



CITY OF NORMAN, OK
HISTORIC DISTRICT COMMISSION MEETING
Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Monday, December 04, 2023 at 5:30 PM

AGENDA

It is the policy of the City of Norman that no person or groups of persons shall on the grounds of race, color, religion, ancestry, national origin, age, place of birth, sex, sexual orientation, gender identity or expression, familial status, marital status, including marriage to a person of the same sex, disability, retaliation, or genetic information, be excluded from participation in, be denied the benefits of, or otherwise subjected to discrimination in employment activities or in all programs, services, or activities administered by the City, its recipients, sub-recipients, and contractors. In the event of any comments, complaints, modifications, accommodations, alternative formats, and auxiliary aids and services regarding accessibility or inclusion, please contact the ADA Technician at 405-366-5424, Relay Service: 711. To better serve you, five (5) business days' advance notice is preferred.

ROLL CALL

MINUTES

1. CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

HISTORIC DISTRICT COMMISSION MEETING MINUTES OF OCTOBER 2, 2023.

CERTIFICATE OF APPROPRIATENESS REQUESTS

2. (HD 23-40) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 633 OKMULGEE AVE TO CENTER GARAGE DOOR BY MOVING THE OPENING TO THE LEFT APPROXIMATELY 18 INCHES.
3. (HD 23-39) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 700 CHAUTAUQUA FOR THE REMOVAL OF WINDOW AND DOOR ON THE REAR OF THE STRUCTURE.
4. (HD 23-41) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 712 MILLER AVE FOR THE REPLACEMENT OF THE GARAGE DOOR.

FEEDBACK ITEMS

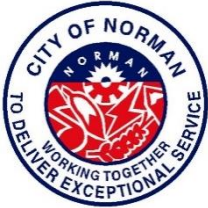
5. (HD 23-37) FEEDBACK ON A PROPOSED REAR ADDITION FOR THE STRUCTURE AT 425 S LAHOMA.

REPORTS/UPDATES

- [6.](#) DISCUSSION OF HISTORIC DISTRICT COMMISSION MEETING CALENDAR FOR 2023 AND 2024.
- [7.](#) STAFF REPORT ON ACTIVE CERTIFICATES OF APPROPRIATENESS AND ADMINISTRATIVE BYPASS ISSUED SINCE OCTOBER 2, 2023.
- [8.](#) DISCUSSION OF PROGRESS REPORT REGARDING FYE 2023-2024 CLG GRANT PROJECTS.
- [9.](#) DISCUSSION AND RECOMMENDATION OF APPLICATION FOR FUNDS FOR THE FY 2024-2025 CLG PROGRAM WITH THE OKLAHOMA STATE HISTORIC PRESERVATION OFFICE.

MISCELLANEOUS COMMENTS

ADJOURNMENT



CITY OF NORMAN, OK
HISTORIC DISTRICT COMMISSION MEETING
Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Monday, October 02, 2023 at 5:30 PM

MINUTES

It is the policy of the City of Norman that no person or groups of persons shall on the grounds of race, color, religion, ancestry, national origin, age, place of birth, sex, sexual orientation, gender identity or expression, familial status, marital status, including marriage to a person of the same sex, disability, retaliation, or genetic information, be excluded from participation in, be denied the benefits of, or otherwise subjected to discrimination in employment activities or in all programs, services, or activities administered by the City, its recipients, sub-recipients, and contractors. In the event of any comments, complaints, modifications, accommodations, alternative formats, and auxiliary aids and services regarding accessibility or inclusion, please contact the ADA Technician at 405-366-5424, Relay Service: 711. To better serve you, five (5) business days' advance notice is preferred.

Chair Emily Wilkins called the meeting to order at 5:35p.m.

ROLL CALL

PRESENT

- Commissioner - Vice Chair Barrett Williamson
- Commission - Chair Emily Wilkins
- Commissioner Mitch Baroff
- Commissioner Shavonne Evans
- Commissioner Taber Halford
- Commissioner Sarah Brewer
- Commissioner Jo Ann Dysart
- Commissioner Karen Thurston

ABSENT

- Commissioner Michael Zorba

A quorum was present.

STAFF PRESENT

- Anais Starr, Planner II, Historic Preservation Officer
- Amanda Stevens, Development Center Coordinator

GUESTS

- Robert Fightmaster, 12513 Shire Lane, OKC, OK
- Nathan Vaughn, 3324 Hidden Leaf Dr, Edmond, OK
- Kathleen Walker, 802 Classen Blvd, Norman, OK
- Jeri Smalley, 210 Ferrill St, Norman, OK

MINUTES

1. CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

HISTORIC DISTRICT COMMISSION MEETING MINUTES OF AUGUST 7, 2023.

Motion by Barrett Williamson for approval of the minutes from the August 7, 2023 regular meeting; **Second** by Sarah Brewer.

The motion was passed unanimously with a vote of 8-0. Minutes from the previous meeting were approved.

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CERTIFICATE OF APPROPRIATENESS REQUESTS

2. HD (23-31) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 606 MILLER AVENUE TO: 1) REPLACE EXTERIOR SIDING ON THE HOUSE AND GARAGE WITH ALTERNATIVE MATERIAL AND ADD AN ALTERNATIVE MATERIAL SOFFIT TO THE GARAGE; 2) REPLACE A REAR WINDOW AND DOOR WITH METAL WINDOWS; AND 3) MODIFY THE NON-ORIGINAL FRONT PORCH.

Motion by Barrett Williamson to vote on all three items individually; **Second** by Sarah Brewer.

The motion was passed unanimously with a vote of 8-0.

Motion by Barrett Williamson to approve item 1) replace exterior siding on the house and garage with alternative material and add an alternative material soffit to the garage, as submitted; **Second** by Shavonne Evans.

Anais Starr presented the staff report:

- Anais Starr stated the house was non-contributing due to loss of historic integrity from the numerous alterations done to the exterior. She noted that the garage was also non-contributing due to insufficient age, as it was constructed on the property after 1944 per review of the Sanborn Insurance Maps.
- Ms. Starr also stated that there is only sheathing under the existing cement siding and it is not covering original wood siding.
- The applicant is proposing to remove the cement siding and install smooth cement fiberboard lap siding.

Robert Fightmaster, property owner, discussed the project:

- Mr. Fightmaster explained that the house has four different types of siding. He would like to install one siding to the entire house to bring cohesiveness to the property.

There were no public comments.

Commission Discussion:

- Commissioner Williamson stated that this is an improvement. Also that this is in character with what is in the neighborhood.

- Commissioner Baroff stated that with this house being non-contributing, we do not have to push wood siding.

The motion was passed unanimously with a vote of 8-0.

Motion by Shavonne Evans to approve item 2) replace a rear window and door with metal windows, as submitted; **Second** by Sarah Brewer.

Anais Starr presented the staff report:

- Ms. Starr stated that the applicant is wanting to replace a window and door on the rear of the structure with metal windows to improve internal programming. The addition, window and door are not original to the house.

Robert Fightmaster, property owner, discussed the project.

- Mr. Fightmaster stated that the windows will match the size and look of the other windows.

There were no public comments.

There was no Commission Discussion:

The motion was passed unanimously with a vote of 8-0.

Motion by Mitch Baroff to approve item 3) modify the non-original front porch, as submitted; **Second** by Taber Halford.

Anais Starr presented the staff report:

- Ms. Starr stated that the applicant wants to encase the existing metal columns on the front porch with cedar as well as replace the existing fiberglass roof on the porch with a metal roof.
- Ms. Starr also pointed out applicant proposes shutters for the front of the house.

Robert Fightmaster, property owner, answered a question:

- Commissioner Thurston asked if the metal roofing will be visible from the street.
- Mr. Fightmaster stated that it will not be visible from the street and that it will have a matte finish so there will be no glare from the metal.

There was no public comments.

Commission Discussion:

- Commissioner Halford stated that he doesn't have an issue with the metal roofing but that bare cedar doesn't really fit in the historic neighborhoods.
- Commissioner Williamson asked if the applicant planned to paint the cedar wood.
- Commissioners felt that the cedar wood should be smooth and painted and asked the applicant if he was agreeable to amending his proposal.
- The applicant was agreeable to making the change to smooth painted wood for encasement of the metal columns.
- Commissioner Williamson stated that the metal roofing seemed to meet the Guidelines since the roof was flat and not visible from the front right-of-way.

Motion by Mitch Baroff to amend the original motion to include smooth painted wood in place of cedar on the columns; **Second** by Taber Halford.

The amendment was passed unanimously with a vote of 8-0.

The motion was passed unanimously with a vote of 8-0.

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Motion by Sarah Brewer to approve (HD 23-33) modify the proposed driveway and parking pad area off Ferrill Ave, as submitted; **Second** by Mitch Baroff.

3. HD (23-33) CONSIDERATION OF THE APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF AN AMENDMENT TO CERTIFICATE OF APPROPRIATENESS HD 23-08 FOR 904 MILLER AVENUE TO MODIFY THE PROPOSED DRIVEWAY AND PARKING PAD AREA OFF FERRILL AVENUE.

Anais Starr presented the staff report:

- Anais Starr stated that the applicant has proposed to reduce the parking pad to limit the impact to the neighbor on the south, and to make increase driveway to eighteen feet in width.
- Ms. Starr also pointed in her staff presentation that the proposed expansion of the existing driveway would not require the removal of any trees on the site.
- Commissioner Halford asked if the Commission has previously approved a driveway with this width or wider. Anais Starr responded that the Commission had previously approved an existing driveway and parking area that was comprised of several patches in order to create one wide driveway. That property was located on Chautauqua Avenue.
- Commissioner Thurston asked if the driveway portion located between the curb and the house would be utilized for parking of cars as well as providing access to parking pad.

Nathan Vaughn, property owner, discussed the project:

- The goal of the proposed changes to the driveway and parking pad is to get the cars off the street as it is a narrow street and to prevent tenants from driving on the grass to get to the parking pad between the house and the garage apartment.

Public Comments

- Jeri Smalley, 210 Ferrill St, stated that she is in favor of this property installing as much parking as possible to get the extra cars off the street as it is a narrow street.

Commission Discussion:

- Commissioner Brewer stated she is uncomfortable approving it since the Guidelines state that driveways cannot be more than ten feet.
- Commissioner Baroff stated that he has dealt with the same thing with his house. If the driveway is not doublewide then people will park on the yard if there is nowhere else to park.
- Nathan Vaughn stated that the current existing driveway for the property is wider than eighteen feet.
- Commissioner Williamson stated that with it being on the side of the house and not on Miller Avenue it has less impact and finds that it meets the intent of the Guidelines.
- Commissioner Dysart stated this it is appropriate because you have five bedrooms meaning you will have more than five cars at one time.
- Commissioner Evans stated that you could have a total of ten people living on this property and need somewhere for everyone to park.

- Commissioner Wilkins stated that she is having a hard time because Commissioners are to stick to the Guidelines which state driveways are to be no more than ten feet wide. However, she understands the issue of limited parking on a narrow street.
- Neighbor, Jeri Smalley also stated that the reason there is no parking on the north side of her street is so that fire trucks and ambulances can make it down the street.
- Anais Starr pointed out that the applicant has the maximum amount of parking possible off the alleyway and cannot increase his parking on the rear.

The motion failed with a vote of 4-4.

