

CITY OF NORMAN, OK GREENBELT COMMISSION

Development Center, Conference Room B, 225 N. Webster Avenue,
Norman, OK 73069
Tuesday, June 20, 2023 at 5:30 PM

AGENDA

It is the policy of the City of Norman that no person or groups of persons shall on the grounds of race, color, religion, ancestry, national origin, age, place of birth, sex, sexual orientation, gender identity or expression, familial status, marital status, including marriage to a person of the same sex, disability, retaliation, or genetic information, be excluded from participation in, be denied the benefits of, or otherwise subjected to discrimination in employment activities or in all programs, services, or activities administered by the City, its recipients, sub-recipients, and contractors. In the event of any comments, complaints, modifications, accommodations, alternative formats, and auxiliary aids and services regarding accessibility or inclusion, please contact the ADA Technician at 405-366-5424, Relay Service: 711. To better serve you, five (5) business days' advance notice is preferred.

A. Call to Order

B. Roll Call

C. Approval of the April 18, 2023 Greenbelt Commission Minutes

1. April 18, 2023 Greenbelt Commission Minutes

D. Review of the Greenbelt Enhancement Statement - CONSENT DOCKET

2. **GBC 23-11**
APPLICANT

Williams, Box, Forshee, & Bullard, P.C.

LOCATION

SW Corner of 48th Ave. NW and Franklin Rd.

PROPOSAL

Certificate of Survey to build an electric substation on the property (COS – Normal Hills)

NORMAN 2025 LAND USE

Current: Very Low-Density Residential

Proposed: Industrial

3. **GBC 23-12**
APPLICANT

Cimarron Precious Metals, Inc.

LOCATION

1001 N. University Boulevard

PROPOSAL

NORMAN 2025 Land Use Plan Amendment to remove Special Planning Area 3 designation; Rezone from Light Industrial (I-1)

to a Simple Planned Unit Development (SPUD).

NORMAN 2025 LAND USE

Current: Commercial with SPA-3

Proposed: Removal of SPA-3, keeping Commercial Designation

4. **GBC 23-13**
APPLICANT

West Franklin Holding Company, LLC

LOCATION

West of 48th Ave. NW, South of Franklin Rd, and North of W. Tecumseh Rd.

PROPOSAL

Preliminary Plat for Red Sky Ranch, a Planned Unit Development for 26.2 acres; Rezone approximately 26.2 acres from A-2, Rural Agricultural District to PUD, Planned Unit Development.

NORMAN 2025 LAND USE

Current: Very Low Density Residential and Floodplain

Proposed: No change

E. Review of the Greenbelt Enhancement Statement - NON-CONSENT DOCKET

5. **GBC 23-09**
APPLICANT

Henry and Maxine Mappes Trust

LOCATION

3907 E. Franklin Rd.

PROPOSAL

Mappes Estates Rural Certificate of Survey

NORMAN 2025 LAND USE

Current: Country Residential, SPA-6
Community Separator

Proposed: No change

6. **GBC 23-10**
APPLICANT

Simple Storage, L.L.C.

LOCATION

24th Ave SE and E Imhoff Rd.

PROPOSAL

Preliminary plat to create two C-2, General Commercial District lots

NORMAN 2025 LAND USE

Current: Commercial

Proposed: No change

7. **GBC 23-14**
APPLICANT

Armstrong Bank

LOCATION

South of the SW Corner of 24th Ave SE and Cedar Lane (Special Planning Area 7)

PROPOSAL

Rezoning the existing I-1, Light Industrial District, into a PUD, Planned Unit Development District, to facilitate a mixed-use development of commercial, office, senior living, and multifamily uses.

NORMAN 2025 LAND USE

Current: Mixed Use, Urban Service Area, SPA-7

Proposed: Mixed-Use, Urban Service Area

F. Miscellaneous Comments

G. Adjournment



CITY OF NORMAN, OK GREENBELT COMMISSION

Development Center, Conference Room, 225 N. Webster Avenue, Norman,
OK 73069

Tuesday, April 18, 2023 at 5:30 PM

MINUTES

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A. Call to Order

Chair George Dotson called the meeting to order at 5:30 p.m.

B. Roll Call

PRESENT

Commissioner Andrew Hewlett
Commissioner - Chair George Dotson
Commissioner Kristina Wyckoff
Commissioner Marguerite Larson
Commissioner - Vice Chair Mark Nanny
Commissioner Zach Dufran

ABSENT

Commissioner Maureen Chittenden
Commissioner Rachel Wyatt-Swanson
Commissioner Richard Bornhauser

STAFF MEMBERS PRESENT

Colton Wayman, Planner I
Whitney Kline, Administrative Technician III
Jack Burdett, Subdivision Development Coordinator

GUESTS PRESENT

Pham Do – 2908 Twin Lake Dr. Moore, OK
Derek Harris – 11912 N. Penn Ave. OKC, OK
Chris Colijn – 1500 S. Sara Rd. Yukon, OK

C. Approval of the February 21, 2023 Greenbelt Commission Minutes.

1. February 21, 2023 Greenbelt Commission Minutes

Motion by Kristine Wyckoff for approval; **Second** by Andrew Hewlett.

The motion was passed unanimously, with no objection.

D. Review of the Greenbelt Enhancement Statements - CONSENT DOCKET

2. GBC 23-05

APPLICANT	Gary and Lynn Do
LOCATION	3360 Classen Boulevard
PROPOSAL	3360 Classen Boulevard Preliminary Plat; Plat approximately 2.22 acres for a commercial development to accommodate uses permitted in the C-2, General Commercial District
NORMAN 2025 LAND USE	Current: Industrial
LAND USE	Proposed: No Change
	Current: Vacant
	Proposed: Commercial
	North: Vacant
	West: Multi-family residential/Single-family residential
	South: Single-family residential
	East: Single-family residential/Office
ZONING	Current: C-2, General Commercial District
	Proposed: No Change
	North: I-1, Light Industrial District
	West: PUD, Planned Unit Development (Ordinance O-1213-56), and A-1, General Agricultural District
	South: A-2, Rural Agricultural District
	East: RM-6, Medium Density Apartment District, and RM-2, Low Density Apartment District

Motion by Andrew Hewlett to open for discussion; **Second** by Kristina Wyckoff.

The motion was passed unanimously, with no objections.

Commission Discussion:

- Commissioner Hewlett asked applicant if they could explain more about this project.
- Pham Do explained that this project was passed by council in 2008 but they ended up not proceeding with it. Since then the approval has expired so he is back. Mr. Do explained they are building Sunny Side Up restaurant as well as some retail places. He also stated there is no opportunity for additional sidewalks as there are homes on the north and south side as well as a railroad track behind it.

3. GBC 23-06

APPLICANT	Logan Wright Foundation
LOCATION	Generally ¼ mile east of 60 th Avenue N.W. on the north side of W. Rock Creek Road

PROPOSAL

Golden Valley Ranch Certificate of Survey (COS);
Divide approximately 115.49 acres into 5 tracts for
residential development

NORMAN 2025 LAND USE

Current: Floodplain

LAND USE

Proposed: No Change

Current: Vacant

Proposed: Single-family residential

North: Single-family
residential/Agriculture

West: Agriculture/Vacant

South: Vacant

East: Agriculture

ZONING

Current: A-2, Rural Agricultural District

Proposed: No Change

North: A-2, Rural Agricultural District

West: A-2, Rural Agricultural District

South: A-2, Rural Agricultural District

East: A-2, Rural Agricultural District

4. **GBC 23-07**

APPLICANT

Hampton Homes, LLC

LOCATION

229 and 215 N. University Boulevard

PROPOSAL

NORMAN 2025 Land Use Plan Amendment from
Office Designation to Medium Density Residential
Designation; Rezone approximately 0.32 acres from
CO, Suburban Office Commercial District to SPUD,
Simple Planned Unit Development, to allow for a
multi-family residential development

NORMAN 2025 LAND USE

Current: Office

Proposed: Medium Density Residential

LAND USE

Current: Vacant

Proposed: Multi-family residential

North: Single-family residential

West: Single-family residential

South: Commercial

East: Commercial (Montford Inn)

ZONING

Current: CO, Suburban Office Commercial District

Proposed: SPUD, Simple Planned Unit Development

North: R-3, Multi-Family Dwelling District

West: R-1, Single Family Dwelling District

South: Center City Form-Based Code
(Urban General)

East: CO, Suburban Office Commercial
District

5. **GBC 23-08**

APPLICANT

Clara and Johnny Smart

LOCATION

11650 E. Franklin Road

PROPOSAL	WPDS Estates Certificate of Survey (COS); Divide approximately 79.37 acres into 7 tracts for residential development
NORMAN 2025 LAND USE	Current: Country Residential Proposed: No Change
LAND USE	Current: Single-family residential Proposed: No Change North: Single-family residential/Vacant West: Single-family residential South: Single-family residential East: Single-family residential
ZONING	Current: A-2, Rural Agricultural District Proposed: No Change North: A-2, Rural Agricultural District West: A-2, Rural Agricultural District South: RE, Residential Estate Dwelling District East: A-2, Rural Agricultural District

Motion by Kristina Wyckoff to place items back on consent and pass the consent docket;
Second by Zach Dufran.

The motion was passed unanimously, with no objections.

E. Review of the Greenbelt Enhancement Statement - NON-CONSENT DOCKET

There were no items on the Non-Consent Docket.

F. Miscellaneous Comments

- Commissioner Larson stated that the revision was still in legal and wanted to know when it was coming out of legal.
- Commissioner Dotson pointed out that ODOT was going to extend trail to 72nd along Highway 9.
- Commissioners discussed wanting to discuss planning an open house to meet with developers on how they can integrate greenspace in their developments.

G. Adjournment

The meeting was adjourned at 6:04 p.m.

Passed and approved this _____ day of _____ 2023.

George Dotson, Chair

GREENBELT COMMISSION
June 20, 2023

GREENBELT ENHANCEMENT STATEMENT

ITEM NO. 23-11

STAFF REPORT

GENERAL INFORMATION

APPLICANT	Williams, Box, Forshee, & Bullard, P.C.
LOCATION	S.W. Corner of 48 th Ave. N.W. and Franklin Rd.
PROPOSAL	Certificate of Survey to build an electric substation on the property (CoS – Norman Hills)
NORMAN 2025 LAND USE	Current: Very Low-Density Residential Proposed: Industrial
LAND USE	Current: Agricultural/Vacant Proposed: Industrial/Substation North: Agricultural, Residential West: Agricultural, Residential South: Agricultural, Residential East: Agricultural, Residential, Industrial (Substation)
ZONING	Current: A-2, Rural Agricultural District Proposed: A-2, Rural Agricultural District with Special Use permitted. North: A-2, Rural Agricultural District West: A-2, Rural Agricultural District South: PUD, Planned Unit Development, A-2, Rural Agricultural District East: A-2, Rural Agricultural District, R-1, Single-Family Residential

SYNOPSIS: The applicant submitted a Certificate of Survey for property located at the Southwest corner of 48th Ave. N.W. and Franklin Rd. The applicant plans to construct an electric substation. The proposed development will comply with all requirements

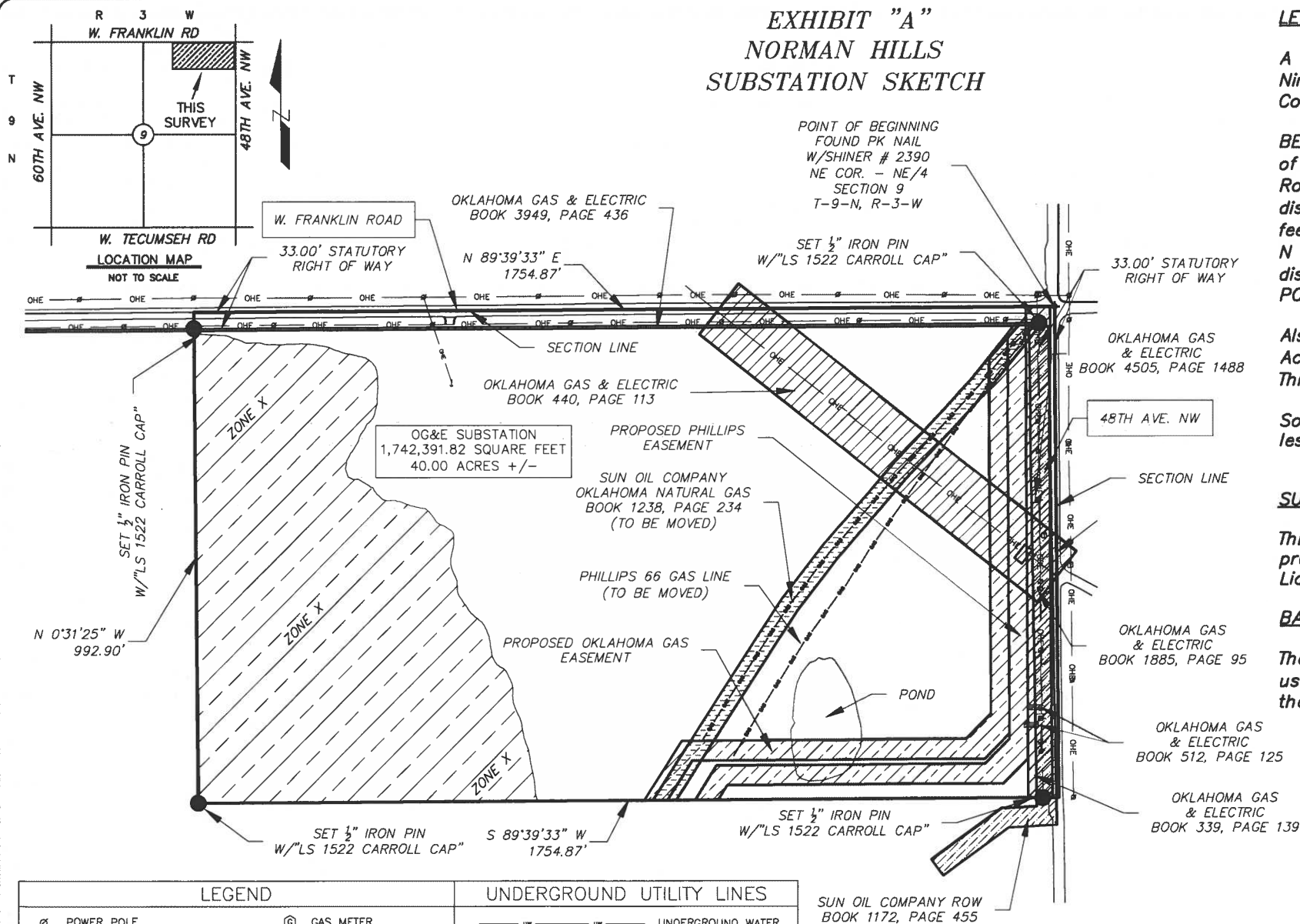
established for the Special Use, as well as other guidelines for the A-2, Rural Agricultural District.

ANALYSIS: This area has mixed zoning with A-2, Rural Agricultural Districts, PUD, Planned Unit Developments, and R-1, Single-Family Residential all near the applicant property. The area is a mixture of agricultural and low-density residential uses. In the subject location, no land is within the boundaries of the 100-year floodplain.

In this location, 48th Ave. N.W. is designated as a minor urban arterial in the Comprehensive Transportation Plan adjacent to the subject parcel on its eastern edge. Because this project is going through as a Certificate of Survey (CoS), the applicant is not required to make roadway improvements, nor required to install any sidewalks on the property. The Greenway Master Plan proposes trails by the developer along the east side of 48th Ave. N.W., therefore there are no opportunities for trails with this application.

The Greenbelt Enhancement Statement, Certificate of Survey application, and location map are attached.

STAFF COMMENTS: Because of the CoS standards regarding sidewalks and pathways, Staff places this item on the consent docket for the June 20th, 2023 Greenbelt Commission Meeting.



LEGEND		UNDERGROUND UTILITY LINES	
⊗ POWER POLE	⊙ GAS METER	— UW — UW — UNDERGROUND WATER	
⊙ UTILITY POLE	⊙ GAS VALVE	— GAS — GAS — GAS LINE	
⊙ LIGHT POLE	⊙ IRRIGATION VALVE	— SS — SS — SS — SANITARY SEWER LINE	
⊙ GUY ANCHOR	⊙ SIGN	— SD — SD — SD — STORM DRAIN LINE	
⊙ ELECTRIC METER	⊙ FIRE HYDRANT	— T — T — T — TELEPHONE LINE	
⊙ ELECTRIC MANHOLE	⊙ WATER METER	— UP — UP — UP — UNDERGROUND ELECTRIC	
EB ⊙ ELECTRIC BOX	⊙ WATER VALVE		
⊙ MAILBOX	⊙ SECTION CORNER		
⊙ SANITARY SEWER MANHOLE	⊙ QUARTER CORNER		
⊙ STORM SEWER MANHOLE	S.I.P. ⊙ SET 1/2" IRON PIN		
⊙ IRON GRATE INLET	F.I.P. ⊙ FOUND 1/2" IRON PIN		
⊙ TELEPHONE MANHOLE	⊙ BENCHMARK		
⊙ TELEPHONE RISER			

MISC. LINES	
— OHE — OHE — OHE —	OVERHEAD POWERLINE
— x — x — x —	BARBED WIRE FENCE
— ○ — ○ — ○ —	CHAIN LINK FENCE
— □ — □ — □ —	STOCKADE FENCE

LEGAL DESCRIPTION

A Port of the Northeast Quarter (NE/4) of Section Nine (9), Township Nine (9) North, Range Three (3) West of the Indian Meridian, Cleveland County, Oklahoma, more particularly described as follows:

BEGINNING at o PK Nail w/ "CA 2390" Shiner for the Northeast Corner of the Northeast Quarter of Section Nine (9), Township Nine (9) North, Range Three (3) West, THENCE S 00°31'25" E (Along Section Line) o distance of 992.90 feet; THENCE S 89°39'33" W, o distance of 1754.87 feet to o 1/2" Iron Pin w/ "LS 1522 Carroll" Cop; THENCE N 00°31'25" W, o distance of 992.90 feet; THENCE N 89°39'33" E, o distance of 1754.87 feet to o PK Nail w/ "CA 2390" Shiner for the POINT OF BEGINNING;

Also Described As The East Forty (40) Acres Of The North Sixty (60) Acres Of The NE/4 Of Section Nine (9), Township Nine (9) North, Range Three (3) West.

Sold Tract Contains 40.00 acres or 1,742,391.82 square feet, more or less

SURVEYORS CERTIFICATE:

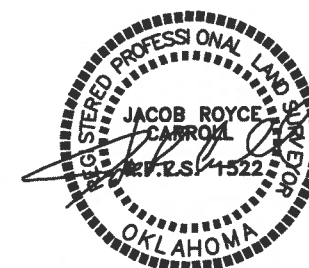
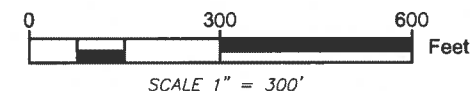
This plot or survey also meets the Oklahoma Minimum Standards for the practice of land surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors.

BASIS OF BEARINGS

The Oklahoma North - State Plane Coordinate, Zone NAD 83 (2011) was used as The Basis Of Bearing for this Survey. S 0°31'25" E East line of the Northeast Quarter of Section 9

FLOOD HAZARD

SUBJECT PROPERTY IS LOCATED
IN ZONE X
PANEL # 40027C0170J
EFFECTIVE DATE: 1/14/2021



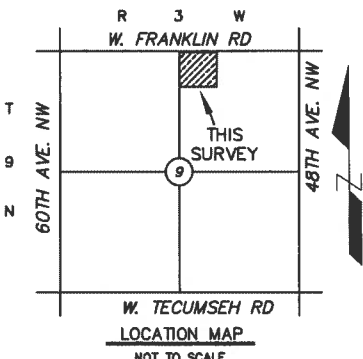
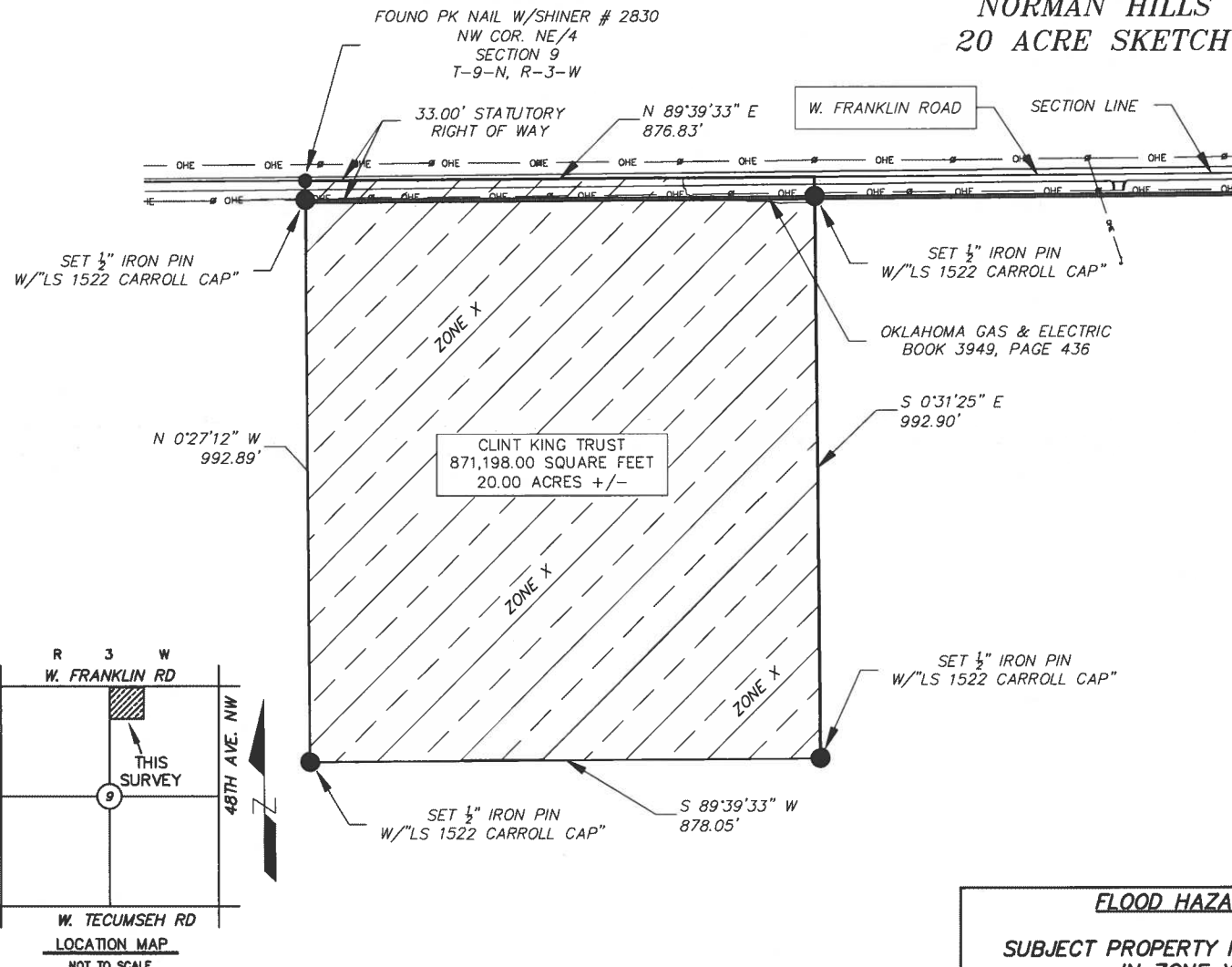
BEARING TREE LAND SURVEYING, L.L.C.



7100 Broadway Ext. Oklahoma City, Oklahoma 73116
Telephone: (405) 605-1081
Oklahoma CA #4568 Renewal date 06/30/24 Texas Reg. # 6145
WWW.BEARINGTREESURVEYING.COM

TOPOGRAPHIC • LIDAR • GPS • PHOTOGRAMMETRY
ALTA/ACSM LAND TITLE • CONSTRUCTION • GIS

EXHIBIT "B" NORMAN HILLS 20 ACRE SKETCH



LEGEND		UNDERGROUND UTILITY LINES	
⊗ POWER POLE	⊗ GAS METER	— UW — UW — UNDERGROUND WATER	
⊙ UTILITY POLE	⊙ GAS VALVE	— GAS — GAS — GAS LINE	
⊛ LIGHT POLE	⊙ IRRIGATION VALVE	— SS — SS — SS — SANITARY SEWER LINE	
← GUY ANCHOR	⊙ SIGN	— SD — SD — SD — STORM DRAIN LINE	
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⊙ TELEPHONE MANHOLE	⊙ BENCHMARK	— □ — □ — □ — STOCKADE FENCE	
⊞ TELEPHONE RISER			

FLOOD HAZARD
SUBJECT PROPERTY IS LOCATED
IN ZONE X
PANEL # 40027C0170J
EFFECTIVE DATE: 1/14/2021

Party Chief: CWA
Processed By: CWA
Drawn By: JRG
Checked By: JRC
Date: 5-09-23
Scale: 1"=300'

LEGAL DESCRIPTION

The North 60 acres of the Northeast Quarter (NE/4) of Section Nine (9), Township Nine (9) North, Range Three (3) West of the Indian Meridian, Cleveland County, Oklahoma. LESS AND EXCEPT A part of the Northeast Quarter (NE/4) of Section Nine (9), Township Nine (9) North, Range Three (3) West of the Indian Meridian, Cleveland County, Oklahoma, more particularly described as follows: Beginning at a PK Nail w/ "CA 2390" Shiner for the Northeast Corner of the Northeast Quarter of Section 9-T9N-R3W; Thence S 00°31'25"E (Along Section Line) a distance of 992.90 feet; Thence S 89°39'33"W, a distance of 1754.87 feet to a 1/2" Iron Pin w/ "LS 1522 Carroll" Cap; Thence N 00°31'25"E, a distance of 992.90 feet; Thence N 89°39'33"E, a distance of 1754.87 feet to a PK Nail w/ "CA 2390" Shiner for the Point of Beginning;

Also Described As The West Farty (20) Acres Of The North Sixty (60) Acres Of The NE/4 Of Section Nine (9), Township Nine (9) North, Range Three (3) West.

