



Planning Commission Meeting

AGENDA

Tuesday, March 21, 2023

5:30 PM

215 N. Broad St. - City Hall

-
- I. **CALL TO ORDER**
 - II. **ROLL CALL**
 - III. **APPROVAL OF AGENDA**
 - IV. **MINUTES OF PREVIOUS MEETING**
 1. Planning Commission Minutes 2/21/23
 - V. **REPORT FROM CODE ENFORCEMENT OFFICER**
 - VI. **OLD BUSINESS**
 - VII. **NEW BUSINESS**
 1. Request for COA - Building Modifications - 1200 S. Broad St.
 2. Request for COA - Construction of Fast Food Restaurant - 601 Pavilion Pkwy
 3. Request for COA - Signage - 615 E Spring St.
 - VIII. **ADJOURNMENT**

**MONROE PLANNING COMMISSION
MEETING MINUTES—February 21, 2023—DRAFT**

Present: Mike Eckles, Rosalind Parks, Shauna Mathias, Nate Treadaway

Absent: Randy Camp

Staff: Brad Callender—City Planner
Laura Wilson—Code Assistant

Visitors: Wyatt Howard

Call to Order by Chairman Eckles at 5:31 pm.

Motion to Approve the Agenda—Items 1 and 2 were reversed:
Motion Parks. Second Mathias
Motion carried

Chairman Eckles asked for any changes, corrections or additions to the January 17, 2023 minutes.

Motion to approve
Motion Parks. Second Mathias.
Motion carried

Chairman Eckles asked for the Code Officer’s Report: Zoning Ordinance Amendment #14 passed Council last week.

Old Business: None

The First Item of Business: Zoning Text Amendment #15 (listed as item #2 on the printed agenda) The following sections are being amended:

- Section 630.3: modify to add land uses for restaurants
- Section 646.3: Change some prohibited uses to being allowed in the CBD including skating rinks, bowling alleys, health/fitness centers, and parking lots; apartments, townhouses, and walk away restaurants are no longer conditional
- Section 646.6: Raise the maximum building height to 5 stories and add minimum floor area standards for apartments, lofts, and townhomes
- Sections 1420.4(2): change the day applications must be submitted from 30 to 45 days for Zoning Text Amendments, Zoning Map Amendments, Conditional Uses, and Variances

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve as presented

Motion Treadaway. Second Parks.
Motion Carried

The Second Item of Business is COA Case #2044, a request for a Corridor Design Overlay Certificate of Appropriateness, in order to modify an existing COA site plan to allow for the expansion of additional outdoor self-service (mini) warehouses at 400 Mayfield Dr. The property has already been approved under two previous COAs. The additional mini warehouse buildings will look like the existing building except front on Mayfield Dr. Staff recommends approval with two conditions. The application was submitted prior to the ordinance changes for mini storage going into effect. Therefore, the application is subject to the ordinance in effect at the time it was submitted.

Two conditions read into the minutes by Callender:

1. The signs and conditions of approval under Certificate of Appropriateness #1043 shall also apply to this Certificate of Appropriateness approval.
2. The proposed outdoor self-service (mini) warehouse buildings shall be built in accordance with the representative photographs and written description of the project. The proposed outdoor self-service (mini) warehouse buildings shall be completed within eighteen (18) months from the date of issuance of this Certificate of Appropriateness approval. If construction of the proposed outdoor self-service (mini) warehouse buildings has not commenced within six (6) months from the date of issuance of this Certificate of Appropriateness approval, the COA shall become null and void.

On behalf of Mayfield Self Storage, Wyatt Howard spoke in favor of the project. Building four on the property is almost complete and is expected to be finished within the next month. The slabs for buildings five and six have already been poured. Ideally, we would like to finish those buildings before starting construction on buildings seven and eight. Therefore, we would like an extension on the six-month deadline imposed by the COA to at least 18 months. To meet the six-month deadline, we would have to skip construction on buildings five and six. We would like to construct the buildings in order as the previous buildings are leased.

Commissioner Treadaway: Is your group aware of the code changes that have taken place?
Howard: Yes

Chairman Eckles: Are you willing to comply with the two conditions?
Howard: We are grateful for what you allow us to do and conduct business inside the city of Monroe. Our hands would be tied and we would have to abide by the conditions.

Callender: Which building do you have full building permits for? You have one for building four because it is almost complete. Do you have one for building five?
Howard: Yes
Wilson: For buildings five and six

Callender: You did submit a building application for building seven?

Howard: Yes, in anticipation of the ordinance change; it would be for the two lower buildings

Callender: This application was submitted on January 3rd; if they approve this tonight, we could grant the application to building tomorrow. Once the plans have been approved as well, but there is nothing stopping this application from being approved. If you are not ready to building seven and eight, then this permit application should not have been submitted. Once this COA expires, your site will be subject to the current ordinance.

Howard: We've got six months to get started and 18 months to complete it.

Commissioner Mathias: How much longer are you wanting?

Howard: 18 months would be ideal but any time is better.

Commissioner Parks: Since you already have a wait list for building four, you haven't started on five or six; you want to building those and rent them out before starting on seven and eight?

Howard: We start construction on the next building when we reach 50-60% occupancy of the last building built; that way we don't build a building that will not be rented. It also allows us to customize the unit sizes in each building based on demand.

Commissioner Mathias: If buildings five and six were not leased up, then it would push it out even further

Howard: Yes

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve with conditions

Motion Treadaway. Second Mathias
Motion carried

Chairman Eckles entertained a motion to adjourn.

Motion to adjourn

Motion Parks. Second Mathias
Meeting adjourned; 5:56pm



**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 2163

DATE: March 14, 2023

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Regina McCullough

PROPERTY OWNER: Theodore Jan Locke

LOCATION: Southwest corner of S. Broad Street and W. Fambrough Street – 1200 S Broad Street

ACREAGE: ±0.15

EXISTING ZONING: B-3 (Highway Commercial District)

EXISTING LAND USE: Neighborhood church

ACTION REQUESTED: The applicant is requesting approval of a Certificate of Appropriateness application to convert an existing neighborhood church into a commercial building.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness request with conditions.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: March 21, 2023

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to convert an existing neighborhood church into a commercial building. The building on the site has been used for a church for over 100 years. There has not been an active church in the building for several years. The applicant proposes to make improvements to the building, parking, and landscaping on the site.

PROPOSED PROJECT SUMMARY:

- Conversion of a neighborhood church into a commercial building
 - Existing Building – 2,320 Sf
 - Proposed Site Improvements
 - Addition of curbing and landscaping, paved ADA parking
 - Replacement of existing ramp with porch and ADA ramp and stairs
 - Extend fence around perimeter of property

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "CORRIDOR DESIGN STANDARDS AND GUIDELINES" AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 – Site Planning:

The site contains an existing neighborhood church building and an unimproved parking area. The applicant does propose to make improvements to the site to enhance the existing building and site conditions.

643A.2 – Architecture:

The applicant proposes to make modifications to the existing neighborhood church building by replacing the front door with windows, adding two new exterior doors, replacing the existing ramp with a new ramp and stairs. The existing exterior brick façade will remain unchanged. The improvements proposed should be a benefit to the site.

643A.3 – Pavement:

The site currently has an unimproved parking area, representative of a gravel parking area used infrequently for the neighborhood church. The applicant proposes to install a gravel parking area with curbing and a concrete ADA parking pad.

643A.4 – Landscaping:

The applicant proposes to add landscaping to the existing site. Representative plans include the additions of shrubs, small decorative plantings, and shade trees around the existing building. The site is currently devoid of any landscaping. The landscaping proposed with this application will be an improvement to the site. The dimensional standards of Section 643A.4 cannot be achieved due to the limited size of the site and location of the existing building. However, as previously stated the proposed landscaping will be an improvement to the site.

643A.5 – Signs:

No signs are proposed as part of this request. An existing non-conforming stanchion sign is located at the corner of the property adjacent to the intersection with W. Fambrough Street and S. Broad Street. Staff recommends this sign be removed as part of this request and a condition is provided at the end of the report addressing this issue.

643A.6 – Illumination:

A lighting plan was not included with the development plans. Any lighting added to the site will be required to comply with Illumination requirements for the Corridor Design Standards and Guidelines outlined in Section 643A.6 of the Zoning Ordinance.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to convert the existing church building into a commercial building, subject to the following conditions:

1. The existing stanchion sign located at the corner of the property shall be removed.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PLANNING & ZONING COA PERMIT

PERMIT #:	2163	DESCRIPTION:	COA-PLANNING & ZONING
JOB ADDRESS:	1200 SOUTH BROAD STREET	LOT #:	
PARCEL ID:	M0200087	BLK #:	
SUBDIVISION:		ZONING:	B-3
ISSUED TO:	Regina McCullough	CONTRACTOR:	Regina McCullough
ADDRESS:	420 Harrison Rd	PHONE:	
CITY, STATE ZIP:	Monroe GA 30655	OWNER:	
PHONE:		PHONE:	
PROP. USE:	COMMERCIAL	DATE ISSUED:	2/28/2023
VALUATION:	\$ 10,000.00	EXPIRATION:	8/27/2023
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
FEE TOTAL		\$ 100.00
PAYMENTS		\$- 100.00
BALANCE		\$ 0.00

NOTES:

The Planning Commission will hear this request for a Certificate of Appropriateness to convert a neighborhood church into a commercial space at 1200 S. Broad St. on March 21, 2023 at 5:30pm. The meeting will be held in the Council Chambers at City Hall; 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

James E. Martin
(APPROVED BY)

3/17/23
DATE



Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 1200 S BROAD ST Parcel # 1102000087

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction, Renovation of Existing Structure, Demolition, Signage

Property Owner: THEODORE J LOCKE

Address: 1106 RIDGE AVE STONE MOUNTAIN

Telephone Number: 770-876-4574 Email Address: gina.kitchengallery@gmail.com

Applicant: <u>REGINA L MCWLOUGH</u>	
Address: <u>420 HARRISON RD MONROE</u>	
Telephone Number: <u>770-876-4574</u>	Email Address: <u>gina.kitchengallery@gmail.com</u>

Estimated cost of project: \$10,000

Please submit the following items with your application:

- Photographs of existing condition of the property to show all areas affected
- Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- Written description of the project
- Owner authorization statement, if applicant is not the property owner
- Application Fee \$100

Please submit all application materials in hardcopy to the Code Department and digitally at lwilson@monroega.gov; Please submit two physical copies.

[Signature]
Signature of Applicant

1/13/23
Date

RECEIVED
2163

1200 South Broad

Exterior

Renovations

We propose to change the exterior look of the property located at 1200 South Broad St. We want to take it from the unattractive, bare, commercial building to a warm, sophisticated, semi-modern establishment.