REPORTS/UPDATES

4. STAFF REPORT ON ACTIVE CERTIFICATES OF APPROPRIATENESS AND ADMINISTRATIVE BYPASS ISSUED SINCE AUGUST 7, 2023.

- 518 Chautauqua Ave: No update.
- 549 S Lahoma: In Court System Appeals process.
- 506 S Lahoma Ave: Construction continues.
- 607-609 S. Lahoma: Work has started.
- 610 Miller Ave: Waiting on custom roof material to be delivered.
- 514 Miller Ave: No change since March meeting. Work has not started.
- 904 Miller Ave: Construction has begun.
- 904 Classen Ave: Work has not started.
- 518 Shawnee: Windows ordered.
- 521 Miller: Windows ordered.

Administrative Bypass:

- 520 Macy Ace – Amendment to issued Admin Bypass COA to request hot tub instead of swimming pool.
- 930 Miller Ave – For the replacement of front yard fence.
- 518 Chautauqua Ave – For the installation of rear yard fences.
- 512 S Lahoma Ave – For the installation of handrail.
- 634 Chautauqua Ave – For the installation of handrail and replacement of stairs to meet code.
- 640 Tulsa St – For the replacement of non-original window on a non-contributing house on rear of the structure.

5. DISCUSSION OF PROGRESS REPORT REGARDING FY 2023-2024 CLG GRANT PROJECTS.

2022-2023 Certified Local Government Grant Funds Budget

PROJECT 1:	Educational Training	\$2,700
PROJECT 2:	Memberships Dues for NAPC	\$150
PROJECT 3:	Historic Tour Expansion	\$1,725
PROJECT 4:	Historic Tour App Maintenance	\$2,000
PROJECT 5:	Windows & Wall Workshop	\$10,000 (\$6,500 expended)
PROJECT 6:	Quarterly Education Postcard	\$1,800 (Approx. \$700)

Total CLG Budget \$18,375

Anais Starr discussed the Wood Window Workshop held on September 23-24 at the Moor Lindsay Historical House Museum utilizing in CLG funds. There were ten people registered and one additional participant showed up the first day of the workshop. Ms. Starr showed pictures of the participants working on the windows as well as before and after pictures of the two windows restored.

6. DISCUSSION AND RECOMMENDATION OF APPLICATION FOR FUNDS FOR THE FY 2024-2025 CLG PROGRAM WITH THE OKLAHOMA STATE HISTORIC PRESERVATION OFFICE.

Anais Starr stated that a resident of the Chautauqua Historic District had asked if CLG funds could be utilized to resurvey Chautauqua and Miller Districts. This re-survey would not only correct any mistakes from the last survey, but would also allow for a nomination to the National Register of Historic Places.

MISCELLANEOUS COMMENTS

Anais Starr explained to the Commissioners that the City of Norman will be launching a new building permit software that will be for all permits and applications.

ADJOURNMENT

The meeting was adjourned at 7:27 p.m.

Passed and approved this _____ day of _____ 2023.

Emily Wilkins, Chair
Historic District Commission



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: BRENT SWIFT

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: (HD 23-40) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 633 OKMULGEE AVE TO CENTER GARAGE DOOR BY MOVING THE OPENING TO THE LEFT APPROXIMATELY 18 INCHES.

Property History

Historical Information

2014 Southridge Historic District Nomination Survey Information:

633 Okmulgee. Ca 1939. Minimal Traditional. This contributing one-story, metal sided, single dwelling has a moderate pitched, asphalt covered, cross gabled roof and a concrete foundation. The wood windows are eight-over-eight hung with screens. The partial porch is centrally located between the two front cross gables and has a flat roof supported by square wood columns. The porch has concrete steps and flooring and a wood railing. There is a detached garage to the west rear.

Sanborn Insurance Maps

This section of Southridge Addition does not appear on the Sanborn Insurance Maps.

Previous Actions

There has not been any request for Certificate of Appropriateness for this address. This garage was built in 2014 prior to the establishment of Southridge Historic District.

Project Description

The applicant wishes to move the existing garage door opening 18 inches to the left in order to center the opening in the wall. Currently, due to the position of the door, the home owner has difficulty entering the garage with a vehicle.

Reference - Historic District Ordinance

429.3.1(g): *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

429.3.3(c): *Changes to rear elevations do require a COA; however the rear elevation of a historic structure is considered a secondary elevation and is therefore regulated to a lower standard to allow flexibility for additions or other modern day appurtenances. (0-0910-12).*

Reference - Preservation Guidelines

Garages

2.3 Standards for Administrative Bypass

The following items can receive a Certificate of Appropriateness (COA) through the Administrative Bypass process if they meet the criteria listed. If they do not meet the criteria, the application will be forwarded to the Historic District Commission for a full review.

.1 Garage Door Replacement.

For non-historic garages that face the alleyway or that are not visible from the right-of-way, the following is allowed:

- a. *Wood, wood composite or a raised metal panel garage door.*
- b. *The original size, height and width of doors must be maintained.*
- c. *Designs must match the style of the original garage door and/or garage.*

2.4 Guidelines

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.1 Preserve Historic Garage Structures. *Retain and preserve garages in their original locations and configurations. Even if the function changes, the exterior appearance shall remain the same.*

.2 Preserve Original Materials. *Retain and preserve character-defining materials, features, and details of historic garages, including foundations, siding, masonry, windows, garage doors, and architectural trim. When necessary, repair character-defining materials, features, and details of historic garages in-kind according to pertinent guidelines.*

.3 Replace Only Deteriorated Portions. *If replacement of a deteriorated element or detail of a historic garage is necessary, replace only the deteriorated portion in-kind rather than replacing the entire feature. Match the original in design, dimension, texture, and material. Consider compatible substitute materials only if the original materials are no longer available.*

.4 Request for Garage Demolitions. *A request to demolish a historic garage will utilize the following in determining the eligibility for demolition:*

- a. *An existing structure of architectural or historical significance shall be retained if repairs are reasonably possible.*
- b. *An existing structure is dilapidated, leaning, lacking a solid foundation, or of substandard construction, it may be eligible for demolition*
- c. *An existing structure is 240 square feet or less, it may be eligible for demolition.*
- d. *An existing structure was built after the period of significance; it may be eligible for demolition.*
- e. *The removal of existing historic structure will enable access to the rear yard where no access currently exists; it may be eligible for demolition.*

.7 New Garage Location. *New garages structures that are not replacing a historic garage are to be located behind the principal structure in the rear yard with limited or no visibility from the front right-of-way. Garages replacing historic garages shall maintain the location and configuration of a historic garage, typically at the end of a front driveway. Such garages shall be located behind the back elevation of the principal structure.*

.9 Additions to Garage Structures. *Additions to existing garages may be appropriate if not visible from the front right-of-way. Additions shall not be greater than the footprint of the existing garage. Additions must match the materials and design of exiting garage structure.*

.11 Replacement Garage Doors. *Retain and preserve wood overhead garage doors on historic garages. Retain double doors if possible. Replacement overhead garage doors with the appearance of double doors will be considered on a case-by-case basis. For historic garages, and garages that face the front or are visible from the right-of-way the following replacement door is allowed:*

- a. *Wood is preferred. However, wood composite or metal with composite trim can be considered on a case-by-case basis. Vinyl is prohibited.*
- b. *The original size, height and width of doors must be maintained.*
- c. *Designs must match the style of the original historic garage door.*

Staff Comments

The garage is not original to the house and the garage door has limited visibility from the front right-of-way. Though the *Preservation Guidelines* do not specifically address the altering of a garage door opening, the *Guidelines generally* discourage the relocation of original openings in a historic structure. Given that the structure is not historic and that it has limited visibility from the front, it appears reasonable to accommodate this request for a modern day convenience of efficiently parking a car in the garage.

The Commission would need to determine if this request to alter the location of the garage door meets the *Preservation Guidelines* and is compatible with this house and the District as a whole.

Commission Action: Consideration of approval, rejection, amendment, and/or postponement of the (HD 23-40) Certificate of Appropriateness to center garage door by moving the opening to the left approximately 18 inches for the property located at 633 Okmulgee Avenue.

The City of Norman Historic District Commission
FOR CERTIFICATE OF APPROPRIATENESS (COA)

Staff Only Use

HD Case #:

Date:

Received by:

Note: Any relevant building permits must be applied for and paid for separately in the Planning and Community Development Office. 405-366-5311

Address of Proposed Work:

Applicant's Contact Information:

Applicant's Name: Brent Swift

Applicant's Phone Number(s): 405-831-8222

Applicant's E-mail address: brentswift@gmail.com

Applicant's Address: 1112 Whiskey Hwy, Dim Norman, Ok. 73072

Applicant's relationship to owner: Contractor Engineer Architect

Owner's Contact Information: (if different than applicant)

Owner's Name: Kim Kierney

Owner's Phone Number(s): 785-550-8191

Owner's E-mail: knelson137@outlook.com

Project(s) proposed: (List each item of proposed work requested. Work not listed cannot be reviewed.)

- 1) Center Existing Garage door in wall missing.
- 2) * Discuss paver/walkway from house to garage.
- 3) * Contractor is working on eliminating water intrusion under the house.
- 4)

Supporting documents such as project descriptions, drawings and pictures are required see checklist page for requirements.

Authorization: I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer.

Property Owner's Signature: *Kimberly A. Kearney* **Date:** 11.9.23

(If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Authorized Representative's Printed Name: *Kimberly A. Kearney*

Authorized Representative's Signature: *K. Kearney* **Date:** 11.9.23



1. Adjust existing garage door over to center of the wall massing.
2. Repair and replace existing siding.
3. Adjust barn door track to center.





1. Install new drains to collect water from the roof and take to the street.
2. Install new brick to block off old crawl space.
3. Install a new replacement backdoor.
4. Install new paver walkway to the garage.





CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: GIUSEPPE MORELLI

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: (HD 23-39) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 700 CHAUTAUQUA FOR THE REMOVAL OF WINDOW AND DOOR ON THE REAR OF THE STRUCTURE.

Property History

Historical Information

2004 Chautauqua Historic District Nomination Survey Information:

700 Chautauqua Avenue. Ca. 1914. Bungalow/Craftsman. This contributing, two-story, composition board multiple dwelling has an asphalt-covered, front-gabled roof and a red brick foundation. The wood windows are one-over-one hung. The wood door is glazed paneled with a glazed slab storm. The partial porch is uncovered. There is a red brick interior chimney. Decorative details include triangular knee braces, exposed rafters and double and triple windows.

Sanborn Insurance Maps

The 1944 Sanborn Insurance Map shows the principal structure in its current location. However, the addition on rear does not appear on the Sanborn Map indicating it is a post-1944 addition.

Previous Actions

November 19, 2008 – A Certificate of Appropriateness by Administrative Bypass was issued for the installation of storm window for this property.

Project Description

The property owners recently purchased this property and are in the process of renovating the structure. As part of improvement to the internal programming of the structure, the contractor removed a door and a window located on the southwest corner of the structure. The contractor was unaware that a review by the Historic District Commission and the issuance of a Certificate of Appropriateness was required. The applicants are now requesting an *ex post facto* Certificate of Appropriateness request for the removal of the window and door.

The applicants propose to replace the removed window and door openings with brick and wood lap siding. The applicants wish to remove a majority of brick cladding on the south wall of the addition and replace it with lap siding that matches the house. They further propose to maintain a brick base on the wall to help tie together the historic house and the addition. The applicants have provided an illustration of their proposal.

The Certificate of Appropriateness application form submitted also requested the removal of the metal siding on the structure. However, this request may be handled through the Administrative Bypass process and does not require review by the Historic District Commission.

