



CITY OF NORMAN, OK BOARD OF ADJUSTMENT MEETING

Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Wednesday, October 25, 2023 at 4:30 PM

AGENDA

It is the policy of the City of Norman that no person or groups of persons shall on the grounds of race, color, religion, ancestry, national origin, age, place of birth, sex, sexual orientation, gender identity or expression, familial status, marital status, including marriage to a person of the same sex, disability, relation, or genetic information, be excluded from participation in, be denied the benefits of, or otherwise subjected to discrimination in employment activities or in all programs, services, or activities administered by the City, its recipients, sub-recipients, and contractors. In the event of any comments, complaints, modifications, accommodations, alternative formats, and auxiliary aids and services regarding accessibility or inclusion, please contact the ADA Technician at 405-366-5424, Relay Service: 711. To better serve you, five (5) business days' advance notice is preferred.

ROLL CALL

Members: Brad Worster, Micky Webb, Curtis McCarty, Ben Bigelow, James Howard

MINUTES

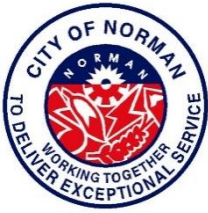
1. Consideration of Approval, Rejection, Amendment, and/or Postponement of the Minutes of the September 27, 2023 Board of Adjustment Meeting.

ACTION ITEMS

2. Consideration of Approval, Rejection, Amendment, and/or Postponement of BOA-2324-6: Dr. Greg Emmert requests a Variance to 36-547(a)(1), the exterior appearance requirements, for property located at 1134 McGee Avenue.

MISCELLANEOUS COMMENTS

ADJOURNMENT



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 10/25/2023

REQUESTER:

PRESENTER: Roné Tromble, Admin. Tech. IV

ITEM TITLE: Consideration of Approval, Rejection, Amendment, and/or Postponement of the Minutes of the September 27, 2023 Board of Adjustment Meeting.

ACTION NEEDED: Approve, reject, amend, or postpone the September 27, 2023 Minutes.



CITY OF NORMAN, OK BOARD OF ADJUSTMENT MEETING

Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Wednesday, September 27, 2023 at 4:30 PM

MINUTES

The Board of Adjustment of the City of Norman, Cleveland County, Oklahoma, met in Regular Session in City Council Chambers of the Norman Municipal Complex, 201 West Gray Street, at 4:30 p.m., on Wednesday, September 27, 2023. Notice and agenda of said meeting were posted in the Municipal Building at the above address and at [Agendas/Minutes | City of Norman Oklahoma Meetings \(municodemeetings.com\)](#) in excess of 24 hours prior to the beginning of the meeting.

Chair Curtis McCarty called the meeting to order at 4:32 p.m.

ROLL CALL

PRESENT

Brad Worster
Micky Webb
Ben Bigelow
James Howard
Curtis McCarty

A quorum was present.

STAFF PRESENT

Lora Hoggatt, Planning Services Manager
Roné Tromble, Admin. Tech. IV
Beth Muckala, Assistant City Attorney
AshLynn Wilkerson, Assistant City Attorney

MINUTES

1. Consideration of Approval, Rejection, Amendment, and/or Postponement of the Minutes of the August 23, 2023 Board of Adjustment Meeting.

Motion made by Webb, seconded by Bigelow, to approve the Minutes of the August 23, 2023 Board of Adjustment meeting as presented.

Voting Yea: Worster, Webb, Bigelow, Howard, McCarty

The motion to approve the August 23, 2023 Board of Adjustment Minutes as presented passed by a vote of 5-0.

*

ACTION ITEMS

2. Consideration of Approval, Rejection, Amendment, and/or Postponement of BOA-2324-6: Dr. Greg Emmert requests a Variance to 36-547(a)(1), the exterior appearance requirements, for property located at 1134 McGee Drive.

ITEMS SUBMITTED FOR THE RECORD:

1. Location Map
2. Staff Report
3. Application with Attachments

PRESENTATION BY STAFF:

Lora Hoggatt reviewed the staff report, a copy of which is filed with the minutes.

Mr. Bigelow asked what the City defines as masonry materials. Ms. Hoggatt responded that it “includes brick, slump-faced or decorative concrete masonry unit, stucco, concrete (poured in place, pre-cast or tilt-wall) with aggregate, sandblasted or textured coating finish, stone, rock or other structural material of equal durability and architectural effect. Smooth-faced CMU” is not permitted.

PRESENTATION BY THE APPLICANT: None

AUDIENCE PARTICIPATION:

Jim Seifried, 1723 Lancaster Circle, commented that the homes in the area are brick. He believes Dr. Emmert will do a good job with the structure. His concern is that the prior owner of the building told him that he didn't use the upstairs of the building because of mold. His concern is with mold being released into the neighborhood during the construction process, as well as humans and animals using the building. He was also concerned that telephone poles will be blocking some of the parking spaces. He noted that he is not objecting to the proposal.

Mr. Howard asked if he had any concerns about the exterior finishes. Mr. Seifried said his only concern is with mold being released if they have to break into the building. He believes the materials will be a compliment to the current facility, as long as they get rid of the cinder block.

DISCUSSION AND ACTION BY THE BOARD OF ADJUSTMENT:

Mr. McCarty commented that EIFS is a replacement for stucco. He added that the Board doesn't have any control over any demo or the mold.

Mr. Bigelow asked what the actual finish is going to be. Mr. Worster said he thought metal panels was their first preference, followed by EIFS.

Mr. McCarty suggested postponement and ask the applicant to come with a presentation.

Mr. Howard asked for clarification from staff on EIFS. Ms. Hoggatt responded that EIFS is allowed. The applicant initially wasn't sure what exterior finish they wanted to use.

Ms. Muckala recommended getting input from the applicant. She would not recommend approving EIFS, since it is an approved material, and no variance would be needed for that finish.

Motion made by Bigelow, seconded by Howard, to postpone the Variance to the exterior appearance requirements in BOA-2324-6 to the October 25, 2023 meeting.

Voting Yea: Worster, Bigelow, Howard, McCarty

Voting Nay: Webb

The motion to postpone BOA-2324-6 to the October 25, 2023 meeting passed by a vote of 4-1.

*

3. Consideration of Approval, Rejection, Amendment, and/or Postponement of BOA-232 Item 1.

7: Steven R. Center, Jr. requests a Special Exception to permit a mobile home to serve as a temporary second dwelling to relieve a medical hardship for property located at 10009 143rd Avenue N.E.

ITEMS SUBMITTED FOR THE RECORD:

1. Location Map
2. Staff Report
3. Application with Attachments

PRESENTATION BY STAFF:

Lora Hoggatt reviewed the staff report, a copy of which is filed with the minutes.

PRESENTATION BY THE APPLICANT: Steven Center, the applicant, was available to answer questions but did not make a presentation.

AUDIENCE PARTICIPATION: None

DISCUSSION AND ACTION BY THE BOARD OF ADJUSTMENT:

Motion made by Bigelow, seconded by Howard, to approve the special exception to allow a mobile home to serve as a temporary second dwelling to relieve a medical hardship, as requested in BOA-2324-7.

Voting Yea: Worster, Webb, Bigelow, Howard, McCarty

The motion to approve BOA-2324-7 as requested was adopted by a vote of 5-0.

Mr. McCarty noted there is a ten-day appeal period before the decision is final.

*

4. Consideration of Approval, Rejection, Amendment, and/or Postponement of BOA-222 Item 1.
11: James Hardwick requests Special Exception to permit the extension of a district where the boundary line of a district divides a lot in single ownership as shown of record (36-570(g)(2)(a)) for Lot One, Block One, of Amended Plat of SOUTH LAKE ADDITION Section 7, located at 1900 Ann Branden Boulevard.

This item has been withdrawn by the applicant. No action is required.

MISCELLANEOUS COMMENTS

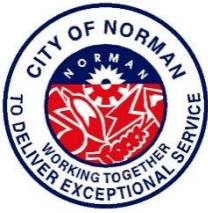
Ms. Muckala introduced AshLynn Wilkerson who will be the newest attorney in their office.

Ms. Muckala provided a brief update on the NextEra appeal which was filed in District Court. The City has filed an answer, and the record on appeal can now be finalized since the minutes have been approved; that should be filed this week.

ADJOURNMENT

There being no further business and no objection, the meeting adjourned at 4:55 p.m.

Secretary, Board of Adjustment



CITY OF NORMAN, OK STAFF REPORT

MEETING DATE: 10/25/2023

REQUESTER: Dr. Greg Emmert

PRESENTER:

ITEM TITLE: Consideration of Approval, Rejection, Amendment, and/or Postponement of BOA-2324-6: Dr. Greg Emmert requests a Variance to 36-547(a)(1), the exterior appearance requirements, for property located at 1134 McGee Avenue.

ACTION NEEDED: Approve, reject, amend, or postpone the Variance for BOA-2324-6.

