ZONING BOARD OF APPEALS AGENDA

CITY OF NOVI
Regular Meeting
Tuesday, August 11, 2026 7:00 PM
Council Chambers | Novi Civic Center | 45175 Ten Mile
(248) 347-0415

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Zoning Board of Appeal Members Krieger, Longo, Montague, Peddiboyina, Sanghvi, Sanker, Thompson

1. Chairperson Montague, Member Thompson, Member Peddiboyina, Member Longo, Member Krieger, Member Samona, Member Jappaya

PUBLIC HEARING FORMAT AND RULES OF CONDUCT

APPROVAL OF MINUTES

MINUTES - "July / 2026"

APPROVAL OF AGENDA

August 11, 2026 Agenda

PUBLIC REMARKS

PUBLIC HEARINGS

1. PZ26-0028 Scout Motors

2. PZ26-0032 Damas Building

3. PZ26-0033 Linda Laplatt

4. PZ26-0035 Jeff & Loricel Escote

5. PZ26-0036 The Desi District

6. PZ26-0037 Willowbrook Farms

7. PZ26-0038 Ross Dress for Less

OTHER MATTERS

ADJOURNMENT

1 REGULAR MEETING - ZONING BOARD OF APPEALS

2 CITY OF NOVI

3 Tuesday, July 14, 2026

4 Council Chambers/Novi Civic Center

5 41725 Novi Road

6 Novi, Michigan

7

8 BOARD MEMBERS:

9 W. Clift Montague, Chairperson
10 Linda Krieger, Member
Mike Longo, Secretary
11 Michael Thompson, Member
Joe Samona, Member
12 Joe Peddiboyina, Member

13 ABSENT EXCUSED:

14 Marc Jappaya, Member

15 ALSO PRESENT:
16 Joellen Shortley, City Attorney
17 Alan Hall, Deputy Community Development Director
18 Megan Nardone, Recording Secretary

19 REPORTED BY:

20 Melinda R. Womack
Certified Shorthand Reporter
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AGENDA

CHAIRPERSON MONTAGUE: Call to order The Zoning Board of Appeals meeting for Tuesday, July 14th. Pledge of Allegiance, please.

MEMBER LONGO: Please stand if you can.

(Pledge of Allegiance recited)

CHAIRPERSON MONTAGUE: Thank you. Roll call.

MS. NARDONE: Member Thompson?

MEMBER THOMPSON: Here.

MS. NARDONE: Member Peddiboyina?

MEMBER PEDDIBOYINA: Yes, ma'am.

MS. NARDONE: Member Longo?

MEMBER LONGO: Here.

MS. NARDONE: Member Krieger?

MEMBER KRIEGER: Here.

MS. NARDONE: Member Samona?

MEMBER SAMONA: Here.

MS. NARDONE: Chairperson Montague?

CHAIRPERSON MONTAGUE: Here.

MS. NARDONE: Member Jappaya, absent excused. Thank you. We have a quorum.

CHAIRPERSON MONTAGUE: Thank you. Little bit of the format and rules of conduct. I would ask everyone turn off, put your phone on mute, please. There are less than seven members

tonight. I must say on the use variance there needs to be five to pass a resolution. So if someone is worried about that and wants to delay when the whole board is here, just raise your hand. Applicants will be asked to come to the microphone to present their case. They will be allowed up to ten minutes to address the board and present their case. I would ask you to stay at the podium for follow-up questions. Anyone in the audience who wishes to address one of those should raise their hand and be recognized, and they will be given up to three minutes to speak, or ten mint minutes if they're representing a group. That's pretty much the basis of those. Looking for approval of the meeting minutes.

MEMBER SAMONA: I make a motion to approve the meeting minutes from June 2026. However, I would like to add because the meeting minutes were not yet online, the action summary for June 2026 had case PZ26-0011 Henry Ford Health, that was the one with just that one sign, it had that a motion carried five to zero, although it doesn't matter, it was five to one on that one. I was the sole no vote on that one. That's not on the minutes, that's just the action

summary. I know just making that part of the record.

MS. NARDONE: I'll have that changed.

CHAIRPERSON MONTAGUE: Is there a motion to approve the minutes?

MEMBER SAMONA: Yeah. I make a motion to approve the minutes.

MEMBER THOMPSON: Second.

MS. NARDONE: Member Peddiboyina?

MEMBER PEDDIBOYINA: Yes, please.

MS. NARDONE: Member Longo?

MEMBER LONGO: Yes.

MS. NARDONE: Member Krieger?

MEMBER KRIEGER: Yes.

MS. NARDONE: Member Samona?

MEMBER SAMONA: Yes.

MS. NARDONE: Chairperson Montague?

CHAIRPERSON MONTAGUE: Yes.

MS. NARDONE: Member Thompson?

MEMBER THOMPSON: Yes.

MS. NARDONE: Thank you. Motion carries.

CHAIRPERSON MONTAGUE: Are there any proposed changes to the agenda tonight?

MR. HALL: No changes or additions.

1 MEMBER SAMONA: Motion to approve the
2 agenda.
3 MEMBER PEDDIBOYINA: I second.
4 MS. NARDONE: Member Long?
5 MEMBER LONGO: Yes.
6 MS. NARDONE: Member Krieger?
7 MEMBER KRIEGER: Yes.
8 MS. NARDONE: Member Samona?
9 MEMBER SAMONA: Yes.
10 MS. NARDONE: Chairperson Montague?
11 CHAIRPERSON MONTAGUE: Yes.
12 MEMBER THOMPSON: Yes.
13 MS. NARDONE: Member Peddiboyina?
14 MEMBER PEDDIBOYINA: Yes, please.
15 MS. NARDONE: Thank you. Motion
16 carries.
17 CHAIRPERSON MONTAGUE: Thank you. This
18 is the time of the meeting where we will entertain
19 any public remarks. This is remarks not related
20 to any case, just general comments that anyone
21 would like to make. Either of you would like to
22 make a comment?
23 MEMBER LONGO: It's hot.
24 CHAIRPERSON MONTAGUE: All right. That
25 being said. We will get on with the cases for the

night. The first case PZ26-0025 (Forma Beauty Salon). The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.1.25.D of a parking deficiency in the north side yard setback (20 feet required, 3 feet proposed) and a west rear yard setback (10 feet required, 3 feet proposed).; and Section 4.19.2.F for the location of a dumpster enclosure in the parking lot setback (10 feet required, 0 feet proposed). The property is zoned Town Center (TC). The applicant here to present? Please come to the podium. State and spell your name if you would.

MR. ORMAN: I'm not the applicant, but representing them. My name is Alex Orman. I'm the engineer for the project.

MEMBER SAMONA: I want to make a disclosure real quick. I didn't even recognize him, but I do know Mr. Orman. I've spoken to Alex Orman many times about other not related to this, related to family's property. I don't have a financial benefit to it. I didn't even recognize him, but it's nice to finally meet him.

CHAIRPERSON MONTAGUE: Noted.

MR. ORMAN: The applicant, he's out of the country for a couple of months.

MEMBER LONGO: Excuse me, Alex, are you an attorney?

MR. ORMAN: I'm sorry?

MEMBER LONGO: Are you an attorney?

MR. ORMAN: No, I'm an engineer.

MEMBER LONGO: Oh, even better. Do you promise to tell the truth in this case?

MR. ORMAN: Only truth.

CHAIRPERSON MONTAGUE: How can we help you tonight?

MR. ORMAN: I'm trying to represent my client, so who owns the salon.

CHAIRPERSON MONTAGUE: Do you have any visuals you can put on the screen for us?

MR. ORMAN: I was hoping that you guys -- I'm sorry. I was hoping that you're going to have drawings of it, but...

CHAIRPERSON MONTAGUE: We can try to help.

MEMBER LONGO: Megan can help you.

MR. HALL: Megan's coming.

MR. ORMAN: So the existing site, it's an existing site for the existing salon building and 14 parking spaces. So what's happened is the per code of Michigan codes, so the salons have to

have additional parking spaces based on the number of chairs of the salon, and that's what my client has applied for. And this is barely minimum spaces what it needs to be based on the licensing of the number of chairs. And because of the very teeny side and really hard to accommodate all these items number of parking spaces. And that's a part of the issue and part of the applying for ZBA, those items which is used.

We have site plan approval for the project, actually subject to the ZBA approval, all engineering plans are done, waiting for ZBA approval in order to submit for final.

CHAIRPERSON MONTAGUE: I assume the tightness of the site is the same reason for the dumpster enclosure.

MR. ORMAN: Correct. That's a part of it. You can see that background of the site, because in the existing dumpster location where the proposed parking, those two spots. So we're going to remove that and move the dumpster to the back. It's some kind of a site with the surrounding parking spaces, parking lots of adjacent properties, and I don't see any issues to myself, any issues to have the location of the

dumpster in that area.

CHAIRPERSON MONTAGUE: All right. Anything else to add?

MR. ORMAN: I guess if you have any questions, we'll be happy to answer.

CHAIRPERSON MONTAGUE: All right. City?

MR. HALL: Thank you, Mr. Chairman. Yes. They're asking for three dimensional variances tonight. I would like to correct the record just on the request. Based on the drawing you have on the screen there that was submitted, the three requests are as follows: The one is to allow a 17.07 parking side yard variance, 20 foot required, 2.93 setback will remain. So it was three foot. This is just per their plans so it's more precise. But it is more than three feet, so I've got to mention it. Does that makes sense?

Number two would be to allow a 6.64 parking rear yard variance, ten feet required, 3.36 setback to remain, and then to allow a zero lot line side yard variance for the dumpster enclosure, zero to remain ten foot required. And with that, we have no further questions. Thank you, sir.

1 CHAIRPERSON MONTAGUE: Correspondence?
2 MEMBER LONGO: Yes. We mailed out 32
3 notices, three were returned. There no objections
4 and no approvals.
5 CHAIRPERSON MONTAGUE: Thank you.
6 Audience, comments on this? I will open it up to
7 the board. Questions and comments?
8 MEMBER SAMONA: I drove this site. I'm
9 familiar with this site. Furthermore, I am
10 familiar with Mr. Orman's work and how meticulous
11 and detailed it is. I have no doubt in my mind
12 that anything he puts his name to he's tried to
13 explore every avenue, for whatever that's worth.
14 So I have no problems supporting this.
15 MEMBER PEDDIBOYINA: Yeah, same thing.
16 I drove the property a few days back and it's
17 meticulous and I'm okay with that. Thank you.
18 MEMBER SAMONA: You got off easy.
19 Usually I have questions.
20 CHAIRPERSON MONTAGUE: We will vouch
21 for that.
22 MR. ORMAN: I appreciate that.
23 CHAIRPERSON MONTAGUE: Any others? I
24 can entertain a motion.
25 MEMBER THOMPSON: I can do that for

you. I move that we grant the variance in Case PZ26-0025 sought by Forma Beauty Salon for setbacks because the petitioner has shown practical difficulty requiring a variance for parking and dumpster setbacks. Without the variance, the petitioner would be unreasonably prevented or limited with respect to the use of the property because it is boxed in by the neighbors. The property is unique because it is a standalone site. The petitioner did not create the condition because he cannot get more space on either side of him. The relief granted will not unreasonably interfere with adjacent or surrounding properties because it fits in with similar businesses in the area. The relief is consistent with the spirit and the intent of the ordinance. Again, it just fits in with the surrounding businesses.

MEMBER SAMONA: Second.

MS. NARDONE: Member Krieger.

MEMBER KRIEGER: Yes.

MS. NARDONE: Member Samona?

MEMBER SAMONA: Yes.

MS. NARDONE: Chairperson Montague?

CHAIRPERSON MONTAGUE: Yes.

MS. NARDONE: Member Thompson?
MEMBER THOMPSON: Yes.
MS. NARDONE: Member Peddiboyina?
MEMBER PEDDIBOYINA: Yes, please.
MS. NARDONE: Member Longo?
MEMBER LONGO: Yes.
MS. NARDONE: Thank you. Motion carries.
MR. ORMAN: Thank you very much.
MEMBER PEDDIBOYINA: Congratulations.
CHAIRPERSON MONTAGUE: All right. Second case of the night PZ26-0026 (The Antiques Barn). The applicant is requesting a variance from the City of Novi Zoning Ordinance to permit a commercial antique retail use within an existing barn on a property zoned Residential Acreage (R-A). This property is zoned Residential Acreage (R-A). Are you here to present the case?
MR. LANDRY: Good evening, members of the Zoning Board of Appeals. My name is David Landry.
MEMBER LONGO: David, are you an attorney?
MR. LANDRY: Yes, I am.
MEMBER LONGO: Do you promise to tell

1 the truth in this case?
2 MR. LANDRY: Absolutely.
3 MEMBER KRIEGER: He's our mayor.
4 CHAIRPERSON MONTAGUE: Before you
5 start, I just want to say that use variance
6 requires a much more ardent proof. It requires
7 five votes yes no matter how many are here. There
8 are only six. So if you think you want to delay
9 it until we have seven, you have the right to do
10 that.
11 MR. LANDRY: Thank you very much, but
12 in light of the fact that we're asking for a
13 transfer of a use variance that's already been
14 granted, I believe the requirements have already
15 been established. But thank you. I'm prepared to
16 make a presentation. Thank you for that. We're
17 prepared to move forward.
18 CHAIRPERSON MONTAGUE: All right. How
19 can we help you?
20 MR. LANDRY: Again, my name is David
21 Landry. I am an attorney, and I do swear to tell
22 the truth. I represent Mr. Denny and Lisa
23 Pejanovic, who are purchasing the property at
24 48120 Eight Mile Road. We are requesting a
25 transfer of a previously granted use variance

1 which currently is held by Doug and Barbara
2 Teubert. They're transferring the property to Mr.
3 and Mrs. Pejanovic. The property is two acres.
4 It is historically part of the Maybury Farm. This
5 was where the farmhouse and the barn was
6 originally located. The barn in question was
7 built around 1900. It's zoned RA currently.
8 However, the barn has been used for the last 32
9 years to sell antiques. In 1994 ZBA case number
10 94005, a use variance was granted to commercial
11 use to sell antiques in a residential zone. The
12 use variance was granted. The criteria was found
13 to be compliant and it was granted to Mr. Russell
14 Elvy, who began selling antiques out of the barn.
15 In 1998, Mr. Elvy sold the property to the current
16 owners, Mr. and Mrs. Teubert, and the use variance
17 was granted to the Teuberts. The Teuberts are now
18 selling the property to the Pejanovics, who wish
19 to continue to operate the business that's been
20 operated here for 32 years.
21 Now I want to make it perfectly clear
22 that no changes are anticipated. Zero. We're not
23 going to expand use. We're not going to sell
24 anything that hasn't been sold for 32 years. I
25 recently submitted a narrative. I included part

of the website, which shows the items which are being sold. That's exactly what we intend on doing.

In 2023, the Pejanovics appeared before you and some members were here at that time. And at that time their thought process was well, why is it tied to an individual. Why can't it just run with the land. And correctly this board went, wait a minute, it's a use variances. The use is generally not allowed in an RA. The city needs to know exactly who's operating this business and we need to know what's going on. That's all changed. They came before you back then and they were anticipating a deal with a company called Living & Learning who had a very admirable purpose. They wanted to take people, you know, some young adults who had some issues and get them some experience with, you know, with selling and changing money. We're not associated with them. That's not happening. The Pejanovics would run this personally. And the barn, by the way, is looking pretty good. Here's a photograph, one photograph of it. And here's another photograph of how it looks when you enter off of Eight Mile Road. It's not garish. There's not some big, loud commercial

1 use. You walk in through the back and there's
2 antique items sold.
3 So we're simply requesting a transfer
4 of the variance to the Pejanovics personally.
5 They totally understand. They sell the property,
6 variance does not go with property so that the
7 city can keep track of it. And as I've indicated,
8 it's already been determined what the use variance
9 criteria are. It's been determined for the last
10 32 years that those have been satisfied. I can
11 run through them if you'd like, otherwise I'm
12 happy to rest on the past 32 years. I'm happy to
13 answer any questions.
14 CHAIRPERSON MONTAGUE: All right.
15 Thank you. City?
16 MR. HALL: Thank you, Mr. Chairman.
17 Yes, that's correct. So they did modify the
18 original request, and just to clarify, they do not
19 want to remove the homeowner stipulation from the
20 request. They want to keep it as transfer and not
21 a change of any kind of arrangement beforehand. I
22 do have a question for you, sir. There won't be
23 any different uses in the barn besides selling
24 antiques?
25 MR. LANDRY: That's absolutely correct.

MR. HALL: So they won't be running a Living & Learning aspect with it?

MR. LANDRY: They will not.

MR. HALL: Will they ever handle like weddings?

MR. LANDRY: No. This is not an event barn. No. This is merely selling antiques. It's not an event. I'm very familiar with event barns. No. If you've ever been in there, there's no way you could hold a wedding. There's antiques and small aisles and little musty smell.

MR. HALL: They won't have any auto, like you no shows or that kind of stuff.

MR. LANDRY: No. Absolutely not. We're not expanding the use at all.

MR. HALL: Thank you. I just wanted to clarify those issues. No further questions. Thank you.

CHAIRPERSON MONTAGUE: Correspondence?

MEMBER LONGO: Yes. We mailed out 14 notices, none were returned. No objections, no approvals.

CHAIRPERSON MONTAGUE: Okay. Since there's nobody in the audience, nobody to speak up to it so I will open it up to the board. Yes,

1 Joe.
2 MEMBER PEDDIBOYINA: Okay. Thank you
3 so much, David. City also mentioned the things
4 what you mentioned that no show and no marriages,
5 nothing except antique place. Yeah, I was there
6 in 2023 on the Zoning Board also as you mentioned
7 that variance thing. And I have no objection. I
8 went to this property in 2023, not this year, not
9 this case, okay? And I have no objection for the
10 transfer, but clearly on that I am okay with that.
11 Thank you.
12 CHAIRPERSON MONTAGUE: Joe?
13 MEMBER SAMONA: I like what's been done
14 to the property. I think when Alan was asking the
15 question about events, what I'm going to correlate
16 it to, if you're familiar with it is like Imagine
17 Peace Park in Northville. I don't know if you're
18 familiar with it. It looks like a barn. They
19 have outdoor events, stuff like that, but you
20 answered the question about just the antiques. I
21 didn't know about this until this came before us,
22 and I love the business idea because my family has
23 places up in Houghton Lake, and the cabin that I
24 stay in there, I went and got like a little wood
25 thing made, engraved that said Realtor Joe

1 Samona's living quarters or something. So I like
2 the business idea. I have no objection. And
3 under advice of my counsel, I rest.
4 MEMBER LONGO: I've been in that store,
5 and I can't -- I don't think there's an aisle wide
6 enough to get two people to go down the aisle. I
7 don't think he could do that if he wanted to.
8 It's very nice. It's a very nice facility.
9 MEMBER PEDDIBOYINA: And I want to add
10 one more thing. In this Novi City we don't want
11 to lose this property. Since 1900 the barn was
12 there and everything for the future generations
13 also to see that. Thank you.
14 CHAIRPERSON MONTAGUE: So I have a
15 question for the city attorney there. The motion,
16 can it just be to renew? It doesn't have to be --
17 you don't have to speak to the four points since
18 the four points have been determined in the past?
19 We can just say motion to continue and transfer.
20 MS. SHORTLEY: Yes, if you choose to
21 transfer the variance. It's not the run of the
22 land situation that it was the previously
23 requested that they wanted it to be for anybody
24 who owned the property. He's clarifying it's just
25 for these new owners, and we've previously allowed

a transfer to new owners from the original who had it in the first place.

CHAIRPERSON MONTAGUE: Okay. All right. Any other questions?

MEMBER KRIEGER: So I don't have to worry about A, B, C, D.

CHAIRPERSON MONTAGUE: Don't worry about that. Just talking about allowing the transfer. Now, does it still take the five votes, because it's not truly a use variance now, it's a transfer?

MS. SHORTLEY: It's still a use so I think it would probably be safest if that's -- yeah. Right.

CHAIRPERSON MONTAGUE: Okay. Just trying to get my footing.

MEMBER KRIEGER: I move that we grant the use variance of Case No. PZ26-0026 sought by The Antiques Barn for the Pejanovics for the transfer of the previously given variance to allow the petitioner to use the property for this continued request variance as petitioned. And given the history, and I have been to the barn myself, and there's cool maps from Novi and Northville. And from 1994 to currently, it's been

used as an antique barn and had transferred ownership. So to once again do the transfer of ownership to continue as functioning.

MEMBER LONGO: I second that.

MEMBER KRIEGER: Thank you.

MS. NARDONE: Member Samona?

MEMBER SAMONA: Yes.

MS. NARDONE: Chairperson Montague?

CHAIRPERSON MONTAGUE: Yes.

MS. NARDONE: Member Thompson?

MEMBER THOMPSON: Yes.

MS. NARDONE: Member Peddiboyina?

MEMBER PEDDIBOYINA: Yes.

MS. NARDONE: Member Longo?

MEMBER LONGO: Yes.

MS. NARDONE: Member Krieger?

MEMBER KRIEGER: Yes.

MS. NARDONE: Thank you. Motion carries.

MR. LANDRY: Thank you so much. We're preserving a piece of Novi.

CHAIRPERSON MONTAGUE: Thanks for presenting it so clearly. That helped a lot. Thank you.

MEMBER SAMONA: May I add one thing to

1 this motion to adjourn?
2 CHAIRPERSON MONTAGUE: You're going to
3 add to the motion to adjourn?
4 MEMBER SAMONA: No. I just wanted to
5 add that to what you said.
6 MR. LANDRY: I second that.
7 MEMBER SAMONA: Motion carries.
8 MR. HALL: Thank you.
9 CHAIRPERSON MONTAGUE: Is there
10 anything before we address his motion to adjourn?
11 All in favor aye?
12 THE BOARD: Aye.
13 CHAIRPERSON MONTAGUE: Anybody opposed?
14 Tally-ho. Good job. Thank you all.
15 (The meeting was adjourned at 7:24 p.m.)
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1 CERTIFICATE OF NOTARY
2
3 STATE OF MICHIGAN)
4) SS
5 COUNTY OF OAKLAND)
6
7 I, Melinda R. Womack, Certified
8 Shorthand Reporter, a Notary Public in and for the
9 above county and state, do hereby certify that the
10 above deposition was taken before me at the time
11 and place hereinbefore set forth; that the witness
12 was by me first duly sworn to testify to the
13 truth, and nothing but the truth, that the
14 foregoing questions asked and answers made by the
15 witness were duly recorded by me stenographically
16 and reduced to computer transcription; that this
17 is a true, full and correct transcript of my
18 stenographic notes so taken; and that I am not
19 related to, nor of counsel to either party nor
20 interested in the event of this cause.
21
22 Melinda R. Womack
23 Melinda R. Womack, CSR-3611
24 Notary Public, Jackson County
25 My Commission expires: 06-22-2032

W

Y

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ZONING BOARD OF APPEALS AGENDA

CITY OF NOVI
Regular Meeting
Tuesday August 11th, 2026 7:00 PM
Council Chambers | Novi Civic Center | 45175 Ten Mile

CALL TO ORDER
PLEDGE OF ALLEGIANCE
ROLL CALL
PUBLIC HEARING FORMAT AND RULES OF CONDUCT
APPROVAL OF MINUTES – JULY 2026
APPROVAL OF AGENDA
PUBLIC REMARKS
PUBLIC HEARINGS

PZ26-0028 (Scout Motors) 29293 Haggerty Road, west of Haggerty Road, south of Thirteen Mile Road, Parcel 50-22-12-200-061. The applicant is seeking a variance from the City of Novi Zoning Ordinance Section 5.11.2. B. to permit a 12 ft. high fence (8 ft. maximum allowed, variance of 4 ft.). This property is zoned Office Service Technology (OST). Details.

PZ26-0032 (Damas Building) 44725 Grand River Avenue, east of Taft Road, south of Grand River Avenue, Parcels 50-22-15-376-012 and 50-22-15-376-016. The applicant is seeking variances from the City of Novi Zoning Ordinance Section 5.2.12.D to allow a reduction in parking to 86 spaces (108 spaces required, variance of 22 spaces); and from Section 3.1.18.D to allow a reduced parking setback of 6.2 ft. along the west property line (10 ft. required, variance of 3.8 ft.). This property is zoned Light Industrial (I-1). Details.

PZ26-0033 (Linda Laplatt) 1701 East Lake Drive, north of Thirteen Mile Road, west of Novi Road, Parcel 50-22-02-357-017. The applicant is seeking a variance from Section 4.19.2.A of the City of Novi Zoning Ordinance to permit the placement of a generator in the front yard setback, where accessory structures are required to be in the rear yard. This property is zoned One Family Residential (R-4). Details.

PZ26-0035 (Jeff & Loricel Escote) 50905 Nine Mile Road, north of Eight Mile Road, east of Napier Road Parcel 50-22-31-100-009. The applicant is requesting variances from City of Novi Zoning Ordinance Section 4.19.1.E.iii to permit an aggregate accessory structure area of 3,965 sq. ft. (1,500 sq. ft. maximum allowed, variance of 2,465 sq. ft). This property is zoned Residential Acreage (RA). Details.

PZ26-0036 (Desi District) 42875 Grand River Avenue, south of Grand River Avenue, east of Novi Road, Parcel 50-22-23-176-011. The applicant is requesting a variance from City of Novi Sign Ordinance Section 28-5(a)Chart to permit one additional wall sign. (1 sign maximum allowed, variance of 1 sign). This property is zoned Town Center-1 (TC-1). Details.

PZ26-0037 (Willowbrook Farms) north of Ten Mile Road, along the east side of Bethany Way, Parcel 50-22-24-377-026. The applicant is requesting variances from City of Novi Sign Ordinance Section 28-5(a)Chart to allow construction of 6ft. in height residential entrance way signs (5 ft. maximum allowed, variance of 1 ft.); and Section 28-5(d)(11) to allow an additional residential entrance way sign at vehicular entrance (1 sign permitted, variance of 1 sign). This property is zoned One-Family Residential (R-4). Details.

PZ26-0038 (Ross Dress for Less) 43570 West Oaks Drive, north of Twelve Mile Road, west of Novi Road, Parcel 50-22-15-200-113. The applicant is requesting a variance from the City of Novi Sign Ordinance Section 28-5(b)(1) b. to allow a 258 sq. ft. illuminated wall sign (181.5 sq. ft. permitted by code, variance of 76.5 sq. ft.) This property is zoned Regional Center (RC). Details.

OTHER MATTERS
ADJOURNMENT

COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETINGDATE:** August 11, 2026

REGARDING: **29293 Haggerty Road #50-22-12-200-061 (PZ26-0028)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Scout Motors

Variance Type
Dimensional Variance

Property Characteristics

Zoning District:	this property is zoned Office Service Technology (OST)
Location:	west of Haggerty Road, south of Thirteen Mile Road
Parcel #:	50-22-12-200-061

Request
The applicant is seeking a variance from the City of Novi Zoning Ordinance Section 5.11.2. B. to permit a 12 ft. high fence (8 ft. maximum allowed, variance of 4 ft.).

II. STAFF COMMENTS:

The applicant is seeking a 4-foot height variance to allow an overall 12-foot-high fence.

(The ordinance permits non-residential fences to be 8-foot high with a maximum of 11-feet high)

The adjacent grade of the neighboring property is of a higher elevation and could propose security issues with a normally permitted fence.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ26-0028**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____ _____ _____.

   (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____ _____ _____.

   (b) The property is unique because_____ _____ _____.

   (c) Petitioner did not create the condition because_____ _____ _____.

   (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____ _____ _____.

   (e) The relief if consistent with the spirit and intent of the ordinance because _____ _____.

   (f) The variance granted is subject to:

      1. _____.
      2. _____.
      3. _____.
      4. _____.

2. I move that we ***deny*** the variance in Case No. **PZ26-0028** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring_____ _____ _____.

   (a) The circumstances and features of the property including _____ _____ are not unique because they exist generally throughout the City.

   (b) The circumstances and features of the property relating to the variance request are self-created because _____ _____ _____.

   (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____ _____ _____.

   (d) The variance would result in interference with the adjacent and surrounding properties by _____ _____ _____.

   (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____ _____ _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

RECEIVED
JUN 16 2026
CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $330.00
Meeting Date: 8/11/26
ZBA Case #: PZ 26-0028

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: Scout Motors - Temporary Fence Enclosure

ADDRESS: 29293 Haggerty Road | LOT/SIUTE/SPACE #:

SIDWELL #: 50-22-12 -200 -061 | May be obtain from Assessing Department (248) 347-0485

CROSS ROADS OF PROPERTY: W 13 Mile Road and Haggerty Road

IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☐ YES ☑ NO

REQUEST IS FOR: ☐ RESIDENTIAL ☑ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE

DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☑ NO

II. APPLICANT INFORMATION

A. APPLICANT

EMAIL ADDRESS		CELL PHONE NO.	
NAME: James Calzini		TELEPHONE NO.	
ORGANIZATION/COMPANY: Scout Motors Inc.		FAX NO.	
ADDRESS: 1775 Tyson's Blvd	CITY: McLean	STATE: VA	ZIP CODE: 22102

B. PROPERTY OWNER ☑ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property:	EMAIL ADDRESS	CELL PHONE NO.	
NAME		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS	CITY	STATE	ZIP CODE

III. ZONING INFORMATION

A. ZONING DISTRICT

☐ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ RM-1 ☐ RM-2 ☐ MH
☐ I-1 ☐ I-2 ☐ RC ☐ TC ☐ TC-1 ☑ OTHER OST - Office Service Technology

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 5.11 ¶ 2.B. Variance requested Fencing Max. Height increase to 12-feet
2. Section _____ Variance requested _____
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☐ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☐ Single Family Residential (New) $275
☑ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☐ Signs $330 ☐ (With Violation) $440
☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☑ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Bryan Jozefko

Applicant Signature

6-16-26

Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

6-16-26

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS
DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

☐ Not Applicable ☑ Applicable If applicable, describe below:

The subject property is affected by a unique physical condition not generally present in the surrounding area, specifically the elevation difference between the property and the adjacent parcel, which sits at a higher grade. This topographic condition reduces the effective height and functionality of structures located on the subject property, including fencing. As a result, a fence constructed in compliance with the 8-foot height limitation does not provide equivalent screening or security when

and/or

c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

☑ Not Applicable ☐ Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The practical difficulty arises from the existing elevation difference between the subject property and the adjacent property, which sits at a higher grade. This condition reduces the effective height and functionality of an 8-foot fence, as it appears significantly lower from the neighboring property. This grade disparity is an existing site condition not created by the current or previous property owners. As a result, the standard fence height does not provide adequate screening or security.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Strict compliance with the 8-foot fence height limitation would unreasonably prevent the property owner from effectively using the property for its permitted purpose. Due to the elevation difference with the adjacent property, an 8-foot fence is effectively reduced in height when viewed from the higher grade, limiting its ability to provide adequate screening and security. This condition hinders the owner's ability to safeguard proprietary materials and information associated with the permitted use.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The requested variance represents the minimum necessary to reasonably address the practical difficulty. Due to the elevation difference with the adjacent property, an 8-foot fence is insufficient to provide effective screening and security, particularly for the protection of proprietary materials and information. The requested 12-foot height is specifically intended to offset this grade disparity and restore the functional effectiveness of the fence.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The requested variance will not create an adverse impact on surrounding properties, property values, or the use and enjoyment of the neighborhood. The temporary fence enclosure was intentionally dimensioned to be as efficient and compact as possible, with minimal impacts to site flow and is located immediately adjacent to the building to minimize presence from adjacent properties and public streets, while better controlling access and security.

SCOUT MOTORS INNOVATION CENTER

TEMPORARY FENCE ENCLOSURE

29293 HAGGERTY ROAD
CITY OF NOVI, OAKLAND COUNTY

ZONING BOARD OF APPEALS SUBMITTAL

JUNE 9, 2026

INDEX OF DRAWINGS

VICINITY MAP

APPLICANT/DEVELOPER:
SCOUT MOTORS | 29293 NOVI, LLC
CONTACT: JAMES CALZINI
MANAGER, FACILITIES & CONSTRUCTION
PHONE: (571) 618-8601
EMAIL: james.calzini@scoutmotors.com

CIVIL ENGINEER
DLR GROUP, INC.
CONTACT: LANA J. BAYLESS, PE
6457 FRANCES STREET, SUITE 200
OMAHA, NE 68106
PHONE: (402) 393-4100
EMAIL: lbayless@dlrgroup.com

SURVEYOR:
ALPINE ENGINEERING, INC.
48492 WEST ROAD, SUITE 109
NOVI, MI 48377
PHONE: 248.928.3701

PARCEL DESCRIPTION:

PART OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 12; THENCE DUE SOUTH 771.49 FEET; THENCE SOUTH 88 DEGREES 05 MINUTES 18 SECONDS WEST (RECORD SOUTH 88 DEGREES 03 MINUTES WEST) 60.03 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 88 DEGREES 05 MINUTES 18 SECONDS WEST 1315.57 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 42 SECONDS WEST (RECORD NORTH 00 DEGREES 06 MINUTES 00 SECONDS WEST 91.58 FEET; THENCE NORTH 55 DEGREES 24 MINUTES 40 SECONDS EAST (RECORD NORTH 55 DEGREES 22 MINUTES 22 SECONDS EAST) 36.22 FEET; THENCE NORTHEASTERLY ALONG A TANGENT CURVE, CONCAVE TO THE NORTHWEST, HAVING A CENTRAL ANGLE OF 27 DEGREES 29 MINUTES 48 SECONDS, A RADIUS OF 635.00 FEET, AN ARC LENGTH OF 304.74 FEET AND WHOSE CHORD BEARS NORTH 41 DEGREES 39 MINUTES 46 SECONDS EAST, 301.82 FEET TO THE SOUTH LINE OF GARVEY'S ACRES SUB., AS RECORDED IN LIBER 84 OF PLATS, PAGE 3, OAKLAND COUNTY RECORDS; THENCE NORTH 88 DEGREES 05 MINUTES 18 SECONDS EAST (RECORD NORTH 88 DEGREES 03 MINUTES EAST) 1085.09 FEET ALONG THE SOUTH LINE OF SAID GARVEY'S ACRES SUB.; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 329.94 FEET TO THE POINT OF BEGINNING, CONTAINING 9.22 ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL ID: 50-22-12-200-061

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

CITY OF NOVI PROJECT #xxx26-xx

A B C D E

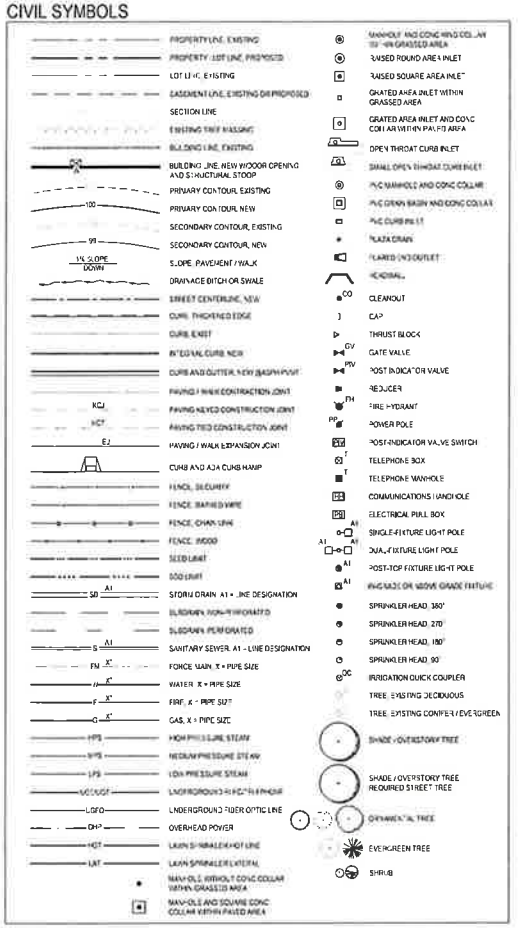
GENERAL ABBREVIATIONS

#	NUMBER
&	AND
@	AT
ADA	AMERICANS WITH DISABILITY ACT
ADDN	ADDITION OR ADDITIONAL
ADJT	ADJACENT
ADMIN	ADMINISTRATION
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AHJ	AUTHORITY HAVING JURISDICTION
ALT	ALTERNATE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
BLDG	BUILDING
BSMT	BASEMENT
BTWN	BETWEEN
CL	CENTERLINE
CLG	CEILING
CM	CENTIMETER
CONS	CONSERVATION
CONC	CONCRETE
CONFIG	CONFIGURATION
CONN(S)	CONNECTION(S)
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR(S)
CTR	CENTER
D	DEPTH
DEG	DEGREE
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DIV	SPECIFICATION DIVISION
DN	DOWN
DTL	DETAIL
DWG(S)	DRAWING(S)
E	EAST
EA	EACH
EC	ELECTRICAL CONTRACTOR
EL	ELEVATION
ELEC	ELECTRICAL
ENG	ENGINEER
EQ	EQUAL
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
EXIST	EXISTING
EXT	EXTERIOR
FIN	FINISH
FL	FLOOR
FT	FEET (FOOT)
FUT	FUTURE
GC	GENERAL CONTRACTOR
GOVT	GOVERNMENT
H	HEIGHT
HORIZ	HORIZONTAL
HT	HEIGHT
IE	THAT IS
IBC	INTERNATIONAL BUILDING CODE
IN	INCH
INT	INTERIOR
LB(S)	POUND(S)
M	THOUSAND
M	METER
MAX	MAXIMUM
MC	MECHANICAL CONTRACTOR
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MM	MILLIMETER
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
OVHD	OVERHEAD
PAR	PARALLEL
PENT	PENTHOUSE
PERP	PERPENDICULAR
PH	PHASE
PLYWD	PLYWOOD
QTY	QUANTITY
REQ(D)	REQUIRE(D)
REV	REVISIONS
RM	ROOM
RAD	ROUND
S	SOUTH
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION(S)
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SYM	SYMMETRICAL
TEMP	TEMPORARY
TYP	TYPICAL
UBC	UNIFORM BUILDING CODE
UNEX	UNEXCAVATED
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
W	WEST
W	WIDE (WIDTH)
W/	WITH
W/O	WITHOUT

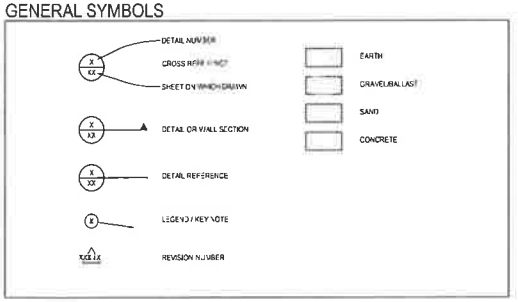
CIVIL ABBREVIATIONS

AB	ANCHOR BOLT
ABC	AGGREGATE BASE COURSE
AC	ACRES
AI	AREA INLET
ALUM	ALUMINUM
ANCH	ANCHOR
ASPH	ASPHALT
AWG	AMERICAN WIRE GAUGE
BLK	BLOCK
BOP	BOTTOM OF PIPING
C	CONDUIT
C	PAVING TOP OF CURB ELEVATION
CB	CATCH BASIN
CE	COVER ELEVATION
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CI	CUBIC INCH
CIP	CAST IRON PIPE
CIP	CAST IN PLACE
CIR	CIRCLE
CJ	CONTROL JOINT
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
COL	COLUMN
COMM	COMMUNICATIONS
CS	COMBINATION SEWER
CSTJ	CONSTRUCTION JOINT
CT	COOLING TOWER
CU	CUBIC
CWR	CHILLED WATER RETURN
CWS	CHILLED WATER SUPPLY
CY	CUBIC YARD
DBL	DOUBLE
DEPR	DEPRESSION(ED)
DET	DETENTION
DI	DUCTILE IRON
DIAG	DIAGONAL
DN	DOWN SPOUT NOZZLE
DR	DRAIN
DS	DOWN SPOUT
EJ	EXPANSION JOINT
ES	EXTRA STRONG
EST	ESTIMATE
EW	EACH WAY
EXC	EXCAVATE
EXP	EXPANSION
EXP	EXPOSED
F	FAHRENHEIT
F	FIRE LINE
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FIG	FIGURE
FIX	FIXTURE
FLEX	FLEXIBLE
FM	FIRE MAIN
FO	FACE OF
FOW	FACE OF WALL
FTG	FOOTING
G	NATURAL GAS
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED
GCO	GRADE CLEAN OUT
GEN	GENERATOR
GFA	GROSS FLOOR AREA
GND	GROUND
GND	EQUIPMENT GROUNDING CONDUCTOR
GPM	GALLONS PER MINUTE
GR	GUARD RAIL
GR	GRADE
GV	GATE VALVES
GW	GREASE WASTE
HDR	HEADER
HDR LINE	LAWN IRRIGATION MAIN
HR	HANDRAIL
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IF	INSIDE FACE
IRM	LAWN IRRIGATION LATERAL
JB	JUNCTION BOX
JCT	JUNCTION
JI	JOINT
NCJ	NEXED CONSTRUCTION JOINT
KCT	NEXED AND TIED CONSTRUCTION JOINT
LF	LINEAR FOOT (FEET)
LOC	LOCATION
LONG	LONGITUDINAL
LS	LAWN SPRINKLER
LT	LIGHT
MAINT	MAINTENANCE
MAS	MASONRY
MATL	MATERIAL
MH	MANHOLE
MTD	MOUNTED
MTL	METAL
NO	NUMBER
NOM	NOMINAL
OA	OVERALL
OD	OUTSIDE DIAMETER
OD	OVERFLOW DRAIN
OHP	OVERHEAD POWER
OHT	OVERHEAD TELEPHONE
OSD	OVERFLOW STORM DRAIN
P	POLE(S)
P	PAVING, TOP OF ELEVATION
PC	POINT OF CURVATURE
PERF	PERFORATED
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
PL	PLATE
PNL	PANEL
POC	POINT OF CONNECTION
PR	PAIR
PSD	PERFORATED SUBDRAIN LINE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT (OF TANGENCY)
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
PWR	POWER
R	RISER
R	RADIUS
RAD	RADIUS
RD	ROOF DRAIN
REF	REFERENCE
RET	RETAINING (WALL)
S	SANITARY SEWER
SD	STORM DRAIN / SEWER
SF	SQUARE FOOT
SIMT	SEALANT
SPK	SPRINKLER
SPL	SPECIAL
SPL BLK	SPLASH BLOCK
SQ	SQUARE
SST	STAINLESS STEEL
ST	STAIR
SUBD	SUBDRAIN
SURF	SURFACE
SW	SWITCH
T	TREAD
T & B	TOP & BOTTOM
TAN	TANGENT
TB	THRUST BLOCK
TD	TRENCH DRAIN
TEL	TELEPHONE
TEMP	TEMPERATURE
TEMP	TEMPERED
TEXT	TEXTURED
THK	THICKNESS
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TRANS	TRANSVERSE
TV	TELEVISION
TW	TOP OF WALL
UG	UNDERGROUND
UGC	UNDERGROUND COMMUNICATION
UGE	UNDERGROUND ELECTRICAL
UTIL	UTILITY
VOL	VOLUME
W	WATER SERVICE
WH	WALL HYDRANT
WP	WORKING POINT
WR	WASTE RECEPTACLE
WWF	WELDED WIRE FABRIC
XFMR	TRANSFORMER
YD	YARD
YH	YARD HYDRANT

CIVIL SYMBOLS



GENERAL SYMBOLS



GENERAL CIVIL NOTES

1. CONTACT OFFICIALS TO PERFORM UTILITY STAKING PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, REVIEW ANY OWNER PROVIDED EXISTING DRAWINGS AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES TO VERIFY UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
3. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS RELATIVE TO ARCHITECTURAL OR OTHER DISCIPLINE DRAWINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
4. VERIFY COORDINATES INDICATED ON DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT / ENGINEER IMMEDIATELY IF DISCREPANCIES EXIST.
5. CONTROL HORIZONTAL AND VERTICAL CONTROL POINTS IN THE FIELD AND VERIFY HORIZONTAL CONTROL POINTS WITH HORIZONTAL COORDINATE POINTS INDICATED.
6. THE ENGINEER IS NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS AND METHODS, SEQUENCES OF CONSTRUCTION, OR CONSTRUCTION TECHNIQUES USED TO PERFORM THE WORK. SITE OBSERVATION VISITS WILL NOT INVOLVE REVIEW OF THESE ITEMS.
7. WHERE DISCREPANCIES OCCUR BETWEEN GENERAL NOTES, PLANS, DETAILS, AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN, UNLESS OTHERWISE APPROVED BY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
8. IF THE ENGINEER'S SEAL AND SIGNATURE IS NOT AFFIXED TO THESE DRAWINGS, THESE DRAWINGS ARE INTENDED FOR PRELIMINARY PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.
9. PROTECT BY WHATEVER MEANS REQUIRED ALL FENCES, SIGNS, STRUCTURES, DRIVES, SIDEWALKS, STREETS, BUSHES, TREES, ETC. SHOWN TO REMAIN OUTSIDE OR INSIDE THE LIMITS OF CONSTRUCTION.
10. KEEP ALL EXISTING SANITARY AND STORM SEWERS IN SERVICE THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE.
11. COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH THE OWNER, OWNER'S REPRESENTATIVE OR ENGINEER.
12. VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER COMMUNICATION, AND GAS CABLES TO PREVENT INTERRUPTION OF THEIR SERVICE.
13. ADJUST TO FINISH GRADE ALL EXISTING UTILITIES THAT FALL WITHIN CONSTRUCTION LIMITS. EXISTING UTILITIES INCLUDE BUT ARE NOT LIMITED TO: FIRE HYDRANTS, WATER AND GAS VALVES OR BOXES, MANHOLES, INLETS, AND LIGHT POLE BASES. MAINTAIN ALL EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
14. IN PAIR OR REPLACE ITEMS INDICATED TO REMAIN THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION TO MATCH EXISTING CONDITIONS.
15. REPORT TO THE OWNER ANY DAMAGE TO EXISTING UTILITIES PRIOR TO BEGINNING REPAIRS.
16. REPAIR DAMAGED UTILITIES AND STRUCTURES IN ACCORDANCE WITH THE CITY OF NOM OR UTILITY COMPANY REQUIREMENTS AND PER CODES AT NO ADDITIONAL EXPENSE TO THE OWNER.
17. FIELD VERIFY DIMENSIONS SHOWN WITH AN ASTERISK (*). CONTACT ARCHITECT / ENGINEER IF ACTUAL DIMENSION DIFFERS SIGNIFICANTLY FROM THAT SHOWN.
18. AUTOCAD FILES WILL BE MADE AVAILABLE TO THE CONTRACTOR FOR LAYOUT AND STAKING PURPOSES IF DESIRED. ALLOW 3 WORKING DAYS FOR THE ARCHITECT / ENGINEER TO PROCESS THE FILE(S). THE ARCHITECT / ENGINEER RELIEVES THE FILE(S) TO BE ACCURATE. HOWEVER, CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE FILE(S) CONFORMS TO THE DIMENSIONS SHOWN ON THE DRAWINGS. SEE SPECIFICATION SECTION 01 330 FOR COST AND FURTHER INSTRUCTIONS.
19. FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, WARNING SIGNS, LIGHTS, AND FLAG MEN AS PER THE REQUIREMENTS OF CITY OF NOM. COSTS FOR SUCH SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
20. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL PERMIT FEES, UTILITY LOCATION FEES (NOT COVERED BY OWNING UTILITY), AND OTHER ASSOCIATED FEES REQUIRED TO SUCCESSFULLY COMPLETE THE PROJECT.
21. ADHERE TO OSHA CODES AND STANDARDS, AND UTILIZE APPROPRIATE SAFETY MEASURES WHILE COMPLETING THE WORK. NOTHING INDICATED ON THESE DRAWINGS RELIEVES THE CONTRACTOR FROM THIS REQUIREMENT.

