

AGENDA PLANNING COMMISSION MEETING MAPLE PLAIN CITY HALL September 04, 2025 6:00 PM

- 1. CALL TO ORDER
- 2. ADOPT AGENDA
- 3. CONSENT AGENDA
 - A. Minutes for Approval from March 6th, 2025
- 4. DISCUSSION
- 5. **NEW BUSINESS**
 - A. Cannabis CUP application at 5600 Pioneer Creek Drive
 - B. North Shore Gymnastics at 5380/5480 Pioneer Creek Drive
- 6. OTHER BUSINESS
- 7. ADJOURNMENT



MINUTES PLANNING COMMISSION MEETING MAPLE PLAIN CITY HALL March 06, 2025 6:00 PM

1. CALL TO ORDER

Chair Jared Betterman called the meeting to order at 6:00 pm.

PRESENT

Chair Jared Betterman

Commissioner Adam Ruhland

Commissioner Stephen Shurson

Commissioner Mike Melton

ABSENT

Commissioner Nick Altavilla

2. ADOPT AGENDA

Motion to adopt the agenda made by Commissioner Ruhland, Seconded by Commissioner Melton.

Voting Yea: Chair Betterman, Commissioner Ruhland, Commissioner Shurson, Commissioner Melton

Motion Passed

3. CONSENT AGENDA

Motion to approve the consent agenda made by Commissioner Shurson, Seconded by Commissioner Melton.

Voting Yea: Chair Betterman, Commissioner Ruhland, Commissioner Shurson, Commissioner Melton

Motion Passed

A. Minutes for Approval from Month 12-05-2024

4. **NEW BUSINESS**

A. Kwik Trip-Site Plan, CUP, Plat

City Planner Mark Kaltas presented Kwik Trip's Application for CUP to the Commission to allow signs that are different from our current requirements of being over the 25% parameter of Electronic Sign and Site Plan.

Commissioner Melton motioned to open public comments, seconded by Commissioner Ruhland. The motion passed 4-0. Public Comments opened at 6:30 p.m.

This meeting will be recorded and then posted to the City website within 3 to 5 business days.

Dean George- Kwik Trip. George expressed his gratitude for working with the City of Maple Plain.

Commissioner Melton motioned to close public comments, seconded by Commissioner Ruhland. The motion passed 4-0, and public comments closed at 6:34 p.m.

Commissioner Ruhland motioned to recommend that the City Council approve it at the March 24th Business Meeting, Seconded by Commissioner Shurson. Motion passed 4-0

Voting Yea: Chair Betterman, Commissioner Ruhland, Commissioner Shurson, Commissioner Melton

B. Comfort Haven- 1520 Wyman Ave- CUP & Site Plan

City Planner Mark Kaltas discussed the Application for CUP and Site plan Review for Comfort Haven.

Commissioner Shuron motioned to open public comment, seconded by Commissioner Ruhland. The motion passed 4-0 and public comment opened at 7:13 p.m.

Amy Stephanie, 5444 Bryant Street. Concerned with traffic. Specifically larger vehicles.

Mary Jo Stephenhagen. Concerned with changing the zoning of the location. Traffic concerns and safety vehicle noise.

Commissioner Shuron motioned to open public comment, seconded by Commissioner Melton. The motion passed 4-0, and public comment closed at 7:19 p.m.

Further discussion:

Jon Glassner commented on the application's strategy. Comfort Haven attempted to address the city's and public safety concerns. Mike Vonbank spoke about public safety calls and wanted to address the concerns.

The planning commission inquired about headlight pollution and the possibility of adding shrubs. Comments on the design and the drive-through driveway were applauded. The height of the fencing was discussed.

Commission Shuron motioned to move the proposal forward, recommending the City Council review the proposal, meet with first responders for input, and approve it at the April 28th Business Meeting, Seconded by Commissioner Melton. The motion passed 4-0

Voting Yea: Chair Betterman, Commissioner Ruhland, Commissioner Shurson, Commissioner Melton

5. OTHER BUSINESS

Commission Shuron motioned to thank Mardelle DeCamp, Seconded by Commissioner Ruhland. Motion passed 4-0.

Voting Yea: Chair Betterman, Commissioner Ruhland, Commissioner Shurson, Commissioner Melton

6. ADJOURNMENT

This meeting will be recorded and then posted to the City website within 3 to 5 business days.

Section 3, Item A.

The motion to adjourn was made by Commissioner Ruhland and seconded by Commissioner Melton. Motion passed 4-0. The meeting concluded at 7:57 p.m.

Voting Yea: Chair Betterman, Commissioner Ruhland, Commissioner Shurson, Commissioner Melton



City of Maple Plain

Request for Site Plan Review and a Conditional Use Permit to Allow a Cannabis Cultivation and Maufcacturing Business to Operate Within the Existing Building Located at 5600 Pioneer Creek Drive

To: | Planning Commission

From: | Mark Kaltsas, City Planner

Meeting Date: | September 4, 2025

Applicant: | Justin Seuer – Zomer Farms, LLC

Owner: The Louisiana Purchase, LLC

Location: 5600 Pioneer Creek Drive

Request:

Justin Seuer – Zomer Farms, LLC (Applicant) and The Louisiana Purchase, LLC (Owner) request that the City consider the following actions for the property located at 5600 Pioneer Creek Drive (PID No. 23-118-24-41-0012):

- a. Site plan review to consider the use of the existing space and property for a cannabis cultivation and manufacturing business.
- b. A conditional use permit to allow a cannabis cultivation and manufacturing business in the I-Industrial zoning district.

Property/Site Information:

The property is located north of the intersection of Halgren Road and US Highway 12 and on the north side of Pioneer Creek Dr. There is one existing building located on the property. The property has the following characteristics:

Property Information: 5600 Pioneer Creek Drive

Zoning: *I-Industrial*

Comprehensive Plan: Industrial

Acreage: 11.1 Acres



Applicable Standards:

- (D) Conditional uses. The following uses shall require a conditional use permit based on the procedures set forth in '153.140:
 - (1) Manufacturing heavy, including but not limited to: concrete product plants, building materials production and similar uses provided that:
 - (a) All applicable Minnesota Pollution Control Agency requirements are satisfactorily met;

- (b) Storage areas are landscaped, fenced and screened from view of neighboring uses, abutting residential zoning districts and public rights-of-way in compliance with ' 153.063(C) and (D);
- (c) Vehicular access points shall create a minimum of conflict with through traffic movement and shall be subject to approval of the City Engineer; and
- (d) Provisions acceptable to the city shall be made to control and minimize noise, air and water pollution.

Sec. 10-544. "I" General Industrial District.

- (d) Conditional uses. The following uses shall require a conditional use permit based on the procedures set forth in section 10-482:
 - (12) Cannabis business, except lower-potency hemp edible retailer.
 - a. Must be licensed by the state.
 - b. A cannabis retailer or cannabis business with a cannabis business retail endorsement must be registered under city ordinance.
 - c. Must meet the cannabis business buffer.
 - d. Must not exceed the cannabis business retail limit.

Discussion:

There is an existing building located on the subject property which is approximately 40,000 SF. The applicant is looking to lease approximately 20,000 SF of the building (east half) for the proposed cultivation and manufacturing operations.

The city discussed the potential use of the building and property with the applicant, and it was noted that all cannabis businesses in the city are considered as a conditional use permit. As a result, they are required to apply for a conditional use permit to allow the proposed cannabis cultivation business. In addition, the City noted that all commercial or industrial building changes require site plan review in accordance with applicable standards.

153.045 INTENT AND PROCEDURE

(I) Evaluation criteria. The Planning Commission and City Council shall evaluate the effects of the proposed site plan. This review shall be based upon, but not be limited to, compliance with the City Comprehensive Plan, provisions of this chapter (Design Guidelines and City Engineering Requirements).

The city prepared a list of questions for the applicant in order to better understand the proposed use of the building and site (see attached review letter and response by applicant). The applicant is planning to employ approximately 10-20 full time and or part time employees on this property.

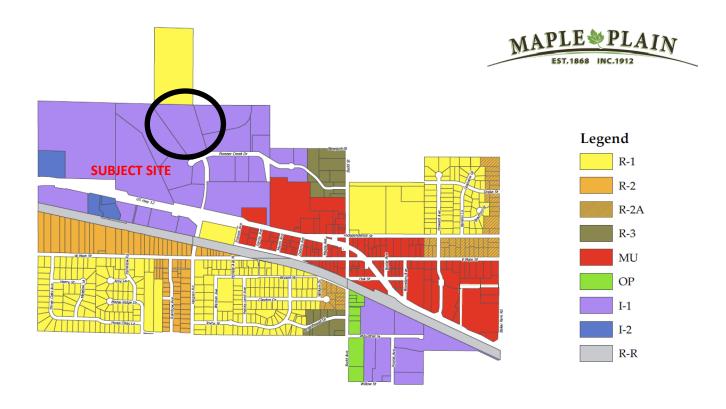
The applicant intends to use the subject property to operate the cannabis cultivation business. Zomer Farms, LLC will be leasing half of the building for the cultivation and manufacturing of Cannabis under the Medical Combined License awarded by the State of Minnesota (No Retail requested at this location). Zomer Farms intends to cultivate approximately 15,000 SF of cannabis as measured by canopy utilizing the cleanest possible techniques available for efficient growth. Manufacturing of plant material will be 100% solvent free utilizing a washing method consisting of water, ice & agitation. This process produces a product commonly referred to as "bubble hash" which can then be processed further by pressing it with heat plates to produce "live rosin". Zomer Farms, LLC will sell cannabis flower & manufactured cannabis products (i.e., bubble hash, kief, live rosin, cartridges, etc.) via wholesale to Minnesota Retailers.

The applicant has provided a floor plan indicating the general use of the interior space of the building. The applicant is not planning any storage or activity outside of the building. All deliveries, processing, cultivation and associated operations will occur inside of the building. The city has noted that any change in use (i.e., outdoor storage) would require a site plan review amendment.

The applicant has stated that this business will not require additional refuse containment or hauling outside of a typical business use. They are anticipating that there will be between 3-5 deliveries per week once the business is fully operational. The applicant has noted that all specialized disposal for cannabis materials is regulated by the Minnesota Office of Cannabis Management and will be securely contained inside the building until it can be disposed off-site in accordance with all applicable requirements.

The City has criteria stipulated in the zoning ordinance for consideration of granting a conditional use permit.

- (F) Conditional use permit criteria. The Planning Commission shall review the conditional use permit for its conformance with the City Code and shall not recommend approval unless all the following conditions are met:
- (1) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted;
- (2) That the establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area;
- (3) That adequate utilities, access roads, drainage, and other necessary facilities have been or are being provided;
- (4) That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use;
- (5) That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result;
- (6) That proper facilities are provided which would eliminate any traffic congestion or traffic hazard which may result from the proposed use; and
 - (7) The proposed use is in compliance with this chapter and Comprehensive Plan of the city.



Site Plan Review and CUP Considerations:

1. The applicants are proposing to utilize the existing building in its current condition. The existing building meets all applicable building and parking setbacks.

Required Setbacks:

Minimum Lot Size: As necessary to meet all setbacks, parking and yard requirements.

Minimum Lot Width: None

Front Yard Setback: 35 feet minimum Side Yard Setback: 20 feet minimum Rear Yard Setback: 20 feet minimum

Parking Setback: Must meet applicable yard setback

The eastern half of this property has 41 existing parking spaces located in the front, side and rear of the building.

Parking Summary:

Product manufacturing: <u>1 space per 400 SF (15,000/400 = 38 spaces)</u>
Total Spaces Required = 38

Total Opaces Nequiled – 30

Site Lighting:

The parking area does not currently have independent lighting (free standing light fixtures). The existing building has wall mounted lights that do not meet applicable cut-off standards of the city. The applicant has noted that they are considering adding lighting to the site for security and safety reasons. Staff will be seeking direction from Planning Commission relating to the lighting and whether or not it should be brought into compliance.

Site Landscaping:

The site has existing landscaping that provides screening and separation along both the east and west property lines. The building is also landscaped between the front parking area and the street with planting beds, low shrubs and grasses and deciduous shade trees.

The existing building and site have been historically used for manufacturing, warehousing and office. The applicants are proposing to use the exiting building in a similar manner to the historical use. The building is located in the I-Industrial zoning district which was established to allow commercial manufacturing and processing. Due to many factors including the new concept of cannabis businesses, the city has determined that they can be considered as a conditional use within the I-Industrial zoning district. The city has prescribed criteria which can be used to review conditional use permits and determine if the conditional use of the property causes any concerns or issues that cannot be reasonably mitigated.

The surrounding properties to the east, west, north are zoned I-Industrial. The proposed use of the existing building and its location in the industrial park should not intensify or cause for additional impacts to the surrounding properties. Planning Commissioners will need to determine if the proposed use of the building for cannabis cultivation and processing meets the criteria for granting a conditional use permit. Commissioner's will also need to find that the existing building meets the requirements of the cities site plan review standards.

Recommendation:

Staff is seeking the direction of the Planning Commission relating to the request for site plan review and a conditional use permit. Should the Planning Commission consider recommending approval, the following conditions should be considered:

- 1. The proposed site plan review and conditional use permit meets all applicable conditions, criteria and restrictions stated in the City of Maple Plain Zoning Ordinance.
- 2. Approval of the conditional use permit is subject to the applicant providing additional information and receiving City approval for the following items:
 - a. The applicant shall address and satisfy all comments made by staff and Planning Commission.
 - b. The applicant shall address and satisfy all Fire Department comments relating to the building and site.

- 3. The Conditional Use Permit will include the following conditions:
 - a. The applicant shall operate the business as described and in accordance with all applicable city, state and federal regulations.
 - b. No outdoor storage is permitted.
- 4. The applicant shall pay for all costs associated with the City's review of the site plan and conditional use permit.
 - a. Upon a violation of any of the above conditions, the City shall notify (owner/applicant/permit holder) of the violation and (owner/applicant/permit holder) shall pay a fee to the City, in an amount specified below, within 30 days of the mailing of the notice. Any unpaid fees related to a violation of this permit shall be certified to the City's tax roll in the (November) following the imposition of the fees. Imposition of this fee based on a violation of this permit shall not prohibit the City from taking any other action on the permit, based on the same violation, including, but not limited to, revocation of the permit. Fees for violations of this permit shall be imposed as follows:

1. First violation: \$300

2. Second violation: \$400

3. Third violation: \$500

4. Fee amounts for any violations which occur subsequent to the third violation shall be determined by doubling the imposed fee of the most recent violation.

Attachments:

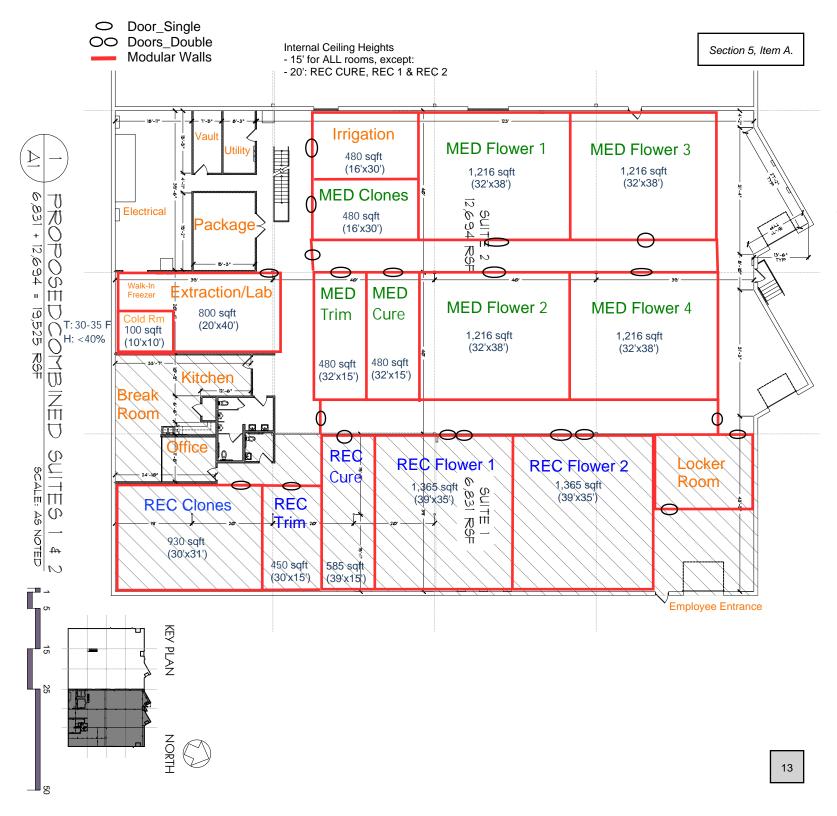
- 1. Application
- 2. Building Floor Plan
- 3. City Review Letter and Applicant Response

Section 5, Item A.

DEADLINES

Planning Commissioning meetings are held on the first Thursday of the month at 6:00 P.M. All applications are due 30 days prior to meeting.

OFFICE U	JSE ONLY
Application Type	Review Deadline
	15 Business Days:
	☐ 60 Day Review:
	☐ 120 Day Review:
Fees Collected	Received by
Application Fee Collected: \$_1500.00	Name:
Fscrow: \$ 3000,00	☐ Signature:
Total Receipt: \$ 4500.00	□ Date: <u>08.29.2025</u>
Řeceipt	Application Complete
Receipt Number(s) May Pay VIZJWXPEUS	Are there any missing materials? ☐ Yes. ☐ No.
	If yes, was the application accepted? ☐ Yes. ☐ No.





July 23, 2025

Justin Seurer Zomer Farms, LLC 6277 Chasewood Drive Eden Prairie, MN 55344

Dear Justin:

The City of Maple Plain received your application for a conditional use permit on July 9, 2025, for the property located at 5600 Pioneer Creek Drive. The City has completed a review of the submitted and identified several items/information that will need to be submitted in order for the application to be considered complete. As a formality and in accordance with Minnesota Statutes, Section 15.99, the application is not considered complete. The city will extend its review time by 60 days to ensure that the application can be fully reviewed and processed. Please note that the city will continue to process the application and expects to have the review completed prior to the permitted review time.

The following information and or submittal items should be provided to the City for the application to be found complete:

- 1. All commercial developments that require a building permit and all commercial conditional uses also require site plan review. The city will process both the site plan review and conditional use permit simultaneously. Please submit an updated application with both items checked and pay the requisite additional application fee.
- 2. Please respond to and or provide the information requested in the comments below.

The City has the following comments relating to the information submitted:

General Comments

- · Please provide the following information relating to the use of the building and site:
 - Provide additional information describing the proposed use, processing, materials used, etc.
 - Zomer Farms, LLC will be leasing ½ of the building located at 5600 Pioneer Creek Dr in the I-1 zone of Maple Plain for the cultivation and manufacturing of Cannabis under the Medical Combined License awarded by the State of Minnesota (*No Retail requested at this location*). Zomer Farms intends to cultivate approximately 15,000 sqft of cannabis as measured by canopy utilizing the cleanest possible techniques available for efficient growth.

- Manufacturing of plant material will be 100% solvent free utilizing a washing method consisting of water, ice & agitation. This process produces a product commonly referred to as 'bubble hash,' which can then be processed further by pressing with heat plates to produce 'Live Rosin.'
- Zomer Farms, LLC will sell Cannabis Flower & manufactured cannabis products (i.e., bubble hash, kief, live rosin, cartridges, etc.) via wholesale to Minnesota Retailers. We will eventually open various retail locations around the Twin Cities Metro, which will be supplied wholly by our cultivation and manufacturing facility in Maple Plain.
- Floor plan of proposed interior space with types of uses identified (i.e., total square footage of the lease area, breakdown of the manufacturing, warehouse and office spaces).
 - Please see attached Floor Plan.
- O Describe or provide additional information that would describe any proposed interior building changes that are unique to your proposed use.

- There are very few interior structural changes needed to begin oper Section 5, Item A. other than plumbing; commercial grade sinks in the lab and the addition or floor drains in the warehouse. All modular structures on the attached floor plan are removable; i.e., not secured to the building or floor.
- Describe and illustrate any proposed changes to the exterior parking, building (i.e. doors, loading areas, ect.).
 - Locks
 - Commercial Grade secured locks will be installed on all exterior doors with electronic secured access for entry.
 - All access is recorded and preserved.
 - Employee access will be limited to areas where they work.
 - Limited personnel will have access to sensitive areas such as: Security Rooms, Storage Vaults, etc.
 - Video surveillance.
 - All video surveillance (outside & inside) will be actively recording 24 hours per day, seven days per week
 - with the capability to record for at least 8 hours after loss of power.
 - Cameras affixed to the exterior and interior of every Entry/Exit will record activity occurring within a radius of at least 20 feet;
 - Video cameras will monitor all areas where cannabis is cultivated, manufactured, stored, packaged, labeled, prepared for transfer and where cannabis waste is destroyed or made unusable.
 - Video files will be time/date stamped and stored in a secure room for a minimum of 90 days.
 - Minimum resolution of 720p at no less than 15 frames per second.
 - Motion Sensors/Exterior Lighting.
 - The State of Minnesota requires exterior lighting sufficient to record any activity within a radius of at least 20 feet around all entrances and exits.
 - We plan to install additional lighting sufficient to protect our employees and provide added deterrence to criminal behavior
 - Any additional exterior lighting will be intalled in a manner so as not to disturb surrounding businesses
 - Concrete barriers.
 - o Zomer Farms will place movable concrete barriers at the Employee Entrance to prevent vehicles from driving into the door/garage door.
 - If we eventually purchase or lease the entire building, Zomer Farms will install a fence around the sides and back of the property with electronic gates on both sides for additional employee/building safety.
 - **License Plate ID**
 - We are looking into adding this capability.
- Total number of employees that will be employed by the business.
 - 10-20 FT and/or PT employees.

Section 5. Item A.

- 10-20 FT and/or PT employees.
- Provide any information relating to number and type of deliveries to the site per day, per week, etc.
 - ALL deliveries beyond general US Mail will be conducted in the rear of the building at the loading dock doors, which will be securely locked with limited key card access and monitored via multiple security cameras.
 - Pre-Operations Deliveries (ALL at rear loading docks):
 - Please note that there will be NO cannabis on site in 2025 during the Build-Out.
 - Cannabis will not enter the facility until anticipated 'golive' on January 1, 2026.
 - Materials needed for initiating operations will include:
 - Modular structures delivered for assembly on site
 - Materials for cultivation & manufacturing, including but not limited to:
 - Modular walls:
 - HVAC;
 - Lighting;
 - Irrigation;
 - Power Generator;
 - Security/Surveillance.
 - Deliveries expected once operations go live:
 - Cannabis Clones and/or Seeds will be delivered at set scheduled times to rear loading docks to begin operations. All security measures to safely receive deliveries will be observed, including but not limited to: surveillance of receiving area prior to receipt of delivery; proper recording and entry of items purchased from approved vendor into Metrc before and after delivery; and secure storage of all cannabis related materials once received into the facility.
 - Average delivery frequency to rear loading docks once operations are underway will be 3-5 weekly and limited to smaller delivery vehicles.
 - We do not anticipate many, if any, large semi deliveries after operations begin in 2026.
- Indicate the location of and or any intended outdoor storage areas on the proposed site plan.
 - No outdoor storage planned at this time. When necessary, we will communicate any intention to add outdoor storage structures with the City prior to initiating the same.
- Provide more information relating to trash and refuse disposal associated with your business and this site. If refuse containers will be located outside, please provide more information and a detail for the proposed trash enclosure.
 - Standard Trash & Recycling for everyday business uses will be utilized under current City guidelines.
 - Specialized disposal for cannabis materials, as required by Maple Plain

- O A sign plan is required to be submitted for all multi-tenant buildings. Please provide the City with a sign masterplan indicating any proposed signage.
 - Zomer Farms will keep all signage limited to the front entry door for deliveries, utilizing the legal business name only; i.e., "Zomer Farms, LLC". No other signage planned.
- Provide a schedule indicating timing of all proposed building and site improvements.
 - October 1, 2025: Anticipated final approval from City & State.
 - Finalize materials order for build-out.
 - 6-8 weeks for materials to arrive at warehouse.
 - November 1, 2025:
 - Security contractor begins/completes exterior work and completes initially setup inside warehouse.
 - December 1, 2025:
 - GC begins assembly of modular rooms
 - December 15, 2025: Security contractor completes interior work.
 - December 31, 2025: Completion of Build-Out.
 - January 1, 2026: Begin full operations.
- The city will review any proposed changes to the building with both the fire department and building inspector. There may be additional comments or request for additional information based on your response.
 - The Mission of Zomer Farms is to cultivate and manufacture clean, chemical free cannabis. As such, we will NOT be utilizing any chemical procedures for extraction in the manufacturing process.

Please submit all items and revised plans described or requested in this letter in order to allow the city to continue review and processing of this application. It is anticipated that the site plan review and conditional use will be reviewed by the Planning Commission on September 4, 2025. The City may have additional comments once the information requested is provided. If you have any questions, please contact me at (612) 567-8786.

Sincerely,

Mark Kaltsas, PLA City Planner

CC: Jacob Kolander - City Administrator

City of Maple Plain

Request by North Shore Gymnastics for Site Plan Review, Preliminary and Final Plat to Allow a New Building and Associated Site Plan Improvments for the Properties Located at 5380 and 5480 Pioneer Creek Drive

To: | Planning Commission

From: | Mark Kaltsas, City Planner

Meeting Date: | September 4, 2025

Applicant: North Shore Gymnastics

Owner: North Shore Gymnastics

Location: 5380 and 5480 Pioneer Creek Drive

Request:

Ryan Rolhoff (Applicant) and North Shore Gymnastics (Owner) request that the City consider the following actions for the properties located at 5380 and 5480 Pioneer Creek Drive (PID No.s 24-118-24-32-0016 and 24-118-24-32-0017):

- Site plan review to consider the redevelopment of the existing parking lot into a new commercial building, parking and associated site improvements for North Shore Gymnastics.
- b. Preliminary and Final Plat approval to allow the two properties to be replatted which will combine the two properties and reconfigure the adjacent property to the west which will continue to be owned by Proto Labs, Inc.

Property/Site Information:

The properties are located along the north side of Pioneer Creek Drive. The subject properties are located in the Maple Plain industrial park. 5380 and 5480 Pioneer Creek Drive are currently used as a supplemental parking lot for Proto Labs. The properties have the following characteristics:

5380 Pioneer Creek Drive

Zoning: I - Industrial

Comprehensive Plan: Industrial

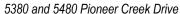
Acreage: 2.25 Acres

5480 Pioneer Creek Drive

Zoning: *I - Industrial*

Comprehensive Plan: Industrial

Acreage: 4.1 Acres





Discussion:

The applicant is seeking site plan approval, preliminary plat and final plat for associated with the development of a new building to house the North Shore Gymnastics center. The applicants approached the city several years ago to discuss possible locations where they could construct a new building to house their operations. North Shore Gymnastics has operated a center in Maple Plain for nearly 50 years.

The proposed use of the property would be for an indoor recreation facility. Indoor recreation facilities are a permitted use in the I-Industrial zoning district.

The two properties were vacant until approximately 2016 when Proto Labs identified a need to construct additional parking areas believing that they would expand office personal at the adjacent office building. Changes in their operations and a new work from home model have changed their needs for the additional parking lots. The applicant worked with Proto Labs and the city to ultimately purchase the two properties. It should be noted that the existing Proto Labs building meets all applicable parking requirements with the parking located wholly on the same property.

All commercial and industrial development is required to go through the site plan review process. Site plan review requires the review of the Planning Commission and City Council. The Planning Commission holds a public hearing as a part of the site plan review process. The City shall consider the proposed site plan and subsequent effects relating to evaluation criteria established in the City's ordinance.

153.045 INTENT AND PROCEDURE

(I) Evaluation criteria. The Planning Commission and City Council shall evaluate the effects of the proposed site plan. This review shall be based upon, but not be limited to, compliance with the City Comprehensive Plan, provisions of this chapter (Design Guidelines and City Engineering Requirements).

The applicant is proposing to construct a new 42,000 square foot building and associated site improvements. The applicants have prepared a full set of plans to provide details relating to the proposed development. Design criteria considered during the review of the proposed new building and site improvements includes setbacks, parking space design, parking lot lighting, landscaping, storm water management, drainage and grading. The city has reviewed the plans and would offer the following considerations.

