



PLANNING COMMISSION AGENDA

CITY OF NOVI

June 10, 2026 | 7:00 PM

Council Chambers | Novi Civic Center

45175 Ten Mile Road, Novi, MI 48375

(248) 347-0475

COMMISSION MEMBERS: Avdoulos, Dismondy, Lynch, Pehrson, Reddi, Roney, Verma

The Planning Commission wishes to advise the general public that all remarks shall be limited to three minutes per person during both the Public Hearing and Audience Participation portions of the meeting. Petitioners' presentations shall be limited to ten minutes.

No person, other than a Commission member, shall address an issue for public hearing following the closing of that public hearing by the Chairperson (except during Audience Participation).

The above participation policy is outlined in Sections 3.4 and 3.8 of the Planning Commission By-Laws and Rules of Procedure.

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

AUDIENCE PARTICIPATION

CORRESPONDENCE

COMMITTEE REPORTS

CITY PLANNER REPORT

CONSENT AGENDA - REMOVALS AND APPROVALS

PUBLIC HEARINGS

1. TEXT AMENDMENT 18.307 – PROPOSED AMENDMENTS TO LANDSCAPING STANDARDS

Public hearing for Text Amendment 18.307 to amend the Landscape Ordinance (Section 5.5), and update the Landscape Design Manual.

2. PBR25-0096 41619 STEINBECK GLEN WOODLAND PERMIT

Public Hearing at the request of Andi Kareem for consideration of a Woodland Use Permit to impact 4 trees.

3. PBR25-0215 24190 TRAFALGAR COURT WOODLAND PERMIT

Public Hearing at the request of Brian Sears for consideration of a Woodland Use Permit to remove 23 trees to install a fence.

MATTERS FOR CONSIDERATION

1. FORMA BEAUTY SALON PARKING EXPANSION JSP26-14

Consideration at the request of Forma Beauty Salon for approval of the Preliminary Site Plan. The subject property is located at 26179 Novi Road, north of Grand River Avenue (Section 15). The applicant proposes site improvements including the addition of 10 parking spaces and a new dumpster enclosure.

2. 44725 GRAND RIVER (DAMAS BUILDING) PARKING EXPANSION JSP26-07

Consideration at the request of Versa Real Estate for approval of the Preliminary Site Plan. The property is located east of Taft Road and south of Grand River Avenue (Section 15). The applicant proposes site improvements including the addition of 20 parking spaces.

3. ICHIBAN FACADE JF25-13

Consideration at the request of Crown Realty & Management for approval of a Section 9 Façade Waiver. The existing building is located on a portion of the 5.86-acre parcel at 42050 Grand River Avenue (Section 23). The applicant requests approval for the application of asphalt shingles on a mansard roof.

4. APPROVAL OF THE MAY 13, 2026 PLANNING COMMISSION MINUTES

CONSENT AGENDA REMOVALS FOR COMMISSION ACTION

SUPPLEMENTAL ISSUES/TRAINING UPDATES

AUDIENCE PARTICIPATION

ADJOURNMENT

SCHEDULED AND ANTICIPATED MEETINGS

All regular Planning Commission meetings are held in the Council Chambers unless otherwise noted. For a complete listing of scheduled meetings, please visit the Event Calendar at cityofnovi.org.

Full plan sets are available to view at the Community Development Department.

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk (248) 347-0456 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

MEMORANDUM



TO: LINDSAY BELL, AICP, DIRECTOR OF PLANNING
FROM: RICK MEADER, LANDSCAPE ARCHITECT
SUBJECT: PROPOSED REVISIONS TO LANDSCAPE ORDINANCE
AND LANDSCAPE DESIGN MANUAL
DATE: MAY 3, 2026

The following memorandum presents a comprehensive set of proposed revisions to Section 5.5 of the Zoning Ordinance (Landscape Standards) and the Landscape Design Manual. These updates are intended to modernize the City's landscape requirements, address identified gaps and inconsistencies, support evolving development patterns—particularly urban multifamily housing—and advance community goals related to aesthetics, sustainability, and long-term maintenance. The proposed changes range from more significant policy updates to minor edits, each aimed at improving clarity, usability, and alignment with current City practices.

Attached are proposed revisions to Section 5.5 of the Zoning Ordinance (Landscape Standards) and the Landscape Design Manual. Staff proposes to make a number of modifications with these objectives in mind:

- Addition of a section for urban multifamily housing developments that have reduced tree requirements to recognize that denser configurations will not have as much space for trees.
- Add green development options to the urban multifamily option that would provide some incentives for developers to incorporate green roofs and other features to their developments.
- Increase parking lot interior area requirements for industrial parking lots to help reduce the heat island effect of large parking lots.
- Removal of some requirements or allowances that aren't being used by the city or developers.
- Miscellaneous cleanup including inconsistencies, errors, typos.

A number of these changes could be considered as significant, and a number of others could be considered as minor edits. A summary of the proposed changes is provided below.

MORE SIGNIFICANT CHANGES

1. Urban Multifamily Housing Development Standards

- a. Reduced number of multifamily unit trees and interior drive trees required
- b. Addition of shrub requirement to partially offset the reduction in trees required and to increase the plant diversity in such developments

- c. Addition of a list of green development options that could be offset by a reduction in trees provided
- d. Limited use of these standards to zoning districts where increased density is desired by the city

2. Street Tree Issues

- a. Add a requirement for a minimum number of interior drive trees placed in front of multifamily housing buildings to create a more consistent distribution of those trees and a more attractive appearance in those developments.

3. City West

- a. Add right-of-way landscaping requirements for City West developments – they weren't included in the City West zoning ordinance (Section 5.5.3.B.ii.g).

4. Heat Islands

- a. In Section 5.5.3.C.iii, removal of the lower parking lot landscape area requirement for Industrial developments so all developments now have the same requirements – to help reduce the heat island effect of large parking lots. This complies with a recommendation from the 2025 Master Plan.

5. Removal of the requirement for a Landscape Maintenance Agreement (5.5.6.B)

- a. Continued maintenance of the landscaping is already required by Section 5.5.6 without that agreement.
- b. We haven't required those agreements in over eleven years.

PROPOSED MINOR CHANGES

Requirements for Landscape Plan

- Section 5.5.2:
 - Add requirement that a landscape plan be created by a licensed professional landscape architect – when they haven't been, the plans have invariably been deficient and required multiple reviews to get them right.
 - Add requirement that trees be at least 10 feet from underground sanitary lines per Engineering's request.

Public Right-of-Way Greenbelt Issues

- Section 5.5.3.B.ii.g: Remove allowance to reduce greenbelt plantings if a wall is provided. This has never been used and is contrary to desire for attractive landscaping.
- Table 5.5.3.B.ii.f:

- Remove “Average of 50-foot” greenbelt width for Residential (keep 34 foot minimum) – average is difficult to calculate and provide.
- Correct deduction of driveway corner clearance area from 25 feet to 10 feet to match the ordinance (Section 5.9).
- Section 5.5.3.B.iv:
 - Allow use of metal decorative fence instead of specifying wrought iron, which is extremely expensive and is not readily available.
 - Add item d: A reduction in plantings required.

Parking Lot Requirement revisions

- Section 5.5.3.C.ii.f: Remove 2-foot maximum width of curb openings for storm water conveyance.
- Figure 5.5.3.C.iii: cleanups and clarifications added.
- Section 5.5.3.C.iv.b: Change “wide” to “deep” to clarify size of greenspace required for perimeter trees.
- Section 5.5.3.C.iv.f: Clarify that a tree can't be triple-counted if a greenbelt tree is within 15 feet of both a parking lot edge and accessway drive edge.
- Section 5.5.3.C.iv.h: Remove unnecessary text regarding placement of evergreen trees along parking lot perimeter.
-

Building Foundation Landscaping

- Section 5.5.3.D.ii a and b: Remove excess verbiage.
- Section 5.5.3.D.ii c: Add note that large areas of mulch shall not be considered as part of the required landscaping area (areas should be dominated by plantings, not mulch, but mulch areas between those plantings won't be deducted).

Subdivision Planting Requirements (5.5.3.F)

- Section regarding Island and Boulevard Planting has been added for each different type of subdivision to make it clear the standards apply to each of those types of subdivisions.

Multi-Family/Attached Dwelling Units

- Section 5.5.3.F.iii.b: Add requirement for a minimum number of street trees to be placed between the building and the road, based on the number of units in the building to improve the appearance of interior drives.
- Section 5.5.3.F.iv Urban Multi-Family/Attached Dwelling Units: Added per the recommendation of former Planning Commissioner Gary Becker to provide allowance for denser developments in certain designated areas of the city where such density is desirable.

Non-Residential Development

- Section 5.5.3.F.iv.b.(6): Restored greenbelt width requirement that had inadvertently been omitted during the last ordinance revision.

Maintenance

- Section 5.5.6.B: Remove the requirement for a Landscape Maintenance Agreement. We haven't required it and is not necessary as other sections of the ordinance require maintenance of the landscaping.
- Section 5.5.6.D: Phragmites and Japanese Knotweed Control – add verbiage stating that treatment report shall be provided to the City Landscape Architect or designated alternate – this puts into the ordinance what is already required.

LANDSCAPE DESIGN MANUAL CHANGES

- LDM 3: Add a sentence stating that woodland replacement trees may be used to meet the Detention Pond tree requirement. We were already allowing it but this codifies the allowance.
- LDM 9: Requirement for live signature on stamping sets was removed as the current system most applicants use for submitting plans does not allow this to occur. Modern requirements allow electronic stamps and signatures.
- LDM 11.e: Add text stating trees shall be in good health
- LDM 11.g: Excess verbiage removed.

PLANNING COMMISSION ACTION

The Planning Commission is asked to hold the scheduled public hearing, review the draft text amendment for changes to the Landscape Ordinance and Landscape Design Manual and make a recommendation for approval or denial to the City Council.

PROPOSED TEXT AMENDMENT 18.307 - DRAFT

STATE OF MICHIGAN
COUNTY OF OAKLAND
CITY OF NOVI
ORDINANCE NO. 18.307

AN ORDINANCE TO AMEND THE CITY OF NOVI CODE OF ORDINANCES, ORDINANCE 14-271, ZONING ORDINANCE, AT THE FOLLOWING LOCATIONS: ARTICLE 5.0, "SITE STANDARDS," SECTION 5.5 "LANDSCAPE STANDARDS: OBSCURING EARTH BERMS AND WALLS, RIGHTS-OF-WAY BUFFERS, AND INTERIOR AND EXTERIOR LANDSCAPE PLANTINGS"; AND UPDATE THE LANDSCAPE DESIGN MANUAL, IN ORDER TO ADD STANDARDS FOR URBAN-STYLE DEVELOPMENTS, IMPROVE CLARITY, CORRECT ERRORS AND COMPLY WITH RECOMMENDATIONS OF THE 2025 MASTER PLAN.

THE CITY OF NOVI ORDAINS:

Part I.

That the City of Novi Zoning Ordinance, as amended, Article 5.0, Site Standards, Section 5.5, "LANDSCAPE STANDARDS: OBSCURING EARTH BERMS AND WALLS, RIGHTS-OF-WAY BUFFERS, AND INTERIOR AND EXTERIOR LANDSCAPE PLANTINGS" is hereby amended to read as follows:

Section 5.5 LANDSCAPE STANDARDS: OBSCURING EARTH BERMS AND WALLS, RIGHTS-OF-WAY BUFFERS, AND INTERIOR AND EXTERIOR LANDSCAPE PLANTINGS

1. Intent. [UNCHANGED]
2. **Landscape Plan Required.** A landscape plan shall be submitted for:
 - any new commercial or residential development
 - any addition to an existing building that is equal to or greater than a 25% percent increase in the overall square footage of the building or 400 square feet, whichever is less
 - any increase to an existing parking lot of 10 spaces or more (or equivalent area), or 10% of the existing paved area, whichever is less.

With the exception of Section 5.5.3.G, Individual (Non-Subdivision/Non-Site Condominium) Single Family Street Tree Requirements, an owner of a single-family home-site shall not be required to comply with the provisions of this Section.

All landscape plans shall be prepared by a licensed professional landscape architect in accordance with the requirements of this Ordinance and the requirements of the City of Novi Landscape Design Manual, as adopted by the City Council by resolution and which may similarly be amended by Council resolution from time to time.

General Landscape Notes:

- For all numerical calculations, round the required square feet or number of plants to the nearest whole number.
- Trees are to be located at least 10 feet away from utility structures including catch basins and manholes and underground sanitary lines, and ~~should be~~ at least 5 feet away from other underground utility lines whenever possible.
- Plantings may be in formal or informal arrangements.

3. Landscape Requirements.

A. **Residential Adjacent to Non-Residential** [UNCHANGED]

B. **Adjacent to Public Rights-of-Way.**

i. Intent. [UNCHANGED]

ii. Requirements. Landscape plantings shall be installed and maintained adjacent to existing or proposed public rights-of-way according to the standards set forth on the Right-of-Way Landscape Screening Requirements Chart (Table 5.5.3.B.ii.f.E), and as otherwise established in this Ordinance, including the individual zoning district, and in the Landscape Design Manual.

a. – f. [UNCHANGED]

~~g. If a wall is provided in accordance with the City standard, a reduction of up to thirty-three (33) percent of the required greenbelt plantings is allowed in the right-of-way greenbelt in front of the parking. This reduction does not apply in cases where parking is between the right-of-way and the building and required landscaping is already reduced.~~

h. [UNCHANGED]

i. Necessary access ways from public rights-of-way through required landscaped areas shall be permitted. The width of the access drive(s) shall be subtracted from the lineal dimension used to determine the minimum number of trees and shrubs required for greenbelt landscaping and street trees (see illustration in Table 5.5.3.B.ii.f, Footnote ~~10~~ 5 below for points of measurement for each).

| 5.5.3.B.ii.f Right-of-Way Landscape Screening Requirements | | | | | | | | | |
|--|---------------------------------|---------------------|--------------------------------------|------------------------------|-------------------------|--------------------|---|--|--|
| | | | Requirements | | | | | | |
| Use | Zoning | Berm Located | Greenbelt width (feet) | Min. berm crest width (feet) | Min. Berm Height (feet) | 3 Foot Wall/ Fence | Deciduous canopy or large evergreen trees: 1 per X linear feet frontage | Deciduous sub canopy trees: 1 per X linear feet frontage | In <u>the</u> area between sidewalk and curb: 1 deciduous canopy tree per X linear feet frontage |
| Footnotes | | | | 1, 2, 3 | 1, 2, 3 | 2, 4 | 5-7 <u>4, 5</u> | 5, 6, 7 | 8, 9, 10 <u>6</u> |
| Single Family Residential | R-A R-1 R-2 R-3 R-4 | | 34 | 4 | 4 | | 40 | 25 | 35 |
| Two-Family Residential | RT | Adjacent to parking | 20 | 2 | 3 | | 35 | 25 | 35 |
| | | Not adj to parking | 30 | 2 | 3 | | 40 | 25 | 35 |
| Multi Family Residential | RM-1 RM-2 MH | Adjacent to parking | 20 | 2 | 3 | | 35 | 25 | 35 |
| | | Not adj to parking | 34 | 2 | 3 | | 35 | 25 | 35 |
| Residential PRO (13) | | | Avg. 50 <u>Min. 34</u> | 4 | 4 | | 40 | 25 | 25 |

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| | | | | | | | | | |
|---------------------------|---|--|----|---|---|-------------|--------------------|----------------------------|----|
| Commercial / Office | NCC C OS-1 OSC OST B-1 B-2 B-3 | Adjacent to parking | 20 | 2 | 3 | | 35 | 20 | 35 |
| | | Not adjacent parking | 25 | - | - | | 60 | 40 | 35 |
| | | Parking between ROW and at least 67% of primary building (123) | 20 | 2 | 3 | | 70 | 40 Plus 3 shrubs per 40 lf | 35 |
| Industrial | I-1 I-2 | Adjacent to parking | 25 | 3 | 3 | | 40 | 35 | 45 |
| | | Not adjacent parking | 25 | - | - | | 60 | 40 | 45 |
| Downtown | TC TC-1 | Adjacent to parking | 20 | - | - | | 25 (+Z) | 15 (+Z) | - |
| | | Not adjacent parking | - | - | - | | 30 (+Z) | 20 (+Z) | - |
| Misc. Large Use | P-1 EXO RC FS | Adjacent to parking | 20 | 2 | 3 | | 35 | 20 | 45 |
| | | Not adjacent parking | 25 | - | - | | 45 | 30 | 45 |
| Planned Suburban Low Rise | PSLR | Parking and buildings adjacent to a section line road ROW right-of-way | 50 | 4 | 3 | Not Allowed | 35 | 20 | 35 |
| | | Parking adjacent to other ROW right-of-way To front of principal building per Zoning Ordinance Section 3.21.2.A.ii | | 4 | 3 | Not allowed | 35 | 20 | 35 |

Notes to table:

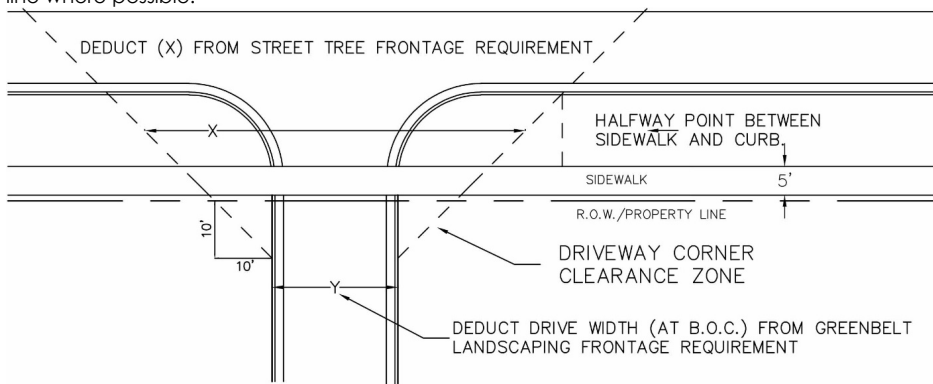
- (1) Shrubs in front of parking areas must provide minimum screening opacity of 80% in winter and 90% in summer and be maintained at a height of at least 3 feet. The use of shrubs in place of the required berm requires a Planning Commission waiver.
- ~~(2) A wall may be used instead of a berm. If a wall, consistent with footnote (6) below, is provided in front of parking areas, a reduction of up to 33% of the required greenbelt plantings (not street trees) is allowed in the parking greenbelt area. A Planning Commission Waiver is required to use a wall instead of a berm. An ornamental fence with brick piers and shrubs may be used instead of a berm if approved by the Planning Commission as a landscape waiver. A Planning Commission waiver is required to use a wall or an ornamental fence with brick piers and shrubs instead of a berm.~~

(3) Freestanding walls shall be constructed of masonry or concrete with all exterior sides of face brick with a suitable cap.

(4) Sub-canopy trees are to be used under overhead utilities at a rate of 1.5 sub-canopy trees for each one canopy tree required. If columnar/fastigate varieties are used, 2 sub-canopy trees per canopy tree must be used. Wherever possible, deciduous canopy trees are to be used as street trees.

~~(5) Sub-canopy trees used in foundation landscaping may also count toward the right-of-way sub-canopy requirement if the building is located at the rear of the required greenbelt width.~~

~~(6) (5) The width of access aisles driveways (X) through the greenbelt shall be deducted from the basis of calculation (see illustration in footnote #10 below). In situations where sidewalks are not required, the street trees shall be placed midway between the curb line and right-of-way line where possible.~~



FRONTAGE MEASUREMENT

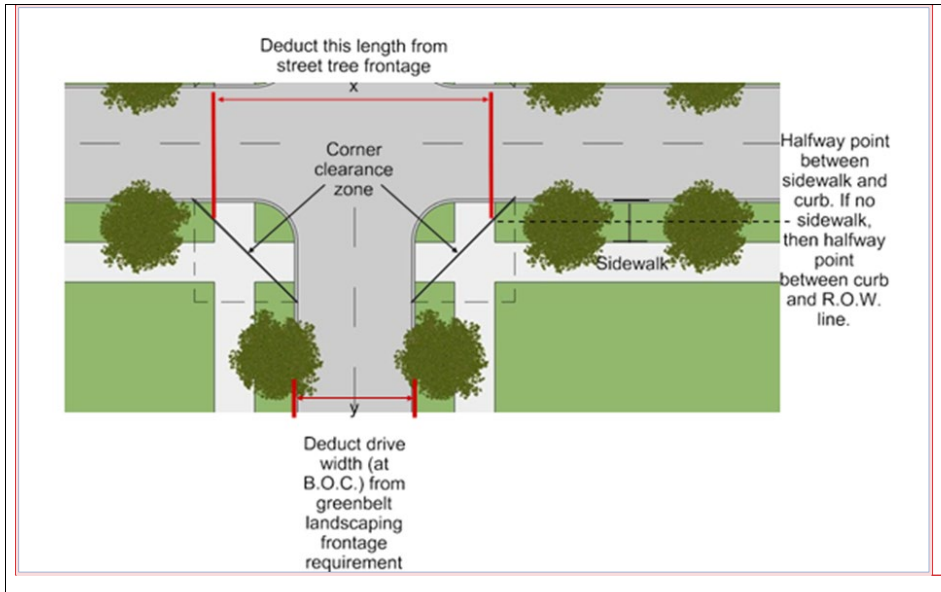
~~(7) (6) Street trees shall not be permitted within the 25-foot corner clearance zone (Section 5.9). Roadways under Road Commission for Oakland County (RCOC) jurisdiction shall utilize RCOC standards for sight distance in locating street trees. If RCOC does not approve any or all of the trees, those trees shall not be planted, with no penalty to the applicant.~~

~~(8) (7) In the Town Center districts, deciduous canopy/large evergreen trees or subcanopy trees are required in the greenbelt, but not both. One or the other requirement shall be met, not a reduced combination of both types.~~

~~(9) (8) These requirements only pertain to zoning districts B-1, B-2 and B-3.~~

~~(10) When the development fronts on one or more major thoroughfare(s), the right-of-way greenbelt along that thoroughfare shall be an average of 50 feet width, with a minimum of 34 feet.~~

~~The width(s) of the corner clearance zone(s) shall be deducted from the basis of the calculation for street trees (see illustration below).~~



Commented [LB1]: Remove this figure

| 5.5.3.B.ii.g Right-of-Way Landscape Screening Requirements – City West – Sec 3.34.6 | | | | | | | |
|---|----------------------|------------------|-------------|-------------|--------------------------|----------------------------|--------------|
| | Minimum requirements | | | | | | |
| | Greenbelt width | Berm Crest width | Berm Height | 3 Foot Wall | Canopy Trees | Sub-canopy trees | Street Trees |
| <u>Arterials (Grand River, Beck)</u> | | | | | | | |
| Adj to pkg | 20 | 0 | 0 | Yes | 1 per 30 ft ² | 1.5 per 30 ft ² | 0 |
| Not adj to pkg | 20 | 0 | 0 | No | 1 per 60 ft ² | 1 per 40 ft ² | 0 |
| <u>Nonresidential collectors and local streets</u> | | | | | | | |
| Adj to pkg | 10 | 0 | 0 | Yes | 0 | 1 per 15 ft | 1 per 50 ft |
| Not adj to pkg | 10 | 0 | 0 | No | 0 | 1 per 15 ft | 1 per 50 ft |
| <u>Private Drives, Aisles and Shared Access Drives</u> | | | | | | | |
| Adj to pkg | 10 | 0 | 0 | Yes | 0 | 1 per 15 ft | 1 per 50 ft |
| Not adj to pkg | 10 | 0 | 0 | No | 0 | 1 per 15 ft | 1 per 50 ft |
| <u>I-96 Highway ROW</u> | | | | | | | |
| Adj to pkg | 30 | 3 | 4 | No | 1 per 35 ft | 1 per 20 ft | 0 |
| Not adj to pkg | 75 | 3 | 4 | No | 1 per 60 ft | 1 per 40 ft | 0 |

NOTES TO TABLE:

1: Street trees based on overall frontage, not individual lots

2: Canopy trees OR subcanopy trees, not both

- iii. Private Roads. All private roads and access roads not covered in other sections of this ordinance shall be landscaped with deciduous canopy street trees at a rate of 1 tree per 35 linear feet along both sides of the road, with the same allowances for deducting clear vision zones as noted above in 5.5.3.B.ii.f Footnote ~~5 10~~.
- iv. Reduction or Waiver. Except as provided in Section 5.5.3.A.v.a.(3), which governs relief relative to berm height, the Planning Commission may reduce or waive the landscaping screening/buffer right-of-way requirements when it determines that practical difficulties exist due to the parcel size or configuration, or where the design of the site would be enhanced by an alternative design solution while still meeting the intent of this Section. Examples of such situations include, but are not limited to, when:
 - Preservation of regulated woodlands or wetlands or existing trees will occur;
 - The grade of the site is higher than the road and naturally provides a screen;
 - Significant architecture or historic buildings, water features, views of natural resources or vistas will be preserved;

The Commission may, as part of its exercise of such authority, allow the:

- a. Use of a wall instead of a berm; or
- b. Use of a ~~wrought iron~~ decorative metal fence with brick accents or other material of equal aesthetic quality and durability with plantings instead of a berm; or
- c. Use of shrubs/hedge instead of a berm; or
- d. A reduction in plantings required.

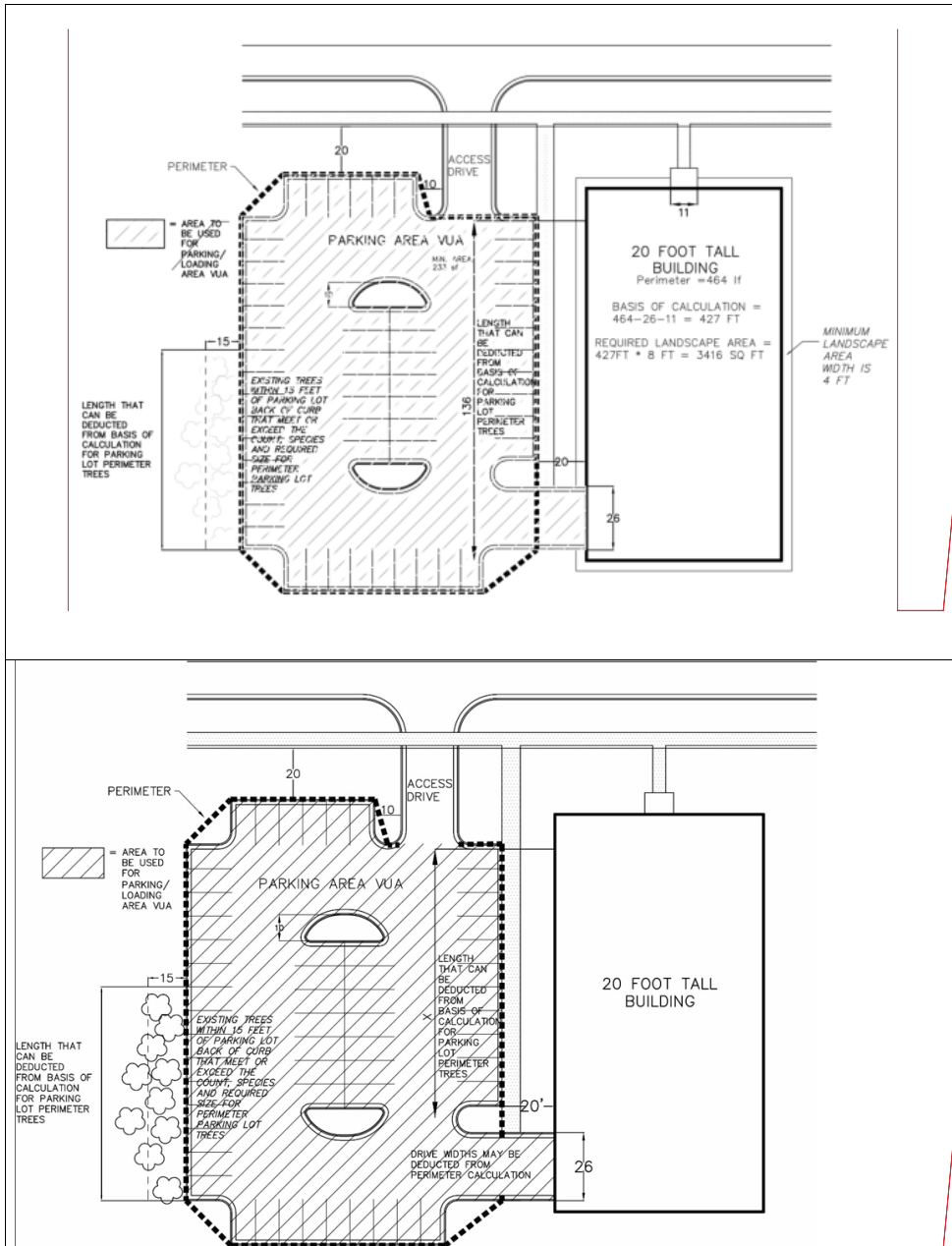
C. Parking Area Landscaping Requirements.

- i. Intent. [UNCHANGED]
- ii. General Requirements.
 - a. The design and layout of all parking lots and islands shall be subject to review and approval by the City of Novi.
 - b. End islands are to conform to the general requirements in Section 5.3.12.
 - c. ~~b- Interior islands are to confirm to Section 5.5.3.C.ii.h~~
 - d. ~~e-~~ Creative island configuration and design is encouraged, such as islands between rows of parking in long, wide planting strips, and/or depressed islands to detain storm water.
 - e. ~~d-~~ The use of pedestrian walkways in parking lot islands is encouraged, if the islands' paths are at least 5 feet wide with no vehicle overhang or seven (7) feet wide with vehicle overhang and a ten (10) foot planting area width is maintained.
 - f. ~~e-~~ Landscaped islands are to be installed with 6-inch curbs to protect landscaping from damage by vehicles (4 inches where vehicles are to overhang the curb). However, periodic openings in curbs, ~~which do not exceed 2 feet in width~~, shall be permitted for sidewalks and for the purpose of conveying storm water run-off across an island.
 - g. ~~f-~~ If more than one (1) island is provided in a parking lot, they are to be distributed evenly throughout the lot.
 - h. ~~g-~~ Each parking lot landscape island shall have:
 - (1) A minimum of ~~two-hundred~~ two hundred (200) square feet in area.
 - (2) A minimum of ~~two-hundred~~ two hundred (200) square feet in unpaved area per tree planted in an island.

- (3) A minimum dimension of ten (10) feet in width from back of curb to back of curb.
 - (4) A minimum of three (3) feet between the back of a curb and a tree trunk.
 - (5) Islands that project into the parking lot from the side of the lot may be a minimum of 130 square feet in area if that island is at least 10 feet wide and adjoins 70 square feet or more of green space.
 - i. ~~h.~~ For any development other than a single-family or two-family dwelling, the square footage of landscape islands required shall be as specified in the Interior Parking Area Landscape Islands and Canopy Tree Chart (Table 5.5.3.C.iii).
 - j. ~~i.~~ Wheel stops or raised curbing shall be installed to prevent vehicles from encroaching more than two (2) feet into any parking landscape area. When adjacent ninety (90) degree parking stalls are reduced from nineteen (19) to seventeen (17) feet in length, the required six (6) inch curbs shall be reduced to four (4) inches in height. This applies to both landscape and sidewalk overhangs. Where vehicles overhang a sidewalk, the sidewalk shall have a minimum width of seven (7) feet.
 - k. ~~j.~~ No plantings with a mature height greater than twelve (12) inches shall be within ten (10) feet of fire hydrants. Plant materials shall not block the visibility of the hydrant or Fire Department Connections.
 - l. ~~k.~~ Islands are to have adequate drainage to the nearest catch basin or adequate areas of amended sandy loam soil, as specified on the plan, to achieve proper drainage. Depressed (sunken) islands are allowed if:
 - (1) the plantings are salt -tolerant
 - (2) the islands are designed to provide drainage adequate for survival of the island plantings
 - (3) they meet all City of Novi engineering standards.
 - m. ~~i.~~ Paint, contrasting brick or concrete pavers may be used to delineate stall lines within parking areas.
 - n. ~~m.~~ Any area within a parking lot not dedicated to parking use, driveways, or sidewalks exceeding ~~one hundred~~ one hundred (100) square feet, shall be landscaped with a minimum of lawn or other living ground cover.
 - o. ~~n.~~ All parking lot landscaped areas required herein shall contain at least 1 deciduous canopy tree and lawn or other plantings/ groundcovers.
 - p. ~~e.~~ The total square footage of required interior landscape islands shall be provided as follows:
 - (1) – (3) [UNCHANGED]
 - (4) No bay of parking (defined herein as a single row of ~~side-by-side~~ side-by-side parking spaces) greater than 15 parking spaces in length shall be provided except as noted in (5).
 - (5) – (6) [UNCHANGED]
 - (7) If the parking lot layout requires more islands/area than the table below would indicate (such as to break up long bays), each of those additional islands must still meet the area and planting requirements of Section 5.5.3.C.ii. ~~g-h~~ but perimeter trees may be used in outer and corner islands to help landscape those islands.
- iii. **Parking Lot Greenspace and Tree Requirements.** The following chart is to be used to calculate the square footage of island space and the number of canopy trees required for Parking Area Interior and Perimeter Landscaping.

| 5.5.3.C.iii Interior Parking Area Landscape Islands and Perimeter Canopy Tree Chart | | | | | |
|--|---|--|---|--|--|
| | A | B | C | D | E |
| Category* Category 1: All zoning districts except for 1-1 and 1-2 Category 2: 1-1, 1-2 | Total square footage of landscaped islands for VUA areas less than or equal to 50,000 square feet equals: | Total square footage of landscaped islands for VUA beyond the initial 50,000 sq. ft. (A) equals: | Total square footage required in interior parking lot islands equals: | Total number of interior landscape deciduous canopy trees: | Perimeter Deciduous Canopy Trees required for parking lot and access drives: |
| 1 | VUA × 7.5% | (VUA - 50,000) × 1.0% | A + B | (A + B)/200 | Perimeter (If LF) /35 |
| 2 | VUA × 6% | (VUA - 50,000) × 0.5% | A + B | (A + B)/200 | Perimeter (LF) /35 |
| Footnotes | 1, 2 | 1, 2 | | 3, 5 | 4, 5 |
| Notes to table: | | | | | |
| <p>1. Vehicular Use Area (VUA) includes parking spaces, loading/unloading areas and access aisles within the parking lot. It does not include drives to the Vehicular Use Area or long drives without parking spaces adjacent. (See Figure 5.5.3.C.iii)</p> <p>2. If a vehicular use area is greater than 50,000 sq. ft., the landscape requirement for the first 50,000 sq. ft. of VUA is to be calculated per Column A, and the requirement for the remaining VUA is to be calculated per Column B. As an example, a 65,000 square foot parking area in Category 1 would require 50,000 x 7.5% plus 15,000 x 1% = 3750 sq. ft. + 150 sf = 3900 sq. ft. landscape area within the parking lot boundary.</p> <p>3. Corner islands projecting into the parking area and areas at the ends of bays must also have trees planted in them and be at least 200 sq. ft. in area. Perimeter trees may be used in corner and edge islands if the required number of interior trees is less than the total number of islands and corners that need trees.</p> <p>4. Perimeter trees are required for parking areas and access drives to and between parking areas.</p> <p>5. In areas with overhead utility lines, sub-canopy trees may should be used.</p> | | | | | |

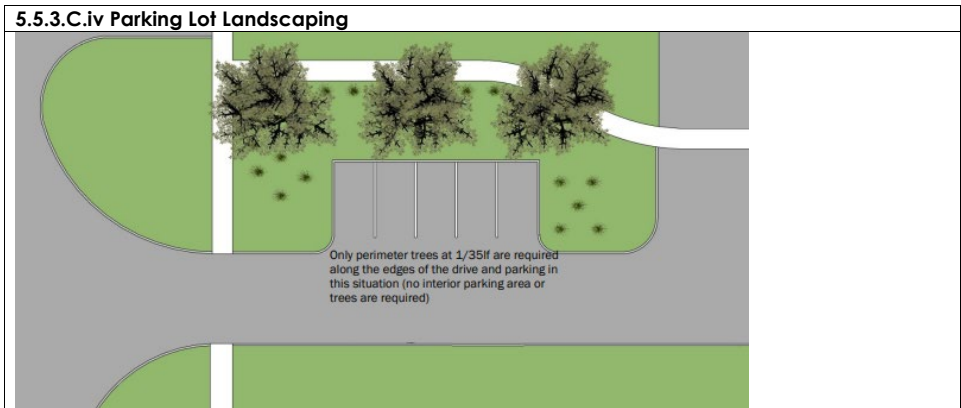
5.5.3.C.iii Parking Lot Landscaping



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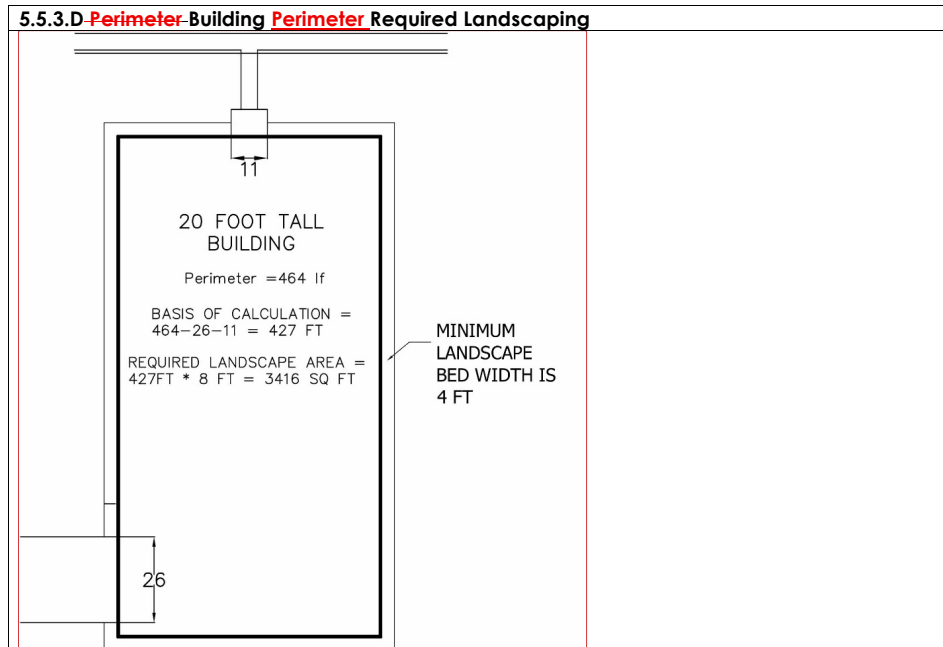
- iv. Parking Lot Perimeter Trees
 - a. [UNCHANGED]
 - b. A landscape area at least 10 feet ~~wide-deep~~ (measured perpendicular to the curb) is required along parking lot perimeters and access drives for planting the required trees.
 - c. – e. [UNCHANGED]
 - f. Greenbelt canopy trees within 15 feet of the back of curb of an access drive may double-count toward the access drive perimeter tree requirement, but a tree within 15 feet of both may not be triple-counted.
 - g. [UNCHANGED]
 - h. While deciduous canopy trees are preferred as perimeter trees, where they would provide desired screening between properties, large evergreen trees may be used for up to 25% of the required perimeter trees. ~~Sufficient space should be provided between the tree and the curb to allow the evergreens to maintain their branches down to ground level when they mature and the lower branches must be maintained as long as they are healthy.~~
 - i. – j. [UNCHANGED]



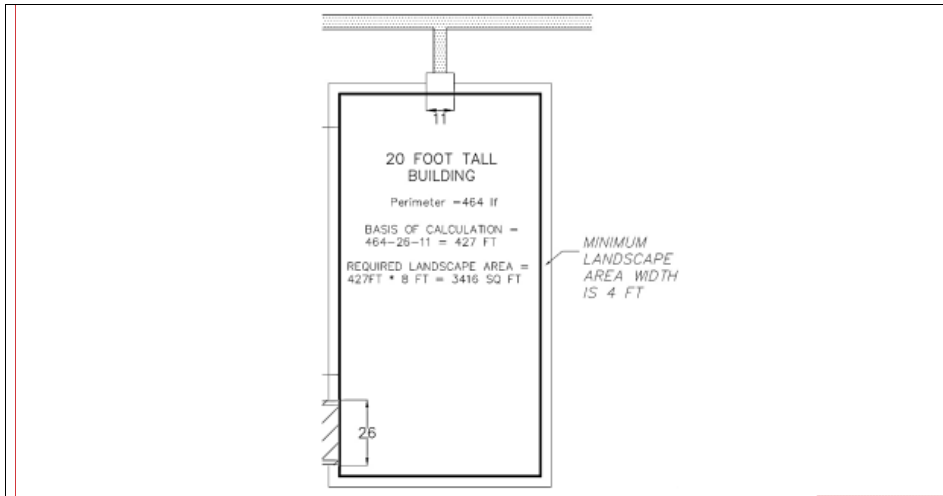
- v. Waiver. [UNCHANGED]
- D. Building Foundation Landscape Requirements.**
- i. Intent. [UNCHANGED]
 - ii. Requirements. For all buildings or accessory buildings requiring site plan review, the following shall apply:
 - a. There shall be, as a minimum, interior-site foundation landscaping square footage equal to the quantity calculated by multiplying the entire perimeter of the building, less ~~the paved access points including walkways to the building (but not including those walkways or drives immediately along the building doorways and vehicular entrance ways to the building interior (i.e., garage doors),~~ by eight (8) feet.
 - b. Landscaped planting beds shall be placed immediately adjacent to the building for ~~as much of the building as possible,~~ with a minimum of no less than 75% of the building foundation having landscaping, ideally more. Landscape beds must

have a minimum width measuring four feet from the building. Creativity ~~in~~ of the physical configuration of the landscape planting bed shape and dimension is strongly encouraged. ~~Applicant is encouraged to provide additional greenspace adjacent to the building wherever possible.~~

- c. ~~Landscape beds shall have a mixture of trees, shrubs, perennials, ornamental grasses and/or annuals. Lawn areas or large areas of mulch shall not be considered as part of the required landscaping area.~~
- d. ~~e.~~All foundation landscaping areas shall be labeled in square feet on the landscape plan. ~~Lawn areas shall not be considered as part of the required greenspace.~~
- e. ~~a.~~For the front and any other facades visible from a public street, a minimum of sixty (60) percent of the exterior building perimeter shall be greenspace planted with a mix of trees, shrubs and groundcovers, perennials, grasses, annuals and bulbs. ~~Deciduous canopy and/or large evergreen trees and subcanopy trees may also be included around the building if separated from the building by the appropriate distances.~~
- f. ~~e.~~If the front and/or a side of the building is at the rear line of the required right-of-way greenbelt, trees included in the foundation plantings of those sides of the building may also count toward the required greenbelt plantings.



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- g. ~~f.~~ With respect to projects within the TC and TC-1 districts, the Planning Commission may ~~waive the 8-foot width calculation requirements~~ approve a waiver to allow less planted area if equivalent ~~additional planting and/or~~ decorative paving area or amenities are added adjacent to the building.
- h. ~~g.~~ There shall be landscaping adjacent to patios ~~and~~ outdoor dining areas.
- i. ~~h.~~ In instances where the building has a first floor overhang greater than 2 feet, the landscaping required under this subsection shall begin at the outside edge of the overhang in order to ensure the landscaping receives sufficient sun and water. In those cases, the extent of the overhang should be shown on the landscape plan with a dashed line or other means.
- j. ~~i.~~ Foundation landscaping for building perimeter occupied by loading/unloading areas, drivethrough lanes or sidewalks along the building may be located on the outside of these areas without requiring a landscape waiver.
- k. ~~j.~~ In situations where the building use does not allow landscaping immediately adjacent to the building, alternate placements of required foundation landscaping may be proposed elsewhere on the property. In that case, the alternative area(s) should be clearly labeled as foundation landscaping, with its area in square feet. A Planning Commission waiver is required for the alternate positioning for all cases except as noted above.
- l. ~~k.~~ Plantings shall be no taller than 12 inches when below or adjacent to a building's Fire Department Connection.

iii. Waiver Procedure. [UNCHANGED]

E. Detention/Retention/Sedimentation Basin Landscape Requirements. All detention basins shall be planted with the minimum requirements as set forth in the Landscape Design Manual and shall be designed to have a natural appearance, utilizing ~~natural-looking~~ natural-looking contours whenever possible. Detention basin maintenance shall be provided per Ordinance Chapter 12, Storm Water Management and the plantings shall be maintained per Section 5.5.6 and Section 5.5.7.

F. Subdivision Planting Requirements.

- i. Single-Family Platted Subdivisions or Residential Site Condominiums
 - a. Intent. [UNCHANGED]
 - b. Requirements Adjacent to Major Thoroughfares. [unchanged]
 - c. Street Trees ~~and Boulevard~~ Planting
(1) – (4) [UNCHANGED]
 - d. Island and Boulevard Planting
 - (1) All islands, boulevards and elements shall be landscaped and irrigated. Islands within a cul-de-sac shall not have any plant materials that may obscure vision across the island between heights of three (3) feet to six (6) feet as measured from the established street grade. See the Landscape Design Manual for additional requirements regarding the type and size of plantings.
 - (2) Island and boulevard plantings will not count toward the required street tree totals and must be maintained by the developer, property owner or homeowner's association, whichever is applicable.
 - (3) A landscape plan shall be submitted to the City for administrative approval by the homeowners association prior to planting any island or entry landscaping revisions.
- ii. Single-Family Residential Condominiums without lots/units
 - a. – b. [UNCHANGED]
 - c. Street Tree ~~and Boulevard~~ Planting
(1) – (4) [UNCHANGED]
 - d. [UNCHANGED]
- iii. Multi-Family/Attached Dwelling Units
 - a. Intent. The intent of this subsection is to create visually appealing multi-family residential areas that integrate natural resources into the overall landscape design.
 - b. Requirements. For all multiple-family or other development with attached dwelling units (other than a single RT dwelling on an individual lot) the following shall apply:
 - (1) Three trees for each dwelling unit on the first floor shall be provided across the site. At least 75% of those trees shall be deciduous canopy or large evergreen trees. The remainder can be sub-canopy or ornamental trees to add diversity to the site.
 - (2) In addition, there shall be one deciduous canopy tree along interior roads for every 35 feet of lineal interior roadway (excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives), along each side of the roadway. The spacing of the deciduous canopy trees along the drive shall be a minimum of 25 feet and a maximum of 35 feet unless driveways require different spacing. In case of overhead utility lines, deciduous sub-canopy trees can be substituted for deciduous canopy trees at a rate of 1.5 sub-canopy tree for each 1 canopy tree. Those sub-canopy trees would not count toward the limit placed in subsection (1) above. ~~For purposes of the Financial Guarantee and Maintenance Bond, the trees along the interior drive can be counted as site landscaping, not street trees. Any street trees along public roads are considered to be street trees for Financial Guarantee and Maintenance Bond purposes.~~

There shall be trees placed between the interior drive and buildings at or exceeding these minimum rates:

- 3-4 connected units – 1 tree
- 5-7 connected units – 2 trees
- 8 or more connected units – 1 tree per 3 units, rounded up

For purposes of the Financial Guarantee and Maintenance Bond, the trees along private interior drives can be counted as site landscaping, not street trees. Any street trees along public roads shall be considered as street trees for Financial Guarantee and Maintenance Bond purposes.

- (3) A mixture of shrubs, subcanopy trees, groundcovers, perennials, annuals, and/or ornamental grasses shall be provided as foundation plantings covering at least 35% percent of the building perimeter facing the interior drive.
- (4) Parking lots for these developments shall meet the layout and landscaping requirements of Section 5.5.3.C but unit trees from Requirements section (1) may be used to meet the parking lot interior and perimeter tree requirements.

c. Island and Boulevard Planting

- (1) All islands, boulevards and easements shall be landscaped and irrigated. Islands within a cul-de-sac shall not have any plant materials that may obscure vision across the island between heights of three (3) feet to six (6) feet as measured from the established street grade. See the Landscape Design Manual for additional requirements regarding the type and size of plantings.
- (2) Island and boulevard plantings will not count toward the required street tree totals and must be maintained by the developer, property owner or homeowner's association, whichever is applicable.
- (3) If an island's or entry's landscaping is to be revised by the homeowner's association, a landscape plan shall be submitted to the City for administrative approval prior to planting.

iv. Urban Multi-Family/Attached Dwelling Units

- a. Intent. The intent of this subsection is to create visually appealing multifamily residential developments in areas where more density is desired. It is not intended for vertically mixed-use projects. It may only be used for projects proposed in the Town Center (TC and TC-1), RC and City West zoning districts. A waiver from the Planning Commission is required to use it in other districts.

Refer to the Town Center Study and the City West Design Manual for design guidelines. Where possible, pocket parks distributed across the development are desired for these urban multi-family residential projects.

- b. Requirements. For all multiple family development with attached dwelling units in the districts noted above the following shall apply:

- (1) One and one-half (1.5) tree for each dwelling unit on the first floor shall be provided across the site. At least 75% of those trees shall be deciduous canopy or large evergreen trees. The remainder

can be sub-canopy or ornamental trees to add diversity to the site.

- (2) In addition, there shall be one deciduous canopy tree along interior roads for every 50 feet of lineal interior roadway (excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives), along each side of the roadway. The spacing of the deciduous canopy trees along the drive shall be a minimum of 35 feet and a maximum of 50 feet unless driveways require different spacing. In case of overhead utility lines, deciduous sub-canopy trees can be substituted for deciduous canopy trees at a rate of 1.5 sub-canopy tree for each 1 canopy tree. Those sub-canopy trees would not count toward the limit placed in subsection (1) above.

There shall be trees placed between the interior drive and the buildings at or exceeding these minimum rates:

- 3-4 connected units – 1 tree
- 5-7 connected units – 2 trees
- 8 or more connected units – 1 tree per 3 units, rounded up

For purposes of the Financial Guarantee and Maintenance Bond, the trees along private interior drives can be counted as site landscaping, not street trees. Any street trees along public roads shall be considered as street trees for Financial Guarantee and Maintenance Bond purposes.

Interior drive trees shall be located along the side of parking bays placed along an interior drive (no additional parking lot perimeter or interior trees are required for such bays).

- (3) At least 2 shrubs per ground floor dwelling unit shall be planted around the development. These shrubs are not to be used as part of the required foundation plantings noted below – ideally, they will be fruiting native shrubs planted in masses on the site to support birds and other wildlife.
- (4) A mixture of shrubs, groundcovers, perennials, annuals, and/or ornamental grasses shall be provided as foundation plantings covering at least 25% percent of the building face(s) fronting on all interior drives.
- (5) Parking lots for these developments shall meet the layout requirements of Section 5.3. Landscaping shall be provided as follows:
- a. 1 interior canopy tree in an island at least 200sf in area per 10 spaces
 - b. Endcap islands with trees are required and may be met with the interior trees noted above
 - c. Perimeter canopy trees shall be provided at 1 per 35lf of perimeter except where buildings are within 20 feet of the parking lot

- (6) Multi-family unit trees may be used to meet the parking lot interior and perimeter tree requirements but not the interior drive requirements.
- (7) Options for Credit – In order to offer design flexibility and incentives to provide "green" design alternatives, the following options are available (calculations for any of the options utilized must be provided on the landscape plan):
 - a. Green roof on buildings or carports/garages:
 - 1) Minimum runoff coefficient C factor reduction to 0.45
 - 2) 700sf = 1 interior drive tree (up to 25% of requirement) or 700sf = 1 multifamily unit tree (up to 10% of requirement)
 - b. Green (living) wall on buildings or garages:
 - 1) 700sf = 1 interior drive or multifamily unit tree
 - 2) Up to 10% of required trees
 - c. Living retaining wall – 1000 sf = 1 multifamily unit tree (or drive tree if it's adjacent to a drive).
 - d. Clusters of large native shrubs – in addition to shrub requirements noted above
 - 1) 8 shrubs = 1 multi-family unit tree – more than 8 shrubs can be in a cluster
 - 2) Up to 15% of the multifamily unit canopy tree requirement
 - e. Flower boxes on all windows of at least 3 lowest floors of building – especially for designs with no greenspace at base of building
 - 1) Boxes covering at least 25% of building linear frontage facing road may count toward the building foundation landscaping requirement
 - 2) Box material shall be durable and weather-resistant
 - 3) Developer shall provide initial perennial plantings in all boxes – it is understood that residents may change plantings over time, at no risk to the developer.
 - f. Boulevard with densely-planted center island beyond entry island
 - 1) 700sf = 1 canopy street tree
 - 2) Lawn would not qualify for this credit
 - g. Pollinator/Butterfly/Rain gardens:
 - 1) 700sf = 1 multifamily unit tree or 8 required multifamily unit shrubs (not foundation plantings)
 - 2) No limit on size or reduction
 - h. Natural area preservation within the developed portion of a site:
 - 1) Preserved trees 4" dbh and larger in a natural area can count toward multifamily unit tree requirement (one for one basis) for up to 50% of requirement IF they are desirable Michigan native species (i.e. not boxelder) or non-native species
 - 2) Mulch or limestone fines ADA-compliant pathway is created through nature area

- 3) Natural groundcover is kept and maintained in a natural condition
- 4) All invasive species listed below are removed and maintained for 3 years – to be maintained by HOA or owner after that:
 - Buckthorn (*Rhamnus spp.*)
 - Honeysuckle species (*Lonicera spp.*)
 - Autumn olive and Russian olive (*Eleagnus spp.*)
 - Multiflora rose (*Rosa multiflora*)
 - Privet species (*Ligustrum spp.*)
 - Barberry (*Berberis spp.*)
 - Oriental bittersweet (*Celastrus orientalis*)
 - Garlic mustard (*Alliaria petiolata*)
 - Dame's Rocket (*Hesperis matronalis*)
- i. All of the above must be maintained on an ongoing basis by owner or HOA. A maintenance plan for any of the above options must be submitted for approval as part of the site plan process and provided to the party responsible for maintenance. If any of the alternatives provided fail and maintenance/restoration is not desired by the responsible party, they must plant the tree(s) for which credit was given on the site.
- j. Definitions:
 - Green roof – roof of structure planted with grasses, sedges, sedums or other plantings
 - Green wall – element of building with living plants along entire face
 - Living wall – retaining wall constructed to support living plants and planted with vines, perennials or other long-lived plants

c. Island and Boulevard Planting

- (1) All islands, boulevards and easements shall be landscaped. Islands within a cul-de-sac shall not have any plant materials that may obscure vision across the island between heights of three (3) feet to six (6) feet as measured from the established street grade. See the Landscape Design Manual for additional requirements regarding the type and size of plantings.
- (2) Island and boulevard plantings will not count toward the required street tree totals and must be maintained by the developer, property owner or homeowner's association, whichever is applicable.
- (3) If an island's or entry's landscaping is to be revised by the homeowner's association, a landscape plan shall be submitted to the City for administrative approval prior to planting.

iv. Non-Residential Subdivisions

- a. Intent. [UNCHANGED]
- b. Requirements. For all non-residential subdivisions or non-residential site condominiums, the following landscape requirements shall apply:

- (1) - (5) [UNCHANGED]
- (6) Interior streets of the non-residential subdivision shall be landscaped per each lot as they are built upon as follows (Note: These planting requirements are in place of those in Zoning Section 5.5.3.B except for along public rights-of-way):
 - (A) The greenbelt width shall be equal to the required zoning district setbacks for buildings and parking lots.
[REORDER ITEMS (B) THROUGH (G) FOLLOWING]

G. Individual (non-subdivision/non-site condominium) single-family requirements. [UNCHANGED]

4. Landscape Plan Review Standards. [UNCHANGED]

5. Installation Specifications. [UNCHANGED]

6. Maintenance.

- A. Maintenance shall be carried out on an ongoing basis.
 - i. Maintenance of required plantings by the owner shall be carried out ~~so as~~ to present a healthy, neat and orderly appearance, free from dead plants, weeds, refuse, and debris.
 - ~~ii. It shall be unlawful to intentionally abuse or injure any tree on public or private property.~~
 - ~~iii. Trees shall be trimmed or pruned in a natural and proportionate manner per the species/cultivar's natural appearance, in accordance with best management practices of the landscape industry. If severe or aggressive trimming or pruning of a tree that was required to be planted as part of a development plan occurs such that the ordinance's intent for the trees is compromised, the property shall be considered in non-conformity with this ordinance, and the Director of Community Development or the City's Forester may require the removal and replacement of such tree in accordance with this Chapter.~~
- ~~B. To insure proper maintenance and as a condition of Final Site Plan approval, the City shall require the property owner to enter into and record with the office of the Oakland County Register of Deeds a Landscape Maintenance Agreement, or include such provisions as part of subdivision restrictions or condominium master deed, each of which shall be approved by the City Attorney. Such instrument shall identify the minimum plan of maintenance, the person or entity responsible for maintenance, and shall provide the procedure, authority and finance for City cure of breaches by the responsible entity. Such instrument shall also include provisions that:~~
 - ii. All unhealthy and dead material shall be replaced within three (3) months, or the next appropriate planting period, whichever is deemed appropriate by the City;
 - iii. Plantings shall be guaranteed for two (2) growing seasons after the date of the acceptance of the installation;
 - iv. Tree stakes, guy wires and tree wrap are to be removed after one winter season;
 - v. All landscaped areas shall be provided with a method of providing water for the landscaping during establishment and long-term survival. A permanent irrigation system or other method of providing water on a regular basis must be installed if plantings that require a consistent source of water for survival are part of the landscape;
 - vi. The use of plantings that don't require regular watering once established (xeriscaping), is encouraged. In that case, the applicant must provide a method

for providing sufficient water for establishment, and a backup source of water, such as hose bibbs or a statement that water trucks or other means will be used in times of extreme drought. Locations of hose bibbs on the building must be shown on the landscape plan if they will be used;

- ~~vii. Plantings shall be guaranteed for 2 growing seasons after the date of the acceptance of the installation; and~~
 - ~~viii. Tree stakes, guy wires and tree wrap are to be removed after one winter season;~~
 - vii. If grass or weeds exceed the height specified in Chapter 21 of the Novi Code of Ordinances, or if shrubs are allowed to obstruct vision across any portion of parking or boulevard islands, or within corner clearance vision zones, and the responsible party is unwilling to rectify the problem, the City will abate such violations and shall assess the cost of such abatement measures in the manner proposed by the developer and approved by the City in such instrument.
 - B. ~~It shall be unlawful to intentionally abuse or injure any tree on public or private property.~~
 - C. ~~Trees shall be trimmed or pruned in a natural and proportionate manner per the species/cultivar's natural appearance, in accordance with best management practices of the landscape industry. If severe or aggressive trimming or pruning of a tree that was required to be planted as part of a development plan occurs such that the ordinance's intent for the trees is compromised, the property shall be considered in non-conformity with this ordinance, and the Director of Community Development or the City's Forester may require the removal and replacement of such tree in accordance with this Chapter.~~
 - D. Phragmites and Japanese Knotweed Control
 - i. If Phragmites australis (commonly known as Giant Reed) or Japanese Knotweed (Fallopia japonica ~~or and~~ related species) are found on the property, all populations of it in the immediate areas of the project shall be shown on the plan. A plan for the species' removal shall be added to the site plan that includes treatment by a licensed pesticide applicator, using MDEQ approved means, at the time of site preparation, or the soonest appropriate time after that, and follow up treatments shall be performed as necessary. The City's Landscape Architect shall determine the extent to which such treatment is required, given the size and condition and other factors related to the property.
 - ii. The invasive species' population(s) will be inspected by the City's Landscape Architect at the time of the landscape inspection for approval of the installed landscape. If they were treated prior to such inspection, a copy of the invoice from the vendor who performed the work shall be provided to the City. If it is to be treated after the inspection, the invoice shall be sent to the City when the work is complete. A note to this effect shall be included in the plans with the other notes regarding treatment of the Phragmites and/or Knotweed on the site. All treatment reports shall be provided to the City's Landscape Architect or designated alternate.
 - iii. – v. [UNCHANGED]
7. Responsibility and Certificates of Occupancy. [UNCHANGED]

Part II.

Severability. Should any section, subdivision, clause, or phrase of this Ordinance be declared by the courts to be invalid, the validity of the Ordinance as a whole, or in part, shall not be affected other than the part invalidated.

DRAFT 6/5/26

PART III.

Savings Clause. The amendment of the Novi Code of Ordinances set forth in this Ordinance does not affect or impair any act done, offense committed, or right accruing, accrued, or acquired or liability, penalty, forfeiture or punishment, pending or incurred prior to the amendment of the Novi Code of Ordinances set forth in this Ordinance.

PART IV.

Repealer. All other Ordinance or parts of Ordinance in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

PART V.

Effective Date: Publication. Public hearing having been held hereon pursuant to the provisions of Section 103 of Act 110 of the Public Acts of 2006, as amended, the provisions of this Ordinance shall be published within fifteen (15) days of its adoption by publication of a brief notice in a newspaper circulated in the City of Novi stating the date of enactment and effective date, a brief statement as to its regulatory effect and that a complete copy of the Ordinance is available for public purchase, use and inspection at the office of the City Clerk during the hours of 8:00 A.M. to 5:00 P.M., Local Time. The provisions of this Ordinance shall become effective seven (7) days after its publication.

MADE, PASSED, AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, ON THE ____ DAY OF _____, 2026.

JUSTIN P. FISCHER, MAYOR

CORTNEY HANSON, CITY CLERK

Ayes:
Nays:
Abstentions:
Absent:

**PROPOSED CHANGES TO
LANDSCAPE DESIGN MANUAL – DRAFT**

DRAFT 6/5/26

CITY OF NOVI

LANDSCAPE DESIGN MANUAL

(Adopted by City Council Resolution dated 8-25-03) – revised 2020, 2026

TABLE OF CONTENTS

Part I. Supplemental Requirements and Procedures
Part II Screening Opacity Diagrams
Part III. Standard Planting Details
Part IV. Street Tree List
Part V. Suggested Plant Material List

NOTE:

In addition to this Landscape Design Manual and Section 5.5 of the Zoning Ordinance, issues related to landscaping are also addressed in the following sections of the Novi Code of Ordinances. Please consult these for other possible impacts on a project.

(Note: the following list is provided as an aid and does not guarantee that other ordinances may not have an impact on landscaping):

ZONING ORDINANCE:

| <u>Ordinance Section #</u> | <u>Title/Relevant Section</u> |
|----------------------------|--|
| 3.6 | Notes to District Standards |
| 3.6.M: | Wetland/Watercourse setback |
| 3.9.7 | MH-Mobile Home district buffer |
| 3.11: | GE Gateway East District – particularly section 6 |
| 3.12: | Special Development Option (SDO) for the GE District |
| 3.14.4, 3.14.5.B&E: | I-1 |
| 3.15.1.B, 3.15.2: | I-2 |
| 3.19.3&7.D: | OST Retail Service Overlay |
| 3.20.2.A&C: | OST Required Conditions |
| 3.21.2.A.iii&iv: | PSLR Overlay |
| 3.22 | P-1 |
| 3.23.1.vi | Conference District |
| 3.27.1. C,D,F | TC and TC-1 Required Conditions |
| 3.28.6&10 | One Family Clustering Option |
| 3.29.2 | RUD buffering |
| 4.12.1 | Day Care screening |

| | |
|-----------------------|---|
| 4.13.2 | Recreation Areas/Centers |
| 4.19.2.F | Accessory Uses – Refuse Bin |
| 4.37.4 | Drive-in businesses |
| 4.40.2.F | Fast food restaurants |
| 4.55 | Outdoor Storage Yards |
| 4.58 | Junkyards |
| 4.74 | Parking for Sale of Motor Vehicles in P-1 District |
| 4.80.1.B & 2.B | Open Air Businesses |
| 4.86.H | Other Uses not Included in a District – Towers |
| 5.2 | Off-Street Parking |
| 5.3 | Off-Street Stacking, Parking Lot Layout Standards |
| 5.4.2 | Loading Zone Screening for Business and Other Commercial Zoning |
| 5.9 | Corner clearance |
| 5.11 | Fences |

CODE OF ORDINANCES

| <u>Ordinance Section #</u> | <u>Title/Relevant Section</u> |
|----------------------------|---|
| 11-143 | Design Considerations – drainage/slopes |
| 12 Article V, 12-275 | Wetland and Watercourse Protection |
| 29 | Soil – including Sedimentation Control |
| 36 | Waterways |
| 37 | Woodlands Protection |

SUPPLEMENTAL REQUIREMENTS AND PROCEDURES

The following Supplemental Requirements and Procedures shall apply to any landscape plan required under Section 5.5 of the City of Novi Zoning Ordinance. In the event of inconsistency between the provisions of that ordinance, or any other ordinance of the City, and these supplemental requirements and procedures, the ordinance provisions shall prevail.

1. Landscape Screening/Buffer Requirements

a. Residential Adjacent to Non-Residential

(1) Berm Requirements.

- (a)** The berm shall be landscaped and maintained in a clean, orderly, and growing condition.
- (b)** The berm must be planted with a combination of trees, shrubs, sod or other living ground covers.
- (c)** A minimum opacity shall be provided and maintained at 80% winter opacity and 90% summer opacity at the required height within 2 years of installation. This level of opacity shall be provided wherever screening is called for in this ordinance. Opacity includes an intermittent visual obstruction height of 20 feet, as well as the required screening capacity. (See Obscuring Earth Berm Diagrams in this section for examples of landscaping layouts that provide the required opacity.) The intermittent screening does not have to provide 80-90% opacity above 6 feet, but it should have at least 50% summer opacity.
- (d)** Landscaping shall provide the required opacity primarily by using a dense planting of evergreen trees or shrubs. Spacing of the plant materials shall be in accordance with the Plant Material Spacing Chart below and the attached illustrations. Groupings of canopy deciduous trees, subcanopy trees and/or shrubs that provide similar opacity as the illustrations may also be used to provide screening, especially for the intermittent obstruction. As an example, densely-branched deciduous plant material two (2) or more layers deep and/or evergreen plant material may be used to achieve the required opacity.
- (e)** The berm and landscaping materials shall be irrigated with an underground watering system or have an operational hose bibb within 100 feet of the landscaping.
- (f)** The required minimum and maximum distances between proposed plant materials within this Section for screening and landscape purposes are as follows or as determined by the City Landscape Architect or City Forester based upon accepted principles not specified in the chart:

(Recommended distances are dependent on species’ mature sizes and their size within 2 years of planting to attain opacity requirements. Recommended maximum spacing distances do not apply to other landscape requirements such as street tree spacing, greenbelt buffering, woodland replacement trees or foundation plantings).

Table 1.a.(1)(f): Plant Material Spacing Relationship Chart for Landscape Purposes

| Plant Material Types Spacing (on-center) | | TO | | | | | |
|--|---------------------------|--------------------------|---------------------------|------------------------|---------------------------|-------------------------|------------------------|
| | | Large Evergreen Tree | Narrow Upright Evergreen | Deciduous Canopy Tree* | Deciduous Subcanopy Tree* | Large Shrub | Small Shrub |
| FROM | Large Evergreen Tree | Min. 15 ft Max. 25 ft | Min. 12 ft | Min. 20 ft | Min. 15 ft | Min. 15 ft | Min. 10 ft |
| | Narrow Upright Evergreen | Min. 12 ft | Min. 2.5 ft Max. 10 ft | Min. 15 ft | Min. 10 ft | Min. 5 ft | Min. 3-5 ft |
| | Deciduous Canopy Tree* | Min. 20 ft | Min. 15 ft. | Min. 20 ft | Min. 15 ft | Min. 5-7 ft | Min. 3-5 ft |
| | Deciduous Subcanopy Tree* | Min. 15 ft | Min. 10 ft | Min. 15 ft | Min. 10 ft | Min. 5-7 ft | Min. 3-5 ft |
| | Large Shrub (6-15+’ tall) | Min. 15 ft | Min. 5 ft | Min. 5-7 ft | Min. 5-7 ft | Min. 5 ft Max. 10 ft | Min. 3 ft Max. 6 ft |
| | Small Shrub (0-5.9’ tall) | Min. 10 ft | Min. 3-5 ft | Min. 3-5 ft | Min. 3-5 ft. | Min. 3 ft Max. 6 ft | Min. 3 ft Max. 6 ft |

* Fastigate/columnar trees may require closer spacing to achieve required opacity.

- (g) Berms shall be constructed of loam soils with a 6” top layer of topsoil and shall be free of construction materials and debris. Where possible, they shall be undulating in height, and they shall always maintain at least the minimum height required in Zoning Section 5.5.3.A.ii.
- b. Developments Adjacent to Public Rights of Way
 - (1) Berm Requirements
 - (a) Berms are to vary in height and width
 - (b) The minimum height specified in Zoning Section 5.5.3.B.ii.f should always be met by the berm, with variations in height taller than the minimum.
 - (2) Plant Material Location Spacing

- (a) In order to assist emergency vehicles, create view channels to business address at a 20-40 degree angle for approaching vehicles from both directions of traffic
- (b) The base of any permitted display platform must be totally screened by shrubs at least 2 feet in height.
- (3) Shopping Centers and sites adjacent to freeways or other major corridors are highly visible. Therefore, a strong emphasis shall be placed on the design of landscaping that achieves substantial aesthetic enhancement, and a diminution of paving and parking views along these corridors.

2. Residential Subdivision Planting Requirements

a. Single-family platted subdivisions or residential site condominiums.

(1) Street Tree Spacing. Trees shall be provided in front of each residential lot in the area between the sidewalk and the curb as described in the Charts below:

i. Minimum planting area widths:

Table 2.a.(1).i Recommended Tree Sizes for ROW areas

| Tree Species Type | Lawn width (curb to sidewalk) |
|---|-------------------------------|
| Small Tree (Deciduous Subcanopy) | 4-6 feet |
| Medium Tree (Deciduous Subcanopy and Canopy) | 6-8 feet |
| Large Tree (Deciduous Canopy) | >8 feet |

ii. Minimum spacing:

Table 2.a.(1).ii Recommended Tree Spacing for ROW areas

| Tree Species Type | Tree Height | Distance between trees (on average) |
|---|-------------|-------------------------------------|
| Small Tree (Deciduous Subcanopy) | Up to 20' | Min. 20' |
| Medium Tree (Deciduous Canopy and Subcanopy) | 20-40' | Min. 30' |
| Large Tree (Deciduous Canopy) | >40' | Min. 35' |

(2) Street Tree Location. Large street trees shall be planted in front of each lot in the right-of-way in accordance with the following standards for large deciduous canopy trees :

Table 2.a.(2) Street Tree Requirements for Single Family Residential Lots

| Lineal Frontage* | Trees Required |
|------------------|----------------|
| <70 feet | 1 tree |
| > or =70 feet | 2 trees |

| | |
|----------------|---------|
| > or =105 feet | 3 trees |
| > or =140 feet | 4 trees |
| > or =175 feet | 5 trees |

* Driveway width and corner clearance zones may be subtracted from the lineal frontage.