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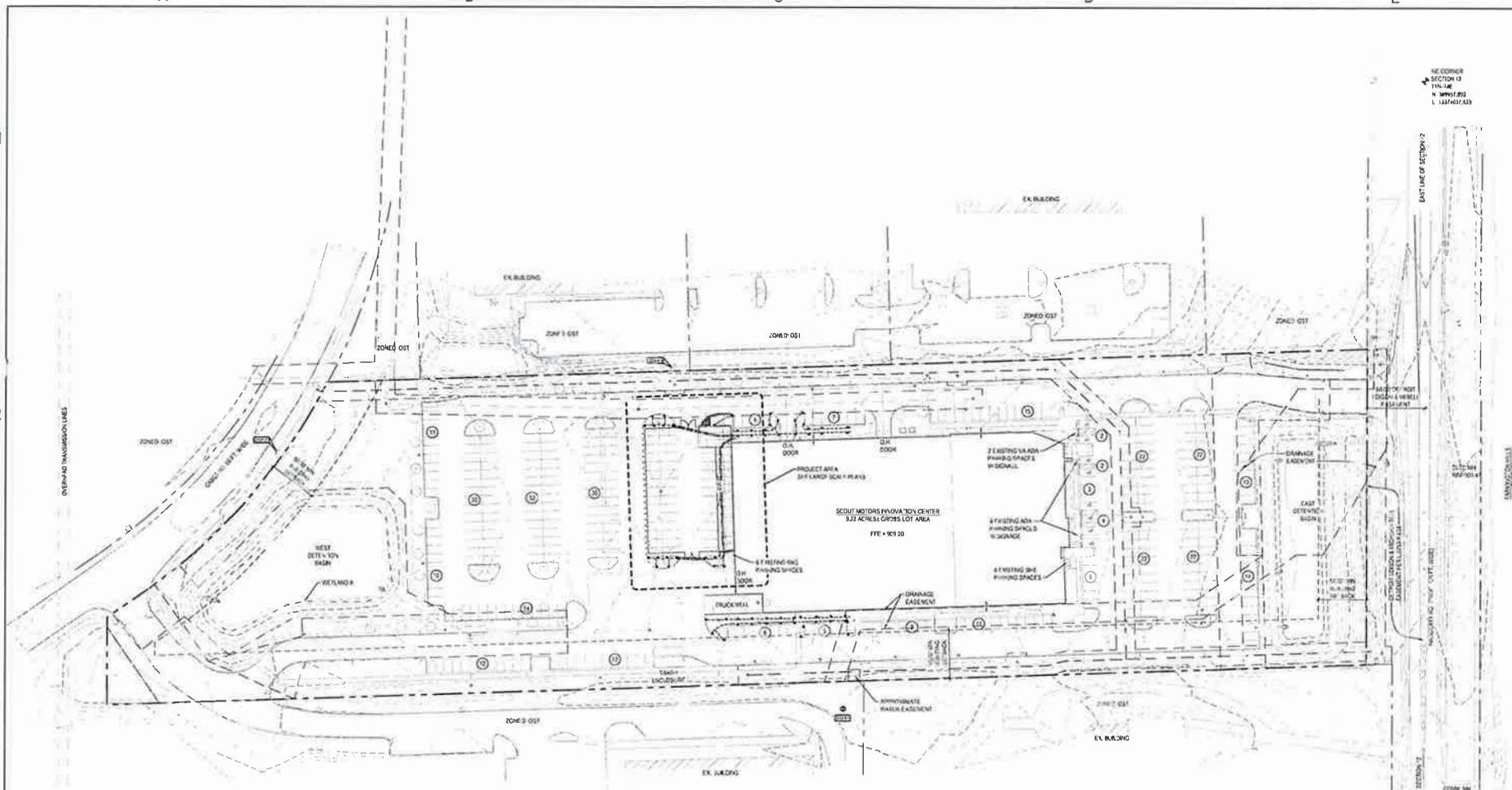

BENCHMARKS

CITY OF NOVI DATUM

BM21 - ARROW ON HYDRANT ALONG SOUTH PROPERTY LINE, +57' NORTHEAST OF THE NORTHEAST CORNER OF BUILDING AT #29101 HAGGERTY.
ELEVATION=912.81

BM42 - ARROW ON HYDRANT ON EAST SIDE OF CABOT RD. ±200' NORTHEAST OF DRIVE TO #29101 HAGGERTY.
ELEVATION=912.43

BM43 - SPIKE IN POWER POLE ±373' EAST OF CABOT RD. ALONG THE NORTH LINE OF SUBJECT PARCEL.
ELEVATION=911.24

CITY OF NOVI BM (3K2, P.45) NORTH RIM OF MONUMENTATION BOX ±60-100' SOUTH OF THE L OF HAGGERTY RD. & 12 MILE RD.
ELEVATION=901.04

FIRE DEPARTMENT NOTES:

1. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3' HIGH ON A CONTRASTING BACKGROUND.
2. FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS.
3. IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER OBJECT FOR A MINIMUM OF 3 FEET.

GENERAL SITE NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
2. STORM WATER TREATMENT AND DETENTION IS ACCOMMODATED WITHIN EXISTING DETENTION BASIN.
3. ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE CURRENT DESIGN AND PLACEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
4. NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
6. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
8. NO FLASHING LIGHTING WILL BE USED ON THE SITE.
9. NO OUTSIDE STORAGE SHALL BE PERMITTED.

SITE DATA:

SITE AREA	9.22 ACRES (COMBINED PARCELS)
PARCEL ID	50-22-12-200-061
ZONING	OST - OFFICE SERVICE TECHNOLOGY
EXISTING BUILDING	81,578 SF GROSS FLOOR AREA
BUILDING SETBACKS	50' FRONT MINIMUM 50' EACH SIDE MINIMUM 50' REAR MINIMUM
REQUIRED PARKING: WHICHEVER IS GREATER 81,578 SF GFA / 150 = OR FIVE PLUS 1 FOR EACH 1.5 EMPLOYEES IN THE LARGEST WORKING SHIFT = 373 MAX. EMPLOYEES / 1.5 = 5 +	547 PARKING SPACES REQUIRED 255 PARKING SPACES REQUIRED
EXISTING PARKING	390 PARKING SPACES (INCLUDES 8 B.F. SPACES)
PROPOSED PARKING REDUCTION FROM TEMPORARY FENCING ENCLOSURE	-43 PARKING SPACES
TOTAL PARKING	337 SPACES - STILL MEETS CODE REQUIRED MINIMUM

REQUIRED BICYCLE PARKING:
REQUIRED: 5% OF REQUIRED AUTO SPACES = 255 X 0.05= 13 BICYCLE PARKING SPACES
PROVIDED: 14 BICYCLE PARKING SPACES

PRELIMINARY & FINAL SITE PLAN

SCALE: 1" = 50.00'

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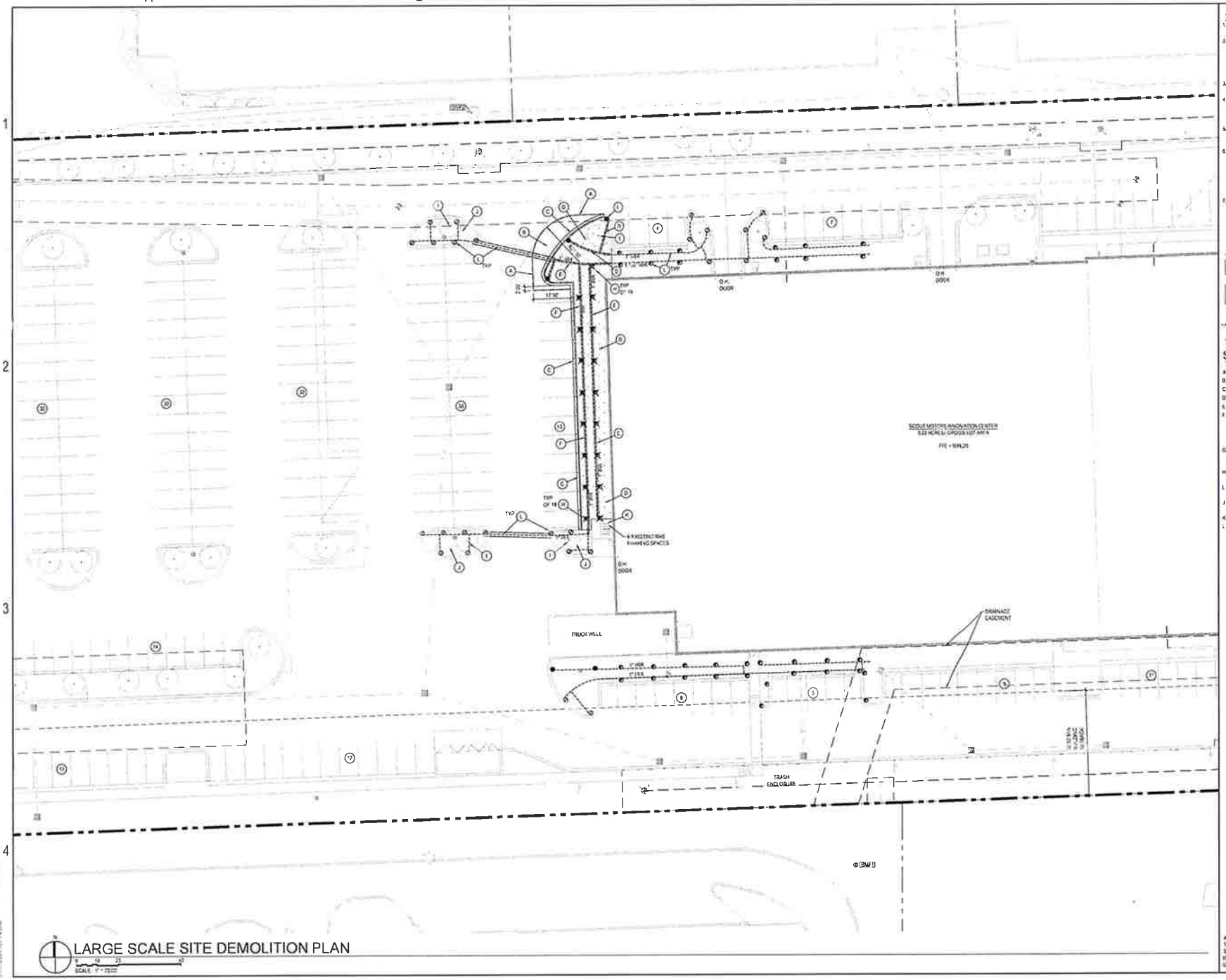

SITE DEMOLITION PLAN NOTES

1. CONTRACTOR SHALL CALL ONE-CALL TO PERFORM UTILITY STAKING PRIOR TO ANY CONSTRUCTION.
2. COORDINATE ALL DEMOLITION/PARKING LOT OFF-SITE WITH THE ARCHITECT/ENGINEER AND OWNER'S REPRESENTATIVE. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE.
3. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS FROM THE PROJECT SITE.
4. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION RELATED INCIDENT FOR OWNER'S UNDER THIS CONTRACT.
5. REPAIR OR REPLACE ITEMS INDICATED TO REMAIN THAT ARE DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING CONDITIONS.
6. AN EXISTING IRRIGATION SYSTEM CURRENTLY EXISTS WITHIN THE LANDSCAPE AREA BEING REMOVED. CONTRACTOR SHALL COORDINATE WITH OWNER TO SHUT OFF IRRIGATION ZONE. REMOVE EXISTING SPRINKLERS AND IRRIGATION LINES WITHIN THE AREA TO BE PAVED AND RE-CONFIGURE SYSTEM TO MAINTAIN IRRIGATION TO EXISTING PARKING LOT ISLANDS. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION.
7. IRRIGATION SYSTEM COMPONENTS INDICATED ON THIS PLAN IS BASED UPON THE ORIGINAL DESIGN DRAWINGS FOR THE BUILDING AND THE SYSTEM MAY HAVE BEEN MODIFIED FROM DESIGN OR SINCE CONSTRUCTION. CONTRACTOR SHALL VERIFY PRIOR TO BIDDING THE FULL EXTENT OF IRRIGATION SYSTEM MODIFICATIONS REQUIRED.

SITE DEMOLITION PLAN LEGEND

- REMOVE EXISTING ASPHALT PAVING AND CONCRETE CURB AND GUTTER TO LIMITS INDICATED
- REMOVE EXISTING LANDSCAPING: SHRUBS AND MULCH AS REQUIRED FOR CONSTRUCTION OF NEW PAVING OR FOR RE-CONFIGURATION OF SPRINKLER SYSTEM. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING IRRIGATION LATERAL
- REMOVE EXISTING SPRINKLER
- SAWCUT PAVEMENT

SHEET NOTES

A. SAWCUT ASPHALT PAVEMENT FULL DEPTH.
B. REMOVE ASPHALT PAVEMENT.
C. REMOVE CONCRETE CURB AND GUTTER.
D. REMOVE LANDSCAPING, INCLUDING SHRUBS AND MULCH.
E. REMOVE EXISTING IRRIGATION LATERAL LINE.
F. REMOVE EXISTING 1" IRRIGATION LATERAL LINE AND RE-INSTALL WITHIN 4" PVC SLEEVE UNDER NEW CONCRETE PAVEMENT. RECONNECT RE-INSTALLED 1" IRRIGATION LATERAL LINE TO EXISTING LATERAL LINE ON THE SOUTH END OF THE NEW PAVEMENT. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION.
G. REMOVE EXISTING IRRIGATION LATERAL LINE AND RE-INSTALL AROUND NEW CONCRETE PAVEMENT. RECONNECT TO EXISTING SPRINKLER. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION.
H. REMOVE EXISTING SPRINKLER AND RETURN TO OWNER FOR MAINTENANCE STOCK.
I. EXISTING TREES TO REMAIN IN PLACE. CONTRACTOR SHALL PROTECT THROUGHOUT CONSTRUCTION.
J. EXISTING LANDSCAPING: SHRUBS AND MULCH TO REMAIN. CONTRACTOR SHALL PROTECT THROUGHOUT CONSTRUCTION.
K. EXISTING BIKE RACKS AND CONCRETE PAD TO REMAIN.
L. EXISTING IRRIGATION LATERAL AND SPRINKLERS TO REMAIN IN PLACE.

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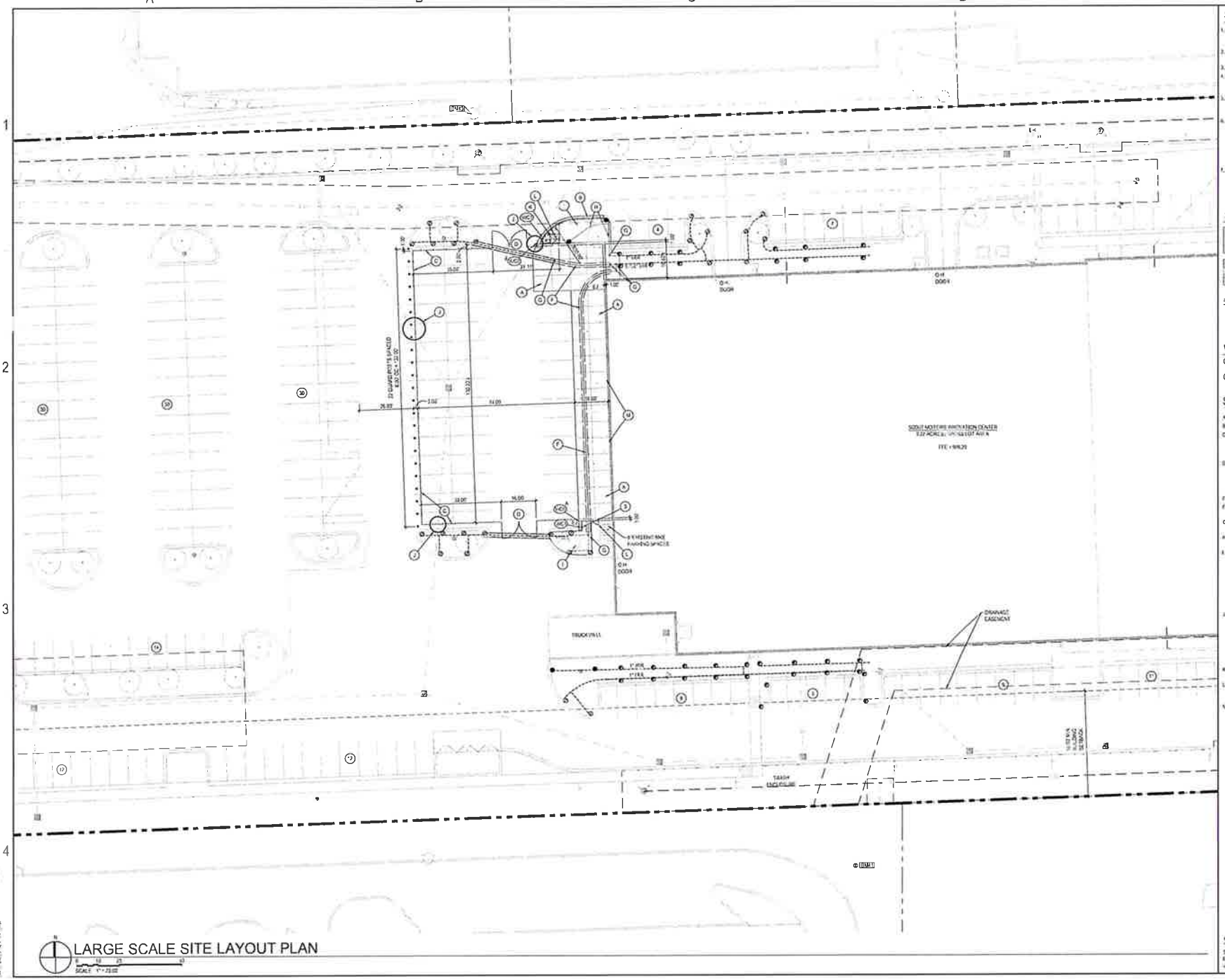

SITE LAYOUT PLAN NOTES

1. FENCING AND PAVING SHALL BE INSTALLED AND PLACED PERPENDICULAR TO THE NEAREST BUILDING EXTERIOR FACE OF WALL.
2. DIMENSIONS SHOWN TO THE BUILDING ARE TO THE EXTERIOR FACE OF BUILDING WALL.
3. DIMENSIONS SHOWN TO CURBS ARE TO THE BACK OF CURBS.
4. FIELD VERIFY DIMENSIONS SHOWN WITH AN ASTERISK (*). CONTACT ARCHITECT IMMEDIATELY IF ACTUAL DIMENSIONS DIFFER SIGNIFICANTLY FROM THAT SHOWN.
5. CONSTRUCT ALL PAVEMENTS TO CONFORM WITH CORRECT LINES AND FINISHED GRADES AS INDICATED ON THE DRAWINGS. NO PONDING OF WATER WILL BE ALLOWED.
6. AN EXISTING IRRIGATION SYSTEM CURRENTLY EXISTS WITHIN THE LANDSCAPE AREA BEING REMOVED. CONTRACTOR SHALL COORDINATE WITH OWNER TO SHUT-OFF IRRIGATION ZONE. REMOVE EXISTING SPRINKLERS AND IRRIGATION LINES WITHIN THE AREA TO BE PAVED AND RE-CONFIGURE SYSTEM TO MAINTAIN IRRIGATION TO EXISTING PARKING LOT ISLANDS. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION.
7. IRRIGATION SYSTEM COMPONENTS INDICATED ON THIS PLAN WERE BASED UPON THE ORIGINAL DESIGN DRAWINGS FOR THE BUILDING, AND THE SYSTEM MAY HAVE BEEN MODIFIED FROM DESIGN OR SINCE CONSTRUCTION. CONTRACTOR SHALL VERIFY PRIOR TO BIDDING THE FULL EXTENT OF IRRIGATION SYSTEM MODIFICATIONS REQUIRED.

SITE LAYOUT PLAN LEGEND

- 8" CONC PAVEMENT — REFER TO CITY OF NOVI PAVING STANDARD DETAILS
- 4" CONC SIDEWALK — REFER TO CITY OF NOVI PAVING STANDARD DETAILS
- 6" CONC CURB & GUTTER — REFER TO CITY OF NOVI PAVING STANDARD DETAILS
- 6" DIA STEEL GUARD POST (1A / C3.1)

WARPING OF CURBS

- (VC) TOP OF NEW CONCRETE PAVEMENT SHALL BE FLUSH WITH EXISTING TOP OF ASPHALT FROM PT. A TO PT. B
- (WC) WARP CURB FROM 0" TO 6" HIGH IN 5 FEET

SHEET NOTES

A. 8" THICK CONCRETE PAVING

B. 6" CONCRETE CURB & GUTTER

C. 10' HIGH BLACK PVC COATED CHAIN LINK FENCE WITH BLACK PRIVACY SLATS PLACED DIAGONALLY THROUGH FENCE FABRIC. SEE DETAILS ON SHEET C3.1 FOR ADDITIONAL INFORMATION.

D. 18' WIDE (2) 9' WIDE LEAFS) X 12' HIGH DOUBLE-SWING ACCESS GATE. GATE SHALL BE BLACK PVC COATED CHAIN LINK FENCE WITH PRIVACY SLATS PLACED DIAGONALLY THROUGH FENCE FABRIC. SEE DETAILS ON SHEET C3.1 FOR ADDITIONAL INFORMATION.

E. 6" DIAMETER STEEL GUARD POST

F. INSTALL REPLACEMENT 1" IRRIGATION LATERAL LINE WITHIN 4" PVC SLEEVE UNDER NEW PAVEMENT.

G. CONNECT NEW IRRIGATION LATERAL TO EXISTING IRRIGATION PIPING

H. INSTALL RE-ROUTED 1" IRRIGATION LATERAL AROUND NEW PAVING AND RE-CONNECT TO EXISTING SPRINKLERS.

I. REPLACE ANY DISTURBED OR DAMAGED LANDSCAPING AND MULCH AT NORTHWEST CORNER OF THE BUILDING. EXPAND LANDSCAPE MULCH AS REQUIRED TO FILL IN AREA CREATED BY NEW CURB. LANDSCAPE REPAIR IS INDICATED IN AREAS WHERE IRRIGATION WORK MAY IMPACT LANDSCAPING. PARKING LOT ISLANDS ARE DISTURBED DURING INSTALLATION OF FENCING. CONTRACTOR SHALL ALSO BE RESPONSIBLE TO REPLACING DISTURBED OR DAMAGED LANDSCAPING TO EXISTING CONDITIONS.

J. CONTRACTOR SHALL POT-HOLE AND/OR HYDROVAC WHERE PROPOSED FENCING AND GUARD POSTS CONFLICT WITH EXISTING STORM SEWER TO LOCATE STORM SEWER. ONCE STORM SEWERS LOCATED, THE SPACING OF THE GUARD POSTS AND FENCE FOOTINGS SHALL BE ADJUSTED TO SPAN OVER THE EXISTING STORM SEWER. RESTORE EXISTING ASPHALT PAVING TO MATCH EXISTING WHERE POT-HOLING OCCURRED.

K. 4" THICK CONCRETE SIDEWALK FROM CURB TO PEDESTRIAN GATE LOCATION

L. 3'-0" WIDE X 12'-0" HIGH PVC COATED CHAIN LINK FENCE SINGLE LEAF PEDESTRIAN GATE. GATE SHALL PROVIDE FREE EGRESS OUT OF THE TEMPORARY ENCLOSURE AT ALL TIMES.

M. AT ALL AREAS OF NEWLY EXPOSED BUILDING FACADE OR AREAS THAT NOT TO BE PATCHED, APPLY BUILDING STANDARD SIDING COATING TO MATCH EXISTING ADJACENT SURFACE, PROVIDED AND APPLIED PER MANUFACTURER'S RECOMMENDATION.

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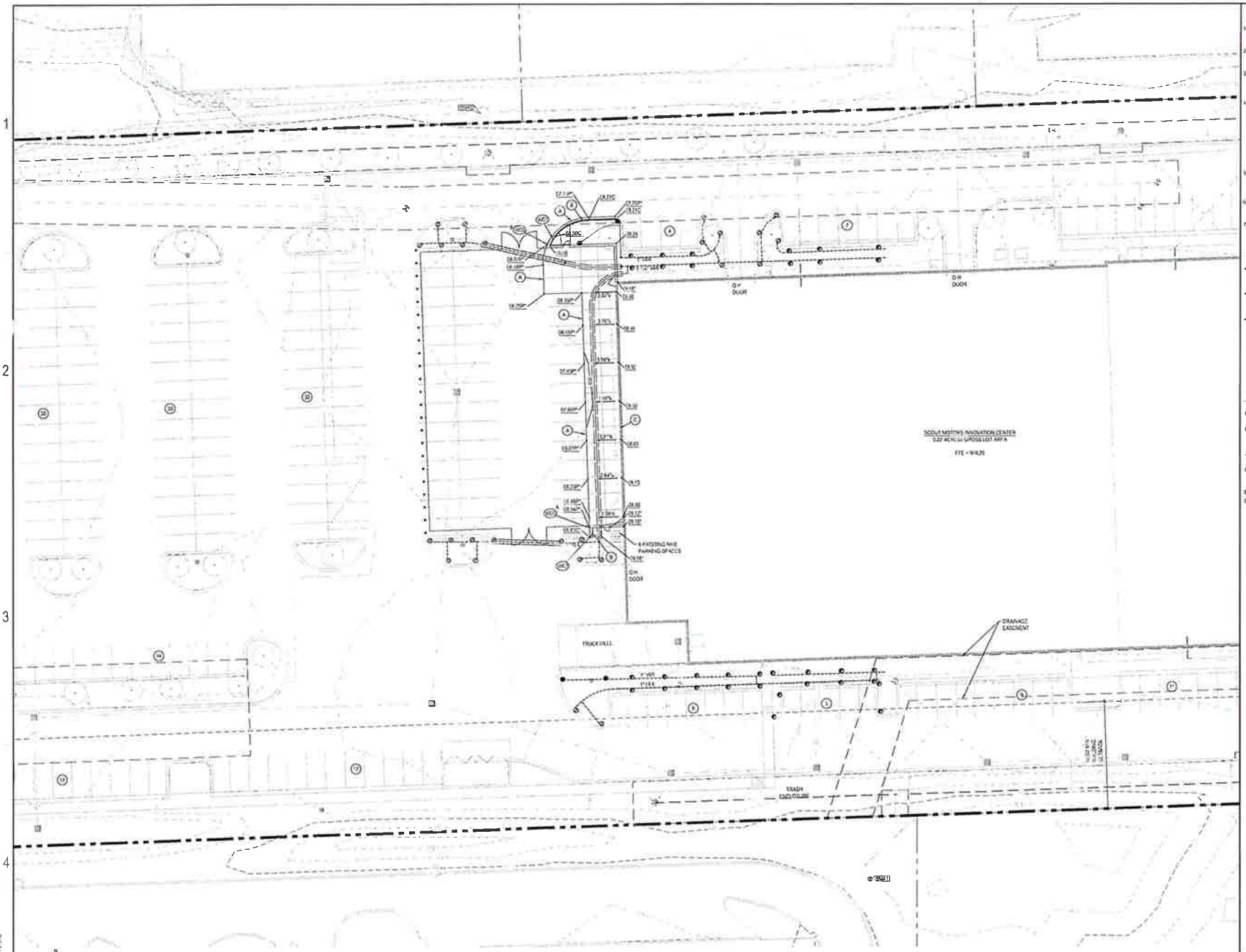

LARGE SCALE SITE GRADING PLAN

SCALE: 1" = 20'-0"

SITE GRADING PLAN NOTES

1. ADD 900 TO SPOT ELEVATIONS AND BENCHMARKS TO MATCH DATUM SHOWN ON AS-BUILT AND DESIGN DRAWINGS PROVIDED BY THE OWNER.
2. ELEVATIONS SHOWN WITH AN ASTERISK (*) SHALL BE FIELD VERIFIED. CONTACT THE ARCHITECT / ENGINEER IF THE ACTUAL ELEVATION DIFFERS SIGNIFICANTLY FROM THAT SHOWN.
3. THE CONTRACTOR SHALL CALL FOR THE EXISTING UTILITY LOCATION STAKES AT LEAST 48 HOURS PRIOR TO DIGGING. CALL ALL APPLICABLE UTILITY COMPANIES. THE CONTRACTOR SHALL PAY ANY FEES FOR UTILITY LOCATES.
4. THE LOCATIONS OF ALL AERIAL AND UNDERGROUND UTILITY FACILITIES ARE APPROXIMATE OR MAY NOT BE INDICATED IN THESE PLANS. UNDERGROUND PUBLIC FACILITIES, WHETHER INDICATED OR NOT, WILL BE LOCATED AND FLAGGED BY THE UTILITIES AT THE REQUEST OF THE CONTRACTOR. NO EXCAVATION WILL BE PERMITTED IN THE AREA UNTIL SUCH UNDERGROUND PUBLIC UTILITIES HAVE BEEN LOCATED AND IDENTIFIED TO THE SATISFACTION OF ALL PARTIES AND THEN ONLY WITH HAND TOOLS TO AVOID ANY POSSIBILITY OF DAMAGE TO THE UTILITY.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND UNPAVED SURFACES FROM CONSTRUCTION OPERATIONS. DAMAGES THERETO SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
6. CONSTRUCT ALL PAVEMENTS TO CONFORM WITH CORRECT LINES AND FINISHED GRADES AS INDICATED ON THE DRAWINGS. NO PONDING OF WATER WILL BE ALLOWED.
7. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

SITE GRADING PLAN LEGEND

- 06.00 — TOP OF GRASS, LANDSCAPING, OR WALK ELEVATION.
- 06.00* — ASSUMED TOP OF GRASS, LANDSCAPING OR WALK ELEVATION, SEE NOTE 2.
- 06.00C — TOP OF 6" HIGH CURB ELEVATION AT BACK OF CURB.
- 06.00P — PAVEMENT ELEVATION AT 6"HIGH CURB.
- 06.00P* — ASSUMED TOP OF PAVEMENT ELEVATION AT 6"HIGH CURB, SEE NOTE 2.
- 06.00C* — ASSUMED TOP OF 6" HIGH CURB ELEVATION AT BACK OF CURB, SEE NOTE 2.
- EXISTING PRIMARY CONTOUR
- EXISTING SECONDARY CONTOUR
- 1123 — FINISH PRIMARY CONTOUR
- 1124 — EXISTING SECONDARY CONTOUR

WARPING OF CURBS

- FCC — TOP OF NEW CONCRETE PAVEMENT SHALL BE FLUSH WITH EXISTING TOP OF ASPHALT FROM PT. A TO PT. B
- WC — WARP CURB FROM 0" TO 6" HIGH IN 5 FEET

SHEET NOTES (A)

A. FINISH GRADE AT TOP OF NEW CONCRETE PAVEMENT SHALL MATCH EXISTING PAVEMENT ELEVATIONS. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS NOTED WITH AN ASTERISK (*).

B. 6" CONCRETE CURB & GUTTER

C. LOWER GRADE AT BUILDING FACE TO LIMIT SLOPE OF NEW PAVEMENT BELOW 5% FROM BUILDING WALL TO EXISTING PAVEMENT CONNECTION. CONFIRM WITH ARCHITECT MAXIMUM HEIGHT GRADE MAY BE LOWERED AT THE BUILDING WALL.

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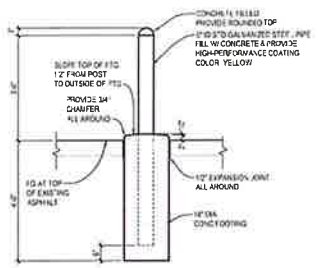
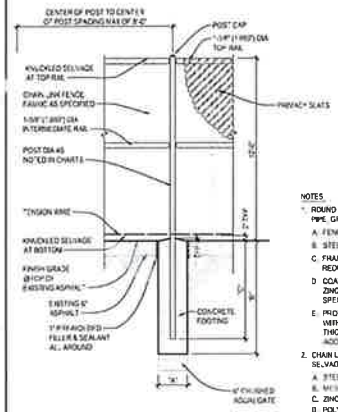


ROUND STEEL GUARD POST

SCALE 1/2" = 1'-0"



GATE POST DATA						
FENCE HEIGHT (FT)	GATE LEAF WIDTH (FT)	GATE POST OD (IN)	GATE POST NOMINAL OD (IN)	"A" DIAMETER (IN)	"B" DEPTH (FT-IN)	"C" POST EMBEDMENT
12'	8'	4.500"	4"	18"	5'-6"	5'-3"

LINE & TERMINAL POSTS DATA						
FENCE HEIGHT (FT)	POST TYPE	GATE POST OD (IN)	GATE POST NOMINAL OD (IN)	"A" DIAMETER (IN)	"B" DEPTH (FT-IN)	"C" POST EMBEDMENT
12'	LINE	4.500"	3-1/2"	14"	5'-6"	5'-3"
	TERMINAL	4.500"	4"	18"	5'-6"	5'-3"

NOTE: TERMINAL POSTS INCLUDE END, CORNER AND PULL POSTS.

NOTES:

1. ROUND POSTS AND RAILS. PROVIDE ROUND STEEL POSTS AND RAILS CONFORMING TO ASTM F1083, "SCHEDULE 40 (OR HEAVIER) PIPE, GROUP 1A.
   A. FENCE FRAMEWORK SHALL MEET ASTM F1043, GROUP 1A REQUIREMENTS.
   B. STEEL PIPE SHALL HAVE A MINIMUM YIELD STRENGTH OF 50,000 PSI.
   C. FRAMEWORK SHALL BE DESIGNED TO RESIST INCREASED WIND LOADS DUE TO PRIVACY SLATS. PROVIDE INCREASED POST SIZE, REDUCED SPACING, AND ADDITIONAL BRACING AS REQUIRED.
   D. COATING: GALVANIZE POSTS, RAILS, BRACES, AND FITTINGS AFTER FABRICATION IN ACCORDANCE WITH ASTM A123/ A123M. ENSURE ZINC COATING HAS A MINIMUM AVERAGE WEIGHT OF 1.8 OUNCES PER SQUARE FOOT OF SURFACE AREA, WITH NO INDIVIDUAL SPECIMEN LESS THAN 1.6 OUNCES PER SQUARE FOOT. VERIFY COATING WEIGHT IN ACCORDANCE WITH ASTM A90/ A90M.
   E. PROVIDE PVC (POLYVINYL CHLORIDE), POLYOLEFIN OR POLYESTER COATING OVER GALVANIZED STEEL FRAMEWORK IN ACCORDANCE WITH ASTM F1043 CLASS 2B. COATING SHALL BE FUSED AND ADHERED TO THE EXTERIOR ZINC COATING. MINIMUM COATING THICKNESS SHALL BE 10 MILS FOR PVC OR POLYOLEFIN SYSTEMS, AND 3 MILS FOR POLYESTER SYSTEMS. COLOR SHALL BE BLACK ACCORDING TO THE "REQUIREMENTS" SECTION AND MATCH FABRIC.
2. CHAIN LINK FENCE FABRIC SHALL BE PROVIDED IN ONE-PIECE HEIGHT AS MEASURED BETWEEN TOP AND BOTTOM OF OUTER EDGE OF SELVAGE KNUCKLE ACCORDING TO THE "CLFMI PRODUCT MANUAL" AND REQUIREMENTS INDICATED BELOW:
   A. STEEL WIRE FOR FABRIC: 9 GAUGE, WIRE DIAMETER OF 0.148 INCH.
   B. MESH SIZE: 2 INCHES.
   C. ZINC-COATED FABRIC: PER ASTM A392, TYPE II, CLASS II (1.2 OZ./SQ. FT.) WITH ZINC COATING APPLIED AFTER WEAVING.
   D. POLYMER-COATED FABRIC: ASTM F668, CLASS 2B OVER ZINC-COATED STEEL WIRE. COLOR SHALL BE BLACK, ACCORDING TO ASTM F934.
3. PRIVACY SLATS SHALL BE FIBERGLASS-REINFORCED PLASTIC SLATS, UV-LIGHT-STABILIZED FIBERGLASS-REINFORCED PLASTIC NOT LESS THAN 0.05 INCH THICK, SIZED TO FIT MESH SPECIFIED FOR DIRECTION INDICATED, WITH VANDAL-RESISTANT FASTENERS AND LOCK STRIPS. COLOR OF SLATS SHALL BE BLACK. INSTALLED DIAGONALLY WITHIN FENCE FABRIC.

CHAIN LINK FENCE SECTION

SCALE 1/2" = 1'-0"

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COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETINGDATE:** August 11, 2026

REGARDING: **44725 Grand River Avenue #50-22-15-376-012 & 50-22-15-376-016 (PZ26-0032)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Damas Building

Variance Type
Dimensional Variance

Property Characteristics

Zoning District:	this property is zoned Light Industrial (I-1)
Location:	east of Taft Road, south of Grand River Avenue
Parcel #:	50-22-15-376-012 & 50-22-15-376-016

Request
The applicant is seeking variances from the City of Novi Zoning Ordinance Section 5.2.12.D to allow a reduction in parking to 86 spaces (108 spaces required, variance of 22 spaces); and from Section 3.1.18.D to allow a reduced parking setback of 6.2 ft. along the west property line (10 ft. required, variance of 3.8 ft.).

II. STAFF COMMENTS:

The applicant is seeking (2) dimensional variances to expand an existing parking lot.

1) *A reduction of (22) parking spaces [108 spaces required, 86 spaces proposed]*
2) *A 3.8' parking setback from the western property line [10' required, 6.2' proposed]*

This tightly designed property has topography challenges and wetlands to contend with. To accommodate the proposed site plan improvements, some encroachment into the wetland buffer area has been agreed to by our Planning Department.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ26-0032**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____ _____ _____.

   (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____ _____ _____.

   (b) The property is unique because_____ _____ _____.

   (c) Petitioner did not create the condition because_____ _____ _____.

   (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____ _____ _____.

   (e) The relief if consistent with the spirit and intent of the ordinance because _____ _____.

   (f) The variance granted is subject to:

      1. _____.
      2. _____.
      3. _____.
      4. _____.

2. I move that we ***deny*** the variance in Case No. **PZ26-0032** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring_____ _____ _____.

   (a) The circumstances and features of the property including _____ _____ are not unique because they exist generally throughout the City.

   (b) The circumstances and features of the property relating to the variance request are self-created because _____ _____ _____.

   (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____ _____ _____.

   (d) The variance would result in interference with the adjacent and surrounding properties by _____ _____ _____.

   (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____ _____ _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

RECEIVED

JUN 29 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $330.00

Meeting Date: 8/11/26

ZBA Case #: PZ 26-0032

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: Parking Lot Expansion

ADDRESS: 44725 W. Grand River Avenue

LOT/SIUTE/SPACE #:

SIDWELL #: 50-22-15-376-012 &016 (May be obtain from Assessing Department (248) 347-0485)

CROSS ROADS OF PROPERTY: Grand River & Taft

IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☐ YES ☑ NO

REQUEST IS FOR: ☐ RESIDENTIAL ☑ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE

DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☑ NO

II. APPLICANT INFORMATION

A. APPLICANT

NAME: Eric Modell	EMAIL ADDRESS:	CELL PHONE NO.:	
ORGANIZATION/COMPANY: 44725 Grand River, LLC		TELEPHONE NO.:	
ADDRESS: 29201 Telegraph Road, Suite 410	CITY: Southfield	FAX NO.:	
		STATE: MI	ZIP CODE: 48034

B. PROPERTY OWNER ☑ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property:	EMAIL ADDRESS:	CELL PHONE NO.:	
NAME:		TELEPHONE NO.:	
ORGANIZATION/COMPANY:		FAX NO.:	
ADDRESS:	CITY:	STATE:	ZIP CODE:

III. ZONING INFORMATION

A. ZONING DISTRICT

☐ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ RM-1 ☐ RM-2 ☐ MH

☑ I-1 ☐ I-2 ☐ RC ☐ TC ☐ TC-1 ☐ OTHER _____

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 5.1.12.D Variance requested Parking space deficiency of 22 spaces (86 Pro., 108 Req.)
2. Section 3.1.18.D Variance requested 3.8' parking setback alt west prop. line (6.2' Pro., 10.0' Req.)
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☐ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☐ Single Family Residential (New) $275

☑ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☐ Signs $330 ☐ (With Violation) $440

☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☑ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature _____ Date 6/18/2026

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature _____ Date _____

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals _____ Date _____

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

cityofnovi.org

REVIEW STANDARDS
DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
☐ Not Applicable ☑ Applicable If applicable, describe below:

See attached.

and/or

c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
☐ Not Applicable ☑ Applicable If applicable, describe below:

See attached.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

See attached.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

See attached.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

See attached.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

See attached.

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

   Not Applicable.

b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

   Applicable. Due to the existing conditions of the property being at a higher elevation than the adjacent property and a wetland being present, the site buildable is limited. Based upon the proposed parking additions, the site will be maximized as much as the buildable area will allow. Thus, this request is for the minimum variance needed to best align with the City Ordinance.

c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

   Applicable. The neighbor to the west of the proposed improvement area also has wetlands present. To not impede upon the shared wetland area that is present between the two properties, the request has been presented to only provide improvements within a portion of the wetland buffer area. This has been approved by the City's wetland consultant as part of the Preliminary Site Plan approval process.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The requested variance is not self-created or a result of actions of the property owner. To better align with the parking spaces requirement, the parking setback variance is necessary to maximize the number of parking spaces provided. The proposed number of spaces is 86,

which is deficient by 22 spaces per the City Ordinance. The dimensional variance would now allow for better utilization of available area of the site even with the difficulties of the existing site conditions that were not self-created.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose or will render conformity with those regulations unnecessarily burdensome.

The dimensional variance in strict compliance with the parking setback requirements of 10 ft. will further reduce the number of parking spaces proposed. Thus, resulting in additional dimensional variance request for the parking spaces deficiency. To further align with the City's Ordinance on parking setback requirements that promote parking lot shade trees, two additional parking islands are proposed. These additional landscape islands will allow for tree plantings to provide shade trees as intended by the City Ordinance.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

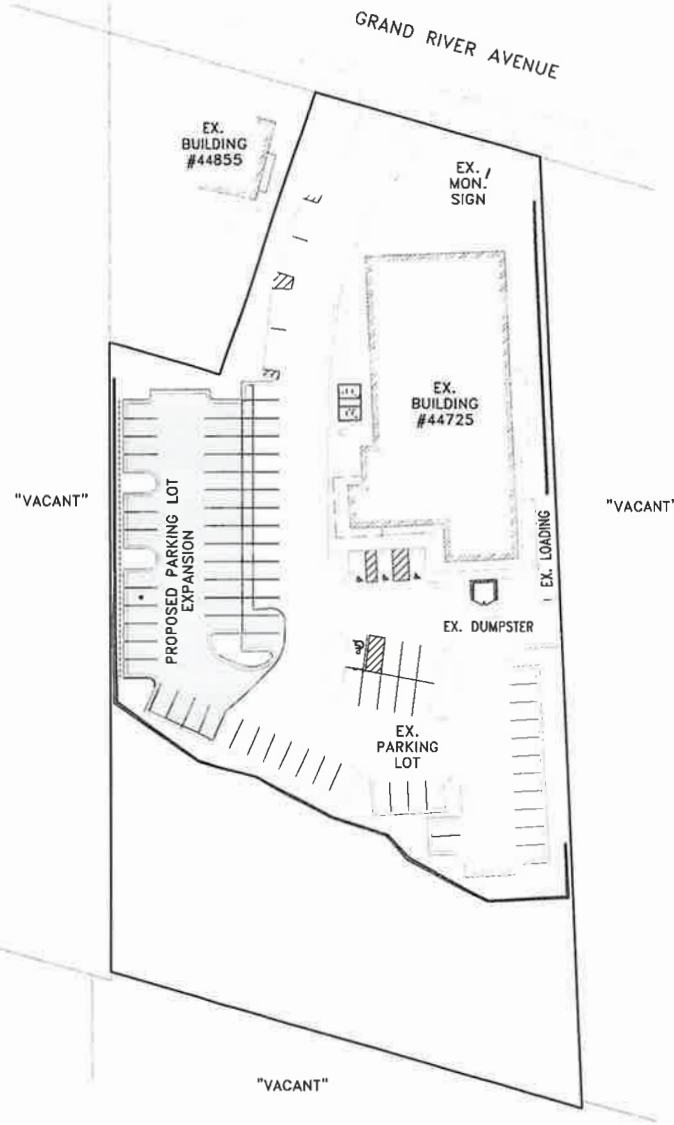
The proposed improvements require the minimum variance needed because a lesser variance would further reduce the number of parking spaces proposed. Less proposed parking spaces would result in a larger request for parking spaces deficiency.

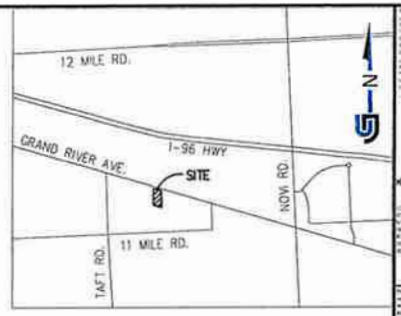
Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The dimensional variance will not cause adverse impacts to the surrounding property, property values, or the use and enjoyment in the surrounding neighborhood or zoning district because the parking lot is obscured by an existing retaining wall that is proposed to be extended along the west property line to the limits of the proposed parking. Additionally, there is an existing wetland that creates a natural buffer between the proposed improvements and the neighboring property.

FINAL SITE PLAN
for
44725 GRAND RIVER AVENUE
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN





VICINITY MAP
NOT TO SCALE

SHEET INDEX:

CITY/COUNTY STANDARDS DETAIL SHEETS:

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
3. EXISTING EASEMENTS WILL BE SHOWN PER TITLE WORK, ONCE RECEIVED.
4. CONTRACTOR TO OBTAIN ALL REQUIRED APPROVALS AND PERMITS PRIOR TO THE START OF CONSTRUCTION.

GENERAL DEVELOPMENT SCHEDULE:

TASK	TIMELINE
APPROVAL/PERMITTING:	WINTER 2026
LAND DEVELOPMENT:	SPRING 2026
PARKING LOT CONSTRUCTION:	SPRING/SUMMER 2026

PROPOSED PARCEL LEGAL DESCRIPTION:

PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: *BEGINNING AT A POINT DISTANT N00°17'00"W 770.33 FEET AND N73°49'03"W 1,181.31 FEET TO THE POINT OF BEGINNING,* THENCE S02°39'19"E 477.43 FEET; THENCE N73°51'10"W 246.06 FEET; THENCE N00°01'46"W 215.71 FEET; THENCE S73°49'52"E 58.64 FEET; THENCE N00°02'11"W 100.00 FEET; THENCE N18°28'57"E 148.96 FEET; THENCE S73°49'03"E 113.44 FEET TO THE POINT OF BEGINNING

APPLICANT:

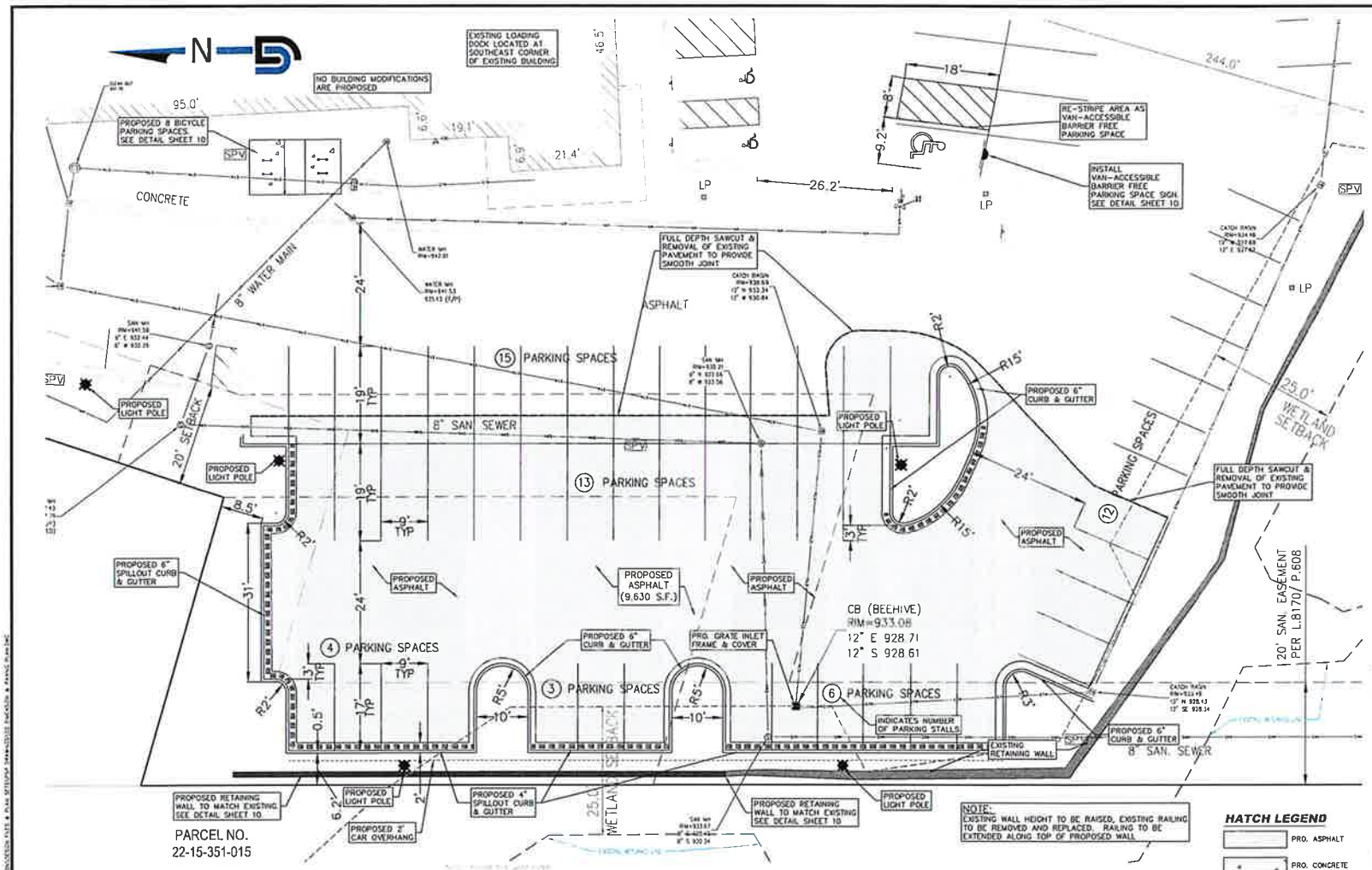
VERSA REAL ESTATE, LLC
29201 TELEGRAPH ROAD
SUITE 410
SOUTHFIELD, MI 48034
PHONE: (248) 979-6137
FAX: (248) 556-3173
CONTACT: ERIC MODELL

SITE CIVIL:

THE UMLOR GROUP
49287 WEST ROAD
WIXOM, MI 48393
PHONE: (248) 773-7856
FAX: (866) 690-4307
CONTACT: WES UMLOR, P.E.
JESSE PARKINSON

VERSA REAL ESTATE, LLC

SECTION 15



GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED
2. REFER TO CITY OF NOVI PAVING STANDARD DETAILS FOR ADDITIONAL DETAILS.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOVI CURRENT STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
5. ALL ON SIGHT SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH MMUTCD. PARKING STALL STRIPING SHALL BE 4" WIDE (SINGLE) AND WHITE.
6. THE ACCESSIBLE PARKING SPACE AND ASSOCIATED AISLE SHALL BE STRIPED WITH 4" BLUE STRIPES. THE STANDARD SPACE ADJACENT TO AN ACCESSIBLE SPACE, ABUTTING BLUE AND WHITE STRIPES SHALL BE INSTALLED.
7. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
9. NO BUILDING MODIFICATIONS ARE PROPOSED.