Site Design:

The proposed plan utilizes the existing parking lot access off Pioneer Creek Drive. The proposed building entrance will be facing west, and the primary drive aisle will have parking on both sides. The drive aisle and parking will wrap around the north side of the building and provide for a turnaround and loading area. The applicant is proposing a trash enclosure on the north side. Additional details will be required to show details relating to the enclosure area. The turnaround area is intended to accommodate bus, fire and other large vehicles turning around.

The applicant is proposing to install a fence between the existing Proto Labs parking lot that will remain in place and the proposed new parking lot to serve the new facility. This fence will provide a clear separation between the existing and proposed parking areas.

Parking Summary:

The city does not have a parking standard for indoor recreational facilities. Typically, the city will rely on information obtained from other sources (i.e., other cities, industry standards) and also from historical experience or data that has been experienced at the current facility. In this case, the city has looked at several different methods to try to understand parking.

Indoor Recreation Facility 3 spaces per 1,000 sf (42,000 sf/1000) = 126 spaces required

Current facility is approximately ~25,000 SF - 78 parking spaces

Proposed Parking Spaces Provided = 106

The plans propose 106 parking spaces. The applicant and city are generally comfortable with the proposed parking. It has also been noted that parking is permitted in Pioneer Creek Dr. On-street parking could be utilized for any overflow conditions.

Setbacks:

Building Setbacks Required:

Minimum Lot Size: As necessary to meet all setbacks, parking and yard requirements.

Minimum Lot Width: None

Front Yard Setback: 35 feet minimum Side Yard Setback: 20 feet minimum Rear Yard Setback: 20 feet minimum

Parking Setback: Must meet applicable yard setback

Building Setbacks Proposed:

Front Yard Setback: 40 feet

Side Yard Setback: 40 feet minimum Rear Yard Setback: + 100 feet

Parking Setback: Meets applicable yard setback

In the I- Industrial Zoning District, parking is permitted to be located anywhere on the lot as long as it does not encroach into any designated buffer yards. Buffer yards are applicable when an industrial property is directly adjacent to a residential property. This condition occurs along a portion of the east property line (see below).



The proposed parking lot is setback approximately 20 feet from the front and side yard property lines. The proposed parking lot is setback <u>+</u> 275 feet from the rear yard. The ordinance requires the following buffer yard:

(C) Planting strip. In all mixed use, office, and industrial districts adjacent to residential districts and not divided by streets there shall be provided along the property line a 20-foot-wide planting strip composed of grass, trees, and shrubs. A screening fence may be utilized when approved by the Planning Commission and City Council. The fence shall not exceed 8 feet in height nor be less than 6 feet in height and shall screen no greater than 80% opaque.

The applicant is proposing to plant a native upland grass seed mixture along the east property line. An existing wooded vegetative edge exists along the majority of this property line. The proposed building drops down approximately 12 feet below the adjacent property. It is recommended that the City consider requiring additional planting (shrubs/trees) along the eastern property line to address the intent of the buffer planting strip. Outside of the buffer strip screening requirements, the proposed parking lot meets applicable setbacks.

Parking Space Design:

Minimum Parking Space Width: 9 feet Minimum Parking Space Length: 18 feet Minimum Parking Aisle Width: 24 feet

The applicant is proposing to meet all applicable parking space size requirements. wide drive aisles which

Fire Department Review:

The Fire Department is in the process of completing their review of the proposed new indoor recreational facility and site improvements. Comments may be generated and this report updated prior to Planning Commission consideration.

Parking Lot Lighting:

Parking Lot lighting shall be arranged as to deflect light away from any adjoining residential zone or from the public streets. Lighting has to comply with the following standards:

(1) Maximum foot candles:

- (a) No light source or combination thereof which casts light on a public street or an adjacent commercial, office or industrial zoned property shall exceed 1 foot candle as measured from the property line or right-of-way line.
- (b) No light source or combination thereof which casts light on adjacent residential zoned property shall exceed 1/2 foot candle as measured at the property line.

The applicant has prepared a proposed lighting and photometric plan that shows how the plan meets applicable lighting standards. The applicant will need to submit lighting cut sheets in order for the city to verify that the proposed light fixtures meet applicable standards.

Landscaping:

The applicant has submitted a proposed landscape plan. The City requires landscaping in accordance with the following ordinance provision:

(E) Landscaping. In all zoning districts the lot area remaining after providing for parking, driveways, loading sidewalks, or other requirements shall be planted and maintained in grass, sodding, shrubs, or other acceptable vegetation of landscaping techniques.

The proposed plans provide both interior and perimeter landscaping. The interior landscaping is comprised of deciduous trees, ornamental shrubs, ornamental grass and perennial flowers. The exterior planting is comprised of deciduous trees, evergreen trees, ornamental shrubs and native grass. The plan provides a relative level of exterior screening and provides some relief to the interior mass of pavement. Additional landscaping should be considered along the east property line as previously discussed in this report.

Storm Water Management, Grading and Drainage:

The applicant is proposing to construct a bio-filtration basin to accommodate the run-off from the proposed parking lot. The storm water runoff will have the opportunity to infiltrate in basin prior to discharging into the adjacent wetland/pond area. The City's Engineer has reviewed the proposed plans and provided comments relating to storm water, grading and drainage. In general, the proposed stormwater improvement and parking lot grading meet all applicable standards of the City. There are several comments that will need to be further addressed by the applicant. The City will continue to review the

additional information requested and verify conformance with the City's standards prior to final City approval. In addition to the City's review, the applicant has submitted the plans to the Pioneer Sarah Creek Watershed Commission. The City's review and approval will be subject to Watershed approval.

Preliminary and Final Plat

The applicant is proposing to replat the property so that majority of the two lots will be combined into one lot to accommodate the proposed building. Due to the simplicity of the plat, it was recommended by the city that the applicant ask for both preliminary and final plat at the same time. The city has reviewed the proposed preliminary and final plat and found several items that will need to be revised. The plat should provide for a new drainage and utility easement around the proposed stormwater facility as well as the existing wetlands on the property. This area was covered by the original plat of the property. This will need to be added to the plat prior to City Council consideration.

The proposed site plans generally meet the requirements established by the City. The proposed new building and associated site improvements will continue to serve North Shore Gymnastics into the future while keeping the business in Maple Plain. There are several items noted within this report that will need to be revised by the applicant prior to City Council review of the application.

Neighbor Comments:

The City has not received any written or oral comments regarding the proposed site plan or variance.

Recommendation:

The Planning Commission is being asked to consider the applications for Site Plan Review, Preliminary and Final Plat with the following findings and conditions:

- 1. The proposed site plan review, preliminary and final plat meets all applicable conditions, criteria and restrictions stated in the City of Maple Plain Zoning and Subdivision Ordinance.
- 2. City Council approval of the proposed site plan, preliminary and final plats will be subject to the following conditions:
 - The Applicant shall receive approval from the Pioneer Sarah Creek Watershed Management Organization.
 - b. The Applicant shall provide additional landscape as directed by the Planning Commission along the east property line to provide the requisite planting buffer strip.
 - c. The Applicant shall comply with all comments made by the City's engineer relating to the storm water and grading plans.
 - d. The Applicant shall address all comments provided by the City's Fire Chief.

- e. The Applicant shall revise the Final Plat as noted within this report.
- f. The Applicant shall provide the requisite lighting cut sheets.
- 3. The Applicant shall pay for all costs associated with the City's review of the site plan review, Preliminary and Final Plats.

Attachments: Application

Site Plan

Grading Plan, Stormwater and Utility Plan

Lighting Plan



City of Maple Plain 5050 Independence St P.O. Box 97 Maple Plain, MN 55359 Office: (763) 479-0515 Fax: (763) 479-0519

ZONING & LAND USE APPLICATION

APPLICANT INFORMATION						
Applicant Name Ryan Rolhoff			Company, if applicable North Sh	nore Gymnastics		
Address 5555 Pioneer Creek Drive	Phone Number 763-479-3189					
City, State, Zip Maple Plain, MN 55359			Emailryan@northshoregym.org			
Are you the owner of the property?	Yes.	☑ No.	(If not, property owner informat	tion is required.)		
			2 Carlon Date	- t		
Owner Name Protolabs, Inc.			Company, if applicable Protolate	os, inc.		
Address 5540 Pioneer Creek Drive			Phone Number 877-479-3680			
City, State, Zip Maple Plain, MN 55359			Email Protolabs.com			
Applicant Signature	2		Owner Signature	15	0.	
Date 7 15 25			Date 7/16/25			
Date 7 13 7 00	556	IEAT IN	CORMATION	N 12 30 0 300 1	SELLIS III	
The second secon		JECT IN	FORMATION			
Site Address or Property Identification N	lumber					
Type of Request (Check all that apply.)						
	Fee	Escrow				
Appeal Administration Decision	\$250	\$250				
Concept Plan Review	\$500					
	_	.	Oial Analization	Fee	Escrow	
Residential Application	Fee	Escrow	Commercial Application	100		
	ØEAA	\$1500	Conditional Use Permit	\$1000	\$3000	
Conditional Use Permit	\$500 \$500	\$1500	Interim Use Permit	\$1000	\$3000	
Interim Use Permit	\$500	\$1500	Site Plan	\$1000	\$3000	
Site Plan Minor Subdivision Variance Rezoning Text Amendment Vacation of Property	\$500	\$1500	Minor Subdivision	\$1000	\$3000	
Minor Subdivision		\$1500	Variance	\$1000	\$3000	
☐ Variance	\$500	\$1500	Rezoning	\$1000	\$3000	
Rezoning	\$500	\$1500	Text Amendment	\$1000	\$3000	
Text Amendment	\$500	\$1500	Vacation of Property	\$1000	\$3000	
	\$500	\$1000	Sign Package	\$500	\$3000	
☐ Home Occupation	\$200	\$1000	Sign ackage	4000	7	
= 11 £ 10						
Residential/Commercial			Grading and Excavation			
Industrial/Office Planning and Zoning Application	Fee	Escrow	Park Fees and Signs	Fee	Escrow	
Flairning and Zonnig Application						
X Preliminary Plat	\$500	\$3000	<100 Cubic Yards	N/C		
Preliminary PlatSubdivision Application	\$500	\$3000	>100 Cubic Yards	\$500		
	\$500	\$3000	>1000 Cubic Yards	\$1000	*See below	
Rezoning Comprehensive Plan Amendment	\$500	\$3000	Right of Way Permit	\$250	\$1000	
Planned Unit Development	\$1000	\$3000				
	\$500	\$3000	Park Dedication Fee-	10% of land		
	Ψ000	7000	Residential	value of		
			, , , , , , , , , , , , , , , , , , , ,	development**		
			Park Dedication Fee-	10% of land		
			Other	value of		
				development		
				0050		
			Signage Permanent	\$250	,	
			Temporary Sign	\$25	W	

^{*}Escrow or surety bond in amount of 150% of land alteration costs
** Minimum of 3,750 per unit and maximum of \$8,000 per unit

Brief Project Narrative / Overview (Use additional paper if necessary. Please be thorough.)

North Shore Gymnastics is applying to build a new, single story, flat roof, slab on grade gymnastics facility with a foot print of 47,000 square feet. The interior of the building will feature space dedicated to girls, boys and recreational gymnastics activities. There will be two floors (7,000 per level) also within the space, incorporating general office space for administration and trainers, viewing areas for family and friends, two party rooms, a dance area and preschool gym, storage space and building support spaces for HVAC, electrical and data. The land area in which it will be built is approximately 6 acres in size. It will be situated well within the existing setbacks and will utilize the existing ingress and egress for access.

NOTICE TO APPLICANT

The Maple Plain City Code guides and enables development activities within the City by ensuring proper and well-coordinated projects. The land use application is the mechanism that allows the City to examine proposed land uses to ensure compatibility with the City Codes, design and development standards, and the surrounding land uses and natural environments. The review is intended to ensure positive growth for the community.

All applications are reviewed individually and are evaluated based on their own merit. Each land use request has an associated checklist of required items. Applicants are encouraged to participate in the City's pre-application workshop prior to submitting a formal land use application. The workshop is an opportunity to informally discuss the conceptual idea of the proposed project in an effort to reduce delays. Participation in the pre-application process does not provide approval, or guarantee of approval, of the project. The City shall not accept plans, drawings or other information related to the project except upon submittal of a formal application. The City reserves the right to reject an incomplete application.

APPLICATION FEE STATEMENT

All expenses pertaining to project reviews are the responsibility of the applicant. Planning review deposits and other applicable fees must be paid when submitting land use applications and accompanying materials. All fees, which are set annually by City ordinance, help cover costs incurred by the City to review the application. The City of Maple Plain often uses consulting firms to assist in the review of projects. City staff and consultant review costs are billed hourly; all other costs are billed at cost. Applicants shall be billed directly for incurred expenses upon receipt by the City. The City reserves the right to request an applicant to submit a development escrow in advance of the formal project review.

Please refer to the City's Fee Schedule for information on planning review fees and deposits, and other applicable costs.

By signing this form, the applicant recognizes his/her responsibility for any and all fees associated with the land use application from project review through to construction and release of financial guarantees for an approved project. All fees associated with a project that is denied or withdrawn remain the sole responsibility of the applicant and shall be paid upon receipt of invoice.

I hereby understand the fee statement and responsibilities associated with this land use application:

Applicant Signature

Date

7115/25

Owner Signature

Date

REVIEW REQUIREMENTS

Minnesota State Statute 15.99 requires local governments to review an application within 15 business days of its submission to determine if an application is complete and/or if additional information is required to complete the review. Once complete, a formal 60-day review period begins. The City has the ability to extend the review period an additional 60 days, if necessary, due to insufficient information or scheduling difficulties.

Please review the corresponding checklist that goes with the request as all materials are required unless waived by the City. All applications must be received by the deadline(s) attached hereto. Failure to submit by the date shown may result in a delay of the review by the Planning Commission and City Council.

DEADLINES

Planning Commissioning meetings are held on the first Thursday of the month at 6:00 P.M. All applications are due 30 days prior to meeting.

eadline usiness Days:
ay Review:
by e: ature: : on Complete
any missing materials? es.
1



City of Maple Plain 5050 Independence St P.O. Box 97 Maple Plain, MN 55359 Office: (763) 479-0515 Fax: (763) 479-0519

SITE PLAN CHECKLIST & PROCEDURE

APPLICATION REQUIREMENTS

The following materials are required in order for each application to receive consideration. The City reserves to waive certain requirements. An application that is missing materials may not be accepted.					
Completed Land Use Application and pay all applicable fees. All materials as required by City Zoning Code regarding Site Plans. Certified survey of property (8 full size, 10 reduced) plus CAD and PDF electronic files. Written narrative of outlining project and purpose of request. Wetland report by Certified Wetland Specialist.					
Scaled site plan showing dimensions & distances Existing & proposed property conditions (page 2) Four-sided architectural plans and elevations Specifications for exterior finishes Grading, erosion control & drainage plans (page 2) Location of fire suppression, if applicable Soil borings, if applicable	Parking plan Lighting plan Landscape plan Utility plan Tree Preservation plan Signage plan Storage & waste enclosure				
APPROVALS & PER	MITS				
AT NO FACO & FER					
Project applications may require review and comment from the follotime for agency review. The City encourages applicants to contact each watershed district prior to submitting formal application to understand a submitting formal application.	ch state and county agency and the appropriate agency requirements.				
☐ Hennepin County ☐ Mi	IN Pollution Control Agency (NPDES) linnehaha Creek Watershed District ioneer-Sarah Creek Watershed Commission				
Upon completion of the formal review period, the following permits county, state and other jurisdictional agencies each have a review period.					
□ Demolition Permit □ Mi □ Excavation & Grading Permit □ Mi □ Right of Way Permit □ Pi □ Sewer Availability Charges (SAC) □ Mi	ennepin County Right of Way Permit nDOT Right of Way Permit innehaha Creek Watershed District Permit ioneer-Sarah Creek Watershed Commission inPCA Storm Water (NPDES) Construction Permit /etland Conservation Act requirements				
NOTICE TO APPLIC	ANT				
 In order to receive consideration, the applicant must complete a number of steps. Meet with City staff to discuss the proposed use, whether permitted or conditional, obtain a land use application packet, and schedule a pre-application meeting. Assemble information outlining the request. Submit a completed application packet, including all materials as required by City Zoning Code related to the type of request, to City Hall by the dates noted on the Land Use Application. Participate in the review process by attending City staff and public meetings. Attend all Public Hearings, and Planning Commission and City Council meetings. 					
By law, the City of Maple Plain must notify adjacent property owners of proposed projects that may impact their properties. This notification is mailed to property owners within 350 feet of the project area at least 10 days prior to the public hearing. A Certified List of Property Owners will be compiled by the City of Maple Plain.					

ADDITIONAL INFORMATION

Drawings of Existing & Proposed Conditions should include:

- gross and net acreages of the proposed development
- location, width and name of all existing streets and highway, public property, railroad, utility rights of way, & easements within the proposed development
- location and size of existing buildings & infrastructure (water, sewer and storm sewer lines)
- wetlands, wooded areas & other natural features
- tree inventory, including trees to be removed & saved
- layout of proposed streets, rights of way and appropriate street information
- layout proposed sidewalks, trails and pedestrian ways
- location and dimension of all easements
- minimum building setback lines.

Grading & Erosion Control & Drainage Plans must show the following:

- existing & proposed topography
- existing natural features, such as trees, wetlands, ponds, swales, drainage channels, etc.
- existing and proposed storm sewer facilities
- proposed storm water improvements
- flood elevations based on a 100-year flood plain
- spot elevations & directional arrows representing drainage patterns
- wetland delineation & mitigation plan at 2:1 ratio

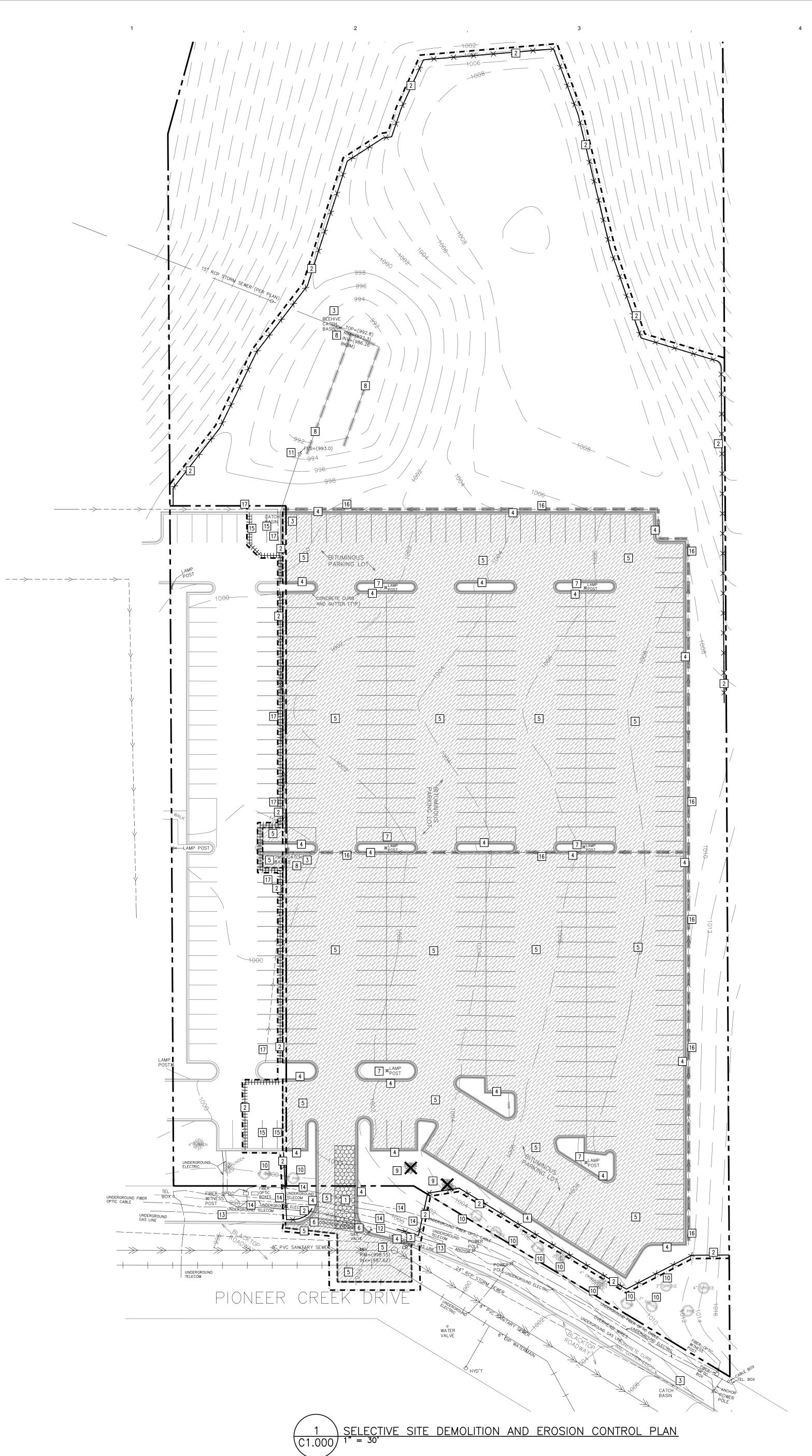
ACKNOWLEDGEMENT

By signing this form, the applicant hereby acknowledges the receipt of the checklist and procedure for the project to be submitted for consideration. It is the responsibility of the applicant to submit all required materials. All permit requests should be submitted in a timely manner so as not to cause project delays.

Applicant Signature

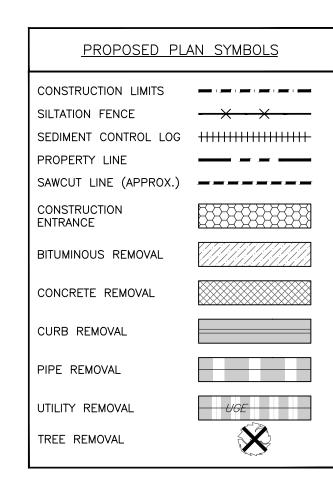
Owner Signature

Date 715/20-



KEYED NOTES ARE DENOTED BY NO ON PLAN.

- 1 INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C5.000.
- 2 INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 3/C5.000 AND 4/C5.000.
- 3 INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 2/C5.000. REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
- 5 SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
- 6 REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN. 7 REMOVE AND SALVAGE LIGHT POLE. FOOTING SHALL BE REMOVED IN THEIR ENTIRETY. LOCATION
- OF EXISTING CONDUITS ARE UNKNOWN, CONTRACTOR SHALL FIELD LOCATE AND REMOVE. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- REMOVE STORM SEWER AND CATCH BASIN IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
- 9 REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
- 10 EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
- REMOVE AND SALVAGE EXISTING RIP RAP. INTENT IS TO RE-INSTALL SALVAGED RIP RAP AFTER PROPOSED BIOFILTRATION BASIN HAS BEEN GRADED.
- CONTRACTOR SHALL COORDINATE THE RELOCATION OF GAS VALVE WITH OWNER AND UTILITY OWNER PRIOR TO START OF CONSTRUCTION.
- 13 EXISTING GAS LINE TO REMAIN. PROTECT AT ALL TIMES.
- EXISTING UNDERGROUND FIBER OPTIC, ELECTRICAL, AND TELECOMMUNICATION LINES TO REMAIN. PROTECT AT ALL TIMES.
- CONTRACTOR SHALL REMOVE STRIPING BY GRINDING, PRESSURE WASHING, OR ALTERNATIVE MEANS AND METHODS. BLACK COVER UP PAINT IS NOT AN ACCEPTABLE METHOD.
- 16 REMOVE DRAIN TILE IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
- 17 EXISTING DRAIN TILE TO REMAIN. PROTECT AT ALL TIMES.



DEMOLITION AND REMOVAL NOTES:

1. CONTRACTOR SHALL FOLLOW ALL CITY OF MAPLE PLAIN STANDARDS AND SPECIFICATIONS.

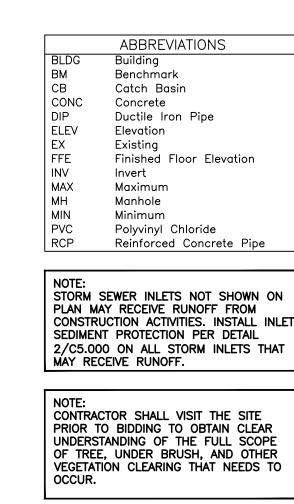
CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.

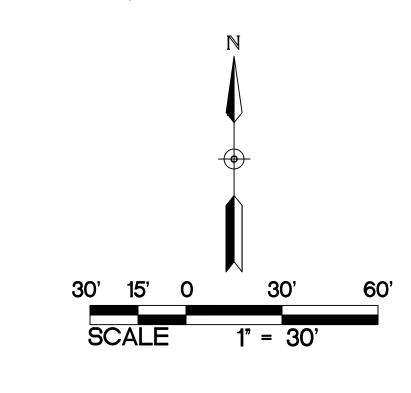
COMMISSION. PERIMETER SEDIMENT PROTECTION SHALL BE INSTALLED ALONG THE CONTOUR.

6. ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT ARE TO BE PROTECTED AT ALL TIMES.

PAVEMENT NOT INDICATED FOR REMOVAL OR ABANDONMENT ARE TO BE PROTECTED AT ALL TIMES.

8. THE BACKGROUND INFORMATION WAS PREPARED BY GRONBERG & ASSOCIATES, INC. AT (952) 473-4141.





NORTH SHORE

GYMNASTICS

Maple Plain, MN

Section 5, Item B.

WOLD ARCHITECTS AND ENGINEERS 332 Minnesota Street, Suite W2000 Saint Paul, MN 55101

woldae.com | 651 227 7773

BKBM 6120 Earle Brown Drive Suite 700 Minneapolis, MN 55430 Phone: Structural & Civil Engineers 763.843.0420 bkbm.com © 2025 BKBM Engineers

Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument of service and is the property of BKBM Engineers and may not be used or copied without prior written BKBM Project No. 25283.5

GENERAL NOTES:

1. CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED WITH THE CITY OF MAPLE PLAIN AND UTILITY OWNER.

2. PRIOR TO START OF ANY CONSTRUCTION ACTIVITY, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MAPLE PLAIN AND PIONEER—SARAH CREEK WATERSHED MANAGEMENT

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR, IF MAPPED, ARE

SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES.

4. THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF

5. REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT. COORDINATE DISCONNECTION OF EACH

7. EXISTING CONCRETE PAVEMENT AND CURB AND GUTTER SHOWN TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT SHALL BE REMOVED FROM THE SAW CUT LINES TO THE NEAREST JOINT. ANY CURB AND GUTTER, SIDEWALK, AND

9. ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF MAPLE PLAIN. ROADWAY REPAIRS,

BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF MAPLE PLAIN STANDARDS AND SPECIFICATIONS.

- 2. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- 3. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- 4. THE CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF MAPLE PLAIN FOR THE EXACT CONSTRUCTION ENTRANCE LOCATION.