The applicants also requested to replace windows on the principal structure. However, supporting documents to allow for review were not submitted. When the applicants have the necessary information to review, they will return to the Commission to request the replacement of the metal/aluminum windows in the house with wood windows.

Reference - Historic District Ordinance

36-535.a.2 (g): *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

429.3.3(c): *Changes to rear elevations do require a COA; however the rear elevation of a historic structure is considered a secondary elevation and is therefore regulated to a lower standard to allow flexibility for additions or other modern day appurtenances. (0-0910-12).*

Reference - Preservation Guidelines

Windows

3.12 Guidelines for Windows

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.1 Retain Original Windows. *Retain and preserve original windows, including glass, frames, sash, muntins, sills, heads, moldings, surrounds, and hardware.*

.5 Replace Only Deteriorated Features. *If replacement of a deteriorated window or door feature or details is necessary, replace only the deteriorated feature in-kind rather than the entire unit. Broken sash cords, for example, can be repaired and do not necessitate replacing an entire window. Match the original in design, dimension, placement, and material.*

.8 Retain Original Metal Windows. *Replace original metal casement windows only as a last resort after weatherization measures have proven unsuccessful.*

.9 Preserve Original Openings. *Do not create new openings in the front or side façades of historic structures. Do not enlarge or diminish existing openings to fit stock window sizes. If new openings are necessary to meet code requirements, they shall be compatible with historic windows for that structure in proportion, shape, location, pattern, size, materials, and details.*

Staff Comments

As indicated earlier, this is an *ex post facto* review of proposed work which the Historic District Ordinance requires the Commission to review the case as if the work has not occurred.

The applicants recently purchased this structure, which has been a multi-unit structure for many years. The applicants wish to improve the floor plan for the unit located in the rear of the structure to meet modern-day expectations for a bedroom. Prior to removal, the window was located in a closet while the door provided direct access to the bedroom from the outside. The elimination of both these openings will provide better internal programming for the bedroom in this unit.

The *Preservation Guidelines* encourage the retention of original openings in historic structures. However, this addition is not original to the house. The *Guidelines* discourage changes to the front and side facades visible from the street right-of-way. The window and door have limited visibility from the street as it faces the south property line at the rear of the property. Though the *Guidelines* discourage removal of original openings on an elevation that is visible from the street, the removal of these openings will not impact the historic structure.

Given the window and door to be removed are not historic, not located in the historic portion of the structure, and have limited visibility from the front, their removal seems to be a practical solution to poor internal programming for this unit.

The proposed wood lap siding and brick to fill in the removed opening meet the Guidelines for appropriate material.

The Commission would need to determine if the removal of the window and door on this non-original addition and the replacement with wood siding and brick meets the *Preservation Guidelines* and is compatible alteration to this property and the surrounding District as a whole.

Commission Action: Consideration of approval, rejection, amendment, and/or postponement of the (HD 23-39) Certificate of Appropriateness for the removal of window and door on the rear of the structure for the property located at 700 Chautauqua Avenue.

The City of Norman Historic District Commission
FOR CERTIFICATE OF APPROPRIATENESS (COA)

Staff Only Use

HD Case #:

Date:

Received by:

Note: Any relevant building permits must be applied for and paid for separately in the Planning and Community Development Office, 405-366-5311

Address of Proposed Work: 700 Chautauqua Ave Norman, OK, 73069

Applicant's Contact Information:

Applicant's Name:	ALEXANDRA MORELLI
Applicant's Phone Number(s):	352-284-2662
Applicant's E-mail address:	morelli.a917@gmail.com
Applicant's Address:	700 Chautauqua Ave
Applicant's relationship to owner:	<input type="checkbox"/> Contractor <input type="checkbox"/> Engineer <input type="checkbox"/> Architect <input checked="" type="checkbox"/> daughter

Owner's Contact Information: (if different than applicant)

Owner's Name:	GIUSEPPE MORELLI
Owner's Phone Number(s):	352-262-2252
Owner's E-mail:	jmorelli843@aol.com

Project(s) proposed: (List each item of proposed work requested. Work not listed cannot be reviewed.)

- 1) REMOVE a window and door on south side of structure and replace with lap siding and brick.
- 2) Repair replace existing wood windows with like windows. REMOVE vinyl/aluminum windows with wood windows.
- 3) REMOVE existing aluminum siding and repair/replace existing wood
- 4)

Supporting documents such as project descriptions, drawings and pictures are required see checklist page for requirements.

Authorization: I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer.

Property Owner's Signature: *Giuseppe Morelli* **Date:** 10-30-2023

(If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Authorized Representative's Printed Name: Alexandra Morelli
Authorized Representative's Signature: *Alexandra Morelli* **Date:** 11/8/2023

Project One

The south side of the house on 700 Chautauqua had 2 entrances to the back bedroom room and a window to a closet. See photo A.

The proposed project involves replacing the brick exterior surrounding the door and window and replacing the brick with the original wood siding of the house that has been covered by the aluminum siding (see photo A).

The brick removed from around the door and window frame would then be reused to create a continuous brick skirt at bottom of the south wall where the door was removed. Please see sketch one showing continuity of brick along the bottom on the south side in the location of the of door

Project Two

We would like to repair/replace existing wood windows and frames with like wood windows of the period. We would also like to replace existing vinyl/metal windows with wood windows.

Project Three

Remove existing aluminum siding and repair replace wood siding underneath. Repair all wood window sills damaged during placement of aluminum siding

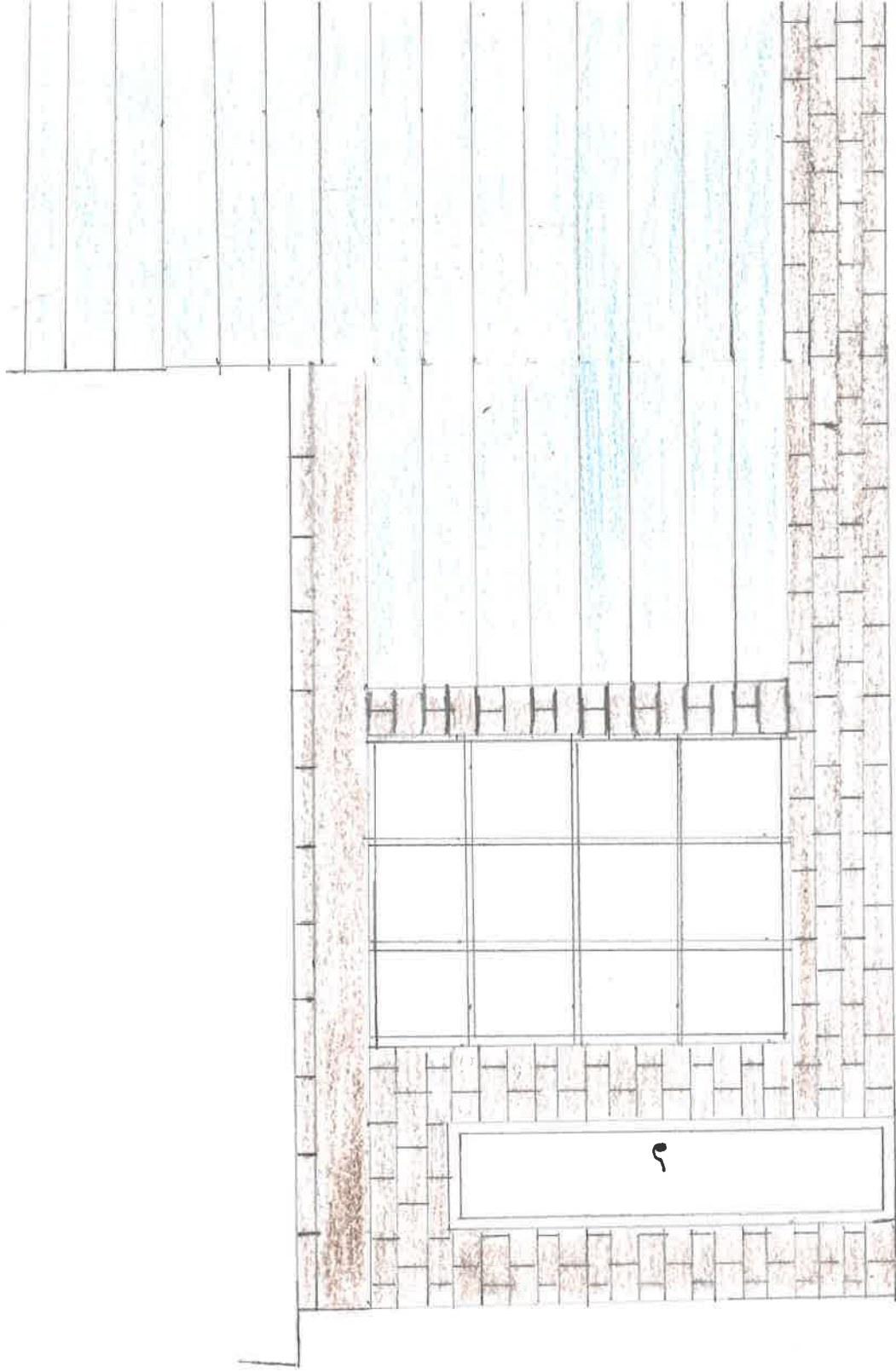
Photo A:

Picture of South side of home on 700 Chautauqua showing door on left side followed by large center window and door and window on the right side. Door on right side removed as there were two doors entering the same rear bedroom. To improve functional flow of bedroom we removed the door.

Window adjacent to door was in a closet. To improve the functionality of the closet the window was removed

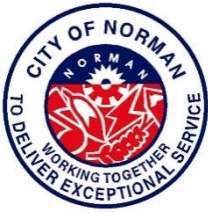


Exhibit one: Southside
Sketch one



Sketch One

This illustration shows the proposed look after the removal of the second door and window. The siding noted in blue in the illustration will match the original house siding that has been covered by the current Aluminum siding.



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: JEFFREY & MICHELLE MAJEWSKI

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: (HD 23-41) CONSIDERATION OF APPROVAL, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE CERTIFICATE OF APPROPRIATENESS REQUEST FOR THE PROPERTY LOCATED AT 712 MILLER AVE FOR THE REPLACEMENT OF THE GARAGE DOOR.

Property History

Historical Information

2004 Miller Historic District Nomination Survey Information:

712 Miller Ave. Ca. 1953. Minimal Traditional. This noncontributing, one-story, redwood lap-sided, single dwelling has a poured concrete foundation and an asphalt-covered, cross-gabled roof. The wood windows are six-over-six hung with metal storms and the wood door is glazed paneled. The partial porch has turned wood supports. Other exterior features include an attached, one-car garage with a glazed paneled overhead door. Decorative details include a large picture window on the porch, double windows and brick wainscoting. The building is noncontributing due to insufficient age.

Sanborn Insurance Maps

This house does not appear on the Sanborn Insurance Maps since it was built post-1944.

Previous Actions

April 24, 2001 – Fence replacement.

May 7, 2001 – Modification of fence replacement.

April 7, 2003 – Backyard accessory structure demolition and reconstruction.

November 11, 2013 – Installation of rear parking pad.

July 8, 2021 – Installation of side yard fence.

Project Description

The property owners recently purchased this house and found the garage door to be deteriorated and unsafe. The owners replaced the garage door with a new metal door without realizing that it must be reviewed by the Commission and receive a Certificate of Appropriateness prior to installation. The applicants are now requesting an *ex post facto* Certificate of Appropriateness.