WOODLANDS NOTES:

TREES TO BE SAVED ARE TO BE PROPERLY PROTECTED, AS DESIGNATED BY THE CITY OF NOVI WOODLAND PROTECTION ORDINANCE.

ZONING:

I-1, LIGHT INDUSTRIAL DISTRICT
PER CITY OF NOVI ZONING MAP

BUILDING SETBACKS:

FRONT: 40 FEET
REAR 20 FEET
SIDES: 20 FEET
PER CITY OF NOVI ZONING ORDINANCE

OUTDOOR STORAGE:

THERE IS NO OUTDOOR STORAGE PROPOSED FOR THIS SITE. OVERNIGHT PARKING OF DELIVERY VEHICLES WILL TAKE PLACE IN DESIGNATED PARKING AREAS ON THE SOUTH AND SOUTHEAST SIDES OF THE BUILDING.

HOURS OF OPERATION:

8:00 AM – 5:00 PM (MONDAY THROUGH FRIDAY)

PROJECT PHASING:

ONE PHASE – CONSTRUCTION TO COMMENCE SPRING 2026, COMPLETION SUMMER 2026

BUILDING INFORMATION:

PROPOSED BUILDING USE:	OFFICE
1ST FLOOR BUSINESS OFFICE SPACE:	4,466 SF
1ST FLOOR MEDICAL OFFICE:	4,785 SF
2ND FLOOR MEDICAL OFFICE:	10,400 SF

PROPOSED PARKING DATA:

EXISTING PARKING: 68 SPACES, 3 BARRIER-FREE

1ST FLOOR BUSINESS OFFICE:	4,466 SF
1ST FLOOR MEDICAL OFFICE:	4,785 SF
2ND FLOOR MEDICAL OFFICE:	10,400 SF

BUSINESS OFFICE=1 SPACE PER 222 GLA
4,466 (1ST FLOOR)/222= 20 SPACES
MEDICAL OFFICE=1 SPACE PER 175 GLA
4,785 (2ND FLOOR)+10,400 (2ND FLOOR)=
15,185/175 = 87 SPACES

EXISTING PARKING TO BE REMOVED = 8 SPACES
PROPOSED PARKING: 28 SPACES (1 BARRIER-FREE SPACE)
66-8=58+28=86 SPACES PROVIDED (4 BARRIER-FREE SPACES)

TOTAL REQUIRED PARKING: 20+87 =107 SPACES
TOTAL PROVIDED PARKING: 86 SPACES (4 BARRIER-FREE SPACES)

NOTES:

ALL PAVING AND GRADING IMPROVEMENTS SHALL CONFORM TO THE CITY OF NOVI ENGINEERING DESIGN STANDARDS.

DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.

CURBING AND WALKS ADJACENT TO THE END OF 17-FOOT STALLS SHALL BE REDUCED TO 4-INCHES HIGH (RATHER THAN THE STANDARD 6-INCH HEIGHT TO BE PROVIDED ADJACENT TO 19-FOOT STALLS). ADDITIONALLY, 2-FOOT OVERHANG SHOULD BE PROVIDED ADJACENT TO 17-FOOT PARKING STALLS.

END ISLAND NOTE:

ALL END ISLANDS SHALL BE CONSTRUCTED 3 FT. SHORTER THAN THE ADJACENT PARKING SPACE WHEN ABUTTING A MANEUVERING AISLE.

SIDEWALK NOTE:

NO CHANGES TO THE EXISTING SIDEWALK ARE PROPOSED WITH THIS PROJECT.

SIGNAGE NOTE:

NO CHANGES TO THE EXISTING SITE SIGNAGE ARE PROPOSED WITH THIS PROJECT.

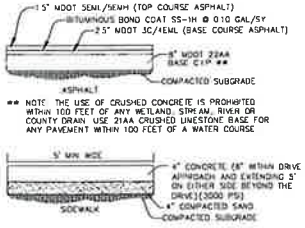
LIGHTING NOTES:

1. ALL ON-SITE POLE MOUNTED LIGHTS SHALL BE SHIELDED AND AIMED AT THE AREAS TO BE SECURED (PARKING SPACES, DRIVES, WALKS, ETC.)
2. BUILDING MOUNTED FIXTURES SHALL BE DESIGNED TO ILLUMINATE THE FACADE AND NOT ILLUMINATE THE LANDSCAPE AREAS OR PAVEMENT AREAS UNLESS SPECIFICALLY DESIGNED ON THESE PLANS.

HATCH LEGEND

- PRO. ASPHALT
- PRO. CONCRETE
- EXISTING BUILDING

ALL PROPOSED PAVEMENT CROSS-SECTIONS ARE PER CITY OF NOVI SPECIFICATIONS, TYP.



INTEGRAL SIDEWALK AND CURB

FOR USE ON PRIVATE PROPERTY ALONG THE FRONT OF PROPOSED BUILDING

ON-SITE CURB

NOT TO SCALE

PROPOSED PARCEL LEGAL DESCRIPTION:

PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: *BEGINNING* AT A POINT DISTANT N00°17'00"W 770.33 FEET AND N73°49'03"W 1,181.31 FEET TO THE *POINT OF BEGINNING* THENCE S02°39'19"E 477.43 FEET; THENCE N73°51'10"W 246.06 FEET; THENCE N00°01'48"W 215.71 FEET; THENCE S73°49'52"E 58.64 FEET; THENCE N00°02'11"W 100.00 FEET; THENCE N18°28'52"E 148.96 FEET; THENCE S73°49'03"E 115.44 FEET TO THE *POINT OF BEGINNING*

BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)

BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVNEUE.
ELEVATION: 942.45 (N.A.V.D. 88)

CITY BM#1534:
X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER
ELEVATION: 941.28

GENERAL NOTES:

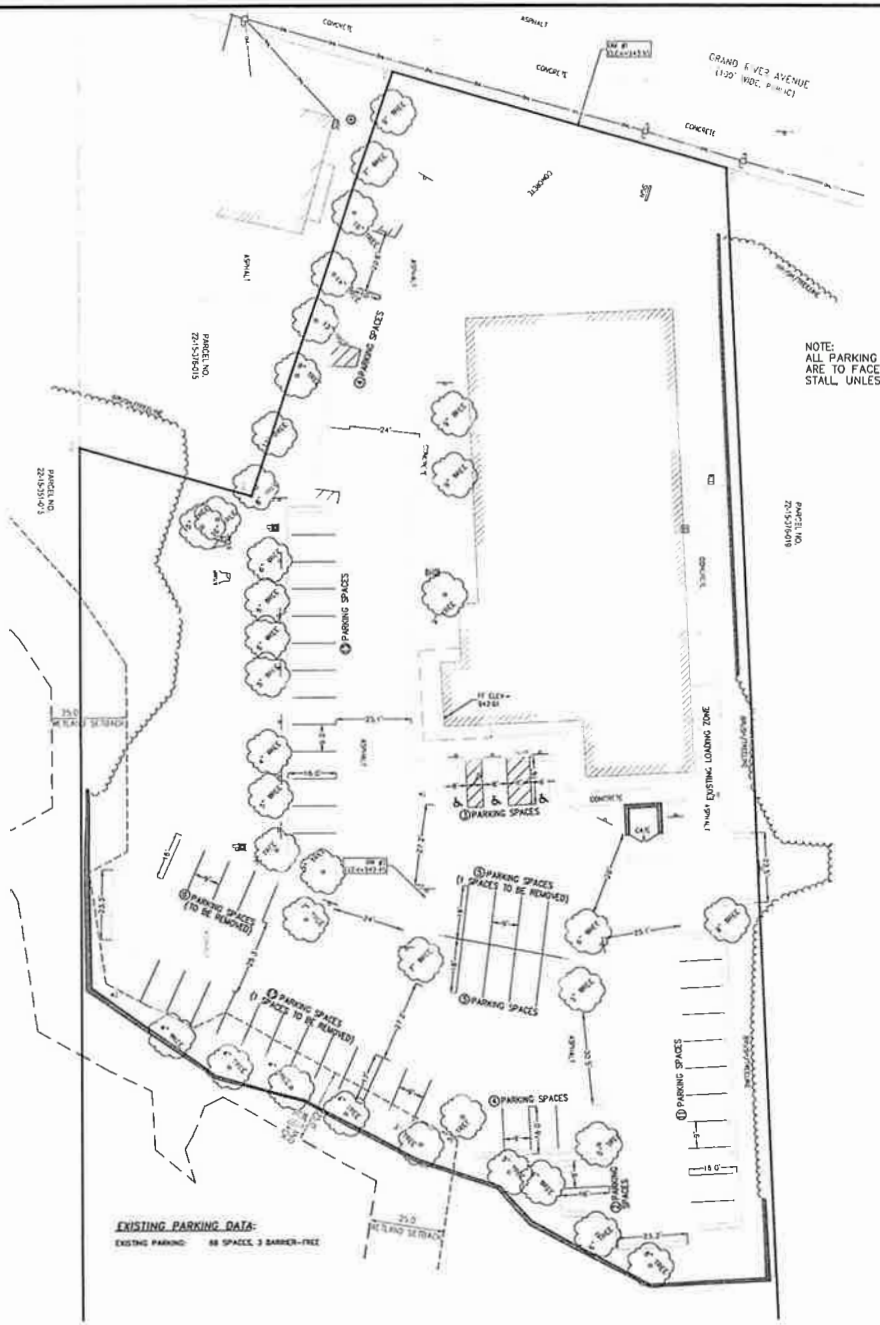
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.

* ESTIMATED CONSTRUCTION MATERIALS:	
4" CURB & GUTTER	195 LF
6" CURB & GUTTER	202 LF
ASPHALT PAVEMENT	9,630 SF
8" 21AA AGGREGATE BASE	9,630 SF

* CONTRACTOR TO EVALUATE AND DETERMINE ACTUAL QUANTITIES, ONLY USE ABOVE TABLE AS REFERENCE

SECTION 15

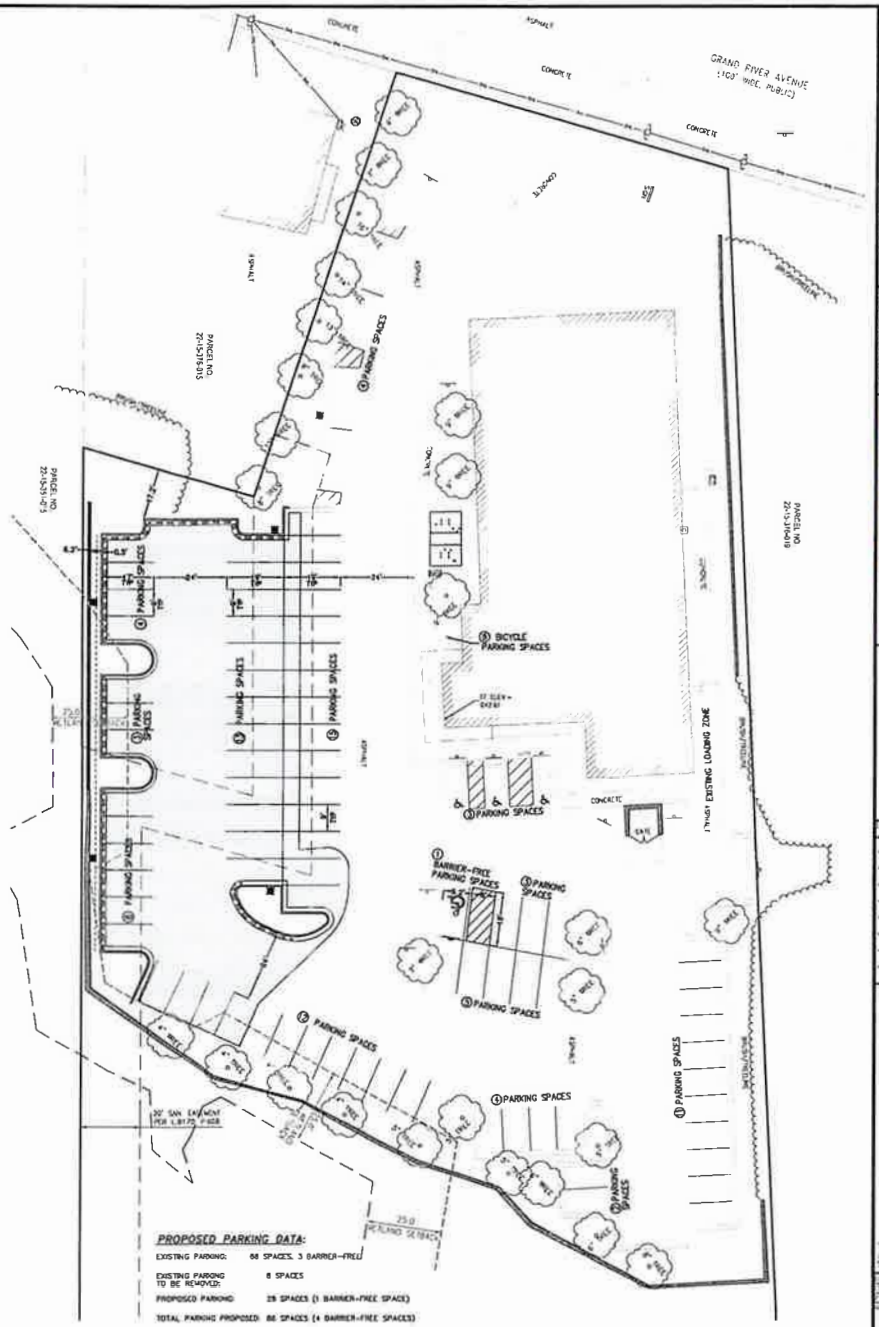
VERSA REAL ESTATE, LLC



NOTE:
ALL PARKING DIMENSIONS SHOWN ARE TO FACE OF CURB TO END OF STALL, UNLESS OTHERWISE NOTED.

EXISTING PARKING DATA:

EXISTING PARKING: 88 SPACES, 3 BARRIER-FREE



PROPOSED PARKING DATA:

EXISTING PARKING:	88 SPACES, 3 BARRIER-FREE
EXISTING PARKING TO BE REMOVED:	8 SPACES
PROPOSED PARKING:	26 SPACES (1 BARRIER-FREE SPACE)
TOTAL PARKING PROPOSED:	86 SPACES (4 BARRIER-FREE SPACES)

IMIOR

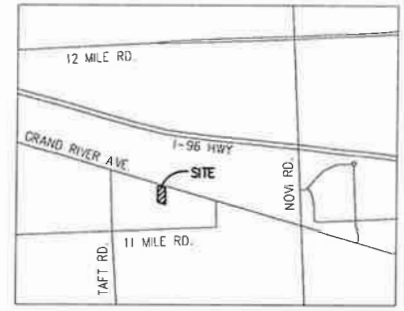
SECTION 15

VERSA REAL ESTATE, LLC

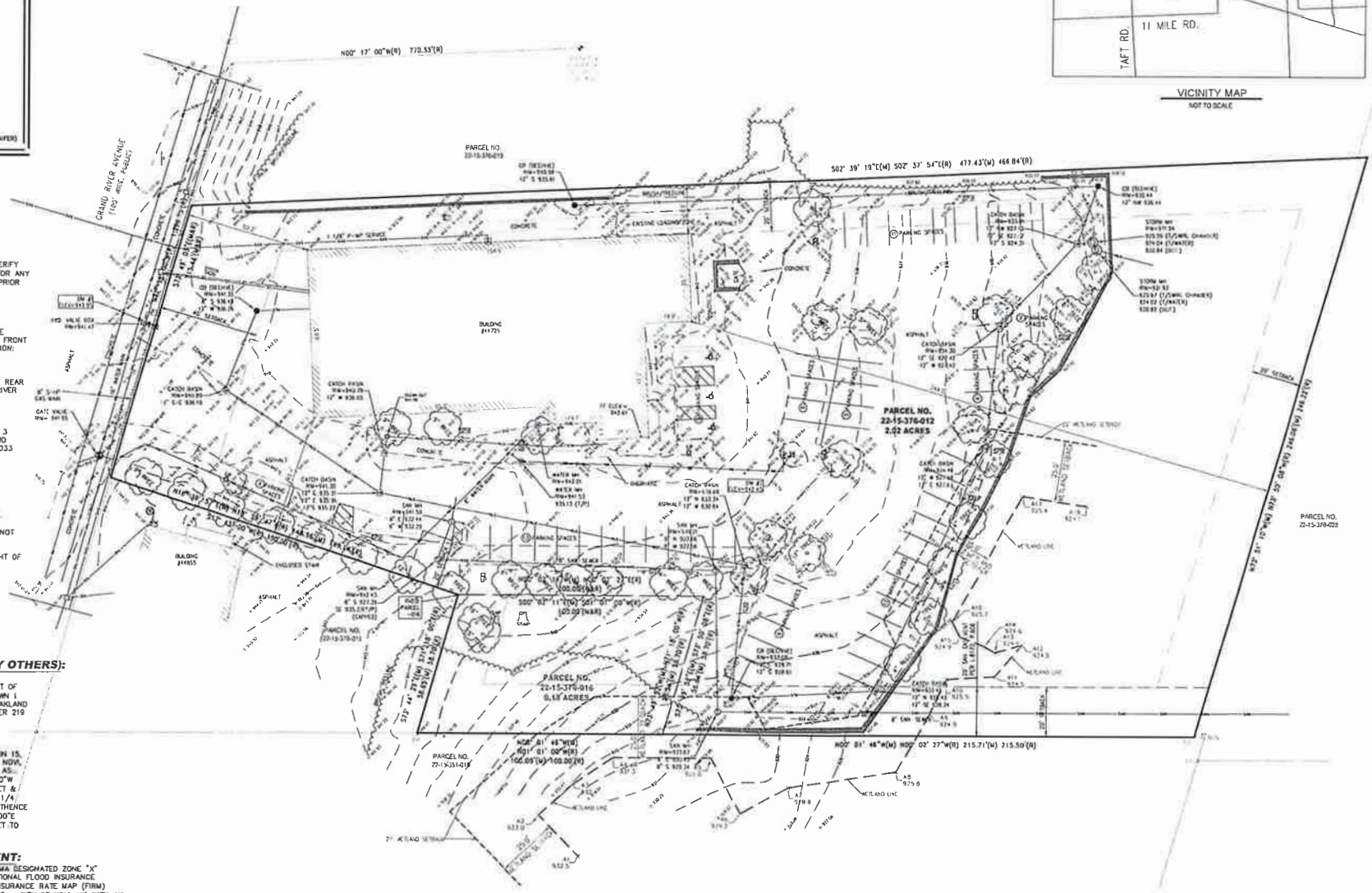
LEGEND

SYMBOL	DESCRIPTION
	FOUND MON
	FOUND CAPPED IRON
	FOUND IRON ROD
(R)	RECORDED BEARING
(M)	MEASURED BEARING
	EX. OVERHEAD ELECTRIC
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. UNDERGROUND CABLE
	EX. UNDERGROUND ELECTRIC
	EX. UNDERGROUND GAS
	EX. WATER MAIN
	EX. WALL
	EX. CATCH BASIN ROUND
	EX. STORM INLET/CATCH BASIN
	EX. CLEAN OUT
	EX. ELECTRIC METER
	EX. GAS METER
	EX. GATE VALVE IN WELL
	EX. HYDRANT
	EX. LIGHT POLE
	EX. MAILBOX
	EX. SANITARY MANHOLE
	EX. SIGN
	EX. STORM MANHOLE
	EX. TRANSFORMER
	EX. UTILITY POLE
	EX. WATER MANHOLE
	EX. WATER SHUT OFF
	EX. WATER VALVE
	EX. WELL
	EX. TREE (DECIDUOUS/CONIFER)

N



VICINITY MAP
NOT TO SCALE



ZONING:

I-1, LIGHT INDUSTRIAL DISTRICT

SETBACKS:

FRONT: 40 FEET MINIMUM
REAR: 20 FEET MINIMUM
SIDES: 20 FEET MINIMUM

*ARCHITECT OR DESIGN INDIVIDUAL TO VERIFY SETBACKS WITH THE CITY OF NOVI AND/OR ANY HOMEOWNER'S ASSOCIATION ORDINANCE PRIOR TO DESIGN.

BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)

BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVNEUE.
ELEVATION: 942.45 (N.A.V.D. 88)

CITY BM#1534:
X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER
ELEVATION: 941.28

SURVEY NOTES:

1. TITLE WORK WAS NOT PROVIDED. ALL EXISTING EASEMENT MAY NOT BE SHOWN.

2. A WETLAND AND TREE SURVEY WERE NOT PERFORMED AS PART OF THIS SURVEY.

3. BASIS OF BEARING IS THE SOUTH RIGHT OF WAY LINE BEING S73°49'03"E.

LEGAL DESCRIPTIONS (BY OTHERS):

PARCEL NO. 22-15-376-012:
LOT 5 OF "ASSESSOR'S PLAT NO.1", PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 219 OF PLATS, PAGE 34, OAKLAND COUNTY RECORDS

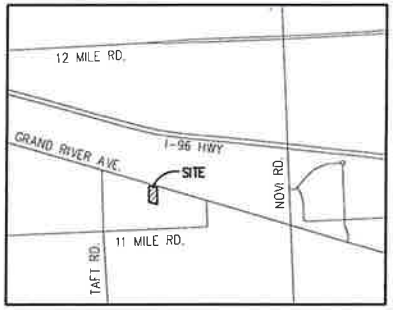
PARCEL NO. 22-15-376-016:
PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT N00°17'00"W 770.33 FEET & N71°18'00"W 1,296.75 FEET & S17°43'00"W 150 FEET FROM THE SOUTH 1/4 CORNER, THENCE S01°01'00"W 100 FEET, THENCE N71°18'00"W 58.70 FEET, THENCE N01°01'00"E 100 FEET, THENCE S71°18'00"E 58.70 FEET TO THE POINT OF BEGINNING

FLOOD HAZARD STATEMENT:

THIS PROPERTY IS LOCATED WITHIN A FEMA DESIGNATED ZONE "X" FLOOD HAZARD AREA AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR MICHIGAN FLOOD INSURANCE RATE MAP (FIRM) #26125C0626F (COMMUNITY ID NO. 260175 – CITY OF NOVI, MI) WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006. THIS STATEMENT IS BASED ON THE RESULTS OF GRAPHIC PLOTTING ONTO THE ABOVE NAMED MAP AND PANEL, WHICH IS THE CURRENT MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED. ZONE "X" INDICATES AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SECTION 15

VERSA REAL ESTATE, LLC



VICINITY MAP
NOT TO SCALE

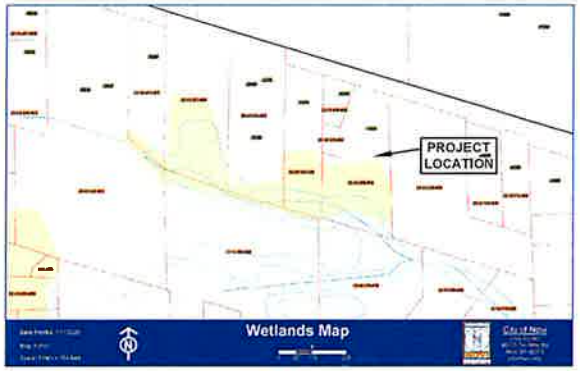
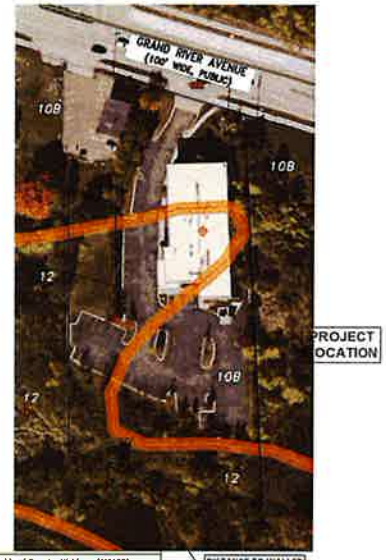


Figure 2-1. Rouge River Watershed

LEGEND	
SYMBOL	DESCRIPTION
FOUND MON	FOUND MON
FCI	FOUND CAPPED IRON
FIR	FOUND IRON ROD
(R)	RECORDED BEARING
(M)	MEASURED BEARING
	EX. OVERHEAD ELECTRIC
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. UNDERGROUND CABLE
	EX. UNDERGROUND ELECTRIC
	EX. UNDERGROUND GAS
	EX. WATER MAIN
	EX. WALL
	EX. CATCH BASIN ROUND
	EX. STORM INLET/CATCH BASIN
	EX. CLEAN OUT
	EX. ELECTRIC METER
	EX. GAS METER
	EX. GATE VALVE IN WELL
	EX. HYDRANT
	EX. LIGHT POLE
	EX. MAILBOX
	EX. SANITARY MANHOLE
	EX. SIGN
	EX. STORM MANHOLE
	EX. TRANSFORMER
	EX. UTILITY POLE
	EX. WATER MANHOLE
	EX. WATER SHUT OFF
	EX. WATER VALVE
	EX. WELL
	EX. TREE (DECIDUOUS/CONIFER)



Oakland County, Michigan (MI135)

Oakland County, Michigan (MI135)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
10B	Marlette sandy loam, 1 to 6 percent slopes	5.6	64.7%
12	Houghton and Cohoctah loams	3.1	35.2%
OnLadD	Mount loam, 0 to 4 percent slopes	0.0	0.0%
Totals for Area of Interest		8.7	100.0%

BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION 943.99 (N.A.V.D. 88)

BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVNEUE
ELEVATION 942.45 (N.A.V.D. 88)

UTILITY CONTACTS:

GAS:	CONSUMERS ENERGY 530 W. WILLOW ST LANSING, MI 48908 EMAIL: WSSDIGDESIGNTICE15@ CMSENERGY.COM
STORM DRAINAGE:	CITY OF NOVI ENGINEERING DIVISION 26300 LEE BEGOLE DR NOVI, MI 48375 (248)735-5644
WATER SERVICE:	CITY OF NOVI WATER AND SEWER DIVISION 26300 LEE BEGOLE DR NOVI, MI 48375 (248)735-5644
SANITARY SERVICE:	CITY OF NOVI WATER AND SEWER DIVISION 26300 LEE BEGOLE DR NOVI, MI 48375 (248)735-5644
SOIL EROSION PERMIT:	CITY OF NOVI ENGINEERING DIVISION 26300 LEE BEGOLE DR NOVI, MI 48375 (248)735-5644
CABLE TV:	COMCAST CABLE COMMUNICATIONS, INC 25628 TELEGRAPH RD SOUTHFIELD, MI 48034 (248)309-2715
ELECTRIC:	DTE ENERGY ONE ENERGY PLAZA, 688 SB DETROIT, MI 48226 (313)235-5632 ITC 27175 ENERGY WAY NOVI, MI 48377 (313)267-4857
TELEPHONE:	AT&T (FORMERLY SBC) 54 N. MILL ST, 4TH FLOOR PONTIAC, MI 48342 (248)456-8256

SECTION 15

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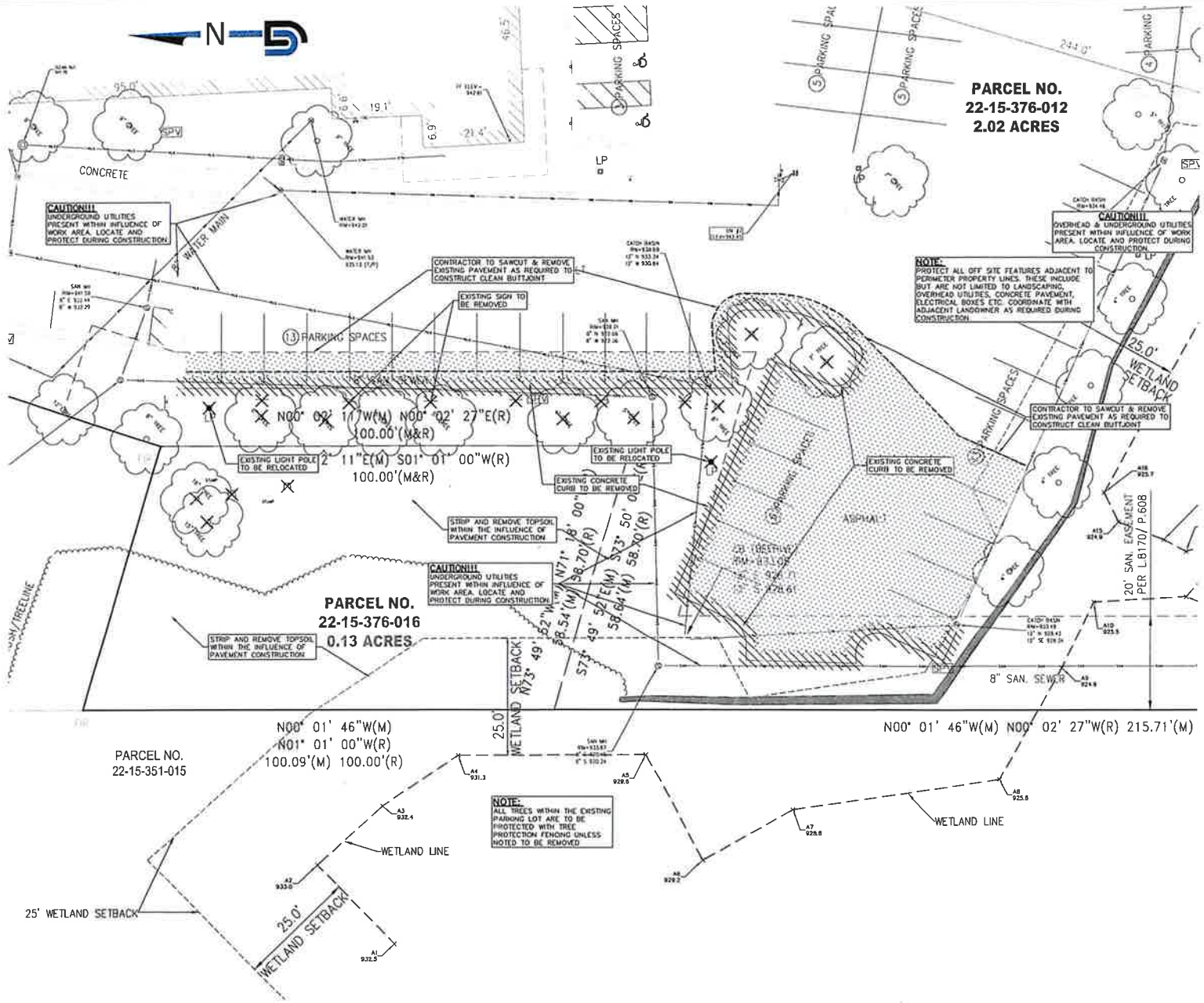

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.

BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE, ELEVATION: 943.95 (N.A.V.D. 88)

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ELEVATION: 942.45 (N.A.V.D. 88)

CITY BM#1534:
X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER
ELEVATION: 941.28

GENERAL DEMOLITION NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:

1. CONCRETE AND ASPHALT DEMOLISHED MATERIALS CAN BE MILLED, CRUSHED AND PULVERIZED TO CREATE SUBBASE MATERIAL PER GEOTECHNICAL SPECIFICATIONS RECOMMENDATIONS.

2. ALL MATERIAL TO BE REMOVED AND EXCESS MATERIAL, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.

3. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.

4. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND CITY OF NOVI.

5. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.

6. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.

7. REFER TO LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.

8. THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.

10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.

11. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.

12. ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS, ARE TO BE PROTECTED DURING THE CONSTRUCTION PROCESS. COORDINATE SHUTDOWNS AND REMOVALS WITH DETROIT EDISON OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)

13. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.

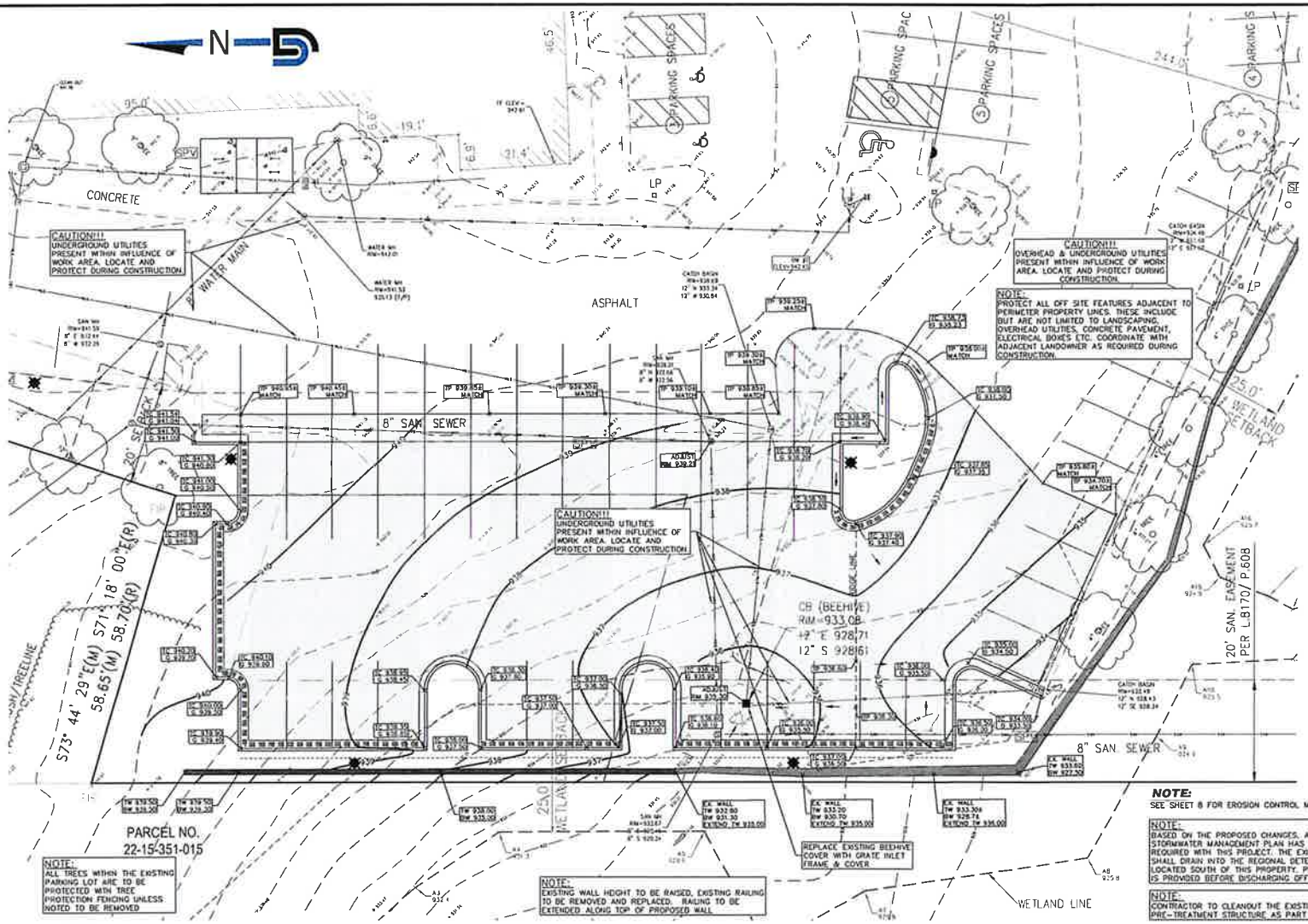
14. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION LEGEND:

ITEM TO BE REMOVED	
CURB REMOVAL	
ASPHALT REMOVAL	

SECTION 15

VERSA REAL ESTATE, LLC



BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF #4725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)

BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT #4725 GRAND RIVER AVNEUE.
ELEVATION: 942.45 (N.A.V.D. 88)

CITY BM#1534:
X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER
ELEVATION: 941.28

LEGEND

SYMBOL	DESCRIPTION
MON	FOUND MON
FCI	FOUND CAPPED IRON
FIR	FOUND IRON ROD
(R)	RECORDED BEARING
(M)	MEASURED BEARING
	EX. OVERHEAD ELECTRIC
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. UNDERGROUND CABLE
	EX. UNDERGROUND ELECTRIC
	EX. UNDERGROUND GAS
	EX. WATER MAIN
	EX. WALL
	EX. CATCH BASIN ROUND
	EX. STORM INLET/CATCH BASIN
	EX. CLEAN OUT
	EX. ELECTRIC METER
	EX. GAS METER
	EX. GATE VALVE IN WELL
	EX. HYDRANT
	EX. LIGHT POLE
	EX. MAILBOX
	EX. SANITARY MANHOLE
	EX. SIGN
	EX. STORM MANHOLE
	EX. TRANSFORMER
	EX. UTILITY POLE
	EX. WATER MANHOLE
	EX. WATER SHUT OFF
	EX. WATER VALVE
	EX. WELL
	EX. TREE (DECIDUOUS/CONIFER)

GRADING AND DRAINAGE LEGEND:

895.00	PROPOSED SPOT GRADE ELEVATION
TP = TOP OF PAVEMENT	
TC = TOP OF CURB	
G = GUTTER	
TW = TOP OF WALL	
BW = BOTTOM OF WALL	
FG = FINISH GRADE	
→ = OVERLAND FLOW DIRECTION	

HATCH LEGEND

	PRO. ASPHALT
	PRO. CONCRETE
	EXISTING BUILDING

ALL PROPOSED PAVEMENT CROSS-SECTIONS ARE PER CITY OF NOVI SPECIFICATIONS, TYP.

NOTE:

ALL PAVING AND GRADING IMPROVEMENTS SHALL CONFORM TO THE CITY OF NOVI ENGINEERING DESIGN STANDARDS.

NOTE:

SEE SHEET 8 FOR EROSION CONTROL MEASURES.

NOTE:
BASED ON THE PROPOSED CHANGES, A NEW STORMWATER MANAGEMENT PLAN HAS NOT BEEN REQUIRED WITH THIS PROJECT. THE EXISTING SITE SHALL DRAIN INTO THE REGIONAL DETENTION BASIN LOCATED SOUTH OF THIS PROPERTY. PRE-TREATMENT IS PROVIDED BEFORE DISCHARGING OFF-SITE.

NOTE:
CONTRACTOR TO CLEANOUT THE EXISTING PRE-TREATMENT STRUCTURE AS PART OF THIS PROJECT.

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

RESTORATION NOTE:

THE CONTRACTOR SHALL RESTORE AREAS DISTURBED FROM HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER, AND TO THE SATISFACTION OF THE OWNER. LANDSCAPE AREAS REQUIRING RESTORATION SHALL INCLUDE MIN. 3" TOPSOIL AND SOD. PAVEMENT AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, WITH THE APPLICABLE CROSS-SECTION TO MATCH EXISTING.

GRADING NOTES

1. SUBGRADE PREPARATION FOR PAVEMENT AND UTILITIES SHALL BE MONITORED BY A GEOTECHNICAL ENGINEER.
2. ACCEPTABLE MATERIAL FROM UNDERCUTTING MAY BE USED AS ENGINEERED FILL AS APPROVED BY SOILS ENGINEER.
3. CONTRACTOR SHALL TEMPORARILY STOCKPILE TOP SOIL TO BE USED FOR FINAL GRADING.
4. REMOVE ANY EXISTING TOPSOIL, ORGANIC SOILS, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREES SHOULD BE COMPLETELY REMOVED OR AS DIRECTED BY OWNER.
5. THE TOP 12 INCHES OF THE EXPOSED SUBGRADE AS WELL AS INDIVIDUAL FILL LAYERS SHOULD BE COMPACTED TO ACHIEVE A 95% COMPACTION LEVEL. (MODIFIED PROCTOR – ASTM D1557)
6. THE FINAL SUBGRADE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK UNDER THE OBSERVATION OF A GEOTECHNICAL/ PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CAN NOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
7. THE AGGREGATE BASE SHOULD BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR – ASTM D1557). THE BASE AND SUBGRADE COMPACTION SHOULD EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
8. ALL BITUMINOUS MATERIAL SHOULD BE COMPACTED TO A DENSITY OF 97% OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
9. SEE CITY OF NOVI PAVING STANDARD DETAIL SHEET 2 OF 2 FOR PAVEMENT SECTIONS AND CURB DETAILS.

GRADING NOTES:

1. ALL PAVING AND GRADING IMPROVEMENTS SHALL CONFORM TO THE CITY OF NOVI ENGINEERING DESIGN STANDARDS.
2. SAWCUT AND REMOVE EXISTING CURBS AND PAVEMENT AS NECESSARY FOR CONSTRUCTION.
3. FIELD VERIFY EXISTING PAVEMENT AND CURB ELEVATIONS WHERE PROPOSED PAVEMENT AND CURB MEETS EXISTING PAVEMENT AND CURB PRIOR TO CONSTRUCTION. PAVING CONTRACTOR SHALL TAKE EXTRA CARE TO ENSURE 1% MINIMUM PAVEMENT SLOPE IS ACHIEVED. AND SHALL CONTACT DESIGN ENGINEER PRIOR TO CONSTRUCTION IF A CONFLICT IS APPARENT.
4. CONTRACTOR TO ADJUST EXISTING RIM ELEVATION,S AS NECESSARY, TO PROPOSED FINISHED GRADES

UTILITY NOTES:

1. ELECTRICAL SERVICE TO LIGHT FIXTURES TO BE UNDERGROUND.
2. NO FLASHING LIGHT PERMITTED.
3. COMPACTED SAND BACKFILL (MDOT SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

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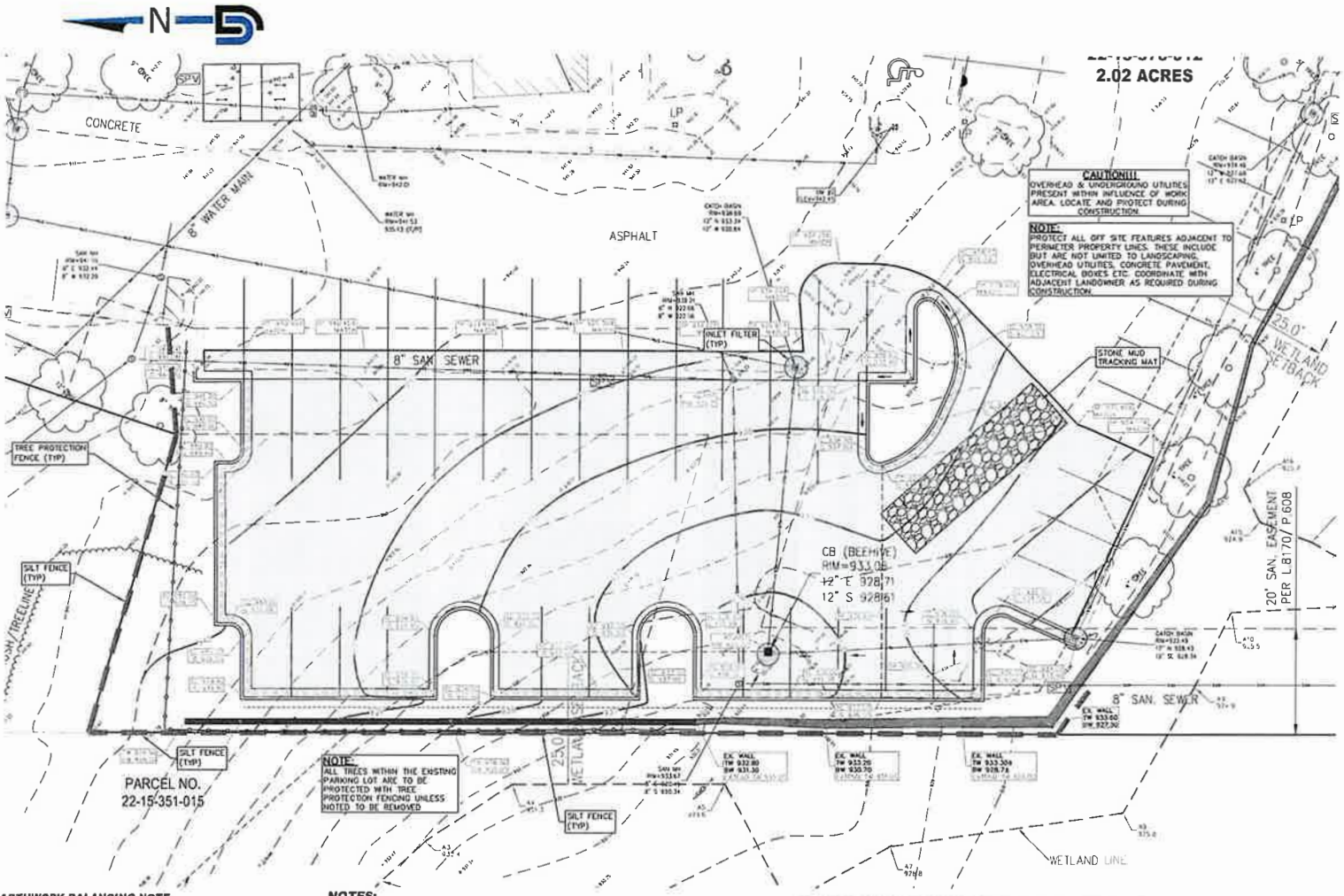
SECTION 15



BENCHMARKS:

BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)

BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVNEUE.
ELEVATION: 942.45 (N.A.V.D. 88)

SOIL EROSION LEGEND

- INLET FILTER
- SILT FENCE
- TREE PROTECTION FENCE

HATCH LEGEND

- PRO. ASPHALT
- PRO. CONCRETE
- EXISTING BUILDING

ALL PROPOSED PAVEMENT CROSS-SECTIONS ARE PER CITY OF NOVI SPECIFICATIONS. TYP.

NOTE:
ALL PAVING AND GRADING IMPROVEMENTS SHALL CONFORM TO THE CITY OF NOVI ENGINEERING DESIGN STANDARDS.

CLEANING SCHEDULE:

OPERATIONS TO BE PERFORMED BY CONTRACTOR	DAILY	WEEKLY	AS NEEDED
SCRAPE, CLEAN OR SWEET STREETS	X		X
DUST CONTROL MEASURES		X	X
INLET FILTERS		X	X
SILT FENCE		X	X

DISTURBED AREA NOTE:

ALL DISTURBED AREAS WILL BE STABILIZED WITHIN 30 DAYS OF GRADING

LIMITS OF DISTURBANCE

TOTAL AREA OF DISTURBANCE = 1.30 ACs

GRADING AND DRAINAGE LEGEND:

- 935.00 PROPOSED SPOT GRADE ELEVATION
- TP = TOP OF PAVEMENT
- TC = TOP OF CURB
- G = GUTTER
- FG = FINISH GRADE
- = OVERLAND FLOW DIRECTION

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.