75% CD SET NOT FOR CONSTRUCTION

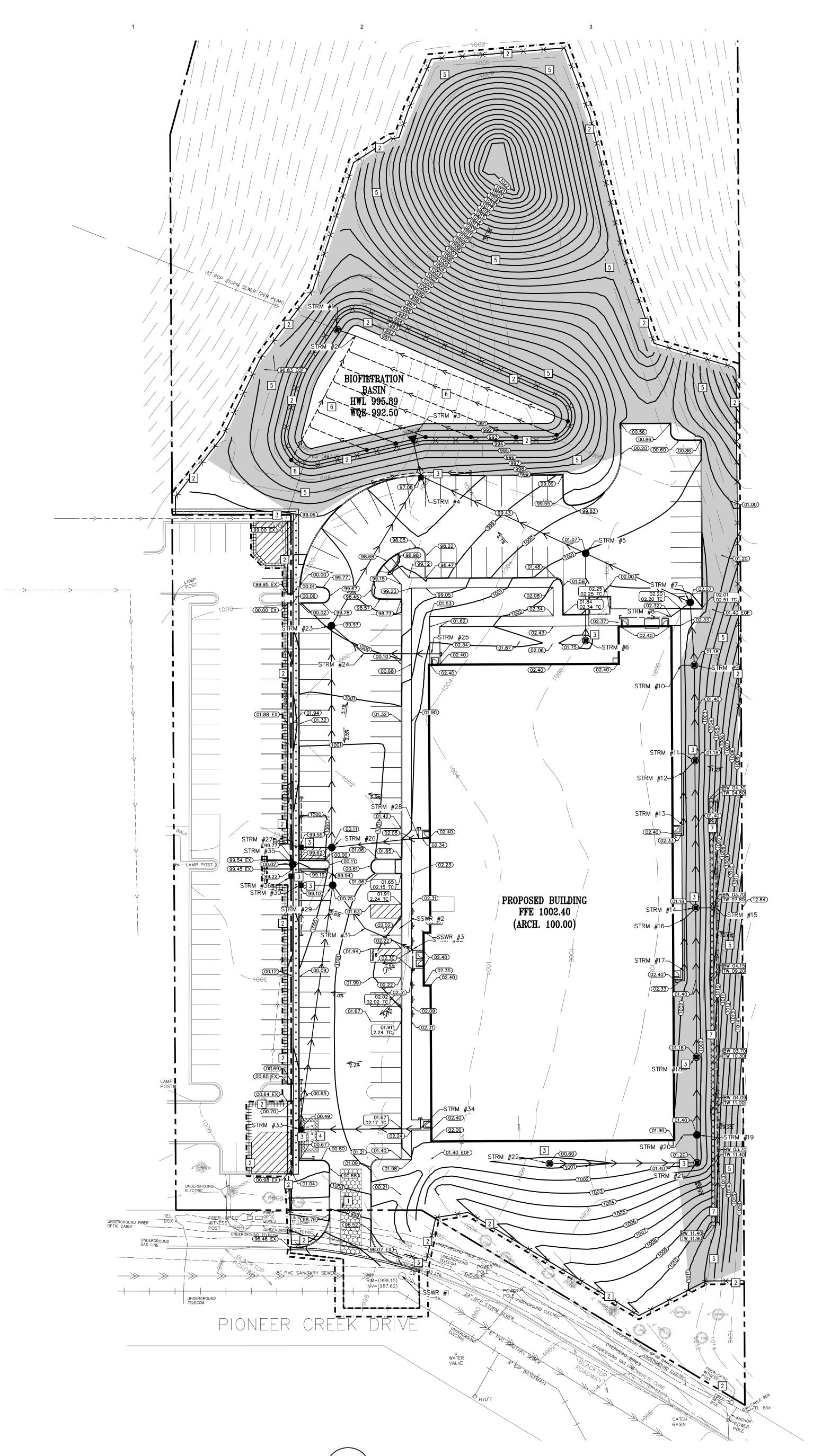
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the

Nathaniel P. Anderson License Number: 59311 Date: **08/01/2025**

Date: 08/01/2025

SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN

C1.000



KEYED NOTES ARE DENOTED BY NO ON PLAN.

EROSION CONTROL NOTES:

FLOWS INTO THESE CONVEYORS.

IS LESS THAN 2 PERCENT.

COMPLETION OF GRADING ACTIVITIES.

EXISTING PAVED ROADWAYS.

1 INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C5.000.

2 INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 3/C5.000 AND 4/C5.000.

3 INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 2/C5.000. APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE

MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT. 5 INSTALL MN/DOT 3885 CATEGORY 20 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.

6 BIOFILTRATION BASIN AND WATER QUALITY TREATMENT POND IS TO BE CONSTRUCTED AT THE I END OF GRADING OPERATIONS ONCE THE TRIBUTARY AREA FINAL STABILIZATION HAS BEEN INSTALLED. REFER TO DETAIL 8/C5.000 FOR BIOFILTRATION BASIN(S) CROSS SECTION. CONSTRUCTION TRAFFIC IN BIOFILTRATION AREA IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. PRIOR TO FINAL STABILIZATION, LOOSEN SOIL WITH MECHANICAL TILLER. BIOFILTRATION AREA IS NOT APPROVED BORROW SITES AND IS NOT TO BE USED FOR TEMPORARY SEDIMENT BASIN ONCE BASIN SUBGRADE ELEVATION HAS BEEN EXCAVATED. CONTRACTOR SHALL ENSURE THAT BASIN INFILTRATE AT A MINIMUM RATE OF 1-INCH PER HOUR USING A DOUBLE RING INFILTROMETER TEST BEFORE FINAL ACCEPTANCE. DOUBLE RING INFILTROMETER TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.

[7] INSTALL BELGRADE DIAMOND PRO OR APPROVED EQUAL MODULAR BLOCK RETAINING WALL. REFER TO LANDSCAPE PLANS FOR GUARD RAIL.

OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.

THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 7 DAYS:

CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.

GRADED UNTIL THE TRIBUTARY AREA TO THE BASIN IS RESTORED.

AND/OR PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION.

MIXTURE MNDOT TCC (TWO YEAR COVER) AT A RATE OF 25 POUNDS PER ACRE.

[8] INSTALL SALVAGED RIP RAP AFTER PROPOSED BIOFILTRATION BASIN HAS BEEN GRADED. REFER TO DETAIL 9/C5.001. ADDITIONAL RIP RAP NECESSARY TO MATCH PROPOSED DETAIL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE IF NEEDED.

. ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT AND

CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A

REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.

PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION

PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY AND PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION. IF DAMAGED OR

2. ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY OR PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION, BEFORE, DURING,

3. NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN WITHOUT PRIOR APPROVAL FROM THE CIVIL ENGINEER.

4. FOR SITES GREATER THAN 1.0 ACRE, AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD

5. FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY

DISSIPATERS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF

6. SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN

7. SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY

NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT

10. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS

THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED

A. ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

B. IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING

C. IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED

D. GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.

E. UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF

F. WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE

G. MULCH, HYDROMULCH, AND TACKIFIERS MAY NOT BE USED FOR STABILIZATION IN SWALES OR DRAINAGE DITCHES UNLESS THE LONGITUDINAL SLOPE

WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, SEDIMENT PROTECTION DEVICES AS DETAILED

H. RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION.

11. GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL

12. FILTER BLANKET AND RIPRAP SHALL BE INSTALLED ON THE DOWNSTREAM SIDES OF ALL STORM SEWER OUTLETS WITHIN 24 HOURS AFTER CONSTRUCTION

13. EROSION CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF THE BASIN WITHIN OR ADJACENT TO THE AREA TO BE

14. TO MINIMIZE EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH A MN/DOT 3885 CATEGORY 20 STRAW EROSION CONTROL BLANKETS OR STAKED SOD.

16. EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY

15. ACCUMULATION OF ALL SEDIMENT OCCURRING IN CURB LINES, STORM SEWERS, AND DITCHES SHALL BE REMOVED PRIOR TO, DURING, AND AFTER

AS INDICATED AND DETAILED. ALL RIPRAP SHALL BE INSTALLED WITH A FILTER MATERIAL MEETING THE MNDOT SPECIFICATIONS FOR RIPRAP AND FILTER

ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E.,

SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.

TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.

OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) SEED MIXTURE O (OATS), OR WW (WINTER WHEAT), AT A RATE OF 100 POUNDS PER

TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS

IF REQUESTED BY THE CITY OR PIONEER—SARAH CREEK WATERSHED MANAGEMENT COMMISSION, THROUGHOUT THE DURATION OF CONSTRUCTION.

8. DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY OR PIONEER-SARAH

9. ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR

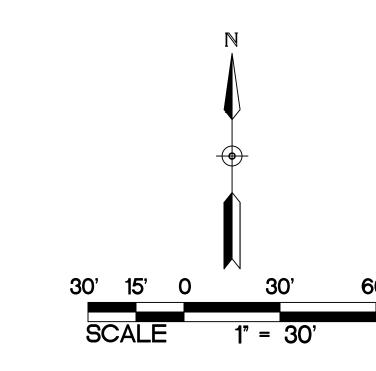
MUST BE MADE AVAILABLE TO THE CITY AND PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION WITHIN 24 HOURS OF REQUEST.

PROPOSED PLAN SYMBOLS CONSTRUCTION LIMITS SILTATION FENCE PROPERTY LINE SAWCUT LINE (APPROX.) DRAIN TILE ———>—— STORM SEWER \rightarrow RETAINING WALL CATCH BASIN MANHOLE FLARED END SECTION WITH RIPRAP EROSION CONTROL BLANKET (TEMPORARY) ROCK CONSTRUCTION ENTRANCE 1.0% DRAINAGE FLOW ARROW RETAINING WALL SPOT 02.40 SPOT ELEVATION SOIL BORING CONCRETE WASHOUT

Benchmark Bottom of Step Bottom of Wall Catch Basin Concrete ELEV Elevation Existina Finished Floor Elevation High Water Level Lower Floor Elevation Maximum Manhole Minimum Normal Water Level Polyvinyl Chloride RCP Reinforced Concrete Pipe Storm Sewer Structure Top of Curb Top of Step Top of Wall Washout Water Quality Elevation APPROXIMATE DISTURBED

STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL NLET SEDIMENT PROTECTION PER DETAIL 2/C5.000 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF

AREA IS 4.25 ACRES



ALL TOP AND BOTTOM ELEVATIONS CORRESPOND TO THE RESPECTIVE

GRADE ELEVATIONS ON EACH SIDE OF THE WALL. THE BOTTOM ELEVATION IS THE ELEVATION OF THE LOW-GRADE SIDE OF THE WALL, NOT THE TOP ELEVATION OF THE BURIED BLOCK

ALL RETAINING WALLS SHALL HAVE PROTECTIVE FENCING AT THE TOP WHERE THE VERTICAL HEIGHT EXCEEDS 30 INCHES. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS AND SPECIFICATIONS.

MODULAR BLOCK RETAINING WALL SHALL BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. DESIGN CALCULATIONS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION OF WALL.

THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN

VERIFY THE LOCATION AND ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR, IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.

4. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.

6. ALL SPOT ELEVATIONS SHOWN AS 02.40, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 1002.40.

7. ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER UNLESS NOTED OTHERWISE.

9. ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.

10. PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES. 11. UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL GRADING AND UTILITY

WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR HIRED BY THE CONTRACTOR. SURVEY SHALL BE PROVIDED TO CIVIL ENGINEER.

FUNCTIONING. THE CITY AND PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE

INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON

14. THE CONTRACTOR MAY STRIP AND SALVAGE TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDED THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING, AND RE-SPREADING SHALL BE DONE IN ACCORDANCE WITH, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL

15. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE

BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1 AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.

18. RETAINING WALLS AND APPROPRIATE SAFETY FENCING ALONG THE TOP OF WALLS ARE TO BE DESIGNED AND CERTIFIED BY

IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.

2. THE BACKGROUND INFORMATION WAS PREPARED BY GRONBERG & ASSOCIATES, INC. AT 952-473-4141. 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL

5. NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.

8. NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.

12. PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND

13. ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS

TOPSOIL OR PLANTING REQUIREMENTS.

ADJACENT PROPERTY OWNER(S).

16. IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE

17.A. SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.

17.B. FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAY BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER AT A RATE OF 2000 GALLONS PER ACRE OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.

A REGISTERED PROFESSIONAL ENGINEER. SUBMIT RETAINING WALL SHOP DRAWINGS TO PROJECT TEAM PRIOR TO

19. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

Section 5, Item B. NORTH SHORE **GYMNASTICS**

Maple Plain, MN



WOLD ARCHITECTS AND ENGINEERS

332 Minnesota Street, Suite W2000 Saint Paul, MN 55101



Structural & Civil Engineers 763.843.0420 bkbm.com © 2025 BKBM Engineers Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument of service and is the property of BKBM Engineers and may not be used or copied without prior written

BKBM Project No. 25283.5

75% CD SET NOT FOR

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

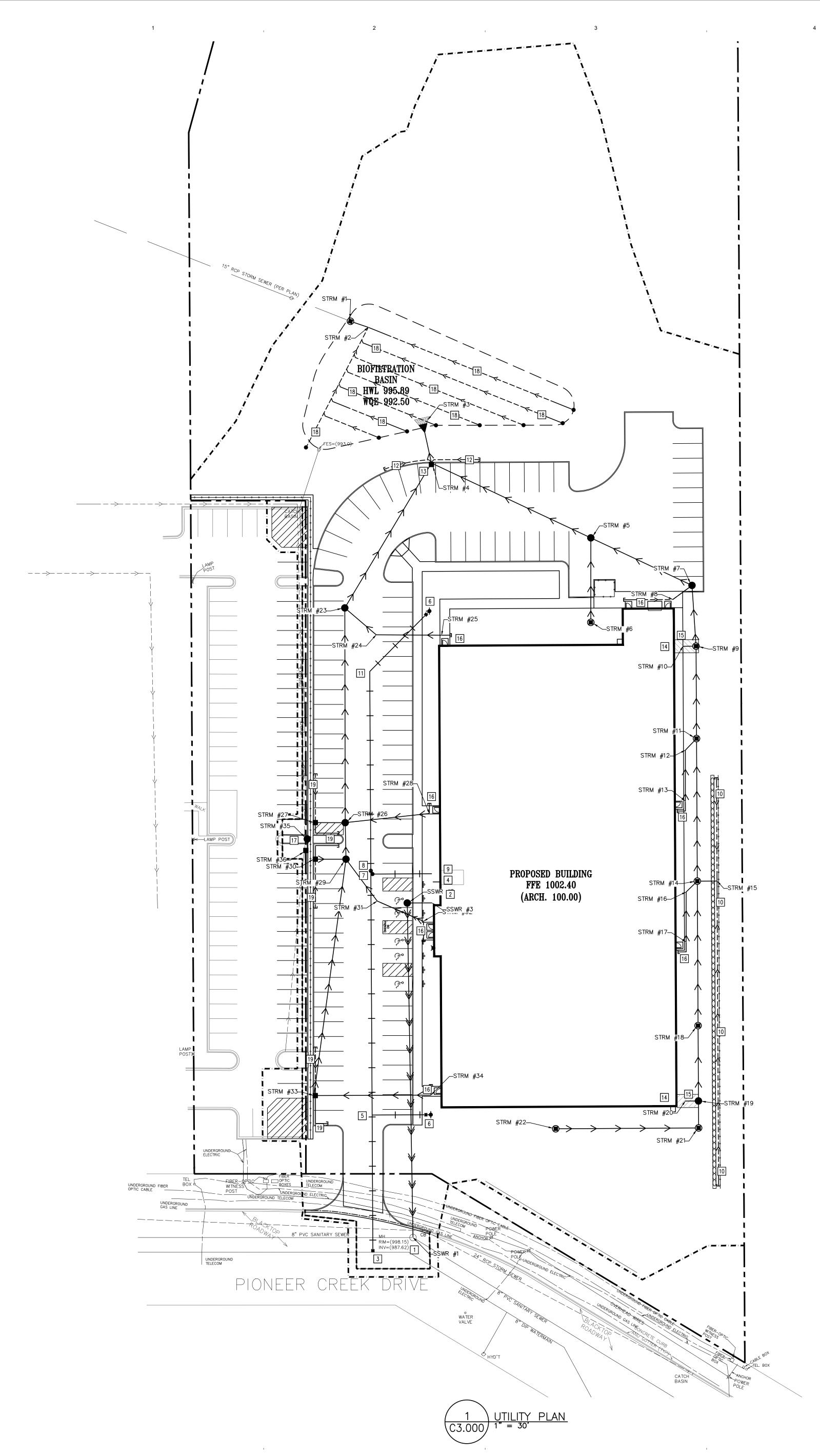
Nathaniel P. Anderson License Number: 59311 Date: 08/01/2025

Comm: **252103** Date: 08/01/2025

GRADING, DRAINAGE, AND **EROSION CONTROL PLAN**

C2.000

, DRAINAGE, AND EROSION CONTROL PLAN



- KEYED NOTES ARE DENOTED BY NO ON PLAN. CORE DRILL EXISTING MANHOLE FOR PROPOSED PIPE CONNECTION AT INV. 988.12. PROVIDE WATERTIGHT SEAL WITH FLEXIBLE COMPRESSION JOINT. CEMENT MORTAR JOINTS ARE PERMITTED
- ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS. LOCATION OF PROPOSED SANITARY SEWER SERVICE. REFER TO SANITARY SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 3 INSTALL 8-INCH WET TAP. REFER TO DETAIL 1/C5.001.
- 4 1.5-INCH IRRIGATION STUB. REFER TO MECHANICAL AND LANDSCAPE PLANS AND SPECIFICATIONS. 5 INSTALL 8-INCH BY 6-INCH TEE.
- 6 INSTALL FIRE HYDRANT AND GATE VALVE. REFER TO DETAIL 3/C5.001.
- 7 INSTALL 2-INCH CORPORATION STOP AND CURB BOX. REFER TO DETAIL 12/C5.000.
- 8 INSTALL 8-INCH BY 6-INCH REDUCER.
- 9 STUB 2-INCH TYPE K COPPER WATER SERVICE TO BUILDING. REFER TO DETAIL 12/C5.000. COORDINATE EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. INSTALL DRAIN TILE BEHIND PROPOSED MODULAR BLOCK RETAINING WALL. DRAIN TILE SHOWN IS FOR REFERENCE ONLY. ACTUAL DRAIN TILE INSTALLATION AND ROUTING SHALL BE DESIGNED BY THE MODULAR BLOCK RETAINING WALL DESIGNED. DRAIN TILE SHOWN TO PROPOSED
- STORM SEWER OR DAYLIGHT ON THE LOW-GRADE SIDE OF THE WALL.
- 11 INSTALL 6-INCH 45-DEGREE BEND WITH THRUST BLOCKING. 12 INSTALL DRAIN TILE AT LOW POINT CATCH BASINS. REFER TO DETAIL 10/C5.000.
- INSTALL SUMP CATCH BASIN WITH SNOUT, ENVIROHOOD OR APPROVED EQUAL. REFER TO DETAIL 10/C5.001.
- LOCATION OF PROPOSED ROOF DRAIN LEAD. REFER TO STORM SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 15 INSTALL PIPE INSULATION. REFER TO DETAIL 11/C5.001.
- 16 INSTALL FROST PROTECTION AT SIDEWALK TRANSITION. REFER TO DETAIL 11/C5.002.
- 17 INSTALL MANHOLE IN LINE WITH EXISTING 15-INCH RCP.
- 18 INSTALL FILTRATION BASIN DRAIN WITH STORM SEWER CLEAN OUT. REFER TO DETAIL 8/C5.000 FOR DRAIN TILE. REFER TO DETAIL 9/C5.000 FOR CLEAN OUT.
- 19 INSTALL DRAIN TILE AT LOW POINT CATCH BASINS. REFER TO DETAIL 10/C5.000. DRAIN TILE TO BE INSTALLED IN FRONT OF CURB.
- 1. CONTRACTOR SHALL FOLLOW ALL CITY OF MAPLE PLAIN STANDARDS AND SPECIFICATIONS. 2. COORDINATE SERVICE CONNECTION LOCATIONS, SIZES, AND INVERTS AT THE BUILDING WITH THE
- MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
- 3. COORDINATE UTILITY INSTALLATION WITH STRUCTURAL PRIOR TO START OF CONSTRUCTION. UTILITIES SHALL NOT BE INSTALLED WITHIN THE ZONE OF INFLUENCE OF ANY STRUCTURAL ELEMENTS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR UNCOORDINATED WORK. 4. ALL SEWER SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE
- SHALL BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF
- 5. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED. 6. ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF MAPLE
- 7. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE. 8. ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER
- 9. PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF MAPLE PLAIN. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS, AND HYDRANT LEADS.
- 10. SANITARY SEWER PIPING SHALL BE AASTM D1785 OR ASTM D2665 SCHEDULE PVC UNLESS NOTED OTHERWISE.
- 11. STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE. ALL 12-INCH THROUGH 18-INCH RCP STORM SEWER PIPE SHALL BE CLASS 5. RCP PIPE LARGER THAN 18-INCH SHALL BE CLASS 3 UNLESS NOTED OTHERWISE. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES SHALL BE ASTM D1785 OR ASTM D2665 SCHEDULE 40 PVC.
- 12. ALL FLARED END SECTIONS SHALL HAVE TRASH GUARDS. ALL DOWNSTREAM FLARED END SECTIONS SHALL HAVE GEOTEXTILE FABRIC AND RIPRAP PER MNDOT STANDARDS, AS DETAILED.
- 13. CONTRACTOR SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION, AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- 14. WHERE PROPOSED GRADE OVER EXISTING SMALL UTILITIES IS PROPOSED TO BE LOWERED, CONTRACTOR SHALL COORDINATE WITH UTILITY OWNER FOR THE LOWERING OF THE EXISTING UTILITY TO PROVIDE THE MINIMUM COVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- 15. ALL PORTIONS OF THE STORM AND SANITARY SEWER SYSTEMS LOCATED WITHIN 10-FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE. PIPING MATERIAL SHALL BE ASTM D1785 OR ASTM D2665 SCHEDULE 40 PVC.
- 16. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. RESILIENT WATER-STOP GROUTING RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

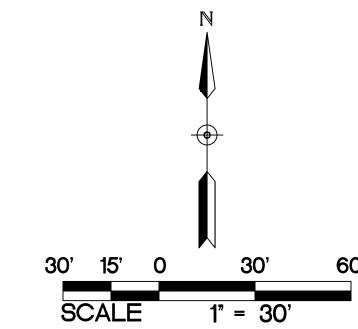
PROPOSED PL	AN SYMBOLS
CONSTRUCTION LIMITS	
PROPERTY LINE	
SAWCUT LINE (APPROX.)	
SANITARY SEWER	***
WATER PIPE	
DRAIN TILE	>
STORM SEWER	$\rightarrow \rightarrow$
RETAINING WALL	
FIRE HYDRANT	-
GATE VALVE	H
FIRE CONNECTION	lacksquare
CLEANOUT	•
CATCH BASIN	
MANHOLE	
FLARED END SECTION WITH RIPRAP	V.000000
PIPE INSULATION	

BLDG	ABBREVIATIONS Building
BM	Benchmark
СВ	Catch Basin
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HDPE	High Density Polyethylene
INV	Invert
MAX	Maximum
МН	Manhole
MIN	Minimum
PIV	Post Indicator Valve
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
RD	Roof Drain Water Quality Elevation
WQE	

2. PRIOR TO CONSTRUCTION,

CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT-OF-WAY

AND OBTAIN ALL APPLICABLE PERMITS.



0 .E	30'	60'	Maple Plain, MN

	STRUCTURE	NEENAH		STORM SEWER	IAULE
STRUCTURE ID	DIMENSION (INCHES)	CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #1	48" CB MH	R-2390	992.50	W = 986.09 E = 987.89	 11 L.F. OF 6" PVC @ 1.00%, STRM #2
STRM #2	DRAIN TILE CONNECTION	NA		W = 988.00	
STRM #3	24" FES	NA		S = 992.50	24 L.F. OF 24" RCP @ 1.00%, STRM #4
STRM #4	60" SUMP CB MH	R-2390	997.08	N = 992.74 SE = 992.74 SW = 992.99	 107 L.F. OF 18" RCP @ 1.00%, STRM #5 103 L.F. OF 12" RCP @ 1.00%, STRM #23
STRM #5	60" MH	R-1733	1001.07	NW = 993.81 SE = 993.81 S = 994.31	 68 L.F. OF 18" RCP @ 1.00%, STRM #7 52 L.F. OF 12" RCP @ 8.63%, STRM #6
STRM #6	27" CB	R-2390	1001.75	N = 998.75	
STRM #7	48" MH	R-1733	1002.07	NW = 994.49 S = 994.49 SW = 997.45	 37 L.F. OF 18" RCP @ 1.00%, STRM #9 15 L.F. OF 4" PVC @ 6.55%, STRM #8
STRM #8	DRAIN TILE CONNECTION	NA		NE = 998.40	
STRM #9	48" CB MH	R-2390	1001.18	N = 994.86 S = 994.86 W = 996.24	 56 L.F. OF 18" RCP @ 0.50%, STRM #11 8 L.F. OF 10" PVC @ 2.00%, STRM #10
STRM #10	ROOF DRAIN CONNECTION	NA		E = 996.40	
STRM #11	48" CB MH	R-3067	1001.18	N = 995.14 S = 995.14 SW = 998.28	 87 L.F. OF 18" RCP @ 0.50%, STRM #14 10 L.F. OF 4" PVC @ 0.50%, STRM #12
STRM #12	4" 45° DEND	NI A		NE = 998.33	
	4" 45° BEND DRAIN TILE	NA		S = 998.33	31 L.F. OF 4" PVC @ 0.23%, STRM #13
STRM #13	CONNECTION	NA		N = 998.40	
STRM #14	48" CB MH	R-3067	1001.18	N = 995.57 S = 995.57 SW = 998.20 E = 997.66	 88 L.F. OF 18" RCP @ 0.50%, STRM #18 9 L.F. OF 4" PVC @ 0.50%, STRM #16 13 L.F. OF 4" PVC @ 46.07%, STRM #15
STRM #15	DRAIN TILE CONNECTION	NA		W = 1003.20	
STRM #16	4" 45° BEND	NA		NE = 998.25 S = 998.25	 31 L.F. OF 4" PVC @ 0.50%, STRM #17
STRM #17	DRAIN TILE CONNECTION	NA		N = 998.40	
STRM #18	48" CB MH	R-3067	1001.18	N = 996.01	
"				S = 996.01 N = 996.35	46 L.F. OF 15" RCP @ 0.75%, STRM #19
STRM #19	48" MH	R-1733	1001.40	S = 996.57 W = 996.35	16 L.F. OF 12" RCP @ 1.00%, STRM #21 8 L.F. OF 10" PVC @ 2.00%, STRM #20
STRM #20	ROOF DRAIN CONNECTION	NA		E = 996.51	
STRM #21	48" CB MH	R-3067	1001.20	N = 996.73 W = 996.73	 87 L.F. OF 12" RCP @ 1.00%, STRM #22
STRM #22	27" CB	R-2390	1000.60	E = 997.60	
STRM #23	48" MH	R-1733	999.93	NE = 994.02 S = 994.02 SE = 996.42	 131 L.F. OF 12" RCP @ 1.00%, STRM #26 25 L.F. OF 4" PVC @ 1.00%, STRM #24
STRM #24	4" 45° BEND	NA		NW = 996.67 E = 996.67	 40 L.F. OF 4" PVC @ 4.34%, STRM #25
STRM #25	DRAIN TILE CONNECTION	NA		W = 998.40	
STRM #26	48" MH	R-1733	1000.11	N = 995.33 S = 995.33 W = 995.83 E = 996.58	 22 L.F. OF 12" RCP @ 1.00%, STRM #29 19 L.F. OF 12" RCP @ 1.00%, STRM #27 52 L.F. OF 4" PVC @ 3.53%, STRM #28
STRM #27	24"x36" CB	R-3067	999.55	E = 996.02	
STRM #28	DRAIN TILE CONNECTION	NA		W = 998.40	
STRM #29	72" MH	R-1733	1000.25	N = 995.55 S = 995.55 W = 995.80 SE = 996.80	 145 L.F. OF 12" RCP @ 1.00%, STRM #33 20 L.F. OF 12" RCP @ 1.00%, STRM #30 32 L.F. OF 4" PVC @ 3.09%, STRM #31
STRM #30	24"x36" CB	R-3067	999.10	E = 996.00	
STRM #31	4" 22.5° BEND	NA		NW = 997.78 SE = 997.78	 31 L.F. OF 4" PVC @ 2.00%, STRM #32
STRM #32	DRAIN TILE CONNECTION	NA		NW = 998.40	
STRM #33	24"x36" CB	R-3067	1000.49	N = 997.00 E = 998.00	 71 L.F. OF 4" PVC @ 0.56%, STRM #34
STRM #34	DRAIN TILE CONNECTION	NA		W = 998.40	
STRM #35	48" MH	R-1733	1000.02	N = 995.15	7 L F OF 15" PCD @ 0.50% STDM #36
"	'			S = 995.15	7 L.F. OF 15" RCP @ 0.50%, STRM #36

				SANITARY SEWE	R TABLE
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
SSWR #1	EX	NA	998.15	W = 987.62 SE = 987.62 N = 988.12	
SSWR #2	48" MH	R-1733	1002.05	S = 995.89 E = 996.09	 15 L.F. OF 4" PVC @ 2.08%, SSWR #3
SSWR #3	SERVICE CONNECTION	NA		W = 996.40	

Section 5, Item B. NORTH SHORE **GYMNASTICS**



WOLD ARCHITECTS AND ENGINEERS

woldae.com | 651 227 7773

332 Minnesota Street, Suite W2000 Saint Paul, MN 55101

BKBM 6120 Earle Brown Drive Suite 700 Minneapolis, MN 55430 Phone: Structural & Civil Engineers 763.843.0420

bkbm.com © 2025 BKBM Engineers Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument of service and is the property of BKBM Engineers and may not be used or copied without prior written

75% CD SET NOT FOR CONSTRUCTION

State of Minnesota.

