

CITY OF NORMAN, OK PLANNING COMMISSION MEETING

Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069 Thursday, April 10, 2025 at 5:30 PM

AGENDA

It is the policy of the City of Norman that no person or groups of persons shall on the grounds of race, color, religion, ancestry, national origin, age, place of birth, sex, sexual orientation, gender identity or expression, familial status, marital status, including marriage to a person of the same sex, disability, relation, or genetic information, be excluded from participation in, be denied the benefits of, or otherwise subjected to discrimination in employment activities or in all programs, services, or activities administered by the City, its recipients, sub-recipients, and contractors. In the event of any comments, complaints, modifications, accommodations, alternative formats, and auxiliary aids and services regarding accessibility or inclusion, please call 405-366-5424, Relay Service: 711. To better serve you, five (5) business days' advance notice is preferred.

NOTICE: The requested rezoning items appearing on this Planning Commission Agenda were filed by the applicant at least 30 days ago. Legal notice for each rezoning item was published in The Norman Transcript and mailed to each property owner of record within a minimum of 350 feet of each rezoning request.

Planning Commission will hold a public hearing on these items tonight, and each item upon which action is taken will be forwarded to the City Council with a recommendation. It should be recognized that the Planning Commission is a recommendatory body and that the City Council may, or may not, concur with the Planning Commission's recommendation. Therefore, it is important to note that all items forwarded by the Planning Commission will be introduced and heard at a subsequent City Council meeting.

PUBLIC WIFI - CONNECT TO CITYOFNORMANPUBLIC - PASSWORD: April1889.

ROLL CALL

CONSENT ITEMS

This section is placed on the agenda so that the Planning Commission, by unanimous consent, may designate those items that they wish to approve by one motion. Any of these items may be removed from the Consent Docket and be heard in its regular order.

<u>Minutes</u>

1. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

PLANNING COMMISSION MEETING MINUTES OF MARCH 13, 2025.

NON-CONSENT ITEMS

TFCU Rezoning

2. <u>CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-22</u>: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOT ONE (1), IN BLOCK TWO (2), OF EAST LINDSEY PLAZA SECTION 5, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE SPUD, SIMPLE PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE SPUD, SIMPLE PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (1451 12TH AVENUE SOUTHWEST)

223 W. Main Street CCPUD

3. <u>CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-33</u>: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF CHAPTER 36 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOTS 10-11, BLOCK 72 OF NORMAN OLD TOWN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (223 W MAIN ST)

227 W. Main Street CCPUD

4. <u>CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-34</u>: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF CHAPTER 36 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOTS 12-14, BLOCK 72 OF NORMAN OLD TOWN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (227 W MAIN ST)

Victory Family Church Special Use, NORMAN 2025 Amendment, and Preliminary Plat

5. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF RESOLUTION R-2425-100: A RESOLUTION OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING THE NORMAN 2025 LAND USE AND TRANSPORTATION PLAN SO AS TO REMOVE PART OF THE SOUTHEAST QUARTER (SE/4) AND THE NORTHEAST QUARTER (NE/4) OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST OF THE INDIAN MERIDIAN (I.M.), CLEVELAND COUNTY, OKLAHOMA, FROM THE INDUSTRIAL DESIGNATION AND PLACE THE SAME IN THE INSTITUTIONAL DESIGNATION. (GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.)

- 6. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-35: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO GRANT SPECIAL USE FOR A CHURCH, TEMPLE, OR OTHER PLACE OF WORSHIP, IN THE I-1, LIGHT INDUSTRIAL DISTRICT FOR THE SOUTHEAST QUARTER (SE/4) AND THE NORTHEAST QUARTER (NE/4) OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST OF THE INDIAN MERIDIAN, CLEVELAND COUNTY, OKLAHOMA; AND PROVIDING FOR THE SEVERABILITY THEREOF. (GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.)
- 7. <u>CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF PP-2425-11</u>: CONSIDERATION OF A PRELIMINARY PLAT SUBMITTED BY VICTORY FAMILY CHURCH, INC. (CRAFTON TULL) FOR VICTORY FAMILY CHURCH 2024 PARKING (FORMERLY BIO-CIDE EAST PARK ADDITION) FOR 10.28 ACRES OF PROPERTY GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.

101 S. Porter Ave Special Use

8. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-36: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO GRANT SPECIAL USE FOR A BAR, LOUNGE, OR TAVERN IN THE C-3, INTENSIVE COMMERCIAL DISTRICT FOR LOTS ONE (1), TWO (2), IN BLOCK THIRTY-TWO (32), OF THE ORIGINAL TOWN OF NORMAN OF THE INDIAN MERIDIAN, CLEVELAND COUNTY, OKLAHOMA; AND PROVIDING FOR THE SEVERABILITY THEREOF. (101 S. PORTER AVE.)

Chapter 20 & 30 Zoning Ordinance Amendment

9. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT AND/OR POSTPONEMENT OF ORDINANCE O-2425-31: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING CHAPTER 20 ("LICENSES AND OCCUPATIONS"), SECTION 20-1910 ("PREMISES MAINTAINED"), AND TO SECTIONS THROUGHOUT CHAPTER 30 ("SUBDIVISIONS") OF THE CODE, IN ORDER TO UPDATE DEFINITIONS, TO UPDATE AND ADD REFERENCES TO THE CITY'S COMPREHENSIVE PLAN, TO REQUIRE A 30-ACRE MINIMUM LOT SIZE FOR RURAL CERTIFICATES OF SURVEY WITH AN URBAN RESERVE LAND USE DESIGNATION, TO UPDATE LANGUAGE TO ENSURE COMPATABILITY WITH THE AIM NORMAN COMPREHENSIVE PLAN AND ITS VARIOUS INCLUDED MASTER PLANS, AND TO CLARIFY OR CORRECT LANGUAGE, INCLUDING FOR ERRORS; AND PROVIDING FOR THE SEVERABILITY THEREOF.

The applicant requests postponement to the May 8, 2025 Planning Commission *Meeting.*

Chapter 36 Zoning Ordinance Amendment

10. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-32: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTIONS THROUGHOUT CHAPTER 36 ("ZONING") OF THE CODE, IN ORDER TO UPDATE DEFINITIONS, TO UPDATE AND ADD REFERENCES TO THE CITY'S COMPREHENSIVE PLAN, TO UPDATE LANGUAGE TO ENSURE COMPATABILITY WITH THE AIM NORMAN COMPREHENSIVE PLAN AND ITS VARIOUS INCLUDED MASTER PLANS, AND TO CLARIFY OR CORRECT LANGUAGE, INCLUDING FOR ERRORS; AND PROVIDING FOR THE SEVERABILITY THEREOF.

The applicant requests postponement to the May 8, 2025 Planning Commission Meeting.

MISCELLANEOUS COMMENTS OF PLANNING COMMISSION AND STAFF

ADJOURNMENT

File Attachments for Item:

1. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

PLANNING COMMISSION MEETING MINUTES OF MARCH 13, 2025.



CITY OF NORMAN, OR PLANNING COMMISSION MEETING

Development Center, Conference Room A, 225 N. Webster Ave, Norman,

OK 73069

Thursday, March 13, 2025 at 5:30 PM

MINUTES

The Planning Commission of the City of Norman, Cleveland County, State of Oklahoma, met in Regular Session in Conference Room A at the Development Center, on Thursday, March 13, 2025 at 5:30 PM and notice of the agenda of the meeting was posted at the Development Center at 225 N. Webster Ave, Norman Municipal Building at 201 West Gray, and on the City website at least 24 hours prior to the beginning of the meeting.

Erica Bird called the meeting to order at 5:38 p.m.

ROLL CALL

PRESENT

Cameron Brewer Steven McDaniel Liz McKown Erica Bird Doug McClure Jim Griffith Maria Kindel

ABSENT Michael Jablonski Kevan Parker

STAFF PRESENT

Jane Hudson, Planning and Community Development Director Lora Hoggatt, Planning Services Manager Destiny Andrews, Planner II Justin Fish, Planner I Beth Muckala, Assistant City Attorney III David Riesland, Transportation Engineer Todd McLellan, Development Engineer

GUEST PRESENT

Richard McKown Callie Zingali, 224 Bulverde Dr. Kristina Keenan, 220 Bulverde Dr. Russell Doughty, 304 Maybury Bryan Stambeck Helen Todd, 1600 E. Imhoff Rd.

6

Motion by Commissioner Brewer to approve recusal of Commissioner McKown from items 3, 6, 7, 8, 9, 10, and 11; **Second** by Commissioner Griffith.

Motion was passed unanimously with a vote of 6-0.

CONSENT ITEMS

Minutes

1. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF THE MINUTES AS FOLLOWS:

PLANNING COMMISSION SPECIAL MEETING MINUTES OF FEBRUARY 3, 2025.

PLANNING COMMISSION MEETING MINUTES OF FEBRUARY 13, 2025.

ITEMS SUBMITTED FOR THE RECORD

- 1. February 3, 2025 Planning Commission Special Meeting Minutes
- 2. February 13, 2025 Planning Commission Meeting Minutes

Preliminary Plats

2. <u>CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT,</u> <u>AND/OR POSTPONEMENT OF PP-2425-10</u>: CONSIDERATION OF A PRELIMINARY PLAT SUBMITTED BY WPM PROPERTIES, LLC (BOBBY SKAGGS LAND SURVEYING, LLC) FOR CHARLESTON RIDGE ADDITION FOR .47 ACRES OF PROPERTY GENERALLY LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF TECUMSEH ROAD AND CHARLESTON ROAD.

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map
- 3. Preliminary Plat
- 4. Site Plan

Certificates of Survey

3. <u>CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT,</u> <u>AND/OR POSTPONEMENT OF COS-2425-9</u>: CONSIDERATION OF NORMAN RURAL CERTIFICATE OF SURVEY SUBMITTED BY THE RANCH ON ROBINSON, LLC (DURHAM SURVEYING, INC.) FOR RANCH ON ROBINSON, FOR 54.067 ACRES OF PROPERTY GENERALLY LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF EAST ROBINSON STREET AND 60TH AVENUE N.E.

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map
- 3. Rural Certificate of Survey

Motion by Commissioner Kindel to approve the minutes from the February 3, 2025 Planning Commission Special Meeting, and February 13, 2025 Planning Commission Meeting; and PP-2425-10; **Second** by Commissioner McDaniel.

Motion passed unanimously with a vote of 7-0.

Motion by Commissioner McDaniel to approve COS-2425-9; **Second** by Commissioner Griffith.

Motion passed unanimously with a vote of 6-0, 1 recusal.

2710 36th Ave NW Rezoning and NORMAN 2025 Amendment

4. <u>CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF RESOLUTION R-2425-81</u>: A RESOLUTION OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING THE NORMAN 2025 LAND USE AND TRANSPORTATION PLAN SO AS TO REMOVE PART OF THE NORTH HALF (N/2) OF THE SOUTHEAST QUARTER (SE/4) OF SECTION FIFTEEN (15), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST OF THE INDIAN MERIDIAN (I.M.), CLEVELAND COUNTY, OKLAHOMA, FROM THE LOW DENSITY RESIDENTIAL DESIGNATION AND PLACE THE SAME IN THE OFFICE DESIGNATION. (2710 36TH AVENUE NW)

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. 2025 Land Use Map
- 3. Pre-Development Summary
- 5. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-24: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE PART OF THE NORTH HALF (N/2) OF THE SOUTHEAST QUARTER (SE/4) OF SECTION FIFTEEN (15), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE A-2, RURAL AGRICULTURAL DISTRICT AND PLACE THE SAME IN THE O-1, OFFICE-INSTITUTIONAL DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (2710 36TH AVENUE NW)

ITEM SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map
- 3. Site Plan
- 4. Estimated Elevations

Staff Presentation

Destiny Andrews, Planner II, presented the staff report.

Applicant Presentation

Applicant elected not to present on the item.

Public Comment

There were no public comments.

Motion by Commissioner McKown to recommend approval of Resolution R-2425-81 and Ordinance O-2425-24; **Second** by Commissioner Kindel.

6. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF RESOLUTION R-2425-91: A RESOLUTION OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING THE NORMAN 2025 LAND USE AND TRANSPORTATION PLAN SO AS TO REMOVE PART OF SOUTHEAST QUARTER (SE/4) OF SECTION SEVEN (7), TOWNSHIP NINE (9) NORTH, RANGE TWO (2) WEST OF THE INDIAN MERIDIAN (I.M.), CLEVELAND COUNTY, OKLAHOMA, FROM THE LOW DENSITY RESIDENTIAL DESIGNATION AND PLACE THE SAME IN THE COMMERCIAL DESIGNATION AND FUTURE URBAN SERVICE AREA AND PLACE THE SAME IN CURRENT URBAN SERVICE AREA. (281 W TECUMSEH ROAD)

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. 2025 Land Use Map
- 3. Pre-Development Summary
- 7. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-26: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE THE SOUTHEAST QUARTER (SE/4) OF SECTION SEVEN (7), TOWNSHIP NINE (9) NORTH, RANGE TWO (2) WEST OF THE INDIAN MERIDIAN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE A-2, RURAL AGRICULTURAL DISTRICT, AND PLACE SAME IN THE PUD, PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (281 W TECUMSEH ROAD)

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map
- 3. PUD Narrative
- 4. Preliminary Site Development Plan
- 5. Preliminary Plat
- 6. Preliminary Landscape Plan
- 8. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF PP-2425-8: CONSIDERATION OF A PRELIMINARY PLAT SUBMITTED BY G2 SOK INVESTMENTS, LLC (BLEW SURVEYING ENGINEERING ENVIRONMENTAL) FOR TECUMSEH ROAD STORAGE, A PLANNED UNIT DEVELOPMENT, FOR APPROXIMATELY 5.93 ACRES OF PROPERTY LOCATED AT 281 W. TECUMSEH ROAD.

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map
- 3. Preliminary Plat
- 4. Traffic Letter

- 5. Development Review Form
- 6. Preliminary Plat
- 7. Protest Map
- 8. Protest Letters

Staff Presentation

Destiny Andrews, Planner II, presented the staff report.

Applicant Presentation

Gunner Joyce, Representative of Applicant, presented the proposed item.

Commissioner Bird asked to address concerns brought up in protest letters.

Bryan Stambeck, Applicant, addressed the concerns regarding crime, pest control, and surrounding property values. He explained that everyone using the facility must have a valid driver's license, otherwise a background check would be performed. There are no on-site dumpsters, to reduce pest problems.

Commissioner Brewer asked about the self-maintenance plan. Mr. Stambeck explained that there is a manager on site seven days a week who is instructed to walk the perimeter three times a day. There is also a lawn care service that will up keep the maintenance of the property weekly.

Public Comments

Kristina Keenan, 220 Bulverde Dr. (Protest)

Russell Doughty, 304 Maybury (Protest)

Callie Zingali, 224 Bulverde Dr. (Protest)

Commission Discussion

Commissioner Kindel wanted to clarify the distance from the property line to the nearest building. Mr. Joyce responded that it is 75 feet to the nearest building from the rear property line.

Commissioner Kindel asked where the lights and cameras would be aimed and located. Mr. Joyce responded that all the lights are attached to the buildings and shielded downward. Mr. Stambeck explained that all cameras are aimed at the lots' interior, not facing towards the outer fences or nearby properties.

Commissioner Brewer asked when this item is intended to go to City Council. Jane Hudson, Planning & Community Development Director, stated that items go the following month but the applicant controls their item and have the ability to be fast tracked.

Motion by Commissioner McClure to recommend approval of Resolution R-2425-91, Ordinance O-2425-26, and PP-2425-8; **Second** by Commissioner Brewer.

The motion passed unanimously with a vote of 6-0, 1 recusal.

North Norman Village Rezoning, NORMAN 2025 Amendment , and Preliminary Plat

9. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF RESOLUTION R-2425-92: A RESOLUTION OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING THE NORMAN 2025 LAND USE AND TRANSPORTATION PLAN SO AS TO REMOVE PART OF NORTHWEST QUARTER (NW/4) OF SECTION TWO (2), TOWNSHIP NINE NORTH (T9N), RANGE THREE WEST (R3W) OF THE INDIAN MERIDIAN (I.M.), CLEVELAND COUNTY, OKLAHOMA, FROM THE MIXED USE DESIGNATION AND PARKLAND DESIGNATION AND PLACE THE SAME IN THE MIXED USE DESIGNATION, FROM FUTURE URBAN SERVICE AREA TO CURRENT URBAN SERVICE AREA, AND REMOVAL FROM SPECIAL PLANNING AREA 4. (NEAR THE SOUTHWEST CORNER OF THE I-35 AND WEST INDIAN HILLS ROAD INTERSECTION)

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. 2025 Land Use Map
- 3. Pre-Development Summary
- 10. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT ORDINANCE O-2425-27: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE THE NORTHWEST QUARTER (NW/4) OF SECTION TWO (2), TOWNSHIP NINE NORTH (T9N), RANGE THREE WEST (R3W), OF THE INDIAN MERIDIAN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE A-2, RURAL AGRICULTURAL DISTRICT, AND PLACE SAME IN THE PUD, PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (NEAR THE SOUTHWEST CORNER OF THE I-35 AND WEST INDIAN HILLS ROAD INTERSECTION)

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map
- 3. PUD Narrative
- 4. Preliminary Plat
- 5. Preliminary Site Plan
- 6. Greenspace Plan
- 11. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF PP-2425-9: CONSIDERATION OF A PRELIMINARY PLAT SUBMITTED BY APEX PROPERTIES, LLC (SMC CONSULTING ENGINEER) FOR NORTH NORMAN VILLAGE, A PLANNED UNIT DEVELOPMENT, FOR 130.76 ACRES OF PROPERTY GENERALLY LOCATED NEAR THE SOUTHWEST CORNER OF THE I-35 AND WEST INDIAN HILLS ROAD INTERSECTION.

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map

- 3. Preliminary Plat
- 4. Development Review Form
- 5. Traffic Letter

Staff Presentation

Justin Fish, Planner I, presented the staff report.

Application Presentation

Sean Rieger, Representative of Applicant, and Richard McKown, Applicant, discussed the proposed PUD, Planned Unit Development.

Commissioner Bird explained that she would be in favor of the 2-foot setback in the rear facing, alley access parking properties.

Public Comment

There were no public comments.

Commission Discussion

Commissioner Kindel explained that she really liked the innovation and greenspace of this development. She also expressed that this is the right place for mixed use.

Motion by Commissioner Brewer recommend approval Resolution R-2425-92, Ordinance O-2425-27, and PP-2425-9; **Second** by Commissioner Kindel.

Commissioner Bird asked if the Commission wanted to make a condition to the comments brought up for the 2-foot setback for rear facing, alley access parking. Commissioners agreed.

Motion by Commissioner Brewer to amend the previous motion to include the inclusion of the 2 foot setback in areas with alley access parking; **Second** by Commissioner Kindel.

Ms. Hudson clarified that the applicant will need to show that change on the Preliminary Plat before going to City Council.

The motion passed unanimously with a vote of 6-0, 1 recusal.

Life.Church Norman Rezoning and NORMAN 2025 Amendment

12. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF RESOLUTION R-2425-93: A RESOLUTION OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING THE NORMAN 2025 LAND USE AND TRANSPORTATION PLAN SO AS TO REMOVE LOT 2C, BLOCK 1, SOUTH CLASSEN ADDITION OF THE INDIAN MERIDIAN (I.M.), CLEVELAND COUNTY, OKLAHOMA, FROM THE COMMERCIAL DESIGNATION AND PLACE THE SAME IN THE INSTITUTIONAL DESIGNATION. (2919 CLASSEN BLVD.)

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. 2025 Land Use Map
- 3. Pre-Development Summary
- 13. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-28: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE THE LOT 1, BLOCK 1, LIFE.CHURCH NORMAN AND LOT 2C, BLOCK 1, SOUTH CLASSEN ADDITION OF THE INDIAN MERIDIAN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE C-2, GENERAL COMMERCIAL DISTRICT, AND PUD, PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE PUD, PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (2919 CLASSEN BLVD. AND 1500 E. IMHOFF RD.)

ITEMS SUBMITTED FOR THE RECORD

- 1. Staff Report
- 2. Location Map
- 3. PUD Narrative
- 4. PUD Site Plan
- 5. Open Space Plan

Staff Presentation

Destiny Andrews, Planner II, presented the staff report

Applicant Presentation

Colton Wayman, Representative of Applicant, presented on the proposed item.

Mr. Wayman clarified that this application is strictly for the addition of a driveway off Classen Blvd.

Public Comment

Helen Todd, 1600 E. Imhoff Rd (Support)

Lora Hoggatt, Planning Services Manager, announced that the AIM Norman Steering

MISCELLANEOUS COMMENTS OF PLANNING COMMISSION AND STAFF

Motion by Commissioner Kindel to recommend approval of Resolution R-2425-93 a

ADJOURNMENT

The meeting was adjourned at 7:40 p.m.

Passed and approved this _____ day of _____ 2025.

Ordinance O-2425-28; **Second** by Commissioner McDaniel

The motion passed unanimously with a vote of 7-0.

Planning Commission Officer

File Attachments for Item:

2. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-22: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOT ONE (1), IN BLOCK TWO (2), OF EAST LINDSEY PLAZA SECTION 5, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE SPUD, SIMPLE PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE SPUD, SIMPLE PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (1451 12TH AVENUE SOUTHWEST)



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 04/10/2025

- **REQUESTER:** Tinker Federal Credit Union
- **PRESENTER:** Justin Fish, Planner I
- ITEM TITLE: CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-22: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOT ONE (1), IN BLOCK TWO (2), OF EAST LINDSEY PLAZA SECTION 5, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE SPUD, SIMPLE PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE SPUD, SIMPLE PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (1451 12TH AVENUE SOUTHWEST)

APPLICANT/REPRESENTATIVE	Tinker Federal Credit Union
LOCATION	1451 12th Avenue SE
WARD	1
CORE AREA	No
REQUESTED ACTION	Rezoning to SPUD to allow for the development of a second parcel
LAND USE PLAN DESIGNATION	Commercial
GROWTH AREA DESIGNATION	Current Urban Service Area

BACKGROUND: The subject property's current SPUD, Simple Planned Unit Development, Ordinance O-1920-11, was approved in 2019. The existing SPUD included one building to be used as a Tinker Federal Credit Union with an accompanying parking lot. The remainder of the lot was left vacant. The applicant is requesting an amendment to the SPUD to accommodate the proposed changes to the subject lot, site plan, and uses. A Short Form Plat request will follow the zoning request, should it be approved by Council. The proposed changes will divide the three acre subject property into two lots. The second lot contains a parking lot and location for a proposed building. The original lot will remain the same with the exception of gaining access to a proposed circle driveway on Lot 2. These changes are reflected on the accompanying Site Development Plan. Since the January 9, 2025, Planning Commission, the applicant has learned more information about the anticipated tenant for the proposed building on the second Lot of the subject parcel. Based on this information an addition to the allowable uses of the SPUD was required.

PROCEDURAL REQUIREMENTS:

GREENBELT MEETING: This property is already platted, therefore Greenbelt is not a requirement for this request.

PRE-DEVELOPMENT: A Pre-Development meeting is not required for this application.

BOARD OF PARKS COMMISSIONERS: This project does not require a Board of Parks Commissioners request.

ZONING ORDINANCE CITATION:

Section 36-510 SPUD, SIMPLE PLANNED UNIT DEVELOPMENTS

1. General Description. The Simple Planned Unit Development referred to as SPUD, is a special zoning district that provides an alternate approach to the conventional land use controls and to a PUD, Planned Unit Development to maximize the unique physical features of a particular site and produce unique, creative, progressive, or quality land developments.

The SPUD may be used for particular tracts or parcels of land that are to be developed, according to a SPUD Narrative and a Development Plan Map and contains less than five (5) acres.

The SPUD is subject to review procedures by Planning Commission and adoption by City Council.

2. Statement of Purpose. It is the intent of this section to encourage developments with a superior built environment brought about through unified development and to provide for the application of design ingenuity in such developments while protecting existing and future surrounding areas in achieving the goals of comprehensive plan of record. In addition the SPUD provides for the following:

Encourage efficient, innovative use of land in the placement and/or clustering of buildings in a development and protect the health, safety and welfare of the community.

Contribute to the revitalization and/or redevelopment of areas where decline of any type has occurred. Promote infill development that is compatible and harmonious with adjacent uses and would otherwise not be an area that could physically be redeveloped under conventional zoning.

Maintain consistency with the City's Zoning Ordinance, and other applicable plans, policies, standards and regulations on record.

Approval of a zone change to a SPUD adopts the Master Plan prepared by the applicant and reviewed as a part of the application. The SPUD establishes new and specific requirements for the amount and type of land use, residential densities, if appropriate, development regulations and location of specific elements of the development, such as open space and screening.

STAFF ANALYSIS:

USE: The allowable uses for this SPUD are included in the SPUD Narrative under Section II Development Plan and Design Concept. The uses are generally commercial in nature. The allowable uses have been updated to include the use of an indoor athletic facility.

SITE PLAN/ACCESS: The proposed Site Development Plan shows existing access points off of U.S. Highway 77 (12th Ave. SE) and Commerce Dr. The new access point off of Eastgate Dr. will be used to access the proposed parking lot for Lot 2. There is one proposed building on Lot 2.

PARKING: The SPUD Narrative states that parking on site will comply with the City of Norman's applicable parking ordinances, as amended from time to time.

LANDSCAPING: The project area will feature 5' landscape buffer along Eastgate Dr. and a 20' Landscape Buffer along the south east boundary of the property. There will also be interior 5' landscape buffer running north to south adjacent to the proposed lot line. The southeast buffer will create separation between the subject lot and the abutting residential use. All other landscaping will be installed in accordance with the City of Norman landscaping regulations as amended from time to time, under Zoning Ordinance Section 36-551, Landscaping Requirements for Off-Street Parking Facilities.

SIGNAGE: All signage will be constructed in accordance with the City of Norman sign regulations, as amended from time to time, under City of Norman Code Section 28-505, Commercial Zone Sign Standards. A master sign plan was not provided to city staff because the applicant does not know what sign choices the future tenant will make. However as stated above, the choice of sign will be compliant with Commercial Zone Sign Standards.

LIGHTING: All lighting will be constructed in accordance with the City of Norman lighting regulations, as amended from time to time, under Zoning Ordinance Section 36-549, Commercial Outdoor Lighting Standards.

SANITATION/UTILITIES: Solid waste container enclosure will be provided in accordance with the City of Norman standards. Any necessary approvals from the City of Norman Sanitation Department will be obtained.

HEIGHT: No building shall exceed two and one-half (2-1/2) stories or thirty-five (35) feet in height.

FENCING/WALLS: All screening will be constructed in accordance with the City of Norman screening regulations, as amended from time to time, and as applicable to the Commercial Districts under Zoning Ordinance Section 36-552, Fencing, Walls, and Screening.

OPEN SPACE: The subject property will have open space in accordance with the Site Development Plan or a maximum percentage of 15%.

EXTERIOR MATERIALS: The SPUD Narrative outlines the following for exterior materials:

- Masonry wainscoting up to 36 inches.
- EIFS from 36 inches above grade to top of exterior walls.
- Glass windows at 10 feet above finish floor for 10% of the exterior.
- Wood lodge type lumber for trim around windows and exterior doors.
- Structure shall meet the 80% masonry requirements, in accordance with the City of Norman Ordinance Section 36-547, Exterior Appearance.

EXISTING ZONING: The property is currently zoned SPUD, Simple Planned Unit Development. The SPUD zoning was granted from Ordinance O-1920-11. The current SPUD allows for similar commercial uses but only on one lot.

ALTERNATIVES/ISSUES:

IMPACTS: No negative impacts are anticipated from this proposed development. The area is already commercially developed and appropriate screening between commercial and residential development will be required.