RESTORATION NOTE:

THE CONTRACTOR SHALL RESTORE AREAS DISTURBED FROM HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER, AND TO THE SATISFACTION OF THE OWNER. LANDSCAPE AREAS REQUIRING RESTORATION SHALL INCLUDE MIN. 3" TOPSOIL AND SOD. PAVEMENT AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, WITH THE APPLICABLE CROSS-SECTION TO MATCH EXISTING.

NOTES:

1.) THIS SITE WILL BE CLEARED, GRUBBED, GRADED & LAND BALANCED IN ONE (1) PHASE.
2.) IF DE-WATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A DE-WATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
3.) IT IS THE DEVELOPERS RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCE DUE TO THE INSTALLATION OF PUBLIC UTILITIES.
4.) ALL CULVERT END SECTIONS MUST CONTAIN GROUTED RIP-RAP IN ACCORDANCE WITH ORDINANCE SPECIFICATIONS.
6.) PER OAKLAND COUNTY/CITY OF NOVI, PERMANENT SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED WITHIN FIVE (5) DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGE.
7.) CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERNAL AND EXTERNAL STREETS SHALL BE CLEANED OF ANY TRACKED MUD IMMEDIATELY FOLLOWING EACH MUD-TRACKING OCCURRENCE.
8.) PRELIMINARY APPROVAL OF THE THE STORMWATER MANAGEMENT PLANS WILL BE REQUIRED BY THE CITY OF NOVI PRIOR TO APPROVAL.
9.) SLOPES STEEPER THAN 1V:6H (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.
10.) CONTRACTOR TO INSTALL UP TO TWO MUD TRACKING MATS, AS REQUIRED, TO CONSTRUCT IMPROVEMENTS. MUD MAT LOCATION TO BE APPROVED BY THE CITY OF NOVI PRIOR TO INSTALLATION.
11.) THE EXISTING ON SITE PRE-TREATMENT STRUCTURE SHALL BE CLEANED OUT AS PART OF THIS PROJECT.

MAINTENANCE REQUIREMENTS (EROSION CONTROL)

INSPECTION & MAINTENANCE OF SOIL EROSION CONTROL MEASURES TO BE CONDUCTED ON A WEEKLY BASIS OR AS INDICATED BELOW, WHICHEVER IS SOONER.

SILT FENCE:
SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SPOIL PILE. IF THE FABRIC IS BEING UNDERCUT (I.E. IF THE WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE GIVEN PROCEDURES. FABRIC WHICH DECOMPOSES OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND SAVED WITH NEW FILTER FABRIC IMMEDIATELY. FILTER FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

INLET FILTERS:
INLET FILTERS SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS. IF THE INLET FILTER IS DAMAGED OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL WITHIN THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SPOIL PILE. IF THE INLET FILTER IS BEING DAMAGED, THE FILTER FABRIC SHOULD BE REMOVED AND REINSTALLED PER OAKLAND COUNTY, CITY OF NOVI OR AS DIRECTED BY THE CITY ENGINEER. INLET FILTERS SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

ACCESS ROADS (HAUL ROADS):
PROPER MAINTENANCE MAY INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. IT IS ALSO IMPORTANT TO CHECK AND MAINTAIN ANY BMP'S WHICH ARE USED IN CONJUNCTION WITH THIS BMP, ESPECIALLY THOSE FOR DRAINAGE. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAYS SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.

SEEDING, SODDING & MULCHING:
SEEDED, SODDED OR MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MATERIAL IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE AFOREMENTIONED MATERIALS IN PLACE. MAINTENANCE PROCEDURES SHOULD ALSO BE FOLLOWED FOR THE BMP'S WHICH WERE IMPLEMENTED TO KEEP ERODED SOIL OR CONCENTRATED RUNOFF AWAY FROM THESE TARGET AREAS. SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADING OR WHENEVER DISTURBED AREAS HAVE REMAINED UNCHANGED FOR GREATER THAN 30 DAYS OR GREATER. 3"-4" OF TOPSOIL REQUIRED.

TIMING AND SEQUENCE OF CONSTRUCTION:

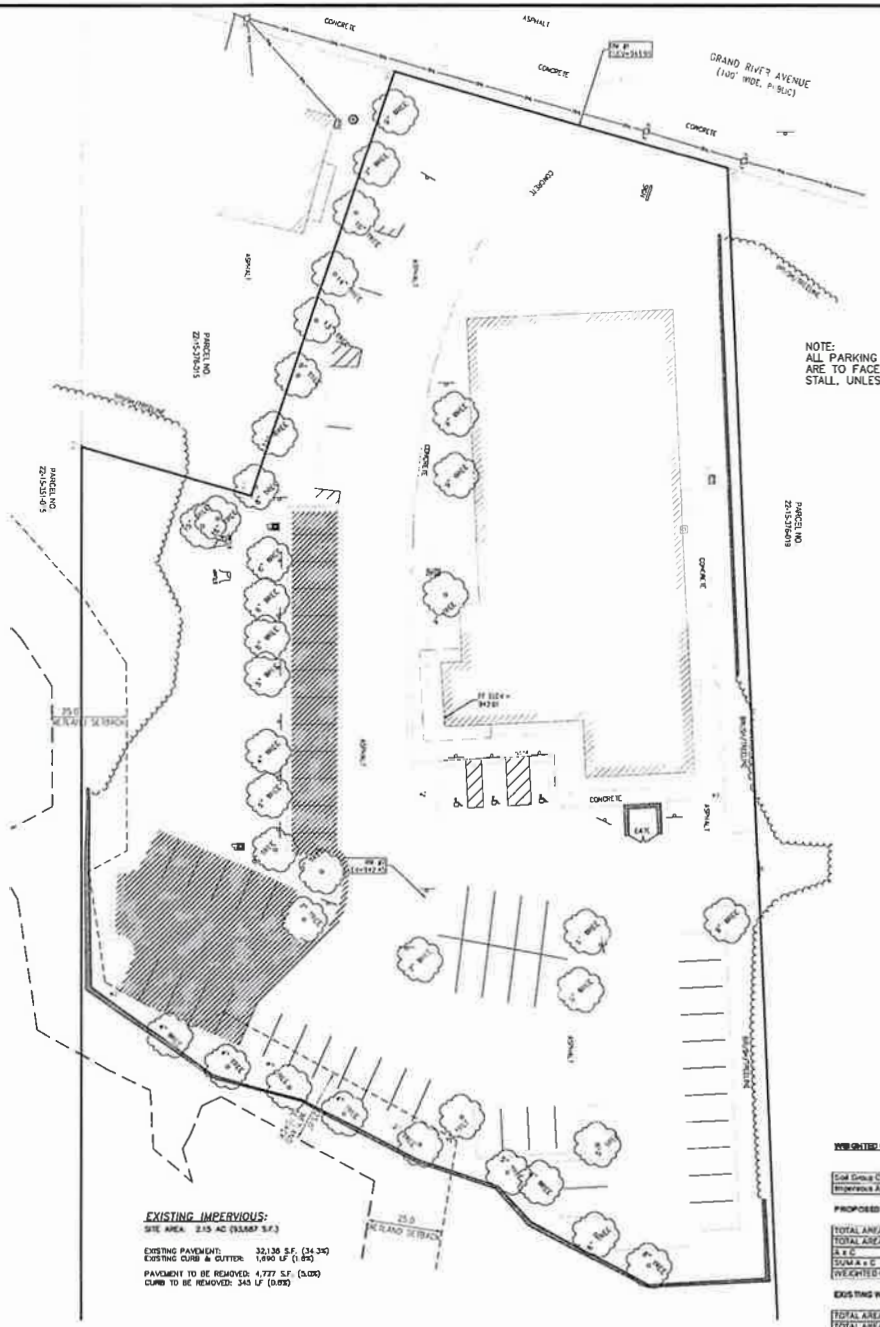
1. SOIL EROSION AND SEDIMENTATION CONTROL PRE-GRADING MEETING.
2. INSTALL SILT FENCE AND MUD TRACKING MAT.
3. INSTALL STORM SEWER SYSTEM WITH INLET FILTER CONTROLS.
4. PERFORM MASS GRADING AND PROOF ROLLING.
5. INSTALL OTHER UTILITIES.
6. INSTALL CURBING AND SUB-BASE OF AREAS TO BE PAVED, THEN INSTALL BASE COARSE OF ASPHALT.
7. FINAL GRADE SITE AND REDISTRIBUTE TOPSOIL. STABILIZE ALL DISTURBED WITH SOD, HYDROSEED APPLICATION, OR SEEDING UNDER A CRIMPED STRAW MULCH. PROVIDE LANDSCAPING AND SIGNAGE.
8. INSTALL REAR COARSE STRIPE PAVEMENTS.
9. MONITOR AND MAINTAIN ALL EROSION CONTROLS THROUGH CONSTRUCTION SEQUENCE.

NOTE: SCHEDULE SUBJECT TO CITY OF NOVI APPROVAL AND WEATHER.

NOTE: THE INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.

SECTION 15

VERSA REAL ESTATE, LLC



NOTE:
ALL PARKING DIMENSIONS SHOWN ARE TO FACE OF CURB TO END OF STALL, UNLESS OTHERWISE NOTED.

WEIGHTED C CALCULATIONS

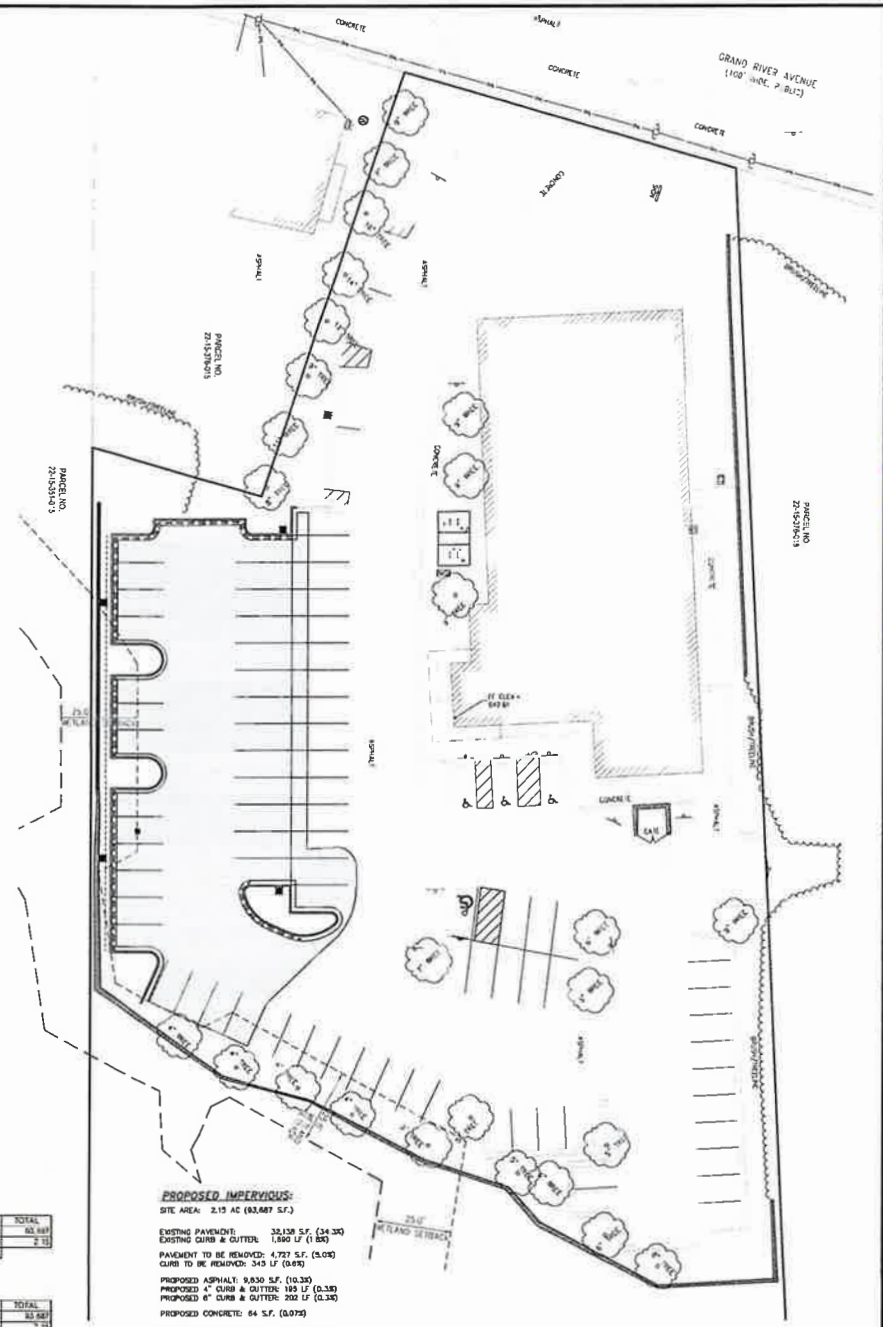
	C Factor
Soil Group C +4%	0.30
Impervious Area	0.95

PROPOSED WEIGHTED C CALCULATIONS

	PERVIOUS	IMPERVIOUS	TOTAL
TOTAL AREA (SF)	46,187	47,500	93,687
TOTAL AREA (AC)	1.06	1.09	2.15
A x C	0.32	1.04	
SUM A x C	1.35		
WEIGHTED C	0.63		

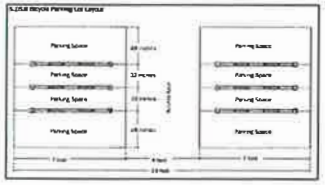
EXISTING WEIGHTED C CALCULATIONS

	PERVIOUS	IMPERVIOUS	TOTAL
TOTAL AREA (SF)	51,149	42,538	93,687
TOTAL AREA (AC)	1.17	0.98	2.15
A x C	0.35	0.93	
SUM A x C	1.29		
WEIGHTED C	0.60		



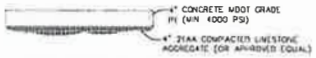
SECTION 15

VERSA REAL ESTATE, LLC

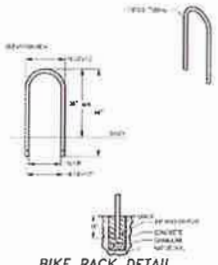


PROPOSED BIKE RACK DETAIL
NO SCALE

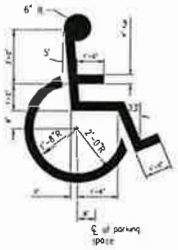
ALL BICYCLE PARKING SPACES SHALL BE PAVED AND ADJACENT TO A BICYCLE RACK OF THE INVERTED "U" DESIGN, THAT IS SOLID, CANNOT BE EASILY REMOVED WITH COMMON TOOLS, PROVIDES AT LEAST TWO (2) CONTACT POINTS FOR A BICYCLE, IS AT LEAST THREE (3) FEET IN HEIGHT, AND PERMITS THE LOCKING OF A BICYCLE THROUGH THE FRAME AND ONE (1) WHEEL WITH A STANDARD U-LOCK OR CABLE IN AN UPRIGHT POSITION. THE RACK SHALL BE SECURELY ANCHORED IN CONCRETE OR ASPHALT. ALTERNATIVE INSTALLATIONS AND DESIGNS MAY BE CONSIDERED IF THE PROPOSED RACK DESIGN FUNCTIONS SIMILAR TO THE INVERTED "U" DESIGN. C. ALL BICYCLE PARKING FACILITIES SHALL BE ACCESSIBLE FROM ADJACENT STREET(S) AND PATHWAY(S) VIA A PAVED ROUTE THAT HAS A MINIMUM WIDTH OF SIX (5) FEET. PROVIDE A MINIMUM OF EIGHT (8) BICYCLE PARKING SPACES PER CITY OF NOM REQUIREMENTS FOR THIS PROJECT.



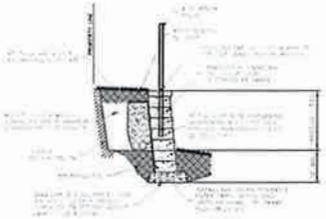
PROPOSED BIKE CONCRETE PAD CROSS-SECTION
NO SCALE



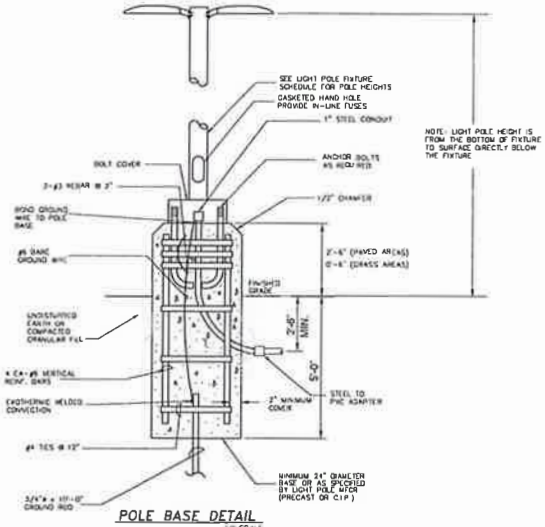
BIKE RACK DETAIL
NO SCALE



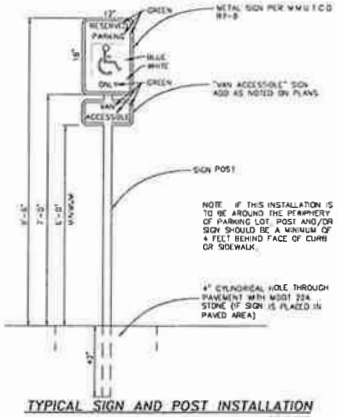
INTERNATIONAL SYMBOL FOR ACCESSIBLE PARKING
NOT TO SCALE



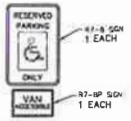
ILLUSTRATIVE BLOCK RETAINING WALL CROSS SECTION
NOT TO SCALE



POLE BASE DETAIL
NO SCALE

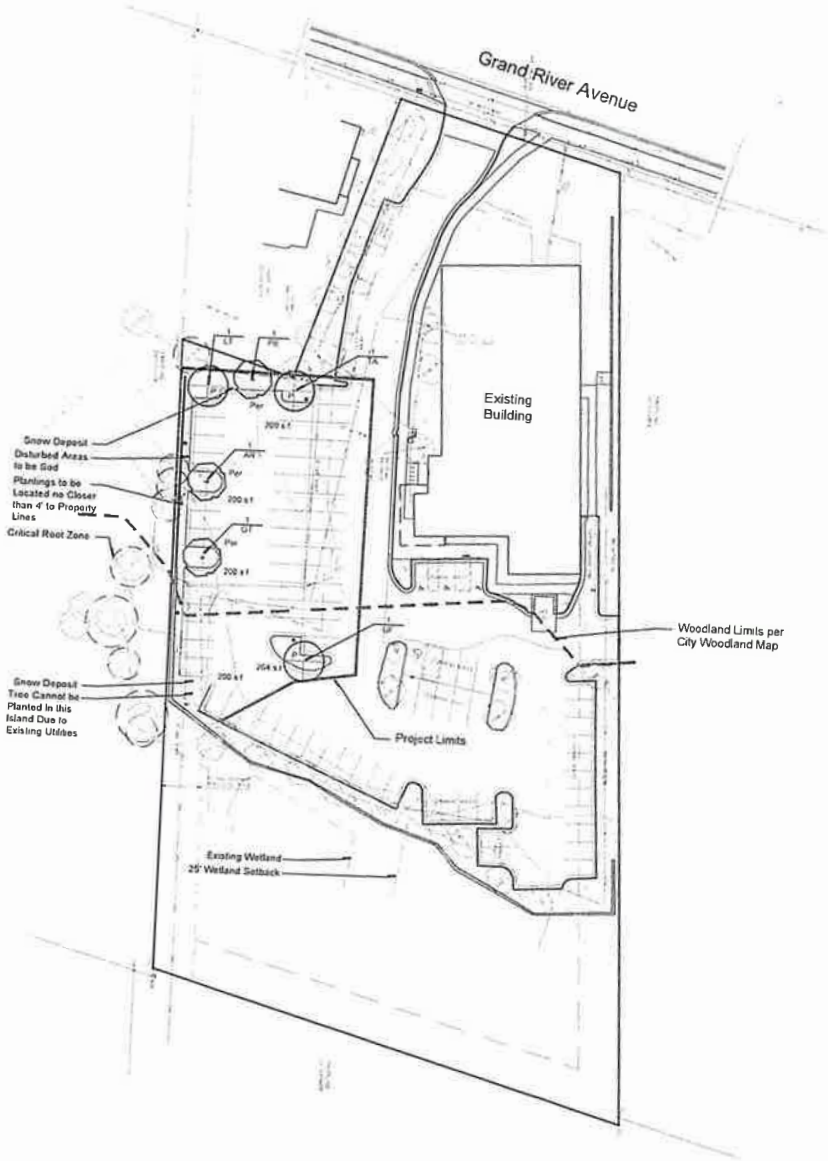


TYPICAL SIGN AND POST INSTALLATION



VAN ACCESSIBLE PARKING SIGN DETAIL

VERSA REAL ESTATE, LLC



Location Map

North
No Scale

Landscape Summary

Existing Zoning	I-1
Parking Lot Landscaping	
"P" Vehicular Use Area	8,580 s.f.
Landscape Area Required	644 s.f. (8,580 s.f. x 7.5%)
Landscape Area Provided	1,064 s.f.
Canopy Trees Required	3.2 Trees (644 / 200)
Canopy Trees Provided	3 Trees
Parking Lot Perimeter	
"PER" Perimeter	219 LF
Trees Required	6.2 Trees (219 LF / 35)
Trees Provided	3 Trees
Woodland Replacement	
Required Replacement	0 Trees

Notes:

1. No Overhead Lines Exist Along the South and West Property Lines.
2. Trees Shall be Planted no Closer than 10' to Sanitary Sewer, Utility Structures Including Hydrants and 5' from Utility Lines.
3. Trees Shall not be Planted within 4' of Property Lines.
4. Utility Boxes are not Proposed.
5. Soils Information is Found on Sheet-S.
6. No Phragmites or Japanese Knotweed Exist On-Site.
7. Existing Irrigation System to be Extended to New Development.
8. Any Landscaping Missing from the Original Approved Plans Shall be Replaced. If the Plantings are Significantly Different from What was Originally Proposed, Fill Inconsistent Gaps and Provide an as-built for the Revised Landscaping.

Plant List

Sym.	Qty.	Botanical Name	Cultivar Name	Caliper	Spacing	Root	Height	Price	Total	Comments	Quota	Native	Total
										Site Plan	25% Max		
AS	1	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3.5"	as shown	B&B		$ 400.00	$ 400.00	17%	17%	1	1
GT	1	Gleditsia triacanthos var. inermis	Honey Locust	3.5"	as shown	B&B		$ 400.00	$ 400.00	17%	17%	1	1
LT	1	Liriodendron tulipifera	Tulip Tree	3.5"	as shown	B&B		$ 400.00	$ 400.00	17%	17%	1	1
PE	1	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	3.5"	as shown	B&B		$ 400.00	$ 400.00	17%	17%	1	1
RC	1	Thuja occidentalis 'Nigra'	Redmond Arborvitae	3.5"	as shown	B&B		$ 400.00	$ 400.00	17%	17%	1	1
UF	1	Ulmus x 'Frontier'	Frontier Elm	3.5"	as shown	B&B		$ 400.00	$ 400.00	17%	17%	1	1
	6	Total Trees						$ 400.00	$ 400.00	17%	17%	1	1
											Total	6	6
											% Native	67%	
	6	4" Deep Shredded Hardwood Bark Mulch						$25/c.y.	$ 150.00				
	250	Sod						$3/s.y.	$ 750.00				
		Irrigation							$ 10,000.00				
								Total	$ 13,250.00				

ALLENDE

Seal:

Title:
Landscape Pl
Parking Lot Expansion

Project:
44725 Grand Riv
Novi, Michigan

Prepared for:
Versa Real Estate
29201 Telegraph, Suite 410
Southfield, Michigan 48034
Eric Modell 248-970-1637

Revision: 1st

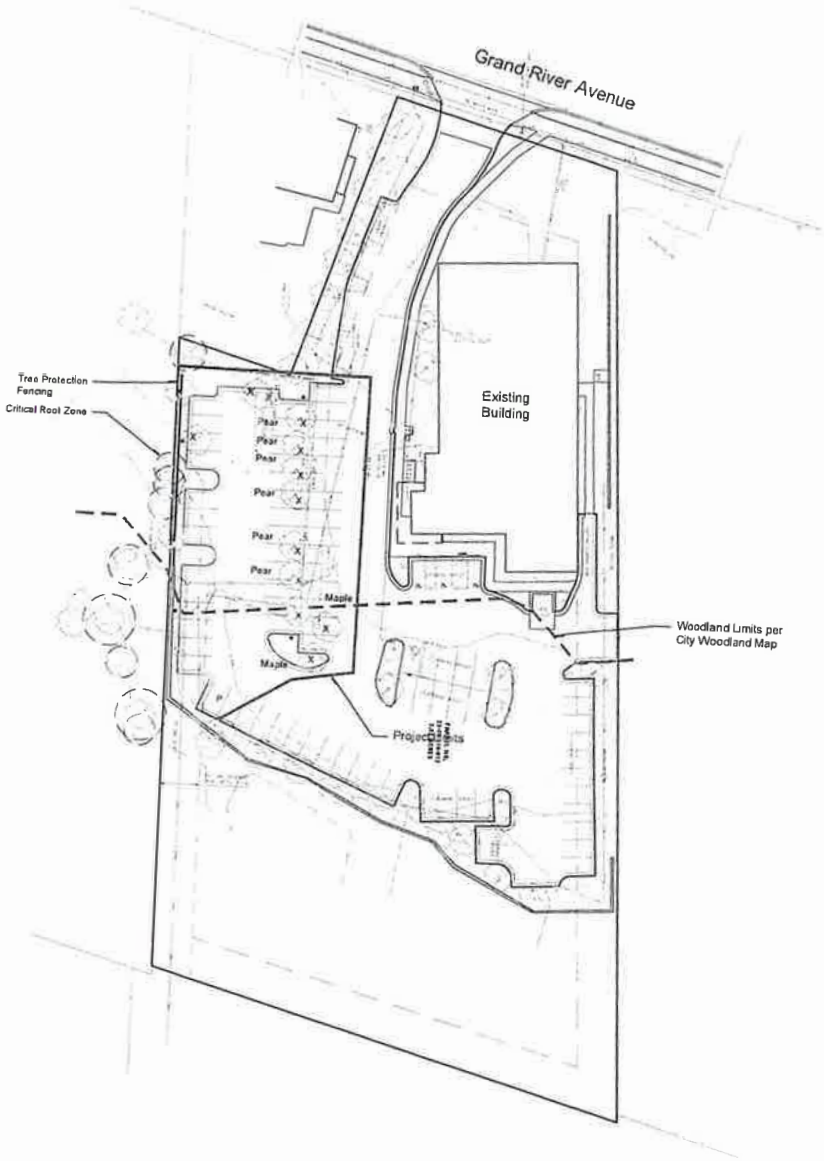
Job Number:

Drawn By: Ch

0' 15' 30' NC
1"

Sheet No.
L-1

811
Know what's below. Call before you dig.



Woodland Summary

Total Trees	24 Trees
Less Non-Regulated Trees	
Non-Regulated Trees	24 Trees
Regulated Trees Removed	0 Trees
Replacement Required	
Trees 8" - 11" 0 trees x 1=	0 Trees
Trees 11" - 20" 0 trees x 2=	0 Trees
Trees 20" - 30" 0 trees x 3=	0 Trees
Trees 30"+ 0 trees x 4=	0 Trees
Multi-Stemmed Trees (5 Trees)	0 Trees
Replacement Required	0 Trees

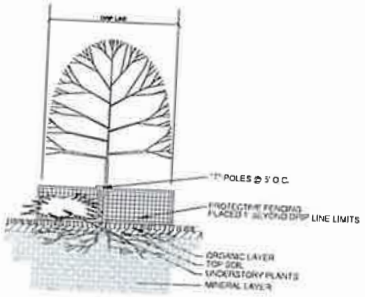
"X" Denotes Tree to be Removed

Tree Fence Installation and Removal: $330.00 (1.55 x $213.)

Tree List

TAG #	SCIENTIFIC NAME	COMMON NAME	DBH	CONDITION	STATUS	REPLACEMENTS
3125	Ulmus spp	ELM	9"	GOOD	Save	
3126	Ulmus spp	ELM	12"	GOOD	Save	
3127	Ulmus spp	ELM	10"	GOOD	Save	
3128	Acer spp	MAPLE	7"	GOOD	Save	
3129	Aesculus glabra	BUCKEYE	10"	GOOD	Save	
3129	Populus deltoides	COTTONWOOD	8"	GOOD	Save	
3130	Populus deltoides	COTTONWOOD	8"	GOOD	Remove	X
3131	Populus deltoides	COTTONWOOD	9"	GOOD	Save	
3132	Ulmus spp	ELM	11"	GOOD	Remove	X
3133	Ulmus spp	ELM	12"	GOOD	Remove	X
3134	Populus deltoides	COTTONWOOD	14"	GOOD	Remove	X
3135	Populus deltoides	COTTONWOOD	8", 7"	GOOD	Save	
3136	Populus deltoides	COTTONWOOD	8"	GOOD	Save	
3137	Populus deltoides	COTTONWOOD	8"	GOOD	Save	
3138	Acer negundo	BOX ELDER	8"	POOR	Remove	X
3139	Salix spp	WILLOW	20", 6"	GOOD	Save	
3140	Ulmus spp	ELM	24"	GOOD	Save	
3141	Salix spp	WILLOW	17", 12", 11", 8"	GOOD	Save	
3142	Malus ioensis	AMERICAN CRABAPPLE	8"	GOOD	Save	
3143	Malus ioensis	AMERICAN CRABAPPLE	8", 6", 6"	POOR	Save	
3144	Morus spp	MULBERRY	8"	GOOD	Save	
3145	Salix spp	WILLOW	13"	GOOD	Save	
3146	Ulmus spp	ELM	8"	POOR	Save	
3147	Acer spp	MAPLE	20"	GOOD	Save	
			8"	GOOD	Remove	X

Tree Identification Performed by Umior Group



1. Install Plastic or Wood Orange Snow Fencing (Shall be Installed at or Beyond the Drip Line Unless Noted Otherwise on the Plans).
2. Install Protective Fencing Around Trees to be Preserved Prior to Any Site Work Including Clearing, Grubbing, Stripping, Grading, Excavation, Demolition, Or Construction Activity Of Any Kind.
3. Fencing Shall be Placed Where Required by the City.
4. Signs to Consist of Wood and Fluorescent Orange Ink. Shall be Posted Along the Fencing Adjacent to Excavation.
5. No Fence Shall Contain any Sharp Edges Which Could Cut Or Puncture Tree Bark and Wood Chipper Approved Plastic are Ok.
6. No Storage or Placing of Chemicals Allowed Within Areas Protected Fencing. This Shall Include but not Limited to Fuel, Oil, Paint, Solvents, Stone, Rubble, Debris.
7. No Buildings, Trailers or Structures Shall Be Placed within Protected Areas.
8. No Grade Changes or Excavation Shall Occur within Protected Areas.
9. No Pedestrian or Equipment Traffic Shall Be Allowed within Protected Areas.
10. Authority Shall Be the Woodland Inspector Or Other Qualified Representative Appointed by the City.
11. Any Proposed Grade Changes to be Discussed Prior to the Protected Areas. Alterations Shall Not be Approved Through a Professional Arborist. No Grade Changes to be Made.
12. Supervise Excavation of Any Kind in Proximity of Trees. Any Damaged Trees to be Treated Immediately.
13. Replacement Trees or Regulated Trees Adjacent to the Property are Also Required.
14. Protected Whether or Not they are Shown on the Plan.

TREE PROTECTION DETAIL

NO SCALE

Know what's below. Call before you dig.

ALLENDE

Seal:

Title:

Tree Plan

Parking Lot Expansion

Project:

44725 Grand Riv

Novi, Michigan

Prepared for:

Versa Real Estate
29201 Telegraph, Suite 410
Southfield, Michigan 48034
Eric Modell 248-979-1637

Revision: Is

Revised Fe

Revised Ap

Job Number:

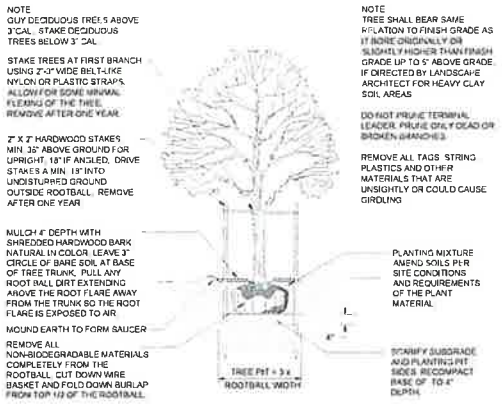
26-016

Drawn By: Ch

0' 15' 30' NC

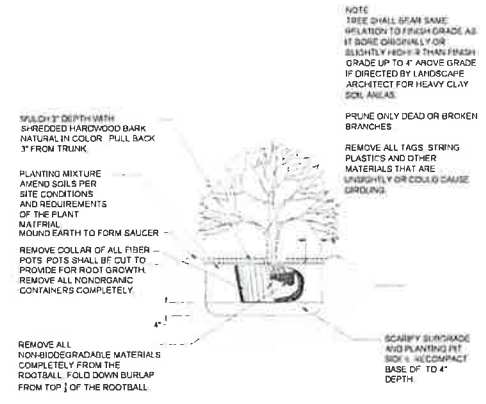
Sheet No.

L-2



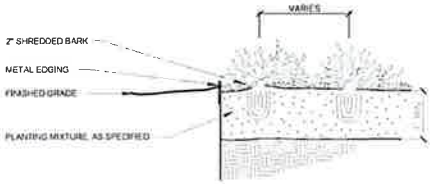
DECIDUOUS TREE PLANTING DETAIL

EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

NOT TO SCALE



PERENNIAL PLANTING DETAIL

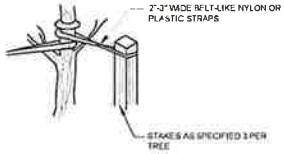
Not to scale

NOTE
ORIENT STAKING/GUYING TO PREVAILING WINDS, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.

USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA

STAKING/GUYING LOCATION

GUYING DETAIL



STAKING DETAIL

TREE STAKING DETAIL

Not to scale

LANDSCAPE NOTES

1. All plants shall be north Midwest American region grown, No. 1 grade plant materials and shall be true to name, free from physical damage and wind burn
2. Plants shall be full, well-branched, and in healthy vigorous growing condition.
3. Plants shall be watered before and after planting is complete.
4. All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following Township approval.
5. All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
6. Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
7. "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
8. Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
9. All plantings shall be mulched per planting details located on this sheet.
10. The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
11. No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
12. The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
13. The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
14. The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
15. Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
16. The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
17. A pre-emergent weed control agent, "Prism" or equal, shall be applied uniformly on top of all mulching in all planting beds.
18. All landscape areas shall be provided with an underground automatic sprinkler system.
19. Sod shall be two year old "Baron/Cheriadelphi" Kentucky Blue Grass grown in a sod nursery on farm soil.

CITY OF NOVI NOTES

1. All landscape islands shall be backfilled with a sand mixture to facilitate drainage
2. All proposed landscape islands shall be curbed
3. All landscape areas shall be irrigated.
4. Overhead utility lines and poles to be relocated as directed by utility company of record
5. Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
6. All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material within 3 Months of Discovering the Need for Replacement. One cultivation per month shall occur in July-August.
7. All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
8. All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4' diameter circle of shredded hardwood mulch 3" away from trunk. All perennial, annual and ground cover beds shall receive 2" of dark colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size
9. All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their Installation.

NOTES
THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE BETWEEN MARCH-NOVEMBER.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THIS WARRANTY PERIOD

811 Know what's below. Call before you dig.

ALLENDE

LAND PLANNING / LANDSCAPE

Seal:

Title:

Landscape D

Parking Lot Expansion

Project:

44725 Grand Riv

Pontiac, Michigan

Prepared for:

Varsa Real Estate
29201 Telegraph, Suite 410
Southfield, Michigan 48034
Eric Modell, 248-979-6137

Revision: Iss

Review Fe

Revised Ap

Job Number:

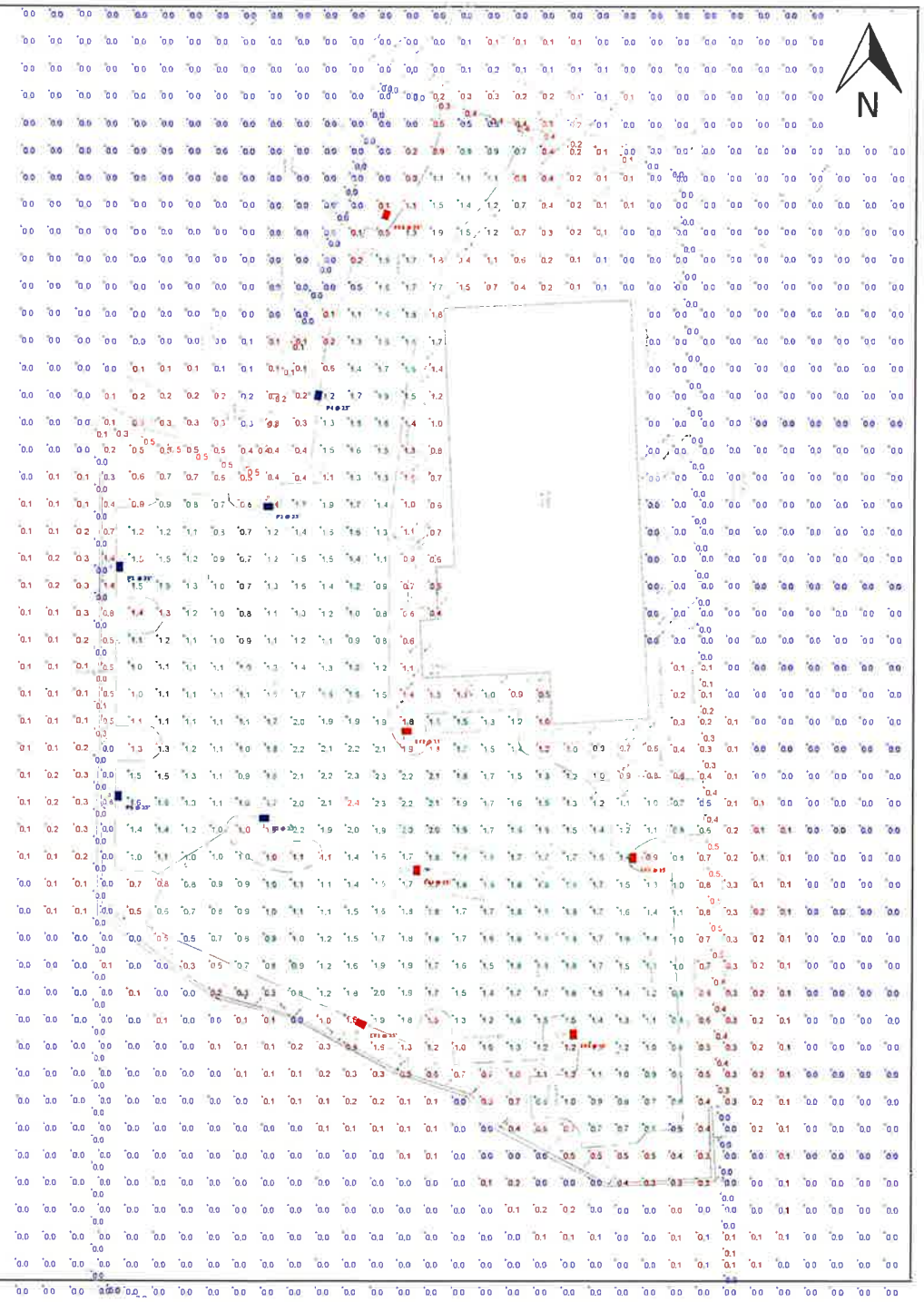
Drawn By: Ch

Sheet No.

L-3

Plan View

Scale - 1" = 20ft



Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	LLF	Wattage
	P1	2	Lithonia Lighting	DSX0 LED P4 30K 80CRI TFTM HS	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Forward Throw Houseside Shield	0.9	93.04
	P2	1	Lithonia Lighting	DSX0 LED P1 30K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	0.9	33.21
	P3	1	Lithonia Lighting	DSX0 LED P1 30K 80CRI LCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield	0.9	33.21
	P4	1	Lithonia Lighting	DSX0 LED P4 30K 80CRI BLC3 EGS	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Type 3 Extreme Backlight Control External Glare Shield	0.9	93.04
	EX1	1	EXISTING	TO BE CONFIMRED BY OWNER	TO BE CONFIMRED BY OWNER	0.9	93.04
	EX2	4	EXISTING	TO BE CONFIMRED BY OWNER	TO BE CONFIMRED BY OWNER	0.9	93.04
	EX3	1	EXISTING	TO BE CONFIMRED BY OWNER	TO BE CONFIMRED BY OWNER	0.9	93.04

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.4 fc	2.4 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	✱	1.4 fc	2.4 fc	0.5 fc	4.8:1	2.8:1
Property Line	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE
4. ELECTRICAL SERVICE TO SERVICE TO BE UNDERGROUND
5. NO FLASHING LIGHT(S) WILL BE PERMITTED WITHIN SITE
6. ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES SHALL BE PERMITTED AFTER HOURS

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734--266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

d^series

D-Series Size 0

LED Area Luminaire

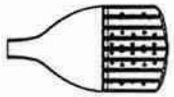
Catalog Number

Notes

Type

Specifications

EPA:	0.44 ft² (0.04 m²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



Design Select options indicated by this color background.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

design select

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED

Series

DSX0 LED

LEDs

Forward optics

P1 P5
P2 P6
P3 P7
P4

Rotated optics

P10[1] P12[1]
P11[1] P13[1]

Color temperature[2]

(this section 70CRI only)

30K 3000K
40K 4000K
50K 5000K

27K 2700K
30K 3000K
35K 3500K
40K 4000K
50K 5000K

Color Rendering Index[3]

70CRI
70CRI
70CRI

80CRI
80CRI
80CRI
80CRI
80CRI

Distribution

AFR Automotive front row
T15 Type 15 short
T2M Type II medium
T3M Type III medium
T3LG Type III low glare[1]
T4M Type IV medium
T4LG Type IV low glare[1]
TFTM Forward throw medium
T5M Type V medium
T5LG Type V low glare
T5W Type V wide
BLC3 Type III backlight control[1]
BLC4 Type IV backlight control[1]
LCCO Left corner cutoff[1]
RCCO Right corner cutoff[1]

Voltage

MVOLT (120V-277V)[1]
HVOLT (347V-480V)[1,4]
XVOLT (277V-480V)[1,4]
120[1,4,5]
208[1,4,5]
240[1,4,5]
277[1,4,5]
347[1,4,5]
480[1,4,5]

Mounting

Shipped included

SPA Square pole mounting (4@ drilling, 3.5" min. SQ pole)
RPA Round pole mounting (4@ drilling, 3" min. RND pole)
SPA5 Square pole mounting (4@ drilling, 3" min. SQ pole)[1]
RPA5 Round pole mounting (4@ drilling, 3" min. RND pole)[1]
SPANW Square narrow pole mounting (4@ drilling, 3" min. SQ pole)
WBA Wall bracket[1]
MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)

Control options

Shipped installed

NLTAIR2 PIRHN Nlight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 25fc[1,5,6,7,8,9]
PIR High face motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 25fc[5,6,7,8,9]
PER NEMA twist-lock receptacle only (controls ordered separately)[7]
PER5 Five-pin receptacle only (controls ordered separately)[7,8]
PER7 Seven-pin receptacle only (controls ordered separately)[7,8]
FAO Field adjustable output[1,7,8]
BL30 Bi-level switched dimming, 30%[7,8]
BL50 Bi-level switched dimming, 50%[7,8]
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)[7]

Other options

Shipped installed

HS Houseside shield (black finish standard)[8] (2-5)
L90 Left rotated optics[1]
R90 Right rotated optics[1]
CCE Coastal Construction[7]
HA 50°C ambient operation[12]
BAA Buy America(n) Act and/or Build America Buy America Qualified
SF Single fuse (120, 277, 347V)[4]
DF Double fuse (208, 240, 480V)[4]

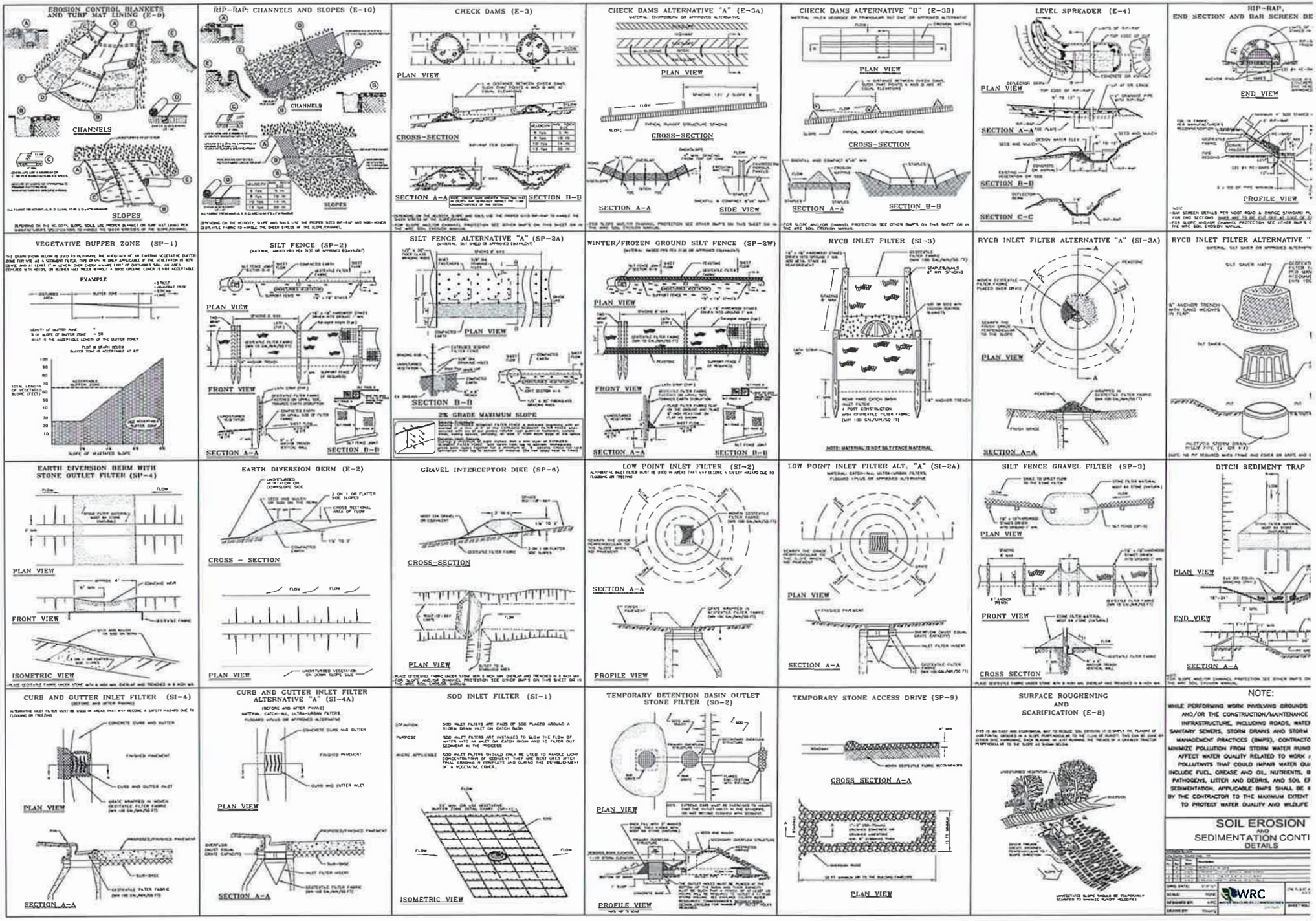
Shipped separately

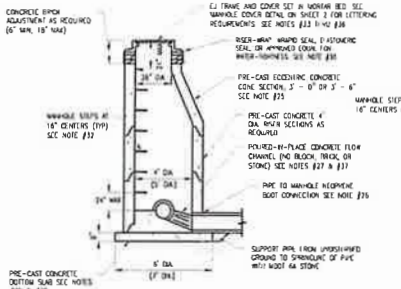
BLSR External Glare Shield (reversible, field install required, matches housing finish)
BS20 Bird Spikes (field install required)

