



CITY OF NORMAN, OK HISTORIC DISTRICT COMMISSION MEETING

Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Monday, August 05, 2024 at 5:30 PM

AGENDA

It is the policy of the City of Norman that no person or groups of persons shall on the grounds of race, color, religion, ancestry, national origin, age, place of birth, sex, sexual orientation, gender identity or expression, familial status, marital status, including marriage to a person of the same sex, disability, relation, or genetic information, be excluded from participation in, be denied the benefits of, or otherwise subjected to discrimination in employment activities or in all programs, services, or activities administered by the City, its recipients, sub-recipients, and contractors. In the event of any comments, complaints, modifications, accommodations, alternative formats, and auxiliary aids and services regarding accessibility or inclusion, please contact the ADA Technician at 405-366-5446, Relay Service: 711. To better serve you, five (5) business days' advance notice is preferred.

ROLL CALL

MINUTES

1. CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

HISTORIC DISTRICT COMMISSION MEETING MINUTES OF THE JULY 1, 2024.

CERTIFICATE OF APPROPRIATENESS REQUESTS

2. (HD 24-11) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE INSTALLATION OF A 6' WOOD FENCE IN THE SIDE YARD FOR THE PROPERTY LOCATED AT 702 S LAHOMA AVENUE.
3. (HD 24-12) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF CERTIFICATE OF APPROPRIATENESS REQUEST FOR INSTALLATION OF A CONCRETE AREA IN THE SIDE YARD OF THE PROPERTY LOCATED AT 515 MILLER AVENUE.

FEEDBACK

4. (HD 24-13) FEEDBACK DISCUSSION REGARDING A FUTURE REQUEST TO DEMOLISH THE EXISTING GARAGE AND CONSTRUCT A NEW SINGLE-FAMILY HOUSE WITH AN ACCESSORY DWELLING UNIT FOR THE PROPERTY LOCATED AT 505 CHAUTAUQUA AVENUE.

REPORTS/UPDATES

5. STAFF REPORT ON ACTIVE CERTIFICATES OF APPROPRIATENESS AND ADMINISTRATIVE BYPASS ISSUED SINCE JULY 1,2024.
6. DISCUSSION OF PROGRESS REPORT REGARDING FY 2024-2025 CLG GRANT PROJECTS.

MISCELLANEOUS COMMENTS

ADJOURNMENT



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MINUTES

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Vice Chair Gregory Heiser called the meeting to order at 5:31pm.

ROLL CALL

PRESENT

Taber Halford
Sarah Brewer
Karen Thurston
Barrett Williamson
Susan Ford
Jo Ann Dysart
Gregory Heiser

ABSENT

Mitch Baroff
Michael Zorba

STAFF PRESENT

Anais Starr, Historic Preservation Officer, Planner II
Jeanne Snider, Assistant City Attorney
Whitney Kline, Admin Tech III

GUESTS PRESENT

Bryan Bloom, 428 Chautauqua Norman, OK
Susan Skapik, 444 College Ave Norman, OK
Marsha McDaris, 448 College Ave Norman, OK
Stephen Teel, 490 Elm Norman, OK
Dave Boeck, 922 Schulze Dr. Norman, OK
Leah Kenton-McGaha, 475 College Ave Norman, OK
Jeff Danner, 4205 Mooregate Dr. Norman, OK

MINUTES

1. CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

HISTORIC DISTRICT COMMISSION MEETING MINUTES OF JUNE 3, 2024.

Motion by Sarah Brewer for approval of the Historic District Commission Meeting Minutes of June 3, 2024; **Second** by Taber Halford.

The motion was approved with a vote of 7-0.

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CERTIFICATE OF APPROPRIATENESS REQUESTS

2. (HD 24-09) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 444 COLLEGE AVENUE FOR THE INSTALLATION OF A SCREENED REAR PORCH.

Motion by Sarah Brewer for approval of (HD 24-09) installation of a screened rear porch; **Second** by Jo Ann Dysart.

Anais Starr presented the staff report:

- Anais Starr stated that this is a contributing structure.
- Ms. Starr explained they are requesting a brick screened porch on the rear of the house.
- Ms. Starr also explained that it does meet the zoning requirements regarding setbacks.
- Commissioner Thurston asked if there was a door from the house to access the porch.

Bryan Bloom, the applicant, discussed the project:

- Bryan Bloom stated that they will replace the existing windows with a set of French doors.

Public Comments:

- Marsha McDaris stated she was in support of this addition.

Commission Discussion:

- Commissioner Halford stated that it met the *Guidelines* and is not visible from the right of-way. Commissioner Brewer, Thurston, and Dysart all agreed with this statement.

The motion was approved with a vote of 7-0.

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3. (HD24-04) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 485 COLLEGE AVENUE FOR THE FOLLOWING MODIFICATIONS: A) INSTALLATION OF A 4' WROUGHT IRON FENCE WITH BRICK COLUMNS IN THE FRONT YARD; B) INSTALLATION OF AN 8' METAL FENCE WITH BRICK COLUMNS IN THE SIDE YARD; C) INSTALLATION OF AN 8' METAL FENCE WITH BRICK COLUMNS IN THE REAR YARD; D) INSTALLATION OF WROUGHT IRON GATES OVER DRIVEWAY; E) REMOVAL OF EXISTING FRONT YARD

PARKING AND RECONFIGURATION OF THE DRIVEWAY; F) INSTALLATION OF GUTTERS ON THE HOUSE; G) INSTALLATION OF GUTTERS ON THE ACCESSORY STRUCTURE; H) REPLACEMENT OF EXISTING WINDOWS WITH ALTERNATIVE MATERIAL WINDOWS ON THE HOUSE; I) REPLACEMENT OF EXISTING WINDOWS WITH ALTERNATIVE MATERIAL WINDOWS ON THE ACCESSORY STRUCTURE; J) ADDITION OF DORMERS TO THE FRONT FAÇADE OF THE HOUSE; K) ADDITION OF A PORCH TO THE FRONT FAÇADE OF THE HOUSE; L) ADDITION OF A PORCH TO THE FRONT FAÇADE OF THE ACCESSORY STRUCTURE; M) INSTALLATION OF A METAL AND GLASS SUNROOM TO THE REAR OF THE HOUSE; N) INSTALLATION OF A SWIMMING POOL AND ASSOCIATED DECKING IN THE SIDE YARD; O) INSTALLATION OF A NEW CONCRETE WALKWAYS IN THE FRONT YARD; AND P) INSTALLATION OF NEW CONCRETE WALKWAYS IN THE SIDE AND REAR YARDS. (ALL ITEMS WERE POSTPONED FROM THE APRIL 8, 2024, MAY 6, 2024, AND JUNE 3, 2024 MEETINGS)

Anais Starr presented the staff report:

- Anais Starr explained that the main house is a contributing structure but the accessory structure is non-contributing.

Motion by Barrett Williamson to approve item 3a. Installation of a 4' wrought iron fence with brick columns in the front yard; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr explained that the fence should be compatible with scale and size found in the Chautauqua District. The main material, scale, and size meet the Guidelines except for the brick column. The columns do not meet the design of the fences in the District. For this reason, the request was forwarded to the Commission.
- Commissioner Halford asked if wrought iron fences have been approved before. Ms. Starr answered that wrought iron fences can be approved through the Administrative Bypass process, but not with the addition of the brick columns.
- Commissioner Heiser clarified that wrought-iron fences have been approved before. Ms. Starr explained that yes, just not with brick columns as part of the design of the fence.

Stephen Teel, property owner, discussed the project:

- Stephen Teel addressed the Commission. He read a statement that responded to the concerns and statements mentioned in protest letters submitted by neighbors in the District.

Dave Boeck, applicant, discussed the project:

- Dave Boeck stated that they were willing to remove the brick columns from the front fence.
- Commissioner Brewer requested clarification on the proposed fence material. Is it wrought-iron with a design detailing at the top? Applicant confirmed yes.
- Commissioner Halford asked that since they are removing the brick columns then can it be approved through the Administrative Bypass. Anais Starr explained that since there is a decorative design aspect to the fence, it has to be approved by the Commission.

Commission discussed the wanted for more detailed drawings that showed exactly the proposed fence design.

Commissioner Heiser asked the applicant if they were willing to postpone to allow them time to revise the drawings. The applicant stated he was willing to postpone.

Motion by Barrett Williamson to postpone this item to the next public meeting; **Second** by Sarah Brewer.

The motion was postponed with a vote of 7-0.

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Motion by Karen Thurston to approve item 3b. Installation of an 8' metal fence with brick columns in the side yard; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated a horizontal metal fence has not been approved previously. She stated that an 8' wood fences have been approved before under certain circumstances.
- Commissioner Williamson asked if we know what OU is doing with the property next to this proposed property where the parking lot is. Ms. Starr explained the property owned by OU to south was be re-built.

Dave Boeck, applicant, discussed the item:

- Dave Boeck explained that the purpose of the fence would be to provide privacy from the parking lot and neighbor.

Public Comment:

- Leah Kenton-McGaha is objecting to the height of 8' and the metal material. She stated a 6' wood fence would be more acceptable.

Commission Discussion:

- Commissioner Dysart stated it is not a solid metal fence because there is space in-between. She explained that she has no problem with an 8' fence on the south side.
- Commissioner Brewer stated she was most concerned about the material and the design. She stated it is not compatible with the District. She is okay with 8' on the south side property line, but not the north property line.
- Commissioner Halford stated that 8' is a big jump up from 6'. He also stated he is not in favor of the material, finding it is not compatible with the District.
- Commissioner Williamson stated the brick columns were not typical of the District.

Commission agreed that they would like more clarification on height, design, and material.

Commissioner Heiser asked the applicant if they were willing to postpone to allow them time to revise the drawings. The applicant stated he was willing to postpone.

Motion by Sarah Brewer to postpone item 3b. Installation of an 8' metal fence with brick columns in the side yard; **Second** by Karen Thurston

The motion was postponed with a vote of 7-0.

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Applicant agreed to postpone this item 3c as it is tied to the previous requested item.

Motion by Sarah Brewer to postpone item 3c. Installation of an 8' metal fence with brick columns in the rear yard; **Second** by Karen Thurston.

The motion was postponed with a vote of 7-0.

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Applicant agreed to postpone item 3d as it ties into the previous item.

Motion by Sarah Brewer to postpone item 3d. Installation of wrought iron gates over driveway; **Second** by Jo Ann Dysart.

The motion was postponed with a vote of 7-0.

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Motion by Barrett Williamson to approve item 3e. Removal of existing front yard parking and reconfiguration of the driveway; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that the applicant was requesting to reduce the driveway from 20' to 16' in width.
- Ms. Starr also stated that the applicant would like to install a "grasscrete" product that has previously been approved in the District. She noted that such an installation requires the approval of the city engineer as well.

Dave Boeck, applicant, discussed this item:

- Dave Boeck stated the intent is to provide sustainable to help with drainage.

Public Comments:

- Leah Kenton-McGaha stated she is in favor of removing concrete if we can to help with flooding.

Commission Discussion:

- Commissioner Brewer stated that narrowing the driveway to 16' driveway is good as well as using sustainable material.

Motion by Barrett Williamson to amend the motion to read "approval of item 3e. Removal of existing front yard parking and reconfiguration of the driveway with either grasscrete or concrete"; **Second** by Sarah Brewer.

The motion was amended with a vote of 7-0.

The motion was approved with a vote of 7-0.

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Motion by Sarah Brewer to approve item 3f. Installation of gutters on the house; **Second** by Jo Ann Dysart.

Anais Starr presented the staff report:

- Applicant is requesting to install round gutters for the house.
- Commission Heiser asked if we have seen such gutters before. Ms. Starr stated not the she is aware of.

Dave Boeck, applicant, discussed the item:

- Dave Boeck stated they were willing to amend to any shape of guttering that the Commission would find appropriate for this house.

Public Comment:

- Leah Kenton-McGaha stated she does not dislike gutters but would like to see something with a little more historical nature.

Commission Discussion:

- Commissioner Brewer stated she doesn't really have an issue with the gutters shape or material.
- Commissioner Ford stated she did not find an issue with the round gutters.

The motion was passed with a vote of 6-1. Commissioner Halford voting against.

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Motion by Sarah Brewer to approve item 3g. Installation of gutters on the accessory structure;
Second by Karen Thurston.

Anais Starr stated she had no additional comments on this item.

Dave Boeck, applicant, stated that there was no addition comments.

No public comments.

There was no additional commission discussion.

The motion was passed with a vote of 6-1. Commissioner Halford voting against.

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Motion by Sarah Brewer to approve item 3h. Replacement of existing windows with alternative material windows on the house; **Second** by Jo Ann Dysart.

Anais Starr presented the staff report:

- Anais Starr stated that the current windows are metal and the applicant is requesting to replace them with modern metal windows..

Dave Boeck, applicant, discussed this item:

- Dave Boeck explained that they are replacing like-for-like.

No public comment.

Commission Discussion:

- Commissioner Thurston stated she had visited the site and found the windows were in really bad shape and needed to be replaced.

The motion was passed with a vote of 7-0.

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Motion by Sarah Brewer to approve item 3i. Replacement of existing windows with alternative material windows on the accessory structure; **Second** by Jo Ann Dysart.

Anais Starr stated she had no additional comments on this item.

Dave Boeck, applicant, stated that he had no additional comments.

No public comments.

There was no additional Commission discussion.

The motion was passed with a vote of 7-0.

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Motion by Sarah Brewer to approve item 3j. Addition of dormers to the front façade of the house; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr stated the applicant is proposing dormers in order to expand the light on the and living space on the second floor.
- Ms. Starr stated that the Guidelines discourage the introduction of new elements on the front façade of a historic structure. Additionally, the Guidelines state that new dormers are to be installed on the rear of the building.

Dave Boeck, applicant, discussed the item:

- Dave Boeck explained that historical colonial houses have dormers and front porch awnings and showed examples in a PowerPoint presentation.

Public Comment:

- Leah Kenton-MaGaha stated her only concern that there would be a precedent being set for major modifications to the front façade of the house.
- Sarah Skapik stated that adding dormers is almost changing the integrity of the house.
- Jeff Danner stated that the current house could use an upgrade and dormers would do that.

Commission Discussion:

- Commissioner Brewer stated that the *Guidelines* do not allow for alterations to the front façade.
- Commissioner Heiser explained that he is torn on this but is leaning towards to an approval.
- Commissioner Thurston asked why the dormers could not be added to the back of the structure. Dave Boeck explained that they are wanting to add dormers to the front and the back façade.
- Commissioner Ford stated that she feels like dormers would be an improvement.
- Commissioners agreed that if we allowed this it would be setting a precedent to for modifications to the front facades of historic structures.

The motion was denied with a vote of 2-5.

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Break 8:00pm-8:07pm

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Motion by Sarah Brewer to approve item 3k. Addition of a porch to the front façade of the house; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr stated that the 1988 Historic Survey indicated an entryway on the front façade.

Dave Boeck, applicant, discussed the item:

- Dave Boeck stated that since the middle window is higher than the other two windows that made it seem like a roof used to be there.

Public Comment:

- Susan Skapik stated that she loves the idea of a front porch.
- Marsha McDaris agreed that the house needs something at the front door.

Commission Discussion:

- Commissioner Thurston stated that you can tell from the brick wear that there once was something there.
- Commissioner Halford stated he is in favor of this.
- Commissioner Thurston pointed out that the scale of the proposed porch roof and existing window placement on the drawing are inaccurate.

Applicant agreed to postpone this item to allow time to revise the drawings and provide an accurate depiction of the front façade.

Motion by Sarah Brewer to postpone item 3k. Addition of a porch to the front façade of the house; **Second** by Karen Thurston.

The motion was postponed with a vote of 7-0.

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Motion by Sarah Brewer to approve item 3l. Addition of a porch to the front façade of the accessory structure; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr explained that this is a non-contributing structure.

Dave Boeck, applicant, discussed the item:

- Dave Boeck stated that they are proposing to move the front door to the center of the front facade in order to line up with the walkway to the swimming pool.

No public comments.

Commission Discussion:

- Commission agreed that they like the idea of moving the doors and centering the windows but they would like to see a more accurate drawing.

Applicant agrees to a postponement.

Motion by Sarah Brewer to postpone item 3l. Addition of a porch to the front façade of the accessory structure; **Second** by Barrett Williamson.

The motion was postponed with a vote of 7-0.

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Motion by Jo Ann Dysart to approve item 3m. Installation of a metal and glass sunroom to the rear of the house; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that the new addition would be on the rear of the house.
- Ms. Starr explained that the *Guidelines* state that an addition must be compatible with the historic structure in size, scale, mass, materials, proportions, and patterns of windows and doors.
- Ms. Starr stated that the sun room is compatible with the house in regards to an appropriate scale and massing but does not meet the requirements for materials or patterns of windows and doors.

Dave Boeck, applicant, discussed the item:

- Dave Boeck stated that additions to historic buildings are supposed to be different that that you are not trying to create a false sense of history.
- Mr. Boeck also stated that it is visible from Boyd Street but not from College Avenue.

Public Comment:

- Leah Kenton-McGaha stated that a precedent could be set that the *Guidelines* are not followed when considering additions.
- Susan Skapik stated that it was a good idea for a sunroom but is far too ornate for the Chautauqua Historic District.

Commission Discussion:

- Commissioner Brewer stated that the *Guidelines* talk about material being compatible with the District and the proposed sunroom does not meet that Guideline.
- Commissioners discussed that it does not meet the *Guidelines* regarding material and design.
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Applicant agrees to postpone this item in order to revise the design.

Motion by Sarah Brewer to postpone item 3m. Installation of a metal and glass sunroom to the rear of the house; **Second** by Karen Thurston.

The motion was postponed with a vote of 7-0.

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Motion by Barrett Williamson to approve item 3n. Installation of a swimming pool and associated decking in the side yard; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that the pool will be located on the south side of the property.

Dave Boeck, applicant, had nothing to add regarding this item.

Public Comment:

- Leah Kenton-McGaha stated she has no issues with a swimming pool in the back yard but would be setting a precedent to allow this one in the side yard.

Commission Discussion:

- Commissioner Halford stated he would not be in favor of a pool in the side yard and that pools should be located in the rear yard without potentially impacting the historic house. Commissioner Brewer and Thurston agreed with this.
- Commissioner Williamson stated he has no problem with it. Commissioner Dysart agreed with this.

Applicant agreed to postpone this item allow time to revise the side and back yard layout including the pool.

Motion by Sarah Brewer to postpone item 3n. Installation of a swimming pool and associated decking in the side yard; **Second** by Karen Thurston.

The motion was postponed with a vote of 7-0.

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Motion by Sarah Brewer to approve item 3o. Installation of a new concrete walkways in the front yard; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr explained that the applicant is proposing an L-shaped sidewalk to connect the front door to the driveway.

Dave Boeck, applicant, had nothing to add.

Public Comment:

- Martha McDaris stated that majority of the houses on College Avenue have a sidewalk connecting the porch to the front public sidewalk.

Commission Discussion:

- Commissioner Brewer stated they can keep the walkway to the driveway but need to add the traditional walkway to the street.

Motion by Barrett Williamson to amend the motion to read “approval of item 3o. Installation of a new concrete walkways in the front yard with an extension of a sidewalk from the Northwest corner to the public sidewalk”; **Second** by Sarah Brewer.

The motion was amended with a vote of 7-0.

The motion was approved with a vote of 7-0.

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Motion by Sarah Brewer to postpone item 3p. Installation of new concrete walkways in the side and rear yards; **Second** by Karen Thurston.

The motion was approved with a vote of 7-0.

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Break from 9:25pm-9:30pm

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4. (HD 24-08) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 1320 OKLAHOMA AVENUE FOR THE FOLLOWING MODIFICATIONS: A) DEMOLITION OF THE CARPORT; B) DEMOLITION AND REPLACEMENT OF AN EXISTING ENTRY CANOPY ON FIRST FLOOR; C) INSTALLATION OF A NEW ENTRY CANOPY ON SECOND FLOOR; D) REPLACEMENT OF THE EXISTING SIDING WITH ALTERNATIVE SIDING MATERIAL; E) REPLACEMENT OF ALL EXISTING WINDOWS; F) INSTALLATION OF A NEW STORAGE SHED; G) INSTALLATION OF A SIDE YARD FENCE; H) EXPANSION OF THE EXISTING WALKWAYS; I) ADDITION OF NEW WINDOWS AND/OR DORMERS TO ATTIC SPACE; J) REPLACEMENT OF A RETAINING WALL IN REAR YARD; K) INSTALLATION OF A SIDE YARD FENCING; L) ELIMINATION OF SOUTH ENTRY DOOR; M) REPLACEMENT OF THE REAR ENTRY DOOR; AND N) INSTALLATION OF A PARKING PAD OFF THE ALLEYWAY.

Motion by Barrett Williamson to approve item 4a. Demolition of the carport; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that the house and carport are non-contributing. She further stated that the carport was not original to this house.

Edwin Amaya, applicant, had no additional comments.

No public comments.

No Commission Discussion.

The motion was approved with a vote of 7-0.

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Motion by Barrett Williamson to approve item 4b. Demolition and replacement of an existing entry canopy on the first floor; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that the canopy is over the door and window and once the carport is removed he will need to rebuild the canopy. She stated that the applicant proposed two options and is willing to do either as the Commission finds appropriate for this structure. Edwin Amaya, applicant, had nothing to add.

No public comments.

Commission Discussion:

- The Commission discussed and agreed Option 2 was most appropriate for this structure and the District. They noted Option 2 matched the canopy already existing on the house.

Motion by Barrett Williamson to amend the motion to read “approval of item 4b. Demolition and replacement of an existing entry canopy on the first floor with option 2; **Second** by Sarah Brewer.

The motion was amended with a vote of 7-0.

The motion was approved with a vote of 7-0.

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Motion by Barrett Williamson to approve item 4c. Installation of a new entry canopy on second floor; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that there is a canopy on the first floor that the applicant wishes to match on the second floor.

Edwin Amaya, applicant, had nothing to add.

No public comments.

Commission Discussion:

- Commissioners agreed that the canopy would match the existing canopy and would be appropriate for this structure.

The motion was passed with a vote of 7-0.

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Motion by Karen Thurston to approve item 4d. Replacement of the existing siding with alternative siding material; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that the applicant is proposing LP Smart siding which has been proposed and approved for past requests in the Districts.

Edwin Amaya, applicant, discussed this item:

- Edwin Amaya stated he picked a siding that matches the width of the current siding on the house.

No public comments.

Commission Discussion:

- Commissioners discussed the spacing of the boards and if it would be compatible with the neighborhood.

The applicant agreed to amend the request to a smooth finish siding instead of a textured finish.

Motion by Barrett Williamson to amend the motion to read “approval of item 4d. Replacement of the existing siding with smooth texture alternative siding material”; **Second** by Taber Halford.

The motion was amended with a vote of 7-0.

The motion was approved with a vote of 7-0.

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Motion by Jo Ann Dysart to approve item 4e. Replacement of all existing windows; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that there are a total of 21 windows in the non-contributing structure, consisting of 12 wood windows, 5 wood replacement windows, 3 vinyl windows, and 1 metal window.
- Ms. Starr stated that the wood windows have significant deterioration as can be seen in the submitted pictures. The wood replacement windows located under the carport canopy had little deterioration.
- Ms. Starr stated that the applicant is proposing metal windows. She noted that metal windows have not been approved on contributing houses by the Commission. However, metal windows had been approved on a non-contributing 1960's structure in the Chautauqua District.

Edwin Amaya, applicant, discussed this item:

- Edwin Amaya stated he would be doing 1-over-1 windows window pane configuration to match the original wood windows.

No public comments.

Commission Discussion:

- Commissioner Thurston stated that wood is very expensive but we can't use that as our reason to not ask the applicant to do wood.
- Commissioner Brewer stated that this is a non-contributing house with a lot of damaged windows and some already replaced with other materials.

- Commissioner Williamson stated he supported this due to the fact that there is a mix of different windows and some of the windows do not make sense date-wise. Ms. Starr agreed that the existing wood windows were probably not original to this structure. She stated the windows may have been salvaged from another property and installed in this house.
- Commissioner Halford agreed with this.

The motion was approved with a vote of 7-0.

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Motion by Sarah Brewer to approve item 4f. Installation of a new storage shed; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr stated that the applicant wants to replace the current shed located on the northwest corner of the property with a new shed to be located directly behind the house.

Edwin Amaya, applicant, had nothing to add.

No public comments.

Commission Discussion:

- Commissioners all agreed that this is allowed.

