



Town of New Castle
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Agenda

New Castle Historic Preservation Commission (Regular Meeting)

Monday, April 17, 2023, 6:30 PM

Full packets of HPC meetings are available online by visiting

<https://www.newcastlecolorado.org/meetings>

or by scanning the **QR code** below.

Virtual Meetings are subject to internet and technical capabilities.

To join by computer, smart phone or tablet click [HERE](#)

<https://us02web.zoom.us/j/7096588400>

Meeting ID: 709 658 8400

If you prefer to telephone in, please call: 1-346-248-7799

Be sure to set your phone to mute until called on.



Call to Order

Pledge of Allegiance

Roll Call

Meeting Notice

Conflicts of Interest

Citizen Comments on Items NOT on the Agenda

-Comments are limited to three minutes-

Agenda Changes

Items For Consideration

- A.** Pinyon Environmental Historic Survey Report of Main Street
- B.** Commission Discussion of Future Historic Designations with Updated Survey
- C.** Staff Report of Colorado Local Government (CLG) 4 Year Review by History Colorado
- D.** Commission Update Regarding Museum Electric Work
- E.** Consider Approval of February 13, 2023 Minutes

Commissioner Comments

Adjourn

April 13, 2023

New Castle - Reconnaissance Survey

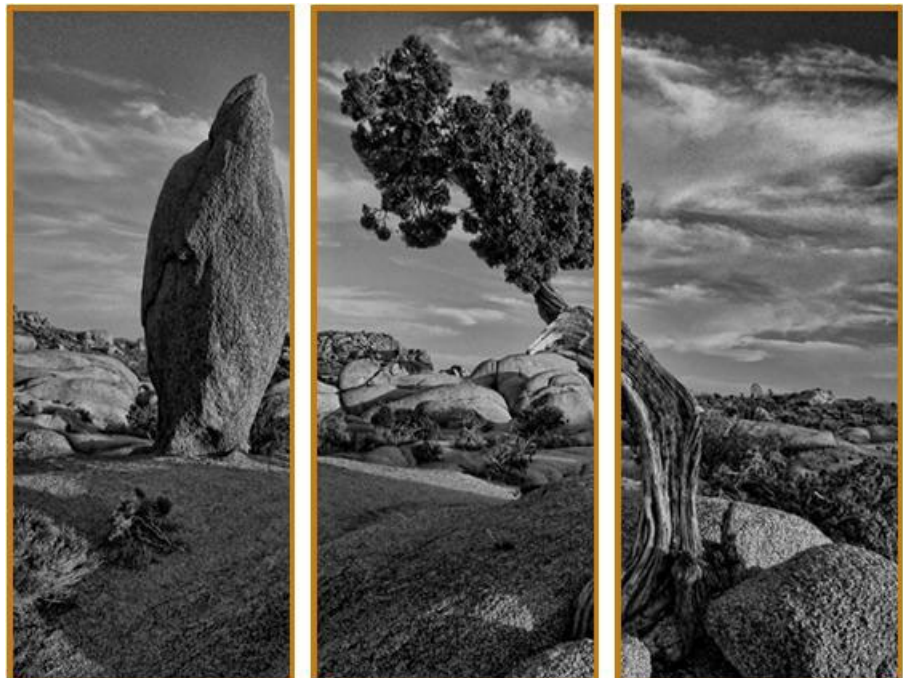
Town of New Castle, Colorado

Prepared For:

Town of New Castle
Historic Preservation Commission
450 West Main Street
New Castle, Colorado 81467

Pinyon Project No.:

122156001



April 13, 2023

New Castle - Reconnaissance Survey

Town of New Castle, Colorado

Prepared For:

Town of New Castle
Historic Preservation Commission
450 West Main Street
New Castle, Colorado 81467

Pinyon Project No.:

122156001

Prepared by:



Cameron Weishoff
Field Historian

Reviewed by:



Sean Fallon
Technical Group Manager – Cultural Resources

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I. Introduction

The Town of New Castle (New Castle) is conducting a reconnaissance-level survey of historic resources along Main Street (US Highway 6). The survey will identify and recommend individual resources for future intensive-level survey to determine potential eligibility under National Register of Historic Places (NRHP) criteria in accordance with NRHP and State of Colorado Historic Survey Standards. In addition, this survey assesses the potential for a historic district as well as identify and recommend resources that may contribute toward a potential NRHP historic district. This survey represents the most recent evaluation of historic resources in the Town of New Castle. Previous historic resource surveys have mostly focused on residential and commercial buildings/structures in the central quadrant of the town. Resources in the survey area—bounded by Elk Creek to the west, Burning Mountain Avenue to the east, and adjacent to Main Street—are the focus of this reconnaissance report.

The Town of New Castle contracted with Pinyon Environmental, Inc. (Pinyon), to execute this reconnaissance-level survey of resources along Main Street and two resources located on North 4th Avenue. The survey was undertaken by Pinyon historian Cameron Weishoff, and Pinyon senior historian Sean Fallon. Cameron and Sean each meet or exceed the Secretary of Interior (SOI) Professional Qualifications Standards in the areas of History and Architectural History (48 CFR 44738-44739). In cooperation with the New Castle Historic Preservation Commission (NCHPC), Pinyon historians identified approximately 70 buildings and/or sites to be included in the reconnaissance survey. Through information available from the Garfield County Assessor's Office website, archival documentation, and readily available imagery and information, resources were identified and chosen based on common themes and specific characteristics including date of construction; possessing an easily identifiable architectural style; and the presence/absence of additions/modifications.

The NCHPC is taking important steps to identify historic resources and prioritize the preservation efforts of the town. This evaluation and report are a part of an effort by the NCHPC to identify, document, and evaluate the historic buildings, structures, and/or sites in the New Castle community.

2. Methodology

2.1 Reconnaissance-level Survey

Reconnaissance-level surveys are intended to document broad information about historic resources within a specifically defined survey area. Most often, surveys are undertaken to identify potentially historic resources and to identify potential NRHP historic districts. The results of reconnaissance-level surveys are used to make recommendations for the future management of historic resources within a defined study area. Evaluation of these resources include the history represented thematically and architecturally in the study area; significance; and levels of integrity. This information is used to develop recommendations for intensive resource evaluations and Local, State, and/or National Register District potential. Resources containing built features that are 50 years of age or older—being constructed in 1973 or earlier—are included in this reconnaissance survey. Archival repositories consulted for this survey include the New Castle Museum, the Garfield County Assessor, Denver Public Library Digital Collections, and Colorado Historic Newspapers.

The study area for this reconnaissance-level survey consisted of potentially and/or previous historic resources located primarily along Main Street, bounded by Elk Creek to the west, Burning Mountain Avenue to the east, and adjacent to Main Street. Two historic resources along North 4th Street were also surveyed. A field survey including photographic documentation of individual resources was undertaken on September 6, 2022. The survey was conducted by a four-person team taking photographs of resources from the public right-of-way (ROW). The cumulative results of the reconnaissance-level survey are discussed in subsequent sections of this report. Resources were evaluated and ranked as having a High, Medium, or Low likelihood for individual NRHP eligibility utilizing the following information sources: existing surveys and historic context documentation; the Colorado Office of Archaeology and Historic Preservation (OAHP) COMPASS Database; Garfield County Assessor's Office records; Garfield County Global Information System (GIS) data; Google Earth; Sanborn Fire Insurance Rate maps; and historical aerial imagery. The rankings of high, medium, and low are defined as follows:

High: High historic integrity based on visual inspection, including historic form and materials. Replacement materials or additions, if present, are sensitive to the historic character of the resource. Rarity of resource type within the town may create a high priority for a resource with moderate integrity.

Medium: Moderate historic integrity based on visual inspection. The historic form appears to be intact; additions, if present, are sympathetic to the historic form. The resource may be of interest for further study but is likely of greater importance as part of a larger neighborhood or district study than as an individual resource.

Low: Limited historic integrity based on visual inspection, which may include a high degree of replacement materials on the exterior envelope and/or additions that visibly obscure a historic form. The resource type may be highly common, with better examples in other locations within the town. The resource is likely of greater importance as part of a larger neighborhood or district study than as an individual resource.

By and large, buildings were ranked based on exhibiting characteristics of a defined architectural style and for retaining a high degree of historic integrity. However, some resources, which may lack architectural significance, may be ranked as having a high probability for individual NRHP eligibility due to their specific associations with significant events and/or individuals.

3. Historic Context

3.1 Previous Surveys

A prior historic survey was prepared for the Town of New Castle in 1996. The previous survey, “Historic Building Survey: Town of New Castle, Garfield County, Colorado (SHF 95-M3-031),” identified and individually evaluated 17 buildings for NRHP eligibility. Of the 17 total evaluations, three resulted in an Officially Eligible determination by the Colorado State Historic Preservation Officer (SHPO) in 2001, while three evaluations have remained Field-Eligible since 1996. Additionally, seven out of the 17 total resources were later designated as local landmarks by the Town of New Castle. These resources are listed below:

- *100 West Main Street (also known as 100 East Main Street) (5GF.2368) — Eligible Field
- *116 North 4th Street (Front) (5GF.1665) — Not Eligible Field
- 116 North 4th Street (Rear) (5GF.2367) — Eligible Field
- 151 West Main Street (5GF.2369) — Not Eligible Field
- 181 West Main Street (5GF.2370) — Not Eligible Field
- 201 West Main Street (5GF.2371) — Not Eligible Field
- *239 West Main Street (currently 219 West Main Street) (5GF.2372) — Not Eligible Field
- *298 West Main Street (5GF.2373) — Eligible Field
- *299 West Main Street (currently 275 West Main Street) (5GF.2374) — Not Eligible Field
- 302 West Main Street (5GF.2375) — Not Eligible Field
- 303 West Main Street (5GF.2376) — Eligible Officially
- 312 West Main Street (5GF.2377) — Not Eligible Field
- 316 West Main Street (5GF.2378) — Eligible Officially
- 331 West Main Street (5GF.2379) — Eligible Officially
- *500 West Main Street (5GF.1488) — Not Eligible Field
- *502 West Main Street (5GF.1166) — Not Eligible Field
- 503 West Main Street (5GF.2380) — Not Eligible Field

* Indicates the resource has been designated a local landmark by the Town of New Castle.

3.2 Historic Context

Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel for the silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century, due in part to the fertile soil in the area. Between the late-Twentieth and early-Twenty-first Centuries, the town experienced a sustainable growth in population as tourism expanded and Interstate 70 (I-70) was constructed on the south side of the town.

3.2.1 Original Townsite New Castle

The Original Townsite New Castle was officially platted in 1888. The original town plat was the first platted subdivision following New Castle's incorporation that same year. The addition is bound by Elk Creek to the west, H Street on the north, North A Avenue to the east, and the Union Pacific Railroad (UPRR) ROW located on the south. Many buildings are documented in Sanborn Fire Insurance Rate Maps from 1893-1904, though the maps focus primarily on Main Street from 8th Street on the west to 2nd Street on the east.

3.2.2 Spencer's Addition & Spencer's 2nd Addition

Spencer's Addition and Spencer's 2nd Addition were platted by 1893 as shown through review of historic newspaper records. Spencer's Addition is bound by North A Avenue to the west, the foothill of Mount Medaris on the north, Burning Mountain Avenue to the east, and Main Street located on the south. Furthermore, Spencer's 2nd Addition is bound by North A Avenue on the east, Main Street to the north, Burning Mountain Avenue to the east, and the UPRR ROW located on the south.

3.2.3 Represented Architectural Styles

New Castle features a variety of architectural styles, but it is mostly comprised of one-story and 1.5-story No Style and Rustic style residences, and Nineteenth and Early-Twentieth Century Commercial buildings. Mixed Style, Bungalow, Minimal Traditional, vernacular Queen Anne, False Front Commercial, Cape Cod, Gabled-Ell, Shotgun, Edwardian, Gothic Revival, Italianate, and Shingle buildings are also present. Common characteristics of buildings constructed along Main Street include front or side gable roofs with overhanging eaves. Some hipped roof designs are also present, as are flared eaves and/or exposed rafter tails under the eaves. Many houses have an additional gable covering an open or enclosed porch, supported either by square post or turned spindle supports. Fish scale shingles, wood shingles, dormers, concrete foundations, stacked stone foundations, and a lack of window shutters are common features across many buildings along Main Street. Additional common elements include detached garages of similar architectural style to the associated houses. Although No Style is the most common among resources, a vernacular or local/regional representation of the Rustic style is also a prominent style among resources. In addition to the residential buildings located along Main Street, there are also several commercial buildings as well as a church, adding to the overall character of the area. Some of the several represented architectural styles/types are presented on the following pages:

No Style

Common characteristics include:

- Does not yield a cohesive architecture
- Limited architectural detail
- Mostly unornamented surfaces
- Variety of roof types including front gable, side gable, or hipped roof



Rustic

Common characteristics include:

- Log construction
- Overhanging eaves
- Exposed rafter tails
- Front or side gable roof
- Brick masonry or metal flue chimney
- Commercial hardware including window frames and doors



Minimal Traditional

Common characteristics include:

- Boxy appearance; minimal architectural detail
- Rectangular or square plan
- One-story
- Low roof; usually side gabled
- Closed roof eaves
- Central main entry
- Weatherboard, asbestos, or brick siding



Gabled-EII

Common characteristics include:

- L-shaped layout
- Two intersecting front gables
- Clapboard siding
- Typically incorporates a partial- or full-length porch
- Some examples feature Queen Anne style elements including decorative fish scale shingles and turned spindle work



Gothic Revival

Common characteristics include:

- Gothic (pointed) arch windows
- Steep pitched gable roof
- Masonry construction
- Limited or wide overhanging eaves
- Exposed rafter tails
- Open rake roof-wall junctions



Nineteenth Century Commercial

Common characteristics include:

- Multi-story
- Decorative frieze
- Door transom
- May have corbelled cornice
- Decorative brickwork
- Stone or brick belt course
- Parapet
- Usually single or double entryway; multiple entryways present with corner building



Edwardian

Common characteristics include:

- Multi-story
- Partial or full-length porch
- Multi-gable roof
- Asymmetrical
- Typically features some Queen Anne style elements including decorative fish scale shingles and/or turned spindle work



False Front Commercial

Common characteristics include:

- Multi-story
- Parapet that extends above the roof and sides of a building
- Early examples constructed of wood; later examples utilized brick masonry
- Decorative cornice
- Typically, a front gable roof behind false front



Bungalow

Common characteristics include:

- One or 1.5-story construction
- Typically incorporates a clapboard exterior envelope
- Exposed rafter tails under eaves
- Typically utilized a full-length porch



Italianate

Common characteristics include:

- Multi-story
- Segmental arch windows
- Tall and narrow windows
- Molded window surrounds
- Decorative brickwork
- Typically incorporates brick masonry, although stone masonry was also utilized



Hipped Roof Box

Common characteristics include:

- One-story
- Square plan
- Hipped roof
- Overhanging eaves with exposed rafter tails
- Decorative woodwork
- Typically utilized a clapboard exterior envelope



4. Reconnaissance Level Survey Results

4.1 Previous Studies

In 1996, several resources along Main Street were evaluated for individual NRHP eligibility as a part of the “Historic Building Survey: Town of New Castle, Garfield County, Colorado (SHF 95-M3-031).” These sites include the St. John’s Episcopal Church (5GF.2368); New Castle Town Hall and Hose House—New Castle Historical Museum (5GF.1665); New Castle Town Jail—New Castle Museum (5GF.2367); New Castle School/Rosie’s Roller Skating/Ferrin’s Daycare (5GF.2369); Breslin Residence (5GF.2370); Bernoudy Brothers Saloon—Schroeder’s General Store (5GF.2371); Calhoun Clothing Store—Schroeder’s General Store (5GF.2372); Mattivi Motor Company—Three Rivers Repair/Phillips 66 (5GF.2373); H.R. Kamm Store—Napa Auto Parts (5GF.2374); Bank of New Castle—Gresock’s Liquor Store (5GF.2375); Trimble Block—Wintercount (5GF.2376); (5GF.2377); Rock Saloon—Antiques (5GF.2378); Trimble Block (5GF.2379); Grand River Lodge—Odd Fellows Lodge/Hall (5GF.1488); Barry Block—La Loma West Restaurant (5GF.1166); and Noren Livery (5GF.2380).

Aside from the New Castle Town Jail—New Castle Museum (5GF.2367), St. John’s Episcopal Church (5GF.2368), and Mattivi Motor Company—Three Rivers Repair/Phillips 66 (5GF.2373)—which were assessed Field Eligible in 1996—and the Trimble Block—Wintercount (5GF.2376), Rock Saloon—Antiques (5GF.2378), and Trimble Block (5GF.2379), which carry an Officially Eligible determination by SHPO since 2001, all the above-mentioned resources have determinations of Field-Not Eligible. A field determination indicates that the SHPO has not officially concurred with the determination.

4.1.1 New Castle – Reconnaissance Survey

The appended Table I summarizes the buildings recorded during the 2022 reconnaissance-level survey. In addition to identifying those resources with high potential for NRHP eligibility, the potential for a historic residential district was also evaluated as part of this project.

Most of the resource information for the properties discussed in this report is derived from the Garfield County Assessor’s Office. The records of the Garfield County Assessor are incomplete and, in some instances, do not accurately reflect the correct date of construction for properties. However, information was also retrieved from archival documents obtained at the New Castle Museum, the OAHHP COMPASS database, Sanborn Fire Insurance Rate Maps from the U.S. Library of Congress, supplemented by research at Denver Public Library and online repositories such as Colorado Historic Newspapers.

5. Conclusions and Recommendations

The collection of resources identified through the 2022 reconnaissance-level survey of New Castle represent a high degree of historic architectural and/or thematic cohesion. Of the 70 total resources identified through the reconnaissance-level survey, 12 were ranked as having high potential for individual NRHP eligibility. For the most part, resources with a high potential of individual NRHP eligibility are likely to be eligible under NRHP Criterion C for their architectural qualities and characteristics, although NRHP Criterion A may also be applicable. These 12 resources are listed below. Furthermore, 12 resources were identified as having medium potential for NRHP eligibility, while the remaining 46 resources were identified as having a low potential for individual eligibility.

Resources with a “High” potential for individual NRHP eligibility:

- 802 West Main Street (5GF.5891)
- 792 West Main Street (5GF.5892)
- 721 West Main Street (5GF.5897)
- 589 West Main Street (5GF.5903)
- 366 West Main Street (5GF.5912)
- 331 West Main Street (5GF.2379)
- 303 West Main Street (5GF.2376)
- 298 West Main Street (5GF.2373)
- 100 East Main Street (5GF.2368)
- 162 East Main Street (5GF.5924)
- 505 East Main Street (5GF.5939)
- 116 North 4th Street (Rear) (5GF.2367)

Due to the number of thematically cohesive resources, there is also a high potential for a historic district along Main Street in New Castle. The potential historic district would be bounded by 8th Street to the west, Burning Mountain Avenue to the east, and adjacent to Main Street. In addition, two resources, 5GF.1665 and 5GF.2367 located at 115 North 4th Street, should be considered a part of the potential historic district boundaries, although they are not adjacent to Main Street. A particular historic theme represented within the potential district includes community and commerce development with a period of significance (POS) extending from 1888, when the Town of New Castle was incorporated, to 1973 which corresponds to the 50-year threshold typically used for eligibility determinations for the NRHP. While there are relatively few properties identified as having high potential for individual NRHP eligibility, taken together, many of the buildings along Main Street are representative of a cohesive period of construction constituting a potential National Register historic district eligible under Criteria A association with the economic growth and community development of New Castle. Although resources 5GF.1665 and 5GF.2367 are not adjacent to Main Street, these resources are associated with the early development of New Castle and are also linked with the thematic cohesion of the potential historic district.

Additionally, research throughout this assessment suggests that buildings, structures, and sites surrounding and outside of the potential historic district’s boundaries may also be of interest for future evaluation. Although the full extent of the original New Castle Townsite, Spencer’s Addition, and Spencer’s 2nd Addition go beyond the boundaries and scope of this evaluation, it is possible for these additional resources to enlarge the potential historic district’s boundaries or incorporate additional individually eligible resources. However, this would require additional assessments of the surrounding area to evaluate the potential to enlarge the boundaries of the potential historic district.

The 12 buildings identified as having the greatest potential for NRHP eligibility in this report represent a sample of residential buildings in the survey area and exhibit a variety of architectural styles. Future investigations in the area should prioritize the intensive evaluation of these resources for individual NRHP eligibility to officially determine NRHP eligibility through formal consultation with the SHPO. Priority should also be given to the intensive evaluation of the potential residential historic district. Additionally, future projects should also focus on evaluation of those residences identified through the 2022 reconnaissance-level survey as having medium probability of eligibility by performing intensive-level evaluations of individual NRHP eligibility, as well as a determination of the status of residences as either contributing or non-contributing to the potential historic residential district. Additional surveys should continue to expand outward from the downtown core of New Castle into the surrounding subdivisions to better understand mid-century and late-Twentieth Century development and residential trends as they manifested throughout New Castle.

Resources found to have a high potential for individual eligibility to the NRHP should also be considered as having high probability for the Colorado State Register of Historic Places (SRHP). Additionally, resources with potential NRHP and SRHP eligibility may also be candidates for local landmark designation for their strong association with the developmental growth of the New Castle area.

Most resources identified within this report should be considered likely to contribute to a potential historic residential district, primarily along Main Street. This report finds that, of the 70 total resources located in the potential district, approximately 56 buildings (or about 80%) could be considered potentially contributing. Additional research may yield further information regarding both the eligibility of individual resources, as well as their contributing status within the potential historic residential district. Finally, the 14 resources along Main Street which have been previously evaluated and carry field determinations should be reevaluated using standard inventory forms and following the most current OAHN guidance to obtain an official determination of eligibility through consultation with SHPO.

6. References









- “A Walking Tour of Downtown New Castle.” Town of New Castle. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf.
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- “New Castle, Colorado.” 1:24,000. United States Department of the Interior, 2022.


ATTACHMENTS

See attached OAHP site forms


Figures




 Study Area	 1931-1940
 1970-1973	 1921-1930
 1951-1960	 1900-1910
 1941-1950	 Pre-1900



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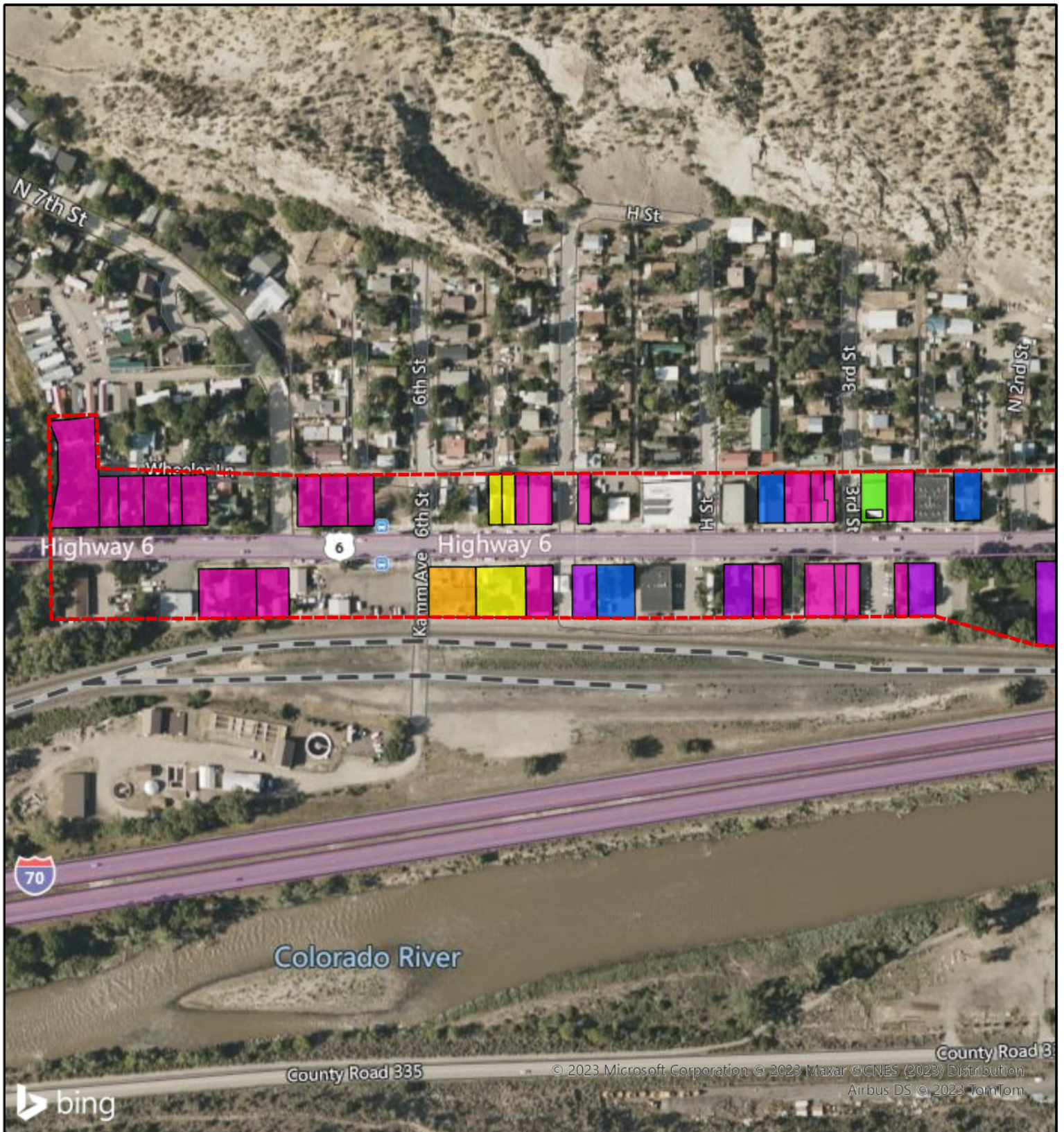




Project Map
 Reconnaissance Survey
 Study Area
 New Castle, Colorado

Site Location: Section 31 Township 5S, Range 90W, 6th Principal Meridian
 Pinyon Project Number: I22156001

Drawn By: SMF	Figure: I
Reviewed By: DG/ALB	Date: 4/11/2023



- Study Area
- 1970-1973
- 1951-1960
- 1941-1950
- 1931-1940
- 1921-1930
- 1900-1910
- Pre-1900



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Pinyon
Environmental, Inc.

Project Map
Reconnaissance Survey
Study Area
New Castle, Colorado

Site Location: Section 31 Township 5S, Range 90W, 6th Principal Meridian

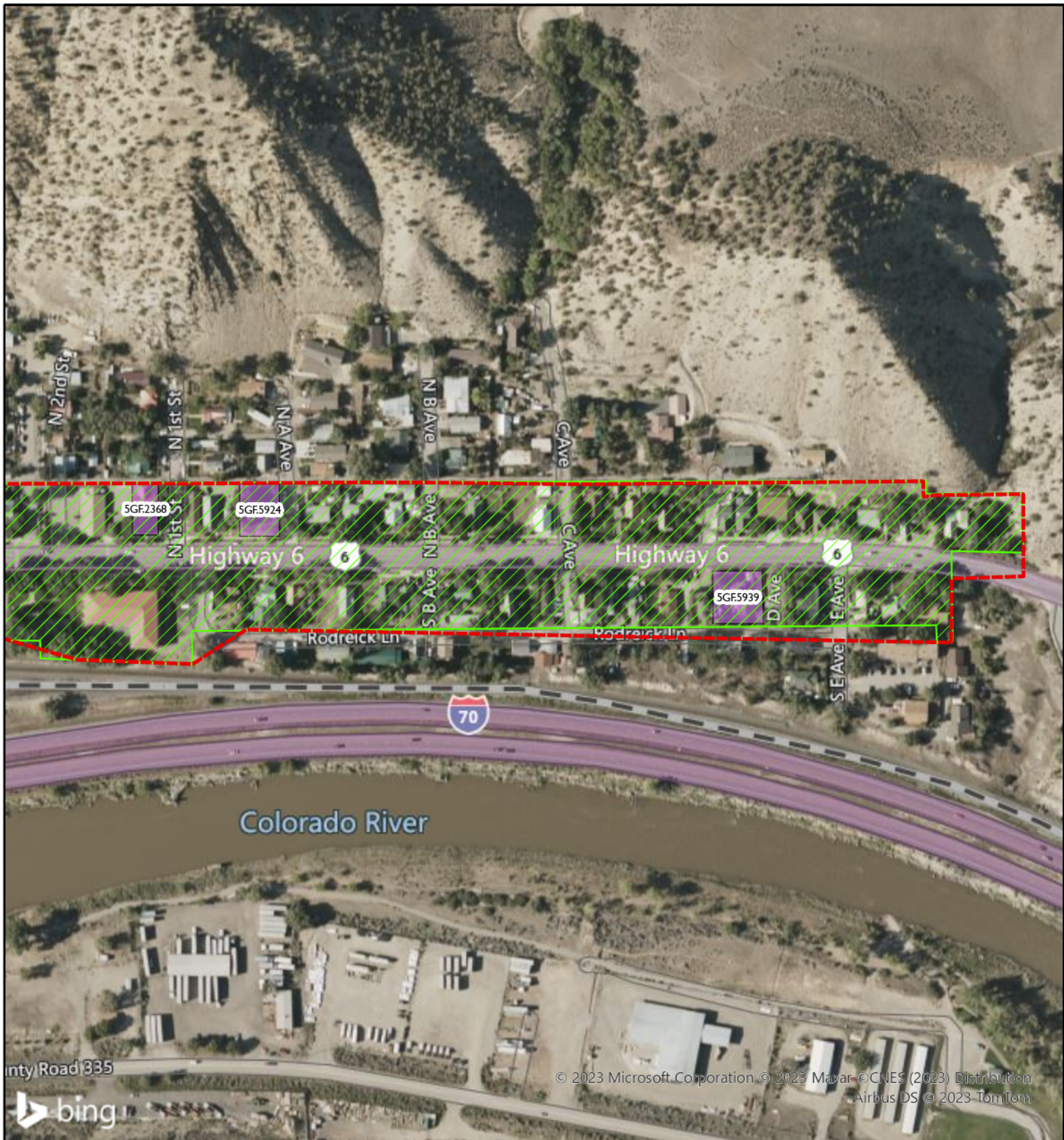
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Figure: 1



Pinyon Project Number: 122156001

Reviewed By: DG/ALB

Date: 4/11/2023



 Potential Historic District
 Study Area
 High Potential Resource

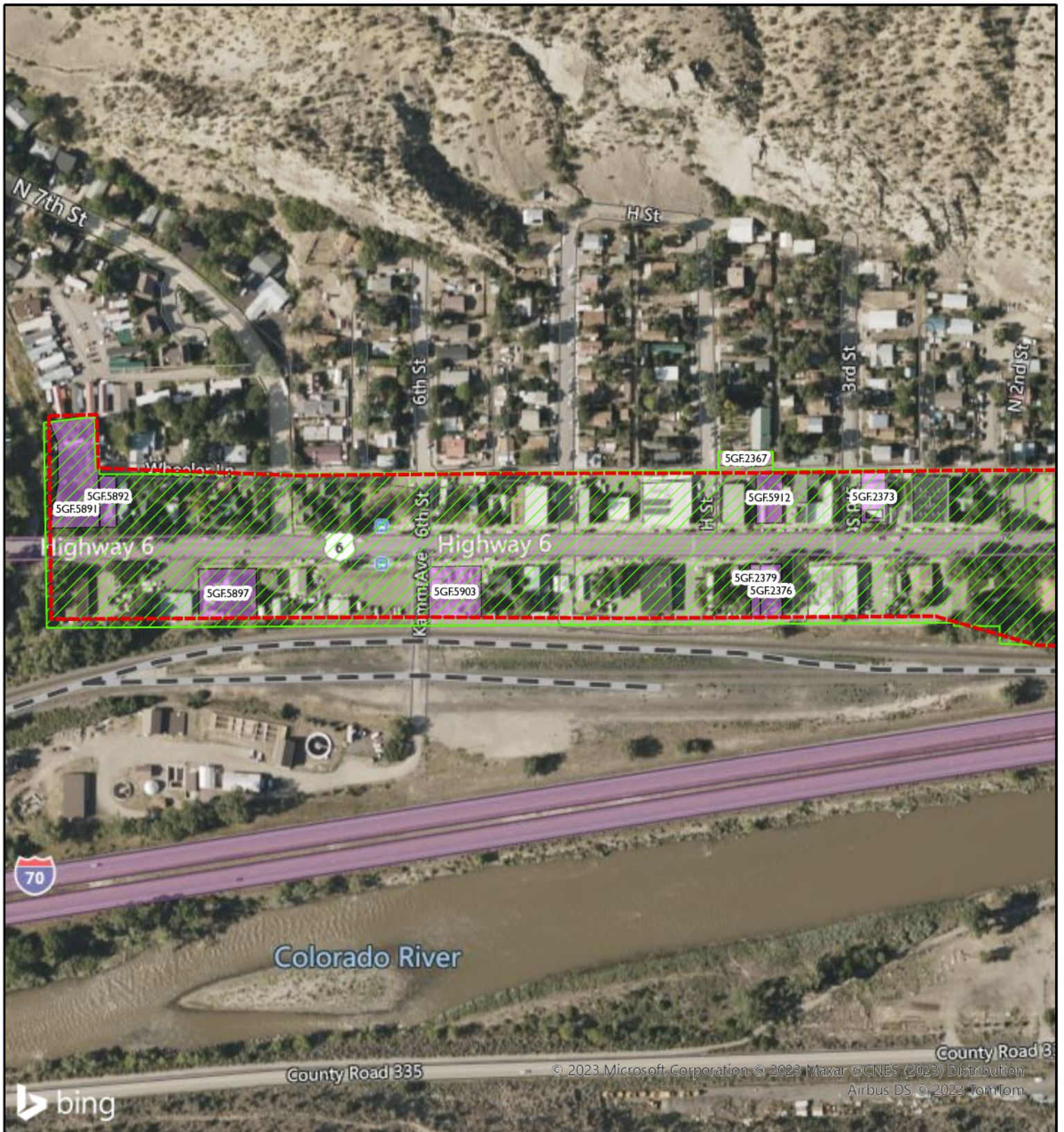

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High Potential Resource Map
 Reconnaissance Survey
 New Castle, Colorado

Drawn By: SMF	Figure: 2
Reviewed By: CMW	Date: 4/11/2023


Site Location: Section 31 Township 5S, Range 90W, 6th Principal Meridian
 Pinyon Project Number: 122156001

Drawn By: SMF
 Reviewed By: CMW



-  Potential Historic District
-  Study Area
-  High Potential Resource



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Pinyon
 Environmental, Inc.

High Potential Resource Map

Reconnaissance Survey
 New Castle, Colorado

Site Location: Section 31 Township 5S, Range 90W, 6th Principal Meridian

Drawn By: SMF




Figure: 2



Pinyon Project Number: 122156001

Reviewed By: CMW



Date: 4/11/2023




Table I – Reconnaissance Survey Table



Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
802 West Main Street (5GF.5891)	1895	Italianate; 1.5-story; Brick masonry	High	Yes	
792 West Main Street (5GF.5892)	Ca. 1899	Vernacular Queen Anne; Two-story; Horizontal weatherboard	High	Yes	
782 West Main Street (5GF.5893)	1893	Hipped roof box; One-story; Horizontal weatherboard	Medium	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
752 West Main Street (5GF.5894)	1893	Rustic; 1.5-story; Stone masonry	Low	Yes	
742 West Main Street (5GF.5895)	1893	No Style; One-story; Vertical weatherboard	Low	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
732 West Main Street (5GF.5896)	1898	Gabled-Ell; One-story; Novelty Siding	Low	Yes	
721 West Main Street (5GF.5897)	Ca. 1904	Edwardian; Two-story; Horizontal weatherboard	High	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
702 West Main Street (5GF.5898)	Ca. 1904	Vernacular Queen Anne; Two-story; Horizontal weatherboard	Medium	Yes	
681 West Main Street (5GF.5899)	1893	No Style; Two-story; Horizontal weatherboard	Low	No	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
644 West Main Street (5GF.5900)	Ca. 1904	Edwardian; Two-story; Composite siding	Low	Yes	
640 West Main Street (5GF.5901)	1893	No Style; Two-story; Vinyl siding	Low	No	
620 West Main Street (5GF.5902)	Ca. 1899	No Style; One-story; Composite siding	Low	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
589 West Main Street (5GF.5903)	1951	Mixed Style; One-story Stucco	High	Yes	
562 West Main Street (5GF.5904)	1974	Prefabricated mobile trailer; One-story; Corrugated metal	N/A (outside period of significance)	No	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
552 West Main Street (5GF.5905)	1942	Shotgun; One-story; Wood shingle	Low	Yes	
543 West Main Street (5GF.5906)	1948	No Style; 1.5-story; Faux log	Low	Yes	
542 West Main Street (5GF.5907)	1942	Shotgun; One-story; Vertical weatherboard	Low	Yes	



Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
532 West Main Street (5GF.5908)	1893	No Style; One-story; Horizontal and vertical weatherboard	Low	Yes	
503 West Main Street (5GF.2380)	Ca. 1905	False Front Commercial; One-story; Horizontal weatherboard and embossed asphalt siding Field - Not Eligible (1996)	Low	Yes	
502 West Main Street (5GF.1166)	Ca. 1893	Nineteenth Century Commercial; Two-story; Brick masonry Field - Not Eligible (1996); Local landmark	Medium	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
500 West Main Street (5GF.1488)	Ca. 1890	Nineteenth Century Commercial; Two-story; Brick masonry Field- Not Eligible (1996); Local landmark	Medium	Yes	
457 West Main Street (5GF.5909)	Ca. 1899	Commercial; One-story; Vertical weatherboard	Low	Yes	
437 West Main Street (5GF.5910)	1929	Bungalow	Low	No	



Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
376 West Main Street (5GF.5911)	N/A	N/A (empty lot)	N/A	No	
366 West Main Street (5GF.5912)	1928	False Front Commercial; One-story; Stucco	High	Yes	
335 West Main Street (5GF.5913)	1971	Prefabricated mobile trailer; One-story; Corrugated metal	Low	No	


Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
333 West Main Street (5GF.5914)	1909	Vernacular Queen Anne; 1.5-story; Horizontal weatherboard	Medium	Yes	
331 West Main Street (5GF.2379)	1895	Nineteenth Century Commercial; Two-story; Brick masonry Officially - Eligible (2001)	High	Yes	
316 West Main Street (5GF.2378)	1890	Nineteenth Century Commercial; Two-story; Stone/brick masonry Officially - Eligible (2001); Field - Not Eligible (1996)	Medium	Yes	



Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
312 West Main Street (5GF.2377)	1889	Commercial; One-story; Horizontal weatherboard Field - Not Eligible (1996)	Low	Yes	
303 West Main Street (5GF.2376)	Ca. 1893	Nineteenth Century Commercial; Two-story; Brick masonry Officially - Eligible (2001)	High	Yes	
302 West Main Street (5GF.2375)	1889	Nineteenth Century Commercial; One-story; Stucco Field - Not Eligible (1996)	Low	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
298 West Main Street (5GF.2373)	1937	<p>Rusticated Commercial; One-story; Rusticated concrete block</p> <p>Field - Eligible (1996); Local landmark</p>	High	Yes	
286 West Main Street (5GF.5915)	1892	<p>No Style; One-story; Vinyl siding</p>	Low	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
275 West Main Street (5GF.2374)	Ca. 1888	Nineteenth Century Commercial; One-story; Stucco (Formally 299 West Main Street) Field - Not Eligible (1996); Local landmark	Low	Yes	
219 West Main Street (5GF.2372)	1892	Nineteenth Century Commercial; One-story; Brick masonry (Formally 239 West Main Street) Field - Not Eligible (1996); Local landmark	Low	Yes	
202 West Main Street (5GF.5918)	1923	No Style; 1.5-story; Composite siding	Low	Yes	



Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
201 West Main Street (5GF.2371)	Ca. 1890	Nineteenth Century Commercial; One-story; Brick masonry Field - Not Eligible (1996)	Low	Yes	
181 West Main Street (5GF.2370)	Ca. 1905	No Style; 1.5-story; Embossed asphalt siding Field - Not Eligible (1996)	Low	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
161 West Main Street (5GF.5919)	1900	False Front Commercial; One-story; Horizontal weatherboard Local landmark	Low	Yes	



Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
157 West Main Street (5GF.5920)	1983; 2004	Burning Mountain Park	N/A	No	
151 West Main Street (5GF.2369)	1913; 1939	Mixed Style; Two-story; Brick masonry Field - Not Eligible (1996)	Low	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
122 West Main Street (5GF.5890)	1984	No Style; One-story; Vertical weatherboard Post Office	N/A (outside period of significance)	No	
0 West Main Street (5GF.5944)	2002	Parking lot	N/A (outside period of significance)	No	
100 East Main Street (5GF.2368)	1909	Gothic Revival; One-story; Concrete Field - Eligible (1996); Local landmark	High	Yes	



Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
102 East Main Street (5GF.5921)	1948 (moved to site)	No Style; One-story; Vinyl siding	Low	No	
122 East Main Street (5GF.5922)	1941	Rustic; One-story; Log	Low	Yes	
142 East Main Street (5GF.5923)	1941	Bungalow; One-story; Vertical weatherboard	Low	Yes	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
162 East Main Street (5GF.5924)	1942	Cape Cod; 1.5-story; Horizontal weatherboard	High	Yes	
191 East Main Street (5GF.5925)	1950	Rustic; One-story; Horizontal weatherboard	Low	Yes	


Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
203 East Main Street (5GF.5926)	1936	Rustic; One-story; Novelty siding	Low	Yes	
221 East Main Street (5GF.5927)	Unknown	No Style; One-story; Horizontal weatherboard	Low	No	
281 East Main Street (5GF.5928)	1938	No Style; One-story; Horizontal weatherboard	Low	No	




Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
296 East Main Street (5GF.5929)	1893	No Style; One-story; Vinyl siding	Low	Yes	
311 East Main Street (5GF.5931)	1950	Minimal Traditional; One-story; Asbestos siding	Medium	Yes	

Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
316 East Main Street (5GF.5932)	1938	Minimal Traditional; One-story; Stucco	Medium	Yes	
396 East Main Street (5GF.5933)	1940	Rustic; One-story; Log	Medium	Yes	
403 East Main Street (5GF.5934)	1936	No Style; One-story; Vinyl siding	Low	Yes	

Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
405 East Main Street (5GF.5934)	1973	Prefabricated mobile trailer; One-story; Corrugated metal	Low	No	
406 East Main Street (5GF.5935)	1934	Rustic; One-story; Log	Medium	Yes	
407 East Main Street (5GF.5936)	1970	No Style; One-story; Board and batten	Low	Yes	

Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
436 East Main Street (5GF.5937)	1936	Vernacular Bungalow One-story; Stucco	Medium	Yes	
466 East Main Street (5GF.5938)	1893	No Style; One-story; Vertical weatherboard	Low	Yes	
505 East Main Street (5GF.5939)	1945	Rustic; One-story; Log	High	Yes	

Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
641 East Main Street (5GF.5940)	1898	Gabled-Ell (with some Queen Anne style); One-story; Vinyl siding	Low	Yes	
644 East Main Street (5GF.5941)	1949	No Style; Two-story; Vinyl siding	Low	No	
681 East Main Street (5GF.5942)	1905	No Style; One-story; Board and batten	Low	Yes	

Address/Site Number	Year built	Notes	Individual Assessment (high, medium, low)	Contributes to potential Historic District	Photographs
696 East Main Street (5GF.5943)	1903	Shingle/Gabled Ell; 1.5-story; Shingle and brick masonry	Medium	Yes	
116 North 4th Street (Front) (5GF.1665)	Ca. 1893-1894	No Style; One-story; Stucco New Castle Museum Officially - Not Eligible (1992); Field - Not Eligible 1996); Local landmark	Low	Yes	
116 North 4th Street (Rear) (5GF.2367)	Ca. 1893-1894	No Style; One-story; Stone masonry Stone masonry Old Town Jail Field - Eligible (1996)	High	Yes	

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: 0 West Main Street Property Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 0 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331301004
- **9. Parcel Information: Lot(s): 13-16 Block: 9 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.23 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NE ¼ of NE ¼ of SW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282149 ;mN 4383033 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
N/A	N/A	N/A	N/A
Windows	Roof	Chimney	Porch
N/A	N/A	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.): N/A

14. Associated buildings, features, or objects: The property consists of a gravel parking lot with a sidewalk and bike rack along the northern boundary of the resource. A short concrete wall can be noticed along the southern boundary of the property and property is bound by Kamm Avenue on the east side. There are no additional features of the property to discuss.

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: N/A

Current Function/Use (if different): Parking lot

17. Date of Construction: 2002

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: The property was purchased by the Town of New Castle in 2002 and a park lot was constructed shortly after. In 2016, historical aerial imagery demonstrates that the sidewalk adjacent to the northern boundary of the property was modified.

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"0 West Main Street." Garfield County Assessor's Office. Parcel Number 212331301004. Accessed April 4, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=801422251&Key Value=R380336>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed April 4, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed April 4, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

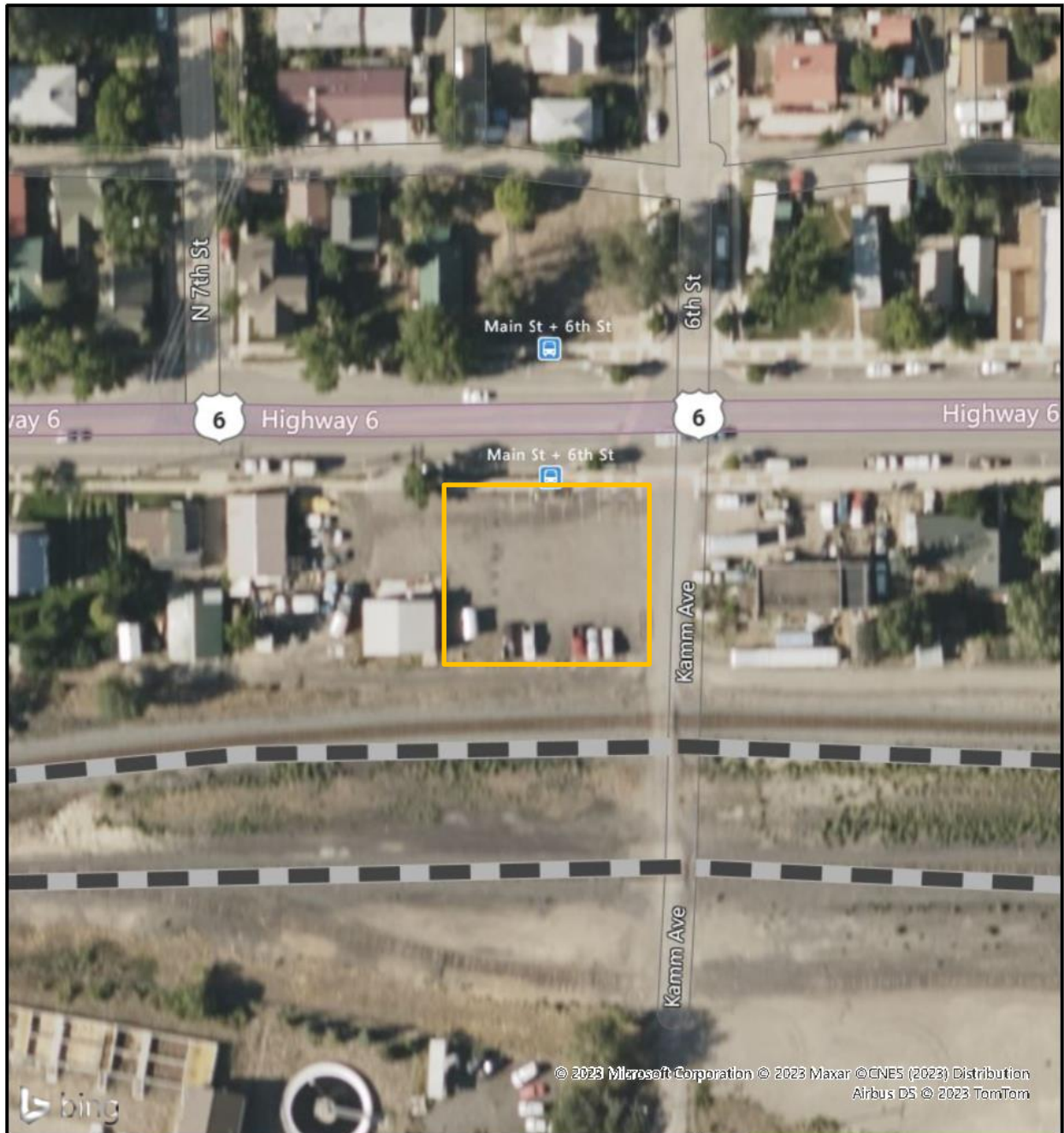
SKETCH PLAN *include approximate scale*



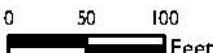



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5944_1 to 5GF.5944_2</u>

See Attachment																			
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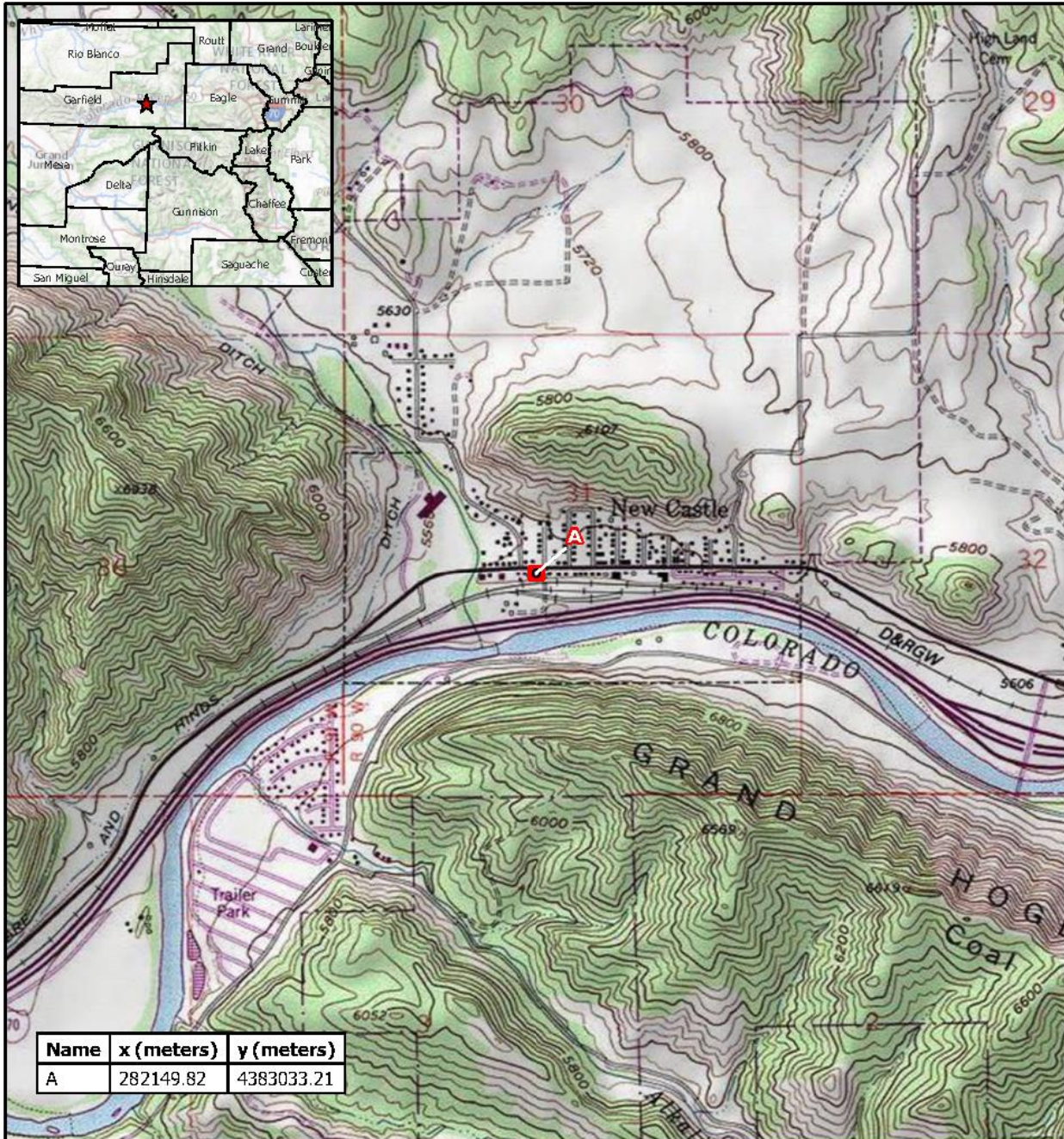
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 0 West Main Street (5GF.5944) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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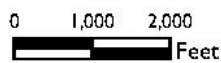
Topographic Map



Name	x (meters)	y (meters)
A	282149.82	4383033.21

Legend

 Resource Boundary



Topographic Map

0 West Main Street (5GF.5944)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Park C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5944_1
Description: Looking at the property from the intersection of Main Street and Kamm Avenue.
View: Southwest



Photo Number: 5GF.5944_2
Description: Looking at the parking lot from Kamm Avenue.
View: West

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: St. John's Episcopal Church Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 100 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331107011
- **9. Parcel Information: Lot(s): 1-2 Block: D Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282596 ;mN 4383078 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Gothic Revival	Concrete	Concrete; wood novelty siding
Windows	Roof	Chimney	Porch
Oxeye window; three-over-four single hung sash gothic (pointed) arch window; three-lite gothic arch window; wood frames	Cross gable; metal roof; overhanging eaves; exposed rafter tails under the eaves; wood shingles in the gable ends	Brick masonry chimney	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, t-shaped (cruciform shaped) building was constructed in 1909 as shown through review of Garfield County Assessor's Office and Town of New Castle Museum records. The approximately 80' by 40' building is representative of a vernacular form of Gothic Revival style of architecture. Architectural elements of the building include a concrete foundation; an exterior envelope clad with concrete and wood novelty siding; a cross gable roof design; metal roof; wide overhanging eaves; exposed rafter tails under the eaves; decorative wood shingles in the gable ends; and a brick masonry chimney. The building also incorporates common Gothic Revival style features such as several gothic arch windows. The typical gothic arch window features a three-over-four single hung sash. Other window configurations include a three-lite gothic arch window and an oxeye window unit. The oxeye-stained window can be noticed under the front gable peak along the primary (south) elevation. The main entryway is located in the center of the primary (south) elevation of the building. The building's historic square brick masonry chimney can also be noticed protruding from the roof of the gable

along the east elevation. The entryway consists of a front gable bay with double wood doors. The double wood doors incorporate square transom lites. After reviewing historic photos and historic street imagery, the double wood door units replaced the historic wood panel doors between 1996 and 2008. Additionally, the front gable main entry bay was added along the primary (south) elevation likely in the early to mid-Twentieth Century.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other: "New Castle Museum on the Street" information sign (local landmark)

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Church

Current Function/Use (if different): Church

17. Date of Construction: 1909
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input checked="" type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following history is a portion of the historic context quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"St. John's Episcopal Church was organized in the Fall of 1907 by Mrs. C. G. Harris and Mrs. James Duece... The cornerstone for the church was laid on 2 November 1908. The first service in the building was held on Easter Sunday, 11 April 1909. Rev. Urban and volunteers built many of the furnishing for the church using packing crates from the Doll Brothers store; other furnishings came from other local churches and from the community."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2368) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Eligible.

The Town of New Castle designated the resource as a local landmark in 2016.

23. Sources:

"100 East Main Street." Garfield County Assessor's Office. Parcel Number 212331107011. Accessed December 30, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1721891304&Key=Value=R380303>

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 30, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 30, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "St. John's Episcopal Church (5GF.2368)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

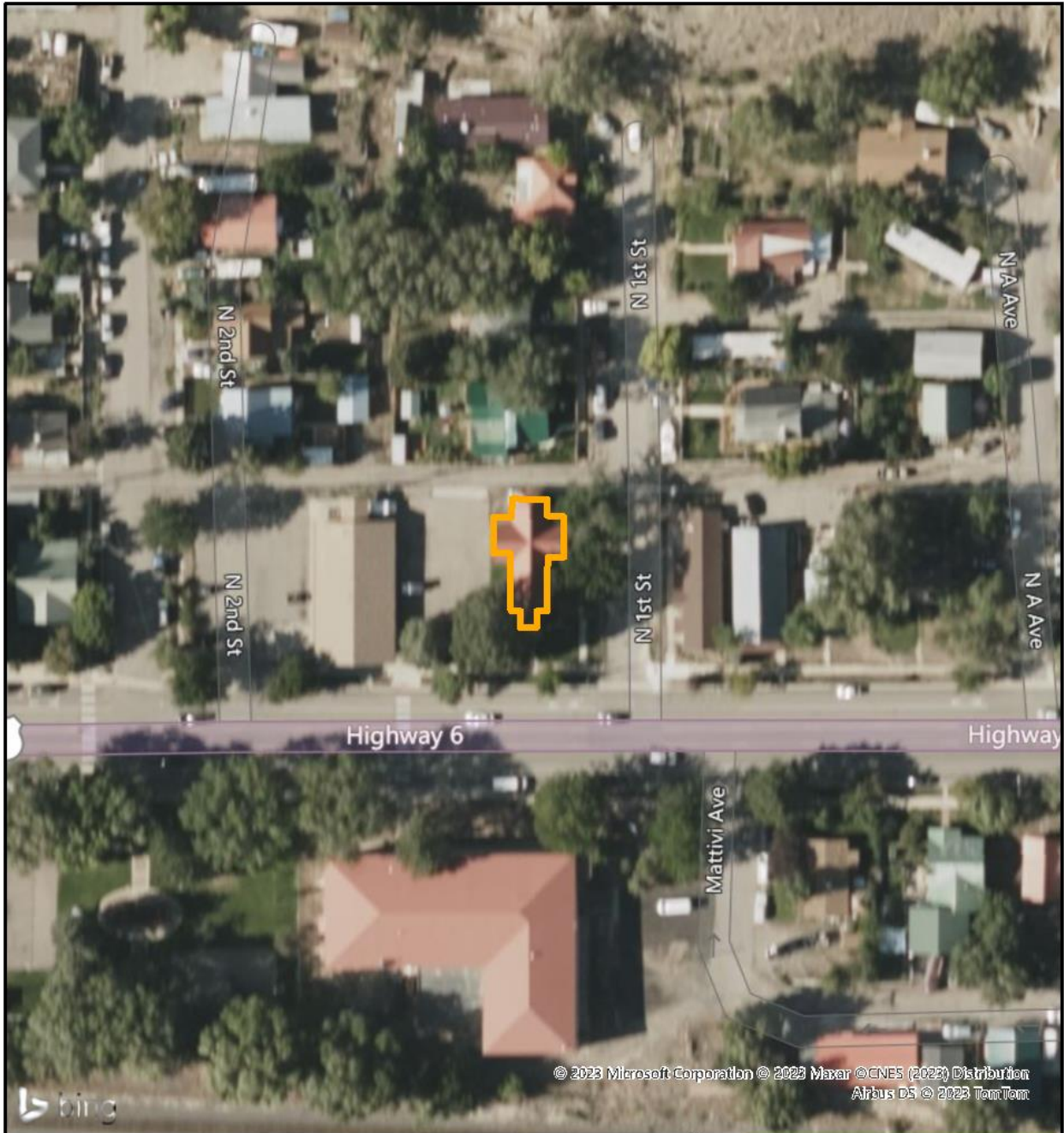
SKETCH PLAN *include approximate scale*



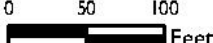


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2368_1 to 5GF.2368_3, and 3 historic photos</u>

See Attachment																			
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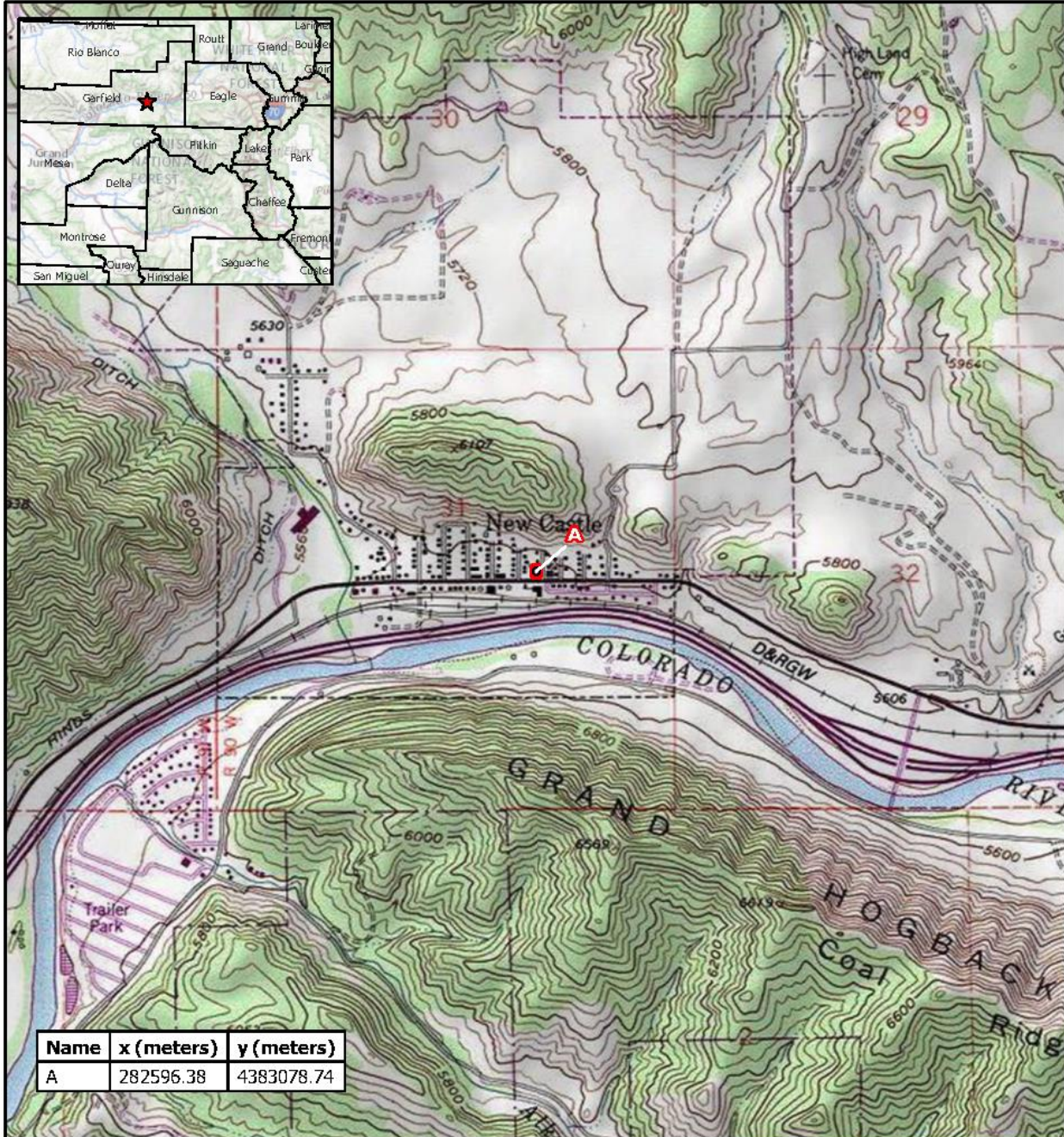
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 100 East Main Street (5GF.2368) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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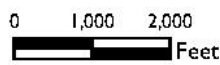
Topographic Map



Name	x (meters)	y (meters)
A	282596.38	4383078.74

Legend

 Resource Boundary



Topographic Map

100 East Main Street (5GF.2368)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Park C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.2368_1
Description: Looking at the primary (south) and east elevations of the building. Note the historic brick masonry chimney; exposed rafter tails under the eaves; and the gothic arch window units.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.2368_2
Description: Looking at the primary (south) and east elevations of the church.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.2368_3
Description: Looking at the west elevation and primary (west) elevation of the building.
Date: 9/6/2022
View: Northeast



Historic Photo 1
Description: Looking at the primary (south) elevation of the church. Note that the front gable bay was not extant at the time, yet the oxeye, brick masonry chimney, and wood shingles in the gable end are extant.
Date: Unknown; likely early-Twentieth Century
Source: "New Castle Museum on the Street" sign along primary (south) elevation of the church

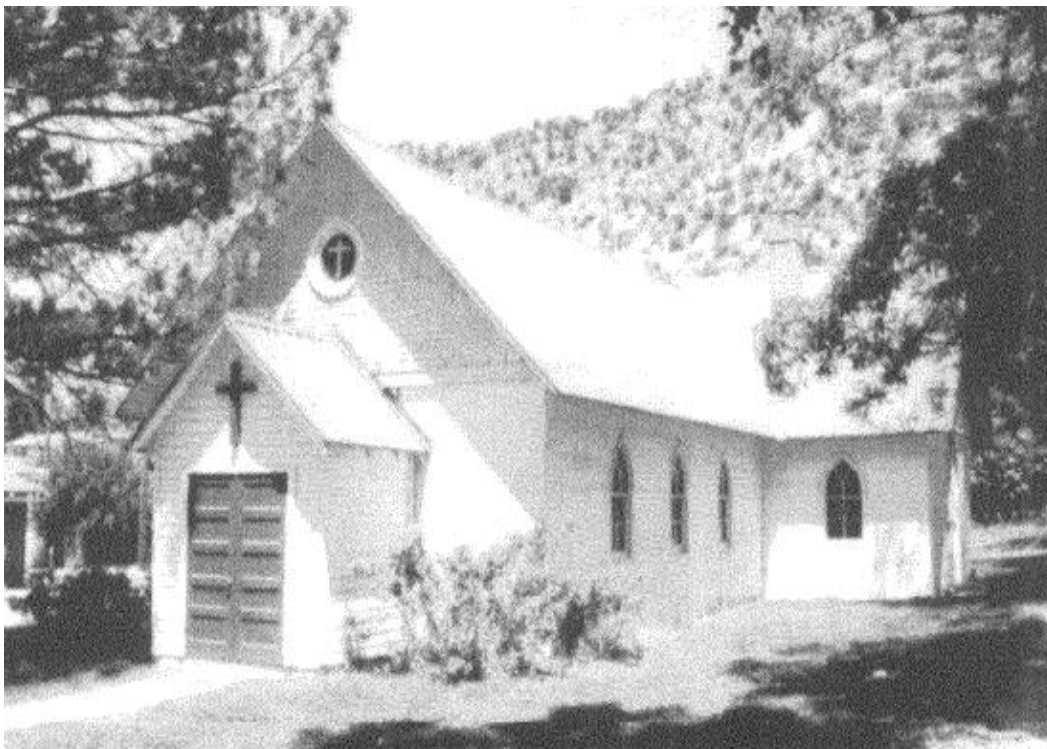


Historic Photo 2

Description: Looking at the primary (south) elevation of the church. Note the historic double wood panel doors are extant at the time.

Date: Unknown

Source: New Castle Museum collection



Historic Photo 3

Description: Looking at the primary (south) and east elevations of the church.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2368)

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: Saint John's Guild Hall Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 102 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331106003
- **9. Parcel Information: Lot(s): 1 Block: E Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282625 ;mN 4383077 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Concrete	Vinyl
Windows	Roof	Chimney	Porch
Three-lite casement sash; nine-lite picture sash divided by muntins; three-lite hopper sash; one-lite hopper sash; one-by-one sliding sash	Side gable roof; asphalt shingles; overhanging eaves; exposed rafter tails under the eaves	Metal flue	Partially enclosed porch with front gable overhang along the primary (west) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

As shown through review of Town of New Castle records, the one-story, rectangular shaped building was disassembled in La Junta, Colorado and later reassembled in its current location in 1948. Additional historic records demonstrate that the building was initially associated with the Civilian Conservation Corps (CCC) before it later transitioned to a church/community hall in New Castle. The approximately 80' by 28' building does not represent a particular architectural style due to it possessing unornamented walls and lacking decorative elements. Several architectural features that can be noticed pertaining to the building include a concrete foundation; a side gable roof design; overhanging eaves; exposed rafter tails under the eaves; an exterior envelope clad with vinyl siding; and a metal flue chimney. The main entryway is located in the center of the primary (west) elevation. The main entryway is also protected by a front gable overhang. A metal staircase can be noticed to the right of the entryway while a metal ramp is to the left. Additional entryways can be noticed on both the far left and far right of the facade. There are a variety of window configurations that can be found

including three-lite casement sash; nine-lite picture sash divided by mutins; three-lite hopper sash; one-lite hopper sash; and one-by-one sliding sash units. A majority of the windows incorporate wood frames.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Civilian Conservation Corps (CCC) Current Function/Use (if different): Church/Community Hall

17. Date of Construction: 1948 (Date moved to current location) Estimated Actual (include source): "A Walking Tour of Downtown New Castle" by Town of New Castle (www.newcastlecolorado.org)

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input checked="" type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"102 East Main Street." Garfield County Assessor's Office. Parcel Number 212331106003. Accessed December 29, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1005928616&KeyVal=380309>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 29, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 29, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

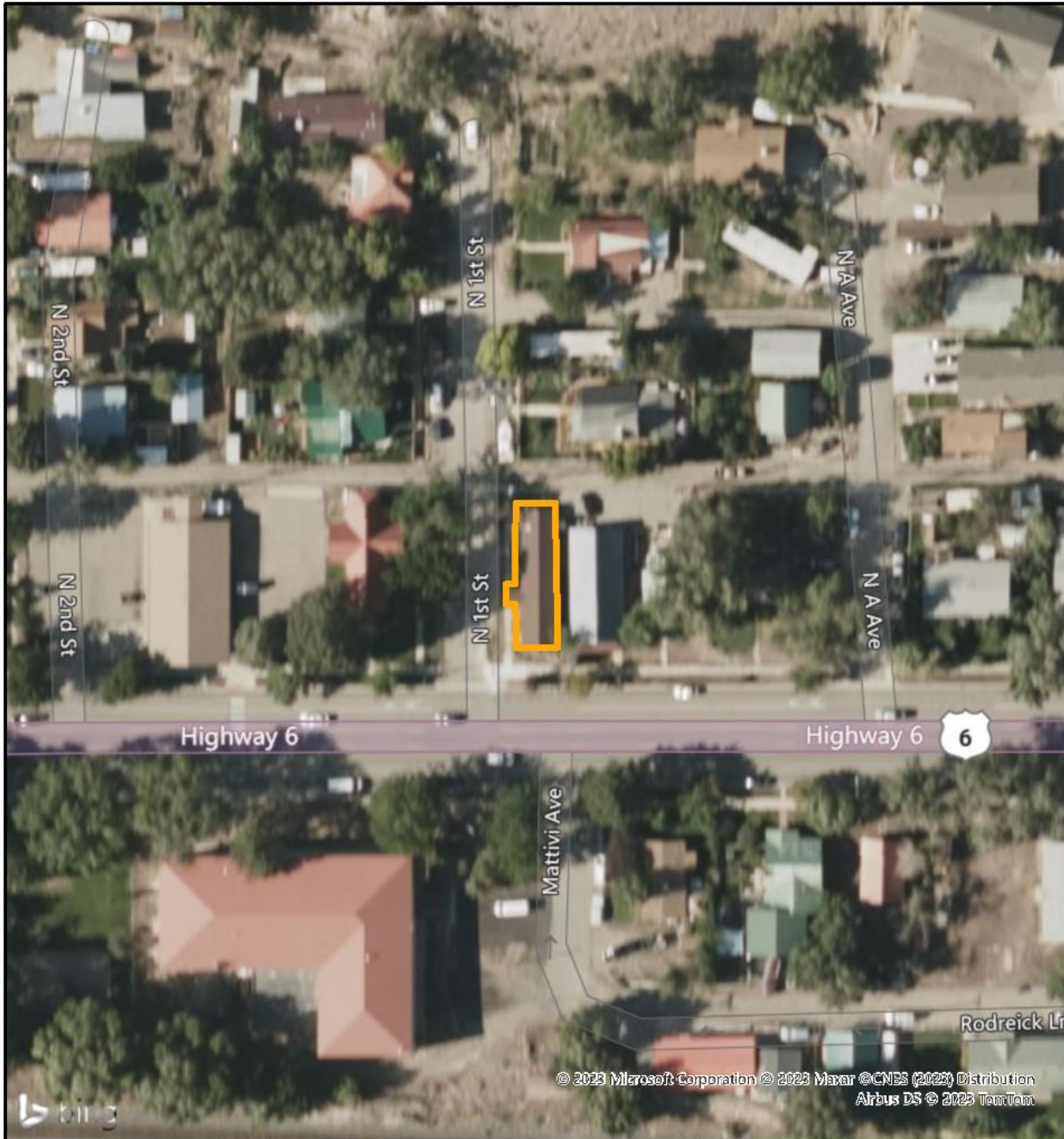
SKETCH PLAN *include approximate scale*



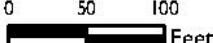


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5921_1 to 5GF.5921_3, and 1 historic photo</u>

See Attachment																			
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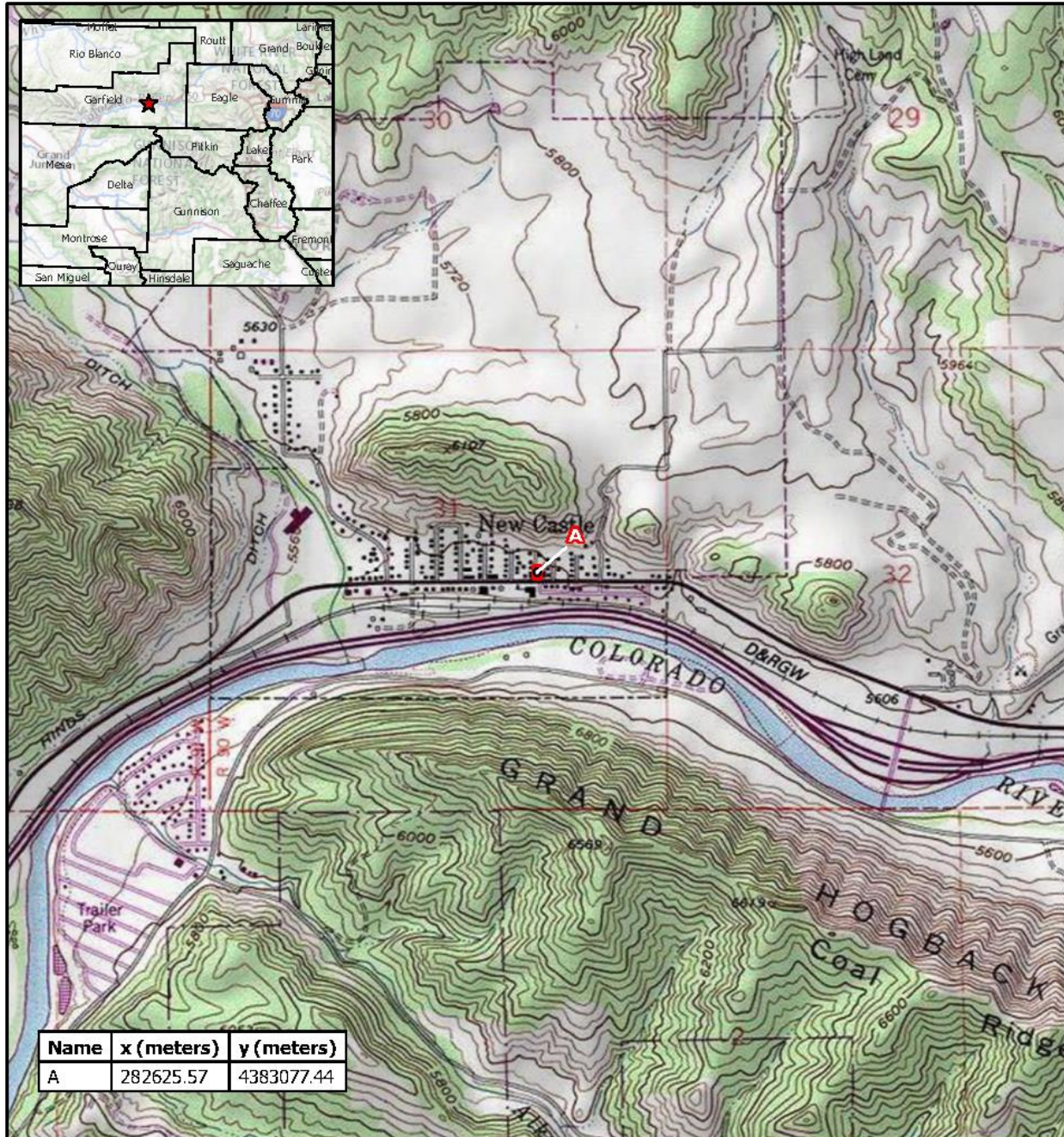
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 102 East Main Street (5GF.5921) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Drawn By: CJB</td> <td style="width: 50%;">Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282625.57	4383077.44

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map
102 East Main Street (5GF.5921)
New Castle, Colorado
Garfield County

Drawn By: CJB	Figure: I
Reviewed By: CMW	Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Path: C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5921_1
Description: Looking at the primary (west) and south elevations of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5921_2
Description: Looking at the south elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5921_3
Description: Looking at the north and primary (west) elevations of the building.
Date: 9/6/2022
View: Southeast



Historic Photo 1
Description: Looking at the south and a portion of the east elevation of the building.
Date: Unknown
Source: New Castle Museum collections

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: New Castle Town Hall and Hose House/New Castle Historical Museum Historic Current
 Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 116 North 4th Street (Front)
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331109014
- **9. Parcel Information: Lot(s): 30 Block: B Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.06 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 28237 ;mN 4383107 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Stacked stone	Stucco
Windows	Roof	Chimney	Porch
One-over-one double hung sash windows; segmental arch lintels; stucco and wood sills; transom	Front gable roof clad in corrugated metal; overhanging eaves; horizontal weatherboard in the gable end	Brick masonry chimney with a metal flue cap along east elevation	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.): The one-story, rectangular shaped building was constructed in 1893-1894. The approximately 85' by 18' building is not representative of a particular style of architecture. Overall, the resource is a No Style Commercial building. The building features a stacked stone foundation; a front gable roof clad in corrugated metal; a brick structural system clad in stucco; a front gable cupola with overhanging eaves and exposed rafter tails; horizontal weatherboard in the gable end along the primary (west) elevation; a panel and glazed garage door along the primary (west) elevation; and a brick masonry chimney. The typical window consists of a wooden one-over-one double hung sash. Several windows also feature a segmental arch lintel and a stucco or wood sill. The main entryway is located on the far-right side of the primary (west) elevation. The main entryway incorporates a wood slab door. A secondary entryway can be noticed in the center of the south elevation. The secondary entryway consists of a wood slab door that is capped by a rectangular transom. Furthermore, a shed roof addition can be seen along the east elevation. Exterior wall mounted museum signage is also present along the primary (west) and south elevations.

Historical imagery of the building circa 1910 demonstrates that the building has undergone a high degree of modification. During this time, the building consisted of a brick masonry exterior envelope; a flat roof; a segmental arch double door entryway along the primary (west) elevation; and a square cupola that incorporated a pyramid roof. By the 1960s, a cinderblock addition was constructed along the east elevation; the exterior envelope was clad in stucco; and the historic flat roof was modified to a front gable. In addition, the main entryway at been construction along the primary (west) elevation; the double door entryway had been replaced by a panel and glazed garage door; and the cupola was modified to a rectangular shape and a front gable roof by this time as well. By 1992, a majority of the windows were fronted by iron grates. By 2012, historical street imagery reveals that the exposed rafter tails under the eaves were closed.

14. Associated buildings, features, or objects: Another resource is located on the far east side of the property. This building is known as the former New Castle Jail and is associated with 5GF.2367. This resource is evaluated independently from 5GF.2367.

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Town Hall and Hose House

Current Function/Use (if different): Museum

17. Date of Construction: 1893-1894
Building Inventory Record (5GF.1665)

Estimated Actual (include source): 1996 OAHP Historic

18. Other Significant Dates, if any: After the construction of a new town hall in 1984, the resource was altered into a local town museum.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input checked="" type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"This building was erected as the town hall and hose house for New Castle in 1893-1894. Previously, the town government had operated from various local hotels. The building contained offices for the town clerk and the chambers of the town council, as well as storage space for the fire department equipment. The 1899 Sanborn indicates that the building the building housed two independent hose carts, had a belfry 6' above the roof, and a calaboose in the rear. These features are also shown on the 1904 map, the 350' of the 2 1.2" hose is also noted. The building now houses a historical museum including displays, historical artifacts, and photographs and archival materials, operated by the New Castle Historical Society."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.1665) was initially evaluated in December 1992 by the Town of New Castle and assessed as Field- Eligible. However, the resource was later determined Officially – Not Eligible by the Colorado Office of Archaeology and Historic Preservation (OAHP) in 1992.

The resource was evaluated again in June 1996 by Front Range Research Associates, Inc. and assessed as Field-Not Eligible. The resource is designated a local landmark aby the Town of New Castle.

23. Sources:

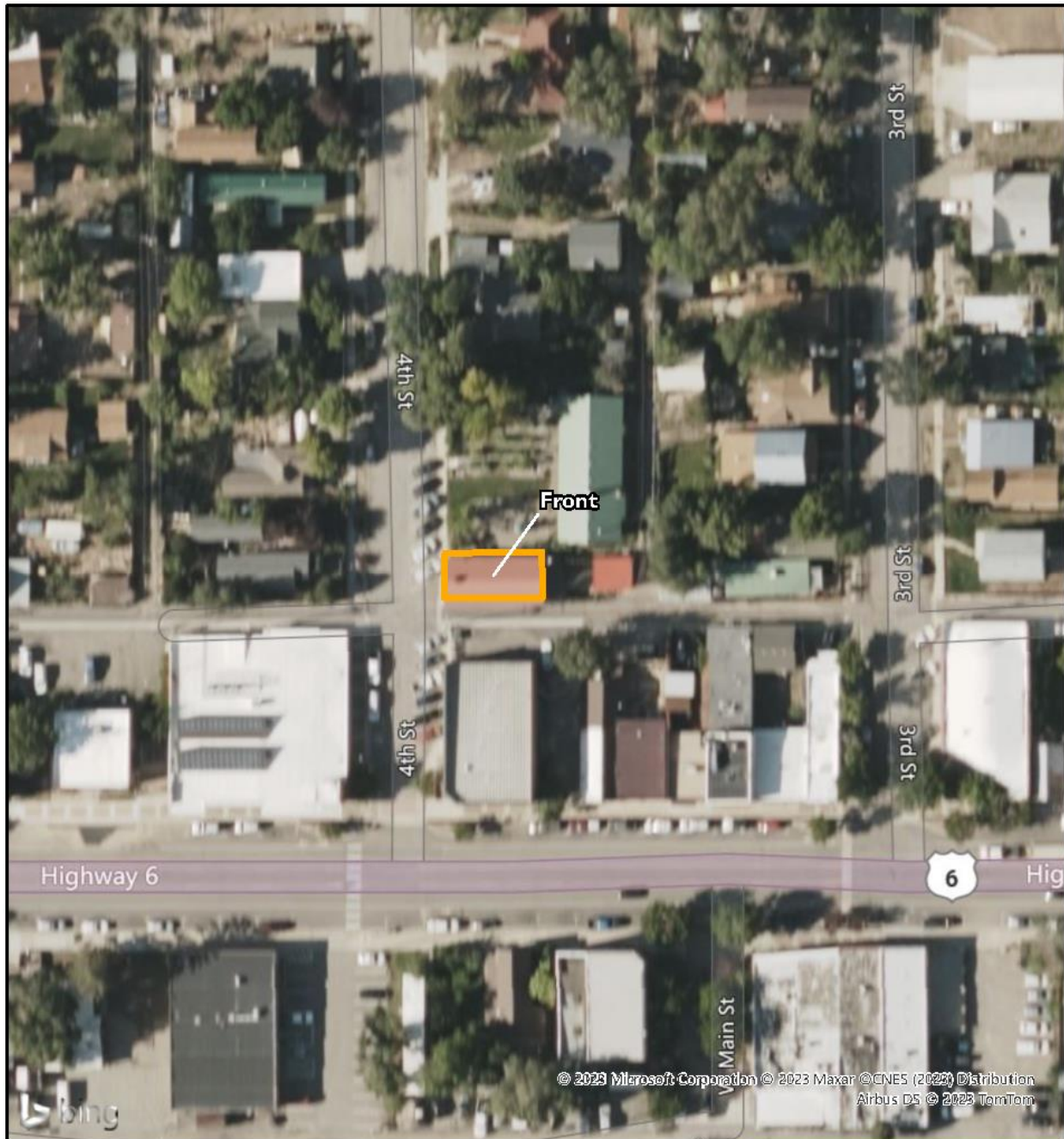
- "116 North 4th Street." Garfield County Assessor's Office. Parcel Number 212331109014. Accessed April 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=217401093&KeyValue=R380330>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed April 3, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed April 3, 2023. <https://www.historicaerials.com>.
- "New Castle Town Hall." Denver Public Library – Digital Collections. Accessed April 3, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/11787/rec/406>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- Town of New Castle. "New Castle Historical Museum (5GF.1665)." Historic Building Inventory Record – Colorado Historical Society, December 1992.
- Front Range Associates, Inc. "New Castle Historical Museum (5GF.1665)." Historic Building Inventory Record – Colorado Historical Society, June 1996.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed April 3, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed April 3, 2023. https://www.loc.gov/item/sanborn01052_003/.



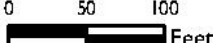
SKETCH PLAN *include approximate scale*



<p align="center">FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)</p>
<input type="checkbox"/> Determined Eligible – NR <input type="checkbox"/> Determined Eligible – SR <input checked="" type="checkbox"/> Not Eligible <input checked="" type="checkbox"/> Eligible District – Contributing <input type="checkbox"/> Needs Data <input checked="" type="checkbox"/> Local Landmark
<p align="center">RECORDING INFORMATION</p>
<p>Survey Date: <u>9/6/2022</u> Surveyed By: <u>Cameron Weishoff</u> Project Sponsor: <u>Town of New Castle</u> Photograph Log: <u>5GF.1665_1 to 5GF.1665_3, 1 historic photo, and 4 reference photos</u></p>

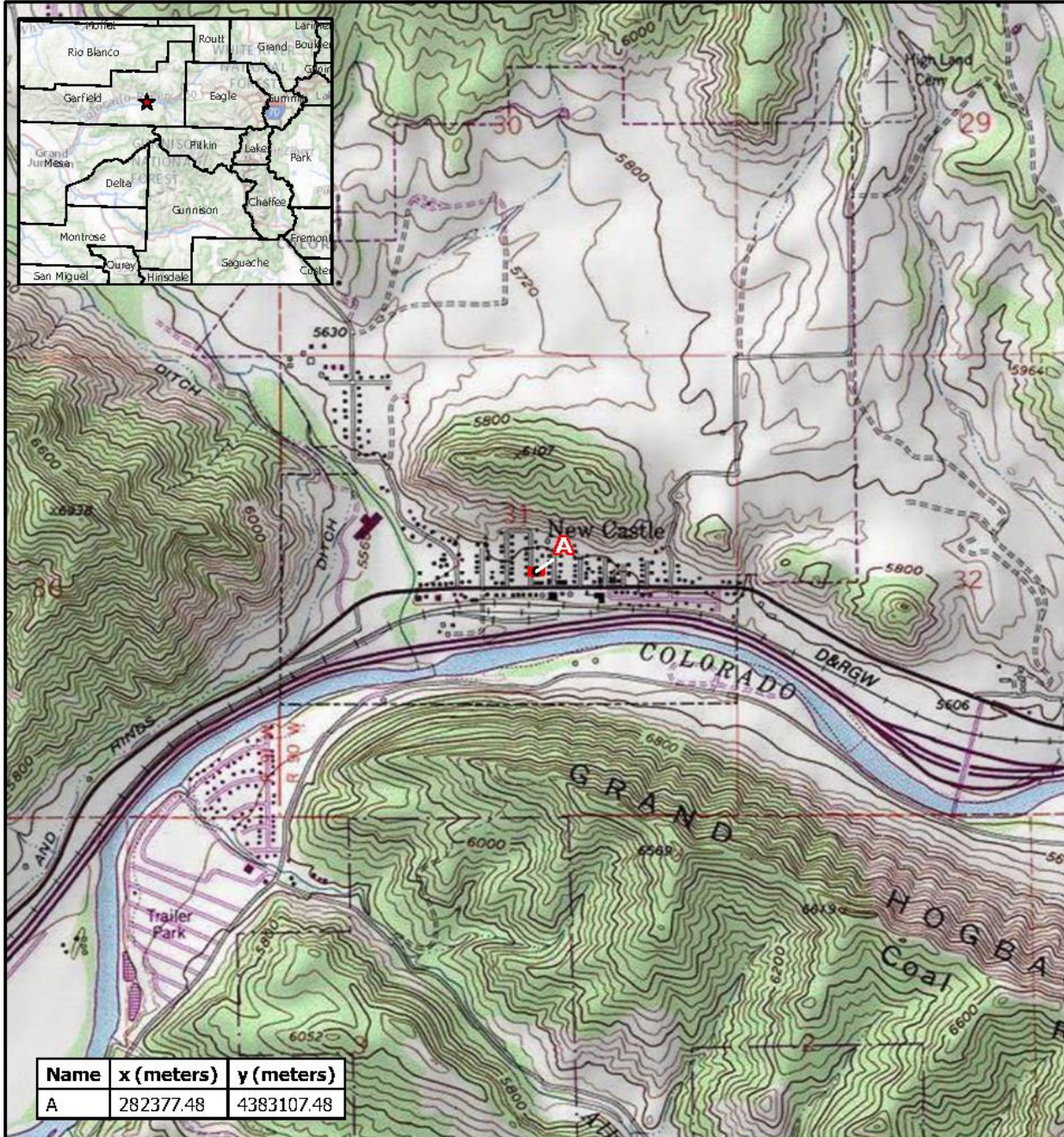
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 116 North 4th Street (Front) (5GF.1665) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

Docu ment Path: C:\Users\downes\Desktop\CU\New Castle\Borch R\122156001 New Castle Huzon ic Survey\122156001 New Castle Huzon ic Survey.aprx

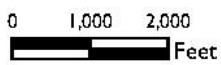
Topographic Map



Name	x (meters)	y (meters)
A	282377.48	4383107.48

Legend

 Resource Boundary



Topographic Map
 116 North 4th Street (Front) (5GF.1665)
 New Castle, Colorado
 Garfield County

Drawn By: CJB | Figure: I

Reviewed By: CMW | Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.1665_1
Description: Looking at the primary (west) and south elevations of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.1665_2
Description: Looking at the primary (west) and south elevations of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.1665_3
Description: Looking at the north and primary (west) elevation of the building.
Date: 9/6/2022
View: Southeast



Historic Photo 1
Description: Looking at the primary (west) elevation and south elevation of the building. Note the building's historic flat roof and pyramid roof cupola.
Date: Circa 1910
Source: Denver Public Library – Digital Collections [Not for publication]



Reference Photo 1

Description: Looking at the primary (west) elevation and south elevation of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Form (5GF.1165)

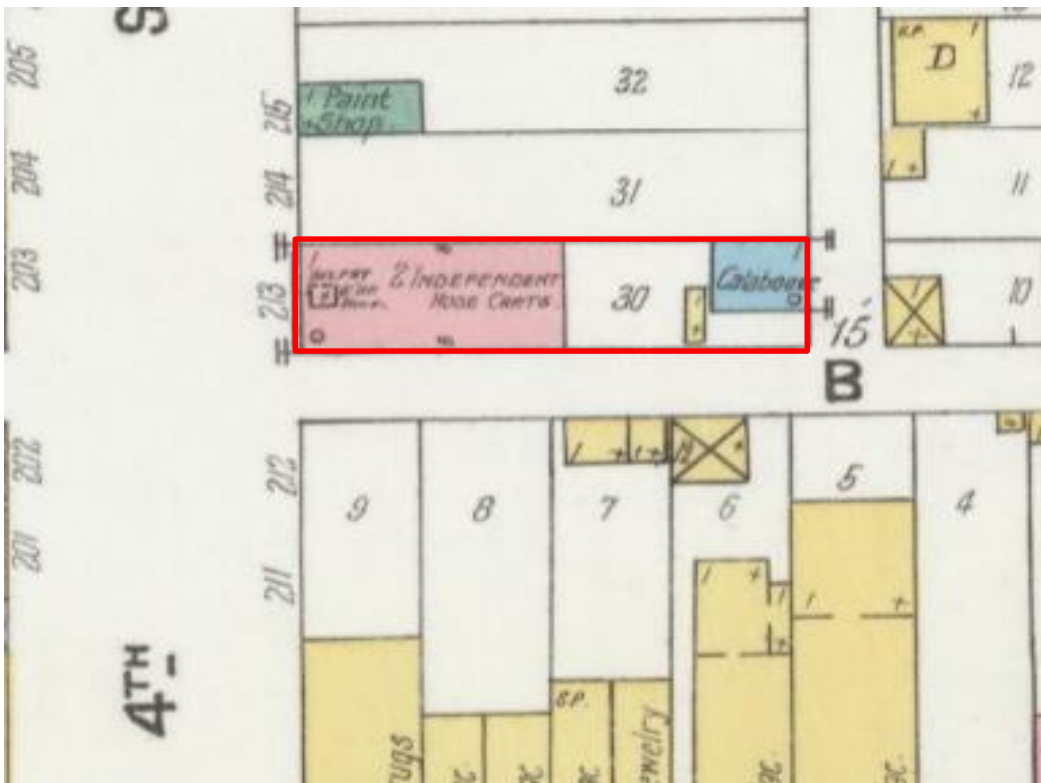


Reference Photo 2

Description: Looking at the primary (west) elevation and south elevation of the building.

Date: 1992

Source: 1992 OAHP Historic Building Inventory Form (5GF.1165)

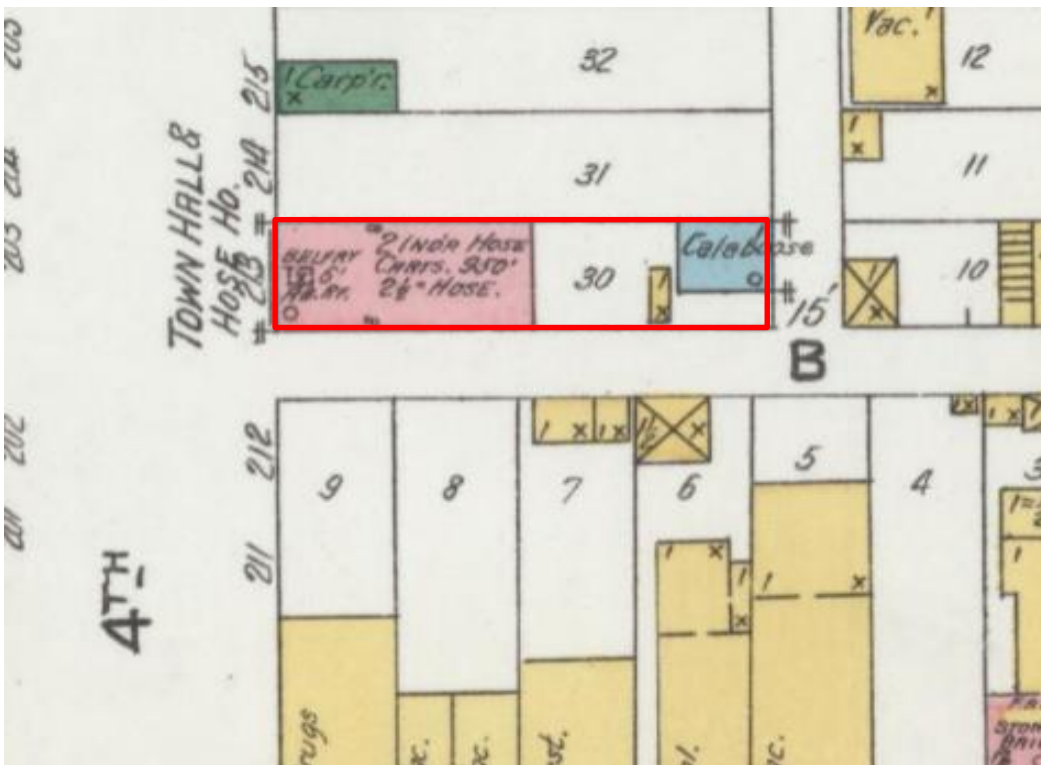


Reference Photo 3

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red. The building is shaded in red.

Date: 1899

Source: Library of Congress



Reference Photo 4

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red. The building is shaded in red.

Date: 1904

Source: Library of Congress

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Jail Current Function/Use (if different): Museum
 17. Date of Construction: 1893-1894 Estimated Actual (include source): 1992 OAHF Historic Building Inventory Record (5GF.2367)

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input checked="" type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.: "This building was erected as the New Castle Jail. The Sanborn map of 1893 shows the lot as vacant, while the 1899 map indicates that this was the 'calaboose.' The 1904 map indicates the same use."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2367) was initially evaluated in June 1996 by Front Range Research Associates, Inc. and assessed as Field-Eligible.

23. Sources:

"116 North 4th Street." Garfield County Assessor's Office. Parcel Number 212331109014. Accessed April 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=217401093&Key Value=R380330>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed April 3, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed April 3, 2023. <https://www.historicaerials.com>.

"New Castle Town Hall." Denver Public Library – Digital Collections. Accessed April 3, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/11787/rec/406>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Town of New Castle. "New Castle Historical Museum (5GF.1665)." Historic Building Inventory Record – Colorado Historical Society, December 1992.

Front Range Associates, Inc. "New Castle Town Jail (5GF.2367)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

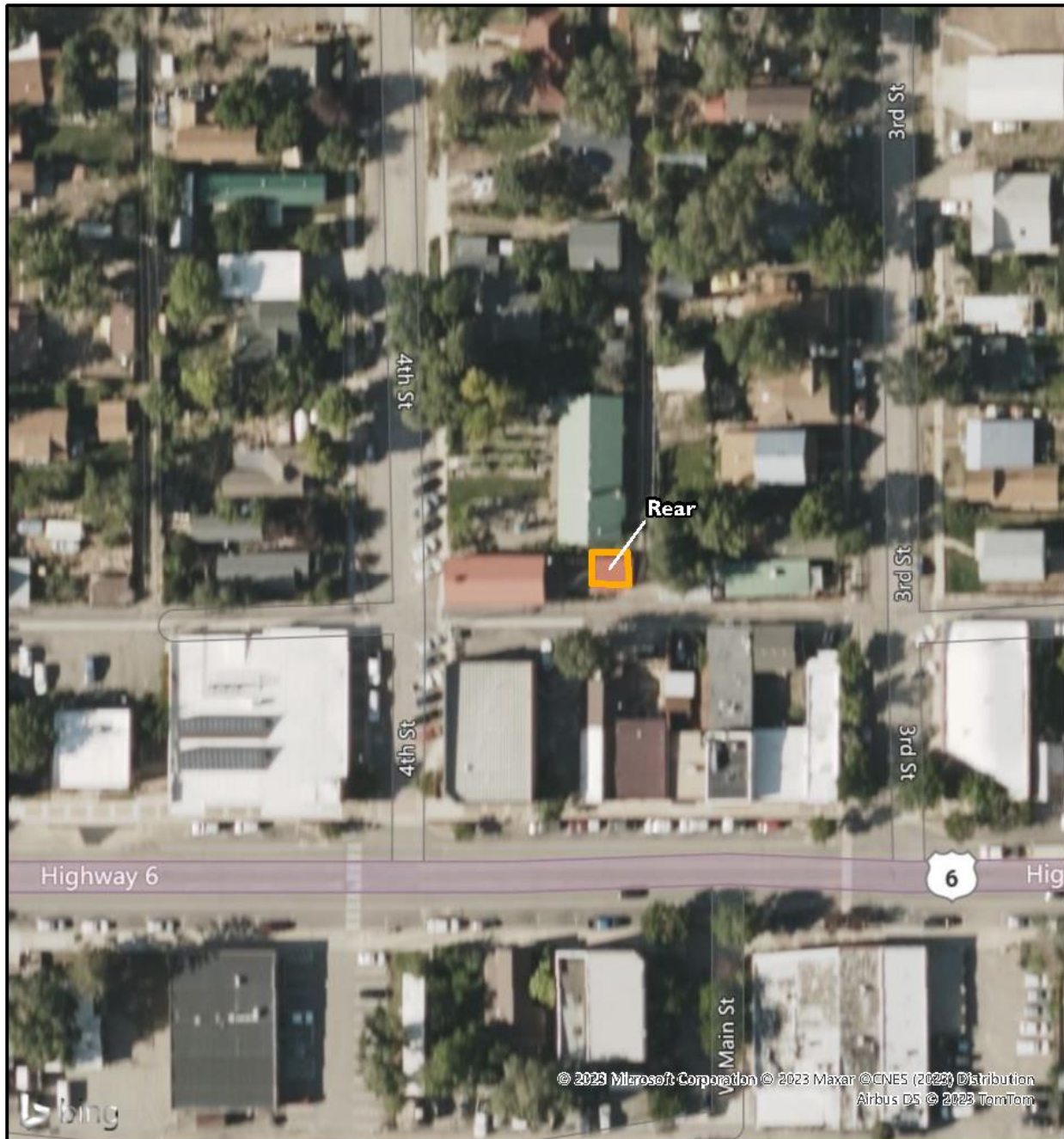
McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.



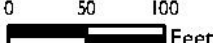
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed April 3, 2023.
https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed April 3, 2023.
https://www.loc.gov/item/sanborn01052_003/.

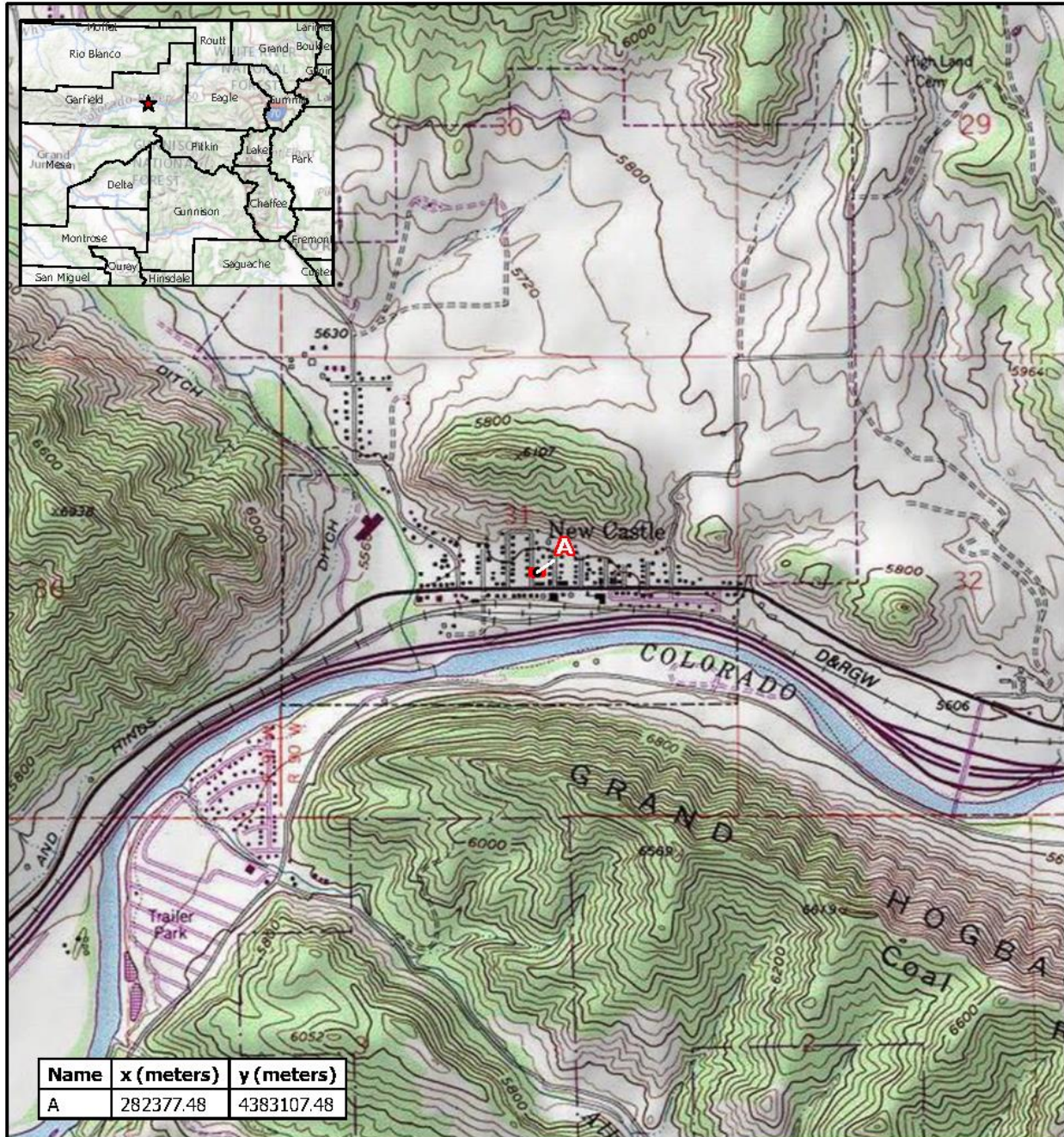
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   0 50 100 Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 116 North 4th Street (Rear) (5GF.2367) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282377.48	4383107.48

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

116 North 4th Street (Rear) (5GF.2367)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs



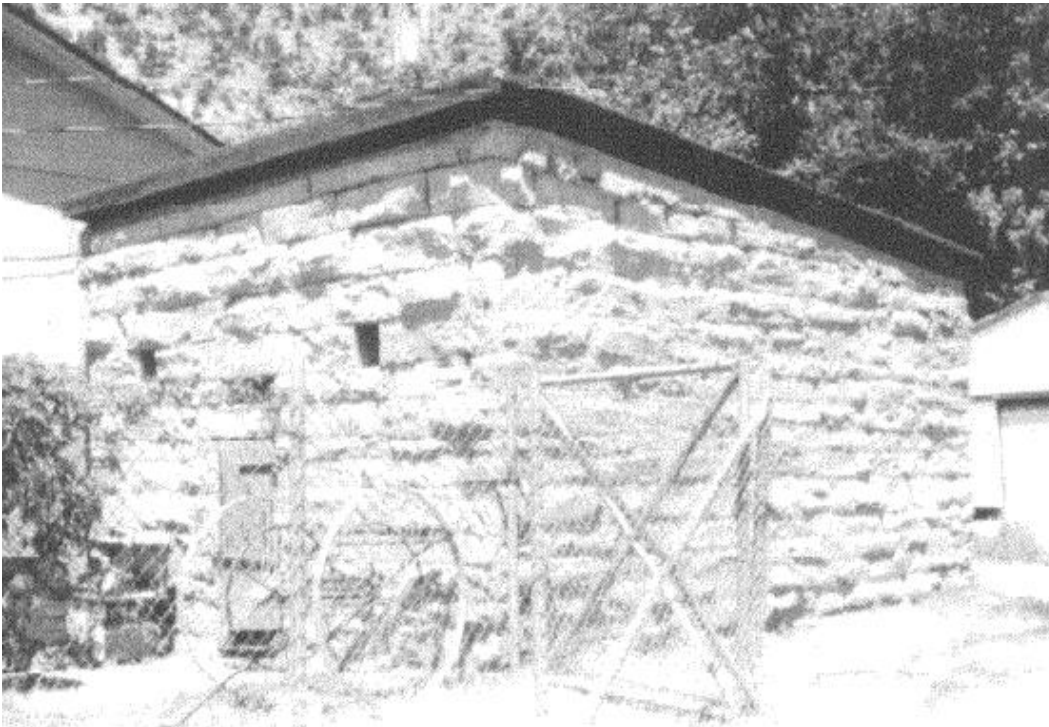
Photo Number: 5GF.2367_1
Description: Looking at the primary (west) and south elevations of the building. Note the three vent openings above the main entryway.
Date: 4/7/2023
View: Northeast



Photo Number: 5GF.2367_2
Description: Looking at the south and east elevations of the building.
Date: 4/7/2023
View: Northwest



Photo Number: 5GF.2367_3
Description: Looking at the east and north elevations of the building.
Date: 4/7/2023
View: Southwest



Reference Photo 1
Description: Looking at the primary (west) elevation and south elevation of the building.
Date: 1996
Source: 1996 Historic Inventory Building Record (5GF.2367)

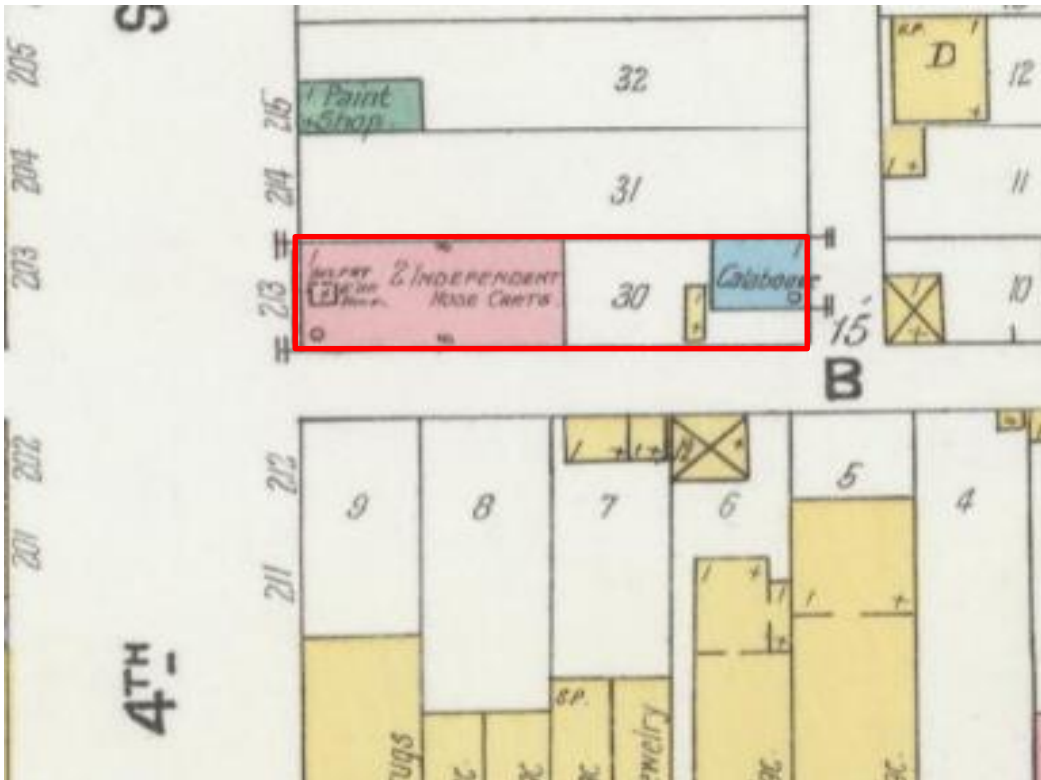


Reference Photo 2

Description: Looking at the primary (west) elevation and south elevation of the building.

Date: 1992

Source: 1992 Historic Inventory Building Record (5GF.2367)

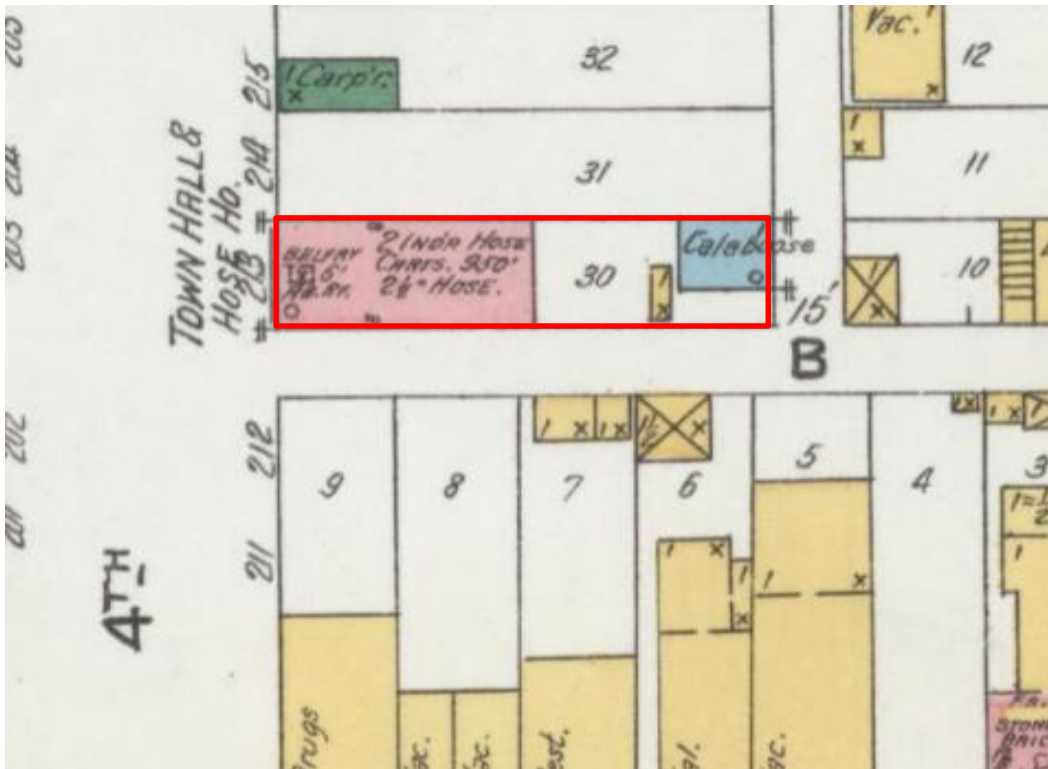


Reference Photo 3

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red. The building is shaded in blue.

Date: 1899

Source: Library of Congress



Reference Photo 4

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red. The building is shaded in blue.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: United States Post Office Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 122 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331107014
- **9. Parcel Information: Lot(s): 3-9 Block: D Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.13 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SE ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282564 ;mN 4383078 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Concrete	Vertical weatherboard
Windows	Roof	Chimney	Porch
Picture windows	Front gable roof clad in asphalt shingles; overhanging eaves	N/A	Full length protected porch along the primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.): The one-story, rectangular shaped building was constructed in 1984 as shown through review of Garfield County Assessor's Office records. The approximately 85' by 18' building is not representative of a particular style of architecture. Overall, the resource is a No Style Commercial building. The building features a poured concrete foundation; a front gable roof clad in asphalt shingles; overhanging eaves; exposed support beams under the eaves; a vertical weatherboard exterior envelope; and a full length protected porch along the primary (south) elevation. The typical window consists of a rectangular picture window. Several windows are fronted by metal grates. The main entryway is located in the center of the primary (south) elevation of the building. The main door consists of a commercial storefront door. A staircase can also be noticed in the center of the primary (south) elevation. Vinyl hand railings are also located along the full-length porch. Wall mounted signage is noticeable within the gable end of the primary (south) elevation.

The building appears to have undergone limited modification since it was constructed in 1984 aside from routine maintenance and upkeep.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Post Office

Current Function/Use (if different): Post Office

17. Date of Construction: 1984
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"122 West Main Street." Garfield County Assessor's Office. Parcel Number 212331109014. Accessed April 4, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1517422148&Key=Value=R380362>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed April 4, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed April 4, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

SKETCH PLAN *include approximate scale*



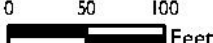



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5890_1 to 5GF.5890_3</u>

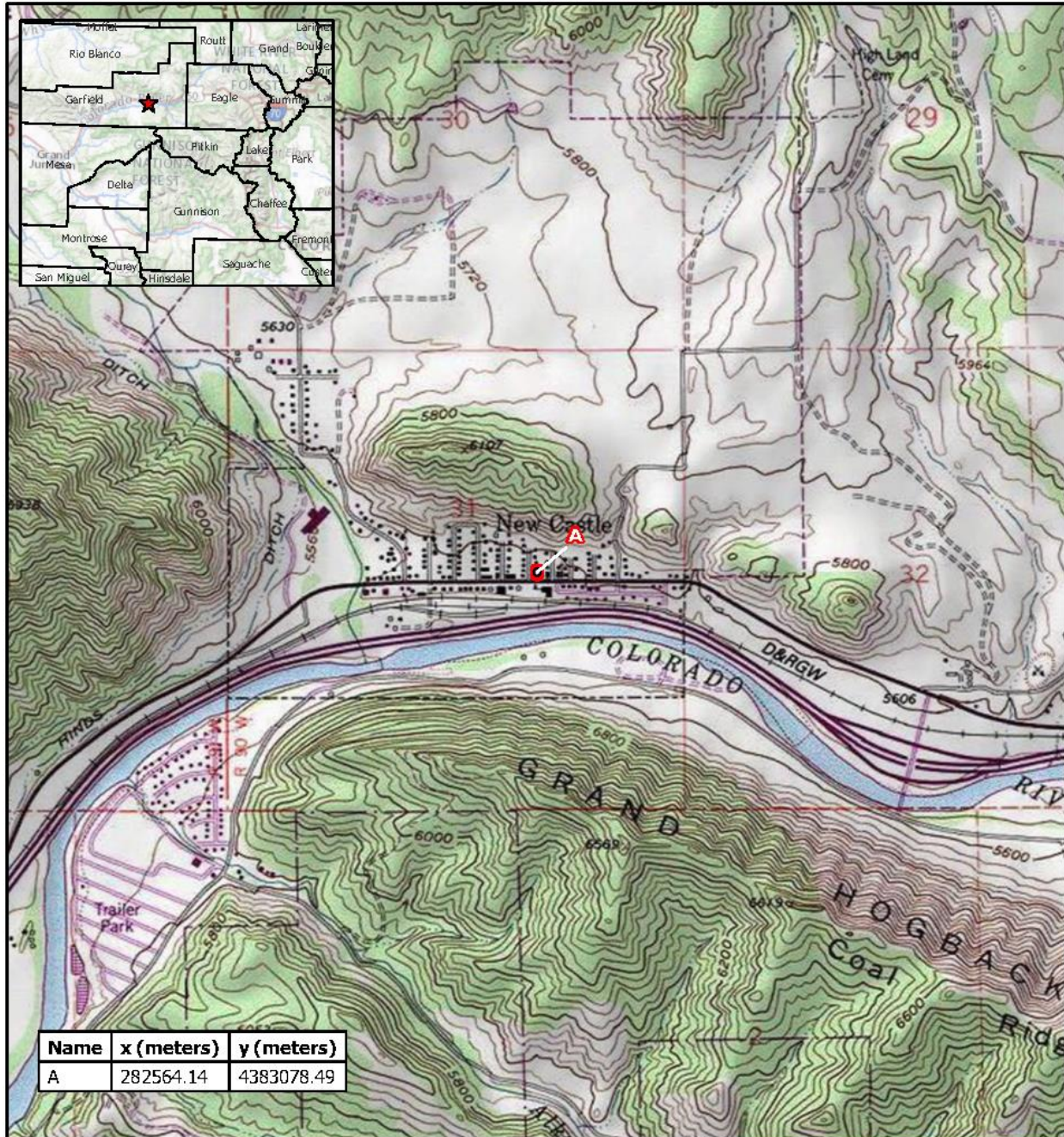
See Attachment																			
-----------------------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

Sketch Map




<p>Legend</p> <p> Footprint</p>	  Feet		
		<p>Sketch Map 122 West Main Street (5GF.5890) New Castle, Colorado Garfield County</p>	
Pinyon Project Number: I 22156.001		Drawn By: CJB	Figure: 2
<small>Doc u:\new\Proj_C\Users\jdoosel\Desktop\CU\New Castle\Borch R\122156001 New Castle Hutto Survey\122156001 New Castle Hutto Survey.aprx</small>		Reviewed By: CMW	Date: 4/10/2023

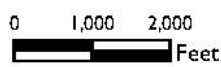
Topographic Map



Name	x (meters)	y (meters)
A	282564.14	4383078.49

Legend

 Resource Boundary



Topographic Map
 122 West Main Street (5GF.5890)
 New Castle, Colorado
 Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5890_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5890_2
Description: Looking at the west and primary (south) elevations of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5890_3

Description: Context view of the primary (south) and east elevations of the building.

Date: 9/6/2022

View: Northwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Eric Janusz Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 122 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331106008

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **9. Parcel Information: Lot(s): 2 Block: E Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SW ¼ of NE ¼ of section: 31

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282636 ;mN 4383076 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Rustic	Concrete	Log
Windows	Roof	Chimney	Porch
One-over-one single hung sash with vinyl frame; casement sash with vinyl frame	Front gable roof; metal roof; overhanging eaves; rafter tails under the eaves that are mostly obscured by fascia board; vertical weatherboard in the gable ends	Brick masonry chimney clad with metal	Full length porch with hipped roof overhang along primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The approximately 70' by 34' building is representative of a vernacular form of Rustic style of architecture. Architectural elements of the building include a concrete foundation; a front gable roof design; metal roof; overhanging eaves; rafter tails under the eaves that are mostly obscured by fascia board; vertical weatherboard in the gable ends; a brick masonry chimney clad with metal; and a full-length porch along the primary (south) elevation. The full-length porch is capped by a hipped roof with square post supports. An elevated deck can be noticed along the porch with battered concrete supports below. Decorative wood lattice panels are also present. The main entryway is located on the right side of the primary (south) elevation and features a wood main door with a nine-lite window unit divided by muntins. A sidelite is also present to the left of the main door and incorporates a vertical picture window. The typical window consists of a one-over-one single hung sash unit with a vinyl frame. Additionally, casement sash windows with vinyl frames are also present. Based upon a historic photo of the building before it was a residence, the building demonstrates several modifications since it was

initially constructed. The full-length porch with a hipped roof overhang along the primary (south) elevation was constructed and fascia board was added to the exposed rafter tails under the eaves at some point. Furthermore, the main entryway previously consisted of a double door entryway with a small front gable projection. Additionally, the historic windows along the primary (south) elevation consisted of a two-over-two double hung sash unit.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Church

Current Function/Use (if different): Residential

17. Date of Construction: 1941
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: The one-story, rectangular shaped building was constructed in 1941 as shown through review of Garfield County Assessor's Office records. New Castle Museum records demonstrate that the building initially functioned as a church, known as the "Rocky Mountain Christian Center," before it later transitioned to a residence by the late Twentieth Century.

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input checked="" type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"122 East Main Street." Garfield County Assessor's Office. Parcel Number 212331106008. Accessed December 29, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1357516334&Key=R007173>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 29, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 29, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

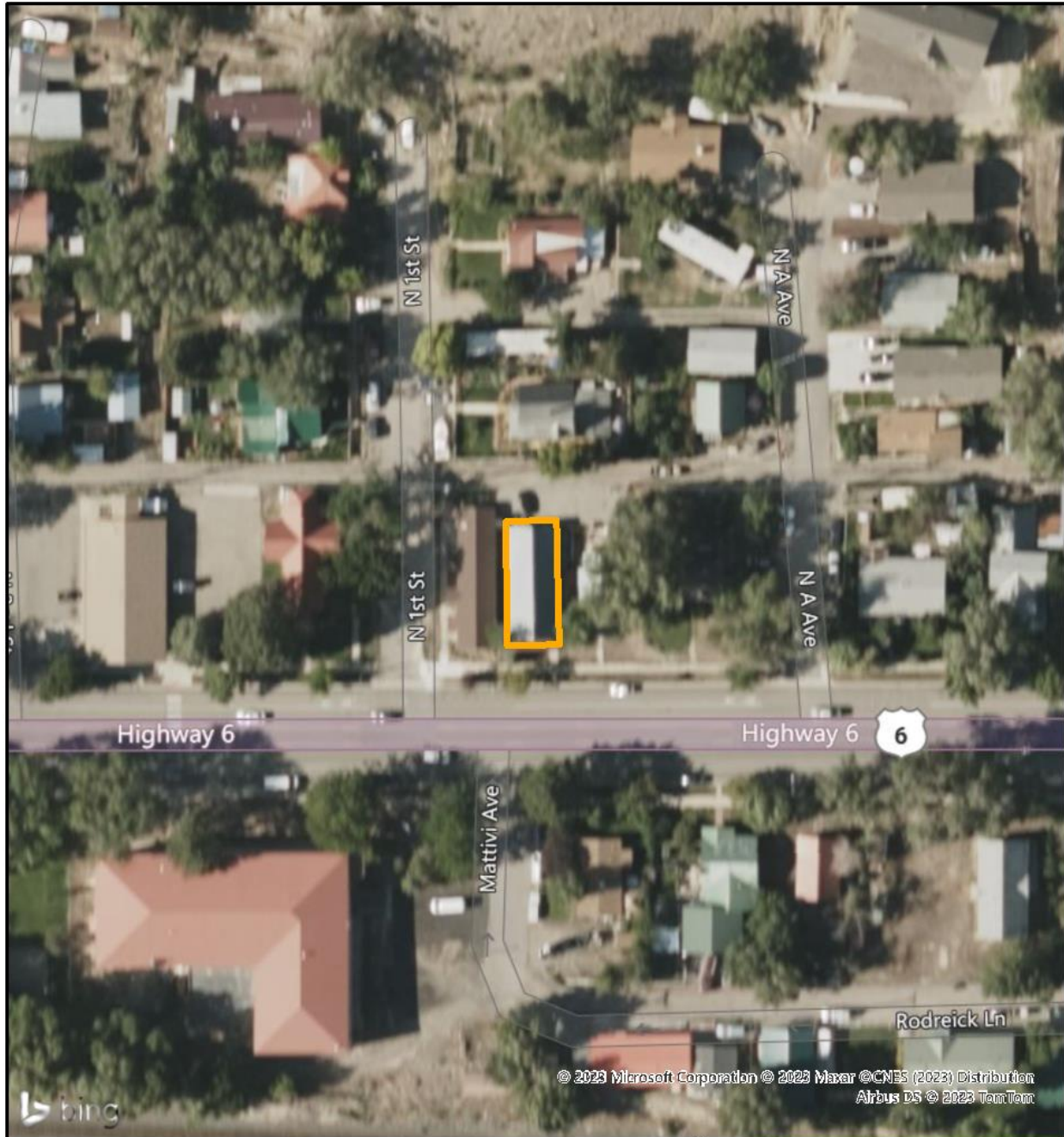
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.