Board of Adjustment
October 25, 2023
BOA-2324-6

STAFF REPORT

GENERAL INFORMATION

APPLICANT	Dr. Greg Emmert
LOCATION	1134 McGee Drive
ZONING	C-2, General Commercial District
REQUESTED ACTION	Variance to 36-547(a)(1), the exterior appearance requirements
SUPPORTING DATA	Location Map Application with attachments Site Plan

SYNOPSIS: The applicant requests a variance to the exterior materials requirement in C-2, General Commercial District, which requires 80% of all exterior walls, exclusive of windows, doors, walkway covers, etc., to be constructed using masonry materials. The applicant would like to build a building that includes other materials, such as painted EIFS and prefinished metal panels, with the following percentages of masonry on each facade:

- East (Building entrance and main façade) = 30% masonry
- North = 30% masonry
- West = 20% masonry
- South = 30% masonry

The application and the site plan are attached for your review. The building's exterior facades are included in your packet.

VARIANCE CRITERIA PER SECTION 570(k):

A variance from the terms of this ordinance shall not be granted by the Board of Adjustment unless and until:

- (1) An applicant shall submit to the Board of Adjustment a written application indicating:
 - (a) That special conditions and circumstances exist that are peculiar to the land, structure, or building involved and are not applicable to other lands, structures, or buildings in the same district;

- (b) That the literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this ordinance;
- (c) That the special conditions and circumstances do not result from the actions of the applicant;
- (d) That granting the variances requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structure, or buildings in the same district;

No non-conforming use of neighboring lands, structures, or buildings in the same district and no permitted use of lands, structures, or buildings in other districts shall be considered grounds for the issuance of a variance.

Before any VARIANCE can be granted, the Board shall make a finding that the four requirements have been met by the applicant. Please see the attached document from the applicant detailing their justification for their request.

DISCUSSION: To the north and west of the subject property is the parking lot for Bethel Student Ministry and Community Building. Farther to the north and west are apartment complexes. To the east is single-family residential and Bethel Baptist Church. To the south are commercial businesses. The applicant owns the commercial property next door to the south, the original building on this site was constructed more than 30 years ago. There have been additions for expansion over the years. The applicant intends to use similar exterior materials to those used by the adjacent properties.

This application was postponed from the September BOA meeting because the Board needed more information from the applicant. The applicant has provided additional details on the proposed materials and has confirmed a representative will be in attendance at the meeting.

CONCLUSION: Staff forwards this request for BOA-2324-6 to the Board of Adjustment for consideration.



Application for Variance or Special Exception
BOARD OF ADJUSTMENT

Case No. BOA 2

Item 2.

City of Norman Planning & Community Development - 225 N. Webster Avenue - Norman, OK 73069 — (405) 307-7112 Phone

APPLICANT(S) Dr. Greg Emmert	ADDRESS OF APPLICANT 1140 McGee Drive Norman, OK 73069
--	---

NAME AND PHONE NUMBER OF CONTACT PERSON(S) Josh Schoenborn, (405) 210-2330	EMAIL ADDRESS mcgeestreet@aol.com
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Legal Description of Property: (UNLESS THE LEGAL DESCRIPTION IS A SIMPLE LOT AND BLOCK, THE LEGAL DESCRIPTION MUST BE PROVIDED IN A WORD DOCUMENT EMAILED TO CURRENT.PLANNING@NORMANOK.GOV)

1134 McGee Drive.

Requests Hearing for:

- VARIANCE from Chapter 36, Section 36-547 (a) (1) Exterior Appearance
- SPECIAL EXCEPTION to _____

Detailed Justification for above request (refer to attached Review Procedures and justify request according to classification and essential requirements therefor):

Buildings immediately surrounding the new construction do not meet the rule set forth in zoning ordinance 36-547 (a)(1) for all new construction to have a minimum of 80% masonry coverage on all exterior facades. Of the immediate buildings, the structure to the south, owned by the applicant, is comprised of siding finish construction on all sides. The building to the due west is constructed of mix of EIFS and Masonry with EIFS being the dominant cladding. The multi-family residential buildings to the due north are constructed of a masonry-siding mix with the dominant finish being siding. Therefor a precedent is set within the context of the site for dominant materials other than masonry. This request is to ease the percentage of masonry required for the building to be an appropriate mix that compliments the existing buildings within the context of the site.

(Attach additional sheets for your justification, as needed.)

SIGNATURE OF PROPERTY OWNER(S):

Gregory Emmert

ADDRESS AND TELEPHONE:

1140 McGee Drive
 Norman, OK 73069
 (405) 329-0181

OFFICE USE ONLY

- Application
 Proof of Ownership
 Certified Ownership List and Radius Map
 Site Plan
 Filing Fee of \$ 200.00
 Emailed Legal Description in Word Document

- VARIANCE from Chapter 36,
 Section 547(a)(1)
- SPECIAL EXCEPTION to _____

Date Submitted:

9-1-2023

Checked by:

[Signature]



CERTIFICATION OF OWNERSHIP

Case No. BOA

Item 2.

City of Norman Planning & Community Development - 225 N. Webster Avenue - Norman, OK 73069 — (405) 307-7112 Phone

DATE: 9-1-23

I, GREGORY EMMERT, hereby certify and attest that I am the owner, or that I have an option to purchase the following described property in the City of Norman:

AND, I further certify and attest that this legal description describes accurately the property requested for rezoning.

AND, I accept billing for the cost of publishing legal notice in the NORMAN TRANSCRIPT.

Owner's Signature:

Gregory Emmert

Address:

1140 McTee Dr Norman, OK

Agent's Signature:

Address:

NOTARY

Before me, the undersigned, a Notary Public in and for the State of Oklahoma, on this 1 day of September, 2023, personally appeared Gregory Emmert, to me known to be the identical persons who executed the within and foregoing instrument and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.

(SEAL)



My commission expires: 05-31-2026

Kelly McNiell
Notary Public

I hereby accept this Certification of Ownership in lieu of a deed or other legal document showing proof of ownership.

Signature: _____

Title: _____

CITY OF NORMAN

McGEE STREET ANIMAL HOSPITAL

CANINE SPA

LEGAL DESCRIPTION

A Tract of land being a part of the South Half (S/2) of the North Half (N/2) of the Southeast Quarter (SE/4) of the Southeast Quarter (SE/4) of the Southwest Quarter (SW/4) of Section Thirty-six (36), Township Nine (9) North, Range Three (3) West of the Indian Meridian, Cleveland County, Oklahoma, described by metes and bounds as follow;

Commencing at the Southeast corner of the SW/4 of said Section 36;

Thence N00°16'18"W a distance of 395.04 feet to the SE corner of the

BETHEL BAPTIST WEST ADDITION and being the Point of Beginning;

Thence S89°44'47"W a distance of 230.00 feet;

Thence S00°16'18"E a distance of 65.00 feet;

Thence N89°44'47"E a distance of 230.00 feet;

Thence N00°16'18"W a distance of 65.00 feet to the Point of Beginning.

Subject to easements, rights of way and restrictive covenants of record.

(The basis of bearing for the Legal Description is grid bearing derived from the Oklahoma State Plane Coordinate System, NAD83, 1993 – Zone OK South)

LEGAL DESCRIPTION:

A Tract of land being a part of the South Half (S/2) of the North Half (N/2) of the Southeast Quarter (SE/4) of the Southeast Quarter (SE/4) of the Southwest Quarter (SW/4) of Section Thirty-six (36), Township Nine (9) North, Range Three (3) West of the Indian Meridian, Cleveland County, Oklahoma, described by metes and bounds as follow;

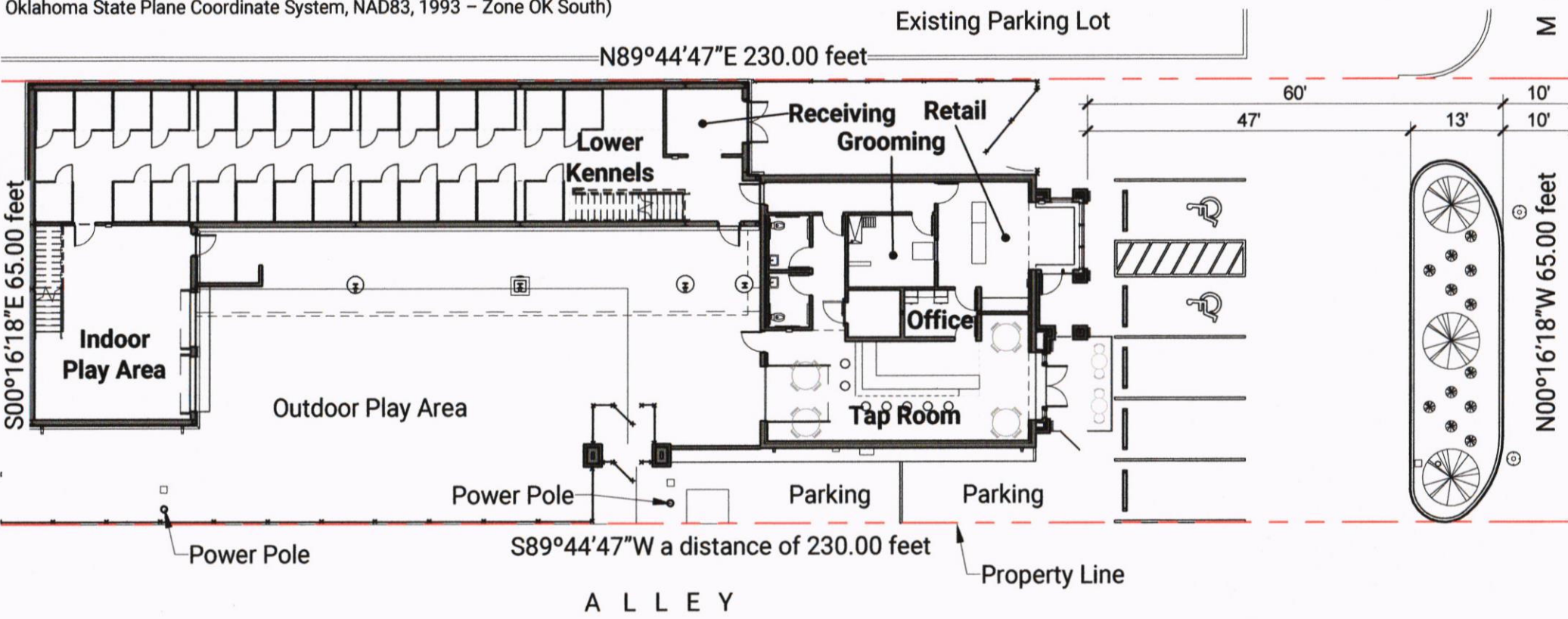
Commencing at the Southeast corner of the SW/4 of said Section 36;
 Thence N00°16'18"W a distance of 395.04 feet to the SE corner of the BETHEL BAPTIST WEST ADDITION and being the Point of Beginning;
 Thence S89°44'47"W a distance of 230.00 feet;
 Thence S00°16'18"E a distance of 65.00 feet;
 Thence N89°44'47"E a distance of 230.00 feet;
 Thence N00°16'18"W a distance of 65.00 feet to the Point of Beginning.
 Subject to easements, rights of way and restrictive covenants of record.
 (The basis of bearing for the Legal Description is grid bearing derived from the Oklahoma State Plane Coordinate System, NAD83, 1993 – Zone OK South)