- (a) Corner lots shall have trees planted along both streets in accordance with the above requirements for each frontage, provided that trees are not planted within the 25 foot corner clearance zone (Section 5.9) or Road Commission for Oakland County (RCOC) required clear vision zone.
 - (b) Subdivision open spaces shall have street trees located within the right-of-way at a rate of 1 tree per 35lf (not including frontage in clear vision zones).
 - (c) Trees shall not be planted closer than 10 feet from any driveway.
 - (d) Distances between trees and curbs or sidewalks shall be:
 - 1. At least (4) feet for deciduous canopy trees and 2.5' for subcanopy trees.
 - 2. At least 5 feet for shrubs behind curbs with angled or perpendicular parking
 - (e) If subcanopy trees are to be used as street trees for tight planting areas and under utility lines, only use species/varieties which can be attractively pruned per city standards (a minimum ground clearance of 14 feet on the street side and 10 feet on the non-street side).
 - (f) No deciduous canopy tree, subcanopy tree or evergreen tree shall be planted closer than 15 lateral feet from any overhead utility wire, or closer than 10 lateral feet from any fire hydrant, catch basin or manhole. Effort should also be made to keep all trees at least 5 feet away from underground utility lines.
- b. Single-family or residential site condominiums with no lot lines.
- (1) Street Tree Requirement: 1 canopy or 1.5 ornamental trees per residential unit.
 - (2) Tree Placement: In front of residential unit in the area between the sidewalk and the curb as described in the Charts below:

Minimum planting area widths:

Table 2.b.(1) Recommended Tree Sizes for ROW areas

| Tree Species Type | Lawn width (curb to sidewalk) |
|---|--------------------------------------|
| Small Tree (Deciduous Subcanopy) | 4-6 feet |
| Medium Tree (Deciduous Subcanopy and Canopy) | 6-8 feet |
| Large Tree (Deciduous Canopy) | >8 feet |

- c. Island and Boulevard Planting.
 - (1) A mixture of shrubs, groundcover, perennials, and/or ornamental grasses, as well as canopy and sub-canopy trees, is to be provided.
 - (2) Maintenance of such areas shall be the responsibility of the subdivision association.
 - (3) At least 75% of the area shall be landscaped with a combination of plantings other than lawn. The remaining 25% of area can be lawn if desired.
 - (4) Refer to Zoning Ordinance Section 5.9 for corner clearance requirements for boulevards.

3. Detention and Retention Basin Landscaping Requirements

- a. Large deciduous canopy trees shall be planted at a rate of 1 tree per 35 lf of the pond edge measured at the permanent water line, 6-10 feet away from the permanent water level, around the east, west and south sides of the pond to provide cooling shade for the pond. Woodland replacement trees may be used to meet some or all of the tree requirement if a conservation easement to protect them is provided.
- b. Clusters of large native shrubs shall cover 70-75% of the basin perimeter measured 10 feet from the permanent water level, or pond bottom for ponds designed to empty after 24-48 hours. Shrubs should be clustered at a distance approximately 10 feet from the permanent water level line or pond bottom but shouldn't be arranged in a straight line.
- c. At least three different shrub species native to Michigan shall be used. Straight species are preferred. Dwarf cultivars with mature heights less than 5 feet do not fulfill the size requirement.
- d. The bottom and sides of the basin(s) extending 25 feet from the permanent water level shall be planted with a mix of native grasses, sedges and wildflowers and be maintained at a natural height (not mowed as lawn) to discourage use by waterfowl. The application of fertilizer and pesticides on grass areas in the basin shall be limited to the initial establishment of the groundcover.
- e. Contact the City's wetland consultant when specifying basin seed mix. The seed mix(es)' species composition and cover crop(s) should be included on the landscape plan, as well as clear indications of where each mix should be applied. A plan for the successful establishment and maintenance of the groundcover should also be included on the landscape plan.
- f. Prior to seeding, the area to be seeded shall be ripped to a depth of 18" to remove soil compaction. The seeding area shall be prepared per the recommendations of the native seed vendor.
- g. The landscape contractor shall send a photo of the seed bag from the seed being planted to the city landscape architect or city environmental consultant or landscape architect to verify that an acceptable mix is being used. A note to this effect shall be added to the plan sheet with the seed mixes.

- h. Utilize anti-waterfowl devices while establishing plantings, such as string matrix or string edge or other approved method.

4. Tree species diversity (includes canopy, subcanopy and evergreen trees).

In order to avoid landscape disasters like the Dutch elm disease and Emerald Ash Borer infestations, where overplanting of a single type of tree (elm, ash) resulted in large scale tree replacements, a diversity of tree species is to be used for all projects requiring site plan approval.

- a. When fewer than 200 trees are proposed, not more than 25% of the proposed tree plantings shall be of one genus and not more than 15% shall be of a single species.
- b. When 200 or more trees are proposed, not more than 15% percent of the tree plantings shall be of one genus and not more than 10% shall be of a single species.
- c. Variations from these percentages shall be at the discretion of the City Forester or Landscape Architect. (See Novi Street Tree List).
- d. The breakdown of the species and genera used shall be added to the plant list in a format similar to that shown in the table below:

Table 4.e: Sample Species Breakdowns

| Symbol | Scientific Name | Common Name | Size | Qty | Genus % | Species % |
|--------------|-----------------------------|-------------------------------|------------|------------|-------------|-------------|
| AL | Amelanchier laevis | Serviceberry | 6-7' ht | 20 | 12% | 12% |
| AR | Acer rubrum | Red Maple | 2.5" cal. | 25 | 15% | 15% |
| CA | Cornus alternifolia | Pagoda Dogwood | 6-7' ht | 20 | 18% | 12% |
| CF | Cornus florida | Flowering Dogwood | 1.75" cal. | 10 | | 6% |
| MS | Malus 'Snowdrift' | Snowdrift Flowering Crabapple | 1.75" cal. | 5 | 3% | 3% |
| PO | Platanus occidentalis | Sycamore | 2.5" cal. | 25 | 15% | 15% |
| PS | Pinus strobus | Eastern White Pine | 6-7' ht | 10 | 6% | 6% |
| QB | Quercus bicolor | Swamp White Oak | 2.5" cal. | 10 | 21% | 6% |
| QR | Quercus rubra | Red Oak | 2.5" cal. | 25 | | 15% |
| UA | Ulmus americana 'Princeton' | Princeton American Elm | 2.5" cal. | 15 | 9% | 9% |
| Total | | | | 165 | 100% | 100% |

- e. The above requirements do not apply to woodland replacement trees.
- f. Woodland tree replacement species shall have roughly the same composition as the native trees removed in order to maintain some semblance of the impacted woodland (except in the cases of elm, ash or other species which are known to have major survivability issues due to environmental factors).
 - i. No more than 10% of the credits planted on site may be evergreen trees.
 - ii. Native maples may be used as substitutes for boxelders. Varieties of native elm species shown to have good resistance to Dutch elm disease may be used as replacements for elms.
 - iii. The counts of woodland replacement trees shall not be included in the breakdown described above (items a-d).

- g. Shrubs: While shrubs are not subject to the requirements above, efforts toward using a diversity of shrub species should also be used for the same reasons described above.

5. Parking Area Landscaping Requirements

- a. Landscape designs shall utilize plant materials which enhance infiltration of storm water, such as those with deep root systems. Designs to lessen runoff are preferred. Wherever possible, designs should utilize vegetated swales, weirs and basins within and around the parking areas to create an attractive storm water system that promotes storm water infiltration.
- b. Salt-tolerant plants material native to the state of Michigan are preferred.
- c. Parking area landscaping materials within parking lot islands shall be maintained at 3 feet in height or less above adjacent paving for clear sight distance within the parking islands.
- d. Evergreen trees are not allowed in any parking islands unless the applicant can demonstrate that all clear sight distances shall be maintained and a note in a form approved by the City Attorney is added on the final approved site plan stating that the City of Novi is not responsible for any accidents caused by the lack of clear sight distance
- e. All landscaping shall be maintained in a healthy condition and replaced as necessary.
- f. Name, type and number of groundcover plants (including seed or sod) proposed on islands are to be specified on the landscape plan.
- g. Parking area islands may not utilize mulch as the only groundcover. It is only allowed in association with trees or shrubs planted within an island (the ring of mulch around a tree, or within and around shrub beds). Rock or gravel mulches shall not be used adjacent to vehicular use areas.

6. Transformers/Utility Boxes/Irrigation Control Boxes

All transformer and utility boxes shall be screened from public view in an attractive manner, but shall allow safe access to said facilities.

- a. Plant materials shall be maintained at a height at least equal to the transformer, utility box or irrigation control box.
- b. Screening plant material shall be evergreen or densely-branched deciduous shrubs.
- c. A minimum of 2 feet separation is required between the structure and the full growth potential of plant material at maturity.
- d. Groundcover is allowed up to the transformer pad, if it is kept below 4" in height.
- e. Doors of transformers must be accessible. No plant materials are to be placed within 8 feet of the front of the doors but the doors shall be screened from view.
- f. A detail of transformer screen plantings and locations of all transformers must be provided with the landscape plans.

- g. Safety is the first priority when screening transformers and utility boxes. If plantings are above 2 feet in height, they cannot be placed in the corner clearance (refer to Section 5.9).
- h. A solid fence or wall may be approved if warranted by safety or site limitations.

7. **Dumpsters/Trash Containers** – Required screening for Dumpsters/Trash Containers is described in Chapter 21-145 and Zoning Ordinance Section 4.19.2.f. No additional landscaping is required.

8. **Fire Hydrants/Fire Department Connections** – Plantings shall be kept away from or below hydrants and Fire Department Connections, so they are not obscured from view and are easily accessed.

9. **Landscape Plan Requirements**

A landscape plan shall be submitted for:

- any new commercial or residential development
- any addition to an existing building that is equal to or greater than a 25% increase in the overall square footage of the building or 400 square feet, whichever is less
- any increase of 5 spaces or more to a parking lot, or equivalent paving area

An owner of a single-family home site shall not be required to comply with the provisions of this section.

The landscape plan shall contain the following information:

- a. Name, address and telephone number of the owner and developer or association.
- ~~b.a. Name, address and telephone number of the Registered or Licensed Landscape Architect who created the design or is responsible for its accuracy and adherence to city standards.~~
- ~~e.b.~~ A legal description or boundary line survey of the site on which the work is to be performed.
- ~~d.c.~~ Project Name and address (or other information showing the site location).
- ~~e.d.~~ Zoning districts of the proposed site and adjacent properties.
- ~~e.~~ Miss Dig contact information on all sheets.
- ~~f.~~ Name, address and telephone number of the Registered or Licensed Landscape Architect who created the design or is responsible for its accuracy and adherence to city standards.
- ~~f.a.~~ Miss Dig contact information on all sheets.
- g. The seal of a Registered or Licensed Landscape Architect responsible for the plans (on Final Site Plans and Stamping Sets). ~~Live signature of the landscape architect is required on Stamping Sets.~~

- h. The soil type(s) on site as determined by the Soils Survey of Oakland County, Michigan published by the United States Department of Agriculture Soils Conservation Service.
- i. A plan of the site at a scale that matches other plans in the plan set and is legible with proper north indication. In addition, for reviewing purposes, the landscape plan shall be submitted in a scale not to exceed 1"=20' for detailed areas, 1"=60' for large areas. Variations from this scale requirement may be approved by the City Landscape Architect as long as the different scale provides sufficient detail, legibility and ease of use for evaluation. This plan should include:
 - (1) Proposed topography at a maximum of ~~2-foot~~2-foot contour intervals, extending at least 50 feet beyond the site boundary. For berm, wall areas and steep topography, contour intervals shall be shown at 1 foot.
 - (2) Location, type and size of all existing plant materials showing those materials to be saved, to be moved and to be removed.
 - (a) If there is no existing vegetation, the plan shall note that.
 - (b) If the site includes regulated woodlands or wetlands, the plan shall identify the locations of regulated natural resources with the appropriate boundary determinations.
 - (c) A tree survey that includes all regulated trees within the area of disturbance and a corresponding tree chart that includes tree tag #, species, size (dbh), and whether it will be saved or removed.
 - (d) Tree protection fence locations must be shown on Removal/Demolition and Grading Plans/Soil Erosion Control plans.
 - (e) All trees 8" dbh or greater within 50 feet of construction shall also be included in the tree survey.
 - (f) Trees in woodlands or other areas at least 50 feet away from construction that will not be impacted do not need to be identified individually, but the cover of those areas should be generally noted (e.g. dense woodland, open, scrub/shrub, wetland) and the area noted as "To Remain" or "To Be Saved". See Woodlands Protection Ordinance, Chapter 37 and Wetlands Protection Ordinance, Chapter 12 for additional plan requirements.
 - (3) Locations of all existing and proposed buildings, easements, parking spaces, vehicular use areas, proposed ground sign locations, flagpole locations, public rights-of-way, existing and proposed overhead and underground utilities, including the locations of hydrants, utility boxes and trash receptacles. Dimensions shall be shown from overhead utility poles.
 - (4) Location, type and size of all proposed plant materials. For Final Site Plan submittals, plants shall be indicated with actual plant material names or symbols linked to a plant list.

- (5) All plantings shall have unique labeling to indicate the requirement they are intended to satisfy (i.e. interior parking, parking perimeter, woodland replacement, right-of-way greenbelt, street trees, foundation planting, etc.)
 - (6) Corner Clearance Zones at driveways and road intersections. (See Section 5.9 or Road Commission for Oakland County clear vision requirements, depending on the road jurisdiction).
 - (7) An indication of area(s) clear of trees or shrubs for snow depositing areas in winter.
- j. Right-of-way greenbelt, street tree, foundation and other landscaping calculation requirements, including the amount required and the amount provided. Include labels in square feet for all landscape areas intended to satisfy landscape requirements.
 - k. Parking lot landscaping calculations, including interior and perimeter requirements, should include the amount required and the amount provided. Include labels in square feet for all landscape areas intended to satisfy landscape requirements.
 - l. A planting schedule for all proposed landscape materials showing the quantity of materials for each species, botanical and common names of plant materials, caliper sizes or container sizes, height of material where applicable, root type balled and burlapped or potted), type and amount of mulch.
(At least 50% of all species used, not including those used for woodland replacements, or in seed mixes, shall be species native to Michigan, and preferably Oakland County. (www.michiganflora.net may be used as a reference to determine whether a species is native).
 - m. An itemized cost estimate for all new plantings, mulch, seed and sod contained on the planting plan must be provided on the Final Site Plans. The costs for this should be from the Community Development Fees standard costs on the Community Development website, not estimates, unless there is no comparable standard cost, in which case estimates are acceptable.
 - n. Planting details for evergreen trees, deciduous trees, multi-stem trees, tree guys, shrubs, and perennials/ground covers, as applicable to the plan. (See typical City of Novi Tree Planting Details).
 - o. A plan for site preparation, seeding, establishment and maintenance of any native seed mixes per the direction of the native seed vendor.
 - p. When berms are included on the plans, a representative berm cross-section including slope, height and width, construction of loam with 6" top layer of topsoil, type of ground cover, and labeled contour lines. Show where overhead utility lines exist or are planned, and the required setback of 15 feet from the edge of the utility or 20 feet from the closest pole for canopy trees. (See Berm Cross-Section Diagram).
 - q. Wall detail(s), when applicable, with notes indicating materials, height and type of construction and footings. Wall designs and calculations for any walls greater than or equal to 3 ½ feet ~~48 inches~~ in height must be provided by a design or structural engineer and approved with building plans
 - r. Fencing details – tree protection, screening and decorative fencing
 - s. Notes required:

- (1) A note indicating the proposed estimated planting dates (should be between March 15 and November 15).
 - (2) A statement of intent to guarantee the plant materials for 2 years from the date of acceptance and maintain all such landscaped areas in accordance with the requirements of this ordinance.
 - (3) A note indicating that the plants should be Upper Midwest/Great Lakes grown.
 - (4) A note stating that the property's landscape will be maintained per the approved final site plan in perpetuity, per Zoning Ordinance Section 5.5.7, including replacement of all dead or failing plant material within three (3) months of its discovery, or the next appropriate growing period.
- t. Plans for irrigation, or alternative means of providing sufficient water for establishment and long-term survival must be provided with final site plans. If an area is landscaped with plant species that do not require irrigation (xeriscaping), no permanent irrigation system is required, but the plants must be watered as necessary until they are established with a temporary system, hose(s) or portable water tanks. In that case, hose bibb locations within 100 feet of the plantings or other water sources must be noted on the plans.
- u. If an irrigation system will be used, plans for it must be provided with final site plans.
- v. Other information or data as may be required in other sections of this ordinance, and additional information or data as reasonably required by the Planning Commission.

10. Plant Material Requirements

a. General Conditions / Plant Requirements.

Wherever in this Ordinance landscaping plantings are required, such landscape plantings shall be subject to the following conditions:

- (1) For all plant materials, plants native to Michigan and, ideally, Oakland County, are to be the first choice. No fewer than 50% of the species used, not including those for woodland replacements or in seed mixes, shall be native. The source of the native plants should be local or of the North Midwest America/Great Lakes region.
- (2) All plant materials shall be northern nursery grown, No. 1 grade, and installed according to accepted planting procedures. All plant materials shall meet current American Association of Nurserymen Standards. They shall be planted according to City of Novi Planting Details and specifications. The City shall have the right to inspect the plant materials prior to planting and to reject any plant materials deemed not to meet the standards of this ordinance.
- (3) The selection, spacing, and sizing of plant materials shall depend on the use to which the plantings are to be placed. A mixture of plant materials (evergreen and deciduous trees and shrubs) and plant species is required in all landscape plans as a protective measure against disease and insect infestation. Plant materials used together in groupings for screening shall meet the on-center spacing requirements as set forth in this Section 1.a.

- (4) Plant materials, except lawn, ground covers or creeping vine type plantings, shall be located at least 4 feet from the property line, as measured to the trunk of deciduous canopy or subcanopy trees, or to the mature dripline of shrubs and evergreens.
 - (5) Where plant materials are placed in 2 or more rows for screening, plantings shall be staggered from row to row.
 - (6) All trees shall have a central leader and a radial branching structure. Park grade trees are not acceptable. All trees, except those of 1" caliper or less, shall be balled and burlapped (B & B).
 - (7) Any deciduous canopy trees with branches that might tend to develop into "V" crotches shall be subordinated so as not to become dominant branches.
 - (8) Miss Dig must be notified to locate all underground utilities before planting begins.
- b. Plant Materials.

For suggested plant materials and information by categories of Native, Interest, Woodlands Replacement, Canopy, Street Tree, Growing Conditions, and Nurseries, see separate Suggested Plant Materials List (Part V). This list is not to be considered all-inclusive of acceptable plant materials and may be amended periodically.

(1) Existing Plant Material

- (a) Existing plant material is to be preserved as a first priority. Refer to Chapter 37, Woodlands Preservation Ordinance or Chapter 12, Wetlands and Watercourse Ordinance, for specific standards regarding preservation of these natural resources.
- (b) In instances where existing healthy plant material is proposed to be saved on a site prior to its development and is *not* regulated by Chapter 37, Woodlands Preservation Ordinance, or Chapter 12, Wetlands and Watercourse Ordinance, the applicant may apply to adjust the application of the landscape standards to allow such plant material to substitute for planting if such an adjustment is in keeping with, and will preserve, the intent of this Section.
- (c) For approval of substitutions, the existing preserved plant material shall be of high quality as determined by the City. Trees listed as Prohibited Plantings, and materials required to be preserved under Chapter 12, Article V, and under Chapter 37 of the Ordinance Code, will not receive credit under this provision.
- (d) All removals shall be clearly marked as to be removed with an X or R on the plan view, and on the accompanying tree chart/list (show as Saved or Removed). The tree labels for existing trees 8 inches dbh and larger to remain should appear on the Landscape Plan (plan view).
- (e) Protective fencing and preservation techniques will be required for all vegetation to be saved where there is a chance that construction activities

could damage it. The location of tree protection fencing and the City Protection Fencing Detail are to be shown on the Demolition/Removal Plan and Grading plans. Large masses of protected vegetation should be labeled “To be saved” or “To Remain” on the Landscape Plan and on the Demolition/Removal Plan and Grading Plan.

- (f) Landscape credit for preserved canopy trees, which do not fall within a regulated Wetland or Woodland, may be used to fulfill woodland replacement credits that may be required if they are not prohibited and/or invasive species. These replacements shall be at the following rate:

Table 10.b.(1)(f): Landscape Tree Credit Chart

| Diameter of Trunk of Preserved Tree* | Number of Tree Credits |
|--------------------------------------|------------------------|
| 36” or greater caliper | 7 trees |
| >29 to 36” caliper | 6 trees |
| >23 to 29” caliper | 5 trees |
| >17 to 23” caliper | 4 trees |
| >12 to 17” caliper | 3 trees |
| >7 to 12” caliper | 2 trees |
| 3 to 7” caliper | 1 tree |

* The tree trunk diameter measurement shall be rounded off to the nearest whole inch at a height of four and one-half (4.5) feet above the natural grade. (Diameter at Breast Height, D.B.H.)

- (g) Existing, non-prohibited trees may also be used to fulfill some or all of the required street tree, greenbelt or parking lot perimeter plantings, at a 1 for 1 basis if they are located in appropriate locations

(2) Proposed Plant Material

(a) Plant Sizes.

- i. The minimum sizes are as follows:

Table 10.b.(2)(a).i – Minimum plant sizes by application

| Planted Material Types | Deciduous Canopy Trees | Large Evergreen Trees | Deciduous Subcanopy Trees (5) | Upright Evergreens | Large Shrubs | Small Shrubs (6) | Perennials, Ornamental Grasses |
|--------------------------------|------------------------|-----------------------|-------------------------------|--------------------|--------------|------------------|--------------------------------|
| R-O-W Plantings (4) | 2.5” cal. | 8’ ht. | 2” cal. | 6’ ht. | 36-42” ht. | 18-24” ht. | 1 gal. cont. |
| Street Trees (4) | 2.5” cal. | n/a | 2” cal. | n/a | n/a | n/a | n/a |
| Woodland Replacement Trees (2) | 2.5” cal. | 6’ @ 3:2 Ratio | (3) | (3) | (3) | (3) | (3) |
| All other | 3” cal. | 7’ ht. | 2.5” cal. | 6’ ht. | 36” ht. | 24” ht. | 1 gal. cont. |

Footnotes:

- (1) The City Landscape Architect may permit smaller sizes upon receipt and review of sufficient documentation that required minimum sizes are not readily available.
- (2) Refer to Chapter 37-8(b) for acceptable species.
- (3) Refer to Chapter 37-8(c) for use of this plant type for replacement credits.
- (4) Shall also apply to private road easements or other equivalent. QUESTIONS
- (5) Multi-stem trees are to be eight to ten (8-10) foot minimum height.
- (6) Spreading or horizontal shrubs are to be eighteen (18) inch width minimum.
- (7) _n/a: not allowed

- ii. To encourage a mixture of sizes, additional landscape credit can be given for larger-sized deciduous canopy trees and large evergreen trees as follows for Right-of-Way Greenbelt trees and Parking Lot Perimeter trees. (Upsizing credit is not allowed for woodland replacement trees, street trees or interior parking lot trees.)

Table 10.b.(2)(a).ii

| Size | Total Tree Credits * |
|-------------------------------|-----------------------------|
| Large Evergreen Trees | |
| 8' height | 1.0 |
| > 8' to 10' height | 1.25 |
| >10' to 12' height | 1.5 |
| >12' to 14' height | 2.0 |
| >14' height | 2.5 |
| Deciduous Canopy Trees | |
| 3" caliper | 1.0 |
| >3" to 3.5" caliper | 1.25 |
| >3.5" to 4.5" caliper | 1.5 |
| >4.5" to 5" caliper | 1.75 |
| >5" caliper | 2.0 |

* Where greater than minimum size listed above (Table 10.b.(2)(a).i).

Example: a 4" caliper deciduous canopy tree would count as 1.5 required landscape trees. A 13' high evergreen canopy tree would count as 2 required landscape trees.

The total number of trees required may be reduced through the use of these credits by a maximum of 33% (per category) (i.e. the total number of trees provided must be at least 67% of the total number of trees required based on the standard tree size, per category)

c. Prohibited Plants.

In order to promote native plant species diversity and to prevent the loss of habitat due to the spread of naturalized non-native plant species, the following species will be prohibited in planting plans:

Table 10.c – Prohibited Plants

| Botanical Name | Common Name | Plant Type |
|--------------------------------------|--------------------------------|--------------------------|
| <i>Acer negundo</i> | Boxelder | Deciduous Subcanopy Tree |
| <i>Acer platanoides</i> | Norway Maple | Deciduous Canopy Tree |
| <i>Acer saccharinum</i> ** | Silver Maple | Deciduous Canopy Tree |
| <i>Ailanthus altissima</i> | Tree-Of-Heaven | Deciduous Canopy Tree |
| <i>Alnus glutinosa</i> | Black Alder | Deciduous Canopy Tree |
| <i>Berberis spp.</i> | Barberry | Small shrub |
| <i>Celastrus orbiculatus</i> | Round-Leaved Bittersweet | Vine |
| <i>Coronilla varia</i> | Crown Vetch | Perennial / Grass |
| <i>Echinochloa crus-galli</i> | Barnyard Grass | Perennial / Grass |
| <i>Elaeagnus umbellata</i> | Autumn Olive | Large Shrub |
| <i>Ginkgo biloba(female)</i> | Ginkgo (female) | Deciduous Canopy Tree |
| <i>Gypsophila paniculata</i> | Baby's Breath | Perennial / Grass |
| <i>Hypericum perforatum</i> | Common St. Johns-Wort | Small Shrub |
| <i>Iris pseudacorus</i> | Water Flag | Perennial / Grass |
| <i>Ligustrum spp.</i> | Privet | Small shrub |
| <i>Lonicera japonica</i> | Japanese Honeysuckle | Large Shrub |
| <i>Lonicera maackii</i> | Amur Honeysuckle | Large Shrub |
| <i>Lonicera tatarica</i> | Tartarian Honeysuckle | Large Shrub |
| <i>Lythrum salicaria</i> | Purple Loosestrife | Perennial / Grass |
| <i>Melilotus alba</i> | White Sweet Clover | Perennial / Grass |
| <i>Melilotus officinalis</i> | Yellow Sweet Clover | Perennial / Grass |
| <i>Morus alba</i> | White Mulberry | Deciduous Canopy Tree |
| <i>Polygonum persicaria</i> | Spotted Lady's Thumb | Perennial / Grass |
| <i>Populus alba</i> | White Poplar | Deciduous Canopy Tree |
| <i>Populus deltoides</i> | Eastern Cottonwood | Deciduous Canopy Tree |
| <i>Populus nigra</i> | Black Poplar | Deciduous Canopy Tree |
| <i>Populus tremuloides</i> | Quaking Aspen | Deciduous Canopy Tree |
| <i>Pyrus calleryana</i> | Flowering Pear | Deciduous Canopy Tree |
| <i>Rhamnus cathartica</i> | Common Buckthorn | Large Shrub |
| <i>Rhamnus frangula</i> | Glossy Buckthorn | Large Shrub |
| <i>Rhamnus frangula angustifolia</i> | Narrow-Leaved Glossy Buckthorn | Large Shrub |
| <i>Ribes americanum</i> | Wild Black Current | Small Shrub |
| <i>Robinia pseudoacacia</i> | Black Locust | Deciduous Subcanopy Tree |
| <i>Rosa multiflora</i> | Japanese Rose | Large Shrub |
| <i>Salix alba</i> ** | White Willow | Deciduous Canopy Tree |

| | | |
|----------------------------|-------------------|-----------------------|
| <i>Salix babylonica</i> ** | Weeping Willow | Deciduous Canopy Tree |
| <i>Salix nigra</i> ** | Black Willow | Deciduous Canopy Tree |
| <i>Ulmus americana</i> * | American Elm | Canopy Deciduous Tree |
| <i>Ulmus pumila</i> | Siberian Elm | Canopy Deciduous Tree |
| <i>Vinca minor</i> | Common Periwinkle | Groundcover |

* Disease resistant cultivars are acceptable

** Allowed under special circumstances

d. Recommended Trees for Planting Under Overhead Utilities:

Table 10.d – Trees for Under and Near Overhead Utility lines

| Botanical Name | Common Name |
|---------------------------------|--------------------------|
| <i>Acer campestre</i> | Hedge Maple |
| <i>Acer griseum</i> | Paper Bark Maple |
| <i>Amelanchier sp.</i> | Serviceberry |
| <i>Carpinus caroliniana</i> | Musclewood |
| <i>Cercidiphyllum japonicum</i> | Katsura Tree |
| <i>Cercis canadensis</i> | Eastern Redbud |
| <i>Cornus alternifolia</i> | Alternate Leaf Dogwood |
| <i>Cornus florida</i> | Flowering Dogwood |
| <i>Cornus kousa</i> | Japanese Dogwood |
| <i>Cornus mas</i> | Cornelian Cherry Dogwood |
| <i>Crataegus sp.(thornless)</i> | Hawthorn sp. (thornless) |
| <i>Magnolia soulangiana</i> | Saucer Magnolia |
| <i>Malus hybrids</i> | Flowering Crabapple |
| <i>Syringa reticulata</i> | Japanese Tree Lilac |
| <i>Viburnum lentago</i> | Nannyberry |
| <i>Viburnum prunifolium</i> | Blackhaw Viburnum |

(Choose varieties with mature heights less than lowest power line if directly below lines)

e. Collected or Transplanted Trees

- (1) All collected trees shall be from on site and inspected by the City. Trees may be rejected for reasons of insect infestation, disease or standards set forth in this ordinance. Such plant material may be rejected either in full or in part.
- (2) All transplanted trees shall be in good health and conform to standards set forth in Section 910.

- (3) The root ball of any transplanted tree shall measure 1 foot for each inch of trunk diameter measured 12” above the root flare or graft collar.
- (4) If trees are to be stored, they shall be burlapped and heeled in with mulch in a pre-determined area approved by the City.
- (5) The trees shall be provided with a working irrigation system approved by the City to ensure their viability during storage.

11. Nonliving Durable Material

- a. Mulch for all plantings shall be premium shredded hardwood and shall not be artificially colored. No cypress wood mulch or rubber mulch is to be used.
- b. Trees shall be mulched to a maximum of 3 inches overall depth at planting.
- c. Shrubs, groundcovers and perennials shall be mulched to a maximum of 2 inches overall depth at planting.
- d. All lawn trees shall be planted with a 4 foot diameter circle of the shredded hardwood bark mulch.
- e. Mulch shall be pulled back 3 inches from the tree trunk in a circle down to the root ball dirt to expose the root collar to air. No mounding of mulch on the tree trunk is allowed at planting or in future applications of mulch.
- f. If a rootball’s dirt is piled up on the trunk, it should also be removed to expose the root flare.
- g. For fire safety, shredded hardwood bark is not to be installed adjacent to or within 4 feet of buildings that are constructed of combustible materials. Plantings adjacent to combustible buildings shall be mulched with a non-combustible material ~~typically marketed as landscape mulch or rock~~. The color of such materials shall be natural and compatible with the building.
- h. Gravel or rock mulches are not permitted within or immediately adjacent to paved parking lots or roadways. Approval of type, depth and specific location for gravel mulch is to be approved by the City.
- i. Sphagnum peat/bog peat is harvested from functioning wetlands so it shall not be used for landscape purposes. Compost may be used as an alternative.
- j. Plastic or other artificial replicas of plant material are prohibited.

MEMORANDUM



TO: CITY OF NOVI PLANNING COMMISSION
FROM: DIANA SHANAHAN, PLANNER
THROUGH: LINDSAY BELL, AICP, DIRECTOR OF PLANNING
SUBJECT: 41619 STEINBECK GLEN WOODLAND PERMIT
DATE: JUNE 1, 2026

The applicant, Andi Kareem, seeks approval of a Woodland Use Permit, PBR25-0096, to allow encroachment into the critical root zone of four regulated woodland trees ranging in size from 12 to 20 inches diameter-at-breast-height (DBH) for the installation of a pool and fence on a single-family residential lot located at 41619 Steinbeck Glen. The site is located west of Meadowbrook Road and south of Thirteen Mile Road in Section 11 of the City.

The City's Woodland Consultant reviewed the request for compliance with the Woodland Protection Ordinance and prepared a review letter dated June 13, 2025. The review letter (attached) does not authorize the removal of any trees; rather, it provides a detailed assessment of the potential impacts to the critical root zones of the regulated trees and indicates 12 replacement credits are required.

The review letter also notes that during a site visit conducted on April 1, 2025, the City's Environmental Consultant directed the homeowner to immediately remove the play structure and any debris located in the conservation easement. At this time, it is unclear whether those items have been removed.

The proposed critical root zone impacts are not associated with any previously approved site plan or prior agreement. Additionally, the affected trees are located within a recorded conservation easement. Please refer to the review letter for additional information.

Per Chapter 37 of the Woodland Protection Ordinance, where a proposed activity (i.e., pool installation) does not otherwise require site plan or plat approval, the granting or denying of the woodland use permit shall be the responsibility of the Planning Commission (Section 37-30.(b)). The applicant shall obtain approval from the Planning Commission prior to issuance of any permits.

The Planning Commission is asked to hold the public hearing and either approve or deny the requested woodland permit.

SUGGESTED MOTION:

Approval (Applicant Requested)

To approve Woodland Use Permit, PBR25-0096, to allow critical root zone impacts to 4 regulated woodland trees located within a conservation easement for the proposed pool and fence installation at 41619 Steinbeck Glen. The approval is subject to the payment of all associated fees and bonds as required by the City's ordinance.

– OR –

Denial

To deny Woodland Use Permit, PBR25-0096, to allow critical root zone impacts to 4 regulated woodland trees located within a conservation easement for the proposed pool and fence installation at 41619 Steinbeck Glen.

MAPS

Location

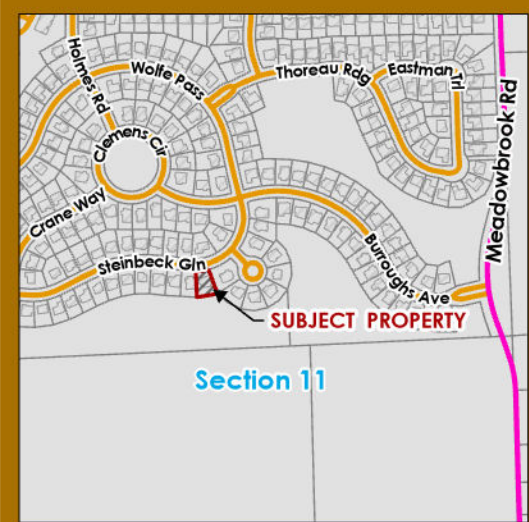
Zoning

Future Land Use

Natural Features

Conservation Easement

41619 STEINBECK GLEN WOODLAND PERMIT LOCATION MAP



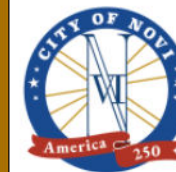
LEGEND

 Subject Property

Thoroughfare Classification

 Local Residential Street

 Scenic Drive Road

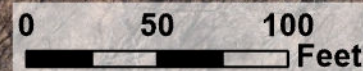


Map Author: Diana Shanahan
Project: PBR25-0096

Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



41619 STEINBECK GLEN WOODLAND PERMIT ZONING MAP

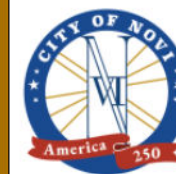


LEGEND

 Subject Property

Zoning District

 RA: Residential Acreage



Map Author: Diana Shanahan
Project: PBR25-0096

Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
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41619 STEINBECK GLEN WOODLAND PERMIT FUTURE LAND USE MAP



LEGEND

 Subject Property

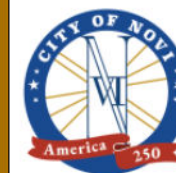
Future Land Use Category

 Single Family

 Multiple Family

 Private Park

 Public/Quasi-Public



Map Author: Diana Shanahan
Project: PBR25-0096

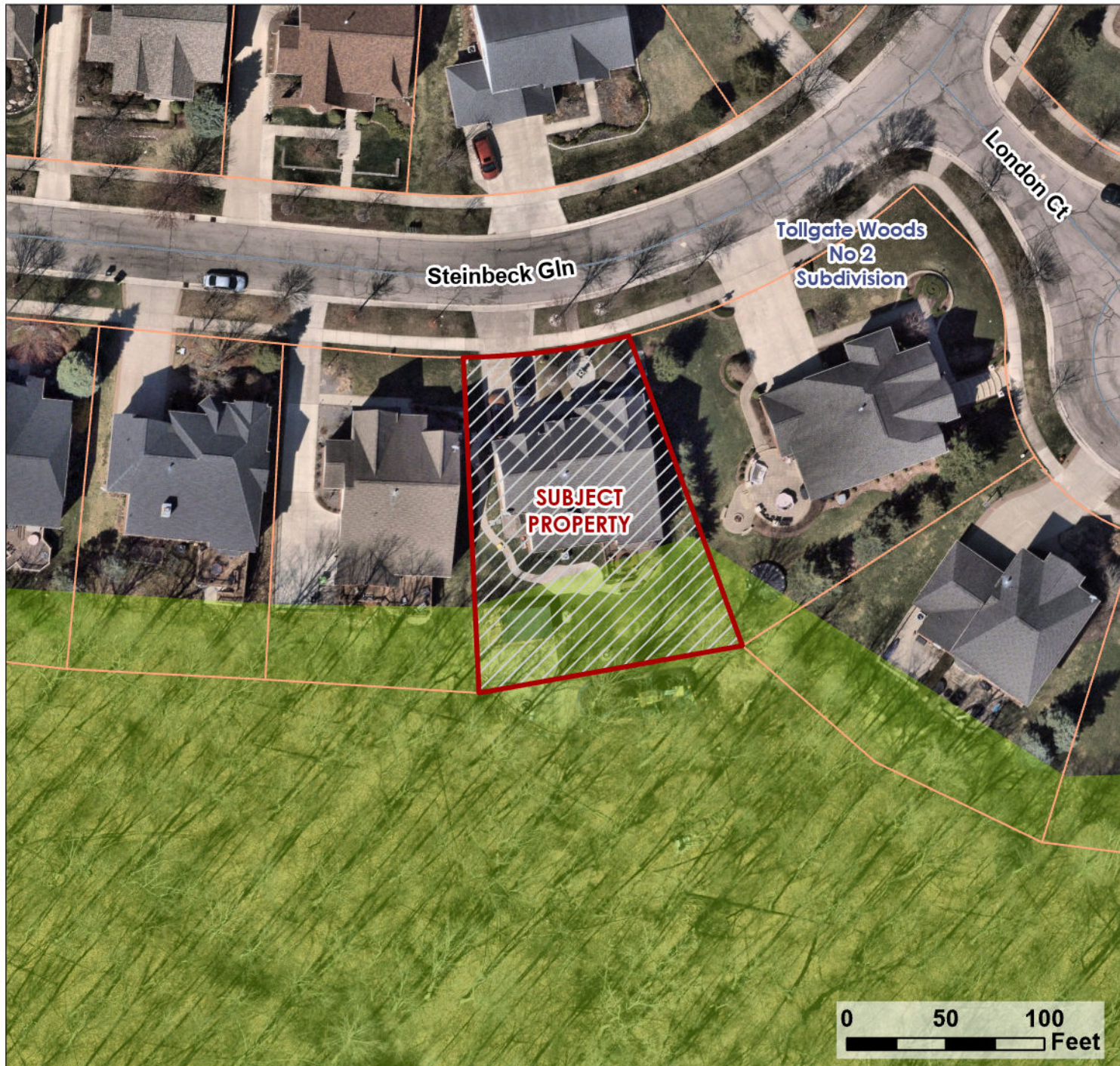
Date: 06/01/26
Version #: 1

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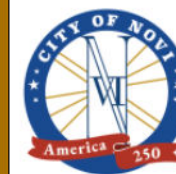


41619 STEINBECK GLEN WOODLAND PERMIT NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands



Map Author: Diana Shanahan
Project: PBR25-0096

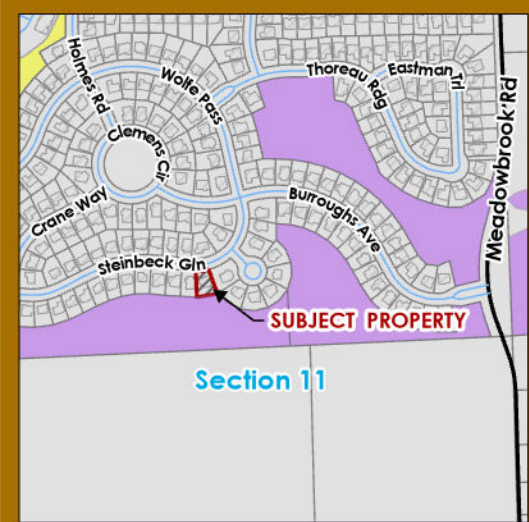
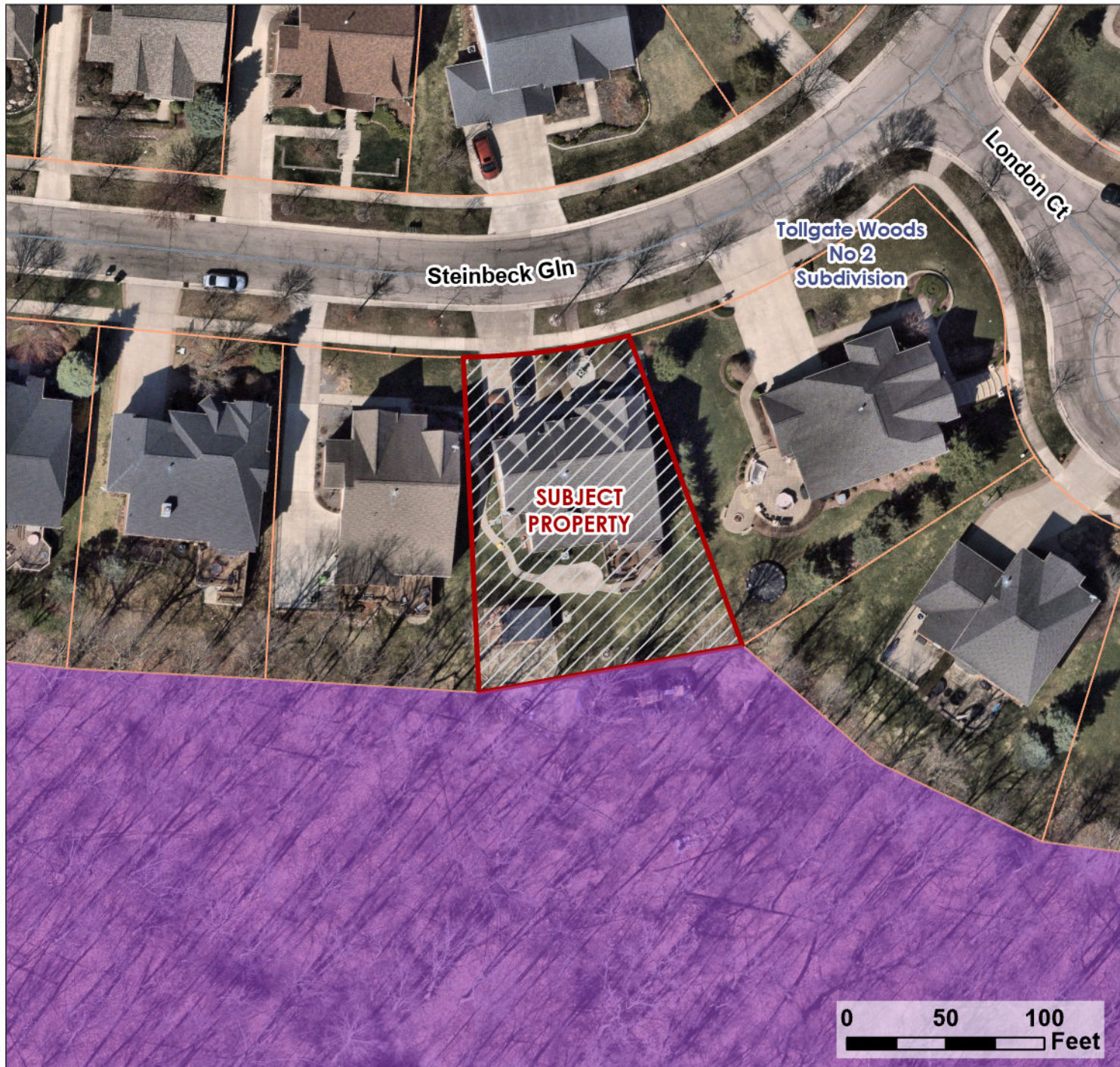
Date: 06/01/26
Version #: 1

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41619 STEINBECK GLEN WOODLAND PERMIT CONSERVATION EASEMENT MAP



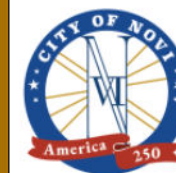
LEGEND

 Subject Property

Easement Type

 Open Space Preservation

 Wetland & Woodland

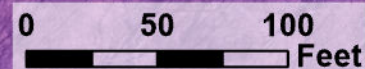


Map Author: Diana Shanahan
Project: PBR25-0096

Date: 06/01/26
Version #: 1

City of Novi

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PLOT PLAN

THOREAU PARK WEST

WOODLAND AREA

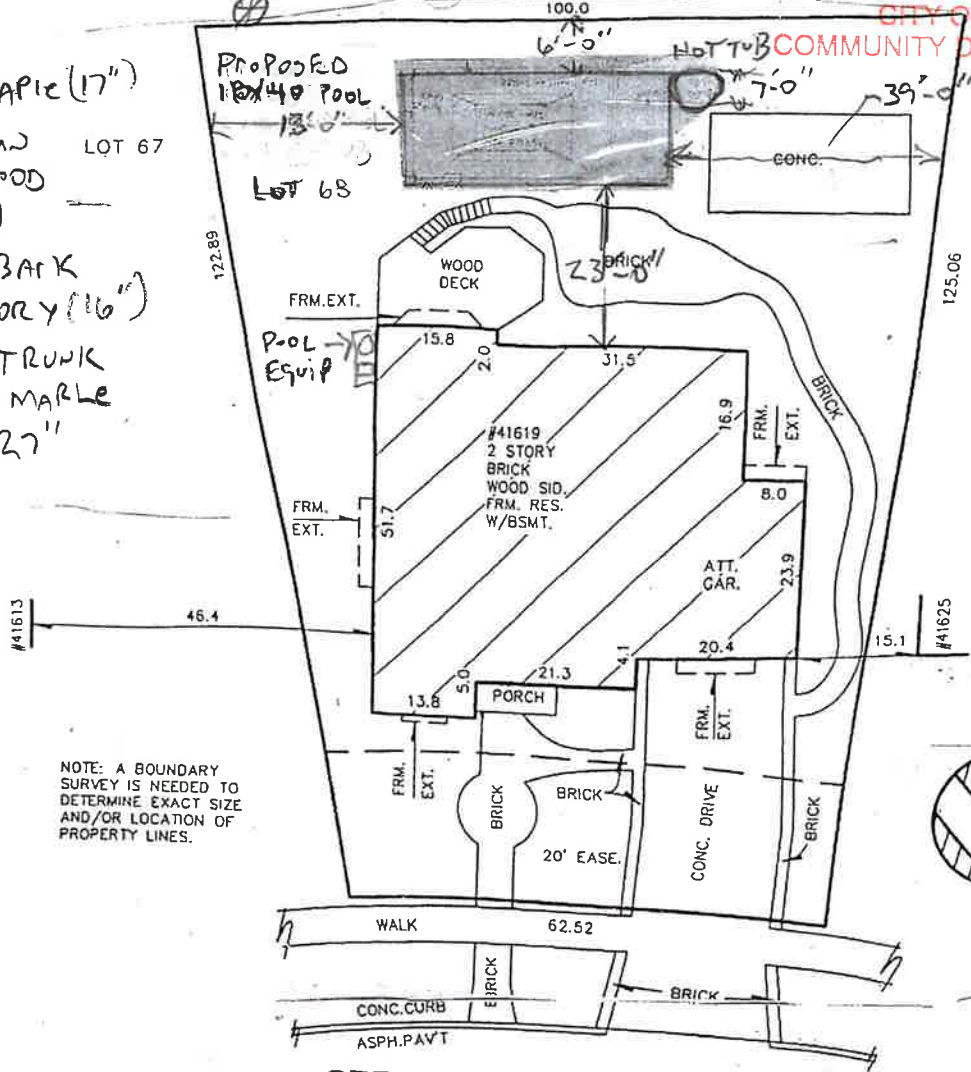
RECEIVED

MAY 05 2025

CITY OF NOVI COMMUNITY DEVELOPMENT

Lot 69

- 1: Red Maple (17")
- 2. American Basswood (17")
- 3. SHAG BARK Hickory (16")
- 4. DUAL TRUNK Silver Maple 16"/27"



NOTE: A BOUNDARY SURVEY IS NEEDED TO DETERMINE EXACT SIZE AND/OR LOCATION OF PROPERTY LINES.

Property Description:

Lot 68; TOLLGATE WOODS SUBDIVISION NO. 2, a part of the Northeast 1/4 of Section 11, T.1 N., R.8 E., City of Novi, Oakland County, Michigan, as recorded in Liber 292 of Plats, Pages 1 through 8, inclusive, of Oakland County Records.

Tree list:

| Condition | STATUS | Replace | TREE SIZE DBH Inches | TREE SIZE (Height Avg) | TREE SIZE ROOT SPAN AVG | TREE Description | Number |
|-----------|---------|---------|----------------------|------------------------|-------------------------|-------------------|--------|
| Good | Removed | 2 | 17" | 50'-60' | 45'-55' | RED MAPLE | 1 |
| Good | Removed | 2 | 17" | 60'-120' | 35'-50' | AMERICAN BASSWOOD | 1 |
| Good | Removed | 2 | 16" | 60'-80' | 50'-70' | SHAGBARK Hickory | 1 |
| Good | Removed | 6 | 16"/27" | 50'-60" | 50'-60" | SILVER MAPLE DUAL | 1 |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

PRP 25-00916

Drawing Name/#:
41619SteinbeckGlen.dwg
Drawn: DJB
Revised/Updated:

Units:
Ft.-In"
Scale:

Backyard Plan View
41619 Steinbeck Glen

Pool Addition

Concept/Layout Drawing

Notes:

HOA RESPONSE LETTER

Sentry Management

May 19, 2026
Andi Kareem
41619 Steinbeck GLN
Novi, MI 48377

RE: 41619 STEINBECK GLN

Dear Andi,

Thank you for following the Tollgate Woods Homeowners Association's process of submitting your request to modify the exterior of your unit to the Board of Directors for review. Enclosed, please find your signed or stamped modification form noting the formal approval or denial of your request.

Please review the signed form carefully to ensure if approved, it is not approved with changes or contingencies to the original request. The modification must comply with any comments indicated on the form. If your request is denied, the form will reflect the reason for denial.

Should you have any questions or concerns, please do not hesitate to contact us at 517-545-3900.

Respectfully,

Sentry Management, Inc.
On Behalf of the Board of Directors
Tollgate Woods Homeowners Association
000048

TOLLGATE WOODS HOMEOWNERS' ASSOCIATION REQUEST FOR MODIFICATION/ALTERATION

Owner Name Aneli Kareem Date 4/17/2026

Address 41619 Steinbeck Glen Bldg. _____ Unit _____

Home Phone 248-767-7935 Work Phone _____

Email: andigrouptrucking@gmail.com

Exterior Appearance Landscaping Other _____

Structural Part of Unit Limited Common Element _____

Description of Proposed Modification

- Remediation of disturbed areas
- Install of 16'x40' fiberglass pool with spillover tub

Attach a drawing (1/2" = 1 foot) or clear illustration of what is being proposed. Add dimensions, sizes and spacing. Also add copies of brochures or other descriptive literature when applicable.

Work to be performed by Francis Kashat (Fiore Construction)
Address 7035 Timberview Trail Phone 248-595-5000

A licensed builder who is insured must perform construction. All applicable codes and regulations must be followed, and permits must be obtained by the Owner at his/her expense. If the modification requires digging into the ground, or accessing any common elements, that utility lines or other common elements may be encountered and if damaged we accept financial responsibility for repair or any damages that may be incurred in connection with the proposed modification.

All installation costs and future maintenance costs related to this modification are the responsibility of the owner. Furthermore, any costs incurred by the Association because of this modification shall be billed to the owner for reimbursement to the Association. Furthermore, any costs incurred because

of this modification due to any future legal or regulatory agency requirements shall be paid by the Owner. Furthermore, the proposed modification may not interfere with the sprinkler system and any relocation of sprinkler heads shall be at the owner's expense.

This modification must comply with all Bylaws, occupancy agreements and other applicable regulations established by the Board of Directors.

The Owner accepts full responsibility for notifying the next owner of this unit of this modification and all responsibilities contained herein shall pass to the new owner.

I attest that all the above information is truthful and accurate and hereby respectfully request the Board to review the information provided and grant approval in writing in a timely manner.

This request is: Urgent (within days) Not Urgent (within weeks)

NO WORK SHALL COMMENCE UNTIL WRITTEN APPROVAL IS GRANTED

Co-Owner Signature _____ Date _____

Co-Owner Signature _____ Date _____

RETURN COMPLETED FORM TO A BOARD MEMBER OR MAIL / EMAIL TO THE FOLLOWING:

Return to: TOLLGATE WOODS HOMEOWNERS
c/o Sentry Management Inc.
PO Box 2148
Howell, Michigan 48844

Email: southeastmichigan@sentrymgt.com
Fax: 517-552-4476



Investigated by _____ Date _____

Approved by the Board Denied by the Board

Stipulations to Approval/Denial:

See Attached for Conditions for Approval

On behalf of the Board of Directors

Signature Cody Green Date 5/13/26

Agreement between the Tollgate Woods Homeowners Association, a Michigan corporation of Novi, Michigan and

Co-owner's Name---please print.

Co-owner's Signature

Co-owner's Address

A. It is mutually agreed:

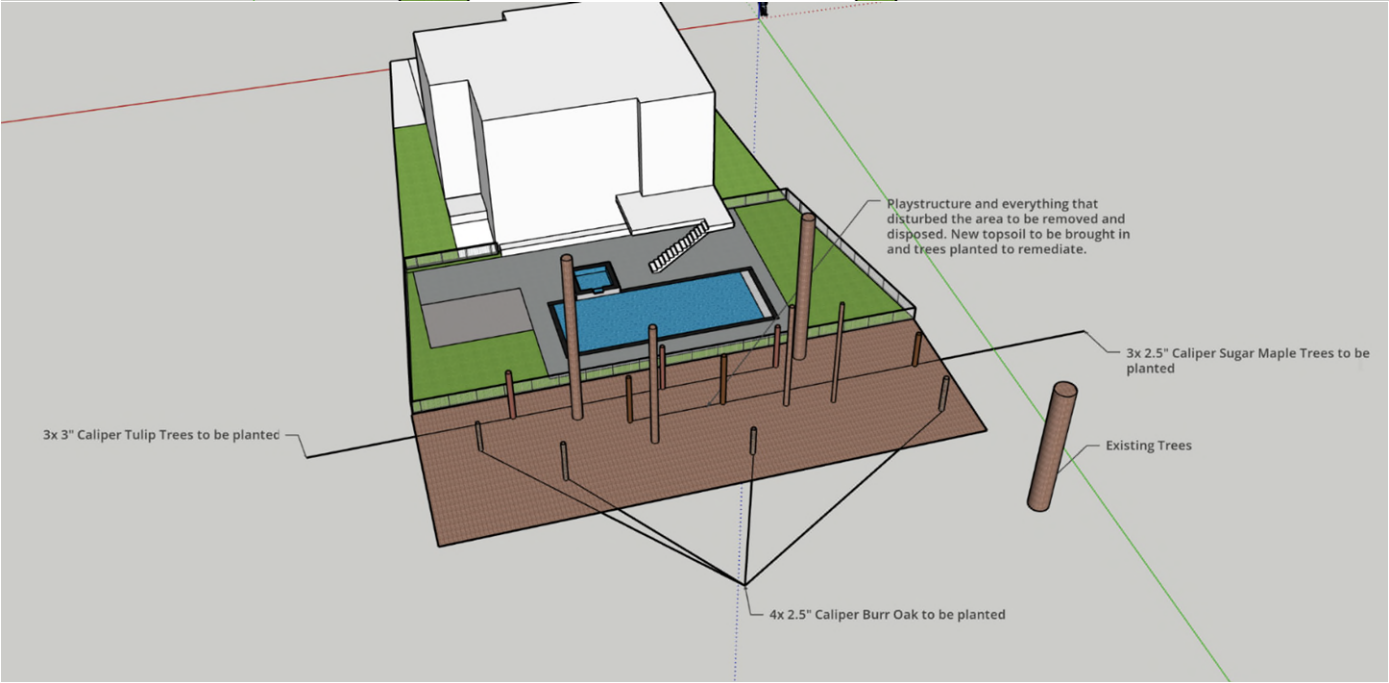
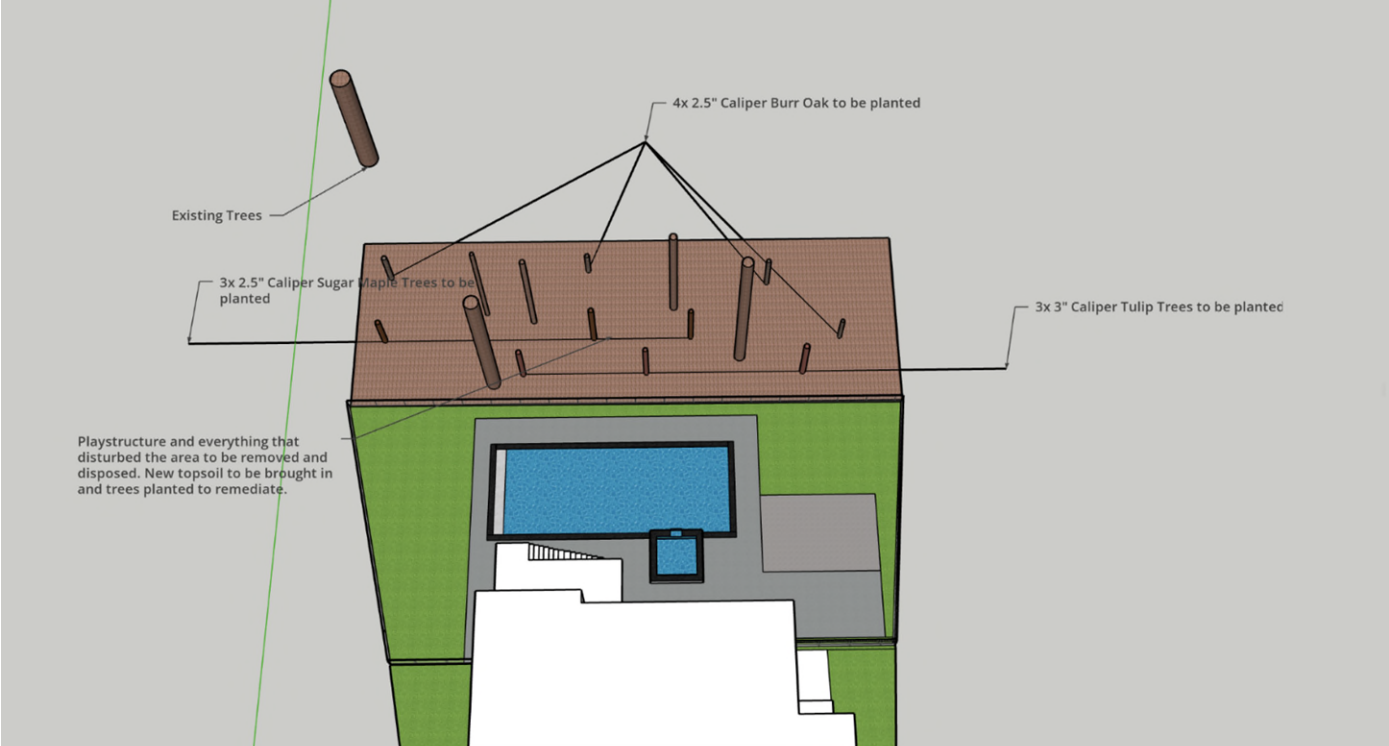
1. The Co-owner has the Association's permission to make such modification(s) as outlined in the attached description.
2. The Association will permit only modifications noted in this agreement description.

B. In consideration for same, the Co-owner(s) agrees:

1. The expense of performing said modifications will be borne entirely by the Co-owner(s).
2. The responsibility and expense of ensuring all necessary permits are pulled and building codes are met will be borne entirely by the Co-owner(s).
3. The maintenance and upkeep of said modification is the responsibility of the Co-owner in accordance with the governing documents, rules and regulations adopted by the association.
4. If additional insurance is necessary, the Co-owner(s) will see that proper insurance is in place to cover the above modification. Said insurance will be at the Co-owner(s) expense.
5. In the event that the Association finds maintenance or upkeep of modifications lacking, and after having been so notified in writing by the Association, required maintenance or upkeep is not timely performed by the Co-owner, such upkeep or maintenance will be performed by the Association or it's designee at Co-owner(s) expense. No such expense will be incurred without allowing the Co-owner(s) specified time to perform the maintenance first.
6. Should continue neglect of maintenance or upkeep of the modification occur, the Association may order return of the common ground or property under its control to its original state at the Co-owner(s) expense. However, this action will not be taken, under any circumstances, without written notification to the Co-owner(s) from the Association.
7. That in the event the single family unit to which said modifications are made is sold, the current Co-owner is required to notify any new Co-owner of the existence of this approved Modification Agreement, and have any new Co-owner assumes responsibility for maintenance and upkeep of the approved modification in writing at closing.

8. That in the event that the modification is damaged due to the repair, replacement, or removal of any common element (including, but not limited to, foundations, utility lines, pipes or wires, sump pumps, roofs, gas lines, etc.) or the maintenance thereof by the Association, removal, repair, and/or replacement of the modification will be performed by the Co-owner, or shall be done at the expense of the Co-owner.

9. The Co-owner hereby agrees to fully indemnify and hold harmless the Association, including its members, directors, officers, managers, agents, successors and assigns, from any liability, damages, claims, actions, judgments or responsibility whatsoever, now or in the future, known or unknown, foreseeable or unforeseeable, by any party whatsoever, for any actions, conduct or decisions in any way related to the modification and the permission given by this Agreement. This indemnification includes all costs or expenses incurred by the Association including, without limitation, attorneys' fees, defense costs, and other expenses.



Archived: Wednesday, May 13, 2026 2:42:36 PM

From: [Rao Chukkapalli](#)

Sent: Fri, 8 May 2026 13:38:13

To: [Cody Green](#)

Cc: [Steve Yaldoo](#) [Praveen Waadkonja](#) [Bryan Barringer](#) [Melissa Mele](#) [Natalie Liles](#)

Subject: 41619 Steinbeck Gln - Andi Kakeem and Baydaa Asman

Importance: Normal

Sensitivity: None

External Email: Please be careful when opening attachments or clicking links.

Cody,

The board members reviewed and approved revised modification request of the above homeowner. Please ensure that the following conditions are incorporated into the approval which are the same as provided in last approval and an add on condition listed at the end of this email.

Approval contingent on following stipulations:

- 1.You must comply with the conditions stipulated in the application submitted to us.
- 2.The approval does not constitute approval to initiate construction of swimming pool
- 3.You must satisfactorily address your neighbors concerns if any raised to their satisfaction.
- 4.You must submit all the required paper work to City of Novi and obtain license/permission/approval before starting construction of the swimming pool.
- 5.You must comply with our bye laws and governing documents
- 6.You must comply with all the terms and conditions stipulated by City of Novi while granting license/permission/approval at all times before, during and after construction was completed.
7. Submit a plan for removing the items in the backyard that are outside your property line and restoring the grounds.

This area

is a regulated Wetland & Woodland and is not to be disturbed

Besides the above - In order to address one of the points specifically raised by board member, though this was explicitly stated in our governing documents, just to ensure this is not overlooked add the following

1. 1.
The outer perimeter of the Swimming Pool should be secured through proper fence for safety purposes.

Should you need further clarifications, please give me a call.

Moving forward, whenever you receive such requests, please advise the homeowner the response time for these request are minimum 15 days.

Thanks

Rao

President

Tollgate Woods Homeowners'' Association

WOODLAND REVIEW



June 13, 2025

Nina Schaffrath
Account Clerk – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to nschaffrath@cityofnovi.org

Re: 41619 Steinbeck Glen – Revised Woodland Review (PBR25-0096)

Dear Nina,

Merjent, Inc. (Merjent) has conducted a preliminary review of the single-family residential plot plan for 41619 Steinbeck Glen (site) prepared by unknown (rev. date no date; received by City of Novi May 5, 2025). Merjent reviewed the plan for conformance with the City of Novi’s (City) Woodland Protection Ordinance, Chapter 37. The site (parcel 50-22-11-277-025) contains City-regulated woodlands based on the City of Novi Woodland Mapper (Figure 1).

An initial woodland review was conducted on April 2, 2025 and deficiencies were found in the plot plan that could not conform with Chapter 37.

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the revised 41619 Steinbeck Glen Residential Plot Plan **with conditions**. A list of comments is provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

| Woodland Regulation | Required |
|---|------------------|
| Woodland Permit (Chapter 37, Section 37-26) | YES |
| Tree Replacement (Chapter 37, Section 37-8) | YES |
| Tree Protection (Fence; Chapter 37, Section 37-9) | YES |
| Woodland Conservation Easement (Chapter 37-30[e]) | Already in Place |

Woodland Review Comments

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (**Figure 1**). Additionally, the woodlands located south of the site are under a mixed wetland and woodland conservation easement (**Attachment A**).
2. The plan has not listed/displayed an accurate representation of trees on-site or trees adjacent to the site. Pursuant to Section 37-28(4)(c), a woodland survey plan should be provided on the plan identifying

all trees eight inches in diameter at breast height (DBH) and greater by size, common name, species name, and condition.

- **Important Note:** although critical root zones are not identified on the plan, all trees adjacent to the proposed pool will have critical root zone impacts accounted for from the previous unauthorized fill and equipment placed in the conservation easement.

3. A **Woodland Use Permit** is required to perform construction on any site containing regulated woodlands. The permit for this site would require Planning Commission approval because there are more than three trees proposed to be impacted or have already been impacted. During Merjent’s site visit on 4/1/2025, the following trees were identified as potentially having critical root zone impacts from both the proposed pool installation and structures/debris within the conservation easement:

- 17” DBH red maple (*Acer rubrum*)
- 17” DBH American basswood (*Tilia americana*)
- 16” DBH shagbark hickory (*Carya ovata*)
- Dual trunk 27” + 16” silver maple (*Acer saccharinum*)

Note: these trees have been included in the revised plot plan.

4. **Woodland Replacement.** Based on review of the plan, the following woodland replacements are required:

| Tree Size (DBH, inches) | Number of Trees | Ratio Replacement/Removed Tree | Total Replacements Required |
|-------------------------|-----------------|--------------------------------|-----------------------------|
| 8-11 | 0 | 1 | 0 |
| 12-20 | 3 | 2 | 6 |
| 21-29 | 0 | 3 | 0 |
| 30+ | - | - | - |
| Multi-stem | 1 | Sum of Stem DBH/8 (rounded up) | 6 |
| Total | 4 | - | 12 |

- **Important Note:** approval of this plot plan does not authorize the removal of the four trees noted in Comment 3. The four trees impacted are within a designated conservation easement and should not be removed. Critical root zone impacts may not fully kill the trees within the conservation easement and they should be left to grow freely within the conservation easement as intended. Additionally, although the critical root zones of the trees extend onto the parcel with a proposed pool, the trees are located outside of the parcel, and it is Merjent’s understanding that the land owner does not have authorization to remove trees within the conservation easement parcel (50-22-11-277-041).

5. It is Merjent’s understanding that based on verbal discussion with City of Novi Staff, the applicant intends to pay for all critical root zone impacts via payment into the City of Novi Tree Fund. This will require a payment of **\$4,800** (12 x \$400/replacement credit).

-
6. A financial guarantee, in the amount of **\$750** is required for tree protection fencing maintenance per Chapter 26.5-37. This guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 7. It should be noted that structures and debris were located south of the site parcel during the April 1, 2025 site visit. These structures were requested to be removed immediately due to being located both within a conservation easement and not being located on the subject property.