OTHER AGENCY COMMENTS:

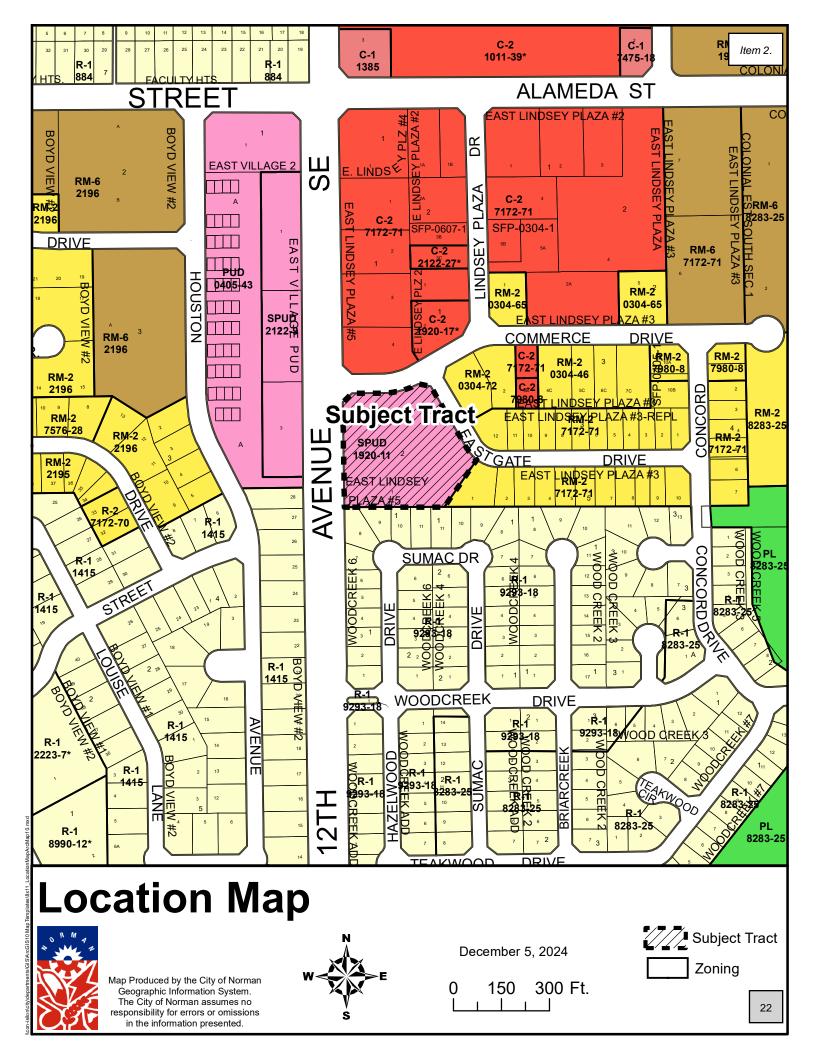
FIRE DEPARTMENT AND BUILDING PERMIT REVIEW: Items regarding fire hydrants, fire and building codes will be considered at the building permit stage.

PUBLIC WORKS/ENGINEERING: A Short Form Plat will be required after the approval of the zoning in order to create two lots.

TRANSPORATION ENGINEER: No traffic issues or impacts are anticipated.

UTILITIES: The following are comments regarding sewer: the north lot will require private service to be utilized, the recorded easement for the private service must be provided to the City. Lastly, the recorded long private sewer service agreement must be provided to the City. For sanitation, the dumpster location for the south lot must show turning movements for the City trash trucks.

<u>CONCLUSION</u>: Staff forwards this request of a SPUD, Simple Planned Unit Development, and Ordinance O-2425-22 to the Planning Commission for consideration and recommendation to City Council.





Tinker Federal Credit Union SPUD

Norman, OK

Simple Planned Unit Development SPUD Narrative

Current Owner: Tinker Federal Credit Union

Simple Planned Unit Development Application for Rezoning February 21, 2025

> Prepared by: Todd D'Amico, PLS



3550 W. Robinson Street, 3rd Floor, Norman, OK 73072 (888) 322-7371 - cds.solutions@firstam.com

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INTRODUCTION

Tinker Federal Credit Union (the "Property") is proposed as a Simple Planned Unit Development (SPUD) in the City of Norman. The Property is generally located at 1451 12th Avenue S.E., Norman, Oklahoma.

The intent of this SPUD is 1) to approve the proposed development of a Tinker Federal Credit Union bank branch and 2) to limit the permitted uses on site in order to prevent a negative impact on the adjacent residential properties. This SPUD Narrative will put forth the requirements of the SPUD district adopted herewith for this Property.

I. <u>Property Description/General Site Conditions</u>

A. Location

The Property is located on the east side of 12th Avenue SE/Highway 77 and is bounded by Commerce Drive along the north lot line and Eastgate Drive along the northeast lot line.

B. Existing Land Use/Zoning

The Property is currently partially improved with a Credit Union and contains approximately 1.55 acres of vacant land. The property is currently under the original SPUD granted as 1920-11.

C. Elevation and Topography

The site has very little slope and the property is partially improved at this time. No part of the Property lies within any flood plain or WQPZ.

D. Drainage

TFCU plans to design and develop the site in accordance with the City of Norman Drainage Regulations. Existing underground storm water system was designed to include this site.

E. Utility Services

The Property is fully served by all necessary utilities.

F. Fire Protection Services

Fire Protection services will be provided by the City of Norman Fire Department and as otherwise required by code.



G. Traffic Circulation/Access

Traffic circulation and access points will be to the City of Norman standards. Access points are as shown on the Site Development Plan attached as "Exhibit A."

II. Development Plan and Design Concept

The Property is planned to accommodate Commercial/Office uses as designated in this SPUD Narrative.

A. Commercial/Office Development

1. Uses and Design

The purpose for the SPUD is to allow for Commercial/Office Development under the following development regulations:

Uses: The allowable uses for the site are as listed below:

- Art gallery
- Assembly halls of non-profit corporations
- Laboratories for research and testing where all work is housed in buildings and no smoke, noise, odor, dust or other element of operation is more intense outside the confines of the building than that which normally prevails in an R-3, Multi-family Dwelling District
- Libraries
- Museums
- Music conservatories
- Office buildings and offices for such professional services as accountant, architect, attorney, business or management consultant, court reporter, dentist or dental surgeon, engineer, geologist or geophysicist, linguist, landscape



architect, optometrist, optician, osteopathic physician, planning consultant, psychologist, physician or surgeon, or registered nurse; provided, however, that no retail sales nor stock of goods shall be permitted other than the incidental sale of merchandise within the above professional offices or a pharmacy which may be located only in a building providing space for medical offices. Funeral homes and mortuaries shall not be considered professional services permitted in this district.

- Public and private schools and college with students in residence and dormitories associated therewith
- Trade schools and schools for vocational training
- Churches
- Child Care Center, as specified in Section 36-566, Childcare Establishments

The following uses shall be permitted provided that no individual use shall exceed a Gross Floor Area of 35,000 sq. ft. and that no outdoor storage or display of materials or goods is permitted:

- o Antique shop
- o Appliance store
- Artistic materials supply, or studio
- o Automobile supply store
- o Baby shop
- o Bakery goods store
- o Bank/Credit Union
- \circ Barber shop or beauty parlor
- o Book or stationary store
- Camera shop
- Candy store
- o Catering establishment
- o Child care establishment
- Clothing or apparel store
- Dairy products or ice cream store
- o Delicatessen store
- o Dress shop
- Drug store or fountain
- Dry cleaning and laundry plant with no more than three (3) dry cleaning machines and/or laundry pick-up station



- Dry goods store
- Fabric or notion store
- o Florist
- Furniture store
- o Gift shop
- Hardware store
- $\circ \quad \text{Interior decorating store} \\$
- Indoor Athletic Facility
- Jewelry shop
- o Key shop
- Leather goods shop
- Messenger or telegraph service
- Office business
- \circ $\,$ $\,$ Painting and decorating shop $\,$
- Pet shop
- o Pharmacy
- Photographer's studio
- Radio and television sales and service
- o Self-service laundry
- Sewing machine sales
- o Sporting goods sales
- \circ $\;$ Shoe store or repair shop
- o Tailor shop
- o Toy store
- (a) Area Regulations
 - Front Yard: A twenty-five (25) foot setback is required for all buildings. Across the entire front of all lots (and the street side of any corner lot) in plats filed after November 7, 2005 a minimum ten (10) foot landscape strip shall be installed, which may not be encroached upon by parking. One eight (8) foot tall shade (canopy) tree per each twenty (20) feet of lot frontage and one (1) three (3)-gallon shrub per five (5) feet of building frontage shall be installed within this landscape strip. Clustering of these required plantings may be allowed, if approved by the City Forester or his designee. Such planting should be covered by the three (3) year maintenance bond required when new landscaping is installed with the parking lot on the same tract. All species are to be approved by the City Forester.



- Side Yard: (1) For uses other than dwelling, no side yard shall be required except on the side of a lot adjoining a dwelling district in which case there shall be a side yard of not less than five (5) feet. (2) Whenever the rear lot line of a corner lot of a local business district abuts a dwelling district, the side yard setback adjacent to the street shall be fifteen (15) feet.
- Rear Yard: Rear yard shall not be required for retail establishments; except where a rear lot line abuts upon a dwelling district and the commercial building is designed to be serviced from the rear, there shall be provided a rear yard of not less than thirty (30) feet for lots without alleys and twenty (20) feet for lots with alleys; and further provided that in no case where the rear lot lines abut a dwelling district shall the commercial building be erected closer than three (3) feet to the rear lot line.
- (b) Height Regulations
 - No building shall exceed two and one-half (2-1/2) stories or thirtyfive (35) feet in height.
- 2. Parking

Parking on the site will comply with the City of Norman's applicable parking recommendations, as amended from time to time.

3. Solid Waste Container Enclosures

Solid Waste Container Enclosure will be provided in accordance with the City of Norman standards. Any necessary approvals from the City of Norman Sanitation Department will be obtained.

B. Miscellaneous Development Criteria

1. Site Plan

See TFCU Site Development Plan attached as "Exhibit A."

2. Open Space

The subject property will have open space in accordance with the Site Development plan or a maximum percentage of 15%.



3. Signage

All signage will be constructed in accordance with the City of Norman sign regulations, as amended from time to time, under City of Norman Code Section 28-505, Commercial Zone Sign Standards.

4. Lighting

All lighting will be constructed in accordance with the City of Norman lighting regulations, as amended from time to time, under Zoning Ordinance Section 36-549, Commercial Outdoor Lighting Standards.

5. Landscaping

As shown on Exhibit "A", the project area will feature 5' landscape buffer along Eastgate Dr. and a 20' Landscape Buffer along the south east boundary of the property. There will also be interior 5' landscape buffer running north to south. The southeast buffer will create separation between the subject lot and the abutting residential use. All other landscaping will be installed in accordance with the City of Norman landscaping regulations as amended from time to time, under Zoning Ordinance Section 36-551, Landscaping Requirements for Off-Street Parking Facilities.

6. Screening

All screening will be constructed in accordance with the City of Norman screening regulations, as amended from time to time, under Zoning Ordinance Section 36-552, Fencing, Walls, and Screening.

7. Traffic Access, Circulation, Parking, and Sidewalks

Traffic access, circulation, parking, and sidewalks will be provided in accordance with the City of Norman regulations, as amended from time to time.

8. Exterior Materials

Masonry wainscoting up to 36 inches. EIFS from 36 inches above grade to top of exterior walls. Glass windows at 10 feet above finish floor for 10% of the exterior. Wood lodge type lumber for trim around windows and exterior doors. Structure shall meet the 80% masonry requirements, in accordance with the City of Norman Ordinance Section 36-547, Exterior Appearance.

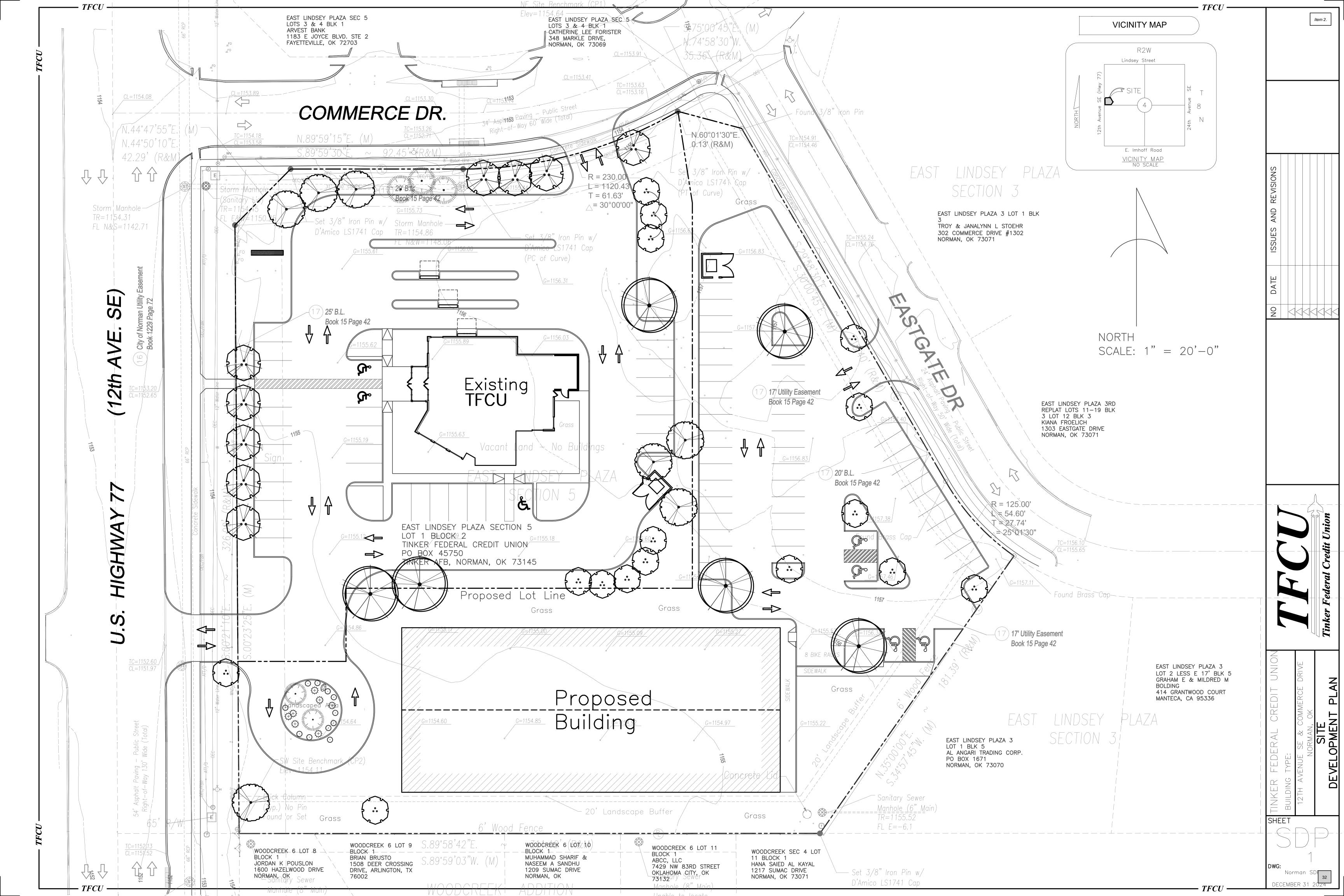


<u>EXHIBIT A</u>

Site Development Plan

Full Size Documents Submitted to City Staff





File Attachments for Item:

<u>3. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-33</u>: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF CHAPTER 36 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOTS 10-11, BLOCK 72 OF NORMAN OLD TOWN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (223 W MAIN ST)



CITY OF NORMAN, OK STAFF REPORT

- **MEETING DATE:** 04/10/2025
- **REQUESTER:** GBDENTAL HOLDINGS, LLC
- PRESENTER: Anais Starr, Planner II
- ITEM TITLE: CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-33: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF CHAPTER 36 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOTS 10-11, BLOCK 72 OF NORMAN OLD TOWN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (223 W MAIN ST)

APPLICANT/REPRESENTATIVE	GBDENTAL HOLDINGS, LLC/Rieger Sadler Joyce LLC
LOCATION	223 W Main Street
WARD	4
CORE AREA	Yes
REQUESTED ACTION	Rezoning to a new Center City Planned Unit Development
LAND USE PLAN DESIGNATION	Commercial
GROWTH AREA DESIGNATION	Current Urban Service Area

BACKGROUND: The applicant requests a new Center City Planned Unit Development (CCPUD) for two lots located at 223 W Main Street to allow the development of a mixed-use building, as outlined in Appendix B of the Center City Form-Based Code (CCFBC).

The proposal for this site is to construct a 4,000 square feet, two-story, mixed-use commercial and residential building, as illustrated in Exhibit B, Site Development Plan. The CCPUD proposes retail sales and services/professional services on the ground floor in the front twenty

34

feet (20') of the building with three residential dwelling units in the rear. In addition to the three (3) residential dwelling units on the first floor, the proposal includes five (5) residential units on the second floor. The proposed residential units will be one and two bedrooms. The current CCFBC exempts property zoned C-3, Intensive Commercial District, at the time of adoption of the CCFBC, from parking requirements. However, with this CCPUD, the applicant proposes eight (8) angled parking spaces located off the alleyway, behind the required Parking Setback Line. There is existing angled public parking in front of the building along Main Street. At grade open space will be provided as indicated on Exhibit B, Site Development Plan.

The proposed two-story structure will comply with the existing Required Build Line along the front property line. The Parking Setback Line will remain as shown on the CCFBC Regulating Plan.

PROCEDURAL REQUIREMENTS:

PRE-DEVELOPMENT: A Pre-Development meeting is not required for this application.

BOARD OF PARKS COMMISSIONERS: Parkland dedication is not required for this application.

ZONING ORDINANCE CITATION:

APPENDIX B, SEC. 520 CENTER CITY PLANNED UNIT DEVELOPMENT - CCPUD

A. Statement of Purpose: It is the intent of this section to provide an alternative zoning district for the Center City Area as defined in the Center City Form-Based Code (CCFBC). This Center City Planned Unit Development District (CCPUD) is specifically catering to the Center City Area because of the size of lots, the lack of vacant land and other distinguishing characteristics in this area that make the use of the existing PUD regulations not feasible. The CCPUD encourages developments that create the character of development envisioned in the CCFBC.

Specifically, the purposes of this section are to:

1. Provide an alternative zoning district to the CCFBC where a property owner proposes a development that does not meet the strict regulations required in the CCFBC.

2. Provide open space/street space that is compatible with the concepts of the CCFBC.

3. Provide comprehensive and innovative planning and design for a development which is consistent and compatible with surrounding developments.

4. Provide more efficient and economic use of land resulting in an urban/ pedestrian environment.

5. Provide complete and useful information which will enable the Planning Commission and City Council to make more informed decisions on land use.

6. Encourage developments that achieve community goals, such as, but not limited to, aging in place, or affordable housing, or other emerging trends in housing, that may not be able to meet all the required elements of the Center City Form Based Code.

STAFF ANALYSIS: The applicant requests a new CCPUD for this site to construct a mixed-use building on two lots addressed as 223 W Main Street. The applicant will comply with most of the CCFBC requirements. However, due to the desired design of the structure and its

location in the urbanized Downtown, the applicant is requesting the following modifications to the CCFBC, as follows:

- 1. Allow the use of signage as shown on Exhibit D, Elevations Section of the CCPUD, including the additional wall on the west side of the structure and the allowance of a front façade awning sign.
- 2. Allow exemption from required Landscaping and Open Space, preserving the streetscape found on Main Street.
- 3. Requesting a twelve feet (12') Clear Height for the commercial portion of the Ground Story, a reduction from the CCFBC required fifteen feet (15') Clear Height.
- 4. Allow uses as listed in Exhibit C, Allowable Uses. This also allows Commercial Uses not typically allowed on the Ground Story of Urban Storefront: Restaurant, Bar, Lounge, or Tavern, Event Space, and Vehicle Sales.
- 5. Reduce the fenestration requirement for the Ground Story to 40% from the required minimum of 50%.

USE: Commercial, civic and residential uses are allowed for the rear portion of the first floor and the second floor. Retail sales and service and professional services will be permitted in the front twenty feet (20') of the building as required by the CCFBC Urban Storefront Frontage.

PARKING: Under the CCFBC, property that was zoned C-3, Intensive Commercial District at the time of adoption of the CCFBC, does not have to meet CCFBC parking requirements. However, the applicant plans to provide eight (8) parking spaces behind the building, off the alleyway, in compliance with the Parking Setback Line. Existing public art bike racks exist along Main Street and therefore, the applicant will not supply any additional bike racks.

LANDSCAPING: This site was previously developed under a CCPUD and utilized as an entertainment open space for that CCPUD. Due to its location in Norman's central business district, this CCPUD Narrative calls for an exemption to the Open Space and Landscaping requirements, as indicated in Exhibit B, Site Development Plan. Street trees exist as a result of the City's Streetscape project and meet the street tree requirements of the CCFBC. No further street trees are required.

SIGNAGE: The CCPUD states signage shall comply with 402. General Provisions, Section M of the CCFBC, except for the allowances proposed for the placement of a wall plaque on the west side of the building and an awning sign on the first floor façade, as illustrated in Exhibit D, Elevations section of the CCPUD.

LIGHTING: The project shall comply with 402. General Provisions, Section N. Lighting & Mechanical of the CCFBC.

SANITATION/UTILITIES: The applicant will share a dumpster with neighboring account holders to service the property's sanitation needs.

FENCING/WALLS: Since the proposed structure will occupy the entire Required Building Line, there is no requirement for a Street Wall. The CCPUD Development Site Plan does not propose any other fencing or walls on the property.

PARKS: Andrews Park, located at 201 W Daws Street, is approximately two blocks north of the Property.

ALTERNATIVES/ISSUES:

IMPACTS: The proposed development will not have open space or landscaping at grade, as seen with much of the urbanized downtown area. Since the building is required to be set at the property line, there is no opportunity for landscaping in the front, which is typical for the buildings along Main Street. The lack of open space and landscaping at grade on the property will not impact this development or the surrounding district.

The proposed structure meets the stated goal of the CCFBC District by creating a pedestrianoriented mixed-use building. The addition of ground-floor retail space and professional services will complement the existing uses found in Downtown Norman, while the addition of residential units promotes the stated goals of the CCFBC by expanding housing opportunities.

The request to lower the Clear Height from fifteen feet (15') to ten feet (10') is driven by construction materials and will match the Ground Story Clear Height of the existing structure located to the west at 227 W Main Street.

As noted in the above Parking section, under the current Code, the site does not require parking spaces. However, the development proposes eight (8) parking spaces off the alleyway, which will help minimize any impact to parking on Main Street.

The signage requested proposes modifications from the 402 General Provisions, Section M. Signage. The CCPUD provides signage similar to that already found in Downtown Norman and will be suitable for the pedestrian-friendly streetscape.

As noted in the Staff Analysis portion of this report, the applicant requests to reduce the minimum required Ground Story fenestration from 50% to 40%. One of the stated CCFBC Purposes is to create a pedestrian-oriented development dependent upon three factors: density, diversity of uses, and design, with emphasis on design. In this case, Urban Storefront Frontage, the current designation on the CCFBC Regulating Plan in Downtown Norman, requires a minimum of 50% Ground Story fenestrations and allows up to 90% fenestration on the Ground Story, to create pedestrian-friendly retail spaces.

The proposed redevelopment for these lots meets the goal of the CCFBC to increase mixed-use redevelopment with housing opportunities. The proposed reduction in Ground Story fenestration by 10% is a minimal change and should not impact the pedestrian-friendly aspect of this building, the overall design meets many of the design elements found in the urban feel of Downtown while providing desired housing in the urban core.

OTHER AGENCY COMMENTS:

FIRE DEPARTMENT AND BUILDING PERMIT REVIEW: Additional information will be required to determine fire hydrant and fire lane requirements related to the proposed buildings. These items will be addressed during individual building permitting. For details, view the City of

Norman Ordinances and adopted 2018 ICC codes as amended by OUBCC, including IFC Appendices B, C, and D.

PUBLIC WORKS/ENGINEERING: The subject property is platted as part of Norman Old Town.

TRAFFIC ENGINEER: No traffic issues or impacts are anticipated. The proposed parking behind the building has a twelve foot (12') drive aisle, which is a narrow drive aisle width for vehicles to back out to the alleyway.

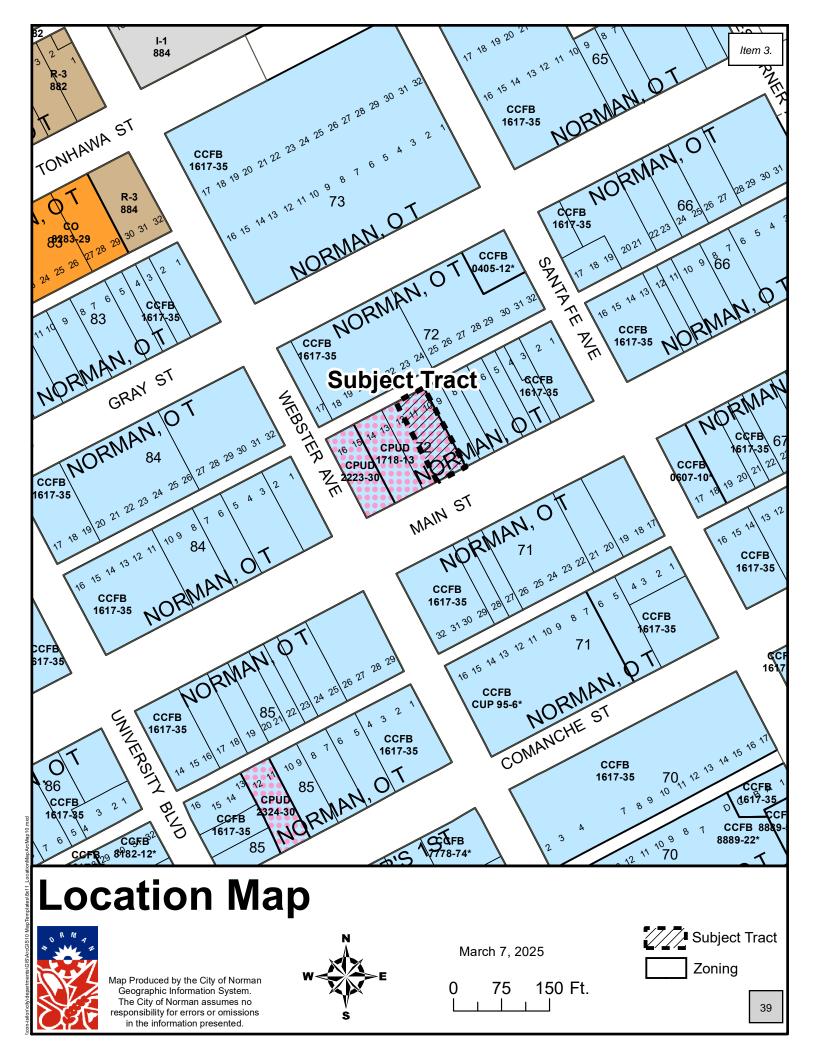
UTILITIES:

Water: Existing water services not proposed to be used must be abandoned at the main and existing material information must be provided to the Utilities Department.

Wastewater: Show proposed sewer service(s). Existing sewer service(s), if not to be reused, must be abandoned at the main at the time of building permit.

Sanitation: Solid waste service only. Recycling will only be available through the use of one of the regional recycling centers.

CONCLUSION: Staff forwards this request for a new Center City Planned Unit Development and Ordinance O-2425-33 to the Planning Commission for consideration and a recommendation to the City Council.



223 W. Main Street

A Center City Planned Unit Development

Applicants:

GBDENTAL HOLDINGS, LLC & Windstone Construction & Development, LLC

223 W. Main Street Norman, Oklahoma

> Application for: Center City Planned Unit Development Submitted March 3, 2025 Revised April 3, 2025

PREPARED BY:

RIEGER SADLER JOYCE LLC

136 Thompson Drive

Norman, Oklahoma 73069

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- B. Development Team

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- A. Permissible Uses
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EXHIBITS

- A. Legal Description of the Property
- B. Site Development Plan
- C. Allowable Uses
- D. Elevations

I. INTRODUCTION

A. **Background and Intent**. This Center City Planned Unit Development ("**CCPUD**") is proposed by GBDENTAL HOLDINGS, LLC and Windstone Construction & Development, LLC (collectively, the "**Applicant**") for the property located at 223 W. Main Street, Norman, Oklahoma, more particularly described on <u>Exhibit A</u> (the "**Property**"). The Property contains approximately 0.16 acres. This CCPUD is intended to put forth the parameters for which the Property shall be redeveloped.

A CCPUD is sought here in order to further the goals of the Norman Center City Visions Project and Plan ("Project Plan"). This proposal meets many of the stated goals of the Project Plan, including, but not limited to, utilizing private investment in Center City, capitalizing on the public investment in existing infrastructure around the Property, stabilizing and strengthening the mixeduse commercial district in the area, creating a pedestrian-oriented and multi-modal district, and creating additional housing options on the Property.