ZONING DISTRICT (CITY OF NORMAN):
 C-2 GENERAL COMMERCIAL

TOTAL NET BUILDING AREA: 7,708 sq ft
TOTAL GROSS BUILDING FOOTPRINT: 5,478 sq ft
TOTAL LOT SIZE: 14,950 sq ft


Item 2.

MCGEE DRIVE



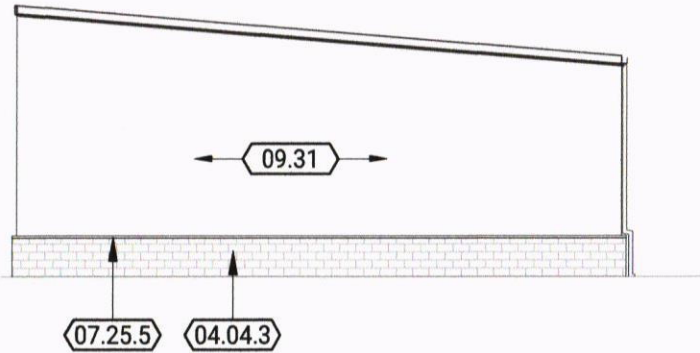
Plot Plan

PROJECT No. 2210S : Canine Spa
 SHEET ISSUE DATE : 09/01/23
 BENCHMARK : Variance Application

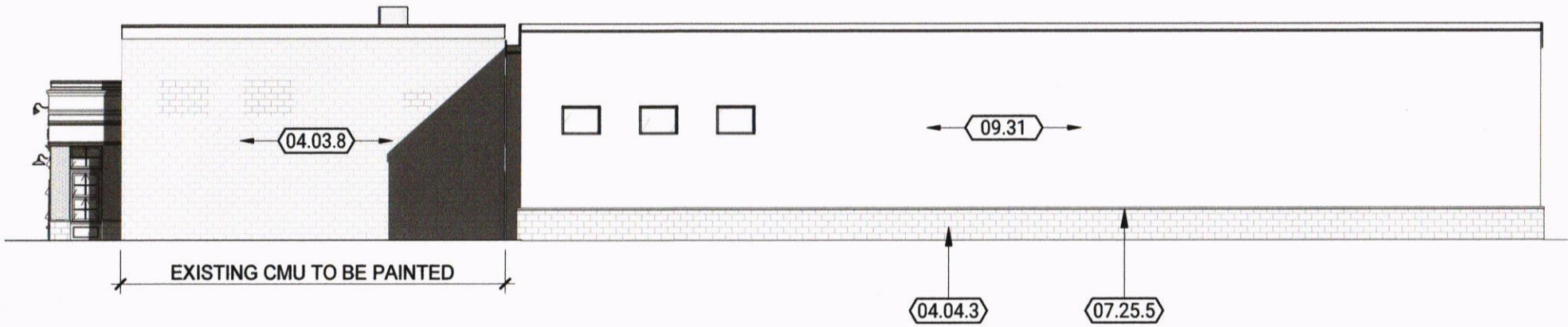

15
 SCALE : 3/64" = 1'-0"

KEYNOTES

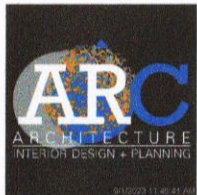
#	DESCRIPTION
04.03.8	8"x8"x16" PAINTED CMU BLOCK
04.04.3	8"x8"x16" CMU SPLIT FACE BLOCK
07.25.5	PREFINISHED METAL CAP FLASHING
09.31	BASE BID - PAINTED EIFS PANEL, ALTERNATE BID - PREFINISHED METAL PANEL SYSTEM WITH STUCCO STYLE FINISH



C West Elevation
SCALE: 1/16" = 1'-0"
RE:



D North Elevation
SCALE: 1/16" = 1'-0"
RE:

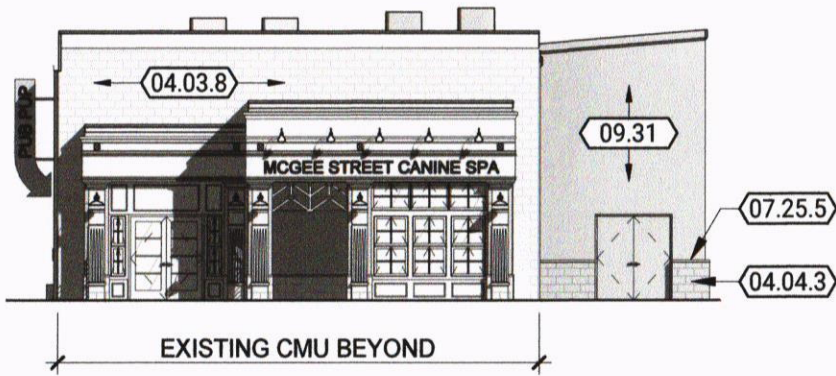


Variance Application Elevations

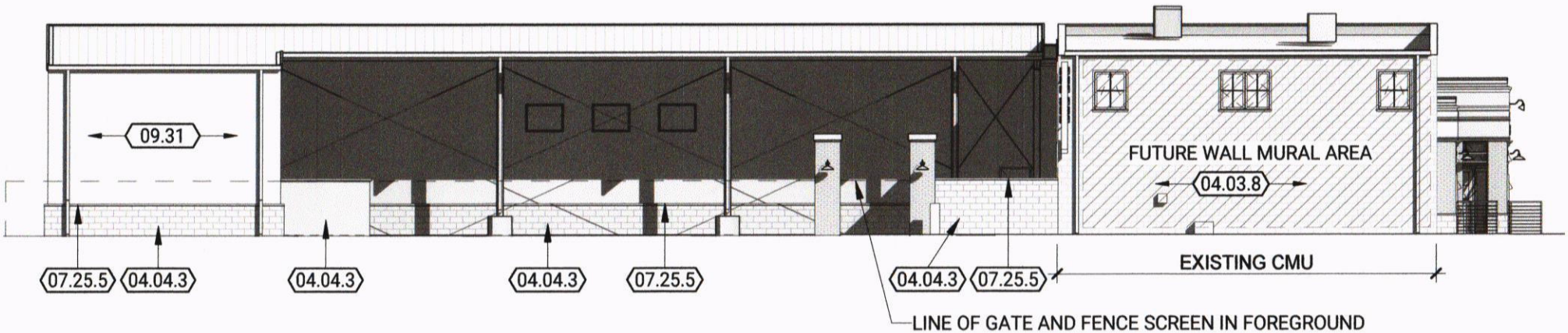
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SHEET ISSUE DATE : 09/01/23
BENCHMARK : Variance Application

KEYNOTES

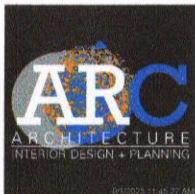
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09.31	BASE BID - PAINTED EIFS PANEL, ALTERNATE BID - PREFINISHED METAL PANEL SYSTEM WITH STUCCO STYLE FINISH



A East Elevation
 SCALE: 1/16" = 1'-0"
 RE: AA110



B South Elevation
 SCALE: 1/16" = 1'-0"
 RE: AA110



Variance Application Elevations

PROJECT No. 2210S : Canine Spa
 SHEET ISSUE DATE : 09/01/23
 BENCHMARK : Variance Application



BOARD OF ADJUSTMENT DETAILED JUSTIFICATION OF VARIANCE REQUEST

Item 2.

City of Norman Planning & Community Development - 225 N. Webster Avenue - Norman, OK 73069 -- (405) 307-7112 Phone

(Revised 08/23)

Please attach additional sheets, as necessary.