Should you have any questions, please do not hesitate to contact me at (619) 944-3835 or jason.demoss@merjent.com.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Woodlands Map
Attachment A – Conservation Easement Map
Attachment B – Site Photographs

CC:

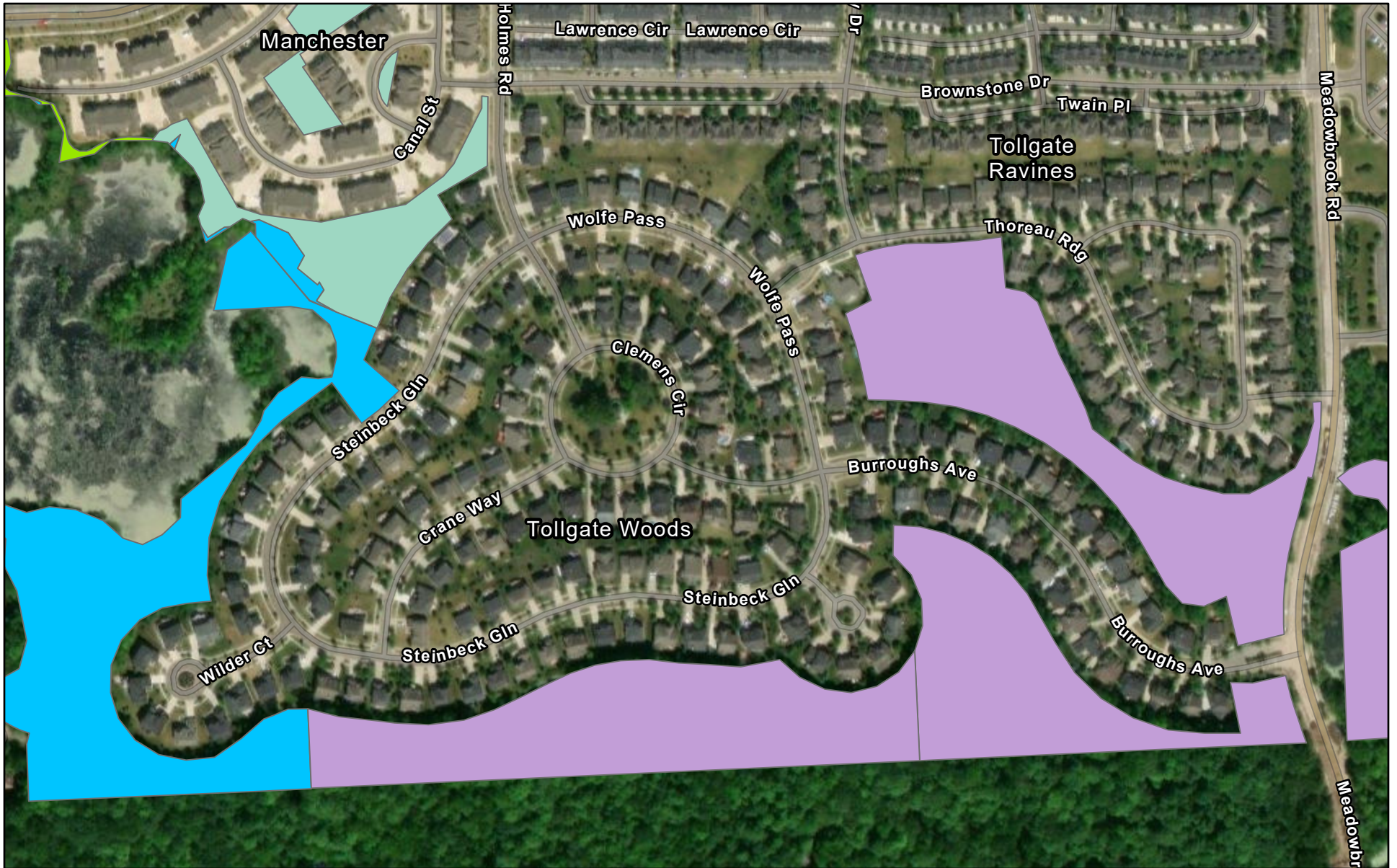
Barb McBeth, City of Novi, bmcbeth@cityofnovi.org
Rick Meader, City of Novi, rmeader@cityofnovi.org
Brian Riley, City of Novi, briley@cityofnovi.org
Angie Sosnowski, City of Novi, asosnowski@cityofnovi.org
Matt Pudlo, Merjent, matt.pudlo@merjent.com



Figure 1. City of Novi Regulated Woodlands Map
 Approximate Site boundary is shown in Red
 Regulated Woodland areas are shown in Green

Attachment A
Conservation Easement Map

Steinbeck Glen Conservation Easement



4/2/2025

Conservation Easement

Wetland

Woodland

Wetland & Woodland

Open Space Preservation

World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations

1.2m Resolution Metadata

1:5,620

0 0.04 0.07 0.14 mi

0 0.05 0.1 0.2 km

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Maxar

Attachment B
Site Visit Photos



Overview of the northeastern portion of regulated woodlands with structures placed in the forest



Overview of the western portion of regulated woodlands with structures placed in the forest



Overview of the regulated woodlands with structures placed in the forest

MEMORANDUM



TO: CITY OF NOVI PLANNING COMMISSION
FROM: DIANA SHANAHAN, PLANNER
THROUGH: LINDSAY BELL, AICP, DIRECTOR OF PLANNING
SUBJECT: 24190 TRAFALGAR COURT WOODLAND PERMIT
DATE: JUNE 1, 2026

The applicant, Brian Sears, seeks approval of a Woodland Use Permit, PBR25-0215, to remove 23 regulated woodland trees ranging in size from 8 to 29 inches diameter-at-breast-height (DBH) from a single-family residential lot located at 24190 Trafalgar Court. The site is located east of Beck Road and south of Ten Mile Road in Section 28 of the City. The applicant is requesting the removal of the 23 trees to construct a fence.

The City's Woodland Consultant reviewed the request for conformance with the City's Woodland Protection Ordinance and prepared a review letter dated May 1, 2026. Replacement calculations require 39 replacement credits. The review letter (attached) provides a detailed count and explanation of the required replacements. The proposed removals have no impact on any previously approved site plan, nor does it have any impact on any previous agreements. The proposed removals are not located within any recorded conservation or preservation easement. Please refer to the review letter for additional information.

Per Chapter 37 of the Woodland Protection Ordinance, where a proposed activity (i.e., fence construction) does not otherwise require site plan or plat approval, the granting or denying of the woodland use permit shall be the responsibility of the Planning Commission (Section 37-30.(b). The applicant shall obtain approval from the Planning Commission prior to issuance of any permits.

The Planning Commission is asked to hold the public hearing and either approve or deny the requested woodland permit.

SUGGESTED MOTION:

Approval (Applicant Requested)

To approve Woodland Use Permit, PBR25-0215, for the removal of 23 regulated woodland trees within an area mapped as City Regulated Woodland at 24190 Trafalgar Court for the purpose of constructing a fence. The approval is subject to on-site planting to the extent possible of 39 required woodland replacement credits. If necessary, any outstanding credits may be paid into the City's Tree Fund. In addition, any other conditions as listed in the Woodland Consultant's review letter shall be addressed.

MAPS

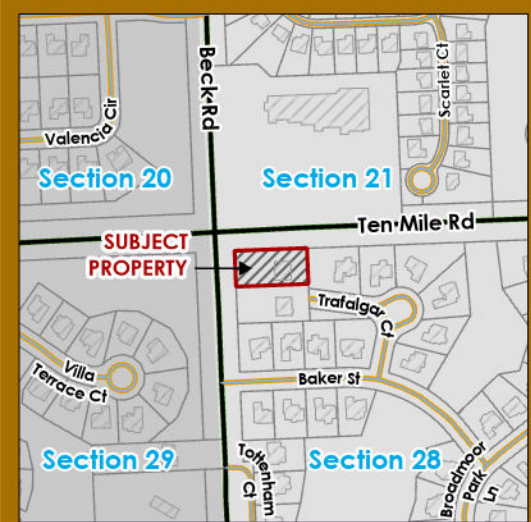
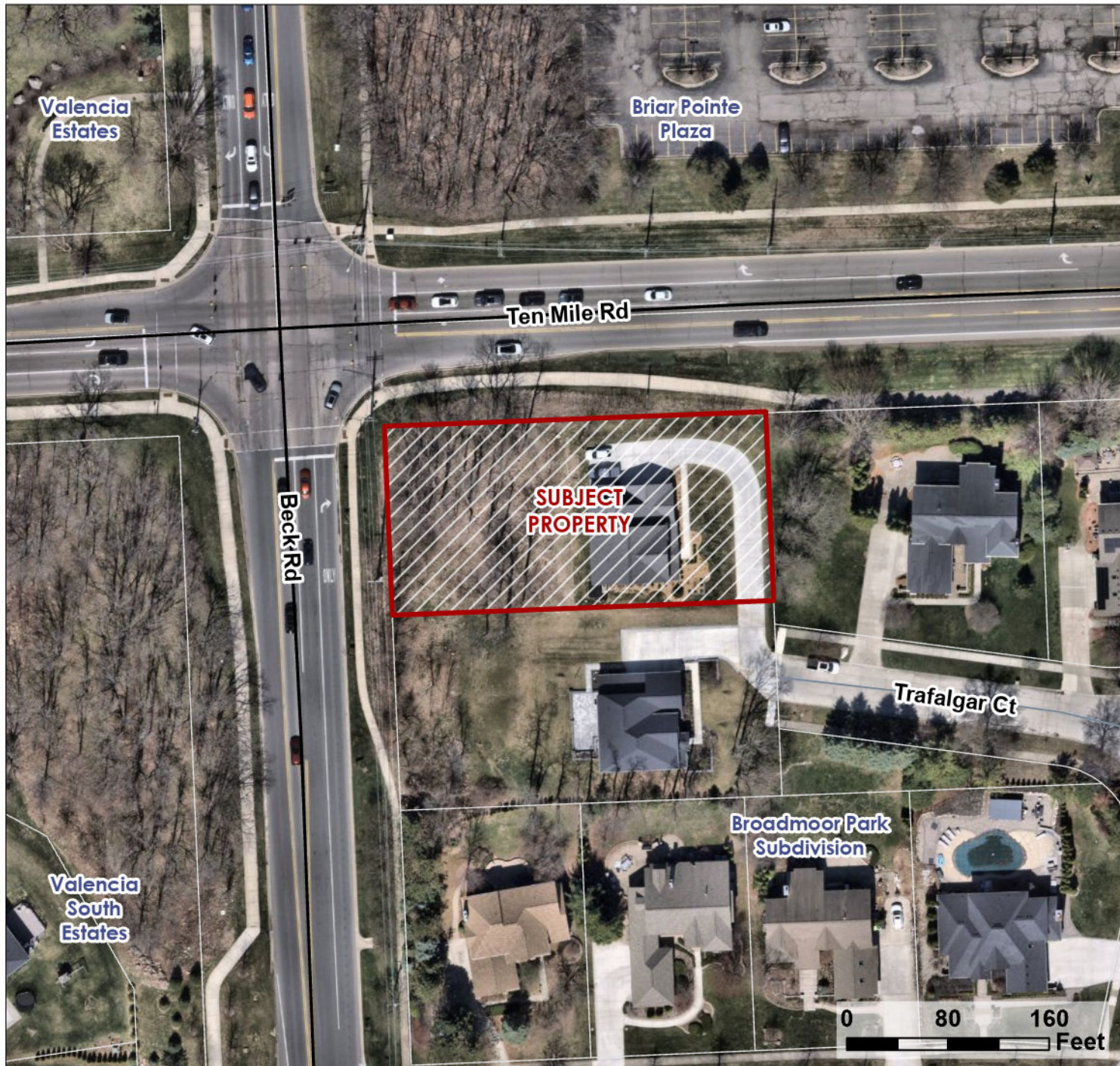
Location

Zoning

Future Land Use

Natural Features

PBR25-0215 24190 TRAFALGAR COURT LOCATION MAP



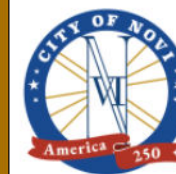
LEGEND

 Subject Property

Thoroughfare Classification

 Arterial

 Local Residential Street



Map Author: Diana Shanahan
Project: 24190 Trafalgar Ct

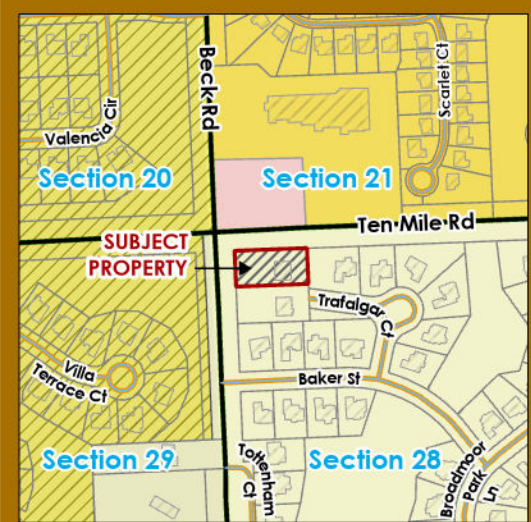
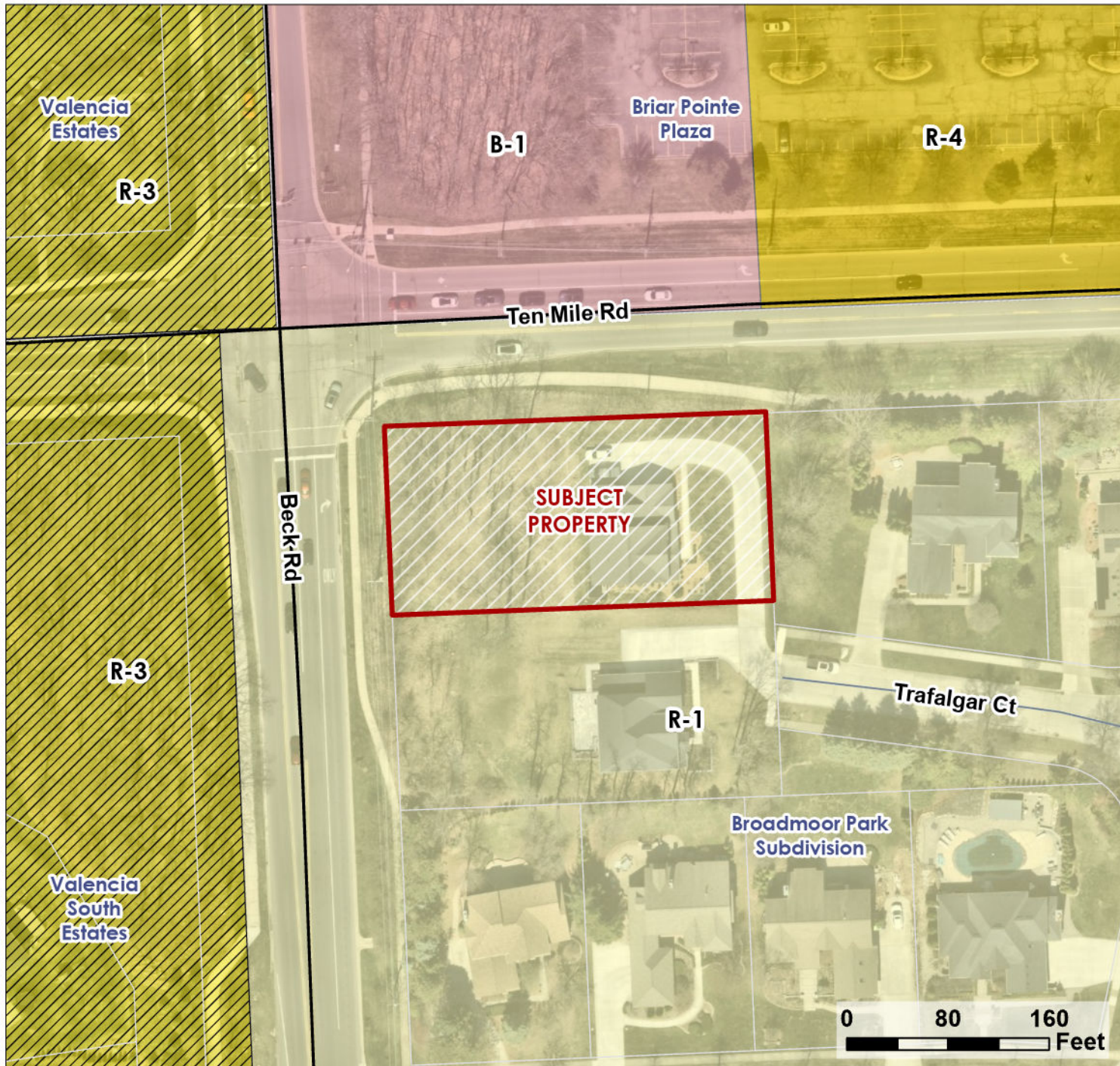
Date: 06/01/26
Version #: 1

City of Novi






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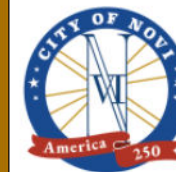


PBR25-0215 24190 TRAFALGAR COURT ZONING MAP



LEGEND

-  Subject Property
- Zoning Overlay
 -  Planned Rezoning Overlay (PRO)
- Zoning District
 -  B-1: Local Business
 -  R-1: One-Family Residential
 -  R-3: One-Family Residential
 -  R-4: One-Family Residential



Map Author: Diana Shanahan
Project: 24190 Trafalgar Ct

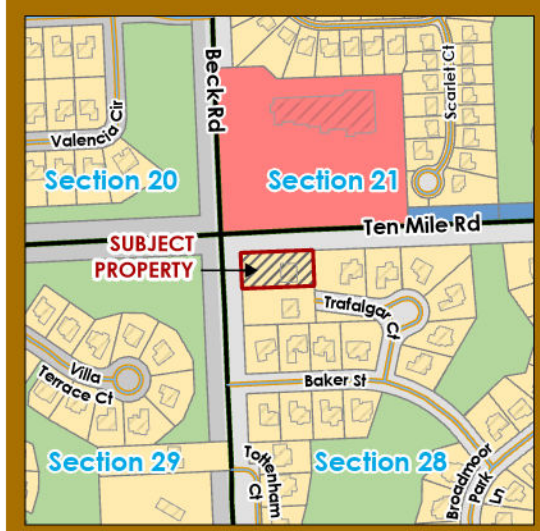
Date: 06/01/26
Version #: 1

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cityofnovi.org



PBR25-0215 24190 TRAFALGAR COURT FUTURE LAND USE MAP



LEGEND

-  Subject Property
- Future Land Use Category
 -  Single Family
 -  Private Park
 -  Public/Quasi-Public
 -  Neighborhood Commercial



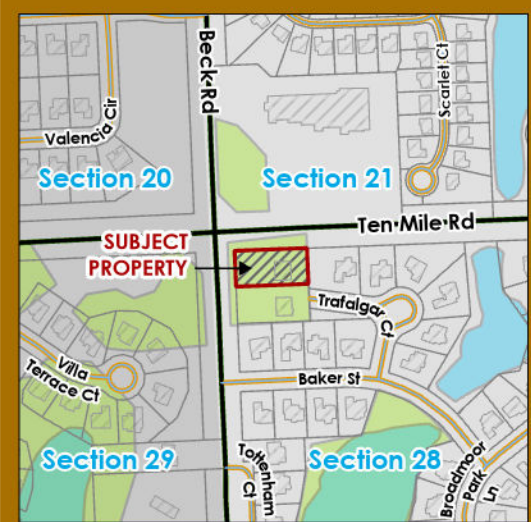
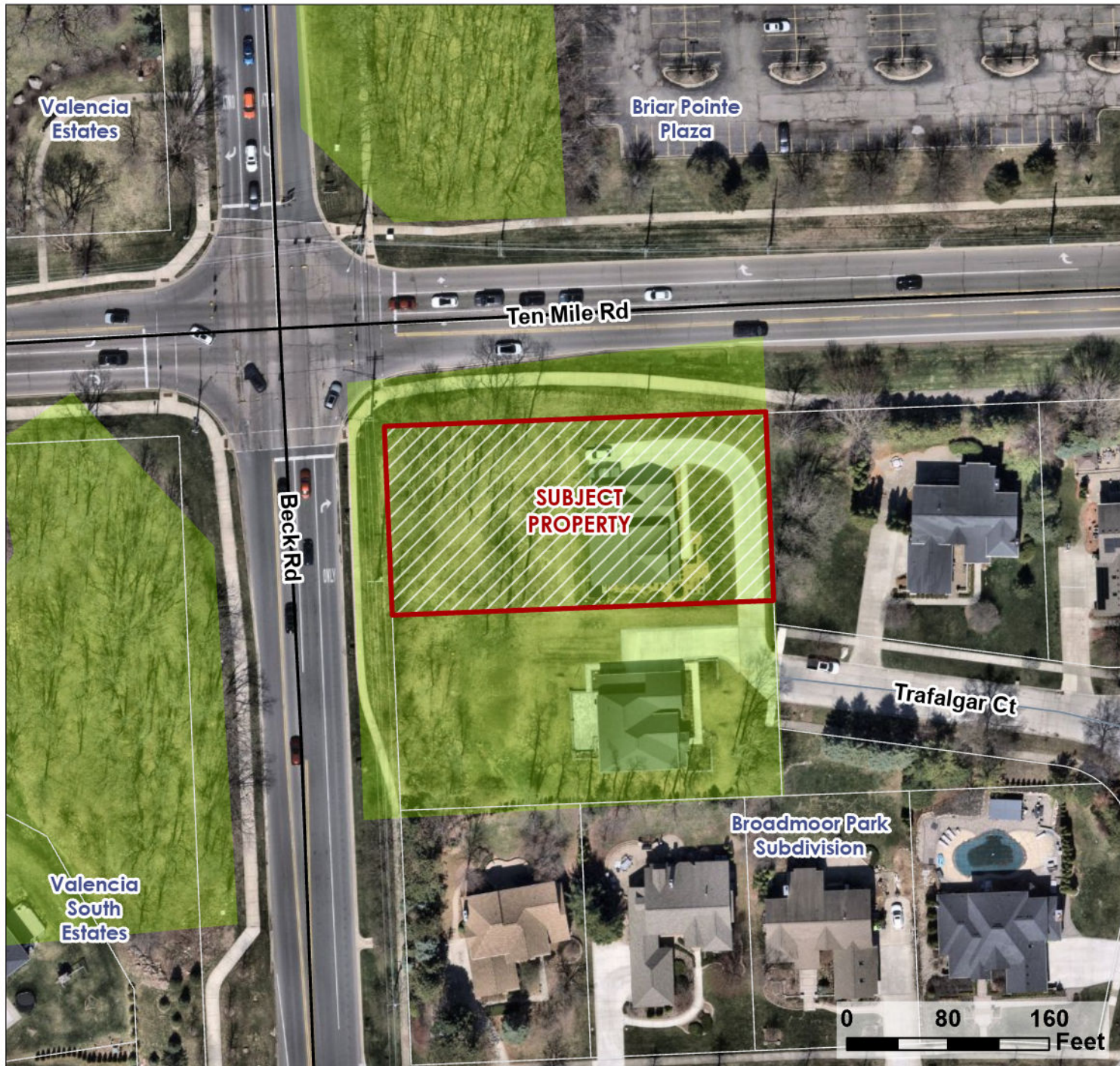
Map Author: Diana Shanahan
Project: 24190 Trafalgar Ct

Date: 06/01/26
Version #: 1

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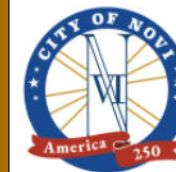


PBR25-0215 24190 TRAFALGAR COURT NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands



Map Author: Diana Shanahan
Project: 24190 Trafalgar Ct

Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



PLOT PLAN

WOODLAND REVIEW



May 1, 2026

Nina Schaffrath
Account Clerk – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to nschaffrath@cityofnovi.org

Re: 24190 Trafalgar Court – Woodland Review, first revision (PBR25-0215)

Dear Nina,

Merjent, Inc. (Merjent) has conducted a review of the revised single-family residential plot plan for 24190 Trafalgar Court (site) prepared by Todd's Services, Inc. (rev. date March 19, 2026). Merjent reviewed the plan for conformance with the City of Novi's (City) Woodland Protection Ordinance, Chapter 37. The site (parcel 50-22-28-101-024) contains City-regulated woodlands based on the City of Novi Woodland Mapper (Figure 1).

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the 24190 Trafalgar Court Residential Plot Plan. A list of comments is provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

| Woodland Regulation | Required |
|---|----------|
| Woodland Permit (Chapter 37, Section 37-26) | YES |
| Tree Replacement (Chapter 37, Section 37-8) | YES |
| Tree Protection (Fence; Chapter 37, Section 37-9) | YES |
| Woodland Conservation Easement (Chapter 37-30[e]) | YES |

Woodland Review Comments

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (**Figure 1**).
2. The plan has listed/displayed an accurate representation of trees on-site or trees adjacent to the site. Pursuant to Section 37-28(4)(c), a woodland survey plan should be provided on the plan identifying all trees eight inches in diameter at breast height (DBH) and greater by size, common name, species name, and condition.

3. A **Woodland Use Permit** is required to perform construction on any site containing regulated woodlands. The permit for this site would require Planning Commission approval because there are more than three trees proposed to be impacted or have already been impacted.
4. **Woodland Replacement.** Pursuant to Section 37-28, a summary of all proposed removals and replacements should be provided in the plan. Below is an example table of how to summarize proposed removals.

| Tree Size (DBH, inches) | Number of Trees | Ratio Replacement/Removed Tree | Total Replacements Required |
|-------------------------|-----------------|--------------------------------|-----------------------------|
| 8-11 | 11 | 1 | 11 |
| 12-20 | 8 | 2 | 16 |
| 21-29 | 4 | 3 | 12 |
| 30+ | 0 | - | 0 |
| Multi-stem | 0 | Sum of Stem DBH/8 (rounded up) | 0 |
| Total | 23 | - | 39 |

A detailed replacement plan and cost estimate for the tree replacement will be necessary prior to final approval by the City **and should be added to the plot plan**. Woodland replacement credits can be provided by:

- a. Planting the woodland tree replacement credits on-site.
- b. *Non-refundable* payment to the City of Novi Tree Fund at a rate of \$400/woodland replacement credit.
- c. Combination of on-site tree planting and payment into the City of Novi Tree Fund (\$400/woodland replacement credit).

The applicant has elected to plant 17 deciduous trees, 11 large evergreen trees, 30 small evergreen trees, 9 large shrubs, and 28 small shrubs to account for the 39 woodland replacements (95 total plantings).

5. For tree replacement credits that will be planted on-site, a financial guarantee at a rate of \$400/tree replacement credit is required to ensure the planting of the on-site woodland replacement credits. The financial guarantee will be released after trees have been planted and approved by the City of Novi. The applicant must request a tree planting inspection.
 - a. The applicant will be required to pay a financial guarantee of **\$15,600**, and will be returned to the applicant once it has been verified that all trees have been planted and are healthy.
6. If replacements are planted on-site, woodland replacements shall be guaranteed for two growing seasons after the applicant's installation and the City's acceptance. A two-year maintenance bond in the amount of 25% of the value of the trees, but in no case less than \$1,000, will be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).
 - a. The applicant will be required to pay a two-year maintenance guarantee of **\$3,900** and will be returned to the applicant after it has been confirmed that all trees are alive and healthy two-years after planting.

7. **Woodland Replacement Inspection** – The Applicant is responsible for walking the entire site to confirm that all woodland replacement trees/shrubs have been planted on site according to the approved site plan stamping set. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. The applicant should also provide an as-built landscape plan if the trees planted do not match the species and/or location shown on the approved site plan stamping set. Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at asosnowski@cityofnovi.org; 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant.

a. Woodland replacement inspection fees may range between **5-10%** of the value of the plant material, with a minimum of \$500.

8. **Woodland Guarantee Inspection** – Prior to requesting the 2-year woodland guarantee inspection, the Applicant is responsible for walking the entire site to confirm that all plant material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. Once this occurs the Applicant should contact the Bond Coordinator to schedule the 2-year guarantee inspection (Angie Sosnowski at asosnowski@cityofnovi.org / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2-year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant.

If the woodland replacements, street trees, or landscaping guarantee period is scheduled to end during the period when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in the late summer/early fall prior to the 2-year expiration to schedule an inspection.

a. Woodland guarantee inspection fees may range between **5-10%** of the value of the plant material, with a minimum of \$500.

9. The Applicant may be required to provide **preservation/conservation easements** as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.

a. Merjent understands that conservation easements are typically not required for single-family residential projects.

10. A financial guarantee, in the amount of **\$750** is required for tree protection fencing maintenance per Chapter 26.5-37. This guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit. Locations of tree protection fence should be added to the plot plan.

Should you have any questions, please do not hesitate to contact me at (619) 944-3835 or jason.demoss@merjent.com.

Sincerely,



Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Woodlands Map
Attachment A – Site Photographs

CC:

Barb McBeth, City of Novi, bmcbeth@cityofnovi.org

Rick Meader, City of Novi, rmeader@cityofnovi.org

Brian Riley, City of Novi, briley@cityofnovi.org

Angie Sosnowski, City of Novi, asosnowski@cityofnovi.org

Matt Pudlo, Merjent, matt.pudlo@merjent.com

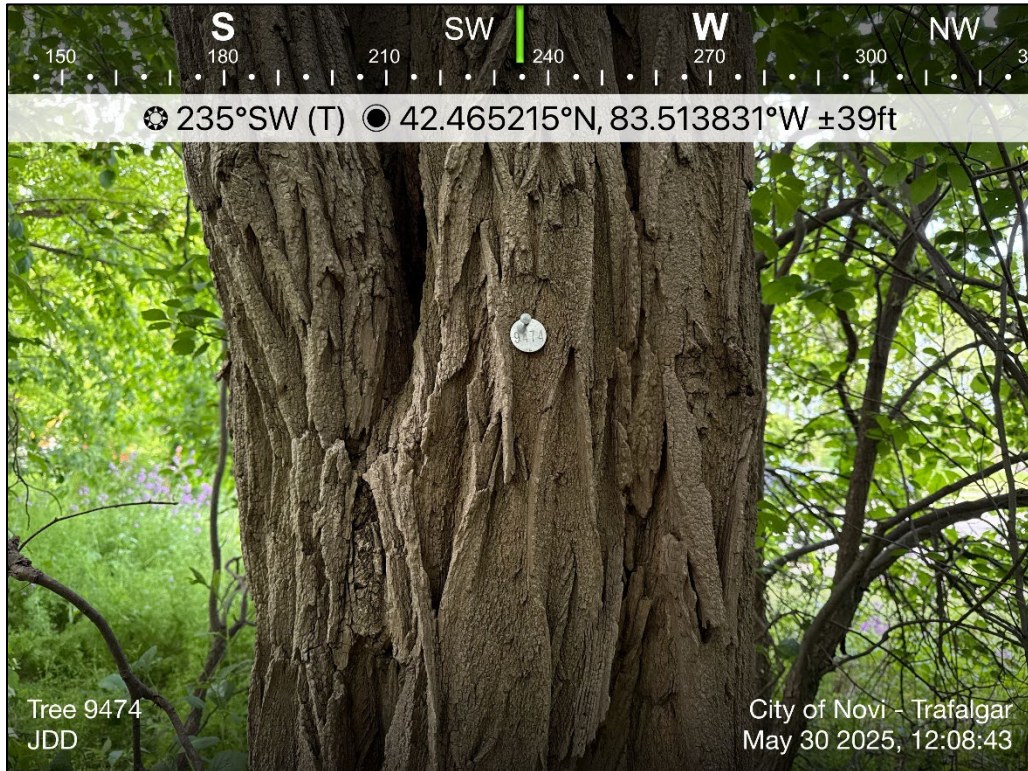


Figure 1. City of Novi Regulated Woodlands Map
 Approximate Site boundary is shown in Red
 Regulated Woodland areas are shown in Green

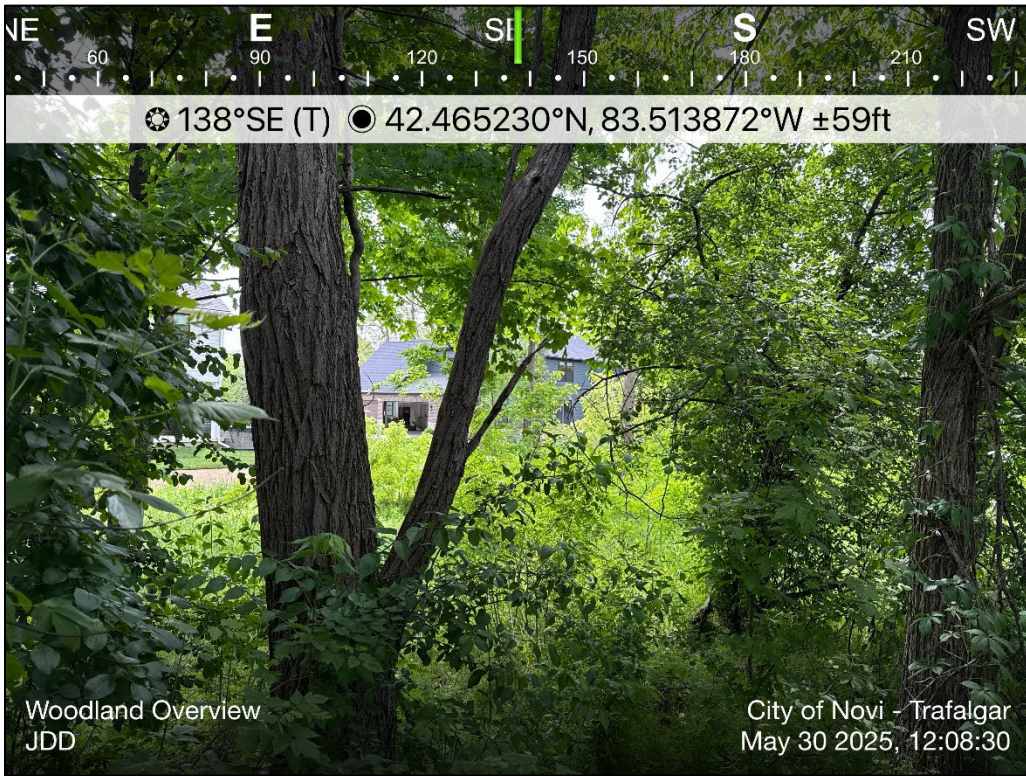
Attachment A
Site Visit Photos



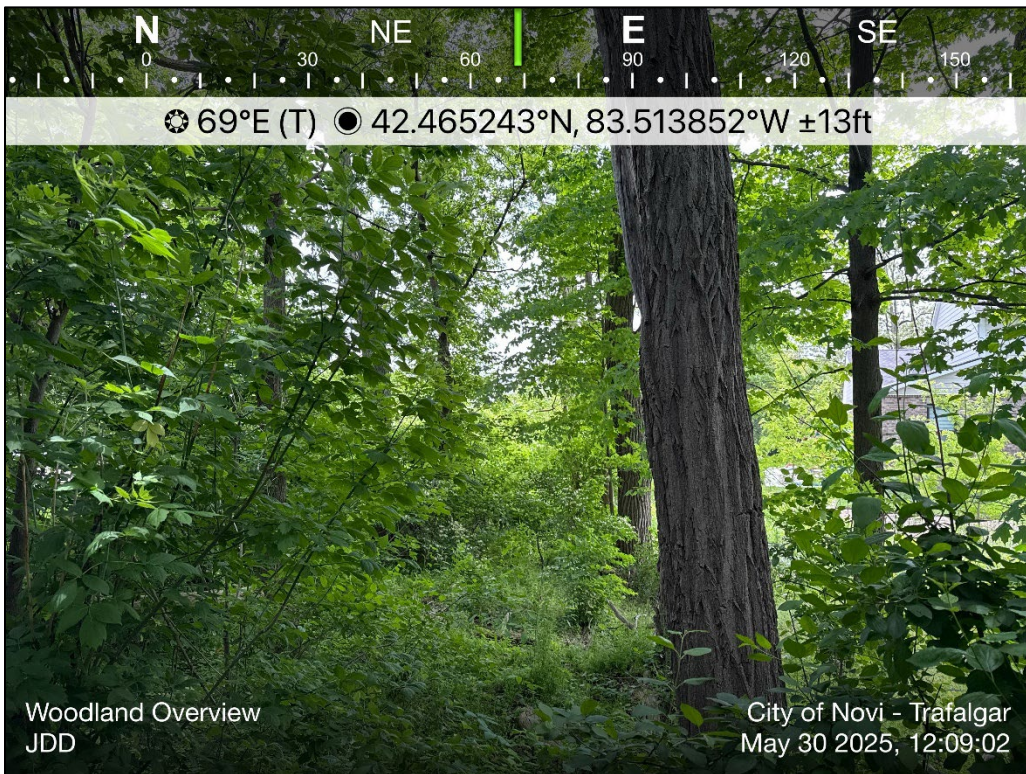
Overview of Tree 9473 with small difference in DBH Measurement with DBH tape vs. tree survey. Differences can occur between different measurement devices such as Biltmore stick vs. calipers vs. DBH tape



Typical tree tag – overview of Tree 9474



Overview of woodland on-site



Overview of woodland on-site

CORRESPONDENCE



CITY OF NOVI
RESPONSE FORM

RECEIVED

JUN 05 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

24190 TRAFALGAR COURT, PBR25-0215 FOR A WOODLAND PERMIT.

You are invited to attend the public hearing on June 10, 2026 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: schoi@cityofnovi.org

Return via mail or fax: Community Development Department
45175 Ten Mile Road, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

Information regarding the project will be available the Saturday prior to the meeting date at: <https://www.cityofnovi.org/agendas-minutes/planning-commission/2026/>.

Plans are available for viewing during the City's regular business hours, Monday thru Friday, 8:00 AM to 5:00 PM, at the Community Development Department, or by contacting lbell@cityofnovi.org.

I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Many trees were earlier removed for the construction of 2 new houses. Remaining the remaining trees will truly impact the natural resources in that area. These are regulated woodland trees so please help to retain them.

SIGNATURE: [Signature]

PRINT NAME: MADHUNAIR

ADDRESS: 47330, Baker St, Novi - 48374.

***** IN ACCORDANCE WITH MCL 125.3103:**

- NOTICE SHALL BE GIVEN TO ALL PERSONS TO WHOM REAL PROPERTY IS ASSESSED WITHIN 300 FEET OF THE SUBJECT PROPERTY.
- IF A SINGLE STRUCTURE CONTAINS MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, NOTICE MAY BE GIVEN TO THE MANAGER OR OWNER OF THE STRUCTURE, WHO SHALL BE REQUESTED TO POST THE NOTICE AT THE PRIMARY ENTRANCE TO THE STRUCTURE.



FORMA BEAUTY SALON PARKING EXPANSION JSP26-14

FORMA BEAUTY SALON PARKING EXPANSION JSP26-14

Consideration at the request of Forma Beauty Salon for approval of the Preliminary Site Plan. The subject property is located at 26179 Novi Road, north of Grand River Avenue (Section 15). The applicant proposes site improvements including the addition of 10 parking spaces and a new dumpster enclosure.

Required Action

Approval or denial of the Preliminary Site Plan.

| REVIEW | RESULT | DATE | COMMENTS |
|-------------|--------------------------|----------|--|
| Planning | Approval Recommended | 05/20/26 | <ul style="list-style-type: none"> • Zoning Board of Appeals (ZBA) variance required under Section 3.1.25.D for deficiency in parking setback in the north side yard and west rear yard • Zoning Board of Appeals (ZBA) variance required under Section 4.19.2.F for the location of the dumpster enclosure in the parking lot setback • Items to be addressed at Final Site Plan submittal |
| Engineering | Approval Recommended | 05/15/26 | <ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal |
| Landscape | Approval Not Recommended | 05/13/26 | <ul style="list-style-type: none"> • Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees (supported by staff) • Landscape waiver under Section 5.5.3.C.iv.b for deficiency in perimeter parking lot landscape area along west side (supported by staff) • Items to be addressed at Final Site Plan submittal |
| Wetland | Approval Recommended | 02/27/26 | <ul style="list-style-type: none"> • Wetland Buffer Authorization required • Items to be addressed at Final Site Plan submittal |
| Traffic | Approval Recommended | 02/27/26 | <ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal |
| Fire | Approval Recommended | 03/03/26 | <ul style="list-style-type: none"> • Meets Fire Department standards |

MOTION SHEET:

Approval – Preliminary Site Plan

In the matter of Forma Beauty Salon Parking Expansion JSP26-14, motion to **approve** the Preliminary Site Plan based on and subject to the following:

1. The Zoning Board of Appeals granting the following variances:
 - i. Section 3.1.25.D for deficiency in parking setback in the north side yard (20 feet required, 3 feet proposed) and rear yard (10 feet required, 3 feet proposed).
 - ii. Section 4.19.2.F.iv for the location of the dumpster enclosure in the parking lot setback (10 feet setback required, 0 feet proposed).
2. A Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees (17 trees required, 15 trees provided) due to spatial limitations of the site which limit the ability to comply, which is hereby granted;
3. A Landscape waiver under Section 5.5.3.C.iv.b for deficiency in perimeter parking lot landscape area along north property line (10 feet required, 0 feet provided) due to spatial limitations of the site which limit the ability to comply, which is hereby granted;
4. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
5. *(additional conditions here, if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan

In the matter of Forma Beauty Salon Parking Expansion JSP26-14, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

MAPS

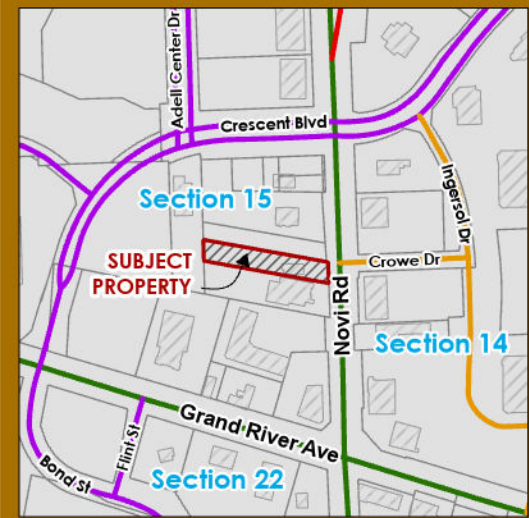
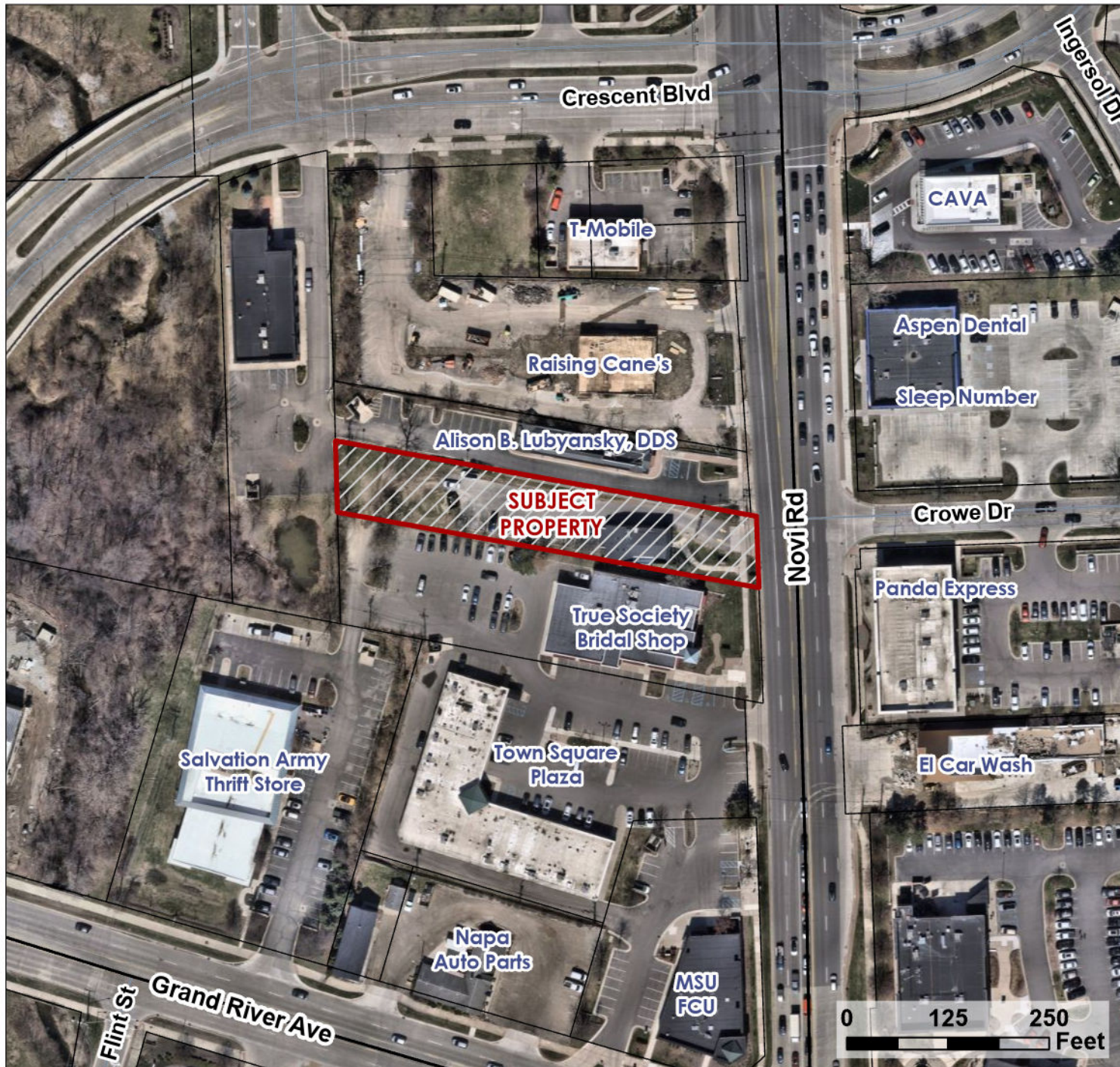
Location

Zoning

Future Land Use

Natural Features

FORMA BEAUTY SALON PARKING EXPANSION LOCATION MAP



LEGEND

 Subject Property

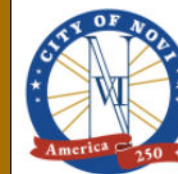
Thoroughfare Classification

 Arterial

 Non-Residential Collector

 Local Road

 Freeway

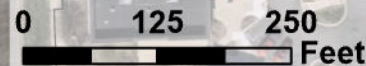


Map Author: Diana Shanahan
Project: 26179 Novi Road

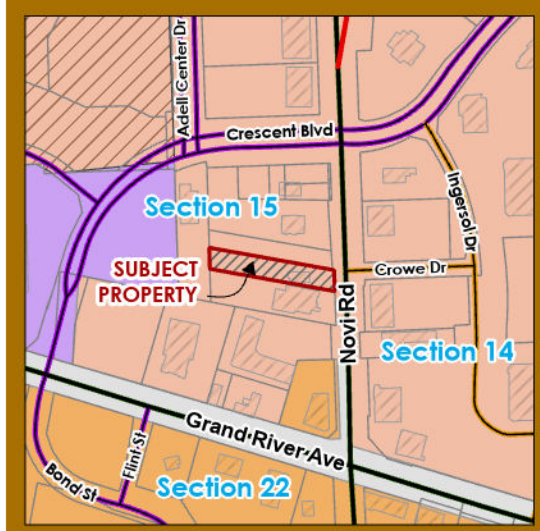
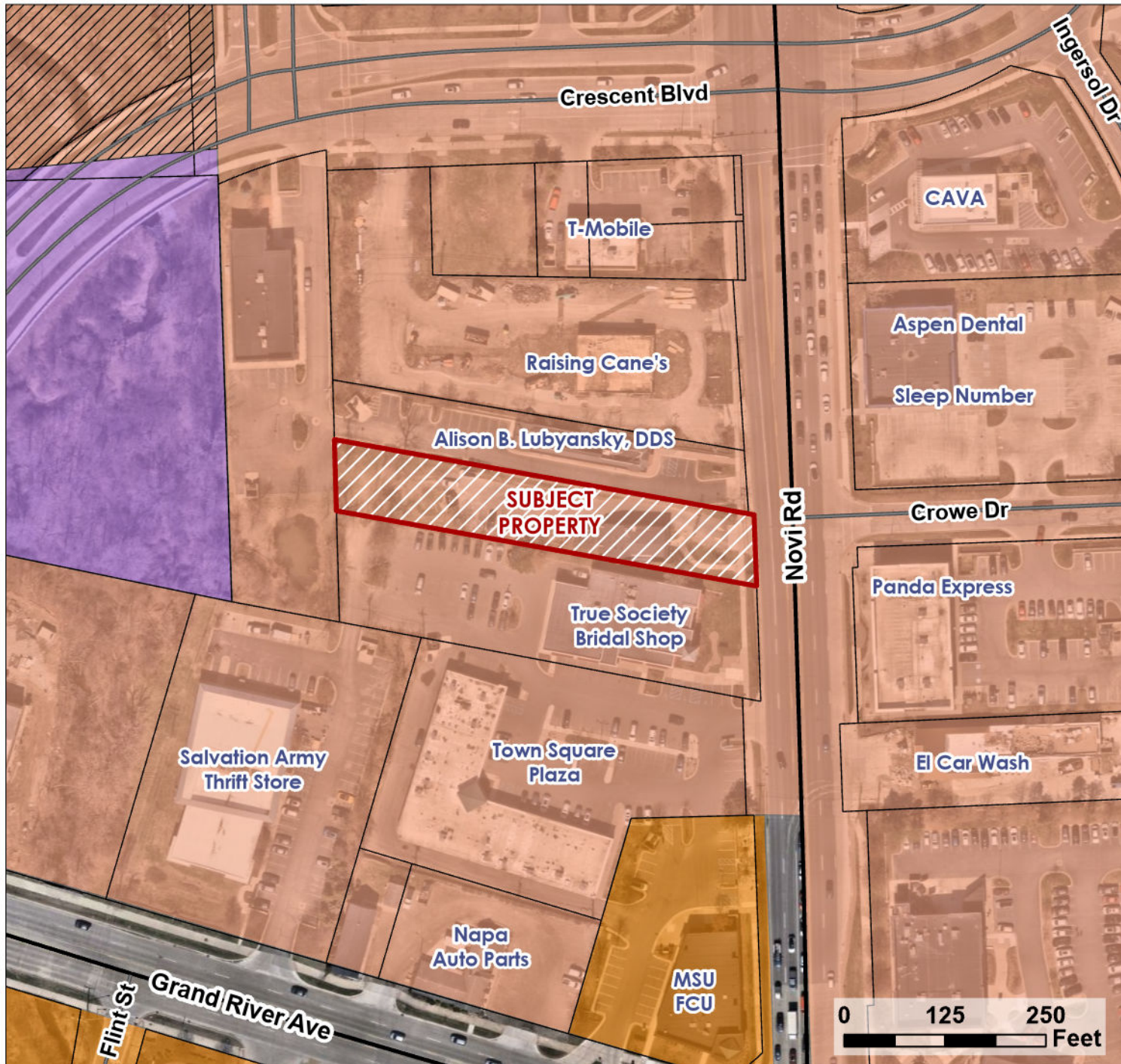
Date: 06/01/26
Version #: 1

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FORMA BEAUTY SALON PARKING EXPANSION ZONING MAP



LEGEND

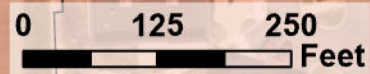
-  Subject Property
- Zoning District
 -  I-1: Light Industrial
 -  TC: Town Center
 -  TC-1: Town Center-1
- Zoning Overlay
 -  Planned Rezoning Overlay (PRO)



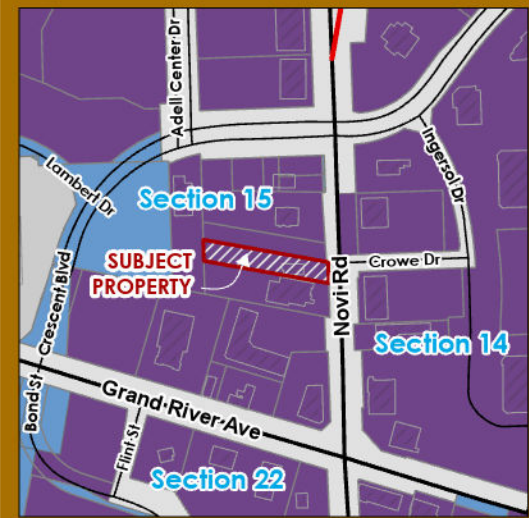
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Project: 26179 Novi Road

Date: 06/01/26
Version #: 1

City of Novi
Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



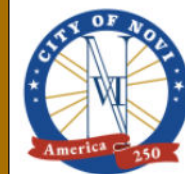
FORMA BEAUTY SALON PARKING EXPANSION FUTURE LAND USE MAP



LEGEND

Future Land Use Category

- Public/Quasi-Public
- Town Center Mixed-Use
- Industrial/Office

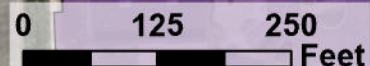


Map Author: Diana Shanahan
Project: 26179 Novi Road

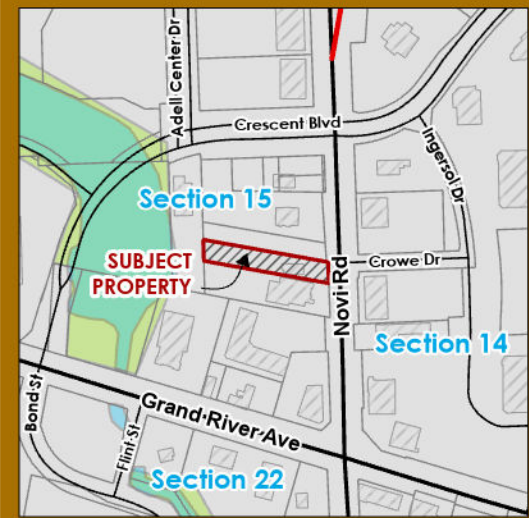
Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



FORMA BEAUTY SALON PARKING EXPANSION NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands

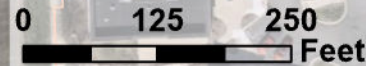


Map Author: Diana Shanahan
Project: 26179 Novi Road

Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



SITE PLAN

**FORMÀ BEAUTY SALON
CITY OF NOVI,
OAKLAND COUNTY, MI
SITE PLAN
PREPARED FOR
FORMÀ BEAUTY SALON**

OWNER

Formà Beauty Salon
Phone: (734) 620-7295
Email: jakupislami@gmail.com

Contact: Mr. Jakup Islami

CIVIL ENGINEER

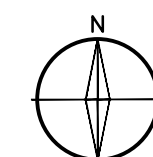
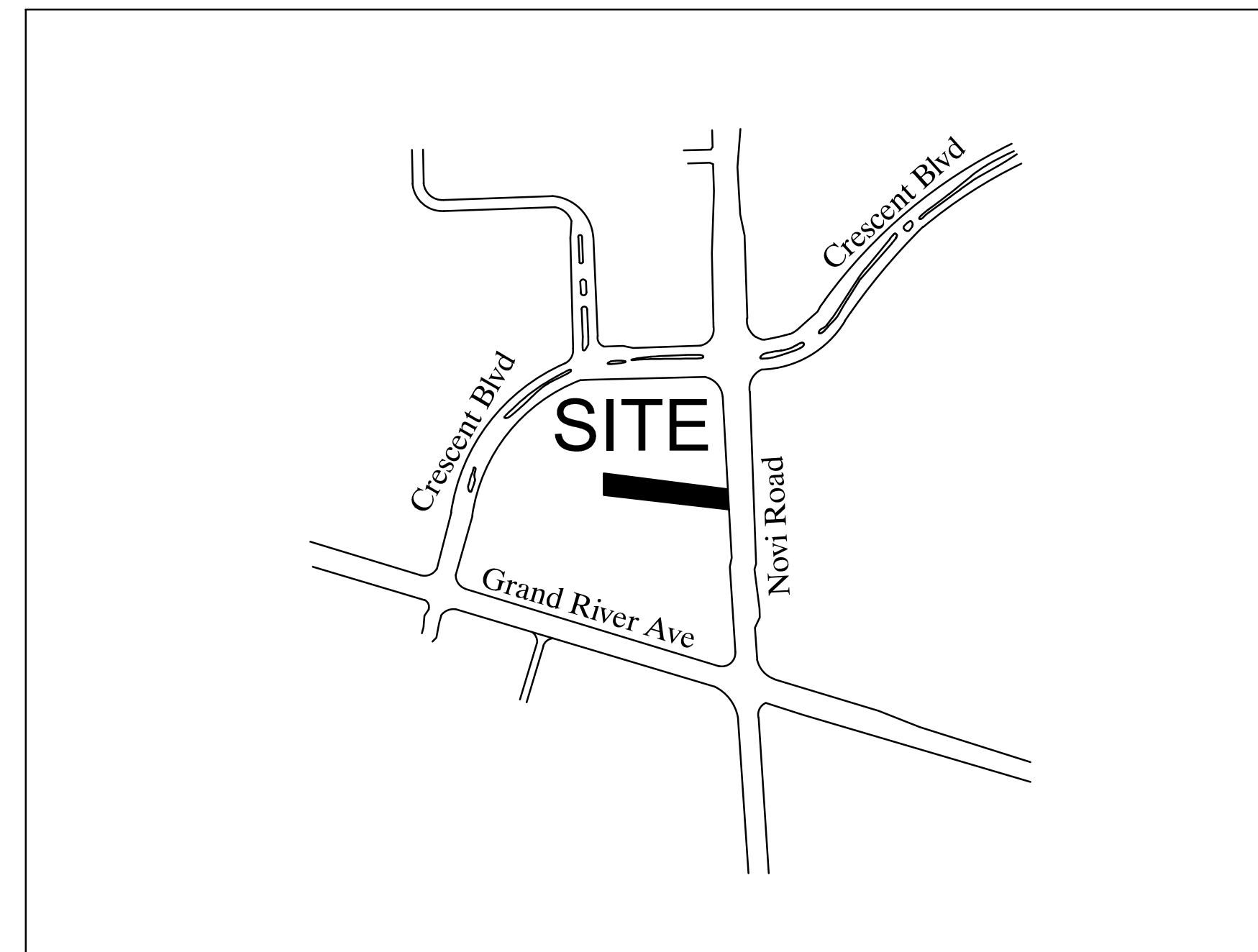
Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
Phone (248) 682-6001
Email: alex@ormanengineering.com

Contact: Mr. Alexander Orman, P.E.

LANDSCAPE ARCHITECT

TKP Ecological
Rochester Hills MI
Phone: (313) 815-8191
Email: tpardington @tkpeco.com

Contact: Theresa Pardington



Location Map
N.T.S.

SHEET INDEX

| NO. | SHEET NAME | |
|-----|------------|--------------------------------------|
| 1. | SP-1 | COVER PAGE |
| 2. | SP-2 | SITE PLAN / DEMOLITION PLAN |
| 3. | SP-3 | SOIL EROSION & SEDIMENTATION CONTROL |
| 4. | I OF 1 | TOPOGRAPHIC AND BOUNDARY SURVEY |
| 5. | LS-1 | LANDSCAPING PLAN |
| 6. | LS-2 | LANDSCAPING PLAN |
| 7. | 26-57146 | PHOTOMETRIC PLAN |

ISSUANCE DATE:

| DATE | REVISION OR SUBMITTAL |
|------------|------------------------------------|
| 03/18/2026 | CITY OF NOVI SUBMITTAL |
| 04/15/2026 | REVISED PER PRE-APPLICATION REVIEW |

LEGAL DESCRIPTION

LOT 4 OF "SUPERVISOR'S PLAT NO. 4" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SECTION 15, T 1 N., R. 8 E. CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN L. 54A, P. 83 O.C.R.



Civil Engineers • Land Planning
Land Surveying

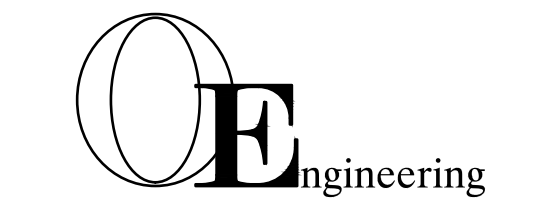
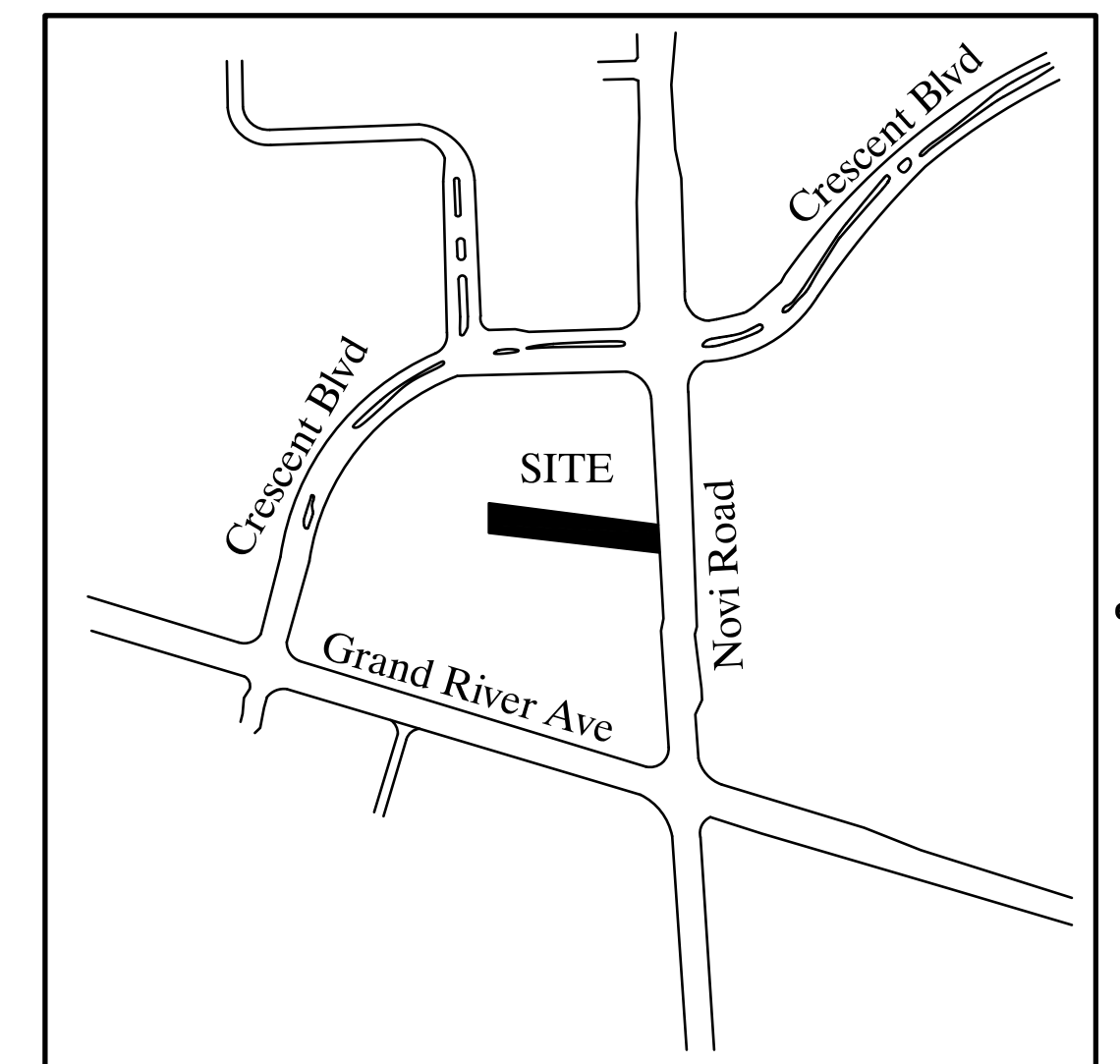
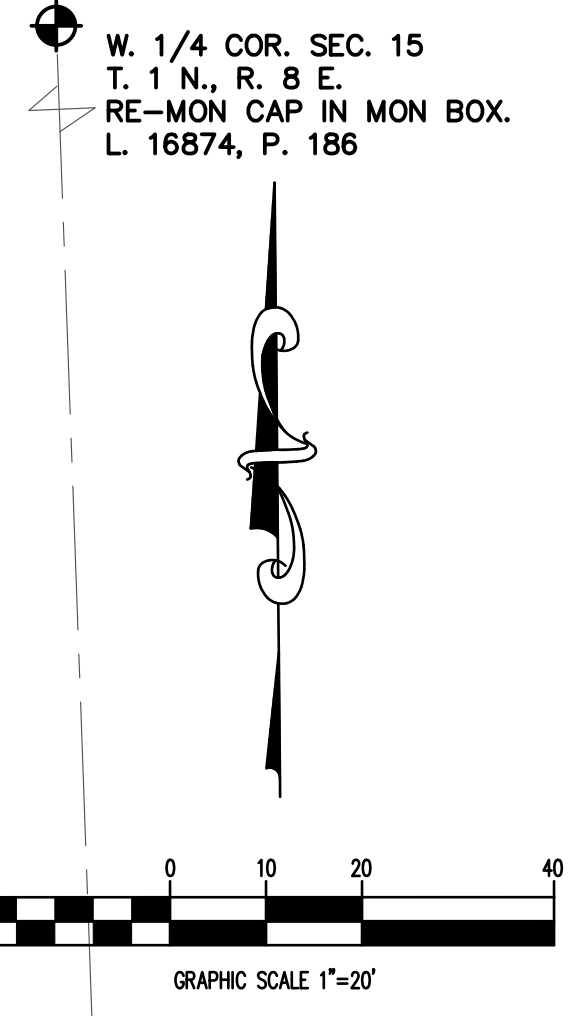
Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
phone: 248.682.6001
email: alex@ormanengineering.com

NOTES:
 1- REFERENCE TO THE CITY OF NOVI PAVING STANDARD DETAILS.
 2- SEE SHEET LS-1 FOR LANDSCAPE DETAILS
 2- SEE SHEET V-1 FOR PHOTOMETRIC PLAN AND DETAILS

BENCH MARKS
 BM#1: CITY OF NOVI BENCHMARK 1542
 7" ON NORTH RIM OF SANITARY MANHOLE LOCATED 25 FEET WEST OF BACK OF CURB AND 45 FEET SOUTH OF DRIVE #26179 NOVI ROAD.
 ELEVATION = 915.10
 BM#2: SITE BENCH MARK
 NAIL IN UTILITY POLE NEAR NORTHEAST CORNER OF PROPERTY.
 ELEVATION = 919.46

ZBA REQUIREMENT
 A ZBA VARIANCE WILL BE REQUIRED FOR DUMPSTER LOCATION IN SETBACK.

NOTES
 - NO WETLANDS EXIST ON SITE
 - NO LOADING/ UNLOADING REQUIRED DUE TO NATURE OF THE BUSINESS
 - NO BICYCLE PARKING REQUIRED DUE TO NATURE OF THE BUSINESS
 - ELECTRICAL SERVICES TO LIGHT FIXTURES MUST BE UNDERGROUND
 - NO FLASHING LIGHTS PERMITTED
 - STANDARD PARKING SPACES SHALL BE STRIPED WITH WHITE STRIPES.
 - ACCESSIBLE PARKING SPACES AND ASSOCIATED AISLE SHALL BE STRIPED WITH BLUE STRIPES.
 - WHERE A STANDARD PARKING SPACE IS ADJACENT TO AN ACCESSIBLE SPACE, ABUTTING BLUE AND WHITE STRIPES SHALL BE INSTALLED.
 - STORM WATER IS CURRENTLY DISCHARGES TO AN OFF-SITE DETENTION BASIN.
 - THE ADDITIONAL PAVEMENT AND STORM WATER RUNOFF TO THE POND WILL NOT CREATE ANY UNDUE BURDEN ON THE PROPERTY TO THE SOUTH.