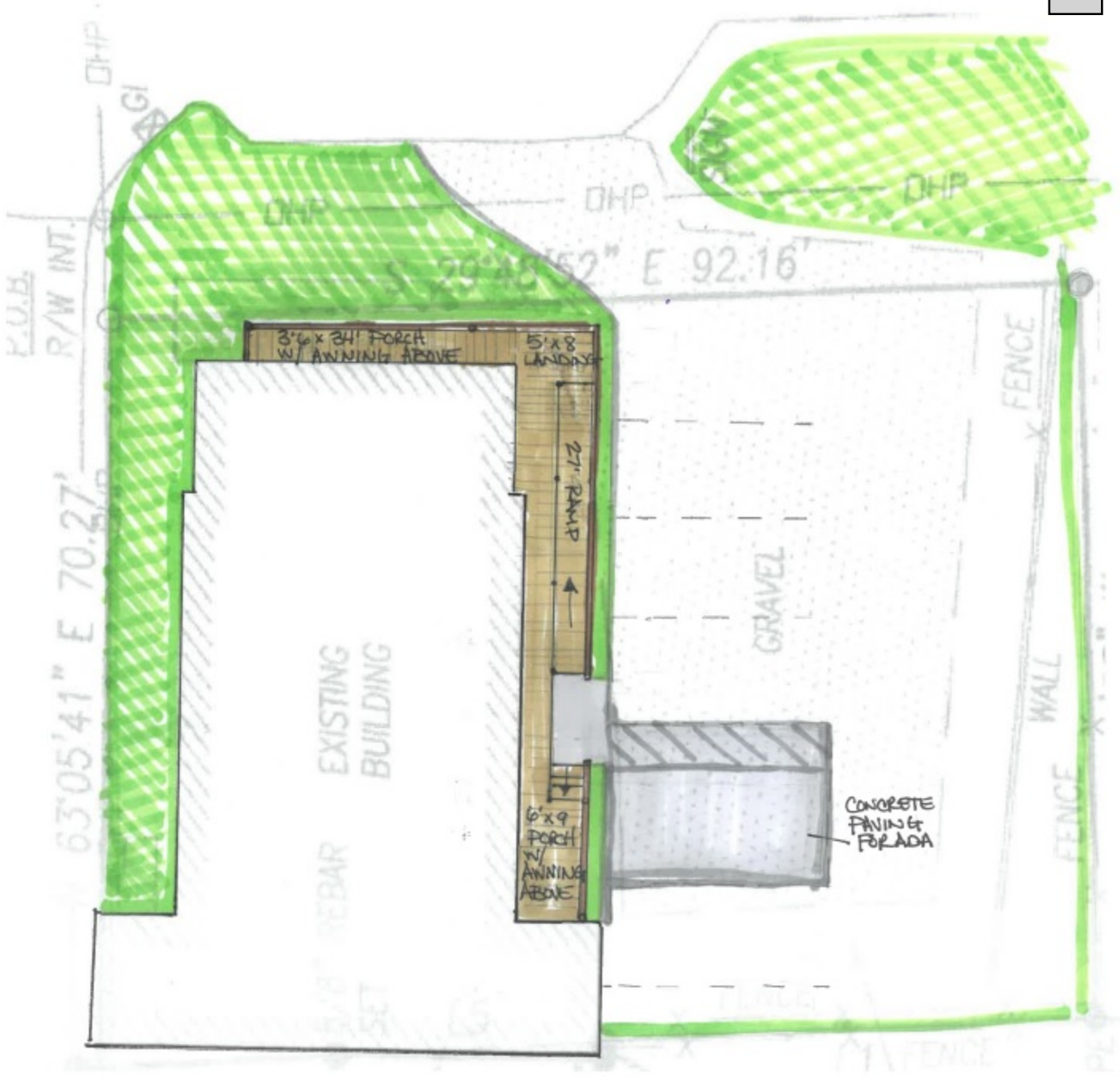
We feel as if the existing ramp and porch should be removed entirely and replaced with a new smaller porch built onto the front of the building. This new porch will include a ramp and walkway to the left side of the building. The material used in this new porch will be exterior-grade building material such as pressure-treated joist, trex or similar products including the actual deck boards. We also propose that the lower portion of the deck and ramp be enclosed to be built to look like it is solid construction from the ground to the bottom roof the deck boards. Since the top of the deck boards are only 27 inches above the finished grade, we would like the railing to be more aesthetically pleasing by leaving the center section open. The top handrail will be made of exterior grade building material. The entire new porch will be painted in Sherwin Williams Paint in the color SW Iron Ore or a similar color.

Other improvements to the exterior include the removal of the current double front entrance and replacing it with a double window. The front door will be relocated to the current window opening the left. This will make it a single door exterior-grade entrance. We will also be adding a new entrance on the south side of the building by removing a window and replacing it with an exterior-grade door. This creates not only a more visually appealing entrance but a safer one.

Moving on to the front gable of the building, we believe extending an awning over the new front porch will help guide the new look to that of a modern one. The awning will have heavy molding/timber facade for accent.

We will address the parking lot by adding an ADA-compliant concrete pad for accessibility to the building and ramp area. If the budget allows, we would like to invest in a concrete curb between the building and the parking lot.

The front area and North side of the building will have new landscaping using rocks, grass, shrubs, and small-stature trees to finish off the look. By adding new gravel to the parking lot this will bring the exterior renovations to 1200 South Broad St to completion.





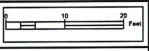
ON SITE
CIVIL GROUP
 960 BISHOPCHURCH LANE, SUITE 200, MILTON, GA 30054
 WWW.ONSITECIVIL.COM
 INFO@ONSITECIVIL.COM

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DRAFT

REVISIONS

No.	DATE	DESCRIPTION



CLIENT:
 GINA MCCULLOUGH
 770-976-4574

1200 SOUTH BROAD ST
 MONROE, GA 30655

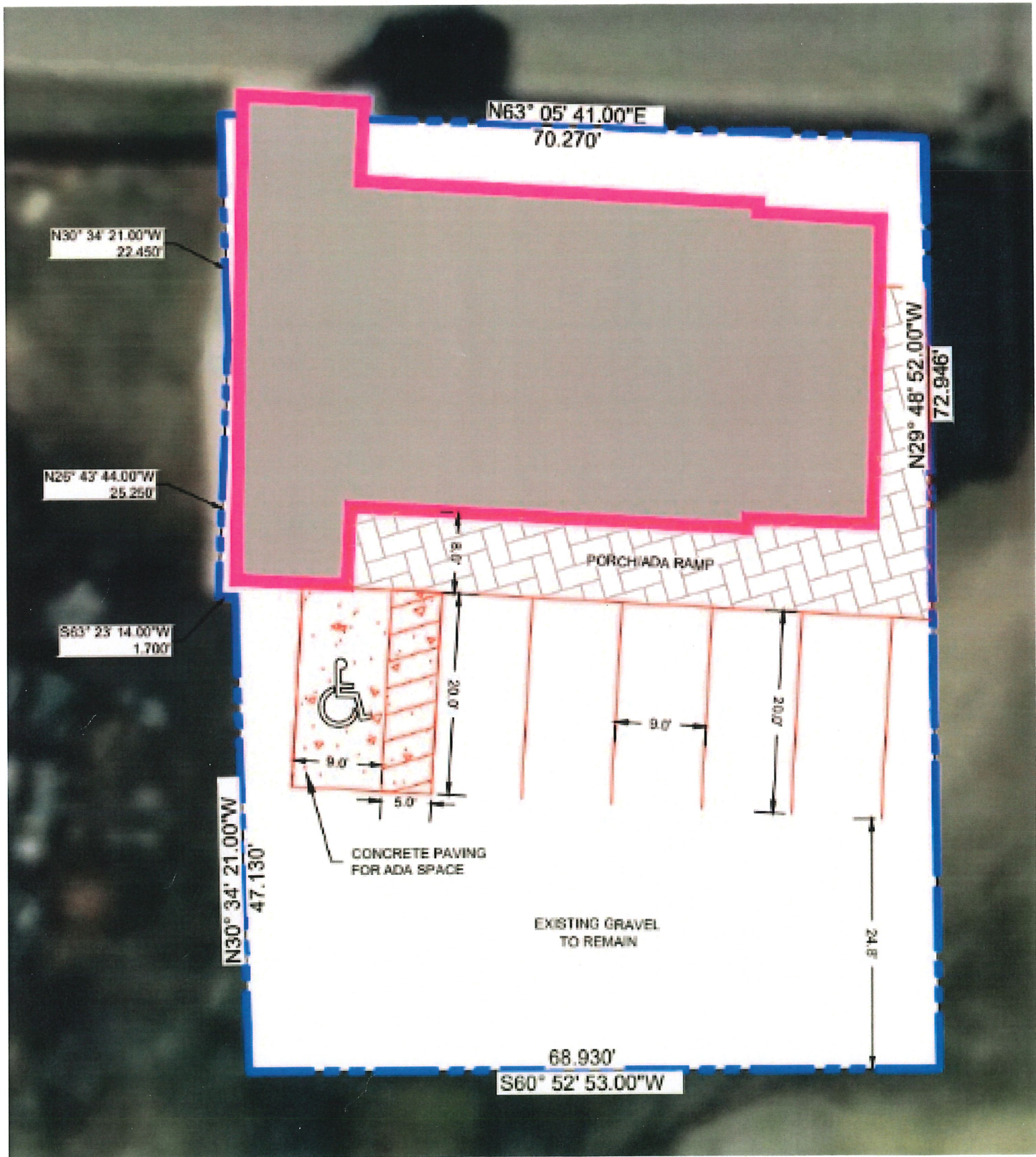
SITE PLAN

24 HOUR CONTACT:
 DATE: _____
 PROJECT: _____

SHEET: C 401

C:\Users\jordan.Lundberg\Desktop\LAUNDRY\LAUNDRY 11-1-23.dwg PLOTTED ON 11/17/2023 11:57 AM BY JORDAN LUND





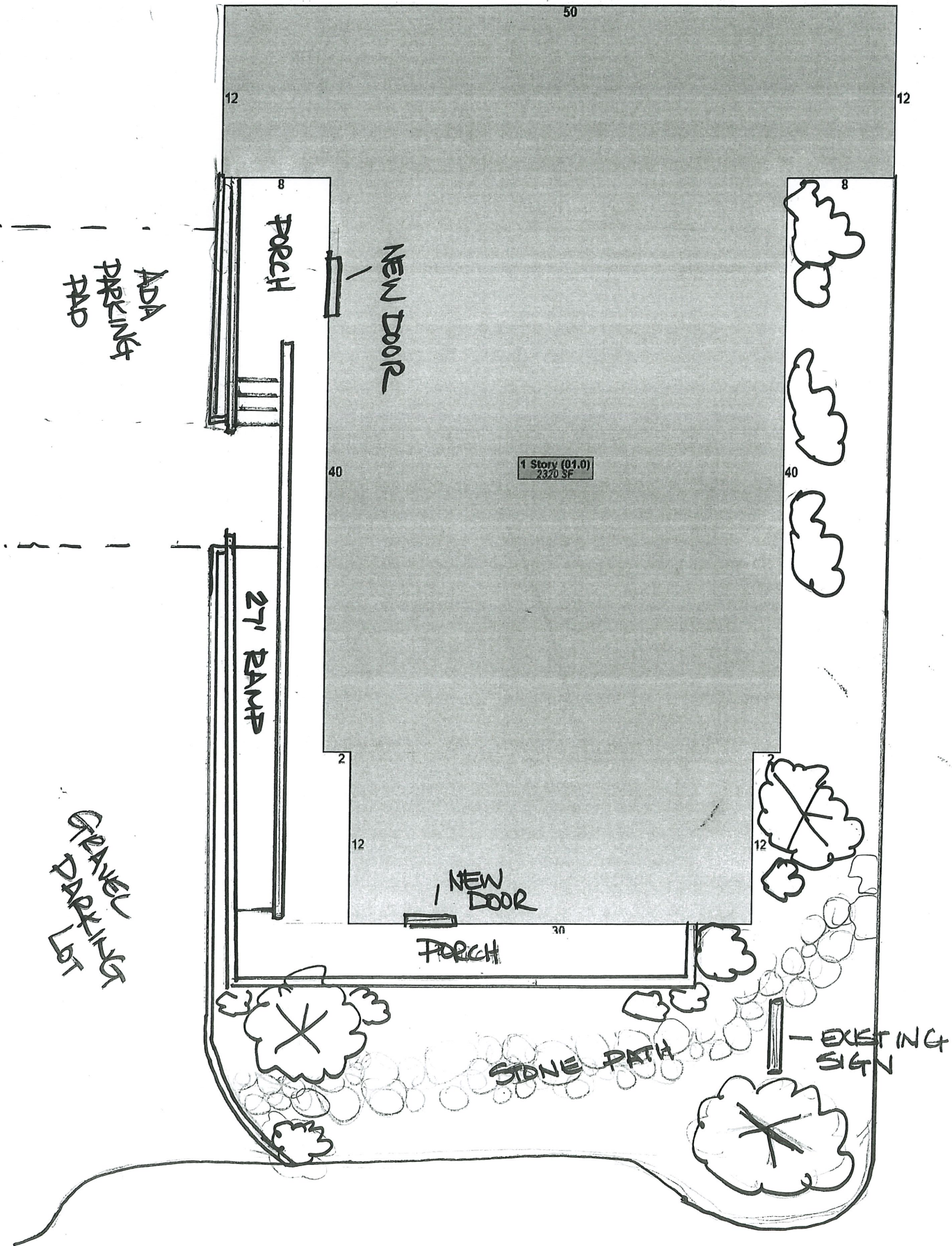


- ① DEMO EXISTING RAMP
- ② BUILD NEW PORCH W/ ADA RAMP & STAIRS (27")
- ③ CHANGE FRONT DOOR TO WINDOW
- ④ ADD 2 NEW EXTERIOR DOORS
- ⑤ ADD CURB & LANDSCAPING
- ⑥ EXTEND FENCE
- ⑦ ADD CONCRETE PAD FOR ADA PARKING



1200 ST BROAD ST
MONROE, GA

LAUNDRY ROOM PLAN



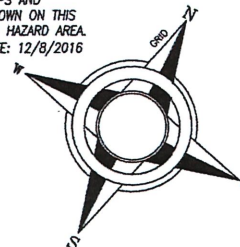
BK-117 PG-174-174
Filed and Recorded
Feb-19-2020 03:37 PM
DOC# 2020 - 00059
KAREN P. DAVID
CLERK OF SUPERIOR COURT
WALTON COUNTY, GA
Participant ID: 956676789

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

CITY OF MONROE DATE 2-18-2020

THE APPROVAL SIGNATURES ABOVE WERE NOT IN PLACE WHEN THIS SURVEY WAS ISSUED, AND ARE TO BE PROPERLY OBTAINED PRIOR TO RECORDING.

