

CITY OF NORMAN, OK
HISTORIC DISTRICT COMMISSION MEETING
Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Monday, August 03, 2026 at 5:30 PM

AGENDA

It is the policy of the City of Norman that no person or groups of persons shall on the grounds of race, color, religion, ancestry, national origin, age, place of birth, sex, sexual orientation, gender identity or expression, familial status, marital status, including marriage to a person of the same sex, disability, relation, or genetic information, be excluded from participation in, be denied the benefits of, or otherwise subjected to discrimination in employment activities or in all programs, services, or activities administered by the City, its recipients, sub-recipients, and contractors. In the event of any comments, complaints, modifications, accommodations, alternative formats, and auxiliary aids and services regarding accessibility or inclusion, please call 405-366-5424, Relay Service: 711. To better serve you, five (5) business days' advance notice is preferred.

ROLL CALL

MINUTES

1. CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

HISTORIC DISTRICT COMMISSION MEETING MINUTES OF JULY 6, 2026.

CERTIFICATE OF APPROPRIATENESS REQUESTS

2. (HD 25-26) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF AN AMENDMENT REQUEST TO THE CERTIFICATE OF APPROPRIATENESS (HD 25-26) FOR THE PROPERTY LOCATED AT 485 COLLEGE AVENUE FOR THE FOLLOWING: A) THE REPLACEMENT OF WOOD SIDING ON THE PRIMARY STRUCTURE; B) THE REPLACEMENT OF WOOD SIDING ON THE ACCESSORY STRUCTURE.

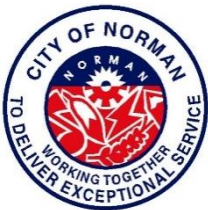
REPORTS/UPDATES

3. STAFF REPORT ON ACTIVE CERTIFICATES OF APPROPRIATENESS AND ADMINISTRATIVE BYPASS ISSUED SINCE JULY 6, 2026.
4. DISCUSSION OF PROGRESS REPORT REGARDING FYE 2025-2026 CLG GRANT PROJECTS.

DISCUSSION

MISCELLANEOUS COMMENTS

ADJOURNMENT



CITY OF NORMAN, OK
HISTORIC DISTRICT COMMISSION MEETING
Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Monday, July 06, 2026 at 5:30 PM

MINUTES

The Historic District Commission of the City of Norman, Cleveland County, State of Oklahoma, met in Regular Session in the Council Chambers at the Municipal Building, on Monday, July 06, 2026 at 5:30 PM and notice of the agenda of the meeting was posted at the Norman Municipal Building at 201 West Gray, and on the City website at least 24 hours prior to the beginning of the meeting.

ROLL CALL

PRESENT

Commissioner Michael Zorba
Commissioner Jo Ann Dysart
Commissioner Karen Thurston
Commissioner Susan Skapik
Commissioner Tyler Burns
Commissioner Trent Baggett

ABSENT

Commissioner Mitch Baroff
Commissioner Kendel Posey

STAFF PRESENT

Anais Starr, Planner II/Historic Preservation Officer
Jeanne Snider, Assistant City Attorney III
Casey Mayo, CDBG Program Tech

GUESTS PRESENT

Sara Werneke, 434 Chautauqua Ave., Norman, OK
Julie Blacksten, 725 Juniper Ln., Norman, OK
Coreg Jungman, 642 S. Lahoma Ave., Norman, OK
C. Tanner & Michelle Miller, 325 Keith St., Norman, OK
Tracy Schumacher, 723 Juniper Ln., Norman, OK
Michael Givel, 2800 Barry Switzer Ave, Norman, OK

MINUTES

1. CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

HISTORIC DISTRICT COMMISSION MEETING MINUTES OF JUNE 1, 2026.

Motion made by Commission Skapik, **Seconded** by Commissioner Burns.

Item 1.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

June 01, 2026 Historic District Meeting Minutes were Approved.

CERTIFICATE OF APPROPRIATENESS REQUESTS

2. (HD 26-16) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 725 JUNIPER LANE FOR THE FOLLOWING MODIFICATIONS TO THE PRINCIPAL STRUCTURE: A) REPLACEMENT OF EXTERIOR DOORS; B) INSTALLATION OF 6' WOOD STOCKADE FENCES IN SIDE YARDS.

A) REPLACEMENT OF EXTERIOR DOORS

Motion made by Commissioner Thurston, to approve (HD 26-16) item A) Replacement of exterior doors, as submitted. **Seconded** by Commissioner Skapik.

Staff Report

Anais Starr, Planner II/Historic Preservation Officer, presented the Staff Report.

Applicant Presentation

Julie Blacksten, the applicant, presented the proposed modifications.

Commissioner Thurston confirmed with the applicant the replacement door will be a solid wood door.

Public Comments

No public comments were received.

Commission Discussion

Commissioner Zorba stated the doors are attractive and fit the style of house and are compatible with the district.

Commissioner Thurston mentioned the deterioration on the current doors, as shown in the provided pictures.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

HD 26-16 item A) Replacement of exterior doors, was approved as submitted.

B) INSTALLATION OF 6' WOOD STOCKADE FENCES IN SIDE YARDS.

Motion made by Commissioner Burns to approve (HD 26-16) item B) Installation of 6' wood stockade fences in side yards, as submitted, **Seconded** by Commissioner

Thurston.

Staff Report

Anais Starr, Planner II/Historic Preservation Officer, presented the Staff Report

Applicant Presentation

Julie Blacksten, the applicant, presented the proposed modifications.

Public Comments

Tracy Schumacher, resident of 723 Juniper Lane, gave public comment. Mrs. Schumacher raised concerns regarding the placement of the proposed fence, and the property line between her residence and that of the applicant. Mrs. Schumacher requested the Commission table the agenda item until a survey providing exact property lines can be provided by the applicant. Mrs. Schumacher stated she objects to the agenda item as presented.

Commission Discussion

Commissioner Zorba noted property lines are not within the jurisdiction of the Historic District Commission. Ms. Starr affirmed property lines are not within the City of Norman purview. The Commission vote would pertain to the approval of the fence, not exact fence placement.

Commissioner Burns and Commissioner Skapik both stated they would like to see the fence placement. They questioned how wide the fence would be that faces Juniper Lane.

Commissioner Thurston agreed with the discussion and would like to know width of fence between the house and property lines.

The applicant stated they are fine with a postponement.

Motion made by Commissioner Thurston to postpone (HD 26-16) item B) Installation of 6' wood stockade fences in side yards, as submitted, **Seconded** by Commissioner Burns.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

HD 26-16 item B) Installation of 6' wood stockade fences in side yard, as submitted, was postponed.

3. (HD 26-14) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF AN AMENDMENT REQUEST TO CERTIFICATE OF APPROPRIATENESS (HD 25-01) FOR THE PROPERTY LOCATED AT 325 E KEITH STREET FOR THE FOLLOWING: A) THE SUBSTITUTION OF WOOD SIDING WITH HARDIE SIDING FOR ALL NEW ADDITIONS.

Motion made by Commissioner Dysart to approve (HD 26-14) item A) The substitution of wood siding with Hardie siding for all new additions, as submitted. **Seconded** by Commissioner Thurston.

Staff Report

Anais Starr, Planner II/Historic Preservation Officer, presented the Staff Report.

Applicant Presentation

Mr. Miller, the applicant, presented the proposed modifications.

Commissioner Baggett asked when the original Certificate of Appropriateness was issued. The applicant responded that the original COA was approved in April of 2025. Commissioner Baggett asked why the applicant wanted to change what was approved. The applicant stated the house is under major renovation and the cost of custom wood siding was not incorporated when the renovation was planned.

The applicant informed Commissioner Thurston that the smooth side of Hardie board would be shown, when asked.

The applicant stated only new construction would have Hardie board, and very minimal could be seen from street view.

Public Comments

No public comments were received.

Commission Discussion

Commissioner Baggett questioned if the Commission would have approved Hardie board in the original Certificate of Appropriateness issued in April 2025.

Commissioner Thurston asked if wood and Hardie board at a corner would match.

Commissioner Zorba welcomed Sara Werneke with Old Home Rescue, to the podium to answer technical questions from the Commission.

Ms. Werneke stated wood and other non-wood products may work together when stacked on top of one another. Ms. Werneke warned against placing cementitious products directly up to wood, as it would cause natural wood to deteriorate.

Commissioner Zorba asked the applicant the price difference in wood siding versus Hardie board. Commissioner Thurston urged the Commission to steer clear of budgetary reasons.

Commissioner Thurston stated having wood on the front would leave space for corner expansion, and using Hardie board on the sides may be an acceptable compromise.

The applicant agreed to a floor amendment.

Motion made by Commissioner Thurston to amend (HD 26-14) to approve item A) The substitution of wood siding with Hardie siding, smooth side out for side and rear-facing surfaces, and vertical corner surfaces with wood siding for street facing surfaces as approved in April 2025. **Seconded** by Commissioner Skapik.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

The motion to amend HD 26-14 item A) The substitution of wood siding with Hardie siding, smooth side out for side and rear-facing surfaces, and vertical corner surfaces with wood siding for street facing surfaces as approved in April 2025 was approved.

Motion made by Commissioner Thurston to approve (HD 26-14) item A) The substitution of wood siding with Hardie siding, smooth side out for side and rear-facing surfaces, and vertical corner surfaces with wood siding for street facing surfaces as approved in April 2025, as amended. **Seconded** by Commissioner Skapik.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns

Voting Nay: Commissioner Baggett

The motion to approve HD 26-14 item A) The substitution of wood siding with Hardie siding, smooth side out for side and rear-facing surfaces, and vertical corner surfaces with wood siding for street facing surfaces as approved in April 2025 was approved, as amended.

4. (HD 26-15) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 434 CHAUTAUQUA AVENUE FOR THE FOLLOWING MODIFICATIONS: A) DEMOLISH EXISTING HISTORIC 1-CAR GARAGE AND 1-CAR CARPORT; B) CONSTRUCTION OF A NEW 2-CAR GARAGE; C) INSTALLATION OF A NEW CONCRETE DRIVEWAY.

Motion made by Commissioner Dysart to approve (HD 26-15) item A) Demolish existing historic 1-car garage and 1-car carport, as submitted. **Seconded** by Commissioner Burns.

A) DEMOLISH EXISTING HISTORIC 1-CAR GARAGE AND 1-CAR CARPORT

Staff Report

Anais Starr, Planner II/Historic Preservation Officer, presented the Staff Report.

Applicant Presentation

Sara Werneke with Old Home Rescue, gave the applicant presentation.

Public Comments

Michael Givel, resident of 2800 Barry Switzer Ave., gave public comment.

Item 1.

Commission Discussion

Commissioner Thurston stated the conditions of the existing structure meet the conditions for demolition, citing Historic District Preservation Guidelines 2.4.4 and 2.4.4(B). Commissioner Burns agreed, stating that attempts to fix the existing structure risk the entire structure collapsing.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

HD 26-15 item A) Demolish existing historic 1-car garage and 1-car carport, was approved as submitted.

B) CONSTRUCTION OF A NEW 2-CAR GARAGE

Motion made by Commissioner Dysart to approve (HD 26-15) item B) Construction of a new 2-car garage, as submitted. **Seconded** by Commissioner Burns.

Staff Report

Anais Starr, Planner II/Historic Preservation Officer, presented the Staff Report.

Applicant Presentation

Sara Werneke with Old Home Rescue, gave the applicant presentation.

Commissioner Thurston noted the garage door is metal and is not appropriate. A wooden door, or metal door with wood trim would be more appropriate. The applicant stated a door with wood trim would be feasible.

Commissioner Burns asked the applicant about the siding and where the wood siding would start. The applicant responded the structure will have a stem wall with a lead curb to prevent water penetration, and to prevent the perpetuation of rot occurring in the sills and studs.

Commissioner Thurston mentions that the applicant plans on reusing the windows but will have a new door. The applicant affirms the current door is rotted out. The new door will be a steal door with a composite trim and will have the same paneling proportions as a historic panel door.

Ms. Starr clarified this is for the entry door. The applicant affirms this is for the entry door that will not be visible from the public right of way.

Commissioner Skapik confirmed with the applicant that the siding will match the existing.

Commissioner Baggett asked the applicant why a wood entry door wasn't chosen. The applicant responded that the choice was made for maintenance purposes as the backyard floods heavily.

Commissioner Bagget mentioned 3.14.6 guideline that states wood doors are required unless there is documentation that other materials were historically used on a particular structure.

Ms. Starr mentioned 2.4.8(B) code states aluminum clad doors and windows are allowed for garages located on the alleyway or behind the rear of the elevation of the house, with no or limited visibility from the front right of way. The code makes no mention of steel doors. Ms. Starr stated the Commission has permitted steel doors in some instances in the past.

Commissioner Burns asked the applicant if the homeowners would want an entry door that matched the garage door styling. The applicant affirmed.

