

Posted: _____

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Town of New Castle
450 W. Main Street
PO Box 90
New Castle, CO 81647

Administration Department
Phone: (970) 984-2311
Fax: (970) 984-2716
www.newcastlecolorado.org

Agenda

New Castle Planning and Zoning Commission Regular Meeting Wednesday, December 10, 2025, 7:00 PM

Virtual Meetings are subject to internet and technical capabilities.

To join by computer, smart phone or tablet:

<https://us02web.zoom.us/j/7096588400>

If you prefer to telephone in:

Please call: 1-346-248-7799

Meeting ID: 709 658 8400

Follow the prompts as directed. Be sure to set your phone to mute until called on

Call to Order, Roll Call, Meeting Notice

Conflicts of Interest

Citizen Comments on Items NOT on Agenda

Items for Consideration

- A. Consider Resolution PZ 2025-2 A Resolution of the New Castle Planning and Zoning Commission Recommending Conditional Approval of a Final Subdivision and Plat Preliminary/Final PUD Development Plan Application For Riverside Park Lot 1**

Public Hearing

- B. Consider PZ 2025-5, A Resolution of the New Castle Planning and Zoning Commission Recommending the Amendment of Provisions of Title 17 of the Town Municipal Code Concerning Food Trucks**

Comments/Reports

- Items for Next Planning and Zoning Agenda
- Commission Comments/Reports
- Staff Reports

Review Minutes of Previous Meetings

- C. Consider Approval of November 12, 2025, Minutes**

Adjournment



Town of New Castle Planning & Code Administration
450 W. Main Street
PO Box 90
New Castle, CO 81647
Department
Phone: (970) 984-2311
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Staff Report

Coal Seam
Preliminary/Final PUD, Lot Split, and Variance Application
Resolution PZ 2025-02
Planning & Zoning Commission (P&Z)
December 10th, 2025
(continued from July 23rd, 2025 & May 28th, 2025)

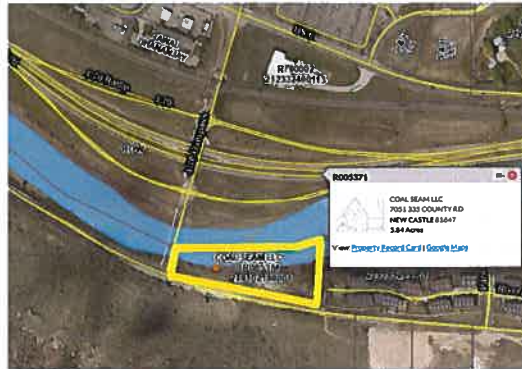
Report Compiled: 12/31/2025

Project Information

Name of Applicant: Coal Seam, LLC
Phone/Email: 970-618-3555/abdi@aspenbuilt.net
Property Owner: Coal Seam, LLC
Property Address 7051 CR 335
Proposed Use: 71 room Best Western Signature Hotel, Restaurant/~~Brew Pub, 4 – one bedroom~~44 employee residences, ~~retail/commercial spaces;~~
Allowed Zoning: Highway Business/PUD per Ordinance 99-5
Proposed Zoning: Mixed Use PUD
Surrounding Zoning: Industrial
Garfield County, Rural Low Density
Residential, River Park Condos

Introductory Summary

Coal Seam, LLC is a local developer proposing a hotel, restaurant, and [workforce housing - live/work](#) concept east of the I-70 interchange, south of the Colorado River. The endeavor offers several community amenities with economic benefits in a central Colorado River Valley location. The site contemplates a 71 unit Best Western "Signature" hotel, a model which allows franchisees the chance to curate design features to better suit the locale. The hotel will sit adjacent to a restaurant/brew pub that can be accessed by river floats. The restaurant [sits atop four, one-bedroom residential units is surrounded by live/work units](#) that will help offset workforce housing needs while supporting New Castle's commercial base.



The property was originally annexed in 1999 as Lot 1 of a three zone district PUD including the current River Park condominiums and Grand River Park. The ordinance approving the initial zoning for Lot 1 upon annexation (Ordinance #99-05) provides that all provisions of the Town's Highway Business zone district apply to Lot 1, subject to the additional provisions and design standards included in the Ordinance. Ordinance #99-5 also indicates that development on Lot 1 is subject to both the preliminary and final PUD Plan application processes. To expediate this process, the Applicant requested these two distinct applications be combined pursuant to Section 17.100.050 (A). On September 27, 2023, The Planning Commission (P&Z) voted unanimously to combine the application steps with the condition that the preliminary and final application steps be considered separately if P&Z finds the combined application to be insufficient for final approval.

The combined application packet was deemed complete on April 11th, 2025. Unless the commissioners decide otherwise, the review will proceed with the [continuation of the](#) public hearing resulting in one of three recommendations to Town Council: 1) approve the application unconditionally; 2) approve the application with conditions; Or 3) deny the application. A Final PUD application assesses zoning conformance, compliance with Public Works requirements, the suitability of utilities and infrastructure, compatibility with the comprehensive plan, and address any adverse impacts to the town. By final approval, all civil drawings should attain construction level readiness. Within thirty (30) days after the close of the public hearing, or within such time as is mutually agreed by the P&Z and the Applicant, the commission's decision will be made by written resolution. [Since the public hearing has already been continued twice, a further](#) continuance may not be allowed [without re-noticing](#), pursuant to Section 16.08.040(G).

Within sixty (60) days from the date of the P&Z's written recommendation on the application, or within such time as is mutually agreed by the Town Council and the Applicant, the Town Council shall approve the application, with or without conditions, or deny the application. Town Council's decision will be made by ordinance which shall be introduced twice at a Town Council

meeting and, if approved, shall take effect 14 days after final publication pursuant to Article IV of the New Castle municipal code.

II Staff Review:

Throughout the application process, application documents will be reviewed pursuant to the criteria outlined in the Municipal Code (MC) for planned unit developments (PUDs) and subdivisions. At the final plan stage, an application shall show conformity to the following criteria (MC 17.100.050(H)):

1. Consistency with the comprehensive plan;
2. Compliance with zoning and density requirements;
3. Compatibility to neighboring land uses;
4. Availability of town services from public works (including water and sewer services), fire, and police;
5. Adequacy of off-street parking and vehicle, bicycle, and pedestrian circulation;
6. The extent to which any required open space or parks are designed for active or passive use by residents of the subdivision or the public; and
7. Development is consistent with the natural character, contours, and viewsheds of the land.

1) Is the proposal consistent with the comprehensive plan?

Applicants are expected to demonstrate substantial conformity with the CP in all applications (**Policy CG-1B**). The checklist below, though not exhaustive, provides a tool for reviewers to assess conformance with the CP:

- Foster distinctive, attractive communities with a strong sense of place and quality of life.
- Demonstrate that individual project fits into a fully-balanced community land use structure.
- Ensure a mix of uses that complement the existing New Castle land-use patterns.
- Create walkable communities with non-vehicular interconnection between use areas.
- Guarantee a balance of housing types that support a range of affordability.
- Preserve open space, farmland, natural beauty, critical environmental areas, and wildlife habitat.
- Encourage economic development and supporting hard & soft infrastructure.
- Concentrate development in ways which provide efficient and cost-effective services.

Coal Seam aspires to fulfill many of the values and goals listed above:

1. The project provides a much in demand commercial base with hotel, ~~retail/office~~, and dining space in a highly visible location off of Interstate 70 (**Goal E-; Policy E-1E**). ~~Though retail/office occupancy is currently not being considered, the Applicant is proposing a list of potential uses-by-right so that future business prospects are not unnecessarily burdened by lengthy conditional use reviews. At the moment, retail occupants are currently unknown. Because of the limited number of permitted uses, it will be important for the Applicant and Commissioners come to a consensus on future uses so that fewer businesses will be subject to conditional use permit procedures.~~
2. The proposal provides four residential units for its commercial tenants ~~solving to address for~~ the residential/commercial imbalance (**New Castle Community Vision, CP, page 8; Also Goal CG-4**).

3. A river trail with potential boater access provides a unique river experience (**Goal RT-1**) which helps preserve natural habitat (**POST-4A**). The proposal also preserves the LoVa trail access along CR 335 (**Policy POST-3F**).
4. Building aesthetics will blend with the local topography, landscape colors, and historical mining structures to temper viewshed impacts (**Goal EN-6**).
5. EV charging will be available per state requirements with a nod towards sustainability (**Goal EN-7**).
6. Market rate Workforce housing will be available for employees of the development as right of first refusal (**Goal HO-1 & 2**). Any remaining units will be made available ~~for reduced rent~~ to Town of New Castle employees then the the local workforce at large. An ~~affordable~~-housing agreement covenant is provided in in the packet.
7. A fiscal impact study was performed comparing revenues and costs projected to the Town. The study assesses whether the project will provide a net financial benefit for at least the next 15 years. Items on the revenue side include: use tax, tap fees, lodging tax, sales tax, property tax, and incremental revenues; The cost side is mainly derived from the general fund expenditure per person as provided from the Town budget. Revenues during that time range from ~~\$260k 400k~~ to ~~\$355k 500k~~ with expenses ranging from ~~\$62k 97k~~ to ~~\$84k 110k~~. In sum, the development is projected to generate a total of ~~\$3,989,808 4,347,429~~ over the first 13 years once fully operational which does not included \$1,053,146 in construction revenue generated at permitting. The Town's Finance Department has reviewed the assumptions with comparable results.

2) Does the proposal demonstrate compliance with zoning and density requirements?

Zoning: The property, "Lot 1" is part of the original Riverside Park PUD zoned Highway-Business (HB). It is "an area for highway oriented commercial development along major arterial and collector highways in such a manner as to minimize interruption of traffic flow, safeguard pedestrian movement, and optimize the aesthetic appearance to passing motorists" (Chapter 17.60). Permitted uses are few (e.g. underground utilities, open space, accessory uses, offices, police station, retail/office, and laundry). However, by virtue of the PUD application process (Section 17.124.010), the Applicant can specify as part of its PUD plan which uses are permitted, conditional, or prohibited (Section 17.100.020(C)). As such, those uses listed in the Highway-Business zone district as conditional use list can become uses by right through the PUD plan. Some ~~of these~~ current conditional uses include:

1. Church/religious institution;
2. School;
3. Museum;
4. Public institution;
5. Retail and wholesale business;
6. Eating and drinking establishment;
7. Personal, social and professional service;
8. Automobile service station;

9. Vehicle sales lot;
10. Retail or service business;
11. Hotel, motel, or lodge.

Note each of the Applicant's proposed uses are found on the list above.

Setbacks: The required minimum setback from property lines in the HB zone is 20 feet. All structures are setback from the perimeter property line by the required distance. However, the interior lot lines formed by the subdivision of the hotel property from the restaurant property shows a setback of only 14 feet, or six feet less than what is required. Ordinance #99-5 allows for variations from the Highway Business setback requirements through the preliminary and final PUD plan process. Staff has reviewed the proposed setbacks and does not have a concern.

Building Heights: The HB zone allows 30' building heights and two stories for permitted uses. For PUD and conditional use applications, heights are discretionary. The hotel structure is the tallest extending nearly 50' from grade to the ornamental extensions above the roof (**Exhibit A, page 325**). The bulk of the hotel is roughly 42' (i.e. less ornamentation). The ~~retail~~ restaurant building will rise roughly 42' above grade (**Exhibit A, page 326-329**). Importantly, the Applicant's architect was careful to limit the structure heights to those similar to the River Park Condominiums (**Exhibit A, page 331**). In this way Grand Hogback viewsheds are preserved. The 40'-50' building height is similar to the height's approved in various land use applications to date including: the River Park Condos, the Fire House, Shibui, Senior Housing, Longview (Romero), R2 (9NWH).



3) Does the proposal demonstrate compatibility to neighboring land uses?

South of Interstate 70 and the Colorado River, the Coal Seam parcel adjoins the Riverpark Condominiums directly to the east, Garfield County rural zoning to the south, and the New Castle Industrial District & Breslin Park to the west. The project is also part of what the Comprehensive Plan deems a community "gateway" affording first impressions and a source of identity to the Town (**CP, page 73**). A hotel, restaurant, ~~and residential, and retail~~ proposal, whose architecture and style blends with the local history and topography and that serves a unique function among a diversity of surrounding uses, seems suitable to the neighboring properties.

Specifically, the Applicant adopts architecture styles that compliment New Castle's history with a focus on structural and material similarity (e.g. architectural mining themes were added to the exterior of the buildings). Varying roof heights, offsets,



and terracing of the buildings are all efforts the Applicant is employing to abate concerns with massing. The parking lot is designed to face south behind the buildings, screening the lot from the river and parts of Town to the south. Per town code 17.76.110(c)(3)&(4), at least ten percent of the parking lot is landscaped and screened from adjoining residential uses.

4) Is there availability of town services from public works (including water and sewer services), fire, and police?

Police: The Police Department currently consists of ~~12.5~~twelve FTEs and one special piece of "equipment" known as Kip which is ideal for a town the size of New Castle. Generally, additional FTEs are considered for every increase of 500 residents. Therefore, the Police Chief concludes that there would be no compromise with police service as a result of a slight population increase.

Fire: CRFR has commented on the status and maintenance of the emergency access easement on the southeast end of the lot. The egress provides the quickest route to CR 335 for the properties furthest west in the River Park Condos. Future maintenance of the egress is the responsibility of the River Park Condo Association for the use of their residents. For their part, Coal Seam will refrain from any development within the prescribed easement, a concern not yet addressed in the packet, though it could be something negotiated with the River Park HOA prior to Council approval. The fire department will review all other IFC requirements prior to permitting.

Engineering: The Town Engineer has cited several items that are still insufficient for Town Council's approval but sufficient for P&Z's review~~final review and recommendation~~. These items shall be updated to the engineer's satisfaction prior to Council review approval~~and comment~~. Some of these items include:

- Update EQR summary for restaurant retail reconfiguration.
- Address redline comments on civil drawings provided by SGM 12/2/25.
- Include updated signage and stripping details.
- Clarify erosion control, berm design, and drainage plan per SGM comments.
- Clarify ADA ramp provisions.
- ~~Coordination with CDOT on the volume increases to the I70 interchange;~~
- ~~An auxiliary turn lane analysis for access off of CR 335;~~
- ~~A sight distance analysis at Bruce Rd and the CR 335 interchange;~~
- Update final design for shared sewage lift station;
- Provide final construction details from Applicant engineer (ongoing);
- ~~Redesign rockfall berm with rounded top to account for erosion;~~
- Provide design cross-sections for berms, trails, C&G;

- Provide cross-sections for access to CR 335;
- ~~Update storm drainage design;~~

Public Works: Water and sewer is available for the property. Public Works cautions against obstructions to any utility easements especially near the rockfall mitigation berm (Exhibit E, page 317). Clearances will be verified prior to Council.

5) Is there adequate off-street parking and vehicle, bicycle, and pedestrian circulation?

Off-Street Parking: Due to the constraints of surrounding land uses and topography, there are no feasible on-street parking alternatives in the immediate vicinity. Therefore, off-street parking will be a critical part of the project's success. Off-street parking requirements relevant to the application are as follows:

- Residential (4.44 units): two spaces/unit = 8.22 spaces;
- Hotel Use (71 rooms): 1 space/room + 1 space/two employees = 73;
- ~~Restaurant Use (60 seat capacity): 1 space/3 seats = 20;~~
- ~~Retail (4,408sf): 2 spaces/300sf = 30;~~

Total Off-Street Parking Required: 101.45 spaces

Total Off-Street Parking Planned: 109.15 spaces

The elimination of the retail spaces and reduction in residential occupancy resulted in a significant cut to the project's parking needs. With the revisions, the off-street parking requirements are now satisfied with a surplus of eight spaces. It is important to note that the residents will be "assigned" only one space per unit though two spaces per unit are technically available as shared parking within the property. The Applicant will manage the assigned residential parking through the covenants. Because of the shortage, the Applicant has requested consideration of a shared parking plan (Exhibit E, page 321). A shared parking arrangement is not unprecedented in New Castle. The Lakota Longview application (Romero), for instance, allowed for a 40% reduction in required parking. There the shared parking arrangement was supplemented by yearly audits, performance measures, and mitigation strategies in case the arrangement was ineffective.

In the case of Coal Seam, the parking reduction stands at only 21%. However, a shared parking arrangement at this location could still prove challenging. Shared parking arrangements trade on an equilibrium of peak times among the various uses in a location. For example, office users generally have offsetting peak times to residential uses, allowing for office users to occupy nearby residential spaces when those residents are off to work elsewhere. Or, restaurant users may occupy office parking at night when offices are closed. The peak parking times balance making shared parking a reasonable way to lower capital expenses, minimize maintenance, and reduce parking lot sprawl.

With Coal Seam, the intended uses all lend themselves to evening parking (with retail as a possible exception). Hotel, residential, and restaurant parking all skew towards evening peaks leaving patrons of these establishments to compete for limited spaces. Moreover, even if the hotel is only 65% occupied, as the application maintains, hotel users will still need to share 5 spaces from the other businesses. All of this may be acceptable if

alternatives were available nearby—e.g. on-street parking or parking at Grand River Park. The Town has floated an idea to Balcomb/City Market management about the possibility of sharing 15-30 spaces in their lot. Their response was understandably tepid. If considered, the arrangement would require an available shuttle by the hotel. As a result of these concerns, P&Z should be absolutely clear of the provisions for shared parking and fully confident in a contingency plan if the strategy proves problematic.

Vehicular Circulation: One idea to address parking concerns would be to extend the parking lot further west toward the CDOT bridge. Though this could add up to 7-9 spaces, there are inherent problems with this solution. First, it reduces the required snow storage. Snow management will be an important aspect of this property given that the parking lot is shaded most of the day through winter. Second, a significant retaining wall would be required to extend the lot. The west end of the lot already shows 14' of retainment. The cost of this is prohibitive considering so few parking spaces are gained. Lastly, there is a good possibility that CDOT will require a westbound right turn or splitter lane with a traffic circle at CR 335 and Bruce Rd. once bridge replacement becomes a reality. This modification to CR 335 would likely encroach on a parking lot extension to the west.

Nonvehicular Circulation: The Applicant has made a point not to disrupt the general LoVa trail alignment. The parking lot will also be wrapped with sidewalks that allow uninterrupted paths to all portions of the property. Additional soft trails will extend from the mixed-use area north towards the river and then to the east and west along the river.

6) Are the required open space or parks designed for active or passive use by residents of the subdivision or the public?

The Applicant is not required and does not intend to designate open space to the Town. However, there are connecting trails and waterfront open areas allowing access for patrons. Though no formalized paths continue to either the east or west, historic use paths along the entirety of the riverbank do exist at low flows. Ten percent of the total land area will be landscaped per Section 17.60.090. Additionally, 10% of the parking area will be landscaped. Otherwise, active open space is available to patrons at Grand River or Breslin Parks which can all be reached via the LoVa trail.

Commented [PS1]: Discuss trail proposals once completed



7) Is the development consistent with the natural character, contours, and viewsheds of the land?

The proposal values the preservation of natural landscape and viewsheds to the south. Structures are purposely stepped from back-to-front to minimize cutting and of the existing

slope. South elevations have also been reduced to two levels to improve contouring with the steep topography and soften visual impacts.



To conserve water and limit landscape maintenance such as mowing, Staff encourages drought resistant vegetation and seeding with native grasses to restore disturbed areas to their original state. Sod and landscape irrigation, likewise, should be used sparingly to limit the need for landscape maintenance. Modestly mowed buffers and borders can provide a satisfying manicured look needing little maintenance.

V Staff Recommendations

Staff offers the following recommendations to the preliminary/final PUD application:

- A. Prior to Council review, Applicant will add a update the list of permitted and conditional uses proposed in the application narrative and maximum building height to the Site Plan prior to Town Council review.
- B. Prior to ~~the~~ Council review, the Applicant shall demonstrate compliance with all recommendations of the Town Engineer, Town Public Works Director, Town Attorney, and Fire Marshal provided in response to review of the Application, **Exhibits B, C below, D.**
- C. Prior to permit, final construction drawings shall demonstrate compliance with the building heights included in the approved application materials, **Exhibit A, page 325.**
- D. Prior to permit all construction drawings subject to the provisions of the International Fire Code or matters requiring fire alarms and/or fire suppression shall be submitted to the Fire Marshal for review and comment.
- E. Parking lot lighting should be on timers to reduce the light duration at night while maintaining security lighting as needed.
- ~~F. Provisions for an emergency access easement shall be designated on the final plat, as emergency egress for residents of the River Park Condominiums and ingress and egress for emergency personnel per the recommendations of the Fire Marshal (Exhibit A, page 287). The access road shall be signed "Emergency Access Only".~~
- ~~G. Prior to Council review, Applicant shall discuss a maintenance agreement with the River Park HOA for the emergency access easement.~~
- ~~H.F. Prior to Council review, provide design for All trash dumpsters shall be located within~~

an approved trash enclosure that extends six feet high and includes a bear resistant latching mechanism.

I.G. The form of the declaration of covenants for the Property shall be finalized and address any Town Attorney comments before consideration of the Application by the Town Council. Recordation of the declaration of covenants shall be accomplished at or before recording of the final plat.

J.H. A parking management plan shall be added to the covenants prior to final approval with provisions for reserved parking for the residential units.

K.I. A subdivision improvements agreement ("SIA") containing an engineer's stamped cost estimate of public improvements, to the satisfaction of the Town Attorney. The form of the SIA shall be finalized before consideration of the Application by the town council. Recordation of the SIA shall be accomplished at or before recording of the Final Plat.

L.J. Provide a construction phasing plan for inclusion in a subdivision improvements agreement as necessary. Identify, at minimum, each of the following components:

- Buildout phases if necessary;
- Schedule that identifies the sequencing of construction, sequencing of occupancy, traffic flow, and traffic control plans during construction;
- Storage and staging areas for construction equipment and materials;
- Illustrate drainage and erosion control best management practices (BMP's);
- Conformance to all requirements and specifications approved by the fire marshal concerning temporary access to the project;
- Dust and weed management plan;

K. Landscaping shall incorporate native grasses and plants that minimize maintenance, mowing, and irrigating. The landscape plan shall be approved by Public Works prior to issuance of building permit.

M.L. As depicted in the submittal materials, an unimproved, single-track trail system shall be made available for patrons of the property as well as to the general public. The Town will consider building a trail connector between the proposed trail system and the current trail system at Grand River Park.

N.M. All disturbed areas in the project shall be revegetated prior to the 1st growing season following the completion of the entire project and maintained in a predominantly weed free condition.

Q.N. All representations of the Applicant made verbally or in written submittals presented to the Town in conjunction with the Application before the Commission or Town Council shall be considered part of the Application and binding on the Applicant.

P.O. The Applicant shall reimburse the Town for any and all expenses incurred by the Town regarding this approval, including, without limitation, all costs incurred by the Town's outside consultants such as legal and engineering costs.

Q.P. The sale of individual lots, parcels or units may not occur until a plat creating the lot,

parcel or unit is recorded with Garfield County and security for the public improvements has been received by the Town.

R.Q. The Applicant shall provide an affordable housing covenant that includes definition of the number of restricted units, the calculation of below market rents, the workforce that qualify to live in the units, and the term for which the affordable housing covenant shall be in force. The affordable housing covenant shall be finalized before consideration of the Application by Town Council. Recordation of the affordable housing covenant shall be accomplished at or before recording of the Final Plat.

VI Final Plan Updated Exhibits 12/3/25:

- A. Abridged Applicant Packet – November 25th, 2025
- B. Applicant Response to Town Engineer – October 30th, 2025
- C. Town Engineer Review – December 2nd, 2025
- D. Redlined Civil Set by Town Engineer – December 2nd, 2025
- A. Applicant Final Plan Application – March 21st, 2025
- B. CRFR Fire Marshal Referral, Orrin Moon – March 13th, 2025
- C. Town Engineer Comments, Jeffrey Simonsen – March 8th, 2025
- D. Town Public Works Director Comments, John Wenzel – March 15th, 2025
- E. Public Hearing Notice, with Legal Description for Final Plan P&Z – April 25th, 2025

May 8, 2025

Mr. Dave Reynolds, Town Administrator
Town of New Castle
P.O. Box 90
New Castle, Colorado 81647

**RE: Lot 1 Highway PUD, 7051 County Road 335
Preliminary Plat, Final Plat, Preliminary PUD, Final PUD Review**

Dear Dave,

The purpose of this letter serves to provide comments, concerns and questions regarding the proposed development of 7051 County Road 335, Lot 1 Riverside Subdivision. To conduct this review, we are in receipt of the Coal Seam Compiled Land Use Application, (354 pages) and have reviewed the following engineering submittal information from the application:

- Exhibit A - Legal Description
- Exhibit C - Geotechnical Subsoil Study (HP Geotech)
- Exhibit D - Traffic Impact Study (Kellar Engineering)
- Exhibit E - Water + Sewer Report
- Exhibit H - Rockfall Mitigation Report
- Exhibit M - Will Serve Letters
- Exhibit N - Drawing Package
 - Plat (Pinnacle Design Consulting Group)
 - Survey (Tuttle Surveying Services, Inc.)
 - Floodplain Maps (Schmueser Gordon Meyer Engineers & Surveyors)
 - Civil Plans (Pinnacle Design Consulting Group)
 - Civil Drainage Report (Pinnacle Design Consulting Group)
 - Landscape + Irrigation Plan (The Stevens Group, Inc.)
 - Rockfall Mitigation Plan (CTL Thompson)

The general engineering comments provided for the initial review in June 2024 were responded to by the Applicant in a letter dated January 17, 2025 and provided in the submittal package. The Applicant has submitted general information requested in the SGM email to the town dated 6/25/24 which has provided the ability to perform a more complete and specific final plat and construction review of the project.

Exhibit A – Legal Description
See attached survey review comments

Exhibit C - Geotechnical Subsoil Study (HP Geotech)
The subsoil study provided is for *Riverside Park Townhome Development* dated August 1999 completed on the previously developed property immediately east. The scope for the study does not include the Lot 1 Highway PUD project area.

Updated, RE: **Exhibit C - Geotechnical Subsoil Study**

RE: Comment Responses from CTL compiled at the end of this document.

Exhibit D - Traffic Impact Study (Kellar Engineering)

1. Since the development is immediately adjacent to the I-70 interchange and increases the design hourly volume on the “access” to I 70, the study should be prepared in accordance with section 2.3(5) of the State Highway Access Code for a Level Two analysis and coordinated with CDOT.
2. March 21, 2024, AM traffic data collected by ATD is missing from the appendix.
3. The project trip generation calculation appears to overestimate trip generation as it does not include the residential component and substitutes higher generating retail and restaurant uses in place of the planned 11 residential units. Pasted below is a comparison spreadsheet below based on interpretation of the submittal.

Trip Generation														
ITE Trip Generation, 11th Edition														
KELLAR TIS Land Use	Number of Units	ITE Code	Weekday Rate	Design Hour Rates						Weekday Traffic	Weekday Design Hour Traffic			
				AM Rate	AM Entering	AM Exiting	PM Rate	PM Entering	PM Exiting		AM IN	AM OUT	PM IN	PM OUT
Hotel	71	310	7.99	0.46	0.27	0.19	0.59	0.32	0.27	375	19	13	23	19
Strip Plaza (<40k)	16.47	822	54.45	2.36	1.42	0.94	6.59	3.30	3.30	925	23	16	54	54
Restaurant	8.85	932	107.20	9.57	5.26	4.31	9.05	5.52	3.53	949	47	38	49	31
TOTAL TRIPS:										2,249	89	67	126	104
per access										45		63		

"PLANNED" LAND USE Land Use	Number of Units	ITE Code	Weekday Rate	Design Hour Rates						Weekday Traffic	Weekday Design Hour Traffic			
				AM Rate	AM Entering	AM Exiting	PM Rate	PM Entering	PM Exiting		AM IN	AM OUT	PM IN	PM OUT
Multi-Family (Low-rise)	11	220	13.27	2.39	0.57	1.81	2.30	1.45	0.85	146	6	20	16	9
Hotel	71	310	7.99	0.46	0.27	0.19	0.59	0.32	0.27	375	19	13	23	19
Strip Plaza (<40k)	5.666	822	54.45	2.36	1.42	0.94	6.59	3.30	3.30	469	8	5	19	19
Restaurant	4.73	932	107.20	9.57	5.26	4.31	9.05	5.52	3.53	507	25	20	26	17
TOTAL TRIPS:										1,497	58	58	84	64
per access										29		42		

4. Provide an evaluation of the need for a State highway Access Permit based on comparison of project traffic versus 2024 traffic on Bruce Road. The development appears to require a State Highway Access Permit based on the 20% threshold.
5. Provide an Auxiliary Turn Lane analysis for the project accesses at CR 335. Auxiliary turn lane requirements for access to roadways are based on the projected DHVs, the speed limit and geometry of the highway adjacent to the access, and the classification of the roadway. CDOT SHAC are typically used by local agencies where local standards do not exist. The project traffic appears to warrant an eastbound left turn lane at each project access.
6. The operational analysis appears acceptable. The study should include a brief discussion of 95th percentile queue lengths at the study intersections.
7. Address the Garfield County LUDC Standards for a Major Collector standard at volumes greater than 2501 vpd.
8. Provide a sight distance analysis at the Bruce Road / CR 335 intersection and project intersections with CR 335.

Exhibit E - Water + Sewer Report Provided, RE: Exhibit E - Water + Sewer Report

1. Provide a PE stamp on the report.
2. Provide discussion of EQR Summary and Fee spreadsheet in the body of the narrative, include total EQR's, equivalent design flows for water and sewer, and calculated fee.
3. Provide final design information for the increased total flows for the shared Sewage Lift Station. Include pumping requirements, float locations, pipe size verification / confirmation.
4. Provide basis for WSFU count to GPM flows and/or Town EQR's and include discussion in the narrative.

Exhibit H - Rockfall Mitigation Report

No comments.

Exhibit M - Will Serve Letters

Final design coordination to be completed with Xcel for electric service connections.

Xcel needs final approved plat from the TONC before they will design. RE: Exhibit M - Xcel Email

Exhibit N - Drawing Package

Plat (Pinnacle Design Consulting Group)

Survey (Tuttle Surveying Services, Inc.)

See attached survey review comments

Survey dated May 2015 – prior to paved trail

Floodplain Maps (Schmueser Gordon Meyer Engineers & Surveyors)

No comments.

Civil Plans (Pinnacle Design Consulting Group, Stamped and dated 11/27/24)

1. Overall comments below, see marked up pdf plan comments for additional detail and clarification.
Marked up pdf's were reviewed. RE:C1-C18
2. For the construction drawings, the engineer will need to provide all anticipated details for construction in the plan set to avoid any interpretation issues during construction between the contractor/engineer and Town. All work will need to be performed in accordance with the Town's Public Works Manual.
Details are shown on the plan set. RE:C1-C18
3. We anticipate that the project is going to be constructed in a single phase, however, if it becomes necessary to phase the project, it will be necessary to provide phasing plans for the improvements to assure utility service, access and emergency services can be provided with future infrastructure improvements also being secured.
Single phase.
4. Notes and Legend
 - a. Update per comments.
These were updated. RE: C1
5. Grading, Drainage, and Erosion Control Plan
 - a. Show Rockfall Berm grading and details on civil plan.
 - i. Berm as designed is not maintainable and susceptible to erosion and will require a rounded or flat top area with consistent 3-foot height.
Berm has been changed. RE:C5
 - ii. Berm currently encroaches into the existing asphalt trail.
Proposed berm does not encroach onto asphalt trail. RE:C5
 - b. Provide multiple cross sections of CR 335, Trail, and proposed Rockfall Berm and Curb & Gutter to understand surface drainage impacts in CR 335 ROW. Provide adequate drainage solutions to protect asphalt trail edges from surface drainage ponding.
3 sections have been provided and a french drain has been added. RE:C4
 - c. Provide plans and details for trail reconstruction as needed. Lack of a recent field survey results in uncertainty of trail location that needs to be resolved in the plans.
Trail is shown as surveyed with reconstruction locations. RE:C2
 - d. Provide profile for each access to CR 335, with construction level detail for tie-in to the existing road and trail crossing.
Construction level detail complete with spot elevations. RE:C3
 - e. Provide detailed spot elevation grading in areas between and adjacent to buildings to ensure adequate surface drainage away from buildings per geotechnical

recommendations.

Spot elevations have been updated. RE:C2

- f. Provide construction detailing (spot elevation and layout) for ADA Ramps at parking Interface.

Spot Elevations have been added. RE:C2

- g. Provide Storm Drain system profile of 15" piping and include invert elevations for area and trench drains (add details) and 6" piping connection to storm drain manholes and inlets.

Plans include profiles. 6" piping has been eliminated. RE:C2, C5

- h. For storm drain utility crossings, confirm adequate frost protection will exist or provide Insulation.

There is adequate frost protection based upon separation. RE:C2, C3

- i. Provide construction details for Stormtech Chambers, including detailed plan, cross section, inlet, outlet, volumes and design storm. Also noting the maintenance and access Route.
Storm Chambers have been deleted.
 - j. Provide detail for French Drain, including minimum separation from building foundation.
French drain near building has been deleted.
 - k. Retaining Wall types, materials, construction details are required to understand the impacts to existing and proposed utility easements and facilities.
The retaining wall in question has been eliminated.
 - l. Provide typical section, profile, and easement of Emergency Access connection from River Park condos to CR 335.
We are no longer changing the access location it will remain as is.
 - m. Provide clarity to Erosion Control Blanket locations with hatching.
Hatching has been added. RE:C2
 - n. Provide clarity of use of SCL/SCF on plan and details.
This has been clarified. RE:C2
 - o. Provide retaining wall profile that includes, top of wall, bottom of wall, footing, existing and finished grade.
This retaining wall has been eliminated.
6. Parking Plot Centerline Profile
- a. Add Access and Storm Profiles
Storm profiles are shown the parking lot profile. Access profiles have been added. RE:C3
7. Drainage Basins
- a. Provide a summary of Drainage Report notes on the Plan sheet as noted.
These have been added. RE: C5, Exhibit N - Drainage Report
 - b. Construction drawings will need to identify the specific grades for storm drain (plan and profile) as well as all of the detailed design of WQVC, detention ponds and outfalls. **These are shown on the profile. We are providing 100% detention so the WQCV is not necessary. RE: C2, C5**
8. Intersection Signage and Striping
- a. Provide construction detailing (spot elevation and layout) for ADA Ramp at trail crossings at each access crossing.
This has been provided. RE: C5, C8
 - b. Provide detail of crosswalk striping.
This has been provided. RE: C6
 - c. Clarify the use of Bike/Pedestrian signs and Vehicular signage using MUTCD sign Designations.
Signage has been added per the MUTCD. RE: C6
 - c. Parking and ADA parking striping.
This is shown on the Striping and Signage Plan. RE:C6
9. Master Utility Plan
- a. Provide construction detailed notes for all water, sewer, and shallow utility connections. Provide clear direction for all utility removals, resets, and protection in place. Several items not addressed in Plans, shown in other comments and on Plans.
These have been added to the plan. RE: C2
 - b. All water and sanitary sewer line alignments, including service locations to the buildings, will need access available for maintenance and repair with a minimum of 15' easements Provided.
Access has been provided. The easement is larger than 15 feet. RE:C2

- c. Provide clarity depicting the existing and proposed utilities with text style, symbols, and Linetypes.
This has been clarified. RE: C2
- d. For dry utilities, when preparing the final plan for construction and prior to construction, the drawings will need to be updated to ensure that the proposed dry utility designs (prepared by the utility provider) continue to integrate with all of the improvements and planning proposed by the developer's team. Providers will require easements for the electric and gas utility installations. These will be reflected on the plat and the representative signature blocks need to be provided.
Understood. Plat will accommodate accordingly.
- e. Provide final construction details for the shared Sewage Lift Station. Include pumping requirements, float locations, pipe size verification / confirmation.
These details have been provided. RE: C18
- f. Include profile views of the water line alignments, avoiding low and high points, if necessary, provide blow offs, air release/vacuum vaults or hydrants at high points or drains

at low points in the lines. Profiles should show the crossing of other utilities (existing and proposed) and storm drain; the proposed retaining wall should also be shown.

High point in water line is one of the fire hydrants. RE: C3

- g. Service lines will need to be shown for each building/unit complete with the locations of the curb stops and meter locations
These are shown on the plans. RE: C2
- h. Proposed 8" water main tie-in to existing main will be completed by cutting in new tee and (3) 8" gate valves.
Given that the existing line is HDPE it is not possible to cut in a tee and 3 gate valves. We have proposed a saddle tap as is customary in this case. RE: C2
- i. Valves on each side of each tee (including hydrants) will be required.
Valves have been added as requested. RE: C2
- d. Show Concrete Reaction Block locations on the plans.
These have been added. RE: C2
- k. Note that all water line fittings are to be polywrapped ductile iron pipe fittings and not PVC.
This note has been added. RE: C1
- l. Assure that all water/sewer crossings can be provided with a minimum separation of 18", including all water/storm drain crossings. Assure that water/storm drain crossings provide adequate freeze protection at each crossing.
There is more than 18" of separation. Adequate freeze protection is provided. RE: C3
- m. If water and sewer mains are constructed in areas of fill; a note shall be included on the profile stating the Contractor shall provide a minimum of 95% compaction 10 feet either side of the Sewer / Water main with compaction testing at 200 foot increments in fill areas under pipe, minimum two test locations required per area.
The water and sewer lines are not in fill.
- n. Where water and sewer connections are to be provided to existing facilities, provide details as to the work required for the connection; existing conditions (size, material, depth), removals, fittings, thrust blocks, testing procedures, etc.
This has been provided. RE: C2, C13
- o. Provide information on how pressure testing, sanitizing, flushing, air release and subsequent operation of the water, sanitary sewer, and storm sewer utilities are Performed.
Testing specifications have been added. RE: C17
- p. Note that due of SB 18-167, all utilities will need to be installed to be electronically locatable. Details will need to be revised to provide instruction to the contractor that provide tracer wire, magnetic tape, etc... on all subsurface utilities including service lines. A note has been added to the plans and appropriate details have tracer wire shown. RE: C1
- q. Pothole all existing utility crossings prior to construction of new facilities.
This will be facilitated during construction. RE: C1
- r. Proposed Retaining Wall generally paralleling east property line crosses and is in the impact area (construction and future maintenance) of several existing and proposed utilities. Provide retaining wall profile that includes, top of wall, bottom of wall, footing, existing and finished grade, and all utility crossings.
This retaining wall has been removed.

- s.
- 10. Details
 - a. Provide construction details for maintainable, non-erodible berm. Contractor should be able to reference civil plan and construct berm without reference to CTL report.
See CTL Plans for berm. RE: C2 Exhibit N - Landscape Berm Plan and Profile
 - e. Provide asphalt trail reconstruction typical section.
This has been added to the plan set. RE: C15
 - ii. Provide Lift Station detail.
This has been added. RE: C18
 - iii. Provide Bollard detail.
A bollard detail is in the plan set. RE: C8

Civil Drainage Report (Pinnacle Design Consulting Group)

1. Provide a Professional Engineer stamp on the cover of the report.
This has been added. RE: Exhibit N - Drainage Report
2. Provide discussion of WQCC design storm and sand filter material, including the on-site soil materials compatibility with the sand filter design.
Since we are providing 100% detention the WQCC is not required. Sand filter material is in the plan set. RE: C8
3. Provide construction detail for the stormtech chambers and sand filter design.
These have been eliminated.

4. Provide manufacturers documentation of inlet grate open area and discuss clogging factor used for site design.
A manufactures cut sheet has been provided. The open area has been calculated based upon the cut sheet. A 50% clogging factor has been taken into account. RE: Exhibit N - Drainage Report
5. Discuss and include calculations for inlet control capacity for pipes with storm inlets to confirm adequate capacity.
An inlet control calculation sheet has been added to the drainage report. RE: Exhibit N - Drainage Report

Landscape + Irrigation Plan (The Stevens Group, Inc.)

1. Provide seed mix and coordination of landscape plan and civil erosion control plan regarding erosion control blanket placement and reseeding areas.
RE: Exhibit N - Landscape and Irrigation Plan

Rockfall Mitigation Plan (CTL Thompson)

1. Incorporate CTL berm and structural wall design parameters into Civil and Structural plans sets with construction level detail.
No structural retaining in relation to the berm. RE: C2

Subdivision Improvements Agreement

Not submitted.

RE: TOWN OF NEW CASTLE

Parking Requirements

1. Parking analysis based on ITE Parking Generation Manual 6th Edition and verified 123 spaces is acceptable, without consideration of shared parking.

Parking has been updated to meet Town of New Castle standards. RE: Exhibit N - Architectural Site Plan

Upon your receipt and review, if you have any questions, please don't hesitate to call.

Respectfully,

SGM

Jefferey S. Simonson, P.E.
Principal

April 1, 2025

Town of New Castle

Re: Reviewing Surveyor Comments: **Provided, RE: Exhibit N - Survey, Exhibit N - Plat**

Land Use application for COAL SEAM Hotel, Mixed Use Development

7051 335 County Road, New Castle, Colorado 81647

Regarding Coal Seam Subdivision Plat Table of contents items VIII and XII exhibit N items Plat and Survey

I have reviewed the final subdivision plat that was submitted to me for compliance with: C.R.S. 38-51-105- Monumentation of Subdivisions C.R.S. 38-51-106 - Land Survey Plats, and have the following comments:

Regarding plat monumentation

- A. Address new monumentation per C.R.S. 38-51-105(1) (a) **To be set and annotated upon plat approval**
- B. Address existing monumentation per C.R.S. 38-51-105(1) (b) **Done**
- C. Address new monumentation per C.R.S. 38-51-105(3) (a) **TBD**
- D. Address new monumentation per C.R.S. 38-51-105(7) (a), (7)(b) (l)-(7)(c) **TBD**
- E. Address conflicting boundary evidence, if any. C.R.S. 38-51-106(1)(k) **Done**

Recommend bearing and distance ties to found monuments (such as those noted close to the westerly line) not along the boundary, show measured and record distances. Note sources of research board rule E2

Regarding boundary details

- A. Address conflicting boundary evidence, if any. C.R.S. 38-51-106(1)(b)(c)(e)(f)(i)(j)(k)(l):
 - (b) Provide complete reference of adjoining right of way (row) county road 335 stating width if known and nature of the public, private... **Done**
 - (c) recommend showing measured and record distances **Done**

(e) provide a basis of bearings statement and recommend using one of the four commonly accepted board methods (Board rule H), label basis of bearings on map view. [Done](#)

(f) provide complete description of monuments found and set to include cap type and accessories such as rebar or pipe (board rule M) [Done](#)

(i) the written description in the owner's acknowledgement does not match that of the existing conditions map nor the legal description on submittal sheet 47 Exhibit A – Legal Description [Legal description per warranty deed reception no. 983168](#)

(j) on final document please provide signature and seal and other required information for surveyor. [TBD](#)

(k) label ad joiners, suggest clarify lot names with record reference to Lot 1 and not lots 1a and 1b created by this plat. Plat name is confusing consider dropping word; [Lot 1 Highway PUD Updated to Coal Seam PUD, adjoiner parcels labeled.](#)

(l) provide a statement regarding lineal units used to produce this survey [Done](#)

Regarding Topographical Survey Map does not conform to and was likely not intended to confirm to C.R.S. 38-51-106

B. Address conflicting boundary evidence, if any. C.R.S. 38-51-106(1)(b)(c)(e)(f)(i)(j)(k)(l):

(b) Provide complete reference of adjoining right of way (row) county road 335 stating width if known and nature of the public, private... [Updated](#)

(c) recommend showing measured and record distances to survey monuments [Updated](#)

(e) provide a basis of bearings statement and recommend using one of the four commonly accepted board methods (Board rule H), label basis of bearings on map view. [Updated](#)

(f) provide complete description of monuments found and set to include cap type and accessories such as rebar or pipe (board rule M) [Updated](#)

(i) provide a written descriptions of the parcel being surveyed. The map name does not reflect the record parcel name nor the proposed PUD name. [Parcel desc. top left](#)

(j) on final document please provide signature and seal and other required information for surveyor. The certification on this document appears to not conform to board rule 2 [Updated](#)

(k) label ad joiners, suggest clarify map name relative to parcel legal description. Suggest name: *Topographical Survey Lot 1 Riverside Park Subdivision*. Updated

(l) provide a statement regarding elevation datum, site benchmark and contour intervals Updated

Regarding Coal Seam Exhibit A legal description does not match the legal description on either the plat of existing conditions map

Regards,

Scott A. Hemmen

Colorado P.L.S. #38182

For, and on behalf of SGM

May 29, 2025

Kellar Engineering response to Comments – Lot 1 Highway PUD TIS

Kellar Engineering (KE) comment responses in **blue** font.

- Since the development is immediately adjacent to the I-70 interchange and increases the design hourly volume on the “access” to I 70, the study should be prepared in accordance with section 2.3(5) of the State Highway Access Code for a Level Two analysis and coordinated with CDOT.
Response: It is the project team’s understanding based upon correspondence with the Town that the TIS will not need to be reviewed and approved by CDOT. Therefore, the TIS was done in accordance with the Town of New Castle’s requirements.
- March 21, 2024, AM traffic data collected by ATD is missing from the appendix.
Response: The appendix in the TIS will be updated accordingly.
- The project trip generation calculation appears to overestimate trip generation as it does not include the residential component and substitutes higher generating retail and restaurant uses in place of the planned 11 residential units.
Response: The trip generation in the TIS is conservative. This has been coordinated with the client and project team.
- Provide an evaluation of the need for a State highway Access Permit based on comparison of project traffic versus 2024 traffic on Bruce Road. The development appears to require a State Highway Access Permit based on the 20% threshold.
Response: It is the project team’s understanding based upon correspondence with the Town that the TIS will not need to be reviewed and approved by CDOT. Therefore, a CDOT State Highway Access Permit is not anticipated for this project.
- Provide an Auxiliary Turn Lane analysis for the project accesses at CR 335. Auxiliary turn lane requirements for access to roadways are based on the projected DHVs, the speed limit and geometry of the highway adjacent to the access, and the classification of the roadway. CDOT SHAC are typically used by local agencies where local standards do not exist. The project traffic appears to warrant an eastbound left turn lane at each project access.
Response: CDOT SHAC was not used since this is not a CDOT highway. CR 335 is a lower volume roadway with a posted speed of 35 mph. The Town’s criteria was used in the TIS to verify that an eastbound left-turn lane is not needed at the project access points. Tables 6 and 7 in the TIS verify that all approaches at the site access points operate at LOS A. This is a similar situation to the CR 335/Park Drive intersection to the east.



- The operational analysis appears acceptable. The study should include a brief discussion of 95th percentile queue lengths at the study intersections.
Response: The TIS will be updated accordingly. As shown in the Synchro outputs, the 95th percentile queues are small and the intersection levels of service (LOS) operate acceptably.
- Address the Garfield County LUDC Standards for a Major Collector standard at volumes greater than 2501 vpd.
Response: The TIS will be updated accordingly to include discussion on this criterion.
- Provide a sight distance analysis at the Bruce Road / CR 335 intersection and project intersections with CR 335.
Response: The TIS will be updated accordingly. The sight distance at the Bruce Road/CR 335 intersection will be able to meet the Town's criteria.

If you have any questions, please do not hesitate to contact me at (970) 219-1602 or skellar@kellarengineering.com.

Respectfully,

Kellar Engineering LLC

Sean K. Kellar, PE, PTOE
Colorado PE #38650

October 31, 2025

Mr. Paul Smith
Town of New Castle
P.O. Box 90
New Castle, CO 81647

RE: Minor Amendment Application
9 North Wild Horse

Dear Paul,

The purpose of this letter is to provide our comments and concerns regarding the Minor Amendment Permit Package submitted to the Town for 9 North Wild Horse. Please note the following:


1. With the minor amendment, we note that the proposed 5-plex building arrangement likely will modify the proposed drainage conditions for the affected basins within the site. As no revised drainage report has been provided, we are not able to discern whether modifications to the prior proposed drainage infrastructure is in order. We recommend that the drainage report be revised and the drainage infrastructure redesign (if necessary) be provided prior to construction.
2. Given review of the anticipated additional disturbed area in the southwest corner of the site, we would recommend that the erosion control plan be updated as appropriate to address the additional grading proposed with the amendment.
3. Given the 5-plex construction, is there a requirement now to provide interior fire suppression systems in the units? If so, the utility drawings need to be updated to reflect the locations, sizing, valving and reaction blocks for the fire suppression supply lines into each of the 5 plex units. Likewise, the cost estimates for the SIA need to be updated to include these fire lines.
4. As we noted in our 10/2/25 email to you, the final design of the potable irrigation system needs to be provided which includes the valves, backflow prevention devices, bend locations, service line connection points, line types and sizes, blow off locations and drains. In John Wenzels email, he further refines his recommendations for the facilities needed as well. As with the water system revision noted in the prior comment, SIA costs need to be updated to include these facilities.
5. With the given changes in the grading plan and the fact that the grading permit under the prior site plan was performed, we expect that prior to construction, the drawings will be updated for the grading permit and that all the conditions outlined in our prior review of the grading permit be addressed.

6. In reviewing the final plat, it does not appear that the 12' emergency access easement has been modified as it has been so on the Civil Drawings. Currently on the plat, the easement will be traversing through TH-B8.

7. Also, in the plat, we would recommend that the Certificate of Dedication and Ownership statement assure that the areas other than the building footprints within Lot 1 provide the Town of New Castle and HOA a blanket drainage easement to assure that both offsite and on-site drainage facilities are adequately maintained and functional to assure compliance with the intended drainage plan is provided in perpetuity.

Upon your receipt and review, if you have any questions, please don't hesitate to contact me.

Respectfully,
SGM



Jefferey S. Simonson, PE
Principal

GENERAL NOTES

- ELEVATIONS ARE BASED ON THE NAVD88 ELEVATION.
- ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH THE TOWN OF NEW CASTLE PUBLIC WORKS MANUAL. ALL STREETS AND DRAINAGE CONSTRUCTION SHALL COMPLY WITH TOWN OF NEW CASTLE PUBLIC WORKS MANUAL AND CURRENT ROADWAY DESIGN AND CONSTRUCTION CRITERIA.
- THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES, TOWN OF NEW CASTLE AND PINNACLE DESIGN CONSULTING GROUP, INC. PRIOR TO THE BEGINNING OF ANY CONSTRUCTION PRIOR TO COMMENCEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. ACTUAL LOCATIONS MAY VARY FROM THE PLANS. REFER TO UTILITY NOTE 1. WHENEVER CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS, HE SHALL CONTACT THE ENGINEER IMMEDIATELY.
- THE TOWN ENGINEER AND OTHER APPROVING AGENCIES ARE TO BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS THAT ARE NECESSARY TO PERFORM THE PROPOSED WORK PRIOR TO CONSTRUCTION.
- ALL CONCRETE SHALL BE A MINIMUM OF PORTLAND CEMENT TYPE II, 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 3,750 PSI. REFER TO TOWN OF NEW CASTLE PUBLIC WORKS MANUAL SPECIFICATION 3100: CAST-IN-PLACE CONCRETE FOR MORE INFORMATION.
- ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF NEW CASTLE PUBLIC WORKS MANUAL. QA/QC TESTING AND SIGN OFF SHALL FOLLOW THE REQUIREMENTS OF THE TOWN'S ACCEPTANCE CHECKLIST.
- COMPACTION TESTS SHALL BE PERFORMED BY A GEOTECHNICAL ENGINEER AND MUST BE SUBMITTED TO TOWN ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
- TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR THE INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED BY THE INSPECTOR AT NO ADDITIONAL CHARGE TO THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF LINES (WATER AND SEWER) FOR UP TO TWO (2) YEARS FROM THE DATE OF WARRANTY ACCEPTANCE OF THE LINES BY THE TOWN. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE TOWN ENGINEER AT NO EXPENSE TO THE TOWN.
- SURFACE GRADES ARE TO BE WITHIN PLUS OR MINUS ONE FOOT BELOW TOP OF CURB AND VERIFICATION OF COMPACTION RESULTS OBTAINED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES. RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER.
- NO WORK SHALL BE BACKFILLED UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE TOWN ENGINEER OR REPRESENTATIVE OF THE TOWN ENGINEER.
- NO WORK WITHIN CR 335 RIGHT-OF-WAY SHALL BE COMPLETED UNTIL A WORK IN RIGHT-OF-WAY PERMIT HAS BEEN OBTAINED.

GENERAL GRADING NOTES

- ALL STRUCTURES, CONCRETE, TREES, BRUSH AND RUBBISH SHALL BE REMOVED AND ACCEPTABLY DISPOSED OF.
- ALL ORGANIC MATTER SHALL BE REMOVED FROM FILL AREAS.
- ALL FILL AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. **SHOW ALL AREAS ON THE EROSION CONTROL PLAN.**
- ALL SLOPES 4:1 AND STEEPER SHALL BE STABILIZED WITH EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH HIGH VELOCITY EROSION MATTING **WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW.** SEEDING SHALL BE PLACED IMMEDIATELY PRIOR TO PLACEMENT OF EROSION MATTING. HIGH VELOCITY EROSION MATTING SHALL BE NORTH AMERICAN GREEN ROLLMAX ERONET DS150 OR APPROVED EQUAL.
- SEED MIXTURE SHALL BE A DRYLAND GRASS SEED, CONFORMING TO THE "RIGHT-OF-WAY MIXTURE" PER THE TOWN OF NEW CASTLE PUBLIC WORKS MANUAL SPECIFICATION SECTION 2720: SEEDING, SODDING AND TOPSOIL.
- MULCH SHALL BE A CONWEB LONG FIBER MULCH, HAY OR STRAW. CONWEB FIBER MULCH SHALL BE APPLIED AT 1500 LB/ACRE, HAY OR STRAW SHALL BE APPLIED AT A UNIFORM RATE OF 1.5 TONS/ACRE.
- SEDIMENT CONTROL LOGS OR SILT FENCE SHALL BE PLACED AT THE TOE AND DRAINAGE OUTFALL POINTS OF ALL SLOPES 4:1 OR STEEPER TO PREVENT SILTATION ON STREETS. REFER TO STORMWATER MANAGEMENT PLAN FOR DETAIL AND LOCATION OF EROSION CONTROL MEASURES.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, COUNTY AND STATE REGULATIONS PERTAINING TO GRADING, DUST AND EROSION.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- ALL DISTURBED AREAS SHALL RE-SEED, MULCHED OR SODDED AS PER TOWN OF NEW CASTLE CRITERIA.
- TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS, INCLUDING EROSION CONTROL AROUND THE PERIMETER OF SAID STOCKPILES.
- AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTIES.
- ALL EXISTING UTILITY LINE LOCATION MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE CONTRACTOR IS DIRECTED TO PAY PARTICULAR ATTENTION TO THE SECTION OF CONSTRUCTION ZONE TRAFFIC. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLAN TO TOWN ENGINEER AND PUBLIC WORKS DIRECTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ACHIEVE FINISHED GRADE SLOPES AWAY FROM BUILDING FOUNDATIONS AT A RATIO OF 12 INCHES IN THE FIRST 10 FEET IN UNPAVED AREAS AND 2 1/2 INCHES IN THE FIRST 10 FEET IN PAVED AREAS.
- ROOF DOWNSPOUTS AND DRAINS SHALL DISCHARGE WELL BEYOND THE LIMITS OF ALL BACKFILL.

UTILITY NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION TO BE PER CURRENT TOWN OF NEW CASTLE SPECIFICATIONS, PUBLIC WORKS MANUAL, CURRENT EDITION.
- ALL UTILITIES, BOTH UNDERGROUND OR OVERHEAD, SHALL BE MAINTAINED IN CONTINUOUS SERVICE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD, EXCEPT AS NOTED IN THE SPECIAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY DAMAGES TO, OR INTERRUPTION OF, SERVICES CAUSED BY THE CONSTRUCTION.
- ANY DAMAGE TO PRIVATE PROPERTY BY THE CONTRACTOR OUTSIDE THESE LIMITS WITHOUT THE PERMISSION OF THE PRIVATE PROPERTY OWNER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXCAVATION FOR RETAINING WALLS, UTILITY TRENCHES, ROADWAY AND DRAINAGE FACILITIES SHALL MEET OSHA AND COSH REQUIREMENTS.
- COMPACTION AND FILL OF THE ROADWAY MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE THE ENGINEER PRIOR TO ACCEPTANCE.
- WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF NEW CASTLE PUBLIC WORKS SPECIFICATIONS, RULES AND REGULATIONS.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF NEW CASTLE PUBLIC WORKS SPECIFICATIONS, RULES AND REGULATIONS.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP TWO FULL SETS OF CONTRACT DRAWINGS MARKED UP TO INDICATE ALL AS-BUILT CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER UPON COMPLETION OF THE WORK. WHERE PRACTICAL, THE CONTRACTOR IS TO PROVIDE AT LEAST TWO TIES FROM PHYSICAL MONUMENTS TO ALL FITTINGS, VALVES, MANHOLES, AND THE END OF ALL SERVICE LINES. A PROJECT ACCEPTANCE CHECKLIST PER THE TOWN OF NEW CASTLE PUBLIC WORKS MANUAL SHALL BE CONTINUALLY UPDATED AND KEPT ONSITE AT ALL TIMES.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN AND ITS REPRESENTATIVES. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY MATERIALS AND WORKMANSHIP THAT DO NOT CONFORM TO THE APPROVED DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO NOTIFY WATER USERS 24 HOURS IN ADVANCE OF ANY WATER SHUT DOWN. MORE NOTICE MAY BE REQUIRED FOR MAJOR CONNECTIONS, SEE SPECIAL CONDITIONS. TOWN OF NEW CASTLE PUBLIC WORKS STAFF ARE THE ONLY AUTHORIZED PERSONNEL ALLOWED TO OPERATE VALVES ON PUBLIC WATER SYSTEM. COORDINATE ALL SHUT DOWNS WITH THE PUBLIC WORKS DEPARTMENT.
- THE TOWN OF NEW CASTLE, ENGINEER AND THE OWNER ARE TO BE NOTIFIED BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO ANY UTILITY CONSTRUCTION SO INSPECTION AND OBSERVATION MAY OCCUR.
- MAINTAIN A DISTANCE OF 10 FEET BETWEEN WATER LINES AND SANITARY SEWER LINES (CENTER TO CENTER). IF THIS IS NOT POSSIBLE, THE ELEVATION OF THE CROWN OF THE SEWER SHOULD BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN, OR ENCASE PER COLORADO DEPARTMENT OF HEALTH REQUIREMENTS. WHERE THE 10 FOOT SEPARATION IS NOT POSSIBLE, CONSTRUCTION SHALL BE AS DIRECTED BY THE ENGINEER.
- NO FIELD ADJUSTMENT TO DESIGNED WATERLINE IS ALLOWED WITHOUT EXPLICIT AUTHORIZATION AND ACCEPTANCE FROM THE TOWN OF NEW CASTLE.
- THE CONTRACTOR SHALL VERIFY EXISTING PIPE OR MANHOLE INVERTS AT TIE-IN POINTS PRIOR TO CONSTRUCTION.
- ALL CONDUIT, PULLBOXES, VAULTS, APPURTENANCES AND TRENCHING FOR THE SHALLOW UTILITIES SHALL CONFORM TO EACH SPECIFIC UTILITY'S RULES AND REGULATIONS. THE CONTRACTOR WILL COORDINATE SHALLOW UTILITY INSTALLATION WITH REGIONAL REPRESENTATIVES.
- SENSUS METERS ARE REQUIRED ON ALL WATER SERVICES.
- CONCRETE ENCASE ALL SANITARY AND STORM SEWER PIPES WHERE THERE IS A VERTICAL CROSSING OF WATER MAINS AND SERVICES THAT DOES NOT MEET THE TOWN OF NEW CASTLE REQUIREMENTS FOR CROSSINGS.
- WATERMAIN SHALL BE C900 CLASS 200 PVC.
- MEGALUG MECHANICAL FITTING AND THRUST BLOCKS SHALL BE INSTALLED AT EVERY LOCATION WHERE POTABLE WATERMAIN CHANGES HORIZONTAL OR VERTICAL DEFLECTION.
- FROST PROTECTION SHALL BE INSTALLED ON WATERMAIN WHERE 6 FOOT MINIMUM SEPARATION BETWEEN STORM SEWER CANNOT BE MAINTAINED.
- PURE CORE PIPING MAY BE SUBSTITUTED FOR TYPE K COPPER WATER SERVICES.
- ALL FIRE HYDRANT FITTINGS SHALL BE MEGALUG MECHANICAL JOINTS AND HAVE CONCRETE RESTRAINT BLOCKS.
- ALL FIRE HYDRANTS SHALL BE KENNEDY GUARDIAN.
- ALL DUCTILE IRON PIPE FITTINGS AND BURIED FIRE HYDRANT COMPONENTS SHALL BE POLYWRAPPED.
- THE IRRIGATION IF SHOWN IS FOR CONCEPTUAL PURPOSES ONLY. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED IRRIGATION DESIGNER AND PLANS SHALL INCLUDE ALL ELEMENTS NECESSARY FOR CONSTRUCTION. IRRIGATION DESIGN SHALL REFERENCE CIVIL PLANS TO AVOID ANY CONFLICTS WITH INFRASTRUCTURE. PLANS SHALL BE SUBMITTED TO THE TOWN FOR APPROVAL PRIOR TO CONSTRUCTION AND CONTRACTOR SHALL REFER TO APPROVED IRRIGATION PLANS FOR CONSTRUCTION.
- BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED AT THE IRRIGATION SYSTEM CONNECTION TO THE WATER MAIN. WATER METERS SHALL BE PLACED PRIOR TO ANY WATERING HEAD.
- 12 GAUGE TRACER WIRE SHALL BE INSTALLED ON ALL PVC SEWER PIPE AND D.I.P. WATER PIPE IN ACCORDANCE WITH TOWN OF NEW CASTLE STANDARDS.
- CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF NEW FACILITIES.
- ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE POLYWRAPPED.

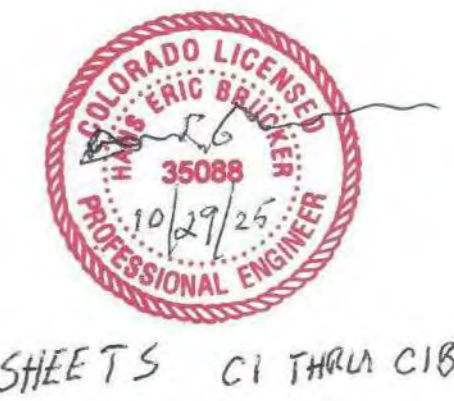
LEGEND

EXISTING		PROPOSED	
⊕	STORM MANHOLE	⊕	WATER SHUTOFF VALVE
⊙	SANITARY CLEAN-OUT	⊕	WATER VALVE
⊙	SANITARY MANHOLE	⊕	TEE W/THRUST BLOCK
⊕	FIRE HYDRANT	⊕	BEND W/THRUST BLOCK
⊕	WATER VALVE	⊕	FIRE HYDRANT
⊕	WATER MANHOLE	⊕	CURB INLET
⊕	GAS METER	⊕	STORM MANHOLE
⊕	TELEPHONE PEDESTAL	⊕	SANITARY MANHOLE
⊕	LIGHT POLE	⊕	SANITARY CLEANOUT
⊕	UTILITY POLE	⊕	CABLE MANHOLE
—	SIGN	⊕	ELECTRIC MANHOLE
		⊕	ELECTRIC TRANSFORMER
		⊕	AIR CONDITIONER UNIT
		⊕	GAS METER
		⊕	ELECTRIC METER
		⊕	TELEPHONE PEDESTAL
		⊕	CABLE BOX

BOUNDARY	---	BOUNDARY	---
RIGHT-OF-WAY	---	RIGHT-OF-WAY	---
ADJOINER	---	ADJOINER	---
EASEMENT	---	EASEMENT	---
SETBACK	---	SETBACK	---
STRUCTURE	---	STRUCTURE	---
ASPHALT	---	ASPHALT	---
GRAVEL	---	GRAVEL	---
CONCRETE	---	CONCRETE	---
RETAINING WALL	---	RETAINING WALL	---
RIPRAP	---	RIPRAP	---
GUARDRAIL	---	GUARDRAIL	---
FENCE CHAINLINK	---	FENCE CHAINLINK	---
FENCE WOOD POST	---	FENCE WOOD POST	---
WIRE FENCE	---	WIRE FENCE	---
CENTERLINE ROAD	---	CENTERLINE ROAD	---
CURB AND GUTTER	---	CURB AND GUTTER	---
FLOWLINE	---	FLOWLINE	---
PAVEMENT STRIPING	---	PAVEMENT STRIPING	---
WATER MAIN	W	WATER MAIN	W
WATER SERVICE	WS	WATER SERVICE	WS
SEWER MAIN	SS	SEWER MAIN	SS
SEWER SERVICE	SS	SEWER SERVICE	SS
OVERHEAD ELECTRIC	OE	OVERHEAD ELECTRIC	OE
ELECTRIC	E	ELECTRIC	E
CATV	CTV	CATV	CTV
TELEPHONE	T	TELEPHONE	T
GAS	G	GAS	G
STORM SEWER	5585	STORM SEWER	5585
CONTOUR	X(58.01)	CONTOUR	X58.66
SPOT ELEVATION	0.8%	SPOT ELEVATION	2.0%
SLOPE OR GRADE		SLOPE OR GRADE	
LIMITS OF DISTURBANCE	---	LIMITS OF DISTURBANCE	---
SEDIMENT CONTROL FENCE	---	SEDIMENT CONTROL FENCE	---
DRAINAGE FLOW DIRECTION	---	DRAINAGE FLOW DIRECTION	---
SEDIMENT CONTROL LOG	(SCL)	EROSION CONTROL BLANKET	(ECB)
INLET PROTECTION	(IP)	MULCHING	(MU)
CULVERT INLET PROTECTION	(CIP)	VEHICLE TRACKING CONTROL	(VTC)
OUTLET PROTECTION	(OP)	SEDIMENT CONTROL FENCE	(SCF)

Provide a Cover Sheet for the Final Construction Plan Set include the following to cover site construction.

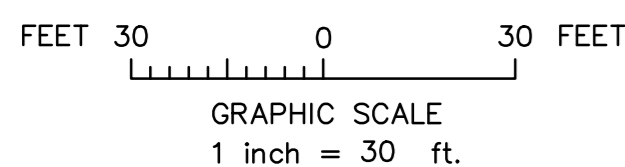
- Existing Conditions Map
- Civil Plans.
- Rockfall Berm Plans
- Structural Site Wall Plans



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CHECKED BY: H.E.B.	DATE: _____ FOR _____		LOT 1 HIGHWAY P.U.D. – 7051 COUNTY ROAD 335 NOTES AND LEGEND							SHEET NO: C1	

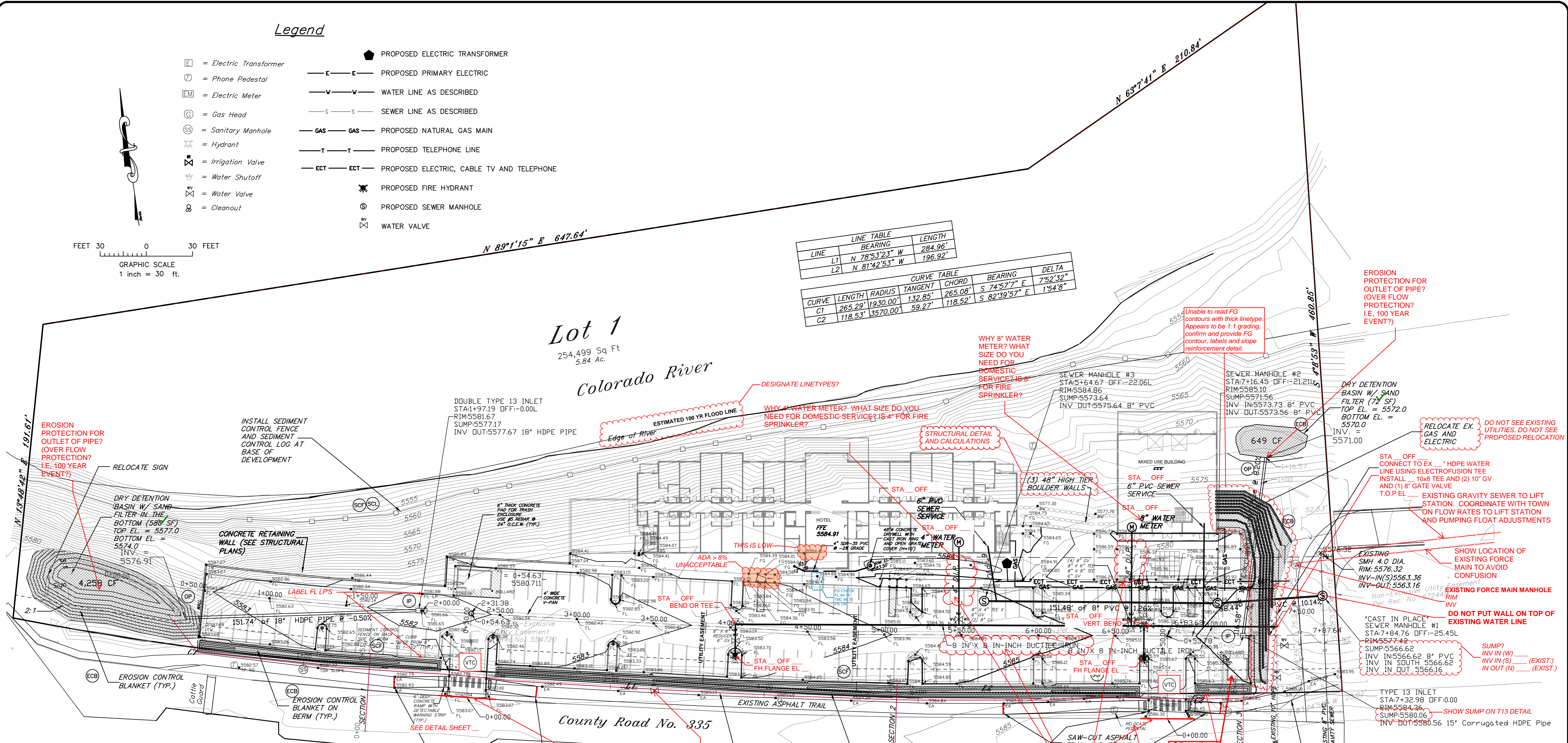
Legend

- = Electric Transformer
- = Phone Pedestal
- = Electric Meter
- = Gas Head
- = Sanitary Manhole
- = Hydrant
- = Irrigation Valve
- = Water Shutoff
- = Water Valve
- = Cleanout
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED PRIMARY ELECTRIC
- WATER LINE AS DESCRIBED
- SEWER LINE AS DESCRIBED
- PROPOSED NATURAL GAS MAIN
- PROPOSED TELEPHONE LINE
- PROPOSED ELECTRIC, CABLE TV AND TELEPHONE
- PROPOSED FIRE HYDRANT
- PROPOSED SEWER MANHOLE
- WATER VALVE



LINE TABLE		CURVE TABLE				
LINE	BEARING	LENGTH	DELTA			
L1	N 78°53'23" W	284.96'				
L2	N 81°42'53" W	196.92'				
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	265.29'	1930.00'	132.85'	265.08'	S 74°57'7" E	7°52'32"
C2	118.53'	3570.00'	59.27'	118.52'	S 82°39'57" E	1°54'8"

Lot 1
254,499 Sq Ft
5.84 Ac.
Colorado River



EROSION PROTECTION FOR OUTLET OF PIPE? (OVER FLOW PROTECTION? I.E. 100 YEAR EVENT?)

INSTALL SEDIMENT CONTROL FENCE AND SEDIMENT CONTROL LOG AT BASE OF DEVELOPMENT

DESIGNATE LINETYPES?
WHY 4" WATER METER? WHAT SIZE DO YOU NEED FOR DOMESTIC SERVICE? IS 4" FOR FIRE SPRINKLER?

WHY 8" WATER METER? WHAT SIZE DO YOU NEED FOR DOMESTIC SERVICE? IS 8" FOR FIRE SPRINKLER?

Unable to read FG contours with thick linetype. Appears to be 1:1 grading. confirm and provide FG contour, labels and slope reinforcement detail.

EROSION PROTECTION FOR OUTLET OF PIPE? (OVER FLOW PROTECTION? I.E. 100 YEAR EVENT?)

RELOCATE EX. GAS AND ELECTRIC

DO NOT SEE EXISTING UTILITIES. DO NOT SEE PROPOSED RELOCATION

STA. OFF CONNECT TO EX. 8" HDPE WATER LINE USING ELECTROFUSION TEE. INSTALL 100# TEE AND (2) 10" GV AND (1) 8" GATE VALVE. T.O.P. EL.

EXISTING GRAVITY SEWER TO LIFT STATION. COORDINATE WITH TOWN ON FLOW RATES TO LIFT STATION AND PUMPING FLOAT ADJUSTMENTS

SHOW LOCATION OF EXISTING FORCE MAIN TO AVOID CONFUSION

EXISTING FORCE MAIN MANHOLE

DO NOT PUT WALL ON TOP OF EXISTING WATER LINE

SUMP? INV IN (W) (EXIST.) INV IN (S) (EXIST.) INV IN (N) (EXIST.)

*CAST IN PLACE SEWER MANHOLE #1 STA: 7+84.76 OFF: -25.45L RIM: 5577.42 INV: 5566.62 INV IN SOUTH 5566.62 INV IN OUT 5566.62

SHOW SUMP ON T13 DETAIL

IT APPEARS THAT YOU WILL HAVE A CONFLICT WITH THE FRENCH DRAIN SITTING ON TOP OF THE WATER LINE. NEED TO LOCATE THE WATER LINE, FORCE MAIN, TELEPHONE, ELECTRIC AND GAS ALONG CR 335 TO ASSURE NO CONFLICTS EXIST.

HOW DO WE KEEP THE FRENCH DRAIN FROM FREEZING UP AND FUNCTIONING PROPERLY IN THE WINTER? WHEN IT FREEZES UP, WHAT HAPPENS TO THE BIKE PATH?