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND DETERMINED THAT, IN MY OPINION, THE AREA AS SHOWN ON THIS SURVEY DOES NOT LAY WITHIN A DESIGNATED FLOOD HAZARD AREA. COMMUNITY PANEL NO. 13297C0139E EFFECTIVE DATE: 12/8/2016



**STRIGHT STREET
FAMILY CENTER INC**

STATE OF GEORGIA
WALTON COUNTY
CITY OF MONROE
LAND LOT 3G
3RD DISTRICT
DATE OF SURVEY 1/29/2020
DATE OF PLAT 2/4/2020
SCALE 1"=30'
JOB #20007-SAVAGE
REVISIONS

PROPERTY ADDRESS:
1200 S. BROAD STREET

REFERENCES:
-PLAT BOOK 3 PAGE 239
-PLAT BOOK 14 PAGE 188
-PLAT BOOK 23 PAGE 129
-PLAT BOOK 75 PAGE 105

OWNER OF RECORD:
STRAIGHT STREET FAMILY
CENTER INC
2624 ALEXIS WAY
MONROE GA 30656
(TAX PARCEL M0200087)

OWNER OF RECORD:
MRS. M.B. PERRY, JR.
1207 MATHIS ST
MONROE GA 30655
(TAX PARCEL M0200088)

SURVEYORS CERTIFICATE
1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 41,585 FEET AND AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT.
2. THE DATA SHOWN HEREON HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 68,547 FEET AND WAS ADJUSTED BY USING THE COMPASS RULE.
3. ANGULAR AND LINEAR MEASUREMENTS OBTAINED BY USING A TOPCON OPT 3005...

- LEGEND:**
- INT. - INTERSECTION
 - BC - BACK OF CURB
 - S.E. - SANITARY SEWER EASEMENT
 - GI - GRATED INLET
 - PP - POWER POLE
 - R/W - RIGHT OF WAY
 - OHP - OVERHEAD POWER
 - B.L. - BUILDING LINE
 - R. - RADIUS
 - R.C.P. - REINFORCED CONCRETE PIPE
 - C.M.P. - CORRUGATED METAL PIPE
 - L.L. - LAND LOT
 - L.L.L. - LAND LOT LINE
 - C.L. - CENTER LINE

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THIS DRAWING WAS PREPARED FOR THE BENEFIT AND EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. NO WARRANTY IS EXTENDED TO ANY UNNAMED THIRD PARTY.

**JOHN F. BREWER
&
ASSOCIATES**

LAND SURVEYING
LAND PLANNING
DEVELOPMENT SUPERVISION
1002 S. BROAD STREET
MONROE, GEORGIA 30655
TEL (770) 267-4703
EMAIL INFO@GASURVEYING.COM

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

EXCEPT AS SPECIFICALLY SHOWN OR STATED THIS SURVEY DOES NOT PURPORT TO REFLECT ANY FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THIS PLAT SUBJECT TO ALL RIGHT-OF-WAYS, EASEMENTS, BUFFERS AND COVENANTS SHOWN OR NOT SHOWN ON THIS SURVEY

NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT WAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY.

THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.

THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB1004 (2016), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.

THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE HISTORIC DISTRICT OF MONROE.

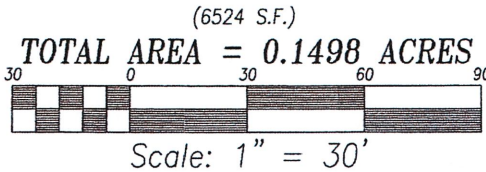
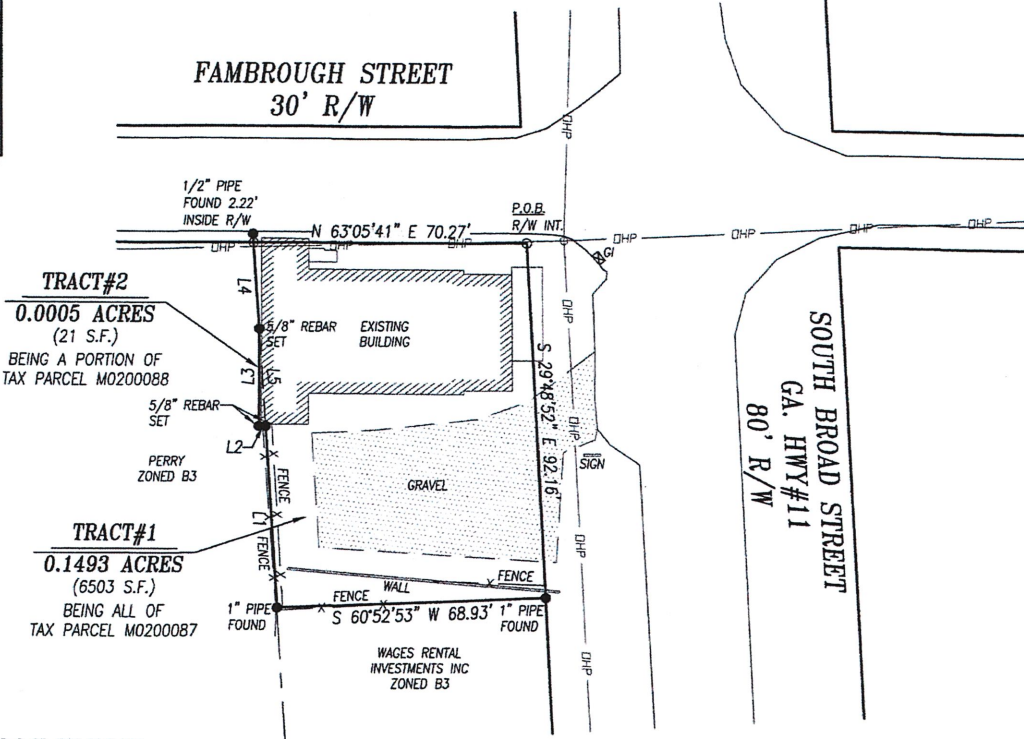
NUMBER	DIRECTION	DISTANCE
L1	N 30°34'21" W	47.13'
L2	S 63°23'14" W	1.70'
L3	N 26°43'44" W	25.25'
L4	N 30°34'21" W	22.45'
L5	S 30°34'21" E	25.31'

SURVEYORS CERTIFICATION:

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JOHN F. BREWER, III RLS#2905

2/18/2020
DATE



**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for building modifications at 1200 S. Broad St. (Parcel #MO200087).

The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on March 21, 2023 at 5:30 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

March 5, 2023



FOR INFORMATION SEE A
LISTING OF
ADDRESS 2000 2000
2000 2000 2000
2000 2000 2000
2000 2000 2000
2000 2000 2000

Hidden
Treasures
Antiques
NOW OPEN



**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 2164

DATE: March 14, 2023

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Carter Engineering Consultants, Inc.

PROPERTY OWNER: MAB Monroe LLC

LOCATION: South side of Pavilion Pkwy. and the north side of US Hwy 78 – 601 Pavilion Pkwy.

ACREAGE: ±1.54

EXISTING ZONING: PCD (Planned Commercial District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a fast food restaurant with a drive-thru window.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness with conditions.

DATE OF SCHEDULED MEETING

PLANNING COMMISSION: March 21, 2023

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a fast food restaurant with a drive-thru window, associated parking and landscaping.

PROPOSED PROJECT SUMMARY:

- Fast-Food Restaurant with Drive-Thru Window – Huey Magoo’s
 - Total Building Floor Area – 4,100 Sf
 - Façade Materials – combination of brick, EFIS, composite cladding (synthetic wood), and architectural metal accents
 - Access – Shared access drive off Pavilion Pkwy.
 - Parking – 52 Parking Spaces
 - Landscaping – 20’ landscape buffers along Pavilion Pkwy. and US Hwy 78

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 – Site Planning:

The proposed building is a typical sized fast-food restaurant building. The building is oriented on the lot in a perpendicular manner to Pavilion Pkwy. and US Hwy 78 with parking on the western side of the lot and a drive-through window on the east side of the building. The site has established access off Pavilion Pkwy. that was installed in the development of Pavilion Pkwy. The lot is intended to have shared access through the lot to each lot adjoining the site. There are also designated parking spaces accessed only by the drive-thru window lane. It is recommended the site plans be modified to include a pass through lane so the parking spaces may be accessible without the need to go through the drive-thru lane. The development appears to meet the general intent of the Site Planning Requirements in Section 643A.1(1) of the Zoning Ordinance.

643A.2 – Architecture:

The proposed façade of the restaurant building will be a combination of brick, EFIS, composite cladding (synthetic wood), architectural metal accents, and glass storefront windows and doors. The roof of the building will be a parapet roof style. The proposed building appears to meet the intent of the Architectural requirements under Section 643A.2.

643A.3 – Pavement:

A proposed through-access drive 28-feet in width will be located between the restaurant building and the right-of-way of Pavilion Parkway. All parking on the site will be located to the western side of the proposed restaurant building. There are some parking spaces located on the east side of the building that can only be accessed by going through the drive-thru only lane. As mentioned above, it is recommended the site plans be modified to include a pass through lane so the parking spaces may be accessible without the need to go through the drive-thru lane. The pavement areas proposed throughout the site appears to comply with the general and area specific criteria outlined in Section 643A.3 of the Zoning Ordinance.

643A.4 – Landscaping:

The submitted development proposes to include landscaping along Pavilion Pkwy. and US Hwy 78 and throughout the site. Landscaping along Pavilion Pkwy. and US Hwy 78 will be inside a 20-foot landscape buffer that will contain a mixture of shrubs, medium sized trees, and Bermuda grass. The landscaping proposed in the submitted development plans appears to comply with the landscaping criteria outlined in Section 643A.4 of the Zoning Ordinance.

643A.5 – Signs:

The application includes the representative signs on the building elevations and a range of various signs in the sign package. The site plans do not indicate any specific proposed monument sign location. The building elevations have specific dimensions shown of the proposed wall signage. The sign package also includes representative pylon signs, which are not allowed under Section 643A.5 or in Article XII of the Zoning Ordinance. All of the regulated signs proposed in this request include internal illumination. The Pavilion PCD Pattern Book allows for internal illumination of signs, but defers to the City’s sign regulations on all signs visible from US Hwy 78. The City of

Monroe Corridor Design Overlay requirements do not permit any signs to be internally illuminated (Section 643A.5(e)). In this case, all signs facing Pavilion Parkway on the building, including the monument sign may be internally illuminated. The remaining wall signs and any monument signs visible from US Hwy 78 will not be permitted to be internally illuminated. Signs visible from US Hwy 78 will be required to have back-lit, or halo lighting. Staff has added several conditions to address the size and allowance for illumination of signs on the site and on the proposed building.

643A.6 – Illumination:

A lighting plan was not included with the development plans. Any lighting added to the site will be required to comply with the Illumination Criteria for the Corridor Design Standards and Guidelines outlined in Section 643A.6 of the Zoning Ordinance.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to construct a fast-food restaurant with drive-thru windows, subject to the following conditions:

1. All wall signs on the proposed building shall not exceed two and one-half (2.5) square feet per linear foot of building frontage per wall. The wall sign on the front elevation of the building facing Pavilion Parkway may be internally illuminated as described in the sign package. The wall signs at the main entry, rear of the building, and drive-thru side of the building shall not be internally illuminated. The wall signs at the main entry, rear of the building, and drive-thru sides of the building may have back-lit, or halo-lit style illumination.
2. Only a ground or monument style sign shall be permitted on each public road frontage of the site. A monument or ground sign facing Pavilion Parkway sign for this site shall not exceed sixty-four (64) in size and shall not be have a height greater than nine (9) feet above grade. A monument sign facing Pavilion Parkway may be internally illuminated. No pylon or freestanding signs are permitted on the site. Any monument or ground signs facing US Hwy 78 shall not exceed sixty-four (64) in size and shall not be have a height greater than nine (9) feet above grade. Any monument or ground signs facing US Hwy 78 shall not be internally illuminated.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PLANNING & ZONING COA PERMIT

PERMIT #:	2164	DESCRIPTION:	COA-PLANNING & ZONING
JOB ADDRESS:	601 PAVILION PKWY	LOT #:	7
PARCEL ID:	M0050045L00	BLK #:	
SUBDIVISION:		ZONING:	PCD
ISSUED TO:	Carter Engineering Consultants	CONTRACTOR:	Carter Engineering Consultants
ADDRESS:	3651 Mars Hill Rd	PHONE:	
CITY, STATE ZIP:	Watkinsville GA 30677	OWNER:	
PHONE:		PHONE:	
PROP.USE:	COMMERCIAL	DATE ISSUED:	2/28/2023
VALUATION:	\$ 2,500,000.00	EXPIRATION:	8/27/2023
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
FEE TOTAL		\$ 100.00
PAYMENTS		\$- 100.00
BALANCE		\$ 0.00

NOTES:

The Planning Commission will hear this request for a Certificate of Appropriateness for construction of a fast food restaurant with a drive thru at 601 Pavilion Pkwy on March 21, 2023 at 5:30pm. The meeting will be held in the Council Chambers at City Hall; 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

3/17/23
DATE



Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 601 Pavilion Parkway Parcel # M0050045L00

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction Renovation of Existing Structure, Demolition, Signage

Property Owner: MAB MONROE LLC

Address: 525 N Tryon Street, Suite 1600, Charlotte, NC 28202

Telephone Number: 847-650-8461 Email Address: _____

Applicant: <u>Carter Engineering Consultants, Inc.</u>	
Address: <u>3651 Mars Hill Road, Suite 2000, Watkinsville, GA 30677</u>	
Telephone Number: <u>770-725-1200</u>	Email Address: <u>jessica@carterengineering.com</u>

Estimated cost of project: \$2,500,000

Please submit the following items with your application:

- Photographs of existing condition of the property to show all areas affected
- Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- Written description of the project
- Owner authorization statement, if applicant is not the property owner
- Application Fee \$100

Please submit all application materials in hardcopy to the Code Department and digitally at lwilson@monroega.gov; Please submit two physical copies.