Finish (required)

DDBXD Dark Bronze
DBLXD Black
DNAXD Natural Aluminum
DWHXD White
DDBTXD Textured dark bronze
DBLTXD Textured black
DNATXD Textured natural aluminum
DWHGXD Textured white

1 Acuity Way • Decatur, Georgia 30035 • Phone: 1-800-705-SERV (7378) •

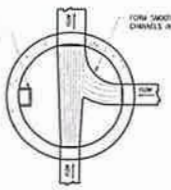

EROSION CONTROL BLANKETS AND TURF MAT LINING (E-9)
CHANNELS
SLOPES
RIP-RAP: CHANNELS AND SLOPES (E-10)
CHANNELS
SLOPES
CHECK DAMS (E-3)
PLAN VIEW
CROSS-SECTION
SECTION A-A
SECTION B-B
CHECK DAMS ALTERNATIVE "A" (E-3A)
PLAN VIEW
CROSS-SECTION
SECTION A-A
SIDE VIEW
CHECK DAMS ALTERNATIVE "B" (E-3B)
PLAN VIEW
CROSS-SECTION
SECTION A-A
SECTION B-B
LEVEL SPREADER (E-4)
PLAN VIEW
SECTION A-A
SECTION B-B
SECTION C-C
RIP-RAP, END SECTION AND BAR SCREEN DE
END VIEW
PROFILE VIEW
VEGETATIVE BUFFER ZONE (SP-1)
EXAMPLE
SILT FENCE (SP-2)
PLAN VIEW
FRONT VIEW
SECTION A-A
SECTION B-B
SILT FENCE ALTERNATIVE "A" (SP-2A)
PLAN VIEW
SECTION B-B
2% GRADE MAXIMUM SLOPE
WINTER/FROZEN GROUND SILT FENCE (SP-2W)
PLAN VIEW
FRONT VIEW
SECTION A-A
SECTION B-B
RYCB INLET FILTER (SI-3)
RYCB INLET FILTER ALTERNATIVE "A" (SI-3A)
PLAN VIEW
SECTION A-A
RYCB INLET FILTER ALTERNATIVE "
EARTH DIVERSION BERM WITH STONE OUTLET FILTER (SP-4)
PLAN VIEW
FRONT VIEW
ISOMETRIC VIEW
EARTH DIVERSION BERM (E-2)
CROSS - SECTION
PLAN VIEW
GRAVEL INTERCEPTOR DIKE (SP-6)
CROSS-SECTION
PLAN VIEW
LOW POINT INLET FILTER (SI-2)
SECTION A-A
PROFILE VIEW
LOW POINT INLET FILTER ALT. "A" (SI-2A)
PLAN VIEW
SECTION A-A
SILT FENCE GRAVEL FILTER (SP-3)
PLAN VIEW
FRONT VIEW
CROSS SECTION
DITCH SEDIMENT TRAP
PLAN VIEW
END VIEW
SECTION A-A
CURB AND GUTTER INLET FILTER (SI-4)
PLAN VIEW
SECTION A-A
CURB AND GUTTER INLET FILTER ALTERNATIVE "A" (SI-4A)
PLAN VIEW
SECTION A-A
SOD INLET FILTER (SI-1)
ISOMETRIC VIEW
TEMPORARY DETENTION BASIN OUTLET STONE FILTER (SO-2)
PLAN VIEW
PROFILE VIEW
TEMPORARY STONE ACCESS DRIVE (SP-9)
CROSS SECTION A-A
PLAN VIEW
SURFACE ROUGHENING AND SCARIFICATION (E-8)
NOTE:
SOIL EROSION AND SEDIMENTATION CONTI DETAILS
WRC



STANDARD PRECAST MANHOLE

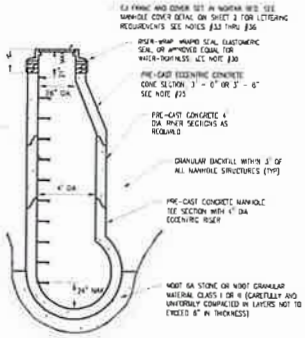
SEE NOTE §24

NOTE:
STRUCTURE DIAMETER SHALL BE AS SHOWN ON APPROVED PLANS AND SHALL BE DETERMINED BY THE DIAMETER AND ANGLES OF THE SEWER. SEE MANHOLE SIZING CHART ON THIS SHEET



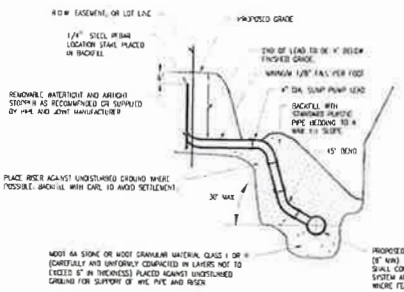
CHANNEL DETAIL

SEE NOTE §33

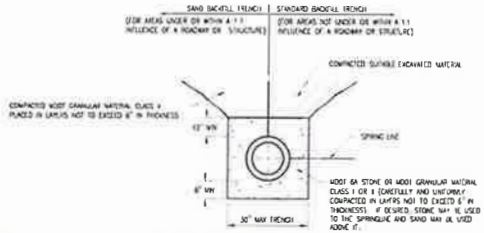


PRE-CAST TEE MANHOLE DETAIL

SEE NOTE §24

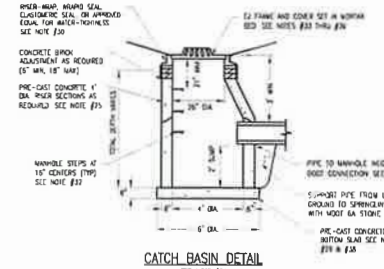


HOUSE LEAD DETAIL FOR 4" DIA. PLASTIC SUMP PUMP LEADS



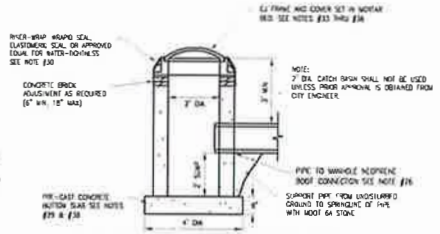
BEDDING AND TRENCH BACKFILL DETAIL FOR 12" DIAMETER AND SMALLER PIPE (PVC AND HDPE PIPE)

SEE NOTES §18 THRU §23



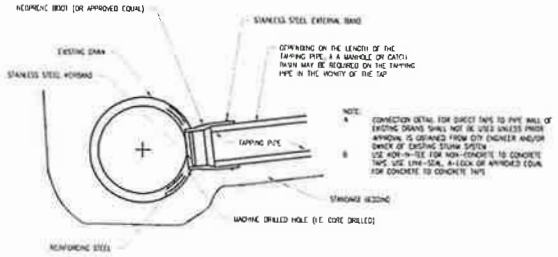
CATCH BASIN DETAIL

SEE NOTE §24

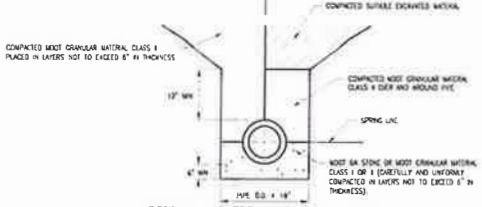


2' DIA. YARD BASIN AND CATCH BASIN DETAIL

SEE NOTE §24

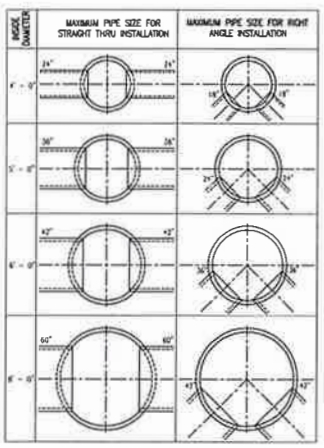


KOR-N-TEE TAP FOR CONCRETE PIPE



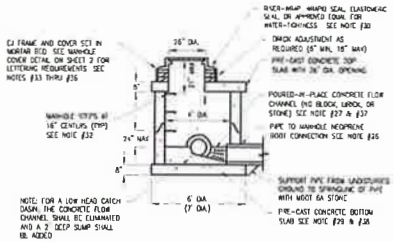
BEDDING AND TRENCH BACKFILL DETAIL FOR 24" DIAMETER AND SMALLER PIPE (CONCRETE AND METAL PIPE)

SEE NOTES §18 THRU §23



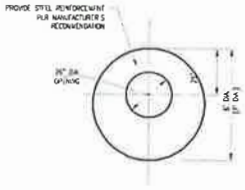
MANHOLE SIZING CHART

SEE NOTES §28 & §31

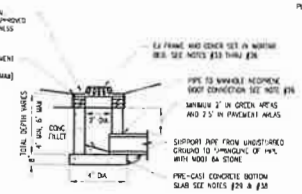


LOW HEAD MANHOLE AND CATCH BASIN DETAIL

SEE NOTE §24

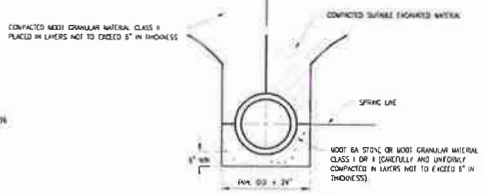


PRE-CAST CONCRETE TOP SLAB DETAIL, 8" THICK



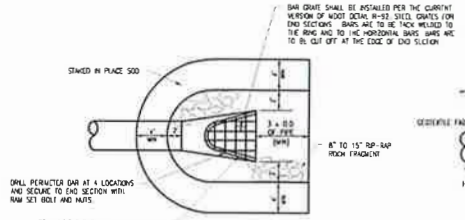
PRECAST 2' DIA. INLET DETAIL

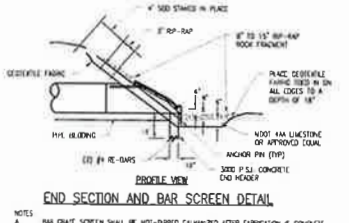
SEE NOTE §24

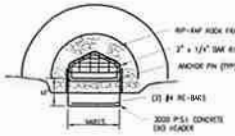


BEDDING AND TRENCH BACKFILL DETAIL FOR 27" DIAMETER AND LARGER PIPE (CONCRETE AND METAL PIPE)

SEE NOTES §18 THRU §23







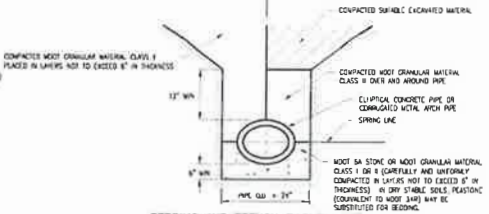
END SECTION AND BAR SCREEN DETAIL

NOTES

A BAR GRATE SCREEN SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IS COMPLETE

B HINGED BAR GRATES WILL BE REQUIRED FOR HEADWALLS PER DCWRC OR MDOT STANDARDS WHENEVER IS STRICTER

C RIP-RAP MAY NOT CONTAIN ANY BROKEN CONCRETE. STANDARD RIP-RAP: 8" TO 15" ROCK; HEAVY DUTY RIP-RAP: 18" TO 24" ROCK



BEDDING AND TRENCH BACKFILL DETAIL FOR ELLIPTICAL CONCRETE PIPE OR CORRUGATED METAL ARCH PIPE

SEE NOTES §18 THRU §23

CITY OF NOVI

CITY OF NOVI | 45175 WEST 10 MILE ROAD | NOVI, MI 48375 | P (248) 347-0454 | WWW.CITYOFNOVI.ORG

DATE | DESCRIPTION | BY | APPROVED

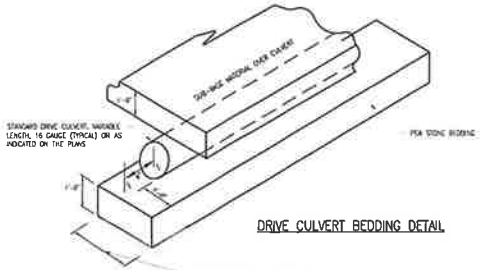
SCALE: N.T.S.

DRAWN BY: DAN KRAUSKOPF

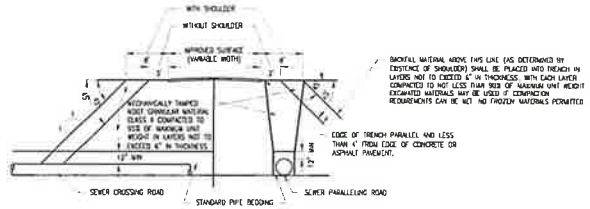
DATE: May 21, 2014

CITY OF NOVI

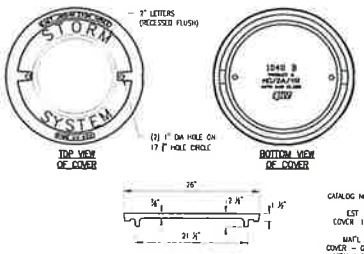
DRAWING PATH: P:\0175_8180\15611100_Engineering Design Manual\Standard Detail Revisions\Drawings

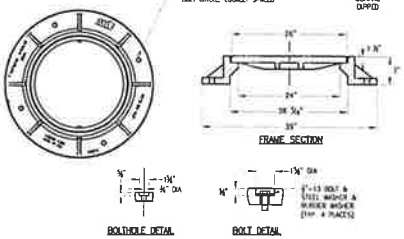


DRIVE CULVERT BEDDING DETAIL



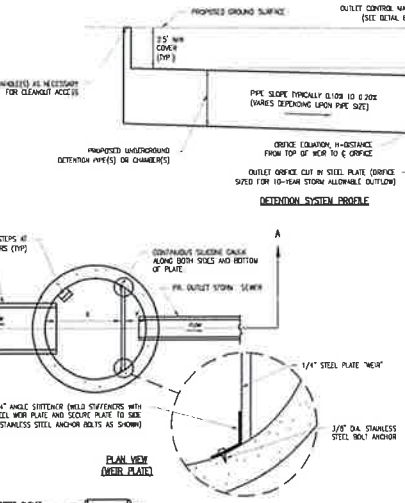
SAND OR GRAVEL BACKFILL DETAILS FOR SEWERS UNDER GRAVEL, CONCRETE OR ASPHALT PAVEMENTS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS





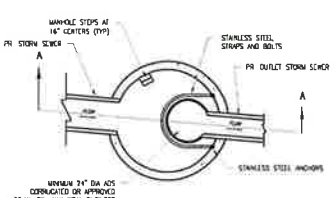
CAST IRON MANHOLE COVER

SEE NOTE #33

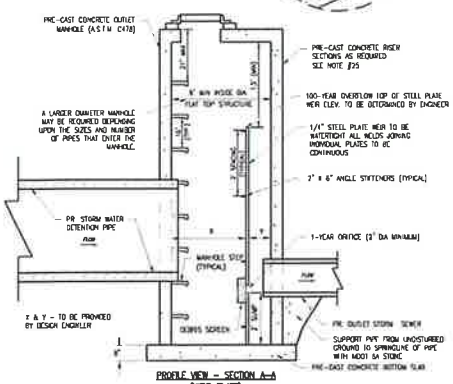


DETENTION SYSTEM PROFILE

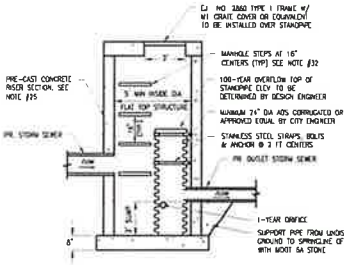
PLAN VIEW (WEIR PLATE)



PLAN VIEW (STANDPIPE OUTLET)



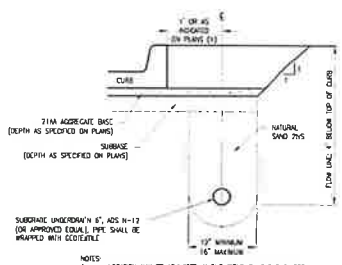
PROFILE VIEW - SECTION A-A (WEIR PLATE)



PROFILE VIEW - SECTION A-A (STANDPIPE OUTLET)

TYPICAL UNDERGROUND DETENTION AND OUTLET MANHOLE DETAILS

SEE NOTE #24



NOTES:

A LOCATION MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER

B ALL UNDERDRAIN SHALL BE APPROVED PLASTIC PIPE PER MDOT SECTION 605.07. METAL PIPE SHALL NOT BE USED.

C ALL UNDERDRAIN SHALL OUTLET TO DRAINAGE STRUCTURE

D UNDERDRAIN CONNECTIONS (AT LOW POINTS) SHALL BE MADE AS CLOSE TO THE STRUCTURE INVERT AS PRACTICAL WITH A SPIRAL WRAP OF THE STRUCTURE USED TO MAKE THE TRANSITION FROM THE REQUIRED FLOW LINE DEPTH TO STRUCTURE INVERT.

SUBGRADE UNDERDRAIN, 6"

STORM SEWER CONSTRUCTION NOTES

GENERAL NOTES:

1. All materials and workmanship shall be in accordance with the standards and specifications of the City of Novi.
2. No storm sewer is to be installed without the City's inspector present.
3. Three (3) working days prior to construction, the Contractor shall telephone MISS DIG (811 or 1-800-482-7171) for underground facility locations and shall also notify representative of other utilities located in the vicinity of the work.
4. Trenches that are to be left open overnight shall be enclosed with suitable fencing and lighted barricades.
5. The materials specified below may be substituted with an approved equal as determined by the City. It is at the sole discretion of the City to determine if a material is acceptable and can be utilized. Written authorization must be obtained prior to ordering or installing the approved equal.

STORM SEWER NOTES:

6. Type and class of pipe shall be as specified on plans.

Concrete Pipe Requirements

7. All round reinforced concrete pipe (RCP) shall meet the requirements of ASTM C76 with modified bungee and groove joints with rubber gaskets manufactured to meet the requirements of ASTM C443. Catch basin sewers shall be Class III RCP.
8. The inside joint of pipe over 36" diameter shall be painted with mortar upon completion of backfilling operations.
9. All elliptical reinforced concrete pipe shall meet the requirements of ASTM C507 with tongue and groove joints with bituminous (Butyl) (T10) joint material meeting the requirements of C443. Elliptical concrete pipe joints shall also be wrapped per ASTM C877. In addition, elliptical concrete pipe of 42" equivalent size and larger shall require inside concrete pointing.
10. Video of the interior of storm sewer 12" or greater in diameter shall be submitted to the City prior to final acceptance. Said video shall be obtained a minimum of 30 days after construction is completed. Typical items to be reviewed on the video will include pipe deflections, pipe settlement, lead connections, joints and pipe cleanliness. If the videotape review reveals unsatisfactory conditions, the Contractor shall correct the condition at his own cost and shall then re-video the affected sewer for review by the City.

Plastic Pipe Requirements

11. Per City standards, the maximum allowable pipe size for plastic storm sewer is 12" diameter. Larger diameter plastic storm sewer may be approved by the City, depending on site conditions.
12. All plastic storm sewer pipe shall have a smooth interior.
13. PVC pipe shall meet the requirements of ASTM D3034 and F949 with push-on type joints meeting the requirements of ASTM D3212 and F477.
14. ABS Truss pipe shall meet the requirements of ASTM D2680 with push-on type joints meeting the requirements of ASTM D3212 and F477.
15. HDPE pipe shall meet the requirements of AASHTO M294 and ASTM D3350 with push-on type joints meeting the requirements of ASTM D3212 and F477.
16. The completed installation of all plastic pipe shall at no point have out-of-round pipe deflections greater than 5% of normal diameter of pipe. Deflection testing shall be performed with a nine point mandrel a minimum of 30 days after installation and again 1 year after installation. Video of the interior of the storm sewer will also be required of these line segments. A proving ring to verify the mandrel must be provided prior to testing.
17. Plastic pipe will not be permitted under roadways.

Bedding Requirements

18. Bedding shall be used as called for on the details.
19. Where unstable ground conditions are encountered, alone bedding shall be used as directed by the Engineer in order to provide a stable foundation for pipe and manholes.

Backfill Requirements

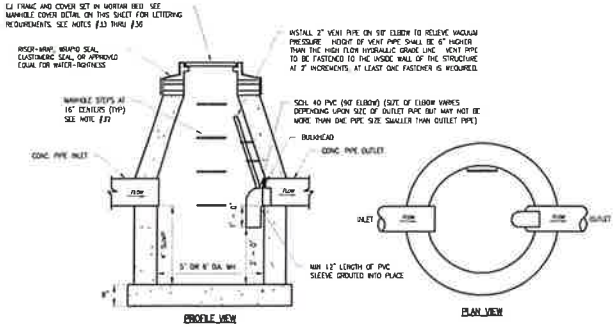
20. Backfill shall be compacted above pipe or as indicated on construction drawings. Trench backfill shall be of a suitable material and shall be free of any organic materials and rocks larger than 3" in size. Backfill shall be compact into trench and compacted with a small dozer or other approved method.
21. Where trench is within a 1:1 influence of streets, alleys, sidewalks, driveways, parking areas and structures, sand backfill shall be used which shall consist of MDOT granular material Class II compacted in layers not to exceed 6" in thickness to a density of 95% as determined by MDOTD T99.
22. When backfilling trench of PVC pipe, manufacturer's specifications must be strictly adhered to.
23. No frozen material shall be buried more than 4' below the final elevation of the ground.

DRAINAGE STRUCTURE REQUIREMENTS:

24. Shop drawings shall be submitted to and approved by the City for each proposed structure prior to installation.
25. Precast reinforced concrete sections with modified tongue and groove joint and rubber gaskets shall conform to ASTM C-478. Core section shall be eccentric and have stub inserts cast in place with a flush top surface.
26. All storm structures shall have OCWRC/City of Novi approved flexible, watertight seals where pipes pass through walls. Flexible rubber manhole joints shall be Kor-Seal, Press-Wedge, Link-Seal, Kor-N-Seal boot (with stainless steel bands), or approved equal.
27. Pipe shall be flush with the inside wall of structure and shall not protrude more than 1" into the structure. Pipe shall be painted up with a smooth finish at its intersection with the structure wall.
28. No openings shall be made in precast units which would leave less than 12" of undisturbed precast structure wall between pipes (as measured between outside pipe walls) or would remove more than 40% of the circumference along any horizontal plane.
29. Precast risers placed on the concrete base shall be set in a full bed of mortar. All joints & lifholes shall be pointed up with mortar on the outside and inside.
30. Plaster all outside masonry surfaces with 1:3:6 masonry cement (type M) 1/2" thick.
31. All manholes and catch basins shall be 4' or 5' in diameter unless otherwise indicated on construction drawings. Larger diameter drainage structures (6', 7', 8', 10', and 12' diameter) may be needed for large storm sewer pipe or for structures where the angles between entering pipes require a larger diameter structure in order to maintain at least 1' of structure wall between the pipes. 2' diameter catch basins and inlets may be used where approved by the City Engineer.
32. Structure steps are to be installed at the plant by the manufacturer of the structure. The steps are to be 16 inches on center located 8" from the centerline of the main sewer line. The steps shall be made of No. 4 deformed steel rod encased with copolymer polypropylene jacket and meet the requirements of ASTM D4101, Type II, Grade H9108 or approved equal.
33. Manhole frame and cover shall be EJ 1040, type "B" solid cover or as per construction drawings. Lettering shall be used only for public storm system. All others shall have no lettering.
34. Catch Basin and Inlet frame and cover shall be:
    - 34.1. EJ 3045, type "M" cover and type "T1" back set (with "Dump No Waste" logo) with straight face curb and gutter.
    - 34.2. EJ 3085, type "M" cover and 3060 "T1" back set (with "Dump No Waste" logo) with mountable curb and gutter and integral curb and gutter.
    - 34.3. EJ 1040, type "D3" cover (baseline grate) to be used as structures located in ditches, swales and rear yard catch basins. If within 6' of road, type "H" cover (road grate) shall be used.
    - 34.4. EJ 1030, type "A" cover to be used on all 2" cleanouts and structures not located at storm water collection points. EJ 1070, type "A" cover may also be used on sump pump cleanout structures.
    - 34.5. EJ 1030, type "D1" cover (baseline grate) to be used on all 2" structures located in ditches, swales and rear yard catch basins.
35. The City reserves the right to require a change in structure covers upon final grade and walk-through inspection if deemed necessary due to site conditions.
36. Frames shall be set in full bed of mortar and the slab shall be overlapped to prevent leakage.
37. A proper channel shall be constructed within the existing manhole or other structure at which the connection is to be made to direct the flow to the existing outlet in a manner that will tend to create the least amount of turbulence. The channel shall be constructed to the same size as the inside diameter of the existing pipes, and shall be built to height of 1/3 the existing pipe diameter with a minimum of 2X slope on the benches.
38. Concrete base for manhole, catch basin, and inlet shall be MDOT grade 2XP, 8" thick, 3000 psi.
39. When tapping into an existing structure a brick collar shall be placed 12" thick around the pipe and extended 12" beyond the opening. If pre-cast section is tapped, hand mixed and use as maintenance with brick collar. Tape through structure joints or core sections are prohibited unless approved by the City.
40. The first accessible structure prior to discharge into a roadway or detention basin shall contain a permanent 4' sump.
41. A 4' diameter Oil/Gas Separator Structure shall be installed prior to discharge into a roadway, detention basin or open drainage course as directed by the City.

SUMP PUMP LEAD REQUIREMENTS:

42. All sump pump leads connected to a drain shall be pre-manufactured.
43. Sump pump leads shall be (1) SDR 35, non-perforated, solid wall PVC, (2) ARMCO Truss Pipe, or (3) approved equal, with premium joints.
44. Sump collection system pipes shall be connected at drainage structures and shall be cored and bonded. However, if approved by the engineer, tees to 12" storm sewer may be made with a Fernco (2 Tap or approved equal. Taps to other size storm sewer may be made with a Romac saddle, NOR-W-TEE sewer connector for concrete pipe, or approved equal.
45. Ends of all 4" sump pump leads shall be temporarily capped and their location staked, witnessed and recorded.
46. All sump pump leads are to be taken to the property line, easement line or as indicated on the plan.
47. Sump pump cleanouts shall be a minimum inside diameter of 2' and be constructed at changes of alignment ends of sump pump mains or as indicated on



OIL/GAS SEPARATOR DETAIL FOR 18" DIAMETER AND SMALLER OUTLET PIPE

(FOR OUTLET PIPES LARGER THAN 18" IN DIAMETER AN ALTERNATE DESIGN MUST BE APPROVED BY THE CITY ENGINEER)

SEE NOTE #41

CITY OF NOVI

CITY OF NOVI | 45175 WEST 10 MILE ROAD | NOVI, MI 48375 | P: (248) 347-0468 | WWW.CITYOFNOVI.ORG

JAC	VCM	AMC	
JUNE 2012	TM	BE	
REVISED			

SCALE: N.T.S. | DATE | REVISED | DATE | REVISED | DATE

COUNTY: OAKLAND COUNTY | SP-1

CITY OF NOVI

DRAWING PATH: P:\2010\2010-0121 Engineering Design Manual\Standard Detail Revisions\Storm.dwg May 24, 2012 - 11:15am

COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETINGDATE:** August 11, 2026

REGARDING: **1701 East Lake Drive #50-22-02-357-017 (PZ26-0033)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Linda Laplatt

Variance Type
Dimensional Variance

Property Characteristics

Zoning District:	this property is zoned One Family Residential (R-4)
Location:	north of Thirteen Mile Road, west of Novi Road
Parcel #:	50-22-02-357-017

Request
The applicant is seeking a variance from Section 4.19.2.A of the City of Novi Zoning Ordinance to permit the placement of a generator in the front yard setback, where accessory structures are required to be in the rear yard.

II. STAFF COMMENTS:

The applicant is seeking a dimensional variances to allow the placement of a home back-up generator and air conditioning unit within the front yard setback.

This tightly designed property is surrounded by (3) streets; East Lake Drive, Monticello Street, and Chapman Road. The home is addressed off of East Lake Drive and the driveway enters from Chapman Road.

The proposed equipment is located near the adjacent neighbor's property line, storm site drainage should be considered.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ26-0033**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____ _____ _____.

   (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____ _____ _____.

   (b) The property is unique because_____ _____ _____.

   (c) Petitioner did not create the condition because_____ _____ _____.

   (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____ _____ _____.

   (e) The relief if consistent with the spirit and intent of the ordinance because _____ _____.

   (f) The variance granted is subject to:

      1. _____.
      2. _____.
      3. _____.
      4. _____.

2. I move that we ***deny*** the variance in Case No. **PZ26-0033** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring_____ _____ _____.

   (a) The circumstances and features of the property including _____ _____ are not unique because they exist generally throughout the City.

   (b) The circumstances and features of the property relating to the variance request are self-created because _____ _____ _____.

   (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____ _____ _____.

   (d) The variance would result in interference with the adjacent and surrounding properties by _____ _____ _____.

   (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____ _____ _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

RECEIVED

JUN 29 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $ 275.00

Meeting Date: 8/11/26

ZBA Case #: PZ 26-0033

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: LaPlatt Residence Subdivision: Chapman Sub.

ADDRESS: 1701 East Lake Dr.

LOT/SIUTE/SPACE #: lot 57

SIDWELL #: 50-22- 02-357-017 (May be obtain from Assessing Department (248) 347-0485)

CROSS ROADS OF PROPERTY: East Lake Dr and Monticello St.

IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☐ YES ☒ NO

REQUEST IS FOR: ☒ RESIDENTIAL ☐ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE - Whole home generator (ie: Generac) and AC placement

DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☒ NO

II. APPLICANT INFORMATION

A. APPLICANT

EMAIL ADDRESS: lelaplatt@aol

CELL PHONE NO.: 2

NAME: Linda LaPlatt

TELEPHONE NO.:

ORGANIZATION/COMPANY:

FAX NO.:

ADDRESS: 31160 Star Trl

CITY: Milford

STATE: MI

ZIP CODE: 48381

B. PROPERTY OWNER ☒ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property: same as above

EMAIL ADDRESS:

CELL PHONE NO.:

NAME:

TELEPHONE NO.:

ORGANIZATION/COMPANY:

FAX NO.:

ADDRESS:

CITY:

STATE:

ZIP CODE:

III. ZONING INFORMATION

A. ZONING DISTRICT

☐ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☒ R-4 ☐ RM-1 ☐ RM-2 ☐ MH

☐ I-1 ☐ I-2 ☐ RC ☐ TC ☐ TC-1 ☐ OTHER _____

B. VARIANCE REQUESTED – Placement of Generac type home generator and AC unit Because home/lot is on a corner and "3" Streets. Requesting that Generator and AC unit be placed behind house and to the West of planned driveway near close to SW corner of the home.

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section _____ Variance requested _____
2. Section _____ Variance requested _____
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☐ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☒ Single Family Residential (New) $275

☐ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☐ Signs $330 ☐ (With Violation) $440

☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS **1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF**

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

L. LaPlatt - 1701 E. Lake Dr. Novi

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☐ DIMENSIONAL ☐ USE ☐ ~~SIGN~~ Placement of generator and AC unit at back of home on Chapman Street yard

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Lynda G. LaPlatt — Applicant Signature

6-29-26 — Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Lynda G. LaPlatt — Property Owner Signature

6-29-26 — Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

_____ Chairperson, Zoning Board of Appeals

_____ Date

August 11 ZBA

Linda LaPlatt Residence

62-357-017

1701 E Lake Dr Novi

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS
DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

☐ Not Applicable ☒ Applicable If applicable, describe below:

The Lot is small, rectangular, 30.76 feet in front, 35.7 feet in back by 80 feet in depth. The new home will take up most of lot. dimensions ~ 20ft w x 40ft deep. Back of 1st floor is all back facing garage and garage door. Home is on 3 streets

and/or

b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

☐ Not Applicable ☒ Applicable If applicable, describe below:

home faces East Lake Dr (Address) Side street is Monticello St. The street in back where driveway will be is Chapman Dr. Chapman is an Alley type street which No homes face, and no addresses were found. that used Chapman as a front.

and/or

c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

☒ Not Applicable ☐ Applicable If applicable, describe below:

I explored and noted that this block of East Lake Dr, All homes face East Lake Dr and the Lake (Walled Lake) Many use Chapman St as the access to parking or garage. There is the logical placement of the AC + generator on the side of the driveway between my driveway and the gravel driveway next door, the neighbor has an AC right there on his boundary.

August 11 ZBA

Linda LaPlatt Residence
02-357-017

1701 E Lake Dr NOVI

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

City of Novi requires all AC? + Generators be placed Behind the home. Since my home is essentially all Garage door + the Wall Supports in the back 1st level there is no area Behind the house that would be fully behind the house.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Most AC units are 24" x 24" x 30" high
Most Generac units for this size home ~1500 sqft 25" x 48" x 30" high
these would be placed in a line along the driveway
Closest to my driveway and rear corner of house and off of the lot line. It appears as if the 2 units would be about 20-24 ft away from Chapman Dr and about 28-30 ft off Monticello

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

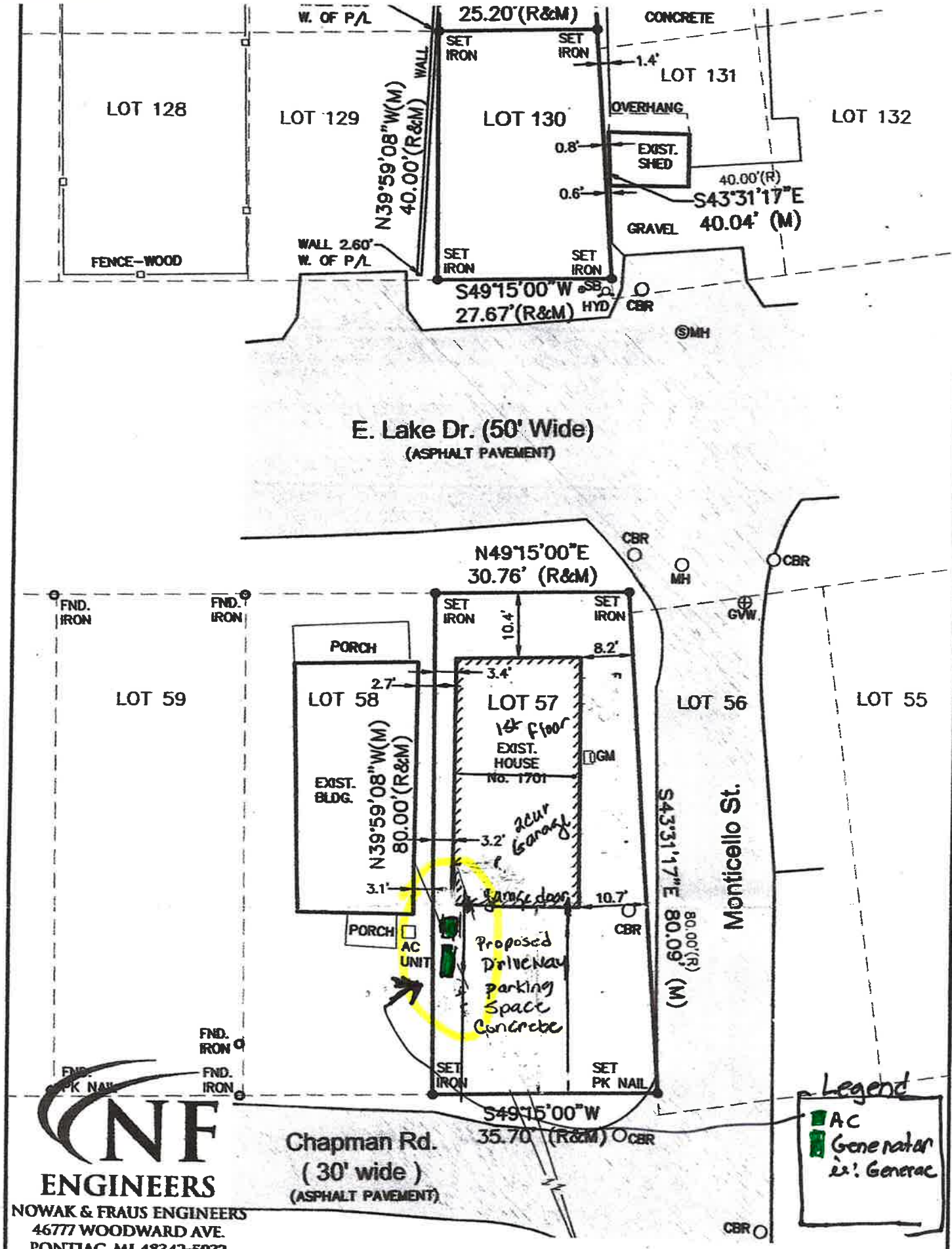
It appears that this one option for placement is the farthest usable area from all 3 streets and should not impose an eyesore to any neighbors

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

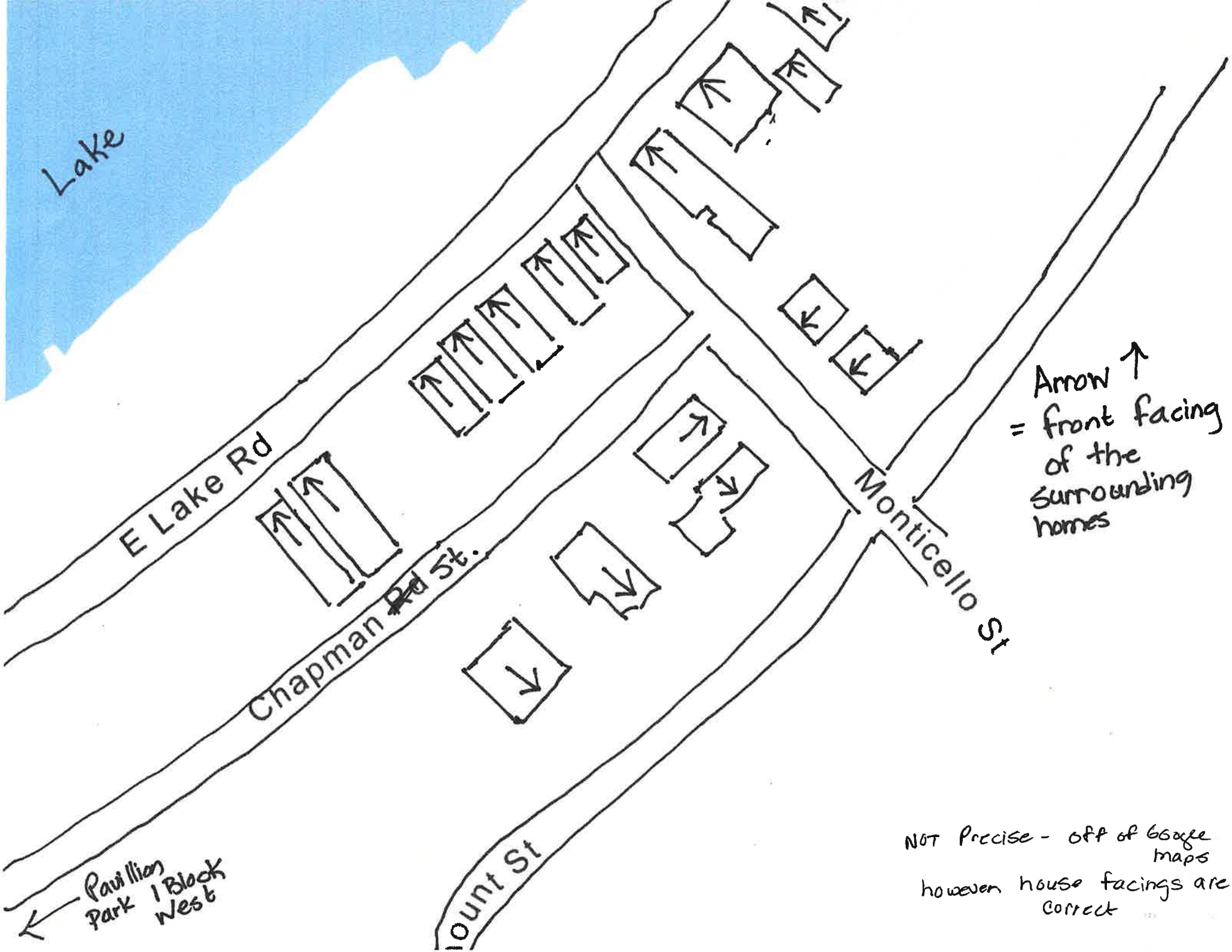
The units will be as close to the home as possible.

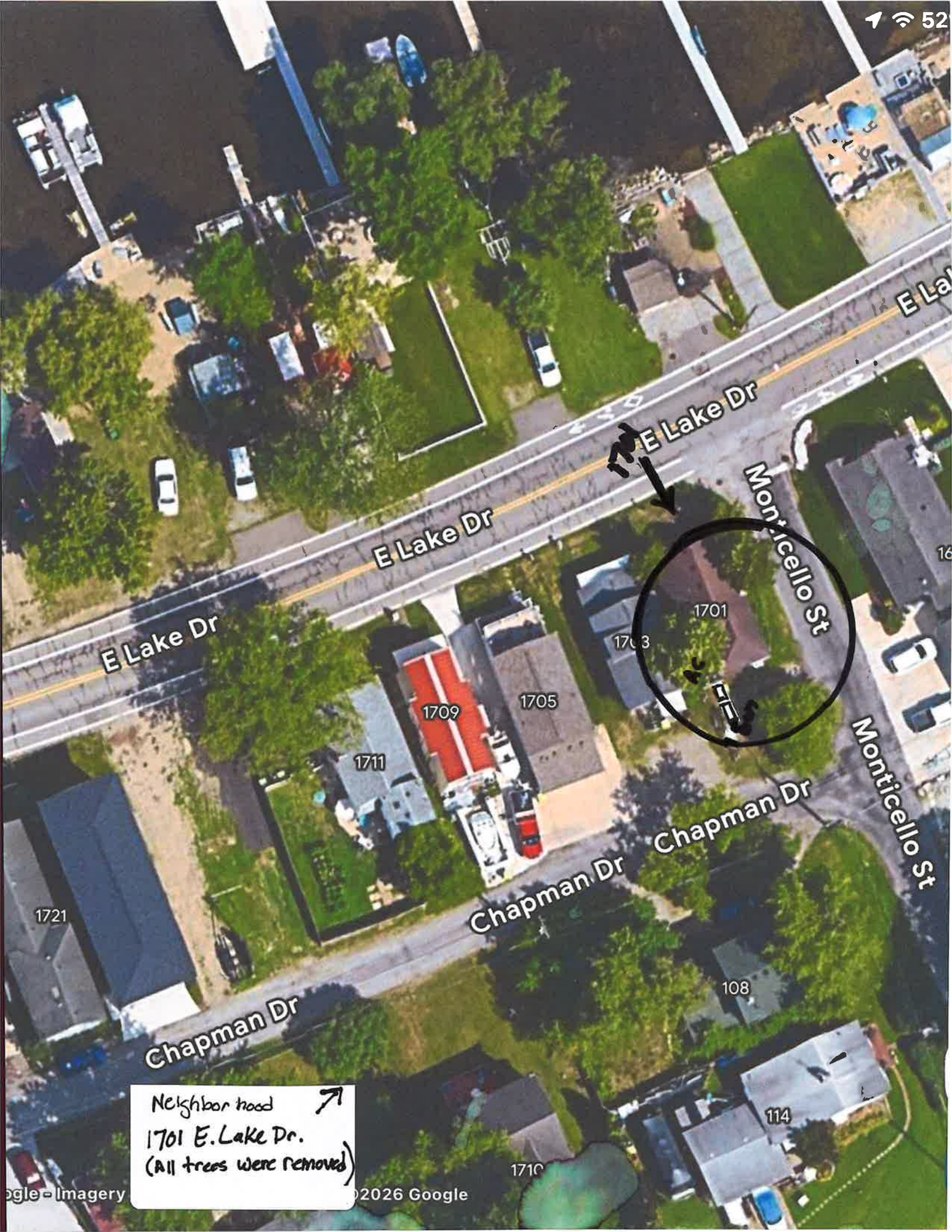
I plan to use ornamental grasses, flowers or appropriate landscaping on the visual sides of the units. In my current home I keep a tidy, nicely landscaped yard. I plan to do the same here in my new home.



NF ENGINEERS
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SCALE	DATE	DRAWN	JOB NO.	SHEET
1" = 20'	07-25-2024	C.H.	O221	1 of 2


Lake
E Lake Rd
Chapman ~~Rd~~ St.
Monticello St
ount St
Pavillion Park 1 Block West
Arrow ↑ = front facing of the surrounding homes
NOT Precise - off of Google maps
however house facings are correct


E Lake Dr
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Monticello St
Monticello St
1701
1703
1705
1709
1711
1721
Chapman Dr
Chapman Dr
Chapman Dr
Chapman Dr
108
114
1710
Neighbor hood
1701 E. Lake Dr.
(All trees were removed)
ogle - Imagery
©2026 Google

COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETINGDATE:** August 11, 2026

REGARDING: **50905 Nine Mile Road #50-22-31-100-009 (PZ26-0035)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Jeff & Loricel Escote

Variance Type
Dimensional Variance

Property Characteristics

Zoning District:	this property is zoned Residential Acreage (RA)
Location:	north of Eight Mile Road, east of Napier Road
Parcel #:	50-22-31-100-009

Request
The applicant is requesting variances from City of Novi Zoning Ordinance Section 4.19.1.E.iii to permit an aggregate accessory structure area of 3,965 sq. ft. (1,500 sq. ft. maximum allowed, variance of 2,465 sq. ft).

II. STAFF COMMENTS:

The applicant is seeking a dimensional variance to allow an increase of 2,465 square feet regarding the aggregate accessory structure allotment on a property. The property is 1.85 acres.

The property currently has (2) existing detached accessory structures and the proposed home will include an attached garage. The combination of the three will exceed the maximum allotment of 1,500 SF in an R-A zoning district.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ26-0035**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____ _____ _____.

   (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____ _____ _____.

   (b) The property is unique because_____ _____ _____.

   (c) Petitioner did not create the condition because_____ _____ _____.

   (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____ _____ _____.

   (e) The relief if consistent with the spirit and intent of the ordinance because _____ _____.

   (f) The variance granted is subject to:

      1. _____.
      2. _____.
      3. _____.
      4. _____.

2. I move that we ***deny*** the variance in Case No. **PZ26-0035** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring_____ _____ _____.

   (a) The circumstances and features of the property including _____ _____ are not unique because they exist generally throughout the City.

   (b) The circumstances and features of the property relating to the variance request are self-created because _____ _____ _____.

   (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____ _____ _____.

   (d) The variance would result in interference with the adjacent and surrounding properties by _____ _____ _____.

   (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____ _____ _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

RECEIVED
JUN 30 2026
CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $220.00
Meeting Date: 8/11/26
ZBA Case #: PZ 26-0035

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: Jeff & Loricel Escote
ADDRESS: 50905 Nine Mile
LOT/SIUTE/SPACE #:
SIDWELL #: 50-22-31 -100 -009 — May be obtain from Assessing Department (248) 347-0485
CROSS ROADS OF PROPERTY: Napier and Nine Mile
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☐ YES ☑ NO
REQUEST IS FOR: ☑ RESIDENTIAL ☐ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☑ NO

II. APPLICANT INFORMATION

A. APPLICANT

NAME: John DePorre
ORGANIZATION/COMPANY: DePorre Building LLC
ADDRESS: 4076 W. Maple Rd., Ste. B | CITY: Bloomfield | STATE: MI | ZIP CODE: 48301

B. PROPERTY OWNER ☐ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

EMAIL ADDRESS:
Jeffrey & Loricel Es
ORGANIZATION/COMPANY:
ADDRESS: 50905 Nine Mile Rd. | CITY: Northville | STATE: MI | ZIP CODE: 48167

III. ZONING INFORMATION

A. ZONING DISTRICT

☑ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ RM-1 ☐ RM-2 ☐ MH
☐ I-1 ☐ I-2 ☐ RC ☐ TC ☐ TC-1 ☐ OTHER _____

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 4.19.1 Variance requested 1465 SF variance
2. Section _____ Variance requested _____
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☑ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☐ Single Family Residential (New) $275
☐ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☐ Signs $330 ☐ (With Violation) $440
☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☐ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☑ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature _____ Date 6/24/25

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature _____ Date 06/19/2026

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals _____ Date _____

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS
DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
☑ Not Applicable ☐ Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Home did not have attached garage when purchased by current owners. Homeowner was not aware existing barn SF would count against an attached garage.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The new garage will be used in utility for personal use. The accessibility of an attached garage is necessary for homeowner.

Standard #4. Minimum Variance Necessary.