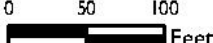

SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5922_1 to 5GF.5922_3, and 1 historic photo</u>

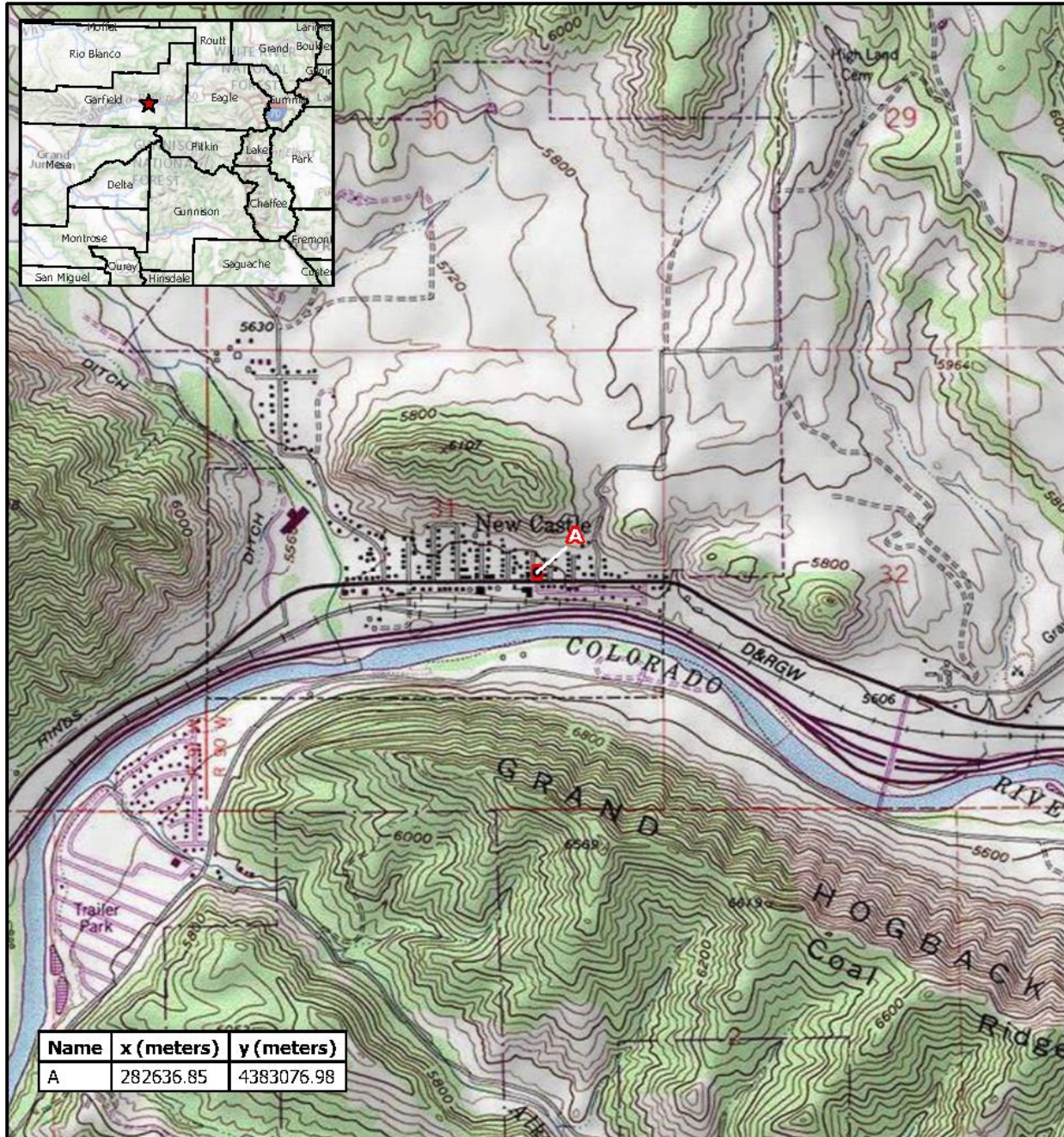
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 122 East Main Street (5GF.5922) New Castle, Colorado Garfield County</p>	
Pinyon Project Number: I 22156.001		Drawn By: CJB	Figure: 2
		Reviewed By: CMW	Date: 4/10/2023

Docu ment Path: C:\Users\downes\Desktop\CU\New Castle\Borch R\122156001 New Castle Hazarc Survey\122156001 New Castle Hazarc Survey.aprx

Topographic Map



Name	x (meters)	y (meters)
A	282636.85	4383076.98

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

122 East Main Street (5GF.5922)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5922_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5922_2
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest

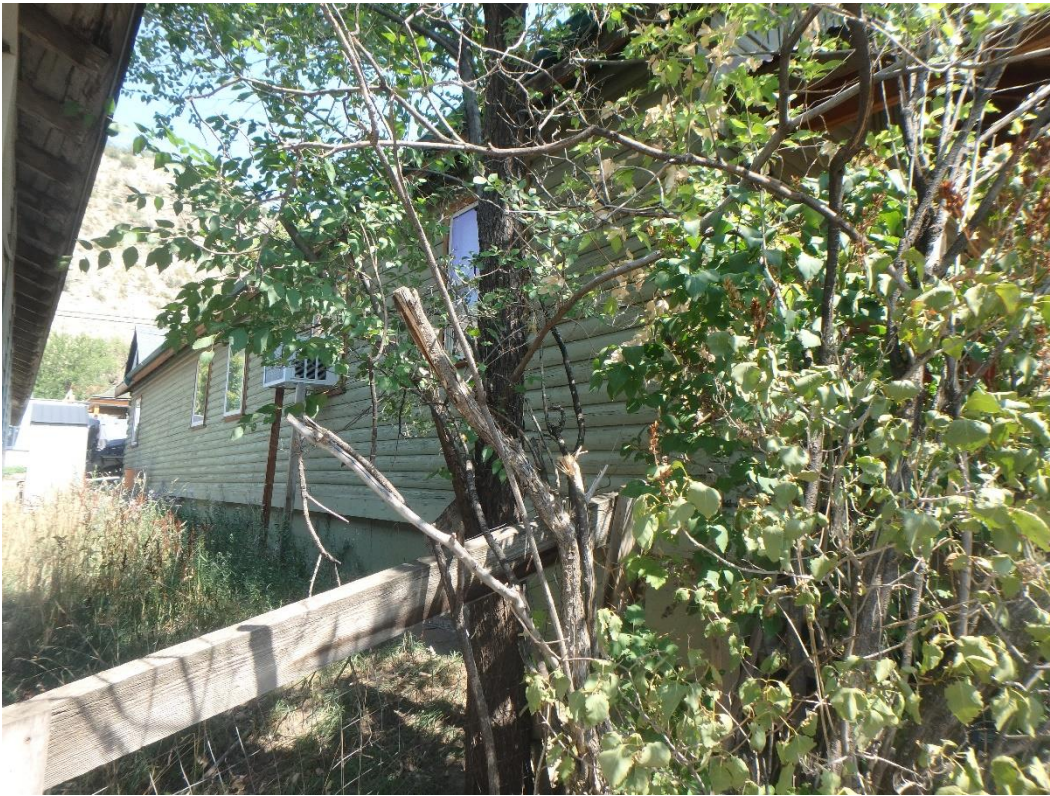


Photo Number: 5GF.5922_3
Description: Looking at the west elevation of the building.
Date: 9/6/2022
View: Northeast



Historic Photo 1
Description: Photo of the Rocky Mountain Christian Center. Label states that "Brother Raymond Blanchfield was first minister."
Date: Unknown
Source: New Castle Museum collection

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Lawrence & Joshua Brooks House Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 142 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331106009
- **9. Parcel Information: Lot(s): 4 Block: E Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.07 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282648 ;mN 4383076 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Bungalow	Concrete	Vertical weatherboard
Windows	Roof	Chimney	Porch
One-over-one single hung sash; one-by-one sliding sash; wood and vinyl framed units	Front gable roof; metal roof; overhanging eaves; exposed rafter tails mostly obscured by fascia board; exposed post beams in the gable ends; lower front gable porch; attic vents under the gable end	Brick masonry chimney	Partial length porch with front gable overhang along primary (south) elevation; particle length porch with front gable overhang along north elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1941 as shown through review of Garfield County Assessor's Office records. The approximately 46' by 24' residence is representative of a vernacular form of Bungalow style of architecture. Several architectural elements of the residence include a concrete foundation; front gable roof design; a metal roof; overhanging eaves; exposed rafter tails under the eaves that are mostly obscured by fascia board; exposed post beams in the gable ends; attic vents under the gable peaks; and a brick masonry chimney. A large, partial length porch protected by a front gable overhang is located along the primary (south) elevation of the building. Exposed rafter tails can be noticed under the eaves of the overhang. Additionally, the overhanging is supported by square posts that are arranged in a decorative style. Square wood railings are also located below and on either side of the support posts. The main entryway is located in the center of the elevation with a metal storm door. The facade of the

primary (south) elevation incorporates decorative woodwork on both sides and above the main entryway. The typical window consists of a one-over-one single hung sash unit with either wood or vinyl frame. Another window configuration that can be noticed are one-by-one sliding sash units. There is a lower front gable floorspace along the north elevation of the building.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1941

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"142 East Main Street." Garfield County Assessor's Office. Parcel Number 212331106009. Accessed December 29, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=903608063&Key Value=R007172>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 29, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 29, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

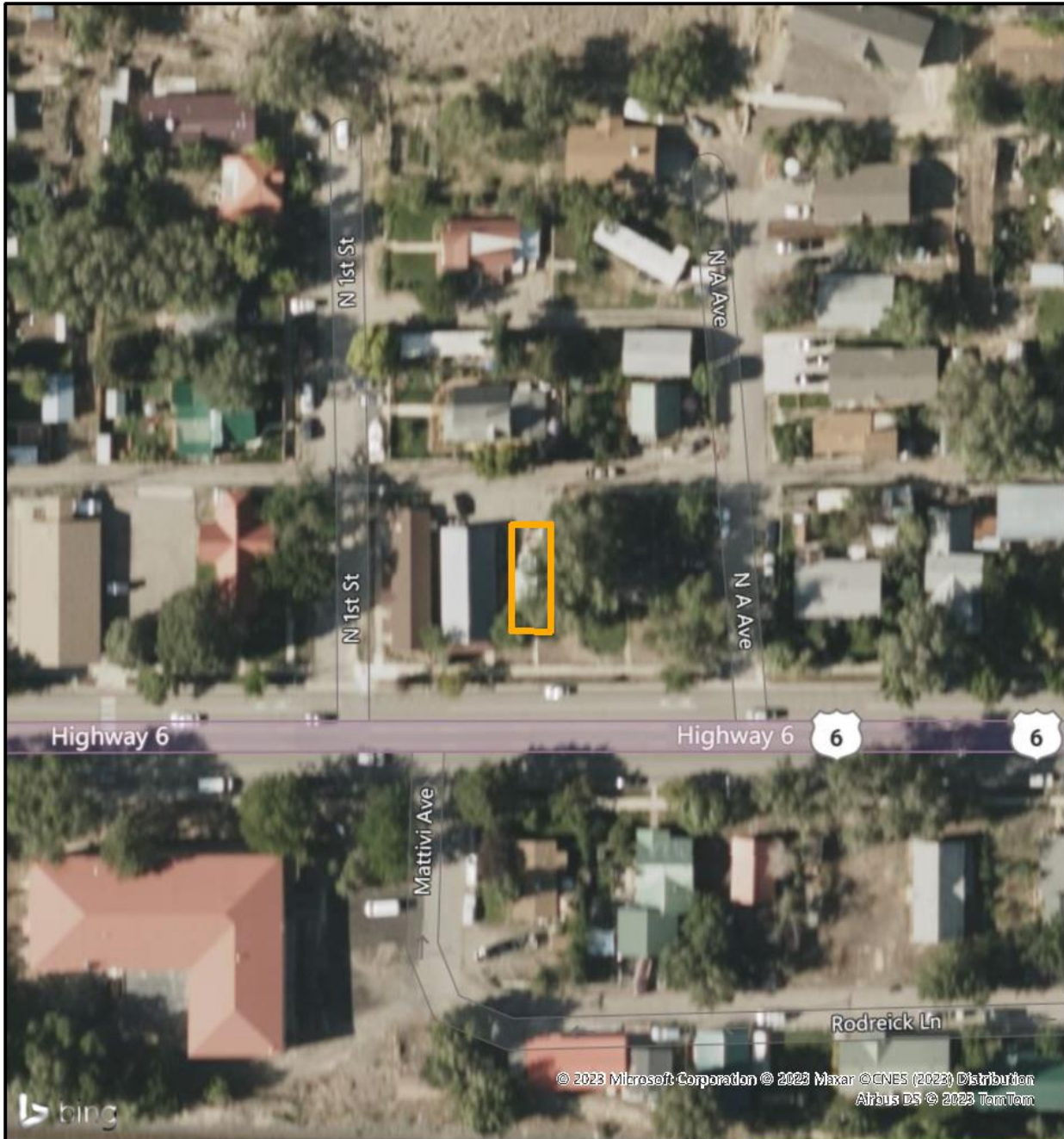
SKETCH PLAN *include approximate scale*



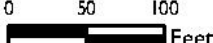



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5923_1 to 5GF.5923_3</u>

See Attachment																			
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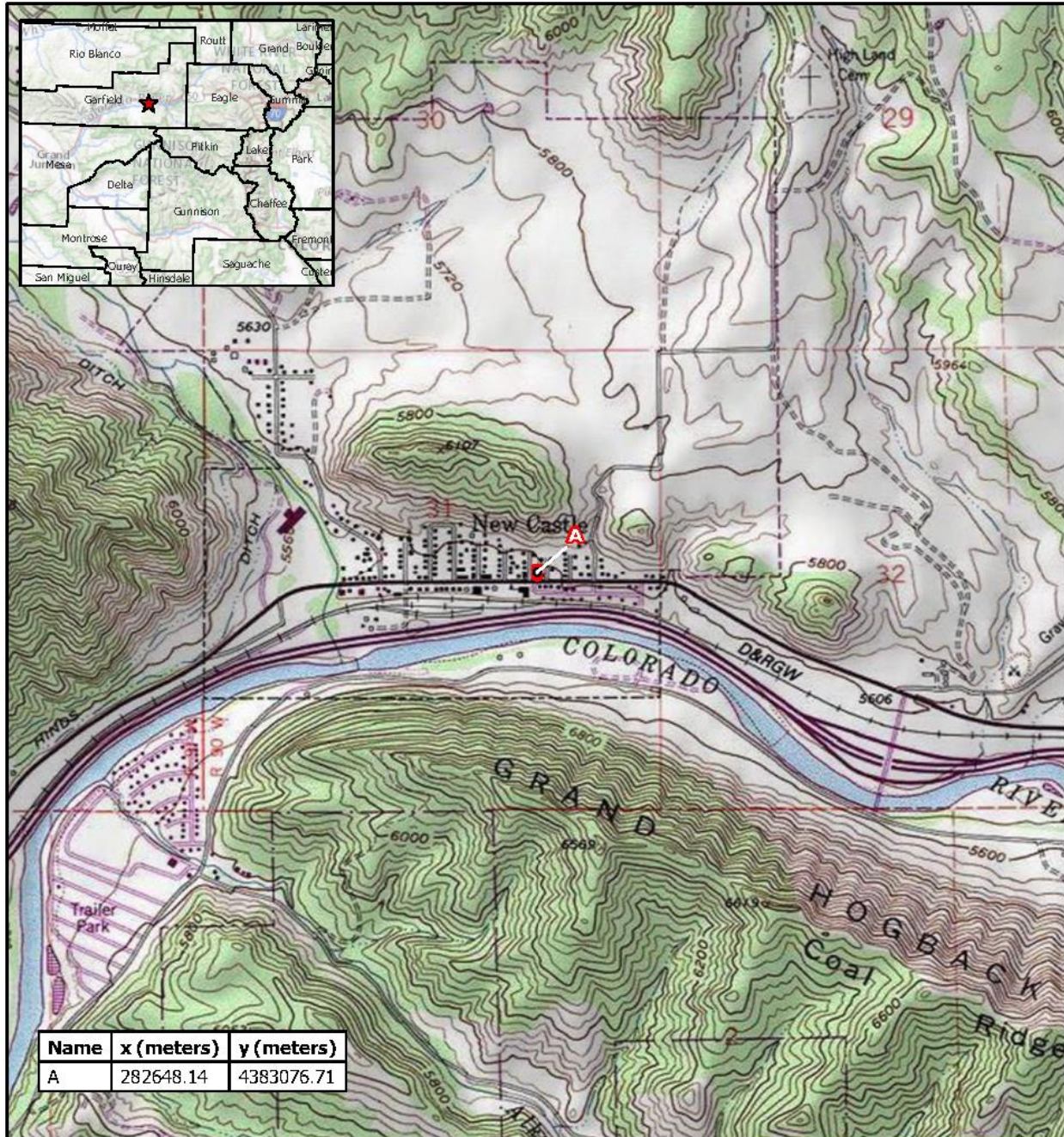
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 142 East Main Street (5GF.5923) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Reviewed By: CMW</p>		<p>Date: 4/10/2023</p>	

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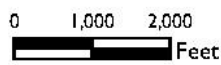
Topographic Map



Name	x (meters)	y (meters)
A	282648.14	4383076.71

Legend

 Resource Boundary



Topographic Map

142 East Main Street (5GF.5923)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Park, C:\user\downal\Desktop\CUI\New Castle\Borch I\22156001 New Castle Historic Survey\22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5923_1
Description: Looking at the primary (south) elevation of the building. Note the decorative arrangement of the overhang support posts and the woodwork along the facade.
Date: 9/6/2022
View: North



Photo Number: 5GF.5923_2
Description: Looking at the primary (south) elevation and east elevation of the residence.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5923_3
Description: Looking at the west and primary (south) elevations of the residence.
Date: 9/6/2022
View: Northeast

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Ambleside School Rocky Mountains Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 151 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331407002
- **9. Parcel Information: Lot(s): 1-11 Block: 2 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.85 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NE ¼ of NW ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282588 ;mN 4383012 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story (and a partially below level basement)	Mixed Style	Stacked stone/concrete	Brick masonry; adobe brick; decorative cornice; decorative frieze; corbelled brick features; lower stone masonry; decorative brick belt course; corrugated metal
Windows	Roof	Chimney	Porch
One-over-one single hung sash; one-over-one double hung sash; one-by-one sliding sash; 15-lite picture window divided by muntions; four-lite picture window divided by muntins; wood and vinyl frames; segmental arch lintels with ornament brick masonry; multi-lite transoms	Hipped roof; metal roof; lower hipped roof projection along south elevation; small overhanging eaves	N/A	Concrete staircase in front of the main entryway along primary (north) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The approximately 116' by 146' building is representative of a Mixed Style of architecture including vernacular forms of Early-Twentieth Century Commercial, Italianate, and Mid-Century Commercial styles. Architectural elements of the building include a stacked stone/concrete foundation; a brick masonry exterior envelope; adobe brick; decorative cornice; decorative frieze; corbelled brick features; a lower stone masonry; decorative brick belt course; a hipped roof design; metal roof; lower hipped roof projection along the south elevation; small overhanging eaves; and ornate brickwork. The main entryway is located on the right-side primary (north) elevation. The entryway consists of metal double doors that incorporate picture windows. The facade along the primary (north) elevation incorporates several window configurations including one-over-one single hung sash; one-over-one double hung sash; and four-lite picture window divided by muntins units. A majority of the windows feature ornate brick features including decorative segmental arch sills, and corbelled brick or stone sills. There are also several window openings that have been covered by brick masonry between 2012 and 2022. Additional windows that can be noticed throughout the building include one-by-one sling sash; 15-lite picture window divided by muntions; and multi-lite transom units. Frames consist of a mixture of wood and replacement vinyl. The east side of the building consists of a gymnasium/auditorium and classroom addition was constructed by Works Progress Administration (WPA) in 1939 using adobe brick. The second-floor entryway is located on the right side of the east elevation with a large wood staircase that leads to the door. Based upon historic aerial imagery and photos of the building, a metal hipped roof replaced the historic flat roof with stepped parapets between 1993 and 2004. A historic bell tower with a pyramid roof was removed at some point. Furthermore, the main entryway along the north elevation has been highly modified with the removal of four, multi-lite wood doors being removed at some point as well.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Public school Current Function/Use (if different): Private school

17. Date of Construction: 1913 Estimated Actual (include source): "A Walking Tour of Downtown New Castle" by Town of New Castle (www.newcastlecolorado.org)

18. Other Significant Dates, if any: In 1939, the WPA constructed a gymnasium/auditorium and classroom on the east side of the building.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input checked="" type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input checked="" type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The two-story, L-shaped building was constructed in 1913 as shown through review of Town of New Castle records. Additional historic records indicate that the building initially functioned as a public school between 1913 – 1978. After 1978, the building served several

different commercial operations including a restaurant and roller-skating area. In the late-Twentieth Century, the building was utilized as an apartment complex. By 2021, the building transitioned into a private school.

The resource (5GF.2369) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not eligible.

The resource (5GF.2369) was designated a local landmark by the Town of New Castle in 2022.

23. Sources:

"151 East Main Street." Garfield County Assessor's Office. Parcel Number 212331407002. Accessed December 29, 2022.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1749891225&Key=R380348>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022.

https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 29, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 29, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "New Castle School, Rosie's Roller Skating, Ferin's Daycare (5GF.2369)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

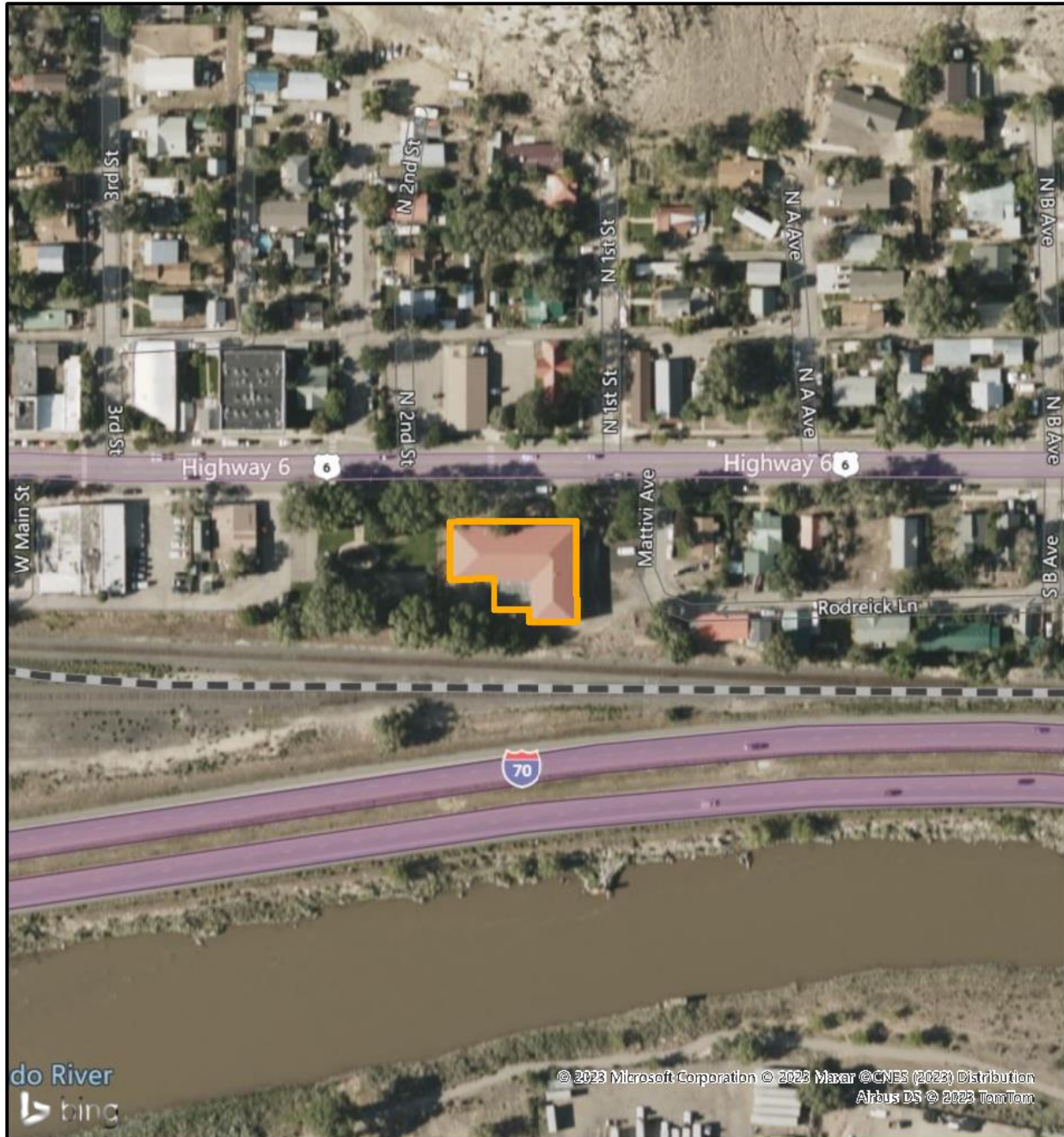
SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2369_1 to 5GF.2369_4, and 2 historic photos</u>



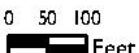
See Attachment																			
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Sketch Map



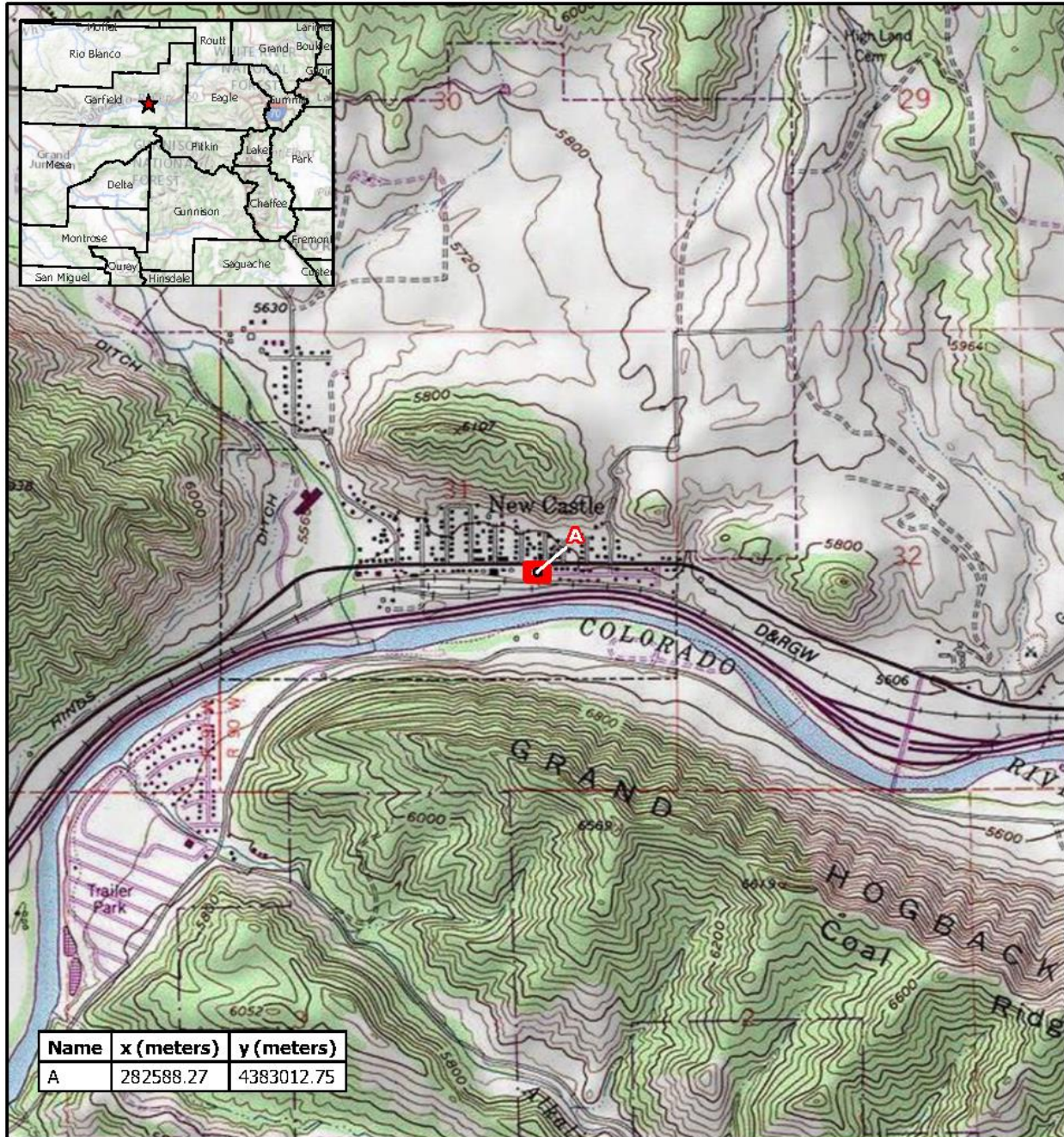
do River
bing

© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 151 West Main Street (5GF.2369) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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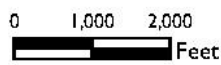
Topographic Map



Name	x (meters)	y (meters)
A	282588.27	4383012.75

Legend

 Resource Boundary



Topographic Map

151 West Main Street (5GF.2369)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.2369_1
Description: Looking at the primary (north) and west elevations of the building. Note the several ornate brickwork features along the facade.
Date: 9/6/022
View: Southeast



Photo Number: 5GF.2369_2
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.2369_3
Description: Looking at the 1939 adobe brick addition to the original 1913 building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.2369_4
Description: Looking at the corner of the east elevation and the primary (north) elevation. Note the staircase leading to the second level addition to the building.
Date: 9/6/2022
View: Southwest



Historic Photo 1

Description: New Castle School built in 1913, addition of adobe brick made in 1939. School operated until 1978, later becoming apartments. It was converted back to a private school in 2021.

Date: Unknown

Source: New Castle Museum collection



Historic Photo 2

Description: Image of the primary (north) and a portion of the east elevations of the building. Note the school bell on the flat roof that is protected by a pyramid roof.

Date: Prior to 1939 addition to east elevation.

Source: "A Walking Tour of Downtown New Castle" by Town of New Castle



Historic Photo 3

Description: Looking at the primary (north) elevation of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2369)

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Burning Mountain Park Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 157 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331408006
- **9. Parcel Information: Lot(s): 1-4 Block: 3 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.49 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
 NW ¼ of NE ¼ of SW ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282529 ;mN 4383017 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
N/A	N/A	N/A	N/A
Windows	Roof	Chimney	Porch
N/A	N/A	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.): N/A

14. Associated buildings, features, or objects: There is an octagonal pyramid roof overhang located in the center and along the southern boundary line of the legal parcel. Fencing is located along the southern boundary as well. In addition, a playground can be noticed on the far east side of the property. A north/south oriented sidewalk cuts through the middle of the park and leads to a memorial in the center of the property. The memorial consists of a miner statue and a plate to honor miners killed in the Vulcan Mine incidents in 1896, 1913, and 1918.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other: Memorial and playground.

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Public Park

Current Function/Use (if different): Public Park

17. Date of Construction: 1983; 2004
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: The property was purchased by the Town of New Castle in 1983 and a public park was constructed shortly after. In 2004, the park was modified into its current configuration and the "miners memorial" was constructed in the center.

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"157 West Main Street." Garfield County Assessor's Office. Parcel Number 212331408006. Accessed April 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1321711784&Key=Value=R380344>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed April 3, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed April 3, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

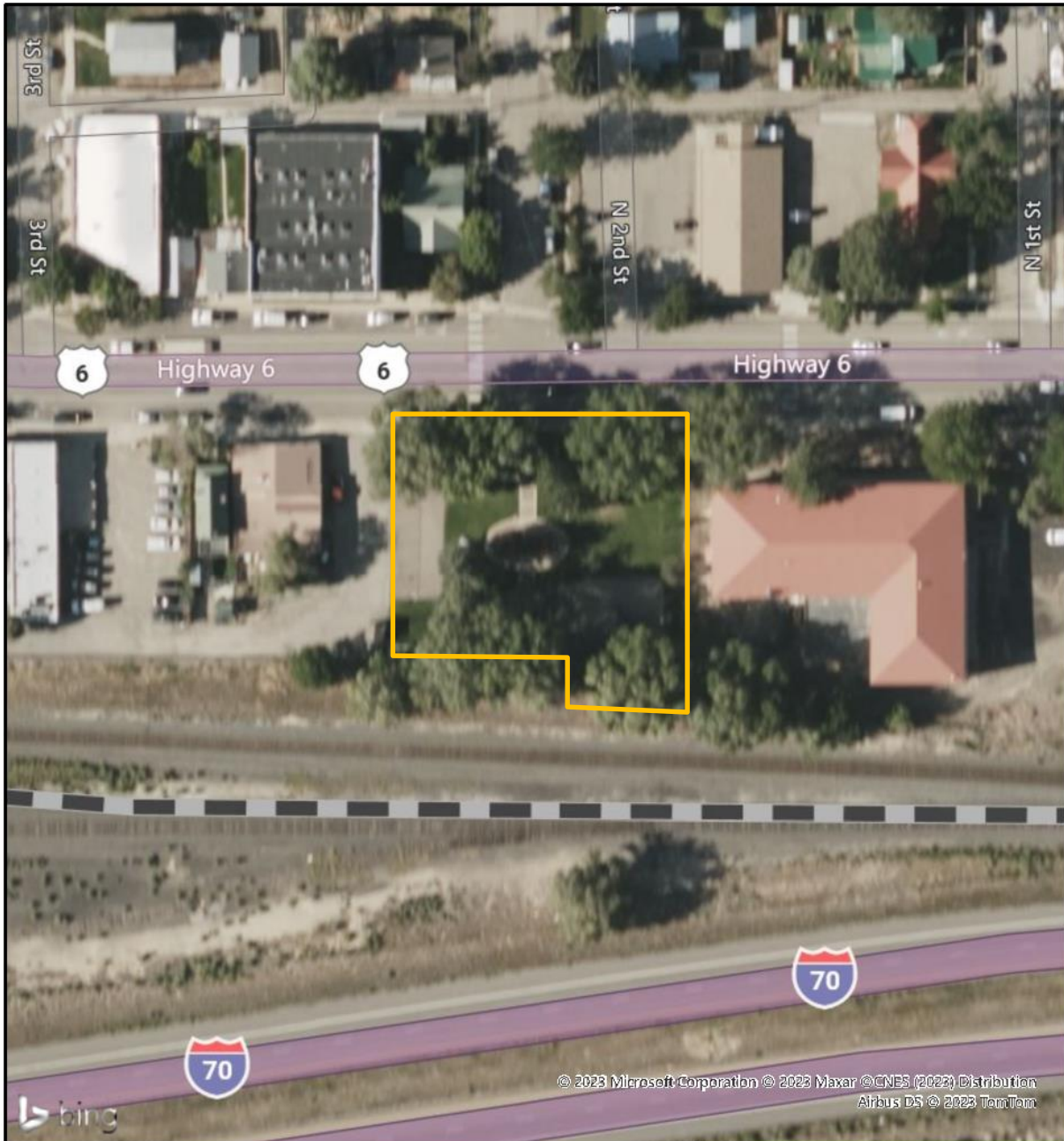
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.


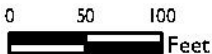
SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5920_1 to 5GF.5920_4, and 1 historic photo</u>

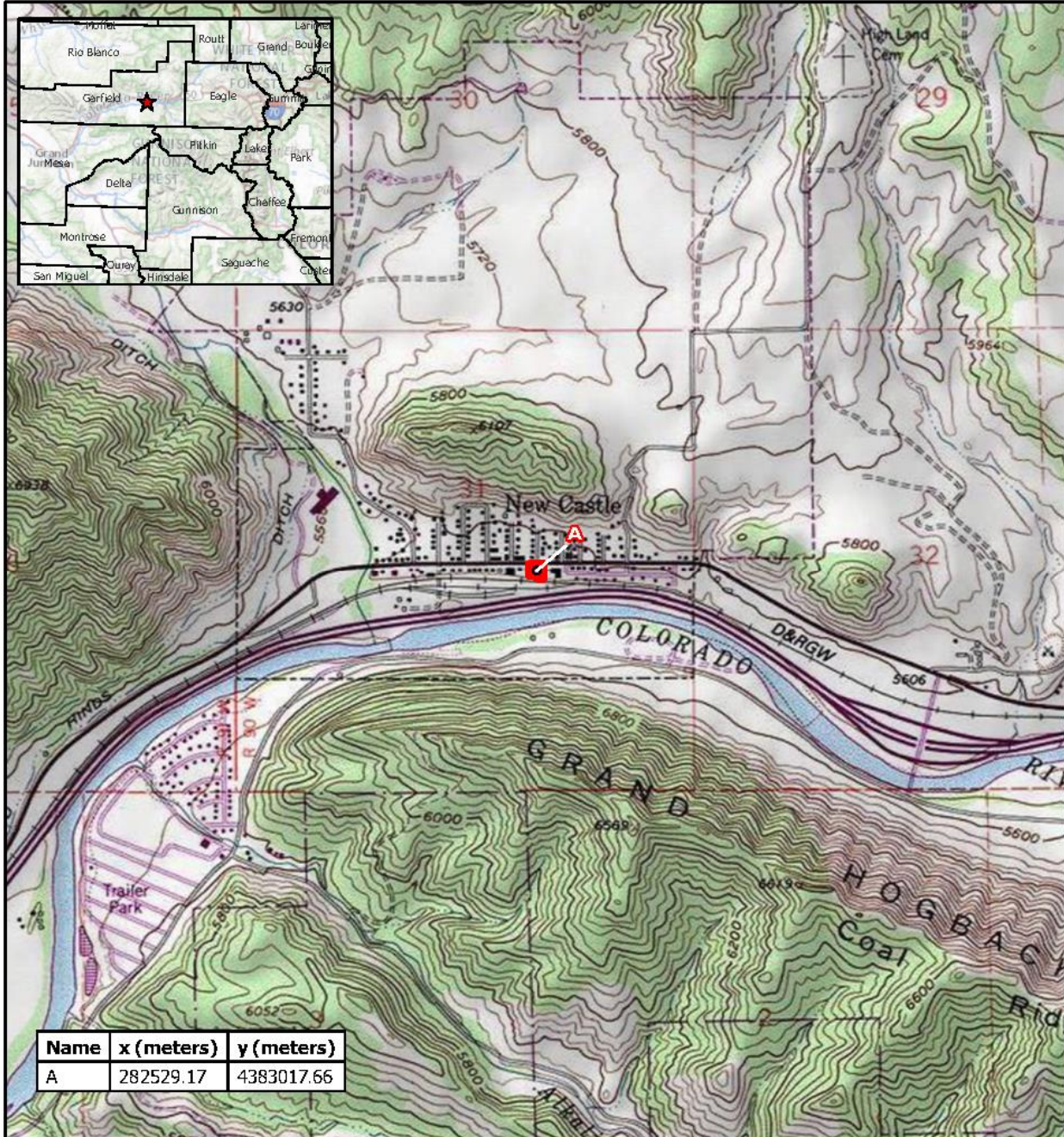
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 157 West Main Street (5GF.5920) New Castle, Colorado Garfield County</p> <table border="1" style="width: 100%;"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				
<p>Pinyon Project Number: 122156.001</p>					


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Topographic Map



Name	x (meters)	y (meters)
A	282529.17	4383017.66

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

157 West Main Street (5GF.5920)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5920_1
Description: Looking at the park from Main Street.
Date: 9/6/2023
View: Southeast



Photo Number: 5GF.5920_2
Description: Looking at the park from Main Street.
Date: 9/6/2023
View: Southwest



Photo Number: 5GF.5920_3
Description: Looking at the park from Main Street.
Date: 9/6/2023
View: South



Photo Number: 5GF.5920_4
Description: Looking at the miners' memorial constructed in 2004.
Date: 9/6/2023
View: South



Historic Photo 1

Description: Looking at the park from the intersection of North 2nd Street and Main Street.

Date: Unknown

Source: New Castle Museum Collection

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Elk Creek Taxidermy Building Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 161 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331408002
- **9. Parcel Information: Lot(s): 7-8 Block: 3 Addition:
- **10. Acreage: 0.08 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282482 ;mN 4383024 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	False Front Commercial	Concrete	Horizontal weatherboard
Windows	Roof	Chimney	Porch
Four-over-four double hung sash with snap on muntins; vinyl frames	False front façade parapet (stepped); shed/flat roof; boxed overhanging eaves; metal roof	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1900 as shown through review of Town of New Castle records. The approximately 64' by 50' building is representative of a vernacular form of False Front Commercial style of architecture. Architectural features of the building consist of a concrete foundation; exterior envelope clad with horizontal weatherboard siding; a false front façade parapet (stepped); shed and flat roof design; boxed overhanging eaves; and a metal roof. The main entryway is located in the center of the primary (north) elevation of the building. The main entryway features wood trimming and incorporates a wood main door. An additional entryway can be noticed on the far right-side of the façade. The secondary entryway incorporates a wood panel door with a picture window. The typical window consists of a four-over-four double hung sash with snap on muntins and a vinyl frame.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial

17. Date of Construction: 1900

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: A portion of the resource's known history is quoted through "A Walking Tour of Downtown New Castle" by the Town of New Castle: "Originally a log structure, the building was a blacksmith shop and later an office and small engine shop. In the 1930's, it was used for storage for Pete Mattivi's Studebaker dealership across the street. In the 1980's the building was reconfigured for use as a taxidermy business and remodeled in 2002-2003 to the present structure."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The Town of New Castle designated the resource as a local landmark.

23. Sources:

"181 West Main Street." Garfield County Assessor's Office. Parcel Number 212331408007. Accessed January 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=734191566&Key Value=R380359>.

"A Walking Tour of Downtown New Castle." Town of New Castle. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed January 3, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

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Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_002/.

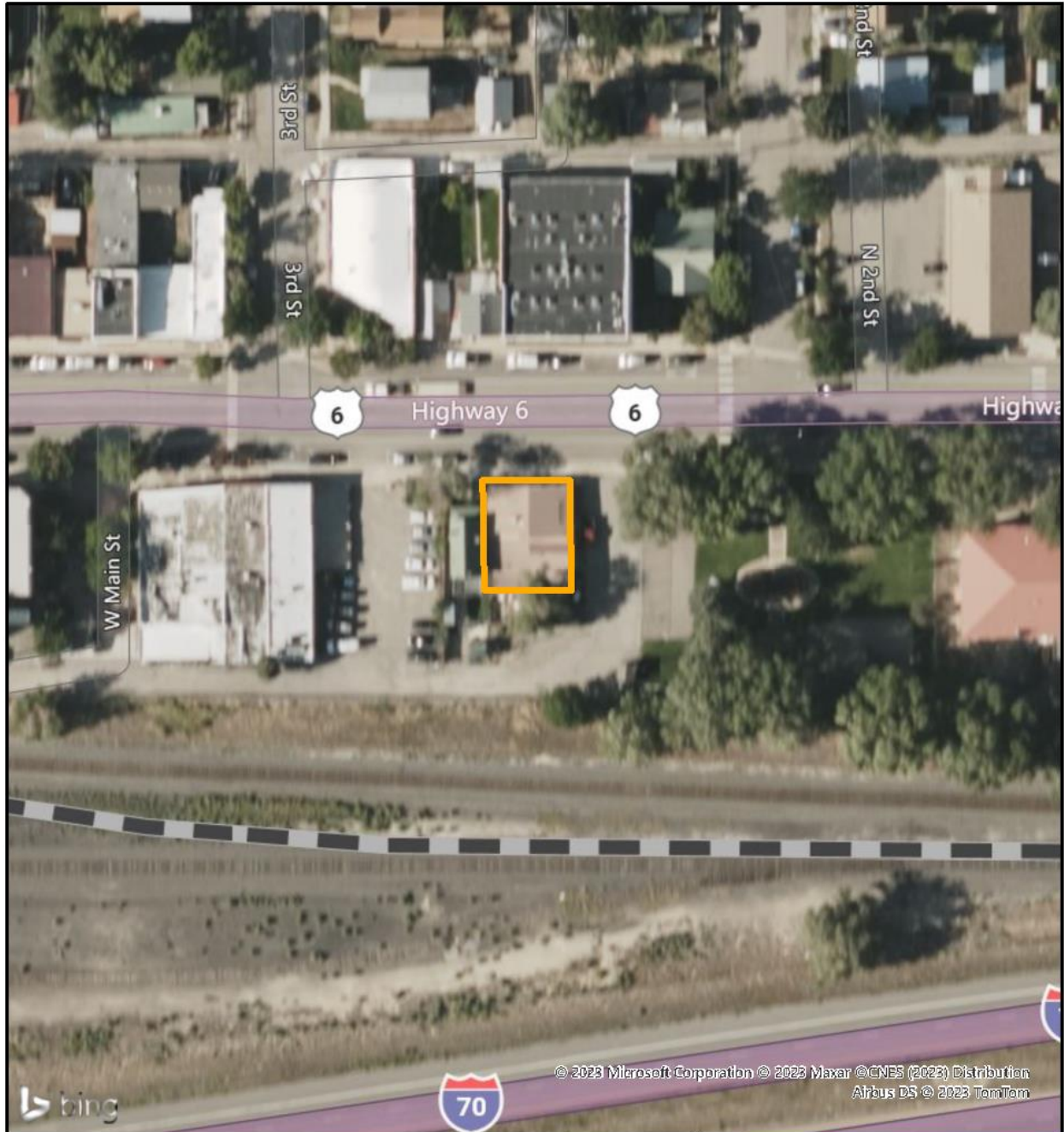
Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_003/.



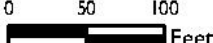
SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5919_1 to 5GF.5919_2, and 1 reference photo</u>

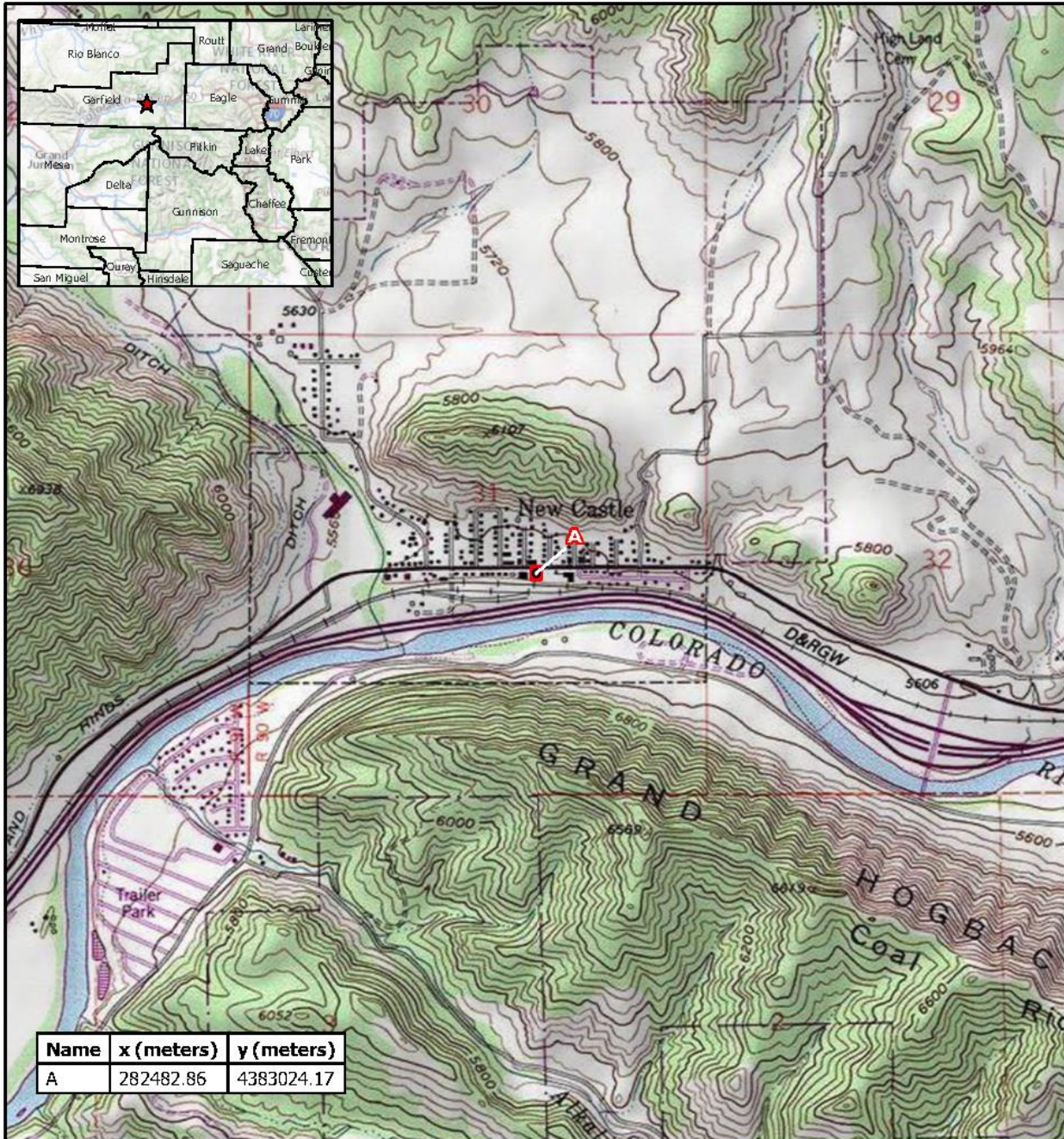
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 161 West Main Street (5GF.5919) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282482.86	4383024.17

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

161 West Main Street (5GF.5919)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Park C:\user\doowad\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5919_1
Description: Looking at the primary (north) elevation of the building. Note the false front that features a stepped parapet design.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5919_2
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



Reference Photo 1

Description: Looking at the primary (north) elevation of the building circa 2012.

View: South

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Don Meyer & Tina Sachleben Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 162 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County:
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331106005
- **9. Parcel Information: Lot(s): 5-7 Block: E Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.18 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282665 ;mN 4383076 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5-story	Cape Cod	Concrete/concrete masonry unit (CMU)	Horizontal weatherboard
Windows	Roof	Chimney	Porch
Double casement sash window with vinyl frame; one-over-one single hung sash with vinyl frame; three-lite sliding sash with vinyl frame; one-by-one sliding sash with wood frame	Steeply pitched side gable roof; closed overhanging eaves; asphalt shingles; hipped roof dormers with several recessed into the roof	Brick masonry chimney	Partial length porch protected by a hipped roof overhang with triangular support brackets along the primary (south) elevation; partial length porch protected by a gable roof overhang with triangular support brackets along the east elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, rectangular shaped building was constructed in 1942 as shown by review of Garfield County Assessor’s Office records. The approximately 28’ by 34’ residence is representative of a Cape Cod style of architecture. Several architectural elements of the residence consist of a concrete/CMU foundation; steeply pitched side gable roof design; closed overhanging eaves; asphalt singles; hipped roof formers with several recessed into the roof; an exterior envelope clad with horizontal weatherboard; and a brick masonry chimney. The typical window consists of a double casement sash with a vinyl frame. Other windows throughout the residence include one-over-one single hung sash with a vinyl frame, and one-by-one sliding sash with wood frame units. The main entryway is located in

the center of the primary (south) elevation of the building. The facade incorporates a partial length porch protected by hipped roof overhang with triangular support brackets. The main door consists of a metal panel unit with a sunburst window. Two hipped roofs and recessed dormers can also be noticed evenly spaced along the roof of the south elevation. Each dormer incorporates a one-over-one single hung sash window. Additionally, a partial length porch protected by a gable roof overhang with triangular support brackets can be noticed along the right side of the east elevation. A secondary entryway is located below the overhang and incorporates a wood panel door with a nine-lite window unit divided by muntins. Furthermore, there are three dormers on the roof along the north elevation. A wide hipped roof dormer with a three-lite sliding sash window can be noticed in the center. This dormer is also flanked on each side by identical recessed dormers that are found on the roof of the primary (south) elevation. Based on historical street imagery, a majority of the building's historic windows were replaced by vinyl framed units between 2008 and 2012, yet the historic fenestration pattern remains.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1942
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "162 East Main Street." Garfield County Assessor's Office. Parcel Number 212331106005. Accessed December 28, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=837993010&Key Value=R380110>.
- "Document Search." Garfield County Clerk and Recorder Office. Accessed December 28, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed December 28, 2022. <https://www.historicaerials.com>
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

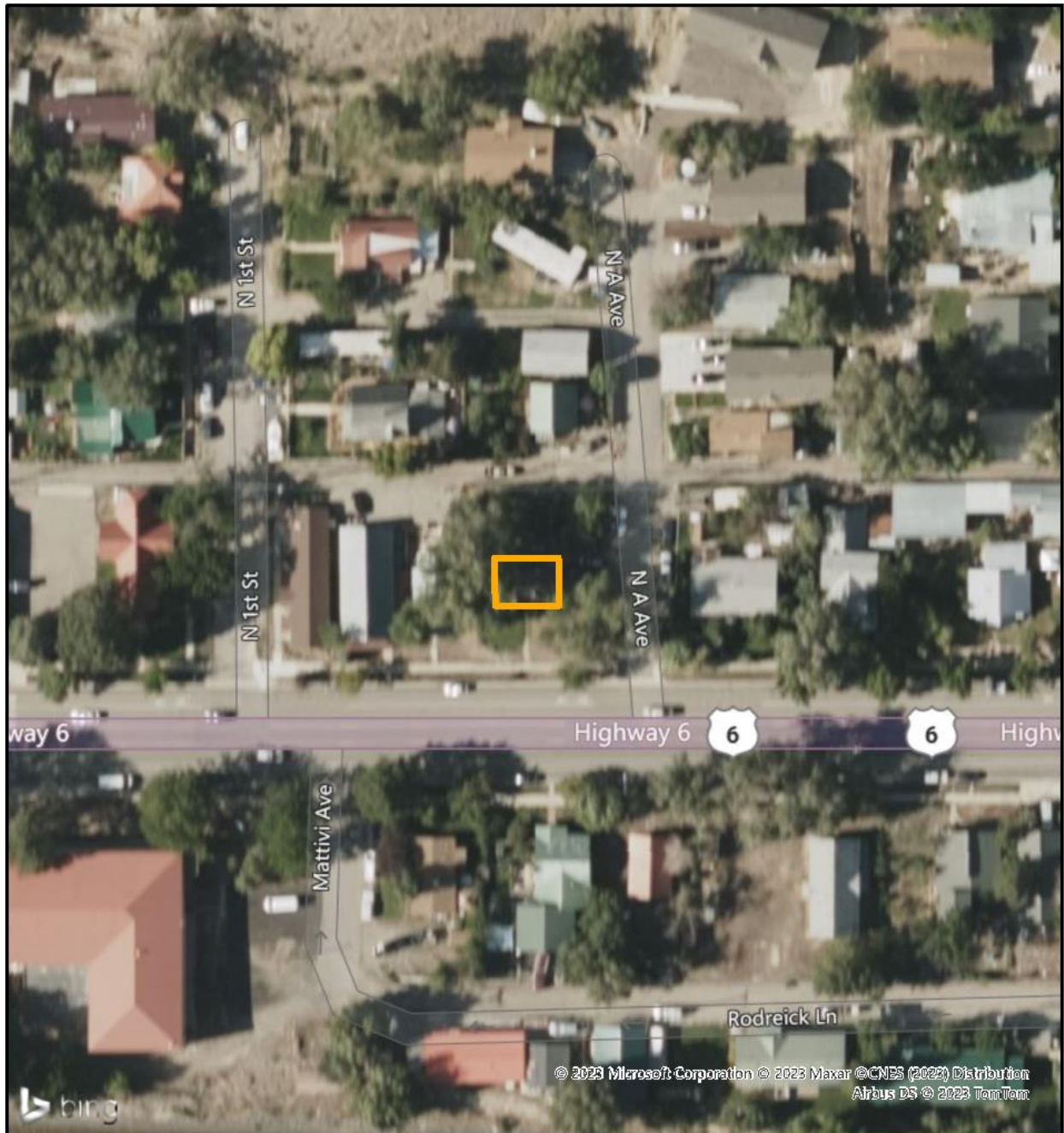
SKETCH PLAN *include approximate scale*



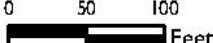



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5924_1 to 5GF.5924_4</u>

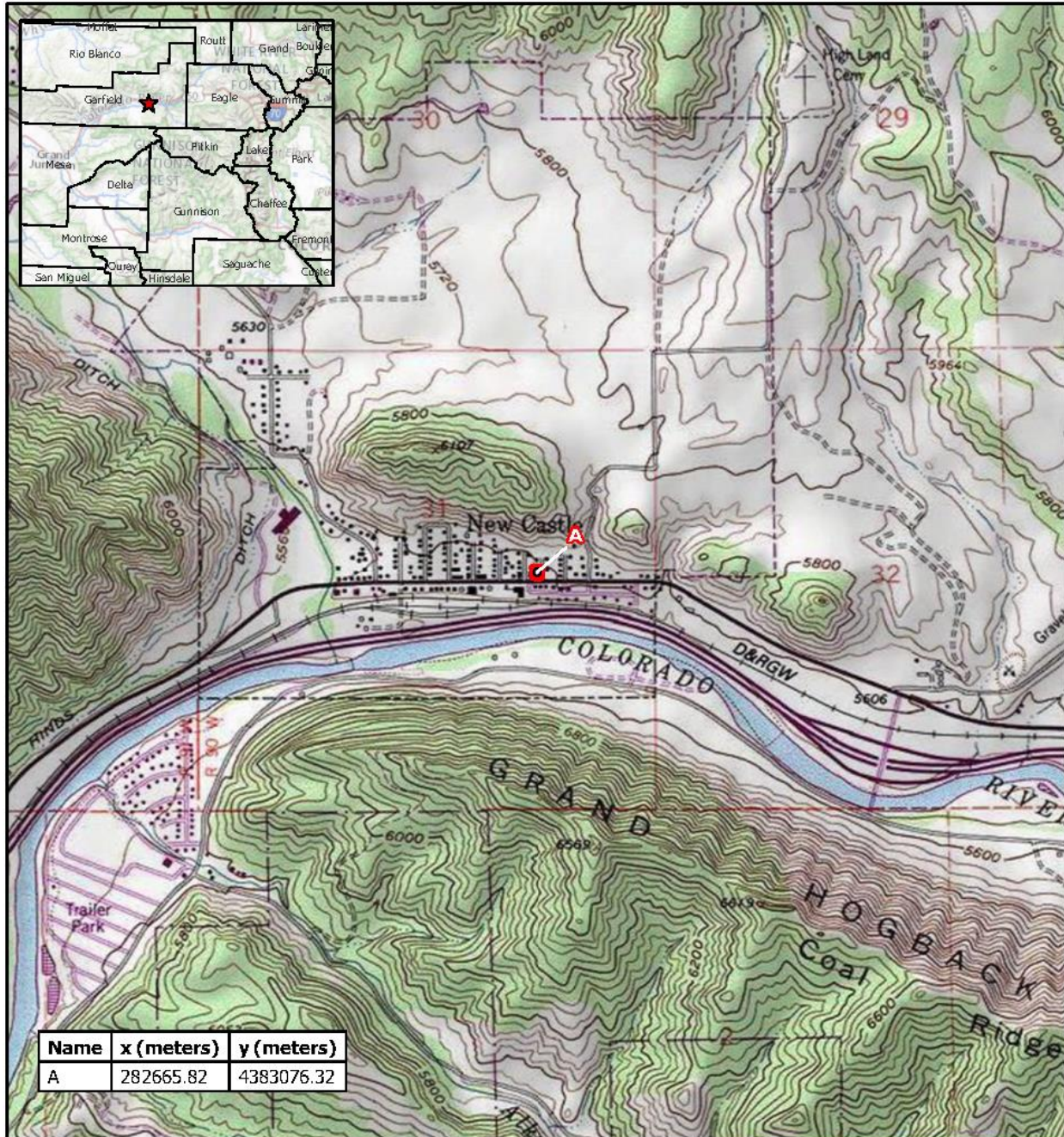
See Attachment																			
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Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 162 East Main Street (5GF.5924) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Doc u:\new\pach_c\user\downoad\Desktop\CU\New Castle\Borch R\122156001 New Castle Haztec Survey\122156001 New Castle Haztec Survey.aprx</p>		<p>Reviewed By: CMW</p>	<p>Date: 4/10/2023</p>

Topographic Map



Name	x (meters)	y (meters)
A	282665.82	4383076.32

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

162 East Main Street (5GF.5924)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5924_1
Description: Looking at the primary (south) elevation of the building. Note that the two recessed dormers are mostly obscured by the tall vegetation.
Date: 9/6/2022
View: North



Photo Number: 5GF.5924_2
Description: Looking at the west and primary (south) elevation of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5924_3
Description: Looking at the primary (south) and east elevations of the residence. Note the gable overhang that protects the secondary entryway.
Date: 9//6/2022
View: Northwest



Photo Number: 5GF.5924_4
Description: Looking at the east elevation of the building.
Date: 9/6/2022
View: Northwest



Reference Photo 1

Description: Looking at the primary (south) and east elevations of the residence. The image was taken prior to 2012 due to historic windows remaining extant.

Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Breslin Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 181 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331408007
- **9. Parcel Information: Lot(s): 9 Block: 3 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282470 ;mN 4383024 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5-story	No Style	Stacked stone	Asphalt siding with embossed brick masonry; corrugated metal; vertical weatherboard
Windows	Roof	Chimney	Porch
Paired six-lite sliding sash; one-over-one single hung sash; hopper sash; mixture of wood and vinyl frames	Front gable roof; small overhanging eaves; metal roof; attic vents under the gable peaks; shed roof dormer along east elevation	Brick masonry chimney	Full length enclosed porch with hipped roof along the primary (north) elevation; full length elevated deck along the south elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, rectangular shaped building was constructed circa 1905. The approximately 50' by 18' building does not represent a particular architectural style, although the building is somewhat evocative of early household architecture in New Castle. Overall, the building is a No Style residence. Architectural features of the residence consist of a stacked stone foundation; front gable roof design; small overhanging eaves; metal roof; attic vents under the gable peaks; a shed roof dormer along the east elevation; an exterior envelope clad with asphalt siding with embossed brick masonry; a full-length enclosed porch with hipped roof along the primary (north) elevation; and a brick masonry chimney. The main entryway is located in the center of the enclosed porch along the primary (north) elevation of the building. Frank Breslin constructed the enclosed porch shortly after he purchased the house in 1976. The main entryway incorporates a wood door with an eight-lite window divided by wood muntins. The entryway is also capped by a piedmont. Several decorative spindles and brackets can also be noticed along the exterior walls of the enclosed porch. Additionally, a one-over-one single hung sash window is located under the gable peak of the facade. The south elevation of the residence demonstrates an

addition due to the transition from asphalt siding to corrugated metal siding. The addition was constructed in 1989 and includes a 1.5-story floorspace and projection along the elevation. Furthermore, a full-length elevated wood deck was constructed along the south elevation between 2016 and 2021 after review of historical aerial imagery.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1905

Estimated Actual (include source): 1996 OAHP Historic

Building Inventory Record (5GF.2370)

18. Other Significant Dates, if any: After review of Garfield County Assessor’s Office records, the building is listed as being constructed in 1893; however, Sanborn Fire Insurance maps between 1893 – 1904 demonstrate that a different dwelling existed on the legal parcel before the current building. A map in 1893 reveals that a dwelling existed to the south of main street while a second smaller dwelling was extant at the far southern edge of the legal parcel. By 1899, an updated Sanborn map shows that the rear dwelling was no longer extant and that the dwelling near main street was vacant and “partially burnt and open.” Several years later in 1904, the building was no longer extant on Sanborn maps of the area.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov’t |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev’t | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2370) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not eligible.

23. Sources:

- “181 West Main Street.” Garfield County Assessor’s Office. Parcel Number 212331408007. Accessed January 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=734191566&Key Value=R380359>.
- “A Walking Tour of Downtown New Castle.” Town of New Castle. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- “Document Search.” Garfield County Clerk and Recorder Office. Accessed December 29, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- “Early History.” Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed January 3, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "Breslin Residence (5GF.2370)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_003/.

SKETCH PLAN *include approximate scale*



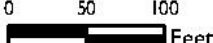


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2370_1 to 5GF.2370_3, and 1 historic photo</u>

See Attachment																			
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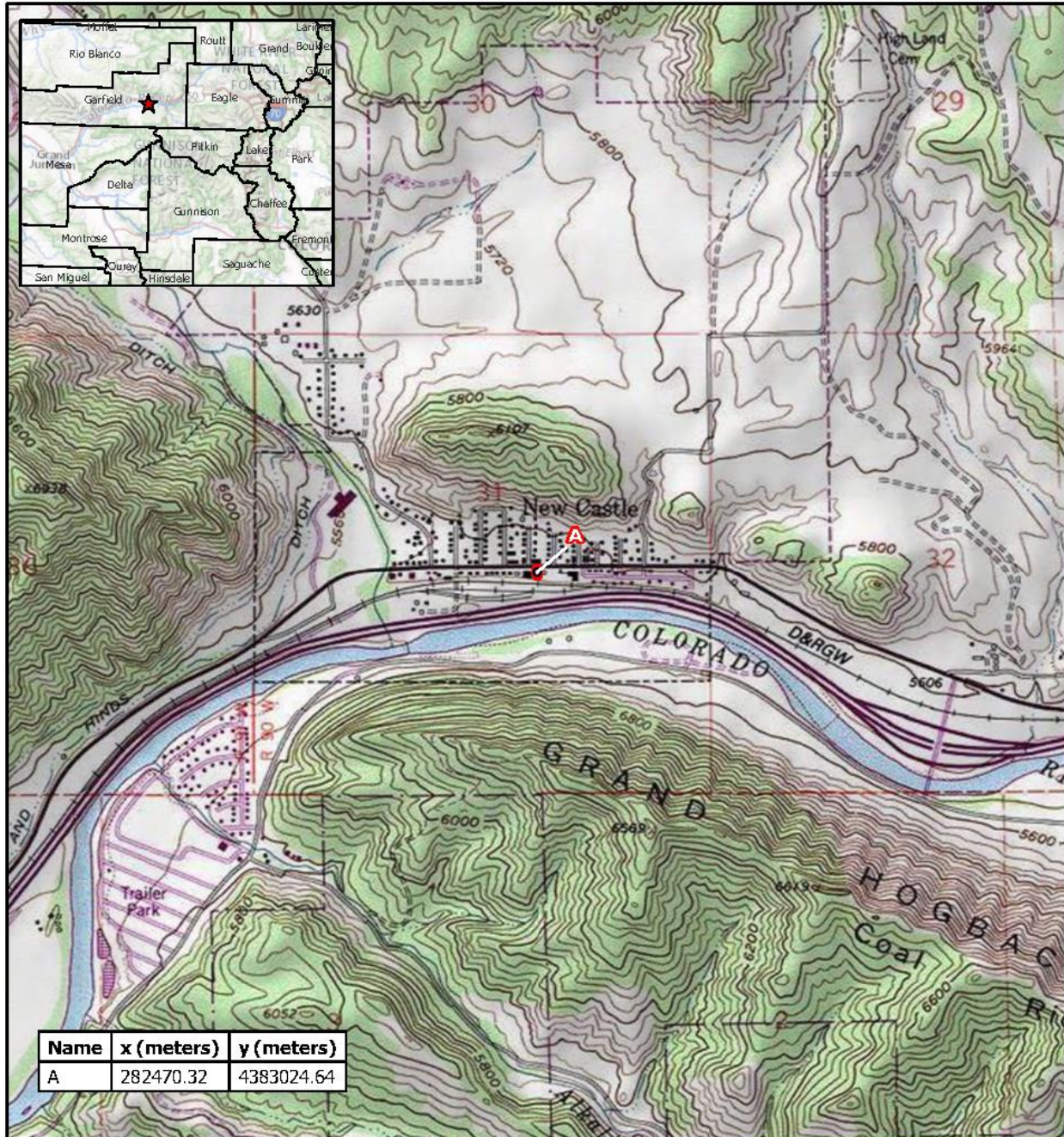
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 181 West Main Street (5GF.2370) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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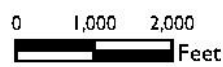
Topographic Map



Name	x (meters)	y (meters)
A	282470.32	4383024.64

Legend

 Resource Boundary



Topographic Map

181 West Main Street (5GF.2370)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

Doc in new Path: C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.2370_1
Description: Looking at the primary (north) elevation of the building. Note the 1976 enclosed porch addition to the façade.
Date: 9/6/2022
View: South



Photo Number: 5GF.2370_2
Description: Looking at the primary (north) and west elevations of the residence. Note the weatherboard, asphalt, and corrugated metal siding transitions.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.2370_3
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



Historic Photo 1
Description: Looking at the primary (north) and west elevations of the building in 1996.
Source: 1996 OAHP Historic Building Inventory Record (5GF.2370)

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Nancie Shauger Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 191 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331406001
- **9. Parcel Information: Lot(s): 2-3 Block: 1 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.14 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NE ¼ of NW ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282666 ;mN 4383019 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Rustic	Concrete	Horizontal weatherboard; wood belt course and vertical weatherboard in gable ends
Windows	Roof	Chimney	Porch
One-by-one sliding sash with vinyl frame	Side gable roof; metal roof; overhanging eaves; lower front gable projections along the primary (north) and south elevations; attic vent under gable peaks	Raked concrete chimney	Partial length protected porch along the primary (north) elevation; partial length open porch along the west elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, irregular shaped building was constructed in 1950 as shown through review of Garfield County Assessor's Office records. The approximately 72' by 42' residence is an example of a vernacular form of Rustic style of architecture. Architectural features of the residence include a concrete foundation; an exterior envelope clad with horizontal weatherboard; a side gable roof design; overhanging eaves; metal roof; vertical weatherboard and wood belt course in the gable ends; attic vents under the gable peaks; and a raked concrete chimney. A partial length front gable porch is located on the right side of the primary (north) elevation. Vertical weatherboard can be noticed within the gable end of the overhang. The overhang is supported by unornamented square posts. The porch also incorporates square post railings. The main entryway is located in the center of the elevation within the covered porch. The main entryway incorporates a metal panel door with a sunburst window unit. The door is also fronted by a metal storm door with a one-over-one single hung sash window. The typical window unit consists of a one-by-one sliding sash unit with a vinyl frame.

Additionally, a wood staircase can be noticed leading to a secondary entryway on the right side of the west elevation. The building also features an attached garage along the south elevation. Based on historical aerial imagery, it appears that a large addition was constructed along the south elevation between 1960 and 1982.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1950

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"191 East Main Street." Garfield County Assessor's Office. Parcel Number 212331406001. Accessed December 28, 2022.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=206000791&KeyValue=R380066>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 28, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 28, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

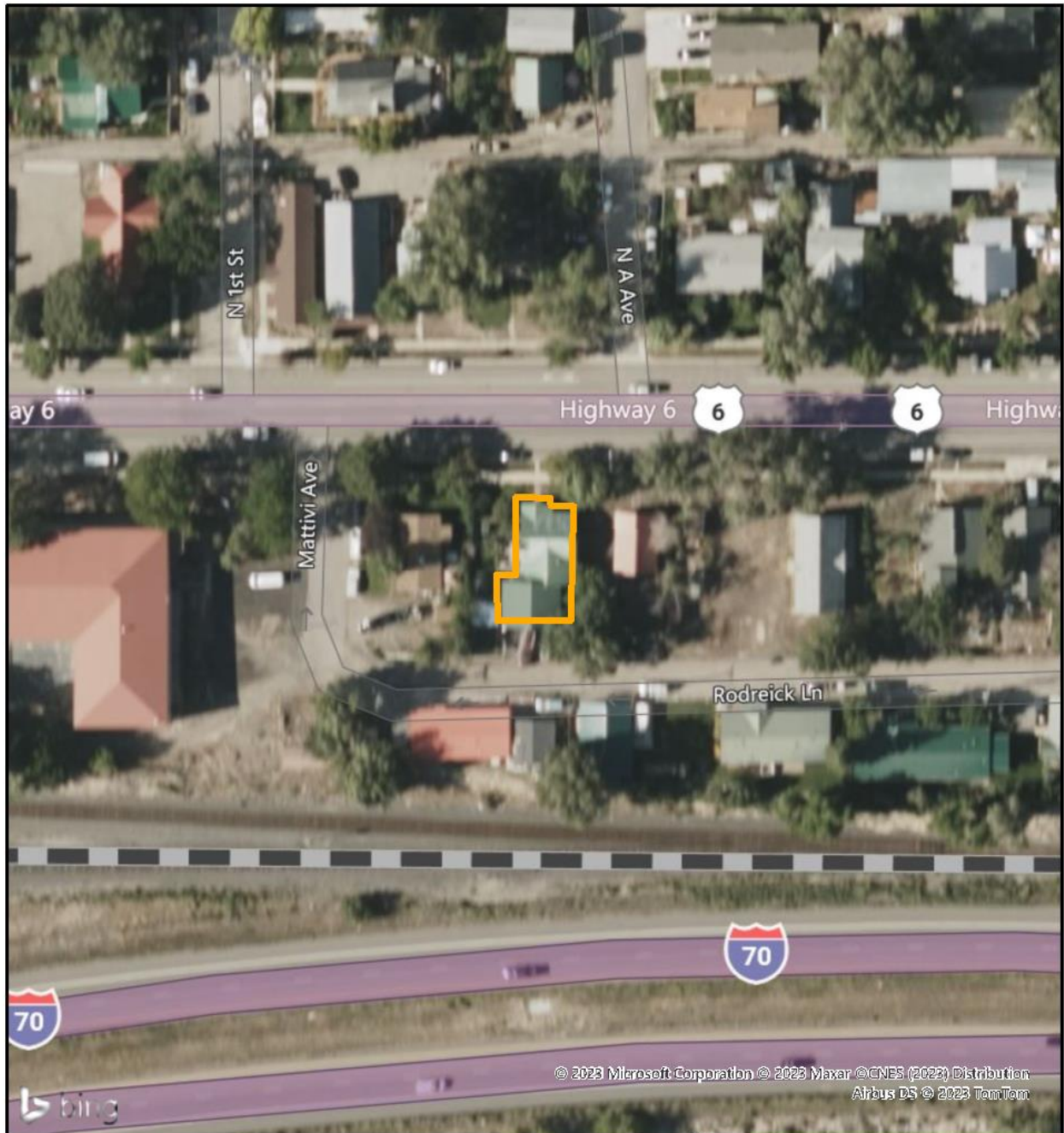
SKETCH PLAN *include approximate scale*



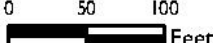


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5925_1 to 5GF.5925_3</u>

See Attachment																			
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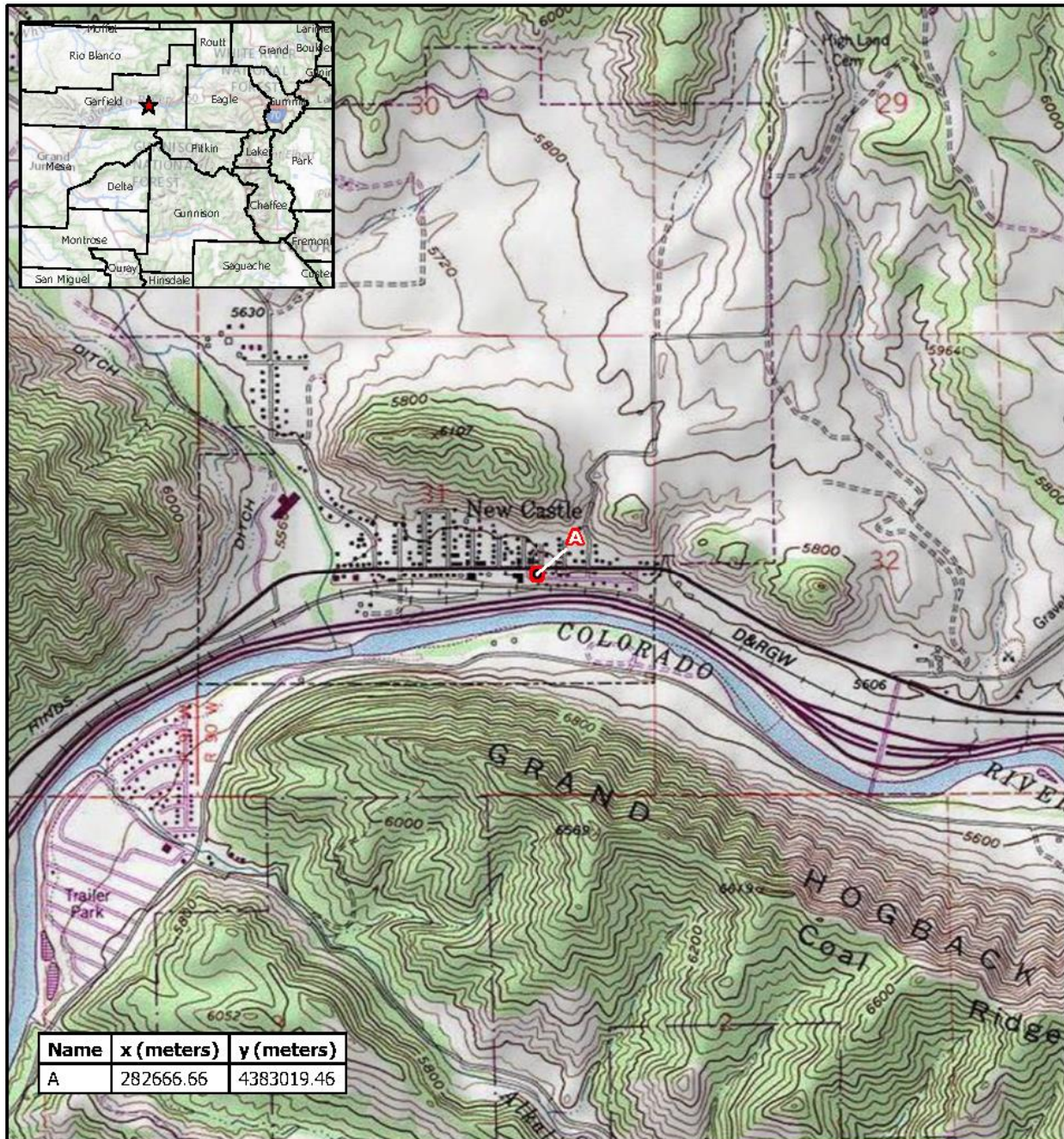
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 191 East Main Street (5GF.5925) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282666.66	4383019.46

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

191 East Main Street (5GF.5925)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5925_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.5925_2
Description: Looking at the primary (north) and west elevations of the residence.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5925_3
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Bernoudy Brother's Saloon Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 201 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331408013
- **9. Parcel Information: Lot(s): 13 Block: 3 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282439 ;mN 4383025 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Nineteenth Century Commercial	Stacked stone	Brick masonry; novelty siding
Windows	Roof	Chimney	Porch
Rectangular picture windows; wood frames; decorative faux transoms	Flat roof with stepped parapets; rolled asphalt	N/A	An unprotected patio located along the east elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed circa 1890 as shown through review of *Sanborn Fire Insurance* maps. The approximately 100' by 22' building is representative of a Nineteenth Century Commercial style of architecture. The building features a stacked stone foundation; a flat roof with stepped parapets; a brick masonry exterior envelope; novelty siding along the primary (north) elevation; several decorative brackets under the cornice; and several convex awnings. The typical window consists of a wood framed, rectangular picture window and is capped by a decorative faux transom and features a wood sill. These windows are also slightly recessed into the exterior wall. The main entryway is located in the center of the primary (north) elevation and is flanked on both sides by typical window units. The main door consists of a wood door with a single lite. The door is capped by a decorative transom. Convex awnings can be noticed above all of the windows and the main entryway along the façade of the primary (north) elevation. In addition, the primary (north) elevation is clad in novelty siding and features decorative paneling between the foundation and window sills. A former door opening has been covered along the east elevation and two wood doors with a single lite can be noticed in the center and the far-right side of the elevation. Stucco can also be seen between the doors near the foundation. The east elevation is clad in brick masonry and an unprotected patio can be noticed as well.

Historic records indicate that the building was altered in the early Twentieth Century after Ritter & MacRae renovated the east brick wall, roof, and floor of the building. However, is noted that the western elevation of the building was retained well into the 1940s. By 1996, historic photos reveal that "Sinclair" signage was placed on top of the cornice along the primary (north) elevation. In addition, the main entryway had been replaced by a glazed door and was flanked by plate glass window units with metal framing. The top portion of the façade was clad in horizontal weatherboard by this time. A window near the far-right entryway along the east elevation was also present. By 2012, the window along the east elevation was removed and the opening covered with brick masonry. The fenestration pattern along the primary (north) elevation was further altered by the removal of the plate glass windows, horizontal weatherboard, and replacement of the main entryway door. These materials were replaced by typical windows; novelty siding; decorative brackets under the cornice; convex awing and decorative faux transoms. Signage above the main entryway stating, "Authentic Mexican Bar & Grill" was also added to the façade.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial/Saloon

Current Function/Use (if different): Commercial/Restaurant

17. Date of Construction: 1890
Building Inventory Record (5GF.2371)

Estimated Actual (include source): 1996 OAHP Historic

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"The 1893 Sanborn map indicates that four one-story buildings were located on this parcel of land: two saloons, a grocery store, a drug store. This building is on the site of a frame saloon. According to John C. Ritter, this building originally housed a saloon operated by the Bernoudy brothers. The saloon of the Bernoudy brothers (later E. F. Bernoudy) is listed in the Colorado Business Directory from 1889 through 1894. In 1899, the building occupying this site was vacant and had 'about 3 feet of straw on floor.' In 1904, the building was used as a feed and storage structure and storage structure and was still indicated as frame. The building was acquired by Ritter & MacRae, who operated a clothing and dry good store in the buildings to the west, and was rebuilt with a new east brick wall, roof, floor, the western saloon façade was retained through the 1940s. The structure was used for hay and grain storage and the changes reduced fire insurance premiums. The building was subsequently rented to the Mattivi brothers for a garage and used by John C. Ritter for office space. In the 1960s, Ritter refitted the building as a general store. Ritter sold the property in the 1970s, but the building has continued as a general store (McGlinchy's and, currently, Schroeder's)."

Additional historic context is provided by a walking tour guide published by the Town of New Castle:

"The easternmost of three adjoining buildings, the brick building was constructed around 1890 and operated for several years as a saloon. In 1904 it was used as a feed and storage structure and as the Mattivi Brothers' gas station from 1929-1938. It was eventually purchased by Ritter and MacRae, who operated their store at the west end of the block. In the 1960's it was refitted as a general store operated by several different owners until 2002, when it became a grocery store and then a restaurant."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation

in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2371) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

23. Sources:

"201 West Main Street." Garfield County Assessor's Office. Parcel Number 212331408013. Accessed February 17, 2023.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=337503228&KeyValue=R008105>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022.

https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 17, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 17, 2023. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "Schroeder's General Store (5GF.2371)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

SKETCH PLAN *include approximate scale*



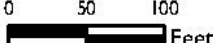


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2371_1 to 5GF.2371_2, and 5 reference photos</u>

See Attachment																			
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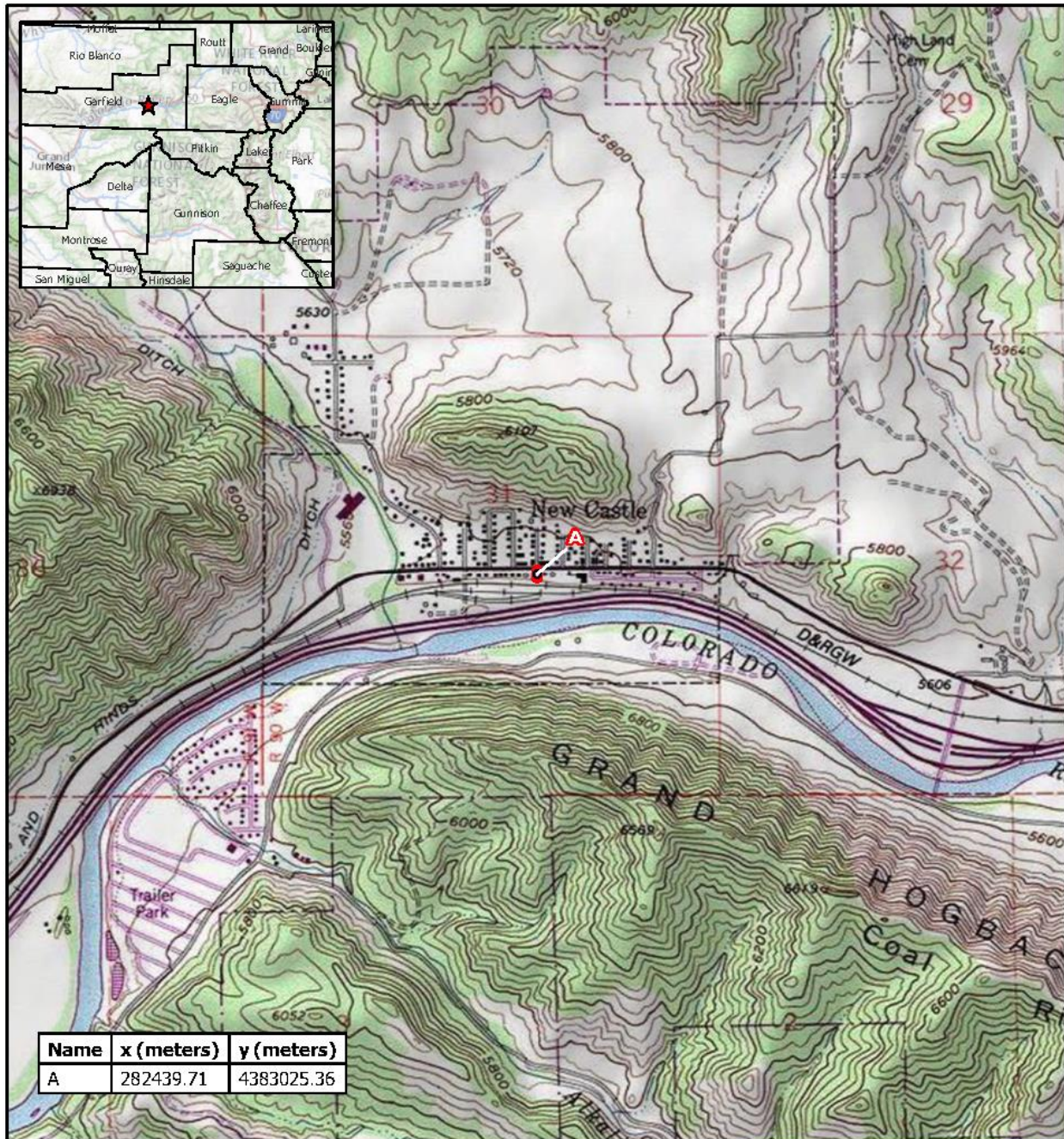
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 201 West Main Street (5GF.2371) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Drawn By: CJB</td> <td style="width: 50%;">Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282439.71	4383025.36

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

201 West Main Street (5GF.2371)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Path: C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.2371_1
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.2371_2
Description: Looking at the east elevation of the building.
Date: 9/6/2022
View: Southwest



Reference Photo 1

Description: Looking at the west and primary (north) elevations of the building. Note the façade treatment prior to the 2012 alterations.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2371)

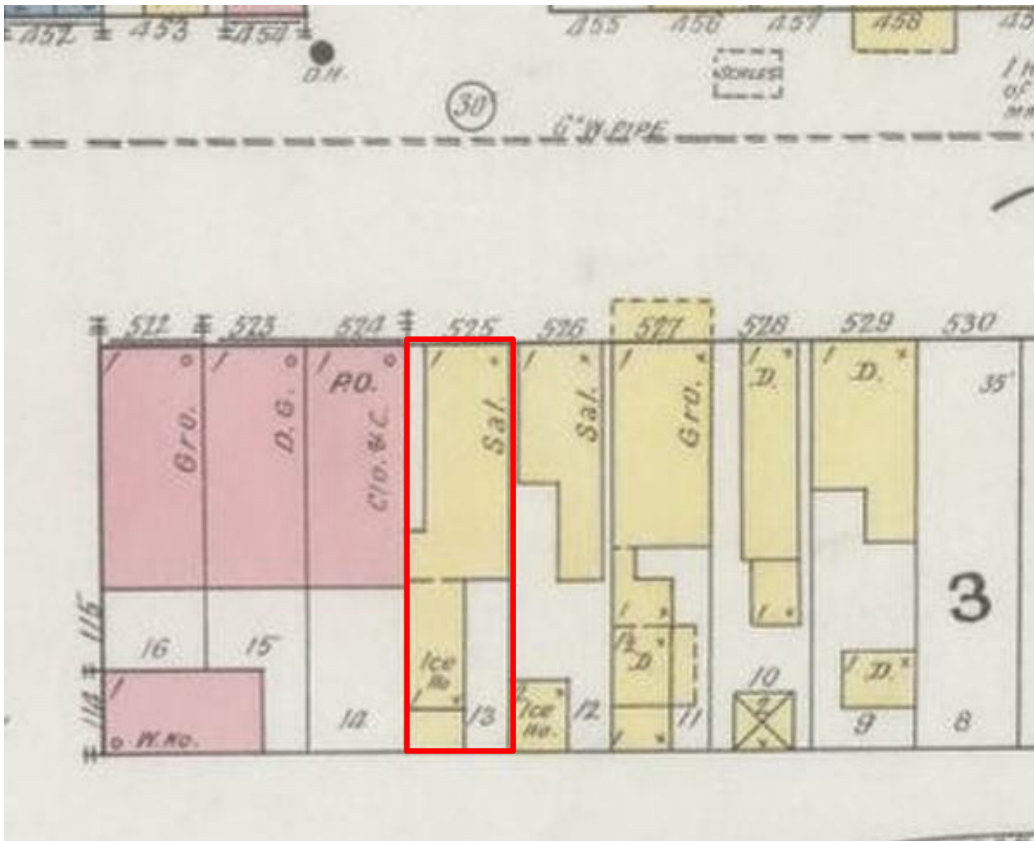


Reference Photo 2

Description: Looking at the west and primary (north) elevations of the building.

Date: Circa 2009

Source: Garfield County Assessor's Office

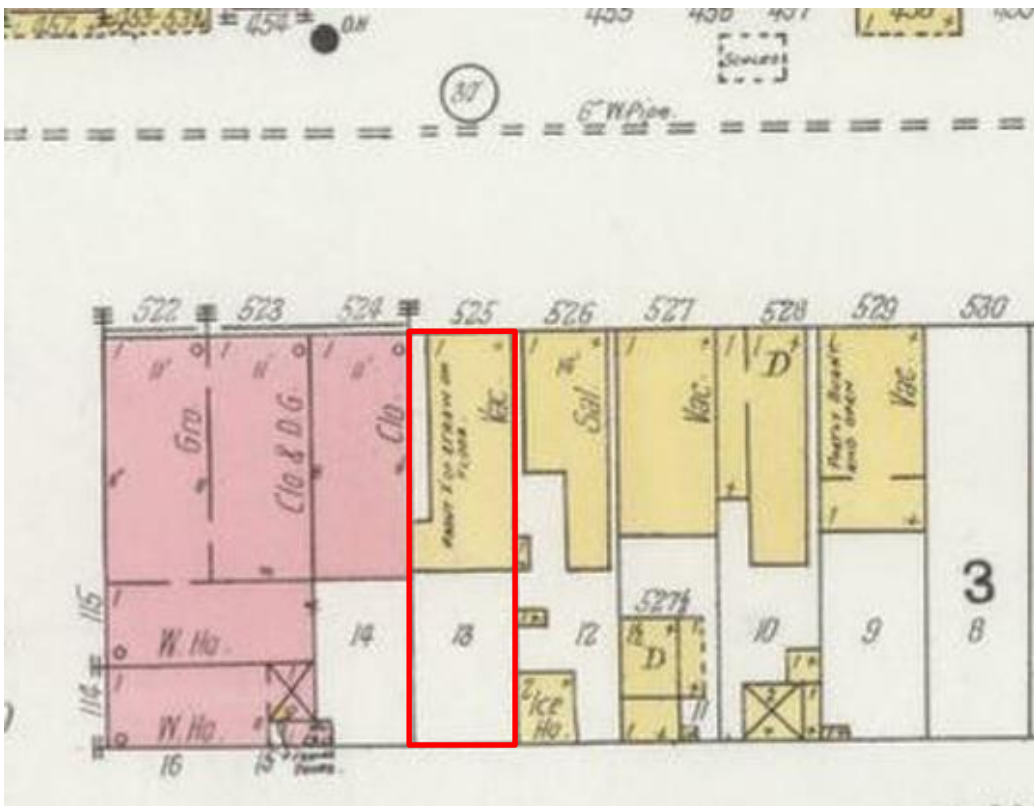


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 13 of block 3. The property is outlined in red.

Date: 1893

Source: Library of Congress

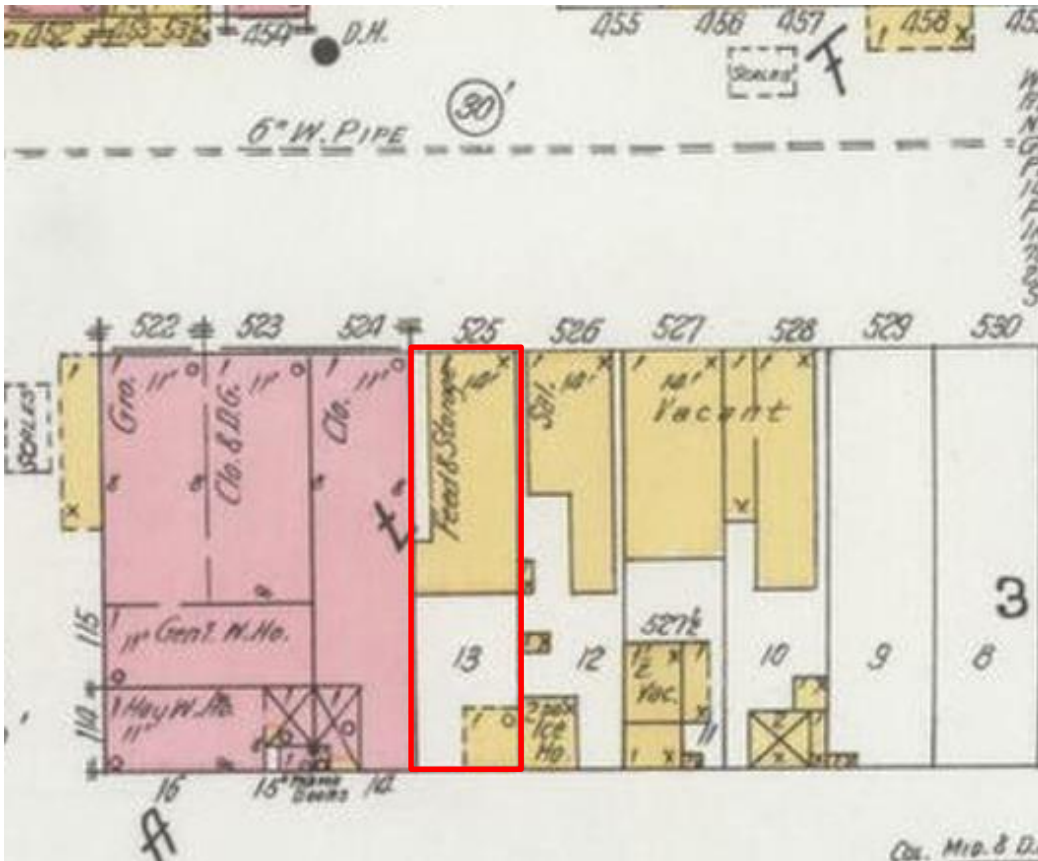


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red. Note that the building is labeled as vacant at the time.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red. Note that the building was utilized as a feed storage at the time.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Pete Mattivi House Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 202 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: 202 West Main Street Year: 2022 7.5'
- **8. Parcel Number: 212331108015

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **9. Parcel Information: Lot(s): 1-2 Block: C Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282509 ;mN 4383080 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5-story	No Style	Concrete	Composite Siding; Asbestos siding
Windows	Roof	Chimney	Porch
One-by-one sliding sash; one-over-one single hung sash; picture window; mixture of wood and vinyl frames	Side gable; metal roof; closed overhanging eaves; attic vents; lower front gable projection along primary (south) elevation; shed roof floorspace along north elevation	Brick masonry chimney	Full length enclosed porch along primary (south) and north elevations; small open porch along primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, rectangular shaped building was constructed in 1923 as shown through review of Garfield County Assessor's Office records. The approximately 48' by 34' building is not representative of a particular architectural style. Overall, the building is a No Style residence. Architectural features of the residence include a concrete foundation; an exterior envelope clad with asbestos and composite siding; a side gable roof design; closed overhanging eaves; a metal roof; attic vents; a lower gable projection along the primary (south) elevation; a shed roof floorspace along the north elevation; and a brick masonry chimney. The main entryway is located in the center of the front gable projection along the primary (south) elevation of the building. The main entryway features a wood door with decorative lattice windows. The door is fronted by a wood storm door with a one-over-one single hung sash window. The main entryway is also flanked on both sides by tall and narrow sidelites. A small, unprotected porch is also located in the center of the primary (south) elevation with a concrete staircase that leads to the main door. The north elevation incorporates a full-length enclosed porch with a

shed roof. A secondary entryway is also located in the center of the north elevation. The typical window consists of a one-by-one sliding sash with a viny frame, although there are several examples of wood framed units. Additional windows that can be noticed include one-over-one single hung sash and picture window units. Sliding sash units are present under the side gable peaks.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1923

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: The resource is associated with Pete Mattivi who moved to New Castle in 1929. He later opened the Mattivi Motor Company with his brother, Matthew Mattivi, located at 298 West Main Street in 1937. Pete was later elected mayor of New Castle between 1954 – 1969 and 1974 – 1981. Garfield County Clerk and Recorder documents indicate that Pete and his wife, Opal, bought the house from J. A. and Elvira H. Murray in 1950. After review of a photo description provided by the New Castle Museum, the building was constructed by Peter Dow.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "202 West Main Street." Garfield County Assessor's Office. Parcel Number 212331108015. Accessed January 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1212223064&KeyValue=R380117>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed January 3, 2023. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed January 3, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed January 3, 2023. <https://www.historicaerials.com>
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

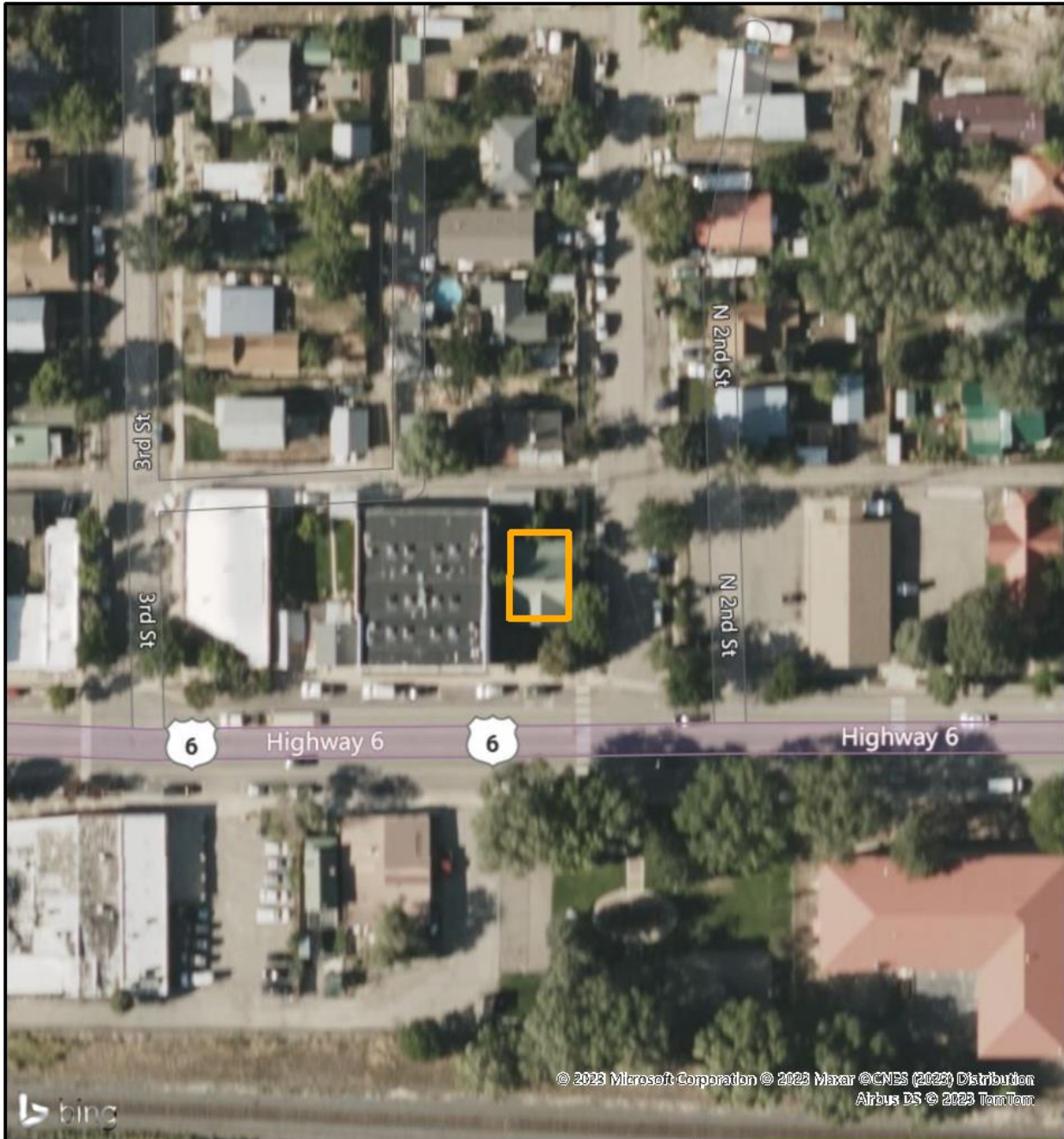
McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.



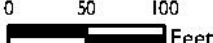
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Rice, Heidi. "New Castle icon Pete Mattivi dies at 103." *Post Independent*. Accessed January 3, 2022.

<https://www.postindependent.com/news/new-castle-icon-pete-mattivi-dies-at-103/>.

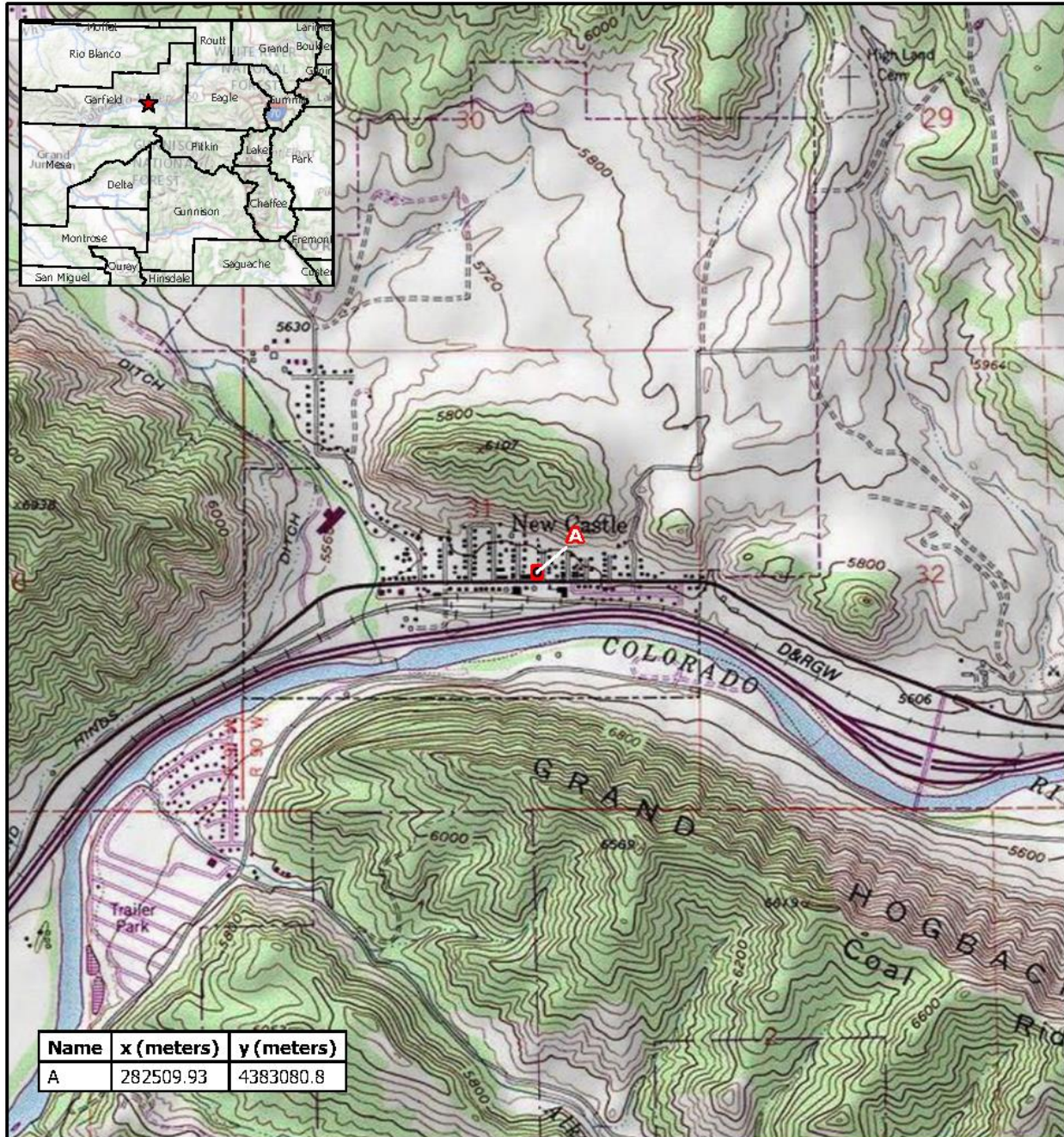
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 202 West Main Street (5GF.5918) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Drawn By: CJB</td> <td style="width: 50%;">Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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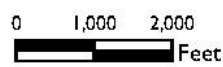
Topographic Map



Name	x (meters)	y (meters)
A	282509.93	4383080.8

Legend

 Resource Boundary



Topographic Map

202 West Main Street (5GF.5918)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

Doc in new Park C:\user\doowal\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5918_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5918_2
Description: Looking at the west and primary (south) elevation of the building. Note that the wall to the left is not a part of the residence.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5918_3

Description: Looking at the primary (south) and east elevations of the building. Note the composite siding on the exterior of the front gable projection while the side gable is clad with asbestos siding.

Date: 9/6/2022

View: Northwest



Historic Photo 1

Description: Looking at the primary (south) elevation of the building. The photo description states, "Pete Mattivi House/built by Peter Dow."

Date: Unknown

Source: New Castle Museum Collection

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Brent Peterson Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 203 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331405004
- **9. Parcel Information: Lot(s): 10-11 Block: P Addition: Spencer's 2nd
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NE ¼ of NW ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282684 ;mN 4383019 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Rustic	Concrete	Novelty wood siding; decorative vertical weatherboard
Windows	Roof	Chimney	Porch
Six-over-six single hung sash with snap on muntins; sunburst window	Front gable roof; metal roof; boxed overhanging eaves	Metal flue	Wood staircase in front of entryway along primary (north) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1936 as shown through review of Garfield County Assessor's Office records. The approximately 36' by 24' residence is representative of a vernacular form of Rustic style of architecture. Architectural features of the residence include a concrete foundation; an exterior envelope clad with novelty wood siding; a front gable roof design; boxed overhanging eaves; a metal roof; and a metal flue chimney. The exterior envelope incorporates several decorative vertical weatherboard siding features along all elevations. The main entryway is located in the center of the primary (north) elevation and features a small wood staircase. The main entryway consists of a wood door with a picture window unit. A sunburst window unit can be noticed under the front gable peak. The typical window consists of a six-over-six single hung sash unit with span on muntins.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1936

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"203 East Main Street." Garfield County Assessor's Office. Parcel Number 212331405004. Accessed December 28, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1101482635&Key=Value=R380142>

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 28, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 28, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

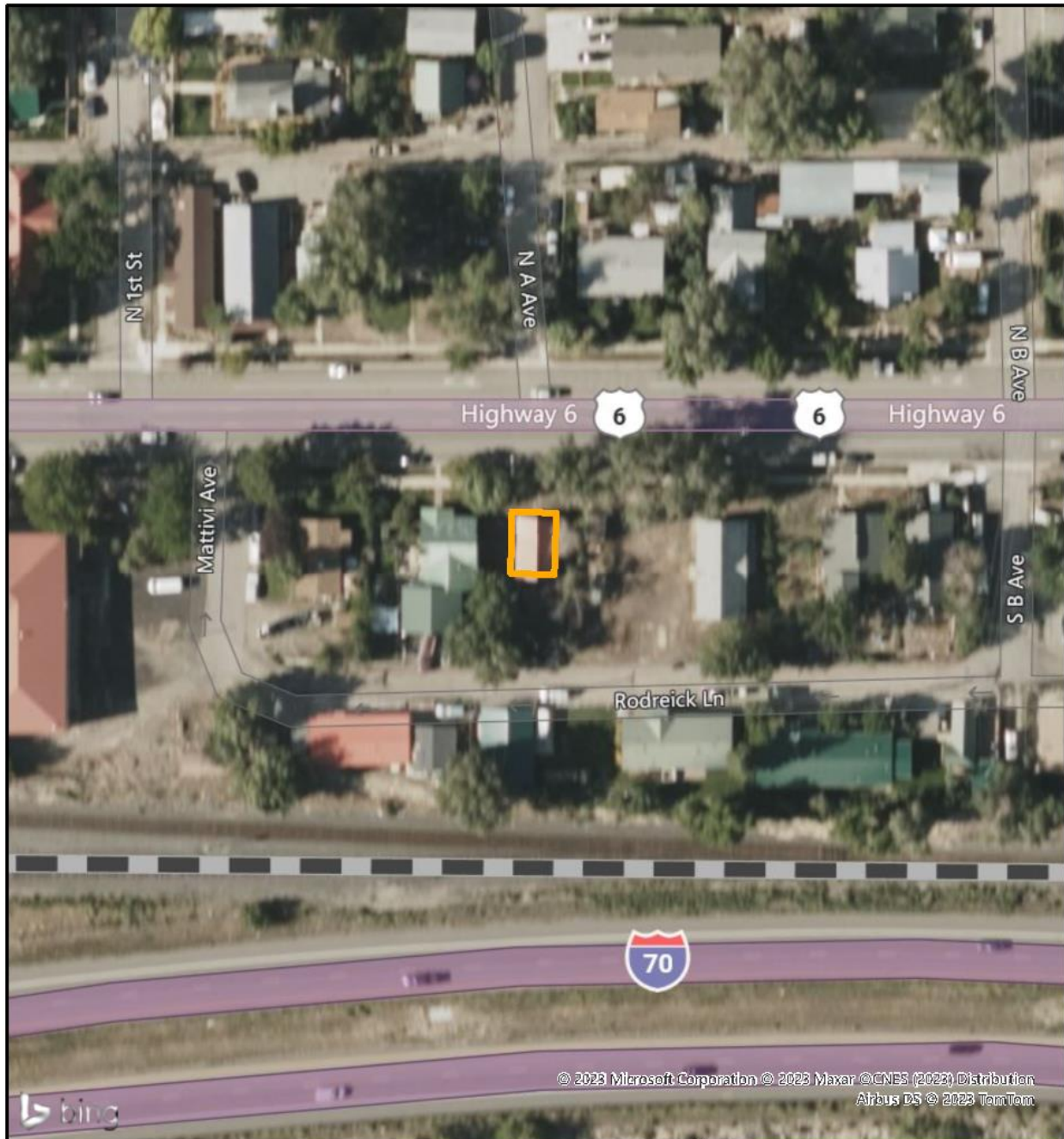
SKETCH PLAN *include approximate scale*



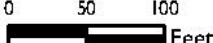



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5926_1 to 5GF.5926_3</u>

See Attachment																			
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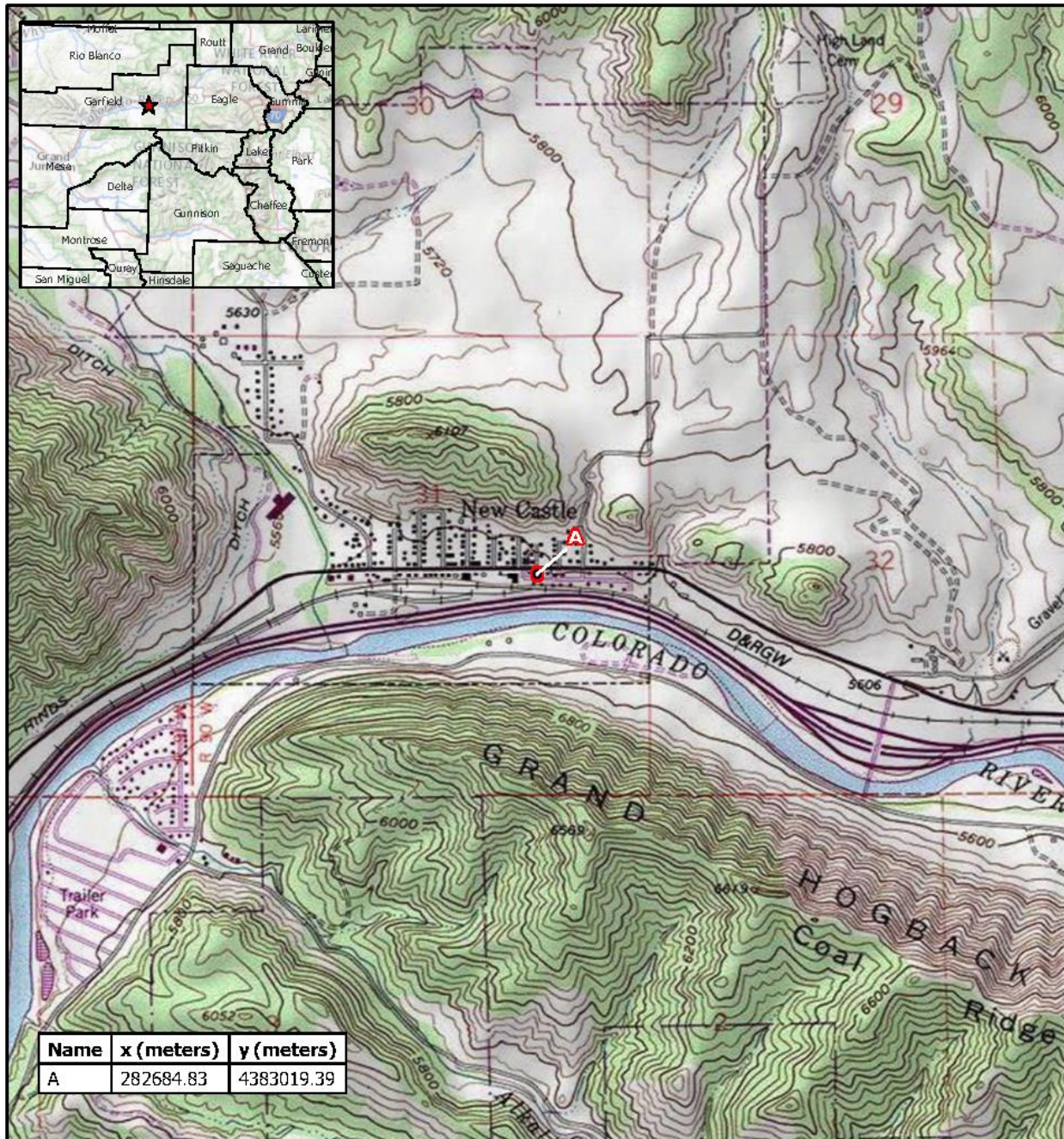
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 203 East Main Street (5GF.5926) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282684.83	4383019.39

Legend

 Resource Boundary



0 1,000 2,000
Feet

Pinyon
Environmental, Inc.

Topographic Map

203 East Main Street (5GF.5926)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5926_1
Description: Looking at the primary (north) elevation of the residence.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5926_2
Description: Looking at the east and primary (north) elevation of the building.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5926_3

Description: Looking at the primary (north) and west elevations of the residence.

Date: 9/6/2022

View: Southeast

Sanborn Fire Insurance maps between 1899 and 1904 indicate that an addition was constructed along the south side of the building. By 1996, historic imagery and records indicate that the building was altered. The primary (north) elevation of the building incorporated a horizontal weatherboard façade with an alpine mural located under the cornice. Vertical weatherboard was also placed above and below window units. Between 1996 and 2008, historical street imagery demonstrates that the primary (north) elevation was altered to its current configuration.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial Current Function/Use (if different): Commercial/Residential (rear)

17. Date of Construction: 1892 Estimated Actual (include source): Garfield County Assessor's Office

18. Other Significant Dates, if any: Between 1996 and 2009, the property address was changed from 239 West Main Street to 219 West Main Street.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following history is a portion of the historic context quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"According to John C. Ritter, this building was originally Calhoun's Clothing Store, operated by John A. MacRae... MacRae was a Canadian immigrant who became partners with J. W. Ritter in 1892 and ran a clothing and shoe store in this building. Ritter, a Pennsylvania native, had come to Colorado in 1880, where he engaged in railroad construction and delivered mail between Glenwood Springs and Rifle... The 1893-1904 Sanborn Insurance maps identify this building as a clothing store. Ritter and MacRae became partners, buying the clothing store, and in the 1910s, acquiring Kamm's store. The Ritter and MacRae store was described as 'a regular metropolitan one, while the stock they carry is equal to that carried by any similar store west of Denver.' Both Ritter and MacRae served as mayor of New Castle; Ritter was also a postmaster and a member of the school board. Following MacRae's death, Ritter continued to operate the store until his death in 1944 at the age of 85. The building later transitioned into a branch of the Three River Library system. The front part of the building is now utilized as a part of Schroeder's General Store and the back part is divided into two apartments."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2372) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

The Town of New Castle designated the resource as a local landmark.

23. Sources:

- "219 West Main Street." Garfield County Assessor's Office. Parcel Number 212331408010. Accessed February 17, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=578046662&KeyValue=R380695>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 17, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 17, 2023. <https://www.historicaerials.com>
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- Front Range Associates, Inc. "Schroeder's General Store (west part) (5GF.2372)." Historic Building Inventory Record – Colorado Historical Society, June 1996.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

SKETCH PLAN *include approximate scale*



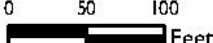


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2372_1 and 6 reference photos</u>

See Attachment																			
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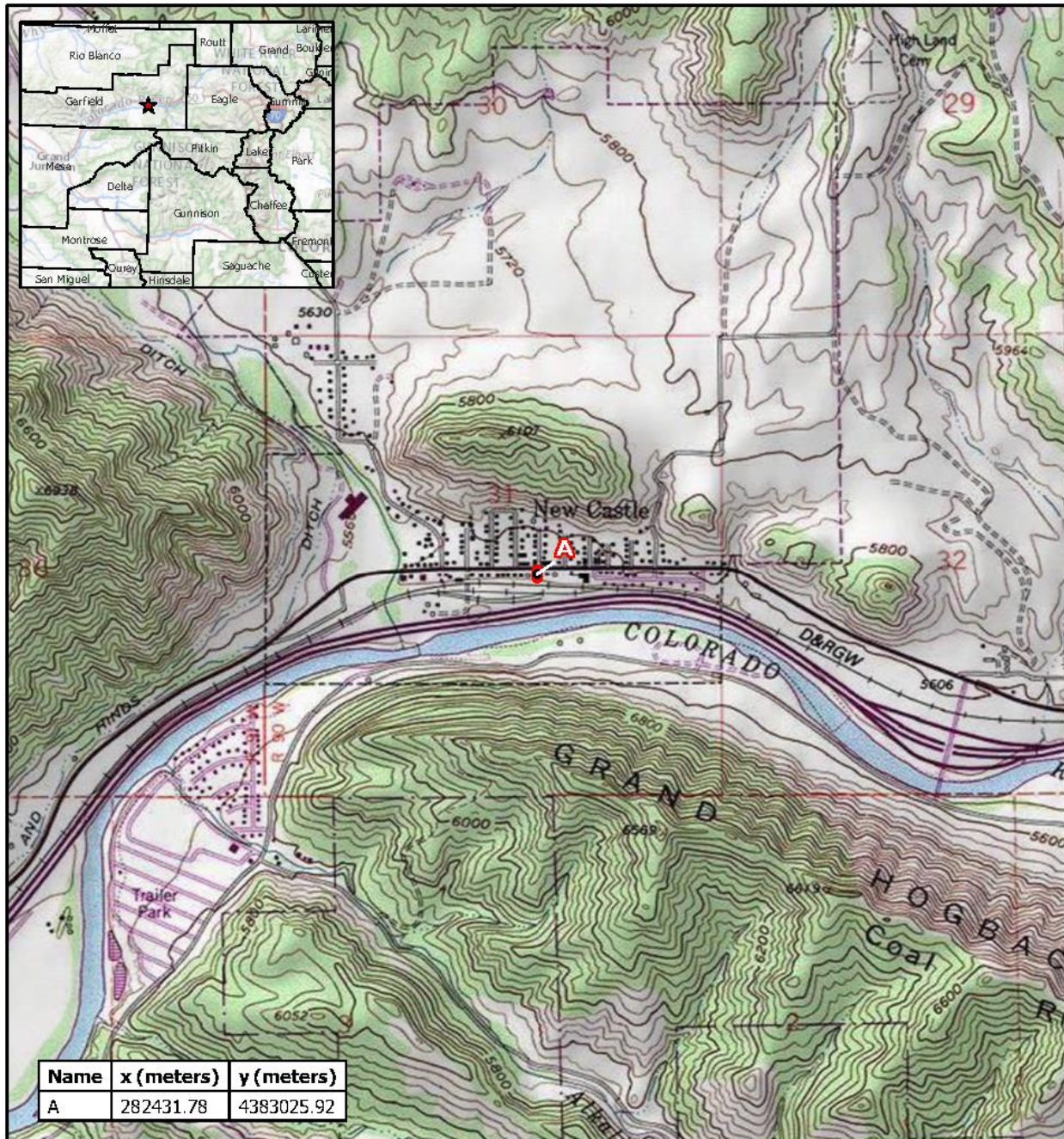
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 219 West Main Street (5GF.2372) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Drawn By: CJB</td> <td style="width: 50%;">Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282431.78	4383025.92

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map
219 West Main Street (5GF.2372)
New Castle, Colorado
Garfield County

Drawn By: CJB	Figure: I
Reviewed By: CMW	Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.2372_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: Southwest



Reference Photo 1
Description: Looking at the west and primary (north) elevations of the building.
Date: 1996
Source: 1996 OAHP Historic Building Inventory Record (5GF.2372)



Reference Photo 2

Description: Looking at the primary (north) elevation of the building.

