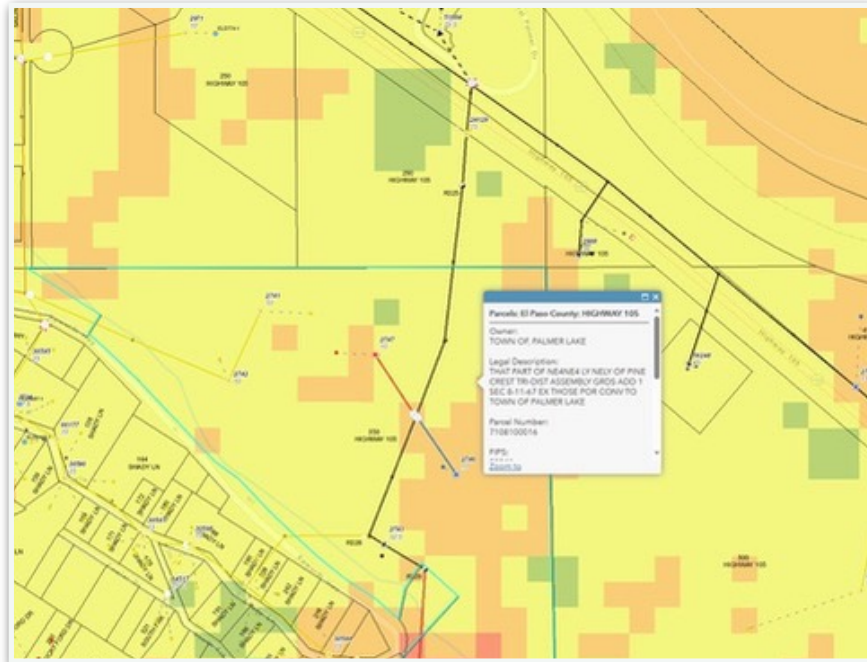


Diagram 3.5c: Electrical Service - Elephant Rock

- Electrical service is provided by Core, supplied by overhead power lines with 3-phase power from lines along Highway 105 to the north and enters the site near the dirt access road. Power poles run south through the site down to the lower buildings. There are some single-phase overhead lines on the lower 21-acre parcel connecting to existing buildings.
- Gas service is provided by Black Hills Energy and is supplied to the site by a 3" service line running parallel to Highway 105 and directly through the Site. There is a High-Pressure Gas Main also running parallel to the service line, which could have impact on any site development.
- Internet service in Palmer Lake is provided by cable, satellite, and fiber through local providers such as Xfinity, Viasat, CenturyLink, and Force Broadband.
- For all utilities, the service lines to the new buildings would need to be extended from their current locations. All utility needs appear to be readily available on the Elephant Rock Site.

3.6 Site security: *Equipment and facility protection against vandalism and acts of violence*

- Safety and security for the Elephant Rock Site could potentially be impacted by its more rural location outside of town and along the Highway. It is possible that the new building would be oriented to face south for the benefit of the sun exposure in winter months, and therefore the driveway, access points, and garages would not be easily visible from the Highway. However the security of the site should be maintained as it will generally be occupied around the clock. The vulnerability of the property may come with the fact that the remainder of the larger site (the lower 21-acre parcel) could be developed as public park and open space uses where the public has access. The police station portion of the future building will be equipped with controlled access devices to prevent unauthorized access.

3.7 Planning, zoning and code implications

- The Elephant Rock Site has a PUD Zoning designation which requires a setback of 200 feet from State Highway 105. This will limit the availability of land for the Public Safety building significantly. Due to local environmental conditions where the north-side of buildings and north-facing driveways, walkways, and parking areas are subject to significant seasonal snow and ice build-up, it will be strongly recommended to have the driveways and parking areas on the south-side of the building. These two factors (setback and environmental) may require that more available land be allocated to the Public Safety Building when considering the Elephant Rock Site.
- There is a permanent well easement on the Elephant Rock property on the east side of the dirt access road from Highway 105 on the northwest boundary. This does not have a direct impact on developing the land to the west of the access road.

3.8 Site improvement cost estimates

- Development of the Elephant Rock location will require site grading and drainage plans and limited earth work, utility connections and tap fees, excavation for new building foundations, paving for parking lots, new sidewalks, curb and gutter to access the new building, new site landscaping, and coordination with CDOT to install an emergency signal at Highway 105.
- See Appendix E for a Preliminary Cost Estimate provided by a licensed contractor who considered each of the three potential Sites.

4.0 VALLEY CRESCENT (TOWN)

4.1 Site Analysis:

- Physical properties - topography, orientation, geology, existing vegetation, existing structures or man-made features, environmental climate.
 - General: The Valley Crescent Site is located in the Town of Palmer Lake on Valley Crescent St between Middle Glenway St on the north and Lower Glenway St on the south. [refer to diagram 4A]. The Site includes the existing Town Hall, Town Administration offices, Police Department, Fire Department, Palmer Lake Historical Society, and a blank piece of land owned by the Fire Department Association. This Site is within the downtown area and has residential and some commercial uses surrounding it. The recommended location for the future Public Safety building would be the northern 1/3 of the Valley Crescent Site along Middle Glenway Street, including the Fire Association land on the west, the existing Fire Station building (to be demolished) in the middle, and possibly the dirt parking lot to the east.
 - Environmental:[Refer to diagram 2D] Prevailing Winds are from the northwest, Solar Exposure is to the south and east along the length of the site, and grade is level with the existing adjacent properties. Mature vegetation and trees will create some shading on driveways and access roads and walkways. There is little potential for shading from existing structures on adjacent lots. Drainage within



Diagram 4A: Valley Crescent Town Site

the site will need to be considered carefully, as neither of the adjacent roads have any curb & gutter and the drainage swales on the roadside are shallow and do not carry water effectively. The drainage around existing buildings may need to be improved when adding impervious area with parking lots and buildings with construction of new drainage infrastructure. Shade and shadow from existing structures leads to significant snow and ice build-up during winter months and is a factor for design consideration. The site is several blocks from Highway 105 and would be accessed similarly to the way it is done currently.



Diagram 4B: Topography for Valley Crescent Site

- Topography [*refer to diagram 4B*] The Valley Crescent site is perceptibly flat land, though sloping to the east, with contours running north - south across the site. The elevation is higher on the west, gently dropping to low on the east.
- Orientation: The Valley Crescent Site does not have a strong orientation, however a potential future Public Safety building would likely need to be oriented east - west along the north boundary of the site. It is bordered on the north by Middle Glenway St and residential properties to the north, east, south, and west.
- Geology: Data reviewed from the Colorado Geological Survey Map for the Palmer Lake Quadrangle indicates the Valley Crescent Site is located within a geological area that appears to be generally suitable for building construction. A geotechnical investigation and report provided by a geotechnical engineer will be necessary to determine requirements for foundations. The site appears to be within a Gravel Deposit soil area. Geotechnical test borings will be required prior to building design. [*refer to diagram 4C*]
- Vegetation: The site has natural and cultivated grasses, existing mature deciduous and coniferous trees throughout the site. The boundary along Middle Glenway St has several mature spruce trees and other deciduous trees. The Fire Association portion of the Site has little vegetation and is currently used for parking or staging vehicles. There are established gardens and landscaping through much of the Valley Crescent site, especially around the existing town buildings.

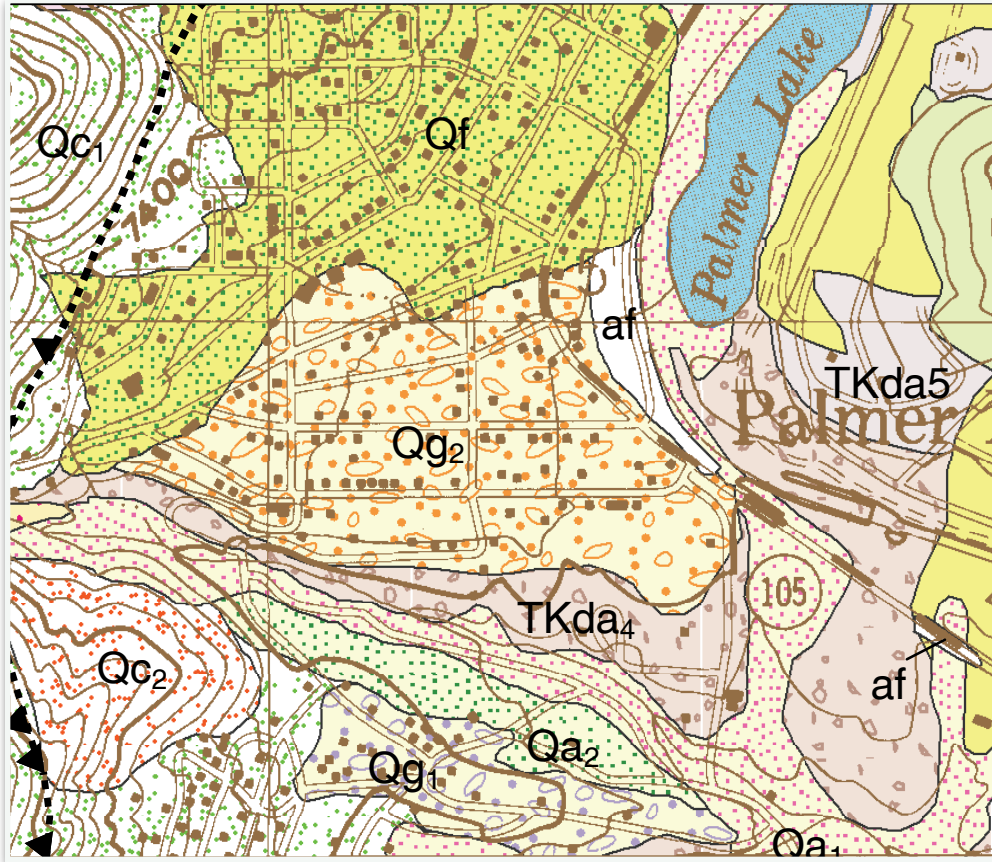


Diagram 4C: Portion of Colorado Geologic Survey Map - Palmer Lake - Valley Crescent Site

- Existing structures or human-made features: The Valley Crescent Site is developed with five buildings, some of which have historical significance. There are some existing sidewalks, driveways, and parking areas. There is an informal alley on the west side of the property that is used for Fire Department access and town employee parking.
- Potential Noise disruption: The site is located in the center of town, in a relatively-densely populated area. It is adjacent to single-family residential uses on all sides. Noise disruption will be a significant factor with this property, as it already is with the existing Police and Fire Stations located on the larger property.

4.2 Vehicular access: *emergency services and public access to and within the site:*

- Refer to section 2.2 for a list of existing vehicles used by the Town of Palmer Lake Fire Department.
- Access to and from the Valley Crescent Site is either from Middle Glenway St on the north, or via Lower Glenway St. at the informal alley on the west side behind the existing Town Hall, or into the parking lot in the middle of the site.
- Existing Adjacent Street Capacity - The Valley Crescent Site is between two neighborhood streets with no striping or curb & gutter. The capacity of Lower and Middle Glenway Streets is not expected to vary with the improvement of the Site to include a combined Public Safety building since both of these uses already utilize the adjacent streets.
- The angle of approach into the Valley Crescent Site from the existing streets is flat enough to allow any vehicle to enter / exit with minimal to no grading required. It should be noted that improving the existing dirt driveways to be

- a paved access road or driveway apron with curb and gutter for heavy emergency vehicles and equipment is expected.
- The Valley Crescent site is approximately 2 acres total, including all other existing buildings, driveways and open space. The available land that might be considered for use with a new building is approximately 400 feet by 110 feet, (44,000 sq.ft.) Whether the potential site is deep enough in the north-south direction to allow for a new building, driveways, and parking will require careful investigation. The Fire Department's existing engines will require a turning radius of at least 41 feet. Given the potential required footprint for the Public Safety building with garage space at least 45 feet deep, and the required driveway and approach into the garages, sufficient space to turn and navigate the site may be adequate, but it could be very tight.
 - Parking Requirements for the public safety building should include spaces for town employee's (Fire and Police) personal vehicles as well as limited public parking. The Valley Crescent site would require 1 space for each 300 sq ft of floor area according to Palmer Lake Zoning Ordinance 17.84.020 for off street parking. Based upon the preliminary building requirements for an estimated area of 9,200 sq.ft. of building (not including vehicle garages), the proposed Public Safety building could require as many as 30 spaces for employees and general public. Obviously, the Valley Crescent site cannot accommodate this many spaces. The required parking area for vehicles is estimated to require at least 15,000 sq.ft. There is existing parking within the Valley Crescent Site, but with the addition of a new building this may be impacted.
 - Public access to the Valley Crescent site is currently possible from middle Glenway St. with an entry point on the north, or on the south side from Lower Glenway St. into a central parking lot.

4.3 Traffic Impact Analysis:

- Emergency service vehicles running calls from the Valley Crescent site would be required to use either of the neighborhood streets Middle Glenway or Lower Glenway St. These streets do not have significant traffic and impact from emergency services would remain similar to what it is currently.
- Traffic on Highway 105 would be impacted when emergency vehicles are deployed and need to enter the Highway turning right or left, but this is already an existing condition. Morning and evening commuter traffic may experience brief delays when Highway traffic is stopped to allow emergency vehicles to enter the Highway. There is no expectation of adding an emergency signal.

4.4 Developed Land Analysis:

- Development Considerations for the Valley Crescent Site:
 - Phasing the project to allow Fire Department services to continue while a portion of the site is developed for a new building.
 - Existing infrastructure is already in-place, including paved roads, sidewalks, utilities, landscaping, and buildings. Utilities would only need to be extended to a new building.
 - Demolishing existing structures in preparation for the new building would be required.
 - The dirt access roads on the north (east and west of the existing Firehouse) would require improvement to a paved road with reinforced concrete aprons and curb and gutter.
 - Minimal to no site grading would need to be done to allow access for vehicles, and to create a buildable area for the Public Safety building.

- Existing drainage structures, swales, or detention basins may require improvement to allow for new site improvements.
- Environmental impacts of adding impervious area with driveways, buildings, and parking lots required for the project would need to be studied by a Civil Engineer to determine if a detention pond or other provisions need to be made on adjacent streets and within the site.
- Financial implications to begin and maintain ongoing use of the Valley Crescent Site would include the demolition of existing buildings and site preparation for site development and construction of a new building. The land is owned by the Town of Palmer Lake which allows for the type of proposed development and added building.

4.5 Utility Service Availability: *options for all public utilities*

- Availability of Public Utilities:
 - Water service is provided to the Valley Crescent Site by a 4-inch cast iron service line running within Valley Crescent St through the center on the plane, and a 6" PVC line that runs along the south side of Middle Glenway St. There are two fire hydrants nearby, located at the corners of Valley Crescent St. There is a Raw Water hydrant located

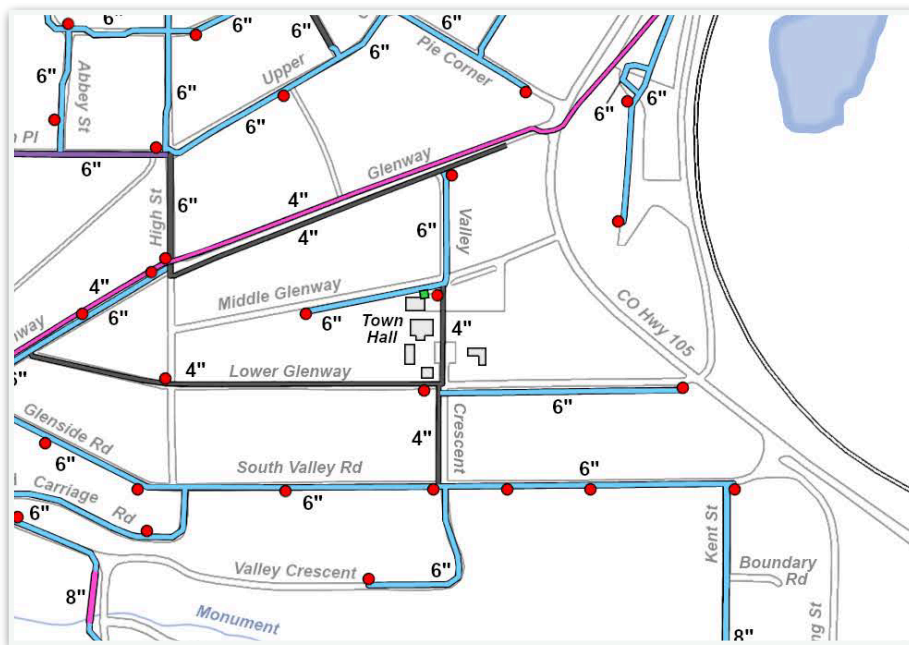


Diagram 4.5a: Water Service Lines - Valley Crescent

- adjacent to the existing Fire Station. [*refer to Diagram 4.5a*]
- The existing wastewater (sewer) line is an 8-inch diameter pipe, and runs along the eastern side of Valley Crescent St toward the south, through the site from Middle Glenway to Lower Glenway St. There is a manhole in the dirt parking lot on the north of the site. [*refer to diagram 4.5b: Sewer lines are represented in green*]
- Electrical service is provided by Core, and is supplied by overhead power lines with 3-phase power that comes from lines along the north, east, south and west perimeter of the site and enters the site near the

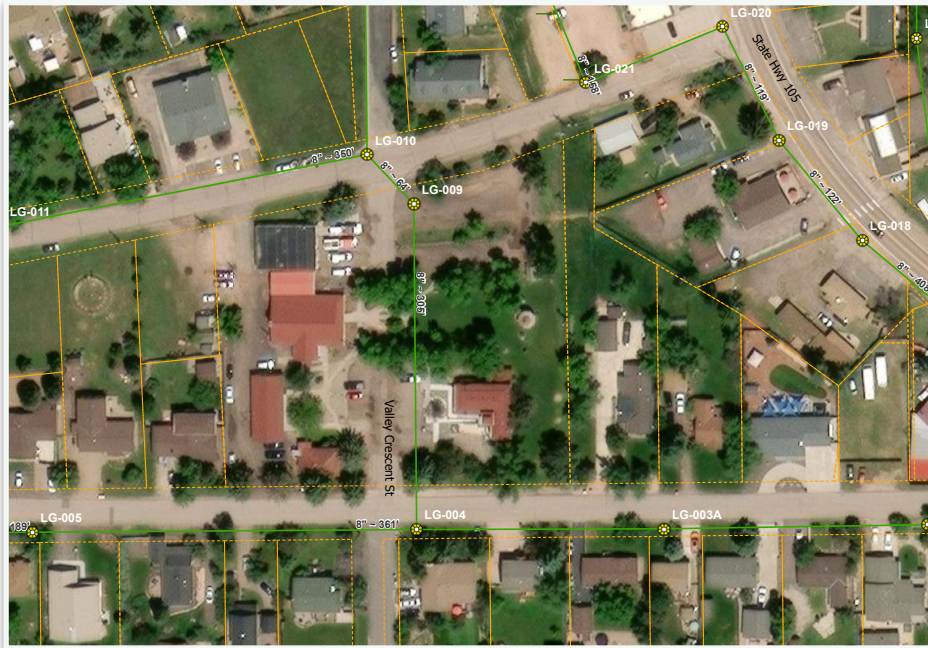


Diagram 4.5b: Wastewater Service lines - Valley Crescent

east, south and northwest corner. [refer to Diagram 4.5c: Black and Red Lines represent 3-phase power. Overhead lines are dashed.]