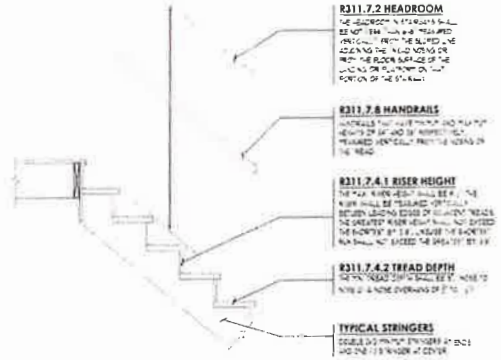
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

It is not possible to make the proposed garage smaller due to homeowner usage.

Standard #5. Adverse Impact on Surrounding Area.

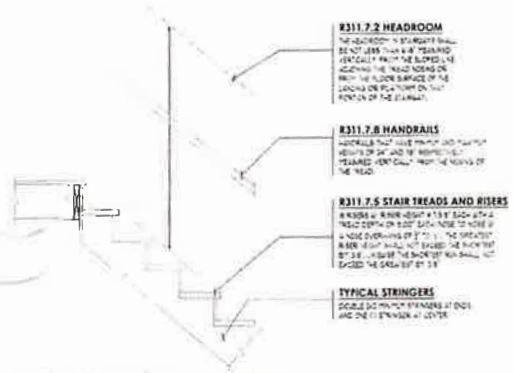
Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

This will not affect any soil of drainage.



EXTERIOR STAIR DETAIL

SCALE: 3/4" = 1'-0"



FIRST FLOOR TO SECOND FLOOR STAIR DETAIL

SCALE: 3/4" = 1'-0"

GENERAL NOTES

WOOD TRUSS SPECIFICATIONS

- Design and construction of the trusses, including Truss Design Drawings, shall be in accordance with the "National Design Standard for Wood Construction" and the "Truss Construction" by the American Forest & Paper Association (AF&PA) and the "Truss Plate Institute" (TPI) and the "Truss Design Standard".
1. Trusses are to be spaced as indicated on the plans, the plans are based on the truss manufacturer's standard spacing, if required to meet manufacturer requirements.
2. The truss manufacturer of record must provide truss layout for review and approval prior to fabrication and installation. Truss layout must show all truss locations, spacing, and load conditions.
3. Design loads

FLOOR JOIST LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
FIRST FLOOR LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
GROUND FLOOR LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
FLOOR LOADING FOR WALKS & LIGHTWEIGHT STORAGE
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
LIVE LOAD 40 P.S.F.
DEAD LOAD 20 P.S.F.
TOTAL LOAD 60 P.S.F.

ROOF TRUSS LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
TOP CHORD
LIVE LOAD 20 P.S.F. (NO GROUND SNOW LOAD BELOW)
DEAD LOAD 10 P.S.F.
BOTTOM CHORD
ATTIC ACCESS STAIR OR LOW STORAGE
LIVE LOAD 10 P.S.F.
ATTIC WITH TABLE STAIRS OR STORAGE
LIVE LOAD 20 P.S.F.
DEAD LOAD 10 P.S.F.
SNOW LOAD TO BE ADDED TO TOP CHORD BY OTHERS

EXT. DECK JOIST LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
DECK LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.

DECK LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
DECK LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.

SNOW LOAD TO BE ADDED TO TOP CHORD BY OTHERS
NORTHVILLE TWP. OAKLAND COUNTY
GROUND SNOW LOAD 30 P.S.F.

- 0.5% increase in equivalent stresses for short term loading is allowed. Only loading shall be accounted for per the current "Wind Load Resistance Design" Code requirements.
- Add additional dead and storage live loads per the current "Storage Residence Code" requirements.
- The notched or other special features shall be designed along the appropriate dead load and live load, per those lines. Partial dead loads shall also be considered where appropriate.
- All concrete pier footed floor decks shall be 2 x 10 P.T. or 2 x 8 P.T. Douglas fir or better.

HANDLING AND ERECTION SPECIFICATIONS

1. Trusses are to be handled with care and are susceptible to damage during handling, hoisting, erection, and bracing and must be kept in order to avoid damage and assembly of the trusses.
2. Temporary and permanent bracing for holding the trusses in a straight and upright position is always required and shall be designed and installed by the erecting contractor. Improper bracing may result in "Domino" effect collapse of the trusses to adjacent bracing or partial collapse of the trusses.
3. Permanent bracing and connections in accordance with the state of the "National Design Standard" as published by the American Forest & Paper Association and the "T.P.I. and D.S.B.D." as well as the truss plate manufacturer. Permanent bracing consists of diagonal and longitudinal bracing installed adjacent to members of the truss framework. The spacing of trusses has to be continuously braced by roof sheathing when otherwise stated on the truss shop drawings. Bracing should be installed in accordance with the "Wood Truss Construction Standards".
4. Construction loads greater than the design loads of the trusses are not to be applied to the trusses at any time.
5. Not loads shall be applied to the truss until all fastening and bracing is completed.
6. The sizes shown on the truss shop drawing are the minimum dimensions of members, except where shown. The truss manufacturer is responsible for the design of the truss members and connections.
7. Truss manufacturer is responsible for providing detailed truss shop drawings showing all dimensions and connection details, which are to be stamped by a licensed professional engineer and approved by the architect prior to fabrication.

SOIL REQUIREMENTS & EARTH WORK AND CONCRETE

- All soil conditions and respective remarks should be reviewed prior to construction. Any fill material shall be a sand gravel mixture compacted to 95 max. density as determined by ASTM D-1557.
1. Provide an opening for an engineer's inspection of the footing bearing soil prior to pouring concrete. Minimum of 3000 psi.
2. Notify the engineer immediately if the soil is of lesser bearing capacity, a value over 3000 psf at the time the footings are dug for the new structure bearing capacity.

R404.1.9 Backfill placement

Backfill shall not be placed against the wall until the wall has sufficient strength and has been braced to prevent damage by the backfill.

R506.2.1 Fill

Fill materials and placement of materials and type of materials. The fill shall be compacted to assure uniform support of the slab and, except where approved, the fill depths shall not exceed 24 inches for sand-gravel or gravel and 8 inches for earth.

R506.2.3 Vapor retarder

A six mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches and placed between the concrete floor slab and the base course or the prepared subgrade where no base course is used.

Concrete work shall conform to the requirements of ACI 318-14 "Specifications for Structural Concrete for Building" except as modified as follows or as otherwise noted herein.

1. Concrete shall have a minimum of 3,000 psi 28 day compressive strength, unless noted otherwise. Maximum water cement ratio not to exceed 6 gallons per sack. Exterior concrete exposed to weather shall have a minimum of 4000 psi 28 day compressive strength + 0.5% air entrainment.
2. The use of accelerators, water reducers or other admixtures is not allowed without prior approval from the architect.
3. Concrete shall be placed in accordance with ACI 318-14 Section 26.5.1 and 26.5.2 and ACI 301-16 Section 5.3.1 and 5.3.2.

Note: Concrete in freezing weather:

Care must be taken when placing concrete in freezing weather and the finish work and exterior features of walks and slabs, must be duly given. Drainage near glass or covered work shall be performed as per other approved systems of materials and methods and at the same time shall be in accordance with ACI 306 "Cold Weather Concreting" by Committee 306 of the American Concrete Institute.

Backfill:

A drainage system is not required when the foundation is founded on undisturbed ground or properly compacted fill in accordance with the current Soil Classification System. Unclassified fill is not acceptable.

STRUCTURAL STEEL SPECIFICATIONS

1. Structural steel shapes, plates, and bars are to be ASTM A-36 unless noted otherwise. Structural steel shall be designed and constructed per the "AISC Manual of Steel Construction" for the Design, Fabrication and Erection of Steel for Buildings and the latest edition of the AISC "Manual Of Steel Construction".
2. Steel columns are to be ASTM A-501 hot rolled. Structural tubing shall be ASTM A500 grade B Type 43.
3. Welds and workmanship are to be made AISC Specifications for Welding in Building Construction, and shall be the EXXX electrodes unless noted otherwise.
4. Bolted connections shall be ASTM A-325 bolts (greased or tightened "snug" unless noted otherwise).

REINFORCING STEEL SPECIFICATIONS

- Reinforcing bars (rebars) shall be of the conform to ASTM-615 grade 60 deformed bars and shall be free of oil, dirt, and rust.
1. Welded wire fabric shall be per to ASTM A-185 and be supplied in the form of flat sheets.
2. No reinforcing may be placed and welded, tied in place and properly placed of a length or connected to a by means of and connection. If necessary, should be at any the concrete is poured.
3. Bending and splicing bars a minimum of 36 diameters and shall be in the minimum of 24 inches.
4. Welding of reinforcing steel is not allowed.

STAIRWAYS AND HANDRAILS

R311.7 Stairways

Stairways shall be not less than 36 inches (914 mm) in clear width at or above the rail with the permitted height not less than the required height for rail, handrails and rail projects more than 4.5 inches (114 mm) on either side of the stairway, and the minimum clear width of the stairway at and below the handrail height, including handrails and stairways shall not be less than 31.5 inches (800 mm) where a handrail is installed on one side and 27 inches (686 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.8 Handrails

Handrails shall be provided on at least one side of each continuous run of treads or flights with four or more risers.

R311.7.8.1 Handrail height

Handrail height, measured vertically from the sloped plane adjacent to the tread nosing, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

Exceptions:

1. The use of a handrail height of 28 inches (711 mm) over the lower handrail is permitted where a second handrail is installed at a height of 34 inches (864 mm).
2. Where handrail fittings or brackets are used to provide continuous handrail gripping surfaces, the maximum height shall be adjusted or relocated in the vicinity of a flight, the maximum height shall be measured to the top of the uppermost handrail fitting or bracket.

SMOKE ALARMS

R314.3 Smoke alarms

Smoke alarms shall be installed in the following locations:

1. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
2. On each additional story of the dwelling, including basements and habitable attics but shall not include crawl spaces and uninhabitable attics. In dwellings or dwelling units with more than one story, smoke alarms shall be interconnected and hard-wired.

When more than one smoke alarm is required to be installed within an individual dwelling unit, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will actuate all of the alarms within the dwelling unit.

CARBON MONOXIDE DETECTOR

A Carbon Monoxide detector shall be installed in the vicinity of the bedrooms, within 15 feet, measured horizontally, of bedrooms. Carbon Monoxide detectors shall be installed outside of bedrooms, within the dwelling unit adjacent to attached garage, and in areas adjacent to any fuel-burning appliances. Carbon Monoxide Detectors may not be placed within fifteen feet of fuel-burning heating or cooking appliances such as gas stoves, furnaces or fireplaces or in an area very hot, very cold, very wet or very humid.

FLASHING AND WEEPHOLES

R703.8 Flashing

Flashing shall be installed beneath the first course of masonry above finished ground level above the foundation wall or slab and at other points of support, including structural floors, shelf angles and lintels, when such masonry is designed in accordance with Section R703.7. See Section R703.8 for additional requirements.

R703.8.6 Weepholes

Weepholes shall be provided in the outside wythe of masonry walls at a minimum spacing of 33 inches (838 mm) on center. Weepholes shall not be less than 3/16 inch (5 mm) in diameter. Weepholes shall be located immediately above the flashing.

R703.8.4 Flashing

Approved corrosion-resistant flashing shall be applied in such a manner to prevent entry of water into the wall. Flashing shall be installed in all exterior walls at any structural framing components that extend through the exterior wall. Flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashing shall be installed at all of the following locations:

1. Exterior windows and doors. Flashing at exterior windows and door openings shall extend to the surface of the exterior wall finish or to the weatherstrip or other means for subsequent drainage.
2. At the intersection of chimneys or other masonry construction with frame or masonry walls and projecting trim shall be flashed in such a manner as to prevent entry of water into the wall system.
3. Under and at the ends of masonry, wood or metal copings and sills.
4. Continuously above all projecting wood trim.
5. Where exterior porches, decks or stairs attach to a wall or frame, shall be flashed so as to prevent the penetration.
6. At all other locations where flashing is required by other sections of this code.

FIREPLACES

R302.1 Chimney support

Chimneys shall be supported on a foundation as required by the building code. Footings shall be poured at least 12 inches (305 mm) thick and shall extend beyond each side of the fireplace opening a minimum of 12 inches (305 mm). The width of the footing shall be at least 24 inches (610 mm) in length and shall be reinforced as required for the fireplace opening.

EGRESS WINDOW REQUIREMENTS

1. Minimum clear opening of 5.7 sq. ft. required for basements.
2. Minimum clear opening of 5.0 sq. ft. for all bedrooms.
3. Minimum clear opening min. of 24 inches.
4. Minimum clear opening min. of 20 inches.
5. Maximum sill height of 44 inches.

AREAS THAT REQUIRE SAFETY GLAZING

R308.4 Hazardous locations

The following locations shall be considered as hazardous locations for the purposes of glazing:

R308.4.1 Glazing in doors

Glazing in fixed and operable panels of swinging, sliding and bi-fold doors shall be considered to be a hazardous location.

Exceptions:

1. Glazed openings of a size through which a 3 inch (76 mm) diameter sphere is not able to pass.
2. Decorative glazing.

R308.4.2 Glazing adjacent to doors

Glazing in a single fixed or operable panel adjacent to a door shall be considered hazardous if the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above the walking surface and it meets any of the following:

1. Where the glazing is within 24 inches (610 mm) of the door in the plane of the door in a closed position.
2. Where the glazing is within 60 inches (1524 mm) horizontally of the closed door and the glazing is within 60 inches (1524 mm) of the walking surface.

Exceptions:

1. Decorative glazing.
2. Where there is an intervening wall or other permanent barrier between the door and the glazing.
3. Where glazing is adjacent to the hinge side of an outswing door and there is no more than a 9 inch (229 mm) diameter sphere can be rotated to be within the hazardous locations.
4. Glazing that is adjacent to the fixed panel of pivot doors.

R308.4.3 Glazing in walls

Glazing in walls and fixed or operable panels that meet any of the following conditions shall be considered to be a hazardous location:

1. The exposed area of an individual pane is larger than 9 square feet (0.836 m2).
2. The bottom edge of the glazing is less than 18 inches (457 mm) above the floor.
3. The top edge of the glazing is more than 36 inches (914 mm) above the floor.
4. One or more walking surfaces are within 36 inches (914 mm) measured horizontally and in a straight line of the glazing.

Exceptions:

1. Decorative glazing.
2. Where a horizontal rail is installed on the interior side of the glazing to be 34 inches (864 mm) high above the walking surface. This rail must be capable of withstanding a horizontal load of 50 pounds per linear foot (0.738 kN/m) without deflecting the glass and be a minimum of 1.5 inches (38 mm) from the glass edge.
3. Glazed panels in housing units and other similar buildings where the bottom edge of the glass is 25 feet (7620 mm) or more above grade, a roof, walkway or other gross or gross level or inclined plane (maximum 45 degrees (0.79 rad)) of horizontal surface adjacent to the glass exterior.

R308.4.4 Glazing in guards and railings

Glazing in guards and railings, including balustrades, balcony guards and handrails, regardless of area or height, above a walking surface shall be considered to be a hazardous location.

R308.4.5 Glazing adjacent to stairs and ramps

Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.

Exceptions:

1. Where a rail is installed on the accessible side(s) of the glazing that is 34 inches (864 mm) high above the walk surface. This rail must be capable of withstanding a horizontal load of 50 pounds per linear foot (0.738 kN/m) without deflecting the glass and have a cross-section no greater than 2.5 inches (38 mm).
2. Glazing 36 inches (914 mm) or more measured horizontally from the walking surface.

R308.4.7 Glazing adjacent to the bottom stair landing

Glazing adjacent to the landing at the bottom of a stairway where the glazing is within 36 inches (914 mm) above the landing and within a distance of 60 inches (1524 mm) horizontally is considered to be a hazardous location.

Exception:

The glazing is protected by a guard complying with Section R312 and the top of the guard is more than 36 inches (914 mm) above the ground.

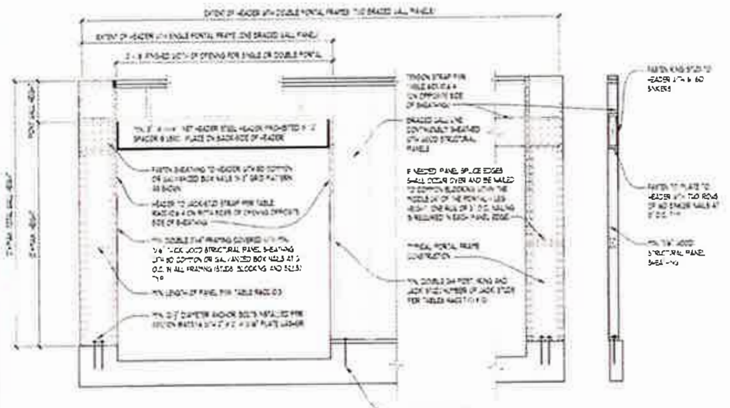
CLIENT / PROJECT

ESCOTE
RENOVATION
50905 9 MILE RD.

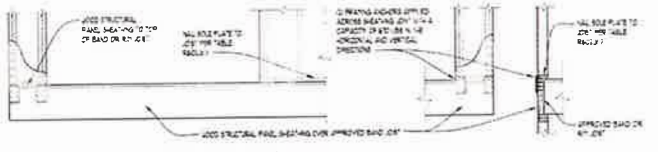
JOB No.:
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCALE
PER PL

SHEET
GN

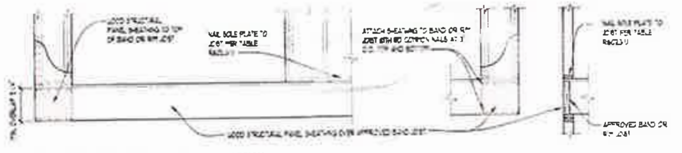


OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

WHERE PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIST



OVER RAISED WOOD FLOOR - OVERLAP OPTION

WHERE PORTAL SHEATHING LAPS OVER BAND OR RIM BOARD

FRONT ELEVATION

SECTION

FIGURE R602.10.6.4

METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

NOT TO SCALE

FOR SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm

TABLE R602.10.6.4

TENSION STRAP CAPACITY FOR RESISTING WIND PRESSURES PERPENDICULAR TO METHODS PFH, PFG AND CS-PF BRACED WALL PANELS

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	MAXIMUM OPENING WALL HEIGHT (feet)	TENSION STRAP CAPACITY REQUIRED (pounds)					
				Ultimate Design Wind Speed V_{ult} (mph)					
				110	115	130	110	115	130
				Exposure B			Exposure C		
2 x 4 No. 2 Grade	0	10	18	1,000	1,000	1,000	1,000	1,000	1,050
	1	10	9	1,000	1,000	1,000	1,000	1,000	1,750
			16	1,000	1,025	2,050	2,075	2,500	3,150
			18	1,000	1,275	2,375	2,400	2,850	DR
	2	10	9	1,000	1,000	1,475	1,500	1,875	3,125
			16	1,775	2,175	3,525	3,550	4,125	DR
			18	2,075	2,500	3,950	3,975	DR	DR
	2	12	9	1,150	1,500	2,450	2,675	3,175	DR
			16	2,875	3,375	DR	DR	DR	DR
			18	3,425	3,975	DR	DR	DR	DR
	4	12	9	2,275	2,750	DR	DR	DR	DR
			12	3,225	3,775	DR	DR	DR	DR
2 x 6 Stud Grade	2	12	9	1,000	1,000	1,700	1,700	2,025	3,550
			16	1,825	2,150	3,225	3,225	3,675	DR
			18	2,200	2,550	3,725	3,750	DR	DR
	4	12	9	1,450	1,750	2,700	2,725	3,125	DR
			16	2,050	2,400	DR	DR	DR	DR
			18	2,350	2,800	DR	DR	DR	DR

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.

a. DR = Design Required.

b. Straps shall be installed in accordance with manufacturer's recommendations.

TABLE R602.3 (5)

SIZE, HEIGHT AND SPACING OF WOOD STUDS a

STUD SIZE (inches)	BEARING WALLS					NONBEARING WALLS	
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2x3 b	-	-	-	-	-	10	16
2x4	10	24 c	16 c	-	24	14	24
3x4	10	24	24	16	24	14	24
2x5	10	24	24	-	24	14	24
2x6	10	24	24	16	24	20	24

[illegible]

a. [illegible]

b. [illegible]

c. [illegible]

TABLE R703.8.3.1

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER a, b, c, d

SIZE OF STEEL ANGLE a, c, d (inches)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF 1/2" OR EQUIVALENT REINFORCING BARS b, d
3x3x1/4	6'-0"	4'-6"	3'-0"	1
4x3x1/4	8'-0"	6'-0"	4'-6"	1
5x3 1/2x5/16	10'-0"	8'-0"	6'-0"	2
6x3 1/2x5/16	14'-0"	9'-6"	7'-0"	2
2-6x3 1/2x5/16	20'-0"	12'-0"	9'-6"	4

a. [illegible]

b. [illegible]

c. [illegible]

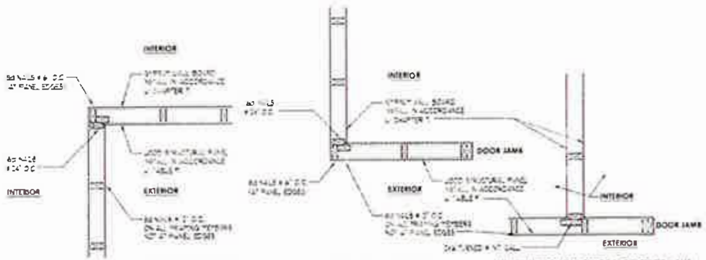
d. [illegible]

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT CONCRETE BASEMENT WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (INCHES)											
		Soil classes and design lateral soil (psf per foot of depth)											
		GW, GP, SW, SP 30				GM, GC, SM, SM-SC and ML 45				SC, ML-CL and inorganic CL 60			
		Minimum nominal wall thickness (inches)											
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#4@35	NR	NR	NR
	6	NR	NR	NR	NR	#5@48	NR	NR	NR	#5@36	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5@47	NR	NR	NR
	6	NR	NR	NR	NR	#5@42	NR	NR	NR	#6@43	#5@48	NR	NR
	7	#5@46	NR	NR	NR	#6@42	#5@46	NR	NR	#6@34	#6@48	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@38	NR	NR	NR	#5@43	NR	NR	NR
	6	#4@37	NR	NR	NR	#5@37	NR	NR	NR	#6@37	#5@43	NR	NR
	7	#5@40	NR	NR	NR	#6@37	#5@41	NR	NR	#6@34	#6@43	NR	NR
	8	#6@43	#5@47	NR	NR	#6@34	#6@43	NR	NR	#6@27	#6@32	#6@44	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@35	NR	NR	NR	#5@40	NR	NR	NR
	6	#4@34	NR	NR	NR	#6@48	NR	NR	NR	#6@36	#6@39	NR	NR
	7	#5@36	NR	NR	NR	#6@34	#5@37	NR	NR	#6@33	#6@38	#5@37	NR
	8	#6@38	#5@41	NR	NR	#6@33	#6@38	#5@37	NR	#6@24	#6@29	#6@39	#4@48
	9	#6@34	#6@46	NR	NR	#6@26	#6@30	#6@41	NR	#6@19	#6@23	#6@30	#6@39
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@33	NR	NR	NR	#5@38	NR	NR	NR
	6	#5@48	NR	NR	NR	#6@45	NR	NR	NR	#6@34	#5@37	NR	NR
	7	#6@47	NR	NR	NR	#6@34	#6@48	NR	NR	#6@30	#6@35	#6@48	NR
	8	#6@34	#5@38	NR	NR	#6@30	#6@34	#6@47	NR	#6@22	#6@26	#6@35	#6@45
	9	#6@34	#6@41	#4@48	NR	#6@23	#6@27	#6@35	#4@48	DR	#6@22	#6@27	#6@34
	10	#6@28	#6@33	#6@45	NR	DR	#6@23	#6@29	#6@38	DR	#6@22	#6@22	#6@28

[illegible]



(B) INSIDE CORNER DETAIL

(A) OUTSIDE CORNER DETAIL

(C) INTERSECTION OF INTERIOR AND EXTERIOR WALLS

WALL BRACING DETAIL

NO SCALE

LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL

TABLE #1

LENGTH OF BRACED WALL PANEL (INCHES)				MAXIMUM OPENING HEIGHT NEXT TO BRACED WALL PANEL (% OF WALL HEIGHT)
8-FOOT WALL	9-FOOT WALL	10-FOOT WALL	12-FOOT WALL**	
48"	54"	60"	72"	100%
32"	36"	40"	48"	85%
24"	27"	30"	36"	65%

THESE VALUES CAN BE REDUCED BY 50% IF SHEATHING IS PROVIDED ON INTERIOR AND EXTERIOR.
10 FOOT WALL STUDS SUPPORTING ONLY A ROOF SHALL BE 2 X 4 @ 16" O.C. 10 FOOT WALL STUDS
SUPPORTING ONE OR TWO FLOORS AND A ROOF SHALL BE 2 X 6 @ 16" O.C.

TABLE R404.1.2(1)

MINIMUM HORIZONTAL REINFORCEMENT FOR CONCRETE BASEMENT WALLS a, b

MAXIMUM UNSUPPORTED HEIGHT OF BASEMENT WALL (feet)	LOCATION OF HORIZONTAL REINFORCEMENT
≤ 8	One No. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near mid-height of the wall story
> 8	One No. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near third points in the wall story

[illegible]

a. [illegible]

b. [illegible]

DESI

CREATIVE COLLA

WWW.TRIHOMEDI
40200 GRAND RI
SUITE 3
NOVI, MI 4
PHONE: (248)-
FAX: (248)-

CLIENT / PROJECT

ESCOTE
RENOVATION
50905 9 MILE RD

JOB No.:
DRAWN:
CHECKED:
FRAMED:
REVIEW:
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REVISION:

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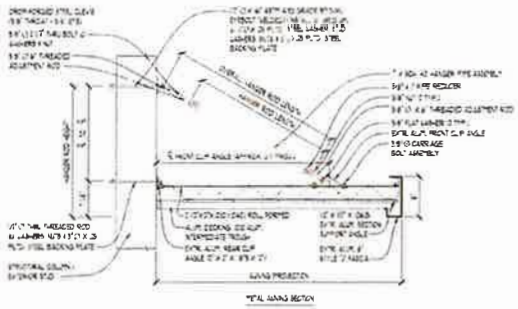
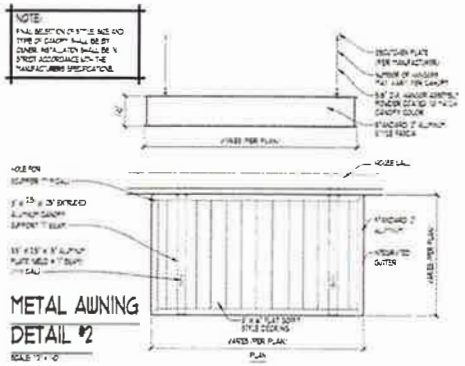
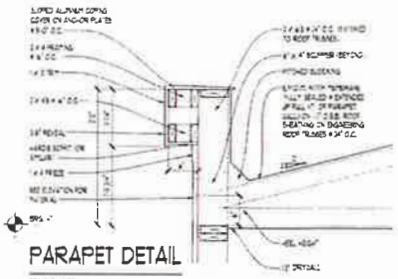


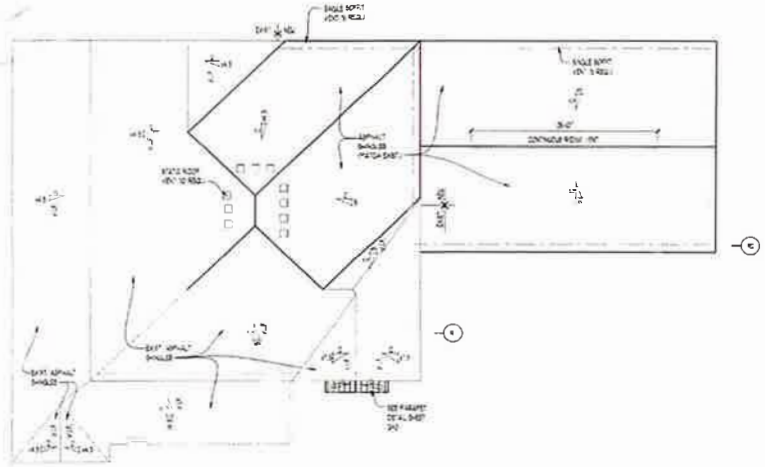
METAL AWNING DETAIL



METAL AWNING DETAIL #2



PARAPET DETAIL



ROOF PLAN

AREA R1 CALCULATIONS

AREA R2 CALCULATIONS:

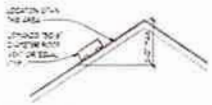
ROOF PLAN NOTES

ATTIC VENTILATION NOTE:

LEGEND

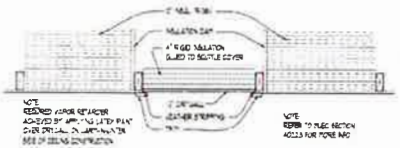
ATTIC VENTILATION TYPE:

NOTE:



TYP. ROOF VENT PLACEMENT

ATTIC ACCESS HEADROOM SCHEMATIC



ATTIC ACCESS DETAIL

DESI

CLIENT / PROJECT

ESCOTE RENOVATION 50905 9 MILE RD.

JOB No.
DRAWN:
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DEMOLITION NOTES

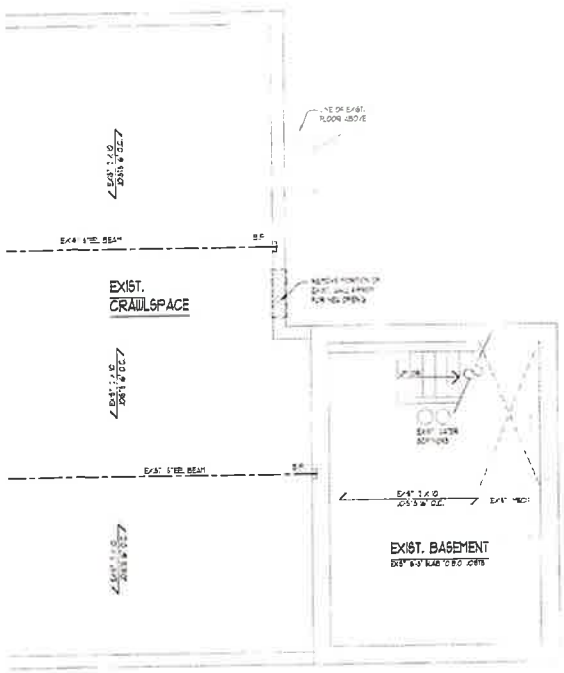
1. EXTERIOR GRADE SHALL BE INSPECTED AND LOCATIONS WHERE THE GRADE IS HIGHER THAN THE SILL PLATE. WOOD CLOSER THAN 6(6) OF ROT. ANY ROTTED WOOD SHALL BE REPAIRED AND REPLACED AND THEN SPOT TREATED WITH BORON OR AN EQUIVALENT PRESERVATIVE.
2. NEW SILICONE SEALANT SHALL BE APPLIED AROUND ANY OPENINGS THROUGH THE FOUNDATION WALLS, SILLS, ETC.
3. ALL VERTICAL CRACKS NOTED SHALL BE TUCK POINTED WITH AN EPOXY MORTAR.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SUBTRADES.
5. ALL WORK TO BE DONE BY LICENSED CONTRACTORS.
6. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS AND DIMENSIONS AND TO NOTIFY THE DESIGN ASSOCIATES OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO CONSTRUCTION/DEMOLITION.
7. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION RELATED DEBRIS, TRASH, RUBBISH, ETC., AND DISPOSE OF ALL MATERIALS IN A LEGAL MANNER. CONTRACTOR IS TO KEEP THE PROJECT AREA CLEAN AT ALL TIMES.
8. CONTRACTOR SHALL NOTIFY, COORDINATE, AND SCHEDULE ANY AND ALL DISCONNECTIONS OF EXISTING UTILITY SERVICES WITH THE OWNER PRIOR TO THE WORK BEING DONE.
9. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETAIN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
10. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT AGAINST DAMAGE DURING ALL PHASES OF CONSTRUCTION.
11. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
12. ALL DRAWINGS ARE SCHEMATIC. EXTENT OF DEMOLITION SHOWN IS APPROXIMATE. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. ALL STRUCTURAL MEMBERS ARE TO REMAIN UNLESS NOTED OTHERWISE.

NOTE:

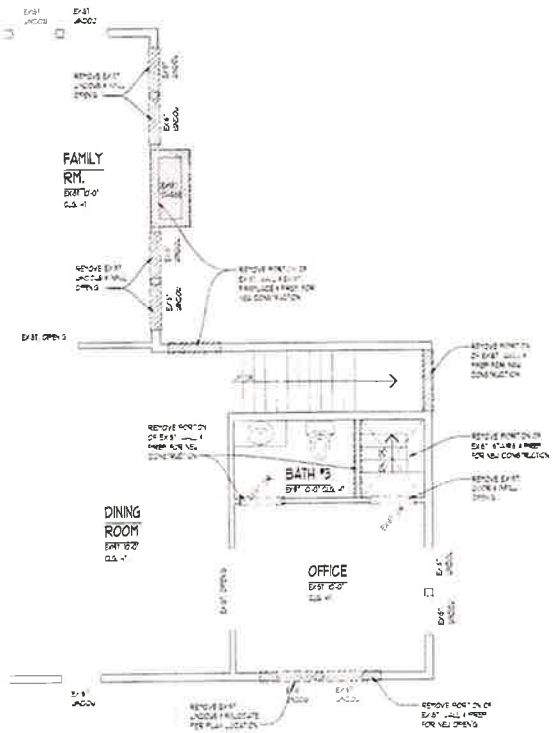
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. A
DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AN
GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS
INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

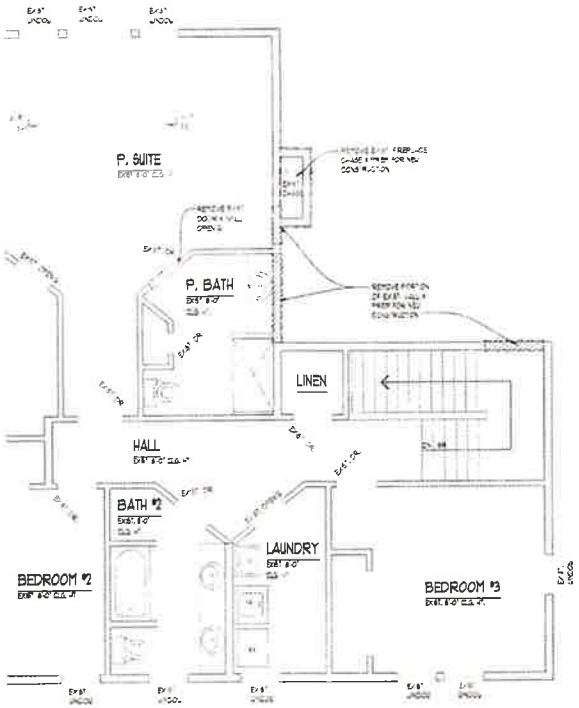
PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKE



PARTIAL DEMOLITION /
EXIST. FOUNDATION PLAN



PARTIAL DEMOLITION /
EXIST. FIRST FLOOR PLAN



PARITAL DEMOLITION /
EXIST. SECOND FLOOR PLAN

DES
CREATIVE GR

WWW.TKHOM
4000 GRAND
SUITE
NOVEL M
PHONE: (24
FAX: (24

CLIENT / PROJECT
ESCOTE RENOVATION

JOB No.
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCA
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NOTE:
PROVIDE [illegible] 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE [illegible] JACK STUD & KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE [illegible] FOR LADDER FRAMING UNDER ALL JAMBER FLOOR PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT BEARING ROOF LOADS FROM ABOVE (TYPICAL)

NOTE:
[illegible] 4000 BEAM
[illegible] STEEL BEAM

[illegible] BRG WALL
[illegible] BRG WALL ABOVE
[illegible] BRG WALL & BRG WALL ABOVE

■ POINT LOAD
⊗ POINT LOAD FROM ABOVE

FOUNDATION NOTES

NOTE:
ALL FOOTINGS ARE DESIGNED FOR 2000 PSF SOIL BEARING CAPACITY & 30 PSF ROOF SNOW LOAD. FOR VARYING CONDITIONS REFER TO TABLE R403.1.1(1) & R403.1.1(2) OF THE 2009 IRC

1. ALL COLUMNS SHOWN SHALL BE 3" DIA. SCHEDULE 40 STANDARD STEEL PIPE COLUMN ON 30" x 30" x 8" DEEP CONC. FTG. TOP OF CONCRETE FTG TO BE 4" BELOW FINISH BASEMENT SLAB TYPICAL UNLESS NOTED OTHERWISE
2. LARGE STEEL BEAMS REST ON FOUNDATION WALLS IN 8" DEEP BEAM POCKET. APPROXIMATELY 2ND SLAB REQUIRED
3. AS REQUIRED DROP FOYER FLOOR 5-BEARING 14" FOR HOMEOWNER TILE INSTALLATION
4. VERIFY ALL UTILITY LOCATIONS W/ BUILDER
5. PROVIDE SHORING AT BEAMS DURING CONSTRUCTION
6. PROVIDE LADDERING JOIST ON ALL BEARING PARALLEL JOIST THAT DOES NOT LAND DIRECTLY ON A JOIST
7. PROVIDE SOLID BLOCKS UNDER ALL BEARING CONDITIONS
8. GROUT SOLID AT BEARING CONDITIONS WHERE BLOCK IS USED
9. PROVIDE 1" (25.4 MM) RIGID, RIGID PERIMETER INSULATION AT ALL BASEMENT SLABS THAT ARE LESS THAN 10" BELOW EXTERIOR FINISHED GRADE
10. BASEMENT CEILING HEIGHTS MAY VARY AT LOCATIONS DEPENDING ON MECHANICAL DROPS, LOW STRUCTURAL BEAMS, & REQUIRED ON ANY FINISHED CEILING TREATMENTS

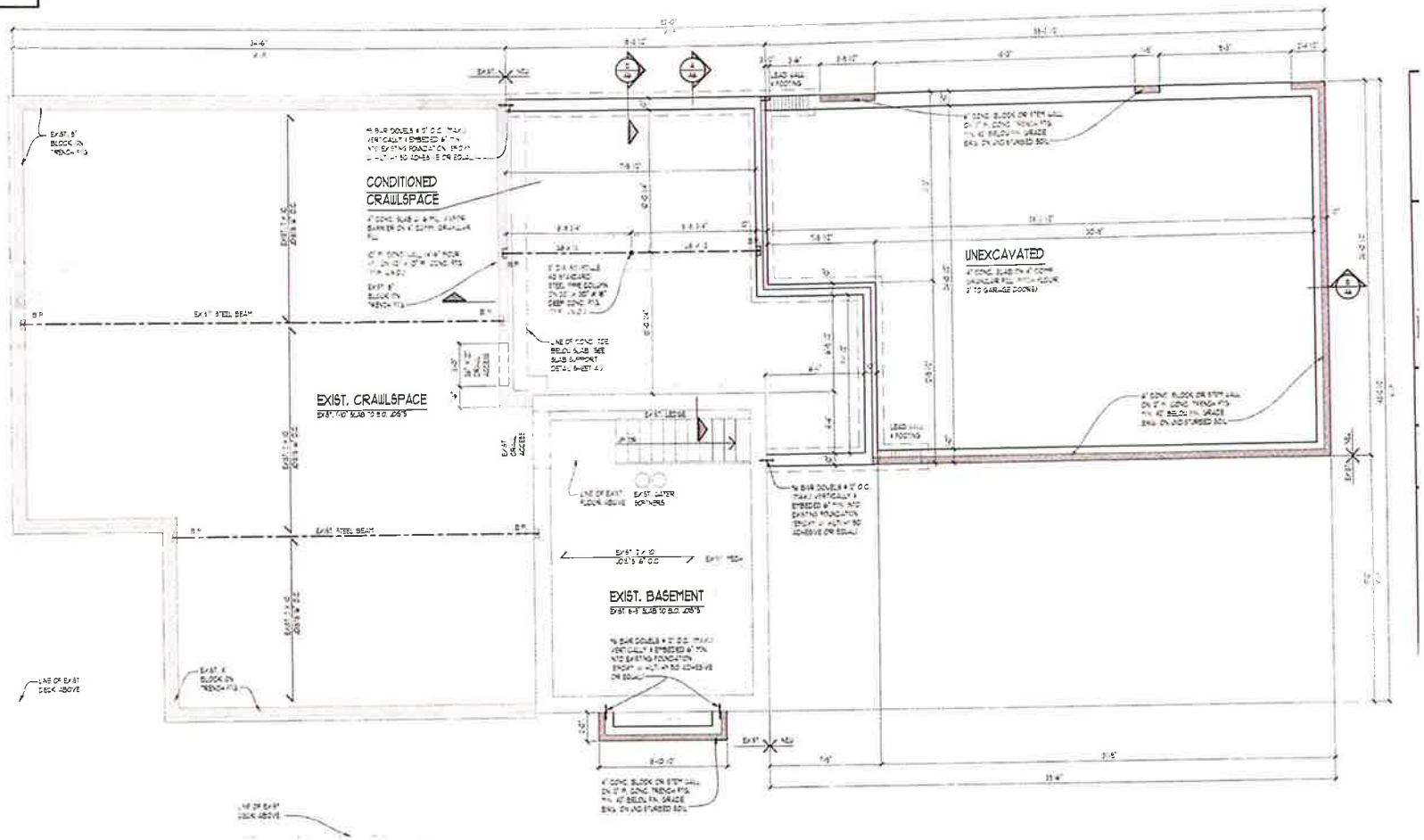
LOT INFORMATION:

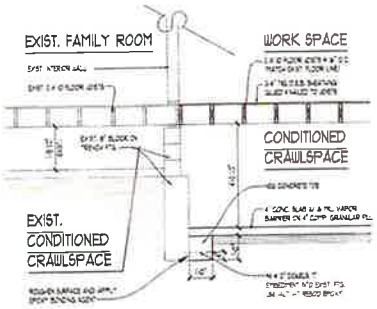
CITY / TOWNSHIP	[illegible]
ZONE	[illegible]
MINIMUM SETBACKS	
FRONT	40
REAR	50
SIDE / TOTAL	[illegible]
MAX ROOF HEIGHT MEASURED	35 FROM ON TOP OF ROOF
LOT COVERAGE	[illegible]
LOT SIZE	[illegible]
MAX FF	[illegible]
HOUSE FOOTPRINT	[illegible]
FRONT PORCH	[illegible]
ATTACHED GARAGE	[illegible]
TOTAL FOOTPRINT (INCL GR + LOT SIZE MINUS FF + [illegible])	

NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANT
DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACT
GENERAL CONTRACTOR TO VERIFY ALL FIELD CON
INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING D

PRIOR TO BIDDING / TRUSS FABRICATION / MATER





SLAB SUPPORT DETAIL

A
A1

FOUNDATION PLAN

PLAN NOTES

INTERIOR WALLS:

EXTERIOR WALLS:

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS OR EQUIVALENT (R302.5.1 THIS SECTION REQUIRED)
2. VENT ALL EXHAUST FANS TO EXTERIOR
3. OVERHANGS BE CONSTRUCTED ALL RULES AND VENTS THAT PENETRATE ROOF BEHIND THE RIDGE
4. INSTALL WATER SUPPLY AND DRAIN BOX (PER BOX) AT WASHING MACHINE LOCATION
5. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE
6. ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED FOR 8'-0" TALL DOORS ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL DOORS UNLESS NOTED OTHERWISE VERIFY W/ BUILDER
7. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION
8. PROVIDE SOLEPLATE BLOCKS UNDER ALL BEARING CONDITIONS
9. GARAGE WALLS TO BE 2X6 STUDS FOR OVER 10'-0" TALL
10. ALL EXTERIOR SLIDING GLASS DOORS TO BE VERIFIED W/ BUILDER PRIOR TO CONSTRUCTION

NOTE:
PROVIDE MINIMUM 4" HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE

NOTE:
PROVIDE MINIMUM JACK STUD & KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE

NOTE:
PROVIDE MINIMUM JOIST OR LOOSE HEATING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

WALL KEY
NEW STUD WALL
EXISTING STUD WALL TO REMAIN

NOTE:
PORCH CLG. TYPE PER BUILDER'S SPEC

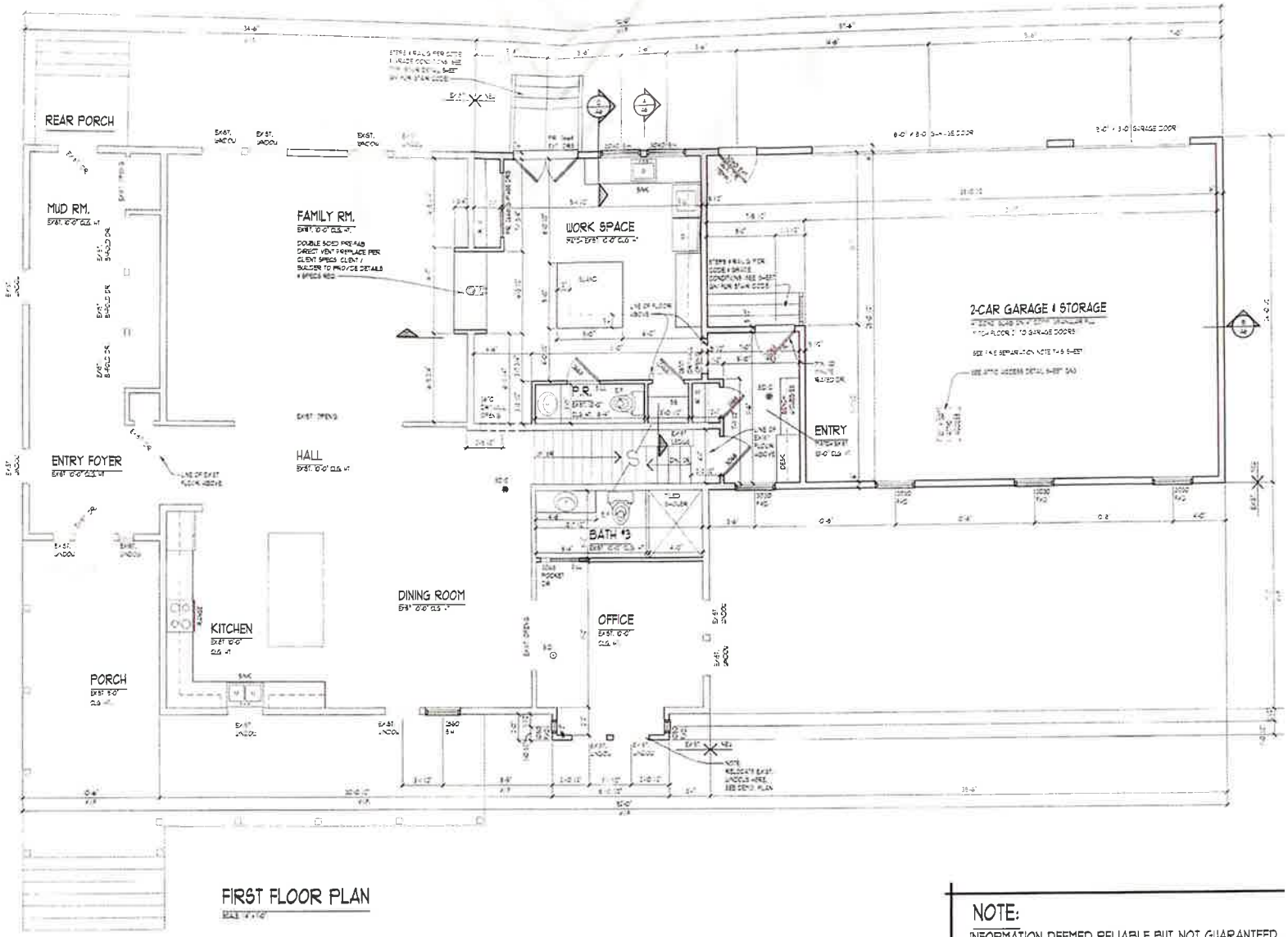
NOTE:
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACKUP PER CODE

NOTE:
DOOR & WINDOW LOCATIONS
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL THEY ARE ON OR 4" INCHES FROM PERPENDICULAR WALL UNLESS NOTED OTHERWISE

NOTE:
VERIFY FINISHED FLOOR AREAS FOR TILE WITH BUILDER

FREPLACE NOTE
ALL FREPLACE DIMENSIONS & ROUGH OPENINGS TO BE VERIFIED W/ MANUFACTURER SPECS INCLUDING BUT NOT LIMITED TO WALL DEPTH, HEARTH, OTHER CLEARANCES ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SPECS TO CARPENTER PRIOR TO FRAMING

FIRE SEPARATION NOTE
FIRE SEPARATION: RULE 6
GARAGE SPACE BETWEEN HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5 INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8 INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ABV ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS VERIFY W/ BLDR.