Public Comments

No public comments were received.

Commission Discussion

Commissioner Skapik mentioned the steel automobile door and the entry door being her only hesitation.

Commissioner Thurston asked if the existing and proposed overhead garage doors would match. The applicant affirmed.

The applicant also stated an aluminum-clad entry door would be possible.

Commissioner Thurston confirmed with the applicant the overhead doors will have sixteen squares.

Motion made by Commissioner Thurston to amend (HD 26-15) item B) Construction of a new 2-car garage with both overhead car doors to be smooth metal with composite wood trim containing sixteen squares, and an aluminum-clad exterior entry door, contingent on approval from the Board of Adjustment for the setback variance.

Seconded by Commissioner Skapik.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

The motion to amend (HD 26-15) item B) Construction of a new 2-car garage with both overhead car doors to be smooth metal with composite wood trim containing sixteen squares, and an aluminum-clad exterior entry door, contingent on approval from the Board of Adjustment for the setback variance was approved.

Motion made by Commissioner Thurston to approve (HD 26-15) item B) Construction of a new 2-car garage with both overhead car doors to be smooth metal with composite wood trim containing sixteen squares, and an aluminum-clad exterior entry door, contingent on approval from the Board of Adjustment for the setback variance, as amended. **Seconded** by Commissioner Skapik.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

Item 1.

(HD 26-15) item B) Construction of a new 2-car garage with both overhead car doors to be smooth metal with composite wood trim containing sixteen squares, and an aluminum-clad exterior entry door, contingent on approval from the Board of Adjustment for the setback variance was approved, as amended.

C) INSTALLATION OF A NEW CONCRETE DRIVEWAY.

Motion made by Commissioner Thurston to approve (HD 26-15) item C) Installation of a new concrete driveway, as submitted. **Seconded** by Commissioner Burns.

Staff Report

Anais Starr, Planner II/Historic Preservation Officer, presented the Staff Report.

Applicant Presentation

Sara Werneke with Old Home Rescue, gave the applicant presentation.

Public Comments

No public comments were received.

Commission Discussion

The Commission briefly discussed this request meets the guidelines. Commissioner Thurston mentioned this does not overwhelm the backyard.

Voting Yea: Commissioner Zorba, Commissioner Dysart, Commissioner Thurston, Commissioner Skapik, Commissioner Burns, Commissioner Baggett

(HD 26-15) item C) Installation of a new concrete driveway was approved, as submitted.

REPORTS/UPDATES

5. STAFF REPORT ON ACTIVE CERTIFICATES OF APPROPRIATENESS AND ADMINISTRATIVE BYPASS ISSUED SINCE JUNE 1, 2026.

Anais Starr reported on active COAs as follows:

- 549 S. Lahoma Avenue – Mrs. Snyder gave an update on the current standing. Mrs. Snyder has spoken with the attorney handling the case and the property owner currently has a meeting scheduled with Old Home Rescue.
- 904 Classen Avenue – A code complaint has been submitted for this address for exterior material that has been removed since last fall with no active work. Applicant has been approved to replace existing siding.
- 607-609 S. Lahoma Ave - They have until 6/5/2028 to install remaining windows. No change from last month.

- 1320 Oklahoma Avenue - No change since last month.
- 467 College Ave – ADU work continues.
- 325 Keith Street – Work has started.
- 315 Castro Street – Garage has been completed.
- 502 Macy Street – Garage is almost complete.
- 508 Chautauqua Ave – The foundation has been poured.
- 720 S. Lahoma Ave – Same status as last month.
- 533 S. Lahoma Ave– Foundation has been poured.
- 735 S. Lahoma Ave– Work has not started.
- 452 S. Lahoma Ave – Work has not started. No change from last month.
- 413 S. Lahoma Ave – Building permit has been issued.

Anais Starr reported there have been no Administrative Bypass issued since June 01, 2026.

6. DISCUSSION OF PROGRESS REPORT REGARDING FYE 2025-2026 CLG GRANT PROJECTS.

Anais Starr discussed the progress report regarding FYE 2025-2026 CLG Grant Projects.

25-26 CLG Grant Projects

PROJECT 1: Educational Training - \$3,000

PROJECT 2: Memberships Dues for NAPC - \$150

PROJECT 3: Historic Tour Mobile App Maintenance - \$1,725

PROJECT 4: Lunch and Learn Windows Programs \$1,200

PROJECT 5: Biannual Education Postcard - \$1,800

TOTAL BUDGET OF CLG FUNDS - \$7,875

Ms. Starr explained she will be attending the NAPC Forum in Minneapolis July 22-26, 2026.

DISCUSSION

There was no discussion.

MISCELLANEOUS COMMENTS

Michael Givel, resident of 2800 Barry Switzer Ave., gave a comment about updating historical markers in Norman, and incorporating more historical markers in historic districts.

ADJOURNMENT

The meeting adjourned at 8:13 p.m.



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: August 3, 2026

REQUESTER: Catherine Gilarranz, Krittenbrink Architecture

PRESENTER: Anais Starr, Planner II/Historic Preservation Officer

ITEM TITLE: (HD 25-26) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF AN AMENDMENT REQUEST TO THE CERTIFICATE OF APPROPRIATENESS (HD 25-26) FOR THE PROPERTY LOCATED AT 485 COLLEGE AVENUE FOR THE FOLLOWING: A) THE REPLACEMENT OF WOOD SIDING ON THE PRIMARY STRUCTURE; B) THE REPLACEMENT OF WOOD SIDING ON THE ACCESSORY STRUCTURE.

BACKGROUND

Historical Information

1988 Chautauqua Historic District Survey Information:

485 College Ave. Circa 1935. This is a contributing Colonial Revival, two-story, weatherboard single dwelling. It has a gabled roof with a brick chimney on the north end. It does not have any porch or columns on the front, but there is a gabled wing that projects from the front of the house with a bay window. The siding has been clad with vinyl, and the entry hood has been replaced.

485½ College Ave. Circa 1935. This non-contributing structure was originally built for automobile storage. It has a gable roof with no porch, chimney, or columns and has no discernible architectural style. Sometime after 1944, the exterior siding was clad with metal siding, and the garage was converted to an accessory structure. The windows are metal while the door is wood panel. Due to alterations, this structure is considered non-contributing.

Sanborn Insurance Maps

The 1944 Sanborn Insurance Map shows the principal structure in its current location. An accessory structure is visible on the 1944 Sanborn Insurance Map at the location of the house's front wing. The 1944 Sanborn Insurance Map also shows the accessory structure situated along the southern property line in its current location and configuration.

Previous Actions

This property was designated part of the Chautauqua Historic District on August 14, 2018.

March 7, 2022 – The property owner requested a feedback session with the Commission about the removal of existing structures to accommodate the installation of a garage, swimming pool,

greenhouse, and carport. The Commission indicated the demolition of a historic structure did not meet the *Preservation Guidelines*.

June 3, 2024 – A Certificate of Appropriateness (COA) was approved for the following agenda items:

- a) Removal of existing front yard parking and reconfiguration of the driveway with either grasscrete or concrete.
- b) Installation of gutters on the house.
- c) Installation of gutters on the accessory structure.
- d) Replacement of existing windows with alternative material windows on the house.
- e) Replacement of existing windows with alternative material windows on the accessory structure.
- f) Installation of a new concrete walkway in the front yard with an additional leg from the northwest corner to the public sidewalk.

The Commission postponed the following requests to allow for revisions:

- g) Installation of a four-foot wrought iron fence with brick columns in the front yard.
- h) Installation of an eight-foot solid metal fence with brick columns in the sides.
- i) Installation of an eight-foot solid metal fence with brick columns in the rear yard.
- j) Installation of wrought iron gates over a driveway.
- k) Addition of a porch to the front façade of the house.
- l) Addition of a porch to the front façade of the accessory structure.
- m) Installation of a metal and glass sunroom to the rear of the house.
- n) Installation of a swimming pool and associated decking in the side yard; and
- o) Installation of new concrete walkways in the side and rear yards.

The Commission denied the request to install front-façade dormers.

June 7, 2025 – The applicant, Krittenbrink Architecture, requested a feedback session with the Commission to revisit possible exterior modifications to the principal structure, the accessory structure, and the property. The Commission provided feedback on the proposed changes.

August 4, 2025 – A Certificate of Appropriateness (COA) was approved for the following agenda items:

- c) The removal of a window on the front elevation of the principal structure.
- d) The replacement of a door on the north side of the front room of the principal structure with a window.
- e) The moving of the existing window on the north side of the front room of the principal structure.
- f) The addition of a window on the north side of the front room of the principal structure.
- g) The replacement of a double window with a single window on the south side of the front room of the principal structure.
- h) The addition of a rear porch to the principal structure.
- i) The replacement of a bay window with a sliding glass door unit on the rear of the principal structure.
- j) The replacement of a door with a window on the rear of the principal structure.
- k) The re-opening of a window opening on the rear of the principal structure.
- l) The reconfiguration of windows and doors on the accessory structure.

- m) The installation of a stoop canopy on the north and west (front) sides of the accessory structure.
- n) The installation of walkways in the side and rear yards.

The Commission postponed the following agenda items to allow the applicant time to revise the drawings:

- a) replacement of the front stoop canopy on the principal structure.
- b) replacement and installation of wood shutters on the front and rear elevations of the principal structure.

September 8, 2025 – A Certificate of Appropriateness (COA) was approved for the following modifications: a) replacement of the front stoop canopy on the principal structure; and b) installation of wood shutters on the front and rear elevations of the principal structure.

REQUESTS

a) The replacement of wood siding on the primary structure.

Project Description

At the August 4, 2025, Historic District Commission meeting, the exterior modifications to the primary structure were approved. At that time, the applicant planned to restore the existing wood siding beneath the vinyl cladding. During the renovation, the contractor removed the wood siding due to deterioration, unaware that approval was required before commencing the work. The applicant, Krittenbrink Architecture, requests replacement of the original wood siding on the primary structure with eight-inch beveled cedar siding matching the existing wood siding. Since the request is to replace all the siding on the exterior, it requires review by the Historic District Commission.

Reference - Historic District Ordinance

36-535. a.2.g: *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern-day uses and conveniences for their residents.*

Reference - Preservation Guidelines

3.2 Guidelines for Exterior Walls

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.1 Preserve Original Walls. *Retain and preserve exterior walls that contribute to the overall historic form and character of a building, including functional and decorative features and details.*

.2 Retain Original Building Materials. *Retain and preserve exterior wall materials that contribute to the overall historic character of a building.*

.3 Replace Only Deteriorated Portions. *If replacement of a deteriorated wall or feature is necessary, replace only the deteriorated portion in-kind rather than the entire feature. Match the original in material, design, dimension, detail, texture, and pattern. Compatible substitute materials can be considered if in-kind replacement material are not available or feasible.*

.4 Avoid Covering Original Materials. *Building materials and decorative elements are important character-defining components of historic buildings. It is not appropriate to remove or cover any wall material or detail with coatings or contemporary substitute materials. Vinyl and aluminum siding is not appropriate for use in historic districts.*

.5 Replace Missing Features. When replacing an exterior wall or feature, replace it with a new wall or feature based on accurate documentation of the original or a new design that is compatible with the historic character of the building and the district. Compatible substitute materials can be considered if in-kind replacement material are not available or feasible.

.6 Avoid False Historical Appearances. Features or details of walls and fences that are introduced to a property shall reflect its style, period, and design. Fences and walls features shall not create a false historical appearance by reflecting other time periods, styles, or geographic regions of the country.

.7 Substitute Materials. Cement fiberboard (e.g. Hardiplank® siding) will be considered on a case-by-case basis. Exterior insulating and finish systems (EIFS) will not be considered for use in historic structures.

Considerations/Issues

The *Preservation Guidelines for Exterior Walls* state that original historic walls on a contributing structure are to be preserved and repaired. It further states that, if feasible, only the deteriorated material should be replaced, not the entire wall. In this case, the contributing structure's original wood siding was clad in vinyl siding, and due in part to a lack of overhangs, water has penetrated behind the siding over the years, causing the wood to deteriorate. The applicant originally intended to remove the synthetic siding and restore the siding underneath. However, during the removal of the vinyl material, the contractor found the original wood siding to be beyond restoration and determined it needed to be replaced. The contractor removed the wood siding without realizing that they must obtain a Certificate of Appropriateness before commencing the work. The applicant has provided photos showing deterioration of the house's siding and walls. The structure has no overhangs and is without gutters, which contributed to water penetration. In 2017, a historic house with a similar design (no overhangs and no gutters) at 516 Macy Street in the Southridge Historic District experienced similar water penetration, necessitating the replacement of all the wood siding and some framing. At that time, the 2009 *Preservation Guidelines* allowed for the replacement of the wood siding with identical wood siding.