Special conditions and circumstances exist that are peculiar to the land, structure, or building involved and are not applicable to other lands, structures, or buildings in the same district:

Zoning ordinance 36-547 (a)(1) states, "Buildings requiring masonry on all sides. All buildings constructed on property zoned O-1, CO, C-1, C-2, and C-3, according to the City's official zoning map, shall have all exterior walls constructed using masonry material covering at least 80 percent of said walls, exclusive of all windows, doors, roofs, glass, or sidewalk and walkway covers."

New construction, under this ordinance, shall be required to meet a standard that is not currently held within the context of this site and the surrounding properties.

Attest

The literal interpretation of the provisions of the Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district:

Of the direct surrounding properties, zoned C-2 and RM-6, all but one building meet the standard of 80% masonry coverage on all exterior facades. Two of the three buildings within those zoning groups directly adjacent to the property seeking variance enjoy minimal or no masonry as an exterior facade material.

Attest

The special conditions or circumstances do not result from the actions of the applicant:

The exterior facades of all but one adjacent building (McGee Street Animal Hospital) are comprised of existing conditions built under circumstances outside the control or ownership of the applicant.

Attest

Granting of the Variances requested will not confer on the applicant any special privilege that is denied to other lands, structure, or buildings in the same district:

The applicant respectfully seeks a variance to be allowed to meet or exceed the same standard currently being met by adjacent buildings within the context of the site without being held to a costlier standard required by the current zoning ordinance.

Attest

PREFERRED NON-MASONRY MATERIAL FOR AREAS
KEYNOTED AS 13.03.2 - REF: 230926 Variance
Committee Submission

Item 2.

STRUKTUROC, Inc.

Embossed Wall Systems

Classic™

Embossed Wall & Fascia Panels (STK1000)

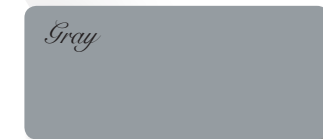


U.S. Patent Pending

- Classic Embossed is now available in your choice of Kynar finishes.
- The profile is a hidden fastener system exceeding today's Universal Building Codes. One of the strongest wall panels at 20 gauge, stands up to harsh environments' while offering a 30-year warranty against fade and minimizing unsightly surface distortion inherent among lighter gauge products.
- Classic Wall panels are easily applied by those persons erecting the building structure. This alone saves you money and eliminates the need for additional contractors on-site along with possible delays due to scheduling.
- Classic panel project is manufactured to your building specifications resulting in lower cost of erection and more timely completion.
- Classic is the perfect choice for new and renovation projects of all sizes.



Ash



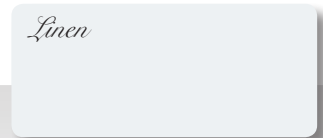
Gray



Sandstone



Taupe



Linen



Khaki

Printed color samples may vary. See swatch sample for actual colors.

Embossed Wall & Fascia Panels

TYPICAL APPLICATIONS:

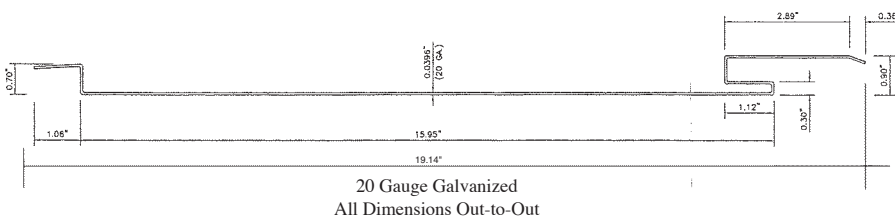
- WAREHOUSES
- FAST FOOD FACILITIES
- SPORTS FACILITIES
- HOTELS
- NEW CONSTRUCTION
- MINI STORAGE
- AIRCRAFT HANGARS
- COMMERCIAL
- INDUSTRIAL
- MECHANICAL SCREENS
- OFFICE BUILDINGS
- RETAIL FACILITIES
- MODULAR BUILDINGS
- CHURCHES AND TEMPLES
- SCHOOLS
- AIRPORT FACILITIES
- METAL BUILDINGS
- RENOVATION
- POST FRAME BUILDINGS
- SHOPPING MALLS

GENERAL INFORMATION:

Substrate: 20ga. G90 Galvanized Steel
 Finish: Kynar
 Length: Max. length 26' Min. 14"
 Trim Profiles: 24 gauge
 Color: Standard and Custom
 Non-Insulated
 Hidden Fastener
 Fastener: View Chart
Note: Flat panels are subject to surface distortion and not considered cause for rejection.

TESTING:

- Adhesion-ASTM D2794
- Formability-ASTM D1737
- Color Retention-ASTM G26
- Structural-ASTM E1592
- Racking Shear-ASTM E72-80
- Water Soak-ASTM D870
- Salt Spray-ASTM B-117
- Weathering-G23
- Missile Test-ASTM E1886
- Cyclic Pressure-ASTM E1996



ALLOWABLE UNIFORM WIND PRESSURE ^{1,3,5} , PSF (POSITIVE/NEGATIVE)							
Section	Center-to-Center Support Spacing ^{2,4}						
	2'-6"	3'-0"	3'-6"	4'-0"	4'-6"	5'-0"	5'-6"
Profile A ⁴	+60/-60	+60/-60	+60/-60	+59/-60	+46/-60	+37/-50	+30/-42

1. Tabulated pressures are taken as the lesser value determined from bending strength in accordance with the 2007 *ALSI Cold Formed Steel Specification*, and the maximum test pressures obtained using ASTM E330-02, as outline in NTA, Inc. test report TAS111504-19.
 2. Pressures are for panels continuous over three for more supports (four spans minimum). Maximum panel length limited to 26 feet.
 3. Deflection limit of L/120 is not exceeded under the pressures above.
 4. Panels must be secured to a *Hat-Channel Support* at each support location. Panel must be secured to each flange of hat-channel. Connections must be designed by others for the required loads, but the fasteners used should not be less than (1) 1/4x7/8-in. self drilling screws into each flange of the hat-channel. Hat-channel must be fully supported by a purlin or girt.
 5. The wind load is permitted to be taken as 0.7 times the "component and cladding" loads for the purpose of determining deflection limits (Ref. IBC Table 1604.3, note f).

ULTIMATE AVERAGE PULLOUT

VALUES IN METAL (POUNDS)

FASTENER	STEEL GAUGE	VALUE
T-1 14-14X7/8" (pnl to hat)	22	428
	20	562
	18	800
T-3 12X1 1/4" (hat to girt)	22	293
	20	346
	18	613
	16	880

VALUES IN WOOD (POUNDS)

FASTENER	PLYWOOD	2X4 PINE
14-10X1"	1/2" - 278	1" - 810
	3/4" - 631	1 1/4" - 1103

For Information Contact:

SECOND CHOICE, SHOULD THE VARIANCE COMMITTEE REJECT OUR PREFERRED NON-MASONRY MATERIAL FOR AREAS KEYNOTED AS 13.03.2 - REF: 230926 Variance Committee Submission

Item 2.



OUTSULATION[®] SOLUTIONS FROM DRYVIT





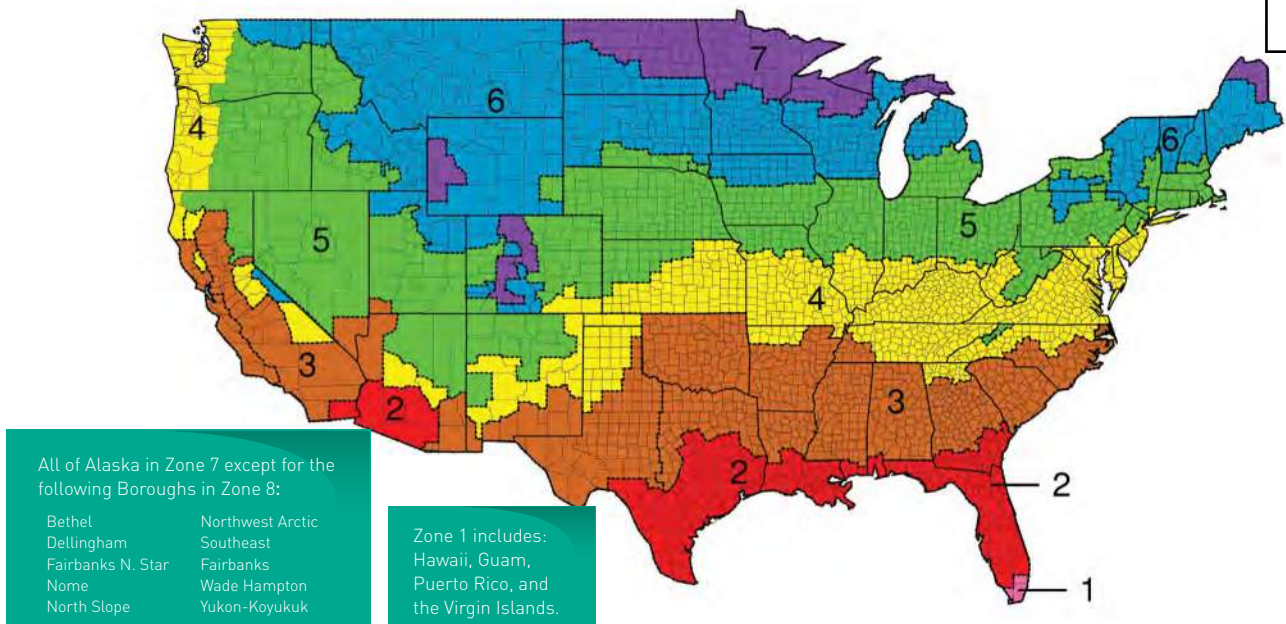
Liberty Center
Columbus, OH

WELCOME TO OUTSULATION, BY DRYVIT

As the name suggests, Outsulation systems place insulation on the outside of the building, and are the most effective solution for meeting today's energy code requirements for continuous insulation (CI).