FRENCH DRAIN CONFLICT WITH EITHER WATER VALVE OR FORCE MAIN VALVE

18" DEEP ± FRENCH DRAIN ALONG ASPHALT TRAIL SEE PROFILE AND FRENCH DRAIN DETAIL

7" WIDE BERM BETWEEN BACK OF CURB AND ASPHALT TRAIL RE: CTL DESIGN (SEE SHEETS S1, S2)

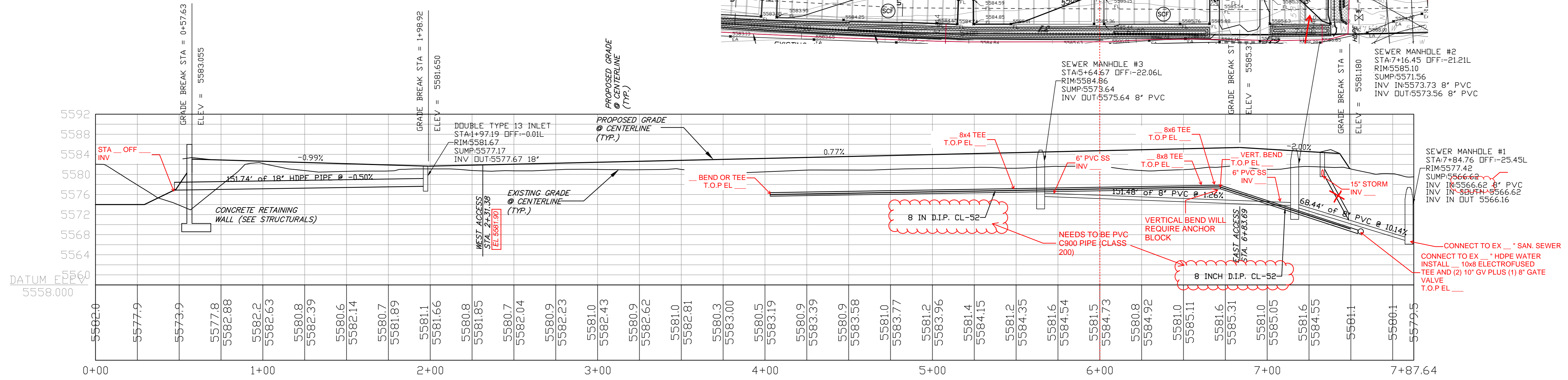
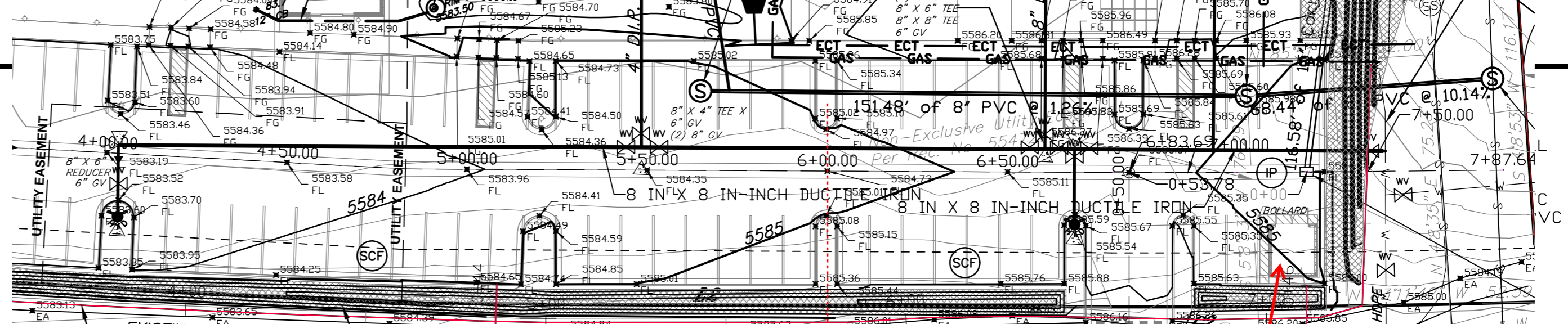
ALL WATER PIPING TO BE C900 PVC PIPE FOR 4" DIAMETER AND LARGER PIPE. SMALLER SERVICE LINES MAY BE COPPER OR PURE-CORE

WATER MAIN A.R.V. VAULT POTENTIAL CONFLICT. VERIFY AND RESOLVE HOW TO ALLOW ACCESS AND PROMOTE VENTING

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CHECKED BY: H.E.B.	DATE: _____ FOR _____

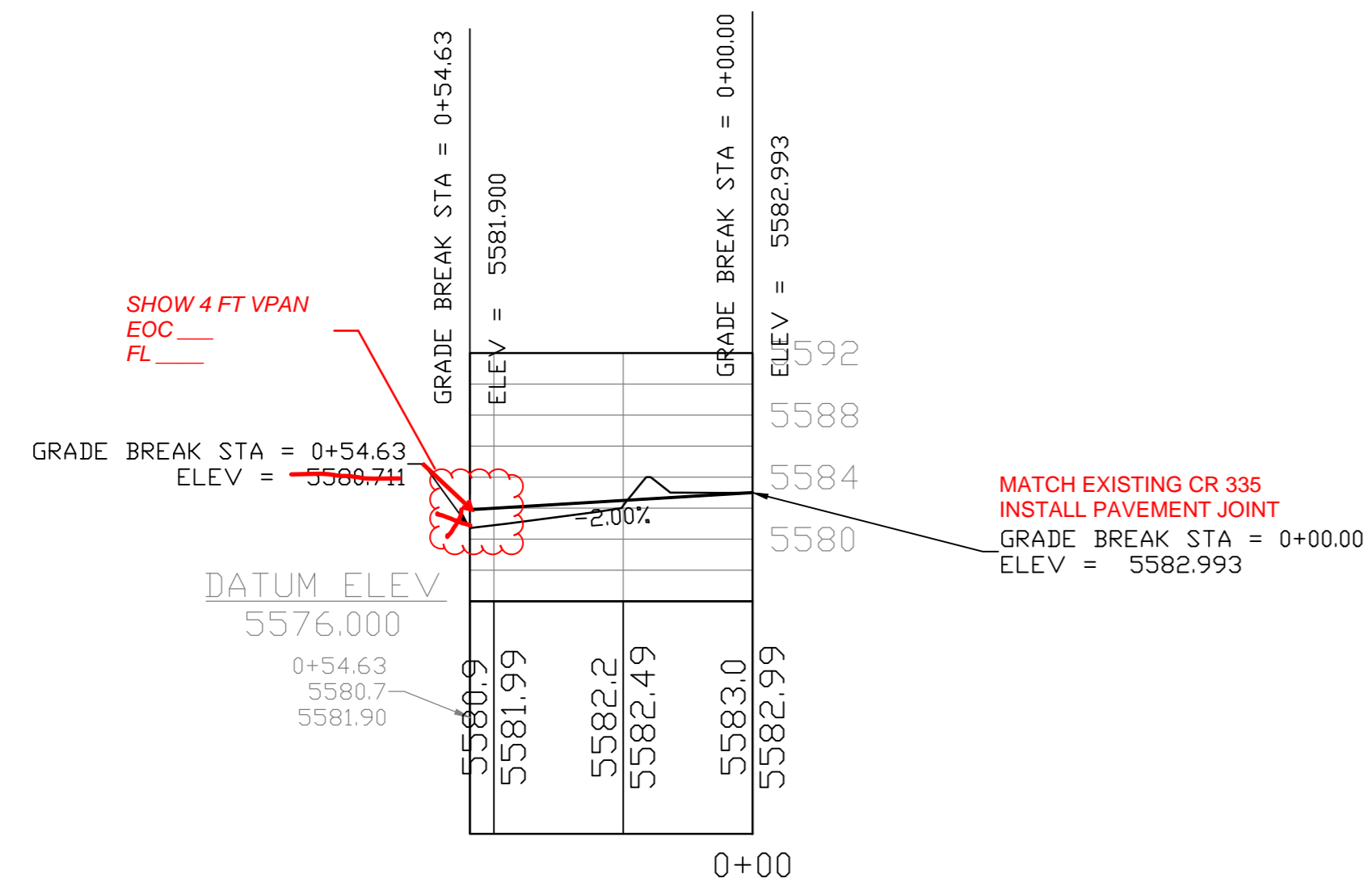
PINNACLE DESIGN CONSULTING GROUP, INC.		REVISION	DATE	DESCRIPTION	BY	CHD
CONSULTING ENGINEERS • 0805 BUCK POINT ROAD CARBONDALE, CO 81623 • (970) 963-2170 pinnacle@psprins.net						

COAL SEAM LLC	SCALE: 1" = 30'	JOB NO: 2024.11	DATE: 10-29-25
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335 GRADING, DRAINAGE, EROSION CONTROL AND UTILITY PLAN		SHEET NO: C2	



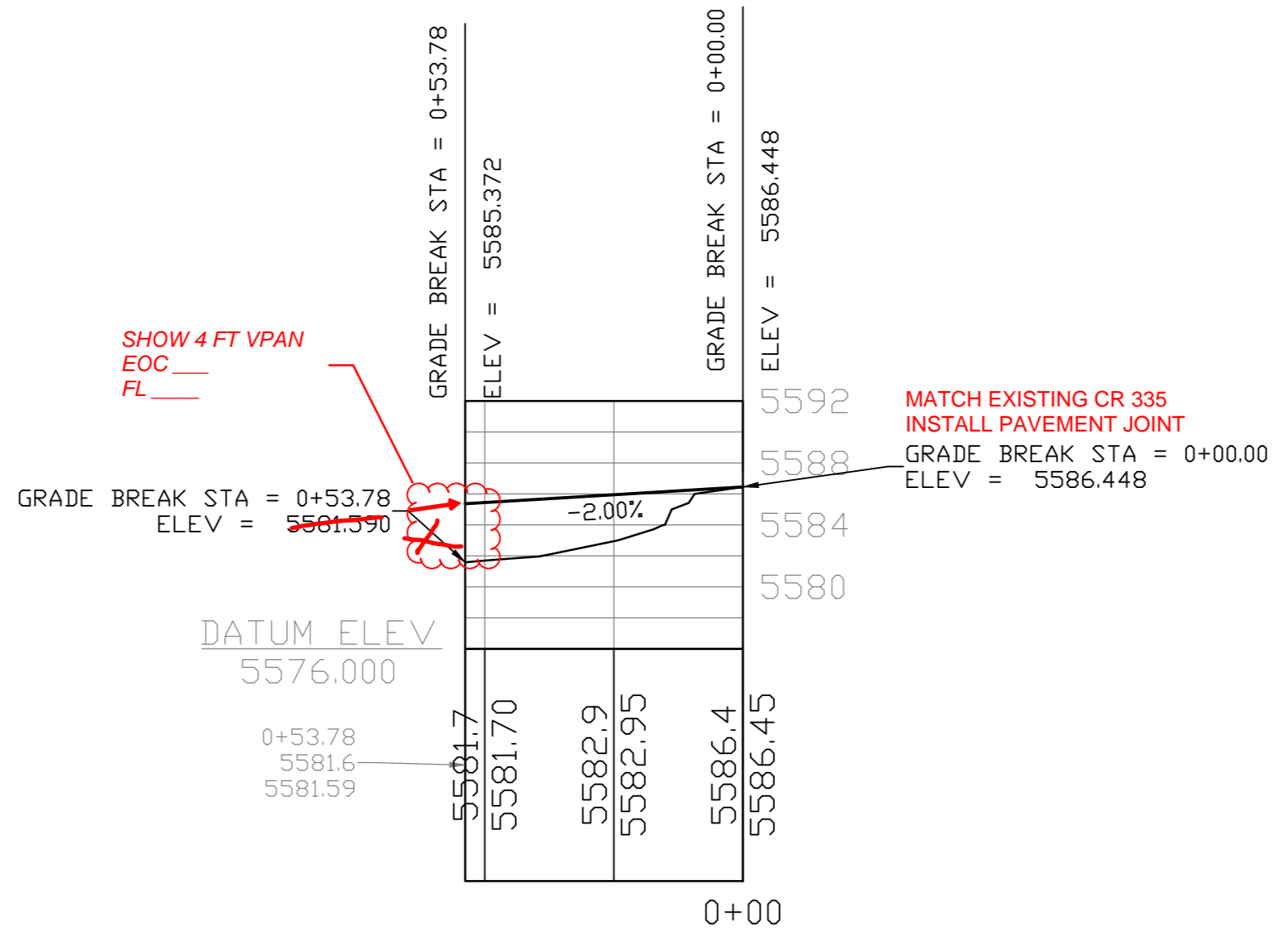
PARKING LOT CENTER LINE PROFILE

SCALE H: 1" = 30'
V: 1" = 10'



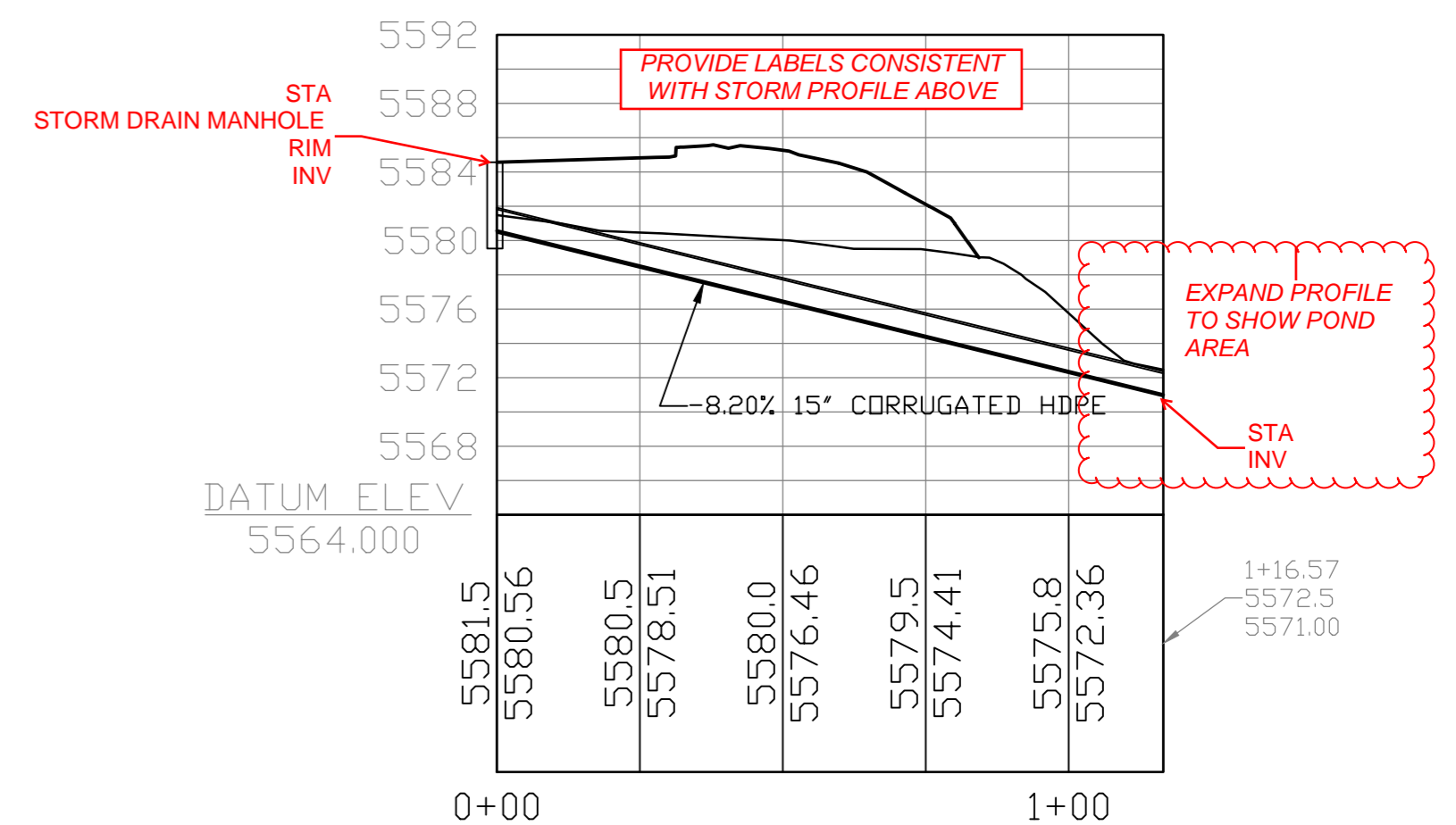
WEST ACCESS CENTER LINE PROFILE

SCALE H: 1" = 30'
V: 1" = 10'



EAST ACCESS CENTER LINE PROFILE

SCALE H: 1" = 30'
V: 1" = 10'

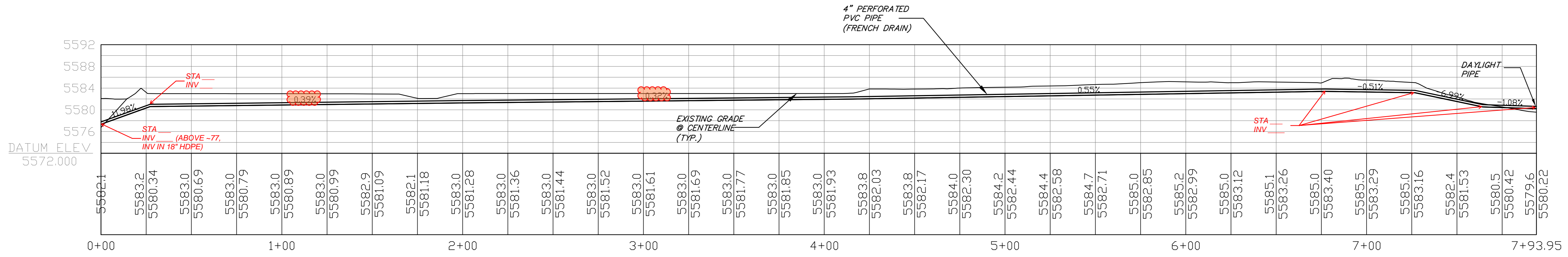


15 INCH HDPE STORMWATER PIPE PROFILE

SCALE H: 1" = 30'
V: 1" = 10'

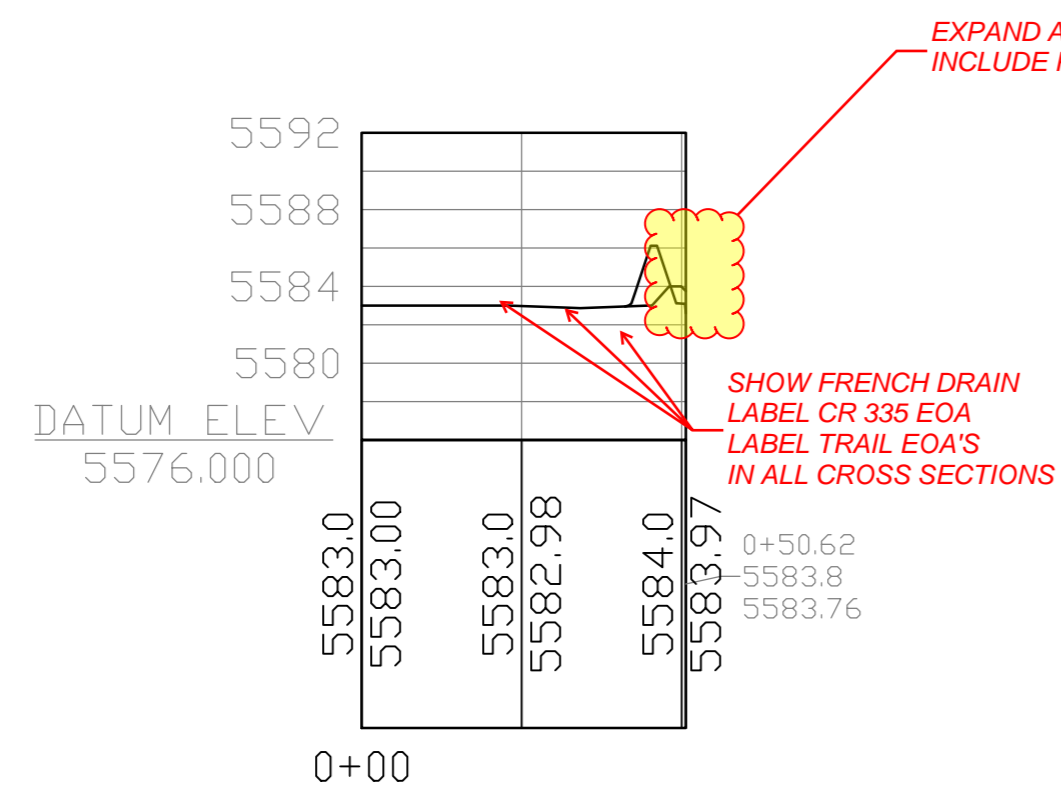
DRAWN BY: H.E.B.	REVIEWED BY: _____	PINNACLE DESIGN CONSULTING GROUP, INC. CONSULTING ENGINEERS • 0805 BUCK POINT ROAD CARBONDALE, CO 81623 • (970) 963-2170	REVISION	DATE	DESCRIPTION	BY	CHD	COAL SEAM LLC	NEW CASTLE, COLORADO	SCALE: Horz: 1" = 30' Vert: 1" = 10' DATE: 10-29-25 SHEET NO: C3	Project No: 2024.11
			CHECKED BY: H.E.B.	DATE: _____	FOR: _____						

LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
PROFILES



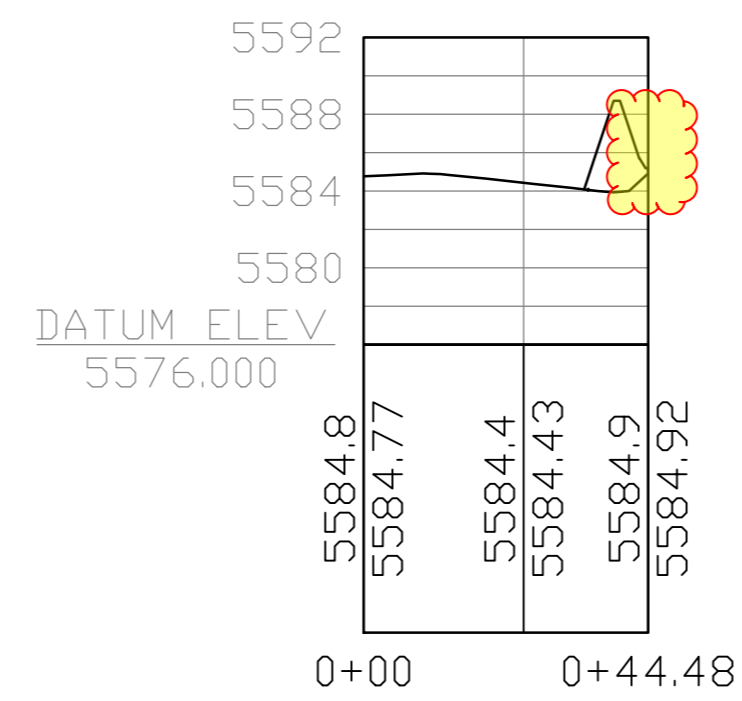
FRENCH DRAIN CENTER LINE PROFILE

SCALE H: 1" = 30'
V: 1" = 10'



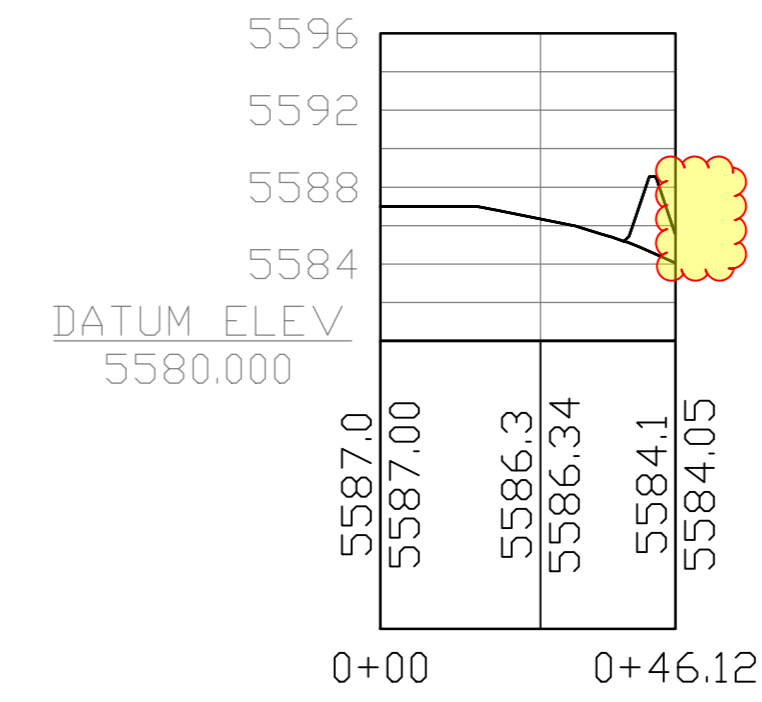
SECTION 1 CR 335

SCALE H: 1" = 30'
V: 1" = 10'



SECTION 2 CR 335

SCALE H: 1" = 30'
V: 1" = 10'



SECTION 3 CR 335

SCALE H: 1" = 30'
V: 1" = 10'

DRAWN BY: H.E.B.	REVIEWED BY: _____
CHECKED BY: H.E.B.	DATE: _____ FOR _____

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REVISION	DATE	DESCRIPTION	BY	CHD

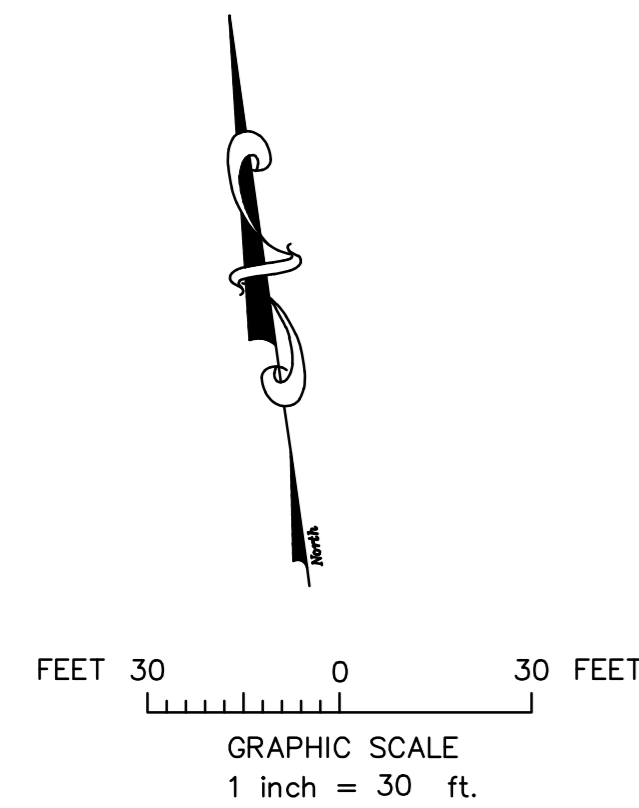
COAL SEAM LLC	NEW CASTLE, COLORADO	SCALE: Horz: 1" = 30' Vert: 1" = 10'	Project No: 2024.11
LOT 1 HIGHWAY P.U.D. – 7051 COUNTY ROAD 335 FRENCH DRAIN PROFILE AND ROAD SECTIONS		DATE: 10-29-25	SHEET NO: C4

**DEVELOPED DRAINAGE BASIN
PEAK RUNOFF FLOW DETERMINATION**

DRAINAGE BASIN	TOTAL AREA ACRES	100-YEAR RUNOFF COEFFICIENT	100-YEAR INTENSITY in/hr	"Q" VALUE cfs
1	0.922	0.92	5.94	5.04
2	0.132	0.92	5.94	0.72
3	0.037	0.35	5.94	0.08
4	0.045	0.35	5.94	0.09

DEVELOPED STORM WATER VOLUME

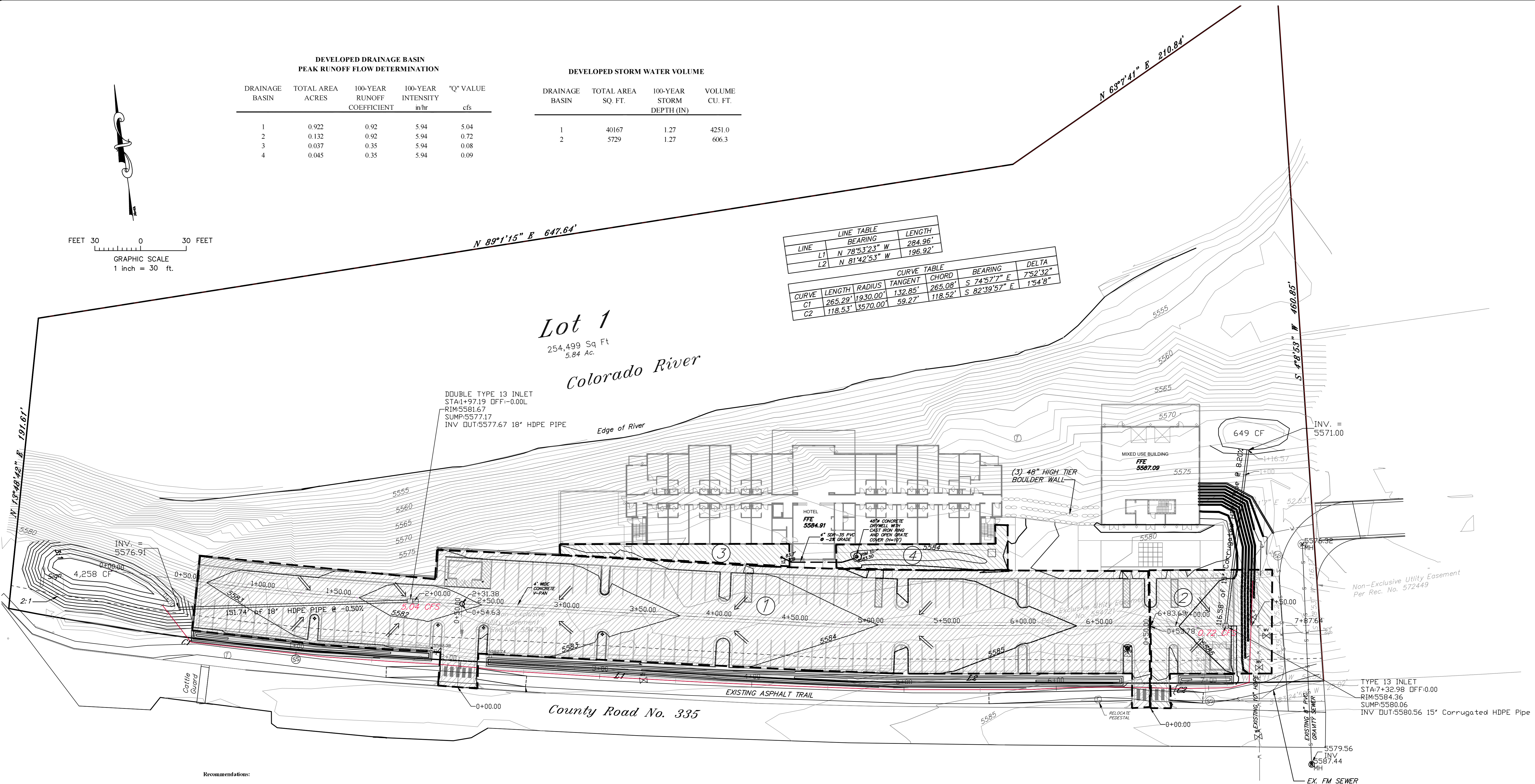
DRAINAGE BASIN	TOTAL AREA SQ. FT.	100-YEAR STORM DEPTH (IN)	VOLUME CU. FT.
1	40167	1.27	4251.0
2	5729	1.27	606.3



LINE TABLE		CURVE TABLE			
LINE	BEARING	LENGTH	RADIUS	TANGENT	CHORD
L1	N 78°53'23" W	284.96'	132.85'	132.85'	265.08'
L2	N 81°42'53" W	196.92'	59.27'	59.27'	118.52'
C1	S 74°57'7" E	7°52'32"			
C2	S 82°39'57" E	1°54'8"			

Lot 1
254,499 Sq Ft
5.84 Ac.

Colorado River



Recommendations:

- Positive drainage should be constructed away from the building foundations in accordance with the grading and drainage plan (if proposed grades are shown) and to the extent possible, with the final soils report.
- Stormwater should be conveyed to the dry detention basins via underground storm drain as shown on the Grading Plan.
- Erosion control measures recommended above should be strictly followed.
- Maintenance for drainage facilities should be in accordance with the aforementioned maintenance section.

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CHECKED BY: H.E.B.	DATE: _____ FOR _____

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CARBONDALE, CO 81623 • (970) 963-2170
pinnacle设计@sopris.net

REVISION	DATE	DESCRIPTION	BY	CHK'D

COAL SEAM LLC

**LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
DRAINAGE BASINS**

SCALE: 1" = 30'	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO:	C5	

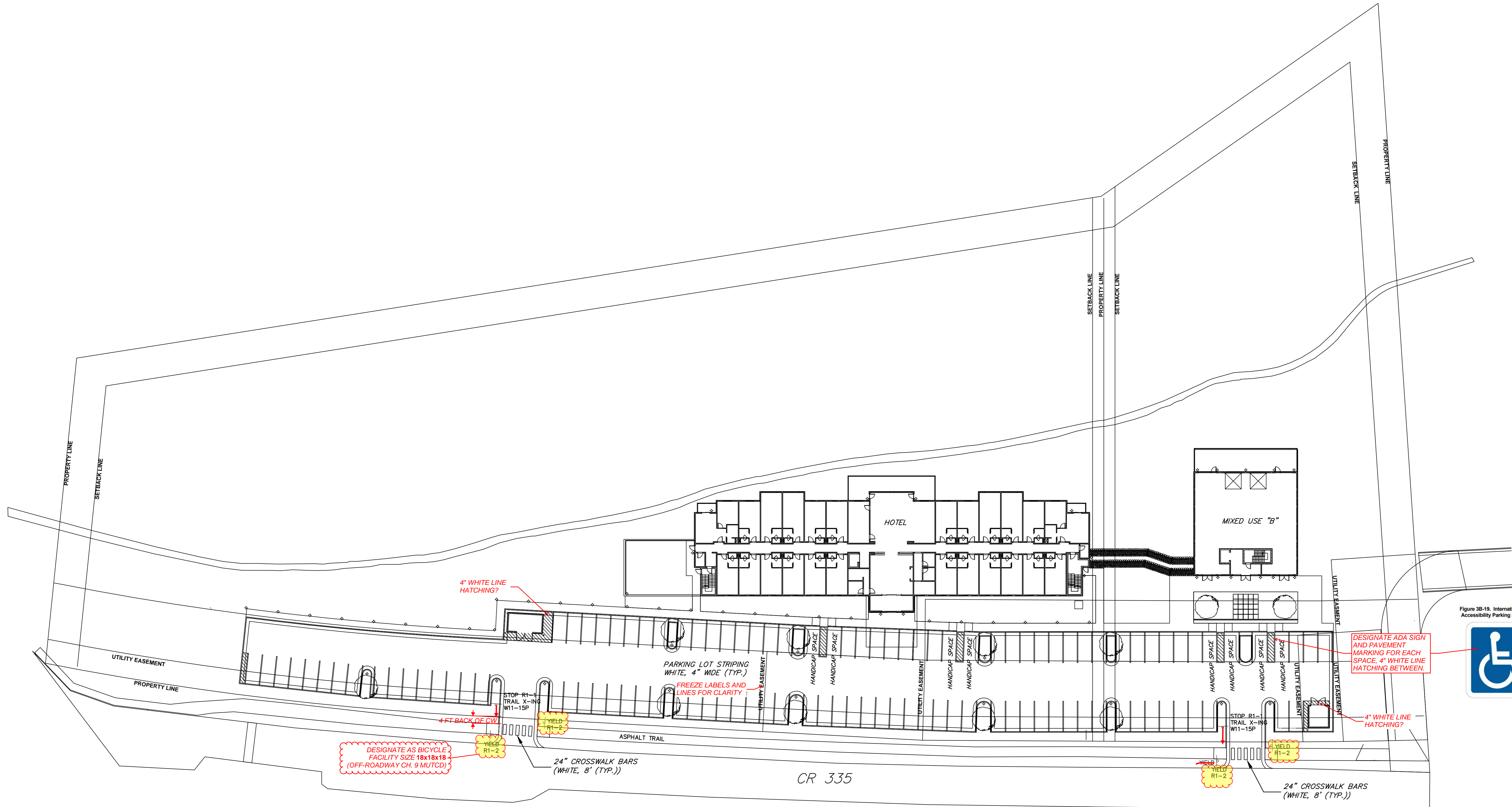


Figure 3B-19. International Symbol of Accessibility Parking Space Marking



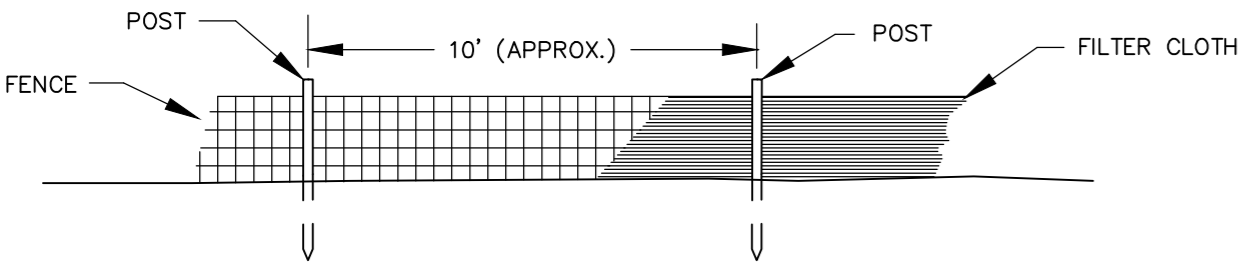
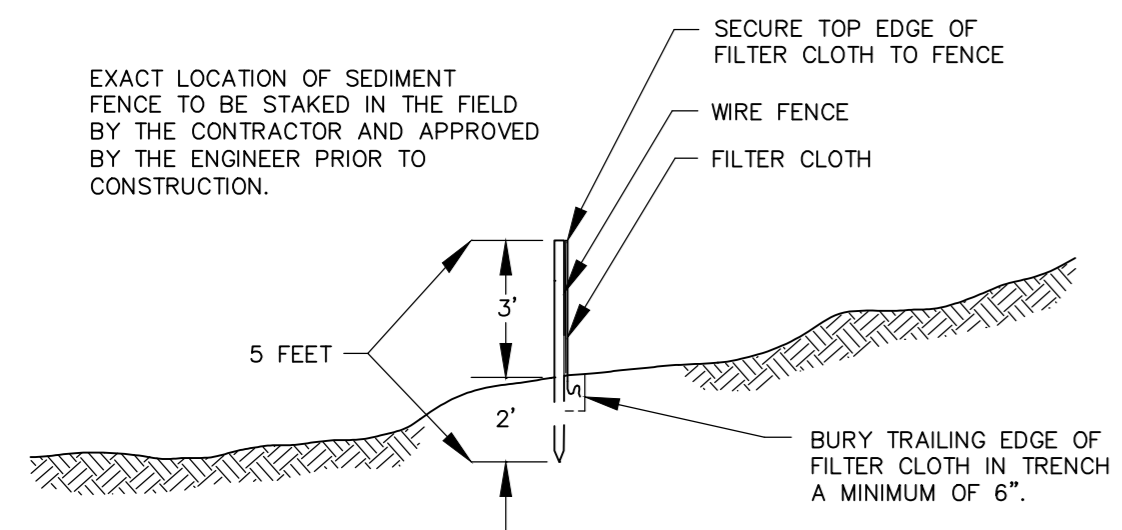
DRAWN & DESIGNED BY: H.E.B.	REVIEWED BY: _____
CHECKED BY: H.E.B.	DATE: _____ FOR _____

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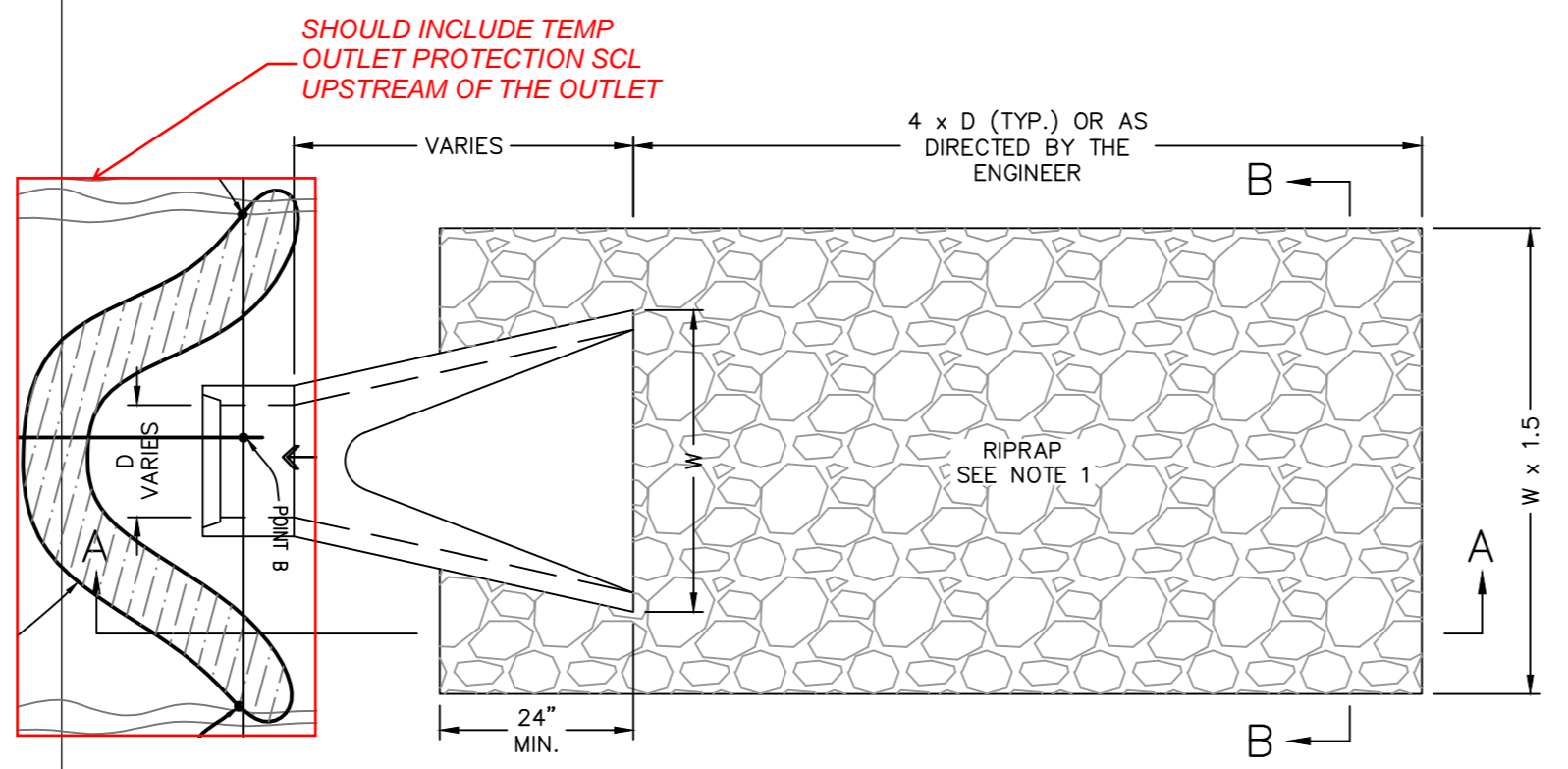
REVISION	DATE	DESCRIPTION	BY	CHD

COAL SEAM LLC
LOT 1 HIGHWAY P.U.D. – 7051 COUNTY ROAD 335
INTERSECTION SIGNAGE AND STRIPING PLAN

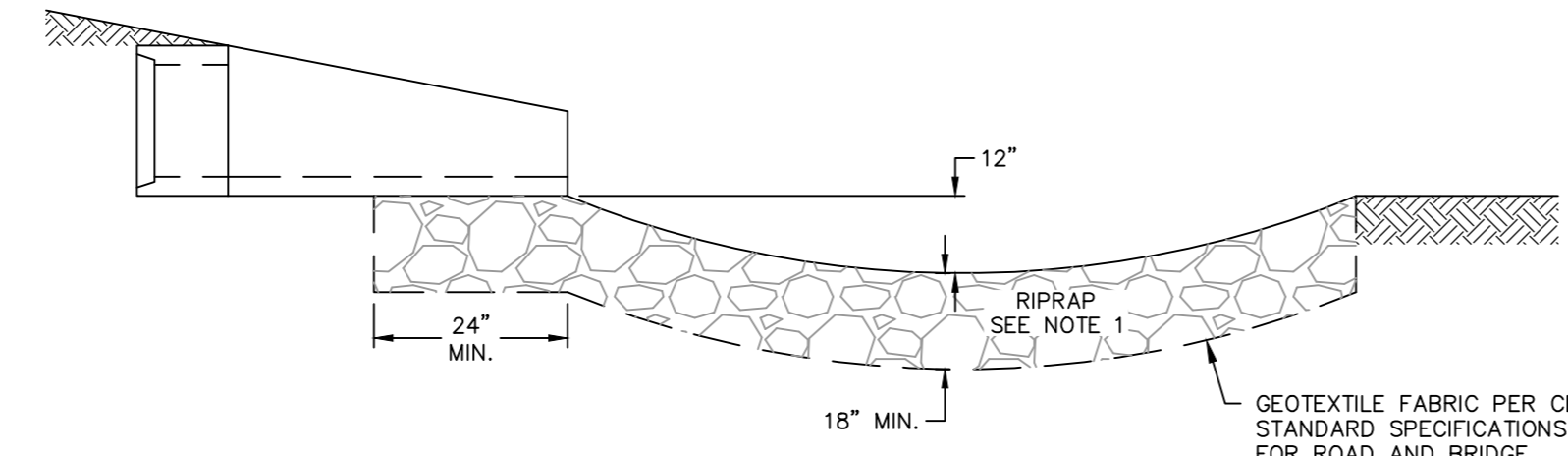
SCALE: 1" = 30'	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO: C6		



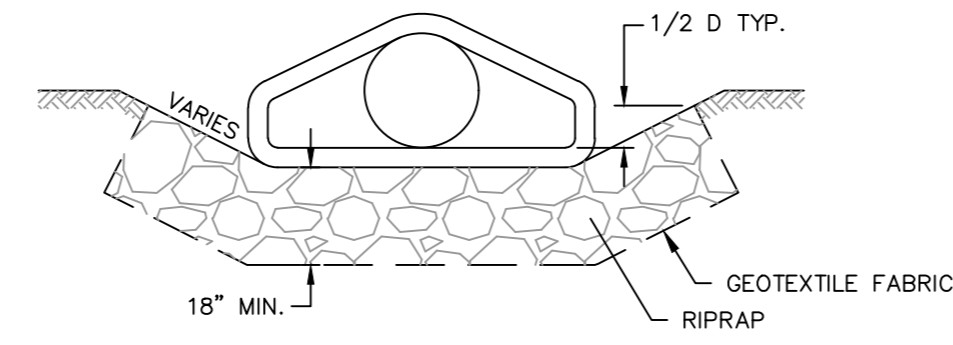
SEDIMENT CONTROL FENCE (SCF)
N.T.S.



PLAN VIEW



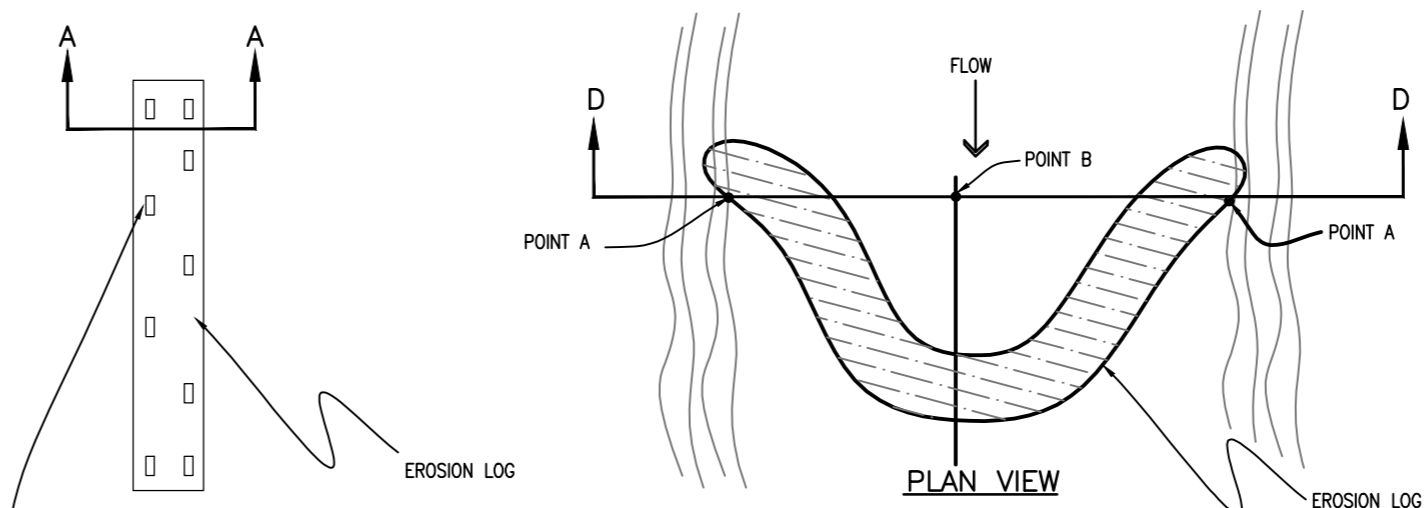
SECTION A-A



SECTION B-B

- NOTES**
1. RIPRAP SHALL CONFORM TO CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 506, AND SPECIAL PROVISIONS, LATEST EDITION.

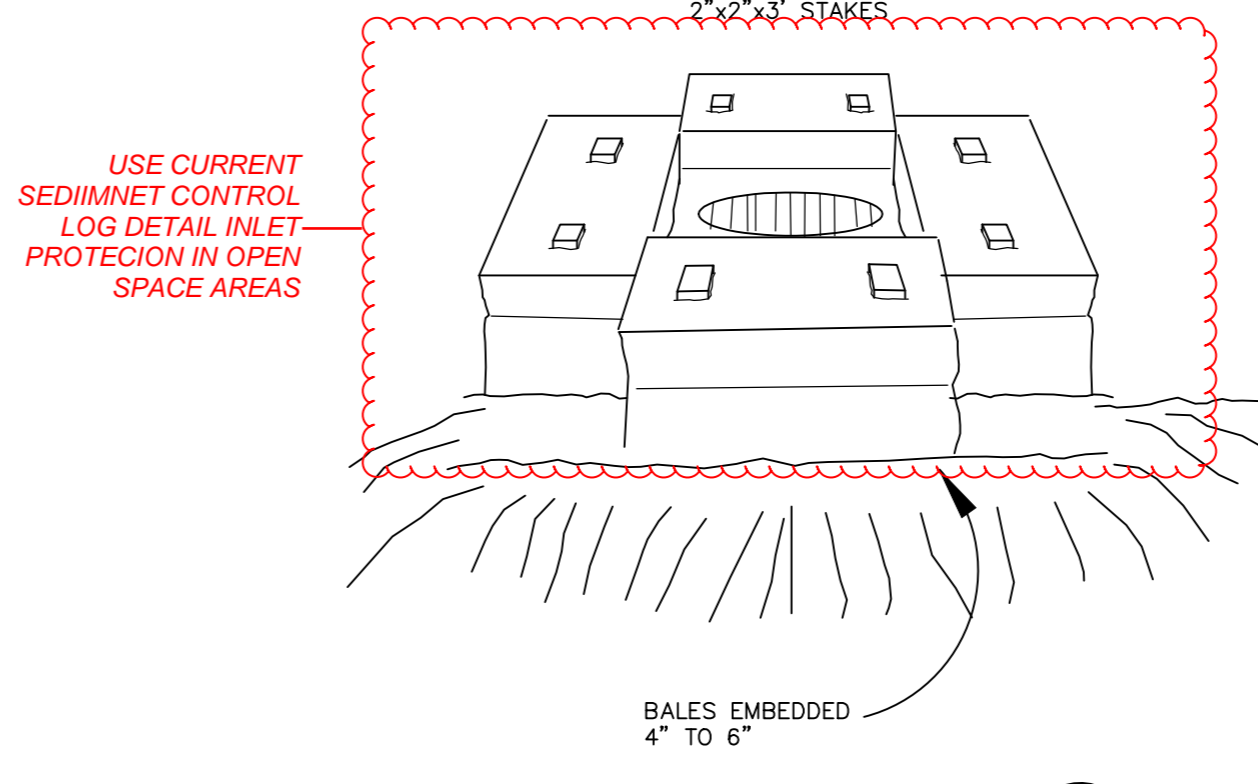
PIPE OUTFALL DETAIL (OP)



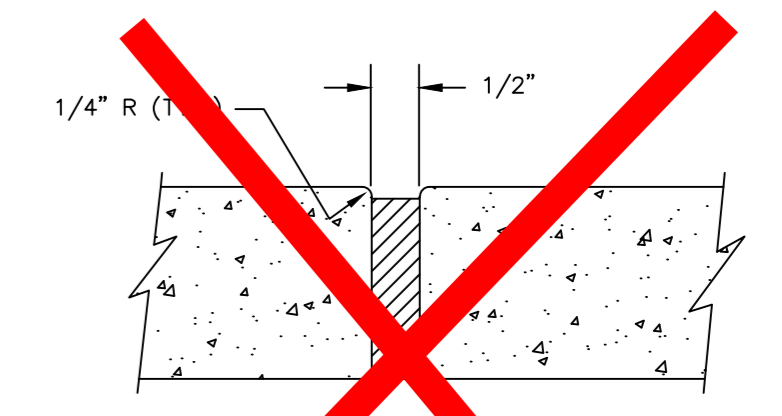
TYPICAL STAKE INSTALLATION

Flow Line Gradient	Maximum Check Dam Spacing based on Nominal Log Diameter (Feet)		
	8 to 9 inches	12 inches	18 to 20 inches
0% to 2%	30	55	75
2% to 5%	25	40	55
5% to 10%	15	30	40
10% to 33%	10	15	20
33% to 50%	5	10	15

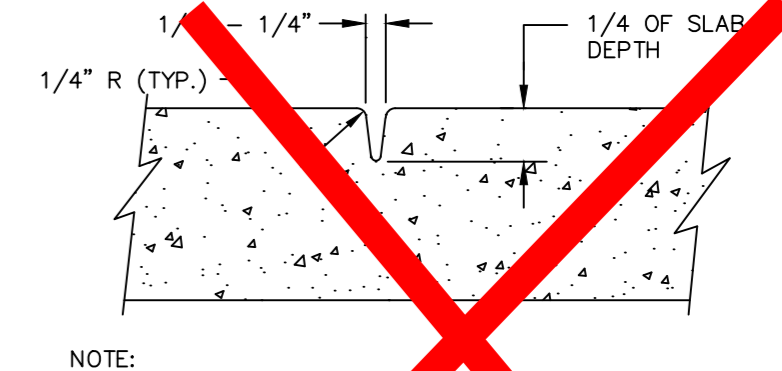
SEDIMENT CONTROL LOG (SCL)
N.T.S.



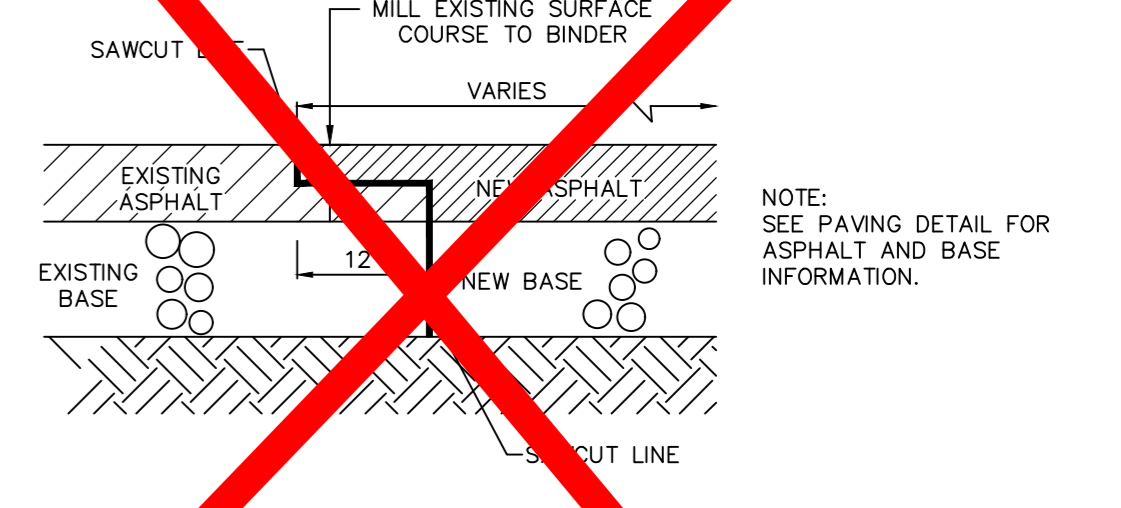
DROP INLET (IP)
N.T.S.



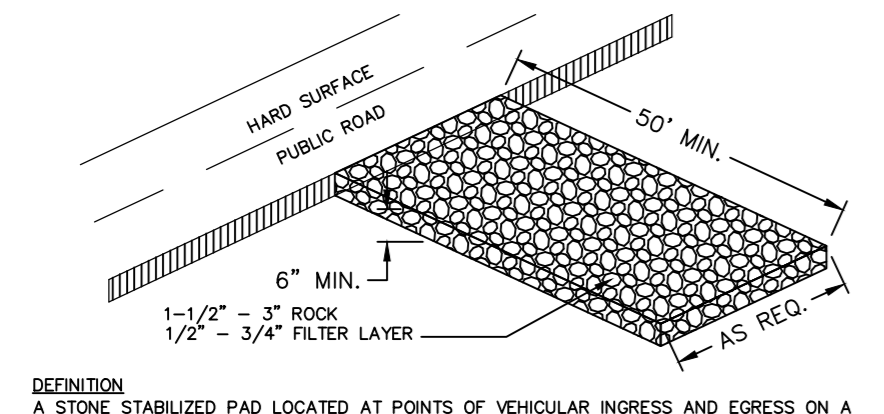
~~**STANDARD EXPANSION JOINT**~~
N.T.S.



~~**STANDARD CONTRACTION JOINT**~~
N.T.S.



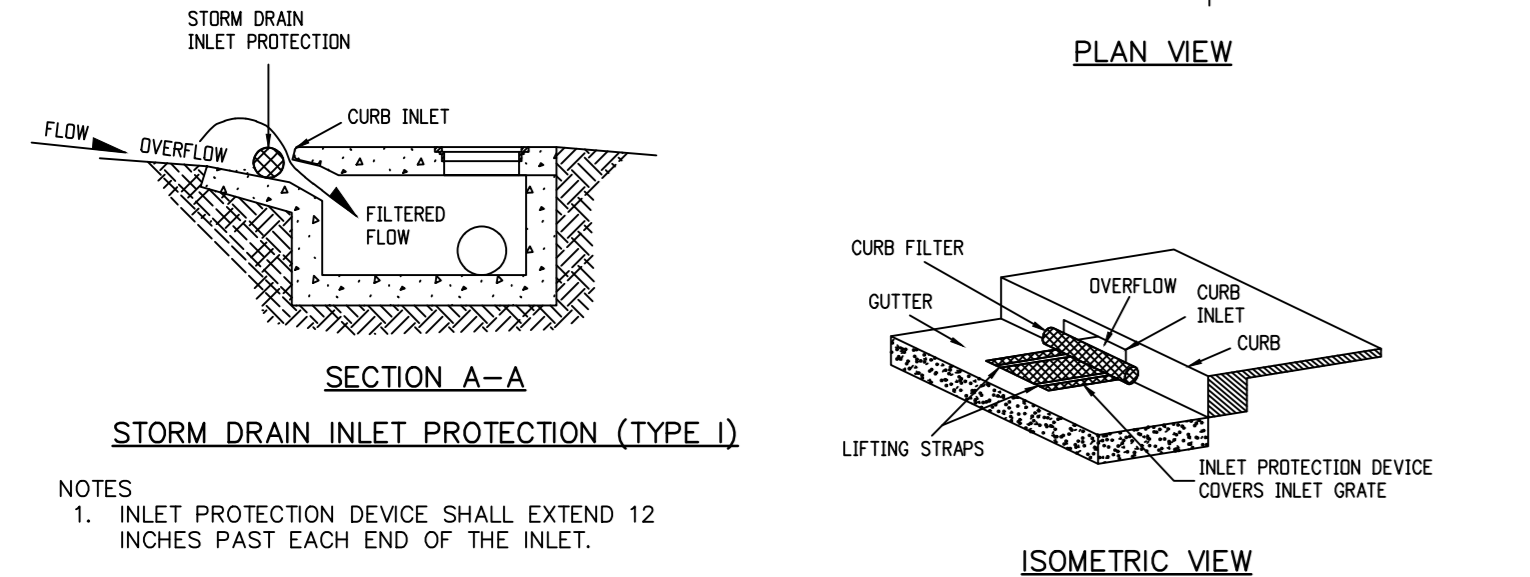
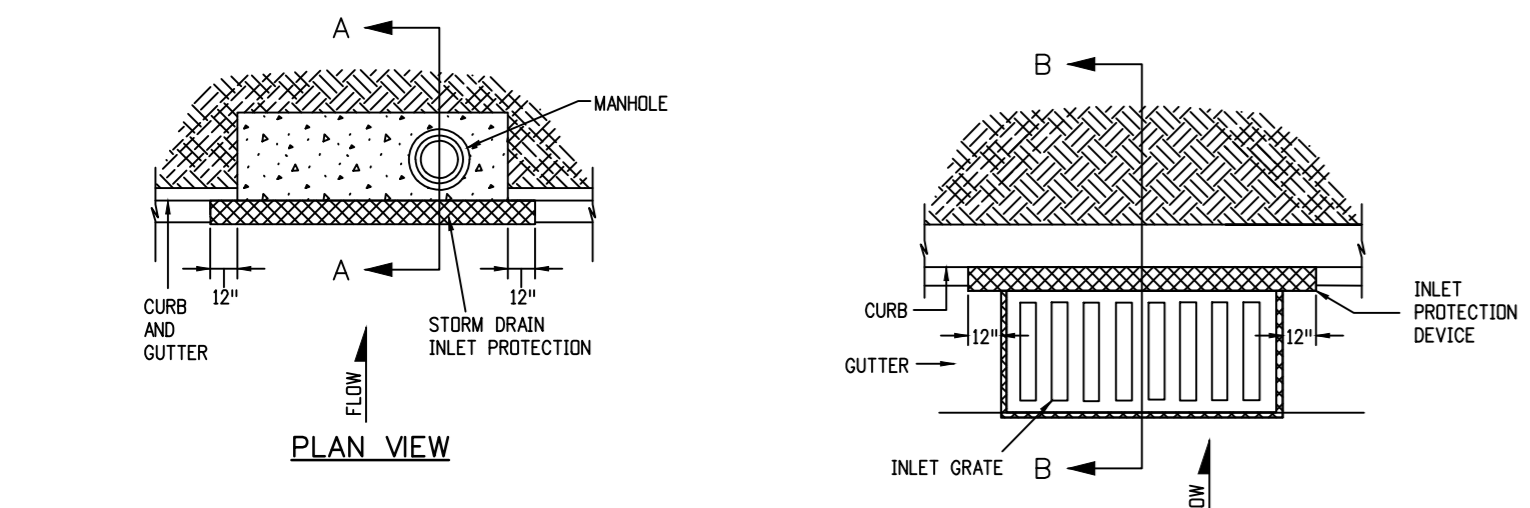
~~**SAWCUT DETAIL**~~
N.T.S.



DEFINITION
A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSES
TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.
NOTE: ONLY APPLICABLE FOR SITES GREATER THAN 2 ACRES IN SIZE.

VEHICLE TRACKING CONTROL (VTC)
N.T.S.



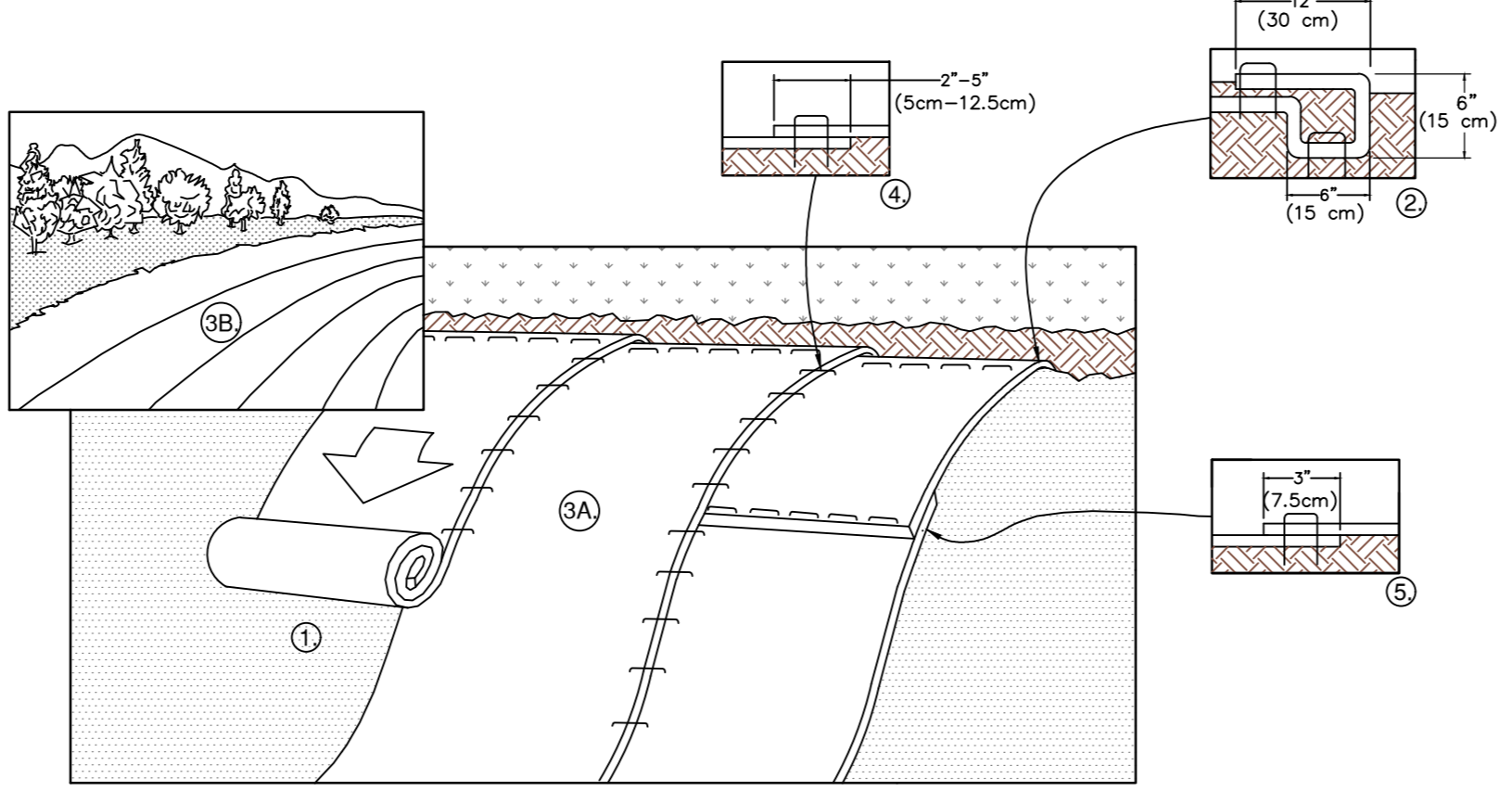
NOTES

1. INLET PROTECTION DEVICE SHALL EXTEND 12 INCHES PAST EACH END OF THE INLET.

USE TYPE 13 INLET APPLICATION

INLET PROTECTION (IP)
N.T.S.

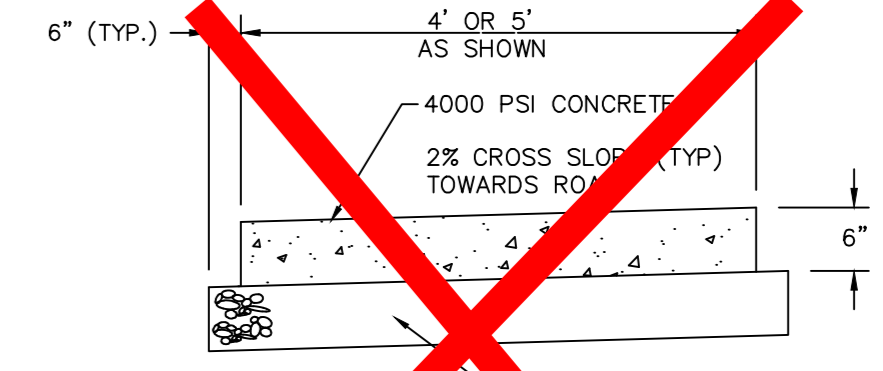
SLOPE INSTALLATION



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

14649 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47725
USA 1-800-772-2040 CANADA 1-800-448-2040
www.nagreen.com

EROSION CONTROL BLANKET (ECB)
N.T.S.



STRIP ALL TOPSOIL SCARIFY AND COMPACT 6" CLASS 6 AGGREGATE BASE COURSE SUBGRADE A MINIMUM OF 8" DEPTH TO 95% STANDARD PROCTOR.

~~**CONCRETE SIDEWALK DETAIL**~~
N.T.S.

DRAWN & DESIGNED BY: H.E.B.
REVIEWED BY: _____
CHECKED BY: H.E.B.
DATE: _____ **FOR:** _____

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CARBONDALE, CO 81623 • (970) 963-2170
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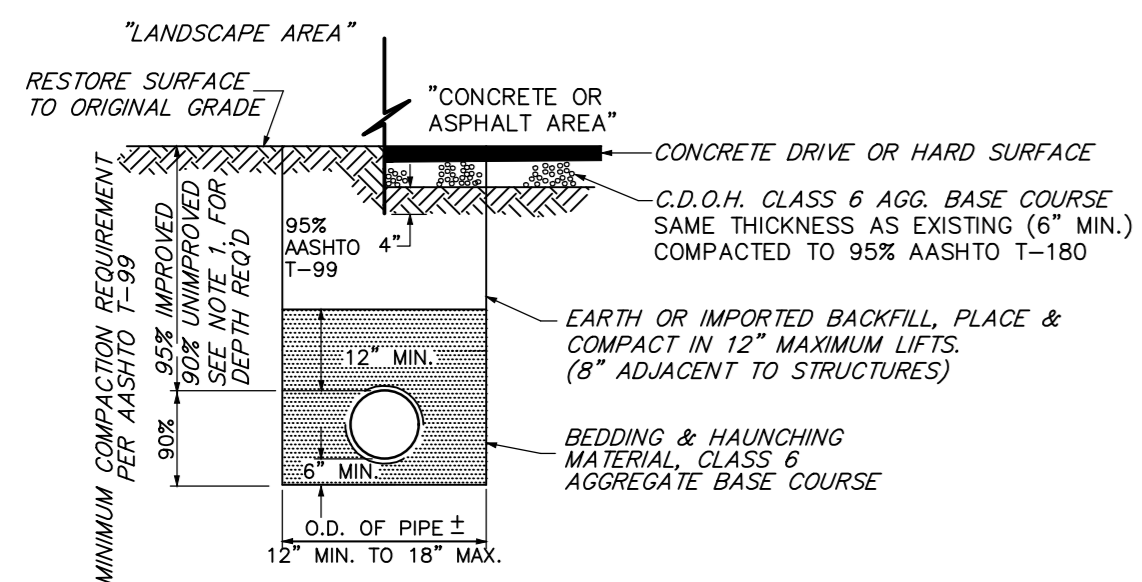
REVISION	DATE	DESCRIPTION	BY	CH'D

COAL SEAM LLC
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
MISCELLANEOUS DETAILS

SCALE: N.T.S. **JOB NO:** 2024.11 **DATE:** 10-29-25
SHEET NO: C7

TRENCH DETAIL NOTES:

1. MINIMUM PIPE COVER 30" UNDER HARD SURFACES AND 30" IN NATIVE, STEEP SLOPE AREAS.



**DRAINAGE PIPE
TYPICAL TRENCH DETAIL**

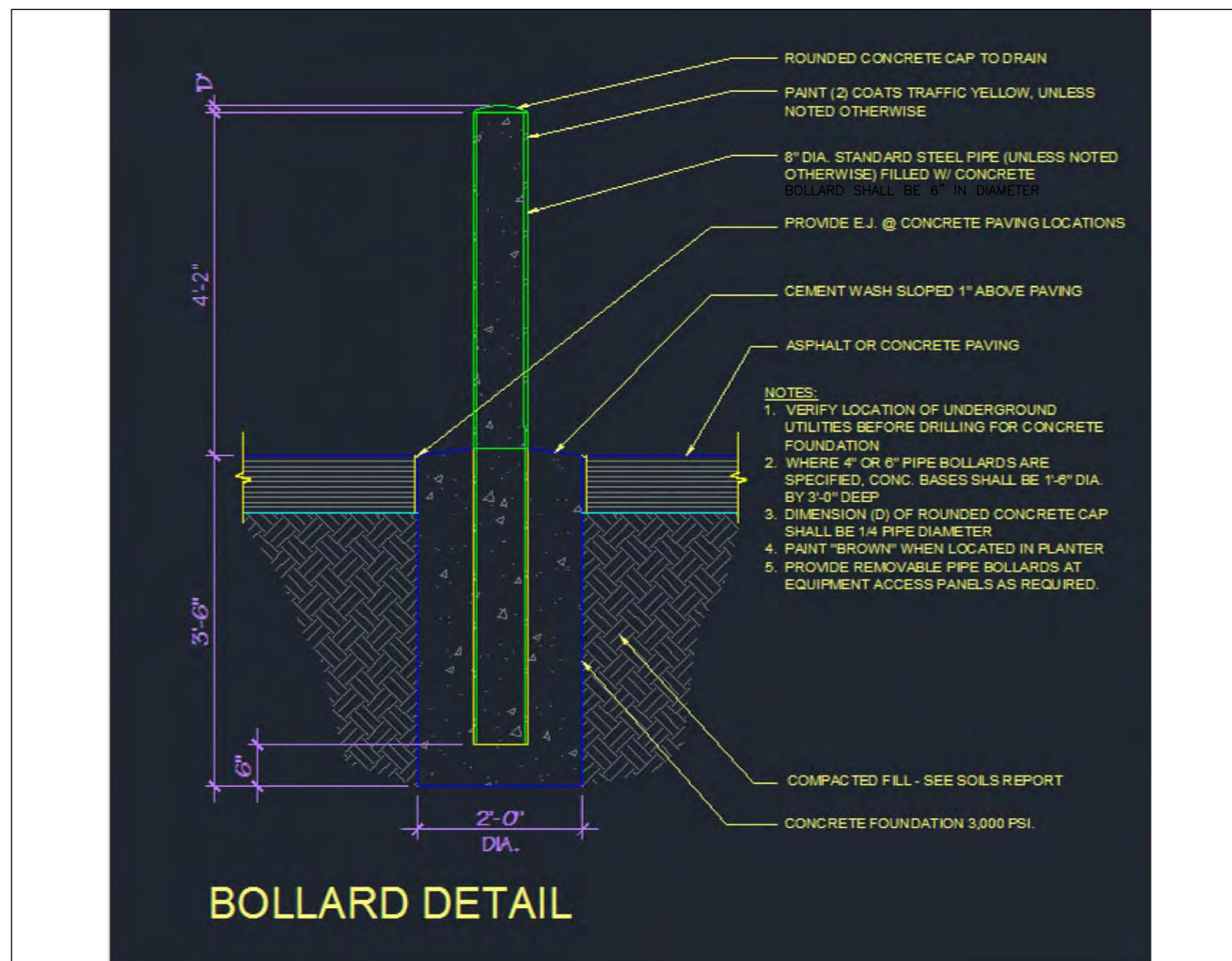
N.T.S.