The motion was approve with a vote of 7-0.

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Motion by Sarah Brewer to approve item 4g. Installation of a side yard fence; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr explained that this fence will be placed along the north side of house adjacent to the alleyway.

Edwin Amaya, applicant, discussed the item:

- Edwin Amaya explained he would match the existing wood fence seen in the rear yard which is 6 foot.

No public comments.

Commission Discussion:

- Commissioners agreed that they are allowing a 6' side yard fence only because it is along an alleyway and would address safety concerns.

The motion was approved with a vote of 7-0.

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Motion by Barrett Williamson to approve item 4h. Expansion of the existing walkways; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Anais Starr stated that the applicant wishes to add to the existing walkways to increase walkability in the rear yard and to deal with some of the water issues that are affecting the house.

Edwin Amaya, applicant, had nothing to add.

No public comments.

Commission Discussion:

- Commissioner Ford asked if the applicant plans on replacing all concrete or just add concrete to the existing. Applicant responded that we will try and save as much of the existing concrete as he can.

The motion passed with a vote of 7-0.

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Motion by Sarah Brewer to approve item 4i. Addition of new windows and/or dormers to attic space; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr stated that the applicant would like to add a livable area to the attic space by adding windows or dormers. Edwin Amaya, applicant, discussed the item:
- Edwin Amaya stated that he heard from the previous meeting he attended that the Commissioners did not want change to the front façade so he would propose dormers with option 2C.

No public comments.

Commission Discussion:

- Commissioners discussed options 2B and 2C.
- Applicant, Edwin Amaya, explained that option 2C is the least amount of visibility.

Motion by Barrett Williamson to amend the motion to read “approval of item 4i. Addition of option of 2C dormers to attic space”; **Second** by Sarah Brewer.

The motion was amended with a vote of 7-0.

The motion was approved with a vote of 7-0.

*

Motion by Sarah Brewer to approve item 4j. Replacement of a retaining wall in rear yard; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr stated that the applicant is requesting replacement of the retaining wall but since it requires a permit from the city and therefore requires review and approval of an Certificate of Appropriateness by the Commission.

Edwin Amaya, applicant, discussed this item:

- Edwin Amaya explained that he will not exceed 36 inches tall.

No public comments.

Commission Discussion:

- Commissioner Brewer explained that the repairs seem necessary.

The motion was approved with a vote of 7-0.

*

Item 4k. Installation of a side yard fencing. This item was accidentally repeated on the agenda and the Commission did not need to review or vote on it.

*

Motion by Sarah Brewer to approve item 4l. Elimination of south entry door; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr explained that the applicant wished to remove a door which does not serve a function for the internal programming of the structure.

Edwin Amaya, applicant, discussed the item:

- Edwin Amaya explained that the door does not serve a purpose on the inside of the house but if the Commission wants to keep the door for the exterior look then he will just wall over it on the inside..

No public comments.

Commission Discussion:

- Commissioner Brewer found that it met the Guidelines since this is a non-contributing structure and the door does not have visibility from the right-of-way.

The motion was approved with a vote of 7-0.

*

Motion by Sarah Brewer to approve item 4m. Replacement of the rear entry door; **Second** by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr stated the applicant is proposing to replace the wood door on the rear with steel door for safety reason.

The applicant, Edwin Amaya, had nothing to add.

No public comments.

Commission Discussion:

- Commissioner Brewer noted that since it is non-contributing and the door is located on the rear, it meets the *Guidelines* in this case.

The motion was approved with a vote of 7-0.

*

Motion by Sarah Brewer to approve item 4n. Installation of a parking pad off the alleyway;
Second by Karen Thurston.

Anais Starr presented the staff report:

- Anais Starr stated the applicant is proposing a parking pad off the alleyway that is 323 square feet.

Edwin Amaya, applicant, had nothing to add.

No public comments.

Commission Discussion:

- Commissioner Brewer stated that it met the *Guidelines*.

The motion was approved with a vote of 7-0.

*

REPORTS/UPDATES

5. STAFF REPORT ON ACTIVE CERTIFICATES OF APPROPRIATENESS AND ADMINISTRATIVE BYPASS ISSUED SINCE JUNE 3, 2024.

- 549 S Lahoma – Waiting on the Supreme Court System to issue the mandate. The mandate returns the case to the district court and allows us to move forward with enforcing the district court's judgement.
- 514 Miller Ave – Building permit for deck and pergola issued. Work has not started.
- 904 Classen Ave – Work started. Installation of rear porch complete. Siding in progress.
- 607-609 S. Lahoma – Applicant was sent an email notifying them that their COA required work must be done by the end of July. Applicant was sent a second email requesting an update. Owner states they are waiting on the contractor, Restor, to start the windows. Staff will verify.
- 425 Chautauqua Ave – Building permit issued. Work not started.
- 626 Tulsa St. – Work has not started. Owner is considering submitting an amendment to the COA.
- 712 Miller Ave – Work has not started.
- 221 Alameda – Porch railing in progress.
- 423 S Lahoma – Work is in progress. No work is visible from right-of-way yet.

6. DISCUSSION OF PROGRESS REPORT REGARDING FY 2023-2024 CLG GRANT PROJECTS.

Item 1.

2023-2024 Certified Local Government Grant Funds Final Budget

	Revised Budget
PROJECT 1: Educational Training	\$400
PROJECT 2: Memberships Dues for NAPC	\$150
PROJECT 3: Fall Windows Workshops	\$6,500
Spring Window Workshop	\$6,910
PROJECT 4: Quarterly Education Postcard & Printing	\$1,107
PROJECT 5: Historic Coloring Books	\$200
PROJECT 6: Historic Pres. Laptop	\$2,521
Total CLG Budget	\$17,788

MISCELLANEOUS COMMENTS

- Anais Starr stated that the nomination for the Prairie Chicken House is anticipated for the September 9th meeting.
- Anais Starr also notified Commissioners that there is a new house for review coming soon.

ADJOURNMENT

The meeting was adjourned at 10:37pm.

Passed and approved this _____ day of _____ 2024.

Gregory Heiser, Vice Chair



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 08/05/2024

REQUESTER: Blake Hart, President Alpha Sigma Phi

PRESENTER: Anais Starr, Historic Preservation Officer, Planner II

ITEM TITLE: (HD 24-11) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE INSTALLATION OF A 6' WOOD FENCE IN THE SIDE YARD FOR THE PROPERTY LOCATED AT 702 S LAHOMA AVENUE.

<u>Property Location</u>	702 S Lahoma Avenue
<u>District</u>	Chautauqua Historic District
<u>Applicant</u>	Blake Hart, President Alpha Sigma Phi
<u>Owner</u>	Triangle OU House, LLC
<u>Request</u>	(HD 24-11) Consideration of approval, rejection, amendment, and/or postponement of Certificate of Appropriateness request for the installation of a 6' wood fence in the side yard for the property located at 702 S Lahoma Avenue.

Property History

Historical Information

2004 Chautauqua Historic District Nomination Survey Information:

702 S Lahoma Avenue. Ca. 1929. Classical Revival. This contributing, three-story, brick fraternity house has an asphalt-covered, side-gabled roof and a concrete foundation. The wood hung windows are eight-over-eight on the first floor and one-over-one on the second floor. The wood door is slab with a glazed slab storm. The full-height porch features a flat roof with a roofline balustrade supported by Classical fluted columns. Other exterior features include red brick exterior chimneys on both sides and gabled and segmental dormers. Decorative details include a symmetrical facade, ornamental brick headers with keystones and small brackets. The house occupies a central position on an unplatted portion of the block.

Sanborn Insurance Maps

The 1944 Sanborn Insurance Map shows the existing historic main structure in same location and configuration as seen today.

Previous Actions

December 10, 2014 – A COA by Administrative Bypass was issued for the replacement of the existing side and rear property line fences.

Project Description

Alpha Sigma Phi propose to address security concerns on the south side of the house by installing a 6' wood stockade fence. The fence will extend from the south edge of the house to the south property line, as shown on their submitted site plan.

Reference - Historic District Ordinance

36-535.a.2.g: *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

Preservation Guidelines

2.11 Guidelines for Fences

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.4 Side Yard Fences. *Side yard fences of up to 4 feet in height may be approved by Administrative Bypass. Side yard fences taller than 4 feet require a COA. Side yard fences taller than 6 feet are prohibited.*

.7 Fence and Wall Materials. *Fences or walls shall be constructed of wood, brick, stone, iron or cast or forged metal, stucco, or a combination of these materials. Stone or brick used in walls shall be compatible in size, scale, and style to that used elsewhere in the historic district, or typical of residential structures of this type, age, and location. No vinyl, cinder block, concrete block, or corrugated metal, may be used for fences or walls in historic districts. Chain link in the rear yard will be considered on a case-by-case basis.*

.8 Colors and Finishes. *Although paint color is not regulated by the Commission, it is strongly recommended that wood fences be stained or painted in colors and finishes appropriate to the style and period of the property and the district or left unfinished. No decorative murals shall be applied to fence or wall surfaces visible from the street.*

.9 Finished Side Out. *Fences or walls facing the street shall be constructed with the finished side out.*

Considerations/Issues

The *Preservation Guidelines* require 6' side yard fences to be reviewed by the Historic District Commission.

The proposed 6' wood stockade fence is a typical fence in the Chautauqua District.

The proposed fence's finished side must face the street as required by the *Guidelines for Fences*.

In the past, except under certain circumstances, the Historic District Commission has not approved fences of 6' or more in the side yards due to their impact on historic structures. The Commission has approved fences that taper from 6' at the rear of the house to 4' at the front

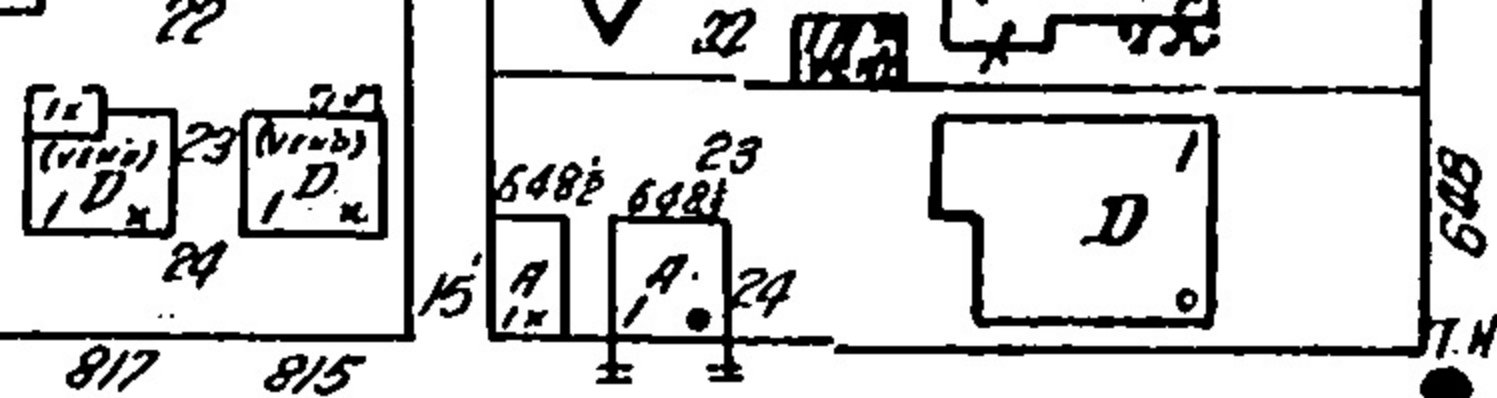
edge of the house. In recent years, the Commission has also approved 6' fences between adjacent properties when property lines did not align, creating privacy issues (as seen between 410 Peters and 504 Miller), or in the case of a side yard being adjacent to an alleyway creating security issues (as seen at 713 Cruce Street and 1320 Oklahoma Avenue).

The proposed fence is visible from the front right-of-way and it will obscure a portion of the historic structure. However, the Commission may want to consider if the unique properties of this property warrant the allowance of a 6' side yard fence. This historic fraternity house is much larger in height and massing than the typical residential house in the Chautauqua District. The proposed fence will obscure approximately three and one half feet of the tall windows on the first floor with the remaining first floor, as well as the second and third floor completely visible. It should also be noted that the proposed 6' fence is small in proportion to the 3-story wall it will be adjacent to. Lastly, the house is set 75' from the front property line. Typical houses in the Chautauqua Historic District are set 25'- 30' from the front property line. This additional setback from the front property line will reduce the impact of the proposed fence as well.

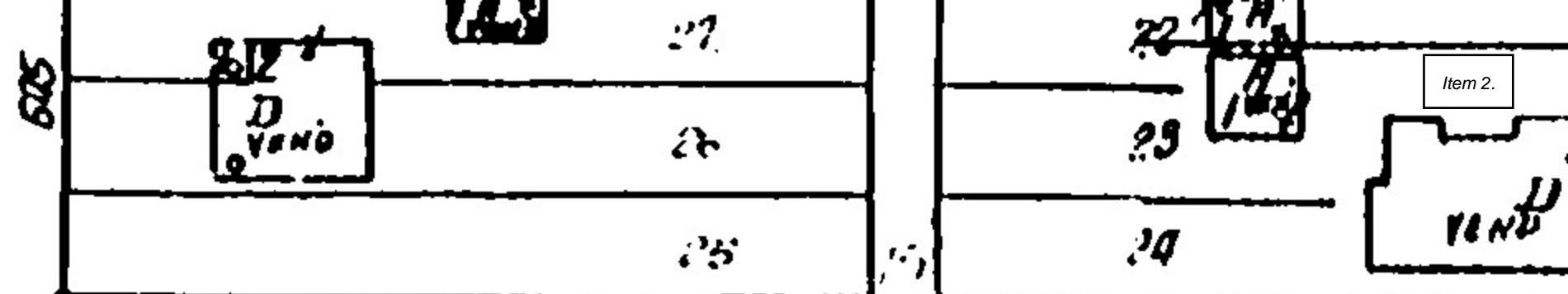
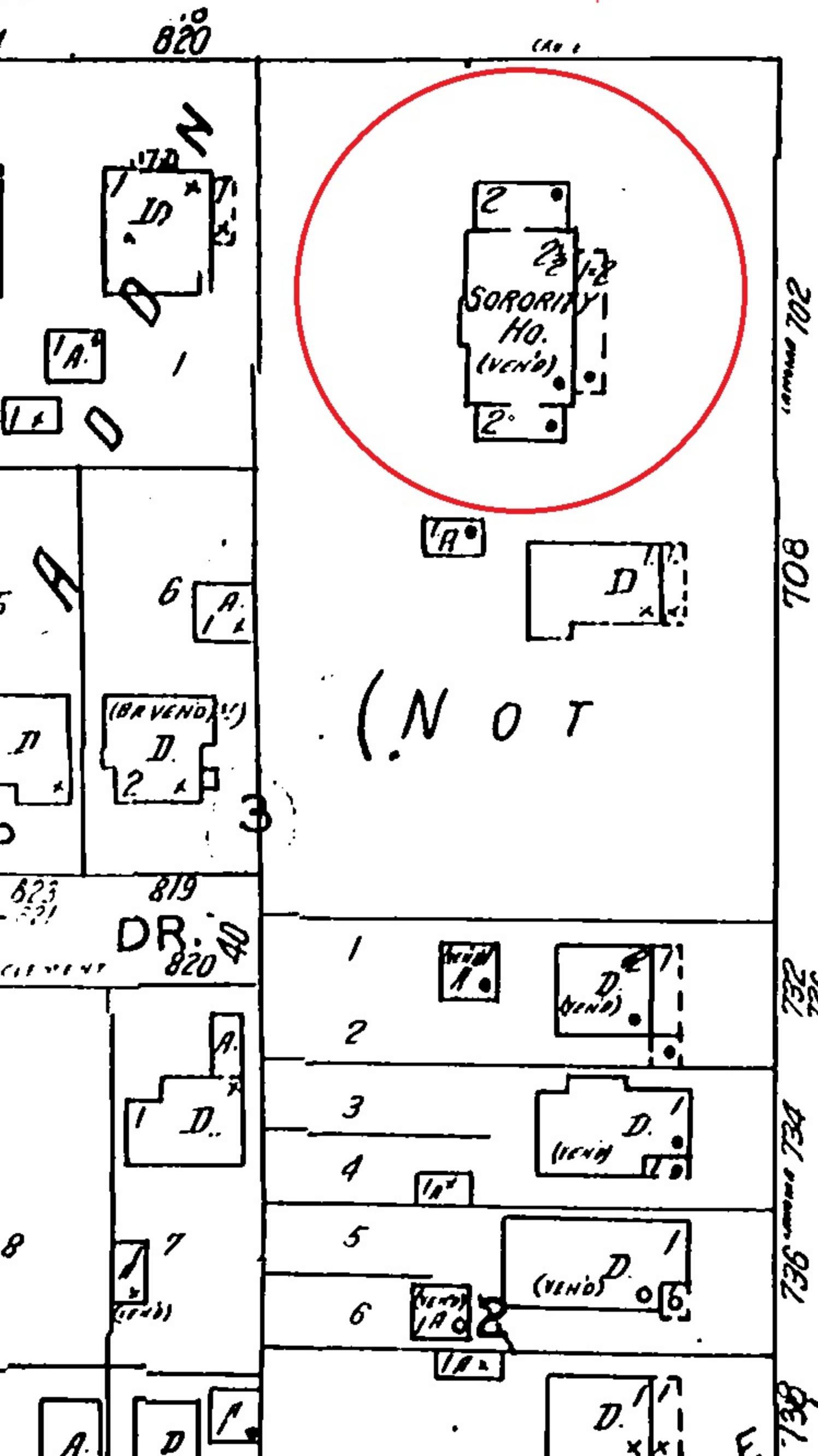
The applicant's proposed fence is only 6" from the front edge of the house. Staff would suggest the Commission consider requiring the fence be setback further to reduce the impact of the fence on the historic house.

The Commission would need to determine if the proposed 6' wood side yard fence meets the Preservation Guidelines and is compatible with this house and the District.

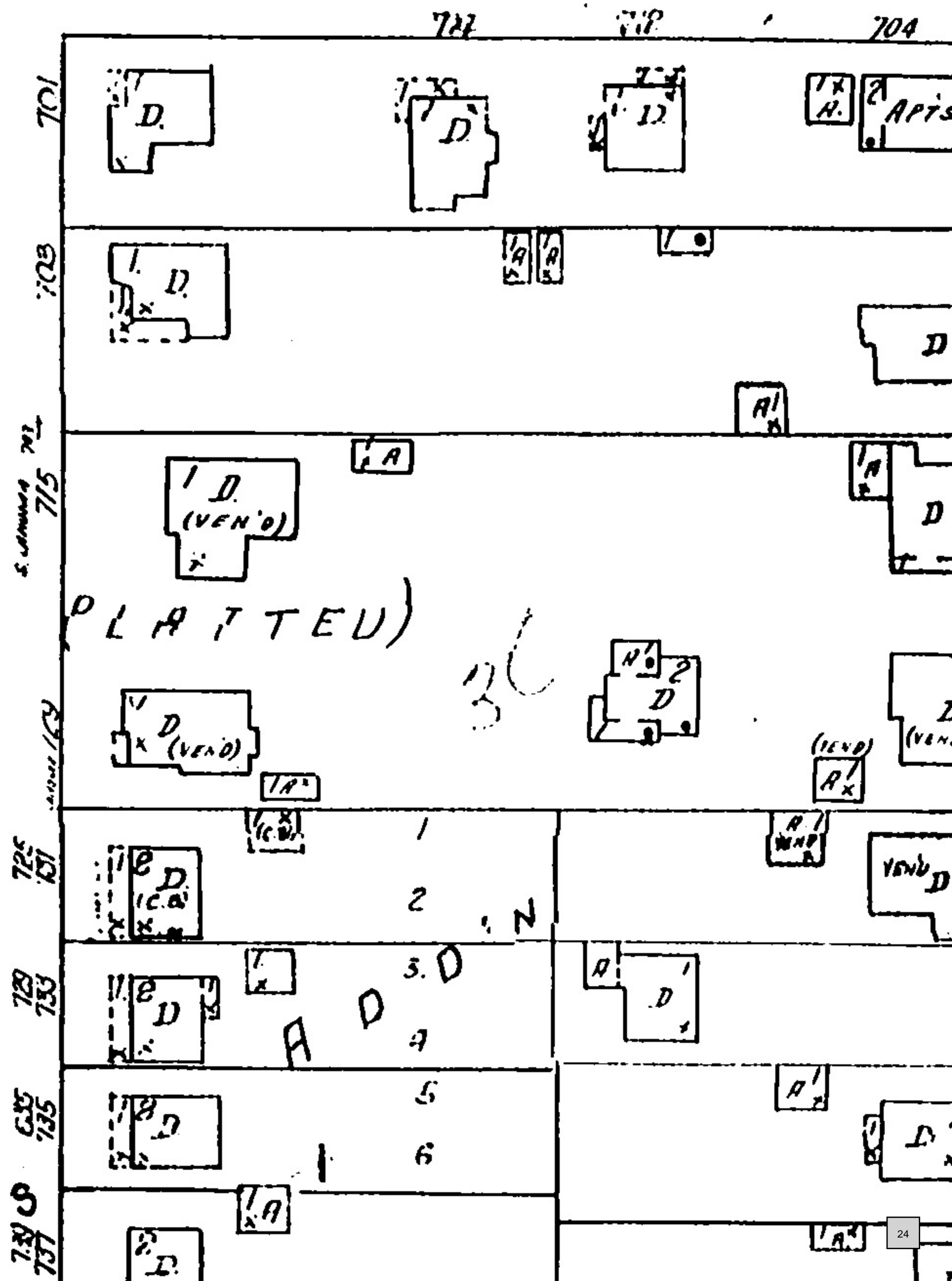
Commission Action: Consideration of approval, rejection, amendment, and/or postponement of Certificate of Appropriateness request a 6' wood fence in the side yard of the property located at 702 S Lahoma Avenue.