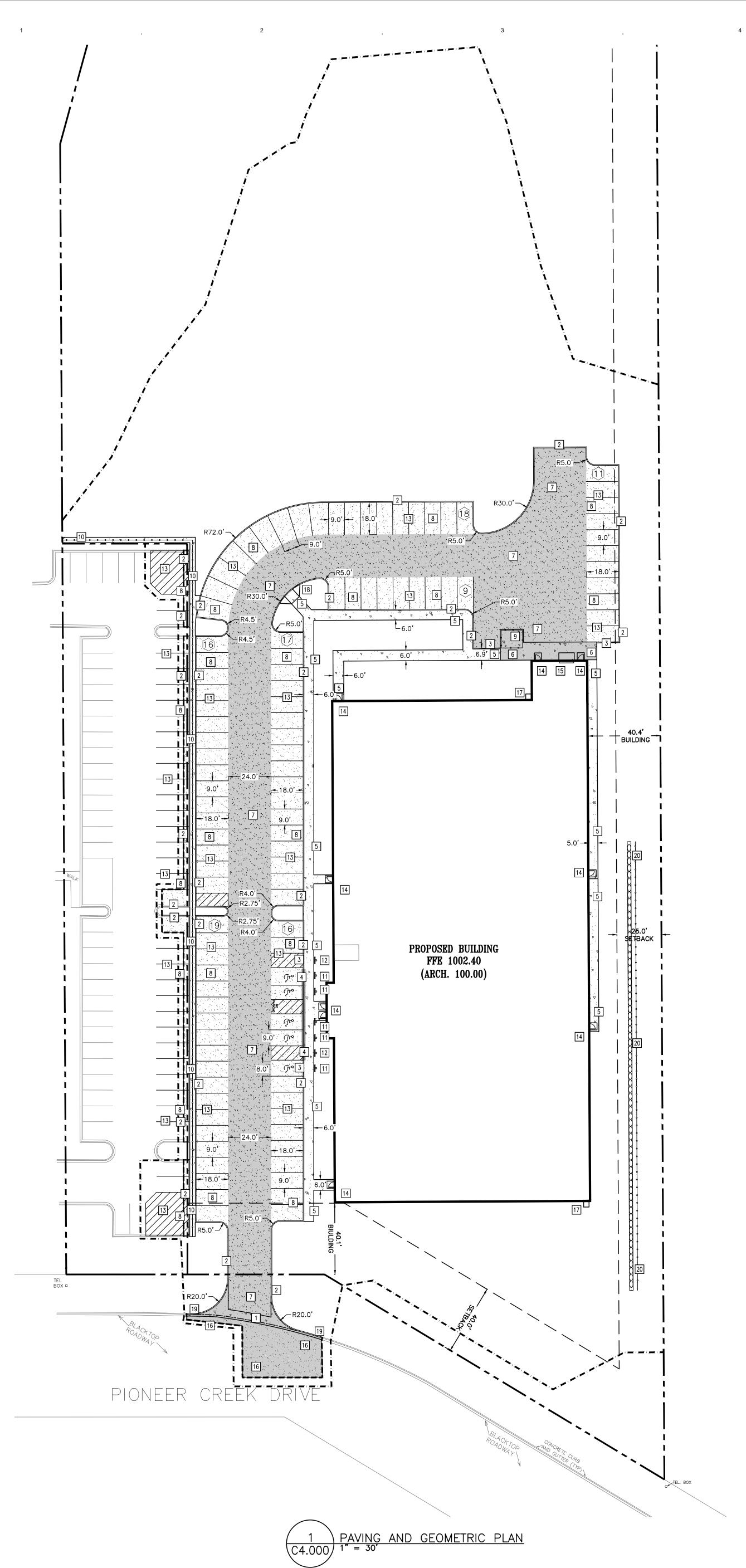
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the

Nathaniel P. Anderson License Number: 59311 Date: **08/01/2025**

Comm: **252103** Date: 08/01/2025

UTILITY PLAN

C3.000



KEYED NOTES ARE DENOTED BY NO ON PLAN.

1 INSTALL CONCRETE DRIVE ENTRANCE. REFER TO DETAIL 1/C5.002.

2 INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 2/C5.002.

3 INSTALL NOSE-DOWN CURB SECTION. REFER TO DETAIL 4/C5.002.

4 INSTALL FLAT CURB SECTION. REFER TO DETAIL 3/C5.002.

5 INSTALL CONCRETE WALK. REFER TO DETAIL 8/C5.002.

6 INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 7/C5.002.

7 INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 6/C5.002.

8 INSTALL LIGHT-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 5/C5.002.

9 INSTALL CONCRETE DUMPSTER PAD. REFER TO DETAIL 7/C5.002. REFER TO LANDSCAPE PLANS FOR SCREENING FENCE.

INSTALL FENCE WITH CONCRETE MAINTENANCE STRIP. REFER TO DETAIL 10/C5.002 FOR MAINTENANCE STRIP. REFER TO LANDSCAPE PLANS AND SPECIFICATIONS FOR FENCING.

11 INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 9/C5.002.

12 INSTALL NO PARKING ANY TIME SIGN. REFER TO DETAIL 9/C5.002.

PAINT PARKING LOT STRIPING AND NO PARKING AREA, 4" WIDE STRIPES, WHITE IN COLOR. STRIPING FOR CROSS HATCH SHALL BE AS SHOWN SPACED 3' APART.

14 STOOP. REFER TO STRUCTURAL PLANS AND DETAILS.

15 CONCRETE APRON. REFER TO STRUCTURAL PLANS AND DETAILS. INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT. INTENT IS TO MATCH EXISTING PAVEMENT SECTION. REFER TO DETAIL 6/C5.002 FOR BIDDING PURPOSES

17 INSTALL CONCRETE SPLASH PAD. REFER TO DETAIL 8/C5.002 FOR CONCRETE SECTION. CONCRETE PAD SHALL BE INSTALLED IN LINE WITH PROPOSED OVERFLOW ROOF DRAIN. CONTRACTOR SHALL COORDINATE THE EXACT LOCATION IN THE FIELD. PAD DIMENSIONS SHALL BE 3 FEET BY 4 FEET UNLESS DEPICTED OTHERWISE. PAD SHALL BE SLOPED AT 2% AWAY FROM THE BUILDING.

18 INSTALL PEDESTRIAN CURB RAMP. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7038A.

19 INSTALL B624 CONCRETE CURB AND GUTTER. REFER TO DETAIL 13/C5.002.

20 INSTALL FENCE ALONG TOP OF RETAINING WALL. REFER TO LANDSCAPE PLANS AND SPECIFICATIONS FOR FENCING.

PROPOSED PLAN SYMBOLS CONSTRUCTION LIMITS ------PROPERTY LINE SAWCUT LINE (APPROX.) RETAINING WALL \cdot LIGHT DUTY BITUMINOUS PAVEMENT BITUMINOUS PAVEMENT CONCRETE SIDEWALK CONCRETE PAVEMENT FLAT CURB AND GUTTER ACCESSIBLE PARKING SYMBOL PARKING STALL COUNT

IN PUBLIC RIGHT OF WAY.

PROTECTION PURPOSES.

LONG, UNLESS NOTED OTHERWISE.

PRINTED ON THE SURFACE OF THE ACCESS AISLE.

TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.

ALL CITY OF MAPLE PLAIN REQUIREMENTS FOR TRAFFIC CONTROL.

1. CONTRACTOR SHALL FOLLOW ALL CITY OF MAPLE PLAIN STANDARDS AND SPECIFICATIONS.

3. ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED

4. NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL

6. FOLLOW ALL CITY OF MAPLE PLAIN RULES, REGULATIONS, AND SPECIFICATIONS WHEN WORKING

7. STRIPE PARKING LOT AS SHOWN. ALL PARKING STALLS ARE TO BE 9 FEET WIDE BY 18 FEET

8. ACCESSIBLE AISLES SHALL BE STRIPED PER MN CODE (SECTION 502). WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE, "NO PARKING" SHALL BE

9. THE CONTRACTOR IS TO CONTACT THE CITY OF MAPLE PLAIN FIRE MARSHALL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING, AND NO PARKING AREAS FOR FIRE

10. REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE

11. INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.

13. MATCH NEW PAVEMENT, CURB AND GUTTER, AND SIDEWALK INTO EXISTING. NO ABRUPT GRADE

COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER.

15. INSTALL DRIVE ENTRANCE PER CITY OF MAPLE PLAIN STANDARDS AND SPECIFICATIONS. FOLLOW

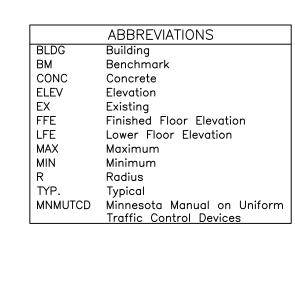
12. ALL EXPANSION AND ISOLATION JOINTS SHALL BE SEALED PER SPECIFICATIONS.

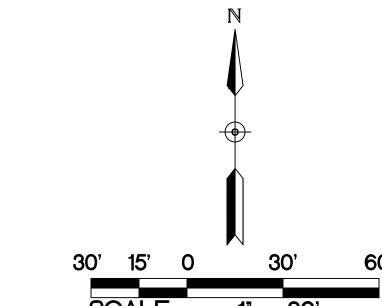
14. SAWCUT EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO NEAREST JOINT.

16. REFER TO SPECIFICATIONS FOR GRADE VERIFICATION SURVEY REQUIREMENTS PRIOR TO PLACEMENT OF SUB-BASE MATERIAL, BASE MATERIAL, AND PAVEMENTS/SIDEWALKS.

2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

5. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.





Maple Plain, MN



NORTH SHORE

GYMNASTICS

Section 5, Item B.

WOLD ARCHITECTS AND ENGINEERS 332 Minnesota Street, Suite W2000

Saint Paul, MN 55101

woldae.com | 651 227 7773



BKBM Project No. 25283.5

and may not be used or copied without prior written

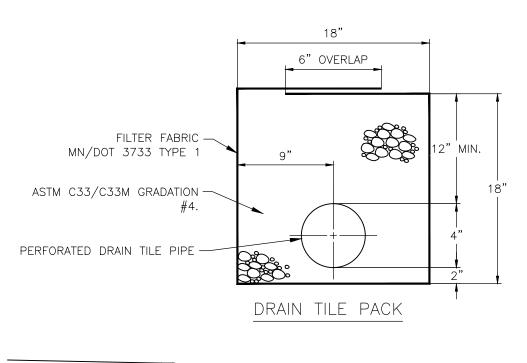
75% CD SET NOT FOR CONSTRUCTION

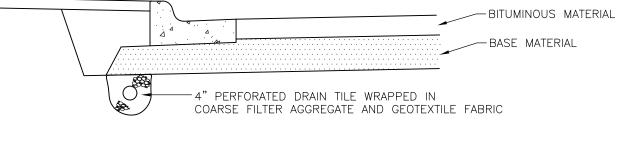
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the

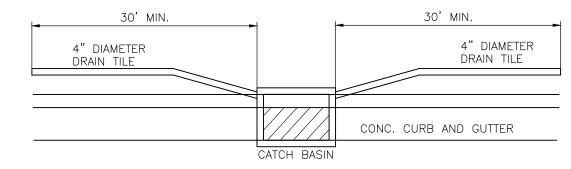
License Number:	Nathaniel P. 59311		on 08/01/2025	
	Revis	sions		
Description		Date		Num

PAVING AND GEOMETRIC PLAN

C4.000

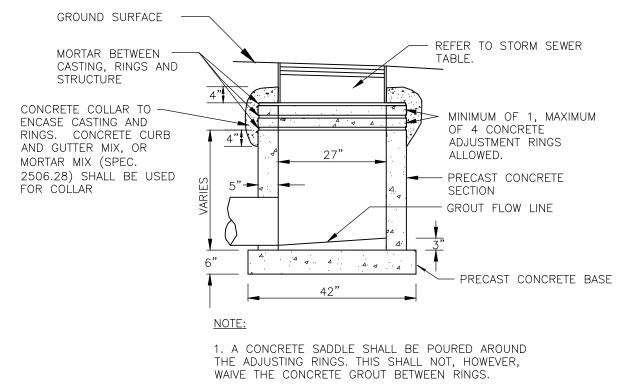


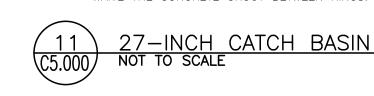


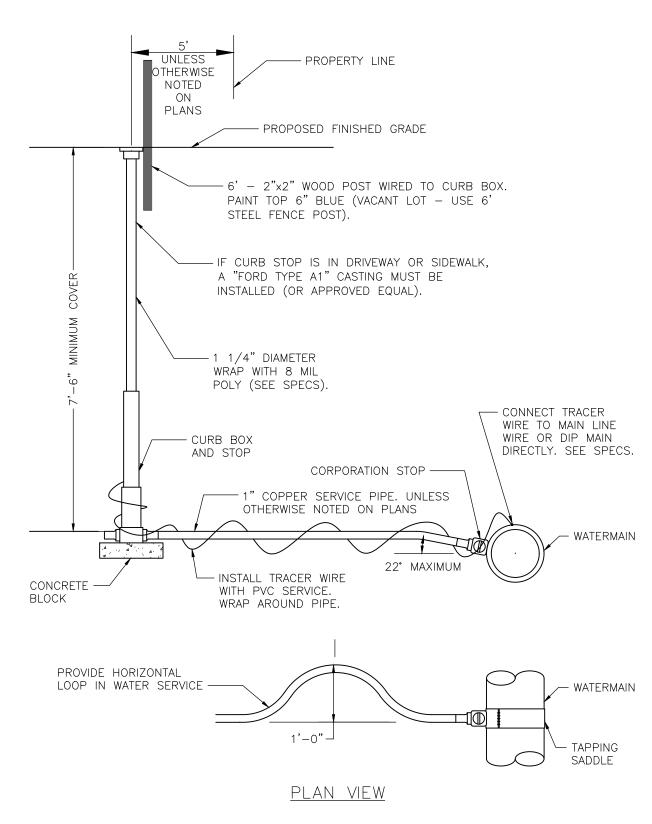


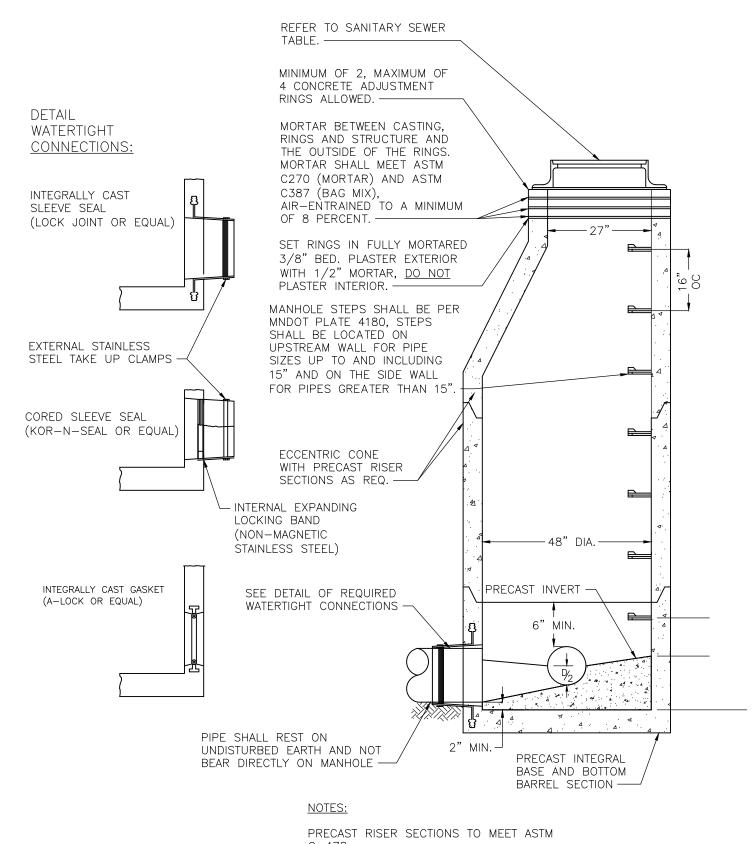
1) A MINIMUM OF 60 FEET OF DRAIN TILE SHALL BE PLACED AT ALL LOW POINT CATCH BASINS. 2) THE FIRST 18" AT CATCH BASIN SHALL BE SOLID WALL SCH 40 PVC. DRAIN TILE SHALL BE PLACED BEHIND THE PROPOSED CURB LINE. 3) MAINTAIN POSITIVE SLOPE AWAY FROM CATCH BASIN AT ALL TIMES. DRAIN TILE SLOPE SHALL MATCH PROPOSED AT GRADE SLOPE OR 0.5 PERCENT, WHICH EVER IS GREATER. 4) FOR CATCH BASINS NOT LOCATED IN A CURB LINE CONTRACTOR SHALL EXTEND DRAIN TILE IN 4 DIRECTIONS, IN THE SHAPE OF AN "X", FOR 15-FEET FROM EDGE OF CATCH BASIN STRUCTURE. 5) CONTRACTOR SHALL PROVIDE SOLID WALL PVC PIPE TO 10-FEET OF EITHER SIDE OF WATERMAIN CROSSINGS. 6) DRAIN TILE SHALL CONNECT TO CATCH BASIN AT 2.5-FEET BELOW THE PROPOSED RIM ELEVATION OR THE BOTTOM OF THE PAVEMENT BASE MATERIAL, WHICHEVER IS DEEPER. 7) PIPE CAPS SHALL BE INSTALLED ON THE END RUNS OF ALL DRAIN TILE PIPE.

DRAIN TILE AT LOW POINT CATCH BASIN NOT TO SCALE

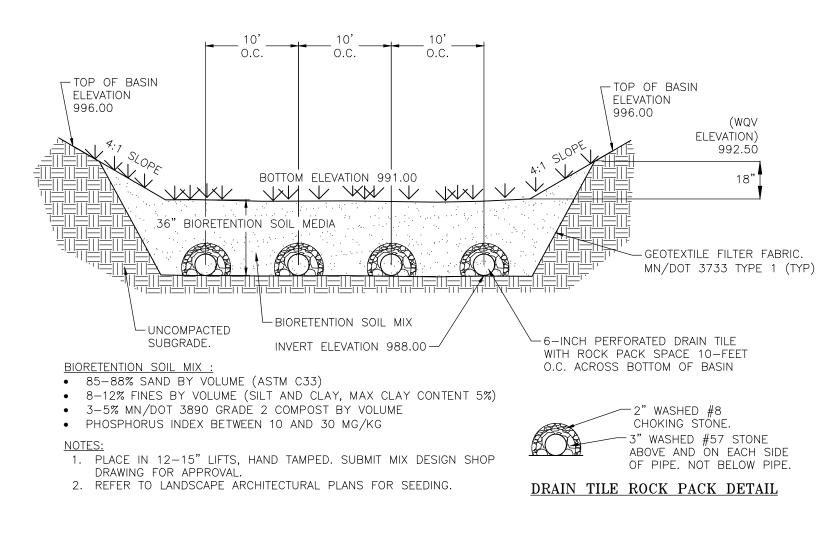




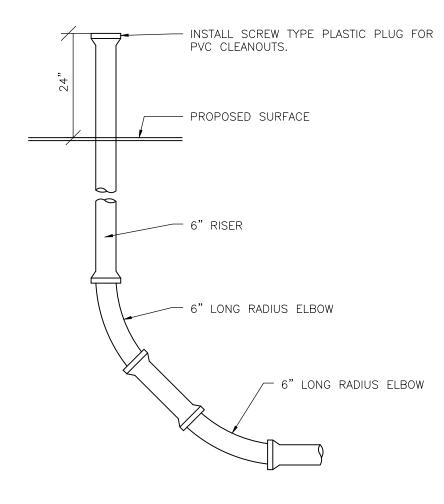




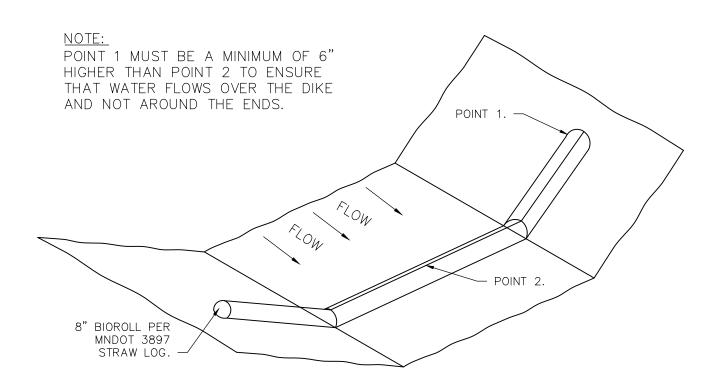
JOINTS BETWEEN PRECAST SECTIONS SHALL USE O-RING RUBBER GASKET CONFORMING TO ASTM WATERTIGHT PIPE CONNECTIONS SHALL MEET ASTM C-923 & C-443 AND ALLOW FOR 10° DEFLECTION IN ANY DIRECTION.

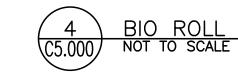


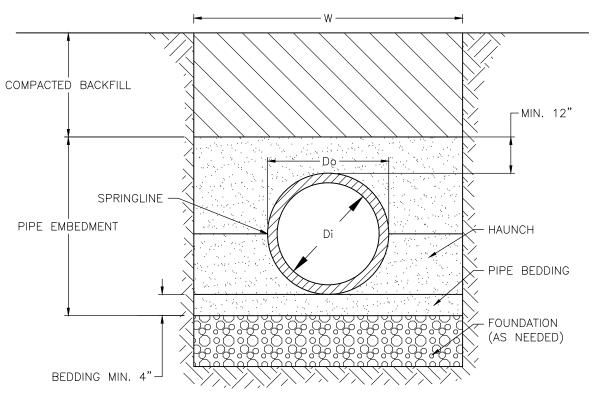




ABOVE GRADE STORM SEWER CLEANOUT NOT TO SCALE

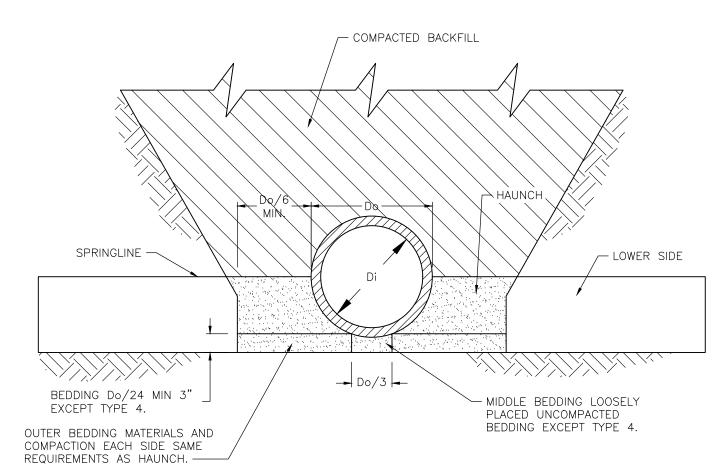






NOTES: 1. THE MINIMUM TRENCH WIDTH "W" SHALL BE W=Do+16" OR 1.25*Do+12 WHICHEVER IS 2. PIPE EMBEDMENT MATERIAL SHALL BE CLASS I OR CLASS II MATERIAL. REFER TO SPECIFICATIONS FOR DETAILS. 3. REFER TO ASTM D2321-05 "UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS" FOR DETAILS.

TYPICAL PIPE BEDDING FOR PVC NOT TO SCALE



STANDARD TRENCH INSTALLATION SOIL AND MINIMUM STANDARD PROCTOR COMPACTION REQUIREMENTS				
INSTALLATION TYPE	HAUNCH AND OUTER BEDDING	LOWER SIDE		
TYPE 1	95% CATEGORY I	90% CATEGORY I 95% CATEGORY II 100% CATEGORY III		
TYPE 2	90% CATEGORY I 95% CATEGORY II	85% CATEGORY I 90% CATEGORY II 95% CATEGORY III		
TYPE 3	85% CATEGORY I 90% CATEGORY II 95% CATEGORY III	85% CATEGORY I 90% CATEGORY II 95% CATEGORY III		
TYPE 4	NO COMPACTION REQUIRED, EXCEPT IF CATEGORY III USE 85% CATEGORY III	NO COMPACTION REQUIRED, EXCEPT IF CATEGORY III USE 85% CATEGORY III		

EQUIVALENT SOIL CLASSIFICATIONS FOR SOIL DESIGNATIONS					
SOIL	UNIFIED SOIL CLASSIFICATION SYSTEM (USCS)	MN/DOT SPECIFICATION			
CATEGORY I	CLEAN COURSE GRAINED SOILS: SW, SP, GW, GP, OR ANY SOIL BEGINNING WITH ONE OF THESE SYMBOLS WITH 12% OR LESS PASSING A #200 SIEVE	COARSE FILTER AGGREGATE MN/DOT 3149.2H			
CATEGORY II	COURSE GRAINED SOILS WITH FINES: GM, GC, SM, SC, OR ANY SOIL BEGINNING WITH ONE OF THESE SYMBOLS CONTAINING MORE THAN 12% PASSING A #200 SIEVE	AGGREGATE BEDDING MN/DOT 3149.2G			
CATEGORY III	FINE GRAINED SOILS: CL, ML, (OR CL-ML, CL.ML, ML/CL) WITH LESS THAN 30% RETAINED ON A #200 SIEVE.	NOT APPLICABLE			

- 1. COMPACTION AND SOIL SYMBOLS-I.E. "95% CATEGORY I" REFERS TO CATEGORY I SOIL MATERIAL WITH MINIMUM STANDARD PROCTOR COMPACTION OF 95%. 2. SOIL IN BEDDING AND HAUNCH ZONES SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE MAJORITY OF SOIL IN THE BACKFILL ZONE.
- 3. THE TRENCH WIDTH SHALL BE WIDER THAN SHOWN IF REQUIRED FOR ADEQUATE SPACE TO ATTAIN SPECIFIED COMPACTION IN THE HAUNCH AND BEDDING ZONES. 4. FOR TRENCH WALLS WITH GREATER THAN 10 DEGREE SLOPES THAT CONSIST OF

EMBANKMENT, THE LOWER SIDE SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION

- AS SPECIFIED FOR THE SOIL IN THE BACKFILL ZONE. 5. NO BEDDING IS REQUIRED FOR TYPE 4 STANDARD INSTALLATION.
- 6. REFER TO ASTM C1479-07 FOR DETAILS. 7. TYPE III BEDDING SHALL BE USED UNLESS NOTED OTHERWISE.

PIPE BEDDING FOR RCP AND DIP



Maple Plain, MN

MINIMUM TWO (2) FOOT HIGH ROCK BERM CONSISTING OF 1.5 INCH TO 3

✓ 4:1 SLOPE.

GEOTEXTILE FABRIC.

FILTER ASSEMBLY.