Date: Circa 2009

Source: Garfield County Assessor's Office

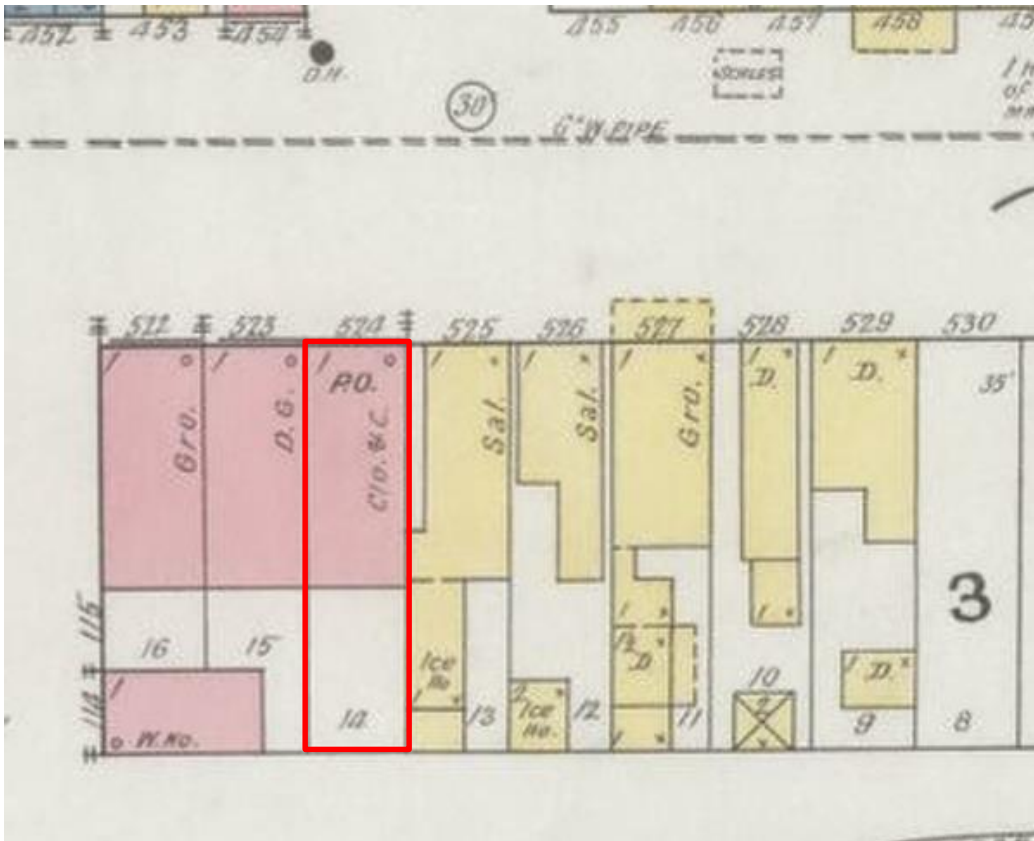


Reference Photo 3

Description: Looking at the primary (north) elevation of the building in the late Twentieth Century.

Date: Unknown

Source: New Castle Museum Collection

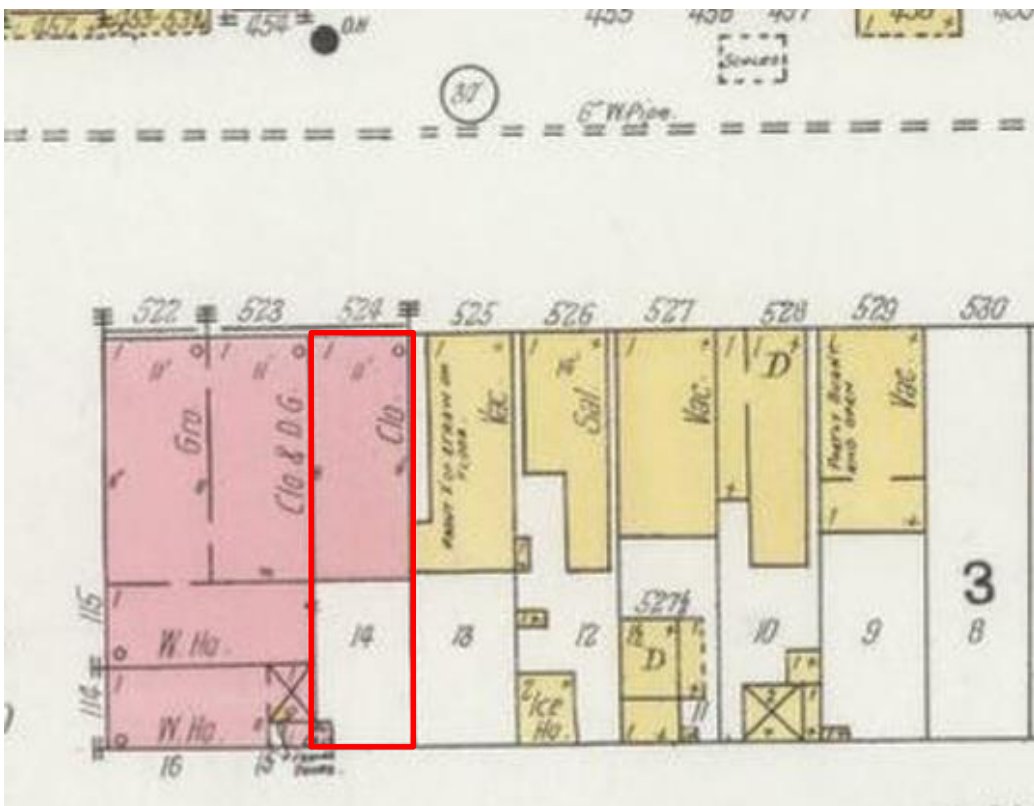


Reference Photo 4

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 14 of block 3. The property is outlined in red.

Date: 1893

Source: Library of Congress

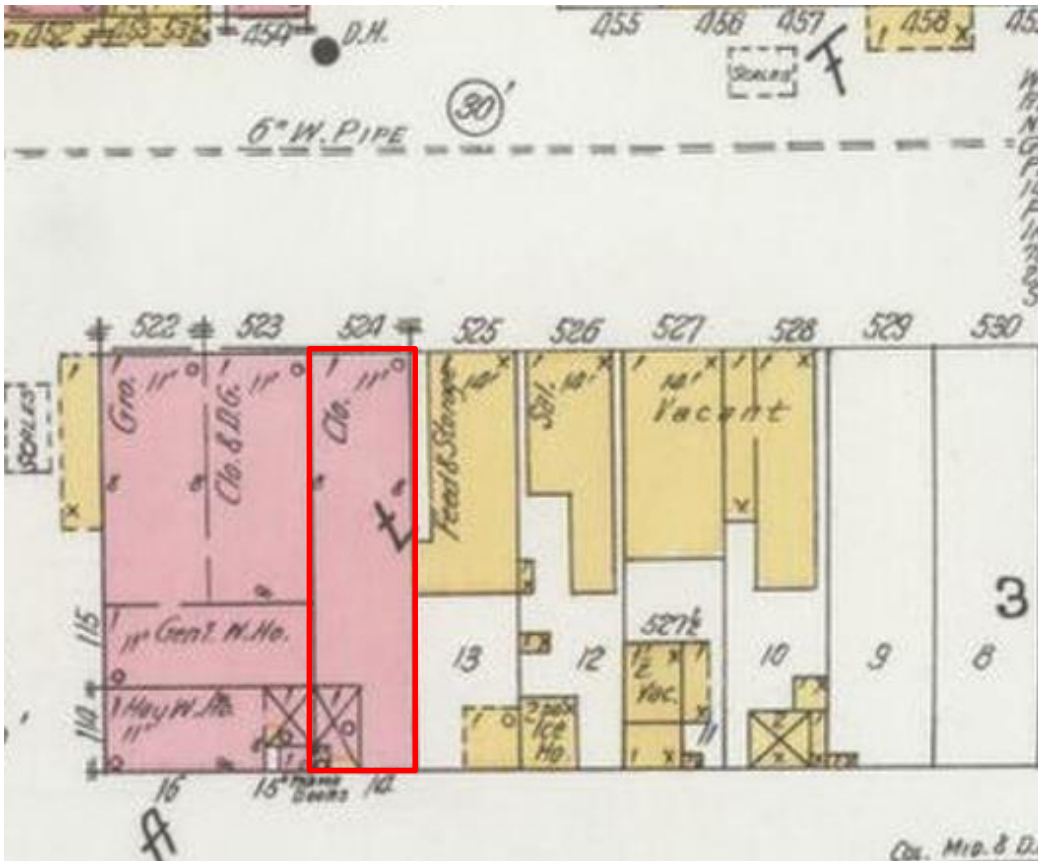


Reference Photo 5

Description: 1899 Sanborn Fire Insurance map of the resource located on lot 14 of block 3. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 6

Description: 1904 Sanborn Fire Insurance map of the resource located on lot 14 of block 3. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Dale Shrull Property Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 221 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331405003
- **9. Parcel Information: Lot(s): 9 Block: P Addition: Spencer's 2nd
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NW ¼ of NE ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282695 ;mN 4383019 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style (somewhat evocative of Rustic style)	Stacked stone	Horizontal weatherboard; wood shingle siding; board and batten
Windows	Roof	Chimney	Porch
Picture window with wood frame	Shed roof with false front; overhang eaves; exposed rafter tails under the eaves	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

It is unclear in the historic record when the one-story, rectangular shaped building was constructed; however, the building demonstrates a considerable degree of degradation at the time of survey. Additionally, the approximately 16' by 12' building does not represent a particular architectural style, although the building does incorporate some Rustic style elements. Several architectural elements of the building include a stacked stone foundation; an exterior envelope consisting of horizontal weatherboard, wood shingle, and board and batten siding; a shed roof with false front; asphalt shingles; overhanging eaves; and exposed rafter tails under the eaves. The typical window consists of a picture window with a wood frame. The main entryway is located in the center of the primary (north) elevation. The main entryway incorporates a metal storm door with two picture window units.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Vacant

17. Date of Construction: Not Identified

Estimated Actual (include source): N/A

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"221 East Main Street." Garfield County Assessor's Office. Parcel Number 212331405003. Accessed December 28, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1142671324&Key=R380193>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 28, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

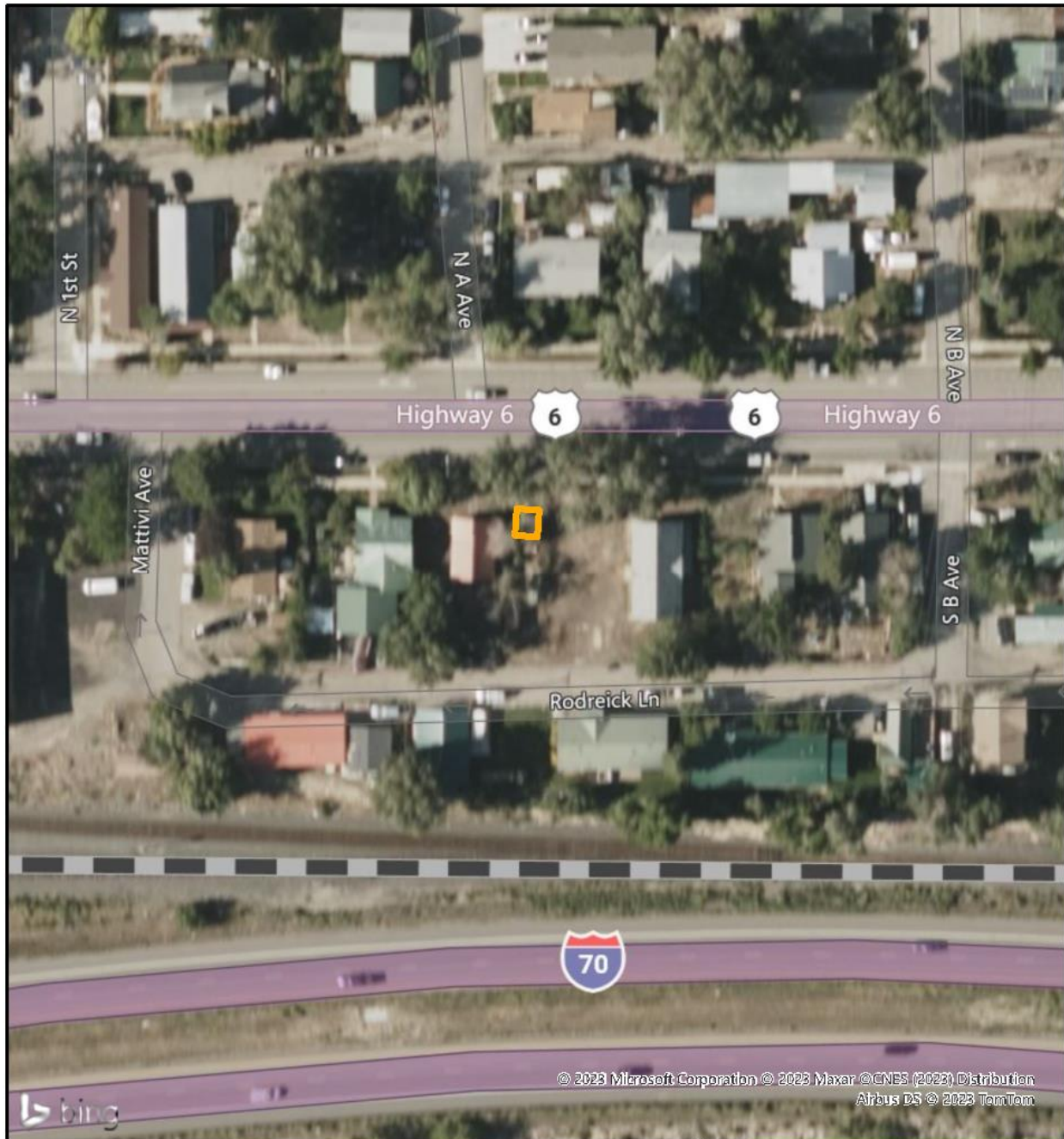
"Historical Aerial Imagery." *NETROnline*. Accessed December 28, 2022. <https://www.historicaerials.com>



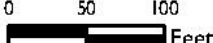

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

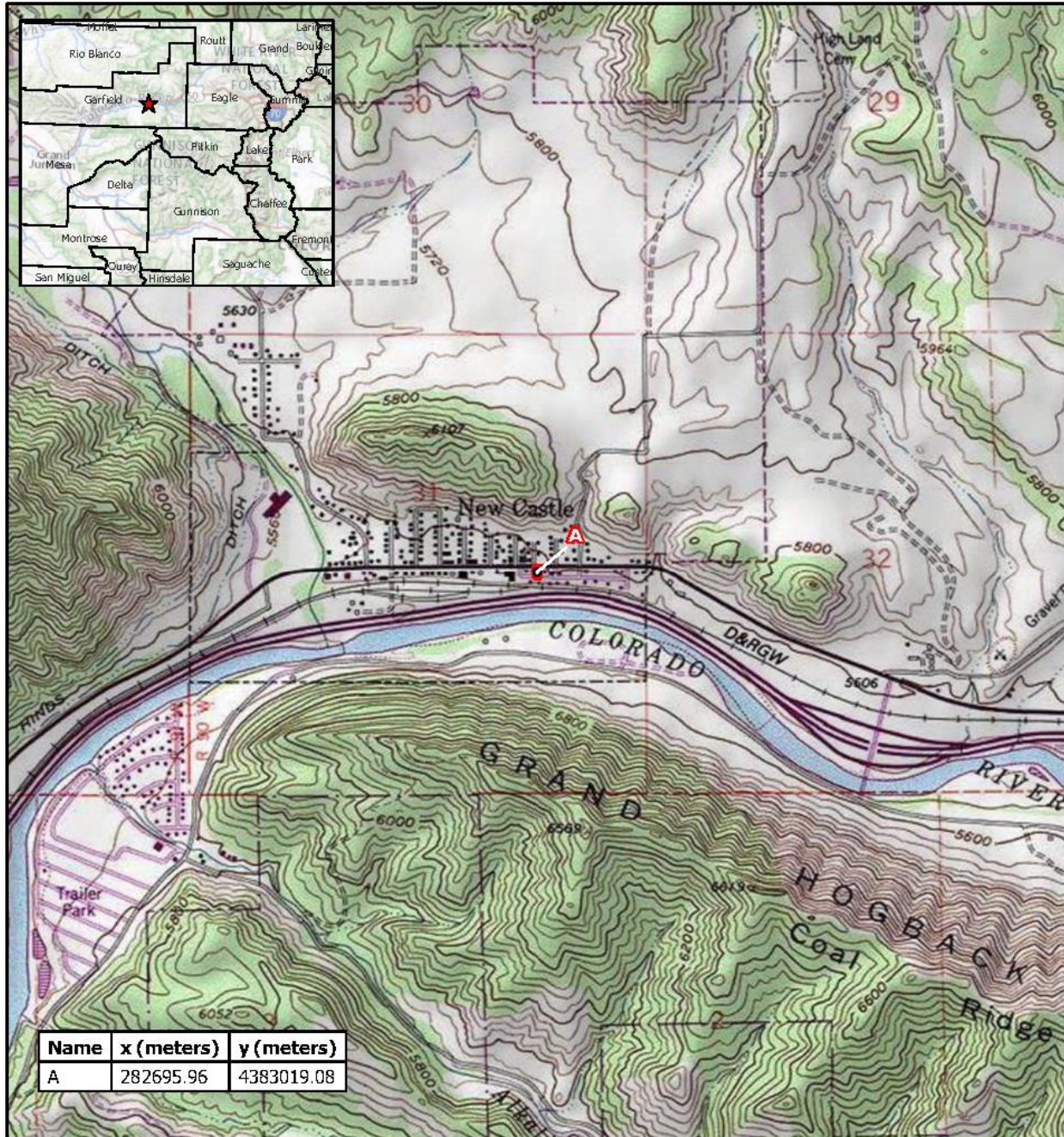
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 221 East Main Street (5GF.5927) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282695.96	4383019.08

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

221 East Main Street (5GF.5927)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5927_1
Description: Looking at the primary (north) and west elevations of the building. Note the wood shingle and horizontal weatherboard siding.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5927_2
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.5927_3

Description: Looking at the east and primary (north) elevations of the building. Note the shed roof with false front.

Date: 9/6/2022

View: Southwest

Historic records indicate that the building was altered by the late Twentieth Century. Sanborn Fire Insurance maps between 1883 and 1899 reveal that an addition was construction along the south elevation. During the building's use as a guide and taxidermy business in the mid to late Twentieth Century, a mural depicting an alpine vista was painted under the cornice of the primary (north) elevation. Log and stone masonry features were also incorporated into the façade by this time and the windows were replaced. By 1996, historic imagery demonstrates that the building transitioned into a NAPA Auto Parts store with wall mounted signage on the façade of the primary (north) elevation. By 2012, historic street imagery demonstrates that the building was converted into a restaurant and that the alpine vista mural had been removed.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial

17. Date of Construction: 1888

Estimated Actual (include source): 1996 OAHF Historic

Building Inventory Record (5GF.2374)

18. Other Significant Dates, if any: Between 1996 and 2008, the property address was changed from 299 West Main Street to 275 West Main Street.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following portion of historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"Henry R. Kamm, who had earlier started a grocery store in Glenwood Springs, opened this store in New Castle about 1888. John W. Ritter was manager of the store. Ritter left Kamm's in 1892 to form a partnership with John A. MacRae and operate a clothing store next door. In about 1896, H. R. Kamm left Colorado for California and sold the New Castle store to his brother Frederick, who continued to operate it until the late 1910s. At that time, Ritter & MacRae acquired the building and expanded their clothing and dry goods store into this building. The Ritter and MacRae store operated until about 1967, when the building was sold by John C. Ritter to Monk and Betty Dawson for use in their guide and taxidermy business.

The 1893 Sanborn map shows a masonry store building, with a grocery in the western part and dry goods on the east. Associated with the building was a detached warehouse to the rear of the lot. The 1899 map indicates that the western part of the building still housed a grocery store. A second warehouse had been added behind the store building, connecting it to the other warehouse. The 1904 map indicates the same uses of the building. A covered overhang and scales had been added to the west of the building."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2374) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

The resource is designated a local landmark by the Town of New Castle.

23. Sources:

"275 West Main Street." Garfield County Assessor's Office. Parcel Number 212331408011. Accessed February 17, 2023.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1227677633&Key=Value=R380696>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022.

https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 17, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 17, 2023. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "NAPA Auto Parts – H.R. Kamm Store (5GF.2374)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.



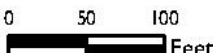

SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2374_1 and 2 reference photos</u>

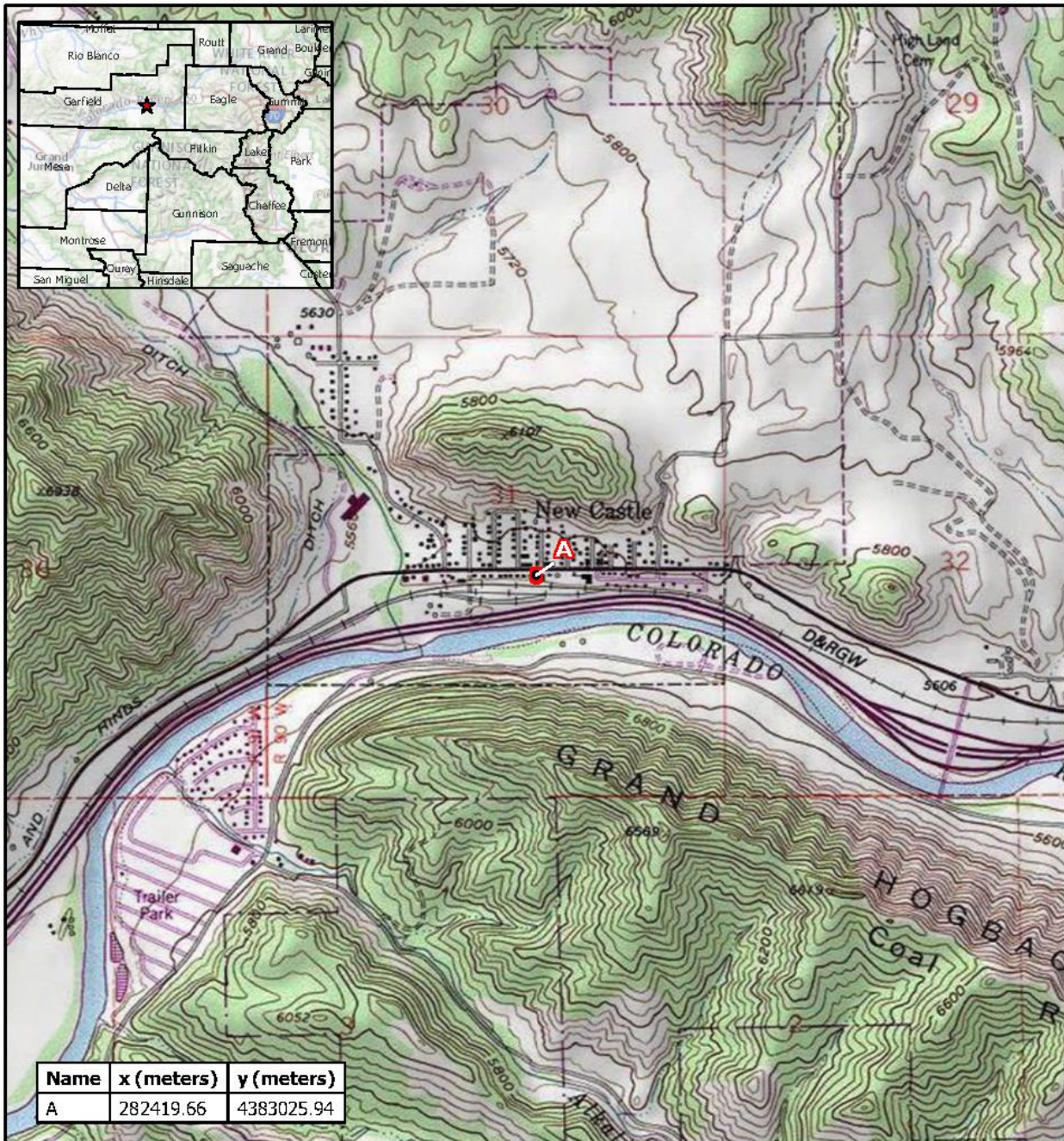
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 275 West Main Street (5GF.2374) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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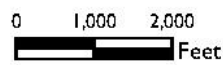
Topographic Map



Name	x (meters)	y (meters)
A	282419.66	4383025.94

Legend

 Resource Boundary



Topographic Map
 275 West Main Street (5GF.2374)
 New Castle, Colorado
 Garfield County

Drawn By: CJB	Figure: I
Reviewed By: CMW	Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.2374_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.2374_2
Description: Looking at the primary (north) and west elevations of the building.
Date: 9/6/2022
View: Southeast



Reference Photo 1

Description: Looking at the primary (north) and west elevations of the building.

Date: Unknown

Source: New Castle Museum Collection

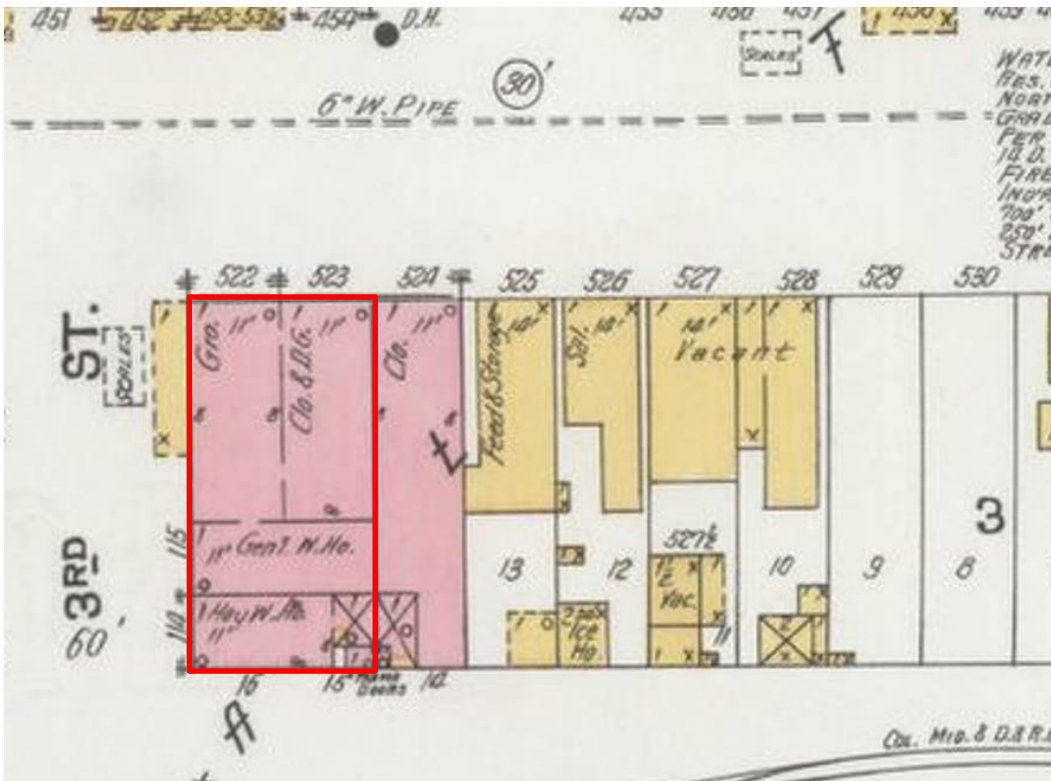


Reference Photo 2

Description: Looking at the primary (north) and west elevations of the building. Note that the building has transitioned from a guide and taxidermy business to a NAPA Auto Parts store.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2374)



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Emily & Nathaniel Hodge Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 281 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331405001

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **9. Parcel Information: Lot(s): 1-4 Block: P Addition: Spencer's 2nd
- **10. Acreage: 0.24 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NW ¼ of NE ¼ of SE ¼ of section: 31

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282746 ;mN 4383017 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Concrete (faux stone masonry)	Horizontal weatherboard
Windows	Roof	Chimney	Porch
One-by-one sliding sash with vinyl frame; three-lite sliding sash with metal frame; picture window with wood frame; one-over-one double hung sash with wood frame	Front gable roof; asphalt shingles; lower shed roof transitions; closed overhanging eaves; attic vent under the gable peak	Stone masonry chimney	Partial length elevated deck located along the west elevation; full length elevated deck along the south elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, irregular shaped building was constructed in 1938 as shown through review of Garfield County Assessor's Office records. The approximately 50' by 40' residence does not represent a particular architectural style. Overall, the building is a No Style residence. Architectural features of the building include a concrete foundation with faux stone masonry; an exterior envelope clad with horizontal weatherboard; a front gable roof design; asphalt shingles; lower shed roof transitions along both west and east elevations; an attic vent underneath the gable peak; closed overhanging eaves; a stone masonry chimney; a partial length elevated deck along the west elevation; and a full-length elevated deck along the south elevation. The main entryway is located near the center of the primary (north) elevation and under the front gable end. The main entryway incorporates a metal panel door with a sunburst window. Additionally, there are entryways located along the east, west, and south elevations. The typical window consists of a one-by-one

sliding sash unit with a vinyl frame. Other windows found throughout the residence include three-lite sliding sash units with metal framing; picture windows with wood framing; and one-over-one double hung sash with wood framing. Historical aerial imagery demonstrates that an addition was constructed along the left side of the south elevation between 1960 and 1982.

14. Associated buildings, features, or objects:

A detached garage is located to the east of the residence. It is unclear in the historic record when the building was constructed; however, historical aerial imagery demonstrates it was present by 1960. The building is approximately 50' by 25' and features a concrete foundation; a front gable roof clad in asphalt shingles; overhanging eaves; concrete masonry unit (CMU) exterior envelope; and two garage doors along the primary (north) elevation. The typical window consists of a one-by-one sliding sash. Three of these typical windows can be noticed along the east elevation. Four-lite picture windows can also be seen along the south elevation. An entryway is located on the west elevation.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1938
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: NA

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "281 East Main Street." Garfield County Assessor's Office. Parcel Number 212331405001. Accessed December 28, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1467385676&KeyValue=R380079>.
- "Document Search." Garfield County Clerk and Recorder Office. Accessed December 28, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed December 28, 2022. <https://www.historicaerials.com>
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

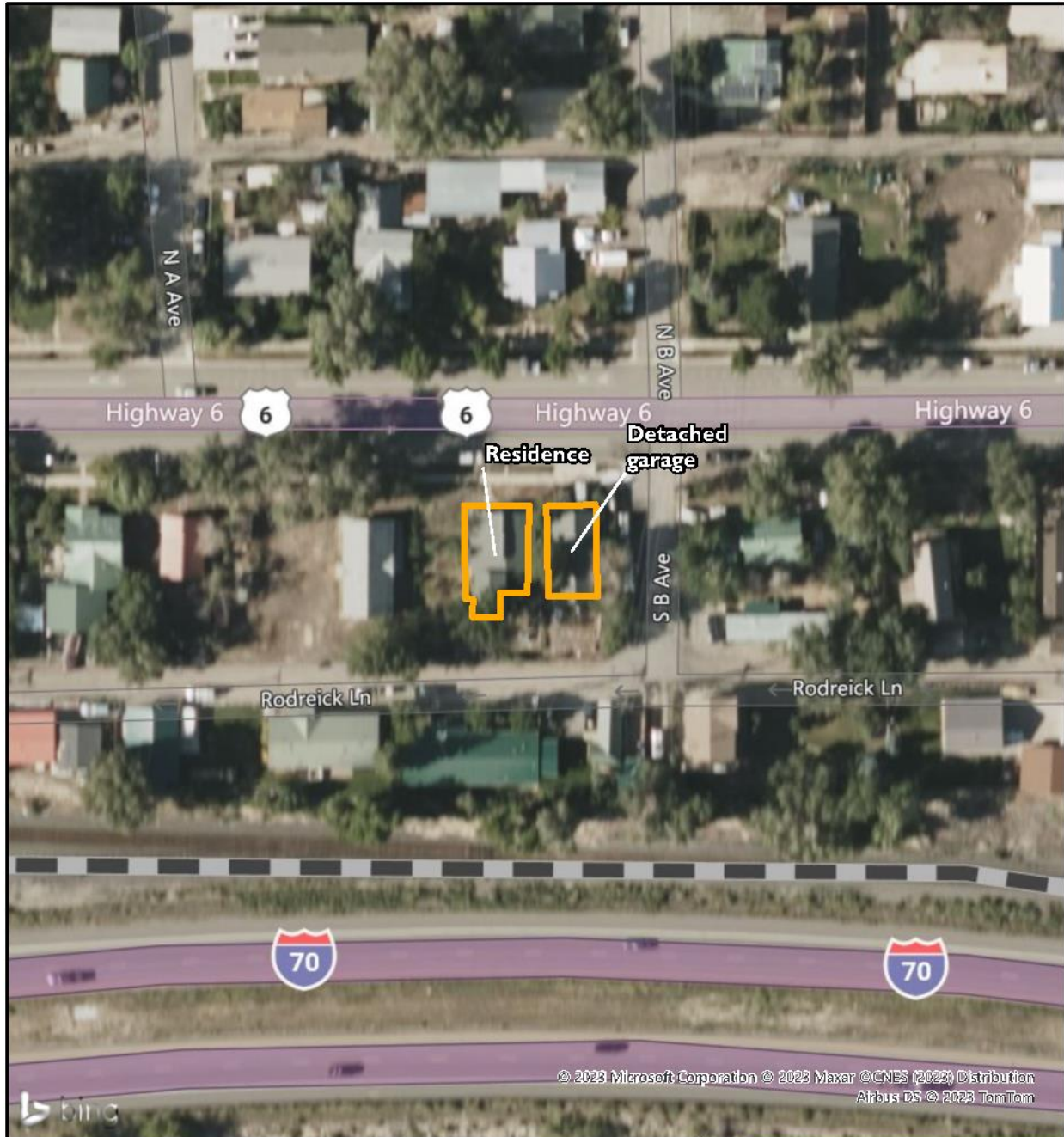
SKETCH PLAN *include approximate scale*





FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5928_1 to 5GF.5928_3</u>

See Attachment																			
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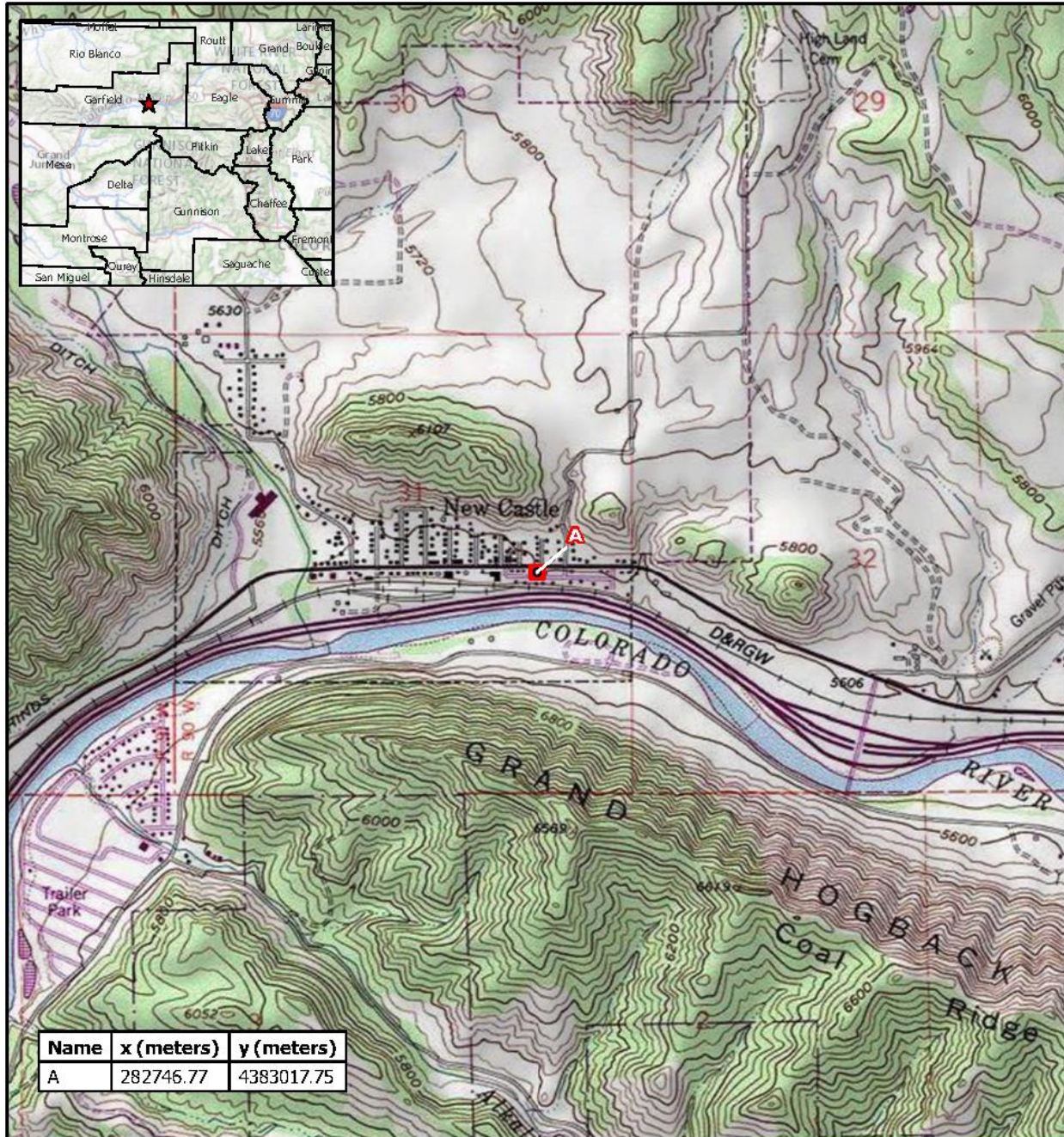
Sketch Map



<p>Legend</p> <p> Footprint</p>	 <p>Sketch Map 281 East Main Street (5GF.5928) New Castle, Colorado Garfield County</p>
<p>Pinyon Project Number: I 22156.001</p>	<p>Drawn By: CJB Figure: 2 Reviewed By: CMW Date: 4/10/2023</p>


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Topographic Map



Name	x (meters)	y (meters)
A	282746.77	4383017.75

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

281 East Main Street (5GF.5928)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5928_1
Description: Looking at the primary (north) elevation of the residence.
Date: 9/6/2022
View: South



Photo Number: 5GF.5928_2
Description: Looking at the primary (north) and west elevations of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5928_3
Description: Looking at the west and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Donald Reed & Michelle Olmstead Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 286 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331108014
- **9. Parcel Information: Lot(s): 6-7 Block: C Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282470 ;mN 4383080 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Stacked stone	Vinyl siding
Windows	Roof	Chimney	Porch
One-over-over single hung sash; mixture of wood and vinyl frames	Front gable roof; asphalt shingles/metal roof; small overhanging eaves; attic vents	Stucco chimney	Enclosed partial length porch along the north elevation; front gable overhang with triangular support brackets along primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, irregular shaped building was constructed in 1892 as shown through review of Garfield County Assessor's Office records. The approximately 40' by 34' building is not representative of a particular style of architecture. Overall, the building is a No Style residence. Several architectural elements of the building include a stacked stone foundation; an exterior envelope clad with vinyl siding; a front gable roof design; asphalt shingle and metal roof; small overhanging eaves; attic vents; a stucco chimney; and an enclosed partial length porch along the north elevation. The main entryway is located on the right side of the primary (south) elevation of the building. The main entryway incorporates a wood panel door that is fronted by a metal storm door with a one-over-one single hung sash window. The main entryway is capped by a front gable overhang that is supported by triangular brackets. A wide, double wood door can be noticed on the far-left side of the primary (south) elevation as well. The typical window consists of a one-over-one single hung sash unit with either a vinyl or wood frame. The front gables located on the right and left sides of the primary (south) elevation are joined by a flat roof addition located in the center of the facade. The front gable located on the right side of the building

demonstrates a small false front near the eaves. The typical window consists of a one-over-one single hung sash unit with either a vinyl or wood frame.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other: Backyard located to the rear (north elevation) of the house

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1892
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

After review of 1893, 1899, and 1904 Sanborn Fire Insurance maps, the east half of the building consists of the historic dwelling while the west half consists of a former harness building that was associated with Strouse's Livery. The livery building was adjacent to the harness building and is no longer extant. The harness building and dwelling were combined at some point.

23. Sources:

"286 West Main Street." Garfield County Assessor's Office. Parcel Number 212331108014. Accessed January 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=2035681022&KeyVal=2035681022>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 29, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 29, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed January 3, 2023. https://www.loc.gov/item/sanborn01052_003/.

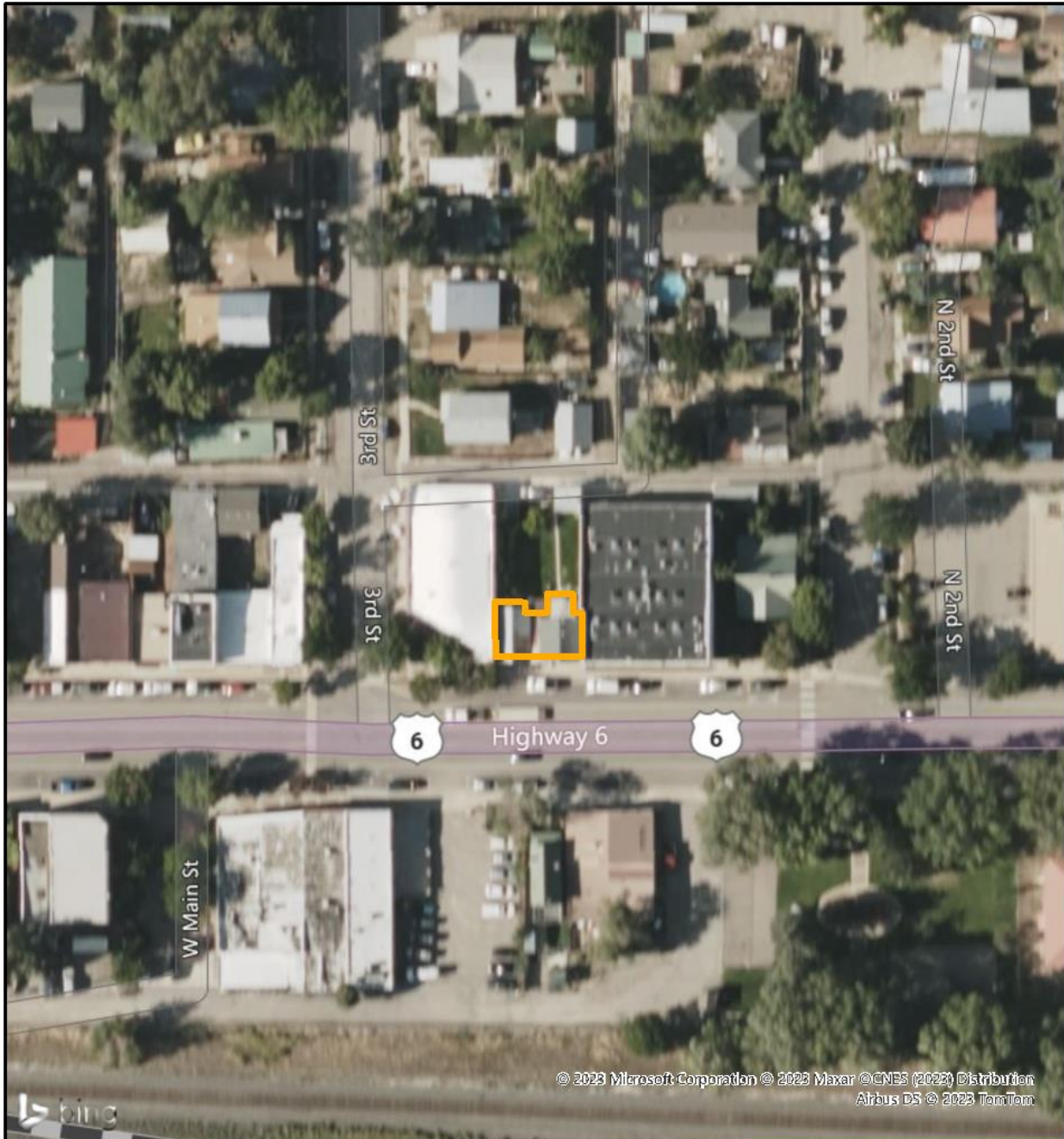
SKETCH PLAN *include approximate scale*





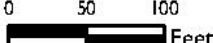
FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5915_1</u>

See Attachment																			
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Sketch Map

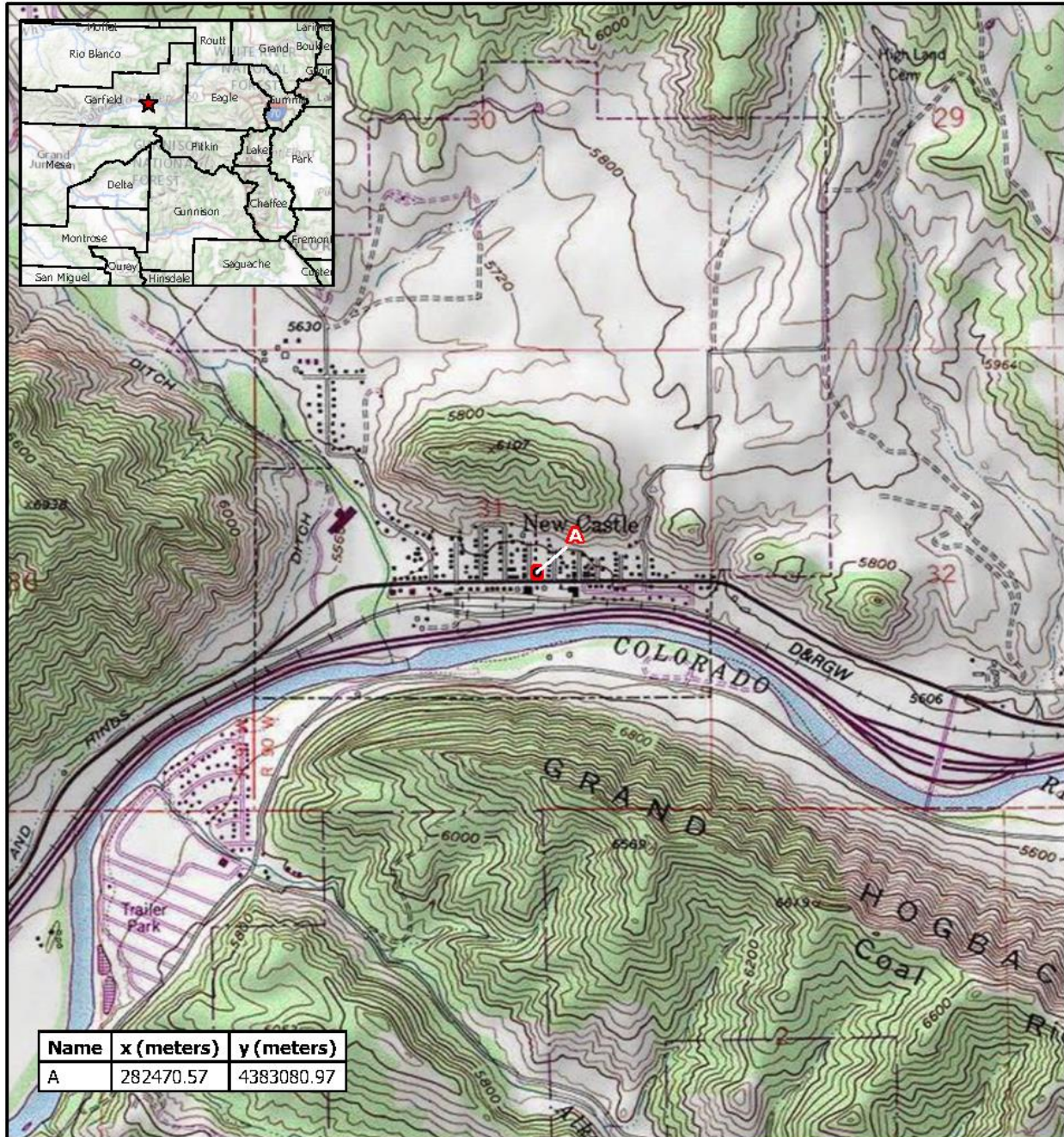


© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 286 West Main Street (5GF.5915) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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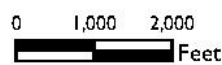
Topographic Map



Name	x (meters)	y (meters)
A	282470.57	4383080.97

Legend

 Resource Boundary



Topographic Map

286 West Main Street (5GF.5915)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in: new_Park_C:\user\doowad\Desktop\CUI\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5915_1

Description: Looking at the primary (south) elevation of the building. Note the former harness building on the left that was joined with the dwelling on the right.

Date: 9/6/2022

View: North

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Shannon Poland & Carmel Walden Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 296 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331105011
- **9. Parcel Information: Lot(s): 1-4 Block: F Addition: Spencer's Addition
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SW ¼ of SE ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282745 ;mN 4383074 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style (some Queen Anne features)	Stacked stone	Vinyl
Windows	Roof	Chimney	Porch
Six-over-six double hung sash; four-over-four double hung sash; decorative shutters	Front gable roof design; boxed overhanging eaves; metal roof; front gable porch overhang	Brick masonry chimney	Partial length porch with front gable overhang along primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1893 as shown through review of Garfield County Assessor's Office records. The approximately 48' by 36' primary residence does not represent a particular architectural style, although it does incorporate some elements of Queen Anne style elements. Several architectural elements of the residence consist of a stacked stone foundation; front gable roof design; metal roof; boxed overhanging eaves; an exterior envelope clad with vinyl siding; a brick masonry chimney; decorative window shutters; two bay windows; a partial length porch with front gable overhanging along the primary (south) elevation; and a shed roof addition to the north elevation. The main entryway is located in the center of the primary (south) elevation with a partial length porch along the facade as well. The entryway consists of a wood door with 12-lites divided by muntins. The main door is fronted by a metal storm door with two picture windows. The entryway is capped by a front gable overhang that protects the porch. Decorative fishscale shingles can be noticed in the gable end. The overhang is also supported by architectural support sports. Decorative wood spindlework and brackets like the ceiling of the porch overhang. Architectural porch railings are also present. Two bay windows were added at some point and are located on both left and right corners of the primary (south) elevation. The center window unit of each bay

window incorporates a typical window consisting of a six-over-six double hung sash unit. The center window of the bay unit is flanked on both sides by a four-over-four double hung sash unit. A shed roof addition was constructed along the north elevation of the building at some point. Additionally, the metal roof likely replaced a prior asphalt shingle roof.

14. Associated buildings, features, or objects:

A garage is located to the northeast of the residence. It is unclear in the historic record when the garage was constructed; however, it is extant on historical aerial imagery by 1960. The garage is approximately 20' by 30' and features a front gable roof clad in metal; closed overhanging eaves; a horizontal weatherboard exterior envelope; and a garage door along the primary (east) elevation. The typical window consists of a six-by-six sliding sash. A shed roof overhang is also located along the south elevation of the building.

A secondary residence is located to the northwest of the primary residence. The approximately 30' by 66' building was constructed in 1940 as shown through review of Garfield County Assessor's Office records. The secondary residence features a poured concrete fountain; shed roof clad in metal; boxed overhanging eaves; and horizontal weatherboard siding. The typical window unit consists of a vinyl one-over-one single hung sash. The main entryway is located in the center of the primary (east) elevation.

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1893
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: NA

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"296 East Main Street." Garfield County Assessor's Office. Parcel Number 212331105011. Accessed December 27, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=699704662&KeyValue=R380169>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 27, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 27, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

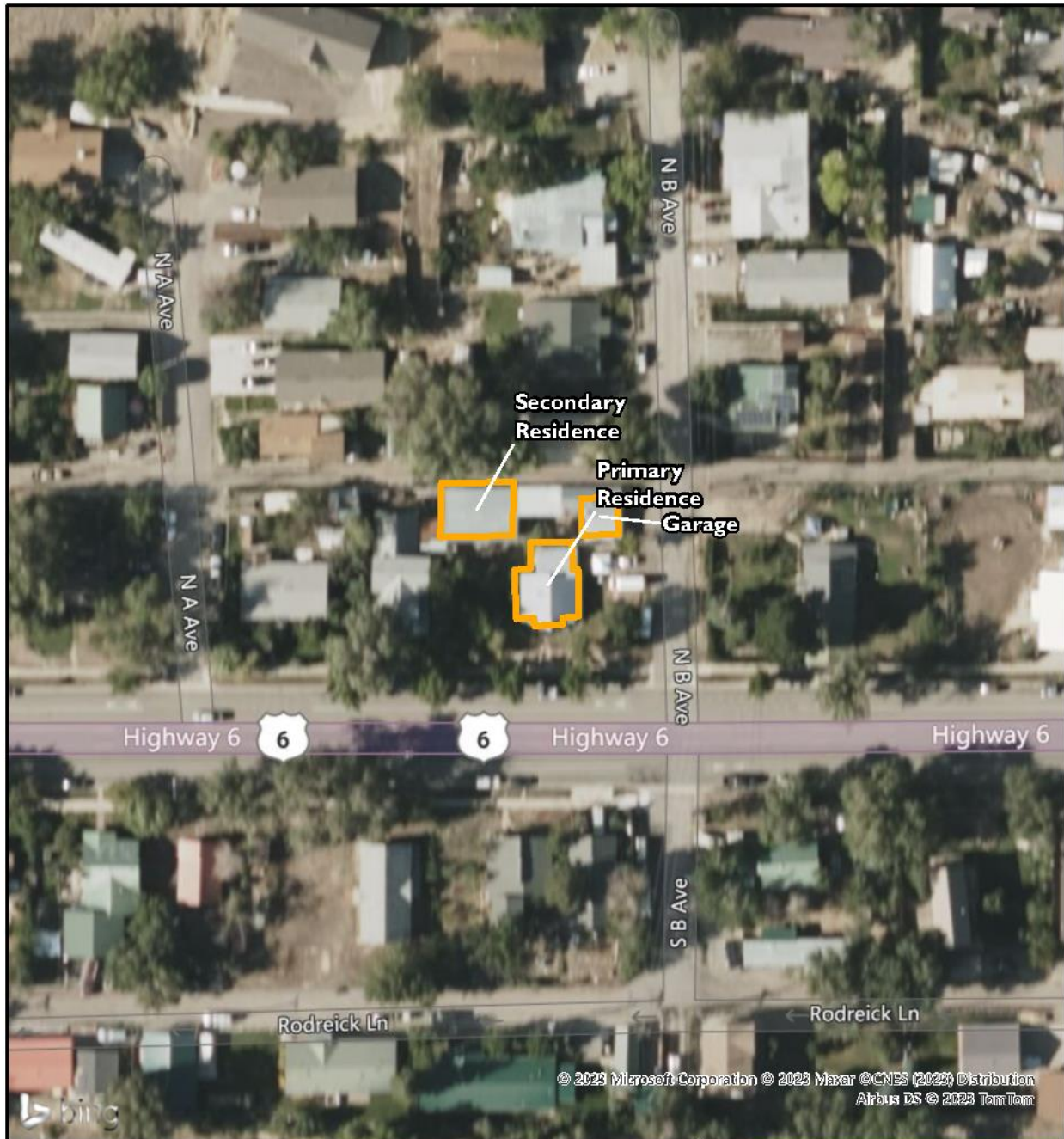
SKETCH PLAN *include approximate scale*



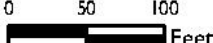



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5929_1 to 5GF.5929_5</u>

See Attachment																			
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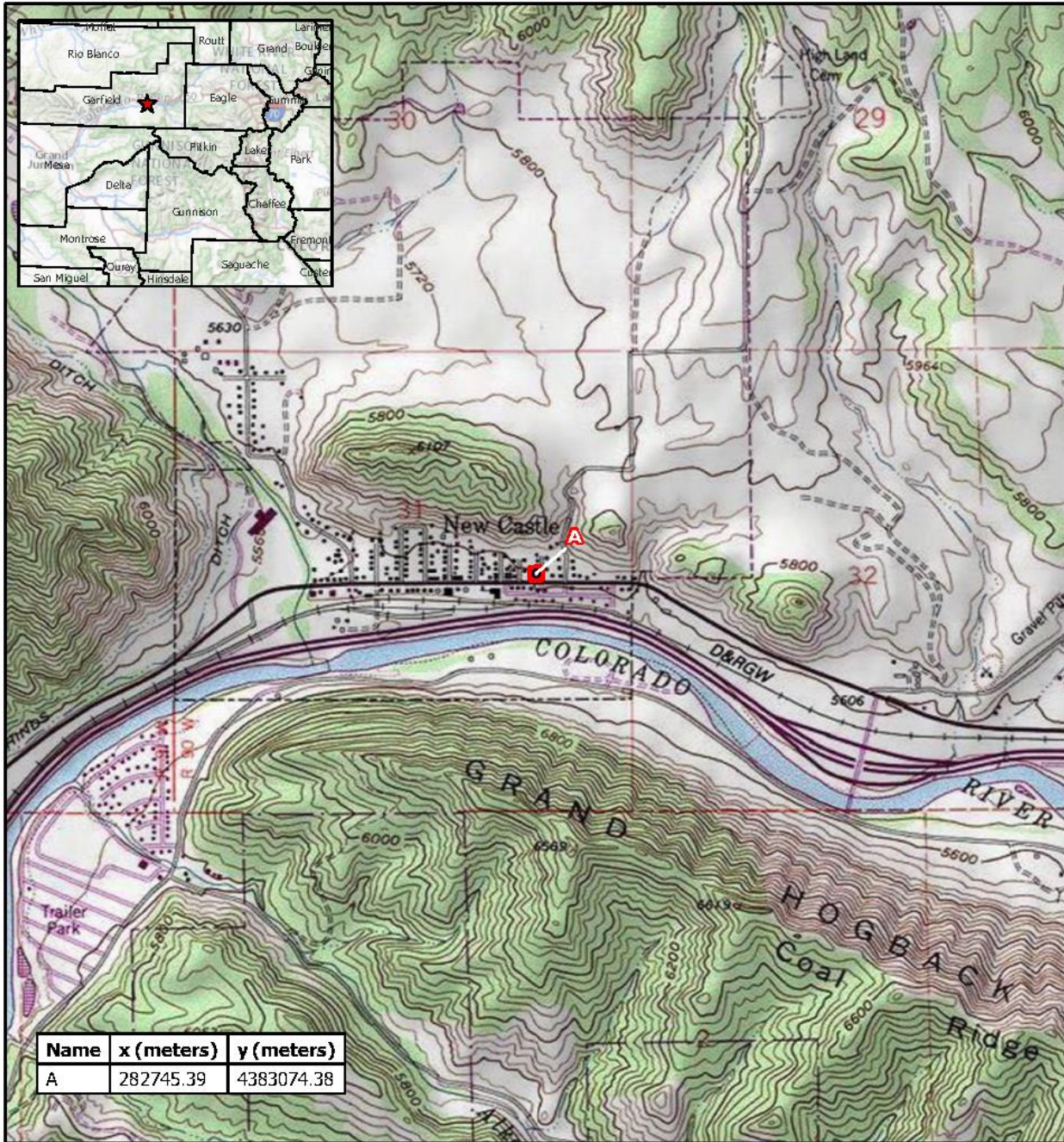
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 296 East Main Street (5GF.5929) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282745.39	4383074.38

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

296 East Main Street (5GF.5929)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5929_1
Description: Looking at the primary (south) elevation of the primary building. Note the decorative wood spindlework and brackets under the gable ceiling of the porch overhang.
Date: 9/6/2022
View: North



Photo Number: 5GF.5929_2
Description: Looking at the west and primary (south) elevations of the primary residence.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5929_3
Description: Looking at the west elevation of the primary building. A majority of the elevation is obscured by vegetation.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5929_4
Description: Looking at the east elevation of the primary building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5929_5

Description: Looking at the east elevation of the primary building. Note the shed roof addition to the north elevation (right side of photo).

Date: 9/6/2022

View: West

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: Mattivi Motor Co./Phillips 66 Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 298 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331108013
- **9. Parcel Information: Lot(s): 8-9 Block: C Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282454 ;mN 4383083 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Rusticated Commercial	Poured concrete	Rusticated concrete block; novelty siding; belt course
Windows	Roof	Chimney	Porch
Picture windows; three lite fixed windows divided by wood muntins; wood frames; concrete lintels and sills	Flat roof with rolled asphalt; plain coping	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, irregular plan building was constructed in 1937 as shown through review of Garfield County Assessor's Office records. The approximately 100' by 50' service station is representative of a rusticated form of Commercial style of architecture. Architectural elements of the building include a poured concrete foundation; flat roof with rolled asphalt; plain coping; plain piers; a rusticated concrete block exterior envelope; several overhead garage doors; and an angled wall main entryway. Rectangular frieze panels can also be noticed along the primary (south) elevation of the building that were formerly used for advertising and signage of the business. A decorative concrete belt course is also located in the middle of the façade of the primary (south) elevation. Novelty siding covers a former garage door opening along the primary (south) elevation. A majority of the windows feature a concrete lintel and sill. Several windows are also recessed into the exterior wall. The typical window consists of a rectangular picture window with a wood frame. There are three entryways spaced along the primary (south) elevation. The door on the far-left side of the elevation consists of a historic wood panel door while a replacement exterior door with a single lite is located in the center of the elevation. On the far-right side of the

levitation is a large wood door with a fixed-pane window. An overhead garage door can be noticed in the center of the west elevation and is flanked by two square and two rectangular picture windows.

Historic photos demonstrate that the building's historic "Mattivi Bros. Motor Co." signage was removed by the mid to late Twentieth Century and replaced with new signage stating, "Pete Mattivi Motor Co." By 1996, this signage was also removed. At some point, the historic fuel pumps were removed and replaced. Historical aerial imagery between 1996 and 2005 demonstrates that the fuel island and replacement pumps were removed along the primary (south) elevation of the building and replaced with several trees and curb features.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Automotive Dealership and Service Station Current Function/Use (if different): Vacant/Interior remodel

17. Date of Construction: 1937 Estimated Actual (include source): Garfield County Assessor Office

18. Other Significant Dates, if any: The building operated as a service station and automotive dealership until the late Twentieth Century. Historic street imagery in 2008 demonstrates that the building operated as a real estate office.

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input checked="" type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | Association with |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | Pete Mattivi |

20. Associated Historic Context(s), if known: The following history is a portion of the historic context quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"The building was erected in 1937 by Pete and Matt Mattivi on the site of an early livery stable, labeled in 1899 as Hines & Griffins livery and in 1904 as Strouse's livery. Pete Mattivi, a prominent citizen of New Castle who served as mayor, county commissioner, and school board member, was born in Crystal in 1905 and lived in Marble, Salida, and Glenwood Springs. He moved to New Castle in 1929 to help his brother Matt, in a two-stall service station... In 1937, the brothers established this service station and also sold Studebakers for 19 years. Pete and Opal Mattivi own this building today, although Pete Mattivi retired from its operation in 1982."

A historic walking tour guide by Town of New Castle also states, "Masonry blocks for the building came from dismantled buildings in Cardiff [CO]."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2373) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed as Field – Eligible.

The Town of New Castle designated the resource as a local landmark in 2007.

23. Sources:

- "298 West Main Street." Garfield County Assessor's Office. Parcel Number 212331108013. Accessed February 16, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1737029297&Key=Value=R380286>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 16, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed December 30, 2022. <https://www.historicaerials.com>
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- Front Range Associates, Inc. "Three Rivers Repair/Phillips 66 (5GF.2373)." Historic Building Inventory Record – Colorado Historical Society, June 1996.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

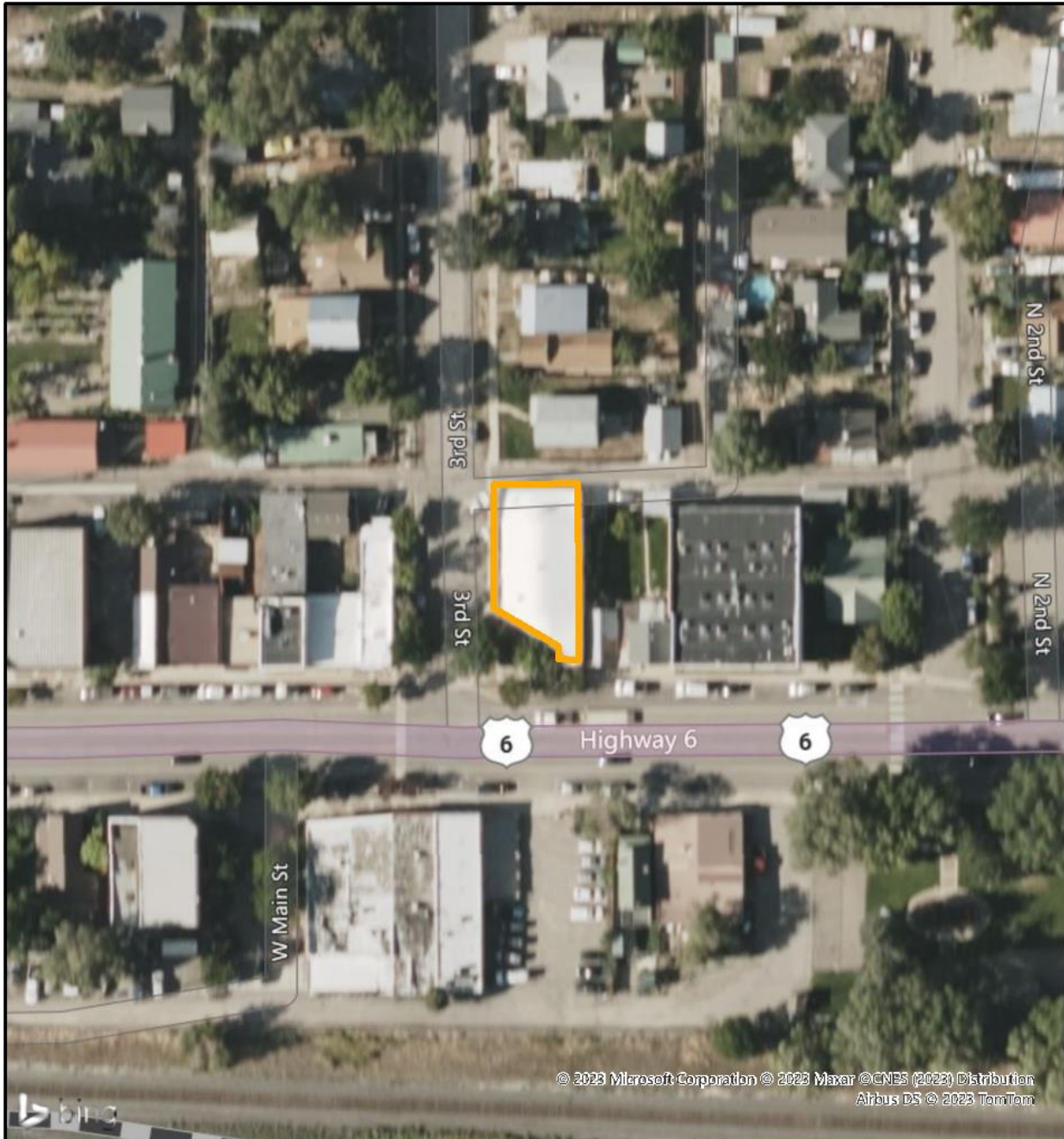
SKETCH PLAN *include approximate scale*





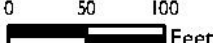

FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2373_1 to 5GF.2373_5, 2 historic photos, and 2 reference photos</u>

See Attachment																			
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Sketch Map

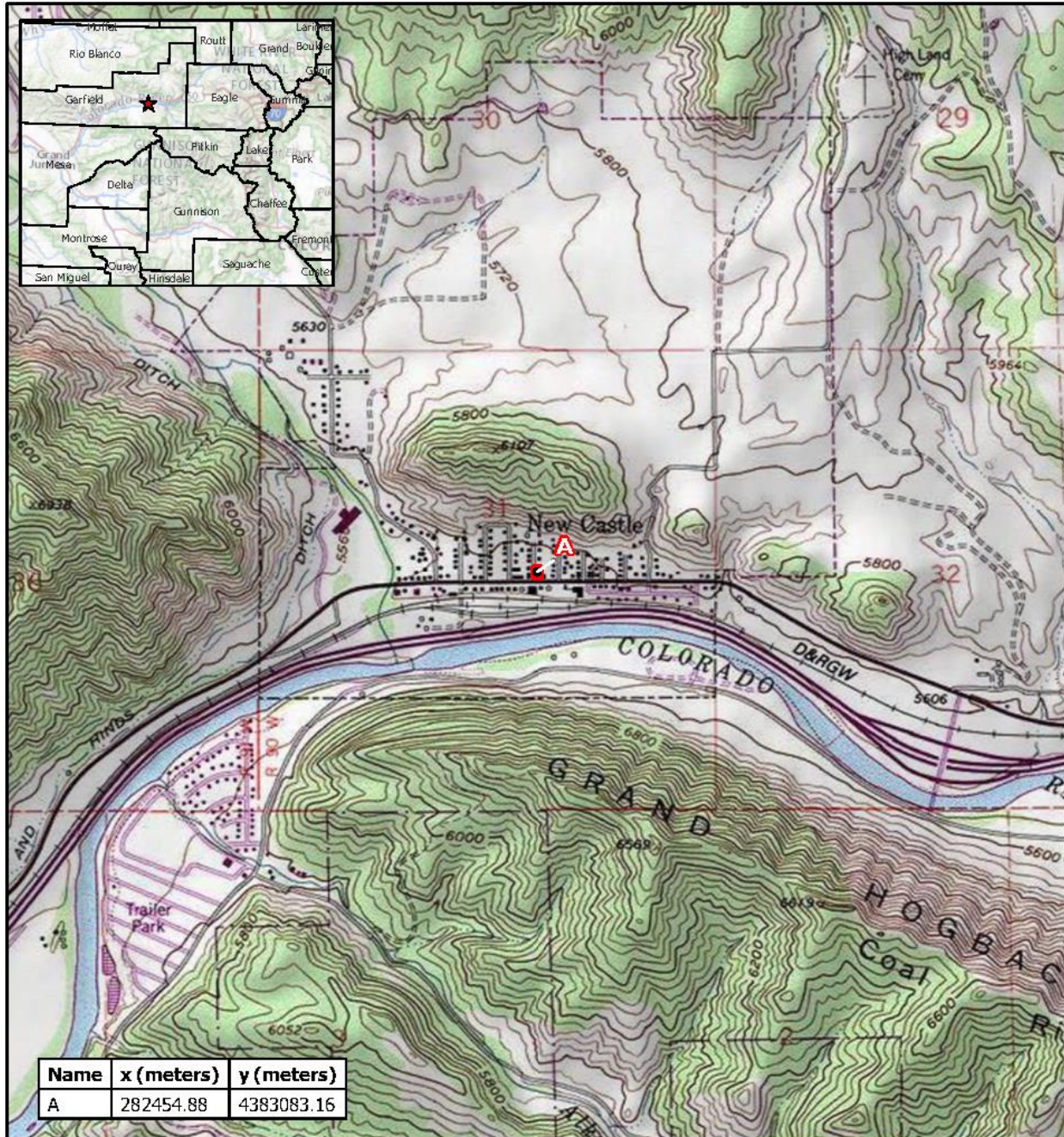


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 Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 298 West Main Street (5GF.2373) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282454.88	4383083.16

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

298 West Main Street (5GF.2373)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs

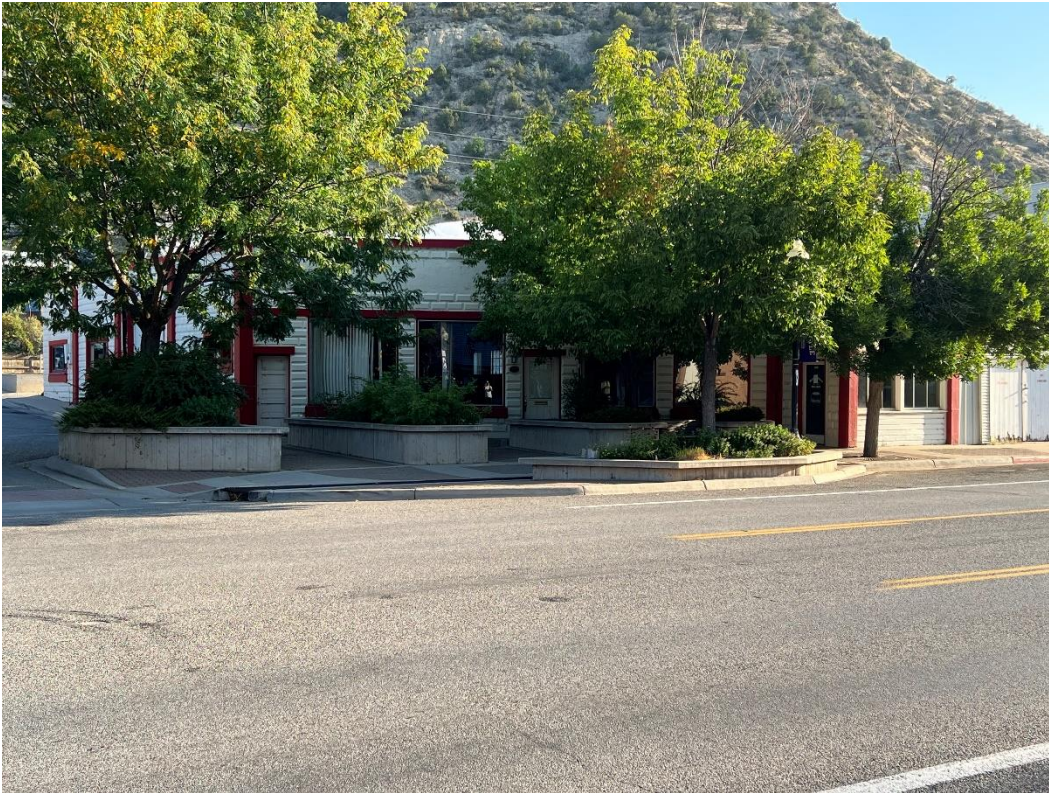


Photo Number: 5GF.2373_1
Description: Looking at the west and primary (south) elevations of the building. Note that a majority of the primary (south) elevation is obscured by mature deciduous trees.
Date: 9/6/2022
View: Northeast

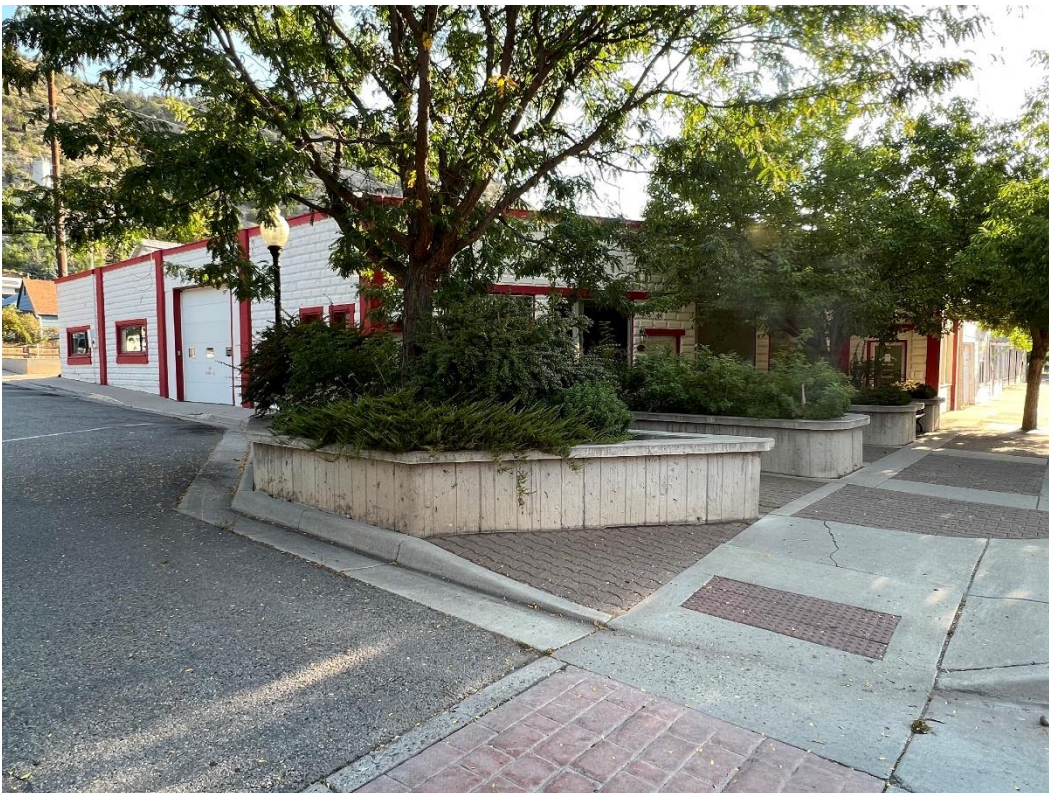


Photo Number: 5GF.2373_2
Description: Close up view of the west and primary (south) elevation of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.2373_3
Description: Looking at the west and primary (south) elevation of the building.
Date: 9/6/2022
View: Northeast



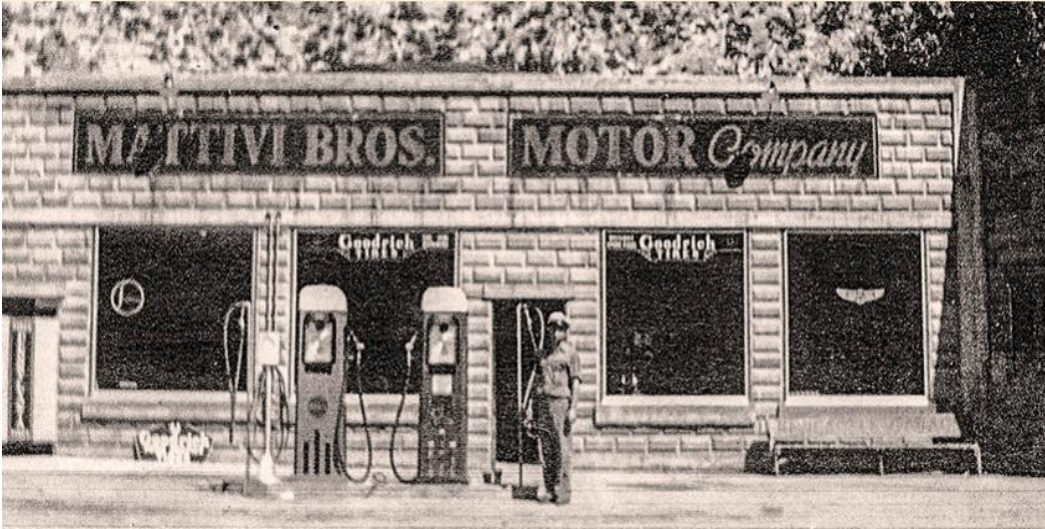
Photo Number: 5GF.2373_4
Description: Looking at the far-right side of the primary (south) and a portion of the east elevations. Note the former garage door opening that was covered by the mid to late Twentieth Century.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.2373_5
Description: Looking at the east elevation of the building.
Date: 9/6/2022
View: North



Historic Photo 1
Description: Looking at the west and primary (south) elevations of the building. Note that the garage opening on the far right of the primary (south) elevation was covered by this time.
Date: Circa 1980
Source: New Castle Museum Collection



Historic Photo 2

Description: Looking at the primary (south) elevation of the building.

Date: Unknown

Source: "A Walking Tour of Downtown New Castle" by the Town of New Castle.



Reference Photo 1

Description: Looking at the west and primary (south) elevations of the building. Note the extant fuel island and Phillips 66 sign on the roof of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2373)



Reference Photo 2

Description: Looking at the west and primary (south) elevations of the building. Note that the fuel island and pumps have been removed by this time.

Date: Circa 2009

Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Bank of New Castle Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 302 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331109022

****Please check with your project sponsor to determine which fields are required, as not all locational**

**9. Parcel Information: Lot(s): 1 Block: B Addition: ORIGINAL TWNSTE NEW CASTLE

**10. Acreage: 0.05 Actual Estimated

11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31

****12. Location Coordinates:**

UTM reference: Zone 13 ;mE 282427 ;mN 4383083 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Nineteenth Century Commercial	Stacked stone	Brick masonry structural system clad in stucco
Windows	Roof	Chimney	Porch
Picture windows; decorative wood shutters; decorative wood sills	Flat roof with stepped parapets; rolled asphalt	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1889. The approximately 85' by 18' building is representative of a Nineteenth Century Commercial style of architecture. The building features a stacked stone foundation; a flat roof with stepped parapets; a brick masonry structural system clad in stucco; an angled main entryway; a front gable overhanging above the main entryway; and several wall mounted signs along the primary (south) elevation. The typical window consists of a wooden picture window. The typical window along the primary (south) elevation incorporates a wood sill and is recessed into the exterior wall. There are several typical windows located along the east elevation and feature decorative wood shutters. The main entryway is located within an angled portion of the primary (south) elevation of the building. The main door consists of a wood panel unit with a single lite. The door is capped by a front gable overhanging that incorporates triangular support brackets and asphalt shingles. A wall mounted "coldest beer in the west" sign and a "Liquor" sign can be noticed along the façade as well. The north elevation consists of a shed roof addition with overhanging eaves and vertical weatherboard siding.

Historical imagery of the building in 1905 demonstrates that the building has undergone a high degree of modification. By the late Twentieth Century, the decorative corbelled brick cornice had been removed as well as pilasters along the primary (south) and far left side of the east elevation. In addition, the fenestration pattern was altered due to the multi-lite window along the façade having been replaced with a smaller picture window. The brick masonry exterior envelope had been clad in stucco as well. A front gable overhang was added above the main entryway, and wall mounted signage was also added to the primary (south) elevation. Historical aerial imagery between 1996 and 2005 demonstrates that several trees and curb features were added along the primary (south) and east elevations of the building.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial/Bank

Current Function/Use (if different): Commercial/Liquor store

17. Date of Construction: 1889

Estimated Actual (include source): 1996 OAHF Historic

Building Inventory Record (5GF.2375)

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: Portions of the following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

“This building housed the first bank in New Castle, the Bank of New Castle, organized in March 1889 by J.W. Ross, W. J. Miller, and Paul Blount. The Bank of New Castle briefly survived in the 1893 Silver Panic and appears in the 1894 Colorado Business Directory, however, the bank is not listed in the 1895 directory. By 1899, the building housed the New Castle post office. John C. Ritter recalled that the post office was operated by ‘Pap and Grandma Stout.’ The Stouts were early residents of New Castle: S.W. Stout is listed as a saloon operator in the 1889 directory; a restaurant operator the 1890 directory; and operated a restaurant and agricultural implement sales in the 1891 and 1892 directories... Ritter stated that the Stout’s daughter sold the building about 1909, when the building was again turned into a bank. The New Castle State Bank opened 14 May 1909 with a capital stock of \$10,000 but failed to survive the Depression, closing in the 1930s. After the bank closed, the building was owned by John W. Ritter, who sold it to Hap Jantzen, an electrician and appliance dealer. The building was then purchased by Arthur Natal, of Carbondale, who operated it as a restaurant for about a year. Doris and Harry Flynn bought the building and operated it as a drug store... On the closure of Flynn’s in 1979, the newspaper noted that ‘this old mining town of just over 500 people lost a little chunk of its communal heart.’”

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2375) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

23. Sources:

- "302 West Main Street." Garfield County Assessor's Office. Parcel Number 212331109022. Accessed February 17, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=2025483054&Key=Value=R380281>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 17, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
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- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- Front Range Associates, Inc. "Gresock's Liquor – Bank of New Castle (5GF.2375)." Historic Building Inventory Record – Colorado Historical Society, June 1996.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

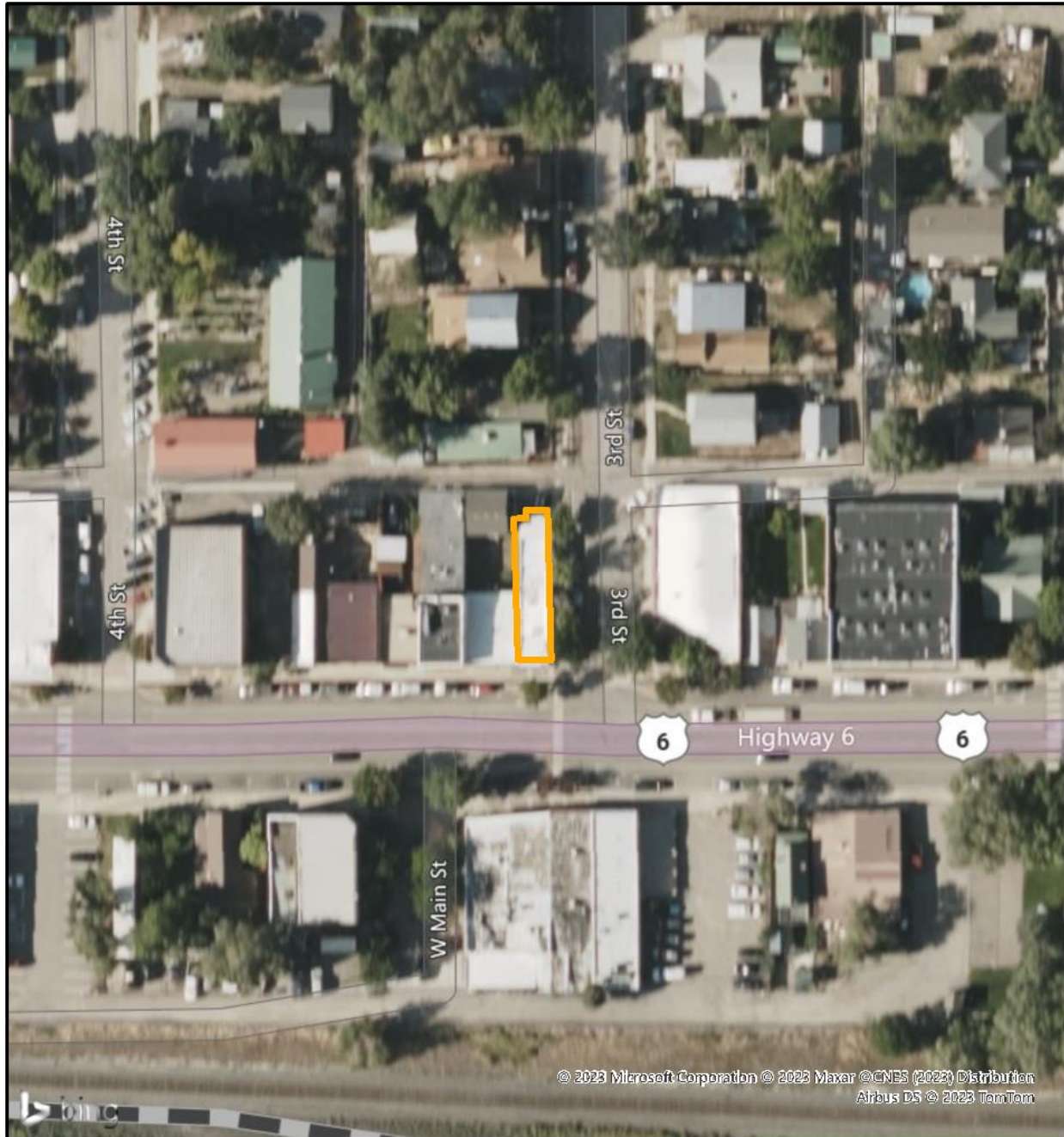
SKETCH PLAN *include approximate scale*





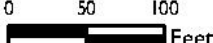
FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2375_1 to 5GF.2375_3, 1 historic photo, and 5 reference photos</u>

See Attachment																			
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Sketch Map

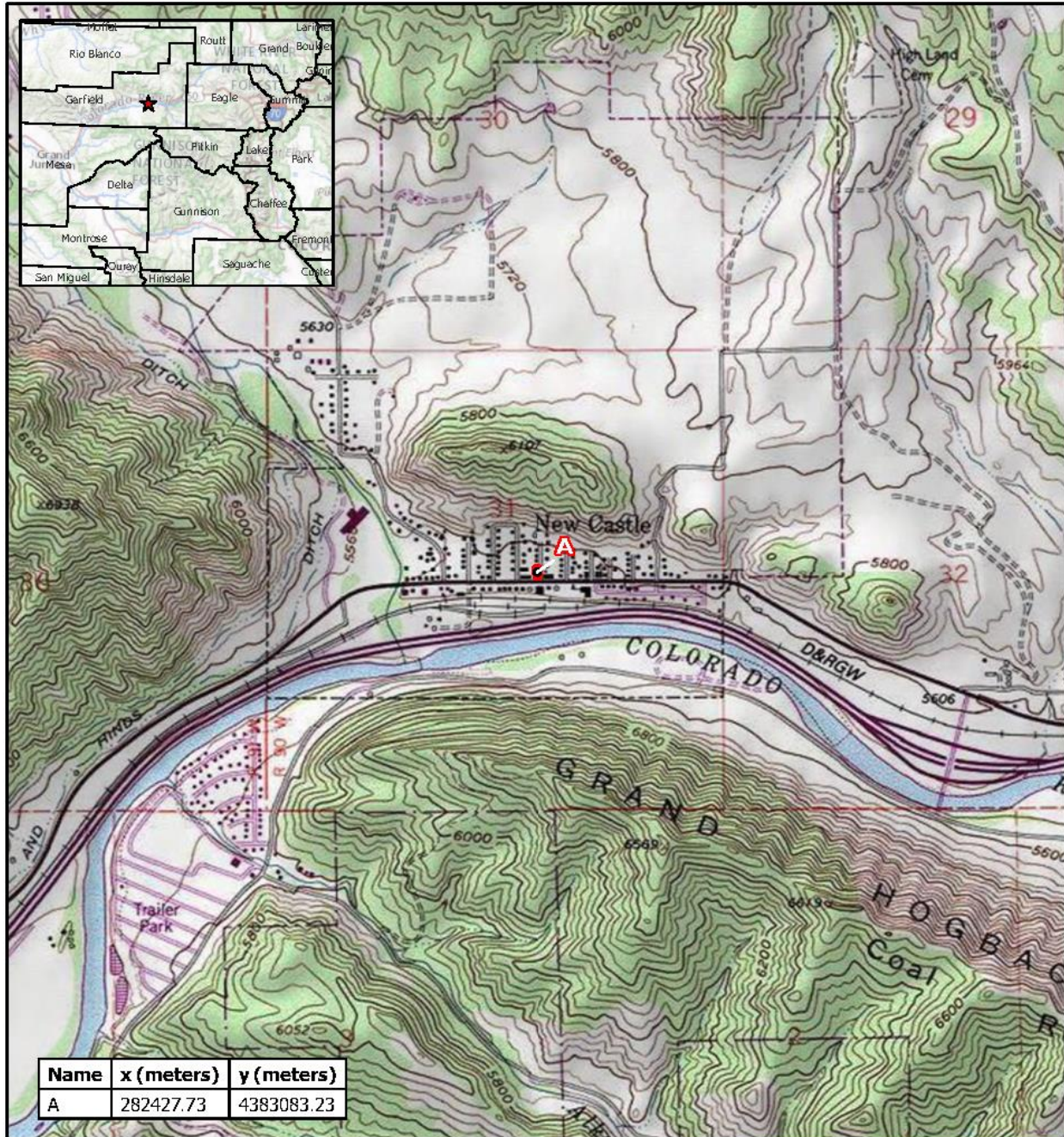


© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution
 Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 302 West Main Street (5GF.2375) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>		<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

Doc u:\new\Proj_C:\Users\doowal\Desktop\CU\New Castle\Borch R\12156001 New Castle Hutto nc Survey\12156001 New Castle Hutto nc Survey.aprx

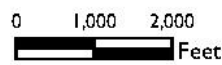
Topographic Map



Name	x (meters)	y (meters)
A	282427.73	4383083.23

Legend

 Resource Boundary



Topographic Map

302 West Main Street (5GF.2375)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I 22156001

Doc in new Path: C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\22156001 New Castle Historic Survey.aprx

Site Photographs



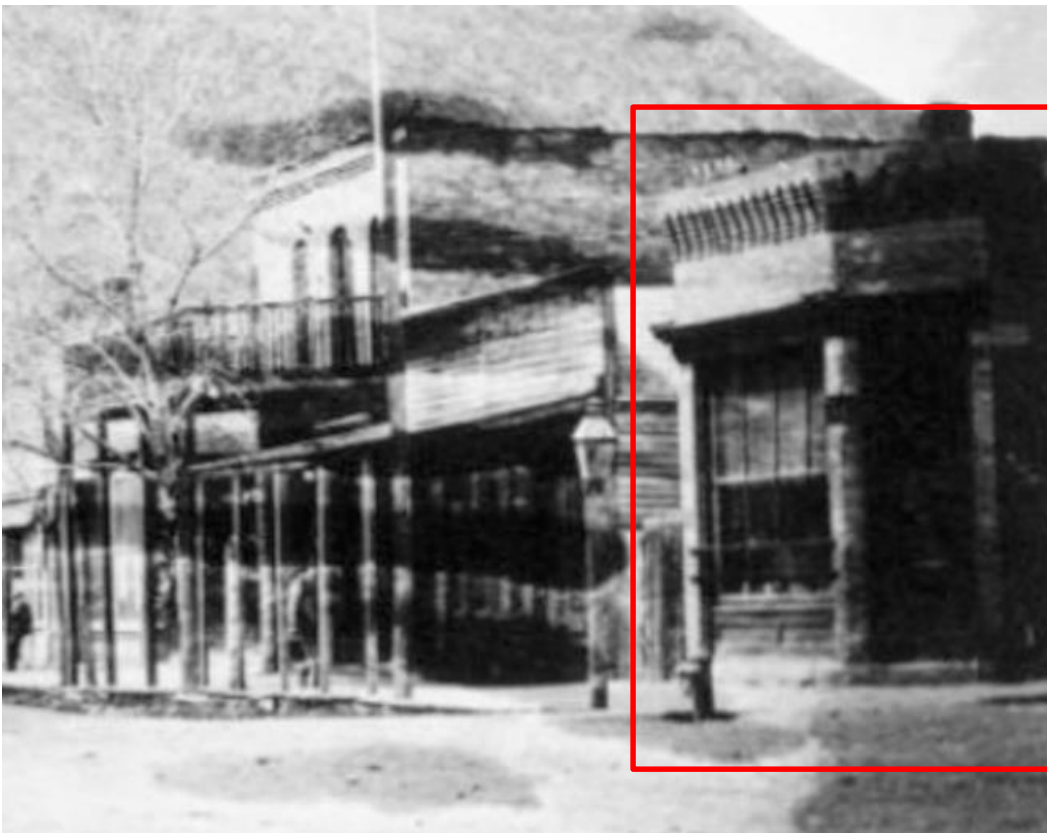
Photo Number: 5GF.2375_1
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.2375_2
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.2375_3
Description: Looking at the east elevation of the building. Note that a majority of the elevation is observed by landscaping features added between 1996 and 2005.
Date: 9/6/2022
View: Northwest



Historic Photo 1
Description: Image of downtown New Castle between North 3rd Street and North 4th Street. Note that the resource is outline in red. The decorative corbelled brick cornice was removed by the mid to late Twenty Century.
Date: 1905
Source: Denver Public Library – Digital Collections [Not for publication]



Reference Photo 1

Description: Image of the south elevation of the resource with the label stating, "Office building/ has been home of many businesses. New Castle State Bank 1909-1939. Now a liquor store."

Date: Unknown

Source: New Castle Museum Collection

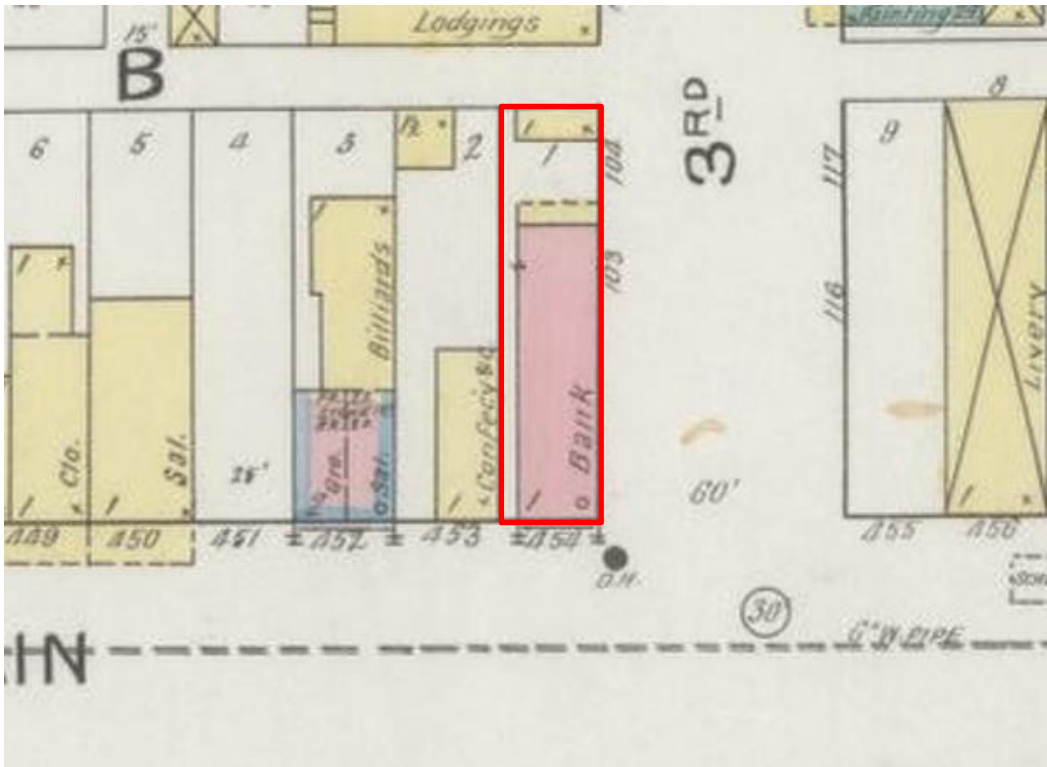


Reference Photo 2

Description: Looking at the primary (south) and east elevations of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2375)

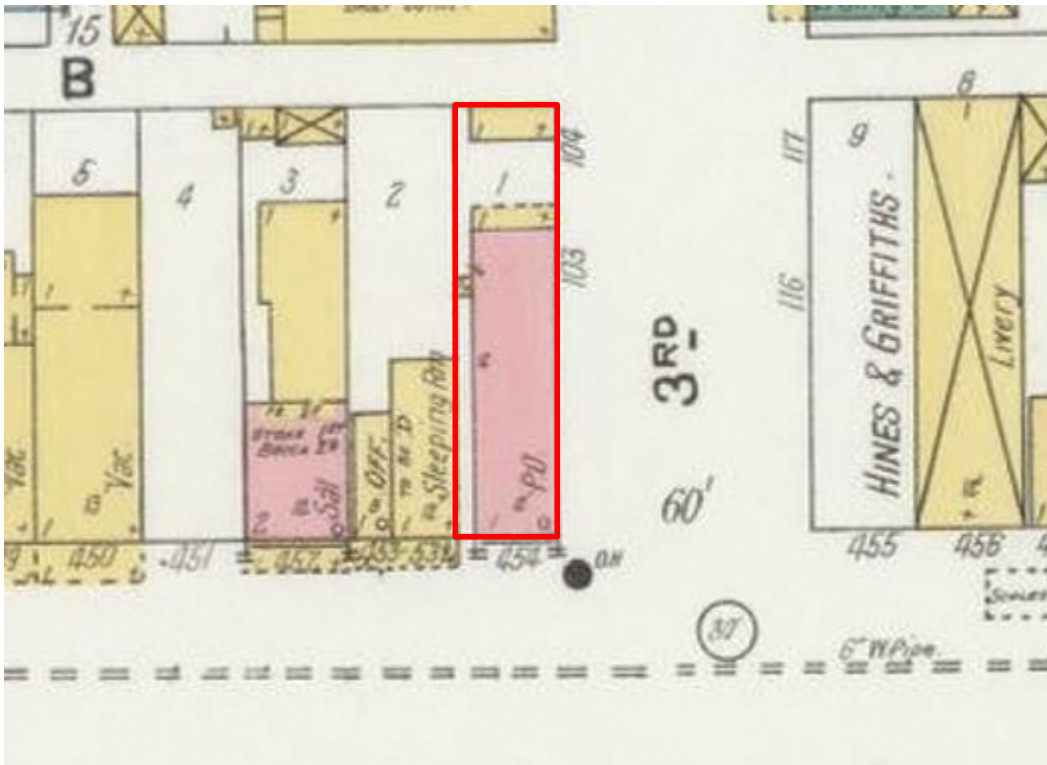


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 1 of block B. The property is outlined in red.

Date: 1893

Source: Library of Congress

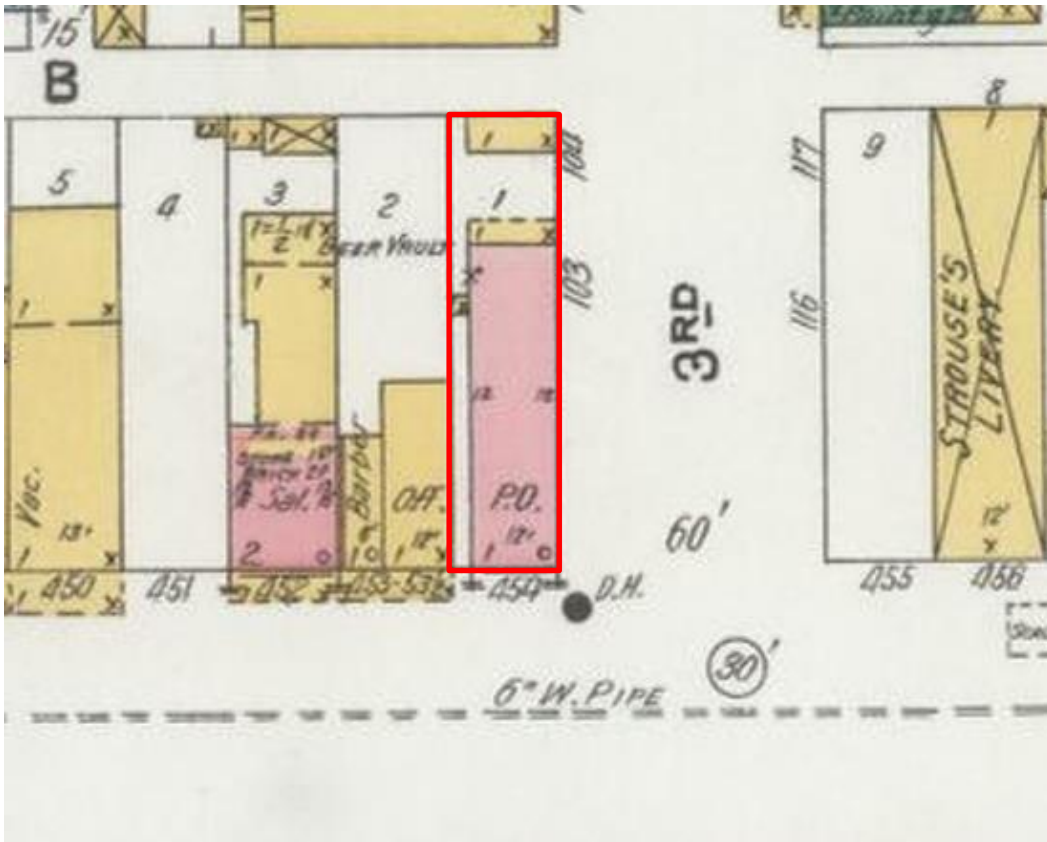


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Trimble Block Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 303 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331409001
- **9. Parcel Information: Lot(s): 1, 2 Block: 7 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.07 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282390 ;mN 4383026 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

**Please check with your project sponsor to determine which fields are required, as not all locational

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Nineteenth Century Commercial	Stacked stone	Brick Masonry; stone masonry belt course; checkerboard brick friezes; brick dentils; stucco along the foundation of the east elevation
Windows	Roof	Chimney	Porch
One-over-one single hung sash; four-lite picture window; two-lite and single lite transoms; wood and stone masonry sills; stone lintels; segmental arches along east elevation	Flat roof with parapets; vertical row of soldier brick along cornice	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, rectangular shaped building was constructed circa 1893 as shown through review of an 1893 *Sanborn Fire Insurance* map. The approximately 60' by 30' building is representative of a Nineteenth Century Commercial style of architecture. Architectural elements of the building include a stacked stone foundation; a flat roof with parapets; a brick masonry exterior envelope; a vertical row of soldier brick along the cornice; brick dentils; checkerboard brick friezes; an angled double door main entryway; segmental arch windows; stone masonry window lintels and sills; a stone masonry belt course between first and second levels; and transoms above

entry doors. The typical window consists of a wooden one-over-one single hung sash with a stone masonry lintel and sill. Decorative brickwork can be noticed along and underneath the cornice including brick dentils and checkerboard friezes. The main entryway is located in the angled storefront along the primary (north) elevation. The main entryway consists of wooden side-by-side doors with each door incorporating divided lites. The main doors are capped by a wooden two-lite hopper transom. A recessed secondary entryway can be noticed on the far-right side of the primary (north) elevation. The secondary door consists of a wood door with two-lites. The door is capped by a radiused single-lite transom. Large four-lite picture windows divided by wood muntins are present between the main and secondary entryway. The top lites of each window feature radiused edges. Both windows also feature wood kickplates. Segmental arch windows can be seen along the east elevation as well as stucco on the exterior wall near the foundation. A wood staircase leads to an exterior door on the right side of the elevation.

Sanborn Fire Insurance maps between 1899 and 1904 demonstrate that a wood framed general store was located to the rear (south) of the lot; however, historical aerial imagery demonstrates that the building was no longer extant by 1960. Historical imagery of the building in 1905 and the late Twentieth Century demonstrates minor change the exterior envelope of the building. Historical street imagery between 2008 and 2012 demonstrates that metal shrouding was added to the cornice of the building.

14. Associated buildings, features, or objects:

A small shipping container is located to the south of the commercial building. The approximately 20' by 8' container features a corrugated metal exterior and is used for storage.

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial

17. Date of Construction: 1893
Insurance map

Estimated Actual (include source): 1893 Sanborn Fire

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: Portions of the following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"In 1893, the western storefront is shown as a dry good store and the eastern storefront is listed as a drug store. The second floor is indicated as a hall. In 1899, a saloon is shown in the western part of the building, while an office is shown on the east and a hall is still indicated on the upper floor. By 1904, the western part of the building is indicated as vacant, while the eastern part is shown as a saloon. W. H. Trimble operated a saloon and theater in New Castle and appears in the Colorado Business Directories from 1890 to 1900. The second story hall, which served as the scene for entertainment and meetings, led to the building been called the Trimble Opera House. Two other buildings with second floor halls in New Castle were also known as opera houses. The New Castle Historical Society walking tour notes that the building was used as a dance hall and saloon by Jim Tarro, Sr., and also housed Claude Hall's Barber Shop, Schmueser's Grocery Store, and Bomer's Meat Market.

The building gained some notoriety as the scene of a 1910 shootout between William Griffith, who had a room on the second floor, and local authorities. Griffith, reportedly drunk, killed the town marshal and wounded two others before he retired to his room and died of a self-inflicted gunshot. Bullet holes are still visible in the walls of the building."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the

area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2376) was initially evaluated in June 1996 by Front Range Research Associates, Inc. and was determined Officially – Eligible by the Colorado Office of Archaeology and Historic Preservation (OAHF) in 2001.

23. Sources:

"303 West Main Street." Garfield County Assessor's Office. Parcel Number 212331409001. Accessed February 21, 2023.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=284574860&KeyValue=R380277>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022.

https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 21, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 21, 2023. <https://www.historicaerials.com>.

"New Castle, Colo." Denver Public Library – Digital Collections. Accessed February 21, 2023.

<https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6554/rec/386>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "Wintercount – Trimble Block (5GF.2376)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

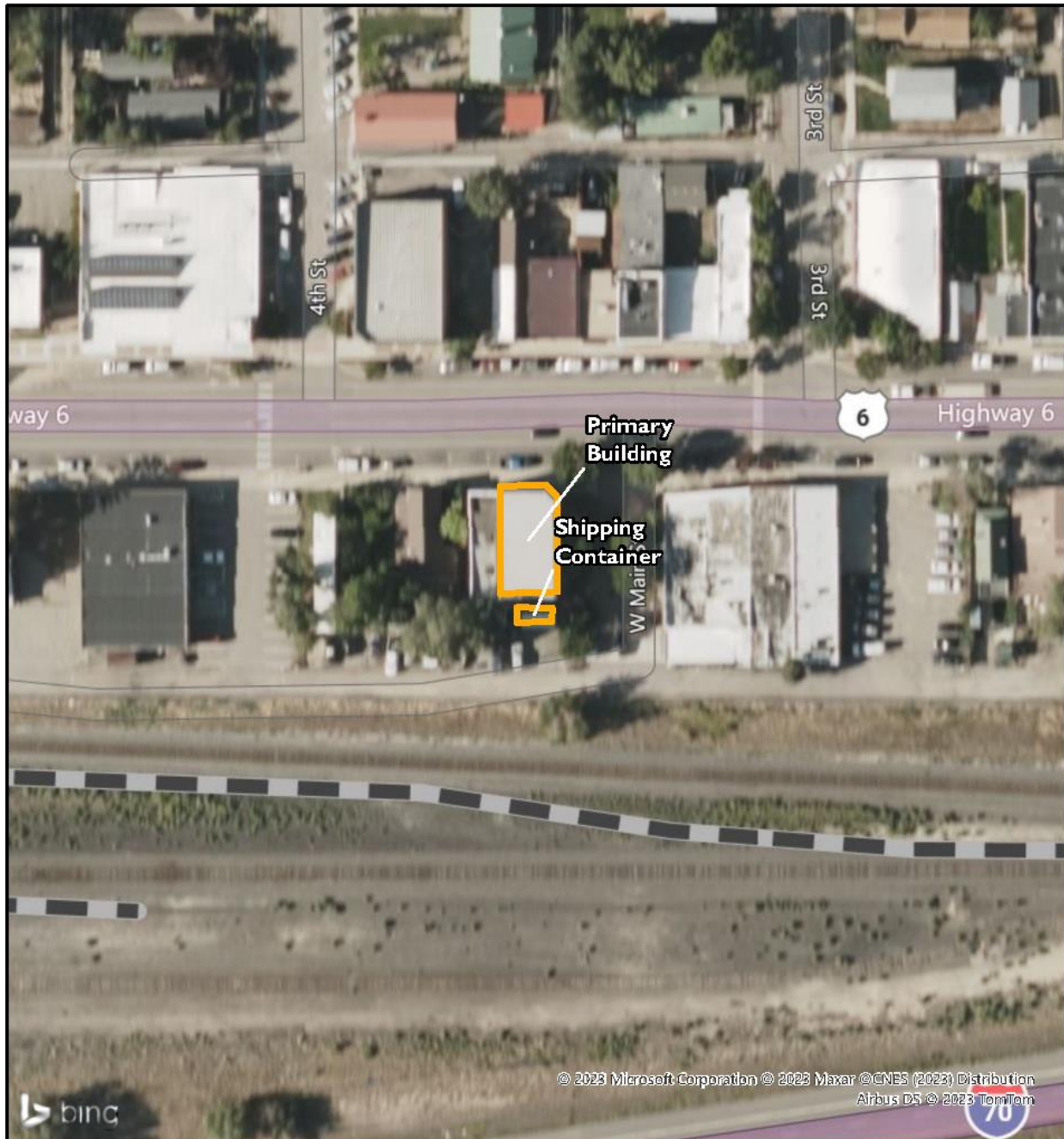
SKETCH PLAN *include approximate scale*



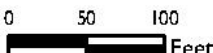



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2376_1 to 5GF.2376_2, 1 historic photo, and 5 reference photos</u>

See Attachment																			
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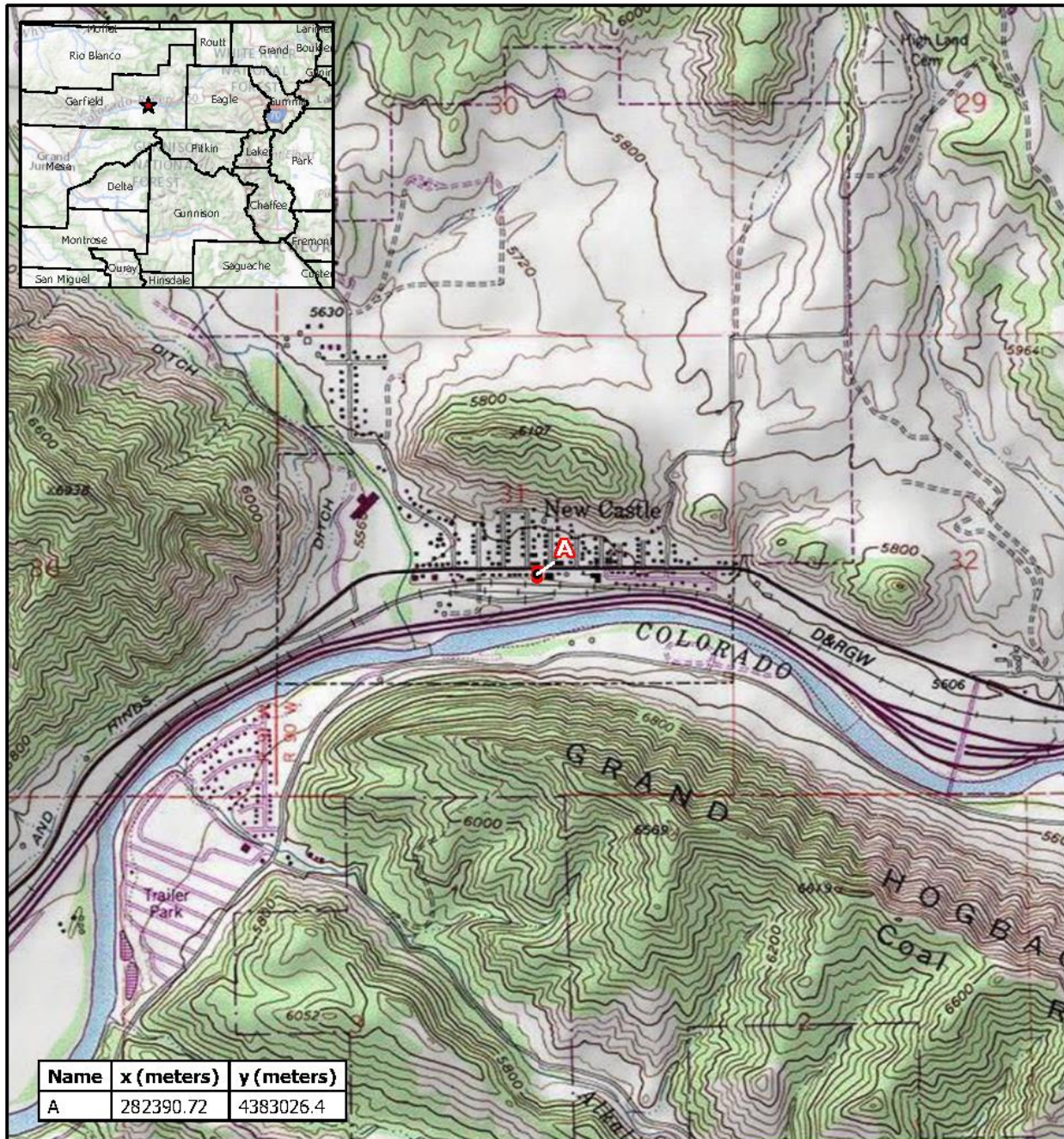
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 303 West Main Street (5GF.2376) New Castle, Colorado Garfield County</p>	
Pinyon Project Number: I 22156.001		Drawn By: CJB	Figure: 2
		Reviewed By: CMW	Date: 4/10/2023

DocuView Path: C:\Users\doosvel\Desktop\CU\New Castle\Borch I\22156001 New Castle Hazmat Survey\122156001 New Castle Hazmat Survey.aprx

Topographic Map



Name	x (meters)	y (meters)
A	282390.72	4383026.4

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

303 West Main Street (5GF.2376)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I22156001

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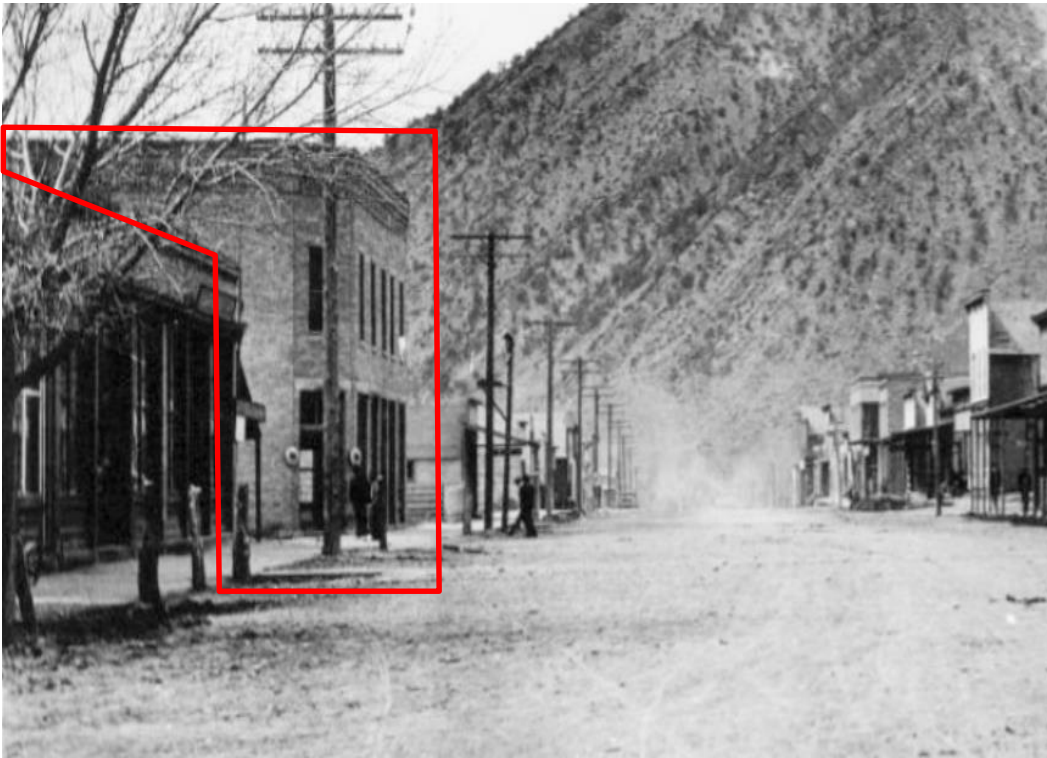
Site Photographs



Photo Number: 5GF.2376_1
Description: Looking at the primary (north) elevation of the building. Note the decorative brickwork underneath the cornice.
Date: 9/6/2022
View: South



Photo Number: 5GF.2376_2
Description: Looking at the east and angled main entryway along the primary (north) elevation of the building.
Date: 9/6/2022
View: West



Historic Photo 1

Description: Image of downtown New Castle between North 3rd Street and North 4th Street. Note that the resource is outlined in red.

Date: 1905

Source: Denver Public Library – Digital Collections [Not for publication]



Reference Photo 1

Description: Photo states, that the “‘Trimble Building’ was a dance hall and saloon. Later housed Hall’s Barber shop, Schmueser’s Grocery Store, Bomer’s Meat Market, and Garfield County Telephone.”

Date: Unknown

Source: New Castle Museum Collection

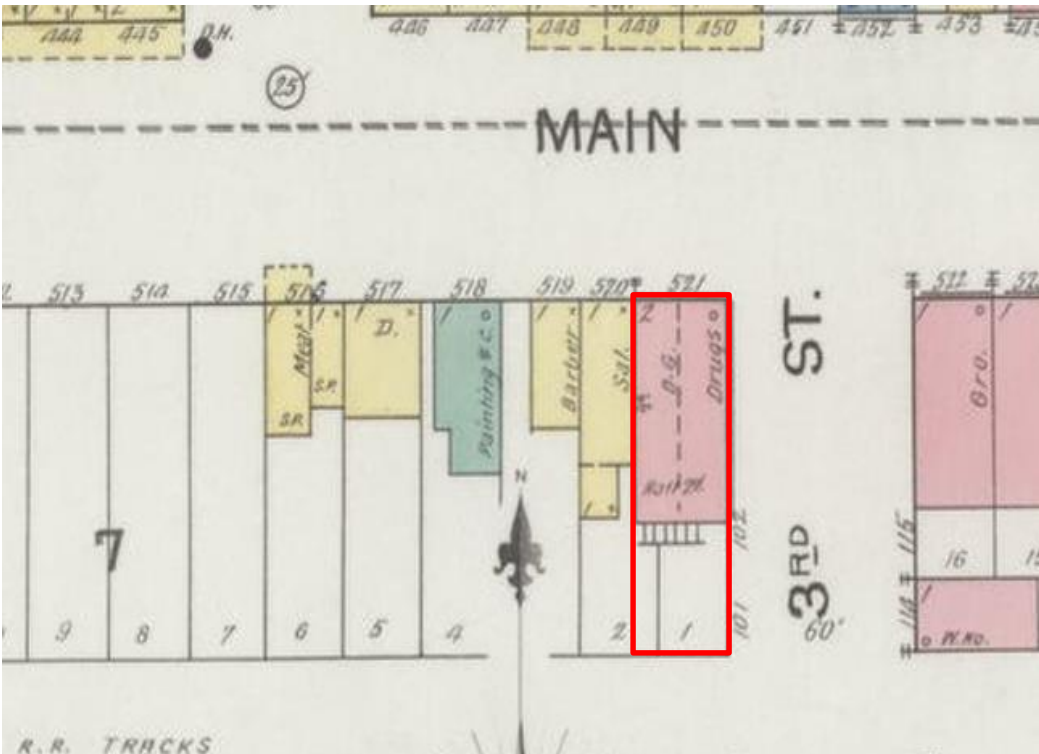


Reference Photo 2

Description: Looking at the east and (primary) north elevation of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2376)

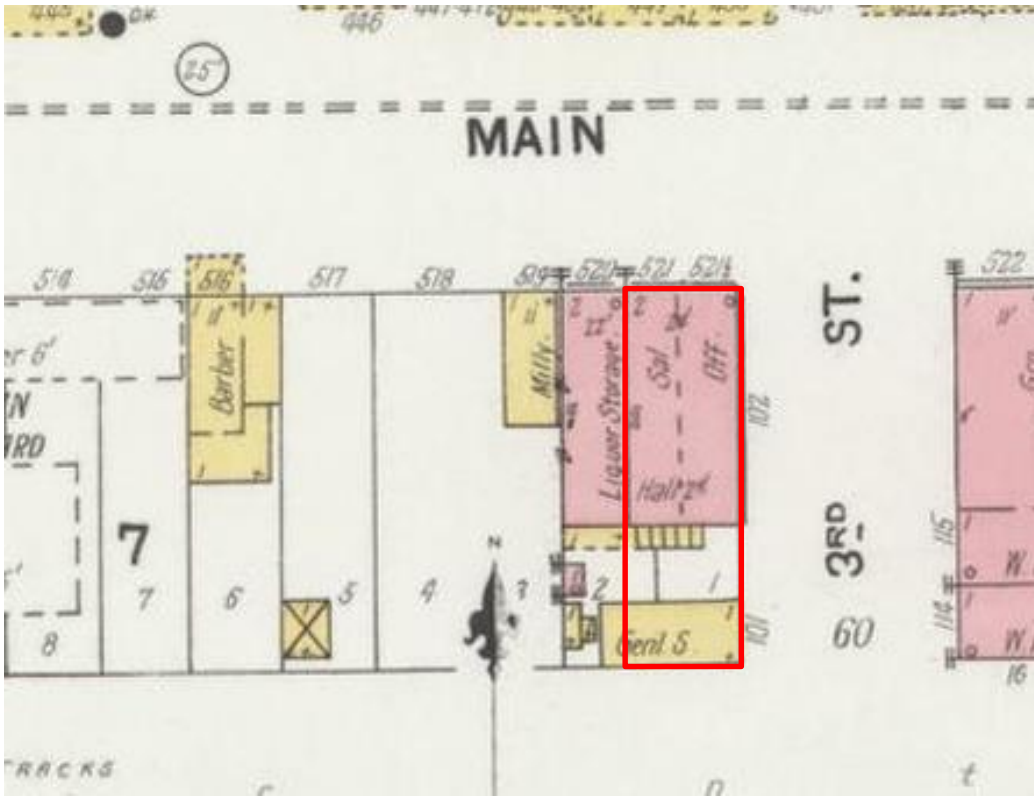


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 1 and partially of lot 2 of block 7. The property is outlined in red.