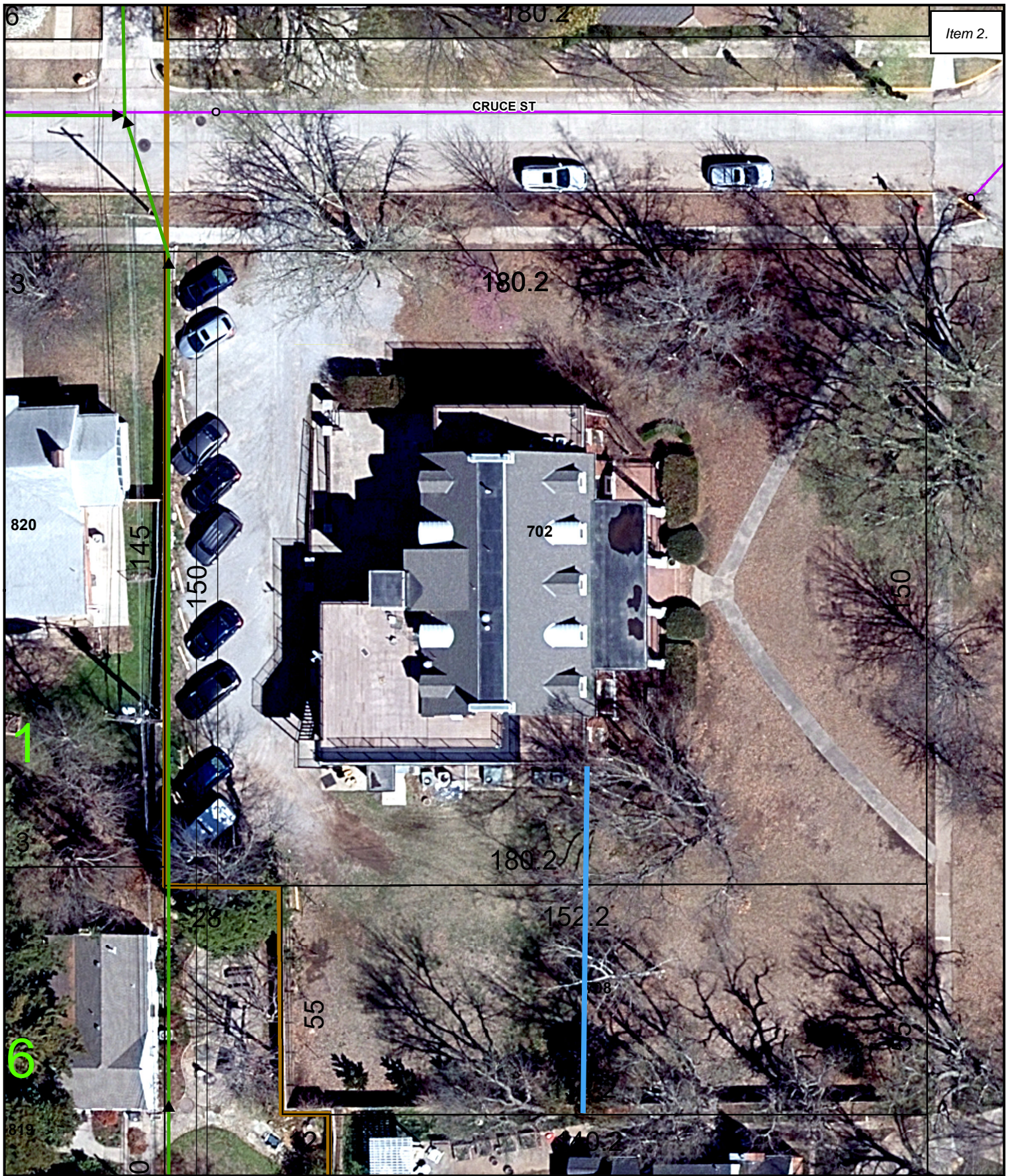
1944 Sanborn Map



CRUCE



PLATEU



The City of Norman Historic District Commission APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)		Staff Only Use:	
		HD Case # _____	
		Date _____	
		Received by: _____	
Note: Any relevant building permits must be applied for and paid for separately in the Planning and Community Development Office 405-366-5311.			
Address of Proposed Work:		702 S Lahoma Ave, Norman, OK 73069	
Applicant's Contact Information:			
	Applicant's Name: Blake Hart		
	Applicant's Phone Number(s): (405) 697-4466		
	Applicant's E-mail address: blakehart0717@gmail.com		
	Applicant's Address: 702 S Lahoma Ave, Norman, OK 73069		
	Applicant's relationship to owner: <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Engineer <input type="checkbox"/> Architect		
Owner's Contact Information: (if different than applicant)			
	Owner's Name: Michael Fouts		
	Owner's Phone Number(s): (317) 203-4506		
	Owner's E-mail: mfouts@trianglebhc.org		
Project(s) proposed: (List each item of work proposed. Work not listed here cannot be reviewed.)			
1) Fence Construction			
2)			
3)			
4)			
Supporting documents such as project descriptions, drawings and pictures are required see checklist page for requirements.			
Authorization: I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer			
Property Owner's Signature: Michael Fouts			Date: 07/07/2024
<input checked="" type="checkbox"/> (If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.			
Authorized Representative's Printed Name: Blake Hart			
Authorized Representative's Signature: Blake Hart			Date: 07/07/2024

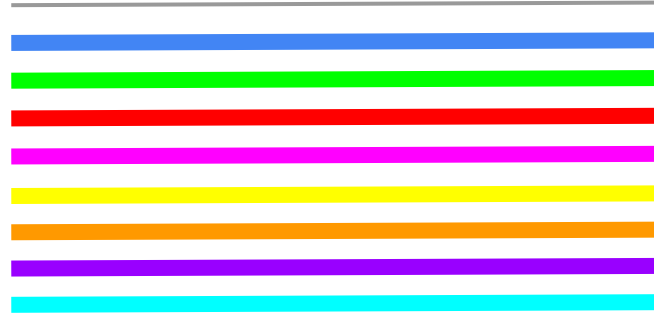
Measurements for the Proposed Fence and Surrounding Area

1. Proposed Fence Length: 80 ft
 - a. Distance from South House Edge to South Property Edge: 80 ft
2. Proposed Fence Height: 6 ft
3. Proposed Fence Post Width: 4 in
4. Proposed Fence Width Board Width: 1 in
5. Proposed Fence Gate Length: 4 ft
6. Proposed Fence Distance from Front House Edge: 6 in
7. Height of South Neighbor Fence (Side of Yard): 6 ft
 - a. Proposed Fence would “Touch” Side of This Fence
8. Height of West Neighbor Fence (Back of Yard): 8 ft 3 in
9. Height from Ground to Top of First Floor: 10 ft 8 in
 - a. Measured from Ground to Ceiling of Interior Kitchen
10. Height of Front Porch Base from Ground: 1 ft 8 in
11. Distance from Front Edge of House to Front-Most HVAC:
 - a. 2 ft from Top of HVAC
 - b. 14 in from Concrete Base.
12. Height of Tallest HVAC: 3 ft 5 in Including Concrete
13. Height from Ground to Top of All Windows: 9 ft 3 in
14. Height from Ground to Bottom of Small Windows: 6 ft 3 in
15. Height from Ground to Bottom of Large Windows: 3 ft 8 in

Renderings of Proposed Fence

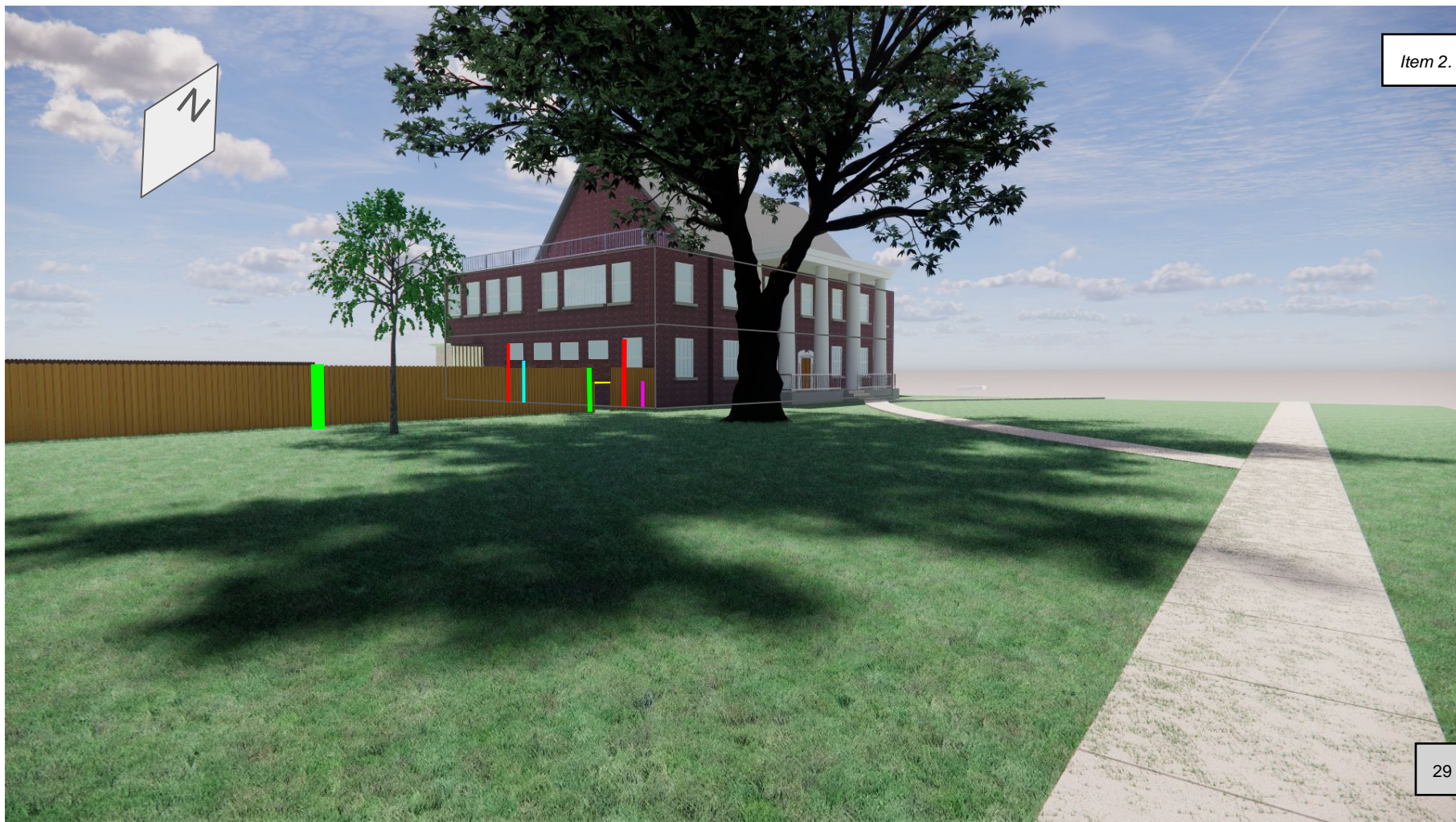
Guide for Measurements

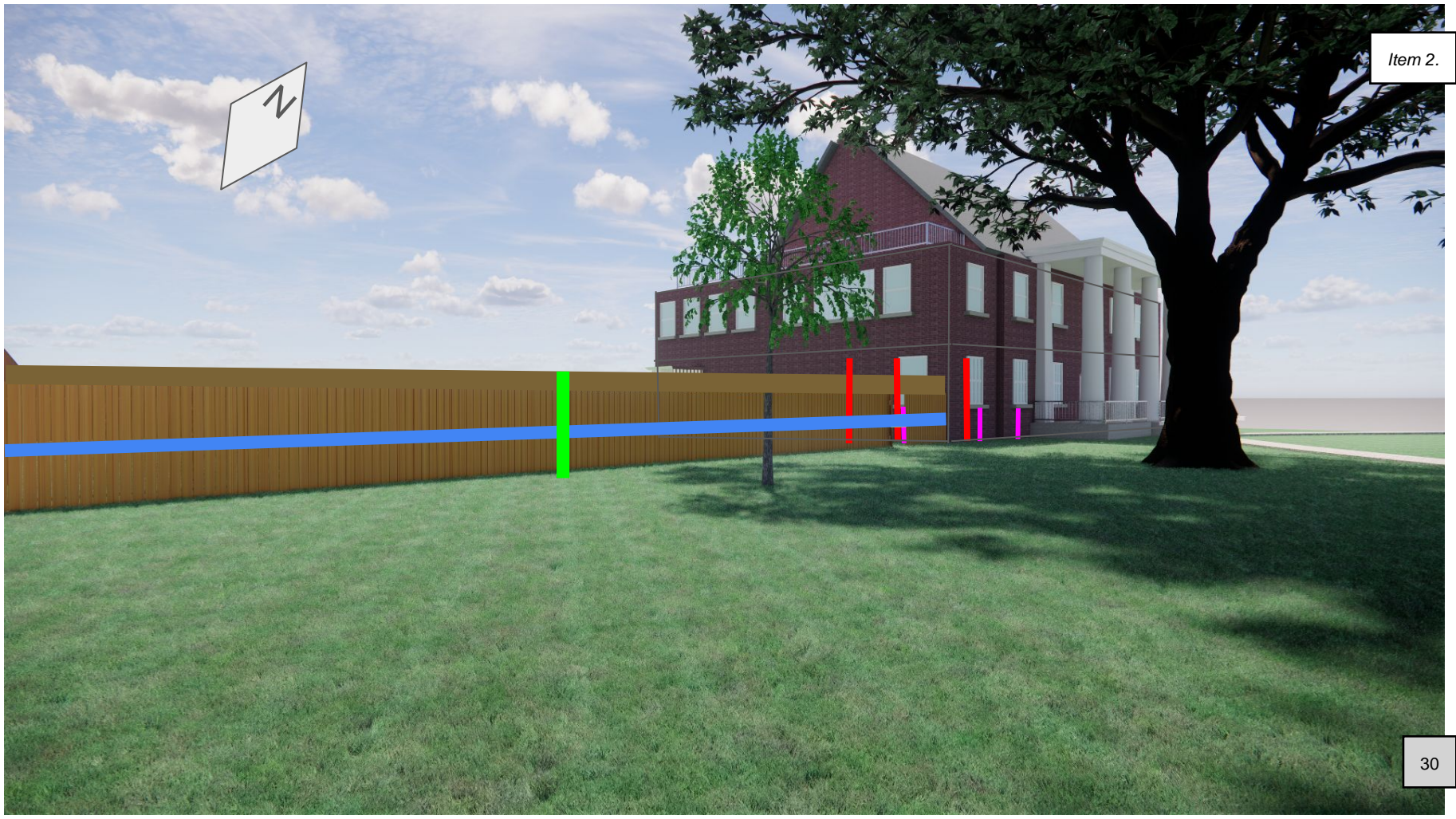
- + Gray - Outline of House Edges and First Floor Top
- + Blue - Length of Proposed Fence: 80 ft
- + Green - Height of Proposed Fence: 6 ft
- + Red - From Ground to Top of Windows: 9 ft 3 in
- + Pink - From Ground to Bottom of Tall Windows: 3 ft 8 in
- + Yellow - Length of Fence Gate Opening: 4 ft
- + Orange - Height of South Neighbor Fence: 6 ft
- + Purple - Height of West Neighbor Fence: 8 ft 3 in
- + Teal - From Ground to Bottom of Small Windows: 6 ft 3 in



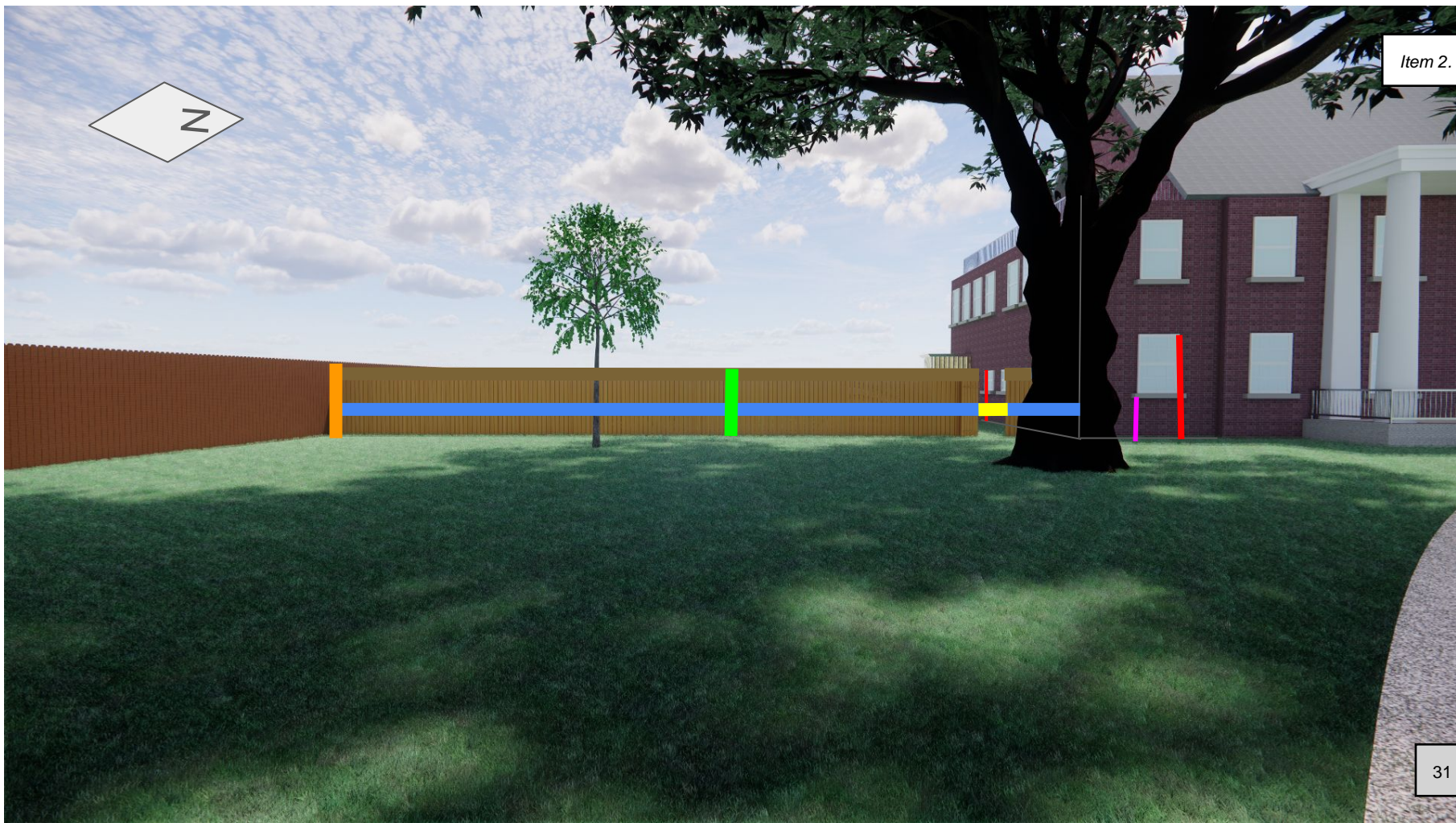


Item 2.



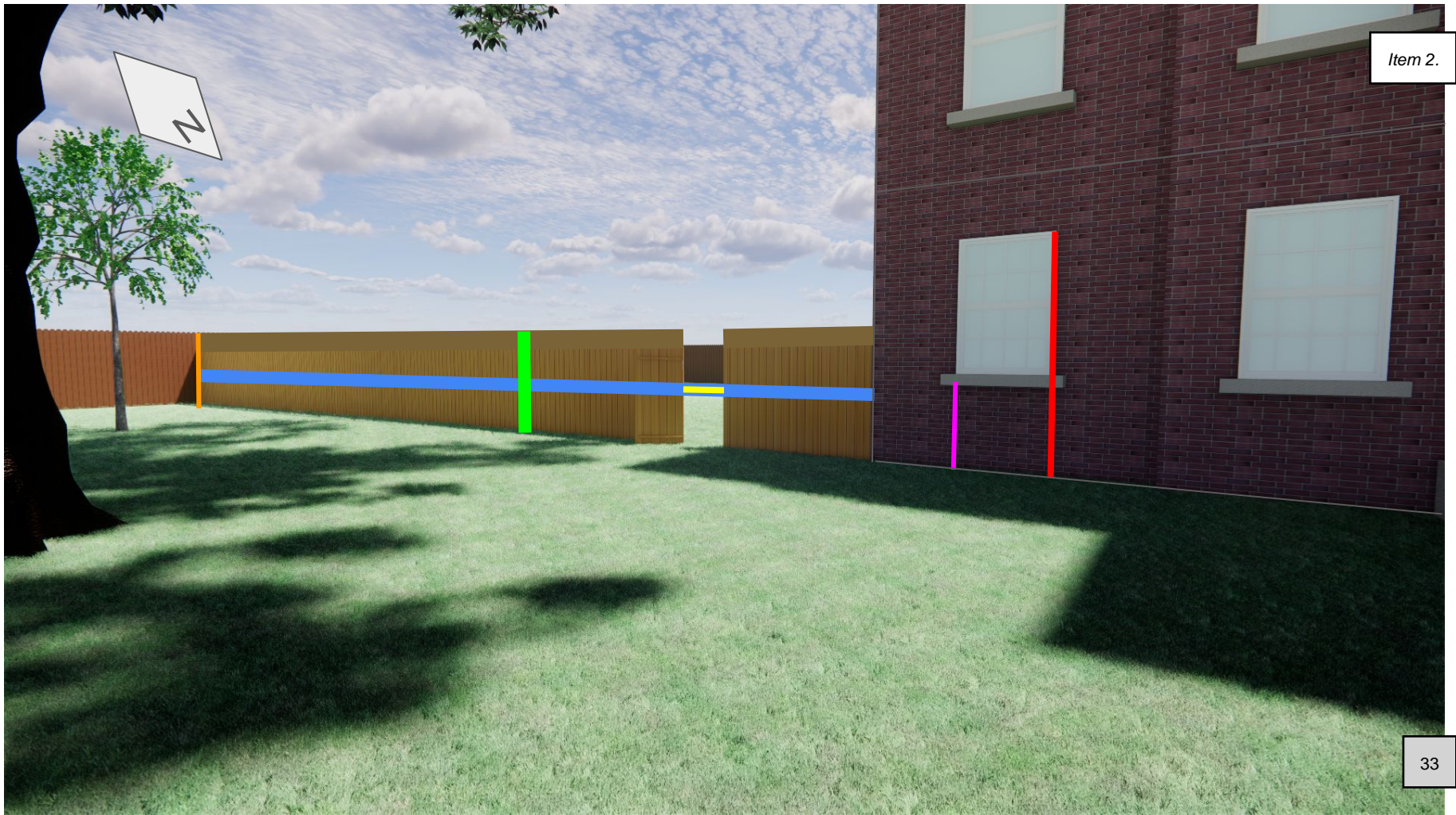


Item 2.





Item 2.

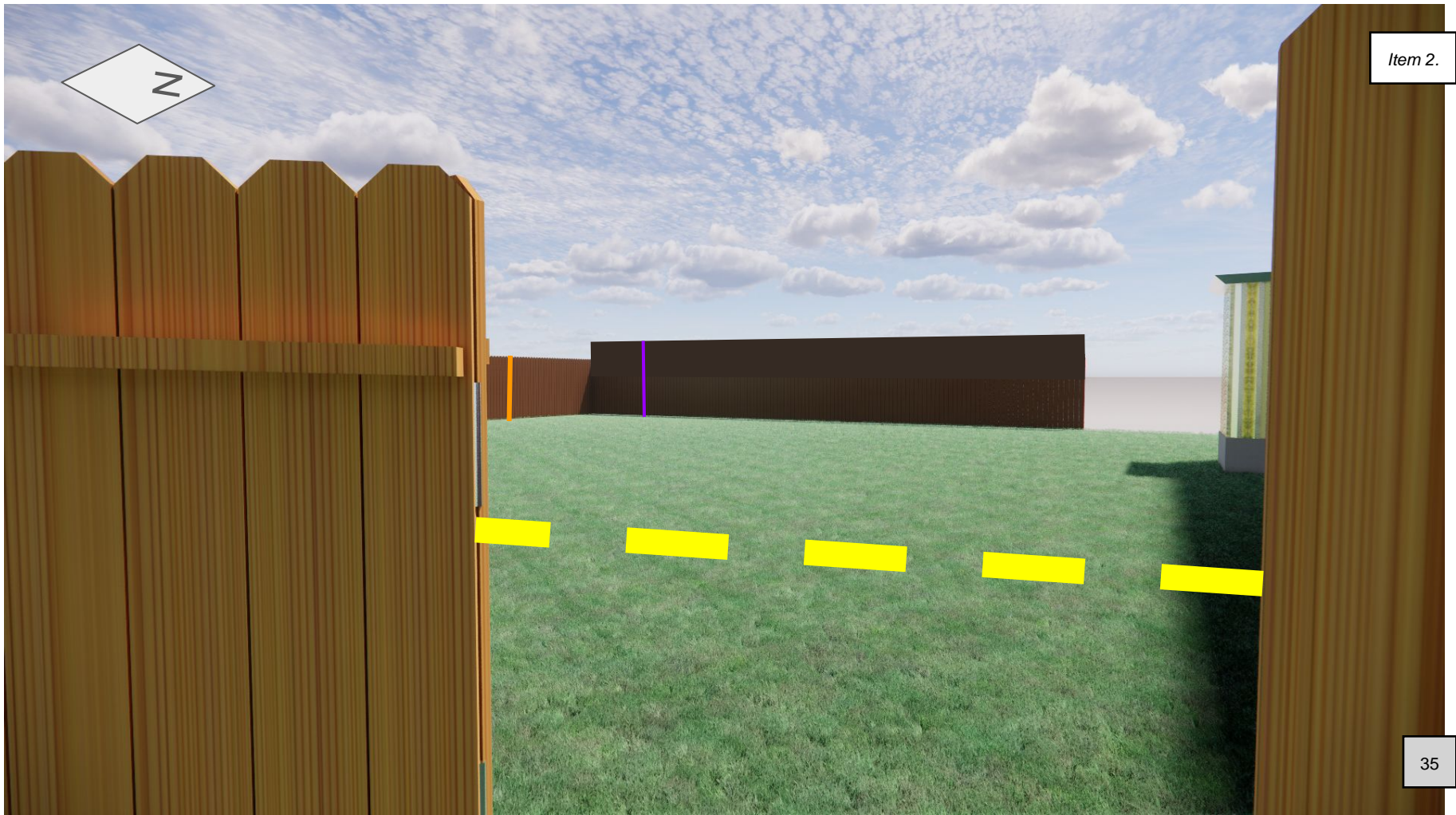


Item 2.