Reference - Historic District Ordinance

429.3.1(g): *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

36-535.c.2.g.3. Reviewing non-contributing structures. *Non-contributing structures should be controlled only to the degree necessary to make them compatible with the general atmosphere of any district with regard to exterior alteration, additions, signs, site work and related activities.*

Reference - Preservation Guidelines

Garages

2.3 Standards for Administrative Bypass

The following items can receive a Certificate of Appropriateness (COA) through the Administrative Bypass process if they meet the criteria listed. If they do not meet the criteria, the application will be forwarded to the Historic District Commission for a full review.

.1 Garage Door Replacement.

For non-historic garages that face the alleyway or that are not visible from the right-of-way, the following is allowed:

- a. *Wood, wood composite or a raised metal panel garage door.*
- b. *The original size, height and width of doors must be maintained.*
- c. *Designs must match the style of the original garage door and/or garage.*

2.4 Guidelines

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

.1 Preserve Historic Garage Structures. *Retain and preserve garages in their original locations and configurations. Even if the function changes, the exterior appearance shall remain the same.*

.2 Preserve Original Materials. *Retain and preserve character-defining materials, features, and details of historic garages, including foundations, siding, masonry, windows, garage doors, and architectural trim. When necessary, repair character-defining materials, features, and details of historic garages in-kind according to pertinent guidelines.*

.3 Replace Only Deteriorated Portions. *If replacement of a deteriorated element or detail of a historic garage is necessary, replace only the deteriorated portion in-kind rather than replacing the entire feature. Match the original in design, dimension, texture, and material. Consider compatible substitute materials only if the original materials are no longer available.*

.5 New Garage Construction. *A new garage shall be compatible in form, scale, size, materials, features, and finish with the principal structure. The following criteria will be considered for a new garage constructed where there is currently no historic structure:*

- a. *The new structure will utilize alley access if available.*
- b. *The new footprint will be 575 square feet or 50% of the footprint of the principal structure, whichever is smaller.*
- c. *The cumulative of square footages for all garage structures on the lot, shall be no greater than the footprint of the principal structure.*
- d. *New garage are to be subservient to the principal structure and in no case will the garage structure be taller, wider or deeper than the principal structure.*
- e. *The proposed construction will preserve existing trees.*
- f. *Maximum of two garages are allowed per site.*

.8 New Garage Materials. *The following may be considered on a case-by-case basis for new garages:*

- a. *Acceptable materials include wood, brick and stone masonry, and stucco. Fiber cement products for new garage construction located off an alleyway or if setback behind the rear of the house will be considered on a case-by-case basis. It should be noted that wood siding does not have "wood grain." Only smooth cement board is permitted. The use of vinyl, Masonite, aluminum or other metal sidings is prohibited.*
- b. *Aluminum clad doors and windows are allowed for garages located off an alleyway or behind the rear elevation of the house, with no or limited visibility from the front right-of-way.*
- c. *Wood, wood composite or metal overhead garage doors with wood/wood composite trim are allowed.*
- d. *Garage doors shall be a single width. Double width garage doors will be considered on a case-by-case basis.*

.11 Replacement Garage Doors. *Retain and preserve wood overhead garage doors on historic garages. Retain double doors if possible. Replacement overhead garage doors with the appearance of double doors will be considered on a case-by-case basis. For historic garages, and garages that face the front or are visible from the right-of-way the following replacement door is allowed:*

- a. *Wood is preferred. However, wood composite or metal with composite trim can be considered on a case-by-case basis. Vinyl is prohibited.*
- b. *The original size, height and width of doors must be maintained.*
- c. *Designs must match the style of the original historic garage door.*

Staff Comments

As indicated, this is an *ex post facto* request for garage door replacement, which the Historic District Ordinance requires the Commission to review the case as if the work has not occurred. Staff would note that this house is a non-contributing structure to the Miller Historic District due to insufficient age.

Though this 1950s house with the attached garage is non-contributing to the Miller Historic District, the *Preservation Guidelines* specifically address the replacement of garage doors that are front facing and visible from the right-of-way. The *Guidelines* prefer wood, but allow wood composite or metal with wood composite trim for garage door replacement. Furthermore, the *Guidelines* call for the door design to be maintained. In this case, the applicants replaced the door with a metal door with a different design which does not match the original wood door.

However, as noted earlier, the Historic District Ordinance states non-contributing structures are to be controlled only to the degree necessary to make them compatible with the District.

The Commission would need to determine if this request to replace the garage door meets the *Preservation Guidelines* and is compatible with this house and the District as a whole.

Commission Action: Consideration of approval, rejection, amendment, and/or postponement of (HD 23-41) Certificate of Appropriateness for the replacement of the garage door for the property located at 712 Miller Avenue.

The City of Norman Historic District Commission
FOR CERTIFICATE OF APPROPRIATENESS (COA)

Staff Only Use

Item 4.

HD Case #:

Date:

Received by:

Note: Any relevant building permits must be applied for and paid for separately in the Planning and Community Development Office. 405-366-5311

Address of Proposed Work: 712 Miller Ave., Norman, OK 73069

Applicant's Contact Information:

Applicant's Name: Jeff Majewski

Applicant's Phone Number(s): 713-732-9596

Applicant's E-mail address: jeff.majewski@cbre.com

Applicant's Address: 13810 Myrtlea Dr., Houston, TX 77079

Applicant's relationship to owner: Contractor Engineer Architect

Owner's Contact Information: (if different than applicant)

Owner's Name: Same

Owner's Phone Number(s):

Owner's E-mail:

Project(s) proposed: (List each item of proposed work requested. Work not listed cannot be reviewed.)

1) Repair and replace inoperable exterior garage door.

2)

3)

4)

Supporting documents such as project descriptions, drawings and pictures are required see checklist page for requirements.

Authorization: I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer.

Property Owner's Signature: 

Date: 11/2/23

(If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Authorized Representative's Printed Name:

Authorized Representative's Signature:

Date:

The City of Norman Historic District Commission Certificate of Appropriateness Request
Application Checklist

Supporting Documents

The purpose of supporting documentation is to illustrate existing conditions and proposed work as installed. Photos, site plan, elevation drawings, and specification sheets all need to clearly illustrate both the existing status as well as the proposed changes. It is recommended that you meet with the Historic Preservation Officer prior to submitting your COA application request to ensure you have a complete application by deadline. Incomplete applications will not be forwarded for review by the Historic District Commission. Please contact staff to discuss project before submitting application (405)366-5392.

A. Documentation of Existing Conditions – Pictures of the appearance, condition and dimensions of any existing materials to be replaced or altered must be submitted.

B. Site Plan – Show existing structures and site elements as well as proposed structures and site elements. The following elements should be included on a site plan drawn to scale:

- Buildings, garages, sheds
- Fences, walls
- Sidewalks, driveways, parking pads
- Patios, decks, Swimming pools, etc.
- Trees (see F Tree Preservation Plan)

Note: Additions and New Structures need to show adjacent property structures and site elements on the site plan.

C. Illustration of the proposed materials and design - Photos, drawings and/or samples must be provided to illustrate the design, materials, and finishes of the proposed work.

D. Elevation drawings and floor plans indicating existing and proposed features:

- | | |
|---|---|
| <input type="checkbox"/> Exterior materials | <input type="checkbox"/> Architectural Elements |
| <input type="checkbox"/> Doors | <input type="checkbox"/> Windows |
| <input type="checkbox"/> Foundation materials, dimensions | <input type="checkbox"/> Porches, stoops, gutters |
| <input type="checkbox"/> Roof, ridgeline, chimneys | <input type="checkbox"/> Steps, ramps, railings |

E. Trees Preservation Plan showing (required for major projects only, such as additions). This can be included on site plan. Show existing large shade trees 8" in diameter or greater and existing ornamental trees greater than 4" in diameter. Description of how existing trees will be protected during construction needs to be provided. Any trees proposed to be removed must be indicated.

F. Additional Documents for New Construction or Additions:

<input type="checkbox"/> Streetscape elevation of existing structure and adjacent structures	<input type="checkbox"/> Floor height of proposed house addition, comparison to adjacent properties
<input type="checkbox"/> Color Photos of site - front, side and rear	<input type="checkbox"/> Total height of proposed house or addition, comparison to neighboring structures
<input type="checkbox"/> Site Plan to include structures, pavement, trees of subject property and adjacent properties	<input type="checkbox"/> Elevation drawings of each façade of proposed house or addition
<input type="checkbox"/> Topographical information if proposing to change grades of site	<input type="checkbox"/> Floor Plans

Request for Certificate of Appropriateness

Applicant: Michelle & Jeff Majewski

OK Address: 712 Miller Avenue, Norman, OK 73069



Request: Approval for replacement of garage door.

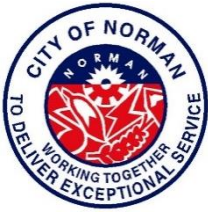
The house at 712 Miller Ave. was built in 1951. Review of the City of Norman Historic Preservation Guidelines, 1951 construction falls outside the definition of the Miller Historic District defined as house built between 1910 – 1938 (section 1.6.2). Could not locate specific Guideline requirements for homes outside this time period.

The existing garage was inoperable. Would close on its own, which presented a life safety issue for occupants as well as vehicles. In addition, the prior garage door was not insulated, which created an unacceptable and dangerously frigid environment in the garage during the cold Norman winters.

The garage door was replaced with an insulated, metal door. Per section 2.4.11 of the City of Norman Historic Preservation Guidelines, a garage replacement door can be metal. Original size height & width must be maintained. The replacement door is exactly the same size and style – 4 panel & white.

Wanting to stay within the same genre as our neighbors, we reviewed surrounding properties and noted they had the same type of door as the Miller Ave. replacement. The surrounding properties, have a similar style door, both in material and appearance.

As you can see from the photo above, we are very proud of our Miller Ave. house. We fell in love with the neighborhood and surrounding area. In our humble opinion, we believe we have one of the nicest properties in the neighborhood. As proud parents of 2 University of OK students, we greatly appreciate how the City of Norman has welcomed our family to the town.



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: SARAH & CAMERON BREWER

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: (HD 23-37) FEEDBACK ON A PROPOSED REAR ADDITION FOR THE STRUCTURE AT 425 S LAHOMA.

Property History

Historical Information

2004 Chautauqua Historic District Nomination Survey Information:

425 S Lahoma Ave. 1925. *Bungalow/Craftsman. This contributing, two-story, weatherboard single dwelling has an asphalt-covered, front-gabled roof and a concrete foundation. The wood windows are one-over-one hung with metal. The wood windows are one-over-one hung with metal storms and the wood door is glazed paneled with a glazed slab storm door. The entry porch has an asymmetrical gable roof supported by wood columns and a turned wood spindle balustrade. Decorative details include triangular knee braces, exposed rafters, double and triple windows and asphalt-covered, shed awnings on the windows. To the rear is a single car, weatherboard garage with a front-gabled, asphalt-covered roof and overhead door. In front of the garage is a wood carport.*

Sanborn Map Information

The principal structure is indicated in its present location on the 1944 Sanborn map without the current addition. Attached for Commission reference is a sheet with both the 2021 City of Norman aerial photo and the 1944 Sanborn Map. The rear addition is not present on the Sanborn map, indicating that it is a post-1944 addition.

Previous Actions

The following Certificates of Appropriateness (COA) requests for this property have been approved for this property:

April 10, 2017 - A COA by Administrative Bypass was granted for the replacement of wood-clad window for wood window.

