

Town of North Topsail Beach Board of Aldermen Regular Meeting Agenda Wednesday, March 01, 2023, at 11:00 AM Town Hall - 2008 Loggerhead Court, North Topsail Beach, NC 28460 (910) 328-1349 | www.northtopsailbeachnc.gov

Mayor - Joann M. McDermon Alderman - Richard Grant Alderman - Connie Pletl Town Manager - Alice Derian Mayor Pro Tem - Mike Benson Alderman – Alfred Fontana Alderman – Tom Leonard Interim Town Clerk – Nancy Avery

I. CALL TO ORDER (Mayor McDermon)

- II. INVOCATION (Alderman Grant)
- III. PLEDGE OF ALLEGIANCE (Mayor McDermon)
- **IV. APPROVAL OF AGENDA**

Specific Action Requested: Mayor will request a motion to adopt the agenda.

V. MANAGER'S REPORT (Manager Derian)

VI. OPEN FORUM

Citizens have the opportunity to address the Board for no more than three minutes per comment on any issue upon which the Board of Alderman has control.

VII. PUBLIC PRESENTATIONS AND HEARINGS

A. Public Hearing Commercial Plan Review for Fire Station # 2 (Planning Director Hill)

Specific Action Requested: Mayor may request motion to approve Fire Station #2 design plans and authorize the Manager to proceed with bids for demolition and construction.

B. Coastal Engineer update (Fran Way)

VIII. CONSENT AGENDA

- A. Capital Project Ordinance Amendment 22-1002 (Finance Officer Elliott).
- **B.** Approval of Minutes from February 1, 2023 meeting (Interim Clerk Avery).
- C. Department Head Reports:
 - 1. Finance Department
 - 2. Inspections Department

3. Planning Department

- 4. Police Department
- D. Fee Schedule Amendment (Finance Officer Elliott).

E. Committee Reports

- 1. Planning Board & PPI Committee
- 2. Board of Adjustment
- 3. TISPC https://tispc.org/minutes/

Specific Action Requested: Mayor will request a motion to approve the Consent Agenda.

IX. CONTINUING BUSINESS

A. BISAC Update (Mayor Pro Tem Benson)

X. NEW BUSINESS

A. Budget Amendment 2022-23.4 Chargers (Chief Younginer)

Specific Action Requested: Mayor may request a motion to approve Budget Amendment 2022-23.4 as presented.

B. Board liaison Greater Topsail Community Alliance (Mayor McDermon)

Specific Action Requested: Mayor may request a motion to appoint one Board member to serve on the Greater Topsail Community Alliance.

C. Full-time Public Works position (Manager Derian)

Specific Action Requested - Mayor may request a motion to consolidate two part-time positions within Public Works Department to one full-time position.

D. Temporary housing for Fire Station # 2 personnel during demolition and construction (Manager Derian)

Specific Action Requested: Mayor may request motion authorizing Manager and Attorney to negotiate lease for temporary housing for Fire Station # 2 personnel during demo and construction of new station.

E. Coastal Engineer use in developing a beach plan (Alderman Grant)

Proposed resolution 2023-02 exempting Town from General Statute 143.64.31 to exempt contracts for design services from the qualifications-based selection requirements.

Specific Action Requested: Mayor may request a motion to adopt resolution 2023-02 exempting the Thirty Year Beach Plan Project from General Statute 143.64.31.

E. Bike Lanes along shoulders from 210 to North end of NRI Rd (McDermon/ Fontana)

Commitment to N.C. Department of Transportation (DOT) for a local match in the amount of \$1.2 million.

Specific Action Requested: Mayor may request motion to commit to NCDOT local match of \$1.2 million for bike lanes along shoulders from 210 to North end of New River Inlet Rd.

G. BISAC (Beach, Inlet, Sound Advisory Committee) recommendation for committee chair (Mayor Pro Tem Benson)

The BISAC committee voted unanimously at its February 21, 2023, meeting to recommend Larry Strother as Chair of the committee.

Specific Action Required: Mayor may request a motion to appoint member Larry Strother as the Chair of the committee.

H. BISAC (Beach, Inlet, Sound Advisory Committee) recommendation for TISPC (Topsail Island Shoreline Protection Commission) at large member (Mayor Pro Tem Benson)

BISAC committee voted unanimously February 21st to recommend Larry Strother as TISPC at large member.

Specific Action Requested: Mayor may make a request a motion to appoint Larry Strother as the TISPC at large member.

XI. OPEN FORUM

Citizens have the opportunity to address the Board for no more than three minutes per comment on any issue upon which the Board of Alderman has control.

A. Registration and Sponsorship for N.C.Beach, Inlet and Waterway Association (NCBIWA) 2023 Local Governments Meeting May 11 and 12, 2023 in Emerald Isle, N.C. at the Islander Hotel.(Alderman Leonard)

Level of sponsorship is dependent on the number of confirmed attendees:

Bronze \$350 for one attendee; Silver \$1,000 for two attendees; Gold \$1,500 for three attendees.

Specific Action Requested: Mayor may request a motion to approve sponsorship and attendance at the 2023 NCBIWA conference.

XII. ATTORNEY'S REPORT

XIII. MAYOR'S REPORT

XIV.ALDERMAN'S REPORT

XV. CLOSED SESSION

As per N.C.G.S. 143-318.11(6) to discuss a personnel matter

As per N.C. G. S. 143-318.11(3) To consult with an attorney employed or retained by the public body in order to preserve the attorney-client privilege between the attorney and the public body, which privilege is hereby acknowledged.

Specific Action Requested: Mayor will request a motion to go into closed session as per N.C.G.S. 143-318.11 (3) and (6).

XVI.ADJOURNMENT

APPLICANT/PROPERTY OWNER (EXHIBIT 3)

Town of North Topsail Beach/ Alic	ce Darian Town Manager				
Becker Morgan Group	Architect				
Paramounte Engineering, PLLC	Civil Engineer				
CBHF Engineering, PLLC	PME Engineer				
Woods Engineering,	PA Structural Engineer				
PROPERTY ADDRESS/LOCATION					
3304 GRAY ST/ NORTH TOPSAIL BEACH					

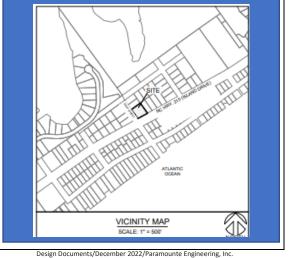
Board of Aldermen 3/1/2023 11AM (EXHIBIT 4)

BRIEF SUMMARY OF REQUEST

PUBLIC HEARING DATE

Board of Aldermen

The Town of North Topsail Beach is requesting development plan review and approval of the proposed North Topsail Beach Fire Station #2. Procedures for Commercial Plan Review are outlined in UDO § 2.06.07. On January 12, 2023, the Planning Board returned the development plan for additional information to include a review and certification by the Public Works Director, Fire Marshall, Police Chief, Building Inspector and Planning Director (EXHIBIT 1a) and completion of the 2018 Appendix B Building Code Summery for All Commercial Projects by the engineer. (EXHIBIT 5). The plans are in compliance with FEMA requirements, as a variance was ordered on January 30, 2023, by the Board of Adjustment in accordance with UDO § 7.04 (E) from the Town's higher standard of enforcing V-zone development standards in the AE zone pursuant to Unified Development Ordinance § 7.05 (G) (EXHIBIT 6).



			C			
EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY		
CD-R5	(CAMA LUP Map 10A) Office & Institutional	N: vacant CD-R5 E: single family CD-R5 S: Island Dr W: Gray St	1986 PUBLIC/GOVERNMENT BUILDINGS	+/- 0.38 acres/ +/-16,501SF		

RECOMMENDATION

In accordance with § 2.06.07(E), the Planning Board recommends that the Board of Aldermen

APPROVE

N. Topsail Beach Fire Station #2 DESIGN PLANS (EXHIBIT 1 & 2)

PROPERTY HISTORY

Property originally belonged to John and Adriena Carter and was sold to West Onslow Beach Volunteer Fire & Rescue Department In 1985. The Fire Station was constructed in 1986. Onslow County adopted the Flood Insurance Rate Maps in 1987. The Town incorporated in 1990 and the property was transferred to North Topsail Beach Volunteer Rescue & EMS Inc in 1991 and transferred to the Town of North Topsail Beach in 2013. (EXHIBIT 3)

COMPATIBILITY with the COMPREHENSIVE PLAN (Town of North Topsail Beach 2019 CAMA Land Use Plan 3/4/2021)

The North Topsail Beach Fire Department is located at 2049 New River Inlet Road (Station 1) with an additional location at 3304 Gray Street (Station 2). The department's Station 1 facility is adequate through the planning period and is undergoing renovation and maintenance; however, Station 2 consists of a metal building established in 1986 and is in disrepair in need of immediate replacement. (updated from Page 4-9)

North Topsail Beach will continue to encourage projects undertaken by the Town's Police Department, Fire Department, and Public Works, which will lessen the vulnerability of the Town and its residents to natural hazards. Annex 3-9

The property is within the Outstanding Resource Waters (ORW) AEC. Existing impervious 14,491 sf (88%) and qualifies as redevelopment pursuant to 15A NCAC 07H .0209 COASTAL SHORELINES (d)(2). NCDCM.

COMPATIBILITY with the UNIFIED DEVELOPMENT ORDINANCE

Existing use prior to the Town's incorporation in 1990.

	· ·										
Public	Р	Р	Р	Р	Р	Ρ	Р	Р	Р	Р	<u>4.03.20</u>
administration/government											
facilities (ambulance service;											
police and fire stations)											
1											

§ 4.03.19 PUBLIC ADMINISTRATION (GOVERNMENT FACILITIES).

(A) Access. Must have primary access to a minor thoroughfare or higher capacity street.

(B) Use separation. Fifty-foot minimum distance between the ambulance or police station or similar use and any adjacent residential property. Pre-existing.

(C) Screening. Service areas must be separated from the view from abutting residential properties using the standards for enclosed outdoor storage and service areas pursuant to § 4.03.06. (Any storage or service areas would require at least a six foot fence)

(Ord. passed 11-2-2011)

Article 5. Dimensional Requirements

Table 5-1 Dimensional Requirements							
Zoning District	Minimum Lot Size	Front Yard Setback	Lot Width	Side Yard Setback	Side Yard on Corner	Rear Yard Setback	Building Height
R-5 Single- family	5,000 sq. ft.	20'	50'	8'	15'	10'	48'

§6.04.08 BUFFERS NOT REQUIRED FOR EXISTING USES.

Uses already existing at the time of the passage of this ordinance, or subsequent amendments thereto, shall not have buffering requirements modified. Such preexisting uses, which are conforming, shall not be required to install a buffer along any public street. A change of use after the adoption of this ordinance requires conformance with the buffering requirements.

(Ord. passed 11-2-2011)

§6.05 OFF-STREET PARKING AND LOADING REQUIREMENT.

(A) Permanent off-street parking spaces shall be indicated on plans submitted for review and provided on the lot in accordance with the following requirements prior to the completion of construction of any building or structure, or at the time any principal building or structure is enlarged or increased in capacity by adding dwelling units, bedrooms or before conversion from one zoning use or occupancy to another.

(B) Storm water run-off standards are required for all off-street parking and driveways for the purpose of protecting surface water and ground water quality, to protect and promote public health, safety and general

welfare with guided plans that limit storm water run-off, pollutants, road ponding and environmental concerns and to avoid any further problems. The developer shall provide surface water drainage plans. These plans shall indicate storm water drainage supported by design computations. The design shall conform to the standards as required by NCDOT, NCDWQ or other regulatory state agency. (EXHIBIT 1g)

- (1) Permanent off-street parking spaces and driveways shall be graded and paved with gravel, porous concrete, porous paving or an open-face paving block over sand and filter-cloth base. If non-porous material is used to construct the parking area or driveway on the property an engineered storm water plan must be submitted as a supplement to the plat plan.
- (2) Applicants must prove to the Planning Department that adequate measures have been taken to contain the first inch and a half of rainfall in a 24-hour period.
- (3) The engineered storm water plan for driveways is not allowed on any property located in any Outstanding Resource Water (ORW) Area of Environmental Concern (AEC). The state requirement of 25% built-upon will remain in effect. (*Planning Director's note: qualifies as "redevelopment" under 15A NCAC 07H .0209 COASTAL SHORELINES (d)(2)), with NCDWQ erosion/sediment control review, will require NC DCM CAMA Major Permit).*

Public buildings: 1 parking space for each employee, plus 1 parking space for each 5 seats in the largest assembly room (**EXHIBIT 2a**)

§6.05.02 OFF-STREET LOADING PURPOSE AND GENERAL REQUIREMENTS.

Plans for off-street loading areas shall include (1) The location and dimensions of driveway entrances, access aisles and loading spaces; (2) The provision for vehicular and pedestrian circulation; and (3) The location of sidewalks and curbs. (**EXHIBIT 2a**)

ARTICLE 7. FLOOD DAMAGE PREVENTION

The Town is in compliance with FEMA requirements, as a variance was ordered on January 30, 2023, in accordance with UDO § 7.04 (E) from the Town's higher standard of enforcing V-zone development standards in the AE zone pursuant to Unified Development Ordinance § 7.05 (G), allowing for the construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC. **(EXHIBIT 6)**

The Southeastern NC Regional Hazard Mitigation Plan addresses 44 CFR § 60.22 planning considerations for critical facilities. Given equal vulnerability across the Southeastern NC Region, all critical facilities are considered to be at risk. Some buildings may perform better than others in the face of such an event due to construction, age, and other factors. The Hazard Mitigation Plan will consider mitigation actions for vulnerable structures, including critical facilities, to reduce the impacts of the hurricane wind hazard. A list of specific critical facilities and their associated risk can be found in Table 6.26. In conclusion, a hurricane event has the potential to impact many existing and future buildings, critical facilities, and populations in the Southeastern NC Region. Hurricane events can cause substantial damage in their wake including fatalities, extensive debris clean-up, and extended power outages.

Board of Aldermen RESPONSE TO STANDARDS

§ 2.06.07 COMMERCIAL PLAN REVIEW.

(A) Commercial plan and design requirements.

(1) Development plans involving new construction of commercial space must be approved by the Board of Aldermen before issuance of a zoning permit. The Planning Board shall review and make recommendations prior to recommending action by the Board of Aldermen; furthermore, the Planning Board may return the development plan to the applicant/owner for revision and/or additional information before recommending action by the Board.

(2) Upon submittal of a development plan and all required materials specified by the Planning Board, the Planning Board shall have 20 working days to either return the development plan to the applicant with noncompliance findings noted, or notify the applicant of an approval/rejection/ recommendation for approval/return for revision and/or additional information. Notification may be verbal, but must be documented in writing within 30 days following the notification date. Each time a development plan is rejected, revised or returned for additional information, the timetable for official action shall begin anew. Should a period of 30 days elapse between the submittal of a development plan and the issuance of a written notification, then the development plan shall be deemed approved/ recommended for approval.

(3) Where Board of Aldermen approval is required as specified herein, the Board shall have 60 days following receipt of the Planning Board's recommendation to take action either to approve or reject the development plan. Failure of the Board of Aldermen to act on the development plan within the specified period shall deem approval of the development plan as submitted.

(4) Applicants wishing to re-submit rejected development plans must reapply. Substantial changes to approved development plans must be reviewed by the Planning Board and approved by the Board of Aldermen. Approved development plans must apply for all required permits, including zoning. All re-applications are subject to the current fee schedule as approved by the Board of Aldermen.

(5) Applicants requesting development plan review/approval shall be required to pay a review fee in accordance with the fee schedule at the time of each development plan submittal and/or request for substantial revision.

(B) Effect of development plan approval; validity.

(1) Approval of the development plan shall authorize the applicant to proceed with the installation of site improvements provided all other regulatory requirements and permits are satisfied. Approval shall not authorize the sale or transfer of lots/tracts/units, or the occupancy/use, or the revision of the approved development plan. Development plan approval shall be void unless installation of improvements is in accordance with the approved development plan and/or approved revisions thereto. Development plan approval is valid for a period of one year from the date of approval; however, approved revisions shall not constitute additional time unless specified in writing by the Planning Board upon approval of said revisions. Substantial revision to a development plan requires re-application as described in § 2.06.06(A), may constitute a new validation period.

(2) Projects requiring more than one year for construction and completion may request additional time in either the application or a subsequent letter or request; however, no approval shall be granted for a period greater than two years. Projects requiring phased construction or approval for periods exceeding two years shall submit development plans for each phase or for each extended period of construction, subject to the discretion of the Board of Aldermen.

(C) As-built plans; validity and effect.

(1) A set of as-built drawings and technical data shall be prepared by the applicant and submitted to the Building Inspector and Zoning Official for review of compliance prior to occupancy and/or use of

Public Hearing

Board of Aldermen

March 1, 2023

developments. The Zoning Official shall notify the applicant within 15 days of receipt of the development plan as-built drawing and technical data, of any noncompliance or deficiency in information.

(2) As-built drawing(s) and technical data shall be kept on file at the Town Hall along with one copy of the approved development plan and any approved revisions thereto.

(3) Commercial development not in compliance with an approved development plan shall not be eligible for occupancy/use until all corrective measures are taken to satisfy the requirements herein.

(D) Sketch plan requirements and procedure.

(1) The sketch plan should be drawn to scale, preferably the scale required for development plan submittal. Required information shall include the following:

(a) Property boundaries and total acreage and square footage;

(b) Major topographical and physical features (i.e., water bodies, slopes, buildings, areas of environmental concern, streets and the like);

(c) Proposed streets, buildings and/or lot arrangement;

(d) Existing and proposed land use with brief project description including building sizes, unit sizes, lot sizes, open space, amenities and the like;

(e) Name, address and telephone number of applicant/owner and persons (FIRM) preparing the development plan;

(f) Adjacent street names, numbers and right-of-way widths; and

(g) Zoning district classification of site and surrounding properties, including those across streets.

(2) The sketch plan shall be submitted providing at least nine copies.

(E) Development plan requirements and procedure. (EXHIBITS 1 & 2)

(1) The development plan shall be drawn to scale of one inch equals 30 feet unless otherwise approved by the Planning Board. Required information may be waived and/or recommended information required at the discretion of the Planning Board, where special circumstances avail. The development plan shall be submitted providing the minimum required information and should contain all applicable recommended information:

(a) Existing and proposed topographic contours, at vertical intervals no greater than two feet, of development areas;

(b) The location, use and outline of existing and proposed buildings and structures;

(c) Square footage and total percentage of built upon area;

(d) The location of proposed open spaces;

(e) The location, name, pavement width and right-of-way width of existing streets;

(f) The location, name, pavement width, curb type, right-of-way width, pavement type, sidewalk

location and curb cuts of all proposed street and parking facilities and site improvement. (g) The location of all existing and proposed utilities including electrical, water, sewage, telephone, fiber

optic and gas facilities (including easements); all utilities must be underground;

(h) The location of all existing and proposed drainage facilities necessary to serve the site (including easements);

(i) Schedule of densities showing the number and type of units per acre;

(j) Schedule of building uses, by type, showing the number of bedrooms, the number of units and floor area;

(k) Buffer and screening devices proposed to separate uses within the development;

(I) Proposed perimeter buffers and screening devices;

(m) Proposed schedule of development for each phase of the project showing anticipated time for completion and estimated completion dates;

(n) Property line survey and acreage data;

(o) Vicinity map at a scale of one inch equals 400 feet and encompassing an area no less than one-fourth

mile in radius of the site and including:

1. Existing streets;

2. Existing watercourses and FEMA flood hazard areas; and

3. Existing land uses on the site and in the area surrounding the site.

(p) Written and graphic scale, north arrow and title;

(q) Proposed name of development;

(r) Technical report containing:

1. A description of the project including general characteristics, development concept, architectural design and amenities;

2. A general assessment of impact showing the proposed impact upon all affected utilities, transportation facilities, the environment, the local economy and local government; and

3. Engineering report to demonstrate adequacy of existing and proposed public facilities;

(s) Name, address and telephone number of the applicant and persons (FIRM) preparing the development plan;

(t) Zoning district classification of site and surrounding properties, including those across street(s);

(u) Owner names of surrounding properties;

(v) Existing driveway cuts on all adjacent properties (including those across the street(s); and

(w) Certificate of review and approval of the technical standards: (EXHIBIT 1a)

"I hereby certify that I have reviewed the plan and the plan meets or exceeds the regulations and Ordinances of the Town of North Topsail Beach.

Public Works Director	Date
Fire Marshal	Date
Police Chief	Date
Building Inspector	Date
Planning Director	Date

(2) Development plans requiring consideration by the Board of Aldermen shall be submitted in sets of nine copies for Planning Board and eight copies for the Board of Aldermen upon recommendation by the Planning Board. Applicants are encouraged to submit the eight copies for Aldermen review after receiving and incorporating comments resulting from the Planning Board's recommendation. Facilities and/or improvement proposed for dedication to the state, the county and/or the town and/or their political subdivisions shall be submitted for design approval and plan. Before constructing, detailed plans and specification, prepared by a licensed professional engineer, shall be reviewed and approved by each relevant entity in accordance with their respective policies regarding said facilities and/or improvements. Approval of the development plan does not imply or satisfy approval requirements for such facilities and/or improvements.

(F) As-built development plan requirements.

(1) The as-built development plan shall be submitted in accordance with subsection (C) above, and the following requirements.

(a) The as-built development plan shall constitute only that portion of the approved development plan proposed for occupancy and/or use at that time.

(b) An as-built development plan may be required to show or be accompanied by the following information subject to the discretion of the Planning Director:

i. Name of development;

ii. Date including the month, day and year of the original drawings and of each revision;

iii. Names and addresses of the owner of record, the applicant, the land planner, the surveyor and the engineer;

iv. Boundary lines of the development with distances accurate to hundredths of a foot and bearings of

v. Building height,

vi. Radii, central angles, tangents, length of acres and curvature of all new street lines;

vii. Lines and widths of all easements with dimensions accurate to hundredths of a foot and notation of the purpose of the easement or any limitations on its use;

viii. The location and elevation of the benchmark to which contour elevation refer;

ix. Lot number and a statement of the total number of lots. Lot lines shall be defined by distances in hundredths of a foot and in degrees to the nearest one-half of a minute, either by magnetic bearings or by angles of deflection from other lot and street lines;

x. Building setback lines with dimensions;

xi. Statement of the intended use of all commercial areas, with reference to existing or proposed restrictions;

xii. Accurate boundaries and specific designation of any area to be dedicated or reserved for public use of acquisition; and

xiii. Accurate boundaries of flood hazards areas and areas of environmental concern.

(c) Certificate of ownership and dedication:

"I hereby certify that I am the owner of the property shown and described hereon, which is located in the Corporate Limits of the Town of North Topsail Beach, and that I hereby adopt this development plan with my free consent, establish minimum building setback lines, and dedicate all streets, walks, parks, and other sites and easement to public or private use as noted. Furthermore, I hereby dedicate all sanitary sewer and water lines to the appropriate agency.

Owner Date"

(d) Certificate of survey and accuracy:

"I, ______ certify that this map was (drawn under my supervision) (deed description recorded in Book ____, page ____, etc.)(other specify); that the error of closure as calculated by latitudes and departures is 1:_; that the boundaries not surveyed are shown as broken lines platted from information found in Book ____, page and seal this _____ day of _____, 20____, A.D.

Surveyor, Date

Registration No.,

Seal

Sworn to and subscribed before me this _____ day of _____.

Notary Public Seal

(e) Certification of the approval of streets and utilities:

We hereby certify: 1) that streets, utilities, and other improvements have been installed within the Development shown and described here on in an acceptable manner and in accordance with design standards of the applicable regulations and Zoning Ordinance, Town of North Topsail Beach, North Carolina and other specification so the town: or, 2) that a security bond in the amount of \$____, case in the amount of \$____, or an irrevocable letter of credit payable upon demand by the town has been posted with the town to assure completion of all required improvements in case of default.

Date

Surveyor, Registration No., Seal Sworn to and subscribed before me this _____ day of _____ Notary Public Seal

(f) Certificate of approval of water and sewage system:

March 1, 2023

Public Hearing

I hereby certify that the water supply system and the sewage disposal system installed or planned to be installed to serve each lot or unit within the Development shown and described here on fully meets the requirements of the Onslow County Health Department.

Environmental Health Specialist Date

(g) Certificate of approval for recording:

I hereby certify that the development plan shown hereon has been found to comply with the Zoning Ordinance, Town of North Topsail Beach, North Carolina with the exception of such variances, if any, as are noted in the minutes of the Board of Adjustment at its meeting on ______ and may be recorded in the Office of Clerk of Onslow County.

Planning Director Date

(2) The as-built development plan shall be provided in a minimum of two copies, each bearing the original signatures and executions of the aforementioned applicable certifications.

(G) Design requirements. All development shall be in conformance with the following design and/or construction requirements.

(1) Private improvements. Any and all components for development not intended and/or proposed for public facilities dedication and/or public utility shall be in conformance with the following regulations.

(a) Driveway and parking facilities construction shall be in accordance with § 6.05.

(b) Water and sewer line (collection/distribution and service) construction shall be in accordance with policies and procedures established and design requirements and construction standards established by the water and sewer authorities.

(c) Buildings and their respective appurtenances shall be constructed in accordance with policies, procedures, design requirements and construction standards established herein and by the building code adopted by the town, as amended.

(d) Signs and their respective appurtenances shall be constructed in accordance with the policies, procedures, design requirements and construction, standards established in Article 8 of this ordinance. (Ord. passed 6-1-2006; Ord. passed 11-2-2011)

Exhibits

1. NORTH TOPSAIL BEACH FIRE STATION #2 DESIGN DOCUMENTS signed 1/26/2023

- a. COVER SHEET
- b. SHEET TITLE (certified)
- c. C-1.0 GENERAL NOTES
- d. C-1.1 GENERAL NOTES
- e. Ex-1 EXISTING CONDITIONS
- f. C-2.0 DEMOLITION PLAN
- g. C-2.1 SITE PLAN
- h. C-3.0 GRADING, DRAINAGE & EROSION CONTROL PLAN
- i. C-4.0 UTILITY PLAN
- j. C-5.0 DETAILS
- k. C-5.1 DETAILS
- I. C-5.2 DETAILS
- m. C-5.3 DETAILS

2. NORTH TOPSAIL BEACH FIRE STATION #2 DESIGN DOCUMENTS 2/3/2023

- a. A100 ARCHITECTURAL SITE PLAN / FLOOD PROOFING DIAGRAM
- b. A201 EXTERIOR ELEVATIONS
- c. A202 EXTERIOR ELEVATIONS
- 3. Deed 3989 Page 84
- 4. Notice for Public Hearing March 1, 2023
- 5. 2018 Appendix B
- 6. Order to Grant Flood Variance



EXHIBIT 1a

mu

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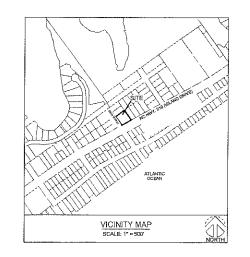
NORTH TOPSAIL BEACH FIRE STATION #2

3304 GRAY STREET NORTH TOPSAIL BEACH ONSLOW COUNTY, NORTH CAROLINA 28460

DESIGN DOCUMENTS

JANUARY 2023

FOR: NORTH TOPSAIL BEACH 2008 LOGGERHEAD CT. NORTH TOPSAIL BEACH, NC 28460



OWNER:



CERTIFICATE OF REVIEWAND APPROVAL OF THE TECHNICAL STANDARD HEREBY CERTIFY THAT HAVE REVEWED THE PLANAND THE PLAN MEETS OR EXCEEDS REGULATIONS AND DROININGES OF THE TOWN OF NORTH TOPSAIL BEACH. JATE DIFICULT DIFICULT DATE PUBLIC MORKS DIRECTOR FILE MARKEN DATE DIFICULT DIFICULT DATE DUTY DIFICULT DIFICULT DATE DATE

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT 811

CONTACT THESE UTILITIES

NORTH TOPSAIL BEACH PLANNING DEPARTMENT ATTIK DEBORAFHILL MPA, AUP, CPM, CZO PH 101032-1938 ETX.7 NCDEQ STORMWATER

ATTN: CHRISTINE HALL PH: 910.798.7335

PLURIS - SANITARY SEWER ATTN: KAARBI WILLIAMS PH: 910-216-7653 EMERGENCY DIAL 911 POLICE - FIRE - RESCUE CENTURY LINK PH: 910347-7452 SPECTRUM CABLE ATTR: STEVEGARINETTE PH: 910772-575

ATTN: WYNNE RAY PH: 910-937-7526

DUKE ENERGY PROGRESS ATTIK KEVIN LEATHERWOOD PH 510-522-5304 CENTURY LINK PH: 510-347-7452

ONSLOW WATER AND SEWER AUTHORITY - WATER

Section VII, ItemA

EXHIBIT 1b

OWNER: TOWN OF NORTH TOPSAIL BEACH 2008 LOGGERHEAD CT. NORTH TOPSAIL BEACH, NC 28460

ENGINEER (CIVIL): PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WIEMINGTON, NORTH CAROLINA 28403 ATTN: ROBERT BALLAND, P.E. (910) 791-6707

SHEET INDEX					
SHEET NUMBER	SHEET TITLE				
C-0.0	COVER SHEET				
C-1.0 & C-1.1	GENERAL NOTES				
EX-1	EXISTING CONDITIONS				
C-2,0	DEMOLITION PLAN				
C-2.1	SITE PLAN				
C-3.0	GRADING, DRAINAGE & EROSION CONTROL PLAN				
C-4.0	UTILITY PLAN				
C-5.0 - C-5.3	DETAILS				



FINAL DESIGN - ISSUED FOR CONSTRUCTION

COORDINATION NOTES

- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE TOWN OF NORTH TOPSAIL BEACH, ONSLOW COUNTY, AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS 2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- EX. CONDITIONS AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS. ELECTRONIC DEVICES. HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE 10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE
- 10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- 11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 12 THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- 13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES
- 14. ALL STREET SURFACES. DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 5. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW NO DEPARTURES FROM THE CONTRACT DOCUMENTS. SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE TOWN OF NORTH TOPSAIL BEACH, ONSLOW COUNTY, ONWASA, AND PLURIS RESPECTIVELY.
- 17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
- 18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- 19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 1. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
- 22. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

TRAFFIC NOTES

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY.
- 6. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUNDCOVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY
- CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
- 3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE. ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- 4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
- 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. PLEASE REFER TO THIS APPROVED PLAN AND PERMIT FOR FULL REQUIREMENTS
- 6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT
- 7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
- 8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED
- 9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED.
- DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- 12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
- 13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA (NO SEPARATE PAYMENT)
- 14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 3:1 MAXIMUM, AND REGRADE CENTERLINE TO PRODUCE POSITIVE DRAINAGE. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

DEMOLITION NOTES:

- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES ABANDONED UTILITIES BUILDINGS PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING
- AND GRADING AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER
- 5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
- 11. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- 12. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
- 13. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
- 14. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES: NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED; WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS

- STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE. 1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE. 2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE
- AREA WITHIN THE DESIGNATED CLEARING LIMITS. 3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE
- COMMENCING CONSTRUCTION 4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
- IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
- DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
- UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

EROSION CONTROL MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2-INCH OR GREATER RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
- SEDIMENT FENCE / SEDIMENT FENCE OUTLETS SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL, AND SPACED 6 FEET WITH EXTRA STRENGTH FABRIC AND NO WIRE BACKING. STAKE SPACING CAN BE 8 FFFT WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS (OR EXCELSIOR WATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK OR WATTLE WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS, OR IS DAMAGED.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- 5. INLET PROTECTION SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL, OR ROCK-PIPE INLETS, WHEN IT REACHES HALF-FILLED. ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.

PERMANENT SEEDING						
GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE			
BERMUDA, HULLED BERMUDA, UNHULLED	10-20 35	MARCH - AUGUST SEPT FEB.	BY SOIL TEST			
CENTIPEDE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)			
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST			
SLOPES >= 2:1 CENTIPEDE SERICEA LESPEDEZA	5 20	JAN - DEC	BY SOIL TEST			

TEMPORARY SEEDING						
GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE			
RYE GRAIN	50	OCT APR.	400 LBS/AC. 10-20-20			
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC. 10-20-20			
GERMAN or BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC. 10-20-20			
STRAW MULCH AS NEEDED	4,000					

STABILIZATION TIME FRAMES:

IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY. CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT

NC ACCESSIBILITY NOTES

- SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2) STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDI PROJECT. IN ADDITION, PARAMOUNTE ENGINEERING HAS MADE A POINT IN THESE NOTES AND DET AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY W AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIO NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BE MOVING FORWARD WITH THE WORK
- THE CONTRACTOR SHALL NOTIFY PARAMOUNTE ENGINEERING IMMEDIATELY OF ANY CONFLICT BE THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNTE ENGINE OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLA SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF SUCH CONFLICT(S)
- THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARK SPACES AND ACCESSIBLE PASSENGER LOADING ZONES: PUBLIC STREETS OR SIDEWALKS: AND PU TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- 2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITI ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- 3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
- 4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATE 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
- TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
- 6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- 7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHE MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE & 1104.2).
- 8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THA FORTY-EIGHT (48) INCHES IN WIDTH. CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN IN THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINI SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES*
- 9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALLPROVIDE PASSII SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHE SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE; OR AN INTERSECTION OF TWO (2) WA SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARM THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
- 10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANC BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
- 12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EV THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE. THE GRATE SHALL COMPL THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, A APPLICABLE LOCAL LAWS & REGULATIONS

RAMP NOTES

- ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONS
- 2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SH
- 3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING COD IDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEAS BETWEEN THE HANDRAILS.
- 4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
- LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS I ANDINGS SHALL HAVE A SL NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS W THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HA CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
- RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDIN CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- 8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED (SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
- 9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOC THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED T PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPI BE 2.0%.
- 2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAM WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- 3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SID PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).*
- 4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS W THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A NOT STEEPER THAN 2% IN ANY DIRECTION.
- 5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT I PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
- 6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
- 7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLAR
- 8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- 9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABL WARNING COMPLYING WITH 406.12 A117.1. EXTENDING THE FULL WIDTH OF THE RAMP, REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR D 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
- 10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ½ INCH WIDE BY ¼ INCH DEEP, ONE INCH CENTERS TRANSVERSE TO THE RAMP.
- 11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
- 12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEW AND NOT ON THE SIDEWALK.
- 13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN RAMP AREA.
- 14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

	PARAMOUNTE	BECKER
010 ADA	ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403	$\frac{\text{MORGAN}}{\text{G R O U P}}$
NG THE TAILS, /ITH THE E/ANSI DNS ARE EFORE	(910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846 - SC License #: 003542	ARCHITECTURE ENGINEERING
TWEEN	NC ACCESSIBILITY NOTES CONTD.	North Carolina 3333 Jaeckle Drive, Suite 120
		Wilmington, NC 28403 910.341.7600
ANY	 ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE 	Maryland 312 West Main St, Suite 300 Salisbury, MD 21801 410.546.9100 <u>Delaware</u> 309 S Governors Ave Dover, DE 19904
KING IBLIC TIES,	 OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE. 3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FORACCESSIBLE ROUTES. MARKED 	302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713
G SLOPE	CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.	302.369.3700 www.beckermorgan.com
ER THAN	 TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE. 	Town of
REE OF	6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.	NORTH TOPSAIL BEACH FOUNDED IN 1990 Naturis Tranquil Beauty NORTH CAROLINA
ES E 1104.1	 ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPTFOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES. 	Pontes in 100 / Graces Josephic Dealog Horn Onter
AN	8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.	EXHIBIT 1c
D (42) MAY BE MUM*	 PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. 	
NG	10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.	
ER A ALKING MS OF	11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.	
THE E/ ANSI	12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE	>
E SHALL	ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.	
VENT Y WITH ND	13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.	85
IDERED	 ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT). 	
IALL BE	PASSENGER LOADING ZONE NOTES: 1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.	T31591
E SURED	 PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE. 	Sert p. BALLANIN 09/02/2022
OPE	3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.	PROJECT TITLE
VIDE AS (60) AVE A	4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.	NORTH TOPSAIL
	 FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. 	BEACH FIRE
NG THE NC	6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.	STATION #2 3304 GRAY STREET
ON EACH	ACCESSIBLE ENTRANCE NOTES:	NORTH TOPSAIL BEACH, NC 28460
DRS	DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.	DESIGN
ГО	 ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE. 	NOT FOR CONSTRUCTION NOT FOR PERMITS
PE SHALL	GENERAL STORM SEWER NOTES:	12/09/22
E CURB MPS TO	 ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF NORTH TOPSAIL BEACH REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS. 	GENERAL NOTES
DES, IF S	 BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS. 	
g Shall Vide As Slope	ROOF DRAIN NOTE:	
IS NOT	 PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM. 	
	EXISTING UTILITY NOTES:	
S AT RED	 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING. 	ISSUE BLOCK
E	2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO	
DO THE	BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.	
E (1)		
		Mark Date Description
WALK	\$:461	PROJECT NO: 22242.PE DATE: 01/26/2022
I THE		DATE: 01/26/2022 SCALE: N.T.S. DRAWN BY: RPB PROJ MGR: RPB



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- L.	GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FO							
	THE NCG01 CONSTRUCTION GENERAL PERMIT							
	Implementing the details and specifications on this plan sheet will res activity being considered compliant with the Ground Stabilization and sections of the NCG01 Construction General Permit (Sections E and F, permittee shall comply with the Erosion and Sediment Control plan ap delegated authority having jurisdiction. All details and specifications s may not apply depending on site conditions and the delegated author							
ſ	SECTION E: GROUND STABILIZATION							
L	SECTION L. GROOND STAT	BILIZATION						
I	Required Ground Stabilization Timeframes							
	Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe					
-			1					

51	te Area Description	days after ceasing land disturbance	Timename
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	Non
(b)	High Quality Water (HQW) Zones	7	Non
(c)	Slopes steeper than 3:1	7	If slopes are 10' or les not steeper than 2:1, allowed
(d)	Slopes 3:1 to 4:1	14	 -7 days for slopes greelength and with slope -7 days for perimeter ditches, perimeter slozones -10 days for Falls Lake
(e)	Areas with slopes flatter than 4:1	14	 7 days for perimeter ditches, perimeter slo 10 days for Falls Lake there is zero slope

Note: After the permanent cessation of construction activities, any areas ground stabilization shall be converted to permanent ground stabilizatio practicable but in no case longer than 90 calendar days after the last land activity. Temporary ground stabilization shall be maintained in a manner surface stable against accelerated erosion until permanent ground stabil

GROUND STABILIZATION SPECIFICATION Stabilize the ground sufficiently so that rain will not dislodge the soil. Us techniques in the table below: Temporary Stabilization Permanent Stab • Temporary grass seed covered with straw or • Permanent grass seed cover other mulches and tackifiers other mulches and tackifiers Hydroseeding Geotextile fabrics such as per Rolled erosion control products with or reinforcement matting Hydroseeding without temporary grass seed Appropriately applied straw or other mulch Shrubs or other permanent Plastic sheeting with mulch Uniform and evenly distribut sufficient to restrain erosion Structural methods such as c retaining walls Rolled erosion control produced POLYACRYLAMIDES (PAMS) AND FLOCCULANTS Select flocculants that are appropriate for the soils being exposed construction, selecting from the NC DWR List of Approved PAMS/F 2. Apply flocculants at or before the inlets to Erosion and Sediment (3. Apply flocculants at the concentrations specified in the NC DWR I PAMS/Flocculants and in accordance with the manufacturer's insti 4. Provide ponding area for containment of treated Stormwater befo offsite. 5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made durin holiday periods, and no individual-day rainfall i available, record the cumulative rain measurement attended days (and this will determine if a site needed). Days on which no rainfall occurred shall to "zero." The permittee may use another rain-mor approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 Identification of the measures inspected, Date and time of the inspection, Name of the person performing the inspection, Indication of whether the measures were operati properly, Description of maintenance needs for the measures.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 Identification of the discharge outfalls inspected, Date and time of the inspection, Name of the person performing the inspection, Evidence of indicators of stormwater pollution su sheen, floating or suspended solids or discoloratic Indication of visible sediment leaving the site, Description, evidence, and date of corrective actic
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 If visible sedimentation is found outside site limits, the of the following shall be made: Actions taken to clean up or stabilize the sediment the site limits, Description, evidence, and date of corrective actions. An explanation as to the actions taken to control releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedime stream has visible increased turbidity from the const activity, then a record of the following shall be made 1. Description, evidence and date of corrective actic 2. Records of the required reports to the appropriat Regional Office per Part III, Section C, Item (2)(a) of of this permit.
(6) Ground stabilization measures	After each phase of grading	 The phase of grading (installation of perimeter E8 measures, clearing and grubbing, installation of st drainage facilities, completion of all land-disturbin activity, construction or redevelopment, permane ground cover). Documentation that the required ground stabiliza measures have been provided within the required timeframe or an assurance that they will be provi soon as possible.