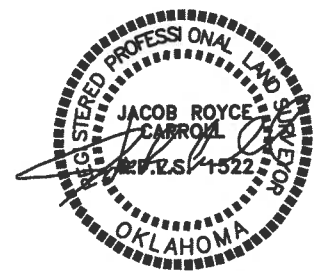
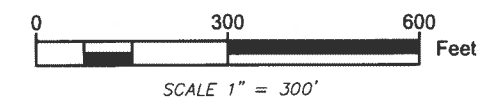
Said Tract Contains 20.00 acres or 871,198.00 square feet, more or less

SURVEYORS CERTIFICATE:

This plat or survey also meets the Oklahoma Minimum Standards for the practice of land surveying as adapted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors.

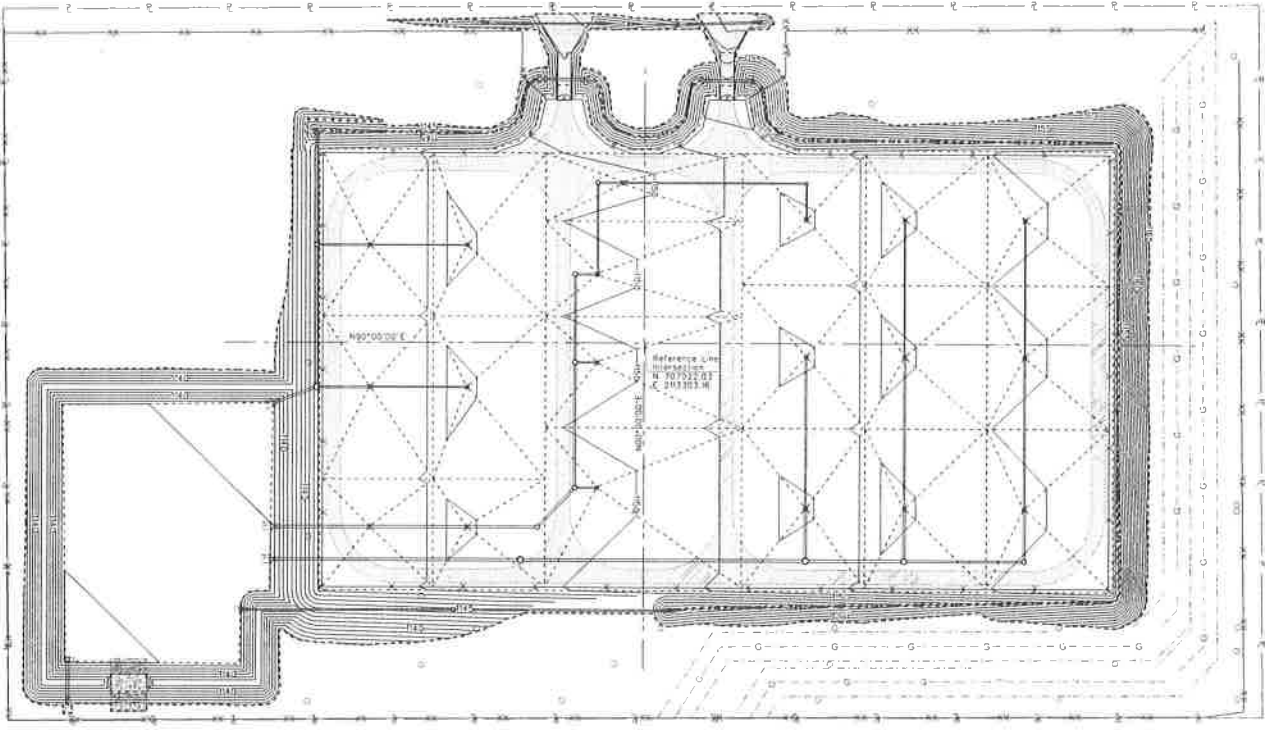
BASIS OF BEARINGS

The Oklahoma North - State Plane Coordinate, Zone NAD 83 (2011) was used as The Basis Of Bearing for this Survey. S 0°31'25" E East line of the Northeast Quarter of Section 9



BEARING TREE LAND SURVEYING, L.L.C.

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Construction Notes:

1. See General Note 4 for continuous definition FINISHED GRADE DOES NOT INCLUDE A 1/2" LAYER OF NO. 57 CRUSHED ROCK.
2. Structures containing a substantially unconfined water table in lieu of waterproofing and replacement of the entire slope, the retaining structure may be subjected using ODOT Type A Crushed Rock underlain by a layer of 4-inch T-12, designed for 10 ft. It is recommended that 3 to 12 inches of Type A crushed rock be required in the design, but actual thickness shall be determined at the time of construction.



Legend:

- Existing Property Line
- Existing Easement
- Existing Right-of-way
- Existing Boundary Fence
- Existing Edge of Asphalt Road
- Existing Edge of Gravel Road
- Existing Edge of Water
- Existing Flow Line
- Existing Contour
- Existing Gas Pipeline
- Existing Overhead Electric

Point	Description	Northing	Easting	Elevation
1*	1/2" Non Pn w/ "Control" Cap	707414.2170	211468.5120	119.733
2*	1/2" Non Pn w/ "Control" Cap	707414.4202	211466.7248	119.529
3	1/2" Non Pn w/ "Control" Cap	707318.1380	211235.8881	116.679

Reference Questions

- D-327581 Demon Plan
- D-327582 Fence and Drive Plan
- D-327583 Grading Plan - Sheet One
- D-327584 Grading Plan - Sheet Two
- D-327585 Grading Section Views - Sheet One
- D-327586 Grading Section Views - Sheet Two
- D-327587 Definition Sheet Plan
- D-327588 Driveway Plans and Profiles
- D-327589 Grading & Drainage Details - Sheet One
- D-327590 Grading & Drainage Details - Sheet Two
- D-327591 Erosion and Sediment Control Plan
- D-327592 Erosion and Sediment Control Details
- D-327593 Culvert End Section Details

Abbreviations

BCY	Bank Cubic Yard
BVE	Beginning Vertical Curve Elevation
BVCS	Beginning Vertical Curve Station
CL	Center Line
CHDRE	Corrupted High-density Polyethylene
CCY	Completed Cubic Yard
Coast.	Coastline
C	Culvert
Dia.	Diameter
E	East
Exist.	Existing
EL	Existing Grade Elevation
EVCE	End Vertical Curve Elevation
EVCS	End Vertical Curve Station
FG	Finished Grade
Gls	Gloss
I	Inside Diameter
Int.	Intersection
K	Curve Coefficient
L	Left
LF	Linear Feet
Max	Maximum
Mn.	Minimum
N	North/South
OD	Outside Diameter
ODD	Discontinuous Demand of Transportation
PGL	Partial Grade Line
PVC	Polymethylmethacrylate
PVI	Point of Vertical Intersection
Proposed	
R	Radius/Right
RCR	Reinforced Concrete Pipe
S	South
SF	Square Feet
Sta	Station
SV	Square Feet
SWPPP	Stormwater Pollution Prevention Plan
T	Top of Grade Elevation
Twp	Twp
V	Value
W	West

General Notes:

[illegible]

Earthwork Notes

[illegible]

(Estimated Construction Quantities (For Reference Only))					
Description	Quantity	Units	Description	Quantity	Units
Clearing & Grading	17,118	SF	Face Removal	8,559	LF
10' Slope 10' Asphalt Depth	29,284	BCY	Substation Fence w/ Line Code (10'x4' Standard ASB)	1,518	LF
Open Excavation - 18"	180	CCY	Substation Gate w/ Gate Code 130 Wide Single Swing	2	EACH
Rockfill Approved Fill - 18"	180	CCY	Boundary Fence 10'x4' Standard ASB, Detail C	6,162	LF
Geogrid (Tensar F47 or equal)	180	SF	10' Property Gate	1	EACH
Crusher Rock 80%+100% Type A1	780	CCY	8'x14' 10'x4' Standard Driveway Gate	408	LF
Sub	92,478	BCY			
FA	34,248	CCY	Rock Check Dam	80	LF
			Temporary Sit Fence	3,378	LF
Crusher Rock 18" Depth 100% Type A1	2,783	CCY	Temporary Road Protection (Heavy Duty)	20	EACH
Crusher Rock 18" Depth 100% Limestone, ASTM C33 - 57	8,375	CCY	Temporary Construction Entrance	1	EACH
Rock Rubble Layer 12" Depth 100% Type A1	274	CCY			
Topsoil, Fertilizer, and Sod	40,127	SF	Sealing Form Area Striping 10' Assumed Depth	1,536	CCY
Gravelly Filler (Crusher 2" - 40MM) 100% Lumps	7,360	SF	Leaving Form Area Fee	7,750	CCY
Gravelly Filler (Crusher 10MM-40MM) 100% Lumps	8,114	SF	Fertilizer, Fertilizer, and Sod (Leaving and one-sided overtopped crest)	2,558	SF
Soil/Sterilant	75,579	SF			
Percent Drain Hole - 5x5	18	EACH	Notes:		
Percent Drain Hole - 1x1 (Type 2)	1	EACH	1. Allocated material quantities are in place quantities and do not include the materials required to complete the construction (contractor shall be responsible for supplying quantities and materials required to complete the project of the construction as indicated in the plans)		
Percent Drain Hole - 4x4	5	EACH	2. Extent of any overexcavation and replacement material to be determined at the time of construction.		
Percent Manhole - 4' Dia	1	EACH	3. The extent of overexcavation and replacement of the available pipe, the available quantity may be utilized until 100% type A crushed rock is used.		
Percent Manhole - 5' Dia	2	EACH	4. A note of 10'x14' gate for replacement is estimated that it is 12' in width of type A crushed rock to be required in this scenario, but actual dimensions shall be determined at the time of construction.		
Percent Manhole - 6' Dia	8	EACH			
Percent Manhole - 8' Dia	4	EACH			
Percent Outlet Control Structure	1	EACH			
Storm Drain Pipe - 18" Dia Corrugated HDPE w/ ODOT Class B Bedding	974	LF			
Storm Drain Pipe - 24" Dia Corrugated HDPE w/ ODOT Class B Bedding	1,694	LF			
Storm Drain Pipe - 30" Dia Corrugated HDPE w/ ODOT Class B Bedding	1,043	LF			
Storm Drain Pipe - 36" Dia Corrugated HDPE w/ ODOT Class B Bedding	1,308	LF			
Storm Drain Pipe - 18" Class B RCP w/ ODOT Class B Bedding	105	LF			
Storm Drain Pipe - 18" Class B RCP w/ ODOT Class B Bedding	38	LF			
Storm Drain Pipe - 36" Class B RCP w/ ODOT Class B Bedding	87	LF			
Pipe End Section - 24" Dia. Galvanized Steel w/ Fresh Guard	1	EACH			
Pipe End Section - 30" Dia. Galvanized Steel w/ Fresh Guard	1	EACH			
Pipe End Section - 36" Dia. Galvanized Steel w/ Fresh Guard	1	EACH			
4' Current End Treatment	1	EACH			
5' Current End Treatment - ODOT Reg. 4-27	4	EACH			

Approved Fit/Prosthetic Requirements		
Fit/Type Imported or on-site use prosthetic limbs, upper and lower limbs At least 50% weight and 200 lbs.	USC's Classification CL,CL-ML,SL	Acceptable Location for Placement All locations and elevations
Imported or on-site medium prosthetic limbs, upper and lower limbs At least 50% weight, a No. 200 lbs.	CL	All locations and elevations except locations that require an equipment lift device
Imported or on-site components only. At least 70% passable weight and 200 lbs.	SM	All locations and elevations except between floor and 5' 6" and 5' 9" and between handrails
Type "A" - Prosthetic limbs meeting the requirements of Section 7.01.4 CDDOT Standard Specifications for Highway Construction 7		All eligible locations for use of 3' or 6' splits

Fill Placement and Compaction Requirements		
Item	Requirement	Description
Subgrade Scarification Depth	8 inches	
Maximum Fill Lift Thickness	8 inches or less in those thickness when heavy, self-propelled compaction equipment is used 4 to 6 inches in light thickness when hand-compacted (i.e., jumping jack or plate compactor)	
Compaction Requirements	<p>Final grade soil: At least 95% for A material used Final grade to a depth of 1 foot below Final grade: At least 90% for B material Soil depth greater than 5 feet below final grade Type "A" aggregate base: At least 95%</p>	
Water Content Range	<p>Cohesive and cohesionless soils: Within 2% of its optimum value Type "A" aggregate base: Variable moisture content</p>	

Final list of approved materials of organic matter and fibers from materials to be used and fillings to be placed on a frozen aggregate. A portion of your material data should be submitted to the Geotechnical Engineer for evaluation and to be used on this site.

1. Maximum dry density and optimum water content as determined by the standard Proctor test (ASTM D698)

2. Recycled aggregate is not permitted

3. Coordinate with Foundation Contractor for clear job locations



Feb 28 2023 13:24



OKLAHOMA GAS AND ELECTRIC COMPANY	
NORMAN HILLS SUBSTATION 8729-T NORMAN, OKLAHOMA	SITE WORK LOCATION AND SITE CONTROL PLAN

ENGINEER T. Lanyon (BUCd)	DATE	CHECKED F. Lanyon (BUCd)	DATE 02-28-23	JOB NUMBER 64793	
DESIGNER N. Miller (BUCd)	DATE 02-28-23	APPROVED T. Lanyon (BUCd)	DATE 02-28-23	SCALE 1" = 100'-0"	
DRAWN BY N. Miller (BUCd)	DATE 02-28-23	CONTACT B. Menger	DATE	REFERENCE A-327499	D 327580

INSTRUCTION SHEET NORMAN GREENBELT ENHANCEMENT STATEMENT

The Norman City Council established the Norman Greenbelt Commission and charged the group with reviewing proposed developments, **specifically Land Use Plan Amendments, Preliminary Plats and Rural Certificates of Survey**, in order to increase the preservation of beneficial green spaces and to identify trail system opportunities in new developments where appropriate. This Greenbelt Enhancement Statement was developed to aid the Commission in assessing new developments to insure that green space and trail opportunities are included whenever possible.

Please complete this Greenbelt Enhancement Statement (pages 5-8) to address the Greenbelt Commission's review and leave it with City of Norman staff at 225 N. Webster Avenue, Norman, OK 73069.

Attached are copies of the two (2) applicable sections of the adopted Greenbelt Ordinance, Sections 2-327 and 2-330, to serve as reference while completing this Enhancement Statement. Upon request, a map of the relevant part of the Greenways Master Plan can also be provided for reference or accessed using this online link NormanOK.gov/MasterPlan.

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Floodplain means as defined by NCC 36-533 as may be amended from time to time.

Flowage easement means an easement purchased by the U.S. Department of Interior, Bureau of Reclamation, Norman Project, which grants to the United States and its assigns the perpetual right, privilege and easement to intermittently and completely seep, flood, flow and inundate, and the right to enter upon at any time for the purpose of making surveys, and investigations or for any other purpose incidental to the construction, operation, and maintenance of the Norman Reservoir Project and any feature thereof, any and all of the tracts or parcels of land lying below elevation 1064.5 sea level datum.

Green space means any land area designated as open space by Norman's Comprehensive Land Use Plan; land determined to be open space or green space on an approved site development plan; or any land area in which the preservation in its present use would conserve and enhance natural or scenic resource, protect streams or water supply, promote conservation of soils, wetlands or marshlands, enhance the value to the public of abutting or neighboring parks, forest, wildlife preserves, nature reservations, sanctuaries or other open space or green space, enhance recreation opportunities, including parks, plazas and narrow corridors or pathways for walking or bicycling even though surrounded by developed areas, preserve visual quality along highway, road, and street corridors or scenic vistas, or retain in its natural state tracts of land not less than one acre situated in an urban area and open to public use on such conditions as may be reasonably required by the granting authority.

Greenbelt Enhancement Statement (GES) means a statement on a form provided to the applicant by the City Planning and Community Development Department that is to be included with all applications for a land use plan amendment, a City rural certificate of survey or preliminary platting of land and submitted for consideration by the Commission that articulates how the principles, purposes, and goals of The Greenbelt System are met by the proposed development.

The Greenbelt System means and includes the following spaces, regardless of whether they are open to the public:

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- (b) Areas of land within the City Limits required to be open space by zoning; areas currently designated for open space, park, floodplain, and institutional use by the Comprehensive Plan and subsequently adopted land use plans; Lake Thunderbird, the Bureau of Reclamation (BOR) "take-line" and BOR flowage easements; any other areas of land which are designated by easement, by deed restriction, or otherwise required to remain free of structures; and areas designated as green space.

Greenway means:

- (a) A green open space, such as a linear open space established along or on either side of a natural or cultural corridor, such as a riverfront, a stream valley, a ridgeline, a railroad right of way, a channel, a scenic road or other route; and/or
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- (c) An open-space connector available to pedestrians intended to link parks, nature reserves, cultural features, historic sites, schools, residential or commercial areas with each other.

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- (e) **Sidewalk trails** means sidewalks located alongside streets that are constructed in accordance with City design criteria and designated as trails.
- (f) **Specialized trails** means water trails, equestrian trails, bikeways, or other trails dedicated to some specific use not otherwise listed herein.

Specific Principles, Purposes and Goals of the Greenbelt System.

The following principles, purposes and goals are delineated in the City of Norman's Code of Ordinances, **Section 2-330**, and are essential for your understanding as you complete the GES.

(a) Proposed additions to the Greenbelt System should be guided by the following principles:

- (1) The ultimate goal is to create an interconnected system of trails that allow multiple connections across all of the City.
- (2) The Greenbelt System should preserve valuable green space, natural habitat and key areas with existing vegetation.
- (3) Trail segments should be designed so that they convey the physical and historical character of the City and relate to the neighborhoods through which the trail corridors pass.
- (4) Greenway corridors should provide unique opportunities to learn about the history, culture, and accomplishments of the City.
- (5) Trails should promote smooth walkable corridors that are open and visible.
- (6) The Greenbelt System should contribute to enhancing the physical appearance of the City, whether through new pedestrian features, landscaping added to trail corridors, or simply by revealing natural areas not previously visible to the general public.
- (7) The Greenbelt System should encourage the creation of public and private partnerships that help build the entire system more quickly.
- (8) Greenbelts should protect environmentally sensitive lands that are generally the least suitable for development, especially floodprone areas and riparian corridors, and provide connectivity between the elements of the Greenbelt System.

(b) The use of lot clustering should be encouraged as a means to develop the Greenbelt System.

(c) The Greenbelt System should be used to link together existing recreation areas.

(d) Multipurpose greenways should be created that:

- (1) Create a unique greenway character for the City;
- (2) Protect environmentally sensitive areas of the City and serve as a wildlife habitat;
- (3) Serve as a storm water management resource for urban runoff and regional detention needs;
- (4) Provide recreation opportunities for bicycling, walking, and jogging, as well as an alternate route to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking;
- (5) Preserve agriculturally significant lands through conservation easements or other means; and
- (6) Provide suitable locations for sanitary sewer easements and facilities.

(e) Greenbelts should be used to provide green space areas adjacent to highways and major streets for sound buffer zones and protection from incompatible land uses.

(f) The Greenbelt System should continue to improve a natural landscape planting and maintenance program for City-owned properties and rights-of-way of major streets and highways.

GREENBELT ENHANCEMENT STATEMENT City of Norman, Oklahoma

Greenbelt Case No. _____ **Pre-Development Case No.** _____

Applicant Name: Williams, Box, Forshee & Bullard, P.C. on behalf of Applicant Date: June 6, 2023

Contact Person: David M. Box Telephone/Fax/Email: 405-232-0080

Name of Development: Norman Hills Substation Sketch Area (Acres) 40 acres

General Location: Generally located at the southwest corner of 48th Avenue N.W. and Franklin Road

Please attach a map, site plan and/or survey map illustrating the proposed development.

Type of Proposal (please check all that apply)

a. **This is a:** Land Use Plan Amendment ☐; Preliminary Plat ☐; Rural Certificate of Survey ☒.

b. Proposed **Land Use:** Residential _____ Commercial _____ Industrial _____ Other Substation

1. Briefly **explain the kind of development**, types of buildings/uses, or character of your proposal **and how it achieves the principles, purposes and goals** of Section 2-330.

The development consists of a substation to serve the area.

2. Does your proposed development or project incorporate open space(s)?

Yes _____ No X

Please check **what** type(s) of **open spaces are proposed** within your development:

Park: _____ Yes X _____ No _____ Public _____ Private

Open Space: _____ Yes X _____ No _____ Public X _____ Private

Detention Pond: _____ Yes X _____ No _____ Public X _____ Private

Parking Lot Landscape: _____ Yes X _____ No _____ Public _____ Private

Floodplain/Creek: X Yes _____ No _____ Public _____ Private

Other _____

If the above noted areas are **accessible** via some **other arrangement** please **explain**.

N/A

3. **Does** the open space for this **development include** some kind of **trail or path** that meets the definitions contained in Section 2-327 of the attached guidelines? (Indicate all that are applicable.)

Public Sidewalks (4-5' wide) _____ Yes X _____ No

Natural Trails (compacted earth 8-10' wide) _____ Yes X _____ No

Parkway Trails (durable surface 6-8' wide) _____ Yes X _____ No

Neighborhood Trails (durable or paved, 6-10' wide) _____ Yes X _____ No

Community Wide Trails (paved, 10-12' wide) _____ Yes X _____ No

Specialized Trails (equestrian, water, etc) _____ Yes X _____ No

Other _____

4. **Identify** schools, recreational areas (parks, playgrounds), commercial sites, or other public **open spaces within ½ mile** of your proposed development. (If there are **no** such areas within the ½ mile radius please **state** such and skip question 5.)

There are no such areas within a 1/2 mile.

5. Projects in close proximity to schools, recreational areas (parks, playgrounds), commercial sites, and residential neighborhoods should, ideally, allow **connection points** promoting non-motorized transportation between key areas. Please **describe** how the proposed development plan accommodates those using alternative transportation, such as walkers and bicyclists? Examples include sidewalks connecting key areas, designated bike paths, and bike parking. (If there is **no** such connectivity please **state** such.)

NA

6. Please **check**, from the following (or attach a list), **any other** geographical and/or environmental factors in your development that might offer **opportunities** for additions to the Greenbelt System (see Section 2-327).

- | | |
|-------------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> | Storm water channels |
| <input type="checkbox"/> | Detention ponds |
| <input checked="" type="checkbox"/> | Floodplains |
| <input type="checkbox"/> | Stream bank/Riparian corridors |
| <input checked="" type="checkbox"/> | Utility Easements |
| <input type="checkbox"/> | Abandoned/Active RR corridors |
| <input type="checkbox"/> | Other _____ |

How could your development **also incorporate** those elements noted into greenbelts and trails?

NA

7. **Please review the statements below and indicated in the space next to each item, whether it does apply ("Yes"), does not apply ("No"), or is not feasible ("NA") to your development. Of specific interest is how your project fits into the public open spaces and parks.**

In performing its duties, the Greenbelt Commission shall take into account the considerations listed below. The Commission will also consider how your project fits into the public open spaces and parks that are existing. Not all considerations will be applicable or feasible for each application.

na (a) Portions of the Greenbelt System are accessible to the general public.

na (b) Greenways are established and provide connections to other existing and future components of the Greenbelt System.

na (c) Existing easements (e.g., utility, pipeline, oil lease right-of-way, etc.) may be used for Greenways where appropriate and where expressly approved by the easement grantor and grantee.

na (d) Greenways connect neighborhoods to each other and to industrial and commercial areas.

na (e) Greenways provide alternative routes to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking.

Y (f) Adverse impacts on existing topography, drainage patterns and natural vegetation are minimized.

na (g) Developments between urbanized Norman and Lake Thunderbird include pedestrian and bike connectivity to adjacent parcels to allow for future connections to Lake Thunderbird.

Y (h) Landscaping required by the City has been/will be planted in conformance with Norman Zoning regulations, including with local drought-resistant low maintenance plants, shrubs and trees.

N (i) Vegetative buffers between neighborhoods and railway lines have been provided to enhance safety and reduce the effects of noise and air pollution.

Y (j) Permeable ground surfaces have been preserved to the extent possible.

na (k) Ingress and egress to and from a development is designed to permit safe use by non-motorized traffic in and out of the development and across the ingress and egress provisions of the development.

na (l) Fences abutting components of the Greenbelt System, and particularly those abutting green spaces, are of designs and materials that minimize their visual impact to the extent such fences are allowable under Norman City Code and not in conflict with applicable national standards for utility facilities. Examples of acceptable open fences include such types as wrought iron, split rail, low picket fence with every other picket removed, and metal pickets.