- Gas service is provided by Black Hills Energy and is supplied to the site by a 1 1/4" service line on the east side of Valley Crescent.
- Internet service in Palmer Lake is provided by cable, satellite, and fiber through local providers such as Xfinity, Viasat, CenturyLink, and Force Broadband.



Diagram 4.5c: Electrical Service - Valley Crescent

- For all utilities, the service lines to the new buildings would need to be extended from their current locations. All utility needs appear to be readily available on the Valley Crescent site.



Gas Service to Valley Crescent

4.6 Site security: Equipment and facility protection against vandalism and acts of violence

- Safety and security risk for the Valley Crescent Site may be reduced by the fact the new facility will be in the center of town and among residential properties. It is possible that the new building would be oriented to face south for the benefit of the sun exposure in winter months, and therefore the driveway, access points and garages would not be easily visible from the Middle Glenway St. However the security of the site should be maintained as it will generally be occupied around the clock. The police station portion of the future building will be equipped with controlled access devices to prevent unauthorized access.

4.7 Planning, zoning and code implications for each site

- The Valley Crescent Site has an R3 Zoning designation which may require a re-zoning process to allow for the proposed use. It is possible the Town could administratively approve a re-zone to allow for the proposed use, considering that other Town Municipal uses already exist on the Site. Providing adequate parking for town personnel and the public would be a greater challenge with this site, especially if it is developed further with a larger Public Safety building. The geohazards associated with this Site appear to be less than other sites in consideration, based on geology, topography and history.

4.8 Site improvement cost estimates

- Development of the Valley Crescent location will require some site preparation to demolish existing structures. It will also require site grading and drainage plans and limited earth work, utility connections and tap fees, excavation for new building foundations, paving for parking lots, new sidewalks, curb and gutter where the new building will be located. Discussions with the Town Staff indicated there is willingness to be flexible with the operations of the Fire Department (temporary accommodations) while the existing building is removed and cleared for construction of a new combined facility. This site may have the lowest site improvement costs of the three potential sites.

- **See Appendix E** for a Preliminary Cost Estimate provided by a licensed contractor who considered each of the three potential Sites.

5.0 Site Comparison Matrix

SITE COMPARISON MATRIX			
	SANTA FE RIDGE	ELEPHANT ROCK	VALLEY CRESENT
SITE DATA			
TOPOGRAPHY	Detention basin, steep slope to north	Gently sloping ideal for building	Flat / Gently Sloping, ideal for building
GEOLOGY	poor soils, mitigation likely required	poor soils, mitigation likely required	good soils, no mitigation
VEGETATION	native grasses, no trees	native grasses, min trees	mature landscape & trees
NOISE	From Outside: Train/Highway From Inside: non issue	From Outside: Train/Highway From Inside: non issue	From Outside: minimal From Inside: residential neighborhood
ENVIRONMENTAL	Prevailing winds north/northeast, south/southeast	Prevailing winds north/northeast, south/southeast	Prevailing winds north/northeast, south/southeast
	Sunlight south exposure	Sunlight south and east exposure	Sunlight south and east exposure
	Existing detention basin (unbuildable)	Typical drainage mitigation, minimal grading	Moderate drainage mitigation, minimal grading
VEHICLE & TRAFFIC			
ACCESS	Not possible	Good, with multiple options	Good, with limited options
STREET CAPACITY	Restricted, existing drive is narrow	unrestricted, new	restricted, existing alley and neighborhood streets
PARKING CAPACITY	N/A	adequate	limited
TRAFFIC IMPACT	Emergency signal required at Hwy 105	Emergency signal required at Hwy 105	Same as existing, no change
LAND ANALYSIS			
UNDEVELOPED / DEVELOPED	Undeveloped Site	Undeveloped Site	Developed Site
	Existing detention pond, Unbuildable	no existng drainage infrastructure. Some detention may be required	limited drainage infrastructure, mitigation likely required
	Setbacks n/a	200 ft setback reduces land available for building	easement on north, existing buildings
	Existing access road, extension to site n/a	access road improvement and extension to site	existing alley, needs improvement
	Site grading n/a	minimal / no site grading required	minimal / no site grading required
	no demolition required	no demolition required	building demolition required

SITE COMPARISON MATRIX

	SANTA FE RIDGE	ELEPHANT ROCK	VALLEY CRESENT
UTILITIES			
WATER	8" PVC, 2 hydrants	6" PVC, 1 hydrant	4" cast iron and 6" PVC, 2 hydrants
WASTE WATER	8" dia., accessible to south	10" dia. Accessible to west	8" dia., accessible to east
ELECTRICAL	3-phase, underground	3-phase, overhead	3-phase, overhead
GAS			
INTERNET	Cable, Fiber, Satellite	Cable, Fiber, Satellite	Cable, Fiber, Satellite
SITE SECURITY			
	(location, orientation, and visibility) N/A	Medium risk, (location, orientation, and visibility)	Low Risk, within town, high visibility
SITE IMPROVEMENT COST PROJECTION			
GRADING & DRAINAGE	Grading and drainage N/A	Minimal grading, add / extend drainage infrastructure	Minimal to no grading, improve drainage infrastructure
UTILITIES	all available, connect to site N/A	all available, typical cost to connect to site	all available, low cost to connect to site
DRIVES CURB & GUTTER	Curb & Gutter N/A	C&G and extent of paving optional	Paved driveways C&G required
PLANNING & ZONING CODE IMPLICATIONS			
GEOHAZARD	Yes, Required	Yes, Required	No
RE-ZONE	No	No	Yes
DEVELOPMENT PLAN	Yes, Minor Amendment	Yes, Minor Amendment	Yes, Minor Amendment
SETBACKS	200 ft, Hwy 105, south	200 ft, Hwy 105, north	Property line
EASEMENTS	Utility	Permanent Well, Utility	Utility
LOT SETBACKS	Un-buildable	Yes, 200 ft Hwy Setback issue	Yes, limited impact

6.0 Conclusion

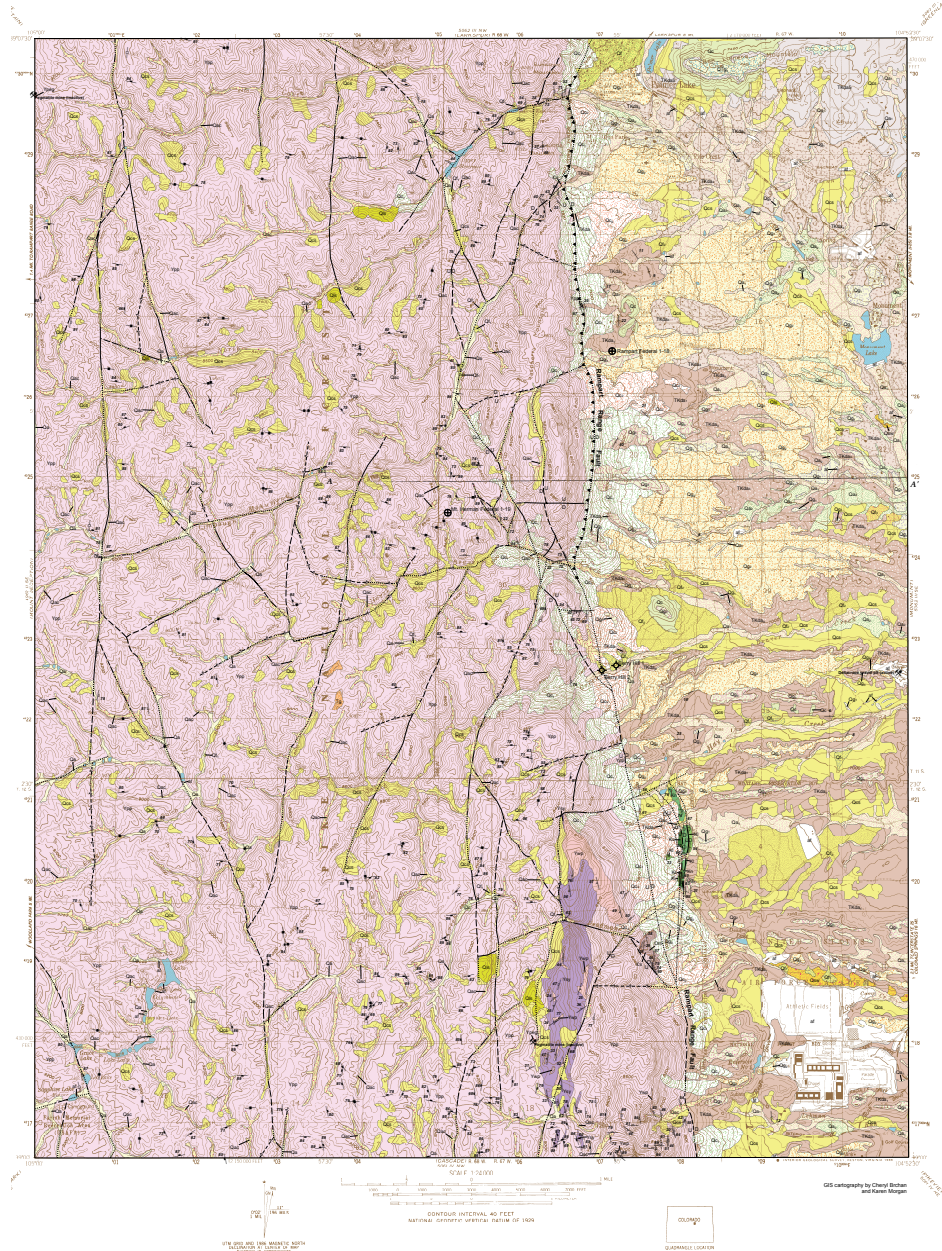
Based upon the findings of this report and the analysis of the data collected, it is the recommendation of the design professionals that the Town consider developing the Valley Crescent Site for the future combined Public Safety Facility. The Site has the required areas, agreeable topography, vehicular access, and all available utilities. It will involve the complexities of phasing the project, in order to construct a fire department building while allowing the existing building to continue operating, but this would not be prohibitive. The Valley Crescent Site is in the center of town and proximate to all of the existing Town functions, which is favorable. The factors in favor of this site outweigh other possibilities considered.

Appendix A

Geologic Map of the Palmer Lake Quadrangle

COLORADO GEOLOGICAL SURVEY
DEPARTMENT OF NATURAL RESOURCES
DENVER, COLORADO

OPEN-FILE 06-6
GEOLOGIC MAP OF THE PALMER LAKE QUADRANGLE
EL PASO COUNTY, COLORADO
Plate 1 of 2
Booklet accompanies map



- LIST OF MAP UNITS**
The complete description of map units and references are in the accompanying booklet.
- SURFICIAL DEPOSITS**
- HUMAN-MADE DEPOSITS**
- Artificial fill (late Holocene)
- ALLUVIAL DEPOSITS**
- Stream-channel, flood-plain, and terrace alluvium, undivided (Holocene and late Pleistocene)
 - Alluvium one (late to early Holocene)
 - Alluvium two (late Pleistocene)
 - Stream alluvium and colluvium, undivided (Holocene to late Pleistocene)
 - Sheetwash alluvium (Holocene and late Pleistocene)
 - Alluvial fan deposit one (late Holocene)
 - Alluvial fan deposit two (early Holocene to late Pleistocene)
 - Alluvial fan deposit three (late Pleistocene)
 - Alluvial fan deposit (Holocene to late Pleistocene)
 - Gravel deposit one (middle Pleistocene)
 - Gravel deposit two (early middle Pleistocene)
 - Gravel deposit three (early Pleistocene)
 - Gravel deposit four (early Pleistocene or late Eocene?)
 - Gravel (late Tertiary)
- MASS-WASTING DEPOSITS**
- Colluvium and sheetwash alluvium deposits, undivided (Holocene and late Pleistocene)
 - Colluvium deposit one (Holocene to late Pleistocene)
 - Colluvium deposit two (middle to late Pleistocene)
 - Colluvium deposit, undivided (Holocene to late Pleistocene)
 - Landslide deposits (Holocene to late Tertiary)
- BEDROCK**
- TERTIARY AND UPPER CRETACEOUS CONTINENTAL SEDIMENTARY ROCKS**
- Dawson Formation, undivided (Upper Cretaceous to middle? Eocene)—Shown only on cross sections
 - Dawson Formation, facies with five (early to middle? Eocene)
 - Dawson Formation, facies with four (Paleocene)
 - Dawson Formation, facies with three (Holocene)
 - Dawson Formation, facies with one (Upper Cretaceous to Paleocene)
- MESOZOIC SEDIMENTARY ROCKS**
- Laramie Formation (Upper Cretaceous)
 - Fox Hills Sandstone (Upper Cretaceous)—Shown only on cross sections
 - Pierre Shale (Upper Cretaceous)—Shown only on cross sections
 - Niswara Formation (Upper Cretaceous)
 - Cattle Shale, including Coddell Sandstone Member (Upper Cretaceous)
 - Graneros Shale, Greenhorn Limestone, and Cattle Shale, undivided (Upper Cretaceous)—Shown only on cross sections
 - Dakota Sandstone and Purgatoire Formation (Lower Cretaceous)—Shown only on cross sections
 - Morrison Formation and Rabbit Creek Formation (Upper Jurassic)—Shown only on cross sections
- PALEOZOIC AND LATEST MESOZOIC SEDIMENTARY ROCKS**
- Lower Triassic?, Permian, and Pennsylvanian rocks, undivided—Shown only on cross sections
 - Manitou Limestone (Lower Ordovician)
 - Sawatch Sandstone (Upper Cambrian)
- MESOPROTEROZOIC IGNEOUS ROCKS OF THE PIKES PEAK BATHOLITH**
- Pegmatite (Mesoproterozoic)
 - Windy Point Granite (Mesoproterozoic)
 - Syncline (Mesoproterozoic)
 - Pikes Peak Granite (Mesoproterozoic)
- SYMBOLS**
- Contact—Approximately located
 - High-angle fault—Dashed where approximately located, dotted where concealed; queried where inferred. If an upthrown side is on downthrown side, the indicates direction of dip; the number indicates field measurement of dip magnitude.
 - Thrust fault—Dotted where concealed. Barbed teeth are on overthrust block side of fault.
 - Strike and dip of bedding or contacts
 - Inclined—Showing direction and angle of dip
 - Overturned—Showing direction and angle of dip
 - Strike and dip of fractures
 - Inclined—Showing direction and angle of dip
 - Vertical
 - Strike and dip of joints
 - Inclined—Showing direction and angle of dip
 - Vertical
 - Primary igneous foliation—Showing direction and angle of dip
 - Shear fracture with slickenside lineation—Showing direction and angle of dip, and trend and plunge of lineation
 - Mine or gravel pit
 - Proposed oil and gas test well
 - Existing oil and gas exploratory well (abandoned)
 - Water
 - Line of cross section

GEOLOGIC MAP OF THE PALMER LAKE QUADRANGLE, EL PASO COUNTY, COLORADO

By John W. Keller, Matthew L. Morgan, Jon P. Thorson, Neil R. Lindsay, and Peter E. Barkmann
2007



Appendix B

Enlarged Legend for Colorado Geological Map Palmer Lake Quadrangle

SURFICIAL DEPOSITS

HUMAN-MADE DEPOSITS

af Artificial fill (latest Holocene)

ALLUVIAL DEPOSITS

Qa Stream-channel, flood-plain, and terrace alluvium, undivided (Holocene and late Pleistocene)

Qa₁ Alluvium one (late to early Holocene)

Qa₂ Alluvium two (late Pleistocene)

Qac Stream alluvium and colluvium, undivided (Holocene to late Pleistocene)

Qsw Sheetwash alluvium (Holocene and late Pleistocene)

Qf₁ Alluvial fan deposit one (late Holocene)

Qf₂ Alluvial fan deposit two (early Holocene to late Pleistocene)

Qf₃ Alluvial fan deposit three (late Pleistocene)

Qf Alluvial fan deposit (Holocene to late Pleistocene)

Qg₁ Gravel deposit one (middle Pleistocene)

Qg₂ Gravel deposit two (early middle Pleistocene)

Qg₃ Gravel deposit three (early Pleistocene)

QTg₁ Gravel deposit four (early Pleistocene or late Eocene?)