COMPLIANCE WITH	EQUIPMENT AND VEHICLE MAINTENANCE	
	1. Maintain vehicles and equipment to prevent discharge of fluids.	
t in the construction		O O Sandbags (TYP.) Index constrained Index constrained Index constrained Index constrained Index constrained Sandbags (TYP.) Index constrained Index constrained Sandbags (TYP.)
Aaterials Handling	2. Provide drip pans under any stored equipment.	
espectively). The	3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the	
	project.	
roved by the	4. Collect all spent fluids, store in separate containers and properly dispose as	
own on this sheet	hazardous waste (recycle when possible).	SANDBAGS (TYP)-// B
y having jurisdiction.		SECTION A-A
	5. Remove leaking vehicles and construction equipment from service until the problem	NOTES.
	has been corrected.	CONCRETE SIGNAGE I.ACTUAL LOCATION DETERMINED IN FIELD
	6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products	WASHOUL NOTING DEVICE 2. THE CONCRETE WASHOUT STRUCTURES SHALL CONCRETE WASHOUT NOTING DEVICE MAINTAINED WHEN THE LIQUID AND/OR SOLID NOTING DEVICE CONCRETE WASHOUT STRUCTURES SHALL CONCRETE SHALL CONCRETE SHALL CONCRETE SHALL STRUCTURES SHALL CONCRETE SHALL STRUCTURES SHALL ST
	to a recycling or disposal center that handles these materials.	REACHES 75% OF THE STRUCTURES CAPACITY. (19 AC4 MINL) PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM 12 INCHES OF REREBOARD.
		PLAN 3.CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARY MARKED WITH SIGNAGE NOTING DEVICE. PLAN 3.CONCRETE WASHOUT STRUCTURE NEEDS TO BE
variations		CLEARY MARKED WITH SIGNAGE NOTING DEVICE. BELOW GRADE WASHOUT STRUCTURE ABOVE GRADE WASHOUT STRUCTURE
	LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE	NOTO SOLLE NOTO SOLLE NOTO SOLLE
	1. Never bury or burn waste. Place litter and debris in approved waste containers.	
	2. Provide a sufficient number and size of waste containers (e.g dumpster, trash	CONCRETE WASHOUTS
. II	receptacle) on site to contain construction and domestic wastes.	
		1. Do not discharge concrete or cement slurry from the site.
	3. Locate waste containers at least 50 feet away from storm drain inlets and surface	2. Dispose of, or recycle settled, hardened concrete residue in accordance with local
	waters unless no other alternatives are reasonably available.	and state solid waste regulations and at an approved facility.
· []	4. Locate waste containers on areas that do not receive substantial amounts of runoff	3. Manage washout from mortar mixers in accordance with the above item and in
· · · · · ·	from upland areas and does not drain directly to a storm drain, stream or wetland.	addition place the mixer and associated materials on impervious barrier and within
s in length and are		
14 days are		lot perimeter silt fence.
	provide secondary containment. Repair or replace damaged waste containers.	4. Install temporary concrete washouts per local requirements, where applicable. If an
iter than 50' in	6. Anchor all lightweight items in waste containers during times of high winds.	alternate method or product is to be used, contact your approval authority for
s steeper than 4:1	7. Empty waste containers as needed to prevent overflow. Clean up immediately if	review and approval. If local standard details are not available, use one of the two
dikes, swales,	containers overflow.	types of temporary concrete washouts provided on this detail.
pes and HQW	8. Dispose waste off-site at an approved disposal facility.	5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk
		sections. Stormwater accumulated within the washout may not be pumped into or
	9. On business days, clean up and dispose of waste in designated waste containers.	discharged to the storm drain system or receiving surface waters. Liquid waste must
Watershed		be pumped out and removed from project.
dikes, swales,	PAINT AND OTHER LIQUID WASTE	
bes and HQW Zones	1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.	6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it
Watershed unless	2. Locate paint washouts at least 50 feet away from storm drain inlets and surface	can be shown that no other alternatives are reasonably available. At a minimum,
watershed unless	waters unless no other alternatives are reasonably available.	install protection of storm drain inlet(s) closest to the washout which could receive
		spills or overflow.
as with temporary	3. Contain liquid wastes in a controlled area.	7. Locate washouts in an easily accessible area, on level ground and install a stone
on as soon as	4. Containment must be labeled, sized and placed appropriately for the needs of site.	entrance pad in front of the washout. Additional controls may be required by the
nd disturbing	5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from	approving authority.
er to render the	construction sites.	8. Install at least one sign directing concrete trucks to the washout within the project
ilization is achieved.		limits. Post signage on the washout itself to identify this location.
	PORTABLE TOILETS	
	1. Install portable toilets on level ground, at least 50 feet away from storm drains,	9. Remove leavings from the washout when at approximately 75% capacity to limit
se one of the	streams or wetlands unless there is no alternative reasonably available. If 50 foot	overflow events. Replace the tarp, sand bags or other temporary structural
		components when no longer functional. When utilizing alternative or proprietary
	offset is not attainable, provide relocation of portable toilet behind silt fence or place	products, follow manufacturer's instructions.
lization	on a gravel pad and surround with sand bags.	10. At the completion of the concrete work, remove remaining leavings and dispose of
red with straw or	2. Provide staking or anchoring of portable toilets during periods of high winds or in high	in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance
s	foot traffic areas.	caused by removal of washout.
ermanent soil	3. Monitor portable toilets for leaking and properly dispose of any leaked material.	,
	Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace	
	with properly operating unit.	
plantings covered	· · · · · · · · · · · · · · · · · · ·	HERBICIDES, PESTICIDES AND RODENTICIDES
		1. Store and apply herbicides, pesticides and rodenticides in accordance with label
ted ground cover	EARTHEN STOCKPILE MANAGEMENT	restrictions.
ו	1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least	
concrete, asphalt or	50 feet away from storm drain inlets, sediment basins, perimeter sediment controls	2. Store herbicides, pesticides and rodenticides in their original containers with the
	and surface waters unless it can be shown no other alternatives are reasonably	label, which lists directions for use, ingredients and first aid steps in case of
ucts with grass seed	available.	accidental poisoning.
<u> </u>		3. Do not store herbicides, pesticides and rodenticides in areas where flooding is
	2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feat from the tag of stockpile	possible or where they may spill or leak into wells, stormwater drains, ground water
	five feet from the toe of stockpile.	or surface water. If a spill occurs, clean area immediately.
during	3. Provide stable stone access point when feasible.	4. Do not stockpile these materials onsite.
Flocculants.	4. Stabilize stockpile within the timeframes provided on this sheet and in accordance	
Control Measures.	with the approved plan and any additional requirements. Soil stabilization is defined	
List of Approved	as vegetative, physical or chemical coverage techniques that will restrain accelerated	
tructions.	erosion on disturbed soils for temporary or permanent control needs.	HAZARDOUS AND TOXIC WASTE
		1. Create designated hazardous waste collection areas on-site.
ore discharging		2. Place hazardous waste containers under cover or in secondary containment.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		SELF-		
below. When a personnel to be which it is safe greater than 1.0 performed upon	are required duri dverse weather o in jeopardy, the i to perform the ins 0 inch occurs outsi n the commencem	ng normal business hours in accordance with the table r site conditions would cause the safety of the inspection nspection may be delayed until the next business day on pection. In addition, when a storm event of equal to or de of normal business hours, the self-inspection shall be nent of the next business day. Any time when inspections e Inspection Record.	approved E&SC plan must be kept up-to-	pproved deviation shall be kept on the site. The date throughout the coverage under this permit. SC plan shall be documented in the manner	SECTION C: REPORTING 1. Occurrences that must Permittees shall report (a) Visible sediment de (b) Oil spills if: • They are 25 gallo	
Inspect (1) Rain gauge maintained in good working order	Frequency (during normal business hours) Daily	Inspection records must include: Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un- attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device	Item to Document (a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Documentation Requirements Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.	 They are less that They cause sheer They are within 1 (a) Releases of hazardo of the Clean Water (Ref: 40 CFR 302.4) 	
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 approved by the Division. 1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 	 (b) A phase of grading has been completed. (c) Ground cover is located and installed in accordance with the approved E&SC 	Initial and date a copy of the approved E&SCPlan or complete, date and sign an inspectionreport to indicate completion of theconstruction phase.Initial and date a copy of the approved E&SCPlan or complete, date and sign an inspection	(b) Anticipated bypass(c) Noncompliance wit environment.	
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 Description, evidence, and date of corrective actions taken. Identification of the discharge outfalls inspected, Date and time of the inspection, Name of the person performing the inspection, Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, Indication of visible sediment leaving the site, 	Plan. (d) The maintenance and repair requirements for all E&SC Measures have been performed.	report to indicate compliance with approved ground cover specifications. Complete, date and sign an inspection report.	2. Reporting Timeframes After a permittee becouthe appropriate Divisio other requirements list reported to the Divisior	
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 Description, evidence, and date of corrective actions taken. If visible sedimentation is found outside site limits, then a record of the following shall be made: Actions taken to clean up or stabilize the sediment that has left the site limits, Description, evidence, and date of corrective actions taken, and An explanation as to the actions taken to control future 	(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.	Occurrence Reported to the Division 0.1 0.1	
 (5) Streams or wetlands onsite or offsite (where accessible) (6) Ground stabilization measures 	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours After each phase of grading	 releases. If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: Description, evidence and date of corrective actions taken, and Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). Documentation that the required ground stabilization measures have been provided within the required time formed activity. 	 site and available for agency inspectors at all Division provides a site-specific exemption requirement not practical: (a) This general permit as well as the centric of the sequired observations on the line a similar inspection form that included the sequired observation form that included the sequired the sequired observation form that included the sequired the sequence of the		(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	
NOTE: The rai	n inspection reset	timeframe or an assurance that they will be provided as soon as possible. s the required 7 calendar day inspection requirement.	shown to provide equal access and u (c) All data used to complete the Notice	u of the required paper copies will be allowed if atility as the hard-copy records. e of Intent and older inspection records shall be rs after project completion and made available	(c) Anticipated (c) Anticipated bypasses [40 CFR 122.41(m)(3)] (d) Unanticipated bypasses [40 CFR 122.41(m)(3)] (e) Noncompliance with the conditions of this permit that may endanger health or the environment[40	

EFFECTIVE: 04/01/19

PART III LF-INSPECTION, RECORDKEEPING AND REPORTING

3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

ust be reported

ort the following occurrences:

- t deposition in a stream or wetland.
- allons or more,
- than 25 gallons but cannot be cleaned up within 24 hours,
- neen on surface waters (regardless of volume), or
- in 100 feet of surface waters (regardless of volume).
- ardous substances in excess of reportable quantities under Section 311 ter Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA 2.4) or G.S. 143-215.85.
- asses and unanticipated bypasses.
- with the conditions of this permit that may endanger health or the
- es and Other Requirements

comes aware of an occurrence that must be reported, he shall contact sion regional office within the timeframes and in accordance with the listed below. Occurrences outside normal business hours may also be sion's Emergency Response personnel at (800) 662-7956, (800) 33-3300.

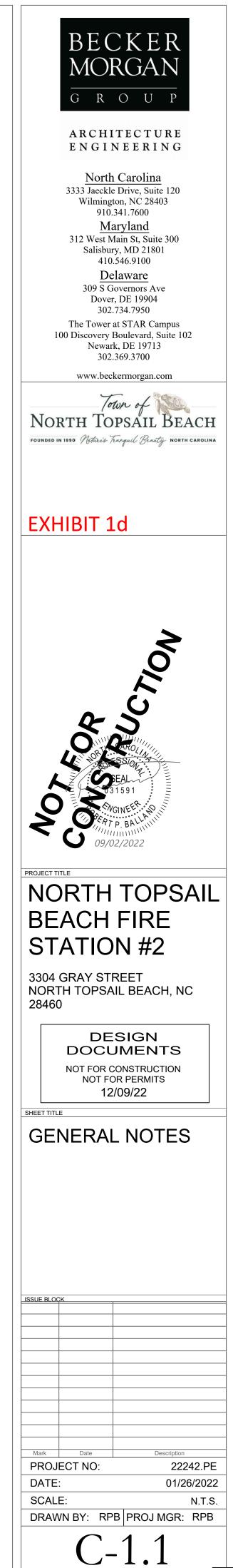
currence	Reporting Timeframes (After Discovery) and Other Requirements
Visible sediment	• Within 24 hours, an oral or electronic notification.
position in a	 Within 7 calendar days, a report that contains a description of the
eam or wetland	sediment and actions taken to address the cause of the deposition.
	Division staff may waive the requirement for a written report on a
	case-by-case basis.
	 If the stream is named on the <u>NC 303(d) list</u> as impaired for sediment-
	related causes, the permittee may be required to perform additional
	monitoring, inspections or apply more stringent practices if staff
	determine that additional requirements are needed to assure compliance
	with the federal or state impaired-waters conditions.
Oil spills and	Within 24 hours, an oral or electronic notification. The notification
ease of	shall include information about the date, time, nature, volume and
zardous	location of the spill or release.
ostances per Item	
)-(c) above	
Anticipated	 A report at least ten days before the date of the bypass, if possible.
passes [40 CFR	The report shall include an evaluation of the anticipated quality and
2.41(m)(3)]	effect of the bypass.
Unanticipated	 Within 24 hours, an oral or electronic notification.
passes [40 CFR	 Within 7 calendar days, a report that includes an evaluation of the
2.41(m)(3)]	quality and effect of the bypass.
Noncompliance	Within 24 hours, an oral or electronic notification.
h the conditions	• Within 7 calendar days, a report that contains a description of the
this permit that	noncompliance, and its causes; the period of noncompliance,
iy endanger	including exact dates and times, and if the noncompliance has not
alth or the	been corrected, the anticipated time noncompliance is expected to
/ironment[40	continue; and steps taken or planned to reduce, eliminate, and
R 122.41(l)(7)]	prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6).
	 Division staff may waive the requirement for a written report on a
	case-by-case basis.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



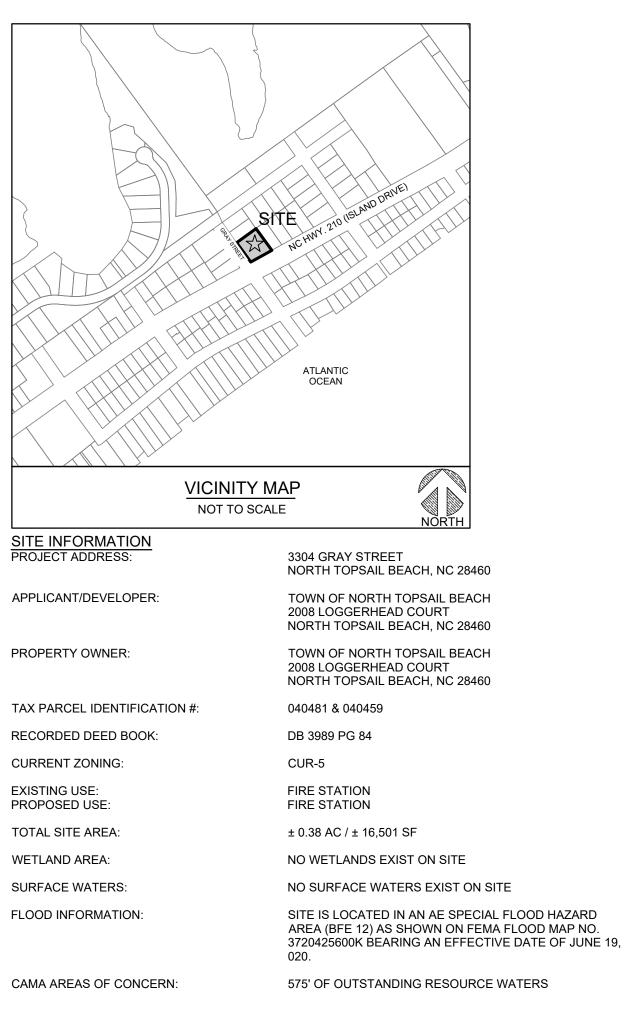
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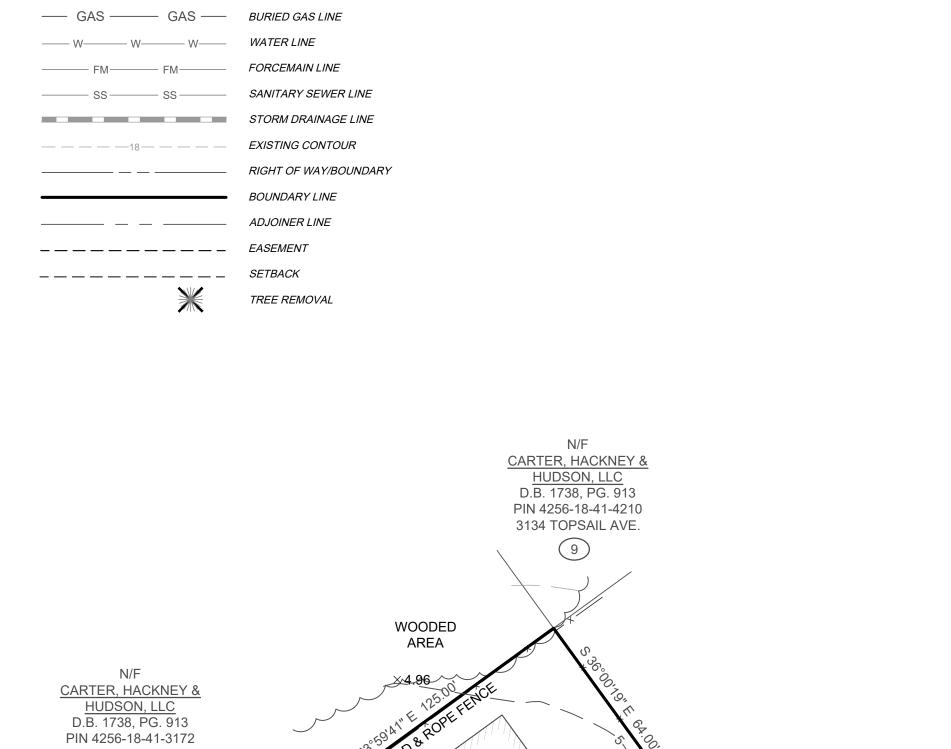
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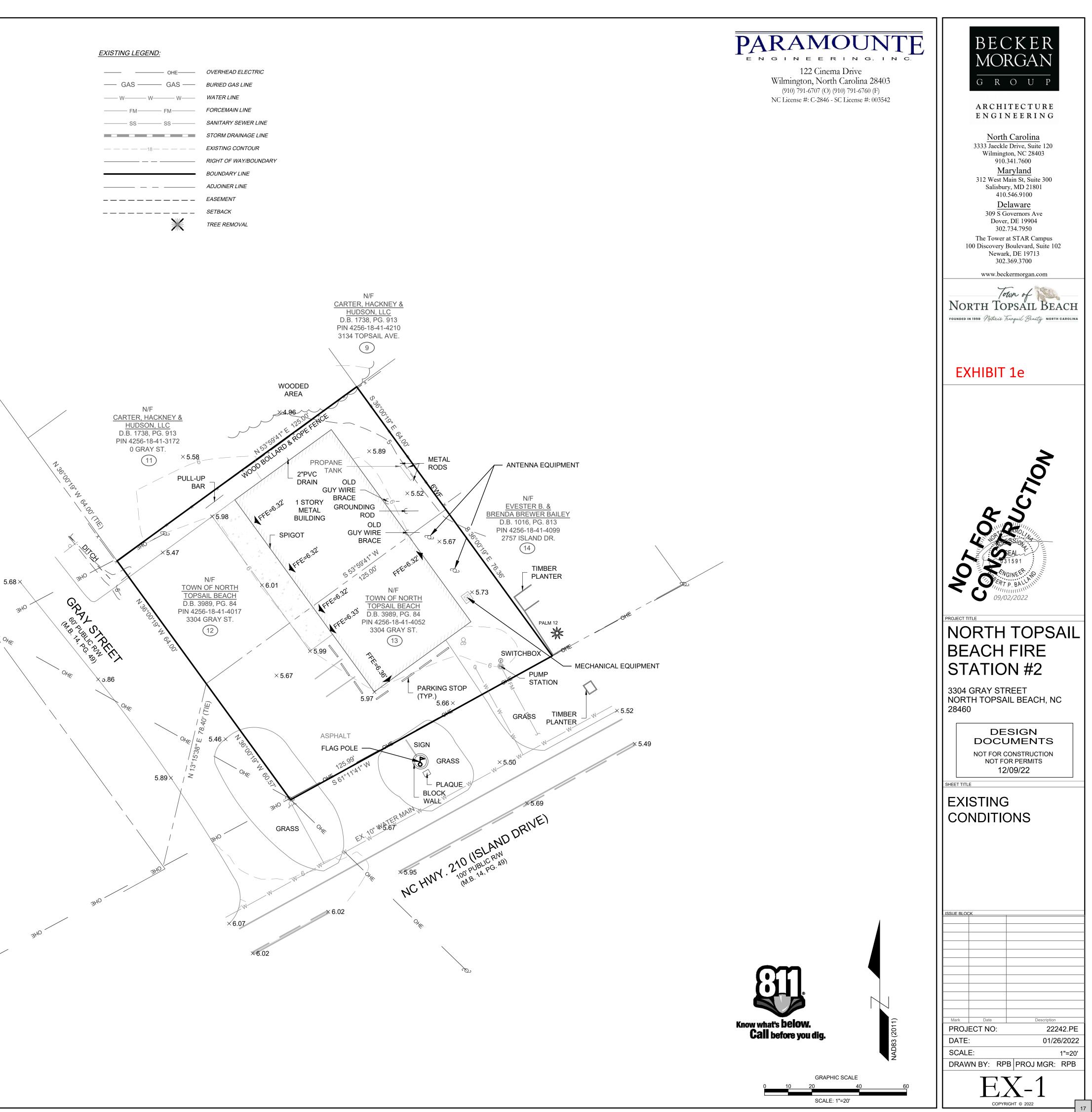


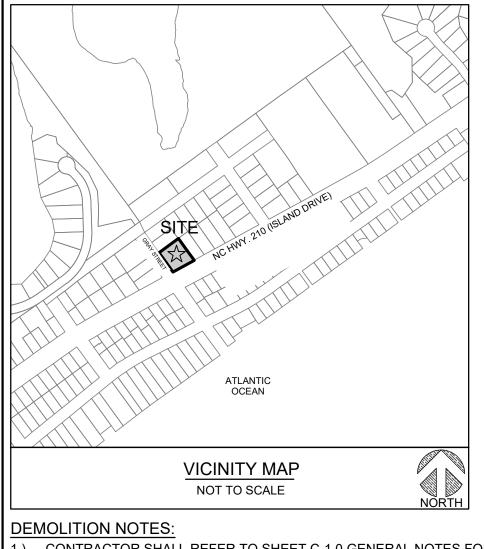


SOILS 1. ALL SOILS ON THE SITE ARE TYPE NEWHAN-COROLLA-URBAN, ACCORDING TO ONSLOW COUNTY WEB DATA.





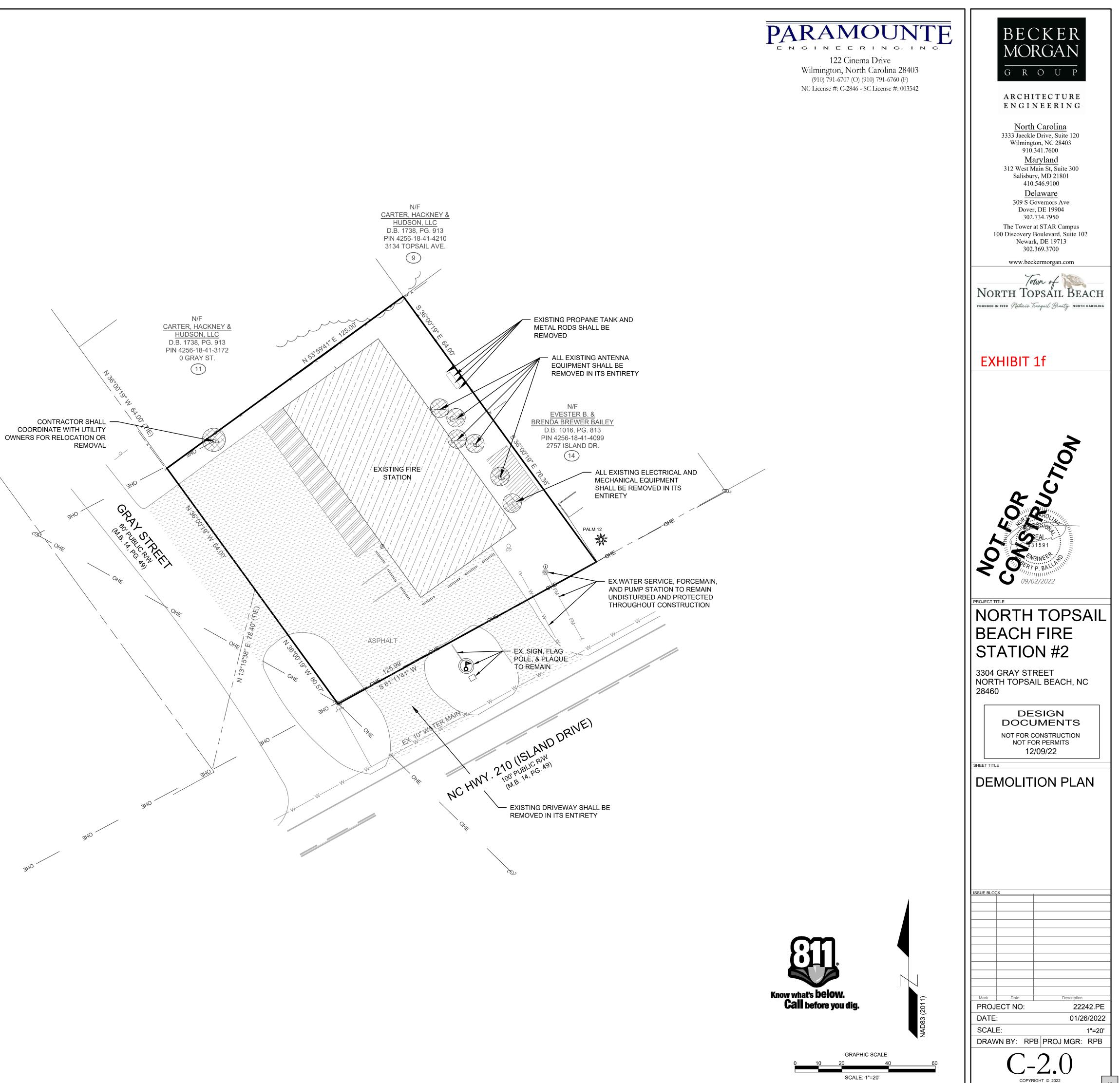




I.) CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.

- 2.) CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO GRAY STREET OR NC HIGHWAY 210 WITHOUT THE WRITTEN PERMISSION OF THE TOWN OF NORTH TOPSAIL BEACH OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AS APPROPRIATE.
- 3.) ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS' RULES AND REGULATIONS.
- 4.) CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY OWNERS/PROVIDERS FOR RELOCATION AND/OR DEMOLITION REQUIRED.

SYMBOLS LEGEND			
	EXISTING CONCRETE TO BE REMOVED		
	EXISTING ASPHALT TO BE REMOVED		
	EXISTING ASPHALT TO BE REMOVED ONLY. BASE TO REMAIN		
	EXISTING STORM STRUCTURE TO BE REMOVED		
	EXISTING WATER & SEWER SERVICES TO BE REMOVED		
	EXISTING TRANSFORMER/ SIGN/LIGHT/PEDESTAL/UTILITY POLE/ELECTRICAL/MECHANICAL TO BE REMOVED		
	EXISTING FENCE TO BE REMOVED		
	TREE PROTECTION FENCING		
Χ	EXISTING TREE/SHRUBS TO BE REMOVED		
	EXISTING BUILDING/STRUCTURE TO BE REMOVED		
	EXISTING CURBING TO BE REMOVED		
11111111	EXISTING UTILITY LINE TO BE REMOVED		

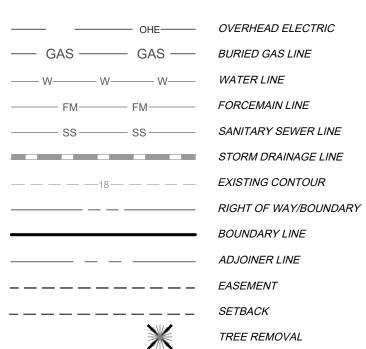


18

	SITE NC HNN 20 USL		
	ALE	NORTH	
SITE INFORMATION PROJECT ADDRESS:	3304 GRAY S		
APPLICANT/DEVELOPER:	TOWN OF NO 2008 LOGGE	SAIL BEACH, NC 28460 DRTH TOPSAIL BEACH RHEAD COURT SAIL BEACH, NC 28460	
PROPERTY OWNER:			
TAX PARCEL IDENTIFICATION #:	040481 & 040	0459	
RECORDED DEED BOOK:	DB 3989 PG 8	PG 84	
CURRENT ZONING:	CUR-5		
EXISTING USE: PROPOSED USE:	FIRE STATIO FIRE STATIO		
TOTAL SITE AREA:	± 0.38 AC / ±	16,501 SF	
WETLAND AREA:	NO WETLANI	DS EXIST ON SITE	
SURFACE WATERS:	NO SURFACI	E WATERS EXIST ON SITE	
FLOOD INFORMATION:	NFORMATION: SITE IS LOCATED IN AN AE SPECIAL FLOOD HAZARD AREA (BFE 12) AS SHOWN ON FEMA FLOOD MAP NO. 3720425600K BEARING AN EFFECTIVE DATE OF JUNE 020.		
CAMA AREAS OF CONCERN:	575' OF OUT:	STANDING RESOURCE WATERS	
DIMENSIONAL REQUIREMENTS			
R-5 MAXIMUM LOT COVERAGE:	REQUIRED 30% (4,950 S	PROVIDED F) 82% (13,556 SF / 16,501)	
MINIMUM FRONT SETBACK (GRAY ST): MINIMUM REAR SETBACK:	20' 10'	20.6'+ 10.2'+	
MINIMUM INTERIOR SIDE SETBACK: MINIMUM CORNER LOT SIDE SETBACK:	8' 15'	8'+ 15.1'+	
MAXIMUM BUILDING HEIGHT:	48'	43' (2 STORIES)	
		R EMPLOYEE PLUS 1 SPACE FOR EACH 5 E LARGEST ASSEMBLY ROOM	
PARKING SPACES PROVIDED:	7 SPACES		
HANDICAP PARKING REQUIRED: 1 SPACE			
 HANDICAP PARKING REQUIRED: HANDICAP PARKING PROVIDED: <u>SOILS</u> ALL SOILS ON THE SITE ARE TYPE NE COUNTY WEB DATA. IMPERVIOUS INFORMATION TOTAL EXISTING ON-SITE IMPERVIOUS TOTAL ON-SITE PROPOSED IMPERVIO DIFFERENCE (PROPOSED - EXISTING) 	1 SPACE WHAN-COROLLA- S AREA: DUS AREA:	URBAN, ACCORDING TO ONSLOW 12,157 SF <u>11,968 SF</u> -189 SF	
TOTAL ON-SITE PERVIOUS CONCRETE	E AREA:	1,588 SF	
	TOTAL EXISTING OFF-SITE IMPERVIOUS AREA: TOTAL PROPOSED OFF-SITE IMPERVIOUS AREAS: DIFFERENCE (PROPOSED - EXISTING) =		

- ARE TO BE THERMOPLASTIC AND MEET TOWN AND/ OR NCDOT STANDARDS.
 ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 THERE WILL BE NO SOLID WASTE DISPOSAL ON SITE.





PROPOSED LEGEND:

x x
W W
FM FM
SS SS

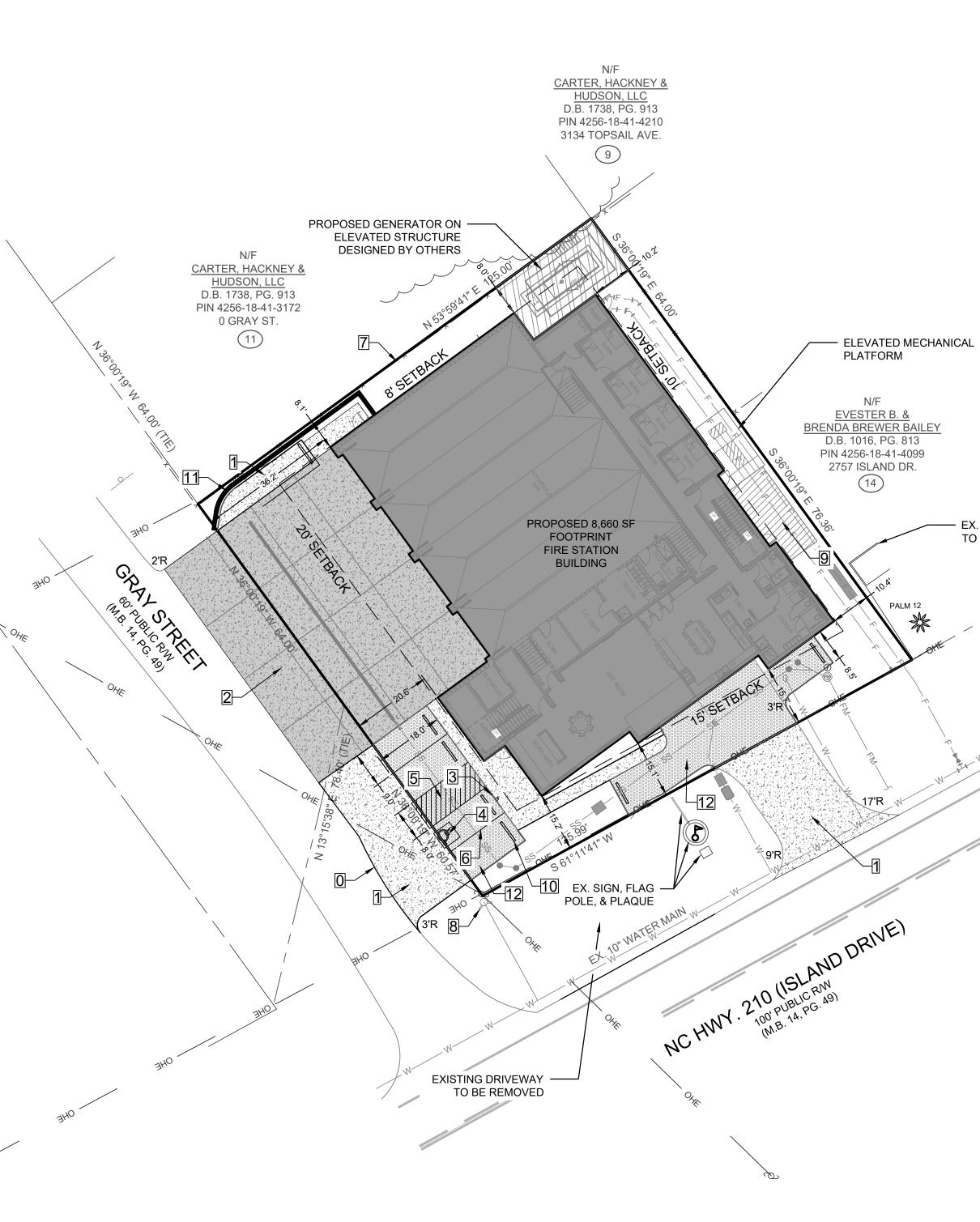
FENCING, TYPE AS SPECIFIED

WATER LINE FORCEMAIN LINE

SANITARY SEWER LINE

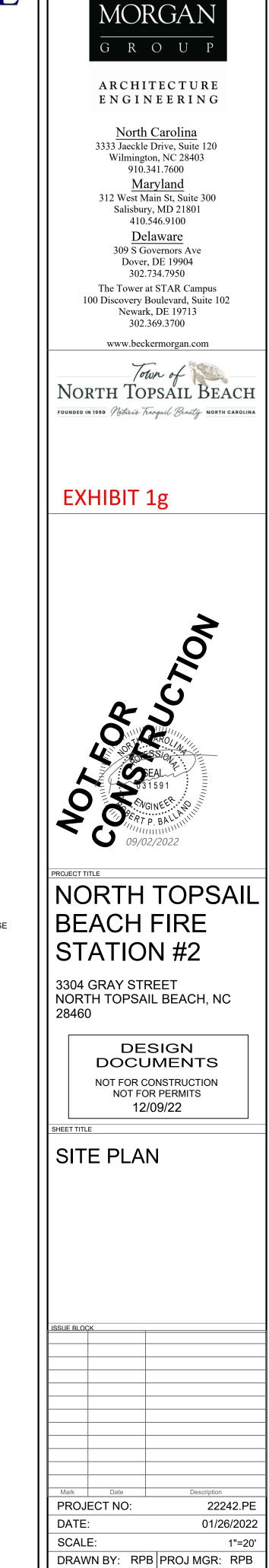
CONCRETE

PERVIOUS CONCRETE



PARAMOUNTE

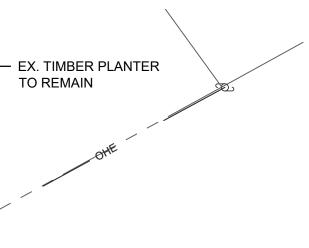
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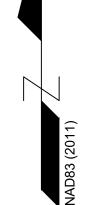
BECKER



KEY NOTES:

- 0 EDGE OF EXISTING ROAD
- 1 LIGHT DUTY CONCRETE PAVING REFER TO DETAIL
- 2 <u>HEAVY DUTY CONCRETE PAVING</u> REFER TO DETAIL
- 3 HANDICAP PARKING SIGN POST MOUNTED REFER TO DETAIL
- 4 HANDICAP PARKING SYMBOL REFER TO DETAIL
- 5 HANDICAP ACCESS UNLOADING ZONE SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- 6 <u>STRIPING</u> PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT WHITE (2 COATS).
- 7 EXISTING WOOD BOLLARD & ROPE FENCE
- 8 FIRE HYDRANT REFER TO UTILITY PLAN
- 9 WOOD PLATFORM
- 10 WHEEL STOP REFER TO DETAIL
- 11 SEGMENTAL BLOCK RETAINING WALL DESIGNED BY OTHERS
- 12 PERVIOUS CONCRETE PAVING REFER TO DETAIL





GRAPHIC SCALE

SCALE: 1"=20'

LEGEND: EXISTING CONTOUR - - - 16 - - - -PROPOSED CONTOUR _____ 29 _____ EG 25.05 — EXISTING SPOT ELEVATION EP 25.05 — PROPOSED EDGE OF PAVEMENT TS/SW 25.05 — PROPOSED SIDEWALK ELEVATION PG 25.05 — PROPOSED GRADE TW 25.05 — PROPOSED TOP OF WALL BW 25.05 — PROPOSED BOTTOM OF WALL TC 25.05 — PROPOSED TOP OF CURB INLET PROTECTION **___** LIMITS OF DISTURBANCE _____ LOD _____ SILT FENCE _____ SF _____ TREE PROTECTION FENCING _____O_____

SLOPE

DRAINAGE INLET LABEL

- SPOT GRADE LEGEND:
- CI = CURB INLET DCB = DOUBLE CATCH BASIN
- DI = DROP INLET
- DDI = DOUBLE DROP INLET YI = YARD INLET
- MH = STORM MANHOLE RMH = IN-LINE DRAIN
- JB = JUNCTION BOX
- BC = BOTTOM OF CURB ELEVATION
- TC = TOP OF CURB ELEVATION GC = GUTTER CURB (FLOW LINE) ELEVATION
- CC = CURB CUT (FLUME) ELEVATION PG = PROPOSED GRADE (GROUND)
- GVL = PROPOSED GRAVEL GRADES PV = PROPOSED PAVEMENT
- EP = EDGE OF PAVEMENT
- EG = EXISTING GRADE TP = TOP CONCRETE PAD
- FFE = FINISHED FLOOR ELEVATION
- HP = HIGH POINT ELEVATION LP = LOW POINT ELEVATION
- TS = TOP OF WALK (SIDEWALK) ELEVATION
- DG = DITCH GRADE ELEVATION CL = CENTERLINE
- INV = INVERT FES = FLARED END SECTION
- TWL = TOP OF WALL ELEVATION
- BWL = BOTTOM OF WALL ELEVATION (EG) = EXISTING GRADE (XX) = EXISTING ELEVATIONS, TYP.

- EROSION CONTROL NOTES:
- 1.) NO TEMPORARY GRAVEL CONSTRUCTION ENTRANCE IS NEEDED IF EXISTING ASPHALT REMAINS DURING BUILDING CONSTRUCTION, UNLESS SEDIMENT IS LEAVING THE SITE, THEN CONTRACTOR MUST INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PER DETAIL.
- 2.) IF ANY EXISTING STORMWATER DROP INLETS ARE FOUND ON THE PROPERTY OR IN SURROUNDING RIGHT OF WAY, INLET PROTECTION SHALL BE INSTALLED DURING CONSTRUCTION ACTIVITIES.

GRADING NOTES:

 \rightarrow

(CI-202)

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
- 2.) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

ASPHALT AREA NOTE:

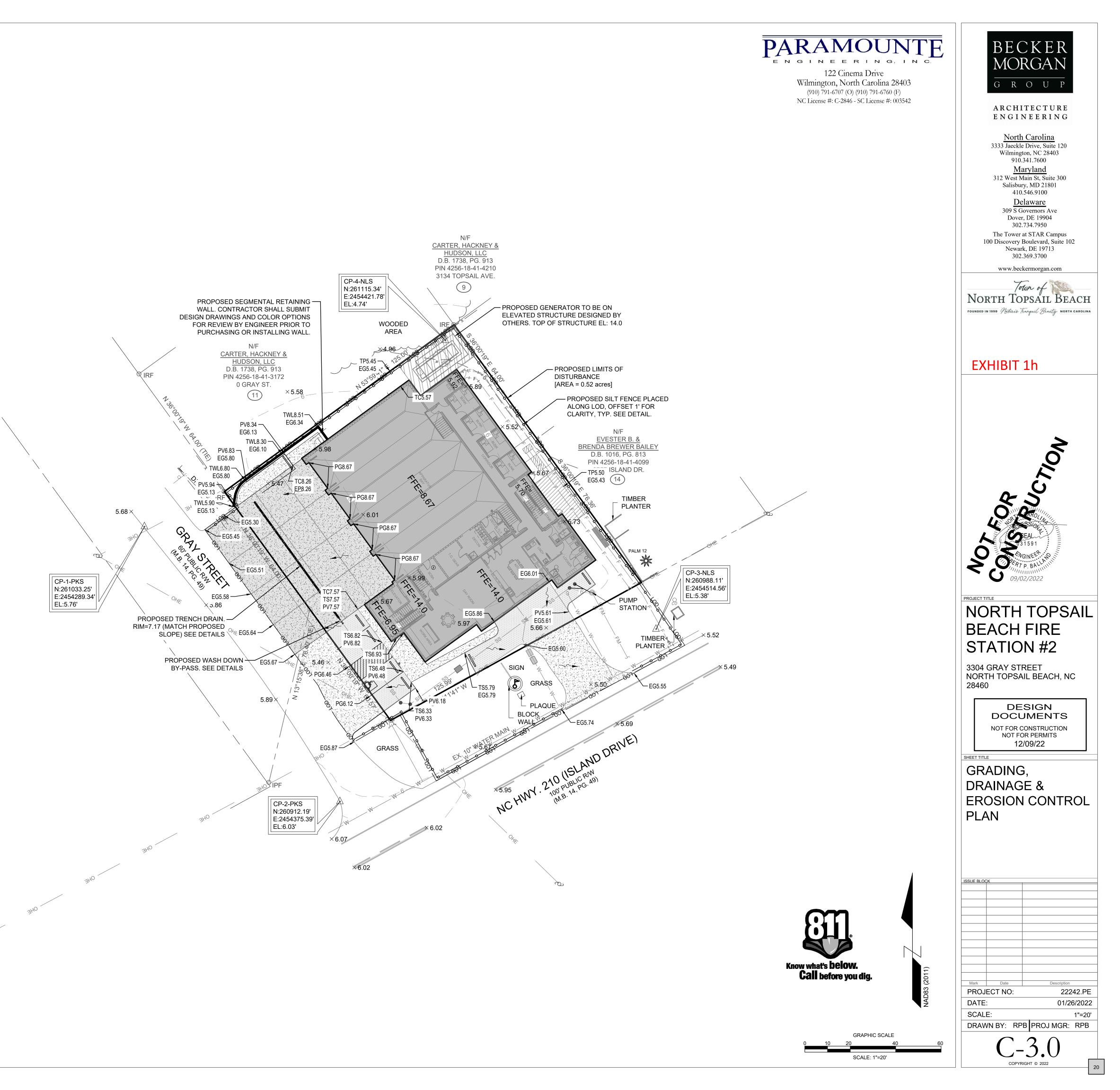
1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

BUILDING PAD NOTE:

1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

DRAINAGE NOTES:

- 1.) DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES AS PERMITTED WITH THE STATE AND LOCAL MUNICIPALITY.
- 2.) ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS THE APPROVED PLANS SHOW OTHERWISE.
- 3.) NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
- 4.) ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS.
- 5.) ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1/2 INCH BELOW EOP.
- 6.) MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- 7.) PROPOSED BUILDING SHALL HAVE SPLASH PADS AT EACH DOWNSPOUT LOCATION UNLESS IT DRAINS TO AN IMPERVIOUS SURFACE.
- 8.) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE TO MATCH PROPOSED GRADES.
- 9.) THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR ADS WATERTIGHT N-12 HDPE PIPE). EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.
- 10.) THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE STORMWATER BASIN, COLLECTION SYSTEM, AND IMPERVIOUS AREA ON THE SITE TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED, THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.



SITE INFORMATION PROJECT ADDRESS:

APPLICANT/DEVELOPER:

PROPERTY OWNER:

NORTH TOPSAIL BEACH, NC 28460 TAX PARCEL IDENTIFICATION #: 040481 & 040459 RECORDED DEED BOOK: DB 3989 PG 84 CURRENT ZONING: CUR-5 EXISTING USE: FIRE STATION PROPOSED USE: FIRE STATION TOTAL SITE AREA: ± 0.38 AC / ± 16,501 SF WETLAND AREA: NO WETLANDS EXIST ON SITE

SURFACE WATERS:

FLOOD INFORMATION

CAMA AREAS OF CONCERN:

575' OF OUTSTANDING RESOURCE WATERS

SITE IS LOCATED IN AN AE SPECIAL FLOOD HAZARD

AREA (BFE 12) AS SHOWN ON FEMA FLOOD MAP NO.

3720425600K BEARING AN EFFECTIVE DATE OF JUNE 19,

NO SURFACE WATERS EXIST ON SITE

WATER AND SEWER CAPACITY FIRE OR RESCUE STATIONS WITH ON-SITE STAFF - 50GAL/PERSON/SHIFT: 10 @ 50 GAL= 500 GPD TOTAL = 500 GPD

3304 GRAY STREET

NORTH TOPSAIL BEACH, NC 28460

TOWN OF NORTH TOPSAIL BEACH 2008 LOGGERHEAD COURT

NORTH TOPSAIL BEACH, NC 28460

TOWN OF NORTH TOPSAIL BEACH

2008 LOGGERHEAD COURT

UTILITY INFORMATION

CONTRACTOR SHALL INSTALL WATER AND SEWER SERVICES IN ACCORDANCE WITH ONWASA AND PLURIS STANDARD DETAILS AND SPECIFICATIONS AS APPROPRIATE.