Signature of Applicant

02/03/2023
Date

EXISTING CONDITIONS

The subject property is located in the Monroe Pavilion development and is currently undeveloped. It is known as Lot 7 from the recorded Final Plat for Monroe Pavilion recorded in Book 122, Page 15 – 18.

PROPOSED CONDITIONS

The proposed condition includes building a new Huey Magoo's Chicken restaurant. Huey Magoo's was founded in 2004 and has numerous locations throughout the southeast. This development will include constructing a new building, parking, and infrastructure to support the restaurant. As required by the developer, an interparcel access drive will be installed across the lot frontage to provide better traffic circulation among the outparcels to the Monroe Pavilion. The proposed development will meet or exceed the City of Monroe Zoning Ordinance, following both the PCD (Planned Commercial Development) standards as well as the CDO (Corridor Design Overlay) standards. All site signage will meet the ordinance and standards set forth in the PCD and CDO requirements.

The site will include a drive-thru with a separate drive-thru stacking lane for enhanced traffic circulation and separation with dine-in customers. There will be a maximum of 54 parking spaces on the site in accordance with the City of Monroe requirements. In addition, there will be an outdoor patio for customers that desire to sit outside. The building will be a combination of brick, EIFS, and composite cladding with architectural metal accents. The building will also include large store front windows.

Huey Magoo's is excited to be part of the City of Monroe and looks forward to many years of business in the City.

LOOKING NORTH



LOOKING EAST



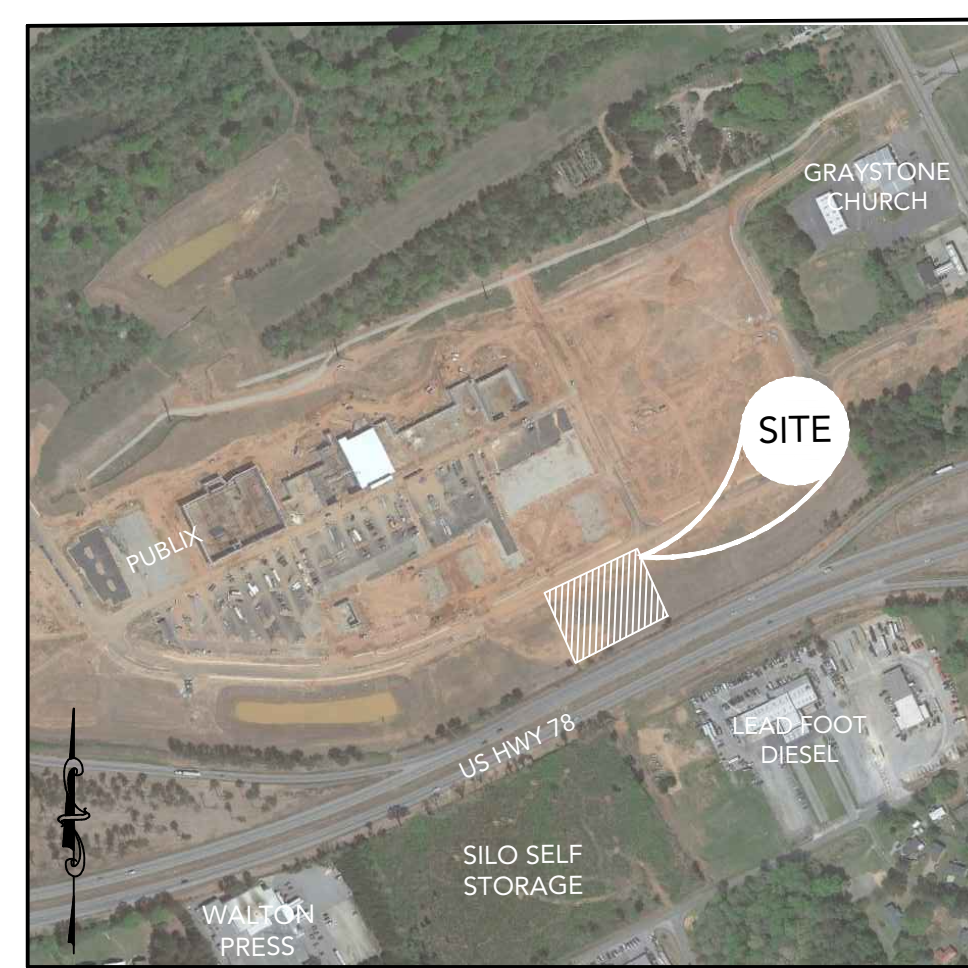
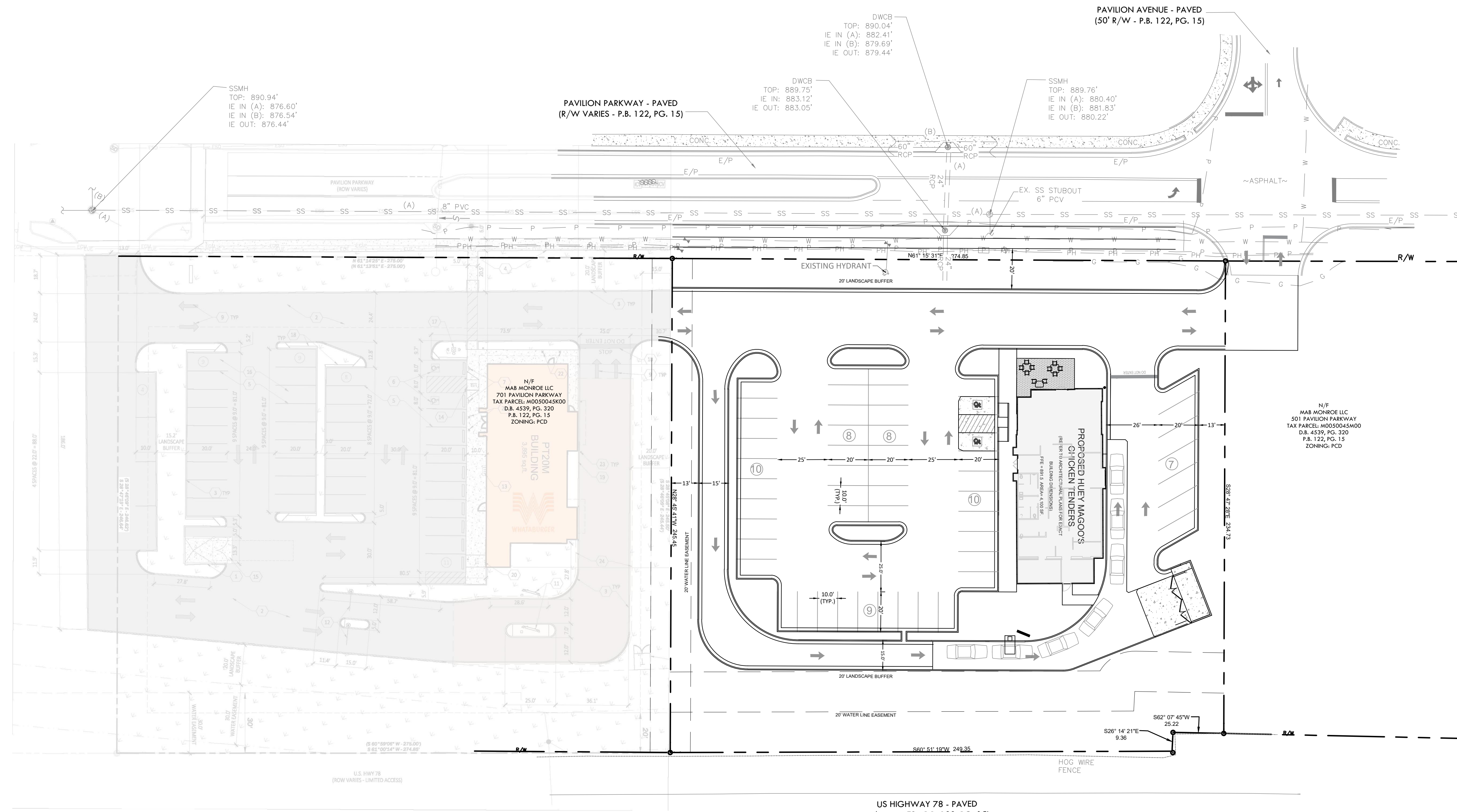
LOOKING SOUTH



LOOKING WEST



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LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION	
DRAWING SET PREPARED BY: CARTER ENGINEERING CONSULTANTS, INC. 3651 MARS HILL ROAD, STE 2000 WATKINSVILLE, GA 30677 CONTACT: JEFF CARTER, P.E. PHONE: 770.725.1200 JEFF@CARTERENGINEERING.NET	OWNER/DEVELOPER: THOMPSON, INC. / DAD'S TENDERS, INC. 7215 MIDDLEBROOK PIKE KNOXVILLE, TN 37909 CONTACT: DERRY THOMPSON 865.691.3111 DT@THOMPSONCO.COM

SITE INFORMATION	
JURISDICTION	CITY OF MONROE
PROPERTY LOCATION	PAVILION PARKWAY MONROE, GA 30655
PARCEL NUMBER	M0050045100
CURRENT ZONING	PCD
PROPOSED ZONING	PCD
OVERLAY DISTRICT	NONE
EXISTING USE	VACANT LOT
PROPOSED USE	COMMERCIAL RESTAURANT
BUFFERS REQUIRED	20' LANDSCAPE STRIP (SOUTH)
REQUIRED BUILDING SETBACKS	FRONT: 25 FEET SIDE: 10 FEET REAR: 20 FEET
MAXIMUM LOT COVERAGE	50%
MINIMUM LANDSCAPE	12%
MAXIMUM BUILDING HEIGHT	35 FEET
SANITARY SEWER SERVICE	CITY OF MONROE
WATER SERVICE	CITY OF MONROE
FEMA FLOOD INSURANCE RATE MAP NO.	13297C0137F
FEMA FIRM DATE	12/15/2022
FEMA SFHA ZONE	AREA OF MINIMAL FLOOD HAZARD

UNDERGROUND UTILITY DISCLAIMER:
THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD INFORMATION AND/OR EXISTING DRAWINGS. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE OWNER, HIS/HER EMPLOYEES, CONSULTANTS AND CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE CARTER ENGINEERING IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ALL UTILITIES PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER IF A DISCREPANCY IS FOUND. SPECIFICALLY, THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES PRIOR TO COMMENCEMENT OF STORM AND SANITARY SEWER CONSTRUCTION.