This proposed development features a two-story mixed-use building. The Property is planned to contain eight (8) residential dwelling units and one (1) commercial unit on the ground story. As required by CCFBC Urban Storefront, the first 20' of the proposed building will contain retail sales and service or professional services. Residential units are planned to be 1 to 2 bedroom units, but in no case will there be more than three bedrooms per residential unit. This CCPUD will allow for a cohesive development of mixed-uses and relaxed development and design criteria on the Property in furtherance of the stated goals of the Project Plan that could not otherwise occur under the applicable provisions of the Norman Center City Form-Based Code ("CCFBC").

B. **Development Team**. The Applicant is Windstone Construction & Development, LLC, who will be the developer of the project, as well as GBDENTAL HOLDINGS, LLC, who is the current owner of the property.

II. PROPERTY DESCRIPTION/GENERAL SITE CONDITIONS

- A. Location. The Property is situated on West Main Street between North Webster Avenue and North Santa Fe Avenue. The specific location is illustrated on the Site Development Plan, attached hereto as <u>Exhibit B</u>.
- B. **Existing Land Use and Zoning**. The Property is located within the Center City Form Based Code ("CCFBC") District. The Property is currently zoned under a Center City Planned Unit Development (O-1718-13). The Property is currently largely undeveloped and occupied by an outdoor restaurant.
- C. **Elevation and Topography.** The Property is essentially flat with little elevation change throughout the entirety of the development. The Property is covered with pavement and the existing structure with little to no pervious surface.
- D. **Drainage**. The Applicant will meet or exceed the City's applicable ordinances regarding drainage requirements on the Property.

- E. Utility Services. All necessary utilities for this project (including water, sewer, gas, telecommunications, and electric) are currently located within the necessary proximity to serve the Property, or they will be extended by the Applicant, as necessary.
- F. **Fire Protection Services**. Fire protection services will be provided by the City of Norman Fire Department and by the Owner of the Property where required by building and fire protection codes in the structures.
- G. **Traffic Circulation and Access**. The Property has no curb cut and the only access is from the alley to the north of the Property. No additional curb cut is proposed.

III. DEVELOPMENT PLAN AND DESIGN CONCEPT

The Property shall be developed in compliance with the terms of this CCPUD and the exhibits attached hereto and incorporated herein by reference, subject to the allowances contained in Section 520(F), Administration, of the CCFBC, and as thereafter amended.

A. Permissible Uses.

The Property will be allowed to contain a mix of residential and commercial uses. The ground story will be allowed commercial and civic uses on the first floor, with residential dwelling units permitted in the rear portion of the first floor and in the upper stories for the building to be constructed on the Property. A list of the allowable uses for the Property is attached hereto as **Exhibit C**. The allowable uses for any ground floor units facing Main Street will comply with Section 404(a) and Section 704(D)(1) of the CCFBC, which respectively limit allowable uses to retail sales or service, or professional service, as such uses are defined by the CCFBC, and as such definitions may be amended from time to time. The remaining rear units on the first floor may be residential dwelling units.

B. Development Criteria.

1. Siting. This CCPUD does not seek to modify the applicable Required Build Line established by the CCFBC. Similarly, this CCPUD seeks to incorporate the CCFBC allowance for a maximum of 2' offset from the RBL. The RBL as established by the CCFBC for this property is the property line as shown on the Site Development Plan. Where the façade of the building is placed within the 2' offset area, it is considered to be built to the RBL, just as is true under the CCFBC. Parking shall be as shown on the Site Development Plan. The building on the Property will be built to 100% of the RBL. No Street Wall is required on the Property.

- 2. Building Height. The initial development is expected to be a two (2) story building; however, there shall be no maximum number of stories. The required minimum ground story clearance height shall be ten (10) feet for the residential portions of the building at the rear of the Property. The commercial unit shall have a minimum ground story clearance height of twelve (12) feet for a minimum of twenty (20) feet behind the RBL. This is a modification from the minimum ground story clearance height of fifteen (15) feet required in CCFBC Urban Storefront Frontage. Upper stories clear height shall be a minimum of nine (9') feet.
- **3.** Unit Minimum and Bedroom Maximum. The Property shall contain a minimum of three residential dwelling units, with no maximum residential dwelling unit requirement. The initial layout for the building contemplates eight (8) residential dwelling units, with three (3) residential dwelling units on the ground floor and the remaining five (5) residential dwelling units on the second floor. The residential dwelling units are planned to be a mix of 1 and 2 bedroom units, but in no case will there be more than three bedrooms per residential dwelling unit
- 4. Elements. The Property shall be built in accordance with the terms of this CCPUD and the exhibits hereto. The Property shall comply with the applicable Elements requirements applicable to Urban Storefront Frontage, pursuant to Section 403 of the CCFBC, except that the minimum fenestration requirement on the ground story shall be forty (40%) percent. Minimum fenestration requirement for the upper story shall be twenty (20%) percent. Exterior materials shall comply with the requirements of Section 402 (J), Architectural Materials (exteriors), of the CCFBC. The building may contain awnings that encroach over the sidewalk along Main Street, to the extent permissible by the terms of the CCFBC and applicable city ordinances.
- **5. Sanitation**. It is the intent that trash dumpsters will be shared with nearby dumpster account holders. Sanitation services will be provided for Tenants of the Property. In the event that dumpster or trash service becomes required on the Property, the location of such shall conform to the applicable City of Norman Ordinances.
- 6. Signage. Signage for the Property shall comply with Section 402(N), Signage, of the CCFBC, as amended thereafter. Notwithstanding the foregoing, Tenant signage for the commercial unit and building identification signage may be allowed in similar size and location to those shown on the elevations depicted in **Exhibit D**, attached hereto.

- **7. Traffic access and sidewalks**. Access to the Property shall remain as shown on the Site Development Plan. Sidewalks are existing along Main Street. Any damage to existing sidewalks will be replaced prior to a certificate of occupancy.
- **8.** Lighting. The project shall comply with the requirements of CCFBC under 402. General Provisions; O. Lighting & Mechanical, as amended thereafter.
- **9. Open Space and Landscaping**. The existing Street Tree shall remain. Otherwise, there shall be no Open Space, bike racks, or landscaping required on the Property. This development will utilize the Main Street beautification project, which provided adequate bike racks and Street Trees for the area.
- **10. Parking**. As the property was C-3, Intensive Commercial District, at the time of the adoption of the CCFB Code, the Property is exempt from Center City Form Based Code minimum parking requirements. Parking will be provided at the rear of the property as shown on Exhibit B, Site Development Plan. Parking shall be provided in substantial compliance with the Site Development Plan.
- **11. Bedrooms**. The residential dwelling units shall have a maximum of three bedrooms per dwelling unit. Bedrooms shall meet the definition enumerated in the CCFBC, as amended from time to time.

C. CCFBC Standards:

The Property shall be developed in accordance with the terms of this CCPUD and the exhibits attached hereto and incorporated by reference. For convenience purposes, a summary of the CCPUD Standards are as follows:

- 1. The required minimum ground story clearance height shall be ten (10) feet for the residential portions of the building at the rear of the Property and a minimum of twelve (12) feet for the commercial unit for a minimum of the first 20' depth of the ground story. This is a modification from the CCFBC Urban Storefront requirement of a minimum ground story clearance height of fifteen (15) feet.
- 2. Exemption from Open Space and Landscaping requirements.
- Signage and awning allowances as substantially shown on the attached Site Development Plan and Elevations. This is a modification from the required two (2) foot setback from the common lot line for a wall plaque and an allowance for awning signs for the commercial unit.
- 4. Allow uses as listed in Exhibit C, Allowable Uses. This also allows Commercial Uses not typically allowed on the Ground Story of Urban Storefront Ground

Story including Restaurant, Bar, Lounge, or Tavern, Event Space, and Vehicle Sales.

5. Reduction from the minimum fenestration requirement for the ground story from fifty (50%) percent to forty (40%) percent, in accordance with the elevations attached hereto.

EXHIBIT A

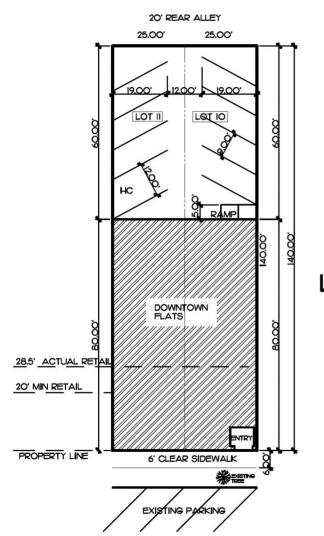
LEGAL DESCRIPTION OF THE PROPERTY

Lots Ten (10) and Eleven (11), in Block Seventy-Two (72) of ORIGINAL TOWN OF NORMAN, Cleveland County, Oklahoma, according to the recorded plat thereof.

EXHIBIT B

PRELIMINARY SITE DEVELOPMENT PLAN

Full Size Document Submitted to City Staff





LOT IO & II BLOCK 72 ORIGINAL NORMAN 223 W. MAIN STREET

WINDSTONE CONSTRUCTION

EXHIBIT C

ALLOWABLE USES

Residential - Rear of Ground Story and Upper Stories Only

- Multi-Family Residential Dwelling Units
- Apartments/Lofts
- Common Areas, Amenity Spaces

Commerce – All Stories, except that the allowable uses for any ground floor units facing Main Street will be limited to retail sales or service, or professional service, as such uses are defined by the CCFBC, and as such definitions may be amended from time to time.

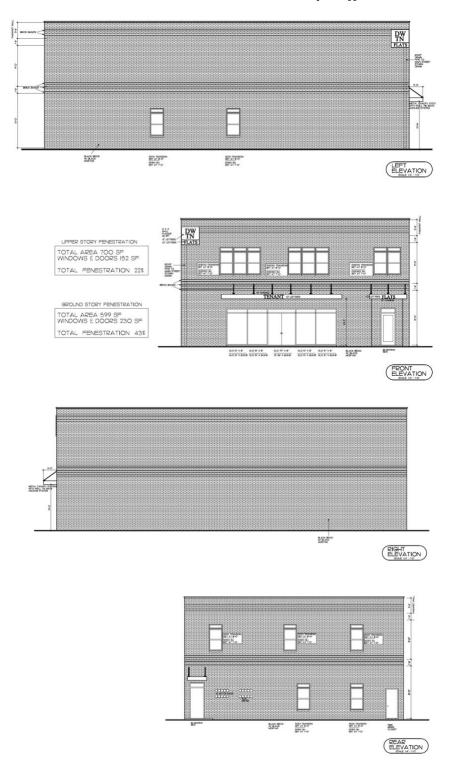
- Office
- Overnight Lodging
- Hotel & Lodging
- Retail Sales & Service
- Restaurant/Bar/Lounge/Tavern
 - Any Bar, Lounge, or Tavern shall be subject to the requirements of CCFBC Section 704.F.1-7.
- Art Studio/Artisanal Manufacturing
- Childcare establishment
- Event Space
- Medical Marijuana Dispensary, as allowed by state law
- Retail Sales and Services
- Vehicle Sales
- Recreation/Entertainment
- Short Term Rentals

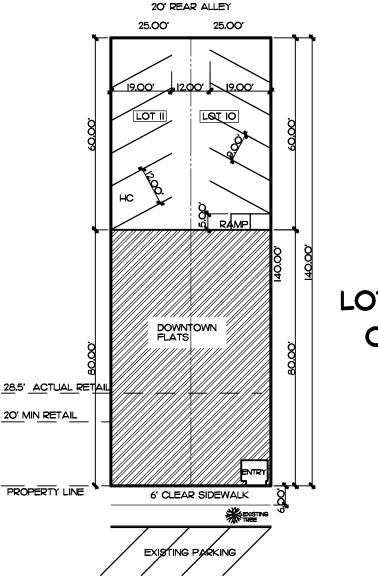
Civic – All Stories

- College, community college, university
- Museum, library, auditorium, arena
- Places of worship including church, mosque, synagogue, temple
- Police, fire, EMS station, substation
- Public or private (K-12) school
- Neighborhood arts center, Community Center or similar community facility (public)
- Farmers Market

EXHIBIT D

ELEVATIONS *Full Size Document Submitted to City Staff*







LOT IO & II BLOCK 72 ORIGINAL NORMAN 223 W. MAIN STREET

WINDSTONE CONSTRUCTION Item 3.

TOTAL AREA 599 SF WINDOWS & DOORS 230 SF TOTAL FENESTRATION 43%

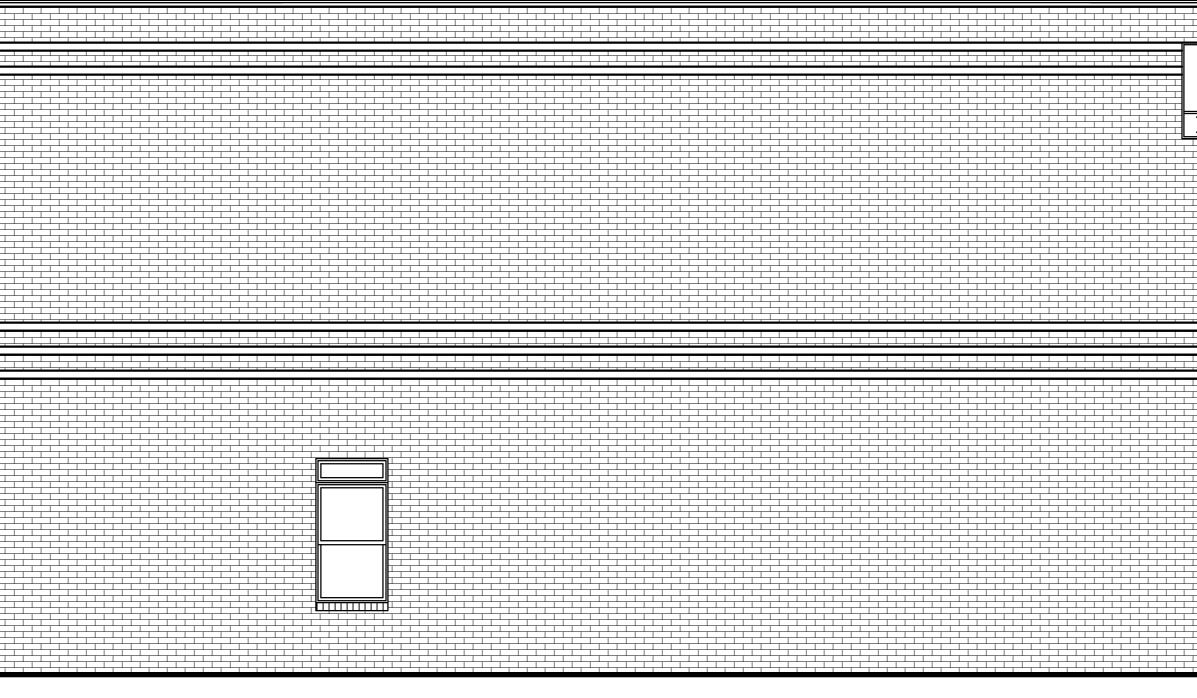
GROUND STORY FENESTRATION

TOTAL AREA 700 SF WINDOWS & DOORS 152 SF TOTAL FENESTRATION 22%

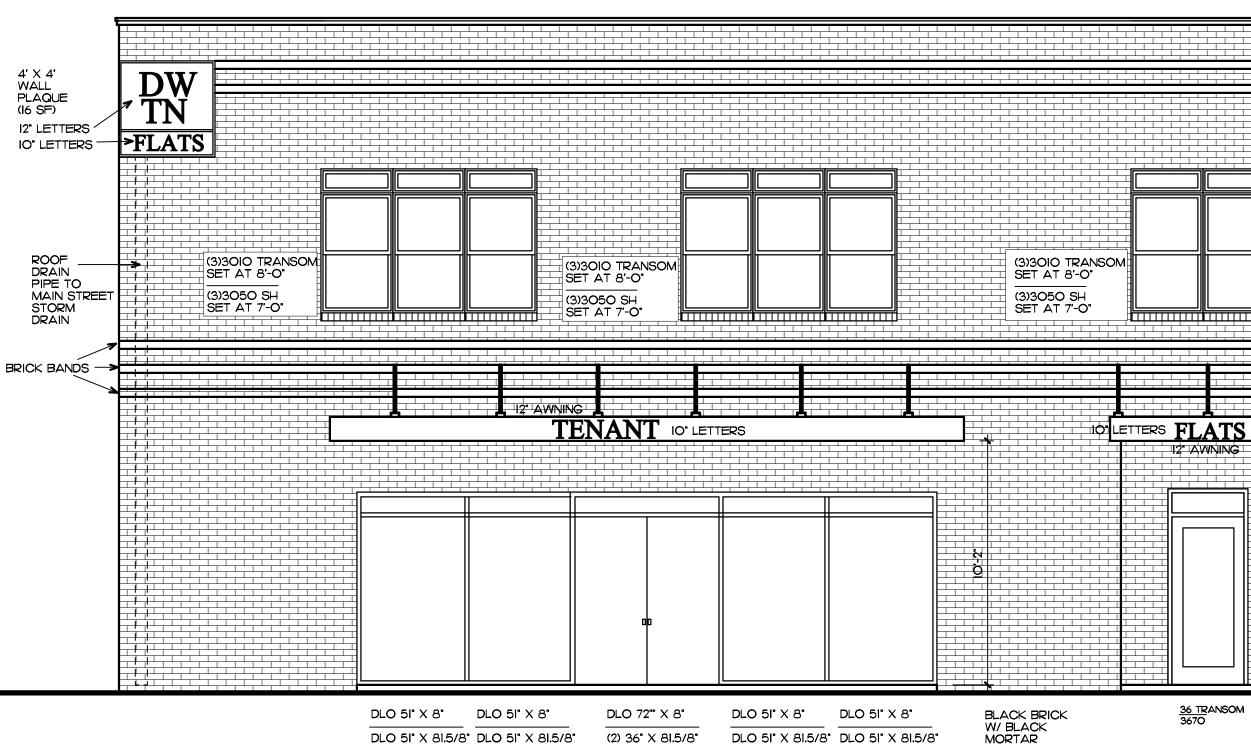
UPPER STORY FENESTRATION

3050 SH SET AT 7'-0"

BRICK BANDS = BRICK BANDS BLACK BRICK W/ BLACK MORTAR 3010 TRANSOM SET AT 8'-0'



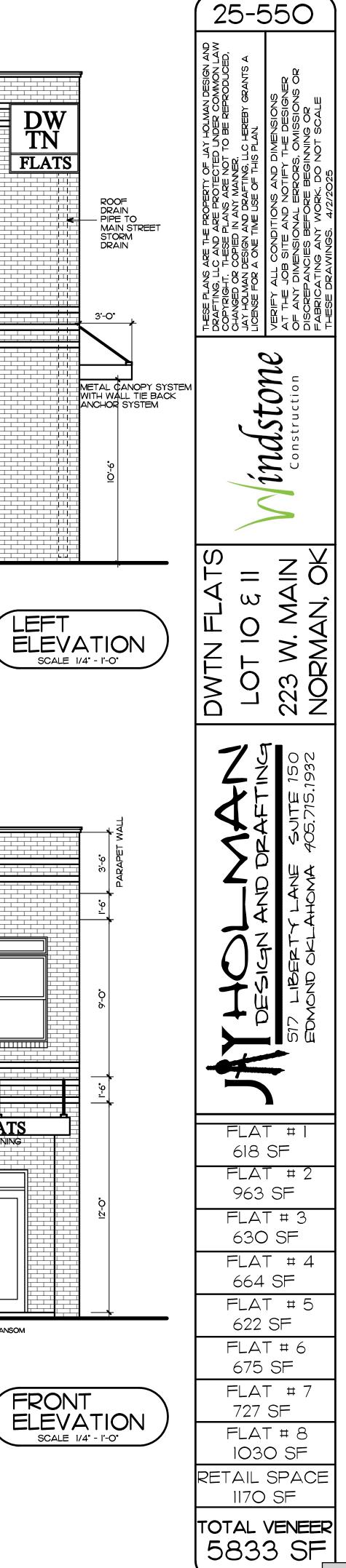
3010 TRANSOM SET AT 8'-0" 3050 SH SET AT 7'-0"

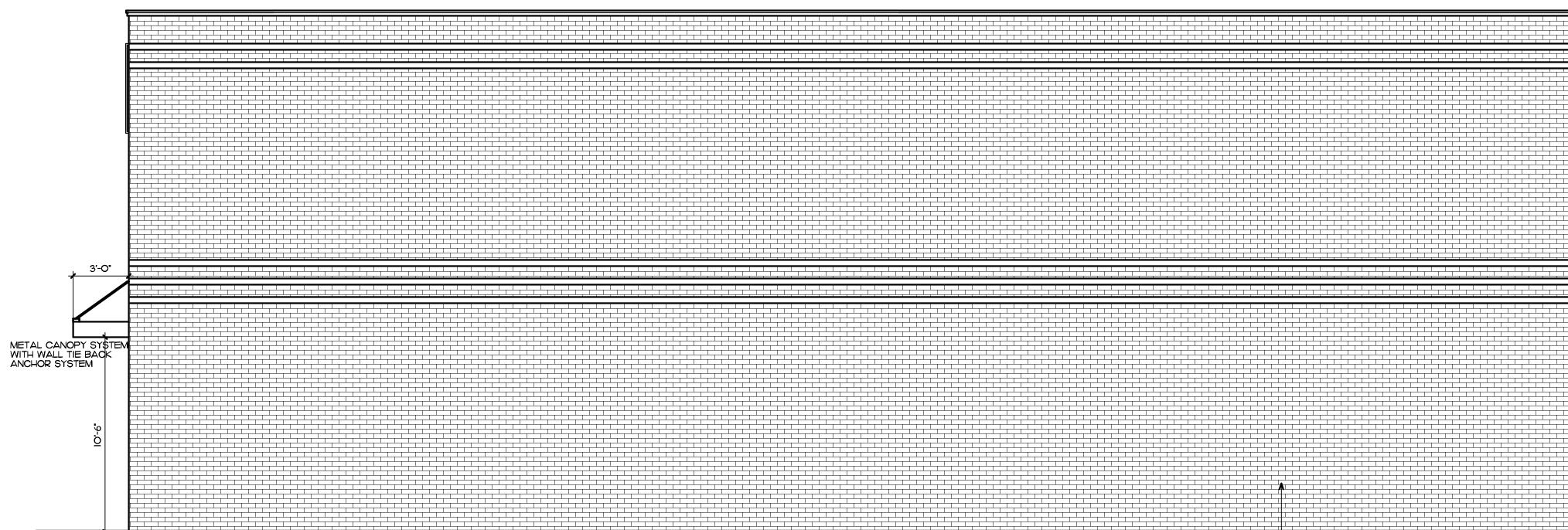


(2) 36" X 8I.5/8"

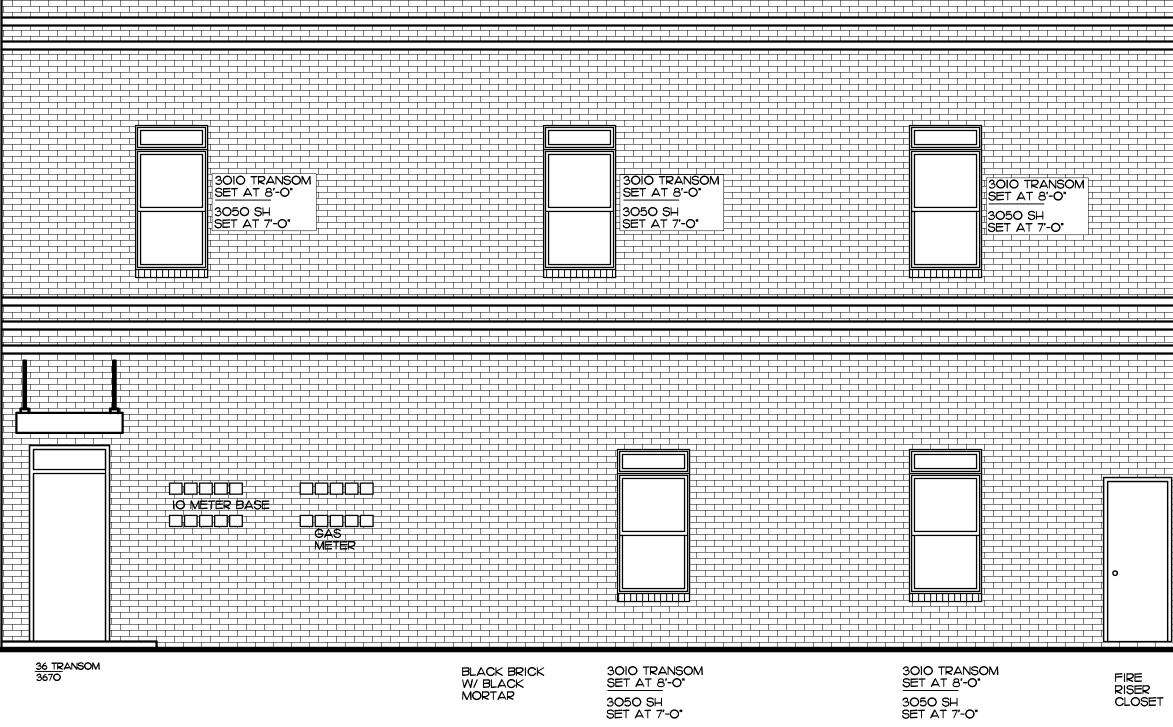
DLO 51" X 81.5/8" DLO 51" X 81.5/8"

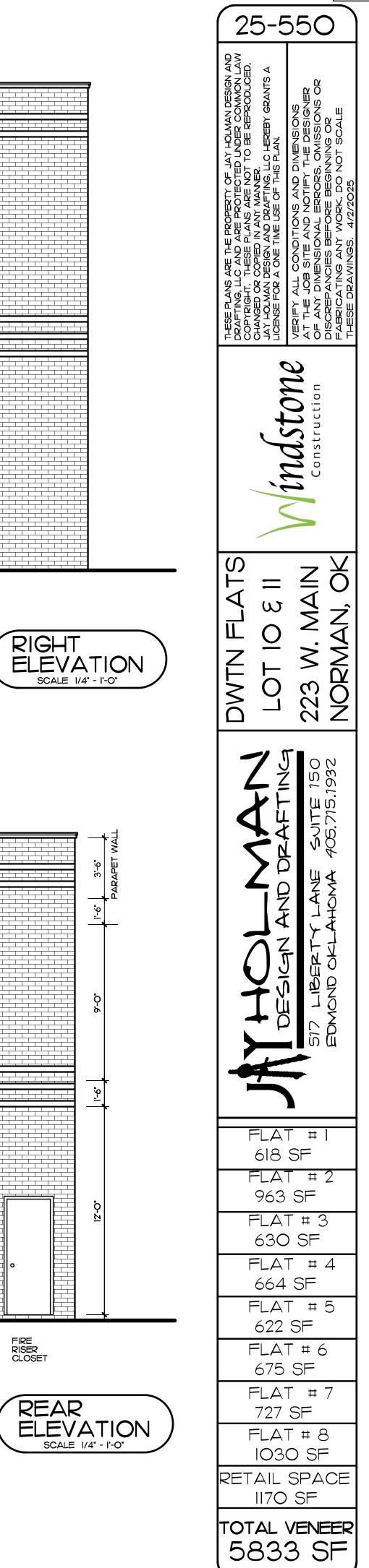
DLO 51" X 81.5/8" DLO 51" X 81.5/8"





BLACK BRICK W/ BLACK MORTAR





Item 3.

File Attachments for Item:

4. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-34: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF CHAPTER 36 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOTS 12-14, BLOCK 72 OF NORMAN OLD TOWN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (227 W MAIN ST)



CITY OF NORMAN, OK STAFF REPORT

- **MEETING DATE:** 04/10/2025
- **REQUESTER:** GBDENTAL HOLDINGS, LLC
- PRESENTER: Anais Starr, Planner II
- ITEM TITLE: CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-34: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF CHAPTER 36 OF THE CODE OF THE CITY OF NORMAN SO AS TO REMOVE LOTS 12-14, BLOCK 72 OF NORMAN OLD TOWN, TO NORMAN, CLEVELAND COUNTY, OKLAHOMA, FROM THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT, AND PLACE SAME IN THE CCPUD, CENTER CITY PLANNED UNIT DEVELOPMENT DISTRICT; AND PROVIDING FOR THE SEVERABILITY THEREOF. (227 W MAIN ST)

APPLICANT/REPRESENTATIVE	GBDENTAL HOLDINGS, LLC/Rieger Sadler Joyce LLC
LOCATION	227 W Main Street
WARD	4
CORE AREA	Yes
REQUESTED ACTION	Amendment of a Center City Planned Unit Development
LAND USE PLAN DESIGNATION	Commercial
GROWTH AREA DESIGNATION	Current Urban Service Area

BACKGROUND: The applicant requests to amend the existing Center City Planned Unit Development (CCPUD) for 227 W Main Street to allow revisions to the existing CCPUD Site Development Plan.