020.

SANITARY SEWER

THIS PROJECT WILL CONNECT TO AN EXISTING PRIVATE SANITARY SEWER PUMP STATION THAT IS LOCATED ON THE SUBJECT PROPERTY. ALL SANITARY SEWER ALLOCATION IS PROVIDED BY PLURIS.

WATER

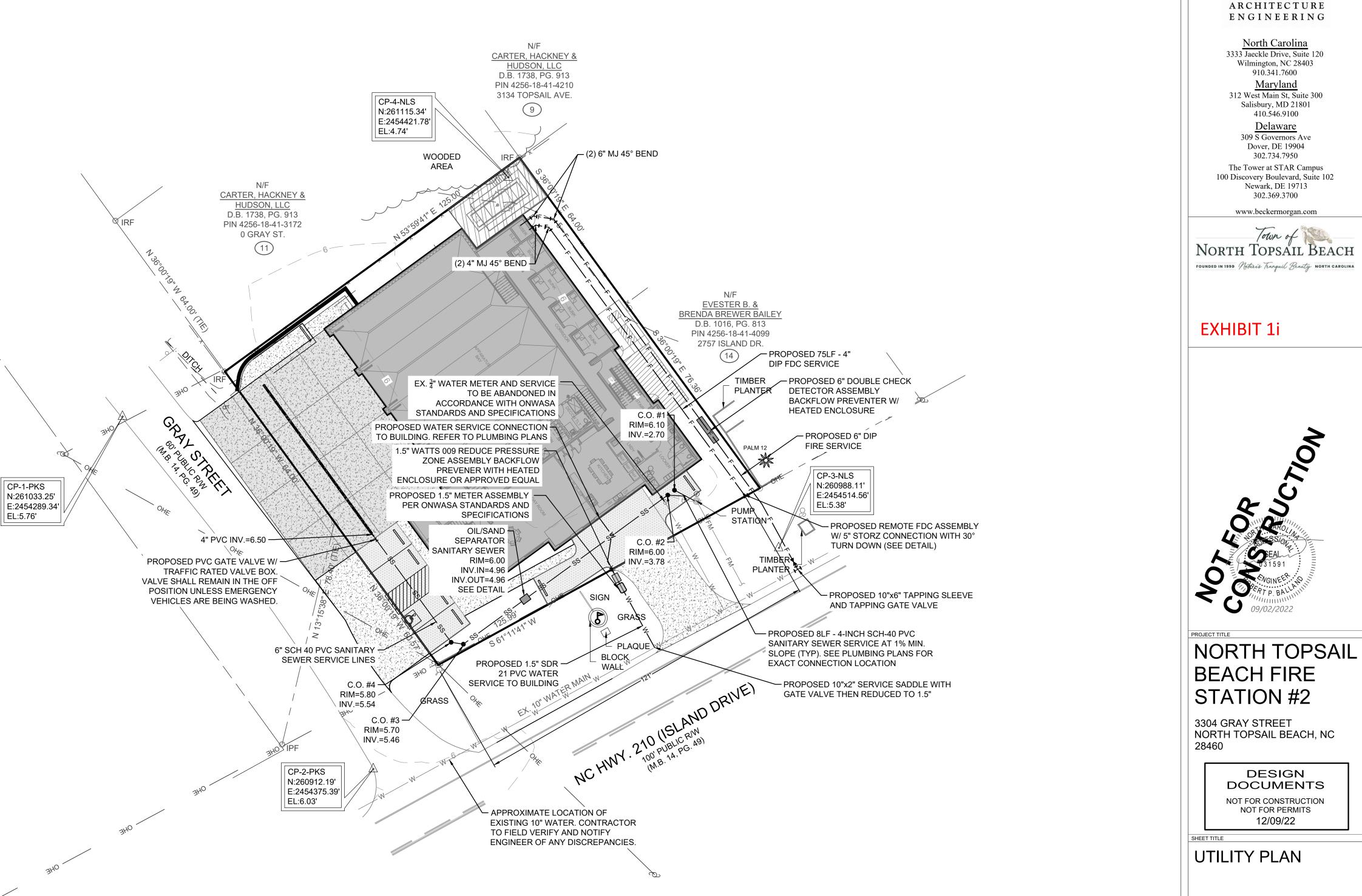
THIS PROJECT WILL CONNECT TO AN EXISTING 10" WATER MAIN LOCATED WITHIN THE NC HWY 210 RIGHT OF WAY. THIS PROJECT WILL UTILIZE THE EXISTING WATER AND METER SERVICE. DOMESTIC WATER ALLOCATION PROVIDED BY ONWASA.

UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)

- 1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- 2. WHEN CROSSING A WATER MAIN OVER A SEWER. THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- 3. CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- 5. WHERE VERTICAL CLEARANCE IS LESS THAT 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- 6. PER RULE .0904, ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 30" OVER TOP OF PIPE.

FIRE & LIFE SAFETY NOTES:

- 1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- 3. A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
- 4. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
- 5. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL ALWAYS BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S.
- 6. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THIS PROJECT.
- 7. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.







BECKER

MORGAN

GROUP

122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846 - SC License #: 003542



FIRE LINE NOTE: SITE CONTRACTOR SHALL COORDINATE WITH FIRE SUPPRESSION DESIGN BUILD TO CONFIRM FIRE SERVICE SIZE PRIOR TO ORDERING ANY MATERIAL OR INSTALLATION. SITE CONTRACTOR SHALL INSTALL FIRE LINE INSIDE RISER ROOM AND TERMINATE 12" AFF.



SCALE: 1"=20'

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scription

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01/26/2022

1"=20'

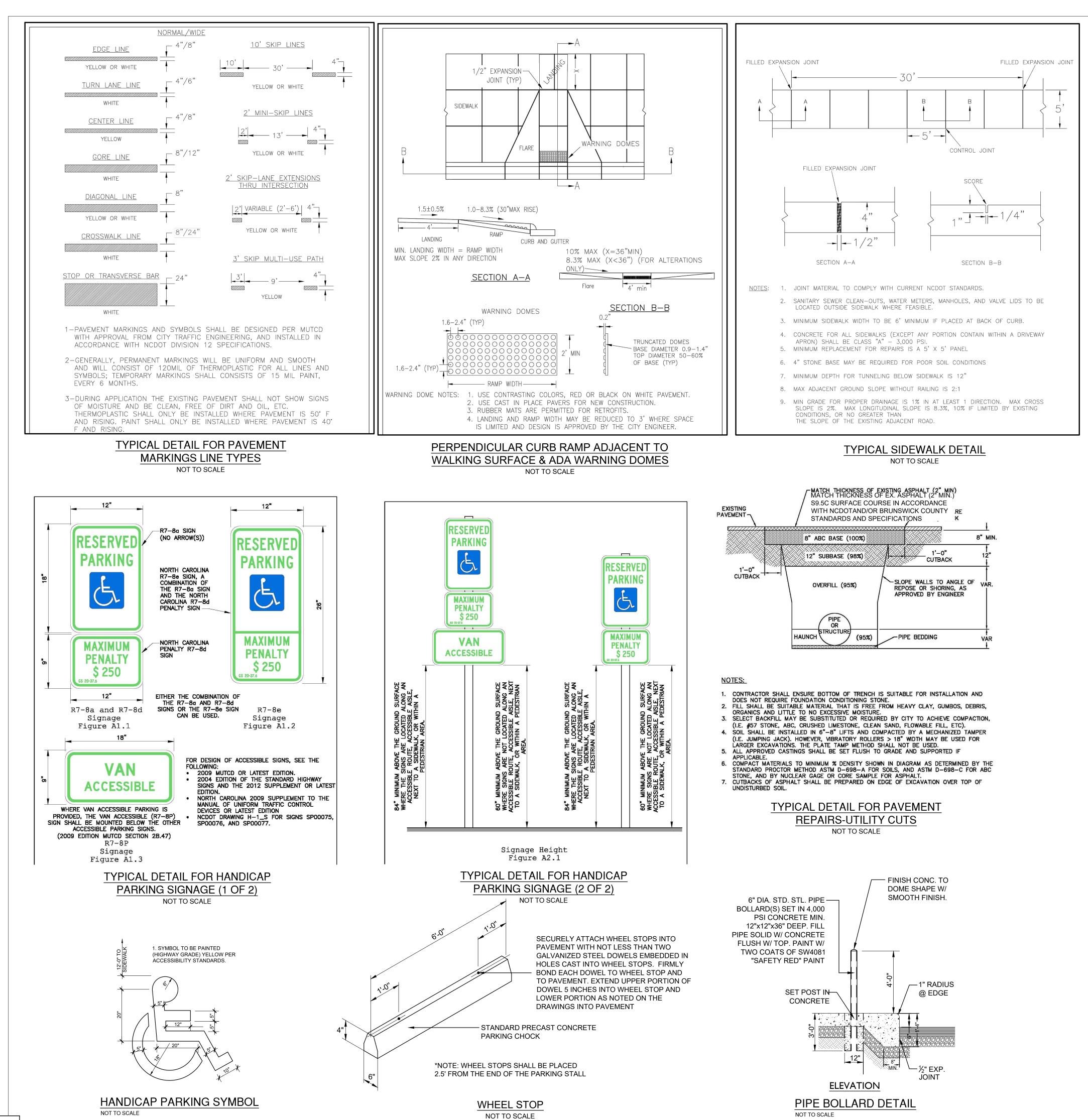
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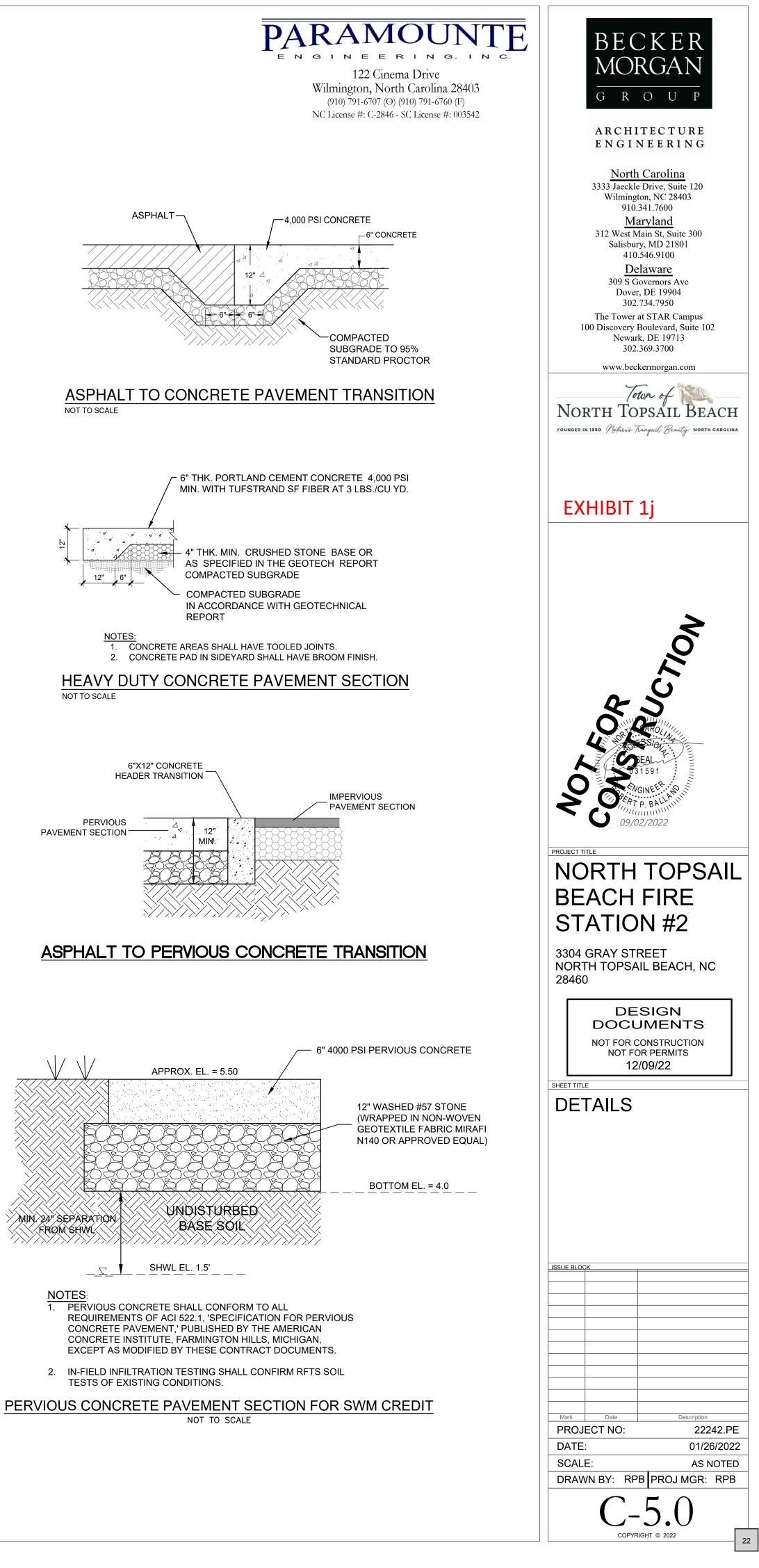
ISSUE BLOCK

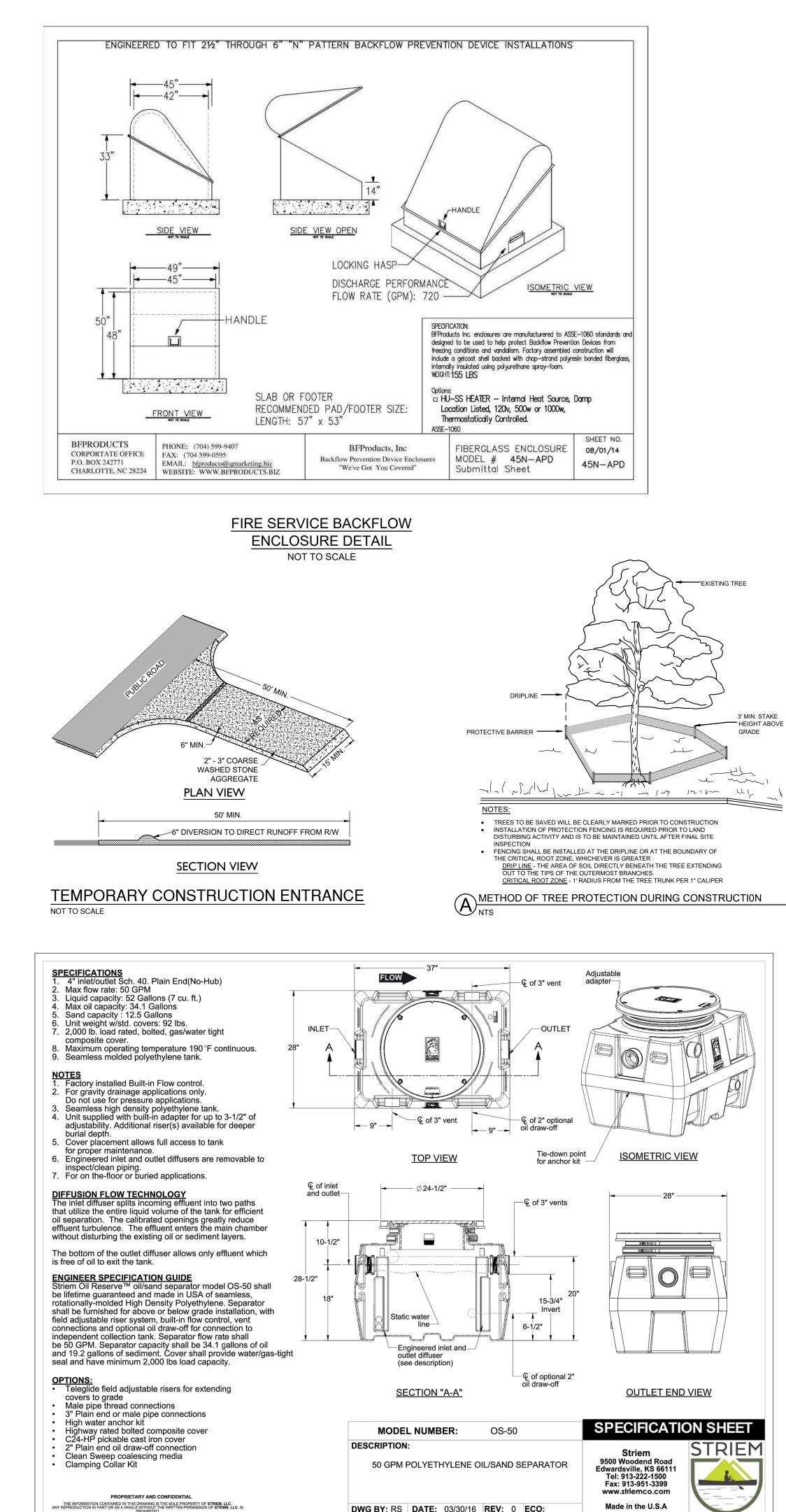
PROJECT NO:

DATE:

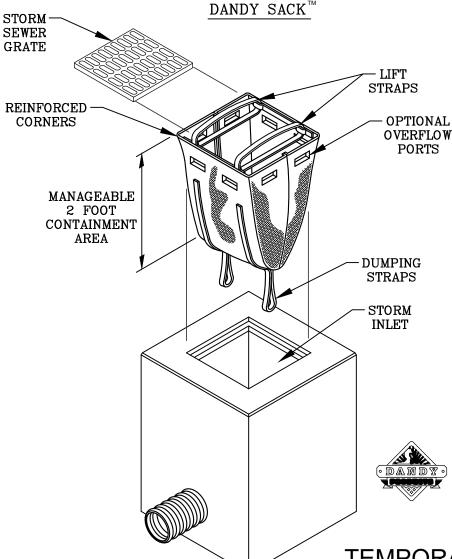
SCALE:







DWG BY: RS DATE: 03/30/16 REV: 0 ECO:



DANDY SACK TM SPECIFICATIONS

NOTE: THE DANDY SACK M WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS

REGULAR FLOW DANDY SACK TM (BLACK)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 15
Puncture Strength	ASTM D 4833	kN (lbs)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	2852 (70)
Permittivity	ASTM D 4491	Sec ⁻¹	0.90

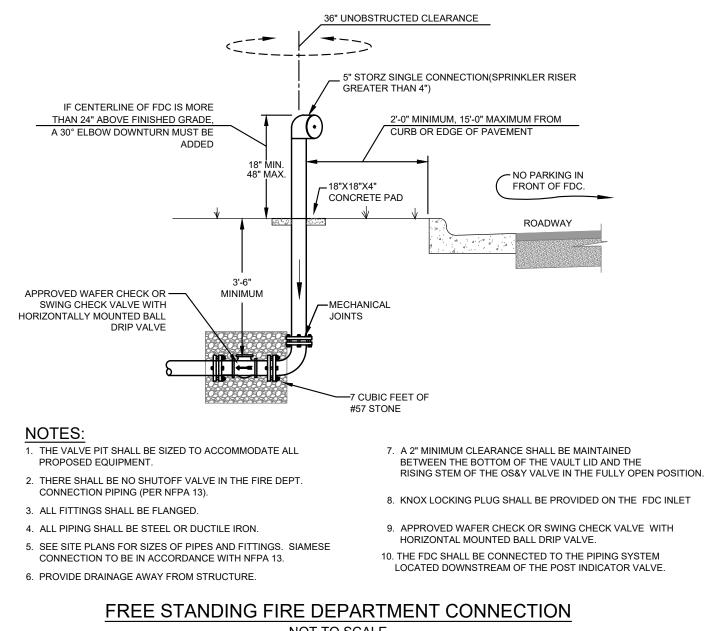
HI-FLOW DANDY SACK™ (SAFETY ORANGE) Mechanical Properties Test Method

Mechanical Properties	lest Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	5907 (145)
Permittivity	ASTM D 4491	Sec ⁻¹	2.1

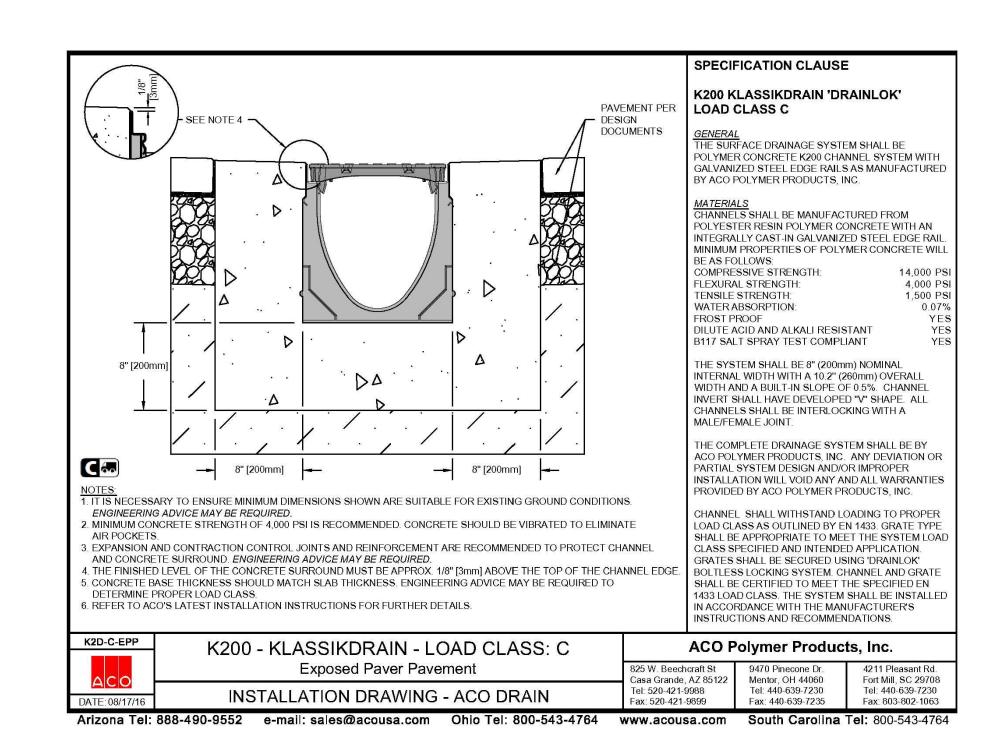
*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows

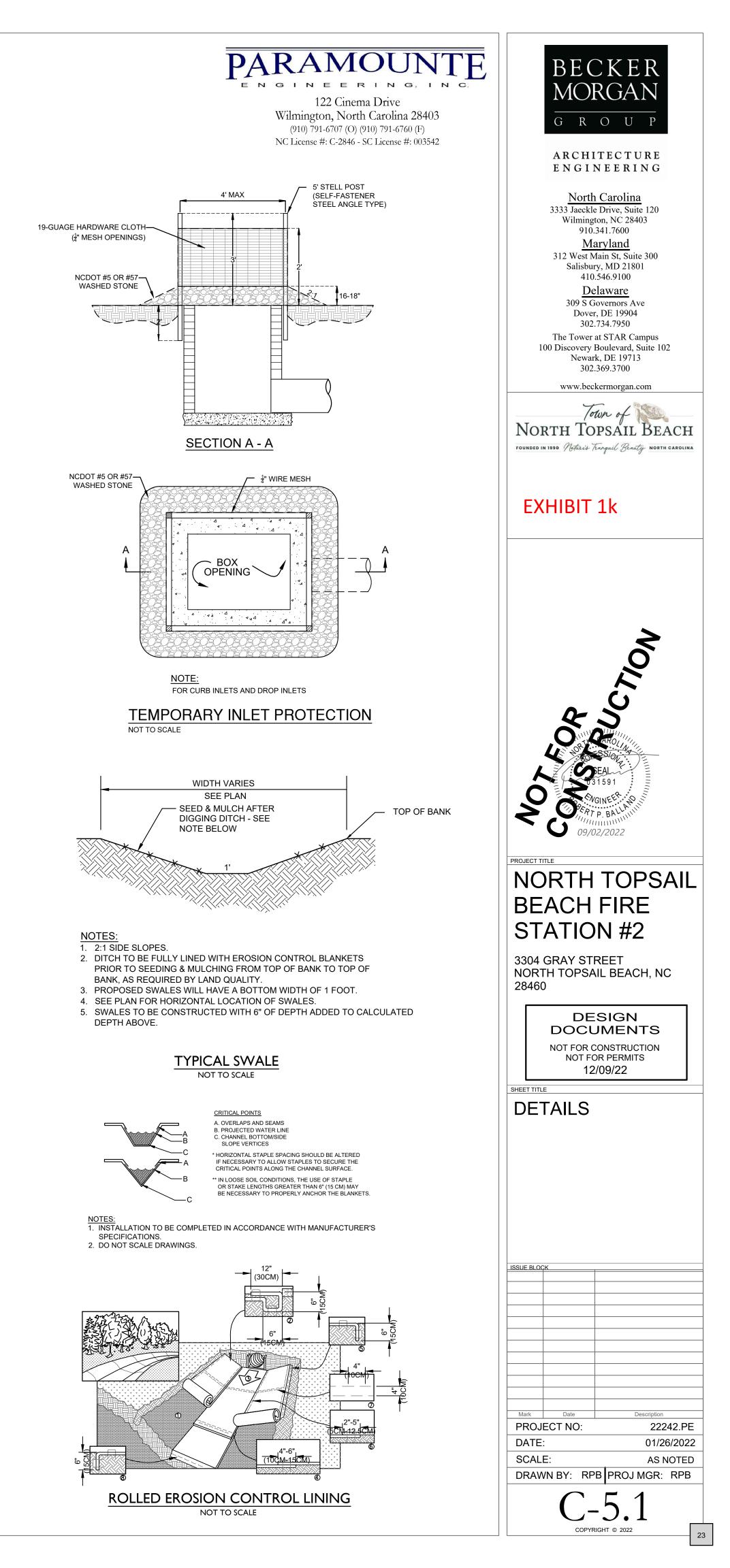
TEMPORARY DANDY SACK® INLET PROTECTION NOT TO SCALE

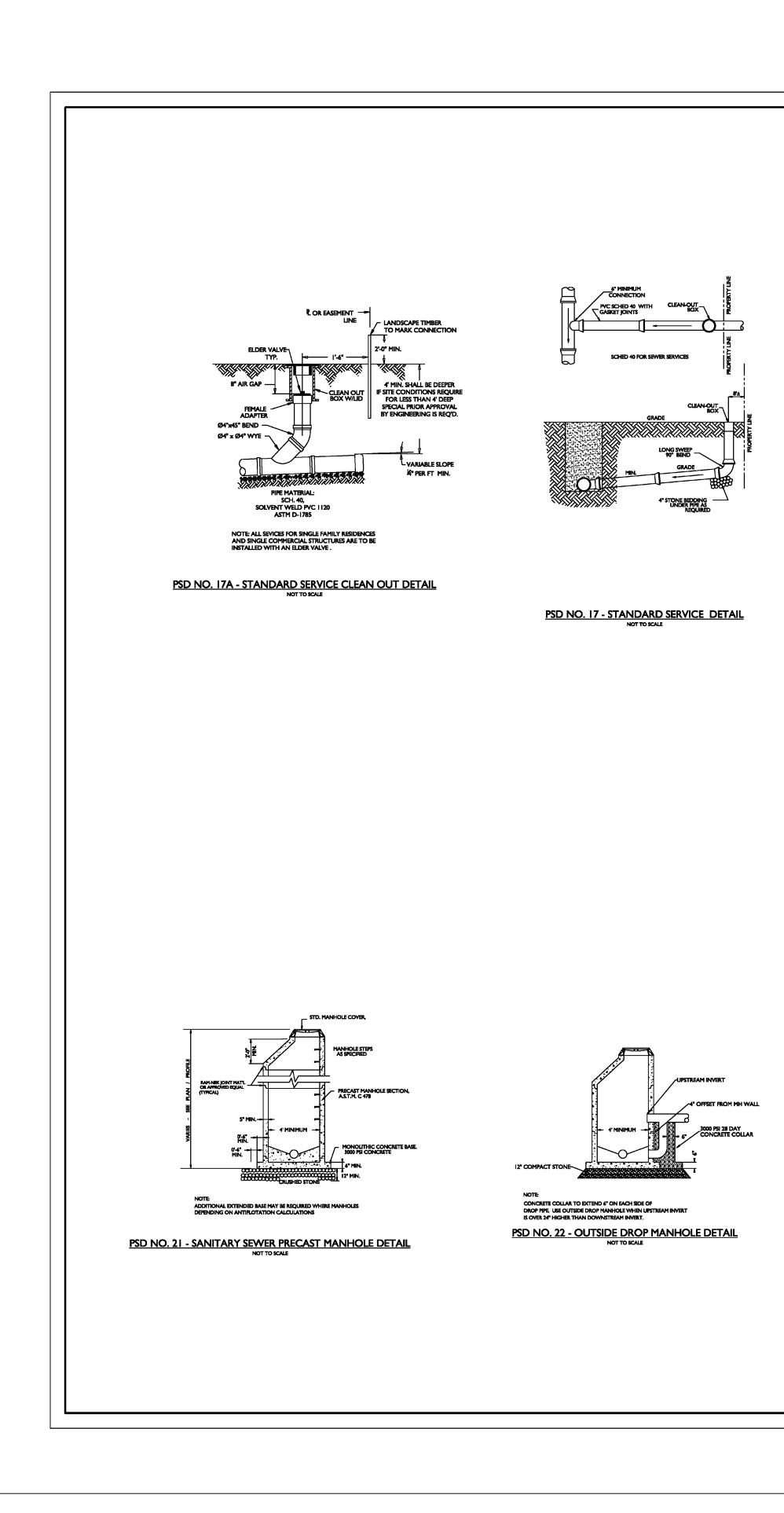
CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT IN A DESIGNATED DISPOSAL AREA AND NOT WITHIN LIMITS OF DISTURBANCE. SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL, OR ROCK-PIPE INLETS, WHEN IT REACHES HALF-FILLED, ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.

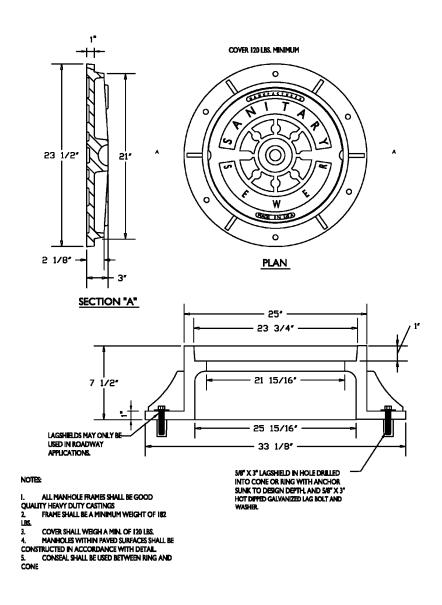


NOT TO SCALE

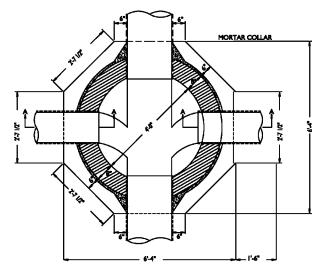




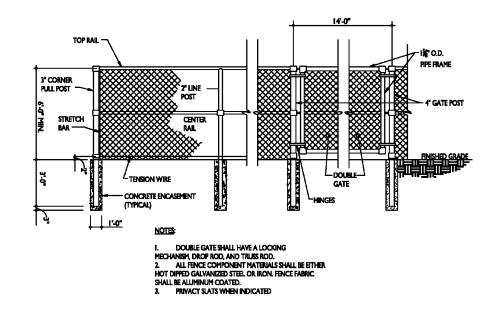




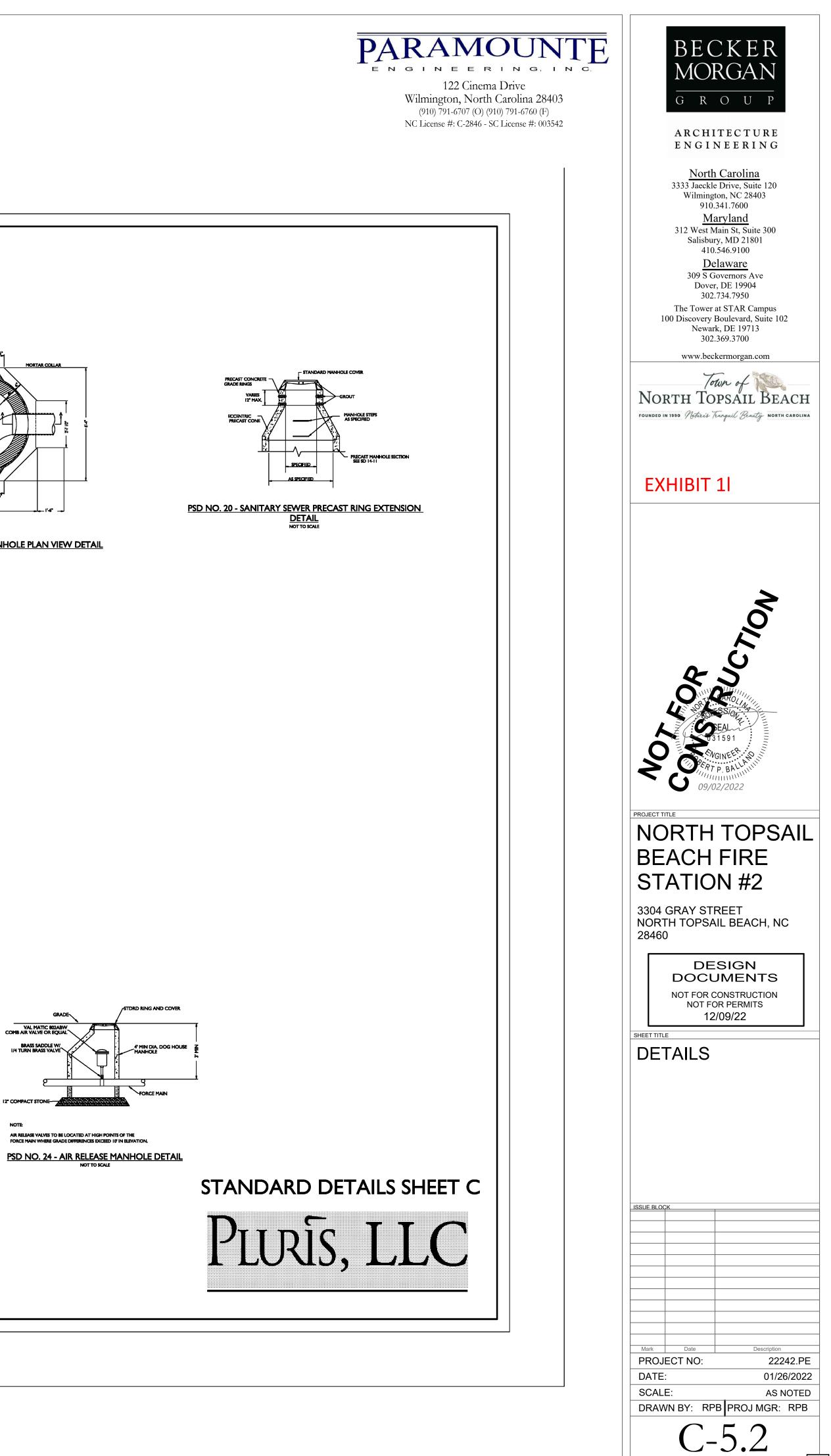




PSD NO. 19 - SANITARY SEWER MANHOLE PLAN VIEW DETAIL



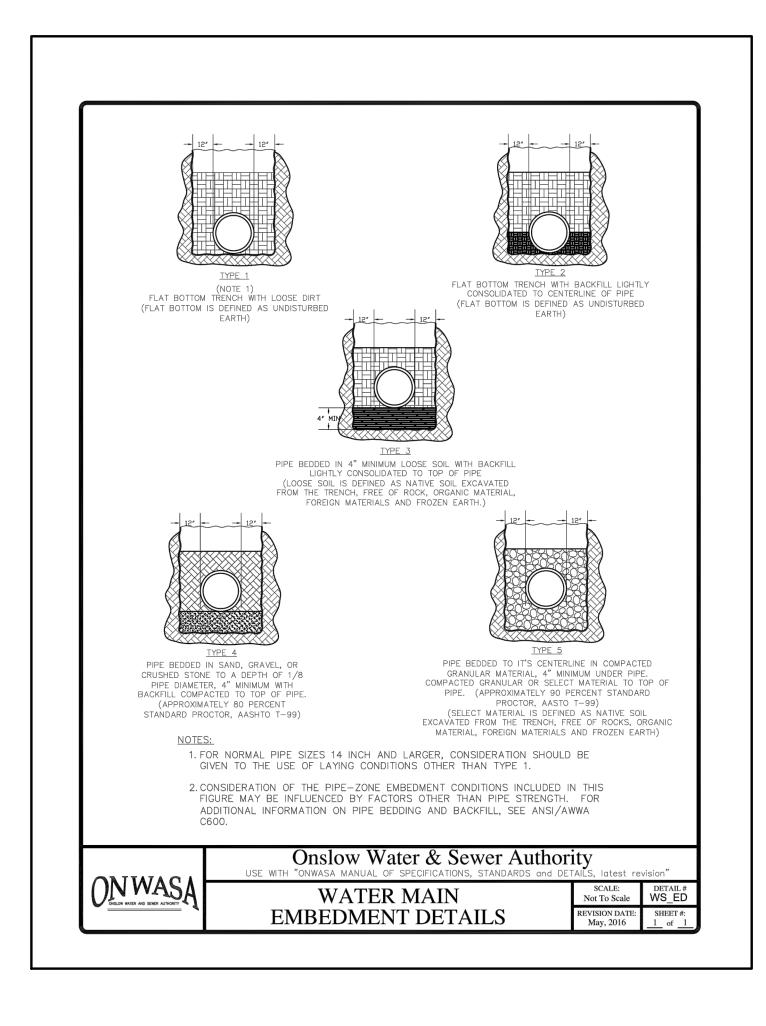
PSD NO. 23 - LIFT STATION FENCING DETAIL NOT TO SCALE

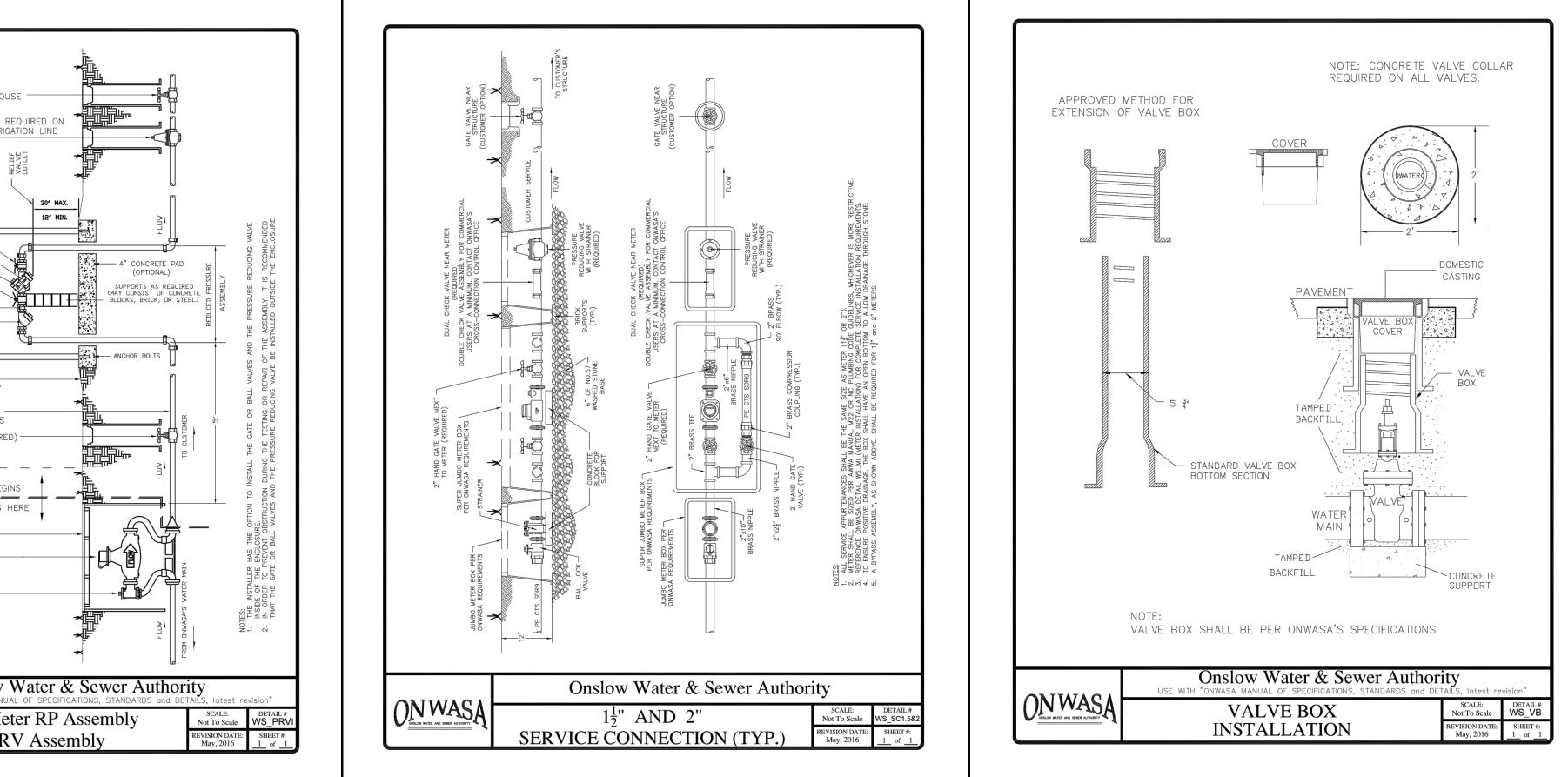


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____24

	ABOVE GROUND INSTALLATIONS OF E AND DOUBLE CHECK VALVE ASSEM			
			GATE OR BALL	VALVE IN BOX NEAR HOUSE
	nust be installed a Maximum distance of fiv or before any wyes, tees, or bypasses. Insta			(OPTIONAL)
backflow preventers withi	n the DOT right—of—way will not be accepte			NOT REG IRRIGAT
be installed on the custo	omers property. e assemblies must be installed in a horizor	tal position	PRESSURE REDUCING VALVE (WHEN REQUIRED BY NC P	
and so located in which	no portion of the assembly can become su		x	· 5
any circumstances.	be installed in a vertical position provided	the water flows in		- KELJ VAL
an upward direction.	be installed in a vertical position provided	the water nows in		
	nust be installed above ground. Backflow pre			
	m of twelve (12) inches above the floor, ar the floor. Customer must maintain adequa		1 TURN FULL POR	T BRONZE
around the assembly for	testing, and/or repair of the assembly. Whe	erever a reduced	BALL SHUT-OFF ∨	
	w preventer is installed inside a building an			VALVE #2
	nstalled. Below ground installations are proh obstacles which prohibit the installation of t			VALVE #1
accordance with the spe	cifications shall be subject to the review an		‡ TURN FULL POR BALL SHUT-OFF	
Engineering Director for	alternative locations. mblies installed outside must be protected y	with a ASSE 1060	TEST C	соск #1 — 🥂 🎢
approved enclosure. The	assembly must maintain a minimum distanc	e of twelve (12)	STRAINER	(OPTIONAL)
	distance of thirty (30) inches above the gro		REMOVABLE IN ENCLOSURE WITH	ISULATED
is allowed around any as repairing of the assembl	sembly provided it does not interfere with t	he testing and/or	(1060 ASSE AP	PPROVED)
6. Protective enclosures mu	st be used to prevent freezing or vandalism		(REQUIRE ENSURE GRADE S	SLOPES AWAY FROM
	talled outside above ground. Freeze proof e arolina Plumbing Code Standards are accept			D BACKFLOW ASSEMBLY
the insulation is at least	7.05 R factor, and have the 1060 ASSE a	oproval plate.		ALL PIPING SHALL BE
	be provided by a hinged door or drain ports ective enclosure. The enclosure will require			VC, COPPER, OR BRASS
to the ground or existing	g grade. If the structure is not removable it	must be	GATE OR BALL	VALVE IN BOX (REQUIRED) -
accessible by doors large	enough for entrance and repair.		RIGHT OF	WAY
	mblies two and one half (2 $rac{1}{2})$ inches or lar ie weight of the backflow prevention assemb			
construction can consist	of concrete block, brick or steel. Supports	must have a proper	CUSTOME	R'S RESPONSIBILITY BEGINS
footing to rest on. Supp with the testing and/or	orts should be spaced so they do not caus repair of the assemblies	e interference	ONWASA'S	RESPONSIBILITY STOPS HEF
8. All piping must be of du	ctile iron, pvc, copper, or brass.			
	ssembly installations shall be inspected by t nnical Operations Section or an authorized r		METER BOX (C)NWASA'S) —————
to initial connection to t	he potable water system.		METER (ONWAS	.sa's) ———
10. Before installation of any	backflow preventer, contact the Backflow (Cross Connection	, ,	
UKU at 910-455-0722 1	o assist in proper selection and installation		METED OUT	OFF (ONWASA'S)
	ns are subject to change periodically or as required by th	- State of North Carelian	METER COT C	
Note: Appendices within these regulation	is are subject to change periodically or as required by the	e state of North Carolina.		
	Onslow Water & Sewer Author	prity		Onslow W
	"ONWASA MANUAL OF SPECIFICATIONS, STANDARDS and			USE WITH "ONWASA MANUAL
()NWASA	3/4" to 2" Meter	SCALE: DETAIL # Not To Scale WS PRV	ON WASA	3/4" - 2" Mete
	P/DCVA/PRV Assembly	REVISION DATE; SHEET #:		with PRV
I KF		May, 2016 <u>1</u> of <u>1</u>		