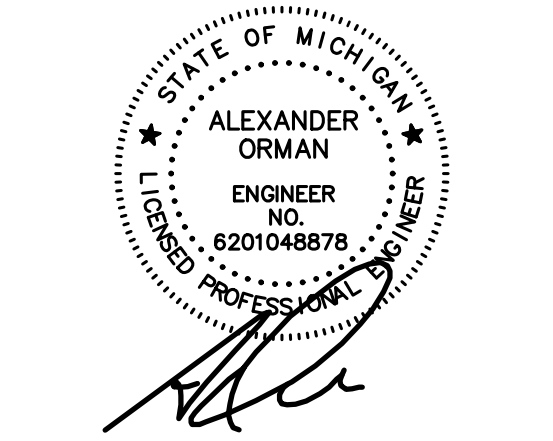


Orman Engineering, LLC
 5476 Vivian Lane
 Waterford, MI 48327
 phone: 248.682.6001
 email: alex@ormanengineering.com

PROJECT
 FORMÀ BEAUTY SALON

CLIENT
 Formà Beauty Salon
 Contact: Mr. Jakup Islami
 Phone: (734) 620-7295
 Email: jakupislami@gmail.com

SEAL



SHEET
 SITE PLAN /
 DEMOLITION PLAN

PROJECT LOCATION
 26179 NOVI ROAD
 CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN, MI 48375

miss dig



REVISIONS

04/15/26 REVISED PER PRE-APPLICATION REVIEW

Date Description

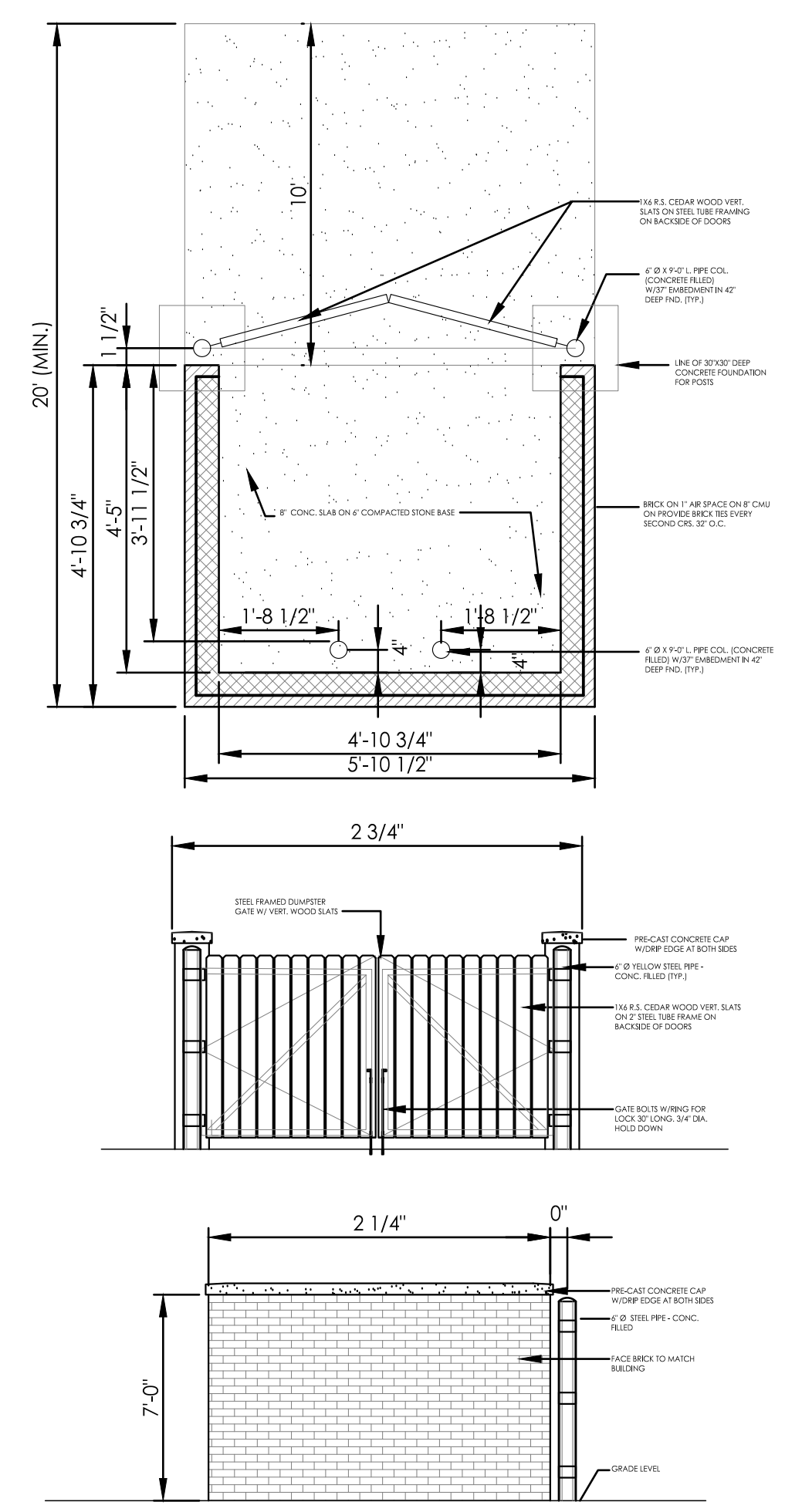
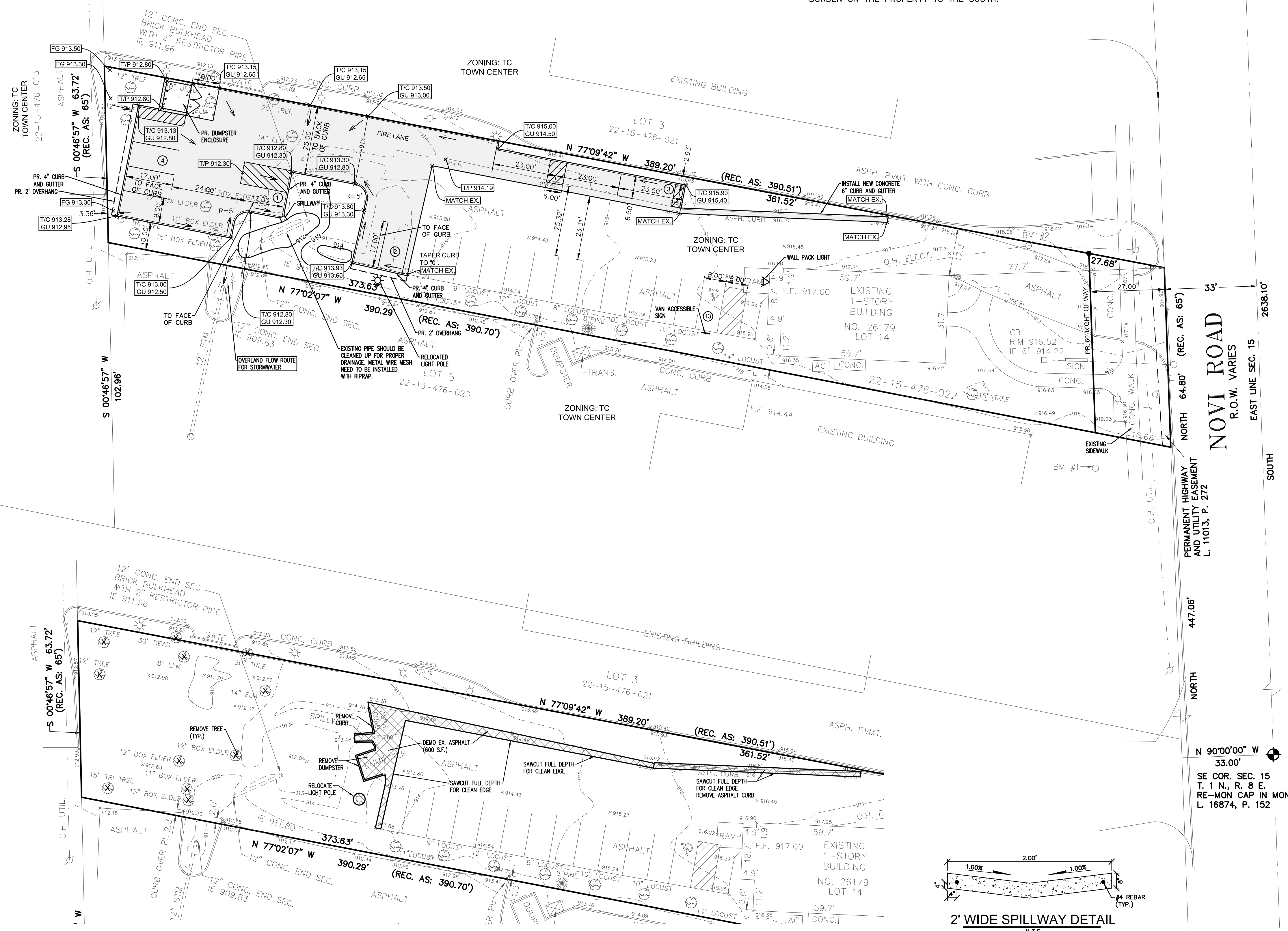
DESIGNED BY: J.N. DRAWN BY:

A.O. J.N.

APPROVED BY: DATE: A.O. 03-18-2026

SCALE: 1" = 20'

JOB NO.: SHEET: 1524 SP-2



Dumpster Enclosure Plan

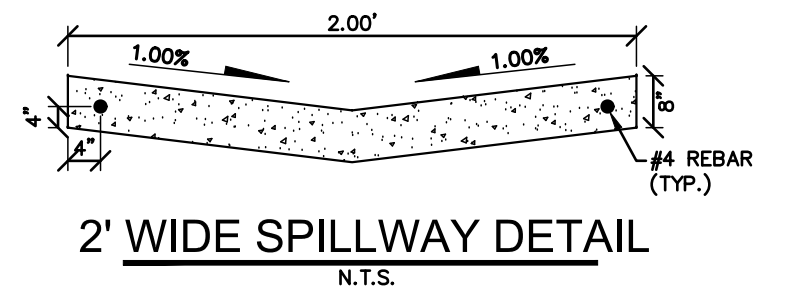
ESTIMATED QUANTITIES
PAVEMENT

| DESCRIPTION | QUANTITY | UNIT |
|-------------|----------|------|
| 4\"/> | | |

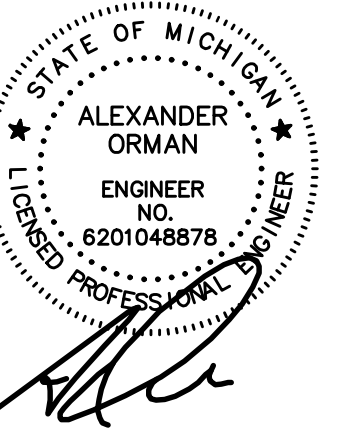
SITE DATA

EXISTING SITE ZONING: TC TOWN CENTER
 PARCEL AREA: 23,449 SQUARE FEET OR 0.538 ACRES
 SETBACKS: FRONT - 15'
 SIDE - 10'
 REAR - 10'

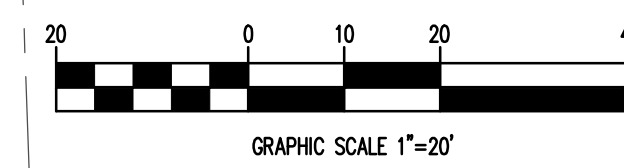
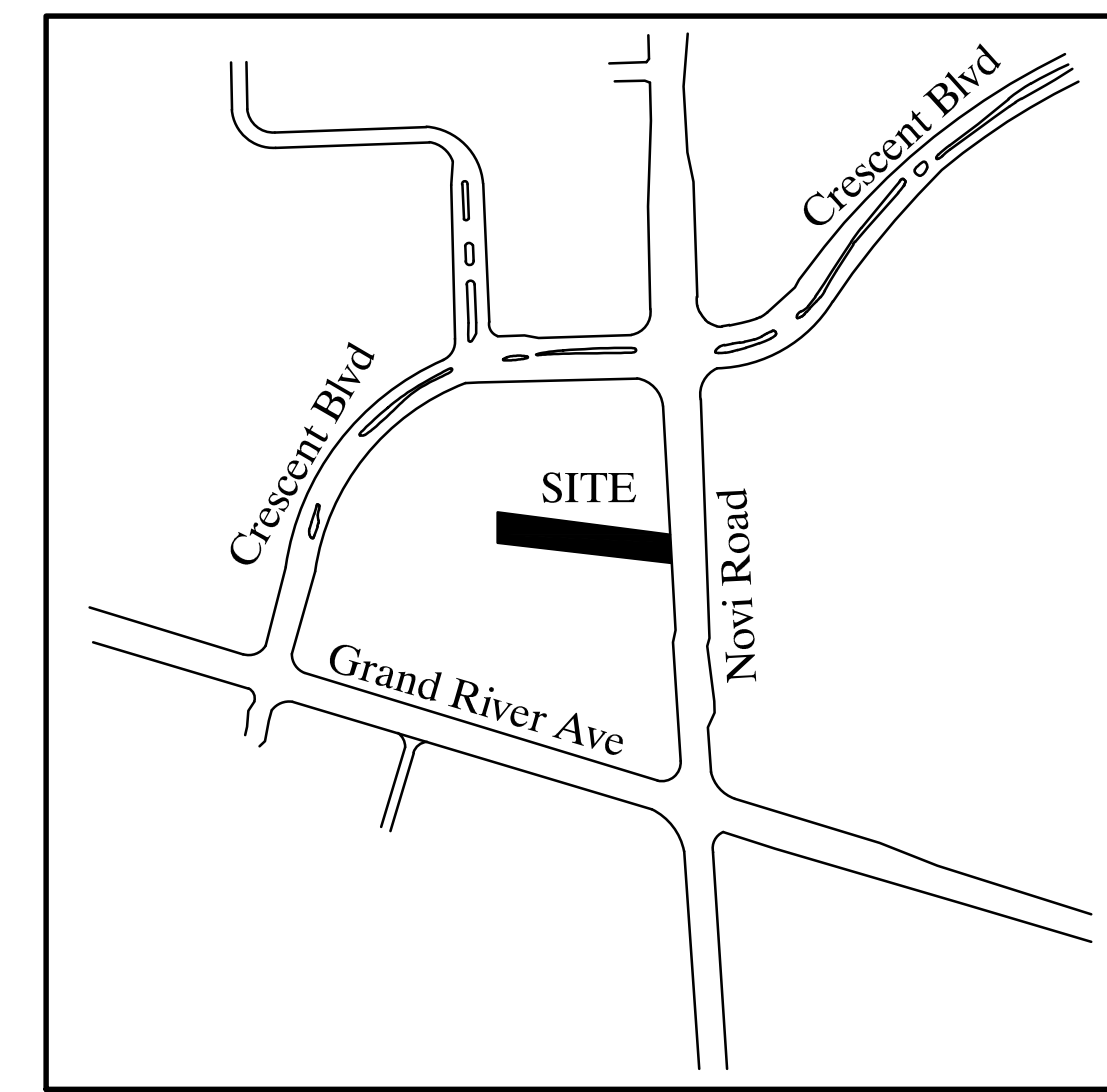
PARKING REQUIREMENTS:
 REQUIRED PARKING: 1 SPACE PER STATION
 PROVIDED: 13 STATIONS, 23 SPACES
 INCLUDING 1 ACCESSIBLE SPACES



DEMOLITION PLAN

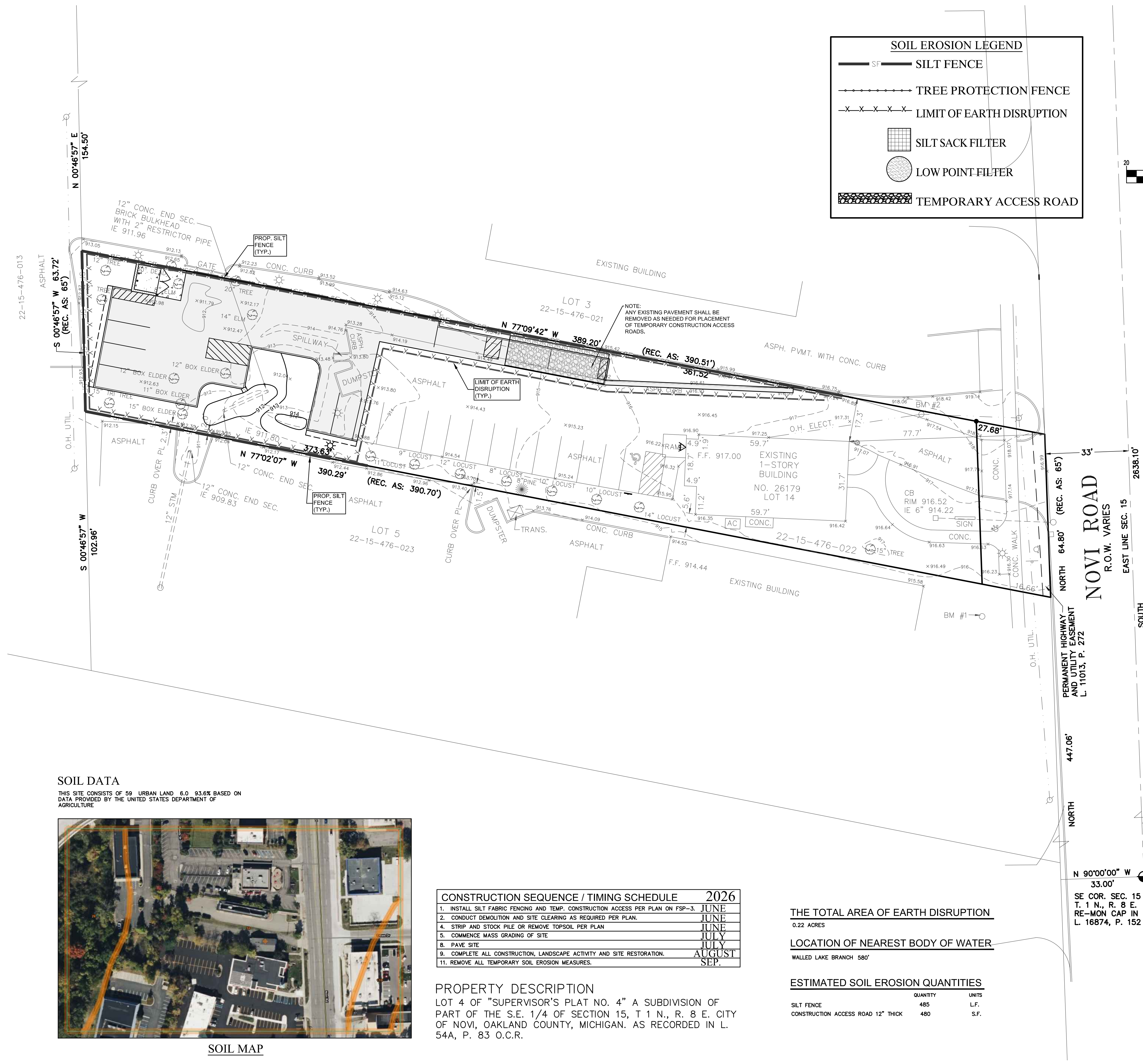


| Date | Description |
|------|-------------|
| | |
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| | |
| | |
| | |
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| | |



SOIL EROSION LEGEND

| | |
|--|---------------------------|
| | SILT FENCE |
| | TREE PROTECTION FENCE |
| | LIMIT OF EARTH DISRUPTION |
| | SILT SACK FILTER |
| | LOW POINT FILTER |
| | TEMPORARY ACCESS ROAD |



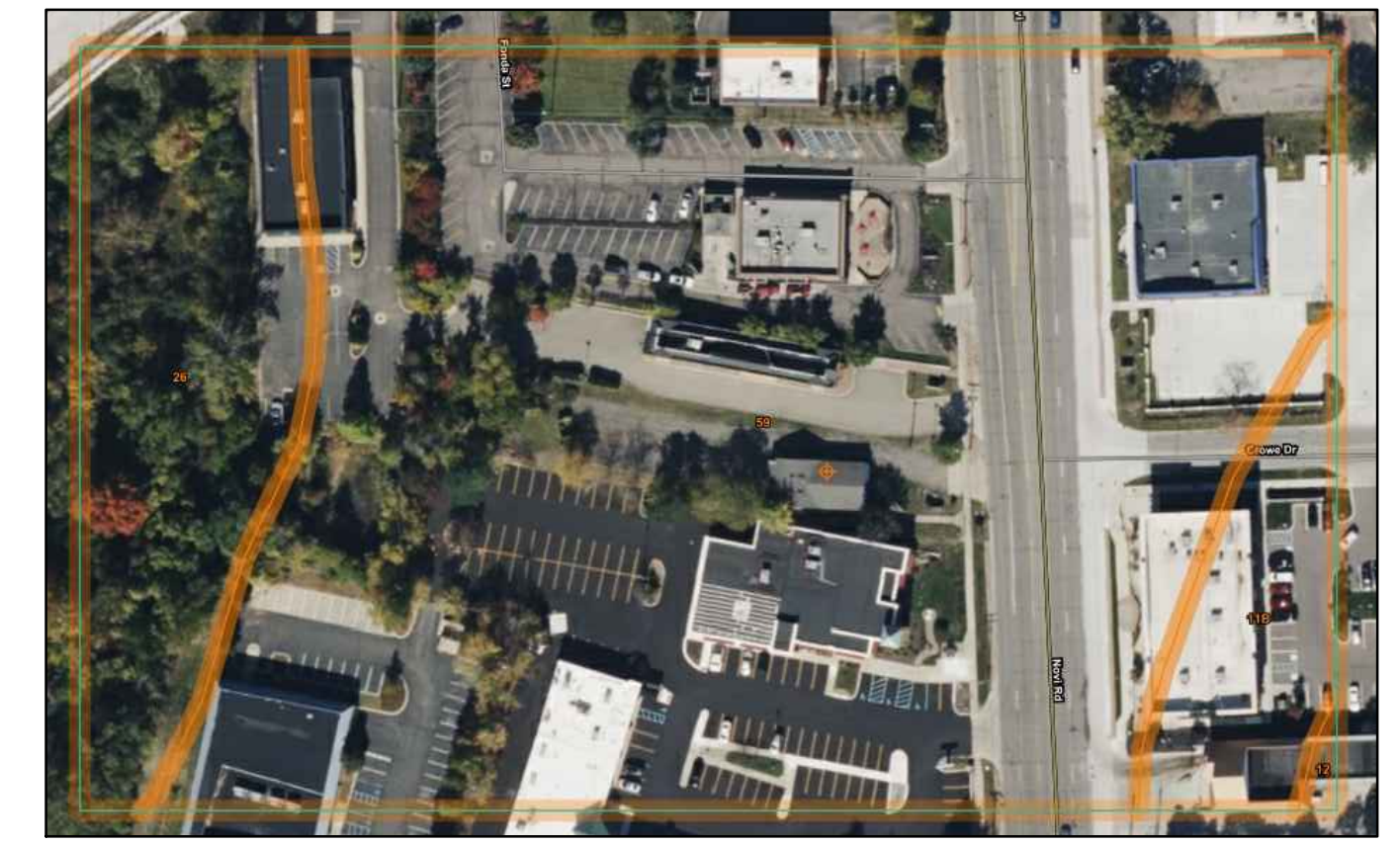
- NOTES:
- INSTALLATION OF SILT FENCING OR TREE PROTECTION SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING.
 - IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
 - REFER TO SITE PLAN SHEET # SP-2
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE THE INSTALLATION OF PUBLIC UTILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING AND DUST CONTROL.
 - VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.

SOIL EROSION CONTROL NOTES

- INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS.
- INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS.
- STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.
- COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT.
- SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.
- REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.
- REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.

- STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
- REMOVE ALL TEMPORARY SESC MEASURES ONCE SITE IS STABILIZED.

SOIL DATA
THIS SITE CONSISTS OF 59 URBAN LAND 6.0 93.6% BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE



SOIL MAP

CONSTRUCTION SEQUENCE / TIMING SCHEDULE 2026

| | |
|---|--------|
| 1. INSTALL SILT FABRIC FENCING AND TEMP. CONSTRUCTION ACCESS PER PLAN ON FSP-3. | JUNE |
| 2. CONDUCT DEMOLITION AND SITE CLEARING AS REQUIRED PER PLAN. | JUNE |
| 4. STRIP AND STOCK PILE OR REMOVE TOPSOIL PER PLAN | JUNE |
| 5. COMMENCE MASS GRADING OF SITE | JULY |
| 8. PAVE SITE | JULY |
| 9. COMPLETE ALL CONSTRUCTION, LANDSCAPE ACTIVITY AND SITE RESTORATION. | AUGUST |
| 11. REMOVE ALL TEMPORARY SOIL EROSION MEASURES. | SEP. |

PROPERTY DESCRIPTION
LOT 4 OF "SUPERVISOR'S PLAT NO. 4" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SECTION 15, T 1 N., R. 8 E. CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN L. 54A, P. 83 O.C.R.

THE TOTAL AREA OF EARTH DISRUPTION
0.22 ACRES

LOCATION OF NEAREST BODY OF WATER
WALLED LAKE BRANCH 580'

ESTIMATED SOIL EROSION QUANTITIES

| | QUANTITY | UNITS |
|------------------------------------|----------|-------|
| SILT FENCE | 485 | L.F. |
| CONSTRUCTION ACCESS ROAD 12" THICK | 480 | S.F. |

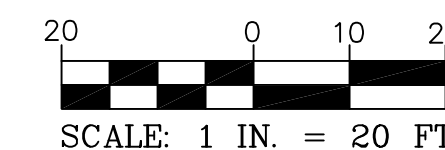
PREPARED FOR
ENE PROPERTIES INC.
 18807 VANDERHAVEN LN.
 LIVONIA, MI 48152

ARPEE/DONNAN, INC.
 LAND SURVEYING • ENGINEERING • MAPPING
 32233 SCHOOLCRAFT RD., SUITE 103
 LIVONIA, MICHIGAN 48150
 PHONE (734) 953-3335 FAX (734) 953-3324

TOPOGRAPHIC & BOUNDARY SURVEY
 22-15-476-022
 26179 NOVI ROAD, CITY OF NOVI,
 OAKLAND COUNTY, MICHIGAN

DATE 03/08/23
 DRAFTED BY WRD
 CHECKED BY WGD
 F.B. 291
 FILE:
 JOB #
23006

W. 1/4 COR. SEC. 15
 T. 1 N., R. 8 E.
 RE-MON CAP IN MON BOX.
 L. 16874, P. 186



PROPERTY DESCRIPTION

LOT 4 OF "SUPERVISOR'S PLAT NO. 4" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SECTION 15, T 1 N., R. 8 E. CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN L. 54A, P. 83 O.C.R.

NOTE:
 TITLE WORK WAS NOT PROVIDED, THEREFORE THERE MAY BE EASEMENTS AND/OR ENCUMBRANCES UPON THE PROPERTY WHICH ARE NOT SHOWN ON THIS SURVEY.

BENCH MARK

BM#1: CITY OF NOVI BENCHMARK 1542
 "X" ON NORTH RIM OF SANITARY MANHOLE LOCATED 25 FEET WEST OF BACK OF CURB AND 45 FEET SOUTH OF DRIVE #26179 NOVI ROAD.
 ELEVATION = 915.10

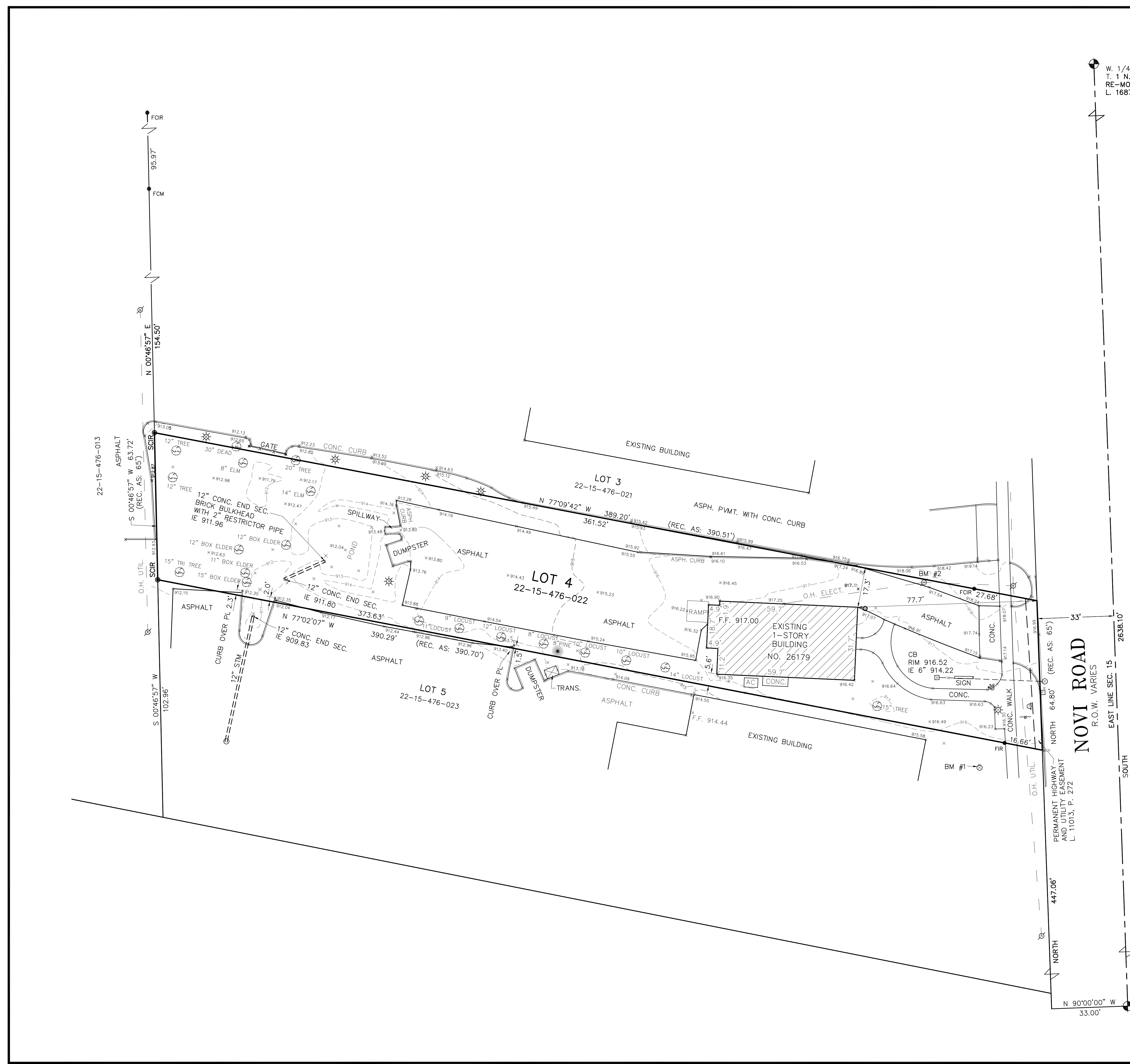
BM#2: SITE BENCH MARK
 NAIL IN UTILITY POLE NEAR NORTHEAST CORNER OF PROPERTY.
 ELEVATION = 919.46

LEGEND

- CATCH BASIN
- SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ GATE VALVE & WELL
- UTILITY POLE
- ⊕ LIGHT POLE
- ⊕ WATER SHUT OFF
- ⊕ SIGN
- GUARD POST
- SPOT ELEVATION
- FCI ● FOUND CAPPED IRON
- FCM ● FOUND CONC. MONUMENT
- FIR ● FOUND IRON
- SCIR ● SET CAPPED IRON ROD

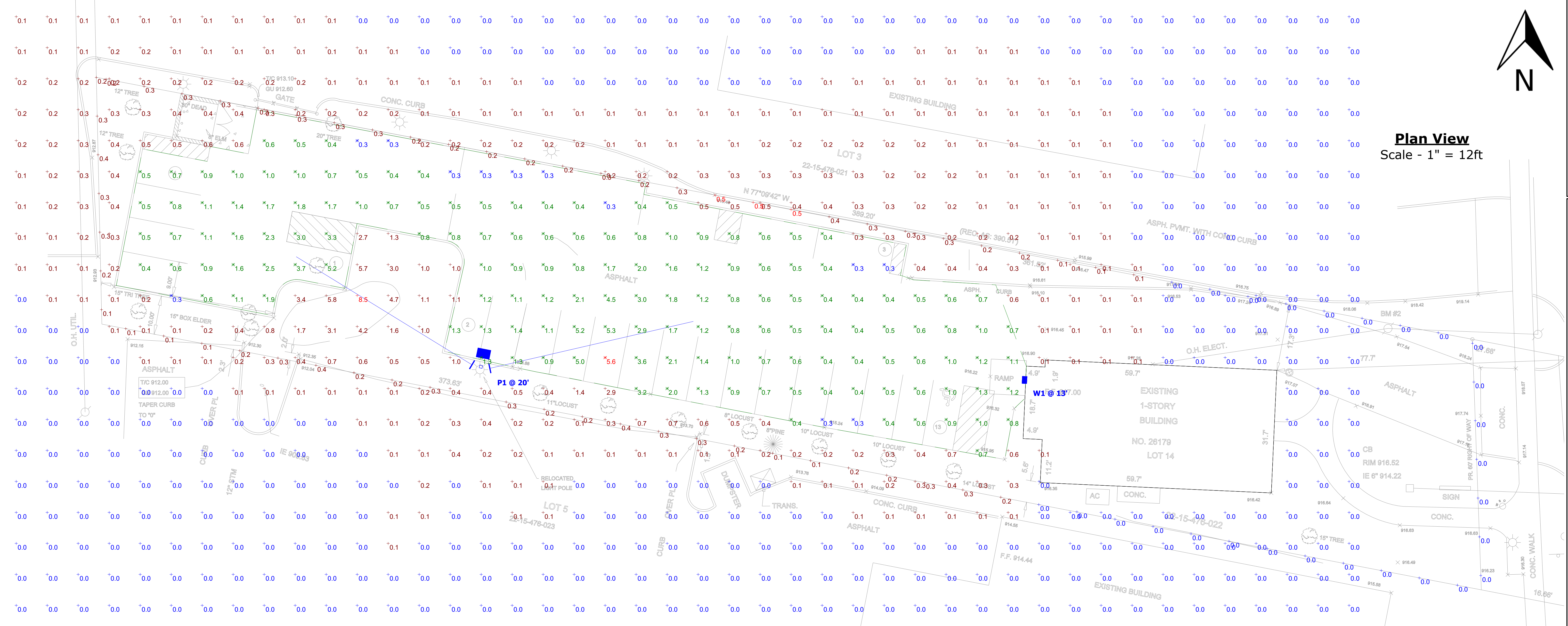
SE COR. SEC. 15
 T. 1 N., R. 8 E.
 RE-MON CAP IN MON BOX.
 L. 16874, P. 152

WILLIAM DONNAN PROFESSIONAL SURVEYOR
 LICENSE NO. 63483





Plan View
Scale - 1" = 12ft



General Note
 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
 THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
 FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note
 THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

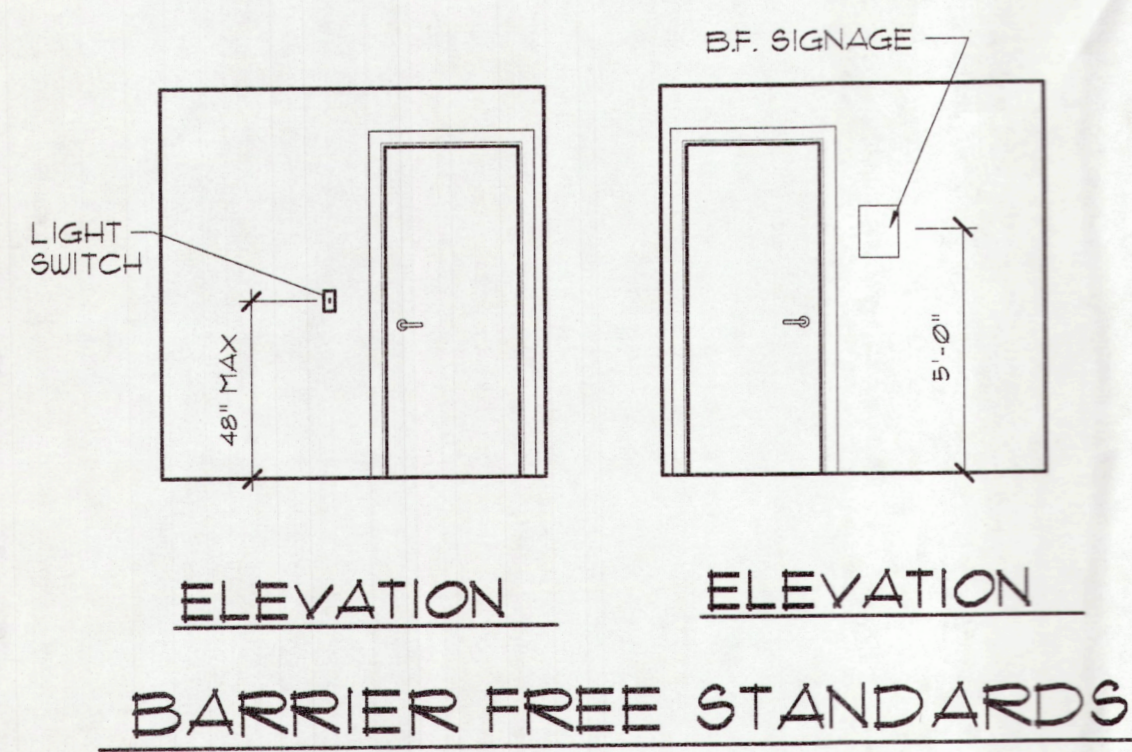
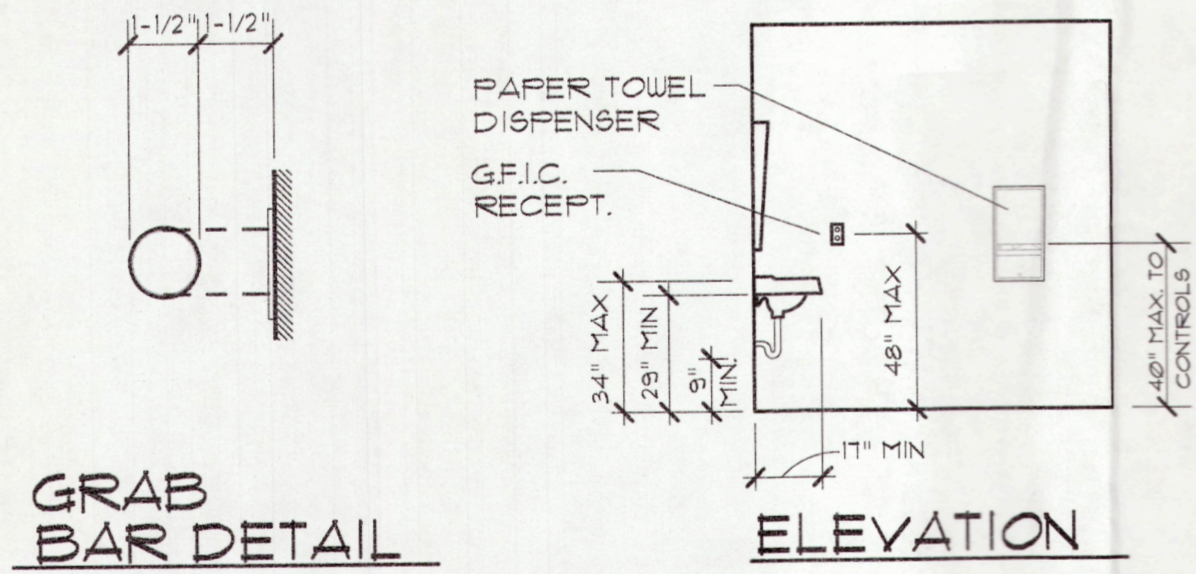
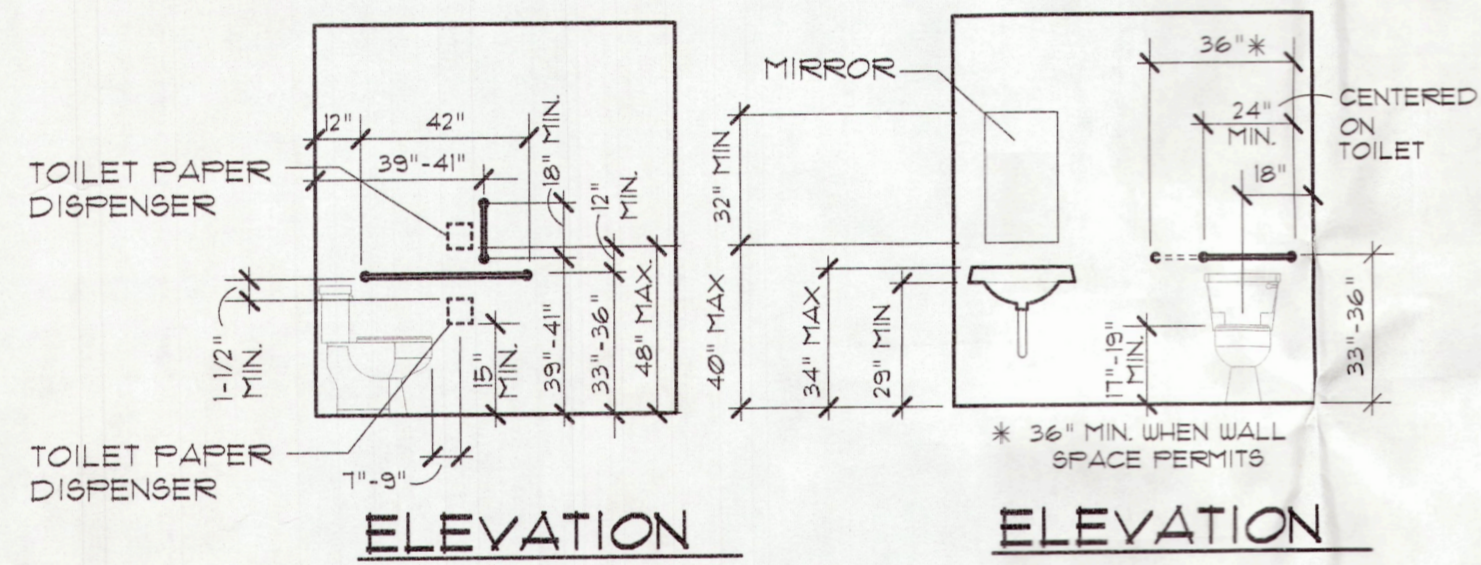
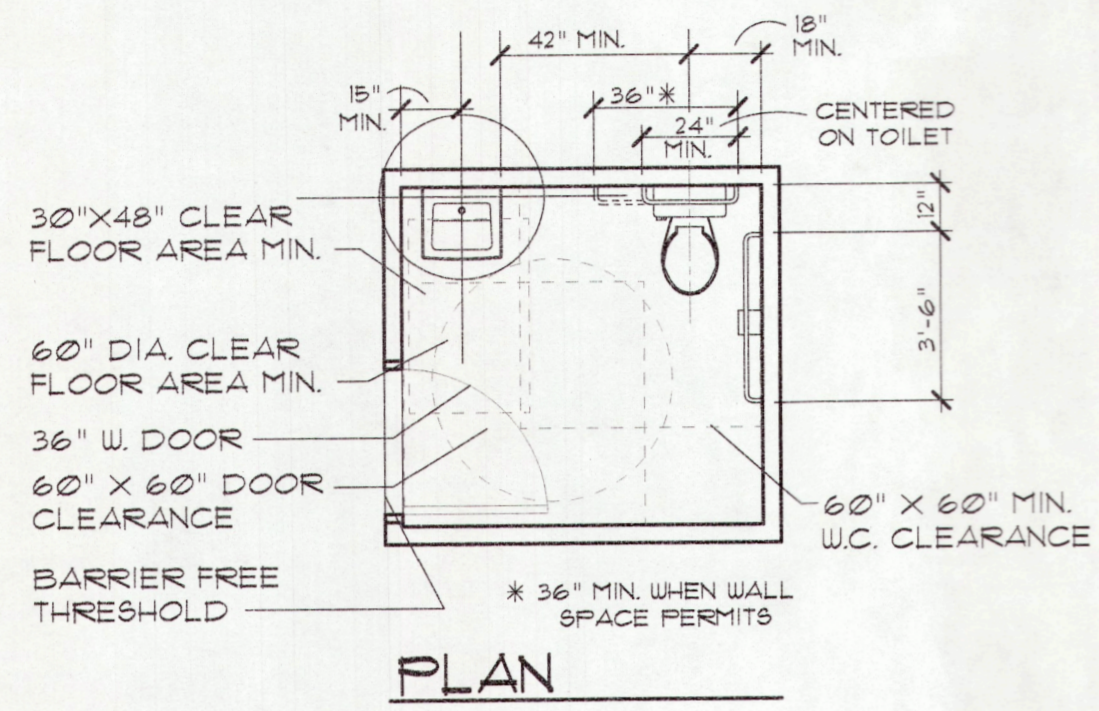
Mounting Height Note
 MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

| Schedule | | | | | | | | |
|----------|-----------|-----|--------------|--------------------------|--------------------------|-----------------|-----|----------|
| Symbol | Label | QTY | Manufacturer | Catalog Number | Description | Lumens per Lamp | LLF | Wattage |
| | P1 | 1 | EXISTING | TO BE CONFIRMED BY OWNER | [...] | [...] | 0.9 | 172.7886 |
| | | | EXISTING | TO BE CONFIRMED BY OWNER | TO BE CONFIRMED BY OWNER | Absolute | 0.9 | 63.8243 |
| | | | EXISTING | TO BE CONFIRMED BY OWNER | TO BE CONFIRMED BY OWNER | 4951 | 0.9 | 45.14 |
| | | | EXISTING | TO BE CONFIRMED BY OWNER | TO BE CONFIRMED BY OWNER | Absolute | 0.9 | 63.8243 |
| | W1 | 1 | EXISTING | TO BE CONFIRMED BY OWNER | TO BE CONFIRMED BY OWNER | 2030 | 0.9 | 18.9815 |

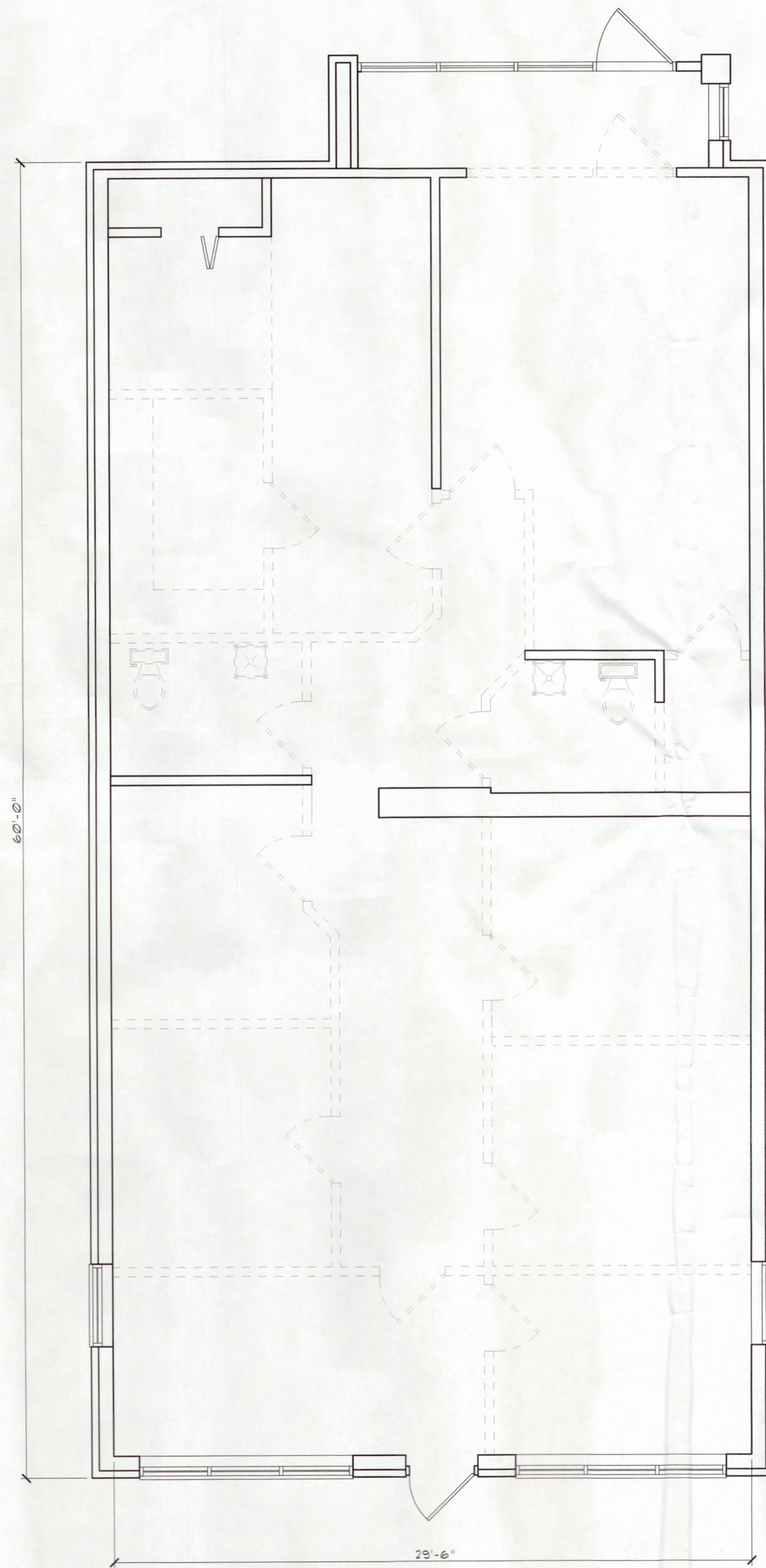
| Statistics | | | | | | |
|-----------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Overall/Grade | + | 0.3 fc | 8.5 fc | 0.0 fc | N/A | N/A |
| Parking & Drive Lanes | X | 1.1 fc | 5.6 fc | 0.3 fc | 18.7:1 | 3.7:1 |
| Property Line | + | 0.2 fc | 0.5 fc | 0.0 fc | N/A | N/A |

26179 NOVI RD. - FORMA SALON
 EXTERIOR PHOTOMETRIC PLAN
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

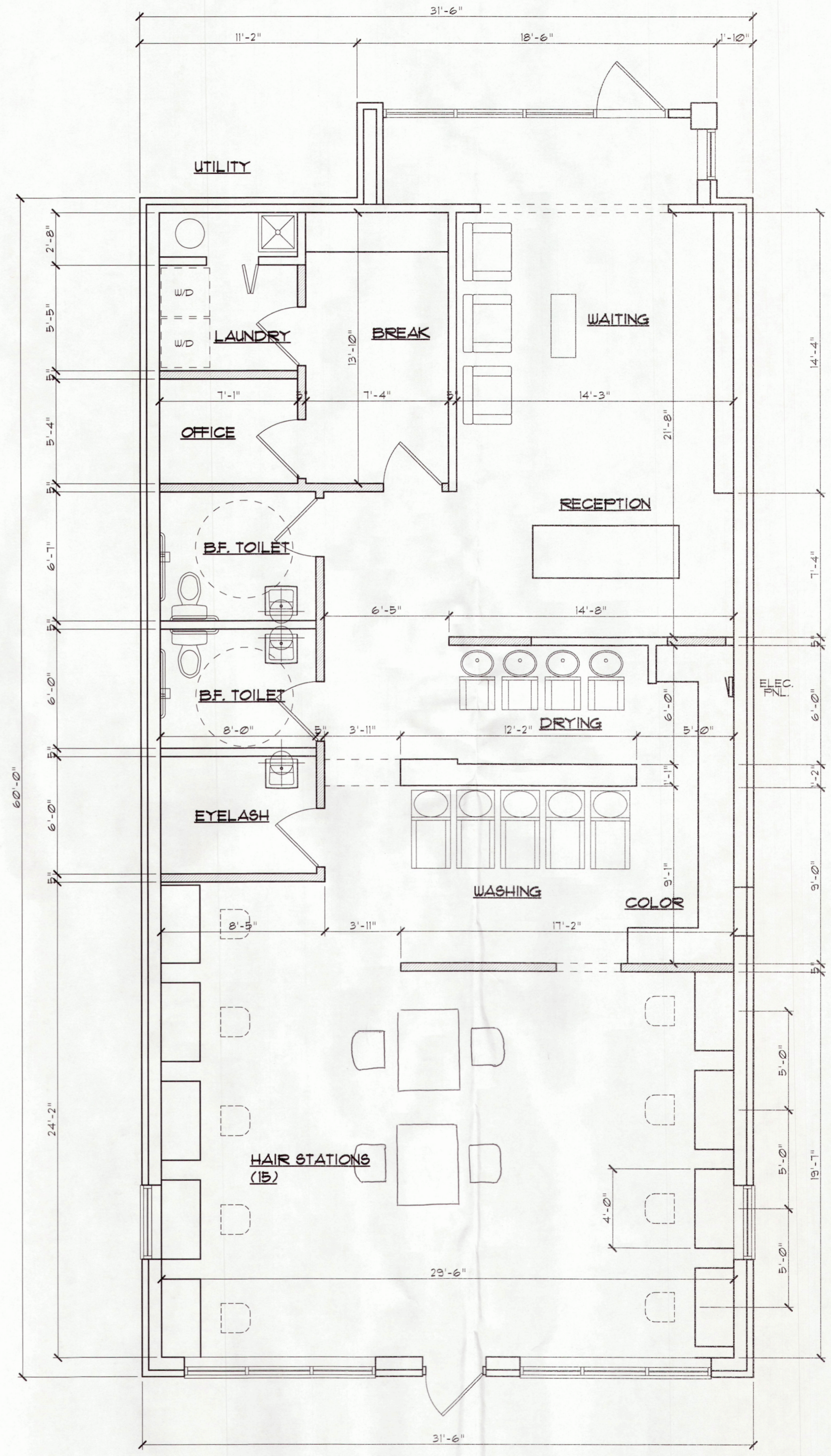
Designer
 BK
 Date
 04/13/2026
 Scale
 Not to Scale
 Drawing No.
 #26-57146



BARRIER FREE STANDARDS



- WALL LEGEND
- PARTITION TO BE DEMOLISHED
 - EXISTING PARTITION
 - NEW PARTITION
- 1/2" GYP. BD. EA. SIDE
OF 3 5/8" 22GA. MET. STUDS
AT 16" O.C.



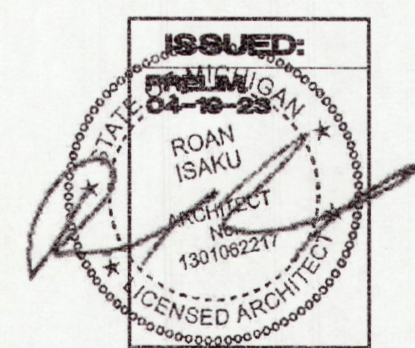
ALL DOORS TO BE MIN. 36" WIDE UNLESS OTHERWISE NOTED

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PROJECT
FORMA BEAUTY SALON
2679 NOVI RD.
NOVI, MI

SUBJECT
FLOOR PLAN
DEMOLITION PLAN
BARRIER FREE STANDARDS

ISSUED BY
ARCO DESIGN ASSOCIATES
2298 YASWIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-6409



| | |
|----------|----|
| DRAWN | AK |
| CHECKED | AK |
| APPROVED | AK |
| RECD | |
| CONSTR | |

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

JOB NO.
23-07

SHEET
A.1

PROPOSED HAIR SALON

PLANNING REVIEW



PLANNING REVIEW

Forma Beauty Salon Parking
JSP26-0014
May 20, 2026

PETITIONER:

Forma Beauty Salon | Jakup Islami

REVIEW TYPE:

Accessory Preliminary/Final (Combined) Site Plan

PROPERTY CHARACTERISTICS

| | | |
|-----------------------------|----------------------------------|--|
| Section | 22 | |
| Site Location | 26179 Novi Road 50-22-15-476-022 | |
| Site School District | Novi Community School District | |
| Site Zoning | TC: Town Center District | |
| Adjoining Zoning | North | TC: Town Center District |
| | East | TC: Town Center District |
| | West | TC: Town Center District |
| | South | TC: Town Center District |
| Current Site Use | Salon | |
| Adjoining Uses | North | Alison B. Lubyansky, DDS Family and Cosmetic Dentistry |
| | East | Retail – Panda Express, Mattress Firm |
| | West | Office Building - vacant |
| | South | True Society Bridal Shop |
| Site Size | 0.57 Acres | |
| Plan Date | 4/15/2026 | |

PROJECT SUMMARY

The applicant is proposing site improvements including increasing parking from 13 spaces to 23 spaces, removal of the existing dumpster and construction of a new dumpster to be located at the northwest corner of the site, the landscape improvements, and the relocation of an existing light pole.

RECOMMENDATION

Preliminary/Final Site Plan approval is **not recommended**. Please address the comments in this letter and in the attached review letters on a revised submittal.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached chart for information pertaining to ordinance requirements. The items below must be addressed and incorporated as part of the revised site plan sets.

1. Administrative Approval (Section 6.1.1.C.i-ii): The ordinance permits a site plan to be reviewed for approval administratively without formal approval by the Planning Commission:
 - i. When the plan only proposes improvements to or expansion of an existing off-street parking area.
 - ii. When the plan only proposes modifications to a previously approved off-street parking lot layout, provided the proposed modifications do not reduce the number of approved parking spaces to less than the minimum number of spaces required by the Ordinance, including carports and EV parking, so long as other requirements are met.

This site plan meets the requirements of Section 6.1.1.C.i-ii and therefore qualifies for administrative approval – provided no Landscape or other waivers or variances are required.

1. Parking Setback (Section 3.1.25.D): The minimum side yard parking setback is 20 feet, approximately 3 feet is proposed. The minimum rear yard setback is 10 feet, approximately 3 feet is proposed.

A Zoning Board of Appeals (ZBA) variance will be required for the deficiency in north and east parking setbacks.

2. Off-Street Loading and Unloading (Section 5.4): On the same premises as every building, structure or part thereof, involving the receipt or distribution of vehicles, materials, or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading in order to avoid undue interference with public use of dedicated rights-of-way. Within the TC districts, loading, unloading space shall be provided in the rear yard at a ratio of ten square feet for each front foot of building.

The applicant has indicated that a dedicated loading/unloading space is not required, as no delivery trucks are anticipated. Staff finds that a designated loading area is not necessary, as the business is not expected to involve the regular receipt or distribution of materials or merchandise.

3. Bicycle Parking (Section 5.16.1): When any principal building is enlarged by 10% or more of the existing gross floor area, or any automobile parking lot is enlarged by 10% or more of existing parking spaces, bicycle parking shall be required and provided as part of site plan review under Section 6.1.

The proposed increase in parking is approximately 57% of existing parking spaces. While bicycle parking would normally be required in this instance, staff accepts the applicants' justification that bicycle parking is not necessary as the nature of the salon business is not expected to generate significant demand for cycling-related facilities.

4. Dumpster Enclosure (Section 4.19.2.F): Dumpster enclosure shall be located in the rear yard, no closer than 10 feet to any building, and not located closer to the property line than the minimum parking lot setback for the district.

The dumpster is proposed to be located within the rear parking lot setback. A Zoning Board of Appeals (ZBA) variance will be required for the location in the setback.

5. Lighting and Photometric Plan (Section 5.7): A lighting and photometric plan was provided; however additional information is required for these items. Refer to Planning Review Chart for additional information.
6. Planning Review Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

OTHER PRELIMINARY/FINAL SITE PLAN REVIEWS

- Engineering Review: Preliminary Site Plan **approval recommended**, Final Site Plan **approval not recommended**. See attached Engineering review for details.
- Landscape Review: Preliminary/Final Site Plan **approval not recommended**. See attached Landscape review for details.
- Wetland Review: Preliminary/Final Site Plan **approval recommended**. See attached Wetland review for details.
- Traffic Review: Preliminary/Final Site Plan **approval recommended**. See attached Traffic review for details.
- Fire Review: Preliminary/Final Site Plan **approval recommended**. See attached Fire review for details.

NEXT STEP: REVISED PRELIMINARY/FINAL SITE PLAN (IF NO LANDSCAPE WAIVERS ARE REQUIRED)

Plans will need to be revised to address the comments provided in the review letters. Please submit the following for reconsideration:

1. Site Plan Revision Submittal Form

2. A response letter addressing all comments and **referring to sheet numbers where change is reflected.**
3. Three copies of the revised Preliminary Site Plan, and one electronic copy, addressing all comments from ALL review letters.

– OR – ALTERNATE NEXT STEP: PLANNING COMMISSION MEETING (IF LANDSCAPE WAIVERS ARE REQUIRED)

If Landscape waivers are required, the project will be scheduled to appear before the Planning Commission on June 10, 2026. Please submit the following by June 3, 2026 for Planning Commission consideration:

1. Site Plan submittal in PDF format (maximum of 10MB) **NO CHANGES MADE**
2. A response letter addressing ALL comments from ALL review letters and a [request for waivers/variances as you see fit.](#)
3. A color rendering of the Site Plan (to be used for Planning Commission presentation)

FUTURE STEP: ZONING BOARD OF APPEALS (ZBA)

Any variances required shall be requested from the Zoning Board of Appeals (ZBA) prior to the submittal of the Electronic Stamping Set. The ZBA meets on the 2nd Tuesday of each month. To request to appear before the ZBA, an application must be submitted to Megan Nardone at mnardone@cityofnovi.org by the first business day of the month for the following month's meeting.

[Dimensional Variance Zoning Board of Appeals Application Packet](#)

NEXT STEP: REVISED FINAL SITE PLAN

Plans will need to be revised to address the comments provided in the review letters. Please submit the following for reconsideration:

1. [Site Plan Revision Submittal Form](#)
2. A response letter addressing all comments and **referring to sheet numbers where change is reflected.**
3. Three copies of the revised Final Site Plan, and one electronic copy, addressing all comments from ALL review letters.

FUTURE STEP: ELECTRONIC STAMPING SET REVIEW AND RESPONSE LETTER

Following revised Final Site Plan approval, revised plans that address all comments from the review letters should be submitted electronically for informal review and approval prior to the submission of printed Stamping Sets. A letter prepared by the applicant or their representative is to be submitted with the electronic stamping set addressing all comments in all review letters and associated charts and **referring to sheet numbers where the change is reflected.**

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets will be required for this project. Following approval of the electronic stamping set from City staff, the applicant should submit **9 – 24" x 36" sets of plans with signature and seals on each sheet (seal may be electronic)**, to the Community Development Department for Final Stamping Set approval.

FUTURE STEP: BUILDING PERMITS AND REVIEW

Building permits will be required for this project. Please contact the Building Department at (248)347-0415 to determine what is required.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects to be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at (248)347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please contact me at (248)347-0483 or dshanahan@cityofnovi.org.



Diana Shanahan – Planner



PLANNING REVIEW CHART: TC Town Center District

Review Date: May 20, 2026
Review Type: Combined Preliminary / Final Site Plan Review
Project Name: **JSP26-0014 FORMA BEAUTY SALON PARKING** (26179 Novi Road)
Plan Date: April 15, 2026
Prepared By: Diana Shanahan, Planner dshanahan@cityofnovi.org (248) 347-0483

NOTES

- This chart serves as a working summary and is not intended to replace any Ordinance, requirement, or standard of the City of Novi.
- References to relevant ordinance sections are indicated in parenthesis. Please refer to the [City of Novi Ordinance](#) for complete details.
- Comments highlighted in **bold** must be addressed prior to the approval of the Preliminary Site Plan.

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|--------------------------|------------|--|
| Zoning and Use Requirements | | | | |
| Master Plan <i>(adopted June 25, 2025)</i> | TC: Town Center District | No Change | Yes | |
| Zoning <i>(Effective Jan. 8, 2015)</i> | TC: Town Center District | TC: Town Center District | Yes | |
| Uses Permitted <i>(Section 3.1.25.B & C)</i> | B: Principal Uses Permitted C: Special Land Uses | Salon | Yes | |
| Height, Bulk, Density, and Area Limitations | | | | |
| Building Height <i>(Section 3.1.25.D)</i> | 65 ft or 5 stories, whichever is less | Existing building | Yes | |
| Open Space <i>(Section 3.27.1.F)</i> | A minimum of 15% of the gross site area shall be devoted to permanently landscaped open spaces and pedestrian areas. | | | |
| Public Street Frontage <i>(Section 5.12)</i> | Frontage on a public street is required | Frontage on Novi Road | Yes | |
| Access to Major Thoroughfare <i>(Section 5.13)</i> | Direct access to major thoroughfare required unless noted in Section 5.13 | Access to Novi Road | Yes | |
| Building Setbacks <i>(Section 3.1.25.D / 3.27.1.C)</i> | | | | |
| Front (east) | Minimum 15 ft | Complies | Yes | |
| Interior Side (north) | Minimum 10 ft | Complies | Yes | |
| Interior Side (south) | Minimum 10 ft | Existing nonconforming | No | |
| Rear (west) | Minimum 10 ft | Complies | Yes | |
| Parking Setback <i>(Section 3.1.25.D)</i> | | | | |
| Front (west) | Minimum 20 ft | No front yard parking | N/A | Zoning Board of Appeals variance required for deficiency in north and east parking setbacks |
| Interior Side (north) | Minimum 20 ft | 2.93 ft | No | |
| Interior Side (south) | Minimum 20 ft | 10 ft | No | |
| Rear (east) | Minimum 10 ft | 3.36 ft | No | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|--|------------|---|
| Notes To District Standards (Section 3.6.2) | | | | |
| Exterior Side Yard Abutting a Street (Section 3.6.2.C) | All exterior side yards abutting a street shall have a setback equal to the front yard setback | No exterior side yards abutting a street | N/A | |
| Minimum Lot Area and Width (Section 3.6.2.D) | Minimum lot area and width, and maximum percent of lot coverage shall be determined based on off-street parking, loading, greenbelt screening, yard setback or usable open space requirements | 0.57 acres | | |
| Off-Street Parking in Front Yard (Section 3.6.2.E) | Off-street parking shall be permitted in the front yard when the minimum off-street parking setback requirements in Section 3.1, Section 5.5.3, and with respect to TC district, Section 3.27.1.D are observed | No front yard parking proposed | N/A | |
| Wetland/ Watercourse Setback (Section 3.6.2.M) | Refer to Sec 3.6.2 for more details. | | Yes | See Wetland Review letter |
| Parking Setback Screening (Section 3.6.2.P) | Required parking setback area shall be landscaped per sec 5.5.3. | | | See Landscape Review letter |
| Modification of Setback Requirements (Section 3.6.2.Q) | The Planning Commission may modify setback requirements where it determines that such modification may result in improved use of the site and/or in improved landscaping | | N/A | |
| TC District Required Conditions (Section 3.27 and Section 4.40) | | | | |
| Site Plans (Section 3.27.1.A) | Administrative approval may be granted when the plan only proposes improvements to or expansion of an existing off-street parking area, provided the number of parking spaces is not reduced to less than the minimum number of spaces required. | | Yes | This site plan meets the requirements of Section 6.1.1.C.i-ii and therefore qualifies for administrative approval – provided no Landscape or other waivers or variances are required. |

| Item | Required Code | | | Proposed | Meets Code | Comments |
|---|--|----------|----------|---|------------|--|
| Minimum Building Setback Requirements – Interior and Exterior Yards <i>(Section 3.27.1.C)</i> | TC | Interior | Exterior | | | Existing building |
| | Front | 15 ft | 50 ft | | N/A | |
| | Side | 10 ft | 50 ft | | N/A | |
| | Rear | 10 ft | 50 ft | | N/A | |
| Surface Parking Lot Screening <i>(Section 3.27.1.D)</i> | Surface parking lots shall be screened from all public rights-of-way and internal roads by either a 2.5 ft brick wall, semi-transparent screening, or landscaped berm | | | Parking behind building, not visible from ROW | N/A | |
| Architecture/ Pedestrian Orientation <i>(Section 3.27.1.E)</i> | Proposed uses, through innovative architecture, shall create a significant pedestrian orientation in keeping with the district intent and purpose. Architectural amenities shall be included. Architectural design and facade material are to be complimentary to existing or proposed buildings within the site and the surrounding area. | | | | TBD | Indicate whether any additional site amenity details will be added (i.e. benches, trash receptables, planters, tree grates, public art, etc.) |
| Façade Materials <i>(Section 3.27.1.G)</i> | All sides of buildings and accessory buildings must have the same façade materials. Façade materials may deviate from brick or stone with PC approval. | | | No changes proposed to existing building | N/A | |
| Parking, Loading, Signs, Landscaping, Lighting, Etc. <i>(Section 3.27.1 H)</i> | All sites must comply with Article 5, Site Standards, regarding off-street parking requirements and standards, off-street loading/unloading, signs, landscaping, exterior lighting, and obscuring screens as related to uses permitted in the TC district. Planning Commission may reduce parking requirements for shared parking. | | | Shared parking not proposed | N/A | |
| Sidewalks Required <i>(Section. 3.27.1.I)</i> | Required at developments which abut any street or an internal service road | | | Existing sidewalk along Novi Road | Yes | |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|---|---|------------|--|
| Bicycle Paths <i>(Section 3.27.1.J)</i> | Bicycle paths shall be designed throughout the TC area to link up with other adjacent residential and nonresidential areas. Proposed bicycle parking to comply with Section 5.16 Bicycle Parking Facility Requirements | | Yes | Bicycle parking discussed in Section 5.16 below |
| Development Amenities <i>(Section 3.27.1.L)</i> | All sites shall provide development amenities in the form of exterior lighting, paved activity nodes, street/sidewalk furniture, safety paths, screening walls and planters in accordance with the Town Center Area Study | No amenities proposed | TBD | Indicate whether any additional site amenity details will be added (i.e. benches, trash receptables, planters, tree grates, public art, etc.) |
| Parking and Loading Requirements | | | | |
| Off-Street Parking Requirements <i>(Section 5.2.12.C)</i> Beauty Parlors or Barbershops | 3 spaces for each of the first 2 beauty or barber chairs, and one and 1 ½ spaces for each additional chair | 23 parking spaces proposed 13 salon chairs: $(2 \times 3 = 6) + (11 \times 1.5) = 23$ required spaces | Yes | |
| Parking Space Dimensions and Maneuvering Lanes <i>(Section 5.3.2)</i> | 0° (Parallel) Parking: - 8 ft x 23 ft parking spaces - 13 ft two-way drives 90° parking: - 9 ft x 19 ft - 24 ft two-way drives - 9 ft x 17 ft parking spaces are allowed along 7 ft-wide interior sidewalks, provided the detail shows a 4" curb at these locations and along landscaping | 0° parallel parking: 3 – 8.5 ft x 23 ft spaces proposed, 25.32' drive aisle 90° parking: 20 - 9 ft x 17 ft spaces proposed, 24' drive aisle, 4" curb indicated | Yes | Refer to Traffic review for further comments. |
| Posted Fire Lanes <i>(D.C.S Sec. 158-99(a))</i> | The minimum width of a posted fire lane is 20'. The minimum height of a posted fire lane is 14' | | TBD | Indicate and dimension posted fire lanes for entire drive |
| Parking Stall Located Adjacent to a Parking Lot Entrance (public or private) <i>(Section 5.3.13)</i> | No parking stall located adjacent to a parking lot entrance from a street (public or private) shall be located closer than 25 feet from the street right-of-way (ROW) line, street | | N/A | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|--|------------|---|
| | easement or sidewalk, whichever is closer | | | |
| End Islands (Section 5.3.12) | <ul style="list-style-type: none"> - End islands with raised curbs and landscaping are required at the end of all parking bays that abut traffic circulation aisles. - End islands shall generally be at least 10' wide, have a 15' major radius, a 2' minor radius, and be 3' shorter than the adjacent parking stall. | | TBD | Comply with Traffic and Engineering reviews |
| Barrier Free Spaces Barrier Free Code (2012 Michigan Building Code) | <ul style="list-style-type: none"> - 1 accessible space required - For every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible | 1 existing van accessible space | Yes | |
| Barrier Free Space Dimensions Barrier Free Code (2012 Michigan Building Code) | <p>Van accessible:</p> <ul style="list-style-type: none"> - 8 ft wide with an 8 ft wide access aisle (preferred) – or – - 11 ft wide with a 5 ft wide access aisle <p>Standard accessible:</p> <ul style="list-style-type: none"> - 8 ft wide with a 5 ft wide access aisle | 1 existing 8 ft accessible space with an 8 ft access aisle | Yes | |
| Barrier Free Signs Barrier Free Code | One sign for each accessible parking space | Sign indicated | Yes | |
| Loading Spaces (Section 5.4.2) | <ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq ft for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to City approval | <p>No loading zone indicated</p> <p>The applicant indicates loading/unloading space is not required, no deliveries are anticipated</p> | No | <p>Front footage of building: 31.7 ft</p> <p>Staff finds that a designated loading zone is not required as the business does not involve the regular receipt or distribution of materials or merchandise</p> |
| Sidewalk Requirements | | | | |
| Sidewalks (Chapter 11, Article XI, Section 11-256) | In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall | Existing sidewalk along Novi Road | Yes | |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|--|------------|--|
| | be provided on both sides of the proposed street or roadway. Sidewalks along streets identified by the master plan as arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," whereas sidewalks along local streets and private roadways shall be 5 feet wide. | | | |
| Pedestrian Connectivity | Assure safety and convenience of vehicular and pedestrian traffic both within the site and in relation to access streets | | Yes | |
| Bicycle Parking Requirements (Section 5.16) | | | | |
| Minimum Number of Bicycle Parking Spaces (Section 5.16.1) | When any principal building is enlarged by 10% or more of the existing gross floor area, or any automobile parking lot is enlarged by 10% or more of existing parking spaces, bicycle parking shall be required and provided as part of site plan review under Section 6.1 | ~57% increase in parking spaces proposed The applicant indicates that bicycle parking is not needed due to the nature of the business | No | Staff accepts the applicant's justification in their response letter as to why bicycle parking is not necessary |
| Minimum Number of Bicycle Parking Spaces (Section 5.16.1) | 5% of required automobile spaces, minimum two spaces 23 spaces req'd x 5% = 2 | | No | Refer to Traffic Review for further comments |
| Bicycle Parking Location (Section 5.16.1.E) | No farther than 120' from the entrance being served | No bicycle parking proposed | N/A | |
| Bicycle Parking - Multiple Locations (Section 5.16.1.F) | When 4 or more spaces are required for a building with multiple entrances, the spaces shall be in multiple locations | 2 spaces required, multiple locations not needed | N/A | |
| Bicycle Parking Facility Layout (Section 5.16.5.B) | Spaces to be paved. Bike rack shall be inverted "U" design, min 3 ft in height | | N/A | |
| Bicycle Parking Accessibility (Section 5.16.5.C) | All bicycle parking shall be accessible from adjacent street(s) and pathway(s) via a minimum 6 ft wide paved route | | N/A | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|---|--------------------------------------|------------|--|
| Bicycle Parking Lot Layout (Section 5.16.6) | - Maneuvering lane width: 4' - Parking space depth: 32" - Parking space width: 7' - One tier width: 11' - Two tier width: 18' | | N/A | |
| Accessory Uses (Section 4.19) | | | | |
| Dumpster (Section 4.19.2.F) | Located in rear yard or interior side yard in case of double frontage | Interior side yard location proposed | Yes | A ZBA variance will be required for location in parking setback |
| | Attached to the building or no closer than 10 ft from building if detached | Complies | Yes | |
| | Not to be located in parking setback | Located in parking setback | No | |
| | If no setback, then not any closer than 10 ft, from property line | Complies | No | |
| | As far away from barrier free spaces as possible | Complies | Yes | |
| Dumpster Enclosure (Section 21-145. (c)) | Screen from public view | Complies | Yes | |
| | Screening shall be a wall or fence 1 ft higher than height of refuse bin, no less than 5 ft on three sides | 7 ft height indicated | Yes | |
| | Posts or bumpers provided within the enclosure to protect from damage of refuse bin | Indicated | Yes | |
| | Inside dimensions shall permit adequate access as well as completely enclose bins | 4'-5" x 4'-10 3/4" | Yes | |
| | Screening materials: Masonry, wood or evergreen shrubbery | Brick to match building | Yes | |
| Equipment Requirements (Section 4.19) | | | | |
| Roof Top Equipment and Wall Mounted Utility Equipment (Section 4.19.2.E.i) | All roof top equipment must be screened from view. All wall mounted utility equipment must be enclosed and integrated into the design and color of the building | None proposed | N/A | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|----------------------|------------|---|
| Roof Top Appurtenances Screening (Section 4.19.2.E.ii) | Rooftop equipment may not exceed the district height limit unless set back 5 ft per ft of excess height, with a maximum 5-ft extension. Equipment to be screened and hidden from streets and neighboring properties | None proposed | N/A | |
| Lighting and Photometric Plan (Section 5.7) | | | | |
| Lighting Plan (Section 5.7.2.A.i) | A lighting plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures | Photometric provided | Yes | Clearly indicate parcel boundaries on photometric plan |
| Photometric Plan (Section 5.7.2.A.ii) | Provide a photometric plan illustrating the levels of illumination at ground level accounting for all light sources that impact the subject site. Include specifications for all proposed and existing lighting fixtures | Photometric provided | TBD | Remove rows on schedule for any symbols not used Add photometric calculations for light fixture on Novi Road and building lighting |
| Building Lighting (Section 5.7.2.A.iii) | Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures | | TBD | Add any existing or proposed building lighting to the photometric plan |
| Maximum Height (Section 5.7.3.A) | Height not to exceed maximum height of zoning district | 20 feet | Yes | |
| Electrical Service (Section 5.7.3.B) | Electrical service to light fixtures must be underground | Note on SP-2 | Yes | |
| Flashing Light (Section 5.7.3.C) | No flashing light permitted | Note on SP-2 | Yes | |
| Glare Control (Section 5.7.3.D) | Shall be accomplished through the proper selection and application of lighting equipment. | | TBD | Indicate any glare control devices |
| Outdoor Lighting: Average Light Levels (Section 5.7.3.E) | Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 foot-candles | 3.7:1 | Yes | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|---|--|------------|---|
| Color Spectrum Management (Section 5.7.3.F) | For all permanent non-Res and multifamily lighting installations: Minimum Color Rendering Index (CRI) of 70 and Correlated Color Temperature (CCT) of no greater than 3000K | | TBD | Indicate CRI and CCT |
| After Hours Lighting (Section 5.7.3.G) | Only necessary lighting for security purposes shall be permitted after hours | | TBD | Indicate any after hours lighting |
| Indoor Lighting (Section 5.7.3.H) | Shall not be the source of exterior glare or spillover | Appears to comply | Yes | |
| Security Lighting (Section 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured | - All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky - Building mounted fixtures designed to illuminate the facade are preferred | | TBD | Indicate any security lighting |
| Parking Lot Lighting (Section 5.7.3.J) | Design to provide minimum illumination necessary to ensure adequate vision and comfort in parking areas. Use full cut-off fixtures to prevent glare | | TBD | |
| Minimum Illumination Levels (foot-candles) (Sec. 5.7.3.L) | Parking areas: | 0.2 min | Complies | Yes |
| | Loading and unloading areas: | 0.4 min | Complies | Yes |
| | Walkways: | 0.2 min | Complies | Yes |
| | Building entrances, frequent use: | 1.0 min | Complies | Yes |
| | Building entrances, infrequent use: | 0.2 min | 0.0 fc | No |
| Maximum Illumination Adjacent to Non-Residential (Section 5.7.3.L) | Where a site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle | | TBD | Clearly indicate parcel boundaries on photometric plan to demonstrate compliance with this requirement |
| Building Code and Other Design Standard Requirements | | | | |
| Design and Construction Standards Manual | Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), | Legal description indicated on cover sheet | No | Please include parcel ID 50-22-15-476-022 on cover sheet. |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|---|------------|---|
| | Liber, and page for subdivisions) | | | |
| General Layout and Dimension of Proposed Physical Improvements | Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq ft), location of proposed parking and parking layout, streets, drives, indicate sq ft of pavement area (indicate public or private). | Some information provided | No | Please add to the cover sheet: property address and floor plan under the index |
| Community Impact Statement | <ul style="list-style-type: none"> - All non-residential projects > 30 acres for permitted use - All non-residential > 10 acres for special land use - All residential > 150 units | | N/A | Not required |
| Economic Impact | <ul style="list-style-type: none"> - Total cost of the proposed building and site improvements - Number of anticipated jobs created (during construction and after building is occupied) | | N/A | |
| Other Permits and Approvals | | | | |
| Development/ Business Sign | Signage if proposed requires a permit | Signage proposed on building | N/A | For permit information contact Ordinance at (248) 735-5678. |
| Development and Street Names | Must be approved by the Project and Street Naming Committee | Project name and street names do not require approval | N/A | |

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

May 15, 2026

Engineering Review

Forma Beauty Salon Parking
JSP26-0014

APPLICANT

Forma Beauty Salon

REVIEW TYPE

Preliminary/Final Site Plan - Accessory

PROPERTY CHARACTERISTICS

- Site Location: 26179 Novi Road
- Site Size: 0.57 acres
- Plan Date: 04/15/2026
- Design Engineer: Orman Engineering, LLC

PROJECT SUMMARY

- Expansion of the existing parking lot by 10 additional parking stalls and a concrete dumpster pad. Site access would continue to be provided via Novi Road.
- Storm water would continue to be directed to an on-site pond.
- No proposed changes to water service and the sanitary sewer.