November 1, 2021 - A COA was granted for installation of solar panels visible from the front right-of-way.

Description

The applicants wish to receive feedback on a proposed addition to the rear of the structure. The addition will provide a primary bedroom and bath on the first floor.

Reference - Historic District Ordinance

429.3.1(g): *To safeguard the heritage of the City by preserving and regulating historic district structures in such a way that maintains or restores their historic integrity while allowing modern day uses and conveniences for their residents. (0-0910-12).*

429.3.3(c): *Changes to rear elevations do require a COA; however the rear elevation of a historic structure is considered a secondary elevation and is therefore regulated to a lower standard to allow flexibility for additions or other modern day appurtenances. (0-0910-12).*

Reference - Preservation Guidelines

Additions to Historic Buildings

4.4 Guidelines

A review by the Historic District Commission will use the following criteria for the issuance of a Certificate of Appropriateness (COA):

- .1 Make Additions Compatible.** *Additions shall be compatible with the historic building in size, scale, mass, materials, proportions and the pattern of windows and doors to solid walls.*
- .2 Locate Addition Inconspicuously.** *Locate a new addition on an inconspicuous façade of the historic building, usually the rear one. Additions that alter the front façade are generally considered inappropriate for a historic structure.*
- .3 Limit Size and Scale.** *The footprint of the addition shall not exceed 50% of the footprint of the existing structure or 750 square feet, whichever is greater. Exterior dimensions of the addition shall not exceed the exterior dimensions of the existing structure, including height, width, and depth. An addition which does not increase the footprint of the existing structure may be allowed to increase roof height and will be reviewed on a case-by-case basis.*
- .4 Preserve the Site.** *Design new additions so that the overall character of the site, character-defining site features, and trees, are retained.*
- .5 Avoid Detracting From Principal Building.** *It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature. Construct new additions so that character-defining features of the historic buildings are not destroyed, damaged, or obscured.*

Staff Comments

The addition on the rear of the structure would “bump out” slightly from the south elevation of the house and be visible from the front right-of-way. Staff would note that the *Guidelines for Additions to Historic Buildings* encourage additions to have no or limited visibility from the front

right-of-way. However, in order to retain the kitchen windows/openings and to retain heritage trees, the applicant's architect proposed the addition slightly bump out from the south elevation.

The Commission is to provide feedback as to whether the proposed addition could meet the *Preservation Guidelines* and whether or not such work would be compatible with this historic structure and the District as a whole.

Commission Action

Feedback on a proposed rear addition for the structure at 425 S Lahoma. No vote is required.

The City of Norman Historic District Commission
FOR CERTIFICATE OF APPROPRIATENESS (COA)

Staff Only Use

HD Case #:

Date:

Received by:

Note: Any relevant building permits must be applied for and paid for separately in the Planning and Community Development Office. 405-366-5311

Address of Proposed Work: 425 S. Lakoma Ave 73069

Applicant's Contact Information:

Applicant's Name: CAMERON + SARAH BREWER

Applicant's Phone Number(s): (210) 865-0987

Applicant's E-mail address: cameronbrewer@gmail.com

Applicant's Address: 425 S. Lakoma Ave

Applicant's relationship to owner: Contractor Engineer Architect

Owner's Contact Information: (if different than applicant)

Owner's Name: //

Owner's Phone Number(s): //

Owner's E-mail: //

Project(s) proposed: (List each item of proposed work requested. Work not listed cannot be reviewed.)

1) Addition off back, as shown in plans.

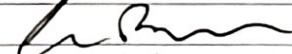
2) ~~(*) For feedback from Commission~~

3) ~~(*) For feedback from Commission~~

4)

Supporting documents such as project descriptions, drawings and pictures are required see checklist page for requirements.

Authorization: I hereby certify that all statements contained within this application, attached documents and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with the approved plans and to follow all City of Norman regulations for such construction. I authorize the City of Norman to enter the property for the purpose of observing and photographing the project for the presentations and to ensure consistency between the approved proposal and the completed project. I understand that no changes to approved plans are permitted without prior approval from the Historic Preservation Commission or Historic Preservation Officer.

Property Owner's Signature: 

Date: 11-2-23

(If applicable): I authorize my representative to speak in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

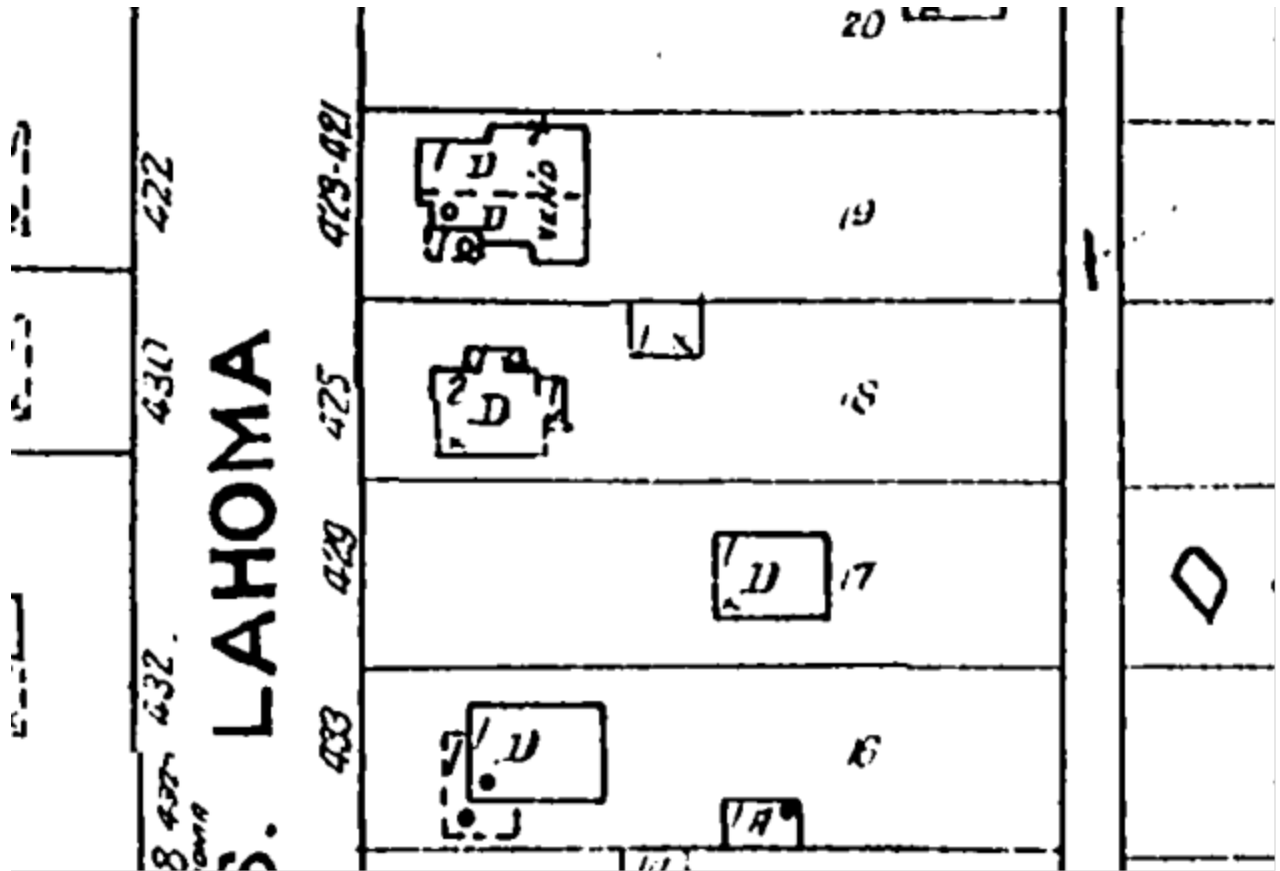
Authorized Representative's Printed Name: CAMERON BREWER

Authorized Representative's Signature: N/A

Date:



2021 Aerial



1944 Sanborn Insurance Map

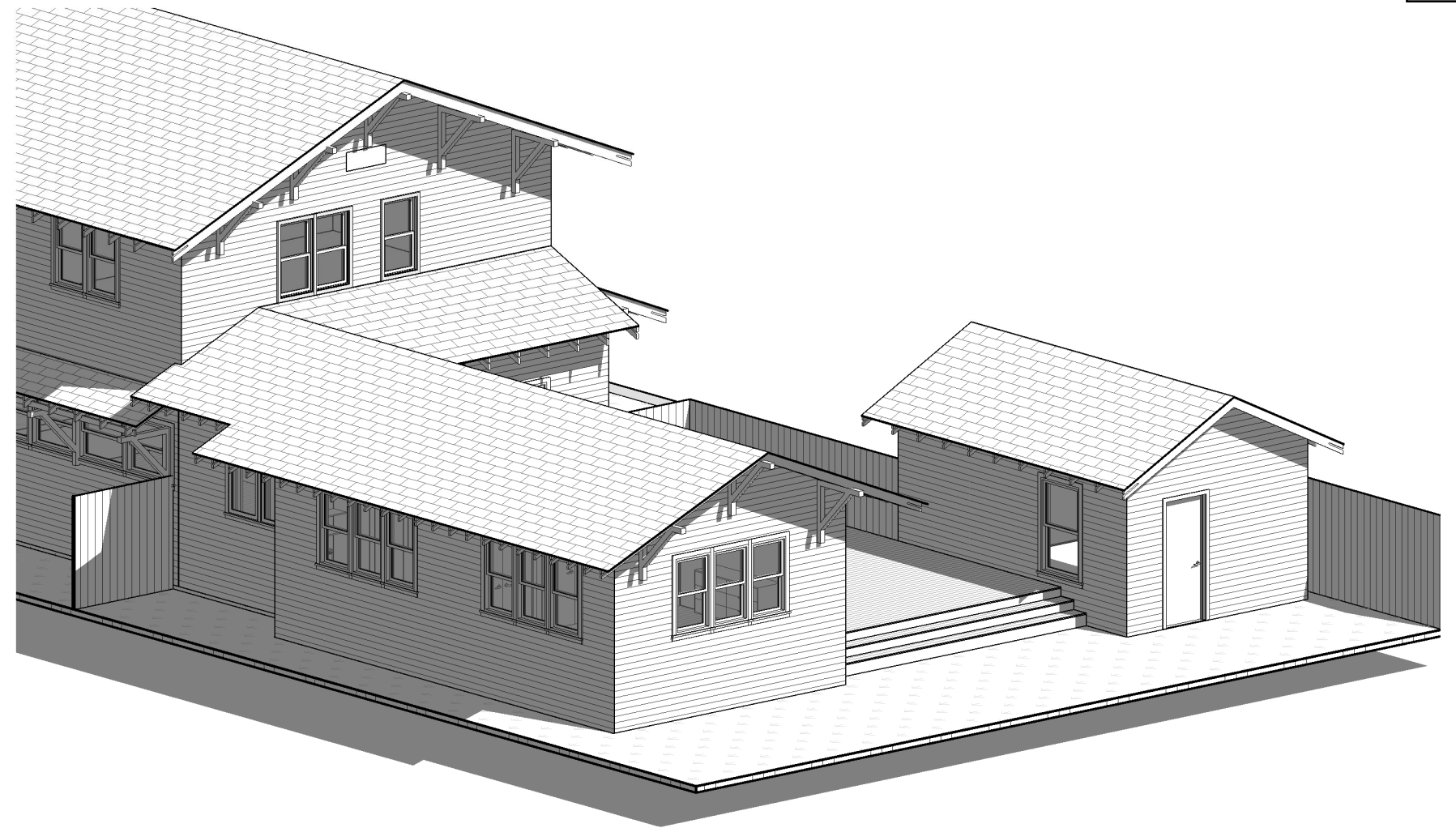
BREWER HOUSE

ADDRESS:

425 S LAHOMA AVE.
NORMAN, OK 73069

SHEET LIST

SHEET NO.	SHEET NAME	REVISION	ISSUE DATE
A000	COVER	3	10.27.2023
A101	SITE PLAN	3	10.27.2023
A201	DETAIL SITE PLANS	3	10.27.2023
A202	FLOOR PLAN	3	10.27.2023
A301	EXISTING ELEVATIONS	1	09.26.2023
A302	PROPOSED ELEVATIONS	3	10.27.2023
A303	PROPOSED ELEVATIONS CONT.	3	10.27.2023



GENERAL NOTES

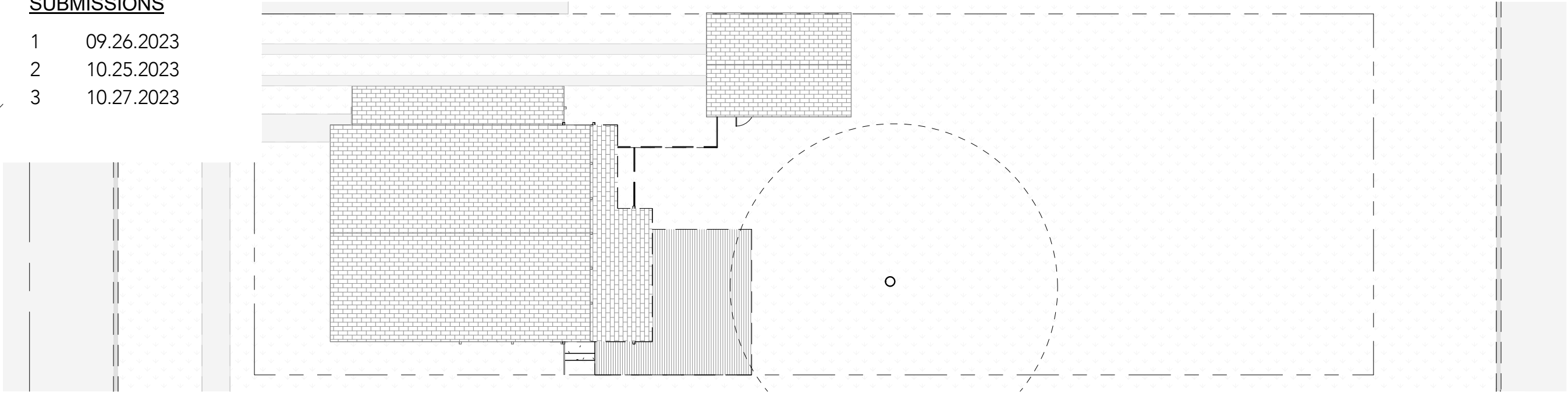
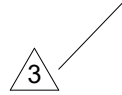
- ANY OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR COORDINATING THE EXISTING CONDITIONS WITH THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS, TO CONFIRM THAT THE INTENT OF THE CONTRACT DOCUMENTS CAN BE FULFILLED. NOTIFY THE ARCHITECT IN WRITING OF ALL DISCREPANCIES.
- CONTRACTOR SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING ANY WORK THAT IS NOT CLEARLY DEFINED BY THE CONTRACT DOCUMENTS.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY UNFORESEEN CONDITIONS FOR DIRECTION BEFORE PROCEEDING WITH WORK.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON PERFORMANCE OF THE WORK.
- GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTRACT AND COORDINATION WITH ALL AUTHORIZED OWNER REPRESENTATIVES.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO PROCEEDING WITH THE WORK TO ENSURE PROPER COORDINATION, SEQUENCING AND INSTALLATION OF NEW WORK.
- FIELD VERIFY ALL MEASUREMENTS REQUIRED. USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING BEFORE PROCEEDING WITH WORK. DIMENSIONS GIVEN TO AND FROM EXISTING CONSTRUCTION ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD. REPORT ANY VARIANCES TO ARCHITECT IN WRITING FOR RESOLUTION BEFORE PROCEEDING WITH NEW WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES AND BUILDING SYSTEMS AT ALL TIMES. PATCH AND REPAIR ALL ITEMS DAMAGED DUE TO THE DEMOLITION PROCESS TO "LIKE NEW" CONDITION.
- PATCH AND REPAIR DAMAGES TO EXISTING OR NEW FINISHES CAUSED BY DEMOLITION OR NEW WORK. MATCH EXISTING ADJACENT FINISH.
- WHERE NEW WORK ABUTS OR FINISHES FLUSH WITH EXISTING WORK, MAKE THE TRANSITION AS SMOOTH AND WORKMANLIKE AS POSSIBLE. PATCHED WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE SO AS TO MAKE THE PATCH OR TRANSITION INVISIBLE TO THE EYE AT A DISTANCE OF 3 FEET.
- CONTRACTOR TO PROVIDE TEMPORARY BRACING AND BARRICADES AS REQUIRED. CONTRACTOR TO PROVIDE TEMPORARY LIGHTING AND EGRESS SIGNS AS REQUIRED. TEMPORARY BARRIERS SHALL BE DUST RESISTANT AND/OR WEATHER RESISTANT AS REQUIRED TO PROTECT OCCUPANTS, THE GENERAL PUBLIC, EXISTING FINISHES AND EQUIPMENT.
- OWNER TO COORDINATE CONSTRUCTION DETAILS AND METHODS DIRECTLY WITH CONTRACTOR. ARCHITECT NOT LIABLE FOR CONSTRUCTION METHODS OR EXECUTION.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.
- CONTRACTOR TO REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, TO THE SATISFACTION OF THE OWNER AND AS REQUIRED BY LOCAL ORDINANCE.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO PROVIDE AND COORDINATE COMPATIBLE SUBSTRATES, FRAMING, BACKING, MECHANICAL, ELECTRICAL, AND PLUMBING ROUGH-IN REQUIREMENTS.
- ON CONTINUOUS WALL SURFACES, WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF ADJACENT FINISHES, UNLESS OTHERWISE NOTED.
- ALL FINISHES, MATERIALS AND EQUIPMENT SHALL BE CONTRACTOR FURNISHED / CONTRACTOR INSTALLED, UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED.
- PROVIDE EXTERIOR GRADE WOOD WITH CORROSION RESISTANT FASTENERS WHERE EXPOSED TO WEATHER.
- SEPARATE ALL DISSIMILAR METALS TO PROTECT FROM GALVANIC CORROSION.
- ALL ROOF AND WALL PENETRATIONS SHALL BE SEALED WATER-TIGHT WITH MATERIALS COMPATIBLE WITH EXISTING FINISHES TO REMAIN OR NEW FINISH MATERIAL PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE FIRE SEALANT TO PERIMETER OF ALL PIPING, HVAC SLEEVING OR OTHER TYPE OF THRU-WALL PENETRATION.
- GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL CONCRETE AS REQUIRED BY MECHANICAL AND/OR ELECTRICAL.
- PROVIDE SOLID BLOCKING AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES.
- PAINT ALL EXPOSED SURFACES, EXCEPT WHERE ITEMS ARE SCHEDULED TO REMAIN NATURAL OR ARE OTHERWISE RESTRICTED BY LOCAL CODES, ORDINANCES OR AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL PROTECT EXISTING PAVING AND WALKS THAT REMAIN AND REPAIR OR REPLACE ANY DAMAGE AS A RESULT OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE SUBMITTALS TO ARCHITECT AND OWNER FOR ALL FIXTURES, FINISHES, MATERIALS, HARDWARE, EQUIPMENT AND APPLIANCES ETC.

BREWER HOUSE

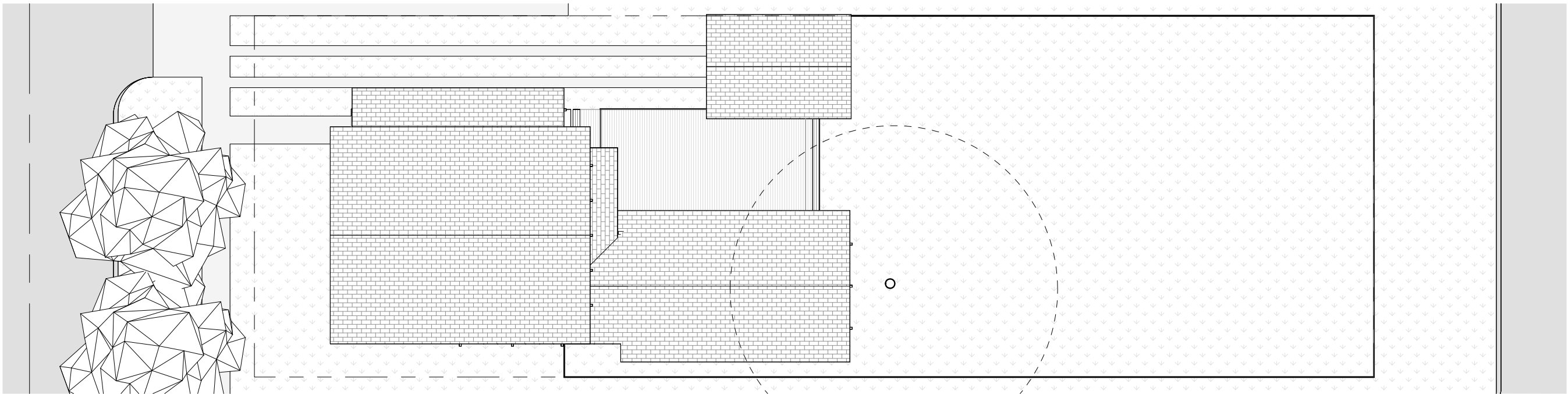
ADDRESS:
425 S LAHOMA AVE.
NORMAN, OK 73069