The subject property at 227 West Main Street currently contains an office building and part of the food truck park. The proposed CCPUD amendment removes the eastern two lots and replaces the remaining food truck park area with parking, as illustrated in the submitted Exhibit

C, Site Development Plan. The CCPUD Narrative proposes a modification from the Center City Form-Based Code (CCFBC) by permitting the proposed parking to extend in front of the CCFBC Parking Setback Line. The remaining elements of the CCPUD will stay as proposed in the original CCPUD.

PROCEDURAL REQUIREMENTS:

PRE-DEVELOPMENT: A Pre-Development meeting is not required for this application.

BOARD OF PARKS COMMISSIONERS: Parkland dedication is not required for this application.

ZONING ORDINANCE CITATION:

APPENDIX B, SEC. 520 CENTER CITY PLANNED UNIT DEVELOPMENT - CCPUD

A. Statement of Purpose: It is the intent of this section to provide an alternative zoning district for the Center City Area as defined in the Center City Form-Based Code (CCFBC). This Center City Planned Unit Development District (CCPUD) is specifically catering to the Center City Area because of the size of lots, the lack of vacant land and other distinguishing characteristics in this area that make using the existing PUD regulations not feasible. The CCPUD encourages developments that create the character of development envisioned in the CCFBC.

Specifically, the purposes of this section are to:

1. Provide an alternative zoning district to the CCFBC where a property owner proposes a development that does not meet the strict regulations required in the CCFBC.

2. Provide open space/street space that is compatible with the concepts of the CCFBC.

3. Provide comprehensive and innovative planning and design for a development which is consistent and compatible with surrounding developments.

4. Provide more efficient and economic use of land resulting in an urban/pedestrian environment.5. Provide complete and useful information which will enable the Planning Commission and City Council to make more informed decisions on land use.

6. Encourage developments that achieve community goals, such as, but not limited to, aging in place, or affordable housing, or other emerging trends in housing, that may not be able to meet all the required elements of the Center City Form-Based Code

STAFF ANALYSIS:

The applicant's amended CCPUD Narrative and Site Development Plan removes two eastern lots and replaces the portion of the food truck park with parking on the east side of the existing structure. The proposed parking lot will contain seven (7) parking spaces accessed from the alleyway as illustrated in Exhibit C, Site Development Plan. Since this site was previously developed, the applicant will not be providing additional landscaping. Open Space is provided at the ground level and rooftop as indicated on Exhibit C, Site Development Plan.

The amendments to the CCPUD Site Development Plan are as follows:

- Remove Lots 10 and 11 from the existing CCPUD.
- Allow for parking as illustrated in Exhibit C, Site Development Plan. The parking will be permitted to extend over the Parking Setback Line.

- Allow Landscaping and Open Space as depicted in Exhibit C, Site Development Plan.
- Retain the existing screening fence along the Required Build Line while providing an opening for pedestrian access on the east side of the structure.

USE: The CCPUD narrative retains the property's existing use of dental offices while adding additional parking to the east side of the building. The existing structure meets the requested decrease in Clear Height for the Ground Story from fifteen (15') to twelve (12') allowed in the CCPUD Narrative.

PARKING: Under the existing CCFBC, properties zoned C-3, Intensive Commercial District at the time of the adoption of the CCFBC, are not required to meet parking requirements. The Site Development Plan proposes seven (7) parking spaces east of the existing building that extends in front of CCFBC Parking Setback Line, with the existing screening in place in front of the parking area.

LANDSCAPING: The revised Site Development Plan does not propose additional landscaping for the existing Property. Open Space is provided at grade and on the existing roof deck, as indicated in Exhibit C, Site Development Plan.

SIGNAGE: Signage was installed at the time of construction of the existing building for this site. No additional signage is requested with this amendment. Any future signage shall comply with 402. General Provisions, Section M of the CCFBC, as outlined in the CCPUD Narrative.

LIGHTING: The project shall comply with the lighting requirements found in the CCFBC under 402. General Provisions, Section N. Lighting & Mechanical, as outlined in the CCPUD Narrative.

SANITATION/UTILITIES: As shown on the Site Development Plan Exhibit C, the existing dumpster located off the alleyway will continue to serve the property's sanitation needs.

FENCING/WALLS: The existing fence along the Required Build Line on the front property line will remain. No additional fencing is proposed.

PARKS: Andrews Park, located at 201 W Daws Street, is approximately two blocks north of the Property.

ALTERNATIVES/ISSUES:

IMPACTS: This CCPUD application retains the existing structure and use while allowing two lots to be removed and developed separately for mixed commercial and residential under its own CCPUD. The proposed replacement of the food truck park with parking provides additional parking to meet the dentist office customer needs. The request to maintain the existing open space, landscaping, and screening fence along the front property line will preserve the current appearance of this property.

The parking spaces are proposed to be perpendicular except for one angled accessible parking spot at the south end. This configuration could cause potential conflicts for vehicles exiting the parking.

OTHER AGENCY COMMENTS:

FIRE DEPARTMENT AND BUILDING PERMIT REVIEW: Additional information would be required to determine fire hydrant and fire lane requirements related to the proposed buildings. These items will be addressed during individual building permitting. For details, view the City of Norman Ordinances and adopted 2018 ICC codes as amended by OUBCC including IFC Appendices B, C, and D.

PUBLIC WORKS/ENGINEERING: The subject property is platted as part of Norman Old Town.

TRAFFIC ENGINEER: There are conflicts between the perpendicular space and the angled handicap-accessible parking space for the proposed parking east of the existing building. The proposed configuration could cause collisions as vehicles attempt to exit the parking spaces.

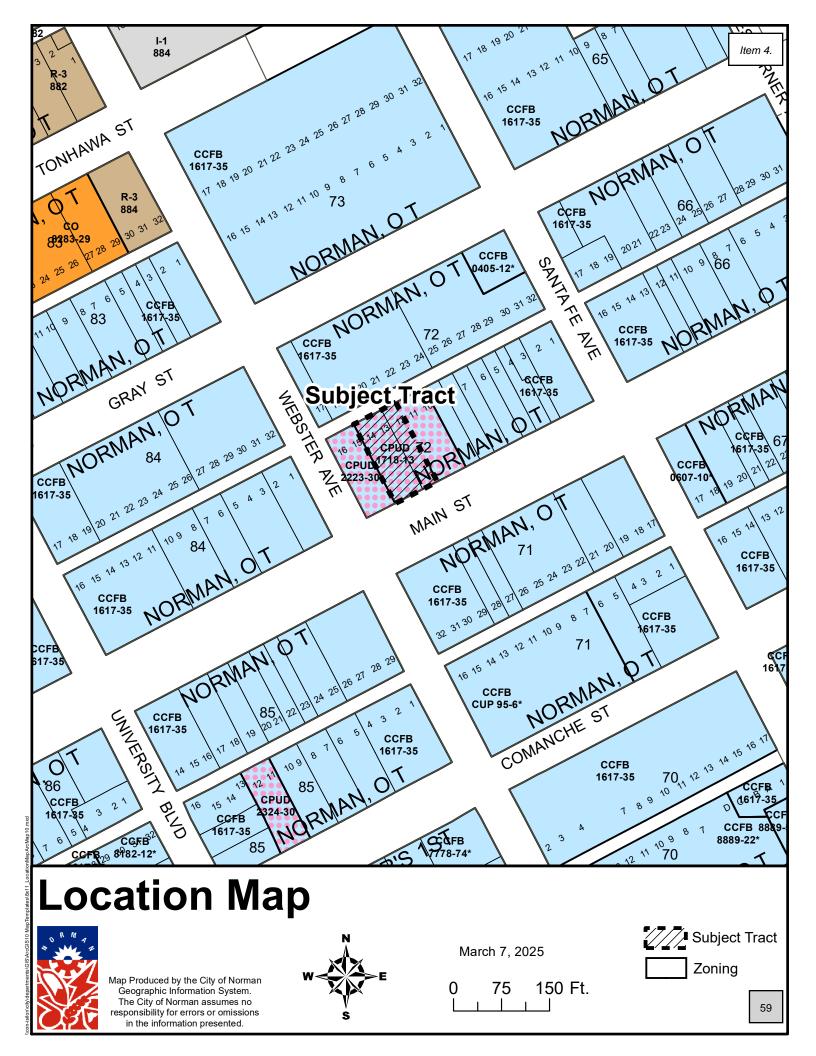
UTILITIES:

Water: Existing water services not proposed to be used must be abandoned at the main and existing material information must be provided to the Utilities Department.

Wastewater: Show proposed sewer service(s). Existing sewer service(s), if not to be reused, must be abandoned at the main at the time of building permit.

Sanitation: Solid waste service only. Recycling will only be available through the use of one of the regional recycling centers.

<u>CONCLUSION</u>: Staff forwards this request for an amendment to the Center City Planned Unit Development and Ordinance O-2425-34 to the Planning Commission for consideration and a recommendation to the City Council.



227 W. Main Street

Norman, Oklahoma

GBDENTAL HOLDINGS, LLC Dr. Gabriel Bird

Developer

A CENTER CITY PLANNED UNIT DEVELOPMENT APPLICATION FOR REZONING

Submitted: March 3, 2025 Revised: March 28, 2025

PREPARED BY: **RIEGER SADLER JOYCE LLC** 136 Thompson Drive Norman, Oklahoma 73069

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- D. Utility Services
- E. Fire Protection Services
- F. Traffic Circulation and Access

III. DEVELOPMENT PLAN AND DESIGN CONCEPT

- A. Commercial Uses
- B. Open Space/Landscaping
- C. Traffic Access, Circulation, Sidewalks
- D. Exterior Lighting
- E. Sanitation
- F. Signage

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- A. Proposed Site Development Plan
- B. View of Pedestrian Access Area
- C. Location of Existing Dumpster

I. INTRODUCTION

This Center City Planned Unit Development (the "**CCPUD**") is being submitted for the development of the 227 West Main Street property (the "Property" or "Addition"). The Property is on the north side of West Main Street near the intersection of West Main Street and North Webster Avenue. The legal description is Norman Old Town, Lots 12 - 14, Block 72.

This site was originally rezoned to the existing CCPUD in order to dramatically transform the Property into a leading example of Center City revitalization. The Applicant, Dr. Gabriel Bird, proudly brought the first Center City PUD, which was a spark for a new era of development and variety of uses to the downtown setting.

The Applicant developed the existing office building which is the home of the applicant's dental office. Now, the applicant is selling Lots 10 and 11, Block 72 of Norman Old Town to a local developer for a separate project. The purpose of this CCPUD is to amend the existing CCPUD to reflect the conveyance of the two lots and update the site plan.

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PROPERTY DESCRIPTIONS; EXISTING CONDITIONS

A. Location

The Property is located at 227 West Main Street. The Property is on the north side of West Main Street near the intersection of West Main Street and North Webster Avenue. The legal description is Norman Old Town, Lots 12-14, Block 72.

B. Existing Land Use and Zoning

The Property is currently zoned CCPUD. This CCPUD, originally approved on 11/28/2017, recognized and incorporated the original Building Form Standard, Urban Storefront or as thereafter amended, except to the extent that the original CCPUD requested alterations as specifically outlined therein. The only changes sought in the 2017CCPUD from the CCFBC was for the floor-to-floor height be changed from 15 feet to 12 feet at the Main Street frontage, and to allow fencing materials to be varied from the masonry requirement. By this CCPUD, the additional changes requested are to reduce the parking setback along Main Street to twenty (20') from the required 30' indicated on the CCFBC Regulating Plan and the allowance of pedestrian access along the Required Build Line instead of a Street Wall.

The 2025 Plan provides for Commercial uses, and that is in keeping with the Dentist Office being the primary use of the Property.

C. Elevation and Topography

The existing Property is improved and built. The improvements were installed many decades ago. No changes are planned or intended to the topography, elevation, or drainage.

D. Utility Services/ Public Works

All required utility systems for the project (including water, sewer, gas, and electric) are in immediate proximity to the Property, and long established. The Property is Original Town Norman subdivision and thus already platted.

E. Fire Protection Services

Fire protection services are as provided by the City of Norman Fire Department and per the City of Norman regulations for such.

F. Traffic Circulation and Access

The existing site is bounded on its frontage by West Main Street, and along its rear by the public alley. Access for pedestrians is planned along the West Main Street

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streetscape. Vehicle access is planned along the public alley running behind the Property.

II. DEVELOPMENT PLAN AND DESIGN CONCEPT

A. Permitted Uses

1. CCFBC Urban Storefront Designation.

The Property is currently zoned CCPUD, incorporating the Urban Storefront BFS as thereafter amended with the following changes:

- a. "The minimum GROUND STORY <u>floor to floor</u> height is <u>12</u> feet, <u>as measured from finish floor of ground floor to finish</u> <u>floor of second floor</u>."
- b. Part 8, Definitions, Street Wall is changed to: Street Wall. A masonry wall or visual barrier comprised of materials that provide a general barrier from passage but that may allow views into the site, such as but not limited to, mesh, cedar horizontal boards with spaces, etc., which shall be set on the required building line which assists in the definition of the street-space in the absence of a building. See the building form standards for height and gate specifications." No Street Wall is required in the area of the existing pedestrian access area, as shown on EXHIBIT B, attached hereto.
- c. The parking setback along the Property's Main Street frontage shall be reduced to twenty (20') feet.

The proposed Site Development Plan is as shown on the attached **<u>EXHIBIT</u>** <u>**A**</u>, which shows the complete buildout of the Property.

No change in Allowable Uses is requested.

B. Open space / Landscaping

Since the Property is already developed and contains useable rooftop/balcony space, the existing Open Space, as shown in Exhibit A, shall be adequate for the development and no additional Open Space or landscaping is required. The existing Open Space areas are impervious and may remain the same.

C. Traffic access/circulation/sidewalks

The Property will provide additional parking for patients and workers along the eastern property line as shown in Exhibit A, in addition to the existing parking located at the rear of the site. The existing fencing line will be used to screen the new parking area, with a pedestrian walkway to remain in the existing location to

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allow for pedestrian access from the new parking area to the front entrance of the building. The site will be accessed by pedestrians along the West Main Street streetscape.

D. Exterior Lighting.

All lighting will comply with the Norman Center City Form-Based Code (CCFBC) Section N. Lighting & Mechanical Standards.

E. Sanitation

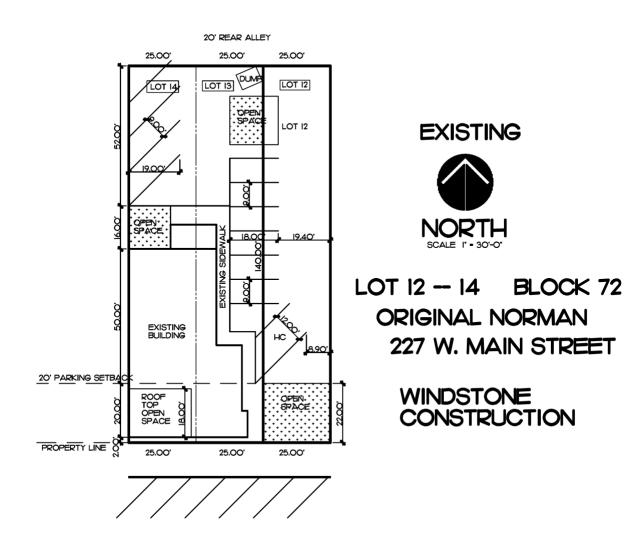
Sanitation will continue be provided via the existing dumpster located off the alleyway, as shown on **<u>EXHIBIT C</u>**.

F. Signage

All new signage will comply with the CCFBC, Section M. Signage, as amended from time to time.

EXHIBIT A

Site Development Plan



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<u>Exhibit B</u>

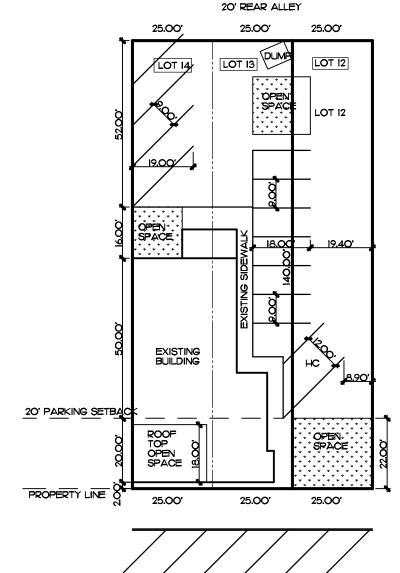
Street View of Existing Pedestrian Access Area



<u>Exhibit C</u>

Location of Existing Dumpster







LOT 12 -- 14 BLOCK 72 ORIGINAL NORMAN 227 W. MAIN STREET

WINDSTONE CONSTRUCTION File Attachments for Item:

5. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF RESOLUTION R-2425-100: A RESOLUTION OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING THE NORMAN 2025 LAND USE AND TRANSPORTATION PLAN SO AS TO REMOVE PART OF THE SOUTHEAST QUARTER (SE/4) AND THE NORTHEAST QUARTER (NE/4) OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST OF THE INDIAN MERIDIAN (I.M.), CLEVELAND COUNTY, OKLAHOMA, FROM THE INDUSTRIAL DESIGNATION AND PLACE THE SAME IN THE INSTITUTIONAL DESIGNATION. (GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.)



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 04/10/2025

- **REQUESTER:** Victory Family Church, Inc.
- PRESENTER: Justin Fish, Planner I
- **ITEM TITLE:** CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF RESOLUTION R-2425-100: A RESOLUTION OF THE COUNCIL OF THE CITY OF NORMAN. OKLAHOMA, AMENDING THE NORMAN 2025 LAND USE AND TRANSPORTATION PLAN SO AS TO REMOVE PART OF THE SOUTHEAST QUARTER (SE/4) AND THE NORTHEAST QUARTER (NE/4) OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST OF THE INDIAN MERIDIAN (I.M.), CLEVELAND COUNTY, OKLAHOMA, FROM THE INDUSTRIAL DESIGNATION AND PLACE THE SAME IN THE INSTITUTIONAL DESIGNATION. (GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.)

APPLICANT/REPRESENTATIVE	Victory Family Church, Inc.
LOCATION	Generally located on the east side of N Flood Avenue, north of the intersection of N Flood Avenue and 24 th Avenue NW
WARD	8
CORE AREA	No
REQUESTED ACTION	NORMAN 2025 Land Use Plan Amendment from Industrial to Institutional Designation
ZONING DESIGNATION	I-1, Light Industrial District
PROPOSED ZONING	I-1, Light Industrial District with Special Use for a Church, Temple or other Place of Worship
GROWTH AREA DESIGNATION	Current Urban Service Area (No Change)

BACKGROUND: The subject parcel is approximately 10.28 acres with frontage on N Flood Avenue and 24th Avenue NW. All properties to the north, south, and west of the subject parcel are zoned I-1, Light Industrial District. Located on the parcel north of the subject parcel is Victory Family Church, and medical offices are located on the parcel to the south. West, across N Flood Avenue, is the Norman Public Schools Technology building. East, across 24th Avenue NW, are properties zoned A-2, General Agricultural District, and O-1 Office-Institutional District with a Special Use. Located on these parcels are single-family homes and an office. The applicant requests Special Use for a Church, Temple or other Place of Worship for this site. This Special Use would allow the applicant to construct an over flow parking area for the church on the adjacent lot. The proposal requires an amendment to the NORMAN 2025 Land Use Plan from the Industrial Designation to the Institutional Designation for the subject parcel.

STAFF ANALYSIS: For changes in classification under the NORMAN 2025 Land Use and Transportation Plan, the following information is forwarded for consideration.

The role of the NORMAN 2025 Plan in the City's ongoing and diverse planning activities states the document must be flexible, and that it is updated and amended periodically. The Plan defines the desired land use patterns for use and development of all private sector properties. This Plan will serve as a policy guide for zoning and planning requests as they are presented to the Planning Commission and City Council.

1. Has there been a change in circumstances resulting from development of the properties in the general vicinity which suggest that the proposed change will not be contrary to the public interest?

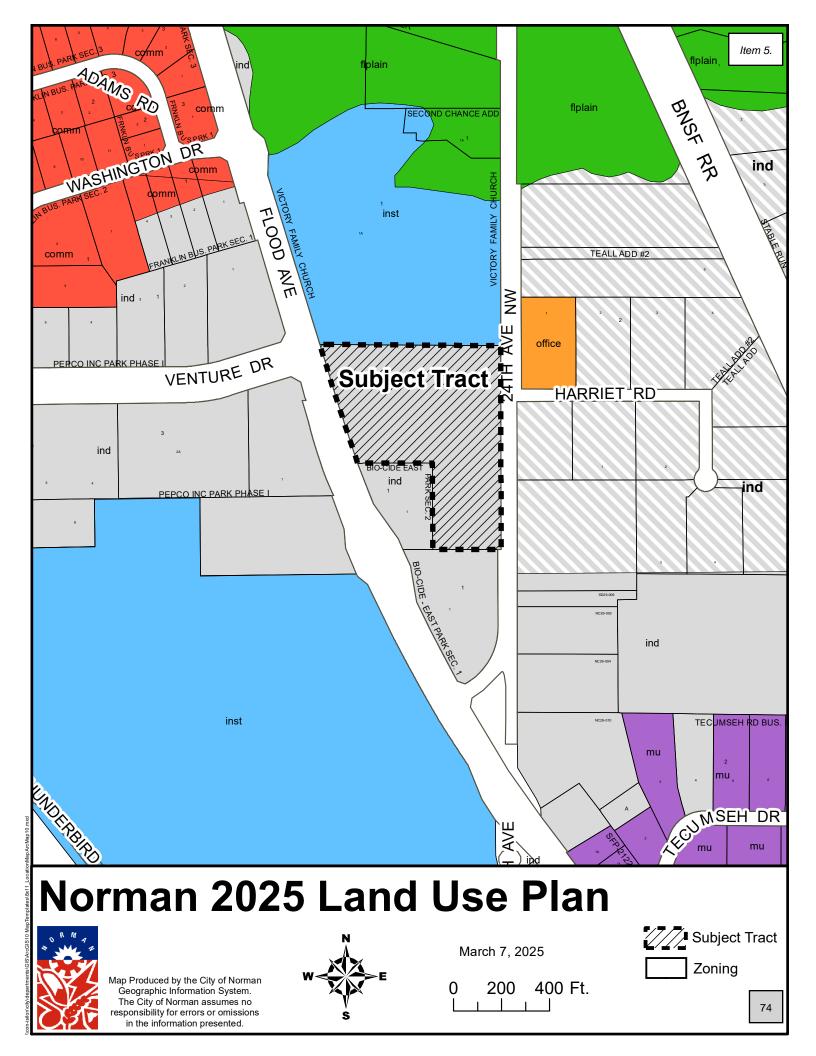
Since adopting the NORMAN 2025 Land Use Plan in 2004, several institutional and industrial uses have been constructed in the general area. These uses include medical offices, businesses, and military buildings. A parcel dedicated entirely to parking is not something found in the general area. A change from the Industrial Designation to Institutional would not be contrary to the public interest as there is already an Institutional use near the subject parcel and the proposed development would tie into the existing institutional use on the parcel to the north which is Victory Family Church.

2. Is there a determination that the proposed change would not result in adverse land use or adverse traffic impacts to surrounding properties or the vicinity?

The subject parcel is currently undeveloped. Any change to the intensity of use on this property would increase traffic. Due to the proposed development generating fewer peakhour trips than the City of Norman's threshold for a Traffic Impact Analysis and likely seeing use on select days of the week, adverse traffic impacts to the surrounding properties or the vicinity are not anticipated. Victory Family Church's current drive north of Venture Drive is to be relocated to align with Venture Drive for a future traffic signal. This change comes as part of the Church's plans for expanding its facility located on the parcel to the north of the subject parcel. This change is also not anticipated to cause adverse traffic impacts to the surrounding properties or the vicinity.

CONCLUSION: Staff forwards this request for amendment of the NORMAN 2025 Land Use Plan Amendment from Industrial Designation to Institutional Designation for the subject parcel as Resolution R-2425-100 for consideration by Planning Commission and recommendation to City Council.

ltem 5.



<u>Applicant:</u> Victory Family Church, Inc.

<u>Project Location</u>: Generally located on the east side of N Flood Avenue, north of the intersection of N Flood Avenue and 24th Avenue NW

Case Number: PD25-08

<u>Time:</u> 5:30 p.m.

Applicant Representative:

Christian Hagen

Attendees:

None

<u>City Staff:</u> Justin Fish, Planner I

Application Summary:

The applicant submitted a request for a NORMAN 2025 Land Use Amendment from the industrial designation to the Institutional designation and a special use for a Church, Temple, or other place of Worship for approximately 10.28 acres. The applicant is requesting these items so they construct an overflow parking area that will tie into the existing Victory Family Church located on the parcel to the north of the subject parcel.

Neighbor's Comments/Concerns/Responses:

No neighbors in attendance.

Item 5.

File Attachments for Item:

6. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-35: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO GRANT SPECIAL USE FOR A CHURCH, TEMPLE, OR OTHER PLACE OF WORSHIP, IN THE I-1, LIGHT INDUSTRIAL DISTRICT FOR THE SOUTHEAST QUARTER (SE/4) AND THE NORTHEAST QUARTER (NE/4) OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST OF THE INDIAN MERIDIAN, CLEVELAND COUNTY, OKLAHOMA; AND PROVIDING FOR THE SEVERABILITY THEREOF. (GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.)



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 04/10/2025

- Victory Family Church, Inc. **REQUESTER:**
- PRESENTER: Justin Fish, Planner I
- **ITEM TITLE:** CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-35: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN. OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO GRANT SPECIAL USE FOR A CHURCH, TEMPLE, OR OTHER PLACE OF WORSHIP, IN THE I-1, LIGHT INDUSTRIAL DISTRICT FOR THE SOUTHEAST QUARTER (SE/4) AND THE NORTHEAST QUARTER (NE/4) OF SECTION ELEVEN (11), TOWNSHIP NINE (9) NORTH, RANGE THREE (3) WEST OF THE INDIAN MERIDIAN, CLEVELAND COUNTY, OKLAHOMA; AND PROVIDING FOR THE SEVERABILITY THEREOF. (GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.)

APPLICANT/REPRESENTATIVE	Victory Family Church, Inc.
LOCATION	Generally located on the east side of N Flood Avenue, north of the intersection of N Flood Avenue and 24 th Avenue NW
WARD	8
CORE AREA	No
REQUESTED ACTION	Rezoning from I-1, Light Industrial District, to I-1, Light Industrial District, with Special Use for a Church, Temple, or Other Place of Worship
LAND USE PLAN DESIGNATION	Industrial
GROWTH AREA DESIGNATION	Current Urban Service Area

BACKGROUND:

The subject parcel is currently zoned I-1, Light Industrial District. The applicant is requesting Special Use for a Church, Temple or other Place of Worship, to construct an overflow parking area for the existing Victory Family Church on the adjacent parcel to the north. The subject parcel is approximately 10.28 acres and is currently vacant, except for a large transmission tower carrying electric transmission lines across the site. The applicant has been informed that the project must meet all Zoning Ordinance requirements including landscaping and commercial outdoor lighting standards.

PROCEDURAL REQUIREMENTS:

GREENBELT MEETING: GBC25-08, March 18, 2025

No greenbelt opportunity was found. Item was placed on the Consent Docket. Greenbelt Commissioners forward GBC 25-08, with no additional comments.

PRE-DEVELOPMENT: PD25-08, March 27, 2025

No neighbors were in attendance.

BOARD OF PARKS COMMISSIONERS:

Parkland dedication is not required for this application.