But there is much more to Outsulation than CI alone. Outsulation systems deliver the latest in building science solutions for building envelopes, resulting in operational energy efficient, cost effective construction, low maintenance, low embodied energy building solution. Outsulation delivers:

- Engineered moisture drainage for incidental moisture
- Air & water resistive barrier membrane
- Anti-crack, impact resistant scrim
- High R-value with continuous insulation
- Durable and seamless finish veneer that provides a range of aesthetically appealing results



ENERGY CODES AND CI REQUIREMENTS

The Department of Energy (DOE) has mandated that all states comply with the ASHRAE 90.1-2010 design standard by September 26, 2016, which requires the use of continuous insulation (CI) on commercial buildings in over 90 percent of the United States. Other design standards and codes — such as ASHRAE 189.1, IECC 2012, IgCC 2012; Title 24, (Section 6) and CALGreen — will also require the use of CI, as well as air barriers, as they become adopted. The bottom line is that nearly all new commercial projects in the U.S. will soon require the use of an air barrier and CI as an integral part of exterior wall construction.

CI is much more efficient than the use of insulation in the wall cavity, and 2 inches of CI can have the effective R-value of 8 inches of cavity (batt type) insulation! As such, consider eliminating the use of cavity insulation altogether by using the right amount of CI to meet your total exterior wall insulation goals. An empty wall cavity improves airflow and reduces the dirt and moisture retention associated with batt insulation.

Rigid insulation, such as Expanded Polystyrene (EPS), can also be easily cut and shaped to provide dramatic architectural details and design effects, such as reveals, quoins, cornices and trim, that are much more difficult and expensive to achieve with heavier materials. Using an Outsulation system to combine the design flexibility and CI benefits of EPS is unique and extremely cost-effective.



Ronald McDonald House
Salt Lake City, UT



Sarkis & Siran Gabrellian
Child Care Learning
Center
Hackensack, NJ



Item 2.

HOW IT WORKS

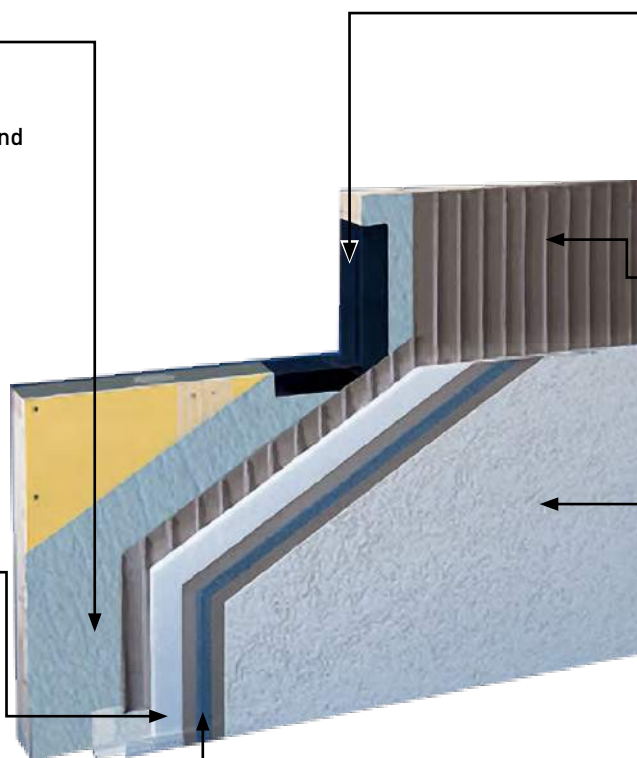
Outsulation systems typically consist of the following components, as determined by code and performance requirements.

DRYVIT/TREMCO APPROVED WATER-RESISTIVE BARRIER:
Seamlessly protects sheathing or substrate from incidental moisture and eliminates air infiltration

- Liquid-applied
- Continuous or monolithic
- Includes Backstop NTX®, Backstop NTX-VB, Securock® ExoAir® 430, ExoAir® 230

CONTINUOUS INSULATION:
Absorbs expected building movement and enhances energy efficiency

- Eliminates thermal bridging in framed construction
- Meets CI requirements for all zones per ASHRAE 90.1-2010
- Available in both EPS (expanded polystyrene) and XPS (extruded polystyrene)
- Available in various thicknesses and can fully meet wall insulation requirements



DRYVIT/TREMCO APPROVED FLASHING SYSTEM:
Seamlessly protects openings in the building envelope from moisture

- Includes AquaFlash® or Dymonic® 100

ADHESIVE / DRAINAGE MEDIUM:
Vertical notches allow drainage of incidental moisture

- Adheres insulation board to the Air- and Water-Resistive Barrier

FINISH COAT:
Blend of 100 percent acrylic copolymers, natural aggregates and UV resistant pigments

- Easy to maintain
- Available in many textures and limitless color options
- Offer multiple aesthetic options
- Options for increased hydrophobicity, flexibility and mildew and fade resistance

BASE COAT AND REINFORCING MESH:

Combine to provide the primary weather barrier and impact resistance

- Mesh embedded in base coat
- Various weights of mesh available, depending on impact resistance required

SYSTEM OPTIONS:

All Outsulation systems include adhesive, continuous insulation (CI), fiberglass mesh embedded in base coat, and finish, which are installed sequentially by a trained professional contractor as specified by the design team, and as required by code. Some Outsulation systems protect the underlying wall with an air- and water-resistive barrier under the CI, which maximizes the energy efficiency. Outsulation systems can be installed in either “barrier,” “moisture drainage” or “pressure equalized” configurations, and these systems are engineered to perform in all climates and on all types of structures. On certain types of construction (high-rise) and in certain job conditions (cold weather), lift-in-place, prefabricated wall sections may provide certain benefits.

SUSTAINABLE SOLUTIONS:

Item 2.

Outsulation systems have been evaluated by the National Institute for Standards and Technology (NIST) and have less environmental impact than other common claddings. They can also contribute toward achieving LEED credits, depending upon project design and location.

Outsulation systems are more cost-effective throughout their lifecycle because the manufacturing process requires less energy than other common claddings, and the lightweight composition reduces fuel costs associated with transport. After application, Outsulation systems continue to keep heating and cooling costs low for the life of the building. Visit dryvit.com for more information.

OUTSULATION

- Intended for use in commercial construction or over masonry
- Insulation adhered directly to substrate
- Designed as a barrier system

OUTSULATION PLUS MD SYSTEM

- Qualifies for all construction types
- Incorporates a liquid-applied, air- and water-resistive barrier
- Vertical adhesive beads facilitate moisture drainage
- Corrugated strip or track is incorporated at the base of the wall
- Passive drainage

OUTSULATION MD SYSTEM

- Qualifies for all construction types
- Incorporates a liquid-applied, air- and water-resistive barrier
- Grooved insulation board facilitates moisture drainage
- Vent track and vent assembly are incorporated at the base of the wall
- Engineered drainage

OUTSULATION HDCI™

- Provides a 20-year warranty on puncture resistance
- Incorporates a liquid-applied, air- and water-resistive barrier
- Corrugated strip or track is incorporated at the base of the wall
- Qualifies for commercial construction
- Provides a 20-year warranty on puncture resistance
- Passive drainage

OUTSULATION X™ SYSTEM

- Features DOW® XENERGY™ Extruded Polystyrene (XPS) insulation board
- Incorporates a liquid-applied, air- and water-resistive barrier
- Vertical adhesive beads facilitate moisture drainage
- Drainage strip is incorporated at the base of the wall
- Qualifies for all construction types
- Supplemental fasteners required
- Passive drainage

OUTSULATION LCMD SYSTEM

- Qualifies for all construction types
- Mechanically fastened over sheet type water-resistive barriers (by others)
- Corrugated strip or track incorporated at the base of the wall
- Multiple drainage and attachment options available

OUTSULATION PE SYSTEM

- Qualifies for all construction types
- Incorporates a liquid-applied, air- and water-resistive barrier
- Closure blocks are configured to “compartmentalize” the wall for pressure equalization
- Vent track and vent assembly are incorporated at the base of the wall
- Engineered moisture drainage and pressure equalization

OUTSULATION RMD SYSTEM

- Intended for residential, wood framed (one and two family) construction
- Can incorporate a liquid applied air- and water-resistive barrier or sheet membrane and drainage mat
- Drainage strips or track incorporated at the base of the wall
- Multiple drainage and attachment options available