SIEVE SIZE	MAXIMUM PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES		
	PIPE BEDDING & HAUNCHING MATERIAL (TYPE A)	GRANULAR STABILIZATION MATERIAL (SCREENED OR CRUSHED ROCK TYPE B)	IMPORTED MATERIAL (TO BE USED WHERE SPECIFIED OR DIRECTED BY THE ENGINEER)
12 INCH	---	---	100
2 INCH	---	100	---
1 INCH	100	---	---
NO 4	---	15 MAX	---
NO 200	20 MAX	---	3% - 20%

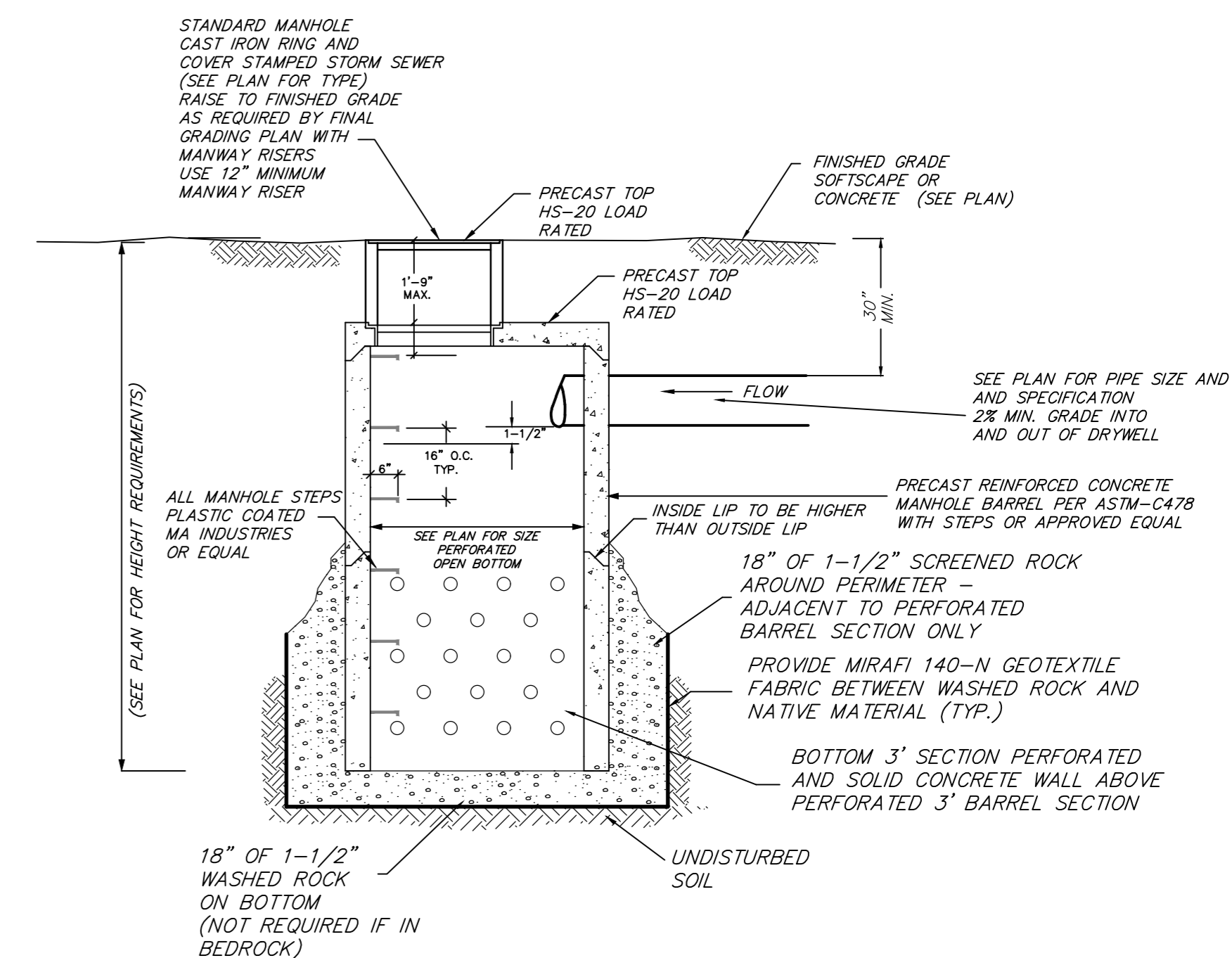
IMPORTED MATERIAL SHALL ALSO MEET HAZEN UNIFORMITY COEF. (C_u) > 6 AND COEFFICIENT OF CURVATURE (C_c) 1 TO 8 AND PLASTICITY INDEX (PI) MAXIMUM OF 7.

ALL BACKFILL MATERIAL SHALL BE PLACED FULL WIDTH IN 12" MAX. LIFTS (8" LIFTS ADJACENT TO STRUCTURES) AND COMPACTED TO THE MIN. RELATIVE DENSITIES SHOWN

NOTE: NATIVE MATERIAL MAY BE USED IN LIEU OF GRANULAR BEDDING & HAUNCHING MATERIAL IF APPROVED BY THE ENGINEER AND THE NATIVE MATERIAL IS IN COMPLIANCE WITH SIZE REQUIREMENTS FOR "TYPE A".



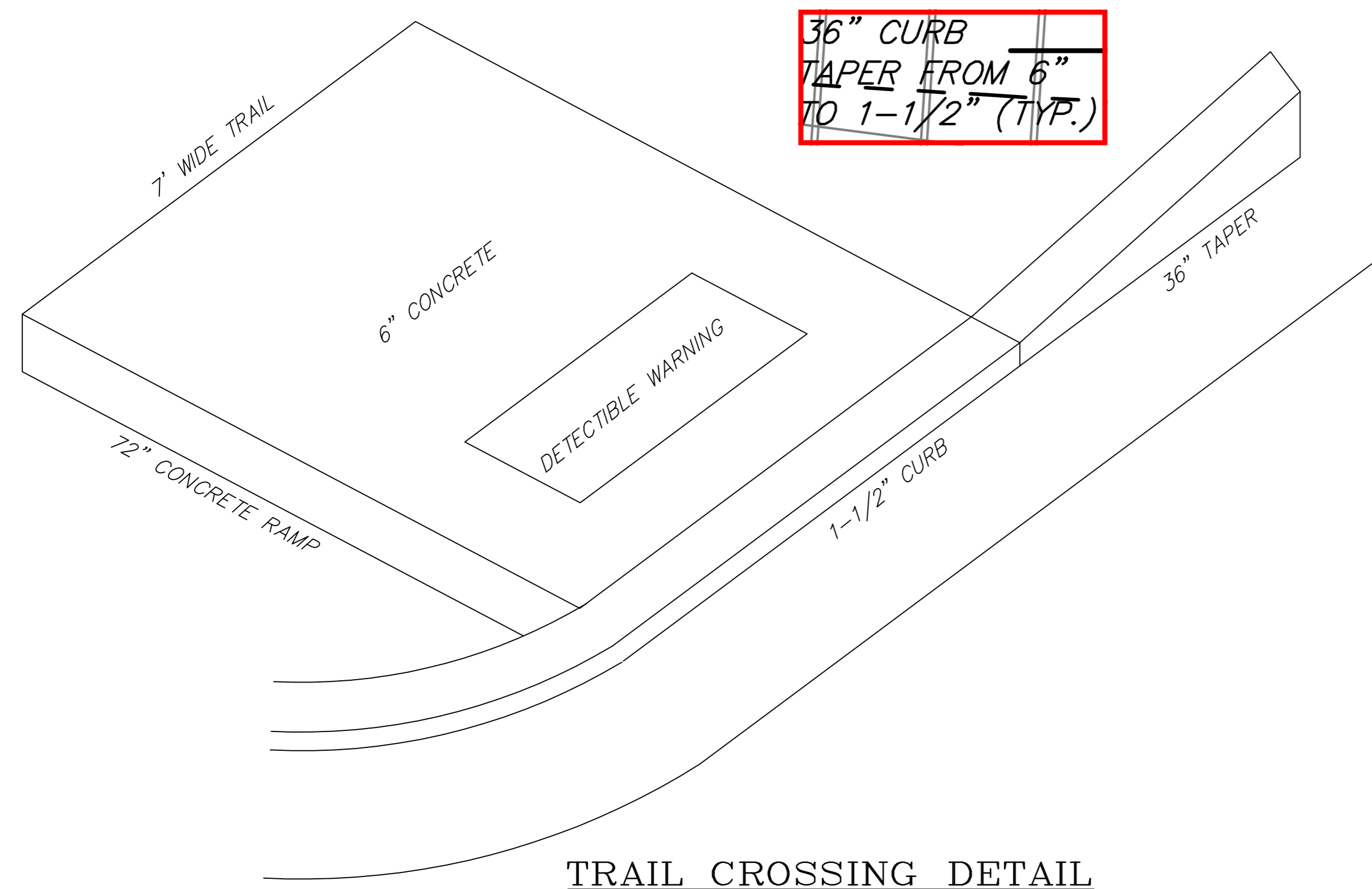
BOLLARD DETAIL



DRYWELL NOTES:

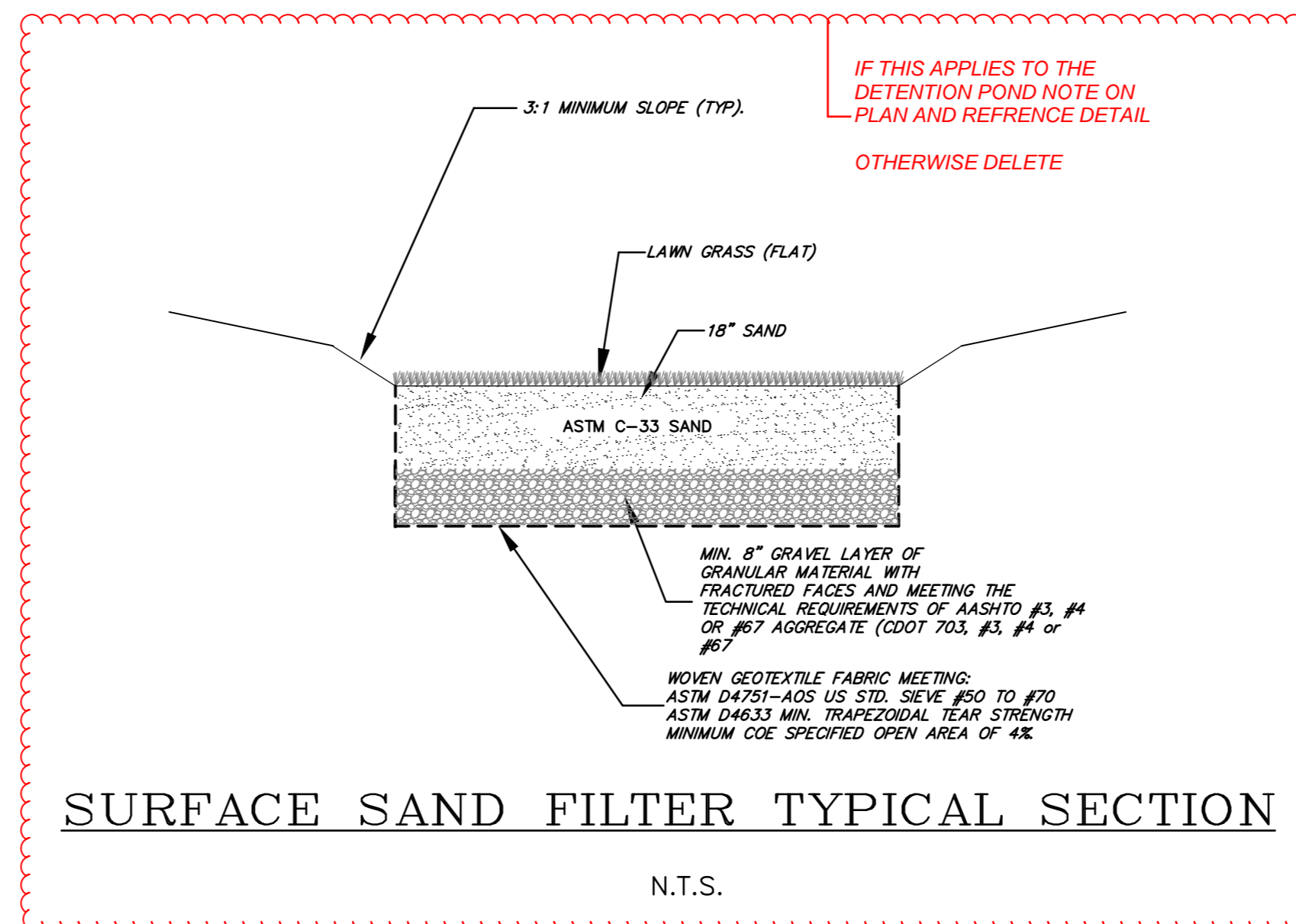
1. INLET PIPE SHOULD ENTER DRYWELL AWAY FROM DRYWELL STEPS.
2. USE LINK SEAL OR NO-SHRINK GROUT BETWEEN DRAIN PIPES AND MANHOLE
3. LOCATE MANHOLE COVER ON DOWN-GRADE SIDE OF DRYWELL AND RAISE TO FINISHED GRADE AS REQUIRED.
4. CONTACT ENGINEER IF GROUND WATER IS ENCOUNTERED DURING EXCAVATION.

DRYWELL DETAIL



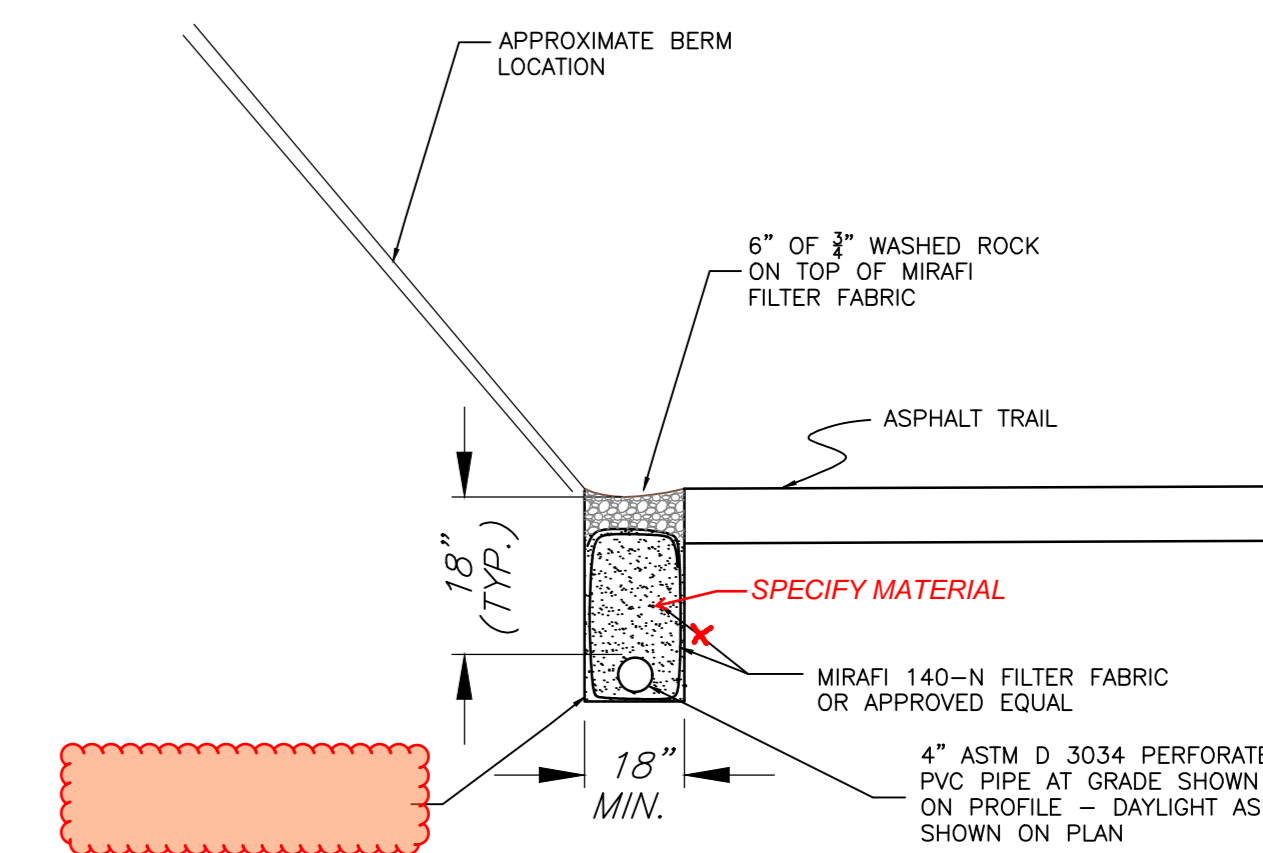
TRAIL CROSSING DETAIL

N.T.S.



SURFACE SAND FILTER TYPICAL SECTION

N.T.S.



**4" PERFORATED PVC
FRENCH DRAIN DETAIL**

N.T.S.

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CHECKED BY: H.E.B.	DATE: _____ FOR _____

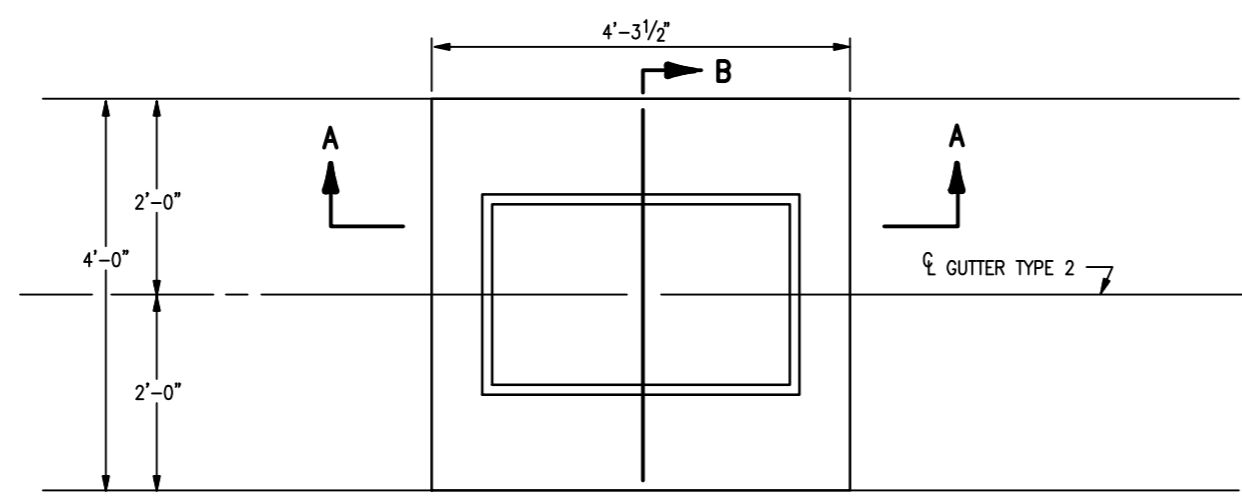
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CONSULTING ENGINEERS • 0805 BUCK POINT ROAD
CARBONDALE, CO 81623 • (970) 963-2170
pinnacle设计@sopris.net

REVISION	DATE	DESCRIPTION	BY	CH'D

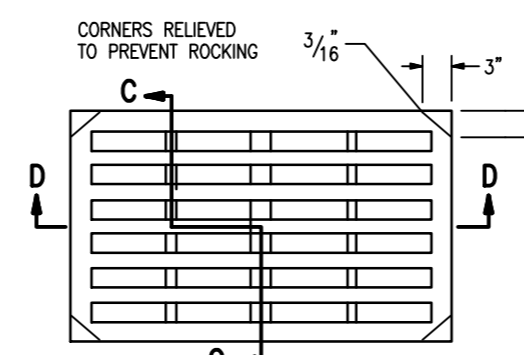
COAL SEAM LLC

LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
MISCELLANEOUS DETAILS

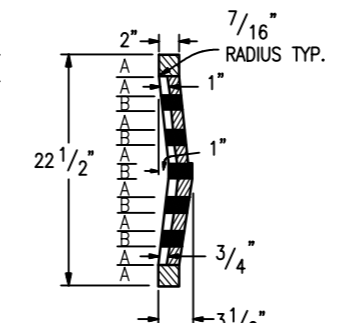
SCALE: N.T.S.	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO: C8		



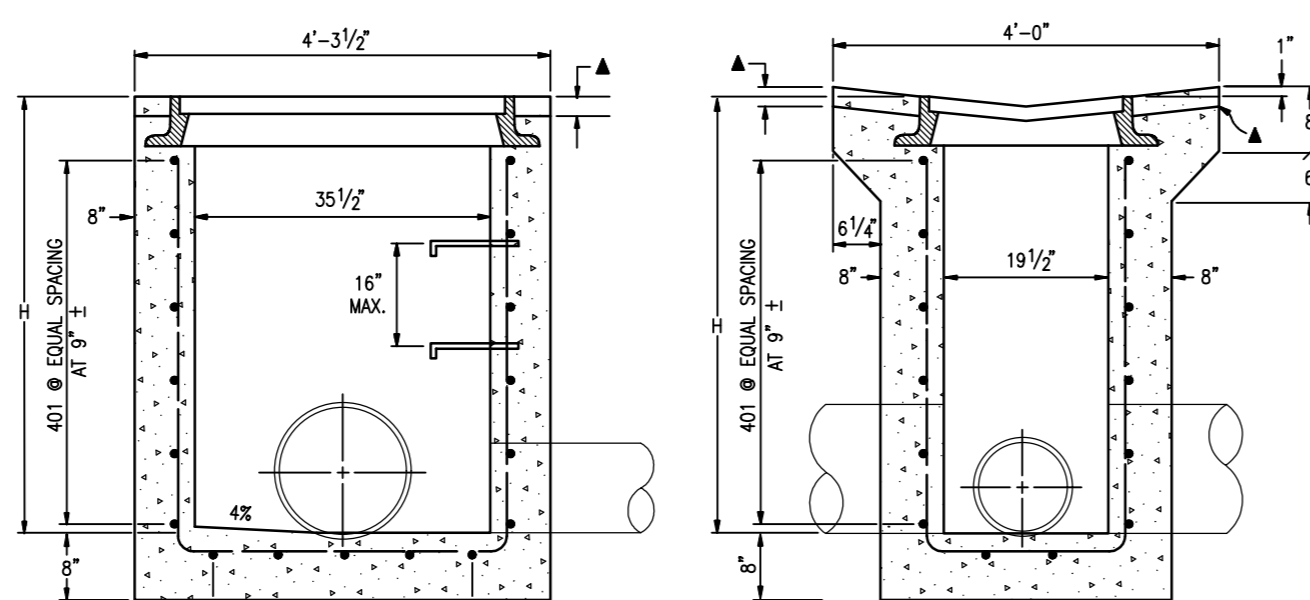
PLAN OF TYPE 13 INLET FOR GUTTER TYPE 2



SECTION C-C
NO. 13 GRATE

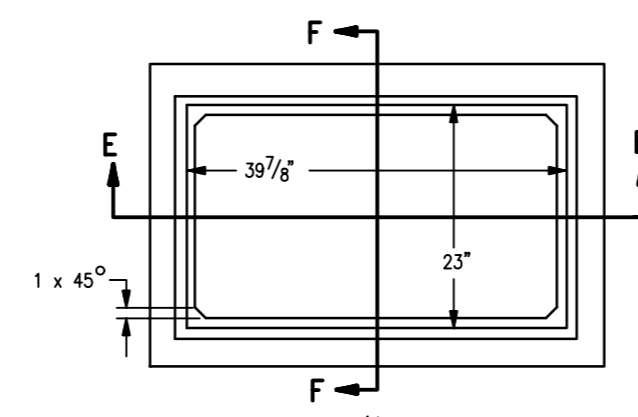


SECTION D-D

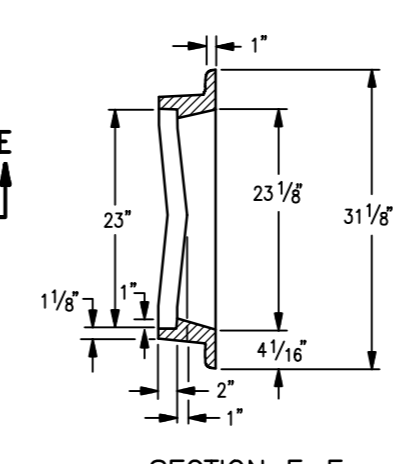


SECTION A-A

SECTION B-B



SECTION E-E
NO. 13 GRATING & FRAMES



SECTION F-F

SHOW SUMP AS NOTED ON PLANS

ALL DIMENSIONS ARE OUT-TO-OUT OF BAR
BENDING DIAGRAM N.T.S.

TYPE 13 INLET DETAILS

N.T.S.

APPROX. WEIGHT 590 LBS.

GENERAL NOTES

1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
2. CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
3. EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4 IN.
4. REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE EPOXY COATED.
5. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION 7\"/>

QUANTITIES

H	CONCRETE CU. YD.	REINFORCING STEEL Ø LB.	NO. OF 401 BARS REQ'D.
3'-0"	1.3	72	4
3'-6"	1.5	76	4
4'-0"	1.6	90	5
4'-6"	1.8	104	6
5'-0"	1.9	109	6
5'-6"	2.1	122	7
6'-0"	2.2	136	8
6'-6"	2.4	141	8
7'-0"	2.5	154	9
7'-6"	2.7	168	10
8'-0"	2.8	173	10
8'-6"	3.0	187	11
9'-0"	3.1	200	12
9'-6"	3.3	206	12
10'-0"	3.4	219	13

Ø INCLUDES 1% FOR OVERRUN.
NOTE: CONCRETE QUANTITIES INCLUDE VOLUME OCCUPIED BY PIPE.

BAR LIST FOR H=3'-0"

MARK	NO. REQ'D.	DIMENSIONS		LENGTH
		X	Y	
401	4	3'-6"	2'-2"	13'-4"
402	2	3'-4 1/2"	* 2'-6 1/2"	8'-5 1/2"
403	5	2'-1 1/2"	* 2'-7"	7'-2 1/2"

* ADD 6 IN. TO THIS DIMENSION FOR EACH 6 IN. INCREASE OF "H" OVER 3 FT.-0 IN.

NOTE:

SEE PLAN DETAILS FOR LOCATION AND SIZE OF PIPE.

▲ WHEN BITUMINOUS MATERIAL IS TO EXTEND TO THE EDGE OF THE GRATING FRAME, CONCRETE MAY BE DEPRESSED.

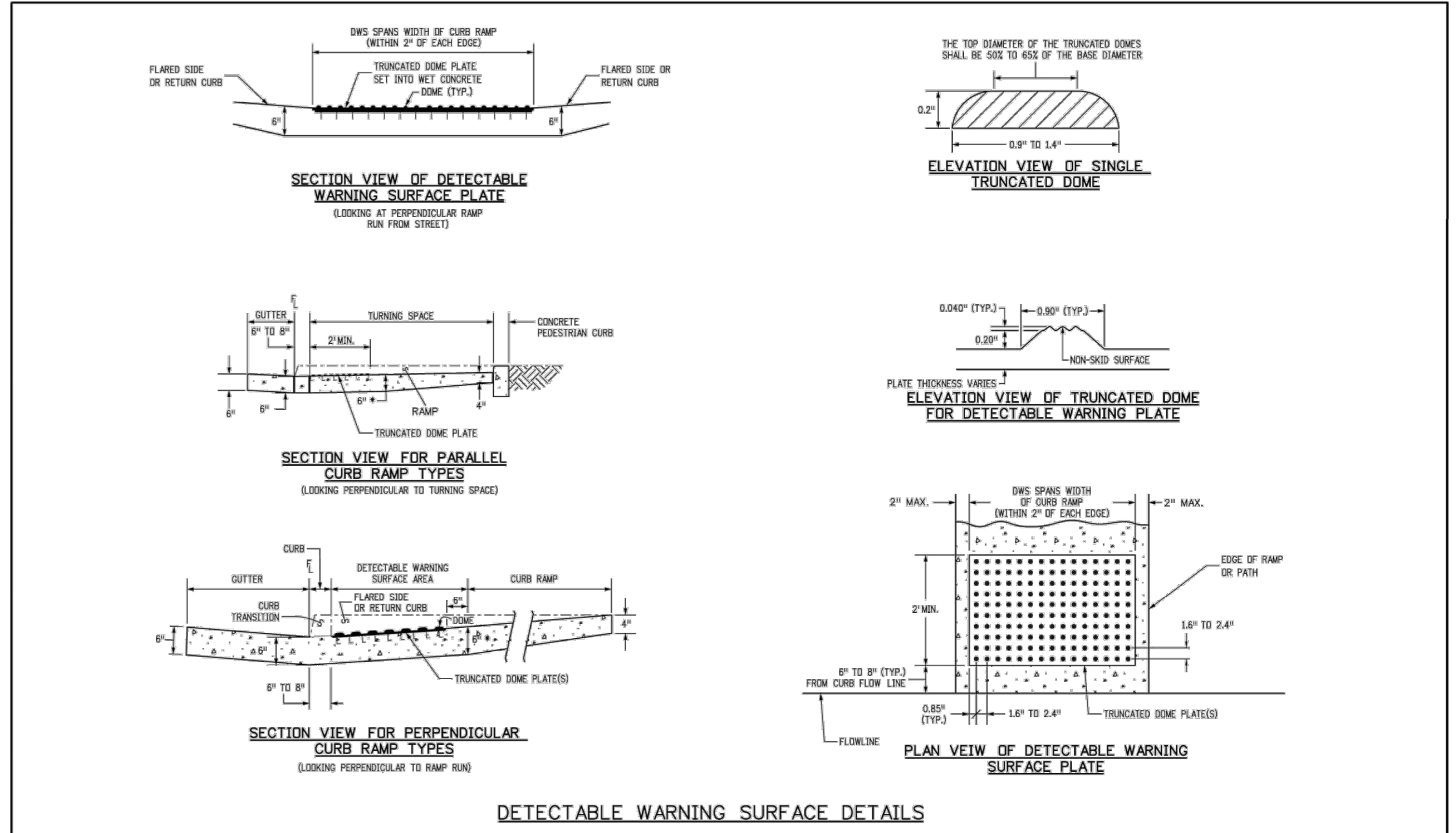
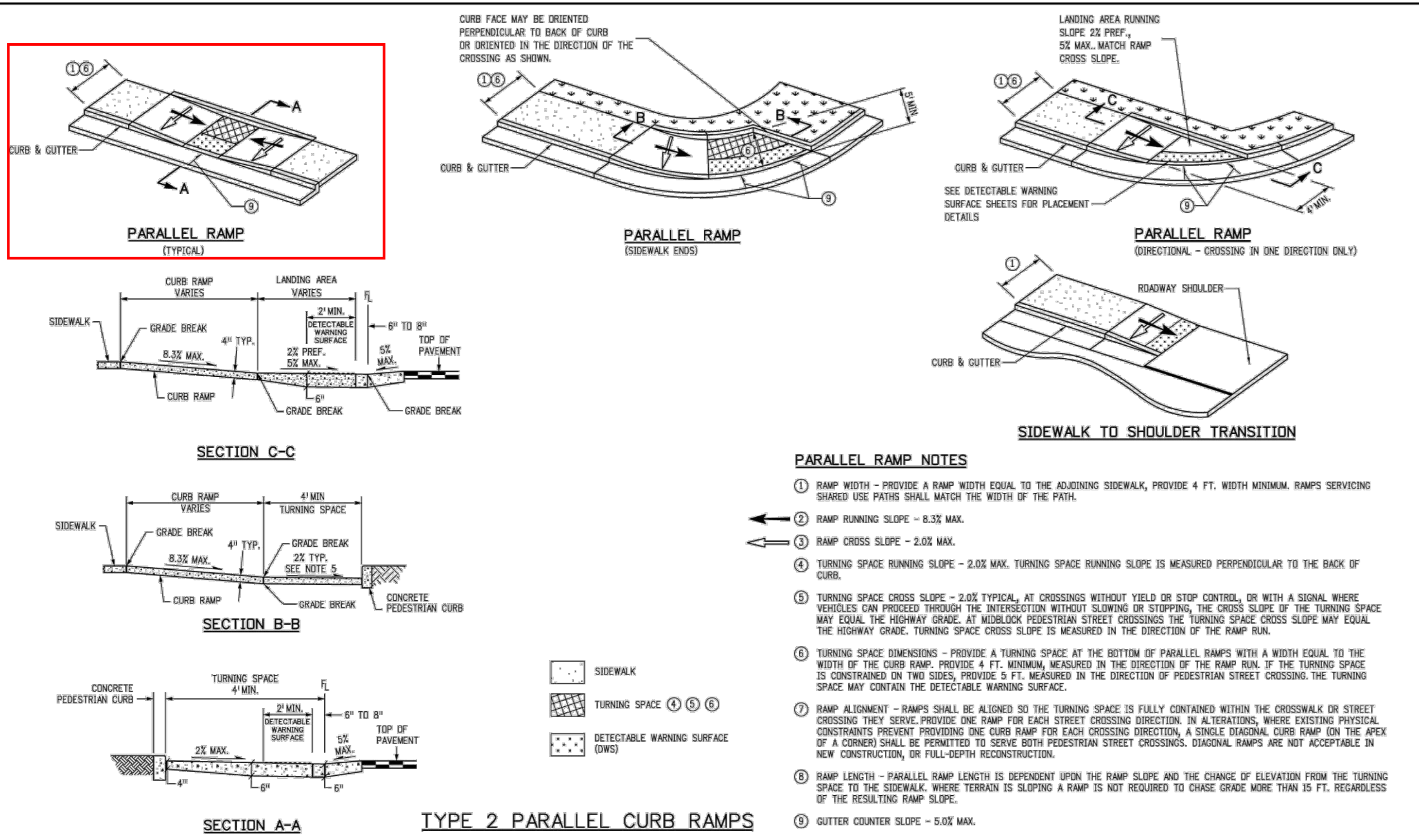
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REVISION	DATE	DESCRIPTION	BY	CHK'D

COAL SEAM LLC
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
TYPE 13 INLET DETAIL

SCALE: N.T.S.	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO: C9		



Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
Creation Date: 07/31/19	Designer Initials: JBK	Date:	Comments:	2829 West Howard Place C2011 HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868		M-608-1	
Last Modification Date: 07/31/19	Detailer Initials: LTA			Project Development Branch		Standard Sheet No. 4 of 10	
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				Project Development Branch		Project Sheet Number:	

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CHECKED BY: H.E.B.	DATE: _____ FOR: _____

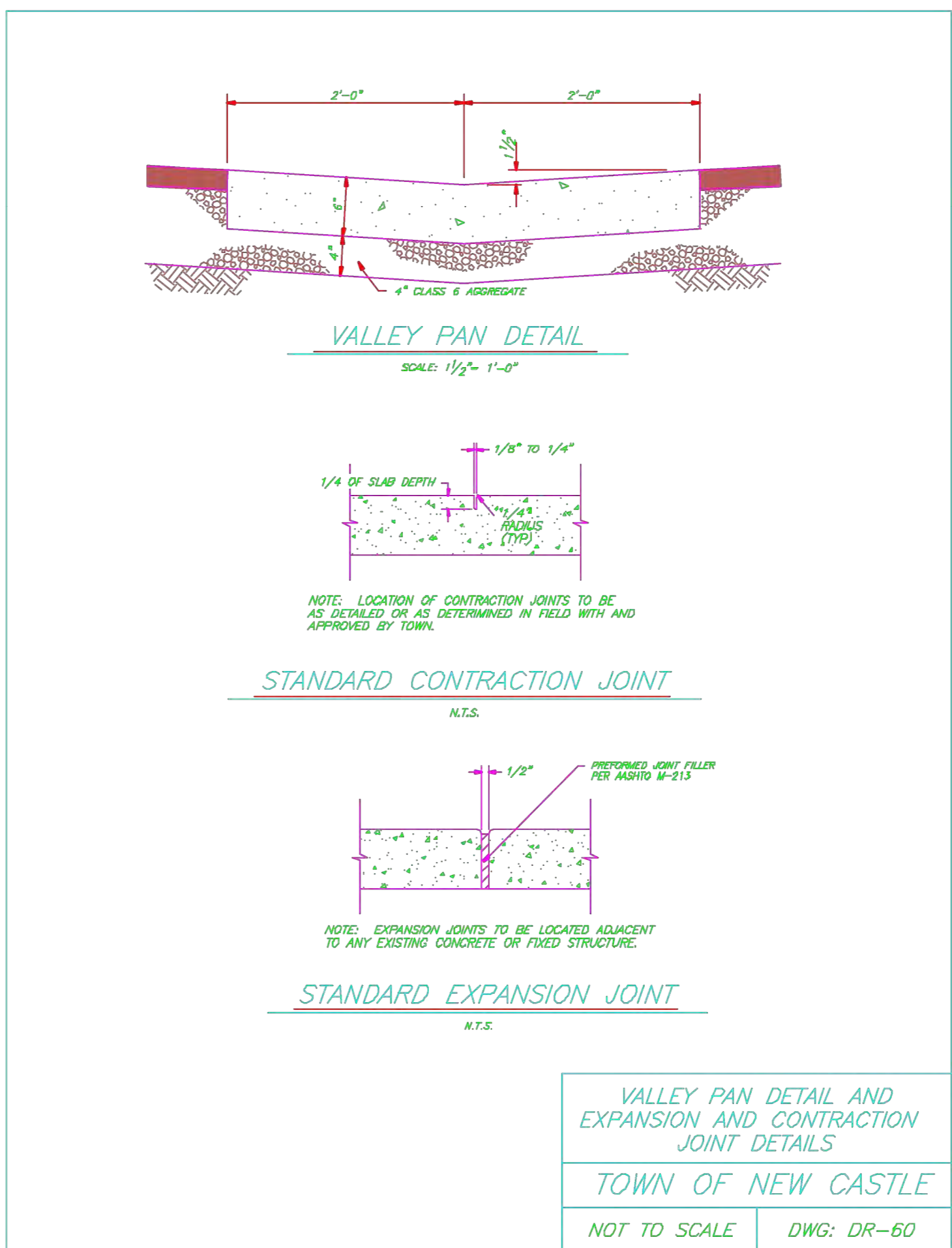
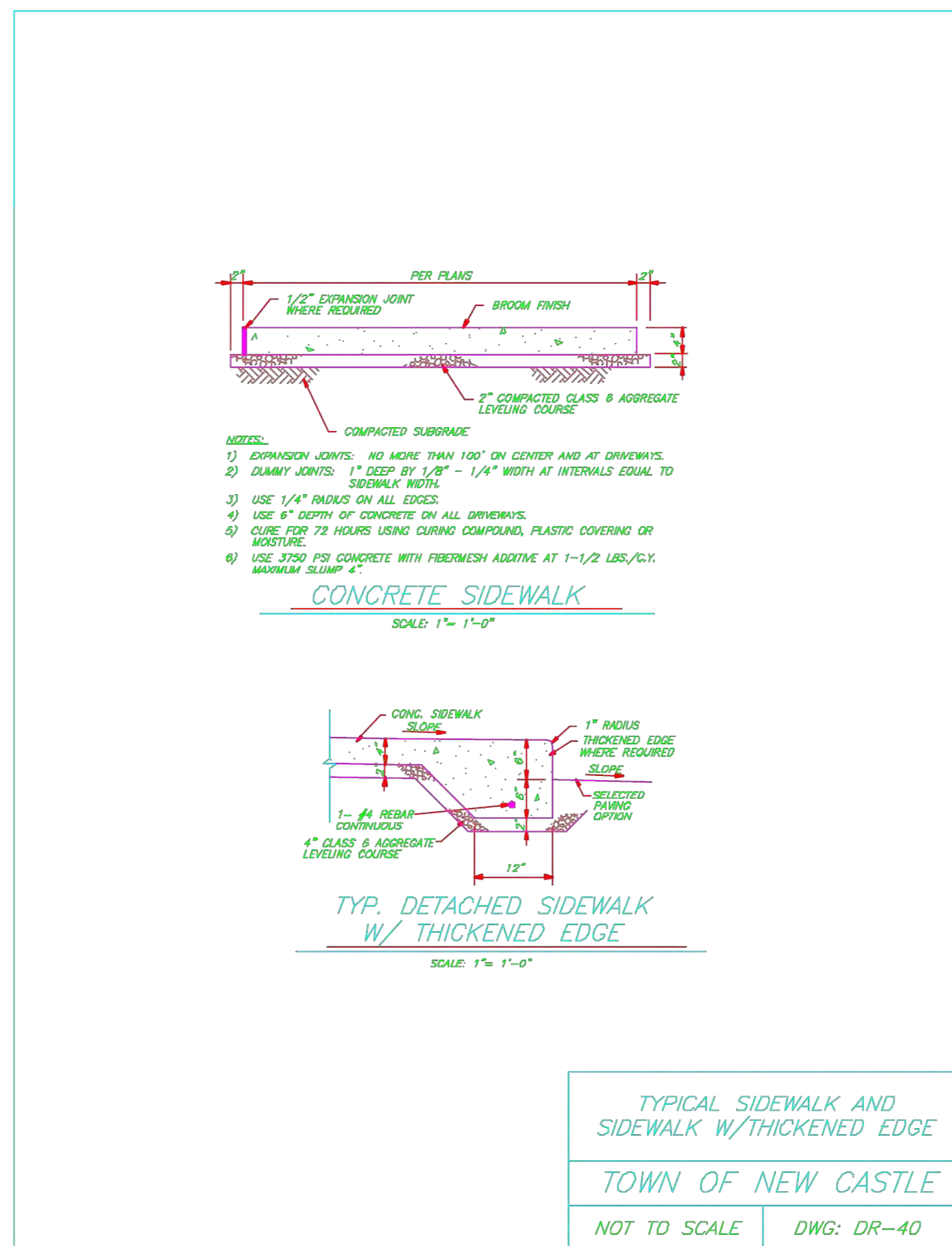
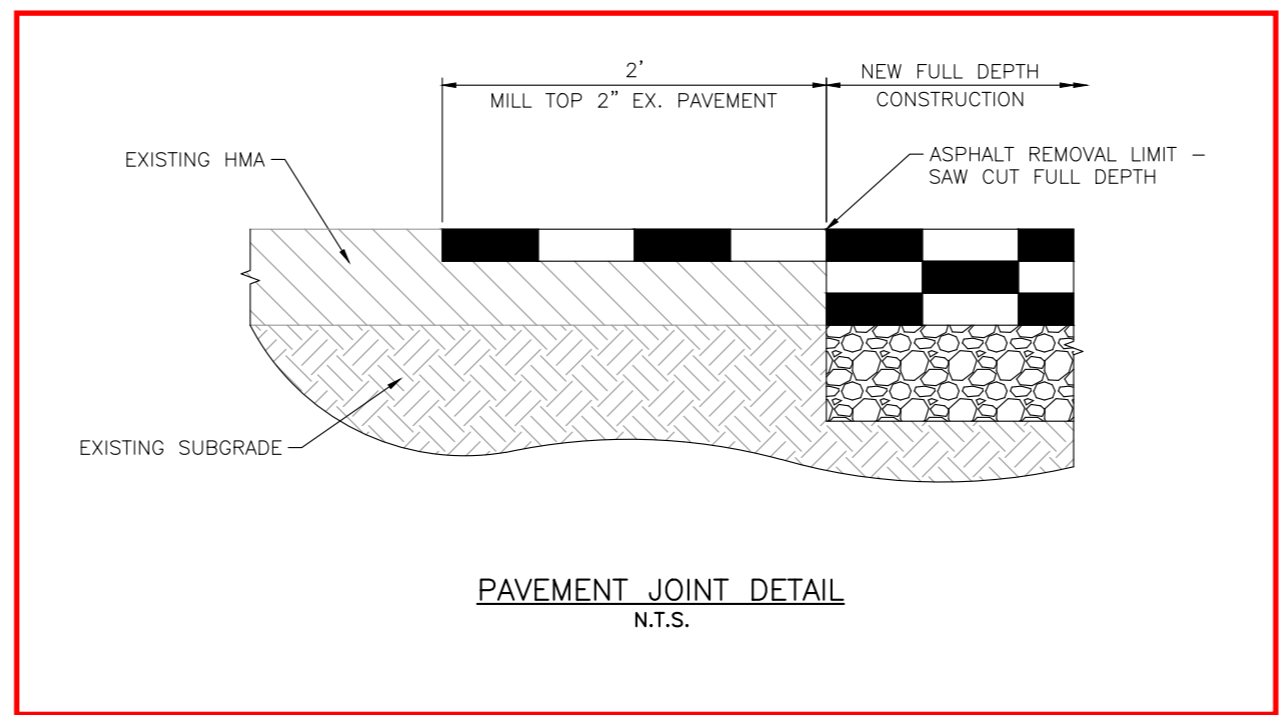
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REVISION	DATE	DESCRIPTION	BY	CHK'D

COAL SEAM LLC

LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
HANDICAP RAMP AND DETECTABLE WARNING DETAILS

SCALE: N.T.S.	JOB NO.: 2024.11	DATE: 10-29-25
SHEET NO.: C10		



PROVIDE CURB AND GUTTER DETAILS

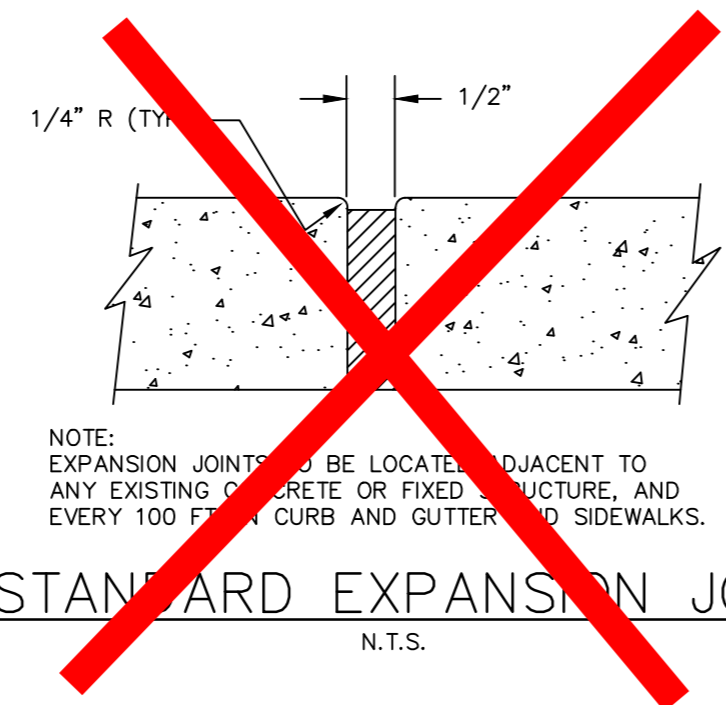
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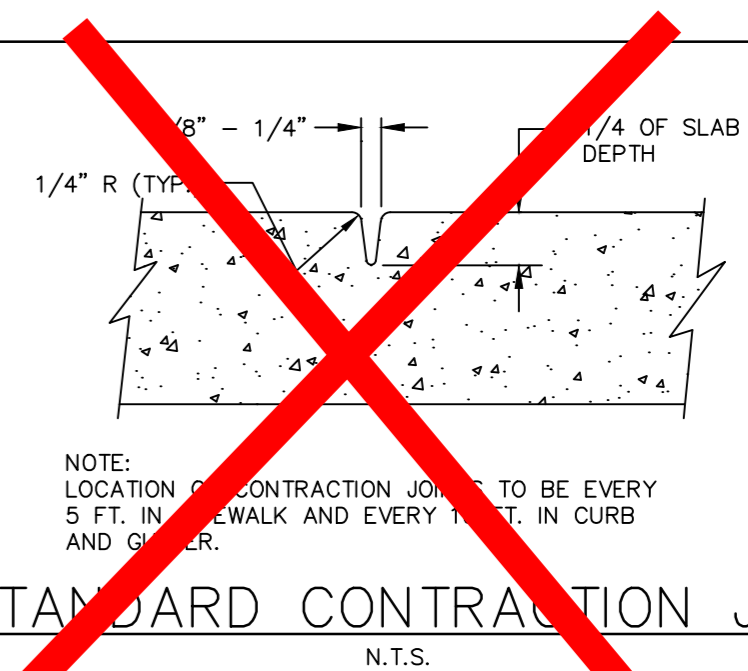
REVISION	DATE	DESCRIPTION	BY	CHKD

COAL SEAM LLC
 LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
 DRAINAGE DETAILS

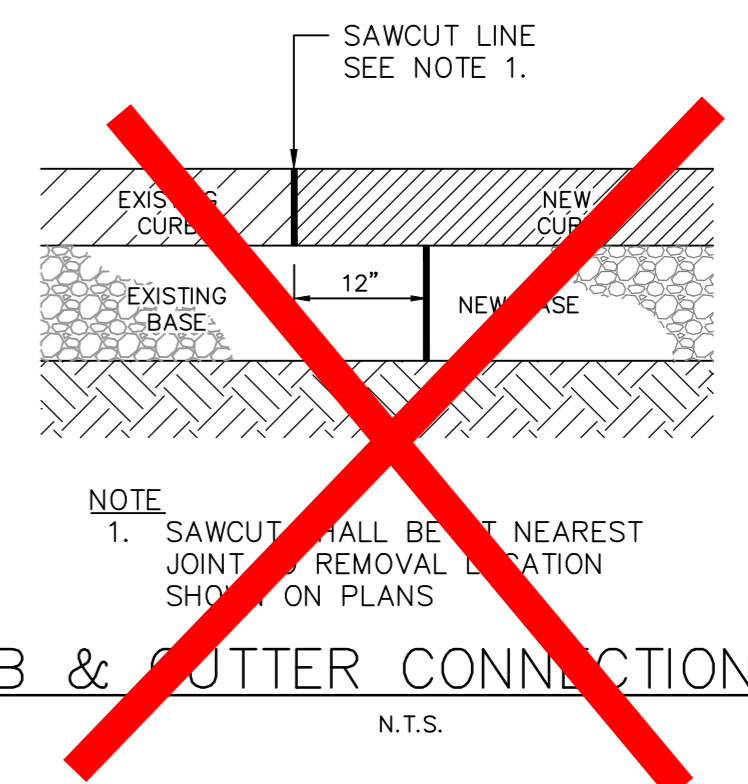
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SHEET NO: C11		



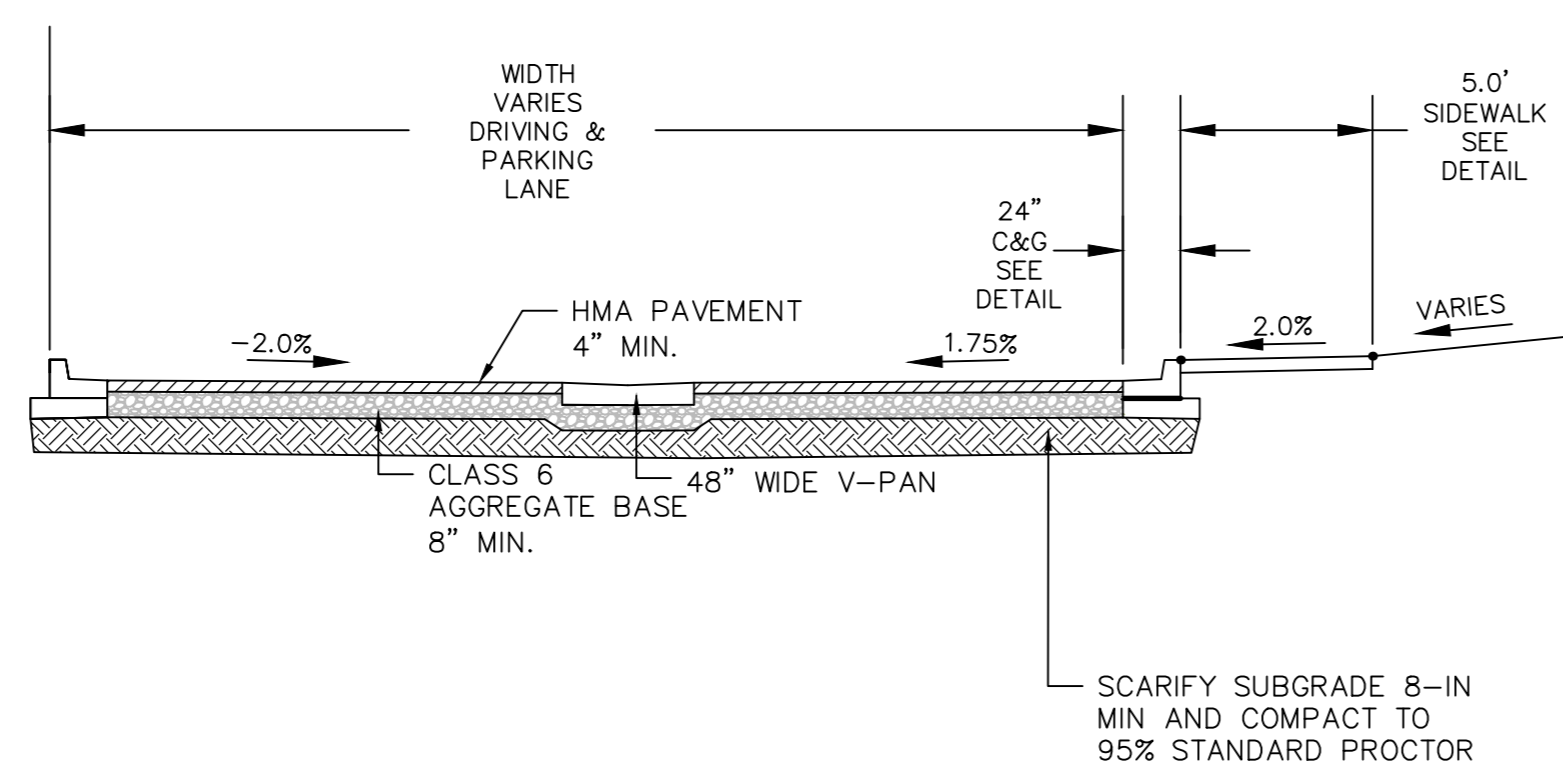
STANDARD EXPANSION JOINT
N.T.S.



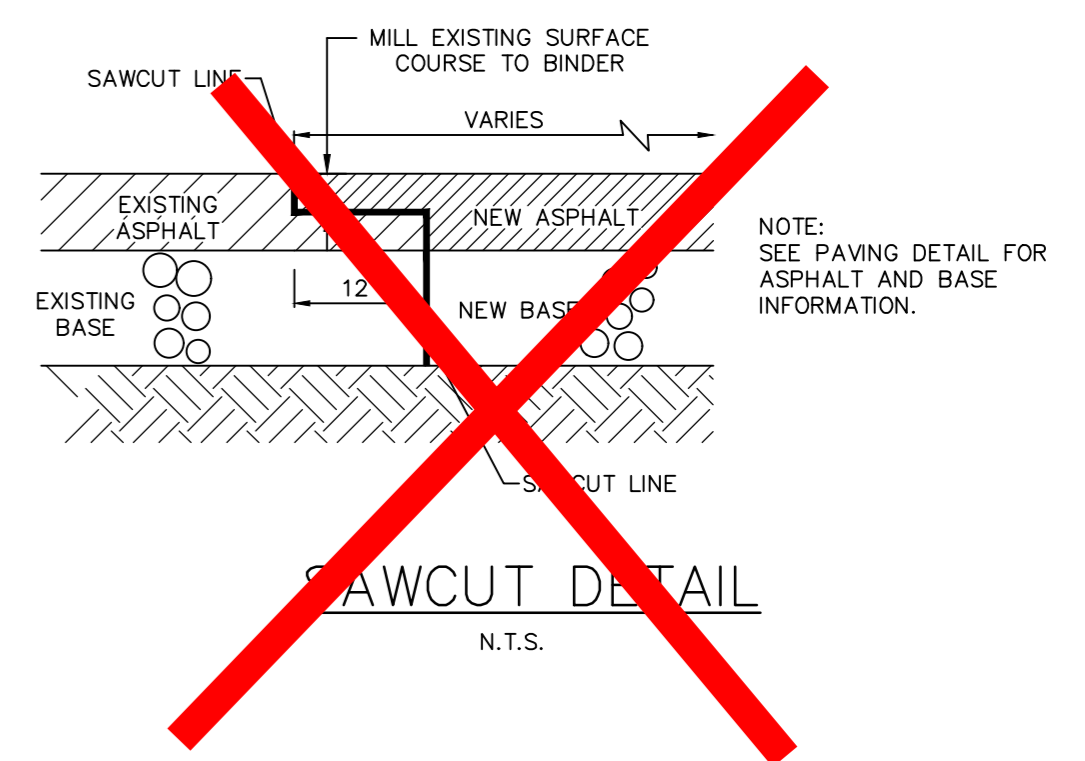
STANDARD CONTRACTION JOINT
N.T.S.



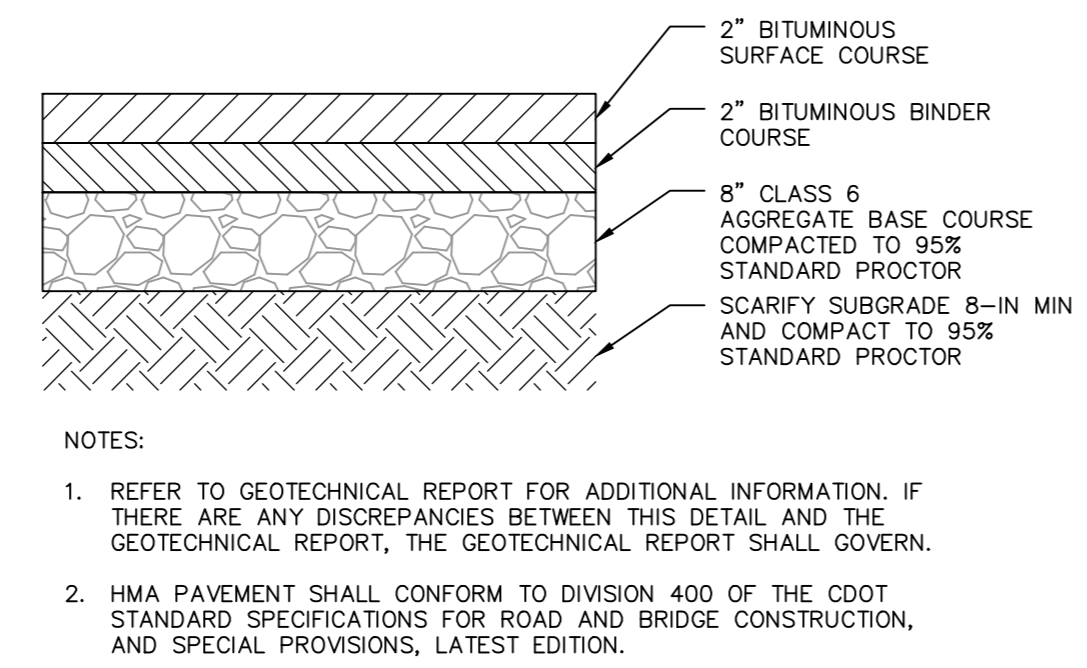
CURB & GUTTER CONNECTION DETAIL
N.T.S.



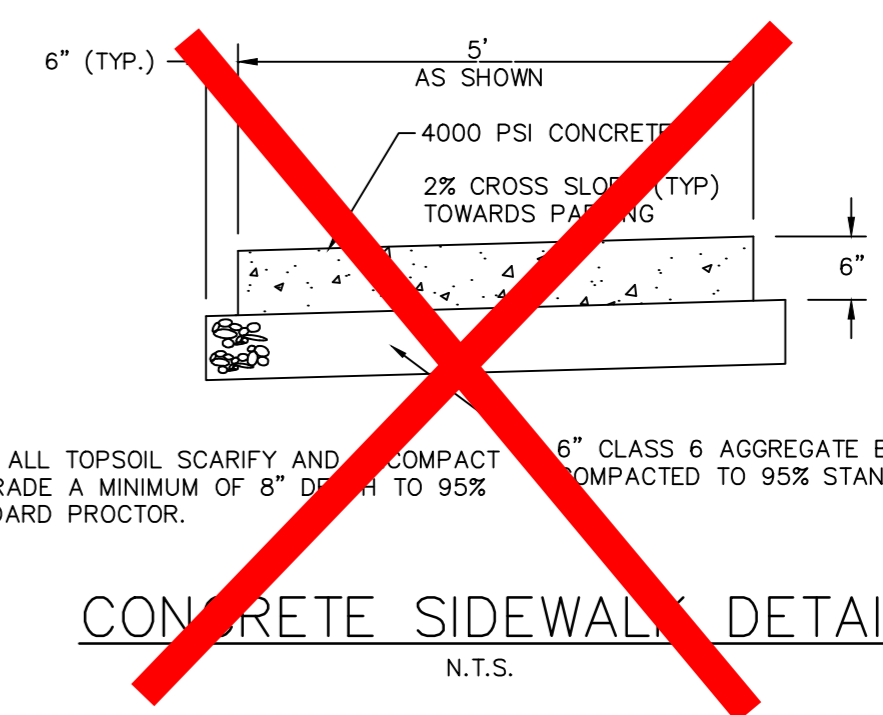
PARKING LOT - TYPICAL SECTION
N.T.S.



SAWCUT DETAIL
N.T.S.



PAVEMENT SECTION - HEAVY DUTY
N.T.S.

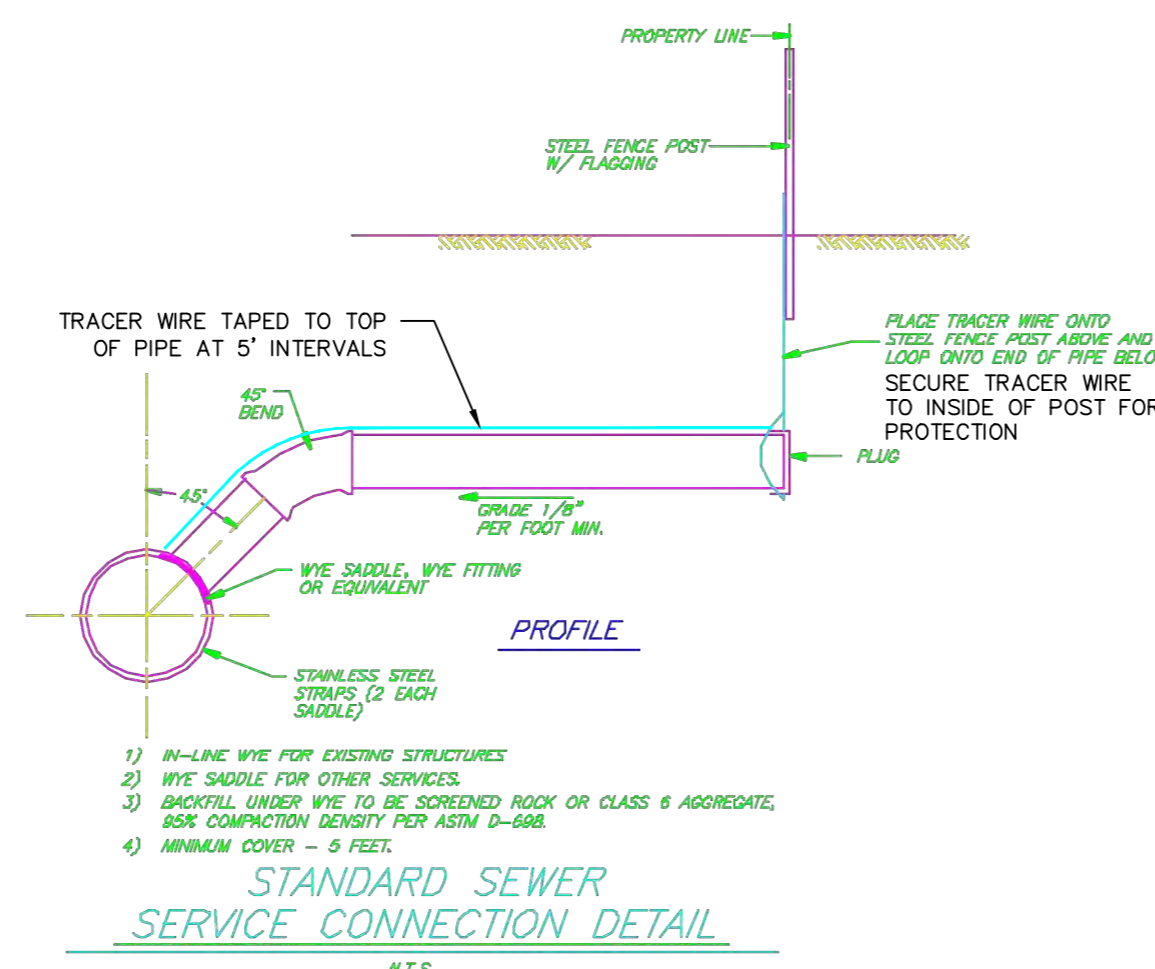


CONCRETE SIDEWALK DETAIL
N.T.S.

DRAWN & DESIGNED BY: H.E.B.	REVIEWED BY: _____
CHECKED BY: H.E.B.	DATE: _____ FOR _____

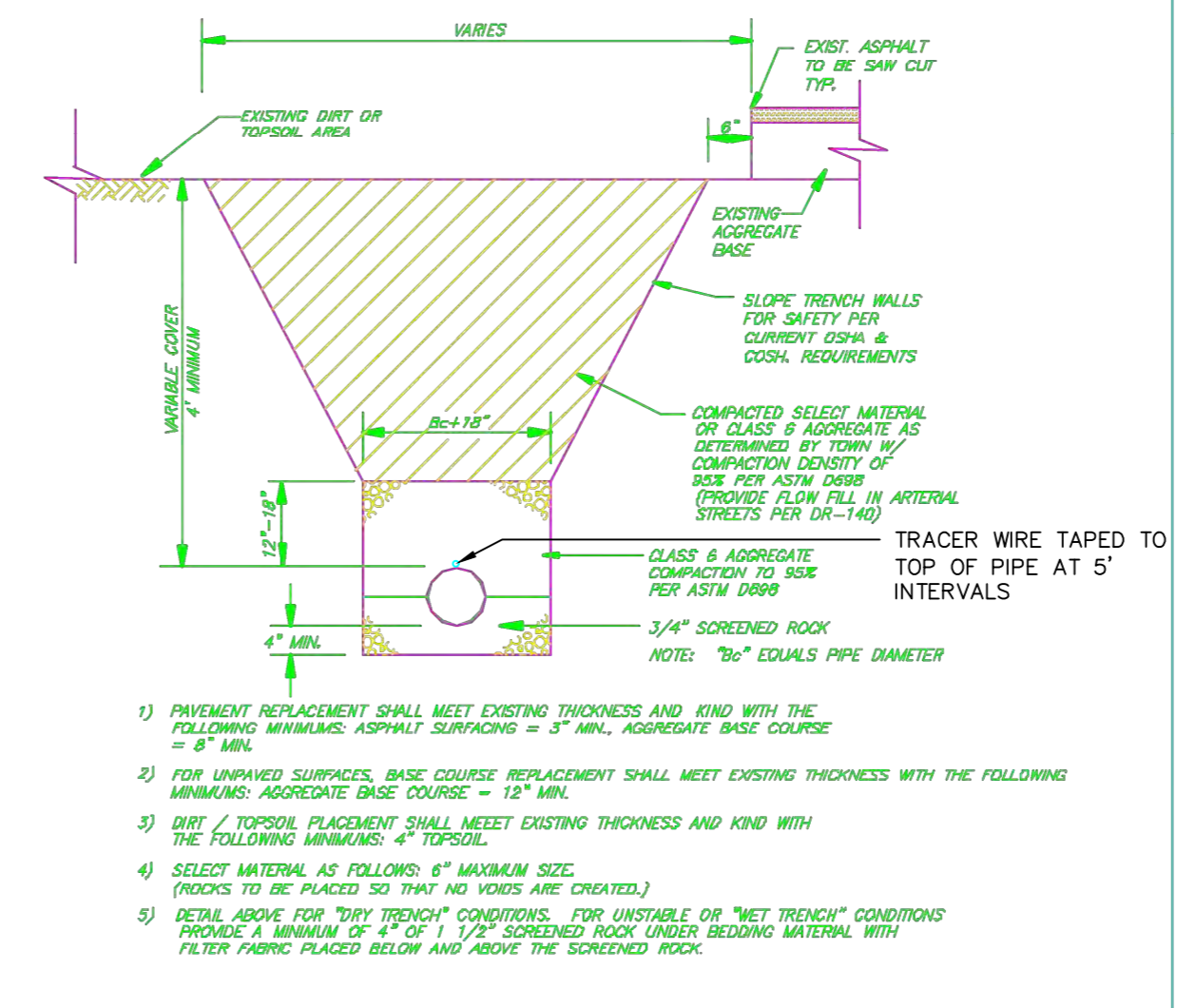
PINNACLE DESIGN CONSULTING GROUP, INC.		REVISION	DATE	DESCRIPTION	BY	CHK'D
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COAL SEAM LLC	SCALE: N.T.S.	JOB NO: 2024.11	DATE: 10-29-25
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335		SHEET NO: C12	
DRAINAGE DETAILS			



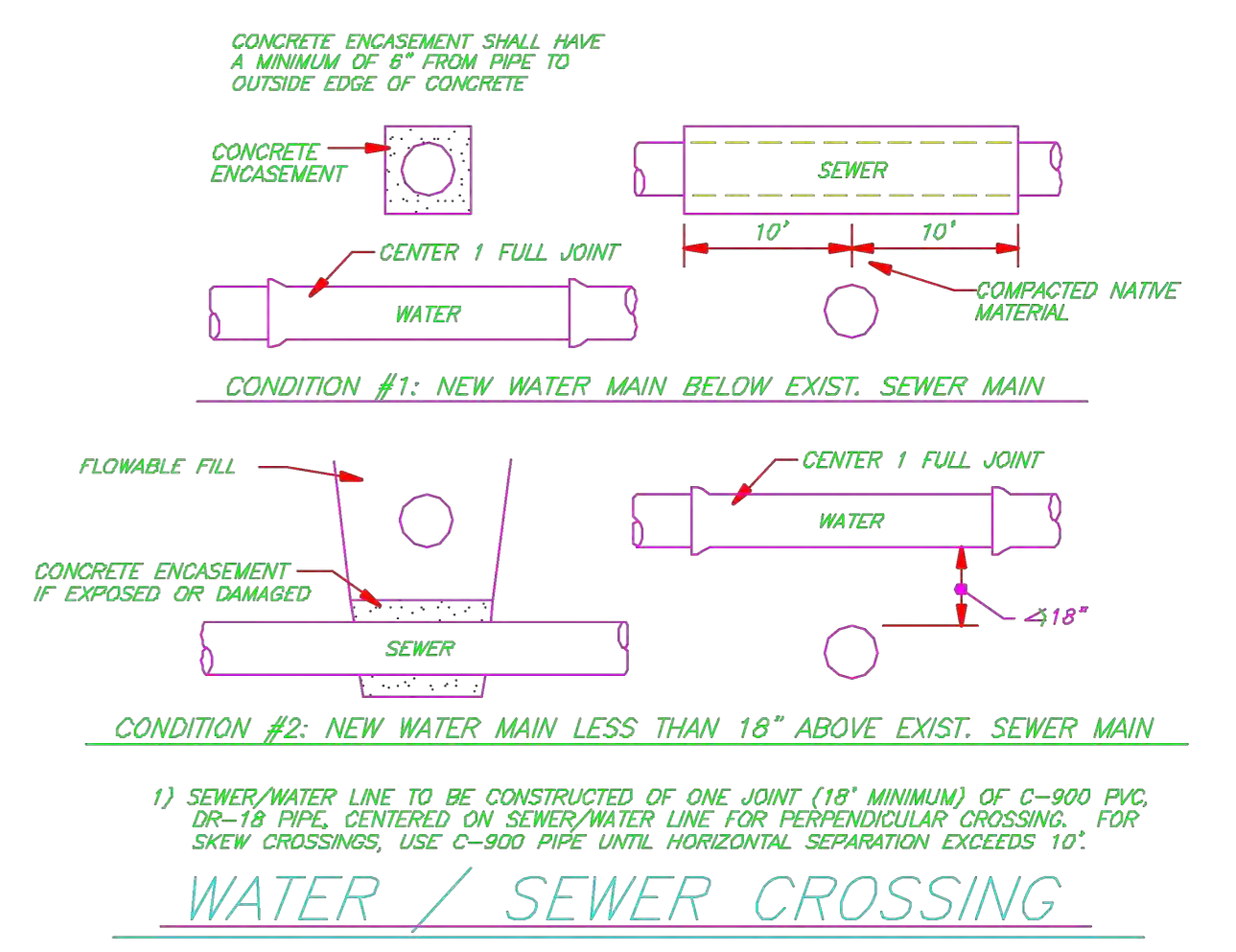
STANDARD SEWER SERVICE CONNECTION DETAIL
N.T.S.