Date: 1893

Source: Library of Congress

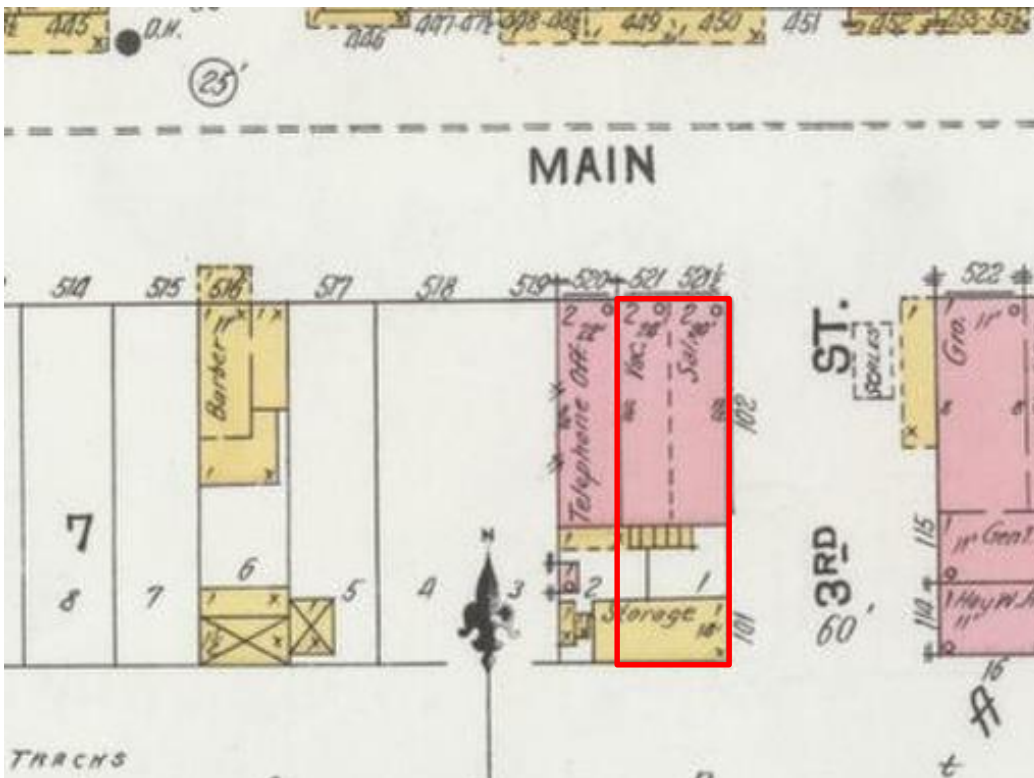


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Salvador Vargas Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 311 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331404003
- **9. Parcel Information: Lot(s): 5-9 Block: Q Addition: Spencer's 2nd
- **10. Acreage: 0.12 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NW ¼ of NE ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282791 ;mN 4383024 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Minimal Traditional	Concrete	Asbestos shingle
Windows	Roof	Chimney	Porch
Six-over-six single hung sash with wood frame; one-by-one sliding sash with vinyl or metal frame	Side gable roof; metal roof; small overhanging closed eaves	N/A	Full-length open wood porch is located along the facade of the primary (north) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1950 as shown through review of Garfield County Assessor's Office records. The approximately 26' by 32' building is representative of a Minimal Traditional style of architecture. Architectural elements of the residence consist of a concrete foundation; side gable roof design; small overhanging closed eaves; metal roof; attic vent under the gable peaks; an exterior envelope clad with asbestos shingle siding; and a full-length open wood porch along the primary (north) elevation. The main entryway is located in the center of the primary (north) elevation and incorporates a wood panel door with a six-lite window unit divided by muntin's. The door is fronted by a metal door with a one-over-one single hung sash window. The typical window units consist of a six-over-six single hung sash unit with wood frames. Additionally, replacement one-by-one sliding sash units with vinyl frames can be noticed along the west elevation while historic metal frame units can be seen along the east elevation. A shed roof awning can also be noticed along the west elevation and protects two typical window units. There are several square support posts for railing along the full-length porch, however the railing was removed at some point. Additionally, based on historical street imagery, the asphalt shingle roof was replaced with a metal roof between 2008 and 2012.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other: Wood staircase along the west elevation of the building.

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1950

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"311 East Main Street." Garfield County Assessor's Office. Parcel Number 212331404003. Accessed December 27, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1983115111&KeyyValue=R380065>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 27, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 27, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

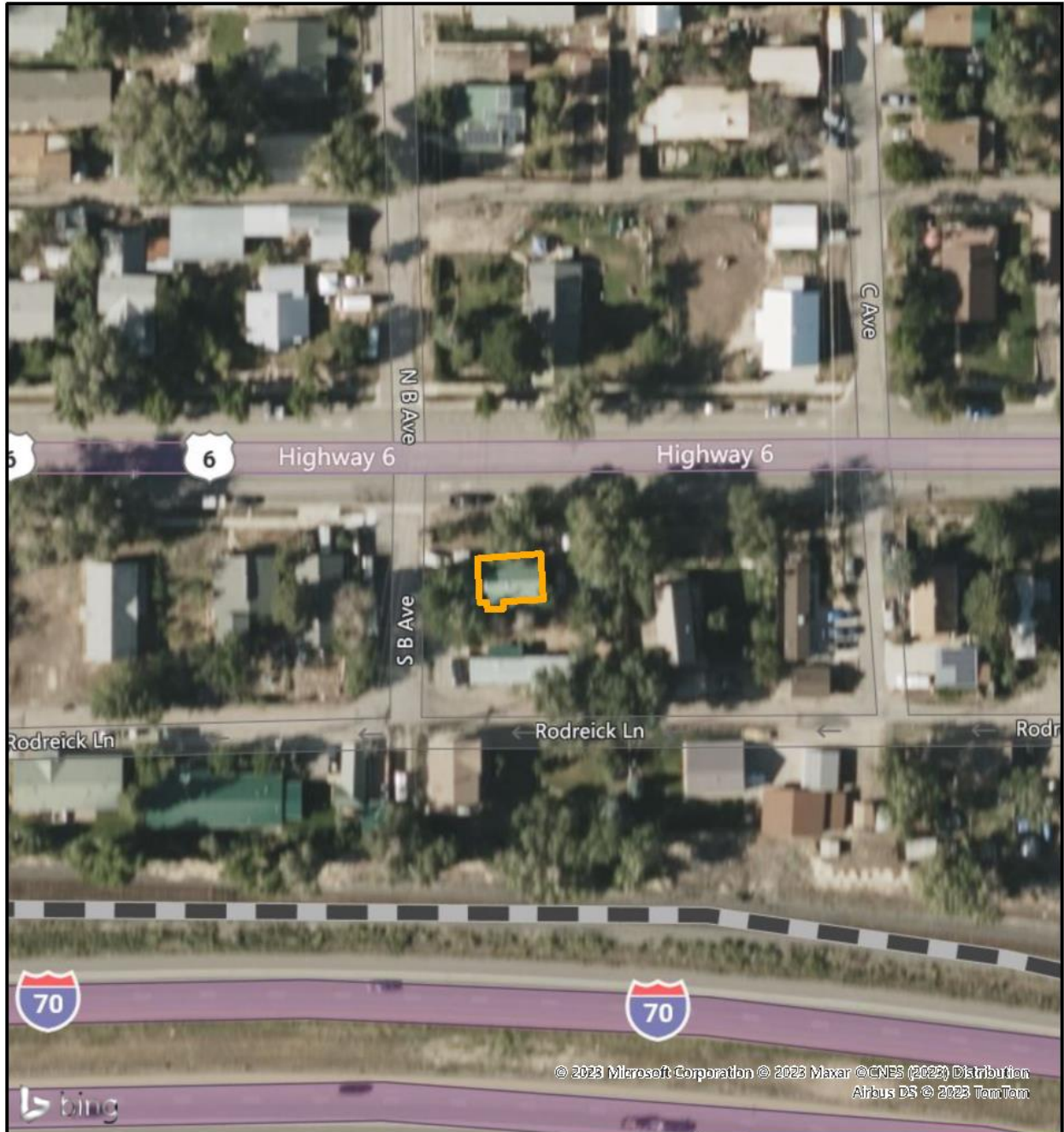
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.



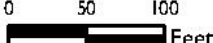
SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5930_1 to 5GF.5930_3</u>

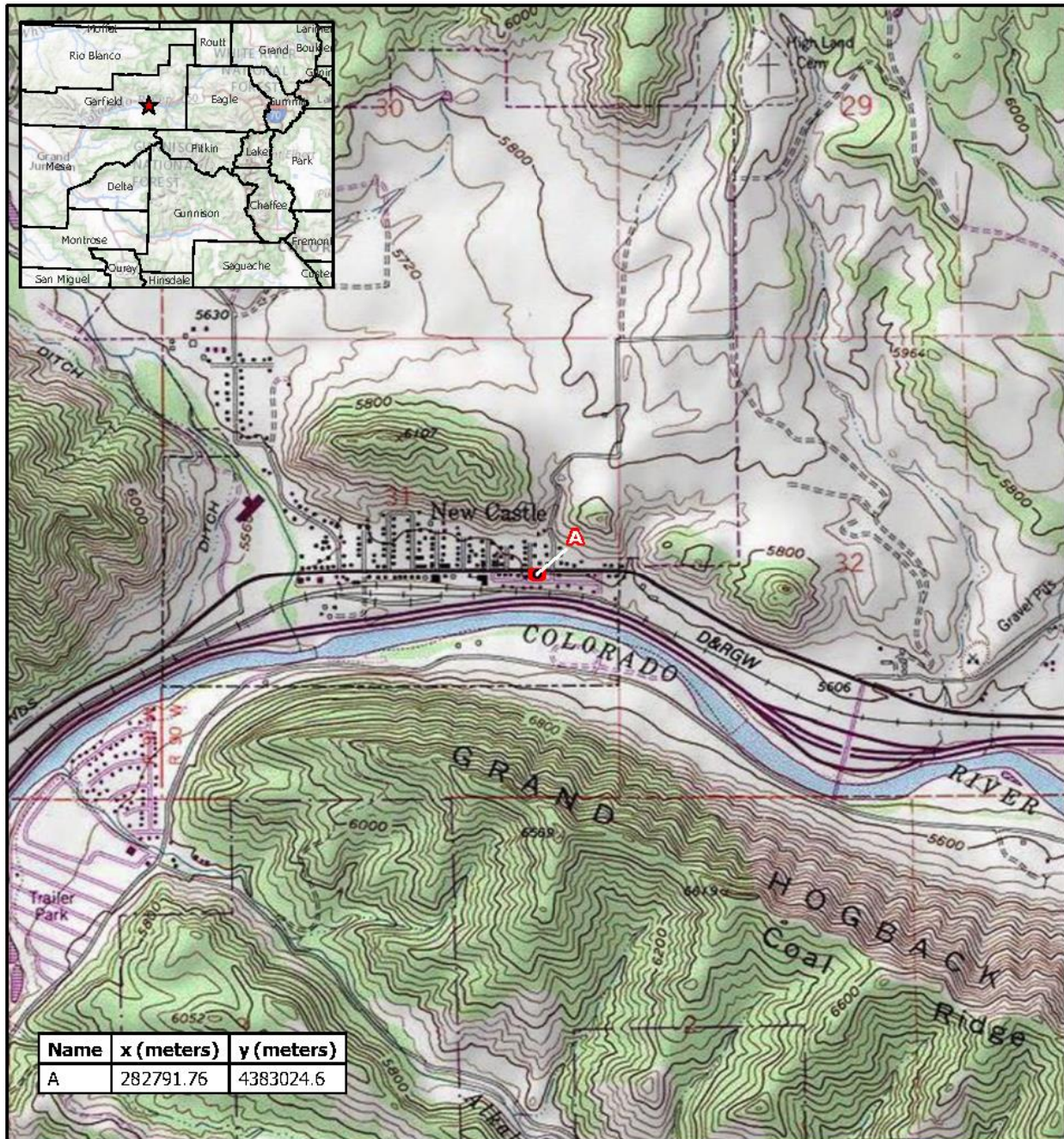
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 311 East Main Street (5GF.5930) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Drawn By: CJB</td> <td style="width: 50%;">Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map




Name	x (meters)	y (meters)
A	282791.76	4383024.6

Legend

 Resource Boundary



0 1,000 2,000
 Feet



Topographic Map

311 East Main Street (5GF.5930)
 New Castle, Colorado
 Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5930_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.5930_2
Description: Looking at the primary (north) and west elevations of the residence. Note the shed roof awning that protects the typical windows.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5930_3
Description: Looking at the west and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: Sassy Cutz Salon Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 312 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331109021
- **9. Parcel Information: Lot(s): 1, 2 Block: B Addition: ORIGINAL TWNSTE NEW CASTLE

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **10. Acreage: 0.06 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282419 ;mN 4383081 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Commercial	Stacked stone	Horizontal weatherboard; stone masonry
Windows	Roof	Chimney	Porch
One-over-one single hung sash; one-by-one sliding sash; wood frames	Flat roof; rolled asphalt; faux mansard apron along storefront.	N/A	Partial length unprotected porch along north elevation.

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1889 as shown through review of Garfield County Assessor's Office records. The approximately 40' by 30' building is representative of a Commercial style of architecture. Architectural features of the building include a stacked stone foundation; a flat roof; an exterior envelope clad in horizontal weatherboard; stone masonry along the primary (south) elevation; a faux mansard apron with wood shingles along the façade; and a recessed main entryway. Windows along the primary (south) elevation consist of a mixture of one-over-one single hung sash and one-by-one sliding sash units. The recessed main entryway in the center of the façade and consists of a metal frame door with a large single lite. A secondary entryway is located on the left side of the façade and consist of a wood door with a single lite. A fixed pane side lite is also located to the right of the secondary door. Between the foundation and the window sills is decorative stone masonry with a stone chair rail. The top portion of the façade consists of a faux mansard apron with wood shingles. A wall mounted sign can also be noticed on the mansard apron.

Historical imagery of the building in 1905 and associated Sanborn Fire Insurance maps between 1899 and 1904 demonstrate that the building had a shed roof overhang along the primary (south) elevation. In addition, horizontal weatherboard siding can be noticed along the east elevation prior to the building's exterior wall being conjoined with the adjacent building to the east. In the late Twentieth Century, a faux mansard apron was constructed along the primary (south) elevation and the shed roof overhang was removed. Stone masonry features were also constructed along the façade. By 1996, lattice panels were present between the foundation and the window sills along the primary (south) elevation and the secondary entryway side-by-side doors had been replaced. The lattice panels were later removed by 2005 after review of historical street imagery.

14. Associated buildings, features, or objects:

A detached garage is located to the north of the commercial building and was constructed in 1979. The building is approximately 24' by 24' feet and features a front gable roof with asphalt shingles. The exterior envelope of the building is clad in vertical weatherboard siding; although, horizontal weatherboard can be noticed in the gable ends.

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial

17. Date of Construction: 1889

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any:

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: Portions of the following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"The Sanborn map of 1893 shows a one-story frame building on the site labelled 'confectionary and cigars' with open space between buildings to the east and west. The 1899 Sanborn map shows the frame building in use as sleeping rooms, while a narrow office building had been added on the west. By 1904, the office portion was used as a barber shop and the eastern part was labelled 'offices.' The current building, which features a circa 1910s or 1920s brick façade behind the upper mansard, may be a refacading of the early building. In 1928, the building was purchased by the ladies group of St. John's Episcopal Church for use as a guild room... In 1937, the structure was sold to Tony Perry for \$000 and he operated a café and bar there. A photograph from the 1950s shows the building as the 'New Castle Café and Bar.' The property was purchased by Whipcheck Manufacturing Co. 1981 and by Stephen and Lisa Gresock in 1991. A wholesale sweater business now occupies the building. The detached garage was erected in 1979."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2377) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

23. Sources:

- "312 West Main Street." Garfield County Assessor's Office. Parcel Number 212331109021. Accessed February 20, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1903677175&KeyVal=R380280>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 20, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 20, 2023. <https://www.historicaerials.com>
- "New Castle, Colo." Denver Public Library – Digital Collections. Accessed February 20, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6554/rec/386>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- Front Range Associates, Inc. "312 W. Main Street (5GF.2377)." Historic Building Inventory Record – Colorado Historical Society, June 1996.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

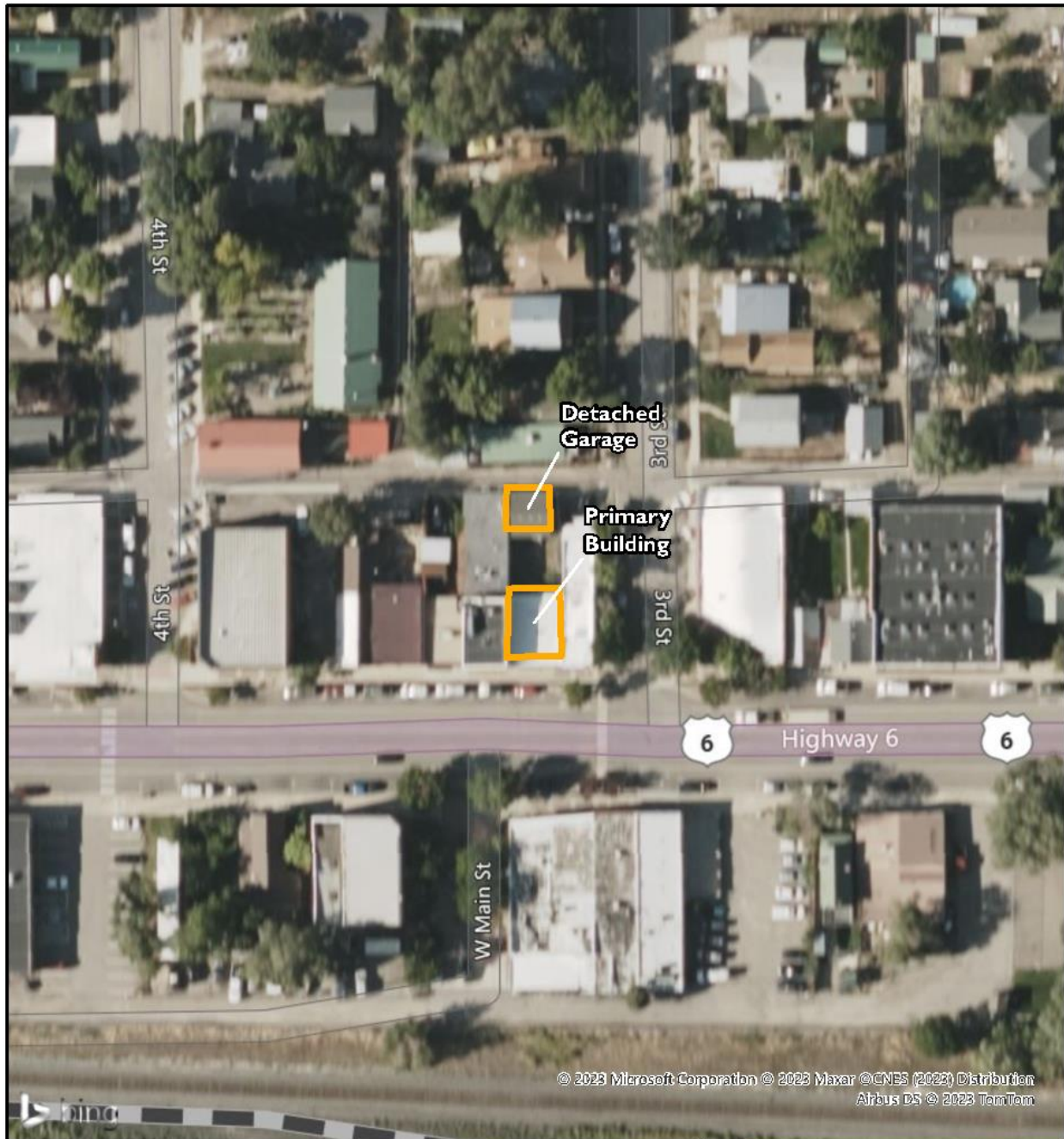
SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2377_1, one historic photo, and 5 reference photos</u>

See Attachment																			
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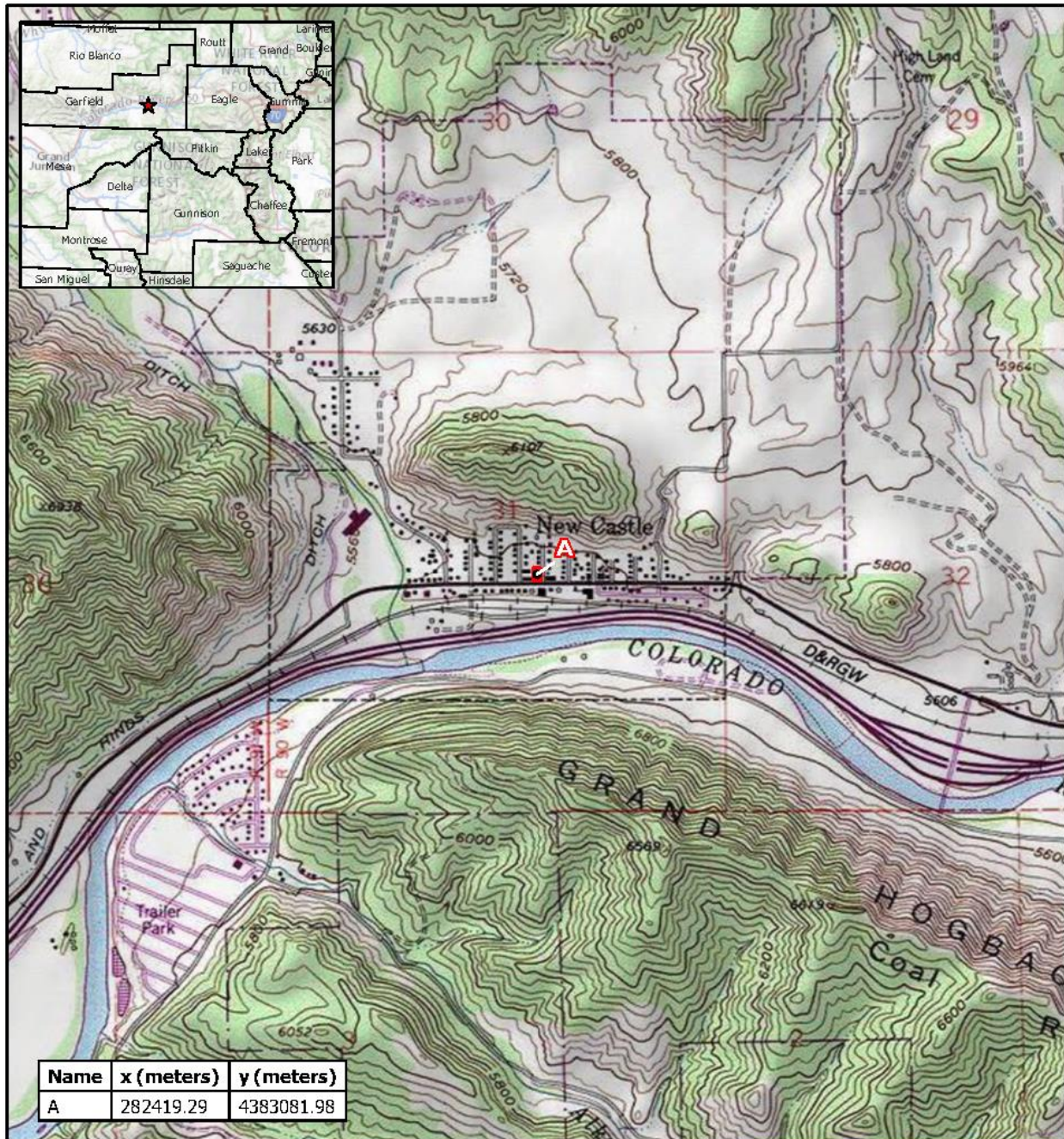
Sketch Map



<p>Legend</p> <p> Footprint</p>					
				<p>Sketch Map 312 West Main Street (5GF.2377) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>		
		<p>Reviewed By: CMW</p>	<p>Date: 4/10/2023</p>		


DocuView Path: C:\Users\doowal\Desktop\CU\New Castle\Borch R\12156001 New Castle Hazmat Survey\12156001 New Castle Hazmat Survey.aprx

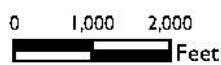
Topographic Map



Name	x (meters)	y (meters)
A	282419.29	4383081.98

Legend

 Resource Boundary



Topographic Map
 312 West Main Street (5GF.2377)
 New Castle, Colorado
 Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

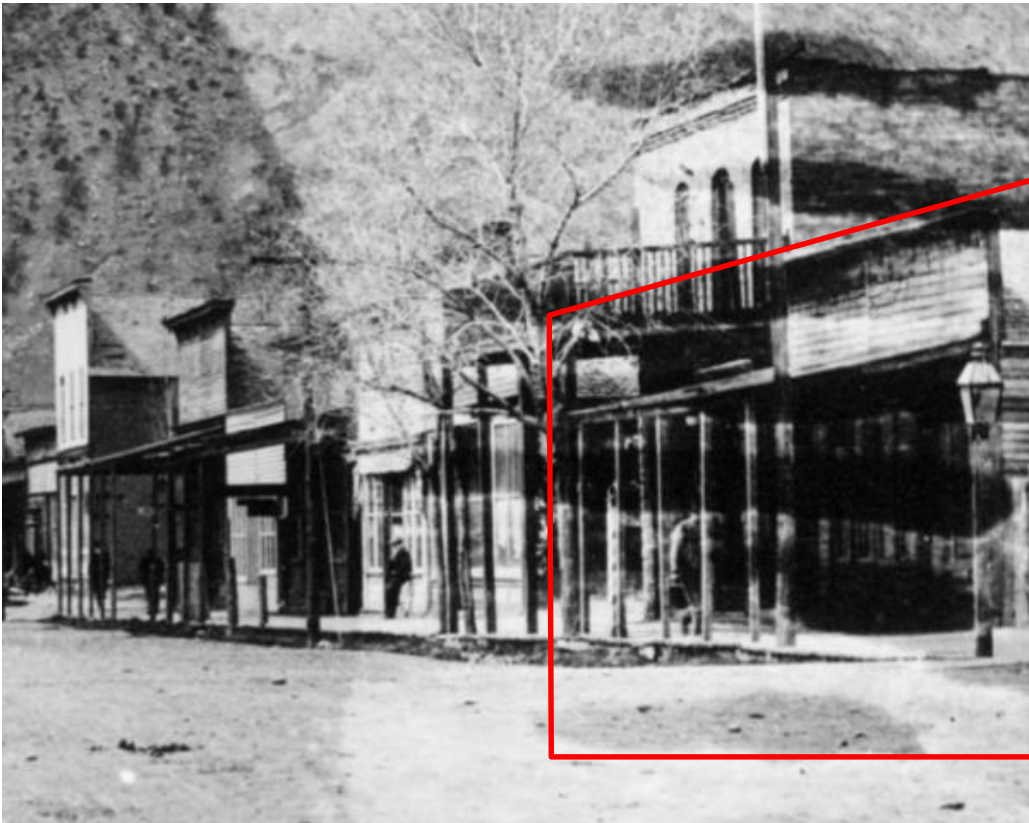
Pinyon Project Number: I 22156001

Doc in new Path: C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.2377_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Historic Photo 1
Description: Image of downtown New Castle between North 3rd Street and North 4th Street. Note that the resource is outline in red.
Date: 1905
Source: Denver Public Library – Digital Collections [Not for publication]

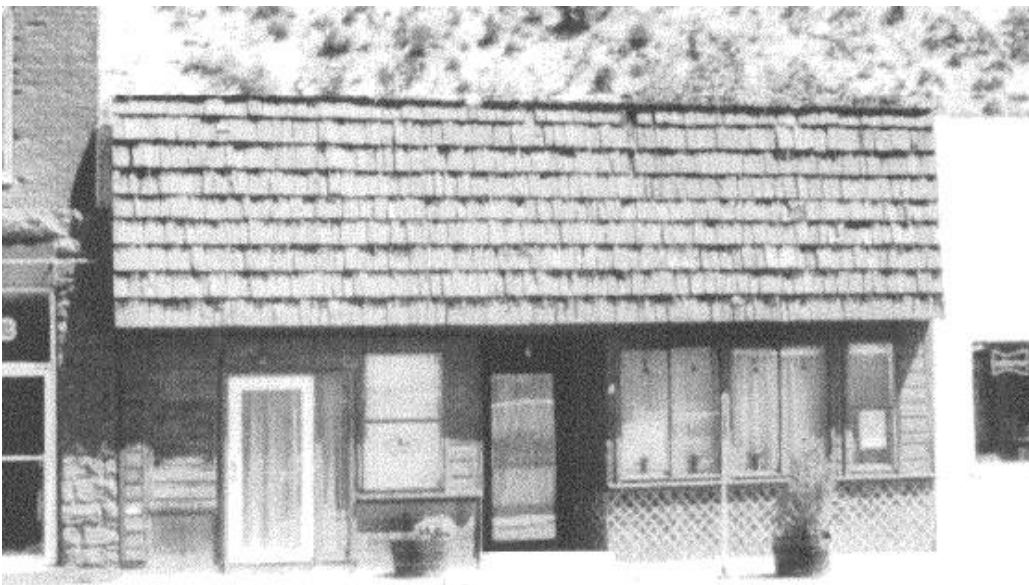


Reference Photo 1

Description: Lisa Gresock's Knitting Shop-Building has been a café, barber shop, and other businesses.

Date: Unknown

Source: New Castle Museum Collection

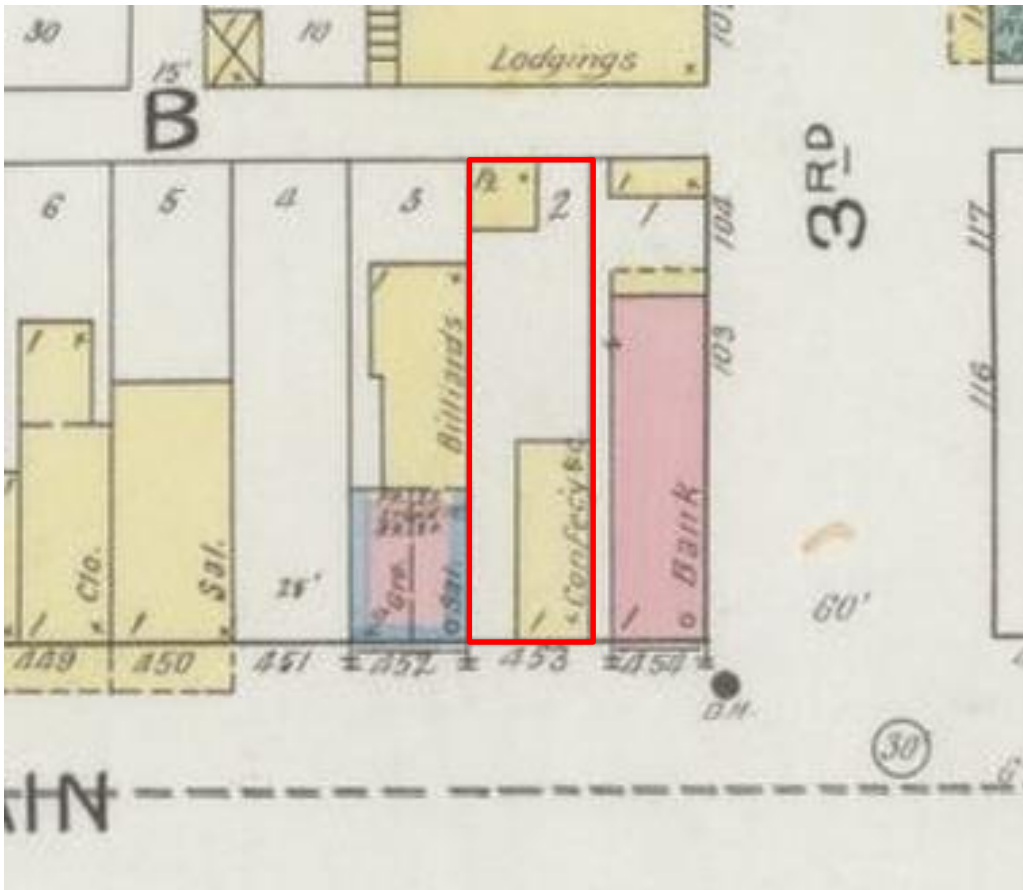


Reference Photo 2

Description: Looking at the primary (south) elevation of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2377)

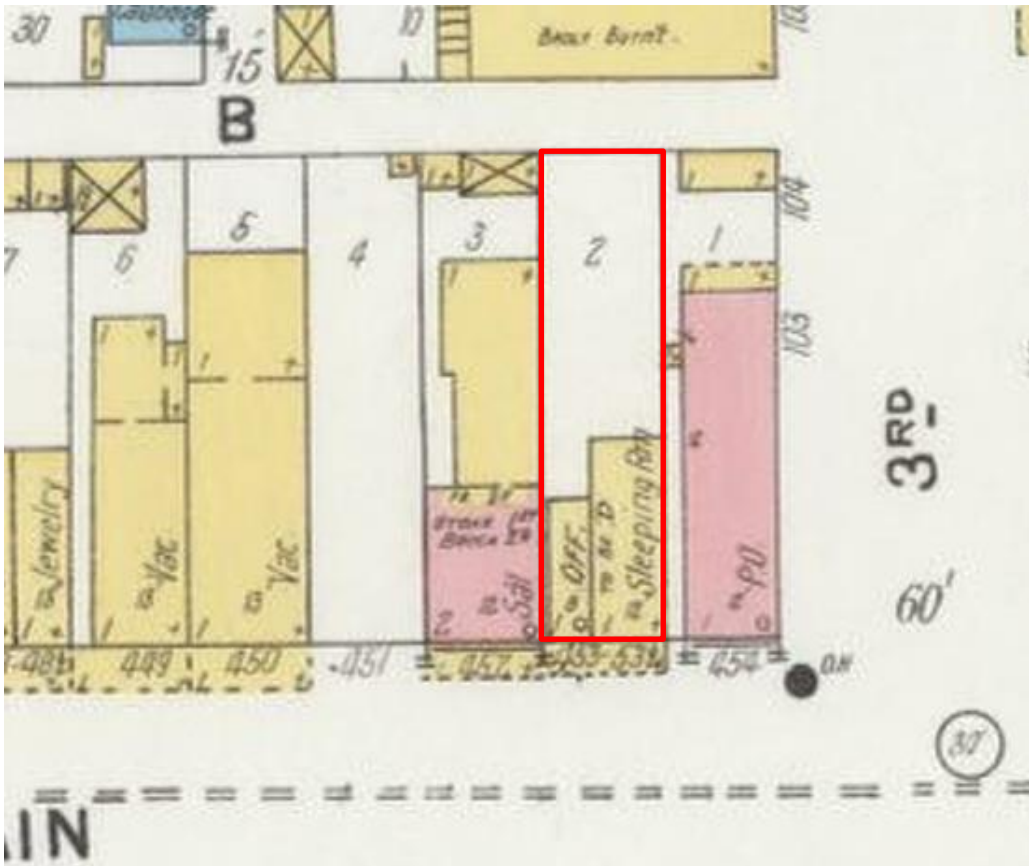


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 2 of block B. The property is outlined in red.

Date: 1893

Source: Library of Congress

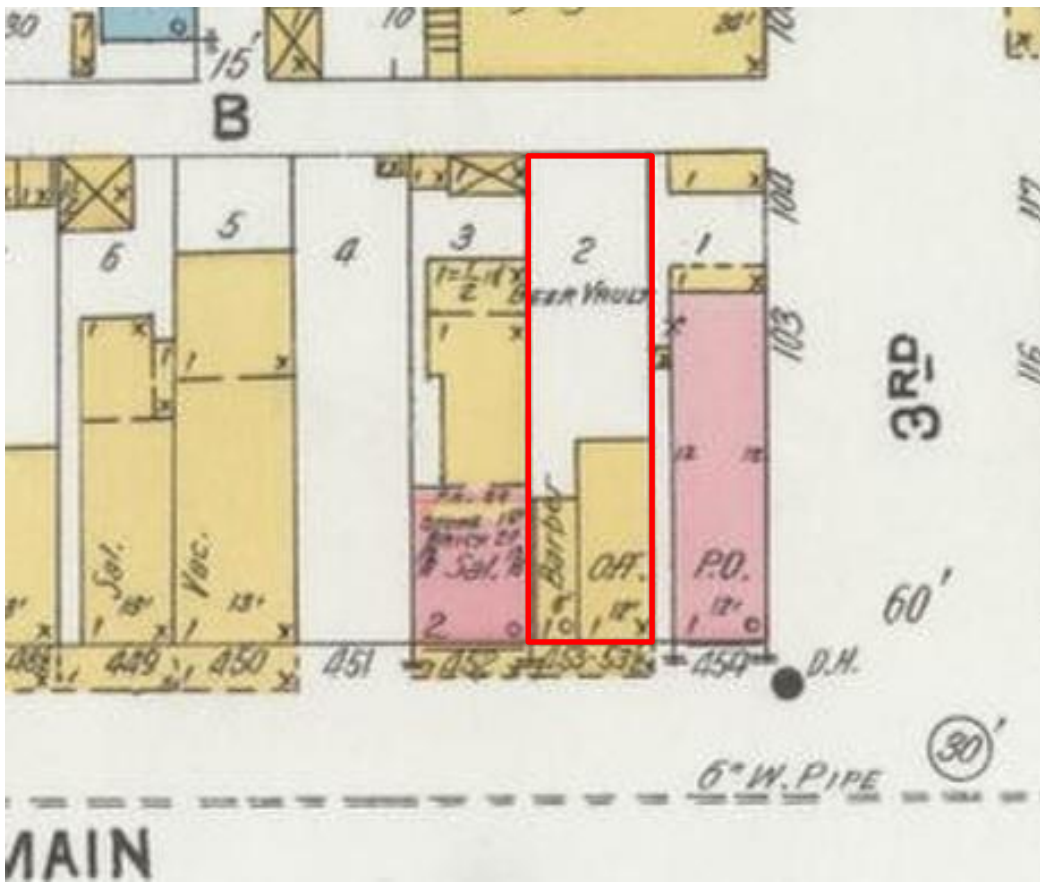


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: Barry & Anne Andersen Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 316 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331104007
- **9. Parcel Information: Lot(s): 5-9 Block: G Addition: Spencer's Addition
- **10. Acreage: 0.28 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 1 ;mE 282794 ;mN 4383073 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Minimal Traditional	Concrete	Stucco
Windows	Roof	Chimney	Porch
Picture window; one-over-one single hung sash; three-lite sliding sash; one-by-one sliding sash;	Side gable roof; asphalt shingles; overhanging eaves; exposed rafter tails under the eaves; wood shingles in the gable ends; lower side gable projection along north elevation	Metal flue	Partial length open porch along the north elevation; protected partial length elevated porch along the primary (west) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped residence was constructed in 1938 as shown through review of Garfield County Assessor's Office records. The approximately 32' by 44' residence is example of a vernacular form of Minimal Traditional style of architecture with minor decorative elements. Architectural features of the residence include a concrete foundation; side gable roof design; asphalt shingles; closed overhanging eaves; wood shingles in the gable ends; a metal flue chimney; a stucco exterior envelope; and a lower-level garage. Exposed rafter tails can be noticed under the eaves; however, a majority of the tails are obscured by fascia board for the mounting of gutters at some point. An elevated porch with a concrete staircase can be noticed in the center of the primary (west) elevation. The elevated porch leads to the main entryway consisting of a 12-lite wood door. The main entryway is capped by a front gable overhang with decorative wood shingles in the gable end. The overhanging is also supported by triangular brackets. The typical window consists of a one-over-one single hung sash with wood framing. Additional window configurations include picture; and three-lite

sliding sash units. A side gable addition was constructed along the north elevation of the building at some point. The addition incorporates a wide overhanging eave.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1938

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"311 East Main Street." Garfield County Assessor's Office. Parcel Number 212331104007. Accessed December 27, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1626508264&KeyVal=R380010>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 27, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 27, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

SKETCH PLAN *include approximate scale*



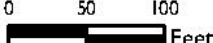



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor:
Photograph Log: <u>5GF.5931_1 to 5GF.5931_4</u>

See Attachment																			
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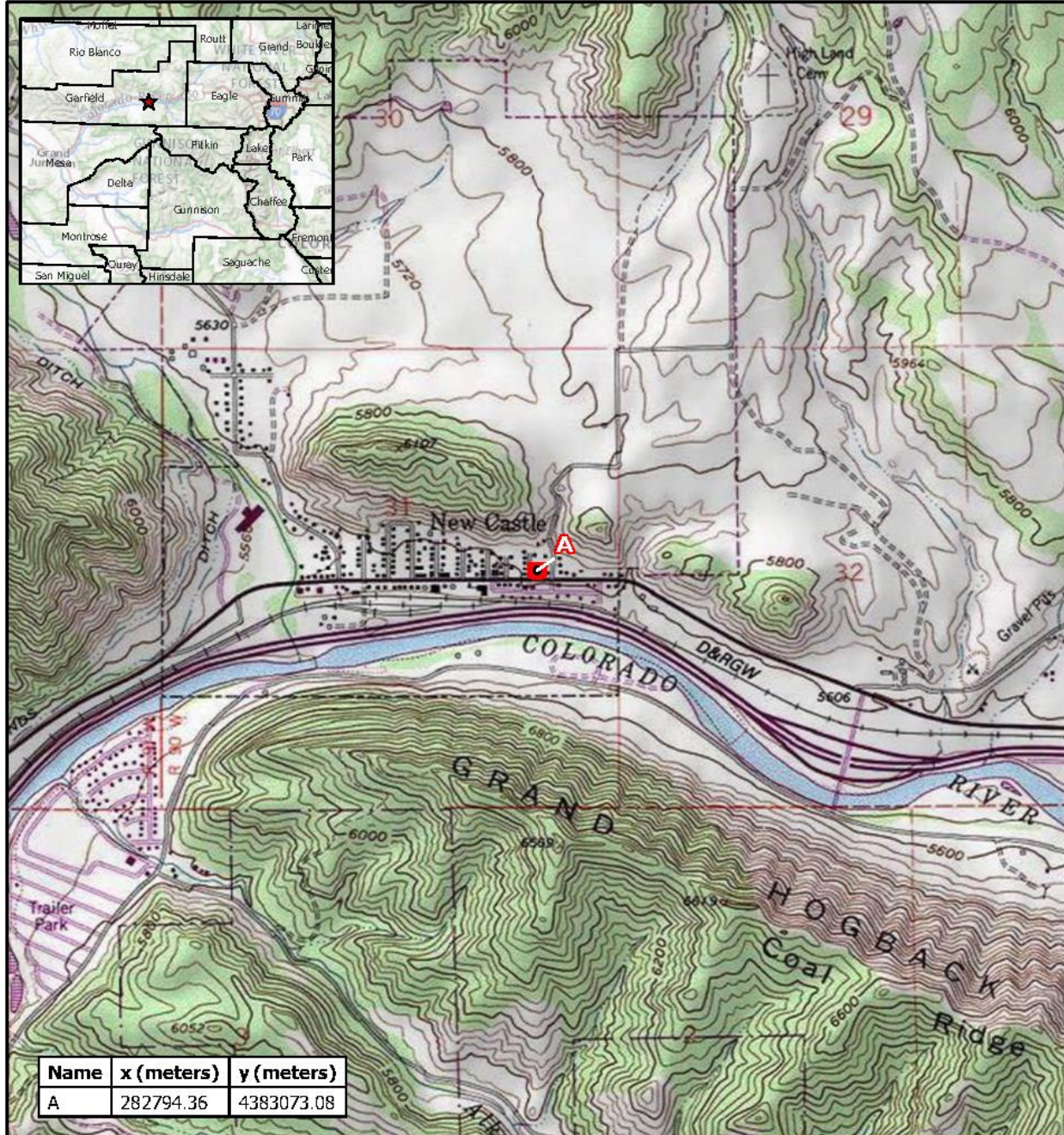
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 316 East Main Street (5GF.5931) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
		<p>Reviewed By: CMW</p>	<p>Date: 4/10/2023</p>

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Topographic Map



Name	x (meters)	y (meters)
A	282794.36	4383073.08

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

316 East Main Street (5GF.5931)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5931_1
Description: Looking at the south elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5931_2
Description: Looking at the primary (west) elevation of the building.
Date: 9/6/2022
View: East



Photo Number: 5GF.5931_3
Description: Looking at the south and east elevations of the residence.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5931_4
Description: Close up of the south and east elevations of the residence. Note the exposed rafter tails under the eaves that are partially obscured by the fascia board.
Date: 9/6/2022
View: Northwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Rock Saloon Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 316 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331109020
- **9. Parcel Information: Lot(s): 3, 4 Block: B Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.08 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282406 ;mN 4383082 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Nineteenth Century Commercial	Stacked stone	Stone masonry first level; brick masonry second level
Windows	Roof	Chimney	Porch
Segmental arches; one-over-one single hung sash; picture window; mixture of wood and metal frames; stone sills	Flat roof with stepped parapets; vertical soldier brick along cornice	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, L-shaped building was constructed in 1890 as shown through review of Garfield County Assessor's Office records. The approximately 100' by 50' building is representative of a Nineteenth Century Commercial style of architecture. Architectural features of the building include a stacked stone foundation; a flat roof with stepped parapets; an exterior envelope clad in stone masonry on the first level and brick masonry on the second level; vertical soldier brick along cornice; a brick masonry belt course underneath the cornice along the primary (south) elevation; segmental arch windows; metal awnings between the first and second floors of the façade; and an addition to the west elevation. The typical window consists of large rectangular picture window with a metal frame. A 10-lite window divided by metal muntins can be noticed along the left side of the primary (south) elevation. The main entryway is located in the center of the first level of the primary (south) elevation and consists of a wood panel door with a single lite. The second floor consists of several wooden one-over-over single hung sashes located within a segmental arch openings. These windows also incorporate a

decorative stone masonry sill. The center of the second floor consists of a wood panel door with a single lite. A third entryway is located on the left side of the primary (south) elevation.

Sanborn Fire Insurance maps between 1893 and 1904 demonstrate that an addition was made to the north elevation of the building. Historical imagery of the building in 1905 demonstrates that the building had a full length wood deck on the second floor of the primary (south) elevation. In addition, a corbelled brick cornice was present at the time. Around two and a half decades later, another historic image of the building circa 1930 reveals that the second-floor deck had been removed and the center entryway door had been replaced by a one-over-one single hung sash window. By the late Twentieth Century, a second entryway was constructed on the far-right side of the building, replacing a former picture window unit. The cornice was also altered, and the corbelled brick was removed, leaving the brick belt course. Historical aerial imagery between 2017 and 2019 demonstrates that an addition was made to the west elevation of the building. During this same period, the windows along the first floor of the primary (south) elevation were replaced; although, the historic main entryway was retained. The center window located on the center floor of the façade was also replaced by a wood panel door with a radiused pictured window.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial/Saloon

Current Function/Use (if different): Commercial/Bar & Restaurant

17. Date of Construction: 1890
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"Built about 1890, according to the Garfield County Assessor, this native stone and brick building was known as a the "Rock Saloon" because of its rock construction. Sanborn Insurance maps for 1893, 1899, and 1904 show the presence of a saloon on the ground floor of the building. In 1893, a grocery occupied the western half of the building, while a billiard parlor was housed in a one-story, rear, frame addition. The 1904 map showed a 'beer vault' present in the extreme rear of the building. According to John C. Ritter, Bert Petrini operated a saloon in the building. The State Business Directory shows a saloon operated by Petrini from 1905 to 1910. Charley Burrell later operated a 'pastime' in the building, with card tables, pool and billiard tables. After his appointment as postmaster, Burrell moved the post office to the structure where it remained from 1928 to 1985, when the new post office opened in the 100 block of West Main Street. An antiques store now occupies the building."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2378) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was determined Officially – Eligible by the Colorado Office of Archaeology and Historic Preservation (OAHF) in 2001.

23. Sources:

"316 West Main Street." Garfield County Assessor's Office. Parcel Number 212331109020. Accessed February 20, 2023.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=814310714&KeyValue=R380291>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022.

https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 20, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 20, 2023. <https://www.historicaerials.com>

"New Castle, Colo." Denver Public Library – Digital Collections. Accessed February 20, 2023.

<https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6554/rec/386>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "Rock Saloon (5GF.2378)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

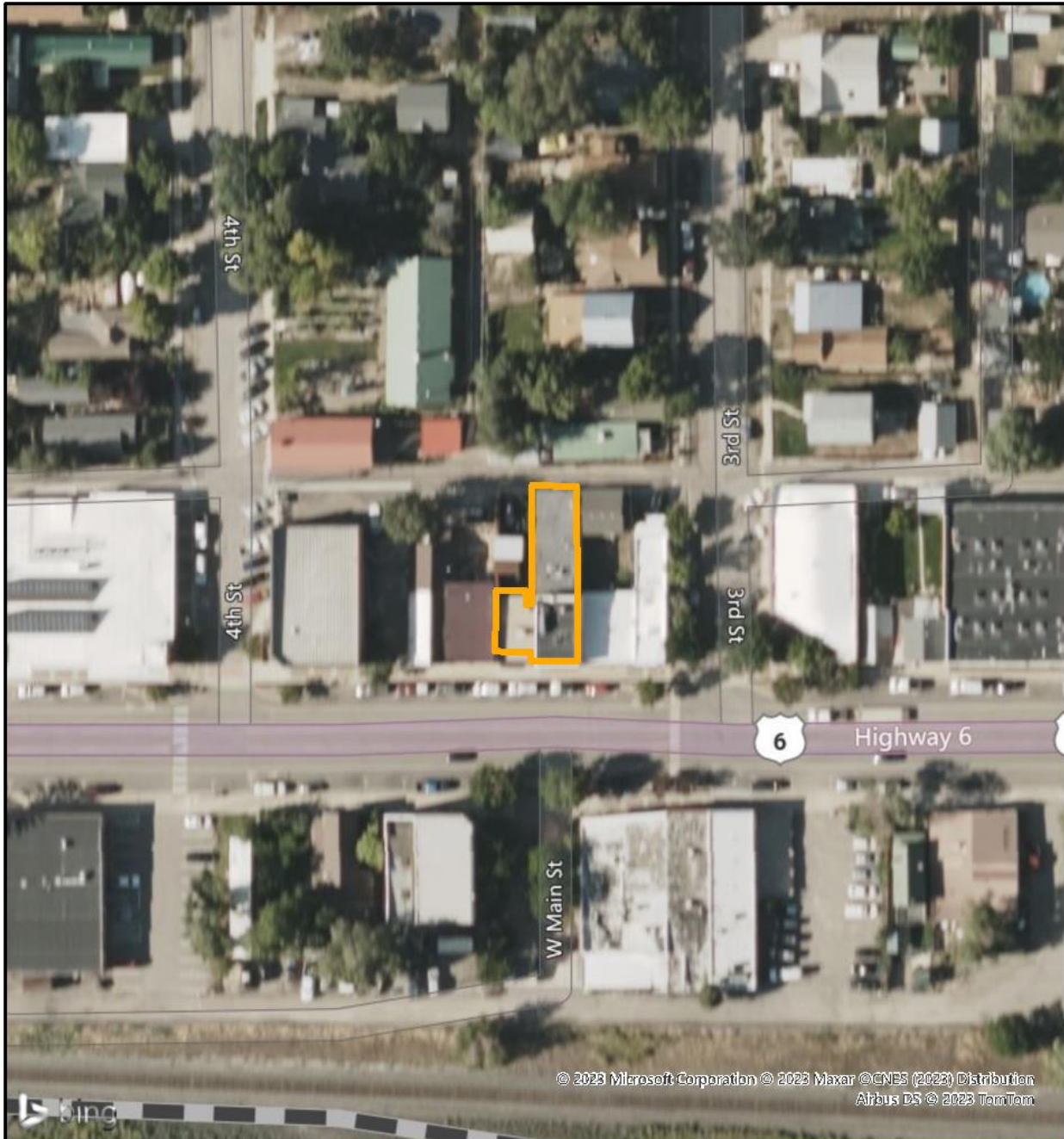
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.



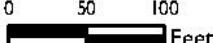

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

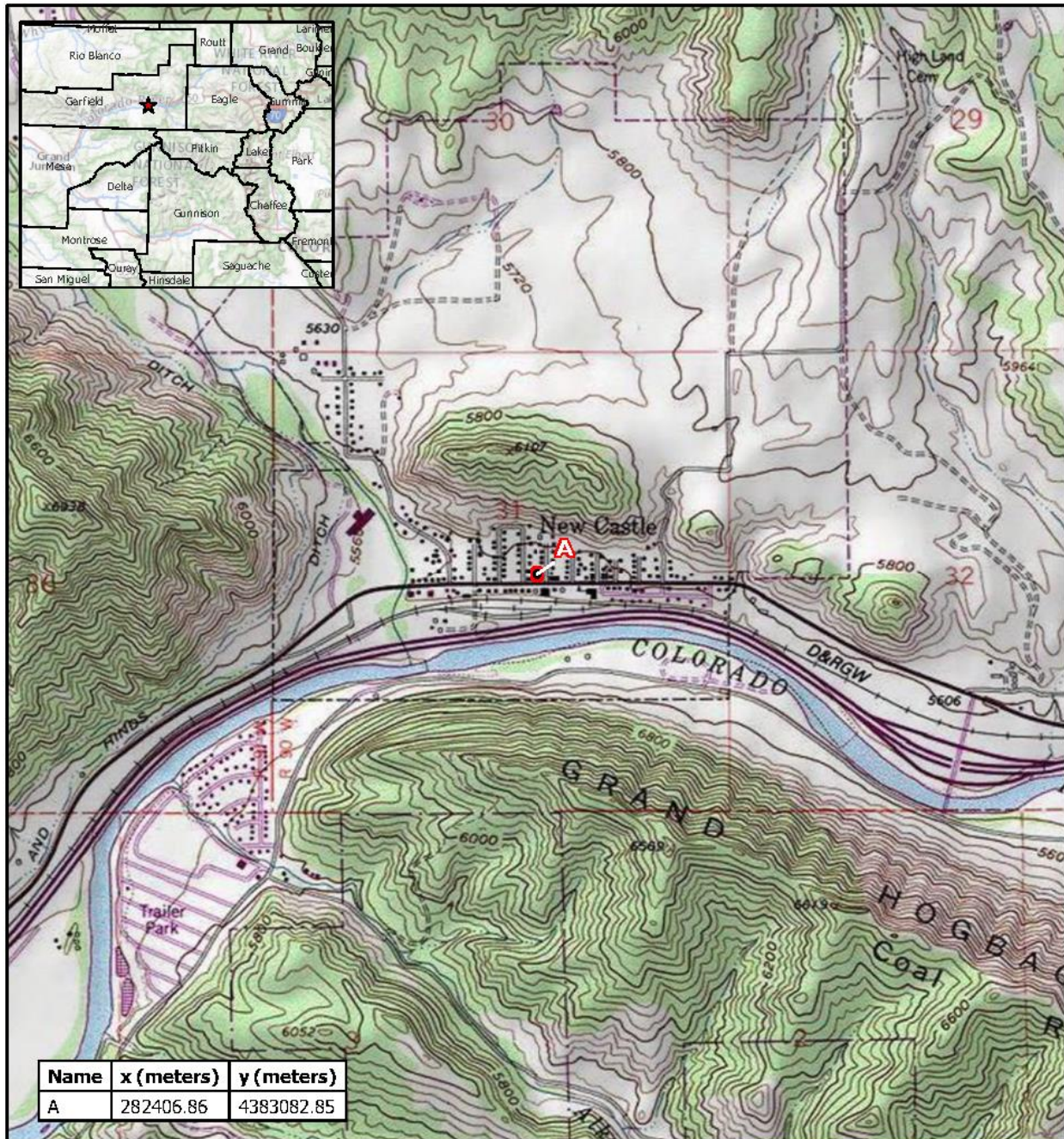
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 316 West Main Street (5GF.2378) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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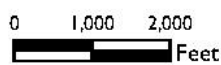
Topographic Map



Name	x (meters)	y (meters)
A	282406.86	4383082.85

Legend

 Resource Boundary



Topographic Map
 316 West Main Street (5GF.2378)
 New Castle, Colorado
 Garfield County

Drawn By: CJB	Figure: I
Reviewed By: CMW	Date: 4/10/2023

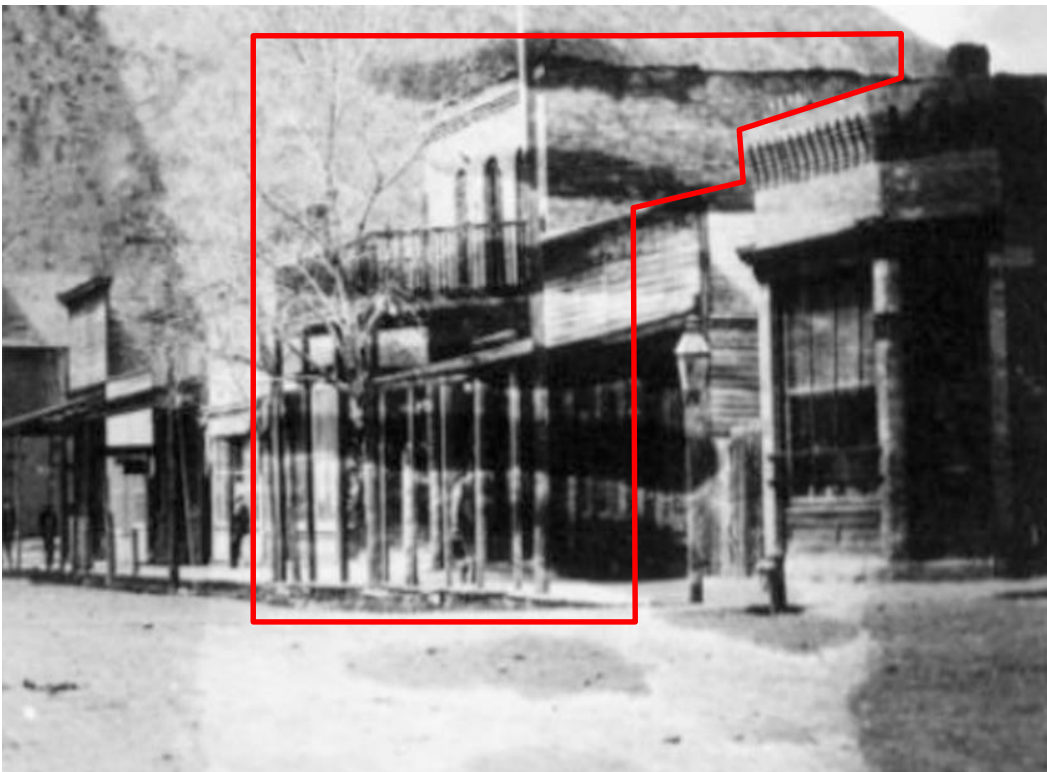
Pinyon Project Number: I 22156001

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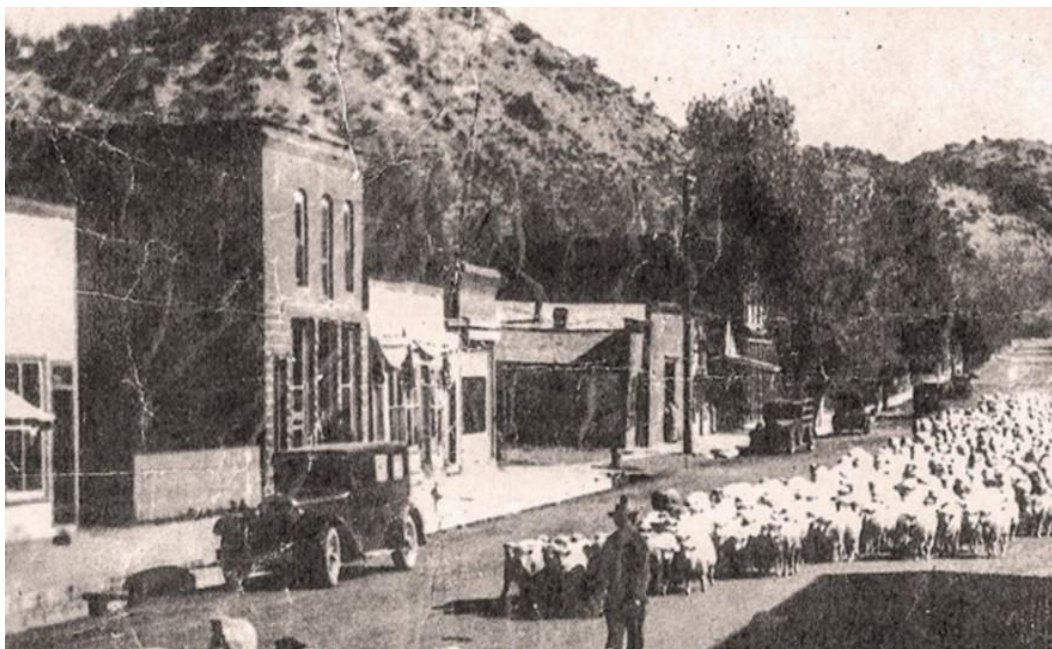
Site Photographs



Photo Number: 5GF.2378_1
Description: Looking at the primary (south) elevation of the building. Note that the left half of the building consists of the addition constructed between 2017 and 2019.
Date: 9/6/2022
View: North



Historic Photo 1
Description: Image of downtown New Castle between North 3rd Street and North 4th Street. Note that the resource is outlined in red.
Date: 1905
Source: Denver Public Library – Digital Collections [Not for publication]



Historic Photo 2

Description: Looking at the west and primary (south) elevation of the building. Note that the building is the two-story building on the far-left side of the photo.

Date: Circa 1930

Source: "A Walking Tour of Downtown New Castle" by the Town of New Castle.



Reference Photo 1

Description: Image title block states, "Rock Saloon - Post Office 1928-1985."

Date: Unknown

Source: New Castle Museum Collection

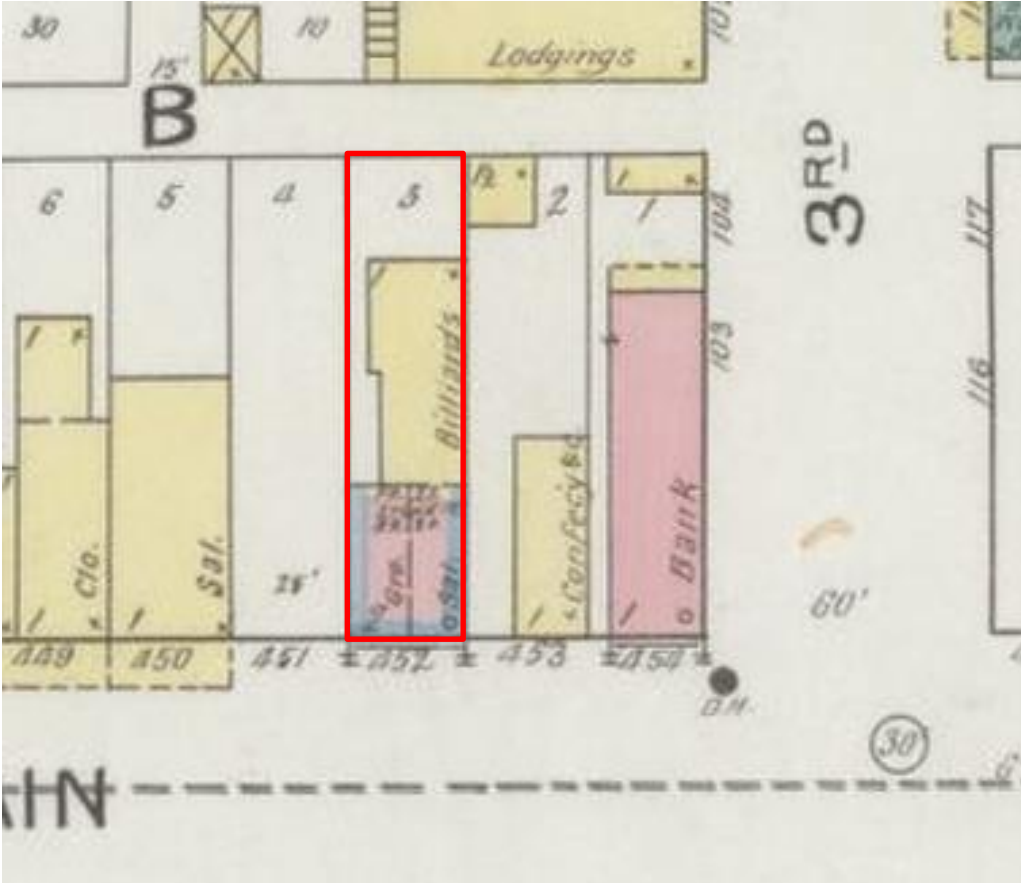


Reference Photo 2

Description: Looking at the primary (south) and west elevations of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2378)

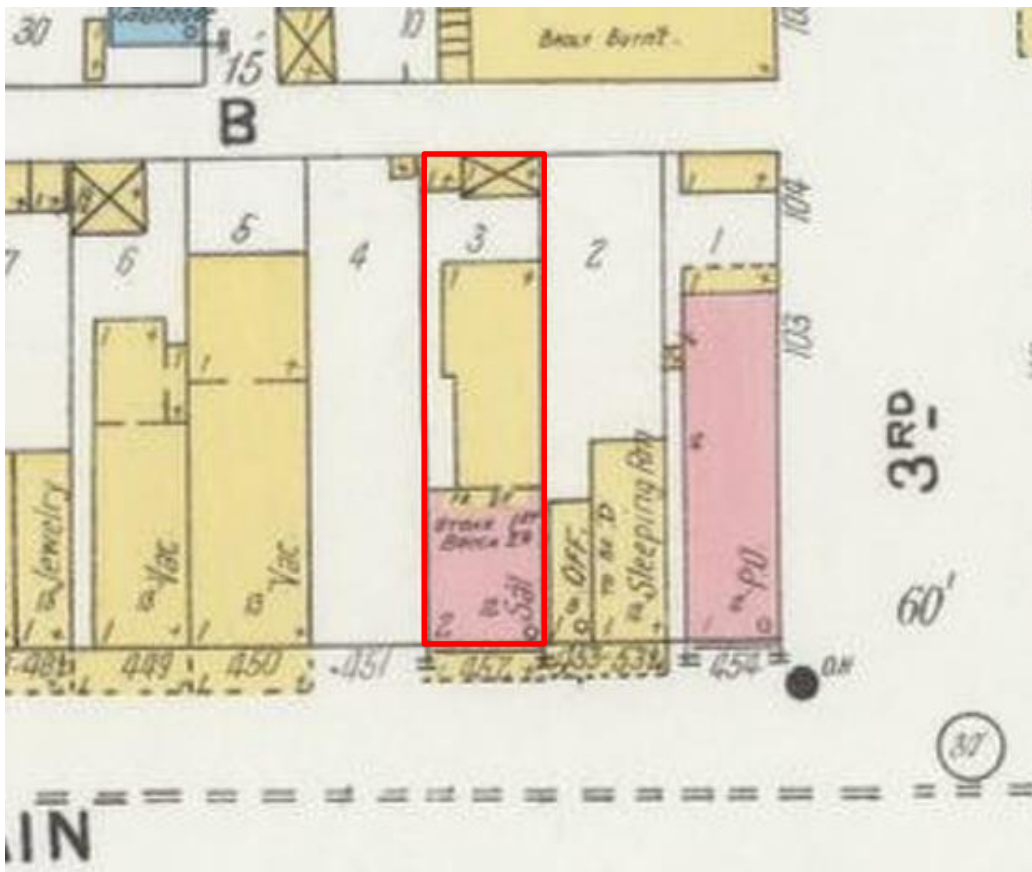


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 3 of block B. The property is outlined in red.

Date: 1893

Source: Library of Congress

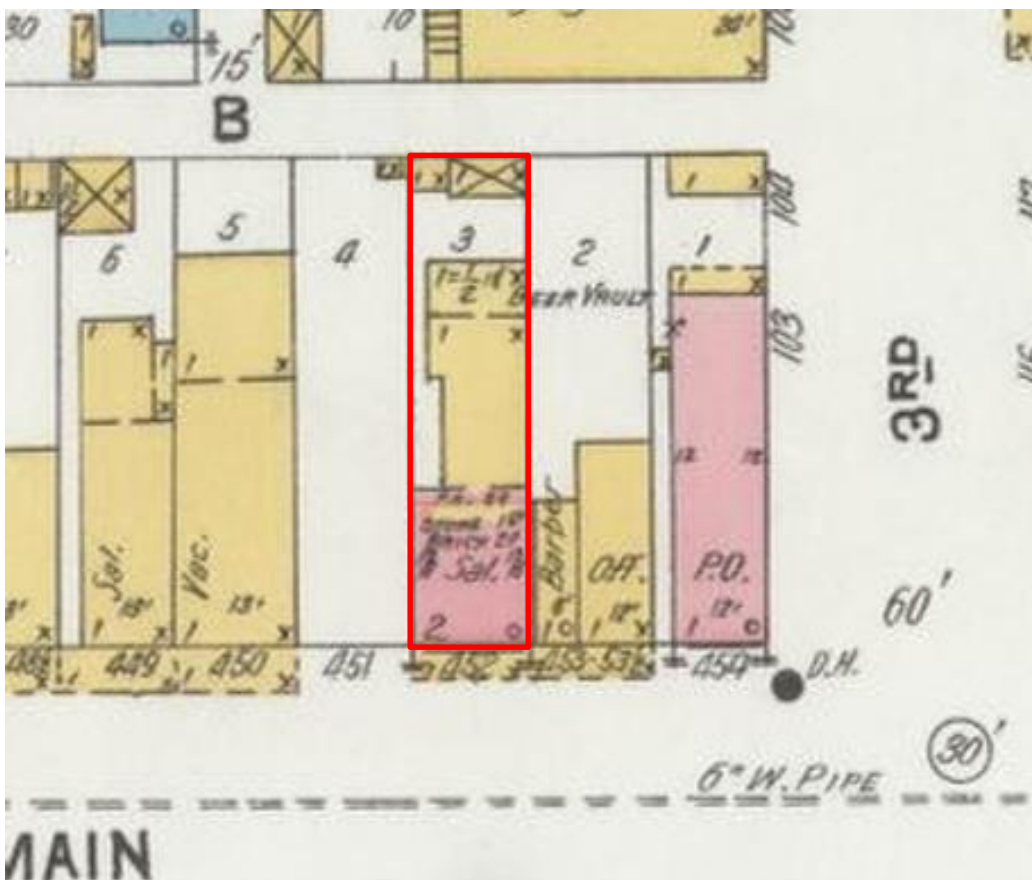


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Trimble Block Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 331 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331409002
- **9. Parcel Information: Lot(s): 2 Block: 7 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.04 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31

**Please check with your project sponsor to determine which fields are required, as not all locational

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282381 ;mN 4383026 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Nineteenth Century Commercial	Stacked stone	Brick Masonry; stone masonry belt course; checkerboard brick friezes; brick dentils
Windows	Roof	Chimney	Porch
One-over-one single hung sash; four-lite picture window; single lite transom; wood and stone masonry sills; stone lintels	Flat roof with stepped parapets; horizontal row of soldier brick along the cornice	N/A	Full length wood deck with staircase along the south elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, rectangular shaped building was constructed in 1895 as shown through review of Garfield County Assessor's Office records. The approximately 60' by 18' building is representative of a Nineteenth Century Commercial style of architecture. Architectural features of the building include a stacked stone foundation; a flat roof with stepped parapets; an exterior envelope clad in brick masonry; a horizontal row of soldier brick along the cornice; brick dentils; checkerboard brick friezes; a recessed main entryway; stone masonry window lintels and sills; a stone masonry belt course between first and second levels; and a transom above the main entryway. Decorative brickwork can be noticed underneath the cornice including brick dentils and checkerboard friezes. The typical window consists of a wooden one-over-one single hung sash with a stone masonry lintel and sill. The main entryway is located on the far-left side of the primary (north) elevation. The entryway is recessed into the exterior wall and incorporates a wood panel door with divided lites. The main doors are capped by a wooden single lite hopper transom. A large four-lite picture window divided by wood muntins is present between the right of the main entryway. The top lites of the window feature radiused edges. The window also

features a wood panel kickplate. Three typical window units can be seen in the center of the second floor of the west elevation. A full-length wood deck and a staircase are also present along the south elevation of the building.

Sanborn Fire Insurance maps between 1893 and 1904 demonstrate that a wood framed building occupied the lot before the current brick building was constructed in 1895. Historical imagery of the building in 1905 and the late Twentieth Century demonstrates minor change the exterior envelope of the building. Historical street imagery between 2012 and 2022 demonstrates that metal shrouding was added to the cornice of the building.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial

17. Date of Construction: 1895
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any:

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

“This building is not shown on the 1893 Sanborn map when a frame saloon is shown on this site. On the 1899 Sanborn map the building is shown and is indicated as ‘liquor store.’ W.H. Trimble operated a saloon in New Castle and is listed in the 1890 and 1900 Colorado Business directories. The 1895-97 directories show Trimble as operating a theater, and a theater and saloon (in 1898). The second floor of the building was a large hall used for entertainment, meetings, and dances; thus, the building became known as the Trimble Opera House. In 1904, the building is shown as the telephone office on the Sanborn map of that year. According to the New Castle Historical Society walking tour, the Colorado Telephone Company came to New Castle in 1901 and established its office in the Trimble Block, with Mrs. Eva Timbal as the first switchboard operator.”

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

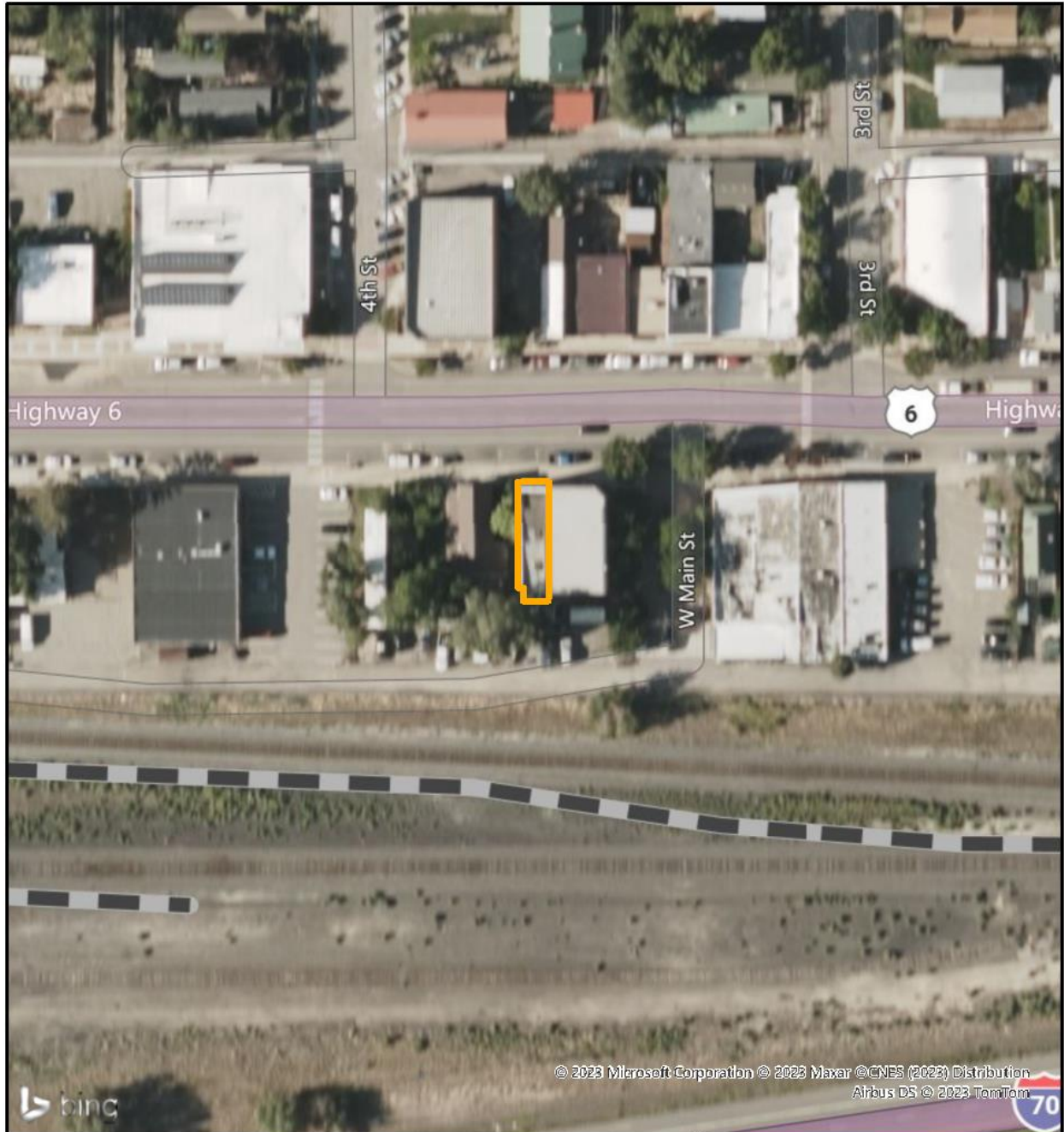
22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.



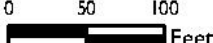
The resource (5GF.2379) was initially evaluated in June 1996 by Front Range Research Associates, Inc. and was determined Officially – Eligible by the Colorado Office of Archaeology and Historic Preservation (OAHP) in 2001.

23. Sources:

- "331 West Main Street." Garfield County Assessor's Office. Parcel Number 212331409002. Accessed February 21, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=330842152&KeyValue=R380294>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 21, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 21, 2023. <https://www.historicaerials.com>.
- "New Castle, Colo." Denver Public Library – Digital Collections. Accessed February 21, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6554/rec/386>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- Front Range Associates, Inc. "Trimble Block (5GF.2379)." Historic Building Inventory Record – Colorado Historical Society, June 1996.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

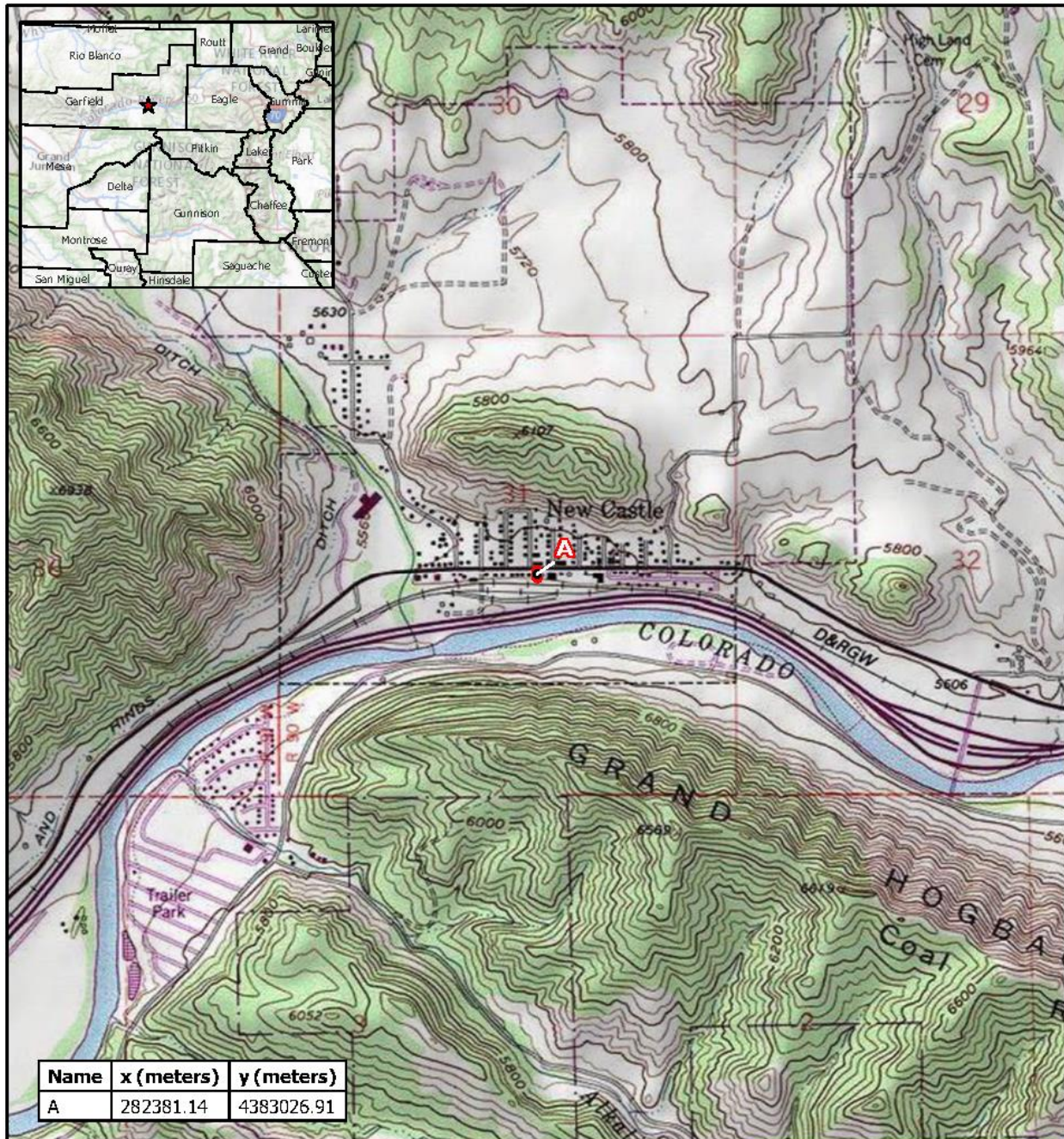
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 331 West Main Street (5GF.2379) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282381.14	4383026.91

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

331 West Main Street (5GF.2379)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs

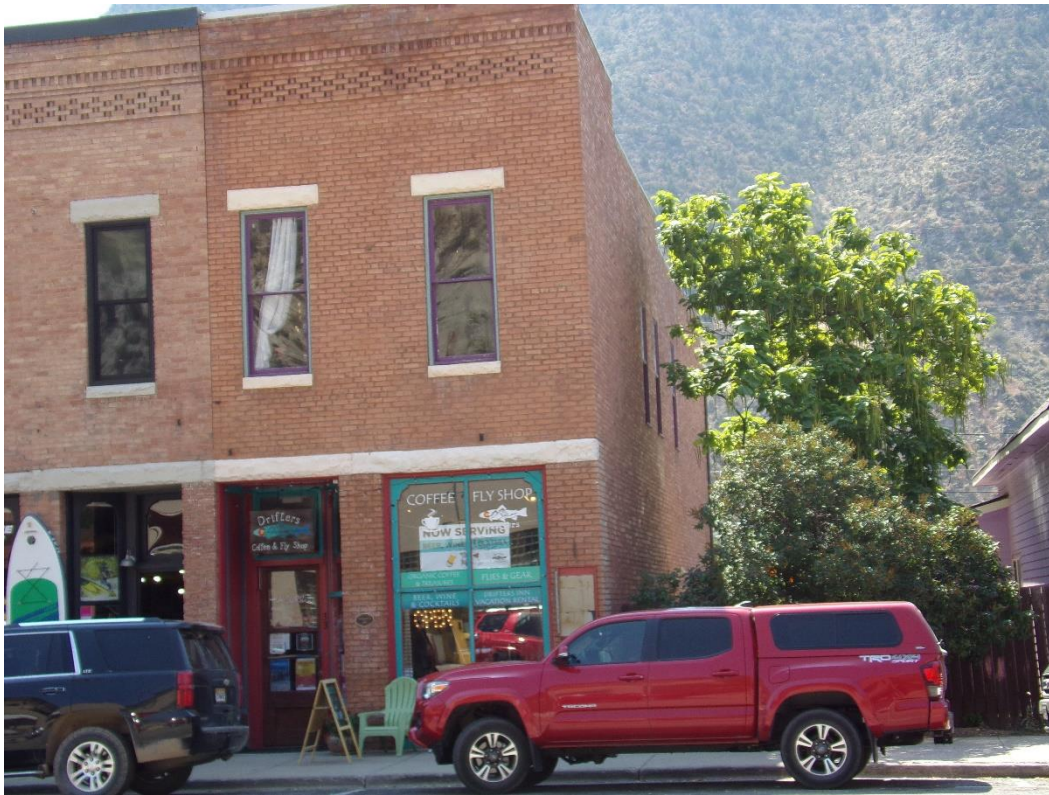


Photo Number: 5GF.2379_1
Description: Looking at the primary (north) and west elevations of the building. Note the decorative brickwork below the cornice.
Date: 9/6/2022
View: Southeast



Reference Photo 1
Description: Looking at the primary (north) and west elevations of the building.
Date: 9/6/2022
Source: 1996 OAHP Historic Building Inventory Record (5GF.2379)

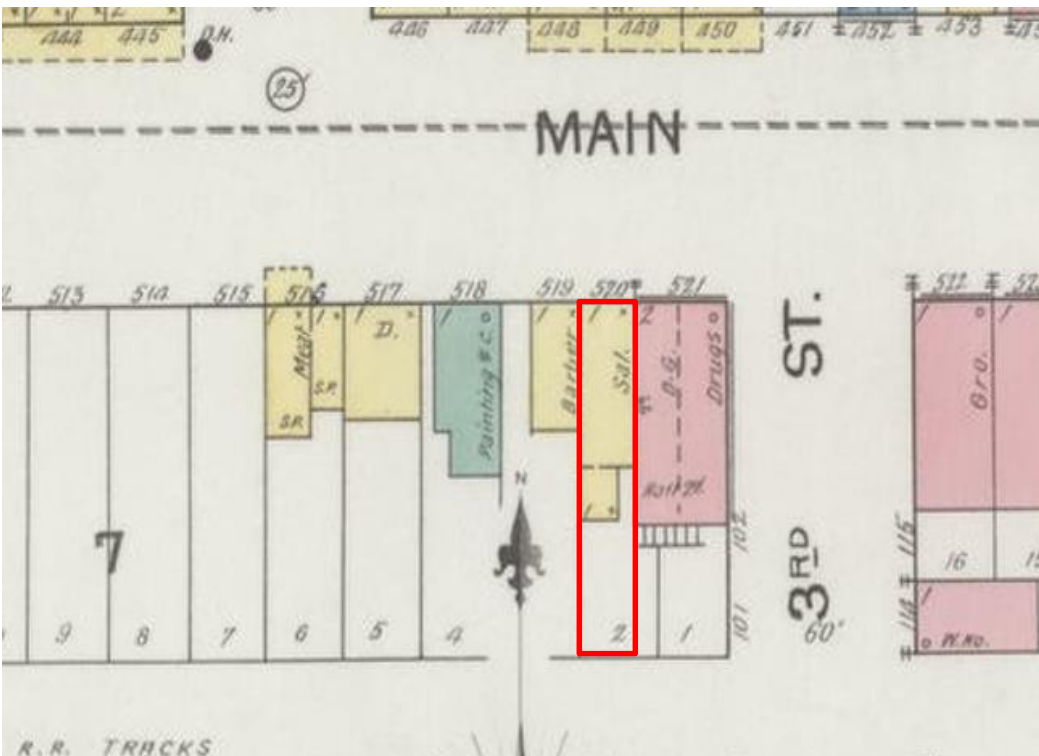


Reference Photo 2

Description: The building is located on the right side of the photo.

Date: Unknown

Source: New Castle Museum Collection

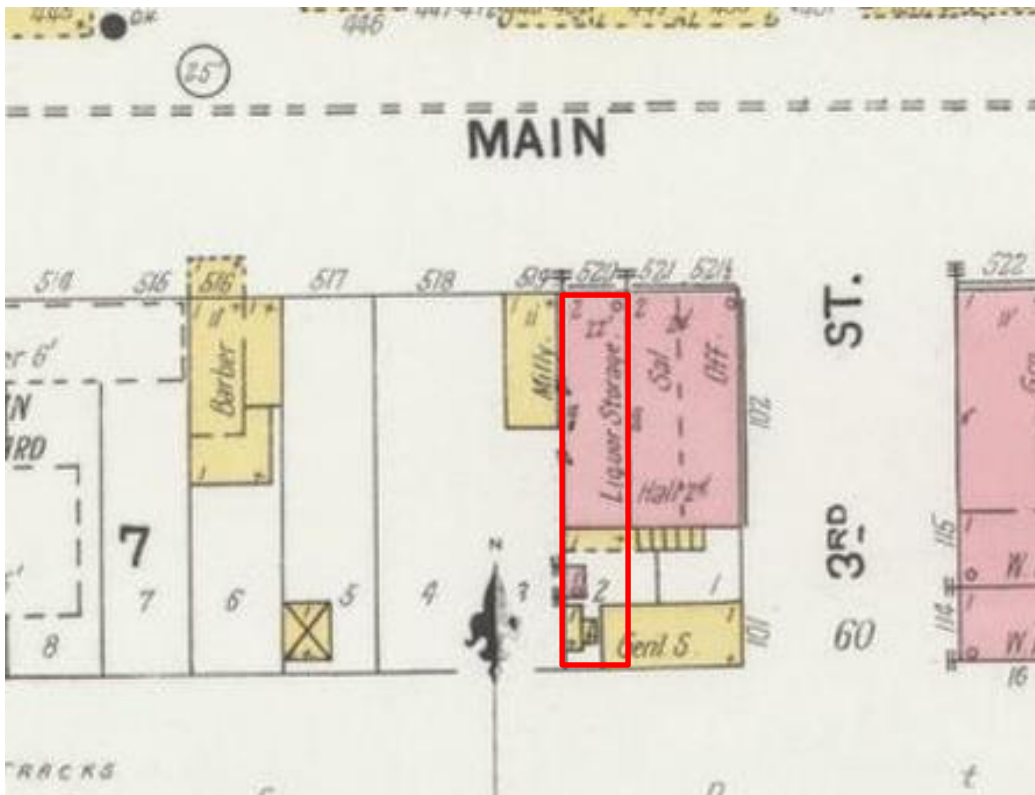


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map demonstrating the former wood framed saloon that was present on the lot before the current resource was constructed in 1895. The property is outlined in red.

Date: 1893

Source: Library of Congress

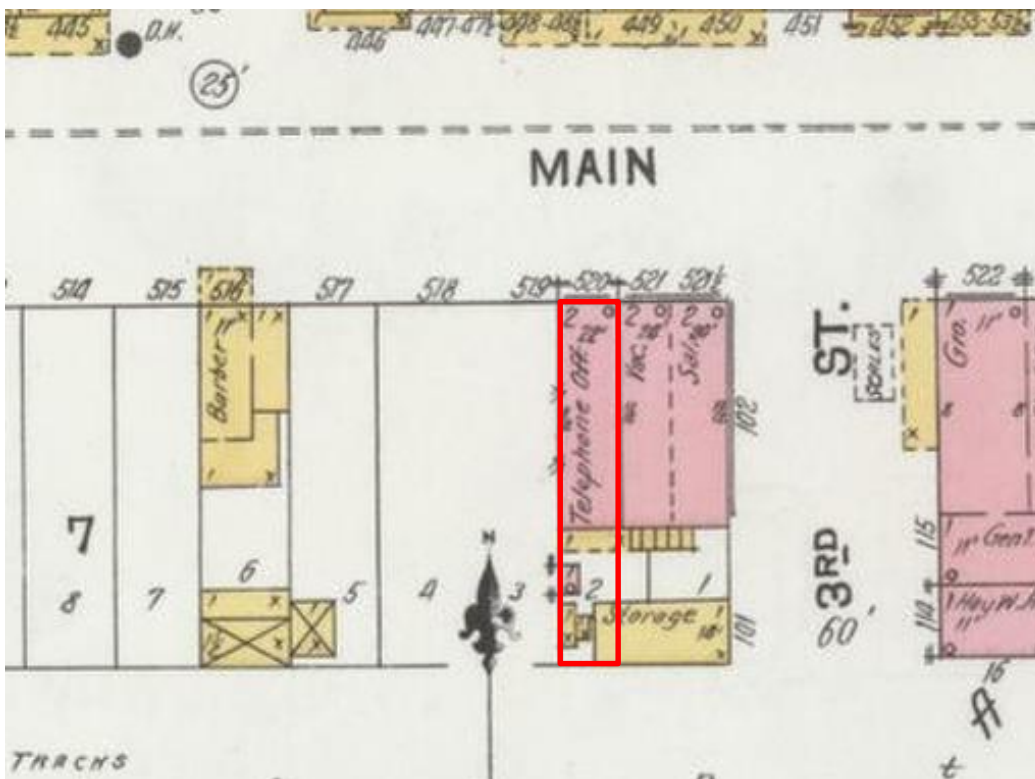


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource after its construction 4 years earlier. The building is located partially on lot 2 of block 7. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Marquardt Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 333 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331409009
- **9. Parcel Information: Lot(s): 3, 4 Block: 7 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31

**Please check with your project sponsor to determine which fields are required, as not all locational

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282369 ;mN 4383026 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5-story	Vernacular Queen Anne	Poured concrete	Horizontal weatherboard siding
Windows	Roof	Chimney	Porch
One-over-one single hung sash; two-over-two single hung sash; picture window; bay window; elliptical window; wooden lintel, sill, and casings	Front gable; asphalt shingles; closed overhanging eaves; decorative half cove shingles in the gable ends; pediment along north elevation	Metal flu	Particle length porch with shed roof overhang along primary (west) elevation; full length enclosed hipped roof porch and a full length deck along the south elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, rectangular shaped building was constructed in 1909 as shown through review of Garfield County Assessor’s Office records. The approximately 54’ by 34’ building is a vernacular form of Queen Anne style of architecture. The residence features a poured concrete foundation; a front gable roof clad in asphalt shingles; closed overhanging eaves; an exterior envelope clad in horizontal weatherboard siding; a pediment along the north elevation; a bay window; a particle length porch with shed roof overhang along the primary (west) elevation; and a full length enclosed hipped roof porch and a full length deck along the south elevation. The typical window consists of a one-over-one single hung sash with a wood lintel, sill, and casings. However, two-over-two single hung sash; picture windows; and a bay window are also present along the exterior envelope of the building. Decorative half cove shingles can be noticed in the gable end of the north elevation. The main entryway is located along the primary (west) elevation. A bay window incorporating a center picture window flanked by typical windows is located to the left of the main entryway. Decorative panel kickplates

can be noticed below the bay window. These features are protected by a shed roof overhang to a particle length porch. The overhang is supported by architectural support columns and porch railing features architectural spindlework. A full-length enclosed porch is located along the south elevation as well as a full-length unprotected deck.

Historical aerial imagery between 1960 and 1982 demonstrates that the full-length hipped roof enclosed porch was constructed along the south elevation of the building. Historic street imagery between 2009 and 2022 reveals that three typical window units along the north elevation were placed by large picture window flanked by two-over-two single hung sash windows. At some point, the bay window was constructed along the primary (west) elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1909

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"331 West Main Street." Garfield County Assessor's Office. Parcel Number 212331409009. Accessed February 22, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1464504365&KeyVal=R380399>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 22, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

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Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

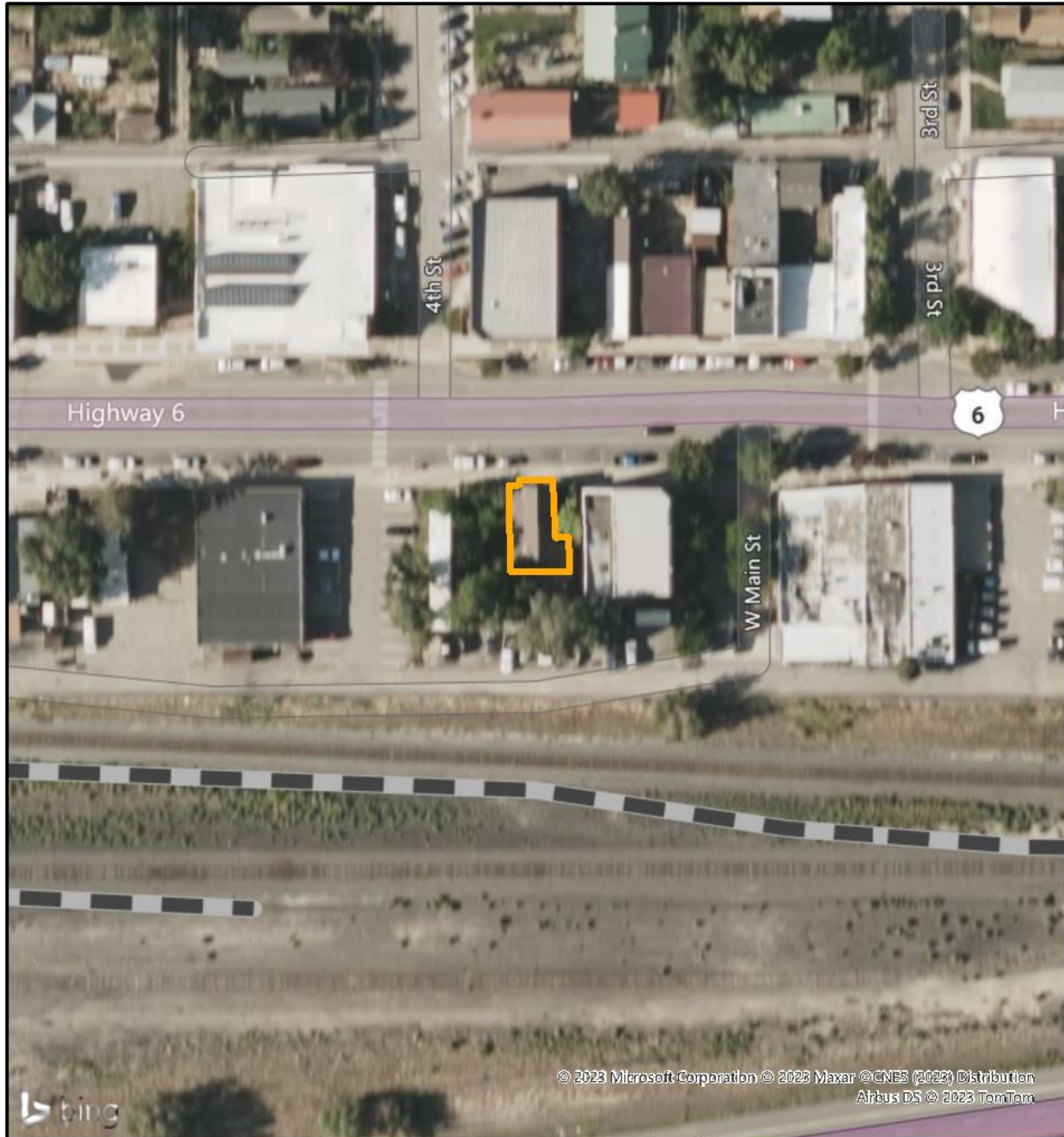
SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5914_1 to 5GF.5914_3, and 2 reference photos</u>



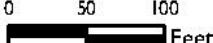
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Sketch Map



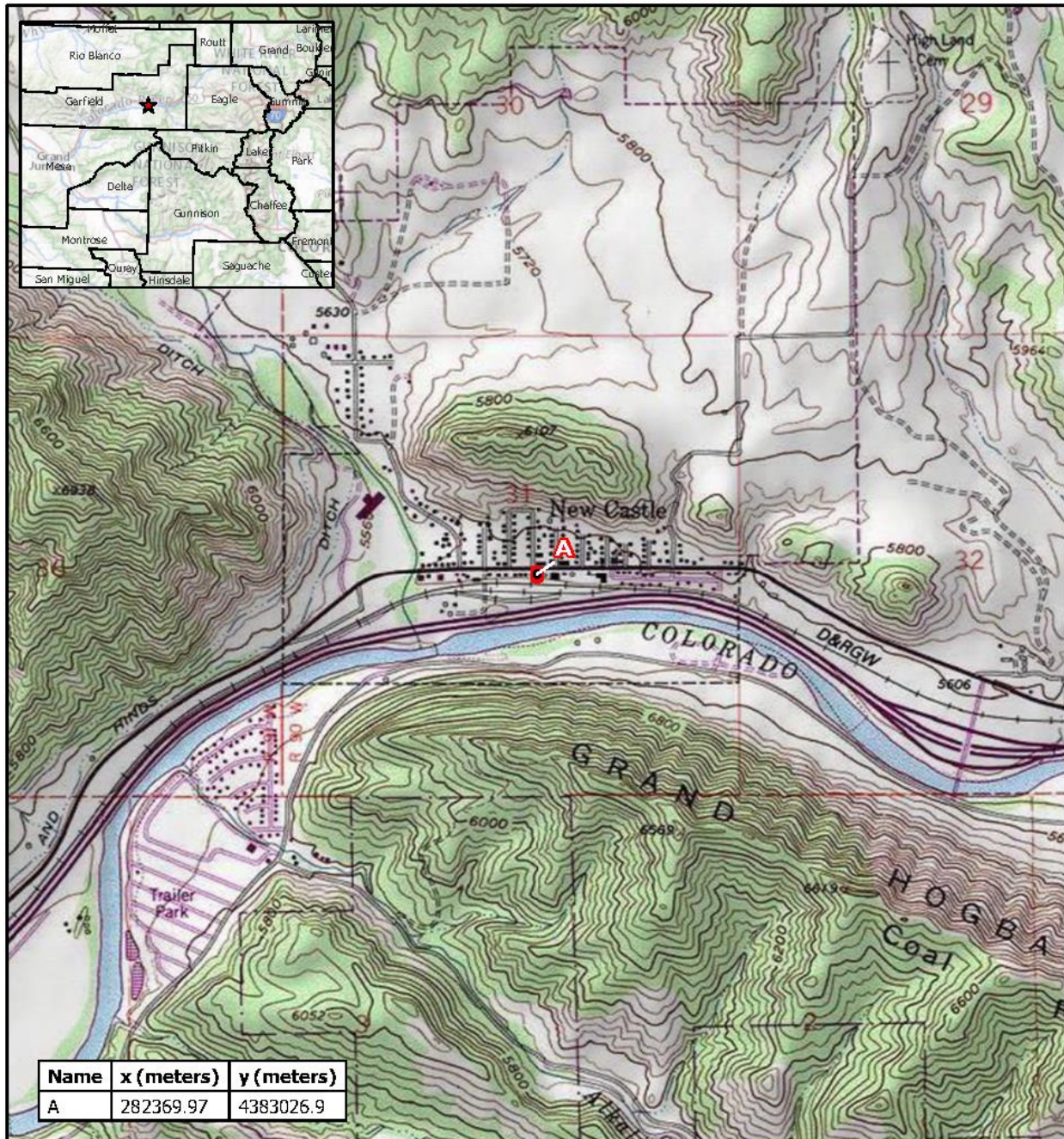
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© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 333 West Main Street (5GF.5914) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282369.97	4383026.9

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

333 West Main Street (5GF.5914)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5914_1
Description: Looking at the north elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.5914_2
Description: Looking at the north and primary (west) elevations of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5914_3
Description: Looking at the east and north elevation of the building.
Date: 9/6/2022
View: Southwest



Reference Photo 1
Description: Looking at the west and north elevations of the residence.
Date: Unknown
Source: New Castle Museum Collection



Reference Photo 2

Description: Looking at the north and primary (west) elevations of the building.

Date: circa 2009

Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Eicher Property Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 335 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **8. Parcel Number:
- **9. Parcel Information: Lot(s): 5, 6 Block: 7 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282353 ;mN 4383027 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Prefabricated mobile trailer	N/A	Corrugated metal
Windows	Roof	Chimney	Porch
One-by-one sliding sash; picture window; vinyl frames; faux shutters along the primary (east) elevation	Shallow barrel roof; metal roof; overhanging eaves along north and south elevations	Metal flu	Concrete patio located along the primary (east) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1971 as shown through review of Garfield County Assessor’s Office records. The approximately 74’ by 12’ residence is representative of a prefabricated mobile house. Architectural features of the building include a shallow barrel roof; an exterior envelope clad with corrugated metal; a metal flue chimney; and faux window shutters along the primary (east) elevation. Overhanging eaves can be noticed along the north and south elevations of the building. The typical window consists of a one-by-one sliding sash. These windows are replacements due to their vinyl construction. Picture windows are also present on several elevations. Faux shutters to typical windows are evident along the primary (east) elevation. The main entryway is located on the right side of the primary (east) elevation. A wood staircase leads to the elevated entryway. A corrugated metal skirt lines the ground and bottom floor of the mobile house. A secondary entryway is located along the right side of the west elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1971
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

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"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

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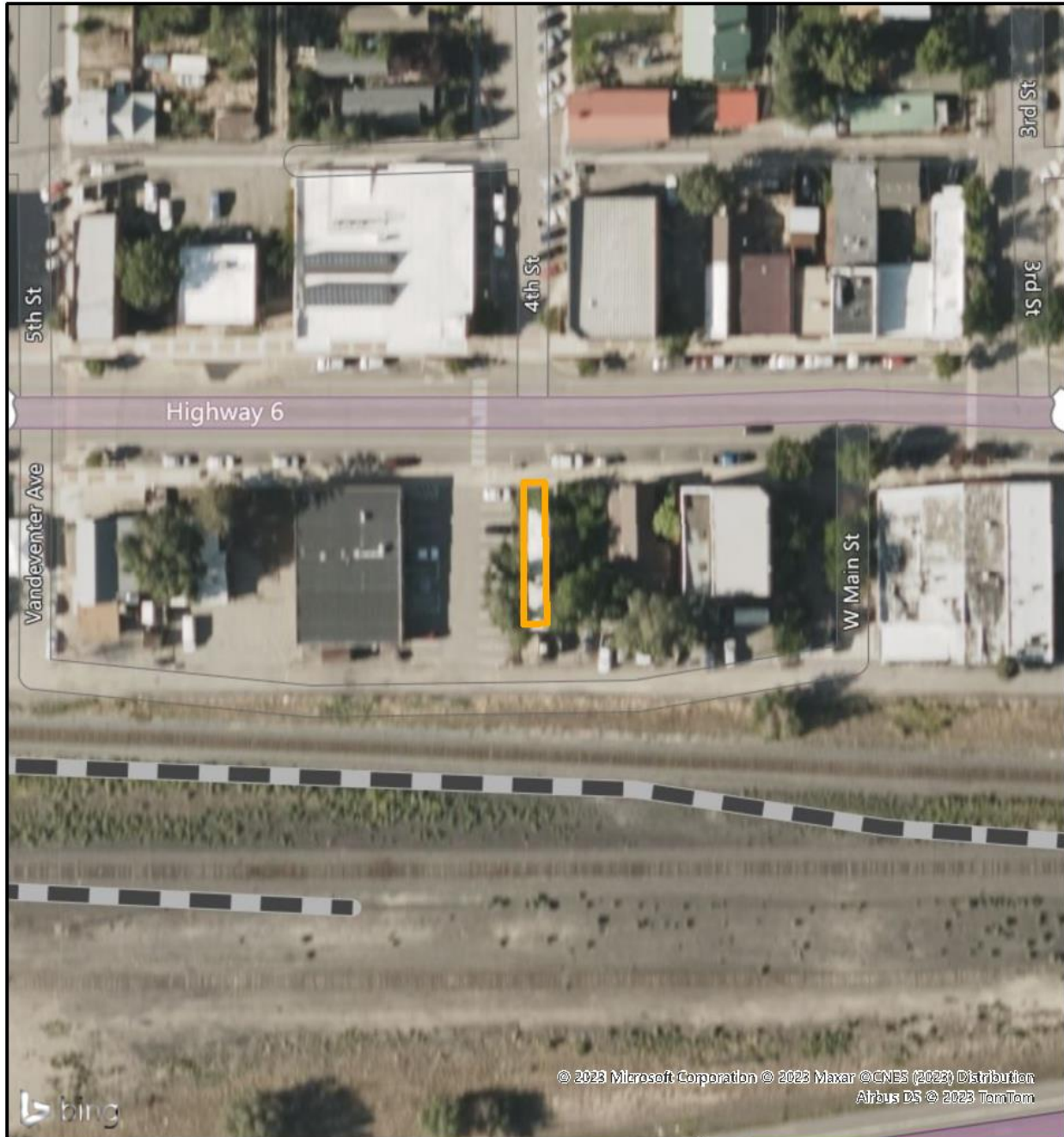
SKETCH PLAN *include approximate scale*



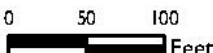



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5913_1 to 5GF.5913_3</u>

See Attachment																			
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Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 335 West Main Street (5GF.5913) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

Docu: new: Path: C:\Users\downes\Desktop\CU\New Castle\Borch R\122156001 New Castle Haztec Survey\122156001 New Castle Haztec Survey.aprx

Site Photographs



Photo Number: 5GF.5913_1
Description: Looking at the north elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.5913_2
Description: Looking at the north and east elevations of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5913_3
Description: Looking at the primary (east) elevation of the building.
Date: 9/6/2022
View: Southwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Gerstner Building Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 366 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331109019
- **9. Parcel Information: Lot(s): 5, 6 Block: B Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.06 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282391 ;mN 4383083 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	False Front Commercial	Poured concrete	Brick masonry structural system clad in stucco
Windows	Roof	Chimney	Porch
Glass block windows; transom	False front with stepped parapet; front gable behind false front; corrugated metal	Metal flu	Unprotected patio along the north elevation.

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, L-shaped building was constructed in 1928 as shown through review of Garfield County Assessor's Office records. The approximately 58' by 48' building is representative of a False Front Commercial style of architecture. Architectural elements of the building consist of a poured concrete foundation; a false front with stepped parapets and clad in corrugated metal; a brick masonry structural system clad in stucco; a recessed main entryway; and glass block windows. The typical window consists of glass blocks. The main entryway is located in the center of the primary (south) elevation. The main door consists of a four-lite door that is capped by a single-lite transom. A four-lite sidelite is also located to the right of the door. A secondary entryway is located on the right side of the façade and leads to the single apartment unit. Several sconces and a wall mounted post for signage can also be noted along the primary (south) elevation. The west elevation consists of six typical windows. An unprotected patio is located along the right side of the north elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial Current Function/Use (if different): Vacant/Residential

17. Date of Construction: 1928 Estimated Actual (include source): Garfield County Assessor's Office

18. Other Significant Dates, if any: Prior to the resource's construction, Sanborn Fire Insurance maps between 1893 and 1904 indicate that a clothing store and a saloon occupied lots 5 and 6 of block B. These buildings are illustrated as being wood frame at the time. It is unclear why these buildings were demolished or replaced; however, the current resource was later constructed on these lots in 1928.

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"366 West Main Street." Garfield County Assessor's Office. Parcel Number 212331109019. Accessed February 20, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1206583088&Key=R380273>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 20, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 20, 2023. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

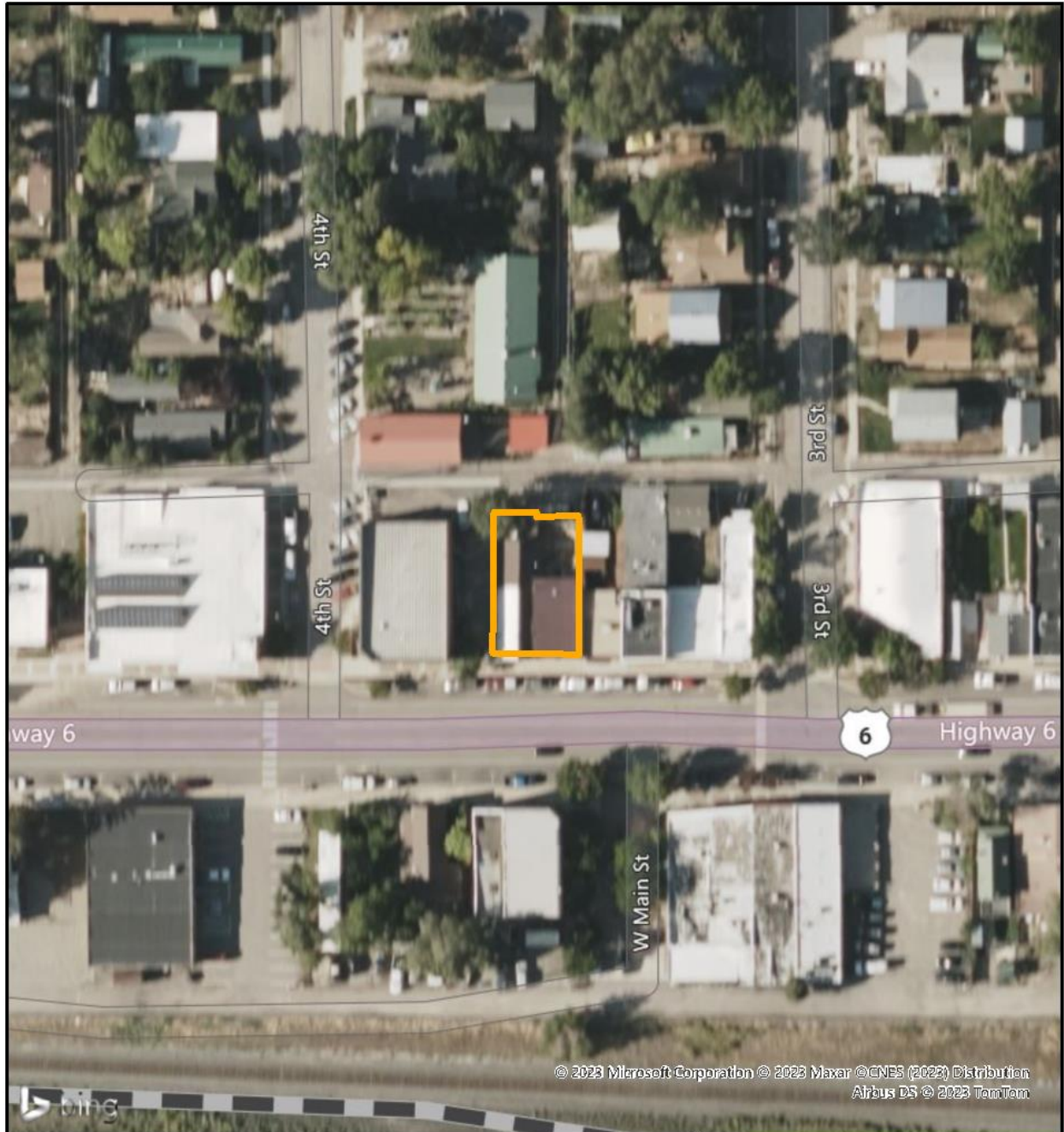
SKETCH PLAN *include approximate scale*



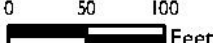



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5912_1 to 5GF.5912_2</u>

See Attachment																			
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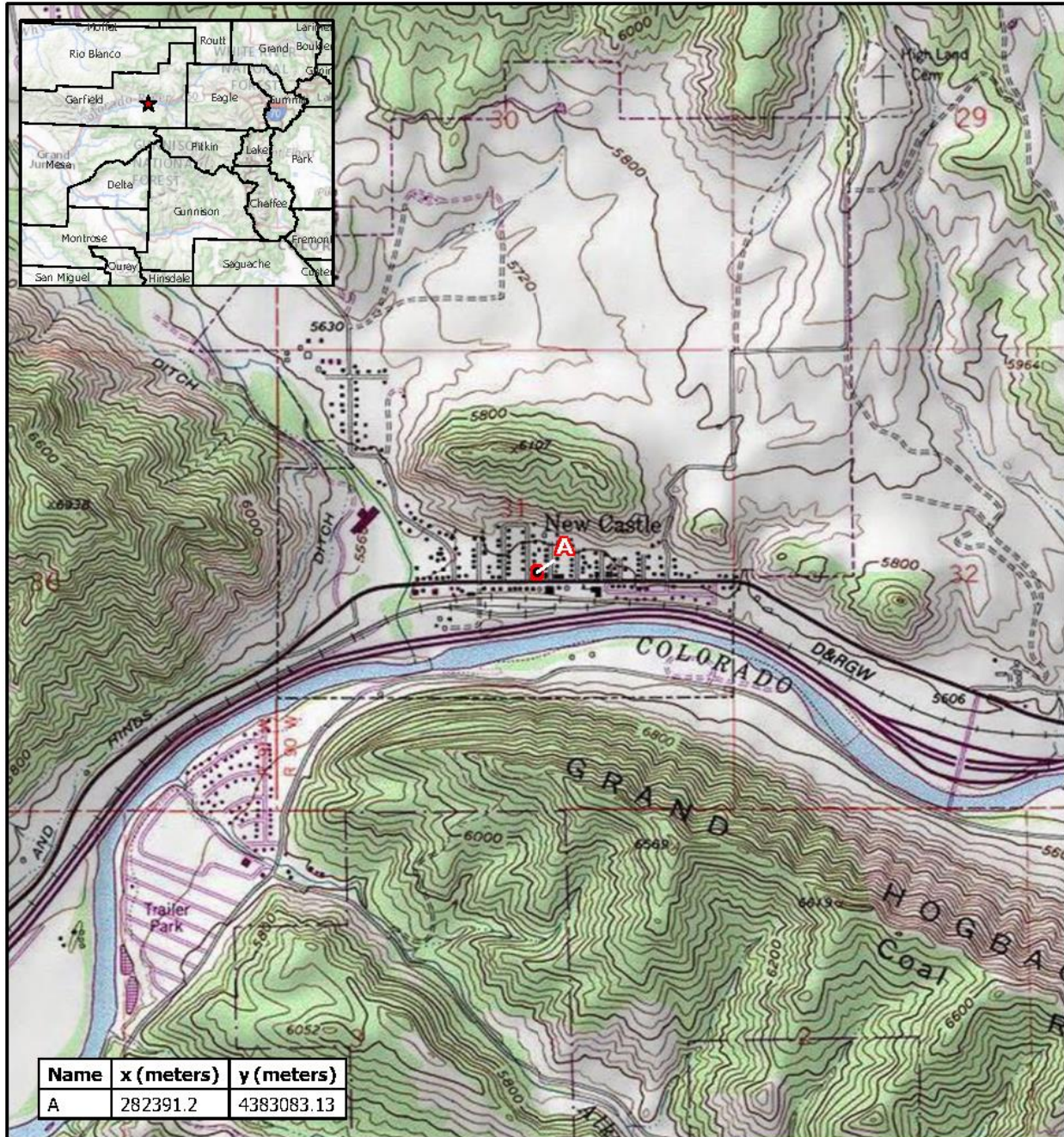
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 366 West Main Street (5GF.5912) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
		<p>Reviewed By: CMW</p>	<p>Date: 4/10/2023</p>


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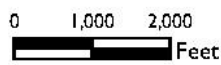
Topographic Map



Name	x (meters)	y (meters)
A	282391.2	4383083.13

Legend

 Resource Boundary



Topographic Map

366 West Main Street (5GF.5912)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5912_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5912_2
Description: Looking at the west and primary (south) elevations of the building.
Date: 9/6/2022
View: Northeast

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: 376 West Main Street Property Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 376 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331109018
- **9. Parcel Information: Lot(s): 7 Block: B Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SW ¼ of SW ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282379 ;mN 4383083 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
N/A	N/A	N/A	N/A
Windows	Roof	Chimney	Porch
N/A	N/A	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.): No building is currently extant on the property. The building appears to have been destroyed circa 2007 as shown through review of historical aerial imagery.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: N/A Current Function/Use (if different): N/A
17. Date of Construction: N/A Estimated Actual (include source): N/A
18. Other Significant Dates, if any: The building on the property was destroyed circa 2007.

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "376 West Main Street." Garfield County Assessor's Office. Parcel Number 212331109018. Accessed April 3, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=48717001&KeyValue=R380292>.
- "Document Search." Garfield County Clerk and Recorder Office. Accessed April 3, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." NETROnline. Accessed April 3, 2023. <https://www.historicaerials.com>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- McAlester, Virginia S. A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. Field Guide to Colorado's Historic Architecture & Engineering. Denver: State Historic Society of Colorado, 2008.

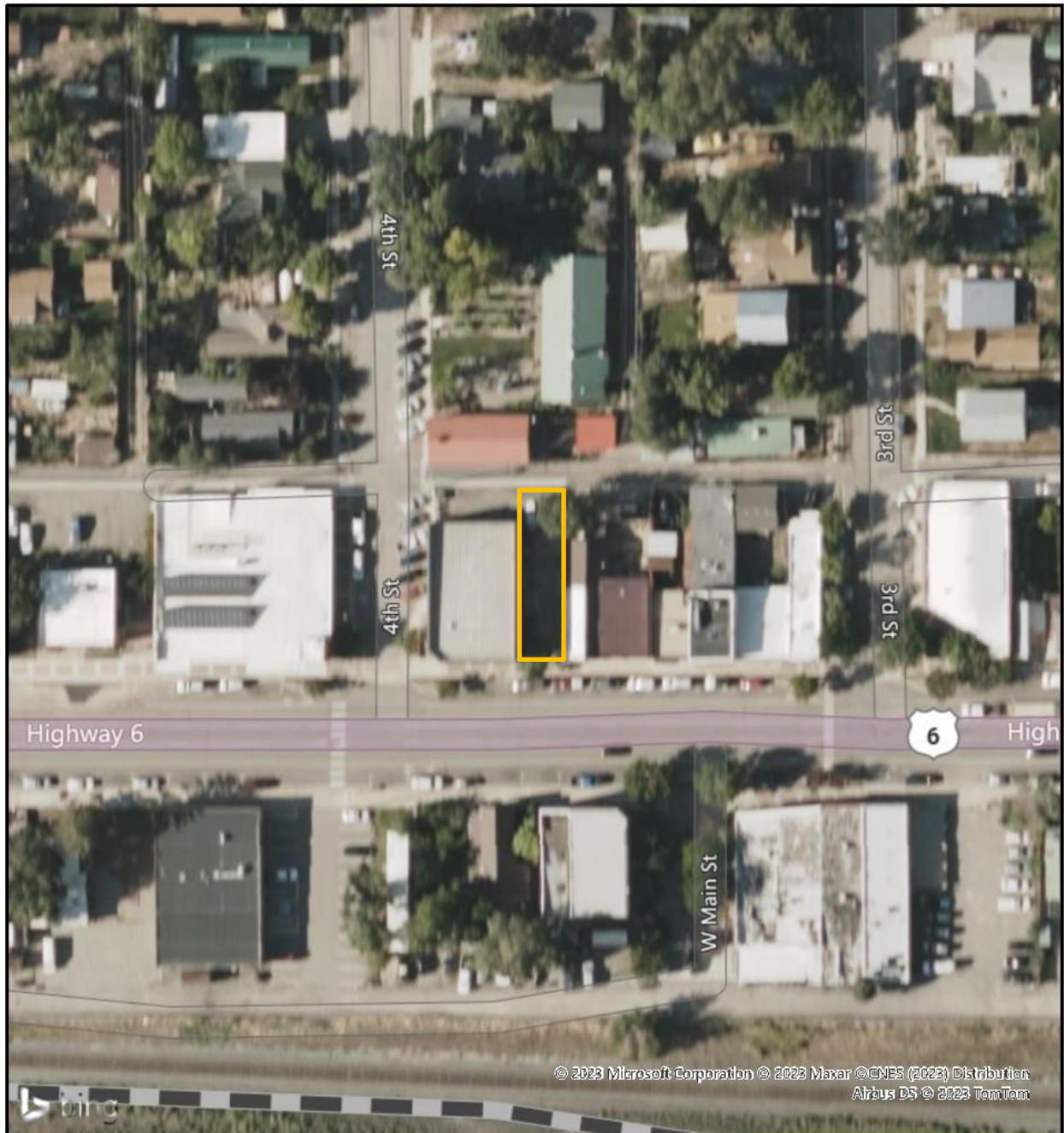
SKETCH PLAN *include approximate scale*



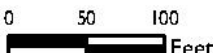



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5911_1</u>

See Attachment																			
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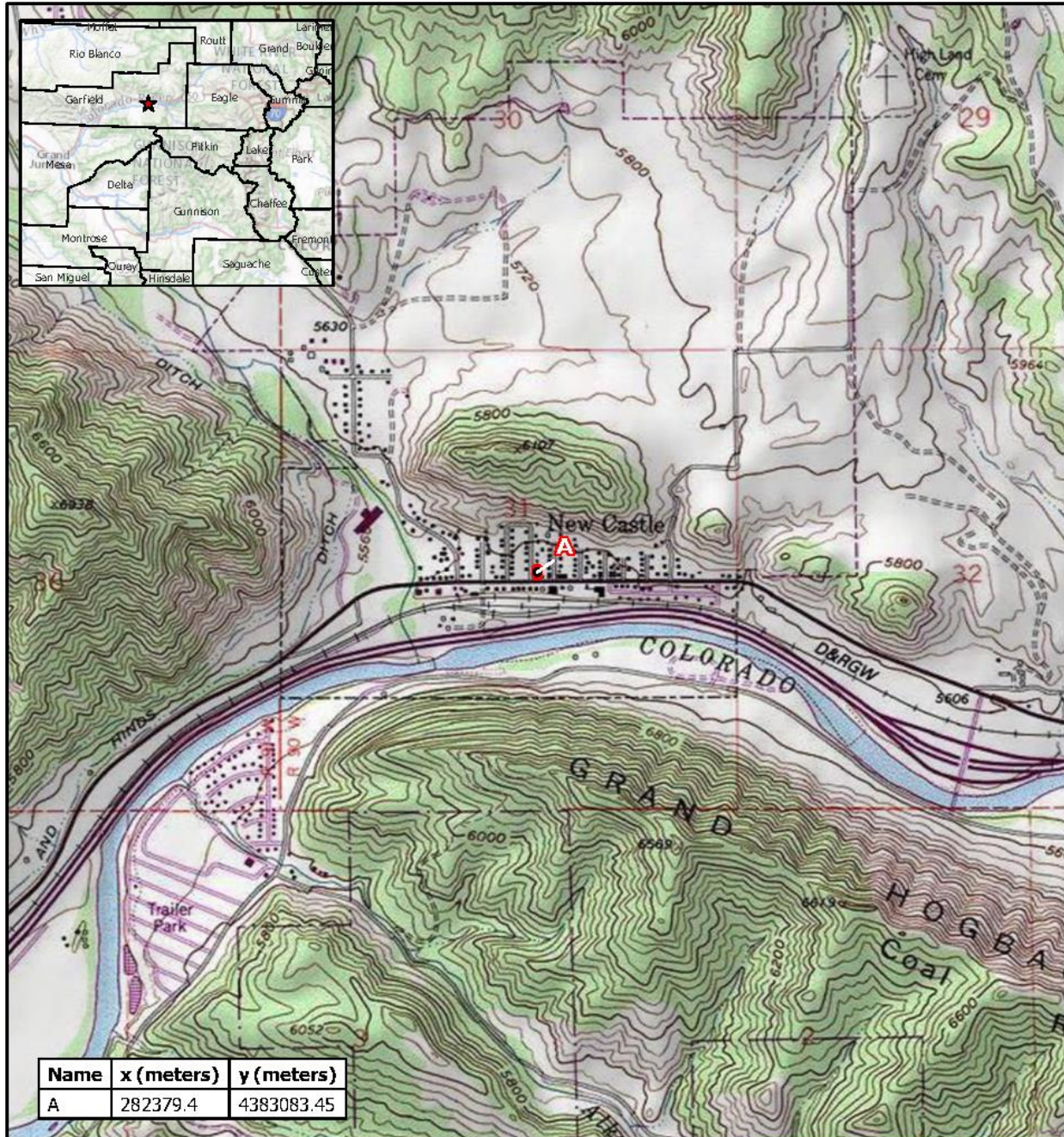
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 376 West Main Street (5GF.5911) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Reviewed By: CMW</p>		<p>Date: 4/10/2023</p>	

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Topographic Map



Name	x (meters)	y (meters)
A	282379.4	4383083.45

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

376 West Main Street (5GF.5911)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I 22156001

Doc in new Path: C:\user\doowad\Desktop\CUI\New Castle\Borch I\I 22156001 New Castle Historic Survey\I 22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5911_1
Description: Looking at lot 7 of block B.
Date: 9/6/2022
View: North

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: Webster Evans' House and Hospital Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 396 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331104008
- **9. Parcel Information: Lot(s): 1-4 Block: G Addition: Spencer's Addition
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282830 ;mN 4383072 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Rustic	Concrete with faux stone masonry	Log
Windows	Roof	Chimney	Porch
Three lite-by-three lite sliding sash; one-over-one single hung sash; one-by-one sliding sash; wood frames	Side gable roof; metal roof; closed overhanging eaves; vertical weatherboard in the gable ends	Two brick masonry chimneys	Partial length protected porch along the primary (west) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1940 as shown by review of Garfield County Assessor's Office records. The approximately 30' by 42' building is representative of a vernacular form of Rustic style of architecture. Several architectural features of the building consist of a concrete foundation with faux stone masonry; a side gable roof design; metal roof; closed overhanging eaves; vertical weatherboard in the gable ends; an exterior envelope clad with log; two brick masonry chimneys; and a partial length protected porch along the primary (west) elevation. The main entryway is located in the center of the primary (west) elevation. The main entryway incorporates a wood door with four-lites divided by muntins. In addition, the wood door is fronted by a metal storm door with a one-over-one single hung sash window. The typical window consists of a three lite-by-three lite sliding sash unit with wood framing. Additionally, one-over-one single hung sash; and one-by-one sliding sash units can be noticed along the primary (west), south, and east elevations of the building. There are also two additional entryways located in the center of the south elevation. The historic

exposed rafter tails under the eaves have been partially covered due to fascia board being added for the installation gutters at some point. Likewise, the shed roof overhang was added above the main entryway along the primary (west) elevation at some point.