OUTSULATION SYSTEMS WITH SE430

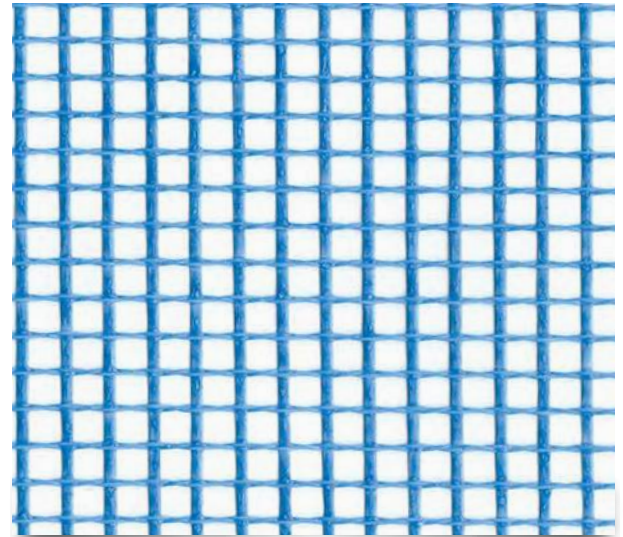
- Outsulation MD Securock ExoAir 430
- Outsulation Plus MD Securock ExoAir 430
- Outsulation HDCI Securock ExoAir 430
- Outsulation PE Securock ExoAir 430
- Outsulation X Securock ExoAir 430

DURABILITY

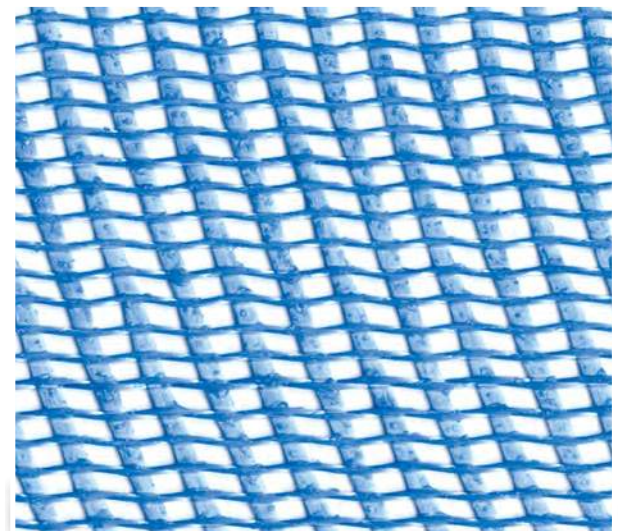
All Outsulation systems incorporate alkali and fire-resistant fiberglass mesh that is embedded into the base coat over the entire surface of the insulation board

This combination provides the primary weather barrier, as well as tensile strength and impact resistance for the system, and these factors all play a critical role in protecting the physical integrity and beauty of the building exterior. The mesh is available in several weights and is specified according to the anticipated level of exposure to potentially damaging impact.

The heaviest and strongest — Panzer 20 Mesh — is intended for use at all ground floor locations and high-traffic areas such as balconies. Hurricane-prone regions may have building codes that require assemblies reinforced with Panzer Mesh. Panzer 20 is also the required mesh in Dryvit's Outsulation HDCI system, which comes with a 20-year puncture resistance warranty. Consult Dryvit's Engineering Department or your local Dryvit representative for more information on these circumstances.



Standard™ Mesh



*Panzer® 20 Mesh
Provides 10 times (1000%)
better impact resistance
than Standard™ Mesh*

DRYVIT REINFORCING MESH OPTIONS:

Standard™ Mesh: Recommended for normal-wear applications on the second story and above

Corner Mesh: Used to reinforce corners and recommended on all ground-floor applications

Intermediate™ Mesh: Recommended for medium-level traffic and impact requirements on the second story and above

Panzer® 20 Mesh: Recommended for all high-traffic areas

AESTHETICS

The perfect solutions for any design.

Dryvit Outsulation systems offer unlimited design flexibility to suit any architectural style, and are available with a wide range of finishes that can be customized to meet virtually any color or texture desired.

The ability to easily create a vast array of architectural designs using decorative shapes and reveals is one of the hallmarks of an Outsulation system.



Bellagio
Las Vegas, NV



The Stratford
Cincinnati, OH

VENEERS



Seamless Stone



Traditional Plaster Renders



Old World or "Aged" Plaster



Metal Panel Effects



Limestone



Brick

FINISHES

Textured Finishes

Dryvit also offers numerous finish textures more commonly associated with the look of stucco, concrete and limestone. Made from a blend of 100 percent acrylic polymers, high-performance pigments, natural aggregates and utilizing DPR (Dirt Pickup Resistant) chemistry, they are beautiful, durable, and can be stained after drying to provide a dazzling old-world or antique look.



Retail Center
Sioux Falls, SD

AVAILABLE IN A WIDE VARIETY OF STANDARD TEXTURES



Sandpebble™



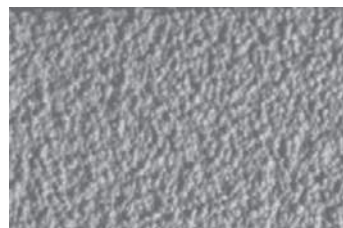
Sandpebble Fine™



Quarzputz®



Freestyle®



Sandblast®



Item 2.

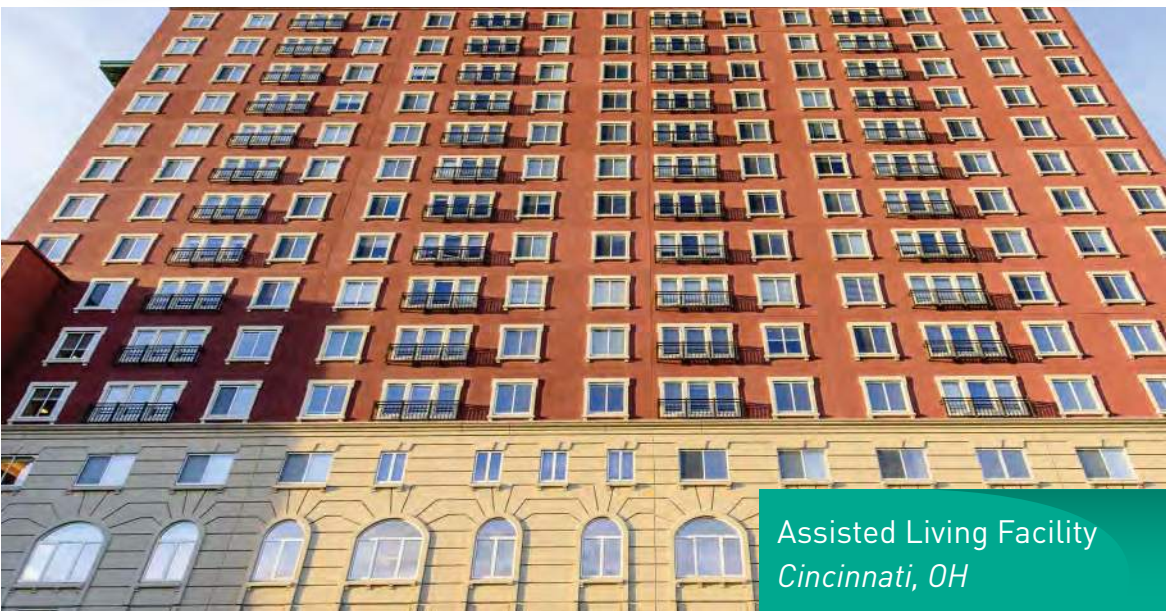
PERFORMANCE ENHANCEMENTS

HIGH STYLE MEETS HIGH PERFORMANCE

All Dryvit finishes are formulated with superior quality raw materials and have been thoroughly tested to perform in a wide range of expected conditions, but options exist to further enhance performance in particularly harsh or challenging environments.



High School
Anchorage, AK



Assisted Living Facility
Cincinnati, OH

THESE INCLUDE:

Fade resistance: High-performance pigments are used to formulate vivid colors that would otherwise be prone to rapid UV breakdown. This state-of-the-art technology is also VOC and APEO free. Refer to DS269.

Elasticity: Special elastomeric and proprietary “V Rock” technology is used to provide increased flexibility, which performs exceptionally well when used in finishes applied directly to stucco or other rigid surfaces. Refer to DS249.

Hydrophobicity: Advanced water-repellent technology minimizes dirt accumulation and helps keep the wall looking like new. Refer to DS267.

Mildew resistance: Dryvit’s “PMR” technology utilizes advanced biocides for use in damp or shady environments where algae or mildew growth is likely. Refer to DS223.





PERFORMANCE ENHANCEMENTS

MULTIPLE BENEFITS OF USING OUTSULATION SYSTEMS

Using Outsulation Systems can reduce material use, shorten construction time, and lower building operating costs, and architects, contractors and building owners enjoy these measurable benefits every day. Fred Quinn of Quinn & Associates is one such architect. He chose the Outsulation Plus MD system for the Metro Career Academy in Oklahoma City, and exceeded the expectations of the project stakeholders by using the energy efficient, design-flexible, single-source cladding.

Brick is so common in Oklahoma City that a section of the city is actually nicknamed “Bricktown,” so it was logical that the original design of the Metro Career Academy building specified 24,000 square feet of clay brick and 13,000 square feet of cast stone. Knowing the high price for both these materials and their installation, Quinn was open to considering a more cost-effective and sustainable solution, as long as his aesthetic intent could be maintained. Dryvit’s Outsulation Plus MD System with Custom Brick™ and Limestone™ finish fully met both objectives.