RECOMMENDATION

Approval of the **Preliminary Site Plan is recommended**, but the **Final Site Plan is denied** due to the storm water comments below. At this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Revised Final Site Plan submittal:

COMMENTS

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Dedication of the 60-foot half-width master-planned right-of-way is requested for the project on Novi Road. An additional 27 feet of proposed right-of-way is currently labeled on the plan.
3. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
4. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).

STORM WATER MANAGEMENT PLAN

5. A formal storm water management plan is not required since the overall site is 0.57 acres and the amount of impervious surface proposed is approximately 0.14 acres.
6. Remove the note on the plans that the stormwater discharges to an off-site detention basin. Based on as-built records, the stormwater ultimately flows to the Walled Lake Branch of the Middle Rouge.
7. Provide evidence that the property to the south will not be adversely affected if the stormwater pond were to exceed capacity.
8. Compare the existing vs. proposed stormwater pond area to ensure that the area is not decreasing, as it currently appears to.

SOIL EROSION & SEDIMENT CONTROL

9. A SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

10. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
11. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

REQUIRED LEGAL DOCUMENTS

12. The following must be submitted with the Stamping Set: All documents must be submitted together as a package with the Stamping Set submittal with the [legal review transmittal form](#) that is attached to this review letter. Partial submittals will **not** be accepted. Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#)).
 - a. A draft copy of the Warranty Deed for the additional proposed 60-foot wide right-of-way along Novi Road shall be submitted for review and acceptance by the City.
 - b. Submit an up-to-date Title Search for the purpose of verifying that the parties signing the easement and agreement documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

THE FOLLOWING MUST BE ADDRESSED PRIOR TO CONSTRUCTION:

13. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
14. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
15. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
16. Construction inspection fees must be paid to the Community Development Department. ****fees are subject to change.**
17. Legal escrow fees in the amount of **\$862.50** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. ****fees are subject to change.**
18. A street sign financial guarantee in the amount of **\$400** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
19. A traffic control inspection fee of **\$715.00** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.

20. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.

THE FOLLOWING MUST BE ADDRESSED PRIOR TO THE ISSUANCE OF TEMPORARY OCCUPANCY (TCO):

21. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
22. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
23. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and Engineering Division.

PRIOR TO SUBMITTING STAMPING SETS, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval applicant must submit revised sheets for review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Purpura at (248) 735-5643 or email at kpurpura@cityofnovi.org with any questions.



Kate Purpura, EIT
Project Engineer

cc: Diana Shanahan, Community Development
Angela Sosnowski, Community Development
Stacey Choi, Planning Assistant
Humna Anjum, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 13, 2026

Forma Beauty Salon Parking Expansion Preliminary/Final Site Plan - Landscape

Review Type

Preliminary/Final Site Plan Landscape Review

Job

JSP26-0014

Property Characteristics

- Site Location: 26179 Novi Road
- Site Acreage: 0.57 ac.
- Site Zoning: TC
- Adjacent Zoning: North, South, East, West: TC
- Plan Date: 4/20/2026

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation:

This project is **not recommended for approval** for Preliminary Site Plan. If they implement the changes listed below to increase the number of perimeter trees provided the project could be recommended for approval. There will still be some issues to be addressed on Final Site Plans.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in parking lot interior trees provided – *not supported by staff*
- Deficiency in parking lot perimeter planting space – *supported by staff due to spatial limitations and the fact that they are providing most of the perimeter trees required if*
- Deficiency in parking lot perimeter trees – *supported by staff due to the spatial limitations of the site if the steps outlined in the attached landscape chart are implemented to reduce the extent of the deficiency.*

Please add the City Project Number, JSP26-0014, to the cover sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey and chart are provided.
2. **Please add trees that were removed over the least several years to the survey from aerial photos.**
3. Please do not show removed trees on the landscape plan but do continue to keep trees to remain on the plan.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The property is not adjacent to residential property so this requirement does not need to be met.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

The required greenbelt width and landscaping already exist and no changes in the greenbelt are proposed so no new landscaping is required.

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities and light posts are included on the landscape plan.
2. No hydrants are shown on the site.

Parking Lot Landscaping

1. The required parking lot interior area is proposed but one more interior canopy tree is required to avoid needing a landscape waiver. **Please add that tree within the large interior island – there is room in the southwest corner of the island.**
2. The plan is deficient in parking lot perimeter trees by two trees so **a landscape waiver is required.** *Due to the spatial limitations of the site, the waiver is supported by staff, but the trees on the west end of the site must be moved as noted on the landscape chart.*

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. The building is not changing so no new foundation landscaping is required.
2. Additional plantings are proposed at the base of the monument sign to bring it into compliance with the original plan.

Plant List (LDM 4.)

1. 2 of 8 species shown (25%) are native to Michigan. Please bring the percentage up to at least 50%.
2. The proposed tree diversity meets the requirements of the Landscape Design Manual.

Planting Notations and Details (LDM)

1. Provided
2. Please add a landscape cost estimate as noted on the landscape chart to the revised Final Site Plans.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No new above-ground stormwater detention pond is proposed.
2. If detention is required, and an above-ground detention basin is installed, the required detention basin landscaping must be provided.
3. No indication of any Phragmites or Knotweed was noted on the plans. Please survey the site and show any stands of either weed on the plans along with instructions for its treatment and removal.
4. If none is found, please add a note stating this.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY/FINAL SITE PLAN

Review Date: May 13, 2026
Project Name: JSP26-0014: Forma Beauty Salon Parking
Project Location: 26179 Novi Road
Plan Date: April 20, 2026
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying letter are summaries and are not intended to substitute for any Ordinance.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in parking lot interior trees provided – *not supported by staff*
- Deficiency in parking lot perimeter planting space – *supported by staff due to spatial limitations and the fact that they can provide most of the perimeter trees required if they follow the instructions below to reduce the deficiency in perimeter trees provided*
- Deficiency in parking lot perimeter trees – *supported by staff due to the spatial limitations of the site if the steps outlined in the attached landscape chart are implemented to reduce the extent of the deficiency.*

Please add the City Project Number, JSP26-0014, to the cover sheet.

| Item | Required | Proposed | Meets Code | Comments |
|--|---|--|------------|----------|
| Landscape Plan Requirements (LDM 10) | | | | |
| Landscape Plan <i>(Zoning Sec 5.5.2, LDM 10)</i> | <ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set | Scale: 1" = 20' | Yes | |
| Project Information | Name and Address | Project name and address is on the title block | Yes | |
| Owner/Developer Contact Information | Name, address and telephone number of the owner and developer or association | In title block | Yes | |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|--|--|--|
| Landscape Architect contact information | Name, Address and telephone number of RLA/PLA/LLA who created the plan | Theresa Pardington – TKP Environmental | Yes | |
| Sealed by LA. | Requires original signature | Copy of seal and signature | Yes | |
| Miss Dig Note (800) 482-7171 | Show on all plan sheets | Yes | Yes | |
| Zoning | Include all adjacent zoning | Site: TC North, South, East, West: TC Shown on Landscape Plan | Yes | |
| Survey information | <ul style="list-style-type: none"> Legal description or boundary line survey Existing topography | Survey & Description are on the 4 th sheet of the set | Yes | Please put the number 4 on the bottom right corner of the sheet. |
| Existing plant material Existing woodlands or wetlands | <ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. | <ul style="list-style-type: none"> Trees shown on topographic survey without tree numbers Tree chart on landscape plan shows all trees, including trees to be removed No regulated woodlands or wetlands are on the site A number of trees have been removed from the project area since 2020 for which no permits were obtained | <ul style="list-style-type: none"> No Yes Yes No | <ol style="list-style-type: none"> Add tree numbers to all trees on the topographic survey and Demolition Plan to correspond with the chart on LS-1. Please provide documentation of the trees removed previously since 2020. Please remove all deleted trees from the landscape plan. See the Merjent letter for a detailed review of woodlands and wetlands. |
| Soil types | <ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries | On SP-3 – all Urban Land | Yes | |
| Existing and proposed improvements | Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W | <ul style="list-style-type: none"> Changes to the site are shown on the site plan and landscape plan Concrete curbs have been added | <ul style="list-style-type: none"> Yes Yes | Please freeze the layer with site plan dimensions and other call-outs on the landscape plan – they obscure landscape-related notes. |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|--|------------|--|
| Existing and proposed utilities | <ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts | None are shown except the pipe in the open area to remain open. A single relocated light post is shown on the landscape plan | TBD | <p>1. Please clearly show all existing and proposed utility lines and structures on the landscape plan.</p> <p>2. Trees should be at least 10 feet from hydrants, catch basins and manholes and sanitary lines, and 5 feet from other underground lines.</p> |
| Proposed grading. 2' contour minimum | Provide proposed contours at 2' interval | Shown on SP-2 | Yes | Please freeze the spot elevations on the landscape plan. |
| Snow deposit | Show snow deposit areas on plan | An area is shown in the large interior island | Yes | |
| LANDSCAPING REQUIREMENTS | | | | |
| Berms, Walls and ROW Planting Requirements | | | | |
| Berms | | | | |
| <ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. | | | | |
| Residential Adjacent to Non-residential (Zoning Sec 5.5.3.a.v & LDM 1.a.(1)) | | | | |
| Berm requirements | The site is not adjacent to residential property | No berm is proposed. | Yes | |
| Walls (Zoning Sec. 5.5.3.A.vi) | | | | |
| Material, height and type of construction footing | Freestanding walls should have brick or stone exterior with masonry or concrete interior | No new walls are proposed. | NA | |
| Walls greater than 3 ½ ft. should be designed and sealed by an Engineer | | None | | |
| ROW Landscape Screening Requirements (Zoning Sec 5.5.3.b.ii and LDM 1.b) - Commercial | | | | |
| Greenbelt width | <ul style="list-style-type: none"> Adj to pkg: 20 feet Not adj to pkg: 0 feet | 60 feet | Yes | |
| Berm requirements (Zoning Sec 5.5.3.b.ii) | | | | |

| Item | Required | Proposed | Meets Code | Comments |
|--|---|--|------------|--|
| Min. berm crest width | No berms are required in the TC district | No berms exist or are proposed | Yes | |
| Minimum berm height | No berms are required in the TC district | No berms exist or are proposed | Yes | |
| 3' wall | Footnote 4 | No walls exist or are proposed | Yes | |
| Canopy deciduous or large evergreen trees | <ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 25 feet • Not adjacent to pkg: 1 tree per 30 feet • $(64.8-15)/30 = 2$ trees Canopy OR Subcanopy requirement below must be met, not both | 2 existing canopy trees | Yes | |
| Sub-canopy deciduous trees | <ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 15 feet • Not adjacent to pkg: 1 tree per 20 feet | 0 trees | Yes | The requirement is met by canopy trees so no subcanopy trees are required. |
| Shrubs | Not required, but shrubs around the sign were part of the original approved plan | Ornamental grasses have been added around the sign | Yes | |
| Canopy deciduous trees in area between sidewalk and curb | Street trees are not required in the TC district | 0 trees | Yes | |
| Cross-Section of Berms (LDM 10.i) | | | | |
| Slope, height and width | <ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Constructed of loam • 6" top layer of topsoil | No new berms are proposed | NA | |
| Type of Ground Cover | | NA | NA | |
| Setbacks from Utilities | Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole | NA | NA | |
| Parking Area Landscape Requirements (Zoning Sec. 5.5.3.c & LDM 5) | | | | |
| General requirements | <ul style="list-style-type: none"> • Clear sight distance within parking islands | No proposed plantings will hinder | Yes | |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|---|------------|----------|
| | <ul style="list-style-type: none"> No evergreen trees | vision | | |
| Name, type and number of ground cover | As proposed on planting islands | Sod is indicated | Yes | |
| General (Zoning Sec 5.5.3.c.ii & LDM 5) | | | | |
| Parking lot Islands | <ul style="list-style-type: none"> A minimum of 200 SF to qualify Minimum 200 SF per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC | There are no new parking lot islands | TBD | |
| Curbs and Parking stall reduction | Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft. | The new perpendicular spaces are 17 feet long and the new parallel spaces are 23 feet long. | Yes | |
| Contiguous space limit | <ul style="list-style-type: none"> Maximum of 15 contiguous spaced All endcap islands should also be at least 200sf with 1 tree planted in it. | No bay shown is longer than 14 spaces | Yes | |
| Plantings around Fire Hydrant | <ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). Trees also need to have at least 5 feet between the trunk and underground utility lines. | <ul style="list-style-type: none"> The only hydrant shown is in the Novi Road ROW. No proposed plantings are near it. | Yes | |
| Landscaped area | Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped | The large central space will be landscaped. | Yes | |
| Clear Zones | Section 5.9 (see below) | No clear zones are shown, but no new landscaping beyond the sign plants is proposed in the front yard so they aren't necessary. | NA | |
| Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.c.iii) | | | | |

| Item | Required | Proposed | Meets Code | Comments |
|---|---|--|------------|---|
| A = Total square footage of vehicular use area up to 50,000 sf x 7.5% | $A = x \text{ SF} \times 7.5\%$ $A = 11806\text{sf} \times 7.5\% = 885\text{sf}$ | A line is shown marking the area used for the calculation but it is lost in the other markings. | TBD | Please make the border line heavier to show the entire area used for the calculation. |
| B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 % | $B = x \text{ SF} \times 1\%$ | NA | NA | |
| Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.c.iii) | | | | |
| A = Total square footage of vehicular use area up to 50,000 sf x 5% | $A = x \text{ SF} \times 6\%$ | NA | | |
| B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 % | $B = (x \text{ SF} - 50000) \times 0.5\%$ | NA | | |
| All Categories | | | | |
| Total square footage of landscaped islands required | $C = A + B$ $C = 885 + 0 = 885\text{sf}$ | One large 1135sf interior island is proposed | Yes | 1. The entire pink area on the image below can be counted as parking lot interior area 2. Please show it as such and show its area in SF. |
| Number of canopy trees required | $D = C/200 = \text{xx Trees}$ $D = 885/200 = 4 \text{ trees}$ | 3 trees | No | Please add another interior tree and clearly mark it as such. |
| Parking Lot Perimeter Space (Zoning Sec 5.5.3.C.iv.b) | 10-foot-deep landscape area along perimeter of lot | <u>0 feet for 179 feet along northern edge</u> | No | 1. A landscape waiver is required. 2. <i>It is supported by staff due to the limitations of the site and the fact that all but two of the required perimeter trees can be provided along the available perimeter.</i> |
| Parking Lot Perimeter Trees (Zoning Sec 5.5.3.C.iv.b) | 1 Canopy tree per 35 lf $600/35 = 17 \text{ trees}$ 225lf of parking lot does not have required 10- | <u>13 trees</u> 5 new trees + 8 existing trees Serviceberries cannot count as a perimeter tree | No | 1. Please indicate the perimeter for the entire parking area with a heavy line. It can be the green line on the image below, less the southern |

| Item | Required | Proposed | Meets Code | Comments |
|--|------------------------------|--|------------|---|
| | foot-wide landscaping strip. | unless they have to be used due to proximity to an overhead line. The tree in the northwest corner of the site is too far to count as a parking lot perimeter tree. | | <p>edge of the large interior island.</p> <ol style="list-style-type: none"> 2. Please clearly indicate what trees are parking lot perimeter trees. 3. Change the serviceberry west of the relocated light post to be a canopy tree with a minimum mature height of 30 feet and minimum canopy width of 20 feet – it can then be counted as a perimeter tree. 4. Move both of the trees near the west property line south 10 feet so they are both near the new paving. If they are too close to the overhead wires, three subcanopy trees should be used in place of the two canopy trees. 5. A landscape waiver would be required for the remaining deficiency of two trees, which is caused by proposed paving not leaving the required 10 feet of space for perimeter trees along 225lf of the new parking lot perimeter. <p><i>3. While not desirable, the waiver for 2 missing perimeter trees would be supported by staff due to the spatial limitations of the site.</i></p> |
| Other Landscaping | | | | |
| Other Screening (Zoning Sec 3.14, 3.15, 4.55, 4.56) | | | | |
| Screening of outdoor | | The loading area is | TBD | <u>If a loading zone is</u> |

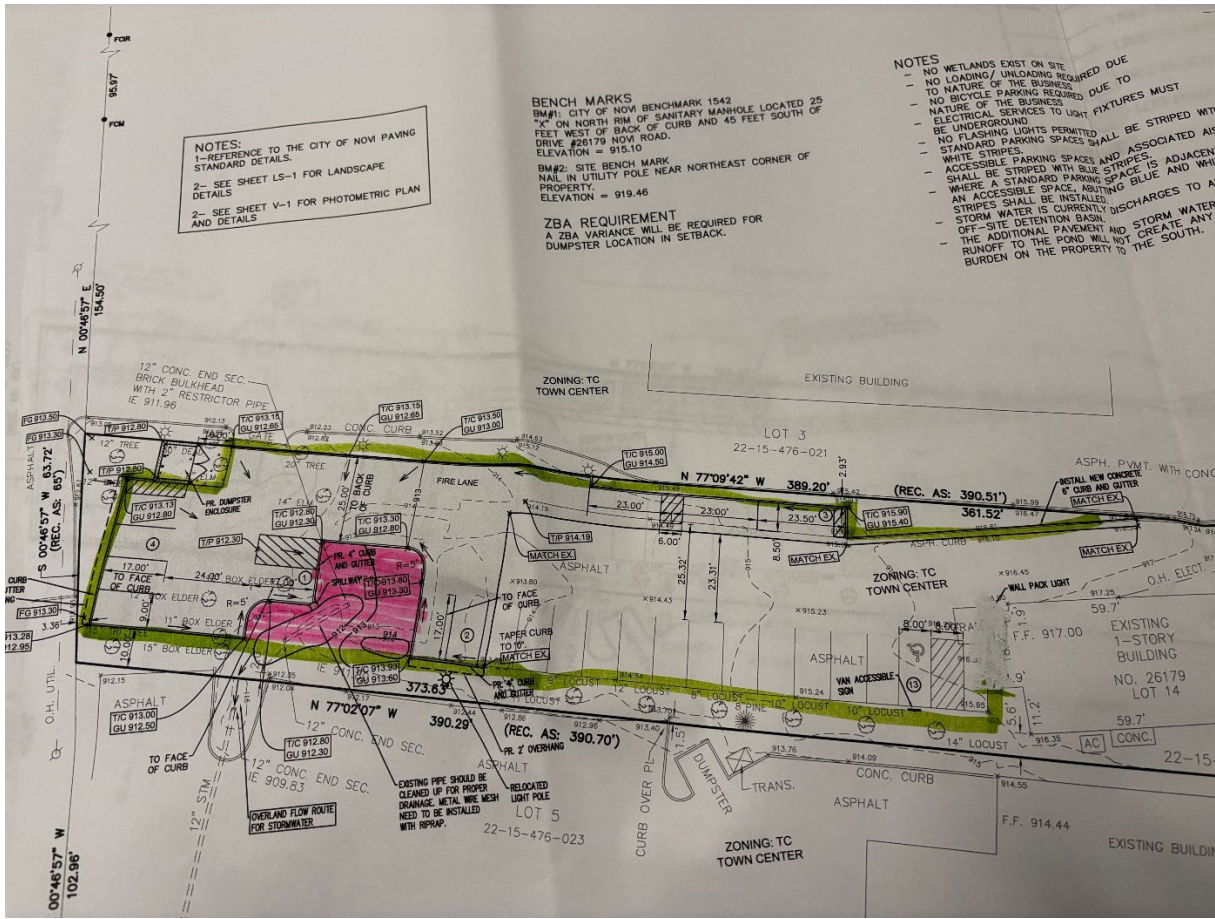
| Item | Required | Proposed | Meets Code | Comments |
|---|--|-----------------------------------|------------|---|
| storage, loading/unloading | | not shown | | <u>shown, provide proper screening for the loading area such that the area is screened from Novi Road.</u> |
| Transformers/Utility boxes (LDM 6) | <ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors | No new utility boxes are proposed | NA | |
| Building Foundation Landscape Requirements (Zoning Sec. 5.5.3.d) | | | | |
| Interior site landscaping | <p>Required foundation area = Perimeter less doors x 8</p> <p>Landscaping should be at foundation</p> <p>Minimum of 75% of building shall be landscaped</p> | No new landscaping is proposed | Yes | <ol style="list-style-type: none"> 1. Since the building is not increasing in size, no landscaping in addition to what was on the approved plan is required. 2. Please restore all weak, dead or missing landscaping. |
| Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.e & LDM 3) | | | | |
| Planting requirements | <ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond. Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix | No detention is proposed | TBD | <ol style="list-style-type: none"> 1. If detention is required, and above-ground detention is used, the currently required detention basin landscaping must be provided. 2. Parking lot interior and perimeter trees may count toward the detention basin requirement if they are within 15 feet of the permanent water line. |
| Phragmites & Japanese Knotweed Control (Zoning Sec 5.5.6.B.vii) | <ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. | None indicated | TBD | <ol style="list-style-type: none"> 1. <u>Please survey the site and detention pond for any populations of Phragmites australis and/or Japanese knotweed and add plans for its</u> |

| Item | Required | Proposed | Meets Code | Comments |
|---|---|---|------------|---|
| | <ul style="list-style-type: none"> Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. | | | <u>complete removal if any is found.</u> 2. <u>If none is found, please indicate that on the survey.</u> |
| LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS | | | | |
| Landscape Notes – Utilize City of Novi Standard Notes (Zoning Sec 5.5.5 & 5.5.6 & LDM 10.h.(14)) | | | | |
| Installation date | <ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. | Yes | Yes | |
| Maintenance & Statement of intent | <ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. | Yes | Yes | |
| Plant source | Shall be northern nursery grown, No.1 grade. | Yes | Yes | |
| Irrigation plan (Zoning Sec 5.5.6.B & LDM 10.I & m.) | A method for providing the water required for plant establishment and long-term survival must be provided. | No indication is given of how plantings will be provided with sufficient water for establishment and long-term survival | TBD | 1. <u>Need for final site plan</u> 2. <u>Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants</u> 3. <u>If an irrigation system is used, it should meet the requirements listed at the end of the chart.</u> 4. <u>If an existing irrigation system will be modified to include the new landscape areas, a note to that effect must be added to the plan.</u> |
| Establishment period (Zoning Sec 5.5.6.B) | 2 yr. Guarantee | Yes | Yes | |
| Approval of substitutions. (Zoning Sec 5.5.5.E) | City must approve any substitutions <u>in writing</u> prior to installation. | Yes | Yes | |
| Plant List (LDM 4, 11) – Include all cost estimates | | | | |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|--|---|--|
| Quantities and sizes | <ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. No Prohibited Species listed on Table 11.b.(2)b may be used. | A plant list is provided | Yes | |
| Root type | | Yes | Yes | |
| Botanical and common names | | <ul style="list-style-type: none"> 2 of 8 species (25%) used are native to Michigan (serviceberry and prairie dropseed) Tree diversity is satisfactory | <ul style="list-style-type: none"> No Yes | <ol style="list-style-type: none"> Change species composition to use natives for at least 50% of the species Only use canopy trees with a minimum mature height of 30 feet and minimum mature width of 20 feet for parking lot perimeter and interior trees – English Beech and serviceberry do not qualify. |
| Type and amount of lawn | | Sod | Yes | |
| Cost estimate (LDM 2.t) | For all new plantings, mulch and sod as listed on the plan | No | | Please add to Final Site Plans using these standard costs: <ul style="list-style-type: none"> Canopy tree: \$400 ea Subcanopy tree: \$400 ea Shrub: \$50 ea. Perennial: \$15 ea. Mulch: \$35/cyd |
| Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details | | | | |
| Canopy Deciduous Tree | Refer to LDM for detail drawings | Yes | Yes | |
| Evergreen Tree | | No | NA | |
| Multi-stem Tree | | Yes | Yes | |
| Shrub | | Yes | Yes | |
| Perennial/ Ground Cover | | No | NA | |
| Tree stakes and guys. (Wood stakes, fabric guys) | | Yes | Yes | |
| Tree protection fencing | Located at Critical Root Zone (1' outside of dripline) | No | No | Please add a tree protection fence detail and add tree fencing to protect trees near the work that are saved. |
| Other Plant Material Requirements (LDM 3) | | | | |
| General Conditions (LDM 3.a) | Plant materials shall not be planted within 4 ft. of property line | A note in the list of notes is included but no callout at the property line | No | Please add a callout note near the property lines. |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|--|------------|--|
| Plant Materials & Existing Plant Material <i>(LDM 3.b)</i> | Clearly show trees to be removed and trees to be saved. | As noted above, some trees from the survey were removed within the last 5 years or so and are not shown on the survey. | No | <ol style="list-style-type: none"> 1. Please add the trees that were removed over the last 3-5 years to the tree survey. This can be done from old aerial photos of the site. 2. Please add all trees that were removed or will be removed on the demolition plan. 3. <u>Do not show removed trees on the landscape plan, but do show existing trees to remain on the landscape plan.</u> |
| Landscape tree credit <i>(LDM3.b.(d))</i> | <ul style="list-style-type: none"> • Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. • Refer to Landscape tree Credit Chart in LDM | No | | |
| Plant Sizes for ROW, Woodland replacement and others <i>(LDM 3.c)</i> | Refer to Landscape Design Manual for requirements | On plant list | Yes | |
| Plant size credit <i>(LDM3.c.(2))</i> | NA | No | | |
| Prohibited Plants <i>(LDM 3.d)</i> | No plants on City Invasive Species List | No prohibited plants are used | | |
| Recommended trees for planting under overhead utilities <i>(LDM 3.e)</i> | Label the distance from the overhead utilities | Utility lines are called out along the south property line | Yes | |
| Collected or Transplanted trees <i>(LDM 3.f)</i> | | None | | |
| Nonliving Durable Material: Mulch <i>(LDM 4)</i> | <ul style="list-style-type: none"> • Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth • Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. | On details | Yes | |

| Item | Required | Proposed | Meets Code | Comments |
|---|----------|----------|------------|----------|
| <p>NOTES:</p> <ol style="list-style-type: none"> This table is a working summary chart and is not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals. | | | | |



Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

WETLAND REVIEW

May 18, 2026

Diana Shanahan
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to dshanahan@cityofnovi.org

Re: Forma Beauty Salon – Wetland Review (Preliminary/Final Site Plan; JSP26-0014)

Dear Diana,

Merjent, Inc. (Merjent) has conducted a site plan review of the preliminary/final site plan (PSP/FSP) for the Forma Beauty Salon (site; Project). The following plan was provided:

- One plan prepared by Orman Engineering, LLC dated March 18, 2026. This plan contains the primary design/engineering information for the FSP, including proposed parking lot expansion and associated landscaping.

Merjent reviewed the plan for conformance with the City of Novi's (City) Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V and Section 3.6(2)(M) of the City's Zoning Ordinance. The site is located at 26179 Novi Road in Section 15 of the City. Development is proposed within Parcel 50-22-15-476-022. The site plan depicts a feature labeled "POND" in the northwest corner of Lot 4 (**Figure 1**).

Wetlands

Wetland Recommendation: Merjent **recommends approval** of the Forma Beauty Salon FSP with respect to wetland and watercourse requirements. No regulated wetlands are present on-site and no wetland-related permits are required for this Project.

Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (**Figure 1**).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (provided in Pre-app Review). NWI and MIRIS wetlands are identified by the associated governmental bodies' interpretation of topographic data and aerial photographs.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resources Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website.

Permits and Regulatory Status

Merjent visited the Site on May 15, 2026 to observe conditions on-site relative to the provided PSP/FSP. The feature labeled "POND" on the submitted landscape plan (LS-1) is located in the southwest corner of Lot 4 and contains an engineered spillway and 4-inch restrictor pipe. Merjent found conditions on-site consistent with a very small constructed stormwater detention basin with no wetland vegetation present; the area immediately surrounding the feature consisted of cover dominated by Kentucky bluegrass (*Poa pratensis*), red fescue (*Festuca rubra*), common/English plantain (*Plantago major*), and common dandelion (*Taraxacum officinale*), consistent with common lawn seeding in a maintained upland setting. No hydrophytic vegetation, wetland hydrology indicators, standing/ponded water, or other surficial wetland characteristics were observed at the time of the site visit. The area receives incidental runoff from the adjacent parking lot but does not exhibit surface inundation, saturation, or other primary or secondary wetland hydrology indicators, aside from geomorphic position.

Per Section 12-152 of the City's Code of Ordinances, "watercourse" is explicitly defined to include detention basins, and such features are distinct from regulated wetlands under Chapter 12, Article V. Furthermore, pursuant to MCL 324.30305(4)(b), a wetland incidentally created as a result of the construction and operation of a stormwater facility in compliance with state or federal water pollution control laws is not subject to regulation under Part 303 (Wetlands Protection) of the Michigan Natural Resources and Environmental Protection Act, Public Act 451 of 1994, as amended (NREPA). As a local wetland ordinance operating under the authority of Part 303, the City of Novi cannot require a permit for activities exempted from regulation under state law, nor can it regulate features that do not meet the definition of a regulated wetland. Accordingly, this feature is not subject to Chapter 12 Article V jurisdiction.

It should be noted that this site visit did not constitute an official Wetland Delineation Pursuant to the guidance set forth in the 1987 U.S. Army Corps of Engineers Wetland Delineation Manual nor the applicable 2010 Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (Version 2.0).

Due to the comments below, the following wetland-related items will be required for this project:

| Item | Required/Not Required |
|--|-----------------------|
| Wetland Permit (specify Non-minor or Minor) | Not Required |
| Wetland Mitigation | Not Required |
| Environmental Enhancement Plan | Not Required |
| Wetland Buffer Authorization | Not Required |
| EGLE Wetland Permit | Likely Not Required* |
| Wetland Conservation Easement | Not Required |

*Requirements for EGLE permits cannot be determined by Merjent nor the City of Novi. Final jurisdictional determination of wetland permits in the State of Michigan is at the discretion of EGLE.

Wetland Review Comments

1. The feature labeled "POND" on the submitted landscape plan (LS-1) is consistent with a constructed stormwater detention basin based on the presence of engineered outlet control infrastructure (spillway and 4-inch restrictor pipe) and the absence of wetland vegetation, hydrology indicators, or wetland soils as observed during the May 15, 2026 site visit. Pursuant to MCL 324.30305(4)(b) and the definition of "watercourse" under Section 12-152 of the City's Code of Ordinances, this feature does not constitute a regulated wetland under Chapter 12, Article V. Accordingly, no wetland permit is required from the City of Novi for this Project. The applicant should provide documentation of the

original site plan approval and/or stormwater management plans associated with this feature at the time of final site plan approval to support this determination. The City may also have copies of the approved drainage designs on file.

2. No impacts to wetlands are proposed for this Project; therefore, no wetland mitigation is required.
3. The proposed parking lot expansion and associated landscaping do not propose any impacts to the pond feature. Provided the final site plan confirms no grading, filling, or other regulated activity within or adjacent to the feature, a Wetland Use Permit under Chapter 12 is not required for this Project.

As discussed above, the "pond" feature does not constitute a regulated wetland under Chapter 12, Article V and does not trigger the 25-foot wetland and watercourse setback. No Wetland Buffer Authorization is required for this Project.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Wetlands Map
Attachment A – Site Photographs

CC:

Stacey Choi, City of Novi, schoi@cityofnovi.org
Rick Meader, City of Novi, rmeader@cityofnovi.org
Barbara McBeth, City of Novi, bmcbeth@cityofnovi.org
Matt Pudlo, Merjent, matt.pudlo@merjent.com

Figure 1. City of Novi Regulated Wetlands Map
Approximate Site boundary is shown in red.
(Approximate) Regulated Wetland areas are shown in blue.



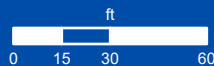
Date Printed: 4/3/2026

Map Author:

Scale: 1 inch = 81 feet



City of Novi Wetlands Map



City of Novi
Civic Center
45175 Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Attachment A
Site Photographs



Overview of the stormwater pipe/area on-site



Overview of the stormwater pipe/area on-site

TRAFFIC REVIEW



AECOM
39575 Lewis Dr, Ste. 400
Novi
MI, 48377
USA
aecom.com

Project name:
JSP26-14 – Forma Beauty Salon Parking
Combined Preliminary and Final Traffic Review

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

From:
AECOM

Date:
May 19, 2026

CC:
Lindsay Bell, Humna Anjum, Diana Shanahan, Milad
Alesmail, Stacey Choi, Kate Purpura

Memo

Subject: JSP26-14 – Forma Beauty Salon Parking Combined Preliminary and Final Traffic Review

The combined preliminary and final site plan was reviewed to the level of detail provided and AECOM recommends **approval** as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Forma Beauty Salon, is proposing revisions and an extension to the existing parking lot.
2. The development is located on the west side of Novi Road, south of Crescent Boulevard. Novi Road is under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned TC (Town Center).
4. There are no traffic related deviations required at this time.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as the footprint of the building is not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

| Trip Impact Study Recommendation | |
|----------------------------------|---------------|
| Type of Study: | Justification |
| None | - |

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

| EXTERNAL SITE ACCESS AND OPERATIONS | | | | |
|-------------------------------------|---|----------|------------|----------------------|
| No. | Item | Proposed | Compliance | Remarks |
| 1 | Driveway Radii O Figure IX.3 | - | N/A | No changes proposed. |
| 2 | Driveway Width O Figure IX.3 | - | N/A | No changes proposed. |
| 3 | Driveway Taper O Figure IX.11 | | | |
| 3a | Taper length | - | N/A | |
| 3b | Tangent | - | N/A | |
| 4 | Emergency Access O 11-194.a.19 | - | N/A | No changes proposed. |
| 5 | Driveway Sight Distance O Figure VIII-E | - | N/A | No changes proposed. |
| 6 | Driveway Spacing | | | |
| 6a | Same-side O 11.216.d.1.d | - | N/A | No changes proposed. |
| 6b | Opposite side O 11.216.d.1.e | - | N/A | No changes proposed. |
| 7 | External Coordination (Road Agency) | - | N/A | No changes proposed. |
| 8 | External Sidewalk Master Plan & EDM | - | N/A | No changes proposed. |
| 9 | Sidewalk Ramps EDM 7.4 & R-28-K | - | N/A | No changes proposed. |
| 10 | Any Other Comments: | | | |

| INTERNAL SITE OPERATIONS | | | | |
|--------------------------|---|--|------------|---|
| No. | Item | Proposed | Compliance | Remarks |
| 11 | Loading Zone ZO 5.4 | None proposed | N/A | The applicant indicated that no deliveries are anticipated. |
| 12 | Trash Receptacle ZO 5.4.4 | Proposed in rear of site | Met | |
| 13 | Emergency Vehicle Access | No turning movements provided, fire lane indicated | N/A | See Fire review letter. |
| 14 | Maneuvering Lane ZO 5.3.2 | 24' and 25.32' | Met | |
| 15 | End Islands ZO 5.3.12 | | | |
| 15a | Adjacent to a travel way | Dimensions provided | Met | |
| 15b | Internal to parking bays | None proposed | N/A | |
| 16 | Parking Spaces ZO 5.2.12 | 23 proposed | | See Planning review letter. |
| 17 | Adjacent Parking Spaces ZO 5.5.3.C.ii | <15 spaces per bay | Met | |

| INTERNAL SITE OPERATIONS | | | | |
|--------------------------|---|---|------------|--|
| No. | Item | Proposed | Compliance | Remarks |
| 18 | Parking Space Length ZO 5.3.2 | 17' with 2' overhang and 23' parallel | Met | |
| 19 | Parking Space Width ZO 5.3.2 | 9' and 8.5' parallel | Met | |
| 20 | Parking Space Front Curb Height ZO 5.3.2 | 4" proposed curb in front of parking spaces | Met | |
| 21 | Accessible Parking – number ADA | 1 required, 1 existing | Met | |
| 22 | Accessible Parking – size ADA | - | N/A | No changes proposed. |
| 23 | Number of Van Accessible Space ADA | - | N/A | No changes proposed. |
| 24 | Bicycle Parking | | | |
| 24a | Requirement ZO 5.16.1 | None proposed | N/A | The applicant indicated bicycle parking spaces are not required. |
| 24b | Location ZO 5.16.1 | - | N/A | |
| 24c | Clear Path from Street ZO 5.16.1 | - | N/A | |
| 24d | Height of Rack ZO 5.16.5.B | - | N/A | |
| 24e | Other (Covered / Layout) ZO 5.16.1, Text Amendment 18.301 | - | N/A | |
| 25 | Sidewalk – min 5' wide Master Plan | None proposed | N/A | |
| 26 | Sidewalk Ramps EDM 7.4 & R-28-K | - | N/A | |
| 27 | Sidewalk – distance back of curb EDM 7.4 | - | N/A | |
| 28 | Cul-De-Sac O Figure VIII-F | - | N/A | |
| 29 | EyeBrow O Figure VIII-G | - | N/A | |
| 30 | Turnaround ZO 5.10 | - | N/A | |
| 31 | Any Other Comments: | | | |

| SIGNING AND STRIPING | | | | |
|----------------------|--|----------|------------|---------|
| No. | Item | Proposed | Compliance | Remarks |
| 32 | Signing - sizes MMUTCD | - | N/A | |
| 33 | Signing Table - quantities and sizes | - | N/A | |
| 34 | Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD | - | N/A | |
| 35 | Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD | - | N/A | |
| 36 | Sign bottom height of 7' from final grade MMUTCD | - | N/A | |
| 37 | Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD | - | N/A | |

| SIGNING AND STRIPING | | | | |
|----------------------|--|-----------------|----------------------|---|
| No. | Item | Proposed | Compliance | Remarks |
| 38 | FHWA Standard Alphabet series used for all sign language MMUTCD | - | N/A | |
| 39 | High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD | - | N/A | |
| 40 | Parking space striping notes | Color indicated | Partially Met | Note proposed pavement marking 4" width. |
| 41 | The international symbol for accessibility pavement markings ADA | - | N/A | |
| 42 | Crosswalk Pavement Marking Detail | - | N/A | |
| 43 | Any Other Comments: | | | |

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

FIRE REVIEW



May 1, 2026

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Matt Heintz

Priya Gurumurthy

Aaron Martinez

City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

RE: Forma Beauty Salon Parking

JSP26-0014
PSP26-018

Project Description:

Parking lot upgrades to existing building site.

Comments:

- Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane – no parking" signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S Sec. 158-99(a).)**

Recommendation:

The Fire Dept. does not have any objections at this time.

Sincerely,

Andrew Copeland – Fire Marshal
City of Novi Fire Department
cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



Ecological

**483 Parkland Drive
Rochester Hills, MI 48307**

June 1, 2026

PN: 26-014

Sent via email: alex@ormanengineering.com

Alex Orman
Orman Engineering
5476 Vivian Lane
Waterford, MI 48327

**RE: Pre-Application Review Comments
26179 Novi Road (22-15-476-022) – Forma Beauty Salon
Novi, Oakland County, Michigan**

Dear Mr. Orman:

Please find below our responses to the comments received by the City of Novi.

- All canopy interior landscape trees are provided and ordinance has been met.
- Some perimeter parking lot trees were converted to full canopy while maintaining two sub-canopy trees due to existing utilities. Waiver will be granted due to site restrictions.
- Over 50% of the plant schedule is now native species to Michigan (although cultivars are used to promote greater viability due to urban conditions). City of Novi approved the use of native cultivars.
- Both the vehicle use area, perimeter parking, and landscape island limits have been bolded and clearly identified.
- Based upon Merjent's consultant letter, TKP Ecological agrees with their assessment that no additional permitting is required for wetlands, streams, and/or inland lakes or ponds.
- City of Novi irrigation notes were added to LS-2 plan sheet.
- General comments regarding freezing/ turning off information were completed.

Thank you for your patience as we coordinated the revisions.

Sincerely,

Theresa Pardington, PLA, PWS
Owner

TKP Ecological, LLC
(313) 815-8191
email: tpardington@tkpeco.com



44725 GRAND RIVER (DAMAS BUILDING) PARKING EXPANSION JSP26-07

44725 GRAND RIVER (DAMAS BUILDING) PARKING EXPANSION JSP26-07

Consideration at the request of Versa Real Estate for approval of the Preliminary Site Plan. The property is located east of Taft Road and south of Grand River Avenue (Section 15). The applicant proposes site improvements including the addition of 20 parking spaces.

Required Action

Approval or denial of the Preliminary Site Plan.

| REVIEW | RESULT | DATE | COMMENTS |
|-------------|--------------------------|----------|---|
| Planning | Approval Recommended | 05/26/26 | <ul style="list-style-type: none"> • Zoning Board of Appeals (ZBA) variances required: <ul style="list-style-type: none"> • under Section 5.2.12.D for the deficiency in 22 parking spaces (108 required, 86 provided) • under Section 3.1.18.D for the deficiency in parking setback on the west side (10 feet required, 6.2 feet proposed) • Items to be addressed at Final Site Plan submittal |
| Engineering | Approval Recommended | 05/20/26 | <ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal |
| Landscape | Approval Not Recommended | 05/15/26 | <ul style="list-style-type: none"> • Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees (not supported by staff) • Landscape waiver under Section 5.5.3.C.iv.b for deficiency in parking lot landscape area along west side (not supported by staff) • Items to be addressed at Final Site Plan submittal |
| Wetland | Approval Recommended | 05/21/26 | <ul style="list-style-type: none"> • Wetland Buffer Authorization required • Items to be addressed at Final Site Plan submittal |
| Woodland | Approval Recommended | 05/21/26 | <ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal |
| Traffic | Approval Recommended | 05/21/26 | <ul style="list-style-type: none"> • Items to be addressed at Final Site Plan submittal |
| Fire | Approval Recommended | 05/04/26 | <ul style="list-style-type: none"> • Meets Fire Department standards |

MOTION SHEET:

Approval – Preliminary Site Plan

In the matter of 44725 Grand River (Damas Building) JSP26-07, motion to **approve** the Preliminary Site Plan based on and subject to the following:

1. The Zoning Board of Appeals granting the following variances:
 - i. Section 3.1.18.D of the Zoning Ordinance for the deficiency in parking setback on the west property line (*10 feet required, 6.2 feet proposed*).
 - ii. Section 5.2.12.D of the Zoning Ordinance for the deficiency in 22 parking spaces (*108 total parking spaces are required for medical office and business office use, 86 spaces are provided*).
2. A Landscape waiver under Section 5.5.3.C.iv.a for deficiency in parking lot perimeter trees due to site layout conditions which limit the ability to comply (*6 trees required, 3 trees provided*), which is hereby granted;
3. A Landscape waiver under Section 5.5.3.C.iv.b for deficiency in parking lot perimeter landscape area along west side due to site layout conditions which limit the ability to comply (*10 feet required, 0 feet provided*), which is hereby granted;
4. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
5. (*additional conditions here, if any*)

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan

In the matter of 44725 Grand River (Damas Building) JSP26-07, motion to **deny** the Preliminary Site Plan... (*because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*)

MAPS

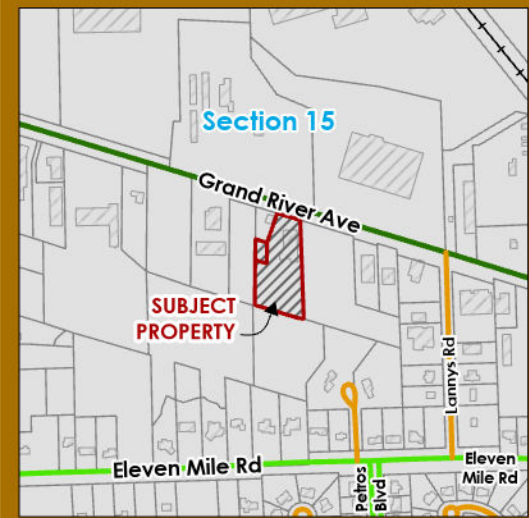
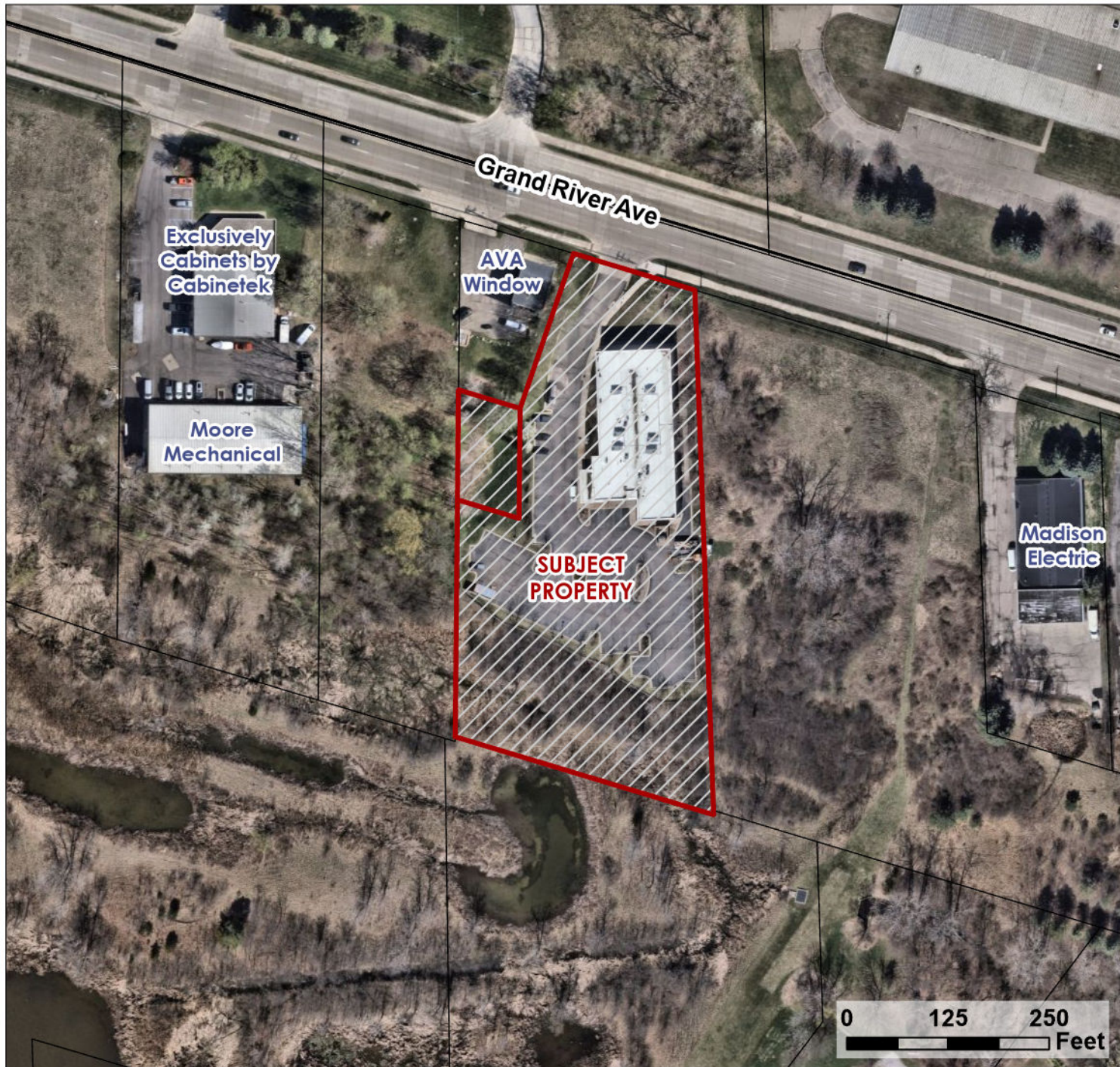
Location

Zoning

Future Land Use

Natural Features

44725 GRAND RIVER PARKING EXPANSION LOCATION MAP



LEGEND

 Subject Property

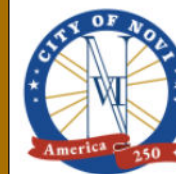
Thoroughfare Classification

 Arterial

 Residential Collector

 Local Residential Street

 Railroad



Map Author: Diana Shanahan
Project: 44725 Grand River

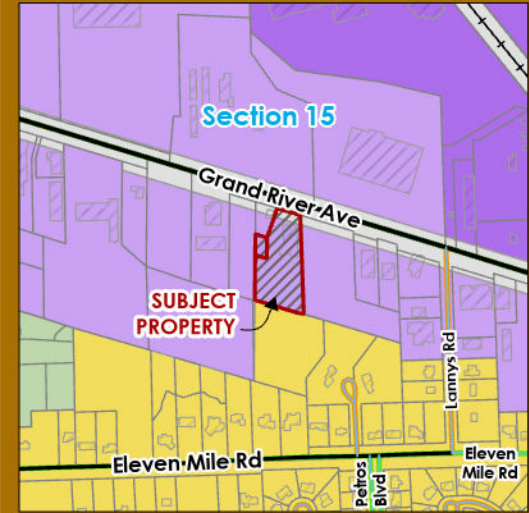
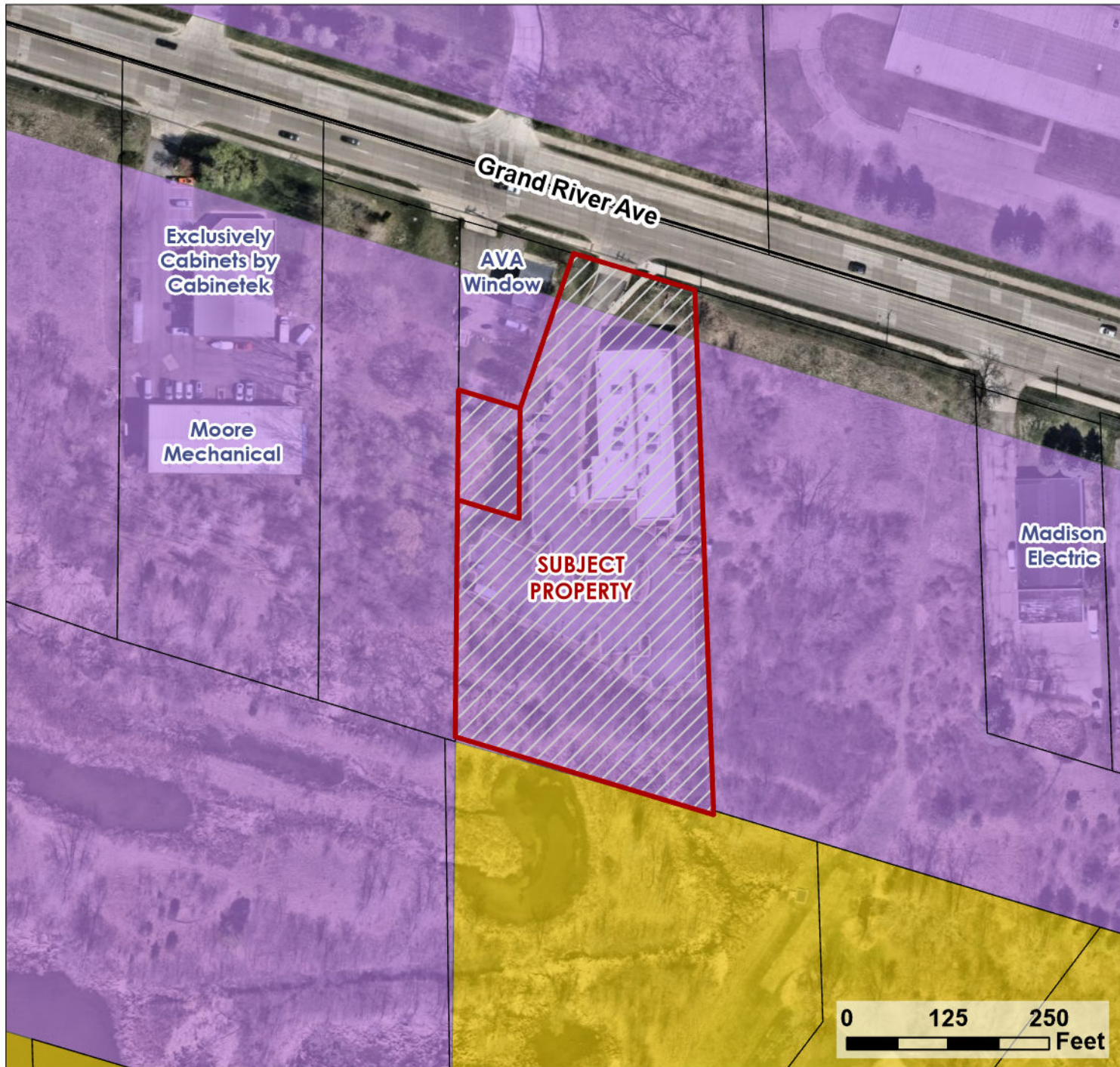
Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



44725 GRAND RIVER PARKING EXPANSION ZONING MAP



LEGEND

 Subject Property

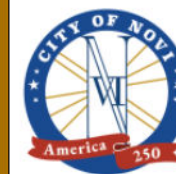
Zoning District

 I-1: Light Industrial

 I-2: General Industrial

 R-4: One-Family Residential

 RA: Residential Acreage



Map Author: Diana Shanahan
Project: 44725 Grand River

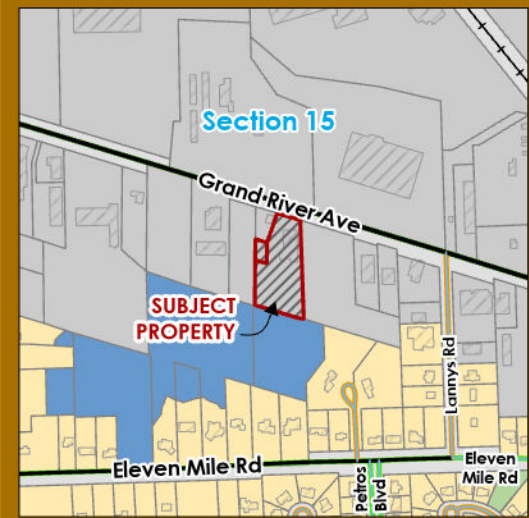
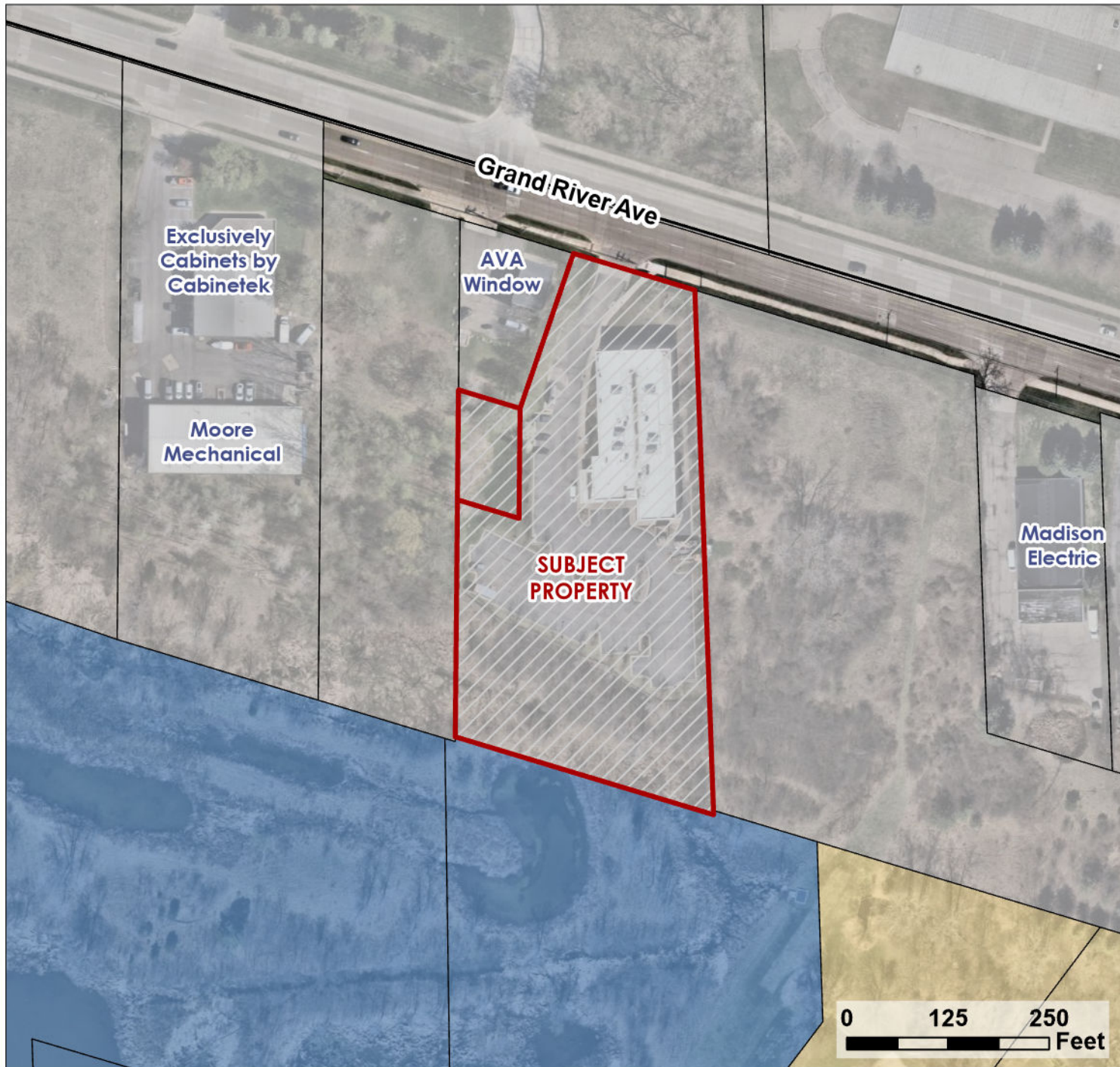
Date: 06/01/26
Version #: 1

City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
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44725 GRAND RIVER PARKING EXPANSION FUTURE LAND USE MAP



LEGEND

 Subject Property

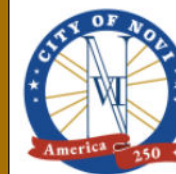
Future Land Use Category

 Single Family

 Private Park

 Public/Quasi-Public

 Industrial/Office



Map Author: Diana Shanahan
Project: 44725 Grand River

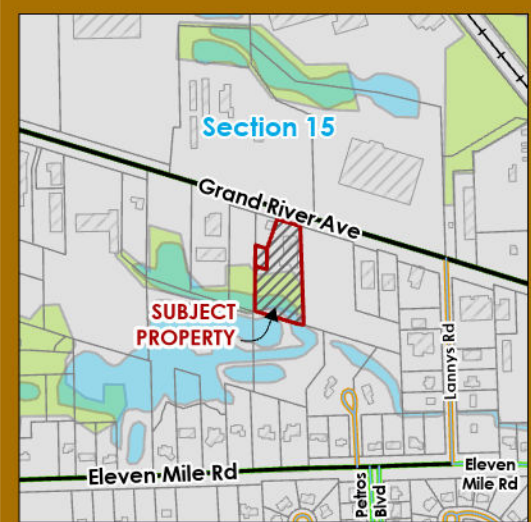
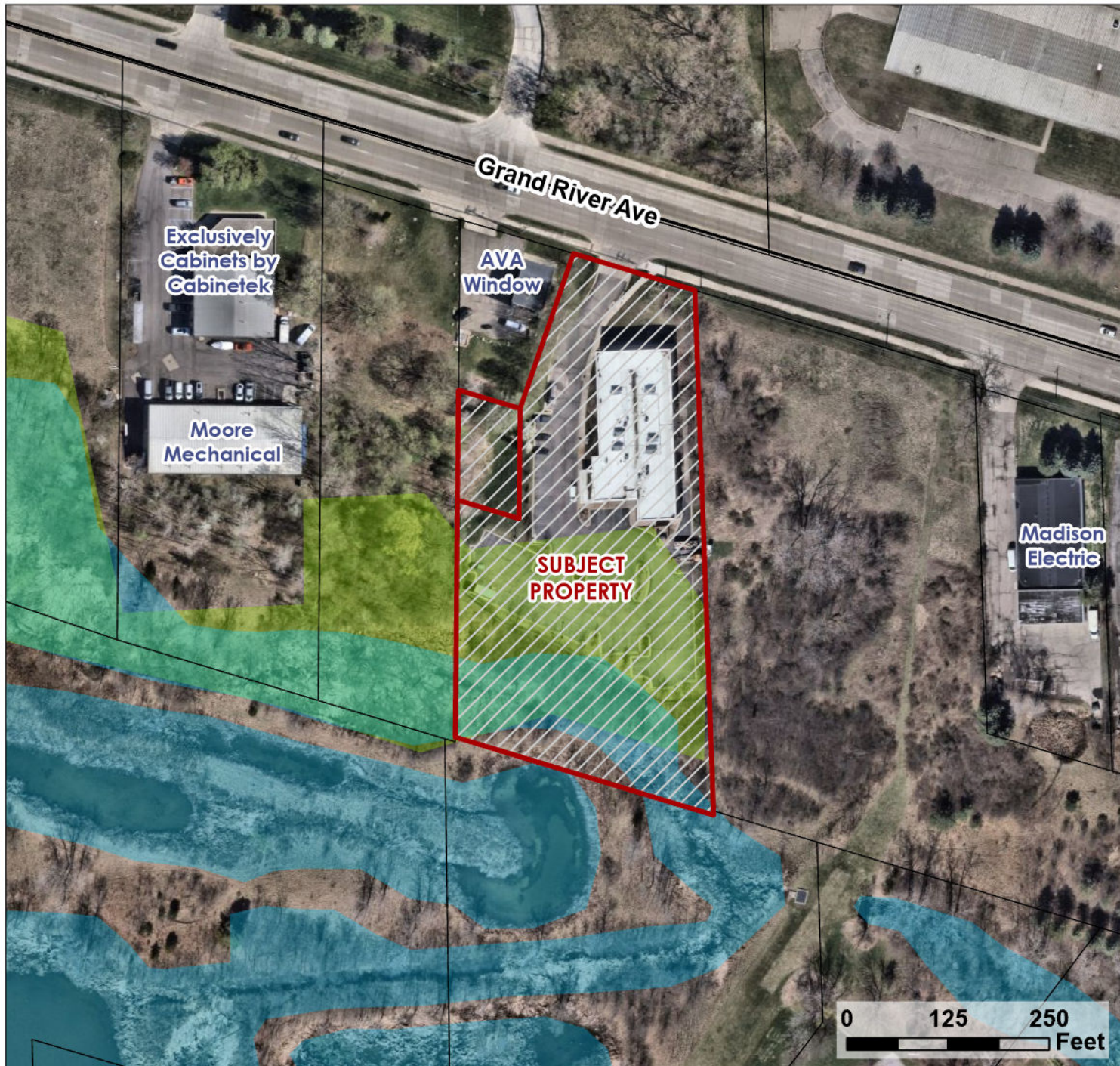
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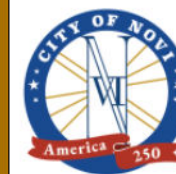


44725 GRAND RIVER PARKING EXPANSION NATURAL FEATURES MAP



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands



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Project: 44725 Grand River

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SITE PLAN



EXISTING LOADING DOCK LOCATED AT SOUTHEAST CORNER OF EXISTING BUILDING

NO BUILDING MODIFICATIONS ARE PROPOSED

PROPOSED 8 BICYCLE PARKING SPACES SEE DETAIL SHEET 10

RE-STRIPE AREA AS VAN-ACCESSIBLE BARRIER FREE PARKING SPACE

INSTALL VAN-ACCESSIBLE BARRIER FREE PARKING SPACE SIGN SEE DETAIL SHEET 10

FULL DEPTH SAWCUT & REMOVAL OF EXISTING PAVEMENT TO PROVIDE SMOOTH JOINT

CATCH BASIN RM=935.69 12' N 933.34 12' W 933.44

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GENERAL NOTES:

- 1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTER OF PIPE UNLESS OTHERWISE NOTED.
2. REFER TO CITY OF NOVA PAVING STANDARD DETAILS FOR ADDITIONAL DETAILS.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOVA CURRENT STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
5. ALL ON-SITE PARKING AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH MANITOBA PARKING STALL STRIPES SHALL BE 4" WIDE (ORLAND) AND WHITE.
6. THE ACCESSIBLE PARKING SPACE AND ASSOCIATED AISLE SHALL BE STRIPED WITH 4" BLUE STRIPES. THE STANDARD SPACE ADJACENT TO AN ACCESSIBLE SPACE, INCLUDING BULK AND WHITE STRIPES SHALL BE INSTALLED.
7. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BE UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, BURETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
9. NO BUILDING MODIFICATIONS ARE PROPOSED.