PARKING DATA	
Parking Required:	
Requirement:	1 PARKING SPACE PER 400 S.F. + 1 PARKING SPACE PER 4 SEATS WITH 150% MAXIMUM
Seats Provided	= 100 seats
	= (100 / 4 = 25)
Gross Floor Area	= 4100 s.f.
	= (4100 / 400 = 10)
Required Parking	= 35 Parking Spaces Required
Maximum Parking	= 53 Parking Spaces Required
Proposed Parking	= 52 Parking Spaces Proposed
ADA Parking	= 2 Provided

REVISION BLOCK	ISSUE	REVISION DATE & DESCRIPTION
1	1	01/06/23 INITIAL SUBMITTAL
2	2	2.03.23 - COA SUBMITTAL
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	



CARTER ENGINEERING
3651 MARS HILL ROAD
SUITE 2000
WATKINSVILLE, GA 30677
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

SITE DEVELOPMENT PLANS
 FOR
HUEY MAGOO'S CHICKEN TENDERS
 PAVILION PARKWAY - MONROE, GA 30655

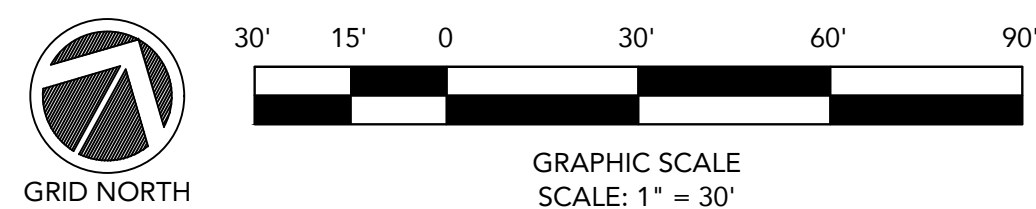
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SITE PLAN

PROJECT NAME:
Huey Magoo's Chicken Tenders

SHEET NUMBER:
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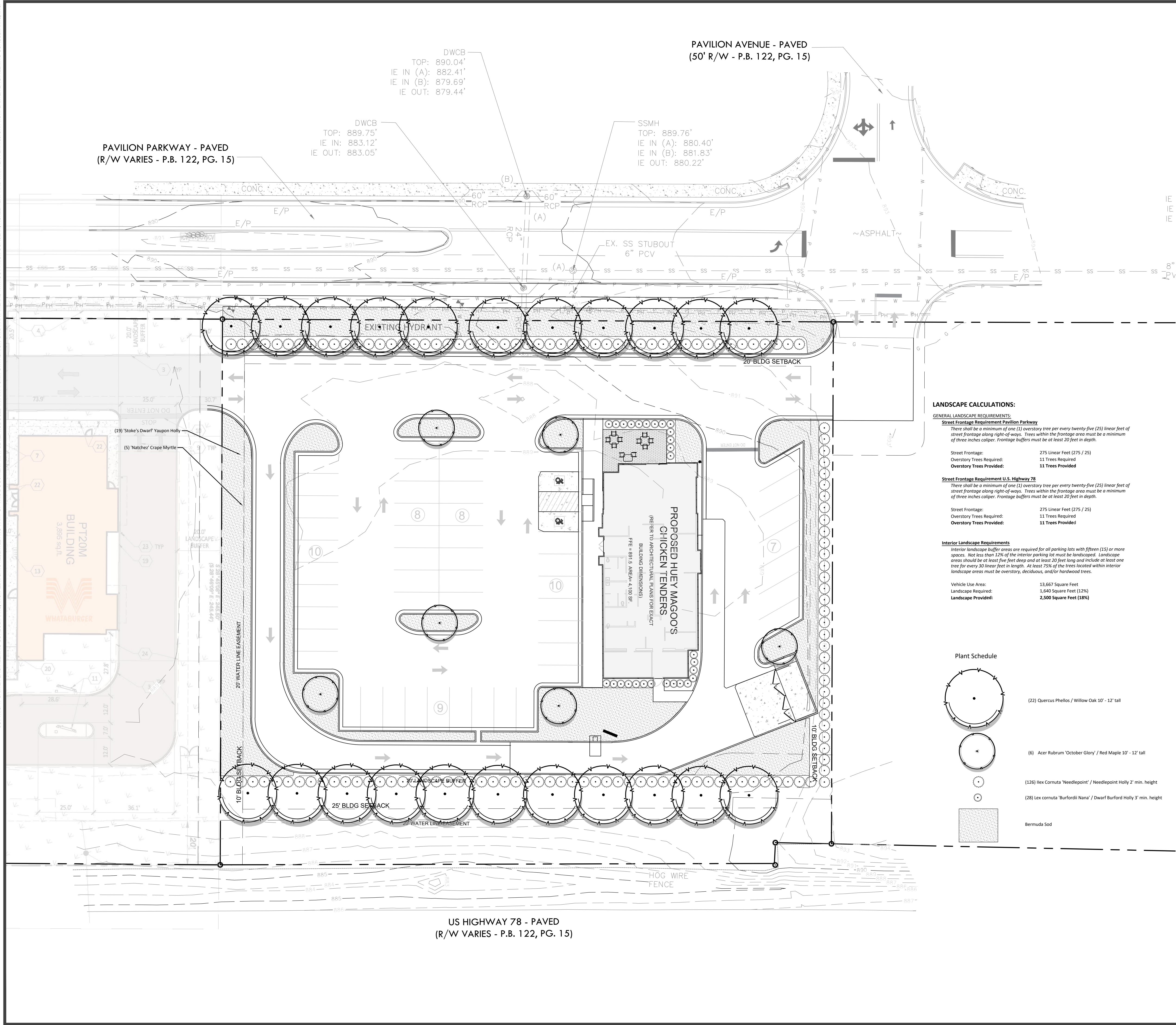
PROJECT NUMBER:
22001HMCT

DATE:
01/06/23



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PAVILION AVENUE - PAVED
(50' R/W - P.B. 122, PG. 15)

PAVILION PARKWAY - PAVED
(R/W VARIES - P.B. 122, PG. 15)

US HIGHWAY 78 - PAVED
(R/W VARIES - P.B. 122, PG. 15)

LANDSCAPE CALCULATIONS:

GENERAL LANDSCAPE REQUIREMENTS:

Street Frontage Requirement Pavilion Parkway
There shall be a minimum of one (1) overstory tree per every twenty-five (25) linear feet of street frontage along right-of-ways. Trees within the frontage area must be a minimum of three inches caliper. Frontage buffers must be at least 20 feet in depth.

Street Frontage: 275 Linear Feet (275 / 25)
Overstory Trees Required: 11 Trees Required
Overstory Trees Provided: 11 Trees Provided

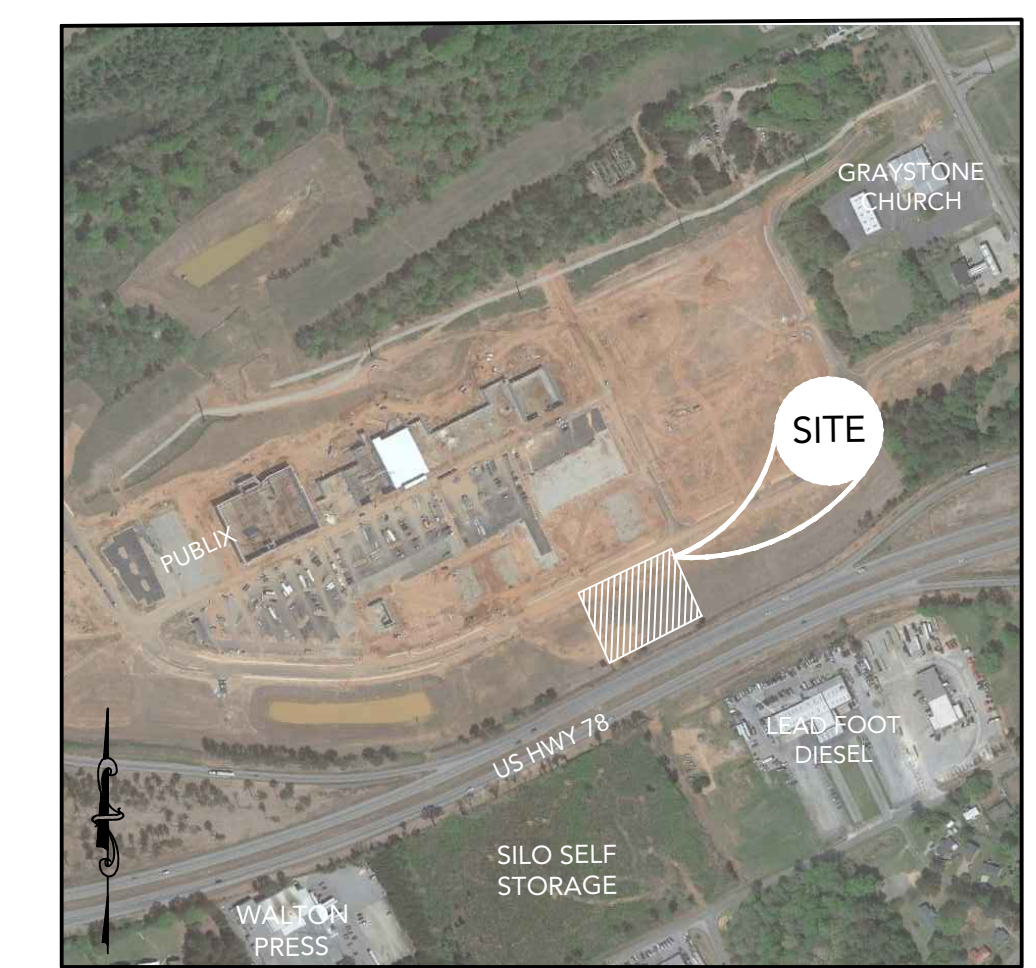
Street Frontage Requirement U.S. Highway 78
There shall be a minimum of one (1) overstory tree per every twenty-five (25) linear feet of street frontage along right-of-ways. Trees within the frontage area must be a minimum of three inches caliper. Frontage buffers must be at least 20 feet in depth.

Street Frontage: 275 Linear Feet (275 / 25)
Overstory Trees Required: 11 Trees Required
Overstory Trees Provided: 11 Trees Provided

Interior Landscape Requirements
Interior landscape buffer areas are required for all parking lots with fifteen (15) or more spaces. Not less than 12% of the interior parking lot must be landscaped. Landscape areas should be at least five feet deep and at least 20 feet long and include at least one tree for every 30 linear feet in length. At least 75% of the trees located within interior landscape areas must be overstory, deciduous, and/or hardwood trees.

Vehicle Use Area: 13,667 Square Feet
Landscape Required: 1,640 Square Feet (12%)
Landscape Provided: 2,500 Square Feet (18%)

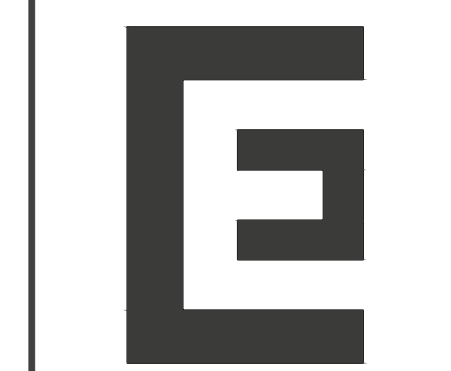
- Plant Schedule**
- (22) Quercus Phellos / Willow Oak 10' - 12' tall
 - (6) Acer Rubrum 'October Glory' / Red Maple 10' - 12' tall
 - (126) Ilex Cornuta 'Needlepoint' / Needlepoint Holly 2' min. height
 - (28) Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly 3' min. height
 - Bermuda Sod



LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION	
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PROPOSED ZONING	PCD
OVERLAY DISTRICT	NONE
EXISTING USE	VACANT LOT
PROPOSED USE	COMMERCIAL RESTAURANT
BUFFERS REQUIRED	20' LANDSCAPE STRIP (SOUTH)
REQUIRED BUILDING SETBACKS	FRONT: 25 FEET SIDE: 10 FEET REAR: 20 FEET
MAXIMUM LOT COVERAGE	50%
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SANITARY SEWER SERVICE	CITY OF MONROE
WATER SERVICE	CITY OF MONROE
FEMA FLOOD INSURANCE RATE MAP NO.	13297C0137F
FEMA FIRM DATE	12/15/2022
FEMA SFHA ZONE	AREA OF MINIMAL FLOOD HAZARD
UNDERGROUND UTILITY DISCLAIMER: THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD INFORMATION AND/OR EXISTING DRAWINGS. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE OWNER, HIS/HER EMPLOYEES, CONSULTANTS AND CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE CARTER ENGINEERING IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ALL UTILITIES PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER IF A DISCREPANCY IS FOUND. SPECIFICALLY, THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES PRIOR TO COMMENCEMENT OF STORM AND SANITARY SEWER CONSTRUCTION.	