SEWER SERVICE CONNECTION DETAIL
TOWN OF NEW CASTLE
NOT TO SCALE DWG: SW-40



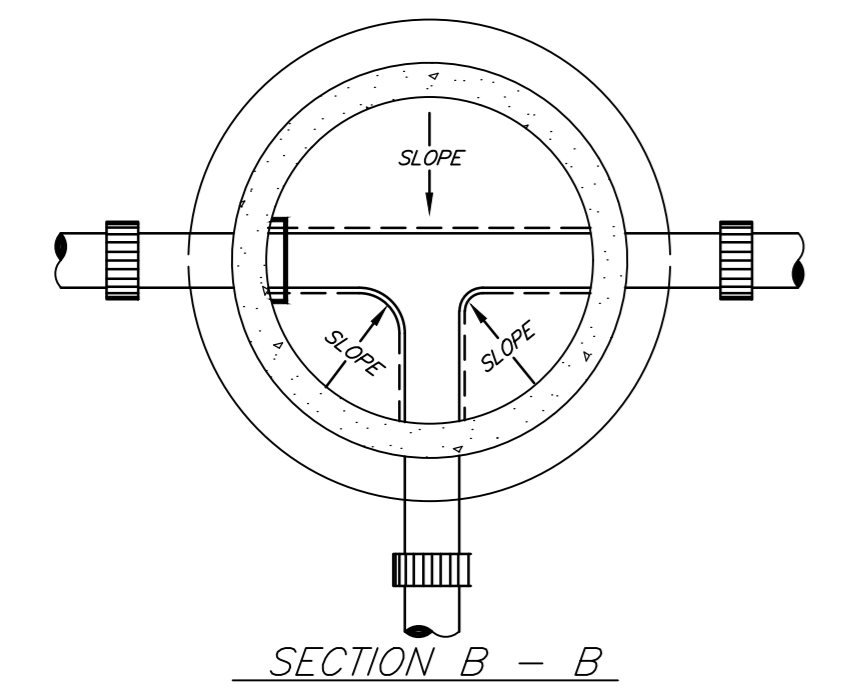
TRENCH CROSS SECTION
SCALE: 3/4" = 1'-0"

STANDARD SEWER MAIN TRENCH SECTION
TOWN OF NEW CASTLE
NOT TO SCALE DWG: SW-50



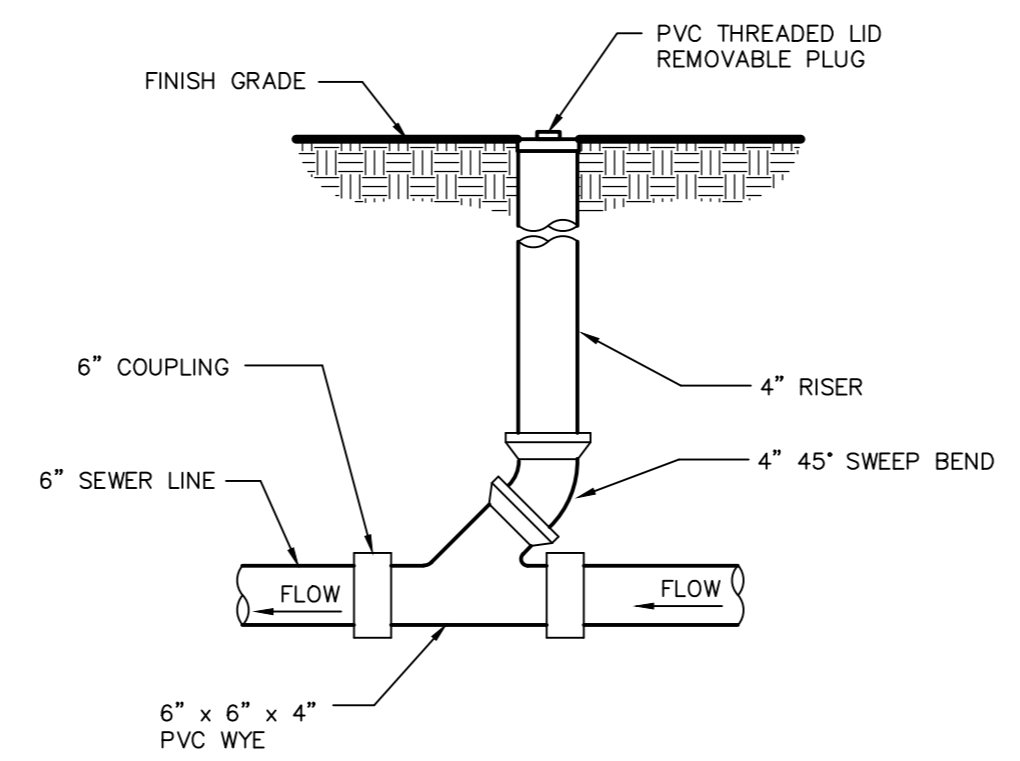
WATER / SEWER CROSSING

WATER/SEWER CROSSING DETAIL
TOWN OF NEW CASTLE
NOT TO SCALE DWG: SW-60

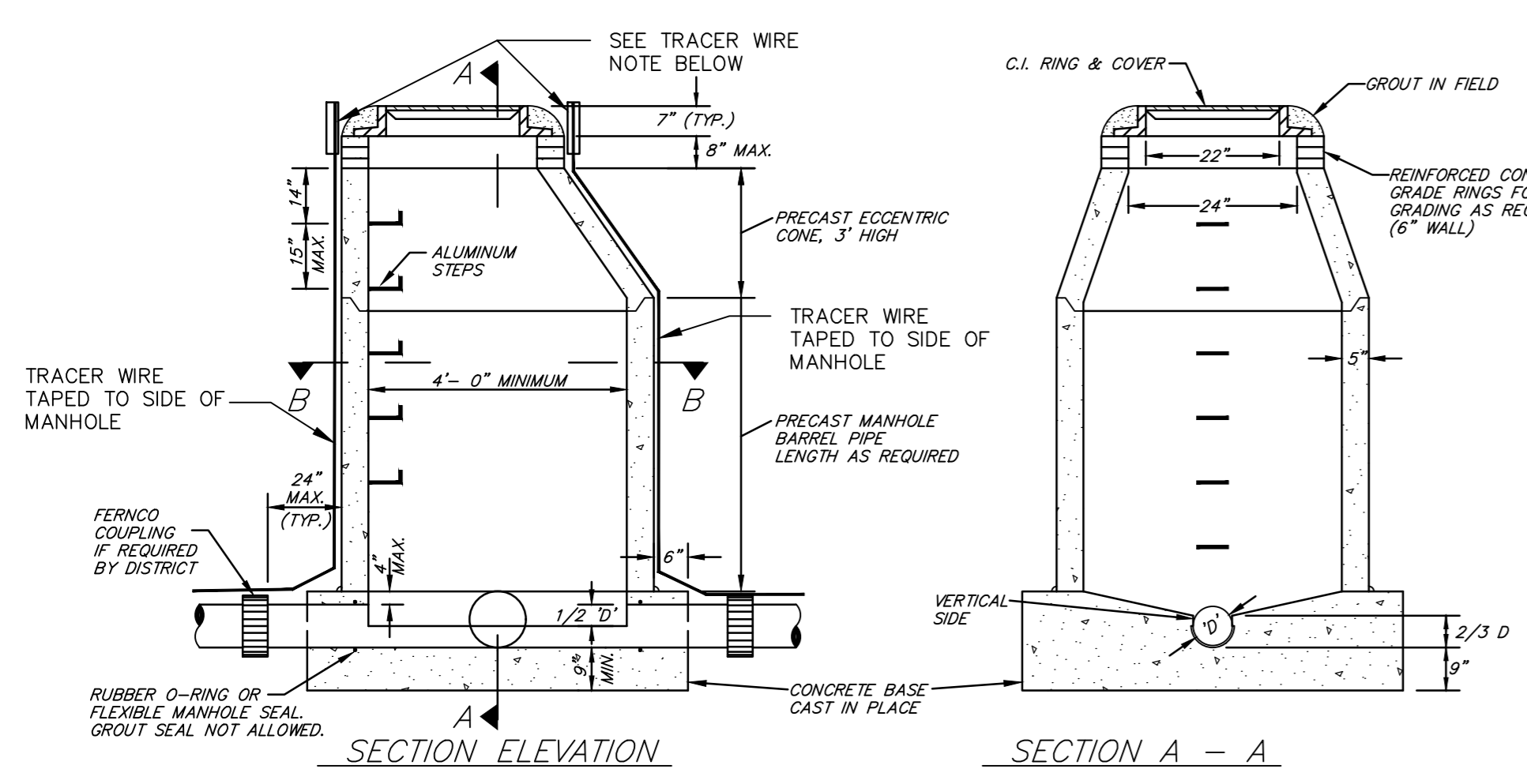


NOTES:

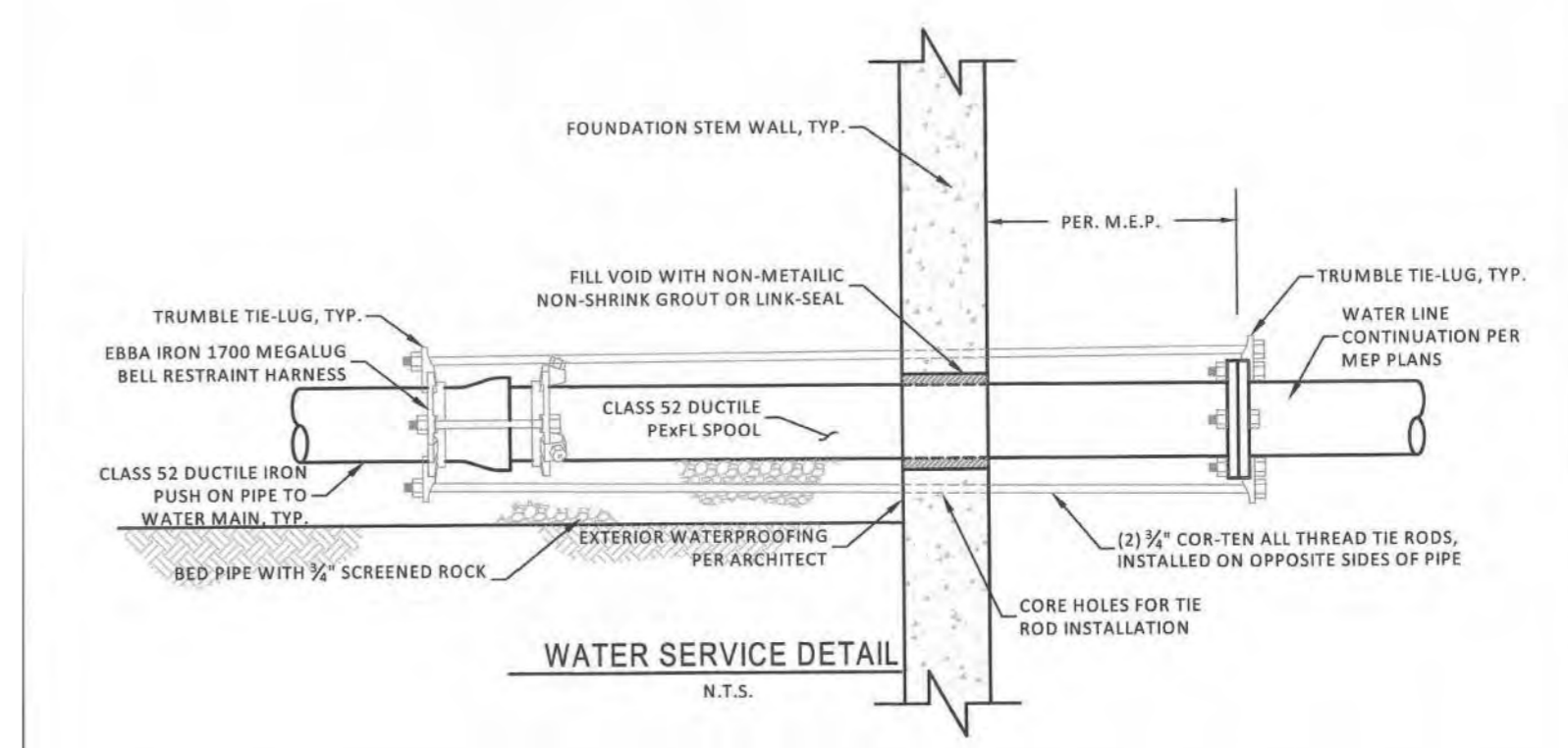
- All bases shall be cast in place or precast concrete; use #4 rebar on 12" c-c both ways in poured bases.
- Joint to be located on each side of all manholes, maximum of 24" from inside face.
- Where available from pipe manufacturer, use expandable water stop or special sleeve as per manufacturer's specifications.
- Steps to be located on side of bench or over upstream pipe.
- Use Rub-R-Nek preformed gasket (2 layers) or grout in place between all bottom section, barrel sections, concrete grade rings, and top castings.
- Backfill within 24" of manhole: Class 6 aggregate or native materials with less than 3" size.
- Precast rings or metal riser ring course shall be utilized where required with 2 courses minimum and 12 courses maximum (2 minimum, 12" maximum height).
- Grade adjustment as follows: Greater than, or equal to, 1 foot, concrete barrel sections; less than 1 foot, concrete or metal grade rings.
- Finish grade as follows: With asphalt or concrete pavements flush with base course surface or dirt/topsoil - 3" below grade.
- Provide 12 gauge tracer wire on all sewer and water lines.



SEWER CLEAN OUT DETAIL
N.T.S.



STANDARD MANHOLE CONNECTION DETAIL
N.T.S.



WATER SERVICE DETAIL
N.T.S.

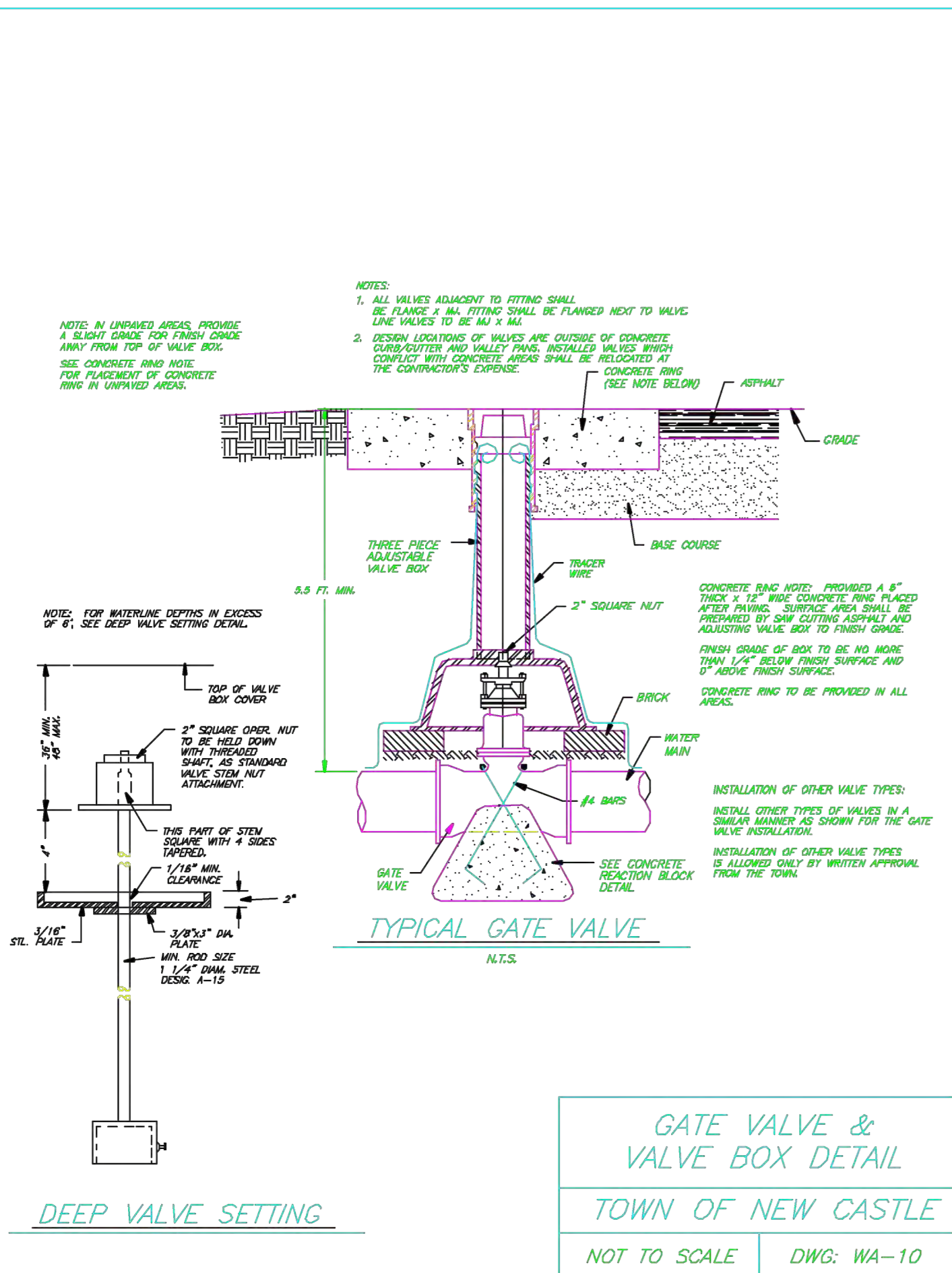
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REVIEWED BY: _____
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DATE: _____ FOR _____

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pinnacle@sporis.net

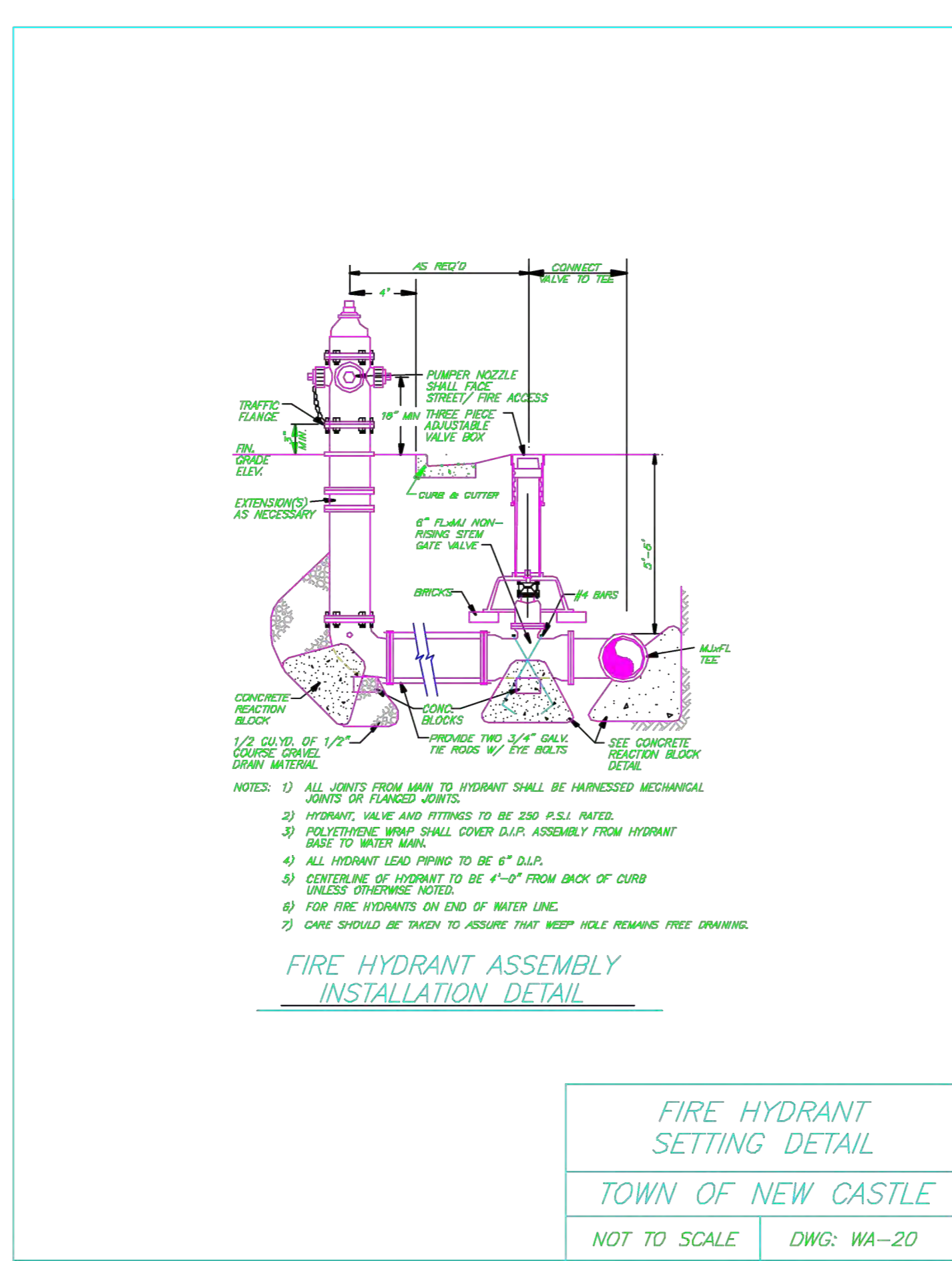
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COAL SEAM LLC
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
WATER AND SEWER DETAILS

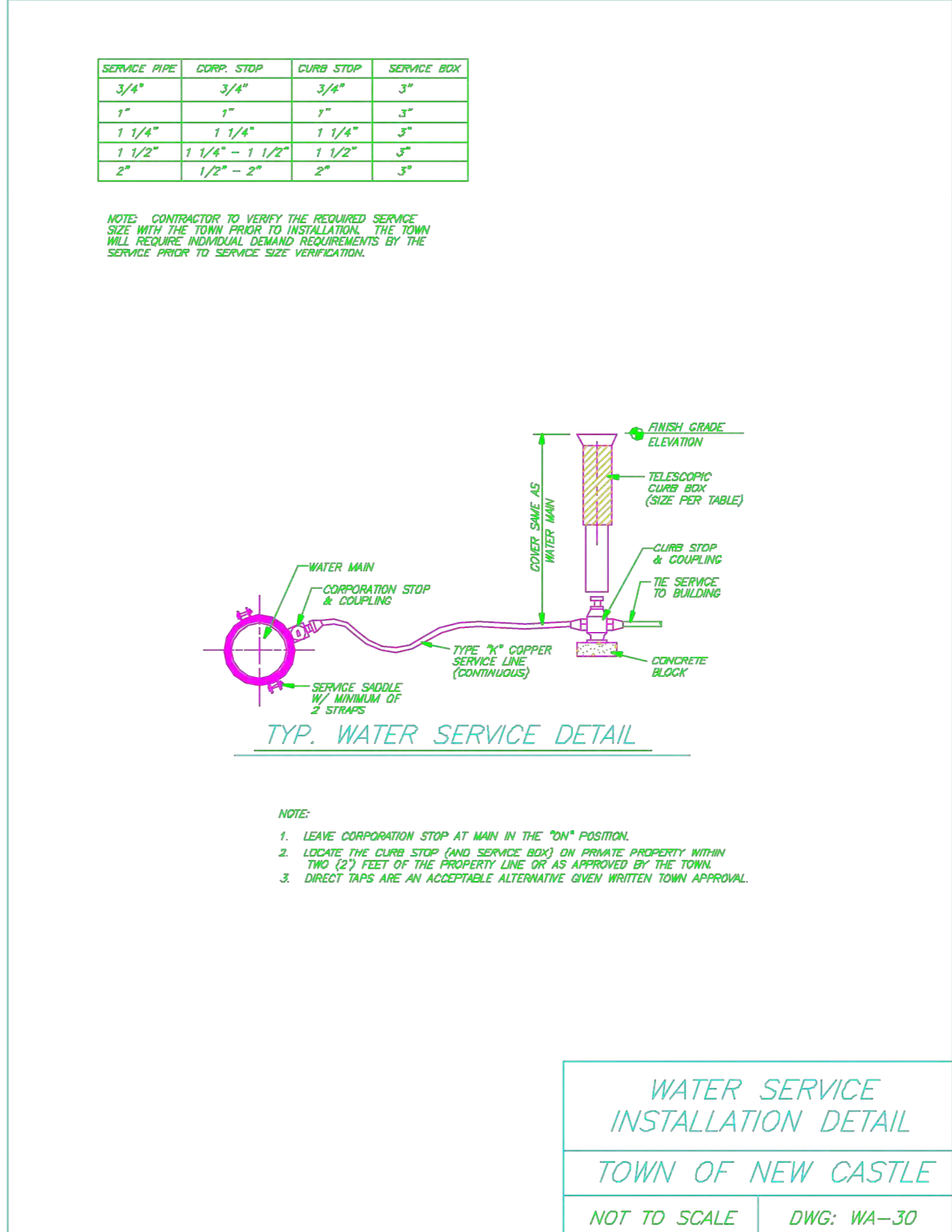
SCALE: N.T.S.
JOB NO: 2024.11
DATE: 10-29-25
SHEET NO: C13



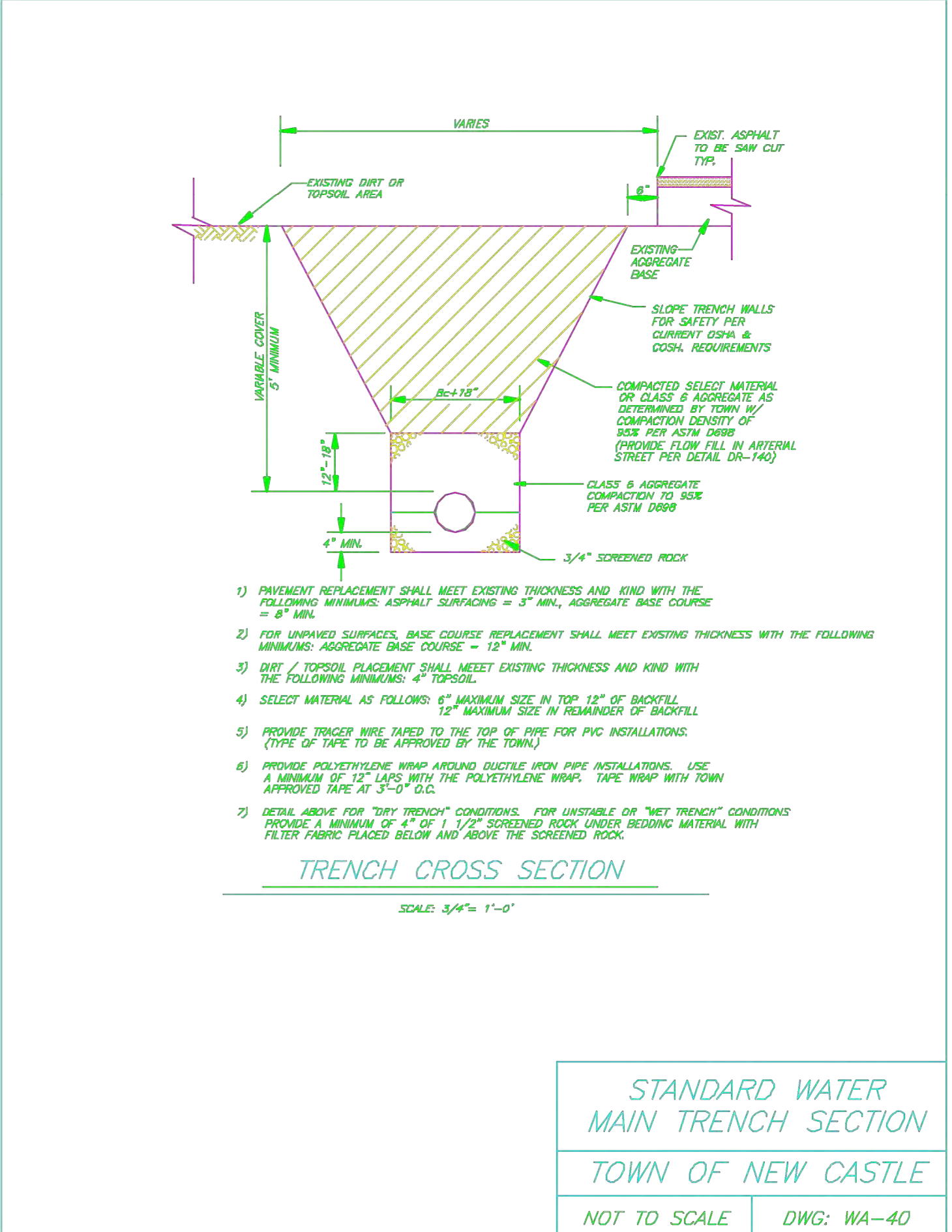
GATE VALVE & VALVE BOX DETAIL
TOWN OF NEW CASTLE
NOT TO SCALE DWG: WA-10



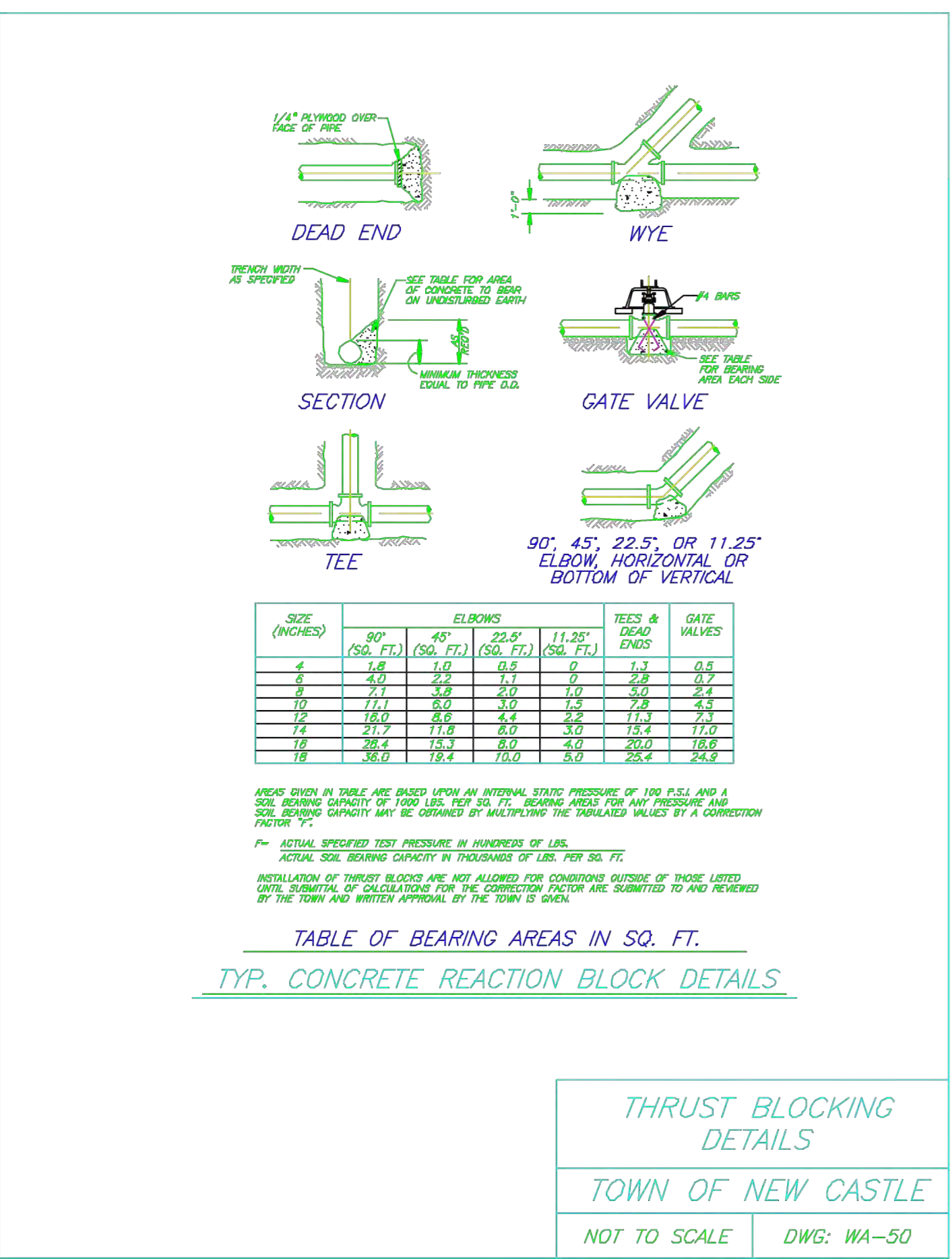
FIRE HYDRANT SETTING DETAIL
TOWN OF NEW CASTLE
NOT TO SCALE DWG: WA-20



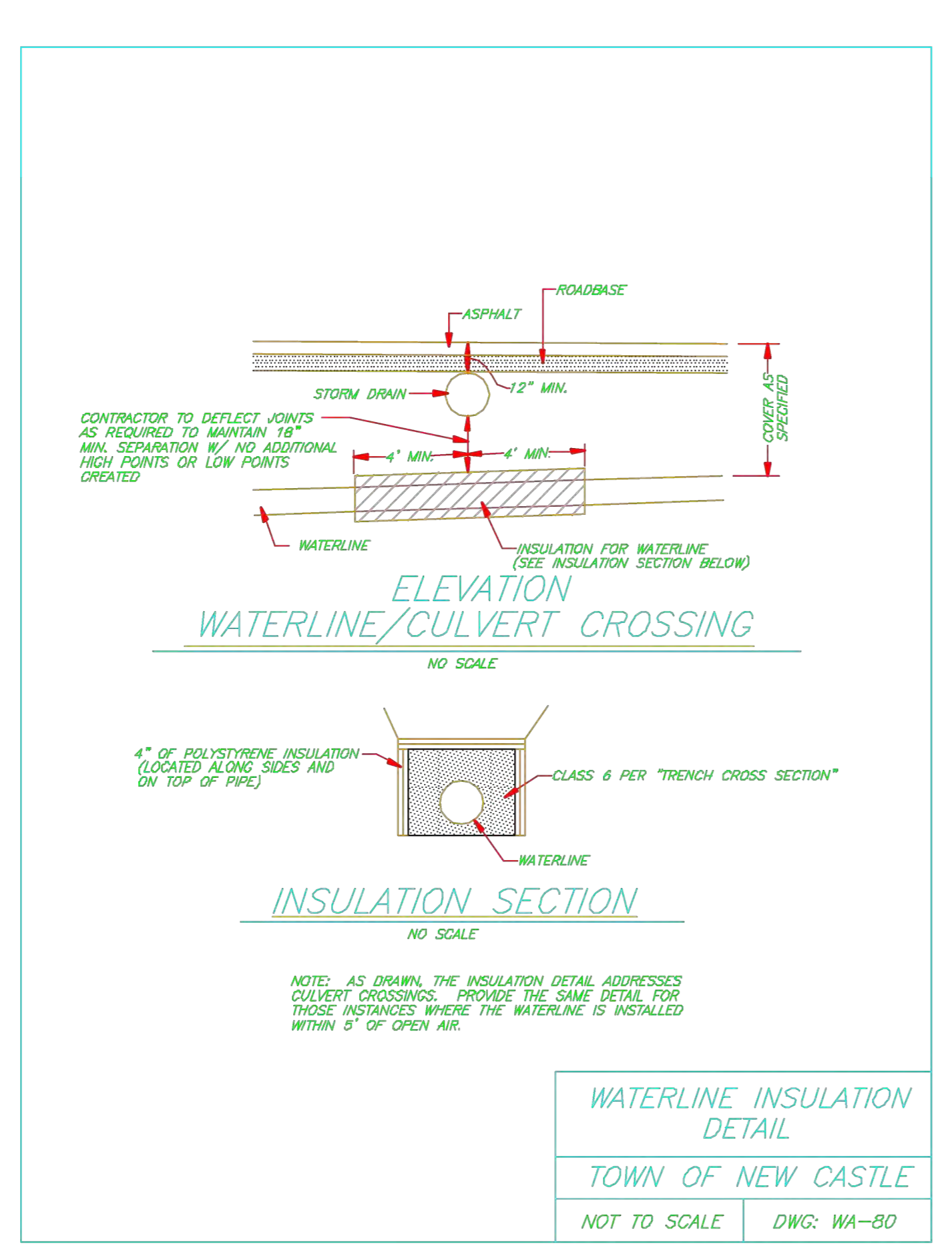
WATER SERVICE INSTALLATION DETAIL
TOWN OF NEW CASTLE
NOT TO SCALE DWG: WA-30



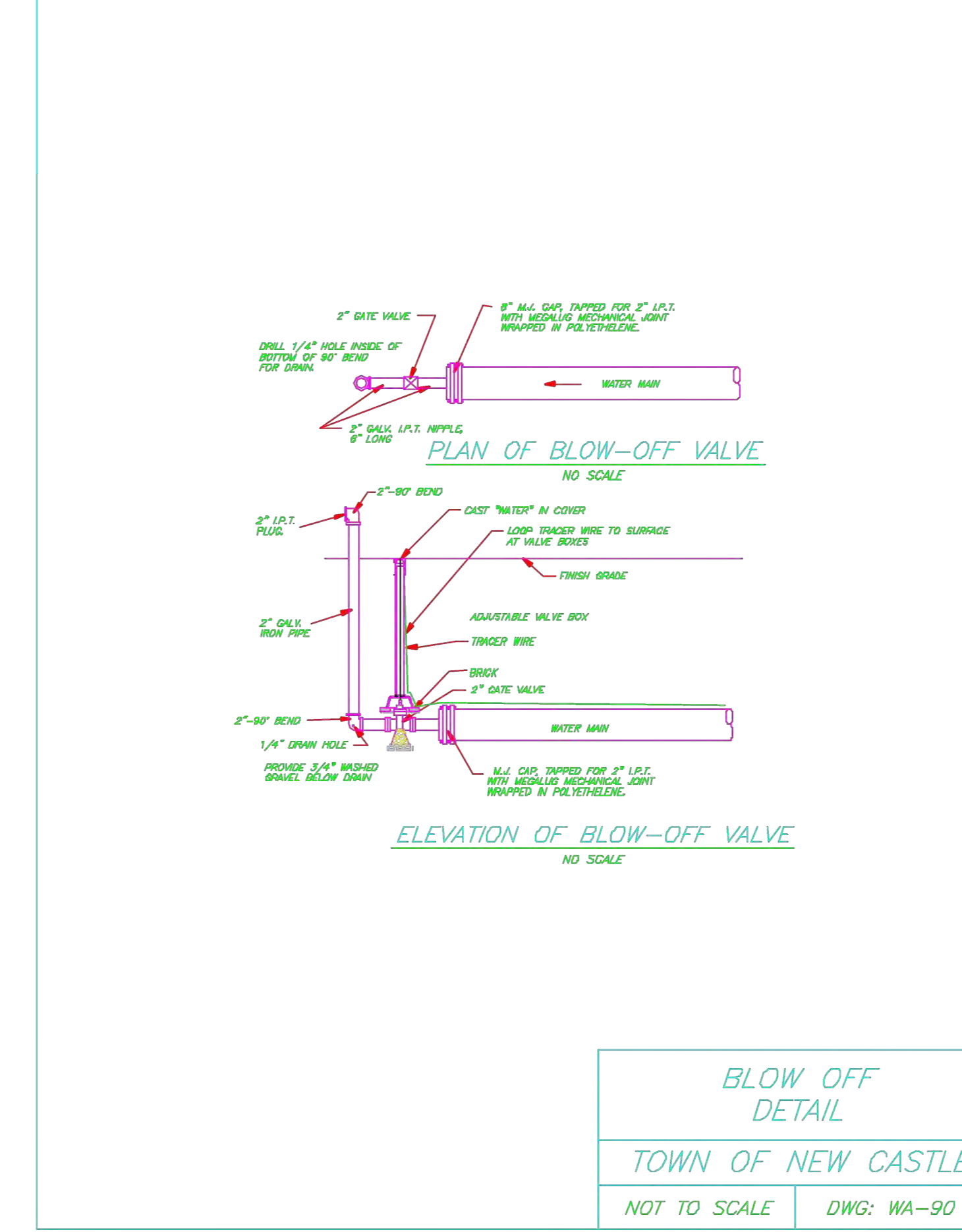
STANDARD WATER MAIN TRENCH SECTION
TOWN OF NEW CASTLE
NOT TO SCALE DWG: WA-40



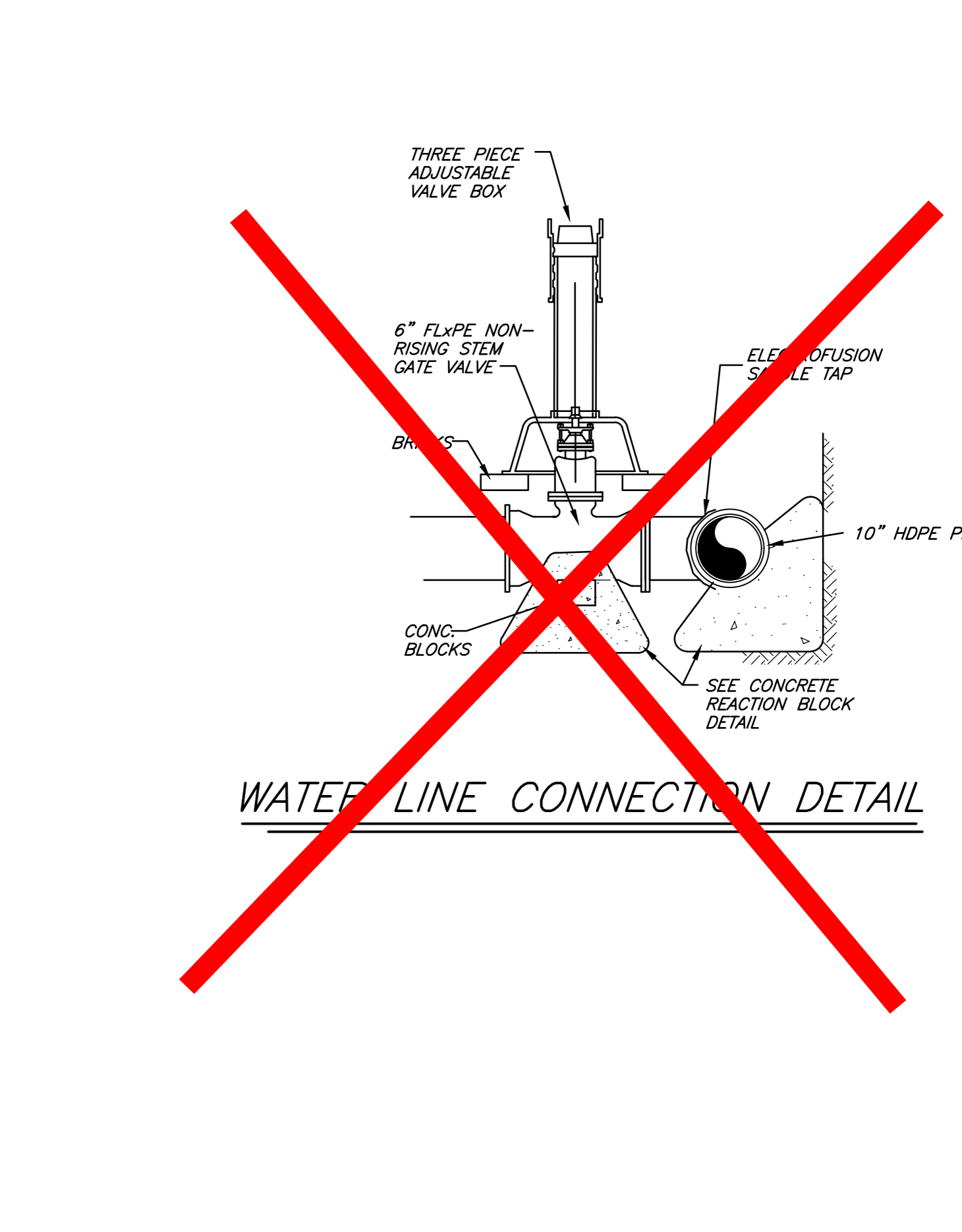
THRUST BLOCKING DETAILS
TOWN OF NEW CASTLE
NOT TO SCALE DWG: WA-50



WATERLINE INSULATION DETAIL
TOWN OF NEW CASTLE
NOT TO SCALE DWG: WA-60



BLOW OFF DETAIL
TOWN OF NEW CASTLE
NOT TO SCALE DWG: WA-90



WATER LINE CONNECTION DETAIL

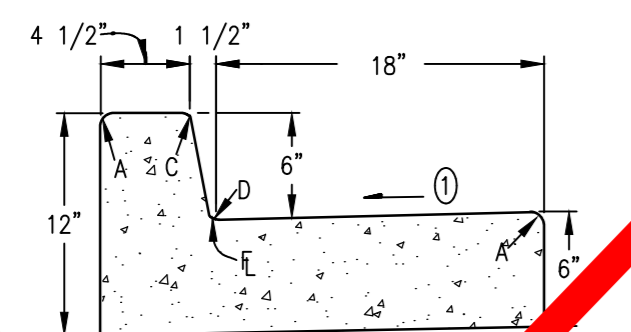
DRAWN & DESIGNED BY: H.E.B.	REVIEWED BY:
CHECKED BY: H.E.B.	DATE: _____ FOR _____

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CARBONDALE, CO 81623 • (970) 963-2170
pinnacleesign@sopris.net

REVISION	DATE	DESCRIPTION	BY	CHKD

COAL SEAM LLC
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
WATER DETAILS

SCALE: N.T.S.	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO:		C14



CURB AND GUTTER
(6" BARRIER - 1" GUTTER)

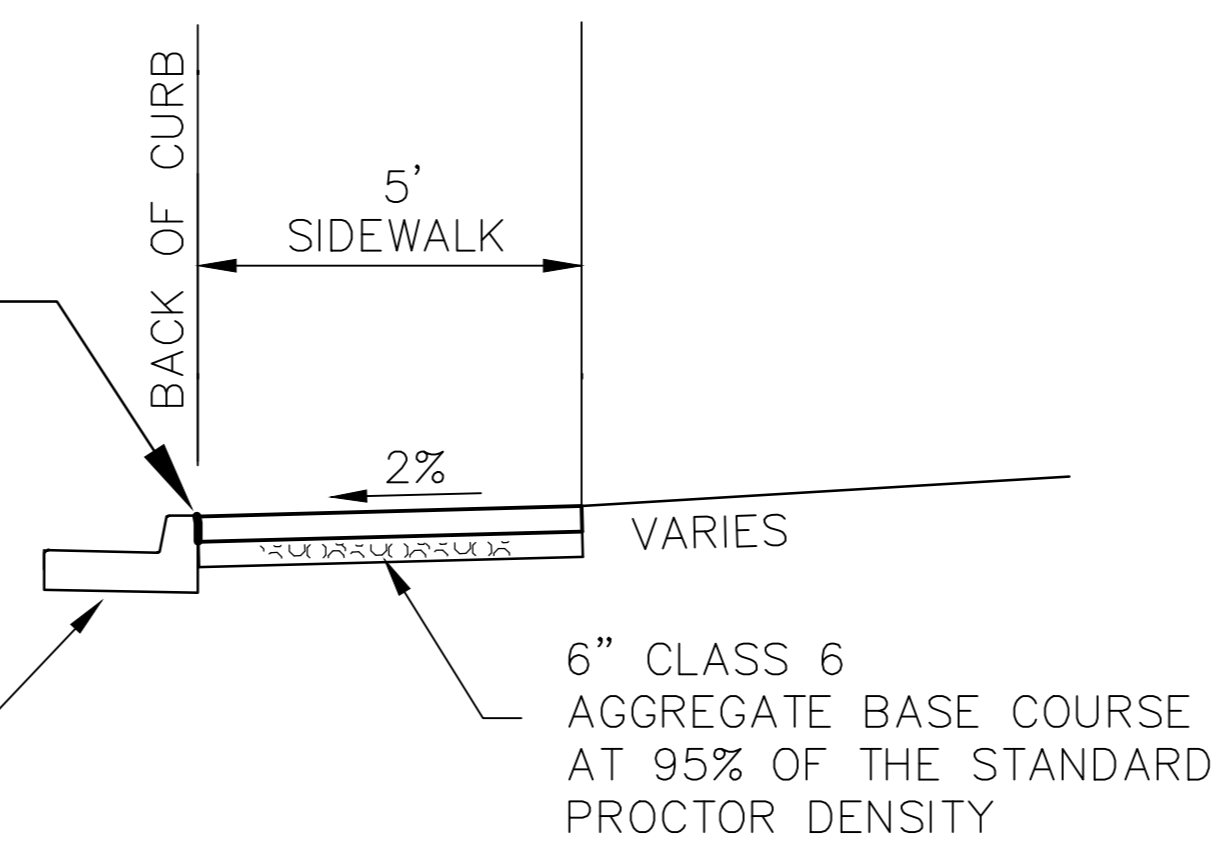
LEGEND FOR RADII

A	= 1/8" TO 1/4"
B	= 1"
C	= 1 1/2"
D	= 1 1/2" TO 2"

GENERAL NOTES

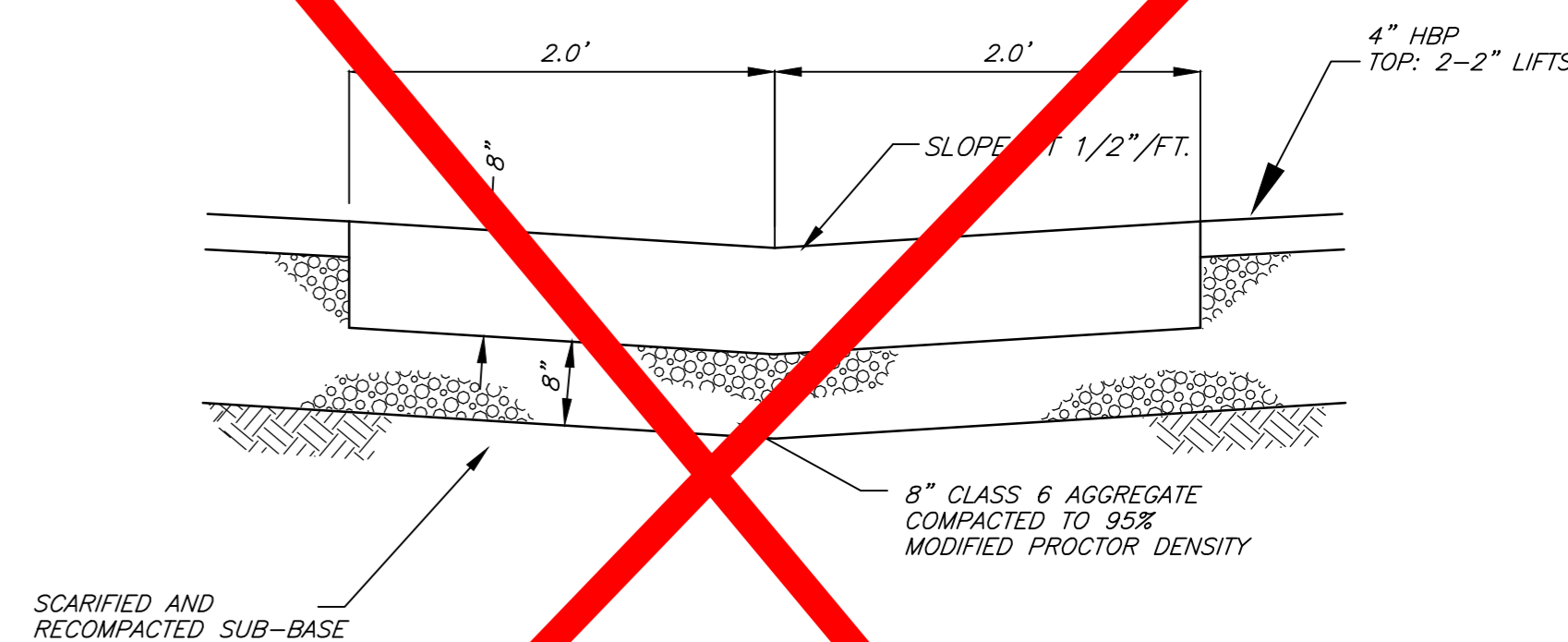
- ON CURVES 3' OR LESS, CURBS AND/OR GUTTERS ARE TO BE PLACED ON THE ARC OF THE CURVE UNLESS OTHERWISE NOTED ON THE PLANS. A MAXIMUM CHORD LENGTH OF 10 FEET MAY BE USED WHEN THE CURVE IS LESS THAN 3'.
- ▲ EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURE. EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK AND SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE.
- CONCRETE SHALL BE CLASS B UNLESS OTHERWISE SPECIFIED.
- GUTTER CROSS SLOPES SHALL BE 0.04 FT/FT WHEN DRAINING AWAY FROM CURB AND 0.08 FT/FT WHEN DRAINING TOWARD CURB.
- PROFILE GRADE OF CURBS AND GUTTERS SHALL BE LOCATED AT THE FLOW LINE.

EXPANSION MATERIAL
REQUIRED WHEN CONCRETE
ABUTS BACK OF CURB



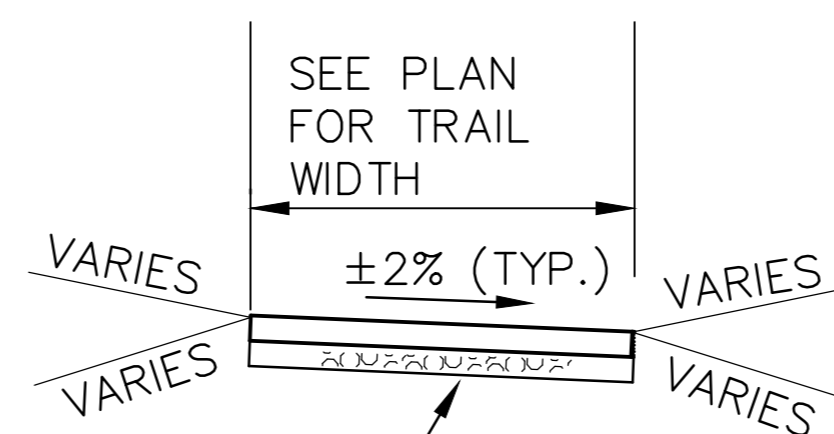
TYPICAL SIDEWALK CROSS-SECTION

N.T.S.



TYPICAL VALLEY PAN SECTION

N.T.S.



TYP. 3" THICK ASPHALT TRAIL
ON 6" OF CLASS 6 AGGREGATE
BASE COURSE COMPACTED TO 95%
MODIFIED PROCTOR DENSITY

NOTE:
IF SUB-BASE SOIL MATRIX IS
FOUND TO BE NON-STRUCTURAL,
CONTRACTOR SHALL SUB-EXCAVATE
NON-SUITABLE SOILS AND PLACE
COMPACTED STRUCTURAL FILL BELOW
CLASS 6 BASE COURSE LAYER.

TYPICAL TRAIL SECTION

N.T.S.

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REVISION	DATE	DESCRIPTION	BY	CHD

COAL SEAM LLC	SCALE: N.T.S.	JOB NO: 2024.11	DATE: 10-29-25
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335 CURB & GUTTER, AND VALLEY PAN DETAILS		SHEET NO: C15	



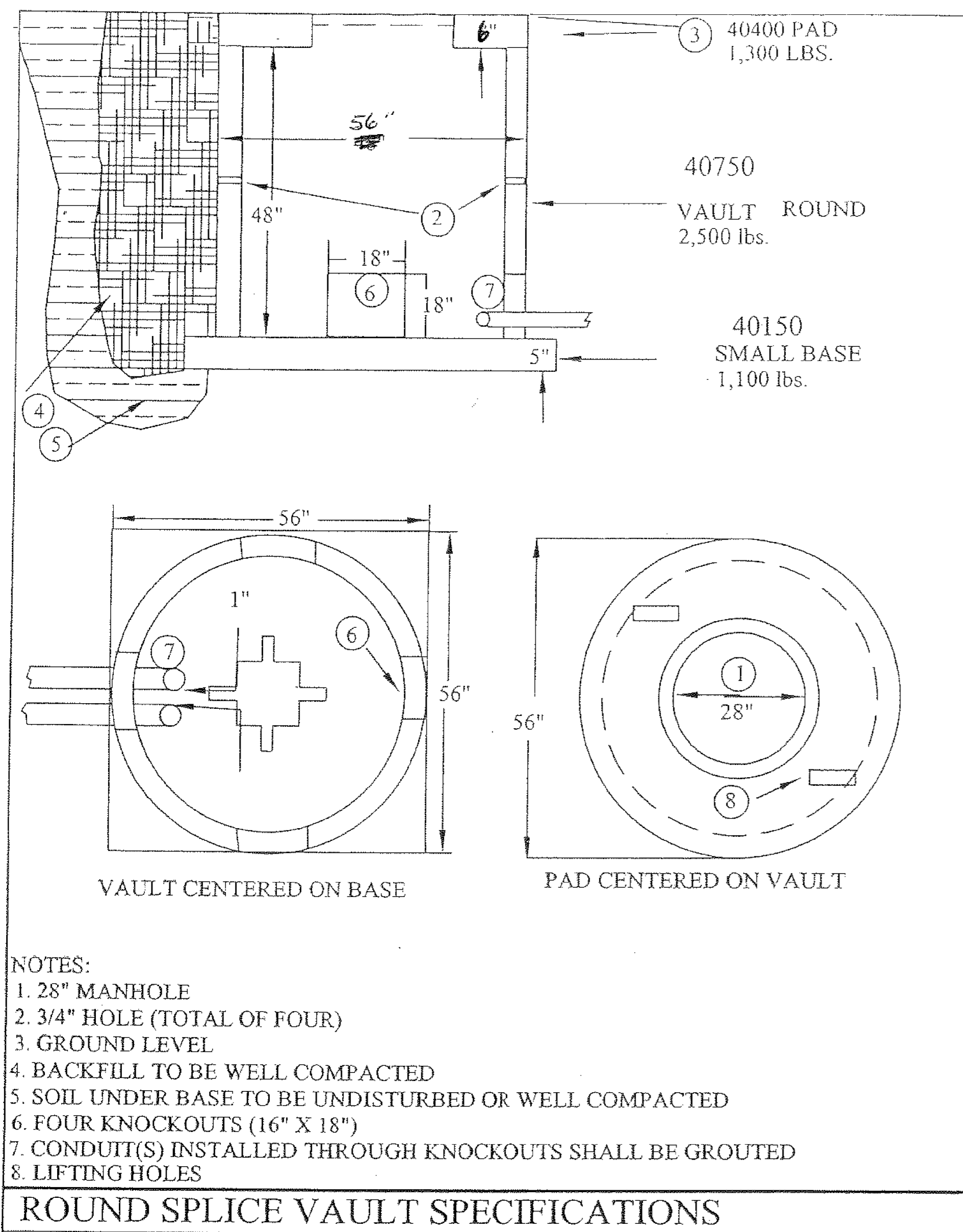
CABLE TV PEDESTAL CONNECTION PHOTO



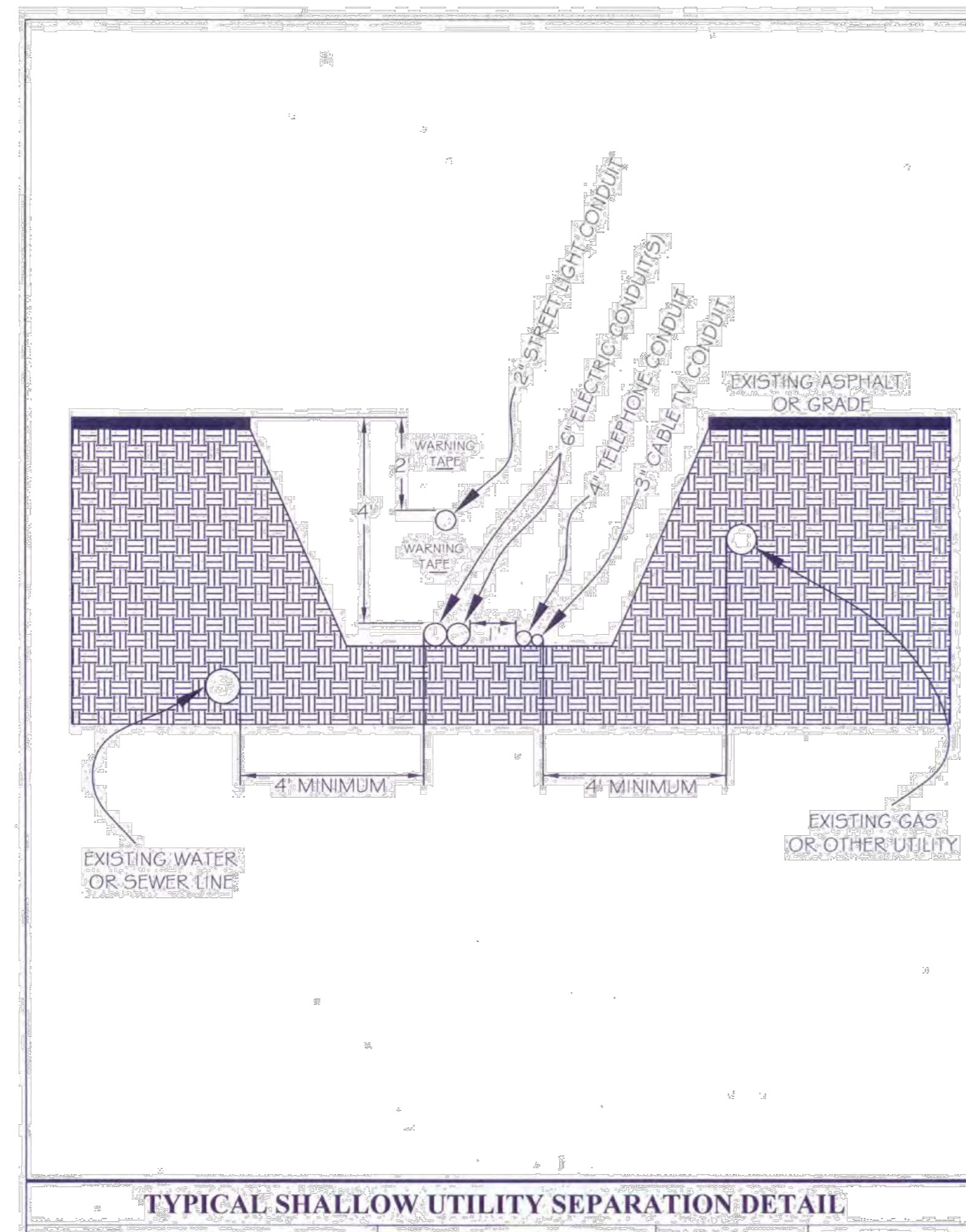
GAS LINE CONNECTION PHOTO



TELEPHONE PEDESTAL CONNECTION PHOTO



ELECTRIC MAIN CONNECTION DETAIL



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REVISION	DATE	DESCRIPTION	BY	CHKD

COAL SEAM LLC
LOT 1 HIGHWAY P.U.D. – 7051 COUNTY ROAD 335
SHALLOW UTILITY CONNECTIONS AND DETAILS

SCALE: N.T.S.	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO: C16		

HYDROSTATIC TESTING

NEWLY INSTALLED WATER MAINS AND FIRE LINES SHALL BE HYDROSTATICALLY TESTED. HYDROSTATIC TESTS SHALL NOT BE MADE ON ANY PORTION OF THE PIPELINE UNTIL FIELD PLACED CONCRETE HAS HAD ADEQUATE CURING TIME.

ENGINEER SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF TESTING. TESTING SHALL BE MADE IN THE PRESENCE OF THE TOWN OF NEW CASTLE.

ONLY THE FOLLOWING METHODS ARE ACCEPTABLE FOR SUPPLYING POTABLE WATER FOR HYDROSTATIC TESTING:

A. WATER MAY BE TAKEN FROM A NEARBY PRESSURIZED WATER SOURCE THAT WAS PREVIOUSLY CHLORINATED, TESTED, AND ACCEPTED, SUCH AS A FIRE HYDRANT.

B. WATER MAY BE DELIVERED TO THE SITE IN A STATE LICENSED CHLORINATED WATER TRUCK HAVING A MINIMUM CAPACITY OF 300 GALLONS. THE WATER TRUCK SHALL BE USED EXCLUSIVELY FOR THE TRANSPORTATION OF POTABLE WATER.

C. ANY PREVIOUSLY TESTED, CHLORINATED, AND ACCEPTED WATER MAIN THAT IS PRESSURIZED AND IS TO SERVE THE NEW MAIN EXTENSION MAY BE TAPPED ON THE PRESSURIZED SIDE OF THE CLOSED VALVE.

THE METHOD OF SUPPLYING WATER AND THE SOURCE OF WATER FOR HYDROSTATIC TESTING MUST BE CERTIFIED AND APPROVED BY THE TOWN OF NEW CASTLE. THE USE OF BARRELS, SANITARY OR OTHERWISE, TO SUPPLY WATER FOR HYDROSTATIC TESTING IS PROHIBITED.

CONTRACTOR SHALL FURNISH THE CALIBRATED METER FOR TESTING AND THE SUPPLY THE PUMP. THE PIPELINE SHALL BE PROPERLY BACKFILLED AND IN A STATE OF READINESS FOR TESTING. BULKHEADS, PUMPS, TAPS, AND APPURTENANCES NECESSARY TO FILL THE PIPELINE AND MAINTAIN THE REQUIRED PRESSURE SHALL BE IN PLACE AND THE PIPELINE FILLED WITH WATER. THE TEST PRESSURE OF 150 PSI SHALL THEN BE APPLIED TO THE PIPELINE BY MEANS OF A CONTINUOUSLY OPERATING PUMP THAT IS EQUIPPED WITH A BYPASS VALVE FOR PRESSURE REGULATION. THE PIPELINE SHALL BE FILLED AT A RATE THAT DOES NOT CAUSE SURGES AND DOES NOT EXCEED THE RATE AT WHICH AIR CAN BE RELEASED. AIR IN THE LINE SHALL BE PROPERLY PURGED. WHERE BLOWOFFS OR HYDRANTS ARE NOT AVAILABLE OR ARE NOT EFFECTIVE IN PURGING AIR FROM THE LINE, TOWN OF NEW CASTLE WILL REQUIRE A TAP TO PURGE THE LINE. THE LOCATION AND THE SIZE OF THE TAP TO BE USED IS AT THE TOWN OF NEW CASTLE'S DISCRETION.

WHILE THE TEST PRESSURE IS MAINTAINED, AN EXAMINATION SHALL BE MADE OF THE PIPELINE AND ANY LEAKS LOCATED AND REPAIRED. PIPE OR FITTINGS FOUND TO BE FAULTY SHALL BE REMOVED AND REPLACED. LEAKAGE IS NOT ALLOWED THROUGH THE BONNET OF THE LINE VALVE. A VALVE LEAKING THROUGH THE BONNET MAY BE REPAIRED IN PLACE OR REMOVED AND REPLACED. CUTTING AND REPLACEMENT OF PAVEMENT AS WELL AS EXCAVATION AND BACKFILLING MAY BE NECESSARY WHEN LOCATING AND REPAIRING LEAKS DISCOVERED DURING PRESSURE TESTING. AFTER VISIBLE LEAKS ARE STOPPED, THE FULL TEST PRESSURE SHALL BE MAINTAINED FOR 1 CONTINUOUS HOUR. ALLOWABLE LEAKAGE FOR EACH SECTION BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING LEAKAGE RATES FOR 4 THROUGH 20-INCH DISTRIBUTION AND TRANSMISSION MAINS:

PIPE SIZE (INCHES)	GALLONS PER 1,000 FEET OF PIPE
4"	0.33 GAL.
6"	0.50 GAL.
8"	0.66 GAL.
12"	0.99 GAL.
16"	1.32 GAL.
20"	1.66 GAL.

SHOULD TESTING SHOW A LEAKAGE RATE IN EXCESS OF THE RATES SHOWN, THE PIPELINE WILL NOT BE ACCEPTED. THE PIPELINE SHALL BE

CHLORINATION

MAIN EXTENSIONS AND PRIVATE PIPE EXTENSIONS SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C651 AND THE REQUIREMENTS OF THE LOCAL HEALTH AUTHORITY HAVING JURISDICTION PRIOR TO ACCEPTANCE BY THE TOWN OF NEW CASTLE.

Testing and Inspection

PRIOR TO ACCEPTANCE, A VISUAL EXAMINATION OF THE SEWER SYSTEM SHALL BE DONE. THE INSPECTOR SHALL VISUALLY LAMP THE PIPELINE CHECKING FOR A "FULL MOON" TO DETERMINE LAYING ALIGNMENT AND TO CHECK FOR BLOCKAGES. THE INSPECTOR SHALL VISUALLY CHECK EACH MANHOLE'S INTERIOR FOR FLAWS, CRACKS, HOLES, OR OTHER INADEQUACIES THAT MIGHT AFFECT THE OPERATION OR WATERTIGHT INTEGRITY OF THE MANHOLE. SHOULD ANY INADEQUACIES BE FOUND, THE CONTRACTOR SHALL MAKE REPAIRS DEEMED NECESSARY BY THE INSPECTOR.

PRIOR TO ACCEPTANCE, THE CONTRACTOR, AT HIS OWN EXPENSE, FOR ALL NEW SEWER CONSTRUCTION, WILL CONDUCT TESTS FOR WATER TIGHTNESS. TESTS SHALL BE COMPLETED UNDER THE DIRECTION OF THE UTILITIES DIRECTOR. THE UTILITIES DIRECTOR MAY REQUIRE THAT THE FIRST TWO (2) MANHOLES, INCLUDING THE MAIN BETWEEN THEM, OF ALL SEWER PROJECTS BE TESTED BEFORE FURTHER CONSTRUCTION TO PERMIT INITIAL OBSERVATION OF THE QUALITY OF CONSTRUCTION WORKMANSHIP. THE UTILITIES DIRECTOR MAY REQUIRE ADDITIONAL TESTING DURING THE COURSE OF CONSTRUCTION IF INFILTRATION APPEARS TO BE EXCESSIVE OR THE QUALITY OF WORKMANSHIP IS QUESTIONABLE.

LOW PRESSURE AIR TESTING OF THE SEWER LINES (INCLUDING SERVICES) AND VACUUM TESTING OF ALL MANHOLES WILL BE REQUIRED BY THE UTILITIES DIRECTOR. AIR AND VACUUM TESTING SHALL BE COMPLETED IN ACCORDANCE WITH ASTM C-828 AND AS DESCRIBED HEREIN. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND PERSONNEL NECESSARY TO PERFORM THE REQUIRED TESTS. THE UTILITIES DIRECTOR SHALL RECORD TIMES AND PRESSURE AND VACUUM READINGS DURING THE TEST PERIOD. A TEST SECTION SHALL NOT BE ANY LONGER THAN THE LENGTH OF PIPE BETWEEN ADJACENT MANHOLES. THE LOW-PRESSURE AIR TEST FOR SEWER LINES AND THE VACUUM TEST FOR MANHOLES SHALL BE DONE AFTER COMPLETION OF BACKFILLING AND COMPACTION. IF THE UTILITIES DIRECTOR DETERMINES THAT RELIABLE AND UNIFORM RESULTS ARE PRODUCED BY THE CONTRACTOR'S CONSTRUCTION METHODS, THE LOW-PRESSURE AIR TEST MAY BE DONE AFTER INITIAL BACKFILL AND COMPACTION.

AIR TESTING PIPELINE

THE ENDS OF THE SEWER PIPE BEING TESTED SHALL BE PLUGGED AND BRACED AND THE TEST SECTION SHALL BE PRESSURIZED TO FOUR (4) PSI. THE PRESSURE PUMP SHALL BE TURNED OFF AND THE AIR IN THE PIPE ALLOWED STABILIZING FOR A MINIMUM OF TWO (2) MINUTES OR UNTIL THE PRESSURE REACHES THREE AND ONE-HALF (3.5) PSI. THE TIME SHALL BE MONITORED AS THE LINE EITHER HOLDS PRESSURE OR DROPS NO MORE THAN ONE-HALF (.5) PSI (IF THE GROUND WATER IS HIGHER THAN THE TOP OF THE PIPE, THE TEST PRESSURE WILL BE INCREASED TO ACCOUNT FOR THE HIGH GROUNDWATER).

THE PORTION OF THE LINE BEING TESTED SHALL BE TERMED "ACCEPTABLE" IF THE TIME REQUIRED IN MINUTES FOR THE PRESSURE TO DECREASE FROM 3.5 TO 3.0 PSIG (GREATER THAN THE AVERAGE BACK PRESSURE OF ANY GROUND WATER THAT MAY BE OVER THE PIPE) SHALL NOT BE LESS THAN THE TIME SHOWN FOR THE GIVEN DIAMETERS IN THE FOLLOWING TABLE:

SPECIFICATION TIME REQUIRED FOR A 0.5PSIG PRESSURE DROP FOR SIZE AND LENGTH OF PIPE

DIAMETER (IN.)	100FT	150FT	200FT	250FT	300FT	350FT	400FT
8	3:47	3:47	3:47	3:47	3:48	4:26	5:04

IF GROUND WATER IS KNOWN TO EXIST, THE TEST PRESSURE IS TO BE INCREASED. AN AIR PRESSURE ADJUSTMENT SHALL BE ADDED TO THE NORMAL TEST STARTING PRESSURE WHEN GROUND WATER IS PRESENT. THE HEIGHT OF GROUND WATER IN FEET SHALL BE DIVIDED BY ALL READINGS. (FOR EXAMPLE, IF THE HEIGHT OF WATER IS ELEVEN (11) AND ONE HALF (1/2) FEET, THEN THE ADDED PRESSURE WILL BE 5 PSIG. THIS INCREASES THE 3.5 PSIG TO 8.5 PSIG, AND THE 2.5 PSIG TO 7.5 PSIG. THE ALLOWABLE DROP OF ONE POUND AND THE TIMING REMAIN THE SAME. IN NO CASE HOWEVER, SHOULD THE STARTING TEST PRESSURE EXCEED 9.0 PSIG.

SECTIONS OF PIPE THAT FAIL THE AIR TEST SHALL HAVE THE DEFECTS REPAIRED AND THE TEST SHALL BE REPEATED. REPAIR AND REPEAT TESTING SHALL BE CONTINUED UNTIL THE TESTING REQUIREMENTS ARE MET.

VACUUM TESTING MANHOLES

MANHOLES SHALL BE TESTED BEFORE THE RING AND COVER AND GRADE ADJUSTMENT RINGS HAVE BEEN INSTALLED. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED AND BRACED AND A VACUUM OF TEN (10) INCHES OF MERCURY SHALL BE DRAWN. THE VACUUM PUMP SHALL BE TURNED OFF AND THE TIME MONITORED AS THE VACUUM DROPS ONE (1) INCH. THE VACUUM MUST NOT DROP MORE THAN ONE (1) INCH FOR THE DURATION OF THE TIME INDICATED IN THE FOLLOWING TABLE:

MINIMUM TEST TIMES FOR 48" DIAMETER

DIAMETER (IN.)	DEPTH (FT)	TIME (SEC)
48		
8	20	
10	25	
12	30	
14	35	
16	40	
18	45	
20	50	

MANHOLES THAT FAIL THE VACUUM TEST SHALL HAVE THE DEFECTS LOCATED AND REPAIRED AND THE TEST SHALL BE REPEATED. REPAIR AND REPEAT TESTING SHALL BE CONTINUED UNTIL THE TESTING REQUIREMENTS ARE MET.

DEFLECTION TESTING PIPING

ALL PVC SEWER PIPELINES SHALL JET-RODDED AND CCTV AT THE CONTRACTOR'S EXPENSE AFTER PLACEMENT AND COMPACTION OF BACKFILL. THE CONTRACTOR WILL ALSO BE REQUIRED TO CCTV ALL SEWER LINES AFTER FINAL ASPHALT PLACEMENT.

ALL PVC SEWER PIPELINES SHALL BE TESTED FOR VERTICAL DEFLECTION AFTER PLACEMENT AND COMPACTION OF BACKFILL UNLESS THE INSPECTOR SPECIFICALLY EXPECTS TESTING. METHOD OF TESTING SHALL BE BY DEFLECTOMETER OF THE RIGID GO/NO-GO TYPE DEVICE. AN ALTERNATIVE METHOD WILL BE PERMITTED ONLY BY WRITTEN PERMISSION OF THE INSPECTOR. MAXIMUM ALLOWABLE DEFLECTION SHALL BE FIVE (5) PERCENT OF THE PIPE DIAMETER. ANY AND ALL PIPE WITH VERTICAL DEFLECTION GREATER THAN THE ALLOWABLE SHALL BE EXCAVATED, REMOVED FROM THE PIPELINE, REPLACED, BACKFILLED AND COMPACTED AS SPECIFIED AND RETESTED.

WHEN REQUIRED, INFILTRATION TESTS SHALL BE CONDUCTED BY PLACING AN APPROVED, CALIBRATED V-NOTCH WEIR IN THE LINE JUST ABOVE THE LOWER MANHOLE AND PLUGGING THE LINE JUST ABOVE THE UPPER MANHOLE. UP TO AN HOUR TIME LAPSE WILL BE ALLOWED FOR THE LEVEL OF WATER BEHIND THE WEIR TO STABILIZE BEFORE IT IS READ. ANY FOREIGN MATTER HANGING TO THE WEIR WILL BE DISLODGED BEFORE READING. SUCCESSIVE READINGS WILL BE TAKEN UNTIL CONSISTENT RESULTS ARE ATTAINED.