BECKER

MORGAN

G R O U P

ARCHITECTURE ENGINEERING

North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600 Maryland 312 West Main St, Suite 300 Salisbury, MD 21801 410.546.9100

Delaware

309 S Governors Ave

Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700

www.beckermorgan.com

North Topsail Beach

FOUNDED IN 1980 Nature's Tranquil Beauty NORTH CAROLINA

EXHIBIT 1m

Town of

escription

C-5.3

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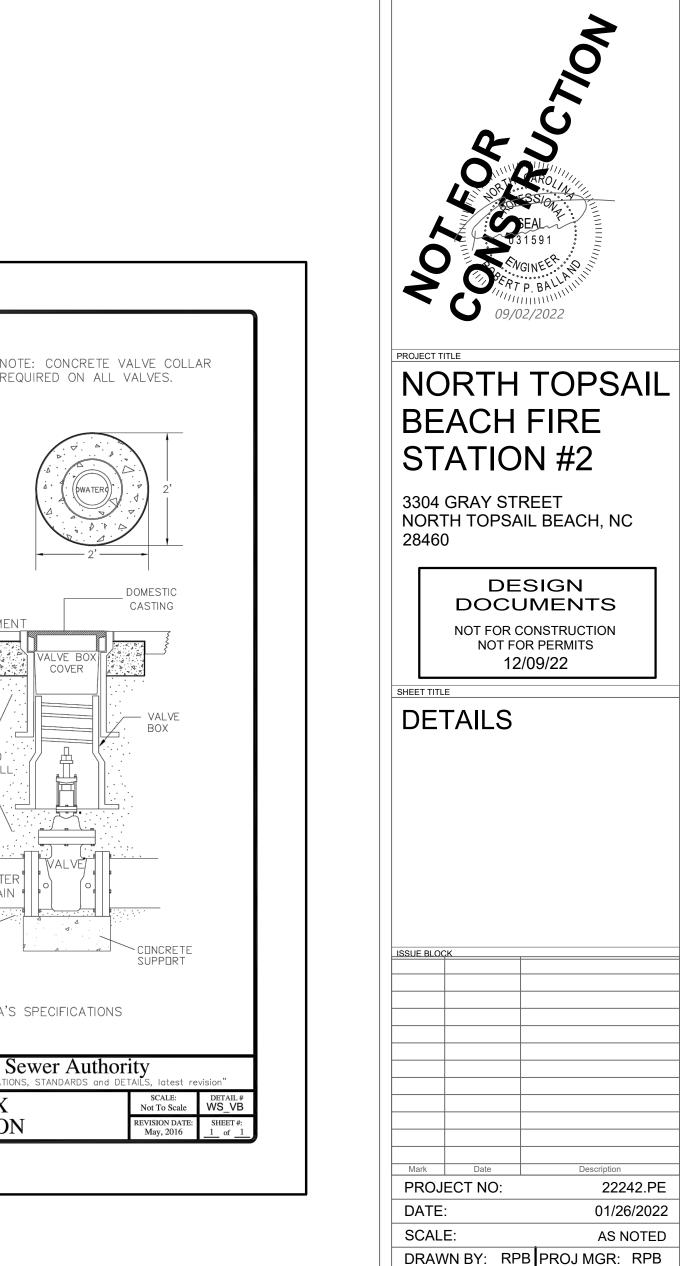
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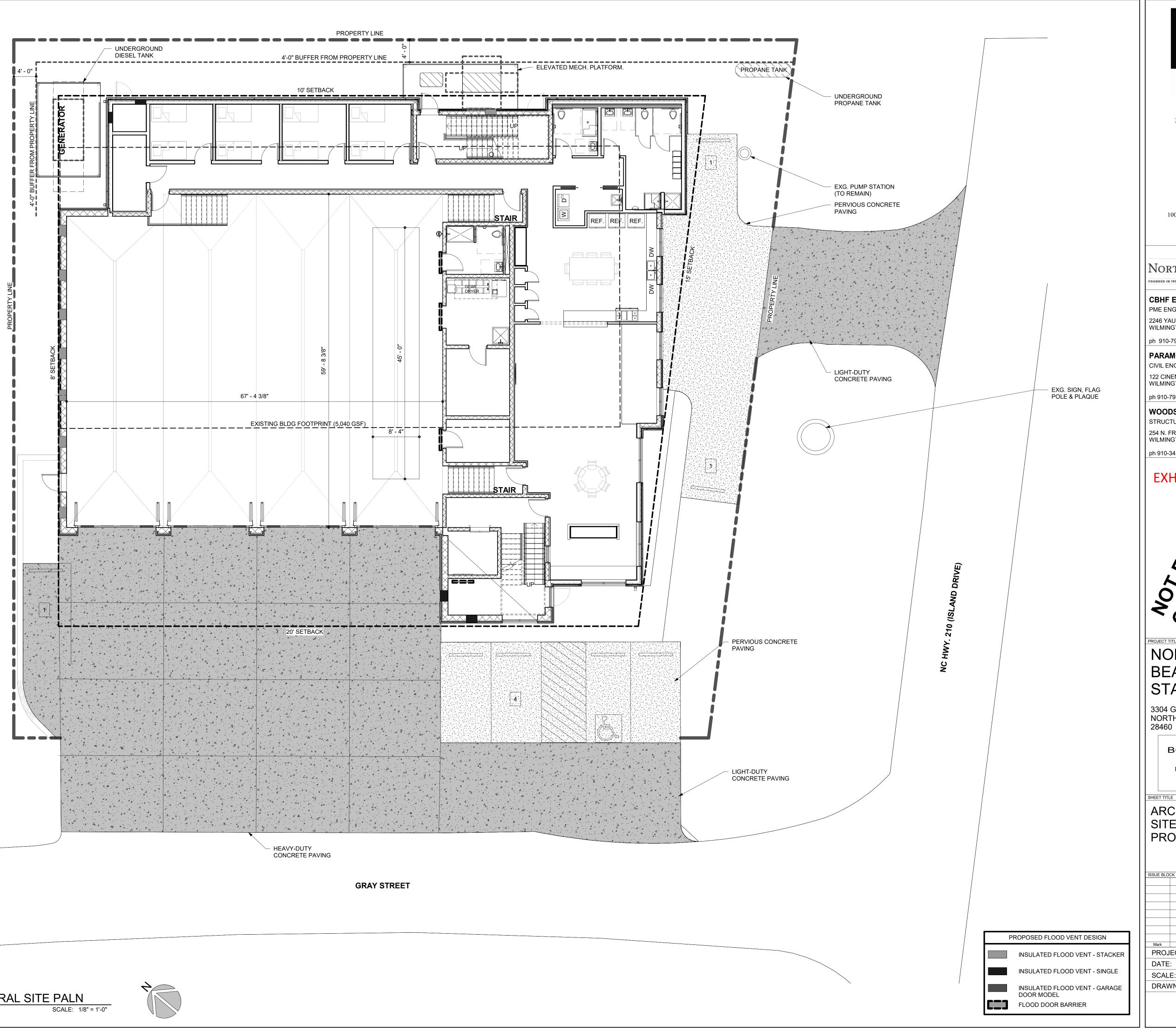
01/26/2022

AS NOTED

25

122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846 - SC License #: 003542





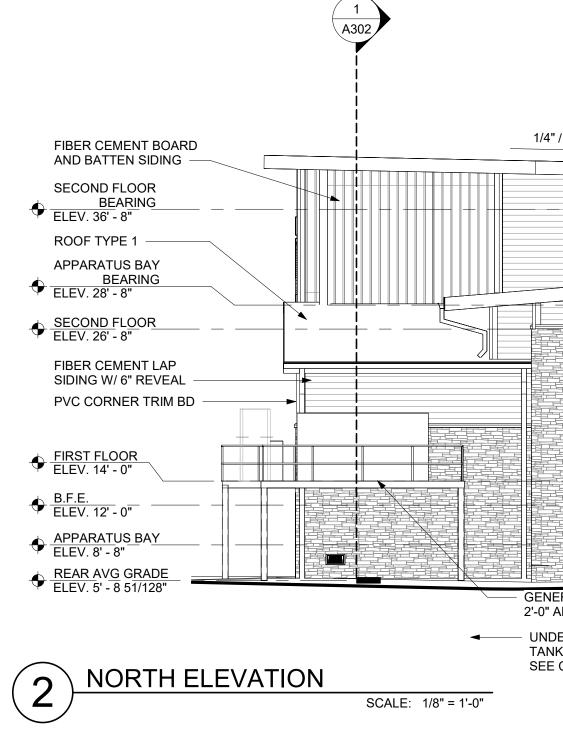


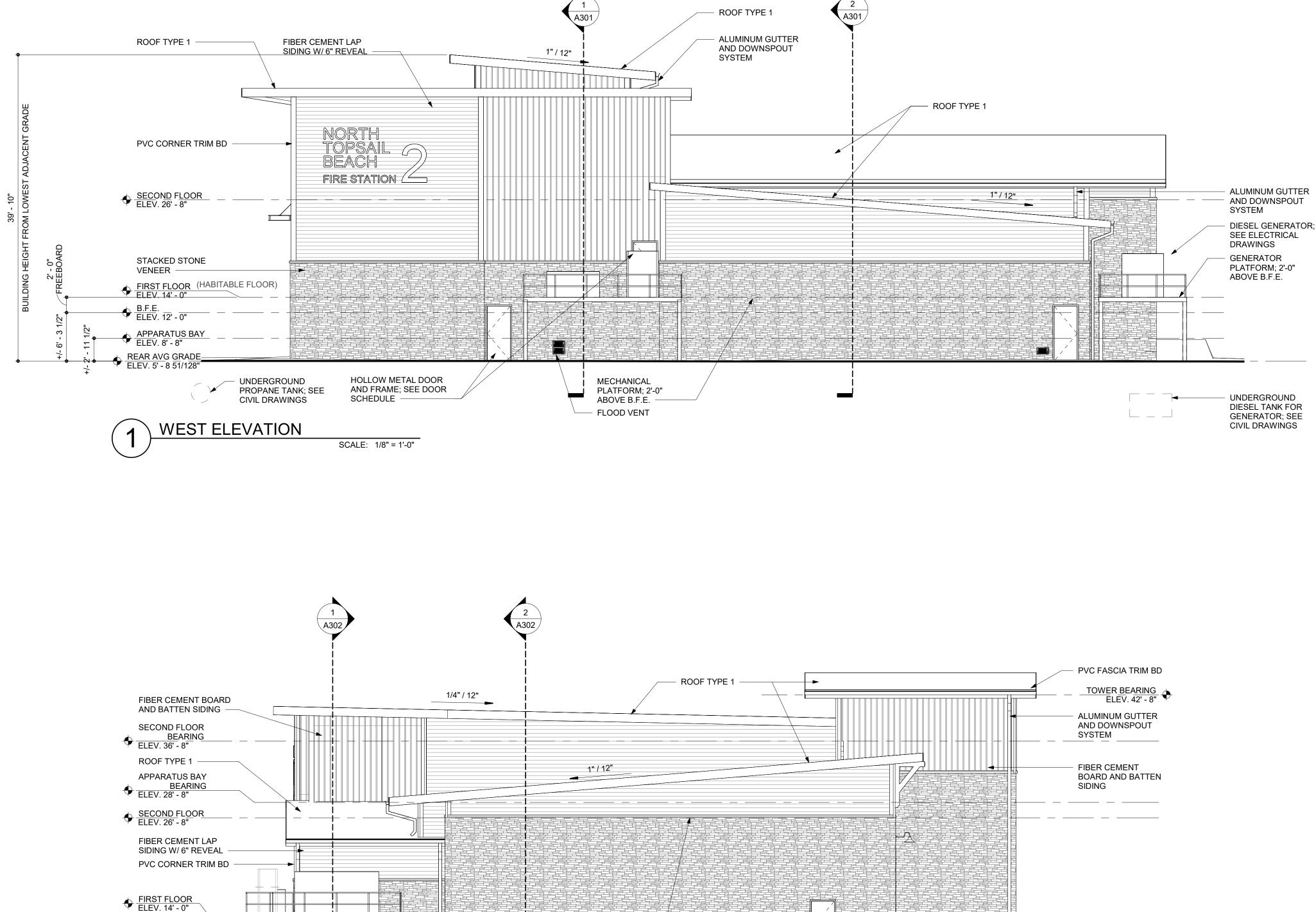


BECKER MORGAN	
G R O U P	
ARCHITECTURE E N G I N E E R I N G	
North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600 <u>Maryland</u> 312 West Main St, Suite 300 Salisbury, MD 21801 410.546.9100 <u>Delaware</u> 309 S Governors Ave	
Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700	
WWW.beckermorgan.com Town of NORTH TOPSAIL BEACH OUNDED IN 1990 Netwis Tranquil Beauty NORTH CAROLINA	
CBHF ENGINEERS PLLC PME ENGINEERS 2246 YAUPON DRIVE WILMINGTON, NC 28401	
ARAMOUNTE ENGINEERING, INC. CIVIL ENGINEERING 122 CINEMA DRIVE WILMINGTON, NC 28403 ADh 910-791-6707 fax 910-791-6760 WOODS ENGINEERING STRUCTURAL ENGINEERING 254 N. FRONT STREET, SUITE 201 WILMINGTON, NC 28401	
EXHIBIT 2a	
Single Contraction of the Contraction of the Carolyne Cont	
NORTH TOPSAIL BEACH FIRE STATION #2	
NORTH TOPSAIL BEACH, NC 28460 PLANNING BOARD REVIEW	
NOT FOR CONSTRUCTION NOT FOR PERMITS 02/03/2023	
ARCHITECTURAL SITE PLAN / FLOOD PROOFING DIAGRAM	001001001001
SSUE BLOCK	
	Here T at
Mark Date Description PROJECT NO: 2021025.02 DATE: 02/03/2023	M Attack Descriving the Teas
SCALE: As indicated	21.EG AN

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GENERATOR PLATFORM; 2'-0" ABOVE B.F.E. UNDERGROUND DIESEL CAST STONE CAP @ TANK FOR GENERATOR; T.O. STACKED SEE CIVIL DRAWINGS STONE VENEER

SCHEDULE FLOOD VENT, TYP.

STACKED STONE

VENEER

- METAL DOOR AND FRAME; SEE DOOR

SYSTEM DIESEL GENERATOR; SEE ELECTRICAL DRAWINGS GENERATOR PLATFORM; 2'-0" ABOVE B.F.E.

- UNDERGROUND DIESEL TANK FOR GENERATOR; SEE CIVIL DRAWINGS

	GINEERING, INC.	
122 CINEMA DRIVE WILMINGTON, NC 28403		
ph 910-791-6707 fax 91		
WOODS ENGINEER STRUCTURAL ENGINEE	-	
254 N. FRONT STREET, WILMINGTON, NC 28401		
ph 910-343-8007 fax 91	0-343-8088	
EXHIBIT 2k	BROWN CONPORTION	
PROJECT TITLE NORTH T BEACH F STATION	IRE #2	
3304 GRAY STREE NORTH TOPSAIL I 28460		
PLAN BOARD F		
NOT FOR CON NOT FOR F 02/03/2	PERMITS	
	S	
	Description	
PROJECT NO: DATE:	2021025.02	
SCALE:	1/8" = 1'-0"	
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COPYRIGHT	© 2023	

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G R O U P

ARCHITECTURE ENGINEERING

<u>North Carolina</u> 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600

<u>Maryland</u> 312 West Main St, Suite 300 Salisbury, MD 21801

410.546.9100

<u>Delaware</u> 309 S Governors Ave

Dover, DE 19904

www.beckermorgan.com

Town of North Topsail Beach

FOUNDED IN 1980 Noturis Tranquil Beauty NORTH CAROLINA

CBHF ENGINEERS PLLC

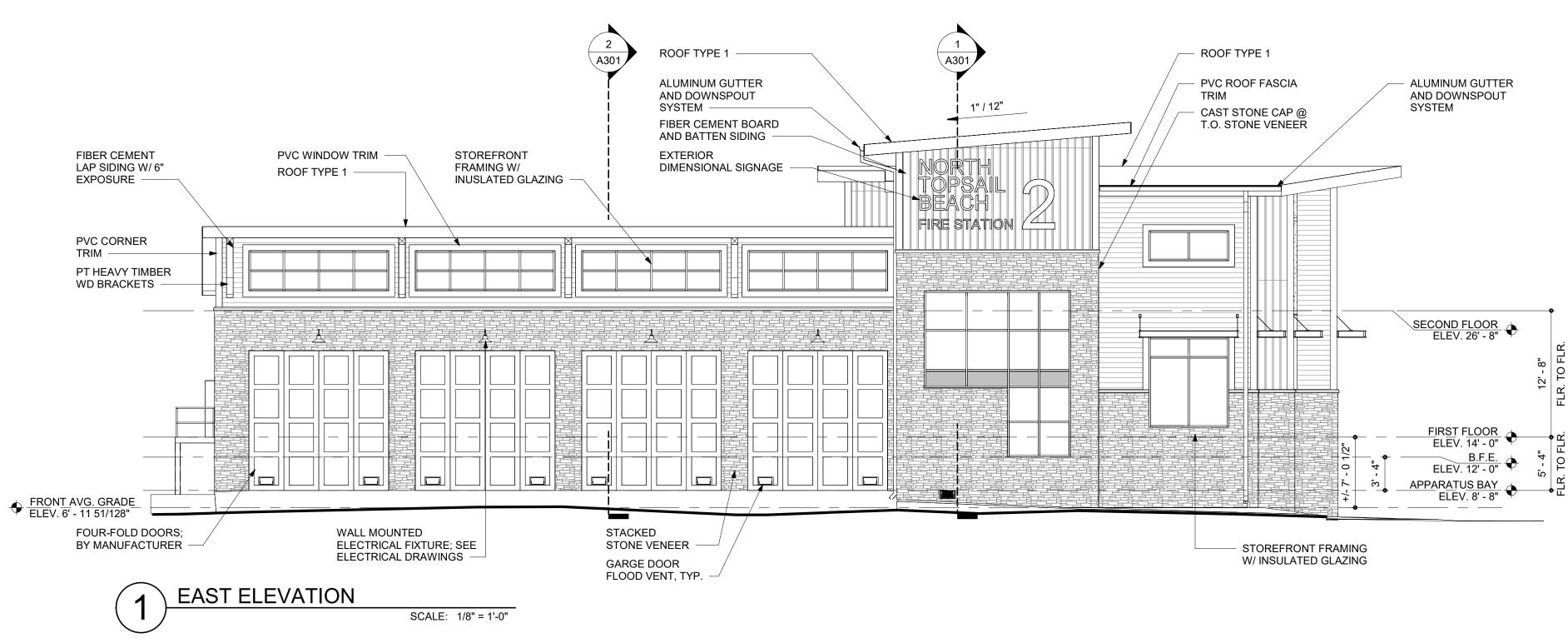
PME ENGINEERS

ph 910-791-4000

2246 YAUPON DRIVE

WILMINGTON, NC 28401

302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700





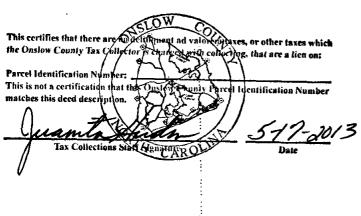


BECKER MORGAN GROUP
ARCHITECTURE E N G I N E E R I N G
North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600 <u>Maryland</u> 312 West Main St, Suite 300 Salisbury, MD 21801 410.546.9100 <u>Delaware</u> 309 S Governors Ave Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700 www.beckermorgan.com
Town of North Topsail Beach
FOUNDED IN 1990Maturis Traquil Benety NORTH CAROLINACBHF ENGINEERS PLLCPME ENGINEERS2246 YAUPON DRIVEWILMINGTON, NC 28401ph 910-791-4000PARAMOUNTE ENGINEERING, INC.CIVIL ENGINEERING122 CINEMA DRIVEWILMINGTON, NC 28403ph 910-791-6707 fax 910-791-6760WOODS ENGINEERINGSTRUCTURAL ENGINEERING254 N. FRONT STREET, SUITE 201WILMINGTON, NC 28401ph 910-343-8007 fax 910-343-8088
EXHIBIT 2c
A GROUX A G
PROJECT TITLE NORTH TOPSAIL BEACH FIRE STATION #2 3304 GRAY STREET NORTH TOPSAIL BEACH, NC 28460 PLANNING BOARD REVIEW NOT FOR CONSTRUCTION NOT FOR PERMITS 02/03/2023
EXTERIOR ELEVATIONS
Mark Date Description PROJECT NO: 2021025.02 DATE
DATE: 02/03/2023 SCALE: 1/8" = 1'-0"
DRAWN BY:Author PROJ MGR: BMR
A202

Page 1 of 1

EXHIBIT 3

Doc ID: 010491360001 Type: CRP Recorded: 05/17/2013 at 11:44:17 Fee Amt: \$26.00 Page 1 of 1 Revenue Tax: \$0.00 Onslow County, NC Rebecca L. Pollard Reg. of Deeds BK 3989 PG 84



This deed presented to The Onslow () Date SI713 to Taş U

Return to: Brian E. Edes 5002 Randall Parkway Wilmington, NC 28403

Parcel No. OUDUS9 040481

OUITCLAIM DEED

Stamps: \$ 0.00

STATE OF North Carolina

COUNTY OF Onslow County

BRIEF DESCRIPTION FOR THE INDEX: Lots 12 and 13 in Block twenty-four, Ocean City

THIS QUITCLAIM DEED, made and entered into this the 4th day of May, 2013, by and between North Topsail Beach Volunteer Rescue & EMS, Inc., of Onlsow County, NC, hereinafter called Grantor, and the Town of North Topsail Beach, North Carolina, of Onslow County, hereinafter called Grantee;

<u>WITNESSETH</u> That said Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars to him in hand paid, the receipt of which is hereby acknowledged, has remised and released and by these presents does remise, release, convey and forever quitclaim unto the Grantee and his/her heirs and/or successors and assigns all right, title, claim, and interest of the Grantor in and to a certain tract or parcel of land lying and being in Onslow County, State of North Carolina, and more particularly described as follows:

All of Lots twelve (12) and thirteen (13) in Block twenty-four (24), more particularly shown and described on a plat of survy entitled "Revised Map of a Portion of Ocean City on Topsail Island, North Carolina, dated February 6, 1974, by H. M. Loughlin, Registered Land Surveyor

THE PROPERTY hereitabove described was acquired by Grantor by instrument recorded in Book 751 at page 495 of the October 9, 1985 county registry

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges thereunto belonging to her, the Grantee and her heirs and/or successors and assigns, free and discharged from all right, title, claim or interest of Grantor or anyone claiming by, through, or under him.

The Designation Granter and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

(SEAL) Gunner Matthews (SEAL)

STATE OF North Carolina COUNTY OF Ouslow County I. CON2.Foulpry a Notary Public for the aforesaid County and State, hereby certify that Gunnar Matthews personally appeared before me this day and acknowledged the due execution of the foregoing instrument. WITNESS my hand and seal this 4th day of May, 2013. 27Fa 'ar

ssion Expires: SC 12 2016 NORTH CAROLINA	
ł	
:	



Section VII, ItemA.

Sown of North Topsail Beach EXHIBIT 4

Joann M. McDermon, Mayor Mike Benson, Mayor Pro Tem

Aldermen: Alfred Fontana Richard Grant Tom Leonard Connie Pletl



Certification of Public Notice

In accordance with NCGS § 160D-4-6 (b) and North Topsail Beach Unified Development Ordinance (UDO) §2.06 Table 2-1, I hereby certify that on February 17, 2023, a notice of a public hearing for the Commercial Plan Review: Fire Station #2, 3304 Gray Street, was sent by first-class mail, to all owners of property abutting 3304 Gray Street. The list of owners and addresses was prepared from Onslow County Tax Records:

BAILEY EVESTER B & BRENDA B 3626 SUFFOLK ST DURHAM, NC 27707

CARTER HACKNEY & HUDSON LLC 102 OXFORD RD LUMBERTON, NC 28358

On February 14, 2023, a Notice was posted at Town Hall, and on the Town's website and distributed to the "sunshine list." Notice was posted on the property subject to the request at least ten days prior to the scheduled hearing.

Certified:

D. word Sliv

Deborah J. Hill, MPA AICP CZO CFM

Planning Director

cc: file

TOWN OF NORTH TOPSAIL BEACH BOARD OF ALDERMEN

Alice Derian, ICMA-CM

Town Manager Melinda Mier

Town Clerk

Wednesday, March 1, 2023, 11:00 a.m. 2008 Loggerhead Court, North Topsail Beach NC 28460 Pursuant to NCGS § 160D-601 and the Town's Unified Development Ordinance §2.06 and §2.07.01, notice is hereby given that a regular meeting of the North Topsail Beach Board of Aldermen will be held at 2008 Loggerhead Court, North Topsail Beach NC on Wednesday, March 1, 2023, 11:00 a.m. Hearings will be conducted to receive input on: Commercial Plan Review: Fire Station #2, 3304 Gray Street; Proposed Amendment §6.05 Off-Street Parking And Loading Requirement; Proposed Amendment § 4.03.20, § 11.02 Duplex; Proposed Amendment § 4.03.07 Fences. All information pertaining to these public hearings may be viewed at the Town Hall by appointment only Monday through Friday between the hours of 8:00 am and 5:00 pm. For more information, please contact: Deborah J. Hill MPA AICP CFM CZO, Planning Director dhill@northtopsailbeachnc.gov 910-328-1349

February 11 & 18, 2023

Jacksonville Daily News

NAME OF PROJECT: NORT	H TOPSAIL BEACH FIRE S	STATION #2							
ADDRESS: 3304 GRAY STF						STORY	DESCRIPTION	(A) BLDG AREA	
OWNER OR AUTHORIZED	AGENT:_ALICE DERIAN_	PHONE #	:910.328.1349			NO.	AND USE	PER STORY	
OWNED BY: City	County State	Private		aderian	@northtopsailbeachnc.gov	1	BUSINESS - B	(ACTUAL) 4,758 SF	
CODE ENFORCEMENT JUR	RISDICTION: City	County	State			2	RESIDENTIAL - R2	4,750 SF	
CONTACT: BRICE REID, A	AIA, NCARB					3	STOARGE - S2		
ESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	EMAIL ADDRESS				
RCHITECTURAL	Becker Morgan Group, Inc.	ERNEST W. OLDS	105959	910.341.7600	eolds@beckermorgan.com		FRONTAGE AREA INCR A. PERIMETER WI	HICH FRONTS	S A PUBL
IVIL LECTRICAL	P <u>ARAMOUNTE ENGINEERING, INC</u> CBHF Engineers, PLLC	W. ALLEN CRIBB	<u>31591</u> 023311	910.791.6707 910.791.4000	rballand@paramounte-eng.com acribb@cbhfengineers.com		B. TOTAL BUILDINC. RATIO (F/P) =	G PERIMETE (F/P)	
RE ALARM .UMBING		W. ALLEN CRIBB	023311	910.791.4000	acribb@cbhfengineers.com		D. W = MIŇIMÚM V E. PERCENT OF F	VIDTH OF PÚI	BLIC WA
ECHANICAL	CBHF Engineers, PLLC CBHF Engineers, PLLC	TROY O. GRADY TROY O. GRADY	043801 043801	910.791.4000 910.791.4000	tgrady@cbhfengineers.com tgrady@cbhfengineers.com		JNLIMITED AREA APPL MAXIMUM BUILDING AF	ICABLE UND	ER CON
PRINKLER-STANDPIPE TRUCTURAL	PFBFB ENGINEERING, PLLC Woods Engineering, PA	DAVID STACY, PE ADAM SISK	046319 041563	910.600.7780 910.343.8007	dstacy@pbfpe.com adam@woodseng.com	4. 1	THE MAXIMUM AREA O	F OPEN PAR	KING GA
ETAINING WALL >5' HIGH		ADAM SISK	041303	910.343.0007	adam@woodseng.com	5. F	RONTAGE INCREASE	IS BASED ON	I THE UN
THER									
)18 NC BUILDING CODE:						ALLOV	VABLE HEIGHT:		
	Addition Renovati		Time Interior Cor	npletion					(TAD
Phased Construction -							G HEIGHT IN FEET (Tat	ole 504.3)	(TAB
018 NC EXISTING BUILDIN				Chapter 14			G HEIGHT IN STORIES		
	Alteration: Alteration			Alteration Level I	Change of Use		e code reference if the "S aximum height of air trafi		
		Property Char	ige of Use		Historic Property		aximum height of open p		
CONSTRUCTED:		OCCUPANCY(S)					ROTECTION REC		TS.
ISK CATEGORY (Table 160	04.5): CURRENT PROPOSED	□ N/A □ □ □ N/A □			IV IV	BUILDIN		FIRE SEPARATION	REQ'D
			_	_				DISTANCE (FEET)	
ASIC BUILDING DA	TA:						al Frame including , girders, trusses		0
			— — — — — — — — — —	···· -		Bearing	Walls		
-		II-B	☐ III-A 13			Exteri Nor		8'	1 HR
	NO YES PAR [•] ■NO YES CLAS				3D	Eas		8' 10'	0 1 HR
				VV I		We		>30' >30'	0
						Interio		>30	0
						Nonbear Partition	ring Walls and s		0
						Exteri	or		
OOR EXISTIN					SUB-TOTAL	Nor Eas			0
H FLOOR	NG (SQ. FT.) NE	W (SQ. FT.)	RENU/AL	TER (SQ. FT.)	SUB-TUTAL	We			0
TH FLOOR		-		-		Sou	ith r walls and partitions		0
TH FLOOR	-	-		-	-	Floor Co	onstruction, including		0
RD FLOOR	-	-		-	-		ng beams and joists eiling Assembly		0
D FLOOR	- 2	,444 SF		-	-	Columns	s Supporting Floors		0
EZZANINE	—	649 SF		-			nstruction, including ng beams and joists		0
ST FLOOR	_ 8	,550 SF		-	-		iling Assembly		0
ASEMENT	-	-		-		Columns	s Supporting Roof		0
TAL	- 11	,643 SF		-	-		nclosures - Exit nclosures - Other		1 HR 1 HR
LOWABLE AREA:							Separation		0
	. ,						ncy / Fire Barrier Separat Fire Wall Separation	lion	30 MIN 0
	A-2 A-3 A-4	JA-5				Smoke I	Barrier Separation	_	0
BUSINESS							<u>Dwelling Unit / Sleeping</u> al Use Separation	Separation	30 MIN N/A
	ODERATE F-2 LOV	N					e section number permit	ting reduction	<u> </u>
			H-3 COMBUS	Г 🗌 Н-4 НЕ	ALTH H-5 HP		ENTAGE OF WALI		
				.					
							EPARATION DISTANCE FROM PROPERTY LINE		
🗌 I-3 CC]2]3 [4 5						BLE 705.8
I-4							5 TO LESS THAN 10		
							10 TO LESS THAN 15	UNPROTECT	א טיז אדא איז איז איז איז איז איז איז איז איז אי
	R-2 R-3 R-4							1	
						LIFE S	AFETY SYSTEM I	REQUIREM	IENTS
		ENCLO	SED	REPAIR GARA	GE	EMERG	ENCY LIGHTING:	NO	YE
UTILITY AND MISCELLAN						EXIT SI	GNS:	NO	YE
CESSORY OCCUPANCY	CLASSIFICATION(S):R	-2 RESIDENTIAL	/ S-2 STORAG	E		FIRE AL SMOKE	ARM: DETECTION SYSTEMS	NO S:NO	
CIDENTAL USES (Table 50	09): <u>N/A</u>					CARBO	N MONOXIDE DETECT		
PECIAL USES (Chapter 4 -	,								
PECIAL Provisions (Chapte	,	N/A					AFETY PLAN REC		113.
	NO YES SEPARAT	TON:_1HR	. EXCEPTIC	DN:		LIFE SA	FETY PLAN SHEET # FIRE AND/OR SMOKE		
Non-Separated Use (5		-4:-		41		•	ASSUMED AND REAL	PROPERTY L	INE LOC
) - See below for area calcul e actual floor area of each us					•	EXTERIOR WALL OPE OCCUPANCY TYPES I	FOR EACH AF	REA AS I
ACTUAL AREA OF O		CTUAL AREA OI		'B		•	OCCUPANT LOADS FO		
ALLOWABLE AREA OF	+	LOWABLE AREA		<1		•	COMMON PATH OF TI DEAD END LENGTHS	RAVEL DISTA	
	+		-	<u> </u>		•	CLEAR EXIT WIDTHS	FOR EÁCH EX	
-	—— Ŧ —		-	<u> </u>		•	MAXIMUM CALCULAT EGRESS WIDTH (1005	5.3)	
						•	ACTUAL OCCUPANT L A SEPARATE SCHEM		
						•	STRUCTURE IS PROV	IDED FOR PU	JRPOSES
						•	LOCATION OF DOORS	WITH DELAY	YED EGR
						•	LOCATION OF DOORS	6 EQUIPPED V	WITH HO
						•	LOCATION OF EMERG		
						•	THE SQUARE FOOTA	GE OF EACH	SMOKE
						-	NOTE ANY CODE EXC ABOVE		INDLE

BUILDING CODE SUMMARY

(B)		(C)	(D)					
TABLE 506	.2 ⁴ AREA	AREA FOR	ALLOWABLE AREA					
SPRINKLERED	SPRINKLERED	FRONTAGE	PER STORY OR UNLIMITED					
	69,000 SF							
	48,000 SF		48,000 SF					
	78,000 SF							
CTION 506.2 ARE COMPUTED THUS: JBLIC WAY OR OPEN SPACE HAVING 20 FT MINIMUM WIDTH(F) (P)								

/AY = ____(W) (do not exceed 30) SE I_f = 100 [F/P - 0.25] x W/30 =____(%)

DITIONS OF SECTION 507.

R OF STORIES IN THE BUILDING x D (MAXIMUM 3 STORIES) (506.2) ARAGES MUST COMPLY WITH 406.5.4.

NSPRINKLERED AREA VALUE IN TABLE 506.2

ALLOWABLE ABLES 504.3 & 504.4)	SHOWN ON PLANS	CODE REFERENCE					
75 FEET	40 FEET						
4 STORIES	2 STORIES						
Intity is not based on Table 504.3 or 504.4. t comply with Table 412.3.1. comply with Table 406.5.4.							

	RATING	DETAIL #		DESIGN # FOR	DESIGN
'D	PROVIDED* (W/ REDUCTION)	AND SHEET #	FOR RATED	RATED PENETRATION	# FOR RATED
			ASSEMBLY		JOINTS
2					
		2G / A002	UL# U-905		
IN			UL# U-419		
N			UL# U-419		

CULATIONS:

PENINGS TION 05.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
RINKLERED (S)	25%	
RINKLERED (S)	45%	
TS:		
YES		
VES		

-5 S 🗌 PARTIAL

TIONS (Chapter 7) CATIONS (if not on the site plan) ESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8) IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2)

1006.2.1 & 1006.3.2(1))

CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON

T DOOR

NG WHERE FIRE RATED FLOOR / CEILING AND/OR ROOF ES OF OCCUPANCY SEPARATION

VARE (1008.1.10.)

RESS LOCKS AND THE AMOUNT OF DELAY (1010.1.9.7) GNETIC EGRESS LOCKS (1010.1.9.9)

LD-OPEN DEVICES OWS (1030)

EA (202)

COMPARTMENT FOR OCCUPANCY CLASSIFICATION I-2 (407.5) NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ACCESSIBLE DWELLING UNITS (SECTION 1107) NOT APPLICABLE

R R	TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

(SECTION 1106) ACCESSIBLE PARKING

SEE CIVIL DRAWINGS

LOT OR		RKING SPACES	# OF ACCE	TOTAL # ACCESSIBLE			
PARKING AREA	A REQUIRED PROVIDEI		REGULAR WITH		VAN SPACES WITH		
			5' ACCESS	132" ACCESS	8' ACCESS	PROVIDED	
			AISLE	AISLE	AISLE		5
PARKING AREA	7	7	11	N/A	N/A	1	F
TOTAL							

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATERCLOSETS		URINALS	LAVATORIES			SHOWERS DRINKING FOUI	OUNTAINS		
	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	/ TUBS	REGULAR	ACCESSIBLE
มุ EXIST'G										
K NEW										
か REQ'D										

Special Approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:

THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE NORTH CAROLINA ENERGY CONSERVATION CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH THE REQUIRED PORTIONS OF THE PROJECT INFORMATION FOR THE PLAN DATA SHEET. IF PERFORMANCE METHOD, STATE THE ANNUAL ENERGY COST FOR THE STANDARD REFERENCE DESIGN VS ANNUAL ENERGY COST FOR THE PROPOSED DESIGN.

EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: ___ YES (the remiander of this section is not applicable) NO EXEMPT BUILDING: YES Provide code or statutory reference:

CLIMATE ZONE: 3A

METHOD OF COMPLIANCE:

If 'Other' specify source here:

PRESCRIPTIVE	(ENERGY CODE
PERFORMANCE	(ENERGY CODE
PRESCRIPTIVE	(ASHRAE 90.1)
PERFORMANCE	(ASHRAE 90.1)
PERFORMANCE	(OTHER)

NO

ROOF/CEILING ASSEMBLY (each assembly)	STEEL FRAMING / ABOVE DECH
DESCRIPTION OF ASSEMBLY	
U-VALUE OF TOTAL ASSEMBLY	D of i
R-VALUE OF INSULATION	R-25ci
SKYLIGHTS IN EACH ASSEMBLY	
	00717
TOTAL SQUARE FOOTAGE OF SKYLIGHTS IN EACH	ASSEMBLY
EXTERIOR WALLS (each assembly)	
DESCRIPTION OF ASSEMBLY	STEEL FRAMING / CMU
R-VALUE OF INSULATION	R-13 + R-7.5ci
OPENINGS (windows or doors with glazing)	
U-VALUE OF ASSEMBLY	U-0.45
SOLAR HEAT GAIN COEFFICIENT	U-0.25
PROJECTION FACTOR	
DOOR R-VALUES	U-0.77
WALLS BELOW GRADE (each assembly)	
DESCRIPTION OF ASSEMBLY	CMU
U-VALUE OF TOTAL ASSEMBLY	
R-VALUE OF INSULATION	R-7.5ci
FLOORS OVER UNCONDITIONED SPACE (each assembly)	
DESCRIPTION OF ASSEMBLY	
U-VALUE OF TOTAL ASSEMBLY	
R-VALUE OF INSULATION	
FLOORS SLAB ON GRADE (each assembly)	
DESCRIPTION OF ASSEMBLY	SLAB ON GRADE
U-VALUE OF TOTAL ASSEMBLY	
R-VALUE OF INSULATION	N/A

ELI EL

	BECKER MORGAN
STRUCTURAL DESIGN SEE STRUCTURAL DRAWINGS	G R O U P
DESIGN LOADS: IMPORTANCE FACTORS: SNOW (Is) SEISMIC (Ie)	A R C H I T E C T U R E E N G I N E E R I N G
LIVE LOADS: ROOFPSF MEZZANINEPSF FLOORPSF	North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403
GROUND SNOW LOAD: PSF WIND LOAD: ULTIMATE WIND SPEED MPH (ASCE-7-16)	910.341.7600 Maryland
WIND LOAD: ULTIMATE WIND SPEED Image: Mint (AGCL/PTG) EXPOSURE CATEGORY Image: Mint (AGCL/PTG) SEISMIC DESIGN CATEGORY: A B C D PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS: RISK CATEGORY (TABLE 1604.5) I II III IV SPECTRAL RESPONSE ACCELERATION S_ %g S1 %g S1 %g SITE CLASSIFICATION (ASCE 7) A B C D E F DATA SOURCE: FIELD TEST PRESUMPTIVE BASIC STRUCTURAL SYSTEM: BEARING WALL DUAL W/ SPECIAL MOMENT FRAME BUILDING FRAME DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL MOMENT FRAME INVERTED PENDULUM	Interview312 West Main St, Suite 300Salisbury, MD 21801410.546.9100Delaware309 S Governors AveDover, DE 19904302.734.7950The Tower at STAR Campus100 Discovery Boulevard, Suite 102Newark, DE 19713302.369.3700www.beckermorgan.com
ANALYSIS PROCEDURE: SIMPLIFIED EQUIVALENT LATERAL FORCE DYNAMIC ARCHITECTURAL, MECHANICAL, COMPONENTS ANCHORED? YES NO	Town of NORTH TOPSAIL BEA
LATERAL DESIGN CONTROL: EARTHQUAKE WIND	FOUNDED IN 1990 Naturis Tranquil Beauty NORTH CA
FIELD TEST (PROVIDE COPY OF TEST REPORT) PSF	CBHF ENGINEERS PLLC
PRESUMPTIVE BEARING CAPACITY PSF PILE SIZE, TYPE AND CAPACITY PSF	PME ENGINEERS 2246 YAUPON DRIVE
MECHANICAL SUMMARY SEE MECHANICAL DRAWINGS	WILMINGTON, NC 28401 ph 910-791-4000
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT THERMAL ZONE	PARAMOUNTE ENGINEERING, I
WINTER DRY BULB	CIVIL ENGINEERING 122 CINEMA DRIVE
INTERIOR DESIGN CONDITIONS	WILMINGTON, NC 28403 ph 910-791-6707 fax 910-791-6760
WINTER DRY BULB	WOODS ENGINEERING
RELATIVE HUMIDITY BUILDING HEATING LOAD	STRUCTURAL ENGINEERING
BUILDING COOLING LOAD	254 N. FRONT STREET, SUITE 201 WILMINGTON, NC 28401
MECHANICAL SPACING CONDITIONING SYSTEM	ph 910-343-8007 fax 910-343-8088
UNITARY DESCRIPTION OF UNIT HEATING EFFICIENCY COOLING EFFICIENCY SIZE CATEGORY OF UNIT BOILER SIZE CATEGORY, IF OVERSIZED, STATE REASON CHILLER SIZE CATEGORY, IF OVERSIZED, STATE REASON LIST EQUIPMENT EFFICIENCIES:	EXHIBIT 5
ELECTRICAL SUMMARY SEE ELECTRICAL DRAWINGS	Con GROUPS
ELECTRICAL SYSTEM AND EQUIPMENT METHOD OF COMPLIANCE: ENERGY CODE: PRESCRIPTIVE PERFORMANCE ASHRAE 90.1: PRESCRIPTIVE PERFORMANCE LIGHTING SCHEDULE LIGHTING SCHEDULE NUMBER OF LAMPS IN FIXTURE	Signature Signature
 BALLAST TYPE USED IN THE FIXTURE TOTAL WATTAGE PER FIXTURE TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED (whole building or space by space) TOTAL EXTERIOR WATTAGE SPECIFIED VS ALLOWED 	NORTH TOPSA
ADDITIONAL PRESCRIPTIVE COMPLIANCE	BEACH FIRE
C406.2 MORE EFFICIENT HVAC EQUIPMENT PERFORMANCE	STATION #2
C406.3 REDUCED LIGHTING POWER DENSITY C406.4 ENHANCED DIGITAL LIGHTING CONTROLS	3304 GRAY STREET
C406.5 ON-SITE RENEWABLE ENERGY	NORTH TOPSAIL BEACH, NC 28460
C406.6 DEDICATED OUTDOOR AIR SYSTEM	PROGRESS DRAWINGS
C406.7 REDUCED ENERGY USE IN SERVICE WATER HEATING	NOT FOR CONSTRUCTION NOT FOR PERMITS
	01/27/23
	APPENDIX B
	ISSUE BLOCK

Town of th Topsail Beach 1990 Naturi's Tranquil Beauty NORTH CAROLIN NGINEERS PLLC GINEERS JPON DRIVE TON, NC 28401 91-4000

IOUNTE ENGINEERING, INC. GINEERING EMA DRIVE GTON, NC 28403

ENGINEERING URAL ENGINEERING

HIBIT 5



RTH TOPSAIL ACH FIRE ATION #2

PROGRESS	
DRAWINGS	

Mark Date Description PROJECT NO: 2021025.02 01.30.2023 DATE: SCALE: DRAWN BY: EJS PROJ MGR: BMR G002

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Town of North Topsail Beach

Joann M. McDermon, Mayor Mike Benson, Mayor Pro Tem

Aldermen: Alfred Fontana Richard Grant Tom Leonard Connie Pletl





Alice Derian, ICMA-CM Town Manager

> Melinda Mier Town Clerk

Nature's Tranquil Beauty Zoning Board of Adjustment Monday, January 30, 2023, 5:30 p.m. ORDER

To Whom It May Concern:

The Board of Adjustment for the Town of North Topsail Beach, Onslow County, North Carolina, held a public hearing on January 30, 2023 to consider Case #VF-23-01, a variance request by the Town of North Topsail Beach from Unified Development Ordinance §7.05(G), to allow for construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC, not otherwise permissible by the Town of North Topsail Beach Development Ordinance.