Y (m) Water retention and detention storage facilities are designed in accordance with bioengineering principles and built with bioengineering materials.

na (n) Detention facilities are integrated into the surrounding neighborhood as part of the Greenbelt System in as ecologically sound a method as possible.

Y (o) Storm water management design considers the potential for trail and green space preservation, enhancement and/or creation.

na (p) The development layout is designed to preserve the health and diversity of wildlife affected by development in natural drainage corridor areas.

na (q) The development layout is designed to minimize the intrusions of noise, trash and other things into the Greenbelt System that would negatively affect visitors' and users' experience of any impacted components of the Greenbelt System.

na (r) To the extent possible, the development layout, as designed, does not impair the ability of riparian buffers from serving as corridors for wildlife movement.

na (s) Riparian buffers are incorporated into the Greenbelt System.

na (t) The commercial developments have provided for pedestrian access.

Y (u) Pavement is minimized when possible by, among other things, using shared parking areas and/or permeable parking surfaces where feasible and allowed under the Zoning Ordinance of the City of Norman and the City Engineering Design Criteria.

na (v) Cluster development has been utilized as a means to develop the Greenbelt System.

na (w) Structures, other than utility transmission poles or substations, were located to maximize greenbelt and trail opportunities.

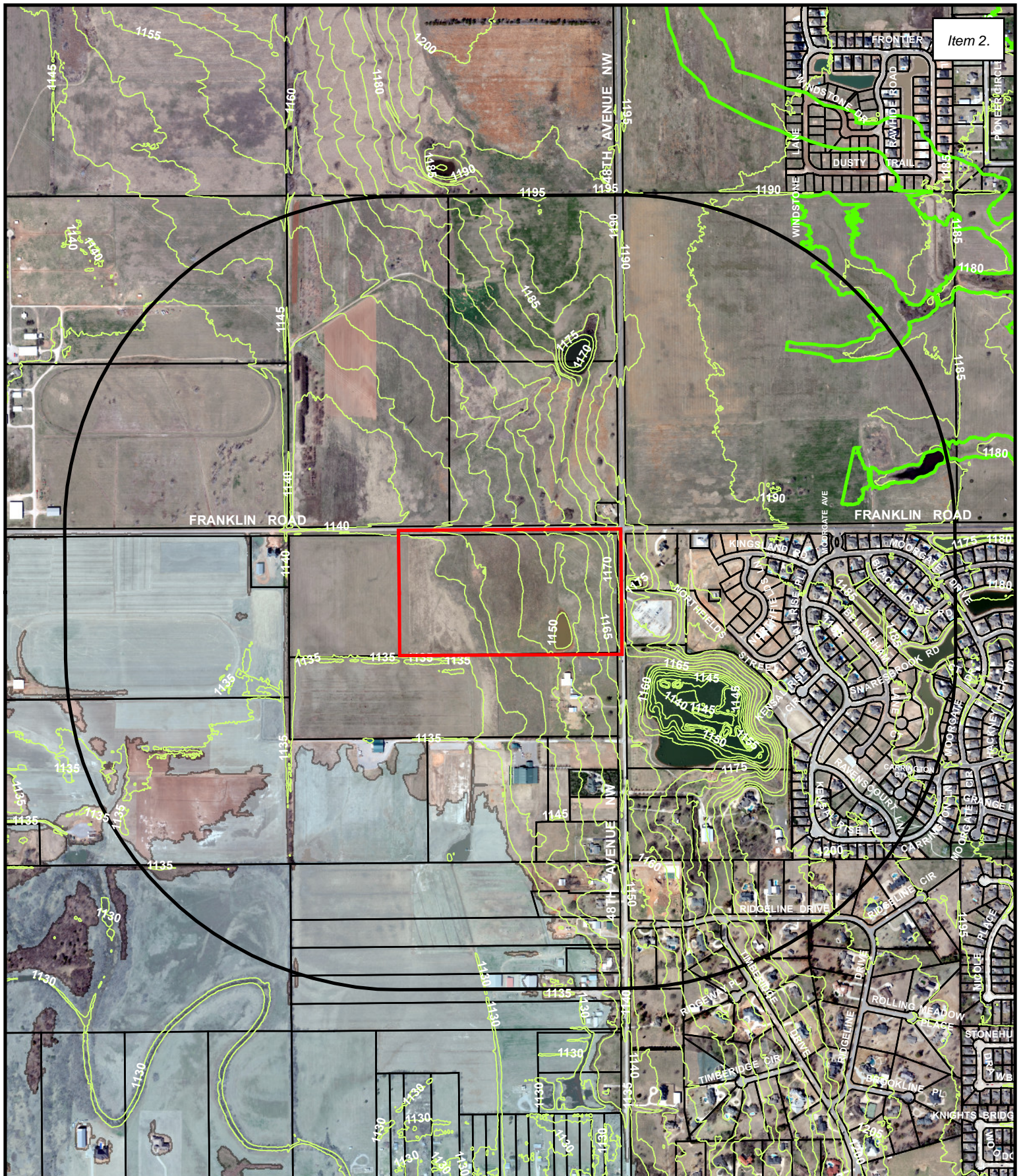
8. **If**, after reviewing the above questions, you feel like your proposed **development** or project **has no opportunities** to add to the City of Norman Greenbelt System, please **explain** briefly below. (Any comments you feel will help the Commission understand your intent to develop the area.)

The proposed Application is to allow a substation, which must comply with policy regulations to ensure the safety of surrounding properties and civilians. For that reason, this development is unable to add to the City of Norman Greenbelt System.

s/ David Box

Signature of Applicant or Contact Person (required) : _____

GREENBELT COMMISSION COMMENTS AND SUGGESTIONS ABOUT PROPOSED DEVELOPMENT AS SUBMITTED FOR PLANNING COMMISSION AND CITY COUNCIL CONSIDERATION (MAY ATTACH AS SEPARATE SHEET):



Map Produced by the City of Norman
Geographic Information System,
(405) 366-5316
The City of Norman assumes no
responsibility for errors or omissions
in the information presented.

March 2021 Aerial Photography

June 6, 2023

0 480 960 Ft

1/2 Mile Radius
Parcels

5ft. Contours
Floodway
100yr. Floodplain
Stream Planning Corridor

Greenbelt Priority Trails

- North Norman Tecumseh Trail
- Scissortail Trail
- South Legacy Trail
- East Norman Trails
- West Lindsey Extens
- Current & In-Progress Trails

GREENBELT COMMISSION
June 20, 2023

GREENBELT ENHANCEMENT STATEMENT

ITEM NO. 23-12

STAFF REPORT

GENERAL INFORMATION

APPLICANT	Cimarron Precious Metals, Inc.
LOCATION	1001 N. University Boulevard
PROPOSAL	NORMAN 2025 Land Use Plan Amendment to remove Special Planning Area 3 designation; Rezone from Light Industrial (I-1) to a Simple Planned Unit Development (SPUD).
NORMAN 2025 LAND USE	Current: Commercial with SPA-3 Proposed: Removal of SPA-3, keeping Commercial Designation
ZONING	Current: I-1, Light Industrial District Proposed: SPUD, Simple Planned Unit Development North: I-1, Light Industrial District West: I-1, Light Industrial District South: I-1, Light Industrial District East: C-3, Intensive Commercial District

SYNOPSIS: The applicant submitted a request for a NORMAN 2025 Land Use Plan Amendment to remove the Special Planning Area 3 Designation for property located at 1001 N. University Boulevard. The Commercial Designation will remain. The applicant also requests to rezone from I-1, Light Industrial District, to SPUD, Simple Planned Unit Development. Per the application document, no structures will be added or removed and it will remain in its current physical state.

ANALYSIS: This general area is zoned as a pocket of I-1, Light Industrial District, with C-3, Intensive Commercial District to the East. No portions of the property are in the 100-year floodplain or designated as Water Quality Protection Zone (WQPZ). The subject property is platted as part of the Adbar #2. No sidewalk exists along either street frontage. The site was zoned and platted as an industrial development; sidewalks were not required with this type of zoning. There are no sidewalks to the North/South of this site but the Pioneer Library and Legacy Trail to the east has a network of sidewalks. It would be advantageous if there was an east/west sidewalk installed along the south side of this property to create pedestrian connectivity.

The Greenbelt Enhancement Statement, rezoning application, NORMAN 2025 amendment application, Conceptual Site Plan, and location map are attached.

STAFF COMMENTS: There is not a proposed trail in the Greenway Master Plan along N. University Boulevard at this location. Staff places this item on the consent docket for the June 20th, 2023 Greenbelt Commission Meeting.



Application for Amendment of the
NORMAN 2025 LAND USE AND TRANSPORTATION PLAN

Case No. R-_____

Item 3.

City of Norman Planning & Community Development - 225 N. Webster Avenue - Norman, OK 73069 — (405) 307-7112 Phone

APPLICANT(S) Cimarron Precious Metals	ADDRESS OF APPLICANT 1001 N University Blvd
--	--

NAME AND PHONE NUMBER OF CONTACT PERSON(S) Les White (cell) 405-627-5488 EMAIL: Les@DPM.Gold	TYPE OF AMENDMENT(S): <input type="checkbox"/> Growth Area Designation <input checked="" type="checkbox"/> Land Use Plan <input type="checkbox"/> Transportation Plan
---	--

LOCATION AND EXTENT OF AMENDMENT(S): 1001 N. University Blvd.
Remove Special Planning Area 3 from the subject tract.

SIZE OF PROJECT AREA: 0.430 acres

PRESENT DESIGNATION:
Growth Areas: _____
Land Use: _____
Streets: _____
Other: Special Planning Area 3

REQUEST TO BE CHANGED TO: _____

JUSTIFICATION FOR AMENDMENT (Include any change of conditions, appropriate NORMAN 2025 PLAN Policy Statements, and any other evidence which would support the change.):

The applicant plans to rezone the subject tract from I-1 to SPUD to add a commercial component to the existing building. No new buildings will be added. No changes to any existing buildings.

EXPECTED AFFECTS ON SURROUNDING PROPERTIES: _____

(Attach additional sheets, maps, etc., if necessary.)

SIGNATURE OF APPLICANT: 

FOR OFFICE USE ONLY Filing fee of \$150.00
Date Submitted: 06/06/23 Checked by: _____

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Specific Principles, Purposes and Goals of the Greenbelt System.

The following principles, purposes and goals are delineated in the City of Norman's Code of Ordinances, **Section 2-330**, and are essential for your understanding as you complete the GES.

(a) Proposed additions to the Greenbelt System should be guided by the following principles:

- (1) The ultimate goal is to create an interconnected system of trails that allow multiple connections across all of the City.
- (2) The Greenbelt System should preserve valuable green space, natural habitat and key areas with existing vegetation.
- (3) Trail segments should be designed so that they convey the physical and historical character of the City and relate to the neighborhoods through which the trail corridors pass.
- (4) Greenway corridors should provide unique opportunities to learn about the history, culture, and accomplishments of the City.
- (5) Trails should promote smooth walkable corridors that are open and visible.
- (6) The Greenbelt System should contribute to enhancing the physical appearance of the City, whether through new pedestrian features, landscaping added to trail corridors, or simply by revealing natural areas not previously visible to the general public.
- (7) The Greenbelt System should encourage the creation of public and private partnerships that help build the entire system more quickly.
- (8) Greenbelts should protect environmentally sensitive lands that are generally the least suitable for development, especially floodprone areas and riparian corridors, and provide connectivity between the elements of the Greenbelt System.

(b) The use of lot clustering should be encouraged as a means to develop the Greenbelt System.

(c) The Greenbelt System should be used to link together existing recreation areas.

(d) Multipurpose greenways should be created that:

- (1) Create a unique greenway character for the City;
- (2) Protect environmentally sensitive areas of the City and serve as a wildlife habitat;
- (3) Serve as a storm water management resource for urban runoff and regional detention needs;
- (4) Provide recreation opportunities for bicycling, walking, and jogging, as well as an alternate route to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking;
- (5) Preserve agriculturally significant lands through conservation easements or other means; and
- (6) Provide suitable locations for sanitary sewer easements and facilities.

(e) Greenbelts should be used to provide green space areas adjacent to highways and major streets for sound buffer zones and protection from incompatible land uses.

(f) The Greenbelt System should continue to improve a natural landscape planting and maintenance program for City-owned properties and rights-of-way of major streets and highways.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

Greenbelt Case No. _____

Pre-Development Case No. _____

Applicant Name: Cimarron Precious Metals, Inc. Date: _____

Contact Person: Les White Telephone/Fax/Email: 405-627-5488 Les@CPM.Gold

Name of Development Cimarron Precious Metals, Inc. Area (Acres) 0.430 acres

General Location 1001 N. University Blvd.

Please attach a map, site plan and/or survey map illustrating the proposed development.

Type of Proposal (please check all that apply)

a. **This is a:** Land Use Plan Amendment ☒ Preliminary Plat ☐ Rural Certificate of Survey ☐.

b. Proposed **Land Use:** Residential _____ Commercial^x _____ Industrial^x _____ Other _____

1. Briefly **explain the kind of development**, types of buildings/uses, or character of your proposal **and how it achieves the principles, purposes and goals** of Section 2-330.

2. Does your proposed development or project incorporate open space(s)?

Yes _____ No ☒

Please check **what** type(s) of **open spaces are proposed** within your development:

Park: _____ Yes _____ No _____ Public _____ Private

Open Space: _____ Yes _____ No _____ Public _____ Private

Detention Pond: _____ Yes _____ No _____ Public _____ Private

Parking Lot Landscape: _____ Yes _____ No _____ Public _____ Private

Floodplain/Creek: _____ Yes _____ No _____ Public _____ Private

Other _____

If the above noted areas are accessible via some other arrangement please explain.

3. **Does** the open space for this **development include** some kind of **trail or path** that meets the definitions contained in Section 2-327 of the attached guidelines? (Indicate all that are applicable.)

Public Sidewalks (4-5' wide) _____ Yes _____ No

Natural Trails (compacted earth 8-10' wide) _____ Yes _____ No

Parkway Trails (durable surface 6-8' wide) _____ Yes _____ No

Neighborhood Trails (durable or paved, 6-10' wide) _____ Yes _____ No

Community Wide Trails (paved, 10-12' wide) _____ Yes _____ No

Specialized Trails (equestrian, water, etc) _____ Yes _____ No

Other _____

4. **Identify** schools, recreational areas (parks, playgrounds), commercial sites, or other public **open spaces within ½ mile** of your proposed development. (If there are **no** such areas within the ½ mile radius please **state** such and skip question 5.)

*Norman Library and Legacy Trail,
Andrews Park*

5. Projects in close proximity to schools, recreational areas (parks, playgrounds), commercial sites, and residential neighborhoods should, ideally, allow **connection points** promoting non-motorized transportation between key areas. Please **describe** how the proposed development plan accommodates those using alternative transportation, such as walkers and bicyclists? Examples include sidewalks connecting key areas, designated bike paths, and bike parking. (If there is **no** such connectivity please **state** such.)

Wilson Elementary School

6. Please **check**, from the following (or attach a list), **any other** geographical and/or environmental factors in your development that might offer **opportunities** for additions to the Greenbelt System (see Section 2-327).

- ☐ Storm water channels
☐ Detention ponds
☐ Floodplains
☐ Stream bank/Riparian corridors
☐ Utility Easements
☐ Abandoned/Active RR corridors
☐ Other _____

How could your development **also incorporate** those elements noted into greenbelts and trails?

7. Please review the statements below and indicated in the space next to each item, whether it **does apply** ("Yes"), **does not apply** ("No"), or **is not feasible** ("NA") to your development. Of specific interest is how your project fits into the public open spaces and parks.

In performing its duties, the Greenbelt Commission shall take into account the considerations listed below. The Commission will also consider how your project fits into the public open spaces and parks that are existing. Not all considerations will be applicable or feasible for each application.

NA (a) Portions of the Greenbelt System are accessible to the general public.

NA (b) Greenways are established and provide connections to other existing and future components of the Greenbelt System.

NA (c) Existing easements (e.g., utility, pipeline, oil lease right-of-way, etc.) may be used for Greenways where appropriate and where expressly approved by the easement grantor and grantee.

- ~~N/A~~ (d) Greenways connect neighborhoods to each other and to industrial and commercial areas.
- ~~N/A~~ (e) Greenways provide alternative routes to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking.
- ~~N/A~~ (f) Adverse impacts on existing topography, drainage patterns and natural vegetation are minimized.
- ~~N/A~~ (g) Developments between urbanized Norman and Lake Thunderbird include pedestrian and bike connectivity to adjacent parcels to allow for future connections to Lake Thunderbird.
- ~~N/A~~ (h) Landscaping required by the City has been/will be planted in conformance with Norman Zoning regulations, including with local drought-resistant low maintenance plants, shrubs and trees.
- ~~N/A~~ (i) Vegetative buffers between neighborhoods and railway lines have been provided to enhance safety and reduce the effects of noise and air pollution.
- ~~N/A~~ (j) Permeable ground surfaces have been preserved to the extent possible.
- ~~N/A~~ (k) Ingress and egress to and from a development is designed to permit safe use by non-motorized traffic in and out of the development and across the ingress and egress provisions of the development.
- ~~N/A~~ (l) Fences abutting components of the Greenbelt System, and particularly those abutting green spaces, are of designs and materials that minimize their visual impact to the extent such fences are allowable under Norman City Code and not in conflict with applicable national standards for utility facilities. Examples of acceptable open fences include such types as wrought iron, split rail, low picket fence with every other picket removed, and metal pickets.
- ~~N/A~~ (m) Water retention and detention storage facilities are designed in accordance with bioengineering principles and built with bioengineering materials.
- ~~N/A~~ (n) Detention facilities are integrated into the surrounding neighborhood as part of the Greenbelt System in as ecologically sound a method as possible.
- ~~N/A~~ (o) Storm water management design considers the potential for trail and green space preservation, enhancement and/or creation.
- ~~N/A~~ (p) The development layout is designed to preserve the health and diversity of wildlife affected by development in natural drainage corridor areas.
- ~~N/A~~ (q) The development layout is designed to minimize the intrusions of noise, trash and other things into the Greenbelt System that would negatively affect visitors' and users' experience of any impacted components of the Greenbelt System.
- ~~N/A~~ (r) To the extent possible, the development layout, as designed, does not impair the ability of riparian buffers from serving as corridors for wildlife movement.
- ~~N/A~~ (s) Riparian buffers are incorporated into the Greenbelt System.
- ~~N/A~~ (t) The commercial developments have provided for pedestrian access.
- ~~N/A~~ (u) Pavement is minimized when possible by, among other things, using shared parking areas and/or permeable parking surfaces where feasible and allowed under the Zoning Ordinance of the City of Norman and the City Engineering Design Criteria.
- ~~N/A~~ (v) Cluster development has been utilized as a means to develop the Greenbelt System.
- ~~N/A~~ (w) Structures, other than utility transmission poles or substations, were located to maximize greenbelt and trail opportunities.

8. If, after reviewing the above questions, you feel like your proposed **development** or project **has no opportunities** to add to the City of Norman Greenbelt System, please **explain** briefly below. (Any comments you feel will help the Commission understand your intent to develop the area.)

This is a developed industrial area.

Signature of Applicant or Contact Person (required):



GREENBELT COMMISSION COMMENTS AND SUGGESTIONS ABOUT PROPOSED DEVELOPMENT AS SUBMITTED FOR PLANNING COMMISSION AND CITY COUNCIL CONSIDERATION (MAY ATTACH AS SEPARATE SHEET):



4/28/2023, 10:11:54 AM

Easement

Conservation Easements

Lot Line

Parcel

Address Number

OU

Park

Lake Thunderbird

Railroad

Streets

AerialPhoto2021

Red: Band_1

Green: Band_2

Blue: Band_3

AerialPhoto2019

Red: Band_1

Green: Band_2

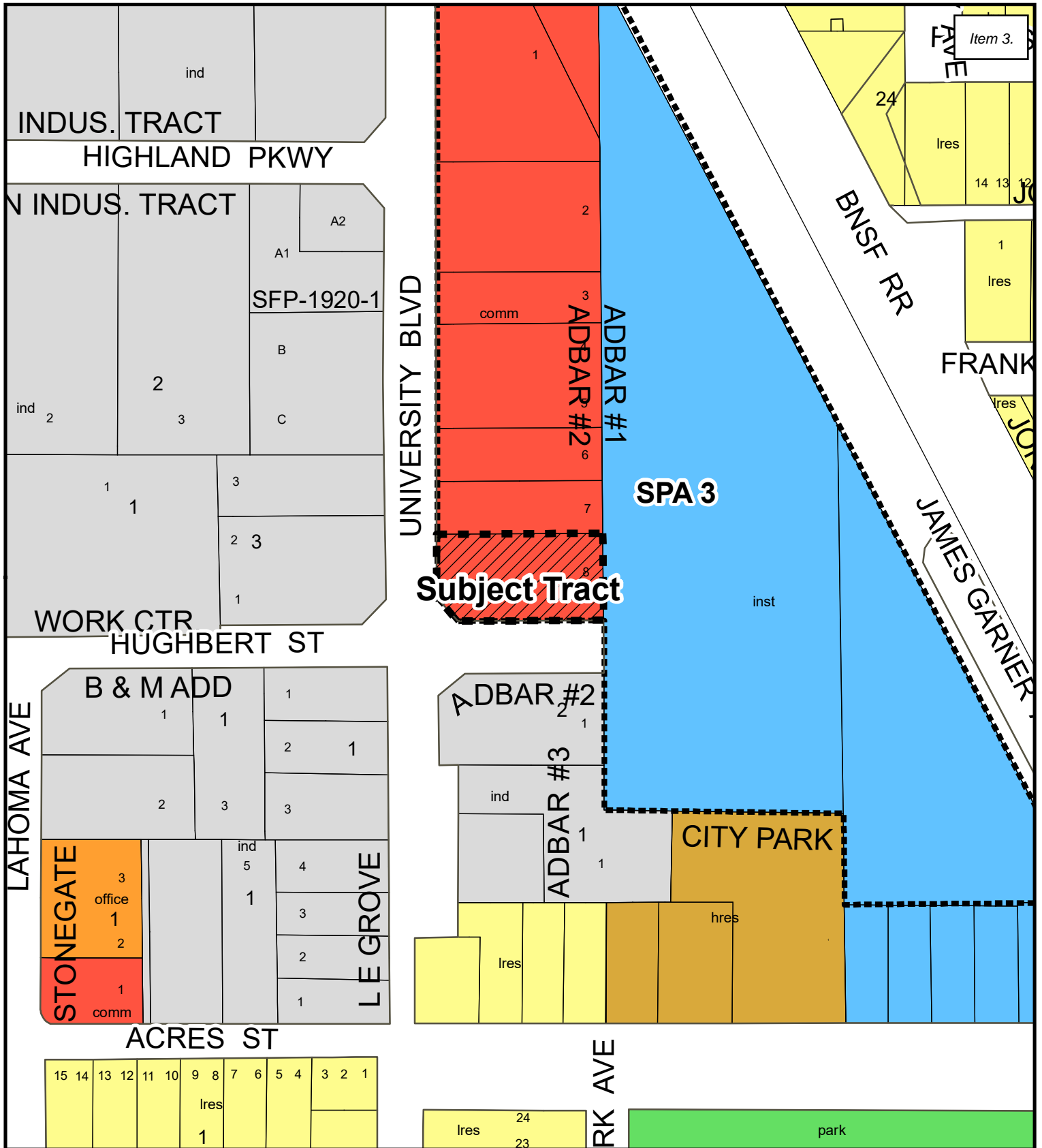
Blue: Band_3

Centerline Labels (10,000+)

City of Norman, GIS Services Division

City of Norman, Interactive Map
The City of Norman assumes no responsibility of errors or omissions in the information presented.

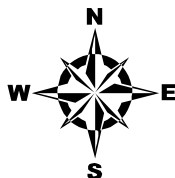
33



Norman 2025 Land Use Plan



Map Produced by the City of Norman
Geographic Information System.
The City of Norman assumes no
responsibility for errors or omissions
in the information presented.



June 6, 2023

0 75 150 Ft.



Subject Tract

GREENBELT COMMISSION
June 20, 2023

GREENBELT ENHANCEMENT STATEMENT

ITEM NO. 23-13

STAFF REPORT

GENERAL INFORMATION

APPLICANT	West Franklin Holding Company, LLC
LOCATION	West of 48 th Ave. NW, South of Franklin Rd., and North of W Tecumseh Rd.
PROPOSAL	Preliminary Plat for Red Sky Ranch, a Planned Unit Development for 26.2 acres; Rezone approximately 26.2 acres from PUD and A-2, Rural Agricultural District, to PUD, Planned Unit Development.
NORMAN 2025 LAND USE	Current: Very Low Density Residential and Floodplain Proposed: No change
ZONING	Current: PUD, and A-2, Rural Agricultural District Proposed: PUD, Planned Unit Development North: A-2, Rural Agricultural District West: A-2, Rural Agricultural District South: A-2, Rural Agricultural District East: A-2, Rural Agricultural District / RE, Residential Estate Dwelling District

SYNOPSIS: The applicant submitted a request for a preliminary plat for property located West of 48 Ave. NW and South of Franklin Rd containing 26.2 acres. The applicant requests to rezone from PUD and A-2, Rural Agricultural District, to a Planned Unit Development to allow 10 single-family residential plots.