<u>ZONING ORDINANCE CITATION:</u> A Special Use request shall be reviewed and evaluated on the following criteria according to Sec. 36-560, Special Uses:

- 1. Conformance with applicable regulations and standards established by the Zoning Regulations.
- 2. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk and scale, setbacks and open spaces, landscaping and site development, and access and circulation features.
- 3. Potentially unfavorable effects or impacts on other existing or permitted uses on abutting sites, to the extent such impacts exceed those which reasonably may result from use of the site by a permitted use. (NOTE: Throughout this Section, "Permitted Use" means any use authorized as a matter of right under the applicable zoning district.)
- 4. Modifications to the site plan which would result in increased compatibility, or would mitigate potentially unfavorable impacts, or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals, and general welfare.
- 5. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed "Special Use" and other uses authorized and anticipated in the area, considering existing zoning and land uses in the area.

6. That any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses and to ensure compatibility of the proposed "Special Use" with existing or permitted uses in the surrounding area.

STAFF ANALYSIS:

The applicant proposes construction of an overflow parking area to be used by the Victory Family Church. The proposed parking area will tie into the church's existing parking area. The existing zoning of the parcels to the north, south, and west of the subject parcel are I-1, Light Industrial District. The parcel to the north also has Special Use for a Church, Temple, or other Place of Worship. The parcels to the east across 24th Avenue NW are zoned O-1, Office-Institutional District, with a Special Use, and A-1, General Agricultural District. Through a separate application, not part of this zoning request, Victory Family Church plans to expand its existing building on the parcel located north of the subject parcel. This expansion will result in the loss of some existing parking. To accommodate this loss in available parking and prepare for the anticipated increase in parking demand, Victory Family Church has requested this Special Use to construct the proposed overflow parking area on the subject parcel. This new overflow parking area consists of approximately 871 parking spaces and will cover approximately 67% of the subject parcel in impervious material. The proposed development exceeds the required landscaping requirements per, 36-551, Landscaping Requirements For Off-Street Parking Facilities, which requires at least 15 square feet of interior landscaping for each parking space excluding those spaces abutting a perimeter.

ALTERNATIVES/ISSUES:

IMPACTS: The development of an overflow parking area on this site is not foreseen to be detrimental to the surrounding uses. The proposed overflow parking area would likely see use only on days where services or events are being held by the Victory Family Church. Traffic generation is also not foreseen to be detrimental to the surrounding area as the proposed development will generate fewer peak hour trips than standard developments typically seen in areas zoned I-1, Light Industrial District. As part of Victory Family Church's plans for expansion, the drive located north of Venture Drive will be relocated to align with Venture Dive for a future traffic signal.

OTHER AGENCY COMMENTS:

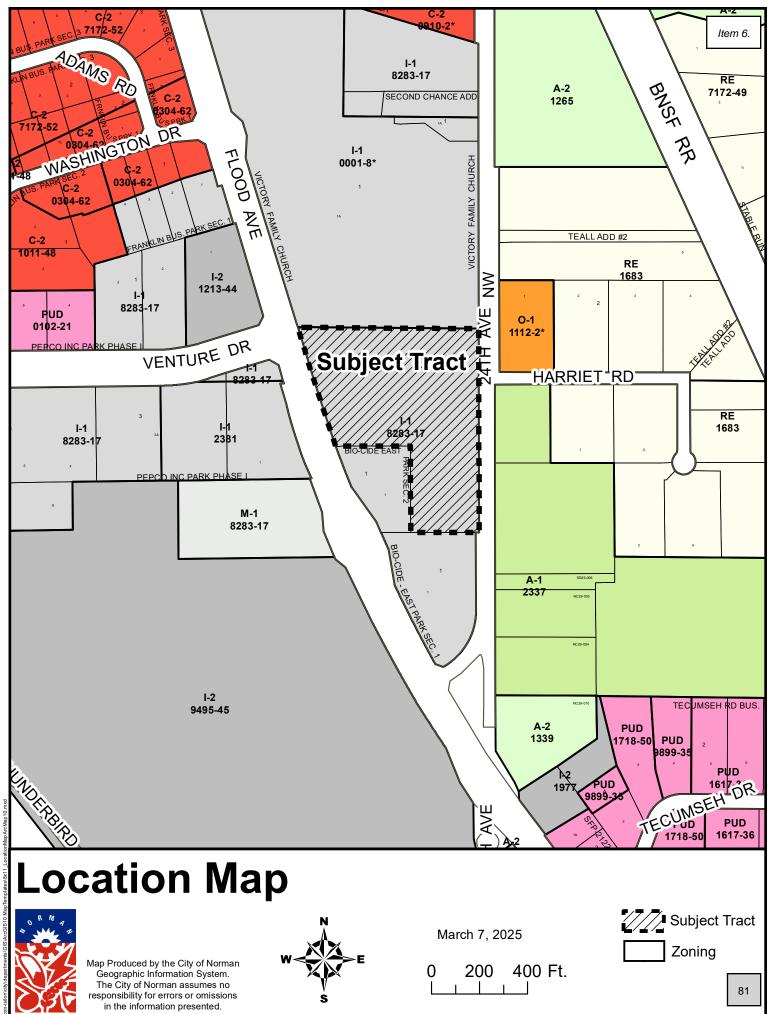
FIRE DEPARTMENT AND BUILDING PERMIT REVIEW: Items regarding fire hydrants, fire and building codes will be considered at the building permit stage.

PUBLIC WORKS/ENGINEERING: See the attached report from Engineering regarding the accompanying preliminary plat application.

TRAFFIC ENGINEER: No traffic study was required because fewer than 100 peak hour trips would be generated by the application.

UTILITIES: No utilities are needed for this parking lot project.

<u>CONCLUSION</u>: Staff forwards this request for a Special Use for a Church, Temple, or other Place of Worship and Ordinance O-2425-35 for consideration by Planning Commission and recommendation to City Council.



VICTORY FAMILY CHURCH 2025 PARKING 4343 N. FLOOD AVENUE, NORMAN, OK SITE DEVELOPMENT PLANS

(LEGEND (EXISTING)

LINEWORK

SYMBOLS

 \bowtie

 \bowtie

XX

M

(X-X)

-++--

<u>STMDOLS</u>		
FOUND IRON PIN LIGHT POLE	 EASEMENT	
POWER POLE	CURB	
TELEPHONE PEDESTAL		
TV PEDESTAL	INTERMEDIATE CONTOUR	1200
MANHOLE		—1205—————
SANITARY SEWER CLEANOUT		~~
GAS METER	SANITARY SEWER LINE	
GAS VALVE	G	G
STORM SEWER PIPE	W	W
 DOWN GUY	WATER LINE (SPECIFY SIZE & TYPE)	
WATER VALVE	UNDERGROUND TELEPHONE	JGT
FIRE HYDRANT ASSEMBLY		
AIR RELEASE VALVE		γv
FIRE DEPARTMENT CONNECTION		
WATER METER	OVERHEAD ELECTRIC	
SPRINKLER HEAD ELECTRIC PEDESTAL	UGTV	
ELECTRIC PEDESTAL	OHTV	OHTV
GRATED INLET	OVERHEAD TELEVISION	
	CHAIN LINK FENCE	
DROP INLET	//////////	//
	WOOD FENCEX	V
	BARBED WIRE FENCE	X
TREE		FO
	FIBER OPTIC	
	RIGHT OF WAY	
TREE TO BE REMOVED		

🚱 LEGEND (CONSTRUCT

LINEWORK

ROAD CENTERLINE

ROAD CENTERLINE

SYMBOLS

SET IRON PIN
LIGHT POLE
POWER POLE
TELEPHONE PEDESTAL
TV PEDESTAL
MANHOLE
SANITARY SEWER CLEANOUT
GAS METER
GAS VALVE
STORM SEWER PIPE
STRUCTURE NUMBER
WATER VALVE
FIRE HYDRANT ASSEMBLY
AIR RELEASE VALVE
FIRE DEPARTMENT CONNECTION
WATER METER
BACK FLOW PREVENTER
REDUCER
PLUG VALVE
RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)
CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

CURB				
INTERMEDIATE CONTOUR				
INDEX CONTOUR				
SANITARY SEWER LINE				
GAS LINE				
VATER LINE				
JNDERGROUND TELEPHONE				
JNDERGROUND ELECTRIC				
OVERHEAD ELECTRIC				
FIBER OPTIC	-F0 –			
INDERGROUND TELEVISION				
OVERHEAD TELEVISION	·		— ОНТ	-V-
HAIN LINK FENCE				
VOOD FENCE	//		//	
BARBED WIRE FENCE	— X —		—— X –	
BUILDING SET BACK				—
RIGHT OF WAY				
PROPERTY LINE				
		— ——		_

- THEIR WORK.
- CONSTRUCTION SITE.
- CRAFTON, TULL, & ASSOCIATES, INC.
- FEDERAL, STATE AND LOCAL REGULATIONS.
- OR CONDUCTOR PROHIBITED:
- SUCH FUNCTION OR ACTIVITY.

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE	
C-001	COVER	PR
C-101	SITE PLAN	PR
C-102	GRADING PLAN	PR
C-201	STORM SEWER 'A' & 'B'	PR
C-501	EROSION CONTROL NOTES	PR
C-502	EROSION CONTROL PLAN	PR
C-503	EROSION CONTROL & PAVING DETAILS	PR
C-504	PAVING DETAILS	PR

SET	
PRELIMINARY	PLANS

RELIMINARY PLANS

COVER SHEET; GENERAL NOTES

1. ENGINEER'S NOTICE TO CONTRACTOR: THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF

2. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES. IN. OR NEAR THE

3. OWNERSHIP OF DOCUMENTS: THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL, & ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF

4. CONTRACTOR SHALL NOT CAUSE ANY INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL NOT DISRUPT ACCESS TO ADJACENT PROPERTIES AT ANY TIME DURING CONSTRUCTION. 5. THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY

IS IDENTIFIED ON THE PLANS AND/OR SPECIFICATIONS. 6. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA,

7. CRAFTON, TULL, & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES ON ALL OR A PORTION OF THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CTA ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION AND ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREFORE AND THE EFFECTS THOSE CHANGES MAY HAVE ON ANY AND ALL RELATED TRADES OR CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT, EXCEPT AS

SPECIFICALLY REQUIRED IN THE CRAFTON TULL & ASSOCIATES SERVICE AGREEMENT WITH THE OWNER. 8. 63 OKLAHOMA STATUTE ANNOTATED 63 981: ACTIVITY WITHIN SIX FEET OF HIGH VOLTAGE OVERHEAD LINE

NO PERSON, FIRM, CORPORATION OR ASSOCIATION SHALL, INDIVIDUALLY OR THROUGH AN AGENT OR EMPLOYEE AND NO PERSON AS AN AGENT OR EMPLOYEE OF ANY PERSON, FIRM, CORPORATION OR ASSOCIATION, SHALL PERFORM OR PERMIT ANY AGENT OR EMPLOYEE TO PERFORM ANY FUNCTION OR ACTIVITY UPON ANY LAND, BUILDING, HIGHWAY, OR OTHER PREMISES, WHEN IT IS POSSIBLE DURING THE PERFORMANCE OF SUCH ACTIVITY FOR ANY PERSON OR EMPLOYEE ENGAGED IN PERFORMING WORK CONNECTED WITH OR RELATED TO SUCH FUNCTION OR ACTIVITY TO MOVE TO OR TO BE PLACED IN A POSITION WITHIN SIX (6) FEET OF ANY HIGH VOLTAGE OVERHEAD ELECTRICAL LINE OR CONDUCTOR, OR WHEN IT IS POSSIBLE FOR ANY PART OF ANY TOOL, EQUIPMENT, MACHINERY OR MATERIAL TO BE USED BY ANY SUCH PERSON OR EMPLOYEE TO BE BROUGHT WITHIN SIX (6) FEET OF ANY SUCH OVERHEAD HIGH VOLTAGE LINE OR CONDUCTOR THROUGH ANY LATERAL, VERTICAL OR SWINGING MOTION DURING THE PERFORMANCE OF

9. ALL WORK SHELL BE DONE IN ACCORDANCE WITH CITY OF NORMAN ENGINEERING DESIGN CRITERIA AND STANDARD SPECIFICATIONS AND CONSTRUCTION DRAWINGS.

PROJECT INFORMATION

SITE AREA: ZONING: PROPERTY USAGE: BUILDING USAGE:

ADDRESS:

SITE ENGINEER:

OWNER/DEVELOPER:

(UTILITY COMPANIES

ENGINEERING DEPARTMENT CITY OF NORMAN PUBLIC WORKS 225 N. WEBSTER BUILDING A NORMAN, OK 73069 405-366-5453 405-366-5418

WATER. WASTE, RECYCLING CITY OF NORMAN UTILITIES ADMINISTRATION P.O. BOX 370 225 N. WEBSTER NORMAN, OK 73069 405-366-5443 405-366-5447

ELECTRIC OG& ELECTRIC SEVICES CONTACT: DENNIS TROYER 3101 36th AVE. N.W. NORMAN, OK 73072 405-550-0478 Troyerdr@oge.com

10.28 AC. I–1 CIVIC CHURCH 4343 N. FLOOD AVENUE NORMAN, OKLAHOMA

CRAFTON, TULL & ASSOCIATES G. TODD BRAWEY, P.E. 300 POINTE PARKWAY BLVD YUKON, OK 73099 (405) 787-6270

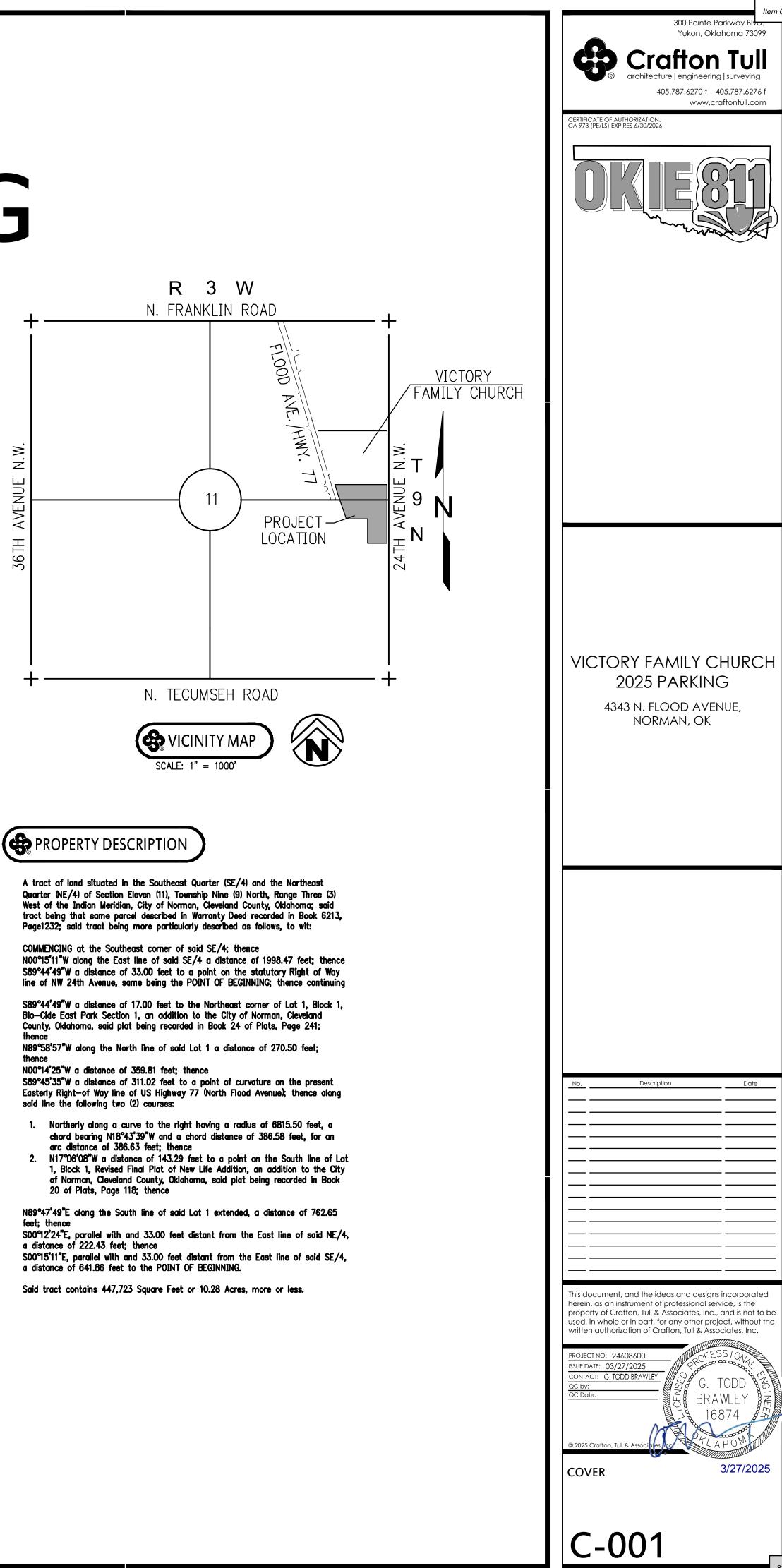
VICTORY FAMILY CHURCH, INC. 4343 N. FLOOD AVE. NORMAN, OKLAHOMA 73069 (405) 701-0976

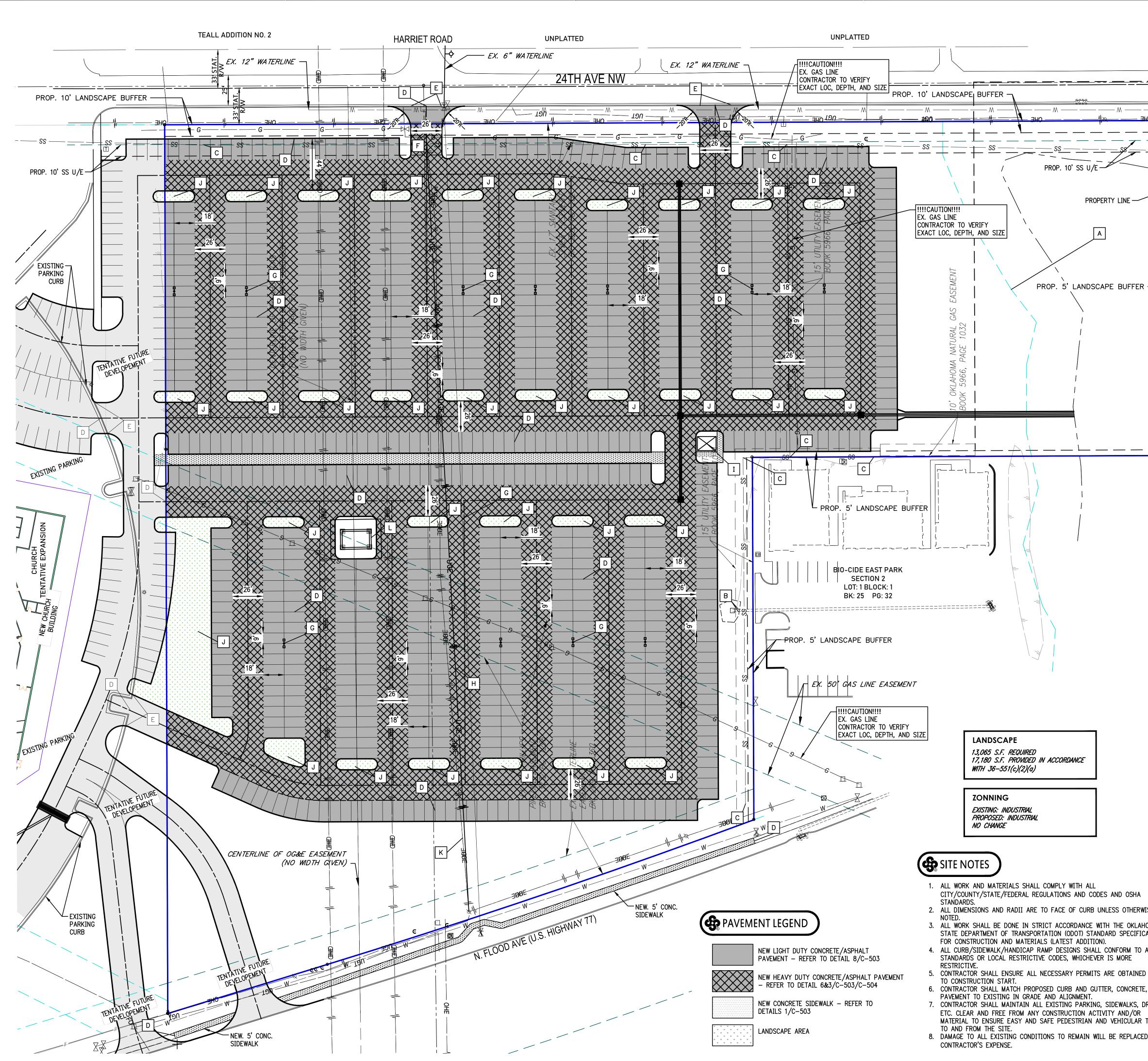
> TELEPHONE AT&T OKLAHOMA CONTACT: TERRY HAYES 7001 NW 23rd ST, ROOM 335 BETHANY. OK 73008

405-291-3118 405-491-7440 FAX OKLAHOMA NATURAL GAS CO.

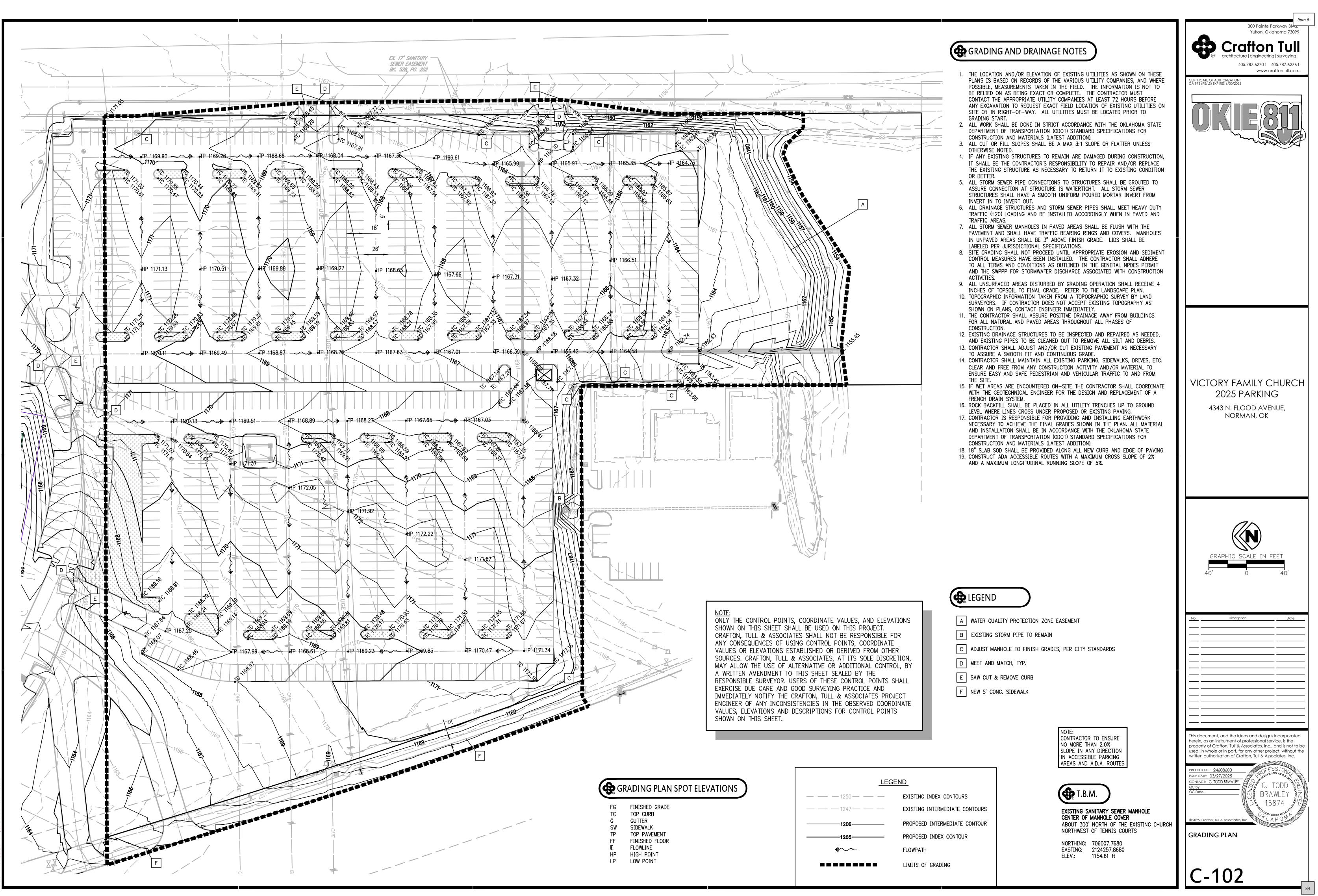
CONTACT: CAROL CLARK P.O. BOX 401 OKLAHOMA CITY, OK 73101 405-306-8479

CABLE COX COMMUNICATIONS CONTACT: JODIE FINNEY 1421 24th AVE. NW NORMAN, OK 73069 405-417-5907 CCIOKC-Oklahomadesign@cox.com