Find out more and watch a video case study

Architect:
Quinn & Associates
Oklahoma City, OK

General Contractor:
CMS Willowbrook
Oklahoma City, OK

Dryvit Applicator:
DMG Masonry
Arlington, TX



PROJECT HIGHLIGHTS

MATERIAL SAVINGS

Otsulation Plus MD (using 4 inches of EPS) allowed the construction team to achieve the performance R-values required of the exterior wall, and eliminate the use of cavity insulation entirely. Substituting the 1.5-pound per square foot Otsulation Plus MD system for the 40-plus pounds per square foot masonry reduced the amount of concrete and structural steel needed to support the weight of the wall, and overall, 1.4 million pounds of materials — 96 percent of the original cladding weight — were eliminated from use!

LABOR SAVINGS

All components of the Otsulation Plus MD System were installed by a single trained subcontractor, simplifying the construction schedule.

CONSTRUCTION TIME SAVINGS

Using less structural material and a single contractor for the Otsulation Plus MD system reduced overall construction time by 15 weeks, which saved money and enabled the owner to move into his building ahead of schedule.

SINGLE WARRANTY

Otsulation systems are engineered, tested and fully-warranted by Dryvit, whereas a brick wall is composed of a variety of materials supplied by different manufacturers.

LEED CERTIFICATION

The Otsulation Plus MD system contributed to earning maximum EA category credits and LEED Gold certification.

ENERGY SAVINGS

Measured against the modeled performance of an identical structure built to meet local building and energy codes, this building was predicted to have an energy savings of 34.8 percent and an energy cost reduction of 42.8 percent annually. After one full year, the actual energy cost reduction was 52.6 percent — more than the modeled expectation!

By choosing Dryvit's Otsulation Plus MD system, the design and construction team were able to meet the owner's aesthetic and performance goals ahead of time, and under budget. With numerous challenges to overcome and ambitious goals to meet, Otsulation by Dryvit delivered measurable results above and beyond expectation, and will continue to do so for the lifetime of the building.



Building Energy Codes Are Changing

The international movement to improve energy performance and lower environmental impact is dramatically affecting the way buildings must be designed and built, particularly with the requirements for air barriers and continuous insulation. Outsulation by Dryvit is a tested and proven solution to this challenge.

Best of all, with Outsulation systems, performance and aesthetics aren't mutually exclusive. The wide variety of finishes, textures and colors can make nearly any architectural vision a reality.

The benefits of Outsulation have been realized in hundreds of thousands of projects around the world, and the systems provide a single-source, seamless and sustainable cladding solution for buildings of any shape, size and type.

Simply put, Outsulation systems provide everything you need from a building code perspective, and everything you want from a performance and aesthetic standpoint.

Visit dryvit.com or call 800-556-7752 to learn more about Outsulation by Dryvit.

Tremco Construction Products Group brings together the Commercial Sealants & Waterproofing and Roofing & Building Maintenance divisions of Tremco CPG Inc.; Nudura Inc.; Prebuck LLC; Willseal; Weatherproofing Technologies, Inc.; Weatherproofing Technologies Canada, Inc.; Pure Air Control Services, Inc.; and Tremco Barrier Solutions, Inc.



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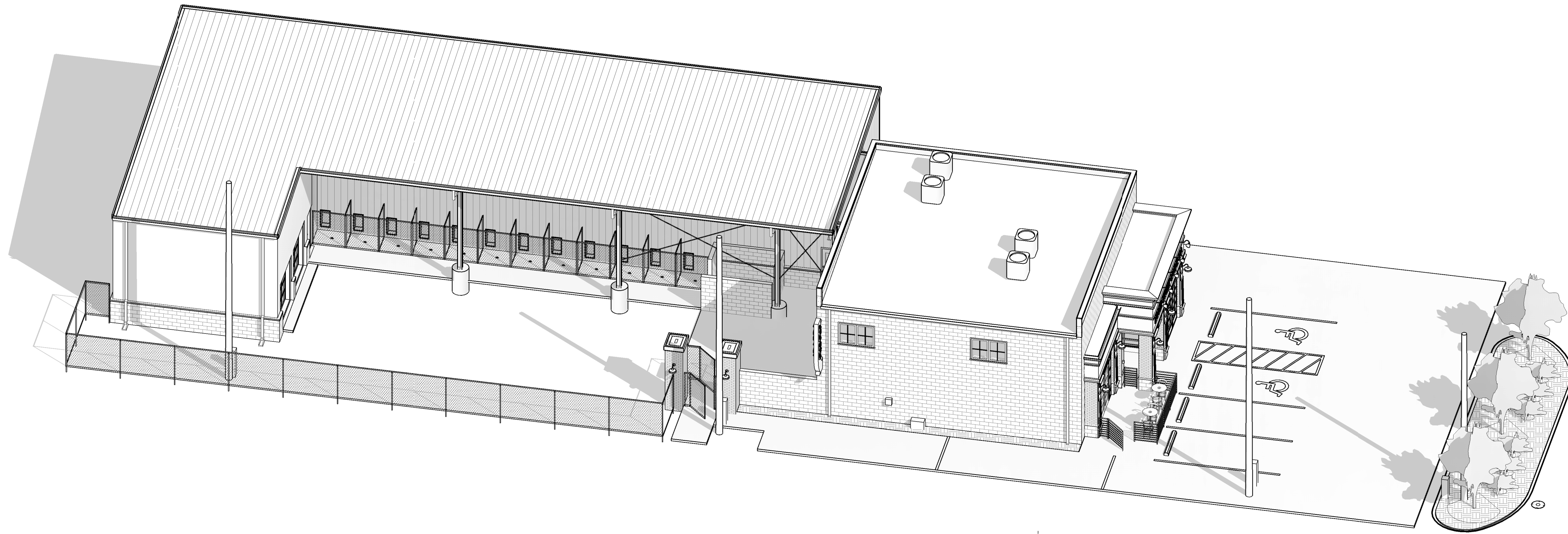
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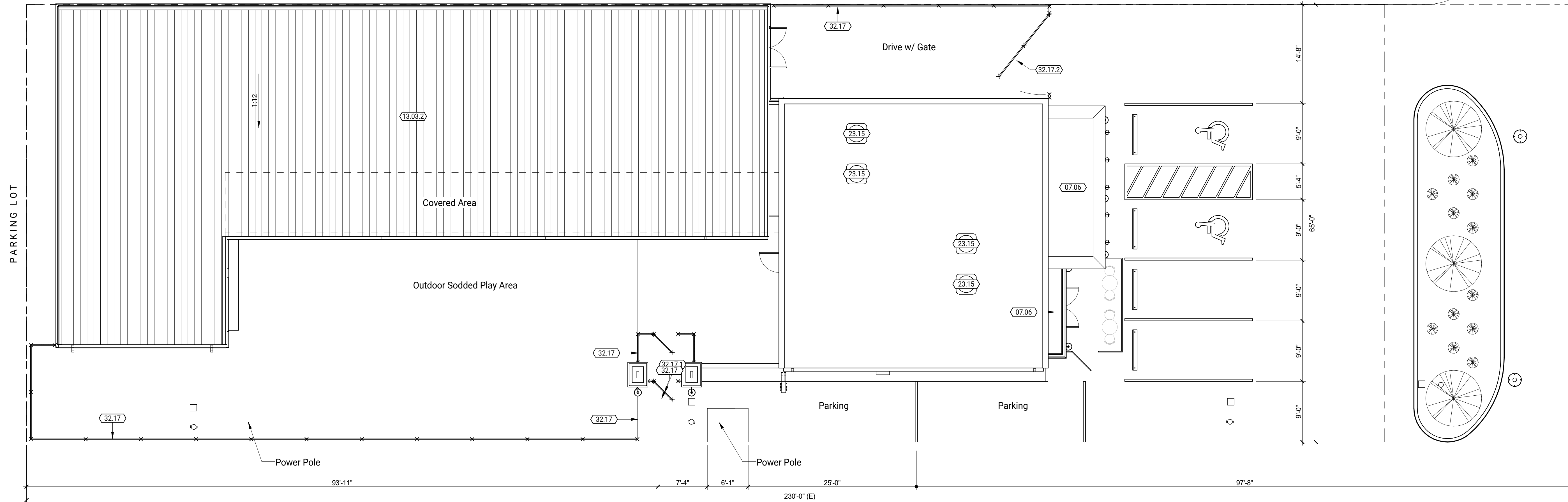
Construction Products Group

3735 Green Rd. | Beachwood, OH
800.321.7906 | tremcocpg.com

LIST OF KEYNOTES ON THIS SHEET	
REFER TO COVER OR PROJECT MANUAL FOR COMPLETE	
#	DESCRIPTION
07.06	TPO ROOFING
13.03.2	GALVALUME STANDING SEAM METAL ROOF PANELS
23.15	ROOF MOUNTED CONDENSING UNIT
32.17	6' TALL METAL CHAIN LINK FENCE WITH VINYL SCREENING
32.17.1	6' TALL METAL CHAIN LINK FENCE GATE WITH VINYL SCREENING
32.17.2	EXISTING METAL GATE TO REMAIN