Having considered all technical evaluations, all relevant factors, all standards specified in Unified Development Ordinance 97.04(E)(4)(a) - (k) and having heard all of the evidence and arguments presented at the hearing by all sworn witnesses, included as a summary of FINDINGS OF FACT, the Board makes the following CONCLUSIONS:

- A showing of good and sufficient cause has been made;
- A determination that failure to grant the variance would result in exceptional hardship; and
- A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense, create nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or this article.

THEREFORE, on the basis of the foregoing, it is ORDERED that a variance be granted from the Town's higher standard of enforcing v-zone development standards in an AE zone identified in Unified Development Ordinance § 7.05 (G), to allow for construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC, that the design meets or exceeds NFIP AE flood zone requirements for commercial/non-residential development with 12-foot base flood elevation and 2-foot freeboard including dry floodproofing of the below regulatory flood where the use is anything other than parking, access, or storage.

Any person aggrieved by the decision of the Appeal Board may appeal such decision to the Court, as provided in North Carolina General Statutes Chapter 7A.

Ordered this 30th day of January, 2023:

h clas

Hanna McCloud Chair

Certified:

Kathryn-Winzler Secretary

2008 Loggerhead Court North Tomail Beach NC 28460

Section VII, ItemA.

https://www.northtopsailbeachnc.gov/

North Topsail Beach Coastal Update March 2023





USACE (Corps) AIWW/Channel Dredging.





 VERTICAL DATUM NAVDRA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING HORIZONTAL AND VERTICAL CONTROL PROR TO PLACEMENT OF DREDGED MATERIAL IN THE DESIGNATED PLACEMENT AREA.

Phase 1 Beach Placement

ATLANTIC OCEAN

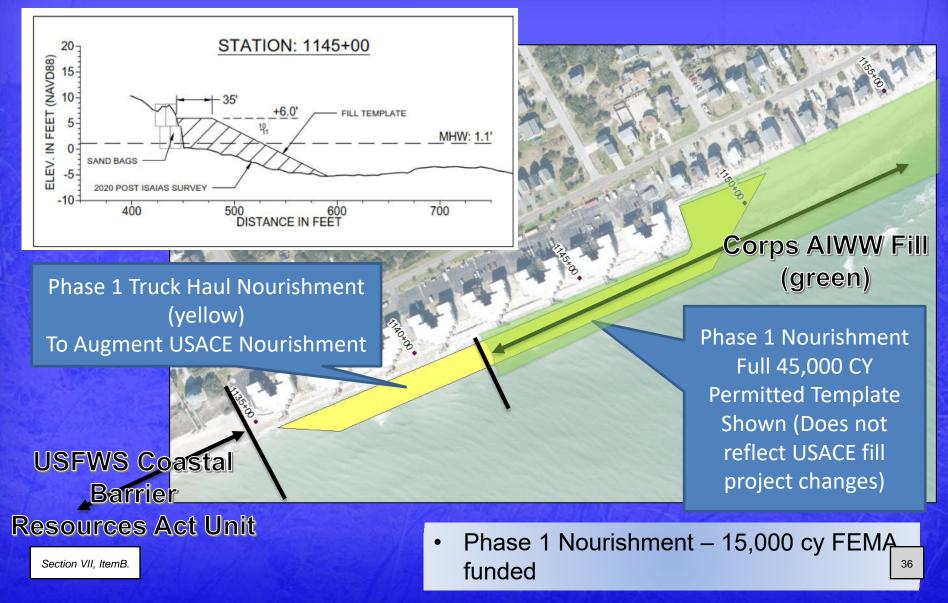
PROPOSED APPROXIMATE LOCATION OF PIPELINE ROUTE

APPROXIMATE LIMITS OF BEACH PLACEMENT AREA I'LL MATERIAL SHALL BE PLACED AT TYPICAL BEACH PLACEMENT SECTION UNIT. MATERIAL TO BE OREDGED IS SKHAUSTED. MOTH OF TYPICAL BEACH PLACEMENT SECTION MAY BE ADJUSTED AT THE DISORDETION OF THE CO.R. TO ASSUE MATERIAL PLACEMENT WITHIN THE LIMITS INDICATED. PLACEMENT FOR TANGENT 1 MOT TANGENT 2 STATION OF 30400.



Section VII, ItemB.

Permitted Nourishment NON-COBRA Areas in Phase 1 Beach (not Dune) Truck Haul Nourishment



Florence & Dorian Nourishment in Phase 5 Has Begun. **Beach (not Dune) Nourishment**



Tranche Two Project -

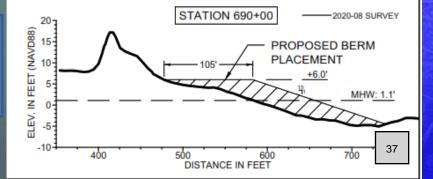
Late February 2023 - Work begins near Gray Street and Works South

PHASE 5

Town Limit

Work Completed

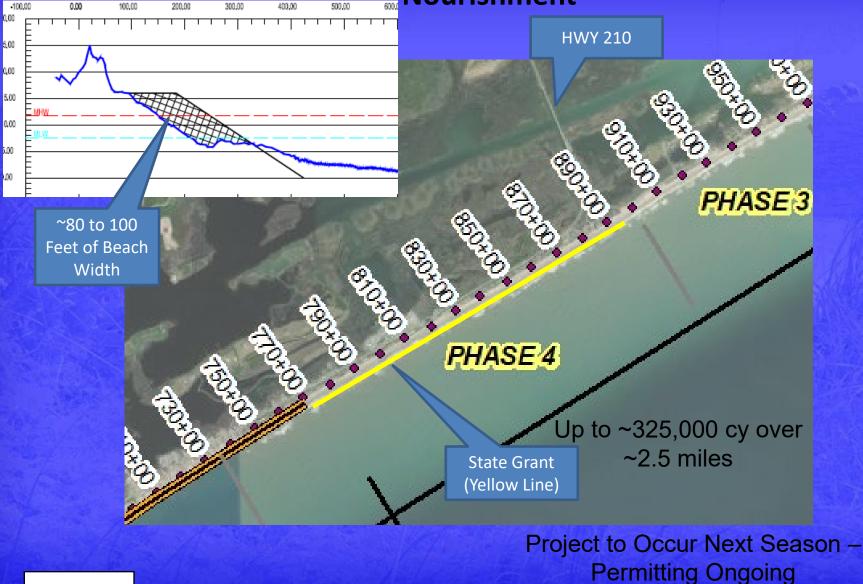
Project to Occur over Two Seasons and Two Separate Sub-Projects



Section VII, ItemB.

Successful State Grant in Phase 4. Beach (not Dune)

Nourishment



County Beach Access Dune Rehabilitation



Figure 2: Plan view dune placement schematic.

Town Beach Projects Updates

- USACE AIWW/Channel Dredging and Phase 1 Placement
- Hurricane Dorian Phase 1 FEMA Category G (~15,000 cy) near Topsail Reef Villas and ~45,000 cy permitted (Nov 16, 2022, to April 1, 2023).
- New River Inlet Management Master Plan EIS: Continued EIS processing and meetings. Additional Modeling Completed.
- County Beach Access 4 Gravelly Sand Mitigation
- State Grant Nourishment (Phase 4 and connects with Phase 5 Truck Haul)
- Phase 5 Beach Nourishment ST Wooten working north. ~290,000 cy placed. Tranche 1 to be completed soon.
- Separate 2nd Tranche Truck Haul for Phase 5 ~290,000 cy. Start at Gray Street and work south – Started Late February 2023
- Working with NTB Finance Officer and DEC Associates regarding funding for FEMA and State funded projects
- Permitting Coordination (all projects)





BOARD OF ALDERMEN AGENDA ITEM MARCH 1, 2023

ISSUE:	Amendment to the Capital Project Ordinance 22-1002
PRESENTED BY:	Caitlin Elliott, Finance Officer
PRESENTATION:	Finance Department
Background:	The Town was awarded \$10,500,000 in grant funding from the North Carolina Department of Environmental Quality (NCDEQ) to be used to extend our current beach renourishment project northward an extra 2.5 miles. This will make the southmost 6.5 miles of beach in our town a FEMA Category G Engineered Beach. The Town recently received the first installation payment for \$2,625,000. After discussions with the Town auditor, he advised the following amendment to properly account for these grant monies. This amendment accounts for the entirety of the grant funds and also creates a separate division for this additional 2.5 mile project (Tranche 3).
Attachments:	Beach Maintenance Capital Project Amendment 22-1002
Recommendation:	Approve Amendment as recommended
Action Needed:	Yes
Suggested Motion:	<i>"I,, make a motion to approve the Beach Maintenance Capital Project Amendment 22-1002 as presented."</i>
Funds:	31
Follow Up: Finan	ce Officer

TOWN OF NORTH TOPSAIL BEACH 2008 Loggerhead Court North Topsail Beach, NC 28460

AMENDMENT TO THE CAPITAL PROJECT ORDINANCE

BM CP A22-1002

BE IT ORDAINED by the Governing Board for the Town of North Topsail Beach, North Carolina that the following amendment be made to the capital project ordinance, Number 22-2:

Section 1: To amend the Beach Maintenance Capital Project Fund appropriations with increases as follows:

ACCOUNT NO:	ACCOUNT				
31-460	TRANCHE 3 PROJECT		\$	1	0,500,000.00
		Total Expenditures	\$	1	0,500,000.00
	This amendme	ent will result in an increa	ase to	o tl	he
	Beach Main	ntenance Capital Projec	t Fu	ınd	l
The	purpose of this budget amendment is to ap	ppropriate grant funds for	the	thi	rd portion of Town beach project.
Section 2:	To amend the Beach Maintenance Capit	al Project Fund estimated	l revo	en	ues with increases as follows:
31-368	NCDEQ GRANT FUNDS		\$	1	0,500,000.00
		Total Revenues	\$	1	0,500,000.00
The	Finance Officer has performed a thoroug	h analysis of the Revenue	es an	nd l	has determined that the following
	changes are recommended to ensu	are a balanced statement	for th	he	Capital Project Fund.
	Copies of the budget ordinance amendm Finance Officer for their direction.	ent shall be furnished to	the T	Γον	wn Clerk, the Council, the Budget Officer, and
Adopted this 1st da	y of March 2023.				
	Motion made by	, 2nd by			
	VOTE:FOF	R AGAINST	A	AB	SENT

JOANN MCDERMON, MAYOR

CAITLIN ELLIOTT, FINANCE OFFICER

Town of North Topsail Beach

Joann M. McDermon, Mayor Mike Benson, Mayor Pro Tem

Aldermen: Richard Grant Connie Pletl Alfred Fontana Tom Leonard



Alice Derian, ICMA-CM Town Manager

> Nancy Avery Interim Town Clerk

Nature's Tranquil Beauty

Board of Aldermen Regular Meeting minutes Wednesday, February 1, 2023, at 11:00 AM North Topsail Beach Town Hall

The Town of North Topsail Beach Board of Aldermen held its regular meeting on Wednesday, February 1, 2023. There was a quorum of the Board present and the Town Attorney was in attendance.

Board members present: Mayor Joann McDermon, Mayor Pro Tem Mike Benson Aldermen: Connie Pletl, Fred Fontana, Tom Leonard

Board members absent: Richard Grant

Staff present: Finance Officer Caitlin Elliott, Fire Chief Chad Soward, Police Chief William Younginer, Planning Director Deborah J. Hill, IT Director Ricky Schwisow, Interim Town Clerk Nancy Avery, Town Manager Alice Derian and Town Attorney Brian Edes

Mayor McDermon called the meeting to order at 11 am. Alderman Leonard gave the invocation and Mayor McDermon led in the Pledge of Allegiance.

Approval of agenda

Motion – Alderman Leonard motioned to adopt the agenda as presented; seconded by Alderman Fontana; motion carried unanimously.

Manager's Report Beach Projects:

Manager Derian reported the following:

Phase 5 project

ST Wooten continues with the Phase 5 project. Approximately 105,333 cubic yards of material have been placed as of January 30th. I polled the Board a week ago for a consensus to open up the 2nd Avenue access to expedite the project and to aid in logistics with two contractors working the project. All Board members were in favor of opening the access. Our engineers have requested approval from the Coastal Area Management Authority (CAMA) and I have been informed at the end of the day Monday that they are ok with us proceeding. I will be publishing a

notice once I receive a timeline that we will be temporarily closing this access until May. Trucks will continue to use the Gray Street access as well.

Channel to Jacksonville project

This is a United States Army Corps of Engineers (USACE) project. They expected to work through January 20th. I have not received an official update; however, during another meeting they mentioned they expect to work through February 9th. I posted an update based on information I received to date to our projects page last week along with drone footage video.

Phase 4 - Coastal Storm Damage Mitigation Fund Grant (CSDM) project

The permit that was filed is still pending. We expect a response in early February. I prepared and submitted a one-year contract extension to the state in advance since we know our project will start next November. I submitted it on January 17th and received a confirmed receipt from the state on January 18th. We have received notification that we would be receiving a deposit in the amount of \$2,625,000. This is different from the contract documents which read they reimburse based on invoices submitted on a quarterly basis. We reached out to the state to confirm that the monies received were not in error. Caitlin (Finance Officer) will be working with the auditor to set up the funds and you will have a budget amendment at next month's meeting for receipt of these funds.

Environmental Impact Study (EIS) project

The latest meeting with Mickey Suggs, of USACE and our engineers along with the Mayor and Mayor Pro-Tem was held on January 12th to discuss the EIS. Fran (engineer) completed the review of the additional modeling and provided that to USACE prior to our January meeting. We set a target goal of issuing the Notice of Intent (NOI) by our February Board meeting. I followed up with Mickey Suggs on Monday. Mr. Suggs responded on Tuesday that there is a new requirement for NOI publication. It has to be signed by their South Atlantic Division Commander. He is not sure on the timeline for the process. He feels at best this could be posted by next Friday.

Richard Peters Park project

A Hohonu water level sensor has been installed at Richard Peters Park by TI Coastal. It has been installed on the smaller of the piers/pavilion. This is a solar powered sensor that gets installed on a piling or bridge so it can hover over the water to be measured. I have notified the American Shore and Beach Preservation Association that it has been installed. Once it is recognized and appears on their dashboard, I will share the information on social media and website for anyone who wants to monitor.

I am working with a sign company for the educational component to the Living Shoreline Project. I provided content to a company who is making a mark-up. Once it is finalized, it will take four weeks to make.

2

Section VIII, ItemB.

Fire Station Replacement project

The Board of Adjustment held a public hearing on Monday, January 30th at 5:30 pm to consider the Town's variance request from Unified Development Ordinance 7.05 (G), to allow for construction of Fire Station 2 at 3304 Gray Street. She received notice on Tuesday that included a summary of FINDINGS OF FACT, the Board makes the following CONSLUSIONS:

- A showing of good and sufficient cause has been made
- A determination that failure to grant the variance would result in exceptional hardship; and
- A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense, create nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or this article.
- THEREFORE, on the basis of the foregoing, it is ORDERED that a variance be granted form the Town's higher standard of enforcing v-zone development standards in an AE zone identified in the Unified Development Ordinance 7.05 (G) to allow for construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach, that the design meets or exceeds NFIP AE flood zone requirements for commercial/non-residential development with 12 foot base flood elevation and 2-foot freeboard including dry flood proofing of the below regulatory flood where the use is anything other than parking, access, or storage.
- Any person aggrieved by the decision of the Appeal Board may appeal such decision to the Court, as provided in NC General Statutes Chapter 7A.

The next step is for the project to be on the Planning Board's Agenda for consideration at the February 9th meeting and then continue to the Board of Aldermen meeting on March 1st.

Discussion:

Attorney Edes stated that the evidence was uncontested that it meets Federal regulations. The Town has more strict regulations.

Alderman Leonard asked if this gives the staff enough time or does there need to be a special meeting of the Board?

Manager Derian responded that we are on task as is.

Budget:

Manager Derian stated she provided a proposed budget calendar for Fiscal Year 2023-2024 to the Board on Friday for review as follows:

- February 7th 8th Department Head meetings. She will meet with staff on these days and schedule follow ups as necessary.
- March 14th- 15th Board of Alderman (BOA) Budget Workshops to be held from 8:30 am to 4:30 pm at Town Hall.
- April 19th 20th BOA Budget Workshops to be held from 8:30 am to 4:30 pm at Town Hall
- May 10th Public Hearing on the Budget to be held at 1:00 pm at Town Hall
- June 7th Budget/Ordinance Adoption Budget to be adopted during the regular June BOA meeting.

She said to please note that while the budget workshops are scheduled over a two day period, if tasks are completed within one workshop day, the second will not be necessary. This schedule will also allow for an additional workshop in May if necessary.

All Board members present said they had no conflict with the dates, except Alderman Fontana has a conflict with the March 15th date only.

Manager Derian said Alderman Grant will not be in town for the June meeting and may call in but he had no conflict with the other dates.

Open Forum

One resident thanked the Board for specifying abbreviated items on the agenda. It is appreciated.

Consent Agenda

• Approval of minutes January 4, 2023, meeting

Motion – Alderman Pletl motioned to adopt the Consent Agenda as presented; seconded by Mayor Pro-Tem Benson; motion carried unanimously.

Public Presentation and Hearings

A. Austin Eubanks from Thompson, Price, Scott, and Adams CPA presented audit findings for fiscal year ending June 30, 2022, as follows:

- Financial statements are free of material error and in compliance with government regulations.
- Auditors were given complete access to both management and required information.
- No significant deficiencies in the internal control process were found.
- The financial statement disclosures are neutral, consistent, and clear.
- No significant recorded or unrecorded differences were found.
- There were no disagreements with Management.
- There was an \$805,000 net increase in revenue over expenditures in the General Fund.
- Undesignated Fund Balance minimum as recommended by the Local Government Commission (LGC) is 34% or \$1,937,670. The Town has well above this amount of \$4,385,429 or nine months of operating costs available.
- Fund balance available as a percentage of General Fund Expenditures is 77.14%.
- Tax collection rate is 99.31%.
- Top revenue stream is ad valorem taxes at 43% for a total of \$2,784,924.
- Other revenue streams are Sales and Services taxes at 10% or \$62,470 and Other Revenues at 9% or \$598,623.
- Unrestricted Intergovernmental is 38% or \$2,458,999.
- The Shoreline Protection Fund had a net change of \$1,187,489 in revenue over expenditures. Total unrestricted cash in the fund is \$10,008,321.
- The Beach Maintenance Project fund had a net change of \$176,990 in revenues over expenditures. Total restricted cash in the fund is \$280,943.
- General Fund unrestricted cash is \$4,433,141 and restricted is \$34,371.
- Capital Improvement Projects fund had a net change of \$368,352 in revenues over expenditures.

• The audit was late in submittal to the LGC this time. The Board must sign and submit a letter to the LGC outlining mitigation going forward to prevent late submittal in the future.

B. Coastal Engineer update Mr. Fran Way reported the following:

Channel Dredging

This is an Army Corps of Engineers project and is ongoing.

Phase I beach nourishment non-CBRA areas

This is FEMA funded and permitted to place 15,000 cubic yards of sand. Cost estimate is \$40 per cubic yard at a cost of \$600,000. There are a couple of different ways to put sand on the beach: (a) getting between the buildings and conveyor belting the sand onto the beach or (b) using the Jenkins Way access using heavy equipment.

Discussion:

Are we permitted to place 45,000 cubic yards? What is the price for the additional 30,000 cubic yards (McDermon)

It is not a viable option to truck haul sand from Jenkins Way up to where it will be placed during high tide (Leonard).

How far south does the 15,000 cubic yards take it? (Fontana)

The slide on Phase I is deceptive because it appears that the full 45,000 cubic yards are FEMA funded when only 15,000 cubic yards are FEMA funded. The other 30,000 cubic yards will have to be funded by the Town. The slide needs to be updated to make it accurate. (McDermon)

Mr. Way confirmed it is permitted for 45,000 cubic yards and the cost would be \$40 per cubic yard. He stated this particular footprint is for the whole 45,000 cubic yards. The CAMA permit is a stickler about only putting sand along the shoreline once, so we would do about a third of the footprint with the 15,000 cubic yards.

Manager Derian stated the total cost to place 15,000 cubic yards is \$605,000 which includes a \$5,000 mobilization fee. The total cost for the additional 30,000 cubic yards is \$1.2 million.

Phase 5 Florence and Dorian Beach Nourishment

Work has begun and is headed north. They are getting close to where they will stop. They will then start at Gray Street and work south. ST Wooten is working the project and then another truck hauler, CM Mitchell, will begin work later this month. The project is going as expected. This is beach nourishment. Coastal Area Management Authority (CAMA), Fish and Wildlife and the Wildlife Commission staff viewed the project about two weeks ago and had no concerns.

Dune rebuild at Second Avenue beach access

ST Wooten would like to get started on this as soon as possible. The work is just north of the access.

Manager Derian said she needs the timeline of when they will proceed.

Phase Four - state grant for beach nourishment

This is ongoing and sounds like the permitting is moving forward. There will probably be about 325,000 cubic yards placed over 2.5 miles. State grants are fixed and cannot vary so the volume will be dependent on keeping to the grant amount.

County Beach Access Dune Rehabilitation

The same regulators that visited Phase Five were not happy with this due to gravel in the rock in the dune in the repaired area after Hurricane Ian. They did not tell us that until he reached out to them to say we were ready to start the project. CAMA called and said the gravel has to be removed before we can place nice sand there. We will either have to remove it or screen it. It is approximately 15 truckloads. We will have to measure to be accurate. This will be an extra cost.

Discussion

This needs to be done this season. When will we have the information? We need to do this project, what are the steps? Do we have to update the permit? Can we use this sand somewhere else, like in the parking lots? (McDermon)

Is there no way to separate the gravel from the sand? We need an estimate of how much cheaper it is to screen it because we can use that gravel in the parking lots. (Leonard)

Did the county talk to us about getting the sandy dune soil out of its parking lot and into the dune line before they did it? Could we use that as justification for additional costs? (Benson)

Mr. Way said the permit is fine and the estimate to remove the gravel could be done this week. The contractor gave him an estimate of about \$12,000. CM Martin said they would take the sand. You can separate the gravel from the sand but it takes particular equipment. The contractor said it would be cheaper to remove it than separate it.

Manager Derian said we are bringing in aggregate now to tighten up the parking lots, so we do not need more sand. She needs the estimate of when the work will begin. The contractor just showed up Monday without giving any notice even after asking repeatedly for a schedule. There is about \$130,000 leftover in what was allocated to use from the county that we could use for this, but she needs to have an estimate before she can move forward. She will work through this with the county.

Environmental Impact Study (EIS) Continued processing and meetings.

Discussion

Is the Phase One timeframe of placing 15,000 to 45,0000 cubic yards by April 1st realistic to be done this year or will that be next year? (McDermon)

Mr. Way said it is realistic to get it done this year. They are doing 15,000 cubic yards a week and they should be able to keep that going.

The timing for the Phase Four project is 2024, is that correct? (McDermon) Mr. Way said it will start November 2023 and finish next year in 2024.

Manager Derian asked Mr. Way if he can apply now for the extension in Phase One? Mr. Way said CAMA usually likes to see the project in progress before giving an extension, but he can bring that up with them.

We need the cost update on the preferred option for the EIS that was requested a couple of weeks ago. (Benson)

Continuing Business

A. Topsail Island Shoreline and Protection Committee (TISPC) 2023 Advocate Goals

Mayor McDermon stated the Board received the TISPC 2023 advocate goals right before the last meeting and asked Board members if there was any discussion.

Motion – Alderman Leonard motioned to approve the TISPC 2023 advocate goals as presented; seconded by Alderman Pletl; motion carried unanimously.

B. Beach, Inlet, Sound Advisory Committee (BISAC) update

Mayor Pro-Tem Benson reported:

- There is a January meeting report in the agenda packet.
- The committee changed the monthly meeting date and time from the 4th Tuesday to the 3rd Tuesday except January and November to give the chair of the committee a chance to write a report for the Board because after some meetings there is less than 24 hours to turn it around and have it ready for the next Board meeting. The date change has been posted on the committee webpage.
- The committee discussed the Board's goal of 'review current beach plan and with the input of the beach engineer identify the issues the Town needs to address'. There was a lot of discussion and some components of that are in the report. In addition to our strategic plan, Coastal Management wants each community to have a thirty-year beach management plan which will also help a lot with permitting. At some point this year, we need to start working on this. It is different from the overall strategic plan for beach management. It is prepared by a professional engineering firm and not the committee. There is an expense involved which we talked about last year and funds were put into the budget for this.

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- The committee wants to work on educating the community on what we are doing and how we are going about it as we work through the Environmental Impact Study (EIS) it will be very important to keep the community informed about how it impacts each section of town.
- The committee plans to do some self-training to become more informed on beach management issues.
- The committee would like to help the Board and Town find sources of grant funding outside of the Coastal Storm Mitigation Fund and the Shallow Inlet and Aquatic weed fund for both the beach and sound side.

Discussion:

I am concerned about finding funding sources. We have talked a lot about if there is interaction with other agencies it should be coming from the Board or the Manager and not committee members. We have been down this rabbit hole a lot in the past when someone thought there was a good funding source submitted to the manager who spent a lot of time working on something that is not worthwhile for the Town. She thinks those suggestions should be coming from Mr. Gibson (engineer). She is going on record saying she has issues with the committee looking for grant funding. (McDermon)

That is not the goal at all, only to look at opportunities online (Benson).

I sat in at the last meeting in the absence of Alderman Grant and one of the points I made at least twice was that anything the committee does needs to assist the Board, the manager and staff and not create work for the Manager and staff. I do not think this is a problem, but it is something committee members need to be mindful of. (Leonard)

C. Phase I Nourishment Project

Manager Derian stated:

- We are near to wrapping up the Army Corps project. We are thinking February 9, 2023.
- She wants the Town to be ready to move forward with the FEMA reimbursable project of 15,000 cubic yards which is why she asked Fran (engineer) to have the estimate available from ST Wooten so the Board can consider and at minimum give approval to move forward on that.
- The cost is \$40 per cubic yard plus mobilization fee of \$5,000, so at a minimum the cost for 15,000 cubic yards is \$605,000. She touched base on the amount of 45,000 cubic yards that has been permitted and if the Board feels compelled to discuss or consider going forward with any additional cubic yards, the cost for the 30,000 cubic yards would be \$1.2 million dollar which would have to come out of Fund 30.
- She provided a breakdown to the Board of the \$1.5 million dollar State allocation the Town received a while ago from funds appropriated from the NC General Assembly which was originally to be used for Phase II. The Town worked to update language to enable it to be used not only in Phase Two but also have the option for it to be used for the remaining four phases. She worked with the lobbyist last year to get language removed that required the Town to match monies that was incorrectly put it there. That language was successfully removed and approved on March 17, 2022.

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- Of the \$1.5 million allocated, the Town spent \$280,942.67 to extend the Dune project last year which leaves \$1,219,057.33 available.
- The Board can consider what to do with those additional funds.
- She recommends moving forward with 15,000 as that is ready and be prepared to come in with this when the Army Corps moves out.

Discussion:

We have been advertising this full placement of sand in front of the Topsail Reef condo as long as we have been doing updates. The 15,000 cubic yards will not do much and she recommends we place the full 45,000 cubic yards that have been permitted there because we all know it will move and end up benefitting not just Topsail Reef but other areas. (McDermon)

I agree with the mayor and as the manager said to immediately start after the Army Corps project finishes with the 15,000 cubic yards and then continue. I feel it will benefit further down too. (Pletl)

I think there was an assumption all along that we were going to do that and the 45,000 cubic yards was the magic number. I do not think it was clearly articulated that we were not going to do the balance. Conditions there are such that particularly with state money we have that is to be used for this, we should move on with this. (Leonard).

I agree with the consensus so far. The main thing we were trying to do was figure out how far the Army Corps project was going to get which does not look like that far as they were originally telling us based on what they are doing the last week or so with the reports we are getting. Then there was a little technical comment that the engineer made during a report about putting only one layer of sand down per nourishment cycle and we are not talking about putting Dorian sand on top of Corps sand. We need the engineer to weigh in. I am not sure that we are doing that. The Army Corps has sand behind Building I and that is pretty much it. The Dorian project will start more or less at Building Two and if we use the state allocation to bring it up to the 45,0000 cubic yards it will work on from Building Two or wherever the Corps finishes on down to Building Eight.

Mr. Way (engineer) said that condition is just for our project, not the Army Corps project. We can put sand on top of where the Army Corps put sand.

This is a navigation project, not a beach project. I specifically asked last month about comingling sand, not from the point of a permit, but about granularity and was told that was not an issue (Leonard).

Since we have money from the state and there is no local match to it, it would behoove us to do as much as we can with it. (Fontana)

Motion – Alderman Leonard motioned to authorize the town's contractor to move forward with placement of sand for the full 45,000 cubic yards for Phase I; seconded by Alderman Fontana; motion carried unanimously.

Can we get the 30,000 cubic yards put out before the middle of May? (Fontana)

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Engineer Way said April 1, 2023, is the deadline with a possible extension to April 14th. It will be tight as long as we do not have bad weather. It is also contingent upon the Army Corps finishing on time successfully. It will be a bit of a moving target.

New Business

A. North Topsail Beach Music Festival

Manager Derian said the committee met and one of the things she has been working through with the attorney is what action does the Board need to take to allow a vendor to sell alcohol at Richard Peters Park on April 1st on the day of the concert.

Attorney Edes stated the day we spoke about it we could not access American Legal to view the ordinance(s) related to this. To the extent we have an ordinance prohibiting the sale of alcohol on Town property, the Board could suspend that ordinance under certain parameters and he recommends that if the Board wants to allow a third-party vendor to come into this event, we pass a resolution to suspend the ordinance for this event. If that occurs, the vendor would have to have all ABC permits, commercial general liability insurance policy naming the Town as additional insured and whatever crowd controls are required.

Discussion highlights:

I do not see the need for an ordinance prohibiting this as the Town regulates the vendor. In the event the Town wants to hold additional events in the future I do not see the need for a resolution when there is a process in place. It should be easy when we have Town events, to approve this. I also think we have an ordinance that prohibits food trucks. (McDermon)

Is the ordinance there to keep small groups of people that use the park to prevent them from bringing in small coolers with alcohol? (Leonard)

Attorney Edes said typically small towns have this type of ordinance for liability purposes and to keep it peaceful. If we are going to the route of rescinding the ordinance, we need time to enact in its place a mechanism to determine who you vest the authority to grant permits to the town manager, etc. We can modify the existing ordinance going forward for Town events.

The other option is not to suspend the ordinance but allow the manager to approve on a case-bycase basis, so then we have control over it. (Leonard)

Are we talking beer and wine or all forms of alcohol? (Fontana)

Attorney Edes recommended bringing in a third-party vendor with ABC permitting to determine that.

Motion – Alderman Leonard motioned to suspend the alcohol ban ordinance and food truck ban as it applies to the Town for this event; seconded by Mayor Pro Tem Benson; motion carried unanimously.

B. Resolution 2023-01 Official Notification to Board of Elections on 2023 election

Attorney Edes stated that absent a Charter General Statutes say that unless you are right on top of an election, the person that fills the seat is up for the next election. So the two vacancies plus the mayor's is up for election this year.

Discussion highlights:

I think the mayor's term being only two years is difficult because you do not get to see a project completed. She would like the Board to consider having the mayor's seat be a four-year position. (McDermon)

What is generally done in North Carolina? (Benson)

Attorney Edes responded that he knows of two towns that have recently transitioned to four-year terms for the mayor.

There was discussion in 2007-2008 about the mayoral term. We need to review the University of North Carolina (UNC) School of Government (SOG) Coats Canons and review the roles of the mayor in a mayor/council form of government which is that the mayor is the face of the Town and presides over the meetings.(Leonard)

At about the same time, Topsail Beach was going through the same issue as they were trying to clamp the authority of the mayor. It is a good idea to know what we have to do to stay in our lanes as we are a manager led town. (Pletl)

The mayor asked the attorney to look into this and provide a survey of towns on mayor terms and report back.

Motion – Alderman Pletl motioned to approve the resolution to the Board of Elections as presented; seconded by Alderman Leonard; motion carried unanimously.

C. 2023 Washington DC federal meetings

Manager Derian stated the chair of TISPC has been communicating with Alderman Leonard about upcoming 2023 Washington DC federal meetings along with the American Beach and Shore Protection Authority conference is being held in DC. There has been discussion about how many people may attend.

Alderman Leonard said we were allocated two. Former Congressman McIntyre wanted to limit the number. Surf City has two going. He requested three be allowed to attend from North Topsail Beach which would be himself, the manager, and the mayor.

Motion – Mayor Pro-Tem Benson motioned for the Mayor, Alderman Leonard and Town Manager Derian are the representatives at the 2023 Washington DC federal meetings; seconded by Alderman Pletl; motion carried unanimously.

Open Forum

Susan Meyer of 2224 New River Inlet Road, Unit 138 thanked the Board for approving the extra sand at Topsail Reef. She is pleased you were able to find the funds and move forward with it.

<u>Attorney's Report</u> None

Mayor's Report

Mayor McDermon stated she and Alderman Pletl have been busy with the kickoff for the committee for the Music Festival. The committee had an initial meeting and discussed the ads for sponsorship. parking, number of food trucks and bathroom availability. We will be working on layout plan for the site for bands, food trucks, parking and so on.

Alderman Fontana said at the Chamber meeting he attended, they were under the understanding that they were handling the tickets.

Manager Derian said we have not received all the answers about the software platform for tickets that the Chamber uses and also whether the Chamber will sponsor a truck or not. They have reached out to schedule recurring monthly meetings with the Towns of Holly Ridge, Surf City, Topsail Beach and us to help with the communication.

Alderman's report

Alderman Pletl thanked everyone for coming out or watching for home. She thanked the staff for everything they do. She is very pleased with the audit and it went very well. This is something the Town should be proud of. The sand at Phase 5 looks incredible.

Aldermen Leonard said he attended the NCBIWA Board of Directors meeting on January 17th and we established the spring conference dates of May 11 and 12th in Emerald Isle at the Islander Inn. At some point, we will be asked for sponsorship. He attended the winter event at Camp Lejeune on January 20th with Alderman Fontana. It was a good event and well attended. There were a couple of County Commissioners there along with the old and new Sheriff. It was a good networking event. He attended the East Carolina Council legislative breakfast along with the Mayor Pro Tem and Manager on January 23rd where they met State Senator Lazarra and he again reiterated what can he do to help the Town. He will try to set up a meeting with him, hopefully locally. He said the manager is doing a great job and he thanked her and said he appreciates everything she is doing for the town.

Mayor Pro Tem seconded what the other alderman said and thanked the manager and department heads for all they do for the Town. We feel safe in our community because of them. One of the things accomplished at the ECC conference was to hear from the legislators what they have to work with such as one may be representing five counties. There are lots of statewide problems they are addressing. They were willing to listen to our local issues. The TISPC adopted an every other month meeting.

Alderman Fontana said he echoes the positive comments he heard about the Christmas Tree. It was a very nice welcome to the Town when you came across the bridge. He commended the staff for the tree. He and the manager were at the open house for Share the Table, an agency that

provides food for a lot of needy people in Pender and Onslow Counties. They are running a capital campaign as they have outgrown their space, so any support you can give to their effort is appreciated.

Closed Session

Motion – Alderman Leonard motioned to go into Closed Session at 12:51 pm as per N.C.G.S 143-318.11(a)(3) for consultation with attorney' seconded by Alderman Pletl; motion carried unanimously.

Motion – Alderman Leonard motioned to return to open session at 1:23 pm; seconded by Alderman Pletl; motion carried unanimously.

Mayor McDermon stated no action was taken in Closed Session.

Adjournment

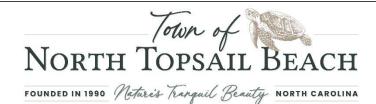
Motion – Alderman Fontana motioned to adjourn at 1:26 pm; seconded by Alderman Leonard; motion carried unanimously.

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Joann McDermon, Mayor

ATTEST:

Nancy Avery, Interim Town Clerk



BOARD OF ALDERMEN MEMORANDOM

TO: MAYOR MCDERMON AND ALDERMEN

FROM: Caitlin Elliott, Finance Officer

SUBJECT: Monthly Financial Report

DATE: February 21, 2023

The following events occurred during the month of February of 2023 in the Finance Department:

- The Town Manager and Finance Officer have completed initial meetings with Department Heads for the upcoming 2023-2024 budget. Finance is working diligently to compile all of the preliminary information for the first meeting with the Board in March.
- FEMA has awarded the Town \$51,799.92 for a Category B project from Hurricane Ian. This allotment is covering expenses and costs for emergency work before, during and after the storm. FEMA also awarded the Town \$2,590 for a Category Z project, also from Ian, which covers administrative costs spent on this project. A request for payment from both projects will be submitted in the upcoming weeks.
- We are still awaiting reimbursement from North Carolina Department of Transportation for our annual mowing agreement amount for \$8,395.67.1
 spoke to our coordinator and she said that she is awaiting the approval process to post payment. Expecting this within the next month.
- In January the Town collected \$50,379.46 in interest within the North Carolina Capital Management Trust account.

- A Budget to Actual report is contained in this month's packet as well as a graph for the fiscal year. A separate Budget to Actual report is provided for Fund 31, the Capital Project Fund for the beach renourishment project.
- We received \$45,158.75 in paid parking revenues for the month of January.
 Majority of revenues are made up of annual passes. Report generated by Otto
 Connect is provided. For comparison, January of 2022 we collected \$39,943.
- We have received \$28,358 from Onslow County for property taxes. As a reminder, the budget reflects a 90% collection rate, totaling \$6,084,027 in revenues, being divided between three funds. To date, we have received \$6,463,153.82 in property taxes, equating to approximately 95.61% collection rate.
- January's Motor Vehicle taxes have been deposited in the amount of \$9,912.49.
- So far in February, we have processed approximately \$1,813,097 in accounts payable. The check register is enclosed for review. Please be aware that there is one remaining check run for this month yet to be processed.
- During the month of February, we have received \$69,008.25 for Occupancy Taxes from short-term rentals during January. The detailed report is provided. Last year during the same time frame we received \$38,569.45, for comparison. Please note that we have already exceeded our projected figure for Occupancy Taxes in the Budget to Actual report, Fund 30 revenues.
- Lastly, we received \$271,386 for Sales and Use Tax, for collections during January. Last year, for revenue comparison, we collected \$238,432 for the same period. We also received the Solid Waste Disposal Tax for \$234.41, which we receive quarterly.

If anyone has any questions, concerns, or needs additional information, please do not hesitate to ask!

Respectfully submitted,

CaitOin Ellert

Caitlin Elliott Finance Officer

Section VIII, ItemC.