INSTALLATION DETAIL

SIDE VIEW INSTALLED

1. MAXIMUM DISTANCE BETWEEN POSTS IS 4'. AN EXTRA

2. MAINTAIN UNTIL SURFACE HAS BEEN PAVED AND/OR

3. GEOTEXTILE FILTER FABRIC SHALL BE INSTALLED PER SILT FENCE DETAIL.

POST MAY BE ADDED ON EACH SIDE.

VEGETATION HAS BEEN ESTABLISHED.

- WOOD OR METAL

CATCH BASIN.

←12 INCH MINIMUM OF 1.5 INCH

TO 3 INCH DIAMETER WASHED

INCH DIAMETER WASHED ROCK.

— 50'МINIMUM —

1. MINIMUM LENGTH OF 50 FEET AND WIDTH OF 12 FEET.

2. FOLLOW ALL CITY, WATERSHED DISTRICT AND MPCA STANDARDS.

3. CLEAN STREETS ON A DAILY BASIS OR MORE FREQUENTLY IF REQUESTED BY CITY, WATERSHED DISTRICT OR MPCA.

BERMED ROCK CONSTRUCTION ENTRANCE

4:1 SLOPE. ─

POLYESTER SLEEVE. — DOG,

NOTE:

— FILTER ASSEMBLY.

MANHOLE COVER

POLYESTER SLEEVE.

- INFRASAFE SEDIMENT CONTROL BARRIER (27" OR 2'X3').

- MN/DOT 3149.2H COARSE ROCK.

- PERFORATED WALL.

PLACE BOTTOM EDGE OF FENCE INTO 6" DEEP TRENCH AND BACKFILL IMMEDIATELY.

- CURB OPENING.

EXPANSION

RESTRAINT. -

FILTER

FABRIC. -

INLETS SEDIMENTATION PROTECTION OPTIONS

POSTS 6' ON CENTER POSTS

SHALL BE 2" x 2" HARDWOOD, PINE OR STANDARD STEEL FENCE

POSTS. POSTS SHALL BE DRIVEN

A MINIMUM OF 18" INTO THE

NOTE: SILT FENCE MATERIALS AND

INSTALLATION SHALL CONFORM TO THE

REQUIREMENTS OF MN/DOT 3886.2

EXISTING BITUMINOUS. -

1" REBAR FOR BAG

OPTIONAL OVERFLOW. -

(REBAR NOT INCLUDED). —

SILT SACK (R) . —

DUMP LOOPS

OPENING FOR LARGE

RAINFALL EVENTS.

BARRIER FRAME. -

CATCH BASIN STRUCTURE. —

(REBAR NOT INCLUDED). —

REMOVAL FROM INLET



WOLD ARCHITECTS AND ENGINEERS 332 Minnesota Street, Suite W2000

Saint Paul, MN 55101

woldae.com | 651 227 7773 BKBM 6120 Earle Brown Drive Suite 700 Minneapolis, MN 55430 Phone: Structural & Civil Engineers 763.843.0420 © 2025 BKBM Engineers Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument of service and is the property of BKBM Engineers

and may not be used or copied without prior written

BKBM Project No. 25283.5

75% CD SET NOT FOR **CONSTRUCTION** I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am

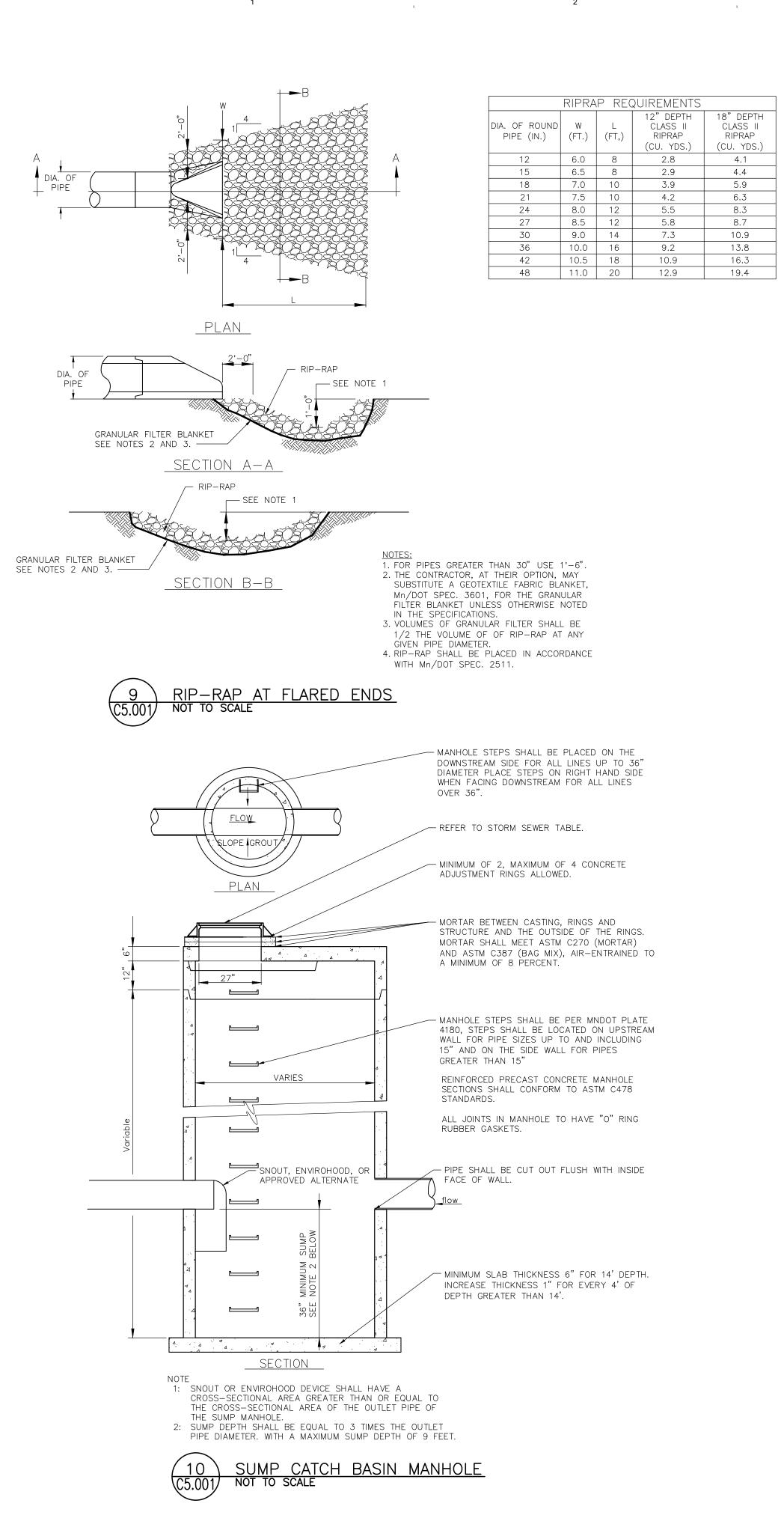
a duly Licensed Professional Engineer under the laws of the

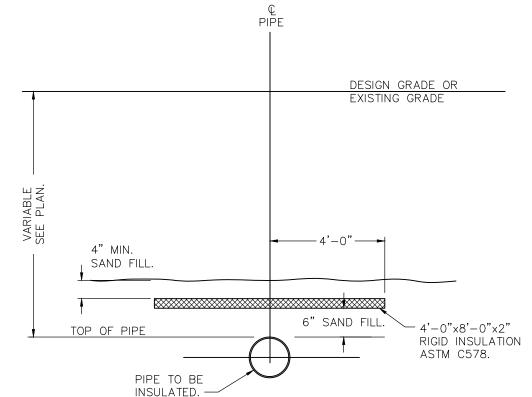
State of Minnesota.

Nathaniel P. Anderson License Number: 59311 Date: **08/01/2025** Comm: **252103**

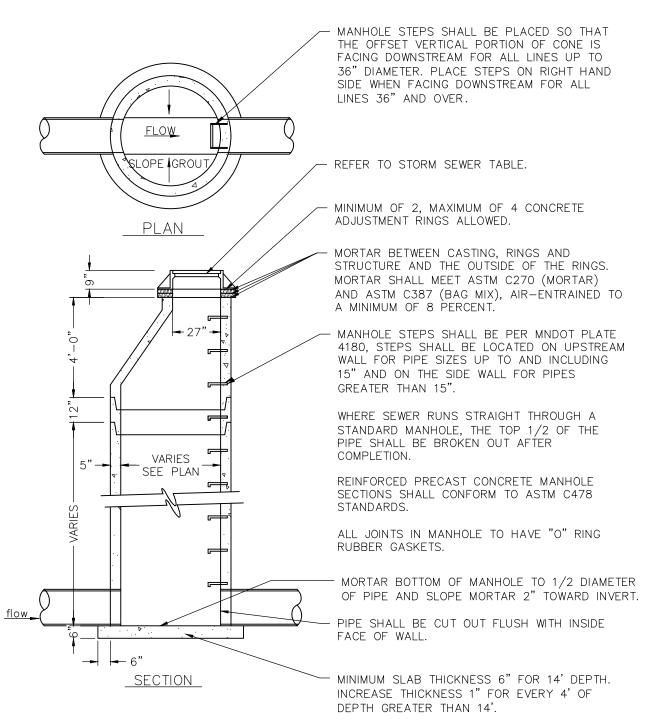
Check: KAB **CIVIL DETAILS**

Date: 08/01/2025





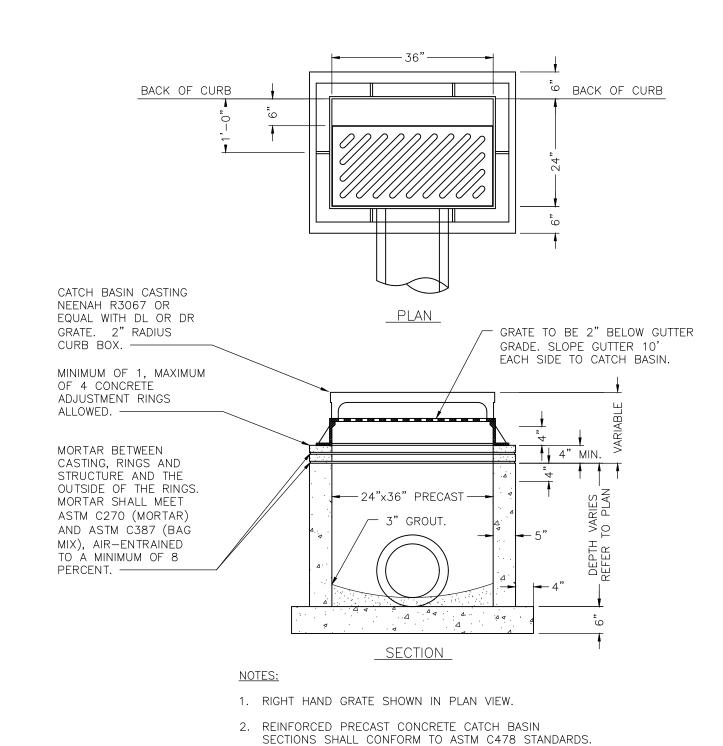
11 PIPE INSULATION DETAI (C5.001) NOT TO SCALE



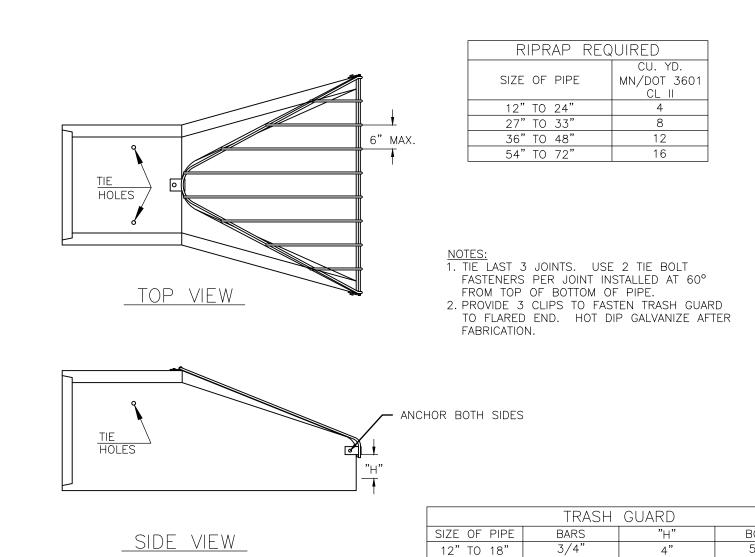
4

3

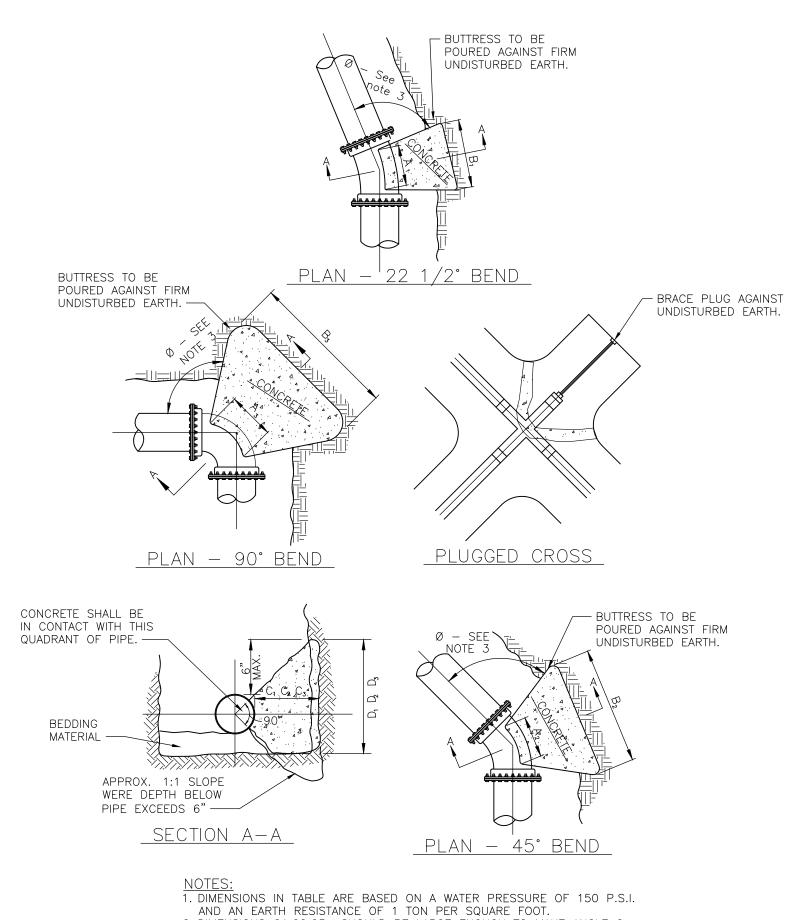
6 STORM SEWER MANHOLE/CATCH BASIN C5.001) NOT TO SCALE

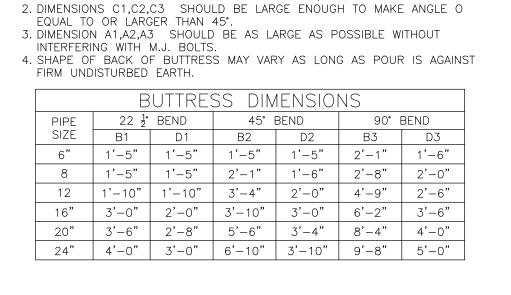


7 24" x 36" PRECAST CATCH BASIN C5.001 NOT TO SCALE

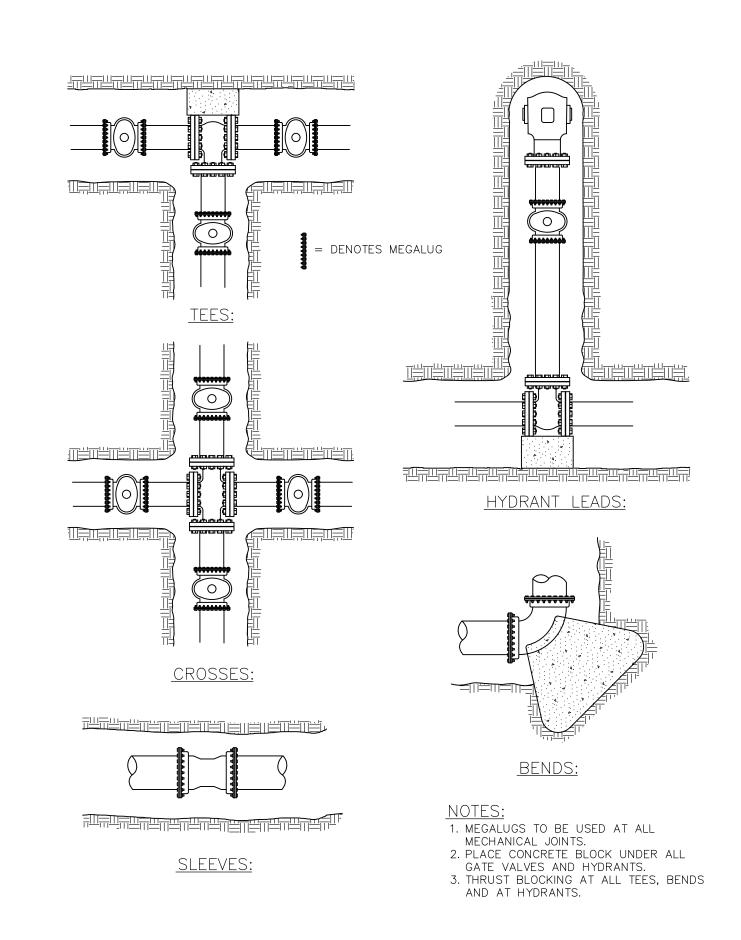


8 FLARED-END SECTION C5.001 NOT TO SCALE

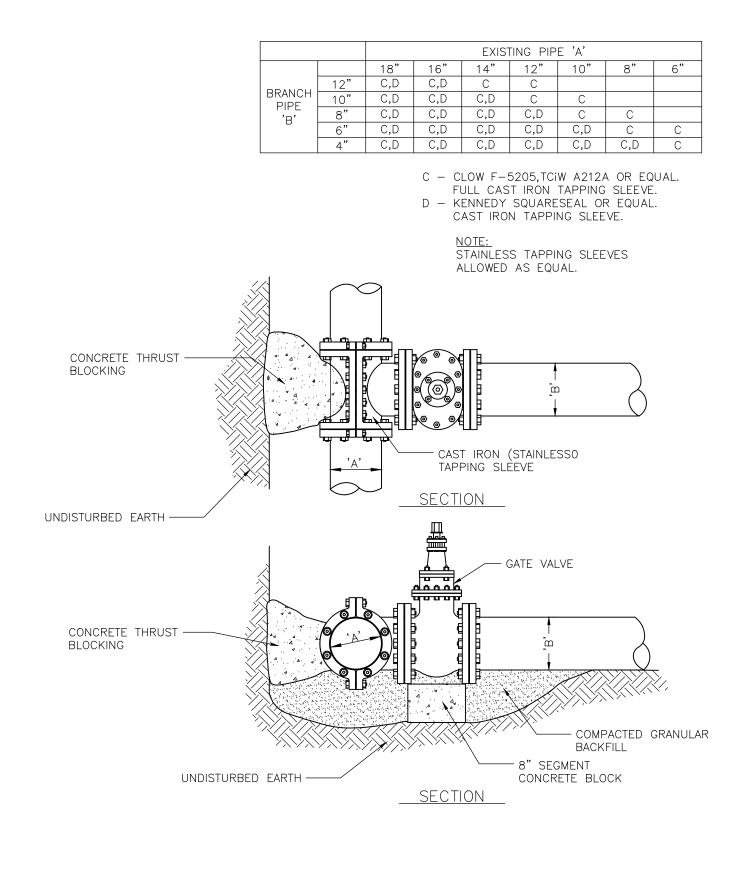




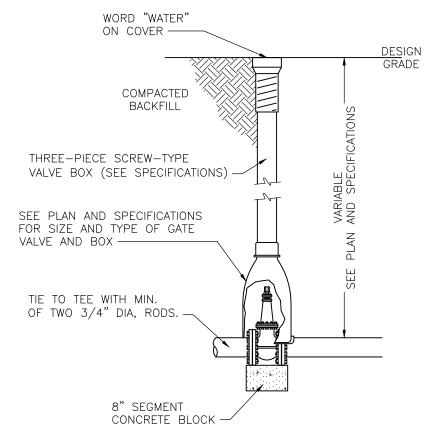




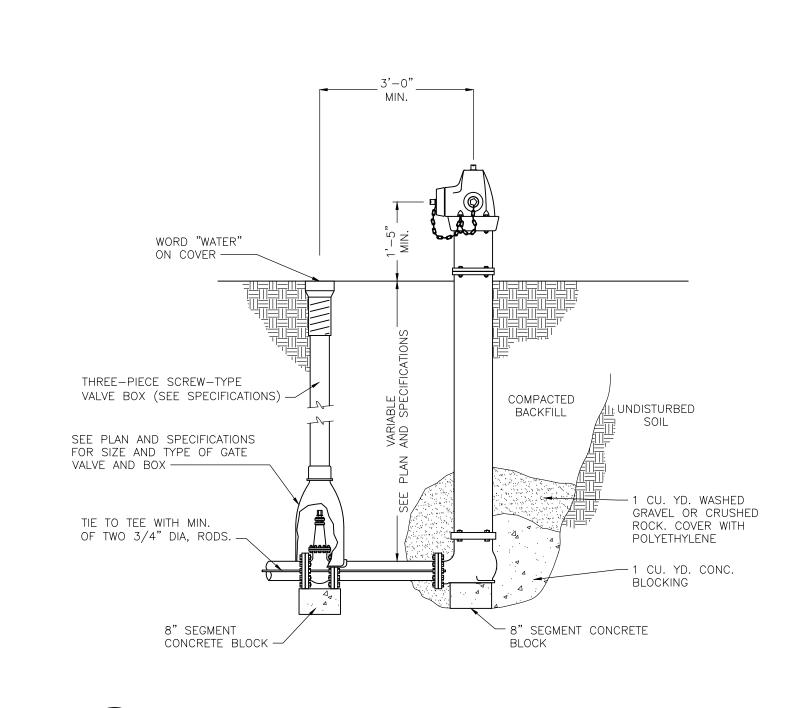








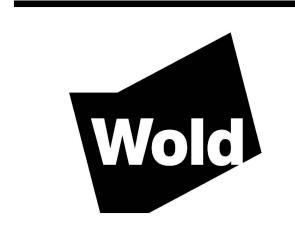
2 GATE VALVE AND BOX INSTALLATION C5.001) NOT TO SCALE



3 TYPICAL HYDRANT WITH GATE VALVE AND BOX (C5.001) NOT TO SCALE

NORTH SHORE
GYMNASTICS

Maple Plain, MN



WOLD ARCHITECTS
AND ENGINEERS

332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldae.com | 651 227 7773



BKBM Project No. 25283.5

75% CD SET
NOT FOR
CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am

a duly Licensed Professional Engineer under the laws of the

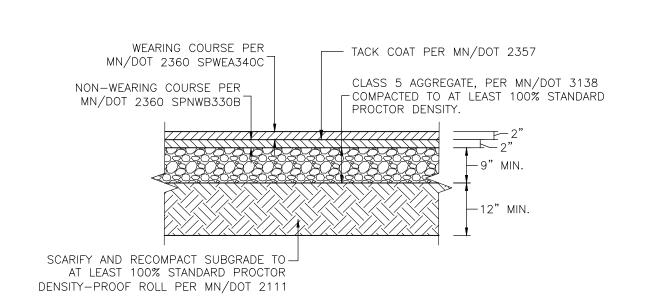
State of Minnesota.

	Revisions	
Description	Date	

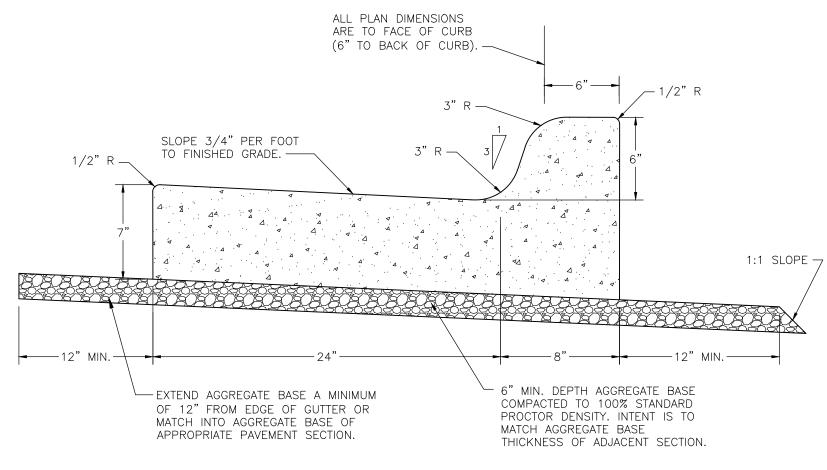
CIVIL DETAILS

Check: KAB

C5.001





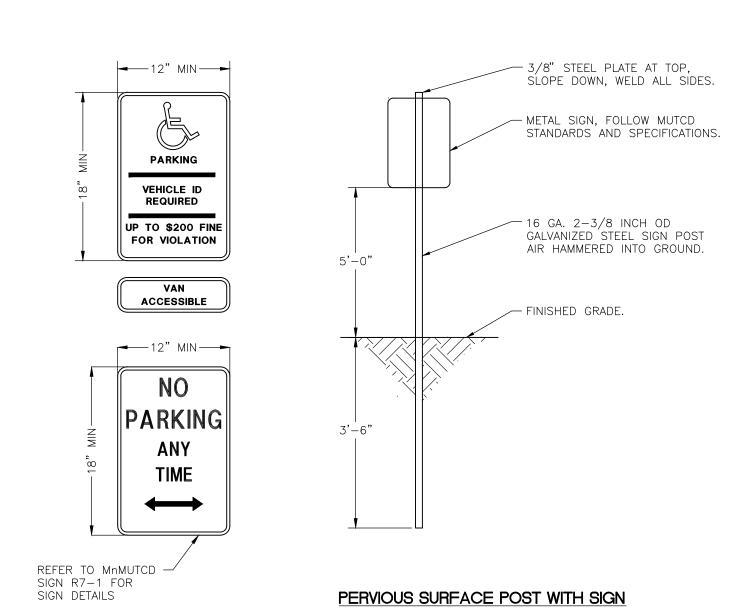


NOTES:

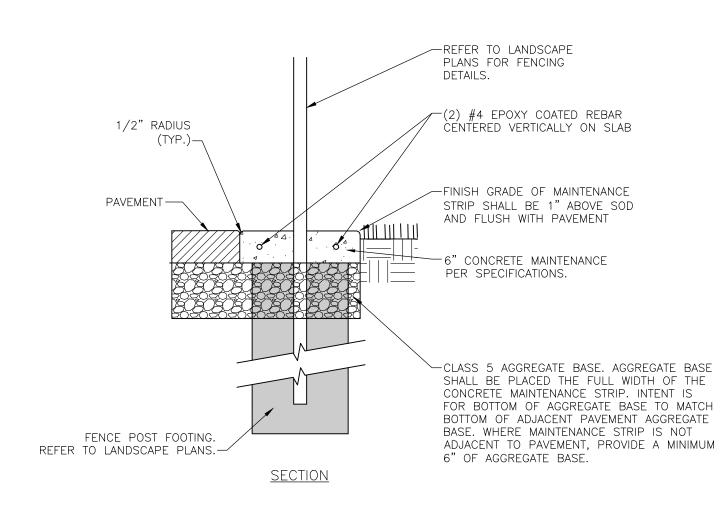
1. DIRECTION OF TRANSVERSE GUTTER SLOPE TO MATCH DIRECTION OF ADJACENT PAVEMENT SLOPE.

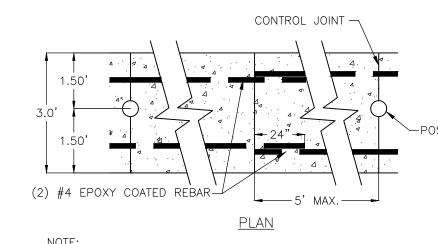
2. CONSTRUCT CURB AND GUTTER IN ACCORDANCE WITH MNDOT SPECIFICATION 2531.