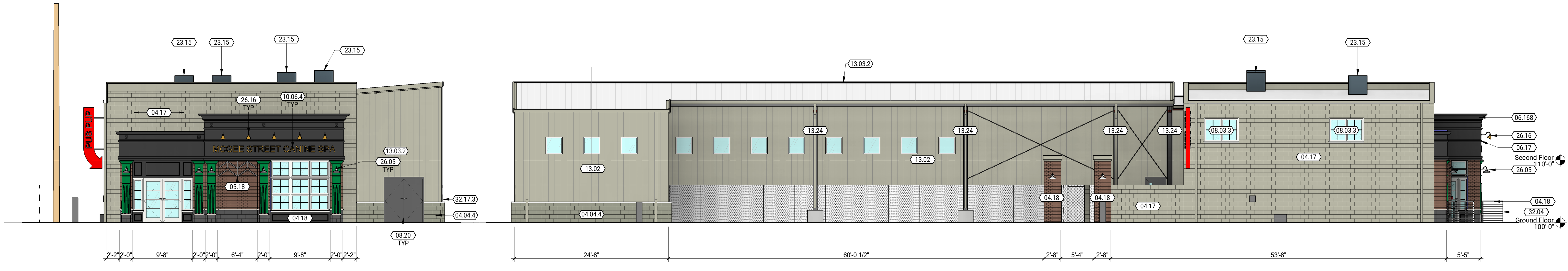


PARKING LOT



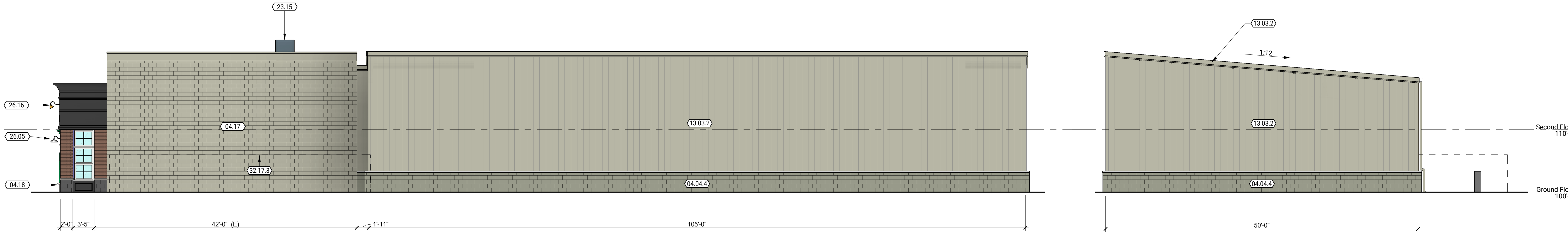
ALLEY

LIST OF KEYNOTES ON THIS SHEET	
#	DESCRIPTION
04.04.4	SPLIT FACE CMU VENEER W/ MASONRY TIES
04.17	EXISTING CMU WALL TO BE STRIPPED AND PAINTED ON ALL EXTERIOR SURFACES, INTERIOR WALLS SHALL BE INFILLED WITH 1/2" GYPSUM WALL BOARD ON 3 1/2" METAL STUD WITH R-19 BATT INSULATION. ALL ANIMAL PLAY AREAS AND KENNEL AREAS SHALL HAVE A MINIMUM 48" PVC WALL COVERING WAINSCOT
04.18	MASONRY VENEER ASSEMBLY WITH SPLIT-FACE 24" AFF CMU BASE BELOW PAINTED MODULAR BRICK ON 16 GA 3 1/2" METAL STUDS
05.18	PREFINISHED DECORATIVE METAL TRUSS
06.17	FIBERGLASS OR COMPOSITE DECORATIVE MOULDING
06.168	DECORATIVE FIBERGLASS WALL PROFILE, BASIS OF DESIGN: EDON CR-168
08.03.3	NEW ALUMINUM WINDOW, FIELD VERIFY EXISTING MASONRY OPENING
08.20	3'-0" PAIR X 7'-0" EXTERIOR HOLLOW METAL DOUBLE DOOR AND HOLLOW METAL FRAME
10.06.4	12" ALUMINUM LETTERS
13.02	PREFINISHED PEMB METAL WALL PANELS
13.03.2	GALVALUME STANDING SEAM METAL ROOF PANELS WHERE EXPOSED
13.24	PEMB SINGLE-SLOPE RIGID FRAME, FIELD PAINT
23.15	ROOF MOUNTED CONDENSING UNIT
26.05	WALL MOUNTED LED LIGHT FIXTURE
26.16	WALL MOUNTED NARROW/DEEP SHADE GOOSENECK LIGHT FIXTURE
32.04	ORNAMENTAL FENCE
32.17.3	LINE OF FENCE IN FOREGROUND



A East Elevation - McGee Street View
Scale: 1/8" = 1'-0"
Refer:

B South Elevation - Alley View
Scale: 1/8" = 1'-0"
Refer:



C North Elevation - Parking Lot View
Scale: 1/8" = 1'-0"
Refer:

D West Elevation - Parking Lot View
Scale: 1/8" = 1'-0"
Refer:



CITY OF NORMAN, OK BOARD OF ADJUSTMENT MEETING

Municipal Building, Council Chambers, 201 West Gray, Norman, OK 73069
Wednesday, September 27, 2023 at 4:30 PM

MINUTES

The Board of Adjustment of the City of Norman, Cleveland County, Oklahoma, met in Regular Session in City Council Chambers of the Norman Municipal Complex, 201 West Gray Street, at 4:30 p.m., on Wednesday, September 27, 2023. Notice and agenda of said meeting were posted in the Municipal Building at the above address and at [Agendas/Minutes | City of Norman Oklahoma Meetings \(municodem meetings.com\)](#) in excess of 24 hours prior to the beginning of the meeting.

Chair Curtis McCarty called the meeting to order at 4:32 p.m.

ROLL CALL

PRESENT

Brad Worster
Micky Webb
Ben Bigelow
James Howard
Curtis McCarty

A quorum was present.

STAFF PRESENT

Lora Hoggatt, Planning Services Manager
Roné Tromble, Admin. Tech. IV
Beth Muckala, Assistant City Attorney
AshLynn Wilkerson, Assistant City Attorney

MINUTES

1. Consideration of Approval, Rejection, Amendment, and/or Postponement of the Minutes of the August 23, 2023 Board of Adjustment Meeting.

Motion made by Webb, seconded by Bigelow, to approve the Minutes of the August 23, 2023 Board of Adjustment meeting as presented.

Voting Yea: Worster, Webb, Bigelow, Howard, McCarty

The motion to approve the August 23, 2023 Board of Adjustment Minutes as presented passed by a vote of 5-0.

*

ACTION ITEMS

2. Consideration of Approval, Rejection, Amendment, and/or Postponement of BOA-2324-6: Dr. Greg Emmert requests a Variance to 36-547(a)(1), the exterior appearance requirements, for property located at 1134 McGee Drive.

ITEMS SUBMITTED FOR THE RECORD:

1. Location Map
2. Staff Report
3. Application with Attachments

PRESENTATION BY STAFF:

Lora Hoggatt reviewed the staff report, a copy of which is filed with the minutes.

Mr. Bigelow asked what the City defines as masonry materials. Ms. Hoggatt responded that it "includes brick, slump-faced or decorative concrete masonry unit, stucco, concrete (poured in place, pre-cast or tilt-wall) with aggregate, sandblasted or textured coating finish, stone, rock or other structural material of equal durability and architectural effect. Smooth-faced CMU" is not permitted.

PRESENTATION BY THE APPLICANT: None

AUDIENCE PARTICIPATION:

Jim Seifried, 1723 Lancaster Circle, commented that the homes in the area are brick. He believes Dr. Emmert will do a good job with the structure. His concern is that the prior owner of the building told him that he didn't use the upstairs of the building because of mold. His concern is with mold being released into the neighborhood during the construction process, as well as humans and animals using the building. He was also concerned that telephone poles will be blocking some of the parking spaces. He noted that he is not objecting to the proposal.

Mr. Howard asked if he had any concerns about the exterior finishes. Mr. Seifried said his only concern is with mold being released if they have to break into the building. He believes the materials will be a compliment to the current facility, as long as they get rid of the cinder block.

DISCUSSION AND ACTION BY THE BOARD OF ADJUSTMENT:

Mr. McCarty commented that EIFS is a replacement for stucco. He added that the Board doesn't have any control over any demo or the mold.

Mr. Bigelow asked what the actual finish is going to be. Mr. Worster said he thought metal panels was their first preference, followed by EIFS.

Mr. McCarty suggested postponement and ask the applicant to come with a presentation.

Mr. Howard asked for clarification from staff on EIFS. Ms. Hoggatt responded that EIFS is allowed. The applicant initially wasn't sure what exterior finish they wanted to use.

Ms. Muckala recommended getting input from the applicant. She would not recommend approving EIFS, since it is an approved material, and no variance would be needed for that finish.

Motion made by Bigelow, seconded by Howard, to postpone the Variance to the exterior appearance requirements in BOA-2324-6 to the October 25, 2023 meeting.

Voting Yea: Worster, Bigelow, Howard, McCarty

Voting Nay: Webb

The motion to postpone BOA-2324-6 to the October 25, 2023 meeting passed by a vote of 4-1.

*