This is an ex post facto request, and the Commission is to consider the request as if the work has not been installed. If replacement is approved, the *Guidelines for Exterior Walls* state that replacement siding should match the original siding in material, dimension, and profile. The applicant is proposing eight-inch beveled cedar siding that matches the original siding in material, dimension, and profile and meets the *Guidelines for Exterior Walls*.

The Commission needs to determine whether the proposed replacement of the wood siding is appropriate for this contributing structure and compatible with the surrounding Chautauqua District.

Commission Action

Consideration of approval, rejection, amendment, and/or postponement of (HD 25-26) the Certificate of Appropriateness request for 485 College Avenue for the following: a) the replacement of wood siding on the primary structure.

REQUESTS

b) The replacement of wood siding on the accessory structure.

Project Description

At the August 4, 2025, Historic District Commission meeting, the exterior modifications to the accessory structure were approved. At that time, the applicant planned to restore the existing wood siding on the accessory structure located beneath the vinyl cladding. While removing the vinyl siding, the contractor determined it was too deteriorated to restore and removed it. The applicant, Krittenbrink Architecture, now requests replacement of the original wood siding on the accessory structure with eight-inch beveled cedar siding, matching the material, width, dimensions, and profile found on the house and the accessory structure. Since the request is to replace all the original wood siding on the exterior, it requires review by the Historic District Commission.

Reference - Historic District Ordinance

36-535.a.2.g: *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern-day uses and conveniences for their residents.*

36.535.c.3: Reviewing non-contributing structures. *Non-contributing structures should be controlled only to the degree necessary to make them compatible with the general atmosphere of any district with regard to exterior alteration, additions, signs, site work, and related activities.*

Reference - Preservation Guidelines

3.2 Guidelines for Exterior Walls

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.1 Preserve Original Walls. *Retain and preserve exterior walls that contribute to the overall historic form and character of a building, including functional and decorative features and details.*

.2 Retain Original Building Materials. *Retain and preserve exterior wall materials that contribute to the overall historic character of a building.*

.3 Replace Only Deteriorated Portions. *If replacement of a deteriorated wall or feature is necessary, replace only the deteriorated portion in-kind rather than the entire feature. Match the original in material, design, dimension, detail, texture, and pattern. Compatible substitute materials can be considered if in-kind replacement material are not available or feasible.*

.4 Avoid Covering Original Materials. *Building materials and decorative elements are important character-defining components of historic buildings. It is not appropriate to remove or cover any wall material or detail with coatings or contemporary substitute materials. Vinyl and aluminum siding is not appropriate for use in historic districts.*

.5 Replace Missing Features. *When replacing an exterior wall or feature, replace it with a new wall or feature based on accurate documentation of the original or a new design that is compatible with the historic character of the building and the district. Compatible substitute materials can be considered if in-kind replacement material are not available or feasible.*

.6 Avoid False Historical Appearances. *Features or details of walls and fences that are introduced to a property shall reflect its style, period, and design. Fences and walls features shall not create a false historical appearance by reflecting other time periods, styles, or geographic regions of the country.*

.7 Substitute Materials. *Cement fiberboard (e.g. Hardiplank® siding) will be considered on a case-by-case basis. Exterior insulating and finish systems (EIFS) will not be considered for use in historic structures.*

Considerations/Issues

The 1988 Historic Survey of the Chautauqua Historic District, cited earlier in this report, states that the accessory structure was clad in metal siding. However, it was clad with vinyl siding similar to the house. The 1988 Historic Survey sheet states this structure is non-contributing due to alterations, including the cladding of the original siding. The applicant originally planned to remove the synthetic siding and restore the underlying wood siding. During the removal of the synthetic material, the contractor found the original wood siding beneath the vinyl to be beyond restoration and determined it needed replacement. The contractor removed the wood siding without realizing the need to obtain a Certificate of Appropriateness for review and approval. The applicant has provided photos showing deterioration of the accessory structure's walls.

The *Preservation Guidelines for Exterior Walls* state that original historic walls are to be preserved and repaired. It further states that only the deteriorated material on the wall is to be replaced, not the entire wall. In this case, this structure is non-contributing to the Chautauqua Historic District, and the Commission has previously approved extensive alterations to the exterior configuration of the accessory structure at the August 4, 2025, Historic District Commission meeting.

This is an ex post facto request, and the Commission is to consider the request as if the work has not been installed. If replacement is approved, the *Guidelines for Exterior Walls* state that replacement siding should match the original siding in material, dimension, and profile. The applicant proposes eight-inch beveled cedar siding to match the siding on the primary structure. The proposed eight-inch beveled cedar siding will be compatible with the primary structure and the surrounding Chautauqua Historic District.

The Commission needs to determine whether replacement of siding on this non-contributing accessory structure with wood siding of the same dimensions and profile as the primary structure is appropriate, and whether this would impact the primary historic structure or the surrounding Chautauqua District.

Commission Action

Consideration of approval, rejection, amendment, and/or postponement of (HD 25-26) the Certificate of Appropriateness request for 485 College Avenue for the following: b) the replacement of wood siding on the accessory structure.



Case No. _____

Item 2.

Historic District Certificate of Appropriateness (COA) Application

City of Norman Planning & Community Development – 225 N. Webster Avenue – Norman, OK 73069 – (405) 307-7112

SECTION 1: APPLICANT INFORMATION**Applicant Name:** KRITTENBRINK ARCHITECTURE
CATHERINE GILARRANZ - KAMYAR MOVAFFAGH**Address of Proposed work:** 485 COLLEGE AVENUE,
NORMAN, OKLAHOMA 73069**Phone number and email of contact person:** _____**Applicant relationship to owner:** ☐ Self ☐ Contractor ☐ Engineer ☒ Architect**Property Owner's name, phone number, and email (if different than applicant):** _____**REQUIRED DOCUMENTS**

Applications will be scheduled for review at the next Historic District meeting only if the completed application and all required materials are submitted through the online portal by the first business day of the month. Support documents such as site plan, elevation drawings, specification sheets, and narrative must be submitted with the COA application form to be considered complete (see first page for list of required documents).

SECTION 2: PROPOSED WORK

Project(s) proposed (Work not listed here cannot be reviewed): Amendment to previously approved Certificate of Appropriateness for replacement of deteriorated exterior wood siding on the primary residence and detached accessory structure. During construction & renovation, extensive concealed deterioration was discovered within the existing siding existing siding, sheathing, framing, and structural wall assemblies after removing the vinyl siding veneer that was covering the walls. The proposed work/amendment, includes replacement of deteriorated wood siding with cedar wood siding matching the historic dimensions, exposure, profile and appearance of the original material, along with reconstruction of damaged wall assemblies necessary to stabilize and preserve the structures, both in the main house and shop

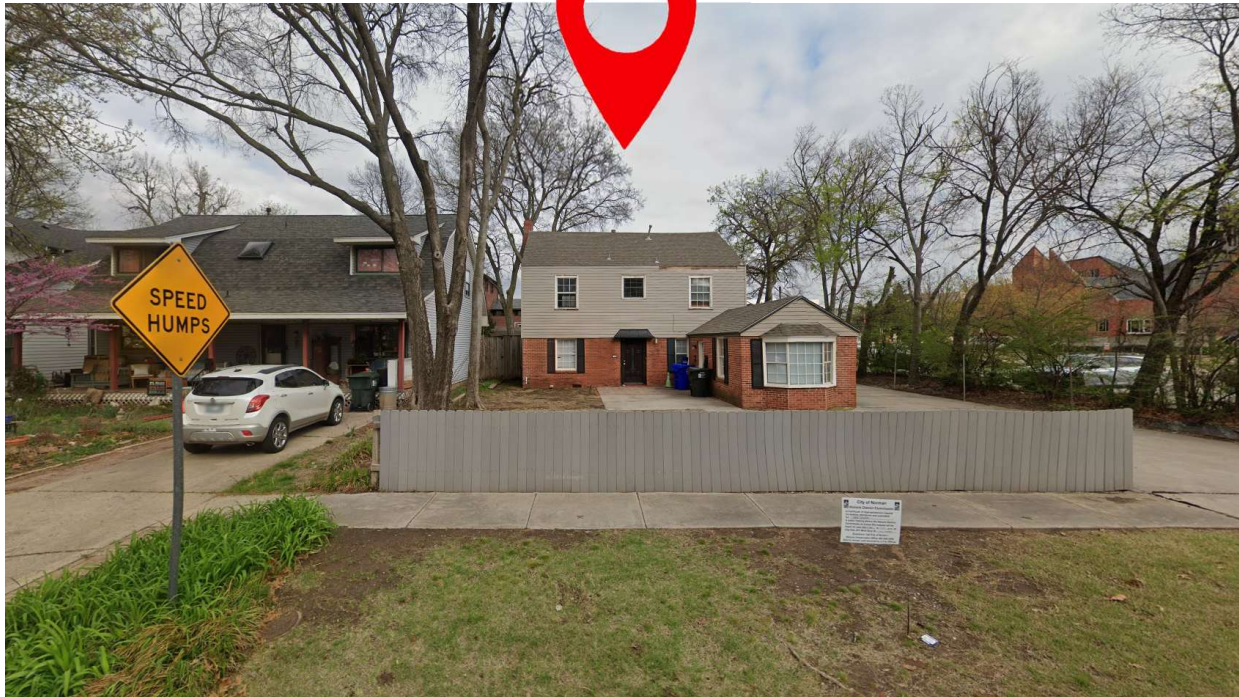
SECTION 3: AUTHORIZATION AND SIGNATURES

I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer.

Property Owners Signature: _____ **Date:** 6/17/2026**Property Owner's Printed Name:** STEPHEN TEEL

☒ (If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Authorized Representatives Printed Name: CATHERINE GILARRANZ, KAMYAR MOVAFFAGH & CODY DOUGLAS**Authorized Representatives Signature:** _____ **Date:** 6/17/2026



TEEL RESIDENCE

COA AMENDMENT

REPLACEMENT OF DETERIORATED WOOD SIDING DUE TO CONCEALED STRUCTURAL DAMAGE
485 COLLEGE AVE, NORMAN OK 73069

APPROVED COA'S

MAIN APPLICATION



HD 23-26

The City of Norman, Oklahoma

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Historic District Commission  
Certificate of Appropriateness

Owner: Stephen Teel  
485 College Avenue  
Norman, OK 73069

A Certificate of Appropriateness has been issued for the property located at:  
**485 College Avenue**

for the following modifications as submitted: C) Removal of a window on the front elevation of the principal structure; D) Replacement of a door on north side of the front room of the principal structure with a window; E) Move existing window on the north side of the front room of the principal structure to restore symmetry; F) Addition of a window on the north side of the front room of the principal structure to restore symmetry; G) Replacement of a double window with a single window on the south side of the front room of the principal structure; H) Addition of a rear porch to the principal structure; I) Replacement of a bay window with a sliding glass door unit on the rear of the principal structure; J) Replacement of a door with a window on the rear of the principal structure; K) Re-opening of a window opening on the rear of the principal structure; L) Reconfiguration of windows and doors on the accessory structure; M) Installation of a stoop canopy on the north and west (front) sides of the accessory structure; and N) Installation of walkways in the side and rear yards. (see attached)

  
Michael Zorba, Chair  
Historic District Commission

Attest:  
  
Anais Starr  
Historic Preservation Officer

Approved: August 4, 2025  
Effective Date: August 14, 2025  
Expiration Date: August 14, 2026

*This COA is valid for 12 months. Work must commence by expiration date or be re-reviewed by the Historic District Commission. If you have any questions, please contact the Historic Preservation Officer, Anais Starr, at 405-366-5392 or [Anais.starr@normanok.gov](mailto:Anais.starr@normanok.gov).*

Your project may require a permit. Please check with the Development Services Department located at 225 N. Webster, 405-366-5311. To obtain a permit, please submit a copy of this COA with your request.

## ROOF CANOPY'S & SHUTTERS



HD 25-26

The City of Norman, Oklahoma

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Historic District Commission
Certificate of Appropriateness

Owner: Stephen Teel
485 College Avenue
Norman, OK 73069

A Certificate of Appropriateness has been issued for the property located at:

485 College

for replacement of the front stoop canopy on the principal structure; and installation of wood shutters on the front and rear elevations of the principal structure, as submitted. (See attached)


Mike Zorba, Chair
Historic District Commission

Attest:

Anais Starr
Historic Preservation Officer

Approved: September 8, 2025
Effective Date: September 18, 2025
Expiration Date: September 18, 2026

This COA is valid for 12 months. Work must commence by expiration date or be re-reviewed by the Historic District Commission. If you have any questions, please contact the Historic Preservation Officer, Anais Starr, at 405-366-5392 or Anais.starr@normanok.gov.

Your project may require a permit. Please check with the Development Services Department located at 225 N. Webster, 405-366-5311. To obtain a permit, please submit a copy of this COA with your request.