FIRST FLOOR PLAN

NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITION INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECT

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TA

PLAN NOTES

INTERIOR WALLS:
2" X 4" NON-LOAD BEARING WALLS BUILT ON FLOOR PLATE ON THE GOOD SIDE OF THE 2" X 4" STUDS, 3 1/2" THICK TYPICAL UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM FACE OF STUDS

EXTERIOR WALLS:
SIDING AND/OR MASONRY OVER 1/2" GYPSUM SHEATHING ON THE GOOD SIDE OF 2" X 6" STUDS @ 16" O.C. OR AS NOTED. WALL TO BE PERFORMANCE COMPLIANCE REPORT. 1/2" GYPSUM WALL BOARD GLUE & SCREW. WALL TO BE 6 1/2" THICK WITH SIDING AND 10" THICK WITH MASONRY TYPICAL UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM FRAMING FLOOR PLANS OR FOUNDATION CONTROL SEPARATION PLAN

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD OR FIRE RATED DOORS OR EQUIVALENT PER 2006 IRC SECTION R302.5.1
2. VENT ALL EXHAUST FANS TO EXTERIOR
3. WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE
4. INSTALL WATER SUPPLY AND DRAIN BOX SHEET BOX AT WASHING MACHINE LOCATION
5. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE
6. ALL FIRST FLOOR INTERIOR DOORS TO BE PRIMED FOR 6-8" TALL DOORS. ALL SECOND FLOOR INTERIOR DOORS TO BE PRIMED 6-8" TALL DOORS UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER
7. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION
8. PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS
9. GARAGE WALLS TO BE 2X6 STUDS IF OVER 9'-0" TALL
10. ALL EXTERIOR SLIDING GLASS DOORS TO BE VERIFIED W/ BUILDER FOR ACTIVE DIRECTION

WALL KEY

NEW 5"/0" WALL

EXISTING 5"/0" WALL TO REMAIN

NOTE: S.D. / S.D.C.
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACK-UP PER CODE

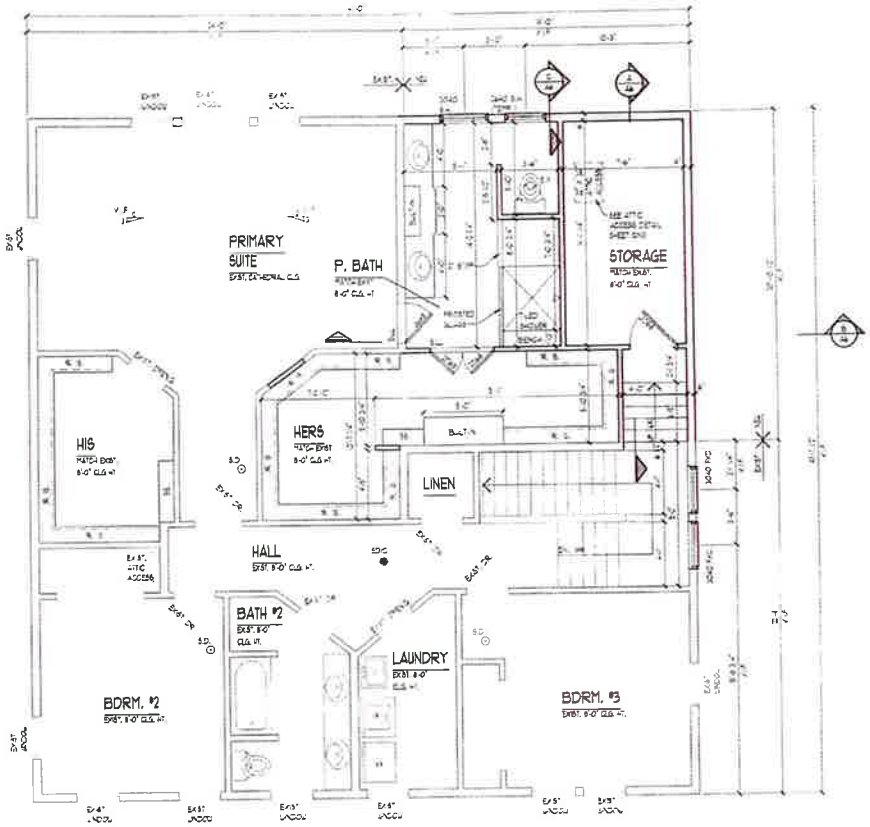
NOTE:
DOOR & WINDOW LOCATIONS
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FACE OF STUDS UNLESS NOTED OTHERWISE

NOTE:
VERIFY TILE/WOOD FLOOR AREAS FOR TILE W/ BUILDER

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED
DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURE
GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITI
INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRE

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL

CLIENT / PROJECT

ELEVATION NOTES

1. ALL ROOF SECTIONS TO BE 7/16 SHEATHING OVER WATER SHIELD AND SHINGLES
2. PROVIDE ICE & WATER SHIELD TO 6'-0" COVERAGE AT ALL VALLEYS
3. PROVIDE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION
4. METAL FLASHING AS REQUIRED BY CODE
5. ROOF & VENT HOODS AS REQUIRED BY CODE
6. PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DRAINAGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES
7. CONTRACTOR TO VERIFY CLEARANCE OF MASONRY FROM TO BUILDING BRICK RACK

TYPICAL WINDOW DESIGNATION

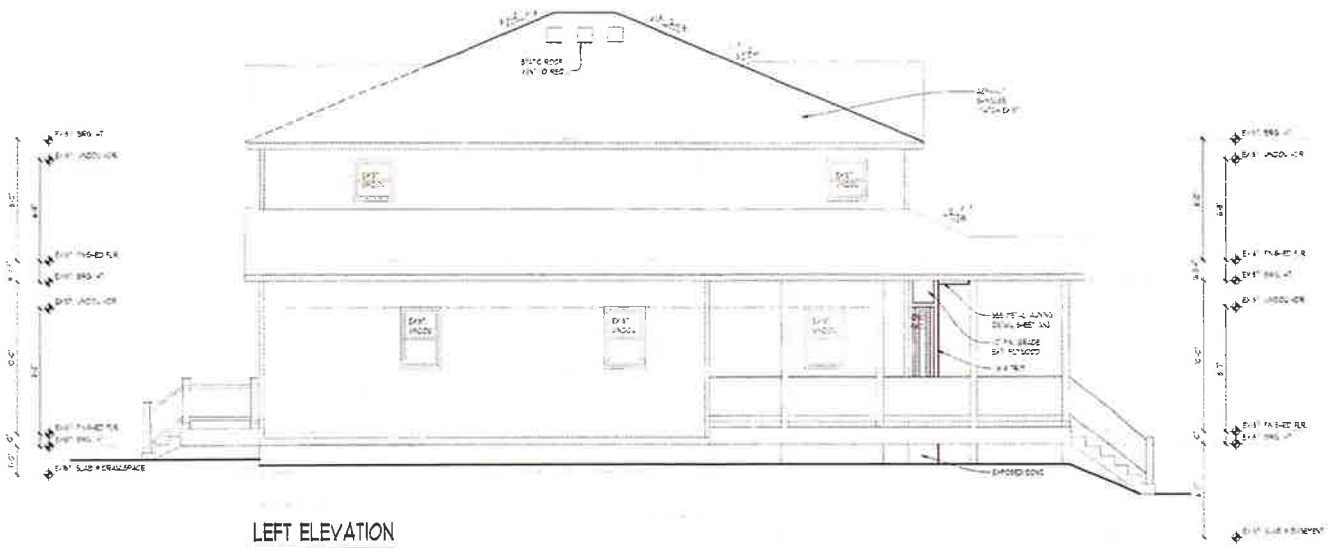
NOTE
GENERAL REFERENCE FOR ROOM OPENING SIZES ONLY. CONTRACTOR SHOULD VERIFY AREA FOR EXACT WINDOW SIZES & REQUIREMENTS

NOTE
ALL ASSEMBLY FRAMING TO BE VERIFIED BY BUILDER/HOMEOWNER PRIOR TO ORDERING WINDOWS

NOTE
CONTRACTOR MUST VERIFY ALL WINDOW SIZES & NOTIFY DESIGNER

NOTE:
OVERHANG DIMENSIONS ON PLANS FROM SHEATHING ONLY

NOTE:
ALL WOOD SIDING OVER 8" ABOVE EXTERIOR GRADE SURFACE BELOW TO BE TREATED OR HEAT TREATED OR HAVE DURABILITY PER CODE REQUIREMENTS



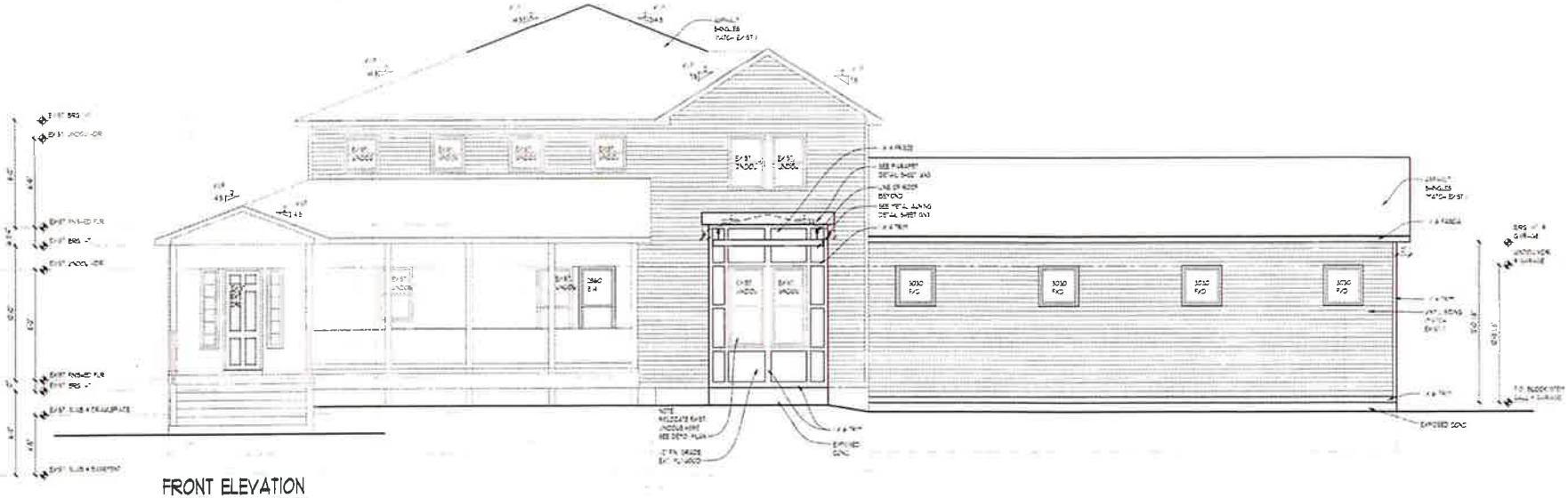
LEFT ELEVATION

NOTE:

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF



FRONT ELEVATION

DESI

CREATIVE COLLA

WWW.TKHOMEB
41200 GRAND RI
SUITE 10
NOVI, MI 4
PHONE: (248)-4
FAX: (248)-4

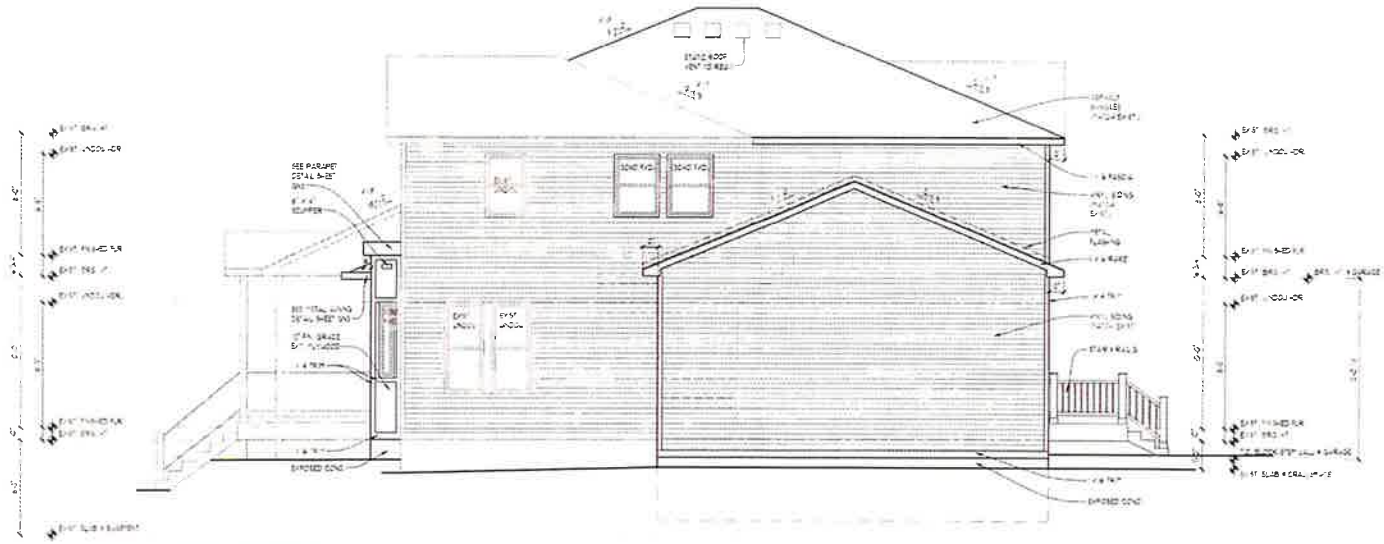
CLIENT / PROJECT

ESCOTE
RENOVATION
50905 9 MILE RD.

JOB No:
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCALE
PER PLA

SHEET
A4



RIGHT ELEVATION

REAR ELEVATION

ELEVATION NOTES

TYPICAL WINDOW DESCRIPTION

NOTE:

NOTE:

NOTE:

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

DESI

CREATIVE COLLA

WWW.TKHOMEDI

CLIENT / PROJECT

ESCOTE RENOVATION 50905 9 MILE RD.

JOB No.:
DRAWN:
CHECKED:
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REVIEW:
FINAL:
REVISION:

SCALE
PER PLA

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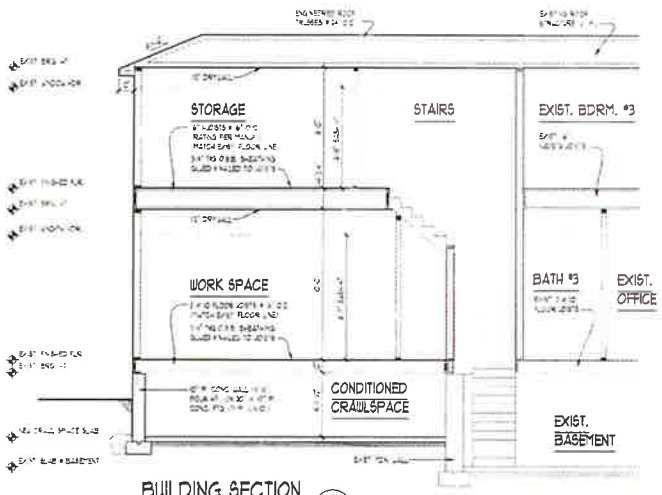
A

NOTE:

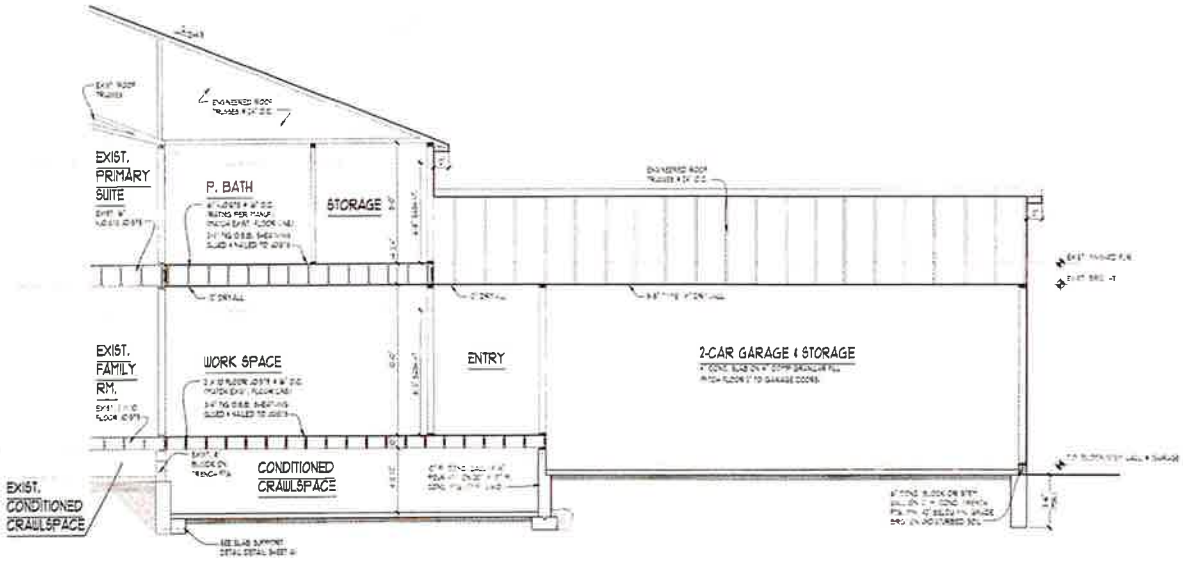
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

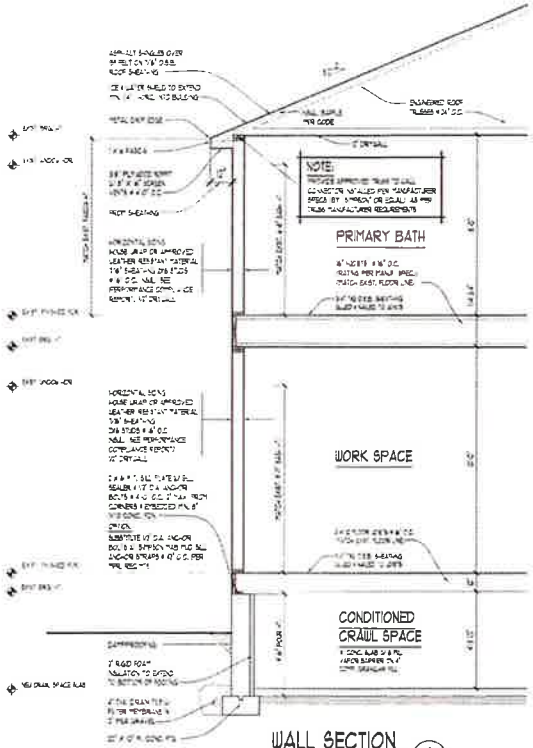
PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOF



BUILDING SECTION C A1-A3



BUILDING SECTION B A1-A3



WALL SECTION 4 A1-A3

CLIENT / PROJECT

ESCOTE RENOVATION 50905 9 MILE RD.

JOB No:
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCALE PER PLA

SHEET

A6

NOTE:

NOTE:

NOTE:

NOTE:

GROUT ALL CONCRETE BLOCK CORNER SOLID AT SUPPORT POINT

NOTE:

WOOD BEAM

STEEL BEAM

BRG WALL

BRG WALL ABOVE

PONY WALL

PONY WALL ABOVE

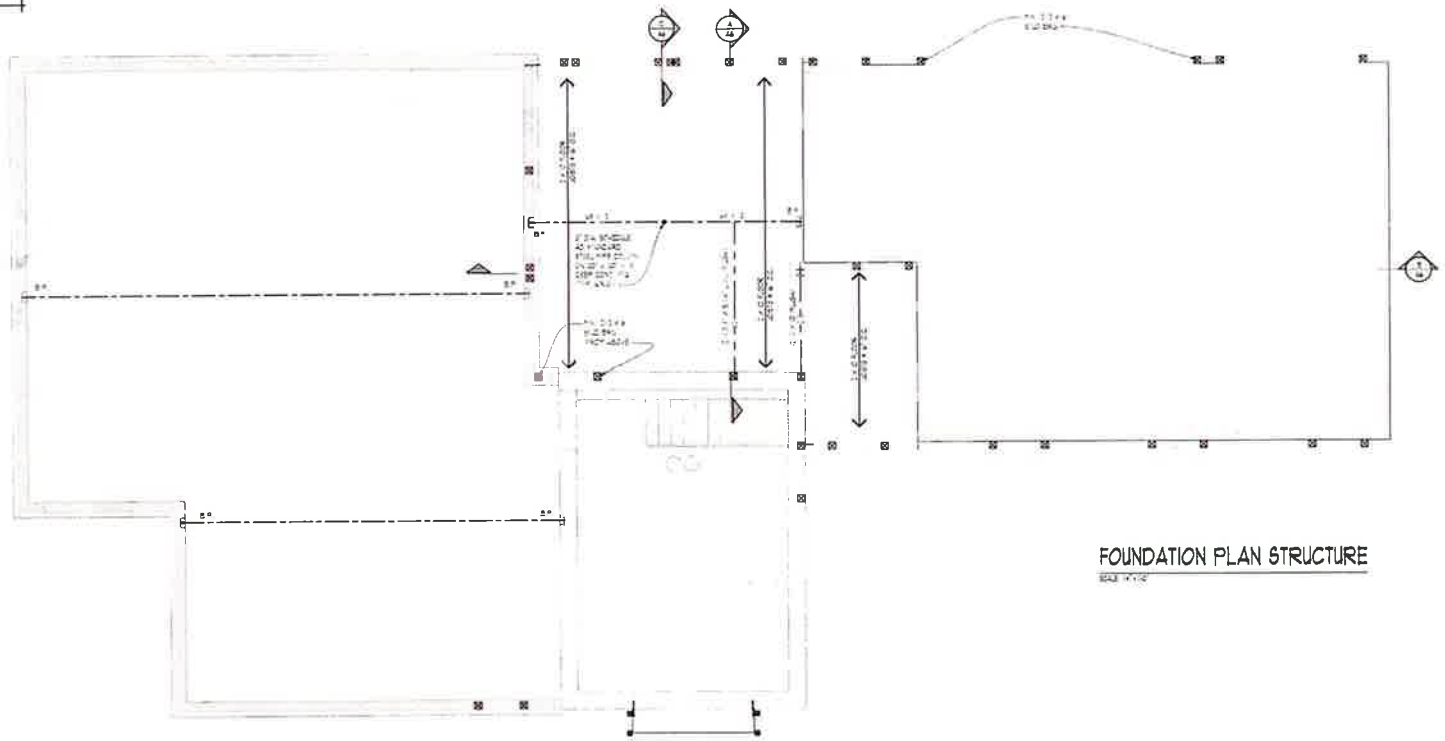
GENERAL BRACING NOTES

1. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2018 IRC CODE
3. BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3
4. EXTERIOR BRACED WALL PANELS SURFACE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-SFP METHOD AS PRESCRIBED IN SECTION R602.10.4.1 AND
5. ALL SHEATHABLE SURFACES OF EXTERIOR WALLS, INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS, SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL. ASP SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE NAILED WITH 8d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
6. LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-SFP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5

(1) PROVIDE NO COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

(2) R602.10.6 WALLS SHALL TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN TYPE 5 OF TABLE R602.10.1

(3) SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CSPF) SHEET FOR NON-HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED THAT BE MINIMUM 3 1/2" OF SOLID SAWN OR LAMINATED VENEER LUMBER (LVL).



FOUNDATION PLAN STRUCTURE

SCALE: 1/4"=1'-0"

DESI

CREATIVE COLLA

NEW VISIONEER
4020 GRAND RIV
SUITE 30
NOVI, MI 48
PHONE: (248) 4
FAX: (248)-4

CLIENT / PROJECT

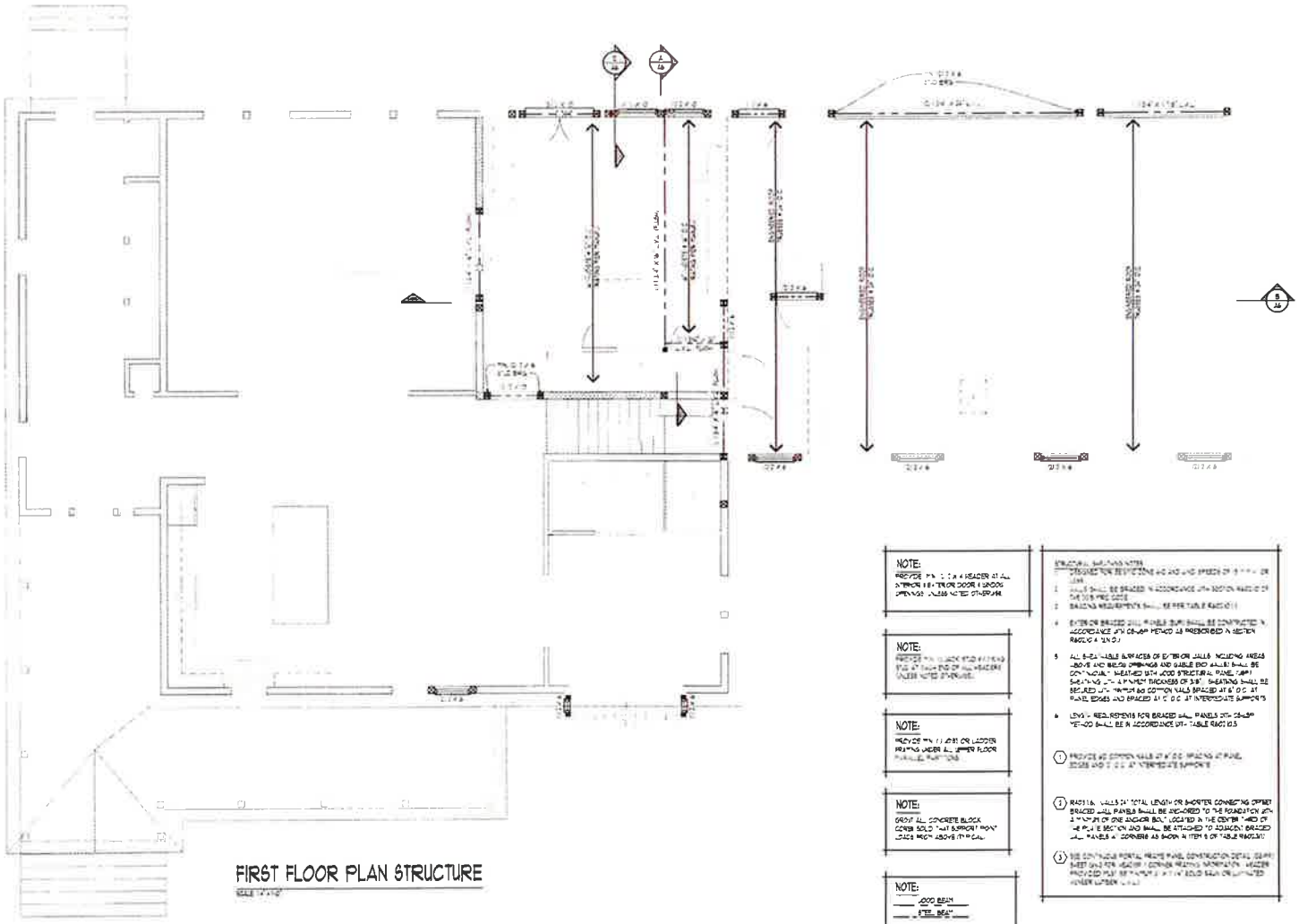
ESCOTE
RENOVATION
50905 9 MILE RD.

JOB No.:
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCALE
PER PL

SHEET

S-



FIRST FLOOR PLAN STRUCTURE

NOTE:

NOTE:

NOTE:

NOTE:

NOTE:

CLIENT / PROJECT

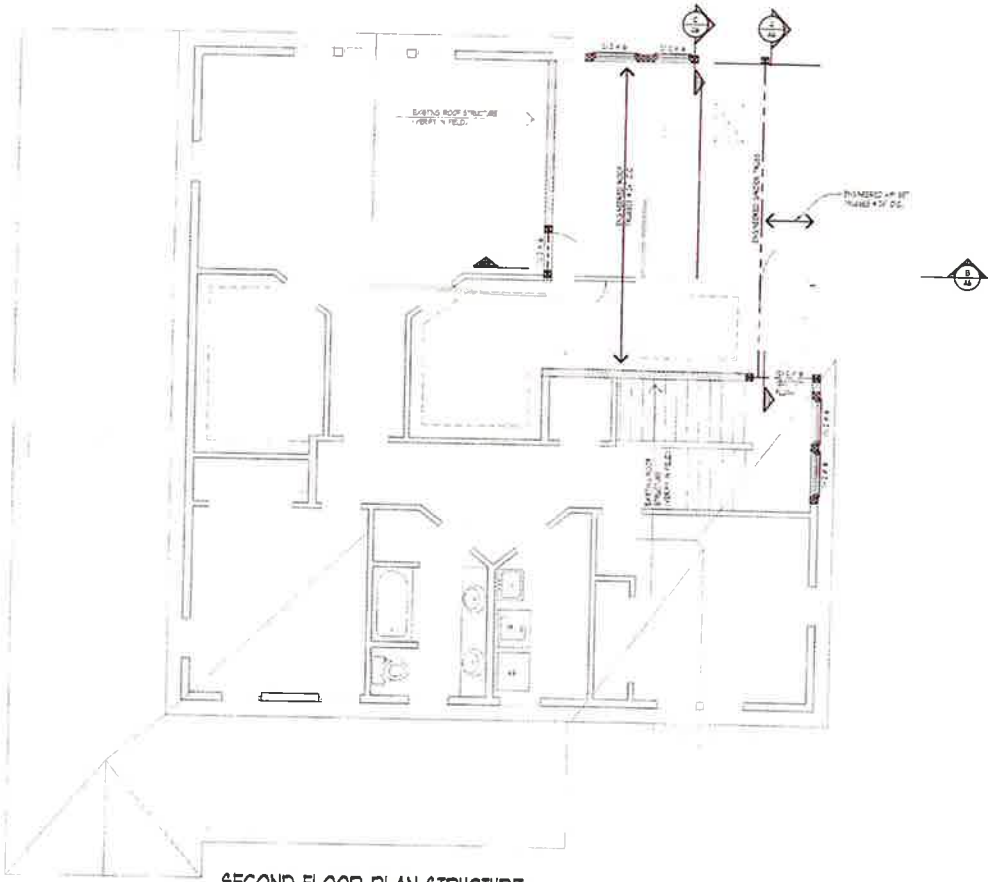
ESCOTE RENOVATION

JOB No.
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCALE PER PL

SHEET

S-



SECOND FLOOR PLAN STRUCTURE

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:
WOOD BEAM
STEEL BEAM
BRG WALL
BRG WALL ABOVE
BRG WALL BRG WALL ABOVE
POINT LOAD
POINT LOAD FROM ABOVE

STRUCTURAL SHEATHING NOTES
1. DESIGNED FOR SEISMIC ZONE 3-C AND WIND SPEEDS OF 85 M.P.H. OR LESS
2. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IRC CODE
3. BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3
4. EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH GB-WSP METHOD AS PRESCRIBED IN SECTION R602.10.4.1.2
5. ALL SHEATHABLE SURFACES OF EXTERIOR WALLS INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS SHALL BE CONTINUOUSLY SHEATHED WITH GOOD ENGINEERING PRACTICE. WHEN BRACING WITH A PANEL THICKNESS OF 7/16" SHEATHING SHALL BE NEXT TO THE STUDS AS COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
6. LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN GB-WSP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5

(1) PROVIDE 8D COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

(2) BASED ON WALL STUD LENGTH OR SHORTER CONNECTING STRUT BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN TYPE 2 IN TABLE R602.10.3

(3) SEE CONTINUOUS RIGID WALL FRAME WALL CONSTRUCTION DETAIL (SHEET S-1) FOR HOLD-DOWN CONNECTOR FASTENING INFORMATION. HOLD-DOWN FASTENERS MUST BE MINIMUM 5/8" DIA. BOLTS ONLY UNLESS NOTED OTHERWISE

DES
CREATIVE CO
WWW.THOMM
40200 GRAND
SUITE
NOVI, M
PHONE
FAX

CLIENT / PROJECT
ESCOTE
RENOVATION

JOB No.
DRAWN:
CHECKED
FRAMED
REVIEW
FINAL
REVISION

NO
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SHE
S

COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETING DATE:** August 11, 2026

REGARDING: **42875 Grand River Avenue # 50-22-23-176-011 (PZ26-0036)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Desi District

Variance Type
Sign Variance

Property Characteristics

Zoning District:	This property is zoned Town Center-1(TC-1)
Location:	south of Grand River Avenue, east of Novi Road
Parcel #:	50-22-23-176-011

Request
The applicant is requesting a variance from City of Novi Sign Ordinance Section 28-5(a)Chart to permit one additional wall sign. (1 sign maximum allowed, variance of 1 sign).

II. STAFF COMMENTS:

The applicant is seeking a sign variances to allow an additional wall sign to improve wayfinding and customer awareness of services provided.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

I move that we ***grant*** the variance in Case No. **PZ26-0036** sought by _____, for _____ because Petitioner has shown practical difficulty including _____requiring _____on the basis of any of the following:

a. That the request is based upon circumstances or features that are exceptional and unique to the property and do not result from conditions that exist generally in the city or that are self-created including _____
_____
_____.

b. That the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because _____
_____
_____.

c. That the grant of relief would be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will result in an improvement of the property or the project _____
_____
_____.

d. That construction of a conforming sign would require the removal or significant alteration of natural features on the property because _____
_____
_____.

e. The grant of relief will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter because _____
_____
_____.

The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

I move that we ***deny*** the variance in Case No. **PZ26-0036** sought by _____, for_____ because Petitioner has not shown practical difficulty because: _____
_____.

a. That the request is based upon circumstances or features that are not exceptional and/or unique to the property and/or that result from conditions that exist generally in the city or that are self-created including _____
_____
_____.

b. That the failure to grant relief will not unreasonably prevent or limit the use of the property and/or will not result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because _____
_____
_____.

c. That the grant of relief would not be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will not result in an improvement of the property or the project because _____
_____
_____.

d. That construction of a conforming sign would not require the removal or significant alteration of natural features on the property because _____
_____
_____.

e. The grant of relief will result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will not result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is inconsistent with the spirit and intent of this chapter because
_____
_____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi

RECEIVED

JUN 29 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $330.00

Meeting Date: 8/11/26

ZBA Case #: PZ 26-0036

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: DESI DISTRICT	
ADDRESS: 42875 Grand River Ave #104, Novi, MI 48375	LOT/SIUTE/SPACE #
SIDWELL #: 50-22-____-____-____-____	May be obtain from Assessing Department (248) 347-0485
CROSS ROADS OF PROPERTY: GRAND RIVER AVENUE and MAIN STREET	
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☐ YES ☑ NO	REQUEST IS FOR: ☐ RESIDENTIAL ☑ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE

DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☑ NO

II. APPLICANT INFORMATION

A. APPLICANT

		CELL PHONE NO.	
NAME: Phanish Bajjuri		TELEPHONE NO.	
ORGANIZATION/COMPANY: DESI DISTRICT		FAX NO.	
ADDRESS: 27480 Pamplona In	CITY: Novi	STATE: MI	ZIP CODE: 48374

B. PROPERTY OWNER ☐ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property:	EMAIL ADDRESS	CELL PHONE NO.	
NAME: Sandra Slewa		TELEPHONE NO.	
ORGANIZATION/COMPANY: Luna Entertainment, Inc.		FAX NO.	
ADDRESS: 42875 Grand River Ave #201	CITY: Novi	STATE: MI	ZIP CODE: 48374

III. ZONING INFORMATION

A. ZONING DISTRICT

☐ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ RM-1 ☐ RM-2 ☐ MH

☐ I-1 ☐ I-2 ☐ RC ☐ TC ☐ TC-1 ☐ OTHER _____

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 28-5(a) Chart Variance requested Overall Allowable number of signs
2. Section _____ Variance requested _____
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☐ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☐ Single Family Residential (New) $275

☐ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☐ Signs $330 ☐ (With Violation) $440

☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☐ DIMENSIONAL ☐ USE ☑ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☑ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature _____ Date 06/30/26

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature _____ Date 6/29/26

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals _____ Date _____

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS
SIGN VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Sign Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Sign Variance.)

Standard #1. Extraordinary Circumstances or Conditions.

Explain how the circumstances or physical conditions applying to the property that do not apply generally to other properties in the same Zone District or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** A sign could not be placed in the location required by the Zoning Ordinance due to the shape, topography or other physical conditions of the lot or due to the location of an existing structure.

☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

b. **Environmental Conditions.** A sign could not be placed in the location required by the Zoning Ordinance without removing or severely altering natural features, such as trees, topography, drainage courses or encroaching upon stormwater facilities.

☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

c. **Abutting Property.** A sign could not be reasonably seen by passing motorists due to the configuration of existing buildings, trees, signs or other obstructions on an abutting property.

☑ Not Applicable ☐ Applicable If applicable, describe below:

d. **Scale of Building or Lot Frontage**. A sign that exceeds permitted dimensions for area and/or height could be considered appropriate in scale due to the length of the building frontage (wall sign only) or length of the lot frontage (ground sign only).

☑ Not Applicable ☐ Applicable If applicable, describe below:

e. **Not Self-Created.** Describe the immediate practical difficulty causing the need for the Variance was not created by the applicant or any person having an interest in the sign, sign structure, or property.

☑ Not Applicable ☐ Applicable If applicable, describe below:

Standard #2. Limit Use of Property.

Explain how the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.

Difficult to Identify various services available at our premises which could result in loss of revenue/business.

Standard #3. Adverse Impact on Surrounding Area.

Explain how the Sign Variance will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter.

The proposed sign variance will not adversely impact surrounding properties because the sign is located on the end of the building and doesn't interfere with adjacent properties or surrounding area.

REQUEST FOR SIGN VARIANCE APPROVAL
Project Overview and Supporting Statement

Property Information

Business: Desi District
Location: 42875 Grand River Avenue #104, Novi, Michigan
Applicant: Phanish Bajjuri (Desi District)
Request: Approval of an Additional Wall Sign Through the Zoning Board of Appeals

Dear Members of the Zoning Board of Appeals,

On behalf of Desi District Novi, we respectfully request approval of a sign variance to permit the installation of an additional wall sign displaying **"EATERY • MEAT • MARKET."**

Desi District is a large-format mixed-use retail and restaurant establishment occupying approximately 13,000 square feet. Unlike a traditional restaurant or standalone retail store, Desi District combines multiple operations under one roof, including a full-service restaurant, grocery market, meat market, fresh produce section, bakery, specialty food departments, and other retail offerings.

While these operations function as a single business, the restaurant and grocery/retail areas are physically separated by interior partition walls and dedicated access points, creating distinct customer destinations within the building. Each department serves different customer needs and attracts visitors seeking specific products and services, making the overall operation significantly different from a conventional restaurant or retail establishment.

The proposed wall sign is intended to improve visibility, customer wayfinding, and business identification. Due to the size and configuration of the building, customers approach the site from both Grand River Avenue and Novi Road and access the property through three separate customer entrances, including a dedicated restaurant entrance, market entrance, and rear entrance serving a large parking area.

Although the primary Desi District sign is visible from certain viewpoints, customers approaching from other directions have limited visibility of the business and may not immediately recognize the variety of services offered within the building. The proposed **"EATERY • MEAT • MARKET"** wall sign will help customers identify the business, locate the appropriate entrance, and better understand the services available before entering the property.

The requested sign is not intended to create excessive signage or visual clutter. Rather, it serves an important wayfinding function and improves visibility for customers approaching from areas where the primary building sign is less visible. The sign is designed to complement the architecture of the building while enhancing customer convenience.

We would also like to note that the property has historically accommodated multiple business concepts and signage within the same building. While Desi District operates as a single integrated business, it similarly offers multiple departments and services within one location, making clear identification and visibility particularly important.

Additionally, the property does not currently benefit from a monument sign along Grand River Avenue that would otherwise provide advance visibility to passing traffic. As a result, the additional wall sign plays an important role in helping customers identify the business and understand the variety of services offered within the building.

Approval of this request would:

- Improve customer visibility and wayfinding.
- Assist customers in locating the appropriate entrance.
- Help identify the various services offered within the building.
- Enhance visibility for customers approaching from multiple directions.
- Support the successful operation of a significant local business investment.
- Promote economic activity and customer convenience without adversely impacting neighboring properties.

We believe this request is reasonable and consistent with the unique characteristics of the property, including its size, multiple entrances, mixed-use operation, and lack of monument signage. The proposed sign provides practical customer identification and wayfinding benefits while maintaining compatibility with the building's appearance.

For these reasons, we respectfully request that the Zoning Board of Appeals approve the proposed sign variance and permit the installation of the additional **"EATERY • MEAT • MARKET"** wall sign.

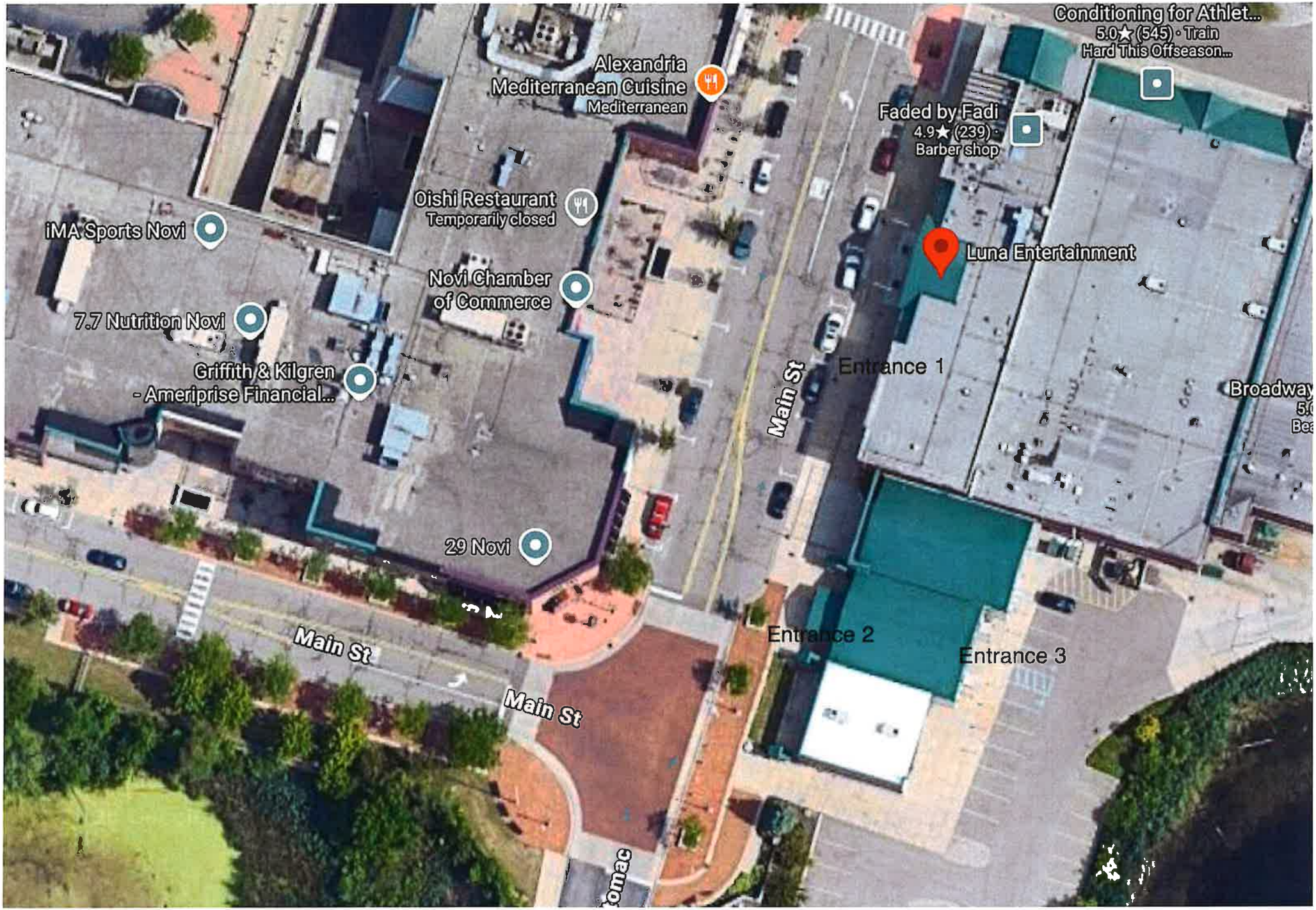
We are committed to working with the City to ensure compliance with all applicable rules and regulations. If necessary, we are willing to reduce the size of the sign, relocate it further toward the upper-right corner of the building, or make any other reasonable modifications recommended by City staff or the Board while maintaining effective visibility for our customers.

Thank you for your time, consideration, and service to the community. We appreciate the opportunity to present this request and would be pleased to provide any additional information the Board may require.

Sincerely,

Phanish Bajjuri
Desi District


DESI DISTRICT
MARKET • HALAL MEAT – EATERY


Conditioning for Athlet...
5.0★ (545) · Train
Hard This Offseason...
Alexandria
Mediterranean Cuisine
Mediterranean
Faded by Fadi
4.9★ (239) ·
Barber shop
Oishi Restaurant
Temporarily closed
iMA Sports Novi
Luna Entertainment
Novi Chamber
of Commerce
7.7 Nutrition Novi
Entrance 1
Griffith & Kilgren
- Ameriprise Financial...
Main St
Broadway
29 Novi
Entrance 2
Entrance 3
Main St
Main St

COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETING DATE:** August 11, 2026

REGARDING: **Parcel # 50-22-24-377-026 (PZ26-0037)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Willowbrook Farms

Variance Type
Sign Variance

Property Characteristics

Zoning District:	This property is zoned One-Family Residential (R-4)
Location:	north of Ten Mile Road, along the east side of Bethany Way
Parcel #:	50-22-24-377-026

Request
The applicant is requesting variances from City of Novi Sign Ordinance Section 28-5(a)Chart to allow construction of 6ft. in height residential entrance way signs (5 ft. maximum allowed, variance of 1 ft.); and Section 28-5(d)(11) to allow an additional residential entrance way sign at vehicular entrance (1 sign permitted, variance of 1 sign).

II. STAFF COMMENTS:

The applicant is seeking (2) sign variances to update existing entrance monument signs to the existing residential community, Willowbrook Farms. The existing brick entry walls are planned to be modified slightly to provide an updated visual appearance, with the new signage, designed to be consistent between the two entrance locations.

1) *1-foot height increase for the new signage design at both locations [5' allowed, 6' proposed]*
2) *Allow an additional entrance way sign [one allowed, two requested / existing condition]*

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

I move that we ***grant*** the variance in Case No. **PZ26-0037** sought by _____, for _____ because Petitioner has shown practical difficulty including _____requiring _____on the basis of any of the following:

a. That the request is based upon circumstances or features that are exceptional and unique to the property and do not result from conditions that exist generally in the city or that are self-created including _____
_____
_____.

b. That the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because _____
_____
_____.

c. That the grant of relief would be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will result in an improvement of the property or the project _____
_____
_____.

d. That construction of a conforming sign would require the removal or significant alteration of natural features on the property because _____
_____
_____.

e. The grant of relief will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter because _____
_____
_____.