SUBMISSIONS	
1	09.26.2023
2	10.25.2023
3	10.27.2023

SHEET:
A101
SITE PLAN



1 SITE_EXISTING
1/16" = 1'-0"



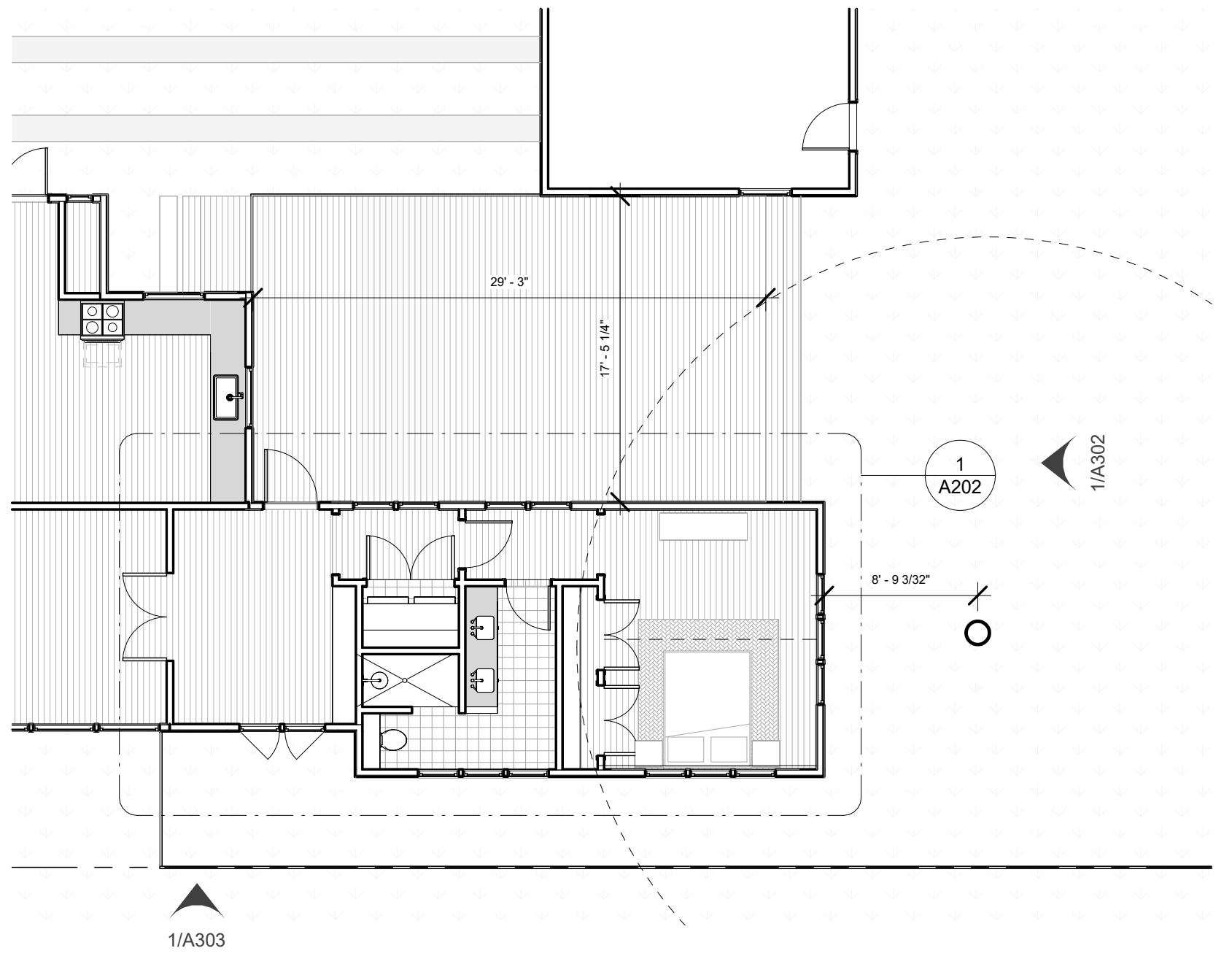
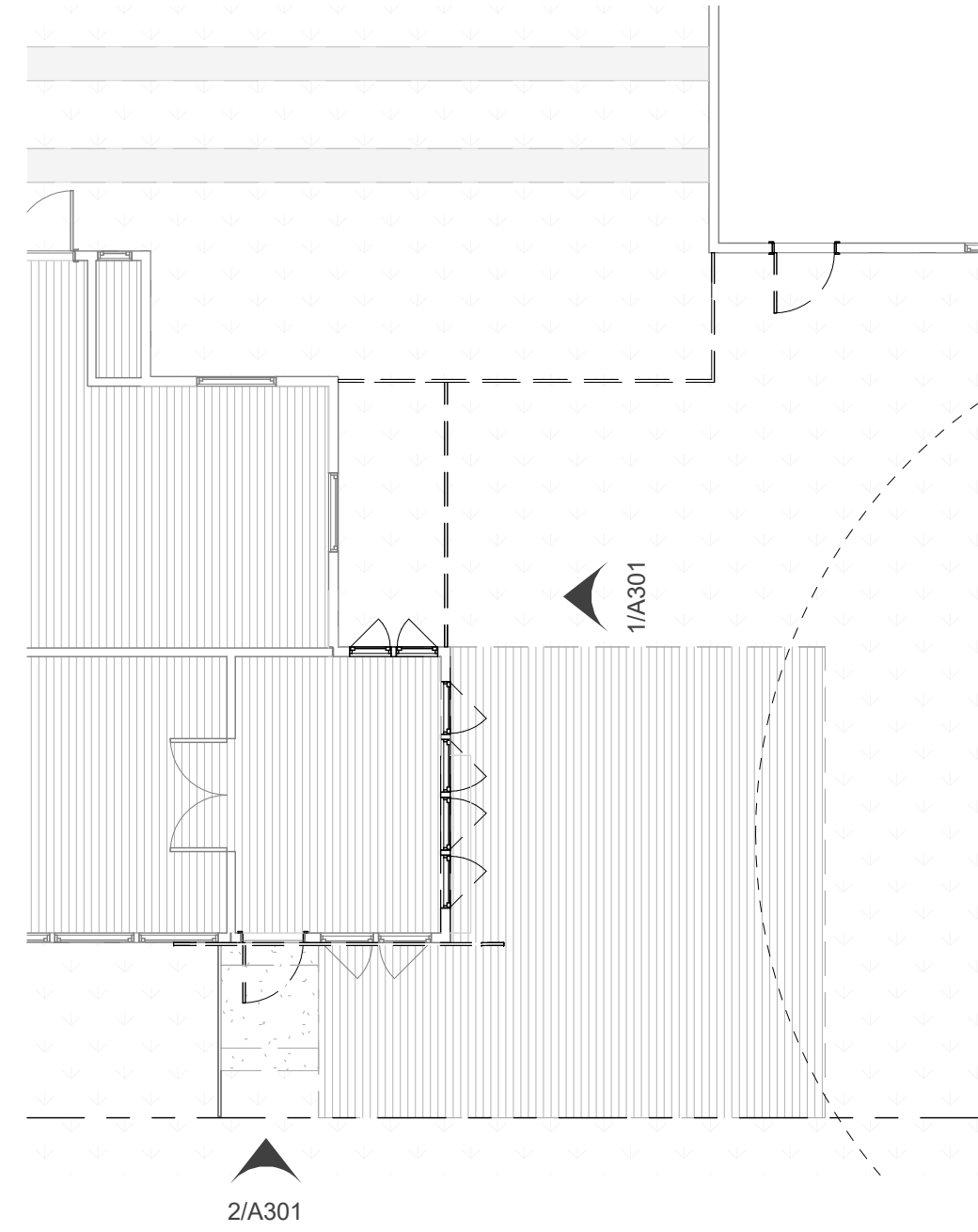
2 SITE_PROPOSED
1/16" = 1'-0"

BREWER HOUSE

ADDRESS:
425 S LAHOMA AVE.
NORMAN, OK 73069

SUBMISSIONS	
1	09.26.2023
2	10.25.2023
3	10.27.2023

SHEET:
A201
DETAIL SITE PLANS



1 EXISTIN SITE
1/8" = 1'-0"

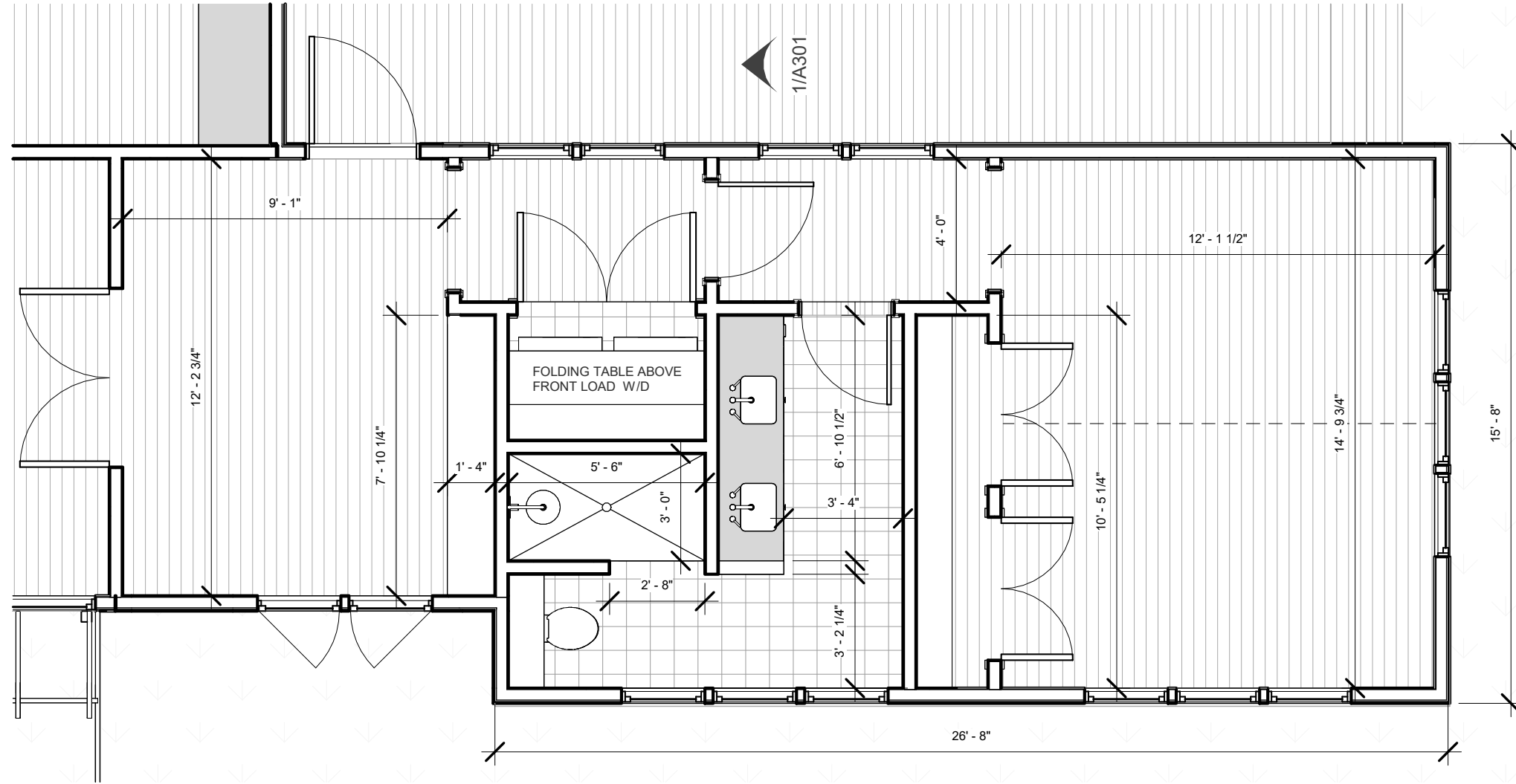
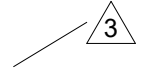
2 PROPOSED SITE
1/8" = 1'-0"