FENCES



HD 25-34

The City of Norman, Oklahoma

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Historic District Commission  
Certificate of Appropriateness

Owner: Stephen Teel  
490 Elm Avenue  
Norman, OK 73069

A Certificate of Appropriateness has been issued for the property located at:

### **485 College Avenue**

for installation of an eight-foot metal fence on the north property line to the current wood fence, with design as submitted. (See attached)

  
Mike Zorba, Chair  
Historic District Commission

Attest:  
  
Anais Starr  
Historic Preservation Officer

Approved: November 3, 2025  
Effective Date: November 13, 2025  
Expiration Date: November 13, 2026

*This COA is valid for 12 months. Work must commence by expiration date or be re-reviewed by the Historic District Commission. If you have any questions, please contact the Historic Preservation Officer, Anais Starr, at 405-366-5392 or [Anais.starr@normanok.gov](mailto:Anais.starr@normanok.gov).*

Your project may require a permit. Please check with the Development Services Department located at 225 N. Webster, 405-366-5311. To obtain a permit, please submit a copy of this COA with your request.

# ARCHITECTURAL SITE PLAN APPROVED

## GENERAL NOTES - PROPOSAL

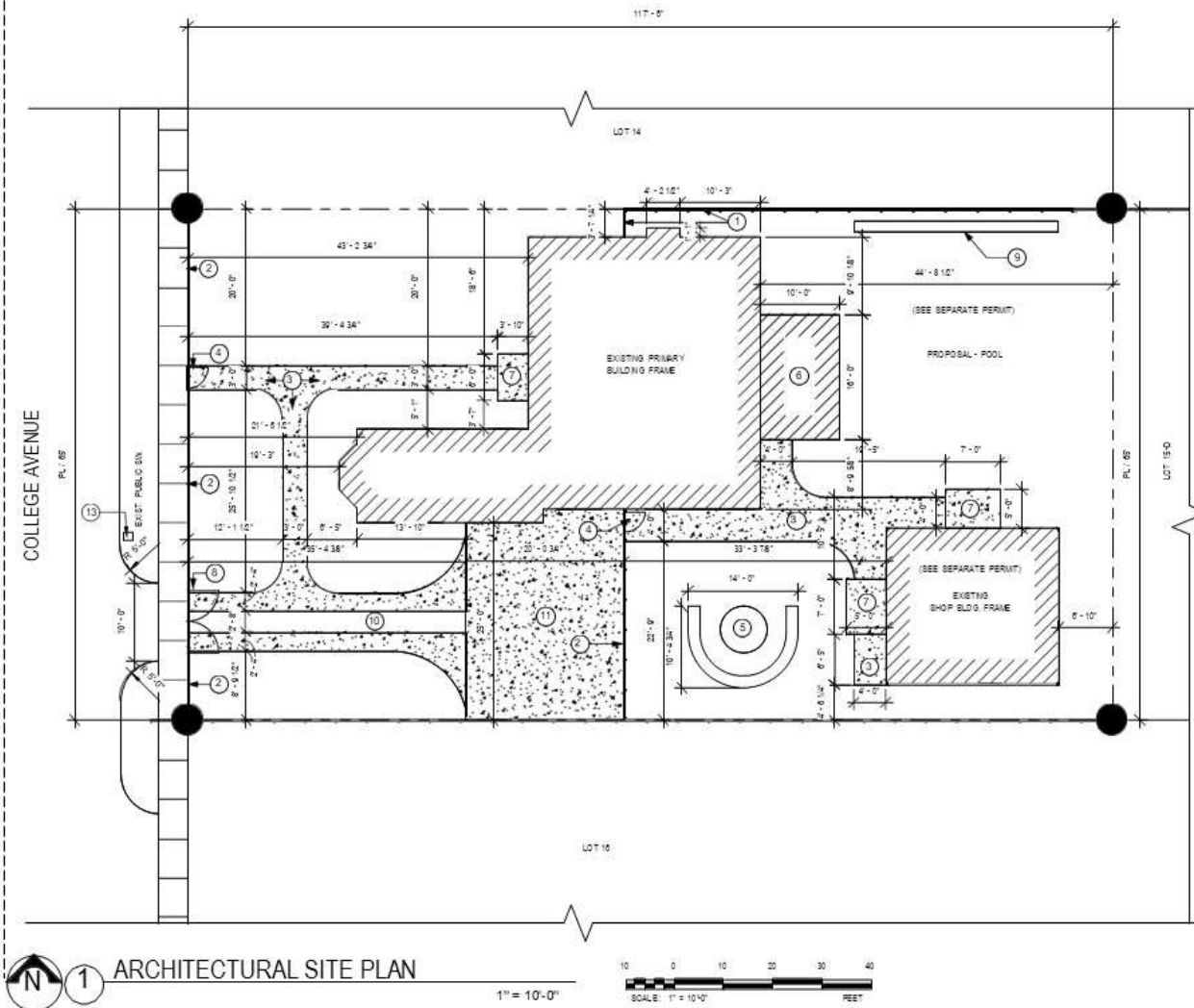
- DATA PRESENTED IN THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES, LOCATIONS AND HEIGHTS WILL BE OBTAINED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RELOCATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE DESIRED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR A DECISION TO RELOCATE OR PROCEED PRIOR TO BID.
- CONTRACTOR SHALL FINISH ALL EXPOSED ITEMS IN NEW CONSTRUCTION. CONSTRUCTION IN AREAS TO BE RELOCATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND UNLAWFUL IN LOCATIONS ACCEPTABLE TO THE OWNER.
- DAMAGED LINES ON DEMOLITION PLANS INDICATE EXISTING MATERIALS TO BE REMOVED, UNLESS OTHERWISE NOTED. EQUIPMENT TO BE REMOVED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.
- ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH LIGHT CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, REFINISH OR REPLACE DAMAGED ITEMS AT NO COST TO OWNER.
- REPAIR SLOTTED CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK TO MATCH EXISTING ADJACENT FINISHES.
- REPAIR ALL EXIST. CONSTRUCTION DAMAGED BY DEMOLITION TO LIKE NEW APPEARANCE.
- REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL.
- COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS WITH OWNER WHERE THEY AFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES.
- DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO PREVENT DAMAGE FROM UNLAWFUL OR WEATHER DURING CONSTRUCTION.
- PROVIDE SCREENING PRODUCT, FENCES, BARRIERS, WATER, AND NOISE BARRIERS WHERE REQUIRED. CONSTRUCTION TO BE BE SUPPLIED TO NORMAL OPERATIONS OF THE FACILITY.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO THE DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAC QUESTIONS AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.
- PROTECT ALL EXISTING FLOORING FROM DAMAGE & REPAIR ANY DAMAGE TO LIKE NEW APPEARANCE UNLESS NOTED WHEN FLOORING.
- PATCH SURFACES AS REQUIRED TO MATCH EXISTING WHERE PLUMBING, MECHANICAL AND ELECTRICAL ITEMS OR EQUIPMENT HAVE BEEN REMOVED.
- GENERAL CONTRACTOR TO PROPERLY DISPOSE, DONATE, AND/OR RECYCLE ALL DEMO ITEMS UNLESS OTHERWISE NOTED. RETURN TO OWNER, COORD. WITH ARCHITECT & OWNER - WHERE NECESSARY.
- COORDINATE ALL HVAC OUTWORK, RETURN & SYSTEM SPEC'S BY HVAC SUB-CONTRACTOR & ARCHITECT.
- REMOVE & LEVEL ALL FLOOR & SUB-FLOOR TOP.
- INSTALL ALL APPLIANCES (SELECTED & SUPPLIED BY OWNER) & PRODUCTS AS PER MANUFACTURER'S SPECIFICATIONS. REWORK PLUMBING & ELECTRICAL, COORD. WITH OWNER & ARCHITECT. SEE PERMITS PLAN.
- ALL EXTERIOR WALLS & SLOTTED CEILING SHALL HAVE A MIN. OF R-10 INSULATION TO COMPLY WITH CITY OF NEW CONSTRUCTION. SEE NEW CONSTRUCTION COORD. WITH ARCHITECT & OWNER - WHERE NECESSARY.
- ATTIC SHALL INCLUDE INSULATION WITH MIN. R-30 & RADIANT BARRIER. BARRIERS SHALL BE AT ALL NEW ROOF DECKS. COORD. WITH ARCHITECT & OWNER - WHERE NECESSARY.
- ALL GLASS IN WINDOWS & DOORS TO BE COMPLIANT WITH IRC 2021, E.G. U-FACTOR, SOLAR HEAT GAIN COEFFICIENT, ETC. COORD. ALL SELECTIONS WITH ARCHITECT.
- DOOR IN WINDOWS TO BE REUSED IN NEW CONSTRUCTION COORD. WITH OWNER.
- ALL NEW WALLS TO RECEIVE A LEVEL 4 TEXTURE AND TO BE PAINTED TO MATCH EXISTING WHERE APPLICABLE.
- ADD FINISH DETAILERS & LOGS OF DETAILERS FOR CURRENT CODE.
- DOORS & WINDOWS ARE EXISTING TO REMAIN & 60" ARE NEW.

## KEY NOTE SYMBOL LEGEND:

- REFER TO - BUBBLE NOTE WITHOUT ARROW APPLIES TO ENTIRE ROOM IN WHICH IT IS LOCATED UNLESS SHOWN OTHERWISE.
- ○ REFER TO - BUBBLE NOTE WITH ARROW APPLIES TO OBJECT INDICATED.

## KEY NOTES: (NOT ALL KEYED NOTES MAY BE UTILIZED ON THIS SHEET)

- NEW 8" TALL METAL FENCE TO MATCH HILL FENCE STYLE. DO NOT INSTALL PRIOR TO RECEIVING FINAL COA APPROVAL. REF. CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
- NEW 4" TALL, 1/2" WIDE (60") ROYALTY TO MATCH COLONIAL-STYLE FENCE. REF. CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
- STAMPED CONCRETE DRIVEWAY.
- NEW 4" TALL, 1/2" WIDE (60") ROYALTY TO MATCH COLONIAL-STYLE FENCE. REF. CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
- BUILT-IN ROUND FIRE PIT WITH ORANGE OIL BURNER. CLIENT TO PROVIDE PRE-SCREENED WOOD.
- PORCH ADDITION WITH GABLE ROOF AND COLONIAL-STYLE COLUMNS. REF. CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
- STOP ADDITION WITH ROOF GABLE AND CURVED BRACKETS FOR SUPPORT. REF. CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
- NEW 4" TALL, 1/2" WIDE (60") ROYALTY TO MATCH COLONIAL-STYLE FENCE. REF. CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
- EXTERIOR DRILL AREA WITH ROOF COVERAGE. COORDINATE WITH G.C. AND POOL SUB-CONTRACTORS TO FINALIZE SCOPE.
- SPILT RUBBER. 2" NEW STAMPED CONCRETE DRIVEWAY.
- STAMPED CONCRETE DRIVEWAY.
- POOL / JACUZZI AREA. G.C. TO COORDINATE WITH SUB-CONTRACTORS FOR FINAL LAYOUT AND SCOPE CHANGES. ISSUES MUST BE ADDRESSED PRIOR TO COMMENCEMENT.
- CLIENT TO PROVIDE FINAL LOCATION AND PRODUCT TO G.C.