14. Associated buildings, features, or objects:

A garage is located to the north of the residence. The building was constructed in 1940 as shown by review of Garfield Assessor's office records. The approximately 26' by 22' building features a concrete foundation; a front gable roof clad in metal; overhanging eaves; a log exterior envelope; and two garage doors along the primary (east elevation. The typical window consists of a six-by-six sliding sash with wood muntins. Three of these typical windows can be noticed along the south elevation. An entryway along with a typical window unit is located on the west elevation.

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential/Hospital

Current Function/Use (if different): Triplex residential

17. Date of Construction: 1940

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input checked="" type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"396 East Main Street." Garfield County Assessor's Office. Parcel Number 212331104008. Accessed December 27, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=2039851617&Key=Value=R380053>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 27, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 27, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

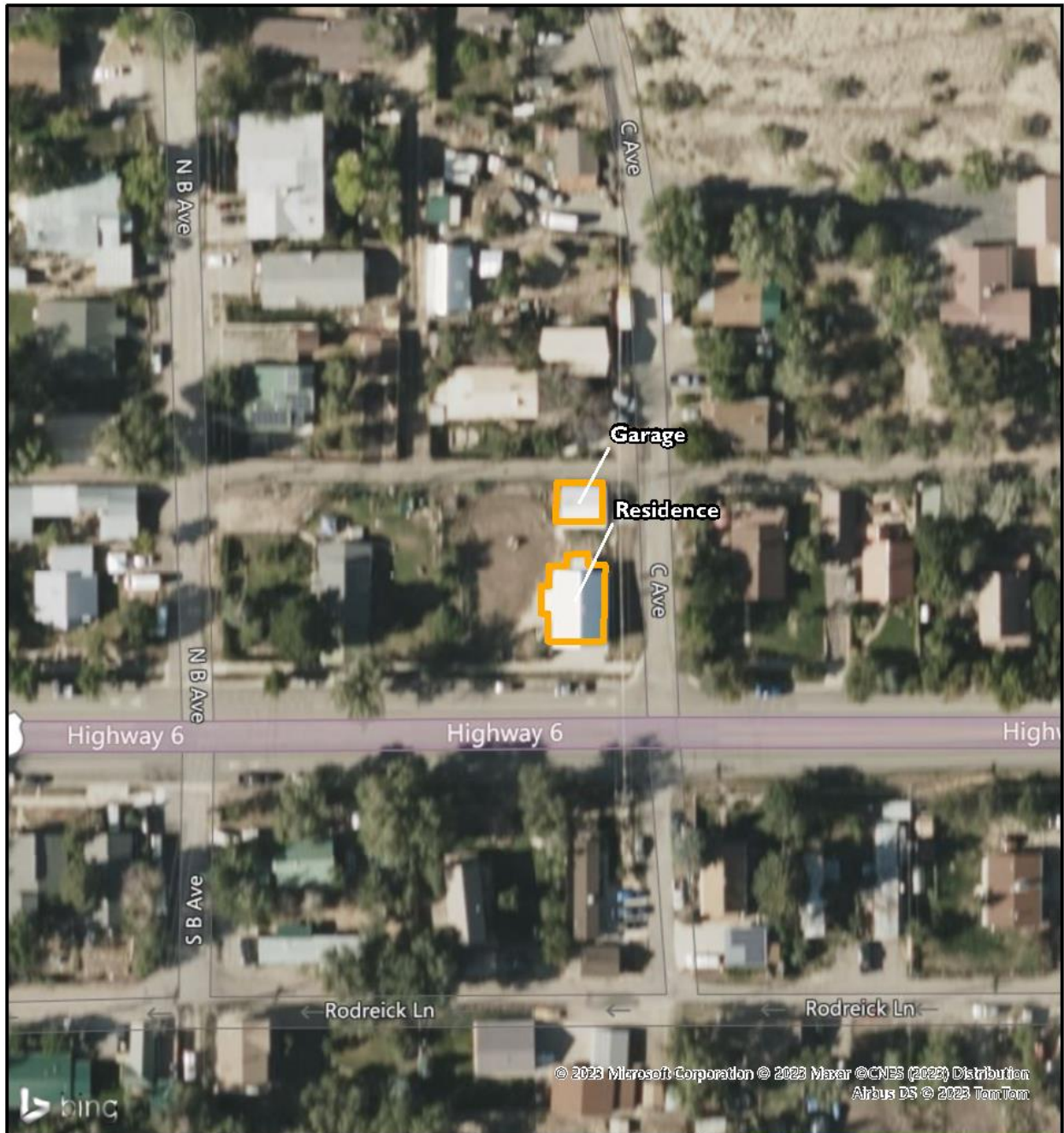
SKETCH PLAN *include approximate scale*



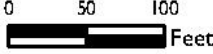



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5932_1 to 5GF.5932_3, and 1 historic photo</u>

See Attachment																			
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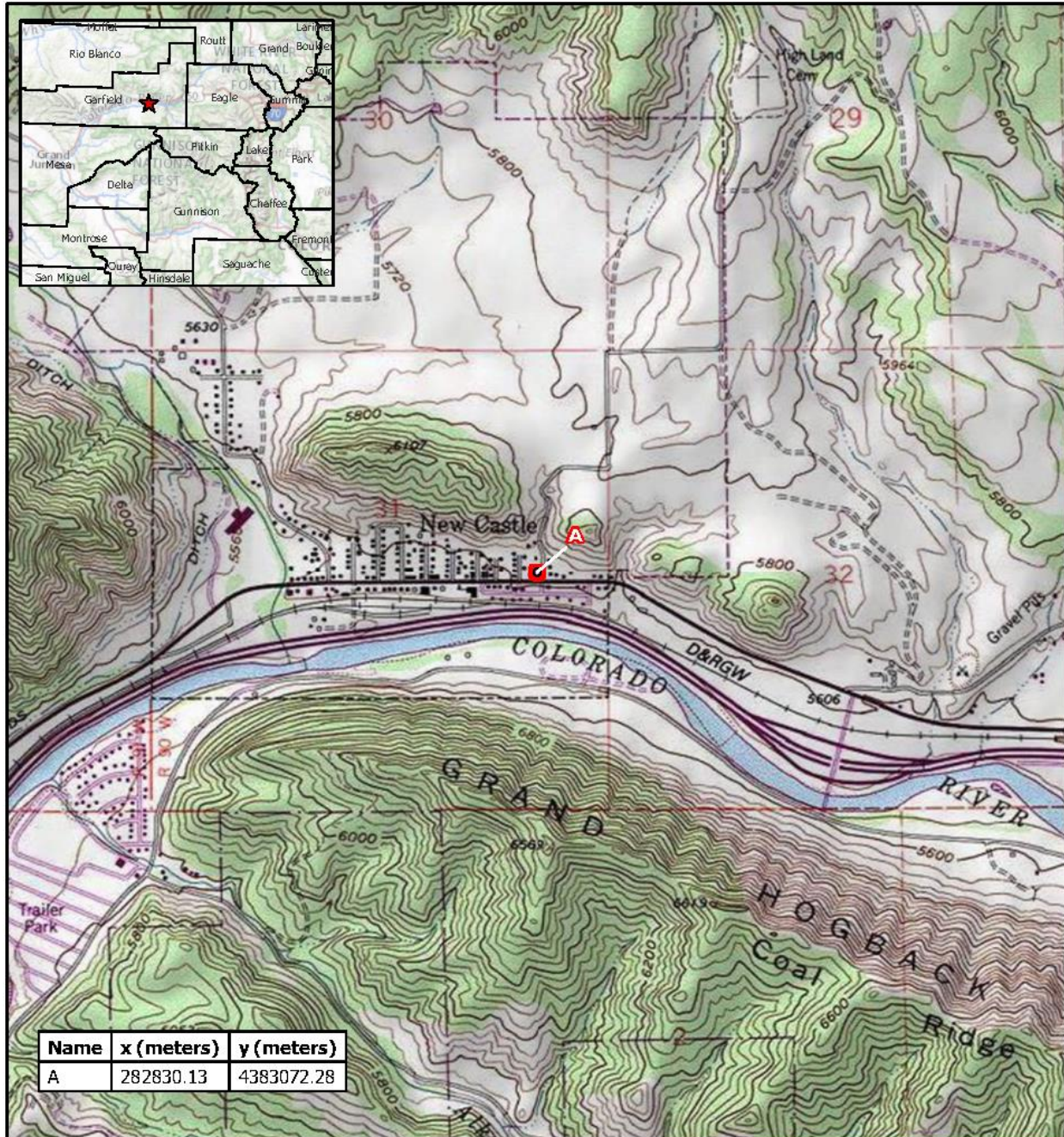
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 396 East Main Street (5GF.5932) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
		<p>Reviewed By: CMW</p>	<p>Date: 4/10/2023</p>

DocuView Path: C:\Users\doosel\Desktop\CU\New Castle\Borch R\122156001 New Castle Historic Survey\122156001 New Castle Historic Survey.aprx

Topographic Map



Name	x (meters)	y (meters)
A	282830.13	4383072.28

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

396 East Main Street (5GF.5932)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Park C:\user\doowal\Desktop\CU\New Castle\Borch I 12156001 New Castle Historic Survey\12156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5932_1
Description: Looking at the south elevation of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5932_2
Description: Looking at the primary (west) and south elevations of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5932_3
Description: Looking at the south and east elevations of the building.
Date: 9/26/2022
View: Northwest



Historic Photo 1
Description: Undated photo looking at the primary (west) and south elevations of the building. Note the exposed rafter tails under the eaves. Additionally, the shed roof overhang above the main entryway is not present. Image is sub-titled, "Dr. Webster Evans Home & Hospital."
Source: New Castle Museum

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Scott & Sarah Worton Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 403 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331403003
- **9. Parcel Information: Lot(s): 8-9 Block: N Addition: Spencer's 2nd
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NE ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282864 ;mN 4383016 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Concrete	Vinyl
Windows	Roof	Chimney	Porch
Picture window with wood frame; one-over-one single hung sash with wood frame; one-by-one sliding sash; decorative wood shutters	Front gable roof; asphalt shingles; closed overhanging eaves	Brick masonry chimney	Partial length open porch along the primary (north) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1936 as shown through review of Garfield County Assessor's Office records. The approximately 46' by 28' residence is not representative of a particular style due to it possessing unornamented surfaces and lacking decorative detailing. Overall, the building is a No Style residence. Architectural features of the building include a concrete foundation; Front gable roof; asphalt shingles; closed overhanging eaves; attic vents under the gable peaks; decorative shutters; a vinyl exterior envelope; a partial length open porch along the primary (north) elevation; and a brick masonry chimney. The building also includes several window configurations including picture; one-over-one single hung sash; and one-by-one sliding sash units. Additionally, these windows incorporate wood frames. The main entryway is located in the center of the primary (north) elevation and features a wood door that is fronted by a metal storm door with a one-over-one single hung sash window. The south elevation demonstrates several additions since it was initially constructed.

14. Associated buildings, features, or objects:

A carport is located to the south of the residence. The carport was constructed circa 2010 based upon review of historical area imagery. The carport is approximately 24' by 22' and features a shed roof clad in asphalt shingles; overhang eaves; and six square post columns. Several solar panels can also be noticed on the roof.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1936

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: NA

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"403 East Main Street." Garfield County Assessor's Office. Parcel Number 212332200019. Accessed December 21, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1742786881&KeyValue=R013082>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 21, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 20, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

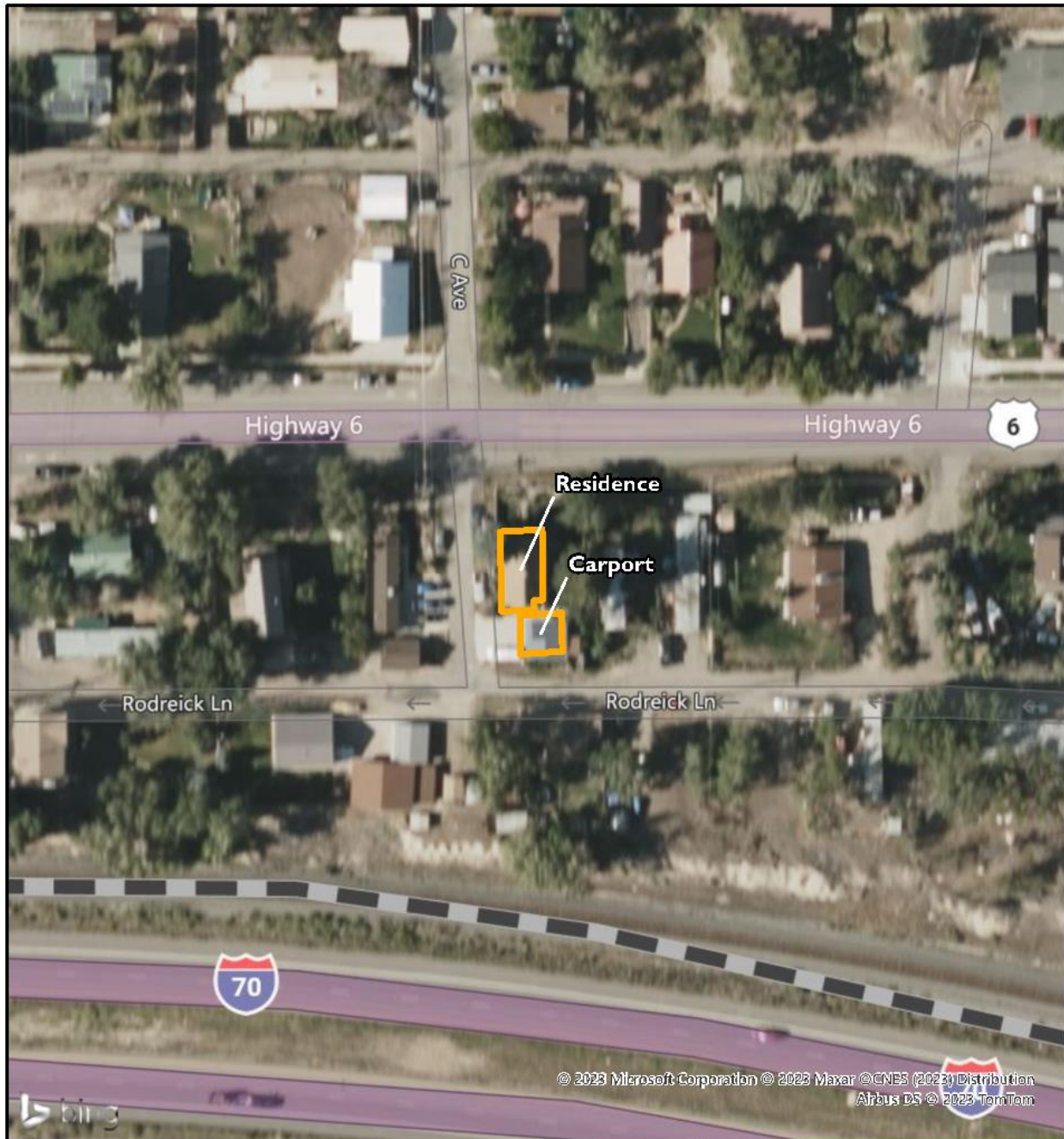
SKETCH PLAN *include approximate scale*



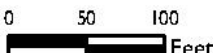



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>12/22/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor:
Photograph Log: <u>5GF.5933_1 to 5GF.5933_4</u>

See Attachment																			
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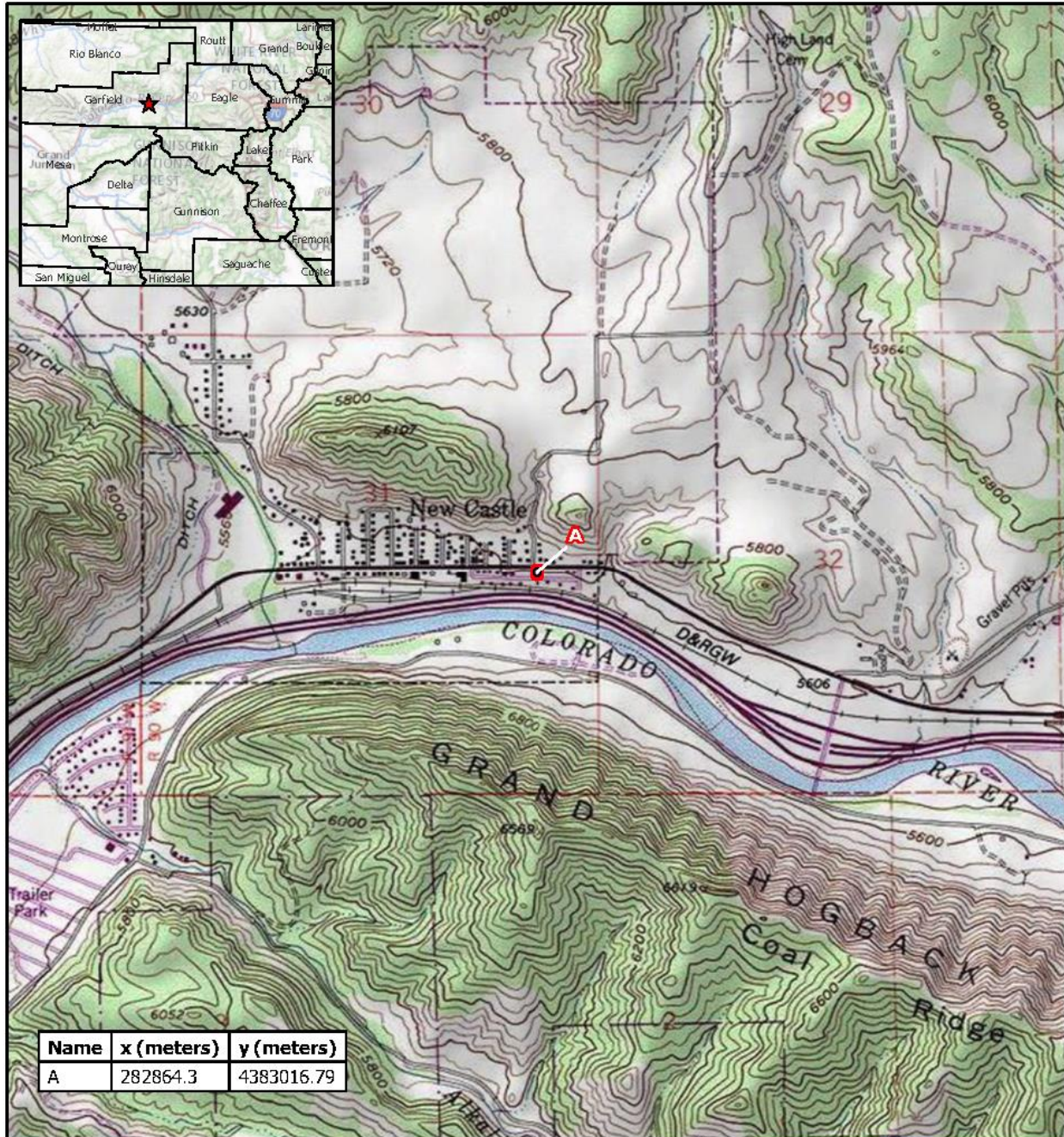
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 403 East Main Street (5GF.5933) New Castle, Colorado Garfield County</p>	
Pinyon Project Number: I 22156.001		Drawn By: CJB	Figure: 2
		Reviewed By: CMW	Date: 4/10/2023


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Topographic Map



Name	x (meters)	y (meters)
A	282864.3	4383016.79

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

403 East Main Street (5GF.5933)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5933_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/22/2022
View: South



Photo Number: 5GF.5933_2
Description: Looking at the east and primary (north) elevation of the building.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5933_3
Description: Looking at the primary (north) and west elevations of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5933_4
Description: Looking at the west elevation and south elevation of the building.
Date: 9/6/2022
View: Northeast

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: John Petrocco & Diann Casalena Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 405 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331403002
- **9. Parcel Information: Lot(s): 5-7 Block: N Addition: Spencer's 2nd
- **10. Acreage: 0.17 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NE ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282884 ;mN 4383016 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Prefabricated mobile trailer	N/A	Corrugated metal
Windows	Roof	Chimney	Porch
One-over-one single hung sash with metal frame; decorative window shutters; one-by-one sliding sash with metal frame	Shallow barrel roof; metal roof	Metal flue	Enclosed shed roof porch addition to the primary (east) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1973 as shown through review of Garfield County Assessor's Office records. The approximately 50' by 10' residence is representative of a prefabricated mobile trailer. Architectural features of the building include a shallow barrel roof; an exterior envelope clad with corrugated metal; a metal flue chimney; and decorative window shutters. An enclosed porch addition can be noticed along the far-right side of the east elevation and incorporates an exterior wall clad with plywood. It also features a metal overhanging shed roof. The typical window consists of a one-over-one single hung sash unit with a metal frame. One-by-one sliding sash units are also present on several elevations. The main entryway is located within the enclosed porch addition and is heavily obscured by mature and dense vegetation. A corrugated metal skirt lines the ground and bottom floor of the mobile house.

14. Associated buildings, features, or objects:

A secondary trailer is located to the east of the primary trailer. The approximately 68' by 14' trailer was constructed in 1982 as shown through review of Garfield County Assessor's Office records. The trailer features a low pitch side gable roof clad in metal; composite siding; and recessed exterior walls along the south and north elevations of the trailer. The typical window consists of a vinyl six-by-six sliding sash with snap on muntins. The primary entryway is located in the center of the primary (west) elevation.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1973
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"405 East Main Street." Garfield County Assessor's Office. Parcel Number 212331403002. Accessed December 22, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1886026154&Key=Value=R380143>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 22, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 22, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

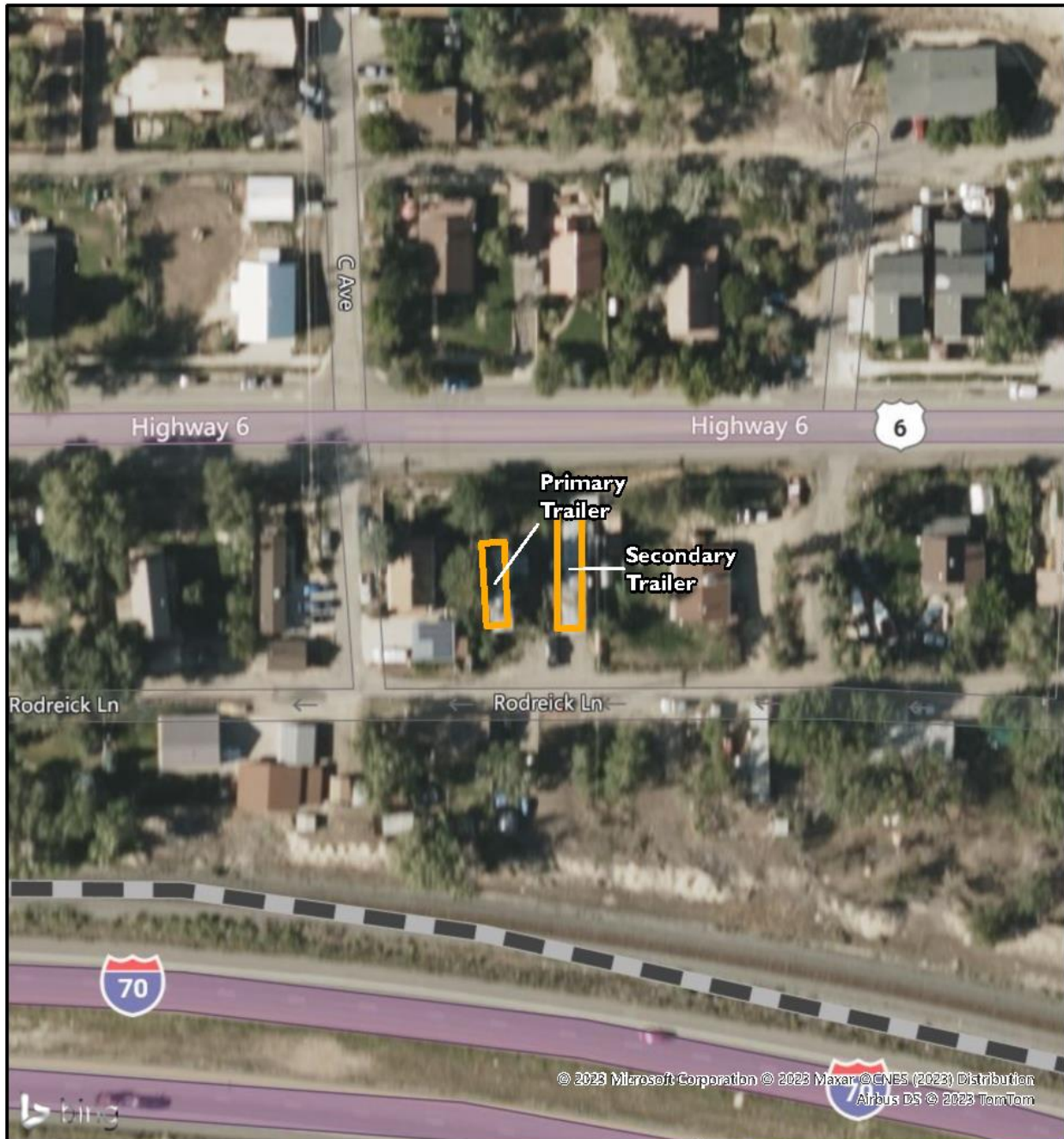
SKETCH PLAN *include approximate scale*





FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5934_1 to 5GF.5934_2</u>

See Attachment																			
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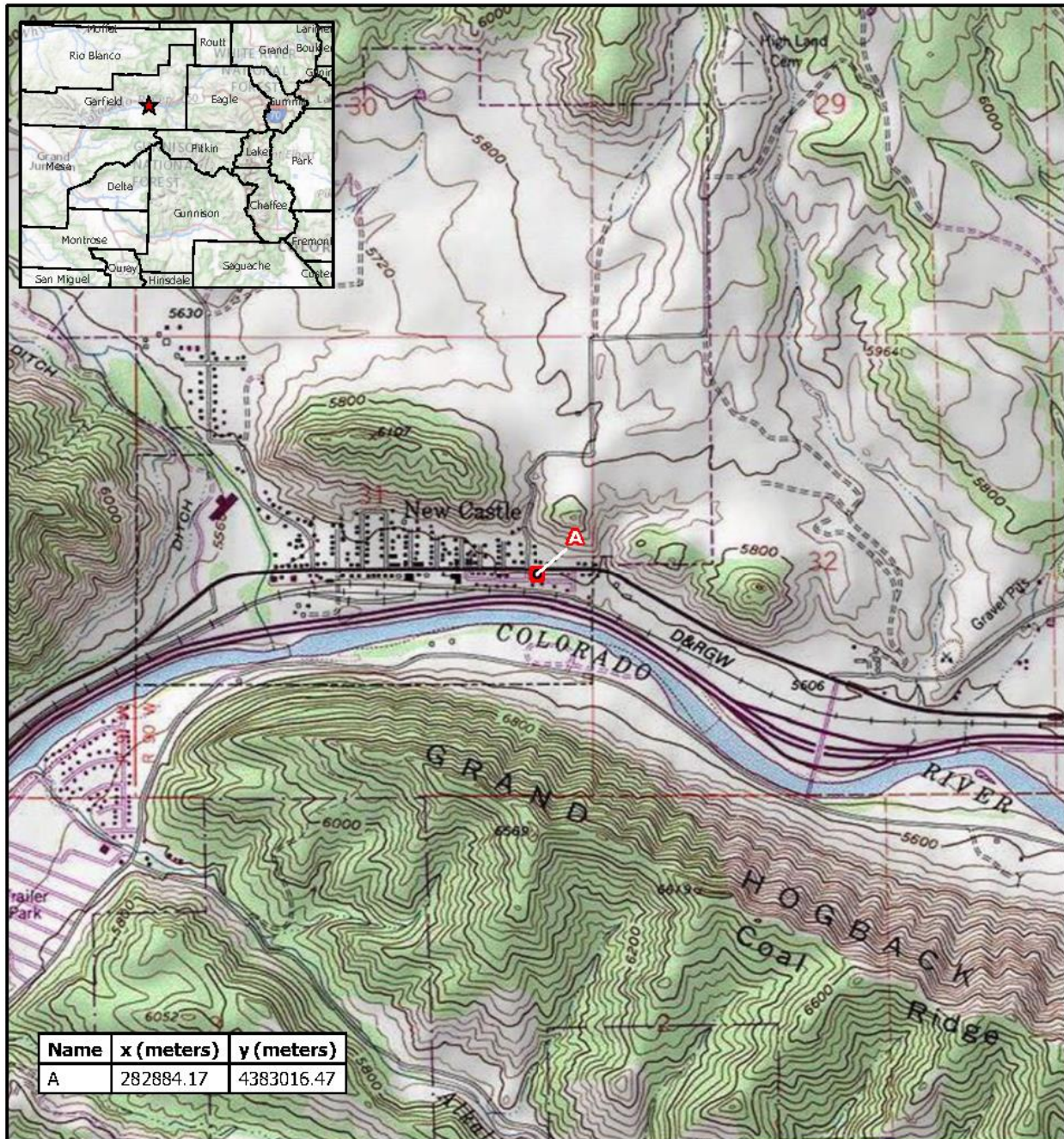
Sketch Map



<p>Legend</p> <p> Footprint</p>	 <p>Sketch Map 405 East Main Street (5GF.5934) New Castle, Colorado Garfield County</p>
<p>Pinyon Project Number: I 22156.001</p>	<p>Drawn By: CJB Figure: 2 Reviewed By: CMW Date: 4/10/2023</p>

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Topographic Map



Name	x (meters)	y (meters)
A	282884.17	4383016.47

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

405 East Main Street (5GF.5934)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5934_1
Description: Looking at the primary (east) and north elevations of the primary trailer.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5934_2
Description: Additional view of the primary (east) and north elevations of the primary trailer.
Date: 9/6/2022
View: Southwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Margarete Brooks Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 406 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331103021
- **9. Parcel Information: Lot(s): 8-9 Block: H Addition: Spencer's Addition
- **10. Acreage: 0.14 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282869 ;mN 4383070 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Rustic	Concrete	Log; wood shingles in the gable end
Windows	Roof	Chimney	Porch
One-over-one single hung sash with wood frame; one-by-one sliding sash with vinyl frame	Front Gable; wide overhanging eaves; exposed rafter rails under the eaves	Brick masonry	Partial length porch along the primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1934 according to Garfield County Assessor's Office records. The approximately 54' by 32' building is representative of a vernacular form of Rustic style of architecture. Architectural features of the residence include a concrete foundation; a log exterior envelope; front gable roof; wide overhanging eaves; exposed rafter tails under the eaves; wood shingle in the gable end; a front gable overhang protecting the main entryway along the primary (south) elevation; a brick masonry chimney; and a hipped roof addition along the north elevation of the building. The typical window consists of a one-over-one single hung sash unit with a wood frame and outer casing. A majority of windows appear to date to the period of construction. The main entryway is located to the far-left side of the primary (south) elevation. The main entryway incorporates a wood door with a decorative picture window. The door is also flanked on both sides by typical window units. Additionally, the main entryway is capped by a front gable overhang with wood shingles in the gable end. There is evidence of some replacement windows along the east elevation due to their vinyl construction. A decorative horizontal wood belt course can also be noticed in the gable end separating the wood

shingle and log exterior walls. An enclosed full-length porch was constructed along the north elevation by 1960 based upon review of historical aerial imagery.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1934

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"406 Main Street." Garfield County Assessor's Office. Parcel Number 212331103021. Accessed December 22, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1513718743&KeyVal=R041554>

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 22, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 22, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

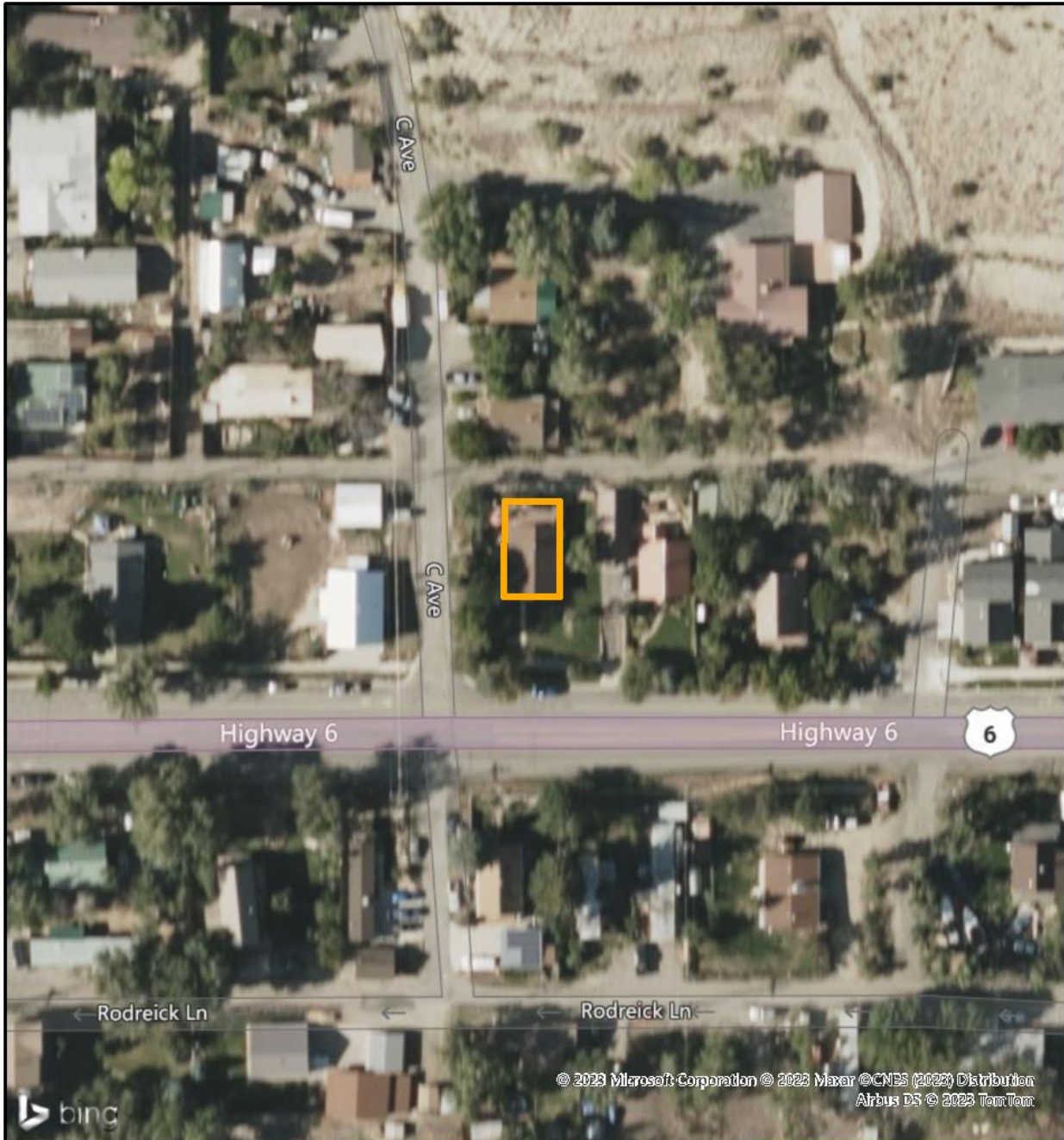
SKETCH PLAN *include approximate scale*



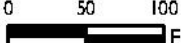


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5935_1 to 5GF.5935_3</u>

See Attachment																			
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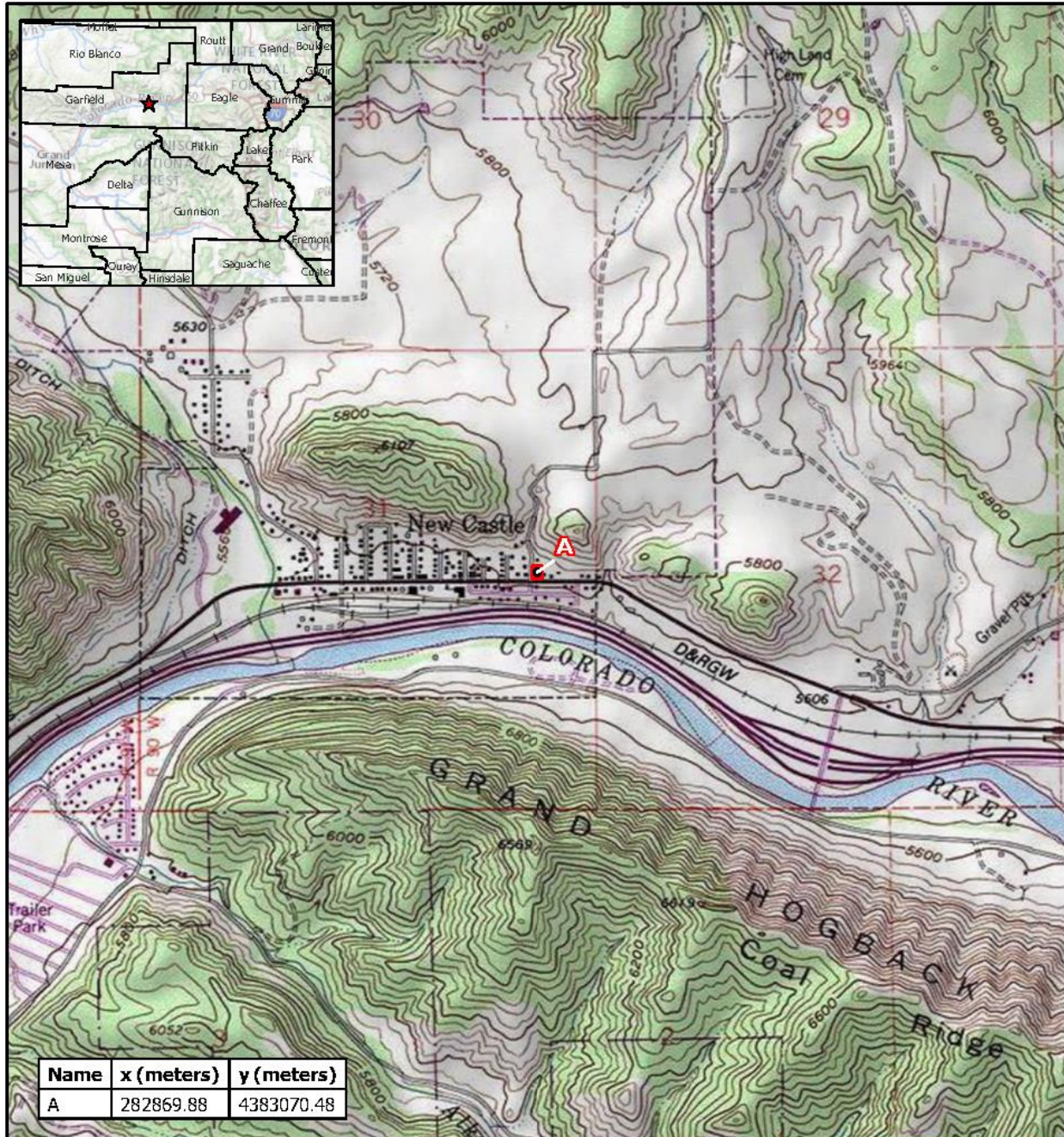
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   0 50 100 Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 406 East Main Street (5GF.5935) New Castle, Colorado Garfield County</p> <table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

Document Path: C:\Users\jdoowest\Desktop\CUI\New Castle\Batch 1\122156001 New Castle Historic Survey\122156001 New Castle Historic Survey.aprx

Topographic Map



Name	x (meters)	y (meters)
A	282869.88	4383070.48

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

406 East Main Street (5GF.5935)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5935_1
Description: Looking at the primary (south) elevation of the building. Note the decorative stone masonry wall, and the post and rail fencing.
Date: 9/6/2022
View: North



Photo Number: 5GF.5935_2
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5935_3
Description: Looking at the west and primary (south) elevations of the building.
Date: 9/6/2022
View: Northeast

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: William Anthony & Lynn Tonya Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 407 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331403001
- **9. Parcel Information: Lot(s): 1-4 Block: N Addition: Spencer's 2nd
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NE ¼ of NE ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282911 ;mN 4383016 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Concrete	Board and batten
Windows	Roof	Chimney	Porch
One-over-one single hung sash with wood frames; Primarily wide units with some narrow units	Side gable; closed overhanging eaves	Several metal flues	Elevated full length open porch along west elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1970 as shown through review of Garfield County Assessor's Office records. The approximately 32' by 42' building is not representative of a particular style of architecture. Overall, the building is a No Style residence. Several architectural elements of the residence include a concrete foundation; exterior walls clad with board and batten siding; a side gable roof design; closed overhanging eaves; asphalt shingles; several metal chimney flues; an elevated full-length porch along the west elevation of the building; and an elevated staircase along the primary (east) elevation. The typical window for the residence consists of a one-over-one single hung sash unit with a wood frame and casing. A majority of the windows incorporate wide frames while some consist of narrow frames. The main entryway is located in the center of the primary (east) elevation and incorporates an unornamented wood door. An elevated wood staircase leads to the main entryway as well. A secondary entryway is located in the center of the west elevation with a metal storm door that fronts a wood panel door. A decorative horizontal wood belt course can be noticed in the gable ends.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1970

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
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| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"407 East Main Street." Garfield County Assessor's Office. Parcel Number 212331403001. Accessed December 21, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=931178811&Key Value=R380006>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 21, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

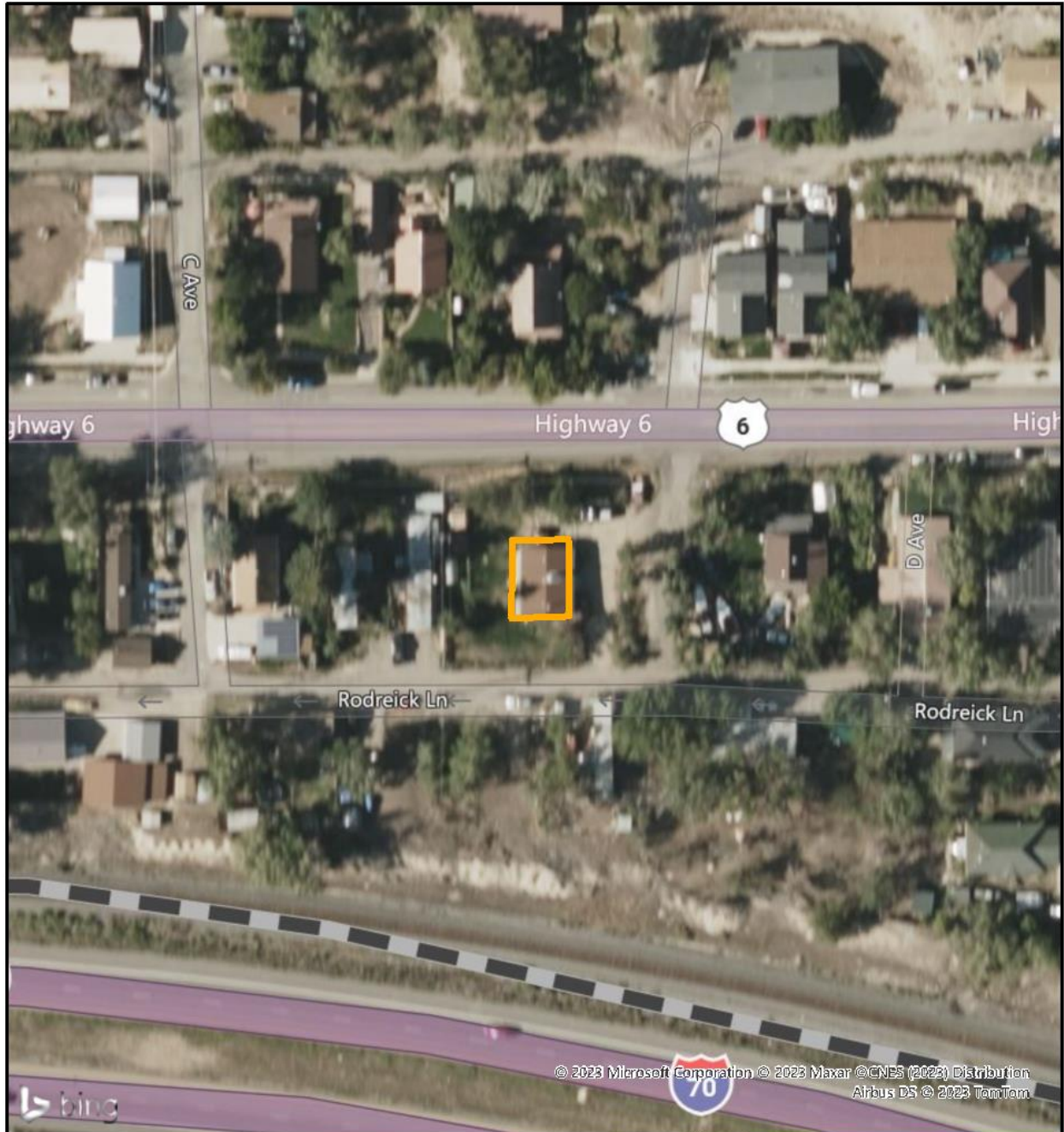
"Historical Aerial Imagery." *NETROnline*. Accessed December 20, 2022. <https://www.historicaerials.com>



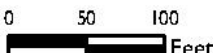
"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

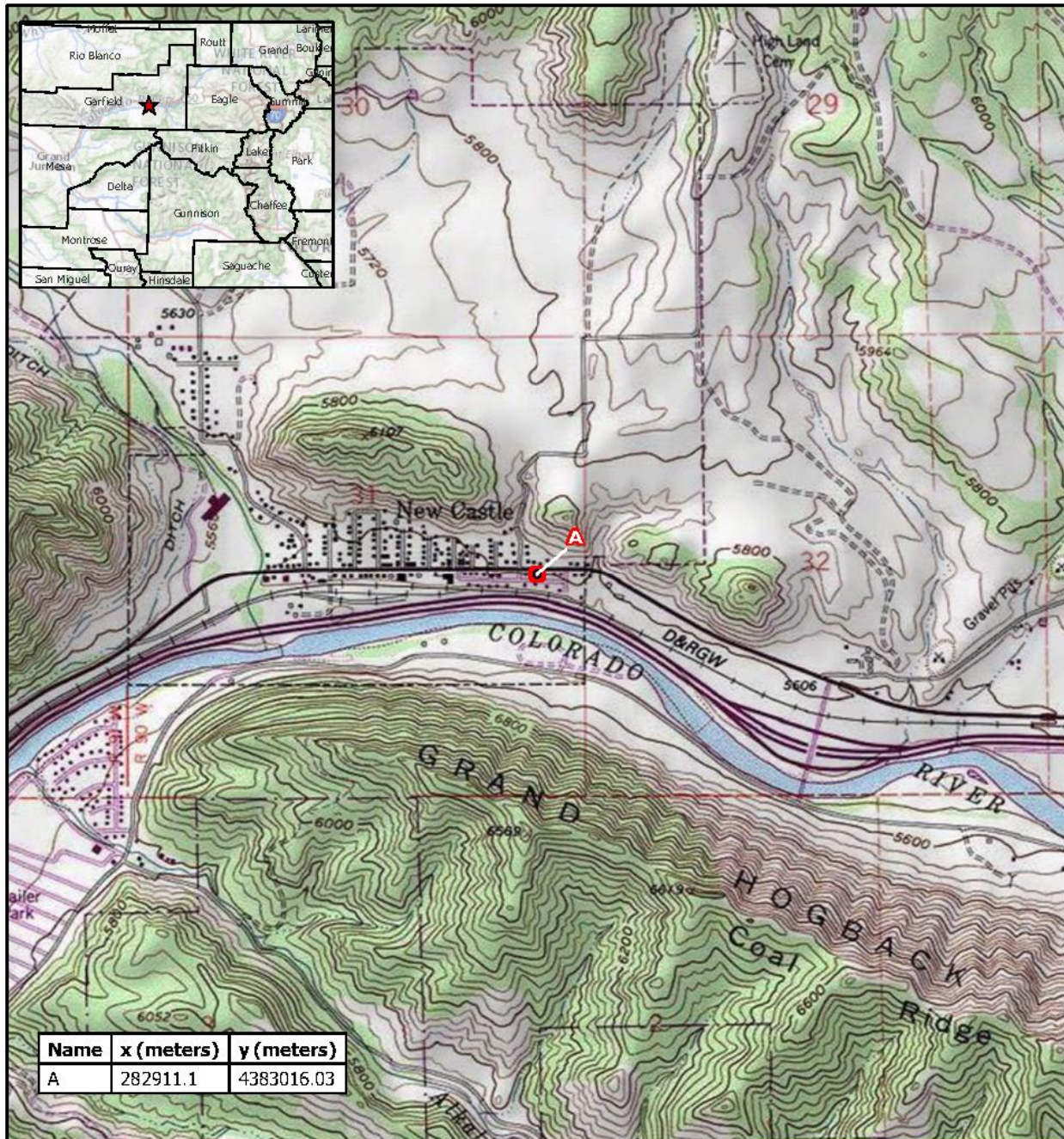
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 407 East Main Street (5GF.5936) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map
407 East Main Street (5GF.5936)
New Castle, Colorado
Garfield County

Drawn By: CJB	Figure: I
Reviewed By: CMW	Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5936_1
Description: Looking at the primary (east) elevation and north elevation of the building.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5936_2
Description: Looking at the north elevation of the building. Note the horizontal wood belt course in the gable end.
Date: 9/6/2022
View: South



Photo Number: 5GF.5936_3

Description: Looking at the north and west elevations of the building.

Date: 9/22/2022

View: Southeast

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Jo Bradley Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 436 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331103020
- **9. Parcel Information: Lot(s): 5-6 Block: H Addition: Spencer's Addition
- **10. Acreage: 0.14 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282888 ;mN 4383070 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Bungalow (with some elements of Mediterranean style)	Concrete	Stucco
Windows	Roof	Chimney	Porch
One-over-one double hung sash with vinyl frame and snap on muntins; one-over-one double hung sash with wood frame; four-over-one single hung sash with wood frame	Front Gable roof design; metal roof; closed overhanging eaves; brackets under the gable peak	Brick masonry with metal flue cap	Partial length protected porch along primary (south) elevation; protected porch along the north elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1903 as shown through review of Garfield County Assessor's Office records. The approximately 42' by 30' residence is representative of a vernacular Bungalow style of architecture with some elements of Mediterranean style. Several architectural elements of the residence include a concrete foundation; an exterior envelop clad with stucco; front gable roof design; closed overhanging eaves; metal roof; several brackets under the gable peak; a decorative main entryway with front gable overhang along the primary (south) entryway; and a brick masonry chimney. The main entryway is evocative of a Mediterranean style entryway and is located in the center of the primary (south) elevation. The main door consists of wood with nine-lites. The door may date to the historic period, yet the hardware consists of replacement components. Additionally, the main entryway is capped by a front gable overhang with a metal roof. The typical window consists of a one-over-one double hung sash with

vinyl frame and snap on muntins; yet, one-over-one double hung sash; and four-over-one single hung sash, all with wood frames, are also present. A protected porch with front gable roof can be noticed along the north elevation of the building.

14 Associated buildings, features, or objects:

A detached garage is located to the northwest of the residence. The building is approximately 42' by 16' and was constructed circa 1936. The garage features a front gable roof clad in corrugated metal; a gable overhang along the primary (south) elevation; wood shingles in the gable ends; and small overhanging eaves. A double door garage door is located on the primary (south) elevation. The typical window unit consists of six lite picture windows. The windows also consist of a mixture of wood and replacement vinyl units.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1936
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"436 Main Street." Garfield County Assessor's Office. Parcel Number 212331103020. Accessed December 22, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1151381386&KeyVal=R041553>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 22, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 22, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

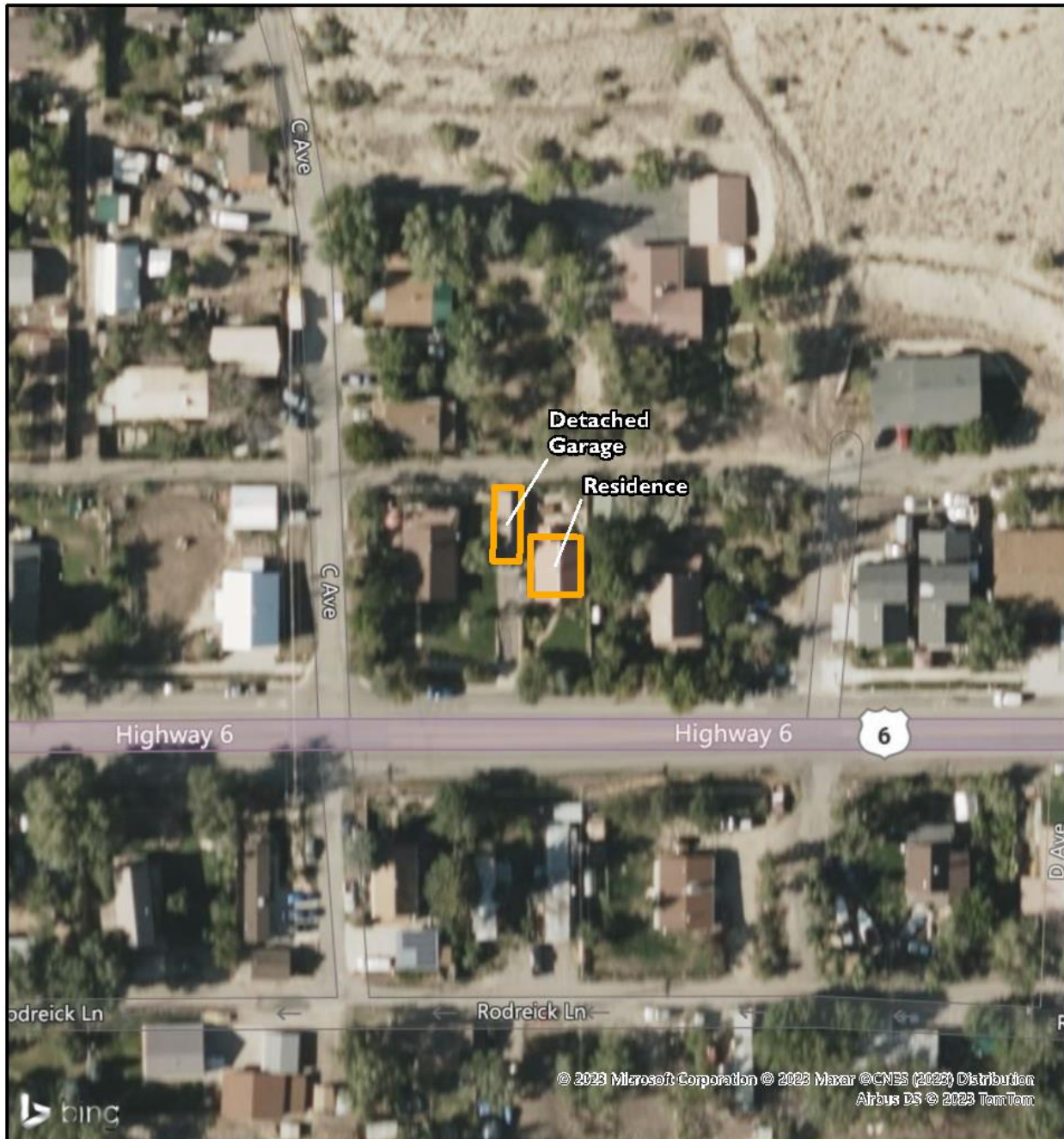
SKETCH PLAN *include approximate scale*



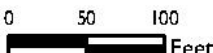



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5937_1 to 5GF.5937_4</u>

See Attachment																			
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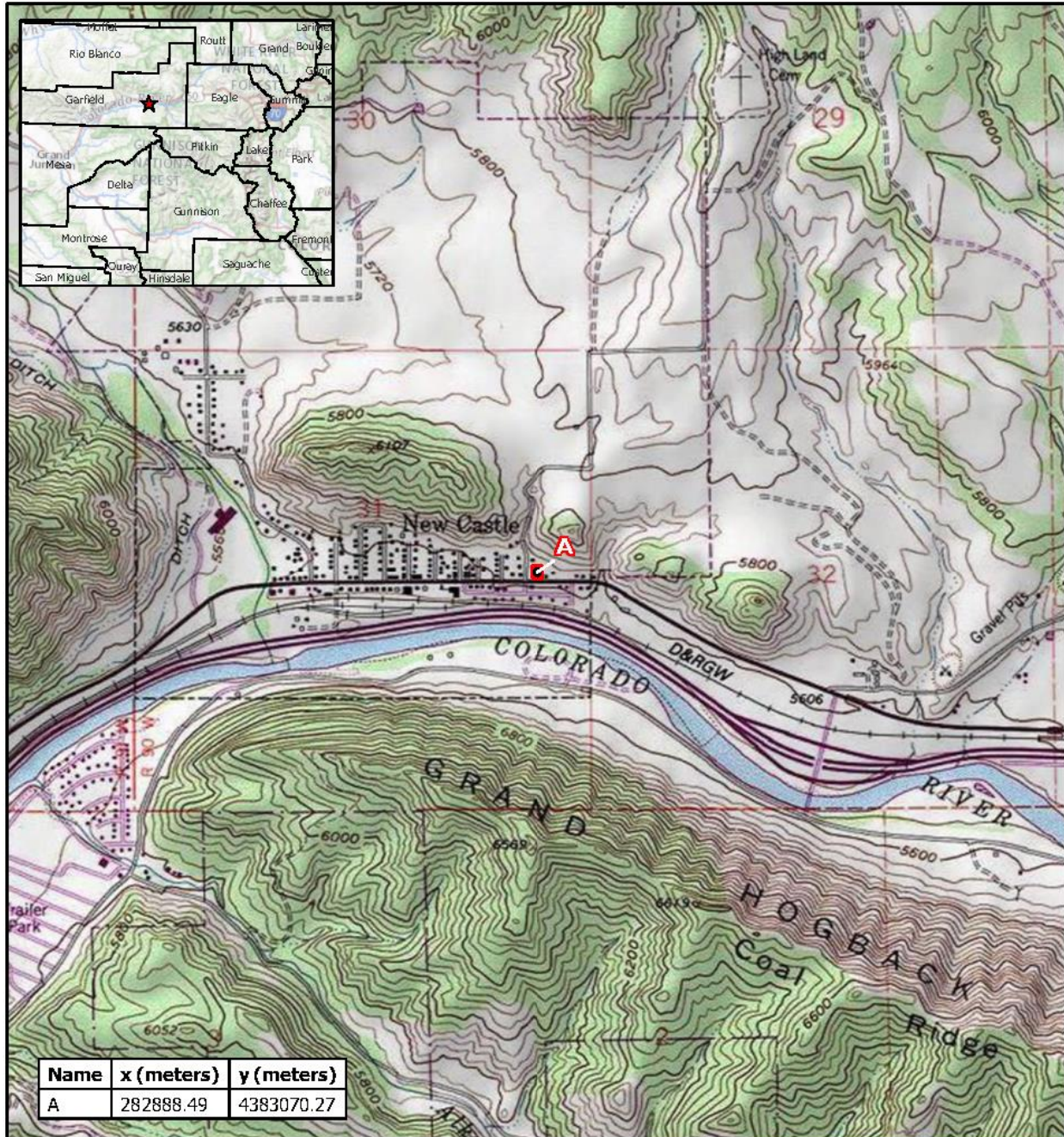
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 436 East Main Street (5GF.5937) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Reviewed By: CMW</p>		<p>Date: 4/10/2023</p>	


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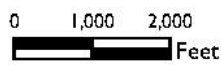
Topographic Map



Name	x (meters)	y (meters)
A	282888.49	4383070.27

Legend

 Resource Boundary



Topographic Map

436 East Main Street (5GF.5937)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5937_1
Description: Looking at the primary (south) elevation of the building. Note the decorative entryway and brackets under the gable peak.
Date: 9/6/2022
View: North



Photo Number: 5GF.5937_2
Description: Looking at the west and primary (south) elevation of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5937_3
Description: Context view of the residence's west and primary (south) elevations. Note the stone masonry wall and wood picket fencing along the legal parcel boundary.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5937_4
Description: Looking at the east elevation of the building. The building's proximity to the wall on the right makes it difficult to observe the entire elevation.
Date: 9/6/2022
View: Northwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Chapin Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 437 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331409007
- **9. Parcel Information: Lot(s): 12-14 Block: 7 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.17 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NW ¼ of NW ¼ of SE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282295 ;mN 4383028 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Bungalow	Poured concrete	Vertical weatherboard/corrugated metal siding; wood shingles
Windows	Roof	Chimney	Porch
One-over-one single hung sash; picture window; three-lite sliding sash; wood frames; wood lintel and sills	Cross gable roof; metal roof; boxed overhanging eaves	Metal flu	Full-length front gable porch along the primary (north) elevation; particle-length unprotected wood porch along the east elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1929 as shown through review of Garfield County Assessor’s Office records. The approximately 44’ by 32’ building is representative of a vernacular form of Bungalow type architecture. Architectural elements of the building include a poured concrete foundation; a cross gable roof clad in corrugated metal; boxed overhanging eaves; an exterior envelope clad in vertical weatherboard, corrugated metal, and wood shingles; a full-length front gable porch along the primary (north) elevation; and a particle-length unprotected wood porch along the east elevation. The top half of exterior walls consists of vertical weatherboard while the bottom half incorporates corrugated metal. The main entryway is located on the left side of the primary (north) elevation. The main door consists of a wood panel door with two divided lites. A wooden three-lite sliding sash window is located of the door and is capped by four-lites divided by muntins. These features are also located underneath a front gable overhang that protects the wood porch. In addition, the exterior wall of the north elevation is clad in wood shingles. The typical window consist of a wood one-over-one single hung sash with a wood sill, lintel, and casing. The east elevation incorporates several typical windows. A

secondary entryway is located on the left side of the elevation underneath the gable end. The secondary door consists of a wood door with a single rectangular lite. A particle length unprotected wood patio can be noticed along the far left and center portions of the elevation. A skeleton riding a moped is mounted to the gable end.

The residence has undergone a high degree of modification since it was constructed in 1929. Historical aerial imagery demonstrates that several additions were constructed along the south elevation by 1960. Street imagery between 2012 and 2022 reveals that the residence previously incorporated horizontal weatherboard siding on all elevations; battered support columns to the front gable porch overhang along the primary (north) elevation; faux shutters along the east elevation; overhanging eaves with exposed rafter tails; a small concrete staircase along the east elevation; a wood and mesh storm door along the primary (north) elevation; and a half wall along the bottom of the porch along the façade.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1929
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "437 West Main Street." Garfield County Assessor's Office. Parcel Number 212331409007. Accessed February 22, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1758861590&KeyVal=380115>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 22, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 22, 2023. <https://www.historicaerials.com>.

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McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

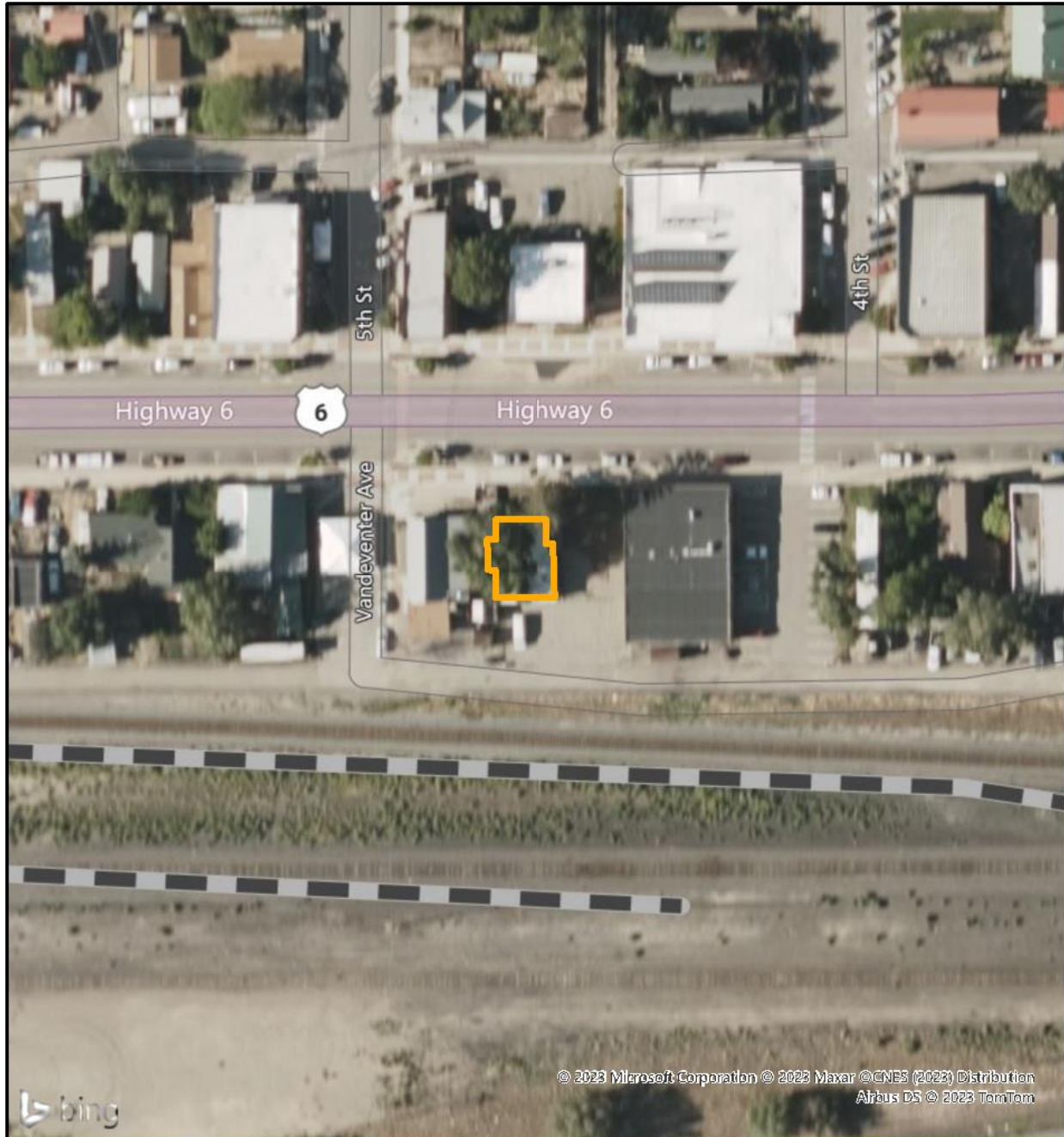
SKETCH PLAN *include approximate scale*





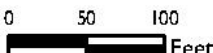
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<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5910_1 to 5GF.5910_3, and 1 reference photo</u>

See Attachment																			
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Sketch Map

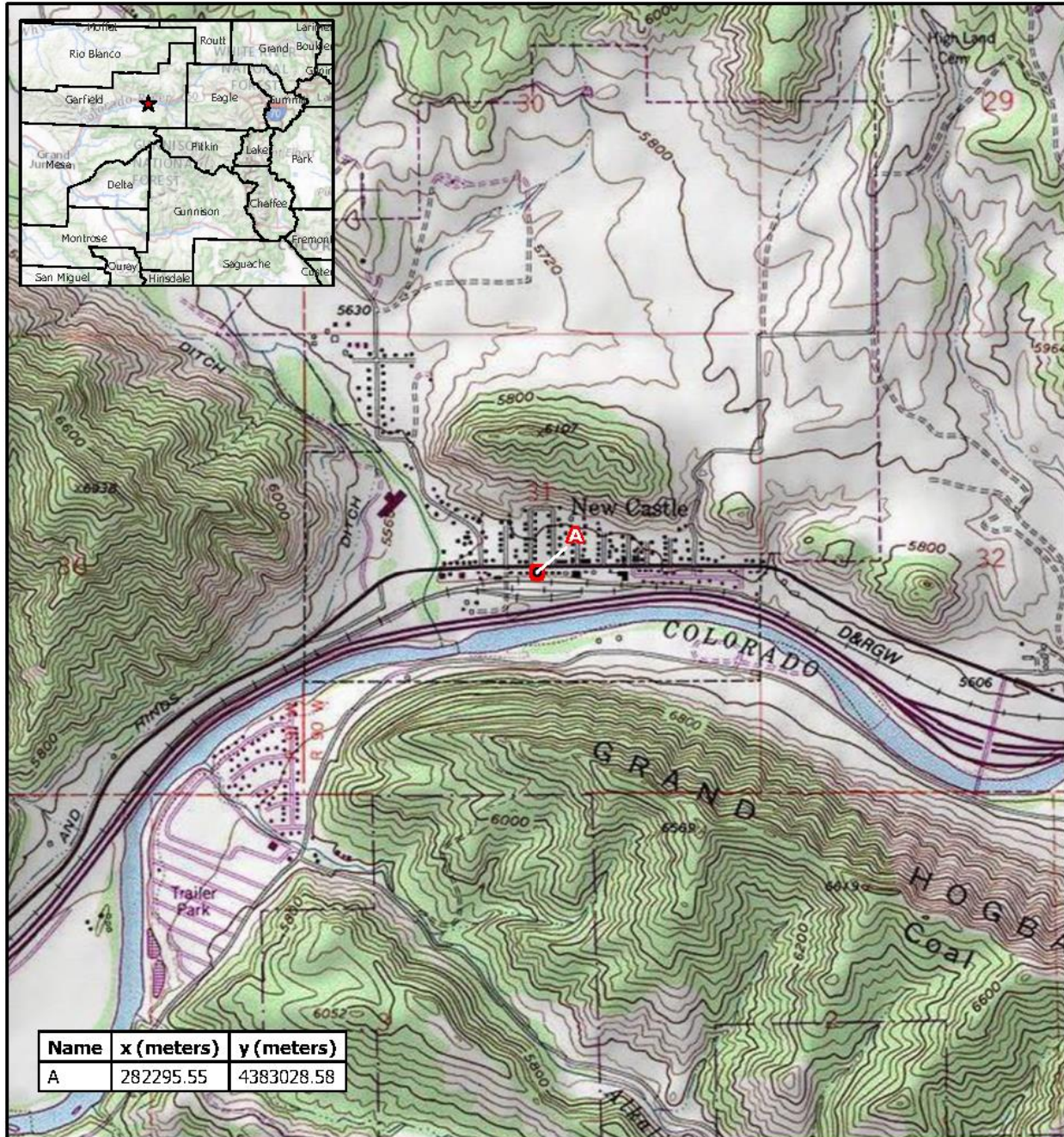


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<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p>				
<p>Sketch Map 437 West Main Street (5GF.5910) New Castle, Colorado Garfield County</p>					
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				



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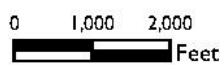
Topographic Map



Name	x (meters)	y (meters)
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Legend

-  Resource Boundary
-  Resource_UTMPoints



Topographic Map
 437 West Main Street (5GF.5910)
 New Castle, Colorado
 Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5910_1
Description: Looking at the primary (north) elevation of the residence.
Date: 9/6/2022
View: South



Photo Number: 5GF.5910_2
Description: Looking at the west elevation of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5910_3
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



Reference Photo 1
Description: Looking at the east and primary (north) elevation of the building.
Date: Circa 2009
View: Southwest

Sanborn Fire Insurance maps between 1899 and 1904 demonstrate that a two-wood framed buildings occupied space to the east of the primary building during the period. At some point, these buildings were destroyed, and a shed roof addition was made to the east elevation of the building. Historical aerial imagery demonstrates that a full-length roof deck was constructed along the south elevation of the building between 2005 and 2009. During this same period, corrugated metal siding was added to the lower half of the primary (north) elevation. Street imagery between 2012 and 2022 reveals that a multi-lite overhead garage door was added to the far left side of the primary (north) elevation and the exterior envelope was replaced with vertical weatherboard siding and corrugated metal. In addition, a rectangular picture window was removed in the gable end of the façade. At the same time, the roof deck along the south elevation was removed.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial/Confectionery and stationery Current Function/Use (if different): Commercial/Restaurant

17. Date of Construction: 1899 Estimated Actual (include source): 1899 Sanborn Fire Insurance map

18. Other Significant Dates, if any: Sanborn Fire Insurance maps demonstrate that the building operated as a confectionery and stationery between 1899 and 1904.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
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| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known:

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "457 West Main Street." Garfield County Assessor's Office. Parcel Number 212331409008. Accessed February 22, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1949776580&Key=R380289>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 22, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 22, 2023. <https://www.historicaerials.com>.
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McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

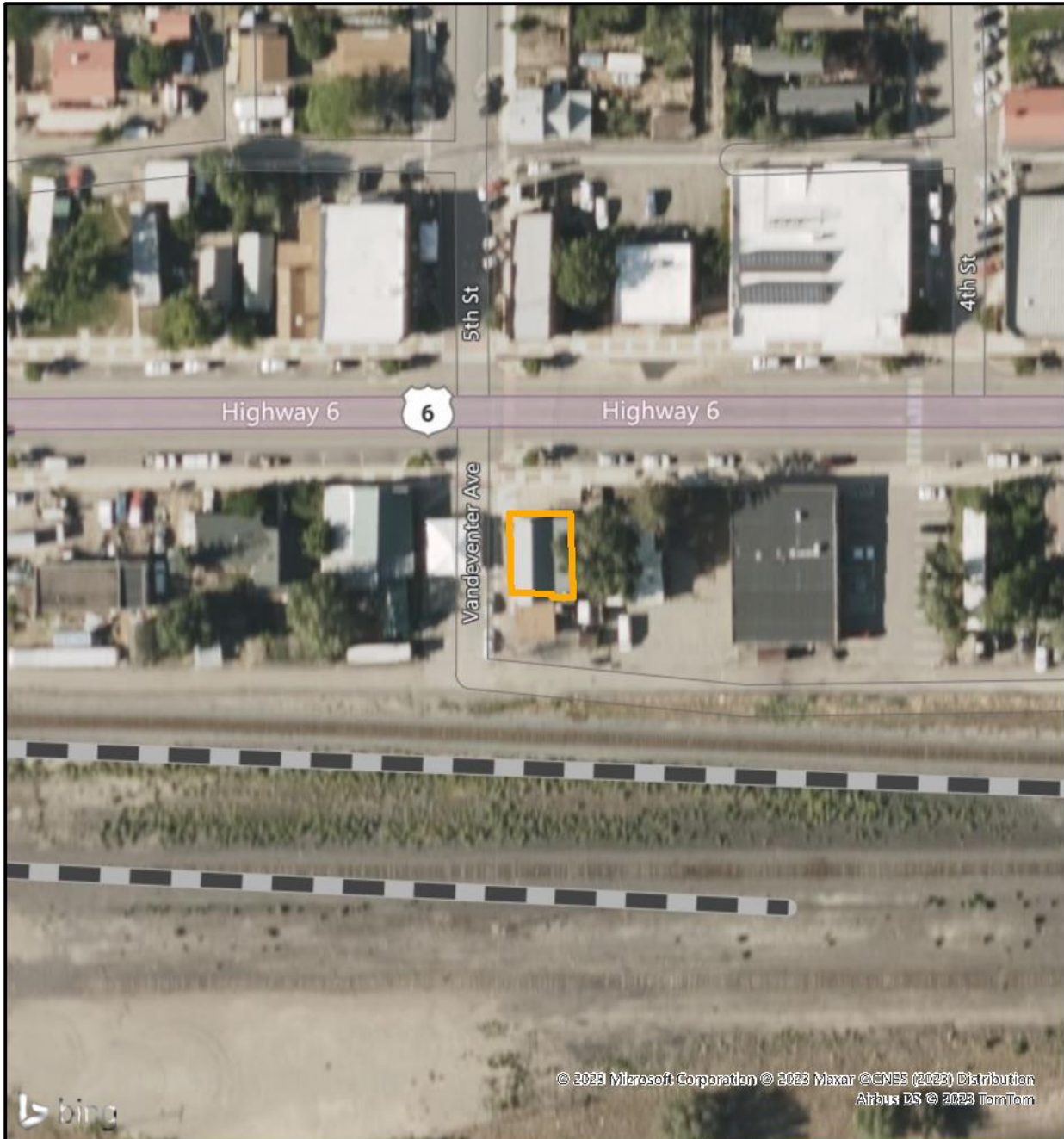
SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
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<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5909_1 to 5GF.5909_3, and 2 reference photos</u>



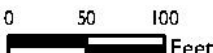
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Sketch Map



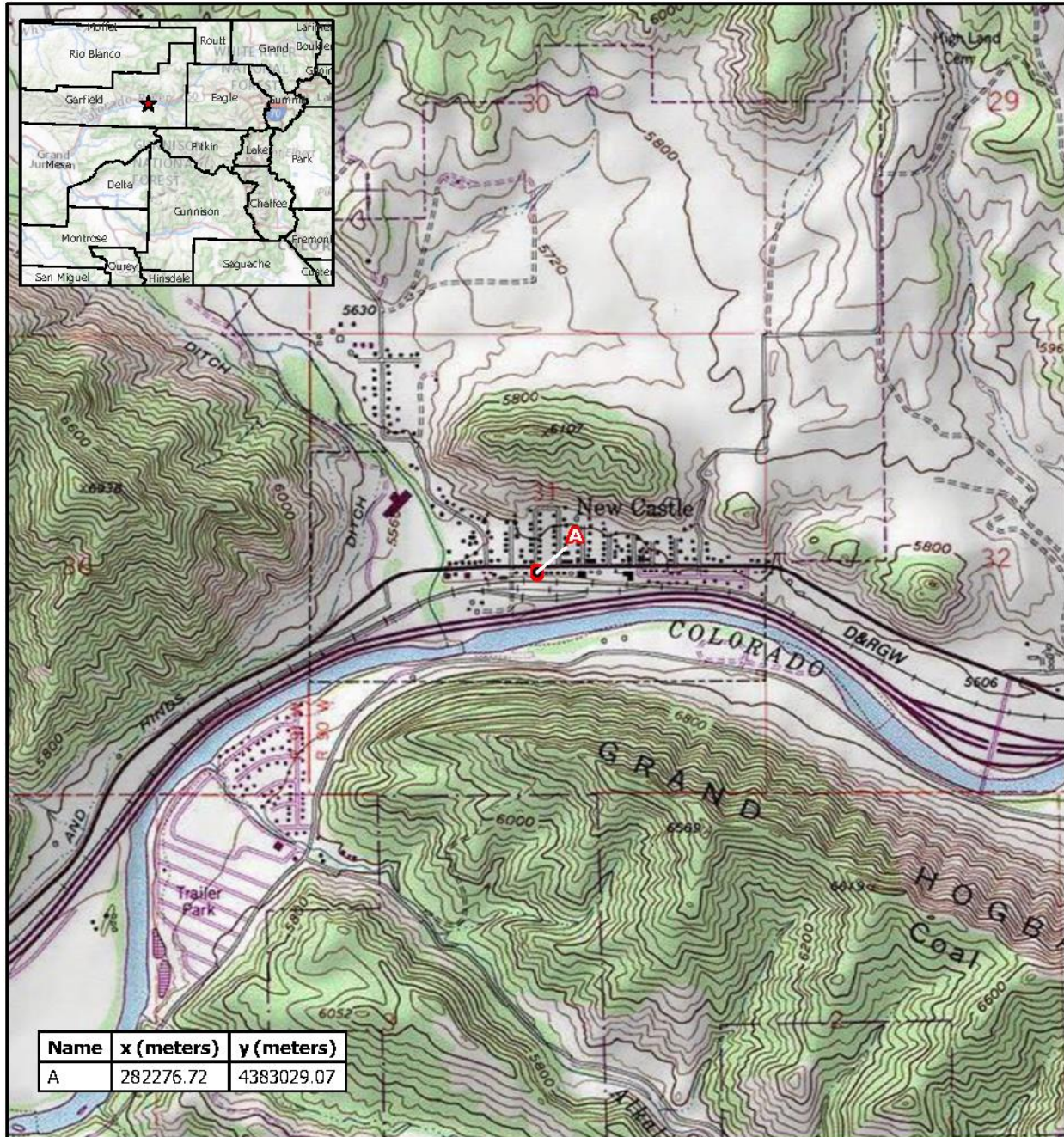
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<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 457 West Main Street (5GF.5909) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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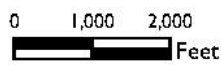
Topographic Map



Name	x (meters)	y (meters)
A	282276.72	4383029.07

Legend

 Resource Boundary



Topographic Map

457 West Main Street (5GF.5909)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



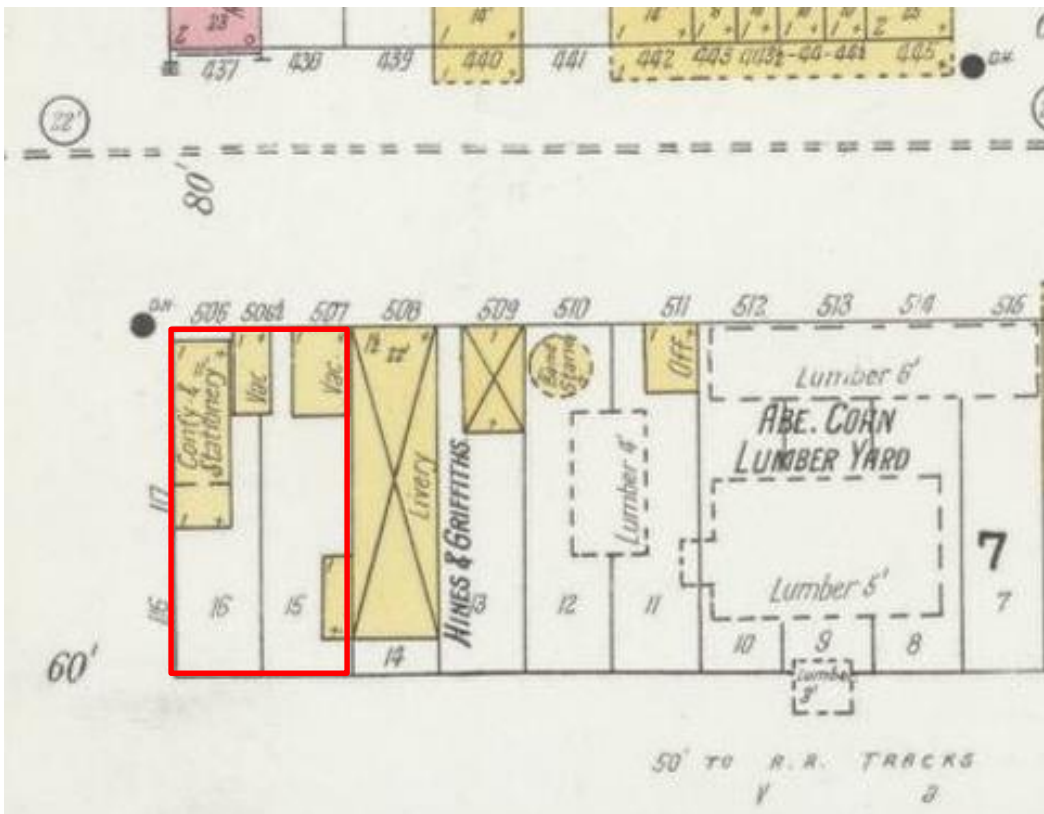
Photo Number: 5GF.5909_1
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Date: 9/6/2022
View: South



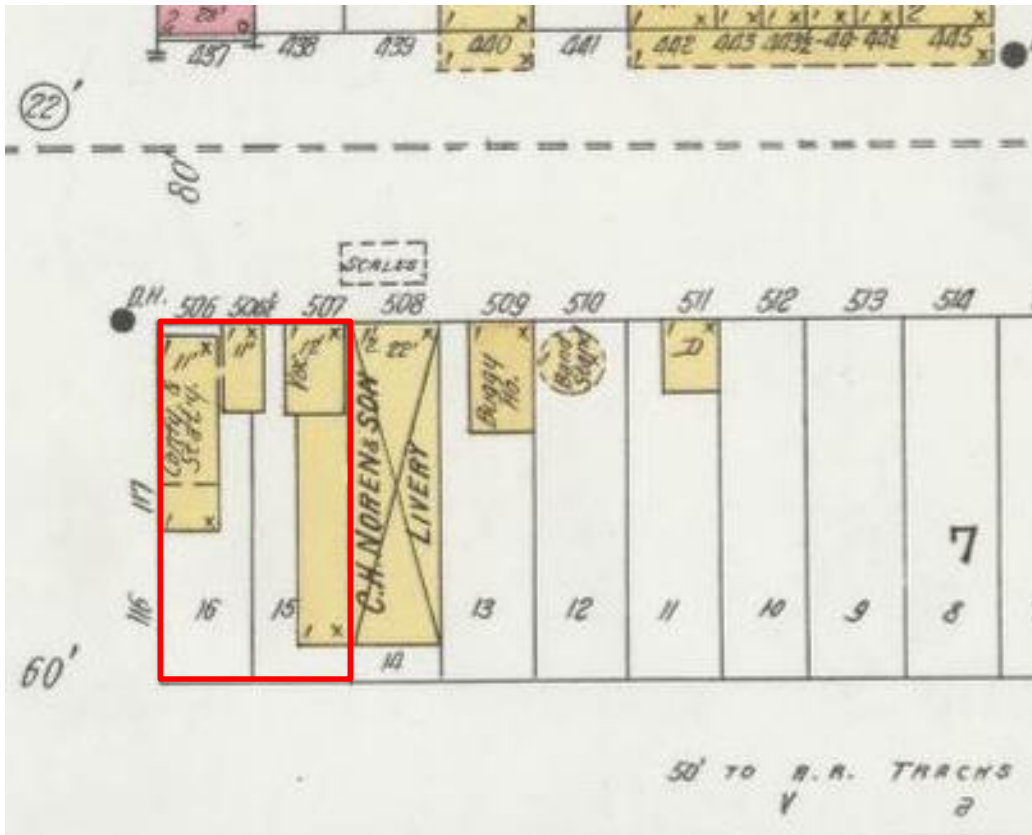
Photo Number: 5GF.5909_2
Description: Looking at the primary (north) and west elevations of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5909_3
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



Reference Photo 1
Description: 1899 Sanborn Fire Insurance map of the resource located on lot 15 and 16 of block 7. The property is outlined in red. Note that the two-wood framed buildings labeled as vacant are no longer extant.
Date: 1899
Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Linda Blatter Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 466 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331103007
- **9. Parcel Information: Lot(s): 1-4 Block: H Addition: Spencer's Addition
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SE ¼ of SE ¼ of NE ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282914 ;mN 4383069 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5-story	No Style	Stacked stone	Vertical weatherboard; some areas of wood novelty siding
Windows	Roof	Chimney	Porch
One-over-one single hung sash with wood frame; angled gable end windows; one-by-one sliding sash with wood frame;	Front gable roof; closed overhanging eaves; metal roof; exposed post beam under the gable peak	Several metal flues	Full length covered porch with hipped roof along primary (south) elevation; partial length protected porch with hipped roof along east elevation; partial length enclosed porch along north elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, rectangular shaped residence was constructed in 1893 as shown through review of Garfield County Assessor's Office records. The approximately 52' by 32' residence does not represent a particular architectural style. Overall, the building is a No Style residence. Architectural elements of the building include a concrete stacked stone foundation; a front gable roof; closed overhanging eaves; an exposed post beam under the gable peak; a lower front gable projection; an exterior envelope clad with vertical weatherboard and several areas consisting of wood novelty siding; and several metal flue chimneys. Additionally, a full-length hipped roof porch is located along the façade of the primary (south) elevation. A wood lattice panel is located at the southeastern corner of the porch along with lattice panel located underneath the elevated porch. The roof is supported by square wood posts. A partial length hipped roof porch is located along the left side of the east elevation of the building. Furthermore, an enclosed porch addition can be

noticed along the north elevation. Two angled gable end windows can be noticed under the gable peak along the primary (south) elevation. Several types of windows are present around the residence including one-over-one single hung sash, and one-by-one sliding sash units with wood frames. The center of the house consists of the front gable roofline which consists of an addition at some point.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other: The building is heavily obscured from the public right-of-way (ROW) due to tall and dense vegetation, and wood fencing.

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1893

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"696 East Main Street." Garfield County Assessor's Office. Parcel Number 212331103007. Accessed December 22, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1487163721&Key=Value=R380236>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 22, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 22, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

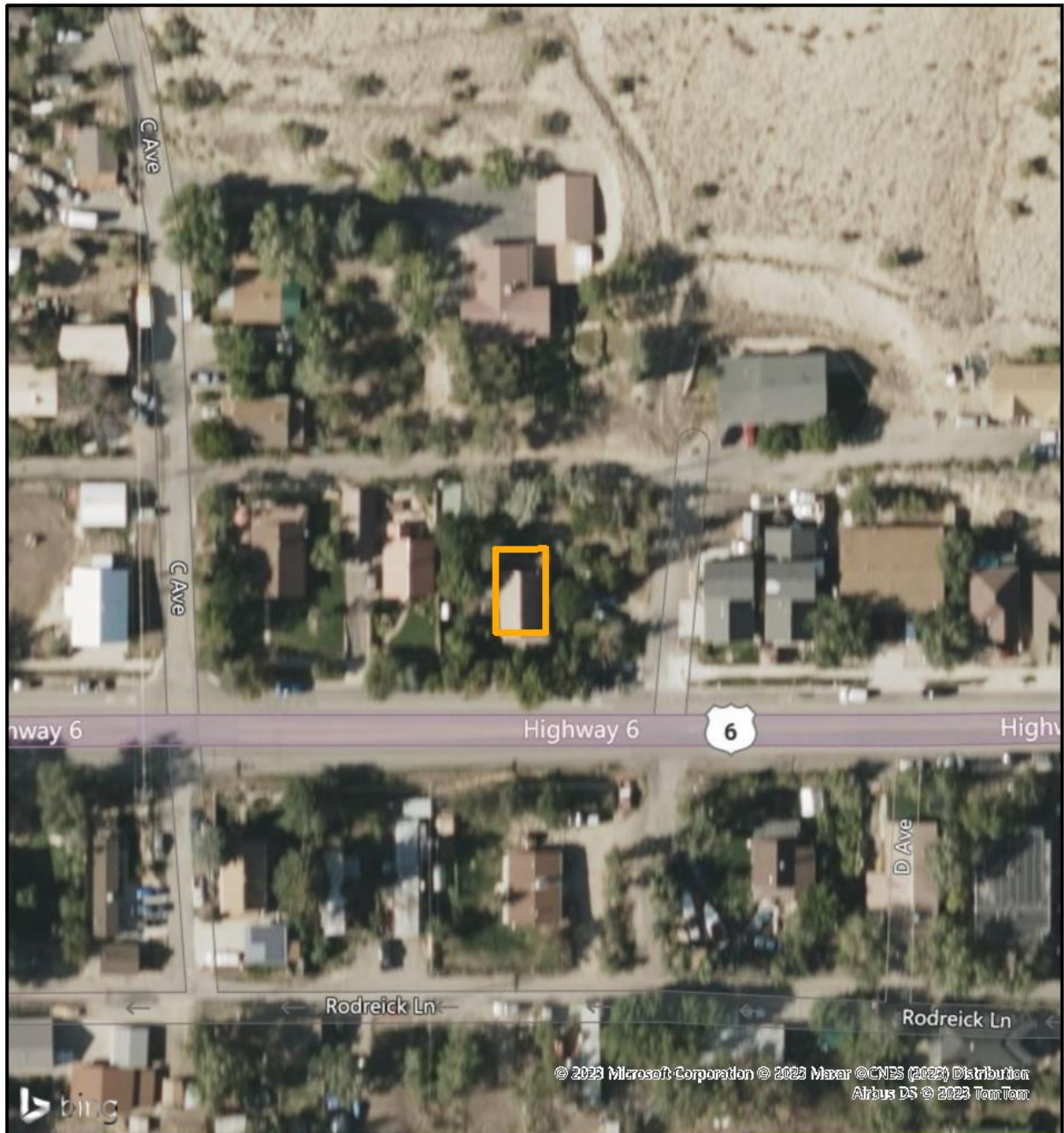
SKETCH PLAN *include approximate scale*



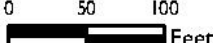


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5938_1 to 5GF.5938_3</u>

See Attachment																			
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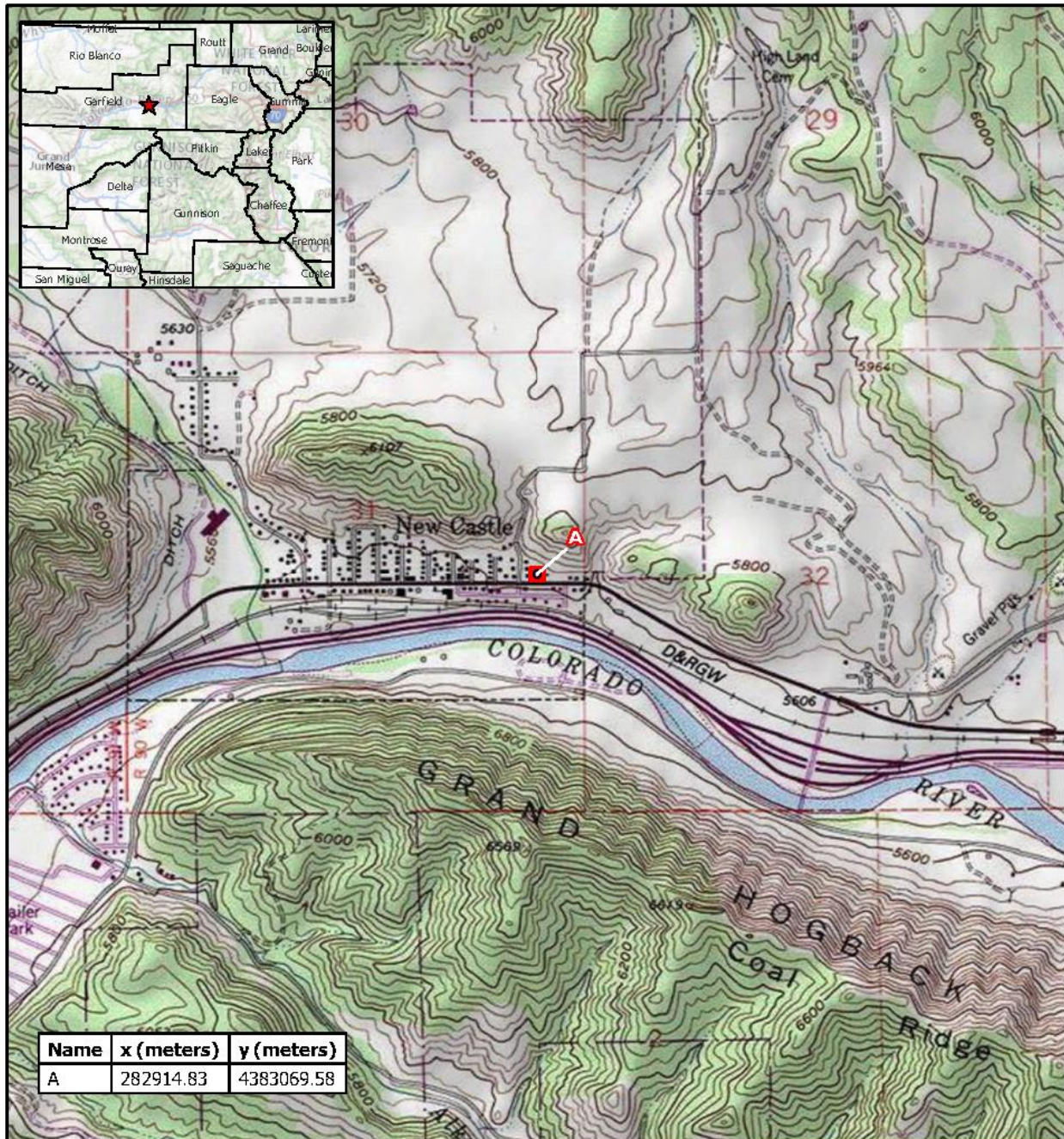
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 466 East Main Street (5GF.5938) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282914.83	4383069.58

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

466 East Main Street (5GF.5938)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5938_1
Description: Looking at the west and primary (south) elevation of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5938_2
Description: Looking at the primary (south) elevation of the building. Note that much of the facade is observed by wood fencing and vegetation from the public ROW.
Date: 9/6/2022
View: North



Photo Number: 5GF.5938_3

Description: Looking at the

View: "[Insert Location]"

the windows on the first floor. Four typical windows can be noticed on the second floor of the primary (south) elevation. A corbelled brick cornice can also be noticed along the west elevation as well as three typical windows on the second floor. The first floor has two door openings that have been covered with horizontal weatherboard as well as a replacement picture window and door. A wood staircase and an unprotected patio are located on the north elevation. The east elevation demonstrates stucco on the exterior wall near the foundation. Several typical windows and picture windows are also present.

Historic imagery of the building between 1900 and 1905 shows that the primary (elevation) had limited change at the time. However, by 1906, an addition was constructed on the north elevation of the building. By the late Twentieth Century, additional imagery reveals that the first floor of the primary (south) elevation was covered with plywood. By 1996, the plywood was removed although panels above the windows on the first floor were present. Historical street imagery between 2012 and 2022 demonstrates that the paneling above the windows on the first floor of the primary (south) elevation were removed and replaced with picture windows and a transom. Additionally, a sidelight was added to the left of the main entryway. Furthermore, several doors along the west elevation were replaced either with a metal door or replacement window, or door openings were covered with horizontal weatherboard. A staircase was also constructed along the north elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial/Residential

17. Date of Construction: 1890
Building Inventory Record (5GF.1488)

Estimated Actual (include source): 1996 OAHP Historic

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

“The Abstract of Title for this property shows that early owners of the property (after the division of the town into blocks & lots) included W.E. Shaffer (1887), Samuel F. Spencer (1887), Cami & Lizzie Westerman (1888), C.N.A. Hahn (1892), Melinda Ferguson (1892) and Joe P. Williams (1899). According to Sanborn Insurance maps, the lower floor of the building was occupied by a saloon (1893) and by a meat market (1899 and 1904). A mercantile store operated by Larson & Youmans was also located in the building. The meat market was operated by J.W. Hawzhurst, who listed in the State Business Directory for the 1902-04 period. In 1898, after fire destroyed the Duplice Building, which had served as headquarters for the various fraternal lodges of the town, the Grand River Lodge of the Independent Order of Odd Fellows used the upper floor of this building as their meeting hall, which also was used for dances. The IOOF turned their charter in 1987 and sold the building, which now houses a hair salon on the first floor. James Stevens turned the second floor into an apartment in 1898.”

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.1488) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

The Town of New Castle designated the resource a local landmark.

23. Sources:

"500 West Main Street." Garfield County Assessor's Office. Parcel Number 212331110027. Accessed February 22, 2023.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=284574860&KeyValue=R380277>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022.

https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 22, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 22, 2023. <https://www.historicaerials.com>.

"Main Street in New Castle." Denver Public Library – Digital Collections. Accessed February 22, 2023.

<https://digital.denverlibrary.org/digital/collection/p15330coll22/id/11730/rec/397>.

"New Castle, Colo." Denver Public Library – Digital Collections. Accessed February 22, 2023.

<https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6554/rec/386>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "Mane Street Hair Design – Odd Fellows Hall (5GF.1488)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

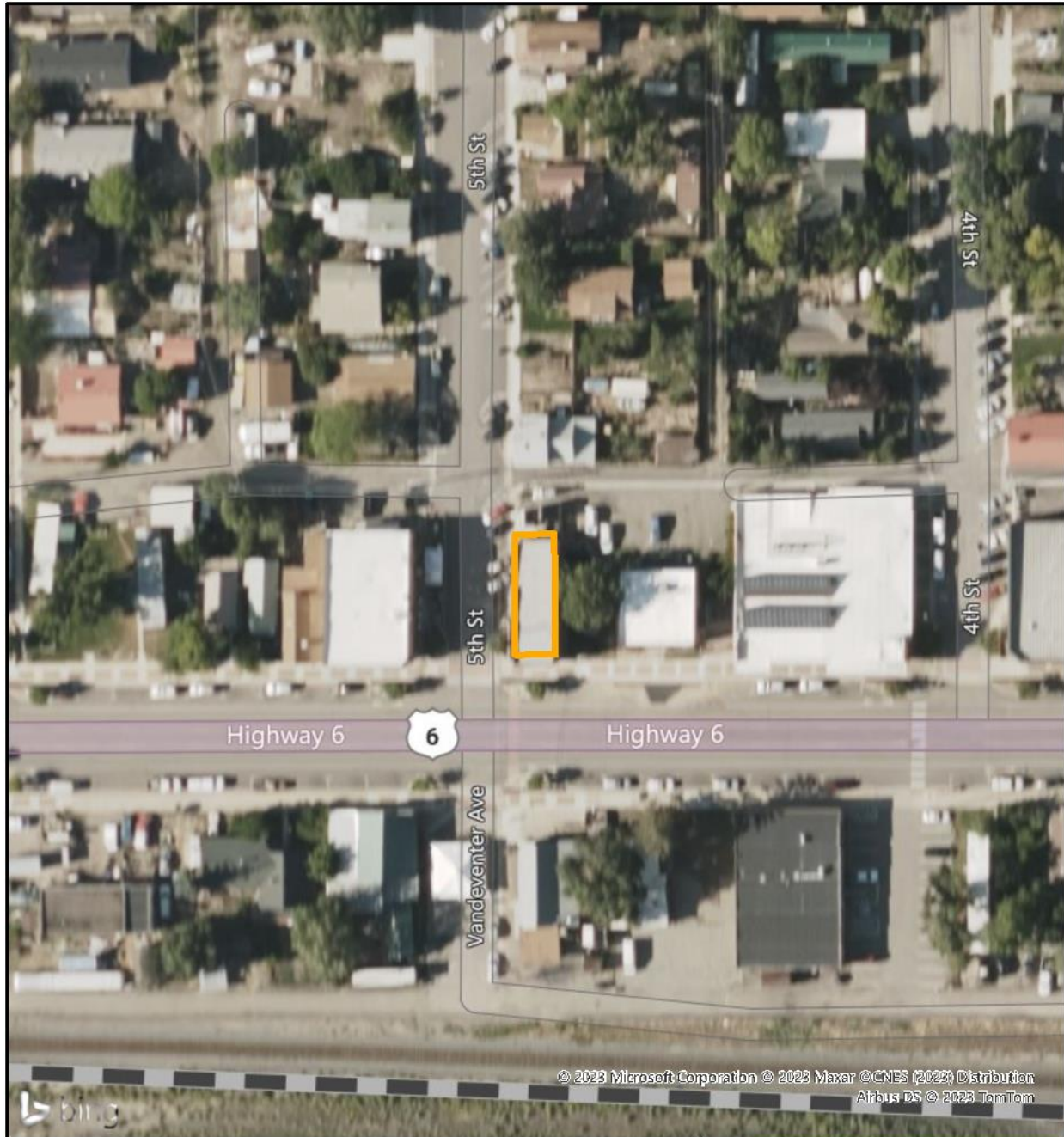
SKETCH PLAN *include approximate scale*



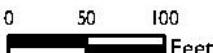



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.1488_1 to 5GF.1488_4, 2 historic photos, and 5 references photos</u>

See Attachment																			
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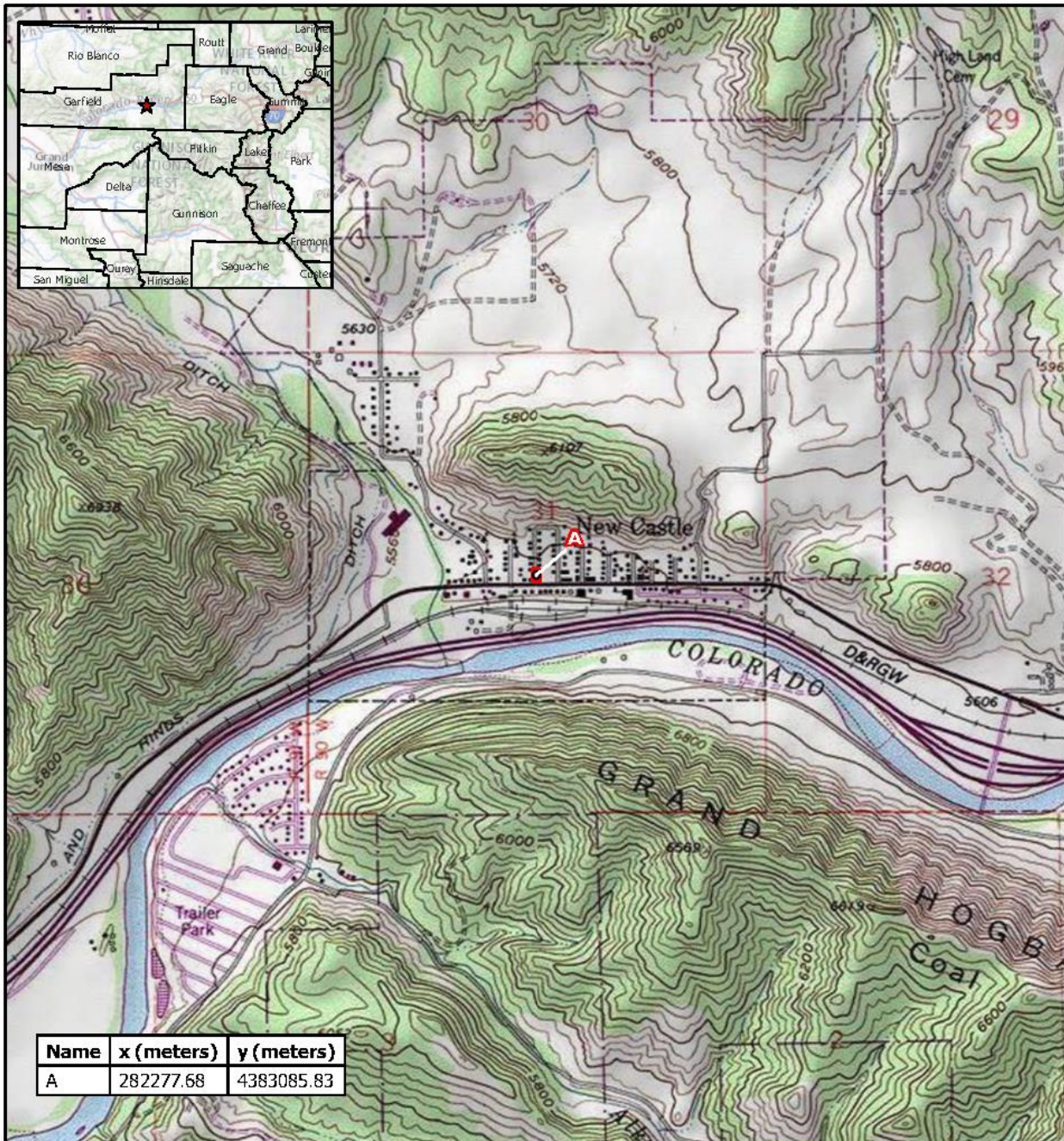
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 500 West Main Street (5GF.1488) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Reviewed By: CMW</p>		<p>Date: 4/10/2023</p>	


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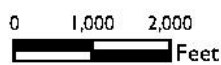
Topographic Map



Name	x (meters)	y (meters)
A	282277.68	4383085.83

Legend

 Resource Boundary



Topographic Map
 500 West Main Street (5GF.1488)
 New Castle, Colorado
 Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.1488_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.1488_2
Description: Looking at the primary (south) and east elevation of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.1488_3
Description: Looking at the west and primary (south) elevations of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.1488_4
Description: Looking at the west elevation of the building.
Date: 9/6/2022
View: Southeast

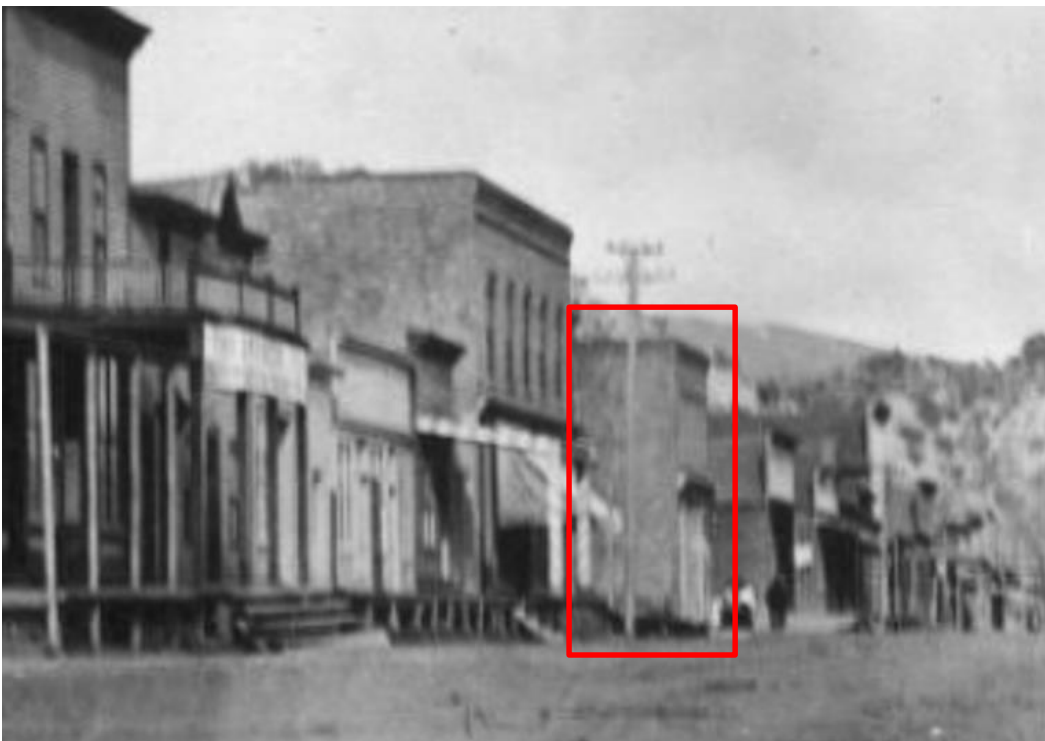


Historic Photo 1

Description: Image of downtown New Castle looking west down Main Street from the intersection of Main Street and North 4th Street. Note that the resource is behind the shed roof overhang which is not associated with the building. The resource is outline in red.

Date: 1905

Source: Denver Public Library – Digital Collections [Not for publication]



Historic Photo 2

Description: Image of downtown New Castle looking east down Main Street from the intersection of Main Street and North 6th Street. The resource is outline in red.

Date: Circa 1900-1905

Source: Denver Public Library – Digital Collections [Not for publication]



Reference Photo 1

Description: Image states, "Odd Fellows Hall built in 1909. Ground floor housed a meat market, then a mercantile store, and later a "Mane Street Beauty Shop." Note the plywood that covers the first floor of the façade.

Date: Unknown

Source: New Castle Museum Collection

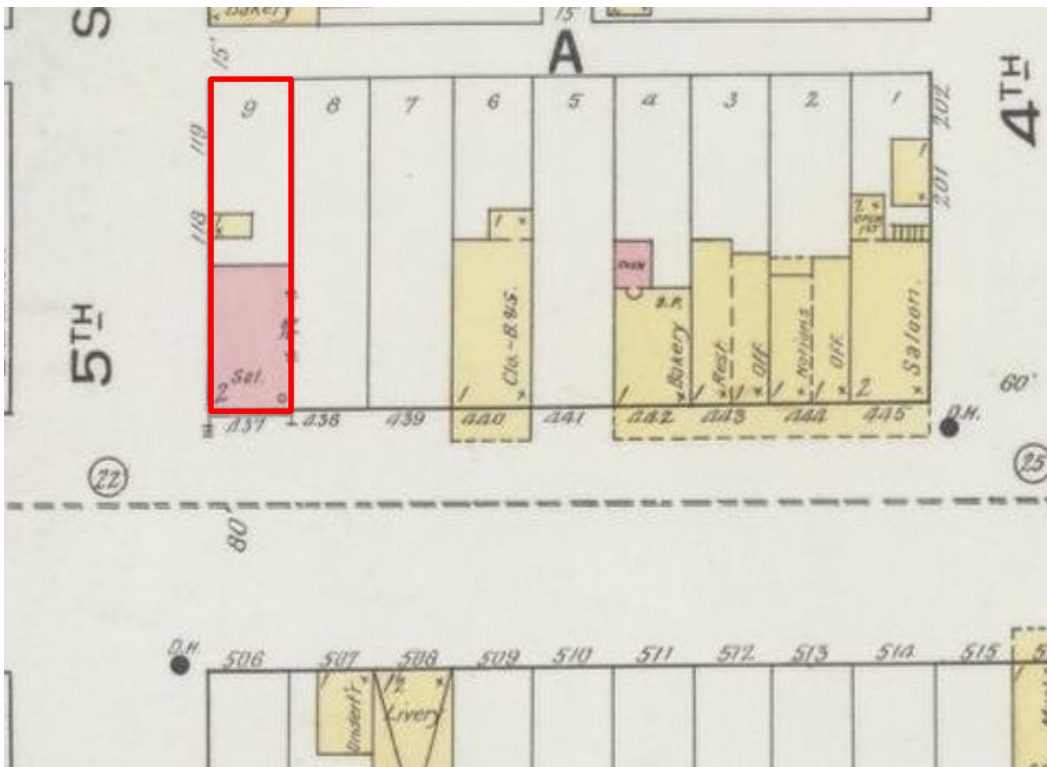


Reference Photo 2

Description: Looking at the west and primary (south) elevation of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.1488)

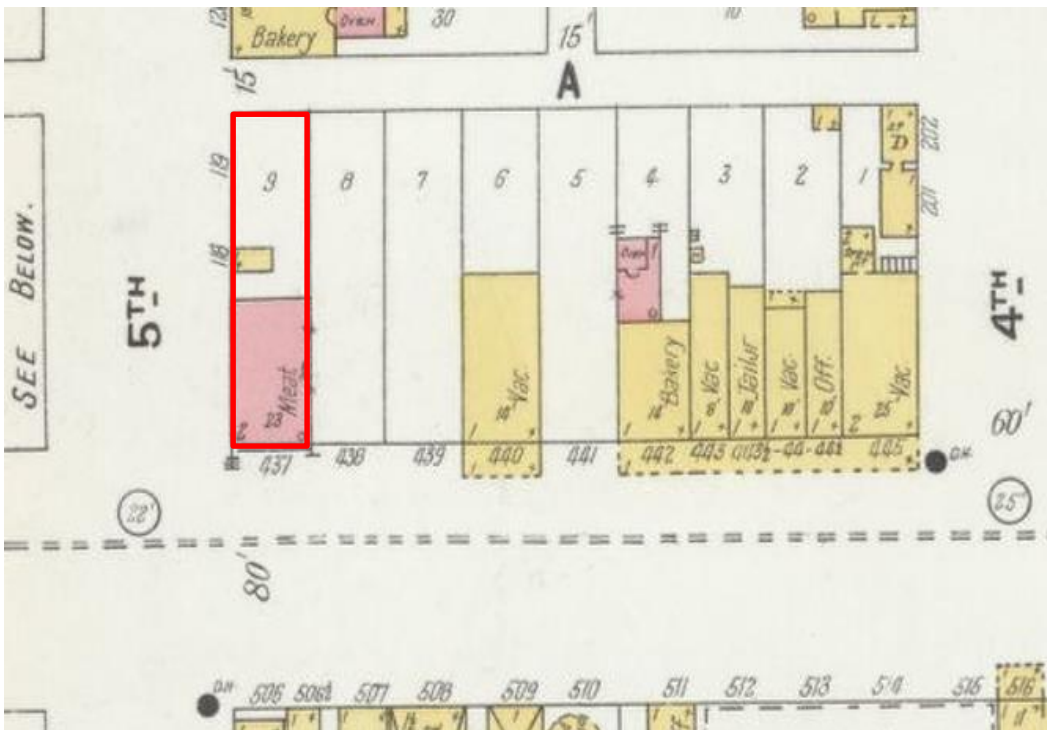


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 9 of block A. The property is outlined in red.

Date: 1893

Source: Library of Congress

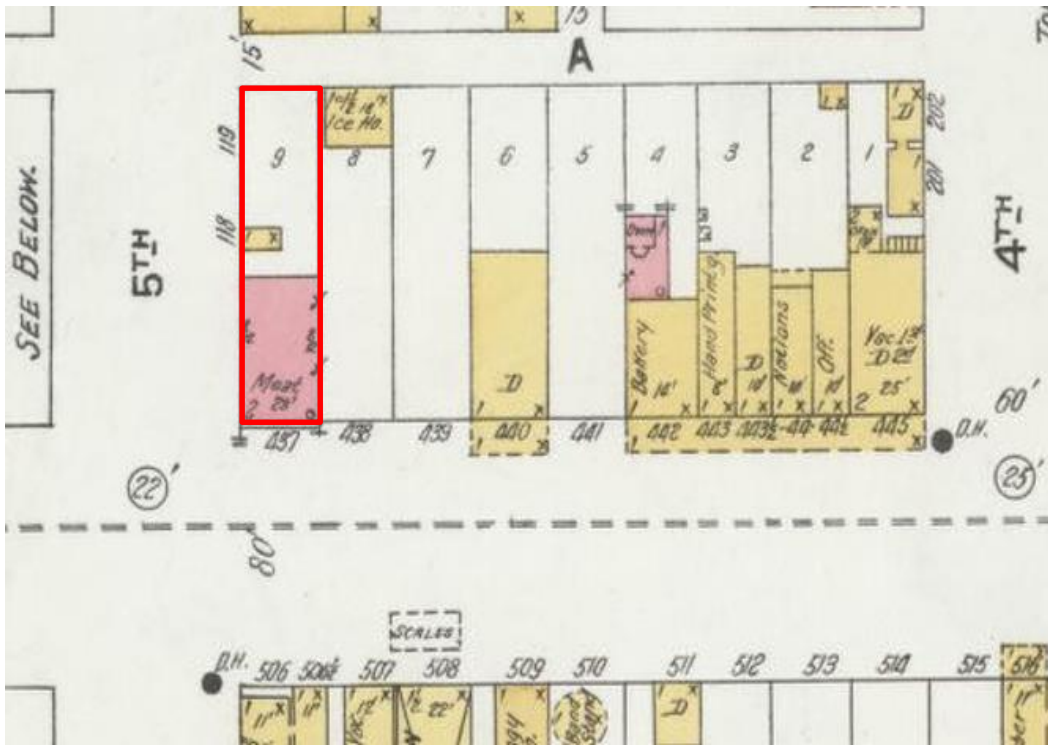


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: Barry Building Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 502 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331222019
- **9. Parcel Information: Lot(s): 1, 2 Block: 8 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282249 ;mN 4383086 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Nineteenth Century Commercial	Stacked stone	Brick masonry; board and batten; brick belt course under cornice; stucco on west elevation
Windows	Roof	Chimney	Porch
One-over-one single hung sash; picture windows; transom; bay window with hipped roof; segmental arches with dentils and corbelled brick features; stone sills	Flat roof with stepped parapets; corbelled brick cornice; small metal shed roof overhand along the primary (south) elevation	Stucco chimney	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, rectangular shaped building was constructed circa 1893. The approximately 78' by 46' building is representative of a Nineteenth Century Commercial style of architecture. The building features a stacked stone foundation; a flat roof with parapets; an exterior envelope clad in brick masonry, and board and batten; stucco along the west elevation; a corbelled brick cornice; segmental arches with dentils and corbelled brick features; stone masonry window sills; a brick belt course; a bay window; a stucco chimney; and cast iron pilasters with floral capitals. The typical window consists of a wooden one-over-one single hung sash. Many windows also incorporate a segmental arch lintel with dentil and corbelled brick features, and a stone masonry sill. The main entryway is located within the angled storefront on the far-right side of the primary (south) elevation of the building. The main entryway consists of a metal

door with a single rectangular lite. The main door is capped by a single-lite transom. A bay window with typical window units is located above the main entryway on the second floor. The first floor is primarily clad in board and batten siding along the primary (south) and east elevations. A second and third entryway can be noticed on the far-left side of the primary (south) elevation. Between the cornice and the lintels of the second-floor windows on the primary (south) elevation, painted signage stating, "The Elk Creek Mining Co. Bar & Grill" can be seen. In addition, decorative dentil features can be noticed between the first and second floors of the primary (south) elevation.