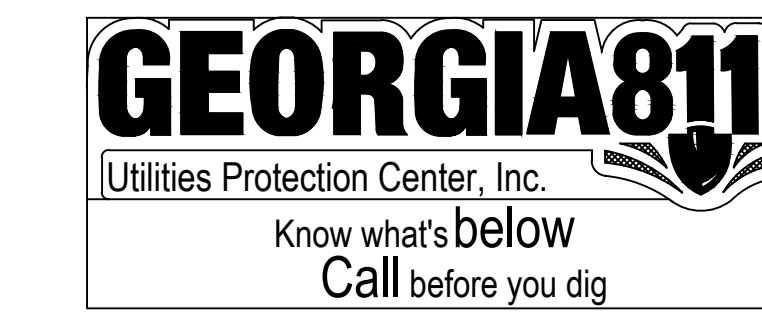
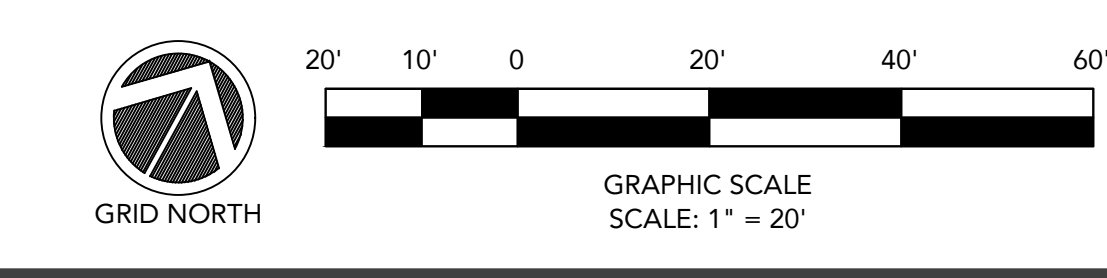
REVISION BLOCK	REVISION DATE & DESCRIPTION
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2	2.03.23 - COA SUBMITTAL
3	
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CARTER ENGINEERING
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SUITE 2000
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SITE DEVELOPMENT PLANS
FOR
HUEY MAGOO'S CHICKEN TENDERS
PAVILION PARKWAY - MONROE, GA 30655

SHEET TITLE: LANDSCAPING PLAN
PROJECT NAME: huey magoos CHICKEN TENDERS
SHEET NUMBER: C 8.0
PROJECT NUMBER: 22001HMCT
DATE: 01/06/23

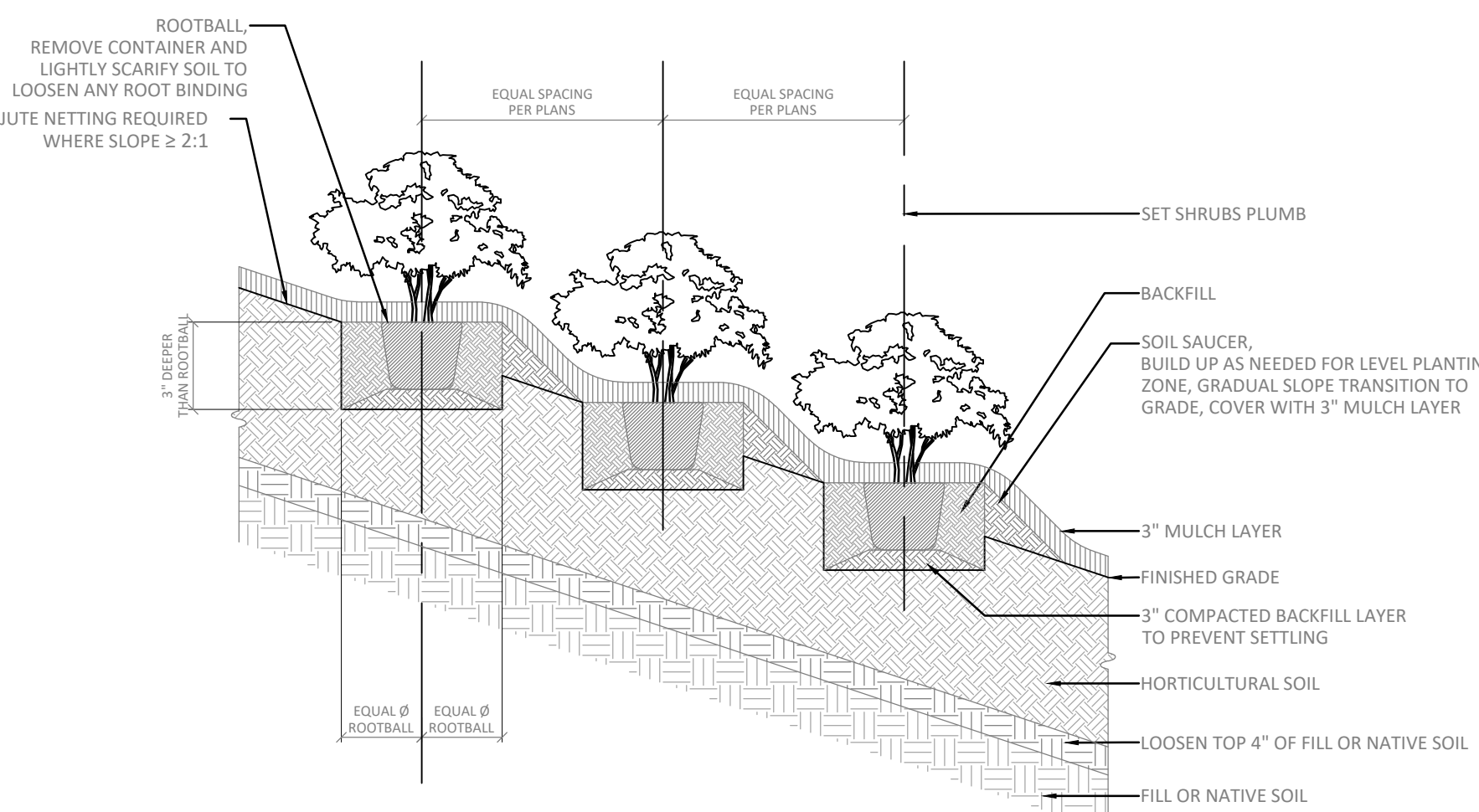


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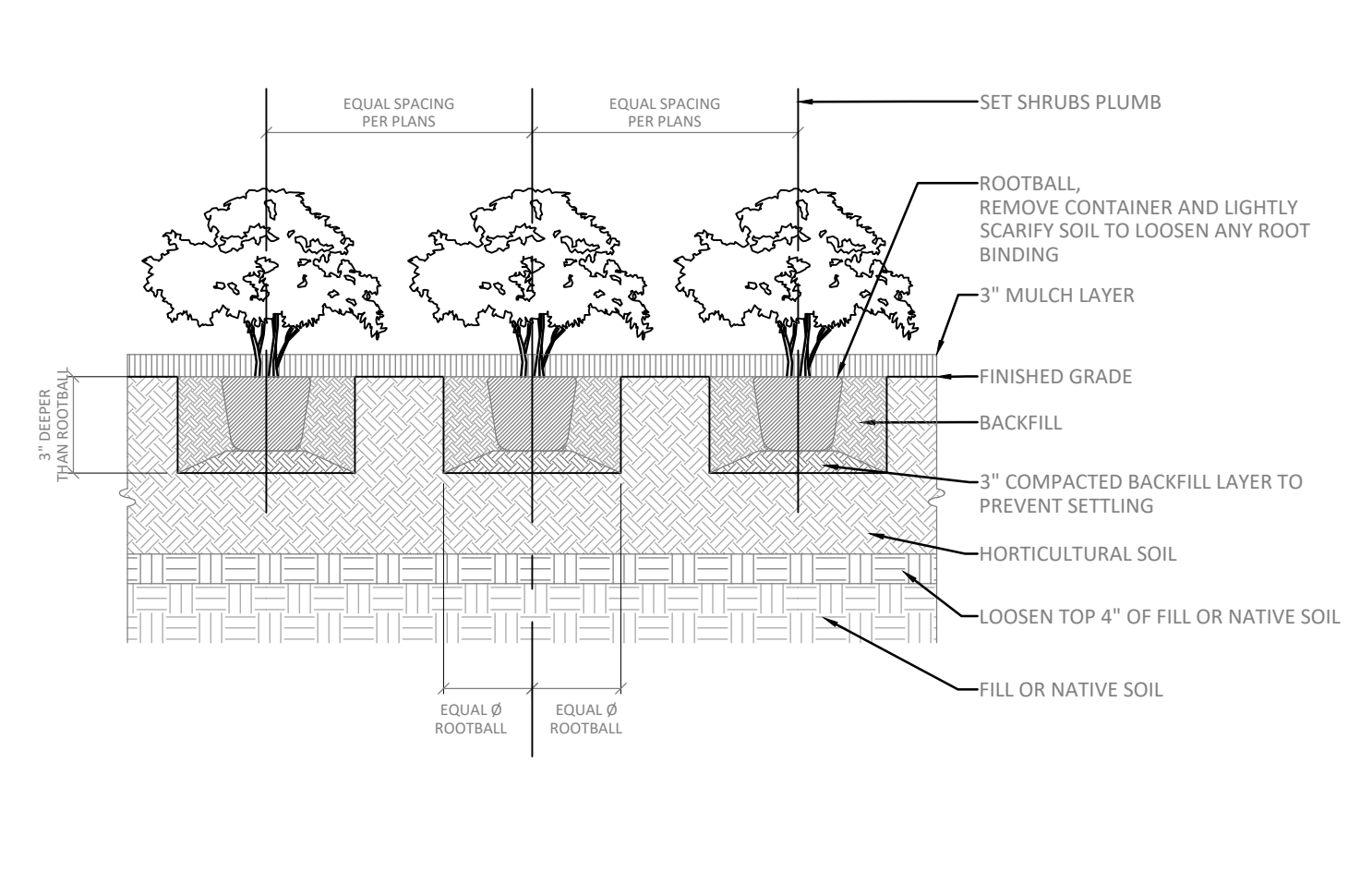
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PLANTING NOTES:

- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LINE LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES DURING THE LIFE OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING THE EXECUTION OF HIS WORK.
- THE CONTRACTOR SHALL STAKE ALL TREE LOCATIONS IN THE FIELD AND THE STAKED LOCATIONS SHALL BE REVIEWED AND APPROVED BY CARTER ENGINEERING. CARTER ENGINEERING MAY MAKE MINOR ADJUSTMENTS TO THE LAYOUT WITHOUT INCURRING ADDITIONAL COSTS TO THE PROJECT.
- MULCH ALL PLANT AREAS FOR TREES AND SHRUBS WITH 3" LAYER OF DOUBLE GROUND SHREDED HARDWOOD MULCH.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES WILL BE WITH PLANTS WITH EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM, AS APPROVED BY CARTER ENGINEERING.
- SUBSTITUTIONS SHALL NOT BE MADE UNLESS DRAWINGS AND/OR WRITTEN REQUESTS ARE SUBMITTED TO CARTER ENGINEERING FOR APPROVAL. CARTER ENGINEERING SHALL DETERMINE EQUALITY BASED UPON COMPLETE INFORMATION SUBMITTED BY THE CONTRACTOR.
- TREES: PROVIDE SPECIMEN BALLED AND BURLAPPED, OR AS SPECIFIED, TREES OF HEIGHT, SIZE, CALIPER, GENUS, SPECIES, CULTIVAR AND BRANCHING CONFIGURATION INDICATED. THE ROOT SYSTEM OF EACH SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS OF PLANT SHALL BE MOIST AND SHOW ACTIVE GREEN GAMBURIUM WHEN CUT. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE. ALL PLANTS TO BE MOVED BALLED AND BURLAPPED, MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH UNTREATED BURLAP, FIRMLY HELD IN PLACE BY A STOUT CORD OR WIRE, DRUM LACED, BOXED, OR IN CONTAINERS.
- PRUNING AND SHAPING: PRUNE, THIN OUT, AND SHAPE PLANTS IN COMPLIANCE WITH AMERICAN HORT'S AMERICAN STANDARD FOR NURSERY STOCK TO PRESERVE THE NATURAL CHARACTER AND ONLY AS APPROVED BY CARTER ENGINEERING DESIGN TEAM. RETAIN REQUIRED HEIGHT AND SPREAD. DO NOT ALTER SHAPE AND DO NOT CUT LEADERS. REMOVE ALL DEAD WOOD, SUCKERS, BROKEN OR BRUISED BRANCHES, AND CROSSING BRANCHES.
- STAKES AND GUIS: TO BE ROUND POSTS.
- THE CARTER ENGINEERING REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANT MATERIAL AT THE NURSERY OR AT THE SITE.
- THE TRUNK FLARE (AT THE BASE OF THE TREE) SHALL BE PROPERLY EXPOSED FOR ALL PLANTINGS.
- KEEP ROOT BALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS DAMP AND PROTECTED FROM DAMAGE DUE TO SUN AND WIND. DO NOT SHAVE ROOT BALLS.
- PLANT SOIL MIXTURE WILL BE USED TO BACKFILL THE PLANTING AREA. INSTALL PLANTS SIMULTANEOUSLY WITH INSTALLATION OF PLANTING SOIL MIXES.
- TREE PLANTING: SEE TREE PLANTING DETAIL AND SPECIFICATION NOTES HEREIN FOR ADDITIONAL INFORMATION RELATED TO PLANTING FIT DIMENSIONS, PLANTING OPERATIONS, BACKFILLING, AND STAKING OF TREES.
- CONTAINER STOCK PLANTING: PLANT CONTAINER GROWN STOCK THE SAME AS SPECIFIED FOR BALLED AND BURLAPPED STOCK, BUT REMOVE CONTAINERS COMPLETELY.
- SOIL SHALL BE FREE OF ALL DEBRIS, CONSTRUCTION MATERIAL, AND SLURRY. LANDSCAPE AREAS SHALL BE BACKFILLED WITH PLANTING SOIL MIXTURE PER DETAILS AND SPECIFICATIONS.
- OBSTRUCTIONS: IF OBSTRUCTIONS OR OTHER CONDITIONS DETRIMENTAL TO HEALTHY PLANT GROWTH ARE ENCOUNTERED, NOTIFY CARTER ENGINEERING IMMEDIATELY AND REQUEST ADDITIONAL INSTRUCTIONS.
- WATERING AND DRAINAGE: FILL EXCAVATIONS WITH WATER AND ALLOW WATER TO PERCOLATE OUT BEFORE PLANTING. IF PLANTING PITS DO NOT PERCOLATE OR DRAIN PROPERLY, NOTIFY THE CARTER ENGINEERING AND REQUEST ADDITIONAL INSTRUCTIONS PRIOR TO PLANTING. DO NOT PLANT INTO POORLY DRAINING PLANTING PITS, POORLY DRAINING PLANTING PITS MAY HOLD WATER AND DROWN PLANTS.
- FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
- ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING. BACKFILL TO ALLOW ROOM FOR MULCH AFTER SETTLING, AND PLACE MULCH IN DISH AFTER FIRST WATERING AND WITHIN ONE WEEK OF PLANTING. SEE PLANTING DETAILS FOR MULCH THICKNESS.
- ALL PLANTS SHALL BE PLUMB VERTICALLY AFTER SETTLING OR AS DIRECTED BY CARTER ENGINEERING.
- PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS.
 - SPRING PLANTING (SHRUBS, GROUNDCOVER, PERENNIALS) - MARCH THROUGH MAY
 - FALL PLANTING (SHRUBS, GROUNDCOVER, PERENNIALS) - SEPTEMBER THROUGH NOVEMBER
 - TREE PLANTING - SEPTEMBER THROUGH APRIL
- INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP OR GROWTH WITHIN ONE YEAR OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM THE LACK OF ADEQUATE MAINTENANCE BY OWNER
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- THE CONTRACTOR SHALL VERIFY THE QUANTITIES LISTED IN THE PLANT LEGEND. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS SHOWN ON PLANTING PLANS. IN CASE OF DISCREPANCIES CARTER ENGINEERING SHOULD BE CONTACTED.
- ALL GROUNDCOVER QUANTITIES SHALL BE DETERMINED USING THE INFORMATION PROVIDED IN THE GROUNDCOVER QUANTITY AND SPACING CHART ON THIS SHEET.
- ALL DISTURBED GROUND SHALL HAVE GROUNDCOVER OF MULCH AND/OR GRASSING.
- SOD SHALL BE SPECIFIED BY OWNER.
- IRRIGATION SHALL BE PROVIDED.
- LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN COMPLIANCE WITH CITY LANDSCAPE ORDINANCE.