9 SIGN AND POS C5.002 NOT TO SCALE



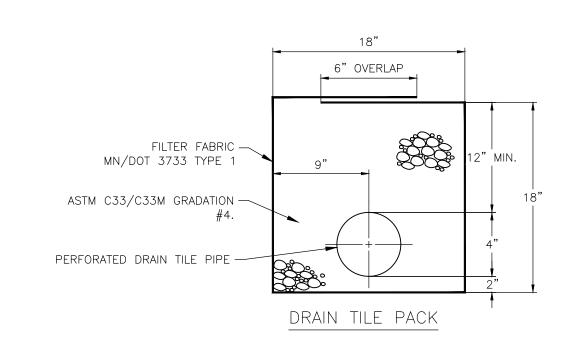


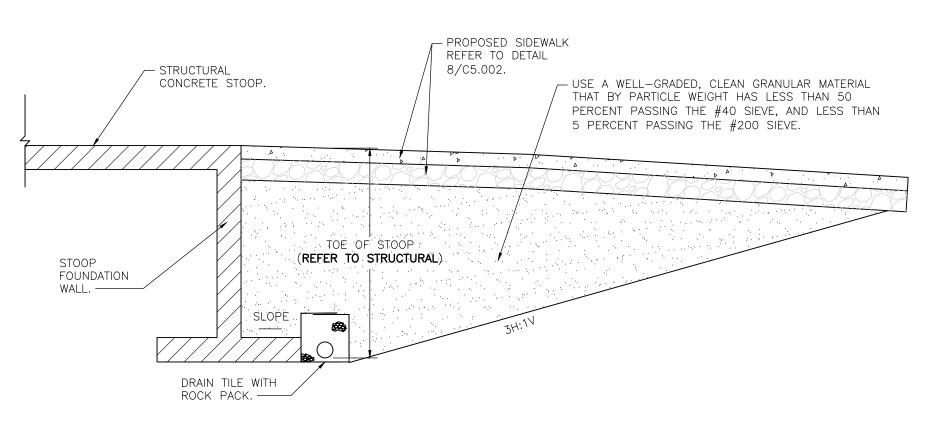
NOTE:

1) PROVIDE 6" MINIMUM CLASS 5 AGGREGATE BASE BENEATH CONCRETE MAINTENANCE STRIP.

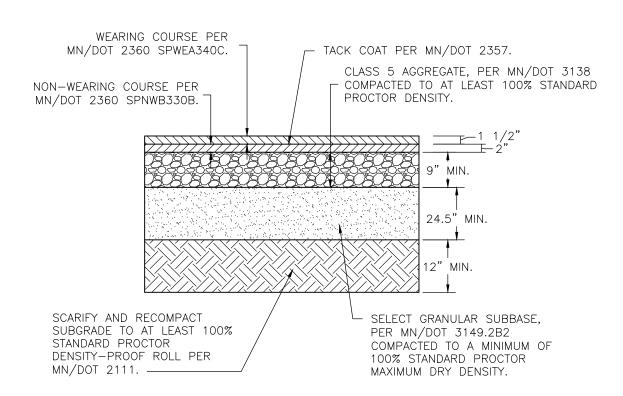
2) PROVIDE CONTROL JOINTS AT EACH FENCE POST AND CENTERED BETWEEN FENCE POST, 5—FOOT MAXIMUM.



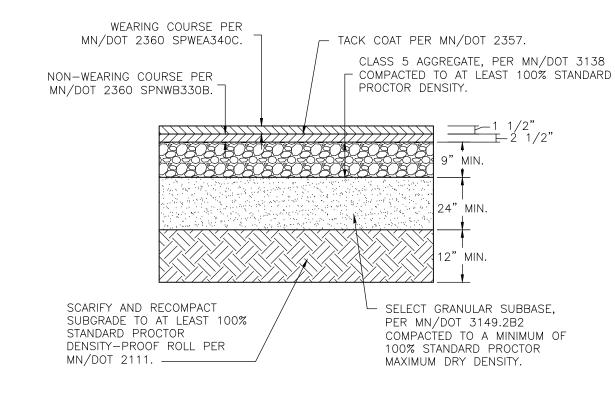




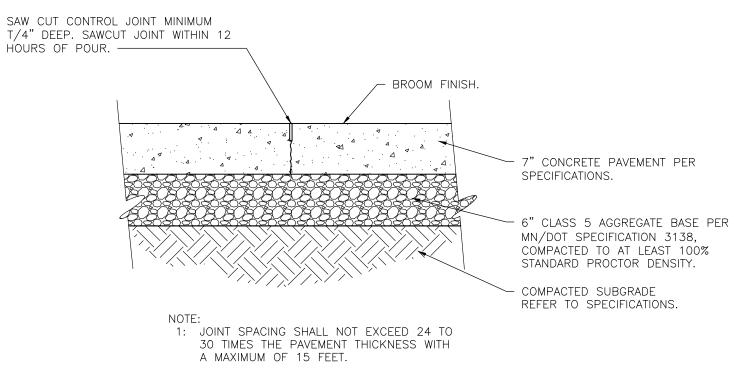


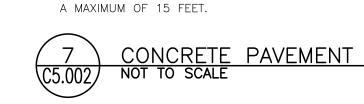


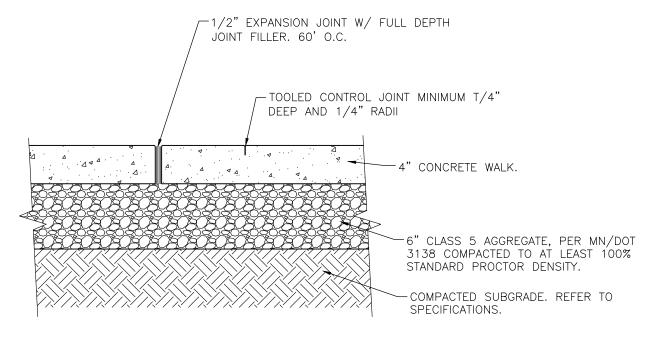
5 LIGHT-DUTY BITUMINOUS PAVEMENT C5.002 NOT TO SCALE





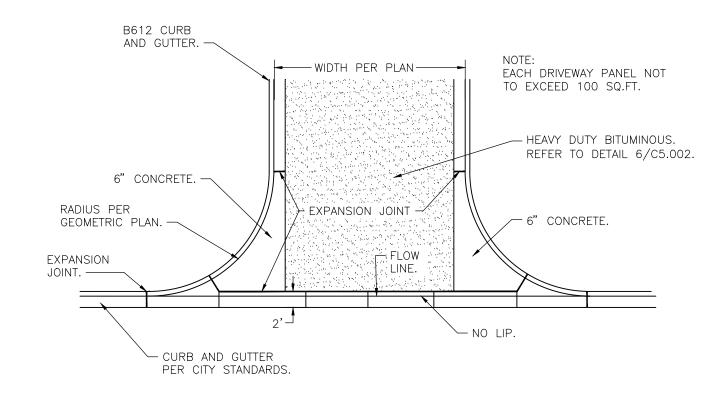




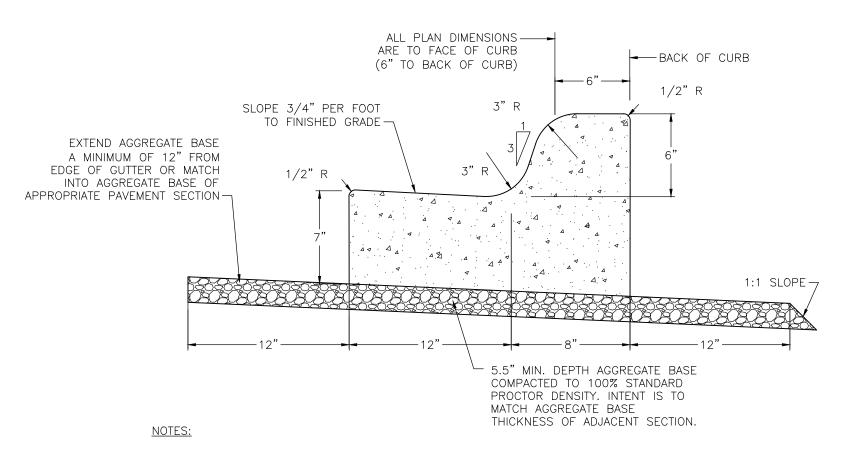


NOTE: 1: JOINT SPACING SHALL BE A MAXIMUM OF 6—FEET ON CENTER.







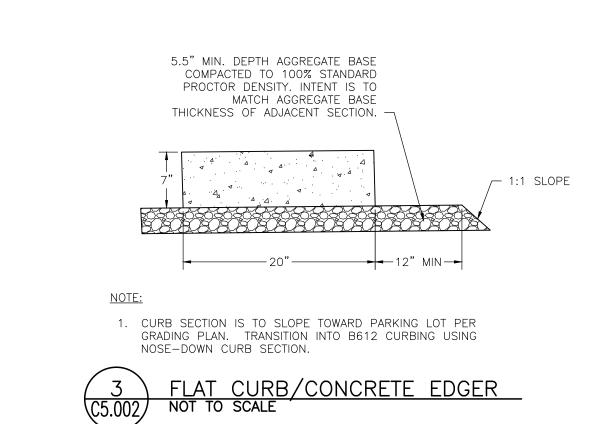


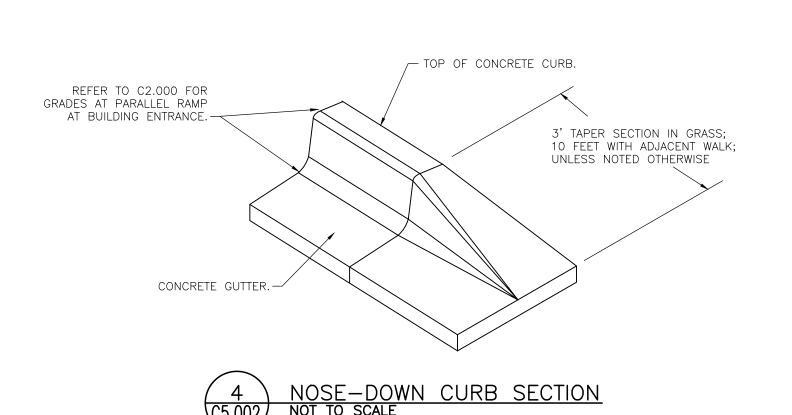
1. DIRECTION OF TRANSVERSE GUTTER SLOPE TO MATCH DIRECTION OF ADJACENT PAVEMENT SLOPE.

2. CONSTRUCT CURB AND GUTTER IN ACCORDANCE WITH MNDOT SPECIFICATION 2531.

2 B612 CONCRETE CURB AND GUTTER

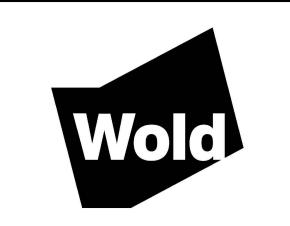
(C5.002) NOT TO SCALE





NORTH SHORE GYMNASTICS

Maple Plain, MN





Saint Paul, MN 55101

woldae.com | 651 227 7773



BKBM Project No. 25283.5

75% CD SET NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

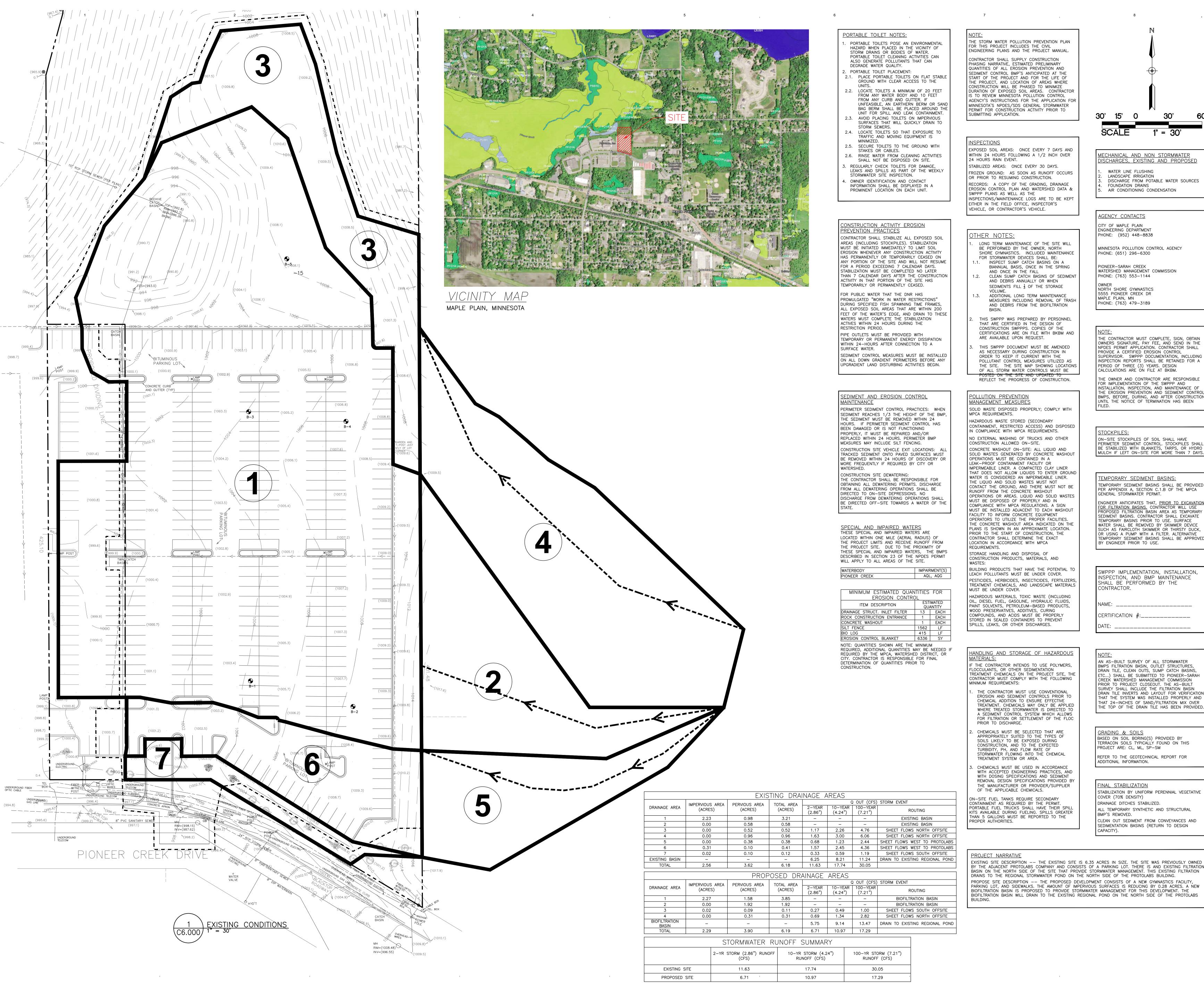
	P. Anderson	
License Number: 59311	Date: 08/01/	2025
R	evisions	
Description	Date	

Drawn: WH
Check: KAB

Date: 08/01/2025

CIVIL DETAILS

C5.002



THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT INCLUDES THE CIVIL ENGINEERING PLANS AND THE PROJECT MANUAL. CONTRACTOR SHALL SUPPLY CONSTRUCTION PHASING NARRATIVE, ESTIMATED PRELIMINARY QUANTITIES OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S ANTICIPATED AT THE START OF THE PROJECT AND FOR THE LIFE OF THE PROJECT, AND LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE DURATION OF EXPOSED SOIL AREAS. CONTRACTOR IS TO REVIEW MINNESOTA POLLUTION CONTROL AGENCY'S INSTRUCTIONS FOR THE APPLICATION FOR MINNESOTA'S NPDES/SDS GENERAL STORMWATER

NSPECTIONS

EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT. STABILIZED AREAS: ONCE EVERY 30 DAYS. FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION. RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE, OR CONTRACTOR'S VEHICLE.

THER NOTES:

LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER, NORTH SHORE GYMNASTICS. INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE: INSPECT SUMP CATCH BASINS ON A BIANNUAL BASIS, ONCE IN THE SPRING AND ONCE IN THE FALL CLEAN SUMP CATCH BASINS OF SEDIMENT AND DEBRIS ANNUALLY OR WHEN

> SEDIMENTS FILL 3 OF THE STORAGE ADDITIONAL LONG TERM MAINTENANCE MEASURES INCLUDING REMOVAL OF TRASH AND DEBRIS FROM THE BIOFILTRATION

THAT ARE CERTIFIED IN THE DESIGN OF CONSTRUCTION SWPPPS. COPIES OF THE CERTIFICATIONS ARE ON FILE WITH BKBM AND ARE AVAILABLE UPON REQUEST. THIS SWPPP DOCUMENT MUST BE AMENDED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE

POLLUTANT CONTROL MEASURES UTILIZED AS THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

UNTIL THE NOTICE OF TERMINATION HAS BEEN SOLID WASTE DISPOSED PROPERLY; COMPLY WITH HAZARDOUS WASTE STORED (SECONDARY

CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS. NO EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION ALLOWED ON-SITE. CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO THE START OF CONSTRUCTION, THE

STORAGE HANDLING AND DISPOSAL OF CONSTRUCTION PRODUCTS, MATERIALS, AND

BUILDING PRODUCTS THAT HAVE THE POTENTIAL 1 LEACH POLLUTANTS MUST BE UNDER COVER. PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER.

HAZARDOUS MATERIALS, TOXIC WASTE (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS MUST BE PROPERLY STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGES.

HANDLING AND STORAGE OF HAZARDOUS IF THE CONTRACTOR INTENDS TO USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ON THE PROJECT SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING

THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR T CHEMICAL ADDITION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR FILTRATION OR SETTLEMENT OF THE FLOC

CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION, AND TO THE EXPECTED TURBIDITY, PH, AND FLOW RATE OF STORMWATER FLOWING INTO THE CHEMICAL TREATMENT SYSTEM OR AREA.

CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, AND WITH DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR PROVIDER/SUPPLIER OF THE APPLICABLE CHEMICALS.

ON-SITE FUEL TANKS REQUIRE SECONDARY CONTAINMENT AS REQUIRED BY THE PERMIT. PORTABLE FUEL TRUCKS SHALL HAVE THEIR SPILL KITS AVAILABLE DURING FUELING. SPILLS GREATER THAN 5 GALLONS MUST BE REPORTED TO THE

30' 15'

CITY OF MAPLE PLAIN ENGINEERING DEPARTMENT

PHONE: (952) 448-8838

PHONE: (651) 296-6300

PIONEER-SARAH CREEK

PHONE: (763) 553-1144

NORTH SHORE GYMNASTICS

5555 PIONEER CREEK DR

PHONE: (763) 479-3189

MAPLE PLAIN, MN

MINNESOTA POLLUTION CONTROL AGENCY

WATERSHED MANAGEMENT COMMISSION

THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN

OWNERS SIGNATURE, PAY FEE, AND SEND IN THE

SUPERVISOR. SWPPP DOCUMENTATION. INCLUDING

INSPECTION REPORTS SHALL BE RETAINED FOR A

HE OWNER AND CONTRACTOR ARE RESPONSIBLE

NSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL

BMPS, BEFORE, DURING, AND AFTER CONSTRUCTION

FOR IMPLEMENTATION OF THE SWPPP AND

NPDES PERMIT APPLICATION. CONTRACTOR SHALL

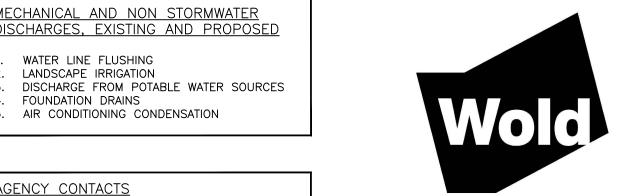
PROVIDE A CERTIFIED EROSION CONTROL

PERIOD OF THREE (3) YEARS. DESIGN

CALCULATIONS ARE ON FILE AT BKBM.

NORTH SHORE

GYMNASTICS



WOLD ARCHITECTS AND ENGINEERS

332 Minnesota Street, Suite W2000 Saint Paul, MN 55101

BKBM 6120 Earle Brown Drive Suite 700 Minneapolis, MN 55430 Phone: Structural & Civil Engineers 763.843.0420

woldae.com | 651 227 7773

© 2025 BKBM Engineers Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument of service and is the property of BKBM Engineers and may not be used or copied without prior written

BKBM Project No. 25283.5

TOCKPILES: ON-SITE STOCKPILES OF SOIL SHALL HAVE PERIMETER SEDIMENT CONTROL. STOCKPILES SHALL BE STABILIZED WITH BLANKETS, TARPS, OR HYDRO MULCH IF LEFT ON—SITE FOR MORE THAN 7 DAYS.

EMPORARY SEDIMENT BASINS: TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED PER APPENDIX A, SECTION C.1.B OF THE MPCA GENERAL STORMWATER PERMIT. ENGINEER ANTICIPATES THAT, <u>PRIOR TO EXCAVATION</u>
<u>FOR FILTRATION BASINS.</u> CONTRACTOR WILL USE
PROPOSED FILTRATION BASIN AREA AS TEMPORARY SEDIMENT BASINS. CONTRACTOR SHALL EXCAVATE TEMPORARY BASINS PRIOR TO USE. SURFACE WATER SHALL BE REMOVED BY SKIMMER DEVICE SUCH AS FAIRCLOTH SKIMMER OR THIRSTY DUCK. OR USING A PUMP WITH A FILTER. ALTERNATIVE TEMPORARY SEDIMENT BASINS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

SWPPP IMPLEMENTATION, INSTALLATION, INSPECTION, AND BMP MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR.
NAME:
CERTIFICATION #:
DATE:

AN AS-BUILT SURVEY OF ALL STORMWATER BMPS FILTRATION BASIN, OUTLET STRUCTURES, DRAIN TILE, CLEAN OUTS, SUMP CATCH BASINS, ETC...) SHALL BE SUBMITTED TO PIONEER—SARAH CREEK WATERSHED MANAGEMENT COMMISSION PRIOR TO PROJECT CLOSEOUT. THE AS-BUILT SURVEY SHALL INCLUDE THE FILTRATION BASIN DRAIN TILE INVERTS AND LAYOUT FOR VERIFICATION

THAT THE SYSTEM WAS INSTALLED PROPERLY AND

THAT 24-INCHES OF SAND/FILTRATION MIX OVER

THE TOP OF THE DRAIN TILE HAS BEEN PROVIDED

<u> GRADING & SOILS</u> BASED ON SOIL BORING(S) PROVIDED BY TERRACON SOILS TYPICALLY FOUND ON THIS PROJECT ARE: CL, ML, SP-SM

REFER TO THE GEOTECHNICAL REPORT FOR

ADDITIONAL INFORMATION.

FINAL STABILIZATION STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY) DRAINAGE DITCHES STABILIZED. ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S REMOVED. CLEAN OUT SEDIMENT FROM CONVEYANCES AND

SEDIMENTATION BASINS (RETURN TO DESIGN

Comm: **252103** Date: 08/01/2025 Check: KAB

> **STORM WATER POLLUTION** PREVENTION PLAN -**EXISTING**

CONDITIONS

75% CD SET

NOT FOR

I hereby certify that this plan, specification or report was

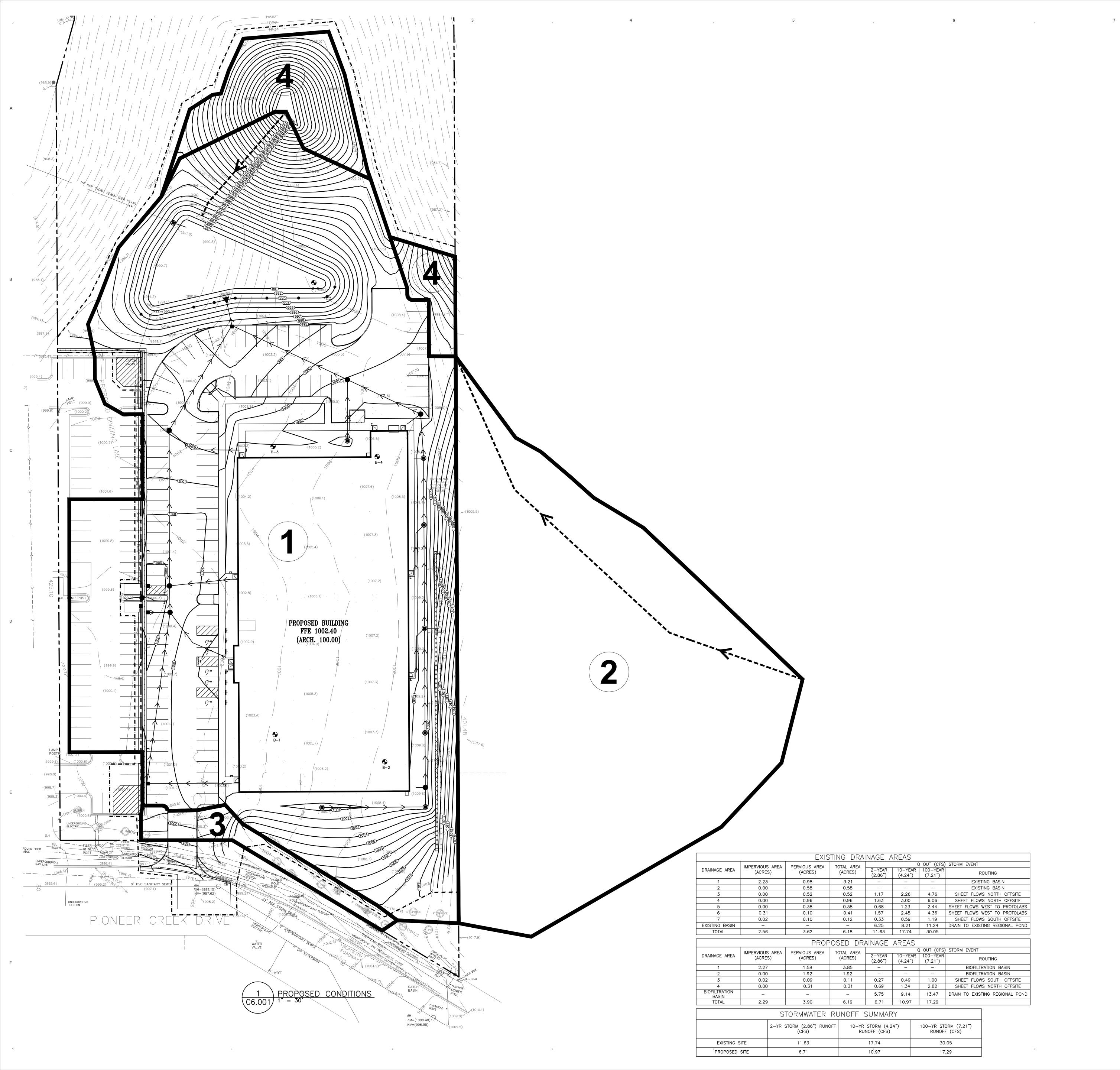
License Number: 59311

prepared by me or under my direct supervision and that I am

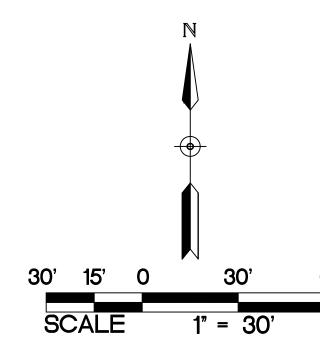
a duly Licensed Professional Engineer under the laws of the

Nathaniel P. Anderson

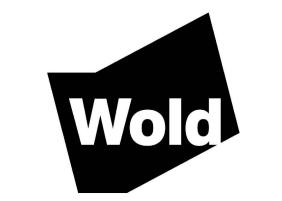
Date: 08/01/2025







Maple Plain, MN



WOLD ARCHITECTS AND ENGINEERS

332 Minnesota Street, Suite W2000 Saint Paul, MN 55101

woldae.com | 651 227 7773

BKBM
6120 Earle Brown Drive
Suite 700 Minneapolis,
MN 55430 Phone:
763.843.0420

© 2025 BKBM Engineers
Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument of service and is the property of BKBM Engineers and may not be used or copied without prior written

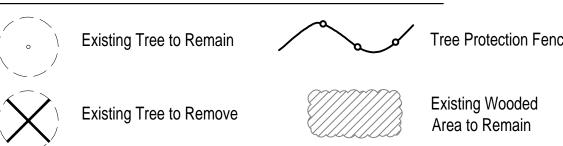
75% CD SET NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the

Nathaniel P. Anderson

STORM WATER

POLLUTION PREVENTION PLAN -PROPOSED CONDITIONS



TREE PRESERVATION REQUIREMENTS:

Assumption: All Trees to be removed were previous owner planted trees in accordance with the 2016 landscape plan.