ANALYSIS: This general area is zoned A-2 area consists of predominantly single-family uses. The site is currently unplatted. Portions of the property are in the 100-year floodplain, however these are outside of the areas planned to be developed

48th Ave. NW is designated as a minor arterial along the Eastern edge of the property. The Greenway Master Plan identifies a proposed trail to be created "by Developer" along the east side of 48th Ave. NW, as well. There is currently not a sidewalk along the property's frontage on 48th Ave. NW.

The Greenbelt Enhancement Statement, rezoning application, NORMAN 2025 amendment application, Conceptual Site Plan, and location map are attached.

STAFF COMMENTS: There is a proposed trail in the Greenway Master Plan along 48th Ave. NW but it is along the east side of the street. Because the proposed trail is on the other side of the street, there is no opportunity for trails with this proposed development.

Staff places this item on the consent docket for the June 20th, 2023 Greenbelt Commission Meeting.



Application for REZONING OR SPECIAL USE

Case No. O-_____

City of Norman Planning & Community Development - 201 W. Gray St., Bldg. A - Norman, OK 73069 — (405) 366-5433 Phone - (405) 366-5274 Fax

APPLICANT(S) West Franklin Holding Company LLC	ADDRESS OF APPLICANT c/o Rieger Law Group PLLC, Attorney for Applicant 136 Thompson Drive Norman, OK 73069
NAME AND PHONE NUMBER OF CONTACT PERSON(S) c/o Gunner Joyce, Attorney for Applicant 405-310-5274 EMAIL: gjoyce@riegerlawgroup.com	EXISTING ZONING: A-2, Rural Agricultural District & PUD PROPOSED ZONING OR SPECIAL USE FOR: PUD; Planned Unit Development

PROPOSED USE(S) (including all buildings to be constructed): The Applicant intends to develop ten single-family residential lots on the Property, as more particularly described in the PUD. This is an extension of Red Sky Ranch § 1

STREET ADDRESS OR LOCATION: West of 48th Ave NW, South of W Franklin Rd, and North of W Tecumseh Rd

LEGAL DESCRIPTION AND AREA OF REQUEST: See attachments for Legal Description and Area

SIZE OF PROJECT AREA: Approx. 26.232 acres

In order that your application can be heard and considered at the next Planning Commission meeting, you must submit this completed application form and the following required information to the Planning Department (201-A West Gray) for review before **1:30 p.m. the day of the filing deadline** (generally Monday, 31 days before the next Planning Commission meeting):

- ☐ Two copies of the complete **APPLICATION**
- ☐ Copy of **DEED** to land
- ☐ **CERTIFIED OWNERSHIP LIST** of names and addresses of all property owners within three hundred fifty (350) feet of the request, exclusive of streets and alleys which are less than three hundred (300) feet in width (a **RADIUS MAP** showing the three hundred fifty (350) foot notice area will be provided by the Planning Department and a form for the ownership list is attached)
- ☐ **FILING FEE**, as computed by the Planning Department
- ☐ **SITE PLAN** is required in the case of a request for commercial or industrial zoning (22:442.1.7)
- ☐ Pursuant to Section 19-104 of the Subdivision Regulations, a **PRELIMINARY PLAT** may be required to be filed with the Engineering Division, Public Works Department.

SIGNATURE OF PROPERTY OWNER(S):

Gunner Joyce, Attorney for Applicant

ADDRESS AND TELEPHONE:

Rieger Law Group PLLC

136 Thompson Dr.

Norman, OK 73069

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Y
- ☒ Application
 - ☒ Site Plan
 - ☒ Certified Ownership List and Radius Map
 - ☐ Proof of Ownership
 - ☒ Supporting Data
 - ☒ Filing Fee of \$ 7.70.00

Date Submitted:

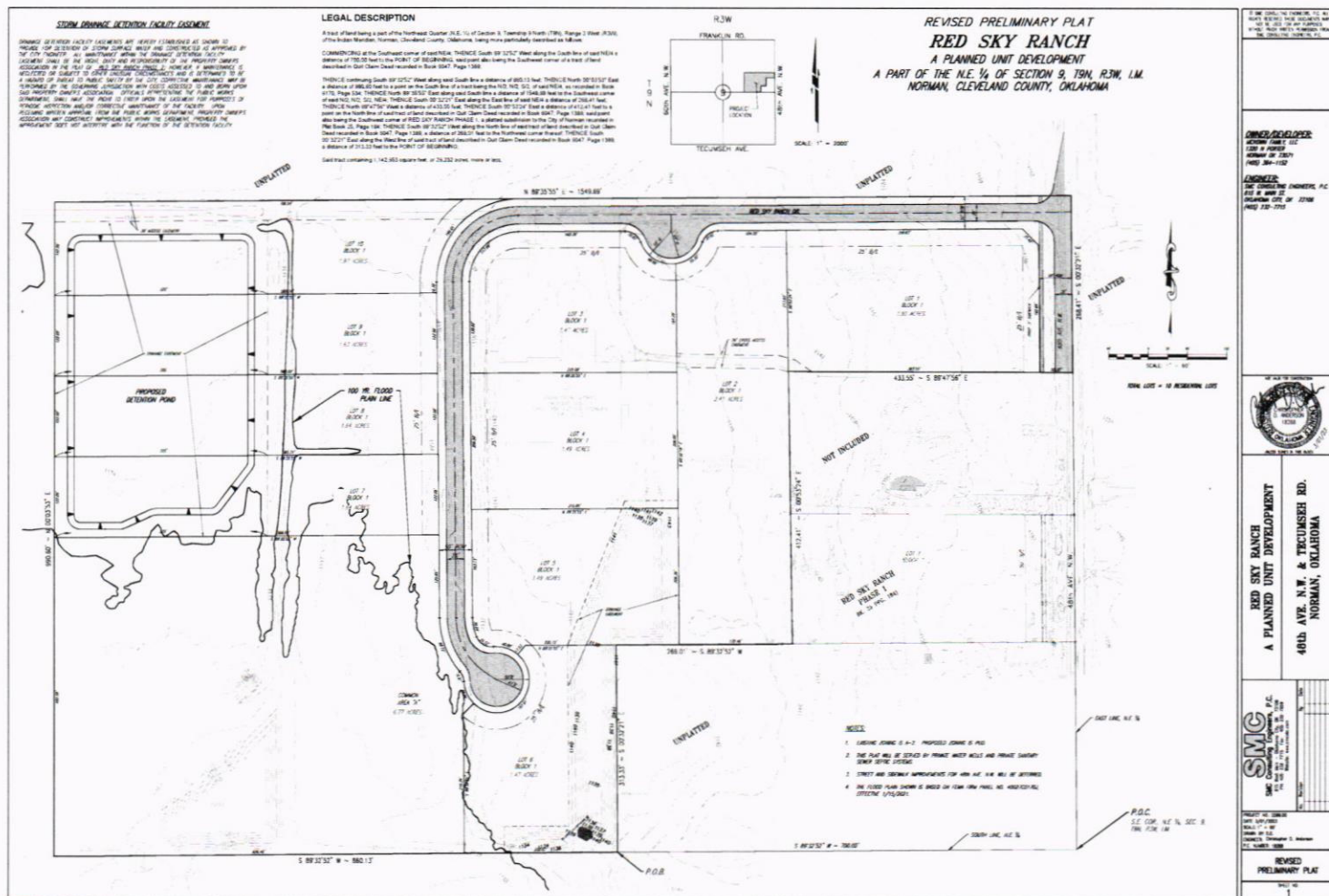
5-1-2023

Time Submitted:

8:35 ② a.m./p.m.

Checked by:

MT



GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

Greenbelt Case No. _____ **Pre-Development Case No.** _____

Applicant Name: West Franklin Holding Company LLC Date: May 1, 2023

Contact Person: Gunner Joyce, Attorney for Applicant Telephone/Fax/Email: 405-310-5274; gjoyce@riegerlawgroup.com

Name of Development: Red Sky Ranch Section 2 Area (Acres): 26.232

General Location West of 48th Avenue NW, South of West Franklin, and North of West Tecumseh Road

***Please attach a map, site plan and/or survey map illustrating the proposed development.**

Type of Proposal (please check all that apply)

a. **This is a:** Land Use Plan Amendment ☐; Preliminary Plat ☒; Rural Certificate of Survey ☐.

b. Proposed **Land Use:** Residential ☒ Commercial ☐ Industrial ☐ Other ☐.

1. Briefly **explain the kind of development**, types of buildings/uses, or character of your proposal **and how it achieves the principles, purposes and goals** of Section 4-2026.

The applicant intends to develop ten single-family residential lots within the property, as more particularly shown in the attached exhibits.

2. Does your proposed development or project incorporate open space(s)?

Yes ☒ No ☐

Please check **what type(s) of open spaces are proposed** within your development:

Park: _____ Yes ☒ No _____ Public _____ Private _____

Open Space: ☒ Yes _____ No _____ Public ☒ Private _____

Detention Pond: ☒ Yes _____ No _____ Public ☒ Private _____

Parking Lot Landscape: _____ Yes ☒ No _____ Public _____ Private _____

Floodplain/Creek: ☒ Yes _____ No _____ Public ☒ Private _____

Other _____

If the above noted areas are **accessible** via some **other arrangement** please **explain**.

3. **Does** the open space for this **development include** some kind of **trail or path** that meets the definitions contained in Section 4-2023A of the attached guidelines? (Indicate all that are applicable.)

Public Sidewalks (4-5' wide) _____ Yes ☒ No _____

Natural Trails (compacted earth 8-10' wide) _____ Yes ☒ No _____

Parkway Trails (durable surface 6-8' wide) _____ Yes ☒ No _____

Neighborhood Trails (durable or paved, 6-10' wide) _____ Yes ☒ No _____

Community Wide Trails (paved, 10-12' wide) _____ Yes ☒ No _____

Specialized Trails (equestrian, water, etc) _____ Yes ☒ No _____

Other _____

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

4. **Identify** schools, recreational areas (parks, playgrounds), commercial sites, or other public **open spaces within ½ mile** of your proposed development. (If there are **no** such areas within the ½ mile radius please **state** such and skip question 5.)

There are no current parks, schools, or recreational areas within 1/2 mile of the development.

5. Projects in close proximity to schools, recreational areas (parks, playgrounds), commercial sites, and residential neighborhoods should, ideally, allow **connection points** promoting non-motorized transportation between key areas. Please **describe** how the proposed development plan accommodates those using alternative transportation, such as walkers and bicyclists? Examples include sidewalks connecting key areas, designated bike paths, and bike parking. (If there is **no** such connectivity please **state** such.)

N/A. See above.

6. Please **check**, from the following (or attach a list), **any other** geographical and/or environmental factors in your development that might offer **opportunities** for additions to the Greenbelt System (see Section 4-2023A, especially definitions of "the greenbelt system," "green space," "greenway" and "trail"). To help you answer this question, the following online link to the Greenways Master Plan Map NormanOK.gov/MasterPlan is provided.

- ☐ Storm water channels
- ☐ Detention ponds
- ☐ Floodplains
- ☐ Stream bank/Riparian corridors
- ☐ Utility Easements
- ☐ Abandoned/Active Railroad corridors
- ☐ Other _____

How could your development **also incorporate** those elements noted into greenbelts and trails? N/A

7. **Please review the statements below and indicate in the space next to each item, whether it does apply ("Yes"), does not apply ("No"), or is not feasible ("NA") to your development. Of specific interest is how your project fits into the public open spaces and parks.**

In performing its duties, the Greenbelt Commission shall take into account the considerations listed below. The Commission will also consider how your project fits into the public open spaces and parks that are existing. Not all considerations will be applicable or feasible for each application.

- ☒ (a) Portions of the Greenbelt System are accessible to the general public.
- ☒ (b) Greenways are established and provide connections to other existing and future components of the Greenbelt System.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

- ☒ (c) Existing easements (e.g. utility, pipeline, oil lease right of way, etc) may be used for Greenways where appropriate and where expressly approved by the easement grantor and grantee.
- ☒ (d) Greenways connect neighborhoods to each other and to industrial and commercial areas.
- ☒ (e) Greenways provide alternative routes to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking.
- ☒ (f) Adverse impacts on existing topography, drainage patterns and natural vegetation are minimized.
- ☒ (g) Developments between urbanized Norman and Lake Thunderbird include pedestrian and bike connectivity to adjacent parcels to allow for future connections to Lake Thunderbird.
- ☒ (h) Landscaping required by the City has been/will be planted in conformance with Norman Zoning regulations, including with local drought-resistant low maintenance plants, shrubs and trees.
- ☒ (i) Vegetative buffers between neighborhoods and railway lines have been provided to enhance safety and reduce the effects of noise and air pollution.
- ☒ (j) Permeable ground surfaces have been preserved to the extent possible.
- ☒ (k) Ingress and egress to and from a development is designed to permit safe use by non-motorized traffic in and out of the development and across the ingress and egress provisions of the development.
- ☒ (l) Fences abutting components of the Greenbelt System, and particularly those abutting green spaces, are of designs and materials that minimize their visual impact to the extent such fences are allowable under Norman City Code and not in conflict with applicable national standards for utility facilities. Examples of acceptable open fences include such types as wrought iron, split rail, low picket fence with every other picket removed, and metal pickets.
- ☒ (m) Water retention and detention storage facilities are designed in accordance with bioengineering principles and built with bioengineering materials.
- ☒ (n) Detention facilities are integrated into the surrounding neighborhood as part of the Greenbelt System in as ecologically sound a method as possible.
- ☒ (o) Storm water management design considers the potential for trail and green space preservation, enhancement and/or creation.
- ☒ (p) The development layout is designed to preserve the health and diversity of wildlife affected by development in natural drainage corridor areas.
- ☒ (q) The development layout is designed to minimize the intrusions of noise, trash and other things into the Greenbelt System that would negatively affect visitors' and users' experience of any impacted components of the Greenbelt System.
- ☒ (r) To the extent possible, the development layout, as designed, does not impair the ability of riparian buffers from serving as corridors for wildlife movement.
- ☒ (s) Riparian buffers are incorporated into the Greenbelt System.
- ☒ (t) The commercial developments have provided for pedestrian access.
- ☒ (u) Pavement is minimized when possible by, among other things, using shared parking areas and/or permeable parking surfaces where feasible and allowed

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

under the Zoning Ordinance of the City of Norman and the City Engineering Design Criteria.

☒ (v) Cluster development has been utilized as a means to develop the Greenbelt System.

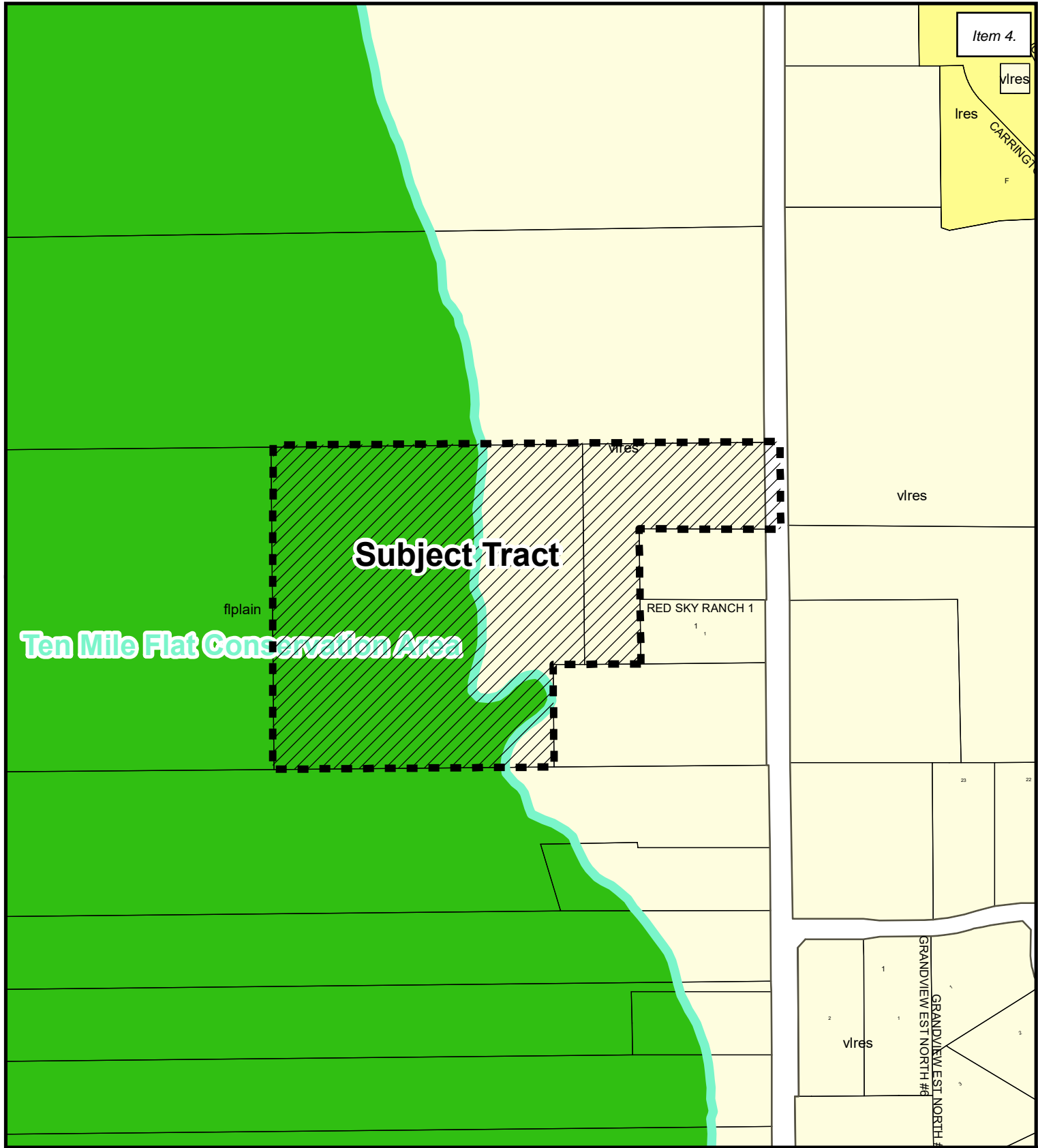
☒ (w) Structures, other than utility transmission poles or substations, were located to maximize greenbelt and trail opportunities.

8. If, after reviewing the above questions, you feel like your proposed **development** or project **has no opportunities** to add to the City of Norman Greenbelt System, please **explain** briefly below. (Any comments you feel will help the Commission understand your intent to develop the area.)

Signature of Applicant or Contact Person (required) :



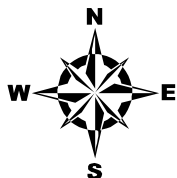
GREENBELT COMMISSION COMMENTS AND SUGGESTIONS ABOUT PROPOSED DEVELOPMENT AS SUBMITTED FOR PLANNING COMMISSION AND CITY COUNCIL CONSIDERATION (MAY ATTACH AS SEPARATE SHEET):



Norman 2025 Land Use Plan




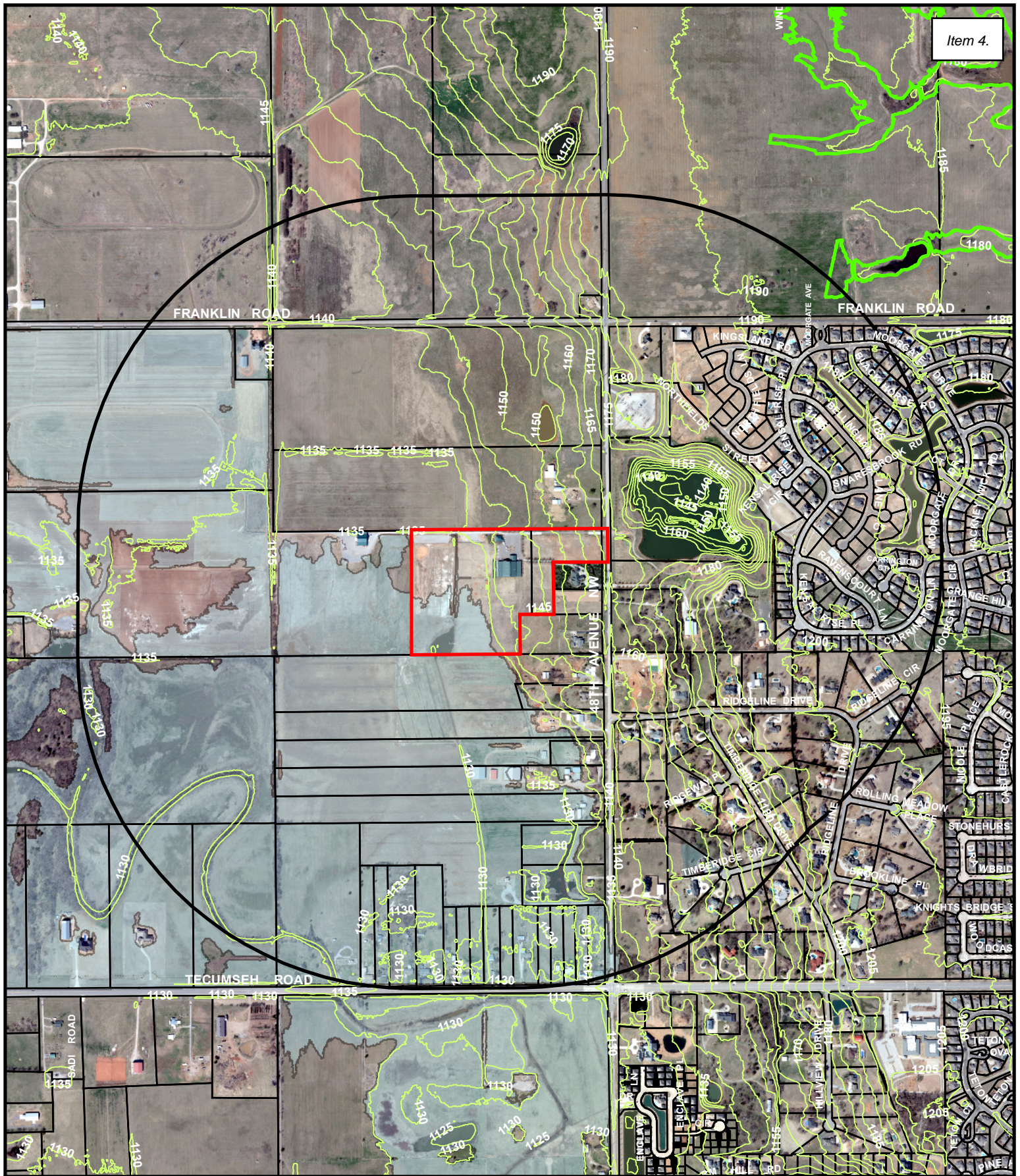
Map Produced by the City of Norman
Geographic Information System.
The City of Norman assumes no
responsibility for errors or omissions
in the information presented.



May 5, 2023

0 200 400 Ft.

 Subject Tract



March 2021 Aerial Photography

May 3, 2023

0 500 1,000 Ft

1/2 Mile Radius
Parcels

5ft. Contours
Floodway
100yr. Floodplain
Stream Planning Corridor

Greenbelt Priority Trails

- North Norman Tecumseh Trail
- Scissortail Trail
- South Legacy Trail
- East Norman Trails
- West Lindsey Extens
- Current & In-Progress Trails



Map Produced by the City of Norman
Geographic Information System,
(405) 366-5316
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in the information presented.

Item 4.

48TH AVE NW

A-2
1339

Subject Tract

PUD
2021-47

A-2
1339

RED SKY RANCH 1

A-1

7273-103

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7475-25

RIDGELINE DRIV

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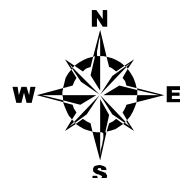
7475-1

~~RE~~
~~7475-17~~

Location Map



Map Produced by the City of Norman
Geographic Information System.
The City of Norman assumes no
responsibility for errors or omissions
in the information presented.



May 3, 2023

0 300 600 Ft.



Subject Tract



Zoning

GREENBELT COMMISSION
June 20, 2023

GREENBELT ENHANCEMENT STATEMENT

ITEM NO. 23-09

STAFF REPORT

GENERAL INFORMATION

APPLICANT	Henry and Maxine Mappes Trust
LOCATION	3907 E. Franklin Rd.
PROPOSAL	Mappes Estates Rural Certificate of Survey
NORMAN 2025 LAND USE	Current: Country Residential, SPA-6 Community Separator Proposed: No change
LAND USE	Current: Agricultural, Single-Family Residential Proposed: No change North: Agriculture West: Agriculture South: Single-Family Residential East: Single-Family Residential
ZONING	Current: A-2, Rural Agricultural District Proposed: No change North: A-2, Rural Agricultural District West: A-2, Rural Agricultural District South: A-2, Rural Agricultural District East: A-2, Rural Agricultural District

SYNOPSIS: The applicant submitted a Certificate of Survey for property located at 3907 E. Franklin Rd. The applicant plans on reallocating the tracts of land to meet the 10-acre minimum requirement for Community Separator Special Planning Area 6 in the Zoning Ordinance. There are currently no plans for new construction anywhere on the property.

ANALYSIS: This general area is zoned A-2, Rural Agricultural District. The area is a mixture of agricultural and very low-density residential uses. In the subject location, portions are in the 100-year floodplain and the Water Quality Protection Zone (WQPZ).