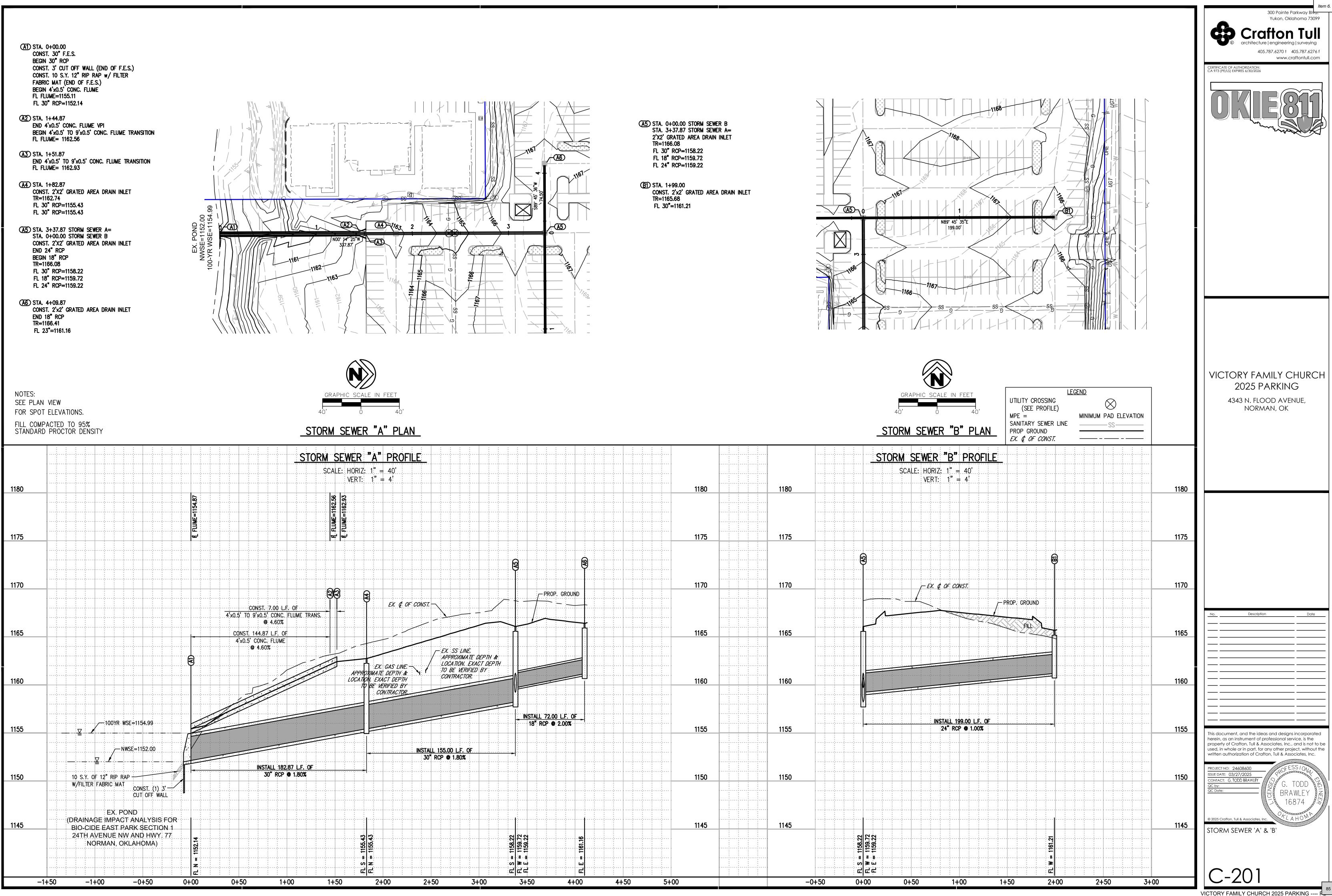


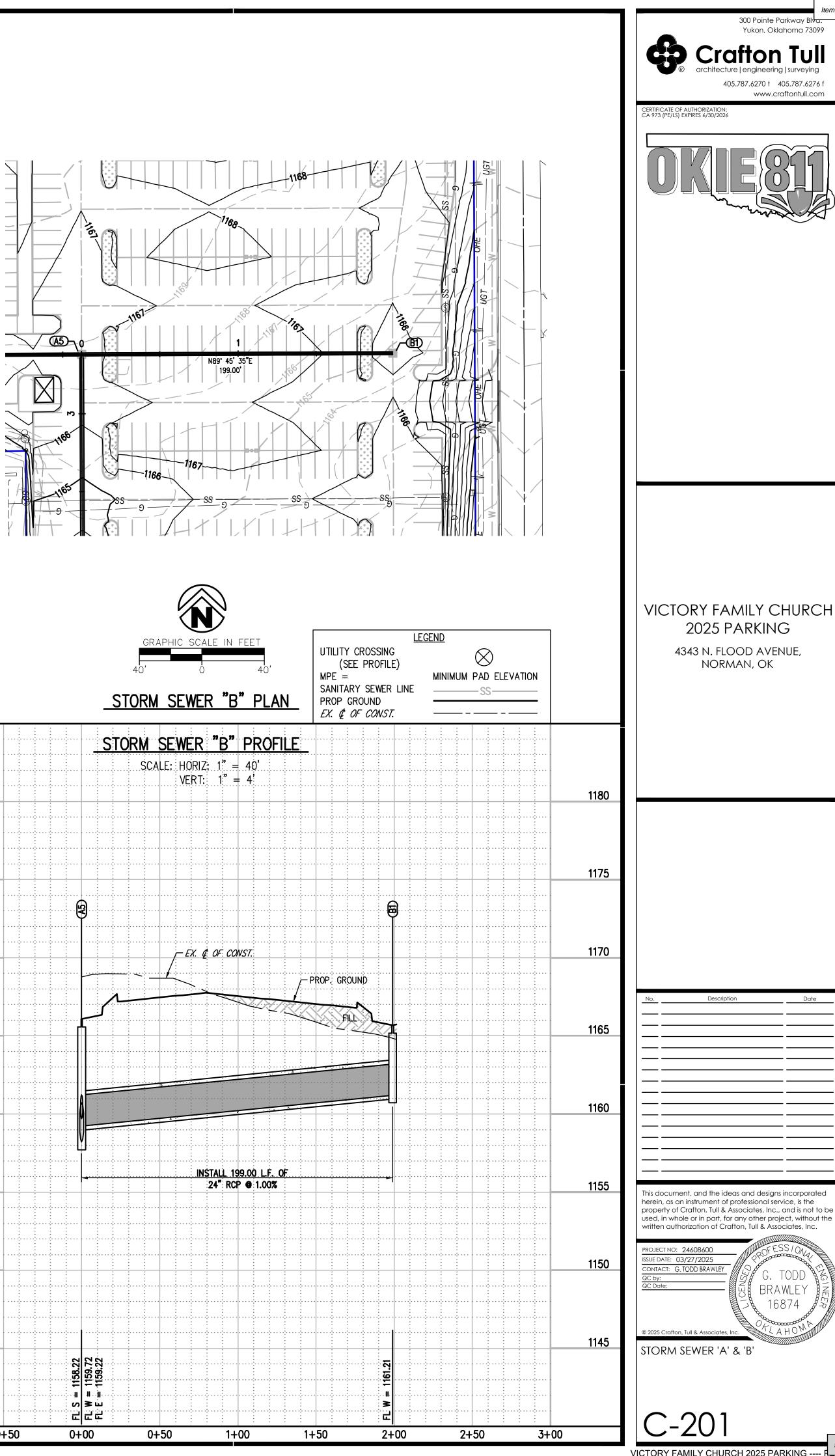


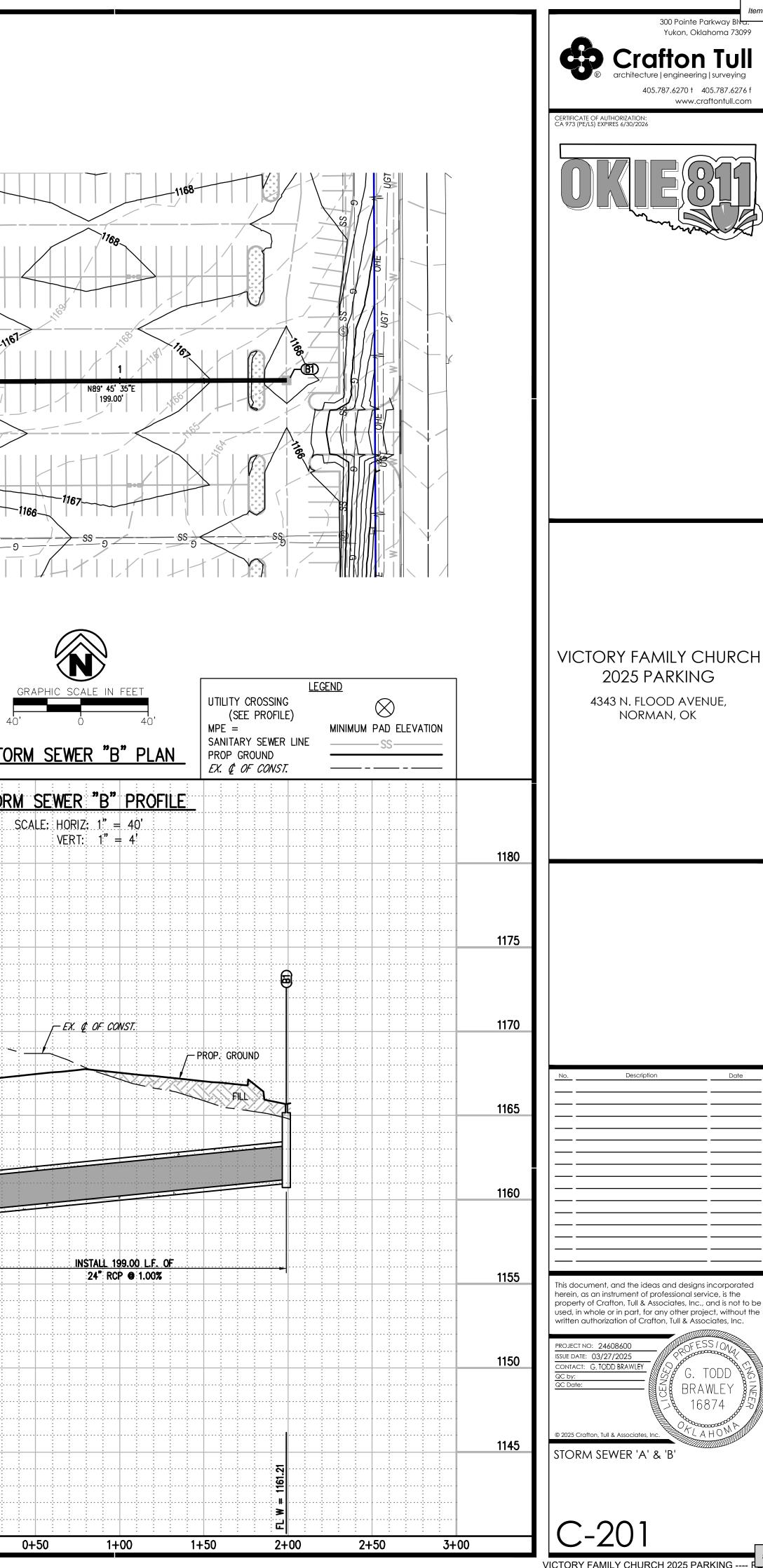
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PARKING REQUIREMENTS: HANDICAP PARKING REQUIREMENTS: REQUIRED: 0 PROVIDED: 0 TOTAL EXISTING PARKING: 0 TOTAL NEW PARKING: 871 P.S. TOTAL PROVIDED PARKING: 871 P.S.	
 A WATER QUALITY PROTECTION ZONE EASEMENT B EXISTING STORM PIPE TO REMAIN C ADJUST MANHOLE TO FINISH GRADES, PER CITY STANDARDS D MEET AND MATCH, TYP. E SAW CUT & REMOVE CURB F RELOCATE POWER POLE G 15' TALL FULL CUT OFF LIGHTS H CONSTRUCT UNDERGROUND ELECTRIC I TRANSIT STATION J LANDSCAPE AREA K EX. OVERHEAD ELECTRIC TO BE RELOCATED UNDERGROUND L OGE TRANSMISSION LINE TOWER 	VICTORY FAMILY CHURCH 2025 PARKING 4343 N. FLOOD AVENUE, NORMAN, OK
DEMOLITION NOTES 1. CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, AND LOCAL CODES FOR THE DEMOLITION AND DISPOSAL OF ALL MATERIALS.	GRAPHIC SCALE IN FEET
 CRAFTON, TULL AND ASSOCIATES, INC. SHALL WATERIALS. CRAFTON, TULL AND ASSOCIATES, INC. SHALL NOT BE LIABLE FOR ANY DEMOLITION PROCEDURES, SCHEDULING, AND DISPOSAL OF ANY MATERIALS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE THAT ADJACENT PROPERTY IS NOT DAMAGED AND IS ACCESSIBLE AT ALL TIMES, AND THAT CONSTRUCTION DOES NOT CREATE ANY HARDSHIP TO LAND OWNERS ADJACENT TO THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. 	No. Description Date
 6. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. OMA 7. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. 8. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. REPAIRS SHALL RESTORE DAMAGED ITEMS TO EQUAL OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND NOTIFYING CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START. 9. ALL TRENCHES AND/OR EXCAVATED AREAS SHALL BE FILLED/TESTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT. 10. IF SEPTIC TANKS ARE FOUND PRESENT WITHIN THE LIMITS OF DISTURBANCE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS. 11. IF THE CONTRACTOR FINDS ANY UNDERGROUND TANKS ON SITE THEY SHALL CONTACT THE ENGINEER IMMEDIATELY. 	In a document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 24608600 ISUE DATE: 03/27/2025 CONTACT: G. TODD BRAWLEY @C by: @C Date: @ 2025 Crafton, Tull & Associates, Inc. SITE PLAN C_1001 C_

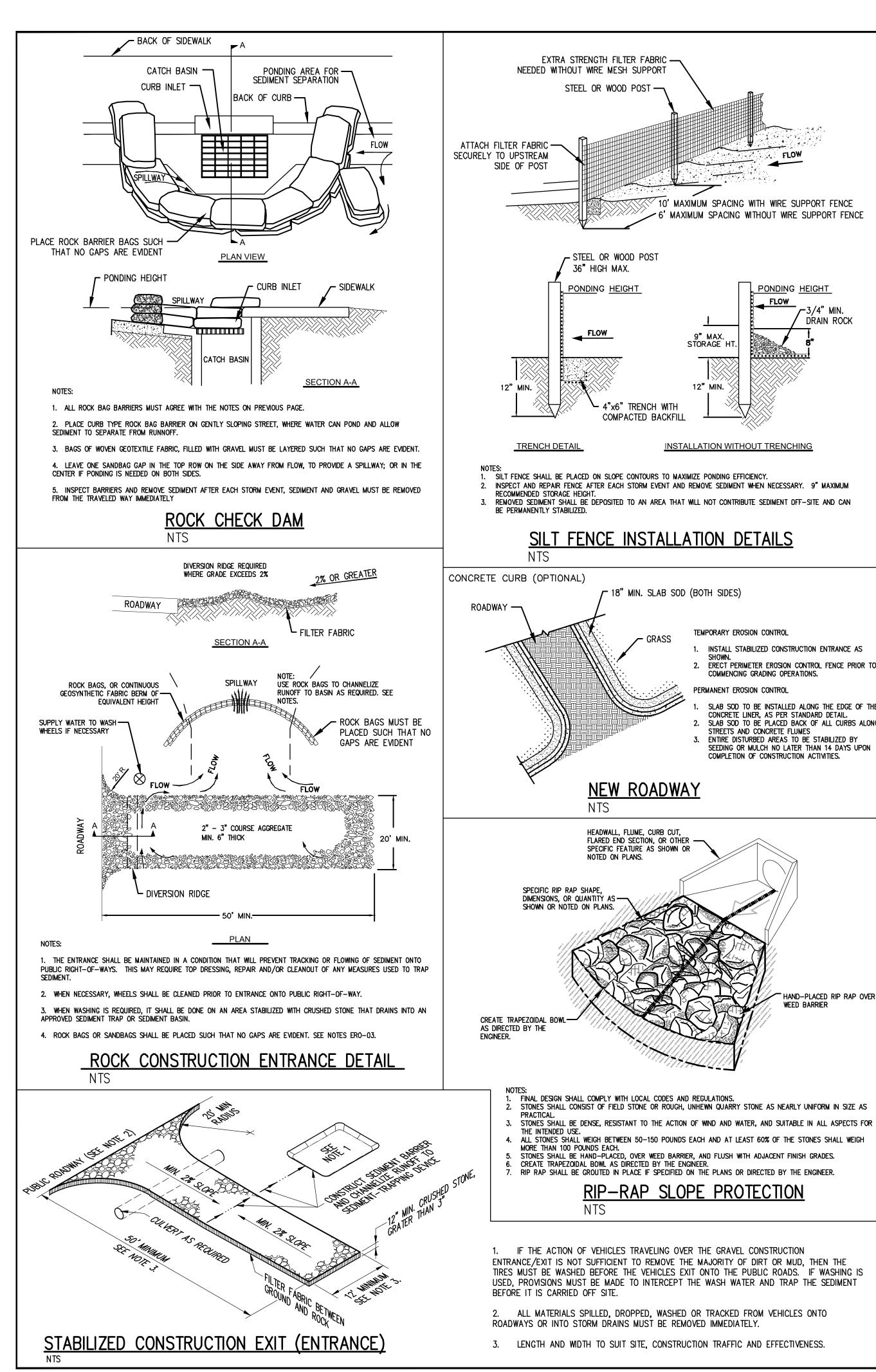


VING: GN24608.00, ACTORF AM UNRAGTR, CTURE (CIVIL) DWG VGRADING = J UT: GRADING PLAN AT 30 VFD: AG7449, 3, 36/2005.612 PM UT: DPY: AM INA GRADIN, 27225,525, AM PHOTTD 31110 ALD ON TARD (









HAND-PLACED RIP RAP OVER WEED BARRIER

2. SLAB SOD TO BE PLACED BACK OF ALL CURBS ALONG AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING 3. ENTIRE DISTURBED AREAS TO BE STABILIZED BY SEEDING OR MULCH NO LATER THAN 14 DAYS UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

PHASE I

PHASE II

CONTENTS.

OWNER.

OF CONSTRUCTION.

PAVE SITE.

INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS.

CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.

START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.

INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.

INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.

COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.

PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING

(SITE MAP), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN

THE SPECIFICATIONS SECTION 312800 (EROSION AND SEDIMENTATION CONTROL), PLUS THE

PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN

ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY

BEST MANAGEMENT PRACTICES (BMP) AND CONTROLS SHALL CONFORM TO FEDERAL,

CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS

THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS

DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES

STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AND APPLICABLE CONTRACTOR

SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR

SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY

CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE

GENERAL CONTRACTOR SHALL DENOTE THE TEMPORARY PARKING AND STORAGE

(SWPPP) AND THE STATE OF XXXXXXXXXX NATIONAL POLLUTANT DISCHARGE

ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION

REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IF SITE IS STABILIZED

CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

THROUGHOUT THE CONSTRUCTION PROCESS.

CONSTRUCT THE SILT FENCES ON THE SITE.

CLEAR AND GRUB THE SITE.

TEMPORARILY SEED DENUDED AREAS.

INSTALL INLET PROTECTION DEVICES.

INSTALL RIP-RAP AROUND OUT STRUCTURES.

BEGIN GRADING THE SITE.

PREPARE SITE FOR PAVING.

GENERAL EROSION NOTES:

MAINTAINED ON THE SITE AT ALL TIMES.

REQUIRED BY THE GENERAL PERMIT.

PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND

HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEER CONSULTANT TO PERFORM INSPECTION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING

WASH, CONCRETE WASH-OUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS

IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR

INSTALLATION OF THE FOLLOWING: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL

- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS

2. ERECT PERIMETER EROSION CONTROL FENCE PRIOR TO

SLAB SOD TO BE INSTALLED ALONG THE EDGE OF THE

AREA, AND AREA FOR PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE AND EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.

DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM BEING BLOWN OR WASHED OFF-SITE.

ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN AND SWPPP SHALL BE INITIATED AS SOON AS POSSIBLE.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS SHALL BE TEMPORARY SEEDED.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.

O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.

ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH THE GENERAL PERMIT.

SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

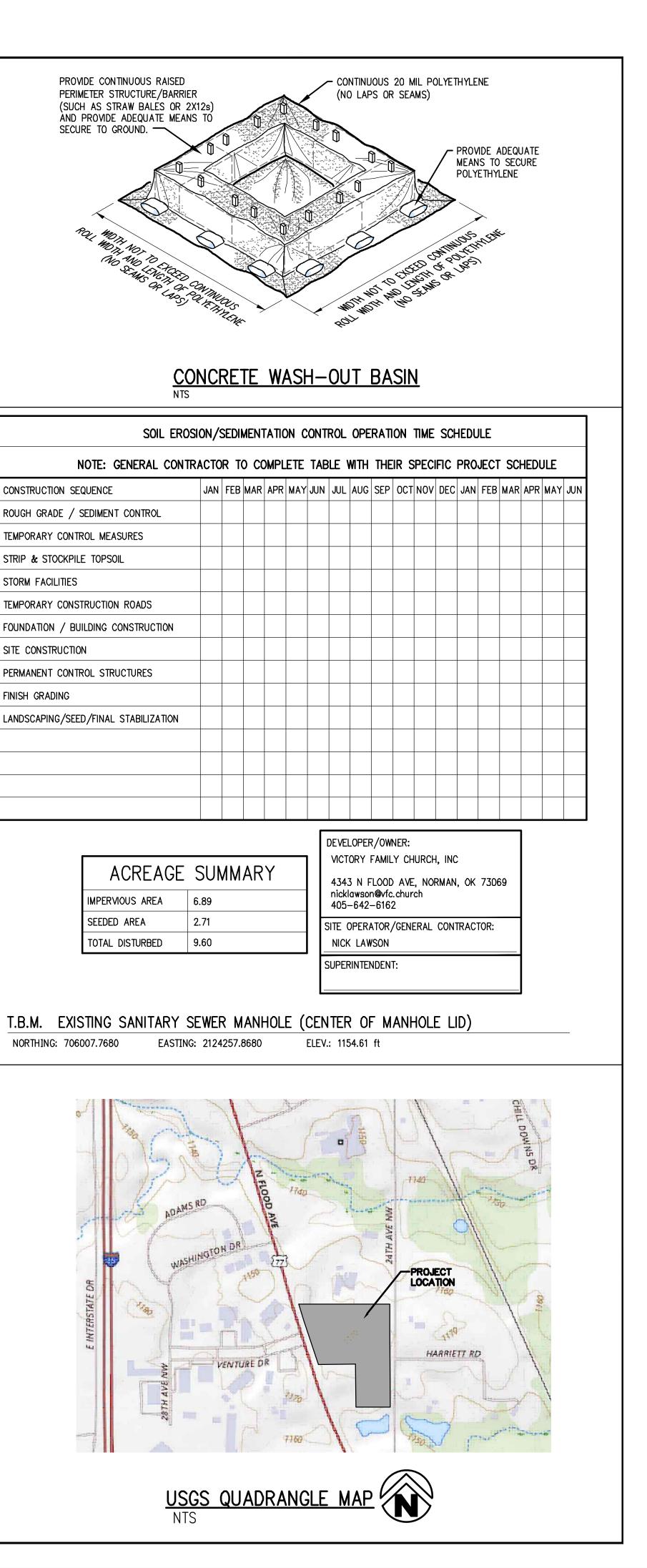
DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.

ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

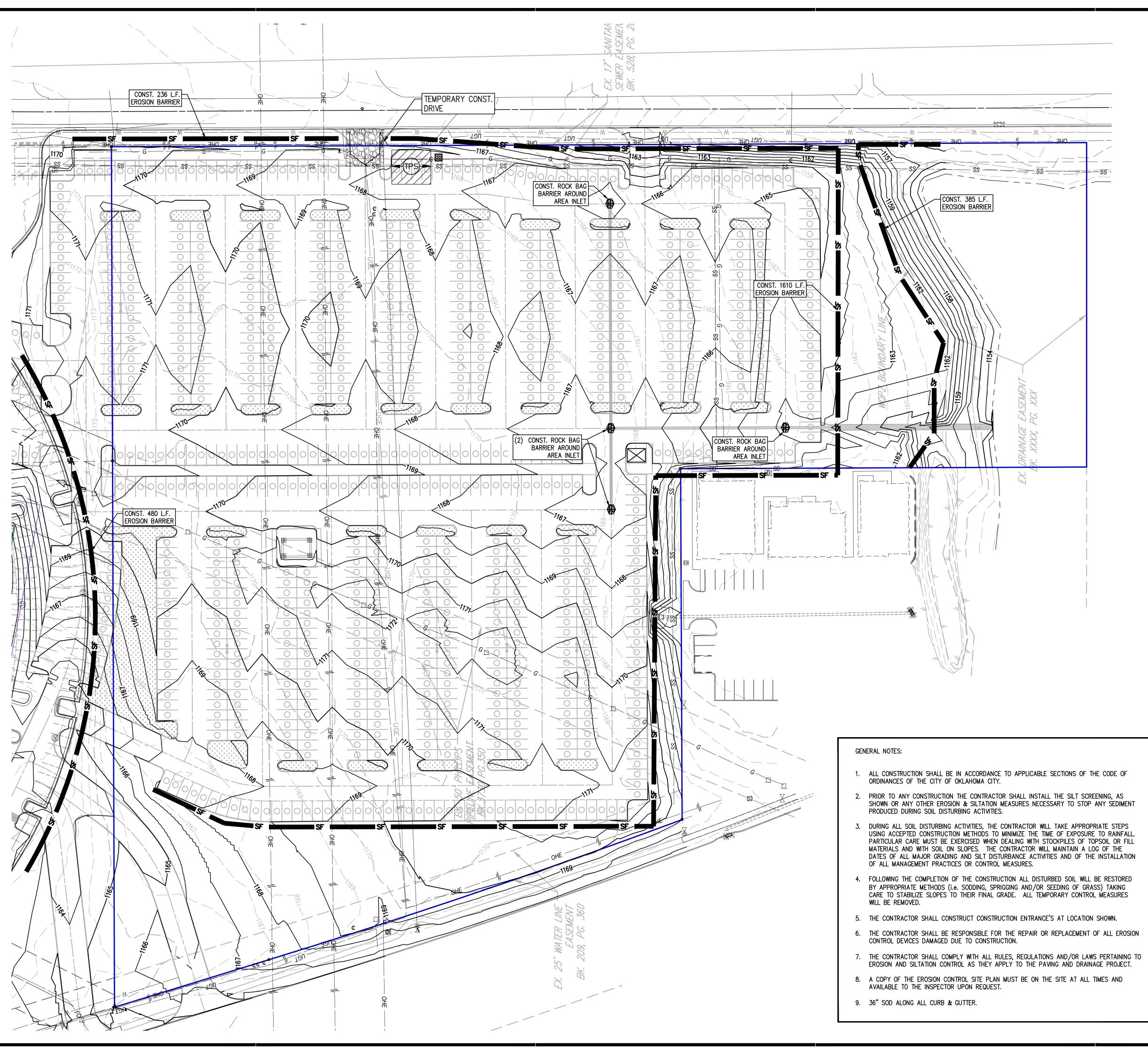
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ACREAGE	Sl
IMPERVIOUS AREA	6.89
SEEDED AREA	2.71
TOTAL DISTURBED	9.60

NORTHING: 706007.7680



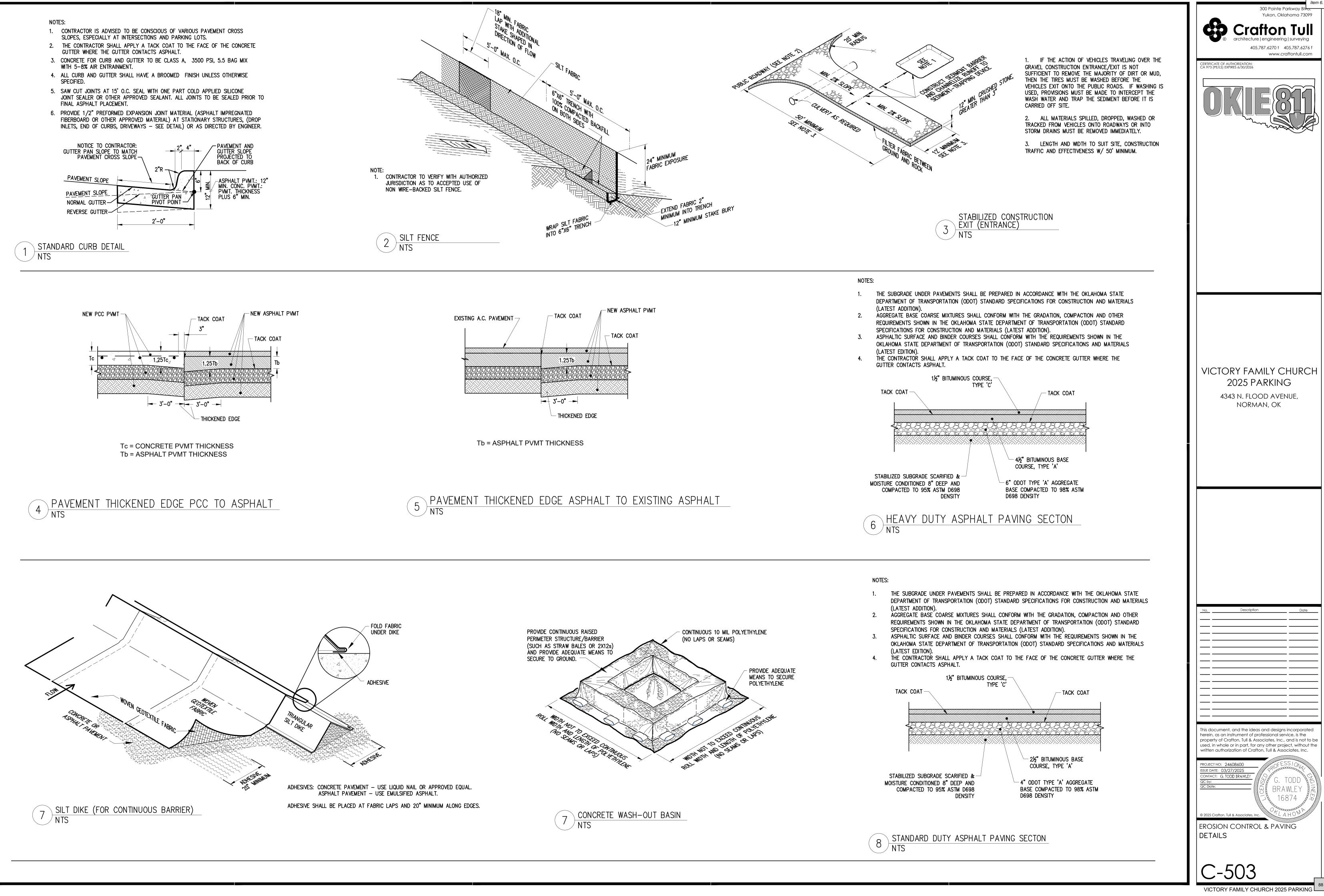
	Ifton Tull e engineering surveying .787.6270 t 405.787.6276 f www.craftontull.com
CERTIFICATE OF AUTHORIZATION: CA 973 (PE/LS) EXPIRES 6/30/2026	www.craftontull.com
	6011
2025 P/ 4343 N. FLO	MILY CHURCH ARKING OD AVENUE, AN, OK
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PROJECT NO: 24608600 ISSUE DATE: 03/27/2025 CONTACT: G, TODD BRAWLEY QC by: QC Date:	G. TODD BRAWLEY 16874
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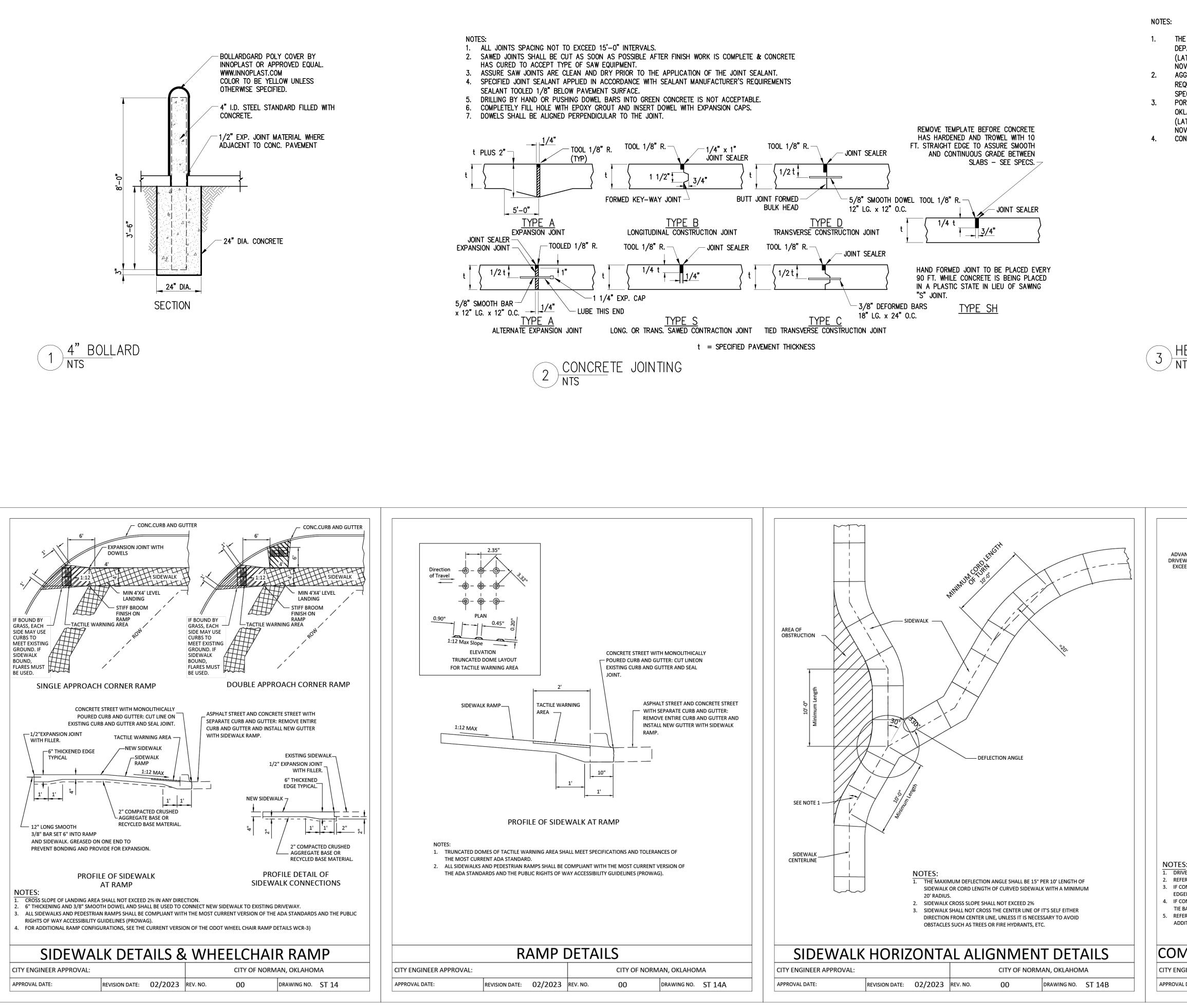