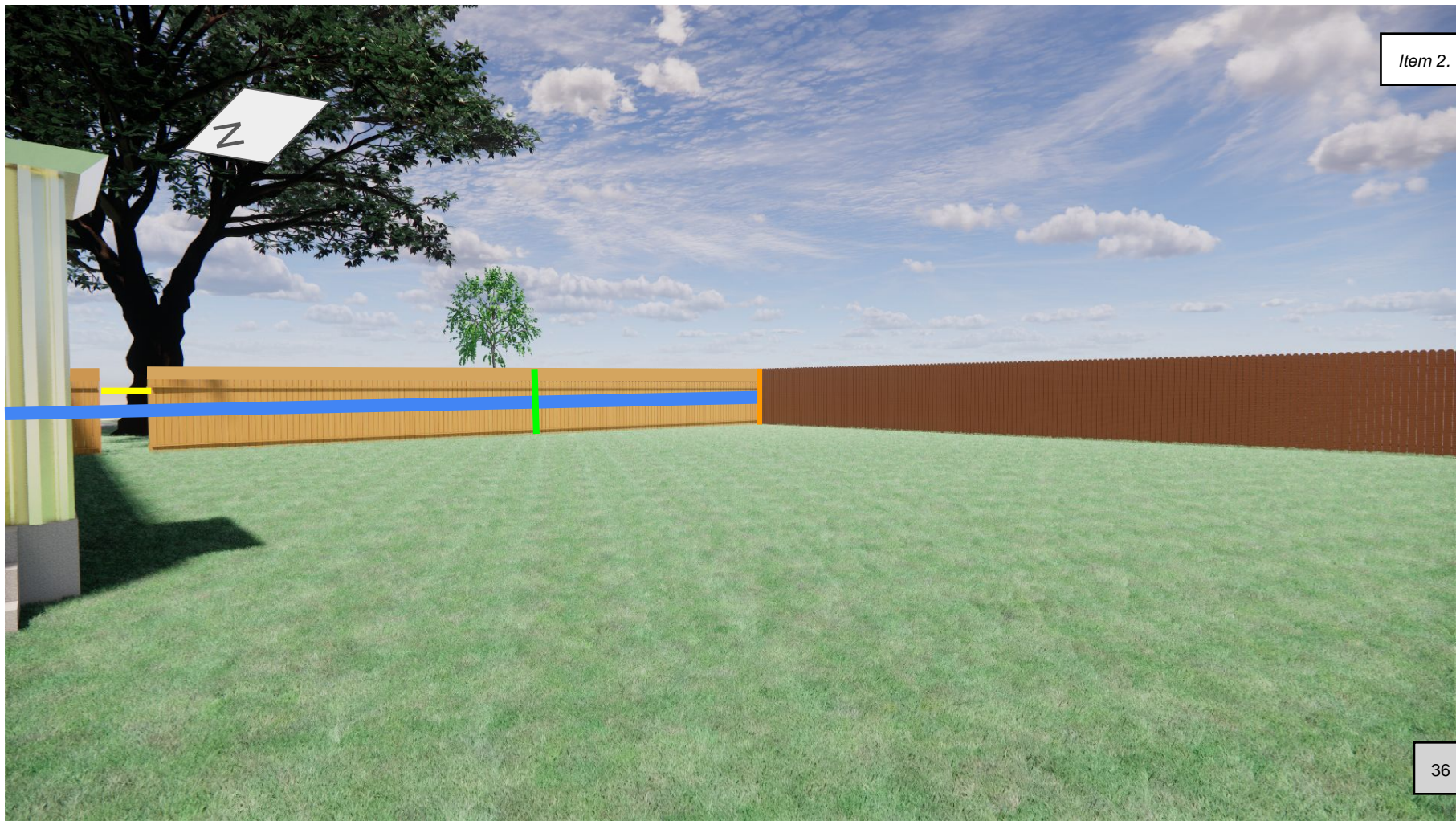
Item 2.

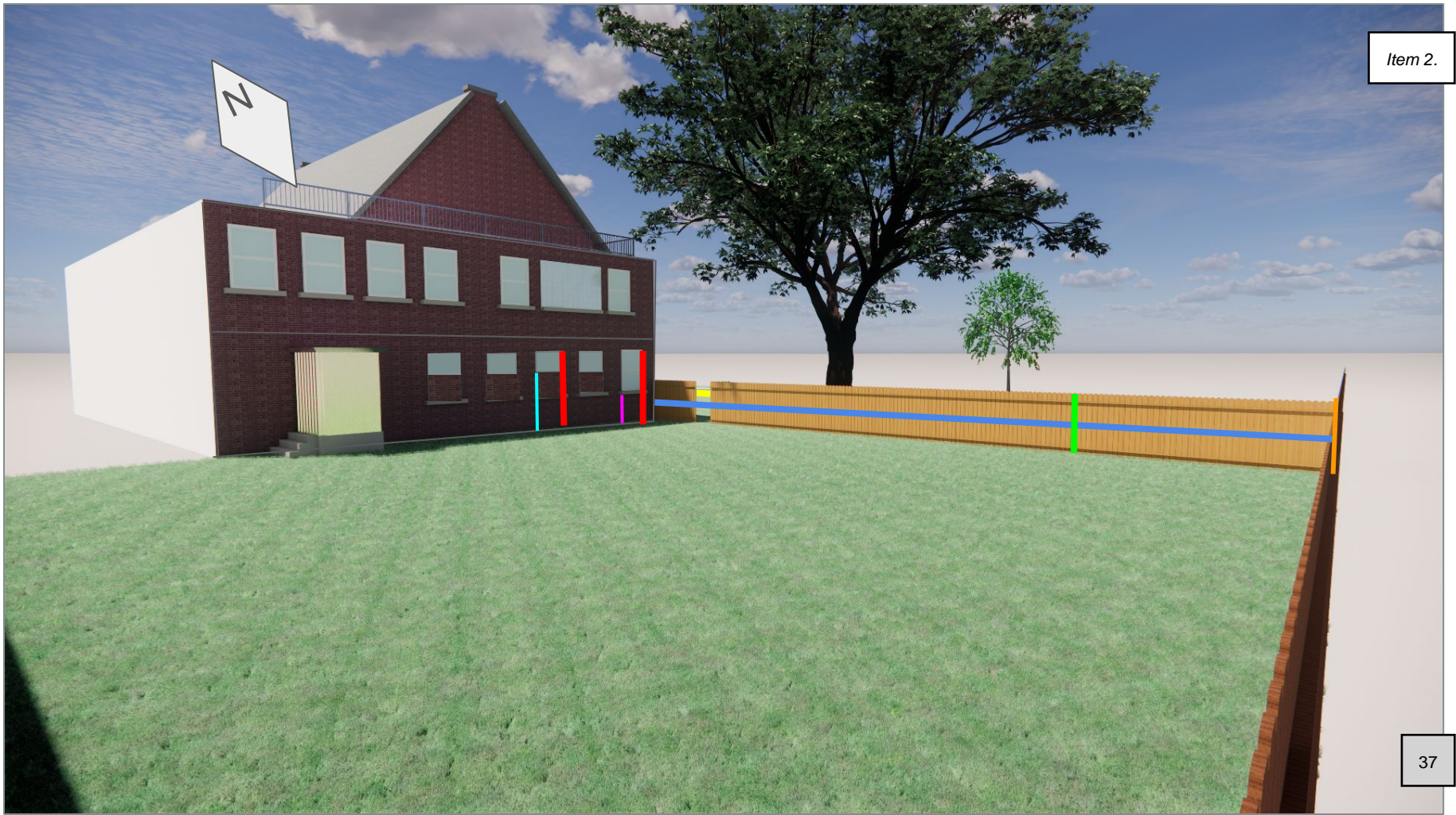
Fence is 6 in West From Front House Edge



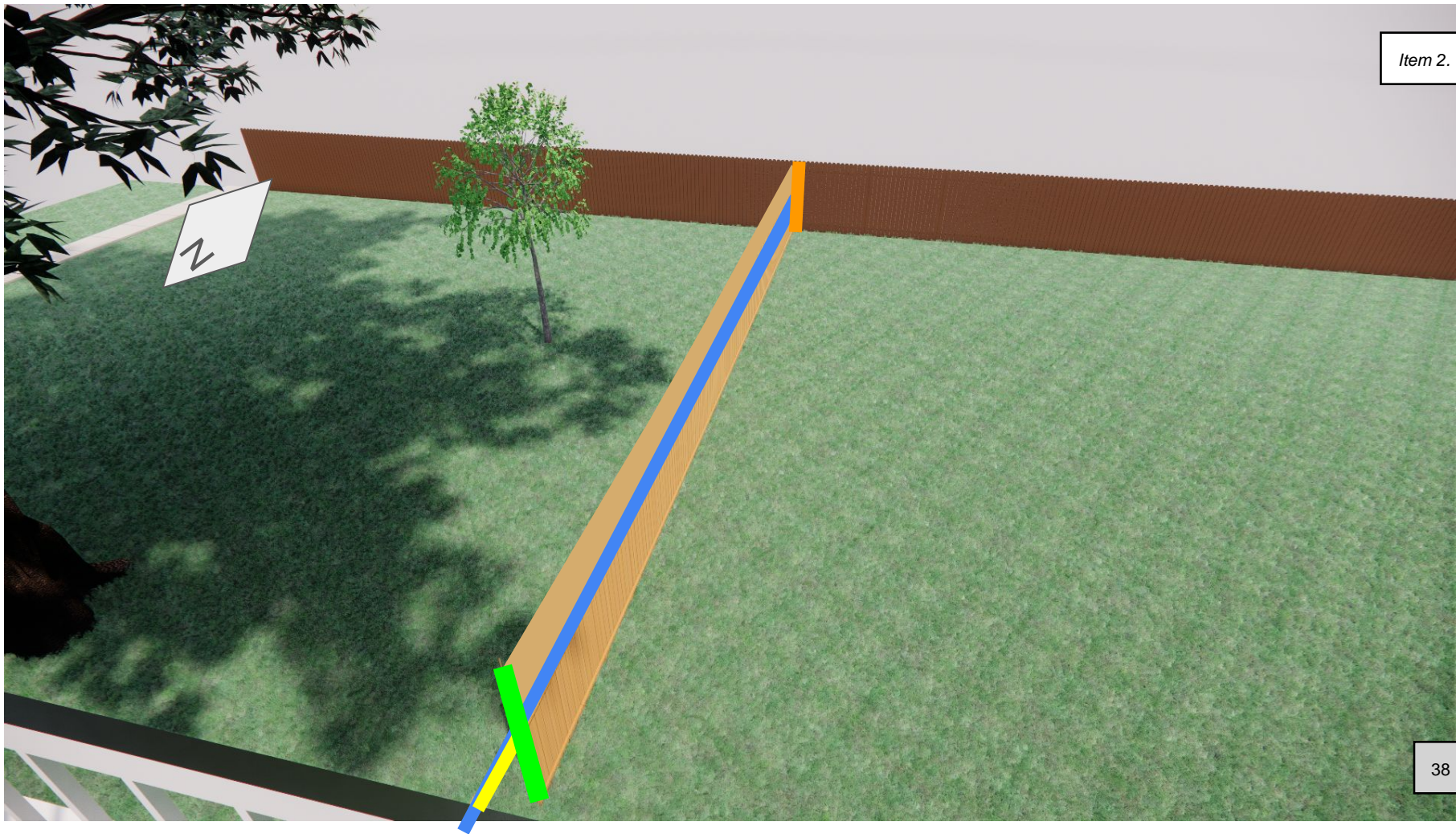
Item 2.

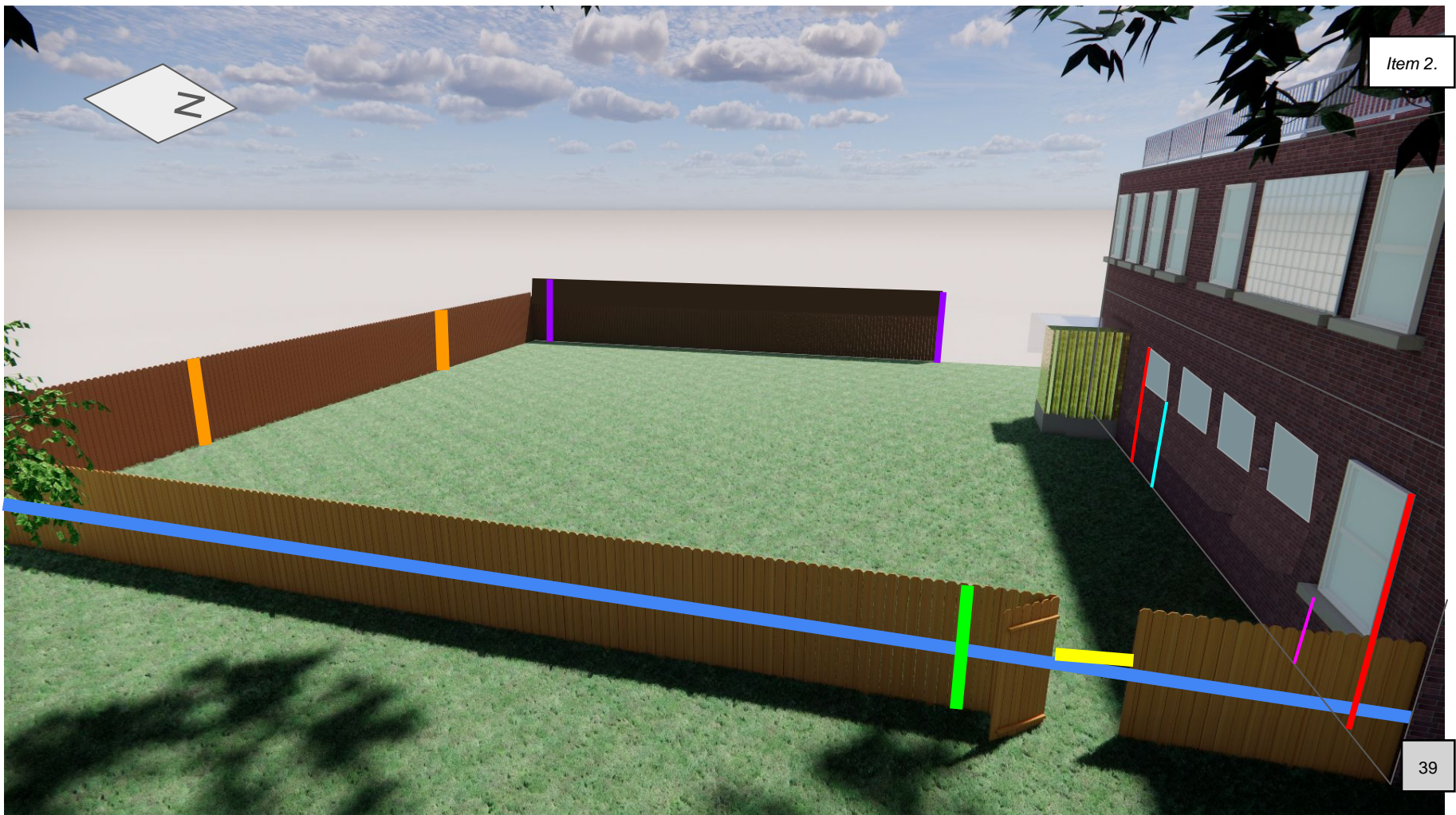
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Item 2.





Pictures of Existing Property









Item 2.









CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 08/05/2024

REQUESTER: Allison R & William Taber Halford

PRESENTER: Anais Starr, Historic Preservation Officer, Planner II

ITEM TITLE: (HD 24-12) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF CERTIFICATE OF APPROPRIATENESS REQUEST FOR INSTALLATION OF A CONCRETE AREA IN THE SIDE YARD OF THE PROPERTY LOCATED AT 515 MILLER AVENUE.

<u>Property Location</u>	515 Miller Avenue
<u>District</u>	Miller Historic District
<u>Owner/Applicant</u>	Allison R & William Taber Halford
<u>Request</u>	(HD 24-12) Consideration of approval, rejection, amendment, and/or postponement of Certificate of Appropriateness request for installation of a concrete area in the side yard of the property located at 515 Miller Avenue.

Property History

Historical Information

2004 Miller Historic District Nomination Survey Information:

515 Miller Avenue. Ca. 1921. *Bungalow/Craftsman. This contributing, two-story, asbestos-sided, single dwelling has a stucco-clad foundation and an asphalt-covered, cross-gabled roof. The wood windows are vertical, four-over-one, hung and the wood door is glazed paneled. The full-width porch with a cross-gabled, asphalt-covered roof has been enclosed on the north side; however, the full, red brick piers remain intact, as do the other decorative details of the porch. There is a porte cochere on the south side of the porch; a red brick, eave wall chimney on the north side of the house; and, a red brick central chimney towards the rear. Decorative details include ribbon windows, exposed rafters, triangular knee braces and striped cloth awnings. See below for description of the rear garage/apartment.*

517 South Miller Avenue. Ca. 1960. *No Distinctive Style. This two-story, asbestos-sided, garage/apartment has a concrete foundation and an asphalt-covered, side-gabled roof. The windows are metal casement and the wood door is flush. On the lower level, there are two large garage openings with wood, glazed, paneled, overhead doors. Decorative details include exposed rafters and triangular knee braces. The building is considered noncontributing due to insufficient age.*

Sanborn Insurance Maps

The 1944 Sanborn Insurance Map indicates the house and the garage structure in the same location and configuration as today.

Previous Actions

July, 22, 2019 – A COA by Administrative Bypass was issued for the widening of the existing driveway from 8' to 10'.

November 13, 2023 – A COA by Administrative Bypass was issued for the installation of a 72-square-foot deck in the rear yard.

Project Description

The property owners propose to install 297 square feet of concrete along the southern edge of the existing driveway to provide a cohesive concrete surface for their son to play basketball.

Reference - Historic District Ordinance

36-535.a.2.g: *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

Reference - Preservation Guidelines

2.8 Standards for Administrative Bypass for Sidewalks, Driveways, and Off-Street Parking

The following items can receive a Certificate of Appropriateness (COA) through the Administrative Bypass process if they meet the criteria listed. If they do not meet the criteria, the application will be forwarded to the Historic District Commission for a full review.

.2 Concrete Areas. *Concrete patios/areas 300 square feet or less and not visible from the front right-of-way (s). Corner lots are considered to have two front elevations*

The Historic District Commission will utilize the following *Preservation Guidelines* to review of the proposed work for the issuance of a Certificate of Appropriateness (COA):

2.9 Guidelines for Sidewalks, Driveways, and Off-Street Parking

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.10 New Paved Areas. *New paved areas should not directly abut the principal site structure, significantly alter the site topography, or overwhelm in area the residential, landscaped character of a rear or side yard. Care must be taken that paved areas do not injure nearby trees by intruding onto their root areas. They shall be designed to be compatible in location, patterns, spacing, configurations, dimensions, and materials with existing walkways and driveways. Paved areas shall not overwhelm the principal structure.*

Considerations/Issues

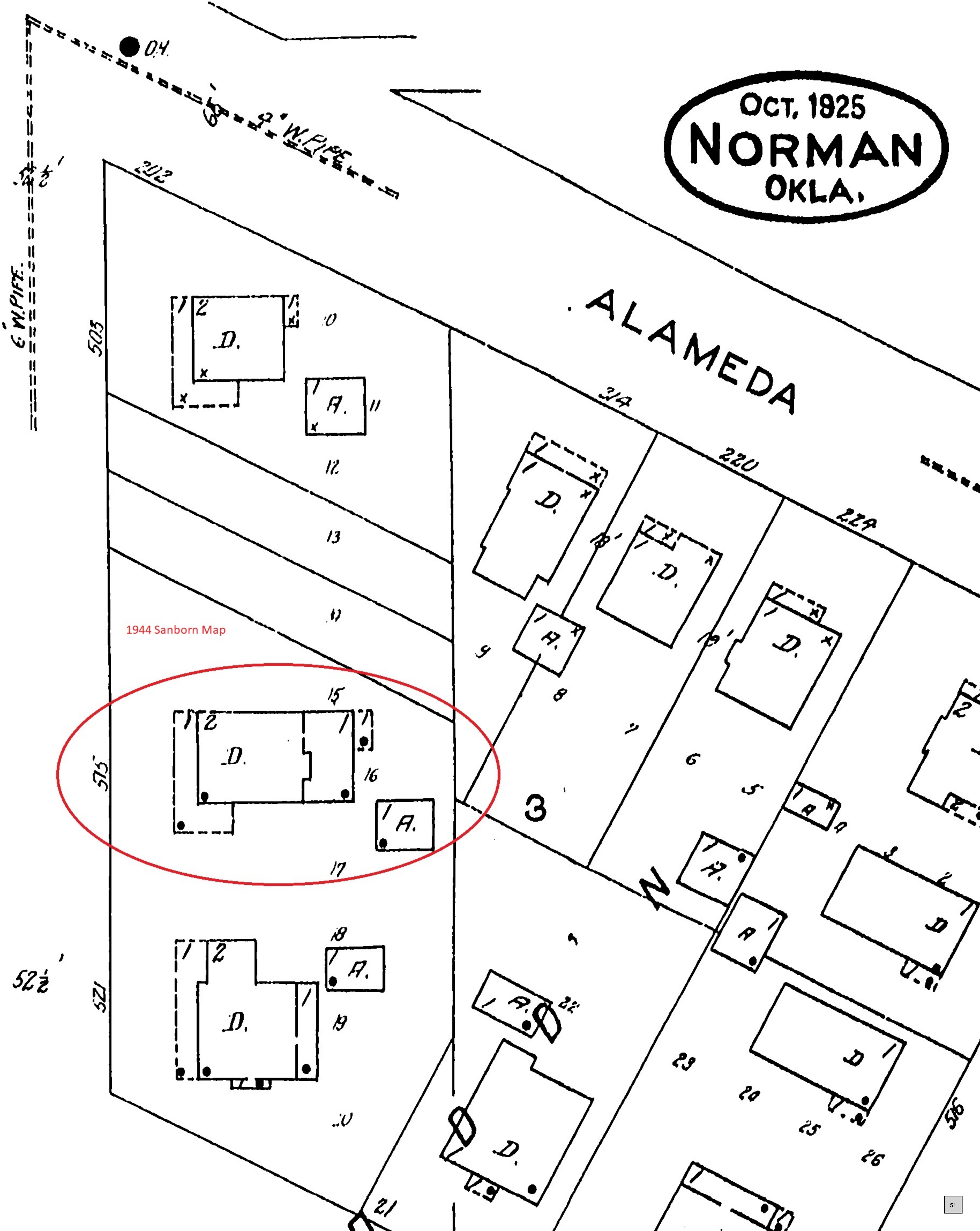
The proposed concrete does not meet the criteria for the Administrative Bypass approval by staff since it is visible from the front right-of-way.

Staff would note that while the current owners do not wish to use this additional area as parking, future owners may utilize it for parking. The proposed concrete area meets the Zoning Ordinance Core Area Parking regulations. The total impervious surface with the addition of the proposed concrete area will be 48%, which is below the 65% maximum allowed per the Zoning Ordinance. This property does not have alley access, which makes installing a basketball hoop and surface in a rear location more difficult.

Due to its location near the rear portion of the house, the proposed concrete area does not appear to overwhelm the historic house. The Commission would need to determine if the proposed concrete area meets the Preservation Guidelines and is compatible with this house and the District as a whole.

Commission Action: Consideration of approval, rejection, amendment, and/or postponement of Certificate of Appropriateness request for installation of a concrete area in the side yard of the property located at 515 Miller Avenue.

OCT, 1925
NORMAN
OKLA.