The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

I move that we ***deny*** the variance in Case No. **PZ26-0037** sought by _____, for_____ because Petitioner has not shown practical difficulty because: _____
_____.

a. That the request is based upon circumstances or features that are not exceptional and/or unique to the property and/or that result from conditions that exist generally in the city or that are self-created including _____
_____
_____.

b. That the failure to grant relief will not unreasonably prevent or limit the use of the property and/or will not result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because _____
_____
_____.

c. That the grant of relief would not be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will not result in an improvement of the property or the project because _____
_____
_____.

d. That construction of a conforming sign would not require the removal or significant alteration of natural features on the property because _____
_____
_____.

e. The grant of relief will result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will not result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is inconsistent with the spirit and intent of this chapter because
_____
_____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi

RECEIVED

JUL 01 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $330.00

Meeting Date: 8/11/26

ZBA Case #: PZ 26-0037

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: Willowbrook Farms Sub #4

ADDRESS: 41139 Scarborough Lane, NOVI, MI 48375

LOT/SIUTE/SPACE #:

SIDWELL #: 50-22-24 - 377 - 049 (May be obtain from Assessing Department (248) 347-0485)

CROSS ROADS OF PROPERTY: 6 signs: Bethany Way & 10 Mile, Amanda Lane & 10 Mile, Clermont Ave & Meadowbrook Rd, South & North Sides Clermont & Meadowbrook, Scarborough Lane & Meadowbrook Rd

IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☑ YES ☐ NO

REQUEST IS FOR: ☑ RESIDENTIAL ☐ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE

DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☑ NO

II. APPLICANT INFORMATION

A. APPLICANT

NAME: Molly Smith	CELL PHONE NO.
ORGANIZATION/COMPANY: Signs & More	TELEPHONE NO.
ADDRESS: 1371 Souter Drive	FAX NO.
CITY: Troy	STATE: MI
	ZIP CODE: 48083

B. PROPERTY OWNER ☐ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property:	CELL PHONE NO.
NAME: Shyam Valloornatt	TELEPHONE NO.
ORGANIZATION/COMPANY: Willowbrook Farms homeowner's Association	FAX NO.
ADDRESS: 41139 Scarborough Lane	CITY: Novi
STATE: MI	ZIP CODE: 48375

III. ZONING INFORMATION

A. ZONING DISTRICT

☐ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☑ R-4 ☐ RM-1 ☐ RM-2 ☐ MH

☐ I-1 ☐ I-2 ☐ RC ☐ TC ☐ TC-1 ☐ OTHER _____

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 28-5(a) Footnote (3) Variance requested Residential entranceway sign at 6' in height (5' maximum -variance of 1')
2. Section 28-5(d)(11) Variance requested 2 entrance way signs at this entrance (1 allowed - variance of 1)
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☐ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☐ Single Family Residential (New) $275

☐ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☑ Signs $330 ☐ (With Violation) $440

☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☑ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☑ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Molly Smith — Applicant Signature

6/30/26 — Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

SHYAM VALLOORNATT. — Property Owner Signature

06/30/26. — Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals — Date

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS
SIGN VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Sign Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Sign Variance.)

Standard #1. Extraordinary Circumstances or Conditions.

Explain how the circumstances or physical conditions applying to the property that do not apply generally to other properties in the same Zone District or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** A sign could not be placed in the location required by the Zoning Ordinance due to the shape, topography or other physical conditions of the lot or due to the location of an existing structure.

☐ Not Applicable ☑ Applicable If applicable, describe below:

The subdivision was designed with coordinated entrance walls. Four of the wall signs are positioned at a 6' height currently (we are requesting a 1' variance from the maximum 5' height requirement for all signs) and one entryway has two entrance walls with signs (we are requesting a variance of 1).
We are requesting two island signs be increased to a 6' height with the intent of creating consistency.

and/or

b. **Environmental Conditions.** A sign could not be placed in the location required by the Zoning Ordinance without removing or severely altering natural features, such as trees, topography, drainage courses or encroaching upon stormwater facilities.

☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

c. **Abutting Property.** A sign could not be reasonably seen by passing motorists due to the configuration of existing buildings, trees, signs or other obstructions on an abutting property.

☑ Not Applicable ☐ Applicable If applicable, describe below:

d. **Scale of Building or Lot Frontage**. A sign that exceeds permitted dimensions for area and/or height could be considered appropriate in scale due to the length of the building frontage (wall sign only) or length of the lot frontage (ground sign only).

☑ Not Applicable ☐ Applicable If applicable, describe below:

e. **Not Self-Created.** Describe the immediate practical difficulty causing the need for the Variance was not created by the applicant or any person having an interest in the sign, sign structure, or property.

☐ Not Applicable ☑ Applicable If applicable, describe below:

The difficulties are not self-created and our request is not unreasonable. Our goal is to maintain the original wall structures that were put in place because we LOVE them! Making change per ordinance will adversely impact the aesthetics.

It is our hope that this variance request aligns with the zoning ordinance's spirit as we work to maintain our entryway walls. This request does not adversely impact neighbors, public safety or property values.

Standard #2. Limit Use of Property.

Explain how the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.

Failure to grant relief will present a practical difficulty as we are working to maintain the existing entry ways for walls which were originally designed with signage at a 6' height and an entrance that has two signs rather than one. Willowbrook Farms has a unique situation as the walls and signs are already in place and have been for many years. The reason for this appeal is to document the signage that is in place so there are records. We believe the 6' height and additional sign (entrance with two signs) were previously approved by the city or installed under prior permits. This request for variance is being made in effort of maintaining the entrances as they are today. Making a change in the number of signs and height will affect the aesthetics of the entry ways, especially for the entrance where a sign will be removed from the wall.

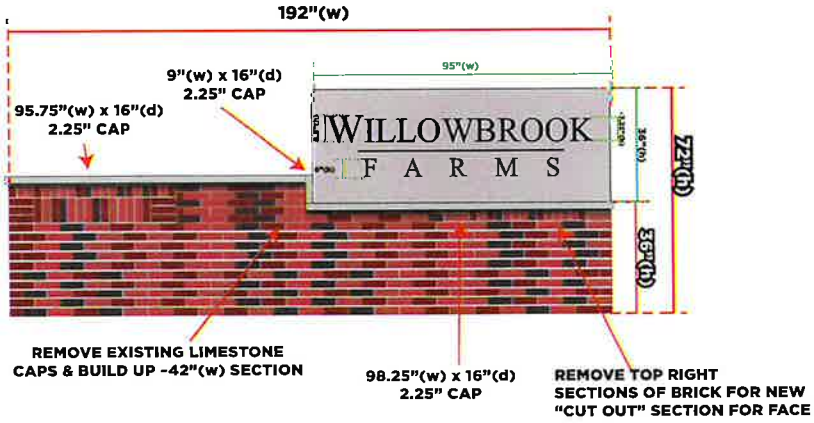
Standard #3. Adverse Impact on Surrounding Area.

Explain how the Sign Variance will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter.

A variance compensates for site-specific conditions. The proposed signs maintain substantially the same footprint, location, and design as the existing entrances. The additional foot of height does not negatively affect neighboring properties, obstruct sign lines, or alter the residential character of the area.

WILLOWBROOK FARMS - Meadowbrook & Scarborough Ln Entrance - SIGN DESIGN
REFERENCE ADDRESS/HOME NEAR ENTRANCE: 41338 Scarborough Ln, Novi, MI 48375

UPDATED SIGN DESIGN:

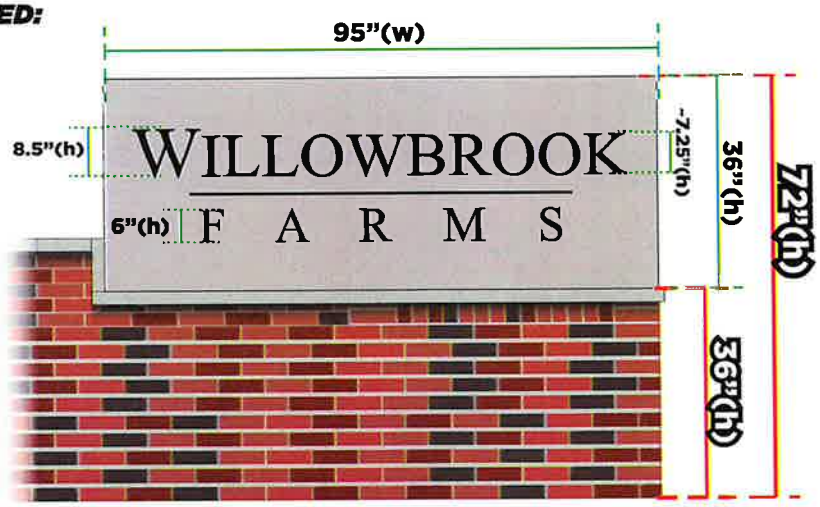


-REMOVE EXISTING SIGN & ALL LIMESTONE/CAPS ON STRUCTURE
- -EXISTING SIGN FROM GRADE TO THE TOP OF THE SIGN FACE IS CURRENTLY 60"(h)

-BUILD UP ~42"(w) SECTION IN MIDDLE WHERE EXISTING SIGN FACE WAS/WILL BE REMOVED FROM
-REMOVE TOP ~4 ROWS OF BRICKS ON EXISTING RIGHT EDGE TO CREATE NEW "CUT OUT" SECTION FOR NEW FACE
-ADD NEW LIMESTONE CAPS TO NEW "CUT OUT" SECTION
-INSTALL NEW 95"(w) x 36"(h) x 4"(d) LIMESTONE FACE VIA INSERTING REROD INTO BASE AND SECURING INTO FACE
- -DOUBLE SIDED GRAPHICS PAINT FILLED INTO STONE
- -SIGN FACE = **23.75 sqft**

-NEW 2.25"(h) LIMESTONE CAPS:
- -95.75"(w) x 16"(d)
  (may come in 2 pieces due to size)
- -9"(w) x 16"(d)
  (side of cutout)
- -98.25"(w) x 16"(d)
  (may come in 2 pieces due to size)

ENHANCED:



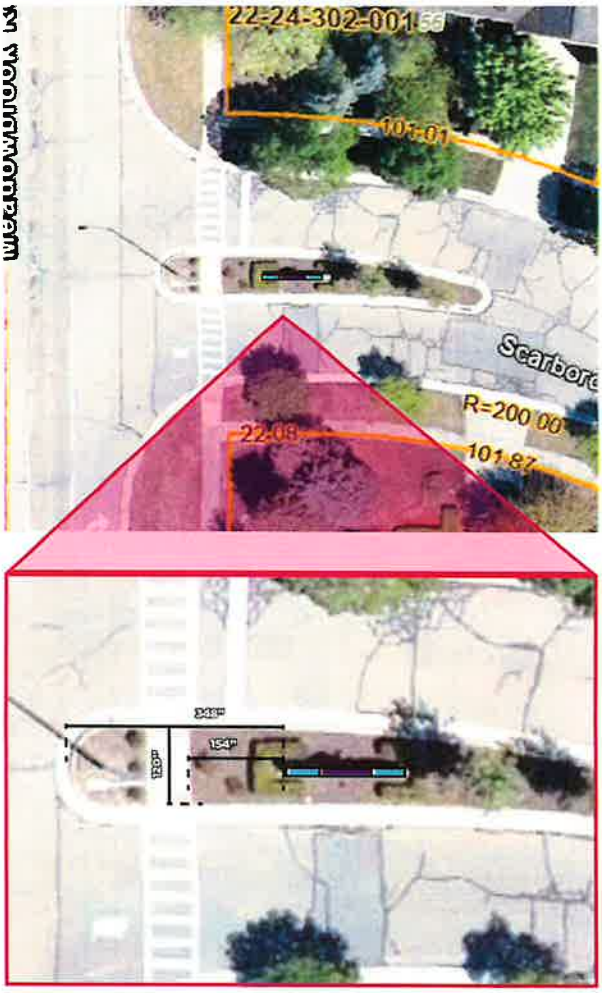
WILLOWBROOK FARMS - Meadowbrook & Scarborough Ln Entrance - SIGN DESIGN (Cont'd)
REFERENCE ADDRESS/HOME NEAR ENTRANCE: 41338 Scarborough Ln, Novi, MI 48375

EXISTING SIGN DESIGN:

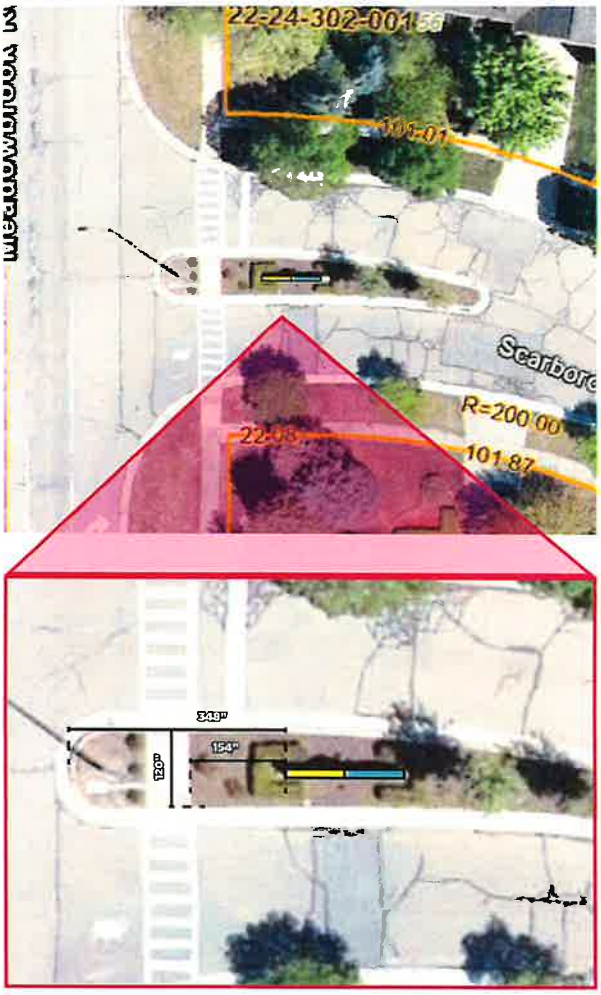
UPDATED SIGN RENDERING:

WILLOWBROOK FARMS - Meadowbrook & Scarborough Ln Entrance - SITE PLAN
REFERENCE ADDRESS/HOME NEAR ENTRANCE: 41338 Scarborough Ln, Novi, MI 48375

EXISTING SITE PLAN:



UPDATED SITE PLAN:



= EXISTING BRICK STRUCTURE

= EXISTING SIGN FACE

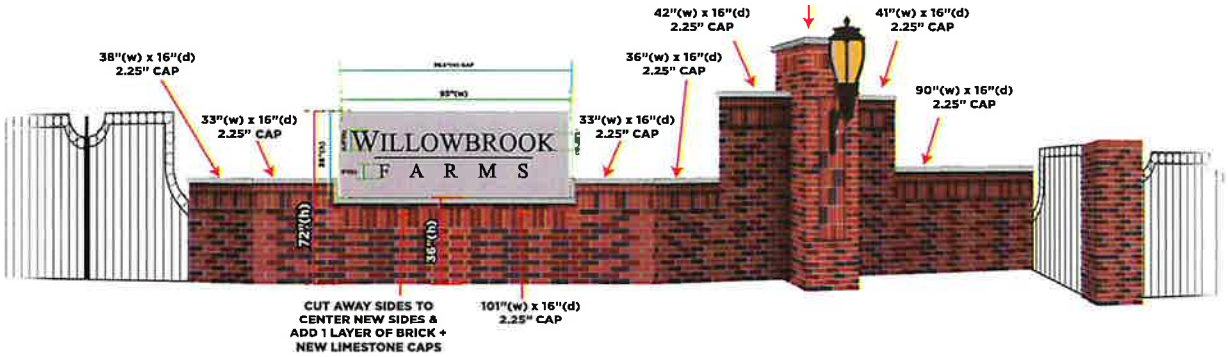
= NEW SIGN FACE

-EXISTING STRUCTURE IS CENTERED WITHIN ~120"(w) MEDIAN ON SCARBOROUGH LANE AND 154" WEST OF THE SIDEWALK, WHICH IS 348" WEST OF EDGE OF MEDIAN

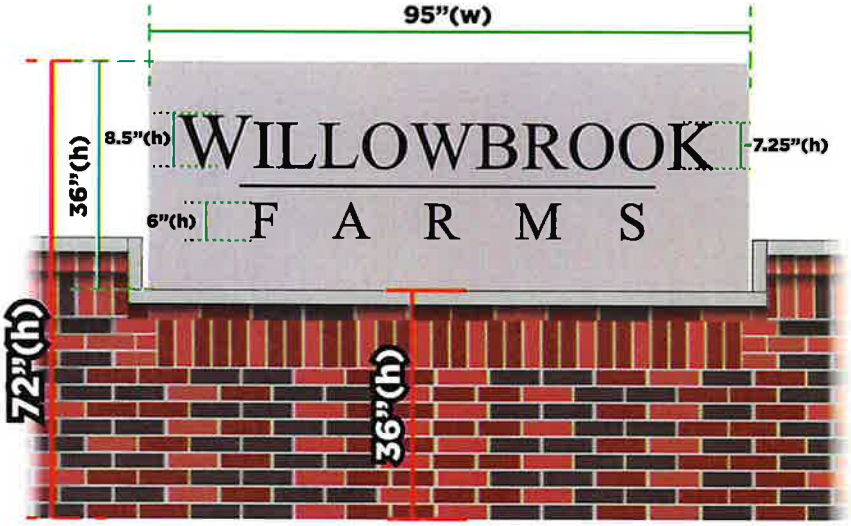
-UPDATED STRUCTURE WILL BE THE SAME SIZE/WE WILL ONLY BE CUTTING BRICKS OUT FROM EXISTING STRUCTURE TO SET NEW LIMESTONE FACE INTO STRUCTURE

WILLOWBROOK FARMS DRAWINGS - Meadowbrook & Clermont - **SOUTH SIDE** - SIGN DESIGN
ADDRESS: 24975 Bloomfield Ct, Novi, MI 48375

UPDATED SIGN DESIGN:



ENHANCED:



-REMOVE EXISTING SIGN & LIMESTONE UNDER SIGN
-EXISTING SIGN FROM GRADE TO THE TOP OF THE SIGN FACE IS CURRENTLY 72"(h)

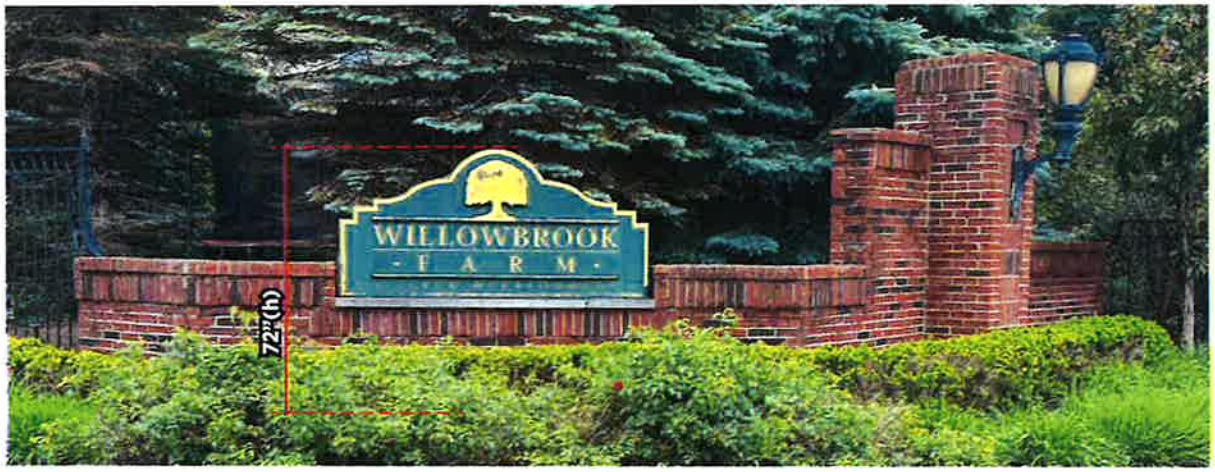
-CUT OUT SIDES OF THE MIDDLE 167"(w) SECTION SO SIGN CAN BE CENTERED (i.e. LEFT SIDE OF SIGN WAS 39" & RIGHT SIDE OF SIGN WAS 42")
-BUILD UP CENTER PORTION TO 36" (h) VIA ~1 LAYER OF BRICK + NEW LIME STONE CAP
-INSTALL NEW 95"(w) x 36"(h) x 4"(d) LIMESTONE FACE VIA INSERTING REROD INTO BASE AND SECURING INTO FACE
-SINGLE SIDED GRAPHICS PAINT FILLED INTO STONE
-SIGN FACE = **23.75 sqft**

-NEW 2.25"(h) CAPS:

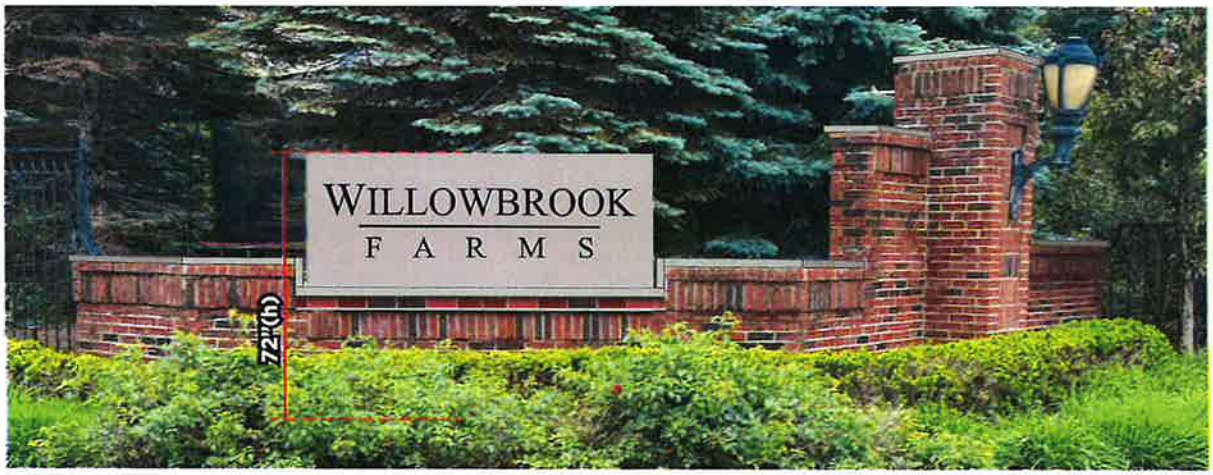
-38"(w) x 16"(d)
-33"(w) x 16"(d) x2
-8.25"(w) x 16"(d) x2
(sides of cutout)
-101"(w) x 16"(d)
(may come in 2 pieces due to size)
-36"(w) x 16"(d) x2
-35"(w) x 35"(d)
-42"(w) x 16"(d)
-41"(w) x 16"(d)
-90"(w) x 16"(d)

WILLOWBROOK FARMS DRAWINGS - Meadowbrook & Clermont - **SOUTH SIDE** - SIGN DESIGN (Cont'd)
ADDRESS: 24975 Bloomfield Ct, Novi, MI 48375

EXISTING SIGN DESIGN:



UPDATED SIGN RENDERING:



WILLOWBROOK FARMS DRAWINGS - Meadowbrook & Clermont - **SOUTH SIDE** - SITE PLAN
ADDRESS: 24975 Bloomfield Ct, Novi, MI 48375

EXISTING SITE PLAN:

UPDATED SITE PLAN:

= PROPERTY LINE

= EXISTING BRICK STRUCTURE

= EXISTING SIGN FACE

= NEW SIGN FACE

-EXISTING STRUCTURE IS 156" WEST OF PROPERTY LINE & 471" WEST OF MEADOWBROOK RD THEN IT IS 132" SOUTH OF PROPERTY LINE/SIDEWALK, & 312" SOUTH OF CLERMONT AVE

-UPDATED STRUCTURE WILL BE THE SAME SIZE/PLACEMENT - WE WILL ONLY BE CUTTING BRICKS OUT FROM EXISTING STRUCTURE TO SET NEW LIMESTONE FACE INTO STRUCTURE

COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETING DATE:** August 11, 2026

REGARDING: **43570 West Oaks Drive # 50-22-15-200-113 (PZ26-0038)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Ross Dress for Less

Variance Type
Sign Variance

Property Characteristics

Zoning District:	This property is zoned Regional Center (RC)
Location:	north of Twelve Mile Road, west of Novi Road
Parcel #:	50-22-15-200-113

Request
The applicant is requesting a variance from the City of Novi Sign Ordinance Section 28-5(b)(1) b. to allow a 258 sq. ft. illuminated wall sign (181.5 sq. ft. permitted by code, variance of 76.5 sq. ft.)

II. STAFF COMMENTS:

The applicant is seeking a sign variance to increase the allowable size of an illuminated wall sign by 77 SF [181.5 SF allowed at this site, 258.5 SF proposed]

Window graphics are not part of this request.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

I move that we ***grant*** the variance in Case No. **PZ26-0038** sought by _____, for _____ because Petitioner has shown practical difficulty including _____requiring _____on the basis of any of the following:

a. That the request is based upon circumstances or features that are exceptional and unique to the property and do not result from conditions that exist generally in the city or that are self-created including _____
_____
_____.

b. That the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because _____
_____
_____.

c. That the grant of relief would be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will result in an improvement of the property or the project _____
_____
_____.

d. That construction of a conforming sign would require the removal or significant alteration of natural features on the property because _____
_____
_____.

e. The grant of relief will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter because _____
_____
_____.

The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

I move that we ***deny*** the variance in Case No. **PZ26-0038** sought by _____, for_____ because Petitioner has not shown practical difficulty because: _____
_____.

a. That the request is based upon circumstances or features that are not exceptional and/or unique to the property and/or that result from conditions that exist generally in the city or that are self-created including _____
_____
_____.

b. That the failure to grant relief will not unreasonably prevent or limit the use of the property and/or will not result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because _____
_____
_____.

c. That the grant of relief would not be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will not result in an improvement of the property or the project because _____
_____
_____.

d. That construction of a conforming sign would not require the removal or significant alteration of natural features on the property because _____
_____
_____.

e. The grant of relief will result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will not result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is inconsistent with the spirit and intent of this chapter because
_____
_____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0423.

Alan Hall – Deputy Director Community Development - City of Novi

RECEIVED

JUL 07 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $330.00

Meeting Date: 8/14/26

ZBA Case #: PZ 26-0038

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: Ross Sign

ADDRESS: 43570 W Oaks | LOT/SIUTE/SPACE #:

SIDWELL #: 50-22-15-200-113 — May be obtain from Assessing Department (248) 347-0485

CROSS ROADS OF PROPERTY: W. Oaks between Novi Road and Donelson Dr

IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☐ YES ☒ NO

REQUEST IS FOR: ☐ RESIDENTIAL ☒ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE

DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☒ NO

II. APPLICANT INFORMATION

A. APPLICANT

NAME: Chris Corradi	EMAIL ADDRESS:	CELL PHONE NO.:	
ORGANIZATION/COMPANY: Aver Sign Co.		TELEPHONE NO.:	
ADDRESS: 1285 Wordsworth St	CITY: Ferndale	STATE: MI	ZIP CODE: 48220
		FAX NO.:	

B. PROPERTY OWNER ☐ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

Identify the person or organization that owns the subject property:	EMAIL ADDRESS:	CELL PHONE NO.:	
NAME: RPT West Oaks II LLC		TELEPHONE NO.:	
ORGANIZATION/COMPANY:		FAX NO.:	
ADDRESS: 500 N Broadway Ste 201	CITY: Jericho	STATE: NY	ZIP CODE: 11753

III. ZONING INFORMATION

A. ZONING DISTRICT

☐ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ RM-1 ☐ RM-2 ☐ MH

☐ I-1 ☐ I-2 ☒ RC ☐ TC ☐ TC-1 ☐ OTHER _____

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 28-5b Variance requested dimensional (sign area)
2. Section _____ Variance requested _____
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☐ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☐ Single Family Residential (New) $275

☐ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☒ Signs $330 ☐ (With Violation) $440

☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☐ DIMENSIONAL ☐ USE ☒ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature _____ Date 6/30/26

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature _____ Date _____

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals _____ Date _____

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS
SIGN VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Sign Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Sign Variance.)

Standard #1. Extraordinary Circumstances or Conditions.

Explain how the circumstances or physical conditions applying to the property that do not apply generally to other properties in the same Zone District or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** A sign could not be placed in the location required by the Zoning Ordinance due to the shape, topography or other physical conditions of the lot or due to the location of an existing structure.

☐ Not Applicable ☐ Applicable If applicable, describe below:

and/or

b. **Environmental Conditions.** A sign could not be placed in the location required by the Zoning Ordinance without removing or severely altering natural features, such as trees, topography, drainage courses or encroaching upon stormwater facilities.

☐ Not Applicable ☐ Applicable If applicable, describe below:

and/or

c. **Abutting Property.** A sign could not be reasonably seen by passing motorists due to the configuration of existing buildings, trees, signs or other obstructions on an abutting property.

☐ Not Applicable ☐ Applicable If applicable, describe below:

d. **Scale of Building or Lot Frontage.** A sign that exceeds permitted dimensions for area and/or height could be considered appropriate in scale due to the length of the building frontage (wall sign only) or length of the lot frontage (ground sign only).

☐ Not Applicable ☒ Applicable If applicable, describe below:

The total area of our proposed sign is 258.5 sq ft, whereas the total allowed area by ordinance is 250 sq ft, a difference of just over 3%. A 3% increase in the permitted wall sign area is a minimal deviation that preserves the intent of the zoning ordinance while allowing for a balanced, proportionate sign design that is appropriately scaled to the building façade. The requested overage will not adversely affect neighboring properties, traffic safety, or the overall visual character of the area. Granting this variance provides reasonable flexibility without undermining the purpose of the sign regulations and results in a practical, aesthetically compatible installation.

e. **Not Self-Created.** Describe the immediate practical difficulty causing the need for the Variance was not created by the applicant or any person having an interest in the sign, sign structure, or property.

☐ Not Applicable ☐ Applicable If applicable, describe below:

Standard #2. Limit Use of Property.

Explain how the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.

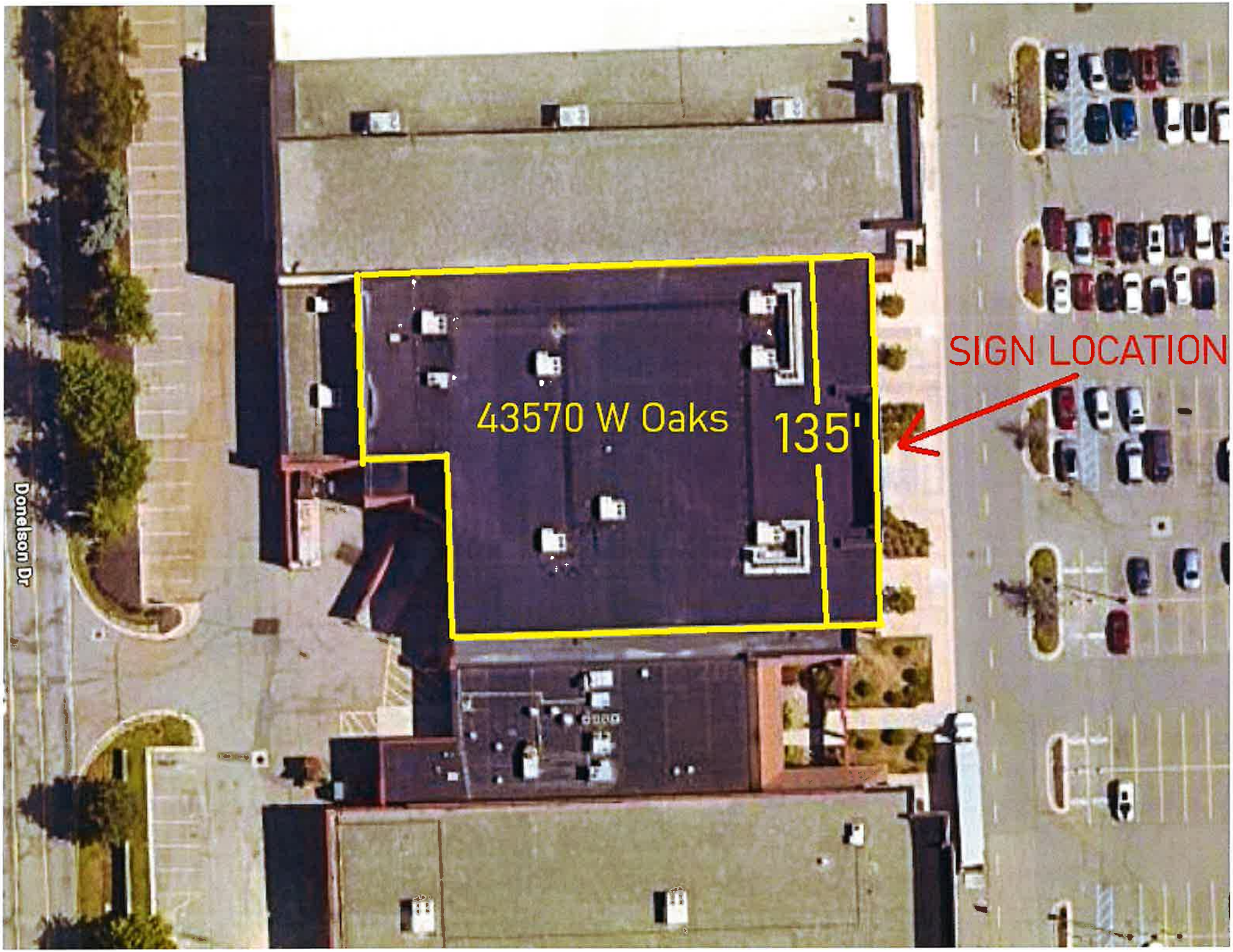
Failure to grant the requested 3% sign area variance would unreasonably limit the property's ability to function as intended by restricting adequate business identification and visibility. The requested relief is not sought to increase profitability, but to provide signage that is proportionate to the building and reasonably visible to customers. Denial of the variance would result in substantially more than a mere inconvenience by impairing the property's practical use for its intended commercial purpose, reducing effective wayfinding and customer recognition despite the requested deviation being minimal and having no meaningful impact on neighboring properties or the public interest.

Standard #3. Adverse Impact on Surrounding Area.

Explain how the Sign Variance will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter.

The requested 3% sign area variance will not result in a structure or use that is incompatible with, or unreasonably interferes with, adjacent or surrounding properties. The proposed sign remains consistent with the scale, design, and commercial character of the area, and the slight increase in sign area will not create adverse impacts related to aesthetics, traffic safety, light, or neighboring property use. Granting the variance achieves substantial justice by allowing the applicant reasonable and effective identification of the business while preserving the rights and interests of surrounding property owners, who will experience no material detriment as a result of the minimal deviation. Furthermore, the request is consistent with the spirit and intent of the sign ordinance, which is to regulate signage in a manner that protects the public health, safety, and welfare while preventing excessive or intrusive signs. Because the requested increase is de minimis and does not undermine these objectives, approval of the variance represents a reasonable application of the ordinance that balances its purpose with the practical use of the property.


43570 W Oaks Ste B-3
W 12 Mile Rd
W 12 Mile Rd
W 12 Mile Rd
Kohl's
Burlington
Byrd's Hot Chicken
Jared Jewelers
Donelson Dr
Donelson Dr
Donelson Dr
Donelson Dr
Novi Rd
Novi Rd
Novi Rd
Novi Rd
Karevich Dr
Watson's of Novi – Home Leisure
Ashley Store
Plato's Closet Novi
W Oaks Dr
W Oaks Dr
Gjeto's Salon


43570 W Oaks
135'
SIGN LOCATION
Donelson Dr


43570 W Oaks Dr
Suite B-3
BED BATH & BEYOND
JCPenney
KOHL'S

NOTES:

ROSS CONTRACTOR TO PROVIDE:

- ADEQUATE ACCESS BEHIND LOGO LETTER AND CABINET FOR INSTALLATION AND MAINTENANCE, PER ARTICLE 600 OF THE N.E.C.
- ONE (1) 20 AMP 120V ISOLATED SIGN CIRCUIT AND JUNCTION BOXES TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM.
- AT LEAST 1/2" THICK PLYWOOD BACKING BEHIND ALL E.I.F.S. WALL SYSTEM FOR SIGN AND BANNER SUPPORT.

SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 80% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.

ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING, SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.

IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.

NOTE: SIGN INSTALLER TO CONFIRM SIGN FASCIA DIMENSIONS IN THE FIELD BEFORE INSTALLING ANY SIGNAGE. IF ANY DISCREPANCIES NOTIFY ROSS STORE DESIGN.

*** LIGHTING DETAILS ***

(A) 72"H INDIVIDUAL "ROSS" PAN CHANNEL LETTER-LOK LOGO LETTERS:
FACES: .177 PLASKOLITE OPTIX LD (LIGHT DIFFUSING) 2406 WHITE WITH 3M 3730-167L BLUE VINYL FILM OVERLAY
RETURNS: 8"D ALUM. W/ WHITE FINISH
TRIM CAP: 2" WHITE JEWELITE
LETTER BACKS: ALUMINUM
LEDS: PRINCIPAL TRUE WHITE QWIK MOD 3 (7100K)
MOUNTING: 1/4"-20 GALV. THRU BOLTS
PEG OFF: 1/2" SPACERS

ATTACHMENT DETAILS

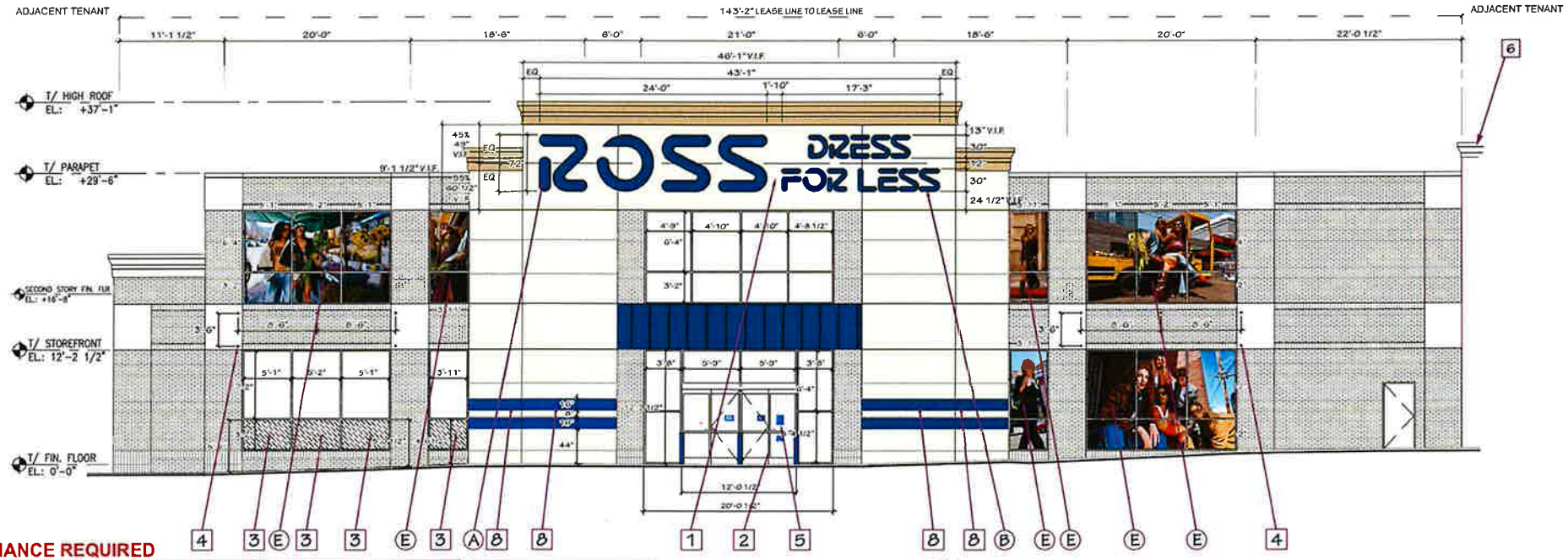
(B) 30"H INDIVIDUAL "DFL" LOGO LETTERS:
ALL CALLOUTS SAME AS "ROSS" EXCEPT:
RETURNS: 5"D ALUM. W/ WHITE FINISH
TRIM CAP: 1" WHITE JEWELITE

(C) N/A

(D) N/A

(E) TYPICAL DIGITAL GRAPHIC APPLIED TO STOREFRONT WINDOW WITH GRAFFITI GUARD BY SIGN MANAGER. IMAGES MAY VARY FROM WHAT IS SHOWN. SEE SHEET WG FOR DETAILS.

1. SIGN FASCIA BY ROSS CONTRACTOR, SEE NOTES.
2. CLEAR ANODIZED ALUMINUM STOREFRONT & DOORS BY ROSS CONTRACTOR.
3. FROSTED FILM BY ROSS CONTRACTOR.
4. (2) SETS OF FIVE (5) EYE-BOLTS FOR BANNER ATTACHMENT BY ROSS CONTRACTOR.
5. STORE HOURS; INCLUDES STORE HOURS, OPERATIONAL DECAL, EBT, GUARD & RESERVE LTR. 55 & OVER AND EXIT/ENTER DECALS. SEE SHEET SH FOR DETAILS.
6. ADJACENT PARAPET MAY NOT BE HIGHER THAN ROSS BASE BUILDING.
7. N/A
8. TYPICAL ROSS BLUE IDENTITY BANDS BY ROSS CONTRACTOR.
9. N/A
10. N/A
11. N/A
12. N/A



VARIANCE REQUIRED

CODE:
65 sf Max.

SIGN AREA ALLOWED: 65.00 S.F.
SIGN AREA PROPOSED: 258.30 S.F.

ROSS DRESS FOR LESS

WALL PLAQUES: NA

UNDERCANOPY SIGN: NA

ROSS DFL:	258.30
UNDER CANOPY:	NA
(2) WALL PLAQUES	NA
TOTAL:	258.30

EXHIBIT _____

PAGE ____ OF ____

(1) STOREFRONT • NOVI RD • EAST • ELEVATION

SCALE: 3/32" = 1'

RB-E

AD-RSS126856

blair IMAGE ELEMENTS

ROSS DRESS FOR LESS

#2961 Novi, MI
West Oaks
SWC Novi Road & West 12 Mile Road
Novi, MI 48377

drawn 02/13/26

SHEET **S1**

*** LIGHTING DETAILS ***

(A) 72"H INDIVIDUAL "ROSS" PAN CHANNEL
LETTER-LOK LOGO LETTERS:
FACES: .177 PLASKOLITE OPTIX LD
(LIGHT DIFFUSING) 2406 WHITE WITH
3M 3730-167L BLUE VINYL FILM OVERLAY
RETURNS: 8"D ALUM. W/ WHITE FINISH
TRIM CAP: 2" WHITE JEWELITE
LETTER BACKS: ALUMINUM
LEDS: PRINCIPAL TRUE WHITE
QWIK MOD 3 (7100K)

MOUNTING: 1/4"-20 GALV. THRU BOLTS
PEG OFF: 1/2" SPACERS

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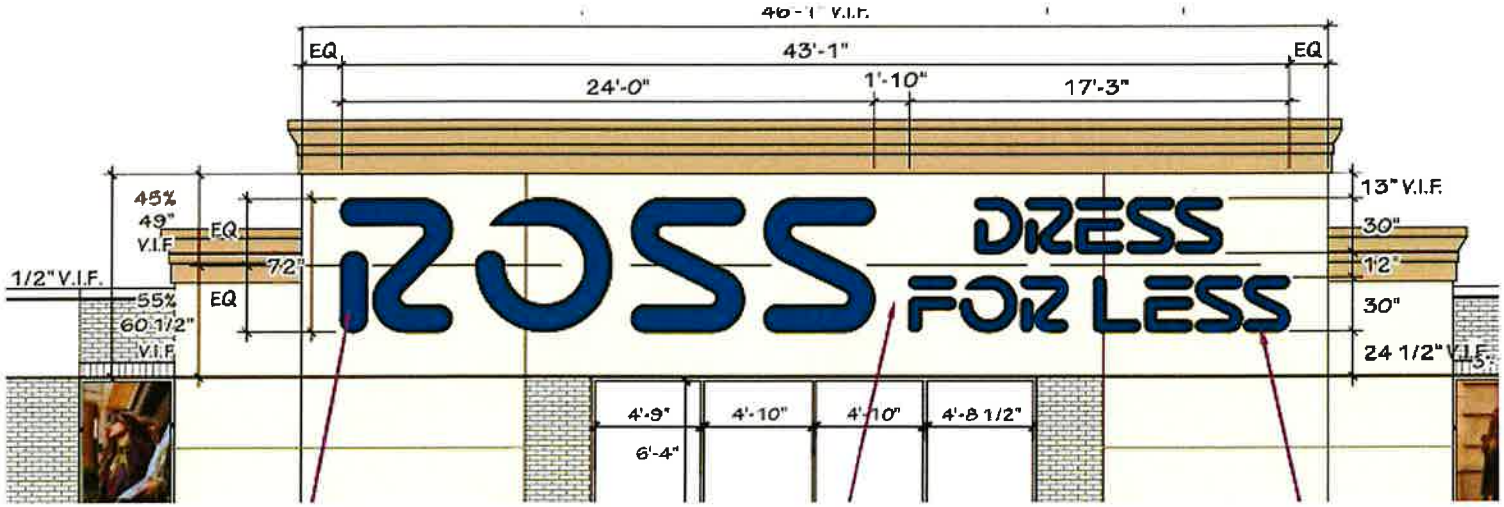
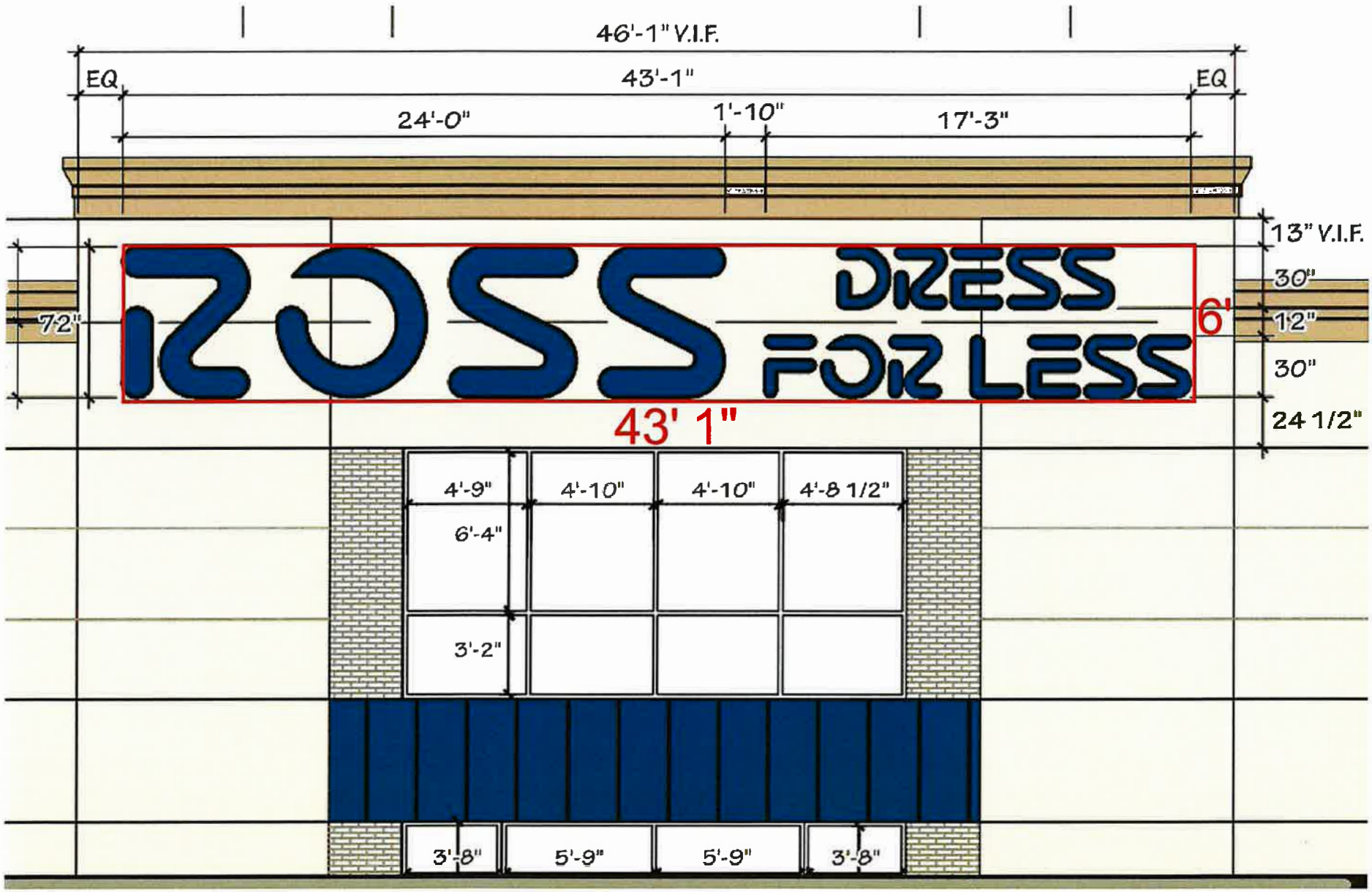
ALL CALLOUTS SAME AS "ROSS" EXCEPT:
RETURNS: 5"D ALUM. W/ WHITE FINISH
TRIM CAP: 1" WHITE JEWELITE




46'-1" V.I.F.
EQ
43'-1"
EQ
24'-0"
1'-10"
17'-3"
13" V.I.F.
30"
12"
30"
24 1/2"
72"
ROSS
DRESS
FOR LESS
6'
43' 1"
4'-9"
4'-10"
4'-10"
4'-8 1/2"
6'-4"
3'-2"
3'-8"
5'-9"
5'-9"
3'-8"