WHEN REQUIRED, EXFILTRATION TESTS WILL BE CONDUCTED BY PLUGGING THE LINE JUST ABOVE BOTH THE UPPER AND LOWER MANHOLES AND ADDING WATER TO THE SEWER UP TO A LEVEL MARKED IN THE UPPER MANHOLE TO PRODUCE A FOUR (4) FOOT HEAD ON THE INVERT OF THE LINE AT THE MIDPOINT BETWEEN MANHOLES. THE WATER WILL BE ALLOWED TO STAND FOR A MINIMUM OF FOUR (4) HOURS (PREFERABLY OVERNIGHT) TO ALLOW ABSORPTION TO TAKE PLACE IN THE WALLS OF THE MANHOLE AND PIPE. WATER WILL THEN BE ADDED TO BRING THE WATER SURFACE BACK TO THE MARK. AFTER A CAREFULLY TIMED INTERVAL, VARYING FROM FIFTEEN (15) MINUTES TO SIXTY- (60) MINUTES, THE DROP IN ELEVATION OF THE WATER SURFACE WILL BE RECORDED AND CONVERTED TO AN EXFILTRATION RATE, OR A MEASURED AMOUNT OF WATER WILL BE ADDED TO BRING THE WATER LEVEL BACK TO THE MARK AND THIS AMOUNT OF WATER CONVERTED TO AN EXFILTRATION RATE.

THE EXFILTRATION RATE OF THE UPPER MANHOLE MAY BE DETERMINED IN THE SAME MANNER BY PLUGGING THE LINE IN BOTH SIDES OF THIS MANHOLE. THIS AMOUNT OF EXFILTRATION MAY BE SUBTRACTED FROM THE RATE DETERMINED ABOVE FOR THE FIRST TEST REQUIRED ON THE PROJECT IN ORDER TO DETERMINE THE ACTUAL EXFILTRATION RATE RESULTING FROM THE PIPE JOINT LEAKAGE. THE PRACTICAL UPPER LIMIT OF HEAD APPLIED TO THE LOWER PART OF THE LINE BEING TESTED IS TWENTY (20) FEET. WHENEVER THE LINE IS SO STEEP AS TO REQUIRE MORE HEAD THAN THIS, AN EXFILTRATION TEST WILL NOT BE ATTEMPTED. THE BASIC EXFILTRATION LEAKAGE ALLOWANCE WILL BE INCREASED BY TEN PERCENT (10%) FOR EACH TWO (2) FEET THAT THE AVERAGE ACTUAL HEAD EXCEEDS THE BASIC FOUR (4) FEET OF HEAD, UP TO A MAXIMUM OF THIRTY PERCENT (30%).

WHENEVER THE RATE OF INFILTRATION OR EXFILTRATION IS FOUND TO EXCEED THE PRESCRIBED AMOUNT, THE CONTRACTOR SHALL STOP ALL CONSTRUCTION. THE CONTRACTOR SHALL MAKE APPROPRIATE REPAIRS BY METHODS ACCEPTABLE TO THE UTILITIES DIRECTOR AND WILL CONTINUE TO TEST THE CONDUIT UNTIL IT IS PROVEN SATISFACTORY.

DRAWN & DESIGNED BY: H.E.B.	REVIEWED BY: _____
CHECKED BY: H.E.B.	DATE: _____ FOR _____

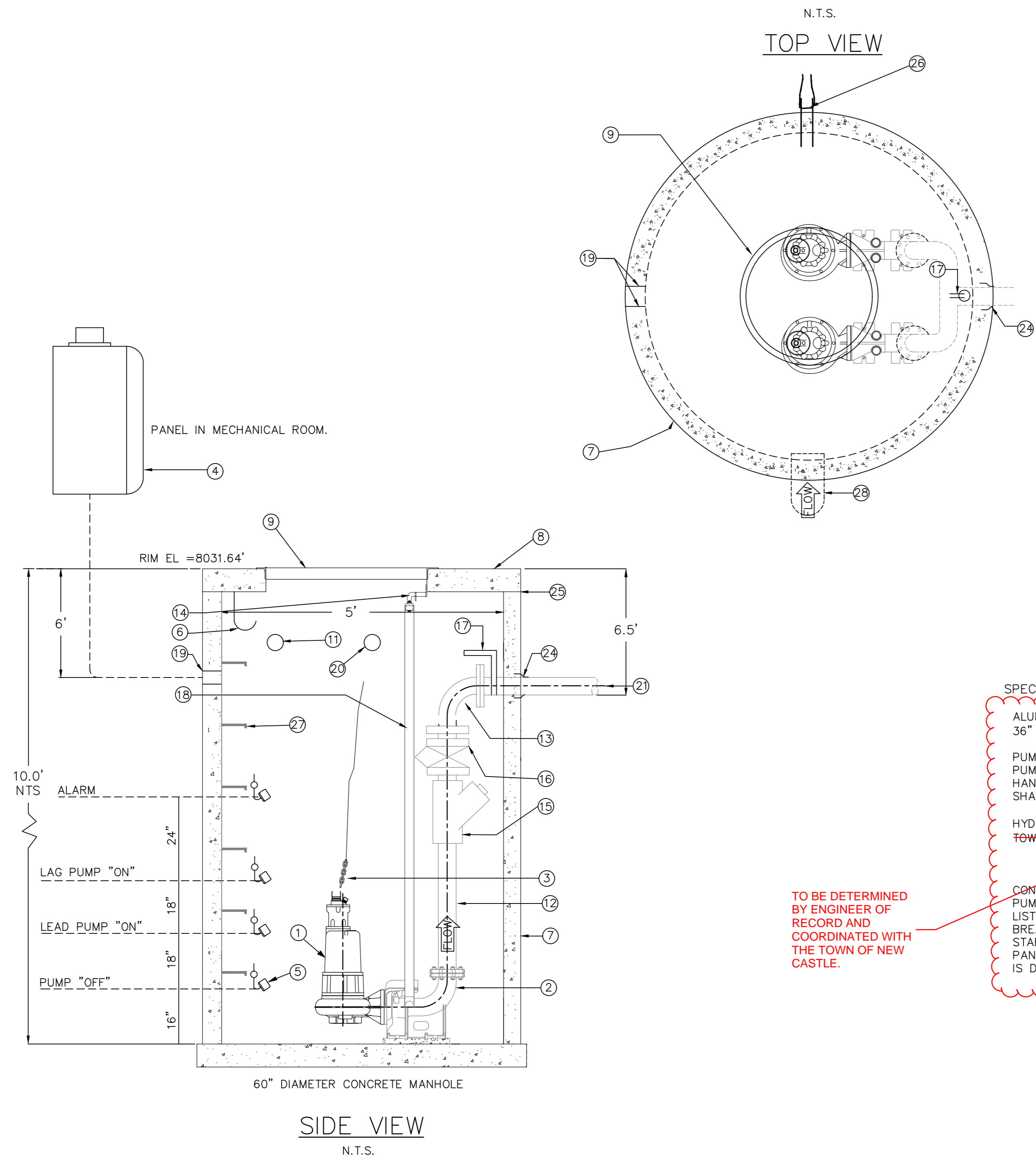
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 CONSULTING ENGINEERS ● 0805 BUCK POINT ROAD
 CARBONDALE, CO 81623 ● (970) 963-2170
 pinnacle.design@sopris.net

REVISION	DATE	DESCRIPTION	BY	CHK'D

COAL SEAM LLC

LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
 WATER AND SEWER TESTING SPECS

SCALE: N.T.S.	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO:		C17



KEYED NOTES		
MARK	QTY	DESCRIPTION
1	2	HYDROMATIC PUMP
2	2	2" BASE ELBOWS
3	2	STAINLESS STEEL LIFTING CHAIN
4	1	DUPLEX CONTROL PANEL NEMA 4X (MOUNTED & WIRED BY CONTRACTOR)
5	4	FLOAT SWITCH
6	1	SS FLOAT HANGER
7	1	48" DIA x 12' DEEP CONCRETE WET WELL
8	1	6" THK FLAT CONCRETE TOP
9	1	24" DIAMETER ALUMINIUM COVER (300 PSF)
11	1	4" PVC VENT - PIPE TO ROOF PER UPC
12	2	6" SCH 80 PVC PIPE
13	2	6" SCH 80 PVC 90° ELBOW
14	2	SS UPPER GUIDE BRACKETS
15	2	BALL CHECK VALVE
16	2	TRUE UNION BALL VALVE
17	1	BALL VALVE
18	4	SS GUIDE RAILS
19	1	8" SDR-26 PVC SEWER SERVICE PIPE
20	1	2" ELECTRIC CONDUIT
21	1	CONNECT TO 6" HDPE FM SEWER PIPE
24	2	RESILIENT RUBBER BOOT
25	-	ALL JOINTS MADE WATER-TIGHT w/ PLASTIC FLEXIBLE GASKET (RAM-NEX)
26	1	CONDUIT SEAL TO BE SUPPLIED BY CONTRACTOR TO MEET CODES AND PREVENT SURFACE WATER FROM ENTERING J. BOX
27	-	STEPS REQ'D IN MANHOLE (TYP.)
28	1	SEWER SERVICE INLET PIPING SEAL w/ NON-SHRINK GROUT (BY OTHERS)

SPECIFICATIONS

ALUMINIUM COVER:
36" DIAMETER SKID-RESISTANT

PUMPS:
PUMPS SHALL BE CENTRIFUGAL GRINDER TYPE SOLIDS HANDLING WITH SUBMERSIBLE TYPE MOTOR. PUMPS SHALL HAVE A CAPACITY AS FOLLOWS:

HYDROMATIC PUMPS 110 GPM (~~VERIFY HEAD WITH TOWN OF NEW CASTLE PRIOR TO ORDERING~~)

CONTROLS:
PUMP CONTROLS SHALL BE MOUNTED INSIDE A UL LISTED NEMA-4X ENCLOSURE AND INCLUDE CIRCUIT BREAKERS, ALARM CIRCUIT FUSE, IEC RATED MOTOR STARTER, PUMP HOA, AND ALTERNATOR RELAY. PANEL SHALL HAVE A VISUAL ALARM BEACON, PANEL IS DESIGNED FOR REMOTE MOUNTING.

TO BE DETERMINED BY ENGINEER OF RECORD AND COORDINATED WITH THE TOWN OF NEW CASTLE.

DRAWN & DESIGNED BY: H.E.B.
 REVIEWED BY: _____
 CHECKED BY: H.E.B.
 DATE: _____ FOR _____

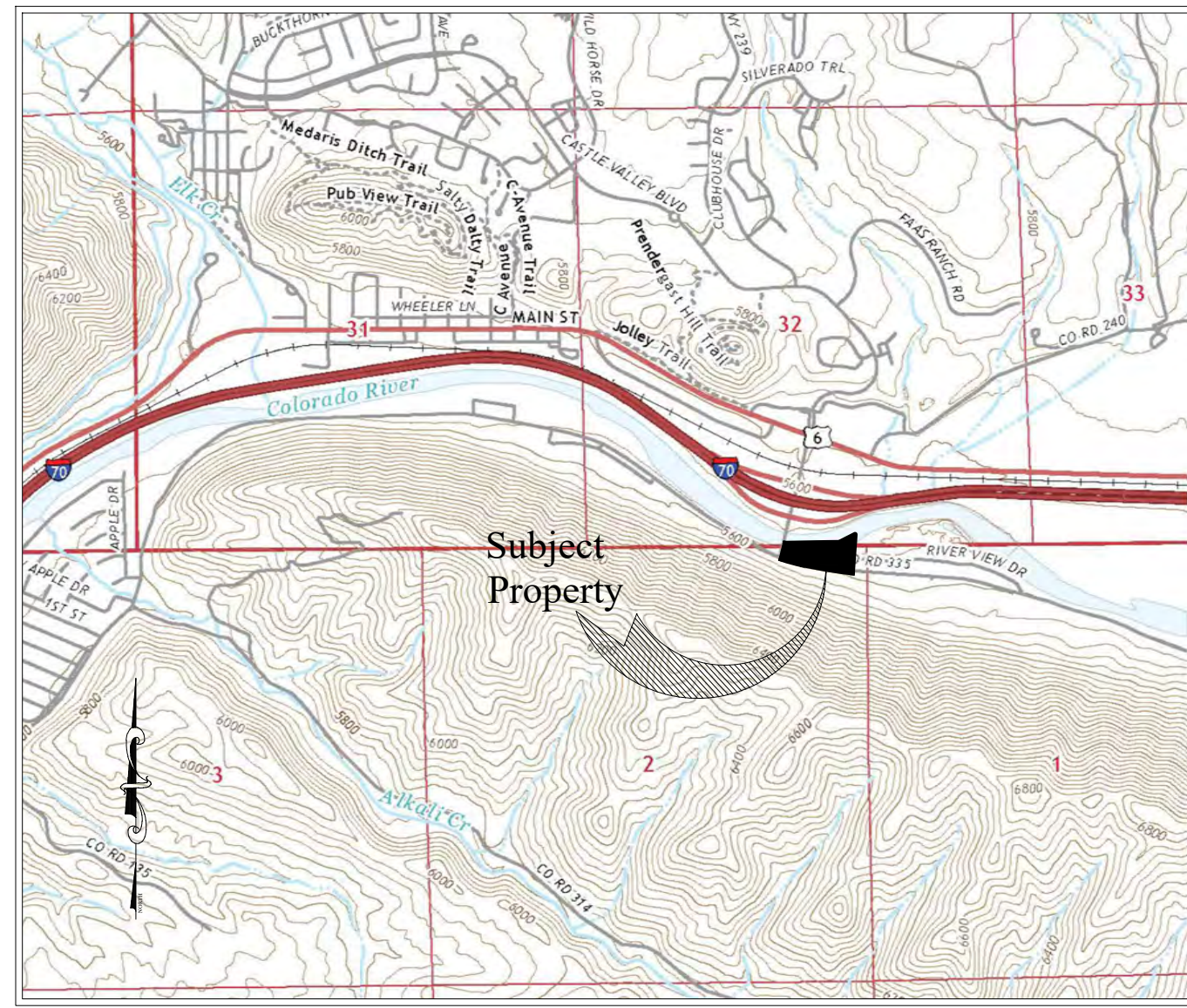
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 pinnacle@design@sopris.net

REVISION	DATE	DESCRIPTION	BY	QHD

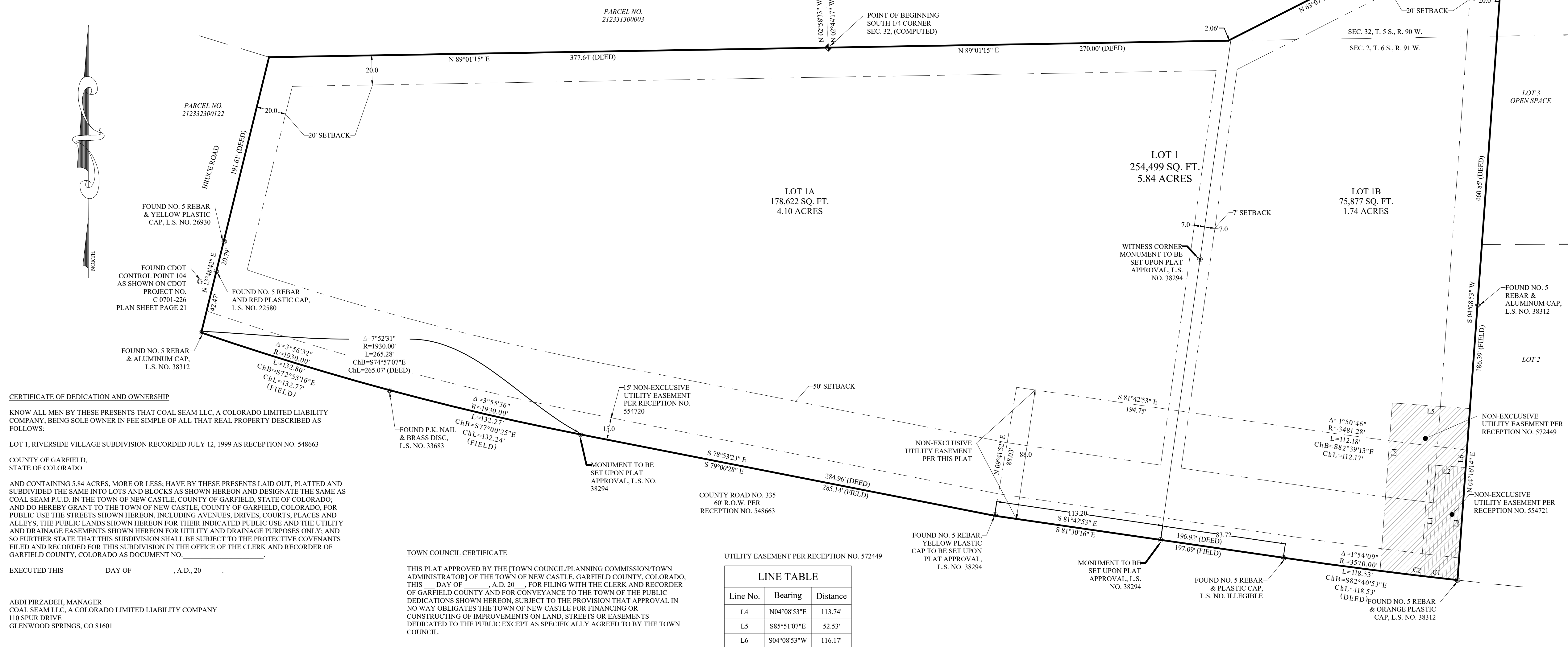
COAL SEAM LLC
 LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
 SEWER LIFT STATION DETAILS

SCALE: N.T.S. JOB NO: 2024.11 DATE: 10-29-25
 SHEET NO: C18

FINAL SUBDIVISION PLAT & FINAL P.U.D. DEVELOPMENT PLAN
COAL SEAM P.U.D.
 A RESUBDIVISION OF LOT 1, RIVERSIDE PARK SUBDIVISION
 RECORDED JULY 12, 1999 AS RECEPTION NO. 548663
 TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO



VICINITY MAP
SCALE 1" = 2,000'



CLERK AND RECORDER'S CERTIFICATE
 THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER AT _____ O'CLOCK _____ M., _____ 20____, AND IS DULY RECORDED IN BOOK _____ PAGE NO. _____
 CLERK AND RECORDER
 BY _____
 DEPUTY

LAND USE SUMMARY

LOT 1A	178,622 SQ. FT.	4.10 ACRES
LOT 1B	75,877 SQ. FT.	1.74 ACRES
TOTAL	254,499 SQ. FT.	5.84 ACRES

PLAT NOTES:
 1) THERE SHALL BE A BLANKET UTILITY AND ACCESS EASEMENT UNDER THE PARKING LOT AND SIDEWALK AREAS AS CONSTRUCTED.

- SURVEY NOTES:**
- THIS PROPERTY IS SUBJECT TO RESERVATIONS, RESTRICTIONS, COVENANTS, SETBACKS AND EASEMENTS OF RECORD, OR IN PLACE AND EXCEPTIONS TO TITLE SHOWN IN THE TITLE COMMITMENT PREPARED BY TITLE COMPANY OF THE ROCKIES, COMMITMENT NO. 0603996-C2 DATED NOVEMBER 23, 2022.
 - THE DATE OF THIS SURVEY WAS SEPTEMBER 25, 2025.
 - BASIS OF BEARINGS FOR THIS SURVEY IS A FIELD BEARING OF N89°50'49"W BETWEEN THE CENTER 1/4 OF SECTION 32, A 3" BRASS CAP FOUND IN PLACE, AND THE 1/4 CORNER OF SECTION 32 AND SECTION 33, A 3" BRASS CAP FOUND IN PLACE. BEARINGS ARE BASED ON THE FINAL PLAT RIVERSIDE PARK SUBDIVISION RECORDED JULY 12, 1999 AS RECEPTION NO. 548663.
 - UNITS OF MEASURE FOR ALL DIMENSIONS SHOWN HEREON IS U.S. SURVEY FEET.
 - THIS SURVEY IS BASED ON THE SPECIAL WARRANTY DEED RECORDED JANUARY 31, 2023 AS RECEPTION NO. 983168 AND THE FINAL PLAT RIVERSIDE PARK SUBDIVISION RECORDED JULY 12, 1999 AS RECEPTION NO. 548663 IN THE GARFIELD COUNTY CLERK AND RECORDER'S OFFICE AND CORNERS FOUND IN PLACE.
 - ALL CORNERS, FOUND OR SET, UNLESS NOTED ARE FLUSH WITH THE GROUND.
 - CLERICAL ERRORS IN THE EASEMENT RECORDED AS RECEPTION NO. 554721 HAVE BEEN CORRECTED ON THIS PLAT.

CERTIFICATE OF DEDICATION AND OWNERSHIP
 KNOW ALL MEN BY THESE PRESENTS THAT COAL SEAM LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING SOLE OWNER IN FEE SIMPLE OF ALL THAT REAL PROPERTY DESCRIBED AS FOLLOWS:
 LOT 1, RIVERSIDE VILLAGE SUBDIVISION RECORDED JULY 12, 1999 AS RECEPTION NO. 548663
 COUNTY OF GARFIELD,
 STATE OF COLORADO
 AND CONTAINING 5.84 ACRES, MORE OR LESS, HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND BLOCKS AS SHOWN HEREON AND DESIGNATE THE SAME AS COAL SEAM P.U.D. IN THE TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO; AND DO HEREBY GRANT TO THE TOWN OF NEW CASTLE, COUNTY OF GARFIELD, COLORADO, FOR PUBLIC USE THE STREETS SHOWN HEREON, INCLUDING AVENUES, DRIVES, COURTS, PLACES AND ALLEYS, THE PUBLIC LANDS SHOWN HEREON FOR THEIR INDICATED PUBLIC USE AND THE UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON FOR UTILITY AND DRAINAGE PURPOSES ONLY; AND SO FURTHER STATE THAT THIS SUBDIVISION SHALL BE SUBJECT TO THE PROTECTIVE COVENANTS FILED AND RECORDED FOR THIS SUBDIVISION IN THE OFFICE OF THE CLERK AND RECORDER OF GARFIELD COUNTY, COLORADO AS DOCUMENT NO. _____
 EXECUTED THIS _____ DAY OF _____, A.D. 20____.

ABDI PIRZADEH, MANAGER
 COAL SEAM LLC, A COLORADO LIMITED LIABILITY COMPANY
 110 SPUR DRIVE
 GLENWOOD SPRINGS, CO 81601
 STATE OF COLORADO)
) JSS
 COUNTY OF GARFIELD)
 THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 20____, BY ABDI PIRZADEH.
 MY COMMISSION EXPIRES: _____
 WITNESS MY HAND AND SEAL
 NOTARY PUBLIC
 EXECUTED THIS _____ DAY OF _____, A.D. 20____.
 OWNER(S)
 COUNTY OF GARFIELD) SS.
 STATE OF COLORADO)
 HE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 20____ BY _____
 WITNESS MY HAND AND SEAL
 NOTARY PUBLIC

TOWN COUNCIL CERTIFICATE
 THIS PLAT APPROVED BY THE [TOWN COUNCIL/PLANNING COMMISSION/TOWN ADMINISTRATOR] OF THE TOWN OF NEW CASTLE, GARFIELD COUNTY, COLORADO, THIS _____ DAY OF _____, A.D. 20____, FOR FILING WITH THE CLERK AND RECORDER OF GARFIELD COUNTY AND FOR CONVEYANCE TO THE TOWN OF THE PUBLIC DEDICATIONS SHOWN HEREON, SUBJECT TO THE PROVISION THAT APPROVAL IN NO WAY OBLIGATES THE TOWN OF NEW CASTLE FOR FINANCING OR CONSTRUCTING OF IMPROVEMENTS ON LAND, STREETS OR EASEMENTS DEDICATED TO THE PUBLIC EXCEPT AS SPECIFICALLY AGREED TO BY THE TOWN COUNCIL.

MAYOR _____
 WITNESS MY HAND AND THE SEAL OF THE TOWN OF NEW CASTLE.
 ATTEST:
 TOWN CLERK _____

TITLE CERTIFICATE
 _____ DOES HEREBY CERTIFY THAT TITLE COMPANY OF THE ROCKIES HAS EXAMINED THE TITLE TO ALL LANDS DEDICATED AND SHOWN UPON THIS PLAT, AND TITLE TO SUCH LANDS IS IN THE DEDICATOR FREE AND CLEAR OF ALL LIENS, TAXES, AND ENCUMBRANCES EXCEPT AS FOLLOWS:

LIENHOLDER CONSENT AND SUBORDINATION
 THE UNDERSIGNED LIENHOLDER HEREBY CONSENTS TO AND APPROVES THE RECORDING OF THIS COAL SEAM P.U.D. PLAT AND HEREBY SUBORDINATES ITS LIEN RECORDED AS RECEPTION NUMBER _____ IN THE REAL PROPERTY RECORDS FOR GARFIELD COUNTY THERE TO.

LIENHOLDER NAME & TITLE

UTILITY EASEMENT PER RECEPTION NO. 572449

LINE TABLE

Line No.	Bearing	Distance
L4	N04°08'53"E	113.74'
L5	S85°51'07"E	52.53'
L6	S04°08'53"W	116.17'

CURVE TABLE

Curve No.	Arc Length	Radius	Delta Angle	Chord Bearing	Chord Length
C2	52.59'	3570.00'	0°50'39"	S83°12'38"E	52.59'

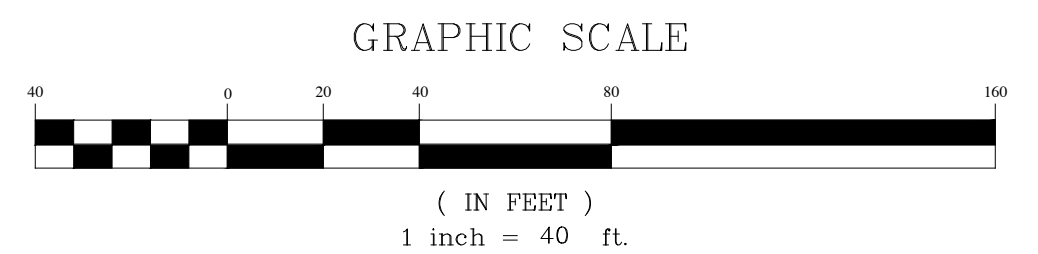
UTILITY EASEMENT PER RECEPTION NO. 554721

LINE TABLE

Line No.	Bearing	Distance
L1	N04°08'53"E	75.23'
L2	S85°51'07"E	25.00'
L3	S04°08'53"W	76.29'

CURVE TABLE

Curve No.	Arc Length	Radius	Delta Angle	Chord Bearing	Chord Length
C1	25.02'	3570.00'	0°24'06"	N83°25'55"W	25.02'



SURVEYOR'S CERTIFICATE
 I, TRAVIS J. KAISER, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF COLORADO. THAT THIS PLAT, THE TITLE THEREON AND CORNERS THEREON WERE LAYED OUT, PLATTED, DEDICATED AND SHOWN HEREON, THAT SUCH PLAT WAS MADE FROM AN ACCURATE SURVEY OF SAID PROPERTY BY ME AND UNDER MY SUPERVISION AND CORRECTLY SHOWS THE LOCATION AND DIMENSIONS OF THE LOTS, ALLEYS, STREETS AND STREETS OF SAID SUBDIVISION AS THE SAME ARE STATED ON UPON THE RECORDS GOVERNING THE SUBDIVISION OF LAND.
 IN WITNESS WHEREOF I HAVE SET MY HAND AND SEAL THIS _____ DAY OF _____, A.D. 2025.
 BY _____
 TRAVIS J. KAISER, L.S. NO. 38294
 FOR AND ON BEHALF OF DRAKE CONSULTING, INC.
PRELIMINARY
FOR REVIEW
 10/30/2025

Drake Consulting, Inc. Land Surveying PO Box 709 Rifle, CO 81650 Phone 970-987-1389 DrakeConsultingInc.com	Drawn By: ARK	NO.	Date	Revision	By
	Checked By: TJK				
	Date: OCTOBER 30, 2025				
	Computer File: 046-PLAT-TSS				
		COAL SEAM, LLC 7051 COUNTY RD 335, NEW CASTLE, CO		Project NO. 25046	
		FINAL SUBDIVISION PLAT & P.U.D. COAL SEAM P.U.D.			1 OF 1

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

TOPOGRAPHICAL SURVEY MAP

Lot 1 Riverside Park Subdivision
As shown at Reception No. 548663
County of Garfield, State of Colorado

THE LAND REFERRED TO IN THIS STEWART TITLE - GLENWOOD SPRINGS - MAIN COMMITMENT DATED MAY 22, 2015 IS LOCATED IN THE COUNTY OF GARFIELD, STATE OF COLORADO, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: LOT 1, ACCORDING TO THE FINAL PLAT OF RIVERSIDE PARK SUBDIVISION RECORDED JULY 12, 1999 AS RECEPTION NO. 548663, COUNTY OF GARFIELD, STATE OF COLORADO

THIS PROPERTY IS SUBJECT TO THE FOLLOWING EXCEPTIONS PER SAID TITLE COMMITMENT NO. 01330-28819-AMENDED NO. C2

10. Right of the proprietor of a vein or lode to extract and remove his ore therefrom, should the same be found to penetrate or intersect the premises hereby granted, as reserved in United States Patents recorded December 5, 1891 in Book 12 at Page 84 as Reception No. 13189; recorded December 21, 1891 in Book 12 at Page 88 as Reception No. 13263; recorded February 18, 1909 in Book 71 at Page 358 as Reception No. 36586; and recorded July 12, 1892 in Book 12 at Page 176 as Reception No. 14274.

Parcel No.
212331300003

N 89°1'15" E 647.64'

N 63°7'41" E 210.84'

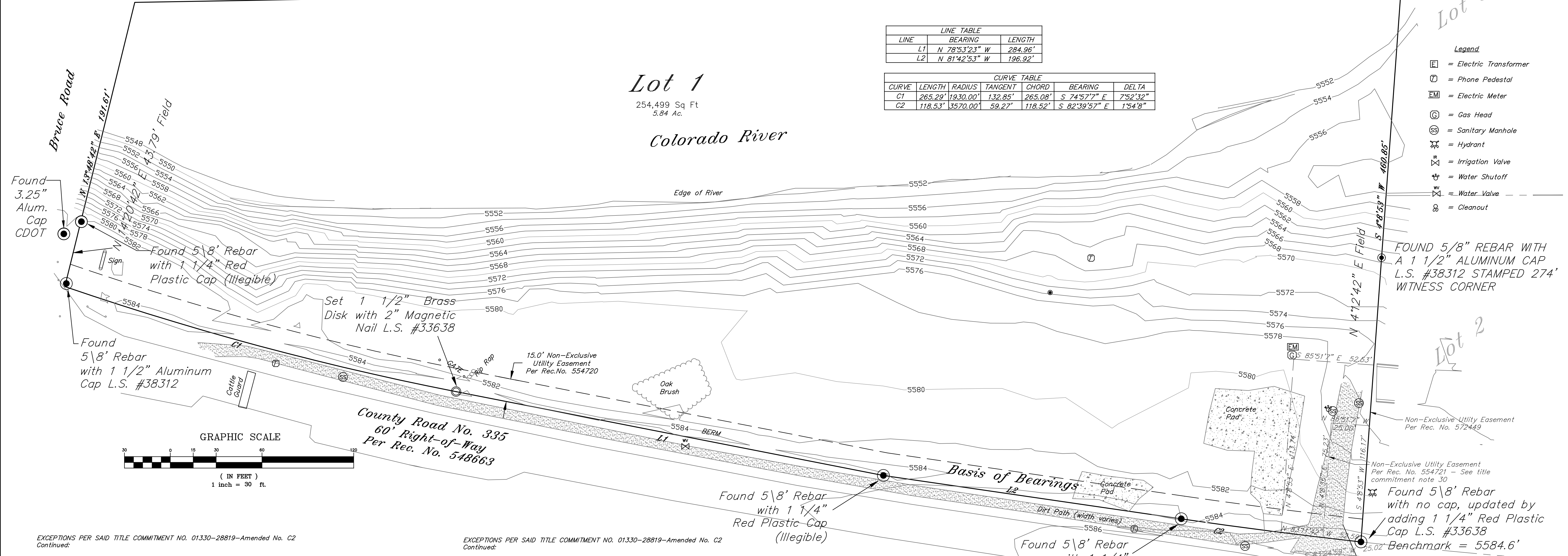
LINE TABLE		
LINE	BEARING	LENGTH
L1	N 78°53'23" W	284.96'
L2	N 81°42'53" W	196.92'

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	265.29'	1930.00'	132.85'	265.08'	S 74°57'7" E	7°52'32"
C2	118.53'	3570.00'	59.27'	118.52'	S 82°39'57" E	1°54'8"

Lot 1

254,499 Sq Ft
5.84 Ac.

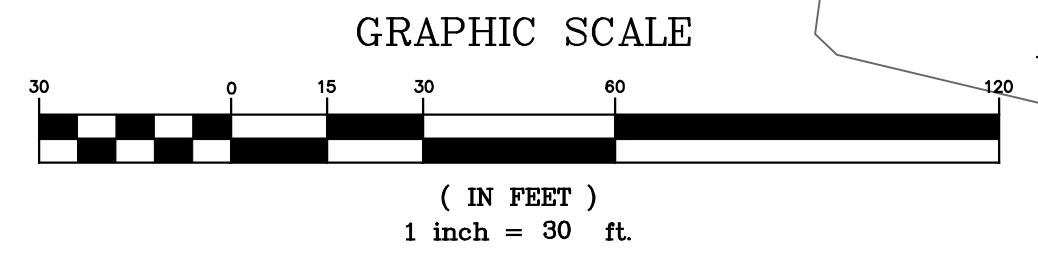
Colorado River



- Legend
- ⊞ = Electric Transformer
 - ⊞ = Phone Pedestal
 - ⊞ = Electric Meter
 - ⊞ = Gas Head
 - ⊞ = Sanitary Manhole
 - ⊞ = Hydrant
 - ⊞ = Irrigation Valve
 - ⊞ = Water Shutoff
 - ⊞ = Water Valve
 - ⊞ = Cleanout

FOUND 5/8" REBAR WITH A 1 1/2" ALUMINUM CAP L.S. #38312 STAMPED 274' WITNESS CORNER

Found 5/8" Rebar with no cap, updated by adding 1 1/4" Red Plastic Cap L.S. #33638
Benchmark = 5584.6'



EXCEPTIONS PER SAID TITLE COMMITMENT NO. 01330-28819-AMENDED NO. C2
Continued:

11. Right of way for ditches or canals constructed by the authority of the United States, as reserved in United States Patents recorded December 5, 1891 in Book 12 at Page 84 as Reception No. 13189; recorded February 18, 1909 in Book 71 at Page 358 as Reception No. 36586; and recorded July 12, 1892 in Book 12 at Page 176 as Reception No. 14274.
12. Matters related to the mineral estate as disclosed by Warranty Deed recorded December 2, 1939 in Book 195 at Page 322 as Reception No. 137738, and any and all assignments of record, or otherwise, thereof, or interests therein.
13. Matters related to the mineral estate as disclosed by Warranty Deed recorded January 7, 1959 in Book 314 at Page 232 as Reception No. 203950, and any and all assignments of record, or otherwise, thereof, or interests therein.
14. Easement and right of way recorded February 13, 1967 in Book 382 at Page 176 as Reception No. 237089; Amendment recorded June 24, 1970 in Book 411 at Page 225 as Reception No. 246724.
15. Permanent Easement recorded February 13, 1970 in Book 407 at Page 537 as Reception No. 245542.
16. Resolution No. 88-005 recorded January 13, 1988 in Book 727 at Page 674 as Reception No. 388969.
17. Matters related to the mineral estate as disclosed by Deed recorded May 29, 1990 in Book 780 at Page 189 as Reception No. 413034, and any and all assignments of record, or otherwise, thereof, or interests therein.
18. Affidavit Re: Boundary Line Adjustment recorded May 29, 1990 in Book 780 at Page 192 as Reception No. 413035.
19. Coal Mining Lease recorded June 21, 1995 in Book 944 at Page 554 as Reception No. 479685, and any and all assignments of record, or otherwise, thereof, or interests therein or amendments thereto; and other leases of record affecting the mineral estate, and any and all assignments of record, or otherwise, thereof, or interests therein.
20. Memorandum of Water Allotment Contract recorded August 3, 1998 in Book 1081 at Page 471 as Reception No. 529786.

EXCEPTIONS PER SAID TITLE COMMITMENT NO. 01330-28819-AMENDED NO. C2
Continued:

21. Town of New Castle Resolution No. TC 99-3 recorded July 12, 1999 in Book 1139 at Page 759 as Reception No. 548657.
22. Town of New Castle Resolution No. TC 99-4 recorded July 12, 1999 in Book 1139 at Page 763 as Reception No. 548658.
23. Town of New Castle Resolution No. 99-3 recorded July 12, 1999 in Book 1139 at Page 769 as Reception No. 548659.
24. Annexation Agreement recorded July 12, 1999 in Book 1139 at Page 785 as Reception No. 548660.
25. Town of New Castle Resolution No. 99-4 recorded July 12, 1999 in Book 1139 at Page 803 as Reception No. 548662.
26. Matters disclosed on the Final Plat of Riverside Park Subdivision recorded July 12, 1999 as Reception No. 548663.
27. Town of New Castle Resolution No. 99-5 recorded July 12, 1999 in Book 1139 at Page 809 as Reception No. 548664.
28. Agreement recorded November 16, 1999 in Book 1160 at Page 779 as Reception No. 555439. (Offsite)
29. Easement Deed recorded November 2, 1999 in Book 1158 at Page 314 as Reception No. 554720. (As shown hereon)
30. Easement Deed recorded November 2, 1999 in Book 1158 at Page 315 as Reception No. 554721. (Clerical errors found in easement description. Shown hereon as surveyor's best interpretation.)
31. Easement Deed recorded November 20, 2000 in Book 1218 at Page 275 as Reception No. 572449. (As shown hereon)
32. Any question, dispute or adverse claims as to any loss or gain of land as a result of any change in the river bed location by natural or other than natural causes, or alteration through any cause, natural or unnatural, of the center thread, bank, channel or flow of waters in the Colorado River lying within the subject land; and any question as to the use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.
33. Any adverse claim based upon the assertion that (a) some portion of the land forms the bed or bank of a navigable river, or lies below the mean high water mark thereof; (b) the boundary of the land has been affected by a change in the course or water level of a navigable river; (c) the land is subject to water rights, claims or title to water and to any law or governmental regulation pertaining to wetlands; (d) the public's rights to use the waters.

LEGEND AND NOTES:

- ● INDICATES FOUND MONUMENT AS DESCRIBED
- DATE OF SURVEY: MAY, 2015. REVISED WITH ADDITIONAL TOPO ALONG RIVERBANK AT THE WESTERN AND EASTERN BOUNDARIES SURVEYED JULY 28, 2025. REVISED OCTOBER 30, 2025 WITH MONUMENTS AND ANNOTATION FROM TSS LAND SURVEY PLAT DATED MAY 19, 2025.
- UNIT OF MEASUREMENT: US SURVEY FOOT
- BEARINGS ARE BASED UPON A FOUND #5 REBAR WITH RED PLASTIC CAP (ILLEGIBLE) FOUND AT THE ANGLE POINT ON THE SOUTHERLY LINE AND AT THE POINT OF CURVATURE ON THE SOUTHERLY LINE OF SUBJECT LOT 1, USING A BEARING OF N 78°53'23" W BETWEEN THE TWO DESCRIBED MONUMENTS.
- ELEVATIONS ARE ASSUMED BASED ON A FOUND #5 REBAR WITH ADDED PLASTIC CAP, L.S. # 33638 AT THE SOUTHEAST CORNER OF LOT 1, SITE BENCHMARK = 5584.6' AS SHOWN HEREON. CONTOUR INTERVALS EQUAL 2 FEET.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS SURVEYOR TO DETERMINE OWNERSHIP OR TO DISCOVER EASEMENTS OR OTHER ENCUMBRANCES OF RECORD. ALL INFORMATION PERTAINING TO OWNERSHIP, EASEMENTS OR OTHER ENCUMBRANCES OF RECORD HAS BEEN TAKEN FROM A TITLE COMMITMENT 01330-28819-AMENDED NO. C2 ISSUED BY STEWART TITLE - GLENWOOD SPRINGS - MAIN COMMITMENT DATED MAY 22, 2015

Surveyor's Certificate:
I, JEFFREY ALLEN TUTTLE, being a Professional Land Surveyor in the State of Colorado, do hereby certify that this map of existing conditions was prepared by me and under my supervision from a survey made by me and under my supervision on May 15, 2015 and July 28, 2025 and that both the survey and map are true and accurate to the best of my knowledge and belief.
JEFFREY ALLEN TUTTLE, L.S. 33638
10/30/2025

Note: This topography map complies with National Map Accuracy Standards for topographic maps. Where checked 90% of points should be within 1/2 the contour interval and well defined points should be plotted within 1/50" of their true position. Critical design should be based upon spot elevations, please contact Tuttle Surveying Services for this spot elevation information.

Notice:
According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any legal action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

TUTTLE SURVEYING SERVICES
727 Blake Avenue
Glenwood Springs, Colorado 81601
(970) 928-9708 (FAX 947-9007)
Email- jeff@tss-us.com



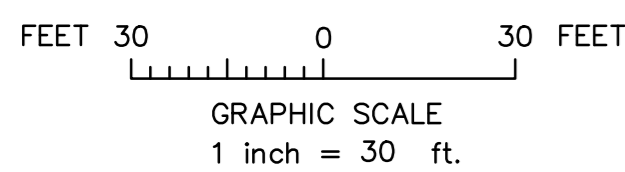
TOPOGRAPHICAL SURVEY MAP

7051 County Road 335
New Castle, Colorado

Drawn by: DMC-ARK
Date: 06/06/2015
Revised: 10/30/2025
Z:\2015\RIVERVALLEY RANCH\BLOCKY\RVR0.DWG
1 OF 1

Legend

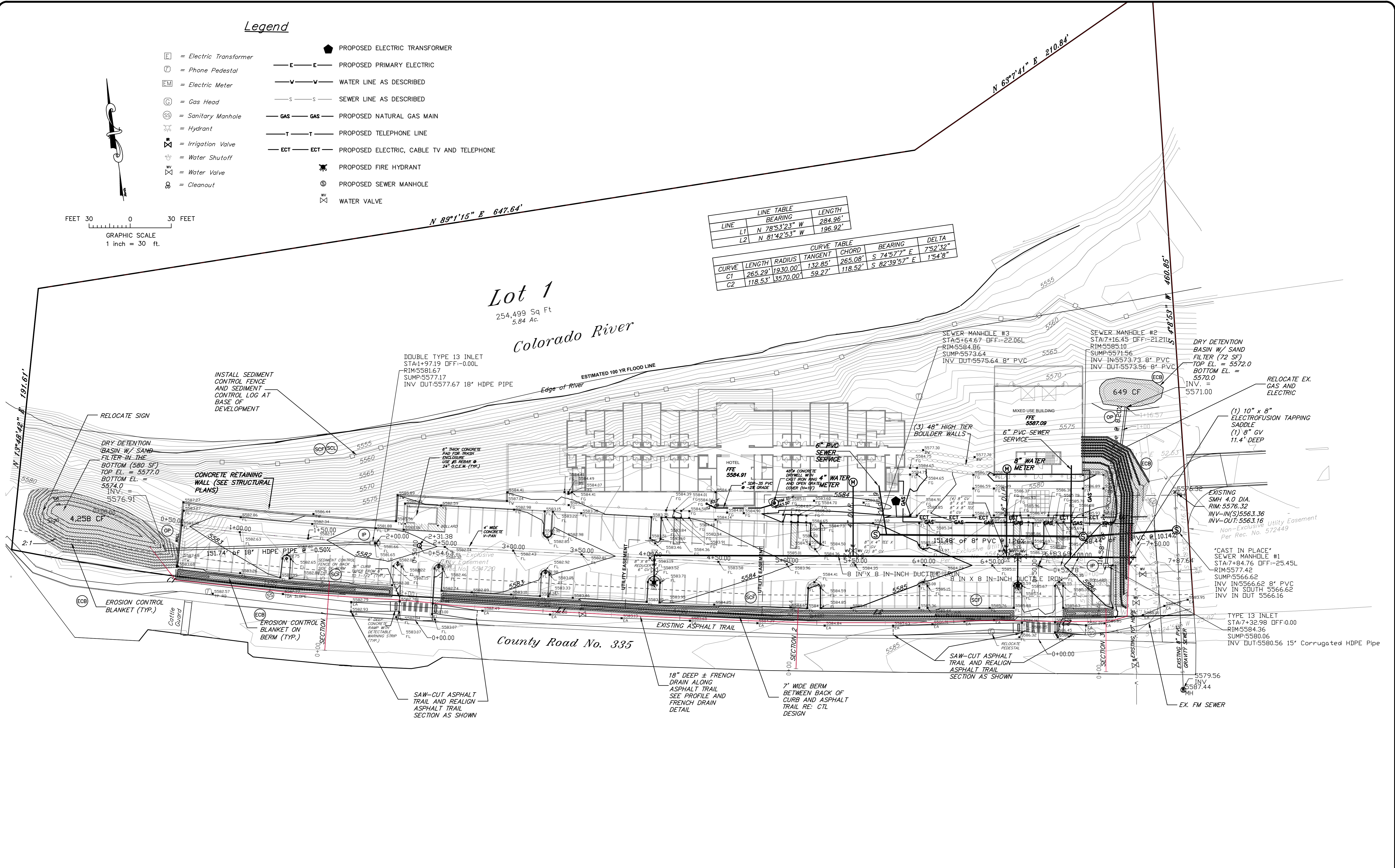
- = Electric Transformer
- = Phone Pedestal
- = Electric Meter
- = Gas Head
- = Sanitary Manhole
- = Hydrant
- = Irrigation Valve
- = Water Shutoff
- = Water Valve
- = Cleanout
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED PRIMARY ELECTRIC
- WATER LINE AS DESCRIBED
- SEWER LINE AS DESCRIBED
- PROPOSED NATURAL GAS MAIN
- PROPOSED TELEPHONE LINE
- PROPOSED ELECTRIC, CABLE TV AND TELEPHONE
- PROPOSED FIRE HYDRANT
- PROPOSED SEWER MANHOLE
- WATER VALVE



LINE TABLE		CURVE TABLE	
LINE	BEARING	LENGTH	DELTA
L1	N 78°53'23" W	284.96'	7°52'32"
L2	N 81°42'53" W	196.92'	1°54'8"

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	265.29'	1930.00'	132.85'	265.08'	S 74°57'7" E	7°52'32"
C2	118.53'	3570.00'	59.27'	118.52'	S 82°39'57" E	1°54'8"

Lot 1
254,499 Sq Ft
5.84 Ac.
Colorado River



DRAWN & DESIGNED BY: H.E.B.
 REVIEWED BY: _____
 CHECKED BY: H.E.B.
 DATE: _____ FOR _____

PINNACLE DESIGN CONSULTING GROUP, INC.
 CONSULTING ENGINEERS • 0805 BUCK POINT ROAD
 CARBONDALE, CO 81623 • (970) 963-2170
 pinnacle.design@spris.net

REVISION	DATE	DESCRIPTION	BY	CHD

COAL SEAM LLC
LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
 GRADING, DRAINAGE, EROSION CONTROL AND
 UTILITY PLAN

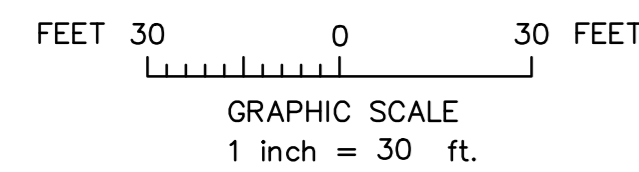
SCALE: 1" = 30'
 SHEET NO: **C2**
 JOB NO: 2024.11
 DATE: 10-29-25

**DEVELOPED DRAINAGE BASIN
PEAK RUNOFF FLOW DETERMINATION**

DRAINAGE BASIN	TOTAL AREA ACRES	100-YEAR RUNOFF COEFFICIENT	100-YEAR INTENSITY in/hr	"Q" VALUE cfs
1	0.922	0.92	5.94	5.04
2	0.132	0.92	5.94	0.72
3	0.037	0.35	5.94	0.08
4	0.045	0.35	5.94	0.09

DEVELOPED STORM WATER VOLUME

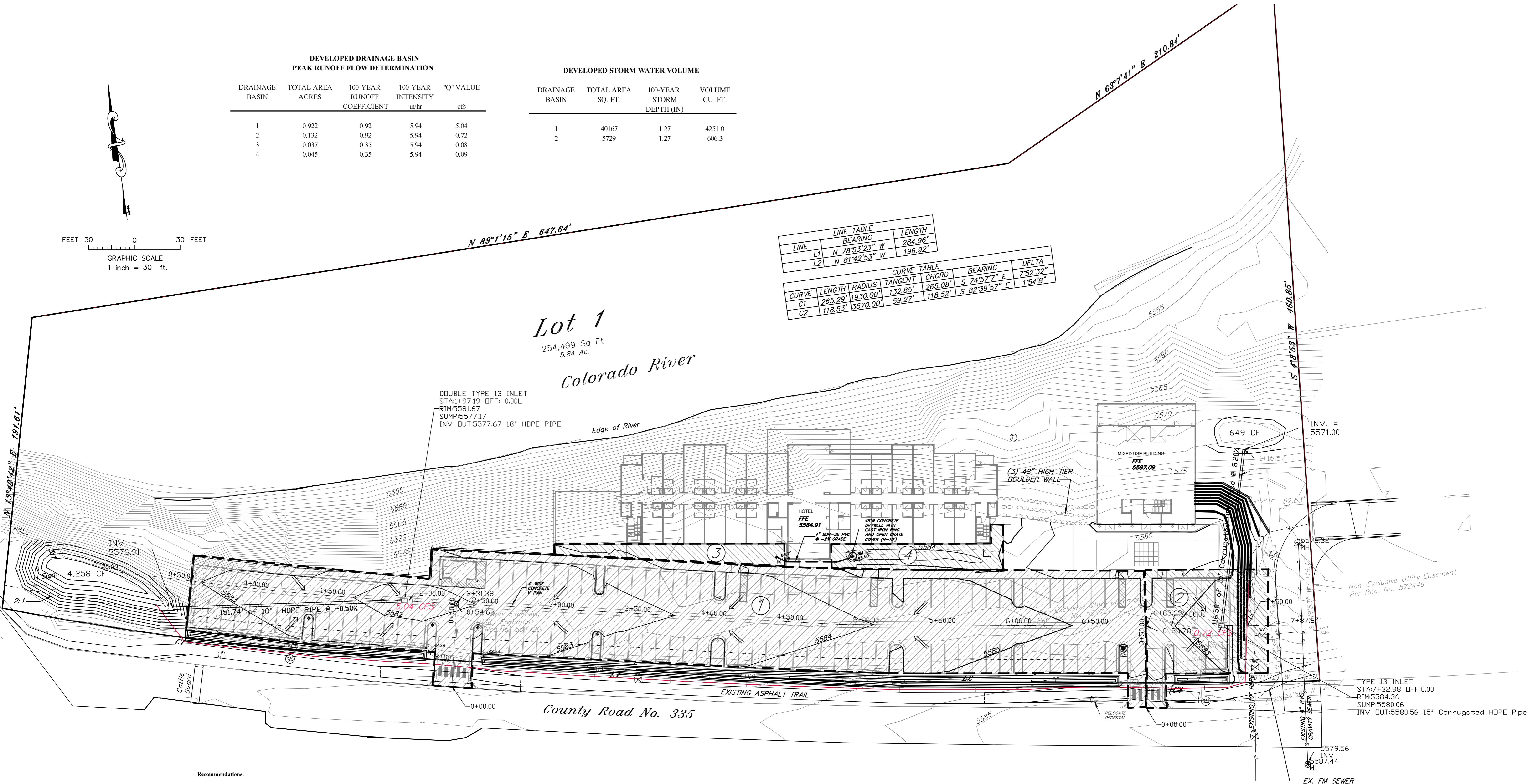
DRAINAGE BASIN	TOTAL AREA SQ. FT.	100-YEAR STORM DEPTH (IN)	VOLUME CU. FT.
1	40167	1.27	4251.0
2	5729	1.27	606.3



LINE TABLE		CURVE TABLE			
LINE	BEARING	LENGTH	RADIUS	TANGENT	CHORD
L1	N 78°53'23" W	284.96'	132.85'	132.85'	265.08'
L2	N 81°42'53" W	196.92'	59.27'	59.27'	118.52'
C1	S 74°57'7" E	7°52'32"			
C2	S 82°39'57" E	1°54'8"			

Lot 1
254,499 Sq Ft
5.84 Ac.

Colorado River



Recommendations:

- Positive drainage should be constructed away from the building foundations in accordance with the grading and drainage plan (if proposed grades are shown) and to the extent possible, with the final soils report.
- Stormwater should be conveyed to the dry detention basins via underground storm drain as shown on the Grading Plan.
- Erosion control measures recommended above should be strictly followed.
- Maintenance for drainage facilities should be in accordance with the aforementioned maintenance section.

DRAWN & DESIGNED BY: H.E.B.	REVIEWED BY: _____
CHECKED BY: H.E.B.	DATE: _____ FOR _____

PINNACLE DESIGN CONSULTING GROUP, INC.
CONSULTING ENGINEERS • 0805 BUCK POINT ROAD
CARBONDALE, CO 81623 • (970) 963-2170
pinnacle@pspr.com

REVISION	DATE	DESCRIPTION	BY	CHK'D

COAL SEAM LLC
**LOT 1 HIGHWAY P.U.D. - 7051 COUNTY ROAD 335
DRAINAGE BASINS**

SCALE: 1" = 30'	JOB NO: 2024.11	DATE: 10-29-25
SHEET NO:	C5	

**LANDSCAPE PLAN
PLANT SCHEDULE**

Symbol	Botanic Name	Common Name	Size
	Malus "Spring Snow"	Spring Snow Crabapple (fruitless)	2 3/4" caliper
	Acer ginnala "Flame"	Flame Maple	2" caliper
	Picea pungens "Glauca"	Colorado Blue Spruce	8'ht.
	Salix irrorate	Blue Stem Willow	5 gallon
	Cornus sericea colordense	Colorado Dogwood	5 Gallon
	Syringa vulgaris	Common Lilac	15 Gallon
	Juniperus media "Pfitzeriana"	Pfitzer Juniper	5 gallon
	Geranium cinereum "Ballerina"	Ballerina Grayleaf Cranesbill	1 gallon

Sod to be locally sourced such as Mountain Blue Turf Farm or Rivendell Sod Farm

Seed to be a low grow reclamation mix consisting of:
30% Crested Wheatgrass, 20% Sheep Fescue, 25% Perennial Ryegrass, 15% Chewing Fescue, and 10% Upland Bluegrass

IRRIGATION SCHEDULE

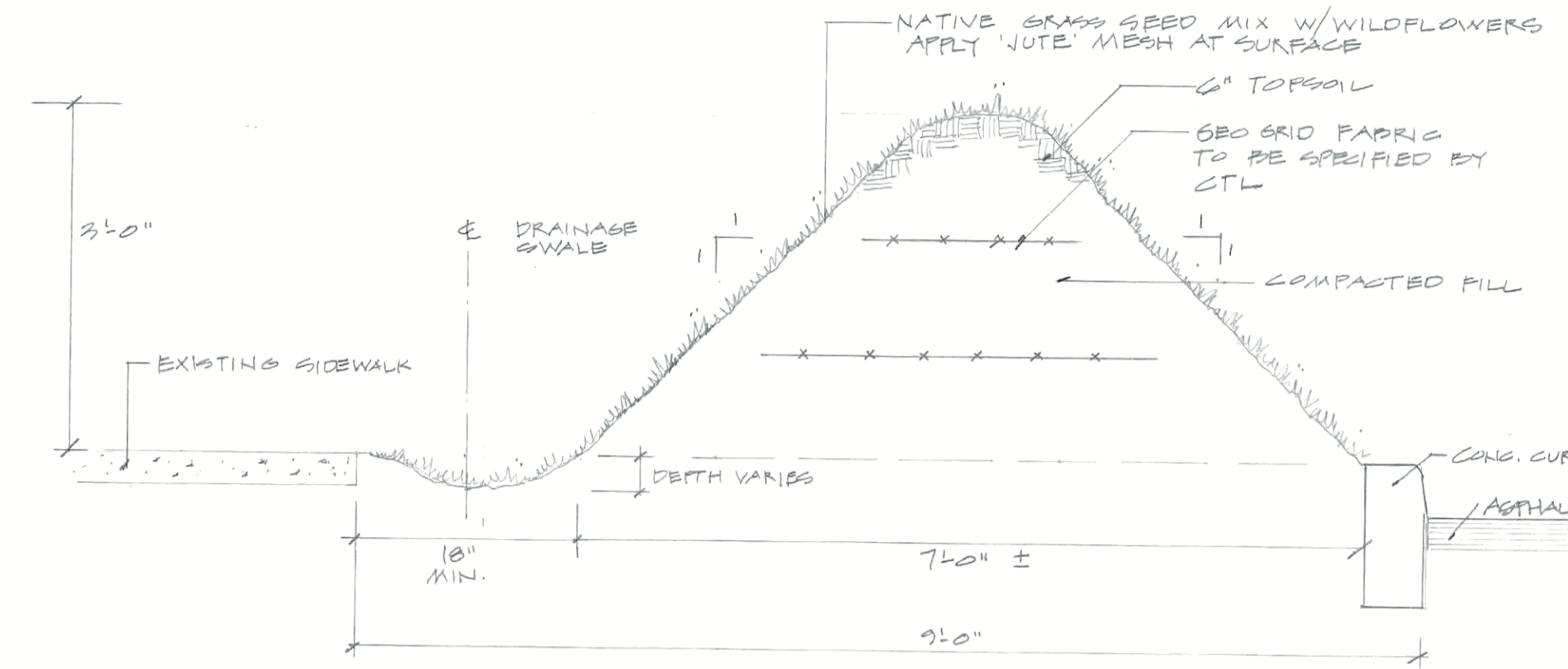
1. All trees to receive permanent underground drip irrigation
2. All sod and ornamental shrub areas to receive permanent underground pop up spray head irrigation
3. All reclamation seed and native shrub area to receive permanent underground pop up rotary impact head irrigation

ADDITIONAL LANDSCAPE NOTES:

1. Landscape plan has incorporated native grasses and plants that will minimize maintenance, mowing and irrigating, see Landscape Plan Plant Schedule above,
2. All disturbed areas in the project shall be revegetated prior to the first growing season following the completion of construction of the entire project and shall be maintained in a predominately weed free condition,
3. Seed mix has been provided (above) and is native. All area disturbed during construction shall receive specified seed mix as well as all areas of 3:1 slope or greater shall receive erosion control blanket and comply with all specifications of the Civil Engineering plans with regard to erosion control.

NOTE:

1. THIS IS A GRAPHIC REPRESENTATION OF BERM DESIGNED AND ENGINEERED BY STL THOMPSON.
2. BERM TO RECEIVE TEMPORARY IRRIGATION TILL GRASS IS ESTABLISHED.



ROCKFALL MITIGATION BERM
3/4" x 1/2" -
* ILLUSTRATIVE - SEE STL ROCKFALL MITIGATION REPORT

GOAL SEAM
LOT 1
THE STEVENS GROUP
LANDSCAPE ARCHITECTURE

Note:

100 Year floodway information provided by Town of New Castle, Flood Plain Address Map produced by Schmuesser Gordon Meyer

Area Calculations:

Gross Lot Size	5.84 acres
Net Lot Size (does not include lot area under river water)	3.45 acres
Landscape Area (does not include any hardscape)	1.37 acres
Percentage of landscape area of gross lot	23.5%
Percentage of landscape area of net lot	39.9%
Code required minimum	10%

RED

1001 Grand Ave, Suite 103
Glenwood Springs CO 81601

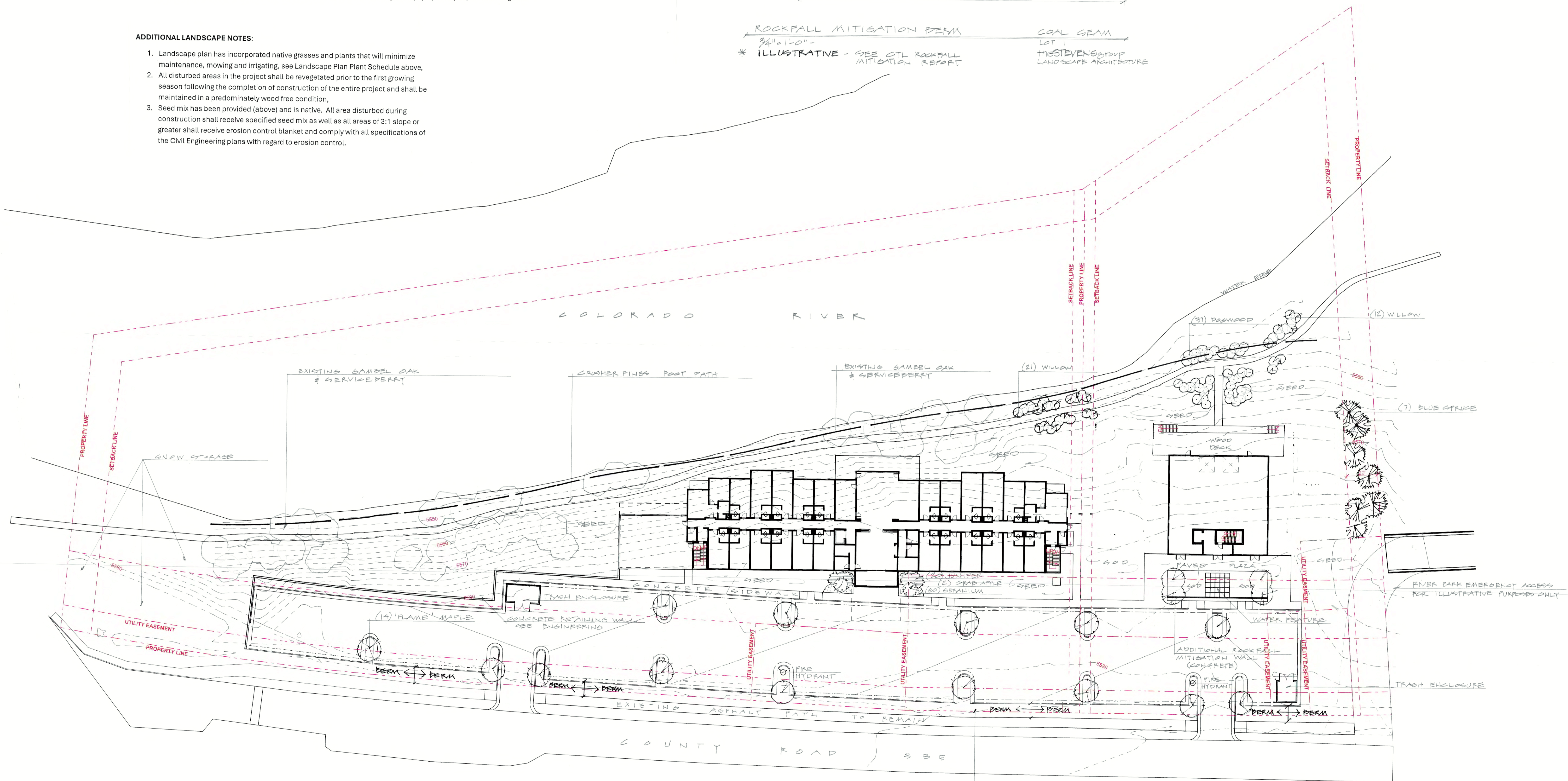
theSTEVENSgroup
Landscape Architecture
Land Planning
Construction Management
(970) 319-0699

©
These documents have been specifically prepared for 7051 335 County Rd. They are not suitable for use on other projects or in other locations without the approval and participation of the architect. Reproduction prohibited without approval of the architect.

2025

**Lot 1
Highway
PUD**

7051 335 County
Rd New Castle
Colorado 81647



ROCKFALL MITIGATION BERM (LENGTH OF PROPERTY)
FOR ROCKFALL HAZARD ASSESSMENT
SEE STL GEOTECHNICAL REPORT
AND DESIGN DETAIL

LAND USE SUBMISSION 1/17/2025
REVISION 7.11.25

**NOT FOR
CONSTRUCTION**

Sheet
L.1

THESE PLANS ARE CONCEPTUAL IN NATURE. INDIVIDUAL BUILDING PLANS MAY VARY BUT WILL BE EVALUATED FOR COMPLIANCE WITH DESIGN STANDARDS CONTAINED WITHIN THE TOWN OF NEW CASTLE CODE OF ORDINANCES AT THE TIME OF SUBMITTING A BUILDING PERMIT APPLICATION.

SITE PLAN NOTES

- VEHICLE IMPACT BOLLARDS TO PROTECT ALL INSTALLED EV CHARGING STATIONS
- SECURITY LIGHTING SHALL BE PROVIDED IN ALL PARKING AREAS USED OR DESIGNED FOR USE DURING EVENING HOURS. THE LIGHTING SHALL NOT BE DIRECTED TOWARDS ANY ADJACENT RESIDENTIAL USES OR PUBLIC STREETS PER CHAPTER 17.76.110 OF NEW CASTLE MUNICOD

LANDSCAPED AREA REQUIREMENTS

17.60.090 LANDSCAPING
AT LEAST TEN (10) PERCENT OF THE TOTAL LAND AREA SHALL BE LANDSCAPED IN ACCORDANCE WITH A LANDSCAPING PLAN APPROVED BY THE TOWN COUNCIL

TOTAL LOT AREA 37,390.5 SF x 10%
TOTAL REQUIRED LANDSCAPED AREA: 3,739.05 SF
TOTAL PROPOSED LANDSCAPED AREA: 13,630.1 SF

SNOW STORAGE
A MINIMUM FUNCTIONAL AREA EQUALING FIFTEEN PERCENT (15%) OF THE PAVED AREA OF EACH LOT SHALL BE PROVIDED FOR SNOW STORAGE

PROPOSED PAVED AREA 37,390.5 x 15%
TOTAL REQUIRED SNOW STORAGE 5,608.6 SF
TOTAL PROPOSED SNOW STORAGE 5,608.6 SF

PARKING REQUIREMENTS

USE TYPE	REQUIREMENT	NUMBER OF SPACES
HOTEL	1 SPACE PER ROOM, PLUS 1 SPACE PER EVERY 2 EMPLOYEES	73
RESTAURANT 60 SEATS	1 SPACE PER 3 SEATS	20
RESIDENTIAL	2 SPACES PER BEDROOM	8
TOTAL REQUIRED PARKING SPACES		101
TOTAL PROPOSED PARKING SPACES		109
HANDICAP	MIN. 5 SPACES	5

EV REQUIREMENTS

COMMERCIAL	10% TOTAL SPACES	REQUIRED	PROVIDED
EVSE INSTALLED	2% OF TOTAL	3 (2.1)	3
EV READY	8% OF TOTAL	9 (8.4)	9
EV CAPABLE	10% OF TOTAL	11 (10.5)	11
EV CAPABLE LIGHT	10% OF TOTAL	11 (10.5)	11
R-2	4 TOTAL SPACES	REQUIRED	PROVIDED
EVSE INSTALLED	5% OF TOTAL	1 (0.2)	1
EV READY	15% OF TOTAL	1 (0.6)	1
EV CAPABLE	10% OF TOTAL	1 (0.4)	1
EV CAPABLE LIGHT	30% OF TOTAL	2 (1.2)	2
TOTAL REQUIRED SPACES		39	
TOTAL PROPOSED SPACES		43	

RED

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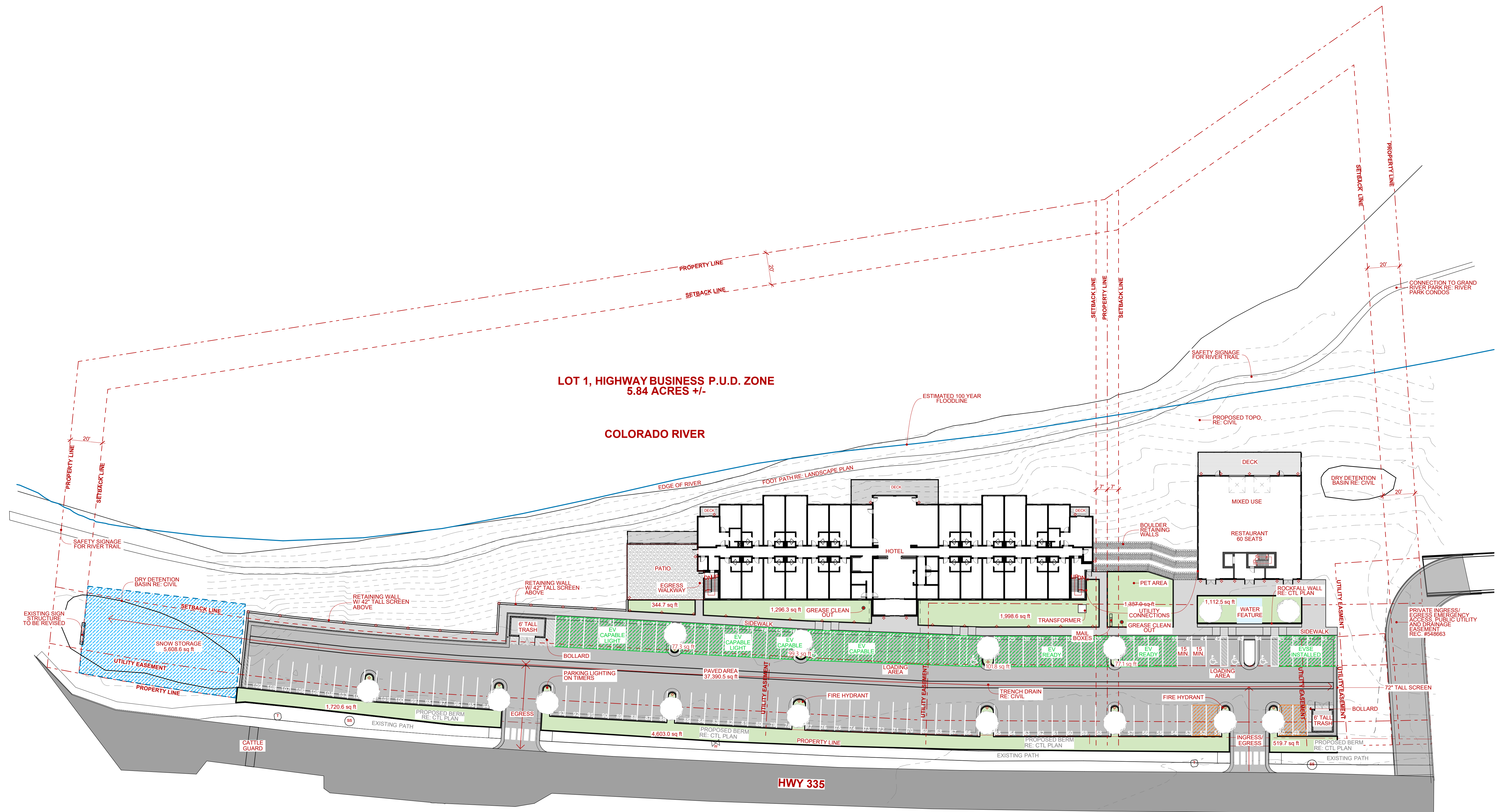
2025

Lot 1 Highway PUD

7051 County Rd
335 New Castle
Colorado 81647

SITE LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- STREET
- SIDEWALK
- DRIVEWAY
- WATER FEATURE
- EV SPACES
- LANDSCAPED AREA
- RESIDENTIAL RESERVED SPACES
- WALL SCENCE
- STREET LAMP/ BOLLARDS



LAND USE SUBMISSION 10/30/2025

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REFERENCE SITE PLAN 1:30

A0.04



Site Plan 1

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LOT COVERAGE MEANS THE TOTAL SQUARE FOOTAGE OF THE BUILDING FOOTPRINT OF THE PRINCIPAL AND ACCESSORY BUILDINGS (NOT INCLUDING STORAGE SHEDS) DIVIDED BY THE TOTAL SQUARE FOOTAGE OF THE LOT AND EXPRESSED AS A PERCENTAGE.

LOT COVERAGE	
HOTEL LOT AREA	178,622.0
HOTEL FOOTPRINT	16,437.4
HOTEL LOT SQ FT %	9.20%
MIXED USE LOT AREA	75,877.00
MIXED USE FOOTPRINT	4,204.70
MIXED USE LOT SQ FT %	5.54%

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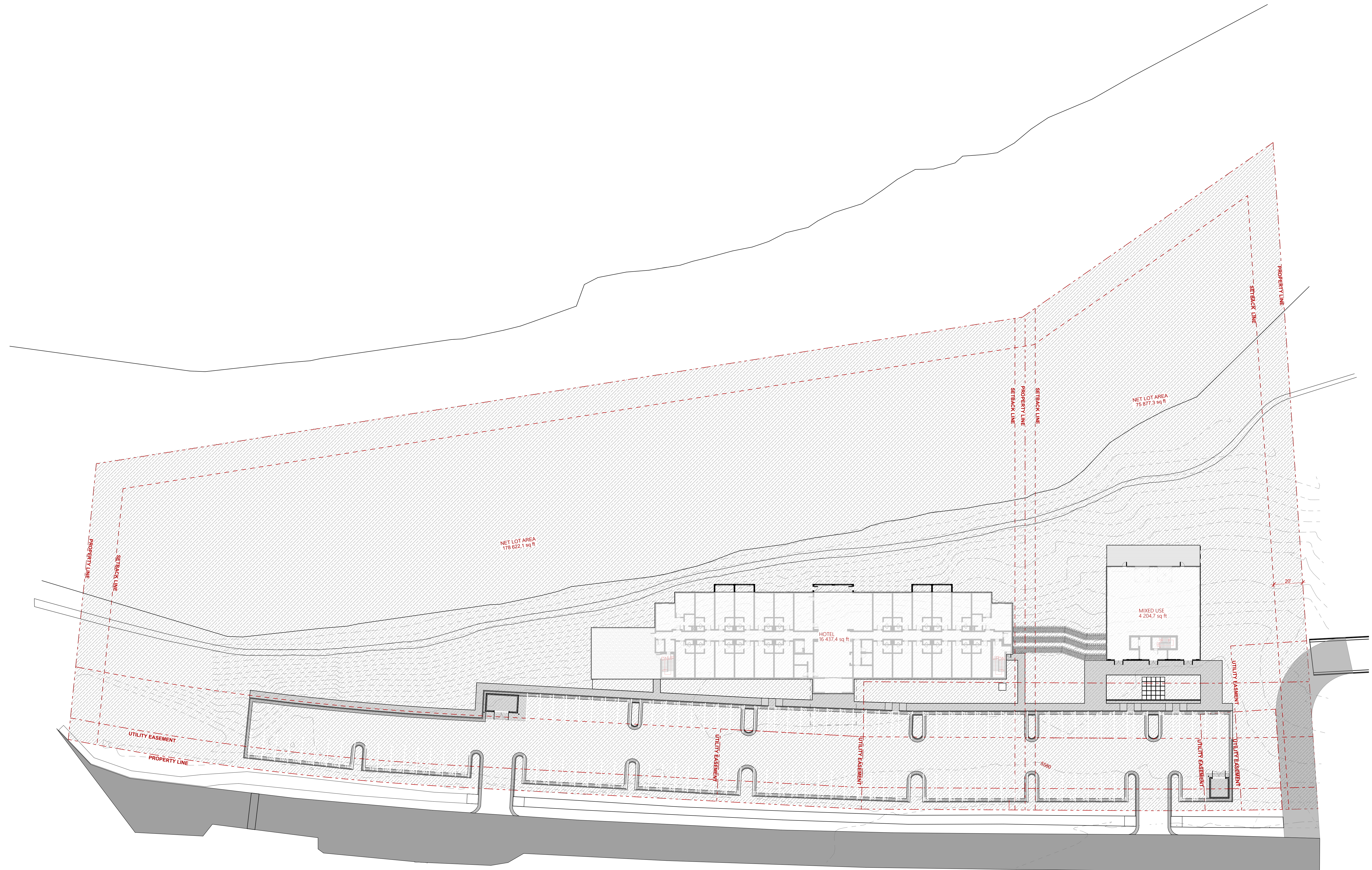
2025

**Lot 1
Highway
PUD**

7051 County Rd
335 New Castle
Colorado 81647

**LOT COVERAGE
LEGEND**

-  LOT COVERAGE
-  BUILDING FOOTPRINT



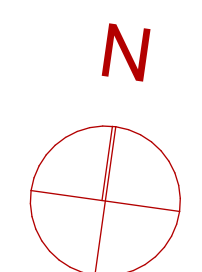
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**LOT
COVERAGE**

Z0.11

Lot Coverage 1
SCALE: 1" = 30'



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CONCEPTUAL GROSS AREA (SECTION 202 OF 2015 IBC):

THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION OF CORRIDORS, STAIRWAYS, RAMPS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES.