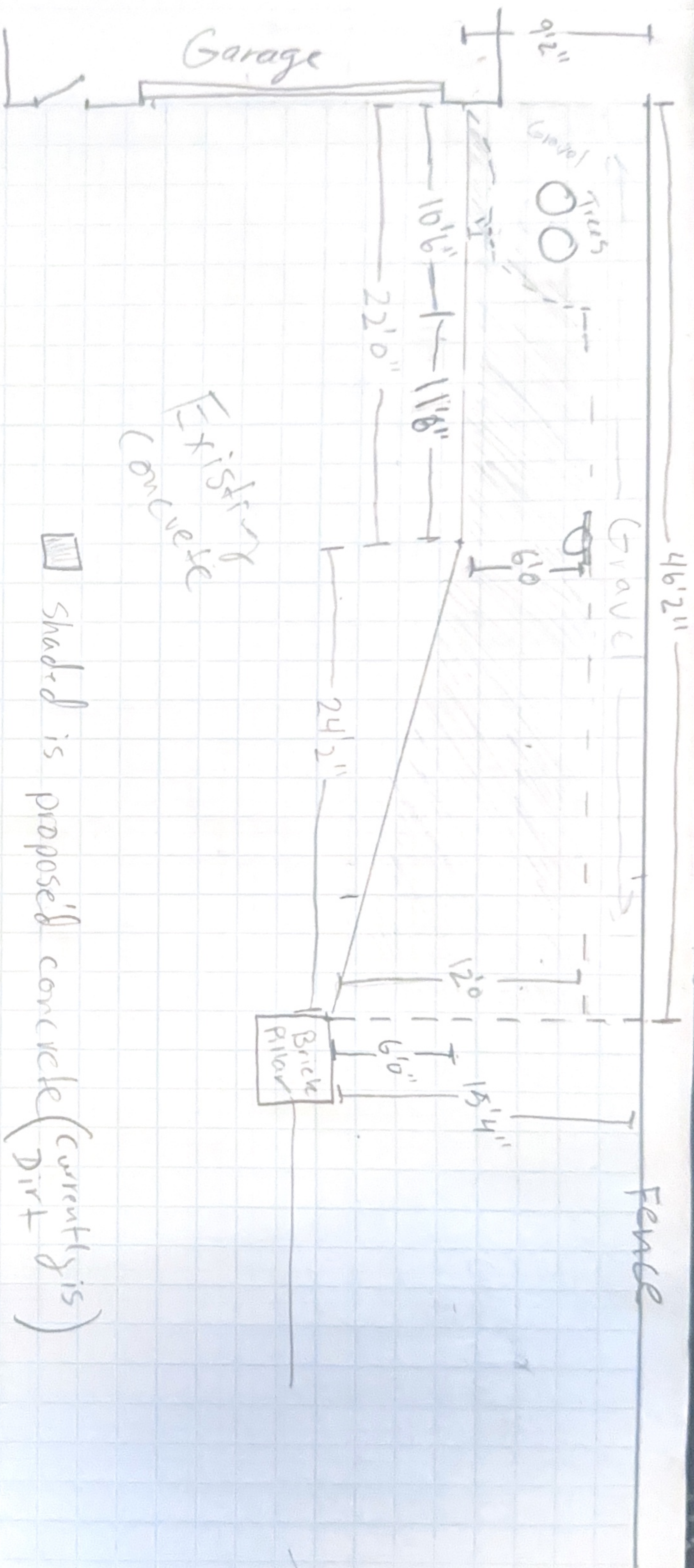




The City of Norman Historic District Commission APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)		Staff Only Use:	
		HD Case # _____	
		Date _____	
		Received by: _____	
Note: Any relevant building permits must be applied for and paid for separately in the Planning and Community Development Office 405-366-5311.			
Address of Proposed Work:		515 Miller Ave, Norman, OK 73069	
Applicant's Contact Information:			
Applicant's Name: William Taber Halford			
Applicant's Phone Number(s): 405-207-6910			
Applicant's E-mail address: taberhalford@gmail.com			
Applicant's Address: 515 Miller Ave, Norman, OK 73069			
Applicant's relationship to owner:		<input type="checkbox"/> Contractor <input type="checkbox"/> Engineer <input type="checkbox"/> Architect	
Owner's Contact Information: (if different than applicant)			
Owner's Name: Allison R Halford/William Taber Halford			
Owner's Phone Number(s): 405-207-6910/ 405-650-5892			
Owner's E-mail: taberhalford@gmail.com			
Project(s) proposed: (List each item of work proposed. Work not listed here cannot be reviewed.)			
1) Installation of Concrete (Side yard / 297 ²⁹⁷ sq ft)			
2)			
3)			
4)			
Supporting documents such as project descriptions, drawings and pictures are required see checklist page for requirements.			
Authorization: I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer			
Property Owner's Signature: 		Date: 7.8.2024	
<input checked="" type="checkbox"/> (If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.			
Authorized Representative's Printed Name: William Taber Halford			
Authorized Representative's Signature: 		Date: 7/8/24	



Concrete
297 sq ft



Existing
Concrete

Shaded is proposed concrete (currently is dirt)

BBall Goal

39 ft

$$10'6" \times 1' = 10'6"$$

$$11'6" \times 6' = 69$$

$$24'2" \times 6' = 145$$

$$24'2" \times 6' = 72'6"$$

217'6"

2

297' "

Concrete Proposed

(Triangle)



Construction Permit Application

Office Use

Property Information

515 Miller

Permit #:

Subdivision:

Block:

Lot:

Norman Rural Certificate of Survey:

Warranty Deed:

AREA/BUILDING		PLANNING	ENGINEERING
Project Area:	sf	Zoning:	Easements
Living Area:	sf	Historic District:	1 _____
# of Stories:	sf	Core Area:	2 _____
Building Footprint		Special Planning Area:	3 _____
Existing: 3836	sf [+]	# of Parking:	4 _____
Proposed:	sf [/]	Setbacks	
Lot Size: 10550	sf [x100]	Front:	Water System:
Bldg Coverage: 36	%	Rear:	Sewer System:
		Right:	Engineering Permit:
Paving		Left:	Flood Zone:
Existing: 973	sf [+]	Total Impervious Coverage	Park No.:
Proposed:	sf [/]	45 %	Ward:
Lot Size: 10550	sf [x100]	Front Lot Coverage	
Paving Coverage: 9	%	%	

Total Fees: \$

Plan Review Fee: \$

Balance Due: \$

Building Review

☐ Approved

☐ Denied

Signature

Date

Engineering Review

☐ Approved

☐ Denied

Signature

Date

Planning Review

☐ Approved

☐ Denied

Signature

Date

HD/Core Area Review

☐ Approved

☐ Denied

☐ N/A

Signature

Date

210913_JY



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 08/05/2024

REQUESTER: Owen Love, Sound Builds, LLC

PRESENTER: Anais Starr, Historic Preservation Officer, Planner II

ITEM TITLE: (HD 24-13) FEEDBACK DISCUSSION REGARDING A FUTURE REQUEST TO DEMOLISH THE EXISTING GARAGE AND CONSTRUCT A NEW SINGLE-FAMILY HOUSE WITH AN ACCESSORY DWELLING UNIT FOR THE PROPERTY LOCATED AT 505 CHAUTAUQUA AVENUE.

Property Location **505 Chautauqua Avenue**
District **Chautauqua Historic District**

Applicant **Owen Love, Sound Builds, LLC**
Owner **Brittani Beaver & Michael Serna**

Request **(HD 24-13) Feedback discussion regarding a future request to demolish the existing garage and construct a new single-family house with an accessory dwelling unit for the property located at 505 Chautauqua Avenue.**

Property History

Historical Information

2004 Chautauqua Historic District Nomination Survey Information

There is not a listing in the Survey for 505 Chautauqua Avenue. However, the listing for 507 Chautauqua Avenue in the Survey does provides the following information in regards to 505 Chautauqua Avenue:

To the north of this garage (the garage at 507 Chautauqua Avenue), is the single car, weatherboard garage of the demolished house at 505 South Chautauqua Avenue. This garage has an asphalt-covered, pyramidal roof and wood swinging door.

Sanborn Insurance Maps

The 1925 and 1944 Sanborn Insurance Maps indicate the original house on this property was a two-story brick structure. The original house was demolished prior to the establishment of the Chautauqua Historic District in 1997. All that remains on the property is the original historic garage. The Sanborn maps indicate a garage in the same location and configuration as the existing garage.

Previous Actions

There have not been any Certificate of Appropriateness requests for this property.

Demolition of the Existing Garage:

Project Description

Due to structural issues and the small size of the historic garage, the property owners wish to remove it. The 320-square-foot existing garage will not accommodate most modern-day vehicles. Additionally, the garage would require extensive repairs including a new footing to stabilize the structure and significant repairs to the deteriorated walls.

Reference - Historic District Ordinance

36-535.a.2.g: *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

Preservation Guidelines

36-535.a.2.g: *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

2.4 Guidelines for Garages

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.1 Preserve Historic Garage Structures. *Retain and preserve garages in their original locations and configurations. Even if the function changes, the exterior appearance shall remain the same.*

.4 Request for Garage Demolitions. *A request for demolition of a historic garage will utilize the following in determining the eligibility for demolition:*

- a.** *An existing structure of architectural or historical significance shall be retained if repairs are reasonably possible.*
- b.** *An existing structure is dilapidated, leaning, lacking a solid foundation, or of substandard construction, it may be eligible for demolition*
- c.** *An existing structure is 240 square feet or less, it may be eligible for demolition.*
- d.** *An existing structure was built after the period of significance; it may be eligible for demolition.*
- e.** *The removal of existing historic structure will enable access to the rear yard where no access currently exists; it may be eligible for demolition.*

Considerations/Issues

The *Guidelines for Garages* encourage the preservation and repair of significant historic garages. This requirement was developed to preserve historic accessory structures that are a companion to a historic house. Since the original house was demolished, this garage may have lost its historic significance.

The Commissioners should provide feedback on whether the garage has historic significance to the property or the Chautauqua District.

The *Guidelines for Garage Demolitions* indicate that a garage may be considered for demolition if it lacks a foundation, is severely dilapidated, and is smaller than 240 square feet. The submitted pictures of the garage show a deteriorated structure. At 320 square feet, the garage is still too small to accommodate most modern-day automobiles. The Commission would need to provide feedback to the applicant as to whether this structure meets the criteria to allow for demolition.

Construction of New House with an Attached Garage and an Accessory Dwelling Unit

Project Description

The applicant proposes to demolish the existing historic garage and construct a new two-story house with an attached garage and accessory dwelling unit.

This parcel is 60' wide by 137.5' deep with a total square footage of 8,174. The new house will have a footprint of 2,900 square feet and an overall under-roof square footage of 4,126.

Reference - Historic District Ordinance

36-535.a.2.g: *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

36.535.g.6. Infill construction. *In the case of new or infill construction in Historic Districts, it is not the intent of this chapter to limit new construction to any one period or architectural style, but to preserve the overall integrity of Historic Districts and architectural resources and to ensure that new construction is compatible with existing historic and architectural resources. In the case of denial of plans by the Historic District Commission, the Commission shall State in writing the reasons for such denial and may include suggestions of the Commission in regard to actions the applicant might take to secure the approval of the Commission.*

Preservation Guidelines

4.5 Guidelines for New Primary Structures

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.1 Consider Historic Context. *Design new structures to be compatible with historic buildings in the district in terms of size, scale, height, form, massing, proportions, finished floor elevation, size of door and window openings, roof shape, and setbacks. Proposals for new construction shall include streetscape elevation drawings that depict proposed structure as well as elevations of properties on either side to provide a comparison of massing, scale, floor elevations, proportions, setback and design.*

.2 Select Windows and Doors Carefully. *Select windows and doors for new buildings that are compatible in material, proportion, pattern, and detail with the windows and doors of historic buildings in the district. See Chapters 3.11 through 3.14.*

.3 Select Compatible Finishes. *Select materials and finishes for proposed new buildings that are compatible with historic materials and finishes found in historic buildings in the district*

in terms of composition, scale, pattern, detail, texture, and finish.

.4 Design. Design new primary structures to be compatible with historic buildings in the district in terms of size, scale, height, form, massing, proportion, finished floor elevation, size of door and window openings, and roof shape. Proposals for new primary structures shall include streetscape elevation drawings that depict proposed structure as well as elevations of properties on either side to provide a comparison of massing, scale, and design.

.5 Location. New primary structures shall align with the typical front and side setback on the block.

.6 Evaluate Potential for Archaeological Resources. Evaluate in advance and limit any disturbance to the site's terrain during construction to minimize the possibility of destroying unknown archaeological resources.

.7 Avoid False Historical Appearance. New structures shall be of their own time period and easily distinguishable from the historic structure.

3.12 Guidelines for Windows

.11 New Primary and Secondary Accessory Structures. Windows in new construction are to compatible with in adjacent historic structures in terms of size, profile, design, proportions, and material. Wood and aluminum clad windows are acceptable for use in new construction.

3.14 Guidelines for Doors

.10 New Primary and Secondary Accessory Structures. Doors in new construction shall be similar to those in adjacent historic structures in terms of size, profile, design, proportions, and material. Aluminum clad and fiberglass doors with limited or no visibility from the front façade can be considered on a case-by-case basis.

2.4 Guidelines for Garages

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.5 New Garage Construction. A new garage shall be compatible in form, scale, size, materials, features, and finish with the principal structure. The following criteria will be considered for a new garage constructed where there is currently no historic structure:

- a. The new structure will utilize alley access if available.
- b. The new footprint will be 575 square feet or 50% of the footprint of the principal structure, whichever is smaller.
- c. The cumulative of square footages for all garage structures on the lot, shall be no greater than the footprint of the principal structure.
- d. New garages are to be subservient to the principal structure and in no case will the garage structure be taller, wider or deeper than the principal structure.
- e. The proposed construction will preserve existing trees.
- f. Maximum of two garages are allowed per site.

.6 New Garage Height. New garage structures shall be the traditional height and proportion of garages in the district. New garages in blocks that contain only one-story garages shall be

one-story. One and a half story and two-story garages may be built if located on a block where one and a half story and two-story garages are dominant or if adjacent properties contain similar height garages. The wall height and height of roof ridge are to be no greater than the principal structure.

.7 New Garage Location. New garage structures that are not replacing a historic garage are to be located behind the principal structure in the rear yard with limited or no visibility from the front right-of-way. Garages replacing historic garages shall maintain the location and configuration of a historic garage, typically at the end of a front driveway. Such garages shall be located behind the back elevation of the principal structure.

.8 New Garage Materials. The following may be considered on a case-by-case basis for new garages:

- a. Acceptable materials include wood, brick and stone masonry, and stucco. Fiber cement products for new garage construction located off an alleyway or if setback behind the rear of the house will be considered on a case-by-case basis. It should be noted that wood siding does not have "wood grain." Only smooth cement board is permitted. The use of vinyl, Masonite, aluminum or other metal sidings is prohibited.
- b. Aluminum clad doors and windows are allowed for garages located off of an alleyway or behind the rear elevation of the house, with no or limited visibility from the front right-of-way.
- c. Wood, wood composite or metal overhead garage doors with wood/wood composite trim are allowed.
- d. Garage doors shall be a single width. Double width garage doors will be considered on a case-by-case basis.

.10 Reconstruction of Historic Garage. The reconstruction of out buildings shall be based on historic evidence, such as photographs, Sanborn maps or other documentation. If no such evidence exists, the design should be derived from the architectural style of the principal building and historic patterns and characteristics of the historic district. Wood, brick and stucco are appropriate materials for reconstruction of a historic garage. Overhead garage doors with the appearance of double doors will be considered on a case-by-case basis. Historic garages shall be located at the end of a driveway along the side property line and face the front street right-of way.

Considerations/Issues:

Per the *Guidelines for New Primary Structures* the following elements should be considered when reviewing a new house:

Size, Scale, Height

The applicant proposes a two-story house with a height of 32' 9". According to the submitted streetscape elevation, the proposed height is taller than the existing houses at 507 Chautauqua and 447 Chautauqua. The specific heights for the adjacent structures were not provided. The submitted streetscape drawing also indicates the proposed house is wider than adjacent houses at 447 and 507 Chautauqua. Again, dimensions were not provided.

The parcel for the proposed house has a total square footage of 8,174. The proposed house will have a total square footage of 4,126. The footprint of the proposed house which includes a porch, a screened patio, and an attached garage, is approximately 2,956 square feet. For comparison, the chart below provides the approximate square footage of footprints and lot sizes for the proposed property as well as for adjacent properties:

Address	Footprint (sq ft.)	Lot Size (sq ft.)
505 Chautauqua	2,956 proposed house with attached garage	8,174
444 Chautauqua	2,226	9,375
447 Chautauqua	1,374	6,875
500 Chautauqua	1,742	13,875
507 Chautauqua	1,270	8,937

The square footage listed in the chart was obtained from information found on the Cleveland County Assessor's website. It is important to note that none of the adjacent properties have an attached garage.

The Commission needs to provide feedback on whether the proposed size, scale, and height, for the new house meet the *Guidelines* and is compatible with the Chautauqua District.

Setback

The *Guidelines* encourage new houses meet the existing setbacks found in surrounding properties. The adjacent properties on either side of this lot have setbacks closer to 20'. The applicant is proposing a 20' front setback to try to align with adjacent properties. However, the Zoning Ordinance requires a 25' setback. The applicant plans to submit a request to the Board of Adjustment for a variance to the front yard setback requirement as he feels it is important to align with adjacent properties.

Side setbacks are proposed to be 5'4" setback from the north property line and 19' from the south property line. Typical setbacks vary throughout the neighborhood, but usually, one side of a lot has the driveway creating at least a 10' setback on one side. The other side yard setback can vary from 5' or more.

The placement of the house on the site is proportionally similar to houses on the block. Many of the houses in the Chautauqua District utilize much of the width of the lot, as is proposed with this new house. Many houses are deeper in length than width to gain more living space, as is proposed with this house.

The Commission needs to provide feedback on whether the proposed setbacks for the new house meet the *Guidelines* and are compatible with the Chautauqua District.

Form and Massing

The form and mass of this proposed two-story home are similar to several houses located on Chautauqua Avenue, such as the houses at 434, 425, and 507 Chautauqua.

The Commission needs to provide feedback on whether the mass and form meet the *Guidelines* and are compatible with the Chautauqua District.

Finished Floor Elevation

The finished floor elevation for the proposed house will be 20 inches from the ground. This is similar to the finished floor elevation of the house at 447 Chautauqua but lower than the finished floor elevation for the house at 507 Chautauqua.

The Commission needs to provide feedback on whether the proposed finished floor elevation meets the *Guidelines* and is compatible with adjacent properties and the District.

Exterior Walls

The applicant is proposing painted brick which is not a typical design element in the District. The existing painted brick houses in the Chautauqua District were painted before the establishment of the Chautauqua Historic District. Painted brick is not a historic design element found in the Chautauqua District. The Commission recently approved a rear addition in Southridge with painted brick for the exterior walls to match the existing painted brick on the house.

The soffit, fascia, and gable ends are proposed to be painted Hardie siding and boards. This material is not typical of the surrounding historic structures in the Chautauqua District, but has been approved by the Commission for new additions. The Commission has always specified as per the *Guidelines for Exterior Walls*, Hardie or composite wood material is to have a smooth finish, not textured.

The Commission needs to provide feedback on whether the use of painted brick and Hardie board meets the *Guidelines* and is compatible with the Chautauqua District.

Windows & Doors

The applicant plans to use aluminum-clad wood windows and doors except on the front façade where he plans to install the bronze metal “French door” style front entrance and set of windows to the right of the entrance. A smaller window will be to the left side of the entrance on the front façade. This window as well as the remainder of the windows house will be aluminum-clad.

The *Guidelines* call for wood or aluminum-clad wood windows on new construction as acceptable materials that are compatible with the surrounding Historic District. The “French door” style entrance and set of windows on the front façade are not the usual type of window utilized in the Chautauqua neighborhood. The proposed front door and windows have different proportions and pane configurations than those found in the Chautauqua District.

Most Chautauqua District homes have double-hung, true divided light wood windows with configurations of one-over-one, four-over-one, or six-over-one window panes. The windows do not typically extend from the finished floor elevation. This is a modern-day style of house and the proposed design for the door and window may be appropriate for this structure.

The Commission would need to provide feedback on whether metal “French door” style entrance doors and set of windows on the front façade are compatible with the Chautauqua District. Additionally, the Commission should provide feedback on whether the size, proportion, and pane configuration of the remainder of the proposed windows meet the *Guidelines*.

Roof

The roof material is proposed to be composite shingles. This is a common modern-day material used in the Chautauqua District. The applicant is also requesting to use a metal accent roof on the front façade. The metal will either be black standing seam or copper. Metal accent roofs are not a typical design feature seen in the District, nor a historic material found in the Chautauqua District. The Commission has approved the installation of a metal roof that replicated a historic metal roof at 610 Miller Avenue but has not approved a modern-day metal roof material for any other houses in the Districts.

The Commission would need to provide feedback on whether a metal accent roof on the front façade meets the *Guidelines* and is compatible with the Chautauqua Historic District.

Porch

Most homes in the Chautauqua District have some type of stoop or porch element. The proposed house will have a porch that will surround the entrance and is an architectural focal point on the front façade. The proposed porch element, while not exactly like any other Chautauqua Historic District house, does provide an architectural interest on the front façade.

The Commission would need to provide feedback on whether the proposed porch on the front façade is compatible with the Chautauqua Historic District.

Trees

The applicant proposes retaining most of the existing trees on the property. They propose to remove four of the twelve trees currently on the lot.

The Commission should provide feedback on whether the proposed plan for tree removal to accommodate the new construction meets the *Guidelines* and is compatible with the Chautauqua Historic District.

Garage

The *Guidelines for Garages* states new garages are to be 575 square feet. The proposed attached garage will be 576 square feet. The *Guidelines* also indicate a new garage should be located in a similar location as the historic garage, in this case at the end of the driveway near the rear of the house. However, the new property owners would like to have the garage connected to the house and are proposing a garage tucked behind the house with no visibility from the front streetscape.

The applicant is proposing a flat-paneled metal overhead garage door. The *Guideline* states that metal with composite or wood trim is allowable for rear garage doors with no visibility from the front right-of-way.

The Commission should provide feedback on whether the proposed garage meets the *Guidelines* and is compatible with the Chautauqua Historic District.

Accessory Dwelling Unit

The City of Norman recently passed an Accessory Dwelling Unit ordinance that allows for either an attached or detached accessory dwelling unit in the R-1, Single Family Dwelling District. The

ordinance limits the maximum square footage for accessory dwelling unit to 650 square feet. The proposed accessory dwelling unit will be

The proposed accessory dwelling unit is located on the rear of the house without any visibility from the front streetscape.