Tg Gravel (late Tertiary)

MASS-WASTING DEPOSITS

Qcs Colluvium and sheetwash alluvium deposits, undivided (Holocene and late Pleistocene)

Qc₁ Colluvium deposit one (Holocene to late Pleistocene)

Qc₂ Colluvium deposit two (middle to late Pleistocene)

Qc Colluvium deposits, undivided (Holocene to late Pleistocene)

Qls Landslide deposits (Holocene to late Tertiary)

BEDROCK

TERTIARY AND UPPER CRETACEOUS CONTINENTAL SEDEMENTARY ROCKS

TKda Dawson Formation, undivided (Upper Cretaceous to middle? Eocene)—Shown only on cross sections

TKda₅ Dawson Formation, facies unit five (early to middle? Eocene)

TKda₄ Dawson Formation, facies unit four (Paleocene)

TKda₃ Dawson Formation, facies unit three (Paleocene)

TKda₁ Dawson Formation, facies unit one (Upper Cretaceous to Paleocene)

Legend for Geologic Map of Palmer Lake Sites:

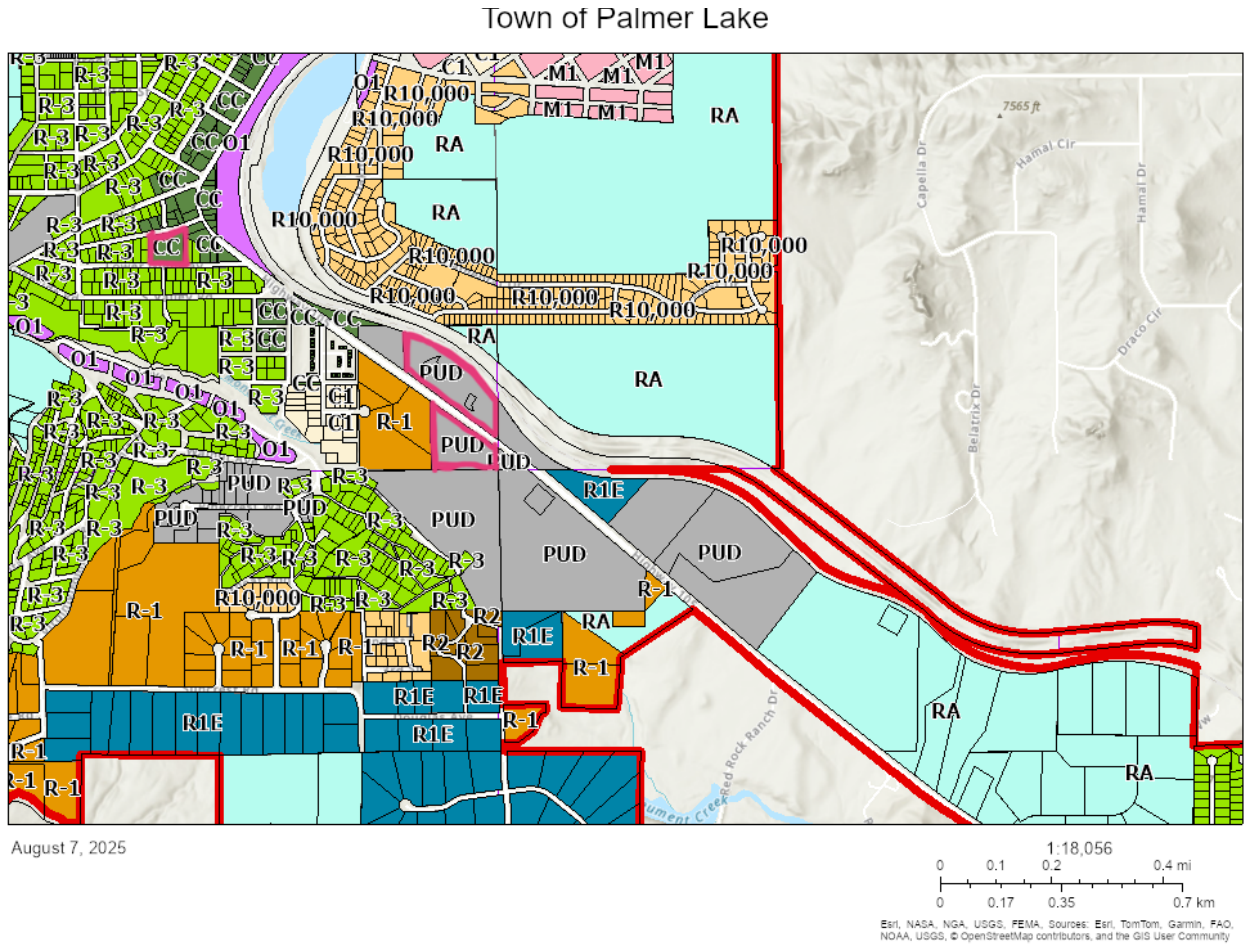
Orange - Santa Fe Ridge

Red - Elephant Rock

Blue - Valley Crescent

Appendix C

Zoning Designations for the Town of Palmer Lake



Zoning Map for Town of Palmer Lake

Appendix D

Basic Programming and Areas for the Public Safety Facility

Palmer Lake Feasibility Study - Programming Questions and Areas

Police Department:

- 1) Private offices, 3 total. Roughly 10ft x 12ft each, total **360** sq ft.
 - 2) Patrol Room Cubicle area for 6 cubicles, approximately 6ft x 6ft each, total **216** sq ft.
 - 3) Interview room: approx. 10ft x 10ft, **100** sq ft
 - 4) Secure records room: approx 8ft x 10 ft, **80** sq ft
 - 5) Secure Storage: *Evidence, Personnell files*: 10ft x 10ft, **100** sq.ft.
 - 6) Sally Port (exterior) for 1 vehicle, oversized garage 20ft x 40ft with included secure chain link storage of confiscated materials approx 10ft x 10ft. Total **800** sq ft.
 - 7) ADA restrooms (men's & women's) approximately 50 sq ft ea, total **100** sq.ft.
 - 8) Break room: 14ft x 14ft, **200** sq ft.
 - 9) General circulation and accessory spaces: 25% of total sq.ft. **490** sq.ft.
- Approximate Required Area for Police Department: ~2,450 sq.ft.*

Potential Shared Facilities / Spaces:

- a) Lobby: Space for an Admin reception desk, waiting area, sm conf., total **250** sq.ft.
 - b) Mechanical, Utility room, IT Closet: **200** sq.ft.
 - c) Locker Room w/ changing cubicles: (12 staff?) **360** sq.ft.
 - d) Conference / Training Room(s) 16ft x 24ft, **384** sq.ft.
 - e) Public Restrooms for Men & Women 50 sq.ft. ea, total **100** sq.ft.
 - f) Gym (Weights, Functional Training, Cardio) 20ft x 18ft, **360** sq.ft.
 - g) General circulation and accessory spaces: 25% of total square.ft. **415** sq.ft.
- Approximate Area for Shared Spaces: ~2070 sq.ft.*

Fire Department:

- 1) Garage for vehicles: ~**4,800** sq.ft. (estimate 45ft deep x 106 ft long)
 - a) Engine 1 (2011): 29.7ft (l) x 9ft (w) x 9.5ft (h)
 - b) Engine 2 (2015): 29.3ft (l) x 9ft (w) x 9.5ft (h)
 - c) Brush Truck 1: 22.5' (l) x 11ft (w) x 6.7ft (h)
 - d) Brush Truck 2: 22.5' (l) x 11ft (w) x 6.7ft (h)
 - e) Dodge Ram 2500
 - f) Dodge Ram 2500
 - g) (2) Razor (Side-by-side ATV) 9ft (l) x 7ft (w)
 - h) (2) 4-wheeler ATVs
 - 2) Bunker Gear Storage (adjacent to vehicle garage) 24ft x 10ft, total **240** sq.ft.
 - 3) Bunk Rooms Men & Women (6 occ) **600-800** sq.ft.
 - 4) Bathrooms for Men & Women 80 sq.ft. ea, provide 4, total **320** sq.ft.
 - 5) De-con Room (Laundry): 10ft x 12ft, **120** sq.ft.
 - 6) General Laundry: 10ft x 12ft, **120** sq.ft.
 - 7) Private Offices, 4 total. 10ft x 12ft, 120 sq.ft. ea, total **480** sq.ft.
 - 8) General Gear/equipment storage: (current 160 sq.ft.) 16x20, total **320** sq.ft.
 - 9) Lounge 16ft x 20ft, **320** sq.ft.
 - 10) Kitchen/Dining: 12ft x 14ft, **168** sq.ft.
 - 11) Outdoor patio and grill area: **200** sq.ft.
 - 12) General Circulation and accessory spaces: 25% of total square.ft.
- Approximate Required Area for Fire Department, (not including garage): ~3,860 sq.ft.*

Grand Total Approximate Building Area: ~13,200 sq.ft.

Appendix E

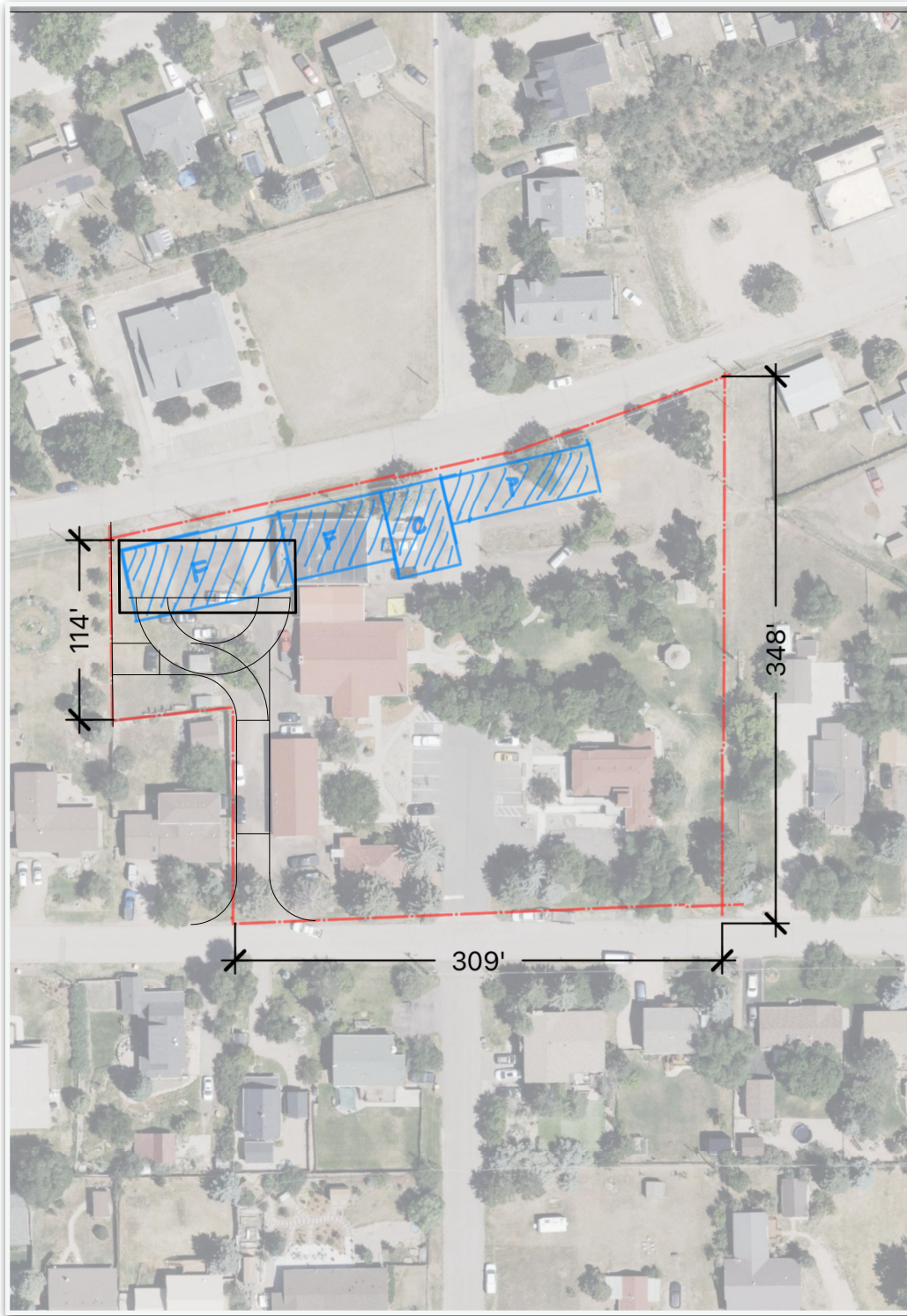
Preliminary Cost Estimate for the Public Safety Facility on Three Potential Sites

	Palmer Lake Public Safety Building			
	Elephant Rock	Valley Crescent	Santa Fe Ridge	Comments
02- EXISTING CONDITIONS	\$17,000.00	\$56,000.00	\$18,000.00	Building Demo
03- SUBSTRUCTURE	\$423,000.00	\$428,000.00	\$420,000.00	
04- MASONRY	\$22,000.00	\$22,000.00	\$22,000.00	
05- METALS	\$4,600.00	\$4,600.00	\$4,600.00	
06- WOOD & PLASTICS	\$79,000.00	\$79,000.00	\$79,000.00	
07- THERMAL & MOISTURE	\$67,000.00	\$67,000.00	\$67,000.00	
08- OPENINGS	\$187,000.00	\$187,000.00	\$187,000.00	
09- FINISHES	\$602,000.00	\$622,000.00	\$602,000.00	
10-SPECIALTIES	\$37,000.00	\$37,000.00	\$37,000.00	
11-EQUIPMENT	\$30,000.00	\$30,000.00	\$30,000.00	
12-FURNISHINGS	-	-	-	
13-SPECIAL CONSTRUCTION	\$445,000.00	\$518,000.00	\$445,000.00	
21-FIRE SUPPRESSION	\$53,000.00	\$53,000.00	\$53,000.00	
22-PLUMBING	\$188,000.00	\$188,000.00	\$188,000.00	
23-HEATING VENT./AIRCON	\$330,000.00	\$330,000.00	\$330,000.00	
26- ELECTRICAL	\$251,000.00	\$251,000.00	\$251,000.00	
27-COMMUNICATIONS	\$24,000.00	\$24,000.00	\$24,000.00	
31-EARTHWORK	\$428,000.00	\$205,000.00	\$270,000.00	Vacant land vs developed
32-EXTERIOR SITE IMPROV	\$524,000.00	\$296,000.00	\$524,000.00	Vacant land vs developed
32-UTILITIES	\$411,000.00	\$185,000.00	\$278,000.00	Vacant land vs developed
00-MISC	\$37,000.00	\$33,000.00	\$37,000.00	
TOTAL CSI DIVISIONS	\$4,159,600.00	\$3,615,600.00	\$3,866,600.00	
GENERAL CONDITIONS	\$525,000.00	\$668,000.00	\$500,000.00	
HWY 105 REWORK ALLOWANCE CDOT	\$500,000.00	-	\$500,000.00	Located on Hwy 105
CONTINGENCY 8%	\$317,000.00	\$361,000.00	\$305,000.00	
FEES 5%	\$198,000.00	\$217,000.00	\$190,000.00	
GRAND TOTAL	\$5,699,600.00	\$4,861,600.00	\$5,361,600.00	

Simplified Contractor Estimate for overall construction

Appendix F-1

Fire Truck Turning Radii for 3 potential Sites



Valley Crescent Site Diagram with Fire Equipment Turning Radii

Appendix F-2



Elephant Rock Site Diagram with Fire Equipment Turning Radii

Appendix F-3



Santa Fe Ridge Site Diagram with Fire Equipment Turning Radii

PALMER LAKE FEASIBILITY STUDY

for development of a Public Safety Facility

Prepared by:



Architvity
Ron Conder & Ryan Koeniger

TABLE OF CONTENTS

1.0 - INTRODUCTION

2.0 - SANTA FE RIDGE, TRACT A

- 2.1 - Site Analysis
- 2.2 - Vehicular Access
- 2.3 - Traffic Impact Analysis
- 2.4 - Undeveloped Land Analysis
- 2.5 - Utility Service Availability
- 2.6 - Site Security
- 2.7 - Planning, Zoning, and Code
- 2.8 - Cost Analysis

3.0 - ELEPHANT ROCK

- 3.1 - Site Analysis
- 3.2 - Vehicular Access
- 3.3 - Traffic Impact Analysis
- 3.4 - Undeveloped Land Analysis
- 3.5 - Utility Service Availability
- 3.6 - Site Security
- 3.7 - Planning, Zoning, and Code
- 3.8 - Cost Analysis

4.0 - VALLEY CRESCENT (TOWN)

- 4.1 - Site Analysis
- 4.2 - Vehicular Access
- 4.3 - Traffic Impact Analysis
- 4.4 - Undeveloped Land Analysis
- 4.5 - Utility Service Availability
- 4.6 - Site Security
- 4.7 - Planning, Zoning, and Code
- 4.8 - Cost Analysis

5.0 - SITE COMPARISON MATRIX

6.0 CONCLUSION

Appendix A - Colorado Geological Survey Palmer Lake Quadrangle - Complete Map

Appendix B - Enlarged Legend for Colorado Geological Survey Map

Appendix C - Zoning Map for Town of Palmer Lake

Appendix D - Programming for Public Safety Facility - *(initial for study purposes only)*

Appendix E - Cost Estimate for Three Sites

Appendix F - Site Diagrams for Fire Equipment Turning Radii

1.0 INTRODUCTION

The Town of Palmer Lake has requested a Feasibility Study for a future Public Safety Facility for the Fire and Police Departments. The Feasibility Study looks at three potential sites within the Town of Palmer Lake, two of which are owned by the Town and one which would need to be purchased. The objective of the Feasibility Study is to document the physical features and various data, and determine the potential for each site to meet the requirements for a future building.