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O EXCAVATION OF NE-CALL AND WIT 405-5 LEGEND	R CONSTRUCTION IN THIS AREA W HOUT CONTACTING PHILLIPS 66 P LLC (P66PL) AT 550-2733 - RANDY LINGLE	E(S) THOUT PELINE	s an instrument of professional service, is the of Crafton, Tull & Associates, Inc., and is not to be whole or in part, for any other project, without the iuthorization of Crafton, Tull & Associates, Inc.
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Item 6.

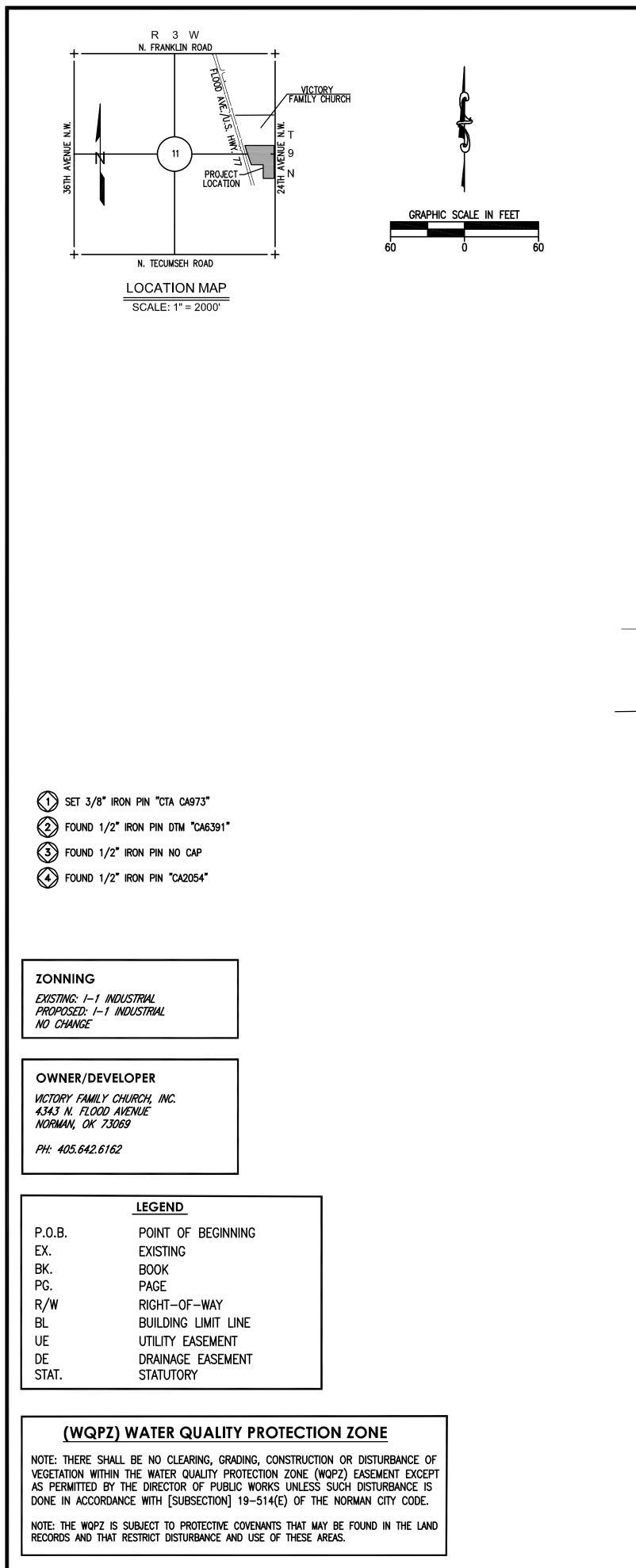
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	Item 6.
	300 Pointe Parkway Blva. Yukon, Oklahoma 73099 Crafton Tull architecture engineering surveying 405.787.6270 t 405.787.6276 f www.craftontull.com
HE SUBGRADE UNDER PAVEMENTS SHALL BE PREPARED IN ACCORDANCE WITH THE OKLAHOMA STATE EPARTMENT OF TRANSPORTATION (ODOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS ATEST ADDITION) AND THE REPORT OF GEOTECHNICAL INVESTIGATION BY REDROCK CONSULTING, DATED OVEMBER 30, 2015. GGREGATE BASE COARSE MIXTURES SHALL CONFORM WITH THE GRADATION, COMPACTION AND OTHER EQUIREMENTS SHOWN IN THE OKLAHOMA STATE DEPARTMENT OF TRANSPORTATION (ODOT) STANDARD PECIFICATIONS FOR CONSTRUCTION AND MATERIALS (LATEST ADDITION). ORTLAND CEMENT CONCRETE PAVEMENT SHALL CONFORM WITH THE REQUIREMENTS SHOWN IN THE KLAHOMA STATE DEPARTMENT OF TRANSPORTATION (ODOT) STANDARD SPECIFICATIONS AND MATERIALS ATEST EDITION) AND THE REPORT OF GEOTECHNICAL INVESTIGATION BY REDROCK CONSULTING, DATED OVEMBER 30, 2015. ONCRETE TO BE MINIMUM 4,000 P.S.I., 28 DAYS 7" PCC PAVEMENT 4,500 COMPRESSIVE STRENGTH @ 28 DAYS 44 @ 14" OCEW SUPPORTED ON BAR CHAIRS	
STABILIZED SUBGRADE SCARIFIED 8" DEEP AND COMPACTED TO 95% ASTM D698 DENSITY A" ODOT TYPE 'A' ACCREGATE BASE COMPACTED TO 98% ASTM D698 DENSITY	
HEAVY DUTY CONCRETE PAVING SECTON	VICTORY FAMILY CHURCH 2025 PARKING 4343 N. FLOOD AVENUE, NORMAN, OK
AANCE SIDEWALK SLOPES FOR EWAY CROSSINGS SHALL NOT EED 8.33% RUNNING SLOPES R/W LINE SAW OR SCORE 1" CONTRACTION JOINTS AT 5' INTERVALS SAW CONST. JT. SAW SAW SAW SAW SAW SAW SAW SAW SAW SAW	No. Description Date
ES: IVEWAY SHALL BE DESIGNED TO ACCOMMODATE LARGEST TRUCK TO USE IT. FER TO DRIVE WAY APPROACH STANDARDS ST-24 THROUGH ST-27. CONCRETE DRIVEWAY ABUTS AN ASPHALT STREET, SAWING AND SEALING WILL NOT BE REQUIRED. CONCRETE DRIVEWAY WILL NEED TO BE GED. CONCRETE DRIVEWAY ABUTS A CONCRETE STREET THE DRIVEWAY SHALL BE CONNECTED TO THE STREET USING A KEYWAY OR TIE BARS. THE BARS STALL BE "A BARS 18" LONG REQUIRED AT 24" CENTERS. FERNECT FLE CURRENT VERSION OF THE CITY'S COMPREHENSIVE TRANSPORTATION PLAN AND ENGINEERING DESIGN CRITERIA FOR DIDITIONAL INFORMATION AND DRIVEWAY REQUIREMENTS. WMMERCIAL DRIVEWAY, TYPE II DRIVEWAY APPROACH IGINEER APPROVAL: CITY OF NORMAN, OKLAHOMA AL DATE: REVISION DATE: 02/2023 REV. NO. 00 DRAWING NO.	This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 24608600 ISSUE DATE: 03/27/2025 CONTACT: G. TODD GC by: G. TODD WILLEY G. TODD WILLEY BRAWLEY WILLEY ABOVE WILLEY C. TODD WILLEY
	C-504

VICTORY FAMILY CHURCH 2025 PARKING



STORM DRAINAGE DETENTION FACILITY EASEMENT

DRAINAGE DETENTION FACILITY EASEMENTS ARE HERE BY ESTABLISHED AS SHOWN TO PROVIDE FOR DETENTION OF STORM SURFACE WATER AND CONSTRUCTED AS APPROVED BY THE CITY ENGINEER. ALL MAINTENANCE WITHIN THE DRAINAGE DETENTION FACILITY EASEMENT SHALL BE THE RIGHT, DUTY AND RESPONSIBILITY OF THE PROPERTY OWNER(S) IN THE PLAT OF VICTORY FAMILY CHURCH 2024 PARKING; HOWEVER, IF MAINTENANCE IS NEGLECTED OR SUBJECT TO OTHER UNUSUAL CIRCUMSTANCES AND IS DETERMINED TO BE A HAZARD OR THREAT TO PUBLIC SAFETY BY THE CITY ENGINEER, CORRECTIVE MAINTENANCE MAY BE PERFORMED BY TH GOVERNING JURISDICTION WITH COSTS ASSESSED TO AND BORN UPON SAID PROPERTY OWNER(S). OFFICIALS REPRESENTING THE PUBLIC WORKS DEPARTMENT SHALL HAVE THE RIGHT TO ENTER UPON THE EASEMENT FOR PURPOSES OF PERIODIC INSPECTION AND/OR CORRECTIVE MAINTENANCE OF THE FACILITY. UPON RECEIVING WRITTEN APPROVAL FROM THE PUBLIC WORKS DEPARTMENT, PROPÉRTY OWNER(S) MAY CONSTRUCT IMPROVEMENTS WITHIN THE EASEMENT, PROVIDED THE IMPROVEMENT DOES NOT INTERFERE WITH THE FUNCTION OF THE DETENTION FACILITY.

LINE TABLE			
LINE #	LENGTH	DIRECTION	
L1	17.00'	589° 44' 49"W	

PROP. !

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SIDEWALK

EX. UNDERGROUND

TELEPHONE

OR

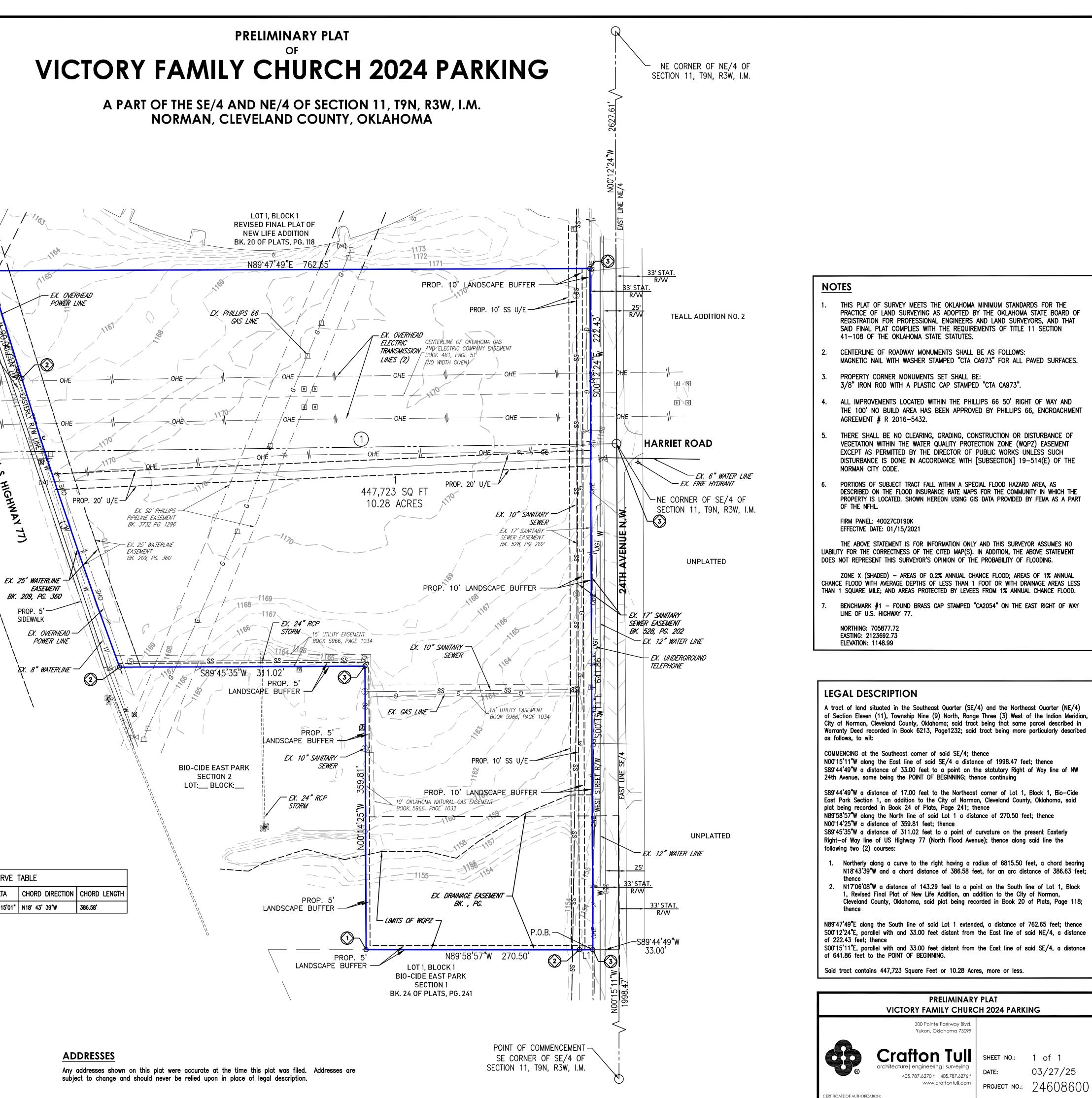
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CURVE #	LENGTH	RADIUS	DELTA	CHO
C1	386.63'	6815.50'	003 15'01"	N18



File Attachments for Item:

7. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF PP-2425-11: CONSIDERATION OF A PRELIMINARY PLAT SUBMITTED BY VICTORY FAMILY CHURCH, INC. (CRAFTON TULL) FOR VICTORY FAMILY CHURCH 2024 PARKING (FORMERLY BIO-CIDE EAST PARK ADDITION) FOR 10.28 ACRES OF PROPERTY GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 04/10/2025

- **REQUESTER:** Victory Family Church, Inc. (Crafton Tull)
- **PRESENTER:** Ken Danner, Subdivision Development Manager
- ITEM TITLE: CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF PP-2425-11: CONSIDERATION OF A PRELIMINARY PLAT SUBMITTED BY VICTORY FAMILY CHURCH, INC. (CRAFTON TULL) FOR VICTORY FAMILY CHURCH 2024 PARKING (FORMERLY BIO-CIDE EAST PARK ADDITION) FOR 10.28 ACRES OF PROPERTY GENERALLY LOCATED ON THE EAST SIDE OF N. FLOOD AVE., NORTH OF THE INTERSECTION OF N. FLOOD AVE. AND 24TH AVE. N.W.

ITEM: Consideration of a Preliminary Plat for <u>VICTORY FAMILY CHURCH 2024 PARKING</u> (FORMERLY BIO-CIDE EAST PARK ADDITION).

LOCATION: Generally located one-half mile north of West Tecumseh Road between Flood Avenue (U. S. Highway 77) and 24th Avenue N.W.

INFORMATION:

- 1. <u>Owner</u>. Victory Family Church, Inc.
- 2. <u>Developer</u>. Victory Family Church, Inc.
- 3. Engineer. Crafton Tull.

HISTORY:

- 1. <u>August 23, 1960</u>. City Council adopted Ordinance No. 1246 annexing this property into the Norman Corporate City limits without zoning.
- 2. <u>November 22, 1960.</u> City Council adopted Ordinance No. 1265 placing this property in the A-2, Rural Agricultural District.
- 3. <u>September 9, 1982</u>. Planning Commission, on a vote of 8-1, recommended to City Council that this property be placed in I-1, Light Industrial District and removed from A-2, Rural Agricultural District.

- 4. <u>September 9, 1982</u>. Planning Commission, on a vote of 9-0, approved the preliminary plat for Pepco Industrial Park Addition.
- October 5, 1982. City Council adopted Ordinance No. O-8283-17 placing this property in I-1, Light Industrial District and removing it from A-2, Rural Agricultural District.
- 6. <u>August 13, 2015</u>. Planning Commission, on a vote of 8-0, recommended to City Council that the preliminary plat for Bio-Cide East Park Addition be approved.
- 7. <u>September 22, 2015</u>. City Council approved the preliminary plat for Bio-Cide East Park Addition.

IMPROVEMENT PROGRAM:

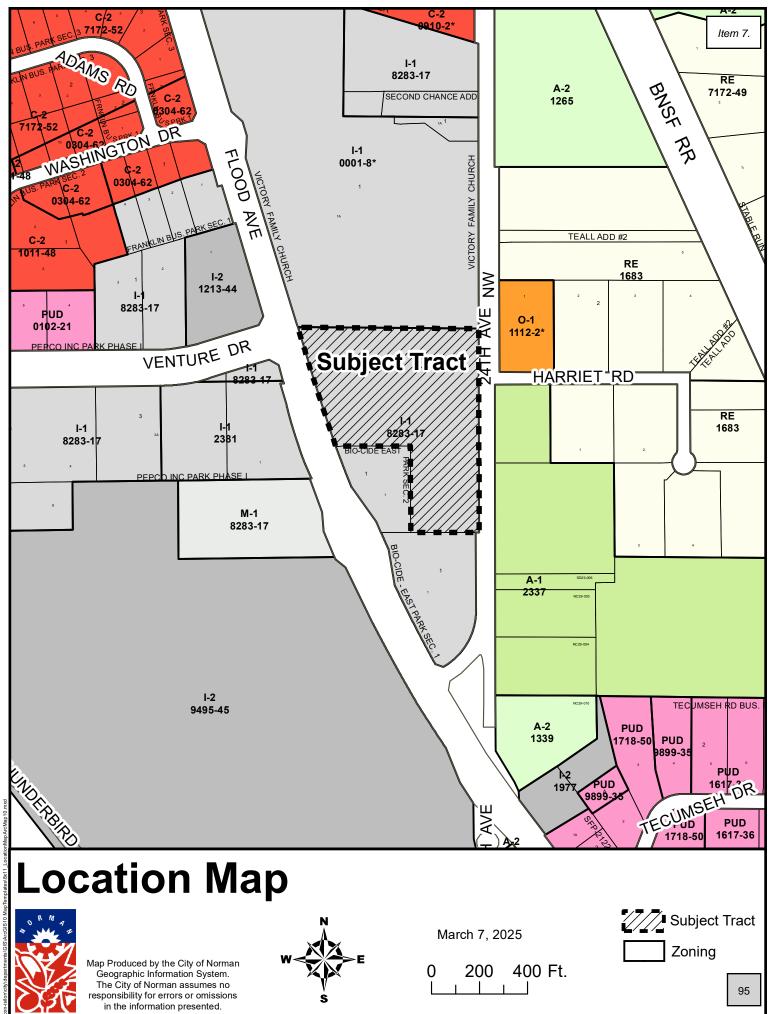
- 1. <u>Fire Hydrants.</u> Fire hydrants will be installed in accordance with approved plans and City standards if required.
- 2. <u>Permanent Markers.</u> Permanent markers will be installed prior to filing of the final plat.
- 3. <u>Sanitary Sewers</u>. Sanitary sewer is existing.
- Sidewalks. Sidewalks will be constructed adjacent to North Flood Avenue. Sidewalks are not required adjacent to 24th Avenue N.W. since it is classified as a collector street.
- 5. <u>Drainage</u>. Storm water will be conveyed to a privately-maintained detention facility to control discharge into Little River.
- 6. <u>Streets</u>. North Flood Avenue and 24th Avenue N.W. street paving are existing.
- 7. <u>Water</u>. There are existing 12-inch (12") water lines adjacent to North Flood Avenue and 24th Avenue N.W.

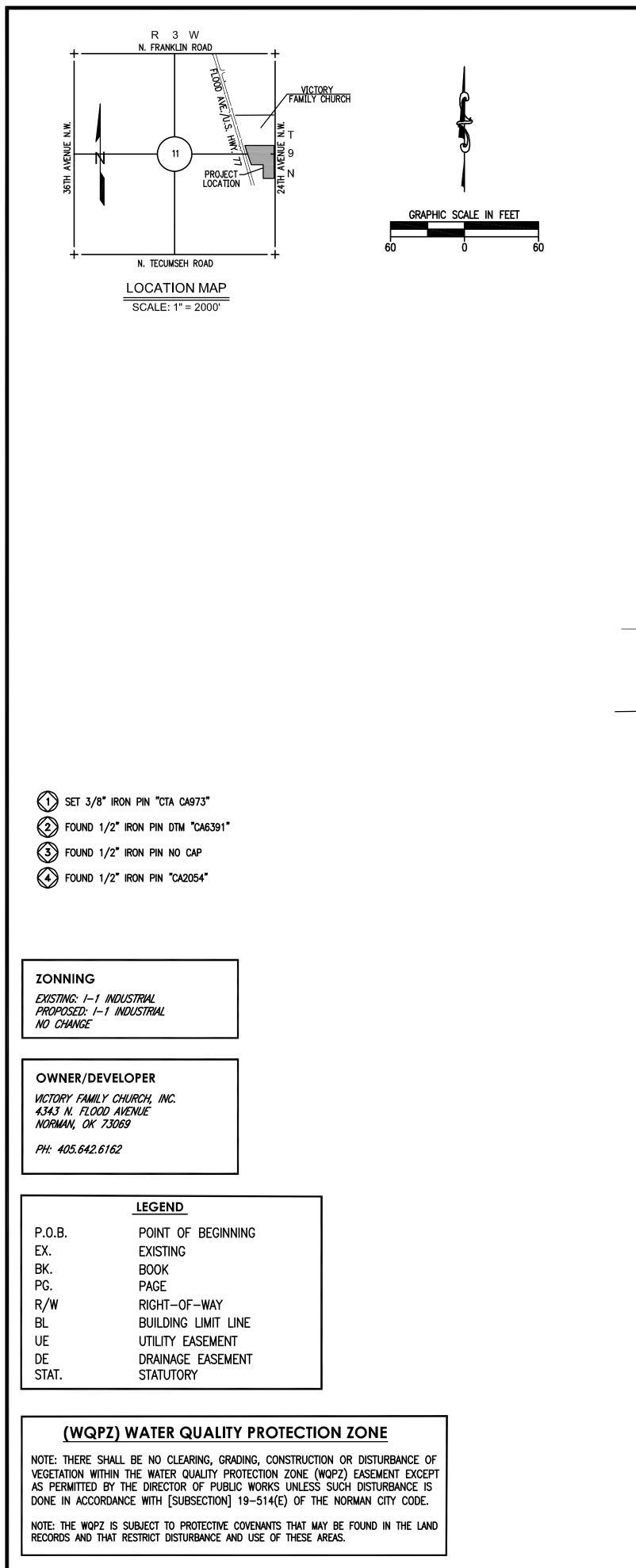
PUBLIC DEDICATIONS:

- 1. <u>Easements</u>. All required easements will be dedicated to the City on the final plat.
- 2. <u>Rights-of-Way.</u> Street rights-of-way will be dedicated to the City on the final plat.
- 3. <u>WQPZ</u>. There is Water Quality Protection Zone on a portion of the property. There are no plans to build structures within this area. Covenants will be required with final platting.

- **SUPPLEMENTAL MATERIAL:** Copies of a location map, site plan, and preliminary plat are included in the Agenda Book.
- **STAFF COMMENTS AND RECOMMENDATION:** This property consists of approximately 10.28 acres with a proposed parking lot. The church proposes to expand construction of buildings on their north site. As a result, parking will be removed from that area of the new structure. In addition, it should be noted the drive serving the church north of Venture Drive will be relocated to align with Venture Drive for a future traffic signal. Staff recommends approval of the preliminary plat for Victory Family Church 2024 Parking (formerly known as Bio-Cide East Park Addition).
- **ACTION NEEDED:** Recommend approval or disapproval of the preliminary plat for Victory Family Church 2024 Parking to City Council.