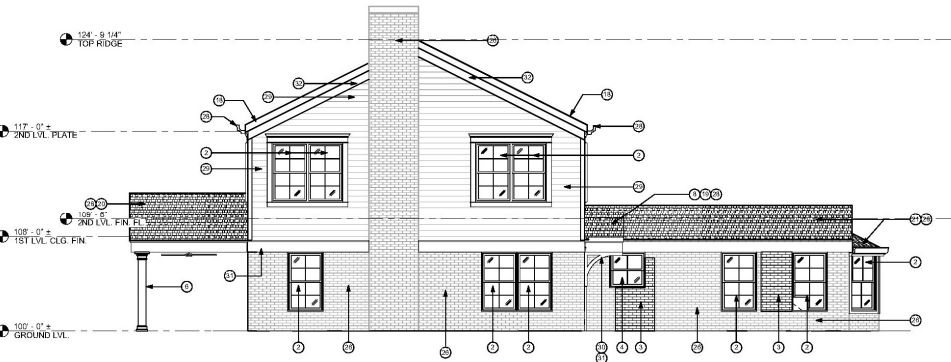


# EXTERIOR ELEVATIONS APPROVED



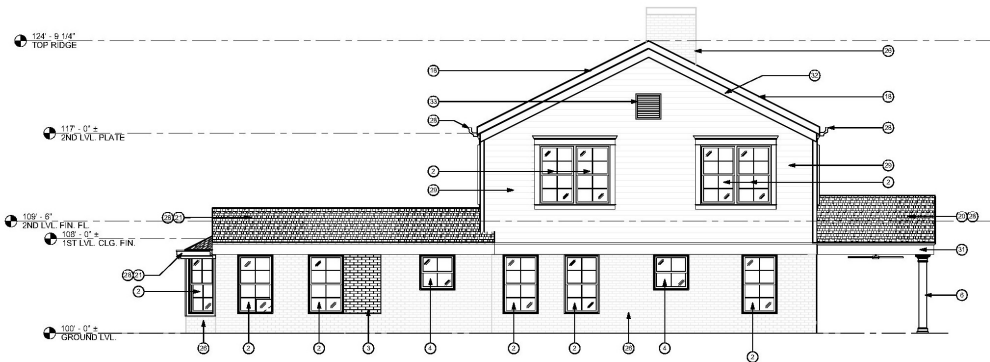
1 NORTH EXTERIOR ELEVATION

1/4" = 1'-0"



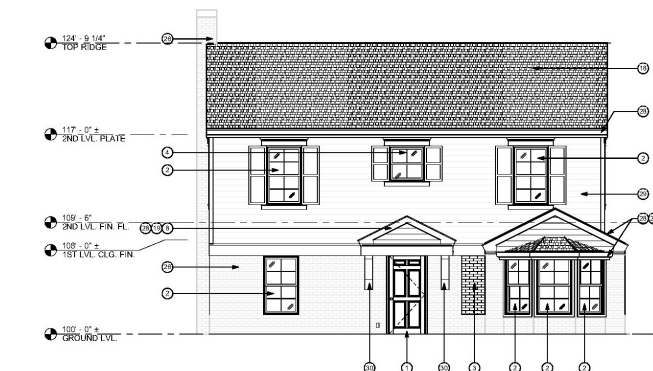
1 EAST EXTERIOR ELEVATION

1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION

1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION

1/4" = 1'-0"

## KEY NOTE SYMBOL LEGEND:

- (X) REFER TO - BUBBLE NOTE WITHOUT ARROWS APPLIES TO ENTIRE ROOM IN WHICH IT IS LOCATED UNLESS SHOWN OTHERWISE.
- (X) REFER TO - BUBBLE NOTE WITH ARROWS APPLIES TO OBJECT INDICATED.

## KEY NOTES: (NOT ALL KEYED NOTES MAY BE UTILIZED ON THIS SHEET)

1. NEW 3068 WOOD DOOR IN COLONIAL REVIVAL STYLE TO BE INSTALLED IN THE EXISTING OPENING. G.C. TO COORDINATE FINAL SELECTION WITH OWNER.
2. NEW 3050DH DOUBLE-HUNG ALUMINUM WINDOW IN BRONZE FINISH (TAFCD).
3. EXISTING WINDOW TO BE DEMOLISHED. NEW EXTERIOR WALL VENEER TO MATCH EXISTING CONDITIONS.
4. NEW 303DH DOUBLE-HUNG ALUMINUM WINDOW IN BRONZE FINISH (TAFCD).
5. NEW INTERIOR DOOR. REF.: A601 FOR DOOR & WINDOW SCHEDULES AND TYPES. G.C. TO COORDINATE FINAL DOOR SELECTIONS WITH OWNER.
6. NEW COLONIAL REVIVAL STYLE COLUMNS. REF.: CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
7. STAMPED CONCRETE PORCH ADDITION WITH GABLE ROOF.
8. STAMPED CONCRETE STOOP ADDITION WITH GABLE ROOF CANOPY AND CURVED WOOD BRACKETS.
9. NEW 10'-0" WIDE X 8'-0" TALL (12068) FOUR-PANEL GLASS SLIDING DOOR IN COLONIAL REVIVAL STYLE. REF.: A601 FOR DOOR & WINDOW SCHEDULES AND TYPES. G.C. TO COORDINATE FINAL DOOR SELECTION WITH OWNER.
10. NEW WINDOW TO BE SEALED AND COVERED FROM THE INTERIOR. G.C. TO COORDINATE MIRRORING EXTERIOR GLAZING TREATMENT WITH CLIENT.
11. INTERIOR WOOD WINDOW SHUTTERS.
12. BUILT-IN CABINETS AND DRAWERS FOR POPCORN BAR.
13. BUILT-IN 5'-0" TALL SHELVES FOR BLOCKBUSTER MOVIE DISPLAY.
14. WALL TO BE USED FOR PROJECTOR SCREEN INSTALLATION.
15. THEATER ROOM SEATING. CLIENT TO PROVIDE PRE-ORDERED UNITS.
16. WOOD RAILING. G.C. TO COORDINATE FINAL STYLE AND FINISH WITH OWNER.
17. BUILT-IN WALL NICHES WITH ARCHED TOPS FOR LIFE-SIZE STATUE DISPLAY.
18. REPLACE EXISTING ROOF STRUCTURE. G.C. TO FIELD-VERIFY EXISTING PITCH AND MATCH WITH NEW FRAMING. REF.: STRUCTURAL SHEETS FOR DETAILS.
19. GABLE ROOF CANOPY WITH CURVED WOOD BRACKETS. G.C. TO FIELD-VERIFY EXISTING PITCH AND MATCH. REF.: STRUCTURAL SHEETS FOR DETAILS.
20. GABLE ROOF FOR REAR PORCH ADDITION. G.C. TO FIELD-VERIFY EXISTING PITCH AND MATCH WITH NEW CONSTRUCTION. REF.: STRUCTURAL SHEETS FOR DETAILS.
21. INSTALL NEW SHINGLES THROUGHOUT THE ROOF, INCLUDING FRAMING AND MILLWORK RESTORATION IF ROOF STRUCTURE CANNOT BE SALVAGED. G.C. TO REBUILD TO MATCH EXISTING PROFILE. G.C. TO FIELD-VERIFY EXISTING PITCH TO MATCH NEW CONSTRUCTION. REF.: STRUCTURAL SHEETS FOR DETAILS.
22. NEW 2868 FIXED ALUMINUM WINDOW IN BRONZE FINISH (TAFCD).
23. NEW 2868 WOOD EXTERIOR DOOR IN COLONIAL REVIVAL STYLE. G.C. TO COORDINATE FINAL SELECTION WITH OWNER.
24. NEW 4068 WOOD DOOR WITH GLASS TO MATCH COLONIAL REVIVAL STYLE. G.C. TO COORDINATE FINAL SELECTION WITH OWNER.
25. NEW ROOF PROFILES TO MATCH THOSE OF THE PRIMARY RESIDENCE.
26. DO NOT PAINT EXISTING OR NEW BRICK. REPAIR OR ORDER NEW BRICK TO MATCH EXISTING COLOR AND TEXTURE AS NEEDED.
27. NEW WOOD SIDING FINISH AT GABLE WALL. FINAL SELECTION TO MATCH OWNER'S PREFERENCE.
28. INSTALL NEW DARK BRONZE CURVED-PROFILE GUTTERS THROUGHOUT HOUSE AND SHOP. REF.: CERTIFICATE OF APPROPRIATENESS FOR DETAILS.
29. ORIGINAL WOOD SIDING ON MAIN HOUSE AND SHOP TO BE RESTORED OR REPLACED AS NEEDED TO MATCH EXISTING TYPE AND PROFILE. G.C. TO COORDINATE FINAL FINISH WITH OWNER.
30. INSTALL WOOD CURVED BRACKETS TO SUPPORT ROOF CANOPY. REF.: CERTIFICATE OF APPROPRIATENESS FOR DETAILS.
31. INSTALL NEW 12" TALL WOOD TRIM BASE AROUND MAIN BUILDING TO MATCH COLONIAL REVIVAL STYLE.
32. INSTALL NEW 6" TALL GABLE TRIM TO ENHANCE COLONIAL REVIVAL STYLE. G.C. TO COORDINATE FINAL FINISH WITH OWNER.
33. INSTALL FAUX ATTIC VENT ON MAIN HOUSE FOR HISTORIC APPEARANCE AS REQUIRED BY EXTERIOR COA. INSTALL FUNCTIONAL ATTIC VENT FOR SHOP TO PROVIDE PROPER VENTILATION. G.C. TO COORDINATE FINAL SELECTIONS WITH OWNER.

## CONDITIONS DISCOVERED DURING CONSTRUCTION



DURING DEMOLITION AND SELECTIVE REMOVAL OF EXTERIOR FINISHES, SIGNIFICANT CONCEALED DETERIORATION WAS DISCOVERED WITHIN THE EXISTING WALL ASSEMBLIES AND STRUCTURAL FRAMING. CONDITIONS INCLUDED EXTENSIVE MOISTURE INTRUSION, DETERIORATED WOOD SIDING, DAMAGED SHEATHING, AND STRUCTURAL MEMBERS AFFECTED BY LONG-TERM EXPOSURE TO WATER. ADDITIONAL DETERIORATION WAS IDENTIFIED AT ROOF-TO-WALL INTERSECTIONS, WINDOW OPENINGS, AND OTHER CONCEALED LOCATIONS THAT WERE NOT VISIBLE DURING THE ORIGINAL ASSESSMENT. THESE CONDITIONS REQUIRED SUBSTANTIAL REPAIR AND RECONSTRUCTION OF AFFECTED ASSEMBLIES TO RESTORE THE STRUCTURAL INTEGRITY OF THE BUILDING AND ENSURE LONG-TERM PERFORMANCE OF THE REHABILITATION WORK.

## CONDITIONS DISCOVERED DURING CONSTRUCTION



- EXTENSIVE DETERIORATION OF EXISTING WOOD SIDING.
- SIGNIFICANT MOISTURE INTRUSION WITHIN EXTERIOR WALL ASSEMBLIES.
- ROTTEN AND DETERIORATED WALL FRAMING MEMBERS.
- FAILED AND DETERIORATED WOOD SHEATHING.
- WATER-DAMAGED SILL PLATES AND BOTTOM WALL FRAMING.
- DETERIORATED ROOF-TO-WALL TRANSITION AREAS.
- FAILED EXTERIOR TRIM AND WOOD COMPONENTS.
- EXISTING SIDING TOO BRITTLE AND DETERIORATED TO BE REMOVED WITHOUT FURTHER DAMAGE.
- PORTIONS OF ORIGINAL SIDING MISSING AND PREVIOUSLY CONCEALED BENEATH VINYL SIDING.
- STRUCTURAL REPAIRS REQUIRED TO STABILIZE EXTERIOR WALLS.
- WIDESPREAD DETERIORATION EXCEEDING 50% OF THE EXTERIOR WALL SURFACES.
- WATER DAMAGE AND DETERIORATION WITHIN THE DETACHED ACCESSORY STRUCTURE.
- DETERIORATED SIDING, SHEATHING, AND FRAMING WITHIN THE ACCESSORY STRUCTURE.
- BUILDING ENVELOPE FAILURES CONTRIBUTING TO LONG-TERM MOISTURE EXPOSURE.
- RECONSTRUCTION OF WALL ASSEMBLIES REQUIRED PRIOR TO INSTALLATION OF NEW EXTERIOR FINISHES.

## SUMMARY OF PROPOSAL



THE APPLICANT IS REQUESTING APPROVAL TO REPLACE THE EXISTING **8" BEVELED-EDGE 5/8" > 1/8" THICK WOOD SIDING** DETERIORATED WOOD SIDING ON THE PRIMARY RESIDENCE AND DETACHED ACCESSORY STRUCTURE WITH **NEW 8" BEVELED-EDGE 5/8" > 1/8" CEDAR WOOD SIDING**, MATCHING THE EXISTING HISTORIC PROFILE, DIMENSIONS, EXPOSURE, AND OVERALL APPEARANCE OF THE ORIGINAL WOOD SIDING.

DURING CONSTRUCTION, EXTENSIVE CONCEALED DETERIORATION WAS DISCOVERED WITHIN THE EXISTING SIDING, SHEATHING, AND STRUCTURAL WALL ASSEMBLIES. THE DAMAGE WAS SUBSTANTIALLY GREATER THAN ANTICIPATED AND EXCEEDED THE THRESHOLD FOR REPAIR, MAKING RESTORATION OF THE EXISTING SIDING IMPRACTICAL. SIGNIFICANT PORTIONS OF THE ORIGINAL SIDING WERE FOUND TO BE DETERIORATED, MISSING, STRUCTURALLY COMPROMISED, OR INCAPABLE OF BEING REMOVED WITHOUT FURTHER DAMAGE. THE PROPOSED **8" BEVELED-EDGE 5/8" > 1/8" CEDAR SIDING** WILL REPLICATE THE HISTORIC CHARACTER AND VISUAL APPEARANCE OF THE EXISTING SIDING WHILE ALLOWING FOR THE NECESSARY RECONSTRUCTION AND STABILIZATION OF THE BUILDING ENVELOPE.