WOODLANDS NOTES:

TREES TO BE SAVED ARE TO BE PROPERLY PROTECTED, AS DESIGNATED BY THE CITY OF NOVA WOODLAND PROTECTION ORDINANCE.

ZONING:

I-1, LIGHT INDUSTRIAL DISTRICT PER CITY OF NOVA ZONING MAP

BUILDING SETBACKS:

FRONT: 40 FEET REAR: 20 FEET SIDES: 20 FEET PER CITY OF NOVA ZONING ORDINANCE

OUTDOOR STORAGE:

THERE IS NO OUTDOOR STORAGE PROPOSED FOR THIS SITE. OVERNIGHT PARKING OF DELIVERY VEHICLES WILL TAKE PLACE IN DESIGNATED PARKING AREAS ON THE SOUTH AND SOUTHEAST SIDES OF THE BUILDING.

HOURS OF OPERATION:

8:00 AM - 5:00 PM (MONDAY THROUGH FRIDAY)

PROJECT PHASING:

ONE PHASE - CONSTRUCTION TO COMMENCE SPRING 2026, COMPLETION SUMMER 2026

BUILDING INFORMATION:

PROPOSED BUILDING USE: OFFICE 1ST FLOOR BUSINESS OFFICE SPACE: 4,466 SF 1ST FLOOR MEDICAL OFFICE: 4,785 SF 2ND FLOOR MEDICAL OFFICE: 10,400 SF

PROPOSED PARKING DATA:

EXISTING PARKING: 66 SPACES, 3 BARRIER-FREE 1ST FLOOR BUSINESS OFFICE: 4,466 SF 1ST FLOOR MEDICAL OFFICE: 4,785 SF 2ND FLOOR MEDICAL OFFICE: 10,400 SF BUSINESS OFFICE=1 SPACE PER 222 GLA 4,466 (1ST FLOOR)/222= 20 SPACES MEDICAL OFFICE=1 SPACE PER 175 GLA 4,785 (2ND FLOOR)=10,400 (2ND FLOOR)= 15,185/175 = 87 SPACES

EXISTING PARKING TO BE REMOVED = 8 SPACES PROPOSED PARKING: 28 SPACES (1 BARRIER-FREE SPACE) 66-8=58+28=86 SPACES PROVIDED (4 BARRIER-FREE SPACES) TOTAL REQUIRED PARKING: 20+87=107 SPACES TOTAL PROVIDED PARKING: 86 SPACES (4 BARRIER-FREE SPACES)

NOTES:

ALL PAVING AND GRADING IMPROVEMENTS SHALL CONFORM TO THE CITY OF NOVA ENGINEERING DESIGN STANDARDS. DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO FACE OF CURB OR SIDEWALK. OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.

END ISLAND NOTE:

ALL END ISLANDS SHALL BE CONSTRUCTED 3 FT. SHORTER THAN THE ADJACENT PARKING SPACE WHEN ABUTTING A MANEUVERING AISLE.

SIDEWALK NOTE:

NO CHANGES TO THE EXISTING SIDEWALK ARE PROPOSED WITH THIS PROJECT.

SIGNAGE NOTE:

NO CHANGES TO THE EXISTING SITE SIGNAGE ARE PROPOSED WITH THIS PROJECT.

LIGHTING NOTES:

1. ALL ON-SITE POLE MOUNTED LIGHTS SHALL BE SHIELDED AND AIMED AT THE AREAS TO BE SECURED (PARKING SPACES, DRIVES, WALKS, ETC.) 2. BUILDING MOUNTED FIXTURES SHALL BE DESIGNED TO ILLUMINATE THE FACADE AND NOT ILLUMINATE THE LANDSCAPE AREAS OR PAVEMENT AREAS UNLESS SPECIFICALLY DESIGNED ON THESE PLANS.

GENERAL NOTES:

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVA.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.

ESTIMATED CONSTRUCTION MATERIALS:

Table with 2 columns: Material and Quantity. Includes 4" CURB & GUTTER (195 LF), 6" CURB & GUTTER (202 LF), ASPHALT PAVEMENT (9,630 SF), and 21A1A AGGREGATE BASE (9,630 SF).

* CONTRACTOR TO EVALUATE AND DETERMINE ACTUAL QUANTITIES, ONLY USE ABOVE TABLE AS REFERENCE

BENCHMARKS:

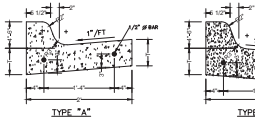
BM#1: ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)

BM#2: ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVENUE. ELEVATION: 942.45 (N.A.V.D. 88)

CITY_BM#1534: X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER ELEVATION: 941.28

INTEGRAL SIDEWALK AND CURB

FOR USE ON PRIVATE PROPERTY ALONG THE FRONT OF PROPOSED BUILDING

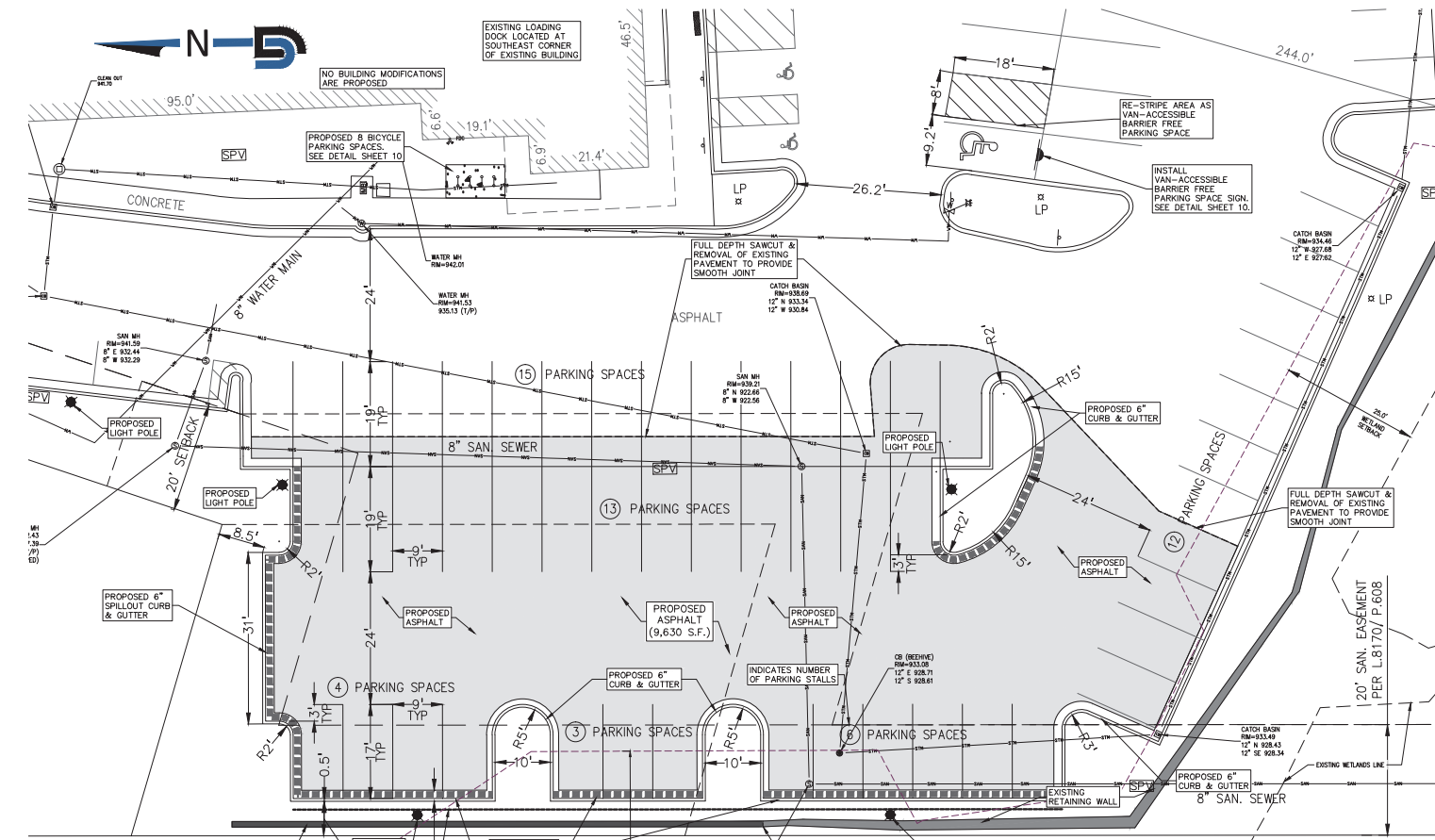


NOTE: 1/4" TOTAL ASPHALT THICKNESS OR 8" MIN. ON-SITE CURB NOT TO SCALE

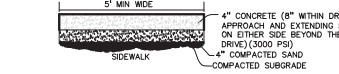
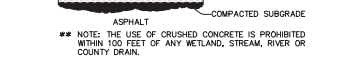
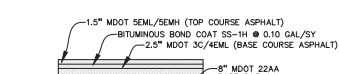
HATCH LEGEND



ALL PROPOSED PAVEMENT CROSS-SECTIONS ARE PER CITY OF NOVA SPECIFICATIONS, TYP.



PROPOSED RETAINING WALL TO MATCH EXISTING SEE DETAIL SHEET 10. PARCEL NO. 22-15-351-015



PROPOSED PARCEL LEGAL DESCRIPTION: PART OF THE SOUTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVA, OKLAHOMA COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT N007100°W 770.33 FEET AND N7349°03'W 1,181.31 FEET TO THE POINT OF BEGINNING; THENCE S02°39'19\"/>

THE ACCURACY OF THESE INFORMATIONAL DATA IS NOT GUARANTEED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF ALL UTILITIES BEFORE COMMENCING WORK AND ADVISED TO BE FULLY RESPONSIBLE FOR THE SAFETY OF THE WORKERS AND THE PUBLIC. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES AND ALL RESPONSIBILITIES.



Know what's below. Call before you dig.

CONSTRUCTION (SEE SAFETY) IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF ALL UTILITIES BEFORE COMMENCING WORK AND ADVISED TO BE FULLY RESPONSIBLE FOR THE SAFETY OF THE WORKERS AND THE PUBLIC. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES AND ALL RESPONSIBILITIES.

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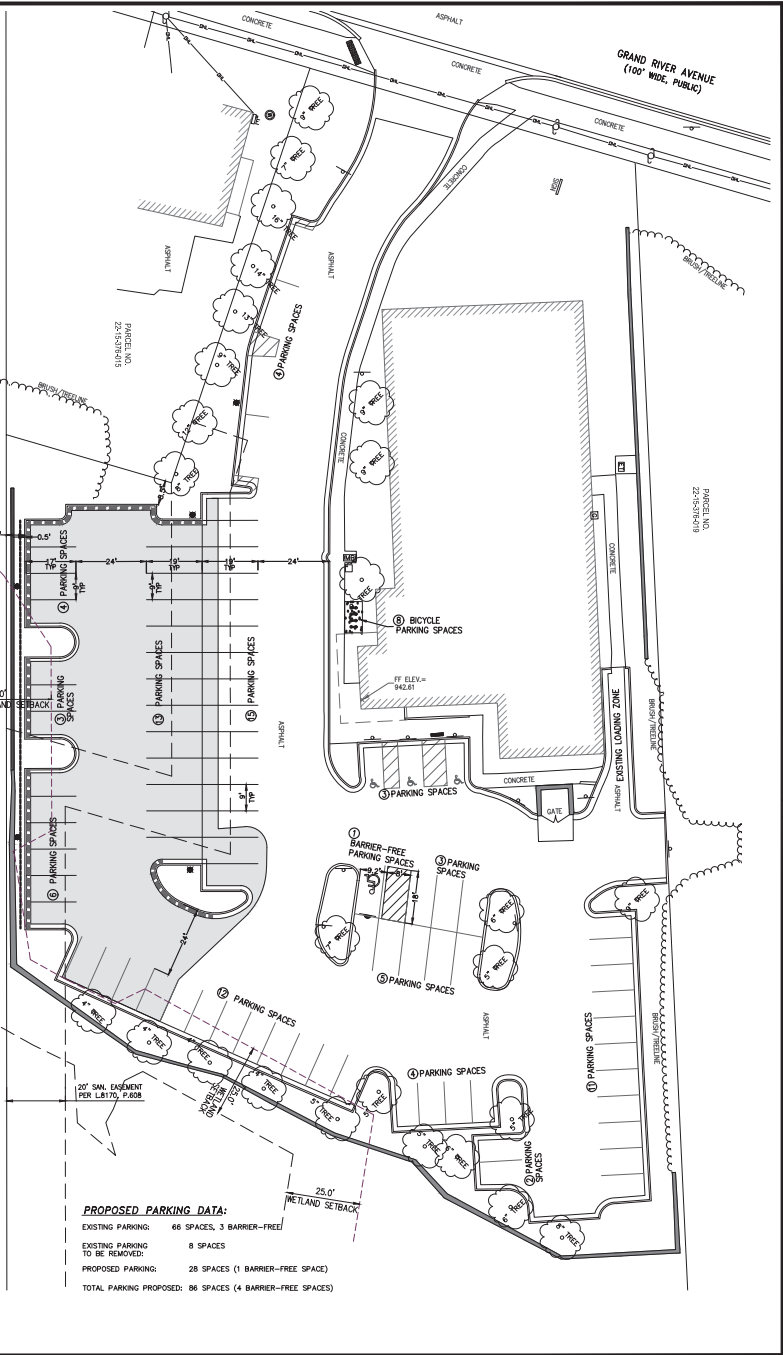
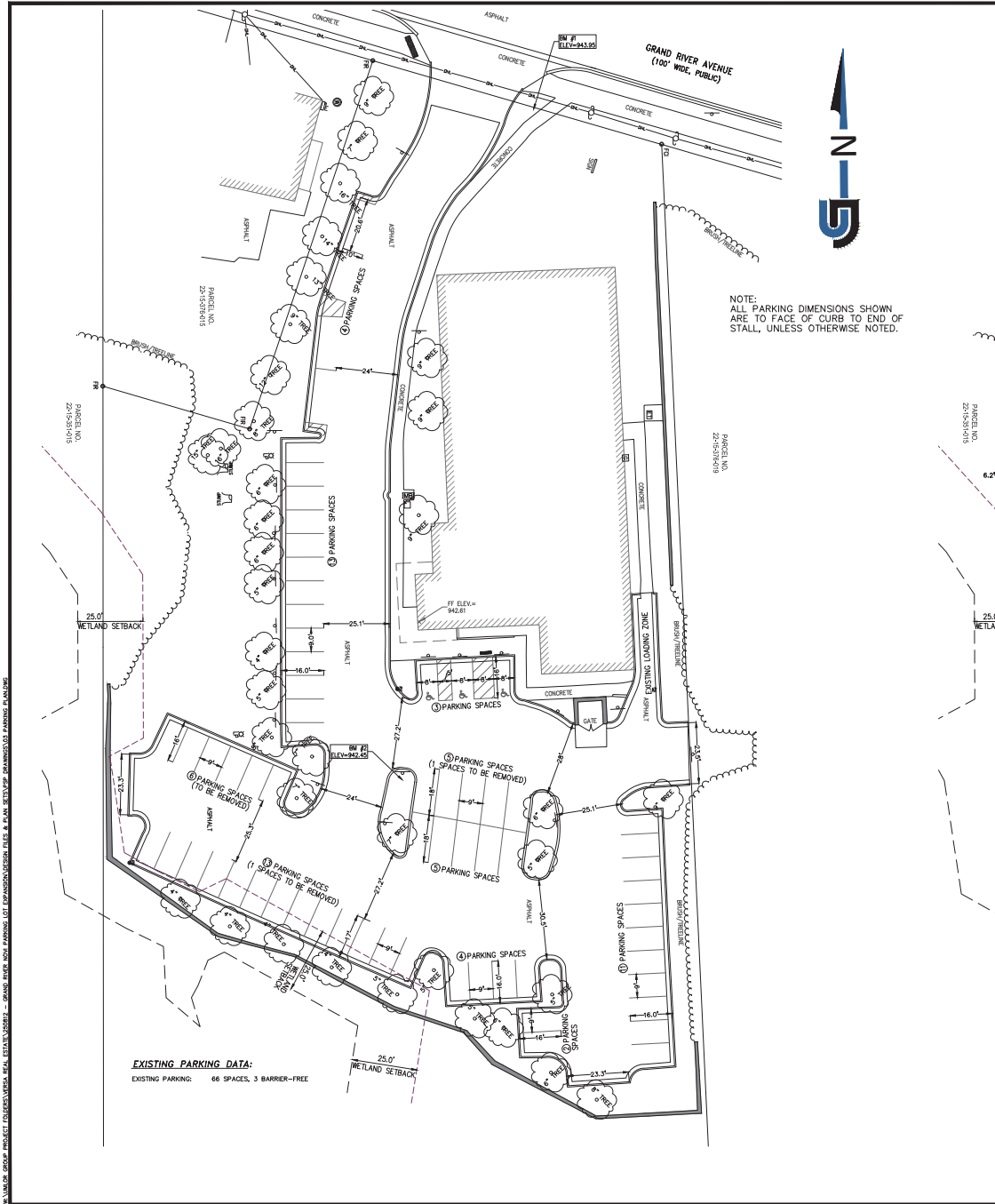
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EXISTING PARKING DATA:
 EXISTING PARKING: 66 SPACES, 3 BARRIER-FREE

PROPOSED PARKING DATA:
 EXISTING PARKING: 66 SPACES, 3 BARRIER-FREE
 EXISTING PARKING TO BE REMOVED: 8 SPACES
 PROPOSED PARKING: 28 SPACES (1 BARRIER-FREE SPACE)
 TOTAL PARKING PROPOSED: 86 SPACES (4 BARRIER-FREE SPACES)

THE LOCATION OF UTILITIES (UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE POSITION) HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IS REPRESENTED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK. OF PERSONS ENGAGED BY THE CONTRACTOR HEREIN TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811
 Know what's below.
 Call before you dig.
 CONSTRUCTION USE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. CALL 811 BEFORE YOU DIG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK. OF PERSONS ENGAGED BY THE CONTRACTOR HEREIN TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

These documents are instruments of service in support of the Public and are intended to be used by the contractor. The contractor shall be responsible for the safety of the work. OF PERSONS ENGAGED BY THE CONTRACTOR HEREIN TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DUMLOR
 14283 WEST ROAD WAXOM, MI 48393
 TEL 248.773.7555 • FAX 866.690.4307

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOV
 OAKLAND COUNTY, MICHIGAN

DATE: 11/14/2025
 REVISIONS:
 2025-2-16 PER CITY REVIEW
 2025-3-24 PER CLIENT
 2025-4-29 PER CITY REVIEW

CLIENT: **VERSA REAL ESTATE, LLC**
 44725 GRAND RIVER AVENUE
 PARCEL NOS. 22-15-376-012 & 22-15-376-016
 CITY OF NOV, OAKLAND COUNTY, MICHIGAN

DESIGNED BY: RMS
 DRAWN BY: JPD
 SCALE: 0 10 20
 SCALE: 1"=20'
 SHEET NO. 250311
3

Regulated Woodlands

City of Novi, Michigan

LEGEND

- Freeway
- Major Road
- Minor Road
- Railroad
- Woodlands
- Lakes
- Stream or Drain
- Parks
- City of Novi
- Novi Township

Community Development Department
40122 Fox Mlk Rd
Novi, MI 48372
(248) 347-0445
novi@novi.org

Information Technology Department
Geographic Information Services
40122 Fox Mlk Rd
Novi, MI 48372
(248) 347-0472
city@novi.org

INTERPRETATION NOTICE
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Novi, Michigan
City of Novi
GIS Division
Map Number: 001-0001
MyMapNumber: 001-0001-0001

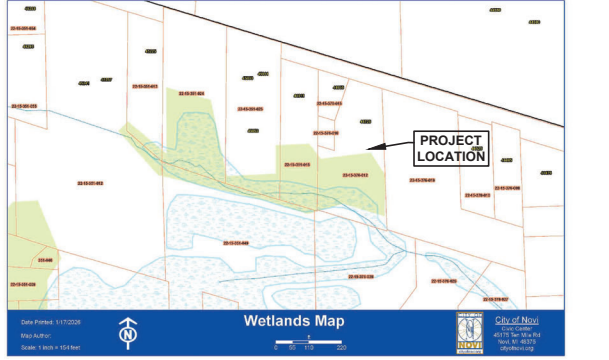
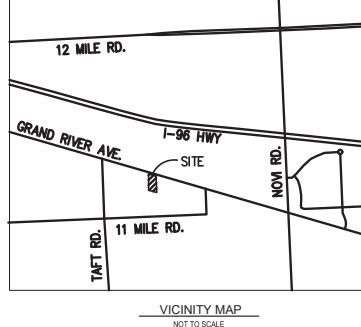
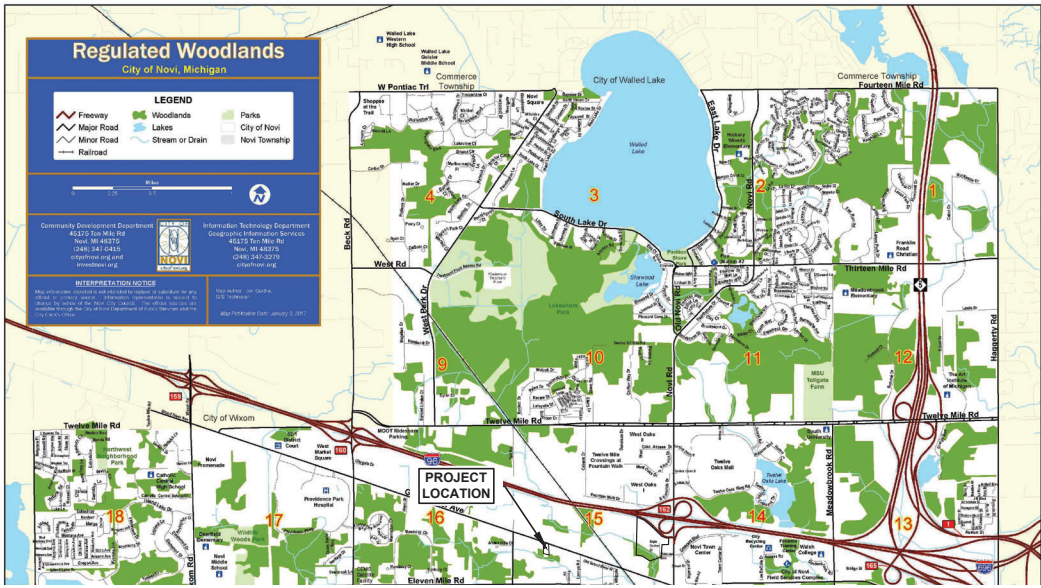
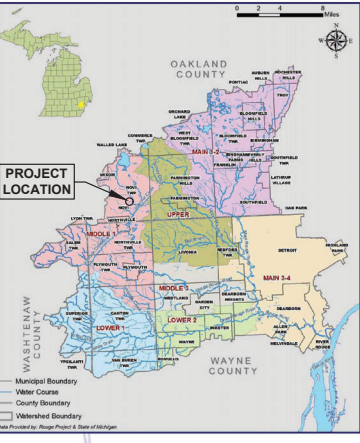
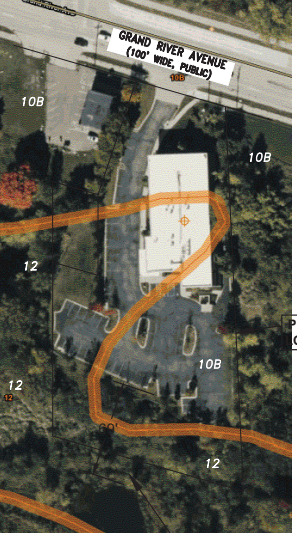


Figure 2-21 Rouge River Watershed



| SYMBOL | LEGEND | DESCRIPTION |
|--------|--------|------------------------------|
| ⊙ | MON | FOUND MON |
| ⊙ | FCI | FOUND CAPPED IRON |
| ⊙ | FIR | FOUND IRON ROD |
| (R) | | RECORDED BEARING |
| (M) | | MEASURED BEARING |
| — | | EX. OVERHEAD ELECTRIC |
| — | | EX. SANITARY SEWER |
| — | | EX. STORM SEWER |
| — | | EX. UNDERGROUND CABLE |
| — | | EX. UNDERGROUND ELECTRIC |
| — | | EX. UNDERGROUND GAS |
| — | | EX. WATER MAIN |
| — | | EX. WALL |
| ⊙ | | EX. CATCH BASIN ROUND |
| ⊙ | | EX. STORM INLET/CATCH BASIN |
| ⊙ | | EX. CLEAN OUT |
| ⊙ | | EX. ELECTRIC METER |
| ⊙ | | EX. GAS METER |
| ⊙ | | EX. GATE VALVE IN WELL |
| ⊙ | | EX. HYDRANT |
| ⊙ | | EX. LIGHT POLE |
| ⊙ | | EX. MAILBOX |
| ⊙ | | EX. SANITARY MANHOLE |
| ⊙ | | EX. SIGN |
| ⊙ | | EX. STORM MANHOLE |
| ⊙ | | EX. TRANSFORMER |
| ⊙ | | EX. UTILITY POLE |
| ⊙ | | EX. WATER MANHOLE |
| ⊙ | | EX. WATER SHUT OFF |
| ⊙ | | EX. WATER VALVE |
| ⊙ | | EX. WELL |
| ⊙ | | EX. TREE (DECIDUOUS/CONIFER) |



BENCHMARKS:

- BM#1:**
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)
- BM#2:**
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVENUE. ELEVATION: 942.45 (N.A.V.D. 88)

UTILITY CONTACTS:

- GAS:**
CONSUMERS ENERGY
530 W. WILLOW ST.
LANSING, MI 48226
EMAIL: MISADDESIGN@CENETCS.COM
CENETCS.COM
- STORM DRAINAGE:**
CITY OF NOVI
ENGINEERING DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644
- WATER SERVICE:**
CITY OF NOVI
WATER AND SEWER DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644
- SANITARY SERVICE:**
CITY OF NOVI
WATER AND SEWER DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644
- SOIL EROSION PERMIT:** CITY OF NOVI
ENGINEERING DIVISION
26300 LEE BEGOLD DR
NOVI, MI 48375
(248)735-5644
- CABLE TV:**
COMCAST CABLE COMMUNICATIONS, INC.
25425 TELEGRAPH RD
SOUTHFIELD, MI 48034
(248)908-2715
- ELECTRIC:**
DTE
ENERGY ONE ENERGY PLAZA, 518 SB
DETROIT, MI 48226
(313)235-5632
ITC
27175 ENERGY WAY
NOVI, MI 48377
(313)267-4857
- TELEPHONE:**
AT&T (FORMERLY SBC)
2630 LEE BEGOLD DR
PONTIAC, MI 48342
(248)458-8256

| Map Unit Symbol | Map Unit Name | Acres In AOI | Percent of AOI |
|------------------------------------|--|--------------|----------------|
| 10B | Marlette sandy loam, 1 to 6 percent slopes | 5.6 | 64.7% |
| 12 | Brookston and Colwood loams | 3.1 | 35.2% |
| BritaB | Blount loam, 0 to 4 percent slopes | 0.0 | 0.0% |
| Totals for Area of Interest | | 8.7 | 100.0% |

DISTANCE TO WALLED LAKE BRANCH OF THE MIDDLE ROUGE

THE LOCATION OF UTILITIES (UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR BY REPRESENTING THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811

Know what's below.
Call before you dig.

CONSTRUCTION IS THE SAFETY OF THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE THE ONSET OF ANY CONSTRUCTION SHALL BE EXPECTED TO ASSURE ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY BARRIER STRUCTURES OR OF ANY OTHER PERSONNEL.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL.

These documents are instruments of service in support of the Project and are not to be used for any other purpose without the written consent of the owner. The owner (City of Novi) is not responsible for any errors or omissions on this map. The user of this information is responsible for its accuracy. The City of Novi Department of Public Services and the Information Technology Department are not liable for any errors or omissions on this map.

DUMBLOR

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TEL: 248-773-7555 • FAX: 866-390-4307

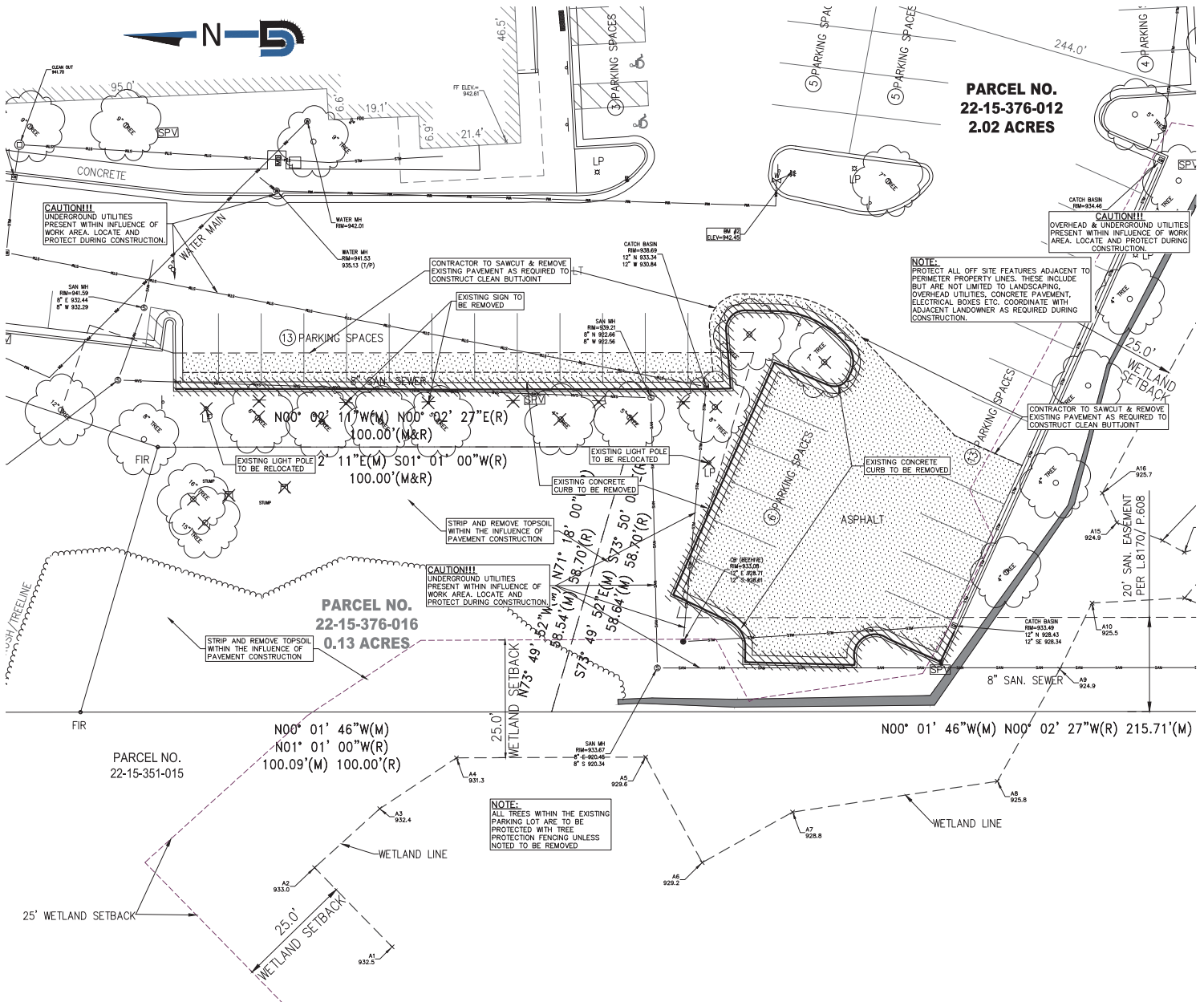
| | | |
|------------|----------------------------|--------------------------|
| SECTION 15 | TOWN 1 NORTH, RANGE 8 EAST | OAKLAND COUNTY, MICHIGAN |
| DATE: | 11/14/2025 | |
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| | 2006-3-24 PER CLIENT | |
| | 2006-4-29 PER CITY REVIEW | |

VERSAR REAL ESTATE, LLC
44725 GRAND RIVER AVENUE
PARCEL NOS. 22-15-376-202 & 22-15-376-016
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

LEGEND SHEET

DATE: 11/14/2025
SCALE: AS SHOWN
SHEET NO. 5

W:\MID\BENCH\PROJECT\LEGEND\VERSAR_REAL_ESTATE\2025\22-15-376-202 & 22-15-376-016\SETUP\BENCHMARKS\LEGEND-SHEET-2025.DWG



PARCEL NO.
22-15-376-012
2.02 ACRES

PARCEL NO.
22-15-376-016
0.13 ACRES

PARCEL NO.
22-15-351-015

GENERAL NOTES:
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MAY AFFECT THIS JOB.

BENCHMARKS:

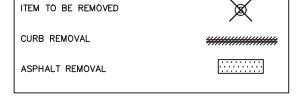
BM#1:
ARROW ON TOP OF THE HYDRANT ON THE SOUTH SIDE OF GRAND RIVER AVENUE IN FRONT OF 44725 GRAND RIVER AVENUE. ELEVATION: 943.95 (N.A.V.D. 88)
BM#2:
ARROW ON TOP OF THE HYDRANT IN THE REAR PARKING LOT ISLAND AT 44725 GRAND RIVER AVENUE. ELEVATION: 942.45 (N.A.V.D. 88)

CITY BM#1534:
X ON NORTH RIM OF GATEWELL LOCATED 3 FEET SOUTH OF BACK OF CURB OF GRAND RIVER AND AT EAST PROPERTY LINE #45033 GRAND RIVER. ELEVATION: 941.28

GENERAL DEMOLITION NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
1. CONCRETE AND ASPHALT DEMOLISHED MATERIALS CAN BE MILLED, CRUSHED AND PULVERIZED TO CREATE SUBGRADE MATERIAL PER GEOTECHNICAL SPECIFICATIONS RECOMMENDATIONS.
 2. ALL MATERIAL TO BE REMOVED AND EXCESS MATERIAL, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 3. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
 4. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND CITY OF NOVI.
 5. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT BE LIMITED TO THE ITEMS LISTED. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 6. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 7. REFER TO LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.
 8. THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SHREPPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUCD) LATEST EDITION.
 11. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 12. ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS, ARE TO BE PROTECTED DURING THE CONSTRUCTION PROCESS. COORDINATE SHUTDOWNS AND REMOVALS WITH DETROIT Edison OF THE APPROPRIATE UTILITY COMPANY, (HOTEL PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES).
 13. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 14. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION LEGEND:



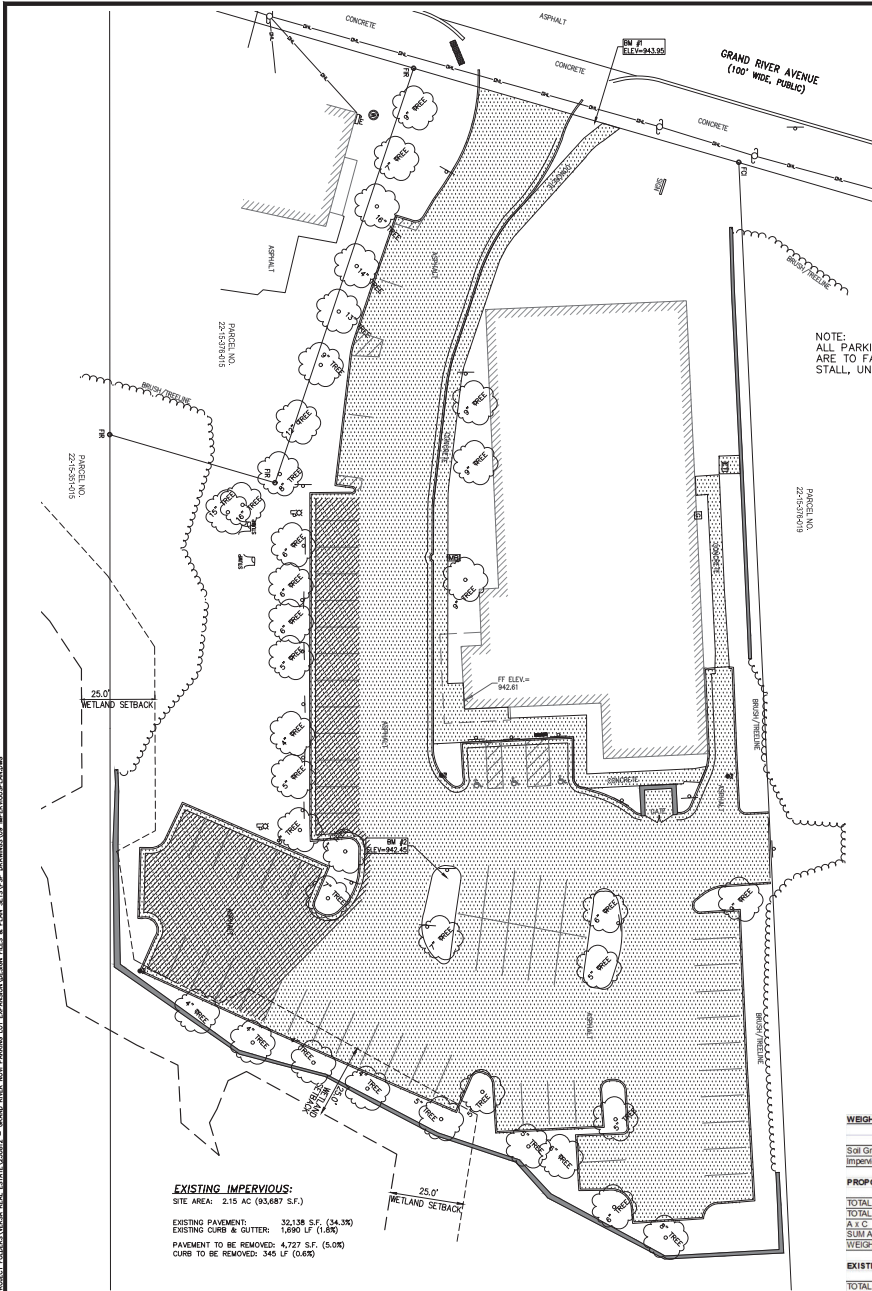
811
Know what's below.
Call before you dig.
CONSTRUCTION (SEE SAFETY) IS THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE THE ONSET OF ANY CONSTRUCTION, THE CONTRACTOR SHALL BE EXPECTED TO AVOID ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY BENEVOLENT OR OTHER OF ANY OTHER PERSON.

DUMJOR
44725 GRAND RIVER AVENUE
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
48228
TEL 248.777.7555 • FAX 866.960.4307

| | |
|----------------------------|--------------------------|
| SECTION 15 | CITY OF NOVI |
| TOWN 1 NORTH, RANGE 8 EAST | OAKLAND COUNTY, MICHIGAN |
| DATE: 11/14/2025 | REVISION: |
| 2006-2-16 PER CITY REVIEW | |
| 2006-3-24 PER CLIENT | |
| 2006-4-29 PER CITY REVIEW | |

VERSAR REAL ESTATE, LLC
44725 GRAND RIVER AVENUE
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
48228
DEMOLITION PLAN

DATE: 11/14/2025
SCALE: 1"=10'
SHEET NO. 6



NOTE:
ALL PARKING DIMENSIONS SHOWN
ARE TO FACE OF CURB TO END OF
STALL, UNLESS OTHERWISE NOTED.

WEIGHTED C CALCULATIONS

| | C Factor | |
|------------------|----------|--|
| Soil Group C ~4% | 0.30 | |
| Impervious Area | 0.85 | |

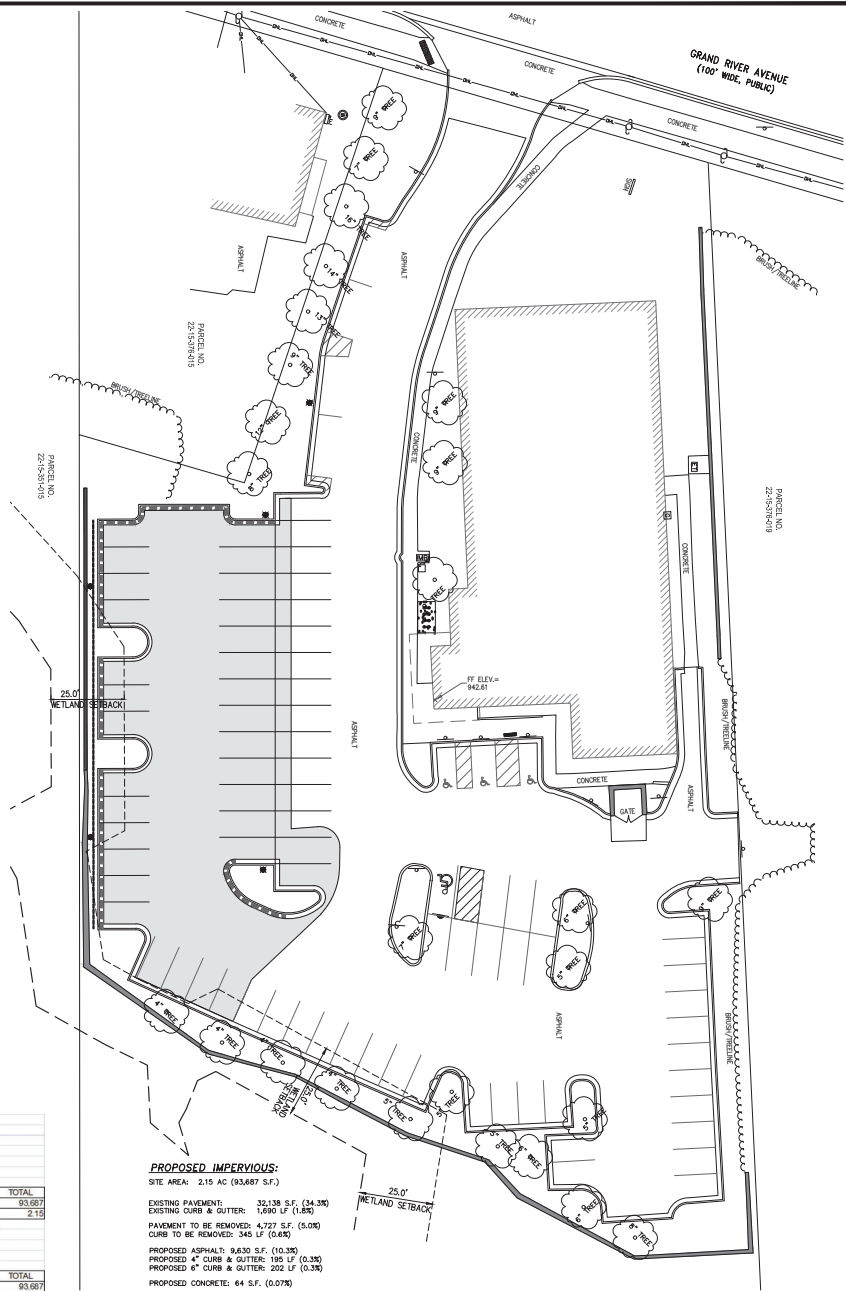
PROPOSED WEIGHTED C CALCULATIONS

| | PERVIOUS | IMPERVIOUS | TOTAL |
|-------------------|----------|------------|--------|
| TOTAL AREA (S.F.) | 46,162 | 47,505 | 93,667 |
| TOTAL AREA (AC) | 1.06 | 1.09 | 2.15 |
| A x C | 0.30 | 1.04 | |
| SUM A x C | 1.35 | | |
| WEIGHTED C | 0.63 | | |

EXISTING WEIGHTED C CALCULATIONS

| | PERVIOUS | IMPERVIOUS | TOTAL |
|-------------------|----------|------------|--------|
| TOTAL AREA (S.F.) | 51,149 | 42,535 | 93,684 |
| TOTAL AREA (AC) | 1.17 | 0.98 | 2.15 |
| A x C | 0.30 | 0.93 | |
| SUM A x C | 1.29 | | |
| WEIGHTED C | 0.60 | | |

EXISTING IMPERVIOUS:
SITE AREA: 2.15 AC (93,687 S.F.)
EXISTING PAVEMENT: 32,138 S.F. (34.3%)
EXISTING CURB & GUTTER: 1,690 LF (1.8%)
PAVEMENT TO BE REMOVED: 4,727 S.F. (5.0%)
CURB TO BE REMOVED: 345 LF (0.8%)



PROPOSED IMPERVIOUS:
SITE AREA: 2.15 AC (93,687 S.F.)
EXISTING PAVEMENT: 32,138 S.F. (34.3%)
EXISTING CURB & GUTTER: 1,690 LF (1.8%)
PAVEMENT TO BE REMOVED: 4,727 S.F. (5.0%)
CURB TO BE REMOVED: 345 LF (0.8%)
PROPOSED ASPHALT: 9,630 S.F. (10.3%)
PROPOSED 4" CURB & GUTTER: 195 LF (0.3%)
PROPOSED 4" CURB & GUTTER: 302 LF (0.3%)
PROPOSED CONCRETE: 64 S.F. (0.07%)
IMPERVIOUS AREA ADDED: 9,694 S.F. (10.3%)
IMPERVIOUS AREA REMOVED: 4,727 S.F. (5.0%)
NET IMPERVIOUS AREA ADDED: 4,967 S.F. (5.3%)

THE LOCATION OF UTILITIES (UNDERGROUND UTILITIES ARE SHOWN BY AN APPROPRIATE SYMBOL AND MAY NOT BE ACCURATELY SHOWN BY THE OWNER OR BE REPRESENTED BY THE EXACT LOCATION OF ALL UTILITIES) SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND SHOULD BE INDICATED BY THE CONTRACTOR PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES.

811
Know what's below.
Call before you dig.
CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES.

These drawings are prepared by the undersigned and are not to be used for any other purpose without the written consent of the undersigned. The undersigned is not responsible for any errors or omissions in these drawings. The undersigned is not responsible for any errors or omissions in these drawings. The undersigned is not responsible for any errors or omissions in these drawings.

DUMJOR
44725 WEST ROAD WAXOM, MI 48393
TEL 248.773.7555 • FAX 866.690.4307

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOV
OAKLAND COUNTY, MICHIGAN

DATE: 11/14/2025
REVISIONS:
2006-2-16 PER CITY REVIEW
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CLIENT: **VERSA REAL ESTATE, LLC**
44725 GRAND RIVER AVENUE
PARCEL NOS. 22-15-376-012 & 22-15-376-016
CITY OF NOV, OAKLAND COUNTY, MICHIGAN

DESIGNED BY: RMS
DRAWN BY: JPD
SCALE: 0 10 20
SCALE: 1"=20'
SHEET NO. 9

Plan View
Scale - 1" = 20ft

| Schedule | | | | | | | |
|----------|-------|-----|-------------------|--------------------------------|--|-----|---------|
| Symbol | Label | QTY | Manufacturer | Catalog Number | Description | LLF | Wattage |
| | P1 | 2 | Lithonia Lighting | DSX0 LED P4 30K 80CRI TFTM HS | D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Forward Throw Houssie Shield | 0.9 | 93.04 |
| | P2 | 1 | Lithonia Lighting | DSX0 LED P1 30K 80CRI RCCO EGS | D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield | 0.9 | 33.21 |
| | P3 | 1 | Lithonia Lighting | DSX0 LED P1 30K 80CRI LCCO EGS | D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield | 0.9 | 33.21 |
| | P4 | 1 | Lithonia Lighting | DSX0 LED P4 30K 80CRI BLC3 EGS | D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 80 CRI Type 3 Extreme Backlight Control External Glare Shield | 0.9 | 93.04 |
| | EX1 | 1 | EXISTING | TO BE CONFIRMED BY OWNER | TO BE CONFIRMED BY OWNER | 0.9 | 93.04 |
| | EX2 | 4 | EXISTING | TO BE CONFIRMED BY OWNER | TO BE CONFIRMED BY OWNER | 0.9 | 93.04 |
| | EX3 | 1 | EXISTING | TO BE CONFIRMED BY OWNER | TO BE CONFIRMED BY OWNER | 0.9 | 93.04 |

| Statistics | | | | | | |
|-----------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Overall/Grade | + | 0.4 fc | 2.4 fc | 0.0 fc | N/A | N/A |
| Parking & Drive Lanes | X | 1.4 fc | 2.4 fc | 0.5 fc | 4.8:1 | 2.8:1 |
| Property Line | + | 0.1 fc | 0.5 fc | 0.0 fc | N/A | N/A |

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE
 - ELECTRICAL SERVICE TO SERVICE TO BE UNDERGROUND
 - NO FLASHING LIGHT(S) WILL BE PERMITTED WITHIN SITE
 - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES SHALL BE PERMITTED AFTER HOURS

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

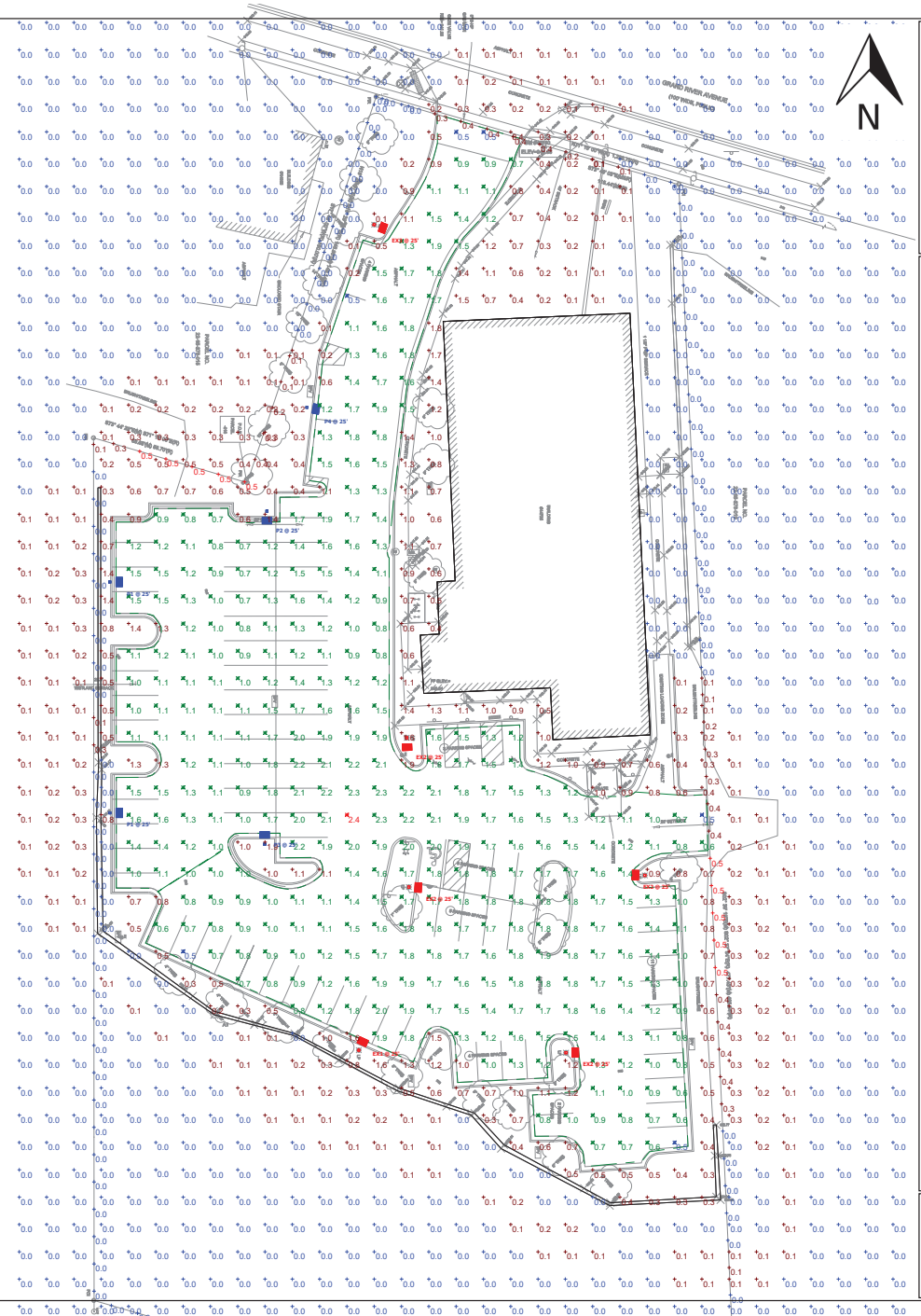
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

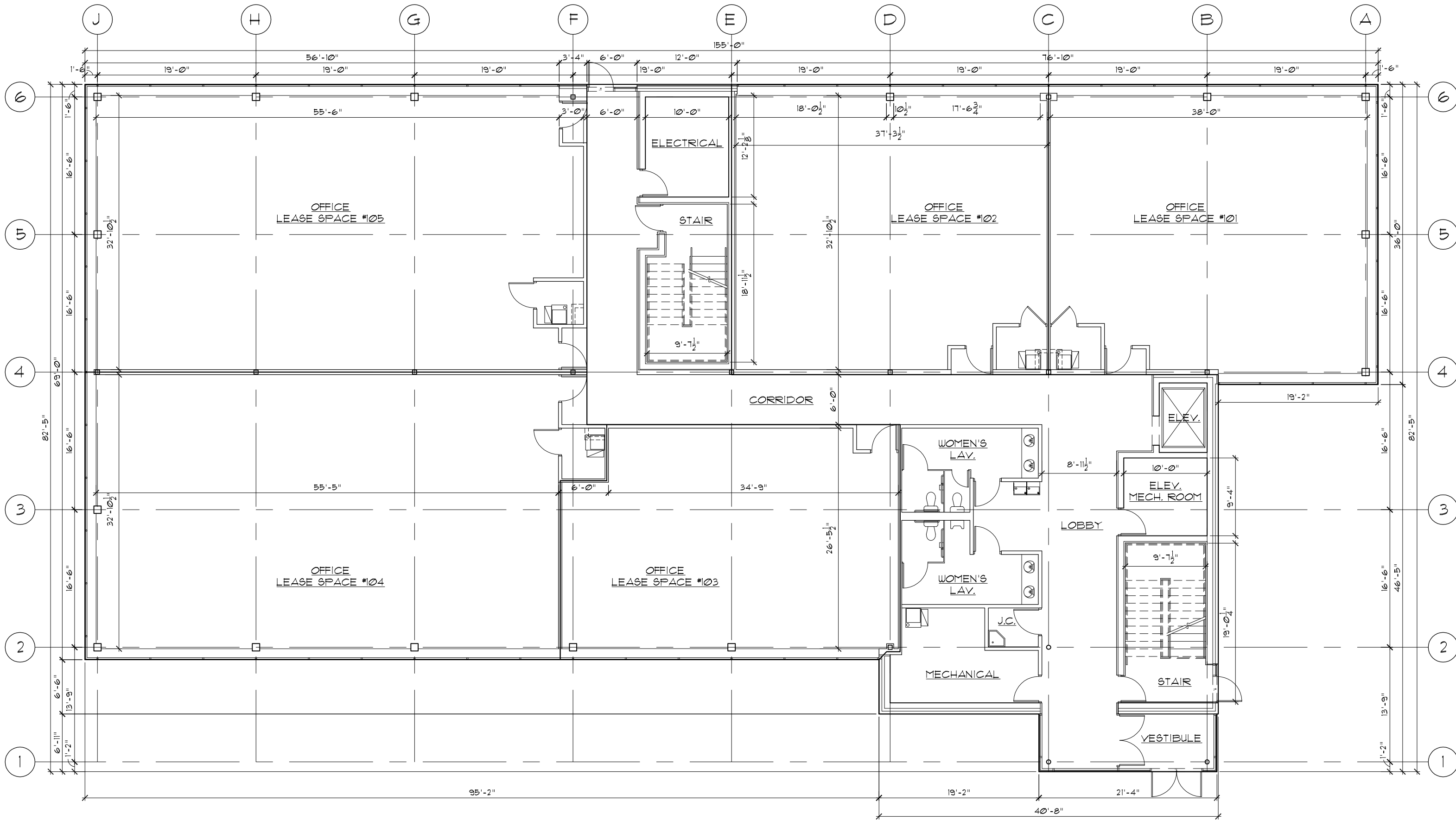
Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



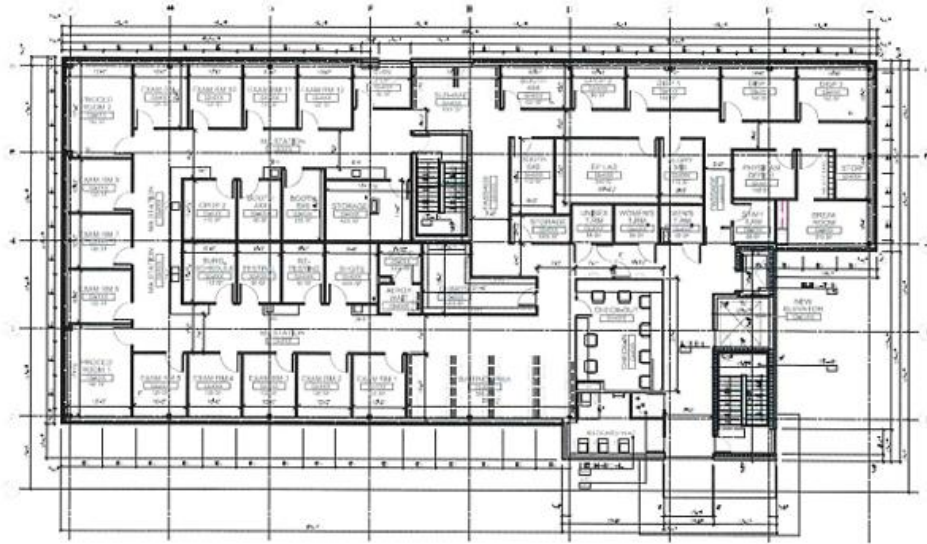
VERSIA REAL ESTATE - PARKING EXPANSION
EXTERIOR PHOTOMETRIC PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
sk
Date
04/28/2026
REV
04/29/2026
Scale
Not to Scale
Drawing No.
#26-54159 v3



FIRST FLOOR PLAN

EXHIBIT A
Depiction of the Leased Premises
Suite 200



PLANNING REVIEW



PLANNING REVIEW

Damas Building Parking Lot
JSP26-07
May 26, 2026

PETITIONER

Versa Real Estate | Eric Modell

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

| | | |
|-----------------------------|------------------------------------|---|
| Section | 15 | |
| Site Location | 44725 Grand River Ave | |
| Parcel ID | 50-22-15-376-012, -016 | |
| Site School District | Novi Community School District | |
| Site Zoning | I-1: Light Industrial | |
| Adjoining Zoning | North | I-1: Light Industrial |
| | East | I-1: Light Industrial |
| | South | R-4, Single Family Residential |
| | West | I-1: Light Industrial |
| Current Site Use | CBIZ (formerly Crosskey Lanni, PC) | |
| Adjoining Uses | North | Prairie Material Novi Plant |
| | East | Vacant |
| | South | Vacant – property owned by City of Novi |
| | West | Ava Window |
| Site Size | 2.02 (-012) + 0.13 (-016) Acres | |
| Plan Date | 4/29/26 | |

PROJECT SUMMARY

The applicant proposes expanding the parking lot for an existing 20,805 square-foot office building. The project includes combining the adjacent vacant 0.13-acre parcel to the west (parcel 50-22-15-376-016) with parcel 50-22-15-376-012, which currently contains 66 spaces. The proposal would remove 8 existing spaces to construct 28 new spaces, resulting in a total of 86 parking spaces on the combined site. To meet ADA requirements, two parking spaces outside the project area will be restriped to create one accessible parking space with an access aisle.

The project also includes an approximately 95-foot extension to the existing retaining wall along the western property line. No regulated trees are proposed to be removed, and no impacts are proposed to the regulated woodland or regulated wetlands located at the southern end of the site.

A Pre-Application meeting was held on December 10, 2025.

RECOMMENDATION

Preliminary Site Plan approval is **recommended by all reviewers with the exception of Landscape**. The applicant should submit a response letter addressing all comments in all review letters, with justification

for any requests for waivers or variances. In addition, a floor plan should be submitted to verify parking calculations. Please see Next Step: Planning Commission Meeting below.

ORDINANCE REQUIREMENTS

This project has been reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the ordinance, as noted. The plans demonstrate general compliance with these requirements. Please address the items below, as well as any comments in the individual review letters, in the next submittal.

1. Off-Street Parking Spaces - Offices (Section 5.2.12.D): The applicant has clarified the proposed uses are medical office and business office. For medical office use, 87 parking spaces are required, and for business office use, 21 parking spaces are required, resulting in a total of 108 required parking spaces. Following the proposed renovation, 86 spaces are provided, resulting in a deficiency of 22 spaces. Refer to the Planning Chart for additional information. **To verify the number of parking spaces required, please submit a floor plan with GLA for each use (e.g. business office or medical office), including a narrative of the day-to-day employee/customer parking space demand.**

rPSP: A floor plan was not included with the revised submittal. Please provide the floor plan in the next submittal to verify the number of parking spaces required. A Zoning Board of Appeals (ZBA) variance will be required for the deficiency of approximately 22 parking spaces.

2. Parking Setback (Section 3.1.18.D): The minimum required side yard parking setback is 10 feet, approximately 6.2 feet is proposed.

rPSP: Please clearly indicate the parking setback on the site plan. A Zoning Board of Appeals (ZBA) variance will be required for the deficiency in parking setback on the west side.

2. Bicycle Parking Lot Layout (Section 5.16.5.A): All bicycle parking spaces are required to be paved; layout of bicycle parking facilities shall be in accordance with minimum requirements. **Please provide layout dimensions for number of bicycle racks proposed per the illustration in Section 5.16.6.**

rPSP: Proposed bicycle parking layout detail on Sheet 10 is the generic detail for 6 bicycles, as shown in the prior outdated ordinance. Please revise to current ordinance standards for 8 bicycle racks as proposed.

3. Exterior Lighting (Section 5.7): A photometric plan illustrating the levels of illumination at ground level accounting for all light sources that impact the subject site should be provided, including specifications for all proposed and existing lighting fixtures. The photometric provided includes calculations and specifications only for proposed lighting. **Please revise the photometric plan to meet ordinance standards.** Refer to the Planning Chart for additional information.

rPSP: Resolved

4. Parcel Combination: Proposed lot splits and parcel combinations must be submitted to the Accessing Department for review and approval. All lot splits or parcel combinations must be completed prior to Stamping Set approval, with new parcel ID numbers indicated on the Final Stamping Set.

rPSP: The applicant has indicated in their response letter a parcel combination will be submitted during the construction phase; however, this timing is not acceptable as the parcel combination must be completed prior to Final Stamping Set approval. The [Application for Land Division/Combination](#) must be submitted to the Assessing Department with sufficient time to obtain approval before the submittal of the Final Stamping Set.

5. Planning Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

OTHER REVISED PRELIMINARY SITE PLAN REVIEWS

- Engineering Review: Revised Preliminary Site Plan **approval recommended**. See attached Engineering review for details.
- Landscape Review: Revised Preliminary Site Plan **approval not recommended**. See attached Landscape review for details.
- Woodland Review: Revised Preliminary Site Plan **approval recommended**. See attached Woodland review for details.
- Wetland Review: Revised Preliminary Site Plan **approval recommended**. See attached Wetland review for details.
- Traffic Review: Revised Preliminary Site Plan **approval recommended**. See attached Traffic review for details.
- Fire Review: Revised Preliminary Site Plan **approval recommended**. See attached Fire review for details.

NEXT STEP: PLANNING COMMISSION MEETING

Please submit the following by June 3, 2026 to be scheduled for Planning Commission consideration on June 10, 2026:

1. Site Plan submittal in PDF format (maximum of 10MB) **NO CHANGES MADE FROM PRELIMINARY APPROVAL**
2. A response letter addressing ALL comments from ALL review letters and a request for waivers/variances as you see fit.
3. A copy of the floor plan to confirm the GLA required for parking calculations.
4. A color rendering of the Site Plan (to be used for Planning Commission presentation)

FUTURE STEP: ZONING BOARD OF APPEALS (ZBA)

Any variances required shall be requested from the Zoning Board of Appeals (ZBA) prior to the submittal of the Final Site Plan. The ZBA meets on the 2nd Tuesday of each month. To request to appear before the ZBA, an application must be submitted by the first business day of the month for the following month's meeting. ZBA applications should be submitted to Megan Nardone at mnardone@cityofnovi.org.

[Dimensional Variance Zoning Board of Appeals Application Packet](#)

FUTURE STEP: FINAL SITE PLAN SUBMITTAL

Upon approval by the Planning Commission, and ZBA if required, the following should be submitted for Final Site Plan review and approval:

1. [Final Site Plan Submittal Form](#)
2. [Final Site Plan Checklist](#)
3. Six copies of Final Site Plan addressing all comments from Preliminary reviews
4. Response letter - **address all comments and refer to sheet numbers where the change is reflected**
5. Engineering Cost Estimate – an itemized 8.5"x11" estimate including sanitary sewer, watermain, storm sewer, paving and grading costs (not to include soil erosion or demolition costs.)
6. Landscape Cost Estimate – an itemized 8.5"x11" estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn.
7. Drafts of any legal documents required (note that off-site easements need to be executed, and any on-site easements need to be submitted in draft form before stamping sets will be stamped).

FUTURE STEP: PARCEL COMBINATION

Concurrently with Final Site Plan submittal, any proposed property splits and combinations should be submitted to the Assessing Department for approval. The applicant should submit the [Application for Land Division/Combination](#) to the Assessing Department at this time to initiate the process. Lot splits and combinations are to be completed prior to Stamping Set approval; new parcel ID numbers are to be indicated on the Stamping Set.

FUTURE STEP: ELECTRONIC STAMPING SET REVIEW AND RESPONSE LETTER

Following Final Site Plan approval, revised plans that address all comments from the review letters should be submitted electronically for informal review and approval prior to the submission of Stamping Sets. A letter prepared by the applicant or their representative is to be submitted with the electronic stamping set. This letter should address all comments in all review letters and associated charts and **refer to sheet numbers where the change is reflected.**

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets will be required for this project. Following approval of the electronic stamping set from City staff, the applicant should submit **9 – 24" x 36" sets of plans with signature and seals on each sheet (seal may be electronic)**, to the Community Development Department for Final Stamping Set approval.

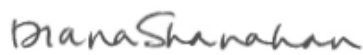
FUTURE STEP: BUILDING PERMITS AND REVIEW

Building permits will be required for this project. Please contact the Building Department at (248)347-0415 to determine what is required.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects to be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at (248)347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0483 or dshanahan@cityofnovi.org.