2/22/2023 11:28:59 AM

Period Ending 6/	30/2023
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10 (GENERAL	FUND
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Description	Budget	Encumbrance	MTD	YTD	Variance P	Percent
Revenues						
10-301-00 AD VALOREM TAX - Current Year	3,678,714	0.00	0.00	3,904,921.09	226,207.09	106%
10-301-01 AD VALOREM TAX - Prior Years	50,000	0.00	0.00	(15,706.45)	(65,706.45)	-31%
10-301-02 AD VALOREM TAX - MOTV	70,000	0.00	0.00	55,885.86	(14,114.14)	80%
10-317-00 AD VALOREM TAX Penalties	3,000	0.00	0.00	1,391.93	(1,608.07)	46%
10-317-01 COUNTY GRANT FUNDING	10,000	0.00	0.00	2,701.75	(7,298.25)	27%
10-329-00 INTEREST	15,000	0.00	0.00	162,578.20	147,578.20	1084%
10-335-00 MISCELLANEOUS	5,000	0.00	0.00	14,849.71	9,849.71	297%
10-335-01 MEETING ROOM	500	0.00	0.00	0.00	(500.00)	
10-336-07 SALE OF TOWN MERCHANDISE	5,000	0.00	0.00	0.00	(5,000.00)	
10-337-00 UTILTIES FRANCHISE TAX	330,000	0.00	0.00	178,767.45	(151,232.55)	54%
10-341-00 BEER & WINE TAX	3,400	0.00	0.00	30.00	(3,370.00)	1%
10-343-00 POWELL BILL ALLOCATIONS	25,000	0.00	0.00	34,116.54	9,116.54	136%
10-345-00 LOCAL OPTION SALES TAX	1,864,500	0.00	0.00	1,664,192.48	(200,307.52)	89%
10-347-02 SOLID WASTE DISP TAX	750	0.00	0.00	605.14	(144.86)	81%
10-350-00 RECREATION -RENTAL FEES	1,500	0.00	0.00	1,925.00	425.00	128%
10-350-01 PAID PARKING REVENUE	182,500	0.00	0.00	93,650.33	(88,849.67)	51%
10-351-01 OFFICER CITATIONS & COURT	5,000	0.00	0.00	1,544.90	(3,455.10)	31%
10-352-01 FIRE FINES & VIOLATIONS	2,000	0.00	0.00	0.00	(2,000.00)	
10-352-02 PARKING/CODE ENFORCEMENT FINES	20,000	0.00	0.00	1,200.00	(18,800.00)	6%
10-352-03 PLANNING DEPT. FEES	6,000	0.00	0.00	0.00	(6,000.00)	
10-355-00 BUILDING PERMITS	85,000	0.00	0.00	67,933.90	(17,066.10)	80%
10-355-01 MECHANICAL PERMITS	15,000	0.00	0.00	5,810.00	(9,190.00)	39%
10-355-02 ELECTRICAL PERMITS	18,000	0.00	0.00	10,990.00	(7,010.00)	61%
10-355-03 PLUMBING PERMITS	2,500	0.00	0.00	1,680.00	(820.00)	67%
10-355-04 INSULATION PERMITS	500	0.00	0.00	0.00	(500.00)	
10-355-05 HOMEOWNERS RECOVERY FEE	300	0.00	0.00	133.00	(167.00)	44%
10-355-06 TECHNOLOGY FEE	7,500	0.00	0.00	4,607.70	(2,892.30)	61%

2/22/2023 11:28:59 AM

Period Ending 6/30/2023

10 GENERAL FUND

Description	Budget	Encumbrance	MTD	YTD	Variance Pe	ercent
10-355-07 REINSPECTION FEE/FINES	3,000	0.00	0.00	950.00	(2,050.00)	32%
10-357-08 ZONING PERMITS	20,000	0.00	0.00	17,050.00	(2,950.00)	85%
10-359-00 REFUSE COLLECTION FEES	514,524	0.00	0.00	294,559.21	(219,965.15)	57%
10-359-50 VACANT LOT SWF	10,000	0.00	0.00	150.00	(9,850.00)	2%
10-359-51 LOST CART REPLACEMENT	2,000	0.00	0.00	320.00	(1,680.00)	16%
10-359-52 ADD'L CART RECYCLING	2,500	0.00	0.00	400.00	(2,100.00)	16%
10-367-01 SALES TAX REFUNDS	20,000	0.00	0.00	24,233.92	4,233.92	121%
10-368-01 GRASS MOWING REIMB	8,396	0.00	0.00	0.00	(8,396.00)	
10-368-02 GRANT FUNDS	57,400	0.00	0.00	0.00	(57,400.00)	
10-382-00 SALE OF LESO ASSETS	5,000	0.00	0.00	0.00	(5,000.00)	
10-383-00 SALE OF FIXED ASSETS	20,000	0.00	0.00	9,036.00	(10,964.00)	45%
Revenues Totals:	7,069,484	0.00	0.00	6,540,507.66	(528,976.70)	93%
Expenses						
10-410-02 SALARIES	36,000	0.00	0.00	22,000.00	14,000.00	61%
10-410-05 FICA (7.65%)	2,754	0.00	0.00	1,683.00	1,071.00	61%
10-410-14 TRAVEL & TRAINING	2,000	0.00	0.00	225.00	1,775.00	11%
10-410-33 DEPARTMENTAL SUPPLIES	1,500	0.00	0.00	377.79	1,122.21	25%
10-410-42 CHARTER CODES SERVICE	5,000	0.00	0.00	0.00	5,000.00	
10-410-43 AUDITOR FEES	15,500	0.00	0.00	9,375.00	6,125.00	60%
10-410-45 TAX COLLECTION FEES	62,000	0.00	0.00	58,195.25	3,804.75	94%
10-410-47 PROFESSIONAL SERVICES	100,000	0.00	0.00	32,124.66	67,875.34	32%
10-410-50 DONATIONS OTHER AGENCIES	6,000	0.00	0.00	3,500.00	2,500.00	58%
10-410-53 DUES & SUBSCRIPTIONS	2,750	0.00	0.00	3,354.70	(604.70)	122%
10-410-57 MISCELLANEOUS	500	0.00	0.00	84.97	415.03	17%
10-410-58 TAX REFUNDS	2,500	0.00	0.00	362.79	2,137.21	15%
10-410-95 BOARD STIPEND	3,600	0.00	0.00	600.00	3,000.00	17%
GOVERNING BODY Totals:	240,104	0.00	0.00	131,883.16	108,220.84	55%
10-420-02 SALARIES	397,000	0.00	0.00	235,566.26	161,433.74	59%
<u>10-420-05 FICA (7</u> .65%)	30,371	0.00	0.00	17,967.15	12,403.35	59 <u>%</u>
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10 GENERAL	FUND
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Description	Budget	Encumbrance	MTD	YTD	Variance Pe	ercent
10-420-06 GROUP INSURANCE	42,250	0.00	0.00	22,326.24	19,923.76	53%
10-420-07 ORBIT RETIREMENT (12.23%)	48,553	0.00	0.00	28,713.96	19,839.14	59%
10-420-08 401K (3%)	11,910	0.00	0.00	6,455.97	5,454.03	54%
10-420-09 TOWN INSURANCE HRA	30,000	0.00	0.00	18,861.74	11,138.26	63%
10-420-10 EMPLOYEE TRAINING	6,000	0.00	0.00	246.00	5,754.00	4%
10-420-11 POSTAGE	2,500	0.00	0.00	357.70	2,142.30	14%
10-420-12 MANAGER EXPENSE ACCT	1,000	0.00	0.00	0.00	1,000.00	
10-420-13 TUITION REIMBURSEMENT	2,500	0.00	0.00	0.00	2,500.00	
10-420-15 BANK CHARGES	2,500	0.00	0.00	450.50	2,049.50	18%
10-420-16 M & R EQUIPMENT	500	0.00	0.00	0.00	500.00	
10-420-17 M & R VECHICLE	1,500	0.00	0.00	52.24	1,447.76	3%
10-420-18 CONSUMABLES	4,000	0.00	0.00	3,042.59	957.41	76%
10-420-26 ADVERTISING	1,500	0.00	0.00	0.00	1,500.00	
10-420-31 GAS, OIL & TIRES	2,000	0.00	0.00	846.29	1,153.71	42%
10-420-33 DEPARTMENT SUPPLIES	6,000	0.00	0.00	4,847.47	1,152.53	81%
10-420-34 TOWN APPAREL & MERCH EXPENSE	3,000	0.00	0.00	1,451.54	1,548.46	48%
10-420-35 IT EQUIPMENT & SERVICES	6,500	0.00	0.00	8,951.06	(2,451.06)	138%
10-420-45 CONTRACTED SERVICES	26,200	0.00	0.00	29,929.58	(3,729.58)	114%
10-420-53 DUES & SUBSCRIPTIONS	8,000	0.00	0.00	10,572.00	(2,572.00)	132%
10-420-57 MISCELLANEOUS	500	0.00	0.00	203.39	296.61	41%
10-420-58 EMPLOYEE ENGAGEMENT	10,000	0.00	0.00	807.00	9,193.00	8%
10-420-74 CAPITAL OUTLAY	16,000	0.00	0.00	6,512.57	9,487.43	41%
10-420-76 EQUIPMENT LEASE PAYMENTS	27,500	0.00	0.00	22,810.91	4,689.09	83%
ADMINISTRATION Totals:	687,784	0.00	0.00	420,972.16	266,811.44	61%
10-490-02 SALARIES	92,500	0.00	0.00	60,676.68	31,823.32	66%
10-490-03 PART-TIME SALARIES	15,500	0.00	0.00	8,775.43	6,724.57	57%
10-490-05 FICA (7.65%)	8,262	0.00	0.00	5,313.12	2,948.88	64%
10-490-06 GROUP INSURANCE	8,500	0.00	0.00	4,861.99	3,638.01	57%

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10 GENERAL FUN	D
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Description	Budget	Encumbrance	MTD	YTD	Variance Pe	ercent
10-490-07 ORBIT RETIREMENT (12.23%)	11,313	0.00	0.00	7,396.43	3,916.32	65%
10-490-08 401K (3%)	2,775	0.00	0.00	1,803.73	971.27	65%
10-490-10 EMPLOYEE TRAINING	3,000	0.00	0.00	251.10	2,748.90	8%
10-490-16 M & R EQUIPMENT	500	0.00	0.00	0.00	500.00	
10-490-17 M & R VEHICLES	1,000	0.00	0.00	991.70	8.30	99%
10-490-31 GAS, OIL, & TIRES	1,000	0.00	0.00	1,380.20	(380.20)	138%
10-490-45 CONTRACTED SERVICES	6,000	0.00	0.00	5,836.19	163.81	97%
10-490-53 DUES & SUBSCRIPTIONS	1,650	0.00	0.00	0.00	1,650.00	
10-490-57 MISCELLANEOUS	250	0.00	0.00	0.00	250.00	
10-490-58 CRS FLOOD ACTIVITY	1,400	0.00	0.00	0.00	1,400.00	
PLANNING/ZONING/CAMA Totals:	153,650	0.00	0.00	97,286.57	56,363.18	63%
10-491-02 SALARIES	135,500	0.00	0.00	92,041.64	43,458.36	68%
10-491-05 FICA (7.65%)	10,366	0.00	0.00	6,940.75	3,425.00	67%
10-491-06 GROUP INSURANCE	17,000	0.00	0.00	9,723.98	7,276.02	57%
10-491-07 ORBIT RETIREMENT (12.23%)	16,572	0.00	0.00	10,962.90	5,608.75	66%
10-491-08 401K (3%)	4,065	0.00	0.00	2,677.12	1,387.88	66%
10-491-10 EMPLOYEE TRAINING	4,500	0.00	0.00	2,501.89	1,998.11	56%
10-491-17 M & R VEHICLES	1,200	0.00	0.00	30.99	1,169.01	3%
10-491-31 GAS, OIL & TIRES	3,000	0.00	0.00	1,373.16	1,626.84	46%
10-491-33 DEPARTMENTAL SUPPLIES	1,050	0.00	0.00	0.00	1,050.00	
10-491-45 CONTRACTED SERVICES	10,000	0.00	0.00	5,836.18	4,163.82	58%
10-491-53 DUES & SUBSCRIPTIONS	1,555	0.00	0.00	280.00	1,275.00	18%
10-491-54 DEMOLITION	135,000	0.00	0.00	0.00	135,000.00	
10-491-57 MISCELLANEOUS	500	0.00	0.00	0.00	500.00	
10-491-75 DEBT SERVICE	10,651	0.00	0.00	0.00	10,651.00	
INSPECTIONS Totals:	350,958	0.00	0.00	132,368.61	218,589.79	38%
10-500-11 PHONES	30,000	0.00	0.00	14,739.05	15,260.95	49%
10-500-13 UTILITIES	50,000	0.00	0.00	23,029.96	26,970.04	46%
10-500-15 M & R BUILDINGS/GROUNDS	47,000	0.00	0.00	19,631.65	27,368.35	42%

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10 GENERAL FUNI	D
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Description	Budget	Encumbrance	MTD	YTD	Variance Pe	ercent
10-500-17 LANDSCAPING EXPENSE	7,750	0.00	0.00	1,432.81	6,317.19	18%
10-500-33 BUILDING SUPPLIES	6,500	0.00	0.00	552.63	5,947.37	9%
10-500-35 FURNITURE	7,500	0.00	0.00	1,010.40	6,489.60	13%
10-500-43 CLEANING SERVICES	7,000	0.00	0.00	4,000.00	3,000.00	57%
10-500-45 PEST CONTROL	1,500	0.00	0.00	833.00	667.00	56%
10-500-57 TOWN SIGN M & R	5,000	0.00	0.00	4,214.00	786.00	84%
10-500-58 WEB EOC SERVICE	1,500	0.00	0.00	6,821.62	(5,321.62)	455%
10-500-74 CAPITAL OUTLAY	350,000	0.00	0.00	4,402.02	345,597.98	1%
PUBLIC BLDGS Totals:	513,750	0.00	0.00	80,667.14	433,082.86	16%
10-501-09 WORKER'S COMPENSATION	55,000	0.00	0.00	47,318.73	7,681.27	86%
10-501-13 PROPERTY LIABILITY & BONDS	129,000	0.00	0.00	110,305.89	18,694.11	86%
10-501-17 VFIS INSURANCE	22,500	0.00	0.00	22,400.00	100.00	100%
10-501-53 CYBER INSURANCE	26,000	0.00	0.00	13,626.78	12,373.22	52%
10-501-54 FLOOD INSURANCE	45,000	0.00	0.00	2,943.00	42,057.00	7%
INSURANCE Totals:	277,500	0.00	0.00	196,594.40	80,905.60	71%
10-509-02 PSA SALARY	15,905	0.00	0.00	10,398.39	5,506.61	65%
10-509-05 FICA (7.65%)	1,220	0.00	0.00	795.43	424.57	65%
PSA - RETIRED POLICE Totals: OFFICERS	17,125	0.00	0.00	11,193.82	5,931.18	65%
10-510-02 SALARIES	788,610	0.00	0.00	459,010.09	329,599.91	58%
10-510-03 PART-TIME SALARIES	5,000	0.00	0.00	8,214.77	(3,214.77)	164%
10-510-04 OVERTIME	35,000	0.00	0.00	17,202.81	17,797.19	49%
10-510-05 FICA (7.65%)	65,178	0.00	0.00	36,532.51	28,645.49	56%
10-510-06 GROUP INSURANCE	111,000	0.00	0.00	55,889.24	55,110.76	50%
10-510-07 ORBIT RETIREMENT (13.04%)	103,200	0.00	0.00	61,377.35	41,822.65	59%
10-510-08 401K (5%)	38,000	0.00	0.00	22,643.49	15,356.51	60%
10-510-09 BEACH PATROL EXPENSE	15,000	0.00	0.00	384.00	14,616.00	3%
10-510-10 EMPLOYEE TRAINING	10,000	0.00	0.00	4,305.74	5,694.26	43%
10-510-16 M & R EQUIPMENT	3,500	0.00	0.00	99.99	3,400.01	3%

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10 GENERAL FUND						
Description	Budget	Encumbrance	MTD	YTD	Variance F	Percent
10-510-17 M & R VEHICLES	11,000	0.00	0.00	6,078.19	4,921.81	55%
10-510-31 GAS,OIL & TIRES	55,000	0.00	0.00	34,260.52	20,739.48	62%
10-510-32 OFFICE SUPPLIES	1,000	0.00	0.00	245.75	754.25	25%
10-510-33 DEPARTMENTAL SUPPLIES	5,050	0.00	0.00	3,541.44	1,508.56	70%
10-510-36 UNIFORMS	12,000	0.00	0.00	3,026.59	8,973.41	25%
10-510-37 BALLISTIC VEST GRANT EXPENSE	4,570	0.00	0.00	0.00	4,570.00	
10-510-47 PROFESSIONAL SERVICES	4,160	0.00	0.00	356.00	3,804.00	9%
10-510-53 DUES & SUBSCRIPTIONS	21,671	0.00	0.00	6,163.49	15,507.51	28%
10-510-57 K-9 EXPENSES	2,000	0.00	0.00	812.76	1,187.24	41%
10-510-60 LESO PROGRAM	5,000	0.00	0.00	720.00	4,280.00	14%
10-510-73 NON-CAPITAL OUTLAY	26,290	16,353.05	0.00	30,199.54	(20,262.59)	177%
10-510-74 CAPITAL OUTLAY	75,000	71,996.00	0.00	81,528.40	(78,524.40)	205%
10-510-75 DEBT SERVICE	35,712	0.00	0.00	0.00	35,712.00	
10-510-76 TAXES & TITLES	2,250	0.00	0.00	2,118.97	131.03	94%
POLICE Totals:	1,435,191	88,349.05	0.00	834,711.64	512,130.31	64%
10-545-02 SALARIES	183,500	0.00	0.00	119,401.69	64,098.31	65%
10-545-03 PART-TIME SALARIES	43,000	0.00	0.00	9,930.05	33,069.95	23%
10-545-04 OVERTIME	2,000	0.00	0.00	3,603.64	(1,603.64)	180%
10-545-05 FICA (7.65%)	17,480	0.00	0.00	10,169.63	7,310.62	58%
10-545-06 GROUP INSURANCE	34,000	0.00	0.00	19,304.12	14,695.88	57%
10-545-07 ORBIT RETIREMENT (12.23%)	27,946	0.00	0.00	16,201.87	11,743.68	58%
10-545-08 401K (3%)	6,855	0.00	0.00	3,651.11	3,203.89	53%
10-545-14 EMPLOYEE TRAINING	2,500	0.00	0.00	0.00	2,500.00	
10-545-16 M & R EQUIPMENT	20,000	0.00	0.00	7,636.25	12,363.75	38%
10-545-17 M & R VEHICLES	15,000	0.00	0.00	7,256.65	7,743.35	48%
10-545-31 GAS, OIL & TIRES	20,000	0.00	0.00	13,009.18	6,990.82	65%
10-545-32 OFFICE SUPPLIES	500	0.00	0.00	0.00	500.00	
10-545-33 DEPARTMENTAL SUPPLIES &	6,000	0.00	0.00	2,513.98	3,486.02	42%
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10 GENERAL FUND						
Description	Budget	Encumbrance	MTD	YTD	Variance	Percent
EQUIP						
10-545-34 MOSQUITO CONTROL EXPENSE	5,000	0.00	0.00	0.00	5,000.00	C
10-545-36 UNIFORMS	1,500	0.00	0.00	615.95	884.0	5 41%
10-545-53 DUES & SUBSCRIPTIONS	0	0.00	0.00	32.08	(32.08)
10-545-57 MISCELLANEOUS	100	0.00	0.00	0.00	100.00	0
10-545-74 CAPITAL OUTLAY	245,000	0.00	0.00	289,047.24	(44,047.24) 118%
10-545-75 DEBT SERVICE	11,053	0.00	0.00	850.00	10,203.00	0 8%
PUBLIC WORKS Totals:	641,434	0.00	0.00	503,223.44	138,210.30	6 78%
10-560-13 STREET LIGHT EXPENSE	30,000	0.00	0.00	16,984.87	13,015.13	3 57%
10-560-15 M & R PUBLIC PARKING	25,000	0.00	0.00	9,274.32	15,725.68	8 37%
10-560-33 DEPARTMENTAL SUPPLIES	4,000	0.00	0.00	1,064.82	2,935.18	8 27%
10-560-43 TOWN ENTRANCE SIGNS	2,000	0.00	0.00	0.00	2,000.00	C
10-560-73 STREET PAVING & REPAIR	40,000	0.00	0.00	0.00	40,000.00	C
10-560-74 CAPITAL OUTLAY	40,000	0.00	0.00	(36,000.00)	76,000.00	0 -90%
STREETS Totals:	141,000	0.00	0.00	(8,675.99)	149,675.99	9 -6%
10-580-45 SANITATION CONTRACTS	413,969	0.00	0.00	235,800.41	178,168.9	5 57%
10-580-46 TIPPING FEES	70,555	0.00	0.00	54,349.50	16,205.50	0 77%
10-580-47 RECYCLING	30,000	0.00	0.00	2,181.29	27,818.7	1 7%
SANITATION Totals:	514,524	0.00	0.00	292,331.20	222,193.10	6 57%
10-620-12 SNOWFLAKES	12,000	0.00	0.00	3,954.24	8,045.70	6 33%
10-620-14 PARK WELL	1,500	0.00	0.00	0.00	1,500.00	C
10-620-15 PARK MAINTENANCE	40,000	0.00	0.00	9,941.31	30,058.69	9 25%
10-620-17 PARK LANDSCAPING	22,250	0.00	0.00	4,891.47	17,358.53	3 22%
10-620-18 M & R BIKE PATH	1,500	0.00	0.00	0.00	1,500.00	C
10-620-27 SPECIAL EVENTS	40,000	0.00	0.00	20,119.97	19,880.03	3 50%
10-620-33 PARK SUPPLIES	3,500	0.00	0.00	(191.52)	3,691.52	2 -5%
10-620-72 OCEAN CITY GRANT EXPENSE	10,000	0.00	0.00	5,403.50	4,596.50	0 54%
RECREATION Totals:	130,750	0.00	0.00	44,118.97	86,631.03	3 34%
10-690-02 SALARIES	865,500	0.00	0.00	549,821.68	315,678.32	2 64 <u>%</u>

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10 GENERAL	FUND
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Description	Budget	Encumbrance	MTD	YTD	Variance F	Percent
10-690-03 VOL INCENTIVE PAY	2,500	0.00	0.00	0.00	2,500.00	
10-690-04 OVERTIME	40,000	0.00	0.00	22,427.23	17,572.77	56%
10-690-05 FICA (7.65%)	69,462	0.00	0.00	43,131.01	26,330.99	62%
10-690-06 GROUP INSURANCE	143,750	0.00	0.00	68,319.58	75,430.42	48%
10-690-07 ORBIT RETIREMENT (12.23%)	110,743	0.00	0.00	69,590.59	41,152.06	63%
10-690-08 401K (3%)	27,165	0.00	0.00	17,008.47	10,156.53	63%
10-690-10 EMPLOYEE TRAINING	5,000	0.00	0.00	2,756.21	2,243.79	55%
10-690-16 M & R EQUIPMENT	20,000	0.00	0.00	3,883.50	16,116.50	19%
10-690-17 M & R VEHICLES	17,500	0.00	0.00	17,337.51	162.49	99%
10-690-31 GAS, OIL & TIRES	20,000	0.00	0.00	12,688.88	7,311.12	63%
10-690-32 OFFICE SUPPLIES	1,500	0.00	0.00	691.20	808.80	46%
10-690-33 DEPARTMENTAL SUPPLIES	45,500	9,885.00	0.00	10,132.68	25,482.32	44%
10-690-34 FIRE FIGHTER PHYSICALS	6,000	0.00	0.00	0.00	6,000.00	
10-690-36 UNIFORMS	8,000	(2,581.00)	0.00	5,924.20	4,656.80	42%
10-690-53 DUES & SUBSCRIPTIONS	8,500	0.00	0.00	5,897.75	2,602.25	69%
10-690-57 MISCELLANEOUS	250	0.00	0.00	152.82	97.18	61%
10-690-73 COMUNICATIONS EQUIP	6,000	3,440.88	0.00	140.12	2,419.00	60%
10-690-74 CAPITAL OUTLAY	240,000	104,056.00	0.00	0.00	135,944.00	43%
FIRE DEPARTMENT Totals:	1,637,370	114,800.88	0.00	829,903.43	692,665.34	58%
10-695-91 PLANNING BOARD EXPENSE	1,000	0.00	0.00	0.00	1,000.00	
10-695-92 BOARD OF ADJUSTMENT EXPENSE	1,000	0.00	0.00	0.00	1,000.00	
COMMITTES Totals:	2,000	0.00	0.00	0.00	2,000.00	
10-720-10 BEACH LOBBIST CONTRACT	0	0.00	0.00	20,641.13	(20,641.13)	
10-720-14 BEACH RELATED MEETINGS & CONFERENCES	0	0.00	0.00	3,300.00	(3,300.00)	
BEACH REN. / DUNE STAB. Totals:	0	0.00	0.00	23,941.13	(23,941.13)	
10-999-01 CONTINGENCY	326,345	0.00	0.00	1,806.24	324,538.56	1%
CONTINGENCY Totals:	326,345	0.00	0.00	1,806.24	324,538.56	1%

NORTH TOPSAIL BEACH Page 9 Of 13 2/22/2023 11:28:59 AM Period Ending 6/30/2023 Expenses Totals: 7,069,484 203,149.93 0.00 3,592,325.92 54% 3,274,008.51 10 GENERAL FUND Revenues Over/(Under) Expenses: 0.00 2,948,181.74

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12 CAPITAL	IMPROVEMENT	FUND
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Description		Budget	Encumbrance	MTD	YTD	Variance F	Percent
Revenues							
12-301-00 AD VALOREM TAX (.07)		990,423	0.00	0.00	1,004,814.40	14,391.40	101%
12-383-00 SALE OF FIXED ASSETS		125,000	0.00	0.00	116,970.00	(8,030.00)	94%
Revenues T	Fotals:	1,115,423	0.00	0.00	1,121,784.40	6,361.40	101%
Expenses							
12-750-01 FIRE DEPARTMENT		424,467	0.00	0.00	153,820.90	270,646.10	36%
12-750-02 FIRE TRUCK		141,489	0.00	0.00	0.00	141,489.00	
12-750-11 FUTURE CAPITAL IMPROVEMENTS		549,467	0.00	0.00	0.00	549,467.00	
Т	Fotals:	1,115,423	0.00	0.00	153,820.90	961,602.10	14%
Expenses T	Totals:	1,115,423	0.00	0.00	153,820.90	961,602.10	14%
12 CAPITAL IMPROVEMENT FUND	Revenue	s Over/(Under)	Expenses:	0.00	967,963.50		

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15 AMERICAN RESCUE PLAN FUNDING	

Description	Budget	Encumbrance	MTD	YTD	Variance Pe	ercent
Revenues						
15-305-00 AMERICAN RESCUE PLAN FUNDING	118,396	0.00	0.00	118,396.10	0.10	100%
Revenues Totals	s: 118,396	0.00	0.00	118,396.10	0.10	100%
Expenses						
15-790-00 AMERICAN RESCUE PLAN	118,396	0.00	0.00	0.00	118,396.00	
Totals	s: 118,396	0.00	0.00	0.00	118,396.00	
Expenses Totals	s: 118,396	0.00	0.00	0.00	118,396.00	
15 AMERICAN RESCUE PLAN Revo FUNDING	enues Over/(Under) Expenses:	0.00	118,396.10		

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30 SHORELINE PROTECTION						
Description	Budget	Encumbrance	MTD	YTD	Variance F	Percent
Revenues						
30-301-00 ACCOMMODATION TAX	1,500,000	0.00	0.00	1,932,953.17	432,953.17	129%
30-301-05 AD VALOREM TAX - Beach	1,414,890	0.00	0.00	1,553,418.33	138,528.33	110%
30-317-01 COUNTY GRANT FUNDING	150,000	0.00	0.00	0.00	(150,000.00)	
30-329-00 INTEREST INCOME	1,000	0.00	0.00	53,697.93	52,697.93	5370%
30-336-00 SEA OATS PROGRAM	25,000	0.00	0.00	0.00	(25,000.00)	
30-345-00 LOCAL OPTION SALES TAX	653,873	0.00	0.00	569,622.95	(84,250.05)	87%
30-350-01 PAID PARKING REVENUE	547,500	0.00	0.00	280,950.97	(266,549.03)	51%
30-383-02 SPECIAL ASSESSMENT	7,000	0.00	0.00	0.00	(7,000.00)	
Revenues Totals:	4,299,263	0.00	0.00	4,390,643.35	91,380.35	102%
Expenses						
30-710-08 LEASE PAYMENTS	48,000	0.00	0.00	36,900.00	11,100.00	77%
30-710-10 BEACH LOBBYIST CONTRACT	60,000	0.00	0.00	20,156.02	39,843.98	34%
30-710-12 BEACH/ACCESS MAINTENANCE	50,000	0.00	0.00	15,480.64	34,519.36	31%
30-710-14 BEACH MEETINGS / CONFERENCES	20,000	0.00	0.00	891.00	19,109.00	4%
30-710-15 M & R DUNE/CROSSWALK	8,000	0.00	0.00	0.00	8,000.00	
30-710-45 CONTRACTED SERVICES	10,000	0.00	0.00	160.00	9,840.00	2%
30-710-59 SEA OATS PROGRAM	50,000	0.00	0.00	44,250.00	5,750.00	89%
Totals:	246,000	0.00	0.00	117,837.66	128,162.34	48%
30-720-07 Harden Structure Permit/Design	280,000	0.00	0.00	73,937.40	206,062.60	26%
30-720-08 CONTRACTS, PLANS, SPECS	134,000	0.00	0.00	100,155.03	33,844.97	75%
30-720-18 OTHER CONTRACTS & PLANS	60,000	0.00	0.00	41,800.00	18,200.00	70%
30-720-50 2022B SOB PAYMENT	2,030,484	0.00	0.00	2,022,357.92	8,126.08	100%
30-720-57 2022C FEMA SOB FEES	0	0.00	0.00	22,500.00	(22,500.00)	
30-720-58 2022A FEMA SOB FEES	0	0.00	0.00	133,200.00	(133,200.00)	
30-720-59 2022B USDA SOB FEES	0	0.00	0.00	35,059.09	(35,059.09)	
30-720-60 30 YEAR BEACH PLAN	30,000	0.00	0.00	0.00	30,000.00	
30-720-64 Sandbag Repair Project	200,000	0.00	0.00	0.00	200,000.00	

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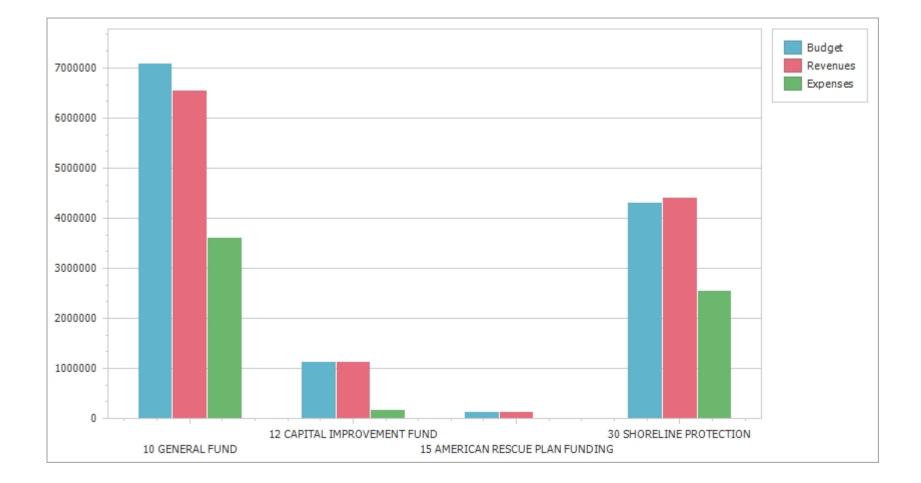
Period Ending 6/30/2023

30 SHORELINE PROTECTION

Description		Budget	Encumbrance	MTD	YTD	Variance	Percent
30-720-68 Future Projects Fund		1,318,779	0.00	0.00	0.00	1,318,779.00	0
BEACH REN. / DUNE STAB.	Totals:	4,053,263	0.00	0.00	2,429,009.44	1,624,253.50	6 60%
Expenses	Totals:	4,299,263	0.00	0.00	2,546,847.10	1,752,415.9	0 59%
30 SHORELINE PROTECTION	Revenue	es Over/(Under)	Expenses:	0.00	1,843,796.25		

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Description	Budget	Encumbrance	MTD	YTD	Variance I	Percent
Revenues						
31-330-00 LOAN PROCEEDS	0	0.00	0.00	4,110,678.96	4,110,678.96	
31-348-08 FEMA REIMBURSEMENT	9,000,000	0.00	0.00	3,838,292.60	(5,161,707.40)	43%
31-399-01 T/I FROM BEACH FUND	0	0.00	0.00	0.00	0.00	1
Revenues Totals:	9,000,000	0.00	0.00	7,948,971.56	(1,051,028.44)	88%
Expenses						
31-450-01 ENGINEERING & CONSTRUCTION PHASE SUPPORT	9,000	0.00	0.00	3,996.00	5,004.00	44%
31-450-02 CONSTRUCTION MANAGEMENT & ADMINISTRATION	210,000	0.00	0.00	207,910.00	2,090.00	99%
31-450-03 LABORATORY ANALYSIS	44,400	0.00	0.00	0.00	44,400.00	
31-450-04 REGULATORY COORDINATION & CLOSEOUT	10,000	0.00	0.00	3,102.50	6,897.50	31%
31-450-05 MOBILIZATION & DEMOBILIZATION	180,000	0.00	0.00	180,000.00	0.00	100%
31-450-06 HAUL & PLACEMENT OF BEACH FILL	8,378,110	0.00	0.00	6,703,995.77	1,674,114.23	80%
31-450-07 PAYMENT & PERFORMANCE BONDS	45,000	0.00	0.00	45,000.00	0.00	100%
31-450-08 PROFESSIONAL FEES	123,490	0.00	0.00	562,435.00	(438,945.00)	455%
31-450-09 TRANCHE 2 CONSTRUCTION	0	0.00	0.00	2,900.00	(2,900.00)	
31-450-10 TRANCHE 2 ENGINEERING	0	0.00	0.00	2,550.00	(2,550.00)	
31-450-11 TRANCHE 2 CONTINGENCY	0	0.00	0.00	595.00	(595.00)	
Totals:	9,000,000	0.00	0.00	7,712,484.27	1,287,515.73	86%
Expenses Totals:	9,000,000	0.00	0.00	7,712,484.27	1,287,515.73	86%
31 CAPITAL PROJECT BEACH Revenu MAINTENANCE	ies Over/(Under) Expenses:	0.00	236,487.29		



Z TOPSAIL BR	Town of Nor January 2022 Par	-			
	for January since inception		\$ 45,159 \$ 1,380,890		
Pass Type	Passes Sold	<u>Pass Rate</u>	Gross Sales	<u>% of Total</u> <u>Unit Sales</u>	<u>% of Total</u> <u>Revenue</u>
Day	50	\$25	\$1,250	4%	2%
Week		\$100	\$0	0%	0%
Annual, 1 Car	142	\$150	\$21,300	11%	31%
Annual, 2 Cars	146	\$250	\$36,500	12%	53%
Annual upgrade	10	misc.	\$1,300	1%	2%
1 Hour	554	\$5	\$2,770	44%	4%
2 Hour	189	\$10	\$1,890	15%	3%
3 Hour	30	\$15	\$450	2%	1%
4 Hour	9	\$20	\$180	1%	0%
NTB-44 Late Afternoon	2	\$10	\$20	0%	0%
Day upgrade	1	misc.	\$5	0%	0%
Pay by Mail		\$30	\$0	0%	0%
Pay by Mail, Same Day		\$25	\$0	0%	0%
Pay by Mail, Late Payment	2	\$55	\$110	0%	0%
Violation, Same Day	96	\$25	\$2,400	8%	3%
Violation, Paid within 30 Days	s 20	\$50	\$1,000	2%	1%
Violation, Late Payment	4	\$75	\$300	0%	0%
Total	1,255		\$69,475	100%	100%
Net Payment to NTB			\$45,158.75		

GL Account History Summary

NORTH TOPSAIL BEACH

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Account Range: 30-301-00 ACCOMMODATION TAX - 30-301-00 ACCOMMODATION TAX

Date Range: 2/1/2023 - 2/21/2023

GL Acco	unt - 30-301-00 ACCOMMODA	TION TAX			
Date	Description	Source	Debits	Credits	Date
Fiscal Perio	od - FY 22-23	Beg Balance	\$0.00	\$3,805,174.20	
02/01/2023	OCC TAX	GL GJ	\$0.00	\$1,783.96	02/01/2023
02/08/2023	OCC TAX	GL GJ	\$0.00	\$1,054.24	02/09/2023
02/10/2023	OCC TAX	GL GJ	\$0.00	\$56.40	02/13/2023
02/13/2023	VACASA	AP IN	\$4,221.07	\$0.00	02/15/2023
02/14/2023	OCC TAX	GL GJ	\$0.00	\$2,497.63	02/15/2023
02/17/2023	OCC TAX	GL GJ	\$0.00	\$67,837.09	02/21/2023
		Transaction Totals	\$4,221.07	\$73,229.32	
**		End Balance	\$0.00	\$69,008.25	**

Check Listing

Date From: 2/1/2023 Date To: 2/21/2023 Vendor Range: A PLUS WAREHOUSE EQUIPMENT & SUPPLY - ZOCKLEIN & ASSOCIATES

NORTH TOPSAIL BEACH 02/21/2023 11:19 AM

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02/21/2023 11:19	AM			Page: 1 of 2
Check Number	Bank	Vendor	Date	Amount
46772	1	COMPUTER WARRIORS, INC.	02/02/2023	\$739.69
46773	1	JONES ONSLOW ELECTRIC COMPANY	02/02/2023	\$28.70
46774	1	LOWE'S HOME CENTERS	02/02/2023	\$654.64
46775	1	NANCY ANN AVERY	02/02/2023	\$2,348.50
46776	1	NC DEPARTMENT OF LABOR	02/02/2023	\$100.00
46777	1	PEACHY CLEAN	02/02/2023	\$250.00
46778	1	SNEADS FERRY OIL & LP GAS	02/02/2023	\$402.31
46779	1	TOWN OF SURF CITY	02/02/2023	\$90.00
46780	1	VERIZON WIRELESS	02/02/2023	\$849.11
46781	1	VILLAGE HARDWARE	02/02/2023	\$75.46
46782	1	ANCHORED ENGRAVING	02/09/2023	\$1,546.15
46783	1	BFPE INTERNATIONAL	02/09/2023	\$625.00
46784	1	CROSSLEY MCINTOSH COLLIER	02/09/2023	\$2,047.16
46785	1	ECI COMMUNICATION	02/09/2023	\$1,620.28
46786	1	G & L CAPITAL HOLDINGS	02/09/2023	\$8,300.00
46787	1	GFL ENVIRONMENTAL	02/09/2023	\$33,134.51
46788	1	GLASS TINTING BY SPF	02/09/2023	\$300.00
46789	1	JONES ONSLOW ELECTRIC COMPANY	02/09/2023	\$3,215.19
46790	1	O'REILLY AUTOMOTIVE INC.	02/09/2023	\$1,717.35
46791	1	PAM STEWART	02/09/2023	\$358.15
46792	1	RAJDC CAPITAL, LLC	02/09/2023	\$10,300.00
46793	1	RICHARD LUDWIG	02/09/2023	\$162.00
46794	1	SNEADS FERRY OIL & LP GAS	02/09/2023	\$294.28
46795	1	STAPLES	02/09/2023	\$97.38
46796	1	TOPSAIL BEACH, LLC AND	02/09/2023	\$18,300.00
46797	1	TOWN OF SURF CITY	02/09/2023	\$5,205.97
46798	1	TRUIST BANK	02/09/2023	\$2,396.44
46799	1	VILLAGE HARDWARE	02/09/2023	\$123.05
46800	1	WILD CHILD CUSTOM GRAPHICS LLC	02/09/2023	\$535.00
46801	1	APPLIED TECHNOLOGY & MNGMT	02/09/2023	\$12,959.50
46802	1	TI COASTAL SERVICES, INC.	02/09/2023	\$68,635.00
Section VIII, ItemC.	1	BECKER MORGAN GROUP INC	02/16/2023	\$17,50 7 5

Check Listing

Date From: 2/1/2023 Date To: 2/21/2023 Vendor Range: A PLUS WAREHOUSE EQUIPMENT & SUPPLY - ZOCKLEIN & ASSOCIATES

NORTH TOPSAIL 02/21/2023 11:19 /				Page: 2 of 2
Check Number	Bank	Vendor	Date	Amount
46804	1	CHARTER COMMUNICATIONS	02/16/2023	\$824.13
46805	1	DODSON PEST CONTROL	02/16/2023	\$119.00
46806	1	GREATAMERICA FINANCIAL SERVS	02/16/2023	\$354.86
46807	1	MIKES MULCH & STONE	02/16/2023	\$6,758.12
46808	1	ONLINE SOLUTIONS, LLC	02/16/2023	\$2,072.37
46809	1	ONSLOW COUNTY FINANCE OFFICE	02/16/2023	\$9,395.25
46810	1	ONSLOW WATER & SEWER AUTHORITY	02/16/2023	\$269.76
46811	1	PEACHY CLEAN	02/16/2023	\$250.00
46812	1	S.T. WOOTEN CORPORATION	02/16/2023	\$1,588,030.57
46813	1	SIGN WORKS	02/16/2023	\$4,214.00
46814	1	T-N-T ENTERPRISES	02/16/2023	\$1,673.80
46815	1	VACASA	02/16/2023	\$4,221.07
44	Che	cks Totaling -	-	\$1,813,096.51

Totals By Fund

	Checks	Voids	Total
10	\$83,049.89		\$83,049.89
12	\$17,502.76		\$17,502.76
30	\$45,938.79		\$45,938.79
31	\$1,666,605.07		\$1,666,605.07
Totals:	\$1,813,096.51		\$1,813,096.51

Permits Issued List

From Date:	01/24/2023
To Date:	02/20/2023

Permit# AP23- 000001	Address 32 OSPREY DR	Issue Date 01/26/2023	Permit Fee 275.00
	32 OSPREY DR	01/26/2023	
000001		01/26/2023 1 1 01/26/2023 01/26/2023 01/26/2023 2 2 02/09/2023 1 02/15/2023 1 01/24/2023 1 02/15/2023 1 02/15/2023 1 02/15/2023 1 02/15/2023 01/24/2023 02/16/2023 02/13/2023 01/31/2023 02/03/2023	
		1	275.00
		1	275.00
BAA23-	35 PORPOISE PL	Image:	200.00
000001			
BAA23-	1946 New River Inlet	01/26/2023	600.00
000003	RD		
		2	800.00
		2	800.00
BTL22-	9 OSPREY DR	02/09/2023	200.00
000006			
		1	200.00
		1	200.00
D23-000001	611 OCEAN DR	02/15/2023	225.00
		1	225.00
		1	225.00
DBR22-	512 TRADE WINDS DR	01/24/2023	200.00
000011	Ν		
		1	200.00
		1	200.00
DVW22-		02/16/2023	0.00
000085	INLET RD		
DVW22-	1951 NEW RIVER	02/13/2023	0.00
000086	INLET RD		
DVW22-	44 PORPOISE PL	01/31/2023	0.00
000026			
DVW22-	104 OCEAN CLUB CT	02/03/2023	0.00
000084			
DVW22-	106 SCOTCH BONNET	02/03/2023	0.00
000082	CIR		
	000001 BAA23- 000003 BTL22- 000006 D23-000001 D23-000001 DBR22- 000011 DBR22- 000011 DVW22- 000085 DVW22- 000086 DVW22- 000086 DVW22-	DV 0.200 1946 New River Inlet BAA23- 1946 New River Inlet D000003 Image: Constraint of the second secon	000001 1946 New River Inlet 01/26/2023 BAA23- 1946 New River Inlet 01/26/2023 000003 2 2 BTL22- 9 OSPREY DR 02/09/2023 000006 1 1 D23-00001 611 OCEAN DR 02/15/2023 DBR22- 512 TRADE WINDS DR 01/24/2023 000011 1 1 DBR22- 512 TRADE WINDS DR 01/24/2023 000011 1 1 DVW22- 1075 NEW RIVER 02/16/2023 000085 INLET RD 02/13/2023 DVW22- 1951 NEW RIVER 02/13/2023 000086 INLET RD 01/31/2023 DVW22- 104 OCEAN CLUB CT 02/03/2023 000084 104 OCEAN CLUB CT 02/03/2023

Driveway Permit	Driveway Permit	DVW23-	234 MAKEPEACE ST	02/07/2023	0.00
		000002			
Driveway Permit Total	Driveway Permit Total			6	0.00
Driveway Permit Total				6	0.00
Electrical Permit	Residential	E22-000369	1951 NEW RIVER INLET RD	02/13/2023	0.00
Electrical Permit	Residential	E22-000274	9 OSPREY DR	02/09/2023	0.00
Electrical Permit	Residential	E22-000310	4503 24TH AVE	02/09/2023	0.00
Electrical Permit	Residential	E22-000225	51 SAILVIEW DR	02/16/2023	0.00
Electrical Permit	Residential	E22-000362	1075 NEW RIVER INLET RD	02/16/2023	0.00
Electrical Permit	Residential	E23-000026	611 OCEAN DR	02/15/2023	0.00
Electrical Permit	Residential	E22-000363	201 GOLDSBORO DR	02/14/2023	0.00
Electrical Permit	Residential	E23-000006	3726 ISLAND DR	02/15/2023	75.00
Electrical Permit	Residential	E23-000003	234 MAKEPEACE ST	02/07/2023	0.00
Electrical Permit	Residential	E23-000022	612 HAMPTON COLONY CIR	02/03/2023	147.00
Electrical Permit	Residential	E22-000338	3730 ISLAND DR	02/03/2023	0.00
Electrical Permit	Residential	E22-000176	34 OSPREY DR	02/06/2023	0.00
Electrical Permit	Residential	E22-000177	34 OSPREY DR	02/06/2023	0.00
Electrical Permit	Residential	E22-000279	3689 ISLAND DR	02/07/2023	0.00
Electrical Permit	Residential	E22-000357	4474 ISLAND DR	02/07/2023	0.00
Electrical Permit	Residential	E23-000028	7506 9TH AVE	02/07/2023	75.00
Electrical Permit	Residential	E22-000349	106 SCOTCH BONNET CIR	02/03/2023	0.00
Electrical Permit	Residential	E22-000355	104 OCEAN CLUB CT	02/03/2023	0.00
Electrical Permit	Residential	E23-000018	7807 7TH AVE	01/31/2023	75.00
Electrical Permit	Residential	E23-000008	32 OSPREY DR	01/26/2023	0.00
Electrical Permit	Residential	E22-000152	44 PORPOISE PL	01/31/2023	0.00
Electrical Permit	Residential	E22-000189	44 PORPOISE PL	01/31/2023	0.00
Electrical Permit	Residential	E23-000012	329 GOLDSBORO LN	01/26/2023	75.00
Electrical Permit Total	Residential Total			23	447.00
Electrical Permit Total				23	447.00
Elevator Permit	Residential	EL22-	4474 ISLAND DR	02/07/2023	375.00
		000012			
Elevator Permit Total	Residential Total			1	375.00
Elevator Permit Total				1	375.00
Fence Permit Section VIII, ItemC.	Residential	FNC23-	27 PORPOISE PL	02/06/2023	50.00 78