STRUCT-ENG  
STRUCT-ENG-ADDR

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MECH. ENG  
MECH-ENG-ADDR

PHONE: PHONE  
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ELEC. ENG  
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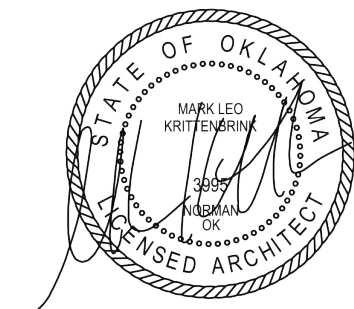
TEEL RESIDENCE  
485 COLLEGE AVE  
NORMAN, OK 73069

PERMIT SET  
04.09.2026

[illegible]

| MARK      | DATE | DESCRIPTION |
|-----------|------|-------------|
| REVISIONS |      |             |

| PRIMARY ISSUE |            |              |
|---------------|------------|--------------|
| MARK          | DATE       | DESCRIPTION  |
| 1             | 01.20.2026 | PERMIT ISSUE |
| 2             | 09.26.2025 | BID ISSUE    |
| 3             | 04.09.2026 | CONST. ISSUE |



JOB NO.: K1025

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|          |            |
|----------|------------|
| DRAWN BY | CHECKED BY |
| CWP      | MLK        |

# PROPOSAL - ARCHITECTURAL SITE PLAN

# A101

DATA PRESENTED IN THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES, LOCATIONS AND HEIGHTS WILL BE COVERED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEING AWARDED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.

B. CONTRACTOR SHALL FINISH ALL EXPOSED ITEMS IN NEW CONSTRUCTION.

C. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE OWNER.

D. DASHED LINES ON DEMOLITION PLANS/ELEVATIONS INDICATE EXISTING MATERIALS TO BE REMOVED, UNLESS OTHERWISE NOTED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.

E. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH LIGHT CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, REFINISH OR REPLACE DAMAGED MATERIALS AT NO COST TO OWNER.

F. REPAIR SOFFITS, CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK TO MATCH EXISTING ADJACENT FINISHES.

G. REPAIR ALL EXIST. CONSTRUCTION DAMAGED BY DEMOLITION TO LIKE NEW APPEARANCE.

H. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL.

I. COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS WITH OWNER WHERE THEY EFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES.

J. DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO DAMAGE FROM VANDALISM OR WEATHER DURING CONSTRUCTION.

K. PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER, AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE TO EXPOSED TO NORMAL OPERATIONS OF THE BUILDING.

L. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO THE DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAID QUESTIONED AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.

M. PATCH ALL EXISTING FLOORING FROM DAMAGE & REPAIR ANY DAMAGE TO LIKE NEW APPEARANCE UNLESS NOTED W/ NEW FLOORING.

N. PATCH SURFACES AS REQUIRED TO MATCH EXISTING WHERE PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS OR EQUIPMENT HAVE BEEN REMOVED.

O. GENERAL CONTRACTOR TO PROPERLY DISPOSE, DONATE, AND/OR RECYCLE ALL DEMO ITEMS, UNLESS OTHERWISE NOTED "RETURN TO OWNER", "COORD. & OWNER".

P. COORDINATE ALL HVAC DUCTWORK, RETURNS & SYSTEM SPECS W/ HVAC SUB-CONTRACTOR & ARCHITECT.

Q. SECURE & LEVEL ALL FLOOR & SUB-FLOOR, TYP.

R. INSTALL ALL APPLIANCES (SELECTED & SUPPLIED BY OWNER) & PRODUCTS AS PER MANUFACTURER'S SPECIFICATIONS, REWORK PLUMBING & ELECTRICAL, COORD. W/ OWNER & ARCHITECT. RE-POWER PLAN.

S. ALL EXTERIOR WALLS & SOFFITS WILL HAVE A MIN. OF R-19 INSULATION TO COMPLY W/ CITY IN WHICH CONSTRUCTION IS BEING DONE. COORD. W/ ARCHITECT & OWNER - WHERE NECESSARY.

T. ATTICS SHALL INCLUDE INSULATION W/ A MIN. OF R-30 & RADIANT BARRIER BACKED OSB AT ALL NEW ROOF DECKING, COORD. W/ ARCHITECT & OWNER - WHERE NECESSARY.

U. ALL GLASS IN WINDOWS & DOORS TO BE COMPLIANT W/ IRC 201, E. G. U-FACTOR, SOLAR HEAT GAIN COEFFICIENT, ETC., COORD. ALL SELECTIONS W/ ARCHITECT.

V. DOORS/WINDOWS TO BE RE-USED IN NEW CONSTRUCTION (COORD. W/ OWNER).

W. ALL NEW WALLS TO RECEIVE A LEVEL 4 TEXTURE AND TO BE PAINTED TO MATCH EXISTING WHERE APPLICABLE.

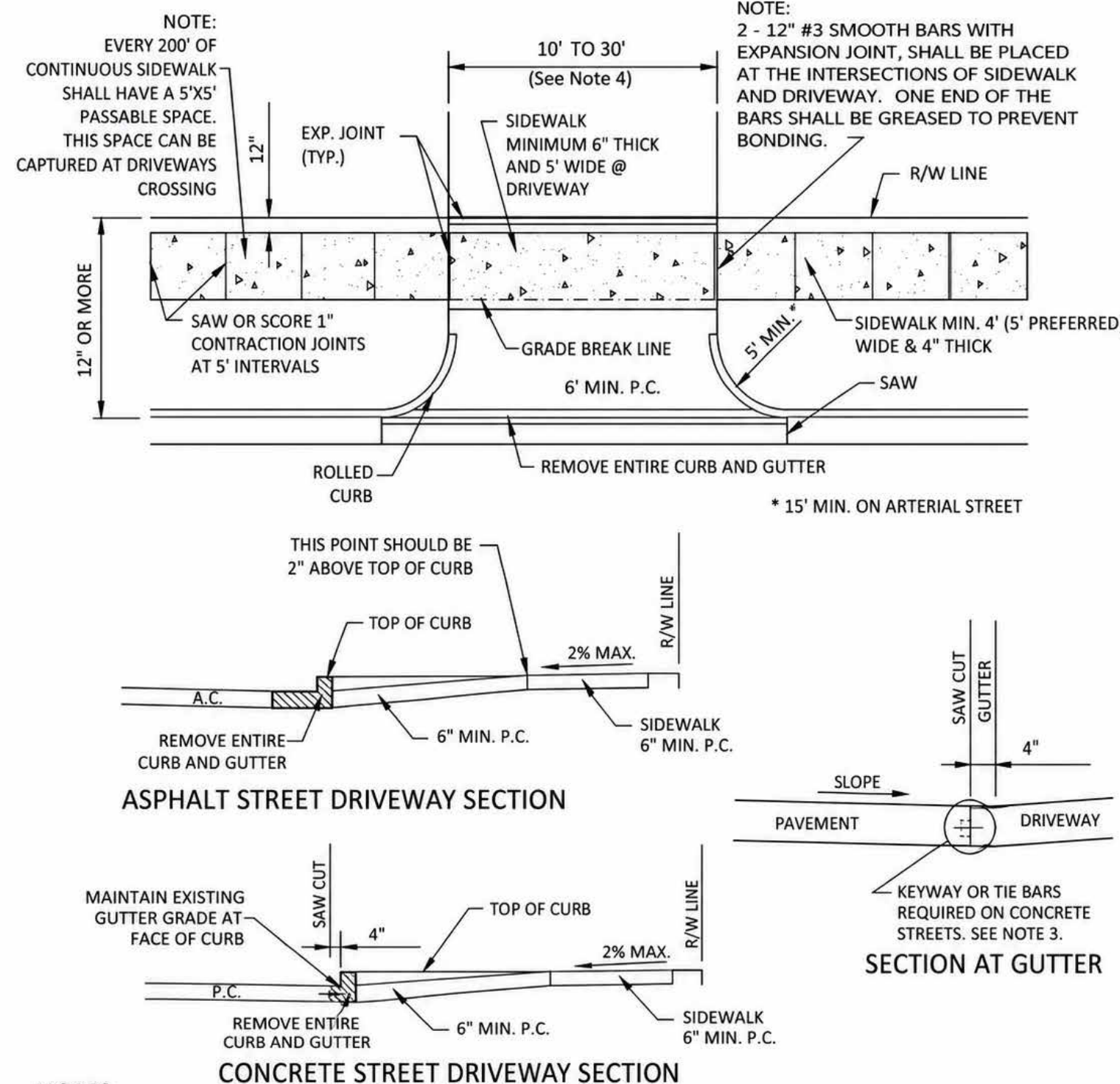
X. ADD SMOKE DETECTORS & CO2 DETECTORS PER CURRENT CODE.

Y. DOORS @ 45° ARE EXTRACTING TO REMAIN & 90° ARE NEW.

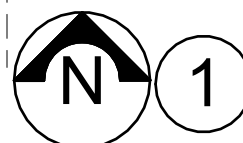
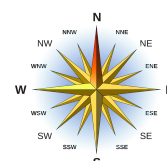
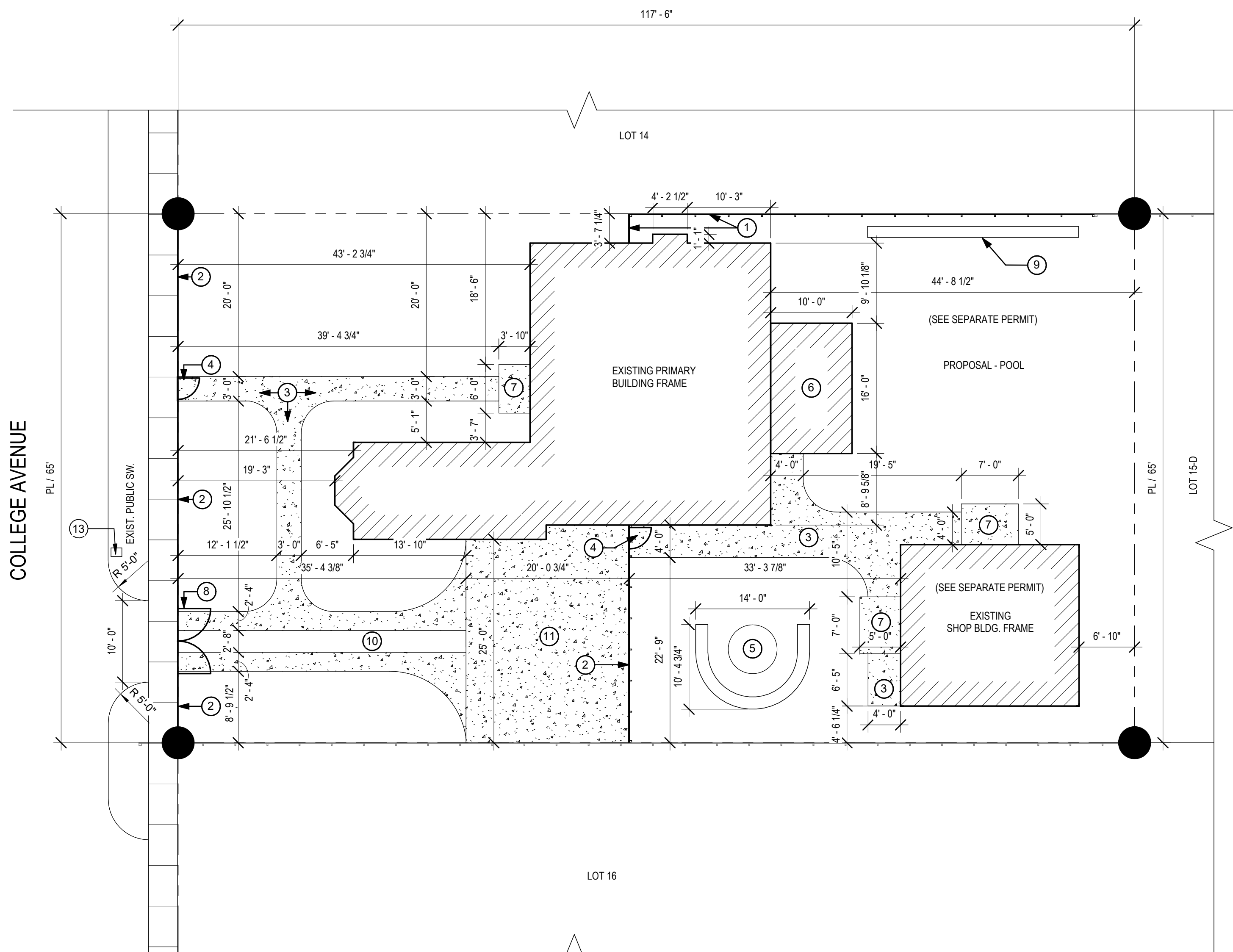
 REFER TO - BUBBLE NOTE WITHOUT ARROWS APPLIES TO ENTIRE ROOM IN WHICH IT IS LOCATED UNLESS SHOWN OTHERWISE.

 REFER TO - BUBBLE NOTE WITH ARROWS APPLIES TO OBJECT INDICATED.