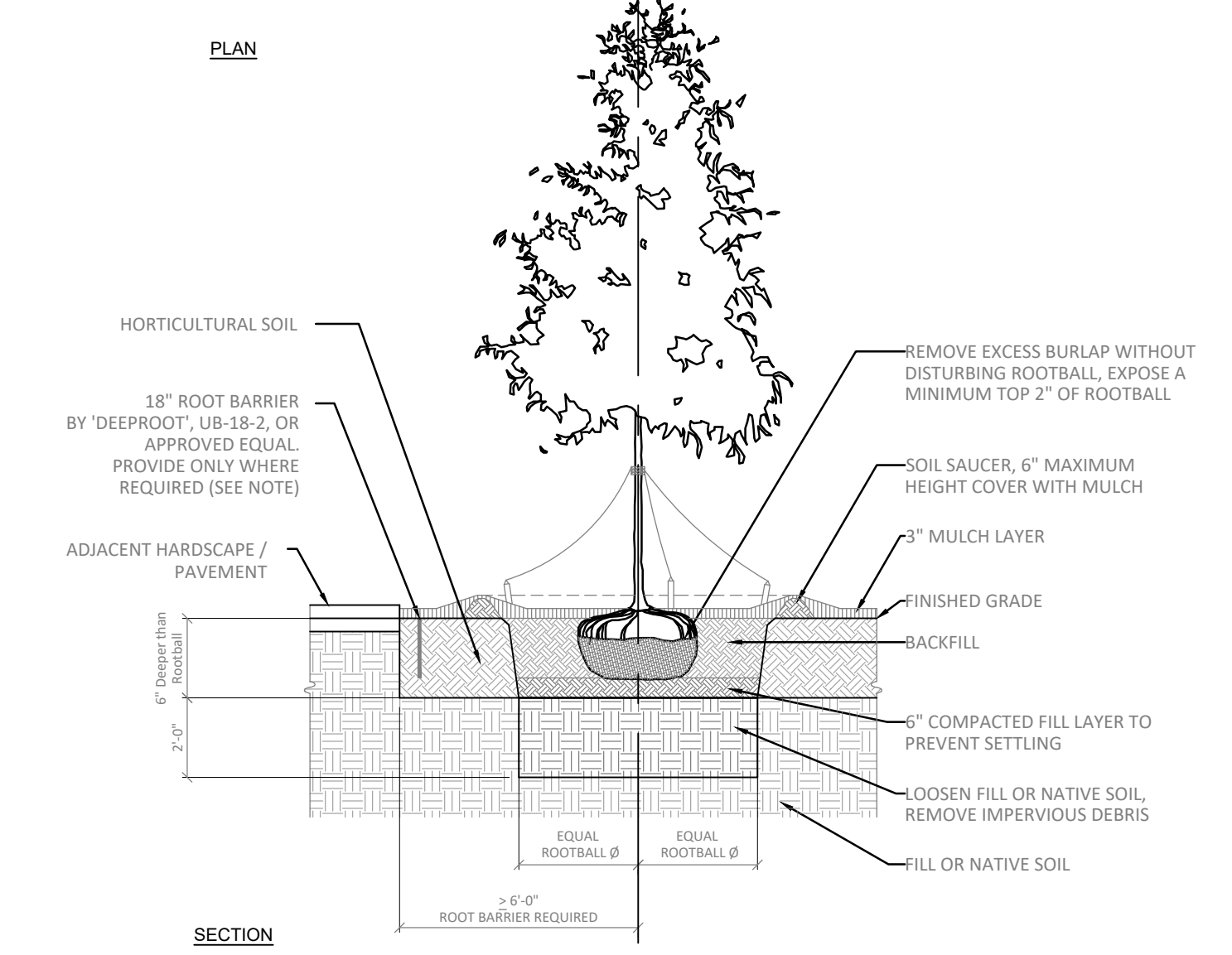
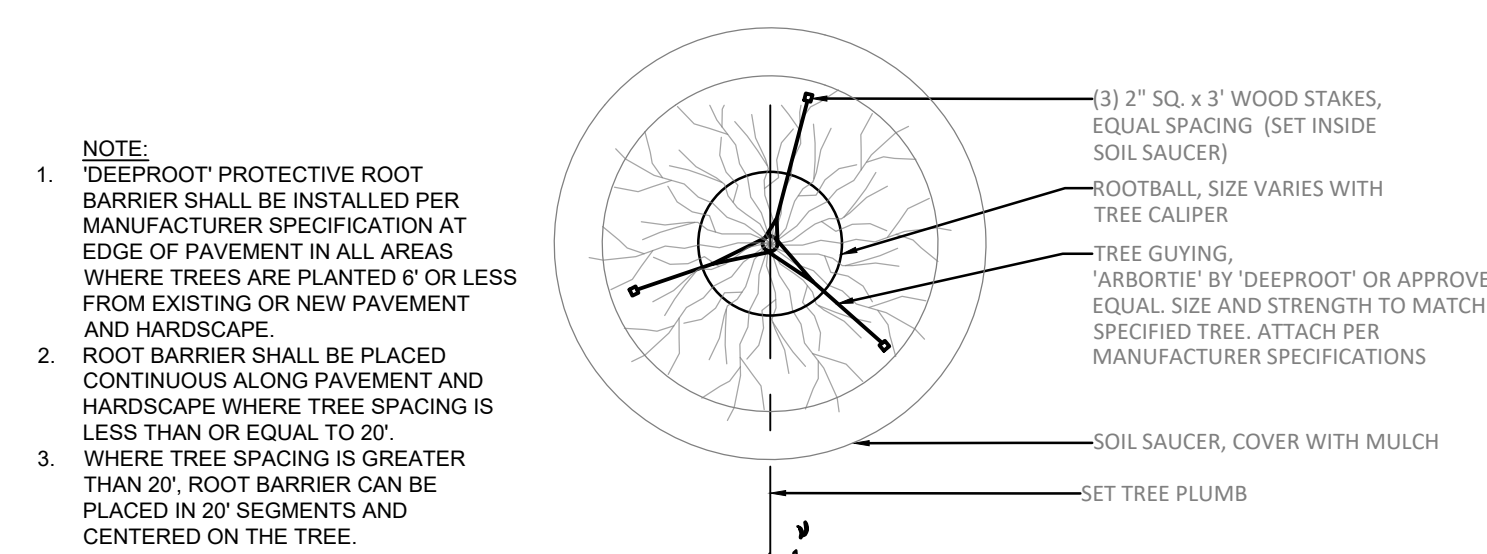


SHRUB PLANTING ON A SLOPE

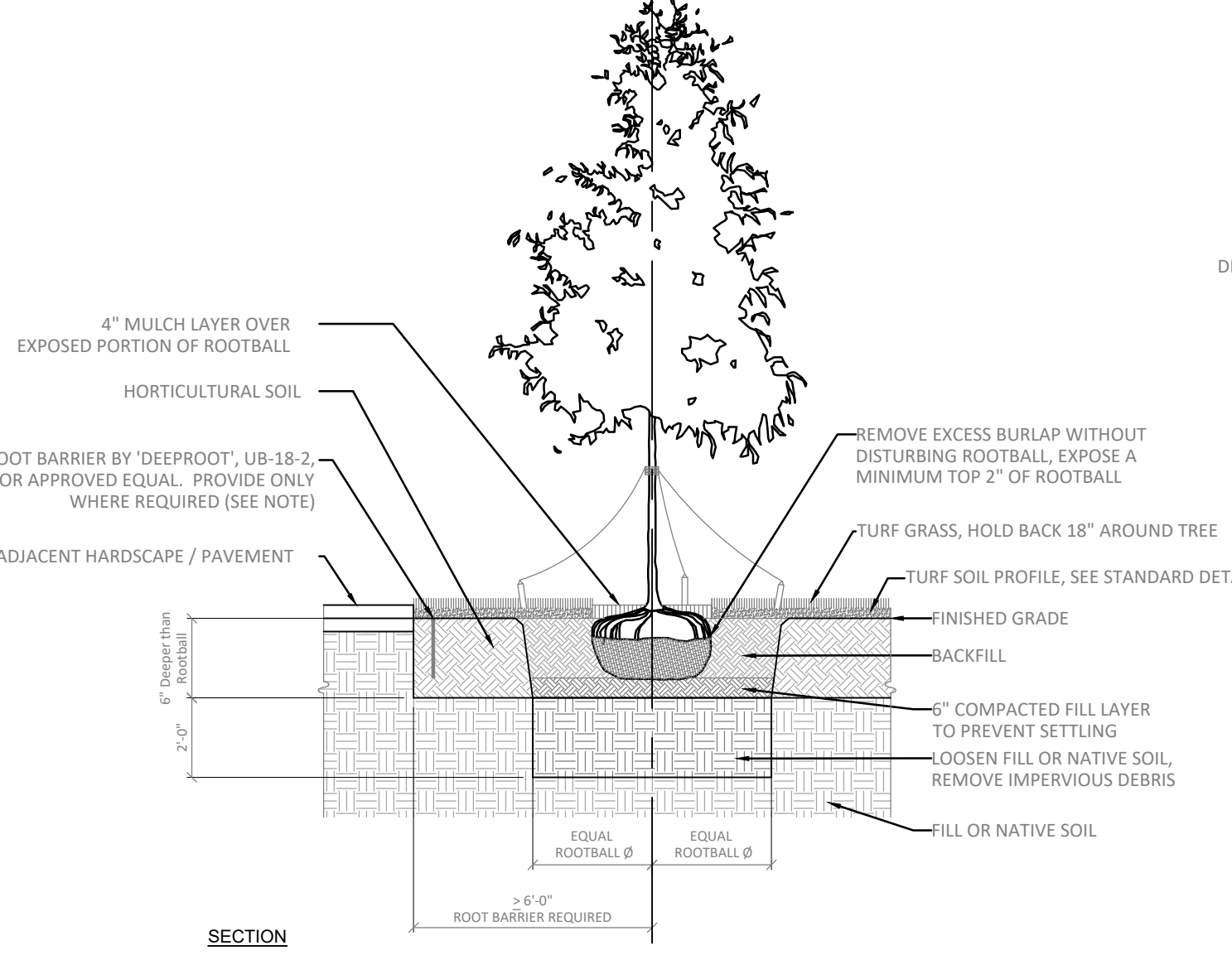
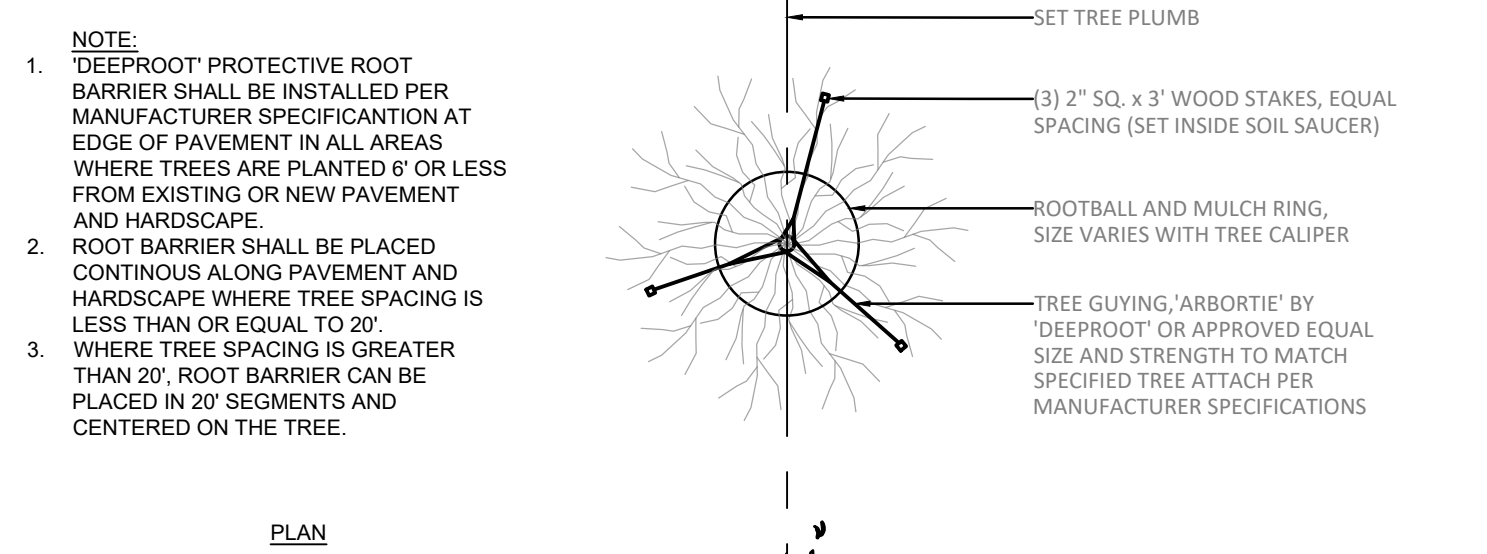