Historic imagery of the building between 1900 and 1905 shows that the primary (south) elevation underwent limited change at the time. By the late Twentieth Century, additional imagery reveals that a bay window was constructed above the main entryway. Awnings were also added above windows on the first floor of the primary (south) elevation. Several windows along the first floor of the east elevation had been removed and the openings covered by brick masonry. Historic street imagery between 1996 and 2008 reveals that the exterior wall of first floor of the east and primary (south) elevation was clad in board and batten siding. In addition, windows were replaced with multi-lite picture windows. The main entryway was also replaced along with the transom. At some point, stucco was added to the exterior wall of the west elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial

17. Date of Construction: 1893
Building Inventory Record (5GF.1166)

Estimated Actual (include source): 1996 OAHP Historic

18. Other Significant Dates, if any:

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"This building appears on the 1893 Sanborn map of New Castle and is indicated as a 'general merchandise' establishment. The 1899 and 1904 maps give the same function for the building. Daniel Barry was the original owner of the building. Barry was described as 'a gentleman who has a prosperous business in the grocery, dry goods, boot and shoe line.' Prospering, Barry built this 'fine brick clock of two stories with a basement 50' X 75' at a cost of \$9,000. Barry operated his business here until 1897. Cohn, Doll & Co. (later Doll Bros. and Smith) operated a dry goods and general merchandise store here, followed by the Rocky Mountain Stores Co. from 1908-15. Albert Nelson and Joe Brunetti later operated a garage and filling station in the building through the 1940s. More recently, the building has housed a pool hall on the first floor with apartments above. Today the building is used as restaurant, La Loma West."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.1166) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

The Town of New Castle designated the resource a local landmark.

23. Sources:

"502 West Main Street." Garfield County Assessor's Office. Parcel Number 212331222019. Accessed February 23, 2023.

<https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1729488739&Key=Value=R380283>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022.

https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 23, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 23, 2023. <https://www.historicaerials.com>.

"Main Street in New Castle." Denver Public Library – Digital Collections. Accessed February 23, 2023.

<https://digital.denverlibrary.org/digital/collection/p15330coll22/id/11730/rec/397>.

"New Castle, Colo." Denver Public Library – Digital Collections. Accessed February 23, 2023.

<https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6554/rec/386>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

Front Range Associates, Inc. "La Loma West Restaurant – Barry Block (5GF.1166)." Historic Building Inventory Record – Colorado Historical Society, June 1996.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

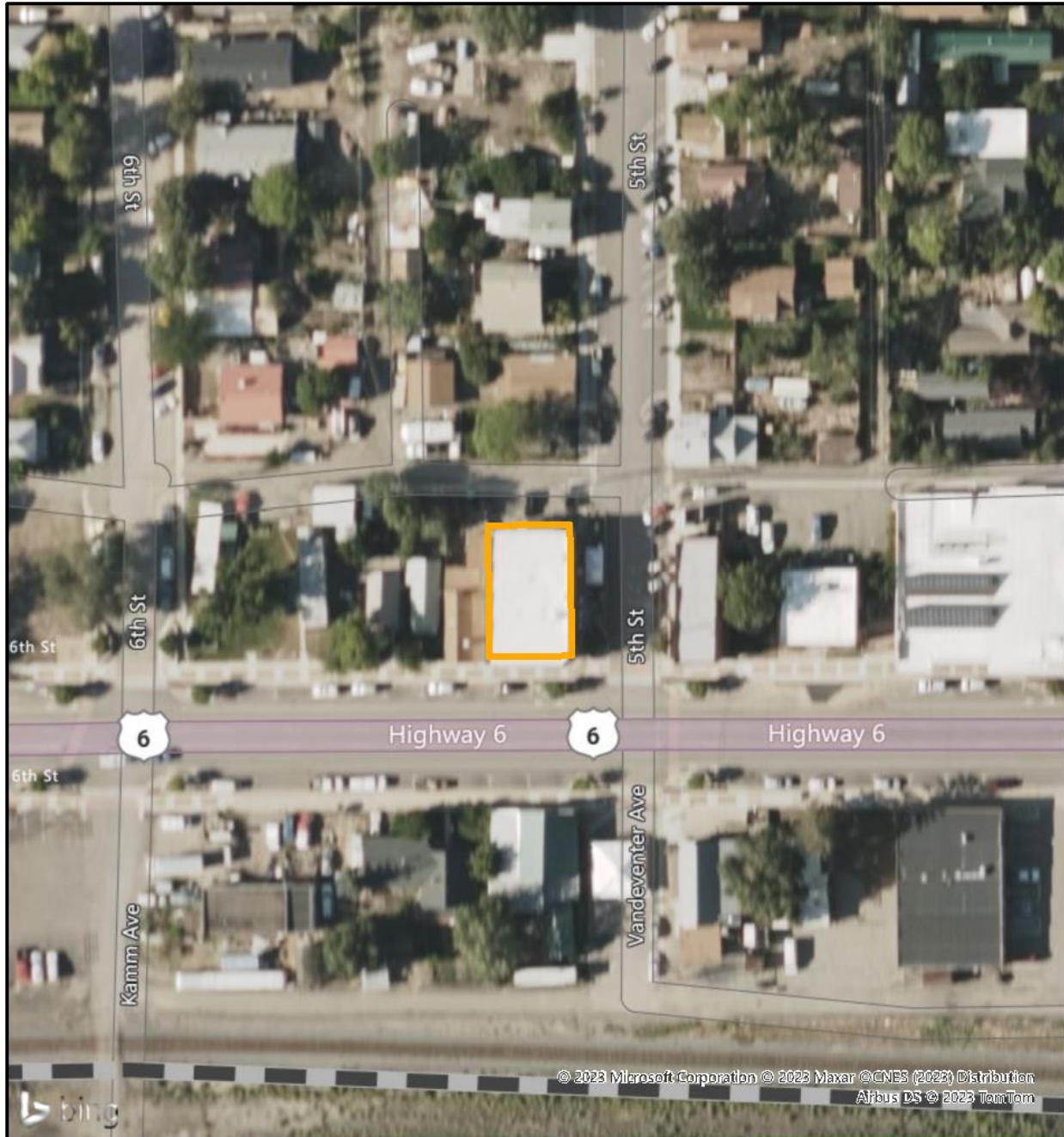
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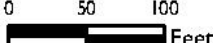


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input checked="" type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.1166_1 to 5GF.1166_2, 2 historic photos, and 5 reference photos</u>

See Attachment																			
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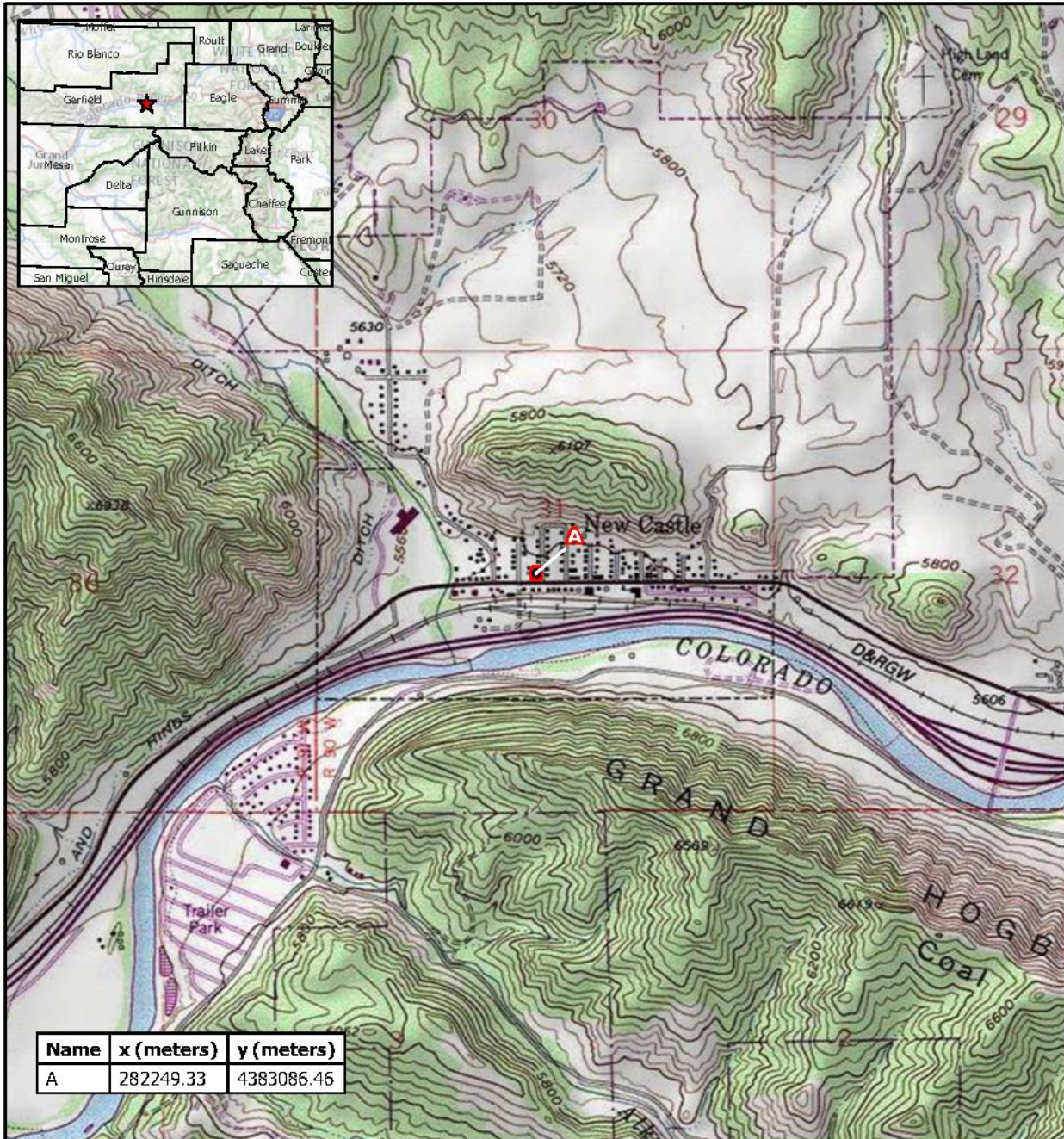
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 502 West Main Street (5GF.1166) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

Docu: new: Path: C:\Users\doowal\Desktop\CUI\New Castle\Borch R\122156001 New Castle Hazmat Survey\122156001 New Castle Hazmat Survey.aprx

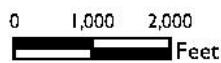
Topographic Map



Name	x (meters)	y (meters)
A	282249.33	4383086.46

Legend

 Resource Boundary



Topographic Map

502 West Main Street (5GF.1166)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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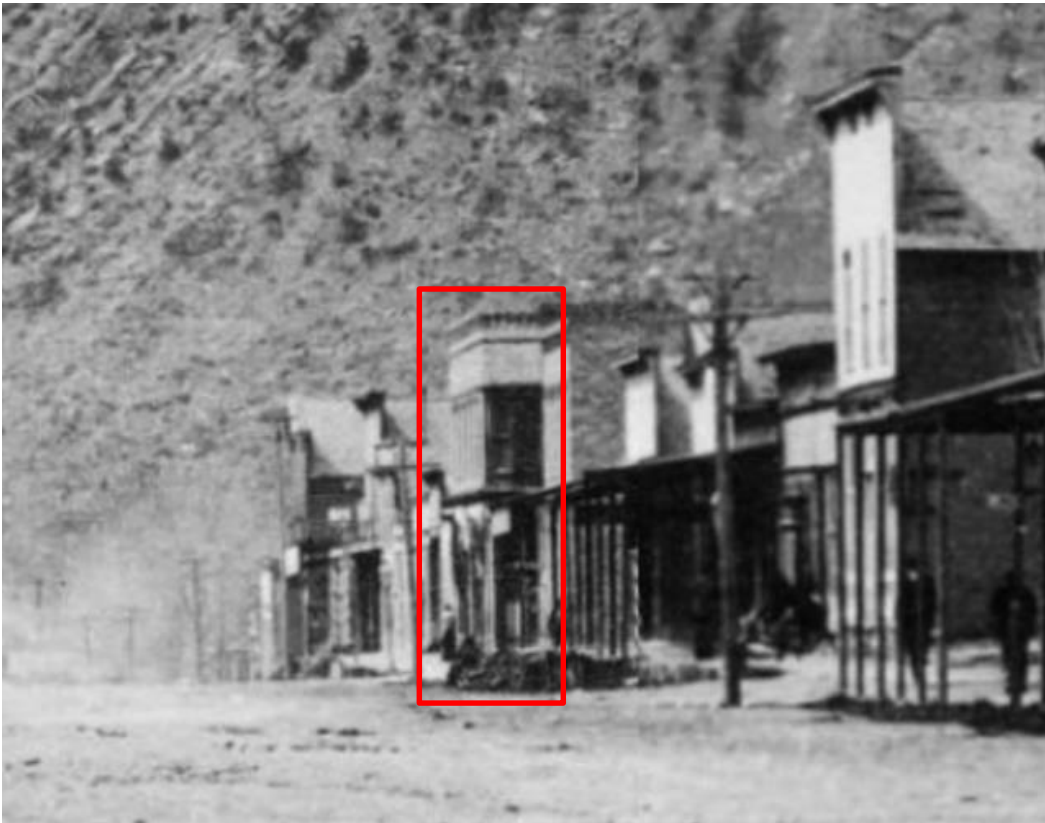
Site Photographs



Photo Number: 5GF.1166_1
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.1166_1
Description: Looking at the west and primary (south) elevation of the building.
Date: 9/6/2023
View: Northeast

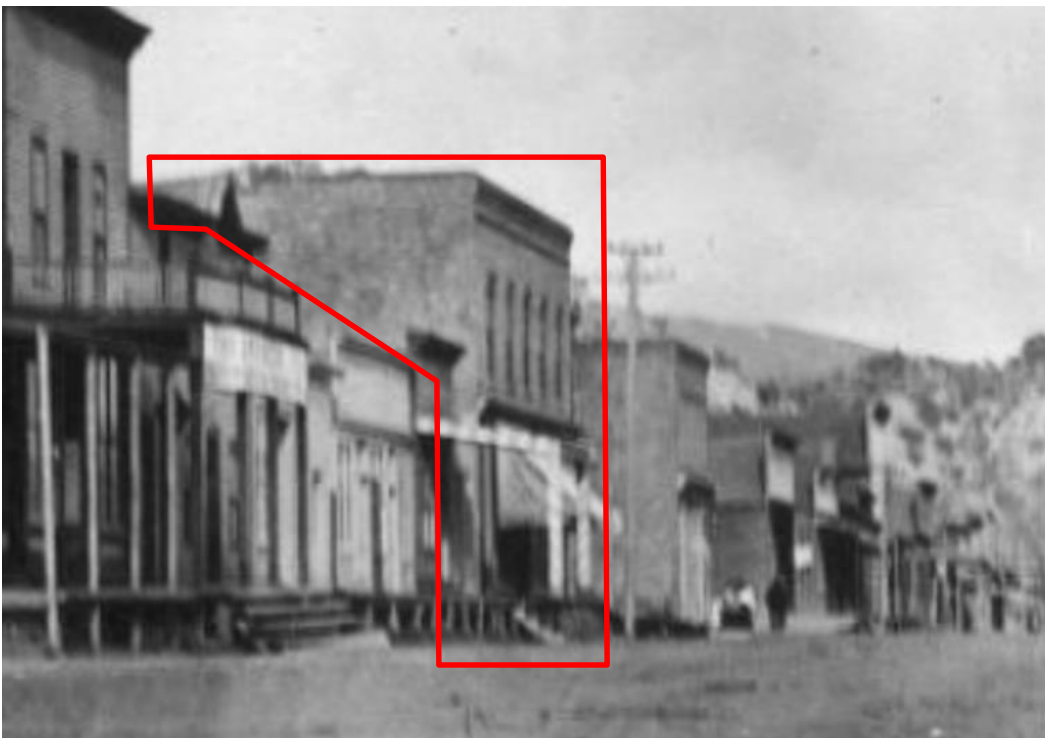


Historic Photo 1

Description: Image of downtown New Castle looking west down Main Street from the intersection of Main Street and North 4th Street. The resource is outlined in red.

Date: 1905

Source: Denver Public Library – Digital Collections [Not for publication]



Historic Photo 2

Description: Image of downtown New Castle looking east down Main Street from the intersection of Main Street and North 6th Street. The resource is outlined in red.

Date: Circa 1900-1905

Source: Denver Public Library – Digital Collections [Not for publication]



Reference Photo 1

Description: Image states, "Laloma Resturant was Doll Bros. & Rocky Mountain store. It was also the Brunetti Garage. Now Elk Creek Mining Co."

Source: New Castle Museum Collection

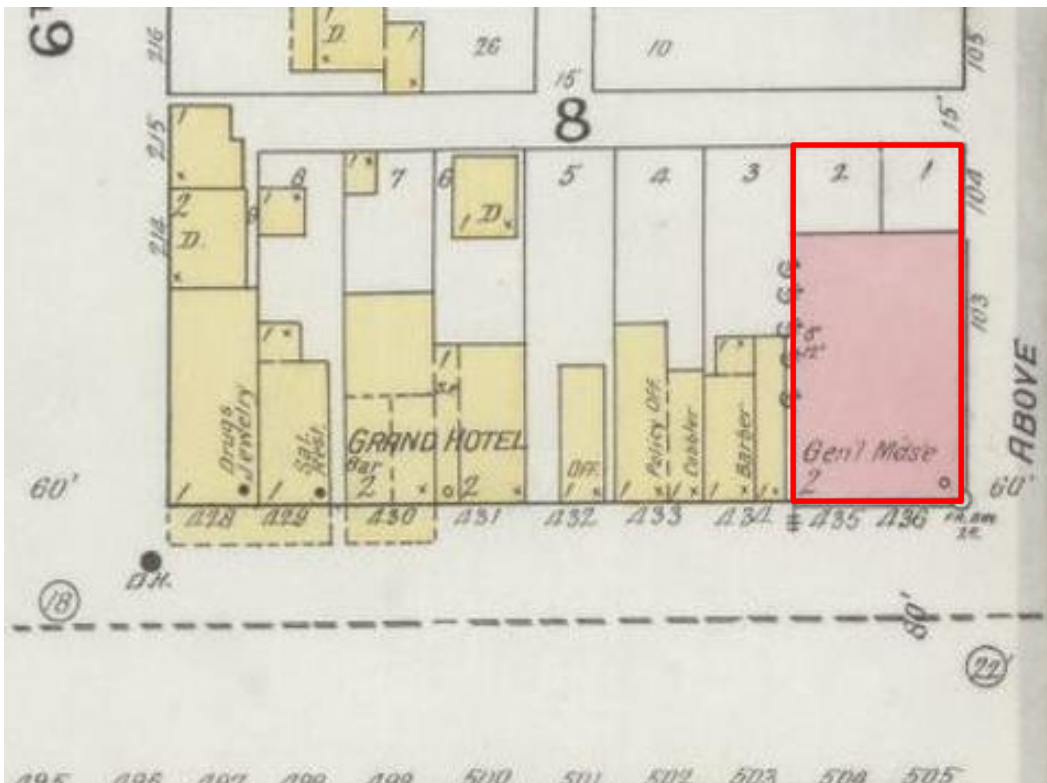


Reference Photo 2

Description: Looking at the primary (south) and east elevations of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.1166)

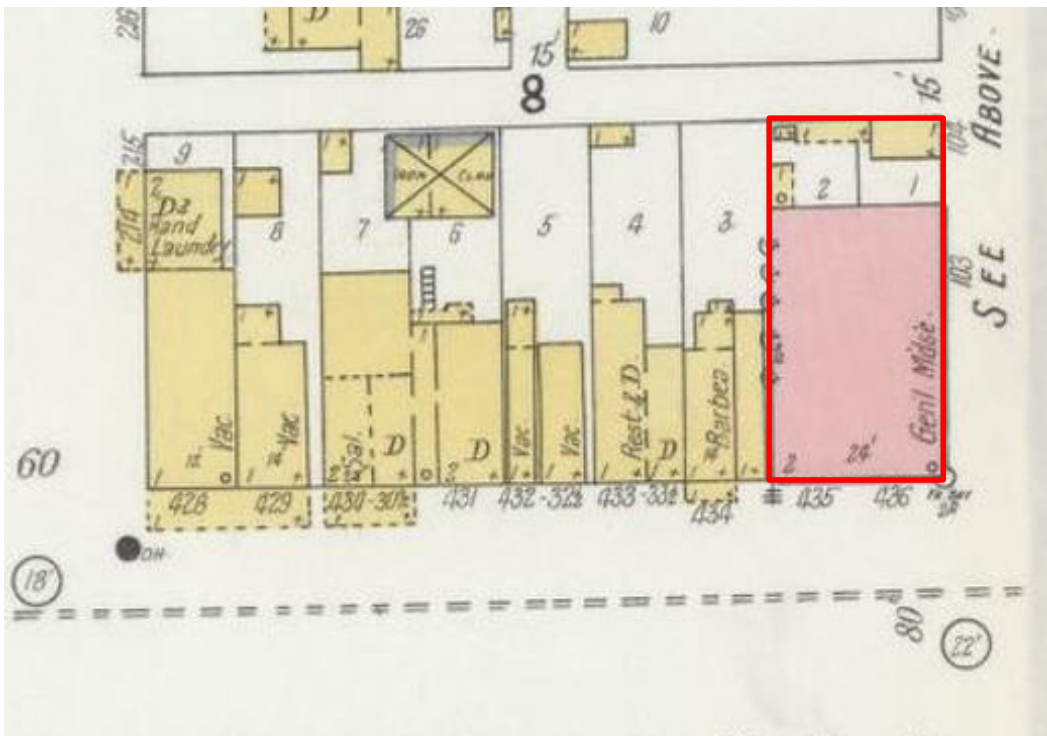


Reference Photo 3

Description: 1893 Sanborn Fire Insurance map of the resource located on lots 1 and 2 of block 8. The property is outlined in red.

Date: 1893

Source: Library of Congress

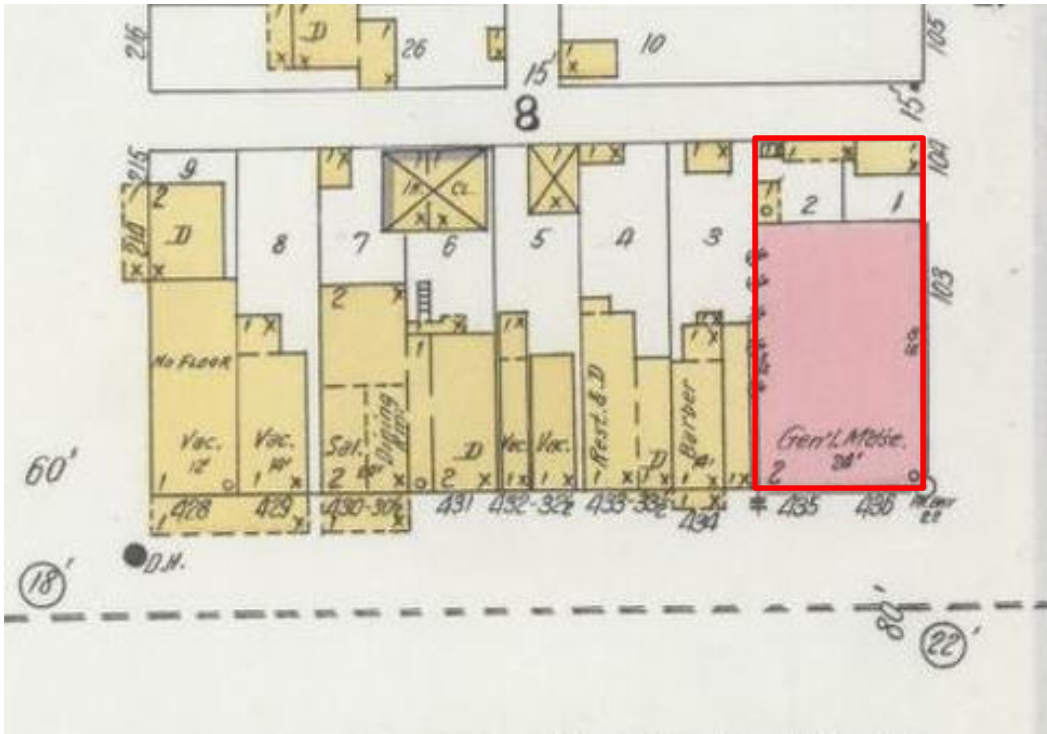


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

weatherboard or asphalt siding. A brick masonry residence is located along the south elevation of the building. In addition, two brick masonry shed roof additions are located between the residence and the stable.

Historical photos of the building in 1905 demonstrate that the building had a larger footprint along the south elevation. A front gable roof vent was also located in the center of the roofline. A front gable dormer was also located in the center of the east elevation. A cast iron cornice was also present along the false front. By the late Twentieth Century, photos of the building demonstrate that the southern half of the building was removed and several additions to the south elevation were constructed including a residence. In addition, the main entryway door was replaced, and the cast iron cornice was removed. Several door and window openings were also covered. During this same period, embossed asphalt siding was added to the east elevation of the building.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Residential

17. Date of Construction: 1905

Estimated Actual (include source): 1904 Sanborn Fire

Insurance map and 3 historic photos (1905 dated) from Denver Public Library

18. Other Significant Dates, if any: By the late Twentieth Century, the commercial building transition into a residence.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: The following historic context is quoted from the 1996 Historic Building Inventory Record by Front Range Research Associates, Inc.:

"According to the New Castle Historical Society's walking tour, this was the Exchange Stables, owned and operated by C.H. Noren and Son. The stable rented horses and rigs for hauling and buggies and teams from trips to Meeker, Craig, and Steamboat. One employees of the stable was John Anderson, nicknamed 'John the Swede.'

Although residents identify this building as the Noren stable, Sanborn maps indicate that the lot was vacant expect for a small one-story building at the southeast corner in 1893. In 1899, the small building is shown, as well as a small iron clad building attached to a larger building further west which was indicated as offering stoves, hardware, and furniture. In 1904, the lot where the building is located is shown as vacant on the Sanborn map (the present building is shown in a 1940s photograph of the western end of Main Street). A livery stable is shown in the block to the east (south side of the street) on the 1893-1904 Sanborn maps and is identified on the 1904 map as C.H. Noren and Son. Charles H. Noren is listed in the State Business Directory as operator of a clothing and shoe store (1893-1900) and a livery (1903-09). It is unknown whether the Sanborn map is incorrect, or if the building was moved to this site from another location, or the building is new than 1904."

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

The resource (5GF.2380) was initially evaluated in June 1996 by Front Range Research Associates, Inc. The resource was assessed Field – Not Eligible.

23. Sources:

- "503 West Main Street." Garfield County Assessor's Office. Parcel Number 212331301001. Accessed February 23, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=419324411&KeyValue=R380290>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 23, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 23, 2023. <https://www.historicaerials.com>.
- "Main Street in New Castle." Denver Public Library – Digital Collections. Accessed February 23, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/11730/rec/397>.
- "New Castle." Denver Public Library – Digital Collections. Accessed February 23, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6555/rec/387>.
- "New Castle, Colo." Denver Public Library – Digital Collections. Accessed February 23, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/6554/rec/386>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- Front Range Associates, Inc. "La Loma West Restaurant – Barry Block (5GF.1166)." Historic Building Inventory Record – Colorado Historical Society, June 1996.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

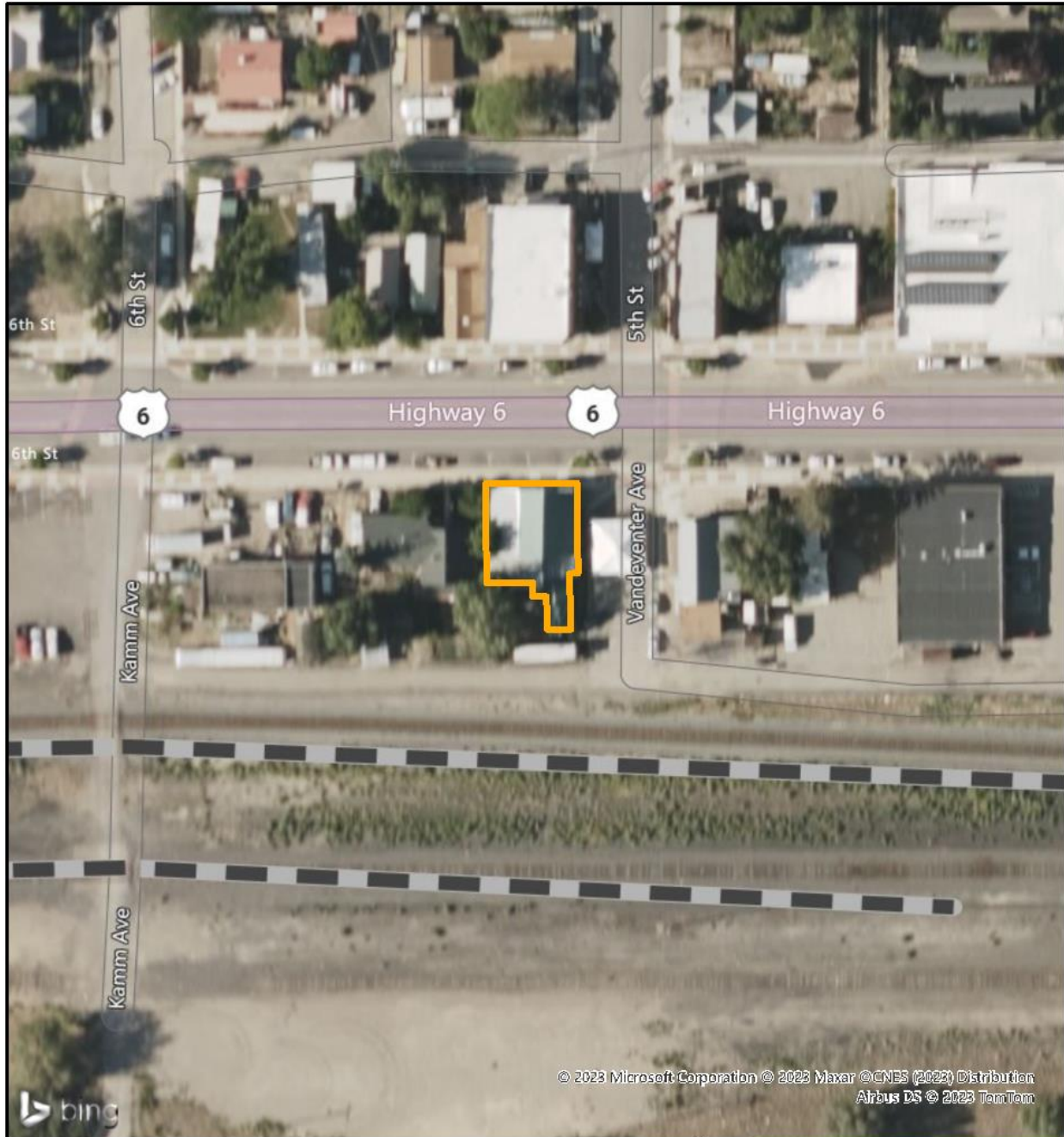
SKETCH PLAN *include approximate scale*





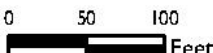

FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.2380_1 to 5GF.2380_3, 2 historic photos, and 2 reference photos</u>

See Attachment																			
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Sketch Map

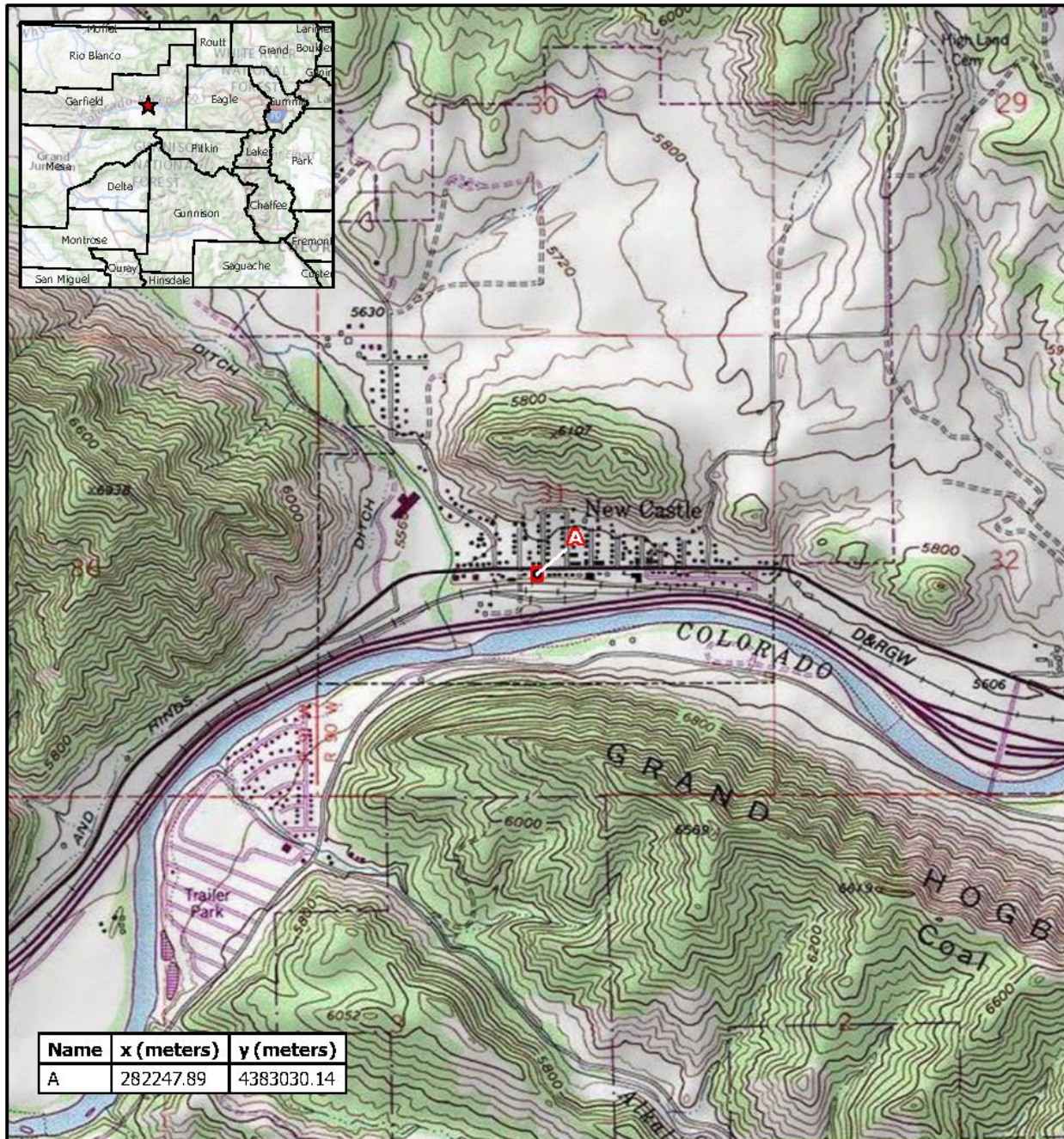


© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 503 West Main Street (5GF.2380) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282247.89	4383030.14

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

503 West Main Street (5GF.2380)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.2380_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.2380_2
Description: Looking at the primary (north) and west elevation of the building; though, the west elevation is obscured by vegetation.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.2380_3

Description: Looking at the east elevation and primary (north) elevation of the building. Note the embossed asphalt siding.

Date: 9/6/2022

View: Southwest



Historic Photo 1

Description: Looking at the east and primary (north) elevations of the building

Date: 1905

Source: Denver Public Library – Digital Collections [Not for publication]



Historic Photo 2

Description: Image of downtown New Castle looking west down Main Street from the intersection of Main Street and North 4th Street. The resource is outline in red.

Date: 1905

Source: Denver Public Library – Digital Collections [Not for publication]

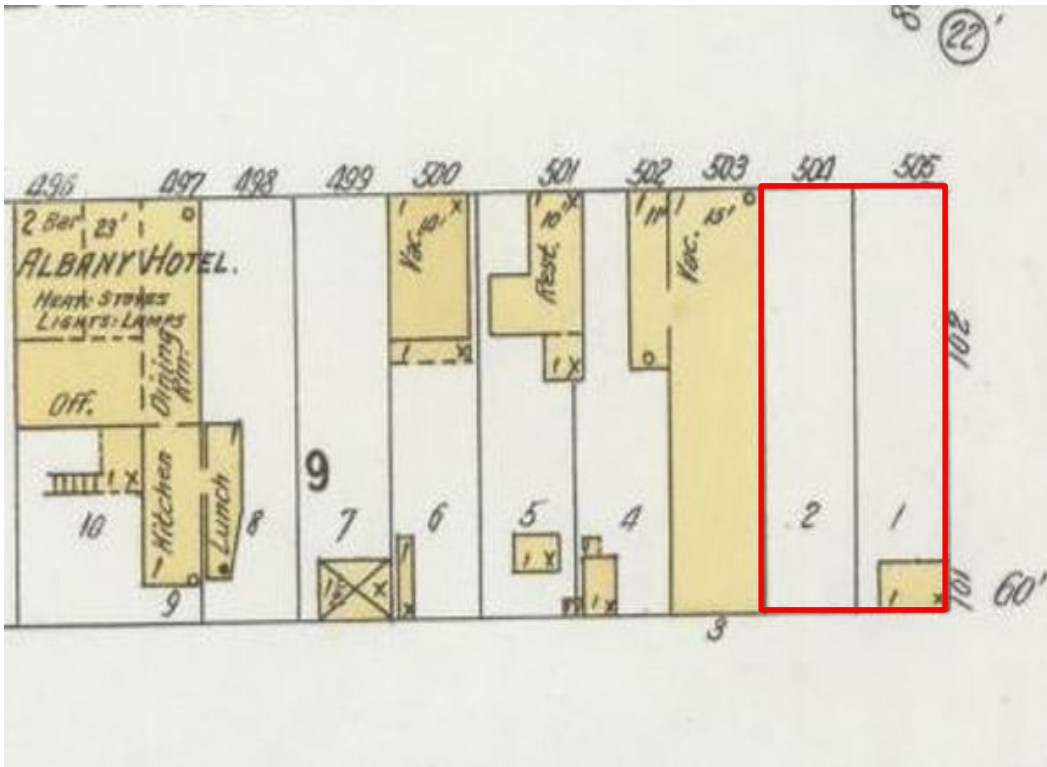


Reference Photo 1

Description: Looking at the east and primary (north) elevation of the building.

Date: 1996

Source: 1996 OAHP Historic Building Inventory Record (5GF.2380)



Reference Photo 2

Description: 1904 Sanborn Fire Insurance map demonstrating the building was not extant at the time. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: William & Janetta Strouse Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 505 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331402003
- **9. Parcel Information: Lot(s): 6-9 Block: M Addition: Spencer's 2nd
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NE ¼ of NE ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282955 ;mN 4383015 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Rustic	Concrete	Log
Windows	Roof	Chimney	Porch
One-over-one single hung sash; and one-by-one sliding window units; primarily vinyl with some wood frames	Front Gable; asphalt shingles; overhanging eaves with exposed rafter tails	Brick masonry; several metal flues; concrete masonry unit (CMU)	Enclosed full length porch with flat roof along the facade of the primary (north) elevation; enclosed porch with shed roof along the east elevation.

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1945 as shown through review Garfield County Assessor's Office records. The approximately 56' by 52' residence is representative of a vernacular form of Rustic style of architecture. Architectural features of the building include a concrete foundation; log exterior envelope; front gable roof; wood shingles in the gable end; overhanging eaves with exposed rafter tails; an enclosed full-length porch with a flat roof along the facade of the primary (north) elevation; an enclosed porch addition to the east elevation of the building; a brick masonry chimney; and several metal flues. A majority of the window units consist of replacements due to their vinyl construction. These windows consist primarily of one-over-one single hung sash, and one-by-one sliding units. A wrought iron storm door can be noticed fronting the main entryway in the center of the primary (north) elevation. A floorspace addition with a hipped roof can be noticed along the south elevation. There is also evidence where some stone masonry covers portions of the concrete masonry foundation. A rectangular CMU block chimney is also present along the south elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1945

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"505 East Main Street." Garfield County Assessor's Office. Parcel Number 212331402003. Accessed December 21, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=133119880&KeyValue=R380209>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 21, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROOnline*. Accessed December 20, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

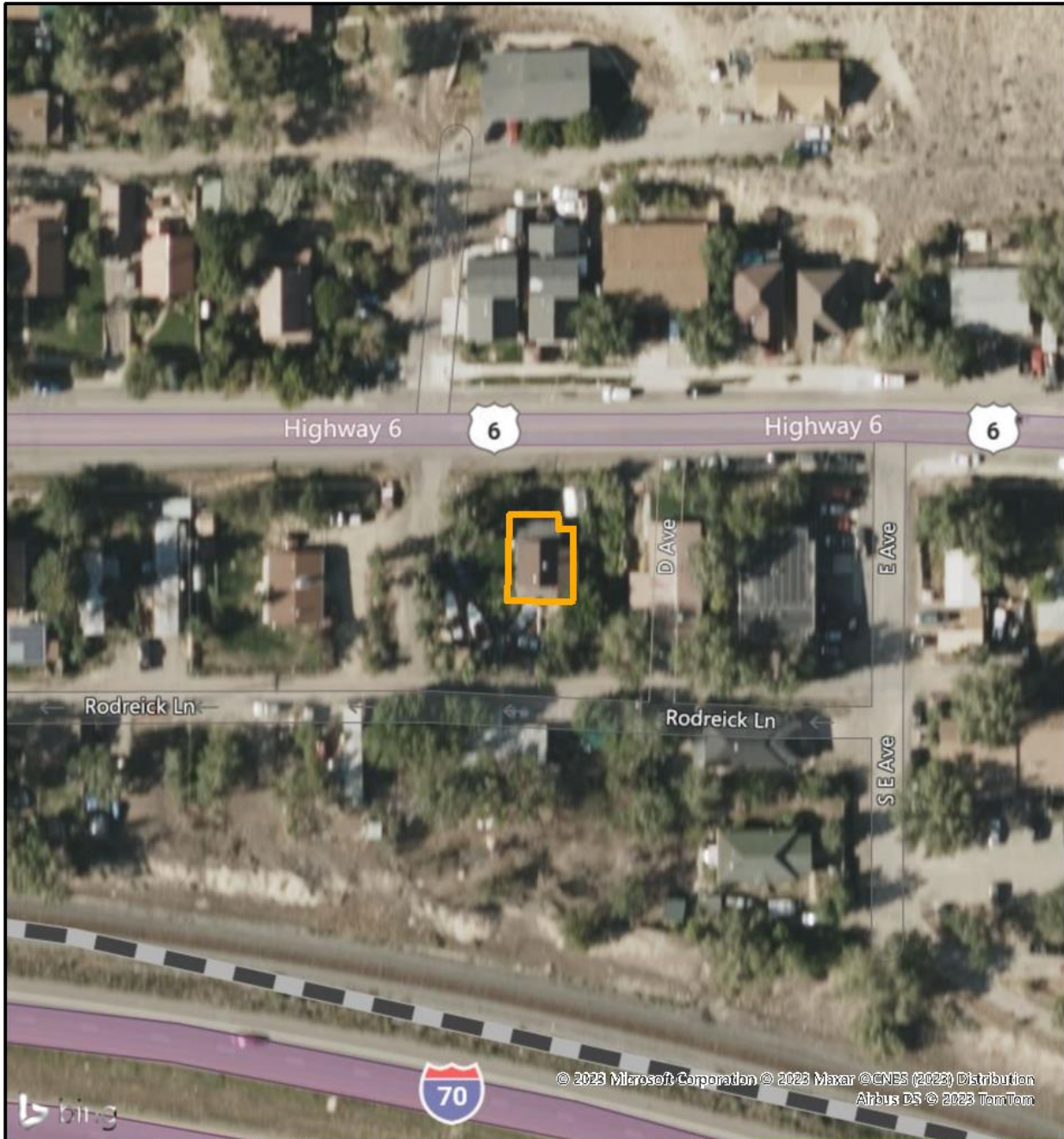
SKETCH PLAN *include approximate scale*



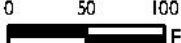


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5939_1 to 5GF.5939_4</u>

See Attachment																			
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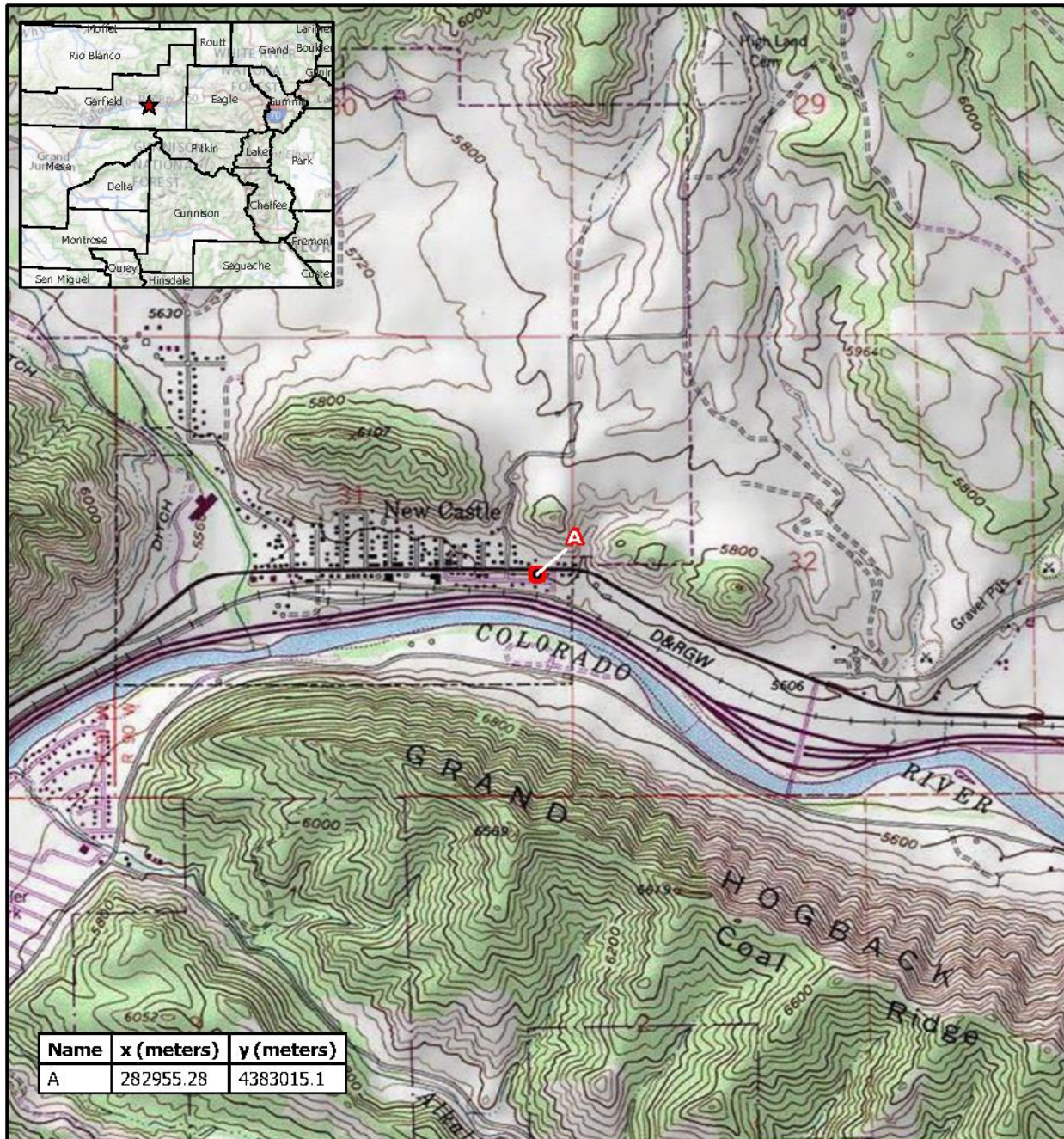
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 505 East Main Street (5GF.5939) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282955.28	4383015.1

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

505 East Main Street (5GF.5939)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5939_1
Description: Looking at the primary (north) elevation of the building. Note the wood shingles under the gable end.
Date: 9/6/2022
View: South



Photo Number: 5GF.5939_2
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5939_3
Description: Looking at an obscured portion of the primary (north) elevation and the west elevation of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5939_4
Description: Looking at the west elevation of the building. Note the CMU block chimney along the south elevation of the building.
Date: 9/6/2022
View: East

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Wigger Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 532 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331222018
- **9. Parcel Information: Lot(s): 3 Block: 8 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282236 ;mN 4383086 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Stacked stone	Horizontal weatherboard siding; vertical weatherboard siding
Windows	Roof	Chimney	Porch
One-by-one sliding sash; wood lintel, sill, and casings; faux shutters	Front gable roof clad in asphalt shingles; shed roof transition	Metal flu	Concrete and stone masonry steps along the primary (south) elevation.

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1893 as shown through review of Garfield County Assessor's Office records. The approximately 76' by 24' building is a No Style residence. The building features a stacked stone foundation; front gable roof clad in asphalt shingles; shed roof transition; an exterior envelope clad in horizontal and vertical weatherboard siding; and a recessed main entryway along the primary (south) elevation. The typical window consists of a one-by-one sliding sash. Faux shutters are also evident along the primary (south) elevation. A small replacement one-by-one sliding sash can be noticed under the gable peak. The main entryway is recessed into the exterior wall in the center of the primary (south) elevation. Faux stone masonry covers the foundation along the façade. Several typical window units can be seen along the west elevation.

Historic imagery in 1905 demonstrates that the primary (south) elevation incorporated a false front and a shed roof overhang when the building was utilized as a barbershop. By the late Twentieth Century, the false front was removed along with the shed roof overhang as the building transitioned from a commercial to residential building. An addition was also constructed along the north elevation. Between

2008 and 2022, historical street imagery reveals that faux stone masonry was added near the foundation of the primary (south) elevation, faux shutters were installed on each side of the typical window units, and a window under the gable peak was added.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Residential

17. Date of Construction: 1893

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: Sanborn Fire Insurance maps from 1893-1904 demonstrate that lot 3 of block 8 consisted of a barbershop with the same footprint of the current building. Additional historic imagery in 1905 demonstrates that the barbershop consisted of a false front commercial building. At some point, the building was modified into a residence and the false front was removed.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"532 West Main Street." Garfield County Assessor's Office. Parcel Number 212331222018. Accessed February 23, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1755786195&KeyValue=R380278>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 23, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 23, 2023. <https://www.historicaerials.com>.

"Main Street in New Castle." Denver Public Library – Digital Collections. Accessed February 23, 2023. <https://digital.denverlibrary.org/digital/collection/p15330coll22/id/11730/rec/397>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

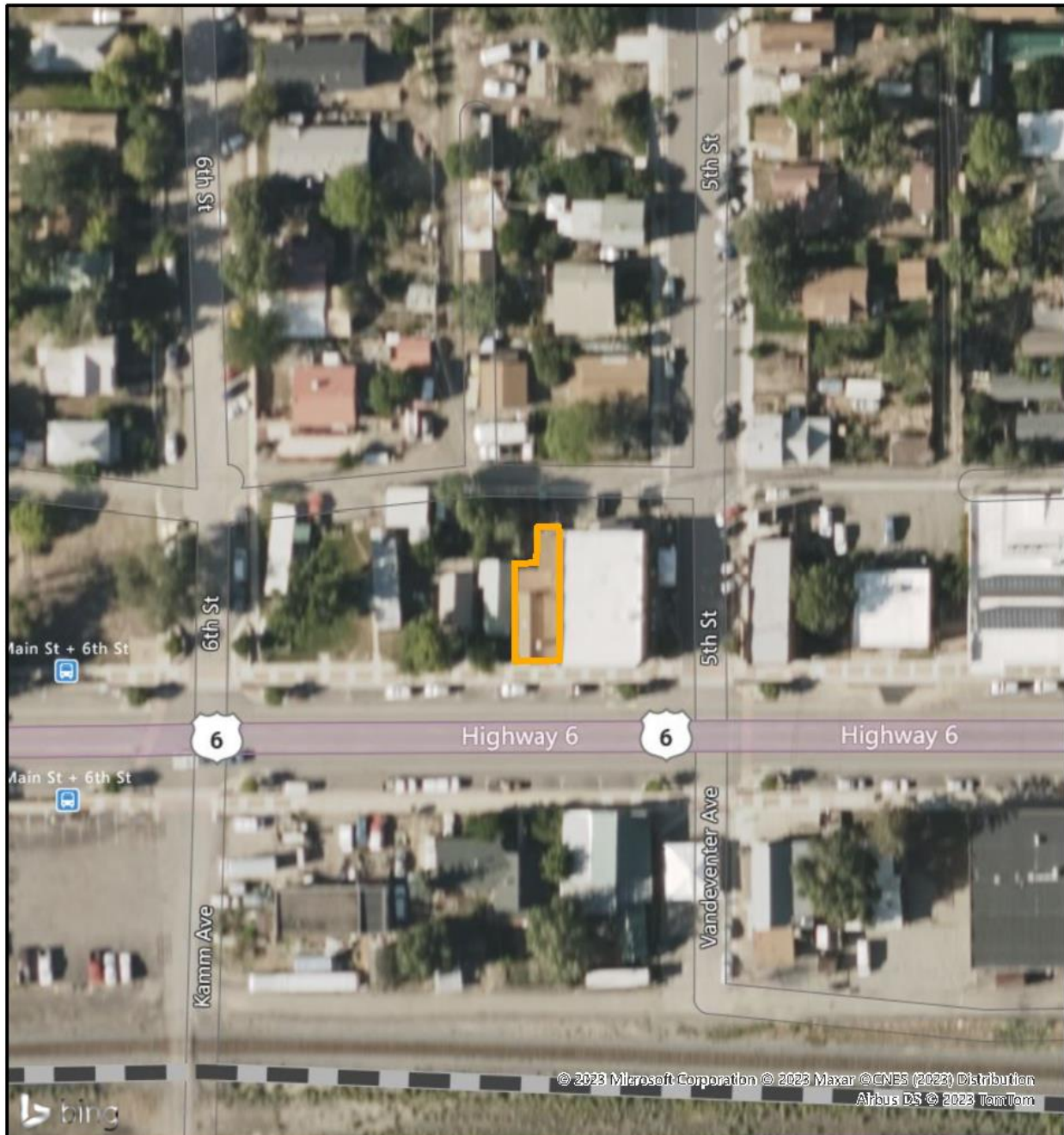
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.



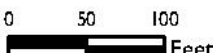

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

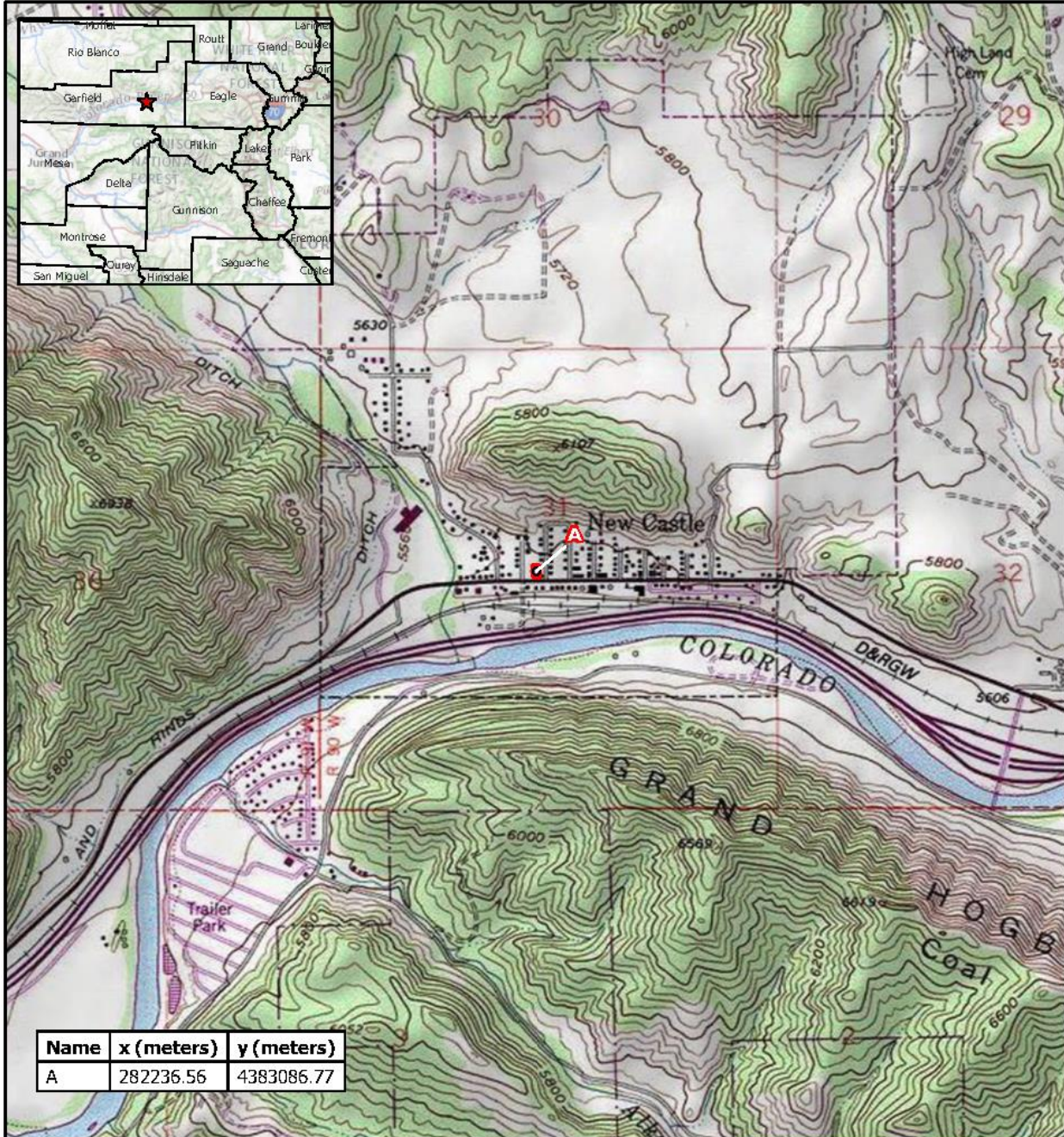
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 532 West Main Street (5GF.5908) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Reviewed By: CMW</p>		<p>Date: 4/10/2023</p>	

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Topographic Map



Name	x (meters)	y (meters)
A	282236.56	4383086.77

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

532 West Main Street (5GF.5908)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5908_1
Description: Looking at the primary (south) elevation.
Date: 9/6/2022
View: North

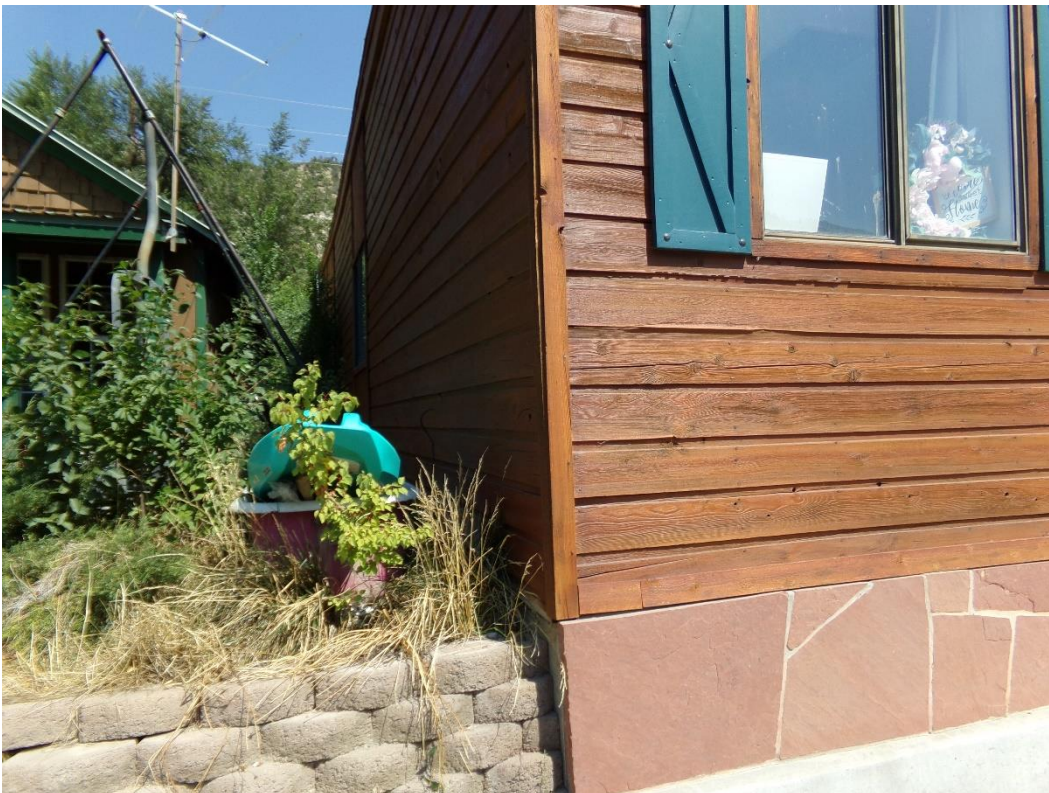
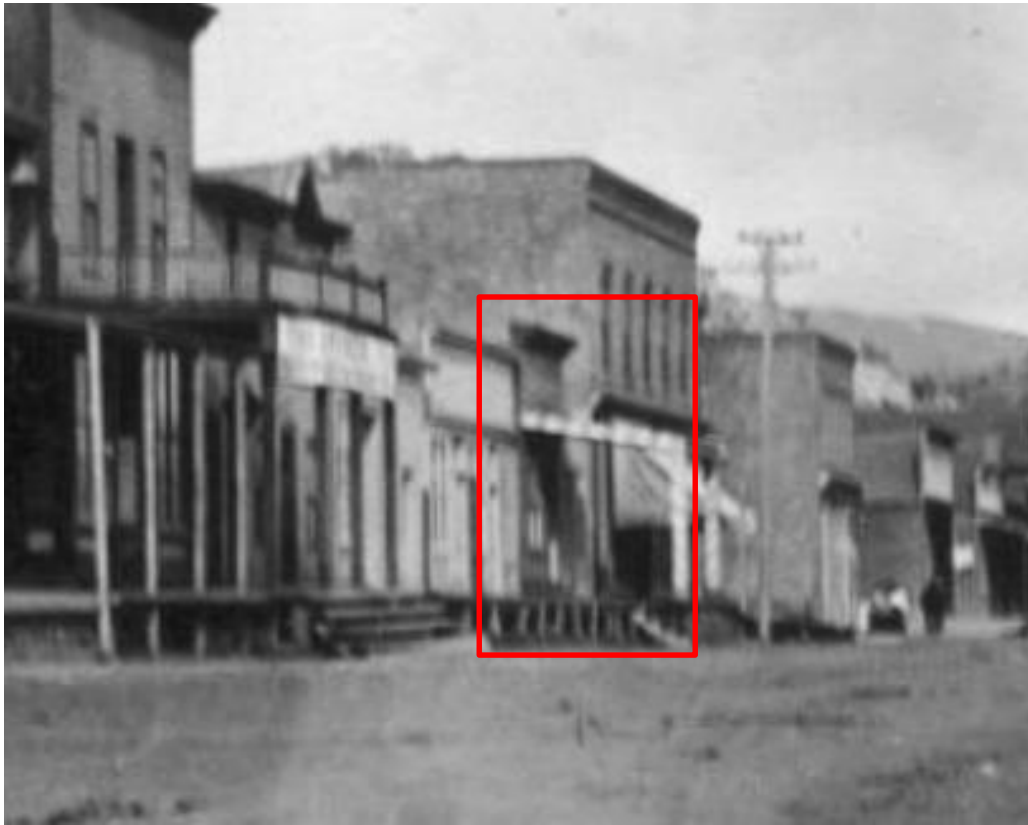


Photo Number: 5GF.5908_2
Description: Looking at the west and primary (south) elevation of the building.
Date: 9/6/2022
View: Northeast

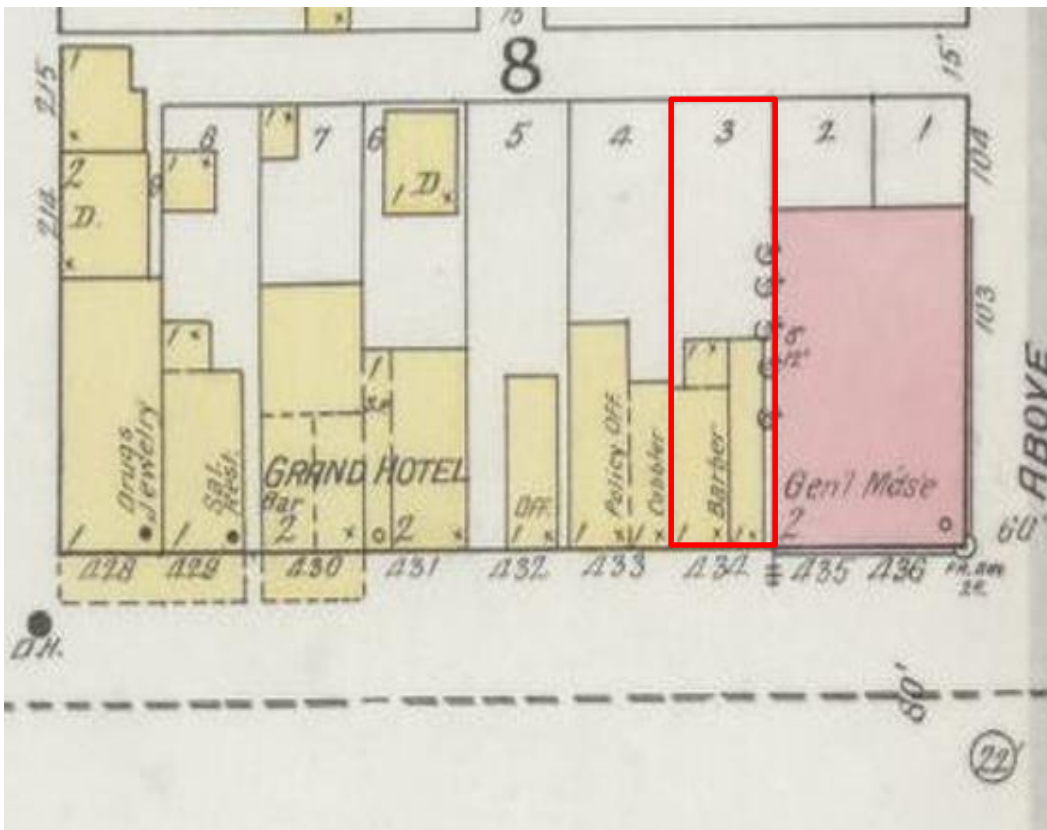


Historic Photo 1

Description: Image of downtown New Castle looking east down Main Street from the intersection of Main Street and North 6th Street. The resource is outlined in red. Note that the building incorporated a false front and shed roof overhang at the time.

Date: Circa 1900-1905

Source: Denver Public Library – Digital Collections [Not for publication]

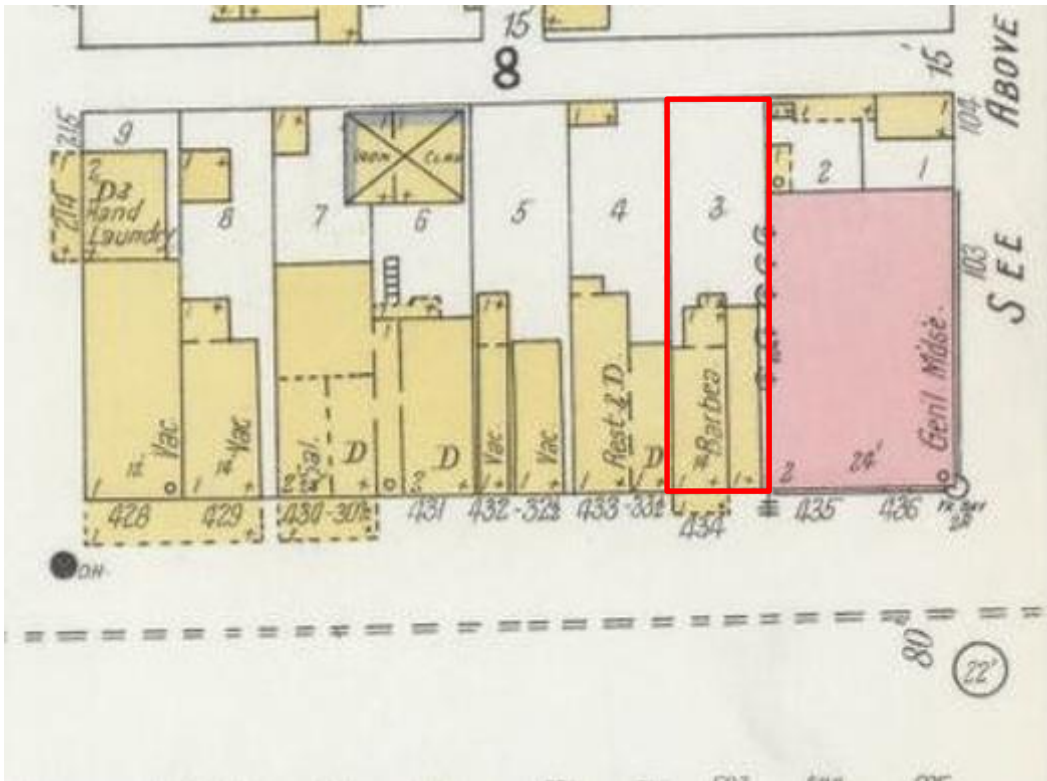


Reference Photo 1

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 3 of block 8. The property is outlined in red. At the time, the building was labeled as housing a barbershop.

Date: 1893

Source: Library of Congress

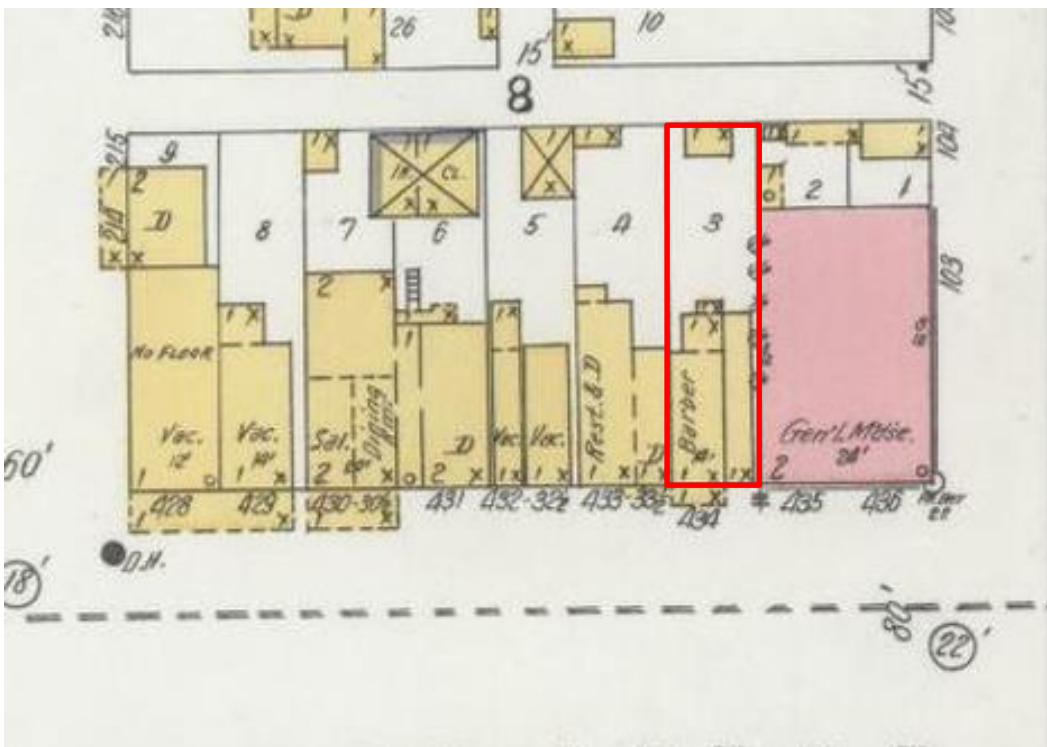


Reference Photo 2

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 3

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Allen Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 542 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331222017
- **9. Parcel Information: Lot(s): 4 Block: 8 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282229 ;mN 4383086 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Shotgun	Poured concrete	Vertical weatherboard siding; wood shingles in the gable end
Windows	Roof	Chimney	Porch
Nine-over-nine single hung sash with snap on muntins; one-over-one single hung sash; vinyl frames	Front gable roof clad in metal; overhanging eaves	N/A	Full-length porch with a shed roof

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1942 as shown through review of Garfield County Assessor's Office records. The approximately 40' by 16' building is representative of a Shotgun style of architecture. Architectural elements of the building include a poured concrete foundation; front gable roof clad in metal; overhanging eaves; an exterior envelope vertical weatherboard siding; wood shingles in the gable end; and a full-length porch with a shed roof along the primary (south) elevation. The typical window consists of a nine-over-nine single hung sash with snap on muntins. These windows are replacements due to their vinyl construction. Another window found through the building includes a one-over-one single hung sash. The main entryway is located on the far-left side of the primary (south) elevation. The main door consists of a replacement panel door. Two typical window units are located to the right of the door. A protected full-length porch can be noticed along the façade and is supported by unornate square post columns. A majority of the primary (south) elevation is obscured by dense vegetation.

Between 2008 and 2022, historical street imagery reveals that windows were replaced along with the main entry door. In addition, wood shingles were placed in the gable ends. At some point, a small addition was constructed at the far-left side of the west elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1942

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any:

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"542 West Main Street." Garfield County Assessor's Office. Parcel Number 212331222017. Accessed February 23, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1468478164&KeyVal=R380051>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 23, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 23, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

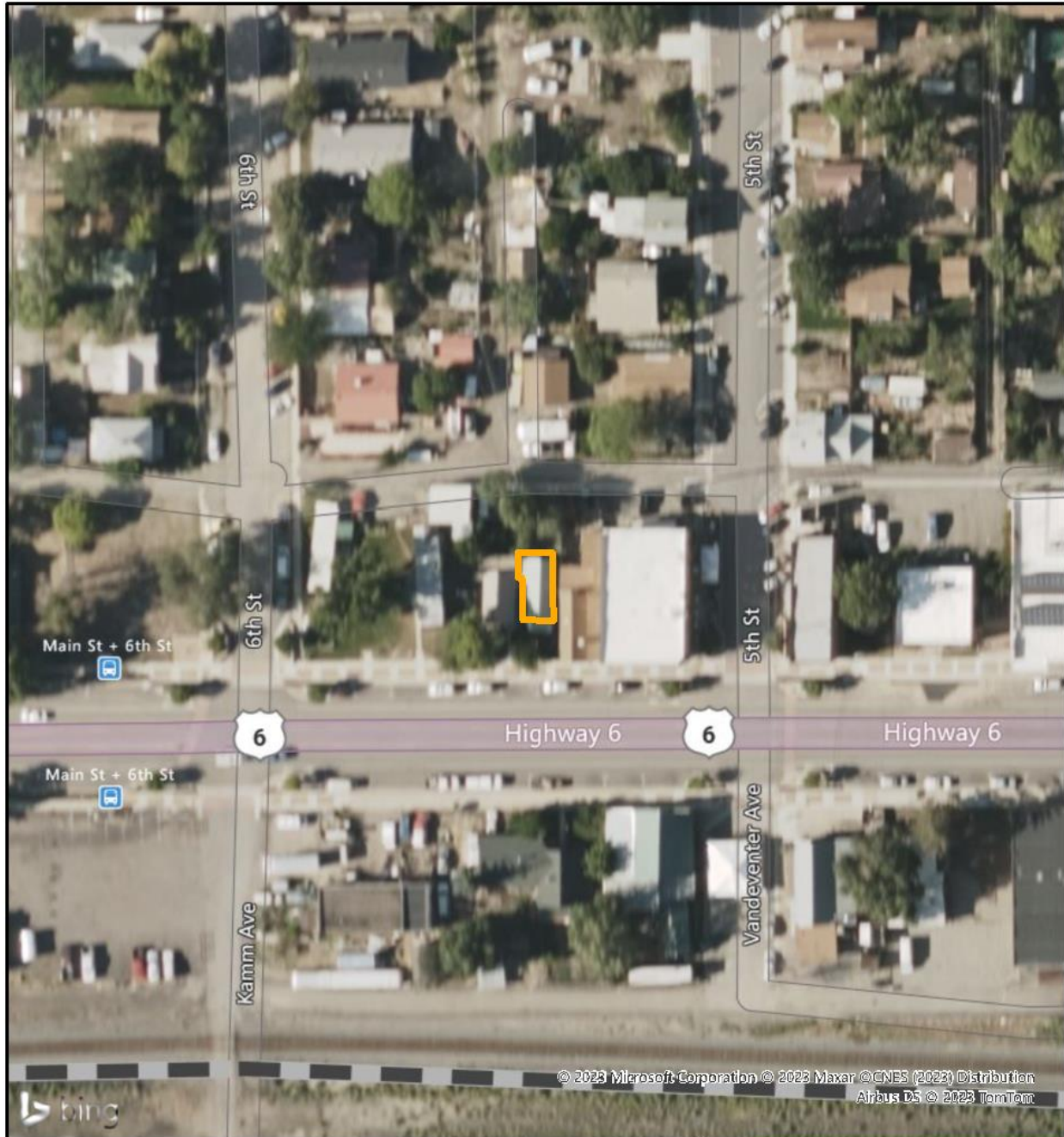
SKETCH PLAN *include approximate scale*



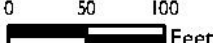



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6//2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5907 1 to 5GF.5907 2, 1 reference photo</u>

See Attachment																			
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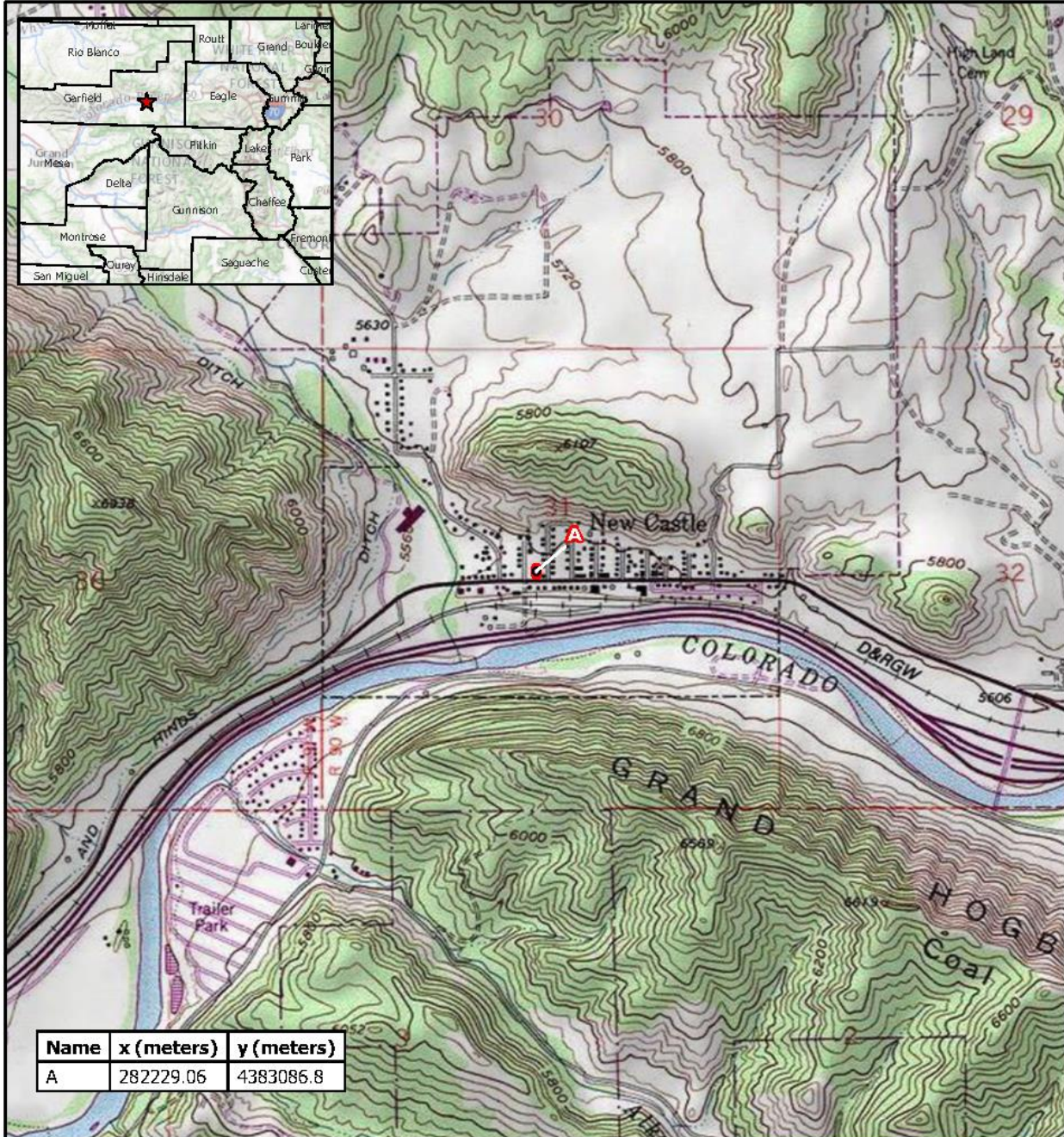
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 542 West Main Street (5GF.5907) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

Docu: new: Path: C:\Users\downal\Desktop\CU\New Castle\Borch R\22156001 New Castle Huzo nc Survey\22156001 New Castle Huzo nc Survey.aprx

Topographic Map



Name	x (meters)	y (meters)
A	282229.06	4383086.8

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

542 West Main Street (5GF.5907)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5907_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5907_2
Description: Context view of the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5907_3
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Reference Photo 1
Description: Looking at the primary (south) elevation.
Date: Circa 2009
Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Davis Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 543 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331301002
- **9. Parcel Information: Lot(s): 3-6 Block: 9 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NE ¼ of NE ¼ of SW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

**12. Location Coordinates:

UTM reference: Zone 13 ;mE 282225 ;mN 4383030 NAD 1927 NAD 1983

or

Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5-story	No Style; some elements of rustic	Poured Concrete	Faux log
Windows	Roof	Chimney	Porch
Three-over-one double hung sash; one-by-one sliding sash; wood frame	Front gable roof clad in asphalt shingles; subordinate side gable along west elevation; open overhanging eaves; exposed rafter tails under the eaves; wood shingles and vertical weatherboard in the gable ends	Metal flu	Full-length unprotected porch on far-right side of west elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, irregular shaped building was constructed in 1948 as shown through review of Garfield County Assessor's Office records. The approximately 48' by 64' building is not representative of a particular style of architecture, although it does incorporate some elements of the Rustic style. Architectural elements of the building include a poured concrete foundation; a front gable roof clad in asphalt shingles; a subordinate side gable along west elevation; open overhanging eaves; exposed rafter tails under the eaves; wood shingles and vertical weatherboard in the gable ends; an exterior envelope clad in faux log; and a full-length unprotected porch on far-right side of west elevation. The typical window consists of a wood three-over-one double hung sash; although, one-by-one sliding sash windows are also present. The main entryway is located on the left side of the primary (north) elevation. The main door consists of a

wood panel door with a nine-lite window divided by muntins. The main door is fronted by a metal storm door with one-over-one single hung sash. Two garage doors can be noticed on the far-right side of the façade.

Between 1960 and 1982, historical imagery reveals that an addition was constructed along the west elevation of the building.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1948

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"543 West Main Street." Garfield County Assessor's Office. Parcel Number 212331301002. Accessed February 27, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1520596958&KeyValue=R380043>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed February 27, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

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McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

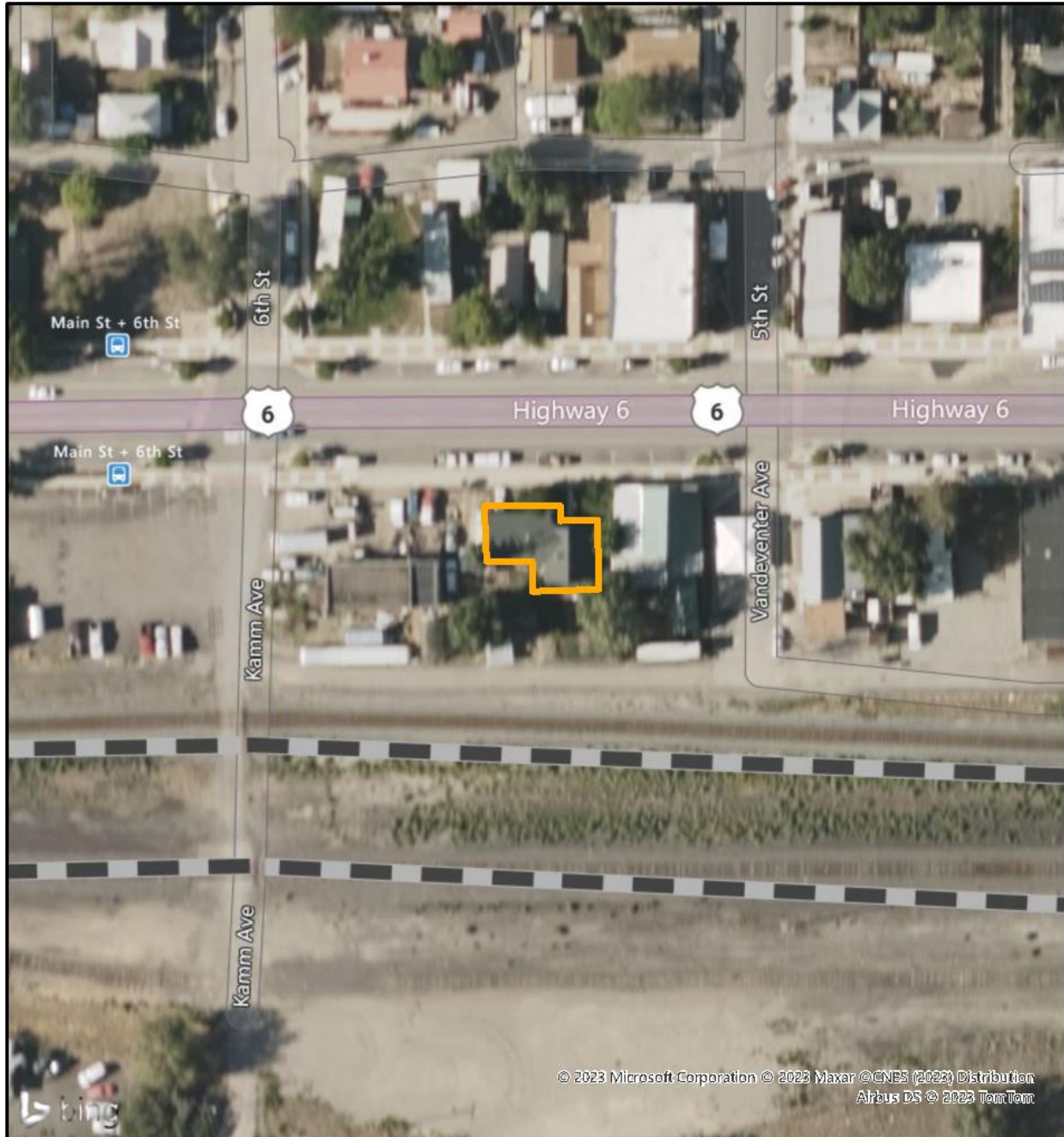
Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

SKETCH PLAN *include approximate scale*



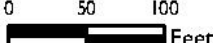


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5906_1 to 5GF.5906_2, and 1 reference photo</u>

Sketch Map

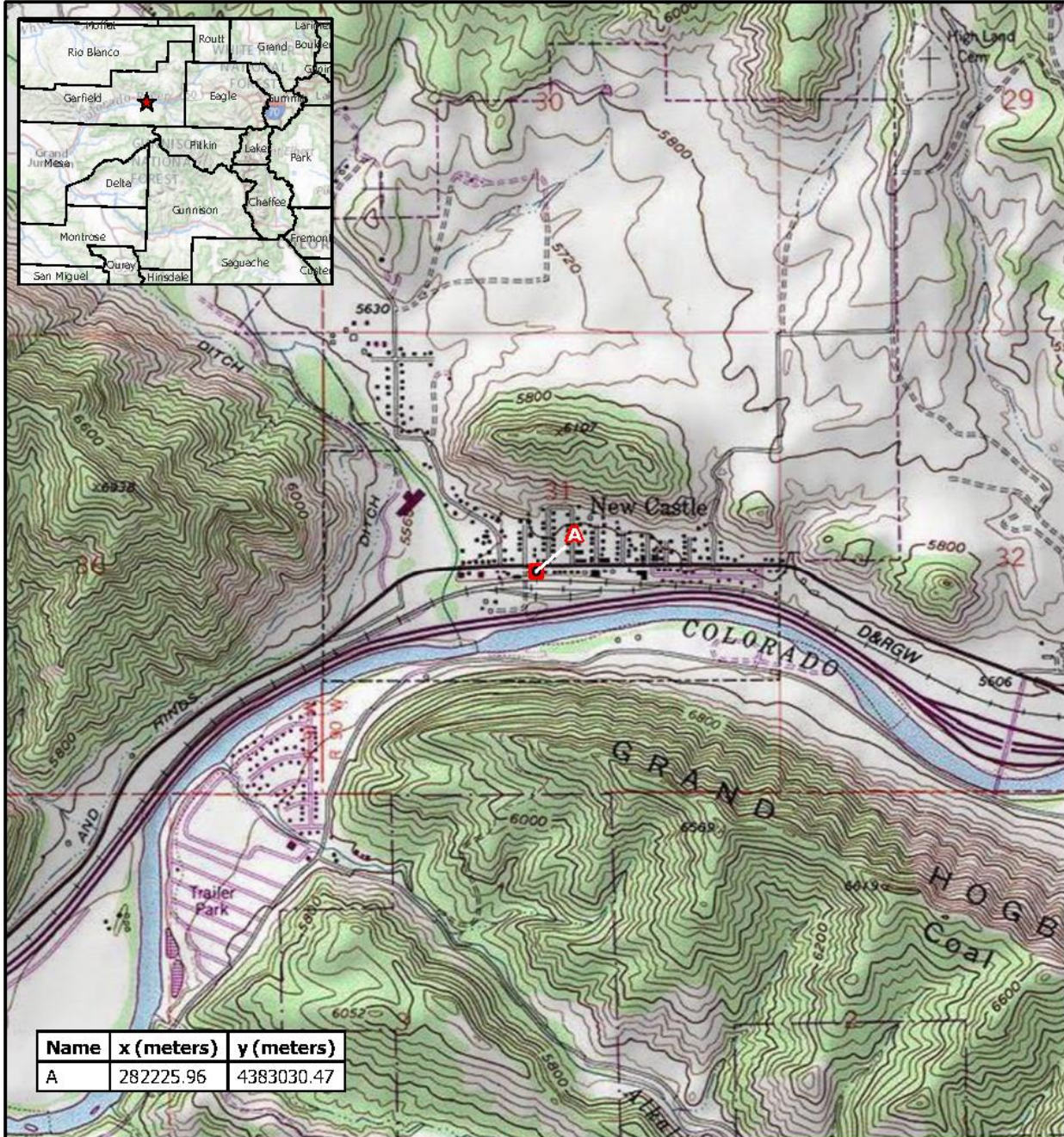


© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 543 West Main Street (5GF.5906) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282225.96	4383030.47

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

543 West Main Street (5GF.5906)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5901_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.5901_2
Description: Looking at the primary (north) elevation of the building
Date: 9/6/2022
View: South



Reference Photo 1

Description: Context image of the east and primary (north) elevations of the building.

Date: circa 2009

Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Breidenbach Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 552 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331222016
- **9. Parcel Information: Lot(s): 5 Block: 8 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282221 ;mN 4383087 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Shotgun	Poured concrete	Wood shingle
Windows	Roof	Chimney	Porch
12-by-12 sliding sash; one-over-one single hung sash; vinyl frames	Front gable roof clad in asphalt shingles; open overhanging eaves; exposed rafter tails under the eaves; attic vent under the gable peak	N/A	Unprotected full-length concrete patio along the north elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1942 as shown through review of Garfield County Assessor’s Office records. The approximately 36’ by 16’ building is representative of a Shotgun style of architecture. Architectural features include a poured concrete foundation; front gable roof clad in asphalt shingles; open overhanging eaves; exposed rafter tails under the eaves; an exterior envelope clad in wood shingles; and an unprotected full-length concrete patio along the north elevation. The typical window consists of a 12-by-12 sliding sash with snap on muntins. These windows are replacements due to their vinyl construction. Another window found through the building includes a one-over-one single hung sash. The main entryway is located on the far-right side of the primary (south) elevation. The main door consists of a replacement panel door with an elliptical lite. A typical window is located to the left of the door. An unprotected full-length concrete patio is located on the north elevation.

Between 2008 and 2022, historical street imagery reveals that windows were replaced along with the main entry door. In addition, the exterior envelope was clad in wood shingles. At some point, a small addition was constructed at the far-left side of the west elevation.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1942

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
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| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"552 Main Street." Garfield County Assessor's Office. Parcel Number 212331222016. Accessed February 23, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1821392255&KeyVal=380114>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

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Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

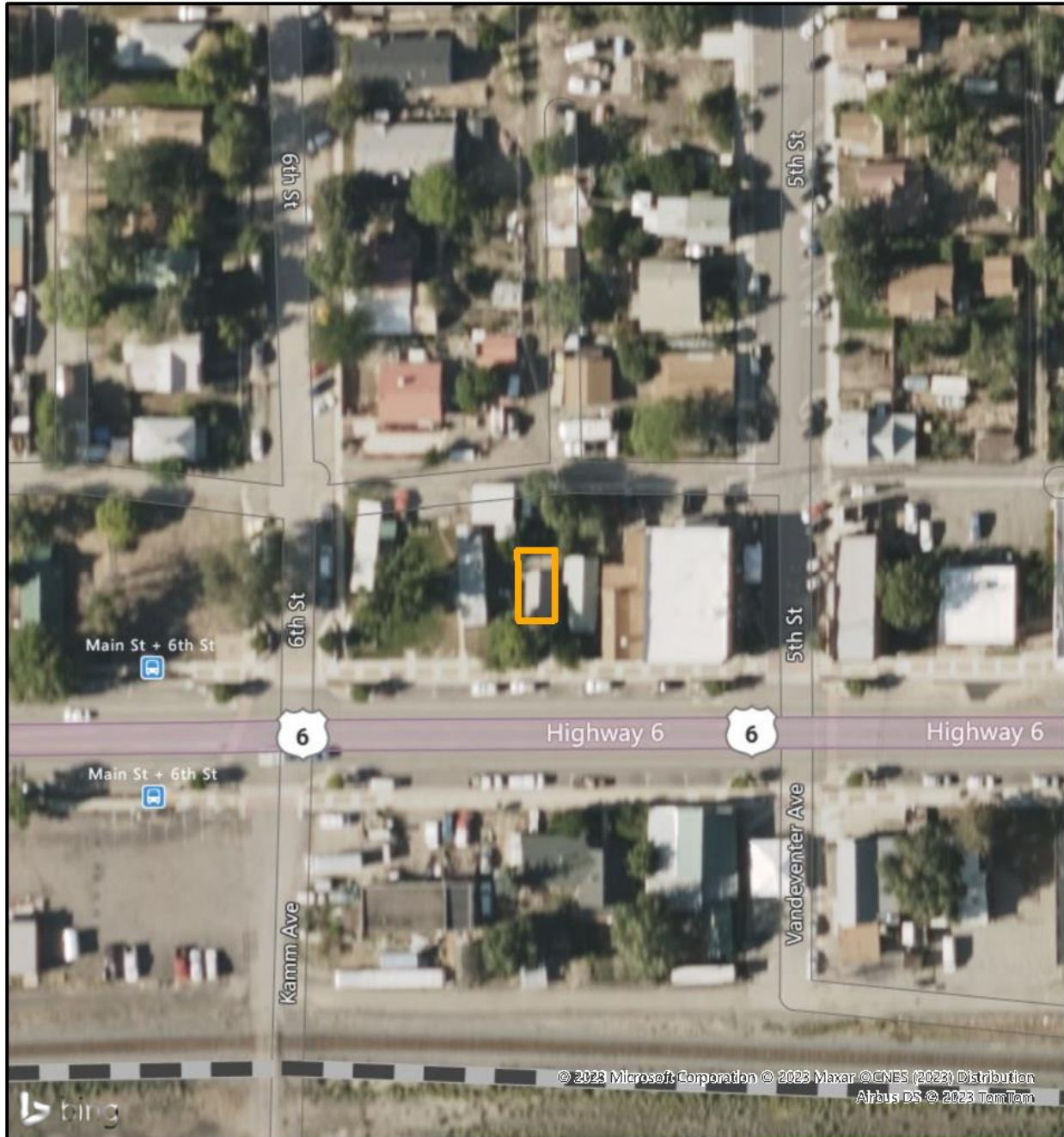
SKETCH PLAN *include approximate scale*



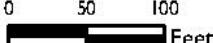



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5905_1 to 5GF.5905_2, 1 reference photo</u>

See Attachment																			
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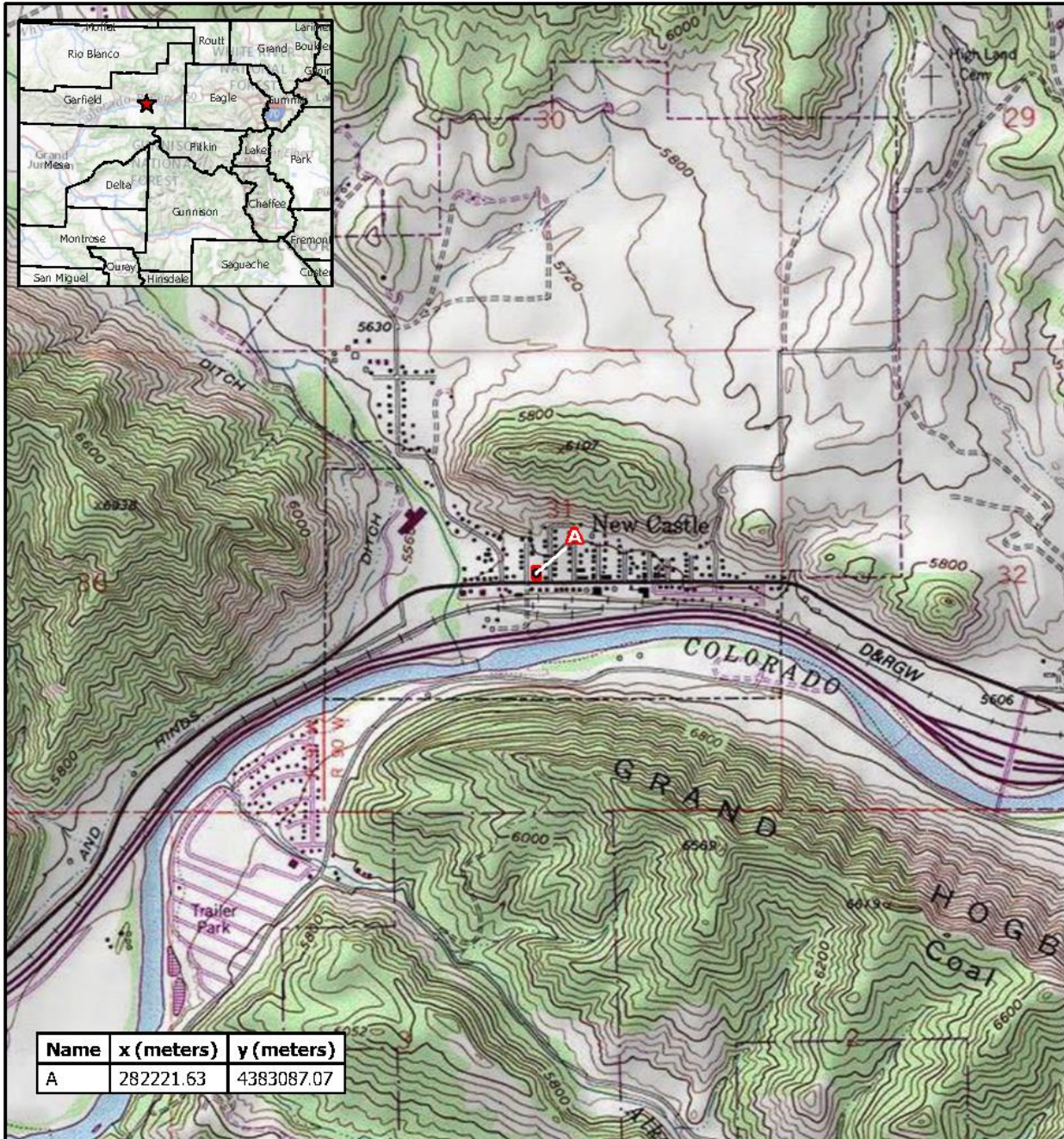
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 552 West Main Street (5GF.5905) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282221.63	4383087.07

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

552 West Main Street (5GF.5905)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

Doc in new Park C:\user\doowad\Desktop\CU\New Castle\Borch I\I22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5905_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5905_2
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Reference Photo 1

Description: Looking at the primary (south) elevation.

Date: Circa 2009

Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Breslin/Malloy Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 562 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331222015
- **9. Parcel Information: Lot(s): 6-9 Block: 8 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282202 ;mN 4383087 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Prefabricated mobile house	N/A	Corrugated metal
Windows	Roof	Chimney	Porch
3 lite awning window; 2 lite awning window; one-over-one single hung sash metal frames	Side gable roof clad in metal; boxed overhanging eaves along north and south elevations	Metal flu	Partial length deck with shed roof overhang along the primary (west) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1974 as shown through review of Garfield County Assessor's Office records. The approximately 58' by 14' residence is representative of a prefabricated mobile house. The building features a shallow side gable roof clad in corrugated metal; an exterior envelope clad in corrugated metal; a metal flu chimney; and boxed overhanging eaves along north and south elevations. A partial length deck with shed roof overhang can be noticed along the right side of the primary (west) elevation. The typical window consists of a 2 lite awning window with a metal frame. In addition, 3 lite awning windows and one-over-one single hung sash windows can also be noticed throughout the building. The main entryway is located on the right side and underneath the shed roof overhang along the primary (west) elevation. The overhang is supported by several square post columns with a plywood covered railing. Lattice panels are also present between the deck and the ground. A corrugated metal skirt lines the ground and bottom floor of the mobile house.

14. Associated buildings, features, or objects:

A secondary trailer is located to the west of the primary trailer. The approximately 50' by 12' trailer was constructed circa 1982 as shown through review of historical aerial imagery. The trailer features a shallow barrel roof clad in metal; a corrugated metal exterior envelope; and boxed overhanging eaves along north and south elevations of the trailer. The typical window consists of a 3 lite awning window. Yet, 2 lite awning windows; 4 lite awning windows; picture windows; and one-over-one single hung sash windows are also present. The main entryway is located on the far-left side of the primary (east) elevation. The entryway is fronted by an unprotected partial length deck.

An outbuilding is located to the northeast of the primary trailer. The approximately 22' by 22' building was constructed circa 1974 as shown through review of historical aerial imagery. The building features a shed roof clad in metal; an exterior envelope clad in plywood; and a large double door entryway along the primary (west) elevation. The main entryway is located in the center of the north elevation and consists of a wood panel door. A one-by-one sliding sash window can be noticed to the left of the door.

A second outbuilding is located to the southwest of the primary trailer. The approximately 8' by 6' building was constructed circa 2004 after review of historical aerial imagery and features a side gable roof clad in asphalt shingles; overhanging eaves; a side-by-side entryway along the primary (west) elevation; and a horizontal weatherboard exterior envelope. The typical window consists of a vinyl one-over-one single hung sash.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1974

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "562 West Main Street." Garfield County Assessor's Office. Parcel Number 212331222015. Accessed February 27, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=438433136&Key Value=R380183>.
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 27, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed February 27, 2023. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

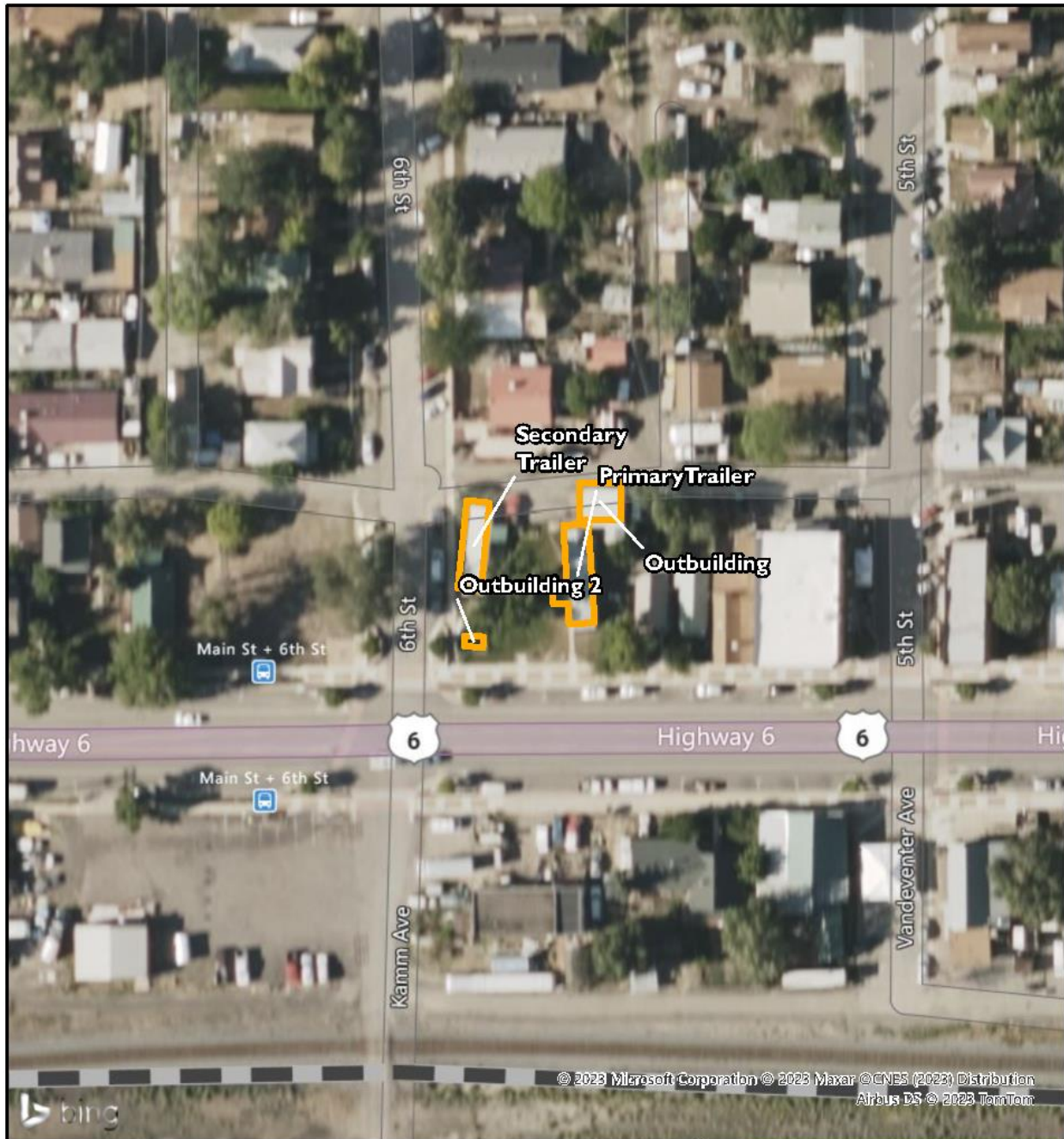
SKETCH PLAN *include approximate scale*



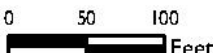



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5904_1 to 5GF.5904_3 and 1 reference photo</u>

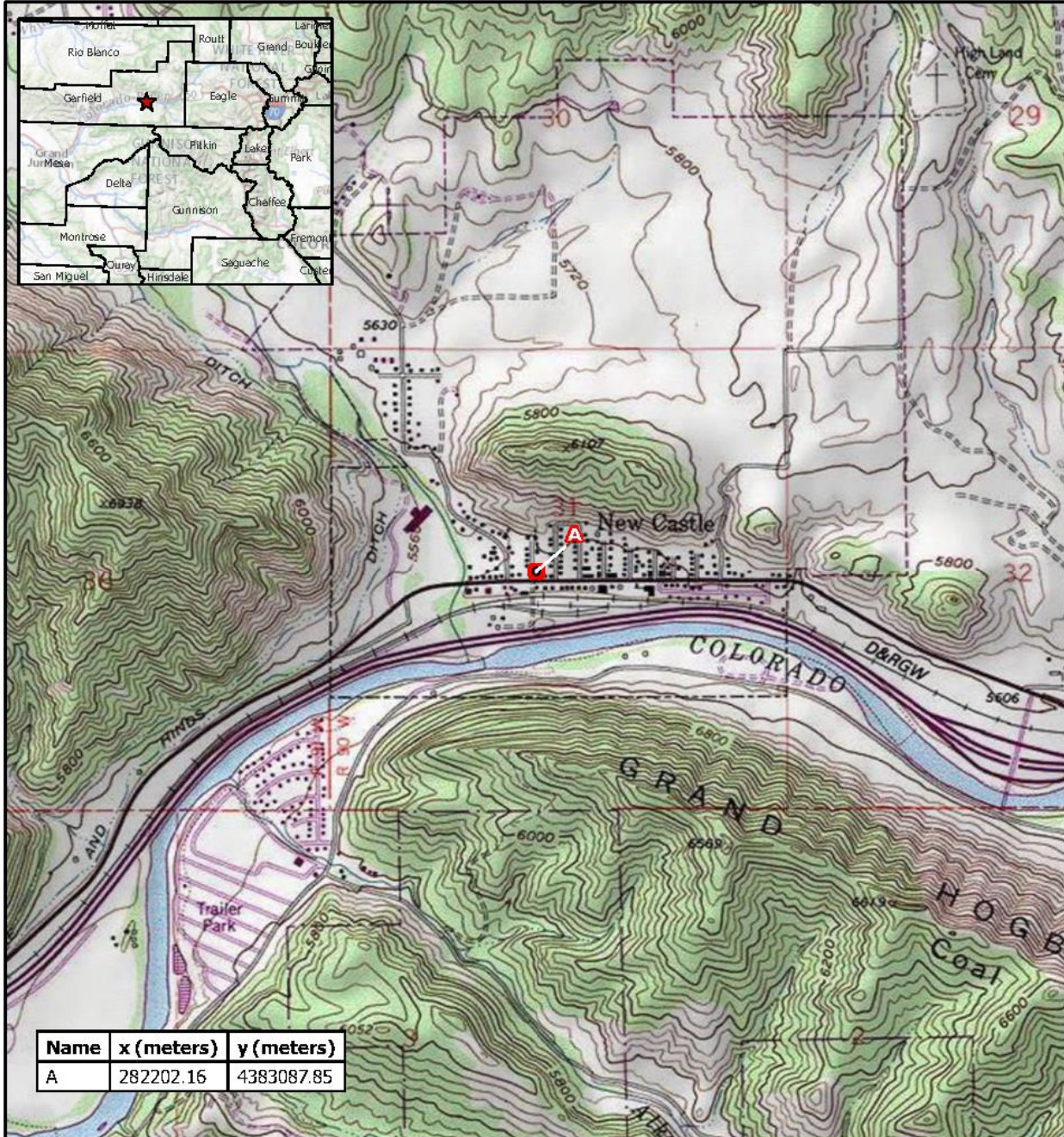
See Attachment																			
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Sketch Map




<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 562 West Main Street (5GF.5904) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p><small>Doc u:\new\Proj_C\Users\jdoosel\Desktop\CU\New Castle\Borch R\22156001 New Castle Huzo ac Survey\22156001 New Castle Huzo ac Survey.aprx</small></p>		<p>Reviewed By: CMW</p>	<p>Date: 4/10/2023</p>

Topographic Map



Name	x (meters)	y (meters)
A	282202.16	4383087.85

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

562 West Main Street (5GF.5904)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5904_1
Description: Looking at the south elevation of the trailer.
Date: 9/6/2022
View: North



Photo Number: 5GF.5904_2
Description: Looking at the primary (west) and south elevations of the trailer.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5904_3
Description: Looking at the south and east elevations of the trailer.
Date: 9/6/2022
View: Northwest



Reference Photo 1
Description: Looking at the north and primary (west) elevation of the outbuilding.
Date: circa 2009
Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Texaco Service Station Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 589 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331301003
- **9. Parcel Information: Lot(s): 212331301003 Block: 9 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NE ¼ of NE ¼ of SW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282197 ;mN 4383031 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Mixed Style	Concrete	Stucco
Windows	Roof	Chimney	Porch
Picture windows; transoms; Glass block	Flat roof with asphalt; belt course at cornice	N/A	N/A

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1951 as shown through review of Garfield County Assessor's Office records. The approximately 26' by 64' service station exhibits a Mixed Style of architecture consisting of features from both the Oblong Box and International styles. The building rests upon a poured concrete foundation and features three service bays, each incorporating a roll-down glazed door. One bay typically consists of a hydraulic lift while the second serves as a general bay that doesn't require the lifting of a vehicle for service. The third bay, located to the far-left side of the primary (north) elevation, is likely an addition to expanding the building's automotive service capacity. Architectural features of the building include an exterior envelope clad in stucco; a belt course at cornice; three green belt courses along the primary (north) and west elevations; and several picture, transom, Glass block window units. Most windows and doors appear to date to the building's construction with no decorative features.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other: Fuel islands are located between the building and West Main Street; however, the fuel pumps are not extant.

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Commercial

Current Function/Use (if different): Commercial

17. Date of Construction: 1951
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input checked="" type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input checked="" type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"589 West Main Street." Garfield County Assessor's Office. Parcel Number 212331301003. Accessed December 20, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=2&PageID=9445>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 20, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 20, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 20, 2022. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 20, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

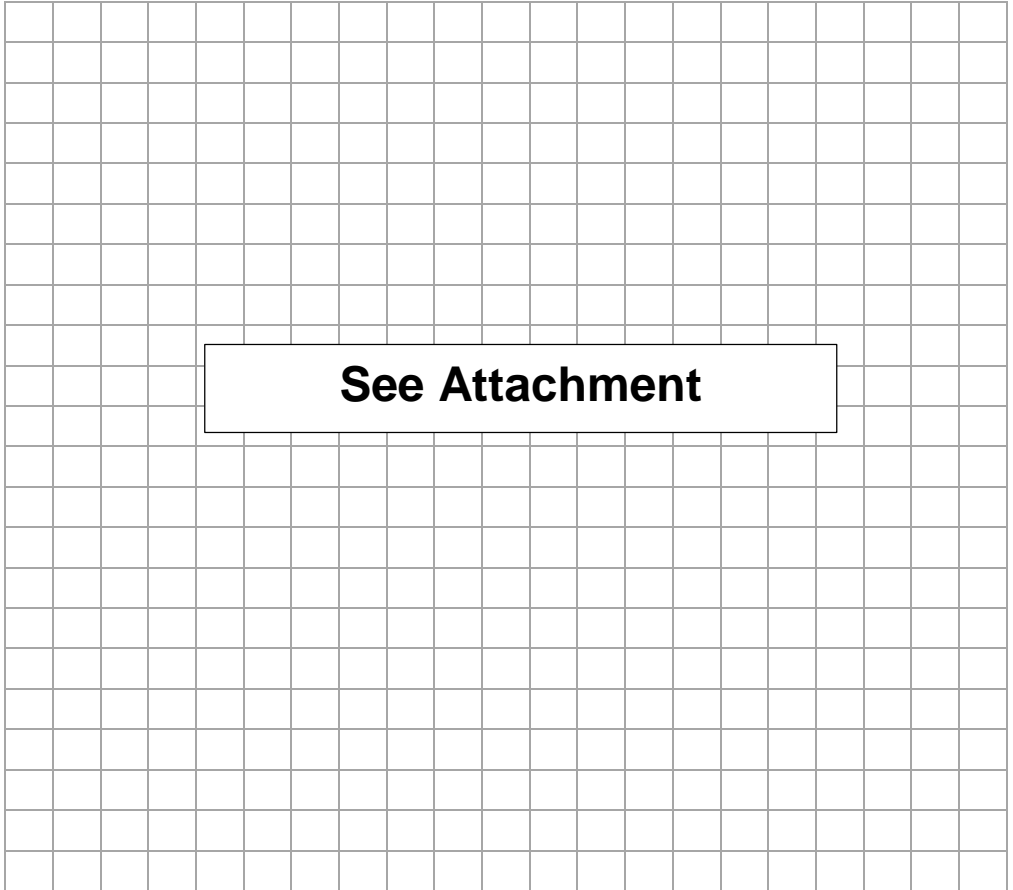
McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

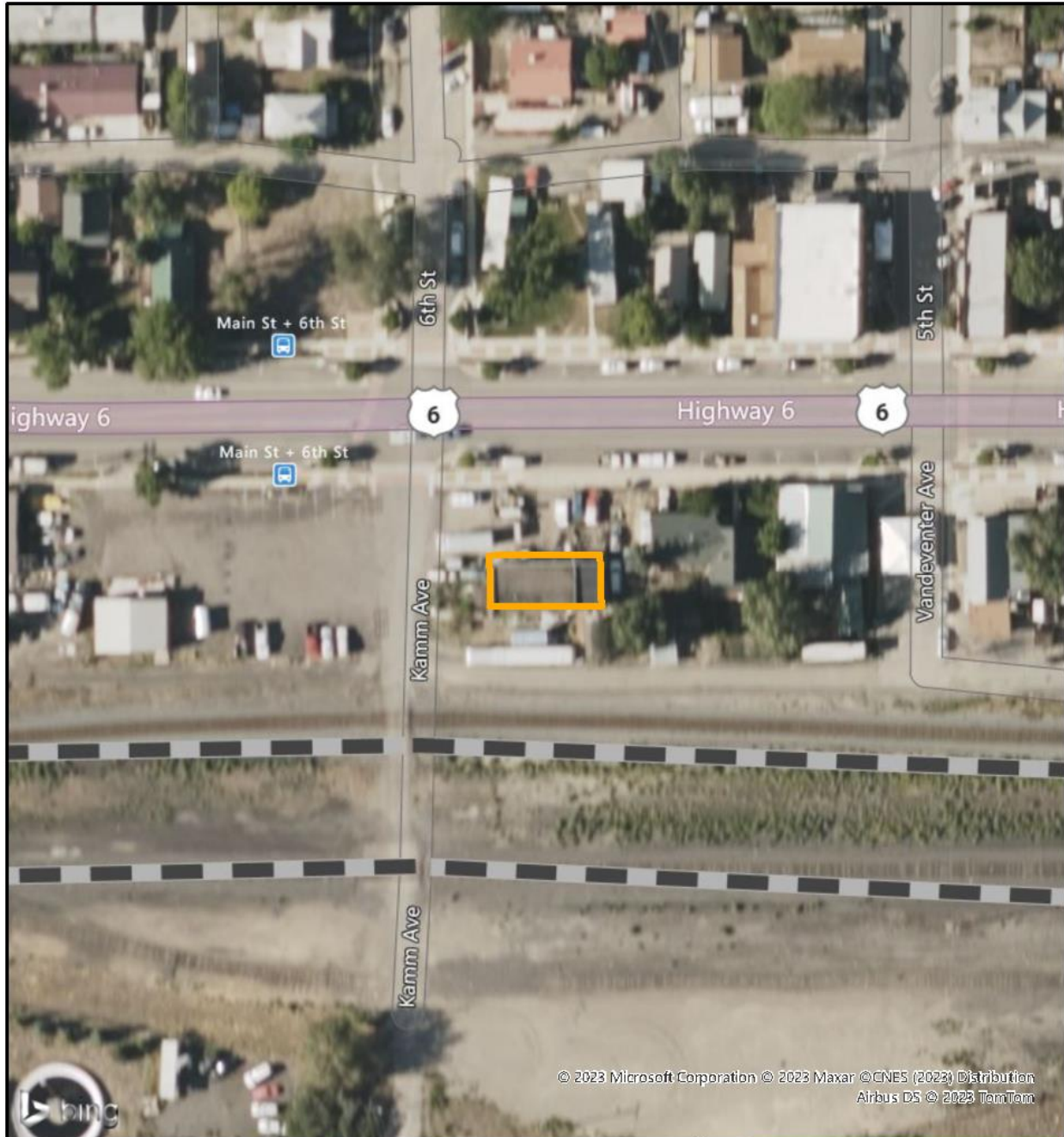
SKETCH PLAN *include approximate scale*





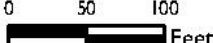
FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5903_1 to 5GF.5903_4</u>



Sketch Map

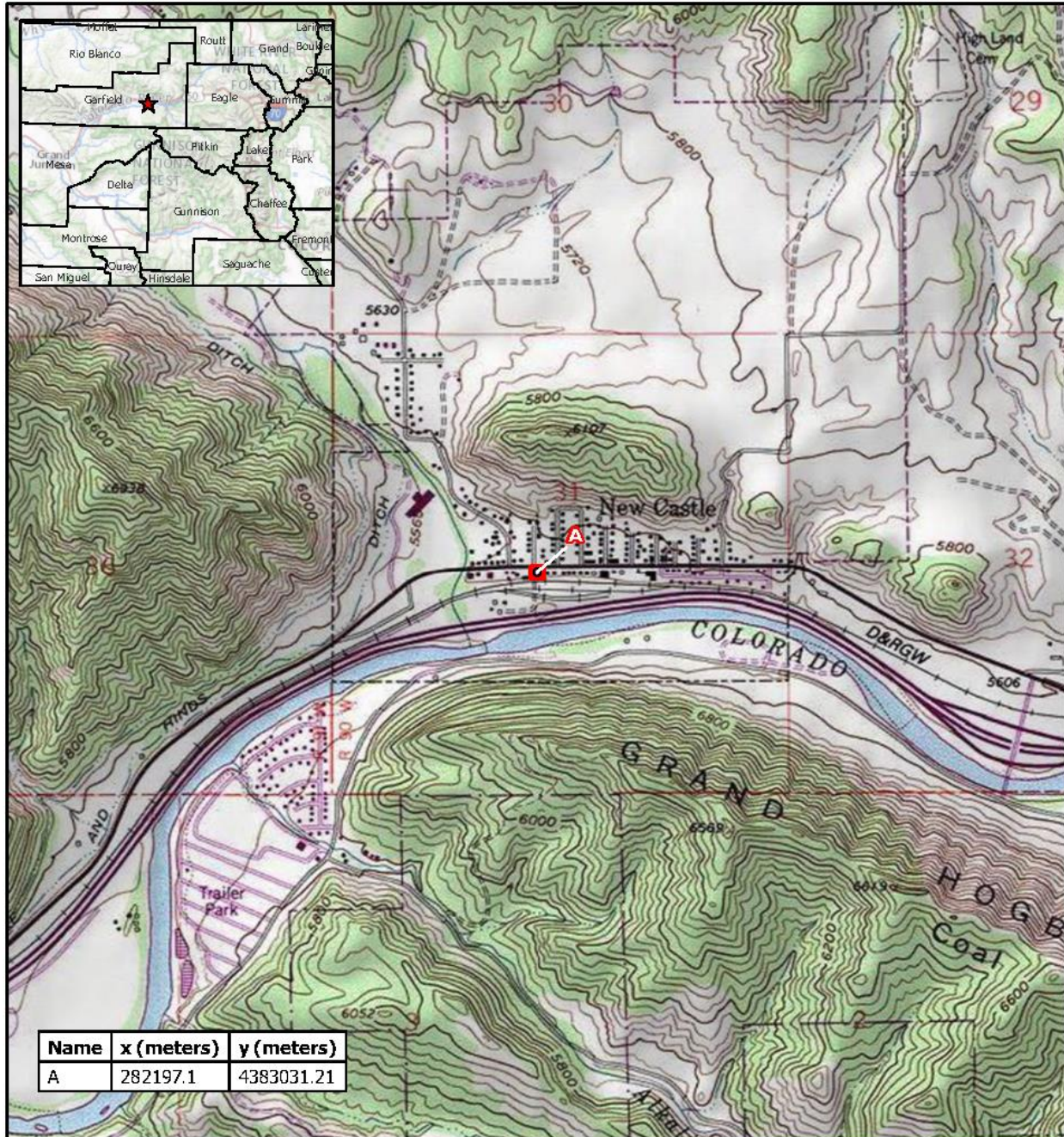


© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 589 West Main Street (5GF.5903) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282197.1	4383031.21

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

589 West Main Street (5GF.5903)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Park C:\user\downes\Desktop\CU\New Castle\Borch I\12156001 New Castle Historic Survey\12156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5903_1
Description: Looking at the primary (north) elevation of the building from West Main Street. Note the rolled glazed doors in front of the service bays.
Date: 9/6/2022
View: South



Photo Number: 5GF.5903_2
Description: Looking at the primary (north) and west elevations of the building. Note the fuel island in the foreground.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5903_3
Description: Looking at the primary (north) elevation and west elevations of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5903_4
Description: Looking at the east and primary (north) elevations of the building. The third bay on the far left is likely an addition.
Date: 9/6/2022
View: Southwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Cartwright Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 620 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331223017
- **9. Parcel Information: Lot(s): 4, 5 Block: 15 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282139 ;mN 4383089 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Stacked stone	Composite siding; corrugated metal
Windows	Roof	Chimney	Porch
One-over-one single hung sash; four-over-one picture window; transom; vinyl and wood frames;	Front gable clad in metal; open overhanging eaves	Metal flu	Partial length protected porch along primary (south) elevation; enclosed full length porch with shed roof along the north elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed circa 1899 as shown through review of an 1899 Sanborn Fire Insurance map. The approximately 54' by 24' building does not represent a particular style of architecture; thus, the building is a No Style residence. Architectural elements of the building include a poured concrete foundation; a front gable roof clad in metal; opening overhanging eaves; an exterior envelop clad in composite and corrugated metal siding; and a partial length protected porch along primary (south) elevation. The typical window consists of a replacement one-over-one single hung sash. Yet, wooden one-over-one single hung sash and wooden four-over-one picture windows are present as well. The partial length porch is located on the far-right side of the primary (south) and is supported by two turned spindle columns. The main entryway is located within a recessed portion of the exterior wall of the façade. The main door consists of a wood panel door that is fronted by a metal storm door. The main door is capped by a fixed transom. An enclosed full-length porch with a shed roof can be seen along the north elevation.