BREWER HOUSE

ADDRESS:
425 S LAHOMA AVE.
NORMAN, OK 73069

SUBMISSIONS
2 10.25.2023
3 10.27.2023

SHEET:
A202
FLOOR PLAN



1 FLOOR PLAN
1/4" = 1'-0"

BREWER HOUSE

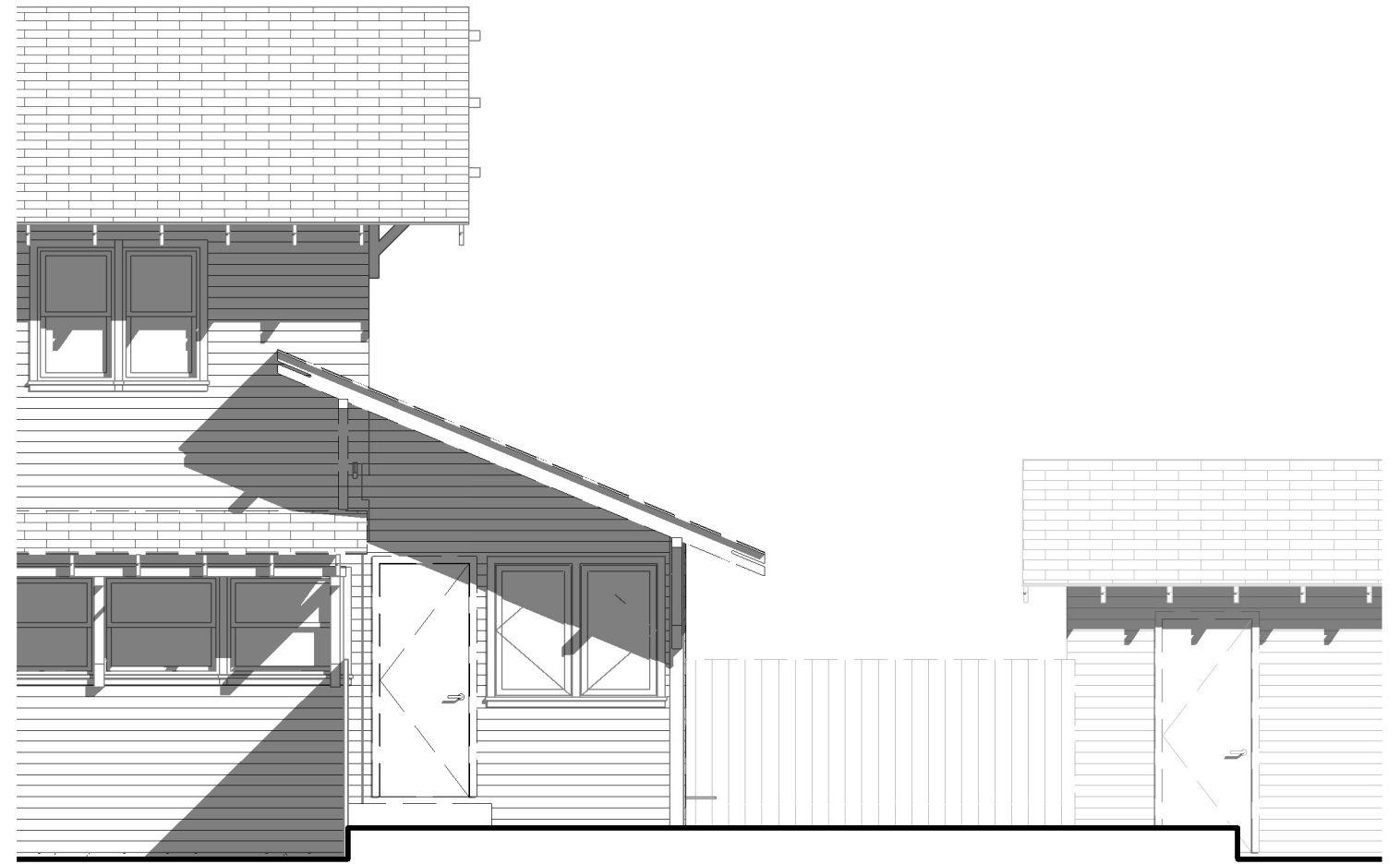
ADDRESS:
425 S LAHOMA AVE.
NORMAN, OK 73069

SUBMISSIONS
1 09.26.2023

SHEET:
A301
EXISTING ELEVATIONS



1 EAST ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

BREWER HOUSE

ADDRESS:
425 S LAHOMA AVE.
NORMAN, OK 73069

<u>SUBMISSIONS</u>	
1	09.26.2023
2	10.25.2023
3	10.27.2023



SHEET:
A302
PROPOSED ELEVATIONS



1 EAST ELEVATION
3/16" = 1'-0"

BREWER HOUSE

ADDRESS:

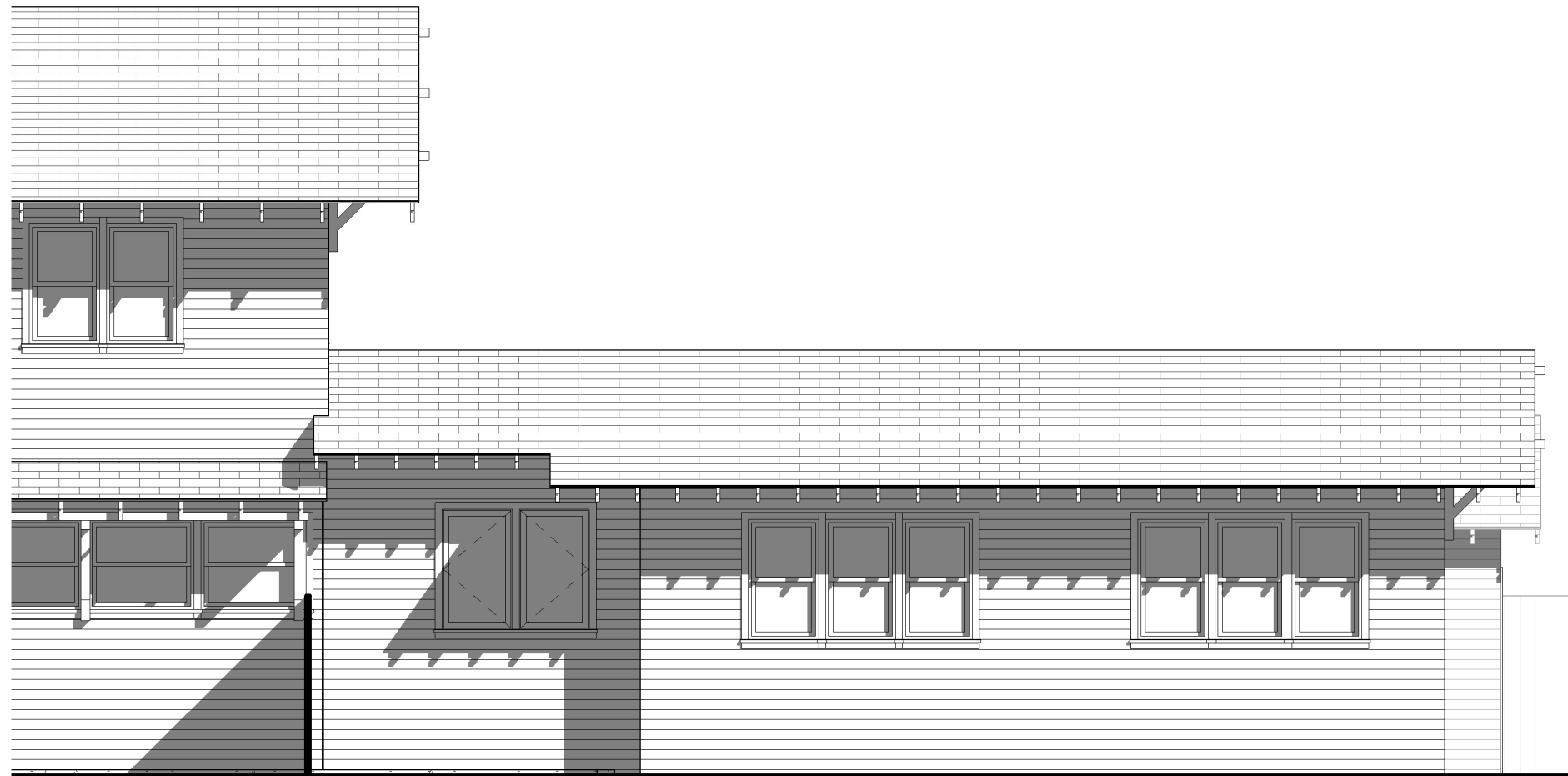
425 S LAHOMA AVE.
NORMAN, OK 73069

SUBMISSIONS

1	09.26.2023	3
2	10.25.2023	
3	10.27.2023	

SHEET:

A303
PROPOSED ELEVATIONS CONT.



1 SOUTH ELEVATION
3/16" = 1'-0"





CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: HISTORIC DISTRICT COMMISSION

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: DISCUSSION OF HISTORIC DISTRICT COMMISSION MEETING CALENDAR FOR 2023 AND 2024.

-  HOLIDAY
-  MEETING DATE
-  FILING DEADLINE



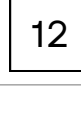

2024 HISTORIC DISTRICT COMMISSION

JANUARY


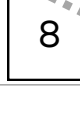
FEBRUARY

MARCH

DEC. 8

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		2	3	4	5	6
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14		16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			


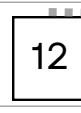
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25	26	27	28	29		


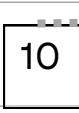

Sun	Mon	Tue	Wed	Thu	Fri	Sat
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10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						




APRIL

MAY

JUNE

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	 1	2	3	4	5	6
7	8	9	10	11	 12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				



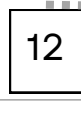
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19	20	21	22	23	24	25
26		28	29	30	31	



Sun	Mon	Tue	Wed	Thu	Fri	Sat
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16	17	18		20	21	22
23	24	25	26	27	28	29
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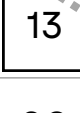
JULY

AUGUST

SEPTEMBER

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	 1	2	3		5	6
7	8	9	10	11	 12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			



Sun	Mon	Tue	Wed	Thu	Fri	Sat
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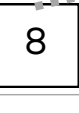



Sun	Mon	Tue	Wed	Thu	Fri	Sat
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15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30					





OCTOBER

NOVEMBER

DECEMBER

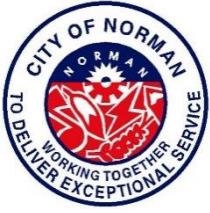
Sun	Mon	Tue	Wed	Thu	Fri	Sat
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6	 7	8	9	10	 11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

Sun	Mon	Tue	Wed	Thu	Fri	Sat
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3	 4	5	6	7	 8	9
10		12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27			30

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	 2	3	4	5	6	7
8	9	10	11	12	 13	14
15	16	17	18	19	20	21
22	23	24			27	28
29	30	31				

JAN. 6

HISTORIC DISTRICT COMMISSION MEETS ON THE FIRST MONDAY OF EACH MONTH AT 5:30PM EXCEPT FOR THE MONTHS OF JANUARY AND SEPTEMBER WHEN THE MEETING WILL TAKE PLACE ON THE SECOND MONDAY AT 5:30PM.



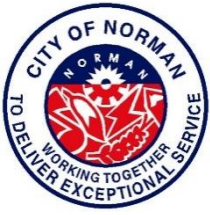
CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: HISTORIC DISTRICT COMMISSION

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: STAFF REPORT ON ACTIVE CERTIFICATES OF APPROPRIATENESS AND ADMINISTRATIVE BYPASS ISSUED SINCE OCTOBER 2, 2023.



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: HISTORIC DISTRICT COMMISSION

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: DISCUSSION OF PROGRESS REPORT REGARDING FYE 2023-2024
CLG GRANT PROJECTS.



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 12/4/2023

REQUESTER: HISTORIC DISTRICT COMMISSION

PRESENTER: ANAIS STARR, PLANNER II

ITEM TITLE: DISCUSSION AND RECOMMENDATION OF APPLICATION FOR FUNDS FOR THE FY 2024-2025 CLG PROGRAM WITH THE OKLAHOMA STATE HISTORIC PRESERVATION OFFICE.