The following report documents each site individually under separate sections considering environmental characteristics, vehicular and traffic analysis, development and improvement factors, and big picture costs. The three sites under consideration are named as follows for reference within the report:

2.0 Santa Fe Ridge, Tract A - *represented in yellow*

3.0 Elephant Rock - *represented in red*

4.0 Valley Crescent (Town) - *represented in blue*

[refer to diagram 1A for a reference map]

Section 5.0 provides a Site Comparison Matrix to compare the three sites across each of the study areas.

Section 6.0 Conclusion provides a professional recommendation of which Site may be best suited to the Town's needs, based upon the findings of the research and data analysis.



Diagram 1A: Overall Map of Palmer Lake and potential Sites

2.0 SANTA FE RIDGE

2.1 Site Analysis:

- Physical properties - topography, orientation, geology, existing vegetation, existing structures or man-made features, environmental.
 - General: The Santa Fe Ridge Site is part of a 13 acre commercial property with multiple Lots, two of which are developed with existing buildings, parking and landscaping. The Lot under consideration is Tract A [*refer to diagram 2A*] which is located on the south side of the existing paved access road between the two existing buildings on Lots 4 and 6. Tract A is reported to have a site area of approximately 59,678 sq.ft. The Site is below the level of the existing access road and the land drops significantly toward the south to act as the drainage detention area for the combined properties within the development. Research into the



Diagram 2A: Santa Fe Ridge Development Plan Diagram

Santa Fe Ridge development with the land owner, Mr. James Fitzgerald, indicate that Tract A is intended to be the drainage detention basin for the overall development and was not intended to be used for a building site. There are other Lots within the Santa Fe Ridge development that are intended for buildings. The use of Tract A for the Town’s proposed purposes is not feasible. While it is not within the scope of this report to propose other possible Sites for the Town’s

needs for a Public Safety Facility, there are other possible Lots within the Santa Fe Ridge development that could be considered for a building site, such as the combined Lots 2 & 3 or possibly Lot 5. Further study of those lots would be required, but information below may still apply.

- Environmental: Prevailing Winds are from the north, northwest, Solar Exposure is to the south and east along the length of the site, and it sits below or level the existing adjacent properties with no potential for shading from existing structures on adjacent lots. Drainage and Erosion control is an issue with this Lot, because it was designed to receive the drainage from adjacent properties, as described above. It is our assessment that Tract A is the detention basin for the adjoining lots. The catchment area to the north and west is higher in elevation and it could be expected that surface drainage will shed onto the property from adjacent land to the northwest. The site is visible from Hwy 105 and potential future building(s) would be visible to passers-by. Due to local environmental conditions where the north-side of buildings and north-facing driveways and parking areas are subject to significant seasonal snow and ice build-up, it will be strongly recommended to have the driveways and parking areas on the south-side of any buildings. [Refer to diagram 2]
- Topography [refer to diagram 2B] on Tract A is sharply sloping from the north to the south, and then generally flat with a defined lower depression for drainage catchment. There are drainage swales and rip-rap entering from the north, west, and east sides which direct water from adjacent Lots within the development.

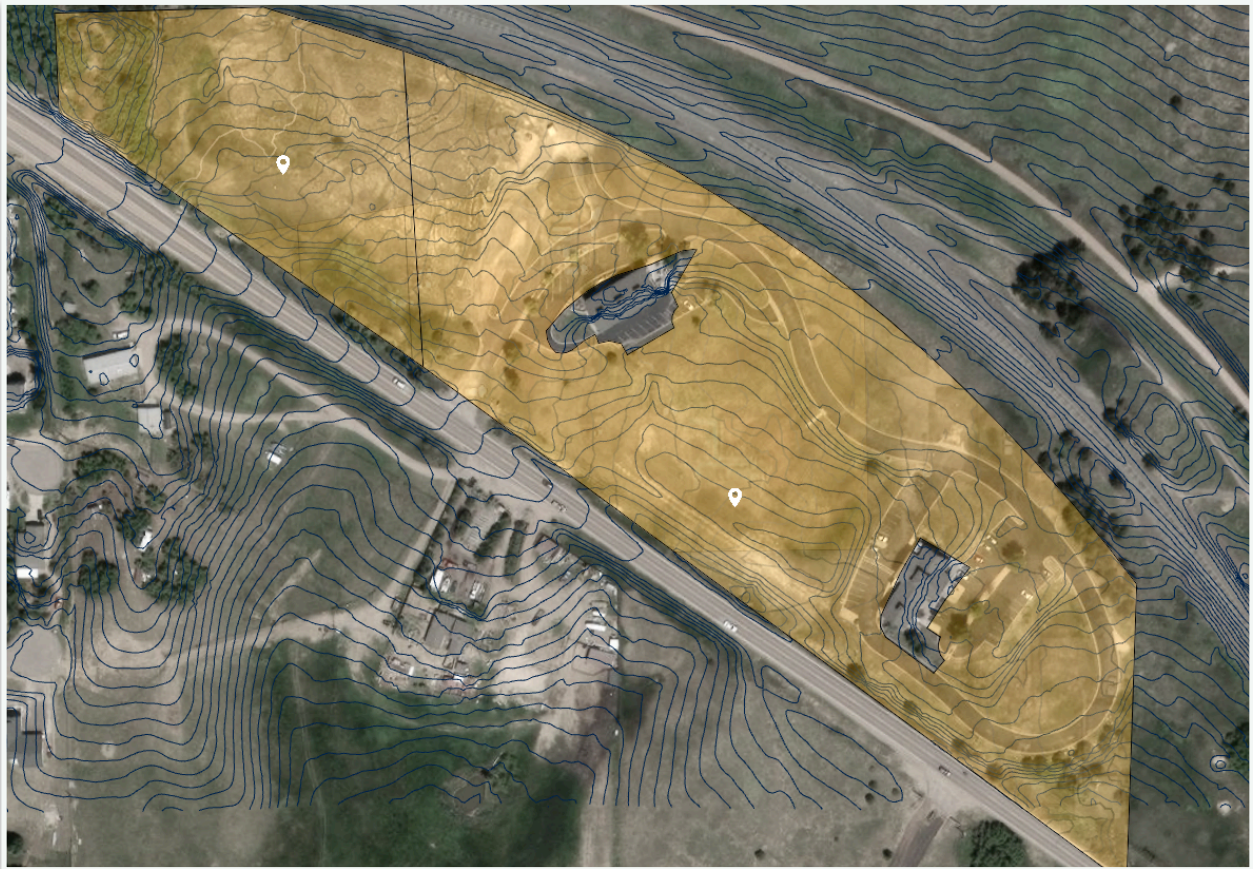


Diagram 2B: Santa Fe Ridge Topography

- Orientation: Tract A is oriented with its breadth spanning northwest-southeast, in line with existing contours. It is bordered on the south by the Highway 105 berm and the access road, Santa Fe Ridge, to the north.
- Geology: Data reviewed from the Colorado Geological Survey Map for the Palmer Lake Quadrangle indicates the Santa Fe Ridge Site is located within a geological area that may not be generally suitable for building construction without a geotechnical investigation and report provided by a geotechnical engineer. The engineer will determine requirements for foundations, which may include over excavation, soil amendment and/or deeper foundations. This would likely apply to any Lot within the Santa Fe Ridge development. Geology found within the limits of the Santa Fe Ridge location: TKda₄, Qcs, Qa₁ [Refer to diagram 2C and Overall Map and Legend found in Appendix A & B].

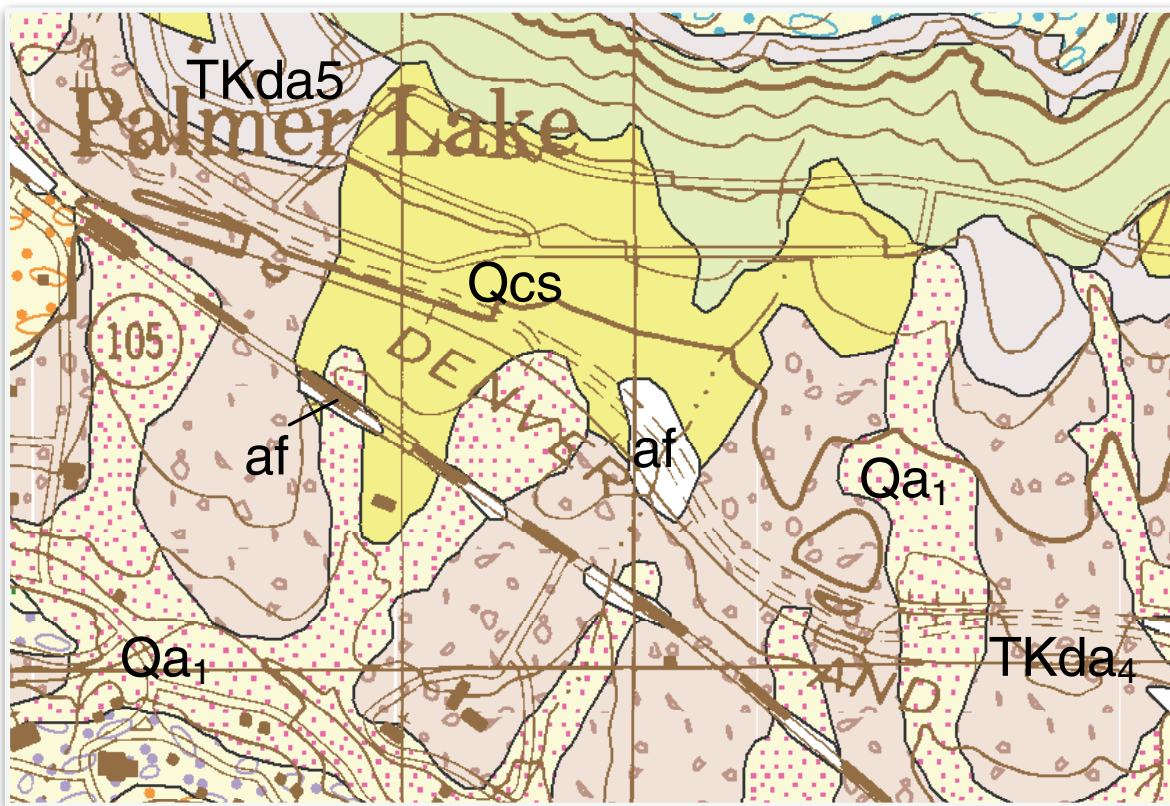


Diagram 2C: portion of Colorado Geological Survey Map - Palmer Lake - SantaFe Ridge Site

- Vegetation: Natural grasses, no trees, no boulders within Tract A.
- Existing structures or human-made features: Existing road and curb & gutter to the north, existing drainage swales and rip-rap at drainage points into Tract A. No existing structures.
- Potential Noise disruption: The site is located within a business development with two existing buildings having businesses with normal day-time operating hours. The Site is located outside of the Downtown zone, in a lower-density area. It is adjacent to Highway 105 with its ambient noise, and limited residential uses adjacent (across the highway to the south). The existing railroad grade is

immediately adjacent to the north of the Santa Fe Ridge development, and has daily trains passing by, creating noise. Noise disruption caused by activity on the site that may affect adjacent properties is not a significant factor with this Site.

2.2 Vehicular access: emergency services and general use to the site and within the site:

- Existing Emergency Service Vehicles in-use by the Town of Palmer Lake:
 - Engine (2011) Height 9.5ft Length 29.7ft, Turning Radii:
 - Curb-to-curb: 40 feet, 11 inches
 - Wall-to-wall: 47 feet, 0 inches
 - Inside Turn: 25 feet, 1 inch
 - Engine (2015) Height 9.5ft Length 29.3ft, Turning Radii:
 - Curb-to-curb: 39 feet, 9 inches
 - Wall-to-wall: 46 feet, 0 inches
 - Inside Turn: 25 feet
 - Two full-sized half-ton pickup trucks: Dodge Ram 2500
 - Two Brush trucks used for wildland firefighting
 - Two side-by-sides and Two ATV utility vehicles
- There is no direct road access to Tract A. Vehicular access to Tract A was not intended in the development plan for the Santa Fe Ridge development.
- Existing Adjacent Street Capacity: Tract A is adjacent to State Highway 105, a 2-lane state highway. The access point to the overall Development for Santa Fe Ridge is limited to the existing driveway at Santa Fe Ridge, located to the northwest of the existing Red Barn building at 300 General Palmer Dr. The access point is broken-down asphalt or road-base with no curb & gutter until a few hundred feet into the site. General Palmer Dr and Santa Fe Ridge are the internal access roads, and are paved with curb & gutter, though it stops for Lots 1,2,3 and 10 to the northwest. The street capacity of Santa Fe Ridge is an internal access road for two-way traffic with one lane in each direction, no shoulder or striping.
- The angle of approach into Tract A from Santa Fe Ridge does not apply as this site is not able to be developed for a building.
- Parking Requirements for the Public Safety building should include spaces for town employee's (Fire and Police) personal vehicles as well as limited public parking. The proposed use would require 1 space for each 300 sq ft of floor area according to Palmer Lake Zoning Ordinance 17.84.020 for off street parking. Based upon the preliminary building requirements for an estimated area of 9,200 sq.ft. of building (not including vehicle garages), the proposed Public Safety building could require as many as 30 spaces for employees and general public. The parking area for vehicles is estimated to require at least 15,000 sq.ft. Other potential Lots within the Santa Fe Ridge Development would need to take this into consideration.

2.3 Traffic Impact Analysis:

- Emergency service vehicles running calls from Lots within the Santa Fe Ridge development (not Tract A) would be required to exit their specific Lot, navigate the narrower access road (Santa Fe Ridge or General Palmer Dr.) before entering onto State Highway 105. It should be expected that an emergency signal would need to be added at the intersection of Santa Fe Ridge where it meets the State Highway.
- Traffic on Highway 105 would be impacted when emergency vehicles are deployed and need to enter the Highway turning right or left. Morning and

evening commuter traffic may experience some congestion if the emergency signal is activated and Highway traffic is stopped to allow emergency vehicles to enter the Highway.

- Based on the existing grade and width of Highway 105 at this location, it is questionable whether any widening of the road would be allowed or possible to create a turn lane or acceleration lane.
- It is not expected that any significant adjustment would be allowed to Highway 105 at the access point at General Palmer Dr. based upon input from Town Staff.

2.4 Undeveloped Land Analysis:

- Development Considerations for Santa Fe Ridge Site:
 - Some existing infrastructure, including streets and utilities are existing to the development and would only need to be extended to a new building on a potential developable Lot. Tract A is not a site that can be developed.
 - Site grading does not apply to Tract A, as it is a detention basin.
 - The existing development drainage structures, including swales, rip-rap, detention basins, and culverts within Tract A need to remain in order to control drainage on adjacent Lots.
 - Available lots within the Santa Fe Ridge development will require complete architectural and civil engineering site planning and will require direct communication with the land owner for approval of any building design.
- Financial implications to begin and maintain ongoing use of any developable lot within the Santa Fe Ridge development would require the purchase of land, with terms to be negotiated with the current land owner. There are development HOA fees that would also be required for internal road maintenance, trash and snow removal.