Diana Shanahan, Planner



PLANNING REVIEW CHART: I-1 Light Industrial

Review Date: May 26, 2026
Review Type: Revised Preliminary Site Plan
Project Name: **JSP26-07 Damas Building Parking Lot Expansion** (44725 Grand River)
Plan Date: April 29, 2026
Prepared By: Diana Shanahan, Planner dshanahan@cityofnovi.org (248) 347-0483

NOTES

- This chart serves as a working summary and is not intended to replace any Ordinance, requirement, or standard of the City of Novi.
- References to relevant ordinance Sections are indicated in parenthesis. Please refer to the [City of Novi Ordinance](#) for complete details.
- Comments highlighted in **bold** must be addressed prior to the approval of the Preliminary Site Plan.

| Item | Required Code | Proposed | Meets Code | Comments |
|---|---|--|------------|--|
| Zoning and Use Requirements | | | | |
| Master Plan <i>(adopted June 25, 2025)</i> | Office/Industrial | No Change | Yes | |
| Zoning <i>(Effective Jan 8, 2015)</i> | I-1: Light Industrial | No Change | Yes | |
| Uses Permitted <i>(Section 3.1.18.B)</i> | B: Principal Permitted Uses C: Special Land Uses | Medical office use proposed | Yes | |
| Height, Bulk, Density, and Area Limitations | | | | |
| Building Height <i>(Section 3.1.18.D)</i> | 25 ft | No changes proposed – complies | N/A | See Section 3.14.5.C below |
| Frontage on a Public Street <i>(Section 5.12)</i> | Frontage on a public street is required | Frontage on Grand River Avenue | Yes | |
| Access to Major Thoroughfare <i>(Section 5.13)</i> | Vehicular access must be provided via a major thoroughfare or service drive | Access to Grand River Ave | Yes | |
| District Required Conditions: Light Industrial <i>(Section 3.14)</i> | | | | |
| Maximum Height <i>(Section 3.14.5.C)</i> | The maximum height of any building constructed adjacent to a residential district shall be 25 ft, except where there is a street, road, highway or freeway between the site and the abutting residential district | Existing building | Yes | Property abuts residential district to the south |
| Adjacent to Residential <i>(Section 3.14.5.E)</i> | I-1 districts adjacent to residential districts require an earth berm and plantings. The Planning Commission may waive or modify the requirements for a berm or wall when adjacent to a woodland | Property abuts residential district to the south Over 120 feet of woodland between the parking lot and south property line, existing condition on the original approved site plan | Yes | Planning Commission waiver granted on 7/11/07 for lack of berm (SP07-21) |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|---|--------------------------------|------------|---|
| Building Setbacks (Section 3.1.18.D) | | | | |
| Front (north) | 40 ft | No changes proposed | N/A | Grand River Ave |
| Side (west) | 20 ft | No changes proposed | N/A | |
| Side (east) | 20 ft | No changes proposed | N/A | |
| Rear (south) | 20 ft | No changes proposed | N/A | |
| Parking Setback (Section 3.1.18.D) Refer to applicable notes in Section 3.6.2 | | | | |
| Front (north) | See Section 3.6.2.E below | No changes proposed | N/A | A Zoning Board of Appeals variance will be required for the deficiency in parking in the west side setback |
| Side (west) | 10 ft | 6.2 ft | No | |
| Side (east) | 10 ft | No changes proposed | N/A | |
| Rear (south) | 10 ft | No changes proposed | N/A | |
| Note To District Standards (Section 3.6.2) | | | | |
| Exterior Side Yard Setbacks (Section 3.6.2.C) | <ul style="list-style-type: none"> - Exterior side yards abutting a street must meet the front yard setback requirements of their zoning district. - All front yard regulations apply. - Where a non-residential district abuts a residential district, the exterior side yard setback must be at least the residential district's front yard minimum, or greater if required by the non-residential district. | No exterior side yards | N/A | |
| Minimum Lot Area and Width / Maximum Lot Coverage (Section 3.6.2.D) | Minimum lot area and width, and maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements. | | N/A | |
| Off-Street Parking in Front Yard (Section 3.6.2.E) For OSC, I-1, and I-2 districts, parking is allowed in the front yard if: | i. It serves a development of at least 2 acres | No front yard parking proposed | N/A | Total acreage = 2.15 |
| | ii. It does not extend into the minimum required front yard setback | | N/A | |
| | iii. It does not occupy more than 50% of area between the minimum front yard setback and the building setback | | N/A | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|--|------------|---|
| | iv. It is screened from all public rights-of-way by a brick wall, or 2½ ft high landscaped berm | | N/A | |
| | v. Planning Commission finds the parking area and lighting compatible with surrounding development | | N/A | |
| Off-Street Parking in Side and Rear Yards <i>(Section 3.6.2.F)</i> | Off-street parking shall be permitted within the side and rear yards. Provisions apply when abutting residential. | Parking proposed in west side yard | Yes | The project area is not adjacent to residential |
| Setbacks When Abutting Residential <i>(Section 3.6.2.H)</i> | If an I-1 or I-2 use borders a residential district without a separating street, the building must be set back at least 5 feet per foot of height or 100 feet, whichever is greater | Existing building | N/A | |
| Wetland/ Watercourse Setback <i>(Section 3.6.2.M)</i> | There shall be maintained in all districts a wetland and watercourse setback. Refer to Section 3.6.2 | No impacts proposed to wetlands | N/A | See Wetland Review letter for additional information Wetland Buffer Authorization not required |
| Additional Height <i>(Section 3.6.2.O)</i> | Buildings on properties within 1,200 ft of a freeway and not next to residential districts may reach 65 ft, with setbacks increased by 2 ft for every foot over the district height limit. Applies in I-1 and I-2 districts only to offices, R&D, and data/computer centers without major manufacturing or warehousing | Existing building, no additional height proposed | N/A | |
| Parking Setback Screening <i>(Section 3.6.2.P)</i> | Required parking setback area shall be landscaped per Section 5.5.3 | Complies | Yes | |
| | Where a side or rear yard abuts a residential district, requirements for a screening wall or berm apply per Section 5.5.3.A | No new parking spaces proposed in rear yard abutting residential | N/A | |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|---|---|------------|--|
| Modification of Setback Requirements <i>(Section 3.6.2.Q)</i> | The Planning Commission may modify parking setback requirements based on its determination | No setback modifications requested | N/A | |
| Parking and Loading Requirements <i>(Section 5.2)</i> | | | | |
| Off-Street Parking Spaces – D. Offices <i>(Section 5.2.12.D)</i> Business offices or professional offices except as indicated below Professional offices of doctors, dentists, veterinarian or similar professions; outpatient clinic | Medical office – 1 space for each 175 square feet GLA for buildings greater than 5,000 sf (5.7 spaces per 1,000 sq ft GLA) 15,185 sf/175 = 87 spaces required Business office – 1 space for each 222 square feet GLA for buildings up to 100,000 sf (4.5 spaces per 1,000 sq ft GLA) 4,466 sf/222 = 21 spaces required Total required = 108 spaces <hr/> <i>The site was originally reviewed as SP07-21 Damas Grand River, which included parking calculations for business or professional offices:</i> Business office – 1 space for each 222 square feet GLA for buildings up to 100,000 sf (4.5 spaces per 1,000 sq ft GLA) 14,726 sf/222 = 66 spaces required | Proposing to remove 8 existing spaces and add 28 spaces for a total of 86 spaces , including 4 barrier free spaces 66 existing spaces, including 3 barrier free spaces | No | To confirm the parking requirements, please provide an updated floor plan with GLA of each use (e.g. business office vs medical office use) on subsequent submittal A Zoning Board of Appeals (ZBA) variance will be required for the deficiency of 22 parking spaces |
| Parking Space Dimensions and Maneuvering Lanes <i>(Section 5.3.2)</i> <i>(Section 5.5.3.C.ii.i)</i> | 90° parking: - 9 ft x 19 ft - 24 ft two-way drives - 9 ft x 17 ft parking spaces allowed along 7 ft wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping | - 90° parking: 9 ft x 17 ft - 90° parking: 9 ft x 19 ft - 24 ft two-way drives | Yes | |
| Parking stall located adjacent to a parking lot entrance (public or private) <i>(Section 5.3.13)</i> | Shall not be located closer than 25 feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer | None proposed | N/A | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|---|--|------------|----------|
| End Islands <i>(Section 5.3.12)</i> | - End islands with raised curbs and landscaping are required at end of all parking bays abutting traffic circulation aisles - End islands shall generally be at least 10' wide, have a 15' major radius, a 2' minor radius, and be constructed 3' shorter than the adjacent parking stall | Complies | Yes | |
| Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i> | For 76-100 parking spaces, 4 accessible parking spaces are required For every six or fraction of six accessible parking spaces, at least one shall be van accessible | 4 accessible spaces proposed | Yes | |
| Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i> | Van accessible: - 8 ft wide with an 8 ft wide access aisle (preferred) – or – - 11 ft wide with a 5 ft wide access aisle Standard accessible: - 8 ft wide with a 5 ft wide access aisle | Complies | Yes | |
| Barrier Free Signs <i>Barrier Free Code</i> | One sign for each accessible parking space | Signs indicated | Yes | |
| Off-Street Loading and Unloading <i>(Section 5.4)</i> | Required on all premises where receipt or distribution of materials or merchandise occurs, space shall be adequate for standing, loading/unloading, separate from parking areas | Existing – no change (South and Southwest sides of the building) | N/A | |
| Location of Loading and Unloading <i>(Section 5.4.3)</i> | In I districts, all loading and unloading operations shall be conducted in the rear yard, except: A. When abutting a residential district, in which case, Section 3.14.5 shall apply B. When an interior side yard is adjacent to an I district, loading and unloading may be conducted in an | Existing – no change (South and Southwest sides of the building) | N/A | |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|---|------------|--|
| | interior side yard when located near the rear of the building | | | |
| Bicycle Parking Requirements (Section 5.16) | | | | |
| Minimum Number of Bicycle Parking Spaces (Section 5.16.1) | <p>When any principal building is enlarged by 10% or more of the existing gross floor area, or any automobile parking lot is enlarged by 10% or more of existing parking spaces, bicycle parking shall be required and provided as part of site plan review under Section 6.1</p> <p>Medical offices: One space for each twenty employees on the maximum shift, minimum two spaces</p> <p>- or if business use -</p> <p>Business offices: 5% of required automobile spaces, minimum two spaces</p> | <p>Parking lot is proposed to be increased by 16%</p> <p>8 bicycle parking spaces proposed on west side of building</p> | Yes | Provide number of employees for medical office use to determine accurate number of spaces required |
| Bicycle Parking Location (Section 5.16.1.E) | No farther than 120' from the entrance being served | Complies | Yes | |
| Bicycle Parking - Multiple Locations (Section 5.16.1.F) | When 4 or more spaces are required for a building with multiple entrances, the spaces shall be located in multiple locations | 8 bicycle parking spaces proposed in one location on west side of building | TBD | The number of bicycle parking spaces may be reduced (see minimum number of spaces required) or located at multiple entrances |
| Bicycle Parking Lot Layout (Section 5.16.5.A) | <ul style="list-style-type: none"> - Maneuvering lane width: 4' - Parking space depth: 32" - Parking space width: 7' - One tier width: 11' - Two tier width: 18' | Proposed bicycle parking layout on Sheet 10 is not specific to the site and is incorrectly shown using outdated standards | TBD | Please revise bicycle parking layout to meet ordinance standards |
| Bicycle Parking Facility Layout (Section 5.16.5.B) | Spaces to be paved | Complies | Yes | |
| | Bike rack shall be inverted "U" design | Inverted "U" design proposed | Yes | |
| | Minimum 3 ft in height | 36" proposed | Yes | |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|--|------------|----------|
| Bicycle Parking Accessibility (Section 5.16.5.C) | All bicycle parking shall be accessible from adjacent street(s) and pathway(s) via a minimum 6 ft wide paved route | Complies | Yes | |
| Sidewalk Requirements | | | | |
| Chapter 11 - Article XI. Off-Road Non-Motorized Facilities | 6 ft wide concrete sidewalk is required along Grand River | Existing sidewalk – no change proposed | Yes | |
| Pedestrian Connectivity | Assure safety and convenience of vehicular and pedestrian traffic both within the site and in relation to access streets | Existing – no change | Yes | |
| Building Code | Building exits must be connected to sidewalk system or parking lot | Existing – no change | N/A | |
| Accessory Uses (Section 4.19) | | | | |
| Dumpster (Section 4.19.2.F) | Located in rear yard or interior side yard in case of double frontage | Existing dumpster located at rear of building – no change proposed | N/A | |
| | Attached to the building or no closer than 10 ft from building if detached | | | |
| | Not to be located in parking setback | | | |
| | If no setback, then not any closer than 10 ft, from property line | | | |
| | As far away from barrier free spaces as possible | | | |
| Dumpster Enclosure (Section 21-145. (c)) | Screen from public view | No change proposed | N/A | |
| | Screening shall consist of a wall or fence 1 ft higher than height of refuse bin, and no less than 5 ft on three sides | | | |
| | Posts or bumpers provided within the enclosure to protect from damage of refuse bin | | | |
| | Inside dimensions shall permit adequate access as well as completely enclose bins | | | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|---|--|------------|----------|
| | Screening materials: Masonry, wood or evergreen shrubbery | | | |
| Lighting and Photometric Plan (Section 5.7) | | | | |
| Exterior Lighting Plan (Section 5.7.2.A.i) | Provide a lighting plan for review including location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures. | Photometric provided | Yes | |
| Photometric Plan (Section 5.7.2.A.ii) | Provide a photometric plan illustrating the levels of illumination at ground level accounting for all light sources that impact the site. Include specifications for all proposed and existing lighting fixtures. | Photometric provided | Yes | |
| Building Lighting (Section 5.7.2.A.iii) | Relevant building elevation drawings to show all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures. | No changes proposed to building lighting | N/A | |
| Maximum Height (Section 5.7.3.A) | Height not to exceed maximum height of zoning district (or 25 ft where adjacent to residential districts or uses) | 25 ft proposed | Yes | |
| Electrical Service (Section 5.7.3.B) | Electrical service to light fixtures to be underground | Note on photometric plan | Yes | |
| Flashing Light (Section 5.7.3.C) | No flashing light permitted | Note on photometric plan | Yes | |
| Glare Control (Section 5.7.3.D) | Shall be accomplished through the proper selection and application of lighting equipment. | | Yes | |
| Outdoor Lighting: Average Light Levels (Section 5.7.3.E) | Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 foot-candles | 2.8:1 | Yes | |
| Color Spectrum Management (Section 5.7.3.F) | Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index | 80 CRI - complies 3000K – complies | Yes | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|---|--|------------|-------------------------|
| | (CRI) of 70 and Correlated Color Temperature (CCT) of no greater than 3000K | | | |
| After Hours Lighting (Section 5.7.3.G) | Only necessary lighting for security purposes shall be permitted after hours. | Only necessary lighting for security purposes shall be permitted after hours | Yes | |
| Indoor Lighting (Section 5.7.3.H) | Shall not be the source of exterior glare or spillover | No changes proposed to indoor lighting | N/A | |
| Security Lighting (Section 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured | - All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky - Building mounted fixtures designed to illuminate the facade are preferred | Only necessary lighting for security purposes shall be permitted after hours | Yes | |
| Parking Lot Lighting (Section 5.7.3.J) | Designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare. | Complies | Yes | |
| Minimum Illumination Levels (foot-candles) (Section 5.7.3.L) | Parking areas: | 0.2 min | TBD | Indicate on plan |
| | Loading and unloading areas: | 0.4 min | TBD | |
| | Walkways: | 0.2 min | TBD | |
| | Building entrances, frequent use: | 1.0 min | TBD | |
| | Building entrances, infrequent use: | 0.2 min | TBD | |
| Maximum Illumination Adjacent to Non-Residential (Section 5.7.3.L) | Where a site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle | Complies | Yes | |
| Maximum Illumination Adjacent to Residential (Section 5.7.3.M) | When adjacent to residential districts: - 25 ft max fixture height - All fixtures to have a cut-off angle of 90° or less - No direct light source shall be visible at the property line (adjacent to residential) at ground level. | Complies | Yes | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|--|------------|---|
| | - Maximum illumination at the property line not to exceed 0.5 foot-candle | | | |
| Building Code and Other Design Standard Requirements | | | | |
| Building Exits <i>(2012 Michigan Building Code)</i> | Building exits must be connected to sidewalk system or parking lot | Existing building | Yes | |
| Design and Construction Standards Manual | Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions) | Legal descriptions for both parcels are provided | Yes | |
| General layout and dimension of proposed physical improvements | Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq ft), location of proposed parking and parking layout, streets, drives, indicate sq ft of pavement area (indicate public or private). | Partially provided | No | Provide floor plan with GLA of each use (e.g. business office vs medical office use) on subsequent submittal Refer to all review letters for additional dimensions requested |
| Development/ Business Sign & Street addressing | Signage, if proposed, requires a permit | | TBD | For permit information, contact Ordinance at (248) 735-5678 |
| Project and Street Naming | Approval by the Project and Street Naming Committee | | N/A | |
| Property Split or Combination <i>(Code of Ordinances - Chapter 32)</i> | Proposed property splits and combinations must be submitted to the Assessing Department for approval | Parcels are proposed to be combined | TBD | Lot splits and combinations are to be completed prior to Stamping Set approval; new parcel ID numbers to be indicated on the Stamping Set Please submit the Application for Land Division/Combination to the Assessing Department |

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

5/20/2026

Engineering Review

44275 Grand River (Damas) Parking Expansion
JSP26-0007

APPLICANT

Versa Real Estate, LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Located on the south side of Grand River Avenue, in Section 15 of the City of Novi
- Site Size: 2.15 acres
- Plan Date: 2/16/2026
- Design Engineer: Wes Umlor, Umlor Group

PROJECT SUMMARY

- Construction of an approximately 8,400 square feet of additional parking to an existing building.
- No changes proposed to the existing sanitary sewer or water main on-site.
- Storm water is collected by a single storm sewer collection system and discharged to an off-site regional detention basin. Additional stormwater detention fees shall be paid with this site plan, for discharge of stormwater into the Leavenworth Regional Detention basin.

RECOMMENDATION

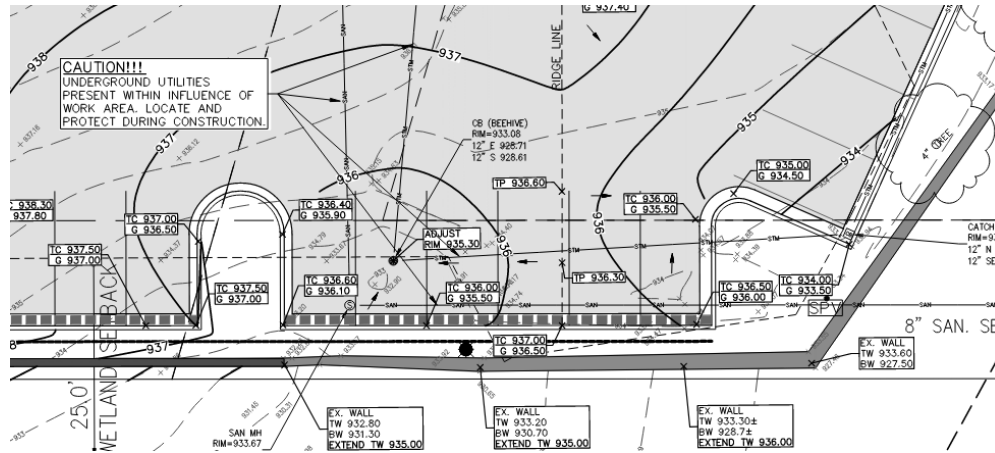
Approval of the Preliminary Site Plan is **recommended**. At this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

COMMENTS

1. A license agreement is needed for the light pole proposed in the existing water main and sanitary sewer easements. All three proposed light poles require a license agreement, and the existing retaining wall the crosses the sanitary sewer

also requires a license agreement. One agreement can include exhibits for both the wall and the light poles crossing utility easements.

2. Catch basin in parking lot should be changed from a beehive to a straight face grate cover.



3. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for storm sewer (2 sheets), paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
4. Existing pre-treatment structure on-site shall be cleaned out with this project.
5. The applicant has previously paid into the regional detention basin fund. Based on this new parking lot expansion an additional **\$630.74** will need to be paid.
6. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
7. Retaining walls that are 48-inches or larger shall need a permit from Building Department.

SOIL EROSION & SEDIMENT CONTROL

8. A SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

9. A letter from either the applicant or the applicant's engineer must be submitted with the next submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
10. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and

construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

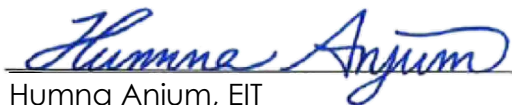
REQUIRED LEGAL DOCUMENTS

The following must be submitted with the Stamping Set: All documents must be submitted together as a package with the Stamping Set submittal with the legal review transmittal form. LRT for this project will be provided with Final Site Plan review letter. Word document versions of each legal document can be found on the City's Website under Forms and Permits).

11. A draft of the License Agreement will be required for the retaining wall and light poles proposed within the existing sanitary sewer and water main easement. This must be submitted to the Community Development Department.
 - a. The agreement shall state that the wall and light poles and all site facilities within the influence of the wall and light poles that may be removed or damaged in the event the utility requires maintenance will be **the responsibility of the property owner** to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the wall and light pole foundations and the utility.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248) 735-5632 or email at hanjum@cityofnovi.org with any questions.



Humna Anjum, EIT
Project Engineer

cc: Diana Shanahan, Community Development
Angela Sosnowski, Community Development
Stacey Choi, Planning Assistant
Kate Purpura, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
May 15, 2026
Damas Building Parking Lot Addition
Revised Preliminary Site Plan - Landscape

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP26-0007

Property Characteristics

- Site Location: 44725 Grand River
- Site Acreage: 2.15 ac.
- Site Zoning: I-1
- Adjacent Zoning: North, East and West: I-1, South: R-4
- Plan Date: 4/29/2026

Recommendation:

This project is **not recommended for approval** for Preliminary Site Plan.

LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED LAYOUT AND LANDSCAPING:

Deficiency in parking lot area along west side of expansion and deficiency in number of perimeter trees proposed – *not supported by staff*

Please replace any landscaping missing from the original approved plans. If the plantings are significantly different from what was originally proposed, please fill inconsistent gaps and provide an as-built for the revised landscaping.

Please add the City Project Number, JSP26-0007, to the bottom right corner of the Cover Sheet.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey and chart are provided.
2. Removals are shown on the demolition plan and L-2.0.
3. No regulated woodlands or wetlands are shown in the project area.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The property is adjacent to residential property south side of the property. No screening berm exists or is proposed.
2. As the site is preserving over 120 feet of woodland between the parking lot and the south property line, which was approved with the original site construction, this is accepted.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

As no changes are proposed to the site within the greenbelt, no additional greenbelt landscaping is required.

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities and proposed light posts are included on the landscape plan.
2. Please move the Frontier elm in the south island west 10 feet to be more in the large portion of the island.
3. No hydrants are shown on the site.

Parking Lot Landscaping (Zoning Sec 5.5.3.C)

1. The required parking lot interior area and trees are proposed.
2. Only 3 of the required 6 perimeter trees are proposed. **This requires a landscape waiver.**
It would not be supported staff.

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

As the building is not changing, no additional foundation landscaping is required.

Plant List (LDM 4.)

1. 4 of 6 species used (67%) are native to Michigan.
2. The proposed tree diversity meets the requirements of the Landscape Design Manual.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No new above-ground stormwater detention pond is proposed.
2. A note indicates that no Phragmites or Japanese Knotweed were found on the site.

Irrigation (LDM 1.a.(1)(e) and 2.s)

A note indicates that the existing irrigation system will be extended to cover the new trees.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: May 15, 2026
Project Name: JSP26-0007: Damas Building Parking Lot Expansion
Project Location: 44725 Grand River
Plan Date: April 29, 2026
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

Deficiency in parking lot area along west side of expansion and deficiency in number of perimeter trees proposed – *not supported by staff*

| Item | Required | Proposed | Meets Code | Comments |
|--|---|--|------------|---|
| Landscape Plan Requirements (LDM 2) | | | | |
| Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.) | <ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set | 1" = 30' | Yes | Please add a revision date to the landscape plans. |
| Project Information (LDM 2.d.) | Name and Address | Project name and address are on the title block | Yes | |
| Owner/Developer Contact Information (LDM 2.a.) | Name, address and telephone number of the owner and developer or association | Business name and contact information are on the title block | Yes | |
| Landscape Architect contact information (LDM 2.b.) | Name, Address and telephone number of RLA/PLA/LLA who created the plan | Jim Allen – Allen Design | Yes | |
| Sealed by LA. (LDM 2.g.) | Requires original signature | Copy of seal and signature | Yes | |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|--|------------|--|
| Miss Dig Note (800) 482-7171 (LDM.3.a.(8)) | Show on all plan sheets | On landscape plans | Yes | |
| Zoning (LDM 2.f.) | Include all adjacent zoning | On landscape plan location map Site: I-1 East, North, West: I-1 South: R-4 | Yes | |
| Survey information (LDM 2.c.) | <ul style="list-style-type: none"> Legal description or boundary line survey Existing topography | Topographic Survey and Legal Description on Sheet 4 | Yes | |
| Existing plant material Existing woodlands or wetlands (LDM 2.e.(2)) | <ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. | <ul style="list-style-type: none"> A tree survey and chart are provided on L-2 Removals are indicated on the same plan | Yes | See the Merjent letter for complete woodland and wetland reviews. |
| Soil types (LDM.2.r.) | <ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries | Sheet 7 | Yes | |
| Existing and proposed improvements (LDM 2.e.(4)) | Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W | <ul style="list-style-type: none"> Sheet 3 All proposed elements are on the landscape plan | Yes | |
| Existing and proposed utilities (LDM 2.e.(4)) | <ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts | <ul style="list-style-type: none"> Sheet 5 All utilities and light posts are shown on the landscape plan. | Yes | |
| Proposed grading. 2' contour minimum (LDM 2.e.(1)) | Provide proposed contours at 2' interval | Sheet 7 | Yes | |
| Snow deposit (LDM.2.g.) | Show snow deposit areas on plan | Yes | Yes | |
| LANDSCAPING REQUIREMENTS | | | | |
| Berms, Walls and ROW Planting Requirements | | | | |
| Berms | | | | |
| <ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of topsoil. | | | | |
| Residential Adjacent to Non-residential (Zoning Sec 5.5.3.A & LDM 1.a) | | | | |
| Berm requirements (Zoning Sec 5.5.A) | The project area is not adjacent to any residential property | <ul style="list-style-type: none"> No berm is proposed. Approximately 120 feet of existing woodland | Yes | |

| Item | Required | Proposed | Meets Code | Comments |
|---|---|---|------------|---|
| | | between the existing parking lot and south property line is being preserved | | |
| Walls (<i>Zoning Sec 5.5.3.vi and LDM 2.k</i>) | | | | |
| Material, height and type of construction footing | Freestanding walls should have brick or stone exterior with masonry or concrete interior | <ul style="list-style-type: none"> An extension of an existing retaining wall is proposed along the west edge of the parking lot expansion area TW/BW elevations are provided | Yes | |
| Walls 4 feet or greater should be designed and sealed by an Engineer | | TW elevations of the existing wall along the west side are being raised by 3 feet. | | The wall plans may need to be created by an engineer – see engineering comments. |
| ROW Landscape Screening Requirements (<i>Zoning Sec 5.5.3.B. ii and (LDM 1.b)</i>) | | | | |
| Greenbelt width (2)(3) (5) | NA | NA | NA | As the expansion is not near the greenbelt, no changes to the greenbelt are required |
| Berm requirements (<i>Zoning Sec 5.5.3.A.(5)</i>) | | | | |
| Min. berm crest width | NA | NA | NA | As the expansion is not near the greenbelt, no changes to the greenbelt berm or landscaping are required |
| Minimum berm height (9) | NA | NA | NA | See above |
| 3' wall | NA | NA | NA | See above |
| Canopy deciduous or large evergreen trees Notes (1) (10) | NA | NA | NA | See above |
| Sub-canopy deciduous trees Notes (2)(10) | NA | NA | NA | See above |
| Canopy deciduous trees in area between sidewalk and curb (<i>Novi Street Tree List</i>) | NA | NA | NA | See above |
| Cross-Section of Berms (<i>LDM 2.j</i>) | | | | |
| Slope, height and width | <ul style="list-style-type: none"> Label contour lines Maximum 33% Constructed of loam | No new berms are required or proposed | NA | |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|--|------------|--|
| | <ul style="list-style-type: none"> • 6" top layer of topsoil | | | |
| Type of Ground Cover | | NA | | |
| Setbacks from Utilities | Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole | No utilities or trees are shown on plan | No | <ol style="list-style-type: none"> 1. Please clearly show all utilities on landscape plan and label overhead wires. 2. Please space trees appropriately from underground and overhead utilities. |
| Parking Area Landscape Requirements (LDM 1.c. & Calculations (LDM 2.o.)) | | | | |
| General requirements (LDM 1.c) | <ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees | No landscaping is proposed | TBD | |
| Name, type and number of ground cover (LDM 1.c.(5)) | As proposed on planting islands | No | No | Please indicate groundcovers to be used in islands (seed, sod, mulch, etc.) |
| General (Zoning Sec 5.5.3.C.ii) | | | | |
| Parking lot Islands (a, b. i) | <ul style="list-style-type: none"> • A minimum of 200 SF to qualify • Minimum 200 SF per tree planted in an island • 6" curbs • Islands minimum width 10' BOC to BOC | Islands are shown, but no dimensions or areal quantities are provided. | TBD | <ol style="list-style-type: none"> 1. Please dimension the widths of all landscape islands. 2. Please label the sf of all landscape islands on landscape plan. 3. To count toward the required area, each island must have at least 200sf landscape area per tree planted in it and be 10 feet wide. 4. If any islands aren't sufficiently large, please enlarge them as required. |
| Curbs and Parking stall reduction (c) | Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft. | Spaces are 19 feet long in the interior and 17 feet along along the edge | Yes | |
| Contiguous space limit (i) | <ul style="list-style-type: none"> • Maximum of 15 contiguous spaced • All endcap islands should also be at least 200sf with 1 tree planted in it. | The longest new bay is 15 spaces | Yes | |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|---|------------|---|
| Plantings around Fire Hydrant (d) | <ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). Trees also need to have at least 5 feet between the trunk and underground utility lines. | The only hydrant shown is outside of the project area | Yes | |
| Landscaped area (g) | Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped | No | No | Please indicate landscaping and/or ground covers for all areas on site |
| Clear Zones (LDM 2.3.(5)) | NA as the project is not near Grand River | | | |
| Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii) | | | | |
| A = Total square footage of vehicular use area up to 50,000 sf x 7.5% | $A = x \text{ SF} \times 7.5\% = A \text{ sf}$ | NA | NA | |
| B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 % | $B = x \text{ SF} \times 1\% = B \text{ sf}$ | NA | NA | |
| Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii) | | | | |
| A = Total square footage of vehicular use area up to 50,000 sf x 5% | <ul style="list-style-type: none"> $A = x \text{ SF} \times 6\%$ $A = 8580 \times 6\% = 515\text{sf}$ | Calculation is provided | Yes | |
| B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 % | $B = (x \text{ SF} - 50000) \times 0.5\%$ | NA | | |
| All Categories | | | | |
| C = A+B Total square footage of landscaped islands required | <ul style="list-style-type: none"> $C = A + B$ $C = 515 + 0 = 515\text{sf}$ | 1064 sf | Yes | <u>Move the 200sf label from the snow deposit island without a tree to the northwest corner island.</u> |
| D = D/200 Number of canopy trees required | $D=C/200 = \text{xx Trees}$ $D = 515/200 = 3 \text{ trees}$ | 3 trees | Yes | |
| Parking Lot Perimeter Trees (Zoning Sec 5.5.3.C.iv) | 1 Canopy tree per 35 lf $219/35 = 6 \text{ trees}$ | 3 trees | No | 1. A landscape waiver is required for the deficiency in trees. |

| Item | Required | Proposed | Meets Code | Comments |
|---|---|--|------------|--|
| | | | | 2. It would not be supported by staff. 3. Please provide the required space west of the parking and all of the required trees. |
| Parking land banked | NA | None | | |
| Other Landscaping | | | | |
| Other Screening | | | | |
| Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5) | | NA | NA | |
| Transformers/Utility boxes (LDM 1.e from 1 through 5) | <ul style="list-style-type: none"> • A minimum of 2ft. separation between box and the plants • Ground cover below 4" is allowed up to pad. • No plant materials within 8 ft. from the doors | A note indicates no transformers will be added for the project | | |
| Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D) | | | | |
| Interior site landscaping SF | <ul style="list-style-type: none"> • Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. • A minimum of 75% of the building should have foundation landscaping. • xx lf x 8ft = xx SF | None – no changes to the building are proposed | Yes | |
| Frontage Green Space (Zoning Sec 5.5.3.D.ii. All items from (b) to (e)) | If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space | NA | NA | |
| Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E.iv) | | | | |
| Planting requirements (Zoning Sec. 5.5.3.E.iv) | <ul style="list-style-type: none"> • Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level | No detention is proposed | No | <u>If any above-ground detention is required please provide the required detention basin landscaping.</u> |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|---|------------|--|
| | <ul style="list-style-type: none"> or pond bottom if it's a dry pond. • Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix | | | |
| Phragmites/Japanese Knotweed Control (Zoning Sec 5.5.6.C) | <ul style="list-style-type: none"> • Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. | A note indicates that none of the weeds are on the site. | | |
| LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS | | | | |
| Landscape Notes – Utilize City of Novi Standard Notes | | | | |
| Installation date (Zoning Sec 5.5.5.B & LDM 2.l.) | <ul style="list-style-type: none"> • Provide intended dates • Should be between March 15 and November 15. | Between March-November | Yes | |
| Maintenance & Statement of intent (Zoning Sec 5.5.6 & LDM 2.m) | <ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. | Yes | Yes | |
| Plant source (LDM 2.n & LDM 3.a.(2)) | Shall be northern nursery grown, No.1 grade. | Yes | Yes | |
| Irrigation plan (LDM 2.s.) | A method for providing the water required for plant establishment and long-term survival must be provided. | A note indicates that the existing system will be extended to cover the new plantings | Yes | |
| Other information (LDM 2.u) | Required by Planning Commission | NA | | <u>Please change peat to compost in Landscape Note #9.</u> |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|---|------------|--|
| Establishment period <i>(Zoning Sec 5.5.6.B)</i> | 2 yr. Guarantee | Yes | Yes | |
| Approval of substitutions. <i>(Zoning Sec 5.5.5.E)</i> | City must approve any substitutions <u>in writing</u> prior to installation. | Yes | Yes | |
| Plant List (LDM 4, 11) – Include all cost estimates | | | | |
| Quantities and sizes | <ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. The Tree Diversity standards of the Landscape Design Manual Section 4 must be met for all non-woodland replacement trees used. No Prohibited Species listed on Table 11.b.(2)b may be used. | Yes | Yes | |
| Root type | | Yes | Yes | |
| Botanical and common names | | <ul style="list-style-type: none"> 4 of 6 species used (67%) are native to Michigan. The tree diversity meets the requirements of LDM 4 | Yes | |
| Type and amount of lawn | | Seed is indicated | Yes | |
| Cost estimate <i>(LDM 2.t)</i> | For all new plantings, mulch and sod as listed on the plan | Yes | Yes | |
| Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details | | | | |
| Canopy Deciduous Tree | Refer to LDM for detail drawings | Yes | Yes | |
| Evergreen Tree | | No | NA | |
| Multi-stem Tree | | No | NA | |
| Shrub | | Yes | Yes | |
| Perennial/ Ground Cover | | No | NA | |
| Tree stakes and guys. (Wood stakes, fabric guys) | | Yes | Yes | |
| Tree protection fencing | Located at Critical Root Zone (1' outside of dripline) | Yes | Yes | |
| Other Plant Material Requirements (LDM 3) | | | | |
| General Conditions <i>(LDM 3.a)</i> | Plant materials shall not be planted within 4 ft. of property line | Yes | | <u>Please move the PE near the north property line at least 4 feet from the property line and copy the call out to this property line.</u> |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|------------------------------------|------------|----------|
| Plant Materials & Existing Plant Material (LDM 3.b) | Clearly show trees to be removed and trees to be saved. | Yes | Yes | |
| Landscape tree credit (LDM3.b.(d)) | <ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM | No | | |
| Plant Sizes for ROW, Woodland replacement and others (LDM 3.c) | Refer to Landscape Design Manual for requirements | Yes | Yes | |
| Plant size credit (LDM3.c.(2)) | NA | No | | |
| Prohibited Plants (LDM 3.d) | No plants on City Invasive Species List | None are used | Yes | |
| Recommended trees for planting under overhead utilities (LDM 3.e) | Label the distance from the overhead utilities | No overhead utilities impact trees | Yes | |
| Collected or Transplanted trees (LDM 3.f) | | None | | |
| Nonliving Durable Material: Mulch (LDM 4) | <ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. | On details | Yes | |

NOTES:

- This table is a working summary chart and is not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

WOODLAND/WETLAND REVIEW



May 21, 2026

Diana Shanahan
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to dshanahan@cityofnovi.org

Re: Grand River Parking Expansion Revised Preliminary Site Plan Woodland and Wetland Review (JSP26-07)

Dear Diana,

Merjent, Inc. (Merjent) has conducted a review of the revised Preliminary Site Plan (rPSP) for the proposed Grand River Parking Expansion (formerly Damas Building Parking Expansion; Project). The provided PSP contains two sets of plans that were reviewed:

- The Civil Engineering Set, which contains the primary construction and grading information prepared by Umlor Group, dated February 16, 2026, revised April 29, 2026.
- The Landscape Plan, which contains the primary landscaping design and information, prepared by Allen Design, dated February 16, 2026, revised April 29, 2026.

Merjent reviewed the plan for conformance with the City of Novi’s (City) Woodland Protection Ordinance, Chapter 37, and Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V. The Project is located at 44725 Grand River Avenue (parcels 50-22-15-376-012 and -016) in Section 15 of the City of Novi (site). The site contains City-regulated woodlands (**Figure 1**) and City-regulated wetlands (**Figure 1**).

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the Grand River Parking Expansion PSP. Woodland Review comments have been provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

| Woodland Regulation | Required |
|---|--------------|
| Woodland Permit (Chapter 37, Section 37-26) | Not Required |
| Tree Replacement (Chapter 37, Section 37-8) | Not Required |
| Tree Protection (Fence; Chapter 37, Section 37-9) | Required |
| Woodland Conservation Easement (Chapter 37-30[e]) | Not Required |

Woodland Review Comments

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are depicted as being present onsite. However, it should be noted that both the woodlands and property

limits depicted on the City map are considered approximations. Additionally, the City of Novi Woodland interactive map disclaims that “Map information depicted is not intended to replace or substitute for any official or primary source. Specific determination of the limits of a regulated woodland are made on a site-specific basis by the City’s woodland consultant or Community Development staff.”

- a. Merjent conducted a site visit on March 3, 2026 to review the site conditions relative to the PSP/rPSP submittal. Site photographs are included in **Attachment A**. The on-site conditions reflect the conditions listed in the City’s Woodland Map.
 - b. A copy of the City’s Woodland Map is provided in **Figure 1**.
2. Pursuant to Chapter 37, Section 37-28, an accurate woodland survey should be provided and be accompanied by a separate key identifying the location of all trees eight inches at diameter at breast height (DBH) and greater, by size, common, genus and species names (i.e. Red Maple/*Acer rubrum*), and condition. All such trees shall be identified in the field by the painting of the identifying numbers in nontoxic paint of a white, yellow or orange color, or by a tree identification tag affixed loosely with a single nail.
 - The provided rPSP does not contain full species or accurate common names. However, due to the rPSP containing accurate DBH measurements and genus information, the plan can be considered acceptable. It is requested that should the applicant submit future projects in the City for review, that a comprehensive tree survey be completed with full common and species names of trees.
 3. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a DBH greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.
 4. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH.
 5. A **Woodland Use Permit** is typically required to perform construction on any site containing regulated woodlands. Because fewer than three regulated trees are proposed to be removed, Planning Commission approval is not required.
 6. **Woodland Replacement.** Based on a review of the plan, the applicant is proposing to remove no regulated trees. The Woodland Summary on Sheet L-2 confirms that all 24 inventoried trees are non-regulated and that zero regulated trees are proposed for removal, with no replacement required. Several non-regulated trees are shown as proposed for removal on Sheet L-2; this is consistent with the Woodland Summary and does not trigger replacement requirements. The applicant is always encouraged to donate to the City of Novi Tree Fund or plant additional trees on-site at their discretion.
 7. **Critical root zone.** Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree’s longest dripline radius plus one foot.

~~Requested Edit: It is estimated that regulated critical root zones will not be impacted by the proposed parking lot expansion. However, if possible, the applicant should add a critical root zone around Trees 3138, 3140, and 3142 to show that these trees will not be impacted by the construction. Although an existing retaining wall is present east of these trees, critical root zones should still be displayed as accurately as possible.~~

- The revised Sheet L-2 includes critical root zone and tree protection fencing callouts near the existing building. The critical root zones for Trees 3138, 3140, and 3142 are now depicted, confirming that these trees will not be impacted by the proposed construction. This comment has been addressed.

8. A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - a. Appropriate tree protection details have been provided on Sheet L-2.
 - b. It is understood that a retaining wall exists east of Trees 3138, 3140, and 3142. If feasible, woodland protection fence should be added along the western parcel boundary. Though, the extent of the proposed parking lot and construction limits in relation to the parcel boundary may cause the fence to be placed on the parcel west of the project.

Wetlands

Wetland Recommendation: Merjent **recommends approval, with requests for edits for Final Site Plan submittal**, of the Grand River Parking Expansion rPSP based on the comments provided below.

Based on a site review conducted on May 15, 2026, Merjent agrees with the wetland boundaries as depicted on the site plan and provided wetland delineation report (**Figure 1**). The wetland south of the proposed Project extends to the southern retaining wall and is dominated by hairy sedge (*Carex lacustris*) and sandbar willow (*Salix exigua/interior*). Photographs from the site visit are included in **Attachment A**. Upon review of published resources, the Site appears to contain or immediately borders:

- City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City’s map are considered approximations (**Figure 1**).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (provided in pre-app review). NWI and MIRIS wetlands are identified by the associated governmental bodies’ interpretation of topographic data and aerial photographs.
- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resources Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (provided in pre-app review).

Permits and Regulatory Status

Due to the comments below, the following wetland-related items will be required for this project:

| Item | Required/Not Required |
|---|-----------------------|
| Wetland Permit (specify Non-minor or Minor) | Not Required |



| Item | Required/Not Required |
|---------------------------------------|-----------------------|
| Wetland Mitigation | Not Required |
| Environmental Enhancement Plan | Not Required |
| Wetland Buffer Authorization | Required |
| EGLE Wetland Permit | Likely Not Required* |
| Wetland Conservation Easement | Not Required |

*EGLE is the final authority over wetlands and water resources in the State of Michigan.

Wetland Review Comments

1. No impacts to wetlands are proposed by this Project.
2. In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Section 3.6 (2[M]) of the Zoning Ordinance, Schedule of Regulations, states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffer/setback limit is 25 horizontal feet, regardless of grade change.
 - The revised site plans depict the 25-foot wetland setback on Sheet 9 (Impervious Area Plan). A portion of the proposed parking lot expansion encroaches within the 25-foot wetland setback. The existing parking lot and retaining wall are also within the 25-foot setback.
 - A **Wetland Buffer Authorization** is required because a portion of the proposed parking lot expansion encroaches within the 25-foot wetland setback.
 - **Required Edit for Final Site Plan: The applicant should provide the total area (square feet) and volume (cubic yards) of fill proposed within the 25-foot wetland setback to allow for a complete assessment of impacts under Chapter 12, Article V.**

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant

Enclosures:

Figure 1 – City of Novi Woodlands and Wetlands Map
Attachment A – Site Photos

CC:

Barb McBeth, City of Novi, bmcbeth@cityofnovi.org
Rick Meader, City of Novi, rmeader@cityofnovi.org
Stacey Choi, City of Novi, schoi@cityofnovi.org
Matt Pudlo, Merjent, matt.pudlo@merjent.com



Figure 1. City of Novi Regulated Woodland and Wetland Map
Site Boundary is outlined in red
Approximate Woodlands are shown in green
Approximate Wetlands are shown in Blue



City of Novi Woodland and Wetlands Map

Civic Center
45175 Ten Mile Rd
Novi, MI 48375
cityofnovi.org



1 inch = 94 feet



Date Printed: 3/6/2026

Map Author:

**Attachment A
Site Photographs**



Overview of parking lot expansion area



Overview of southern wetland with flagging



Overview of western wetland with flagging

TRAFFIC REVIEW



AECOM
 39575 Lewis Dr, Ste. 400
 Novi
 MI, 48377
 USA
 aecom.com

Project name:
 JSP26-07 – 44275 Grand River Parking Lot
 Expansion Revised Preliminary Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 May 21, 2026

CC:
 Lindsay Bell, Humna Anjum, Diana Shanahan, Milad
 Alesmail, Stacey Choi, Kate Purpura

Memo

Subject: JSP26-07 – 44275 Grand River Parking Lot Expansion Revised Preliminary Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Versa Real Estate, is proposing an expansion to an existing parking lot.
2. The development is located on the south side of Grand River Avenue, east of Taft Road. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned I-1 (Light Industrial).
4. There are no traffic related deviations required at this time.

TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as the footprint of the building is not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

| Trip Impact Study Recommendation | |
|----------------------------------|---------------|
| Type of Study: | Justification |
| None | N/A |

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

| EXTERNAL SITE ACCESS AND OPERATIONS | | | | |
|-------------------------------------|---|----------|------------|----------------------|
| No. | Item | Proposed | Compliance | Remarks |
| 1 | Driveway Radii O Figure IX.3 | - | N/A | No changes proposed. |
| 2 | Driveway Width O Figure IX.3 | - | N/A | No changes proposed. |
| 3 | Driveway Taper O Figure IX.11 | - | N/A | No changes proposed. |
| 3a | Taper length | - | N/A | |
| 3b | Tangent | - | N/A | |
| 4 | Emergency Access O 11-194.a.19 | - | N/A | No changes proposed. |
| 5 | Driveway Sight Distance O Figure VIII-E | - | N/A | No changes proposed. |
| 6 | Driveway Spacing | - | N/A | No changes proposed. |
| 6a | Same-side O 11.216.d.1.d | - | N/A | |
| 6b | Opposite side O 11.216.d.1.e | - | N/A | |
| 7 | External Coordination (Road Agency) | - | N/A | No changes proposed. |
| 8 | External Sidewalk Master Plan & EDM | - | N/A | No changes proposed. |
| 9 | Sidewalk Ramps EDM 7.4 & R-28-K | - | N/A | No changes proposed. |
| 10 | Any Other Comments: | | | |

| INTERNAL SITE OPERATIONS | | | | |
|--------------------------|--|------------------------------------|------------|-----------------------------|
| No. | Item | Proposed | Compliance | Remarks |
| 11 | Loading Zone ZO 5.4 | - | N/A | No changes proposed. |
| 12 | Trash Receptacle ZO 5.4.4 | - | N/A | No changes proposed. |
| 13 | Emergency Vehicle Access | - | N/A | No changes proposed. |
| 14 | Maneuvering Lane ZO 5.3.2 | 24' | Met | |
| 15 | End Islands ZO 5.3.12 | | | |
| 15a | Adjacent to a travel way | Dimensioned | Met | |
| 15b | Internal to parking bays | - | N/A | |
| 16 | Parking Spaces ZO 5.2.12 | 32 additional spaces | | See Planning review letter. |
| 17 | Adjacent Parking Spaces ZO 5.5.3.C.ii | ≤15 spaces in a parking bay | Met | |
| 18 | Parking Space Length ZO 5.3.2 | 17' | Met | |
| 19 | Parking Space Width ZO 5.3.2 | 9' | Met | |
| 20 | Parking Space Front Curb Height ZO 5.3.2 | 4" and 6" | Met | |
| 21 | Accessible Parking – number ADA | 4 required, 3 existing, 1 proposed | Met | |

| INTERNAL SITE OPERATIONS | | | | |
|--------------------------|---|------------------------|----------------|---|
| No. | Item | Proposed | Compliance | Remarks |
| 22 | Accessible Parking – size ADA | 18' x 9' with 8' aisle | Met | |
| 23 | Number of Van Accessible Space ADA | 1 proposed | Met | |
| 24 | Bicycle Parking | | | |
| 24a | Requirement ZO 5.16.1 | 8 proposed | Met | |
| 24b | Location ZO 5.16.1 | Indicated | Met | |
| 24c | Clear Path from Street ZO 5.16.1 | Existing | Met | |
| 24d | Height of Rack ZO 5.16.5.B | 3' | Met | |
| 24e | Other (Covered / Layout) ZO 5.16.1, Text Amendment 18.301 | Provided | Not Met | Update layout to meet requirements in Text Amendment 18.301. |
| 25 | Sidewalk – min 5' wide Master Plan | 8.5' | Met | |
| 26 | Sidewalk Ramps EDM 7.4 & R-28-K | - | N/A | No changes proposed. |
| 27 | Sidewalk – distance back of curb EDM 7.4 | - | N/A | No changes proposed. |
| 28 | Cul-De-Sac O Figure VIII-F | - | N/A | |
| 29 | EyeBrow O Figure VIII-G | - | N/A | |
| 30 | Turnaround ZO 5.10 | - | N/A | |
| 31 | Any Other Comments: | | | |

| SIGNING AND STRIPING | | | | |
|----------------------|--|-----------------|----------------------|---|
| No. | Item | Proposed | Compliance | Remarks |
| 32 | Signing - sizes MMUTCD | Detail provided | Met | |
| 33 | Signing Table - quantities and sizes | Not included | Not Met | Include sign quantity table with sizes on sheet 2. |
| 34 | Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD | Indicated | Met | |
| 35 | Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD | Indicated | Met | |
| 36 | Sign bottom height of 7' from final grade MMUTCD | Indicated | Met | |
| 37 | Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD | Indicated | Met | |
| 38 | FHWA Standard Alphabet series used for all sign language MMUTCD | Indicated | Met | |
| 39 | High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD | Indicated | Met | |
| 40 | Parking space striping notes | Indicated | Met | |
| 41 | The international symbol for accessibility pavement markings ADA | Detail provided | Partially Met | Label color on detail. |
| 42 | Crosswalk Pavement Marking Detail | - | N/A | |
| 43 | Any Other Comments: | | | |

Memo

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

FIRE REVIEW



May 4, 2026

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Matt Heintz

Priya Gurumurthy

Aaron Martinez

City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

RE: Damas Building Parking Lot Expansion 44725 Grand River

JSP26-07

Project Description:

New parking lot expansion on existing site @ 44725 Grand River

Comments:

NONE

Recommendation:

The Fire Dept. does not have any objections at this time.

Sincerely,

Andrew Copeland – Fire Marshal
City of Novi Fire Department

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTERS



June 2, 2026

City of Novi Planning Department
45175 W 10 Mile Road
Novi, MI 48375

Re: JSP26-07 Damas Building Parking Lot Expansion (44725 Grand River Ave.)

To Whom it May Concern,

Attached please find the Site Plan for the above referenced Damas Building Parking Lot Expansion (44725 Grand River Ave.) project. We are in receipt of review comments dated May 26, 2026. Below is our responses and any corrective actions taken shown in **red** as necessary.

Planning Review

- **A Zoning Board of Appeals variance will be requested for the deficiency in parking in the west side setback as the proposed parking is closer than 10' to the property line.**
- **Please see the included existing 1st floor plan (as provided to the Applicant at time of closing) & the proposed 2nd floor plan. A Zoning Board of Appeals variance will be requested for the parking deficiency.**
- **The number of employees for medical office use will be approximately 30 employees. Thus, resulting in 2 bicycle parking spaces being required.**
- **The bicycle parking has will be revised on the Final Site Plan revised for 8 bicycles as requested.**
- **A revised photometric plan showing minimum illumination levels will be included in the Final Site Plan submittal.**
- **Lot splits and combinations will be completed prior to stamping set approval; new parcel numbers will be indicated on the stamping set.**

Engineering Review

1. **License Agreement will be submitted at Final Site Plan submittal.**
2. **The beehive cover in the parking lot will be replaced with a straight face grate cover on the Final Site Plan submittal.**
3. **Comment noted.**
4. **A note will be added to the Final Site Plan stating the existing pre-treatment structure on-site shall be cleaned out with this project.**
5. **An additional fee of \$630.74 will be paid by the Applicant for the regional detention basin fund.**
6. **Note to use 21AA crushed aggregate within 100 feet of water course will be added to the Final Site Plan.**
7. **A building permit for retaining walls that are 48-inches or larger will be obtained from Building Department.**



Landscape Review

- **Refer to Allen Design Response Letter.**
- **Color rendering of the Site Plan to be provided by Allen Design.**

Woodland Review

- **Woodland fence guarantee of \$6,000 will be paid prior to issuance of the City of Novi Woodland Use Permit as required.**
- **A wetland buffer authorization for the encroachments into the wetland buffer will be provided at Final Site Plan submittal.**

We hope you find this response agreeable and respectfully request your approval of the updated Site Plan.

If you have any questions or require anything further, please do not hesitate to contact our office.

Sincerely,

UMLOR GROUP

A handwritten signature in blue ink, appearing to read 'Chad Holdwick', is written over a light blue grid background.

Chad Holdwick
Engineering Manager

Attachments:

Site Plan

Existing 1st Floor Plan

Proposed 2nd Floor Plan

June 2, 2026

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: 44725 Grand River

Dear Mr. Meader:

Below are our responses to your review dated May 15, 2026.

Landscape Comments:

- *Existing vegetation.* A note has been added to Sheet L-1 stating any missing landscaping from the originally approved plans shall be replaced.
- *Existing utilities.* Existing utilities are labeled. We will double check the tree spacing from utilities.
- *Ground covers.* A note will address the existing islands. The intent is to match the existing islands.
- *Parking lot islands.* The island widths will be dimensioned. All islands have the areas labeled and meet ordinance requirements.
- *Landscape area.* A note states all disturbed areas to be sod.
- *Parking lot perimeter.* A variance will be sought since the parking lot is closer than 10' to the property line. If this is granted, a parking lot perimeter waiver will be needed due to the reduced width.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.



ICHIBAN FACADE JF25-13

ICHIBAN FACADE JF25-13

Consideration at the request of Crown Realty & Management for approval of a Section 9 Façade Waiver. The existing building is located on a portion of the 5.86-acre parcel at 42050 Grand River Avenue (Section 23). The applicant requests approval for the application of asphalt shingles on a mansard roof.

Required Action

Approval or denial of the Section 9 Façade Waiver.

| REVIEW | RESULT | DATE | COMMENTS |
|--------|---------------------------------|----------|--|
| Façade | Contingent Approval Recommended | 6/3/2026 | <ul style="list-style-type: none">Section 9 Waiver for the application of asphalt shingles on a mansard roof (0% permitted). |

MOTION SHEET:

Approval – Section 9 Façade Waiver

In the matter of Ichiban Facade JF25-13, motion to **approve** the Section 9 Façade Waiver based on and subject to the following:

- Provision of adequate screening of all rooftop units (RTUs) to effectively screen the RTUs from all vantage points and comply with roof top screening requirements of Section 4.19.2.E of the Zoning Ordinance, as the proposed material in the packet has been determined to be inadequate for screening.
- All elevations of the building are painted with the approved paint colors.
- (additional conditions here, if any).

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

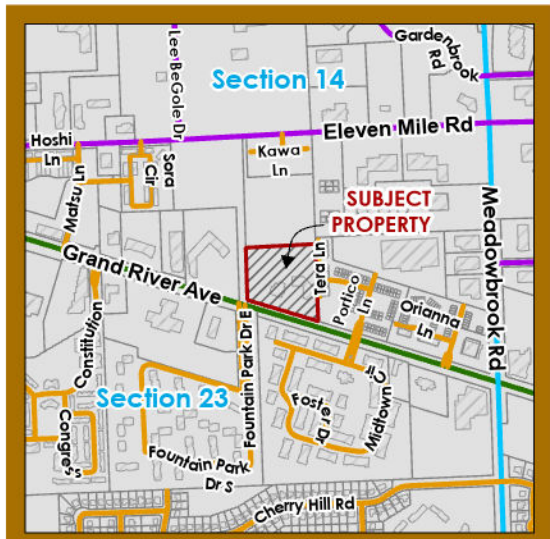
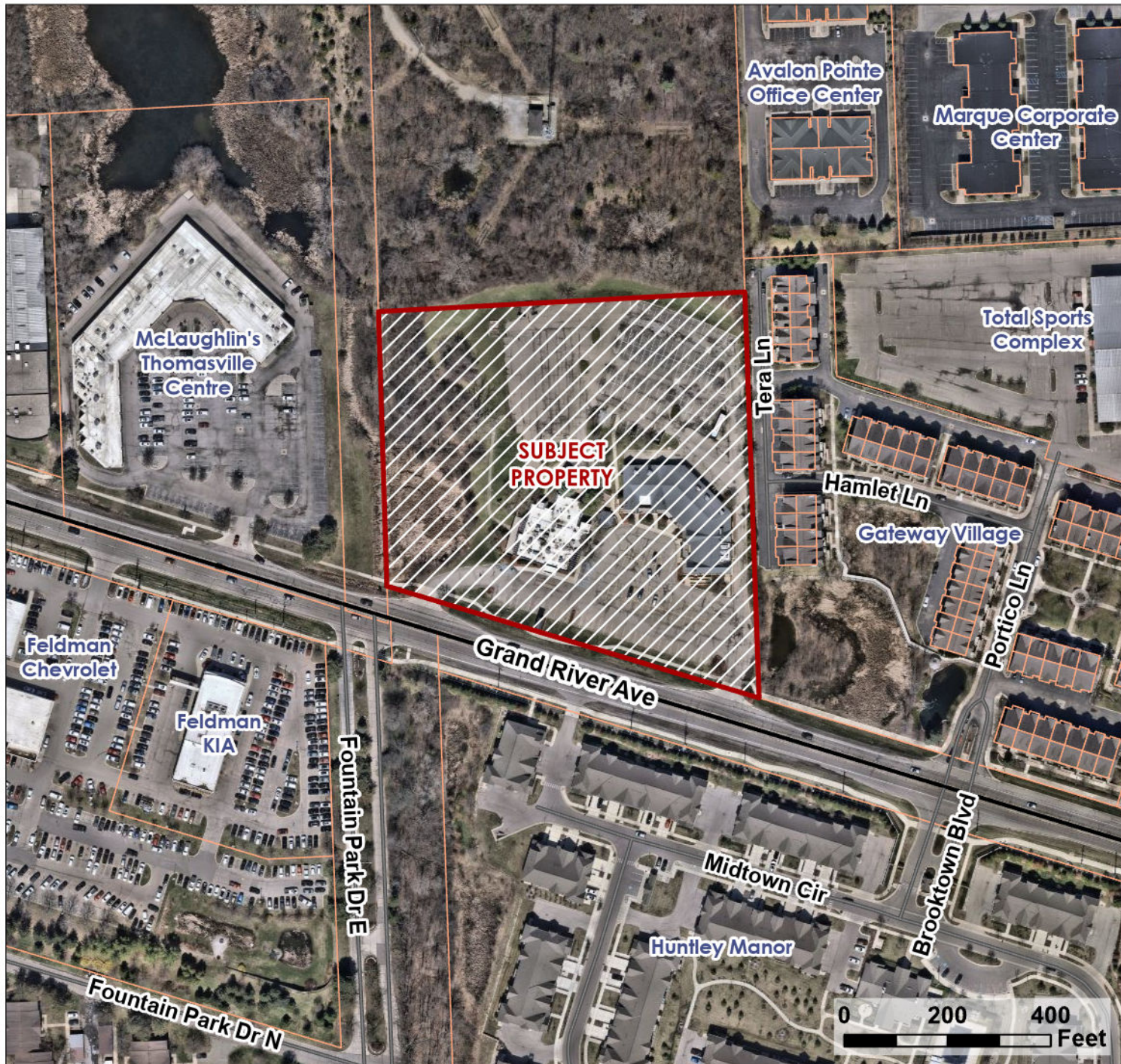
– OR –

Denial – Section 9 Façade Waiver

In the matter of Ichiban Facade JF25-13, motion to **deny** the Section 9 Façade Waiver ... (because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

MAP
Location

ICHIBAN LOCATION MAP



LEGEND

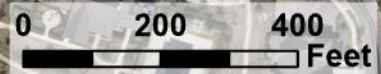
-  Subject Property
- Thoroughfare Classification
 -  Arterial
 -  Minor Arterial
 -  Non-Residential Collector
 -  Local Road



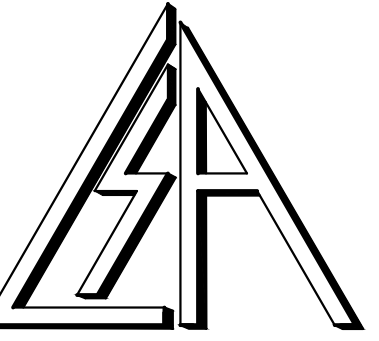
Map Author: Diana Shanahan
Project: 42050 Grand River

Date: 06/01/26
Version #: 1

City of Novi
Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



BUILDING ELEVATIONS AND FLOOR PLANS



LSA, Inc.

4743 PARKSIDE CT.
ANN ARBOR, MI 48105

734.417.0260 (PHONE)
734.212.2130 (FAX)

ZY.LIU@LSA-MI.COM

NOVI ICHIBAN

(FORMERLY: WASABI)
(ADD ROOF SCREEN)
42050 GRAND RIVER
NOVI, MI 48375

NOT FOR
CONSTRUCTION



05/05/2026

SHEET TITLE
BUILDING
ELEVATIONS

PROJECT NO: 2507016

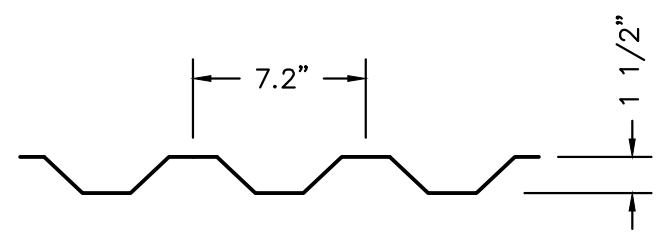
DRAWN J.S.
CHECKED Z.L.
APPROVED

DATE ISSUED FOR

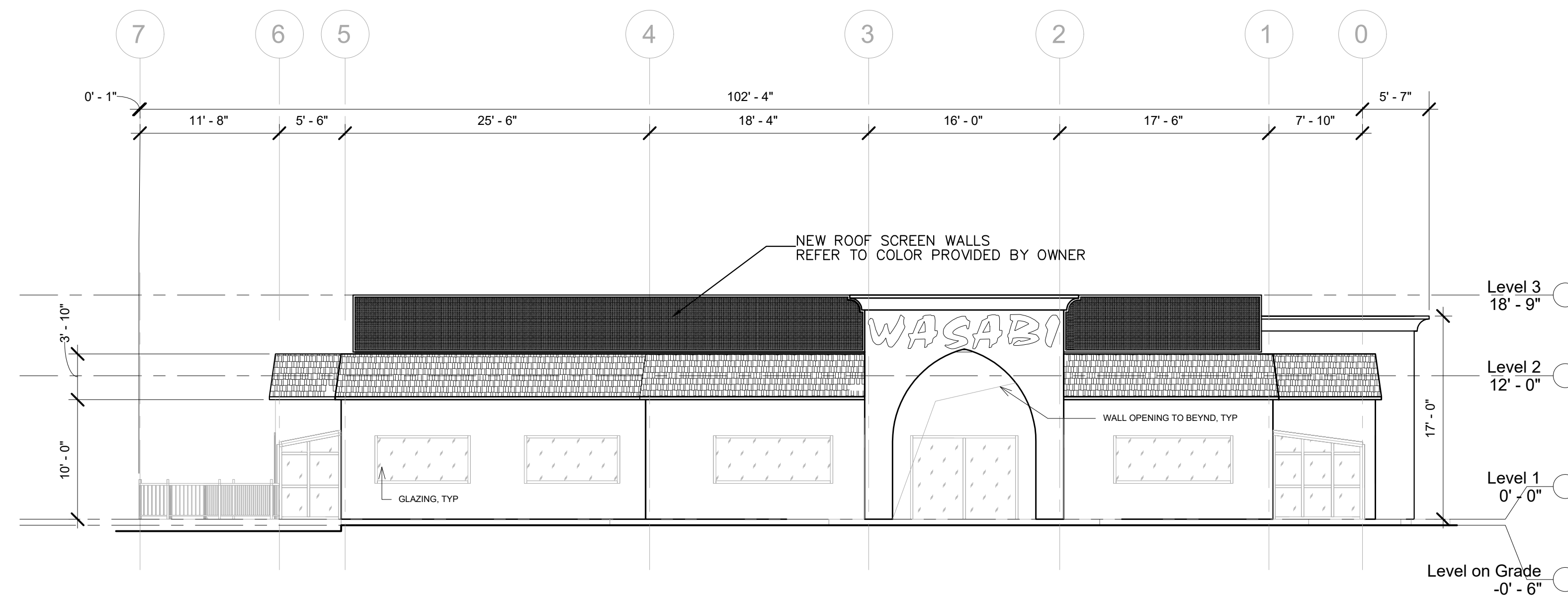
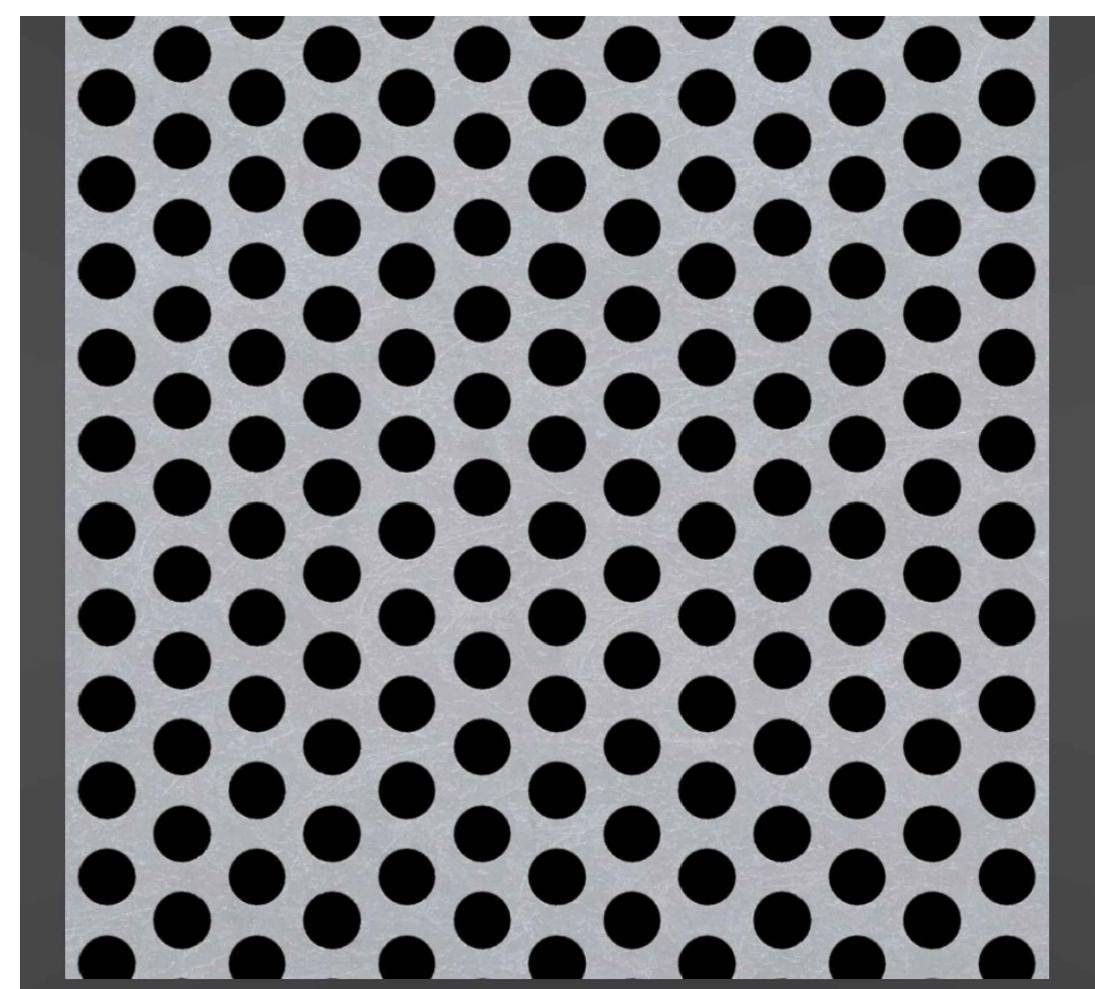
04/27/2026 REVIEW
SHEET

A.1

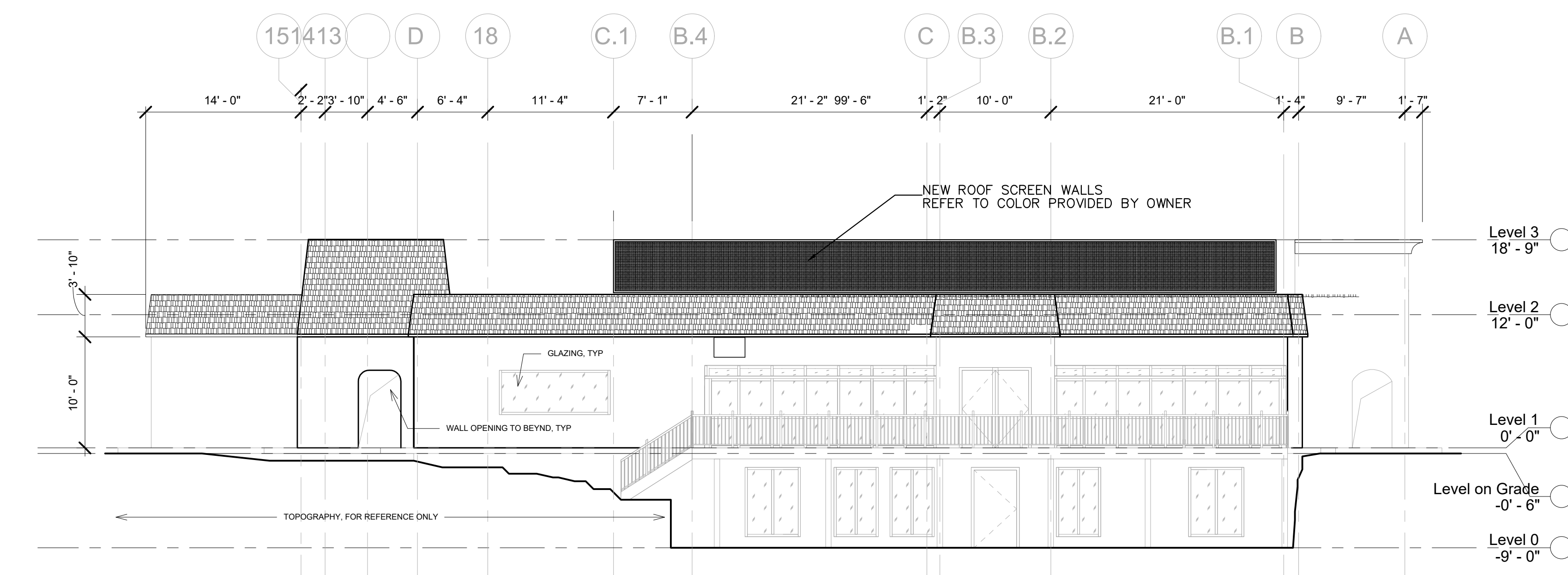
SCREEN WALL PANELS:
MATERIAL: ALUMINUM
SHEET THICKNESS: 0.04 INCH
PERFORATED HOLE SIZE: 3/8" DIA.
PERFORATED HOLE SPACING: 9/16" (STAGGERED)
PERFORATED OPEN AREA: 40%
PANEL COLOR: MANSARD BROWN
PANEL DEPTH: 1 1/2"



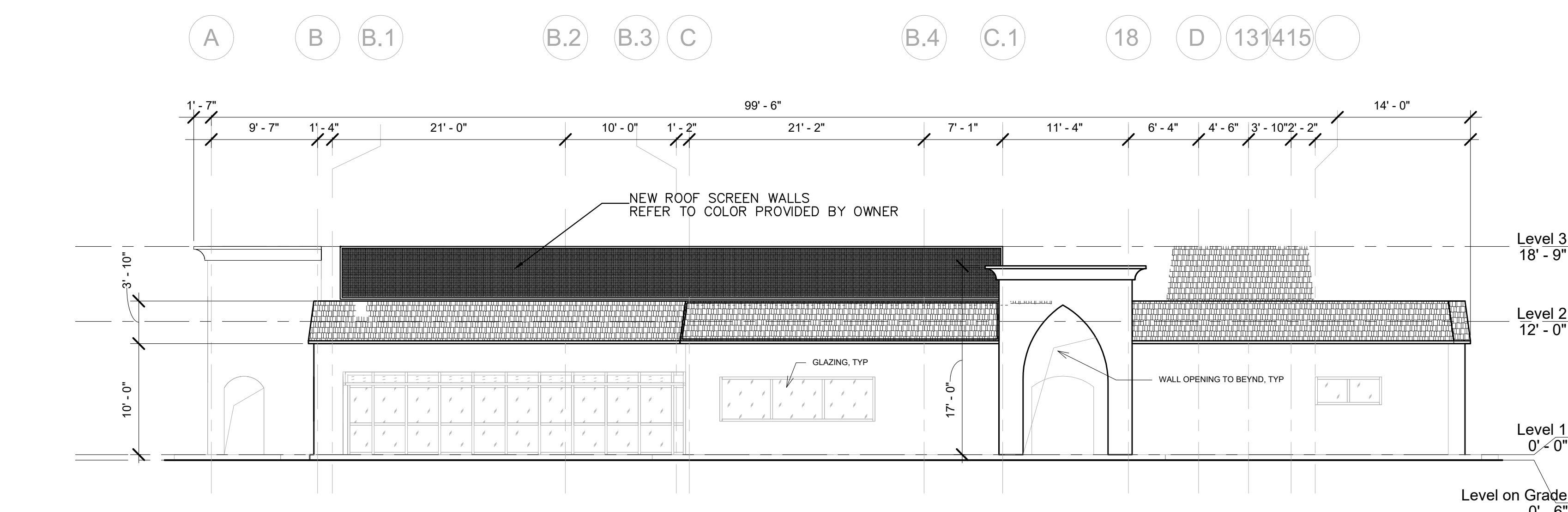
PROPOSED SCREEN PANEL SECTION



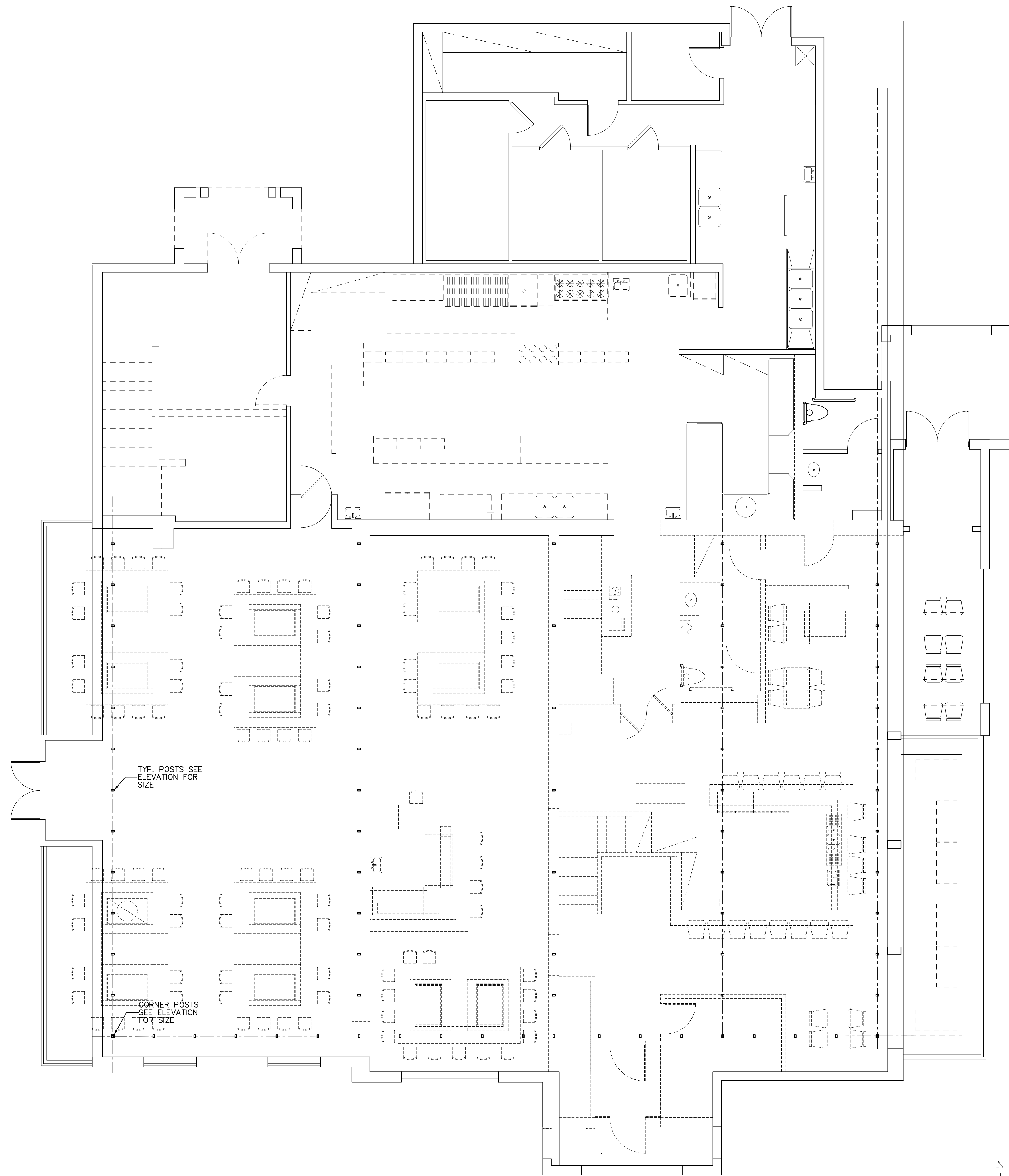
1 SOUTH ELEVATION
1/8" = 1'-0"



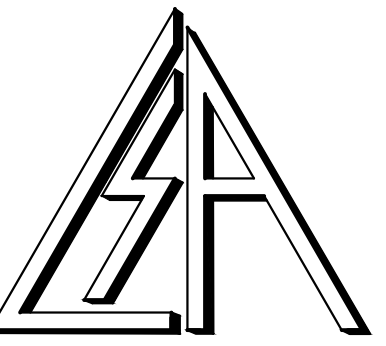
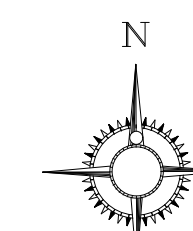
2 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



ROOF POST PLAN
SCALE: 3/16" = 1'-0"



LSA, Inc.