		000002			
Fence Permit Total	Residential Total			1	50.00
Fence Permit Total				1	50.00
Fuel Gas Permit	Residential	FG23- 000004	1075 NEW RIVER INLET RD	02/16/2023	0.00
Fuel Gas Permit	Residential	FG23- 000005	2 OSPREY CIR	02/13/2023	75.00
Fuel Gas Permit	Residential	FG23- 000006	23 SAILVIEW DR	02/14/2023	0.00
Fuel Gas Permit	Residential	FG22- 000029	3689 ISLAND DR	02/07/2023	0.00
Fuel Gas Permit	Residential	FG22- 000014	34 OSPREY DR	02/06/2023	0.00
Fuel Gas Permit	Residential	FG22- 000007	44 PORPOISE PL	01/31/2023	0.00
Fuel Gas Permit Total	Residential Total			6	75.00
Fuel Gas Permit Total				6	75.00
Insulation Permit	Residential	122-000077	1951 NEW RIVER INLET RD	02/13/2023	0.00
Insulation Permit	Residential	122-000076	1075 NEW RIVER INLET RD	02/16/2023	0.00
Insulation Permit	Residential	122-000025	44 PORPOISE PL	01/31/2023	0.00
Insulation Permit	Residential	122-000074	104 OCEAN CLUB CT	02/03/2023	0.00
Insulation Permit	Residential	122-000072	106 SCOTCH BONNET CIR	02/03/2023	0.00
Insulation Permit	Residential	123-000002	234 MAKEPEACE ST	02/07/2023	0.00
Insulation Permit	Residential	123-000003	234 MAKEPEACE ST	02/07/2023	0.00
Insulation Permit Total	Residential Total			7	0.00
Insulation Permit Total				7	0.00
Mechanical Permit	Residential	M23- 000015	3870 ISLAND DR	02/17/2023	75.00
Mechanical Permit	Residential	M23- 000016	4502 24TH AVE	02/17/2023	75.00
Mechanical Permit	Residential	M23- 000003	1075 NEW RIVER INLET RD	02/16/2023	0.00
Mechanical Permit	Residential	M22- 000265	1951 NEW RIVER INLET RD	02/13/2023	0.00
Mechanical Permit	Residential	M23- 000004	234 MAKEPEACE ST	02/07/2023	0.00

Mechanical Permit	Residential	M23-	1272 NEW RIVER	02/06/2023	75.00
		000013	INLET RD		
Mechanical Permit	Residential	M22-	106 SCOTCH BONNET	02/03/2023	0.00
		000253	CIR		
Mechanical Permit	Residential	M23-	296 SEA SHORE DR	02/02/2023	75.00
		000012			
Mechanical Permit	Residential	M22-	104 OCEAN CLUB CT	02/03/2023	0.00
		000259		02,00,2020	0.00
Mechanical Permit	Residential	M22-	44 PORPOISE PL	01/31/2023	0.00
		000076			
Mechanical Permit Total	Residential Total	000010		10	300.00
Mechanical Permit Total				10	300.00
New Construction Permit	Single Family	C22-000065	1951 NEW RIVER INLET RD	02/13/2023	1,872.71
New Construction Permit	Single Family	C22-000062	104 OCEAN CLUB CT	02/03/2023	1,682.61
New Construction Permit	Single Family	C22-000063	106 SCOTCH BONNET CIR	02/03/2023	1,374.70
New Construction Permit	Single Family	C22-000004	1040 NEW RIVER INLET RD	02/03/2023	1,484.70
New Construction Permit	Single Family	C23-000003	234 MAKEPEACE ST	02/07/2023	1,888.68
New Construction Permit	Single Family	C22-000064	1075 NEW RIVER INLET RD	02/16/2023	1,738.79
New Construction Permit Total	Single Family Total			6	10,042.19
New Construction Permit Total				6	10,042.19
Plumbing Permit	Residential	P22-000096	1951 NEW RIVER INLET RD	02/13/2023	0.00
Plumbing Permit	Residential	P22-000045	4270 ISLAND DR	02/09/2023	0.00
Plumbing Permit	Residential	P22-000094	1075 NEW RIVER INLET RD	02/16/2023	0.00
Plumbing Permit	Residential	P23-000012	611 OCEAN DR	02/15/2023	0.00
Plumbing Permit	Residential	P22-000031	2676 ISLAND DR	02/16/2023	0.00
Plumbing Permit	Residential	P23-000006	234 MAKEPEACE ST	02/07/2023	0.00
Plumbing Permit	Residential	P22-000089	106 SCOTCH BONNET CIR	02/03/2023	0.00
Plumbing Permit	Residential	P22-000092	104 OCEAN CLUB CT	02/03/2023	0.00
Plumbing Permit	Residential	P22-000035	44 PORPOISE PL	01/31/2023	0.00
Plumbing Permit Total	Residential Total			9	0.00
Plumbing Permit Total				9	0.00
Simple Build Permit	Commercial	SB23- 000010	2196 NEW RIVER INLET RD	02/07/2023	200.00

Simple Build Permit	Commercial	SB23-	2182 NEW RIVER	02/07/2023	235.25
		000011	INLET RD		
Simple Build Permit Total	Commercial Total			2	435.25
Simple Build Permit	Multi-Unit	SB23-	1822 NEW RIVER	02/09/2023	75.00
		000015	INLET RD 1208		
Simple Build Permit Total	Multi-Unit Total			1	75.00
Simple Build Permit	Single Family	SB23-	17 SAILVIEW DR	02/13/2023	75.00
		000016			
Simple Build Permit	Single Family	SB22-	201 GOLDSBORO DR	02/14/2023	275.00
		000103			
Simple Build Permit	Single Family	SB22-	4474 ISLAND DR	02/07/2023	0.00
		000102			
Simple Build Permit	Single Family	SB23-	1675 NEW RIVER	02/06/2023	75.00
	0 ,	000007	INLET RD		
Simple Build Permit	Single Family	SB23-	642 HAMPTON	01/27/2023	200.00
			COLONY CIR	01/21/2020	200.00
Simple Build Permit		000004		04/00/0000	000.00
	Single Family	SB22-	2331 NEW RIVER INLET RD	01/30/2023	200.00
		000104			
Simple Build Permit Total	Single Family Total			6	825.00
Simple Build Permit Total				9	1,335.25
Swimming Pool Permit	Residential	SP22-	44 PORPOISE PL	01/31/2023	305.00
		000013			
Swimming Pool Permit	Residential	SP22-	34 OSPREY DR	02/06/2023	960.00
		000012			
Swimming Pool Permit	Residential	SP22-	3730 ISLAND DR	02/03/2023	305.00
		000039			
Swimming Pool Permit	Residential	SP22-	3689 ISLAND DR	02/07/2023	380.00
		000032			
Swimming Pool Permit	Residential	SP22-	4503 24TH AVE	02/09/2023	305.00
		000046			
Swimming Pool Permit Total	Residential Total	000040		5	2,255.00
Swimming Pool Permit Total				5	2,255.00
Zoning and Floodplain Development	Commercial	ZFP23-	2196 NEW RIVER	02/07/2023	0.00
Permit		000013	INLET RD		0.00
Zoning and Electrolain Development	Commercial			02/07/2022	0.00
Zoning and Floodplain Development Permit	Commercial	ZFP23-	2182 NEW RIVER INLET RD	02/07/2023	0.00
		000014			
Zoning and Floodplain Development Permit Total	Commercial Total			2	0.00

Zaning and Electricity Day 1	a la la málic l			00/40/0000	0.00
U	esidential	ZFP22-	1951 NEW RIVER	02/03/2023	0.00
Permit		000233	INLET RD		
Zoning and Floodplain Development Re	esidential	ZFP22-	9 OSPREY DR	02/09/2023	0.00
Permit		000217			
Zoning and Floodplain Development Re	sidential	ZFP22-	4503 24TH AVE	02/09/2023	0.00
Permit		000235			
Zoning and Floodplain Development Re	sidential	ZFP22-	201 GOLDSBORO DR	02/14/2023	0.00
Permit		000229			
Zoning and Floodplain Development Re	sidential	ZFP22-	1075 NEW RIVER	02/16/2023	0.00
Permit		000227	INLET RD	02,10,2020	0.00
Zoning and Floodplain Development Re	sidential		4474 ISLAND DR	02/07/2022	0.00
Permit	sidentiai	ZFP22-	4474 ISLAND DR	02/07/2023	0.00
		000226			
Zoning and Floodplain Development Re Permit	esidential	ZFP23-	234 MAKEPEACE ST	02/07/2023	0.00
Permit		000005			
5 1 1	esidential	ZFP22-	34 OSPREY DR	02/06/2023	0.00
Permit		000076			
Zoning and Floodplain Development Re	esidential	ZFP22-	3689 ISLAND DR	02/07/2023	0.00
Permit		000165			
Zoning and Floodplain Development Re	sidential	ZFP22-	3730 ISLAND DR	02/03/2023	0.00
Permit		000209			
Zoning and Floodplain Development Re	Residential	ZFP22-	44 PORPOISE PL	01/31/2023	0.00
Permit		000083			
Zoning and Floodplain Development Re	sidential		106 SCOTCH BONNET	02/03/2023	0.00
Permit	Sideritiai	ZFP22-	CIR	02/03/2023	0.00
		000220		00/00/0000	0.00
Zoning and Floodplain Development Re Permit	esidential	ZFP22-	104 OCEAN CLUB CT	02/03/2023	0.00
		000225			
0 1 1	esidential	ZFP23-	2331 NEW RIVER	01/30/2023	0.00
Permit		000002	INLET RD		
o i i	esidential	ZFP22-	512 TRADE WINDS DR	01/24/2023	0.00
Permit		000231	Ν		
Zoning and Floodplain Development Re	sidential	ZFP22-	2065 NEW RIVER	01/26/2023	50.00
Permit		000232	INLET RD		
Zoning and Floodplain Development Re	sidential	ZFP23-	32 OSPREY DR	01/26/2023	0.00
Permit		000008			
Zoning and Floodplain Development Re	sidential		44 PORPOISE PL	01/31/2023	0.00
Permit	Sidential	ZFP22-		01/01/2020	0.00
		000057			
Zoning and Floodplain Development Re Permit Total	esidential Total			18	50.00
Section VIII, ItemC.					82

Zoning and Floodplain Development Permit Total		20	50.00
All Permits Total		109	16,629.44

From: 01/26/2023 To: 02/21/2023

Permit#	Issue Date	Address	Property#	Legal	Property Owner	Contractor	Building	СО	Cost	Receipt#	Estimated	Recovery	Technology
				Description			Final	Issued			Value	Fund	Fee
ZFP22- 000232	01/26/2023	2065 NEW RIVER INLET RD	778D-75	L8 DOLPHIN SHORES	Topsail Moonlight Management, LLC (DB5550 PG319)				50.00	27	5000.00	0.00	0.00
ZFP23-	01/26/2023	32 OSPREY	775C-60	L13 S2 OCEAN	MOSS DREW	McDermon Dabbs			125.00		40000.00	0.00	0.00
000008	01/20/2023	DR	1100-00	CLUB VILLAGE		Brothers, LLC - William II W Dabbs			120.00		40000.00	0.00	0.00
ZFP23- 000002	01/30/2023	2331 NEW RIVER INLET RD	778C-131	L2B S3 BH NORTH TOPSAIL SHORES	BAKER ANTHONY R & DIANE G	CAROLINA ODD JOBS INC - JONATHAN BYRD			125.00		3000.00	0.00	0.00
ZFP22- 000057	01/31/2023	44 PORPOISE PL	778D-112	L44 DOLPHIN SHORES	TRACHTENBERG SCOTT ALAN	Fulford Construction Group LLC - Christina Fulford			125.00		950000.00	0.00	0.00
ZFP22- 000083	01/31/2023	44 PORPOISE PL	778D-112	L44 DOLPHIN SHORES	TRACHTENBERG SCOTT ALAN	Fulford Construction Group LLC - Christina Fulford			125 <u>.</u> 00		100000.00	0.00	0.00
ZFP22- 000225	02/03/2023	104 OCEAN CLUB CT	775B-73	L18 OCEAN CLUB VILLAGE	WINTERS DOUGLAS C & ERIN	Dabbs Brothers, LLC - William II W Dabbs			125.00		600000.00	0.00	0.00
ZFP22- 000220	02/03/2023	106 SCOTCH BONNET CIR	804A-45	L4 SCOTCH BONNET S/S	SCOTT PAUL &	Wellman's Construction, Inc David W Wellman			125 <u>.</u> 00		400000.00	0.00	0.00
ZFP22- 000209	02/03/2023	3730 ISLAND DR	813-7.4	L2B SEASCAPE	RICHMAN KEITH E & JODI L	CAROLINA ODD JOBS INC - JONATHAN BYRD			125.00		400.00	0.00	0.00
ZFP22- 000076	02/06/2023	34 OSPREY DR	775C-59	L12 S2 OCEAN CLUB VILLAGE		Carolina Creations Landscape, Inc Arthur B Miller & Arthur B Miller II			125.00		159505.00	0.00	0.00
ZFP23- 000005	02/07/2023	234 MAKEPEACE ST	803-74	L10 S7 WINTER HAVEN	EML 234 MAKEPEACE LLC &	Christian Hart Custom Homes. Inc Kyle Gaskill			125.00		965000.00	0.00	0.00
ZFP22- 000165	02/07/2023	3689 ISLAND DR	813-4.5	L2 NORTHWINDS	REED BRAMWELL JR & ANGELA M	Sun City Pools, Inc Sam Jr. T. Manoogian			125.00		80000.00	0.00	0.00
ZFP22- 000226	02/07/2023	4474 ISLAND DR	768A-35	L40 SUMMERTYME	TRUSTEE	Kinco Real Estate And Building Company, Inc Clarence Nathan King			125.00		84259.00	0.00	0.00

ZFP23- 000014	02/07/2023	2182 NEW RIVER INLET RD	778C-2	BLDG G TOPSAIL REEF	TOPSAIL REEF HOMEOWNERS ASSO C/O COMMUNITY ASSOCIATION MANAGEMENT LTD	Kyle Contracting Inc Hugh B Harper	125.00		20750.00	0.00	0.00
ZFP23- 000013	02/07/2023	2196 NEW RIVER INLET RD	778C-3	BLDG F TOPSAIL REEF	TOPSAIL REEF HOMEOWNERS ASSO C/O COMMUNITY ASSOCIATION MANAGEMENT LTD	Kyle Contracting Inc Hugh B Harper	125.00		10500.00	0.00	0.00
ZFP22- 000235	02/09/2023	4503 24TH AVE	809-37	L5 S1 B15 OLD SETTLERS BEACH	WHITE JAMES N & BONNIE F	Sea Level Construction, LLC - Andy Spoon	125.00		1200.00	0.00	0.00
ZFP22- 000217	02/09/2023	9 OSPREY DR	775B-106	L6 S2 CRYSTAL SHORES	HARRIS ROBERT	PFL Construction LLC - Joshua Barber	50.00		11600.00	0.00	0.00
ZFP22- 000233	02/13/2023	1951 NEW RIVER INLET RD	779D-24	L24 B3 BAYVIEW	WARD CONSTRUCTION INC	Ward Construction, Inc Richard Dail Ward	125.00		400000.00	0.00	0.00
ZFP22- 000229	02/14/2023	201 GOLDSBORO DR	774F- 107.1	U4A TOPSAIL WYNDS	POROZYNSKI WESLEY & JOAN	101 Mobility- Wilmington - Rick Poplaski	125.00		28500.00	0.00	0.00
ZFP22- 000227	02/16/2023	1075 NEW RIVER INLET RD	774F-109	L2 CRYSTAL VIEWS	MASCARENHAS OSCAR	- Oscar Mascarenhas (Property Owner)	125.00		350000.00	0.00	0.00
DVW22- 000026	01/31/2023	44 PORPOISE PL	778D-112	L44 DOLPHIN SHORES	TRACHTENBERG SCOTT ALAN	Fulford Construction Group LLC - Christina Fulford	50.00		3500.00	0.00	0.00
DVW22- 000084	02/03/2023	104 OCEAN CLUB CT	775B-73	L18 OCEAN CLUB VILLAGE	WINTERS DOUGLAS C & ERIN	Dabbs Brothers, LLC - William II W Dabbs	50.00		5000.00	0.00	0.00
DVW22- 000082	02/03/2023	106 SCOTCH BONNET CIR	804A-45	L4 SCOTCH BONNET S/S	SALZMAN SCOTT PAUL & ROBYN MELISSA	Wellman's Construction, Inc David W Wellman	50.00		20000.00	0.00	0.00
DVW23- 000002	02/07/2023	234 MAKEPEACE ST	803-74	L10 S7 WINTER HAVEN	EML 234 MAKEPEACE LLC &	Christian Hart Custom Homes. Inc Kyle Gaskill	50.00		7200.00	0.00	0.00
DVW22- 000086	02/13/2023	1951 NEW RIVER INLET RD	779D-24	L24 B3 BAYVIEW	WARD CONSTRUCTION INC	Ward Construction, Inc Richard Dail Ward	50.00		10000.00	0.00	0.00
DVW22- 000085	02/16/2023	1075 NEW RIVER INLET RD	774F-109	L2 CRYSTAL VIEWS	MASCARENHAS OSCAR	- Oscar Mascarenhas (Property Owner)	50.00		15000.00	0.00	0.00
DVW23- 000008	02/21/2023	2928 Island DR	764-14	NC 210	ZURO OWEN B & ELIZABETH A	,	50.00	62	29210.00	0.00	0.00
	02/06/2023 VIII, ItemC	RPOISE	778D-96	L28 DOLPHIN SHORES	ZEN PROPERTY MANAGEMENT LLC	Island Time Cleaning and Construction	50.00	41	10000.00	0.00	0.00

						- Samantha Damiano						
F	NC23-	02/21/2023			THE PORPOISE	Island Time		50.00	63	4000.00	0.00	0.00
0	00003		PORPOISE PL	SHORES		Cleaning and Construction						
						- Samantha Damiano						

Town of North Topsail Beach

Service



Integrity

Police Department

Chief William K. Younginer

Department Report for January 1, 2023 - January 31, 2023

Arrests				
Hit & Run	1			
Property Damage	1			
Traffic	8			
Warrant	1			

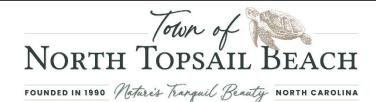
Citations				
State Citations	9			
Town Citations				
Warning Citations	1			

Summary					
Total Calls for Service	86				
Total Citations Issued	11				
Total Reports	34				
Total Security Checks	1561				

Calls For Service				
Accidents	6			
Alarm Calls	6			
Animal	1			
B&E	2			
Cit / Mot / Ped Assists	17			
Disturbances	2			
Misc. Calls	25			
Open Door	3			
Property Damage	1			
Suspicious Activity	3			
Theft of Motor Vehicle	1			
Trespassing	2			
Welfare	1			

Assist Other Agencies				
E. M. S.	2			
N.T.B. F.D.	6			
O. C. S. D.	5			
S.H.P.	3			

8-0042



BOARD OF ALDERMEN AGENDA ITEM MARCH 1, 2023

ISSUE:	FY 22 – 23 Fee Schedule Amendment		
PRESENTED BY:	Caitlin Elliott, Finance Officer		
PRESENTATION:	N: Finance Department & Police Department		
Background:	The Police Department has purchased a Live Scan fingerprint machine for new State and Federal requirements. This device will also be available to fingerprint employees, and this can be offered as a service to the public. To fingerprint the public, a fee needs to be added to the Fee Schedule. It is recommended that the Town charge \$20.00 for this service and the customer would be provided up to two copies of their		

- Attachments: Proposed Fee Schedule 2022 2023
- Recommendation: Approve Amendment as recommended
- Action Needed: Yes

Suggested Motion:"I, _____ make a motion to approve the Amendment to the 2022 -
2023 Fee Schedule as presented."

prints. The updated fee schedule reflecting this addition is attached.

- Funds: 10
- Follow Up: Finance Officer

Town of North Topsail Beach FY 2022-2023 Fee Schedule

POLICE FEES

Fees effective 7-1-2022

Police

I Olice	
Civil Citations	\$50.00 - \$500.00
Failure to Pick up Dog Waste	\$100.00
False Alarms	First False Alarm \$100.00 Second False Alarm \$200.00 Third & Subsequent False Alarms \$500.00 each
Finger Printing	\$20.00, with up to two copies of prints provided
Illegal Burning	\$250.00 per occurrence
Illegal Dumping	\$500.00 per occurrence
Late Fees - Town Citations	\$25.00
Leash Law	\$100.00
Noise Violation	Warning; \$100.00; \$250.00; \$500.00
Parking Tickets	\$50.00
Sand Dune Violations	\$500.00 per occurrence
Nuisance Trash	\$50.00 per day plus clean up rate
Nuisance Clean up - Hourly Rate, Personnel	\$20.00 per person per hour
Nuisance Clean up - Hourly Rate, Equipment	Loader - \$90.00 per hour; Pick-up Truck - \$30.00 per hour; John Deere - \$50.00 per hour

Off Duty Officers & Vehicles

Services of Off Duty Officer	\$40.00 per hour per Officer
Services of Accompaning Vehicle	\$75.00 per vehicle assigned
Cancellation Fee	\$60.00



Town of North Topsail Beach

Board of Aldermen

Agenda Consent Item: Agenda Date: 03 01 2023

Issue:	Issue: Planning Board Committee Report	
	Hanna McCloud, Chair	
Department:	Planning	
Prepared by:	Deborah J. Hill MPA AICP CFM CZO	
Presentation:	No	

The Planning Board regular meeting was held on February 09, 2023.

Commercial Plan Review: Fire Station (cont.)

The Town of North Topsail Beach is requesting development plan review/approval of the proposed North Topsail Beach Fire Station #2. Procedures for Commercial Plan Review are outlined in UDO § 2.06.07. On January 12, 2023, the Planning Board returned the development plan to the applicant/owner for revision and/or additional information before recommending action by the Board to include a review and certification by the Public Works Director, Fire Marshall, Police Chief, Building Inspector and Planning Director and completion of the 2018 Appendix B Building Code Summery for All Commercial Projects by the engineer. Mr. Dorazio made a motion that the Planning Board recommend that the Board of Aldermen approve the Commercial Plans for North Topsail Beach Fire Station #2. Mrs. Meyer seconded the motion. The motion passed unanimously, 5 to 0.

Discussion

- The N.C. Resilient Coastal Communities Program Phase 3: our engineer, WK Dickson will present stormwater design plans for North Topsail Beach, Surf City and Topsail Beach at the Topsail Island Shoreline Protection Commission on February 24, 2023.
- CRS Cycle Verification Meeting for 4/18/2023.
- Hazard Mitigation Grant Project underway for the elevation of one home.



Town of North Topsail Beach Board of Aldermen

Agenda Consent Item: Agenda Date: 03 01 2023

Issue: Board of Adjustment Committee Report		
	Hanna McCloud, Chair	
Department:	Planning	
Prepared by:	Deborah J. Hill MPA AICP CFM CZO	
Presentation:	No	

No meeting was held, as there were no variance applications or appeals.

Town of North Topsail Beach

Beach, Inlet, and Sound Advisory Committee

To: NTB Board of Aldermen Subject: BISAC February Monthly Meeting Report From: Mike Benson, Chair

Date: February 21, 2023

North Topsail Beach

FOUNDED IN 1880 Notaris Tranquil Beauty NORTH CAROLINA

Manager's Update. Manager Derian, *ex officio*, updated the committee on the status of the shoreline projects.

- **Phase 5 project**: ST Wooten continues work with the Phase 5 truck haul project. At EOD on February 16th they have placed approximately 135,972 CY's of sand. The project will continue to April 30, 2023. Any remaining work will be completed in November and December of 2023. The project in total consists of hauling and placing approximately 636,000 CY's of sand along 18,500 feet of shoreline from the Surf City boarder to around 3686 Island Drive. The beach access at 2nd Ave. was opened this month to help facilitate the project with more trucks coming on-line at the end of the month with another contractor.
- **Coastal Storm Damage Mitigation Fund Grant:** The contract has been fully executed with the state. We have received the permit. I have prepared and submitted a one-year contract extension to the state in advance since we know our project will start next November. I am currently waiting on that acceptance.
- **County BA#4 Dune Project:** I worked with Onslow County to remove the lattice work in preparation for the contractor to start work. I received final documentation needed from ATM for final cost estimate with proposed scope of work deemed acceptable by the state. I presented this to the County Manager on Friday. I was told by the state to hold on moving forward with the project because of gravel and sand that was scraped into the dune by the County post Ian. I provided the plan along with the additional costs to the County Manager.
- ICW Crossing Channel to Jacksonville Disposal Area: The USACE project officially wrapped up last week. I received notice late Thursday afternoon that they started to pump black material that was no longer beach compatible sand, so they had to stop. They made it to Building #6 at the Reef.
- Phase 1 Project: The Board of Alderman at their February meeting, approved to move forward with the FEMA project that will add 15,000 CY's of sand along Phase 1 along with an additional 30,000 CY's of sand. We cannot start this project until USACE completes the dredge project. We have a very limited time to execute this project and I have been working in advance on logistics with our engineer and management at the Reef to obtain approval for the contractor to access. I received communication from the Reef on Monday that their board of directors would like the contractor to use the southern option for truck access to the beach. This plan is being reviewed by the contractor this week and I am waiting on an estimated mobilization date. The environmental window for Phase 1 closes on April 1st. We have to provide the latest beach survey data and project fill layout to the Division of Coastal Mgt who enforce CAMA regulations prior to the work beginning as well. We cannot request an extension until the project starts and then we are set to immediately request an extension.

Town of North Topsail Beach

Beach, Inlet, and Sound Advisory Committee

Committee organization. Discussion was continued on the election of a chair and vice chair. Mr. Larry Strother was unanimously elected to serve as BISAC Chair for 2023-2024. Further discussion concluded with a consensus to leave the vice chair position open pending outcome of the revised guidelines now being considered by the Board.

Action item. The Board of Alderman should accept the recommendation of the BISAC committee and appoint Mr. Larry Strother as chair for 2020-2024.

North Topsail Beach

FOUNDED IN 1990 Naturis Tranquil Benaty NORTH CAROLINA

TISPC at-large recommendation. *Background:* The TISPC charter recommends that the three representatives for each Topsail Island town should consist of one elected official, the chair of the beach committee and one at-large member. Since North Topsail Beach has not had a beach committee for some time, the board has always appointed two elected officials plus an at-large citizen representative to the TISPC. Now that NTB has BISAC, the committee recommends that the Board appoint Mr. Larry Strother as the third representative for the town. Currently, we have Alderman Fontana and Alderman Benson representing the town, so this appointment would fill out our full town representation.

Action item. Appoint Mr. Larry Strother as the third town representative to TISPC.

Overview 30-yr Engineered Beach and Inlet Management Plan. Mr. Chris Gibson, our coastal engineer advisor, gave an overview of a typical 30 yr BIMP that the state Division of Coastal Management (DCM) requests that each coastal community produce. He used the example of the 30-yr plan for the Town of Topsail Beach to talk through the organization and need for a BIMP. Permitting is one important component of a BIMP, so that town-wide, the process to permit an individual project falls under the BIMP that has already been accepted by DCM thus streamlining the permitting process with DCM.

As several miles of shoreline in NTB are within Map Unit L06 of the CBRS system, Mr. Gibson gave our committee a copy of the legislation passed by Congress on October 18, 1982, to illustrate some of the public misconceptions of what can and what cannot be done within a CBRA zone and the exemptions that apply. The CBRA rules prevent use of federal dollars in establishing a 'new' federal project for shoreline protection, but the law does not prevent non-federal money from being used to support re-nourishment of beaches where forces of nature have eroded beach and dune sand from the pre-existing condition over time. Nor does the legislation prevent FEMA from beach restoration work after a federal disaster has been declared. Another important 'take home message' from his presentation was the incremental process of nourishing the entire beach in a town like NTB with 11 miles of shoreline. As an example, he cited Topsail Beach's effort that now exceeds what a federal beach project would look like and was accomplished at a fraction of the cost to Topsail Beach. He warned, however, that the process has taken over 10 years.

Action item. The Board should approve BISAC moving forward with the initial stages of a 30 yr engineered Beach and Inlet Management Plan (BIMP) unless otherwise advised by council.

Town of North Topsail Beach

Totur of North Topsail Beach TOUNDED IN 1930 Metacis Tragail Benety NORTH CAROLINA

Beach, Inlet, and Sound Advisory Committee

NC Shallow Draft Fund & CBRA Sand Borrowing. The Biden administration has interpreted the CBRA sand borrowing rule differently from previous administrations that allowed sand from a CBRA area to be placed on a non-CBRA beach. There was concern among the committee that this federal rule would preclude use of NC Shallow Draft Funds for sections of non-CBRA shoreline. Chris Gibson explained this as a misconception; shallow draft funds at a 3 state: 1 local match can be used to maintain the New River Inlet and provide sand for shoreline protection.

Public comment. Mr. Jeff Meyers questioned whether the full 45,000 cubic yards of sand now permitted for the Topsail Reef shoreline would be placed.

• He was advised that this volume would be placed with a portion of the sand coming from the Corps dredge disposal work, the FEMA Hurricane Dorian project, and the state allocation already approved by the Board of Aldermen.

--The next BISAC meeting is Tuesday, March 28 at 10:30 in Town Hall--

Town of North Topsail Beach



Service

Integrity

Police Department

Chief William K. Younginer

Memo: Dodge Chargers

On the agenda for the 3-1-23 BOA Meeting is an amendment regarding Dodge Chargers.

Vehicles have become difficult to order and have delivered, so typically we will place an order when we are doing the budget for the upcoming cycle. Usually, these vehicles still take almost a year to come in, thus the reason to get started early.

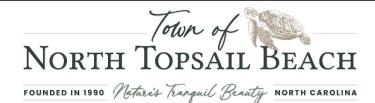
We have been told that Dodge is making the last V8 Charger this year and will be changing to a turbo V6 and electric. We are not sure how those will work out and have gotten great performance from the V8's we have now. I thought it was best to get our order in and, as in the past, the vehicles would be delivered sometime around October or November, and if not approved in the budget the vehicles would be sold to another department by the dealership.

We got a call and these Chargers have already been delivered to the dealership, fastest in 3 years.

Having talked to Finance and the Town Manager we have the ability to pay for these vehicles now and take delivery. By going forward now, this will eliminate the vehicles slated for next fiscal year's budget. The Police Department has a 5-year vehicle rotation plan. Most vehicles are then sold and still have some value. Other vehicles, like trucks, may be rotated to another department such as Public Works.

These vehicles will replace aging cars like our K-9 car and the equipment in it will fit. The K-9 Vehicle is 5 years old with over 110,000 miles.

Chief Younginer



BOARD OF ALDERMEN AGENDA ITEM MARCH 1, 2023

ISSUE:	Budget Amendment 2022-23.4
PRESENTED BY:	Police Chief Younginer
PRESENTATION:	Police Department
DEPARTMENT:	Police
Background:	As previously reported, the interest received in the Town's North Carolina Capital Management Trust accounts has been far greater than originally anticipated. \$15,000 was budgeted and we have received over \$160,000. This amendment will better represent the revenues that have been received along with addressing Police vehicles, which Police Chief Younginer has prepared a memorandum that is attached.
Attachments:	Police Memorandum; Budget Amendment 2022-23.4
Recommendation:	Approve Amendment as recommended
Action Needed:	Yes

Suggested Motion: "I, _____, make a motion to approve Budget Amendment 2022-23.4 as presented."

Funds: 10

Follow Up: Finance Officer and Police Chief

TOWN OF NORTH TOPSAIL BEACH

BOARD OF ALDERMEN ASSIGNMENTS as of December 16, 2022

BOARD/COMMITTEE/DUTY

LIAISON

ASSIGNED

MEETING DATE

STATE MANDATED			
Board of Aldermen (elected)	Town Manager Derian	N/A	1 st Wed / 11:00 am
Planning Board	No BOA liaison/ Planning Director Hill	N/A	2 nd Thursday /5:00 pm
Board of Adjustment	No BOA liaison/ Planning Director Hill	N/A	As needed
TOWN COMMITTEES - OTHER DUTIES			
Beach, Inlet, Sound Advisory Committee (BISAC)	MPT Mike Benson and Richard Grant	12/16/2022	4th Tues / 10:30 am
CIP Committee	Aldermen Grant and Fontana	12/16/2022	As needed
Parking Committee	Aldermen Leonard and Pletl	12/16/2022	As needed
Parks and Recreation	Mayor McDermon and Aldermen Pletl	12/16/2022	3 rd Tuesday /6:30 pm
Revetment Committee	Mayor McDermon and Alderman Leonard	12/16/2022	As needed
Board of Aldermen Mayor Pro-Tem	Mike Benson	2/2/2022	BOA schedule
Board of Aldermen check signatories	Aldermen Fontana, Grant and Leonard	12/16/2022	As needed
OUTSIDE AGENCIES	LIASONS		
Greater Topsail Area Chamber of Commerce and Tourism	Alderman Fontana Mayor McDermon (alternate)	12/16/2022	3 rd Thurs / 4:00 pm
NCBIWA Board of Directors	Tom Leonard	12/6/2021	Quarterly Jan, Apr, July and Oct
ONWASA Board of Directors	Mayor McDermon	12/16/2022	Bimonthly 3 rd Thurs / 6:00 pm
Onslow County Board of Commissioners	Alderman Richard Grant Alderman Pletl (alternate)	12/16/2022	1 st & 3 rd Mon / 11am/5:00 pm except Jan 4 th and 18 th on Wed

TOWN OF NORTH TOPSAIL BEACH

BOARD OF ALDERMEN ASSIGNMENTS as of December 16, 2022

BOARD/COMMITTEE/DUTY

LIAISON

ASSIGNED

MEETING DATE

Jacksonville Urban Area Metropolitan Planning Organization (JUMPO) Technical Advisory Committee	Alderman Fontana Alderman Pletl (alternate)	12/16/2022	Bimonthly 2 nd Thurs / 3:30 pm (Mar 10, May 12, Aug 11, Oct 13, Dec 8)
Topsail Island Shoreline Protection Commission (TISPC)	MPT Benson and Alderman Fontana	12/16/2022	Bimonthly last Friday
Camp Lejeune	MPT Benson and Alderman Leonard	12/16/2022	
N.C. Coastal Resource Commission (CRC)	MPT Benson	12/16/2022	Feb. 22-23, 2023 at Ocean Isle Beach Town Hall, 111 Causeway in OIB April 26-27, 2023 at Outer Banks June 14-15, 2023 at TBD
N. C. DEQ Division of Water Resources	MPT Benson	12/16/2022	
United States Army Corps of Engineers (USACE) Shallow Draft Inlet EIS	Mayor McDermon and MPT Benson	12/16/2022	
Greater Topsail Community Alliance		3/1/2023	
STATE AND FEDERAL	Mayor McDermon and Alderman Leonard	12/16/2022	As needed

Town of North Topsail Beach

Joann M. McDermon, Mayor Mike Benson, Mayor Pro Tem

Aldermen: Richard Grant Connie Pletl Alfred Fontana Tom Leonard)oun Depise

Alice Derian, ICMA-CM Town Manager

> Nancy Avery Interim Town Clerk

Nature's Tranquil Beauty



EXEMPTING THE THIRTY-YEAR BEACH MANAGEMENT PLAN PROJECT

from North Carolina General Statute 143-64.31

WHEREAS, General Statute 143-64.31 requires the initial solicitation and evaluation of firms to perform architectural, engineering, surveying, construction management-at-risk services, and design-build services (collectively "design services") to be based on qualifications and without regard to fee;

WHEREAS, the Town proposes to enter into one or more contracts for design services for work on the thirty - year beach management plan project; and

WHEREAS, General Statute 143-64.32 authorizes units of local government to exempt contracts for design services from the qualifications-based selection requirements of General Statute 143-64.31 if the estimated fee is less than \$50,000; and

WHEREAS, the estimated fee for design services for the above-described project is less than \$50,000

NOW, THEREFORE, the Board of Aldermen of the Town of North Topsail Beach resolves:

Section 1. The above-described project is hereby made exempt from the provisions of General Statute 143-64.31 to the extent the Town is able to successfully negotiate a contract with an engineer under \$50,000.

Section 2. This resolution shall be effective upon adoption.

This resolution duly adopted by the Town of North Topsail Beach Board of Aldemen this the first day of March 2023.

ATTEST:_____ Nancy Avery, Interim Town Clerk

Joann McDermon, Mayor

Section X, ItemE.





North Topsail Beach Multi-Use Path Study

July 1, 2016

Prepared for:



Prepared by: **Kimley Horn**

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ACKNOWLEDGEMENTS

Prepared For

The Town of North Topsail Beach

Prepared By

Kimley-Horn & Associates

Brandon P. White, PLA, ASLA, Project Manager Cathy Murrell, PE, Project Engineer Melissa Moeller, ASLA, Landscape Designer

Town of North Topsail Beach Board of Aldermen

Fred J. Burns, Mayor Dick Macartney, Mayor Pro Tem Don Harte, Alderman Richard Peters, Alderman Joann M. McDermon, Alderman Walt Yurek, Alderman

Town of North Topsail Beach Staff

Stuart Turille, Town Manager Carin Z. Faulkner, MPA, Assistant Town Manager / Town Clerk Deborah J. Hill, MPA, AICP, CFM, CZO, Planning Director Thomas Best, Public Works Director / Fire Chief Major Lee McKnight, Assistant Chief of Police Jimmy Canady, Building Codes Administrator Jason Dail, NCDENR, Division of Coastal Management (CAMA)

Stakeholders

Dr. Mike Benson

EXECUTIVE SUMMARY

The Town of North Topsail Beach is located along the Atlantic Coast of North Carolina on the northern end of Topsail Island. The Town was incorporated in 1990 and has a permanent population of 743 people according to census data published in 2010 by the United States Census Bureau. The Town's population swells during summer months with over 78%, or approximately 2,000, of its 2,547 total housing units available for seasonal, recreational, or occasional use.

The Town identified a need to investigate alternate means of transportation on the island to reduce congestion and improve safety in the early 2000's. In 2006, The Town adopted the Town of North Topsail Beach Bike Plan. This master planning document outlined a 10-foot wide bike path along State Road 1568 (SR 1568) or New River Inlet Road and River Drive. New River Inlet Road serves as the only road to the northern end of the island. It is a 2-lane asphalt road running parallel to the coastline with no available alternate route or accommodations for pedestrians or cyclists. The proposed bike path would be an extension of the Town's existing paved bike path from Town Hall, located at the intersection of New River Inlet Road and NC Highway 210, to North Topsail Beach Park along New River Inlet Road.

The purpose of this project is to further investigate the originally proposed bike path. The Town retained planning and engineering consultants, Kimley-Horn, to assist with the preliminary design of a multi-use path and developing a construction cost estimate. The limits of the project were established using the Town's 2006 Bike Plan. This



proposed alignment is approximately 4.7 miles long beginning at North Topsail Beach Park, continuing north along New River Inlet Road, and ending at the current Town-owner parking lot at the terminus of River Drive.

PRELIMINARY DESIGN PROCESS

The Consultant hosted a Kick-off Meeting and Work Session with Town staff and stakeholders to review the project goals, confirm project limits, and gather institutional knowledge of the project corridor.

The following goals were established:

1. Mitigate congestion along New River Inlet Road (SR 1568).

2. Improve pedestrian and cyclist safety.

3. Improve connectivity to the surrounding community.

4. Incorporate the project into the Eastern

Carolina RPO transportation planning documents.

5. Incorporate into Onslow County Comprehensive Transportation Plan (CTP).

6. Establish a feasible preliminary alignment.

7. Develop a construction cost estimate in order to identify an order of magnitude for design, right-of-way, easements, and construction costs.

8. Position the project for NCDOT funding or other related grant opportunities.

Large-scale maps of the proposed path corridor were displayed. These maps were developed from available aerial photography and GIS data provided by Onslow County. Town staff and stakeholders drafted comments on sticky notes and posted them to specific areas on the maps to note potential opportunities and constraints. The Consultant then conducted a site visit of the entire proposed project corridor to make field observations. Existing conditions, including drainage structures, utilities, vegetation, roadway structures, and other physical features, within the approximate right-of-way were observed and noted.

Input from the Kick-off Meeting and Work Session, along with the Consultant's field observations were used to develop the preliminary path alignment. The Consultant used the following criteria during this design process:

1. Maximize the existing right-of-way for the proposed path alignment.

2. Consider existing Town-owned parcels for the proposed path alignment to reduce encroachments.



3. Minimize path crosswalks along New River Inlet Road.

4. Minimize impact to environment features.

5. Consider elevated timber boardwalks parallel to bridge structures.

6. Comply with AASHTO and NCDOT guidelines.

The Consultant drafted a preferred alignment that addressed the stated criteria and, using this, created map exhibits suitable for presentation to the public. This mapping became Preliminary Multi-use Path Alignment documents.

The Preliminary Multi-use Path Alignment was presented by the Consultant, Kimley-Horn, at the Public Meeting on April 12, 2016. The document was then presented by the Town's Planning Director, Deborah J. Hill, to the Town's Planning Board on April 14, 2016. The Board recommended approval by the Board of Alderman.

On May 5, 2016, Deborah J. Hill presented the Preliminary Multi-use Path Alignment to the Town's Board of Alderman. The Board approved the preliminary alignment unanimously. The purpose of the motion was to seek approval for establishing the construction cost estimate.

STAKEHOLDER INPUT

The majority of the proposed project limits fall within the residential corridor made up of mid-rise condominium buildings, townhomes, and singlefamily homes. It is imperative to actively engage these residents as stakeholders in the project and



receive meaningful input throughout the design process. The Town included members of the Board of Alderman, staff members, and residents early and often during the project. Stakeholders participated in the project Kick-off Meeting and Work Session at the onset of the design phase. The Town and Consultant hosted a Public Meeting at Town Hall on the evening of April 12, 2016. The public meeting was advertised on the Town's website, social media, and electronic communications. The preliminary multi-use path alignment, typical sections of the path construction, and existing conditions were presented by the Consultant. Large-scale mapping of the entire 4.7 mile proposed alignment was displayed along the walls for attendees to review and ask specific questions. Town staff and the Consultant were available to respond to questions and concerns. The Consultant prepared a Signin Sheet, Comment Sheet, and presentation for

the Public Meeting. The Town posted the public meeting mapping online through the Town's website for further comment. The comment period was available for 2-weeks following the meeting. In addition, Town staff continue to receive comments for the next several weeks leading up to the Board of Alderman meeting on May 5, 2016.

PROJECT SCHEDULE

The Consultant worked with Town staff to develop a comprehensive schedule, including dates for the below milestones.