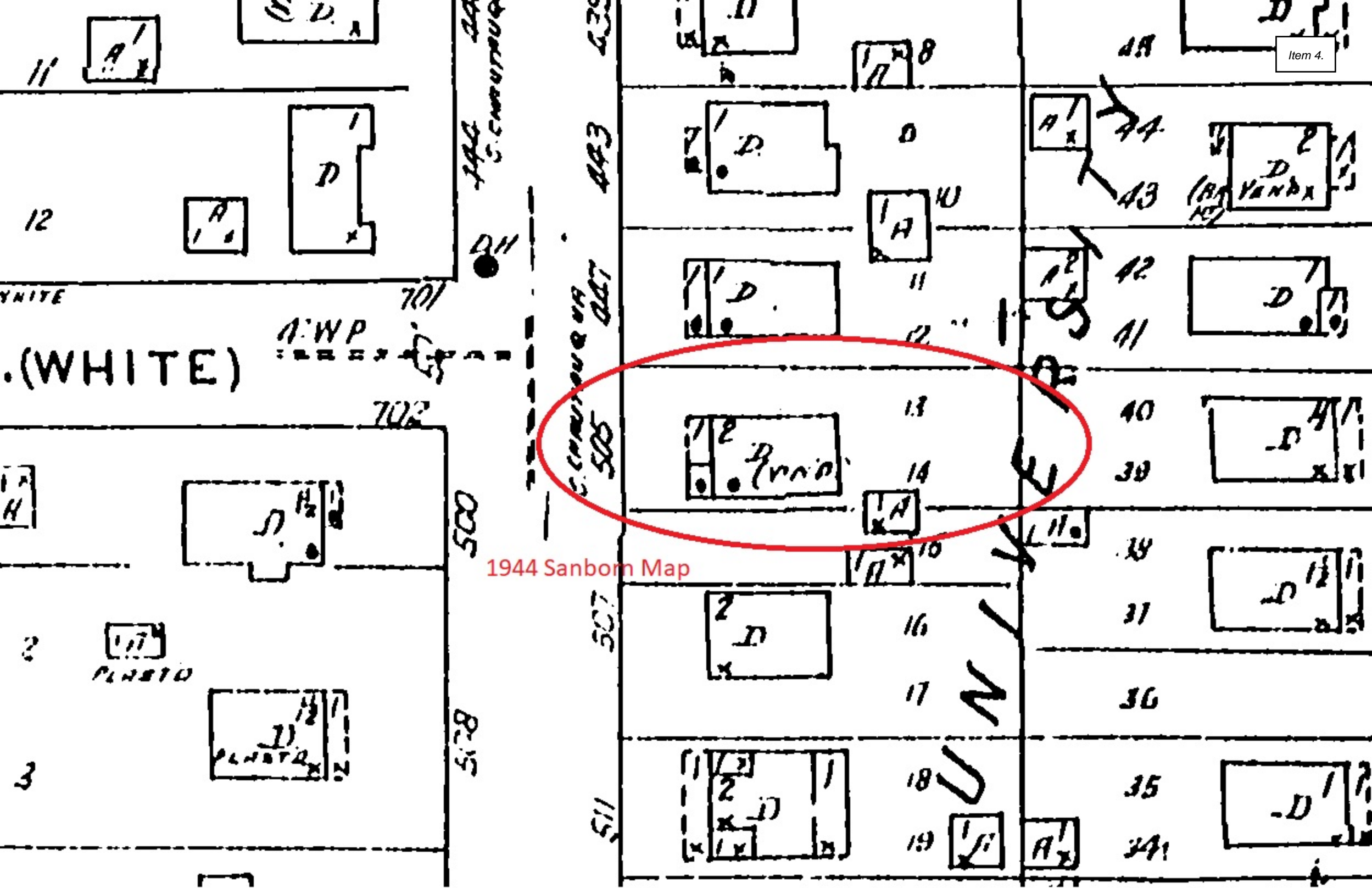
Other Elements

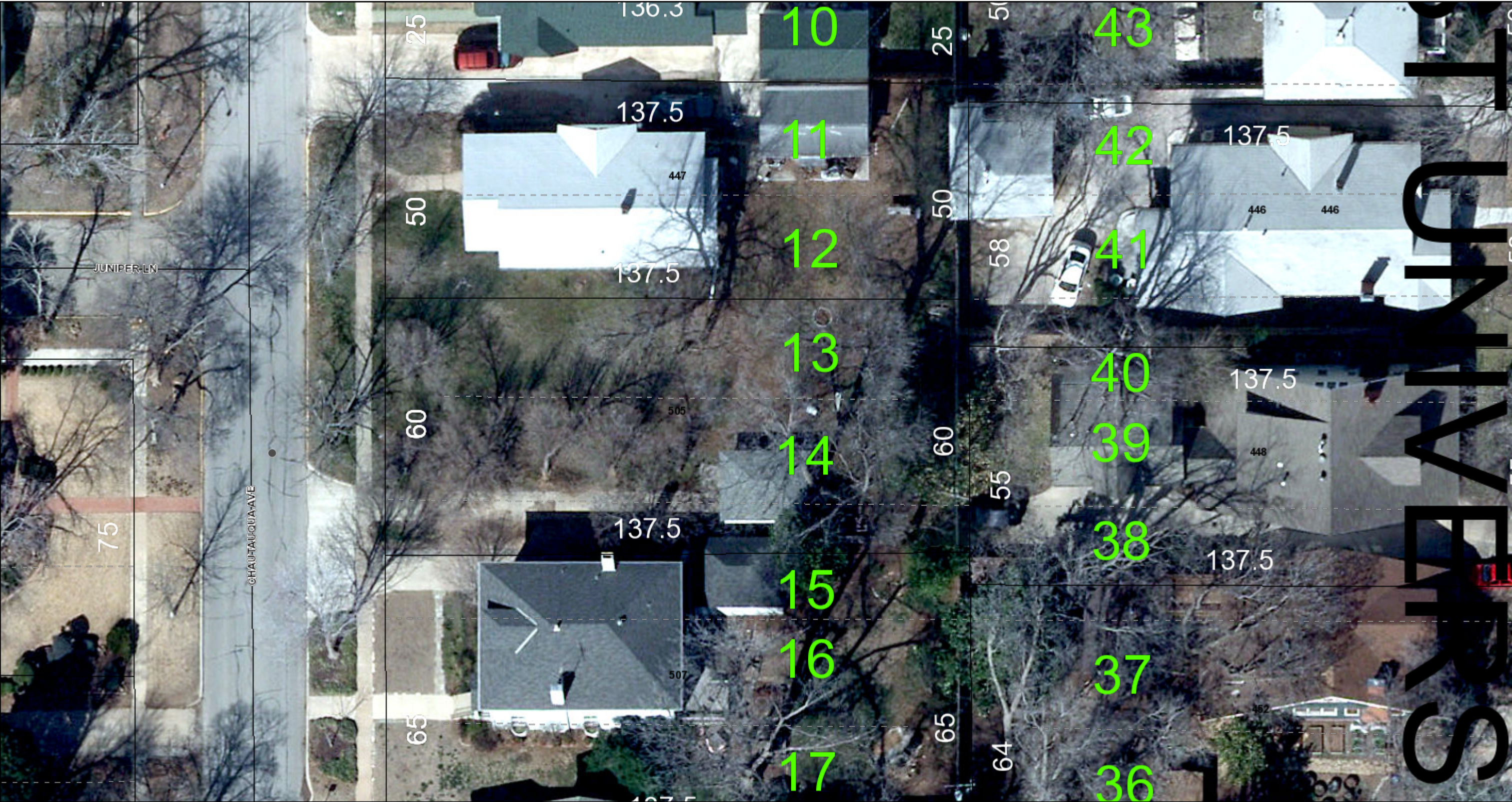
The applicant is proposing a side yard patio the length of the south side of the house. Brick wing walls will extend from the front façade to the screen and enclose the side yard on the south side. This is not a typical feature found in the Chautauqua Historic District.

The Commission should provide feedback on whether the proposed patio and wing walls meet the *Guidelines* and are compatible with the District.

Commission Action: (HD 24-13) Feedback discussion regarding a future request to demolish the existing garage and construct a new single-family house with an accessory dwelling unit for the property located at 505 Chautauqua Avenue.

This is for discussion and feedback only. There will not be a vote taken.





7/16/2024, 9:28:31 AM

- Easement
- Conservation Easements
- Lot Line
- Parcel
- Address Number
- OU
- Lake Thunderbird
- Railroad
- Streets
- Centerline Labels (10,000+)

AerialPhoto2013

Red: Band_1

Green: Band_2

Blue: Band_3

AerialPhoto2005

Red: Band_1

Green: Band_2

Blue: Band_3

AerialPhoto2007

Red: Band_1

Green: Band_2

Blue: Band_3

AerialPhoto2010

Red: Band_1

Green: Band_2

Blue: Band_3

AerialPhoto2001

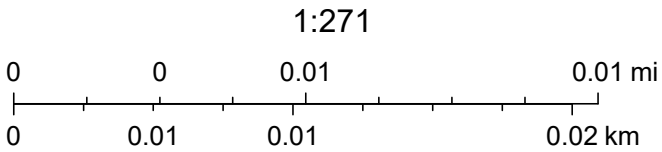
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AerialPhoto1997

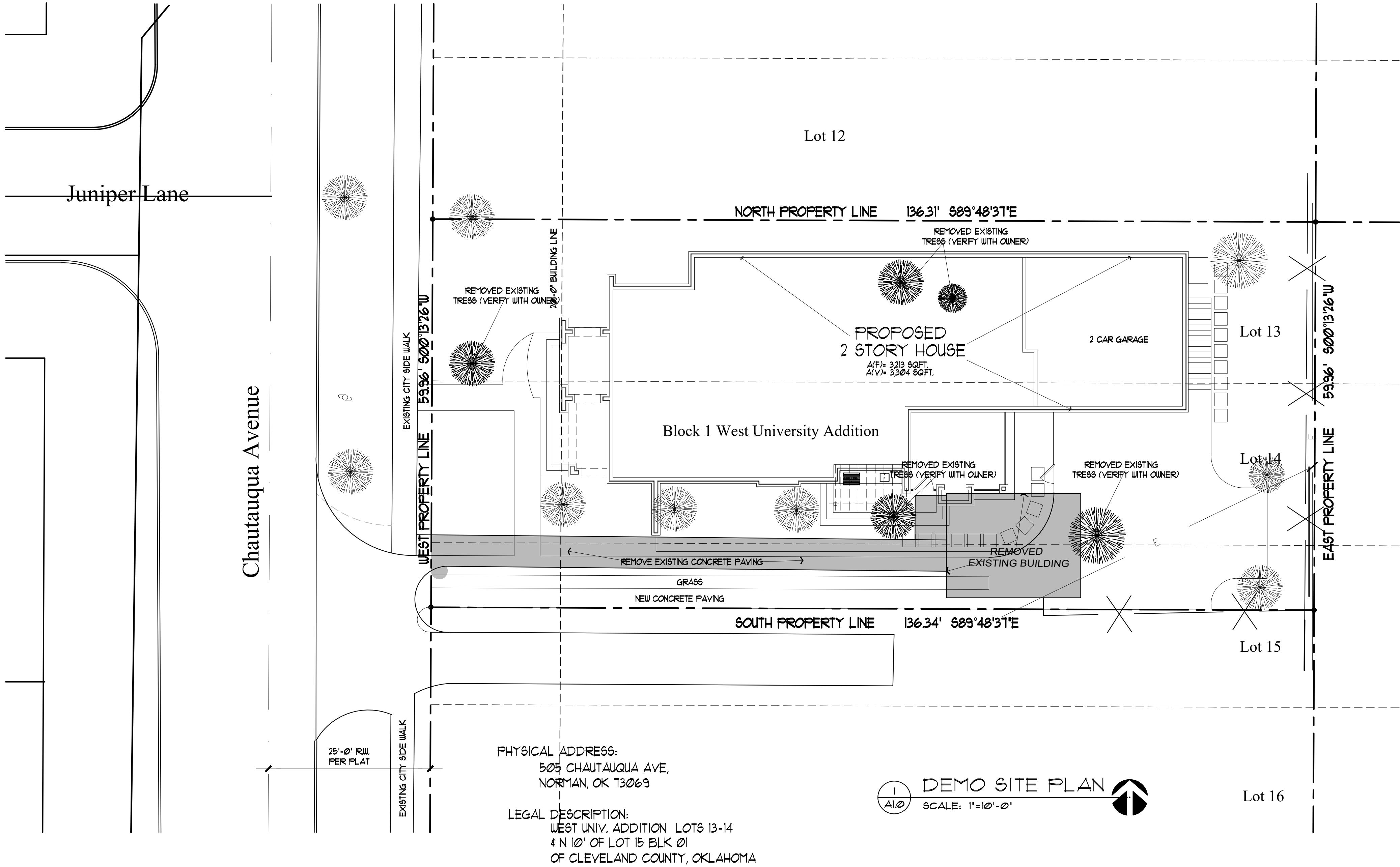
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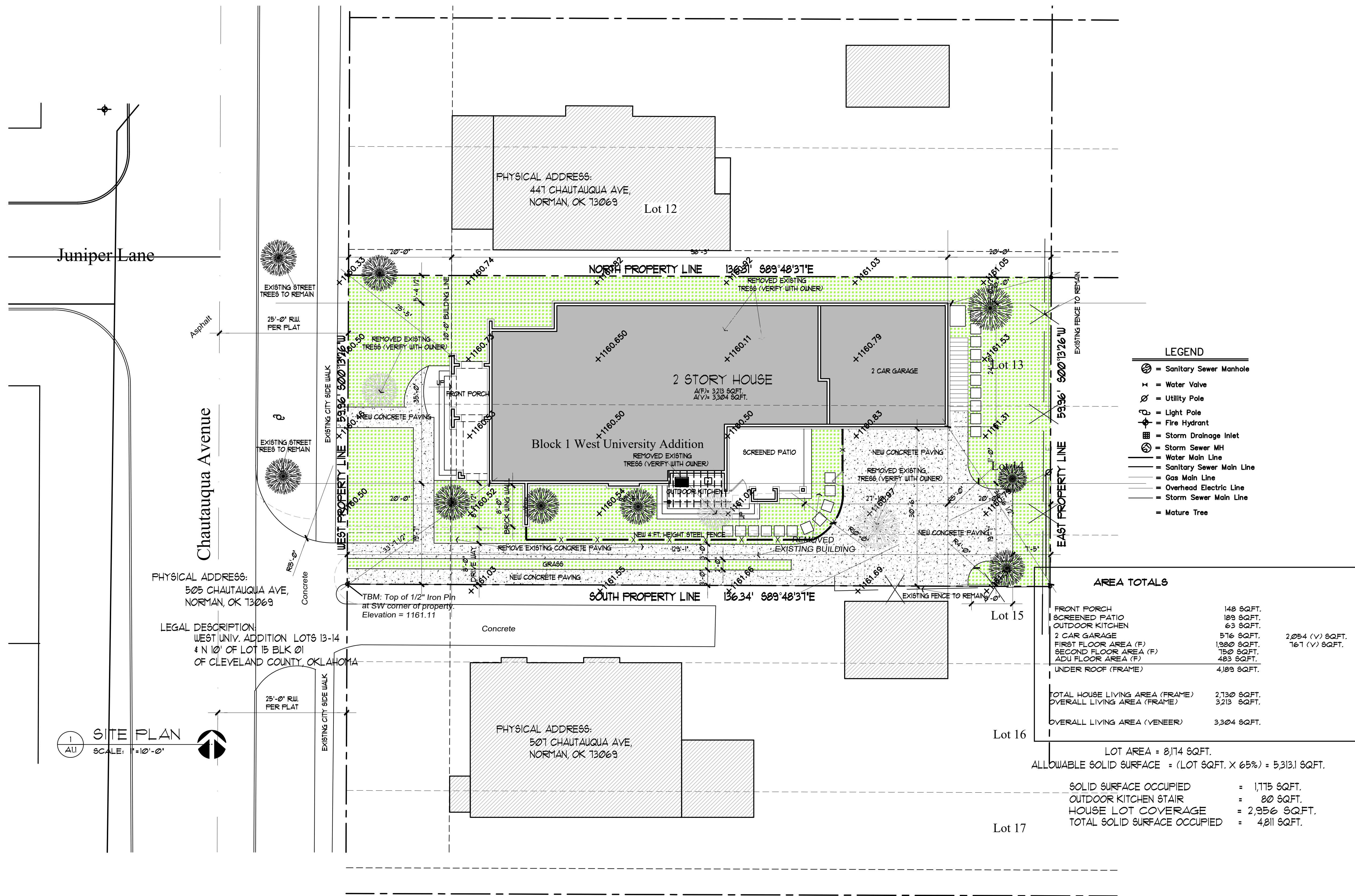


City of Norman, GIS Services Division, Merrick

The City of Norman Historic District Commission		Staff Only Use:	
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)		HD Case # _____	
Feedback on new construction		Date _____	
		Received by: _____	
Note: Any relevant building permits must be applied for and paid for separately in the Planning and Community Development Office 405-366-5311.			
Address of Proposed Work:		505 Chautauqua Ave	
Applicant's Contact Information:			
Applicant's Name: Owen Love (Sound Builds, LLC)			
Applicant's Phone Number(s): (405) 880-5449			
Applicant's E-mail address: owen@builditsound.com			
Applicant's Address: 3101 Venice Ct., Norman, OK 73071			
Applicant's relationship to owner:		<input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Engineer <input type="checkbox"/> Architect	
Owner's Contact Information: (if different than applicant)			
Owner's Name: Brittani Beaver & Michael Serna			
Owner's Phone Number(s): (918) 808-5918 & (918) 688-6794			
Owner's E-mail: brittani.beaver@ou.edu & maserna2@gmail.com			
Project(s) proposed: (List each item of work proposed. Work not listed here cannot be reviewed.)			
1) Construction of a single-family residence with attached ADU			
2) Demolition of an existing garage			
3)			
4)			
Supporting documents such as project descriptions, drawings and pictures are required see checklist page for requirements.			
Authorization: I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer			
Property Owner's Signature:		<i>Brittani Beaver</i>	
		Date: 7/12/24	
<input checked="" type="checkbox"/> (If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.			
Authorized Representative's Printed Name: Owen Love			
Authorized Representative's Signature:		<i>Owen Love</i>	
		Date: 7/12/24	



- LEGEND
- Sanitary Sewer Manhole
 - Water Valve
 - Utility Pole
 - Light Pole
 - Fire Hydrant
 - Storm Drainage Inlet
 - Storm Sewer MH
 - Water Main Line
 - Sanitary Sewer Main Line
 - Gas Main Line
 - Overhead Electric Line
 - Storm Sewer Main Line
 - Mature Tree





FRONT PORCH	148 SQ.FT.	
SCREENED PATIO	189 SQ.FT.	
OUTDOOR KITCHEN	63 SQ.FT.	
2 CAR GARAGE	516 SQ.FT.	2Ø54 (V) SQ.FT.
FIRST FLOOR AREA (F)	13820 SQ.FT.	1671 (V) SQ.FT.
SECOND FLOOR AREA (F)	150 SQ.FT.	
ADU FLOOR AREA (F)	483 SQ.FT.	
UNDER ROOF (FRAME)	4,189 SQ.FT.	

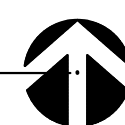
TOTAL HOUSE LIVING AREA (FRAME)	2,130 SQFT.
OVERALL LIVING AREA (FRAME)	3,213 SQFT.
OVERALL LIVING AREA (VENEER)	3,304 SQFT.

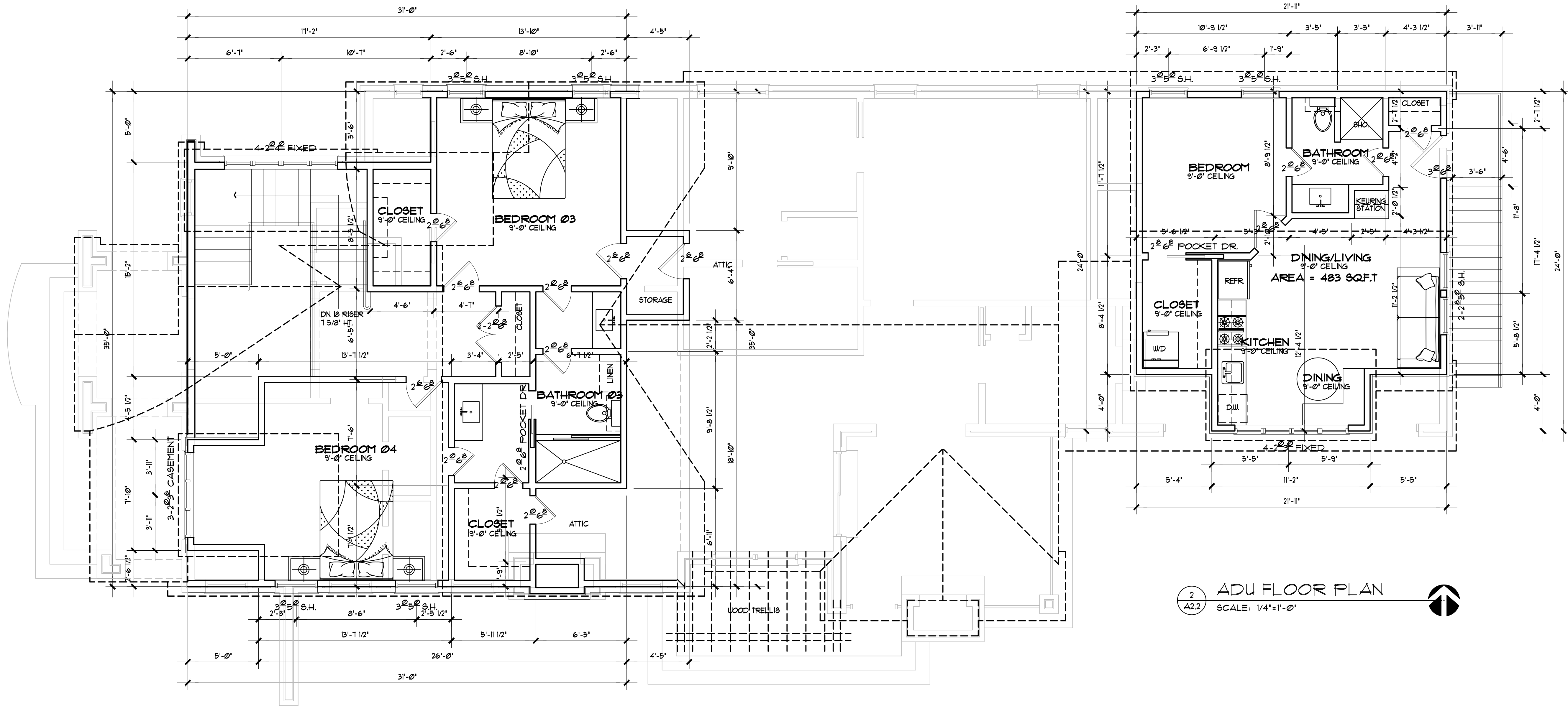
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A2.1

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SCALE: 1/4"=1'-0"





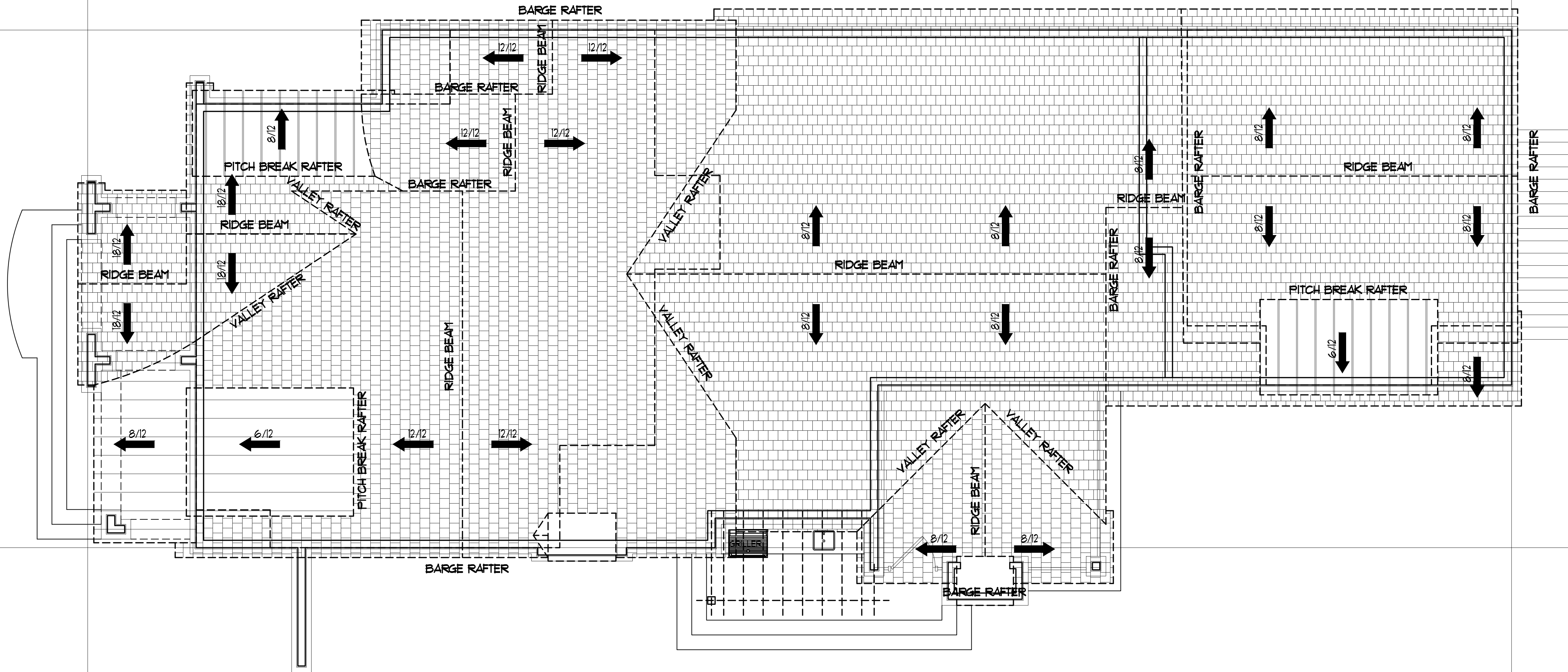
2 SECOND FLOOR PLAN
A2.2 SCALE: 1/4"=1'-0"