36th Ave. N.E. and E. Franklin Rd. are designated as minor rural arterials in the Comprehensive Transportation Plan. The Greenways Master Plan shows a proposed Long-Term Priority Trail along the east side of 36th Ave. N.E. in this location.

The Greenbelt Enhancement Statement, Certificate of Survey application, and location map are attached.

STAFF COMMENTS: Staff places this item on the non-consent docket for the June 20th, 2023 Greenbelt Commission Meeting.

INSTRUCTION SHEET NORMAN GREENBELT ENHANCEMENT STATEMENT

The Norman City Council established the Norman Greenbelt Commission and charged the group with reviewing proposed developments, **specifically Land Use Plan Amendments, Preliminary Plats and Rural Certificates of Survey**, in order to increase the preservation of beneficial green spaces and to identify trail system opportunities in new developments where appropriate. The Greenbelt Enhancement Statement was developed to aid the Commission in assessing new developments to insure that green space and trail opportunities are included whenever possible.

Please complete this Greenbelt Enhancement Statement (pages 5-8) to address the Greenbelt Commission's review and submit it to City of Norman staff at 201 'A' West Gray Street, Norman, OK 73069.

Attached are copies of the two (2) applicable sections of the adopted Greenbelt Ordinance, Sections 4-2023A, and 4-2026 to serve as reference while completing this Enhancement Statement. Upon request, a map of the relevant part of the Greenways Master Plan can also be provided for reference or accessed using this online link [REDACTED].

At the time you submit your application, you will be provided with the date of the next Greenbelt Commission Meeting. **You are urged to attend the Greenbelt Commission Meeting**, where you will be given an opportunity to present information, discuss your proposed development and to answer questions the Greenbelt Commission might have regarding your submittal. The comments and recommendations from the Greenbelt Commission meeting will be forwarded to the Planning Commission and City Council as part of their agenda packets whenever you make an application to them for consideration of your proposed development. Should you have any questions about this process or any of the below **questions**, please feel free to contact the City of Norman Greenbelt Commission staff at **405-366-5322**.

Definitions for Evaluating Greenbelt Enhancement Statements.

These are the definitions included in the City of Norman's Code of Ordinances, **Section 4-2023A** and are essential to completing the GES.

(a) **Bikeway**: a thoroughfare designated for bicycle travel by the Norman Bikeway Plan, as may be amended from time to time.

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(f) **Greenbelt Enhancement Statement** (GES): a statement on a form provided to the applicant by the City Planning and Community Development Department that is to be included with all applications for a Land Use Plan amendment, a Norman Rural Certificate of Survey or preliminary platting of land and submitted for consideration by the Commission that articulates how the principles, purposes, and goals of The Greenbelt System are met by the proposed development.

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1. A system of trails (both on and off road) intended to connect parks, green spaces, schools, retail, employment, and residential areas.
2. Areas of land within the City Limits required to be open space by zoning; areas currently designated for open space, park, floodplain, and institutional use by the Norman 2025 Plan and subsequently adopted land use plans; Lake Thunderbird, the Bureau of Reclamation (BOR) "take-line" and BOR flowage easements; any other areas of land which are designated by easement, by deed restriction, or otherwise required to remain free of structures; and areas designated as green space.

(h) **Green Space**: any land area designated as open space by Norman's Comprehensive Land Use Plan; land determined to be open space or green space on an approved site development plan; or any land area in which the preservation in its present use would conserve and enhance natural or scenic resource, protect streams or water supply, promote conservation of soils, wetlands or marshlands, enhance the value to the public of abutting or neighboring parks, forest, wildlife preserves, nature reservations, sanctuaries or other open space or green space, enhance recreation opportunities, including parks, plazas and narrow corridors or pathways for walking or bicycling even though surrounded by developed areas, preserve visual quality along highway, road, and street corridors or scenic vistas, or retain in its natural state tracts of land not less than one acre situated in an urban area and open to public use on such conditions as may be reasonably required by the granting authority.

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Types of trails include:

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6. The Greenbelt System should contribute to enhancing the physical appearance of the City, whether through new pedestrian features, landscaping added to trail corridors, or simply by revealing natural areas not previously visible to the general public.
7. The Greenbelt System should encourage the creation of public and private partnerships that help build the entire system more quickly.
8. Greenbelts should protect environmentally sensitive lands that are generally the least suitable for development, especially flood prone areas and riparian corridors, and provide connectivity between the elements of the Greenbelt System.

(b) The use of lot clustering should be encouraged as a means to develop the greenbelt system.

(c) The greenbelt system should be used to link together existing recreation areas.

(d) Multi-purpose greenways should be created that:

1. Create a unique greenway character for Norman;
2. Protect environmentally sensitive areas of the City and serve as a wildlife habitat;
3. Serve as a storm water management resource for urban run-off and regional detention needs;
4. Provide recreation opportunities for bicycling, walking, and jogging, as well as an alternate route to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking;
5. Preserve agriculturally significant lands thru conservation easements or other means;
6. Provide suitable locations for sanitary sewer easements and facilities.

(e) Greenbelts should be used to provide green space areas adjacent to highways and major streets for sound buffer zones and protection from incompatible land uses.

(f) The Greenbelt System should continue to improve a natural landscape planting and maintenance program for City-owned properties and rights-of-way of major streets and highways.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

Greenbelt Case No. _____ Pre-Development Case No. _____

Applicant Name: Vicki Fleming Date: 6/1/2023

Contact Person: Tim Pollard Telephone/Fax/Email: 405-443-8100 Tim@pwsurveying.com

Name of Development: Mappes Estates Area (Acres): 20.02 ac

General Location NE corner of Intersection of Tecumseh Road & 36th Ave NE

***Please attach a map, site plan and/or survey map illustrating the proposed development.**

Type of Proposal (please check all that apply)

a. **This is a:** Land Use Plan Amendment___; Preliminary Plat___; Rural Certificate of Survey___.

b. Proposed **Land Use:** Residential X Commercial___ Industrial___ Other___.

1. Briefly **explain the kind of development**, types of buildings/uses, or character of your proposal **and how it achieves the principles, purposes and goals** of Section 4-2026.

Single Family Residential Homes on 10 Acre Tracts

2. Does your proposed development or project incorporate open space(s)?

Yes ___ No X

Please check **what** type(s) of **open spaces are proposed** within your development:

Park: _____ Yes X No _____ Public _____ Private

Open Space: _____ Yes X No _____ Public _____ Private

Detention Pond: _____ Yes X No _____ Public _____ Private

Parking Lot Landscape: _____ Yes X No _____ Public _____ Private

Floodplain/Creek: X Yes _____ No _____ Public X Private

Other ± 3.5 acres reserved in WBPZ areas

If the above noted areas are **accessible** via some **other arrangement** please **explain**.

N/A

3. **Does** the open space for this **development include** some kind of **trail or path** that meets the definitions contained in Section 4-2023A of the attached guidelines? (Indicate all that are applicable.)

Public Sidewalks (4-5' wide) _____ Yes _____ No

Natural Trails (compacted earth 8-10' wide) _____ Yes _____ No

Parkway Trails (durable surface 6-8' wide) _____ Yes _____ No

Neighborhood Trails (durable or paved, 6-10' wide) _____ Yes _____ No

Community Wide Trails (paved, 10-12' wide) _____ Yes _____ No

Specialized Trails (equestrian, water, etc) _____ Yes _____ No

Other 20' Trail Easement along 36th Ave NE & Tecumseh Road.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

4. **Identify** schools, recreational areas (parks, playgrounds), commercial sites, or other public **open spaces within ½ mile** of your proposed development. (If there are **no** such areas within the ½ mile radius please **state** such and skip question 5.)
5. Projects in close proximity to schools, recreational areas (parks, playgrounds), commercial sites, and residential neighborhoods should, ideally, allow **connection points** promoting non-motorized transportation between key areas. Please **describe** how the proposed development plan accommodates those using alternative transportation, such as walkers and bicyclists? Examples include sidewalks connecting key areas, designated bike paths, and bike parking. (If there is **no** such connectivity please **state** such.)

No such connectivity

6. Please **check**, from the following (or attach a list), **any other** geographical and/or environmental factors in your development that might offer **opportunities** for additions to the Greenbelt System (see Section 4-2023A, especially definitions of "the greenbelt system," "green space," "greenway" and "trail"). To help you answer this question, the following online link to the Greenways Master Plan Map [] is provided.

- ☐ Storm water channels
- ☐ Detention ponds
- ☐ Floodplains
- ☐ Stream bank/Riparian corridors
- ☐ Utility Easements
- ☐ Abandoned/Active Railroad corridors
- ☐ Other _____

How could your development **also incorporate** those elements noted into greenbelts and trails? *N/A*

7. Please review the statements below and indicate in the space next to each item, whether it does apply ("Yes"), does not apply ("No"), or is not feasible ("NA") to your development. Of specific interest is how your project fits into the public open spaces and parks.

In performing its duties, the Greenbelt Commission shall take into account the considerations listed below. The Commission will also consider how your project fits into the public open spaces and parks that are existing. Not all considerations will be applicable or feasible for each application.

- N* (a) Portions of the Greenbelt System are accessible to the general public.
N (b) Greenways are established and provide connections to other existing and future components of the Greenbelt System.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

- N(c) Existing easements (e.g. utility, pipeline, oil lease right of way, etc) may be used for Greenways where appropriate and where expressly approved by the easement grantor and grantee.
- N(d) Greenways connect neighborhoods to each other and to industrial and commercial areas.
- N(e) Greenways provide alternative routes to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking.
- Y(f) Adverse impacts on existing topography, drainage patterns and natural vegetation are minimized.
- N(g) Developments between urbanized Norman and Lake Thunderbird include pedestrian and bike connectivity to adjacent parcels to allow for future connections to Lake Thunderbird.
- N(h) Landscaping required by the City has been/will be planted in conformance with Norman Zoning regulations, including with local drought-resistant low maintenance plants, shrubs and trees.
- N(i) Vegetative buffers between neighborhoods and railway lines have been provided to enhance safety and reduce the effects of noise and air pollution.
- Y(j) Permeable ground surfaces have been preserved to the extent possible.
- N(k) Ingress and egress to and from a development is designed to permit safe use by non-motorized traffic in and out of the development and across the ingress and egress provisions of the development.
- N(l) Fences abutting components of the Greenbelt System, and particularly those abutting green spaces, are of designs and materials that minimize their visual impact to the extent such fences are allowable under Norman City Code and not in conflict with applicable national standards for utility facilities. Examples of acceptable open fences include such types as wrought iron, split rail, low picket fence with every other picket removed, and metal pickets.
- N(m) Water retention and detention storage facilities are designed in accordance with bioengineering principles and built with bioengineering materials.
- N(n) Detention facilities are integrated into the surrounding neighborhood as part of the Greenbelt System in as ecologically sound a method as possible.
- N(o) Storm water management design considers the potential for trail and green space preservation, enhancement and/or creation.
- N(p) The development layout is designed to preserve the health and diversity of wildlife affected by development in natural drainage corridor areas.
- N(q) The development layout is designed to minimize the intrusions of noise, trash and other things into the Greenbelt System that would negatively affect visitors' and users' experience of any impacted components of the Greenbelt System.
- Y(r) To the extent possible, the development layout, as designed, does not impair the ability of riparian buffers from serving as corridors for wildlife movement.
- N(s) Riparian buffers are incorporated into the Greenbelt System.
- N(t) The commercial developments have provided for pedestrian access.
- Y(u) Pavement is minimized when possible by, among other things, using shared parking areas and/or permeable parking surfaces where feasible and allowed

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

under the Zoning Ordinance of the City of Norman and the City Engineering Design Criteria.

N(v) Cluster development has been utilized as a means to develop the Greenbelt System.

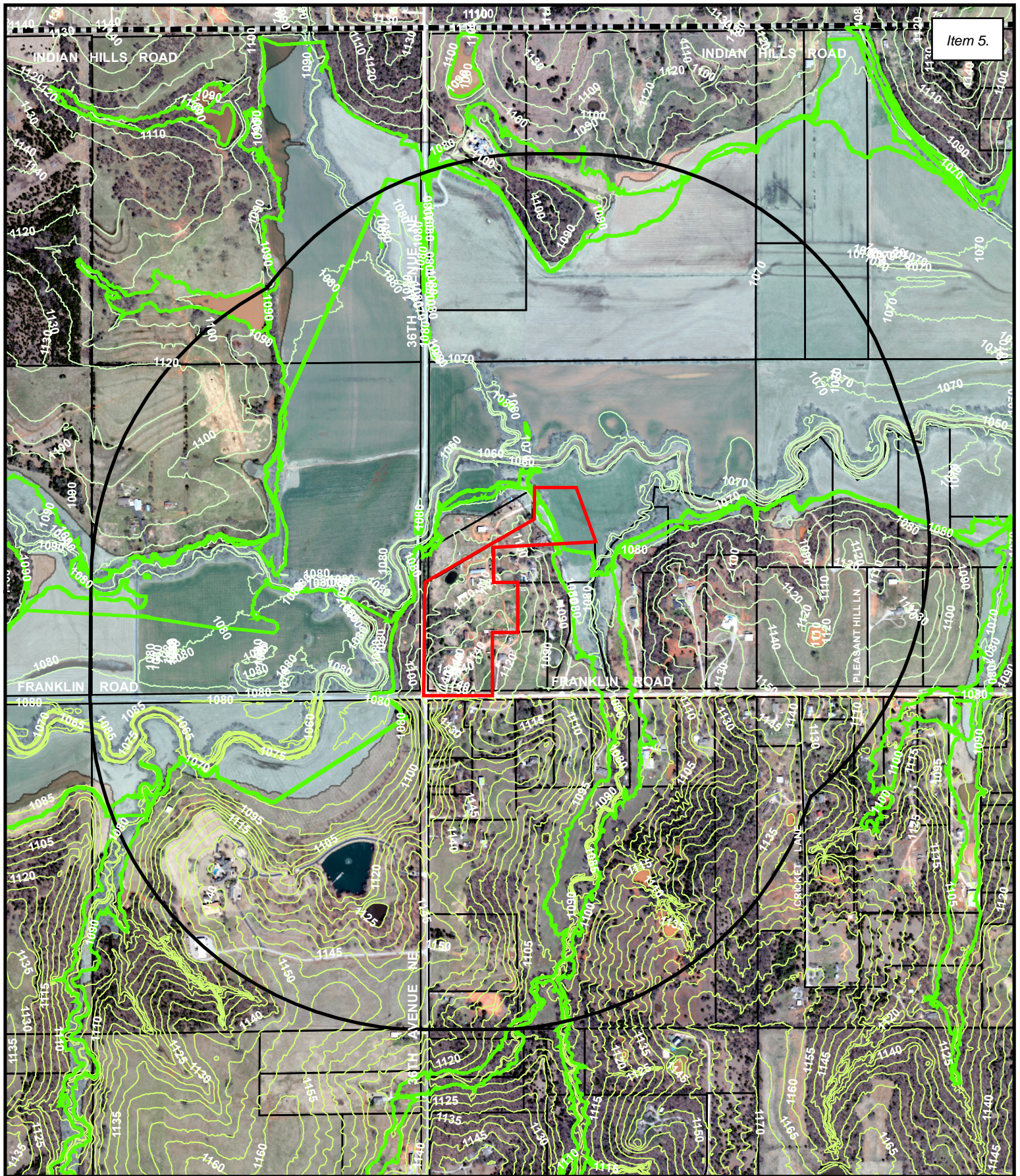
N(w) Structures, other than utility transmission poles or substations, were located to maximize greenbelt and trail opportunities.

8. If, after reviewing the above questions, you feel like your proposed **development** or project **has no opportunities** to add to the City of Norman Greenbelt System, please **explain** briefly below. (Any comments you feel will help the Commission understand your intent to develop the area.)

Single Family Residential Home built on 10 acre Tract to maintain a minimal disturbance of vegetation and storm water runoff,

Signature of Applicant or Contact Person (required): *Trinity D. Pullen*

GREENBELT COMMISSION COMMENTS AND SUGGESTIONS ABOUT PROPOSED DEVELOPMENT AS SUBMITTED FOR PLANNING COMMISSION AND CITY COUNCIL CONSIDERATION (MAY ATTACH AS SEPARATE SHEET):



March 2021 Aerial Photography

June 6, 2023

1/2 Mile Radius
Parcels

10ft. Contours
5ft. Contours

Floodway
100yr. Floodplain

Stream Planning Corridor

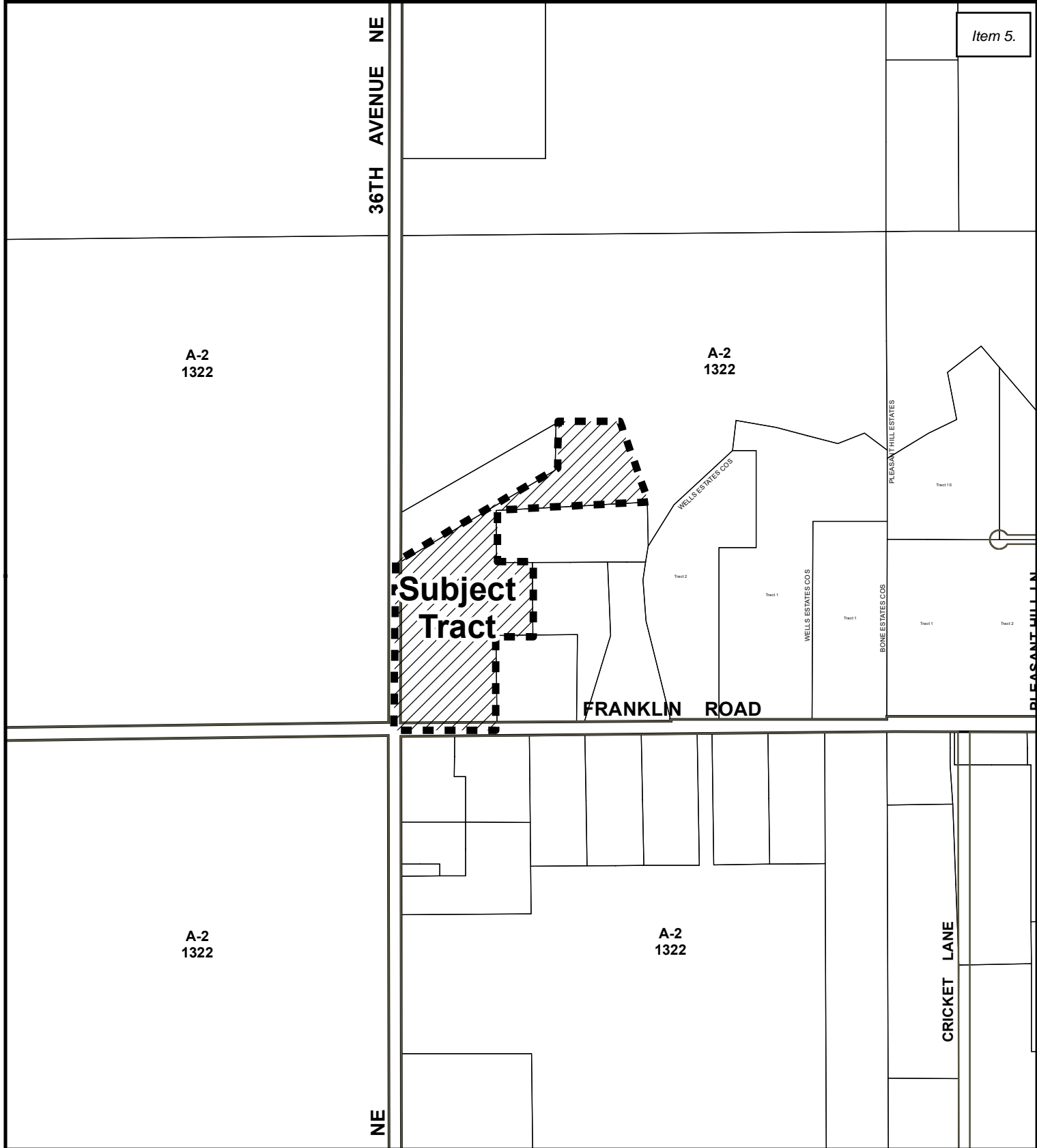
Greenbelt Priority Trails

- North Norman Tecumseh Trail
- Scissortail Trail
- South Legacy Trail
- East Norman Trails
- West Lindsey Extens
- Current & In-Progress Trails



Map Produced by the City of Norman
Geographic Information System,
(405) 366-5316
The City of Norman assumes no
responsibility for errors or omissions
in the information presented.

0 500 1,000 Ft



Item 5.

A-2
1322

A-2
1322

Subject
Tract

FRANKLIN ROAD

A-2
1322

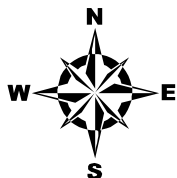
A-2
1322

CRICKET LANE

Location Map





Map Produced by the City of Norman
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June 6, 2023

0 350 700 Ft.

 Subject Tract
 Zoning

GREENBELT COMMISSION
June 20, 2023

GREENBELT ENHANCEMENT STATEMENT

ITEM NO. 23-10

STAFF REPORT

GENERAL INFORMATION

APPLICANT	Simple Storage, L.L.C.	
LOCATION	24 th Ave. S.E. and E. Imhoff Rd.	
PROPOSAL	Preliminary plat to create two C-2, General Commercial District lots	
NORMAN 2025 LAND USE	Current:	Commercial
	Proposed:	No Change
LAND USE	Current:	Vacant
	Proposed:	Commercial/Office
	North:	Vacant
	West:	Vacant, Mini Storage facility (NW)
	South:	Agricultural/Commercial
	East:	Office/Postal Training Center
ZONING	Current:	C-2, General Commercial District
	Proposed:	No change
	North:	RM-6, Medium Density Apartment District
	West:	C-2, General Commercial District
	South:	C-1, Local Commercial District
	East:	CO, Suburban Office Commercial District

SYNOPSIS: The applicant submitted a preliminary plat for property located at the NE intersection of 24th Ave. S.E. and E. Imhoff Rd. The applicant plans to split the existing tract into two commercial lots to accommodate commercial development and parking on the east side and office space to the East. The proposed development will comply with all requirements in the C-2, General Commercial District.

ANALYSIS: This general area is zoned C-2, General Commercial, RM-6, Medium Density Apartment District, and CO, Suburban Office Commercial District. The area is a mixture of residential, commercial, and office uses with some vacant parcels. In the subject location, no portions are in the 100-year floodplain, however the entire property is designated as Water Quality Protection Zone (WQPZ). The applicant property is unplatted.

24th Ave. S.E. is designated as a minor urban arterial at this location in the Comprehensive Transportation Plan. This roadway requires a 5' sidewalk for future projects per the Comprehensive Transportation Plan. The Greenways plan highlights a trail opportunity on the Western edge of the property along 24th Ave. SE, this trail is designated as "By Developer". Sidewalks exist along Western edge of the property already, however none exist along the southern frontage with Imhoff Rd. The applicant proposes adding them along the southern boundary of the property.

The Greenbelt Enhancement Statement, platting application, and location map are attached.

STAFF COMMENTS: Staff places this item on the non-consent docket for the June 20th, 2023 Greenbelt Commission Meeting.



Application for

Pre-Development Informational Meeting

Case No. PD 2 Item 6.

City of Norman Planning & Community Development - 201 W. Gray St., Bldg. A - Norman, OK 73069 — (405) 366-5433 Phone - (405) 366-5274 Fax

APPLICANT/LAND OWNER <div style="font-size: 1.2em; font-family: cursive;">SIMPLE STORAGE, LLC</div>	ADDRESS <div style="font-size: 1.2em; font-family: cursive;">PO Box 13329 DEL CITY, OK 73155</div>
EMAIL ADDRESS <div style="font-size: 1.2em; font-family: cursive;">luke.rountree@blackhawkcommunities.com</div>	NAME AND PHONE NUMBER OF CONTACT PERSON(S) <div style="font-size: 1.2em; font-family: cursive;">JORGE DuQUESNE 479443-4506</div> BEST TIME TO CALL: <div style="font-size: 1.2em; font-family: cursive;">M-F 8-5</div>

☐ Concurrent Planning Commission review requested and application submitted with this application.

A proposal for development on a parcel of land, generally located 24 AVENUE SE & IMHOFF RD

and containing approximately 9.85 acres, will be brought forward to the Planning Commission and City Council for consideration within the next six months.

The Proposed Use(s) in this development will include (please describe specific land uses and approximate number of acres in each use):

COMMERCIAL

This proposed development will necessitate (check all that apply):

- O
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L
Y
- ☐ 2025 Plan Amendment
 ☐ Growth Boundary

☐ Land Use

☐ Rezoning to _____ District(s)

☐ Special Use for _____

☒ Preliminary Plat SIMPLE STORAGE S/D (Plat Name)

☐ Norman Rural Certificate of Survey (COS)

☐ Transportation

☐ Commercial Communication Tower

Items submitted:

- ☐ Deed or Legal Description
 ☒ Radius Map
 ☒ Certified Ownership List
 ☐ Written description of project
 ☒ Preliminary Development Map
 ☒ Greenbelt Enhancement Statement
 ☐ Filing fee of \$125.00

Current Zoning: _____

Current Plan Designation: _____

Concurrent Planning Commission Review Requested: ☒

Received on:

5-1-2023
 at 9:30 am/p.m.
by mt

INSTRUCTION SHEET NORMAN GREENBELT ENHANCEMENT STATEMENT

The Norman City Council established the Norman Greenbelt Commission and charged the group with reviewing proposed developments, **specifically Land Use Plan Amendments, Preliminary Plats and Rural Certificates of Survey**, in order to increase the preservation of beneficial green spaces and to identify trail system opportunities in new developments where appropriate. The Greenbelt Enhancement Statement was developed to aid the Commission in assessing new developments to insure that green space and trail opportunities are included whenever possible.