Sec. 10-669. - Applicability.

A tree preservation plan shall be submitted to and approved by the City and implemented in accordance there with in connection with any of the following: When 30 percent of the total diameter inches of all trees and significant trees on the property are to be considered for removal.

Significant Tree: means a healthy tree meeting one of the following:

- A. Hardwood deciduous trees, as defined herein, measuring a minimum of six inches in diameter;
 B. All other deciduous tree (common), measuring a minimum of 12 inches in diameter;
- C. Coniferous (evergreen) tree, having a minimum height of 12 feet; and

D. Ornamental trees, six inches in diameter.

Sec. 10-672. - Tree Removal.

Up to 30 percent of the total diameter inches of the tree inventory (trees and significant trees) may be removed without a replacement plan.

Sec. 10-676. - Tree replacement schedule.

- A. Replace 50 percent of the total diameter inches of all significant trees lost.
- B. Replace 25 percent of total diameter inches of all other types of trees including coniferous, common and ornamental.

 Species requirement is where ten or more replacement trees are required, not more than 50 percent of the replacement trees shall be of the same species.

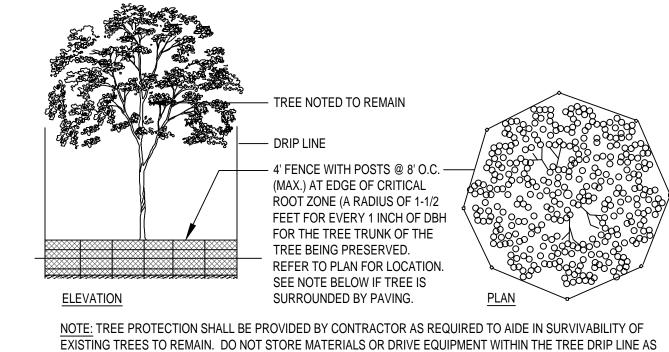
GENERAL NOTES:

- 1. Refer to Civil Engineer's plans for site plan layout, dimensions, grading, drainage and
- concrete specifications.
- 2. Contractor to Coordinate all work with Owner.
- Protect adjacent areas from damage during construction.See written specifications for additional requirements.
- 5. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way
- boulevards, unless specified otherwise. See specifications.6. All fine grading of turf areas shall be the responsibility of the sod sub-contractor(s),
- including sub-cut work. Field verify disturbance upon mobilization actual sod areas may differ from anticipated limits shown on plan.
- 7. See Civil Engineer's Plans for proposed grading & utilities.
- 8. See Sheet for L2.001 & L2.002 for Landscape Details, Notes, and Schedule.

TREE REPLACEMENT SUMMARY:

EXISTING SIGNIFICANT INCHES ON SITE: 58
EXISTING SIGNIFICANT INCHES TO BE REMOVED: 7

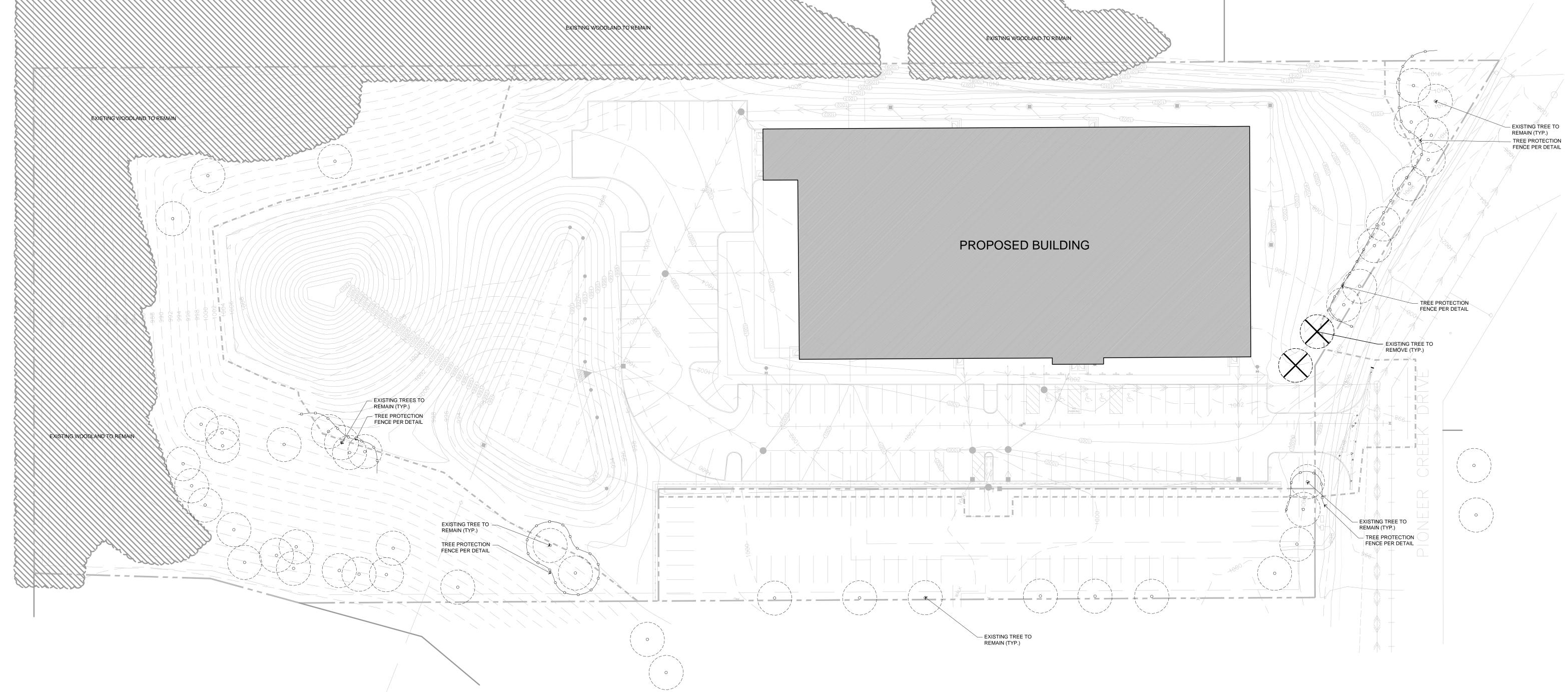
TOTAL INCHES REQUIRED FOR MITIGATION: 0 REPLACEMENT INCHES PROPOSED: 45



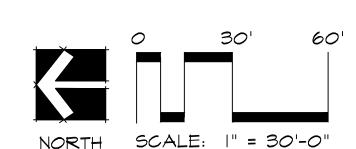
DESIGNATED ABOVE. MAINTAIN THE FENCE INTEGRITY AT ALL TIMES THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

1 EXISTING TREE PROTECTION DETAIL
NOT TO SCALE



Refer to Civil 'Existing Conditions & Removals' Plan for Tree Removals. Unless otherwise noted on civil plans, grind stumps to a minimum of 30" below grade.



Know what's below.

Call before you dig.

75% CD SET

NOT FOR CONSTRUCTION □

North Shore
Gymnastics

Maple Plain, MN



WOLD ARCHITECTS AND ENGINEERS 332 Minnesota Street, Suite W2000

woldae.com | 651 227 7773

Saint Paul, MN 55101

BKBM Structural & Civil Engineers 6120 Earle Brown Dr., Suite 700 Minneapolis, MN 55340 Phone: (763) 843-0420 Fax: (763) 843-0421 www.bkbm.com

CALYX
DESIGN GROUP
Landscape Architecture | Planning

475 Cleveland Ave. N, Suite 101A St. Paul, MN 55104 Phone: (651) 788-9018 www.calyxdesigngroup.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed
PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of MN

Benjamin D. Hartberg
License Number: 48084 Date:

Revisions

Description Date Nu

Comm: 252103

Date: 08/01/2025

Drawn: AL

TREE PRESERVATION PLAN

L0.000

Proposed Turf Sod per Landscape Notes

Live Plugs per Schedule

Existing Tree to Remain

Proposed Landscape Edger per Landscape Notes

Tree Protection Fence

Proposed Native Seed per Notes & Specifications Proposed Rock Mulch per Notes & Specifications

Existing Wooded Area to Remain

□ □ □ Fence per Detail & Specifications | Fence Type as noted per Plan

GENERAL NOTES:

- 1. Refer to Civil Engineer's plans for site plan layout, dimensions, grading, drainage and
- concrete specifications.
- Contractor to Coordinate all work with Owner.
- Protect adjacent areas from damage during construction. See written specifications for additional requirements.
- 5. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
- 6. All fine grading of turf areas shall be the responsibility of the sod sub-contractor(s),

8. See Sheet for L2.001 & L2.002 for Landscape Details, Notes, and Schedule.

- including sub-cut work. Field verify disturbance upon mobilization actual sod areas may differ from anticipated limits shown on plan.
- 7. See Civil Engineer's Plans for proposed grading & utilities.

LANDSCAPE REQUIREMENTS:

City of Maple Plain Municipal Code: ARTICLE 4 - ZONING Sec. 10-543. - "MU" Mixed-Use District

- a. All land area not occupied by buildings, parking, driveways, sidewalks or other hard surfaces shall be sodded or mulched and landscaped with approved ground cover, flowers, shrubbery or trees;
- b. At least ten percent of the total land area within the perimeter of a private parking and driveway areas having over 40 stalls shall be landscaped. Landscaped areas provided within the setback areas may be credited toward this ten percent landscaping requirement, for up to half of the requirement, or five percent;
- c. Parking lot landscaped islands shall be a minimum of 250 square feet in area and include at least one overstory or evergreen tree meeting the requirements of this article. Landscape islands shall be located, at a minimum, every 30 stalls; and
- d. The landscape plan shall include a full complement of overstory, ornamental trees, evergreens, shrubbery and ground covers which are hardy and appropriate for the locations in which they are planted, and which provide year round color interest.

Landscaping, In all zoning districts the lot area remaining after providing for parking, driveways, loading sidewalks, or other requirements shall be planted and maintained in grass, sodding, shrubs, or other acceptable vegetation of landscaping techniques.

Minimum landscaping requirements include all open areas of a lot which are not used or improved for required parking areas, drives or storage shall be landscaped with a combination of overstory trees, ornamental trees, shrubs, flowers, ground cover, decorative walks or other similar site design materials in a quantity and placement suitable for the site. A reasonable attempt shall be made to preserve as many existing trees as is practicable and to incorporate Them into the development.

LANDSCAPE SUMMARY:

EXISTING SIGNIFICANT INCHES ON SITE: 58 EXISTING SIGNIFICANT INCHES TO BE REMOVED: 7

TOTAL TREES REQUIRED FOR MITIGATION: 0

TOTAL TREES PROPOSED: 15 Overstory + 5 Ornamental (45 Inches)

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
DECIDUOUS OVERSTORY TREE							
	AS	Acer x freemanii `Sienna`	Sienna Glen Maple	2.5" Cal.	B&B	2	
	AA	Acer x freemanii 'Jeffersred'	Autumn Blaze® Freeman Maple	2.5" Cal.	B&B	3	
	СО	Celtis occidentalis	Common Hackberry	2.5" Cal.	B&B	2	
	GI	Gleditsia triacanthos inermis `Skycole` TM	Skyline Thornless Honey Locust	2.5" Cal.	B&B	3	
	GD	Gymnocladus dioica `Espresso`	Kentucky Coffeetree	2.5" Cal.	B&B	3	
	ТВ	Tilia americana 'Boulevard'	Boulevard American Linden	2.5" Cal.	B&B	2	
ORNAMEN	ITAL TRE	EES .					
	МА	Maackia amurensis	Amur Maackia	1.5" Cal.	B&B	2	
	MP	Malus x `Prairifire`	Prairifire Crab Apple	1.5" Cal.	B&B	3	
SHRUBS							
NAVANANARE	Ja	Juniperus sabina `Arcadia`	Arcadia Juniper	3 gal.	Pot	10	
ANNUALS/PERENNIALS							
	Hh	Hemerocallis x `Happy Returns`	Happy Returns Daylily	1 gal.	Pot	52	
<u>GRASSES</u>							
•	Ck	Calamagrostis x acutiflora `Karl Foerster`	Feather Reed Grass	1 gal.	Pot	66	
300000000000000000000000000000000000000	Ss2	Schizachyrium scoparium `Standing Ovation`	Little Bluestem Grass	1 gal.	Pot	29	

52 Structural & Civil Engineers 6120 Earle Brown Dr., Suite 700 Minneapolis, MN 55340 Phone: (763) 843-0420 Fax: (763) 843-0421 www.bkbm.com

CALYX **DESIGN GROUP**

WOLD ARCHITECTS

AND ENGINEERS

332 Minnesota Street, Suite W2000

Saint Paul, MN 55101

woldae.com | 651 227 7773

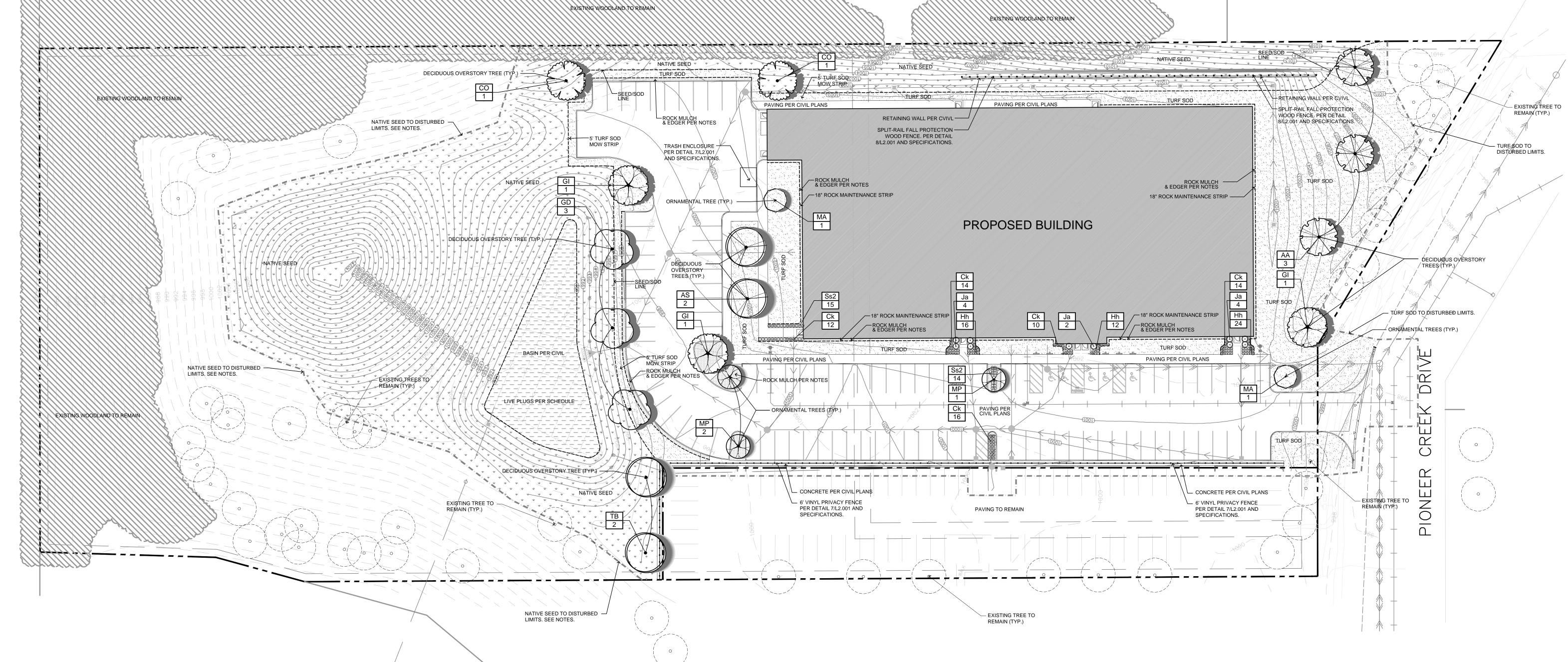
Section 5, Item B.

North Shore

Gymnastics

Maple Plain, MN

475 Cleveland Ave. N, Suite 101A St. Paul, MN 55104 Phone: (651) 788-9018 www.calyxdesigngroup.com



Refer to Civil 'Existing Conditions & Removals' Plan for Tree

NOTE: Removals. Unless otherwise noted on civil plans, grind stumps

to a minimum of 30" below grade.

75% CD SET NOT FOR CONSTRUCTION PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of MN

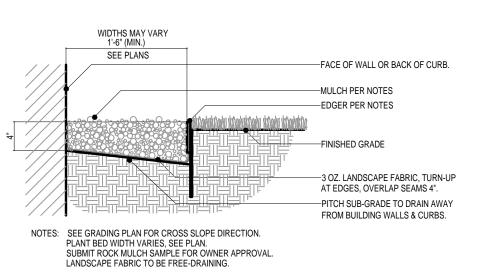
> Benjamin D. Hartberg License Number: **48084** Date:

Comm: **252103**

LANDSCAPE PLAN

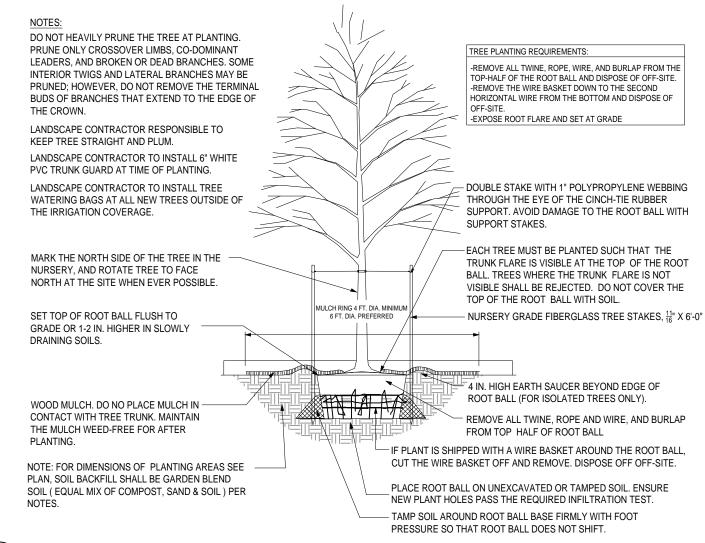
Landscape Notes and Requirements:

- Tree saucer for individual trees outside of a plant bed to be four inches (4") depth. Western Red Cedar wood mulch. Install per tree planting detail. Do not place mulch against tree trunk. Remove wire and burlap from top third of root ball before final soil back-fill and mulch. Dyed or Colorized mulch is strictly prohibited.
- 2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- 3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
- 4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
- 5. All proposed plants shall be located and staked as shown. Install 6" diameter perforated white PVC trunk guards on all new deciduous trees by November 1st.
- 6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- 7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- 3. All plant materials shall be fertilized upon installation as specified.
- 9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- 10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- 11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- 12. Contractor is responsible for ongoing maintenance of all newly installed material, per specifications. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- 13. Warranty: The contractor shall guarantee newly planted material through ONE calendar year from the date of written owner acceptance. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide PVC trunk guards on deciduous trees. Prune dead wood at 11 month warranty review period use wound paint on trees.
- 14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- 15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- 16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- 17. Irrigation: There is no irrigation system on site. The contractor shall provide temp irrigation in all newly landscaped areas for 30 days following the installation of plant material. Furnish and install tree watering bags on each newly installed tree, fill bags with water and inform Owner of refill instructions.
- 18. Mulches & Edging: Where noted per plan, rock mulch areas to receive a 4" depth of 1" diameter river rock mulch over spun-bonded weed mat. Where noted per plan, wood mulch areas to receive a 4" of of Western Red Cedar wood mulch over spun-bonded weed mat. Use Coyote landscape products galvanized, perforated landscape edging, 16ga. unless otherwise noted. See specifications.
- 19. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- 20. All planting, seeding, and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
- 21. Turf Sodding and Seeding activity shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2014 edition, for turf bed preparation, installation, maintenance, acceptability, and warranty. An acceptable stand of seeded turf is lush, full, and weed-free. See specifications for maintenance requirements.
- 22. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- 23. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- 24. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- 25. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- 26. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- 27. See Site and Civil plans for additional information regarding the project, including infiltration area soils and sub-surface drainage requirements and performance.
- 28. Topsoil Requirements: See Specifications
- 29. Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- 30. Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.

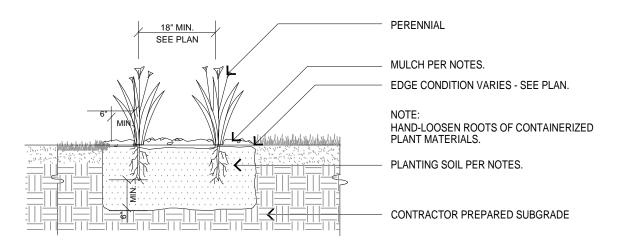


MULCH & EDGER DETAIL

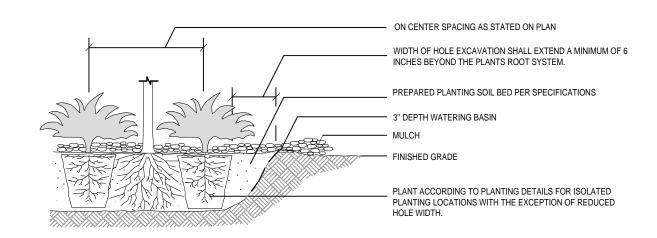
NOT TO SCALE



2 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

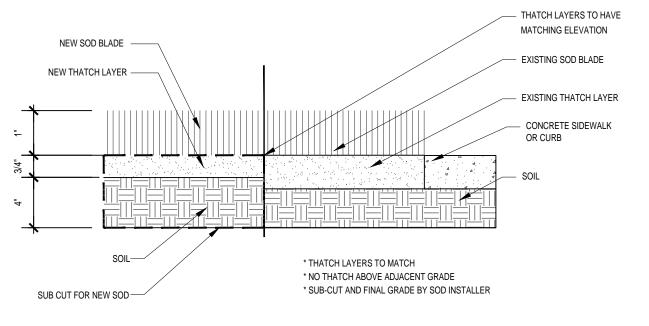


PERENNIAL PLANTING DETAIL
NOT TO SCALE

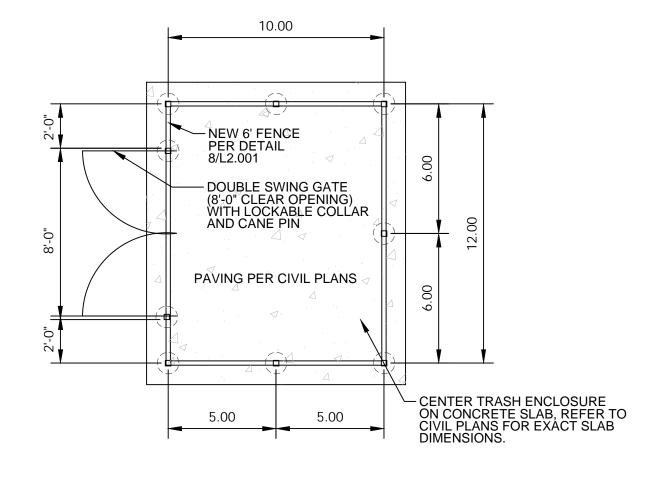


SHRUB PLANTING DETAIL

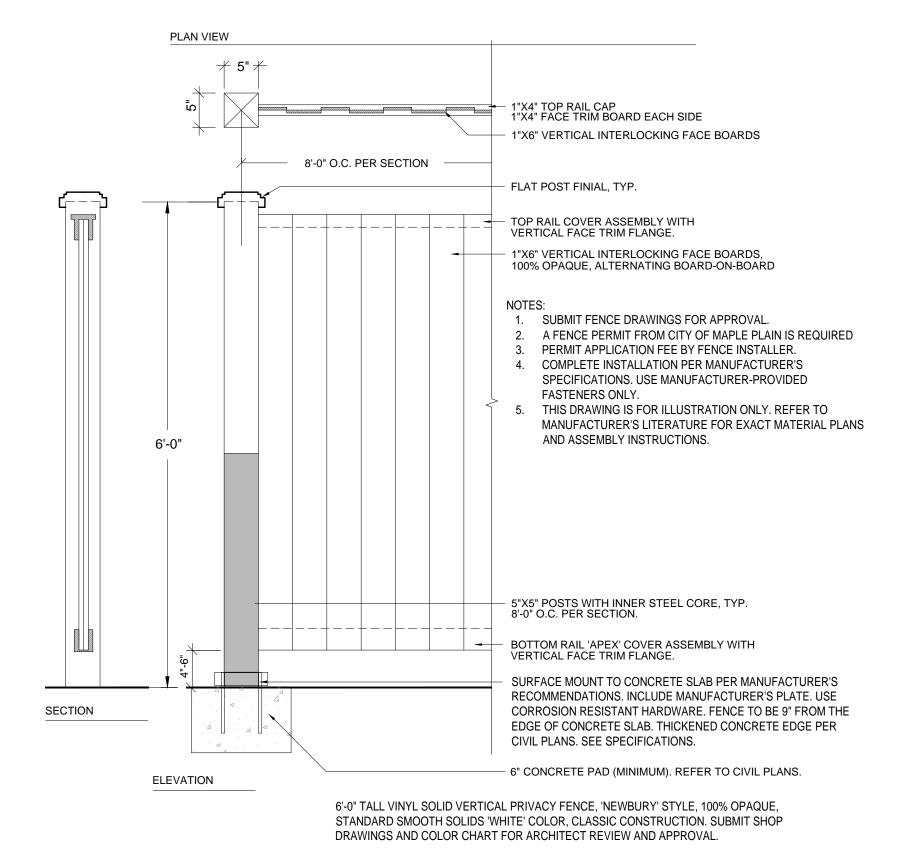
NOT TO SCALE



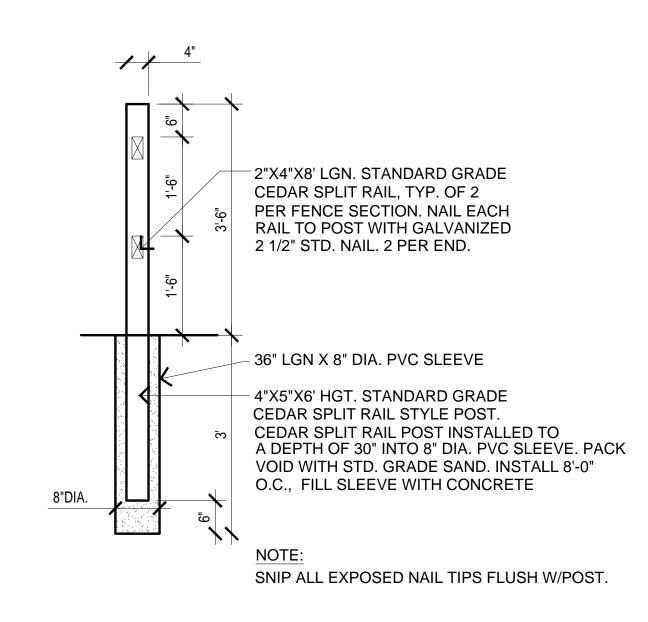
5 NEW SOD TO EXISTING SOD NOT TO SCALE



6 TRASH ENCLOSURE LAYOUT DETAIL
NOT TO SCALE



6'-0" VINYL SCREEN FENCE DETAIL
NOT TO SCALE



8 3-1/2'-0" SPLIT-RAIL WOODFENCE DETAIL
NOT TO SCALE



North Shore Gymnastics

Section 5, Item B.