4743 PARKSIDE CT.
ANN ARBOR, MI 48105

734.417.0260 (PHONE)
734.212.2130 (FAX)

ZY.LIU@LSA-MI.COM

NOVI ICHIBAN

(FORMERLY: WASABI)
(ADD ROOF SCREEN)
42050 GRAND RIVER
NOVI, MI 48375

**NOT FOR
CONSTRUCTION**



SHEET TITLE
**ROOF POST
PLAN**

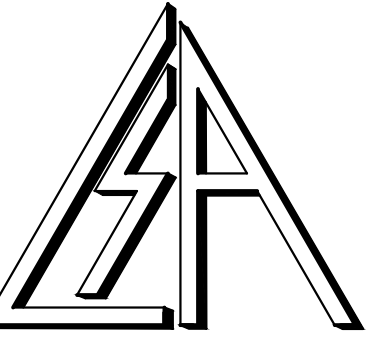
PROJECT NO: 2507016

DRAWN J.S.
CHECKED Z.L.
APPROVED _____

DATE ISSUED FOR

04/27/2026 REVIEW
SHEET

A:2



LSA, Inc.

4743 PARKSIDE CT.
ANN ARBOR, MI 48105

734.417.0260 (PHONE)
734.212.2130 (FAX)

ZY.LIU@LSA-MI.COM

NOVI ICHIBAN

(FORMERLY: WASABI)
(ADD ROOF SCREEN)
42050 GRAND RIVER
NOVI, MI 48375

NOT FOR
CONSTRUCTION



05/05/2026

SHEET TITLE

SCREEN
WALL
FRAMING
ELEVATIONS

PROJECT NO: 2507016

DRAWN J.S.

CHECKED Z.L.

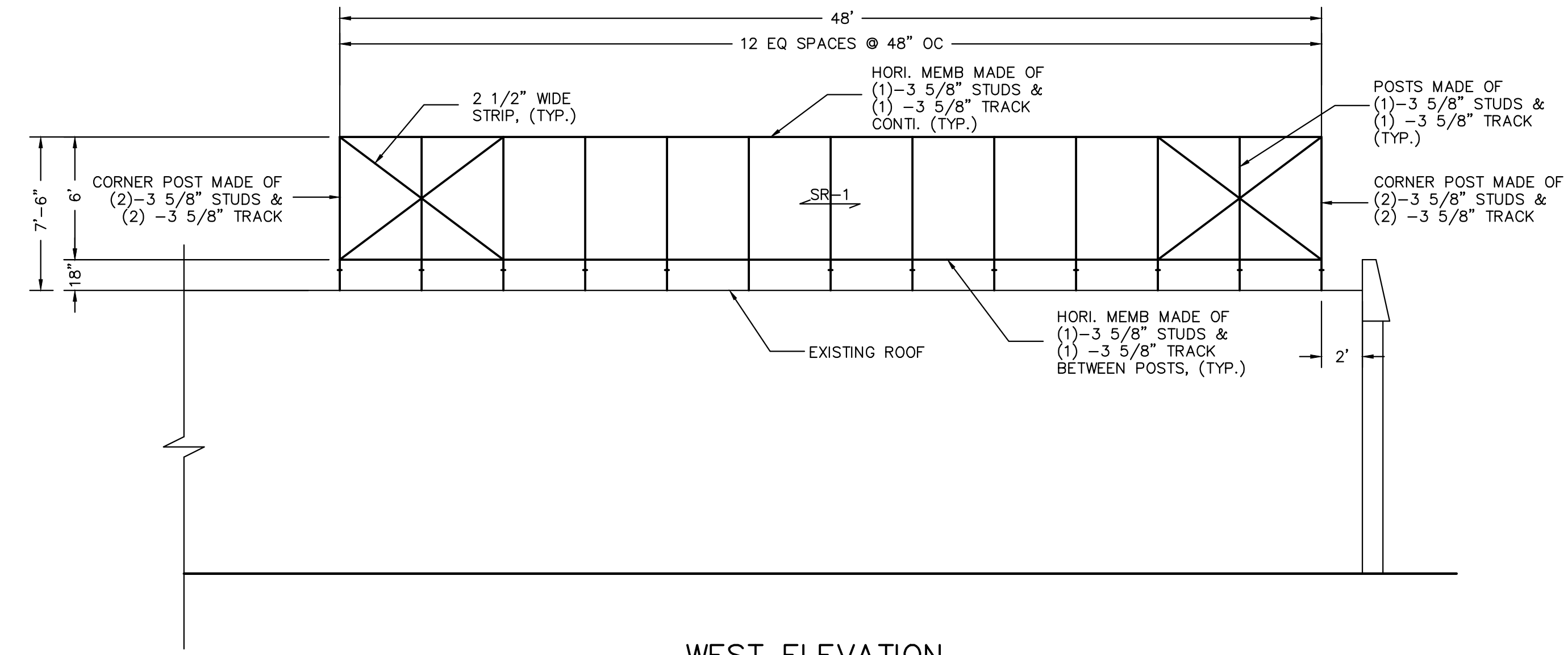
APPROVED

DATE ISSUED FOR

04/27/2026 REVIEW

SHEET

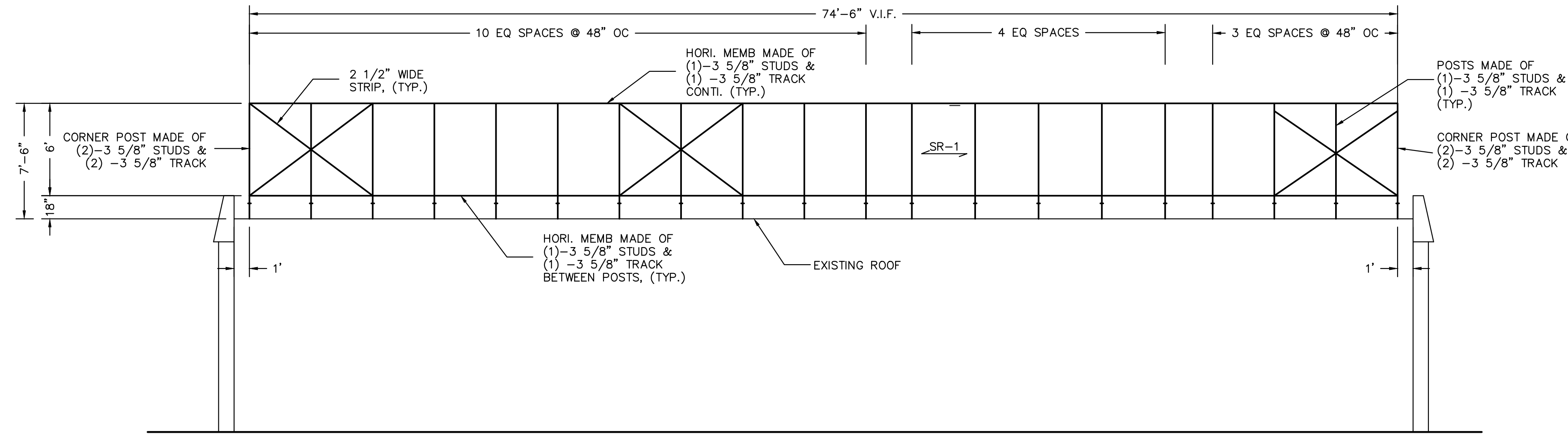
A.4



WEST ELEVATION
SCALE: 3/16"=1'-0"

SR-1
SCREEN WALL PANELS, SPAN
HORIZONTALLY

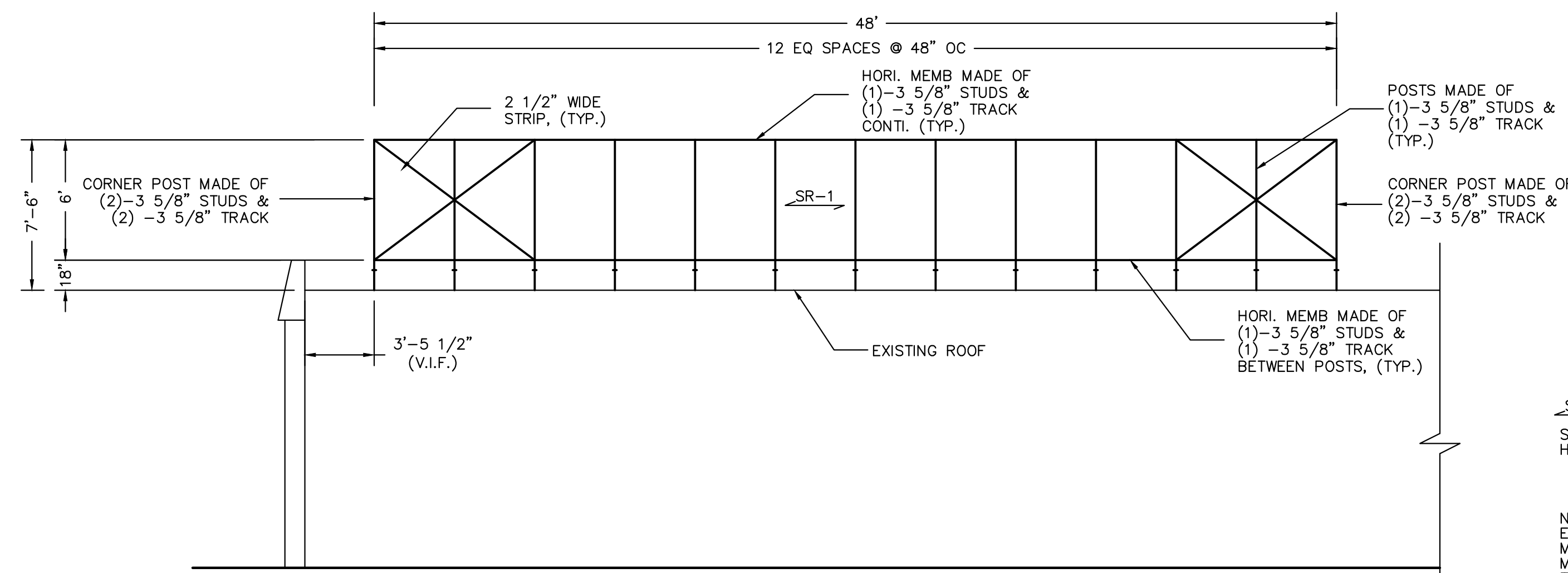
NOTE:
EQUIVALENT TUBULAR MEMBERS
MAY BE USED IN LIEU OF MEMBERS
MADE OF METAL STUDS
TYP.



SOUTH ELEVATION
SCALE: 3/16"=1'-0"

SR-1
SCREEN WALL PANELS, SPAN
HORIZONTALLY

NOTE:
EQUIVALENT TUBULAR MEMBERS
MAY BE USED IN LIEU OF MEMBERS
MADE OF METAL STUDS
TYP.



EAST ELEVATION
SCALE: 3/16"=1'-0"

SR-1
SCREEN WALL PANELS, SPAN
HORIZONTALLY

NOTE:
EQUIVALENT TUBULAR MEMBERS
MAY BE USED IN LIEU OF MEMBERS
MADE OF METAL STUDS
TYP.

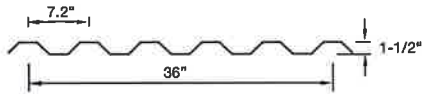
7.2 PANEL

MATERIALS

| | |
|---------------|----------------|
| .032 aluminum | 24 gauge steel |
| .040 aluminum | 22 gauge steel |
| .050 aluminum | Galvalume Plus |

SPECS

36" Wide 1-1/2" High



PRODUCT FEATURES

- ▶ 35-year non-prorated finish warranty
- ▶ Matching screws and rivets
- ▶ Closure strips available
- ▶ Precut short lengths (5'-0" minimum)
(3'-0" on the M-42)
- ▶ Panel lengths up to 30' on steel and
22' on aluminum

MATERIAL

- ▶ 24 gauge steel
- ▶ 22 gauge steel
- ▶ .032 aluminum
- ▶ .040 aluminum
- ▶ .050 aluminum
- ▶ Galvalume Plus available

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for exposed fastener panels.



Perforated Metal

Petersen offers perforation of select PAC-CLAD aluminum wall panels and flat sheet. Perforated metal can provide a contrasting look with any non-perforated metal to create visual interest on any project. Architects can specify perforated metal to diffuse light, air or sound, or simply for architectural flair. Typical applications include equipment screens, partitions, sign panels,

parking decks, guards, interior acoustical applications and enclosures of any kind.

Perforation is available in a nearly endless combination of hole sizes, spacing and open space percentages to complement virtually any architectural design or need. Perforation options will vary by panel profile and metal thickness; consult factory for details.

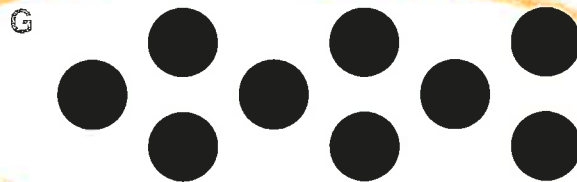
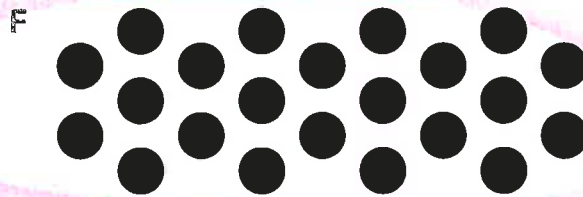
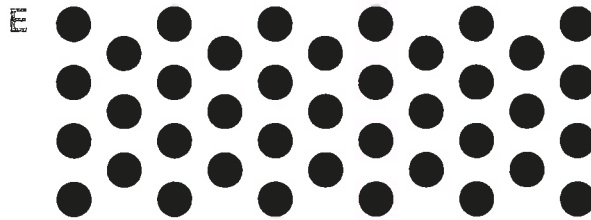
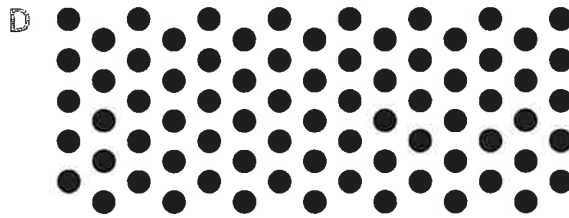
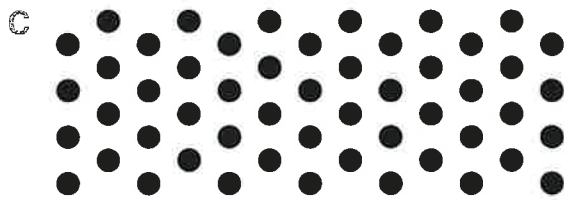
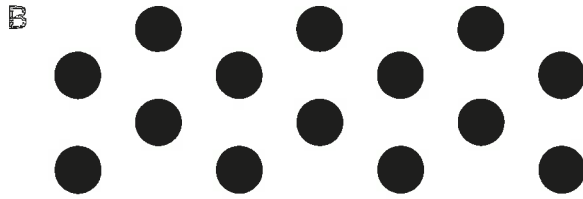
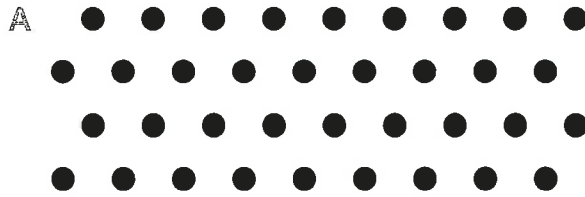
For availability details match the letters next to each image on the center insert with the letters in the chart below.

| | PATTERN SPECS | | | | AVAILABLE ROLL-FORMED PANELS | | | | | | | SHEET |
|----------|---------------|---------------------|-----------|---------------|------------------------------|----------|---------|------------|-----------|------|------|-------|
| | DIAMETER | CENTERS (staggered) | OPEN AREA | FLUSH/ REVEAL | HWP | HIGHLINE | BOX RIB | CORRUGATED | 7.2 PANEL | R-36 | M-36 | |
| a | 1/8" Round | 0.324" | 13.5% | ** | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| b | 1/4" Round | 1/2" | 23% | ** | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| c | 1/8" Round | 1/4" | 23% | ** | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| d | 1/8" Round | 7/32" | 30% | ** | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| e | 3/16" Round | 5/16" | 33% | ** | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| f | 1/4" Round | 3/8" | 40% | ** | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| g | 3/8" Round | 9/16" | 40% | ** | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |

✓ Available in .032, .040 and .050 roll-formed products | ** Available in .032 and .040 roll-formed products

Consult local factory for additional pattern options not shown on the above chart.

Notes: □ Extra charges are applied for perforation □ Steel will not be perforated □ Limitations might apply for certain perforation specs; check with Petersen facility for details and options.



1/4 round
3/8 stagger 40%
SAMPLE

3/8 round
9/16 stagger 40%

Proposed Panel



Attention: City of Novi Community Development Department
Subject: Narrative Regarding Revisions to Building Facade

On November 20, 2025, an exterior painting project was completed at 42050 Grand River Ave., Novi, MI 48375. The building's existing exterior colors, left by the previous tenant, Wasabi Restaurant, consisted primarily of a Wasabi-green color scheme that had become visually unappealing over time. In addition, the existing paint had begun peeling and showing signs of significant wear.

To improve the appearance of the building and better align with the surrounding properties along Grand River Avenue, a new brown-toned color palette was selected. This color scheme was chosen because it complements many of the neighboring buildings in the immediate area.

The painting work was performed by Major League Painting, a commercial painting contractor with experience completing similar projects on multiple commercial buildings and who comes highly recommended with a strong portfolio and references.

For the project, a premium exterior product from Sherwin-Williams was used to ensure durability and long-term performance against Michigan's weather conditions. Specifically, Emerald Rain Refresh Exterior Acrylic Latex was applied.

Enclosed please find the product information for the paint used, along with the specific color selections:

- Caraibe – SW 9090
- French Roast – SW 6069

Please let us know if any additional information or documentation is required. Thank you for your time and consideration.



FAÇADE REVIEW



June 3, 2026

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Façade Review Status:
Section 9 Waiver recommended for the use of Asphalt Shingles contingent on adequate RTU screening.

Re: FACADE ORDINANCE
Ichiban Restaurant, JSP25-13,
Façade Region: 1, Zoning District: B-3

Dear Mrs. Bell, Director of Planning

The following Façade Review is based on the drawings by LSA Inc., dated 4/27/26. The existing Asphalt Shingles were installed without prior approval and are inconsistent with the Façade Ordinance. A Section 9 Waiver would be required for the use of Asphalt Shingles. The applicant is proposing the installation of RTU screening in lieu of removal of the Asphalt Shingles.

An in-situ test was performed on 6/3/26. The sample panel used in the test had 1/4” diameter perforations at 3/8” on center (40% open area). The alternate panel proposed (due to availability) has 3/8” perforations spaced 9/16”. This panel has the same 40% open area. Based on the in-situ we believe that neither panel will provide adequate screening. It is recommended that panels with less open area be tested. For example, 3/32” perforations at 3/16” or 1/8” diameter at ¼” on center, both of which have 23% open area. The in-situ test should be repeated for this option. Alternately, solid panels could be used which would negate the need for in-situ testing.

Recommendation – Given the extremely unsightly nature of the RTU’s we believe that screening the RTU’s will improve the overall appearance of the façades more so than replacing the Asphalt Shingles with a compliant material. A Section 9 Waiver for the use of Asphalt Shingles is therefore recommended, contingent upon adequate screening of the RTU’s.

The current paint color on the south façade has been approved. However, the original color remains on some portions of the building. The approved color must be on all façades.

It should be noted that this review is for façade Ordinance compliance only. A building permit will be required prior to beginning work.

Sincerely,
DRN & Architects PC

Douglas R. Necci, AIA

Original, Approx 2007



Current



APPLICANT RESPONSE LETTER



Crown Realty & Management

6044 Rochester Road, Troy, MI 48085
(248) 816-8500
crownrealtymanagement@gmail.com

05/05/2026

City of Novi
Community Development Department
45175 Ten Mile Road
Novi, MI 48375

Subject: Narrative/Letter – Ichiban Roof Façade Modification for 42050 Grand River Ave., Novi, MI 48375

Dear Planning Staff,

On behalf of A&B Far Investments LLC, we are submitting the attached façade modification plans for review and approval by the City of Novi. This letter outlines the scope of the proposed revisions, rationale, and compliance with applicable design standards.

Project Information

- Project Name: Novi Ichiban Façade Modification
- Site Address: 42050 Grand River Ave., Novi, MI 48375
- Parcel Number: 50-22-23-226-023
- Zoning District: B-3

Summary of Proposed Façade Revisions

The proposed modifications are intended to update the aesthetic of the building and improve water drainage, while maintaining harmony with adjacent properties, street monument sign in front of the restaurant and the overall character of the district. In addition, we are proposing the installation of an aluminum perforated screen wall along three sides of the parapet to reduce visibility of rooftop equipment from the public right-of-way and improve the overall aesthetics of the building.

Key faced revisions include:

- **Material Upgrade:** The proposed architectural Polymer Modified Impact-Resistant Shingles are a premium, dimensional product that offers enhanced texture and aesthetic appeal. They are extremely durable, fire-resistant, wind-resistant, and require minimal maintenance than traditional asphalt shingles.

6044 Rochester Road, Troy, MI 48085
(Tel) 248-816-8500



Crown Realty & Management

6044 Rochester Road, Troy, MI 48085

(248) 816-8500

crownrealtymanagement@gmail.com

- **Screen Wall System Benefit:** The proposed perforated metal panel system (1.5" rib height) provides improved structural performance, airflow, and durability. The Kynar 500 finish ensures long-term color retention, corrosion resistance, and weather protection.
- **Architectural Integrity:** The overall design and proportions of the building will remain consistent. The proposed shingles are color-matched to the building's existing palette, and the perforated screen panels will be finished in colors that are harmonious with the building's façade materials. These improvements will enhance the overall aesthetics while also providing acoustic and ventilation benefits.

Code and Design Compliance

The proposed design modifications conform to the City of Novi Façade Ordinance, including but not limited to:

- Material percentage requirements (Less than 20% of allowed 25% coverage)
- Consistent architectural treatment on all visible elevations
- Preservation of existing architectural rhythm and scale

Conclusion

We believe this roof replacement and screen wall installation are essential not only for functional building performance but also for long-term aesthetic value and safety. These revisions allows for a visually appropriate, high-quality solution while preserving the architectural character of the structure.

We respectfully request your review and approval of the enclosed façade modification plans. Please do not hesitate to contact us with any questions or to request additional information.

Thank you for your consideration.

Supporting Documents

- . Façade Elevation Drawings showing existing and proposed roof design (Previously submitted)
- . Façade percentage calculations (Previously submitted)

6044 Rochester Road, Troy, MI 48085
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Crown Realty & Management

6044 Rochester Road, Troy, MI 48085

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- . Shingle material color samples - Max Def Pewter Polymer Modified Impact-Resistant Shingles (Previously submitted)

- . Elevation drawings and renderings showing screen wall design

- . Screen wall material specifications and paint color samples - Mega rib / 7.2 panel; 36" coverage X 7.2" repeating pattern X 1 1/2" depth; perforated panel 0.04" Mansard Brown Color Clad aluminum; Profile G - 3/8" on 9/16" Stg; 40% O/A (Material sample showing profile F - 1/4" on 3/8" Stg; 40% O/A - **for reference only**)

- . Site photos showing previous roof conditions.

- . Exterior painting façade review form and paint samples – Caraibe (SW 9090) and French Roast (SW 6069)

Sincerely,

Grant Chen

Grant Chen
Property Manager
Crown Realty & Management



Crown Realty & Management

6044 Rochester Road, Troy, MI 48085

(248) 816-8500

crownrealtymanagement@gmail.com

Shingle material color samples

CertainTeed
SAINT-GOBAIN

NORTHGATE
ClimateFlex
Polymer Modified
Impact-Resistant Shingles

BETTER RESISTANCE AGAINST GALE FORCE WINDS

ADDED IMPACT RESISTANCE AGAINST HAILSTORMS

IMPROVED PERFORMANCE AND LONG WEATHER LIFETIME

LEAK-PROOF CERTAINTY

LIFETIME LIMITED WARRANTY

Max Def Sandstone

Max Def Sandstone Grey

Max Def Weathered Wood

Max Def Skyline

Max Def Pewter

Max Def Forest

Max Def Espresso

Max Def Weathered Wood

Max Def Rustic Stone

Max Def Weathered Stone

Featured Color
MAX DEF PEWTER

Granule Retention and Water Shield

WinterGuard Sun & WinterGuard Granule

BioResistor and BioShield

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(Tel) 248-816-8500



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(248) 816-8500

crownrealtymanagement@gmail.com

Screen Wall Design Renderings



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Screen Wall Paint Color Chip – Mansard Brown



6044 Rochester Road, Troy, MI 48085
(Tel) 248-816-8500



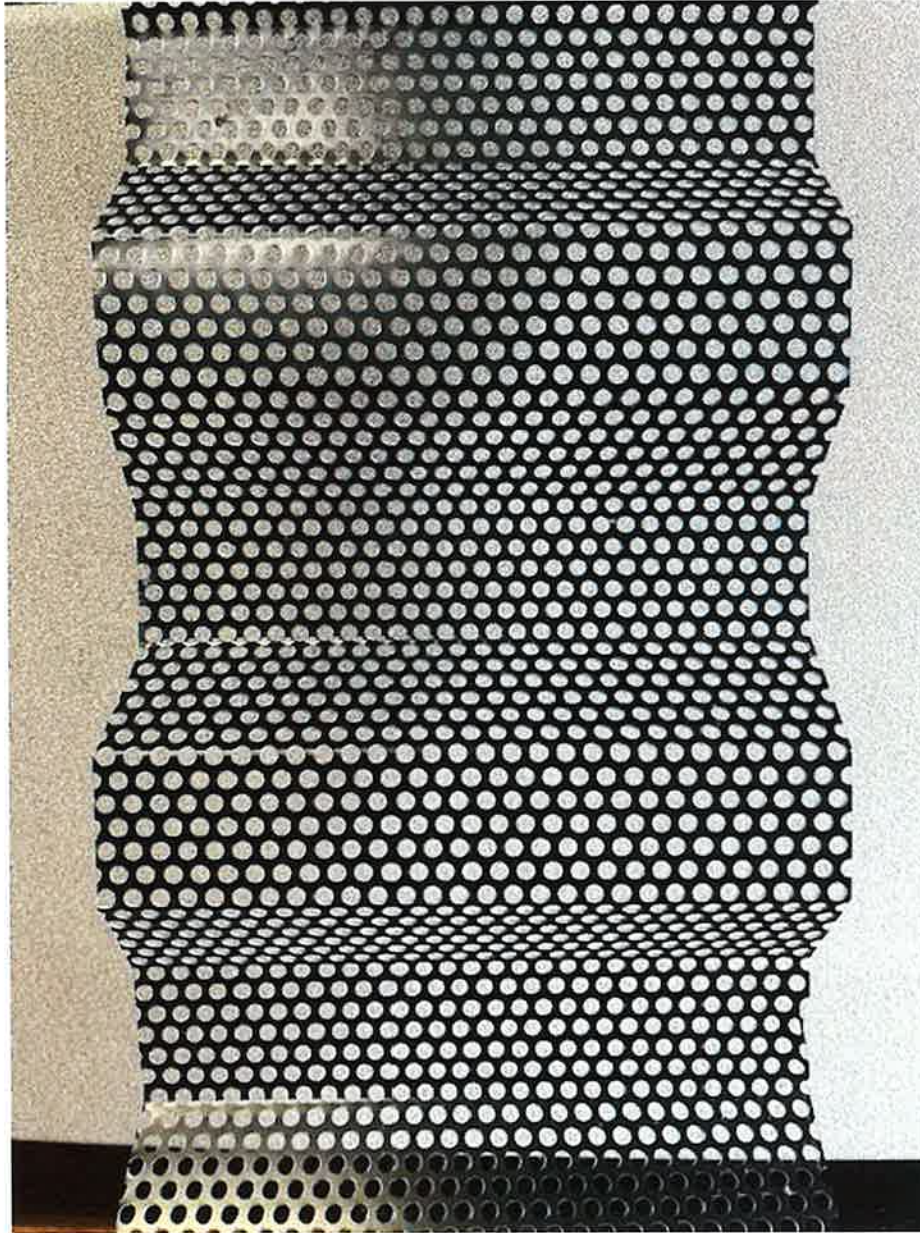
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6044 Rochester Road, Troy, MI 48085

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Screen Wall Panel Material Sample – Profile F - For Reference Only



Proposed Panel: Mega rib / 7.2 panel; 36" coverage X 7.2" repeating pattern X 1 1/2" depth; perforated panel 0.04" Mansard Brown Color Clad aluminum; Profile G - 3/8" on 9/16" Stg; 40% O/A



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Birdseye View of Novi Village Center



Monument sign in front of Ichiban Restaurant



6044 Rochester Road, Troy, MI 48085

(Tel) 248-816-8500



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6044 Rochester Road, Troy, MI 48085

(248) 816-8500

crownrealtymanagement@gmail.com

Deteriorating Cedar Shake Roofing Condition



6044 Rochester Road, Troy, MI 48085

(Tel) 248-816-8500



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(248) 816-8500

crownrealtymanagement@gmail.com



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(Tel) 248-816-8500



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(248) 816-8500

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Roof leak inside the building





PLANNING COMMISSION

MINUTES

CITY OF NOVI

Regular Meeting

May 13, 2026 7:00 PM

Council Chambers | Novi Civic Center
45175 Ten Mile Road, Novi, MI 48375 (248) 347-0475

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL

Present: Chair Pehrson, Member Lynch, Member Reddi, Member Dismondy, Member Roney, Member Verma

Absent Excused: Member Avdoulos

Staff: Barbara McBeth, City Planner; Elizabeth Saarela, City Attorney; Lindsay Bell, Senior Planner; Rick Meader, Landscape Architect; Kate Purpura, Project Engineer

PLEDGE OF ALLEGIANCE

Chair Pehrson led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Motion made by Member Lynch and seconded by Member Roney to approve the May 13, 2026, Planning Commission Agenda.

ROLL CALL ON MOTION TO APPROVE THE MAY 13, 2026, PLANNING COMMISSION AGENDA MOVED BY MEMBER LYNCH AND SECONDED BY MEMBER RONEY. *Motion carried 6-0.*

AUDIENCE PARTICIPATION

Chair Pehrson invited members of the audience who wished to address the Planning Commission during the first audience participation to come forward.

Mr. Michel Duchesneau at 1191 South Lake Drive stated as a long-time resident he would like to thank City Planner Barbara McBeth for her longtime service and commitment to the City of Novi. Mr. Duchesneau wished Ms. McBeth nothing but the best in her retirement. He stated in his opinion she has done more than any other individual to shape and improve our city over the past decades. She has been fair and impartial to citizens and developers alike. She is always focused on the Master Plan, City Ordinances, and what is best for Novi. She has participated in hundreds of committee meetings over the past years; the depth and variety of these committees is astonishing. Ms. McBeth has regularly attended City Council meetings even when no planning or building items were on the agenda, sitting quietly at the back of the Council Chambers absorbing the City's trends and preferences. She has mentored countless engineers over the years and will be truly missed.

Mr. Allen Bialek stated he has been a citizen of Novi for thirty-five years and is a proud Vietnam era veteran. He relayed that he was asked to speak to the Planning Commission this evening and recalled a time when Beck Road and Ten Mile Road were once a horse farm. It was noted that as it stands today there is now a lot of traffic in the area. He stated that he does not have a study on the perfect city, the parks, the green

lands, and the culture. However, he expressed that his life is not getting any better. A significant amount of money is spent on government budgets. The United States spends 14 trillion dollars, employs 22 million people, and is 38 trillion dollars in debt. We have spent 100 million dollars on first responders and just approved a 400-million-dollar budget for the schools. The City of Novi has an 88-million-dollar budget. He noted that ninety-five percent of students cannot survive by themselves, fifty percent of baby boomers are supporting one child, and fifty three percent of recent college graduates are over employed. Education costs outpace CPI by 800%. It was asked what all the building, growing, and promises are doing to benefit citizens. Taxes are not being cut, quality of life is not improving, and the job market is weak. It was stated the numbers don't add up. The average household income in Novi is \$150,000 and the average age is 39 years old. It was stated that if individuals are not making \$195,000 at 39 years old, they are behind every previous generation. Mr. Bialek expressed that people have died for this beautiful country and he would like to see everyone succeed. However, math does not add up, and lives are not improving.

Mr. Philip Kasper at 21505 Sunflower Road stated that although he does not border this new high-density residential plan, he objects to it. He noted that he grew up in Livonia which had many trees when his family first moved in. Over time due to development the trees were taken down. His parents and the neighbors used to say the city wouldn't be happy until all the trees were cut down in Livonia. It was stated the same thing is happening in Novi. Many people moved to Novi because of the natural features which are now being removed. Mr. Kasper stated when visitors come to his home, they comment that it feels like they are up north, with continued development it will no longer feel this way. The question was asked if the members of the Planning Commission are elected officials.

Chair Pehrson stated that the members of the Planning Commission are not elected officials.

Mr. Kasper stated that if the members were elected officials and voted in favor of the project, he would not recommend their reelection. He expressed that the subject property is too small of an area to place high-density housing.

Dr. Karli Rosner asked for clarification on the procedure of the meeting as many in the audience are new to the process.

Chair Pehrson stated if the applicant wishes to address the Planning Commission on the agenda item they will have ten minutes to do so. Members of the audience who would like to provide their comments will have three minutes to do so.

Dr. Rosner stated a petition of objection has been prepared with signatures from approximately 120 households. It is his understanding that permission was given to make a short presentation.

Chair Pehrson stated members of the audience will have three minutes to provide their comments.

Senior Planner Lindsay Bell stated the Public Hearing for JZ25-42 Townes at Haggerty has not begun. This is the first audience participation of the meeting. There will be a second opportunity for audience participation later in the meeting when we get to the agenda item.

Seeing no one else, Chair Pehrson closed the first public audience participation.

CORRESPONDENCE

There was not any correspondence.

COMMITTEE REPORTS

There were no Committee reports.

CITY PLANNER REPORT

There was no City Planner report.

CONSENT AGENDA - REMOVALS AND APPROVALS

1. JSP22-26 NOBLE VILLAGE

Approval of the request by Noble Village Group for a second one-year extension of the approved Final Site Plan. The subject property is located on the south side of Grand River Avenue, east of Novi Road, in the Town Center (TC-1) zoning district. The Preliminary Site Plan was approved by the Planning Commission on September 28, 2022.

Motion to approve the second one-year extension of the approved Final Site Plan made by Member Lynch and seconded by Member Roney.

In the matter of JSP22-26 Noble Village, motion to approve the second one-year extension of the approved Final Site Plan.

ROLL CALL ON MOTION TO APPROVE THE JSP22-26 NOBLE VILLAGE SECOND ONE-YEAR EXTENSION OF THE APPROVED FINAL SITE PLAN MOVED BY MEMBER LYNCH AND SECONDED BY MEMBER RONEY. Motion carried 6-0.

PUBLIC HEARINGS

1. JZ25-42 TOWNES AT HAGGERTY PRO PLAN WITH REZONING 18.753

Public hearing at the request of The Avedon Company for initial submittal and eligibility discussion for a Zoning Map Amendment from Office Service and Office Service Commercial to High-Density Multiple Family with a Planned Rezoning Overlay. The applicant is proposing to develop a 175-unit townhome development.

Chair Pehrson stated the applicant has requested that the Planning Commission postpone discussion of the agenda item. This is an open public hearing; the applicant and members of the audience will have an opportunity to address the Planning Commission. There will be no vote taken at today's meeting. The project will be returned to the Planning Commission at a later date after clarifications are made by the applicant.

City Planner Barbara McBeth stated that Ms. Lindsay Bell has prepared a brief presentation to cover the high points of the request.

Senior Planner Lindsay Bell stated that the applicant is proposing to rezone about 21 acres on the west side of Haggerty Road, south of 9 Mile Road, utilizing the Planned Rezoning Overlay option. To the north is Summit Pointe Office Center and Lifetime Fitness, and the western portion of the site borders Whispering Meadows subdivision. On the east side are two hotels, with an office complex across Haggerty Road in the City of Farmington Hills. South of the property is Orchard Hills Office Park.

The current zoning of the property is OS-1 Office Service on the western portion, and OSC Office Service Commercial on the eastern side in pink. The properties to the north and south are zoned OSC and OS-1 as well. To the west the neighborhood is zoned R-3 One Family Residential. In Farmington Hills, the area to the east is zoned Office Research. The Future Land Use Map identifies this property and those to the north and south as Office Service Commercial, which is consistent with the current zoning. The area to the west is Single Family.

The natural feature map shows there are significant woodland areas on this property. The wetland survey provided by the applicant indicates significant areas of wetland – 4.35 acres.

The applicant is proposing to utilize the Planned Rezoning Overlay to rezone the whole property to RM-2 High Density Multiple Family. The initial PRO plan proposes 175 townhomes in 26 separate buildings. The development utilizes a private street network with one entrance off Haggerty and two entrances off High Pointe Boulevard, which is a private street. The density is about 10.9 dwellings per acre.

Rezoning to the RM-2 category would permit the use proposed, however the multifamily zoning is not in

compliance with the current Master Plan designation as Office Service Commercial. The previous designation in the 2016 Master Plan was Office Commercial and Community Office.

As described in the Wetland Review, each of the delineated wetlands on the site provide wildlife habitat as well as flood and storm control, meeting the criteria for essentiality as defined in the City Code. The proposed development would result in total permanent fill of all 4.35 acres of wetland on site and 4.93 acres of buffer impact. Based on Ordinance requirements for the type of wetlands impacted, it appears that approximately 8.7 acres of mitigation would be required. The applicant has requested a deviation from that requirement.

Planner Bell stated the site plan shows the removal of 777 regulated woodland trees, which would require 1,197 replacement credits. Currently 54 credits are proposed to be planted on site, with the remaining to be paid into the tree fund.

In terms of Engineering, the project appears to be able to comply with most standards of the stormwater management ordinance and Engineering Design Manual. The preliminary stormwater plan shows the proposed project will accommodate a portion of the Lifetime property and the Country Inn & Suites property due to previous private agreements.

As noted in the Façade Review, the façade materials proposed conform to the Ordinance requirements. The design features decorative gable truss, large frieze trim with cornice brackets, soldier course details, and cornice eave features. Taken together, these elements qualify as an "enhancement" of the project and surrounding area under the PRO Ordinance.

Planner Bell stated some concerns identified include compatibility and buffering from the adjacent hotel and office uses. A 4.5-8-foot berm and landscaping is required in those areas, which are intended to lessen the negative visual, audio, and odor impacts that may be experienced by future residents. The applicant has requested a deviation to not provide the berms, and one for building setbacks along High Pointe Boulevard.

Landscape review also notes concerns with the lack of street trees on the internal roads, which would help soften the buildings and provide more attractive streetscape. One of the landscape deviations is supported due to conflicts with the utilities along Haggerty Road. The unsupported deviations should be addressed in the next submittal. The natural buffers in place will buffer the residential units from Whispering Meadows. The property has a 150-foot landscape easement on the western side that restricts development of that area. A 5-foot-wide sidewalk has been proposed in that area as well as an overlook as part of the required usable open space.

The Fire Review notes that secondary emergency access is needed for the southern portion of the development. The applicant had noted in their response letter they were working with adjacent property owners to get an easement for one. Emergency access is also proposed along High Pointe Blvd, which is a private road, so the applicant would need approval for proposed changes to the boulevard islands from the property owner.

Compared to a potential medical office under OSC zoning (230,000 square feet assumed), the proposed residential development would have about 8,000 fewer trips per day. The Traffic Impact Statement concludes that several mitigations may be needed on Haggerty Road and the Haggerty Road/9 Mile intersection to accommodate more traffic. The Traffic consultant's review of the TIS recommends coordination with the Road Commission for Oakland County to complete the mitigations identified in the Traffic Study. RCOC noted that they do not have any planned improvements for Haggerty Road south of 9 Mile or at that intersection, so the applicant could propose mitigation as part of their project. They also stated the traffic signal at High Pointe/Haggerty Road should be considered for modernization as part of the proposed development.

Given the size of the development proposed, additional benefits to the public should be proposed to

offset the negative impacts of the project. Staff had suggested the applicant consider the recommendations of the Active Mobility Plan, such as filling off-site sidewalk gaps to provide a more complete network of pathways in the nearby area and looking at the 9 Line Feasibility Study for plans for a regional non-motorized trail along 9 Mile. We also suggested a playground for children in the development and other programming of the open spaces required to better serve the recreational needs of future residents.

Under the terms of the PRO ordinance, the Planning Commission will not make a formal recommendation to City Council during initial review. Instead, the initial public hearing is an opportunity for the members of the Planning Commission to hear public comments, and to review and comment on whether the project meets the requirements of eligibility for a Planned Rezoning Overlay. Planning Commission members may offer feedback for the applicant to consider, including suggesting site-specific conditions, revisions to the plans or the deviations requested that may result in an enhancement to the area, and other impressions. As mentioned earlier, the applicant has requested that the Planning Commission postpone the discussion of this item tonight to allow them some time to provide additional information for consideration. If discussion is postponed, this item will be brought back at a future meeting once the information is provided by the applicant and reviewed by staff. We would recommend the public hearing remain open to allow additional public comment when it comes back. Once the Planning Commission is able to provide feedback, the project will then go to City Council for its review and comment. After this initial round of comments by the public bodies, the applicant may choose to make any changes, additions or deletions to the proposal based on the feedback received. If they move forward, the subsequent submittal would then be reviewed by City staff and consultants, and then the project would be scheduled for another public hearing before Planning Commission for a recommendation for approval or denial to City Council. Staff and our consultants are available to answer any questions you may have.

Chair Pehrson opened the public hearing and invited members of the audience who wished to speak to approach the podium.

Chole stated she is thirteen years old and lives at 40080 Whispering Lane. She expressed that she cares deeply about the environment and animals and would like to cover three main points about why the townhomes should not be built. First, the children who live in the neighborhood enjoy the adjacent wooded area. When her family moved into their home in 2019, they had access to the wooded area around the subdivision and were allowed to explore. In 2025 the property was purchased and a fence was put up leaving neighborhood children with no access. She expressed that the fence was also an issue for wildlife as animals have been caught in the fence. Secondly, if the woodlands are removed, we will be creating more human population in Novi which will result in a decrease of the animal population. We have already lost wildlife due to Lifetime Fitness being built in 2002. That was a disturbance to the neighborhood, and the proposed development will be an even greater disturbance to the neighborhood. The proposed project will bring down the value of the existing neighborhood and may cause residents to move. When Lifetime Fitness was built the animals retreated to the wooded areas. If we build townhomes on this land the animals will have nowhere to go. Chole stated during the winter when there was a day off from school, they found a shallow body of water that was iced over and played for two hours in the woods and have also enjoyed sledding in the woods. Chole expressed she had made long lasting memories while playing in the woods, and requested the woodlands not be taken away.

Aubry stated she is twelve years old and lives at 40080 Whispering Lane. She relayed that she is here tonight as she cares deeply about the woodlands and does not want to see them cut down to build town homes. Many people know that kids and teenagers spend too much time on screens. Instead of being on screens kids could go outside, having accessible woodland gives them a reason to go outside. Aubry expressed that the memories made in the woods are very important to her. She described a time when her family found deer antlers in the woods and put them up next to their dog's head to make it look like he had antlers. She expressed that this memory was created because of the woods. Lastly, by removing the woods, animals will be at risk. She expressed understanding that neighborhoods grow and change however believes we should think carefully before destroying one of the few places kids and families can go to enjoy.

Ms. Anne Nelke at 48646 Windfall Road stated she is voicing her opposition to the Townes at Haggerty project for the following reasons. First, developers come to Novi and claim that they know the needs of the community and its residents. Should they have taken the time to read the Master Plan's resident surveys they would have seen that 88% of residents of all age demographics 20-85 want main floor ranch style condominiums, duplexes, or single-family home options. Time and time again we see townhouse after townhouse proposal. It was noted that 45% of Novi residents are age 45 plus. Secondly, Ms. Nelke stated her family has lived in Novi for decades, paid their fair share of taxes, and now wish to downsize to remain in their beloved community. The main floor living option has sadly been less than 2% of new developments since 2020. The developers claim that these 174 townhouses will attract people back to Novi. However, what will attract people back to Novi are our schools. Young families will buy houses that the folks who were able to downsize will provide. Another factor that will attract people to live in Novi is the fact that Novi has been a tree city for over thirty years. Lastly, the developer also missed where it states that 89% of Novi residents value the preservation of our remaining 3-4% of woodlands, wetlands, and undisturbed natural features as vital to the health and integrity of the community both now and for future generations. It has become increasingly apparent that developers presume that by purchasing or going into partnership with current landowners that zoning and ordinances can be changed in an attempt to turn the remaining land into contrived needs and benefits to Novi, a community in which they have not lived and will vacate once their project is complete and profit margins have been made. The result is a diminished Novi, not an enriched one.

Ms. Martha Ryznar at 44875 Yorkshire Drive stated she has been a Novi resident for 23 years. She expressed disappointment that the developer is not in attendance this evening. It was stated that she does not live near the proposed development, however, is here as a neighbor. What happens to these woods and wetlands affects everyone in the community. This development is 21 acres of living and breathing woods, and 4.3 acres of protected wetlands. That is three and a half football fields of regulated wetlands alone, adding in the required wetland buffer zones and we are talking about seven football fields of some of the best natural land left in Novi. Novi's own wetland expert stated these are some of the best functioning wetlands around for clean water, flood control, and wildlife. Avedon is not offering to replace any of the natural features. Your own expert is saying this area cannot be made up for, if the expert is saying no, the answer tonight must please be no. We know how Novi residents feel because we have been out there talking to them. Over 300 signatures have been collected from people across Novi opposing a similar proposal called Providence Meadows. Ms. Ryznar relayed it was easy to obtain those signatures as residents are not just upset about one project, they are upset about overdevelopment in Novi. It was stated a Master Plan was just approved and we are seeing officials break it one rezoning after another and people are upset about this pattern. Ms. Ryznar requested the plan not be sent back for another round of changes, turning it into another long back and forth which wastes City staff's time and residents' tax dollars. We are tired of paying for a process that gives bad projects a second and third chance.

Ms. Michelle Duprey at 48566 Windfall Road stated that she has been a resident of Novi for 42 years and has seen many of the farms turn into housing. She expressed that she is grateful to be here, however is recommending to the Planning Commission that the applicant be denied their request to rezone the property. The zoning designation was known full well when the applicant purchased the property. It was stated the benefits offered do not outweigh the detriments to the city. Traffic in this area is a concern; the proposal shows traffic will flow onto Haggerty Road. It was noted the intersection at Haggerty Road and Eight Mile is one of the most dangerous intersections in Oakland County. Ms. Duprey expressed the housing proposal does not meet the needs and desires of current or future residents. Families are looking for single family homes as well as ranch homes to age in place. The proposal deviates from the Master Plan which was enacted in 2025. Ms. Duprey requested that the Planned Rezoning Overlay be denied and the Master Plan for Land Use be upheld.

Mr. Ben Rosner stated he is here this evening to ask who this process serves. Three months ago, before the Planning Commission held a single hearing on JZ25-42 Townes at Haggerty, Avedon posted on LinkedIn announcing their latest project in Novi, a 179-townhome development. Their public X account told their nearly 10,000 followers "The Townes at Haggerty is underway". It was expressed that this is not a developer

entering into a process, this is a developer making an announcement. It was stated that fourteen days before tonight's hearing the developer emailed city staff requesting a postponement to submit additional information. It was expressed that the developers' own communications acknowledge that the application is not ready nor can the proposal withstand the scrutiny of staff and consultants. The developer has requested more time to fix it. It was relayed that staff review letters identify deviation after deviation from city standards. The applicant is asking this Commission not for one accommodation but for dozens of accommodations on a parcel of land adopted ten months ago explicitly for office use. The question was asked if the Master Plan is overturned less than one year after adoption in favor of a developer who publicly announced their project before this hearing began what message does that send to every homeowner in Novi? Mr. Rosner stated it would tell his parents who relied upon the Master Plan when making the largest financial decision of their lives that the document that they trusted means nothing. It would tell the more than 120 Novi neighbors who signed the petition that the public hearing process is a mere formality. Finally, it would tell every future homeowner in Novi that the city's published planning documents cannot be relied upon if they are simply reversed the minute a developer with enough resources seeks to clear cut 21 acres of mature woodland, fill regulated wetlands, harm wildlife, and replace one of the last green spaces in this area of Novi with concrete. The Master Plan is either the framework that governs development in the city, or it is merely decoration. Mr. Rosner respectfully asked the Planning Commission to please find that JZ25-42 Townes at Haggerty does not meet the eligibility requirements and to communicate that finding clearly to the applicant and to the City Council.

Mr. Michael Crawford at 40151 Whispering Lane stated he is here this evening representing more than 120 neighbors from Whispering Meadows who have submitted a petition opposing JZ25-42 Townes at Haggerty. It was stated he would like to begin with what is being asked and what is not being asked. The neighbors are not asking the Planning Commission to make a difficult call, what is being asked is that the Commission hold the line on a decision that was made unanimously just ten months ago. Mr. Crawford expressed 21 acres of woodland, and 4.3 acres of regulated wetland are at stake. Photos were shared of the deer, wild turkey, and mallards on the property. The formal findings of the wetland report concluded that the wetlands on the property are essential to the City under Section 12-174 of the City Code. It was relayed that his neighbor Dr. Karli Rosner will speak in more detail on what the proposal would destroy and why the City's own consultants have concluded the law does not permit it. Mr. Crawford stated the city should never have to deal with questions regarding this because they have already been answered. The zoning on this parcel is not new; it has been Office Service and Office Service Commercial for more than four decades. Across multiple administrations and multiple Master Plan updates the City of Novi has examined that designation and reaffirmed it repeatedly. The zoning has been reaffirmed in the 2016 Master Plan update and in 2022 the City's Zoning District Map was adopted by the City Council and signed by the Mayor, City Manager, and City Clerk. On June 25, 2025, after a three-year process that engaged 342 community survey respondents, two public open houses, a 63-day public review period, and an endorsement from the Oakland County Coordinating Zoning Committee the Planning Commission adopted the 2025 Master Plan for Land Use. The Master Plan defines the parcels Office Service and Office Service Commercial and lists the residential uses permitted under it, which is none. This is the City's policy adopted in writing ten months ago by the Planning Commission. The applicant filed this proposal within months of that adoption and is now asking it to be reversed. The people who purchased their homes here did so in reliance on what the city said trusting that a designation reaffirmed for decades and readopted ten months ago meant something. The consequences of reversing this decision go beyond the adjacent neighborhood. Every homeowner in Novi has a stake in the answer to one question. If the Master Plan can be reversed in a matter of months after its adoption what is a Master Plan in the city worth? It was expressed that the hard work has already been done and all that remains is to honor it.

Dr. Karli Rosner at 40184 Ladene Lane stated that in the 2025 Master Plan there was a survey conducted intended for Generation Z. The survey asked respondents why they may decide not to come back to Novi. Respondents answered that prices and limited access to nature are the main reasons they are not returning to Novi. It was expressed that this should be considered if we want young people to come back to Novi. The developer has claimed that the proposed development was designed to meet the region's growing housing demand. However, unlike many Michigan communities over 40% of Novi's housing is

locked into high density multi-family developments. Novi has a higher quantity of multi-family developments than similar sized communities such as Farmington Hills, Rochester Hills, and Royal Oak. It was expressed that the developer should reconsider the type of housing that is needed in Novi. The proposed density is 8.3 dwelling units per acre; the concentrated density is not beneficial. Dr. Rosener stated that in February the developer published that the project was underway. However, the Planning Commission had not seen the project yet at that time. He inquired if the project would be returned to the Planning Commission for another public hearing.

Chair Pehrson stated the project would return to the Planning Commission for an additional hearing.

Ms. Tina Dedivanaj-Lillis at 39982 Whispering Lane inquired why the developer decided to postpone being in attendance to represent the proposed project. She expressed that the developer may have requested the postponement in an effort to influence decision makers in the meantime.

Chair Pehrson stated that comment is offensive to this body and will not be allowed.

Ms. Tina-Dedivanaj-Lillis expressed she did not state the Planning Commission would be influenced.

Chair Pehrson stated comments would need to remain focused on the matter and accusations are not to be made against this board.

Mr. Tina-Dedivanaj-Lillis stated the project is a bad idea and if approved will push the current residents out of Novi.

Mr. Patrick Howe with Honigman Law Firm at 39400 Woodward Avenue, Bloomfield Hills, MI 48304 stated he represents Summit Pointe Investors, the owner of the office building and private road known as High Pointe Boulevard. It was stated he has been engaged to object to this project. Around 1998 this was part of a larger development consisting of the Summit Pointe Office Center and a private road leading out to Haggerty Road. Subsequently Lifetime Fitness was developed with the third parcel being the prime 20 acres in the heart of Novi that we are discussing tonight. The main issue before the commission this evening is the question of whether we take a long-standing office zoned parcel and make it residential. Mr. Howe noted he likes seeing the deer and woodlands, however this parcel will be developed at some point. To not develop it would be an illegal taking but it must be developed pursuant to Michigan law. Those standards are set forth by the state through the Michigan Enabling Act. The future land use plan is the document we turn to when considering a rezoning. As indicated by staff and those who have spoken tonight there is nothing in the recently adopted Master Plan that indicates this area should be rezoned residential. He noted it is shocking that the applicant is not in attendance this evening which is disrespectful to all those who came tonight to discuss this project and participate in civic engagement. The developer has not reached out to the owner of the office building or the owner of the private road to discuss the proposal. While this is a private matter the access easement over the private road does not contemplate residential use. The property is subject to private restrictive covenants that prohibit residential use. It was stated this is not an issue for the Planning Commission to discuss but is an issue that will be pursued and discussed through the appropriate channels. Focusing on what is before us tonight are two things; should approval be recommended to rezone as residential and are the eligibility requirements in Section 7.13B2 met. This section states that an applicant for a Planned Residential Overlay must provide public benefits. The question was asked if the proposed public benefits are benefiting anyone but the developer and their potential customers. Proposed public benefits in a letter dated February 23, 2026, include architectural standards exceeding ordinance minimums, enhanced landscaping and buffering, preservation and integration of open space amenities, infrastructure improvements as required, and strict adherence to improved site plan and development conditions. That is what is being proposed to get all the benefits from the city through the Planned Rezoning Overlay. There are ten deviations listed on the following page of the letter. In summary this is an illegal spot zoning and is not called for in the Master Plan. Eligibility should be denied based on no public benefits other than self-serving enhancements to their site, it violates restrictive covenants, and there is no access to Haggerty Road as the applicant does not have the right to access Haggerty Road through a private road for this

use.

Mr. Philip Kasper at 21505 Sunflower Road stated the Planning Commission can see that many Novi residents are not happy about this proposed project. It was expressed that if the project happens to be approved, the scope of the project should be reduced. Developers come to Novi and propose to build homes so people who do not live here can move here, disregarding those who are currently living here. It was expressed that potential residents are prioritized over current residents. It was stated if this is approved in any way shape or form the density should be reduced and ten acres of the wooded area should be left as a buffer. If the trees are removed the residents will hear traffic from Haggerty Road.

Mr. Ronald Onica at 40278 Ladene Lane stated that he opposes the proposed project. It was expressed that it is disappointing to see a developer come in and advertise already putting the development in without any consideration for the project itself. He inquired why the developer could not have been told that this is not up for discussion before investing into the proposal.

Mr. Mark Malott at 40041 Whispering Lane stated he has lived in Novi since 1986. He relayed he has been in law enforcement for forty years in a different community. From his experience when a development such as this is built the calls for service increase. This includes cars being broken into, fights, and loud music. It was requested that the Planning Commission keep this in mind in their decision-making process.

Ms. Tiena Smith at 40080 Whispering Lane stated her daughters spoke earlier in the evening. She inquired if the developer is not in attendance because they just proposed another plan across town and the response was not favorable. She relayed that her family is in the process of taking out a home equity loan for a finished basement to stay in the neighborhood. If the project were to be built, she stated her family would not stay in Novi. It was requested that the Planning Commission take into consideration how the proposed development would have an impact on those in the adjacent neighborhood.

Mr. Ferdinand Gomes at 40700 Mill Road Court stated that he receives a report of what happens in Novi daily. It was stated that crime has been on the rise in Novi. He asked the Planning Commission to please consider that when looking at this development.

Seeing no one else Chair Pehrson stated the public hearing will remain open until the next suitable meeting when the developer comes back. There will be opportunity at the time to address the Planning Commission as well as the developer.

Chair Pehrson stated the Planning Commission has received the letters of objection and the petition of objection. Member Lynch stated 147 objections have been received with no concurrences.

Motion to postpone the discussion of the initial submittal and eligibility of the rezoning request from Office Service (OS-1) and Office Service Commercial (OSC) to High-Density Multiple Family (RM-2) with a Planned Rezoning Overlay and leave the public hearing open until such time as the applicant submits additional information made by Member Roney and seconded by Member Lynch.

In the matter of JZ25-42 Townes at Haggerty PRO Plan with Rezoning 18.753, motion to postpone the discussion of the initial submittal and eligibility of the rezoning request from Office Service (OS-1) and Office Service Commercial (OSC) to High-Density Multiple Family (RM-2) with a Planned Rezoning Overlay and leave the public hearing open until such time as the applicant submits additional information.

ROLL CALL VOTE TO POSTPONE THE DISCUSSION OF THE INITIAL SUBMITTAL AND ELIGIBILITY OF THE REZONING REQUEST FROM OFFICE SERVICE (OS-1) AND OFFICE SERVICE COMMERCIAL (OSC) TO HIGH DENSITY MULTIPLE FAMILY (RM-2) WITH A PLANNED REZONING OVERLAY AND LEAVE THE PUBLIC HEARING OPEN UNTIL SUCH A TIME AS THE APPLICANT SUBMITS ADDITIONAL INFORMATION. Motion carried 6-0.

MATTERS FOR CONSIDERATION

1. INTRODUCE TEXT AMENDMENT 18.307 – PROPOSED LANDSCAPE ORDINANCE MODIFICATIONS

Set public hearing for Text Amendment 18.307 to modify Subsection to 5.5, Landscape Ordinance and the Landscape Design Manual.

Landscape Architect Mr. Rick Meader stated that the text amendment would be considered in detail at the public hearing. To give an overview the revision includes an additional section related to multifamily urban projects. This change was proposed by Mr. Gary Becker and would only apply to the zoning districts that the Planning Commission determines are appropriate.

Motion to set the Public Hearing for the June 10th Planning Commission meeting for formal consideration of the proposed ordinance amendments made by Member Roney and seconded by Member Lynch.

Motion to set the Public Hearing for the June 10th Planning Commission meeting for formal consideration of the proposed ordinance amendments.

ROLL CALL VOTE ON MOTION TO SET THE PUBLIC HEARING FOR THE JUNE 10TH PLANNING COMMISSION MEETING FOR FORMAL CONSIDERATION OF THE PROPOSED ORDINANCE AMENDMENTS. Motion carried 6-0.

2. APPROVAL OF THE APRIL 15, 2026 PLANNING COMMISSION MINUTES

Motion to approve the April 15, 2026 Planning Commission Minutes.

ROLL CALL VOTE ON MOTION TO APPROVE THE APRIL 15, 2026 PLANNING COMMISSION MINUTES MADE BY MEMBER LYNCH AND SECONDED BY MEMBER RONEY. Motion carried 6-0.

CONSENT AGENDA REMOVALS FOR COMMISSION ACTION

There were no consent agenda items.

SUPPLEMENTAL ISSUES/TRAINING UPDATES

City Planner Barbara McBeth stated the second Planning Commission meeting in May will be canceled. Ms. McBeth shared that around the end of May she will be retiring from the City of Novi. She expressed it has been her honor and privilege to work here for the past twenty-five years. It has been great working with the Planning Commission as we have seen a lot of projects come through. Particularly in the older days as we remember projects such as Catholic Central coming in for the first time, the ITC Headquarters coming to Novi, Providence Hospital's bed tower with the greensward, and the Novi Expo Center moving to their new location. Ms. McBeth noted that many had a part in these projects as there were many late nights. Many residential developments have come in as well. Ms. McBeth stated the population of Novi in 2001 when she began here was around 47,000 and now today it is about 67,000, considerable growth has been seen. Lastly, Ms. McBeth thanked the Planning Commission and their predecessors for their service.

Ms. McBeth stated the other great news is that Senior Planner Lindsay Bell is being promoted to the Director of Planning.

Chair Pehrson expressed Ms. McBeth will be sorely missed.

Member Lynch expressed that Ms. McBeth should be very proud of all she has done.

Ms. McBeth stated we do the best we can. As Mr. Duchesneau said, coming to all the meetings, listening carefully, and picking up all the details. It was expressed that trying to listen is a valuable point.

Chair Pehrson expression appreciation for all Ms. McBeth has done and wished her all the best.

AUDIENCE PARTICIPATION

Chair Pehrson invited members of the audience who wished to address the Planning Commission during the final audience participation to come forward.

Mr. Duchesneau stated he would like to congratulate Ms. Bell on her new position. He expressed he did not think we were going to have such a pleasant send off. It was stated that for anyone who reads the comments of staff and consultants in the packet, it is unusual to see criticism by the traffic consultant. It was noted that a little better communication with the audience explaining the process would be helpful. The Planning Commission has gone through an extensive effort to revise the PRO to avoid this kind of showdown at City Hall when it is the City Councils turn. Perhaps the process itself needs to be better explained to people. Anyone who reads the packet would have known why the developer is not here.

Seeing no one else, Chair Pehrson closed the final audience participation.

ADJOURNMENT

Motion to adjourn the May 13, 2026, meeting made by Member Lynch and all in favor said aye.

Meeting adjourned at 8:16 PM.