2.5 Utility Service Availability: *options for all public utilities such as water, sewer, electric, gas, fiber optic, etc., and anticipated public safety communications*

- Availability of Public Utilities:
 - Water service is provided to the Santa Fe Ridge development by an 8-inch PVC line that runs in a loop along the southern boundary parallel to Highway 105. There are two fire hydrants, located at the west and east end of Tract A and multiple other hydrants within the overall development. [refer to Diagram 2.5a]

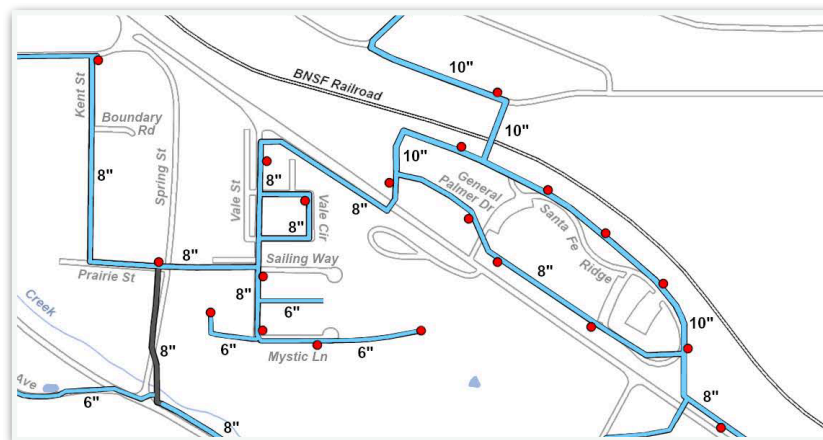


Diagram 2.5a: Water Service Lines - Santa Fe Ridge

- The existing wastewater (sewer) line is an 8-inch diameter pipe, running along the southern Tract A property line, parallel to Highway 105, with a manhole roughly in the center. [refer to Diagram 2.5b]

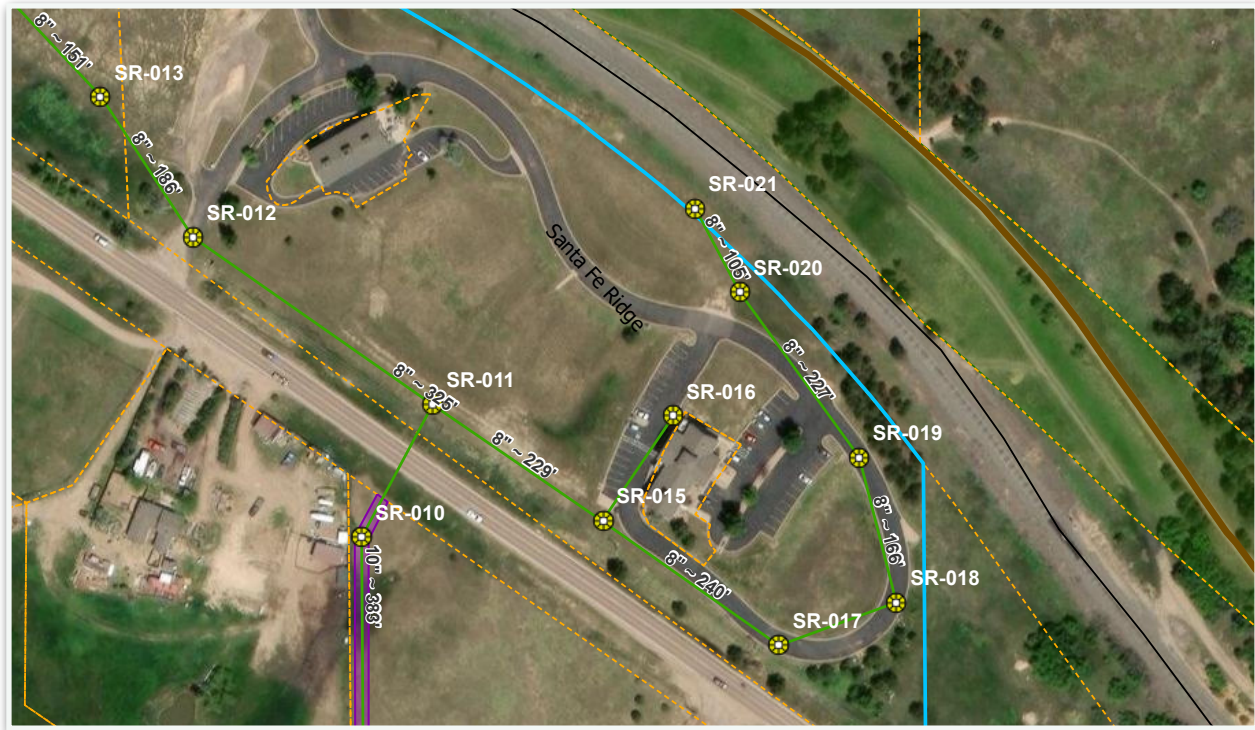


Diagram 2.5b: Wastewater Service Lines - Santa Fe Ridge

- Electrical service is provided by Core, and is supplied by underground 3-phase power that comes from overhead lines along Highway 105 on the south and enters the site near the building at 610 Santa Fe Ridge.
- Gas service is provided by Black Hills Energy and is supplied to the site by a 3" gas service line on the northwest portion of the overall development, with an internal service line to the lots.
- Internet service in Palmer Lake is provided by cable, satellite, and fiber through local providers such as Xfinity, Viasat, CenturyLink, and Force Broadband.
- For all utilities, the service lines to the new buildings would need to be extended from their current locations. All utility needs appear to be readily available for Lots within Santa Fe Ridge.

2.6 Site security: equipment and facility protection against vandalism and acts of violence

- Safety and security for the Santa Fe Ridge Site could potentially be impacted by its more rural location outside of town and along the Highway. It is possible that the new building would be oriented to face south for the benefit of the sun exposure in winter months, and therefore the driveway, access points and garages would be visible from the Highway. The security of the site should be maintained as it will generally be occupied around the clock. The overall development is planned for business uses that currently have occupancy during the day. The police station portion of the future building will be equipped with controlled access devices to prevent unauthorized access.

2.7 Planning, zoning and code implications for each site

- The Santa Fe Ridge Site has a PUD Zoning designation and fronts Highway 105. Zoning regulations for the Town of Palmer Lake require a setback of 200ft from State Highway 105. The setback requirement will have significant impact based on the location of a potential Lot within the Santa Fe Ridge development. Tract A does not apply.

2.8 Site improvement cost estimates

- Development of a site within the Santa Fe Ridge location will require Site Grading and drainage plans and earth work, Utility connections and tap fees, excavation for new building foundations, paving for parking lots, sidewalks, curb and gutter, and coordination with CDOT to install an emergency signal at Highway 105 and General Palmer Dr.
- See Appendix E for a Preliminary Cost Estimate provided by a licensed contractor who considered each of the three potential Sites.

3.0 ELEPHANT ROCK

3.1 Site Analysis:

- Physical properties - *environmental, topography, orientation, geology, existing vegetation, existing structures or man-made features.*
 - General: The Elephant Rock Site is part of a larger 27 acre property on the south side of State Highway 105, made up of two parcels, one adjacent to State Highway 105 that is approximately 6 acres, and a larger 21 acre triangle of land to the south developed with existing buildings, parking and landscaping. The Lot under consideration is on the 6 acre parcel on the north [refer to diagram 3A]. The Site is immediately adjacent to the Highway and to an existing dirt access road, and more or less level with it. The western corner of the land drops significantly down from the highway toward the south and is unbuildable. There are natural rock formations which must be preserved and protected with any site development.



Diagram 3A: Elephant Rock Site

- Environmental:[Refer to diagram 2] Prevailing Winds are from the northwest, Solar Exposure is to the south and east along the length of the site, and it sits level with the existing adjacent properties with no potential for shading from existing structures on adjacent lots. Drainage and Erosion control is not an issue with most of this Site, based upon the topography described above. The existing slope in the northwest corner may need to be improved with construction of drainage infrastructure when adding impervious area from parking lots and buildings. The site is visible from Highway 105 and potential future building(s) would be visible to passers-by.
- Topography [refer to diagram 3B] The Elephant Rock site is gently sloping land that is highest at the north and sloping gradually toward the southwest. The north 1/3 of the 6 acre parcel has steep sloping land forming a drainage to the southwest. The buildable area may be limited to approximately 4 acres of the overall 6-acre parcel based on topography and setback requirements, see below.



Diagram 3B: Topography for Elephant Rock Site.

- Orientation: The Elephant Rock Site faces southwest, and any potential building would need to be oriented with it's breadth spanning southeast - northwest, in line with existing contours, roughly parallel to Highway 105 to the north. It is bordered on the north by State Highway 105 and a berm, a residential property to the west that is lower in elevation, the additional 21-acre parcel owned by the Town on the south, and a residential lot to the east.
- Geology: Data reviewed from the Colorado Geological Survey Map for the Palmer Lake Quadrangle indicates the Elephant Rock Site is located within a geological

area that may not be generally suitable for building construction without a geotechnical investigation and report provided by a geotechnical engineer. The engineer will determine requirements for foundations, which may include over excavation, soil amendment and/or deeper foundations. The site appears to be a mix of Alluvium and Dawson formation sedimentary rock. Geotechnical test borings will be required prior to building design. [Refer to *diagram 3C and Overall Map and Legend found in Appendix A & B*]

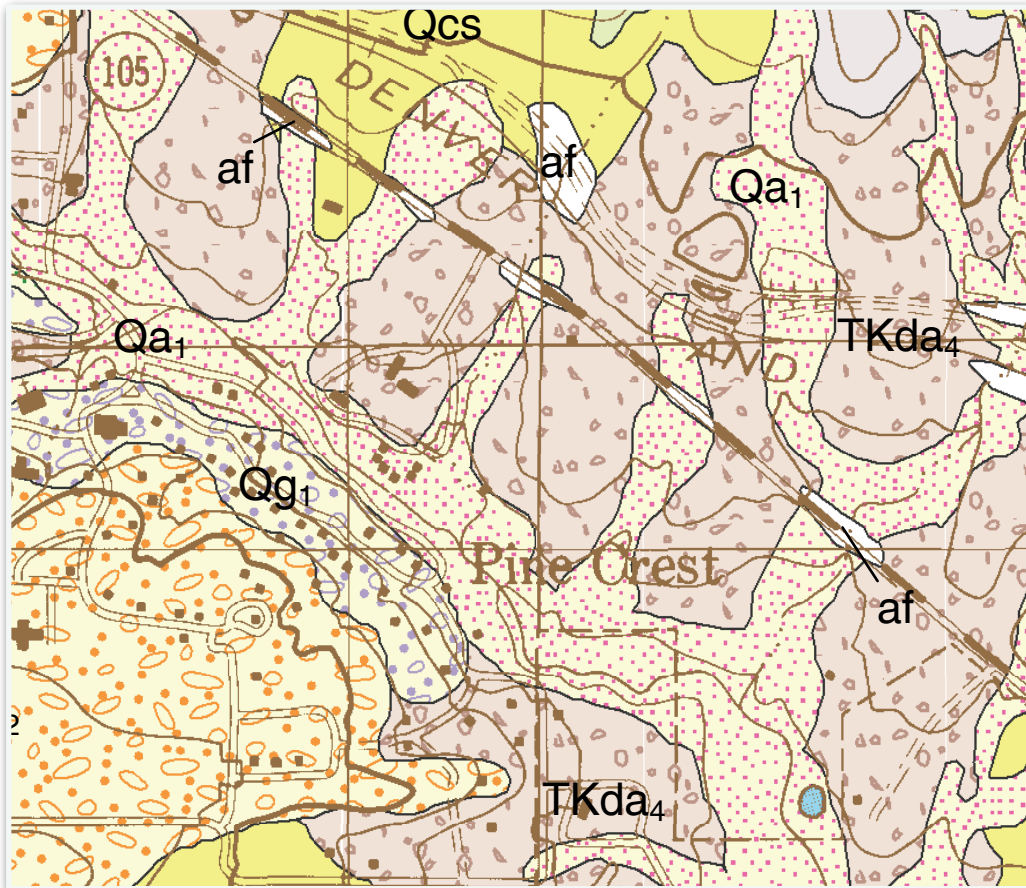


Diagram 3C - Portion of Colorado Geological Survey Map - Palmer Lake - Elephant Rock Site

- **Vegetation:** The site primarily has natural grasses, with a few coniferous trees near the dirt access road. More trees exist on the lower 21-acre parcel.
- **Existing structures or human-made features:** The Site on the ~6-acre parcel is currently undeveloped. The Site entry off of Highway 105 has a pair of gates with stone walls. The existing internal road is dirt with no curb & gutter. There are a number of existing buildings and man-made features on the lower ~21-acre parcel. There is a light pole at the entry point to the property off highway 105, and power poles adjacent to the entry along the dirt road toward the south.
- **Potential Noise disruption:** The Site is located in an area that is outside of town, in a less-densely populated area. It is adjacent to Highway 105 with it's ambient noise, and single-family residential uses on either side. Noise disruption into the Site should be expected from Highway 105 and the nearby railroad track to the north. Noise disruption from the Site is not a significant factor with this property, due the the rural nature of the adjacent properties.

3.2 Vehicular access: *emergency services and public access to and within the site:*

- Refer to section 2.2 for a list of existing vehicles used by the Town of Palmer Lake Fire Department.
- Existing Adjacent Street Capacity - Adjacent to Highway 105, a 2-lane state highway. The access point is from the north and is limited to the existing driveway located in roughly the center of the 6-acre parcel frontage to Highway 105. The road is currently dirt with no curb & gutter, there are two existing gates for entry/exit. The existing internal access road is nominally wide enough for one vehicle in each direction.
- The angle of approach into the Elephant Rock Site from the existing dirt road is flat enough to allow any vehicle to enter / exit with minimal grading required. It should be noted that improving the existing dirt road to be a paved access road with curb and gutter for heavy emergency vehicles and equipment is expected.
- The Elephant Rock site is approximately 6 acres and is deep enough in the north-south direction to allow for a building, driveways, and parking. The Fire Department's existing engines will require a turning radius of at least 41 feet. Given the potential required footprint for the Public Safety building with garage space at least 45 feet deep, and the required driveway and approach into the garages, sufficient space to turn and navigate the site appears to be sufficient.
- Parking Requirements for the public safety building should include spaces for town employee's (Fire and Police) personal vehicles as well as limited public parking. The Elephant Rock site would require 1 space for each 300 sq ft of floor area according to Palmer Lake Zoning Ordinance 17.84.020 for off street parking. Based upon the preliminary building requirements for an estimated area of 9,200 sq.ft. of building (not including vehicle garages), the proposed Public Safety building could require as many as 30 spaces for employees and general public. The parking area for vehicles is estimated to require at least 15,000 sq.ft. This site has sufficient area for parking.
- Public access to the Elephant Rock site would be possible from the existing Highway 105 entry point. Also, there would be sufficient space within this site to allow for the access for Fire and Police vehicles to be separated from Public access and parking areas. The remainder of the Site including the lower 21 acre parcel is planned for public use and the shared internal access road will have vehicles from the public using it.

3.3 Traffic Impact Analysis:

- Emergency service vehicles running calls from the Elephant Rock site would be required to exit the parking lot, navigate the common access road before entering onto State Highway 105. It should be expected that an emergency signal would need to be added at the intersection of the existing access road where it meets Highway 105.
- Traffic on Highway 105 would be impacted when emergency vehicles are deployed and need to enter the Highway turning right or left. Morning and evening commuter traffic may experience some congestion if the emergency signal is activated and Highway traffic is stopped to allow emergency vehicles to enter the Highway.
- Based on the existing grade and width of Highway 105 at this location, it is questionable whether any widening of the road would be allowed or possible to create a turn lane or acceleration lane.

- It is not expected that any significant adjustment would be allowed to Highway 105 at the access point at Elephant Rock based upon input from Town Staff and CDOT indications on other Highway related questions.

3.4 Undeveloped Land Analysis:

- Development Considerations for the Elephant Rock Site:
 - Some existing infrastructure, including a dirt road and utilities are existing to the Site. Utilities would only need to be extended to a new building on the 6-acre parcel.
 - There is a gas main / meter located a few hundred feet into the site on the west side of the dirt road that may need to be relocated, but could be done as part of extending the gas service to the new facility.
 - The dirt road would require improvement to a paved road with reinforced concrete aprons and curb and gutter at least around any public building and within the area of the driveway and garage for the emergency vehicles.
 - Minimal site grading would need to be done to allow access for vehicles, and to create a buildable area for the Public Safety building.
 - There are no existing drainage structures, swales, rip-rap, or detention basins on the 6-acre parcel. These may be necessary to allow for any site improvements.
 - The environmental impacts of adding impervious area with driveways, buildings, and parking lots required for the project would need to be studied by a Civil Engineer.
- Financial implications to begin and maintain ongoing use of the Elephant Rock Site on the 6-acre parcel would primarily include the development and construction costs for building a new facility. The land is owned by the Town of Palmer Lake and is zoned PUD which allows for the type of proposed development.

3.5 Utility Service Availability: options for all public utilities

- Availability of Public Utilities:
 - Water service is provided to the Elephant Rock Site by a 6-inch PVC line that runs south on the east side of the dirt access road down to

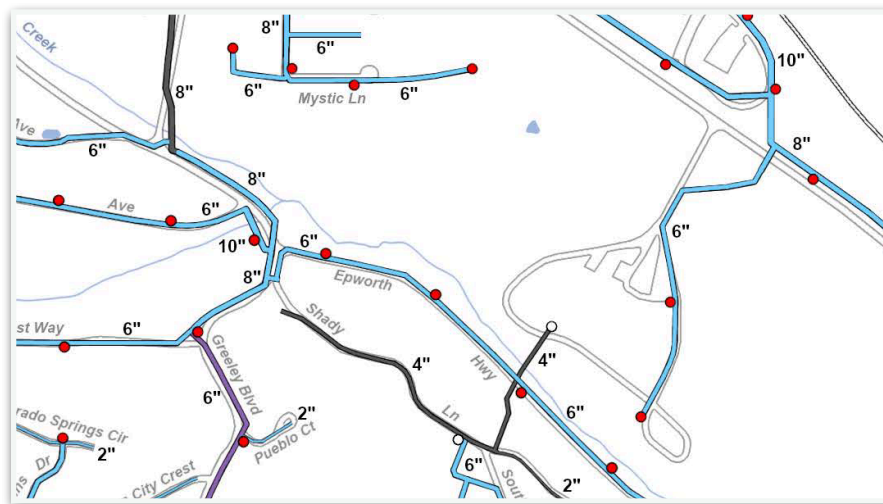


Diagram 3.5a - Water Service Lines - Elephant Rock

the remaining site. There are two fire hydrants, both located on the lower 21-acre parcel. A service line would need to be extended to the west for the new proposed facility. (Refer to Diagram 3.5a)



Diagram 3.5b - Wastewater Service Lines - Elephant Rock

- The existing wastewater (sewer) line is a 10-inch diameter pipe, and runs along the western property line toward the south. There are several manholes along the line through the site. There is no sewer line along the south side of Highway 105 at this location. (Refer to Diagram 3.5b)

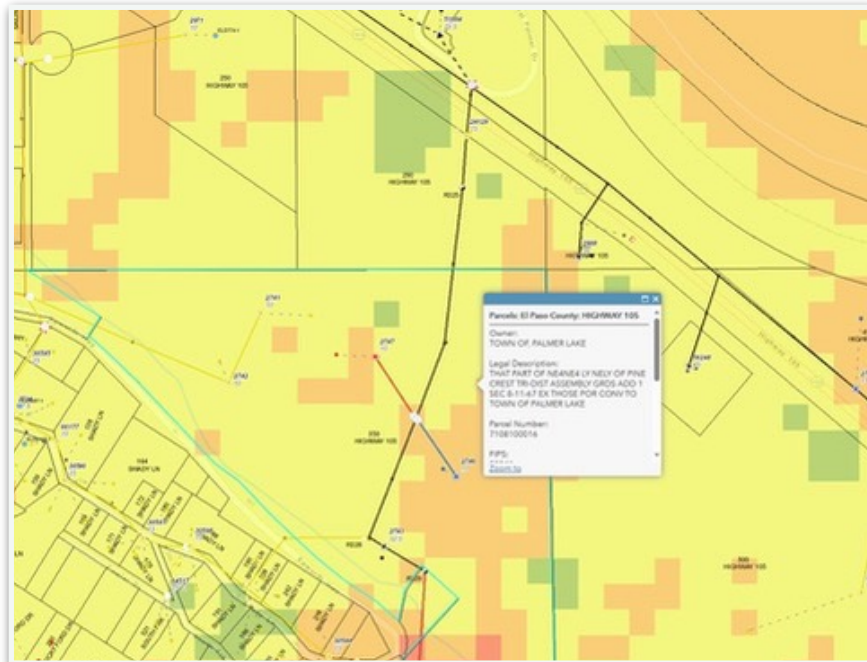


Diagram 3.5c: Electrical Service - Elephant Rock

- Electrical service is provided by Core, supplied by overhead power lines with 3-phase power from lines along Highway 105 to the north and enters the site near the dirt access road. Power poles run south through the site down to the lower buildings. There are some single-phase overhead lines on the lower 21-acre parcel connecting to existing buildings.
- Gas service is provided by Black Hills Energy and is supplied to the site by a 3" service line running parallel to Highway 105 and directly through the Site. There is a High-Pressure Gas Main also running parallel to the service line, which could have impact on any site development.
- Internet service in Palmer Lake is provided by cable, satellite, and fiber through local providers such as Xfinity, Viasat, CenturyLink, and Force Broadband.
- For all utilities, the service lines to the new buildings would need to be extended from their current locations. All utility needs appear to be readily available on the Elephant Rock Site.