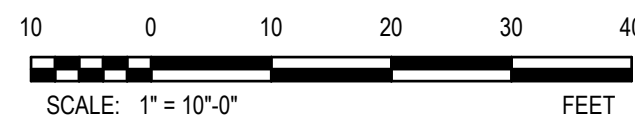
1. NEW 8' TALL METAL FENCE TO MATCH HILLIE FENCE STYLE. DO NOT INSTALL PRIOR TO RECEIVING FINAL COA APPROVAL. REF.: CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
2. NEW 4' TALL IRON COLONIAL-STYLE FENCE. REF.: CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
3. STAMPED CONCRETE SIDEWALK.
4. NEW 4' TALL X 3' WIDE (3040) IRON GATE TO MATCH COLONIAL-STYLE FENCE. REF.: CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
5. BUILT-IN ROUND FIRE PIT WITH "DRAGON" BENCH SURROUND. CLIENT TO PROVIDE PRE-ORDERED BENCH.
6. PORCH ADDITION WITH GABLE ROOF AND COLONIAL-STYLE COLUMNS. REF.: CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
7. STOOP ADDITION WITH ROOF CANOPY AND CURVED BRACKETS FOR SUPPORT. REF.: CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
8. NEW 4' TALL X 8' WIDE (8040) IRON GATE TO MATCH COLONIAL-STYLE FENCE. REF.: CERTIFICATE OF APPROPRIATENESS FOR MORE DETAILS.
9. EXTENDED 8' AREA WITH 10% OVERLAP COVERAGE. COORDINATE WITH G.C. AND POOL SUBCONTRACTORS TO FINALIZE SCOPE.
10. SPLIT RIBBON 2' WIDE STAMPED CONCRETE DRIVEWAY.
11. STAMPED CONCRETE DRIVEWAY.
12. POOL / JACUZZI AREA, G.C. TO COORDINATE WITH SUBCONTRACTORS FOR FINAL LAYOUT AND SCOPE. DRAINAGE ISSUES MUST BE ADDRESSED PRIOR TO COMMENCEMENT.
13. MAILBOX LOCATION. CLIENT TO PROVIDE FINAL LOCATION AND PRODUCT TO G.C.