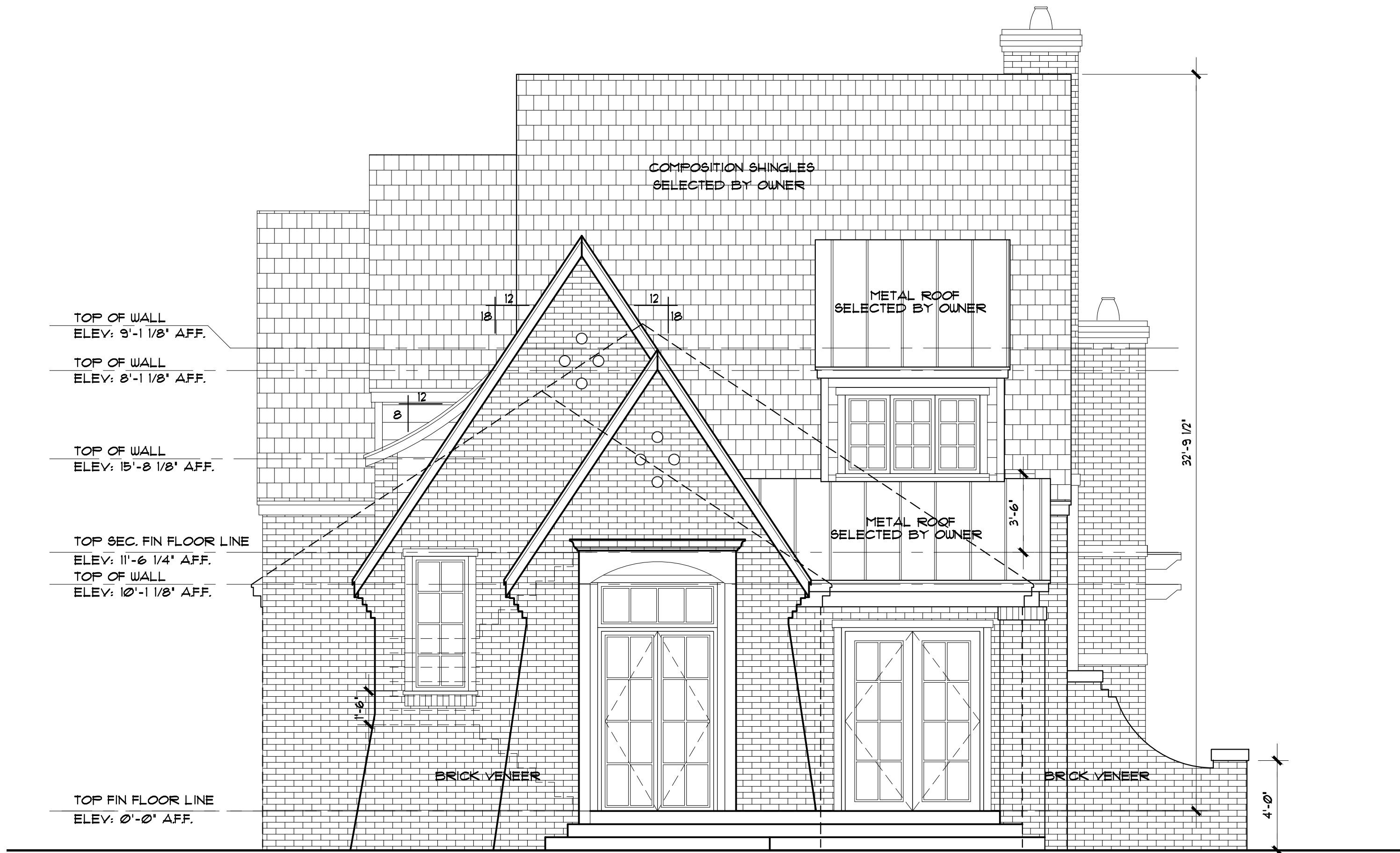
2 ADU FLOOR PLAN
A2.2 SCALE: 1/4"=1'-0"

AREA TOTALS

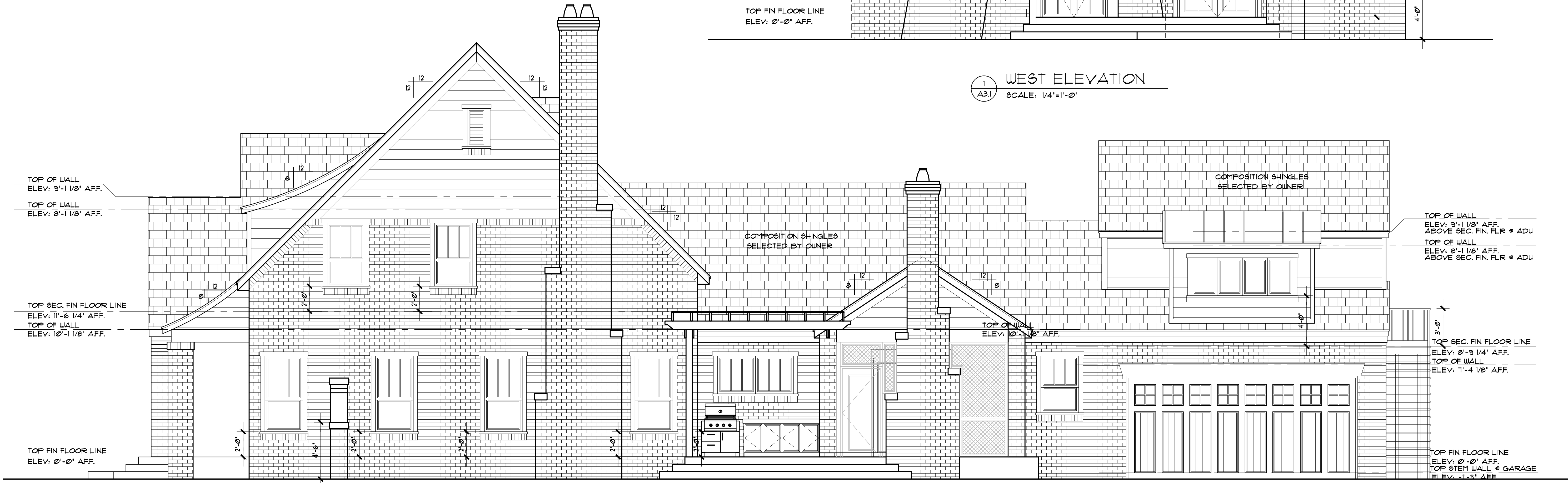
FRONT PORCH	148 SQ.FT.	
SCREENED PATIO	189 SQ.FT.	
2 CAR GARAGE	576 SQ.FT.	
FIRST FLOOR AREA (F)	1380 SQ.FT.	2,054 (V) SQ.FT.
SECOND FLOOR AREA (F)	150 SQ.FT.	761 (V) SQ.FT.
ADU FLOOR AREA (F)	483 SQ.FT.	
UNDER ROOF (FRAME)	4,126 SQ.FT.	
TOTAL HOUSE LIVING AREA (FRAME)	2,730 SQ.FT.	
OVERALL LIVING AREA (FRAME)	3,213 SQ.FT.	
OVERALL LIVING AREA (VENEER)	3,304 SQ.FT.	

1 ROOF PLAN
A2.3 SCALE: 1/4"=1'-0"



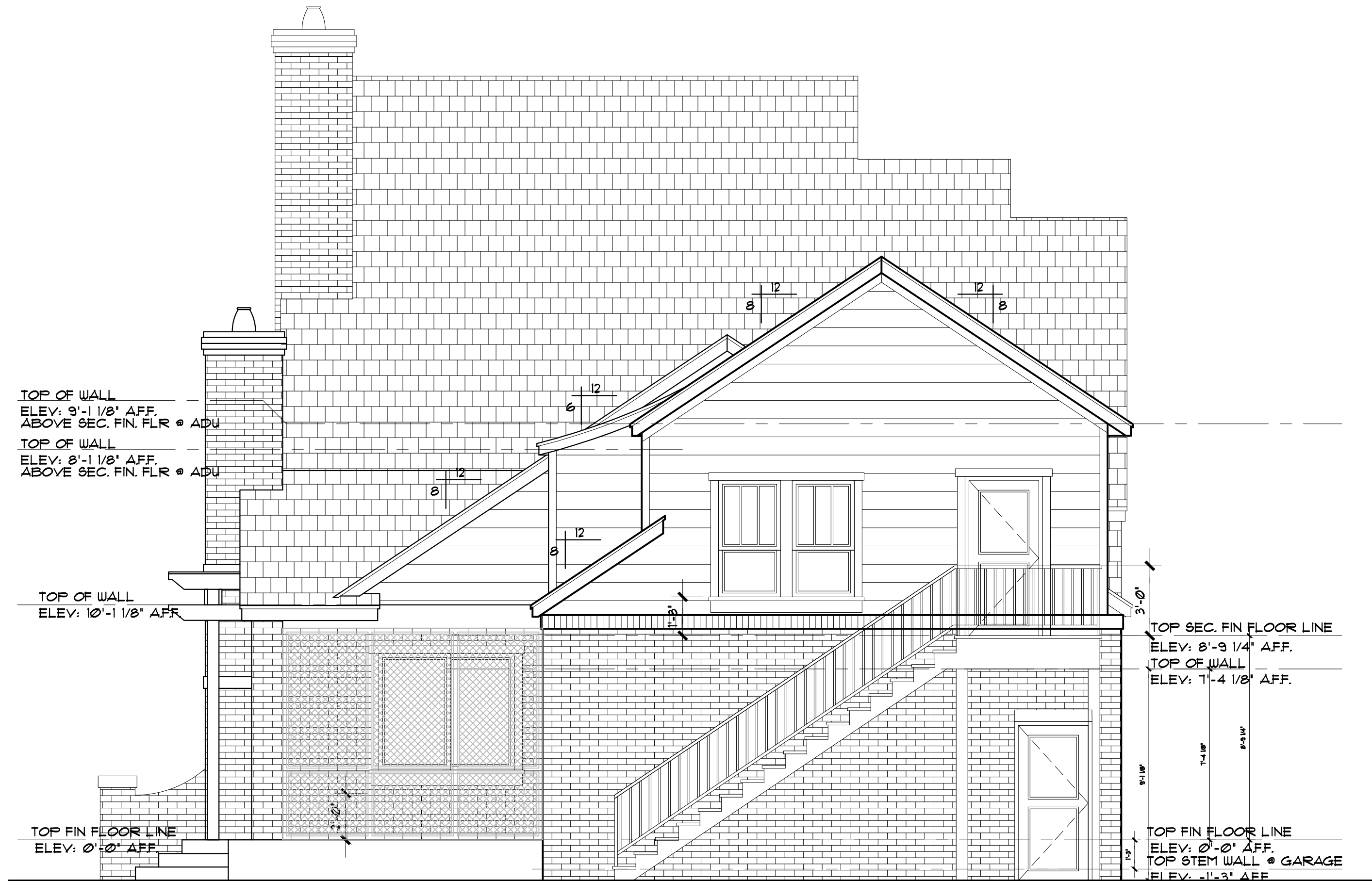


1 WEST ELEVATION
SCALE: 1/4"=1'-0"

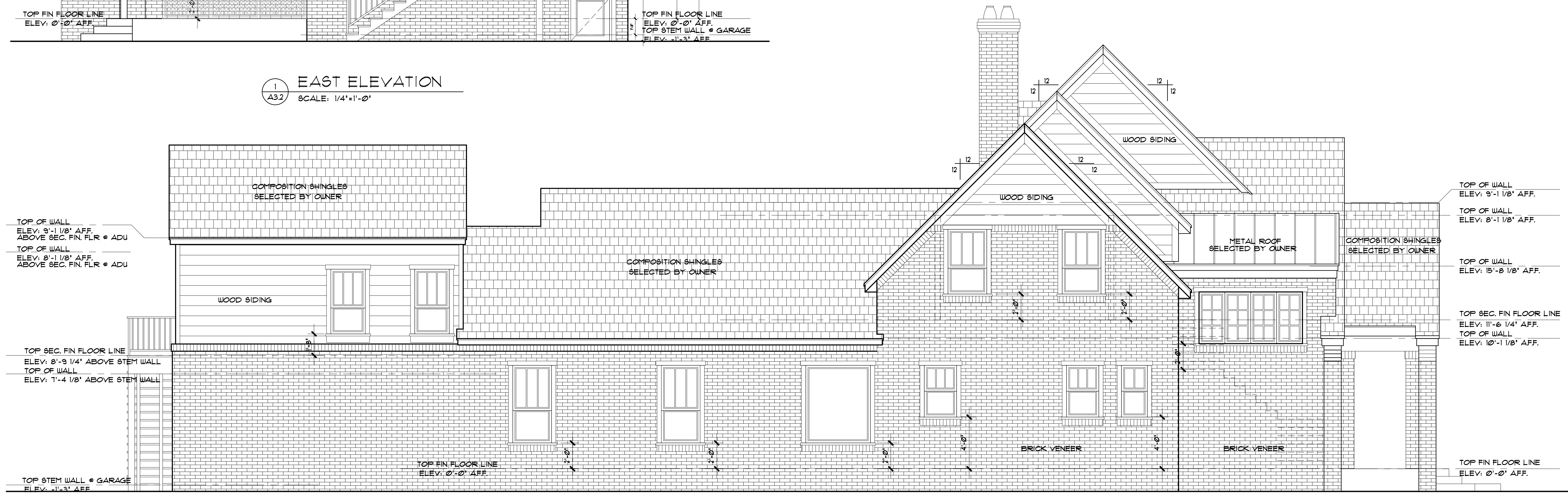


2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ELEVATIONS

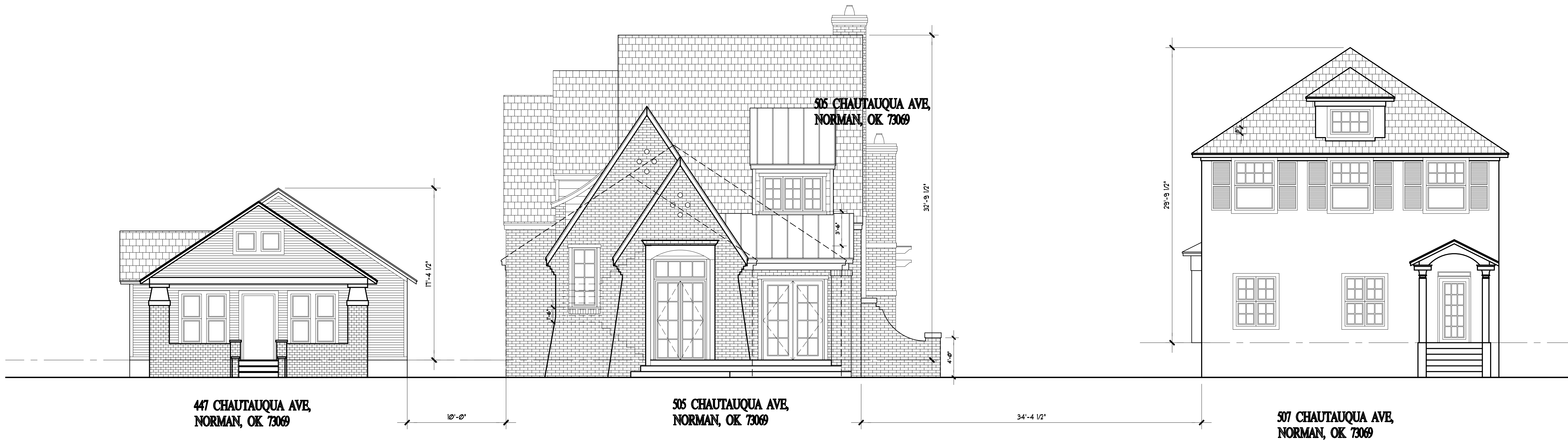


1 EAST ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"

ELEVATIONS





GENERAL NOTES:

FOUNDATION & EXCAVATION NOTES:

1. FOOTING DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. THIS VALUE MUST BE CONFIRMED BY SOIL TESTS ON ACTUAL SITE. IF SOIL TESTS SHOW A LOWER ALLOWABLE BEARING VALUE, FOUNDATION DESIGN SHALL BE REVISED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS OF THE GEOTECH ENGINEER.
2. ALL VEGETATION, TOP SOIL, AND ANY LOOSE MATERIAL BENEATH THE PROPOSED BUILDING SITE SHALL BE STRIPPED AND REMOVED. EXPOSED SUBGRADE SHALL BE PROOF-ROLLED AND SOILS WHICH ARE OBSERVED TO RUT AND DEFLECT EXCESSIVELY SHALL BE UNDERCUT AND REMOVED ALSO.
3. ON-SITE MATERIAL USED AS FILL MATERIAL SHALL BE TREATED WITH EITHER LIME OR CLASS 'C' FLY ASH. A MINIMUM APPLICATION RATE OF 5 TO 6 PERCENT LIME OR 15 TO 18 PERCENT CLASS 'C' FLY ASH, BASED ON THE DRY UNIT WEIGHT OF THE SOILS, SHALL BE USED.

REINFORCING STEEL NOTES:

1. ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318-95, 'BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE' AND ACI 315-95, 'STANDARD DETAILING MANUAL'.
2. REINFORCING STEEL SHALL MEET ASTM A-615, GRADE 60.
3. PROVIDE BENT BARS AT CORNERS, UNLESS SHOWN OTHERWISE ON THE PLANS. BARS THAT ARE TOO LONG TO BE PLACED IN ONE PIECE SHALL BE LAP SPICED AT A DISTANCE AS GIVEN BELOW. FOR HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW, USE 14 TIMES THESE DISTANCES:
- | | | | |
|----------|------|----------|------|
| #3 BARS | 16' | #4 BARS | 22' |
| #5 BARS | 21' | #6 BARS | 35' |
| #7 BARS | 48' | #8 BARS | 63' |
| #9 BARS | 80' | #10 BARS | 102' |
| #11 BARS | 115' | | |
4. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-185. EDGE AND END SPICES SHALL HAVE A MINIMUM LAP OF ONE FULL MESH AND SHALL BE HELD IN PLACE BY WIRING ALL LAPS SECURELY TOGETHER.
5. REINFORCING SHALL NOT BE WELDED IN ANY MANNER UNLESS APPROVED BY THE ENGINEER.
6. ALL REINFORCING STEEL IN FOOTINGS SHALL BE SUPPORTED FROM ABOVE WHILE POURING CONCRETE.

CONCRETE NOTES:

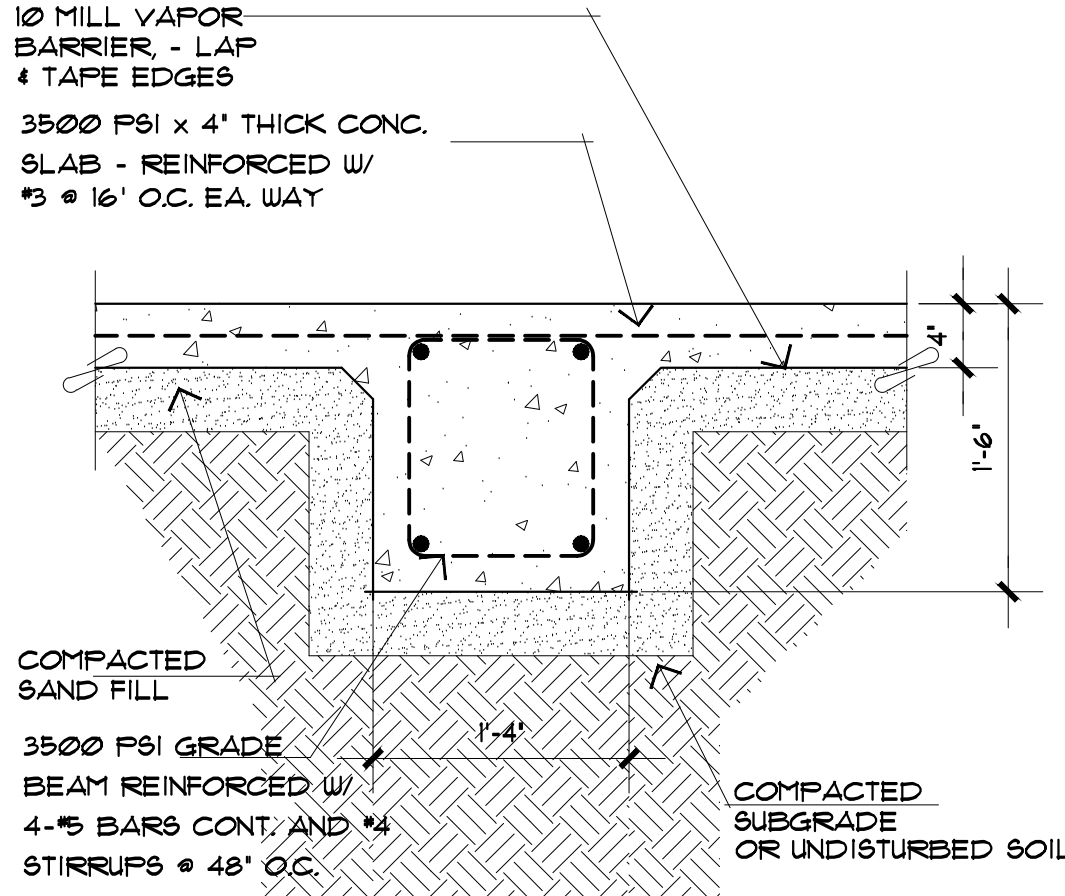
1. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS NOTED OTHERWISE.
2. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-95, 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS', AND ACI 308-95, 'BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE'.
3. ALL EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4", UNLESS NOTED OTHERWISE.
4. CLEAR DISTANCES FROM CAST-IN-PLACE CONCRETE SURFACES TO REINFORCING SHALL BE NO LESS THAN THE FOLLOWING UNLESS NOTED OTHERWISE:
- | | |
|--------------------|-------------|
| WALLS | 3" |
| BEAMS AND COLUMNS | 1 1/2" |
| GRADE BEAMS | 2" |
| BOTTOM OF FOOTINGS | 3" |
| SLABS-ON-GRADE | 2" FROM TOP |
| SUPPORTED SLABS | 1" |

STICK FRAMING NOTES:

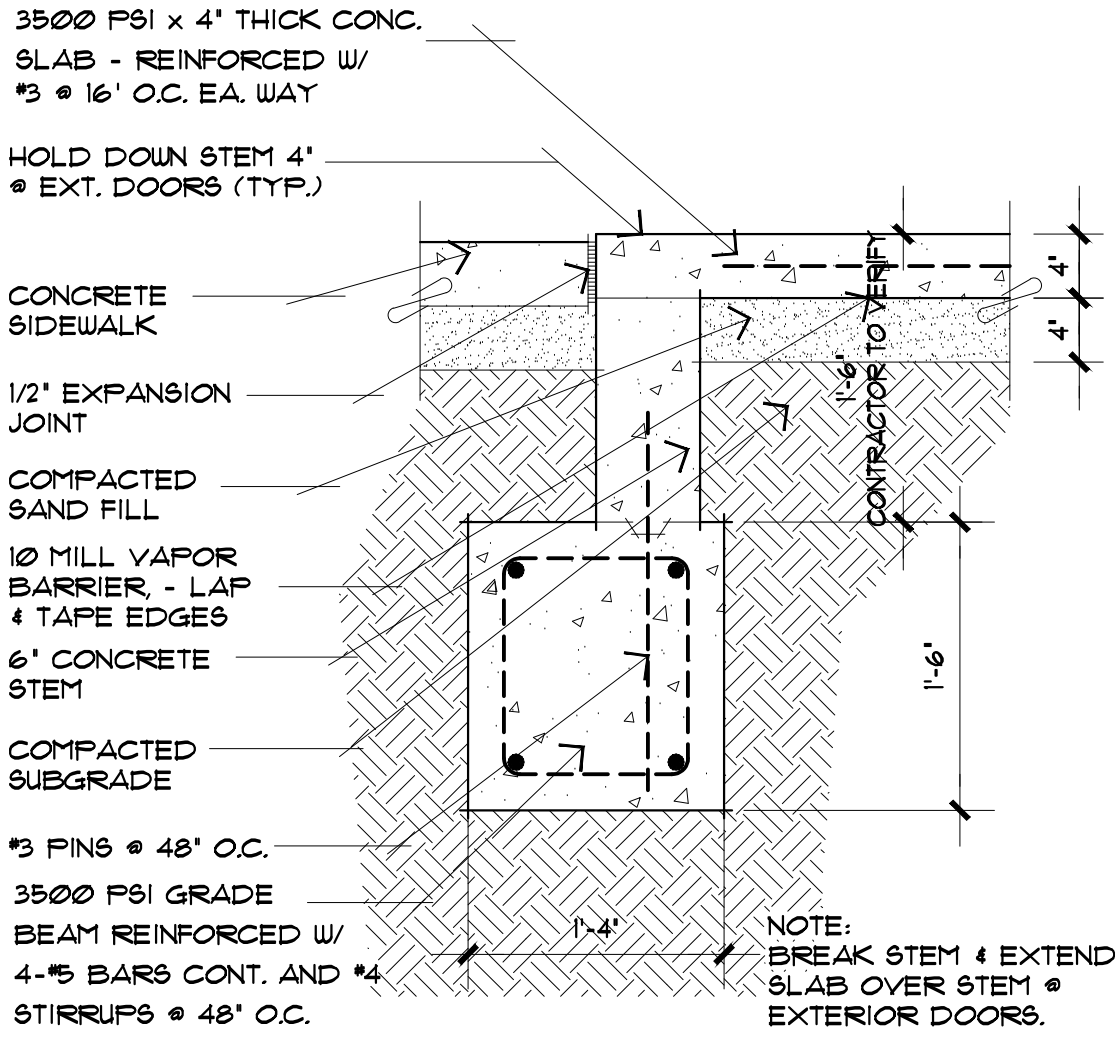
- A. CEILING JOISTS SHALL BE ONE OF THE FOLLOWING
- 2x6's @ 16" O.C. W/ MAX. SPAN OF 15'-6"
 - 2x6's @ 24" O.C. W/ MAX. SPAN OF 14'-9"
 - 2x8's @ 24" O.C. W/ MAX. SPAN OF 18'-9"
 - 2x8's @ 48" O.C. W/ MAX. SPAN OF 14'-6"
- B. RAFTERS SHALL BE ONE OF THE FOLLOWING:
- 2x6's @ 16" O.C. W/ MAX. SPAN OF 10'-0"
 - 2x6's @ 24" O.C. W/ MAX. SPAN OF 9'-0"
 - 2x8's @ 16" O.C. W/ MAX. SPAN OF 14'-0"
 - 2x8's @ 24" O.C. W/ MAX. SPAN OF 11'-0"
 - 2x10's @ 16" O.C. W/ MAX. SPAN OF 11'-0"
 - 2x10's @ 24" O.C. W/ MAX. SPAN OF 14'-0"
 - 2x12's @ 16" O.C. W/ MAX. SPAN OF 24'-0"
 - 2x12's @ 24" O.C. W/ MAX. SPAN OF 21'-0"