3.6 Site security: *Equipment and facility protection against vandalism and acts of violence*

- Safety and security for the Elephant Rock Site could potentially be impacted by its more rural location outside of town and along the Highway. It is possible that the new building would be oriented to face south for the benefit of the sun exposure in winter months, and therefore the driveway, access points, and garages would not be easily visible from the Highway. However the security of the site should be maintained as it will generally be occupied around the clock. The vulnerability of the property may come with the fact that the remainder of the larger site (the lower 21-acre parcel) could be developed as public park and open space uses where the public has access. The police station portion of the future building will be equipped with controlled access devices to prevent unauthorized access.

3.7 Planning, zoning and code implications

- The Elephant Rock Site has a PUD Zoning designation which requires a setback of 200 feet from State Highway 105. This will limit the availability of land for the Public Safety building significantly. Due to local environmental conditions where the north-side of buildings and north-facing driveways, walkways, and parking areas are subject to significant seasonal snow and ice build-up, it will be strongly recommended to have the driveways and parking areas on the south-side of the building. These two factors (setback and environmental) may require that more available land be allocated to the Public Safety Building when considering the Elephant Rock Site.
- There is a permanent well easement on the Elephant Rock property on the east side of the dirt access road from Highway 105 on the northwest boundary. This does not have a direct impact on developing the land to the west of the access road.

3.8 Site improvement cost estimates

- Development of the Elephant Rock location will require site grading and drainage plans and limited earth work, utility connections and tap fees, excavation for new building foundations, paving for parking lots, new sidewalks, curb and gutter to access the new building, new site landscaping, and coordination with CDOT to install an emergency signal at Highway 105.
- See Appendix E for a Preliminary Cost Estimate provided by a licensed contractor who considered each of the three potential Sites.

4.0 VALLEY CRESCENT (TOWN)

4.1 Site Analysis:

- Physical properties - topography, orientation, geology, existing vegetation, existing structures or man-made features, environmental climate.
 - General: The Valley Crescent Site is located in the Town of Palmer Lake on Valley Crescent St between Middle Glenway St on the north and Lower Glenway St on the south. [refer to diagram 4A]. The Site includes the existing Town Hall, Town Administration offices, Police Department, Fire Department, Palmer Lake Historical Society, and a blank piece of land owned by the Fire Department Association. This Site is within the downtown area and has residential and some commercial uses surrounding it. The recommended location for the future Public Safety building would be the northern 1/3 of the Valley Crescent Site along Middle Glenway Street, including the Fire Association land on the west, the existing Fire Station building (to be demolished) in the middle, and possibly the dirt parking lot to the east.
 - Environmental:[Refer to diagram 2D] Prevailing Winds are from the northwest, Solar Exposure is to the south and east along the length of the site, and grade is level with the existing adjacent properties. Mature vegetation and trees will create some shading on driveways and access roads and walkways. There is little potential for shading from existing structures on adjacent lots. Drainage within



Diagram 4A: Valley Crescent Town Site

the site will need to be considered carefully, as neither of the adjacent roads have any curb & gutter and the drainage swales on the roadside are shallow and do not carry water effectively. The drainage around existing buildings may need to be improved when adding impervious area with parking lots and buildings with construction of new drainage infrastructure. Shade and shadow from existing structures leads to significant snow and ice build-up during winter months and is a factor for design consideration. The site is several blocks from Highway 105 and would be accessed similarly to the way it is done currently.

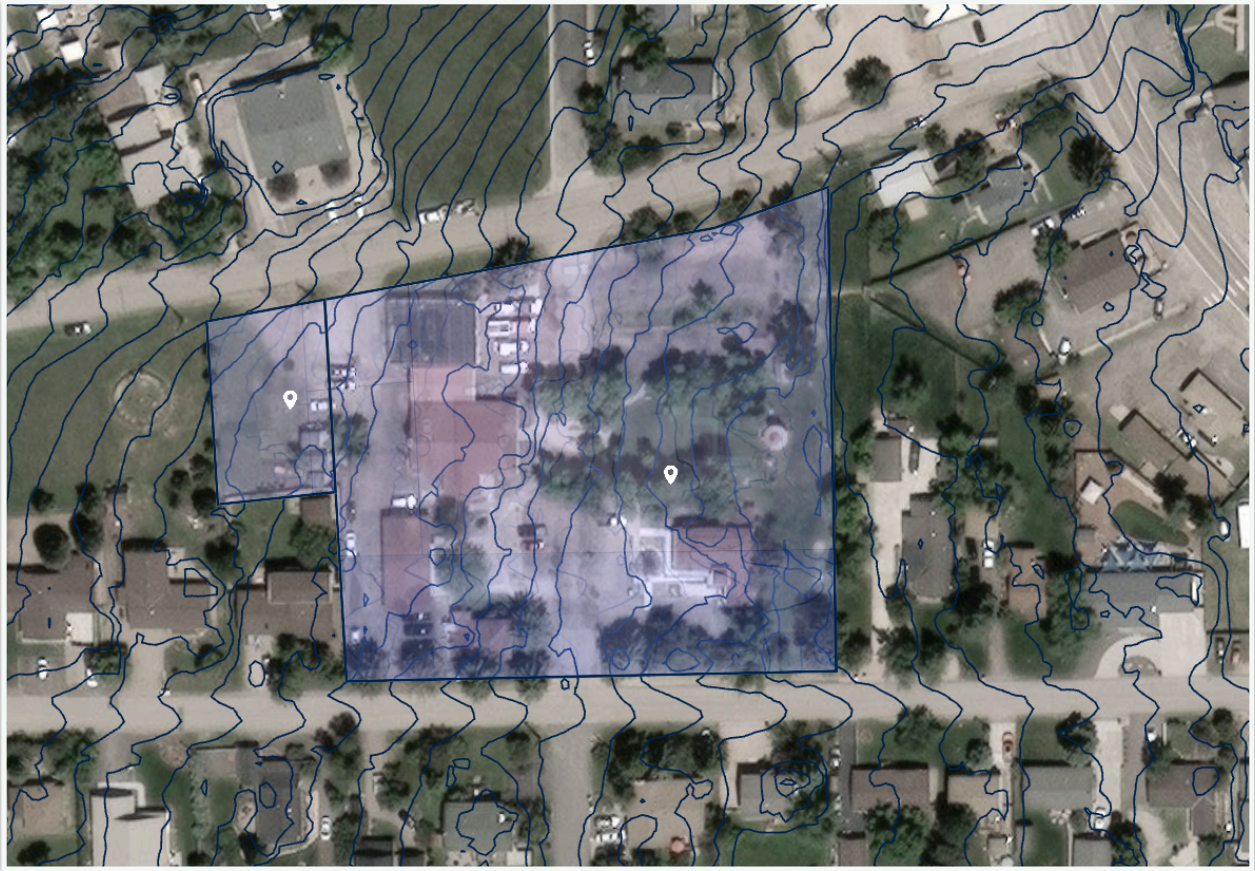


Diagram 4B: Topography for Valley Crescent Site

- Topography [*refer to diagram 4B*] The Valley Crescent site is perceptibly flat land, though sloping to the east, with contours running north - south across the site. The elevation is higher on the west, gently dropping to low on the east.
- Orientation: The Valley Crescent Site does not have a strong orientation, however a potential future Public Safety building would likely need to be oriented east - west along the north boundary of the site. It is bordered on the north by Middle Glenway St and residential properties to the north, east, south, and west.
- Geology: Data reviewed from the Colorado Geological Survey Map for the Palmer Lake Quadrangle indicates the Valley Crescent Site is located within a geological area that appears to be generally suitable for building construction. A geotechnical investigation and report provided by a geotechnical engineer will be necessary to determine requirements for foundations. The site appears to be within a Gravel Deposit soil area. Geotechnical test borings will be required prior to building design. [*refer to diagram 4C*]
- Vegetation: The site has natural and cultivated grasses, existing mature deciduous and coniferous trees throughout the site. The boundary along Middle Glenway St has several mature spruce trees and other deciduous trees. The Fire Association portion of the Site has little vegetation and is currently used for parking or staging vehicles. There are established gardens and landscaping through much of the Valley Crescent site, especially around the existing town buildings.

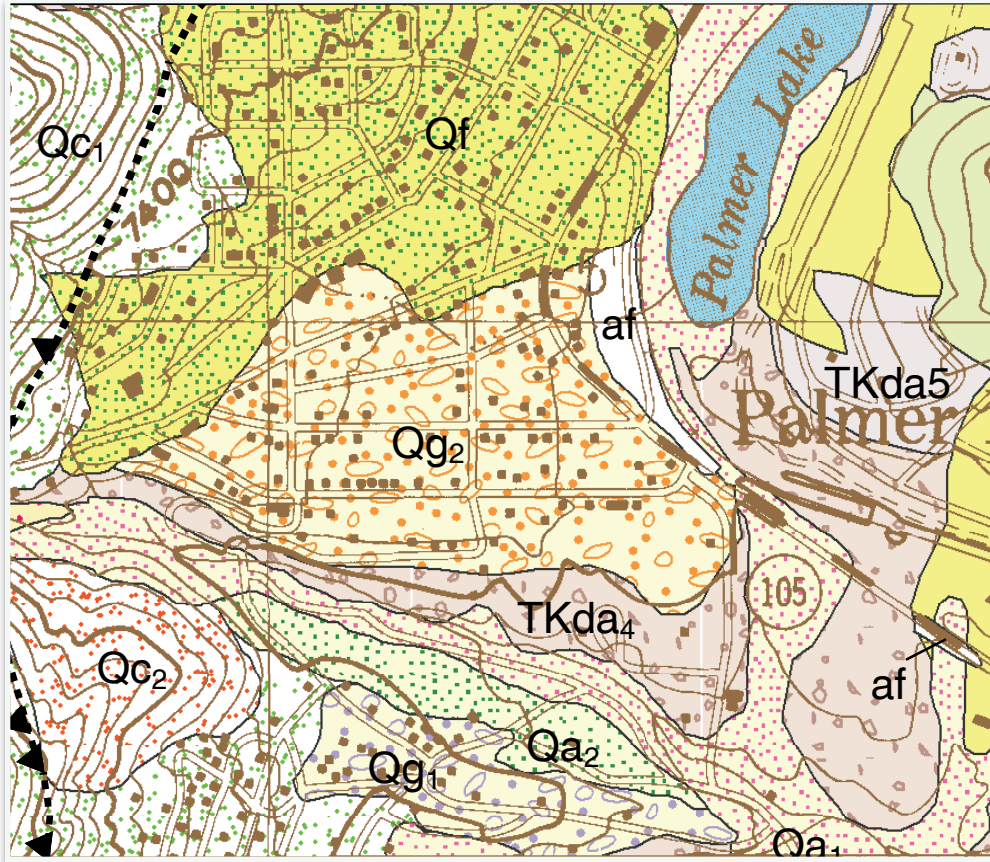


Diagram 4C: Portion of Colorado Geologic Survey Map - Palmer Lake - Valley Crescent Site

- Existing structures or human-made features: The Valley Crescent Site is developed with five buildings, some of which have historical significance. There are some existing sidewalks, driveways, and parking areas. There is an informal alley on the west side of the property that is used for Fire Department access and town employee parking.
- Potential Noise disruption: The site is located in the center of town, in a relatively-densely populated area. It is adjacent to single-family residential uses on all sides. Noise disruption will be a significant factor with this property, as it already is with the existing Police and Fire Stations located on the larger property.

4.2 Vehicular access: *emergency services and public access to and within the site:*

- Refer to section 2.2 for a list of existing vehicles used by the Town of Palmer Lake Fire Department.
- Access to and from the Valley Crescent Site is either from Middle Glenway St on the north, or via Lower Glenway St. at the informal alley on the west side behind the existing Town Hall, or into the parking lot in the middle of the site.
- Existing Adjacent Street Capacity - The Valley Crescent Site is between two neighborhood streets with no striping or curb & gutter. The capacity of Lower and Middle Glenway Streets is not expected to vary with the improvement of the Site to include a combined Public Safety building since both of these uses already utilize the adjacent streets.
- The angle of approach into the Valley Crescent Site from the existing streets is flat enough to allow any vehicle to enter / exit with minimal to no grading required. It should be noted that improving the existing dirt driveways to be

- a paved access road or driveway apron with curb and gutter for heavy emergency vehicles and equipment is expected.
- The Valley Crescent site is approximately 2 acres total, including all other existing buildings, driveways and open space. The available land that might be considered for use with a new building is approximately 400 feet by 110 feet, (44,000 sq.ft.) Whether the potential site is deep enough in the north-south direction to allow for a new building, driveways, and parking will require careful investigation. The Fire Department's existing engines will require a turning radius of at least 41 feet. Given the potential required footprint for the Public Safety building with garage space at least 45 feet deep, and the required driveway and approach into the garages, sufficient space to turn and navigate the site may be adequate, but it could be very tight.
 - Parking Requirements for the public safety building should include spaces for town employee's (Fire and Police) personal vehicles as well as limited public parking. The Valley Crescent site would require 1 space for each 300 sq ft of floor area according to Palmer Lake Zoning Ordinance 17.84.020 for off street parking. Based upon the preliminary building requirements for an estimated area of 9,200 sq.ft. of building (not including vehicle garages), the proposed Public Safety building could require as many as 30 spaces for employees and general public. Obviously, the Valley Crescent site cannot accommodate this many spaces. The required parking area for vehicles is estimated to require at least 15,000 sq.ft. There is existing parking within the Valley Crescent Site, but with the addition of a new building this may be impacted.
 - Public access to the Valley Crescent site is currently possible from middle Glenway St. with an entry point on the north, or on the south side from Lower Glenway St. into a central parking lot.

4.3 Traffic Impact Analysis:

- Emergency service vehicles running calls from the Valley Crescent site would be required to use either of the neighborhood streets Middle Glenway or Lower Glenway St. These streets do not have significant traffic and impact from emergency services would remain similar to what it is currently.
- Traffic on Highway 105 would be impacted when emergency vehicles are deployed and need to enter the Highway turning right or left, but this is already an existing condition. Morning and evening commuter traffic may experience brief delays when Highway traffic is stopped to allow emergency vehicles to enter the Highway. There is no expectation of adding an emergency signal.

4.4 Developed Land Analysis:

- Development Considerations for the Valley Crescent Site:
 - Phasing the project to allow Fire Department services to continue while a portion of the site is developed for a new building.
 - Existing infrastructure is already in-place, including paved roads, sidewalks, utilities, landscaping, and buildings. Utilities would only need to be extended to a new building.
 - Demolishing existing structures in preparation for the new building would be required.
 - The dirt access roads on the north (east and west of the existing Firehouse) would require improvement to a paved road with reinforced concrete aprons and curb and gutter.
 - Minimal to no site grading would need to be done to allow access for vehicles, and to create a buildable area for the Public Safety building.

- Existing drainage structures, swales, or detention basins may require improvement to allow for new site improvements.
- Environmental impacts of adding impervious area with driveways, buildings, and parking lots required for the project would need to be studied by a Civil Engineer to determine if a detention pond or other provisions need to be made on adjacent streets and within the site.
- Financial implications to begin and maintain ongoing use of the Valley Crescent Site would include the demolition of existing buildings and site preparation for site development and construction of a new building. The land is owned by the Town of Palmer Lake which allows for the type of proposed development and added building.