Maple Plain, MN



WOLD ARCHITECTS
AND ENGINEERS

332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldae.com | 651 227 7773

BKBM Structural & Civil Engineers 6120 Earle Brown Dr., Suite 700 Minneapolis, MN 55340 Phone: (763) 843-0420 Fax: (763) 843-0421 www.bkbm.com

CALYX
DESIGN GROUP
Landscape Architecture | Planning

475 Cleveland Ave. N, Suite 101A St. Paul, MN 55104 Phone: (651) 788-9018 www.calyxdesigngroup.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of MN

Benjamin D. Hartberg

Revisions

Description

Date

N

Revisions

Comm: 252103

Date: 08/01/2025

Drawn: AL

Check: BH

LANDSCAPE DETAILS

75% CD SET
NOT FOR CONSTRUCTION =

Maintenance includes mowing, weed control, & re-seeding bare areas.

Native Grass and Forb Mixtures (mixtures beginning with the number 3)

Year 1

Establishment (spring seeding):

1) Prepare site - Late April - May 2) Seed - May 1 - June 1

Maintenance:

1) Mow (6-8 inches) - every 30 days after planting until September 30.

2) Weed Control - mowing should help control annual weeds. Spot spray thistles, etc.

Establishment (fall seeding):

- 1) Prepare site Late August early September
- 2) Seed late September to freeze-up

Maintenance (following season):

- 1) Mow (6-8 inches) once in May, June, and July
- 2) Weed Control mowing should keep annual weeds down. Spot spray thistles, etc.

Evaluation:

- 1) Cover crop growing within 2 weeks of planting (except dormant plantings).
- 2) Seedlings spaced 1-6 inches apart in drill rows.
- Native grass seedlings may only be 4-6 inches tall. 4) If there is a flush of growth from foxtail etc., mow as necessary.

Year 2

Maintenance:

- 1) Mow (6-8 inches) one time between June 1 August 15 before weeds set seed.
- 2) Weed Control mowing should keep annual weeds down. Spot spray thistles, etc. 3) Some sites may not require much maintenance the second year.

Evaluation:

- 1) Cover crop will be gone unless winter wheat was used in a fall planting.
- 2) Grasses forming clumps 1-6 inches apart in drill rows, but still short.
- 3) Some flowers should be blooming (black-eyed Susans, bergamot, etc.).
- 4) If there is a flush of growth from foxtail etc., mow site.

Year 3

Maintenance:

- 1) Mow only if necessary.
- 2) Weed Control Spot spray thistles, etc.
- 3) Sites usually do not require much maintenance the third year.

Evaluation:

1) Planting should begin looking like a prairie - tall grasses, flowers, etc.

Long-term

Maintenance:

- 1) Weed Control Spot spray thistles, etc.
- 2) Burning (3-5 year rotation) alternate spring and fall if possible.
- 3) Haying (3-5 year rotation) late summer or early fall. Alternate with burning (may substitute for burning).
- 4) Burning two years in a row will really "clean up" rough-looking sites.

NATIVE SEEDING INSTALLATION METHOD:

Drop Seeding Onto Tilled Sites

This is the "standard" method for seeding on prepared sites such as those on construction projects.

- a) Site Preparation: The site should be prepared by loosening topsoil to a minimum depth of 3 inches.
- b) Fertilizer: Use a fertilizer analysis based on a soil test or a general recommendation is a 10-10-10 (NPK) commercial grade analysis at 200 lbs/acre. c) Seed Installation: Seed should be installed with a drop seeder that will
- accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Brillion-type). The drop seeder should be equipped with a cultipacker assembly to ensure seed-to-soil contact.
- d) Seeding Rates: Rates are specified in the mixture tabulation for the specified
- e) Packing: If the drop seeder is not equipped with a cultipacker, the site should be cultipacked following the seeding to ensure seed-to-soil contact.
- Mulch: Cover soil with a hydromulch consisting of natural wood fiber or paper fiber, water, and M-Binder at 100 lbs per acre.

Biofiltration Basin Area Live Plug Schedule:

	Plug Spacing:	Scientific Name	Common Name	Size	Root
	24" On-Center	Andropogon gerardii	Big Bluestem	FLAT	PLUG
(Provide a random		Asclepias tuberosa	Butterfly Weed, Milkweed	FLAT	PLUG
		Aster laevis	Smooth Blue Aster	FLAT	PLUG
	equal mixture e plants listed)	Baptisia australis	False Indigo	FLAT	PLUG
		Caltha palustris	Marsh Marigold	FLAT	PLUG
	Carex aquatilis	Water Sedge	FLAT	PLUG	
		Carex pennsylvanica	Oak Sedge	FLAT	PLUG
		Lobelia siphilitica	Great Blue Lobelia	FLAT	PLUG
		Osmunda regalis Royal Fern		FLAT	PLUG
	Ratibida pinnata Yellow		Water Smartweed	FLAT	PLUG
			Yellow Coneflower	FLAT	PLUG
			Little Bluestem	FLAT	PLUG
		Sorghastrum nutans	Indian Grass	FLAT	PLUG
		Spartina pectinata	Prairie Cord Grass	FLAT	PLUG

* Contractor is to evenly distribute the allocated amount of prairie plugs throughout the basin areas located within

NATIVE SEED MIX:



Native Seed (unless otherwise noted on civil plans), shall be: Shooting Star Native Seed Mix 'Dry Short Prairie', drilled into the topsoil layer at 35 lbs per acre with erosion control blanket. Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications.



SHOOTING STAR MATIVE SEEDS —

20740 County Road 33 • Spring Grove, MN 55974 (507) 498-3944 • info@shootingstannativeseed.com

Description: SSNS Dry Short Prairie Mix

Seeding Rate: 10 lb/sere (64.4 seeds/square feet) Notes: Soil - Dry Mesic to Dry, Sun - Full

Common Name	Scientific Name	% of Mix	Seeds/ft ²	Total
Grasses				
Sidecats Grama	Bouteloua curtipendula	32.00%	7.1	3.200 PLS lb
Blue Grama	Bouteloua gracilis	5.00%	7.3	0.500 PLS lb
Prairie Brome	Bromus kalmii	2.00%	0.6	0.200 PLS Ib
Slender Wheatgrass	Elymus trachycaulus	mus trachycaulus 5.00%		0.500 PLS lb
June Grass	Koeleria macrantha	1.00%	7.3	0.100 PLS Ib
Little Bluestern	Schizachyrium scoparium	25.00%	13.8	2.500 PLS Ib
Rough Dropseed	Sporobolus compositus	8.00%	8.8	0.800 PLS lb
Sedges & Rushes				
Bicknell's Sedge	Carex bicknellii	1.20%	0.7	0.120 PLS Ib
Plains Oval Sedge	Carex brevior	0.80%	0.9	0.080 PLS lb
Forbs				
Prairie Onion	Allium stellatum	0.80%	0.3	0.080 PLS Ib
Lead Plant	Amorpha canescens	2.00%	1.2	0.200 PLS lb
Common Milkweed	Asclepias syriaca	1.40%	0.2	0.140 PLS lb
Butterfly Milkweed	Asclepias tuberosa	0.80%	0.1	0.080 PLS (b)
White Wild Indigo	Baptisia alba	1.00%	0.1	0.100 PLS Ib
New Jersey Tea	Ceanothus americanus	0.40%	0.1	0.040 PLS lb
Partridge Pea	Chamaecrista fasciculata	4.00%	0.4	0.400 PLS lb
White Prairie Clover	Dalea candida	0.60%	0.4	0.060 PLS Ib
Purple Prairie Clover	Dalea purpurea	Dalea purpurea 1.60%		0.160 PLS Ib
Prairie Cinquefoil	Drymocallis arguta	0.20%	1.7	0.020 PLS lb
Stiff Sunflower	Helianthus pauciflorus	0.40%	0.1	0.040 PLS Ib
Round-headed Bush Clover	Lespedeza capitata	0.60%	0.2	0.060 PLS Ib
Rough Blazing Star	Liatris aspera	0.40%	0.2	0.040 PLS Ib
Wild Lupine	Lupinus perennis	0.40%	0.0	0.040 PLS Ib
Wild Bergamot	Monarda fistulosa	0.40%	1.0	0.040 PLS Ib
Wild Quinine	Parthenium integrifolium	0.40%	0.1	0.040 PLS Ib
Foxglove Beardtongue	Penstemon digitalis	0.20%	1.0	0.020 PLS lb
Large-flowered Beardtongue	Penstemon grandiflorus	0.60%	0.3	0.060 PLS Ib
Prairie Wild Rose	Rosa arkansana	0.80%	0.1	0.080 PLS Ib
Black-eyed Susan	Rudbeckia hirta	0.60%	2.0	0.060 PLS Ib
Gray Goldenrod	Solidago nemoralis	0.20%	2.2	0.020 PLS lb
Stiff Goldenrod	Solidago rigida	0.20%	0.3	0.020 PLS lb
Heath Aster	Symphyotrichum ericoides	0.20%	1.5	0.020 PLS lb
Sky Blue Aster	Symphyotrichum oolentangiense	0.40%	1.2	0.040 PLS Ib
Ohio Spiderwort	Tradescantia ohiensis	0.40%	0.1	0.040 PLS lb
Hoary Vervain	Verbena stricta	0.60%	0.6	0.060 PLS Ib
Heartleaf Alexanders	Zizia aptera	0.40%	0.2	0.040 PLS lb

Section 5, Item B. **North Shore**

Gymnastics

Maple Plain, MN



WOLD ARCHITECTS AND ENGINEERS 332 Minnesota Street, Suite W2000 Saint Paul, MN 55101

woldae.com | 651 227 7773

Structural & Civil Engineers 6120 Earle Brown Dr., Suite 700 Minneapolis, MN 55340 Phone: (763) 843-0420 Fax: (763) 843-0421 www.bkbm.com

CALYX **DESIGN GROUP**

475 Cleveland Ave. N, Suite 101A St. Paul, MN 55104 Phone: (651) 788-9018 www.calyxdesigngroup.com

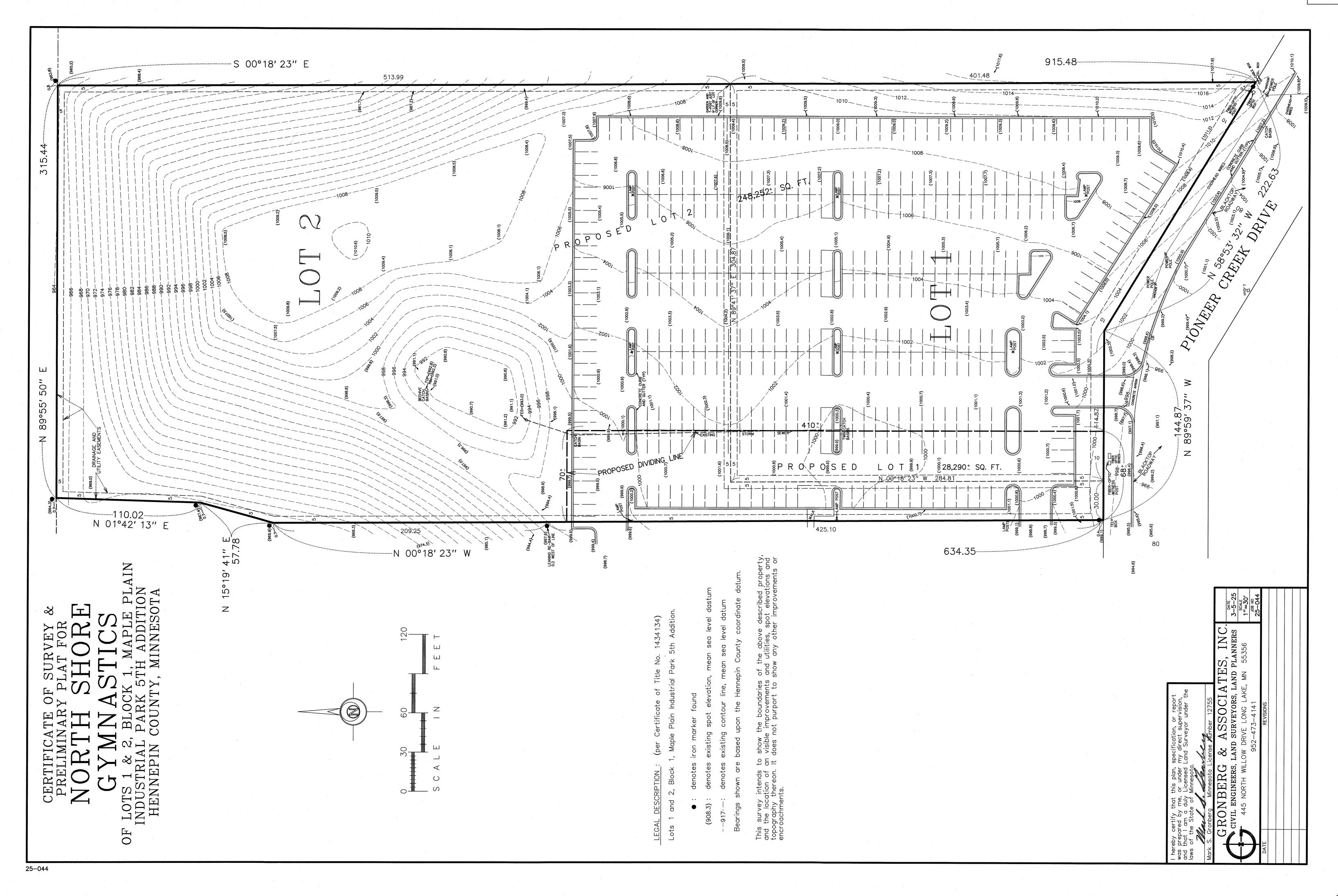
PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of MN

Benjamin D. Hartberg License Number: **48084** Date:

Comm: **252103** Date: **08/01/2025**

LANDSCAPE NOTES

AND SCHEDULES



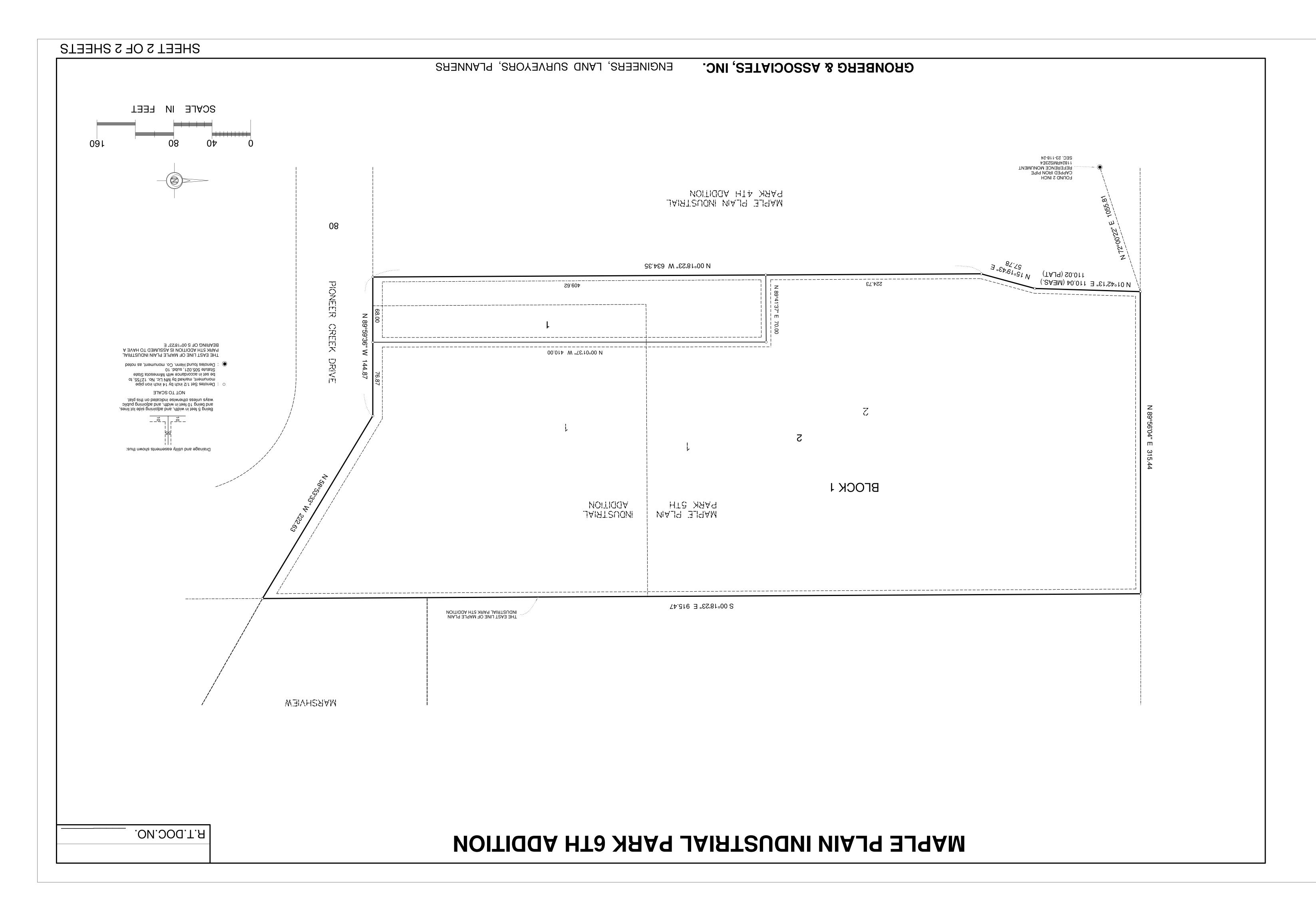
MAPLE PLAIN INDUSTRIAL PARK 6TH ADDITION

R.T.DOC.NO.

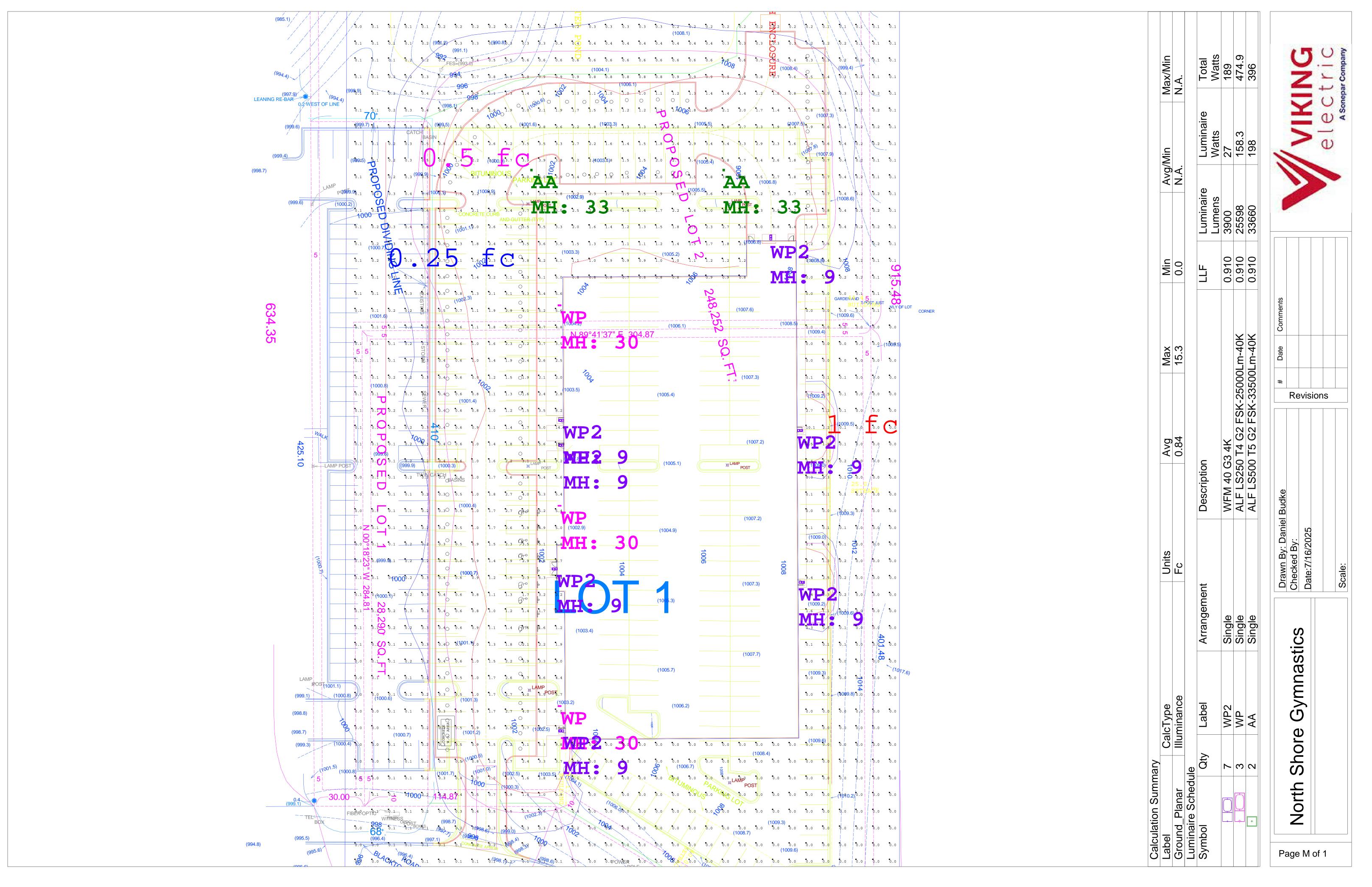
KNOW ALL PERSONS BY THESE	PRESENTS: That Proto I	Labs, Inc, a Minneso	ta corporation, fee ov	vner of the following de	escribed property:
ots 1 and 2, Block 1, MAPLE PLA	IN INDUSTRIAL PARK 5T	H ADDITION			
Has caused the same to be surveyouse the drainage and utility easeme			PARK 6TH ADDITION	ON, and does hereby de	edicate to the public for public
n witness whereof said Proto Labs day of	, Inc, a Minnesota corpora	tion, has caused the	se presents to be sig	ned by its proper office	r this
Signed: Proto Labs, Inc					
Зу	,				
STATE OF			00		
This instrument was acknowledged, of	Proto Labs, Inc, a Minneso	ota corporation, on b	_, 20, by ehalf of the corporati	on.	,
Signature	N	lotary's printed name			
Notary Public, My commision expires	Cou	unty			
Mark S. Gronberg do hereby certifor Minnesota; that this plat is a correall monuments depicted on this plate Statutes, Section 505.01, Subd. 3, a	ect representation of the b t have been, or will be corr	oundary survey; that rectly set within one y	all mathematical dat rear; that all water bo	a and labels are correct oundaries and wet lands	etly designated on this plat; that s, as defined in Minnesota
Dated this day of	, 20				
Mark S. Gronberg, Licensed Land S Minnesota License Number 12755	Surveyor				
STATE OF					
COUNTY OF This instrument was acknowledged		day of	, 20 by M	lark S. Gronberg.	
· ·		•		G	
Signature Notary Public	N Cou	lotary's printed name			
My commision expires	Cou				
City Council, City of Maple Plain, M	linnesota				
This plat of MAPLE PLAIN INDUST regular meeting thereof held this Section 505.03, Subd. 2.	RIAL PARK 6TH ADDITIO	ON was approved an, 20, and	d accepted by the Ci said plat is in complia	ty Council of the City of ance with the provisions	f Maple Plain, Minnesota, at a s of Minnesota Statutes,
City Council, City Of Maple Plain, N	/linnesota				
	, Mayor			_, Clerk	
COUNTY AUDITOR, Hennepin Co	•				
hereby certify that taxes payable in 20	n 20 and prior year	's have been paid for	land described on the	iis plat, dated this	day of,
Daniel Rogan, County Auditor By			Deputy		
SURVEY DIVISION, Hennepin Cou	unty, Minnesota				
Pursuant to MN. STAT. Sec. 383B.	565, (1969), this plat has b	peen approved this _	day of		
Chris F. Mavis, County Surveyor E	Ву				
REGISTRAR OF TITLES, Hennepi					
hereby certify that the within plat of	•	BIVI DABK ETH YU	DITION was filed in t	his office this	day of
20, at o'clock			אוטוזים was ilieu iii l	UIIIUU IIII	day 01,
Amber Bougie, Registrar of Titles	Ву		Deputy		

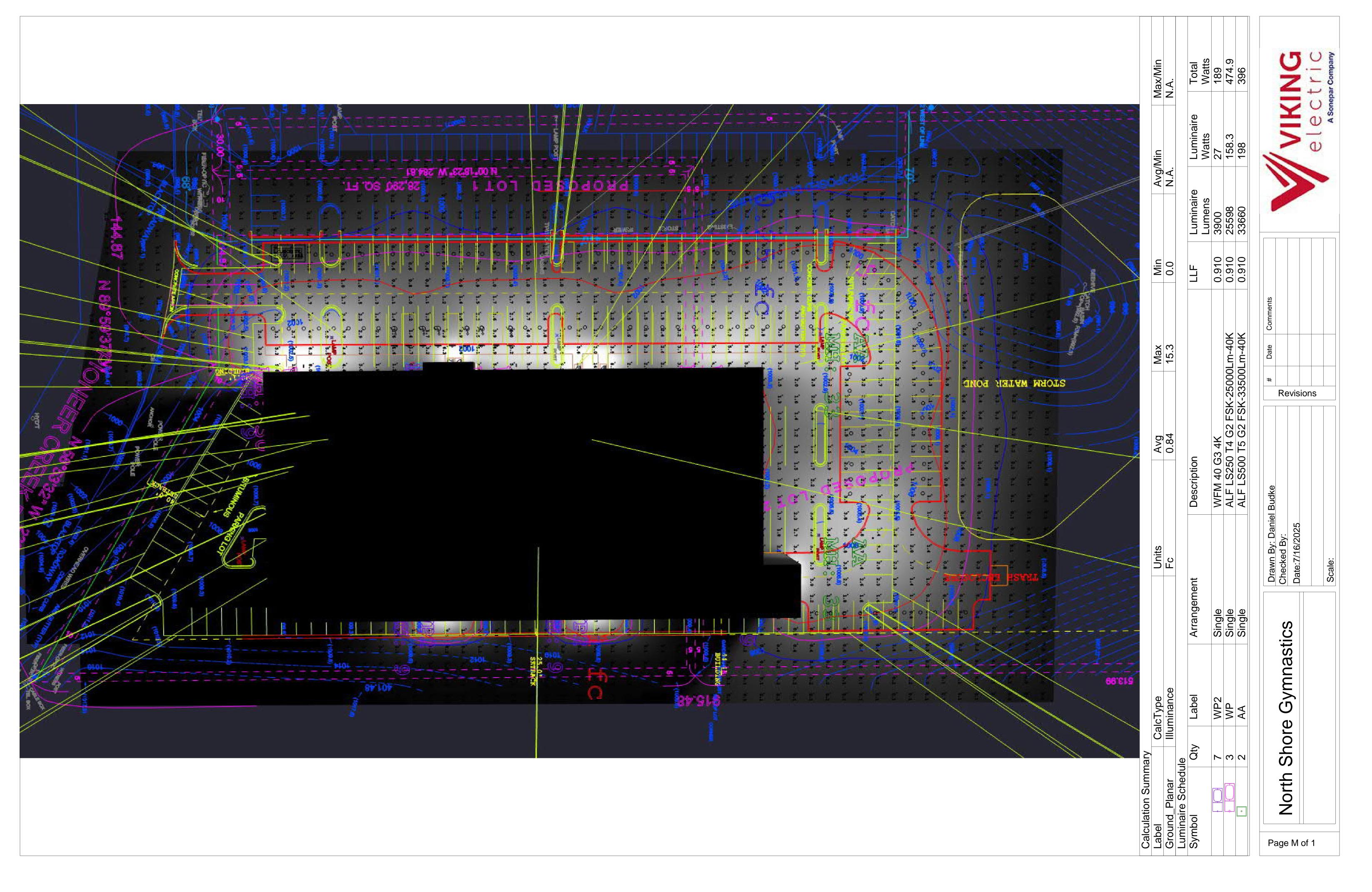
GRONBERG & ASSOCIATES, INC.

ENGINEERS, LAND SURVEYORS, PLANNERS



Section 5, Item I





49