WOOD FRAMING NOTES:

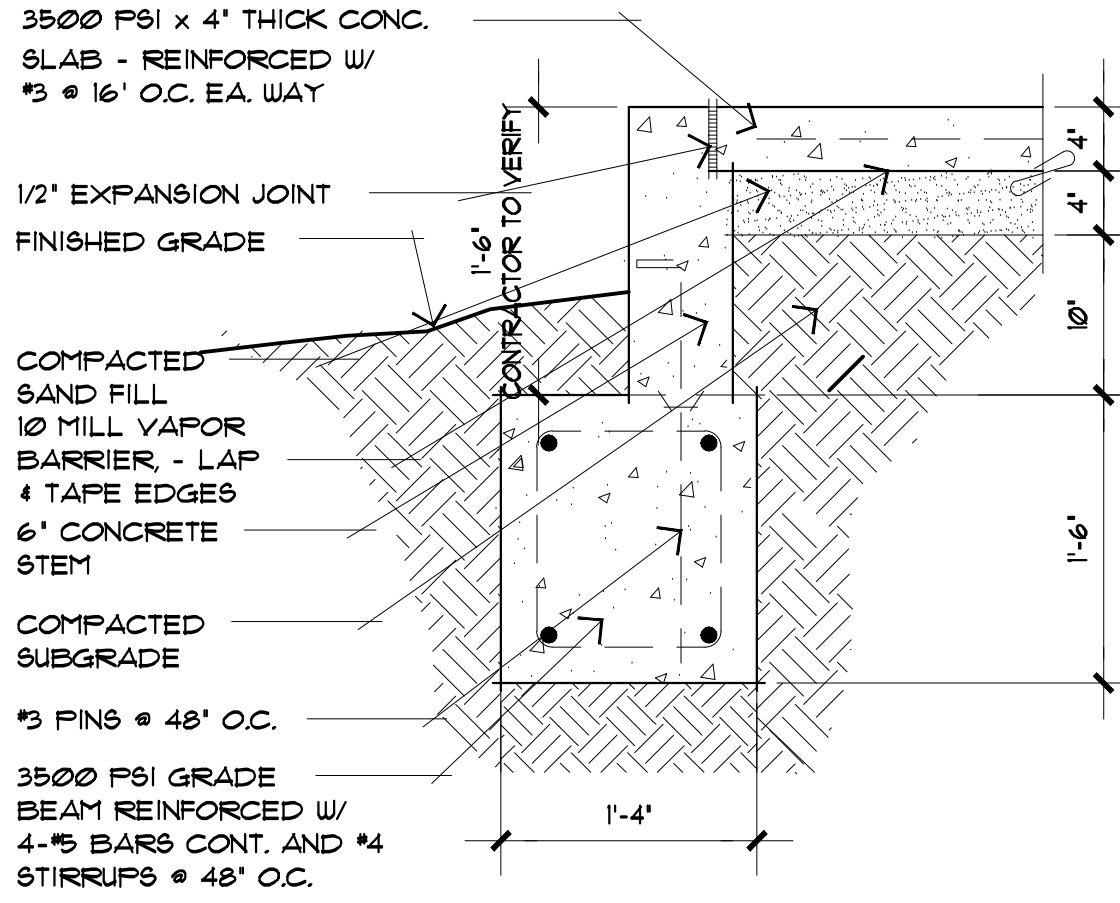
1. ALL STRUCTURAL WOOD FRAMING SHALL BE PROPORTIONED, FABRICATED, DELIVERED, AND ERECTED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE TIMBER CONSTRUCTION MANUAL, AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, LATEST EDITION.
2. UNLESS NOTED OTHERWISE, ALL SAWN LUMBER FRAMING SHALL BE DOUGLAS FIR SO. PINE, OR HEM-FIR WITH THE FOLLOWING MINIMUM ALLOWABLE STRESSES AND PROPERTIES FOR NORMAL DURATION OF LOAD, SINGLE MEMBER USE, AND USE AT MAXIMUM MOISTURE CONTENT OF 19 %
- A) BEAMS AND RAFTERS: (NO. 2 GRADE)
- EXTREME FIBER IN BENDING, F = 1250 PSI
 - HORIZONTAL SHEAR, F = 90 PSI
 - MODULUS OF ELASTICITY, E = 1,600,000 PSI
- B) PREFABRICATED WOOD TRUSSES AND JOISTS: (ACCORDING TO MANUFACTURER)
3. ALL WALL SHEATHING AS SHOWN ON THE DRAWINGS SHALL BE 1/2" APA RATED SHEATHING WITH A 40/20 SPAN RATING.
4. ALL ROOF DECKING AS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE 5/8" APA RATED DECK WITH A 40/20 SPAN RATING.
5. OSB DECK OR SHEATHING WILL BE PERMITTED ONLY WITH THE OWNER'S APPROVAL. IF OSB IS USED IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PONDING WATER AND OTHER WEATHER EFFECTS ARE NOT ALLOWED TO DETERIORATE THE SURFACE OF THE OSB DECK.
6. A 1/8 INCH GAP SHOULD BE PROVIDED AT THE PERIMETER OF ADJACENT DECK OR SHEATHING PANELS TO ALLOW FOR EXPANSION DUE TO MOISTURE EXPOSURE DURING CONSTRUCTION.
7. WHEN DECK OR SHEATHING PANELS ARE INSTALLED IN A LARGE AREA A TEMPORARY EXPANSION JOINT SHOULD BE CREATED BY OMITTING ONE PANEL EVERY 80 FEET. THE ADJACENT DIAGONAL PANELS SHOULD BE OMITTED CREATING A SAW-TOOTH PATTERN.
8. PROVIDE DOUBLE TJIS AT SECOND FLOOR WALLS PARALLEL TO TJIS.



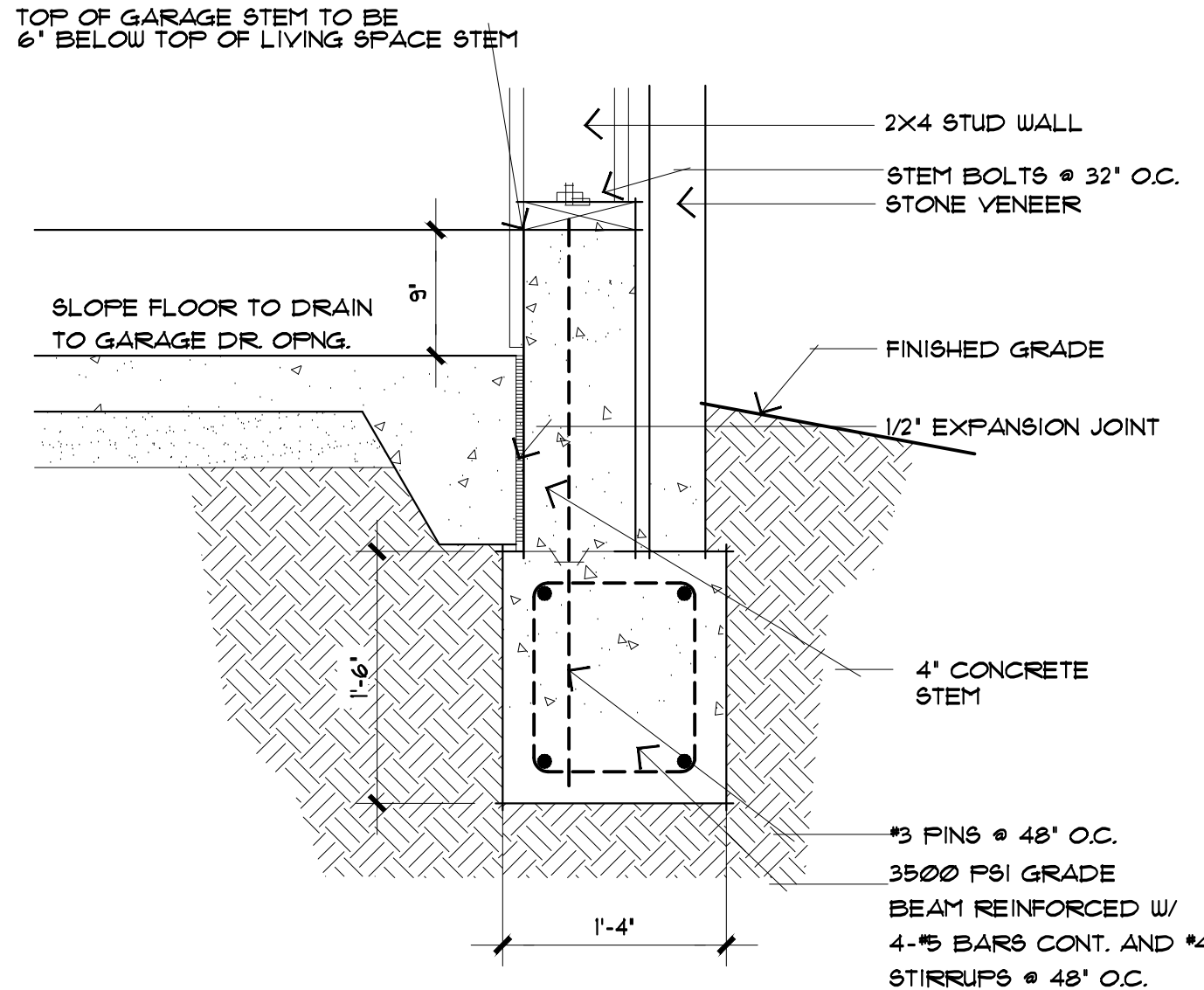
1
A4.2
SCALE: 1"=1'-0"



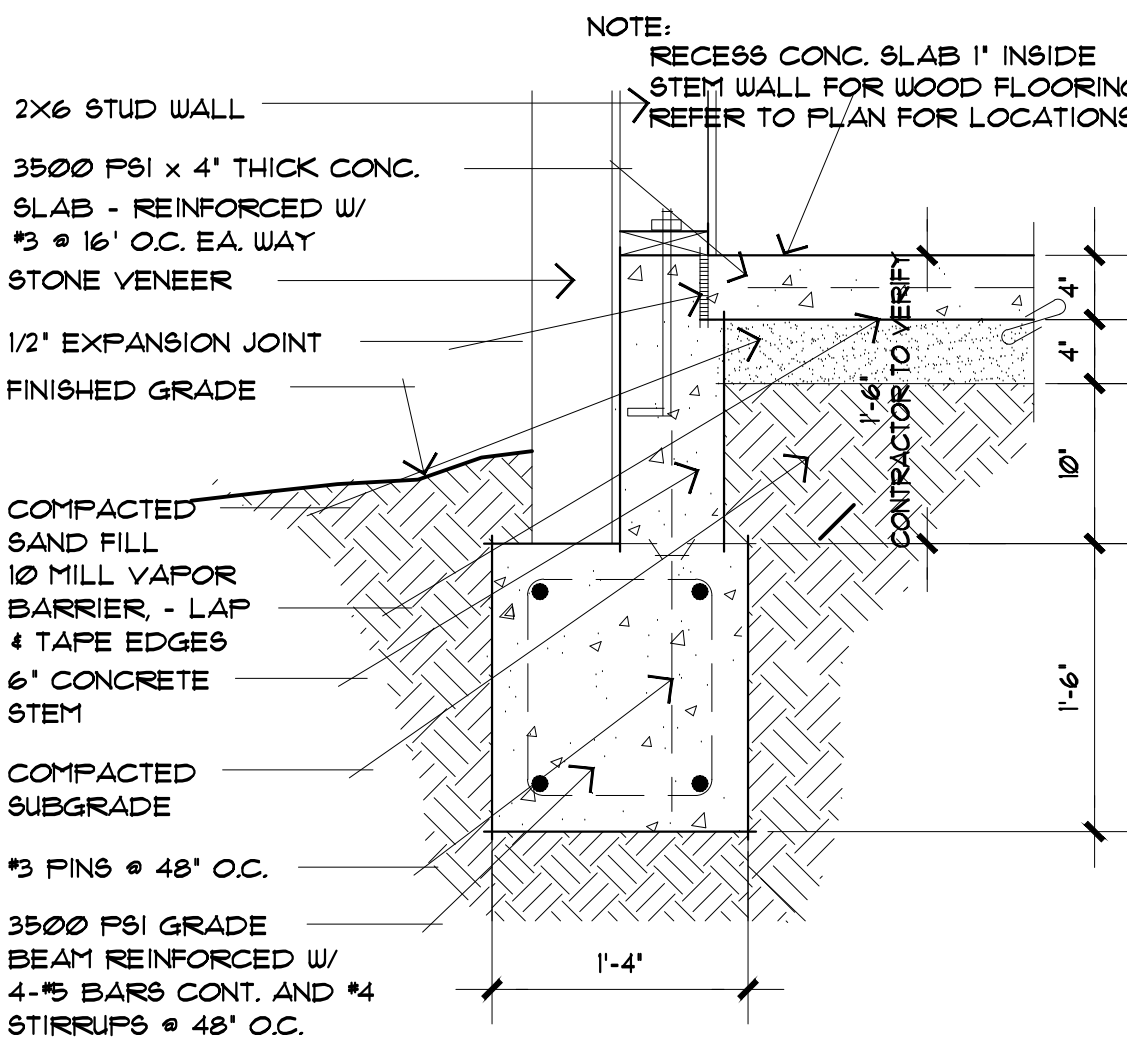
2
A4.2
SCALE: 1"=1'-0"



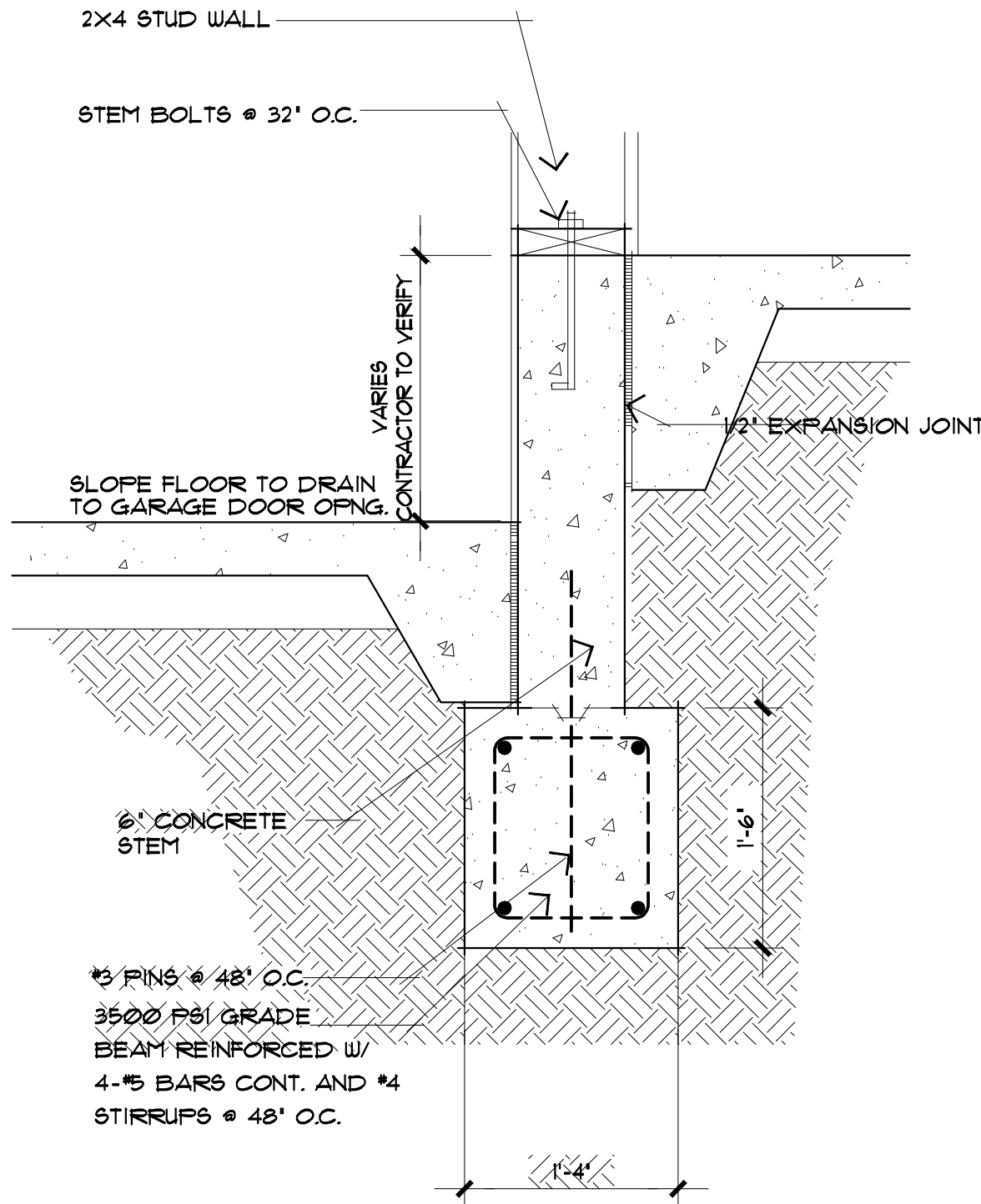
3
A4.2
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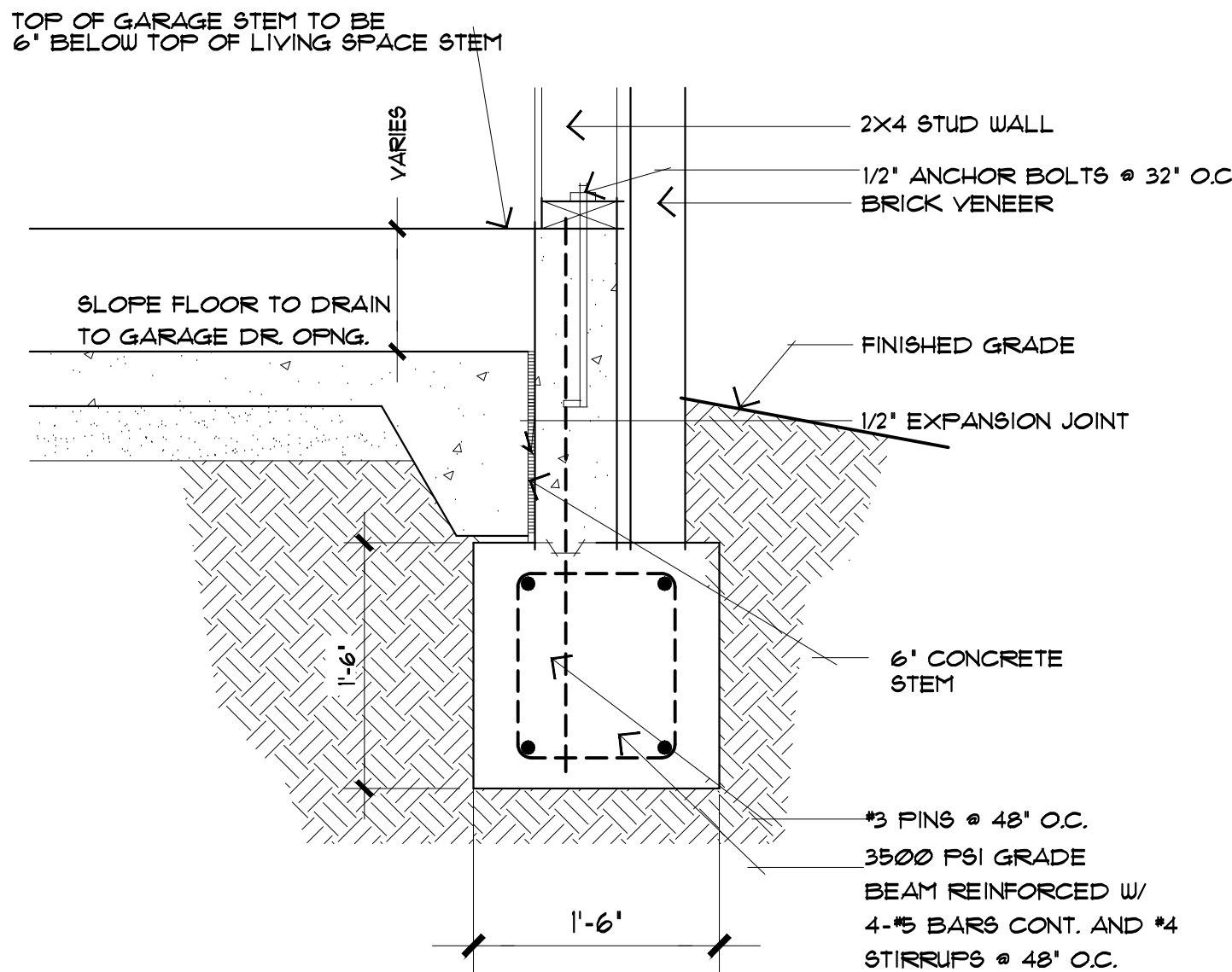
4
A4.2
SCALE: 1"=1'-0"



5
A4.2
SCALE: 1"=1'-0"



6
A4.2
SCALE: 1"=1'-0"



7
A4.2
SCALE: 1"=1'-0"

FOUNDATION NOTES
AND DETAILS

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PROJECT #: 24-018
DATE: 06.29.24
DRAWING NO.

A4.2



ELECTRICAL SYMBOLS LEGEND:

	CABLE TV JACK		3-WAY SWITCH
	TELEPHONE JACK		SINGLE POLE SWITCH
	COMPUTER JACK		DIMMER SWITCH
	HEATED VENTILATION LIGHT FIXTURE		WALL MOUNTED EXTERIOR LIGHT FIXTURE
	VENTILATION LIGHT FIXTURE		EXTERIOR FLOOD LIGHTING
	VENTILATION		4PLEX OUTLET
	SURFACE MOUNTED INCANDESCENT		DUPLEX OUTLET
	ACFX		RECESSED WALL WASHER
	WALL MOUNTED ACCENT LIGHT FIXTURE		220V UTILITY OUTLET
	FLOOR PLUG		DUPLEX OUTLET AT 42" HT.
	EXTERIOR DUPLEX OUTLET		UNDERCOUNTER LIGHTING
	SIDEWALL STEP LIGHTS SELECTED BY OWNER		CEILING MOUNTED ACCENT LIGHT FIXTURE
	INTERIOR RECESSED FIXTURE		EXTERIOR RECESSED SOFFIT FIXTURE
	WATERPROOF SHOWER RECESSED FIXTURE		SMOKE DETECTOR
	SLOPED		LIGHTED CEILING FAN
	GARAGE DOOR OPENER		CARBON MONOXIDE/SMOKE DETECTOR
	CEILING MOUNTED PROJECTOR		SMOKE DETECTOR
	SWITCHED OUTLET		





