OPINION OF PROBABLE CONSTRUCTION COST

The Consultant developed an Opinion of Probable Construction Costs (OPCC) based on the approved Preliminary Multi-use Path Alignment. This alignment was drafted in AutoCAD using base mapping previously developed. This process allows for better accuracy in measuring and calculating quantities associated with the construction of the path. The OPCC is formatted using the North Carolina Department of Transportation's (NCDOT) Master Pay Item List. Pay Items were identified based on the Consultant's experience in designing

Milestone	Date
Project Kick-off Meeting & Work Session with Town Staff	March 7, 2016
Site Visit	March 7, 2016
Public Meeting	April 12, 2016
Town Planning Board Meeting	April 14, 2016
Town Board of Alderman Meeting	May 5, 2016



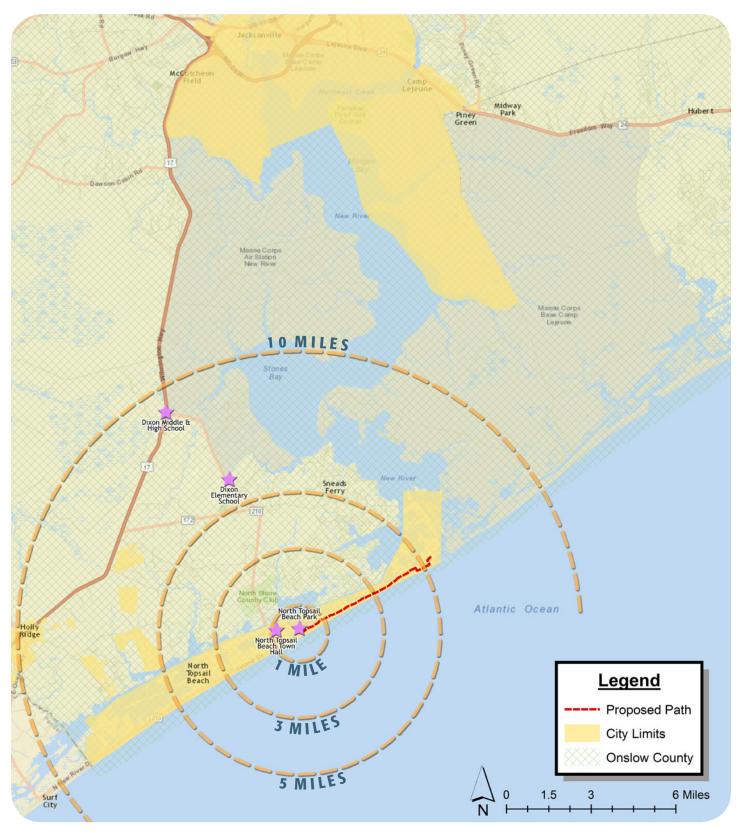


multi-purpose paths similar to the project. Unit costs were calculated using historical data from recent competitive bids on similar projects in the region.

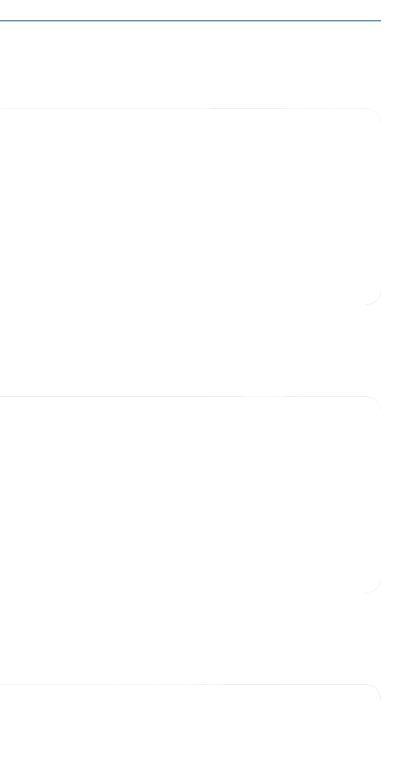
Opinion of Probable Construction Cost Disclaimer. The Consultant has no control over the cost of labor, materials, equipment, the Contractor's methods of determining prices, or over competitive bidding or market conditions. Opinions of probable costs provided are based on the information known to Consultant at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Consultant cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

POTENTIAL PHASING OPPORTUNITIES				
Section	Beginning	Ending	Length (Miles)	
1	North Topsail Beach Park	Seaview Pier	1.06	
2	Seaview Pier	Bay Court Beach Access	1.55	
3	Bay Court Beach Access	Ship Watch Villas	0.75	
4	Ship Watch Villas	Terminus of River Drive	1.37	
		Total Length:	4.73	

Location Map

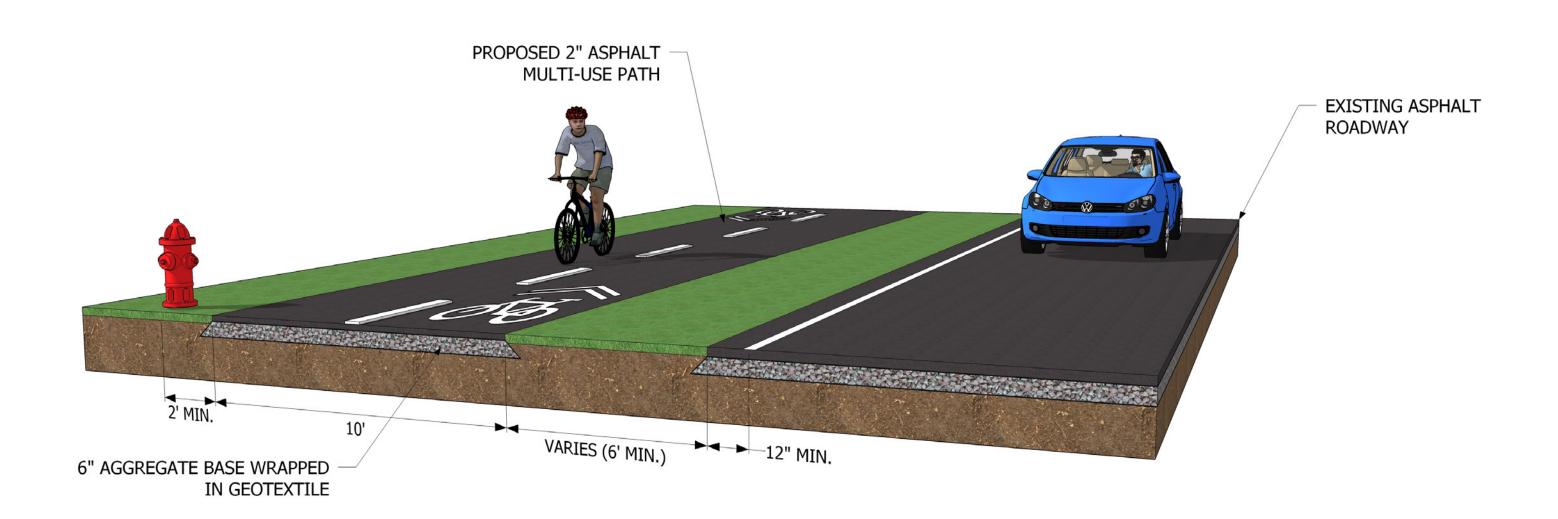


Preliminary Multi-Use Path Alignment



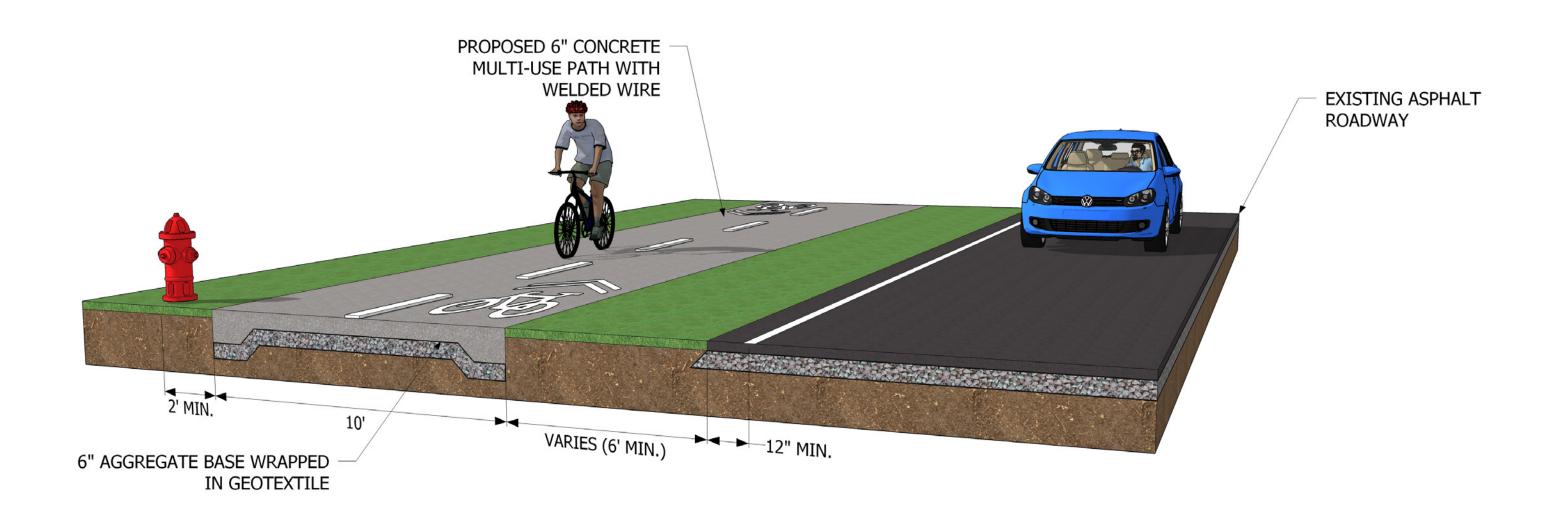
109

Asphalt Multi-Use Path



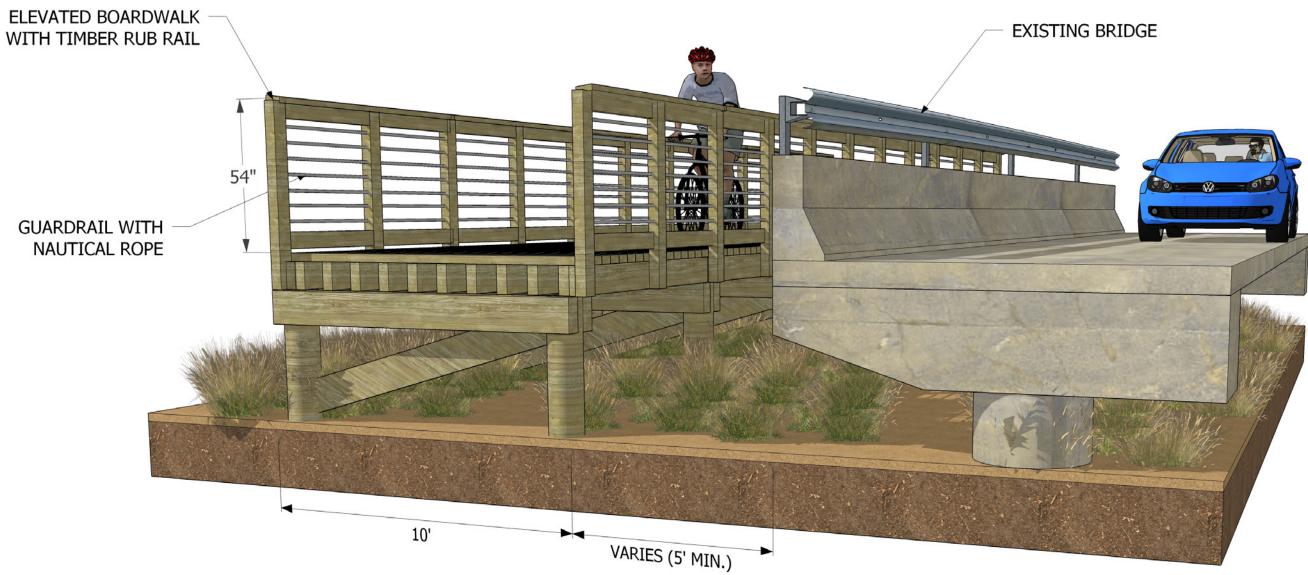


Concrete Multi-Use Path





Boardwalk Multi-Use Path with Railing





Typical Driveway Apron





Typical Street Crossing



Opinion of Probable Cost

NO.	ITEM NUMBER	SECTION	DESCRIPTION	UNIT	QTY	UI	NIT PRICE		AMOUNT
			SITE WORK						
1	0000100000-N	800	MOBILIZATION	LS	1	\$	42,100.00	\$	42,100.0
2	0000400000-N	801	CONSTRUCTION SURVEYING	LS	1	\$	22,000.00	\$	22,000.0
3	0000700000-N	SP	FIELD OFFICE	LS	0	\$	-	\$	-
4	000100000-Е	200	CLEARING & GRUBBING - 4.75 ACRES	LS	1	\$,	\$	32,000.0
5	0001010000-N	200	SELECT TREE REMOVAL	EA	64	\$	500.00	\$	32,000.0
6	015600000-Е	250	REMOVAL OF EXISTING ASPHALT PAVEMENT	SY	583	\$		\$	5,247.0
7	0043000000-N	226	GRADING 15" RC PIPE CULVERTS, CLASS III	LS	1	\$	- ,	\$	125,000.0
8 9	0366000000-E 1264000000-E	310 SP	DITCHING	LF LF	300 20225	\$ \$		\$ \$	70,500.0
10	2830000000-N	858	ADJUSTMENT OF MANHOLES	EA	6	\$		\$	4,110.0
11	2845000000-N	858	ADJUSTMENT OF METER BOXES OR VALVE BOXES	EA	51	\$	500.00	\$	25,500.0
12	4273000000-N	907	GENERIC SIGNING ITEM - EX.SIGNAGE RELOCATION (NON-ELECTRICAL)	EA	2	\$		\$	600.0
13	6133000000-N	SP	GENERIC EROSION CONTROL ITEM	LS	1	\$		\$	10,000.0
14	4399000000-N	1105	TEMPORARY TRAFFIC CONTROL	LS	1	\$	25,000.00	\$	25,000.0
15	440000000-Е	1110	WORK ZONE SIGNS (STATIONARY)	SF	160	\$	7.00	\$	1,120.0
16	440500000-Е	1110	WORK ZONE SIGNS (PORTABLE)	SF	128	\$	19.00	\$	2,432.0
17	4415000000-N	1115	FLASHING ARROW BOARD	EA	2	\$	2,700.00	\$	5,400.0
18	442000000-N	1120	PORTABLE CHANGEABLE MESSAGE SIGN	EA	2	\$.,	\$	20,000.0
19	4455000000-N	1150	FLAGGER	DAY	260	\$		\$	83,200.0
20	4516000000-N	1180	SKINNY DRUM	EA	440	\$	35.00	\$	15,400.
<u>.</u>	151000000 5	64.0	SITE ELEMENTS / HARDSCAPE		21000	¢	20.00	<u>_</u>	120.000
21	151900000-E	610	ASPHALT CONC SURFACE COURSE, TYPE S.5B - 2"	SY	21900	\$	20.00	\$	438,000.0
22	149800000-E	610	ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 119.0B - 4"	SY	240	\$	20.00	\$	4,800.0
23	1489000000-E 1121000000-E	610	ASPHALT CONCRETE BASE COURSE, TYPE B25.0B - 4" AGGREGATE BASE COURSE - 6"	SY SY	240	\$ \$	20.00	\$	4,800.0
24		520	GENERIC MISC. ITEM - 10' CONCRETE SIDEWALK (6" - VEHICULAR RATED)	SY	21900	\$ \$	20.00	\$	438,000.
25	0000960000-E	SP		LF	950	\$ \$	55.00	\$	52,250.
26 27	0000930000-E 2612000000-E	SP 848	GENERIC MISC. ITEM - 10' BOARDWALK (H5 RATED)	SY	4760 2100	\$ \$	700.00 75.00	\$ \$	3,332,000.
27	254900000-Е	846	6" CONCRETE DRIVEWAY 2'-6" CONCRETE CURB & GUTTER	LF	535	\$ \$		\$ \$	20,330.
28	2542000000-Е	846	1'-6" CONCRETE CURB & GUTTER	LF	625	\$		\$	8,750.0
30	2605000000-N	848	CONCRETE CURB RAMP	EA	29	\$		\$	27,550.0
31	2655000000-Е	852	5" MONOLITHIC CONCRETE ISLANDS (KEYED IN)	SY	26	\$	70.00	\$	1,820.0
32	4685000000-Е	1205	THERMOPLASTIC PAVEMENT MARKING LINES (4", 90 MILS)	LF	4845	\$	3.25	\$	15,746.2
33	470000000-Е	1205	THERMOPLASTIC PAVEMENT MARKING LINES (12", 90 MILS)	LF	116	\$	7.50	\$	870.0
34	471000000-Е	1205	THERMOPLASTIC PAVEMENT MARKING LINES (24", 120 MILS)	LF	750	\$	12.00	\$	9,000.0
35	470200000-Е	1205	THERMOPLASTIC PAVEMENT MARKING LINES (12", 120 MILS)	LF	720	\$	8.00	\$	5,760.0
36	4725000000-Е	1205	THERMOPLASTIC PAVEMENT MARKING SYMBOL (90 MILS)	EA	252	\$	150.00	\$	37,800.0
37	481000000-Е	1205	PAINT PAVEMENT MARKING LINES (4")	LF	215	\$	1.00	\$	215.0
38	0000915000-N	SP	GENERIC MISCELLANEOUS ITEM - PERMANENT BOLLARDS	EA	24	\$	500.00	\$	12,000.0
39	0000915000-N	SP	GENERIC MISC. ITEM - STANDARD NCDOT COLLAPSIBLE BOLLARDS	EA	28	\$	1,000.00	\$	28,000.0
40	0000930000-Е	SP	GENERIC MISC. ITEM - TIMBER APPROACH FENCING	LF	480	\$	50.00	\$	24,000.
			WAYFINDING						
41	0000900000-N	SP	GENERIC MISC. ITEM - RAPID FLASH BEACON	EA	4	\$	/	\$	40,000.0
42	0000915000-N	SP	GENERIC MISC. ITEM - PATH STOP / NO MOTOR VEHICLE SIGN	EA	29	\$,	\$	36,105.0
43	0000915000-N	SP	GENERIC MISC. ITEM - CAUTION SIGN (SLIPPERY WHEN WET) GENERIC MISC. ITEM - CROSSWALK AHEAD SIGN	EA	18	\$	/	\$	23,760.0
44	0000915000-N	SP		EA	9	\$	1,320.00	\$	11,880.0
1.7		1.070	LANDSCAPE	1 = 1		<i>.</i>	150.00	_	26.000
45	6640000000-N 6640000000-N	1670	GENERIC PLANTING ITEM - ORNAMENTAL TREE GENERIC PLANTING ITEM - GROUNDCOVER	EA	82	\$ \$		\$	36,900.
46 47	665000000-N	1670 1670	MULCH FOR PLANTING	EA CY	410 24	\$ \$	15.00 69.00	\$ \$	6,150.0
48	6102000000-E	1664	SODDING	SY	18200	\$		\$	109,200.0
				~ -			SUBTOTAL		5,527,801.2
			ENCOREEDING DUDI IC DIVOL	VENCENT				-	829,170.
ENGINEERING, PUBLIC INVOLVEMENT, & CONTINGENCY (15%) \$									
			CONSTRUCTION EN	IGINEEF	RING & IN	SPEC	CTION (10%)	\$	552,780.
					NEPA DO	CUM	IENTATION	\$	15,000.
			TEMPORARY EASEMEI	NT & RIO	GHT-OF-W	AY A	QUSITION	\$	465,000.
							-	-	
			FULL PRO	ығсі I	MPLEMEI	AIN.	HON COST	\$	7,389,751.

Appendix 'A': NCDOT 5-Year Crash Data

North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report

		Study Criteria Summary									
County:	ONSLOW			City:	All and Rural						
Date:	5/1/2011	to 4/30	/2016	Study:	41000041385						
Location:	River Drive f	from SR 1	568 (New	River Inlet	t Road) to the end of the route						

Report Details

Study Criteria

Study Name		Log No.	PH No.	TIP No.	K/A Cf.	B/C Cf.	ADT	ADT Route
41000041385					76.8	8.4	500	50026030
Request Date	Courier Service	Phone No.	Ext.	Fax No.	_			

County			Munic	pality				
Name	Code	Div.	Name	Code	Y-Line Ft.	Begin Date	End Date	Years
ONSLOW	67	3	All and Rural		0	5/1/2011	4/30/2016	5.00
Location Text				Requestor				

River Drive from SR 1568 (New River Inlet Road) to the end of the route $% \left({{\left[{{N_{\rm{BW}}} \right]_{\rm{T}}}} \right)$

Fiche Roads								
Name	Code							
RIVER	50026030							
NEW RIVER INLET	50036357							
SR 1568	40001568							

Strip Road									
Name	Code	Begin MP	End MP	Miles	Kilometers				
RIVER	50026030	0.000	0.272	0.272	0.438				

All data presented in this report comes explicitly from the Traffic Engineering Accident Analysis System based upon vi criteria provided by the report's creator. The onus is strictly upon the user of this report to exercise due diligence in in and further representing this data.

Study Criteria Summary

County:	ONSLOW	City: All and Rural
Date:	05/01/2011 to 04/30/2016	Study: 41000041386
Location:	SR 1568 (New River Inlet Rd)	from Osprey Dr to River Dr

Report Details

							spon		-	<u> </u>										
Acc										Total		Inju	iries		С	ondi	ition	Ro	ad	Trfc Ctl
No	Crash ID	Milepost		Date	Ac	<u>cide</u> r	nt Type	<u> </u>	D	amage	F	Α	В	С	R	L	W	Ch	Ci	Dv Op
1	104118437	0.683		9/2014 6:10	REAR E STOP	ND, S	SLOW (DR	\$	3000	0	0	0	0	1	1	1	1	0	
Unit	1 : 1	Alchl/Dr	gs:	0	Speed:	35	MPH	Dir:	S		Veh	Mnvr	/Ped	Actn:		4	c	Obj St	rk:	
Unit	2 : 4	Alchl/Dr	gs: 	0	Speed:	30	MPH	Dir:	s		Veh	Mnvr	/Ped	Actn:		4	C	0bj St	rk:	
2	103665565	0.861		3/2013 1:40	LEFT TI ROADV	-	SAME		\$	1000	0	0	0	0	1	1	1		0	0
Unit	1:20	Alchl/Dr	gs:	0	Speed:	10	MPH	Dir:	Ν		Veh	Mnvr	/Ped	Actn:		8	C)bj St	rk:	
Unit	2 : 3	Alchl/Dr	gs:	0	Speed:	10	MPH	Dir:	Ν	E	Veh	Mnvr	/Ped	Actn:		5	C	Obj St	rk:	
3	104090062	0.861		4/2014 3:30	LEFT TI ROADV		SAME		\$	7000	0	0	0	1	1	1	1	1	0	0
Unit	1:3	Alchl/Dr	gs:	0	Speed:	20	MPH	Dir:	Ν		Veh	Mnvr	/Ped	Actn:		8	C)bj St	rk:	
Unit	2 : 1	Alchl/Dr	gs:	0	Speed:	45	MPH	Dir:	S		Veh	Mnvr	/Ped	Actn:		4	C	Obj St	rk:	
4	 103505468	1.153		4/2012 9:25	RIGHT DIFFER			VAYS	\$	6000	0	0	0	0	1	1	1	1	0	
Unit	1:2	Alchl/Dr	gs:	0	Speed:	5	MPH	Dir:	Е		Veh	Mnvr	/Ped	Actn:		4	c	Dbj St	rk:	
Unit	2 : 4	Alchl/Dr	gs:	0	Speed:	40	MPH	Dir:	S		Veh	Mnvr	/Ped	Actn:		4	C	Obj St	rk:	
5	 104055731	1.618		4/2014 6:15	ANIMAL				\$	1500	0	0	0	0	1	— — 1	1	1	0	0
Unit	1 : 1	Alchl/Dr	gs:	0	Speed:	45	MPH	Dir:	Ν		Veh	Mnvr	/Ped	Actn:		4	C	Dbj St	rk:	17
6	 104049531	1.646		2/2014 8:32	ANGLE				\$	5000	0	0	0	0	1	1	1	1	0	0
Unit	1:2	Alchl/Dr	gs:	0	Speed:	5	MPH	Dir:	W	1	Veh	Mnvr	/Ped	Actn:		8	c)bj St	rk:	
Unit	2 : 2	Alchl/Dr	gs:	0	Speed:	45	MPH	Dir:	Ν		Veh	Mnvr	/Ped	Actn:		4	C	Dbj St	rk:	
7	 104073387	1.646		5/2014 5:31	OVERT	URN/F	ROLLO	VER	\$	1000	0	0	 1	0	1	— — 1	1	7	11	
Unit	1:20	Alchl/Dr	gs:	0	Speed:	45	MPH	Dir:	Ν		Veh	Mnvr	/Ped	Actn:		8	C	Dbj St	rk:	
8	103377236	 1.944		5/2012 4:35	REAR E		URN		\$	3000	0	0	0	1	1	— — 1	- - - 1	5	0	0
Unit	1:2	Alchl/Dr	gs:	0	Speed:	45	MPH	Dir:	Ν		Veh	Mnvr	/Ped	Actn:		4	c)bj St	rk:	
Unit	2 : 1	Alchl/Dr	gs:	0	Speed:	45	MPH	Dir:	Ν		Veh	Mnvr	/Ped	Actn:		4	c) bj St	rk:	
															·		·			

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1 1					quip	/ III UI	ysis	<u> </u>			1		- 1	~		41		a. (Tef	041
Acc	a · ·		D (Total	+		uries			ondi				Trfc Ctl	
No	Crash ID	Milepost				t Type	9		amage	F	-	-	C	R	-	W	Ch		Dν	Ор
9	103900846	1.963	10/12/2013 20:24	ANIMAL				\$	3000	0	0	0	0	1	5	1	1	0	0	
Unit — — —	1 : 1	Alchl/Drg	gs: 0	Speed:	35 	MPH	Dir:	s 		Veh	Mnvi — —	r/Ped	Actn:		4	c 	0bj St 	rk:	17	
10	103516174	2.029	07/25/2012 16:45	REAR E STOP	ND, S	LOW	DR	\$	24500	0	0	1	0	1	1	1	1	0	1	1
Unit	1 : 1	Alchl/Dr	gs: 0	Speed:	45	MPH	Dir:	Ν		Veh	Mnv	r/Ped	Actn:		4	c	0bj St	rk:		
Unit 	2 : 4	Alchl/Drg	gs: 0	Speed:	45 	MPH	Dir:	N		Veh 	Mnvi 	r/Ped	Actn:		4	c 	0bj St 	rk:		
11	103500581	2.629	06/30/2012 12:59	REAR E STOP	ND, S	LOW	DR	\$	1200	0	0	0	0	1	1	1	1	0		
Unit	1:4	Alchl/Dr	gs: 0	Speed:	45	MPH	Dir:	Ν		Veh	Mnvi	r/Ped	Actn:		4	c)bj St	rk:	18	
Unit 	2 : 1	Alchl/Drg 	gs: 0	Speed: 	45	MPH	Dir:	N		Veh	Mnv	r/Ped	Actn:		11	c 	0bj St 	rk:		
12	104297334	2.652	01/24/2015 02:15	RAN OF RIGHT	FRO	AD -		\$	1540	0	0	0	0	3	5	3	1	0		
Unit 	1:2	Alchl/Drg	gs: 7	Speed: 	45 	MPH	Dir:	N		Veh — —	Mnvi 	r/Ped	Actn:		4	c 	0bj St 	rk: 	60	
13	104177078	2.661	09/17/2014 20:55	ANIMAL				\$	1000	0	0	0	0	1	4	1	1	0		
Unit 	1 : 1	Alchl/Drg 	gs: 0	Speed: 	45	MPH	Dir:	N		Veh	Mnv	r/Ped	Actn:		4	c 	0bj St 	rk:	17	
14	103212903	3.560	07/14/2011 19:05	REAR E STOP	ND, S	LOW	OR	\$	1800	0	0	0	0	1	1	1	1	0		
Unit	1 : 1	Alchl/Dr	gs: 0	Speed:	45	MPH	Dir:	Ν		Veh	Mnv	r/Ped	Actn:		11	C)bj St	rk:		
Unit 	2 : 1	Alchl/Drg 	gs: 0	Speed:	45 	MPH	Dir:	N		Veh	Mnvi 	r/Ped	Actn:		11 	c 	0bj St 	rk:		
15	103190127	4.181	05/24/2011 08:55	RAN OF RIGHT	F ROA	4D -		\$	5100	0	0	0	0	1	1	1	5	0	13	1
Unit 	1 : 20	Alchl/Drg	gs: 0	Speed:	35	MPH	Dir:	s		Veh	Mnvi	r/Ped	Actn:		4	c 	0bj St 	rk:	18	
16	103797457	4.438	06/04/2013 15:57	RAN OF RIGHT	F ROA	4D -		\$	10000	0	0	1	0	1	1	1	1	0		
Unit	1:4	Alchl/Drg	gs: 1	Speed:	60	MPH	Dir:	s		Veh	Mnv	r/Ped	Actn:		4	c 	0bj St 	rk:		
17	103435972	4.519	04/12/2012 02:55	RAN OF RIGHT	FRO	4D -	-	\$	11000	0	0	0	0	1	4	1	1	0	_	
Unit 	1:4	Alchl/Drg	gs: 7	Speed:	70	MPH	Dir:	N		Veh	Mnvi	r/Ped	Actn:		4	c 	0bj St 	rk:		
18	104462939	5.040	07/30/2015 20:10	ANGLE	-	-	-	\$	3500	0	0	0	0	1	1	1	1	0	1	1
Unit	1 : 1	Alchl/Dr	gs: 0	Speed:	3	MPH	Dir:	W		Veh	Mnv	r/Ped	Actn:		4	C)bj St	rk:		
Unit	2 : 1	Alchl/Dr	gs: 0	Speed:	30	MPH	Dir:	Ν		Veh	Mnv	r/Ped	Actn:		4	c)bj St	rk:		

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					Report											
Acc					Total		Inju	ries	_	Co	ondit	ion	Road		Trfc Ct	
No	Crash ID	Milepost	Date	Accident Type	Damage	F	Α	В	С	R	L	W	Ch	Ci	Dv	Ор
•	nd for	njuries: F - Fa	•	A, B - Class B, C - Class , L - Ambient Light, W - V												

Report Rd Ch - Road Character Rd Ci - Roadway Contributing Circumstances Trfc Ctl - Traffic Control: Dv - Device, Op - Operating Alchl/Drgs - Alcohol Drugs Suspected Veh Mnvr/Ped Actn - Vehicle Maneuver/Pedestrian Action Obj Strk - Object Struck

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Summary Statistics

High Level Crash Summary

Crash Type	Number of Crashes	Percent of Total
Total Crashes	18	100.00
Fatal Crashes	0	0.00
Non-Fatal Injury Crashes	5	27.78
Total Injury Crashes	5	27.78
Property Damage Only Crashes	13	72.22
Night Crashes	4	22.22
Wet Crashes	1	5.56
Alcohol/Drugs Involvement Crashes	1	5.56

Crash Severity Summary

Crash Type	Number of Crashes	Percent of Total
Total Crashes	18	100.00
Fatal Crashes	0	0.00
Class A Crashes	0	0.00
Class B Crashes	3	16.67
Class C Crashes	2	11.11
Property Damage Only Crashes	13	72.22

Vehicle Exposure Statistics

Annual ADT = 2400

Total Length = 4.659 (Miles)

7.498 (Kilometers) 32.88 (MVKMT)

Total Vehicle Exposure = 20.43 (MVMT)

Crash Rate	Crashes Per 100 Million Vehicle Miles	Crashes Per 100 Million Vehicle Kilometers
Total Crash Rate	88.11	54.75
Fatal Crash Rate	0.00	0.00
Non Fatal Crash Rate	24.48	15.21
Night Crash Rate	19.58	12.17
Wet Crash Rate	4.90	3.04
EPDO Rate	269.23	167.29

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Miscellaneous Statistics

Severity Index =	3.06
EPDO Crash Index =	55.00
Estimated Property Damage Total = \$	90140.00

Accident Type Summary

Accident Type	Number of Crashes	Percent of Total
ANGLE	2	11.11
ANIMAL	3	16.67
LEFT TURN, SAME ROADWAY	2	11.11
OVERTURN/ROLLOVER	1	5.56
RAN OFF ROAD - RIGHT	4	22.22
REAR END, SLOW OR STOP	4	22.22
REAR END, TURN	1	5.56
RIGHT TURN, DIFFERENT ROADWAYS	1	5.56

Injury Summary

Injury Type	Number of Injuries	Percent of Total
Fatal Injuries	0	0.00
Class A Injuries	0	0.00
Class B Injuries	3	60.00
Class C Injuries	2	40.00
Total Non-Fatal Injuries	5	100.00
Total Injuries	5	100.00

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North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report

Monthly Summary			
Month	Number of Crashes	Percent of Total	
Jan	4	22.22	
Feb	0	0.00	
Mar	0	0.00	
Apr	2	11.11	
Мау	2	11.11	
Jun	3	16.67	
Jul	5	27.78	
Aug	0	0.00	
Sep	1	5.56	
Oct	1	5.56	
Nov	0	0.00	
Dec	0	0.00	

Daily Summary

Day	Number of Crashes	Percent of Total
Mon	0	0.00
Tue	2	11.11
Wed	3	16.67
Thu	4	22.22
Fri	1	5.56
Sat	7	38.89
Sun	1	5.56

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Hourly Summary				
Number of Perce Hour Crashes of To				
0000-0059	0	0.00		
0100-0159	0	0.00		
0200-0259	2	11.11		
0300-0359	0	0.00		
0400-0459	0	0.00		
0500-0559	0	0.00		
0600-0659	0	0.00		
0700-0759	0	0.00		
0800-0859	1	5.56		
0900-0959	1	5.56		
1000-1059	0	0.00		
1100-1159	1	5.56		
1200-1259	1	5.56		
1300-1359	1	5.56		
1400-1459	1	5.56		
1500-1559	2	11.11		
1600-1659	3	16.67		
1700-1759	0	0.00		
1800-1859	1	5.56		
1900-1959	1	5.56		
2000-2059	3	16.67		
2100-2159	0	0.00		
2200-2259	0	0.00		
2300-2359	0	0.00		

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North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report

Light and Road Conditions Summary					
Condition	Dry	Wet	Other	Total	
Day	14	0	0	14	
Dark	3	1	0	4	
Other	0	0	0	0	
Total	17	1	0	18	

Object Struck Summary

Object Type	Times Struck	Percent of Total
ANIMAL	3	50.00
MAILBOX	1	16.67
MOVABLE OBJECT	2	33.33

Vehicle Type Summary

Vehicle Type	Number Involved	Percent of Total
LIGHT TRUCK (MINI-VAN, PANEL)	2	7.14
MOTORCYCLE	3	10.71
PASSENGER CAR	12	42.86
PICKUP	5	17.86
SPORT UTILITY	6	21.43

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Yearly Totals Summary

	Accident Totals			
Year	Total Accidents	Fatal Accidents	Injury Accidents	Property Damage Only Accidents
2011	2	0	0	2
2012	5	0	2	3
2013	3	0	1	2
2014	6	0	2	4
2015	2	0	0	2
2016	0	0	0	0
Total	18	0	5	13

Injury Totals

Year	Fatal Injuries	Class A, B, or C Injuries
2011	0	0
2012	0	2
2013	0	1
2014	0	2
2015	0	0
2016	0	0
Total	0	5

Miscellaneous Totals

Year	Р	roperty Damage	EPDO Index
2011	\$	6900	2.00
2012	\$	45700	19.80
2013	\$	14000	10.40
2014	\$	18500	20.80
2015	\$	5040	2.00
2016	\$	0	0.00
Total	\$	90140	55.00

Type of Accident Totals

	Run Off Road &						
Year	Left Turn	Right Turn	Rear End	Fixed Object	Angle	Side Swipe	Other
2011	0	0	1	1	0	0	0
2012	0	1	3	1	0	0	0

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	North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report						
				Run Off Road &			
Year	Left Turn	Right Turn	Rear End	Fixed Object	Angle	Side Swipe	Other
2013	1	0	0	1	0	0	1
2014	1	0	1	0	1	0	3
2015	0	0	0	1	1	0	0
2016	0	0	0	0	0	0	0
Total	2	1	5	4	2	0	4

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Strip Diagram			
Features	Milepost C	Crash IDs	
OSPREY	0.66		
	0.67		
	0.68 1	04118437	
	0.69		
	0.70		
	0.71		
	0.72		
	0.73		
	0.74		
	0.75		
	0.76		
	0.77 0.78		
	0.79		
Structure:660230	0.80		
	0.81		
	0.82		
	0.83		
	0.84		
	0.85		
		03665565 104090062	
	0.87		
	0.88		
	0.89		
	0.90		
	0.91		
	0.92		
	0.93		
	0.94		
	0.95		
	0.96		
	0.97		
	0.98		
	0.99		
	1.00		
	1.01		
	1.02		
	1.04		
	1.04		
	1.06		
	1.07		
	1.08		

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Traffic Engineering Accident Analysis System Strip Analysis Report			
	1.09		
	1.10		
	1.11		
	1.12		
	1.13		
	1.14		
	1.15	103505468	
	1.16		
	1.17		
	1.18		
	1.19		
	1.20		
	1.21		
	1.22		
	1.23		
	1.24		
	1.25		
	1.26		
	1.27		
	1.28 1.29		
	1.29		
	1.30		
	1.31		
	1.32		
	1.33		
	1.34		
	1.36		
	1.37		
	1.38		
	1.39		
	1.40		
	1.41		
	1.42		
	1.43		
	1.44		
	1.45		
	1.46		
	1.47		
	1.48		
	1.49		
ructure:660231	1.50		
	1.51		
	1.52		
	1.53		

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	North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report			
Features		Crash IDs		
	1.54			
	1.55			
	1.56			
	1.57			
	1.58			
	1.59			
	1.60			
	1.61			
	1.62	104055731		
	1.63			
	1.64			
	1.65	104049531 104073387		
	1.66			
	1.67			
	1.68 1.69			
	1.89			
CAPE	1.70			
0.11 2	1.72			
	1.72			
	1.74			
	1.75			
	1.76			
Structure:660232	1.77			
	1.78			
	1.79			
	1.80			
	1.81			
	1.82			
	1.83			
	1.84			
	1.85			
	1.86			
	1.87			
	1.88 1.89			
	1.89			
	1.90			
	1.91			
	1.93			
FISHING PIER		103377236		
	1.95			
		103900846		
	1.97			
Structure:660233	1.98			

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North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report			
Features		Crash IDs	
	1.99		
	2.00		
	2.01		
	2.02		
GOLDSBORO	2.03	103516174	
	2.04		
	2.05		
	2.06		
	2.07		
	2.08		
	2.09		
	2.10		
	2.11		
	2.12		
	2.13		
	2.14		
	2.15		
	2.16		
	2.17		
	2.18		
	2.19		
	2.20		
	2.21		
	2.22		
	2.23		
	2.24		
	2.25		
	2.26		
	2.27		
	2.28		
	2.29		
	2.30		
	2.31		
	2.32		
Structure:660234	2.33		
	2.34		
	2.35		
	2.36		
	2.37		
	2.38		
	2.39		
	2.40		
	2.41		
	2.42		
	2.43		

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	North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report			
Features		Crash IDs		
	2.44			
	2.45			
	2.46			
	2.47			
	2.48			
	2.49			
	2.50			
	2.51			
	2.52			
	2.53			
Structure:660235	2.54			
	2.55			
	2.56			
	2.57			
	2.58			
	2.59			
Structure:660236	2.60			
	2.61			
	2.62	102500501		
	2.63	103500581		
	2.64			
	2.65	104297334		
	2.66	104177078		
	2.67			
Structure:660237	2.68			
	2.69			
	2.70			
	2.71			
	2.72			
	2.73			
	2.74			
	2.75			
	2.76 2.77			
	2.77			
	2.78			
	2.80			
	2.81			
	2.82			
	2.83			
	2.84			
VOLUSIA	2.85			
	2.86			
	2.87			
	2.88			

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	Traffic Engineering Accident Analysis System			
	Strip Analysis Report			
Features	Milepost Crash IDs			
	2.89			
	2.99			
	2.90			
	2.91			
	2.93			
	2.93			
	2.95			
	2.96			
	2.97			
	2.98			
	2.99			
	3.00			
	3.01			
Structure:660240	3.02			
	3.03			
	3.04			
	3.05			
	3.06			
	3.07			
	3.08			
	3.09			
	3.10			
	3.11			
	3.12			
	3.13			
	3.14			
	3.15			
	3.16			
	3.17			
	3.18			
	3.19			
JENKINS	3.20			
	3.21			
	3.22			
	3.23			
	3.24			
	3.25			
	3.26			
	3.27			
	3.28			
	3.29			
	3.30			
	3.31			
	3.32			
Structure:660241	3.33			

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	North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report			
Features		Crash IDs		
	3.34			
	3.35			
	3.36			
	3.37			
	3.38			
	3.39			
	3.40			
	3.41			
	3.42			
	3.43			
	3.44			
	3.45			
	3.46			
	3.47			
	3.48			
	3.49			
BAY	3.50			
	3.51			
	3.52			
	3.53			
	3.54			
	3.55			
	3.56	103212903		
	3.57			
	3.58			
	3.59			
	3.60			
	3.61			
MARINA	3.62			
	3.63			
	3.64			
	3.65			
	3.66			
	3.67			
	3.68			
	3.69			
	3.70			
	3.71			
	3.72			
	3.73			
	3.74			
	3.75			
	3.76			
BARTON BAY	3.77			
	3.78			

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	North Carolina Department of Transportation Traffic Engineering Accident Analysis System	
	Strip Analysis Report	
eatures	Milepost Crash IDs	
	3.79	
	3.80	
	3.81	
	3.82	
	3.83	
	3.84	
	3.85	
	3.86	
	3.87	
	3.88	
	3.89	
	3.90	
	3.91	
	3.92	
	3.93	
	3.94	
	3.95	
	3.96	
	3.97	
	3.98	
	3.99	
	4.00	
	4.01	
	4.02	
	4.03	
	4.04	
	4.05	
	4.06	
	4.07	
	4.08	
	4.09	
	4.10	
	4.11	
	4.12	
	4.13	
	4.14	
	4.15	
	4.16	
	4.17	
	4.18 103190127	
	4.19	
	4.20	
	4.21	
	4.22	
	4.23	
	4.24	

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	North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report			
Features	Milepost Crash IDs			
	4.25			
	4.26			
	4.27			
	4.28			
	4.29			
	4.30			
	4.31			
	4.32			
	4.33			
	4.34			
	4.35			
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	4.39 4.40			
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	4.41			
	4.43			
	4.44 103797457			
	4.45			
	4.46			
	4.47			
BAYVIEW	4.48			
	4.49			
	4.50			
	4.51			
	4.52 103435972			
	4.53			
	4.54			
SANDPIPER	4.55			
	4.56			
	4.57			
	4.58			
	4.59			
	4.60			
GRANT	4.61			
	4.62			
	4.63			
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	4.66			
	4.67			
	4.68			
BOTTLENOSE	4.69			

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Traffic Engineering Accident Analysis System Strip Analysis Report		
	4.70	
	4.71	
	4.72	
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	4.74	
	4.75	
	4.76 4.77	
	4.78	
	4.79	
	4.80	
	4.81	
MARINE SEA GULL	4.82	
	4.83	
	4.84	
	4.85	
	4.86	
	4.87	
	4.88	
	4.89	
	4.90	
	4.91	
	4.92	
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	4.95	
	4.96	
	4.97 4.98	
	4.99	
	5.00	
	5.01	
	5.02	
	5.03	
SEA GULL	5.04 104462939	
	5.05	
	5.06	
	5.07	
	5.08	
	5.09	
	5.10	
COASTAL	5.11	
	5.12	
	5.13	
	5.14	

North Carolina Department of Transportation Traffic Engineering Accident Analysis System

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North Carolina Department of Transportation Traffic Engineering Accident Analysis System Strip Analysis Report		
	5.15	
	5.16	
	5.17	
OYSTER	5.18	
	5.19	
	5.20	
	5.21	
	5.22	
	5.23	
PORT	5.24	
	5.25	
	5.26	
	5.27	
	5.28	
	5.29	
	5.30	
	5.31	
RIVER	5.32	

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