4.5 Utility Service Availability: *options for all public utilities*

- Availability of Public Utilities:
 - Water service is provided to the Valley Crescent Site by a 4-inch cast iron service line running within Valley Crescent St through the center on the plane, and a 6" PVC line that runs along the south side of Middle Glenway St. There are two fire hydrants nearby, located at the corners of Valley Crescent St. There is a Raw Water hydrant located

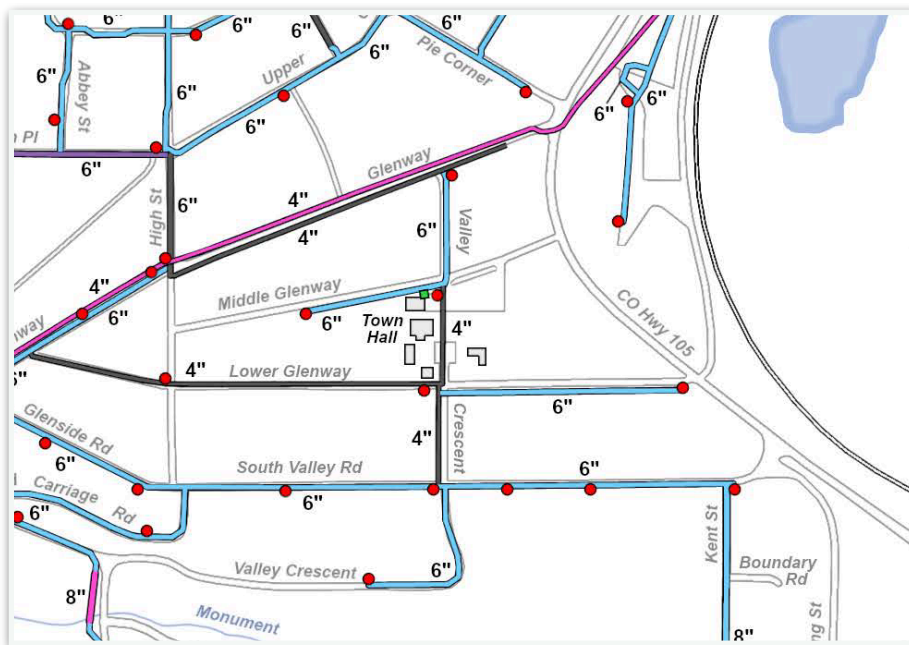


Diagram 4.5a: Water Service Lines - Valley Crescent

- adjacent to the existing Fire Station. [*refer to Diagram 4.5a*]
- The existing wastewater (sewer) line is an 8-inch diameter pipe, and runs along the eastern side of Valley Crescent St toward the south, through the site from Middle Glenway to Lower Glenway St. There is a manhole in the dirt parking lot on the north of the site. [*refer to diagram 4.5b: Sewer lines are represented in green*]
- Electrical service is provided by Core, and is supplied by overhead power lines with 3-phase power that comes from lines along the north, east, south and west perimeter of the site and enters the site near the

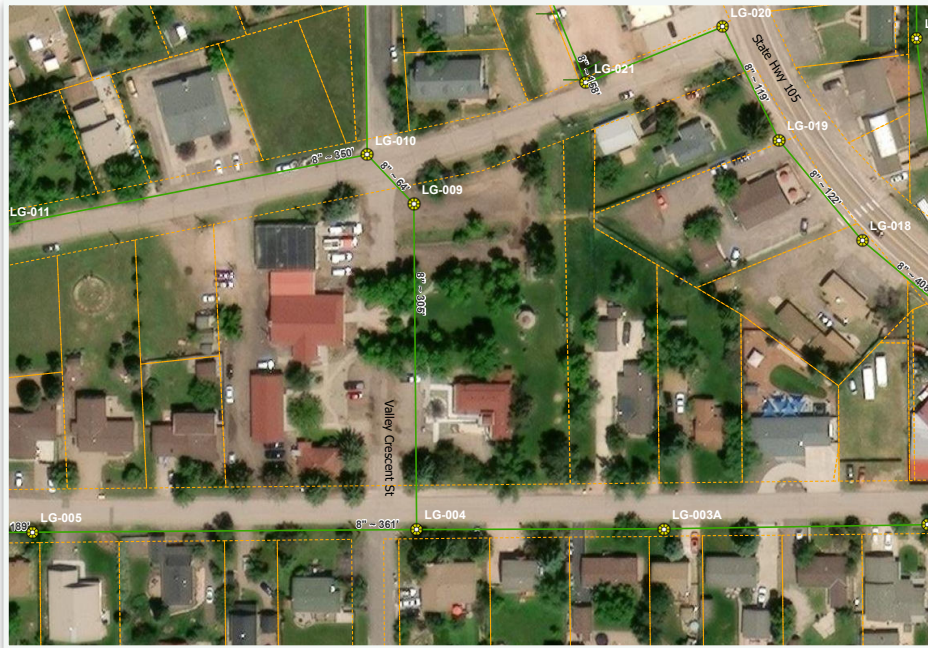


Diagram 4.5b: Wastewater Service lines - Valley Crescent

east, south and northwest corner. [refer to Diagram 4.5c: Black and Red Lines represent 3-phase power. Overhead lines are dashed.]

- Gas service is provided by Black Hills Energy and is supplied to the site by a 1 1/4" service line on the east side of Valley Crescent.
- Internet service in Palmer Lake is provided by cable, satellite, and fiber through local providers such as Xfinity, Viasat, CenturyLink, and Force Broadband.



Diagram 4.5c: Electrical Service - Valley Crescent

- For all utilities, the service lines to the new buildings would need to be extended from their current locations. All utility needs appear to be readily available on the Valley Crescent site.



Gas Service to Valley Crescent

4.6 Site security: Equipment and facility protection against vandalism and acts of violence

- Safety and security risk for the Valley Crescent Site may be reduced by the fact the new facility will be in the center of town and among residential properties. It is possible that the new building would be oriented to face south for the benefit of the sun exposure in winter months, and therefore the driveway, access points and garages would not be easily visible from the Middle Glenway St. However the security of the site should be maintained as it will generally be occupied around the clock. The police station portion of the future building will be equipped with controlled access devices to prevent unauthorized access.

4.7 Planning, zoning and code implications for each site

- The Valley Crescent Site has an R3 Zoning designation which may require a re-zoning process to allow for the proposed use. It is possible the Town could administratively approve a re-zone to allow for the proposed use, considering that other Town Municipal uses already exist on the Site. Providing adequate parking for town personnel and the public would be a greater challenge with this site, especially if it is developed further with a larger Public Safety building. The geohazards associated with this Site appear to be less than other sites in consideration, based on geology, topography and history.

4.8 Site improvement cost estimates

- Development of the Valley Crescent location will require some site preparation to demolish existing structures. It will also require site grading and drainage plans and limited earth work, utility connections and tap fees, excavation for new building foundations, paving for parking lots, new sidewalks, curb and gutter where the new building will be located. Discussions with the Town Staff indicated there is willingness to be flexible with the operations of the Fire Department (temporary accommodations) while the existing building is removed and cleared for construction of a new combined facility. This site may have the lowest site improvement costs of the three potential sites.

- **See Appendix E** for a Preliminary Cost Estimate provided by a licensed contractor who considered each of the three potential Sites.

5.0 Site Comparison Matrix

SITE COMPARISON MATRIX

	SANTA FE RIDGE	ELEPHANT ROCK	VALLEY CRESENT
SITE DATA			
TOPOGRAPHY	Detention basin, steep slope to north	Gently sloping ideal for building	Flat / Gently Sloping, ideal for building
GEOLOGY	poor soils, mitigation likely required	poor soils, mitigation likely required	good soils, no mitigation
VEGETATION	native grasses, no trees	native grasses, min trees	mature landscape & trees
NOISE	From Outside: Train/Highway From Inside: non issue	From Outside: Train/Highway From Inside: non issue	From Outside: minimal From Inside: residential neighborhood
ENVIRONMENTAL	Prevailing winds north/northeast, south/southeast	Prevailing winds north/northeast, south/southeast	Prevailing winds north/northeast, south/southeast
	Sunlight south exposure	Sunlight south and east exposure	Sunlight south and east exposure
	Existing detention basin (unbuildable)	Typical drainage mitigation, minimal grading	Moderate drainage mitigation, minimal grading
VEHICLE & TRAFFIC			
ACCESS	Not possible	Good, with multiple options	Good, with limited options
STREET CAPACITY	Restricted, existing drive is narrow	unrestricted, new	restricted, existing alley and neighborhood streets
PARKING CAPACITY	N/A	adequate	limited
TRAFFIC IMPACT	Emergency signal required at Hwy 105	Emergency signal required at Hwy 105	Same as existing, no change
LAND ANALYSIS			
UNDEVELOPED / DEVELOPED	Undeveloped Site	Undeveloped Site	Developed Site
	Existing detention pond, Unbuildable	no existng drainage infrastructure. Some detention may be required	limited drainage infrastructure, mitigation likely required
	Setbacks n/a	200 ft setback reduces land available for building	easement on north, existing buildings
	Existing access road, extension to site n/a	access road improvement and extension to site	existing alley, needs improvement
	Site grading n/a	minimal / no site grading required	minimal / no site grading required
	no demolition required	no demolition required	building demolition required

SITE COMPARISON MATRIX

	SANTA FE RIDGE	ELEPHANT ROCK	VALLEY CRESENT
UTILITIES			
WATER	8" PVC, 2 hydrants	6" PVC, 1 hydrant	4" cast iron and 6" PVC, 2 hydrants
WASTE WATER	8" dia., accessible to south	10" dia. Accessible to west	8" dia., accessible to east
ELECTRICAL	3-phase, underground	3-phase, overhead	3-phase, overhead
GAS			
INTERNET	Cable, Fiber, Satellite	Cable, Fiber, Satellite	Cable, Fiber, Satellite
SITE SECURITY			
	(location, orientation, and visibility) N/A	Medium risk, (location, orientation, and visibility)	Low Risk, within town, high visibility
SITE IMPROVEMENT COST PROJECTION			
GRADING & DRAINAGE	Grading and drainage N/A	Minimal grading, add / extend drainage infrastructure	Minimal to no grading, improve drainage infrastructure
UTILITIES	all available, connect to site N/A	all available, typical cost to connect to site	all available, low cost to connect to site
DRIVES CURB & GUTTER	Curb & Gutter N/A	C&G and extent of paving optional	Paved driveways C&G required
PLANNING & ZONING CODE IMPLICATIONS			
GEOHAZARD	Yes, Required	Yes, Required	No
RE-ZONE	No	No	Yes
DEVELOPMENT PLAN	Yes, Minor Amendment	Yes, Minor Amendment	Yes, Minor Amendment
SETBACKS	200 ft, Hwy 105, south	200 ft, Hwy 105, north	Property line
EASEMENTS	Utility	Permanent Well, Utility	Utility
LOT SETBACKS	Un-buildable	Yes, 200 ft Hwy Setback issue	Yes, limited impact

6.0 Conclusion

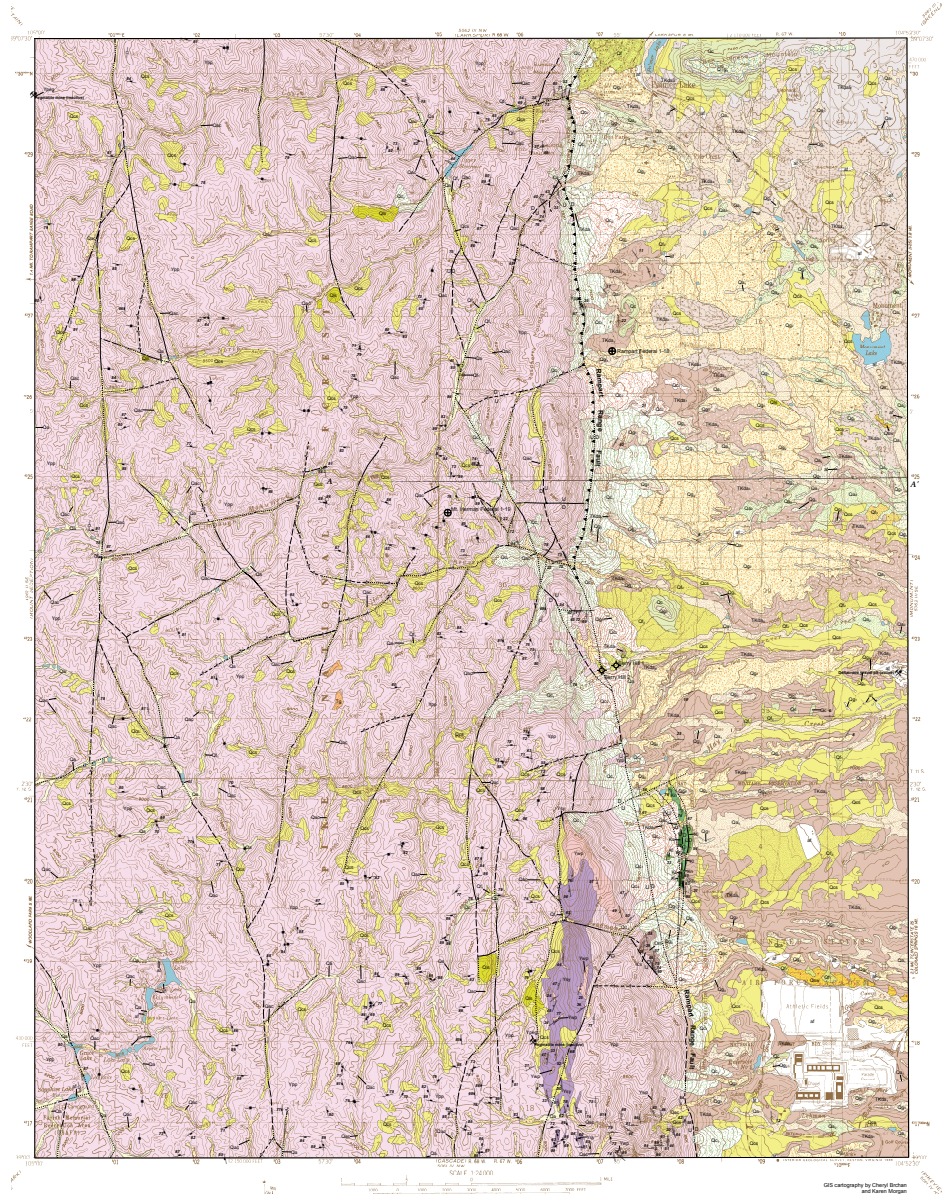
Based upon the findings of this report and the analysis of the data collected, it is the recommendation of the design professionals that the Town consider developing the Valley Crescent Site for the future combined Public Safety Facility. The Site has the required areas, agreeable topography, vehicular access, and all available utilities. It will involve the complexities of phasing the project, in order to construct a fire department building while allowing the existing building to continue operating, but this would not be prohibitive. The Valley Crescent Site is in the center of town and proximate to all of the existing Town functions, which is favorable. The factors in favor of this site outweigh other possibilities considered.

Appendix A

Geologic Map of the Palmer Lake Quadrangle

COLORADO GEOLOGICAL SURVEY
DEPARTMENT OF NATURAL RESOURCES
DENVER, COLORADO

OPEN-FILE 06-6
GEOLOGIC MAP OF THE PALMER LAKE QUADRANGLE
EL PASO COUNTY, COLORADO
Plate 1 of 2
Booklet accompanies map



- LIST OF MAP UNITS**
The complete description of map units and references are in the accompanying booklet.
- SURFICIAL DEPOSITS**
- HUMAN-MADE DEPOSITS**
- Artificial fill (late Holocene)
- ALLUVIAL DEPOSITS**
- Stream-channel, flood-plain, and terrace alluvium, undivided (Holocene and late Pleistocene)
 - Alluvium one (late to early Holocene)
 - Alluvium two (late Pleistocene)
 - Stream alluvium and colluvium, undivided (Holocene to late Pleistocene)
 - Sheetwash alluvium (Holocene and late Pleistocene)
 - Alluvial fan deposit one (late Holocene)
 - Alluvial fan deposit two (early Holocene to late Pleistocene)
 - Alluvial fan deposit three (late Pleistocene)
 - Alluvial fan deposit (Holocene to late Pleistocene)
 - Gravel deposit one (middle Pleistocene)
 - Gravel deposit two (early middle Pleistocene)
 - Gravel deposit three (early Pleistocene)
 - Gravel deposit four (early Pleistocene or late Eocene?)
 - Gravel (late Tertiary)
- MASS-WASTING DEPOSITS**
- Colluvium and sheetwash alluvium deposits, undivided (Holocene and late Pleistocene)
 - Colluvium deposit one (Holocene to late Pleistocene)
 - Colluvium deposit two (middle to late Pleistocene)
 - Colluvium deposit, undivided (Holocene to late Pleistocene)
 - Landslide deposits (Holocene to late Tertiary)
- BEDROCK**
- TERTIARY AND UPPER CRETACEOUS CONTINENTAL SEDIMENTARY ROCKS**
- Dawson Formation, undivided (Upper Cretaceous to middle? Eocene)—Shown only on cross sections
 - Dawson Formation, facies with five (early to middle? Eocene)
 - Dawson Formation, facies with four (Paleocene)
 - Dawson Formation, facies with three (Holocene)
 - Dawson Formation, facies with one (Upper Cretaceous to Paleocene)
- MESOZOIC SEDIMENTARY ROCKS**
- Laramie Formation (Upper Cretaceous)
 - Fox Hills Sandstone (Upper Cretaceous)—Shown only on cross sections
 - Pierre Shale (Upper Cretaceous)—Shown only on cross sections
 - Niswara Formation (Upper Cretaceous)
 - Cattle Shale, including Coddell Sandstone Member (Upper Cretaceous)
 - Graneros Shale, Greenhorn Limestone, and Cattle Shale, undivided (Upper Cretaceous)—Shown only on cross sections
 - Dakota Sandstone and Purgatoire Formation (Lower Cretaceous)—Shown only on cross sections
 - Morrison Formation and Rabbit Creek Formation (Upper Jurassic)—Shown only on cross sections
- PALEOZOIC AND LATEST MESOZOIC SEDIMENTARY ROCKS**
- Lower Triassic?, Permian, and Pennsylvanian rocks, undivided—Shown only on cross sections
 - Manitou Limestone (Lower Ordovician)
 - Sawatch Sandstone (Upper Cambrian)
- MESOPROTEROZOIC IGNEOUS ROCKS OF THE PIKES PEAK BATHOLITH**
- Pegmatite (Mesoproterozoic)
 - Windy Point Granite (Mesoproterozoic)
 - Syenite (Mesoproterozoic)
 - Pikes Peak Granite (Mesoproterozoic)
- SYMBOLS**
- Contact—Approximately located
 - High-angle fault—Dashed where approximately located, dotted where concealed; queried where inferred. If an upthrown side is on downthrown side, the indicator direction of dip; the number indicates field measurement of dip magnitude.
 - Thrust fault—Dotted where concealed. Barbed teeth are on overthrust block side of fault.
 - Strike and dip of bedding or contacts
 - Inclined—Showing direction and angle of dip
 - Overturned—Showing direction and angle of dip
 - Strike and dip of fractures
 - Inclined—Showing direction and angle of dip
 - Vertical
 - Strike and dip of joints
 - Inclined—Showing direction and angle of dip
 - Vertical
 - Primary igneous foliation—Showing direction and angle of dip
 - Shear fracture with slickenside lineation—Showing direction and angle of dip, and trend and plunge of lineation
 - Mine or gravel pit
 - Proposed oil and gas test well
 - Existing oil and gas exploratory well (abandoned)
 - Water
 - Line of cross section

GEOLOGIC MAP OF THE PALMER LAKE QUADRANGLE, EL PASO COUNTY, COLORADO

By John W. Keller, Matthew L. Morgan, Jon P. Thorson, Neil R. Lindsay, and Peter E. Barkmann
2007



Appendix B

Enlarged Legend for Colorado Geological Map Palmer Lake Quadrangle

SURFICIAL DEPOSITS

HUMAN-MADE DEPOSITS

af Artificial fill (latest Holocene)

ALLUVIAL DEPOSITS

Qa Stream-channel, flood-plain, and terrace alluvium, undivided (Holocene and late Pleistocene)

Qa₁ Alluvium one (late to early Holocene)

Qa₂ Alluvium two (late Pleistocene)

Qac Stream alluvium and colluvium, undivided (Holocene to late Pleistocene)

Qsw Sheetwash alluvium (Holocene and late Pleistocene)

Qf₁ Alluvial fan deposit one (late Holocene)

Qf₂ Alluvial fan deposit two (early Holocene to late Pleistocene)

Qf₃ Alluvial fan deposit three (late Pleistocene)

Qf Alluvial fan deposit (Holocene to late Pleistocene)

Qg₁ Gravel deposit one (middle Pleistocene)

Qg₂ Gravel deposit two (early middle Pleistocene)

Qg₃ Gravel deposit three (early Pleistocene)

QTg₁ Gravel deposit four (early Pleistocene or late Eocene?)