2 NOT SCALED



## ARCHITECTURAL SITE PLAN

$$1'' = 10'-0''$$




Corrected # HD 25-26

# The City of Norman, Oklahoma

~~~~~

Historic District Commission Certificate of Appropriateness

Owner: Stephen Teel
485 College Avenue
Norman, OK 73069

A Certificate of Appropriateness has been issued for the property located at:

485 College Avenue

for the following modifications as submitted: C) Removal of a window on the front elevation of the principal structure; D) Replacement of a door on north side of the front room of the principal structure with a window; E) Move existing window on the north side of the front room of the principal structure to restore symmetry; F) Addition of a window on the north side of the front room of the principal structure to restore symmetry; G) Replacement of a double window with a single window on the south side of the front room of the principal structure; H) Addition of a rear porch to the principal structure; I) Replacement of a bay window with a sliding glass door unit on the rear of the principal structure; J) Replacement of a door with a window on the rear of the principal structure; K) Re-opening of a window opening on the rear of the principal structure; L) Reconfiguration of windows and doors on the accessory structure; M) Installation of a stoop canopy on the north and west (front) sides of the accessory structure; and N) Installation of walkways in the side and rear yards. (see attached)

Michael Zorba, Chair
Historic District Commission

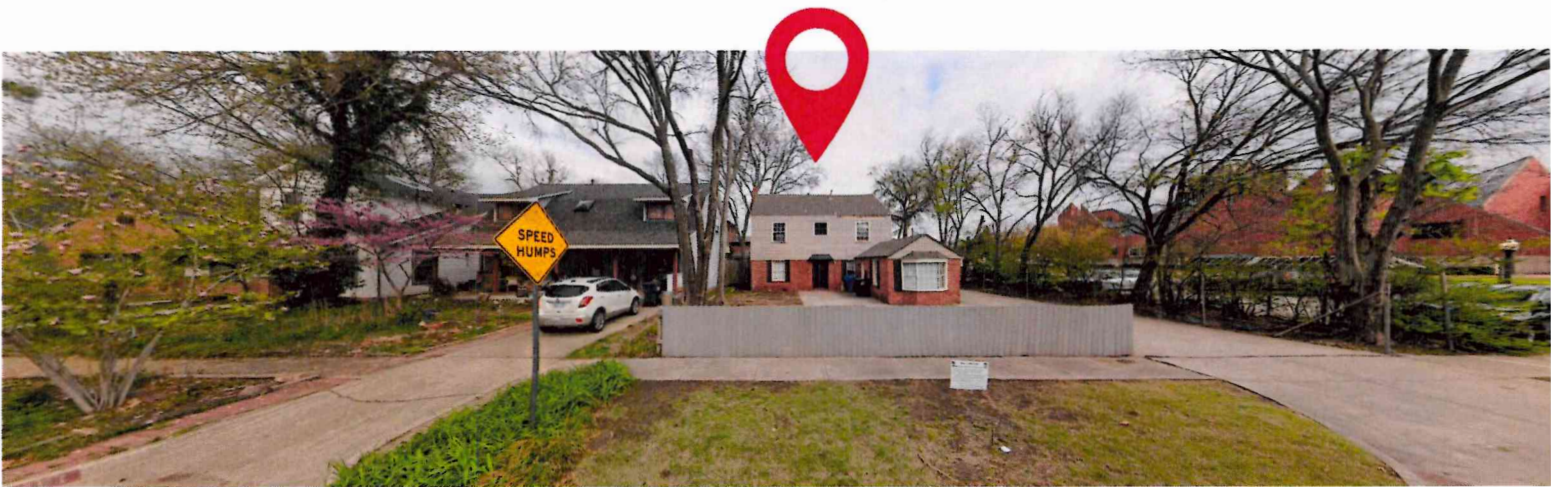
Attest:

Anaïs Starr
Historic Preservation Officer

Approved: August 4, 2025
Effective Date: August 14, 2025
Expiration Date: August 14, 2026

This COA is valid for 12 months. Work must commence by expiration date or be re-reviewed by the Historic District Commission. If you have any questions, please contact the Historic Preservation Officer, Anaïs Starr, at 405-366-5392 or Anaïs.starr@normanok.gov.

Your project may require a permit. Please check with the Development Services Department located at 225 N. Webster, 405-366-5311. To obtain a permit, please submit a copy of this COA with your request.



481

485

494
OU HILLEL



TEEL RESIDENCE
RENOVATION PROPOSAL
485 COLLEGE AVE, NORMAN OK 73069



FRONT – PRIMARY STRUCTURE



FRONT – PRIMARY STRUCTURE



NORTH – PRIMARY STRUCTURE



NORTHWEST – PRIMARY STRUCTURE



SOUTH – PRIMARY STRUCTURE

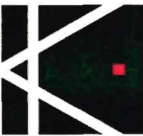


FRONT (WEST) – ACCESSORY STRUCTURE



REAR (EAST) – ACCESSORY STRUCTURE

EXISTING PROPERTY


KRITTENBRINK
Architecture LLC
TEEL RESIDENCE
RENOVATION PROPOSAL
485 COLLEGE AVE, NORMAN OK 73069

EXISTING AND PROPOSED FENCE TYPES



EXISTING 6" METAL PRIVACY FENCE
EXHIBIT TYP. (A)



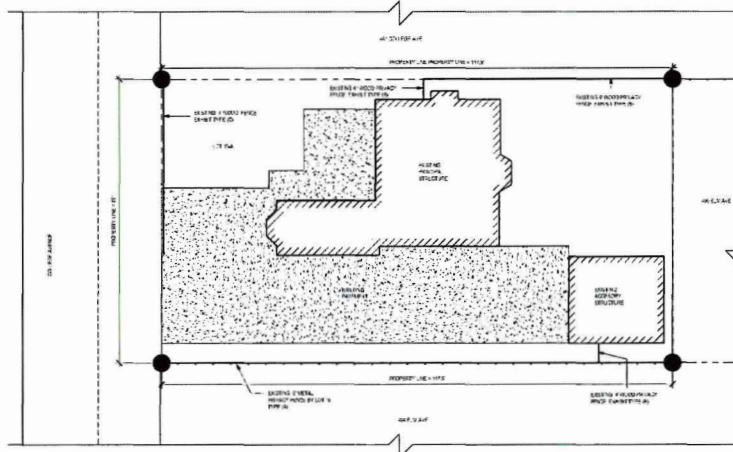
EXISTING 8' WOOD PRIVACY FENCE
EXHIBIT TYP. (B)



EXISTING 4' WOOD FENCE
EXHIBIT TYP. (C)



PROPOSED 4' COLONIAL-STYLE IRON FENCE
EXHIBIT TYP. (D)



 **1** EXISTING - ARCHITECTURAL SITE PLAN
1" = 10'-0"



COA SET
7.11.2025

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PRIMARY SQUE		
DATE	DATE	DESCRIPTION
2	00-00-00	PERF: SQUE
3	00-00-00	82-SQUE
3	00-00-00	CONC: SQUE

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INSTRUCTION

本報記者張曉明採訪時，曾向多位受訪者了解，他們對政府及社會各界在處理「七·二九」事件時，表現出的誠意及勇氣，表示讚賞。他們認為，政府應繼續加強與社會各界的溝通，及時公佈事件進展，以重建公眾對政府的信任。

2019. 01. 04

DATE: 01/01/01	TIME: 01:00
BY: J. J. J.	BY: J. J. J.

EXISTING

EXISTING
ARCHITECTURAL
SITE PLAN

SPRINT 100

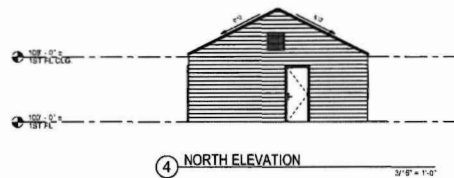
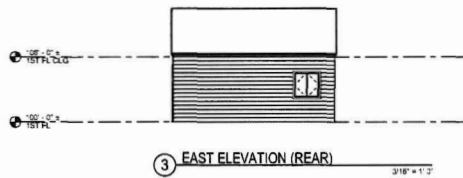
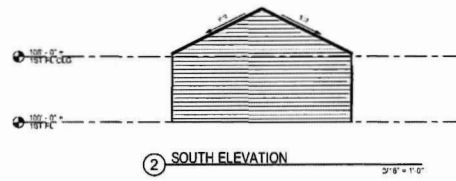
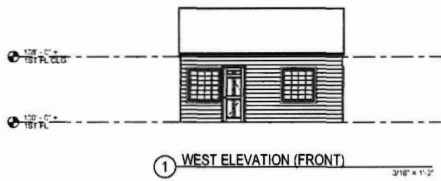
H001



EXISTING EXTERIOR ELEVATIONS - PRINCIPAL STRUCTURE
SCALE: 3/16" = 1'

- ### KEY NOTES FOR CQA REQUEST:
1. REPLACE EXISTING IN-THE-ADDITIONAL NEW WIDE WALLS ON FRONT AND REAR ELEVATION + FINISHING STRUCTURE
 2. REMOVE WINDOW ON THE FRONT OF STRUCTURE
 3. REMOVE WALL ON EXISTENCE SIDE OF FRONT FINISHING STRUCTURE WITH WINDOW
 4. BUILD EXISTING WINDOW ON REAR SIDE OF FRONT FINISHING STRUCTURE WITH WINDOW
 5. REMOVE WINDOW ON EXISTENCE SIDE OF REAR FINISHING STRUCTURE TO EXISTENCE SIDE
 6. REPLACE DOUBLE WINDOW WITH SINGLE WINDOW ON THE SOUTH SIDE OF REAR FINISHING STRUCTURE
 7. REMOVE WINDOW ON THE FRONT OF FINISHING STRUCTURE ON THE SOUTH SIDE OF REAR FINISHING STRUCTURE
 8. REMOVE WINDOW ON REAR OF FINISHING STRUCTURE WITH SLENDER WALL WITH WINDOW
 9. REPLACE WINDOW ON THE FRONT ON REAR OF FINISHING STRUCTURE
 10. REMOVE WINDOW ON EXISTENCE SIDE OF REAR FINISHING STRUCTURE
 11. REMOVE WINDOW AND DOOR ON EXISTENCE STRUCTURE FOR NEW WINDOW
 12. BUILD NEW DOOR, WINDOW IN NORTH AND WEST FRONT SIDE OF EX-EXISTENCE STRUCTURE
 13. BUILD WALL WINDOW ON REAR (NEW)

COA SET 07.11.2025			
NAME	DATE	SIGNATURE	REVISIONS
PRIMARY REVISION			
NO.	DATE	DESCRIPTION	
1	2024	PRINAT PAINT	
2	2024	W/ PAINT	
3	2024	CHART PAINT	
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PROJECT NO. _____ DRAWING NO. _____ SHEET NO. _____			
COMPANY BY _____ CHECKED BY _____ DATE _____ YEAR _____			
BEST TITLE _____ EXIST. EXT. ELEV. _____ PRINCIPAL _____ STRUCTURE _____			
SHEET NO. _____ H002			



EXISTING EXTERIOR ELEVATIONS - ACCESSORY STRUCTURE
SCALE: 3/16" = 1'

KEY NOTES FOR COA REQUEST:

1. REPLACE EXISTING STORM DRAIN
2. REPLACE EXISTING GUTTER AND INSTALL NEW WOOD SCAFFOLD ON FRONT AND REAR ELEVATION OF PRINCIPAL STRUCTURE
3. REPLACE WINDOW ON THE FRONT OF PRINCIPAL STRUCTURE
4. REPLACE DOOR ON THE REAR OF PRINCIPAL STRUCTURE WITH WINDOW
5. ADD EXISTING WINDOW ON THE REAR OF PRINCIPAL STRUCTURE TO RESTORE SYMMETRY
6. ADD WINDOW ON THE REAR OF PRINCIPAL STRUCTURE TO RESTORE SYMMETRY
7. REPLACE DOUBLE WINDOW WITH SINGLE WINDOW ON THE SOUTH SIDE OF PRINCIPAL STRUCTURE
8. ADD WINDOW TO REAR OF THE PRINCIPAL STRUCTURE 8'0" BY 6'0" INCL. GA 3.7
9. REPLACE STORM DRAIN ON REAR OF PRINCIPAL STRUCTURE WITH SLEWING 8'0" INCL. GA 3.7
10. REPLACE STORM DRAIN ON REAR OF PRINCIPAL STRUCTURE
11. RE OPEN WINDOW OPENING ON REAR OF PRINCIPAL STRUCTURE
12. REGULATE WINDOW AND DOOR ON THE REAR OF PRINCIPAL STRUCTURE
13. INSTALL FLOOR DRAIN ON THE REAR SIDE OF ACCESSORY STRUCTURE
14. INSTALL WINDOW ON REAR (Rear)

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PROJECT: 2022
STRUCTURE: 2022

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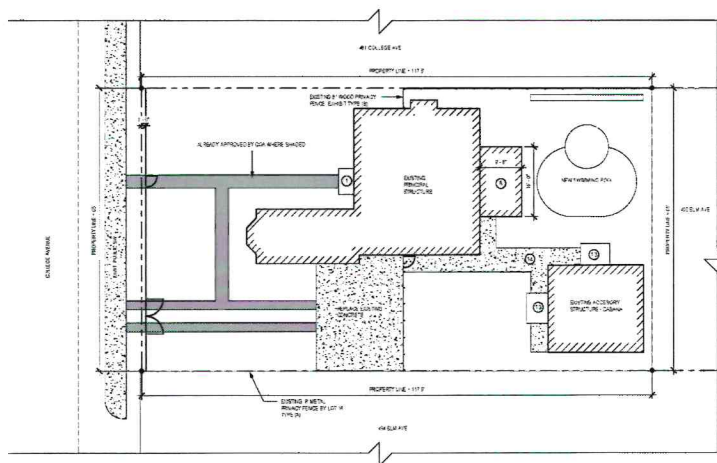
PROJECT: 2022
STRUCTURE: 2022

EXISTING 8' METAL PRIVACY FENCE
EXHIBIT TYP. (A)

EXISTING 8' WOOD PRIVACY FENCE
EXHIBIT TYP. (B)

EXISTING 4' WOOD FENCE
EXHIBIT TYP. (C)

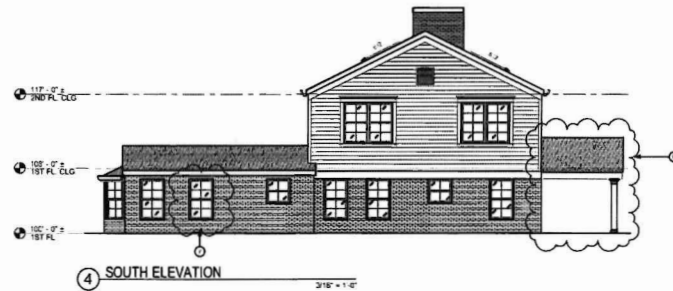
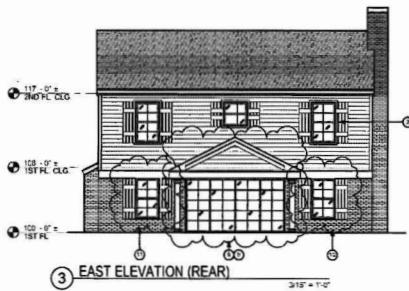
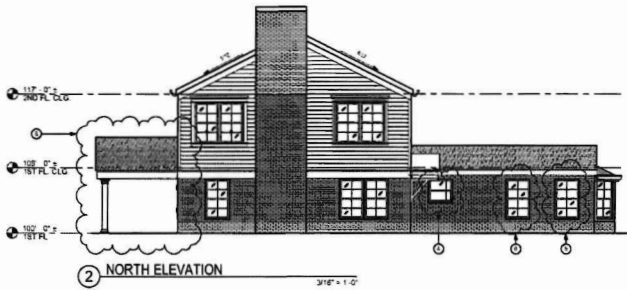
PROPOSED 4' COLONIAL-STYLE IRON FENCE
EXHIBIT TYP. (D)



 **1** PROPOSED ARCHITECTURAL SITE PLAN
1" = 10'-0"

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PROPERTY AREA = 7637.5 SF
BUILDING FOOTPRINT = 1723.
PROP. STOOP AND PORCH = 245.55 SF
PROPOSED EXTERIOR PAVEMENT = 981.4 SF
POOL AREA = 551.4 SF
TOTAL IMPERVIOUS AREA = 3501.7 SF
IMPERVIOUS AREA / PROPERTY AREA = 45.85%



- KEY NOTES FOR COA REQUEST:**
1. RETAIN EXISTING STAIR CASE
 2. RETAIN EXISTING CHIMNEY AND RETAIN NEW WOOD SHAPERS ON FRONT
 3. RETAIN EXISTING PRINCIPAL STRUCTURE
 4. RETAIN EXISTING PORCH ON THE REAR OF PRINCIPAL STRUCTURE
 5. RETAIN EXISTING PORCH ON THE REAR OF PRINCIPAL STRUCTURE WITH PORCH
 6. RETAIN EXISTING PORCH ON THE REAR OF PRINCIPAL STRUCTURE TO EXISTING PORCH
 7. RETAIN EXISTING PORCH ON THE REAR OF PRINCIPAL STRUCTURE TO EXISTING PORCH
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 18. RETAIN EXISTING PORCH ON THE REAR OF PRINCIPAL STRUCTURE TO EXISTING PORCH
 19. RETAIN EXISTING PORCH ON THE REAR OF PRINCIPAL STRUCTURE TO EXISTING PORCH
 20. RETAIN EXISTING PORCH ON THE REAR OF PRINCIPAL STRUCTURE TO EXISTING PORCH

PROPOSED EXTERIOR ELEVATIONS - PRINCIPAL STRUCTURE
SCALE: 3/16" = 1'

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TEEL STEPHEN
RESIDENCE
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NORMAN, OK 73069

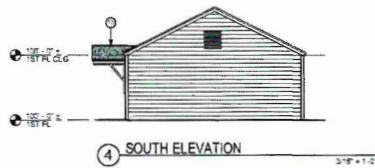
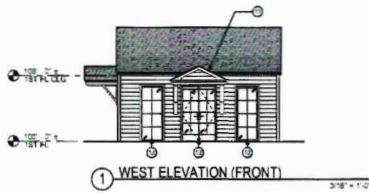
COA SET
07.11.2025

DATE	REVISION
07.11.2025	01

NOT FOR CONSTRUCTION

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 07.11.2025

H005



PROPOSED EXTERIOR ELEVATIONS - ACCESSORY STRUCTURE - CABANA
SCALE: 3/16" = 1'

- KEY NOTES FOR COA REQUEST:**
1. REPLACE FRONT ENTRY CANOPY
 2. REPLACE EXISTING TRAILER AND INSTALL NEW WOOD TRAILER ON FRONT AND REAR OF EXISTING PRINCIPAL STRUCTURE
 3. REMOVE WINDOWS ON THE FRONT OF PRINCIPAL STRUCTURE
 4. REPLACE GLASS ANGLEPOINTE OF FRONT PRINCIPAL STRUCTURE WITH ANGLE
 5. REMOVE EXISTING WINDOW ON NORTH SIDE OF FRONT PRINCIPAL STRUCTURE TO REPLACE WINDOW
 6. ADD WINDOW ON NORTH SIDE OF FRONT PRINCIPAL STRUCTURE TO REPLACE WINDOW
 7. REMOVE EXISTING WINDOW ON SOUTH SIDE OF FRONT PRINCIPAL STRUCTURE
 8. ADD WINDOW TO REAR OF THE PRINCIPAL STRUCTURE OF 1.10' X 6' 0" W/ 1/4\"/>

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405.271.1100
KAB.001.2025.0001

TEEL, STEPHEN
RESIDENCE
485 COLLEGE AVE
NORMAN, OK 73069

COA SET
07.11.2025

NO.	DATE	DESCRIPTION
1	07.11.2025	ISSUED FOR PERMIT
2	07.11.2025	ISSUED FOR PERMIT
3	07.11.2025	ISSUED FOR PERMIT

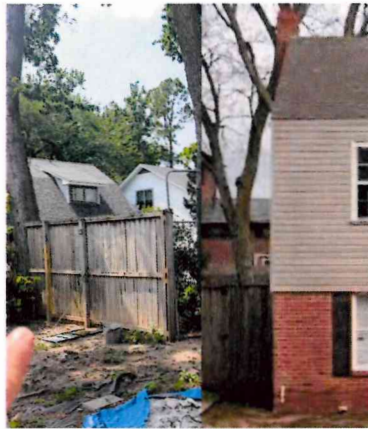
NOT FOR CONSTRUCTION

DATE: 07.11.2025
DRAWN: J. L. L. L.
CHECKED: J. L. L. L.
SCALE: 3/16\"/>

EXISTING AND PROPOSED FENCE TYPES



EXISTING 8' METAL PRIVACY FENCE
EXHIBIT TYPE (A)



EXISTING 8' WOOD PRIVACY FENCE
EXHIBIT TYPE (B)



EXISTING 4' WOOD FENCE
EXHIBIT TYPE (C)



PROPOSED 4' COLONIAL-STYLE IRON FENCE
EXHIBIT TYPE (D)



KRITTENBRINK
Architecture LLC
TEEL RESIDENCE
RENOVATION PROPOSAL
485 COLLEGE AVE, NORMAN OK 73069

APPROVED SELECTION



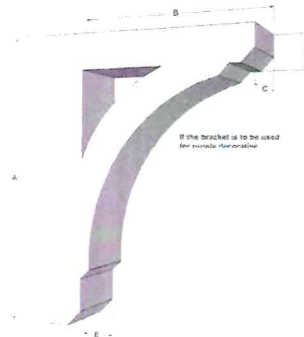
- Brand:** TAFCO Windows
- Type:** Double Hung Aluminum Window
- Color/Finish:** Brown (interior & exterior)
- Material:** Aluminum
- Glass:** Low-E, Double Pane with Colonial Grids
- Grid Details:** 9 wide x 4 high, 5/8" width
- Included:** Grids, Hardware, Screen
- Energy Ratings:**
- U-Factor: 0.50
- Solar Heat Gain Coefficient: 0.55
- Locks:** 4 Cam Action Locks
- Weight:** 45 lb
- Installation:** Flange mount, suitable for New Construction or Replacement
- Mount Type:** Flush Mount

APPROVED SELECTION



- Gutter Type:** Mr. Gutter
- 6.5" Half Round Aluminum Gutter**
- Includes:**
 - Bear Claw Series Hangers with Screws
 - Black Ruspert Screws with Washers
 - Wedge Spacers for Straight Fascia
- End Caps:**
- 6.5" Half Round Aluminum (Left & Right ends)**
- Corners:**
- Inside 90°
- Outside Bay Corners
- Outlets:**
- 4" Half Round Gutter Outlets (1 per downspout)**
- Downspouts:**
- 4x10" Smooth Round
- 4x5xE Round Elbows
- Hanger System:**
- 6.5" HR Gutter AquaDUCT™ Screen Hanger System**

PROPOSED SELECTION



Colonial-style bracket used in entry door front façade stoop

PROPOSED SELECTION



New wood stained shutters at windows



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PROPOSED SELECTION:

**12' WIDE SLIDING DOORS AT REAR
PORCH OF PRINCIPAL STRUCTURE**



**Aluminum Clad Wood Gliding Doors
with Grilles - white**

PROPOSED SELECTION:

NEW EXTERIOR DOORS AT CABANA



**Aluminum Clad Wood Entry Door(s)
with Grilles - white**

PROPOSED SELECTION:

BACK PORCH COLUMNS



**Colonial-style square
column used at back porch**



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