CONCEPTUAL GROSS LEASABLE AREA (SECTION 202 OF 2015 IBC):

THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE. THE AREA OF TENANT OCCUPANCY IS MEASURED FROM THE CENTERLINES OF JOINT PARTITIONS TO THE OUTSIDE OF THE TENANT WALLS. ALL TENANT AREAS, INCLUDING AREAS USED FOR STORAGE, SHALL BE INCLUDED IN CALCULATING GROSS LEASABLE AREA.

GROSS AREA	HOTEL		MIXED USE		OVERHANGS	
	sq ft	sq ft	sq ft	sq ft	sq ft	sq ft
LOWER LEVEL	16,146.2	4,204.7	155.3	833	155.3	942.7
FIRST LEVEL	15,184.3	4,233.1	714.1			
SECOND LEVEL	15,350.4	606.4				
BUILDING TOTALS	46,680.9	9,044.2	2,800.4			
GRAND TOTAL	58,525.5					

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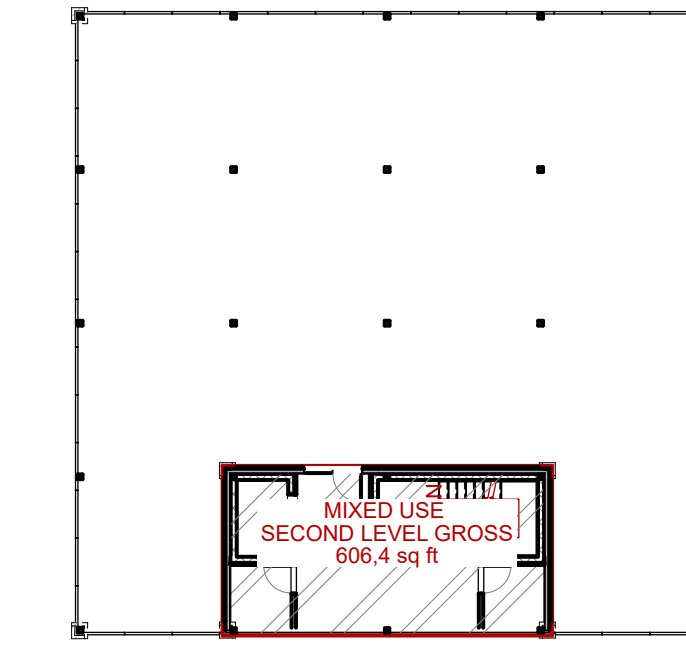
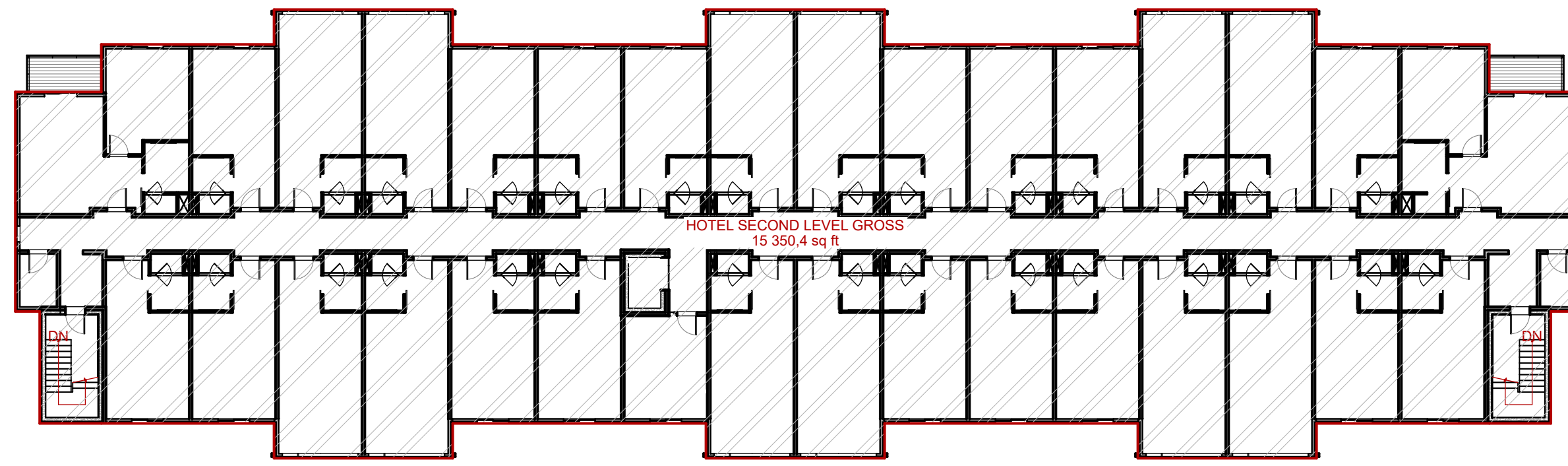
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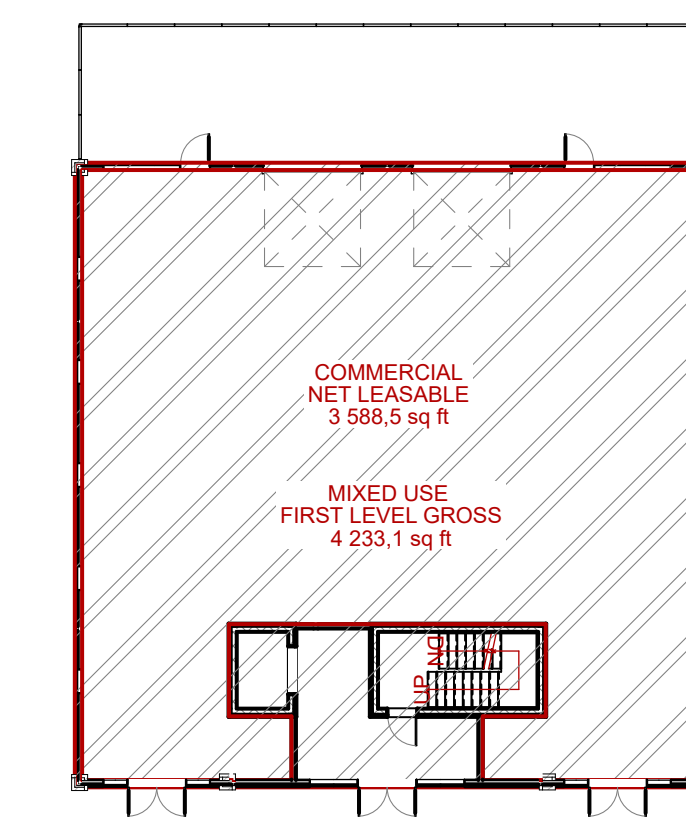
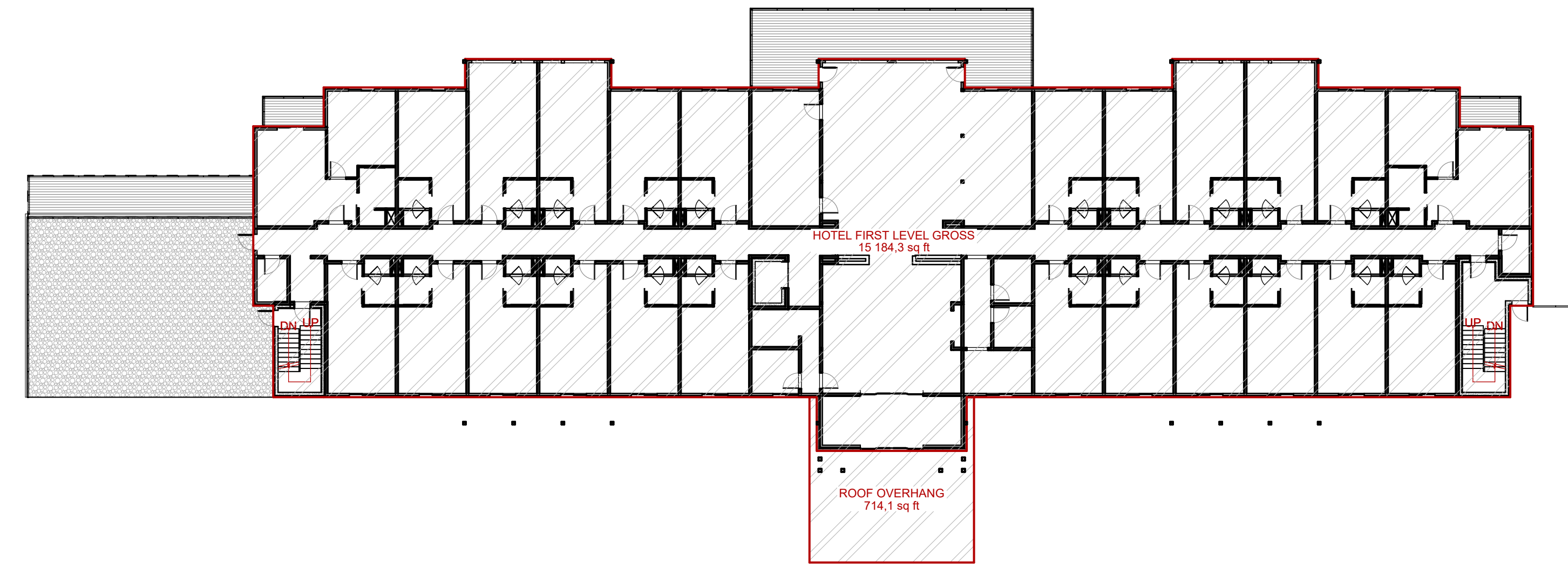
2025

**Lot 1
Highway
PUD**

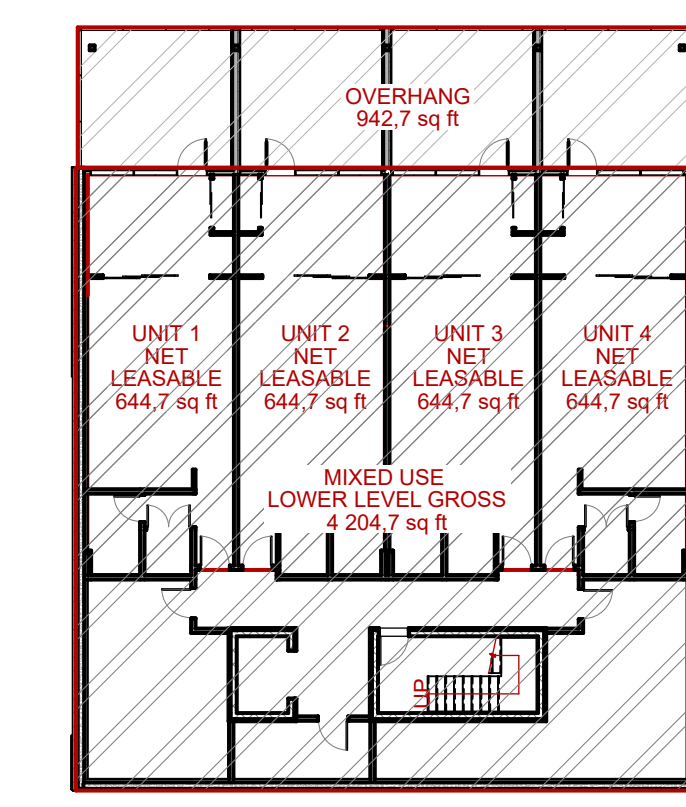
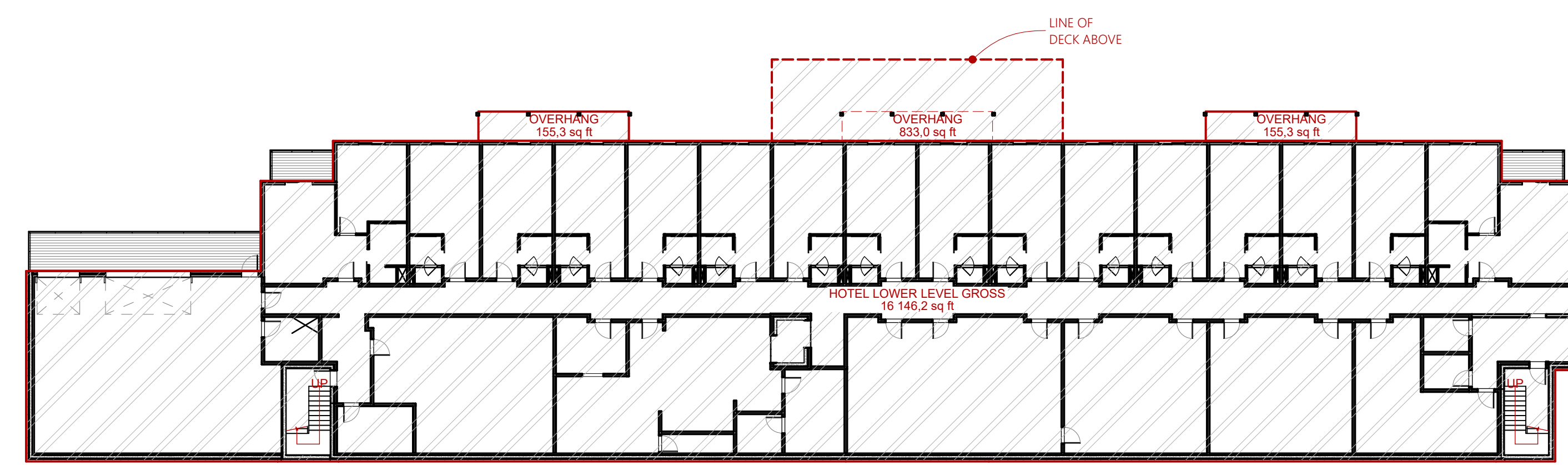
7051 County Rd
335 New Castle
Colorado 81647



Gross Area | Second Level 3
SCALE: 1" = 20'



Gross Area | First Level 2
SCALE: 1" = 20'

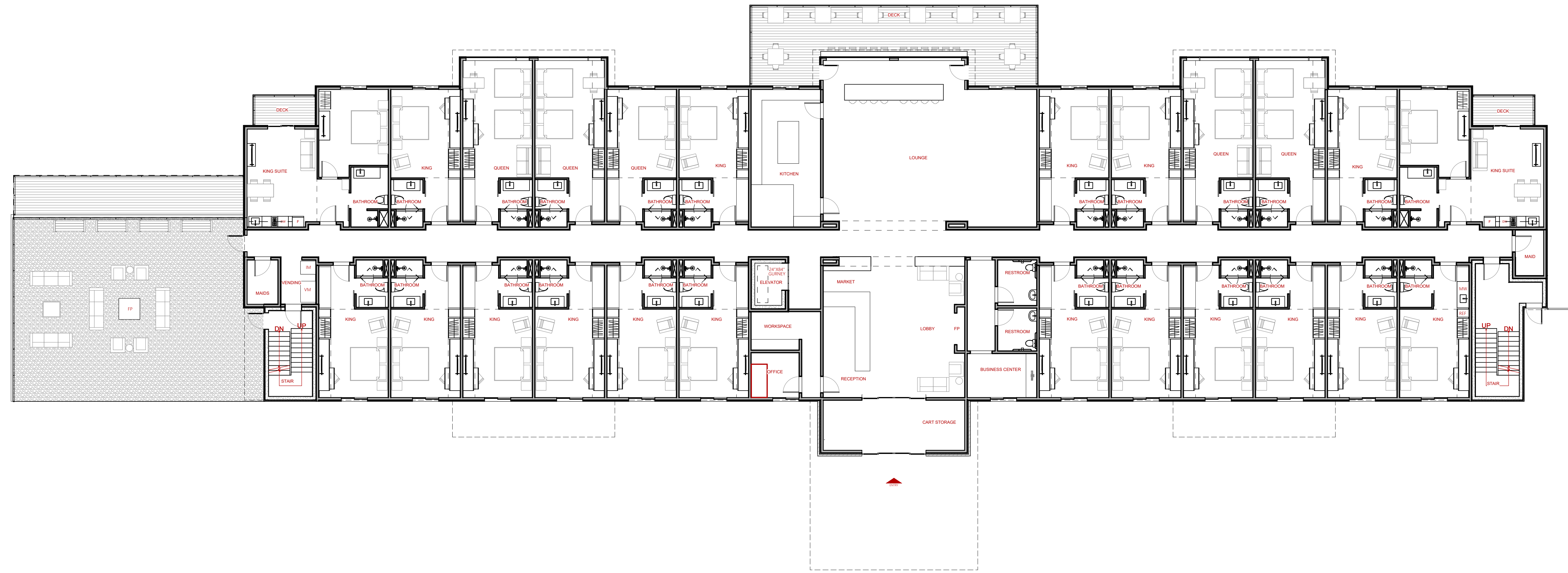


Gross Area | Lower Level 1
SCALE: 1" = 20'

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**NOT FOR
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GROSS AREA**

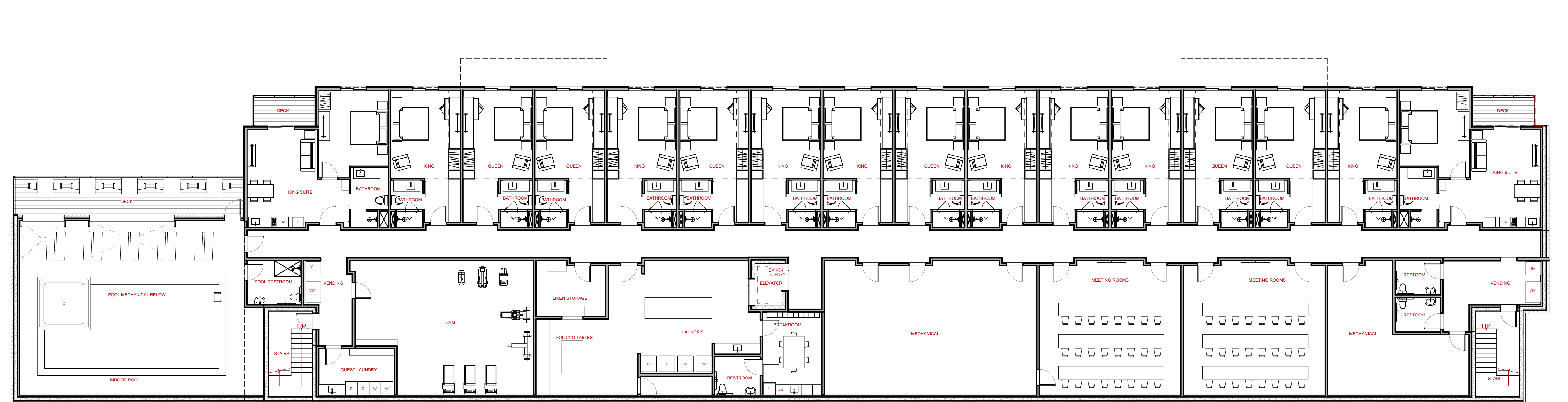
Z0.12



Hotel - First Level Reference Plan

2

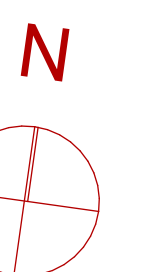
SCALE: 3/32" = 1'-0"

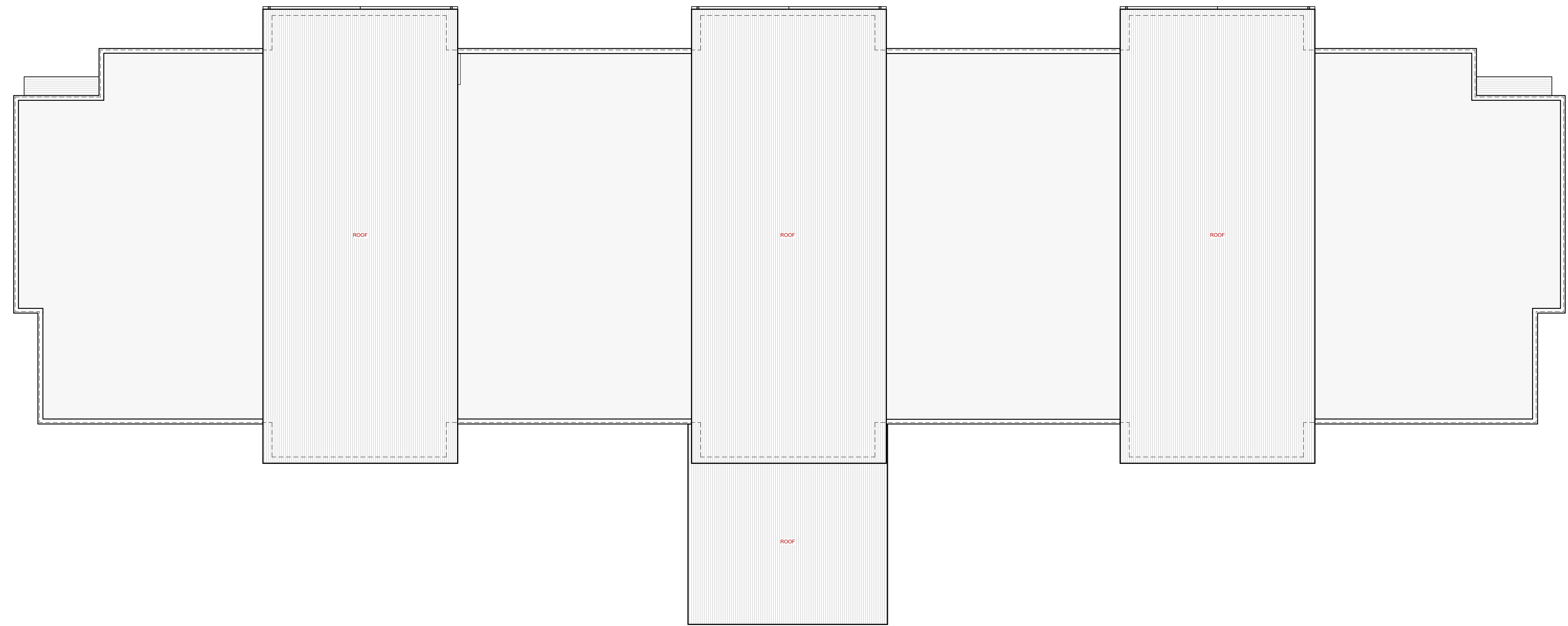


Hotel - Lower Level Reference Plan

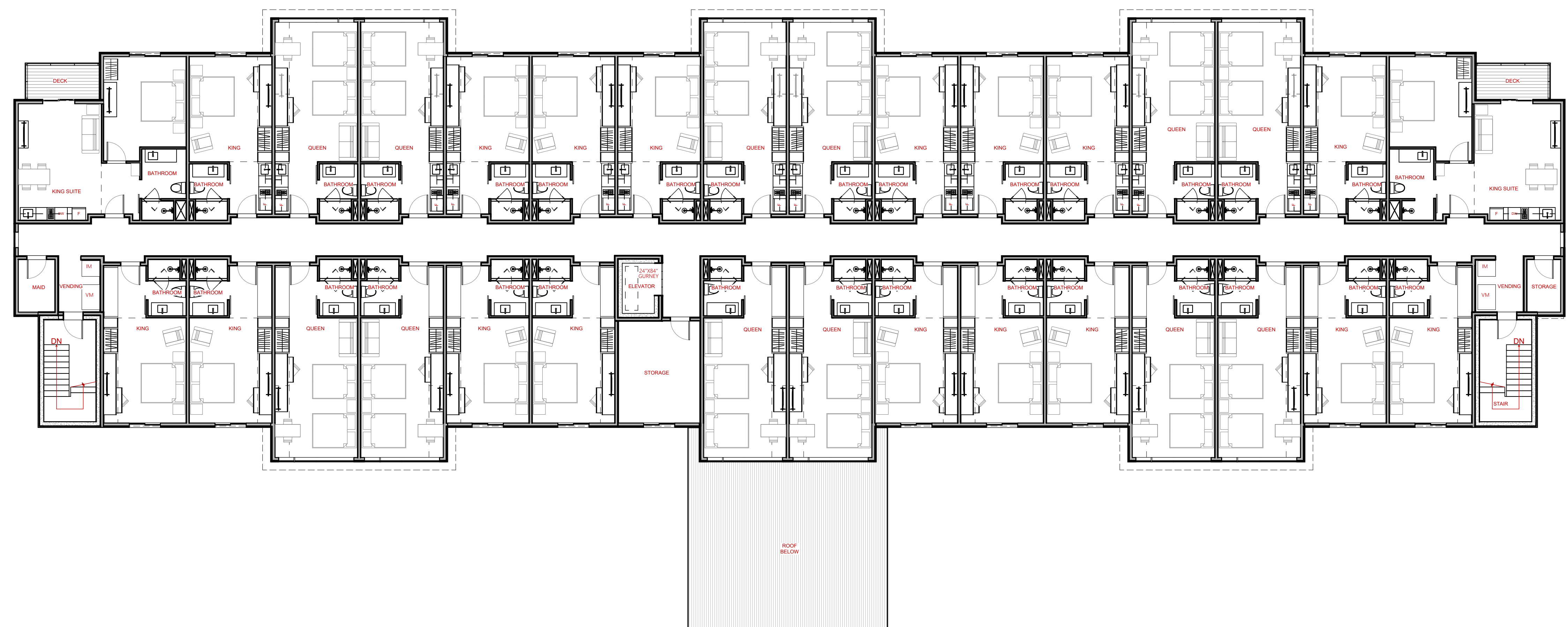
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SCALE: 3/32" = 1'-0"

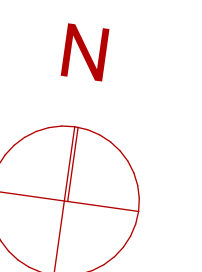


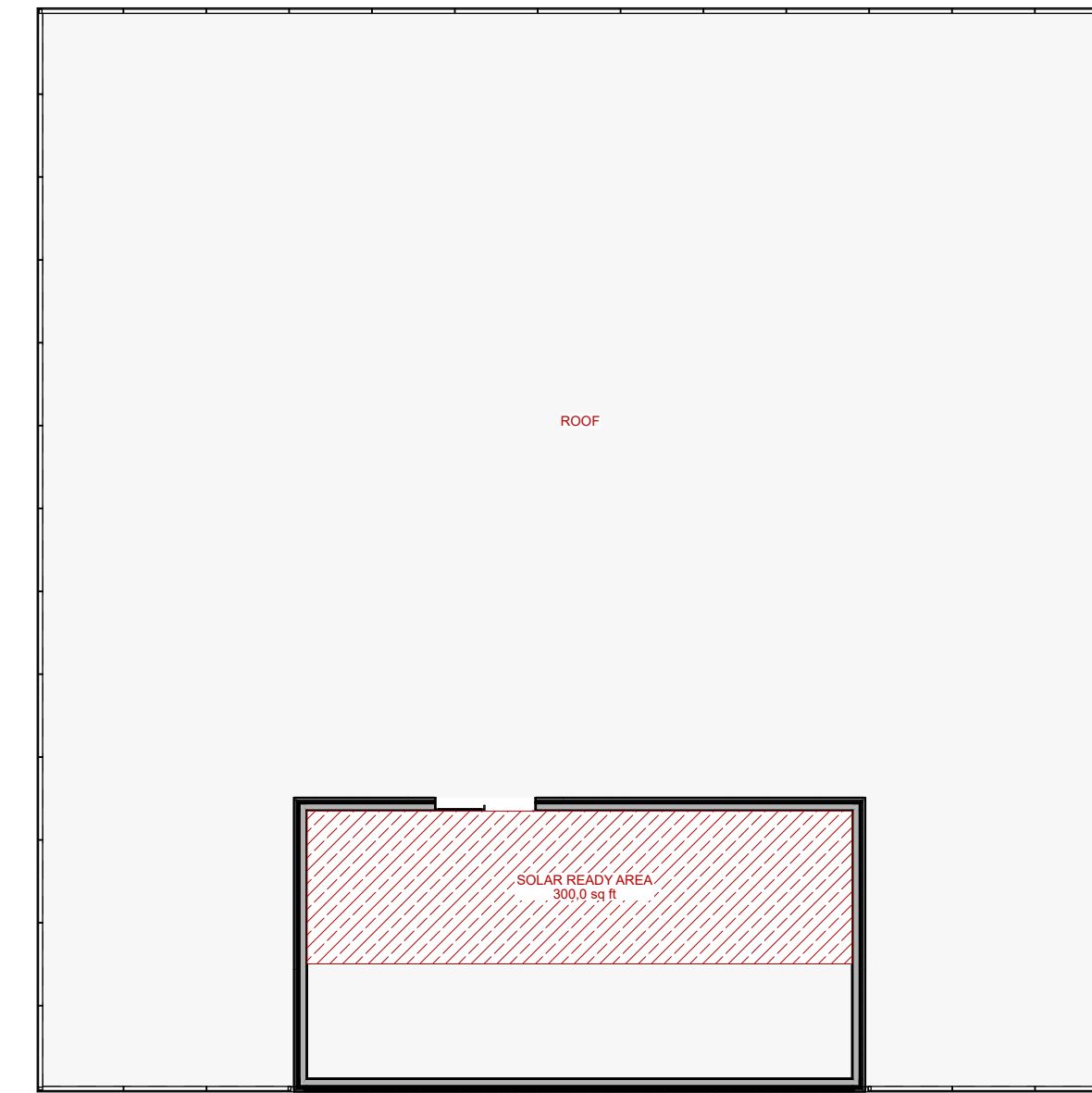


Hotel - Roof Level Reference Plan 2
SCALE: 3/32" = 1'-0"
0 8' 16' 24'

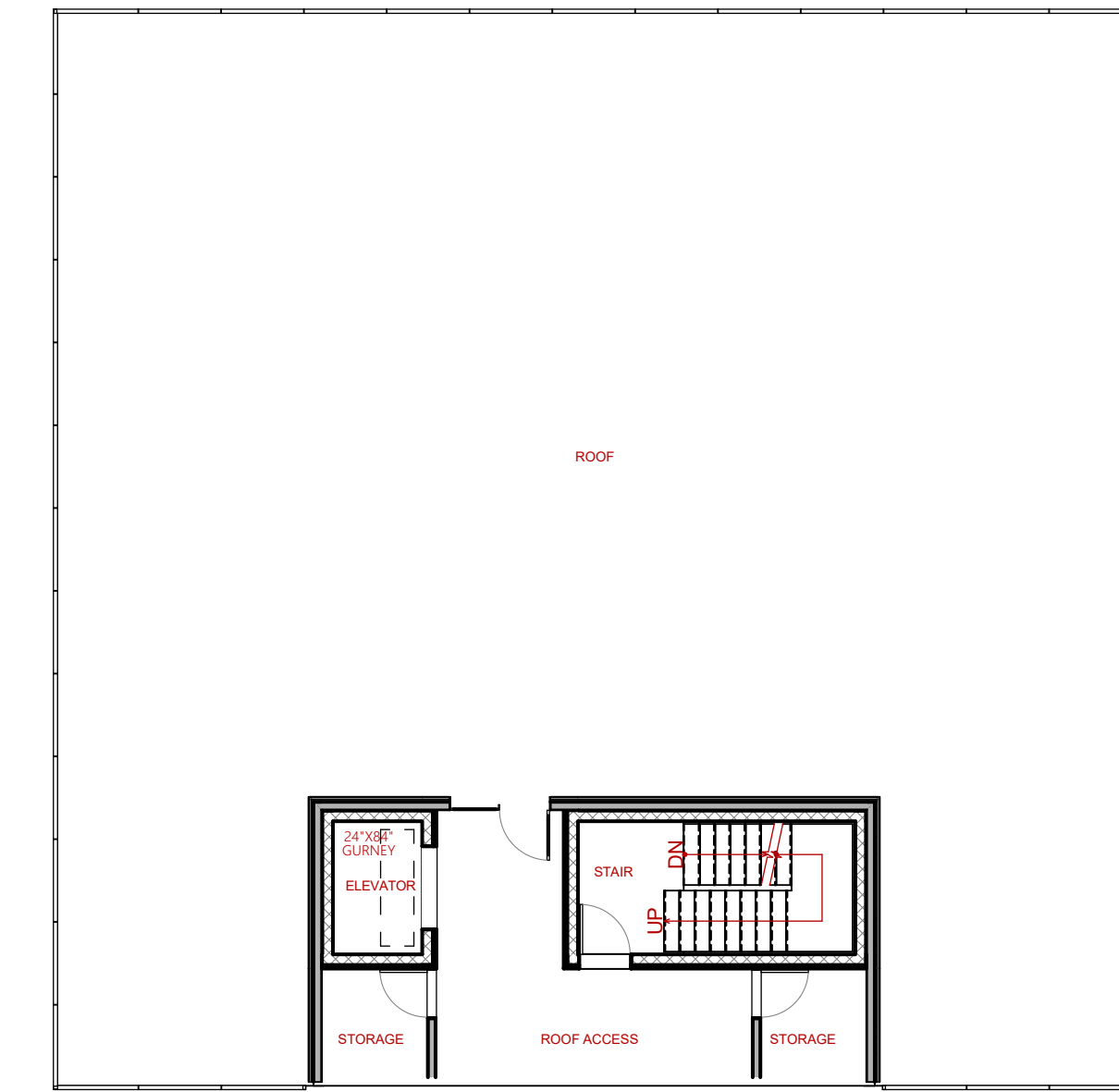


Hotel - Second Level Reference Plan 1
SCALE: 3/32" = 1'-0"
0 8' 16' 24'

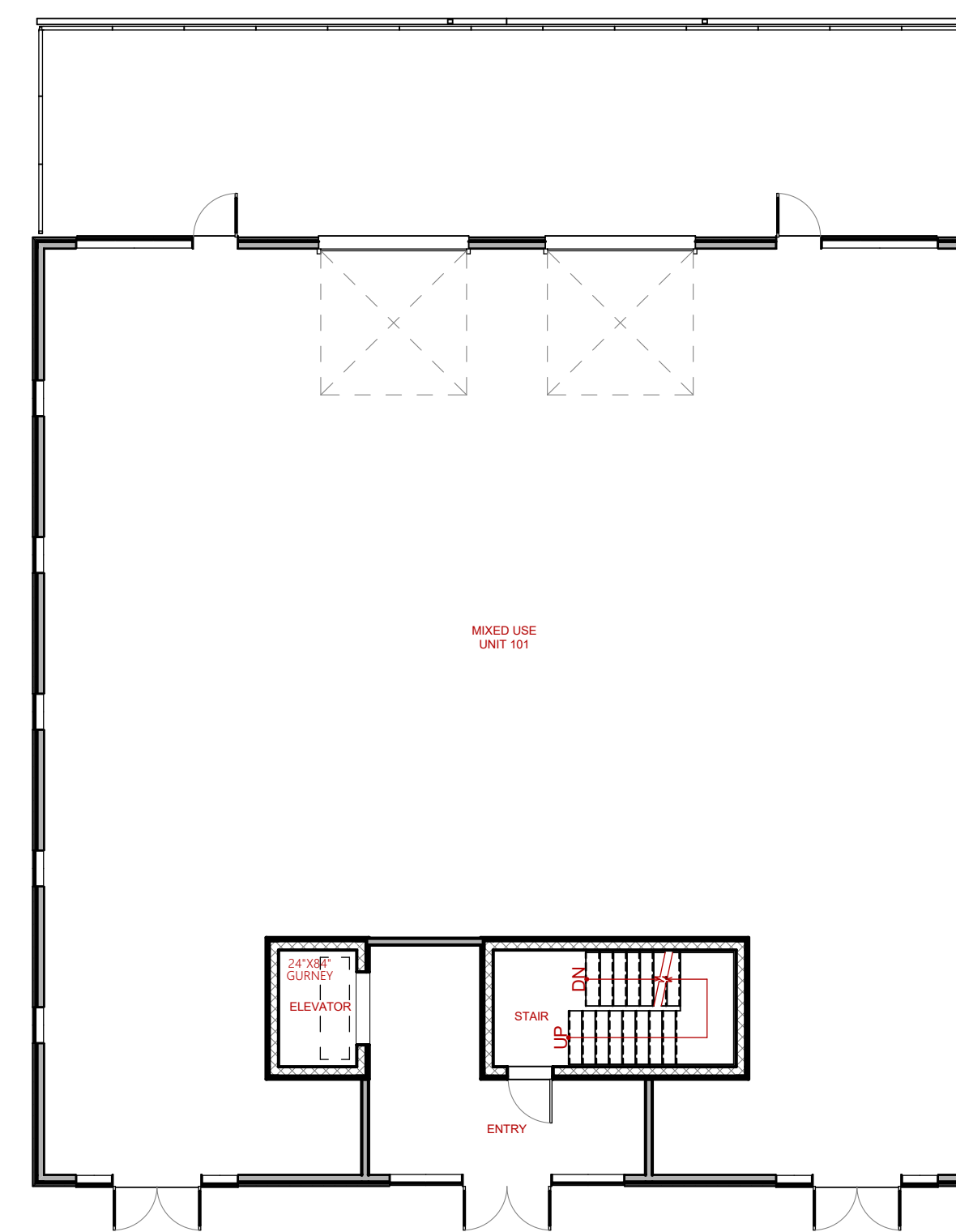




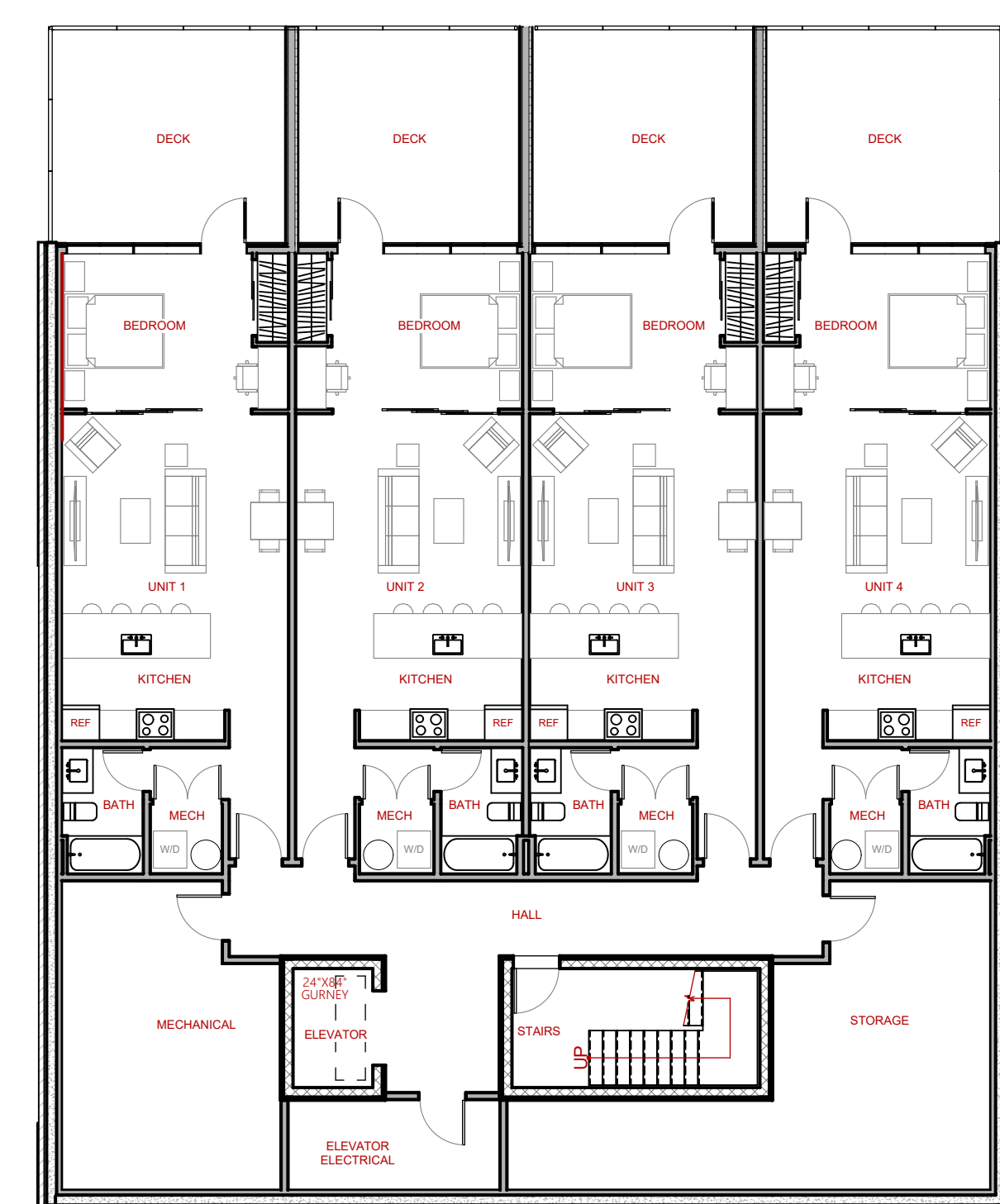
Roof Reference Plan 4
SCALE: 3/32" = 1'-0"



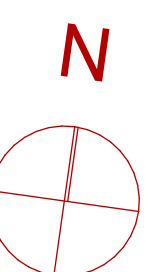
Second Level Reference Plan 3
SCALE: 3/32" = 1'-0"



First Level Reference Plan 2
SCALE: 3/32" = 1'-0"



Lower Level Reference Plan 1
SCALE: 3/32" = 1'-0"



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BUILDING HEIGHT: THE VERTICAL DISTANCE MEASURED FROM THE LOWEST POINT OF THE NATURAL GRADE ON THE LOT WITHIN TWENTY-FIVE (25) FEET OF THE TALLEST SIDE OF THE BUILDING TO THE UPPERMOST POINT OF THE ROOF OF THE BUILDING; PROVIDED, HOWEVER, THAT IF THE LOT UPON WHICH A BUILDING IS TO BE BUILT HAS A SLOPE GREATER THAN FIFTEEN (15) PERCENT, BUILDING HEIGHT SHALL BE DEFINED AS THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE EXISTING GRADE WITHIN THE BUILDING SETBACK ENVELOPE TO THE UPPERMOST POINT OF THE ROOF OF THE BUILDING.

HOTEL LOT:
 $5,552' + 5,552' + 5,580' + 5,581' / 4 = 5,566'-3"$

MIXED USE LOT:
 $5,554' + 5,554' + 5,581' + 5,579' / 4 = 5,567'$

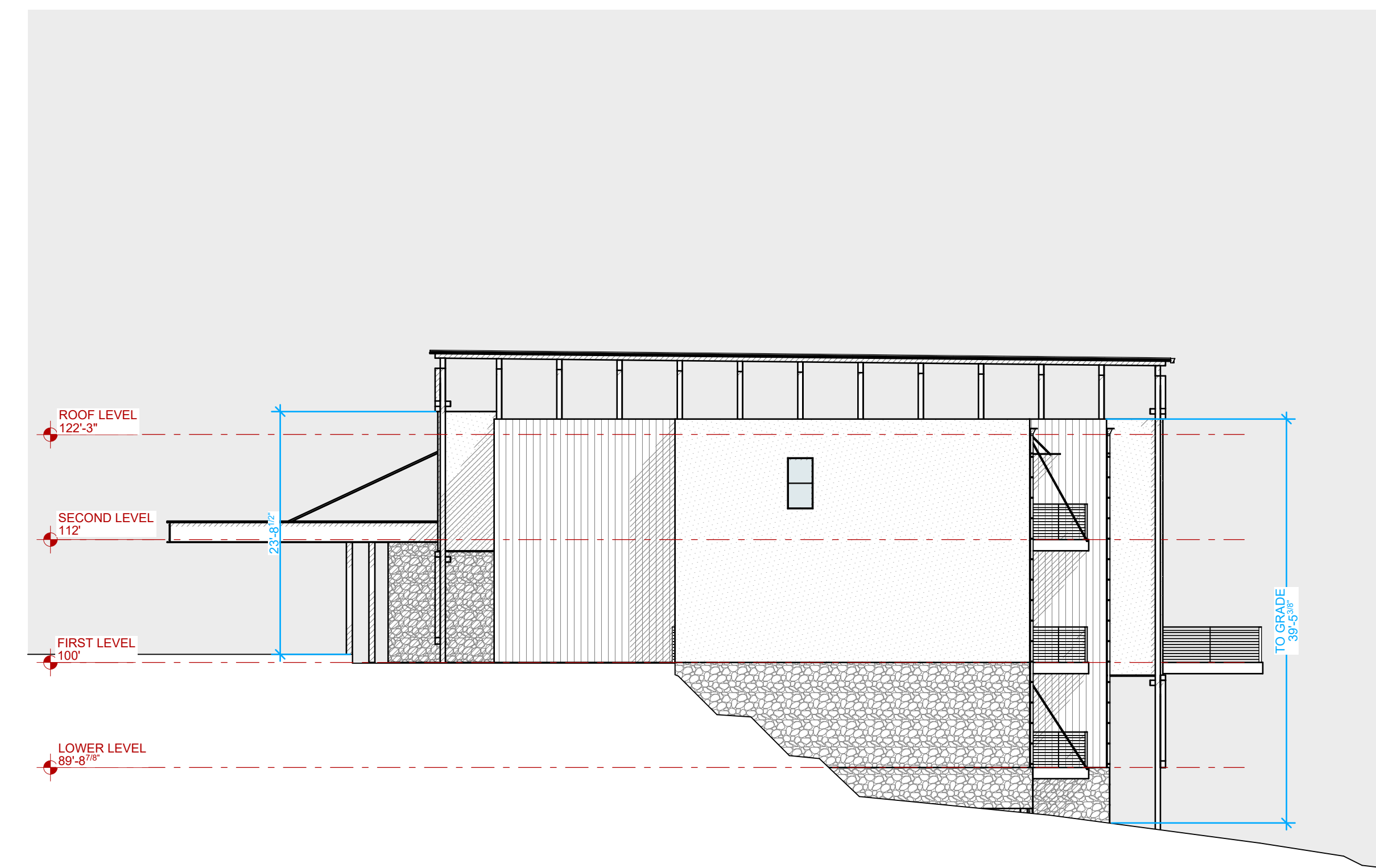
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**Lot 1
 Highway
 PUD**

7051 County Rd
 335 New Castle
 Colorado 81647

- ELEVATION MATERIAL**
- STONE SIDING
 - VERTICAL METAL SIDING
 - STUCCO
 - CORRUGATED METAL SIDING
 - WOOD TIMBERS AND TRIM
 - METAL TBD



East Reference Elevation 2
 SCALE 3/32" = 1'-0"
 0 5 10 20



North Reference Elevation 1
 SCALE 3/32" = 1'-0"
 0 5 10 20

LAND USE SUBMISSION 10/30/2025

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HOTEL - Reference Elevations

A2.01

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MIXED USE LOT:
 $5,554' + 5,554' + 5,581' + 5,579' / 4 = 5,567'$







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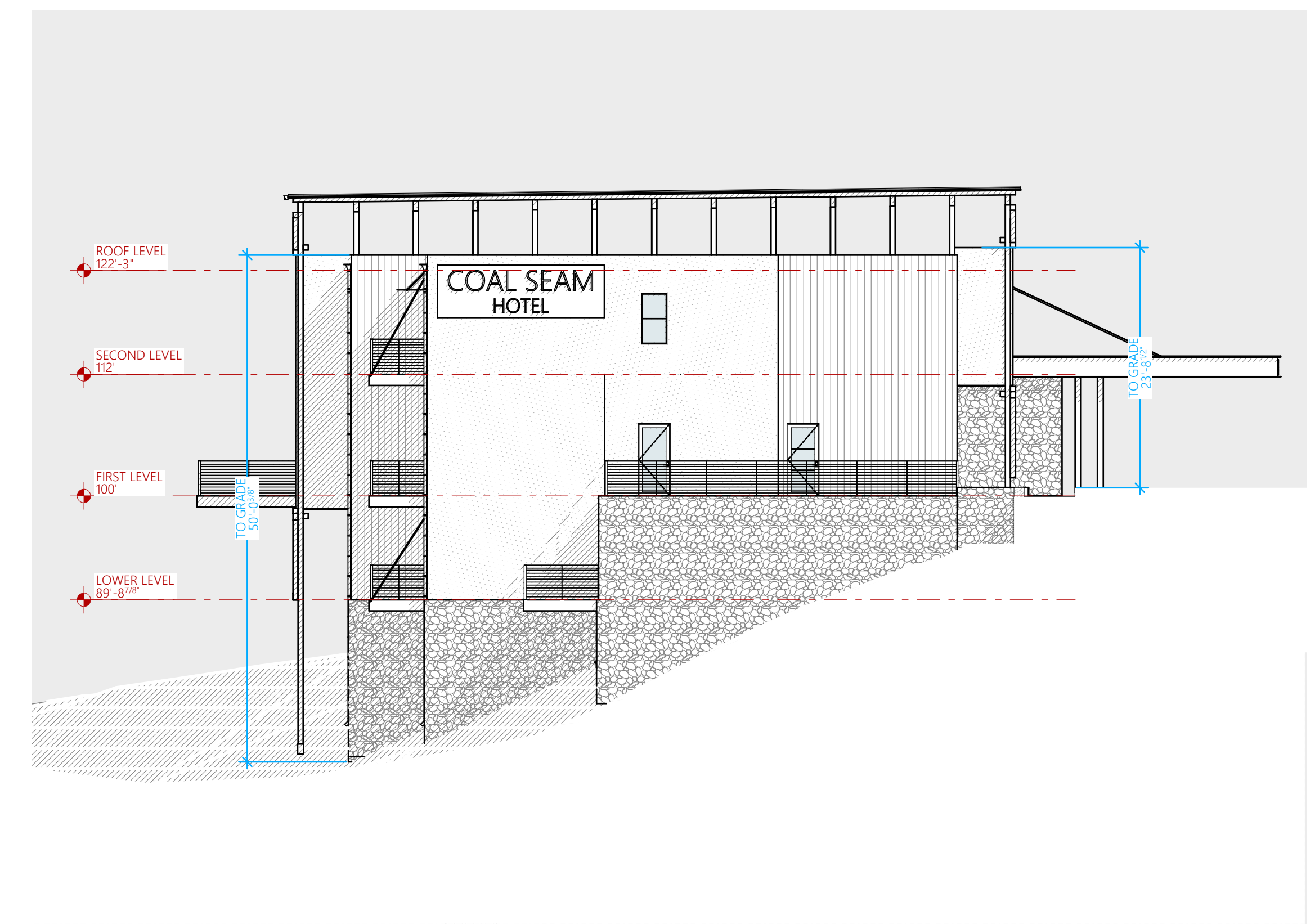
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**Lot 1
 Highway
 PUD**

7051 County Rd
 335 New Castle
 Colorado 81647

**ELEVATION
 MATERIAL**

-  STONE SIDING
-  VERTICAL METAL SIDING
-  STUCCO
-  CORRUGATED METAL SIDING
-  WOOD TIMBERS AND TRIM
-  METAL TBD



West Reference Elevation 2
 SCALE: 3/32" = 1'-0"




South Reference Elevation 1
 SCALE: 3/32" = 1'-0"


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**HOTEL -
 Reference
 Elevations**

A2.02

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MIXED USE LOT:
 $5,554' + 5,554' + 5,581' + 5,579' / 4 = 5,567'$

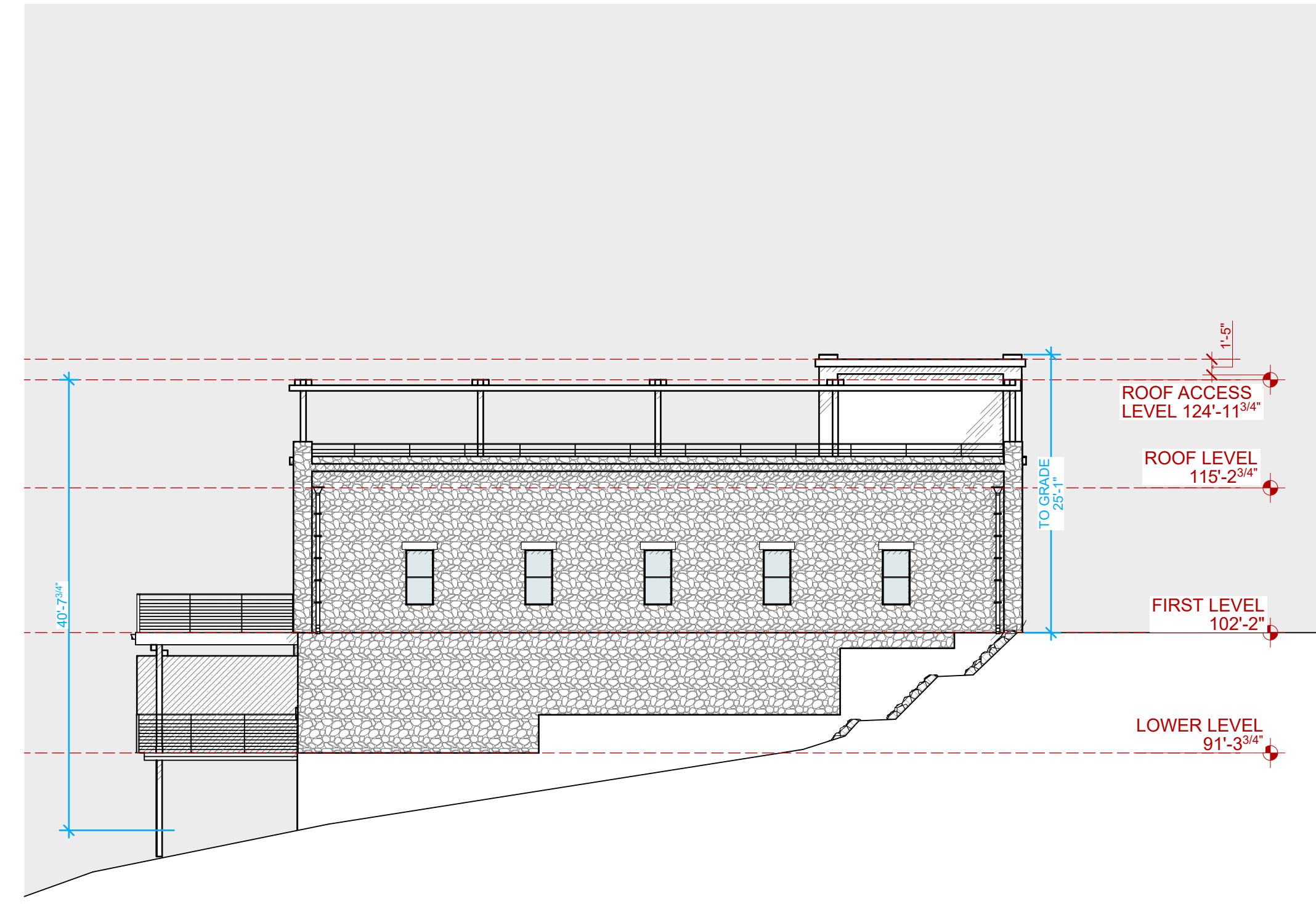
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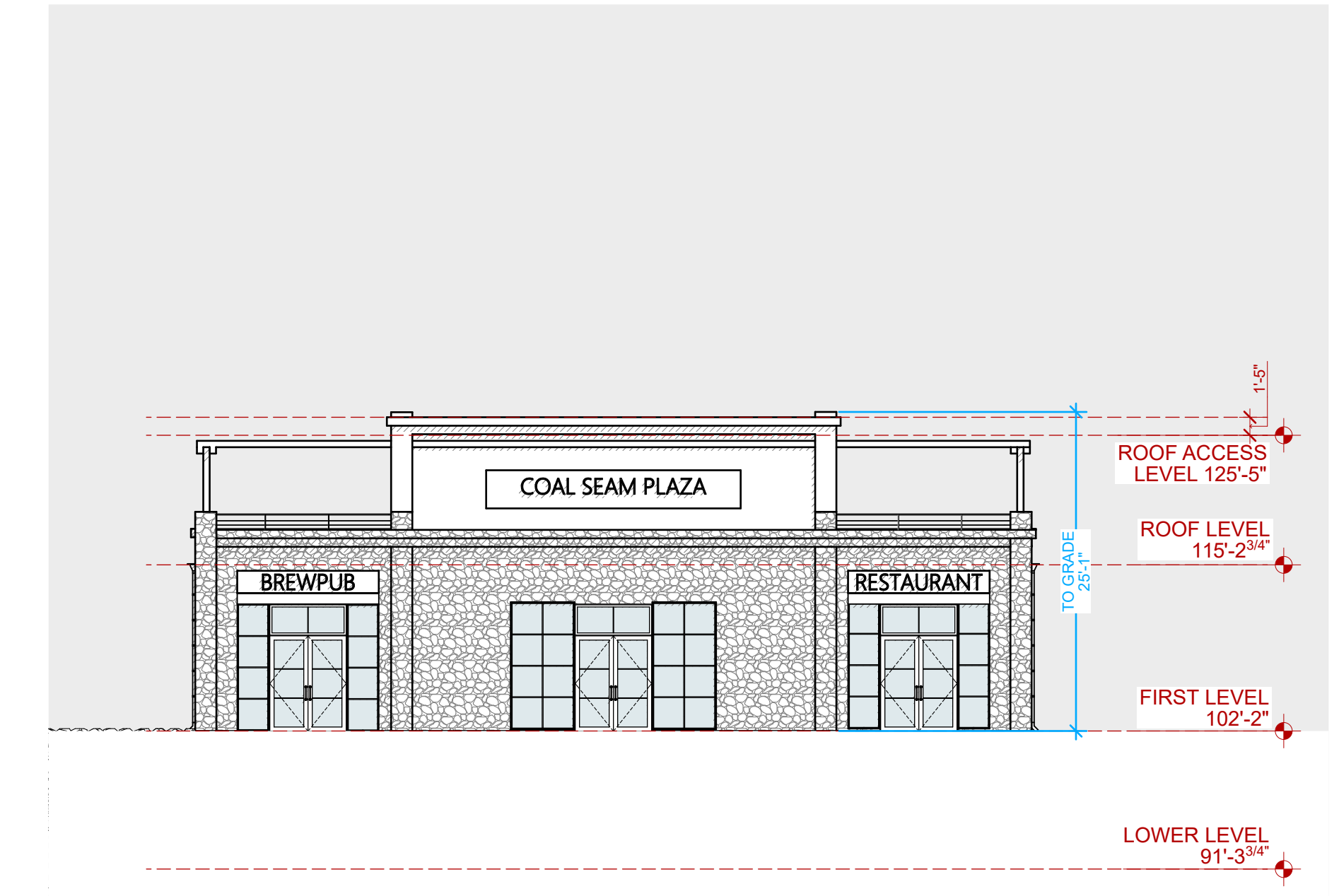
**Lot 1
 Highway
 PUD**

7051 County Rd
 335 New Castle
 Colorado 81647

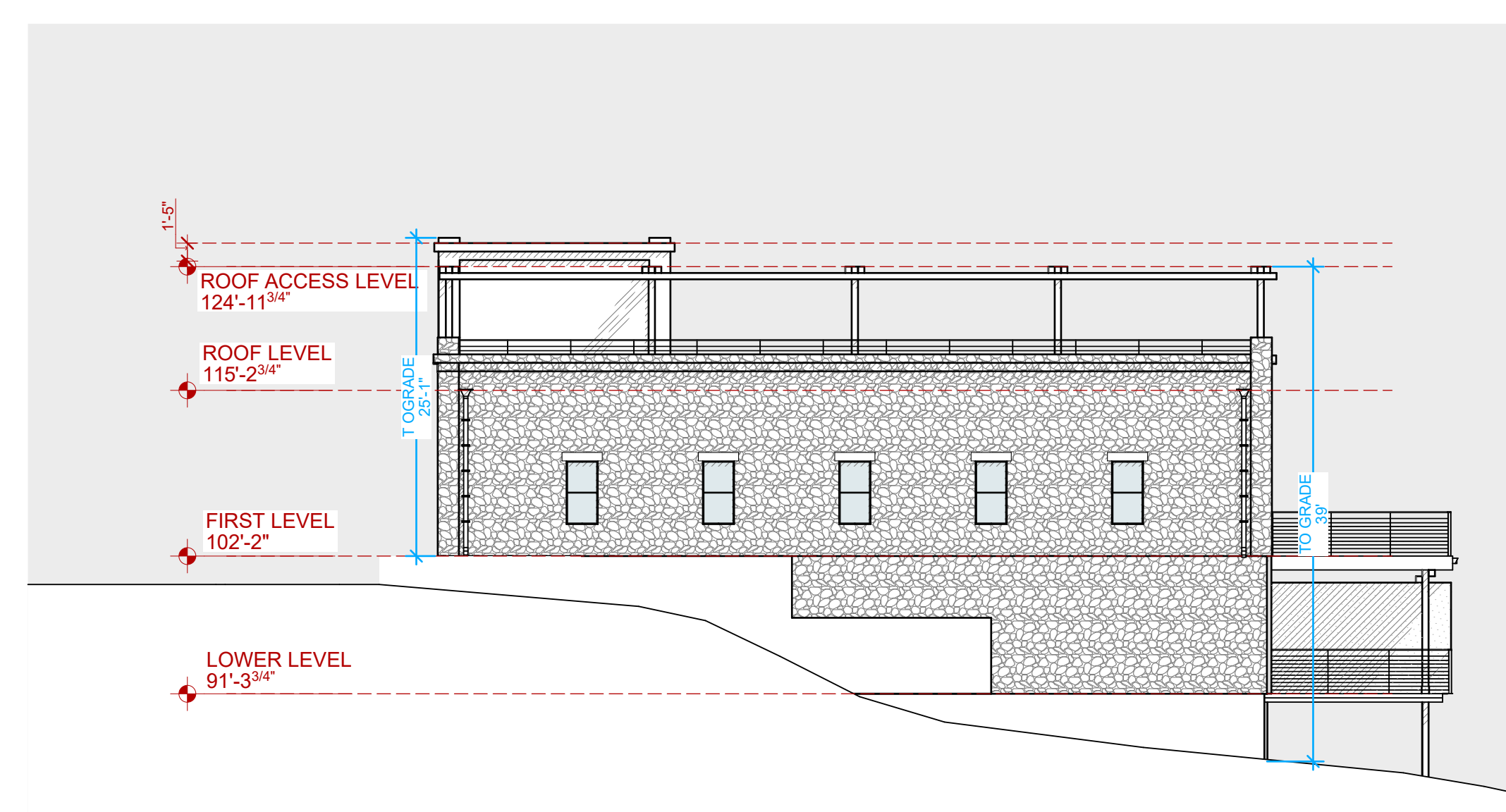
- ELEVATION MATERIAL**
-  STONE SIDING
 -  VERTICAL METAL SIDING
 -  STUCCO
 -  CORRUGATED METAL SIDING
 -  WOOD TIMBERS AND TRIM
 -  METAL TBD



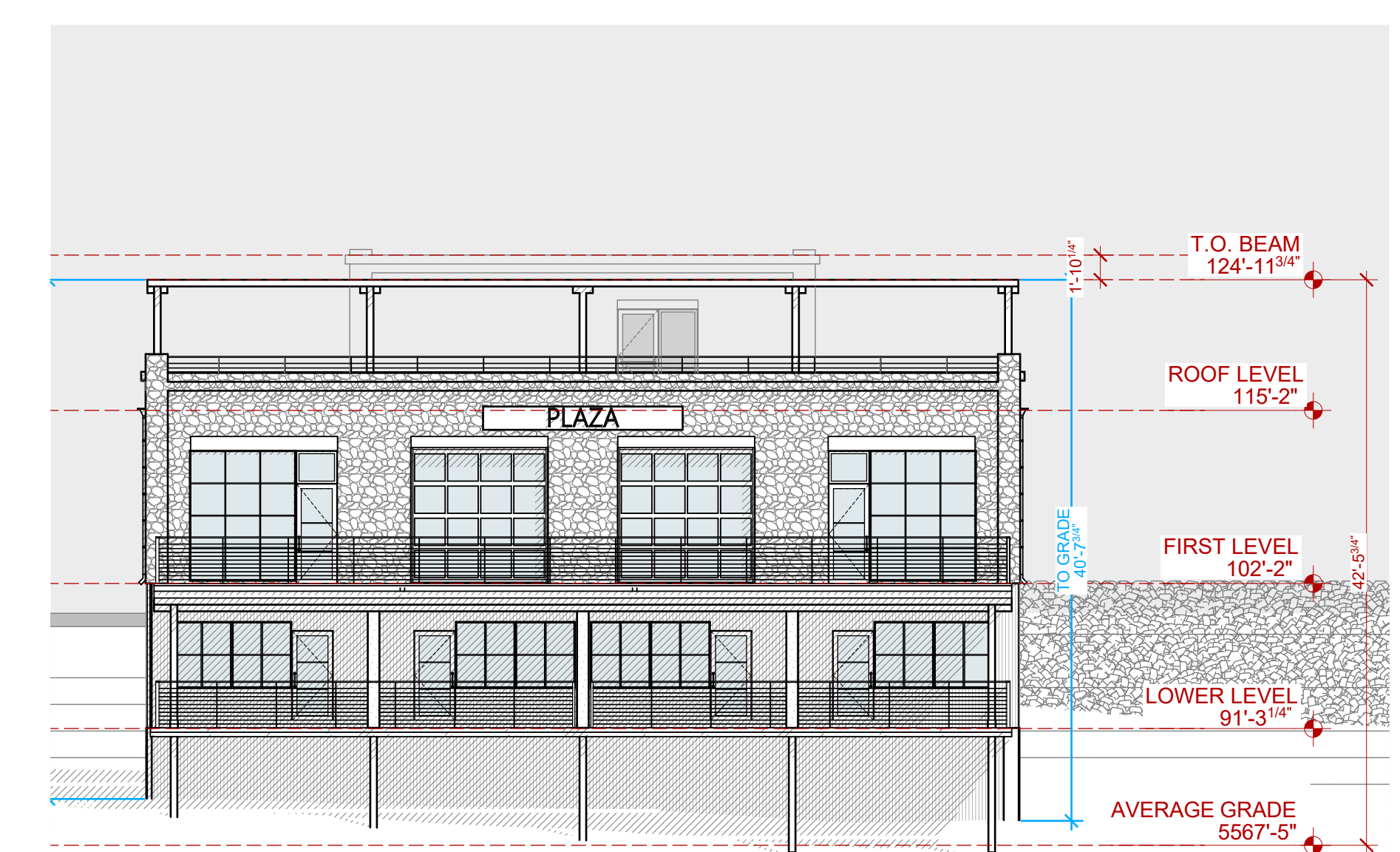
West Reference Elevation 4



South Reference Elevation 3



East Reference Elevation 2



North Reference Elevation 1

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MIXED USE - Reference Elevations

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CONCEPTUAL WALL SIGN (17.18.110 NEW CASTLE MUNICIPAL CODE):

A WALL SIGN IS ANY SIGN PAINTED ON, INCORPORATED IN OR AFFIXED TO THE BUILDING WALL, OR ANY SIGN CONSISTING OF CUT-OUT LETTERS OR DEVICES AFFIXED TO THE BUILDING WALL WITH NO BACKGROUND DEFINED ON THE BUILDING WALL. NO PART OF A WALL SIGN SHALL BE LOCATED MORE THAN 25' ABOVE GRADE LEVEL NOR SHALL IT EXTEND ABOVE THE BUILDING EAVE. WALL SIGNS SHALL IDENTIFY THE INDIVIDUAL BUSINESS, BUILDING OR BUILDING COMPLEX BY NAME OR TRADEMARK ONLY THE SUM OF ALL WALL SIGNS ON A GIVEN WALL SHALL NOT EXCEED 5% OF THE WALL AREA

CONCEPTUAL PROJECTING SIGN (17.18.110 NEW CASTLE MUNICIPAL CODE):

A PROJECTING SIGN IS ANY SIGN SUPPORTED BY A BUILDING WALL AND PROJECTING THEREFROM AT LEAST 12" OR MORE HORIZONTALLY BEYOND THE SURFACE OF THE BUILDING TO WHICH THE SIGN IS ATTACHED, BUT SHALL NOT EXTEND MORE THAN 4' FROM THE BUILDING FACE. PROJECTING SIGNS SHALL BE PLACED ONLY ON A GROUND FLOOR FACADE, EXCEPT FOR BUSINESSES LOCATED ABOVE THE GROUND LEVEL WITH DIRECT EXTERIOR PEDESTRIAN ACCESS. PROJECTING SIGNS SHALL NOT BE HIGHER THAN THE HEIGHT OF THE BOTTOM OF ANY SECOND STORY WINDOW. PROJECTING SIGNS MUST HAVE 8" CLEARANCE AND MAY NOT EXTEND MORE THAN 4' FROM THE BUILDING WALL EXCEPT WHERE THE SIGN IS AN INTEGRAL PART OF AN APPROVED CANOPY OR AWNING. THE SIZE OF PROJECTING SIGNS IS LIMITED TO 3' WIDE AND 6' SQ.FT.