Historical aerial imagery demonstrates that the enclosed porch along the north elevation was constructed by 1960. Historical street imagery reveals that the exterior envelope was replaced between 2012 and 2022. In addition, the roof was replaced along with a majority of windows and the brick masonry chimney was removed from the center roofline.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1899

Estimated Actual (include source): 1899 and 1904 Sanborn

Fire insurance maps

18. Other Significant Dates, if any: Sanborn Fire Insurance maps from 1899 demonstrate that a 1.5 story wood frame dwelling and an attached one-story vacant floorspace was extant on lot 5 of block 15 at the time. In addition, a second dwelling was located at the northern boundary of the same lot as well. A vacant saloon is extant on lot 4 at the time. A 1904 Sanborn Fire Insurance map demonstrates that the dwelling in the middle of lot 5 was no longer extant although the floorspace adjacent to Main Street is still extant. It is unclear in the historic record if the current dwelling is the same building that is shown adjacent to Main Street in 1899 and 1904. At some point the saloon on lot 4 was demolished.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "620 West Main Street." Garfield County Assessor's Office. Parcel Number 212331223017. Accessed February 27, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1192770633&Key=R380104>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 27, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 27, 2023. <https://www.historicaerials.com>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

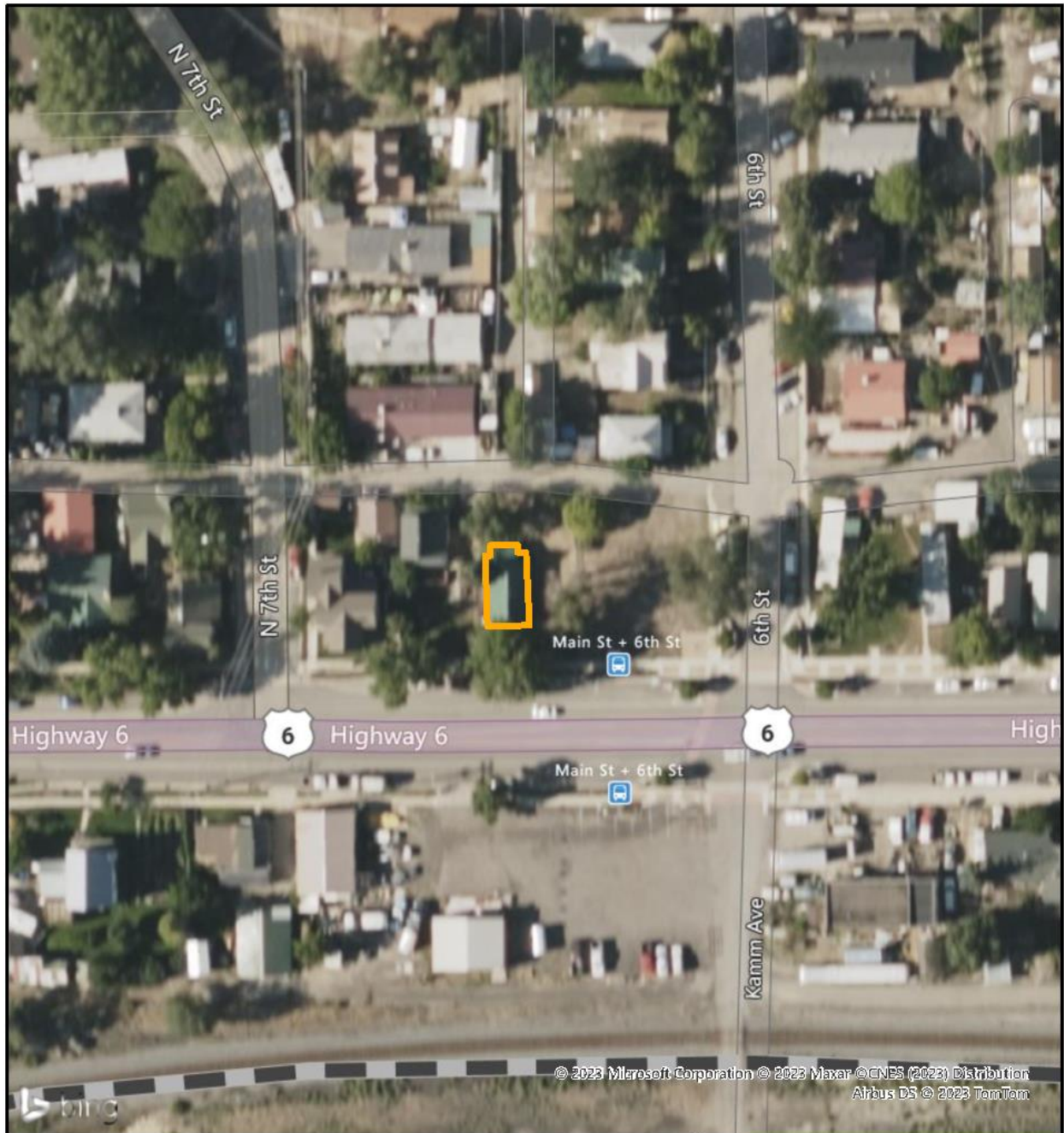
SKETCH PLAN *include approximate scale*



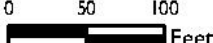


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5902_1 to 5GF.5902_3, and 1 reference photo</u>

See Attachment																			
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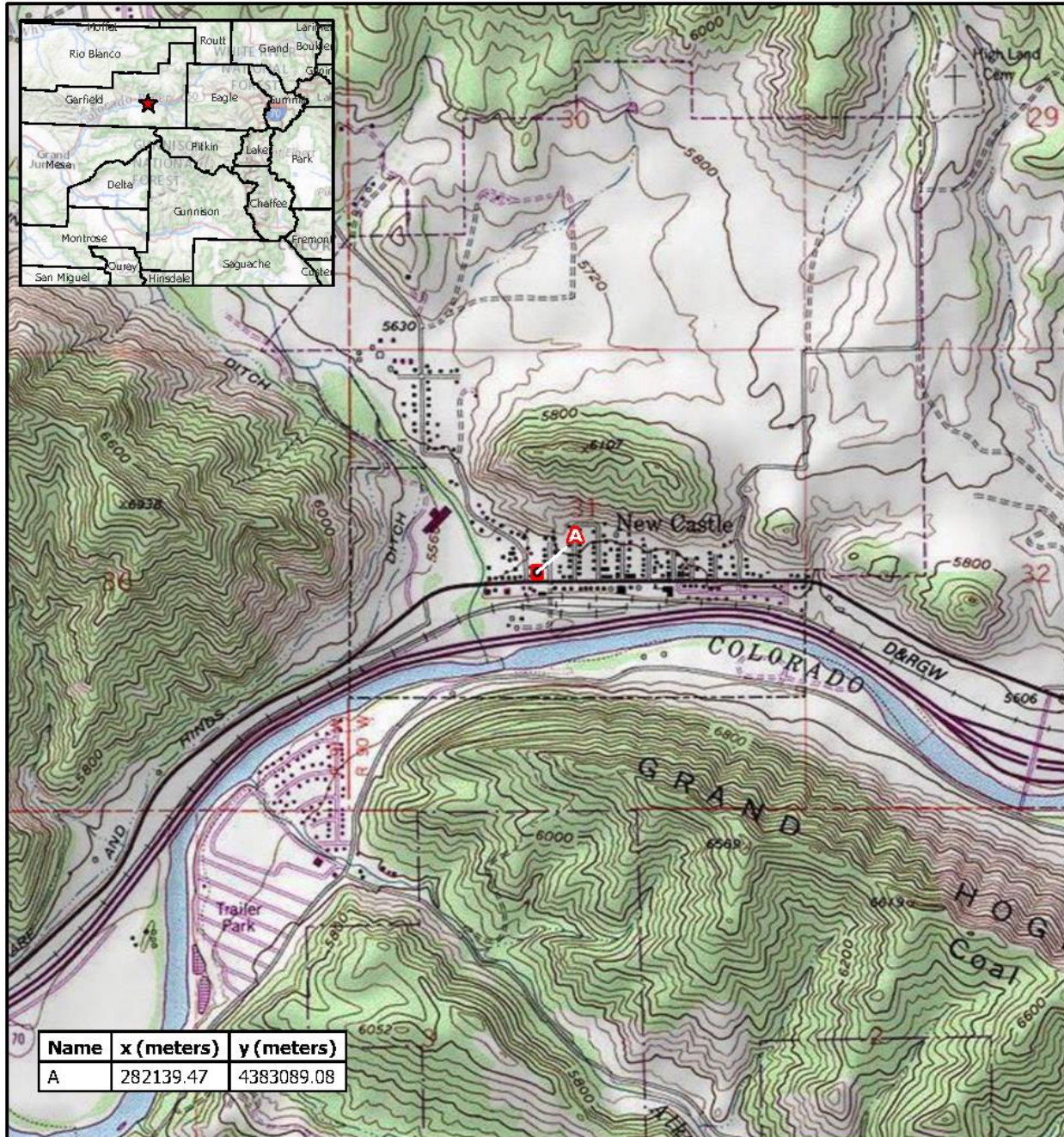
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 620 West Main Street (5GF.5902) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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Topographic Map



Name	x (meters)	y (meters)
A	282139.47	4383089.08

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

620 West Main Street (5GF.5902)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5902_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5902_2
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5902_3
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Reference Photo 1
Description: Looking at the primary (south) and east elevations of the building. This image is shortly before the alterations to the exterior envelope between 2012 and 2022.
Date: circa 2009
Source: Garfield County Assessor's Office

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Pickard Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 640 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331223016
- **9. Parcel Information: Lot(s): 6, 7 Block: 15 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282122 ;mN 4383089 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	No Style	Stacked stone/concrete	Vinyl siding
Windows	Roof	Chimney	Porch
One-by-one sliding sash; three-lite sliding sash; picture window; 12-over-12 single hung sash	Shed roof clad in asphalt shingles; subordinate hipped roof; overhanging eaves	Metal flu	Partial length unprotected porch along the primary (south) elevation.

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, rectangular shaped building was constructed in 1893 as shown through review of Garfield County Assessor's Office records. The approximately 38' by 26' building is not representative of a particular style of architecture due to it featuring unornamented surfaces and lacking decorative elements. Overall, the building is a No Style residence. The building incorporates a stacked stone/concrete foundation; a shed roof clad in asphalt shingles; a subordinate hipped roof; overhanging eaves; an exterior envelope clad in vinyl siding, and a partial length unprotected porch along the primary (south) elevation. The typical window consists of a vinyl one-by-one sliding sash. Other windows that can be noticed throughout the building include a three-lite sliding sash with snap on muntins, picture windows, and 12-over-12 single hung sashes with snap on muntins. A second level addition can be seen on the left half of the residence. The main entryway is located in the center of the primary (south) elevation and consists of multi-lite wood door. The main door is flanked on both sides by 12-over-12 single hung sashes with snap on muntins and is protected by a shed roof overhang. A secondary door is located on the left side of the east elevation. Decorative wood posts and wood railings with corrugated

metal panels are present on the partial length porch of the primary (south) elevation. A shed roof enclosed porch is located along the north elevation.

Sanborn Fire Insurance maps between 1893 and 1899 demonstrate that an addition was made to the east elevation of the dwelling. Historical aerial imagery demonstrates that a second level addition and shed roof addition was constructed on the north elevation by the late Twentieth Century. By 2008, historical street imagery reveals that the exterior envelope was replaced with vinyl siding and that windows were also replaced.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden
- Mature Plantings
- Designed Landscape
- Walls
- Parking Lot
- Driveway
- Sidewalk
- Fence
- Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1893

Estimated Actual (include source): Garfield County Assessor's Office

Assessor's Office

18. Other Significant Dates, if any: Sanborn Fire Insurance maps from 1894 to 1904 demonstrate that that the one-story wood frame dwelling is extant, although it consisted of a small footprint. The residence is located on lot 7 of block 15 and a saloon is shown on lot 6. By 1904, Sanborn Insurance maps demonstrate that the saloon was no longer extant and that an addition was made to the east elevation of the residence.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known:

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "640 West Main Street." Garfield County Assessor's Office. Parcel Number 212331223016. Accessed February 28, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=2085132631&KeyVal=380215>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 28, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 28, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

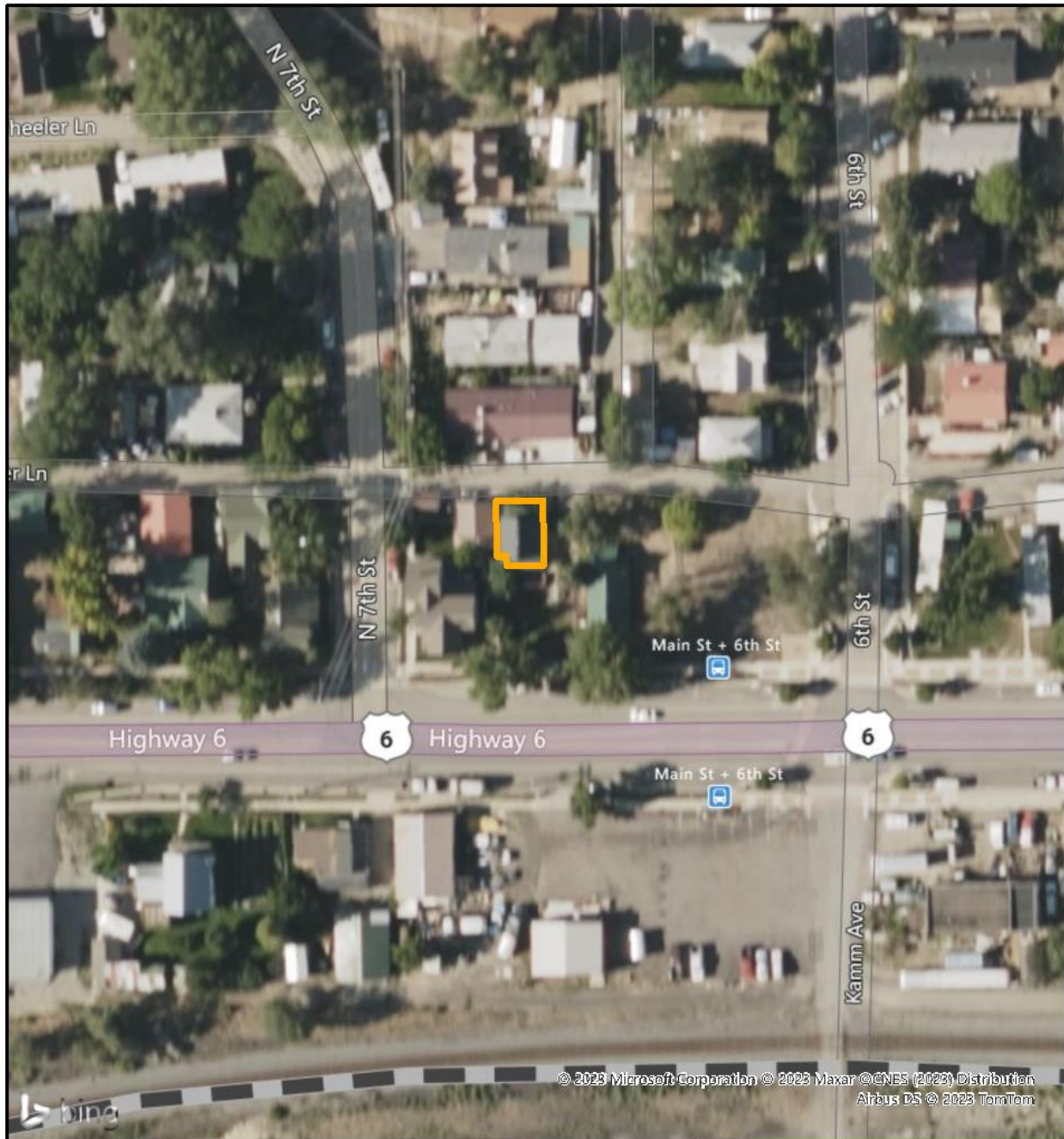
SKETCH PLAN *include approximate scale*



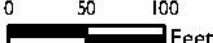



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5901_1 to 5GF.5901_2, and 3 reference photo</u>

See Attachment																			
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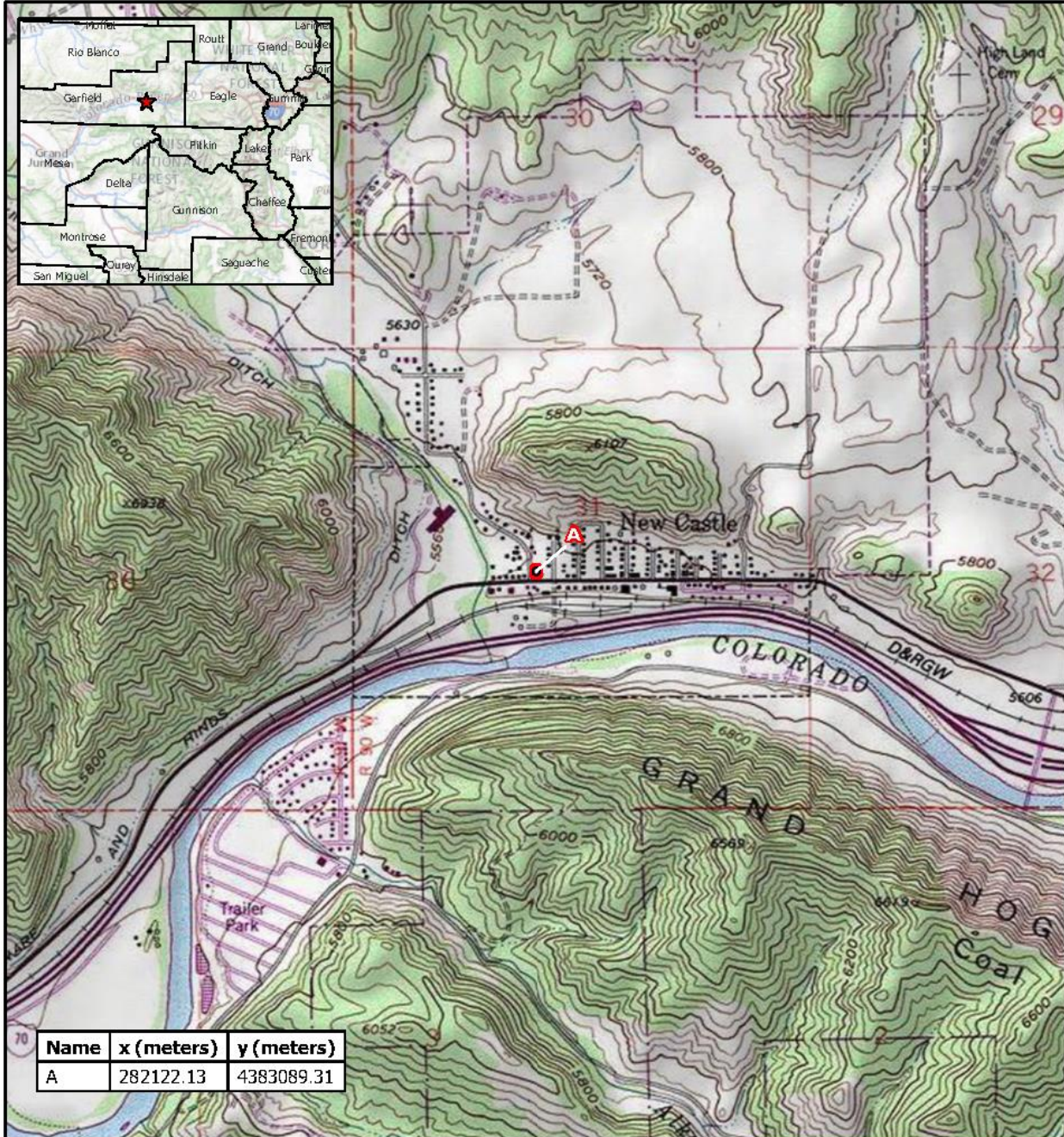
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 640 West Main Street (5GF.5901) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282122.13	4383089.31

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map
640 West Main Street (5GF.5901)
New Castle, Colorado
Garfield County

Drawn By: CJB Figure: I

Reviewed By: CMW Date: 4/11/2023

Pinyon Project Number: I 22156001

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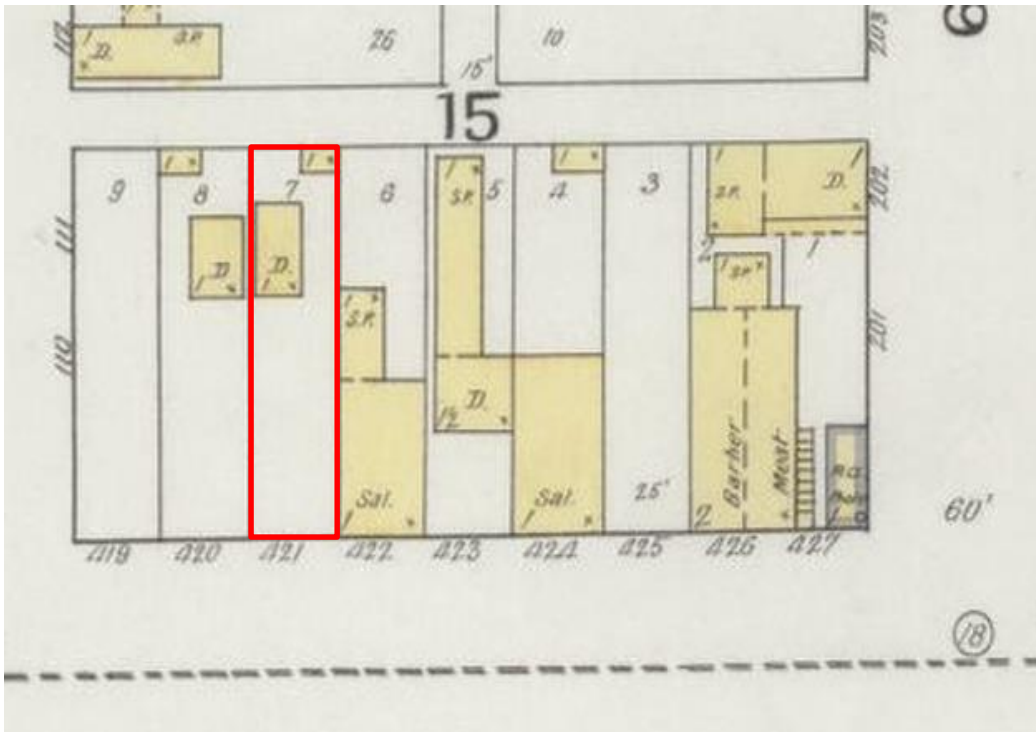
Site Photographs



Photo Number: 5GF.5901_1
Description: Context view from Main Street looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5901_2
Description: Looking at the primary (south) and east elevation of the building.
Date: 9/6/2022
View: Northwest

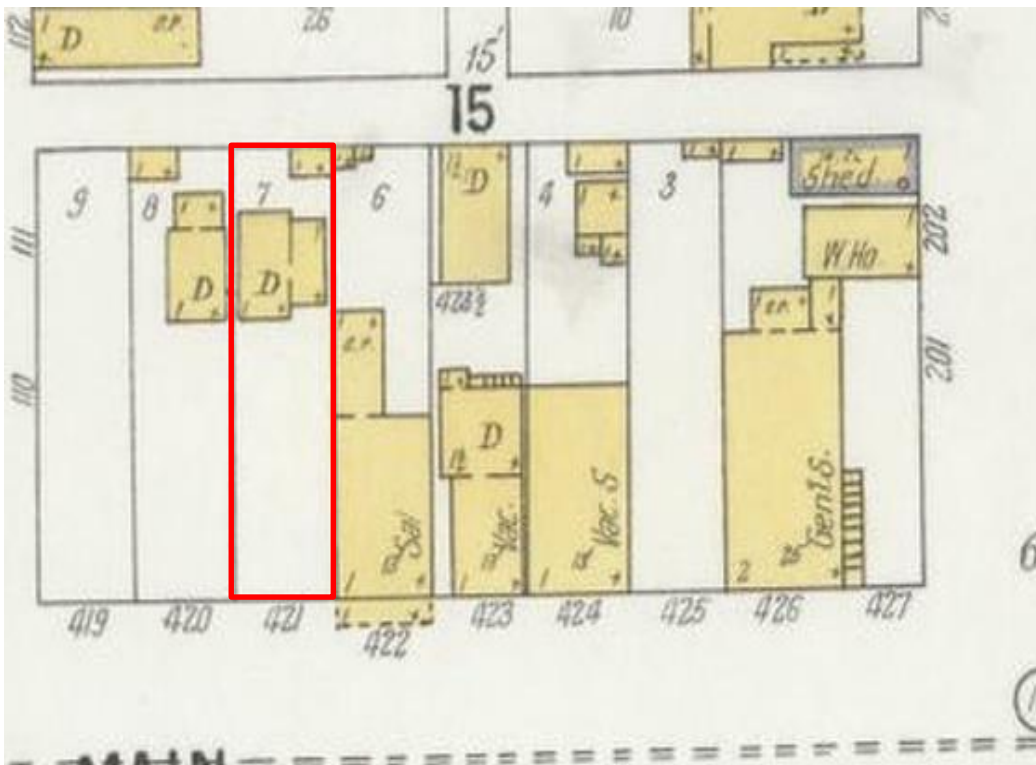


Reference Photo 1

Description: 1893 Sanborn Fire Insurance map of the resource located on lot 7 of block 15. The property is outlined in red.

Date: 1893

Source: Library of Congress

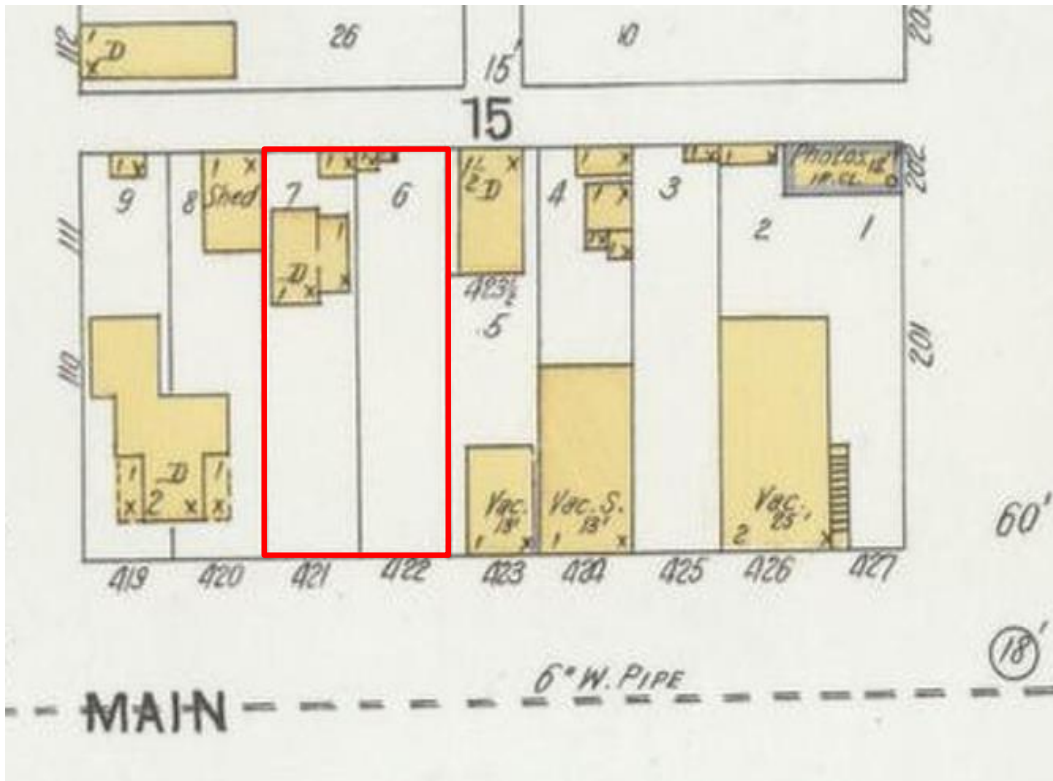


Reference Photo 2

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Daniel Difiore Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 641 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331401002
- **9. Parcel Information: Lot(s): 3-5 Block: L Addition: Spencer's 2nd
- **10. Acreage: 0.22 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NE ¼ of NE ¼ of SE ¼ of section:

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 283047 ;mN 4383011 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Gabled-ell (with some Queen Anne style)	Stone masonry	Vinyl; decorative fish scale shingling
Windows	Roof	Chimney	Porch
One-by-one sliding sash; and one-over-one single hung sash units; snap on muntins	Cross gable roof; shingle roof; closed overhanging eaves	Brick masonry; several metal flues	Partial length covered porch along the primary (north), west, and south elevations; several architectural support posts

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, L-shaped residence was constructed in 1898 according to Garfield County Assessor's Office records. The approximately 30' by 40' residence is representative of Gabled-Ell type of architecture with some Queen Anne style elements. Several architectural features of the residence include a stone masonry foundation; an exterior envelope clad with vinyl siding; cross gable roof; decorative fish scale shingles under the gable ends; a shingle roof; closed overhanging eaves; a partial length covered porch along the primary (north) and west elevations; architectural support posts; and a hipped roof addition along the east elevation. A majority of the windows consist of replacement units in a one-by-one sliding sash or one-over-one single hung sash configuration. The windows incorporate vinyl framing. A square brick masonry chimney can be noticed at it protrudes through the roofline near the cross gable. Another protected porch can be noticed along the south elevation of the building from the public right-of-way (ROW). A hipped roof addition was made to the east elevation of the building at some point.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1898
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"641 East Main Street." Garfield County Assessor's Office. Parcel Number 212331401002. Accessed December 21, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=679574122&KeyValue=R380102>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 21, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 20, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

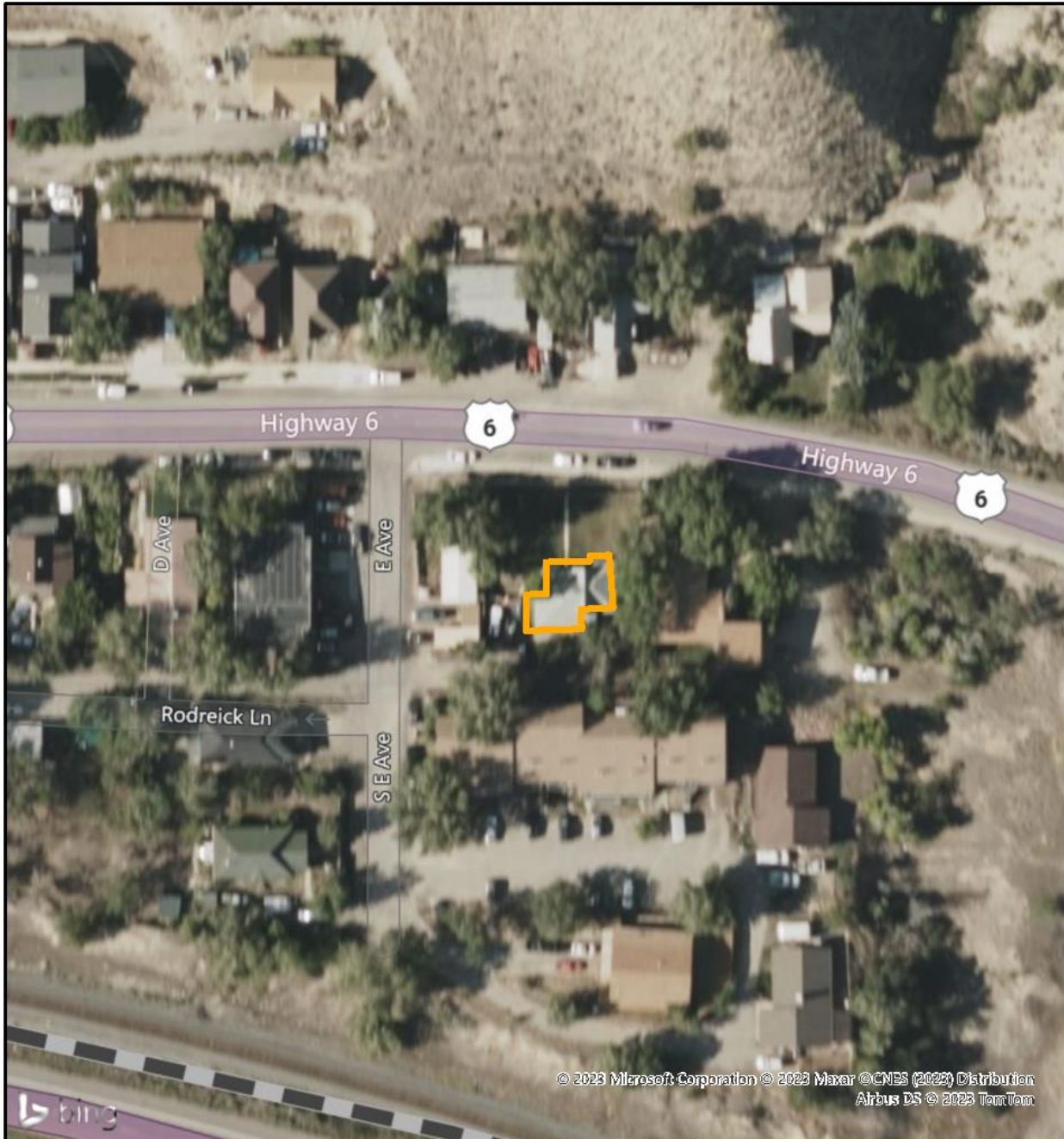
SKETCH PLAN *include approximate scale*



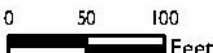



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5940_1 to 5GF.5940_3</u>

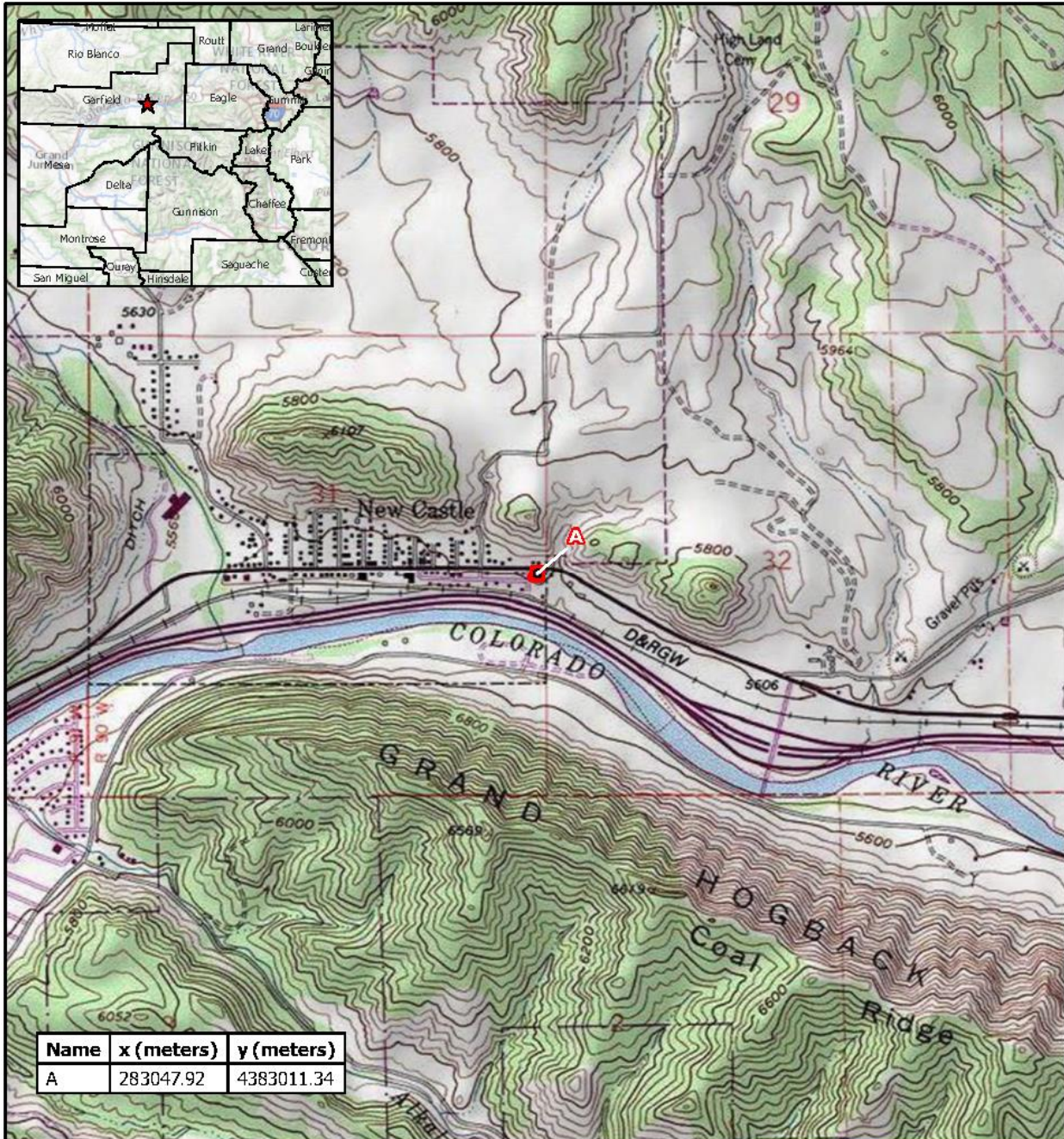
See Attachment																			
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Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 641 East Main Street (5GF.5940) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Doc u:\new\pach_c\1\user\down\desktop\CU\New Castle\Borch R\122156001 New Castle Huzo nc Survey\122156001 New Castle Huzo nc Survey.aprx</p>		<p>Reviewed By: CMW</p>	<p>Date: 4/10/2023</p>

Topographic Map



Name	x (meters)	y (meters)
A	283047.92	4383011.34

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

641 East Main Street (5GF.5940)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5940_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5940_2
Description: Looking at the primary (north) and west elevations of the building.
Date: 9/6/2022
View: Southeast



Photo Number: 5GF.5940_3
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: T&K Properties LLC Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 644 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331101005
- **9. Parcel Information: Lot(s): 2-4 Block: K Addition: Spencer's Addition
- **10. Acreage: 0.17 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
- SE ¼ of SE ¼ of SE ¼ of NE ¼ of section:

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 283059 ;mN 4383066 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	No Style	Primarily concrete; some stone masonry walls	Vinyl
Windows	Roof	Chimney	Porch
One-by-one sliding sash; picture window; and four-lite divided picture unit	Front gable with lower front gable projection; boxed and closed overhanging eaves; shingle roof	Rectangular stone masonry	Full length, elevated deck along the lower gable projection on the primary (south) elevation; elevated open deck along the north elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, irregular plan building was constructed in 1949 as shown through review of Garfield County Assessor's Office records. The approximately 50' by 36' building does not represent a particular architectural style, although it does incorporate some Mid-Century Modern elements. Overall, the building is a No Style residence. Several architectural elements of the residence include a primarily concrete foundation with some stone masonry walls; a front gable roof with a lower front gable projection along the facade of the primary (south) elevation; several side gable projections along the east and west elevations; an exterior envelope clad in vinyl siding; boxed and closed overhanging eaves; shingle roof; and a rectangular stone masonry chimney along the left side of the east elevation. An elevated open deck with log posts can be noticed on the primary (south) elevation as well as stone walls at the basement level. Additionally, a double door entryway is located on the basement level. The entryway incorporates two wood doors with each having a four-lite picture window unit divided by wood muntins. Several window units can also be noticed including one-by-one sliding sash;

picture window; and four-lite divided picture units. A majority of the windows have been replaced due to their vinyl construction. Furthermore, a small portion of the elevated open deck along the north elevation can be seen from the public right-of-way (ROW).

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other: A wood staircase is located along the east elevation of the building.

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1949

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"644 East Main Street." Garfield County Assessor's Office. Parcel Number 212331101005. Accessed December 21, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=9291821&KeyVal=380200>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 21, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 20, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

SKETCH PLAN *include approximate scale*





FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5941_1 to 5GF.5941_3</u>

See Attachment																			
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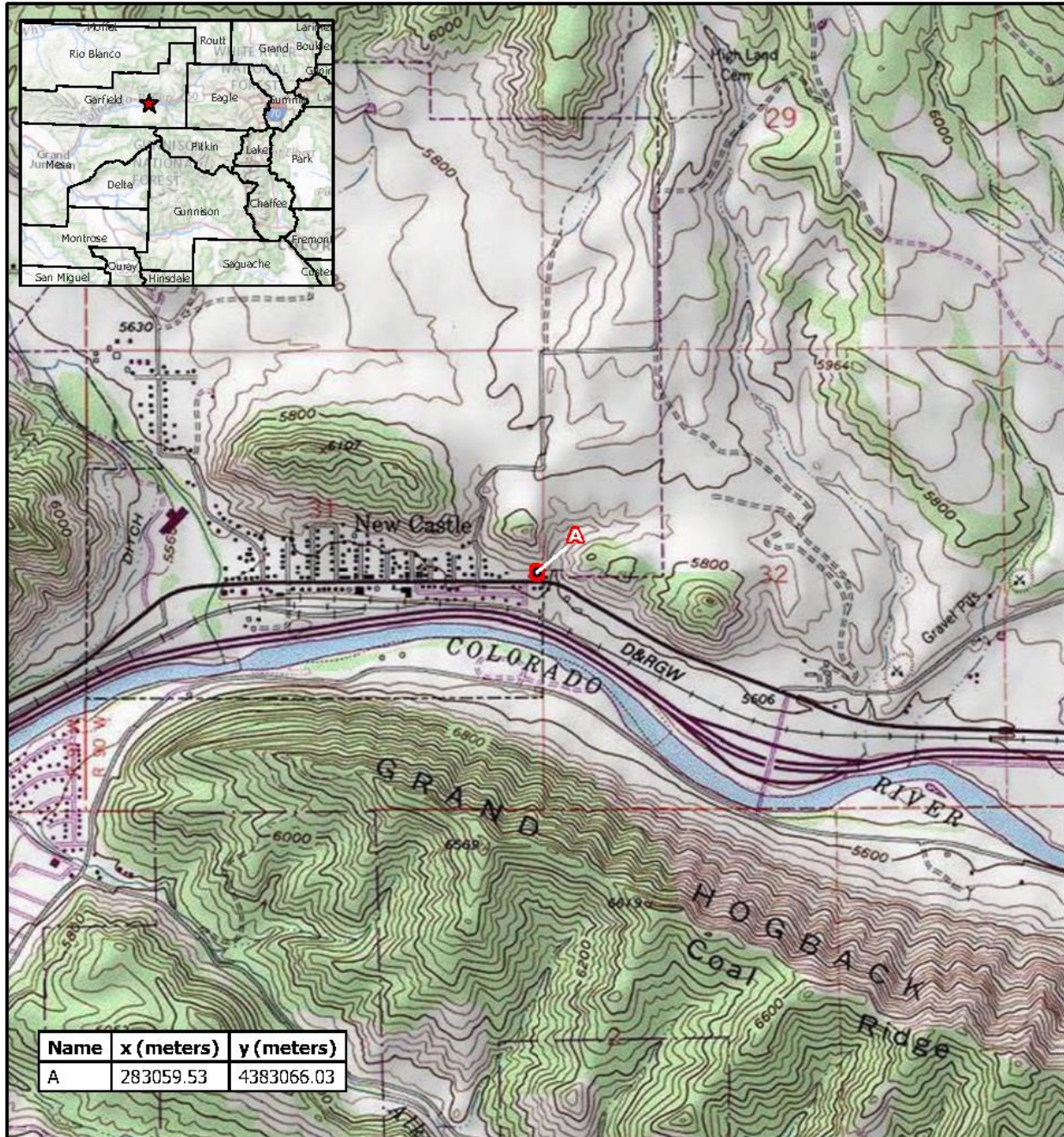
Sketch Map



<p>Legend</p> <p> Footprint</p>	 <p>Sketch Map 644 East Main Street (5GF.5941) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	283059.53	4383066.03

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

644 East Main Street (5GF.5941)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5941_1
Description: Looking at the primary (south) elevation of the building. Note the front gable and the side gable projections below the front gable roofline.
Date: 9/6/2022
View: North



Photo Number: 5GF.5941_2
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5941_3
Description: Looking at the west and primary (south) elevations of the building. Note the staircase leads from the basement level to the second floor.
Date: 9/6/2022
View: Northeast

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Smith Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 644 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331223015
- **9. Parcel Information: Lot(s): 8, 9 Block: 15 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SE ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282105 ;mN 4383089 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Edwardian	Poured concrete	Composite siding
Windows	Roof	Chimney	Porch
One-over-one double hung sash; one-over-one single hung sash; picture windows; transom	Cross gable roof clad in asphalt shingles; overhanging eaves	Brick masonry	Full length hipped roof porch along the primary (east) elevation; enclosed full-length hipped roof porch along west elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, irregular shaped building was constructed circa 1904 as shown through review of a 1904 *Sanborn Fire Insurance* map. The approximately 52' by 38' building is representative of an Edwardian style of architecture. Architectural features of the building include a poured concrete foundation; a cross gable roof clad in asphalt shingles; overhanging eaves; an exterior envelop clad in composite siding; a brick masonry chimney; and a partial length protected porch along primary (south) elevation. The typical window consists of a vinyl one-over-one double hung sash. Additional windows throughout the building consist of one-over-one single hung sash and picture windows. The main entryway is located on the far-left side of the primary (east) elevation and incorporates a wood panel door that is capped by a transom. The main entryway is fronted by a partial length hipped roof porch. The porch is supported by several wood columns with rectangular railings. Decorative rectangular spindlework can also be noticed under the hipped roof eaves. A secondary entryway is located within the enclosed porch along the west elevation. The entryway consists of a wood door with 9-lite

window divided by muntins. The enclosed porch features decorative faux support columns and rectangular spindlework. Decorative wrought iron fencing is also present along the south elevation of the building.

Historic imagery of the residence in the late Twentieth Century demonstrates that the building maintained a majority its historic windows. In addition, the partial length porch along the primary (east) elevation demonstrates that it incorporated decorative spindlework under the hipped roof eaves and turned spindle support columns. Historical street imagery from 2012 to 2022 demonstrates that a majority of windows were replaced with vinyl units, aside from two, multi-lite windows located on the north elevation. The decorative turned spindle columns and spindle work within the full-length porch along the primary (east) elevation were replaced by rectangular posts and spindlework. Faux support columns and rectangular spindlework were added to the full-length porch of the west elevation. Furthermore, a 1904 Sanborn Fire insurance map demonstrates that a shed and outbuilding were present to the north of the residence at the time of its construction. By the late Twentieth Century, the shed and outbuilding were razed.

14. Associated buildings, features, or objects:

An outbuilding is located to the north of the residence as was constructed in 2016 as shown through review of historical aerial imagery. The approximate 14' by 10' building features gambrel gable roof clad in corrugated metal; a exterior envelope clad in horizontal weatherboard; and a main entryway located along the primary (east) elevation.

A detached garage is located to the northeast of the residence. The approximately 20' by 20' building was constructed circa 2020 as shown through review of historical aerial imagery. The building features a poured concrete foundation; a front gable roof clad in corrugated metal; and a corrugated metal exterior envelope. The west elevation has several license plates that are mounted to the exterior walls.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1904

Estimated Actual (include source): 1904 Sanborn Fire

Insurance map

18. Other Significant Dates, if any: Garfield County Assessor's Office records indicate that the residence was constructed in 1892; however, the building is not extant on Sanborn Fire Insurance maps until 1904. The residence appears to maintain its layout and massing since its construction.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: According to New Castle Museum records, the residence is the first house in New Castle to have indoor plumbing.

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "644 West Main Street." Garfield County Assessor's Office. Parcel Number 212331223015. Accessed February 28, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=631205670&KeyValue=R380179>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed February 28, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed February 28, 2023. <https://www.historicaerials.com>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.
- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

SKETCH PLAN *include approximate scale*



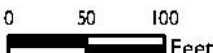


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5900_1 to 5GF.5900_5, 1 historic photo, and 2 reference photos</u>

See Attachment																			
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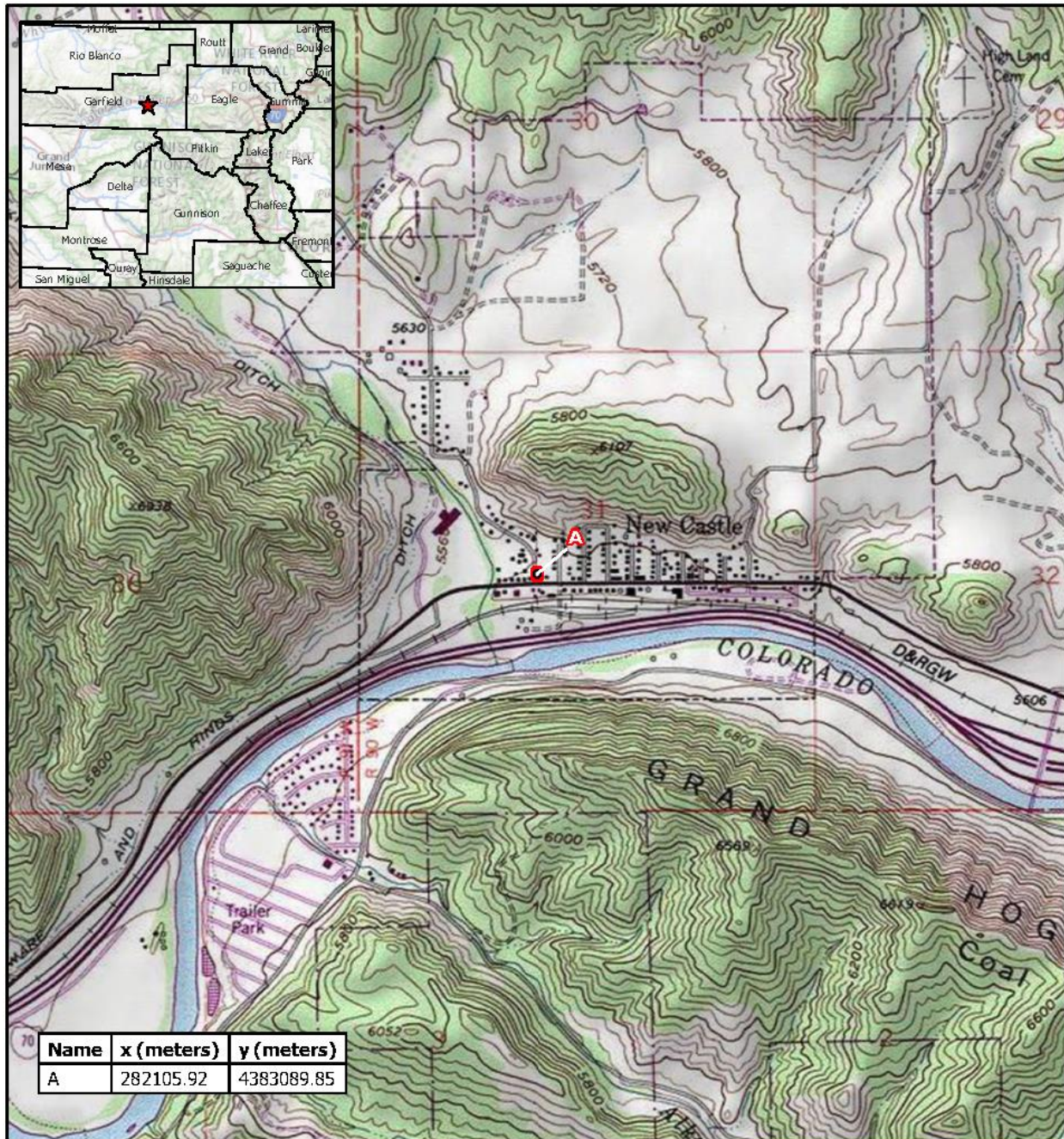
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 644 West Main Street (5GF.5900) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	282105.92	4383089.85

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

644 West Main Street (5GF.5900)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in: new_Park_C:\user\doowad\Desktop\CU\New Castle\Borch I 122156001 New Castle Historic Survey\122156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5900_1
Description: Looking at the south and primary (east) elevations of the building. Note the decorative wrought iron fence in front of the residence.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5900_2
Description: Looking at the south and primary (east) elevations of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5900_3
Description: Looking at the west and south elevations of the building.
Date: 9/6/2022
View: Northeast



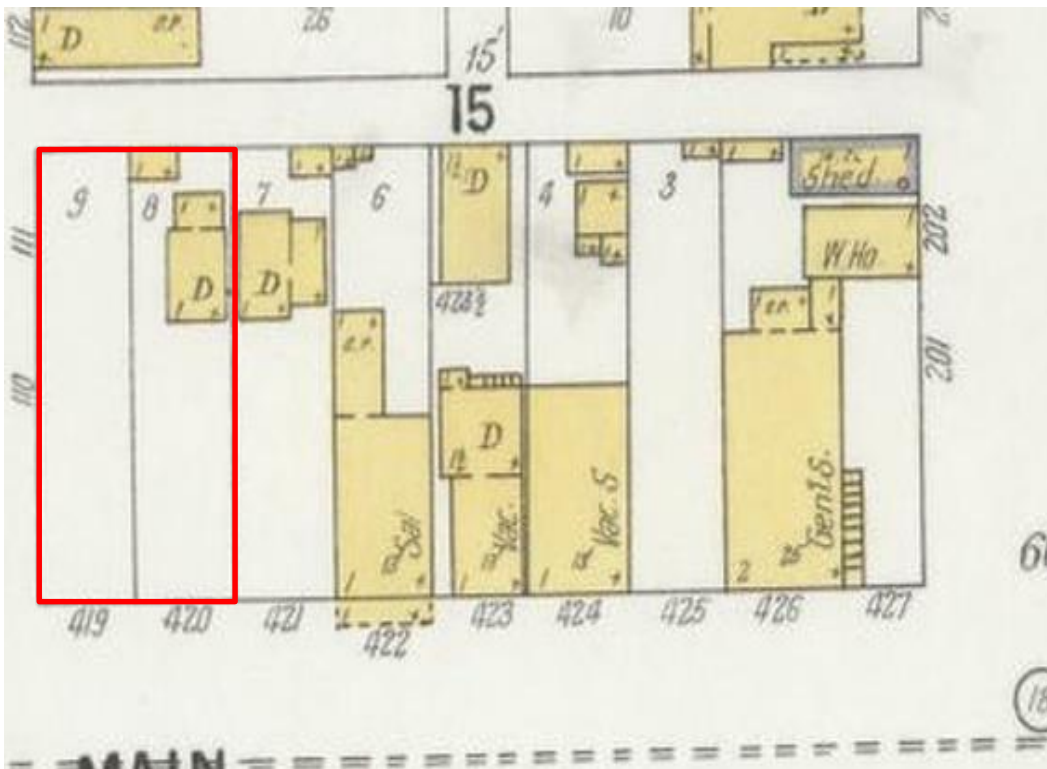
Photo Number: 5GF.5900_4
Description: Looking at the west elevation of the building.
Date: 9/6/2022
View: East



Photo Number: 5GF.5900_5
Description: Looking at the north elevation of the building.
Date: 9/6/2022
View: Southeast



Historic Photo 1
Description: Image label states, "Smith House/First House to have indoor plumbing. 644 West Main Street." Note the turned spindles and spindlework within the porch.
Date: Unknown
Source: New Castle Museum Collection

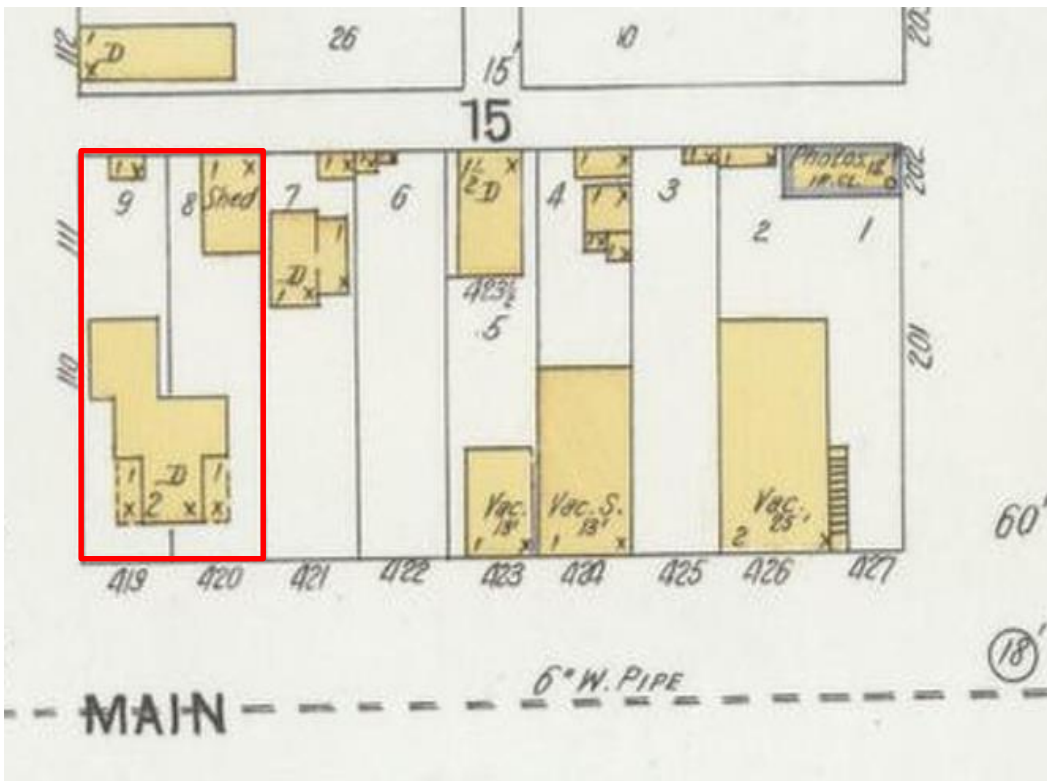


Reference Photo 1

Description: 1899 Sanborn Fire Insurance map demonstrating that the current residence was not extant at the time. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 2

Description: 1904 Sanborn Fire Insurance map of the resource located on lots 8 and 9 of block 15. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Harmony LLC Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 681 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331302002

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **9. Parcel Information: Lot(s): 3-5 Block: 14 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.14 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NW ¼ of NE ¼ of NE ¼ of SW ¼ of section: 31

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282085 ;mN 4383033 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	No Style	Stacked stone/poured concrete	Horizontal weatherboard
Windows	Roof	Chimney	Porch
One-over-one single hung sash; one-by-one sliding sash; decorative wood lintel, sill, and casings	Shed roof; subordinated side and front gables; asphalt shingles; open and closed overhang eaves; exposed rafter tails; exposed rafter beams	Metal flu	Full-length front gable porch along the primary (north) elevation; deck located on second level of primary (north) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, square shaped building was constructed in 1893 as shown through review of Garfield County Assessor's Office records. The approximately 40' by 40' building is not representative of a particular style of architecture. Overall, the residence is a No Style building. Architectural features of the building include a stack stone and poured concrete foundation; shed roof clad in asphalt shingles; subordinate side and front gables; open and closed overhanging eaves; exposed rafter tails under the eaves; and exposed rafter beams; a metal flu chimney; an exterior envelope clad in horizontal weatherboard siding; a full-length front gable porch along the primary (north) elevation and a deck located on second level of primary (north) elevation. The typical window consists of a vinyl one-over-one single hung sash with a decorative wood lintel, sill, and casings. One-by-one sliding sash windows can also be noticed throughout the building. The main entryway is located on the far-left side of the primary (north) elevation and within the partial length front gable porch. The main door consists of a wood exterior door with a single lite. The partial length porch incorporates turned spindle

support columns; chevron features in the gable end; and decorative brackets. A sliding porch door is evident on the second floor in the center of the façade. The deck consists of wood with unornamented railings.

Sanborn Fire Insurance maps between 1893 and 1899 demonstrate that an addition was constructed along the south elevation during the period. Historical aerial imagery shows that the two-story shed roof addition along the west elevation of the building was constructed by 1960. In addition, historical street imagery in 2008 reveals that a staircase was present to the second level deck on the primary (north) elevation. Between 2012 and 2022, the staircase was removed, and a one-by-one sliding sash window was constructed on the far-right side of the first level of the primary (north) elevation. Furthermore, window units were replaced due to their vinyl construction.

14. Associated buildings, features, or objects:

A detached garage is located to the south of the residence. The approximately 40' by 30' building was constructed circa 1982 as shown through review of historical aerial imagery. The garage features a front gable roof; an exterior envelope clad in horizontal weatherboard; and two overhead garage doors.

An outbuilding is located to the southwest of the residence. The approximately 18' by 12' building was constructed in 2020 as shown through review of historical aerial imagery. The building features a front gable roof; a full-length protected porch along the primary (north) elevation; a wood main door with a multi-lite window; and a one-over-one single hung sash window.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1893
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"681 West Main Street." Garfield County Assessor's Office. Parcel Number 212331302002. Accessed March 1, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=567733153&Key Value=R380001>.

"A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

"Document Search." Garfield County Clerk and Recorder Office. Accessed March 1, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed March 1, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

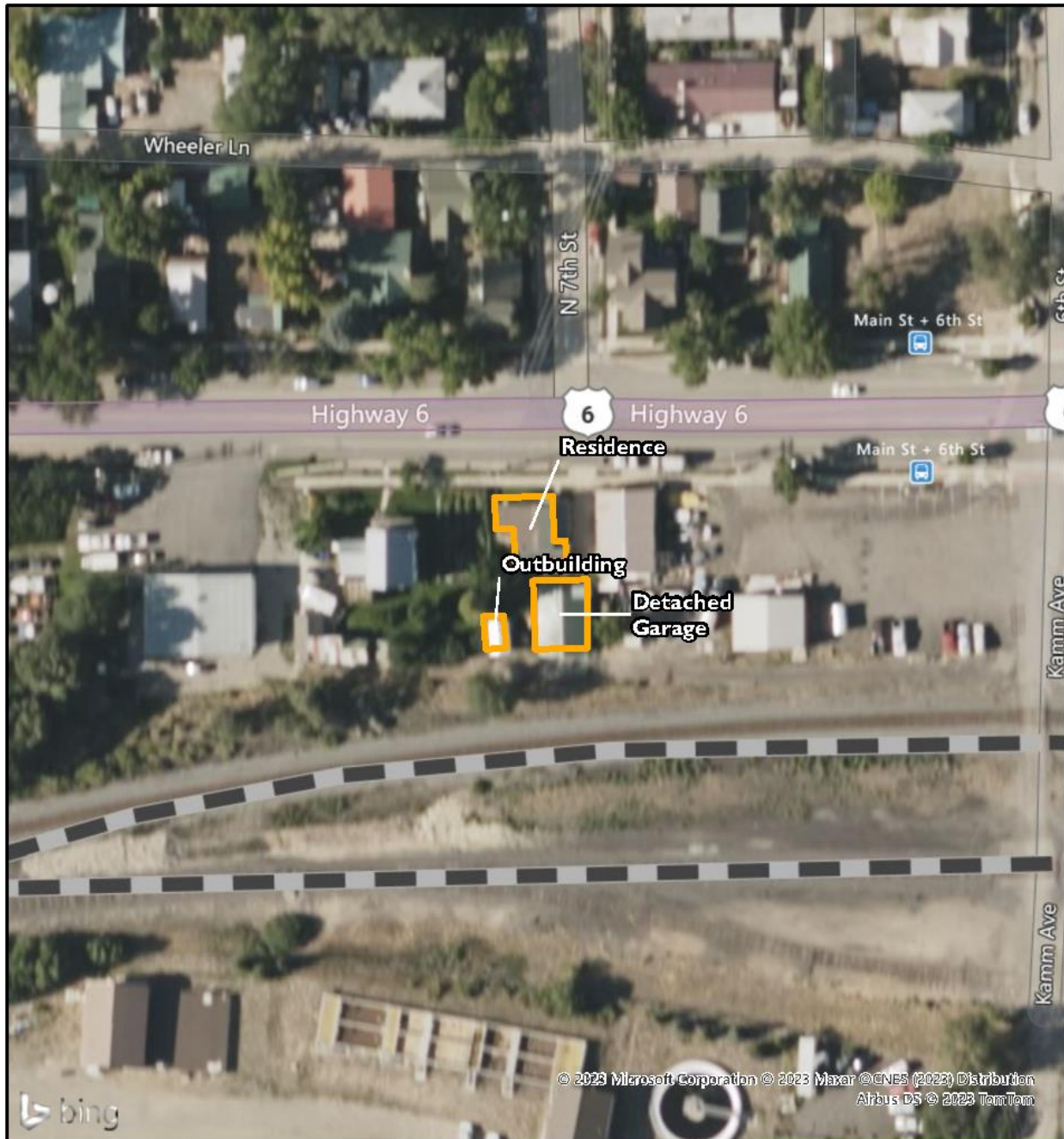
SKETCH PLAN *include approximate scale*



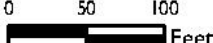



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5899_1 to 5GF.5899_3, and 3 reference photos</u>

See Attachment																			
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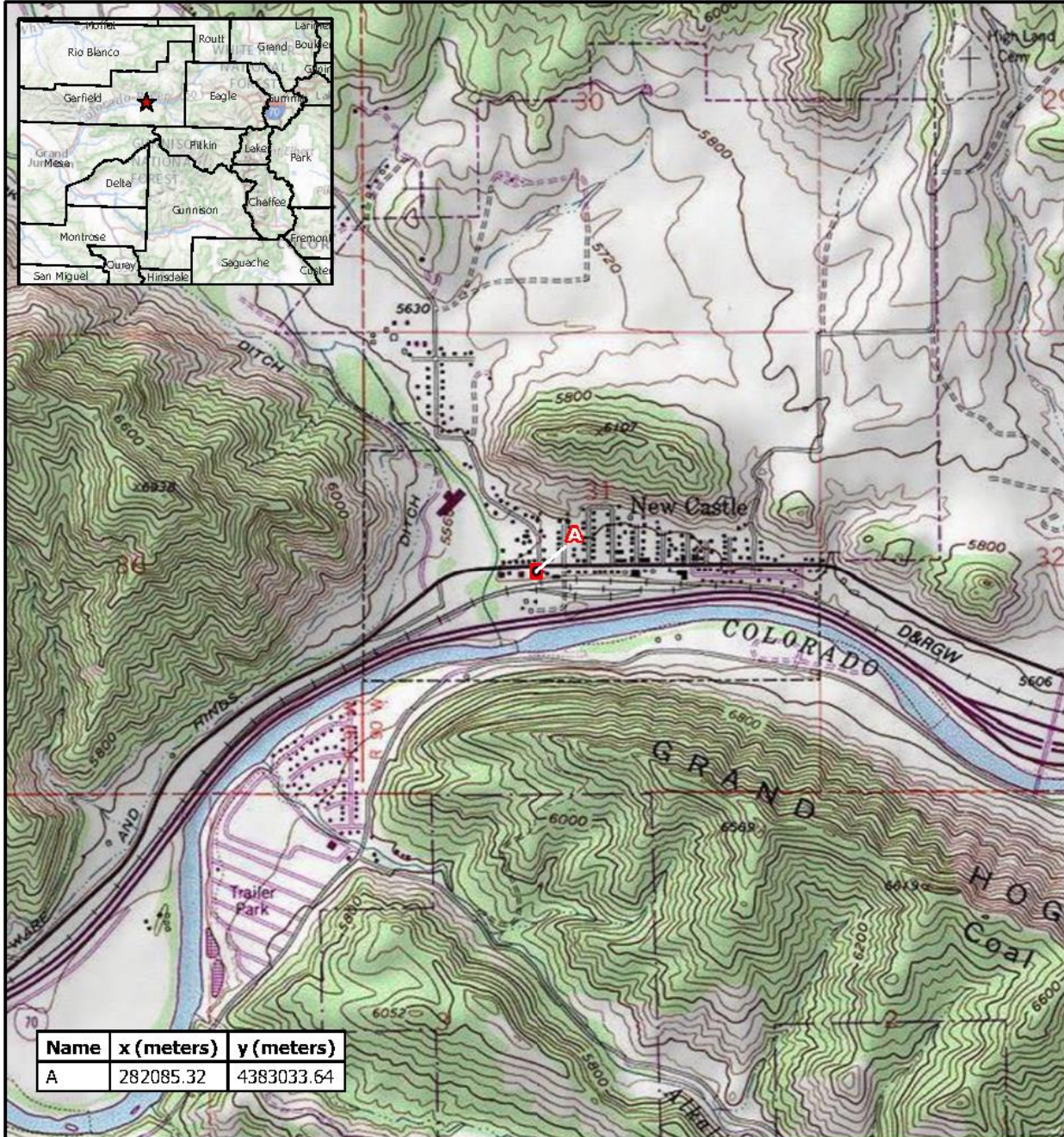
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 681 West Main Street (5GF.5899) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


Docu ment Path: C:\Users\downes\Desktop\CU\New Castle\Borch R\12156001 New Castle Historic Survey\12156001 New Castle Historic Survey.aprx

Topographic Map



Name	x (meters)	y (meters)
A	282085.32	4383033.64

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

681 West Main Street (5GF.5899)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



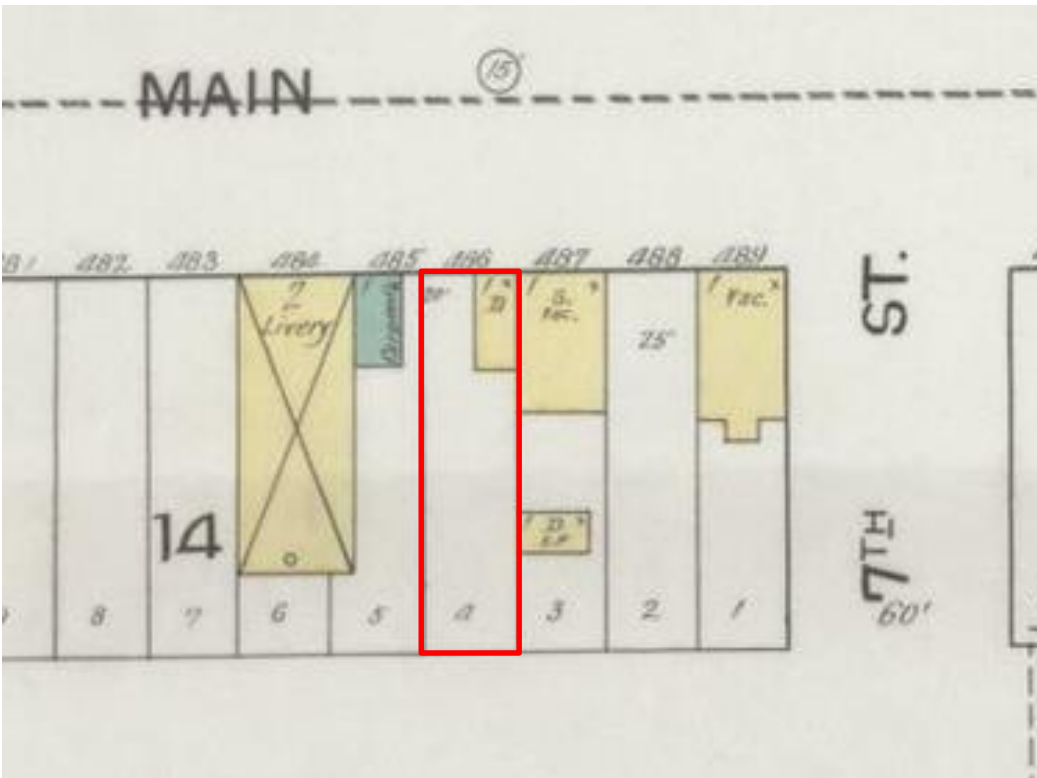
Photo Number: 5GF.5899_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: Southeast



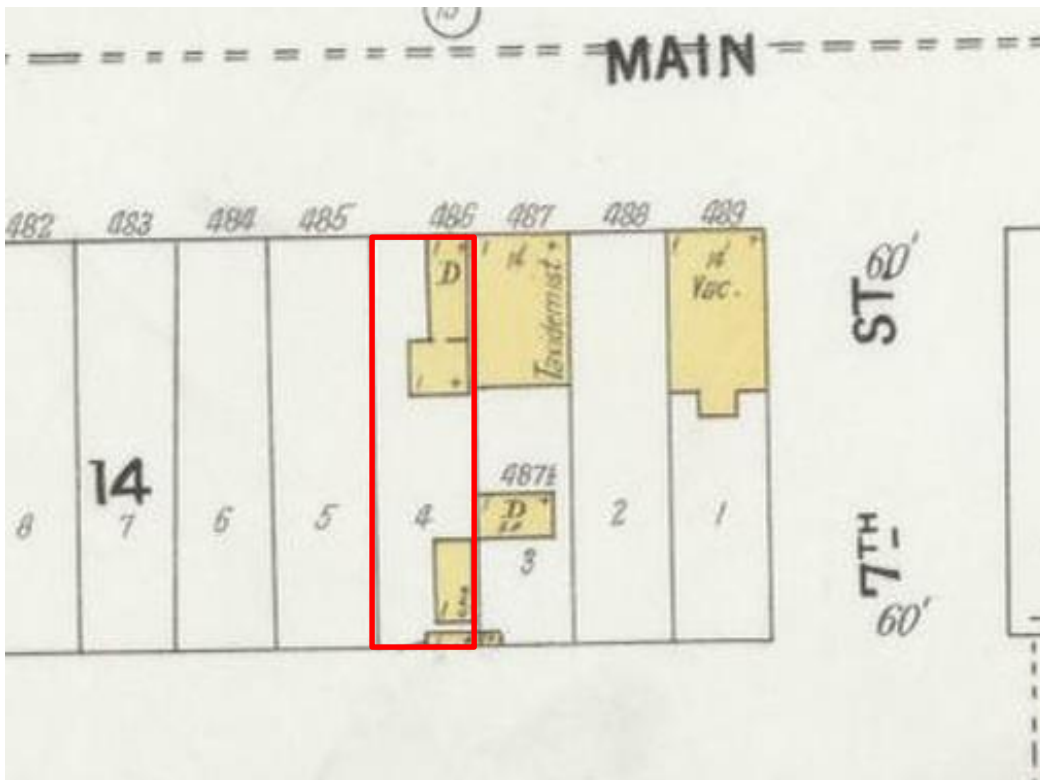
Photo Number: 5GF.5899_2
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5899_3
Description: Looking at the primary (north) and west elevations of the building.
Date: 9/6/2022
View: Southeast



Reference Photo 1
Description: 1893 Sanborn Fire Insurance map illustrating the residence on lot 4 of block 14. Note the building's smaller layout. The property is outlined in red.
Date: 1893
Source: Library of Congress

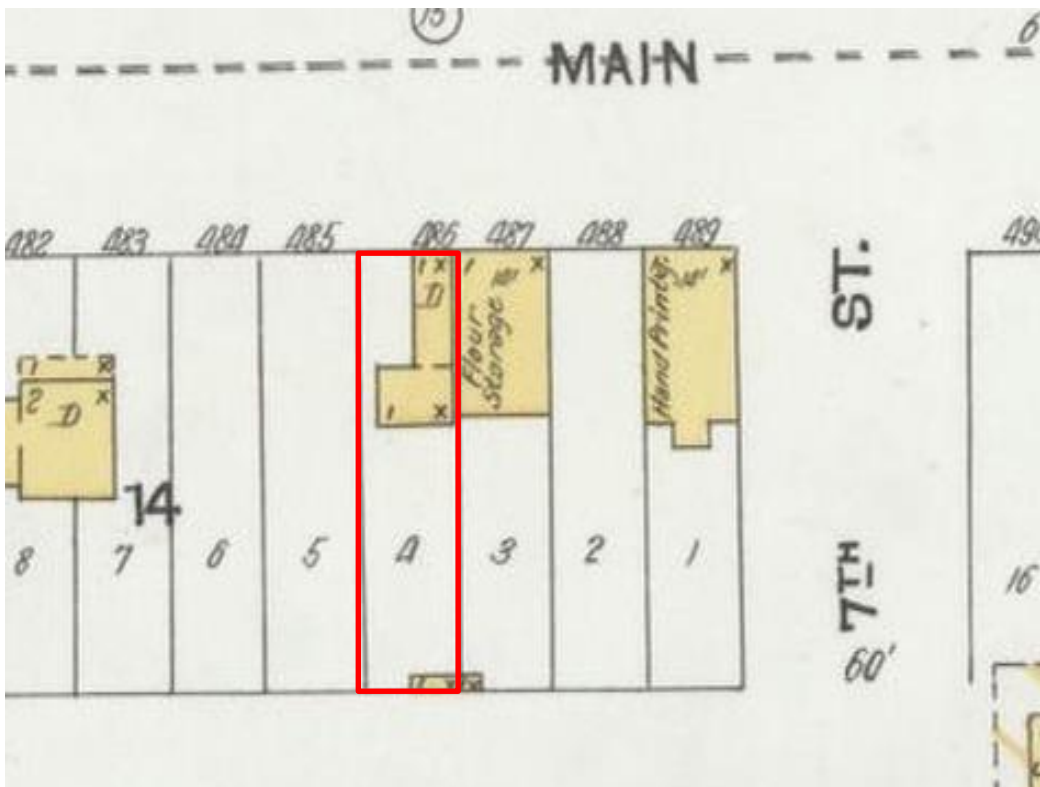


Reference Photo 2

Description: 1899 Sanborn Fire Insurance map illustrating the residence. Note the building's addition along the south elevation. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 3

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR

Determined Eligible – SR

Needs Data

Eligible District - Contributing

IDENTIFICATION

1. Property Name: Gallegos Ventures, Inc. Building Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 681 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331401004
- **9. Parcel Information: Lot(s): 1-2 Block: L Addition: Spencer's 2nd
- **10. Acreage: 0.18 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NE ¼ of NE ¼ of SE ¼ of section: 31
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 283074 ;mN 4383008 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Stacked stone/concrete	Board and batten
Windows	Roof	Chimney	Porch
One-by-one sliding sash with vinyl frame	Front gable; lower side gable projections along east and west elevations; asphalt shingles; closed overhanging eaves	Rectangular stone masonry chimney	Partial length protected porch along the east elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1903 as shown through review of Garfield County Assessor's Office records. The approximately 40' by 60' residence does not represent a particular architectural style. Overall, the building is a No Style residence. Several architectural elements of the residence include a stacked stone and concrete foundation; an exterior envelope clad with board and batten siding; decorative chevrons in the front gable end; lower side gable projections along the east and west elevations; closed overhanging eaves; asphalt shingles; and a rectangular stone masonry chimney. Additionally, a partial length protected porch is located along the facade of the primary (east) elevation. A majority of the windows are replacements due to their vinyl frame construction. The typical window consists of a one-by-one sliding sash unit. The front gable floorspace appears to be an addition at some point, replacing the residence's historic side gable design. Furthermore, the addition approximately doubled the building's floorspace.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1905
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"681 East Main Street." Garfield County Assessor's Office. Parcel Number 212331401004. Accessed December 27, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=2058227217&KeyVal=RO45195>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 27, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 27, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

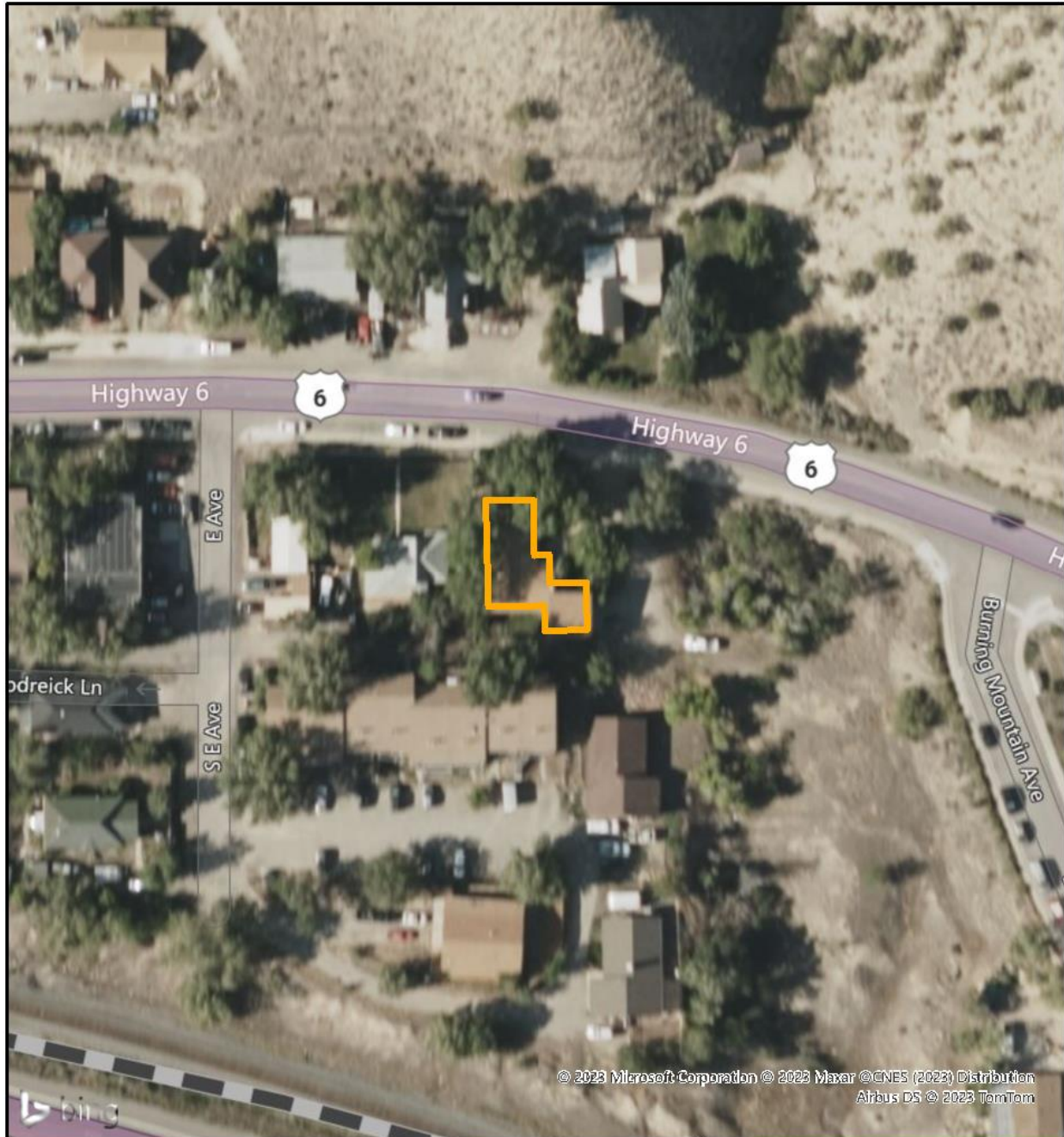
SKETCH PLAN *include approximate scale*





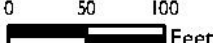

FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5942_1 to 5GF.5942_4</u>

See Attachment																			
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Sketch Map

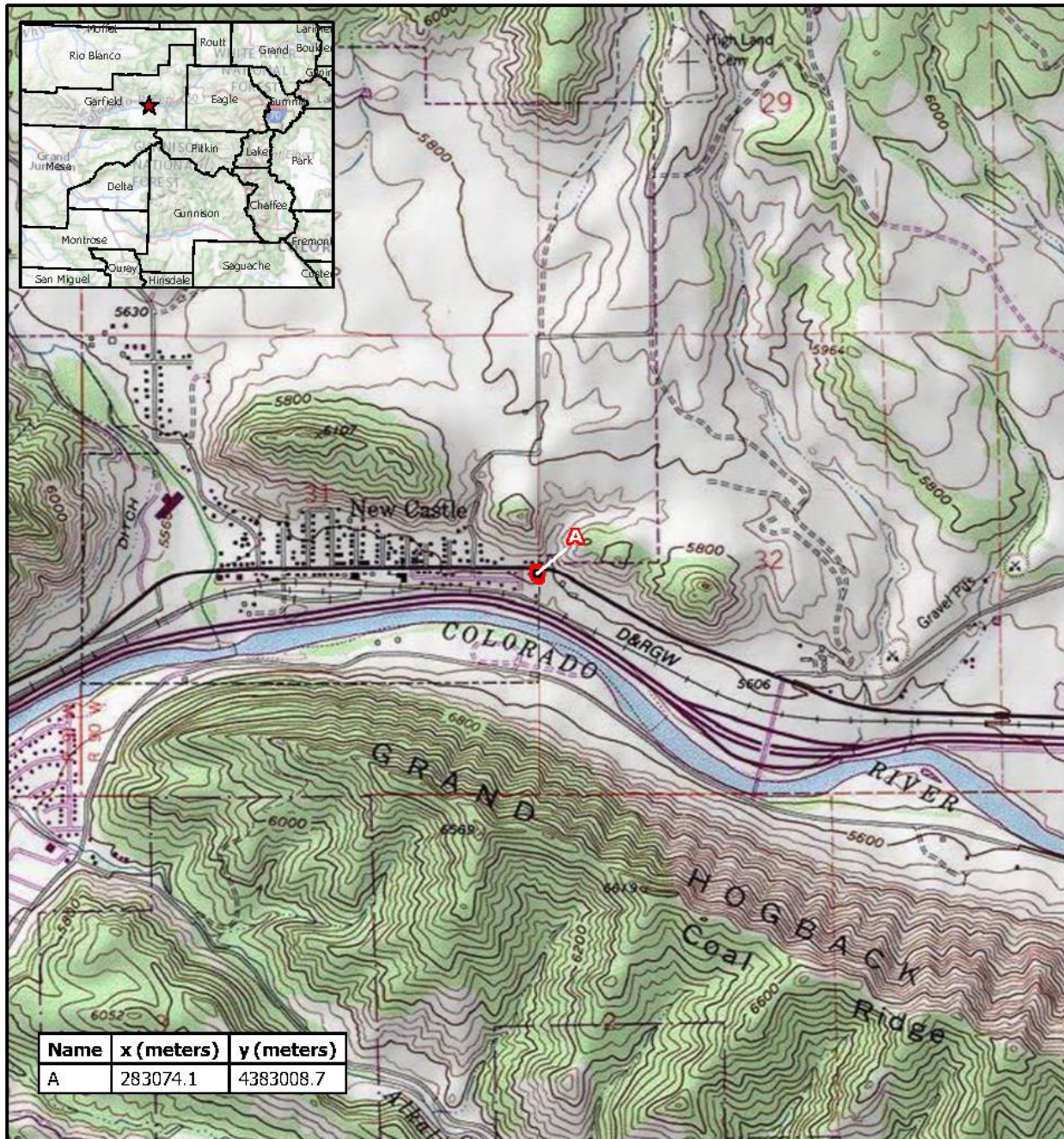


© 2023 Microsoft Corporation © 2023 Maxar © CNES (2023) Distribution Airbus DS © 2023 TomTom

<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   Feet </div>	 <p>Sketch Map 681 East Main Street (5GF.5942) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	283074.1	4383008.7

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

681 East Main Street (5GF.5942)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in new Path: C:\user\downed\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5942_1
Description: Looking at the primary (east) and north elevations of the residence.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5942_2
Description: Close up of the primary (east) elevation of the building. Note the stone masonry chimney.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5942_3
Description: Looking at the north elevation of the building. Note the decorative chevrons in the gable end.
Date: 9/6/2022
View: South



Photo Number: 5GF.5942_4
Description: Looking at the north and west elevations of the building. Note the lower side gable projection near the roofline.
Date: 9/6/2022
View: Southeast

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Robert Mccullough Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 696 East Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212332200019
- **9. Parcel Information: Lot(s): N/A Block: N/A Addition: N/A
- **10. Acreage: 0.5 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SW ¼ of SW ¼ of NW ¼ of section: 32
- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 283104 ;mN 4383056 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

****Please check with your project sponsor to determine which fields are required, as not all locational**

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5 story	Shingle/Gabled Ell	Stone with concrete reinforcement	Shingle/brick masonry
Windows	Roof	Chimney	Porch
Brick masonry segmental arch, stone, wood, or brick masonry belt course lintels; stone or wood sills; one-over-one, double hung sash units; four-over-four double hung sash units; wood frames	Front gable with lower side gable; Metal roof; closed overhanging eaves	Metal flue	Enclosed full-length porch with shed roof under gable end of primary (south) elevation; small partial length stone porch with shed roof on far-right side of primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, irregular shaped building was constructed in 1903 according to Garfield County Assessor’s Office records. The approximately 56’ by 52’ residence is representative of a Shingle/Gabled Ell style of architecture. Architectural features of the building include a concrete reinforced stone foundation; a wood shingle and brick masonry exterior envelope; front gable roof with a lower side gable projection; closed overhanging eaves; a metal roof; an enclosed full-length porch with shed roof under the gable end; and a metal flue chimney. Several window units can be noticed consisting of one-over-one, double hung sash and four-over-four double hung sash units. Furthermore, a bay window is located along the east elevation of the building. These windows feature wood frames and incorporate a brick masonry segmental arch, stone, or wood lintels, and stone or wood sills. The enclosed porch was likely an addition

at some point and a brick masonry belt course lintel is present along the entire porch space. A small partial length porch with shed roof overhanging can also be noticed along the right side of the primary (south) elevation. A wood panel door is incorporated into each of the two entryways located along the primary (south) elevation. A gable addition to the north elevation of the building was constructed at some point, as well as a carport addition.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other: A large tree stump is located along the south boundary of the legal parcel.

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1903
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

"696 East Main Street." Garfield County Assessor's Office. Parcel Number 212332200019. Accessed December 21, 2022. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1742786881&Key=Value=R013082>.

"Document Search." Garfield County Clerk and Recorder Office. Accessed December 21, 2022. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

"Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed December 20, 2022. <https://www.historicaerials.com>

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

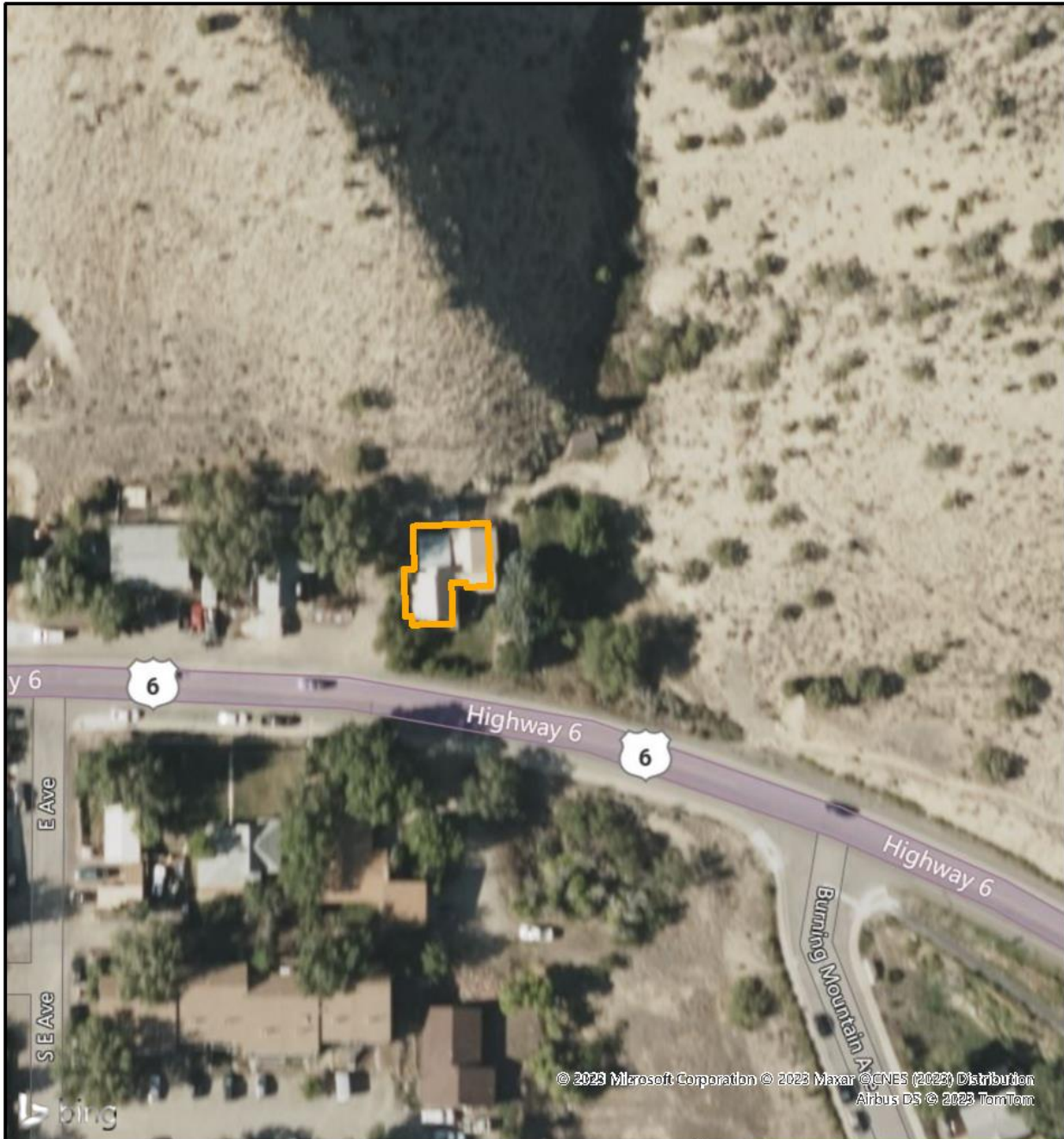
SKETCH PLAN *include approximate scale*



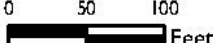


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>12/21/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5943_1 to 5GF.5943_3</u>

See Attachment																			
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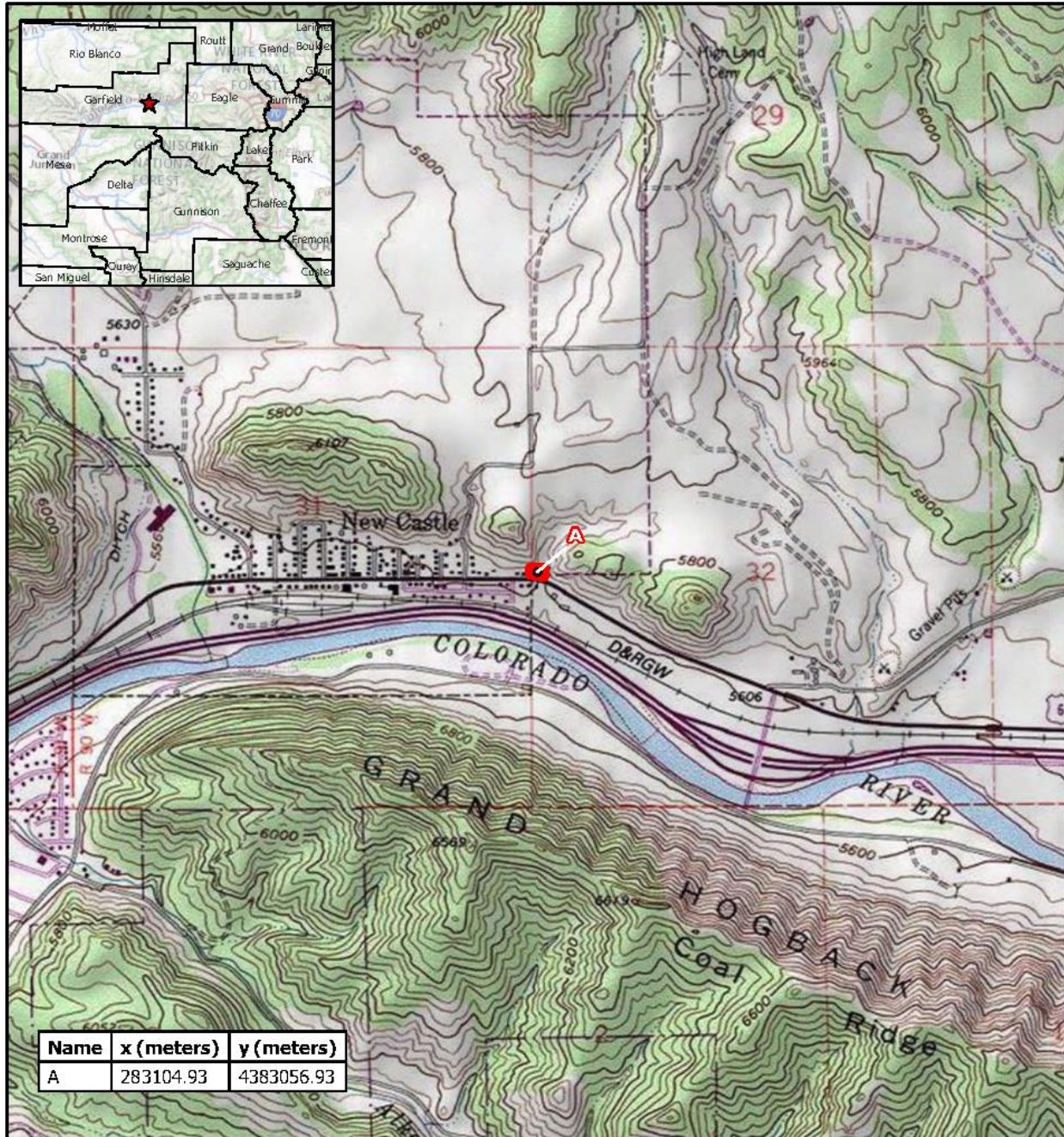
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 696 East Main Street (5GF.5943) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Drawn By: CJB</td> <td style="width: 50%;">Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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Topographic Map



Name	x (meters)	y (meters)
A	283104.93	4383056.93

Legend

 Resource Boundary



0 1,000 2,000
Feet



Topographic Map

696 East Main Street (5GF.5943)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5943_1
Description: Looking at the front gable along the primary (south) elevation.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5943_2
Description: Looking at the entire facade of the primary (south) elevation. Note the wood shingle exterior in the gable end while brick masonry cladding encompasses the right side of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5943_3
Description: A small glimpse of the west elevation of the building.
Date: 9/6/2022
View: Northeast

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Van Gorp Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 702 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331224018
- **9. Parcel Information: Lot(s): 1, 2 Block: 16 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282075 ;mN 4383091 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Vernacular Queen Anne	Poured concrete	Horizontal weatherboard
Windows	Roof	Chimney	Porch
One-over-one single hung sash; picture window; 8-lite picture window; 9-lite picture window; decorative lintel, sill, and casings	Side gable roof clad in asphalt shingles; closed overhanging eaves; subordinated front gable along north elevation; fish scale shingles in the gable ends	Metal flu	Enclosed full-length shed roof porch along north elevation; partial length shed roof porch along east elevation; partial length hipped roof porch along primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, rectangular shaped building was constructed circa 1904 as shown through review of a 1904 *Sanborn Fire Insurance* map. The approximately 42' by 32' building is a vernacular form of Queen Anne style of architecture. The building features a poured concrete foundation; a side gable roof clad in asphalt shingles; closed overhanging eaves; a subordinated front gable along north elevation; fish scale shingles in the gable ends; an exterior envelope clad in horizontal weatherboard; a metal flu chimney; an enclosed full-length shed roof porch along north elevation; a partial length shed roof porch along east elevation; and a partial length hipped roof porch along primary (south) elevation. The typical window consists of a wood one-over-one double hung sash with a decorative lintel, sill, and casings. Additional windows throughout the building consist of picture windows; 8-lite picture windows; and 9-lite picture windows. The main entryway is located in the center of the primary (south) elevation of the building. The main door consists of a wood panel door with a single lite. The main entryway is protected by a hipped roof overhang that is supported by turned spindle columns and

decorative brackets under the overhanging eaves. Four typical window units, two on each level, can be noticed along the façade. A hipped roof overhang is also present within the gable end of the east elevation. A secondary entreaty is located on the left side of the north elevation. The entryway is capped by a front gable overhang.

A 1904 *Sanborn Fire Insurance* map demonstrates that the building was constructed in an L-shape. Historical aerial imagery demonstrates that a shed roof porch addition was constructed along the east elevation and an enclosed shed roof addition was constructed along the north elevation by 1960. The roof has also been replaced.

14. Associated buildings, features, or objects:

A secondary residence is located to the northwest of the primary residence was constructed in 1995 as shown through review of Garfield County Assessor’s Office records. The approximately 42’ by 48’ building features a poured concrete foundation; a side gable roof clad in asphalt shingles; overhanging eaves; front gable dormers; an exterior envelope clad in horizontal weatherboard; and two attached garages.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential Current Function/Use (if different): Residential

17. Date of Construction: 1904 Estimated Actual (include source): Garfield County Assessor’s Office

18. Other Significant Dates, if any: Garfield County Assessor’s Office records indicate that the residence was constructed in 1893; however, the building is not extant on Sanborn Fire Insurance maps until 1904.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov’t |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev’t | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- “702 West Main Street.” Garfield County Assessor’s Office. Parcel Number 212331224018. Accessed March 1, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1806177271&KeyValue=R380381>.
- “A Walking Tour of Downtown New Castle.” *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- “Document Search.” Garfield County Clerk and Recorder Office. Accessed March 1, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- “Early History.” Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

"Historical Aerial Imagery." *NETROnline*. Accessed March 1, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

SKETCH PLAN *include approximate scale*



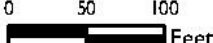



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5898_1 to 5GF.5898_4, and 3 reference photos</u>

See Attachment																			
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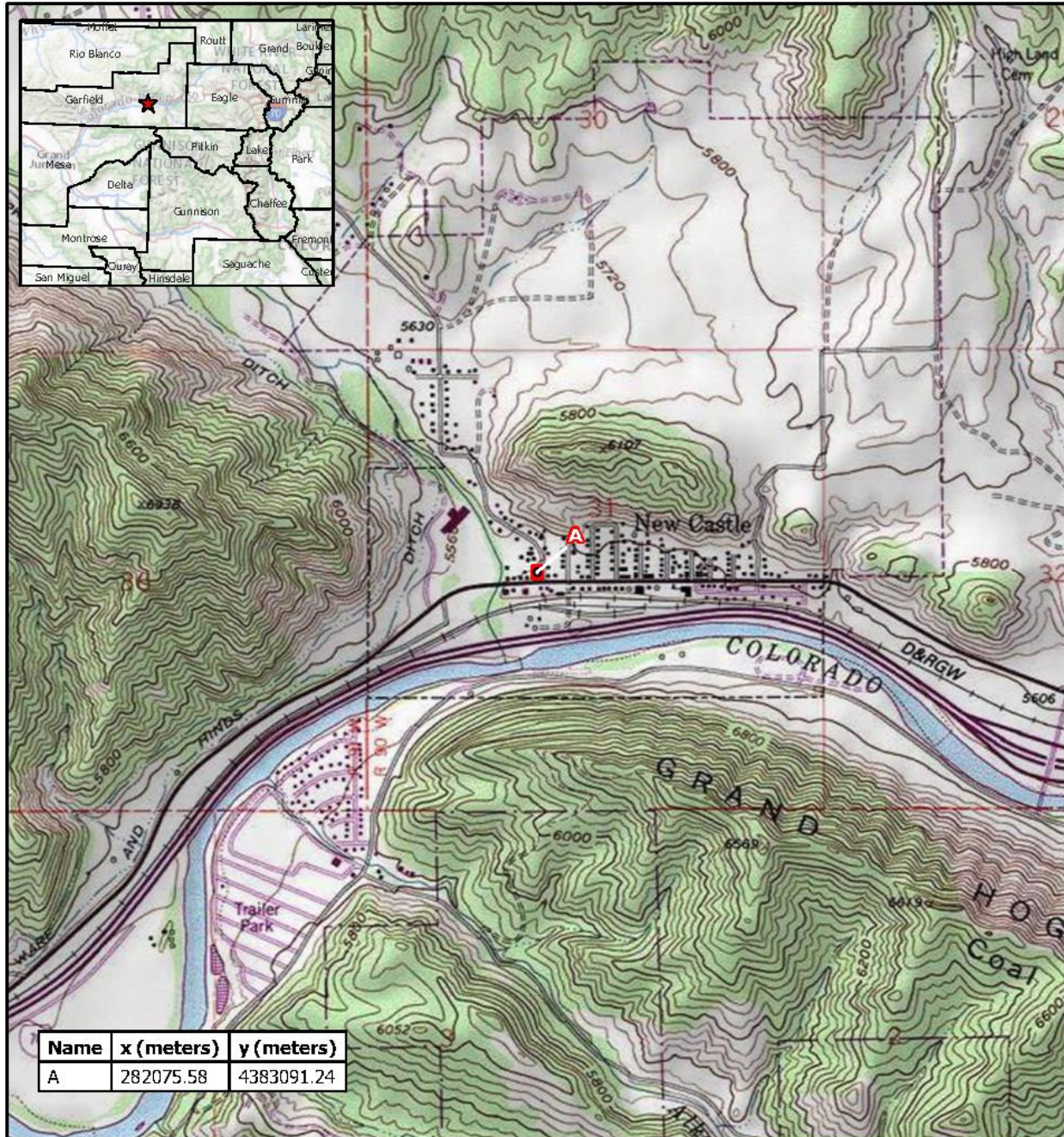
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 702 West Main Street (5GF.5898) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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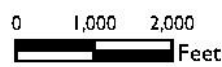
Topographic Map



Name	x (meters)	y (meters)
A	282075.58	4383091.24

Legend

 Resource Boundary



Topographic Map

702 West Main Street (5GF.5898)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5898_1
Description: Looking at the primary (south) elevation of the primary residence.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5898_2
Description: Looking at the east elevation of the primary residence.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5898_3
Description: Looking at the east elevation of the primary residence.
Date: 9/6/2022
View: Southwest



Photo Number: 5GF.5898_4
Description: Looking at the north elevation of the primary residence.
Date: 9/6/2022
View: Southwest

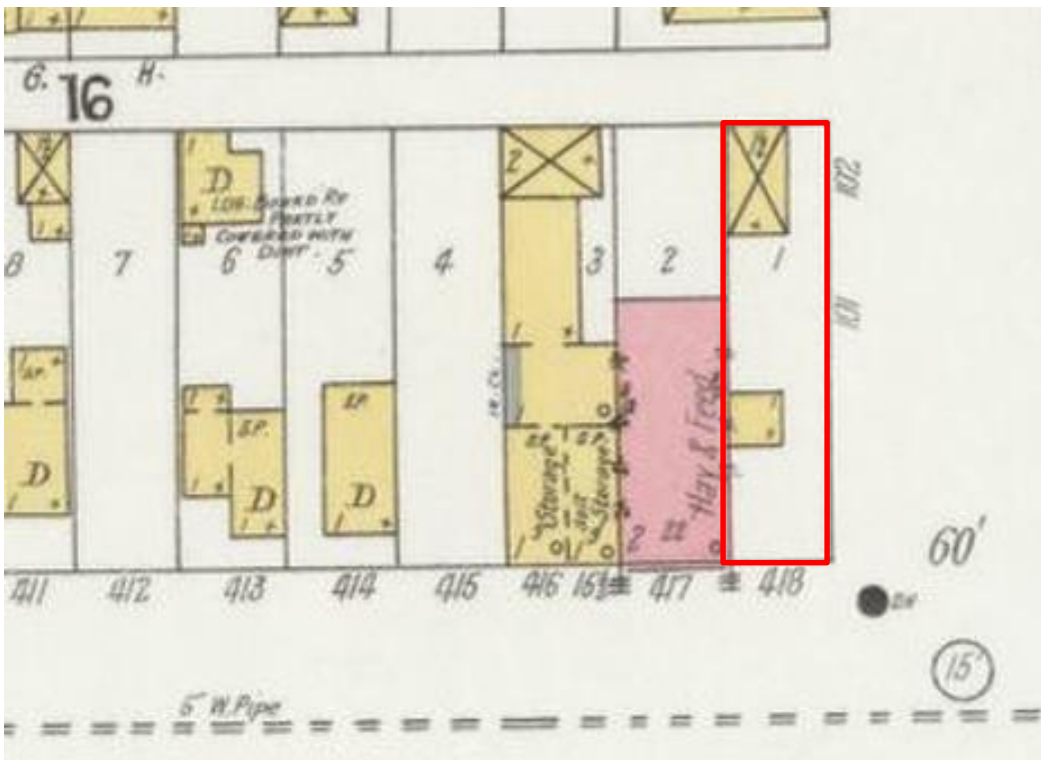


Reference Photo 1

Description: Looking at the west and primary (south) elevation of the primary residence. Note the primary (south) elevation of the secondary residence on the left side of the image.

Date: circa 2009

Source: Garfield County Assessor's Office

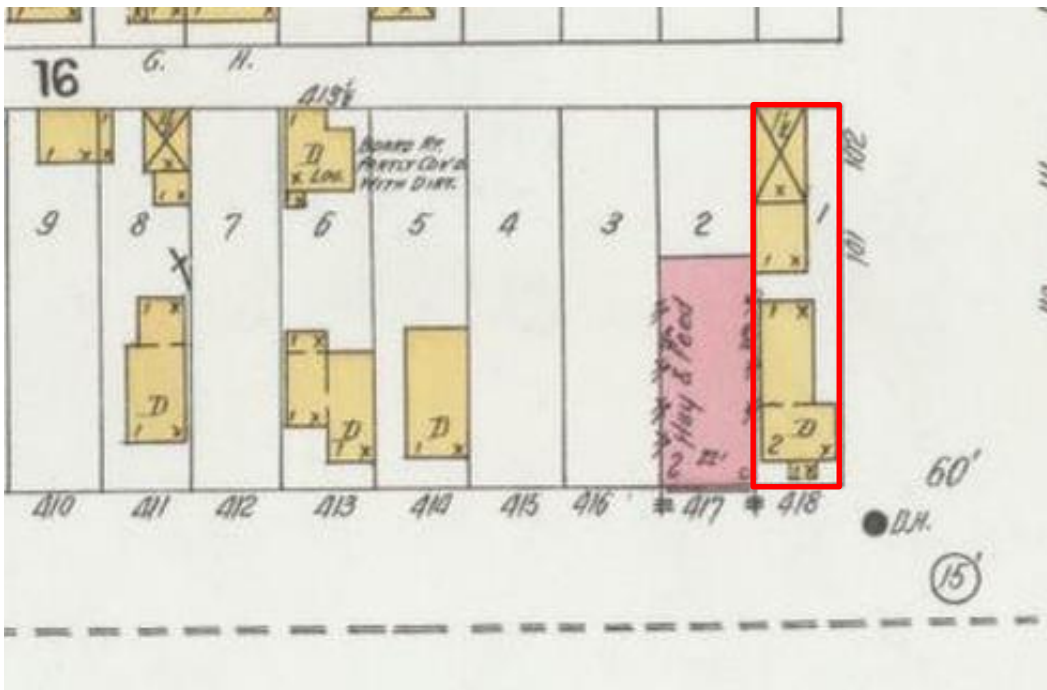


Reference Photo 2

Description: 1899 Sanborn Fire Insurance map demonstrating that the current residence was not extant at the time. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 3

Description: 1904 Sanborn Fire Insurance map of the resource located on lot 1 of block 16. The property is outlined in red.

Date: 1904

Source: Library of Congress

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: McFarland Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 721 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331302003
- **9. Parcel Information: Lot(s): 6-9 Block: 14 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.25 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
NE ¼ of NW ¼ of NE ¼ of SW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282057 ;mN 4383034 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Edwardian	Poured concrete	Horizontal weatherboard
Windows	Roof	Chimney	Porch
One-over-one single hung sash; hopper sash; wood sills and casings	Front gabled roof clad in metal; closed overhanging eaves; subordinate side gable; fish scale shingles in the gable end	Concrete masonry unit (CMU) chimney	Full-length hipped roof porch along the primary (north) elevation; partial length deck along the south elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, t-shaped building was constructed circa 1904 as shown through review of a 1904 *Sanborn Fire Insurance* map. The approximately 34' by 42' building is representative of an Edwardian style of architecture. Architectural elements of the building include a poured concrete foundation; a front gable roof clad in corrugated metal; a subordinate side gable; closed overhanging eaves; fish scale shingles in the gable end; a CMU chimney; an exterior envelope clad in horizontal weatherboard; and a full-length hipped roof porch along the primary (north) elevation. The typical window consists of a wood one-over-one single hung sash. The main entryway is located on the right side of the full-length porch. The main door consists of a wood door that is fronted by a storm door that incorporates a one-over-one single hung sash. The full-length porch consists of a hipped roof that is supported by turned spindle columns. Decorative brackets are also represented under the roof eaves. Two typical windows can be seen on the far-right side of the east elevation and are capped by a small, shed roof overhang. Furthermore, a partial length deck with a staircase is located along the south elevation of the building.

Sanborn Fire Insurance maps, historical aerial imagery, and historic street imagery demonstrate that the residence has undergone minor alterations since it was constructed circa 1904. By the late Twentieth Century, the front gable roof was replaced with corrugated metal. Between 2008 and 2012, the subordinate side gable roof was replaced with corrugated metal as well. During this same period, a chimney located along the west elevation was removed.

14. Associated buildings, features, or objects:

A detached garage is located to the southwest of the residence. The approximately 26' by 18' building was constructed circa 1904 as shown through review of a 1904 *Sanborn Fire Insurance* map. The building features a front gable roof clad in asphalt shingles; exposed rafter tails under the overhanging eaves; an exterior envelope clad in horizontal weatherboard; and a metal flu chimney.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1904

Estimated Actual (include source): 1904 Sanborn Fire Insurance map

18. Other Significant Dates, if any: Garfield County Assessor's Office records indicate that the residence was constructed in 1893; however, the building is not extant on Sanborn Fire Insurance maps until 1904. The residence appears to maintain its layout and massing since its construction.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "721 West Main Street." Garfield County Assessor's Office. Parcel Number 212331302003. Accessed March 1, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1240834850&KeyValue=R380126>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed March 1, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed March 1, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

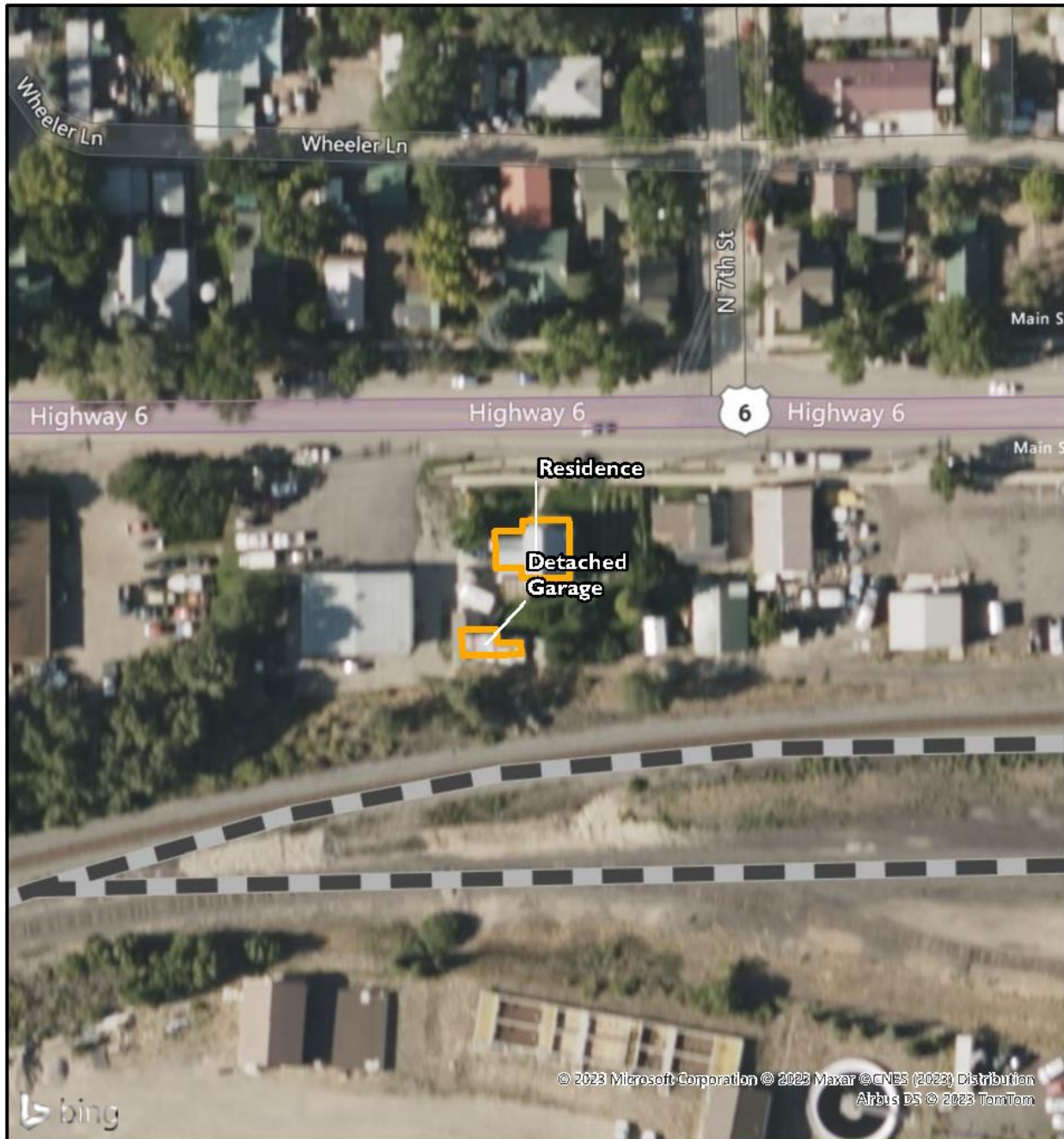
SKETCH PLAN *include approximate scale*



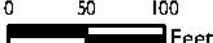



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>3/1/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5897_1 to 5GF.5897_5, and 2 reference photos</u>

See Attachment																			
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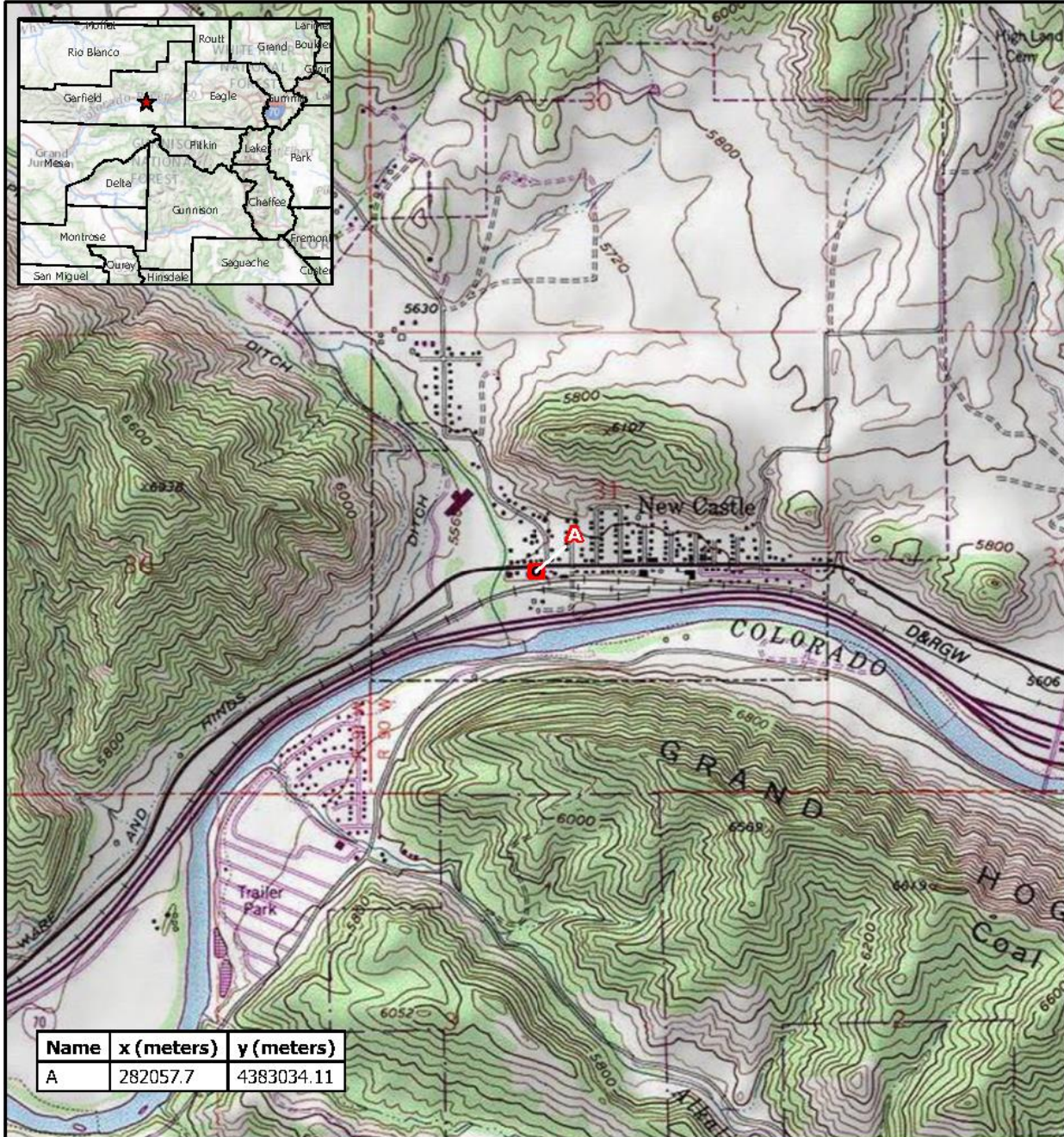
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 721 West Main Street (5GF.5897) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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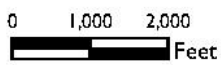
Topographic Map



Name	x (meters)	y (meters)
A	282057.7	4383034.11

Legend

 Resource Boundary



Topographic Map
 721 West Main Street (5GF.5897)
 New Castle, Colorado
 Garfield County

Drawn By: CJB	Figure: I
Reviewed By: CMW	Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5897_1
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



Photo Number: 5GF.5897_2
Description: Looking at the east and primary (north) elevations of the building.
Date: 9/6/2022
View: Southwest



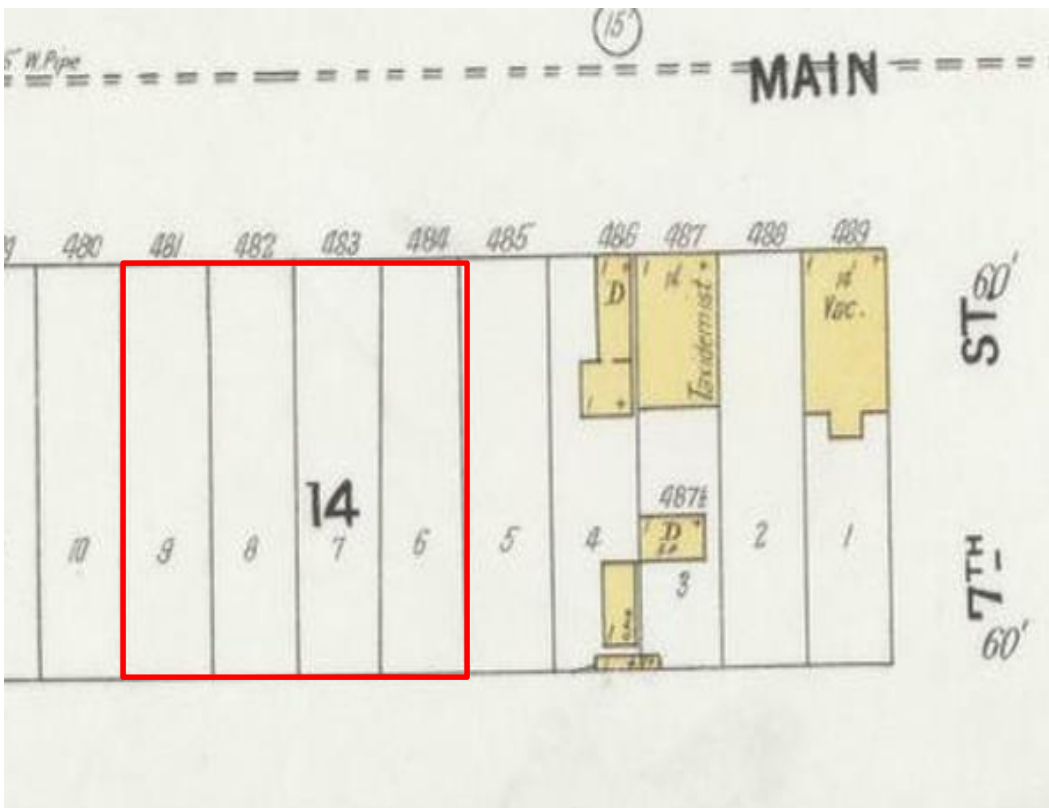
Photo Number: 5GF.5897_3
Description: Looking at the primary (north) elevation of the building.
Date: 9/6/2022
View: South



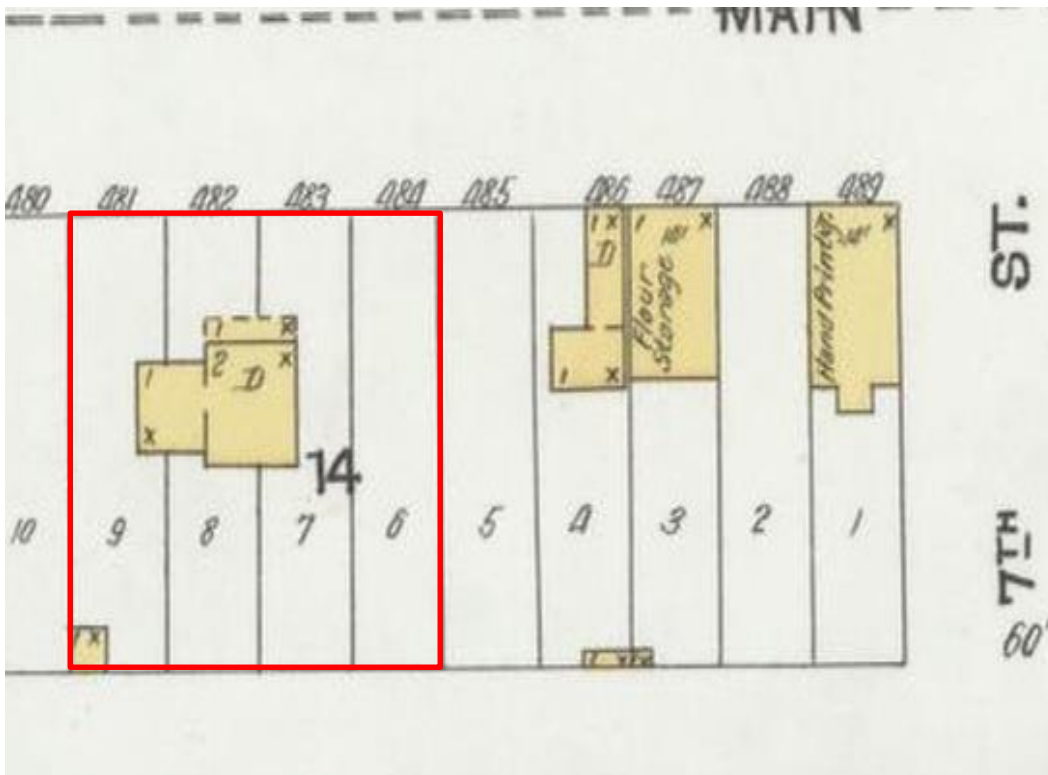
Photo Number: 5GF.5897_4
Description: Looking at the west elevation of the building. Note that the deck is along the south elevation.
Date: 9/6/2022
View: East



Photo Number: 5GF.5897_5
Description: Looking at the primary (north) and west elevations of the detached garage.
Date: 9/6/2022
View: Southeast



Reference Photo 1
Description: 1899 Sanborn Fire Insurance map demonstrating that the residence was not extant at the time. The property is outlined in red.
Date: 1899
Source: Library of Congress



Reference Photo 2

Description: 1904 Sanborn Fire Insurance map illustrating the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Reiger Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 732 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331224011
- **9. Parcel Information: Lot(s): 6, 7 Block: 16 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282037 ;mN 4383091 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Gabled-ell	Stacked stone/concrete	Novelty siding
Windows	Roof	Chimney	Porch
Picture window; awning window; one-by-one sliding sash	Cross gable clad in corrugated metal; overhang eaves; subordinate flat and shed roofs	Metal flu	Partial length flat roof porch along primary (west) elevation; full-length shed roof porch along north elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, L-shaped building was constructed in 1898 as shown through review of Garfield County Assessor's Office records. The approximately 32' by 32' building is representative of a Gabled-ell type of architecture. Architectural elements of the building include a stacked stone/poured concrete foundation; a cross gable roof clad in corrugated metal; subordinate flat and shed roofs; overhanging eaves; an exterior envelope clad in novelty siding; a metal flu chimney; a partial length flat roof porch along primary (west) elevation; and a full-length shed roof porch along north elevation. The building also incorporates several types of windows including picture windows; awning windows; and one-by-one sliding sashes. These windows are replacements due to their metal construction. The main entryway is located on the right side of the primary (west) elevation. The entryway is protected by a flat roof overhang with exposed rafter beams. Lattice panels can be noticed under the gable end of the south elevation of the building.