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6. The Greenbelt System should contribute to enhancing the physical appearance of the City, whether through new pedestrian features, landscaping added to trail corridors, or simply by revealing natural areas not previously visible to the general public.
7. The Greenbelt System should encourage the creation of public and private partnerships that help build the entire system more quickly.
8. Greenbelts should protect environmentally sensitive lands that are generally the least suitable for development, especially flood prone areas and riparian corridors, and provide connectivity between the elements of the Greenbelt System.

(b) The use of lot clustering should be encouraged as a means to develop the greenbelt system.

(c) The greenbelt system should be used to link together existing recreation areas.

(d) Multi-purpose greenways should be created that:

1. Create a unique greenway character for Norman;
2. Protect environmentally sensitive areas of the City and serve as a wildlife habitat;
3. Serve as a storm water management resource for urban run-off and regional detention needs;
4. Provide recreation opportunities for bicycling, walking, and jogging, as well as an alternate route to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking;
5. Preserve agriculturally significant lands thru conservation easements or other means;
6. Provide suitable locations for sanitary sewer easements and facilities.

(e) Greenbelts should be used to provide green space areas adjacent to highways and major streets for sound buffer zones and protection from incompatible land uses.

(f) The Greenbelt System should continue to improve a natural landscape planting and maintenance program for City-owned properties and rights-of-way of major streets and highways.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

Item 6.

Greenbelt Case No. _____ **Pre-Development Case No.** _____

Applicant Name: Blew & Associates, PA Date: 4/28/2023

Contact Person: Jorge Du Quesne Telephone/Fax/Email: 479-443-4506 / engineers@blewinc.com

Name of Development: Simple Storage Subdivision Area (Acres): 9.85

General Location 24th Avenue SE and E Imhoff Road

***Please attach a map, site plan and/or survey map illustrating the proposed development.**

Type of Proposal (please check all that apply)

- a. **This is a:** Land Use Plan Amendment___; Preliminary PlatX; Rural Certificate of Survey___.
b. Proposed **Land Use:** Residential___ CommercialX Industrial___ Other_____.

1. Briefly **explain the kind of development**, types of buildings/uses, or character of your proposal **and how it achieves the principles, purposes and goals** of Section 4-2026.

The purpose of the project is to create two parcels of land. In the process City of Norman requires that Conceptual Site Plans be created for the site. On the West side of the property we are showing a commercial development with parking. On the East side of the property, we are showing a Self Storage Facility

2. Does your proposed development or project incorporate open space(s)?

Yes X No ___

Please check **what** type(s) of **open spaces are proposed** within your development:

Park:	___ Yes <u>X</u> No	___ Public ___ Private
Open Space:	<u>X</u> Yes ___ No	___ Public <u>X</u> Private
Detention Pond:	<u>X</u> Yes ___ No	___ Public <u>X</u> Private
Parking Lot Landscape:	<u>X</u> Yes ___ No	___ Public <u>X</u> Private
Floodplain/Creek:	___ Yes <u>X</u> No	___ Public ___ Private
Other	_____	

If the above noted areas are **accessible** via some **other arrangement** please **explain**.

3. **Does** the open space for this **development include** some kind of **trail or path** that meets the definitions contained in Section 4-2023A of the attached guidelines? (Indicate all that are applicable.)

Public Sidewalks (4-5' wide)	<u>X</u> Yes	___ No
Natural Trails (compacted earth 8-10' wide)	___ Yes	<u>X</u> No
Parkway Trails (durable surface 6-8' wide)	___ Yes	<u>X</u> No
Neighborhood Trails (durable or paved, 6-10' wide)	___ Yes	<u>X</u> No
Community Wide Trails (paved, 10-12' wide)	___ Yes	<u>X</u> No
Specialized Trails (equestrian, water, etc)	___ Yes	<u>X</u> No
Other	_____	

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

4. **Identify** schools, recreational areas (parks, playgrounds), commercial sites, or other public **open spaces within ½ mile** of your proposed development. (If there are **no** such areas within the ½ mile radius please **state** such and skip question 5.)

Eastridge Park / Oakhurst Park / Ronald Reagan Elementary School

5. Projects in close proximity to schools, recreational areas (parks, playgrounds), commercial sites, and residential neighborhoods should, ideally, allow **connection points** promoting non-motorized transportation between key areas. Please **describe** how the proposed development plan accommodates those using alternative transportation, such as walkers and bicyclists? Examples include sidewalks connecting key areas, designated bike paths, and bike parking. (If there is **no** such connectivity please **state** such.)

This development would provide public sidewalks along the public Streets to increase connectivity

6. Please **check**, from the following (or attach a list), **any other** geographical and/or environmental factors in your development that might offer **opportunities** for additions to the Greenbelt System (see Section 4-2023A, especially definitions of "the greenbelt system," "green space," "greenway" and "trail"). To help you answer this question, the following online link to the Greenways Master Plan Map NormanOK.gov/MasterPlan is provided.

- ☐ Storm water channels
☒ Detention ponds
☐ Floodplains
☐ Stream bank/Riparian corridors
☒ Utility Easements
☐ Abandoned/Active Railroad corridors
☐ Other _____

How could your development **also incorporate** those elements noted into greenbelts and trails?

7. **Please review the statements below and indicate in the space next to each item, whether it does apply ("Yes"), does not apply ("No"), or is not feasible ("NA") to your development. Of specific interest is how your project fits into the public open spaces and parks.**

In performing its duties, the Greenbelt Commission shall take into account the considerations listed below. The Commission will also consider how your project fits into the public open spaces and parks that are existing. Not all considerations will be applicable or feasible for each application.

Yes (a) Portions of the Greenbelt System are accessible to the general public.

Yes (b) Greenways are established and provide connections to other existing and future components of the Greenbelt System.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

Item 6.

Yes (c) Existing easements (e.g. utility, pipeline, oil lease right of way, etc) may be used for Greenways where appropriate and where expressly approved by the easement grantor and grantee.

Yes (d) Greenways connect neighborhoods to each other and to industrial and commercial areas.

Yes (e) Greenways provide alternative routes to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking.

Yes (f) Adverse impacts on existing topography, drainage patterns and natural vegetation are minimized.

Yes (g) Developments between urbanized Norman and Lake Thunderbird include pedestrian and bike connectivity to adjacent parcels to allow for future connections to Lake Thunderbird.

Yes (h) Landscaping required by the City has been/will be planted in conformance with Norman Zoning regulations, including with local drought-resistant low maintenance plants, shrubs and trees.

NA (i) Vegetative buffers between neighborhoods and railway lines have been provided to enhance safety and reduce the effects of noise and air pollution.

Yes (j) Permeable ground surfaces have been preserved to the extent possible.

Yes (k) Ingress and egress to and from a development is designed to permit safe use by non-motorized traffic in and out of the development and across the ingress and egress provisions of the development.

Yes (l) Fences abutting components of the Greenbelt System, and particularly those abutting green spaces, are of designs and materials that minimize their visual impact to the extent such fences are allowable under Norman City Code and not in conflict with applicable national standards for utility facilities. Examples of acceptable open fences include such types as wrought iron, split rail, low picket fence with every other picket removed, and metal pickets.

No (m) Water retention and detention storage facilities are designed in accordance with bioengineering principles and built with bioengineering materials.

Yes (n) Detention facilities are integrated into the surrounding neighborhood as part of the Greenbelt System in as ecologically sound a method as possible.

Yes (o) Storm water management design considers the potential for trail and green space preservation, enhancement and/or creation.

NA (p) The development layout is designed to preserve the health and diversity of wildlife affected by development in natural drainage corridor areas.

Yes (q) The development layout is designed to minimize the intrusions of noise, trash and other things into the Greenbelt System that would negatively affect visitors' and users' experience of any impacted components of the Greenbelt System.

NA (r) To the extent possible, the development layout, as designed, does not impair the ability of riparian buffers from serving as corridors for wildlife movement.

NA (s) Riparian buffers are incorporated into the Greenbelt System.

Yes (t) The commercial developments have provided for pedestrian access.

No (u) Pavement is minimized when possible by, among other things, using shared parking areas and/or permeable parking surfaces where feasible and allowed

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

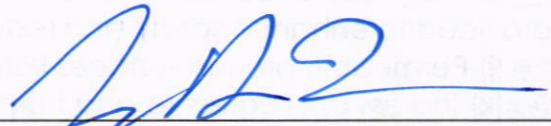
under the Zoning Ordinance of the City of Norman and the City Engineering Design Criteria.

No (v) Cluster development has been utilized as a means to develop the Greenbelt System.

Yes (w) Structures, other than utility transmission poles or substations, were located to maximize greenbelt and trail opportunities.

8. If, after reviewing the above questions, you feel like your proposed **development** or project **has no opportunities** to add to the City of Norman Greenbelt System, please **explain** briefly below. (Any comments you feel will help the Commission understand your intent to develop the area.)

Signature of Applicant or Contact Person (required):



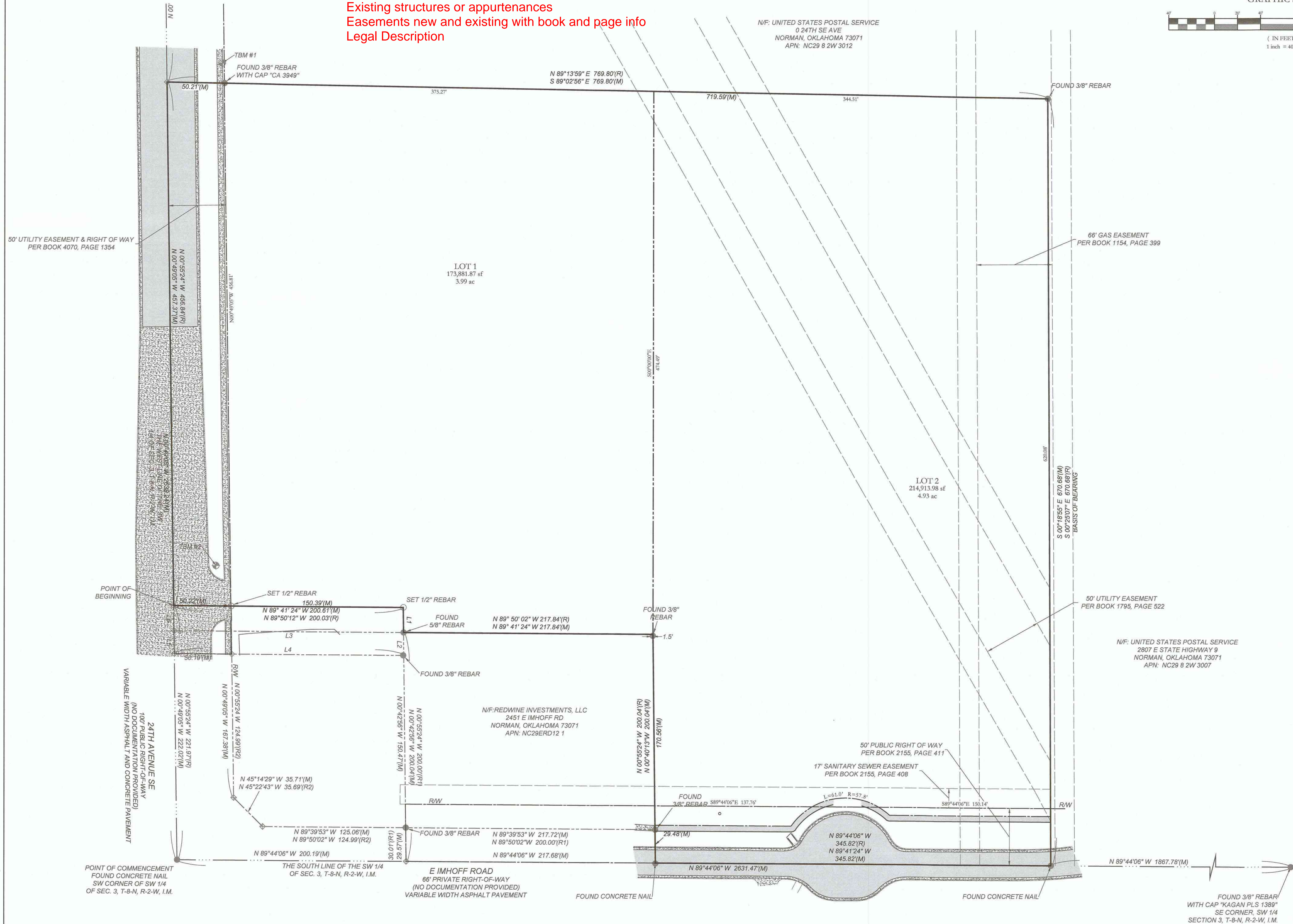
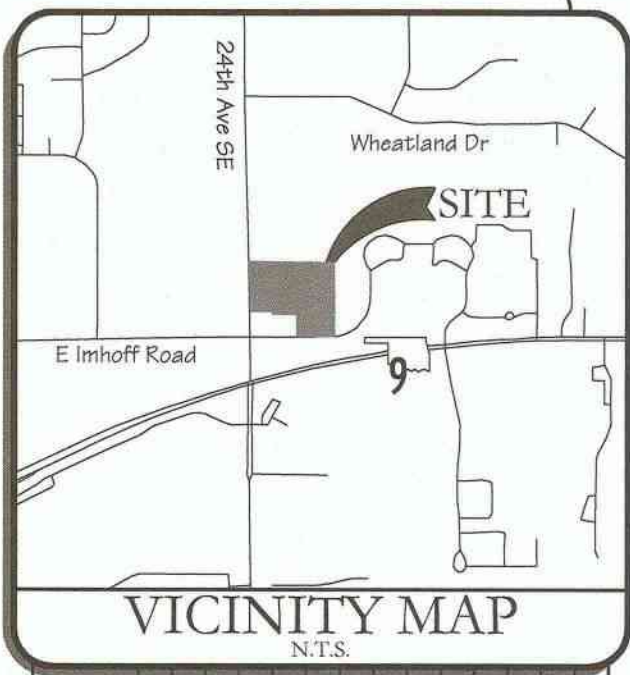
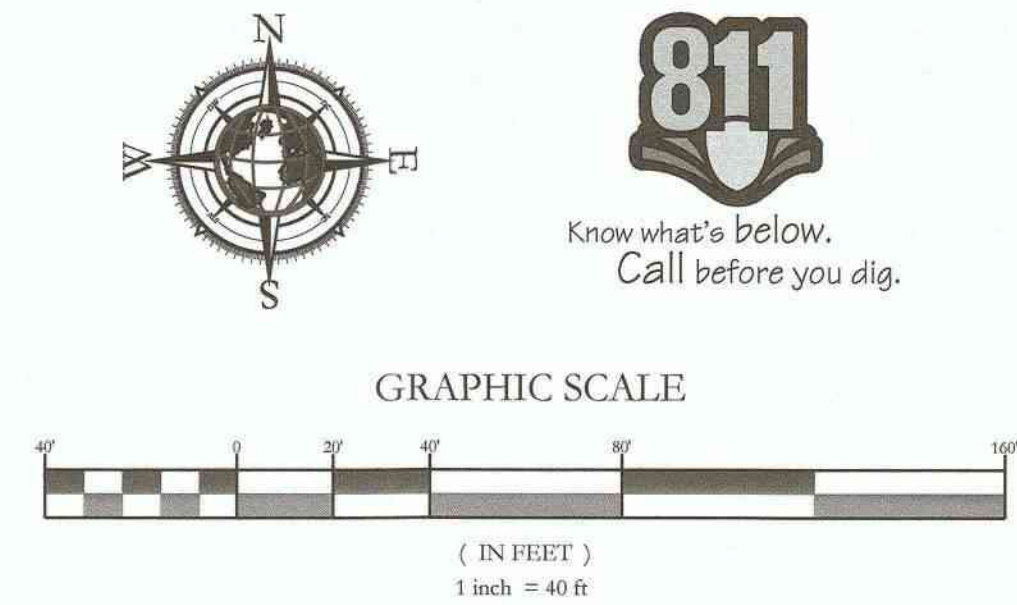
GREENBELT COMMISSION COMMENTS AND SUGGESTIONS ABOUT PROPOSED DEVELOPMENT AS SUBMITTED FOR PLANNING COMMISSION AND CITY COUNCIL CONSIDERATION (MAY ATTACH AS SEPARATE SHEET):

Site Information:		
PROPERTY INFORMATION		
Gross Site Area:	429,256.24 sf	9.85 acres
Proposed Dedicated R.O.W:	0.00 sf	0.00 acres
Net Site Area:	429,256.24 sf	9.85 acres

~PRELIMINARY PLAT TITLE~

Combine information on one sheet:

- Ownership
- Contours
- Utility-Existing & New
- Drainage
- Existing structures or appurtenances
- Easements new and existing with book and page info
- Legal Description



REVISIONS:	DATE	DESCRIPTION
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Preliminary Plat

Development Plans For:

Simple Storage LLC

24th Ave SE & E Imhoff Rd Norman, Oklahoma

Luke Rountree

PO Box 15329
Del City, OK 73155
(405) 509-6795

NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

BLEW & ASSOCIATES, P.A.

Surveying
Engineering
Mapping

Certificate of Authorization No 5387

DATE:	2023-06-01	JOB NUMBER:	22-11951
DRAWN BY:	H. Smith	REVIEWED BY:	J. Du Quesne
DRAWING NAME:	22-11951 Civil 003.dwg		
SHEET NUMBER:	C2		

Proposed Features:

Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line
	Setback Line
	Easement Line
	Zoning Limits
	Street / Drive Centerline
	Curb And Gutter
	Thickened Edge Of Pavement
	Edge Of Gravel
	Firelane Striping
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk (See Site Plan For Dimensions)
	General Fence Line (See Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Parking Counter
	Storm Catch Basin(s)
	Retaining Wall
	Gate Valve
	Fire Hydrant & Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Manhole
	Utility Pole
	Light Pole

- Note:**
- Only Symbols That Appear On This Sheet Are Shown In This Legend.
 - See Survey For Existing Features Legend.
 - See Cover Sheet For Abbreviation List.

Site General Notes:

- Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Stripes.
- All radii shall be 4-foot at Face of Curb unless otherwise specified.
- Layout of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be 24" wide per detail sheets.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utility Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet.

Site Plan Notes:

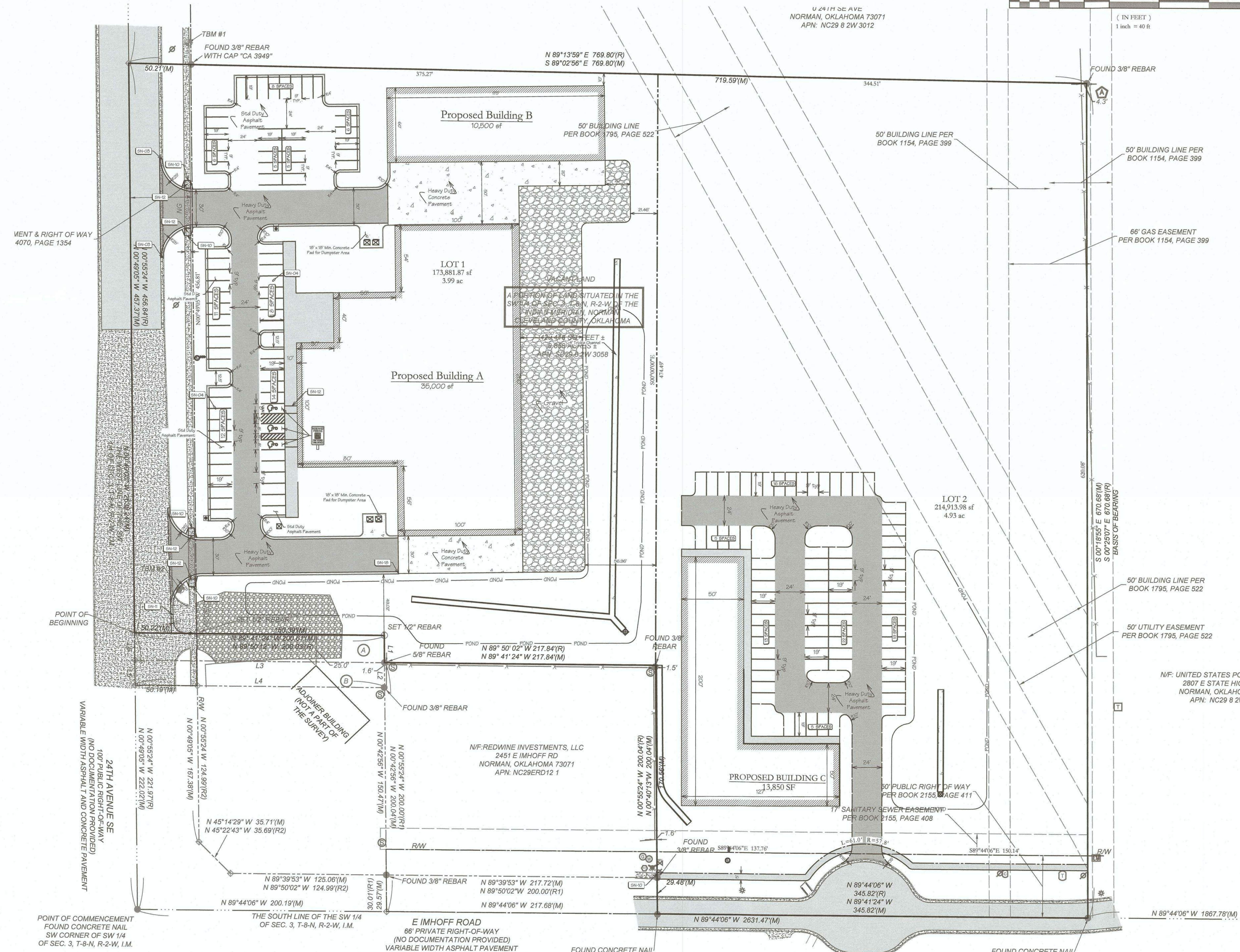
SN-01	Crosswalk and Curb Ramp with Truncated Dome Detectable Warnings per ADA and/or Municipal Specifications.
SN-03	Taper Curb & Gutter to Match Existing
SN-04	4" Painted Yellow Striping
SN-07	4" Wide Painted Stripes, 4'-0" o.c. @ 45°
SN-10	Match Existing Sidewalk
SN-11	Close Existing Drive per Local Codes
SN-12	Accessible Ramp in Sidewalk
SN-13	At-Grade Delivery Doors
SN-15	Painted Yellow "Loading Zone" @ 100' o.c. 24" High Max.
SN-17	Thickened Edge of Pavement
SN-18	End of Curb
SN-19	Curb / Sidewalk Ramp per City / Highway Department Standards (Whichever is More Stringent)

Site Information:

PROPERTY INFORMATION			
Gross Site Area:	429,256.24 sf	9.85 acres	
Proposed Dedicated R.O.W:	0.00 sf	0.00 acres	
Net Site Area:	429,256.24 sf	9.85 acres	

Sign Legend

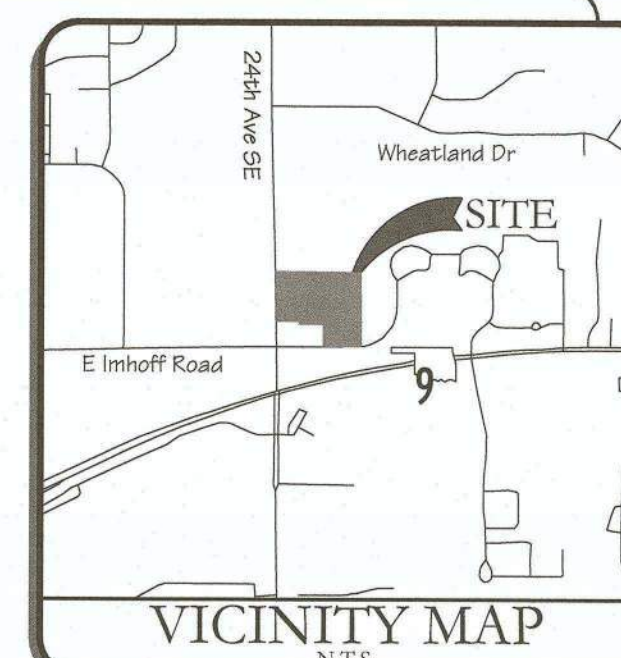
Symbol	Code	Description	Size	Post Type
		Handicap Sign	12 x 18	U-Channel



GRAPHIC SCALE

(IN FEET)

1 inch = 40 ft



REVISIONS:	DATE	DESCRIPTION
No.		
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~SITE DEVELOPMENT PLAN~

Development Plans For:
Simple Storage LLC
24th Ave SE & E Imhoff Rd Norman, Oklahoma
Luke Rountree
PO Box 15329
Del City, OK 73155
(405) 509-6795

NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

Certificate of Authorization # 5387	
DATE: 2023-06-01	JOB NUMBER: 22-11951
DRAWN BY: H. Smith	REVIEWED BY: J. Du Quesne
DRAWING NAME: 22-11951 Civil 003.dwg	
SHEET NUMBER: C2-1	

WITH CAP SECTION

Feature	Description
---------	-------------

Note:

- * Only Symbols That Appear On This Sheet Are Shown In This Legend.
- * See Survey For Existing Features Legend.
- * See Cover Sheet For Abbreviation List.