Tg Gravel (late Tertiary)

MASS-WASTING DEPOSITS

Qcs Colluvium and sheetwash alluvium deposits, undivided (Holocene and late Pleistocene)

Qc₁ Colluvium deposit one (Holocene to late Pleistocene)

Qc₂ Colluvium deposit two (middle to late Pleistocene)

Qc Colluvium deposits, undivided (Holocene to late Pleistocene)

Qls Landslide deposits (Holocene to late Tertiary)

BEDROCK

TERTIARY AND UPPER CRETACEOUS CONTINENTAL SEDIMENTARY ROCKS

TKda Dawson Formation, undivided (Upper Cretaceous to middle? Eocene)—Shown only on cross sections

TKda₅ Dawson Formation, facies unit five (early to middle? Eocene)

TKda₄ Dawson Formation, facies unit four (Paleocene)

TKda₃ Dawson Formation, facies unit three (Paleocene)

TKda₁ Dawson Formation, facies unit one (Upper Cretaceous to Paleocene)

Legend for Geologic Map of Palmer Lake Sites:

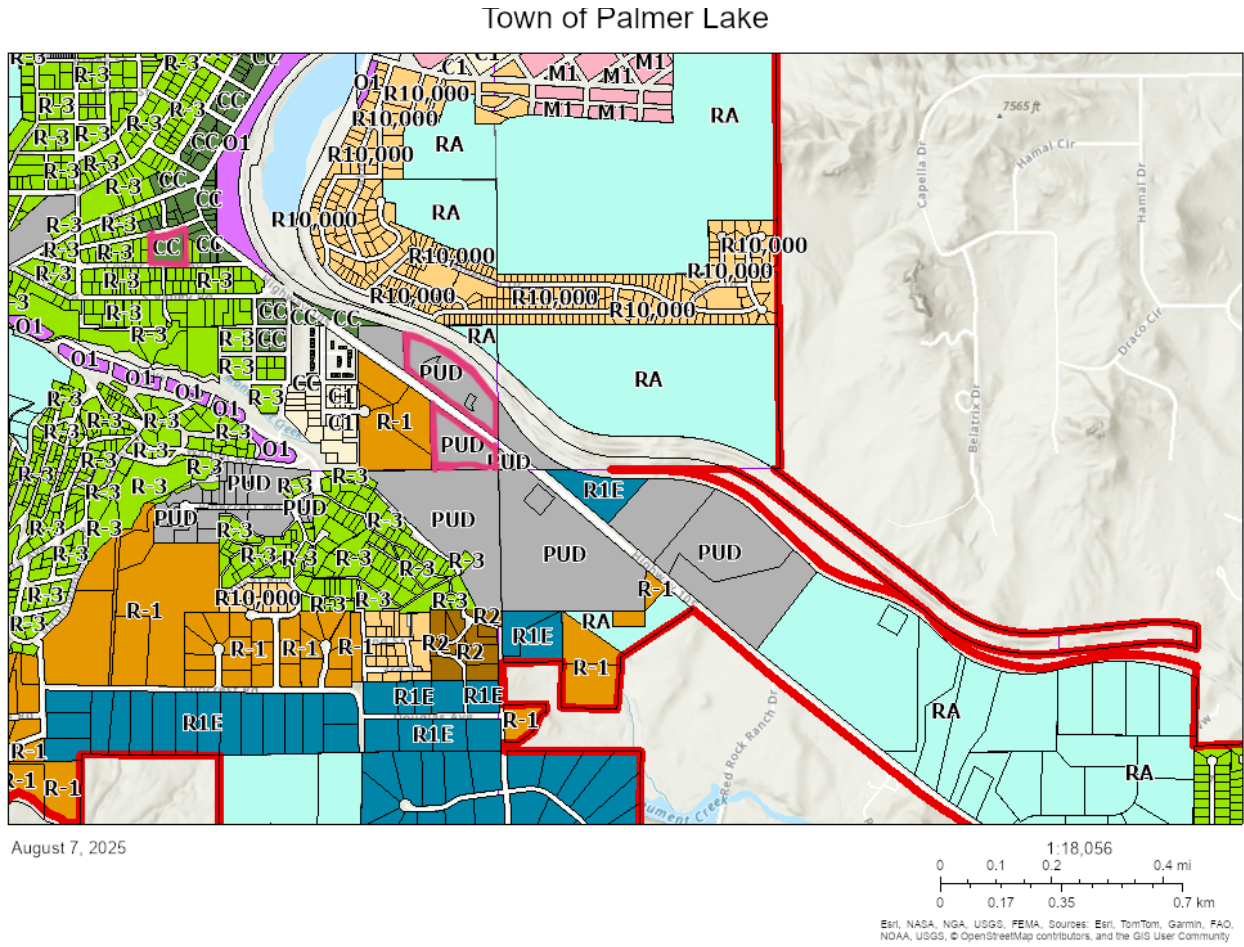
Orange - Santa Fe Ridge

Red - Elephant Rock

Blue - Valley Crescent

Appendix C

Zoning Designations for the Town of Palmer Lake



Zoning Map for Town of Palmer Lake

Appendix D

Basic Programming and Areas for the Public Safety Facility

Palmer Lake Feasibility Study - Programming Questions and Areas

Police Department:

- 1) Private offices, 3 total. Roughly 10ft x 12ft each, total **360** sq ft.
 - 2) Patrol Room Cubicle area for 6 cubicles, approximately 6ft x 6ft each, total **216** sq ft.
 - 3) Interview room: approx. 10ft x 10ft, **100** sq ft
 - 4) Secure records room: approx 8ft x 10 ft, **80** sq ft
 - 5) Secure Storage: *Evidence, Personnell files*: 10ft x 10ft, **100** sq.ft.
 - 6) Sally Port (exterior) for 1 vehicle, oversized garage 20ft x 40ft with included secure chain link storage of confiscated materials approx 10ft x 10ft. Total **800** sq ft.
 - 7) ADA restrooms (men's & women's) approximately 50 sq ft ea, total **100** sq.ft.
 - 8) Break room: 14ft x 14ft, **200** sq ft.
 - 9) General circulation and accessory spaces: 25% of total sq.ft. **490** sq.ft.
- Approximate Required Area for Police Department: ~2,450 sq.ft.*

Potential Shared Facilities / Spaces:

- a) Lobby: Space for an Admin reception desk, waiting area, sm conf., total **250** sq.ft.
 - b) Mechanical, Utility room, IT Closet: **200** sq.ft.
 - c) Locker Room w/ changing cubicles: (12 staff?) **360** sq.ft.
 - d) Conference / Training Room(s) 16ft x 24ft, **384** sq.ft.
 - e) Public Restrooms for Men & Women 50 sq.ft. ea, total **100** sq.ft.
 - f) Gym (Weights, Functional Training, Cardio) 20ft x 18ft, **360** sq.ft.
 - g) General circulation and accessory spaces: 25% of total square.ft. **415** sq.ft.
- Approximate Area for Shared Spaces: ~2070 sq.ft.*

Fire Department:

- 1) Garage for vehicles: ~**4,800** sq.ft. (estimate 45ft deep x 106 ft long)
 - a) Engine 1 (2011): 29.7ft (l) x 9ft (w) x 9.5ft (h)
 - b) Engine 2 (2015): 29.3ft (l) x 9ft (w) x 9.5ft (h)
 - c) Brush Truck 1: 22.5' (l) x 11ft (w) x 6.7ft (h)
 - d) Brush Truck 2: 22.5' (l) x 11ft (w) x 6.7ft (h)
 - e) Dodge Ram 2500
 - f) Dodge Ram 2500
 - g) (2) Razor (Side-by-side ATV) 9ft (l) x 7ft (w)
 - h) (2) 4-wheeler ATVs
 - 2) Bunker Gear Storage (adjacent to vehicle garage) 24ft x 10ft, total **240** sq.ft.
 - 3) Bunk Rooms Men & Women (6 occ) **600-800** sq.ft.
 - 4) Bathrooms for Men & Women 80 sq.ft. ea, provide 4, total **320** sq.ft.
 - 5) De-con Room (Laundry): 10ft x 12ft, **120** sq.ft.
 - 6) General Laundry: 10ft x 12ft, **120** sq.ft.
 - 7) Private Offices, 4 total. 10ft x 12ft, 120 sq.ft. ea, total **480** sq.ft.
 - 8) General Gear/equipment storage: (current 160 sq.ft.) 16x20, total **320** sq.ft.
 - 9) Lounge 16ft x 20ft, **320** sq.ft.
 - 10) Kitchen/Dining: 12ft x 14ft, **168** sq.ft.
 - 11) Outdoor patio and grill area: **200** sq.ft.
 - 12) General Circulation and accessory spaces: 25% of total square.ft.
- Approximate Required Area for Fire Department, (not including garage): ~3,860 sq.ft.*

Grand Total Approximate Building Area: ~13,200 sq.ft.

Appendix E

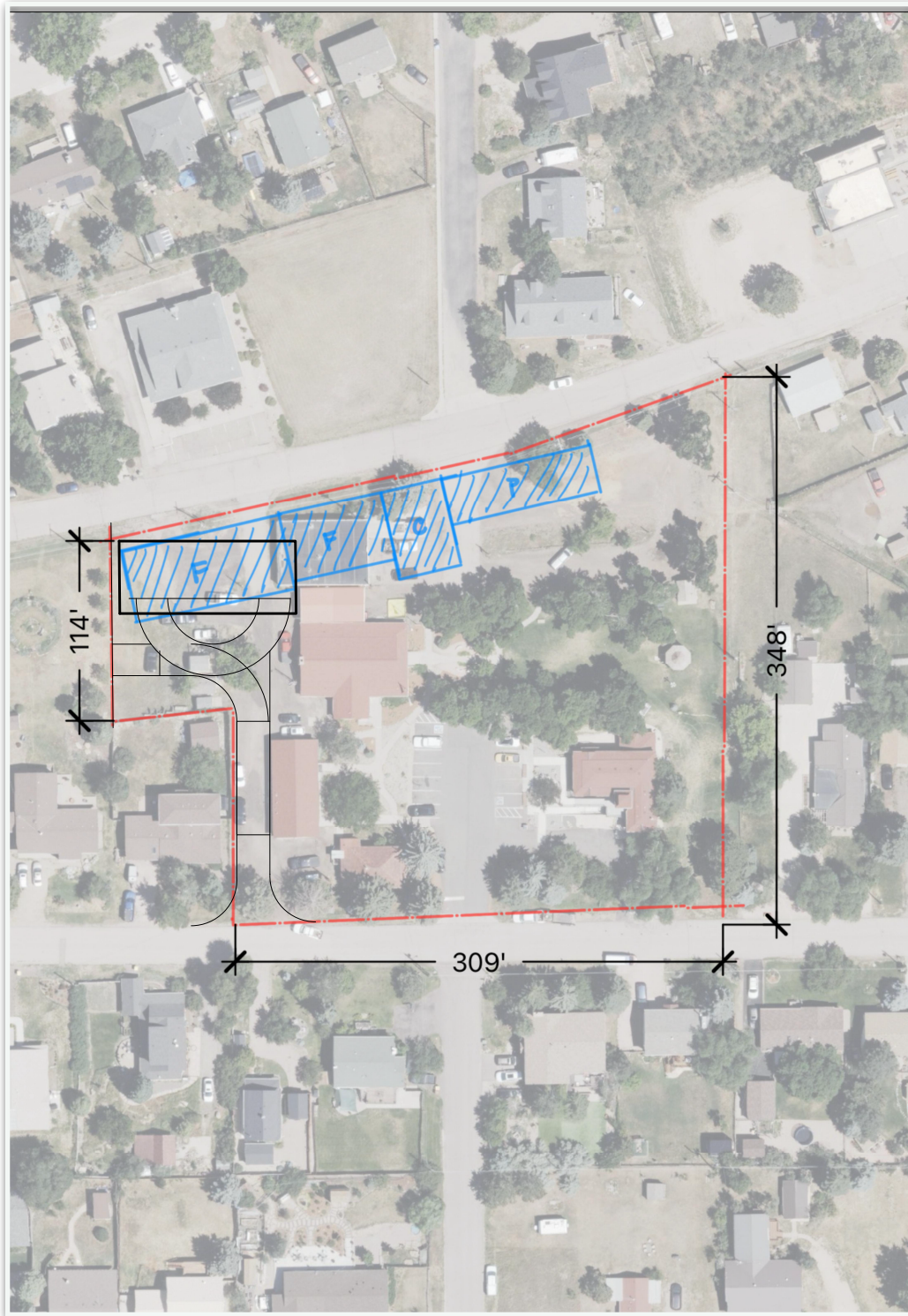
Preliminary Cost Estimate for the Public Safety Facility on Three Potential Sites

	Palmer Lake Public Safety Building			
	Elephant Rock	Valley Crescent	Santa Fe Ridge	Comments
02- EXISTING CONDITIONS	\$17,000.00	\$56,000.00	\$18,000.00	Building Demo
03- SUBSTRUCTURE	\$423,000.00	\$428,000.00	\$420,000.00	
04- MASONRY	\$22,000.00	\$22,000.00	\$22,000.00	
05- METALS	\$4,600.00	\$4,600.00	\$4,600.00	
06- WOOD & PLASTICS	\$79,000.00	\$79,000.00	\$79,000.00	
07- THERMAL & MOISTURE	\$67,000.00	\$67,000.00	\$67,000.00	
08- OPENINGS	\$187,000.00	\$187,000.00	\$187,000.00	
09- FINISHES	\$602,000.00	\$622,000.00	\$602,000.00	
10-SPECIALTIES	\$37,000.00	\$37,000.00	\$37,000.00	
11-EQUIPMENT	\$30,000.00	\$30,000.00	\$30,000.00	
12-FURNISHINGS	-	-	-	
13-SPECIAL CONSTRUCTION	\$445,000.00	\$518,000.00	\$445,000.00	
21-FIRE SUPPRESSION	\$53,000.00	\$53,000.00	\$53,000.00	
22-PLUMBING	\$188,000.00	\$188,000.00	\$188,000.00	
23-HEATING VENT./AIRCON	\$330,000.00	\$330,000.00	\$330,000.00	
26- ELECTRICAL	\$251,000.00	\$251,000.00	\$251,000.00	
27-COMMUNICATIONS	\$24,000.00	\$24,000.00	\$24,000.00	
31-EARTHWORK	\$428,000.00	\$205,000.00	\$270,000.00	Vacant land vs developed
32-EXTERIOR SITE IMPROV	\$524,000.00	\$296,000.00	\$524,000.00	Vacant land vs developed
32-UTILITIES	\$411,000.00	\$185,000.00	\$278,000.00	Vacant land vs developed
00-MISC	\$37,000.00	\$33,000.00	\$37,000.00	
TOTAL CSI DIVISIONS	\$4,159,600.00	\$3,615,600.00	\$3,866,600.00	
GENERAL CONDITIONS	\$525,000.00	\$668,000.00	\$500,000.00	
HWY 105 REWORK ALLOWANCE CDOT	\$500,000.00	-	\$500,000.00	Located on Hwy 105
CONTINGENCY 8%	\$317,000.00	\$361,000.00	\$305,000.00	
FEES 5%	\$198,000.00	\$217,000.00	\$190,000.00	
GRAND TOTAL	\$5,699,600.00	\$4,861,600.00	\$5,361,600.00	

Simplified Contractor Estimate for overall construction

Appendix F-1

Fire Truck Turning Radii for 3 potential Sites



Valley Crescent Site Diagram with Fire Equipment Turning Radii

Appendix F-2



Elephant Rock Site Diagram with Fire Equipment Turning Radii

Appendix F-3



Santa Fe Ridge Site Diagram with Fire Equipment Turning Radii