SIGNAGE SQUARE FOOTAGE CALCULATIONS			
HOTEL			
NORTH ELEVATION	11,400.9	0	0.00%
EAST ELEVATION	2,232.0	0	0.00%
SOUTH ELEVATION	5,953.8	64	1.07%
WEST ELEVATION	2,697.1	85	3.16%
TOTAL PERCENTAGE			4.23%

RED

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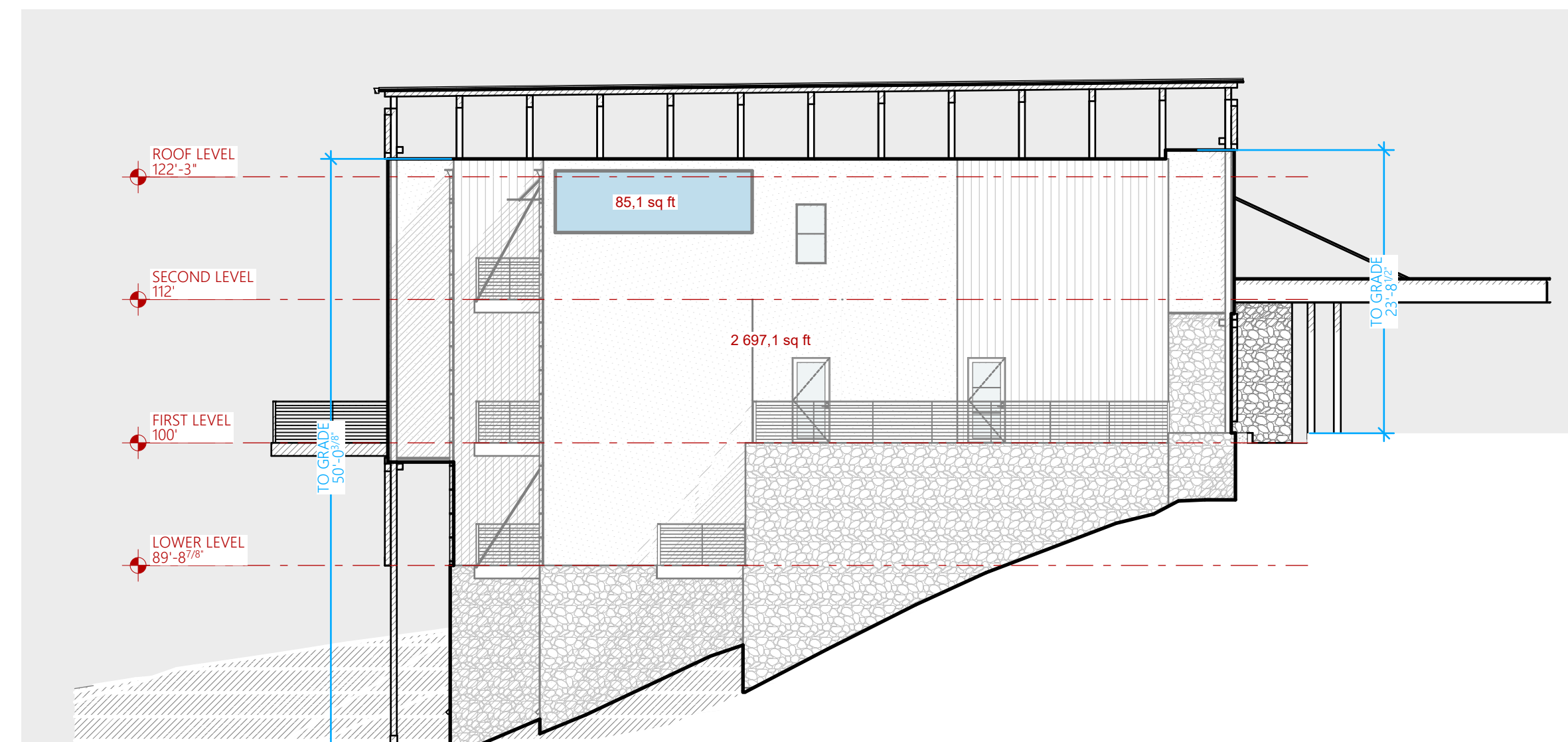
2025

**Lot 1
Highway
PUD**

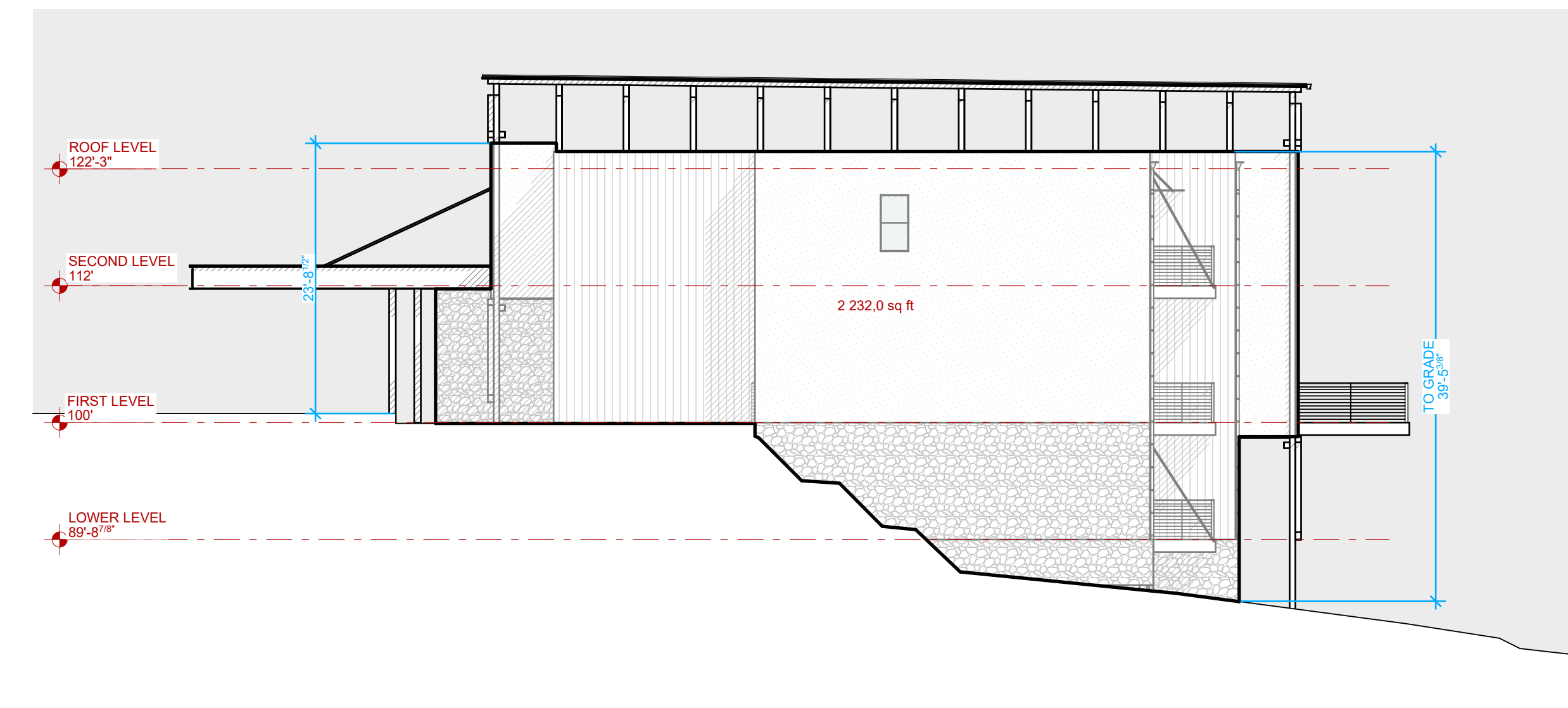
7051 County Rd
335 New Castle
Colorado 81647



South Elevation Signage 1



West Elevation Signage 3



East Elevation Signage 2



North Elevation Signage 1

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HOTEL SIGNAGE

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SIGNAGE SQUARE FOOTAGE CALCULATIONS			
MIXED USE			
NORTH ELEVATION	2,233.1	26.3	1.18%
EAST ELEVATION	1,361.5	0.0	0.00%
SOUTH ELEVATION	1,349.1	60.0	4.45%
WEST ELEVATION	1,496.8	0.0	0.00%
TOTAL PERCENTAGE			5.63%

RED

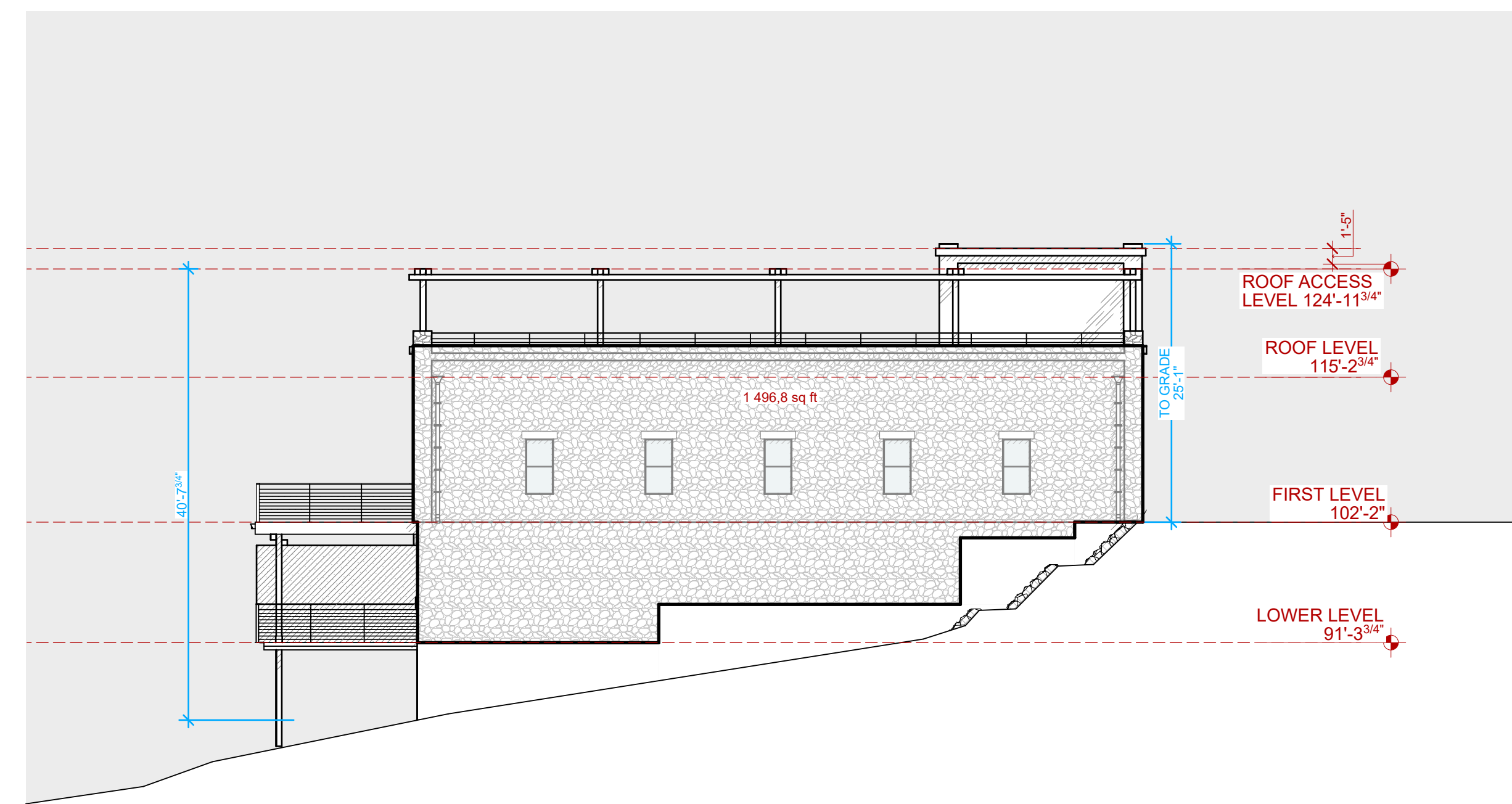
1001 Grand Ave, Suite 103
Glenwood Springs CO 81601

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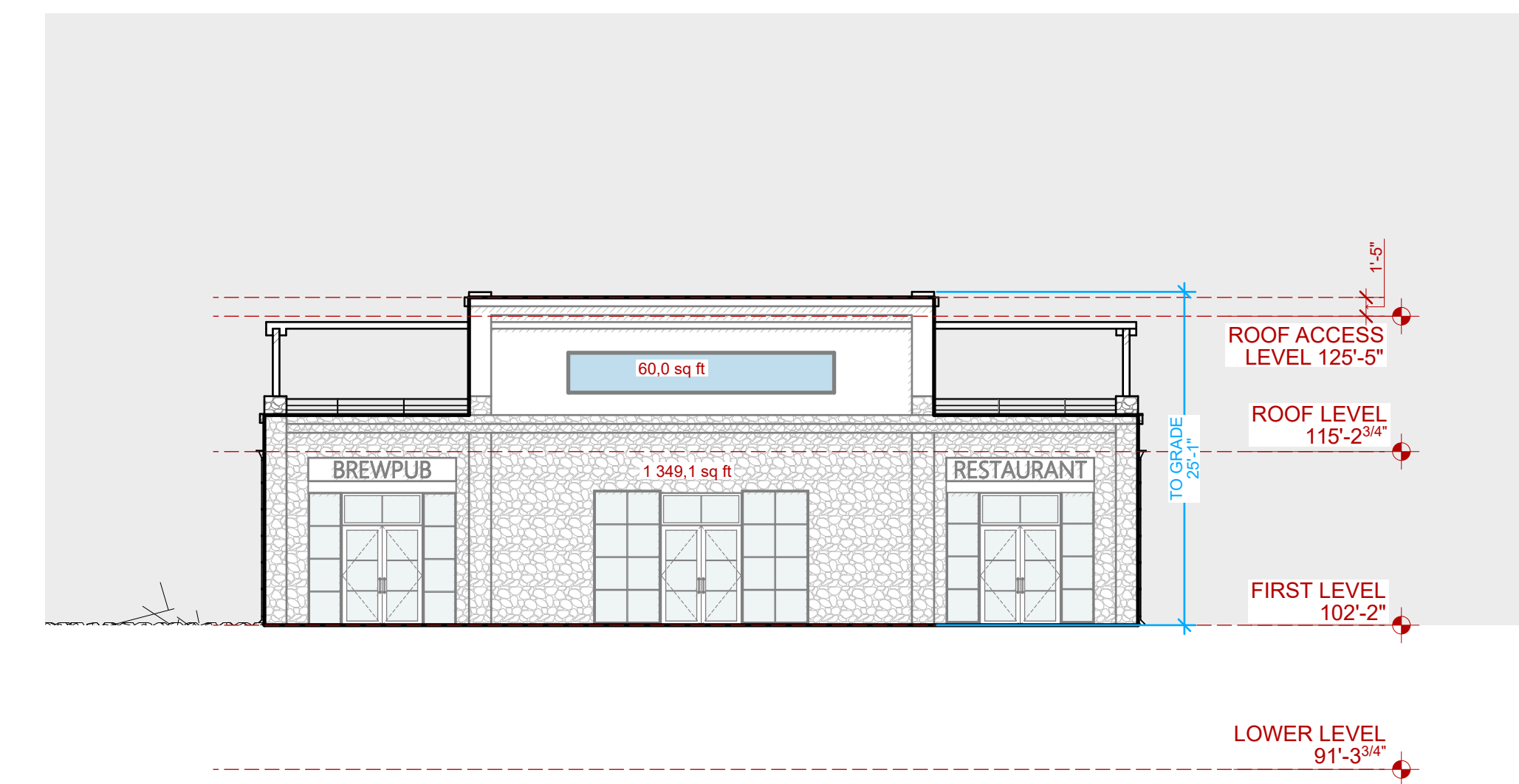
2025

**Lot 1
Highway
PUD**

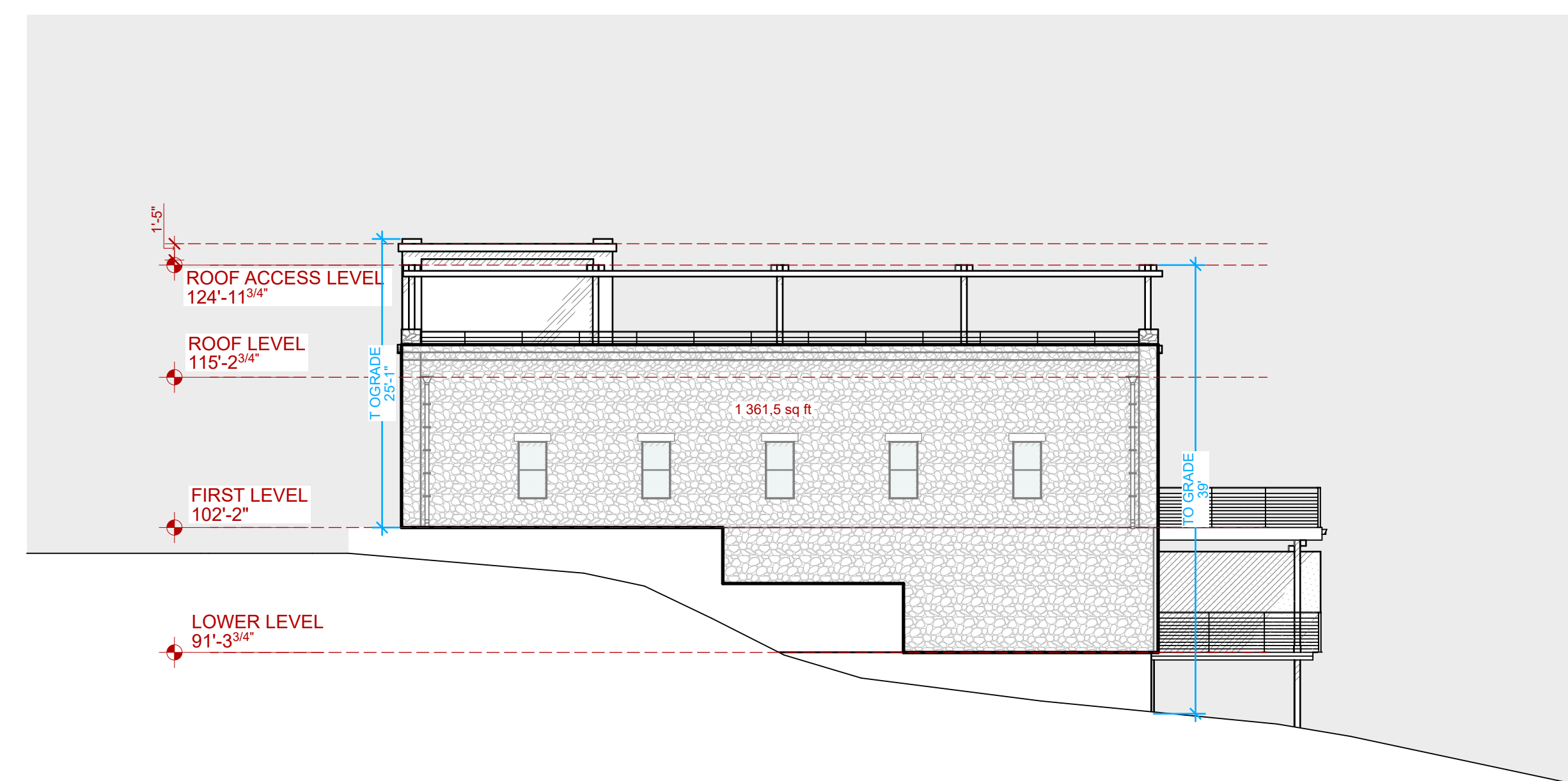
7051 County Rd
335 New Castle
Colorado 81647



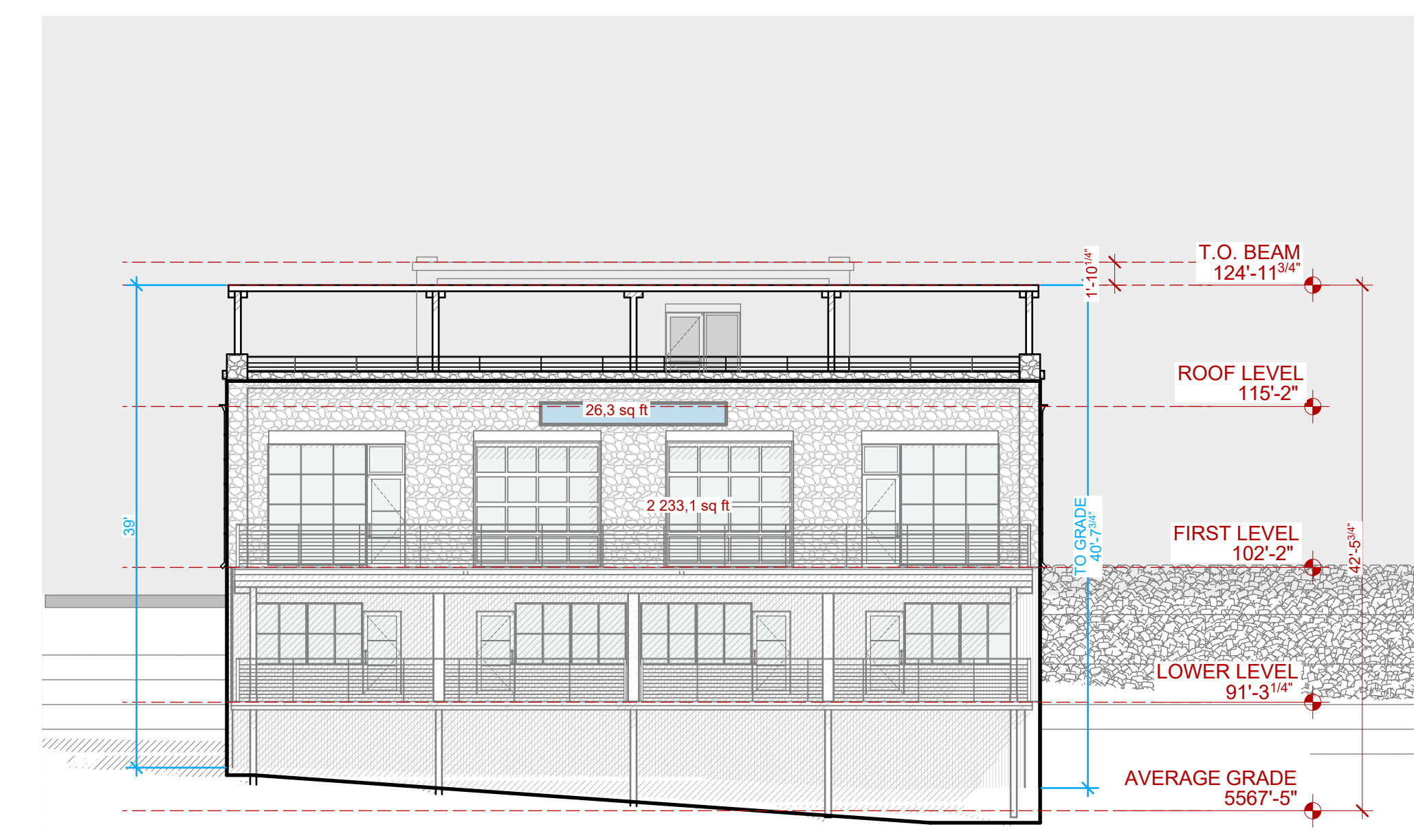
West Elevation Signage 4
SCALE 3/32" = 1'-0"



South Elevation Signage 3
SCALE 3/32" = 1'-0"



East Elevation Signage 2
SCALE 3/32" = 1'-0"



North Elevation Signage 1
SCALE 3/32" = 1'-0"

LAND USE SUBMISSION 10/30/2025

NOT FOR CONSTRUCTION

MIXED USE SIGNAGE



Planning Department
 (970) 984-2311
 Email:
 psmith@newcastlecolorado.org

Town of New Castle
 PO Box 90
 450 W. Main Street
 New Castle, CO 81647


LAND DEVELOPMENT APPLICATION

Note: All land use applications must be filed with the Town Clerk. Please consult the Town Planner for codes specific to the Land Development Application. All application materials are subject to the Colorado Open Records Act (CORA), C.R.S. §24-72-201 to 207.

Applicant: Coal Seam, LLC	
Address: 1101 Village Road #LL-1B Carbondale, Colorado 81623	Phone: (970) 505-0653 970-618-3555 E-mail: caetfox@gmail.com abdi@aspenbuilt.net
Property Owner: Coal Seam, LLC	
Address: 1101 Village Road #LL-1B Carbondale, Colorado 81623	Phone: (970) 505-0653 970-618-3555 E-mail: caetfox@gmail.com abdi@aspenbuilt.net
Contact Person: Caetlin Fox	
Address: 243 Mallow Court, New Castle CO 81647	Phone: (970) 505-0653 970-618-3555 E-mail: caetfox@gmail.com abdi@aspenbuilt.net
Property Location/Address: Lot 1, Highway Business PUD Riverside Park Subdivision	
Legal Description: RE: Exhibit A - Legal Description	Acres: 5.84
Existing Zone (e.g., Residential R-1, Commercial C-1): H-B/PUD	Existing Land Use: Vacant

TYPE(S) OF LAND USE(S) REQUESTED

- | | |
|---|---|
| <input type="checkbox"/> Pre-Annexation Agreement | <input checked="" type="checkbox"/> Conditional Use Permit or Special Review Use Permit |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Lot Line Adjustment or Dissolution |
| <input checked="" type="checkbox"/> Subdivision (including Minor and Major Subdivisions, Lot Splits, Sketch Plans, Subdivision Preliminary Plans, Subdivision Final Plans, & Condominiumizations) | <input checked="" type="checkbox"/> Site Specific Development Plan/Vested Rights |
| <input checked="" type="checkbox"/> Amended Plat | <input checked="" type="checkbox"/> Variance |
| <input checked="" type="checkbox"/> Planned Unit Development (including PUD Sketch Plans, Preliminary PUD Development Plans, PUD Master Plans and Final PUD Development Plans) | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Master Plan Amendment | <input type="checkbox"/> Zoning Amendment |
| | <input type="checkbox"/> Re-zoning |
| | <input type="checkbox"/> Watershed Permit |

 Applicant Signature	6/14/2024 Date
---	--------------------------



AGREEMENT TO PAY CONSULTING AND ADMINISTRATIVE COSTS

Pursuant to municipal code section 16.08.070, for any land use application, the applicant shall pay all costs incurred by the town for the preparation of plats, plans, other required data and documents, recording fees, publication costs, legal and engineering review and advice, planning review and advice, inspections and all other out-of-pocket costs incurred by the town in connection with the land use application. In the case of withdrawal or denial of a land use application, the applicant shall be responsible for all costs actually incurred by the town in connection with such application regardless of the state of the review process at which the application is withdrawn or denied.

To secure payment of costs incurred by the town, the owner of the land proposed for development (and the applicant, if different) shall be required to sign the following agreement:

By signing below, the applicant and property owner hereby agree to reimburse the Town the actual costs to the Town for engineering, planning, surveying, legal services, and all other costs incurred by the Town in connection with the review and approval of the land use application. I also agree to reimburse the Town for the cost of making any correction or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. I agree that interest shall be imposed at the rate of 1.5% per month on all balances not paid within thirty (30) days of a statement. In the event the Town pursues collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs. In addition to all other remedies allowable by law, I agree that in the event any amounts remain due and unpaid for sixty (60) days the Town shall have the power and authority to certify such amounts, plus a ten percent penalty, to Garfield County to be imposed as a tax lien against the real property subject to the development application.

SO AGREED this 14 day of June, 2024 .

Coal Seam, LLC

Applicant (Print Name)

Signature of Applicant

970-505-0653 970-618-3555

1101 Village RD Carbondale, CO 81623

Telephone Number

Mailing Address of Applicant

caetfox@gmail.com abdi@aspenbuilt.net

Email

Email Address of Applicant

Coal Seam, LLC

Property Owner

Signature of Property Owner

Owner is Applicant

1101 Village RD Carbondale, CO 81623

Relationship of Owner to Applicant

Owner Mailing Address

Type of application: Land Development

Property description: RE: Exhibit A - Legal Description

COAL SEAM

7051 335 County Road, New Castle, Colorado 81647
Hotel, Mixed Use Development



PROJECT DIRECTORY

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II. INTRODUCTION

Coal Seam, LLC. is proposing to develop a 71-room hotel and a mixed use commercial building consistent with all the allowed and conditional uses listed in Chapter 17.60.303 and 17.60.040 of the New Castle Municipal Code, and Section V of this document, in addition to 4 rental apartments reserved primarily for internal employees, electric vehicle charging stations, and outdoor amenities located at 7051 County Rd 335, in New Castle, Colorado. This land is located directly adjacent to the New Castle interchange off of Interstate 70.

Coal Seam, LLC is in discussion to team with Best Western for franchising of the project. As such the design and construction oversight, marketing and management operational systems will be in line with their proven practice. Best Western offers a Signature series of hotels that allows the developer more flexibility in the design of the structure. This is important as the building needs to “fit” New Castle. This architectural approach is explained in detail in this application.

A unique feature of this development is that the managing members of Coal Seam, LLC, Abdi Pirzadeh, Tom Stevens and Caetlin Fox all have decades of experience in design, construction and development and are local. We believe this brings a better perspective to the project and provides better insight as to the “fit” of this project to the community. In fact, the entire team is local with the architects living in New Castle.

III. PROJECT DESCRIPTION – EXISTING CONDITIONS

The proposed development is located at 7051 County Road 335, New Castle, Colorado, on Lot 1 of the Riverside Park Planned Unit Development. It is 5.84 acres and zoned Highway Business/Planned Unit Development.

Previously the land was developed with a gasoline station which has now been demolished and cleaned. A Phase One Environmental report confirms this. There are slight remnants of the previous use, a sign at the property edge, a small concrete pad where the building sat, but beyond that, no evidence of the past use can be found.

Access to the parcel is via County Road 335 which borders the entire southern property line of the site.

Vegetation on the parcel is predominantly grasses and Gamble Oak. A few Serviceberry trees exist.

Preliminary soil investigations have been conducted showing suitable soils for construction.

No drainage channels or ditches exist on the parcel. Instead, the land slopes gently to the north to a break- point, then slopes steeply north to the Colorado river.

All utilities are present at the property edge, along County Road 335 and sanitary sewer was considered within the design of the River Park Sanitary sewer system, allowing a tie in to this system.

The northern portion of the property is the Colorado River. The property line actually extends into the river to the estimated historic centerline. The floodplain has been identified and shown in Exhibit N - Architectural Site Plan contained within this application. Due to the topography of the site, the 100 year floodplain has little impact on the developable area.

The river does serve as the primary amenity of this site. Grand River Park, just to the east has improved their land along the river for residents. There is an existing, natural “beach” area at the eastern portion of the river frontage. Rafters, float boats and fishermen use this section of river regularly.

IV. PROJECT DESCRIPTION – PROPOSED DEVELOPMENT

As stated above, this land use application seeks the following approvals:

Preliminary and Final Planned Unit Development

The 5.84 acre parcel of land is zoned Highway Business/ Planned Unit Development. The development program calls for the following:

- 71 room hotel with meeting rooms, limited food service, gym and swimming pool, restaurant with outdoor deck and patio space overlooking the river,
- 1 mixed use commercial building with basement storage
- 4 employee housing spaces below commercial office
- Associated parking and circulation
- Service and refuse locations,
- Outdoor amenities including “hitching posts” for river craft, and extension of the pedestrian path along the river and charging stations for electric vehicles.

The completed floor area will be approximately 58,525.5 gross square feet. The completed building footprint will be approximately 20,400 square feet while the site allows for a 73,307.5 square foot building footprint on Lot 1A, and 23,344 square foot building footprint on Lot 1B.

A part of the development program calls for 4 residential units to be located below (garden level) the commercial space. This will be rental inventory and available as a first priority to employees of this development, second priority to employees working within New Castle and then any unrented units will be available to employees in general.

V. SPECIFIC PROJECT PARAMETERS

Architecture One of the most important aspects of a project this size is that it “fit” the surrounding area, the town and community. By choosing Best Western Signature hotels as a franchise, the architecture has been able to be designed to compliment the character and history of New Castle. Selecting designers that live in New Castle, Steven May and Caetlin Fox, was no coincidence. They have a first hand knowledge of the New Castle architectural vernacular and have been instrumental in creating a program that best fits the community.

Named after the Coal Seam fire, this development blends mining architecture with modern amenities. From the massing of the buildings to the materials used, every effort has been made to make this development compliment the community.

Massing is a key element. Viewed from County Road 335, and the entry to the project, the structures are two stories. Varying roof heights and roof elements give the structure a more interesting appearance. Also, all mechanical and storage has been placed on the lower level in the space buried in the hillside, minimizing the overall massing.

The square footage of the proposed development and allowed square footage are listed below.

**TABLE 1
LOT SIZE, ALLOWABLE SQUARE FOOTAGE, PROPOSED SQUARE FOOTAGE**

LOT AREA PER SURVEY

254,499 s.f.

MAXIMUM ALLOWABLE COVERAGE

50% or **75,877 s.f. (254,499 x 50% = 127,249.5 sf)**

BUILDING SQUARE FOOTAGE (ESTIMATED)

Hotel	46,680 s.f.
Mixed Use	9,044 s.f.
TOTAL BUILT AREA	58,525.5 Gross SF

**TABLE 2
PROPOSED PLANNED UNIT DEVELOPMENT**

Description The subject parcel of land, Lot 1, is currently part of the River Park PUD and carries an underlying zone of Highway Business. As part of this land use application the Applicant is seeking Planned Unit Development approval specific to Lot 1 and the anticipated development of a hotel, restaurant, limited office/commercial space and limited residential space. To accomplish this development program this table describes the parameters of the development.

Proposed Uses

A. Any of the uses set out in subsections (B) through (E) are permitted outright provided the following requirements are complied with:

1. All fabrication, sales, service, and repair operations are conducted within a building;
2. No outdoor storage of materials shall be permitted.
3. Loading and unloading of materials shall be conducted on site of the establishment or in an approved loading zone.

B. Retail establishments for the trade and sales of the following goods and materials:

1. Antiques
2. Appliances
3. Art and art supplies
4. Automotive parts, new
5. Bakery and doughnut shop
6. Beverages
7. Books, magazines, newspapers
8. Cafe, coffee shop
9. Clothing
10. Dry goods
11. Feed and pet supplies
12. Farm and ranch supplies
13. Food
14. Furniture
15. Garden supply and plants
16. Groceries
17. Hardware, general and specialty
18. Jewelry
19. Office materials and supply
20. Fly fishing retail and guide shop
21. Bike shop

C. Personal service establishment, including:

1. Art gallery
2. Bank
3. Barber, beauty shop
4. Indoor recreation
5. Insurance agency
6. Medical/health clinic limited to human outpatient services with floor area of no more than two thousand (2,000) square feet
7. Clinics/urgent care/drug and alcohol rehab center
8. Social services
9. Office for the conduct of a business or profession
10. Pharmacy
11. Photography supply, studio
12. Printing shop
13. Reading room
14. Real estate sales office
15. Restaurant, with or without a bar, sit down fast food restaurant with drivethrough
16. Shoe repair
17. Sporting goods
18. Studio for the conduct of arts and crafts instruction
19. Tailor shop
20. Bar, tavern/liquor store

21. Travel agency

22. Vet clinic, pet grooming, kennels and animal boarding

D. Residential. One (1) or more residential dwelling unit(s) when located on a floor above or below the ground floor of a commercial use building, or, when located on a ground floor and within the rear forty (40) feet of a lot, within a commercial use building.

E. General Service establishments, including:

1. Hotel, lodge, motel, extended stay

2. Convenience store

3. Gas station

4. Tire shop, auto repair shop

5. Car wash

6. Parking lot/EV charging

F. Conditional Uses

1. Signage and billboards

2. Entertainment venues

3. Industrial uses, cold storage and refrigerated warehousing

4. PUD

Minimum Lot Area One Acre

Minimum Floor Area None

Minimum Setbacks Front yard - 50 feet

Side yard - 20 feet

Side yard Between Lots - 7 Feet

Rear yard - 20 feet

Maximum Building Height None unless otherwise specified by Town Council

Maximum Lot Coverage Fifty (50) Percent

Landscaping At least 10% of the total land area shall be landscaped in accordance with a landscape plan approved by Town Council.

The hotel and the mixed use buildings have been designed to nestle into the hillside. As stated above, the view from County Road 335 is of two stories with mixed roof heights to give the buildings interest while keeping the perceived mass to a minimum. Viewed from the river, the buildings are all three stories and intersect the site at existing grade. Where necessary, the foundation has been extended to meet existing grade so no additional grading is required. The design goal in nestling the buildings into the hillside is to give the appearance the buildings simply emerge out of the existing grade. The lowest level of the hotel will house storage, mechanical, gym space and meeting rooms on the south side. This side is completely buried in the hillside while the north side is made up of hotel rooms, all facing the river with floor elevations close to existing grade.

It should be noted that the lowest floor of the hotel and restaurant is programmed for storage and mechanical space with one exception, the north half of the hotel's lowest floor is designated as hotel rooms at grade with the exterior. The lower level of Mixed Use B is programmed for residential housing and storage. All square footage has been included in the calculations above.

3D renderings have been provided depicting the signage, style, massing and materials proposed. These 3D renderings are an invaluable tool in reviewing the proposed architecture as it gives an experiential view of the development from multiple views, including floating down the Colorado River.

Building Height The New Castle Land Use Code provides no building height limitations within the PUD zone as it is to be established by the proposed PUD. Building Height means the vertical distance measured from the average existing grade within the building setback envelope to the uppermost point of the roof of the building.

Landscaping + Irrigation A landscape and irrigation plan has been provided in this application. The main focus of site landscaping is to re-establish the Gambel Oak grove on the hillside between the building and the river, replacing plants that are removed during construction. Beyond this, tree planting will be provided in the parking lot to add shade and break up the visual impact of the parking lot. Areas immediately surrounding the building will receive lawn, either sod or seed, and see the addition of trees to provide shade within the entry courtyard. Irrigation will be provided to landscape areas.

Site Lighting All site lighting will be “Dark Sky” compliant. Parking lot lighting will consist of pole mounted down lights within the boulevards of the parking lot and bollard lighting along exterior walkways where necessary. Lighting for the buildings will consist of wall mounted down lights at entries/exits, step lights at the outdoor stairs. All signage will be lit with “Dark Sky” compliant lighting.

Minimal building lighting will be provided, only to safely light entry/exit locations.

Landscape lighting will be limited to exterior stairs and walkways.

Parking One hundred and fourteen (114) parking spaces have been provided including five (5) handicap spaces. The breakdown of parking requirements is as below. Note: square footage is based on net usable square footage and not gross building square footage.

71 hotel rooms at 1 space per room	71
4 hotel employees per shift at 1 space per 2 employees	2
Restaurant at 1 space per 3 seats	20
Residential housing at 2 per unit	20
Office 1 space per 300 s.f.	13
TOTAL REQUIRED	126

The proposed development offers a prime opportunity to “share” parking spaces. Specifically, the commercial space will be at its highest use during the day, while the hotel will be at its highest use during the evening and night. Hotels also rarely operate at 100% capacity and in fact average about 70% occupancy most on season days, substantially less during off seasons. For these reasons we feel the parking quantity provided best blends responsible site planning and design with responsible programmatic development.

Electric Vehicle Charging Stations Eleven (11) EV “ready” charging stations will be provided, three (3) conventional charging stations, twelve (12) EV “capable” charging stations, and sixteen (16) EV “capable light” charging stations. These will have dedicated parking spaces and have been located along the northern portion of the parking lot as depicted on the Site Plan.

Utilities All existing utilities are located at the property line, along County Road 335.

Water will be brought into the project in two locations as represented on the civil drawings. One location to serve the hotel and one location to serve the commercial. These two lines will be looped.

Private utilities, telephone, gas and electric, again, will come from County Road 335 directly into the project.

Grading and Drainage The overall goal is to fit the project to the site as best as possible. Viewed from County Road 335, the buildings are two stories tall while viewed from the river, are three stories tall. To accomplish this the buildings have been designed to step down the hillside. minimizing mass excavation. As a result, the natural topography can remain as it is, to a large degree. County Road 335 sets the control for grading and two primary and one secondary entry/exit points to the parking lot have been proposed. These points establish grade. From these points, grading slopes to low points within the parking lot. These low points will have an inlet that routes water to two retention/detention ponds below the buildings.

Drainage of building roofs will be collected and piped to the same retention/detention ponds as the parking lot.

Surface drainage, within the landscape, will run off the site as it has historically.

The result of this drainage plan is no new drainage generated by new impervious surfaces will leave the site. Water collected from these impervious surfaces will be retained/detained and released at historic rates sub surface.

Snow Storage Snow storage has been provided at the west end of the parking lot as depicted on the Landscape Plan. The parking lot will be plowed from east to west.

Compliance with the Comprehensive Plan We believe this proposed development aligns precisely with the goals and objectives of the Comprehensive Plan. The plan specifically states the first and second most important commercial development types include restaurant and small-scale independent office, both anchors of this proposal. It further identifies tourism and recreation as being of primary importance. The hotel component of this development supports the tourism and recreation industry by providing lodging for out of town visitors. The Comprehensive Plan states that 50% of Lakota golf course visitors are from out of town. With the growing emphasis on mountain biking and the development of miles of new mountain biking trails in New Castle, this industry can, and likely will surpass the golf industry as the leading form of recreation. Again, those out of town visitors require lodging.

On site employee housing for newly created businesses is also a focus of the Plan. This proposed development will provide units available to business owners within this development for employees. It has become a limiting factor in business to be able to hire employees and the lack of employees is due to lack of affordable housing. For a business owner to be able to provide housing for a potential employee can easily be the difference between securing that employee or not. All housing within the proposed development will be made available to employees of this development first. Any remaining units will be made available to New Castle residents next. In the event units are still available they will be made available to anyone.

Economic development is a prime target of any Comprehensive Plan and New Castle's Plan is no different. Commercial and office development has been severely limited in New Castle resulting in no commercial, office or office space being available within the town. This translates to no new tax revenue for the Town. This proposed development plan will provide a substantial boost in yearly tax revenue while requiring very little service.

Impact on town schools and infrastructure will be minimal to non-existent with this proposal. The hotel does not create the need for additional school or put a burden on the existing facility because no new population is added. In fact, none of the proposed components of this development create any need for additional service or burden existing service. There will be employment opportunities associated with this development. In all likelihood, the employees will already be members of the New Castle community and simply trade their out of town jobs for a closer and better job.

As such, no new demand is placed upon Town services.

Rock Fall Mitigation The subject parcel of land is subject to potential rock fall hazard from the slope to the south side of County Road 335. A Rock Fall analysis and mitigation report has been prepared by CTL Thompson and is contained within this application (see Exhibit H). To summarize, the construction of a three (3) foot tall earthen berm is required along the southern property boundary, with a secondary two (2) foot tall concrete wall along the northern edge of the parking lot by the water feature and Mixed Use Building B. This berm will be located between the existing pedestrian walking path and the parking lot edge. Construction of the berm and dimensions will comply with the report.

Lot 1 Highway PUD

7051 County Road 335, New Castle, CO

Traffic Impact Study

KE Job #2024-031

Prepared for:

Aspen Built
1101 Village Rd. # LL-1B
Carbondale, CO 81623

Prepared by:



KELLAR ENGINEERING

skellar@kellarengineering.com
www.kellarengineering.com
970.219.1602 phone



July 1, 2025
Sean K. Kellar, PE, PTOE

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1.0 Introduction

The purpose of this Traffic Impact Study (TIS) is to identify project traffic generation characteristics, to identify potential traffic related impacts on the adjacent street system, and to develop mitigation measures required for identified traffic impacts. This TIS is for the Lot 1 Highway PUD project located at 7051 County Road (CR) 335, New Castle, Colorado. See Figure 1: Vicinity Map.

Kellar Engineering LLC (KE) has prepared the TIS to document the results of the project's anticipated traffic conditions in accordance with the Town of New Castle's requirements and to identify projected impacts to the local and regional traffic system.

2.0 Existing Conditions and Roadway Network

The project site is located at 7051 CR 335 in New Castle, CO. CR 335 is an existing east/west roadway with a posted speed of 35 mph. An eight-foot wide paved pedestrian/bike path exists along the north side of CR 335 adjacent to the project site. The CR 335/Castle Valley Blvd. intersection has all-way stop-control which is appropriate for the intersection's traffic volumes. Table 7-107 in Garfield County LUDC Standards for a Major Collector roadway apply for volumes greater than 2501 vpd. Per the standards, Major Collectors are required to have 6' paved shoulders. See Appendix D. The existing eight-foot wide paved pedestrian/bike path along the north side of CR 335 provides a safe bike/ped route which functions appropriately. This meets the same bike/ped facility intent as paved shoulders and provides adequate bicycle and safety facilities along the north side of CR 335.

2.1 Recent Traffic Volumes

Recent peak hour traffic volume counts were conducted by All Traffic Data Services using data collection video cameras. The traffic counts were conducted in 15-minute intervals on Thursday, 3/21/2024 from 7:00 AM to 9:00 AM and 4:00 PM to 6:00 PM. The traffic counts are shown in Figure 3 with the count sheets provided in Appendix A.

Figure 1: Vicinity Map



Figure 2: Site Plan (For reference only. Provided by Architect. See Architectural Drawings for more information)

THESE PLANS ARE CONCEPTUAL IN NATURE. INDIVIDUAL BUILDING PLANS MAY VARY BUT WILL BE EVALUATED FOR COMPLIANCE WITH DESIGN STANDARDS CONTAINED WITHIN THE TOWN OF NEW CASTLE CODE OF ORDINANCES AT THE TIME OF SUBMITTING A BUILDING PERMIT APPLICATION.

SITE PLAN NOTES
 (1) VEHICLE IMPACT BOLLARDS TO PROTECT ALL EV CHARGING STATIONS.

SNOW STORAGE REQUIREMENTS

SNOW STORAGE: A MINIMUM FUNCTIONAL AREA EQUALING FIFTEEN PERCENT (15%) OF THE PAVED AREA OF EACH LOT SHALL BE PROVIDED FOR SNOW STORAGE.

PROPOSED PAVED AREA	37,247.2 SF x 15%
TOTAL REQUIRED SNOW STORAGE	5,587.08 SF
TOTAL PROPOSED SNOW STORAGE	5,267.98 SF

PROPOSED PAVED AREA	48,175.1 SF x 10%
TOTAL REQUIRED LANDSCAPING AROUND PARKING LOT	4,817.5 SF
TOTAL PROPOSED	12,703.8 SF

PARKING REQUIREMENTS

USE TYPE	REQUIREMENT	NUMBER OF SPACES
HOTEL	1 SPACE PER ROOM PLUS 1 SPACE PER EVERY 2 EMPLOYEES	73
RESTAURANT 60 SEATS	1 SPACE PER EVERY 3 SEATS	20
OFFICE 3,772.8 SF	1 SPACE PER EVERY 300 SF OF FLOOR AREA	13
RESIDENTIAL	2 SPACES PER UNIT	20
TOTAL REQUIRED PARKING SPACES		126
SHARED PARKING 10%		12
TOTAL PROPOSED PARKING SPACES		114
HANDICAP	MIN. 5 SPACES	5
COMPACT SPACES	MAX 2% OF TOTAL	28

EV REQUIREMENTS

COMMODITY	% SPACES	REQUIRED	PROVIDED
EVSE INSTALLED	2% OF TOTAL	2 (1.86)	2
EV READY	8% OF TOTAL	8 (7.02)	8
EV CAPABLE	10% OF TOTAL	10 (8.4)	10
EV CAPABLE LIGHT	10% OF TOTAL	10 (8.4)	10
TOTAL	20 TOTAL SPACES	20	20
EVSE INSTALLED	5% OF TOTAL	1 (1)	1
EV READY	15% OF TOTAL	3 (3)	3
EV CAPABLE	10% OF TOTAL	2 (2)	2
EV CAPABLE LIGHT	30% OF TOTAL	6 (6)	6
TOTAL REQUIRED SPACES		12	
TOTAL PROPOSED SPACES		12	

RED

1001 10th Ave Suite 100
 New Castle, CO 81647
 Phone: 970.251.1234

1000

**Lot 1
 Highway
 PUD**

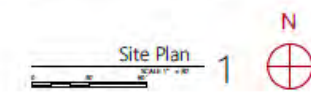
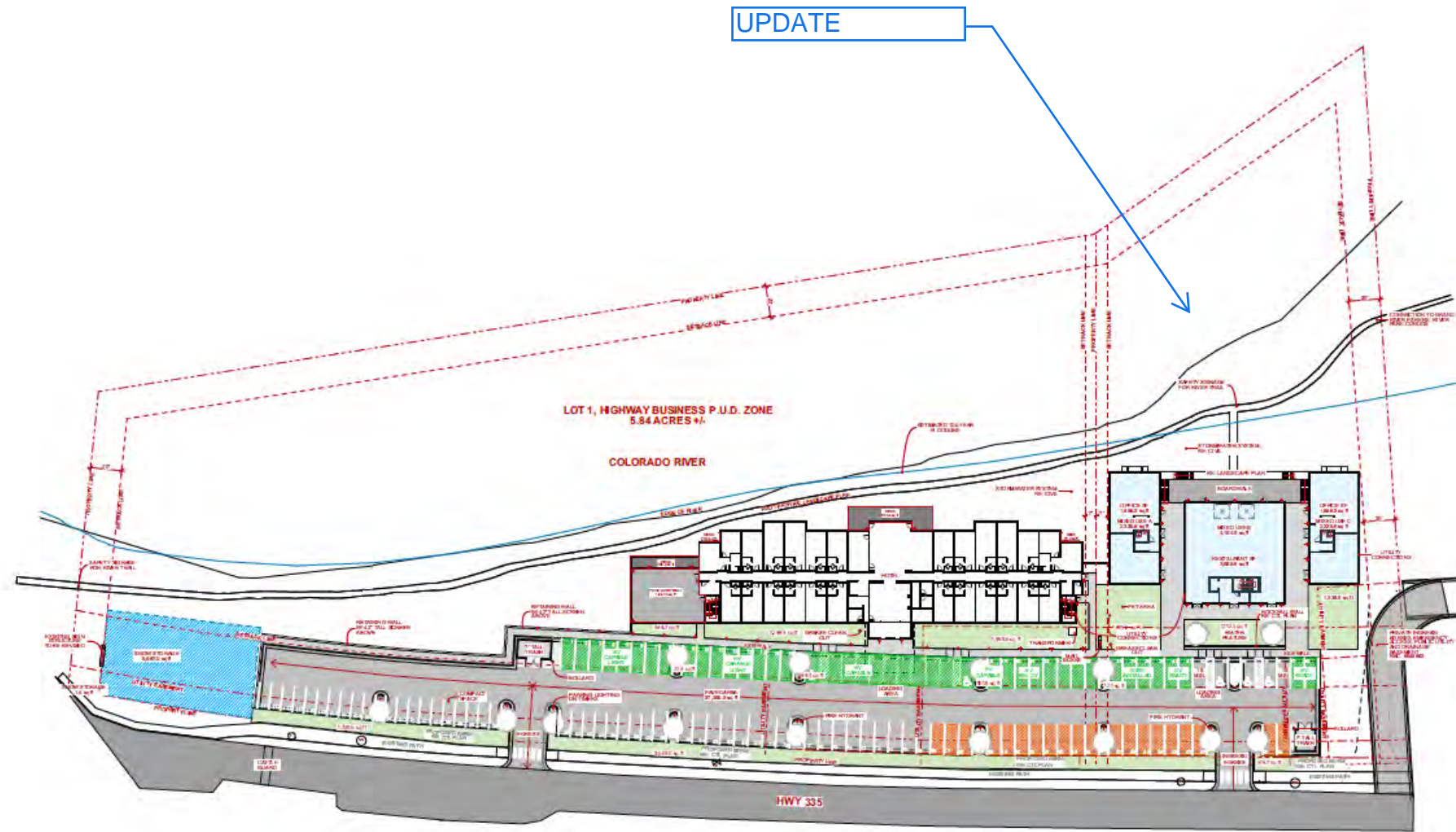
7051 335 County
 Rd New Castle
 Colorado 81647

SITE LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- STREET
- SIDWALK
- DRIVEWAY
- WATER FEATURE
- SNOW STORAGE
- EV SPACES
- HANDICAP SPACES
- RESIDENTIAL RESERVED SPACES
- WALL SCENCE
- STREET LAMP
- BOLLARDS

NOT FOR
 CONSTRUCTION
 REFERENCE
 SITE PLAN 1:30

A0.04



4.0 Proposed Development

AND RETAIL



The proposed project consists of a mix of hotel, office, restaurant, and residential. See Table 1: Trip Generation and Figure 2: Site Plan.

4.1 Trip Generation

Site generated traffic estimates are determined through a process known as trip generation. Rates and equations are applied to the proposed land use to estimate traffic generated by the development during a specific time interval. The acknowledged source for trip generation rates is the *Trip Generation Manual* published by the Institute of Transportation Engineers (ITE). ITE has established trip generation rates in nationwide studies of similar land uses. For this study, KE used the *ITE 11th Edition Trip Generation Manual* average trip rates. The proposed project is anticipated to generate approximately 1,060 daily weekday trips, 77 AM total peak hour trips, and 84 PM total peak hour trips. See Table 1: Trip Generation.

4.2 Trip Distribution

Distribution of site traffic on the street system was based on the area street system characteristics, existing traffic patterns and volumes, anticipated surrounding development areas, and the proposed access system for the project. The directional distribution of traffic is a means to quantify the percentage of site generated traffic that approaches the site from a given direction and departs the site back to the original source. Figure 6 illustrates the trip distribution used for the project's analysis.

4.3 Traffic Assignment

Traffic assignment was obtained by applying the trip distributions to the estimated trip generation of the development. Figure 7 shows the site generated peak hour traffic assignment.

4.4 Short Range Total Peak Hour Traffic

Site generated peak hour traffic volumes were added to the background traffic volumes to represent the estimated traffic conditions for the short range 2026 horizon. These background (2026) and short range (2026) total traffic volumes are shown in Figure 4 and Figure 8 respectively. The short range analysis year 2026 includes the proposed development for the project plus a 2% increase in background traffic per the growth rates from CDOT OTIS (Online Transportation Information Systems).

4.5 Long Range Total Peak Hour Traffic

Site generated peak hour traffic volumes were added to the background traffic volumes to represent the estimated traffic conditions for the long range 2046 horizon. These background (2046) and long range (2046) total traffic volumes are shown in Figure 5 and Figure 9 respectively. The long range analysis year 2046 includes the proposed development for the project plus a 2% increase in background traffic per the growth rates from CDOT OTIS (Online Transportation Information Systems).

5.0 Traffic Operation Analysis

KE's analysis of traffic operations in the site vicinity was conducted to determine the capacity at the identified intersection. The acknowledged source for determining overall capacity is the Highway Capacity Manual.

5.1 Analysis Methodology

Capacity analysis results are listed in terms of level of service (LOS). LOS is a qualitative term describing operating conditions a driver will experience while traveling on a particular street or highway during a specific time interval. LOS ranges from an A (very little delay) to an F (long delays). A description of the level of service (LOS) for signalized and unsignalized intersections from the Highway Capacity Manual are provided in Appendix B.

5.2 Intersection Operational Analysis

Operational analysis was performed for the short range 2026 total horizon. The calculations for this analysis are provided in Appendix E. Using the short range total traffic volumes shown in Figure 8, the project's intersections are projected to meet level of service (LOS) criteria with full project build-out. Additionally, as shown in the Synchro outputs in the Appendix, the 95th percentile queues are small and the intersection levels of service (LOS) operate acceptably. Additionally, per AASHTO Exhibit 3-1, a design speed of 40 mph (posted speed of 35 mph) has a design stopping sight distance of 305 feet. Based upon review of available data (survey, aerial photography, and street view photos), it appears that the study intersections have the ability to meet this criterion.

Table 1: Trip Generation (ITE Trip Generation, 11th Edition)

ITE Code	Land Use	Size	Average Daily Trips		AM Peak Hour Trips						PM Peak Hour Trips					
			Rate	Total	Rate	% In	In	% Out	Out	Total	Rate	% In	In	% Out	Out	Total
310	Hotel	71 Rooms	7.99	567	0.46	56%	18	44%	15	33	0.59	51%	21	49%	21	42
710	Office	3.78 KSF	10.84	41	1.52	88%	5	12%	1	6	1.44	17%	1	83%	4	5
932	Restaurant	3.59 KSF	107.20	385	9.57	55%	19	45%	15	34	9.05	61%	20	39%	12	32
220	Residential	10 Units	6.74	67	0.40	24%	1	76%	3	4	0.51	63%	3	37%	2	5
Total				1060			43		34	77			45		39	84

KSF = Thousand Square Feet

AND RETAIL

Figure 3: Recent Peak Hour Traffic

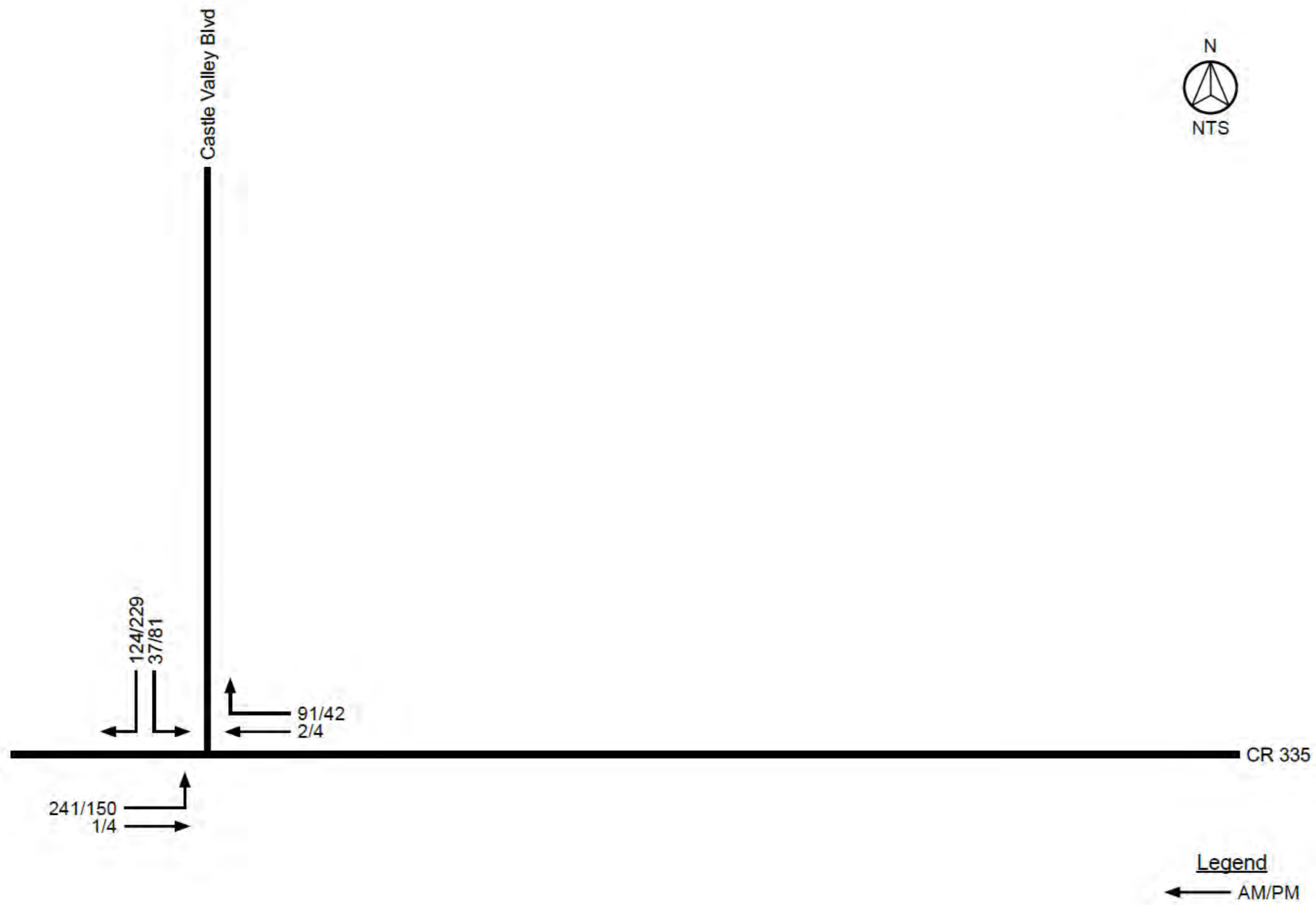


Figure 4: 2026 Background Traffic

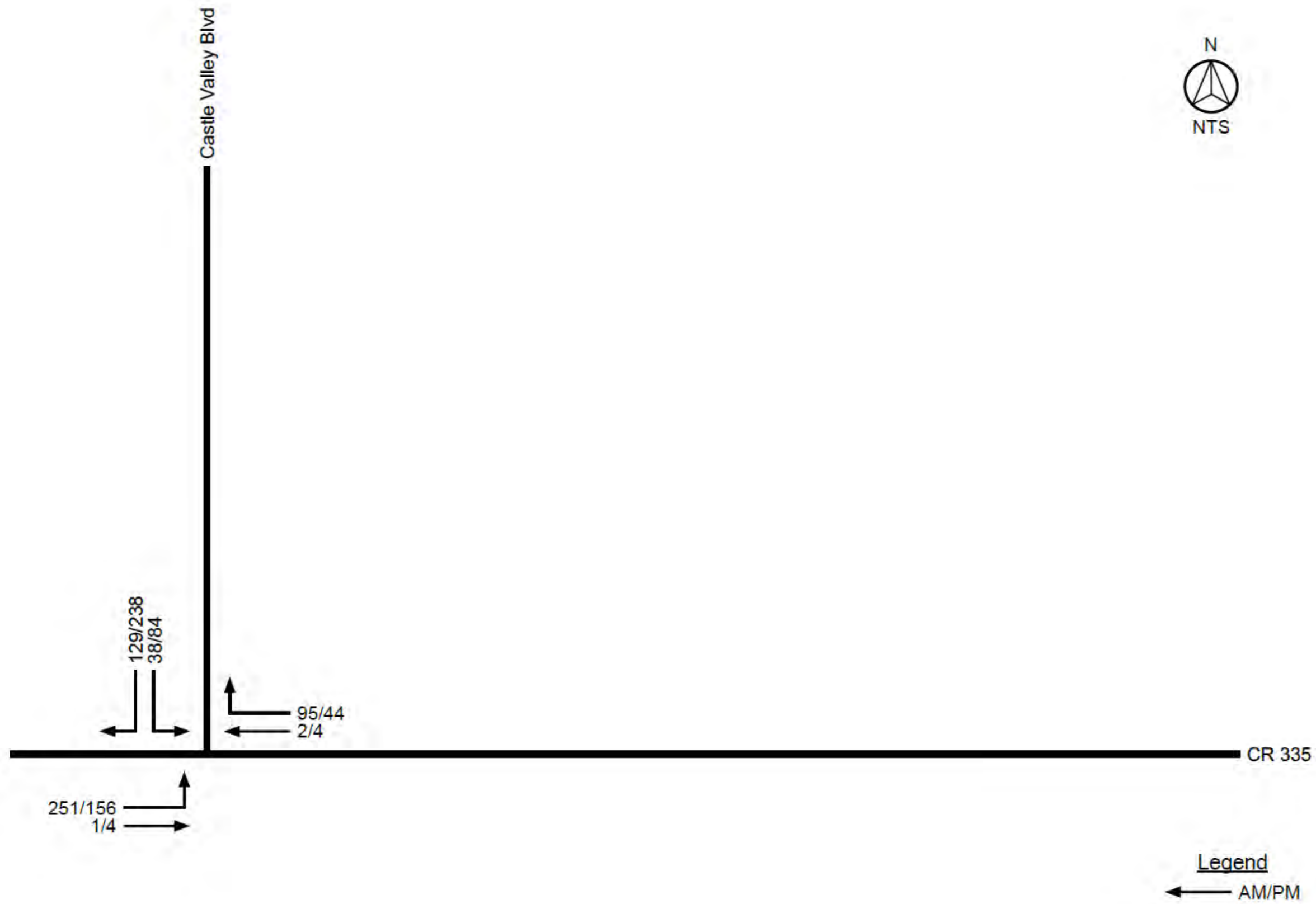


Figure 5: 2046 Background Traffic

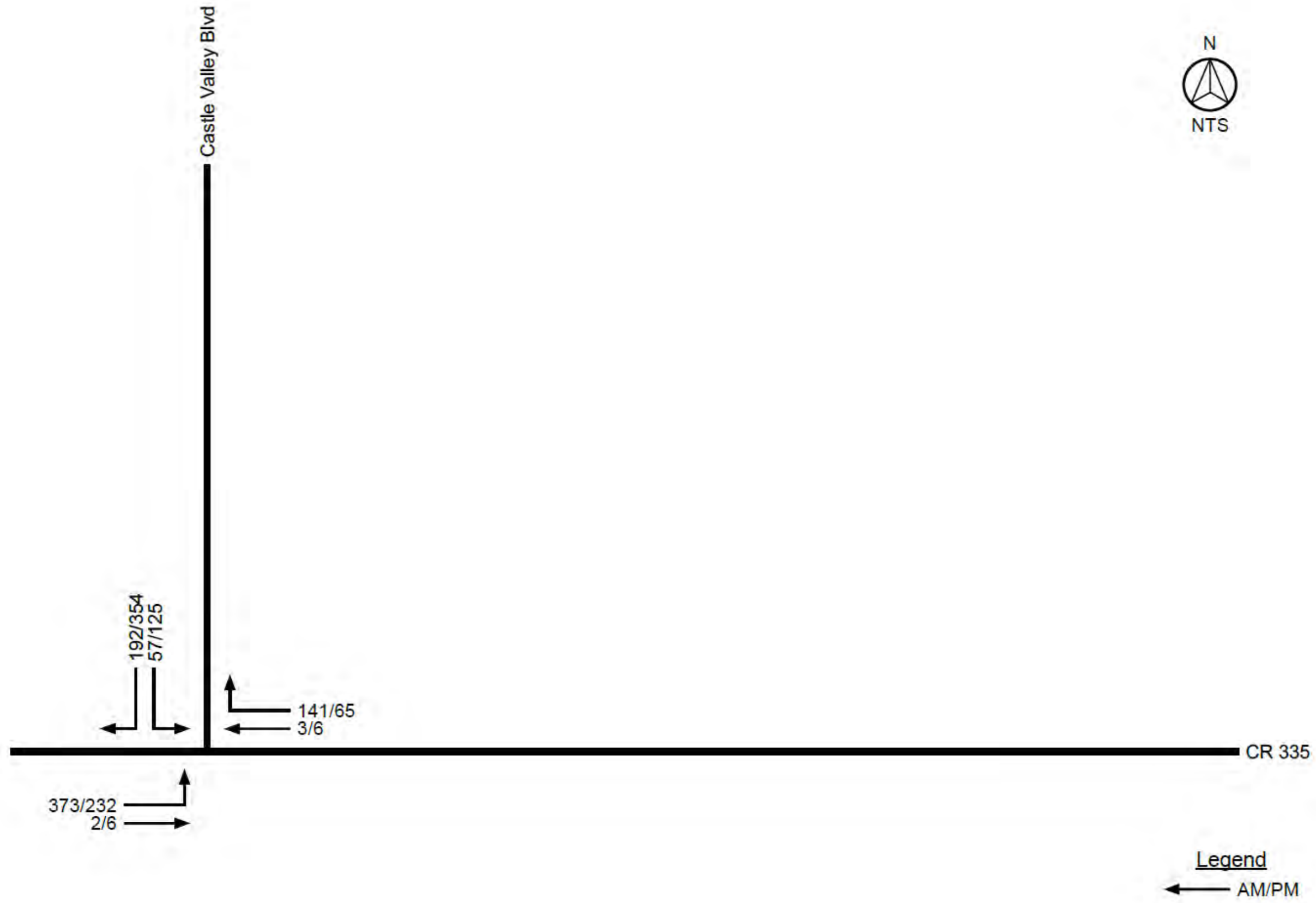


Figure 6: Trip Distribution

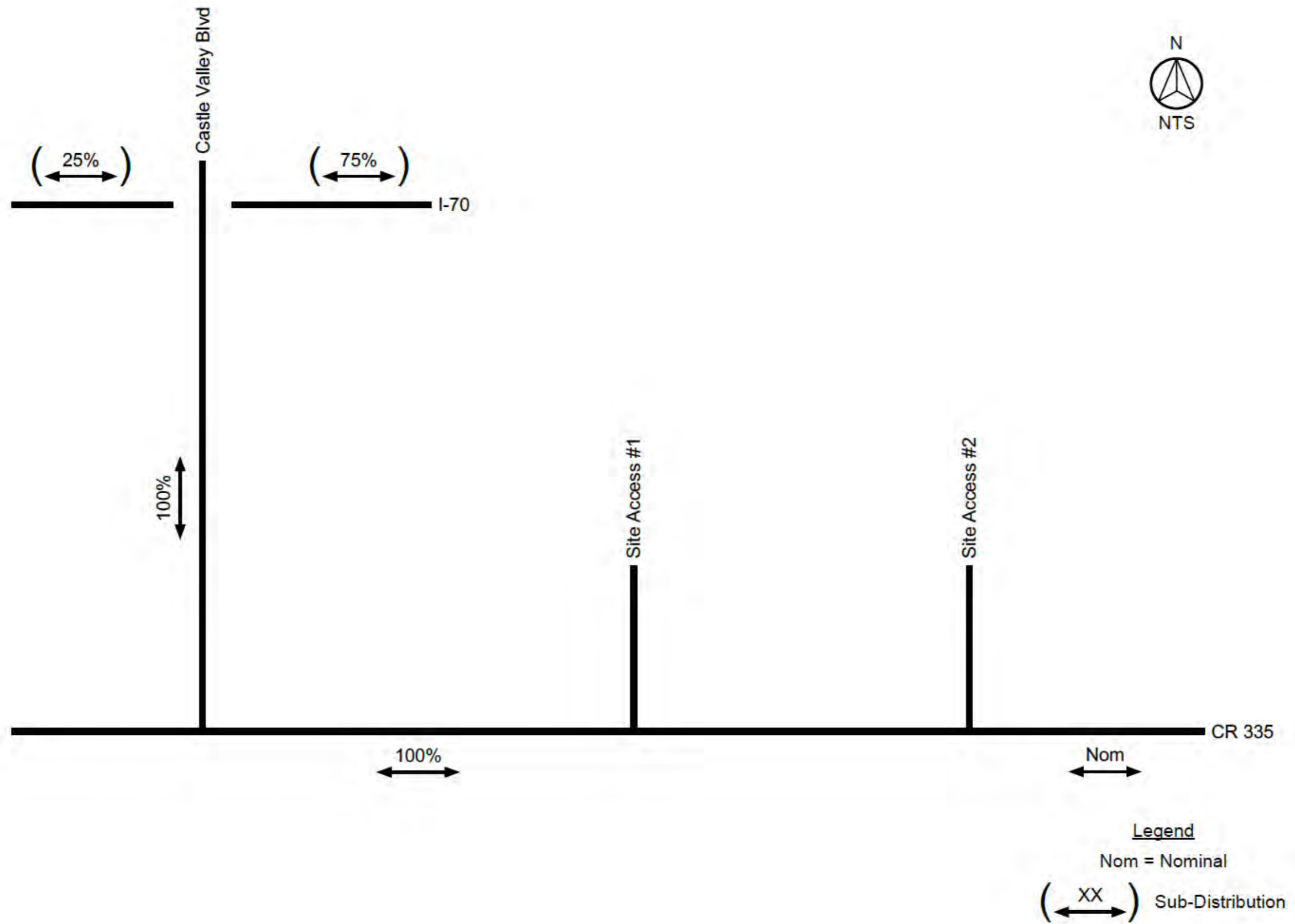


Figure 7: Site Generated Traffic

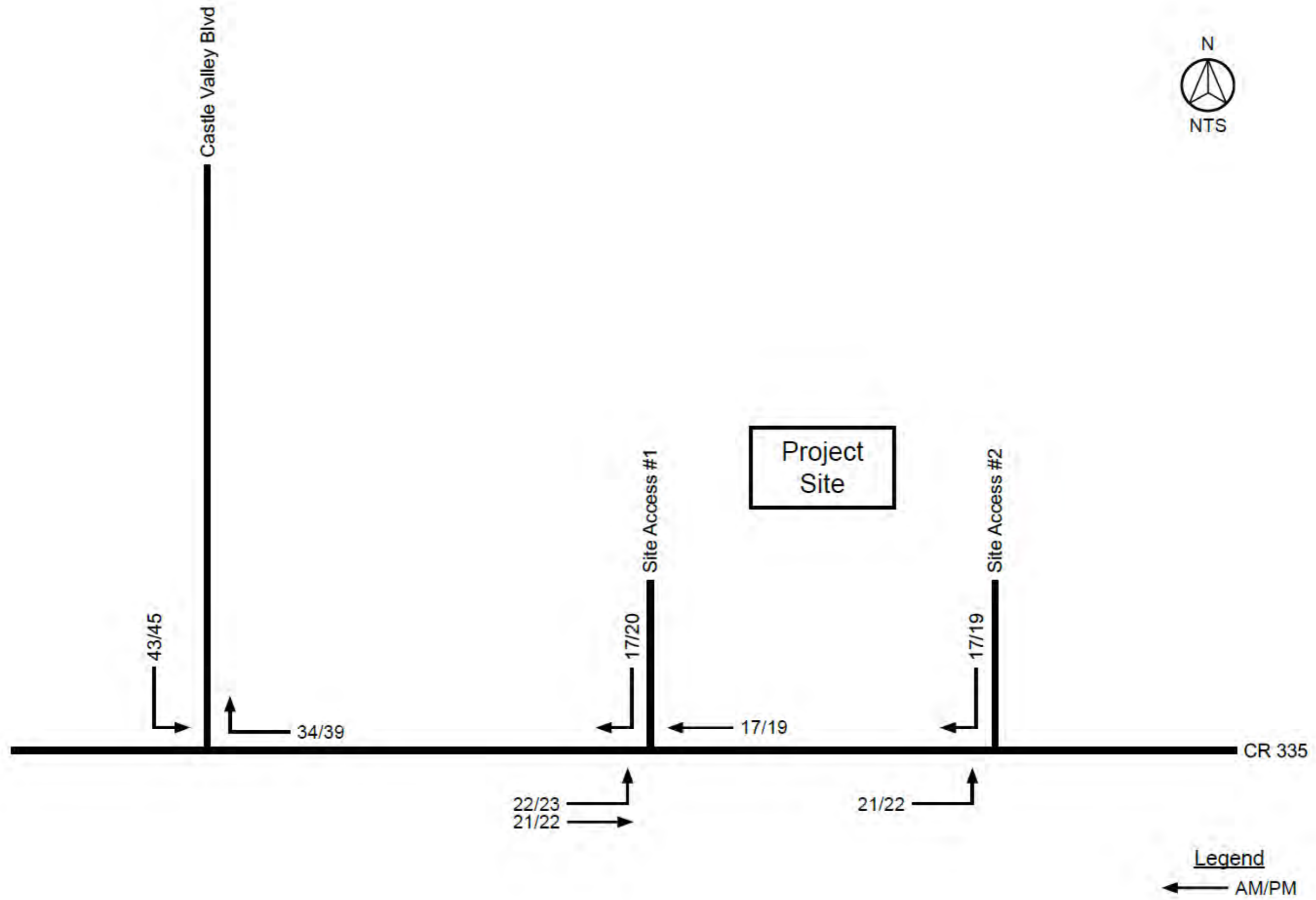


Figure 8: 2026 Short Range Total Traffic

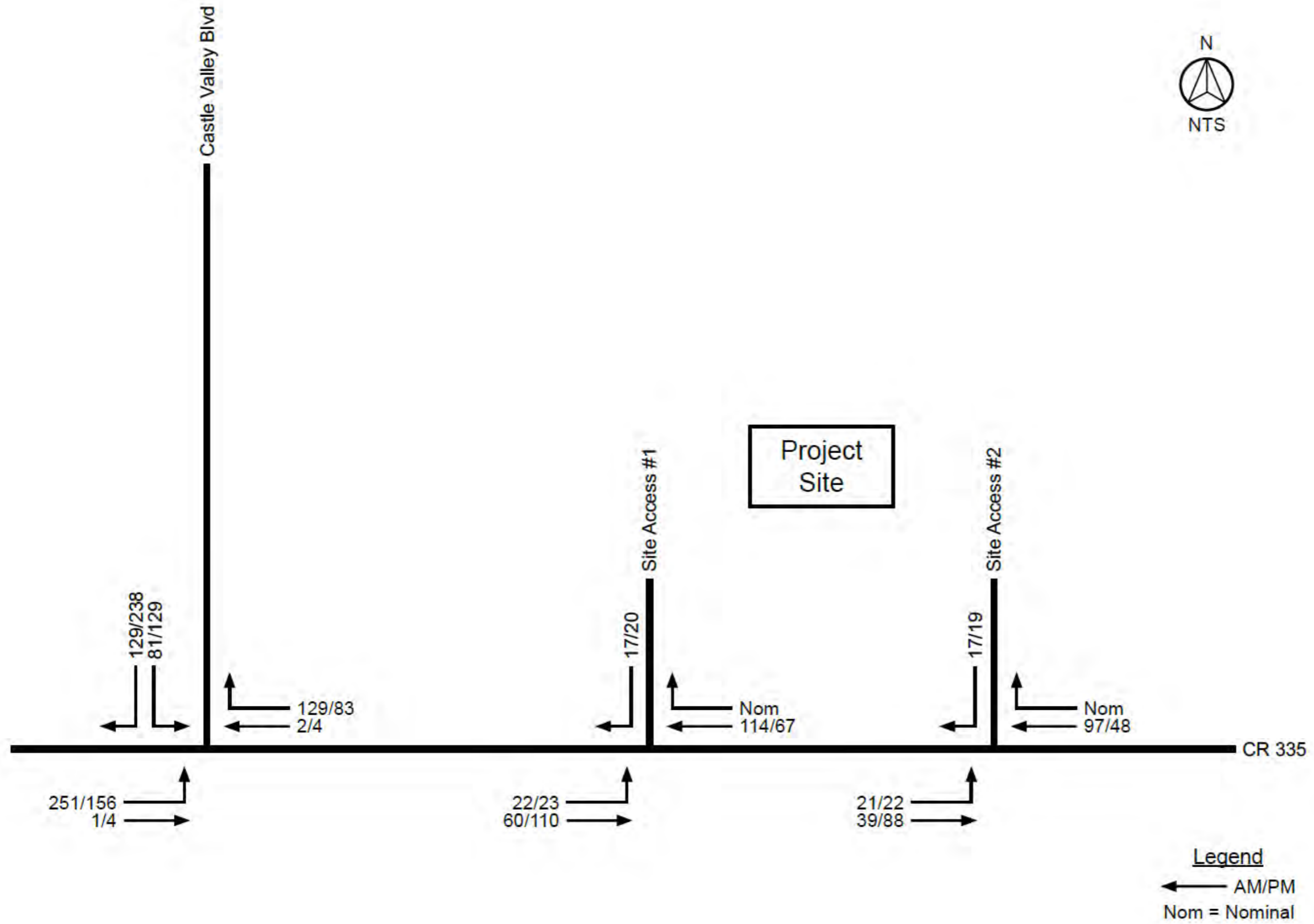


Figure 9: 2046 Long Range Total Traffic

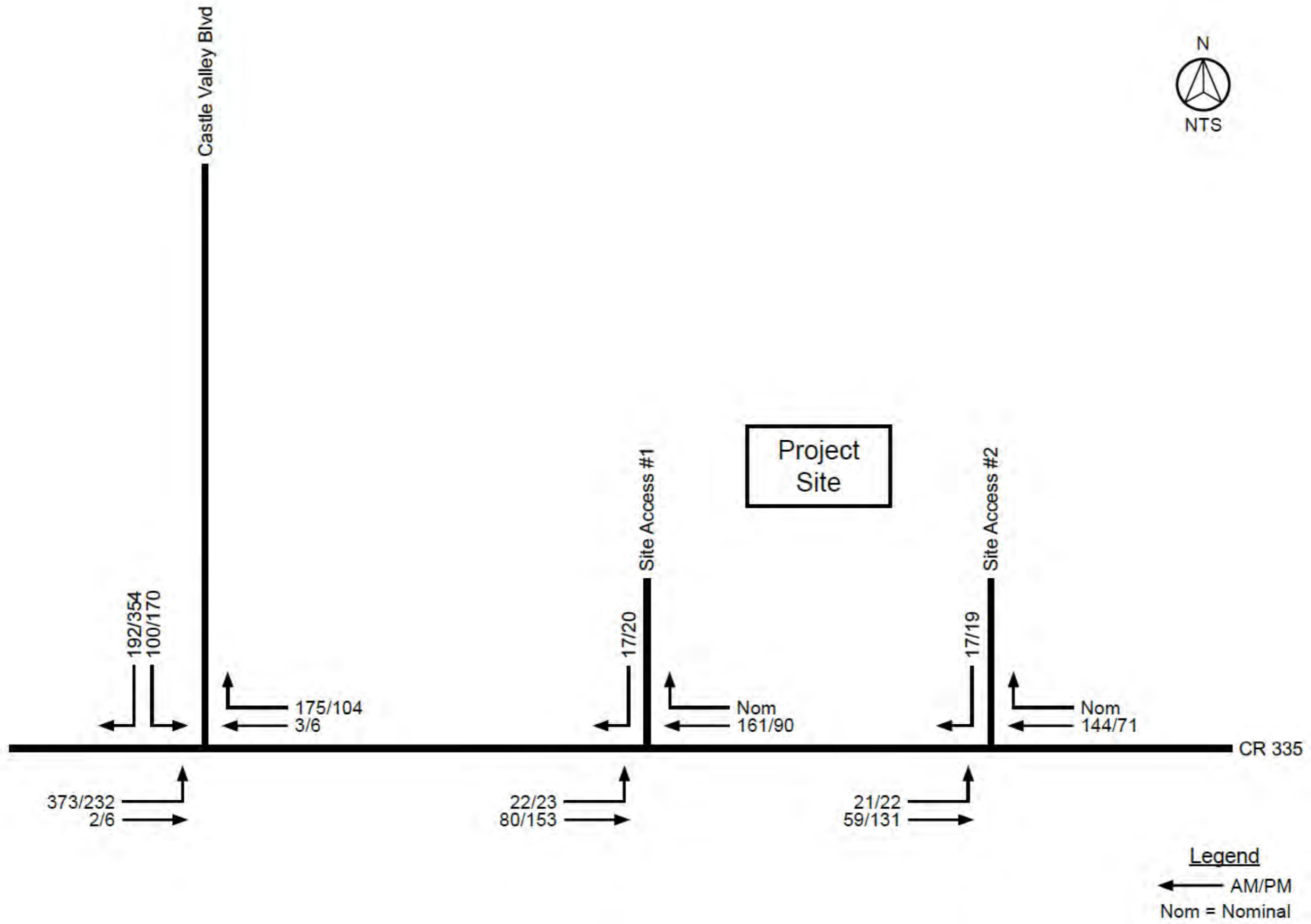


Table 3: Recent Peak Hour Operations

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Castle Valley Blvd			
	EB Left/Through	A	A
	EB Approach	A	A
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	A	A
	SB Approach	A	A
	Overall	A	A

Table 4: 2026 Background Peak Hour Operations

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Castle Valley Blvd			
	EB Left/Through	B	A
	EB Approach	B	A
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	A	A
	SB Approach	A	A
	Overall	A	A

Table 5: 2046 Background Peak Hour Operations

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Castle Valley Blvd			
	EB Left/Through	B	B
	EB Approach	B	B
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	B	C
	SB Approach	B	C
	Overall	B	B

Table 6: 2026 Short Range Total Peak Hour Operations

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Castle Valley Blvd			
	EB Left/Through	B	A
	EB Approach	B	A
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	A	B
	SB Approach	A	B
	Overall	A	B

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Site Access #1			
	EB Left/Through	A	A
	EB Approach	A	A
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	A	A
	SB Approach	A	A
	Overall	A	A

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Site Access #2			
	EB Left/Through	A	A
	EB Approach	A	A
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	A	A
	SB Approach	A	A
	Overall	A	A

Table 7: 2046 Long Range Total Peak Hour Operations

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Castle Valley Blvd			
	EB Left/Through	C	B
	EB Approach	C	B
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	B	C
	SB Approach	B	C
	Overall	B	C

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Site Access #1			
	EB Left/Through	A	A
	EB Approach	A	A
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	A	A
	SB Approach	A	A
	Overall	A	A

Intersection	Movement	Level of Service (LOS)	
		AM	PM
		LOS	LOS
CR 335/Site Access #2			
	EB Left/Through	A	A
	EB Approach	A	A
	WB Through/Right	A	A
	WB Approach	A	A
	SB Left/Right	A	A
	SB Approach	A	A
	Overall	A	A

6.0 Findings

Based upon the analysis presented in this TIS, the proposed project will be able to successfully meet the Town of New Castle's requirements. The study intersections are projected to operate acceptably upon full development of the proposed project.