PRE-CONSTRUCTION:

- ✗ **GENERAL:**
- ✗ Contractor shall install/use all required equipment so as to comply with all safety standards dictated by OSHA, Federal, State, and Local Regulations.
- ✗ Contractor shall coordinate with appropriate Utility Company as listed on the contract sheet for adjustment of utility lines affected by cut and fill.
- ✗ Areas to be graded shall be cleared and grubbed so as to remove all organic material including but not limited to vegetation, trees, roots, debris or other materials that would affect the stability of the fill. If uncertainty exists as to the suitability of any material, the contractor shall have a Registered Geotechnical Engineer make the final determination.
- ✗ Contractor shall ensure that the fill material be free of organic materials, frozen materials, muck, highly compressible materials, rocks, rubbish, timber, brush, stumps, building debris, and other materials that would negatively affect the fill material.
- ✗ Contractor shall stock pile and maintain all good top soil removed from areas to be graded and filled for use in final grading all critical / unpaved areas.
- ✗ Contractor shall proof roll subgrade of all areas to be paved prior to installation of paving materials. Any soft areas shall be removed and replaced with select fill and compacted as noted in the pavement section sheet or on the detail sheet.
- ✗ Contractor shall employ a Geotechnical Engineering / Inspection Firm registered with the State of Arkansas for inspection and testing of subgrade for proper compaction (95% standard proctor).

STORM SYSTEM:

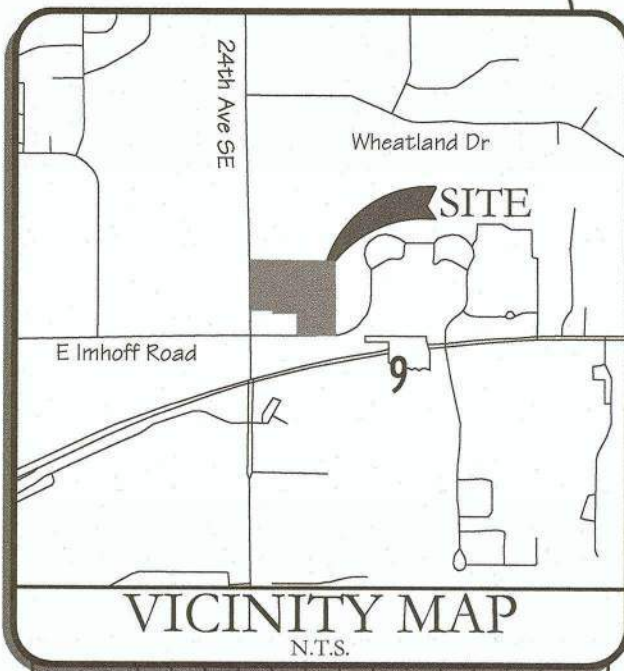
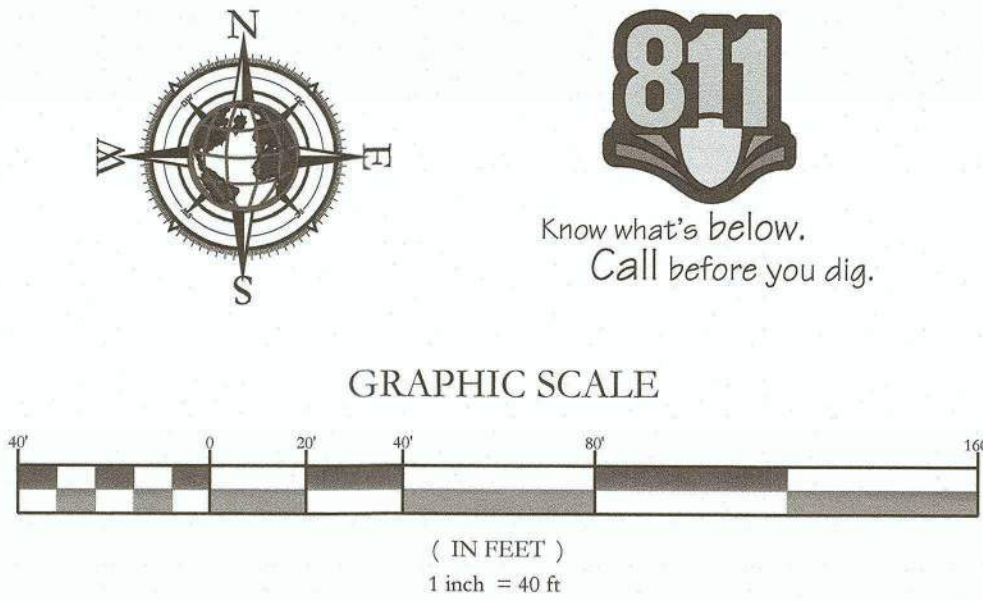
- X All drainage structures under paved areas and / or areas expecting heavy duty traffic loading shall be designed to meet ASTM Heavy Duty (H20) traffic loading.
- X Storm pipe / box shall be bedded in accordance with the bedding detail and in accordance with the specifications of ASTM D2321 (latest edition available at <http://www.ASTM.org>).
- X Storm system is measured from the center of the box and from the end of the flare and sections.
- X Drainage structures shall be constructed so that the appropriate section of the box, such as the gutter for curb inlets, the grate for drop inlets, is at an elevation that will allow for the maximum drainage into the box in accordance with proposed grades and spot elevation shown on the plan. The contractor shall notify the engineer of record in the event of a discrepancy.
- X All drainage structures located within the State or Local Right of Way shall be constructed in accordance with the specifications and details of the Appropriate Governing Agency.

POST-CONSTRUCTION:

- ✗ Contractor shall scarify any area to receive top soil to a min. depth of 3".
- ✗ All unpaved disturbed areas shall be graded smooth and receive a minimum of 4" of topsoil. The area shall be seeded and / or sodded in accordance with the landscape plan. The area shall be watered until a hardy cover of grass has been established and 80% of the site has been stabilized in accordance with ADEQ's Construction General Permit (ARR150000).
- ✗ Once the site has reached final stabilization in accordance to the requirements set forth in ADEQ's Construction General Permit, the contractor shall file a notice of termination.

Inlet Up	Top Elev.	Inw. Up	Length	Size	Type	Slope	Inw. Dn	Inlet Dn
STORM LINE "A"								
A-2	1180.08	1178.58	34.00	18"	HDPE	0.50%	1178.42	A-1
STORM LINE "B"								
B-2	1180.58	1179.08	38.00	18"	HDPE	0.50%	1178.87	B-1
STORM LINE "C"								
C-2	1183.83	1182.33	22.00	18"	HDPE	0.50%	1182.22	C-1
STORM LINE "D"								
D-3	1185.50	1184.00	237.03	12"	HDPE	0.36%	1183.14	D-2
D-2a	1184.87	1183.35	53.54	12"	HDPE	0.40%	1183.14	D-2
D-2	1186.25	1183.14	116.72	12"	HDPE	0.40%	1182.67	D-1

² - Pipes not located under pavement areas are permitted to be High Density Poly Ethylene Pipe (HDPE) or Smooth Lined Metal Pipe (SLMP). Both types of pipes shall have a minimum Manning's "n" value of 0.013 to be verified by the Engineer of Record.

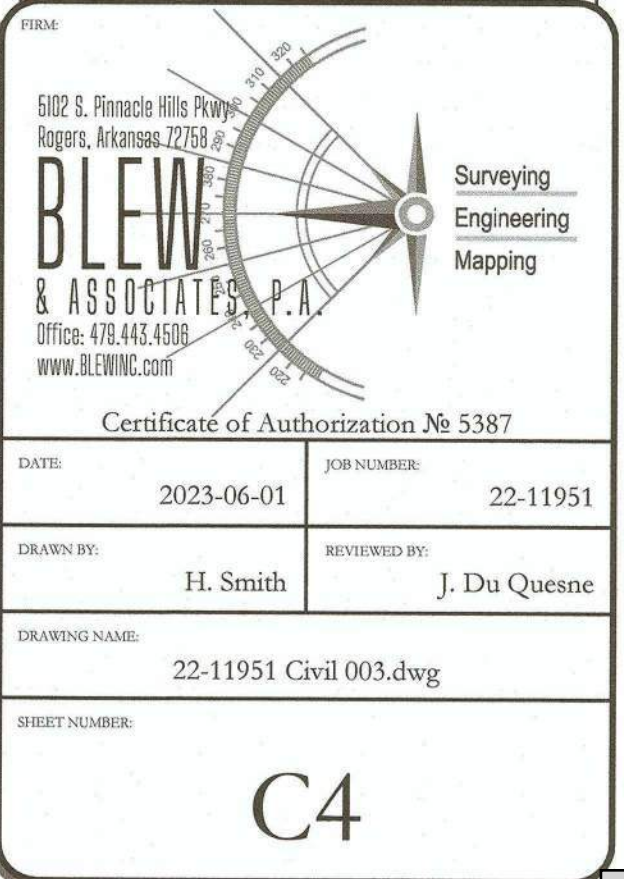
[illegible]Grading and Drainage Plan
Overall

nt Plans For:

Simple Storage LLC
24th Ave SE & E Imhoff Rd Norman, Oklahoma

Luke Rountree
PO Box 15329
Del City, OK 73155
(405) 509-6795

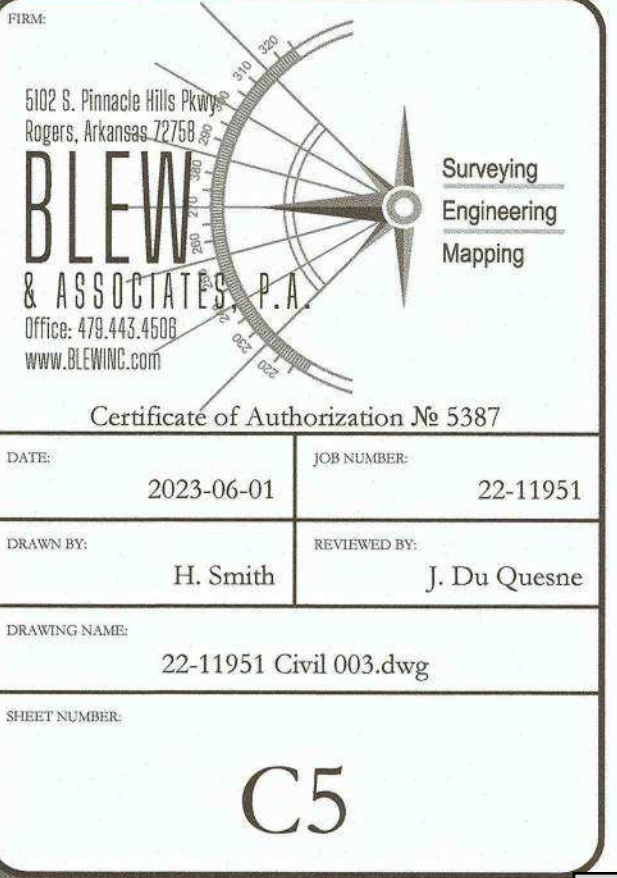
NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY!!!

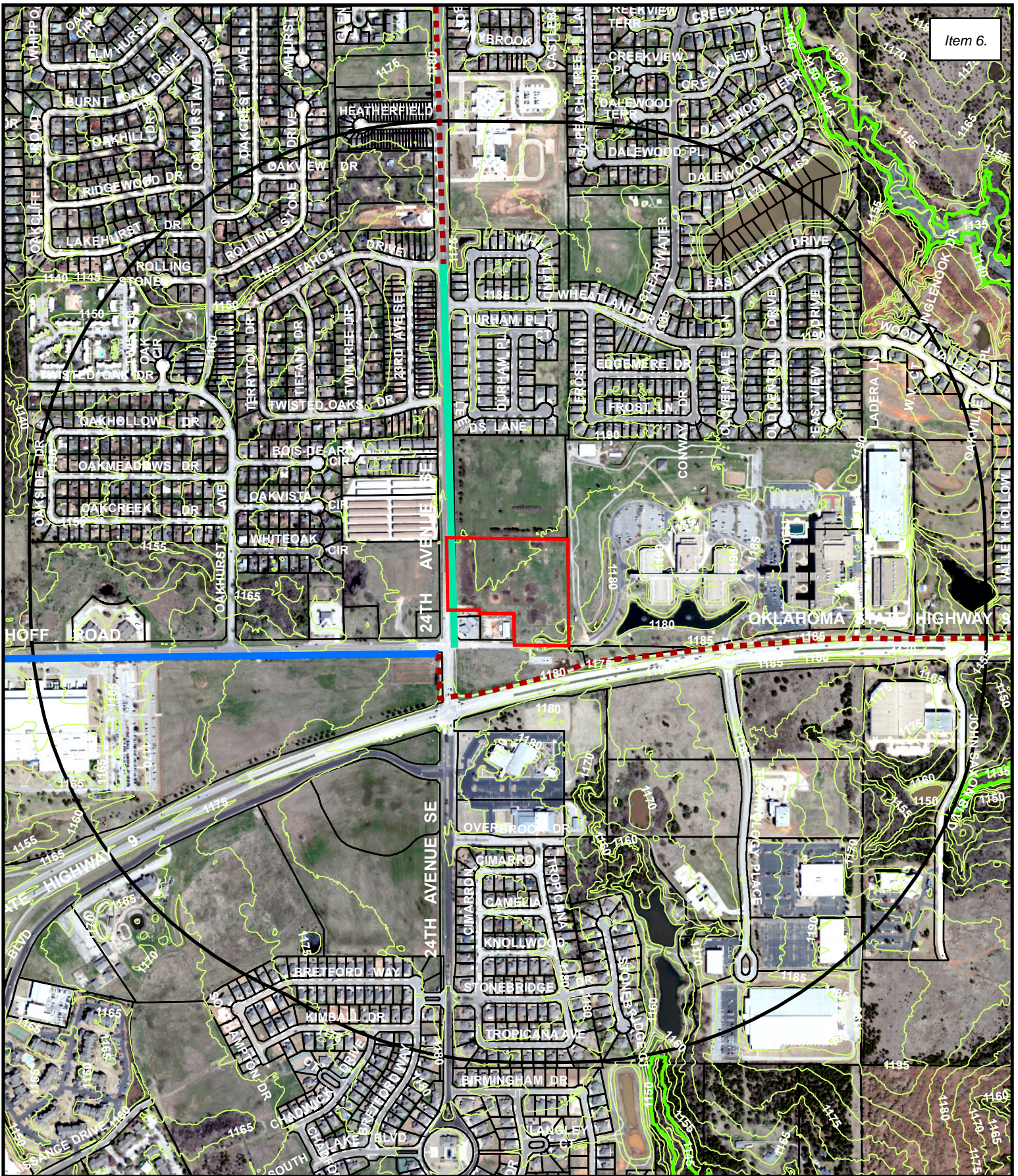


Note:

- * Only Symbols That Appear On This Sheet Are Shown In This Legend.
- * See Survey For Existing Features Legend.
- * See Cover Sheet For Abbreviation List.

- The contractor shall contact "Arkansas One-Call" at a minimum of 48 hours prior to excavation. The contractor is responsible for any damage to any existing utility lines and shall coordinate with the appropriate utility company for repair of the utility.
- X A pre-construction meeting shall be held prior to utility construction. The contractor shall schedule the pre-construction meeting with the appropriate utility as required and with the engineer of record for the project.
- X Water and sewer lines shall be constructed in accordance with Springfield Water Utilities (SWU) standard specifications – latest edition.
- X Water and storm lines shall have a minimum of eighteen (18) inches vertical separation and ten (10) foot horizontal separation from sanitary sewer lines. Encasements may be required as noted on plan and profiles.
- X All plugs, caps, tees, and bends shall be provided with reaction blocking / thrust blocking or shall be restrained joint pipe. The fitting must be braced against unexcavated earth at the end of the trench with 5000 psi PC concrete. Retention shall be required, as determined by SWU.
- X Contractor shall refer to architectural or plumbing drawings for utility connection locations for the building.
- X Dimensions are to the face / corner of the building, face of curb, and centerline of pipe and fitting.
- X Contractor shall coordinate disruption of utility service(s) with all affected property owners.
- X The existence and location of any underground utility pipes or structures shown on the drawings are obtained by a search of the available records. To the best of our knowledge there are no existing utilities except as shown on these drawings and we assume to the best of our knowledge as to the accuracy of their depicted location(s) on these drawings. The contractor is required to take due precautionary measures to protect the utility lines shown, and all other lines not of record or not shown on these drawings by verification of their location in the field prior to the initiation of the actual portion of their work.
- X Contractor shall obtain authorization from (SWU) prior to connection to any existing water line, sewer line, or sewer manhole.
- X Proposed utilities that are to be buried within the same trench shall be coordinated with and approved by the appropriate utility companies.
- X Proposed utilities shall be constructed in accordance with the standards / specifications of the engineering agency.
- X Contractor shall coordinate with the appropriate utility company for adjustment of utility lines affected by cut and fill.
- X Contractor shall coordinate with the appropriate utility company for routing of gas, telephone, cable, and electricity as required.
- X Contractor shall maintain a minimum of 5 foot separation from water/sewer and storm sewer, gas, electric, street lights and telephone is required.





March 2021 Aerial Photography

June 16, 2023

1/2 Mile Radius

5ft. Contours

Parcels

Floodway

100yr. Floodplain

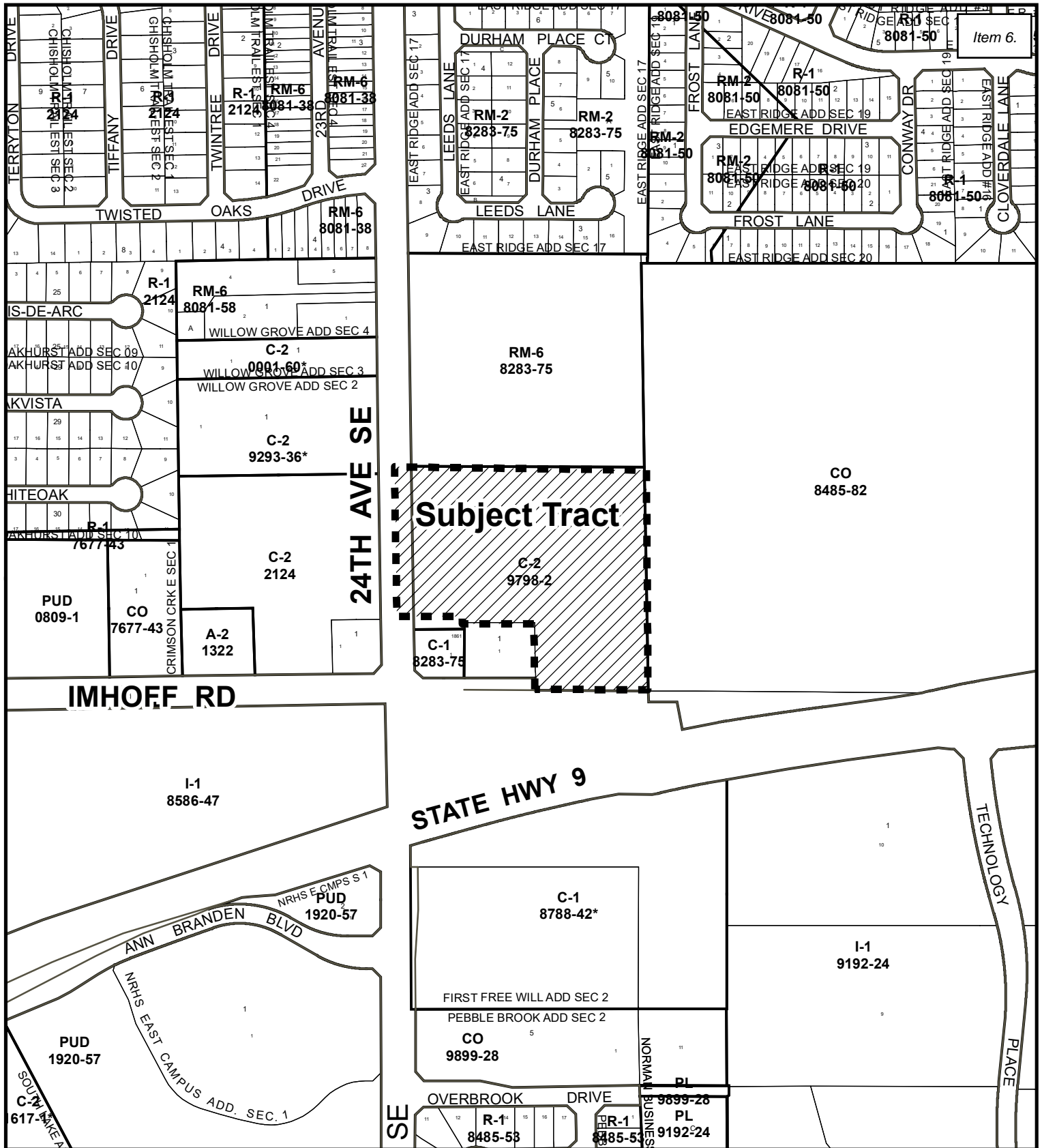
Stream Planning Corridor

Greenbelt Priority Trails

- North Norman Tecumseh Trail
- Scissortail Trail
- South Legacy Trail
- East Norman Trails
- West Lindsey Extens
- Current & In-Progress Trails



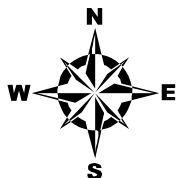
Map Produced by the City of Norman
Geographic Information System,
(405) 366-5316
The City of Norman assumes no
responsibility for errors or omissions
in the information presented.



Location Map



Map Produced by the City of Norman
Geographic Information System.
The City of Norman assumes no
responsibility for errors or omissions
in the information presented.



May 3, 2023

0 200 400 Ft.



Subject Tract



Zoning

GREENBELT COMMISSION
June 20, 2023

GREENBELT ENHANCEMENT STATEMENT

ITEM NO. 23-14

STAFF REPORT

GENERAL INFORMATION

APPLICANT	Armstrong Bank
LOCATION	South of the SW Corner of 24 th Ave SE and Cedar Lane (Special Planning Area 7)
PROPOSAL	Rezoning the existing I-1, Light Industrial District, into a PUD, Planned Unit Development District, to facilitate a mixed-use development of commercial, office, senior living, and multifamily uses.
NORMAN 2025 LAND USE	Current: Mixed-Use, Urban Service Area, SPA-7 Proposed: Mixed-Use, Urban Service Area,
LAND USE	Current: Vacant Proposed: Mixed-Use, Commercial, Residential, and Office
	North: Commercial West: Commercial/Residential/Industrial South: Agricultural/Industrial East: Multi-Family Residential
ZONING	Current: I-1, Light Industrial District Proposed: PUD, Planned Unit Development
	North: C-2, General Commercial District West: A-2, Rural Agricultural District, I-1, Light Industrial District South: I-1, Light Industrial District East: PUD, Planned Unit Development

SYNOPSIS: The applicant submitted a preliminary plat for property located South of the SW corner of 24th Ave. SE and Cedar Lane. The applicant is proposing a mixed use development comprising of commercial, office, and Multi-Family spaces, as well as a senior living facility. The proposed development generally fits into the specifications for Special Planning Area 7 as outlined in the NORMAN 2025 Land Use and Transportation Plan.

ANALYSIS: This general area is zoned I-1, Light Industrial District, with pockets of C-2, General Commercial District, and A-2, Rural Agricultural District, mixed in the area. There is also a large multi-family PUD immediately to the East across 24th Ave. SE. The area is a mixture of residential, commercial, industrial and office uses with some vacant parcels. In the subject location, no portions are in the 100-year floodplain. However, parts of the property are in, or in close proximity to, the Water Quality Protection Zone (WQPZ).

This section of 24th Ave. SE is designated as a minor urban arterial in the Comprehensive Transportation Plan. This roadway requires a 5' sidewalk for future projects per the Comprehensive Transportation Plan. Additionally, the Greenway Master Plan proposes trails by the developer along the subject parcel's frontage. No sidewalks currently exist on the Eastern edge of the property along 24th Ave. SE, however the site plans call for the construction of them. On the side of the property adjacent to US-77, no such trails are proposed.

The Greenbelt Enhancement Statement, rezoning application, NORMAN 2025 amendment application, platting application, and location map are attached.

STAFF COMMENTS: Staff places this item on the non-consent docket for the June 20th, 2023 Greenbelt Commission Meeting.