Historical aerial imagery reveals that a flat roof addition along the primary (west) elevation and a shed roof addition along the north elevation was constructed by the later Twentieth Century. Historical street imagery between 2008 and 2012 demonstrates that windows were replaced as well. At some point, the roof was replaced.

14. Associated buildings, features, or objects:

An outbuilding is located to the northwest of the residence. The building is approximately 22' by 24' and is shown as a dwelling in an 1898 *Sanborn Fire Insurance* map. It's unclear in the historic record if the dwelling is the same building as the current. In addition, fencing obscures a majority of the building from the public right-of-way (ROW).

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1898
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "732 West Main Street." Garfield County Assessor's Office. Parcel Number 212331224011. Accessed March 1, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=796239706&KeyValue=R380133>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed March 1, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed March 1, 2023. <https://www.historicaerials.com>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

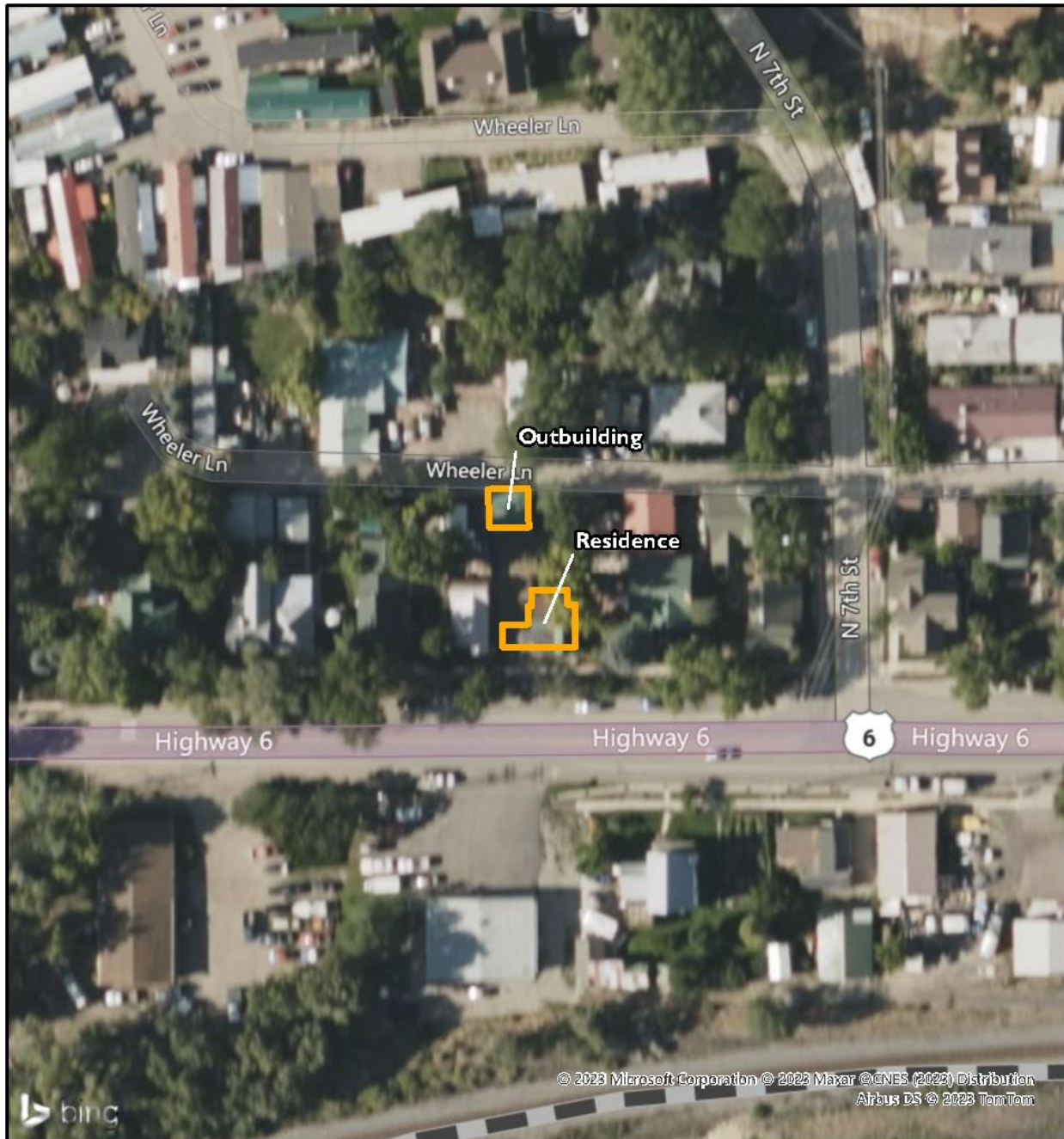
SKETCH PLAN *include approximate scale*



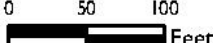



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5896_1 to 5GF.5896_3, and 3 reference photos</u>

See Attachment																			
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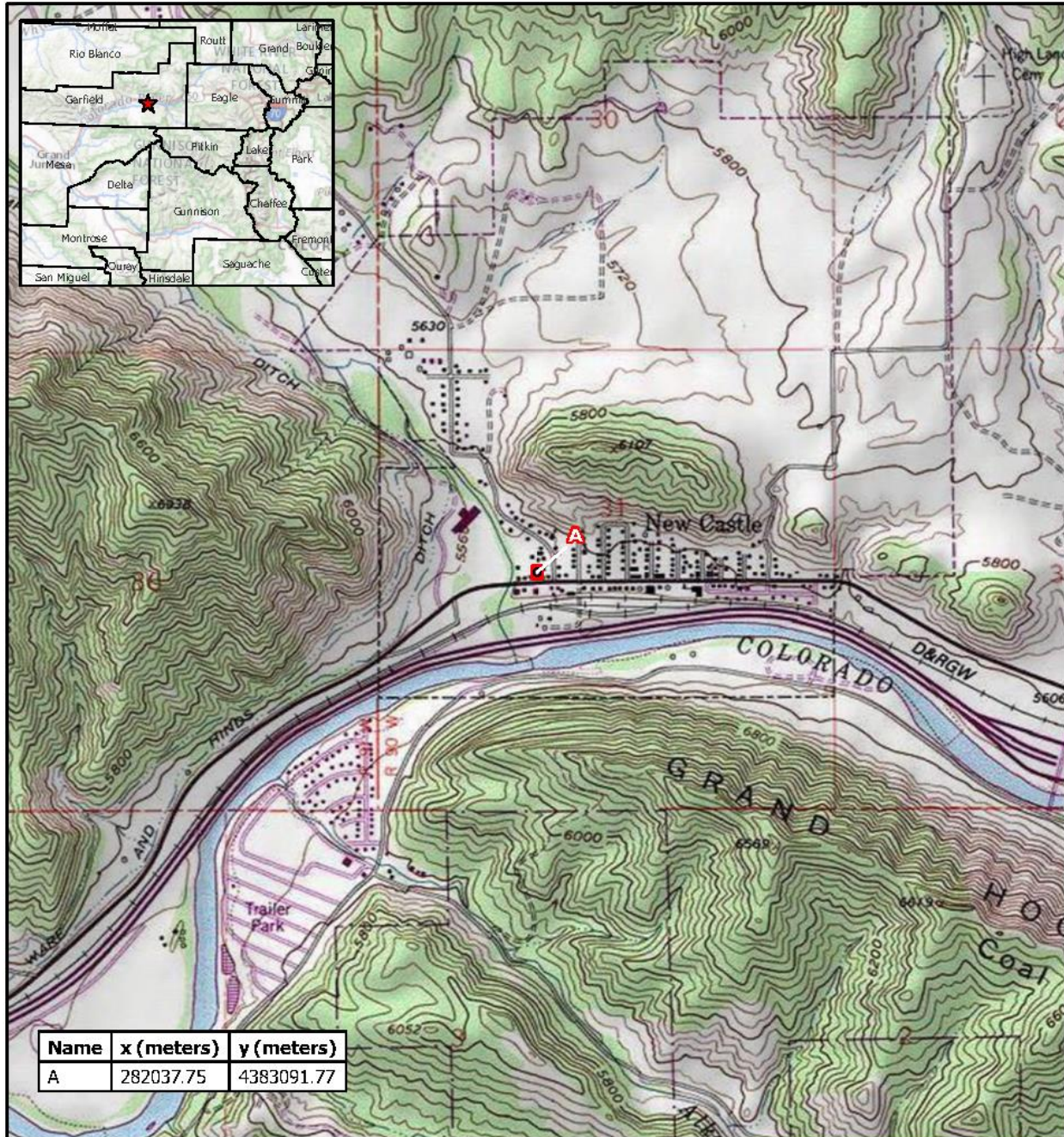
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 732 West Main Street (5GF.5896) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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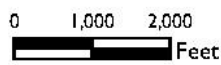
Topographic Map



Name	x (meters)	y (meters)
A	282037.75	4383091.77

Legend

 Resource Boundary



Topographic Map

732 West Main Street (5GF.5896)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5896_1

Description: Looking at the right side of the primary (west) elevation and the left side of the south elevation.

Date: 9/6/2022

View: Northeast



Photo Number: 5GF.5896_2

Description: Looking at the right side of the primary (west) elevation of the building.

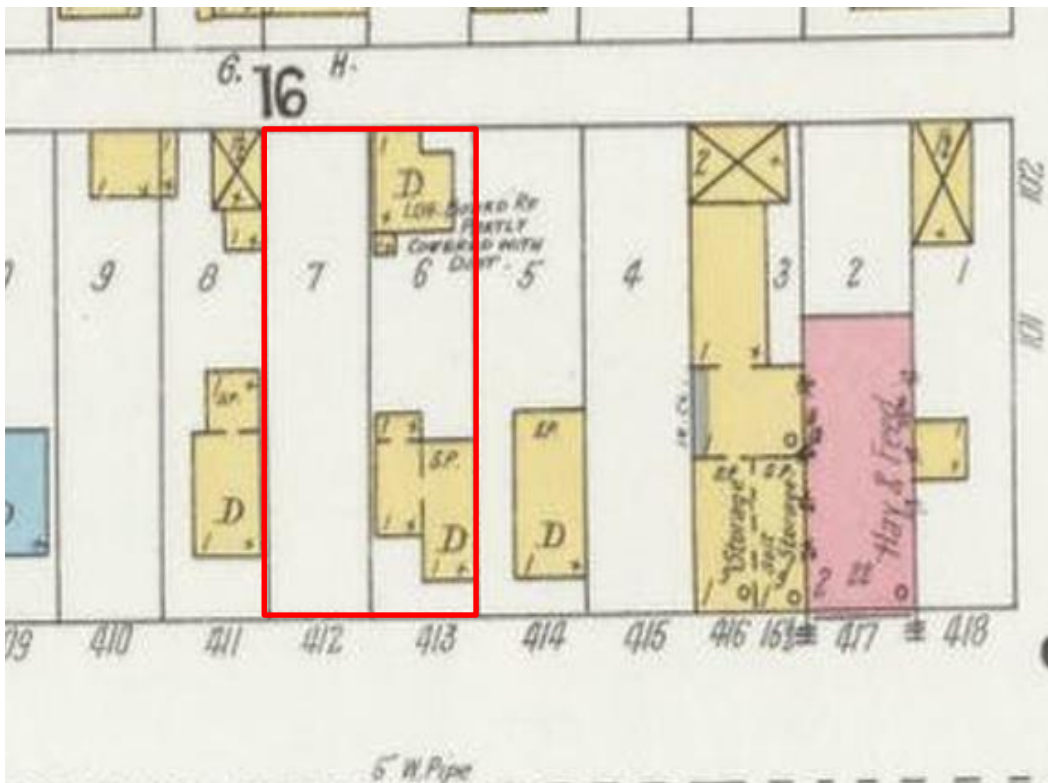
View: Northeast



Photo Number: 5GF.5896_3
Description: Looking at the right side of the south elevation of the building.
Date: 9/6/2022
View: Northwest



Reference Photo 1
Description: Looking at the primary (west) and south elevations of the building.
Date: circa 2009
Source: Garfield County Assessor's Office

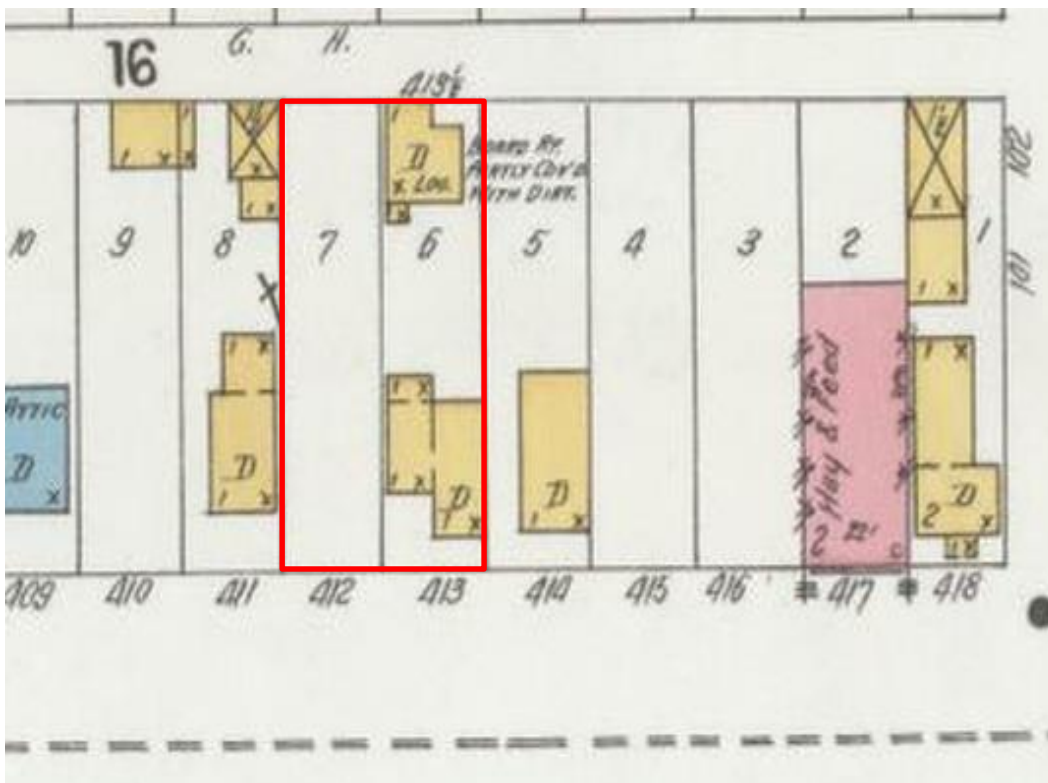


Reference Photo 2

Description: 1899 Sanborn Fire Insurance map illustrating the residence on lots 6 and 7 of block 16. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 3

Description: 1904 Sanborn Fire Insurance map of the resource located on lots 8 and 9 of block 15. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Castagna-Petersen Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 742 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331224010
- **9. Parcel Information: Lot(s): 8 Block: 16 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.05 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 282025 ;mN 4383091 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	No Style	Stacked stone	Vertical weatherboard; corrugated metal
Windows	Roof	Chimney	Porch
Picture window; awning window; one-by-one siding sash; one-over-one single hung sash; vinyl frames	Cross gable clad in corrugated metal; open and closed overhang eaves; scalloped weatherboard in the gable ends; scalloped fascia	N/A	Partial-length front gable porch along the primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed circa 1893 as shown through review of Garfield County Assessor's Office records. The approximately 41' by 20' building is not representative of a particular style of architecture. Overall, the residence is a No Style building. Architectural elements of the building include a stacked stone foundation; a cross gable roof clad in corrugated metal; open and closed overhanging eaves; an exterior envelope clad in weatherboard and corrugated metal siding; scalloped weatherboard in the gable ends; a scalloped fascia; and a partial-length front gable porch along the primary (south) elevation. The typical window consists of a vinyl one-by-one sliding sash. Additional windows throughout the building include picture windows; awning windows; and one-over-one single hung sashes. The main entryway is located on the far-right side of the primary (south) elevation. The main entryway consists of a wood panel door with nine-lites. The door is fronted by a storm door with 12-lites. The main entryway is protected by a front gable overhang that is supported by turned spindle columns. A scalloped fascia can be noticed along the gable.

An 1893 *Sanborn Fire Insurance* map demonstrates that the building consisted of a smaller layout when it was constructed the same year. By 1899, additional *Sanborn* maps reveal that an addition was constructed along the primary (south) elevation of the building. During the early Twentieth Century, a partial length porch was constructed along the façade. Historical street imagery shows that the windows and doors were replaced by 2008. In addition, stucco was applied to the exterior envelope by this time. Between 2012 and 2022, vertical weatherboard was applied to the exterior envelope and the roof was replaced with corrugated metal.

14. Associated buildings, features, or objects:

A shed is located to the northwest of the residence. The approximately 22' by 12' building was constructed circa 1960 as shown through review of historical aerial imagery. The building is heavily obscured from the public right-of-way (ROW) and through aerial imagery; thus, further evaluation of the building is not described.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1893

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "742 West Main Street." Garfield County Assessor's Office. Parcel Number 212331224010. Accessed March 1, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=850432619&Key Value=R380049>
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed March 1, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>
- "Historical Aerial Imagery." *NETROnline*. Accessed March 1, 2023. <https://www.historicaerials.com>
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

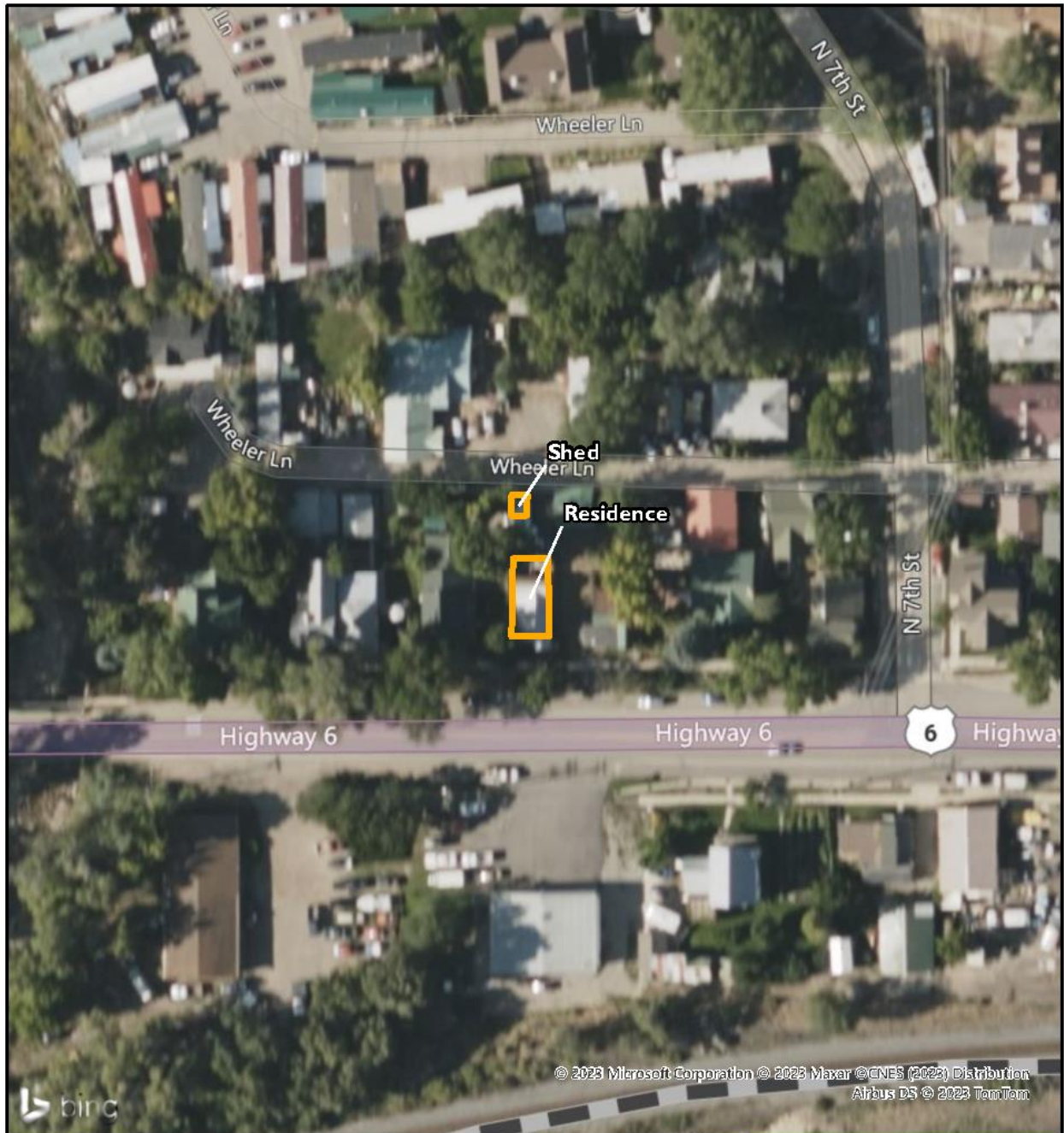
SKETCH PLAN *include approximate scale*



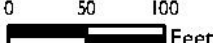



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5895_1 to 5GF.5895_2, ad 4 reference photos</u>

See Attachment																			
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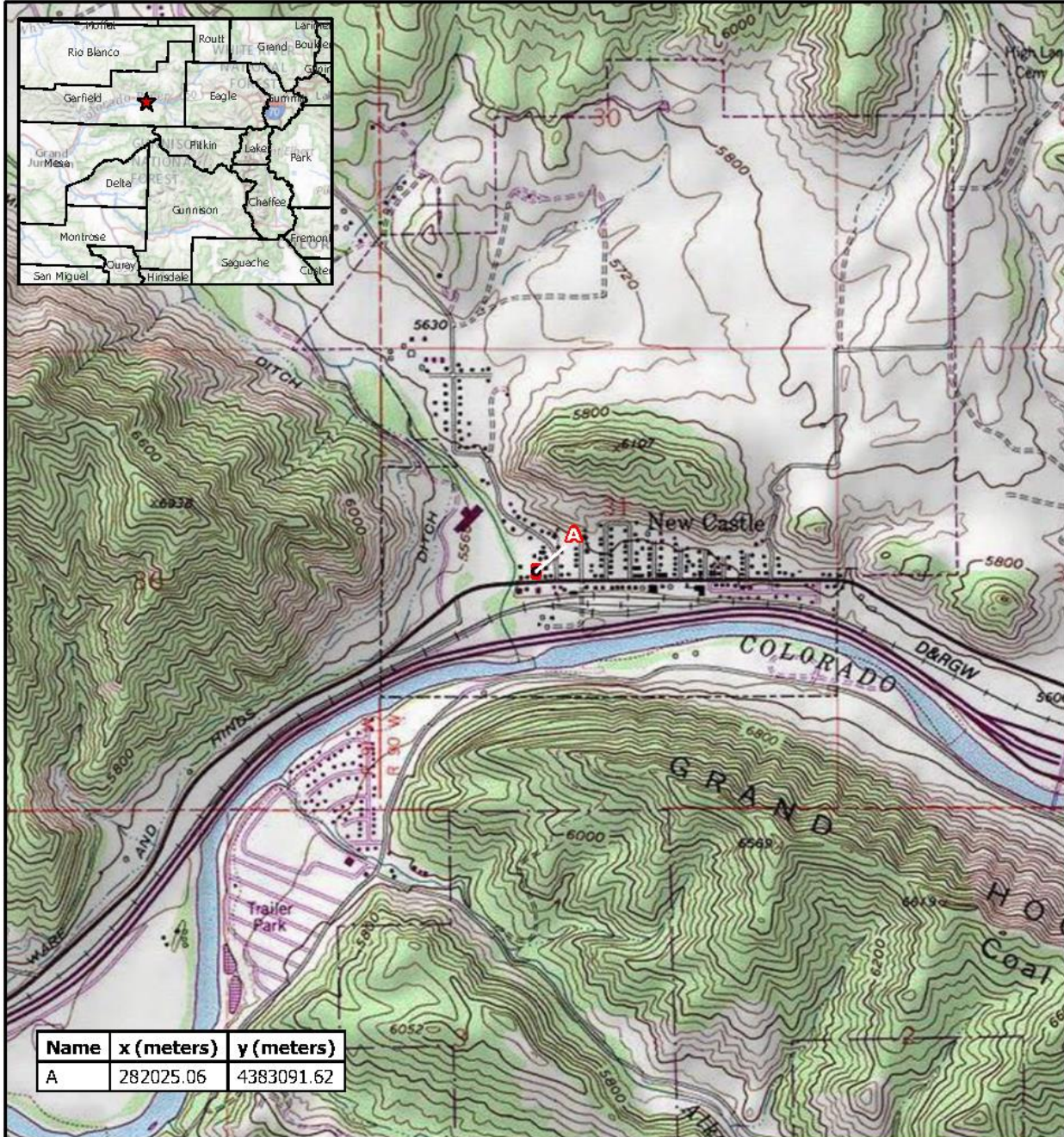
Sketch Map



<p>Legend</p> <p> Footprint</p>	 		
		<p>Sketch Map 742 West Main Street (5GF.5895) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Reviewed By: CMW</p>		<p>Date: 4/10/2023</p>	

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Topographic Map




Name	x (meters)	y (meters)
A	282025.06	4383091.62

Legend

 Resource Boundary



0 1,000 2,000
 Feet



Topographic Map

742 West Main Street (5GF.5895)
 New Castle, Colorado
 Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

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Site Photographs



Photo Number: 5GF.5895_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5895_2
Description: Looking at the east elevation of the building.
Date: 9/6/2022
View: Northwest

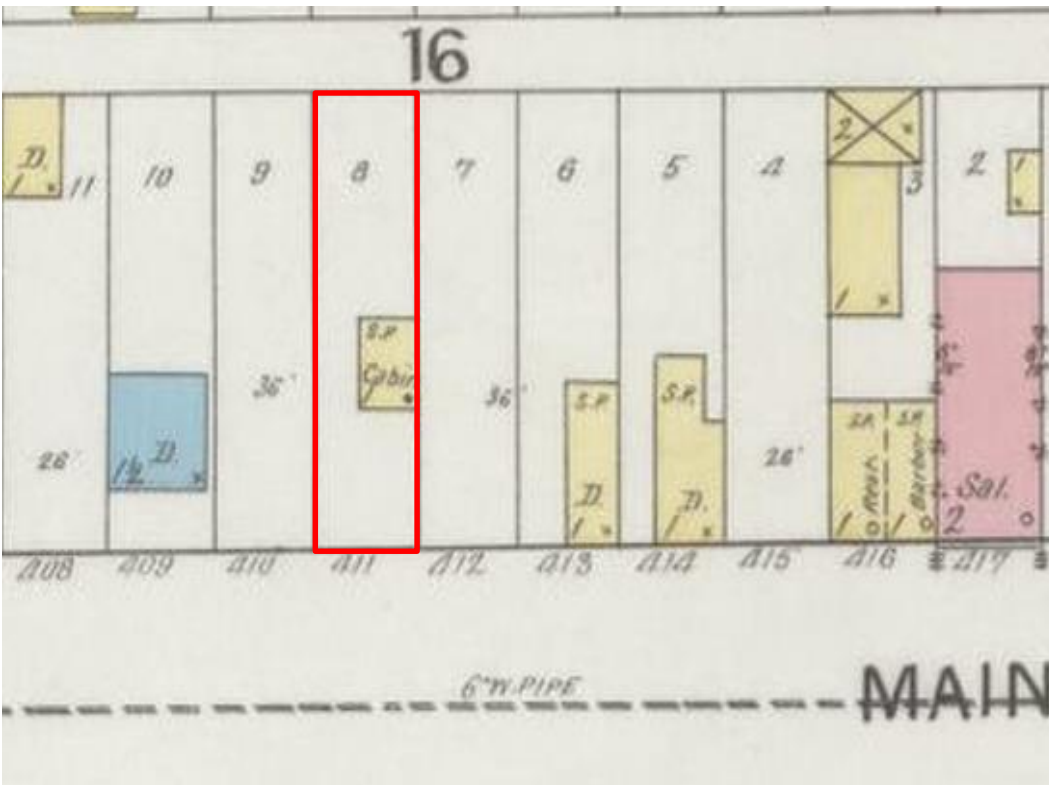


Reference Photo 1

Description: Looking at the primary (south) elevation of the building.

Date: 9/6/2022

View: Northeast

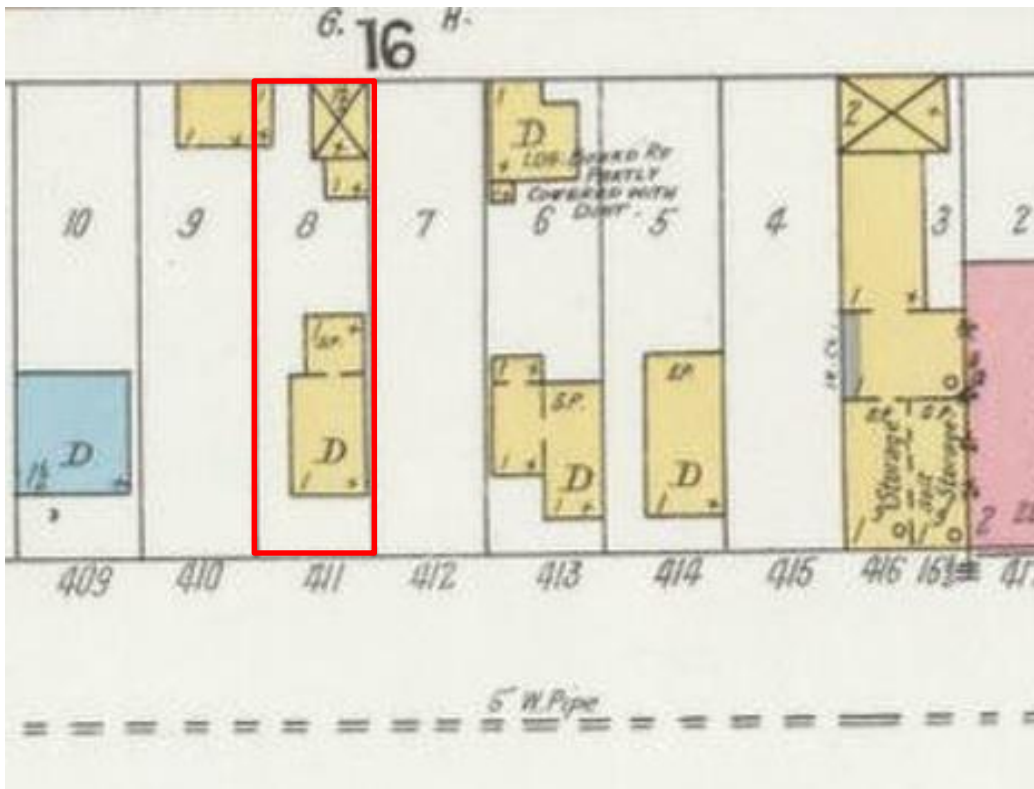


Reference Photo 2

Description: 1893 Sanborn Fire Insurance map illustrating the building's small layout at the time. The building is located on lot 8 of block 16. The property is outlined in red.

Date: 1893

Source: Library of Congress

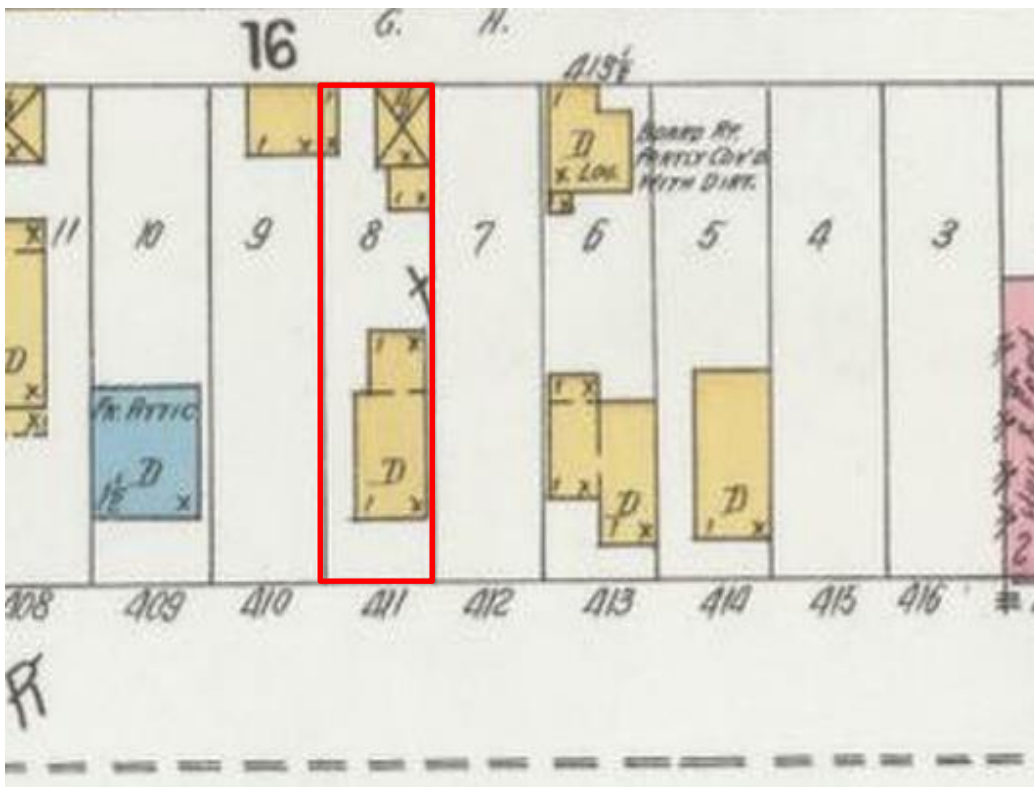


Reference Photo 3

Description: 1899 Sanborn Fire Insurance map demonstrating an addition constructed along the primary (south) elevation of the residence. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 4

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Engelbert Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 752 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331224009
- **9. Parcel Information: Lot(s): 9, 10 Block: 16 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
- UTM reference: Zone 13 ;mE 282013 ;mN 4383091 NAD 1927 NAD 1983
- or
- Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
1.5-story	Rustic	Stacked stone/concrete	Stone masonry; stone masonry belt course along primary (south) elevation
Windows	Roof	Chimney	Porch
Picture windows; one-by-one sliding sash; one-over-one single hung sash; log lintels; stone masonry and log sills	Front gable roof clad in asphalt shingles; subordinate front gable and shed roofs along north elevation; open overhanging eaves; vertical log siding in the gable ends	Metal flu	Partial length front gable porch along the primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The 1.5-story, irregular shaped building was constructed in 1893 as shown through review of Garfield County Assessor’s Office records. The approximately 58’ by 37’ building is representative of a Rustic style of architecture. The residence features stacked stone/concrete foundation; a front gable roof clad in asphalt shingles; subordinate front gable and shed roofs along north elevation; open overhanging eaves; vertical log siding in the gable ends; an exterior envelope clad in stone masonry; a stone masonry belt course along primary (south) elevation; and a partial length front gable porch along the primary (south) elevation. The typical window consists of a one-by-one sliding sash. Additional windows throughout the residence include picture windows and one-over-one single hung sashes. Several windows also feature log lintels and stone masonry and log sills. The main entryway is located in the center of the primary (south) elevation of the building. The main door consists of a 10-lite wood door divided by muntins. The main entryway is capped by a front gable overhang. Picture windows can be noticed on both sides of the main entryway along the façade. A stone

masonry belt course and a log exterior wall can be noticed in the gable end. A subordinate front gable and several shed roof additions are evident on the north elevation. A double slide door is located on the far-left side of the north elevation.

Sanborn Fire Insurance maps from 1893 to 1904 demonstrate that the residence consisted of a smaller layout when it was constructed. Historical aerial imagery demonstrates that a subordinate front gable addition was constructed along the north elevation by 1960. Several decades later between 1982 and 1993, additional aerial imagery reveals that a shed roof addition was constructed along the north elevation. A historic photo of the residence during the same period also shows that several windows were replaced such as the one-over-one single hung sash in the gable end along the primary (south) elevation. Between 2008 and 2012, fencing along the east elevation was moved closer to the far-left side of the east elevation. The roof has also been replaced at some point.

14. Associated buildings, features, or objects: N/A

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1893

Estimated Actual (include source): Garfield County

Assessor's Office

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "752 West Main Street." Garfield County Assessor's Office. Parcel Number 212331224009. Accessed March 2, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=657093235&Key Value=R380242>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed March 2, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed March 2, 2023. <https://www.historicaerials.com>.
- "Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

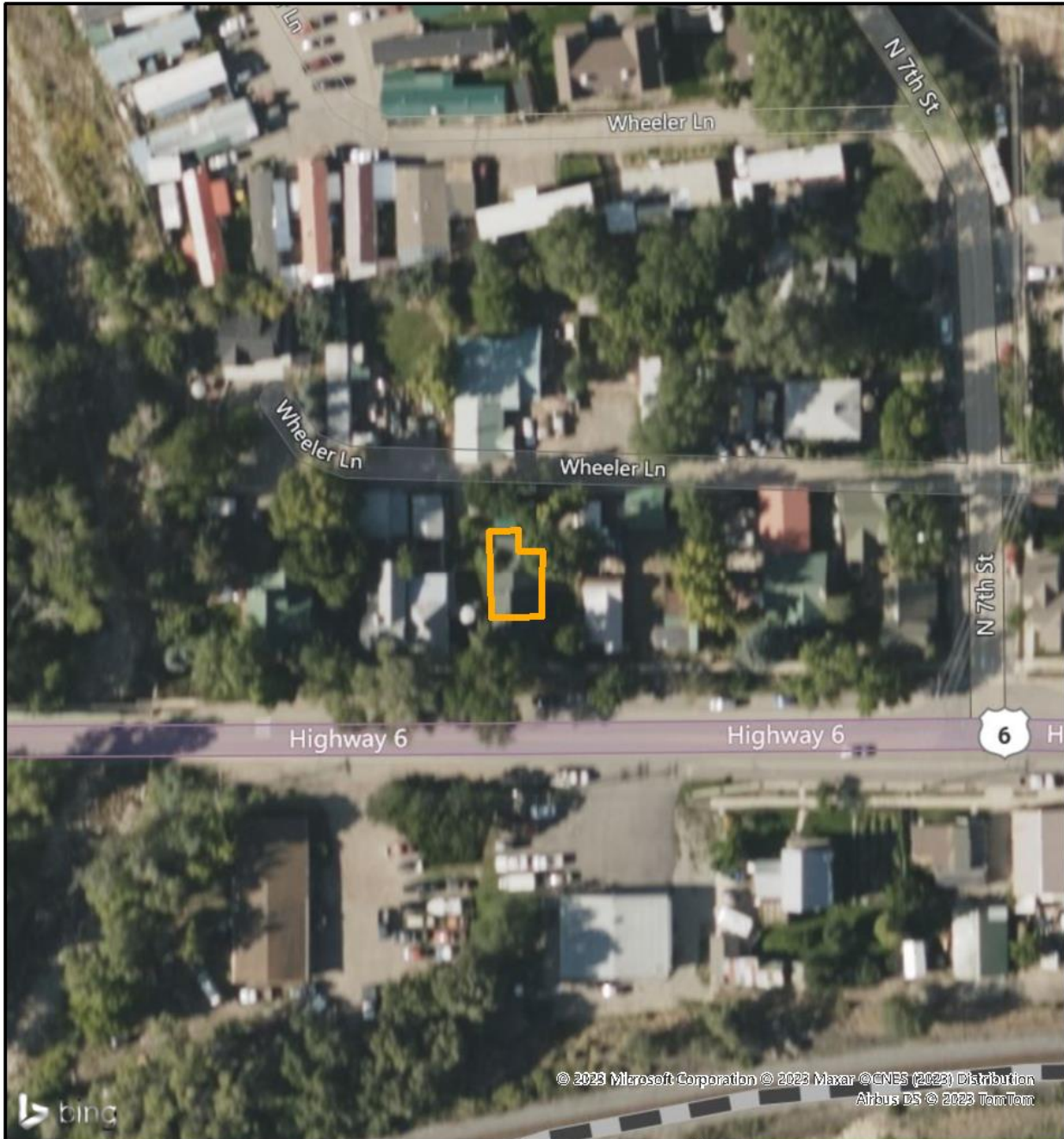
Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.



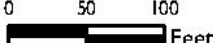

SKETCH PLAN *include approximate scale*



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input type="checkbox"/> Determined Eligible – NR
<input type="checkbox"/> Determined Eligible – SR
<input checked="" type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>3/2/2023</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5894_1 to 5GF.5894_2, and 6 reference photos</u>

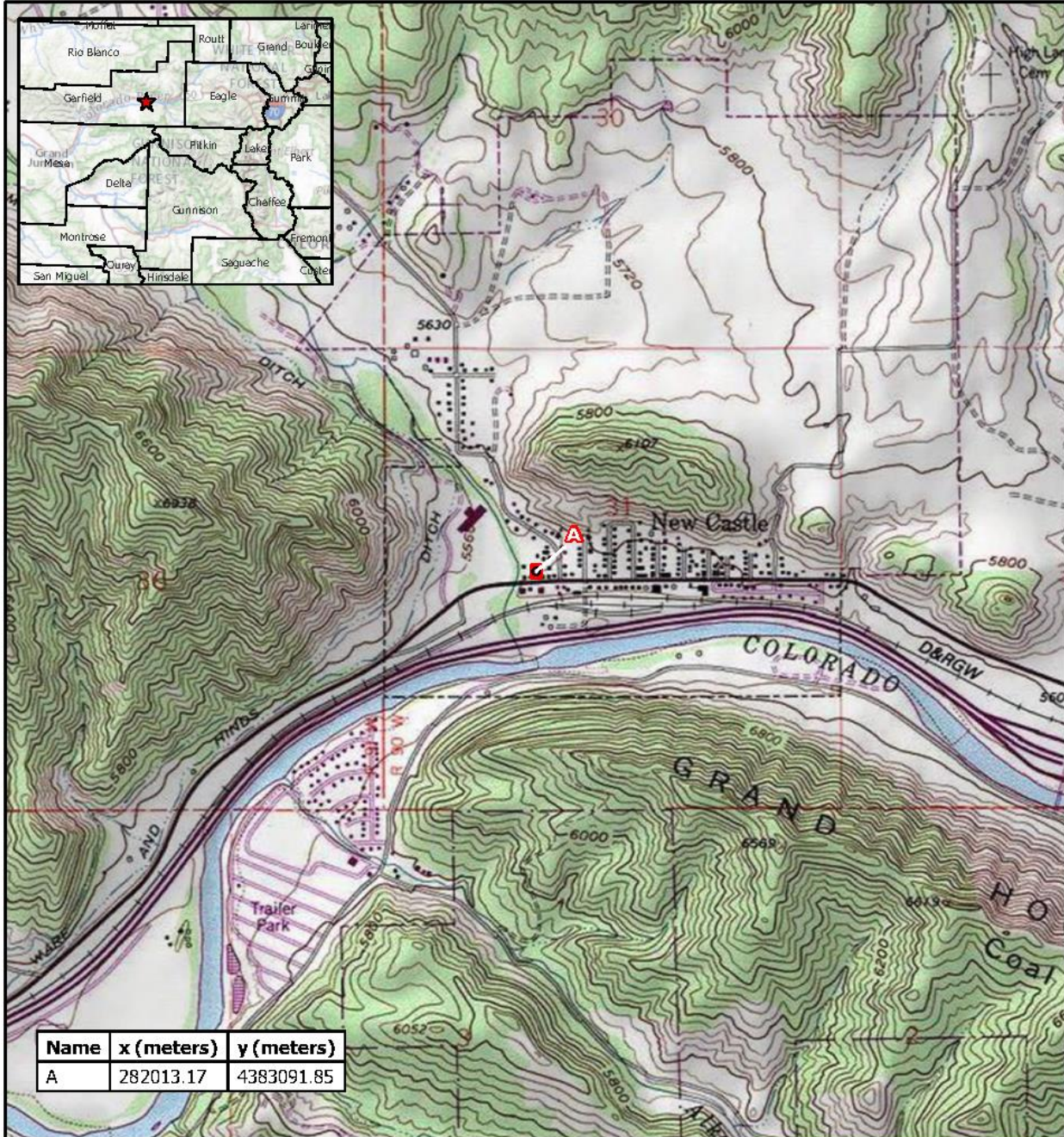
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 752 West Main Street (5GF.5894) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


Docu: new: Path: C:\Users\doosw\Desktop\CU\New Castle\Borch R\12156001 New Castle Hazloc Survey\12156001 New Castle Hazloc Survey.aprx

Topographic Map




Name	x (meters)	y (meters)
A	282013.17	4383091.85

Legend

 Resource Boundary



0 1,000 2,000
 Feet



Topographic Map

752 West Main Street (5GF.5894)
 New Castle, Colorado
 Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

Doc in new Park C:\user\doowad\Desktop\CU\New Castle\Borch I\22156001 New Castle Historic Survey\I22156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5894_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North

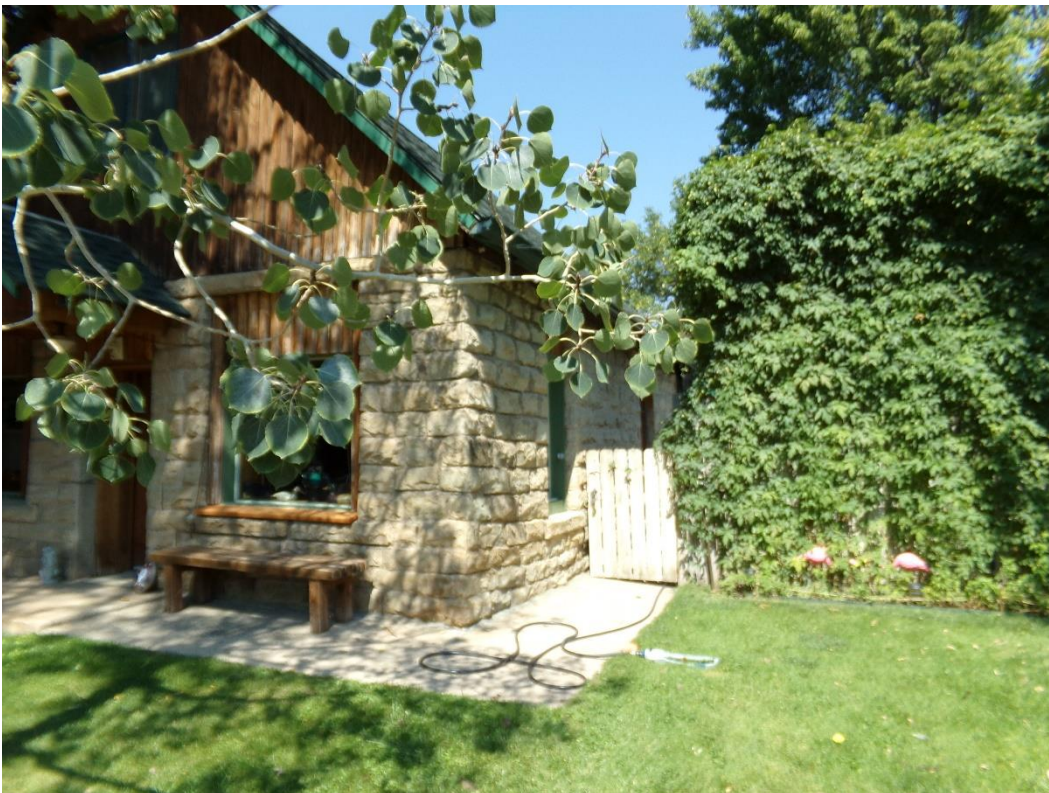


Photo Number: 5GF.5894_2
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Reference Photo 1

Description: Looking at the primary (south) and east elevations of the building.

Date: 1985

View: Garfield County Assessor's Office



Reference Photo 2

Description: Looking at the primary (south) and east elevations of the building.

Date: circa 2009

Source: Garfield County Assessor's Office

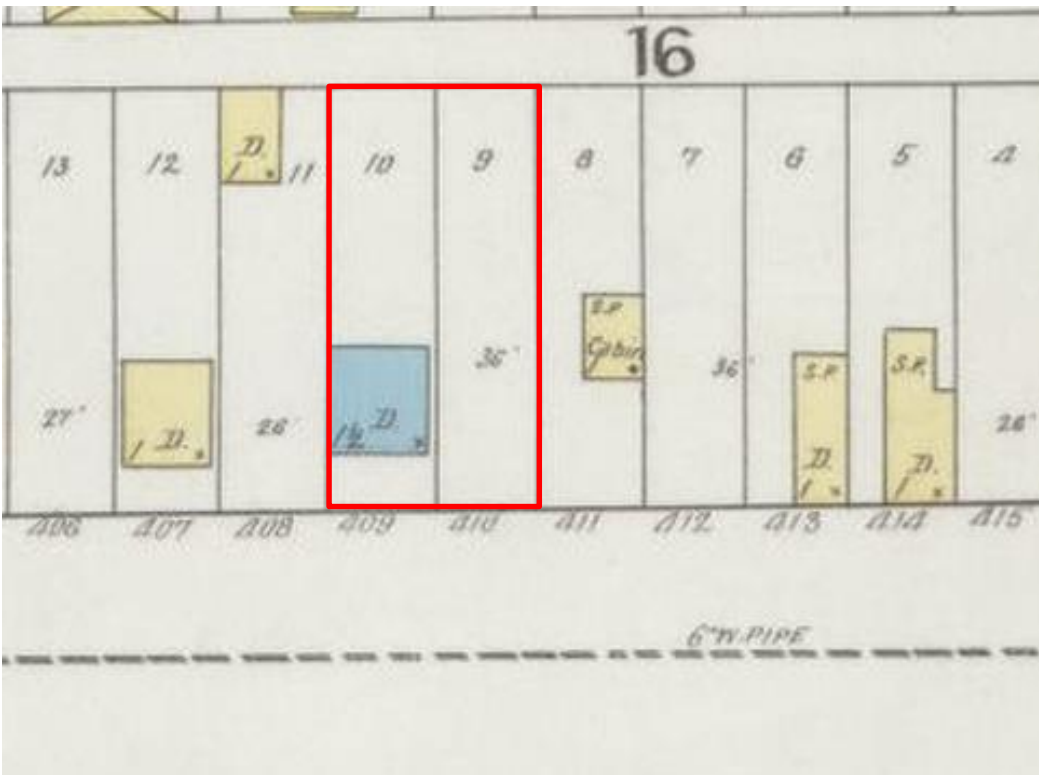


Reference Photo 3

Description: Looking at the east and north elevations of the building.

Date: 2010

View: Garfield County Assessor's Office

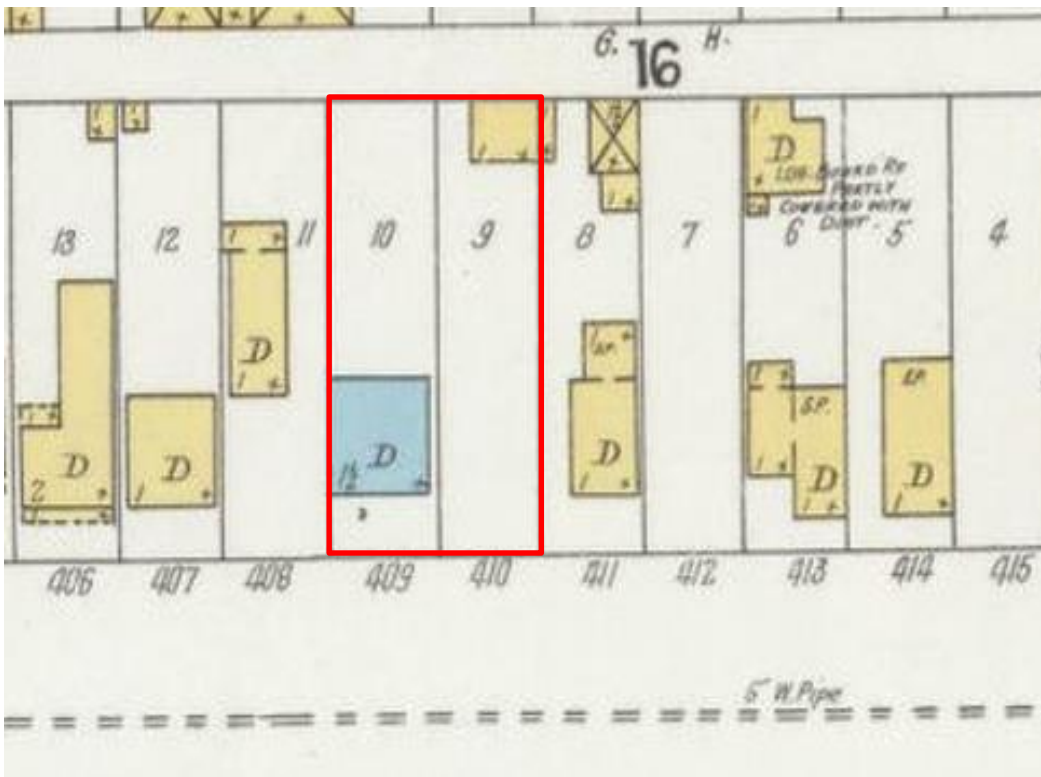


Reference Photo 4

Description: 1893 Sanborn Fire Insurance map illustrating residence on lots 10 and 9 of block 16. The property is outlined in red.

Date: 1893

Source: Library of Congress

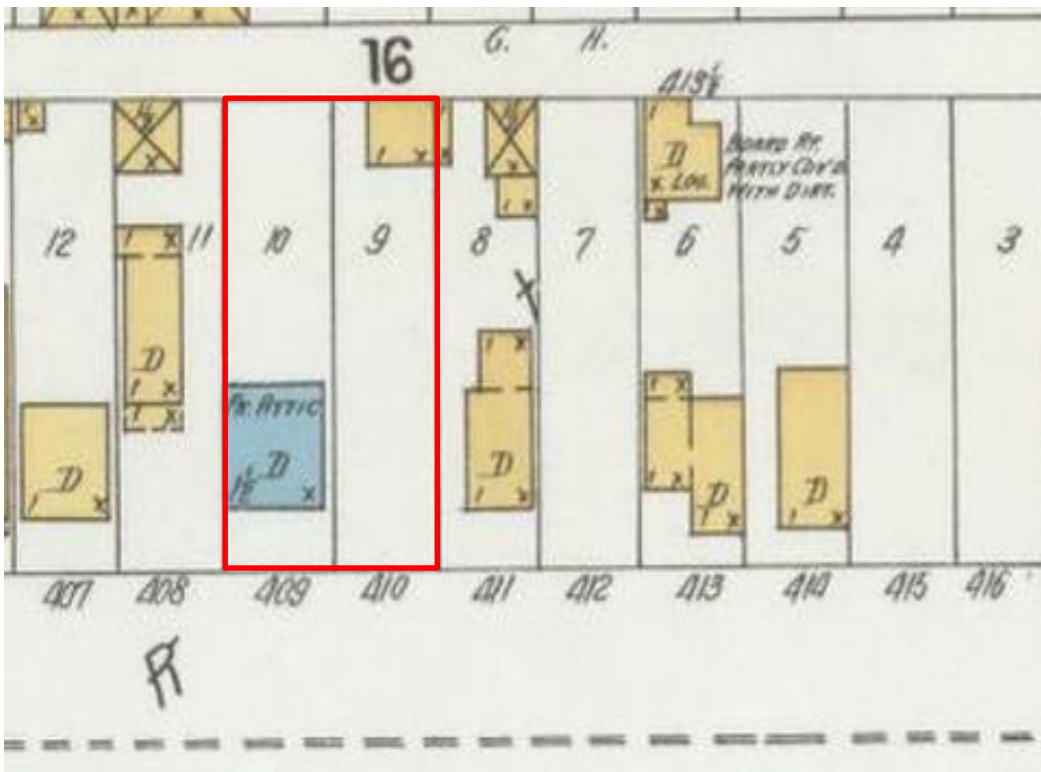


Reference Photo 5

Description: 1899 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 6

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

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Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Turtle Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 782 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331224019
- **9. Parcel Information: Lot(s): 11, 12 Block: 16 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.11 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SE ¼ of SW ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 281998 ;mN 4383092 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
One-story	Hipped roof box	Stacked stone/concrete	Horizontal weatherboard; vertical weatherboard
Windows	Roof	Chimney	Porch
One-over-one double hung sash; one-over-one single hung sash; one-by-one sliding sash; wood lintels sills, and casings	Hipped roof clad in asphalt shingles; overhang eaves; decorative brackets under eaves; shed roof along north elevation	Metal flu	Enclosed full-length shed roof porch along primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The one-story, rectangular shaped building was constructed in 1893 as shown through review of Garfield County Assessor’s Office records. The approximately 46’ by 20’ building is representative of a hipped roof box type of architecture. Architectural elements of the building include a stacked stone/concrete foundation; a hipped roof clad in asphalt shingles; overhang eaves; an exterior envelope clad in horizontal and vertical weatherboard; decorative brackets under eaves; a shed roof addition along north elevation; and an enclosed full-length shed roof porch addition along primary (south) elevation. The typical window consists of a one-over-one double hung sash. Additional windows throughout the building include one-over-one single hung sashes and one-by-one sliding sashes. A majority of windows feature wood lintels sills, and casings. The main entryway is located within the center of the enclosed full-length porch along the primary (south) elevation. The main entryway consists of a wood door with nine-lites divided by muntins. The main door is fronted by a storm door with a one-over-one single hung sash. A front gable is located above the main entryway. In addition, decorative

brackets can be noticed under the eaves of the enclosed porch. Typical window units flank each side of the main entryway. A secondary entryway is located on the left side of the north elevation.

Sanborn Fire Insurance maps between 1893 and 1904 demonstrate a slightly smaller footprint of the building during the period. By 1960, historical aerial imagery demonstrates that an enclosed porch was constructed along primary (south) elevation. Garfield County Assessor's Office records reveal that an addition along north elevation was constructed in 2003. Historical photos and street imagery between 2003 and 2008 demonstrate that the exterior envelope was repainted. At some point, the roof was replaced.

14. Associated buildings, features, or objects:

A detached garage is located to the north of the residence. The approximate 24' by 16' building was constructed circa 1982 as shown through review of historical aerial imagery and features a front gable roof clad in asphalt shingles; overhanging eaves; an exterior envelope clad in vertical weatherboard; and a single overhead garage door.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1893
Assessor's Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov't |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
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| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
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| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev't | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "782 West Main Street." Garfield County Assessor's Office. Parcel Number 212331224019. Accessed March 2, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1637186699&KeyVal=380548>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed March 2, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed March 2, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

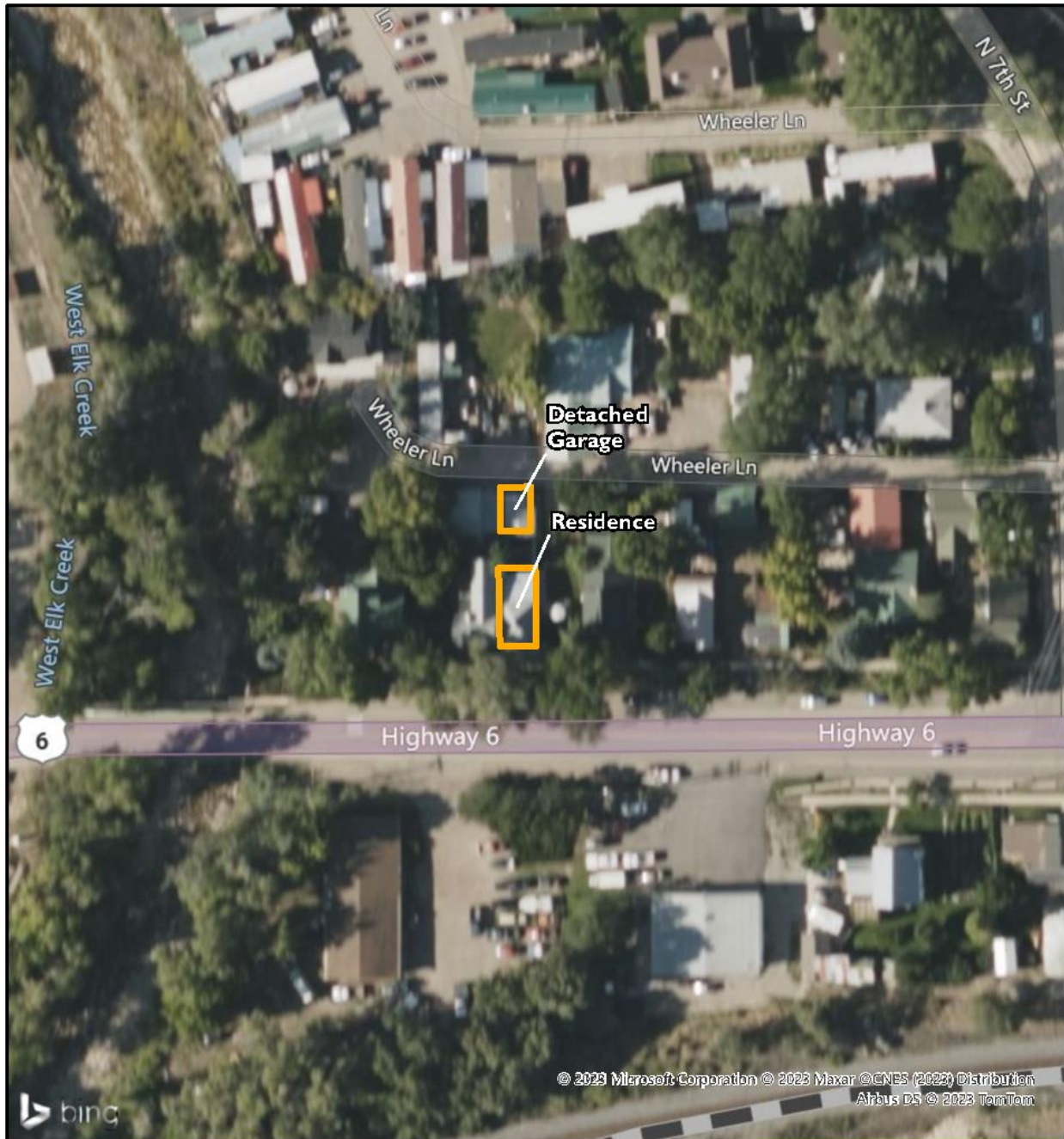
SKETCH PLAN *include approximate scale*



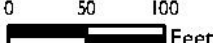



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5893_1 to 5GF.5893_2, and 7 reference photos</u>

See Attachment																			
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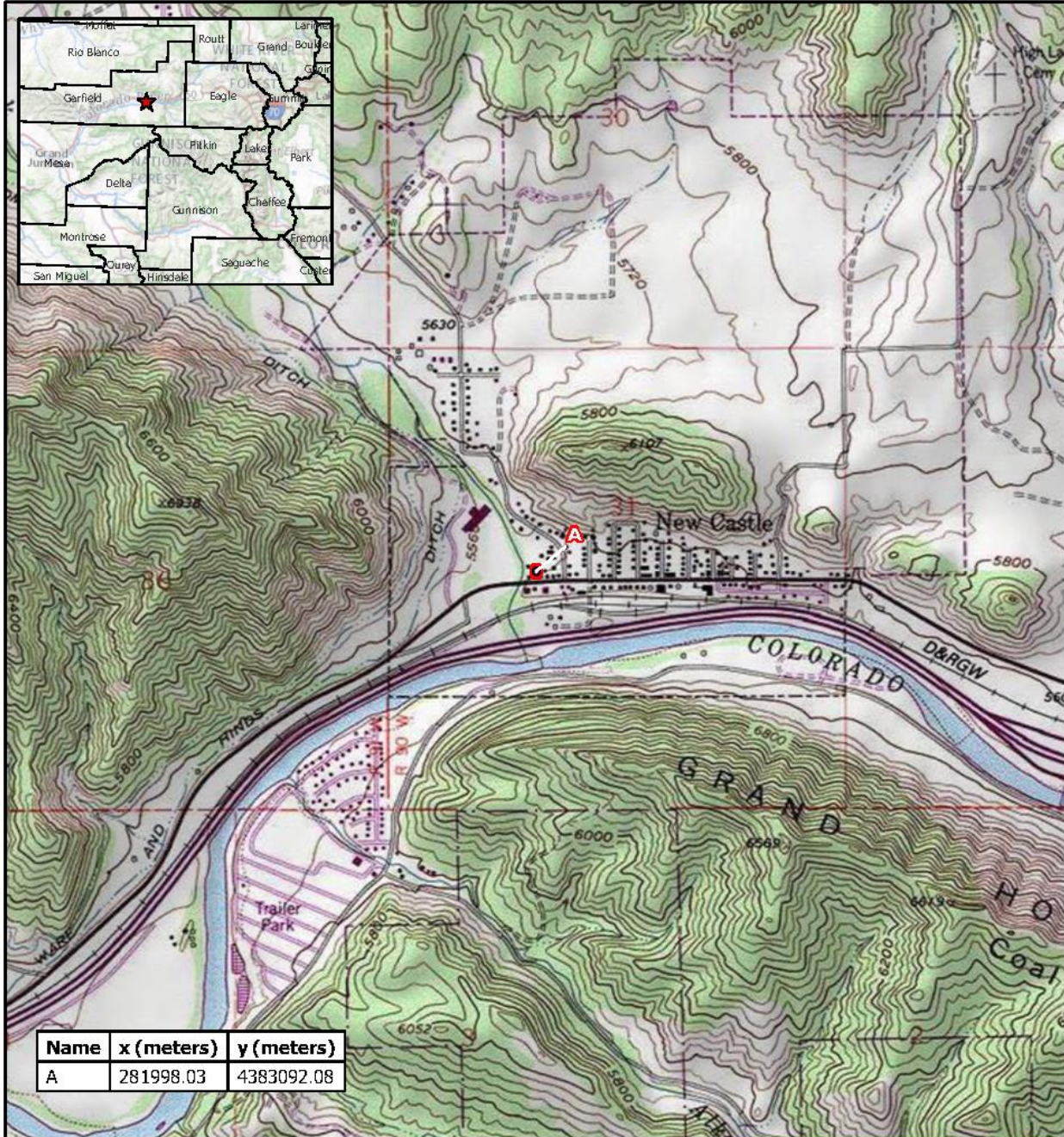
Sketch Map



<p>Legend</p> <p> Footprint</p>	  Feet		
		<p>Sketch Map 782 West Main Street (5GF.5893) New Castle, Colorado Garfield County</p>	
<p>Pinyon Project Number: I 22156.001</p>		<p>Drawn By: CJB</p>	<p>Figure: 2</p>
<p>Reviewed By: CMW</p>		<p>Date: 4/10/2023</p>	

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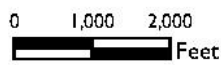
Topographic Map



Name	x (meters)	y (meters)
A	281998.03	4383092.08

Legend

 Resource Boundary



Topographic Map

782 West Main Street (5GF.5893)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I 22156001

Doc in: new Park, C:\user\doowad\Desktop\CU\New Castle\Borch I 122156001 New Castle Historic Survey\122156001 New Castle Historic Survey.aprx

Site Photographs



Photo Number: 5GF.5893_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5893_2
Description: Looking at the west and left side of the primary (south) elevation of the building.
Date: 9/6/2022
View: Northeast



Reference Photo 1

Description: Looking at the primary (south) and east elevations of the building.

Date: 1985

Source: Garfield County Assessor's Office



Reference Photo 2

Description: Looking at the primary (south) and east elevations of the building. Note the addition along the north elevation is under construction.

Date: 2003

Source: Garfield County Assessor's Office



Reference Photo 3

Description: Looking at the primary (south) and east elevations of the building.

Date: circa 2012

Source: Garfield County Assessor's Office

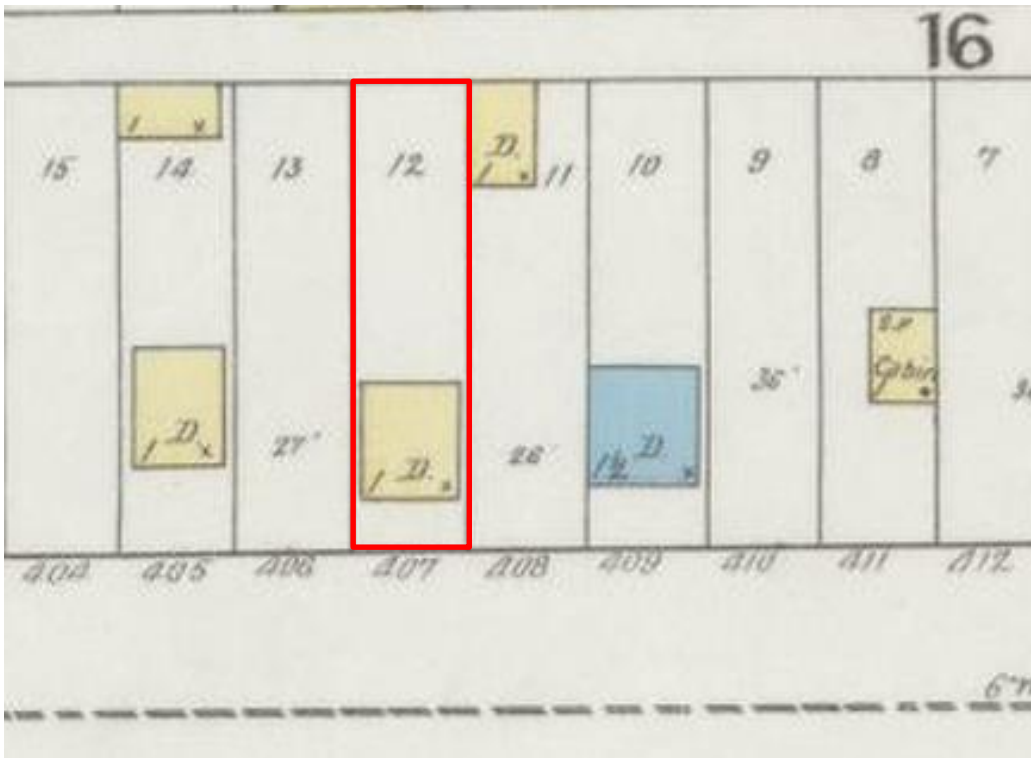


Reference Photo 4

Description: Looking at the east and north elevations of the building.

Date: 2012

Source: Garfield County Assessor's Office

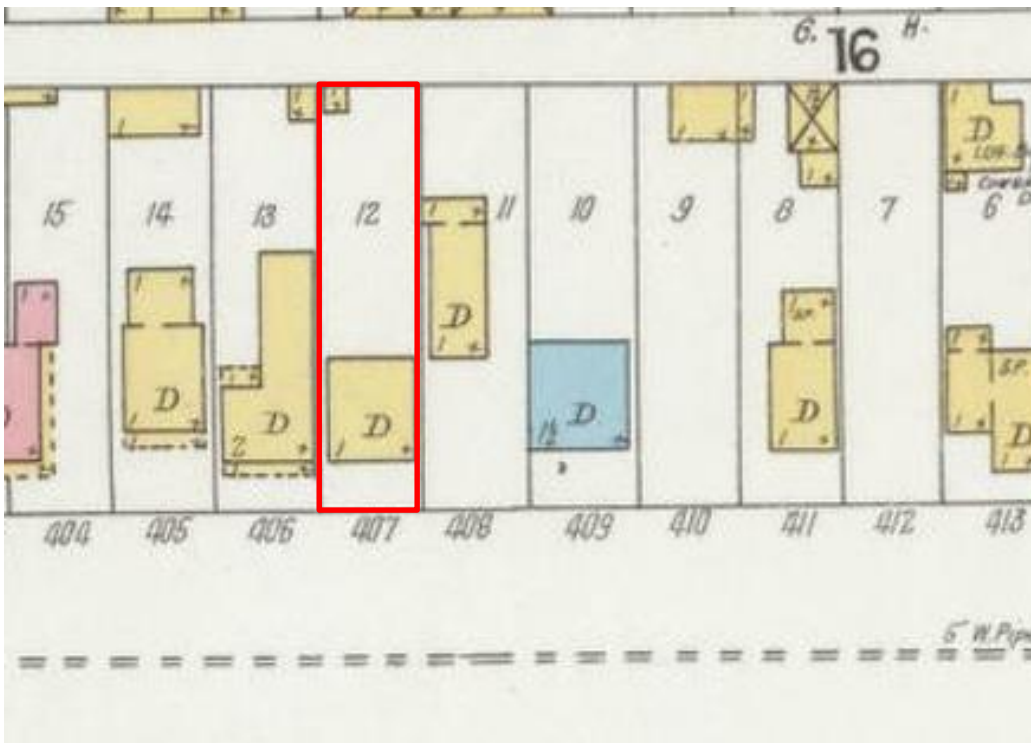


Reference Photo 5

Description: 1893 Sanborn Fire Insurance map illustrating the residence on lot 12 of block 16. The property is outlined in red.

Date: 1893

Source: Library of Congress



Reference Photo 6

Description: 1899 Sanborn Fire Insurance map illustrating the resource. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 7

Description: 1904 Sanborn Fire Insurance map illustrating the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

COLORADO CULTURAL RESOURCES INVENTORY

Historical and Architectural Reconnaissance

This form is intended for use in survey projects undertaken for preservation planning purposes and it is NOT to be used for Section 106 compliance projects. It provides a basic descriptive record of a single building, structure, object, or site. Please use the #1417b Ancillary form to document additional resources on a single site. This form may provide enough information to assess architectural significance and/or to identify other potential areas of historical significance. Full evaluations of historical significance require additional property-specific research beyond the scope of this form and typically require completion of the OAHP *Historical / Architectural Properties: Intensive Level / Evaluation* form (OAHP form # 1403). For guidance on completing this form and required accompanying documentation, please refer to the instructions, available online at <http://www.historycolorado.org/oaHP/survey-inventory-forms>

Official eligibility determination (OAHP use only)

Date: _____ Initials: _____

Determined Eligible – NR
 Determined Eligible – SR
 Needs Data
 Eligible District - Contributing

IDENTIFICATION

1. Property Name: Auslander Residence Historic Current Other:
2. Resource Classification: Building Structure Object Sites/Landscape
3. Ownership: Federal State Local Non-profit Private Unknown

LOCATION

4. Street Address: 792 West Main Street
5. Municipality: New Castle, CO Vicinity:
6. County: Garfield
- **7. USGS Quad: New Castle, CO Year: 2022 7.5'
- **8. Parcel Number: 212331224006
- **9. Parcel Information: Lot(s): 13, 14 Block: 16 Addition: ORIGINAL TWNSTE NEW CASTLE
- **10. Acreage: 0.10 Actual Estimated
11. PLSS information: Principal Meridian: 6th Township: 5S Range: 90W
SW ¼ of SW ¼ of SE ¼ of NW ¼ of section: 31

****Please check with your project sponsor to determine which fields are required, as not all locational**

- **12. Location Coordinates:
 UTM reference: Zone 13 ;mE 281985 ;mN 4383092 NAD 1927 NAD 1983
 or
 Lat/Long: Latitude _____ ; Longitude _____ WGS84 Other:

DESCRIPTION

13. Construction Features (forms, materials):

Stories	Style/Type	Foundation	Walls
Two-story	Vernacular Queen Anne	Poured concrete	Horizontal weatherboard
Windows	Roof	Chimney	Porch
One-over-one single hung sash; 21-lite picture windows; casement windows; wood lintels, sills, and casings	Side gable roof clad in asphalt shingles; subordinate front gable along the north elevation; closed overhang eaves; front gable wall dormers; decorative fish scale shingles in the dormer and gable ends; decorative floral and scrollwork	Brick masonry chimney	Enclosed full-length porch along the west elevation; unprotected porch along the north elevation; partial length front gable porch along the primary (south) elevation

Optional: additional description (plan/footprint, dimensions, character-defining and decorative elements of exterior and interior; alterations, additions, etc.):

The two-story, rectangular shaped building was constructed circa 1899 as shown through review of an 1899 *Sanborn Fire Insurance* map. The approximately 52' by 38' building is a vernacular form of Queen Anne style of architecture. Architectural elements of the building include a poured concrete foundation; a side gable roof clad in asphalt shingles; a subordinate front gable along the north elevation; closed overhang eaves; front gable wall dormers; decorative fish scale shingles in the dormer and gable ends; decorative floral and scrollwork features; a brick masonry chimney; an enclosed full-length porch along the west elevation; an unprotected porch along the north elevation; and a partial length front porch along the primary (south) elevation. The typical window consists of a

one-over-one single hung sash. Additional windows throughout the building include 21-lite picture windows and casement windows. A majority of widows feature wood lintels, sills, and casings. The main entryway is located in the center of the primary (south) elevation. The main door consists of a wood panel door with a 9-lite window. The main entryway is capped by a front gable partial length porch. Decorative fish scale shingles can be noticed under the gable ends while decorative brackets are located under the eaves. The overhang is supported by turned spindle columns and the porch incorporates decorative railings.

Sanborn Fire Insurance maps between 1899 and 1904 demonstrate that the residence was constructed with a full-length porch along the primary (south) elevation. In addition, a smaller porch was located along the west elevation at the time. By 1995, historic photos reveal that the porch along the façade was altered into a partial length porch. Also, no decorative features are present in the front gable wall dormers wall dormers. Furthermore, a one-story addition was constructed along the west elevation. Between 1995 and 2003, fish scale shingles were added in the gable ends of the wall dormers. Garfield County Assessor’s Office records also indicate that the roof was replaced in 2003. Historical street imagery reveals that decorative brackets and scrollwork were added by 2008. Several windows were replaced between 2012 and 2016.

14. Associated buildings, features, or objects:

A detached garage was constructed north of the residence in 2005 as shown through review of Garfield County Assessor’s Office records. The approximately 30’ by 26’ building features a side gable roof clad in asphalt shingles; overhanging eaves; an exterior envelope clad in vinyl siding; a car port; and an overhead garage door.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

- 16. Historic Function/Use: Residential Current Function/Use (if different): Residential
- 17. Date of Construction: 1899 Estimated Actual (include source): 1899 Sanborn Fire Insurance map

18. Other Significant Dates, if any: Garfield County Assessor’s Office records indicate that the residence was constructed in 1893; however, the building is not extant on Sanborn Fire Insurance maps until 1899.

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov’t |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev’t | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

- "792 West Main Street." Garfield County Assessor's Office. Parcel Number 212331224006. Accessed March 1, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=1004555080&KeyVal=R380132>.
- "A Walking Tour of Downtown New Castle." *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf
- "Document Search." Garfield County Clerk and Recorder Office. Accessed March 1, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.
- "Early History." Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.
- "Historical Aerial Imagery." *NETROnline*. Accessed March 1, 2023. <https://www.historicaerials.com>.
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- McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.
- Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.
- Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado*. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

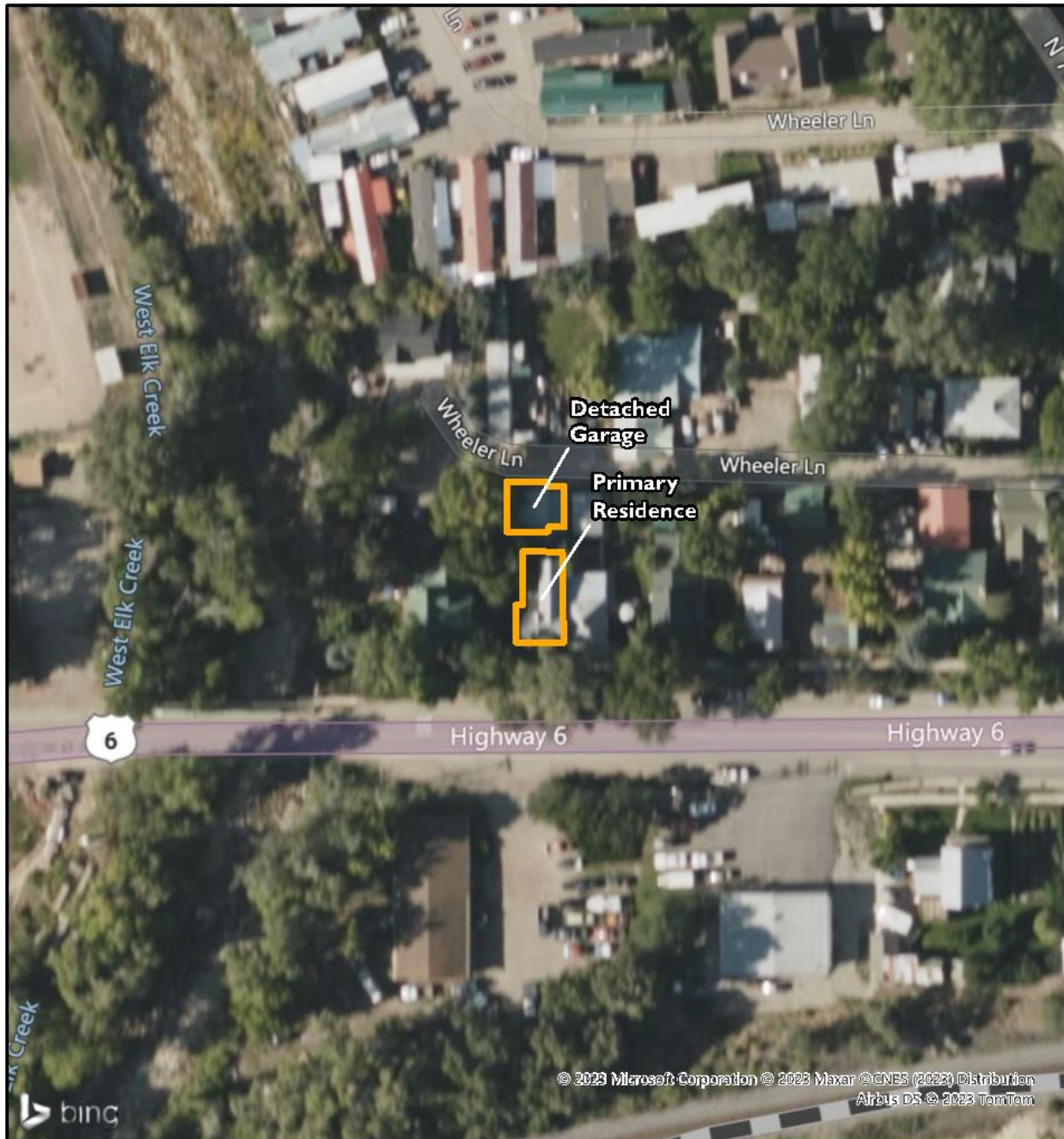
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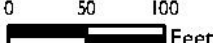



FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5892_1 to 5GF.5892_3, and 5 reference photos</u>

See Attachment																			
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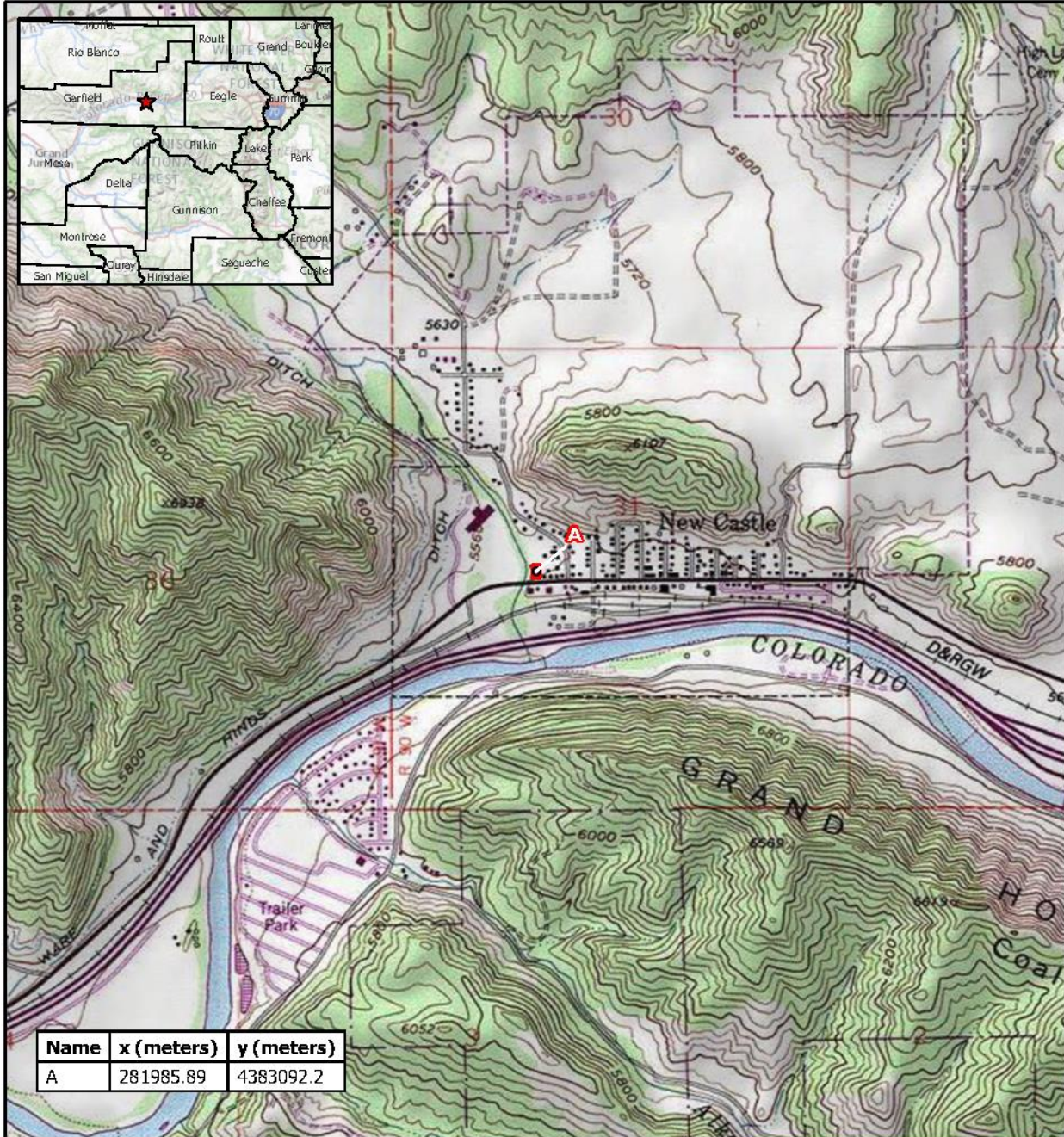
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	 <p>Sketch Map 792 West Main Street (5GF.5892) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1"> <tr> <td>Drawn By: CJB</td> <td>Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				


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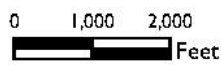
Topographic Map



Name	x (meters)	y (meters)
A	281985.89	4383092.2

Legend

 Resource Boundary



Topographic Map

792 West Main Street (5GF.5892)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: 1

Reviewed By: CMW

Date: 4/11/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5892_1
Description: Looking at the primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5892_2
Description: Looking at the primary (south) and east elevations of the building.
Date: 9/6/2022
View: Northwest



Photo Number: 5GF.5892_3
Description: Looking at the west elevation of the building.
Date: 9/6/2022
View: Northeast



Reference Photo 1
Description: Looking at the primary (south) elevation of the building.
Date: 1995
Source: Garfield County Assessor's Office



Reference Photo 2

Description: Looking at the west and primary (south) elevation of the building.

Date: 2003

Source: Garfield County Assessor's Office

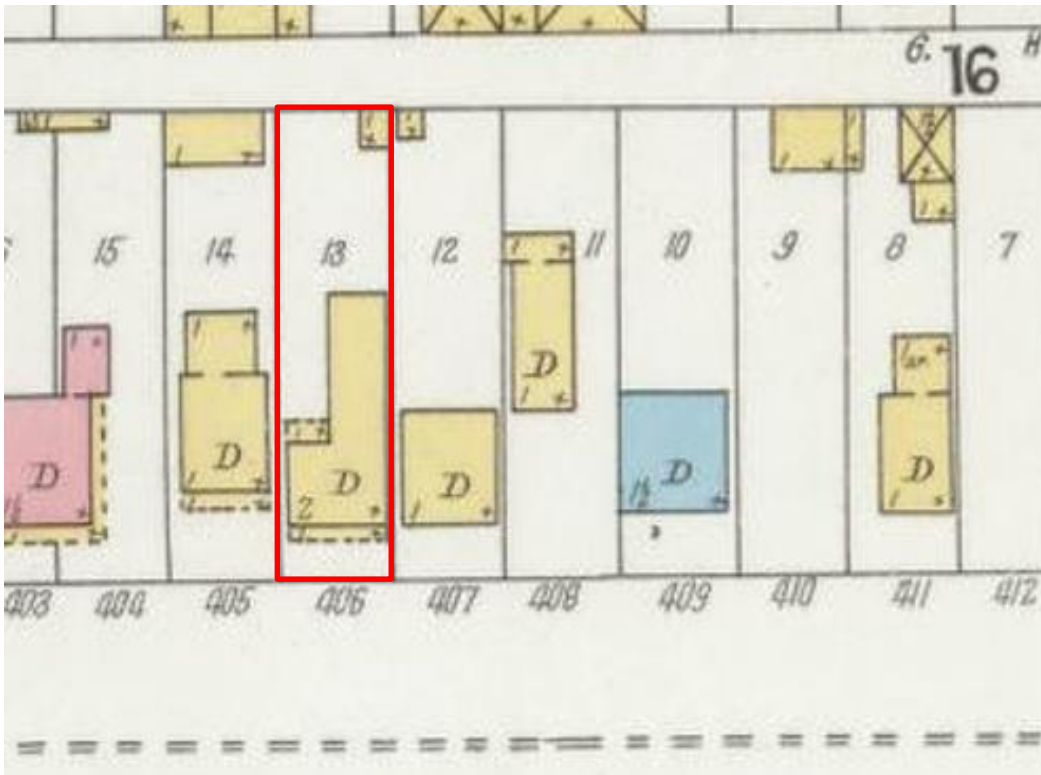


Reference Photo 3

Description: Context view of the residence from Main Street.

Date: circa 2016

Source: Garfield County Assessor's Office

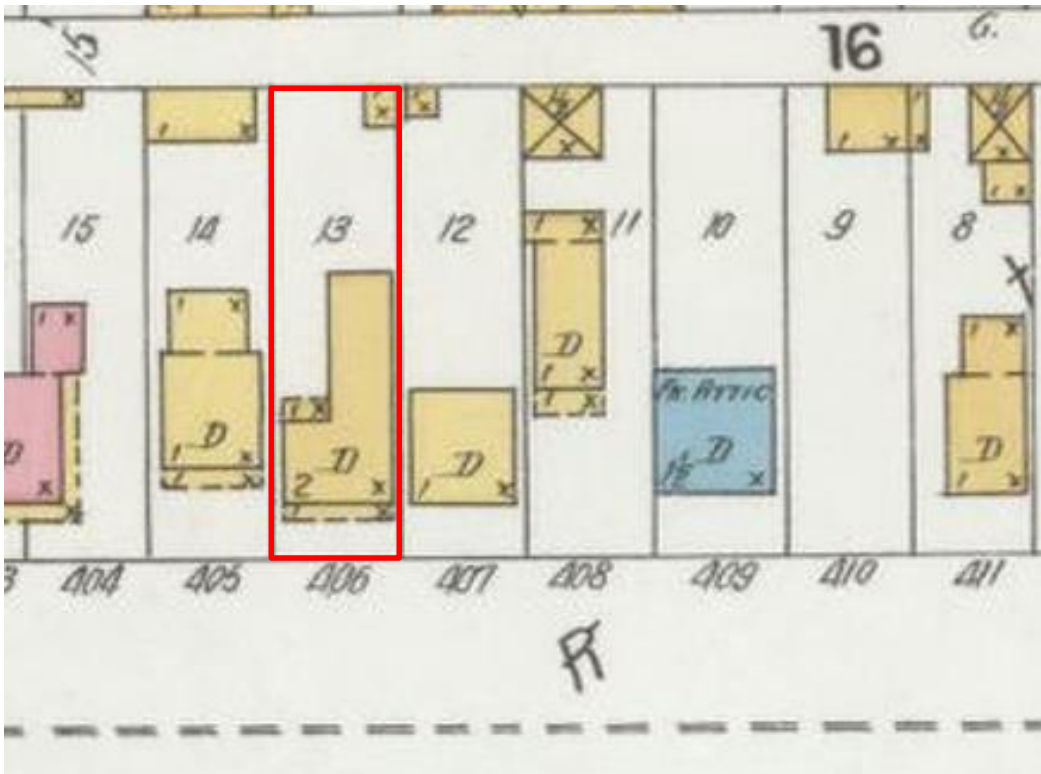


Reference Photo 4

Description: 1899 Sanborn Fire Insurance map illustrating the residence on lot 13 of block 16. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 5

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

Sanborn Fire Insurance maps between 1899 and 1904 demonstrate that a full-length porch was located along the primary (south) and east elevations of the residence. The building also consisted of a smaller layout at the time. Garfield County Assessor’s Office records indicate that an addition along the north elevation was constructed in 1914. Additional records reveal that another addition was constructed along the east elevation was constructed in 1942 and the roof was replaced in 1971. A historical image of the building in 1974 demonstrates that the full-length porch along the primary (south) elevation was replaced by a partial length front gable porch. By 2010, the exposed rafter tails under the eaves were closed.

14. Associated buildings, features, or objects:

A secondary residence is located to the north of the primary residence. The approximately 38’ by 50’ building was constructed in 2019 as shown through review of historical aerial imagery. The building features a poured concrete foundation; a side gable roof clad in asphalt shingles; a full-length porch along the primary (south) elevation; and a partial length porch along the east elevation.

15. Landscape (important features of the immediate environment):

- Garden Mature Plantings Designed Landscape Walls Parking Lot Driveway Sidewalk Fence Seating
- Other:

HISTORICAL ASSOCIATIONS (based on visual observations and/or review of secondary sources):

16. Historic Function/Use: Residential

Current Function/Use (if different): Residential

17. Date of Construction: 1895
Assessor’s Office

Estimated Actual (include source): Garfield County

18. Other Significant Dates, if any: N/A

19. Associated NR Areas of Significance:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Economics | <input type="checkbox"/> Invention | <input type="checkbox"/> Politics/Gov’t |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Archaeology | <input type="checkbox"/> Engineering | <input type="checkbox"/> Law | <input type="checkbox"/> Science |
| <input type="checkbox"/> Art | <input type="checkbox"/> Entertainment/Recreation | <input type="checkbox"/> Literature | <input type="checkbox"/> Social History |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Ethnic Heritage | <input type="checkbox"/> Maritime History | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Military | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Community Planning & Dev’t | <input type="checkbox"/> Health/Medicine | <input type="checkbox"/> Performing Arts | |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> Industry | <input type="checkbox"/> Philosophy | |

20. Associated Historic Context(s), if known: N/A

21. Retains Integrity of: Location Setting Materials Design Workmanship Association Feeling

22. Notes: Before the establishment of New Castle, the area was frequented by the Ute Tribe who inhabited much of the mountain areas in western Colorado and eastern Utah throughout the summer seasons. However, the lure of wealth from natural resource extraction from several gold rushes and silver booms prompted many American settlers to explore the Rocky Mountains between the mid to late-Nineteenth Century. By 1881, the tribe had been removed from the area and relocated to the Uintah and Ouray Reservation in Utah. The Town of New Castle was incorporated several years later in 1888, shortly after Jasper Ward built the first homestead in the area in 1883. Coal mining quickly became a vital industry in the vicinity to supply fuel to silver smelters throughout the Rocky Mountain region. The town experienced several boom-and-bust cycles of the industry until the early to mid-Twentieth Century when coal mining came to a more permanent end. In the aftermath, agricultural operations including farming and ranching began to take hold throughout the mid to late-Twentieth Century due to the fertile soil in the area. Between the late-Twentieth- and early-Twenty-first Centuries, the town has experienced a sustainable growth in population.

23. Sources:

“802 West Main Street.” Garfield County Assessor’s Office. Parcel Number 212331200016. Accessed March 2, 2023. <https://qpublic.schneidercorp.com/Application.aspx?AppID=1038&LayerID=22381&PageTypeID=4&PageID=9447&Q=643693721&Key Value=R380172>.

“A Walking Tour of Downtown New Castle.” *Town of New Castle*. Accessed December 29, 2022. https://www.newcastlecolorado.org/sites/default/files/fileattachments/community/page/1360/walking_tour_of_downtown_new_castle.pdf

“Document Search.” Garfield County Clerk and Recorder Office. Accessed March 2, 2023. <https://act.garfield-county.com/recorder/eagleweb/docSearch.jsp>.

“Early History.” Southern Ute Indian Tribe. Accessed December 21, 2022. <https://www.southernute-nsn.gov/history/>.

“Historical Aerial Imagery.” *NETROnline*. Accessed March 2, 2023. <https://www.historicaerials.com>.

"Our History." Town of New Castle, Colorado. Accessed December 21, 2022. <https://www.newcastlecolorado.org/about/page/our-history>.

McAlester, Virginia S. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. New York: Alfred A. Knopf, 2013.

Pearce, Sarah J. *Field Guide to Colorado's Historic Architecture & Engineering*. Denver: State Historic Society of Colorado, 2008.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Feb. 1893. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_001/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, Nov. 1899. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_002/.

Sanborn Fire Insurance Map of New Castle, Garfield County, Colorado. Sanborn Map Company, May 1904. Accessed February 17, 2023. https://www.loc.gov/item/sanborn01052_003/.

SKETCH PLAN *include approximate scale*



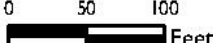


FIELD ELIGIBILITY RECOMMENDATION: (To be completed by surveyor)
<input checked="" type="checkbox"/> Determined Eligible – NR
<input checked="" type="checkbox"/> Determined Eligible – SR
<input type="checkbox"/> Not Eligible
<input checked="" type="checkbox"/> Eligible District – Contributing
<input type="checkbox"/> Needs Data
<input type="checkbox"/> Local Landmark
RECORDING INFORMATION
Survey Date: <u>9/6/2022</u>
Surveyed By: <u>Cameron Weishoff</u>
Project Sponsor: <u>Town of New Castle</u>
Photograph Log: <u>5GF.5891_1 to 5GF.5891_3, and 6 reference photos</u>

See Attachment																			
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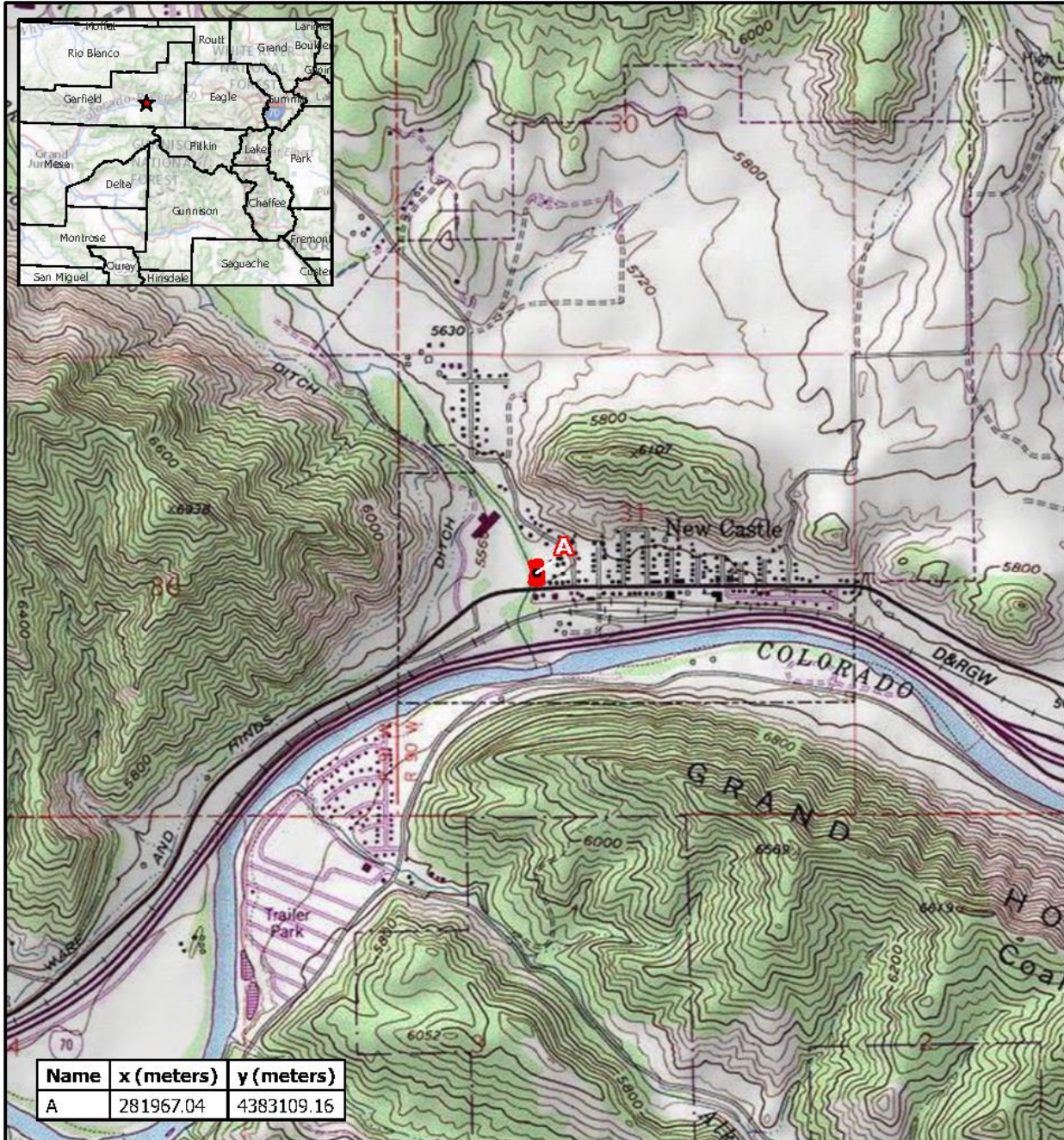
Sketch Map



<p>Legend</p> <p> Footprint</p> <div style="text-align: center;">   </div>	<p>Pinyon Environmental, Inc.</p> <p>Sketch Map 802 West Main Street (5GF.5891) New Castle, Colorado Garfield County</p>				
<p>Pinyon Project Number: I 22156.001</p>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Drawn By: CJB</td> <td style="width: 50%;">Figure: 2</td> </tr> <tr> <td>Reviewed By: CMW</td> <td>Date: 4/10/2023</td> </tr> </table>	Drawn By: CJB	Figure: 2	Reviewed By: CMW	Date: 4/10/2023
Drawn By: CJB	Figure: 2				
Reviewed By: CMW	Date: 4/10/2023				

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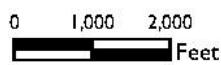
Topographic Map



Name	x (meters)	y (meters)
A	281967.04	4383109.16

Legend

 Resource Boundary



Pinyon
Environmental Inc.

Topographic Map

802 West Main Street (5GF.5891)
New Castle, Colorado
Garfield County

Drawn By: CJB

Figure: I

Reviewed By: CMW

Date: 4/10/2023

Pinyon Project Number: I22156001

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Site Photographs



Photo Number: 5GF.5891_1
Description: The primary (south) elevation of the building.
Date: 9/6/2022
View: North



Photo Number: 5GF.5891_2
Description: Looking at the west and primary (south) elevations of the building.
Date: 9/6/2022
View: Northeast



Photo Number: 5GF.5891_3
Description: The far-right side of the primary (south) elevation and east elevation of the building.
Date: 9/6/2022
View: North



Reference Photo 1
Description: Context view of the building from Main Street.
Date: 1974
Source: Garfield County Assessor's Office



Reference Photo 2

Description: Image label states, "Rittle Family Home"

Date: Unknown

Source: New Castle Museum Collection



Reference Photo 3

Description: Looking at the north and west elevations of the building.

Date: 2010

Source: New Castle Museum Collection

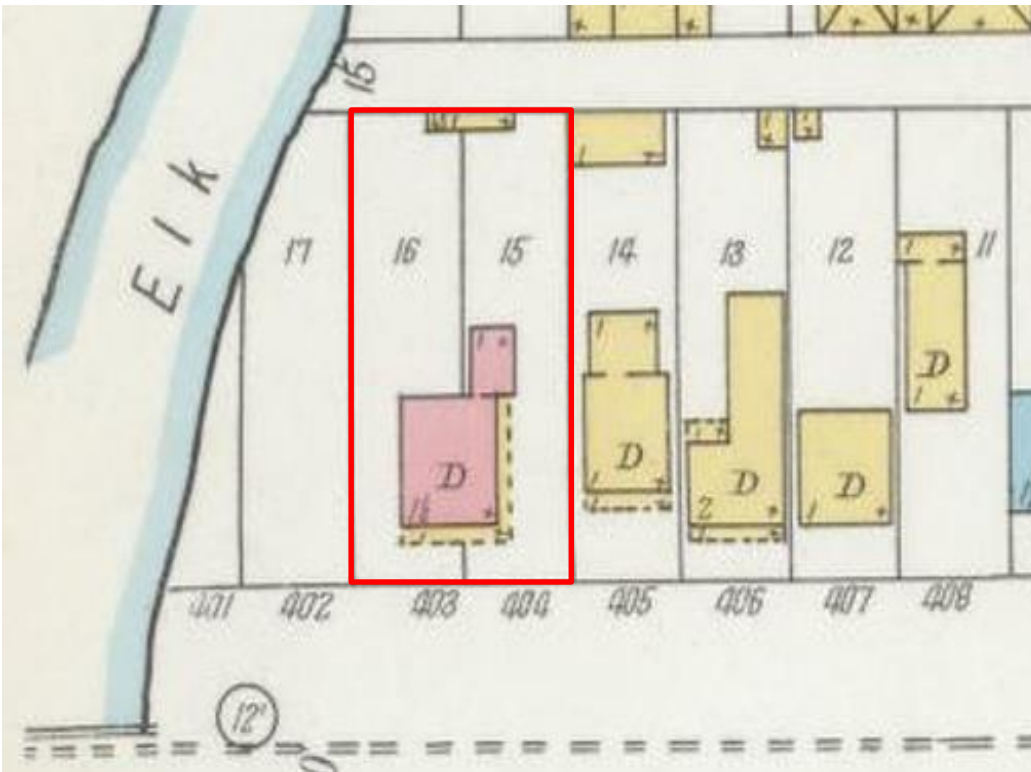


Reference Photo 4

Description: Looking at the primary (south) elevation of the building.

Date: 9/6/2022

Source: Garfield County Assessor's Office records

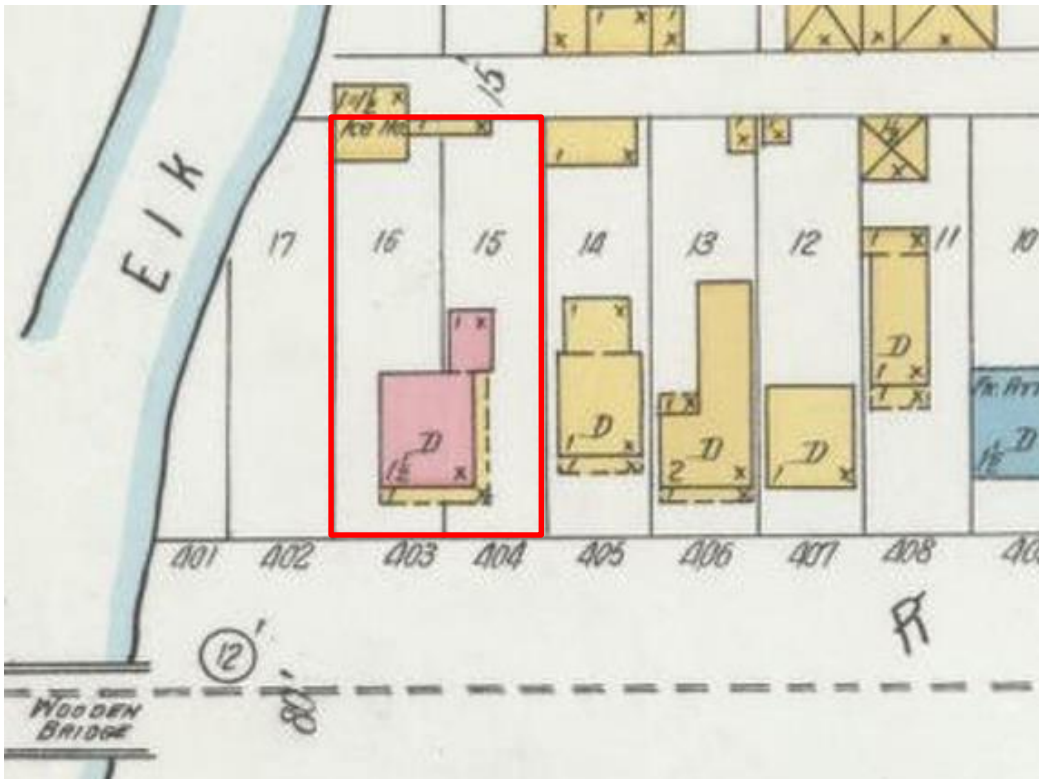


Reference Photo 5

Description: 1899 Sanborn Fire Insurance map illustrating the residence. The property is outlined in red.

Date: 1899

Source: Library of Congress



Reference Photo 6

Description: 1904 Sanborn Fire Insurance map of the resource. The property is outlined in red.

Date: 1904

Source: Library of Congress

From: Dave Reynolds <dreynolds@newcastlecolorado.org>
Sent: Monday, March 6, 2023 8:12 AM
To: Mari Riddile <maririddile@gmail.com>
Cc: Brandy Copeland <bcopeland@newcastlecolorado.org>; Remi Bordelon <rbordelon@newcastlecolorado.org>
Subject: RE: Historical museum wiring

Hi Mari & Brandy,

After reviewing the bids again this morning, here is a summary of the difference between Always On Electric and Lively Electric.

- The Lively proposal places the installation of the new service panel on the inside of the building. The Always On proposal places the service panel on the exterior. Installation of the service panel on the interior is usually more expensive, but is far more convenient and secure.
- The Lively bid has a total of 4 area heaters and 1 bathroom baseboard heater with all materials and labor included. The Always On bid has a total of 2 heaters and does not include materials.
- Both bids include the conversion of the older florescent lights to LED lights, but the Lively bid includes the materials whereas the Always On bid does not.

Hope this helps. Please let me know if I'm missing something, happy to discuss in more detail if needed.

Dave

Remi Bordelon

From: Brandy Copeland
Sent: Monday, February 27, 2023 10:27 AM
To: Dave Reynolds; Remi Bordelon; mari.riddile@gmail.com
Subject: Fwd: Historical museum wiring

Follow Up Flag: Follow up
Flag Status: Flagged

Estimate from Lively Electric. Any feedback is appreciated David.

Thank you,
Brandy Copeland
970-319-0981

From: lively@sopris.net <lively@sopris.net>
Sent: Monday, February 27, 2023 9:22:48 AM
To: Brandy Copeland <bcopeland@newcastlecolorado.org>
Subject: Historical museum wiring

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

February 27, 2023

Brandy Copeland, Town of New Castle

Re: Wiring for the New Castle Historical Society building

Brandy:

Our price for the wiring necessary for the Historical Society building is \$10,870.00. This Price includes:

A new 200 amp single phase service on the east side of the building, with feeders to a New panel in the interior of the building.

Four 4800 watt electric unit heaters. Two in the large room, one in the smaller room and

One in the entry. One small base board heater in the bathroom. The bath heater will have a

Thermostat on the heater, the other heaters have a remote control, as well as the control panel

On the front of the heater.

We will convert the existing fixtures to LED lamps quantity of 12.

We will also replace the fixtures in the entry with a LED Eight foot fixture.

We will complete the grounding and bonding system, with two ground rods and bonding

To the water piping.

We will re energize the existing circuits unless they are deemed to be in bad enough condition

To replace them.

This price includes material, labor, Permit and inspection.

This price does not include any work to the existing wiring to bring up to code if it is needed

As the extent is not known and the determination will be from the state electrical inspector

As well as us.

This price also does not include the disconnect and reconnect fee from EXCEL.

Thank you for the chance to price out this project

Sincerely,

Lex Lively

Lively Electric Inc.

Always On Electric, Inc.

279 County Rd 216
Rifle, CO 81650

Estimate

Date	Estimate #
2/7/2023	1919

Name / Address
New Castle Historical Society 116 4th St New Castle CO 81647

Project

Description	Qty	Rate	Total
Labor and materials to replace existing panel and meter . We will install this new panel on the outside of the building with breaker panel on the outside also.	1	2,850.00	2,850.00
200 amp outdoor meter /panel	1	485.00	485.00
GRC 2inch pipe	2	140.40	280.80
weatherhead	1	25.00	25.00
4/0 URD wire	25	5.75	143.75
Breakers 15a single	4	12.25	49.00
Breakers 20a single	2	12.50	25.00
Breakers 20a 2 pole	1	18.70	18.70
Misc supplies	1	50.00	50.00
Permit	1	125.00	125.00
Labor to install 2 ceiling mounted heaters (1 in main room and 1 in front area)	1	720.00	720.00
ceiling garage heater with remote control for T stat	2	370.25	740.50
10/2 mc wire	160	2.70	432.00
Breakers 30a 2 pole	2	22.50	45.00
Breaker lock off	2	11.75	23.50
Labor to replace existing florescent lights with LED fixtures in same location. (6- 8ft & 2- 4Ft)	1	825.00	825.00
LED wrap lights 5 k 4 ft	14	125.00	1,750.00

	Total	\$8,588.25
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Phone # 970-309-2616 Fax #
alwaysonelectric@hotmail.com

1 **New Castle, Colorado**
2 **Historic Preservation Commission Meeting**
3 **Monday, February 13, 2023, 6:30 PM**

4 **Call to Order**

5 Commission Chair Mari Riddile called the meeting to order at 6:30 p.m.
6

7 **Pledge of Allegiance**
8

9 **Roll Call**

10 Present	Chair Mari Riddile
	Commissioner Richard Parks
	Commissioner Brandy Copeland
	Commissioner Ruth Fletcher
	Commissioner Richard Fletcher
	Alternate Commissioner Tom Fuller
16 Absent	(none)

17
18 Also present at the meeting was Deputy Town Clerk Remi Bordelon.
19

20 **Meeting Notice**

21 Deputy Clerk Bordelon verified that her office gave notice of the meeting in accordance
22 with Resolution TC 2020-1.
23

24 **Conflicts of Interest**

25 There were no conflicts of interest.
26

27 **Citizen Comments on Items NOT on the Agenda**

28 There were no citizen comments.
29

30 **Agenda Changes**

31 There were no changes to the agenda.
32

33 **Items for Consideration**

34
35 **Consider \$2,500 of the HPC General Fund be Applied to Museum Facility**
36 **Improvements**

37 Chair Riddile confirmed the commission received two quotes for the electric work for the
38 museum and one additional quote was pending. She said Electrician Jim Wirt had quoted
39 \$5,000 but did not include the lighting or a formal inspection. She said the second quote
40 came from Always on Electric for \$8,600 and included the lighting cost. Chair Riddile said
41 she spoke with Town Administrator Dave Reynolds who confirmed the best course of
42 action would be to request the funds from the Capital Improvement Committee to
43 complete the work in 2023 as it was originally budgeted and planned for 2022. She asked
44 what was the total for the general fund. Deputy Clerk Bordelon confirmed Council
45 approved six thousand for HPC's general fund. Deputy Clerk Bordelon said the six
46 thousand was planned by the commission to be split between general funds and the
47 commission's videography project. Chair Riddile noted that there would be money left
48 over to use towards HPC conferences and training opportunities.
49

50 Commissioner Parks asked what the general fund normally finances and Chair Riddile
51 answered that designations usually came out of the general fund, but for 2023 there was

52 a separate funding category to support designations. Commissioner Ruth Fletcher asked if
53 the Jolly's Foundation intended to donate to the Historic Society and if that donation could
54 be used for electric work. Chair Riddile said she would contact Brett Jolly and ask. Deputy
55 Clerk Bordelon clarified that the museum was a town facility and the suggestion from
56 Town Administer David Reynolds was to budget museum facility work through the town's
57 budget. Deputy Clerk Bordelon said donations to the Historic Society could be used for
58 other opportunities. Chair Riddile confirmed and said the money needed to come from the
59 town since the museum was a town building.

60 **MOTION: Chair Riddile made a motion to approve \$2,500 of the HPC General**
61 **Fund be Applied to Museum Facility Improvements. Commissioner Ruth Fletcher**
62 **seconded the motion and it passed unanimously.**

63 64 65 **Commission Discussion of Designation Process and Formation of Outreach Letter** 66 **to Property Owners**

67 Chair Riddile shared with the commission a number of private property owners who had
68 expressed interest in applying for historic designation. The commission considered who to
69 prioritize and who to outreach to. Commissioner Ruth Fletcher said it would make sense to
70 prioritize those who wanted to be designated and who have reached out to the
71 commission. Alternate Commissioner Fuller identified the criteria the commission should
72 consider based on his professional experience. He identified the following four criteria:
73 association, significance, architecturally significant and potential for further research such
74 as prehistoric. Deputy Clerk Bordelon said the designation criteria can be found in the
75 town's municipal code. Chair Riddile noted that Planner Paul Smith presented the staff
76 reports and the applicant was responsible for providing the building's history. Chair Riddile
77 proposed to gauge the scope of interest of property owners by reaching out to them,
78 directly asking if they want to be designated before sending letters discussing historic
79 designation. Deputy Clerk Bordelon quickly summarized the designation process for the
80 commission. The commission discussed the contents of the outreach letter:

81
82 *This letter is intended to notify you that your property may be eligible for historic designation*
83 *based on town criteria. The Historic Preservation Commission would like to invite you to attend*
84 *a regularly scheduled meeting in order to share information with you regarding designation*
85 *criteria and gauge your interest. Please contact the Deputy Town Clerk, Remi Bordelon, to*
86 *schedule an agenda meeting date with the Historic Preservation Commission by calling*
87 *(970) 984-2311. Regularly scheduled meetings are held the third Monday of each month at 6:30*
88 *p.m. Should you have any questions or concerns please contact the chair of the Historic*
89 *Preservation Commission, Mary Riddile at (970) 948-0061 or by email at maririddile@gmail.com.*

90
91 The commission agreed to send the letter to property owners who have expressed interest
92 in historic designations and to explain to them the timeline to process a designation.

93 94 95 **Consider Approval of January 9, 2023 Minutes**

96 **MOTION: Commissioner Ruth Fletcher made a motion to approve the minutes of**
97 **January 9, 2023. Commissioner Parks seconded the motion and it passed**
98 **unanimously.**

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Commissioner Comments

There were no commissioner comments.

Adjourn

MOTION: Chair Riddile made a motion to adjourn. Commissioner Ruth Fletcher seconded the motion and it passed unanimously.

The meeting adjourned at 7:07 p.m.

Respectfully submitted,

Commission Chair
Mari Riddile

Deputy Town Clerk
Remi Bordelon

DRY