ACTION TAKEN: _____





STORM DRAINAGE DETENTION FACILITY EASEMENT

DRAINAGE DETENTION FACILITY EASEMENTS ARE HERE BY ESTABLISHED AS SHOWN TO PROVIDE FOR DETENTION OF STORM SURFACE WATER AND CONSTRUCTED AS APPROVED BY THE CITY ENGINEER. ALL MAINTENANCE WITHIN THE DRAINAGE DETENTION FACILITY EASEMENT SHALL BE THE RIGHT, DUTY AND RESPONSIBILITY OF THE PROPERTY OWNER(S) IN THE PLAT OF VICTORY FAMILY CHURCH 2024 PARKING; HOWEVER, IF MAINTENANCE IS NEGLECTED OR SUBJECT TO OTHER UNUSUAL CIRCUMSTANCES AND IS DETERMINED TO BE A HAZARD OR THREAT TO PUBLIC SAFETY BY THE CITY ENGINEER, CORRECTIVE MAINTENANCE MAY BE PERFORMED BY TH GOVERNING JURISDICTION WITH COSTS ASSESSED TO AND BORN UPON SAID PROPERTY OWNER(S). OFFICIALS REPRESENTING THE PUBLIC WORKS DEPARTMENT SHALL HAVE THE RIGHT TO ENTER UPON THE EASEMENT FOR PURPOSES OF PERIODIC INSPECTION AND/OR CORRECTIVE MAINTENANCE OF THE FACILITY. UPON RECEIVING WRITTEN APPROVAL FROM THE PUBLIC WORKS DEPARTMENT, PROPÉRTY OWNER(S) MAY CONSTRUCT IMPROVEMENTS WITHIN THE EASEMENT, PROVIDED THE IMPROVEMENT DOES NOT INTERFERE WITH THE FUNCTION OF THE DETENTION FACILITY.

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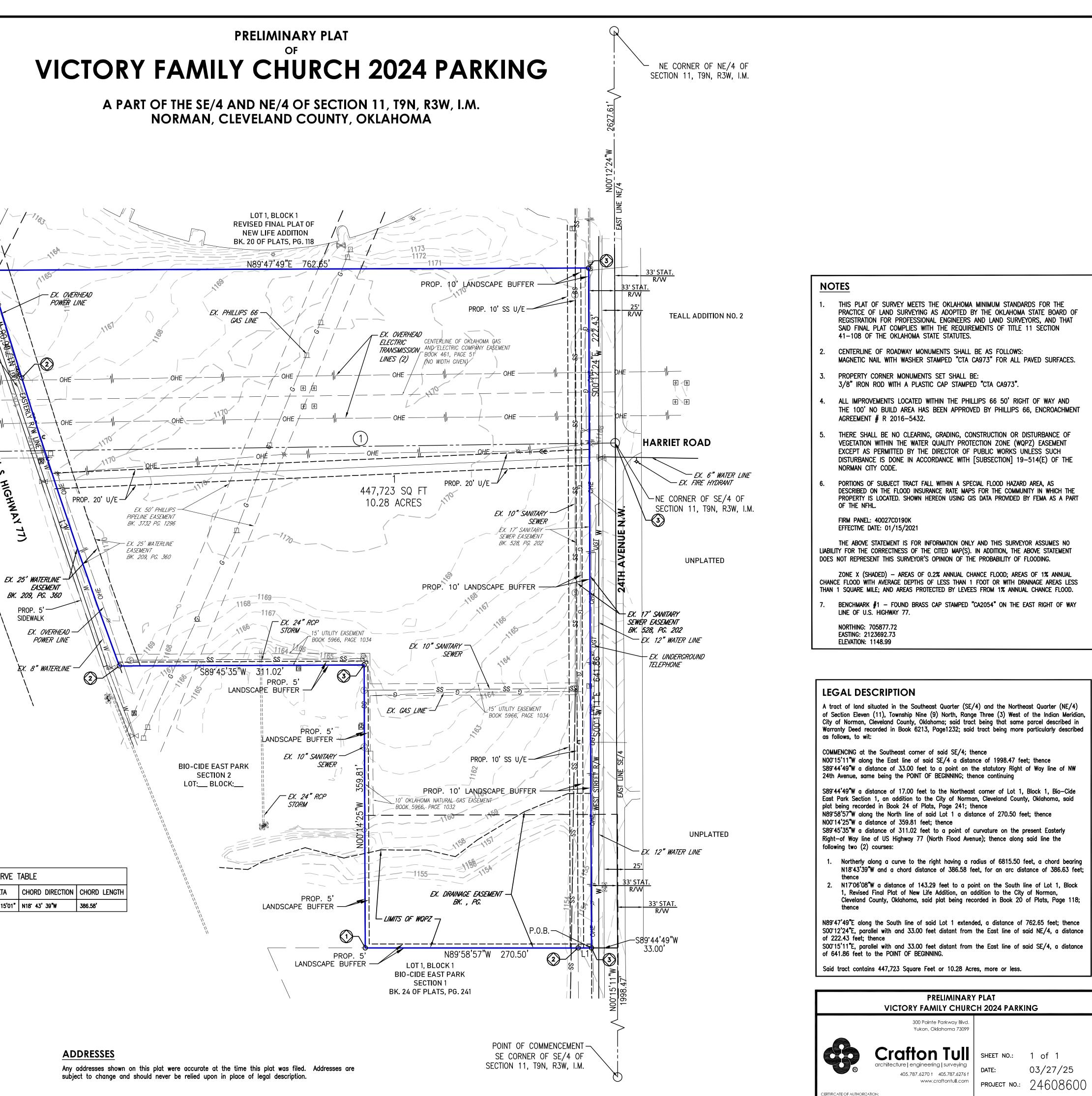
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CURVE #	LENGTH	RADIUS	DELTA	CHO
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NO

NO



CITY OF NORMAN Development Review Form Transportation Impacts

DATE: April 4, 2025

STAFF REVIEW BY: David R. Riesland, P.E. City Transportation Engineer

 PROJECT NAME:
 Victory Family Church Preliminary Plat
 PROJECT TYPE:
 Church

 Owner/Designer:
 Victory Family Church
 Engineer:
 Crafton Tull
 Traffic Engineer:
 Crafton Tull

SURROUNDING ENVIRONMENT (Streets, Developments)

The east side of Flood Avenue near this site is Institutional to the north and Industrial to the south. The west side of Flood Avenue near this site is Commercial to the north and Industrial and Institutional to the south. The project maintains two access points along Flood Avenue and takes two new access points along 24th Avenue NW. Flood Avenue and 24th Avenue NW are the main north/south roadways.

ALLOWABLE ACCESS:

All proposed access points comply with the City's Engineering Design Criteria.

EXISTING STREET CHARACTERISTICS (Lanes, Speed Limits, Sight Distance, Medians)

<u>Flood Avenue</u>: 5 lanes (existing/future). Speed Limit - 55 mph. No sight distance problems. Center turn lane. <u>24th Avenue NW</u>: 2 lanes existing/3 lanes future. Speed Limit - 50 mph. No sight distance problems. Future center turn lane.

YES

YES 🗆

ACCESS MANAGEMENT CODE COMPLIANCE:

Proposed number of access points for the development is in compliance with what is allowed in the subdivision regulations.

TRIP GENERATION

	Total	In	Out
Weekday	0	0	0
A.M. Peak Hour	0	0	0
P.M. Peak Hour	0	0	0

TRANSPORTATION IMPACT STUDY REQUIRED?

Victory Family Church desires to expand their facilities in a future phase. Those plans involve facility construction where parking currently exists. This phase of the project is to relocate parking in anticipation of future construction. The modified parking also includes the elimination of a driveway onto Flood Avenue just to the north of the Venture Drive intersection and the relocation of this driveway to intersect Flood Avenue opposite Venture Drive in support of a future signalization project with the Oklahoma Department of Transportation. No negative impacts are anticipated.

RECOMMENDATION: APPROVAL DENIAL N/A STIPULATIONS

Recommendations for Approval refer only to the transportation impact and do not constitute an endorsement from City Staff.

Victory Family Church desires to expand their facilities in a future phase. Those plans involve facility construction where parking currently exists. This phase of the project is to relocate parking in anticipation of future construction. The modified parking also includes the elimination of a driveway onto Flood Avenue just to the north of the Venture Drive intersection and the relocation of this driveway to intersect Flood Avenue opposite Venture Drive in support of a future signalization project with the Oklahoma Department of Transportation. No negative impacts are anticipated. The plans for the parking expansion mesh very well with the plans for the future traffic signal.

File Attachments for Item:

8. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-36: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO GRANT SPECIAL USE FOR A BAR, LOUNGE, OR TAVERN IN THE C-3, INTENSIVE COMMERCIAL DISTRICT FOR LOTS ONE (1), TWO (2), IN BLOCK THIRTY-TWO (32), OF THE ORIGINAL TOWN OF NORMAN OF THE INDIAN MERIDIAN, CLEVELAND COUNTY, OKLAHOMA; AND PROVIDING FOR THE SEVERABILITY THEREOF. (101 S. PORTER AVE.)



CITY OF NORMAN, OK STAFF REPORT

- **MEETING DATE:** 04/10/2025
- **REQUESTER:** Eric & Robin Frederickson
- **PRESENTER:** Kelly Abell, Planner I
- ITEM TITLE: CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-36: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTION 36-201 OF THE CODE OF THE CITY OF NORMAN SO AS TO GRANT SPECIAL USE FOR A BAR, LOUNGE, OR TAVERN IN THE C-3, INTENSIVE COMMERCIAL DISTRICT FOR LOTS ONE (1), TWO (2), IN BLOCK THIRTY-TWO (32), OF THE ORIGINAL TOWN OF NORMAN OF THE INDIAN MERIDIAN, CLEVELAND COUNTY, OKLAHOMA; AND PROVIDING FOR THE SEVERABILITY THEREOF. (101 S. PORTER AVE.)

APPLICANT:	Eric and Robin Frederickson
LOCATION:	101 S. Porter Ave.
WARD:	4
	Rezoning from C-3, Intensive Commercial District, to C-3, Intensive Commercial District, with Special Use for a Bar, Lounge or Tavern.
LAND USE PLAN DESIGNATION:	Commercial
GROWTH AREA DESIGNATION:	Current Urban Service Area

BACKGROUND: The subject property is currently zoned C-3, Intensive Commercial District, and located within the Porter Corridor Zoning Overlay District. Use of a bar, lounge, or tavern is not permitted in C-3 unless a Special Use is granted. The structure is situated in an active commercial corridor at the intersection of Porter Avenue and Main Street. Previously a restaurant, the structure is currently vacant. The applicant intends to lease approximately 1,400 square-feet on this site. The Site Plan submitted demonstrates the lease area. The most southern portion of the structure(s) is not included in this request. The request does include the outdoor seating area, as shown on the Site Plan. The applicant intends to remodel/redesign the

structure to operate a social club with an outdoor patio seating area, a full bar, and food service. The Special Use will apply only to the leased portion of the property, not the property in full. The applicant has been informed the project must meet all pertinent Zoning Ordinance requirements for commercial projects, including landscaping, exterior appearance requirements, and commercial outdoor lighting standards.

PROCEDURAL REQUIREMENTS:

Greenbelt was not a requirement.

GREENBELT COMMISSION MEETING:

This property is already platted, therefore

PRE-DEVELOPMENT: PD25-09, March 27, 2025

The meeting began at 5:30 PM, with one neighbor who had questions regarding building code and occupant loads. The applicant explained that they intend to lease a 1,400 sf area for a social club, further describing it as a lounge with a bar and food service. There was discussion of the buildings' age, 100-years, and how the Americans with Disabilities Act (ADA) applies. Staff advised the neighbor contact the Permit Services Manager, Development Services, to answer those questions. There were no further concerns.

BOARD OF PARKS COMMISSIONERS: This project was not required to present at the Board of Parks Commissioners because it is not a residential preliminary plat.

ZONING ORDINANCE CITATION: A Special Use request shall be reviewed and evaluated on the following criteria according to Sec. 36-560, Special Uses:

- 1. Conformance with applicable regulations and standards established by the Zoning Regulations.
- 2. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk and scale, setbacks and open spaces, landscaping and site development, and access and circulation features.
- 3. Potentially unfavorable effects or impacts on other existing or permitted uses on abutting sites, to the extent such impacts exceed those which reasonably may result from use of the site by a permitted use. (NOTE: Throughout this Section, "Permitted Use" means any use authorized as a matter of right under the applicable zoning district.)
- 4. Modifications to the site plan which would result in increased compatibility, or would mitigate potentially unfavorable impacts, or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals, and general welfare.
- 5. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed "Special Use" and other uses authorized and anticipated in the area, considering existing zoning and land uses in the area.

6. That any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses and to ensure compatibility of the proposed "Special Use" with existing or permitted uses in the surrounding area.

36-539 PCZOD, Porter Corridor Zoning Overlay District

- (a) Purpose. The purpose of this overlay district is to provide regulations that create a buffer between commercial and residential areas that protects both land use types yet encourages redevelopment of the Porter Avenue Corridor based on the vision and policies of the Plan whose boundaries are shown on exhibit A, dated July 1, 2010, attached hereto and made a part hereof.
- (b) Intent. Porter Avenue is a central corridor within the City. It has historical significance as a former U.S. highway and for decades was the City's thriving automotive business corridor. Porter Avenue is also a gateway to downtown Norman and has the opportunity to become an extension of Main Street. Due to Porter Avenue's significance and potential for redevelopment within the City, the PCZOD, Porter Corridor Zoning Overlay District is established. It is intended as a first step to provide the following for properties at the commercial/residential edge:
 - (1) Balance business interests along the corridor with the interests of adjacent neighborhoods;
 - (2) Maintain the integrity and improve viability of the adjacent residential neighborhoods;
 - (3) Emphasize pedestrian movement and pedestrian orientation of streets and buildings;
 - (4) Ensure that new development and expansion of existing commercial and institutional uses are compatible with existing uses, with the historic scale and character of the area, and with adjacent residential uses;
 - (5) Maintain and enhance property values.

STAFF ANALYSIS: The applicant proposes to refurbish the interior and complete exterior modifications to the approximately 1,400 square-foot area of lease space; the applicant requests to create a bar with food service and an outdoor seating area. To facilitate the installation of the outdoor seating area, the on-site off-street parking facilities will be removed. Within the C-3 District, on-site parking is not required for commercial projects per 36-548 (C). Further, the removal of the parking along the property's frontage emphasizes pedestrian movement and orientation through the site. As outlined in the Porter Corridor Overlay Zoning District, the intent of redevelopment in this area is to "Emphasize pedestrian movement and pedestrian orientation of streets and buildings." The project area is surrounded by restaurants, bars, and retail, including Blue Bonnet, Prohibition Lounge, Lazy Circles Brewing, and various commercial and retail establishments. The development of an additional bar or lounge would be compatible with the existing uses. The proposed development will offer additional landscaping planters, including an outdoor seating area, with decorative fencing. The applicant intends to meet all applicable regulations and standards for the Special Use of Bar, Lounge or Tavern, and any additional recommendations deemed necessary from the Planning Commission or City Council.

ALTERNATIVES/ISSUES:

IMPACTS: The surrounding area currently has access to City utilities, including water, sewer, and stormwater, making the subject property suitable for redevelopment. No adverse impacts are anticipated.

OTHER AGENCY COMMENTS

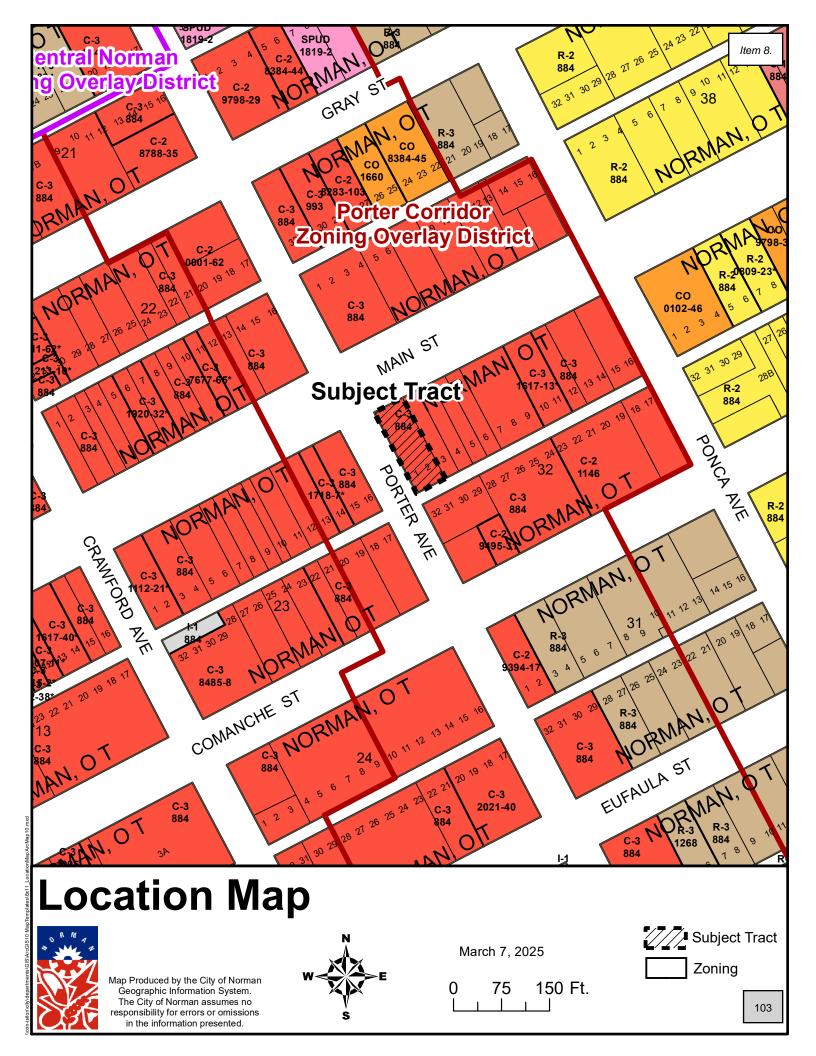
FIRE DEPARTMENT AND BUILDING PERMIT REVIEW: Items regarding fire hydrants, fire and building codes will be considered at the building permit stage.

PUBLIC WORKS: The subject property is platted as part of the Norman Old Town plat.

TRAFFIC ENGINEER: The City Traffic Engineer stated a Traffic Impact Analysis (TIA) was not required for this proposed development.

UTILITIES: Water and sewer are adjacent to the existing property and available for connection.

<u>CONCLUSION</u>: Staff forwards this request for Special Use of a Bar, Lounge or Tavern, in the C-3, Intensive Commercial District, and Ordinance O-2425-36 for consideration by Planning Commission and recommendation to City Council.



SITE PLAN

Address: 101 S PORTER AVE NORMAN, OK 73071

Assessor's Parcel Number: NC29AAAOT 32 1001

Parcel Area: 0.42 Acres

Land Use: COMMERCIAL MISCELLANEOUS COMMERCIAL

Zoning: /

*

Legal Description: NORMAN OT LOTS 1 AND 2 BLK 32

Subdivision: NORMAN ORIGINAL TOWN

Owner: EDO, LLC

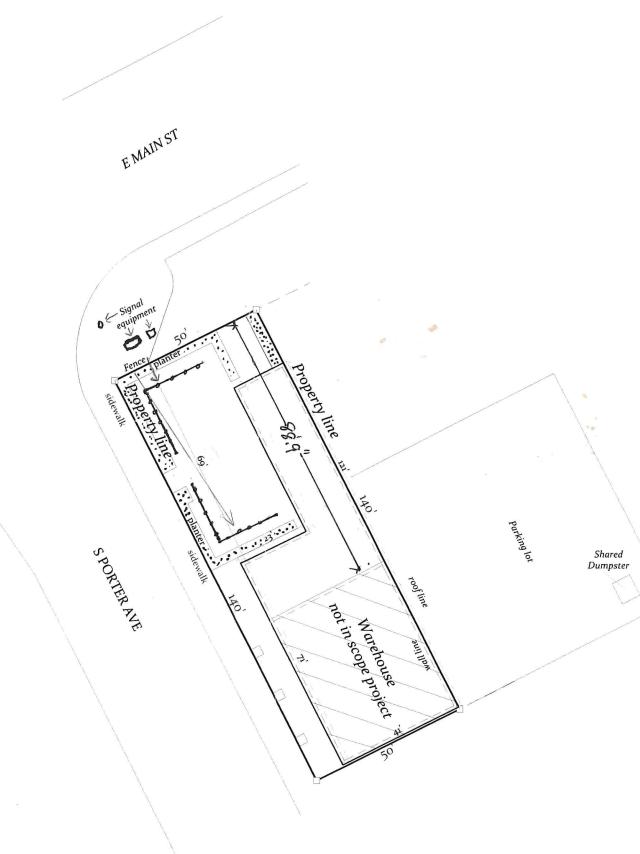
Paper size & scale: 11"x 17"; 1"=30'

Date: February, 2025



1. Parking is off site. 2. The agreement is in place, and the dumpster is shared with existing businesses.

The planter is 2 feet inside the patio perimeter. Planter is 3 feet wide.
 A proposed fence is located 2 feet to the inside of the planter.





Item 8.

Legend

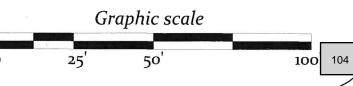
- Property line
 - Topography line Wall line
- Roof line
- Retaining wall
- ----- Fence
 - Proposed addition

Disclaimer

This is not a Legal Survey, not is it intended to be or replace one.

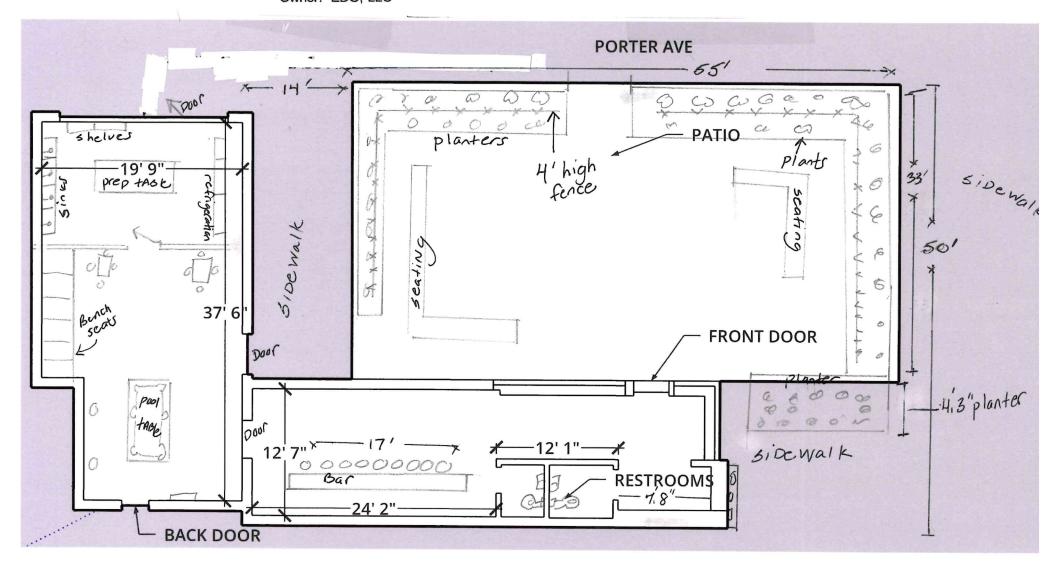
These measurements are approxi for illustrative purposes only.

This work product represents only. This work product represents only generalized location of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, objects or boundary.



FLOOR PLAN for Maximillian's Social Club

Address: 101 S. Porter Assessor's Parcel Number: NC29AAAOT Norman, Ok 73071 Parcel Area: 1.64 Acres Owner: EDO, LLC



Applicant: Eric and Robin Frederickson

Project Location: 101 S. Porter Ave.

Case Number: PD25-09

<u>Time:</u> 5:30 p.m.

Applicant Representative:

Eric Frederickson Robin Frederickson

Attendees:

Bob Thompson, Neighbor Erica Bird, Planning Commission Chairman

City Staff:

Kelly Abell, Planner I

Application Summary:

The applicant submitted a request for a Special Use permit for a bar, lounge or tavern located at 101 S. Porter Ave. This special use permit would allow the applicant to lease a portion of the structure and construct a social club with an outdoor patio seating area, a full bar, and food service.

Neighbor's Comments/Concerns/Responses:

The meeting began at 5:30 PM, with one neighbor who had questions regarding building code and occupant loads. The applicant explained that they intend to lease a 1,400 sf area for a Social Club, further describing it as a lounge with a bar and food service. There was discussion of the buildings' age, 100-years, and how the Americans with Disabilities Act (ADA) applies. Staff advised the neighbor contact the Permit Services Manager, Development Services, to answer those questions. There were no further concerns.

File Attachments for Item:

<u>9. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT</u> <u>AND/OR POSTPONEMENT OF ORDINANCE O-2425-31</u>: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING CHAPTER 20 ("LICENSES AND OCCUPATIONS"), SECTION 20-1910 ("PREMISES MAINTAINED"), AND TO SECTIONS THROUGHOUT CHAPTER 30 ("SUBDIVISIONS") OF THE CODE, IN ORDER TO UPDATE DEFINITIONS, TO UPDATE AND ADD REFERENCES TO THE CITY'S COMPREHENSIVE PLAN, TO REQUIRE A 30-ACRE MINIMUM LOT SIZE FOR RURAL CERTIFICATES OF SURVEY WITH AN URBAN RESERVE LAND USE DESIGNATION, TO UPDATE LANGUAGE TO ENSURE COMPATABILITY WITH THE AIM NORMAN COMPREHENSIVE PLAN AND ITS VARIOUS INCLUDED MASTER PLANS, AND TO CLARIFY OR CORRECT LANGUAGE, INCLUDING FOR ERRORS; AND PROVIDING FOR THE SEVERABILITY THEREOF.

The applicant requests postponement to the May 8, 2025 Planning Commission Meeting.



CITY OF NORMAN, OK STAFF REPORT

- **MEETING DATE:** 04/10/2025
- **REQUESTER:** City of Norman
- **PRESENTER:** Lora Hoggatt, Planning Services Manager
- **ITEM TITLE:** CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION. AMENDMENT AND/OR POSTPONEMENT OF ORDINANCE 0-2425-31: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN. AMENDING CHAPTER OKLAHOMA, 20 ("LICENSES AND OCCUPATIONS"), SECTION 20-1910 ("PREMISES MAINTAINED"), AND TO SECTIONS THROUGHOUT CHAPTER 30 ("SUBDIVISIONS") OF THE CODE. IN ORDER TO UPDATE DEFINITIONS. TO UPDATE AND ADD REFERENCES TO THE CITY'S COMPREHENSIVE PLAN, TO REQUIRE A 30-ACRE MINIMUM LOT SIZE FOR RURAL CERTIFICATES OF SURVEY WITH AN URBAN RESERVE LAND USE DESIGNATION, TO UPDATE LANGUAGE TO ENSURE COMPATABILITY WITH THE AIM NORMAN COMPREHENSIVE PLAN AND ITS VARIOUS INCLUDED MASTER PLANS, AND TO CLARIFY OR CORRECT LANGUAGE, INCLUDING FOR ERRORS; AND PROVIDING FOR THE SEVERABILITY THEREOF.

The applicant requests postponement to the May 8, 2025 Planning Commission Meeting. File Attachments for Item:

10. CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-32: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTIONS THROUGHOUT CHAPTER 36 ("ZONING") OF THE CODE, IN ORDER TO UPDATE DEFINITIONS, TO UPDATE AND ADD REFERENCES TO THE CITY'S COMPREHENSIVE PLAN, TO UPDATE LANGUAGE TO ENSURE COMPATABILITY WITH THE AIM NORMAN COMPREHENSIVE PLAN AND ITS VARIOUS INCLUDED MASTER PLANS, AND TO CLARIFY OR CORRECT LANGUAGE, INCLUDING FOR ERRORS; AND PROVIDING FOR THE SEVERABILITY THEREOF.

The applicant requests postponement to the May 8, 2025 Planning Commission Meeting.



CITY OF NORMAN, OK STAFF REPORT

- **MEETING DATE:** 04/10/2025
- **REQUESTER:** City of Norman
- **PRESENTER:** Lora Hoggatt, Planning Services Manager
- ITEM TITLE: CONSIDERATION OF APPROVAL, ACCEPTANCE, REJECTION, AMENDMENT, AND/OR POSTPONEMENT OF ORDINANCE O-2425-32: AN ORDINANCE OF THE COUNCIL OF THE CITY OF NORMAN, OKLAHOMA, AMENDING SECTIONS THROUGHOUT CHAPTER 36 ("ZONING") OF THE CODE, IN ORDER TO UPDATE DEFINITIONS, TO UPDATE AND ADD REFERENCES TO THE CITY'S COMPREHENSIVE PLAN, TO UPDATE LANGUAGE TO ENSURE COMPATABILITY WITH THE AIM NORMAN COMPREHENSIVE PLAN AND ITS VARIOUS INCLUDED MASTER PLANS, AND TO CLARIFY OR CORRECT LANGUAGE, INCLUDING FOR ERRORS; AND PROVIDING FOR THE SEVERABILITY THEREOF.

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