The findings of the TIS are summarized below:

- The proposed project is anticipated to generate a maximum of approximately 1,060 daily weekday trips, 77 AM total peak hour trips, and 84 PM total peak hour trips. See Table 1: Trip Generation.
- The study intersections are projected to operate acceptably and comply with the County's intersection level of service (LOS) requirements with full development of the proposed project and background traffic. See Table 6.
- The existing street improvements are sufficient to handle the proposed project's traffic.

May 28, 2024

Aspen Built
1101 Village Road, Suite #LL-1B
Carbondale, CO 81623

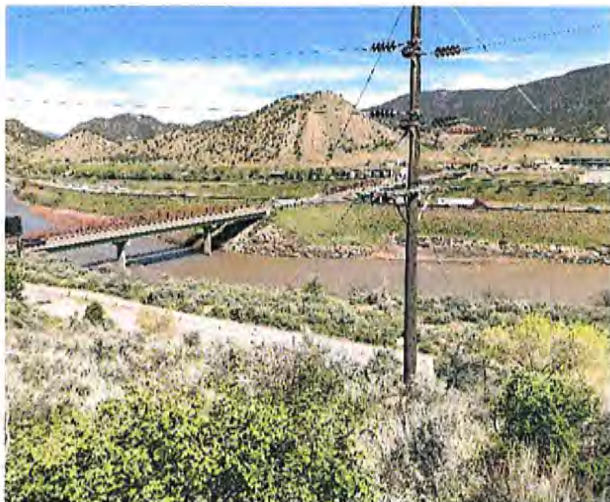
Attention: Abdi Pirzadeh
President and General Manager

Subject: Rockfall Hazard Analysis
Lot 1, Riverside PUD
(a.k.a. 7051 County Road 335)
New Castle, Colorado
Project No. GS06837.000-130

CTL|Thompson, Inc. (CTL|T) has completed a rockfall hazard analysis for Lot 1, Riverside PUD (a.k.a. 7051 County Road 335) in New Castle, Colorado. A hotel and brewery are proposed for the site. Rockfall is a potential hazard for the property. Results from our analysis include estimates of rock velocity, bounce height, and kinetic energy, which can be used by a specialty contractor to design an appropriate rockfall mitigation system. The scope of our rockfall hazard analysis was set forth in our Proposal No. GS-24-0029.

Site Conditions

Lot 1, Riverside PUD is located north of County Road 335 in New Castle, Colorado. A vicinity map with the location of the site is attached as Figure 1. James Kellogg, P.E., of CTL|T performed a site reconnaissance on April 25, 2024. The property is a 5.84-acre parcel that is bordered by the Colorado River at the north and River Park PUD apartments at the east. The west side of the property is adjacent to the bridge over the Colorado River. A gas station and convenience store previously located on the property was deconstructed sometime between 2006 and 2011. Currently, the site is predominantly vegetated with sage. Trees and willows are adjacent to the river. Photographs of the site are below.



West Part of Property



East Part of Property

[CTL|Thompson, Inc.](#)

[Denver](#), [Fort Collins](#), [Colorado Springs](#), [Glenwood Springs](#), [Pueblo](#), [Summit County](#) – Colorado **199**
[Cheyenne](#), Wyoming and [Bozeman](#), Montana



Rockfall Sources

The Grand Hogback is south of the county road. The ridge of the hogback is approximately 950 to 1,000 feet above the subject site. Slopes on the north flank of the hogback range from grades of about 80 to 95 percent (about 39 to 44 degrees). Ground surface at the base of the hogback slopes down (north) toward the road at grades between 30 and 40 percent (about 17 to 21 degrees). The hogback slope is incised with numerous drainage channels separated by steep-sided ridges. Vegetation is predominantly sage and grasses with scattered, pinon, juniper, and thickets of oak brush. Photographs of the hogback above the site are below.



Hogback above East Part of Property



Hogback above West Part of Property

Geologic mapping by the US Geological Survey (USGS) titled, "Revised Preliminary Geologic Map of the New Castle Quadrangle, Garfield County, Colorado", by R.B. Scott and R.R. Shroba (dated 1997) indicate the Grand Hogback above (south of) the subject site is predominantly composed of sandstone bedrock of the Williams Fork Formation. Prominent outcrops of the sandstone are along the ridgetop. An unnamed band of sandstone outcrops along the mid-slope of the hogback flank. These outcrops are the source of rockfall boulders that could affect the subject site. Photographs that show the source rock are below.



Sandstone Outcrops and Fallen Boulders



Ridge Outcrops and Lower Sandstone Band



Typical Rockfall Boulders

We noted numerous boulders from rockfall that had stopped between the base of the hogback and the county road. The maximum dimension of most of these rocks was about 6 feet. Some larger boulders with long dimensions of 12 to 18 feet were present near the base of the hogback. We observed several boulders on the subject property that appear to be the result of rockfall. The maximum dimension of rocks on the site was about 6 feet. Photographs that show typical boulders likely to affect the subject property are below.



Rockfall Boulders south of County Road



Rockfall Boulders on Subject Parcel

Rockfall Analysis Approach

CTLJT evaluated the potential rockfall hazard for Lot 1, Riverside PUD using Colorado Rockfall Simulation Program (CRSP) 2004 developed by the Colorado School of Mines. We analyzed the four slope sections (A-A' through D-D') shown on the attached Figure 2. The program requires input regarding slope geometry and slope material properties, as well as coefficients to determine rock energy loss upon impact. It is also important to estimate the size, shape, and weight of rocks that would comprise a potential rockfall event.

Our site observations indicate the rockfall boulders are generally rectangular prisms with subangular faces. Due to the constraints of CRSP, we analyzed the rocks as spherical boulders. This is conservative because a spherical shape represents the “worst-case” because a sphere comprises the most mass for a given radius. Our analysis assumed a rock unit weight of density of 165 lb/ft³, which is typical for hard sandstone bedrock. We evaluated rocks with diameters of 4 ft, 6 ft, 8 ft, and 10 ft.

The CRSP program simulates “rolling” of rocks of the specified size and shape down the modeled slope geometries at each section. Parameters that must be entered for the slope sections include estimates of surface roughness, as well as tangential and normal coefficients, which allow estimates of rock trajectory and energy loss upon impacts as the rocks bounce while rolling down the slopes. The analysis ultimately predicts the number of rocks that would pass designated analysis points. It also provides estimates of rock velocities, bounce heights, and kinetic energy of the rocks at these points.



CTL|T set two analysis points for each of our four slope sections. We modeled a potential rockfall mitigation structure consisting of a 3-foot high earthen berm at the north side of the bike path, which is at the north side of the county road. We modeled the berm with a base width of 6 feet such that the upslope and downslope faces of the berm would have slopes of 1 H to 1 V (horizontal to vertical). Analysis Point 1 for each section was set at the base of the upslope (south) face of the berm. Analysis Point 2 was set at the base of the downslope face of the berm.

Rockfall Analysis Results

CTL|T utilized the CRSP program to simulate rolling of 100 rocks down each of the four modeled slope sections. Our simulations evaluated 4 ft, 6 ft, 8 ft, and 10 ft boulders. Our analysis assumed rocks starting at a velocity of 1 ft/sec upon separation from the source rock at the outcrops. Results of our analysis are summarized on the attached Table 1

The first data set for each slope section indicates the rock velocities, bounce heights, and kinetic energy at Analysis Point 1. The second data set is for Analysis Point 2. As indicated on the Table, a significant number of rocks were predicted to reach the base of the rockfall berm below slope sections A-A', B-B', and C-C'. The analysis showed none of these rocks passing the berm. Our analysis indicated that no rocks would reach the rockfall berm below slope section D-D'.

Opinions and Recommendations

Based on the analysis results, CTL|T judges that all of Lot 1, Riverside PUD is at risk from potential rockfall. The highest risk of rockfall appears to be within the central and west parts of the property. The greatest rock velocities, bounce heights, and kinetic energy would be below slope section A-A'. Mitigation of rockfall hazard is required for safe development of the subject parcel.

Our analysis indicates that a 3-feet high earthen berm with upslope and downslope faces of 1H to 1V would prevent these rocks from travelling further to the north on the subject property. Other mitigation systems can be considered, provided they are capable of absorbing the calculated maximum kinetic energies summarized on Table 1. We can provide additional assistance to the design-build contractor, if requested.

Site constraints will impact the design and construction of the rockfall mitigation system. The designer of the rockfall mitigation system must determine if the hazard is sufficiently eliminated to delineate or remove any build restrictions. Rockfall mitigation should be designed using the values provided on the table, including an adequate factor of safety.

Limitations

The analysis methods, opinions, and recommendations in this letter are based upon consideration of many factors including, but not limited to, site topography, geologic conditions, and the proposed site development. We believe our analysis was performed in a manner consistent with that level of care and skill ordinarily used by geotechnical engineers practicing in this area at this time. No warranty, express or implied, is made.



CTL| T is available to discuss the contents of this letter. Please contact us if you have questions or need additional information.

CTL|THOMPSON, INC.

James D. Kellogg, P.E.
Principal Engineer
jkellogg@ctlthompson.com



Reviewed by:

Ryan R. Barbone, P.E.
Division Manager
rbarbone@ctlthompson.com

Via email: abdi@aspenbuilt.com

COAL SEAM MIXED USE DEVELOPMENT

Fiscal Impact Analysis
Revised May 13, 2025
Revised July 7, 2025
Revised October 15, 2025

Introduction

Coal Seam, LLC has prepared a fiscal impact study of the Coal Seam Mixed Use combined Preliminary and Final Plan Application. The project is located at Lot 1 of the River Park PUD, in the Town of New Castle, Colorado. Coal Seam, LLC. is proposing to develop a 71-room hotel, restaurant, 4 rental residential units, consistent with the allowed and conditional uses included in Sections 17.60.020 and 17.60.030 of the New Castle Land Use Code.

According to the Town’s Preliminary Plan checklist, a calculation of “projected ongoing revenues and costs to be received or incurred by the town as a result of development proposed in the application” is required. Such calculations shall be provided for the first 15 years after full development of the proposed subdivision.

In this analysis, revenues to be received and costs to be incurred as a result of the proposed development have been projected out to 2045 on the basis of available data and various assumptions. The projection period through 2045 is intended to capture ongoing impacts for the first 15 years following full build-out.

According to the Town’s 2024 adopted budget:

During the past few years New Castle has experienced high inflation, swiftly rising housing costs, labor shortages, high construction costs, rising operational costs, and other challenges that were not in place prior to the COVID pandemic. Despite these challenges, New Castle has been able to maintain or in some cases expand on its’ services and commitment to the community. New Castle remains committed to being fiscally responsible, forward-thinking, and protective of our strong community values. We understand why residents choose to call New Castle their home and stand determined to manage the town’s finances and resources in the best interest of those that we serve.

On the basis of various assumptions—such building cost per square foot, annual mixed-use revenue, and others—we will estimate the economic impact arising from construction of the hotel and from the mixed use commercial and rental residential units over time.

Methodology

To study the fiscal impacts of the proposed development, Coal Seam, LLC. constructed a build-out–proforma model. The number of units by type, phasing, and construction costs were used to create a build-out model of the development occurring over two years from 2026 through 2027.

The financial impacts of construction were estimated using a detailed line-item estimate based on preliminary construction bids. Total construction cost is estimated to be \$14,409,000 million, not including soft costs such as architecture. This amount was reduced to 60 percent, or \$8,645,400 million, to conservatively capture only local impact.

Property tax impacts are inferred for each type of proposed property based on comparable property assessments and using New Castle's 8.2 mill levy. The property is currently taxed as vacant commercial property and the 2024 tax burden was \$8,367.04. Once the hotel is developed, Lot 1 would be taxed as Lodging at the 5.0 percent assessment rate. Lot 2 will be taxed as commercial and residential.

The current property tax paid on this parcel is netted out of estimates of future property tax revenues. All revenues and expenses are assumed to escalate at 2.5 percent, annually.

Total property tax impacts are also estimated; these include revenue for school, water, transportation, and other jurisdictions in addition to the Town of New Castle.

Results

PROJECTED REVENUE

The proposed development includes 4 residential units made up of 1 and 2 bedroom units. This yields a slightly lower number of people per housing units, 1.75. The 4 units times 1.75 gives an estimated total of 7 residents.

The \$14.4 million construction investment modeled would generate a direct revenue impact of over \$4.8 million over 15 years of operation.

Construction Use Tax during construction, at a rate of 2% of 45% of total construction costs would yield the following estimated amounts:

Hotel	$\$10,560,000.00 \times .45 \times .02 = \$95,850.00$
Restaurant Space	$\$976,000.00 \times .45 \times .02 = \$8,775.00$
Residential Space	$\$667,200.00 \times .45 \times .02 = \$6,004.80$
TOTAL	\$14,409,000

TOTAL EST. USE TAX	\$110,629.80
---------------------------	---------------------

Water and Sewer Tap Fees to be paid during the construction phase at a rate of \$6,000.00 per water EQR and \$6,000.00 per sewer tap.

Water Tap Fee – 38.89 EQR x \$6,000/EQR =	\$233,340.00
Water Surcharge Fee	\$75,132.00
Sewer Tap Fee – 38.89 EQR x \$6,000/EQR =	\$233,340.00
Sewer Surcharge Fee	\$100,176.00
Dedication Fee	\$300,528.00
TOTAL	

TOTAL COMBINED WATER AND SEWER TAP FEES	\$942,516.00
--	---------------------

Lodging Tax is based on a 71-room buildout. Estimated occupancy rate is 65% and the anticipated nightly rental is \$145.00.

71 Rooms x 65% =	46 average daily occupancy
46 Rooms x \$145.00 =	\$6,670 average daily revenue
\$6,670 x 365 days per year =	\$2,434,550 average yearly revenue
\$2,434,550 x 5% Lodging Tax =	\$121,727.50

TOTAL LODGING TAX YEAR ONE OF BUSINESS	\$121,727.50
---	---------------------

Restaurant Sales Tax has been calculated using an average of \$500 of revenue per square foot of restaurant/bar space per year (AI Overview). Based on a gross square footage of 2,000, the restaurant space could be anticipated to create \$1,000,000 per year in gross sales revenue. Applying the sales tax rate of 3.5% yields an anticipated yearly tax revenue of the following:

$\$1,000,000 \times 3.5\% = \$35,000.00$

TOTAL RESTAURANT SALES TAX PER YEAR	\$35,000.00
--	--------------------

Rental Apartment Property Tax has been estimated using the New Castle mill rate of .46 and an anticipated property valuation, once complete, of \$250,000 per rental apartment, times ten apartments

\$250,000 average value x 4 units =	\$1,000,000
\$1,000,000 x .01 = \$25,000 x .46 =	\$10,000.00

TOTAL PROPERTY TAX/YR. FOR 4 RENTAL UNITS	\$10,000.00
--	--------------------

Property Tax Per Year Hotel Property has been estimated using the New Castle mill rate of .46 and an anticipated property valuation, once complete of \$18,000,000

$$\$14,409,000 \times .01 = \$180,000 \times .46 = \$82,800$$

TOTAL PROPERTY TAX/YR. FOR HOTEL PARCEL	\$66,281.40
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Property Tax Per Year Parcel (less rental apartments) has been estimated using the New Castle mill rate of .46 and an anticipated property valuation, once complete of \$5,000,000.

$$\$5,000,000 \times .01 = \$50,000 \times .46 = \$23,000.00$$

TOTAL PROPERTY TAX/YR. FOR OFFICE PARCEL	\$23,000.00
---	--------------------

Incremental General Fund Revenue is extrapolated from the estimated revenue and number of new residents in the development. This is revenue that results from 4 residential units with an average occupancy of 2.56 persons per unit for a total of 7 residents. Taking an average of 2021 actual through 2024 budget, we find an average of \$1,073 per person.

$$7 \text{ residents} \times \$1,073 = \$7,511.00/\text{year.}$$

TOTAL INCREMENTAL REVENUE	\$7,511.00
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INITIAL REVENUE PER YEAR

<u>CONSTRUCTION PHASE</u>	
ANNUAL REVENUE TO NEW CASTLE – YEAR TWO WITH CONSTRUCTION USE TAX, WATER AND SEWER TAP FEES	
TOTAL	\$1,0563,145.80
<u>OPERATIONS PHASE</u>	
ANNUAL REVENUE TO NEW CASTLE – YEAR THREE	
TOTAL	\$263,5619.90

ANNUAL REVENUE

YEARS 3 THROUGH FIFTEEN

Year 3	\$263,519.90	Year 10	\$313,242.35
Year 4	\$270,107.90	Year 11	\$321,073.41
Year 5	\$276,860.60	Year 12	\$329,100.25
Year 6	\$283,782.11	Year 13	\$337,327.54
Year 7	\$290,876.66	Year 14	\$345,760.95
Year 8	\$298,148.59	Year 15	\$354,404.98
Year 9	\$305,602.30		
TOTAL REVENUE OVER 15 YEARS			\$3,989,807.54

PROJECTED EXPENSES

The incremental increased costs incurred by the Town are estimated by taking the average general fund expenditure per person for the years 2021 to 2024 budget (\$985 per person). This has used to establish an estimated expense per year for the proposed projects, all uses, beginning in year three, the first year of operation. It too can be appreciated over a fifteen-year period at a rate of 2.5%.

Residential Uses

4 units projected to house 7 residents

7 residents x \$985.00 per resident = \$6,895.00 per year

TOTAL RESIDENTIAL EXPENSE \$6,895.00/YEAR

Hotel Use

The proposed hotel has 71 rooms with an anticipated average occupancy rate of 65%. This yields an average nightly room rental of 46 units. The average unit is occupied by 2 people. The average stay is 12 hours, or .5 of a day.

46 rooms x 2 residents x .5 = 46 residents

46 residents x \$985.00 per resident = \$45,310.00 per year

TOTAL HOTEL RESIDENTIAL EXPENSE \$45,310.00/YEAR

Restaurant Use

The restaurant is anticipated to seat 60 people. Primary hours of operation are anticipated to be between 5:00 pm and 11:00pm or 6 hours or .25 of a day of use. It is anticipated that an average stay per user is 1.5 hours, or 4 turnovers per table. The anticipated occupancy on an average basis is 66% or 40 people.

40 People x .25 = 10 full time equivalents

10 full time equivalents x \$985.00 per equivalent = \$9,850.00/year

TOTAL RESTAURANT EQUIVALENT RESIDENT EXPENSE \$9,850.00/YEAR

TOTAL YEARLY EXPENSE TO THE TOWN, YEAR 3 \$62,055.00/YEAR

**ANNUAL EXPENSE
YEARS THREE THROUGH 15
at 2.5% Annual Increase**

Year 3	\$62,055.00	Year 10	\$73,763.89
Year 4	\$63,606.38	Year 11	\$75,607.99
Year 5	\$65,196.53	Year 12	\$77,498.19
Year 6	\$66,826.45	Year 13	\$79,435.65
Year 7	\$68,497.10	Year 14	\$81,421.54
Year 8	\$70,209.54	Year 15	\$83,457.07
Year 9	\$71,964.77		
TOTAL EXPENSE OVER 15 YEARS			\$939,540.10

SUMMARY

	Revenue to Town	Expense to Town
Construction Phase 1	\$1,053,145.80	\$0.00
Operation Phase 2, Year 3	\$263,519.90	\$62,055.00
Operation Phase 2, Fifteen year	\$3,989,807.54	\$939,540.10

**EMPLOYEE HOUSING PLAN AND AGREEMENT
BETWEEN COAL SEAM, LLC AND THE TOWN OF NEW CASTLE, COLORADO**

THIS employee Housing Plan and Agreement (this “Agreement”) is made and executed this _____ day of _____, 2025 (the “Effective Date”), by and between **COAL SEAM, LLC**, a Colorado limited liability company and/or its assigns (the “Owner”), whose principal office is 1101 Village Rd. #LL 1B, Carbondale, CO 81623, and the **Town of New Castle, Colorado**, a Colorado municipality (“Town”), by its Board of Trustees, whose address is 450 W. Main Street, New Castle, CO 81647.

RECITALS

WHEREAS, Owner is the owner of Lot 1, Parcels 1A and 1B depicted on the Final Plat (“Property”), which is being developed by Coal Seam, LLC (“Developer”); and

WHEREAS, on _____ the Town, by Resolution No. _____ approved the Final Plat for the Coal Seam PUD Subdivision, recorded on _____ as Reception No. _____ (the “Final Plat”); and

WHEREAS, on _____ the Town, by Resolution No. _____ approved the site plan and construction of a 71-room hotel in addition to three mixed use buildings including 10 apartments on the Property (the “Campus”); and

WHEREAS, although the Town of New Castle Code does not currently require the provision of employee housing units as part of the approval process for the PUD, the Owner has voluntarily agreed to provide eight (8) residential units for rental use by employees of the Campus in an effort to mitigate local housing deficiencies; and

WHEREAS, the Parties desire to set forth the terms and conditions memorializing how the residential rental units will be occupied as employee rental units.

NOW THEREFORE, in consideration of the mutual covenants and promises contained herein, the parties agree as follows:

A. Rental Units.

1. Within the Campus there are 8 residential apartments, consisting of five studio units; three 1-bedroom units, which are set forth on Exhibit A. Owner agrees to restrict the apartments as employee rental units (“Rental Units”) according to this Agreement.

2. Upon the issuance of a Certificate of Occupancy, the Rental Units will be offered for lease on an annual basis, under a Lease Agreement that conforms with the State of Colorado statutes.
3. . First preference potential tenants shall be employees of the Campus (“Campus Employees”). Second preference potential tenants shall be employees of the Town of New Castle (“Town Employees”). In the event there are not any Campus Employees or Town Employees desiring to lease within the Campus, the Owner shall have the right to rent to anyone regardless of how or where they are employed (“Free Market Tenants”). The monthly rental for all Units may be set at prevailing market rental rates.

B. Allocation; Notice of Vacancy; Application Process.

1. Prior to the issuance of a Certificate of Occupancy, the Rental Units will be offered to qualified Campus Employees, such as employees of the Hotel, Restaurant or other commercial or retail businesses at the prevailing market rental rate as determined by the Owner. As vacancies occur, the Owner shall have the right to first offer the Rental Unit to other perspective Campus Employees.
2. In the event there are no Campus Employees desiring to rent the unit, the Owner shall provide 30 days’ written notice (“Vacancy Notice”) to the Town. The Town will then have the authority and opportunity to designate a qualifiable Town employee as a perspective tenant, at the prevailing market rental rate as determined by the Owner.
3. Within 14 days of receiving the Vacancy Notice from Owner, the Town shall provide Owner with the name and rental application of the Town Employee it desires to provide the opportunity to lease the Rental Unit to. The Owner has the right to conduct a reasonable investigation of any proposed tenant, and may accept or reject the proposed tenant in any manner as allowed by Colorado statute.
4. If the proposed Town Employee is rejected by the Owner, the Town shall have an additional 7-day time period to find a second perspective Town Employee. If the Town does not designate a Town Employee with the above-described time periods, or if the Owner reasonably rejects the second perspective Town Employee, the Owner shall have the right to lease that Rental Unit for a period of 12 months to a Free Market Tenant at the prevailing rental market rate. Upon vacancy of the Free Market Tenant, and if there is not a Campus

Employee to fill the vacancy, Owner shall re-offer the Rental Unit to the Town pursuant to the procedure described above.

C. Management.

1. All residential tenants, whether they are Campus Employees, Town Employees or Free Market Tenants, shall sign the same Lease Agreement and shall be subject to the same rules and restrictions as other occupants of the Project.
2. Owner reserves the right to terminate any tenant's Lease Agreement for cause, including unreasonable interference with other tenants' quiet enjoyment, substantial violations as described by the lease or applicable law, or nonpayment of rent. In the event a tenant is removed or evicted, and there is not a perspective Campus Employee available, the Owner shall provide written notice to the Town, which will have a 14-day period to provide the Owner with a perspective Town Employee's name and rental application.
3. If the proposed Town Employee is rejected by the Owner, the Town shall have an additional 7-day time period to find a second perspective Town Employee. If the Town does not designate a Town Employee with the above-described time periods, or if the Owner reasonably rejects the second perspective Town Employee, the Owner shall have the right to lease that Rental Unit for a period of 12 months to a Free Market Tenant at the prevailing rental market rate. Upon vacancy of the Free Market Tenant, Owner shall re-offer the Rental Unit to the Town pursuant to the procedure described in paragraphs B 4 and B 5 above.

D. Other Provisions

1. All notices required or permitted hereunder or under any related agreement or instrument shall be deemed delivered when delivered personally, electronically, or two days after mailing via certified mail, return receipt requested, or registered mail, to a party at the address set forth below or to such address as a party may in writing hereafter direct:

Owner:

Coal Seam, LLC
Attention: Abdi Pirzadeh
1101 Village Rd. #LL 1B,
Carbondale, CO 81623

abdi@aspenbuilt.net

Town of New Castle:

David Reynolds, Town Administrator
P.O. Box 90
New Castle, CO 81647

dreynolds@newcastlecolorado.org

2. This Agreement, including Owner's commitment to provide any type of Rental Units, shall automatically expire twenty (20) years after the issuance of a certificate of occupancy for the first Rental Unit (the "Expiration Date"). If the Town wishes to extend this Agreement after the Expiration Date, the Town shall approach Owner (or its successors or assigns) prior to the Expiration Date, and the Town and Owner shall re-negotiate in good faith the terms of a renewed Employee Housing Plan and Agreement for the Project.
3. This Agreement may be recorded as a covenant against the Property. This Agreement shall be binding upon the parties hereto and their successors, personal representatives, heirs, and assigns. This Agreement and the other documents related hereto set forth the entire subject matter of the parties' agreement with respect to the subject matter hereof, and may not be amended or modified except by a writing executed by all the parties. This Agreement shall be governed in all respects by the laws of the State of Colorado, with venue for any disputes in Garfield County. In the event any provision of this Agreement is found by any court or other authority of competent jurisdiction to be illegal or unenforceable, such provision shall be severed or modified to the extent necessary to render it enforceable, and as so severed or modified this Agreement shall continue in full force and effect. This agreement may be executed in counterparts, which taken together shall constitute a single original. Facsimile signatures hereon shall be deemed the same as original signatures. Headings herein are for descriptive and reference purposes only, and shall not affect or define the terms hereof.

In witness whereof, the Parties have executed this Employee Housing Plan and Agreement as of the date first written above.

OWNER:

Coal Seam, LLC:

By: _____
Abdi Pirzadeh, Manager

**TOWN OF NEW CASTLE, COLORADO
RESOLUTION NO. PZ 2025-2**

**A RESOLUTION OF THE NEW CASTLE PLANNING AND ZONING
COMMISSION RECOMMENDING CONDITIONAL APPROVAL OF A FINAL
SUBDIVISION PLAT AND PRELIMINARY/FINAL PUD DEVELOPMENT
PLAN APPLICATION FOR RIVERSIDE PARK LOT 1**

WHEREAS, Coal Seam, LLC (“Applicant”) owns certain real property within the Town of New Castle, Colorado (the “Town”) described in the attached Exhibit A; and

WHEREAS, the Property is zoned Highway Business as part of the Riverside Park PUD as provided in Ordinance #99-5; and

WHEREAS, on September 27, 2023, pursuant to Section 17.100.050(A) of the Town Municipal Code (“Code”), the Planning Commission (P&Z) voted unanimously to allow Applicant to submit a combined Preliminary/Final PUD Plan application with the condition that the preliminary and final application steps be considered separately if P&Z finds the combined application to be insufficient for final approval; and

WHEREAS, Applicant submitted a combined Preliminary/Final PUD Plan application together with an application for a lot split and variances (collectively, the “Application” as further defined below), which Application was deemed complete on April 11, 2025; and

WHEREAS, the Applicant intends to develop the Property and the public improvements associated with the same in one phase; and

WHEREAS, the Town of New Castle Planning & Zoning Commission (“Commission”) held a duly noticed public hearing on May 28, 2025, which was continued to July 23, 2025, and again to December 10, 2025, all with Applicant’s consent, to consider the Application; and

WHEREAS, after the public hearing was continued on July 23, 2025, Applicant amended the Application; and

WHEREAS, as amended, the Application proposes the construction of a 71-room hotel, a restaurant, and 4 employee residences, on a 5.84-acre lot; and

WHEREAS, the Commission has considered the Application materials (as amended), testimony, and other evidence from Staff, the Applicant, and members of the public concerning the Application; and

WHEREAS, based on the Application, testimony, and other information presented, subject to compliance with the terms and conditions of this Resolution, the Commission

finds that the Application complies with the following review criteria set forth in Sections 17.100.050(H) and .060(F) of the Code:

1. Consistency with the comprehensive plan;
2. Compliance with zoning and density requirements;
3. Compatibility to neighboring land uses;
4. Availability of town services from public works (including water and sewer services), fire, and police;
5. Adequacy of off-street parking and vehicle, bicycle, and pedestrian circulation;
6. Required open space or parks designed for active or passive use by residents of the subdivision and the public; and
7. Development consistent with the natural character, contours, and viewsheds of the land

WHEREAS, the Commission now desires to recommend that Town Council approve the Application as provided in this Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF NEW CASTLE, COLORADO:

1. Recitals. The foregoing recitals are incorporated by reference as findings and determinations of the Planning and Zoning Commission.
2. Definition of the Application. The “Application” consists of the documents and information identified on Exhibit B, plus all representations of and other documents presented by the Applicant reflected in the recordings and minutes of the Planning and Zoning Commission public hearing that was opened on May 28, 2025, continued to July 23, 2025, and again to and closed on December 10, 2025.
3. Recommendation regarding Final Plan: The Final Plan proposes:
 - a. The development of a 71-room hotel, a restaurant, and 4 employee residences, as depicted on the site plan prepared by RED dated October 30, 2025 (the “Site Plan”), and as otherwise described in the Application, including the most updated versions of all architectural renderings, elevations, and floorplans;
 - b. Use and other zoning standards including parking requirements, maximum height, and setbacks as described and depicted on the Site Plan;
 - c. The subdivision of the Property into two lots as shown on the subdivision plat included in the Application; and
 - d. Any amended final plats or condominium maps for the mixed-use spaces will be submitted for approval at the staff level, provided that the amended final plats or condominium maps and mixed-use buildings are in substantial conformance with the approved Application.

The Commission hereby recommends approval of the Final Plan with the elements described in 3a – d, above, subject to compliance with all conditions set forth in Section 6 of this Resolution.

4. Zoning. If Town Council approves the Final Plan, the Commission recommends that the development and use of the Property be subject to the following restrictions and requirements:

- a. The restrictions and requirements of the Final Plan;
- b. Those restrictions and requirements of the Highway Business Zone District that are not covered by the Final Plan. In the event of a conflict between the Final Plan or Final Plat of the Property and the Highway Business Zone district regulations, the Final Plan and Plat shall control;
- c. All other applicable provisions of the Code; and
- d. All applicable Ordinances of the Town.

5. Subdivision. Applicant has submitted the Final Plat for the Property, which proposes to subdivide the Property into two lots, Lot 1A and Lot 2B. The Commission recommends approval of the Final Plat, subject to compliance with the applicable conditions set forth in Section 7 of this Resolution.

6. Conditions. Approval of the Application is subject to and contingent up on satisfaction of the following conditions:

- a. Prior to Council review, Applicant shall add the list of permitted and conditional uses and maximum building height to the Site Plan.
- b. Prior to Council review, the Applicant shall demonstrate compliance with all recommendations of the Town Engineer, Town Public Works Director, Town Attorney, and Fire Marshal provided in response to review of the Application.
- c. Prior to issuance of a building permit, final construction drawings shall demonstrate compliance with the building heights included in the approved application materials.
- d. Prior to issuance of a building permit, all construction drawings subject to the provisions of the International Fire Code or matters requiring fire alarms and/or fire suppression shall be submitted to the Fire Marshal for review and comment.
- e. Parking lot lighting should be on timers to reduce the light duration at night while maintaining security lighting as needed.

- f. Prior to Council review, Applicant shall provide designs for all trash dumpsters/enclosures that extend six feet high and include a bear-resistant latching mechanism.
- g. The form of the declaration of covenants for the Property shall be finalized and address any Town Attorney comments before consideration of the Application by the Town Council. Recordation of the declaration of covenants shall be accomplished at or before recording of the final plat.
- h. A parking management plan shall be added to the covenants prior to consideration by Town Council with provisions for reserved parking for the residential units.
- i. The Town and Applicant shall enter into a subdivision improvements agreement (“SIA”) containing an engineer’s stamped cost estimate of public improvements approved by the Town Attorney. The form of the SIA shall be finalized before consideration of the Application by Town Council. Recordation of the SIA shall be accomplished at or before recording of the Final Plat.
- j. Provide a construction phasing plan for inclusion in the SIA as necessary that incorporates, at minimum, each of the following components:
 - i. A buildout phasing plan (if necessary);
 - ii. A schedule that identifies the sequencing of construction, sequencing of occupancy, traffic flow, and traffic control plans during construction;
 - iii. Storage and staging areas for construction equipment and materials;
 - iv. Drainage and erosion control best management practices (BMP’s);
 - v. Applicant’s conformance with all requirements and specifications approved by the fire marshal concerning temporary access to the project; and
 - vi. A dust and weed management plan;
- k. Landscaping shall incorporate native grasses and plants that minimize maintenance, mowing, and irrigating. The final landscape plan shall be approved by Public Works prior to issuance of a building permit.
- l. As depicted in the Application, an unimproved, single-track trail system shall be made available for patrons of the development as well as to the general public. The Town may consider building a trail connector between the trail system on the Property and the current trail system at Grand River Park.
- m. All disturbed areas in the project shall be revegetated prior to the 1st growing season following the completion of the entire project and maintained in a predominantly weed free condition.
- n. All representations of the Applicant made verbally or in written submittals presented to the Town in conjunction with the Application before the Commission or Town Council shall be considered part of the Application and binding on

the Applicant.

- o. The Applicant shall reimburse the Town for any and all expenses incurred by the Town regarding this approval, including, without limitation, all costs incurred by the Town's outside consultants such as legal and engineering costs.
 - p. The sale of individual lots, parcels, or units may not occur until a plat creating the lot, parcel, or unit is recorded with Garfield County and security for the public improvements has been received by the Town.
7. Severability. Each section of this Resolution is an independent section and a holding of any section or part thereof to be unconstitutional, void, or ineffective for any cause or reason shall not be deemed to affect the validity or constitutionality of any other section or part hereof, the intent being that the provisions of this Resolution are severable.
8. Effective Date. This Resolution shall be effective upon adoption.

SO RESOLVED this 10th day of December, 2025, by a vote of ____ to ____.

TOWN OF NEW CASTLE
PLANNING & ZONING
COMMISSION

Chuck Apostolik, Chairman

ATTEST:

Michelle Huster Professional
Assistant to the Town Clerk

Exhibits:

- Exhibit A: Legal Description
- Exhibit B: List of Application materials

EXHIBIT A
Legal Description

LOT 1
Riverside Park Subdivision, according to the plat thereof filed July 12, 1999, as Reception
No. 548663

EXHIBIT B

Preliminary/Final PUD Application Materials

- a. Applicant Final Plan Application – March 21st, 2025 (original submission), plus amendments and supplements submitted through December 10, 2025
- b. CRFR Fire Marshal Referral, Orrin Moon – March 13th, 2025
- c. Town Engineer Comments, Jefferey Simonson – March 8th, 2025; updated December 2, 2025
- d. Civil plans redlined by Town Engineer – December 2, 2025
- e. Town Public Works Director Comments, John Wenzel – March 15th, 2025
- f. Public Hearing Notice, with Legal Description for Final Plan P&Z – April 25th, 2025
- g. Applicant written responses to Town Engineer comments – October 30, 2025

MEMORANDUM

To: New Castle Planning & Zoning Commission

From: Garfield & Hecht, P.C.

Date: December 3, 2025

RE: HB25-1295 and the Town of New Castle’s food truck regulations

Recently, interest in food trucks has increased in New Castle, which is on-trend with the rest of the state. As such, on August 5, 2025, Town Council conducted a work session to review policies and regulations other jurisdictions typically impose on food trucks to evaluate if there was a need for New Castle to adjust its regulations. Council also discussed House Bill 25-1295 (“HB25-1295”). In this bill, the legislature found that requiring food trucks to obtain separate permits and licenses to operate in multiple jurisdictions imposed a significant burden on those businesses, so it created statewide reciprocity standard for certain permits and licenses all food trucks are required to obtain.

There were three take-aways from Council’s work session. First, Council thought it was important to differentiate between temporary food trucks and those that are semi-permanent. That is, temporary food trucks should not have to go through the CUP process, but the Code isn’t clear on that point. Second, while HB25-1295 does not require the Town to make any changes to the Code, it does provide a definition and terminology for “food trucks” and a clear source of permitting requirements that would be helpful to incorporate into the Code. Finally, while Council discussed several policies and topics surrounding food truck regulation (e.g., setbacks, operating hours, noise/trash standards, etc.), the consensus was not to put these regulations into the Code but, rather, to either develop a set of guidelines or continue to address these issues on a case-by-case basis through the CUP process. This is a topic that would benefit from further discussion and guidance from the Commission.

We have prepared a resolution proposing certain amendments to Title 17 to address the feedback received from Council discussed above. If there are other Code changes regarding food trucks the Commission feels would be beneficial, we can amend the resolution at the meeting to include them. We look forward to discussing the resolution and additional food truck topics on December 10th.

**TOWN OF NEW CASTLE, COLORADO
RESOLUTION NO. PZ 2025- 5**

**A RESOLUTION OF THE NEW CASTLE PLANNING AND ZONING COMMISSION
RECOMMENDING THE AMENDMENT OF PROVISIONS OF TITLE 17 OF THE TOWN
MUNICIPAL CODE CONCERNING FOOD TRUCKS**

WHEREAS, pursuant to Chapter 17.08 of the New Castle Municipal Code (“Code”), the Town of New Castle (“Town”) has established a Planning & Zoning Commission (“Commission”); and

WHEREAS, pursuant to Section 17.92.030(B) of the Code, the Commission must consider and provide a recommendation regarding amendments to Title 17 of the Code; and

WHEREAS, Chapter 17.36 of the Code establishes the use, dimensional, and other zoning regulations for the C-1 commercial zone district; and

WHEREAS, “mobile vending carts or stands,” commonly known as food trucks, are among the listed conditional uses in the C-1 district; and

WHEREAS, interest in both temporary and semi-permanent “food trucks” within the Town has increased, and the Colorado General Assembly has enacted new legislation concerning food truck permitting; and

WHEREAS, the Code does not currently differentiate between food trucks that will be used on a temporary vs. semi-permanent basis, and Town Council has recommend that the Code be updated to clarify what permitting process applies to temporary vs. semi-permanent food trucks; and

WHEREAS, in accordance with Section 17.92.030(B) of the Code, the Commission held a public hearing on December 10, 2025, to consider whether the Code should be amended to address recent state law changes concerning food trucks and to clarify the land use procedures applicable to food trucks; and

WHEREAS, based on the testimony and evidence presented at the hearing, the Commission now desires to recommend that the Town Council approve certain amendments to Chapters 17.04 and 17.36 of the Code as set forth below.

NOW, THEREFORE, BE IT RESOLVED BY THE NEW CASTLE PLANNING AND ZONING COMMISSION AS FOLLOWS:

1. Recitals. The foregoing recitals are incorporated by reference herein as findings and determinations of the Commission.
2. Recommendation. The Commission recommends that the following sections of the Code be amended as set forth below, with added language in **bold** and *italics* and removed language ~~stricken~~:

17.04.050 – Definitions

“Mobile Food Establishment” means a retail food establishment that (a) is operated from a movable, motor-driven, or propelled vehicle, portable structure, or watercraft; (b) can change location; and (c) is intended to physically report to and operate from a commissary kitchen for servicing, restocking, and maintenance.

17.36.050 – Conditional Uses

...
B.

...

16. ~~Mobile vending carts or stands~~ ***Mobile Food Establishments that will remain on and operate from the same lot or parcel for more than fourteen (14) days in any three hundred sixty-five day period.***

D. Mobile Food Establishments that will operate from one or more locations for fourteen (14) days or less at any one time shall not be required to obtain a conditional use permit but must obtain a special event license as set forth in Section 5.04.050 for each operating event. Any Mobile Food Establishment, whether operating under a conditional use permit or special event permit, shall be subject to the requirements of C.R.S. §§ 29-11.6-101, et seq., and any Mobile Food Establishment guidelines adopted by the Town, as either may be in effect from time to time.

3. Effective Date. This Resolution shall be effective upon adoption.

THIS RESOLUTION PZ 2025-___ was adopted by the New Castle Planning and Zoning Commission by a vote of ___ to ___ this 10th day of December, 2025.

TOWN OF NEW CASTLE, COLORADO,
PLANNING & ZONING COMMISSION

By: _____
Chuck Apostolik, Chair

ATTEST:

Michelle Huster, Professional Assistant
To the Town Clerk

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New Castle, Colorado
Planning and Zoning Commission
Wednesday, November 12, 2025, 7:00 PM

Call to Order

Chair Apostolik called the meeting to order at 7:01 p.m.

Roll Call

Present Chair Apostolik
Commissioner Cotey
Commissioner A. Riddile
Commissioner Parks
Commissioner McDonald
Alternate Commissioner Mahaffey

Absent Commission Alternate Rittner
Commissioner Westerlind
Commissioner Sass

Also present at the meeting were Town Planner Paul Smith, Town Administrator David Reynolds and Professional Assistant to the Town Clerk, Michelle Huster.

Meeting Notice

Professional Assistant Michelle Huster verified that her office gave notice of the meeting in accordance with Resolution TC 2025-1.

Conflicts of Interest

There were no conflicts of interest.

Citizen Comments on Items NOT on the Agenda

There were no citizen comments.

Items for Consideration

Discuss potential mixed-use proposal for Walters Center

Town Planner Paul Smith opened the discussion about Mustang Commercial's Walters Center property located just north of McDonald's. Planner Smith introduced Magnus Grimmatt, Jeff Barbles (who joined via Zoom), along with Corey Neilson who represented the ownership group. The applicants wanted a discussion with the commission before submitting the application. Planner Smith said the applicants made a few updates and implemented the commissions suggestions after meeting with Planner Smith and Town Administrator, David Reynolds. Planner Smith said they wanted to share alternative styles of buildings, address questions the commission had about trails and pedestrian friendliness.

Planner Smith presented his memo (**Exhibit A**).

1 **To:** Planning Commission
2 **From:** Paul Smith
3 **Re:** P&Z – Discuss potential mixed use proposal for Walters Center with owner
4 Mustang Commercial
5 **Date:** 11/12/2025
6

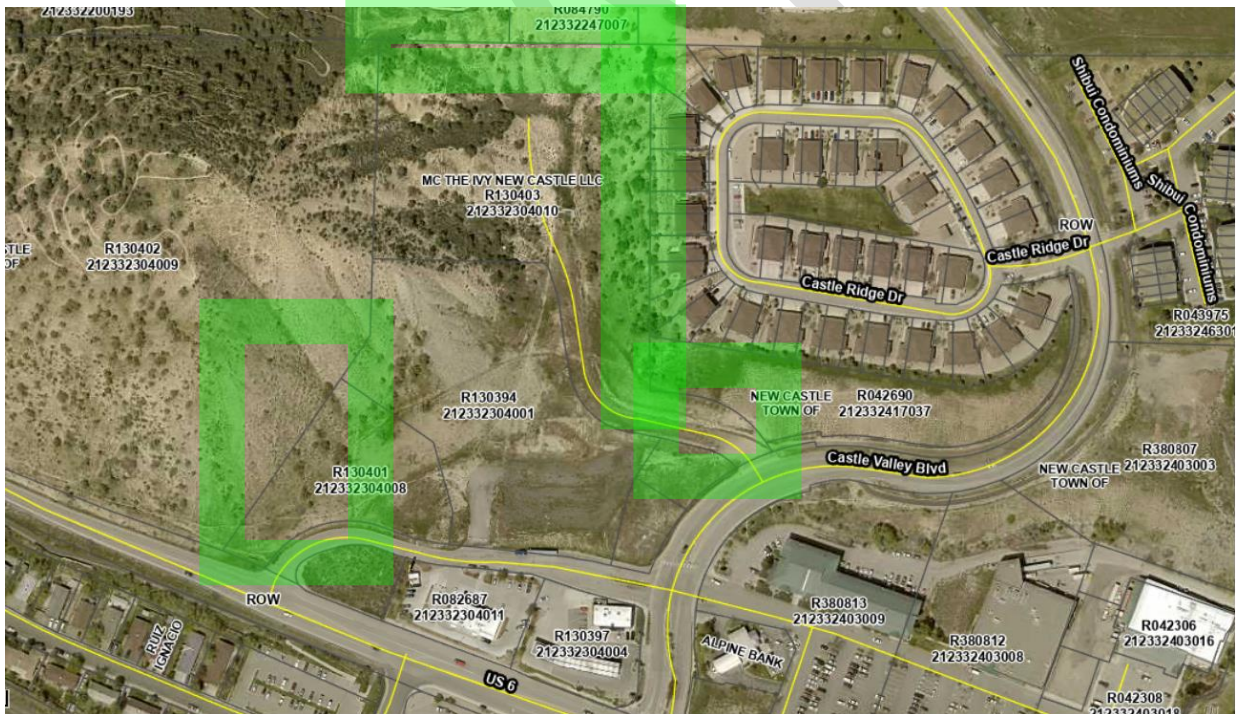
7 **Purpose:**

8 After a preliminary meeting on August 22nd, 2025, Mustang Commercial has requested
9 additional time with the Planning Commission for feedback on updates to their mixed
10 use proposal at the Walter's Property. The proposal contemplates 66 residential
11 apartments in six buildings and approximately 10,800sf of commercial space on three
12 pad sites. The property is currently approved for 67 residential units with eight
13 commercial lots. The proposal would be considered a major amendment.

14 At present, Mustang Commercial has not submitted a formal application but is only
15 requesting comment on the site plan and design before incurring significantly more
16 cost impacts.

17 Thank you,
18 Paul

19



20

21

22 Planner Smith said the applicants have not submitted an application, but when they
23 do, the proposed changes would be considered a major amendment to the 1996
24 application. Planner Smith stated in the code, when there is already a PUD, or approval

1 that is overriding a property, and P & Z decides to amend the approval, there are three
2 types of amendments. Planner Smith said the first type of amendment is a de minimis,
3 or administrative change that is at the staff level. Therefore, the applicant would be
4 asking for approval to change several parts of the site plan. Planner Smith said that
5 when an actual application is submitted, it would be considered a major amendment to
6 the existing 1996 Planned Unit Development (PUD) approval, requiring a final
7 application process with recommendations from P & Z before proceeding to town
8 council. Planner Smith emphasized that this was not a formal application or decision-
9 making meeting, but rather a continuation of preliminary discussions about potential
10 changes to the Walter Center's property

11 Planner Smith said the original PUD was approved for a mixed use zoning. **(Exhibit B**
12 **page 6)**. Planner Smith said that the current application showed commercial use in
13 the flatter area near Walters Center Lane and residential in the drainage area above.
14 At the time of approval, the applicant contemplated mixed use on the commercial area
15 however they changed one significant piece. Planner Smith said in 1996 the applicants
16 were approved for 60 units considered in the area with residential apartments or
17 condominiums on top of the commercial space with up to 7 units of single-family units
18 in the drainage area. Planner Smith said the applicant was asking to amend that
19 application and move the residential out of the commercial entirely and put 67
20 residential units into the cul-de-sac. Planner Smith said they would consider dropping
21 the original number of 67 residential units down to 66 and relocating the units to the
22 north end of the property.

23 Planner Smith said one enhancement to the original approval would be the dedication
24 of Walter Center Lane to the town, meaning a public amenity that the town would own
25 and maintain moving forward. Planner Smith said more specific uses to the
26 commercial areas had been discussed, as well as a change from single family to
27 multifamily units. Planner Smith said the road hadn't been changed much from the
28 original PUD. Commissioner Cotey disagreed and said it came through from the
29 opposite side in the sketch plan originally as opposed to coming off Castle Valley
30 Boulevard in this recent discussion. Commissioner Cotey said in the 1996 approval,
31 the road was coming off from the west versus proposed road coming off to the east.
32 Commissioner Cotey said the first time the road to the east was proposed was in a
33 2007 application that was not approved. Planner Smith asked Commissioner Cotey
34 what the difference was in the 1996 version. Commissioner Cotey said it weaved more,
35 but hard to tell because there was not a lot of detail in that application. Planner Smith
36 said there was not a clear picture from 1996, and there was supposed to be another
37 layer of subdivision approval that did not happen with the upper lots. Commissioner
38 Cotey asked if they only got through the sketch plan and if everything else was written
39 in an entitlement package. Planner Smith said there were proposals to move forward,
40 but he did not know all the details as to why it did not move forward. Planner Smith
41 said that a subdivision approval was another step that had to be completed before
42 construction started in 1996 and it did not. Commissioner Cotey asked if that was not
43 completed and Planner Smith said it was not completed and they started seeing
44 different plans until early 2000. Commissioner Cotey said there was another sketch
45 plan from 2007 that introduced more density up the valley of this site but was never
46 approved. Commissioner Cotey asked for clarification on which sketch plan he was
47 going off, 1996, or 2007. Planner Smith said the 1996 version. Commissioner Riddile
48 said he was on council in 2007 when the sketch plan came up and one of the issues

1 that they had was the dedicated land use for the parks because of the slope of the hill.
2 Commissioner Riddile said he did not know what the slope of the hill was but wanted to
3 share the issue with the commission. Commissioner Cotey wanted to note that density
4 on the original sketch plan almost did not pass, and more was being added to the new
5 site discussion plan.

6 Planner Smith said the idea of mixed use property has always been in the site plan and
7 the density as far as number of residential units and commercial square footage was
8 the same. The change to the site plan was moving the residential into more severe
9 topography. Planner Smith said the topography might affect road slopes, pedestrian
10 access to bike trails, and walkability. Planner Smith said he and Alternate
11 Commissioner Mahaffy also with New Castle Trails were looking at the proposal for
12 single track access from the Prendergast Trail.

13 Mr. Grimmitt said he wanted to review Mustang Commercial's vision for the proposed
14 development. Mr. Grimmitt said his company has taken P&Z's recommendations and
15 ideas for parking, walkability and connectivity allowing existing trail users and potential
16 residents access through the commercial to the residential areas with transport links
17 on the south side of the proposed development. Mr. Grimmitt has addressed concerns
18 about snow removal, the HVAC system, and concerns with building height on the
19 residential side. Mr. Grimmitt said he wanted to come back and provide an updated
20 look to the proposed development before submitting a formal application.

21 Commissioner Cotey asked the applicant what the current road grades were for this
22 sketch. Mr. Grimmitt said 10 percent with a small section of 11.7 percent.
23 Commissioner Cotey asked the applicant how those comply with the Town's standards
24 and said 8 percent is the max. Planner Smith agreed 8 percent is the standard and had
25 a conversation with the Public Works Director John Wenzel who is willing to accept 10
26 percent in a phone conversation, but has not gotten a response for the 11.7 percent.
27 Planner Smith said the area with the steeper grade was about 50 feet at the north end
28 of the cul-de-sac. Planner Smith showed the grades on the residential road cut,
29 **(Exhibit E)**. Planner Smith said if the town is not willing to accept the road grade, the
30 town doesn't have to accept it as a public road. Planner Smith said if Council or P&Z do
31 not accept the road grade slope it is a different process. Commissioner Cotey said this
32 is not an application therefore they are unable to review.

33 Commissioner Cotey was interested in knowing some best practices around road
34 grades and the reason 8 percent is typically the maximum. Commissioner Cotey said
35 she had seen driveway slopes in the 10-12 percent range; however, they were in a
36 rural area. Commissioner Cotey said if she knew the best practices it would help the
37 commission understand the concerns with steeper slopes and the mitigation that could
38 be put into place to ensure safety. Commissioner Parks commented that the sidewalks
39 would not be ADA compliant with that slope and Commissioner Cotey agreed. Planner
40 Smith said the path of travel from a parking space to an entry is the only consideration
41 for ADA Compliance. Commissioner Cotey said the health and safety of the community
42 with accessible paths of travel are important to her. Mr. Barbles said it is almost
43 impossible to do anything in that 11.7 grade section but considered putting steps at
44 the 11.7 grade area with a ramp. Mr. Barbles said there would be a maximum of two
45 small steps in two areas to the north of the cul-de-sac. Planner Smith asked the
46 applicants if the grade was greater than 8 percent and if the sidewalk matched the
47 road grade in the cul-de-sac. Mr. Grimmitt said he understood the sidewalks matched

1 the road grade and said it would be easier to change the sidewalk grade than the road
2 itself.

3 Commissioner Riddile asked for a comparison of Castle Valley Boulevard's grade and
4 the adjacent sidewalk trail from City Market Plaza is to the Shibui for a future P&Z
5 discussion. Planner Smith said he would guess that grade to be not more than 8
6 percent but said a few sections of road up Blackhawk and Castle Valley Boulevard.
7 climb to 10 percent. Planner Smith said C Avenue is almost 17 percent.

8 Commissioner Cotey asked the applicants why they changed the 1996 application
9 where most of the density was on the flatter portion of the site and a larger structure
10 is more ideal. Commissioner Cotey said the large structures fight the grade with
11 buildings that step up the mountain. Mr. Grimmitt said the new proposal is a more
12 elegant solution to allow separation between the commercial and residential. Mr.
13 Barbles said the building, approved in 1996, had a 25000-foot footprint, with three to
14 four stories above it. Mr. Barbles said retailers no longer like residential above
15 commercial space except in places like New York City with high density. Commissioner
16 Cotey said it works. Mr. Barbles said with residential above the commercial; parking is
17 difficult because residents cannot park close to the unit. Mr. Grimmitt said Willits does
18 have residential above commercial in Willits, however he said it is not universally
19 popular anymore because restaurants need to close before 10:00 p.m. Mr. Grimmitt
20 said that the residences put pressure on businesses and it is not enjoyable for the
21 proprietors. Commissioner Cotey said she understands that but said there is a design
22 solution that could make density lower, so they are not fighting the grade while
23 keeping the residential and commercial separate. Mr. Grimmitt asked Commissioner
24 Cotey if there was any interest in having residential on top of commercial and
25 Commissioner Cotey said not necessarily but preferred to not stack sixty units up the
26 terrain. Commissioner Cotey said it was difficult with the plan of thirty duplex units
27 proposed in 2007 working with the grade and now they are proposing sixty large units
28 with a substantial impact to the grade. Commissioner Cotey said it feels like they are
29 putting more units in an area that is difficult to develop. Commissioner Cotey said it is
30 too dense and her concern is trying to fit into this site and keep it elegant.

31 Planner Smith asked how deep the cut would have to be on the west side of the
32 development by the upper structures (**Pg. 4 Exhibit B**). Mr. Barbles said there would
33 be two tiers of retaining walls and the slope would be held back with vegetation.
34 Planner Smith asked if all the western slope of the proposed development would be
35 altered to stabilize the slopes and the buildings. Commissioner Mahaffey asked what
36 the degree of the cut was. Mr. Barbles confirmed the slope would be cut and stabilized.
37 Commissioner Parks said the degree of cut was 1 to 1. Commissioner Cotey said a 2 to
38 1 cut was the max anywhere she has worked in the Chair Apostolik asked about the
39 storm drainage because there is a 100 percent slope to west and another to the north.
40 Chair Apostolik asked what their anticipation was based on a 50-year flood event for
41 water or a mudslide. Mr. Grimmitt said they were seeking a meeting with SGM to
42 discuss detention and water runoff. Mr. Barbles said they had not scheduled a meeting
43 until after discussion with P&Z. Commissioner Parks asked if there would be a need for
44 controlled runoff because there was an 8 foot ditch on the west side and a sidewalk
45 coming down the east side and the plan doesn't convey any control for that runoff. Mr.
46 Barbles said there is already an existing system in place but did not know the specifics.
47 Planner Smith said the engineer is looking into that and will propose solutions to the
48 westside drainage.

1 Chair Apostolik asked if the applicants would take responsibility for Walter Center
2 Lane. Mr. Grimmitt said that it was up for discussion and would like it to be up to town
3 standards. Mr. Barbles said if there is a problem or concern with the slope or grade,
4 they could keep that private. Commissioner Cotey said private roads are not ideal and
5 would like the applicants to find a solution that works for both the town and the
6 developers. Commissioner Cotey said getting closer to the 8 percent grade would be
7 appropriate. Planner Smith asked the applicants if there was an alternative for the road
8 grade and if there were other possibilities for the slope. Mr. Barbles said they have
9 worked on it with Brian at CWC and SGM and there is a small steep section to cut and
10 that would not be feasible. Mr. Barbles said they were trying to keep the buildings low
11 and, in the gulch, so they are out of sight. Mr. Barbles said putting them lower keeps
12 them from looking like huge buildings. Commissioner Cotey agreed did well with
13 stepping them into the grade.

14 Planner Smith asked the applicants what changes they made to the buildings that
15 affected their height. Mr. Barbles said the PUD was originally 78 units on the entire
16 track of 35 feet, but there were concerns about the height so they got them below 30
17 feet and that is the lowest they can go. Mr. Barbles said they changed the rooflines
18 and changed ceiling in the buildings. Commissioner Cotey asked if the garages were
19 included in the total height. Mr. Barbles said the garages are below grade and 40 feet
20 deep. Mr. Barbles said they are more than tandem and allow for storage in the garages
21 and 27 feet to the road to allow off street parking for parking for each unit.
22 Commissioner Cotey said this type of unit is appropriate but the way they fit into the
23 site is not elegant as it could be.

24 Chair Apostolik asked what the expectation for the turn lane on Castle Valley
25 Boulevard was based on density. Planner Smith said a proposed left turn lane heading
26 north on Castle Valley Boulevard to enter the property. Chair Apostolik asked if there
27 was an existing double as you come around the corner. Planner Smith said there is a
28 left turn lane already there. Planner Smith said a traffic study was performed and there
29 are several iterations of entry and exit. The one thing that has been looked at is that
30 they made alterations. Planner Smith said there is a driveway from the residential area
31 into the commercial portion of the property. Commissioner Parks asked if left turns will
32 be limited or not allowed access from Castle Valley Boulevard. Mr. Barbles said it was
33 full access because the alternative would require residents to do a U-turn on Castle
34 Valley Boulevard. Mr. Barbles said they have that access and the one behind the
35 McDonalds. Commissioner Cotey said it would be tight.

36 Commissioner Parks asked if sidewalks would extend all the way. Planner Smith
37 confirmed sidewalks are being considered. Commissioner Cotey asked the applicants if
38 they owned parcel 8 that goes down to the sidewalk, and the applicant said Ed Walters
39 owns that.

40 Commissioner Cotey said despite circulation challenges, the commercial plans are
41 strong. Mr. Barbles said there are two large patios on the side of the building and one
42 in the center. Mr. Barbles said the pad sites are conceptual at 2500 feet maximum,
43 most are 1200 to 1500 square feet. He said he liked the cutout in the center and the
44 outside area of the commercial. Commissioner Cotey said it looks like they are
45 planning for a bank and asked if there were drive arounds to the commercial units.
46 Commissioner Cotey asked if the circulation that goes around the commercial is for
47 more drop-offs or drive-throughs. **(Exhibit B Pg. 4)** Mr. Grimmitt said drive arounds

1 are dependent on tenants. Mr. Grimmitt said they had earlier interest from a bank and
2 designed a pad with drive-through lanes, now they are just placeholders, and they
3 planned to refine when they have a tenant. Commissioner Cotey asked what the
4 process would look like with the layouts once tenants are decided. Planner Smith said
5 it would be the same process as if the applicant is currently undergoing, if it would
6 require a building change, it would come back to P&Z for approval.

7 Commissioner Cotey asked if they are meeting their parking minimums. Planner Smith
8 said in addition to residential parking, there will be some parking on the public road.
9 Original sketch showed parking on the left side of the street and during an internal
10 meeting it changed parking on the right to accessing the property easier. Currently
11 parking on the right side of the public road. Commissioner McDonald asked if that is
12 included in the off-street parking, planner Smith said no, it was off street parking.

13 Commissioner Cotey said she believes they can find a middle ground solution. Mr.
14 Grimmitt said they had attempted to address some of those concerns because they
15 moved away from higher density of smaller units after feedback from Planner Smith.
16 Mr. Grimmitt said smaller units may invite transient residents as opposed to
17 permanent residents. Mr. Grimmitt said they took that into consideration and that is
18 how they chose the recent unit count. Mr. Grimmitt said they attempted to add
19 connections between residents and commercial side.

20 Commissioner Mahaffey said he liked how the overall community compared to senior
21 housing Eagle's Ridge and Shibui, fits the character of the area already. Commissioner
22 Mahaffey was concerned by the lack of solutions to the 1 to 1 grading and cutting into
23 the mountain. Commissioner Mahaffey suggested orienting the buildings, so they
24 aren't going towards the hill as much and not having to take such big cuts into the hill.
25 Mr. Grimmitt said it is difficult to comment on the engineering side of it. Commissioner
26 Mahaffey said they did not discuss what would be required to keep the 1 to 1 grade
27 but said it did not look like a good idea in his opinion.

28 Chair Apostolik asked if the units were for rent or for sale. Mr. Grimmitt said the units
29 would be condominiums for sale. Chair Apostolik suggested a solution to the grade by
30 widening the entry off the west side from Walter's Lane and eliminating access from
31 Castle Valley Boulevard. Chair Apostolik said one of the upper buildings could be
32 placed where the road was proposed to instead of cutting deep into the north side. Mr.
33 Grimmitt said they will come back about that idea.

34 Commissioner Cotey said another solution to the grade would be less units, there are
35 pro formas the developer needs to meet as well as project feasibility, but they need to
36 consider site feasibility as well.

37 Commissioner Parks said the total slope was 15.84 percent and did not think it would
38 pass, Commissioner Mahaffey agreed. Commissioner Riddile asked if any of the units
39 would be made affordable. Mr. Grimmitt said they are prepared to make affordable
40 units to the discretion of the town. Mr. Barbles said the retail is dependent on
41 affordable units for their workers. Commissioner Riddile asked what the percentage of
42 affordable units would be. Mr. Barbles said the studios would be affordable as well.
43 Mr. Barbles said they wanted to set up a program with a first right of refusal with 30-
44 60 days, but the 11 units on the bottom, closest to the retail would be affordable.
45 Commissioner Cotey said the younger workforce is able to find housing, but a lot of
46 families can't afford housing large enough for families and they end up leaving the

1 community. Commissioner Cotey suggested a mix of affordable units. Mr. Barbles said
2 all the buildings have a mixture of unit sizes, but the bottom building would have those
3 larger affordable units as well.

4 Commissioner Mahaffey said the townhome development in West Glenwood had a deep
5 cut and they have a staircase. Commissioner Mahaffey reminded the commission that
6 they live in steep mountains with change in elevation gain and sometimes cutting into
7 mountains is required. Commissioner Mahaffey asked what kind of vegetation they
8 would use to restore the hillside. Mr. Grimmitt was not sure what the civil engineers
9 had decided.

10 Commissioner Cotey was concerned about the site not having enough space for its
11 residents to be outside. Mr. Grimmitt said the communal areas have barbeque pits and
12 space for mingling than if they went with the 1996 approval. Mr. Barbles said they are
13 granting easements to the trails to the west and north in addition to the sidewalks they
14 would put in.

15 Commissioner Mahaffey asked how the size of the units compare to the other recent
16 developments in height. Planner Smith said the Eagle's Ridge buildings are thirty-six
17 feet off the slab, senior housing units are 10 feet taller. Commissioner Mahaffey asked
18 how the size of the foundation footprint compared. Commissioner Cotey said the site
19 plans were similar in size and design style. Commissioner McDonald asked Planner
20 Smith if Eagle's Ridge went from 36 units to 24 by amending four of the buildings.
21 Planner Smith said yes. Commissioner Cotey said there were similarities between
22 Eagle Ridge and the Walter's Center discussion.

23 Chair Apostolik said he did not have a concern about the buildings stepping because
24 it's a mountain. Chair Apostolik said he thought they could save on development costs
25 with a little re-arranging. Chair Apostolik asked how they would phase the project and
26 if the money was needed from the condominiums to start the commercial construction.
27 Mr. Barbles said they were doing the whole thing at once because they require housing
28 for the commercial section. Commissioner Cotey said there were one or two too many
29 buildings but wants the project to move forward. Commissioner Mahaffey said the road
30 grades were his biggest concern. Mr. Barbles said if they submitted an application and
31 SGM and CWC engineers would figure it out. Mr. Barbles said their next step would be
32 to submit the application so the work can begin with engineering.

33 Commissioner McDonald said he was concerned about the floodplain being a significant
34 issue and Chair Apostolik agreed.

35 Planner Smith said there was another item that was not in the digital packet, **(Exhibit**
36 **C)**. Planner Smith also wanted to consider uses for the commercial that were approved
37 in 1996. He said in this process that it is an amendment process, the commission may
38 consider the uses again. He noted the approved uses and discussed items that may not
39 be relevant and asked the commission to suggest new uses that might be necessary.
40 Commissioner Cotey said Planner Smith has the Commercial C2 District and the
41 Residential R2 District, but it is zoned R2 PUD. Planner Smith clarified it is zoned C2 for
42 commercial with amendments and said they were found in the zoning for the
43 annexation agreement where they amended the C2 Zoning. Planner Smith said there
44 were items added to the list. Planner Smith said R2 residential is similar with a list of
45 uses.

1 Planner Smith said all PUD's have an approved list of uses for residential and more for
2 commercial. Planner Smith said there are uses by right within the town code so if
3 someone wants to occupy a commercial unit, they can see what uses are allowed.
4 Planner Smith said there was an approved list from 1996 and asked the commission to
5 review the list and give suggestions on preferences or concerns to address them now
6 instead of in the future. Planner Smith said the second page is an annexation
7 agreement and the third page talks about uses and restrictions
8 **(Exhibit C)**. Planner Smith said additional uses were named in the C2 zoning uses;
9 Retail establishments could sell food, beverages, dry goods, clothing, taverns,
10 automotive parts, personal services, barbershops, tailor, real estate, and insurance.
11 Planner Smith asked the applicants if they wanted to add anything to the list of
12 restrictions. Mr. Barbles said they have an REA in Dropbox and will allow the
13 commissioners to review them.

14 Commissioner Cotey asked if there are any restrictions on what can be stored outside
15 in addition to general cleanliness and appearance. Mr. Barbles said it was in the REA
16 for all parties to agree to. Mr. Barbles said they have started a Reciprocal Easement
17 Agreement (REA) for residential as well that talks about storage on the balconies, flags
18 and cleanliness. Planner Smith said there is a letter E, but they could enhance it to be
19 more specific. Commissioner Cotey said letter C could lean towards yards that are less
20 aesthetically pleasing. Mr. Barbles said the applicants would like to remove automotive
21 and RV sales. Planner Smith said there would potentially be complaints about RV's,
22 Campers, and pets. Commissioner Cotey asked for a compare and contrast since the
23 allowed uses are different than the town's code and Planner Smith said this is the C2
24 code and clarified in 1996, they added the uses in addition to the code and clarified it
25 is on the third page. Commissioner Cotey said they needed to make it match the code
26 better. Commissioner Cotey asked not to allow water tanks, communication facilities,
27 no EV sales, no auto storage. Town Administrator Reynolds suggested a prohibited list.
28 Mr. Grimmitt clarified if a communication facility was a Verizon store or something
29 similar. Commissioner Cotey said more industrial communication services. Planner
30 Smith said the water tank was no longer relevant or necessary. Mr. Grimmitt asked if
31 the proposed water tank was at the top of the residential. Mr. Barbles said it was
32 initially for storage for the golf course, but it is no longer wanted. Commissioner Cotey
33 said to make sure that it works with the water.

34 Town Administrator Reynolds said to not speculate on possible future business tenants
35 because there is an existing PUD approved for mixed use, but there may be
36 modifications.

37 **Commission Comments and Reports**

38 Planner Smith said Planning and Zoning would not meet on November 26, 2025, and
39 will meet December 10, 2025. Planner Smith the commission would review the Coal
40 Seam application which has been continued twice. Planner Smith said there are
41 changes needed to make the application work. Planner Smith said there would be
42 another R2 amendment but wasn't sure if the application would be ready on December
43 10, 2025. Planner Smith said there would be an amendment to the food truck code
44 and Town Attorney Haley Carmer would attend that meeting. Councilor Riddile asked if
45 the commission would meet on December 24, 2025, and Planner Smith said no.
46 Commissioner Cotey asked Planner Smith if he would bring the food truck code change
47 to the commission or if there was an applicant. Planner Smith said staff would be
48 present. Administrator Reynolds explained the change in code for the food trucks

1 needing to get one inspection from any county and if the other counties would accept
2 that.

3
4 **Staff Reports**

5 Planner Smith said TC Midwest would come to P&Z after the first of the year and
6 another CUP from Xcel Energy for a substation, like what they did for the transmission
7 line. Planner Smith said it is a busy time of year and he is working with staff.

8
9 Commissioner Cotey said she presented at the APA Colorado conference and there was
10 discussion about recent legislation surrounding housing needs assessment, ADU
11 policies and some strategic growth elements for comp plans. Commissioner Cotey
12 asked how the town was preparing for state legislation bills because the HNA is
13 required for anyone with a planning commission. Commissioner Cotey said a housing
14 assessment needs to be completed by 2026 and mentioned there are grant funding
15 opportunities. Chair Apostolik asked if there was a difference between Home Rule
16 municipality. Administrator Reynolds said the attorneys are looking into the changes
17 for 2026. Administrator Reynolds said there were options to combine with other
18 municipalities for the housing studies. Administrator Reynolds didn't know if the town
19 would become part of the region or stand alone for the housing study. Commissioner
20 Cotey said she feels like the town should be separate from Roaring Fork Valley because
21 the demand is different. She said the income and AMI are different too. Commissioner
22 Cotey said she did not want the town to be in non-compliance and said grant funding
23 would be welcome but realizes there is a limit on town staff availability.

24
25 Commissioner Parks said Councilor Hazelton presented historical maps that were in
26 poor condition to HPC. Commissioner Parks said the town was looking into getting the
27 maps restored and put in the museum. Commissioner Parks also reported the HPC
28 completed another videography project with Jim Shrull and the Williams family.

29
30 **Review Minutes from Previous Meetings**
31 **MOTION: Commissioner Cotey made a Motion to approve October 8, 2025,**
32 **meeting minutes. Commissioner McDonald seconded the motion, with a**
33 **correction, and it passed unanimously.**

34
35 Chair Apostolik adjourned the meeting at 8:29 p.m.

36
37 Respectfully Submitted,

38
39
40
41 _____
42 Chuck Apistolik, Commission Vice Chair

43
44
45
46 _____
47 Michelle Huster, Professional Assistant to
48 the Town Clerk

49

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Exhibits

Exhibit A – New Castle Center Sketch Plan

DRAFT