Application for REZONING OR SPECIAL USE

Case No. O- _____

City of Norman Planning & Community Development - 201 W. Gray St., Bldg. A - Norman, OK 73069 — (405) 366-5433 Phone - (405) 366-5274 Fax

APPLICANT(S) Armstrong Bank	ADDRESS OF APPLICANT c/o Rieger Law Group PLLC, Attorney for Applicant 136 Thompson Drive Norman, OK 73069
NAME AND PHONE NUMBER OF CONTACT PERSON(S) c/o Gunner Joyce, Attorney for Applicant 405-310-5274 EMAIL: gjoyce@riegerlawgroup.com	EXISTING ZONING: <u>I-1; Light Industrial</u> PROPOSED ZONING OR SPECIAL USE FOR: <u>PUD; Planned Unit Development</u>

PROPOSED USE(S) (including all buildings to be constructed): The Applicant seeks to rezone and plat the subject property in order to facilitate a mixed-use development of commercial, office, senior living, and multifamily uses

STREET ADDRESS OR LOCATION: South of East Cedar Lane, East of Classen Blvd., and West of 24th Ave SE

LEGAL DESCRIPTION AND AREA OF REQUEST: See attachments for Legal Description and Area

SIZE OF PROJECT AREA: Approx. 40.41 acres

In order that your application can be heard and considered at the next Planning Commission meeting, you must submit this completed application form and the following required information to the Planning Department (201-A West Gray) for review before **1:30 p.m. the day of the filing deadline** (generally Monday, 31 days before the next Planning Commission meeting):

- ☐ Two copies of the complete APPLICATION
- ☐ Copy of DEED to land
- ☐ CERTIFIED OWNERSHIP LIST of names and addresses of all property owners within three hundred fifty (350) feet of the request, exclusive of streets and alleys which are less than three hundred (300) feet in width (a RADIUS MAP showing the three hundred fifty (350) foot notice area will be provided by the Planning Department and a form for the ownership list is attached)
- ☐ FILING FEE, as computed by the Planning Department
- ☐ SITE PLAN is required in the case of a request for commercial or industrial zoning (22:442.1.7)
- ☐ Pursuant to Section 19-104 of the Subdivision Regulations, a PRELIMINARY PLAT may be required to be filed with the Engineering Division, Public Works Department.

SIGNATURE OF PROPERTY OWNER(S):

Gunner Joyce, Attorney for Applicant

ADDRESS AND TELEPHONE:

Rieger Law Group PLLC

136 Thompson Dr.

Norman, OK 73069

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Y
- ☒ Application
 - ☒ Site Plan
 - ☒ Certified Ownership List and Radius Map
 - ☒ Proof of Ownership
 - ☒ Supporting Data
 - ☒ Filing Fee of \$ 910.⁰⁰

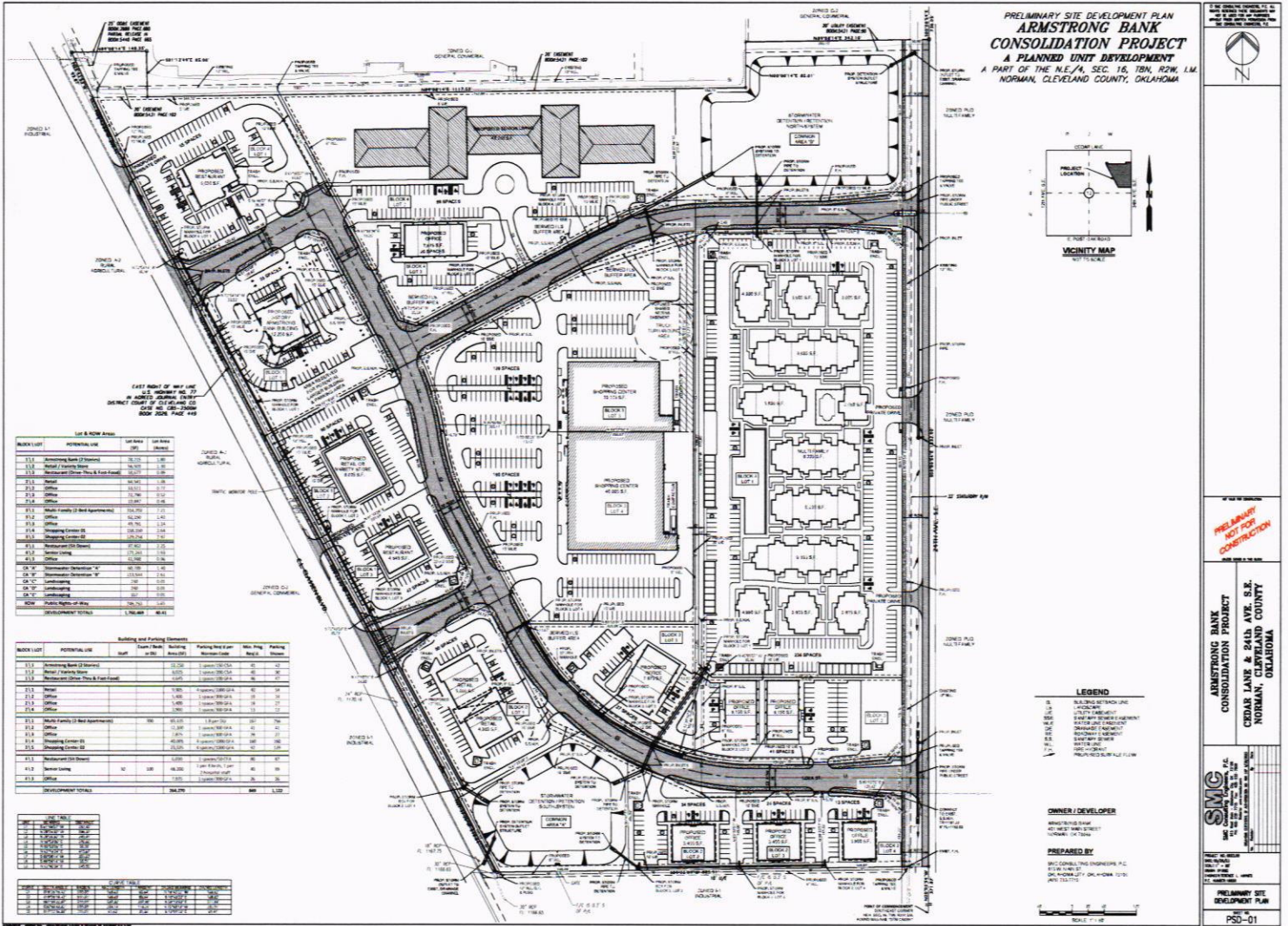
Date Submitted:

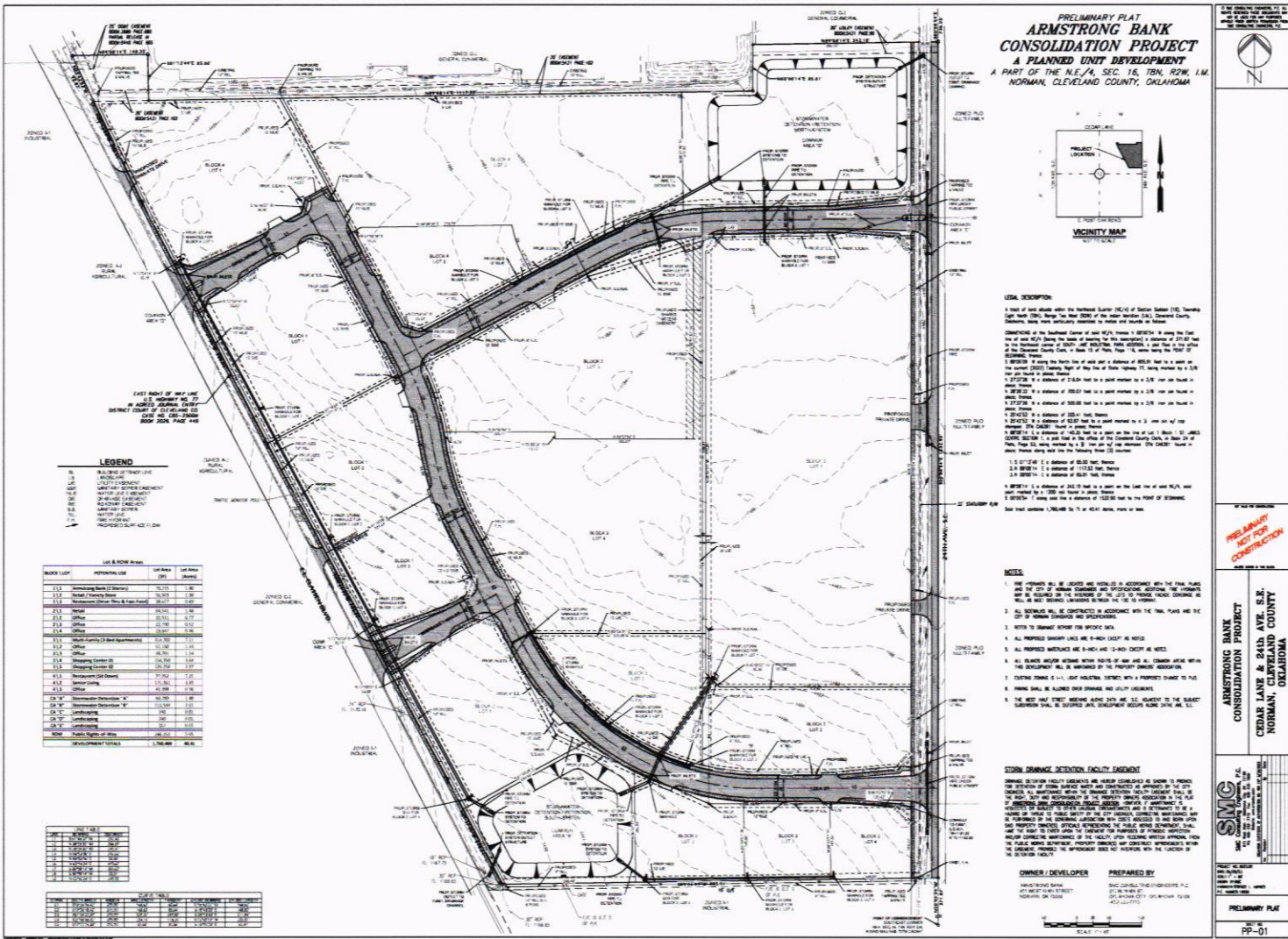
6-1-2023

Time Submitted:

12:32 a.m./p.m. (p.m.)

Checked by:





GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

Greenbelt Case No. _____ **Pre-Development Case No.** _____

Applicant Name: Armstrong Bank Date: June 1, 2023

Contact Person: Gunner Joyce, Attorney for Applicant Telephone/Fax/Email: (405) 310-5274; gjoyce@riegerlawgroup.com

Name of Development: Armstrong Bank Consolidation Project Area (Acres): Approx. 40.41 acres

General Location South of East Cedar Lane, East of Classen Blvd., and West of 24th Ave SE

***Please attach a map, site plan and/or survey map illustrating the proposed development.**

Type of Proposal (please check all that apply)

- a. **This is a:** Land Use Plan Amendment; Preliminary Plat ☒ Rural Certificate of Survey ☐
 b. Proposed **Land Use:** Residential ☐ Commercial ☐ Industrial ☐ Other Mixed Use

1. Briefly **explain the kind of development**, types of buildings/uses, or character of your proposal **and how it achieves the principles, purposes and goals** of Section 4-2026.

The Applicant seeks to rezone and plat the subject property in order to facilitate a mixed-use development of commercial, office, senior living, and multifamily uses, as more specifically described in the PUD Narrative and as shown on the Preliminary Site Development Plan.

2. Does your proposed development or project incorporate open space(s)?

Yes ☒ No ☐

Please check **what type(s) of open spaces are proposed** within your development:

Park:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Public <input type="checkbox"/> Private
Open Space:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
Detention Pond:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
Parking Lot Landscape:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
Floodplain/Creek:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Public <input type="checkbox"/> Private
Other	_____	

If the above noted areas are **accessible** via some **other arrangement** please **explain**.

3. **Does** the open space for this **development include** some kind of **trail or path** that meets the definitions contained in Section 4-2023A of the attached guidelines? (Indicate all that are applicable.)

Public Sidewalks (4-5' wide)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Natural Trails (compacted earth 8-10' wide)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Parkway Trails (durable surface 6-8' wide)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Neighborhood Trails (durable or paved, 6-10' wide)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Community Wide Trails (paved, 10-12' wide)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Specialized Trails (equestrian, water, etc)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Other	_____	

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

4. **Identify** schools, recreational areas (parks, playgrounds), commercial sites, or other public **open spaces within ½ mile** of your proposed development. (If there are **no** such areas within the ½ mile radius please **state** such and skip question 5.)

Walmart Supercenter is located to the North. Songbird Park is to the West. The Links Golf Course is to the East.

5. Projects in close proximity to schools, recreational areas (parks, playgrounds), commercial sites, and residential neighborhoods should, ideally, allow **connection points** promoting non-motorized transportation between key areas. Please **describe** how the proposed development plan accommodates those using alternative transportation, such as walkers and bicyclists? Examples include sidewalks connecting key areas, designated bike paths, and bike parking. (If there is **no** such connectivity please **state** such.)

Sidewalks will be installed where required by City Ordinance, as demonstrated on the Preliminary Site Development Plan

6. Please **check**, from the following (or attach a list), **any other** geographical and/or environmental factors in your development that might offer **opportunities** for additions to the Greenbelt System (see Section 4-2023A, especially definitions of "the greenbelt system," "green space," "greenway" and "trail"). To help you answer this question, the following online link to the Greenways Master Plan Map NormanOK.gov/MasterPlan is provided.

- ☐ Storm water channels
- ☐ Detention ponds
- ☐ Floodplains
- ☐ Stream bank/Riparian corridors
- ☐ Utility Easements
- ☐ Abandoned/Active Railroad corridors
- ☐ Other _____

How could your development **also incorporate** those elements noted into greenbelts and trails? Green Space and Open Space will remain private and be maintained by POA

7. Please review the statements below and indicate in the space next to each item, whether it does apply ("Yes"), does not apply ("No"), or is not feasible ("NA") to your development. Of specific interest is how your project fits into the public open spaces and parks.

In performing its duties, the Greenbelt Commission shall take into account the considerations listed below. The Commission will also consider how your project fits into the public open spaces and parks that are existing. Not all considerations will be applicable or feasible for each application.

- ☒ (a) Portions of the Greenbelt System are accessible to the general public.
- ☒ (b) Greenways are established and provide connections to other existing and future components of the Greenbelt System.

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

☒ (c) Existing easements (e.g. utility, pipeline, oil lease right of way, etc) may be used for Greenways where appropriate and where expressly approved by the easement grantor and grantee.

☒ (d) Greenways connect neighborhoods to each other and to industrial and commercial areas.

☒ (e) Greenways provide alternative routes to move through the City for commuting to work, schools, shopping, between neighborhoods, and/or other destinations by bicycling or walking.

☒ (f) Adverse impacts on existing topography, drainage patterns and natural vegetation are minimized.

☒ (g) Developments between urbanized Norman and Lake Thunderbird include pedestrian and bike connectivity to adjacent parcels to allow for future connections to Lake Thunderbird.

☒ (h) Landscaping required by the City has been/will be planted in conformance with Norman Zoning regulations, including with local drought-resistant low maintenance plants, shrubs and trees.

☒ (i) Vegetative buffers between neighborhoods and railway lines have been provided to enhance safety and reduce the effects of noise and air pollution.

☒ (j) Permeable ground surfaces have been preserved to the extent possible.

☒ (k) Ingress and egress to and from a development is designed to permit safe use by non-motorized traffic in and out of the development and across the ingress and egress provisions of the development.

☒ (l) Fences abutting components of the Greenbelt System, and particularly those abutting green spaces, are of designs and materials that minimize their visual impact to the extent such fences are allowable under Norman City Code and not in conflict with applicable national standards for utility facilities. Examples of acceptable open fences include such types as wrought iron, split rail, low picket fence with every other picket removed, and metal pickets.

☒ (m) Water retention and detention storage facilities are designed in accordance with bioengineering principles and built with bioengineering materials.

☒ (n) Detention facilities are integrated into the surrounding neighborhood as part of the Greenbelt System in as ecologically sound a method as possible.

☒ (o) Storm water management design considers the potential for trail and green space preservation, enhancement and/or creation.

☒ (p) The development layout is designed to preserve the health and diversity of wildlife affected by development in natural drainage corridor areas.

☒ (q) The development layout is designed to minimize the intrusions of noise, trash and other things into the Greenbelt System that would negatively affect visitors' and users' experience of any impacted components of the Greenbelt System.

☒ (r) To the extent possible, the development layout, as designed, does not impair the ability of riparian buffers from serving as corridors for wildlife movement.

☒ (s) Riparian buffers are incorporated into the Greenbelt System.

☒ (t) The commercial developments have provided for pedestrian access.

☒ (u) Pavement is minimized when possible by, among other things, using shared parking areas and/or permeable parking surfaces where feasible and allowed

GREENBELT ENHANCEMENT STATEMENT
City of Norman, Oklahoma

under the Zoning Ordinance of the City of Norman and the City Engineering Design Criteria.

☒ (v) Cluster development has been utilized as a means to develop the Greenbelt System.

☒ (w) Structures, other than utility transmission poles or substations, were located to maximize greenbelt and trail opportunities.

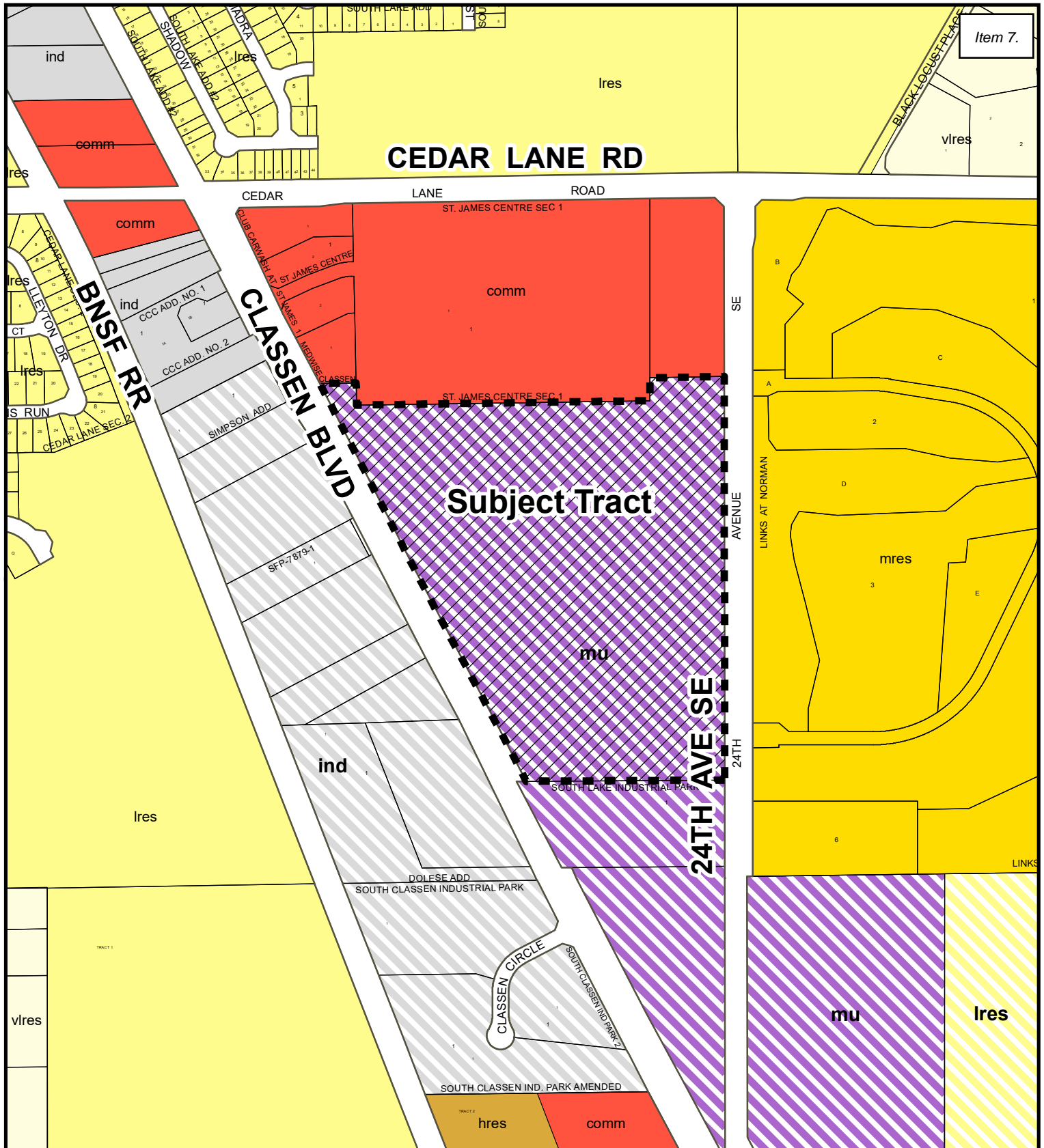
8. If, after reviewing the above questions, you feel like your proposed **development** or project **has no opportunities** to add to the City of Norman Greenbelt System, please **explain** briefly below. (Any comments you feel will help the Commission understand your intent to develop the area.)

Signature of Applicant or Contact Person (required) :



Gunner Joyce
Attorney for Applicant

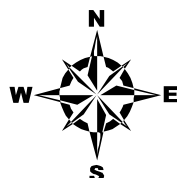
GREENBELT COMMISSION COMMENTS AND SUGGESTIONS ABOUT PROPOSED DEVELOPMENT AS SUBMITTED FOR PLANNING COMMISSION AND CITY COUNCIL CONSIDERATION (MAY ATTACH AS SEPARATE SHEET):



Norman 2025 Land Use Plan




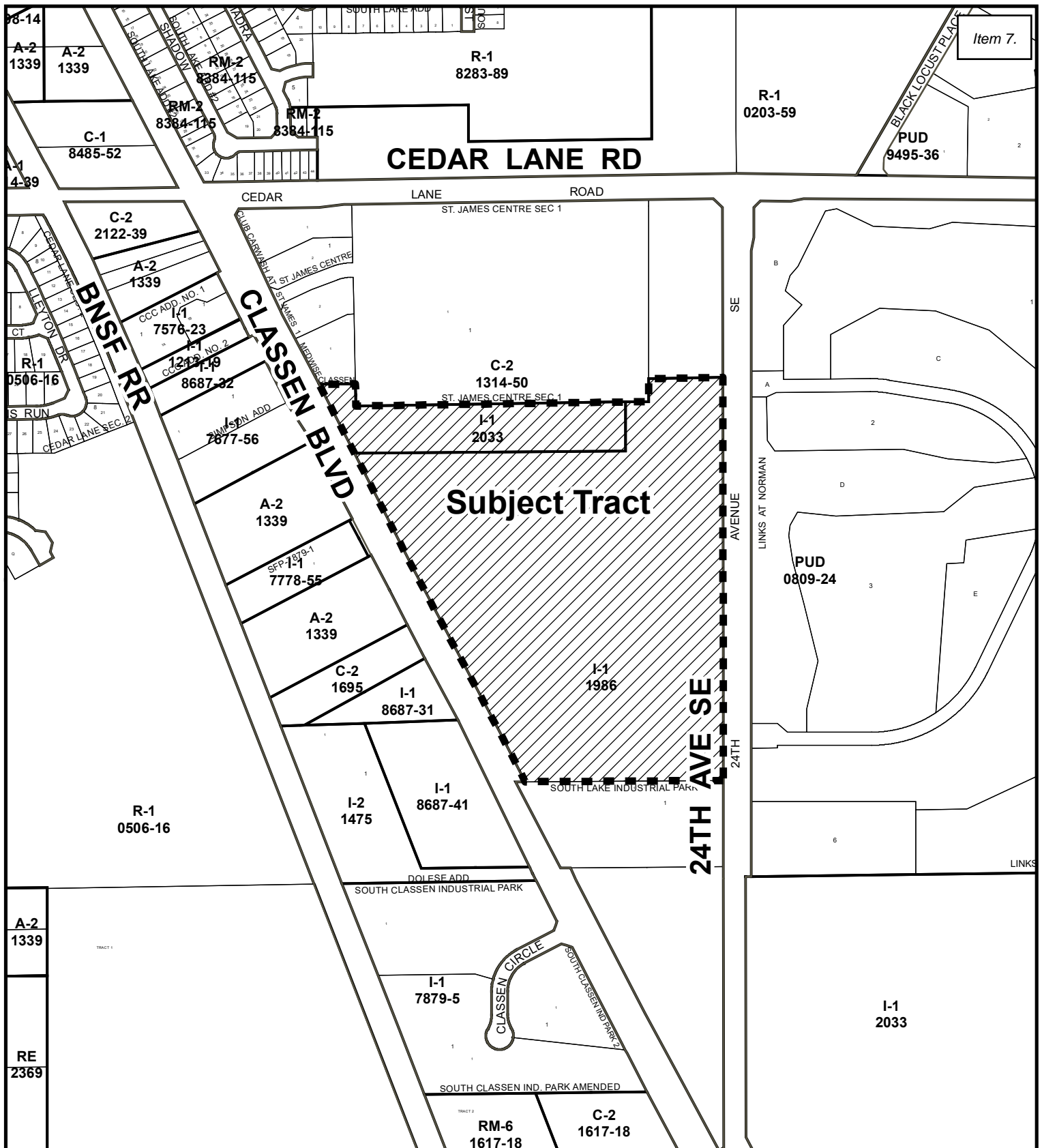
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May 3, 2023

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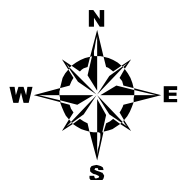
 Subject Tract



Location Map





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May 3, 2023

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 Subject Tract
 Zoning