SHRUB PLANTING AT LANDSCAPE

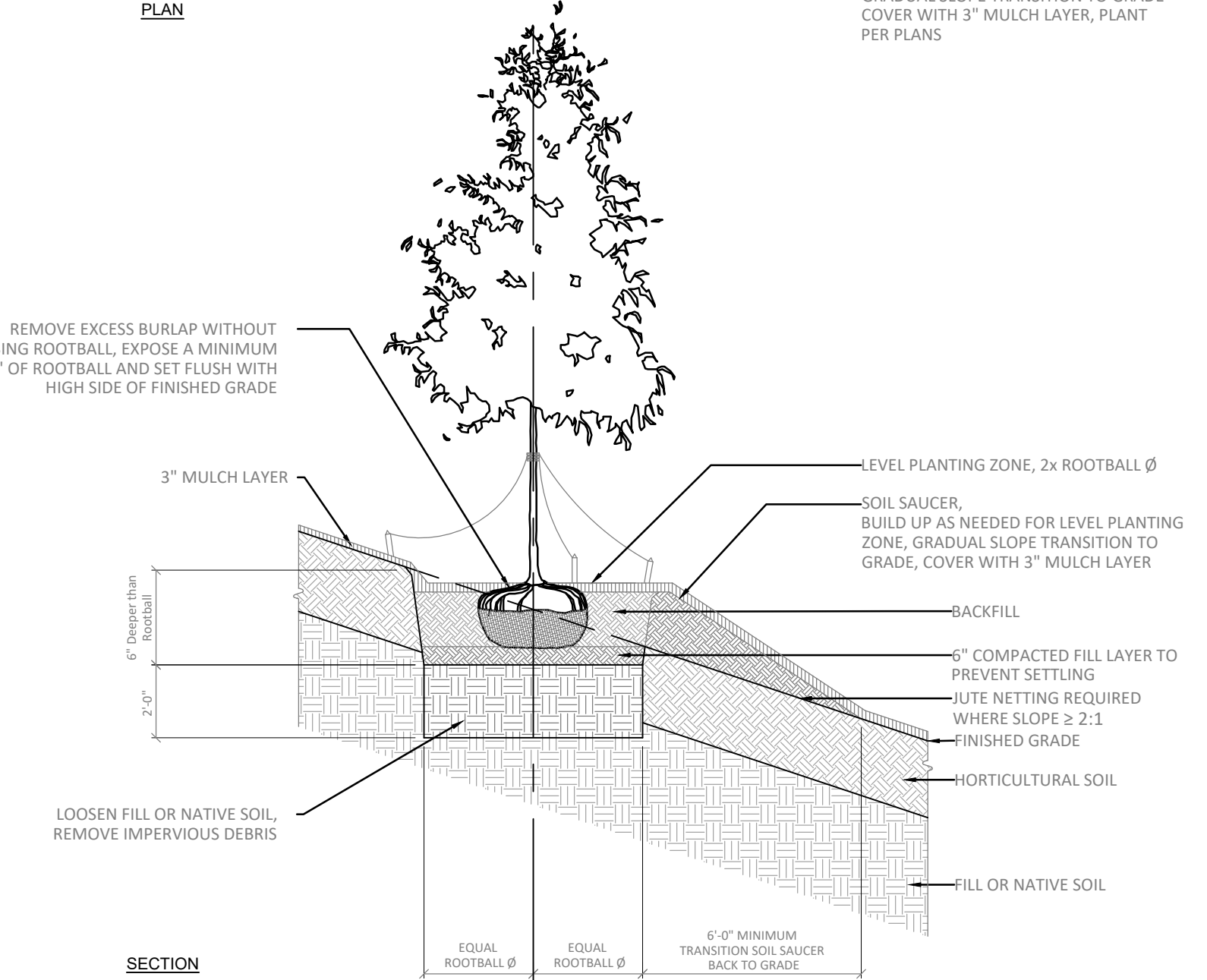
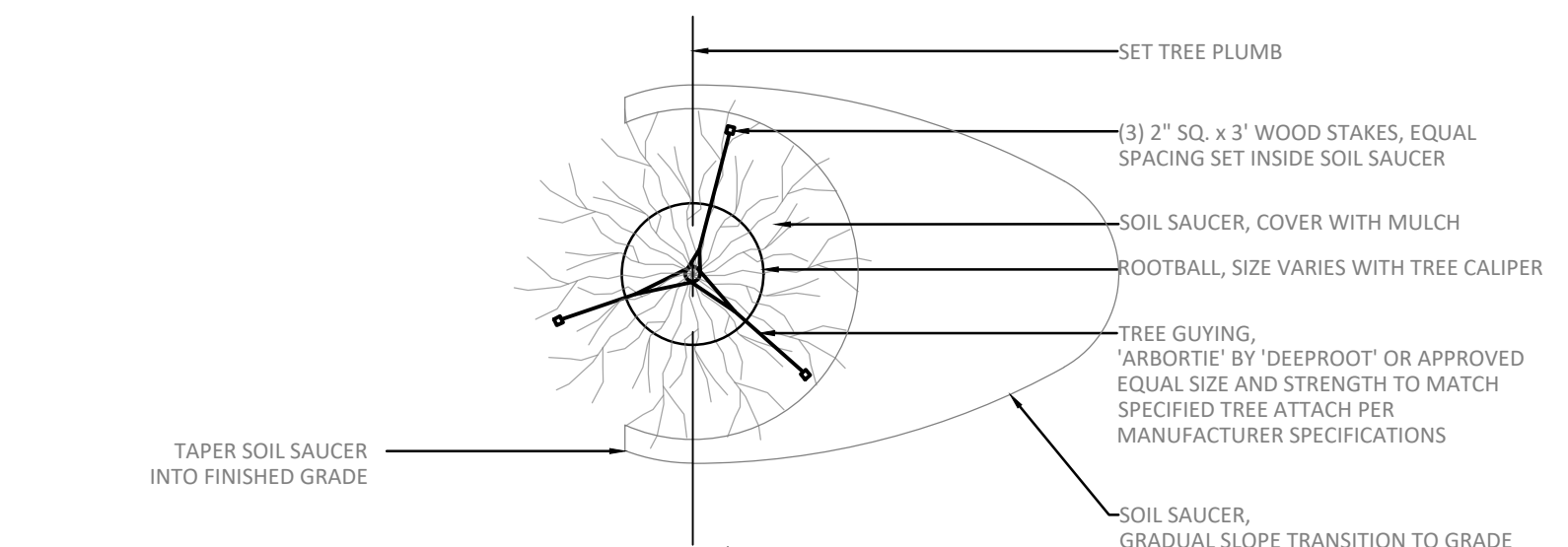
1 SHRUB PLANTING DETAILS
1/2" = 1'-0"



TREE PLANTING AT LANDSCAPE

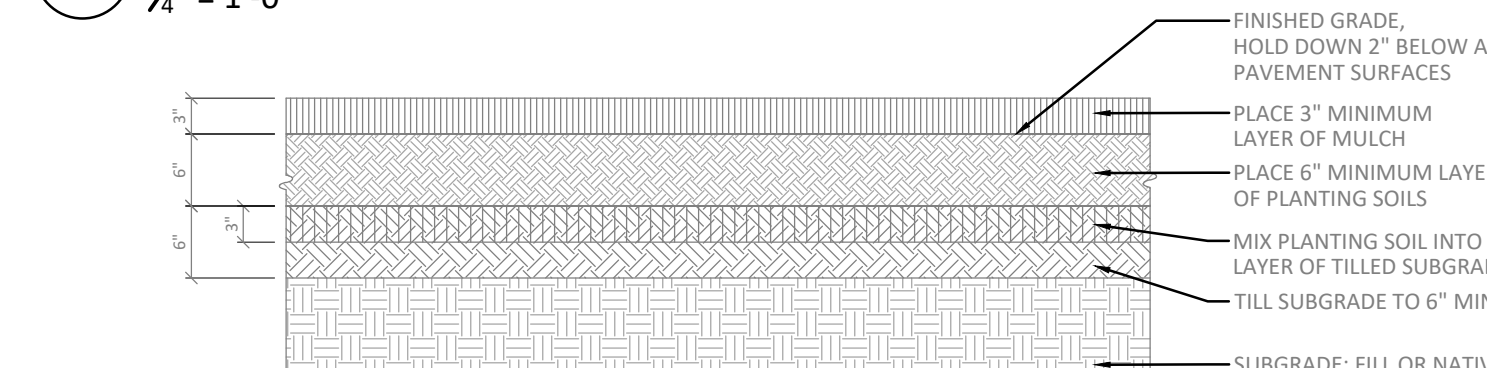


TREE PLANTING AT LAWN

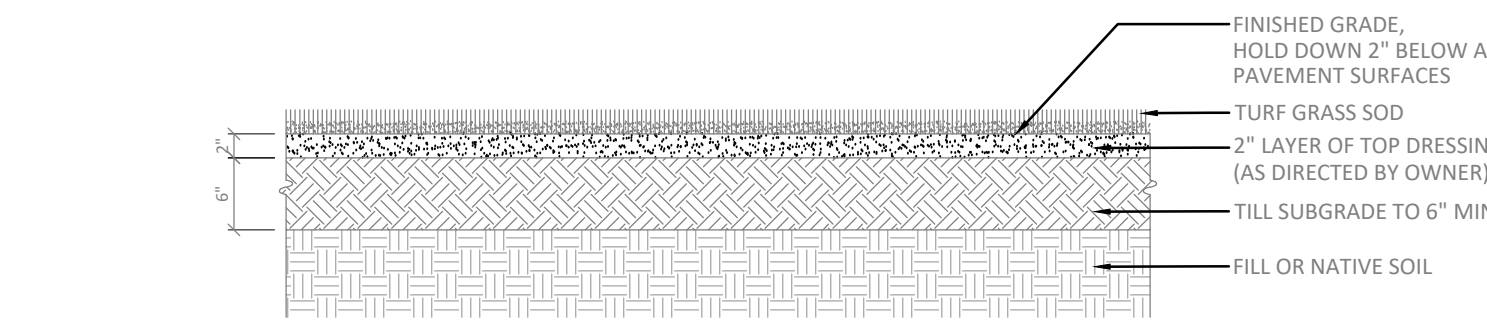


TREE PLANTING ON A SLOPE

2 TREE PLANTING DETAILS
1/4" = 1'-0"



SOIL PREPARATION - PLANTING BEDS

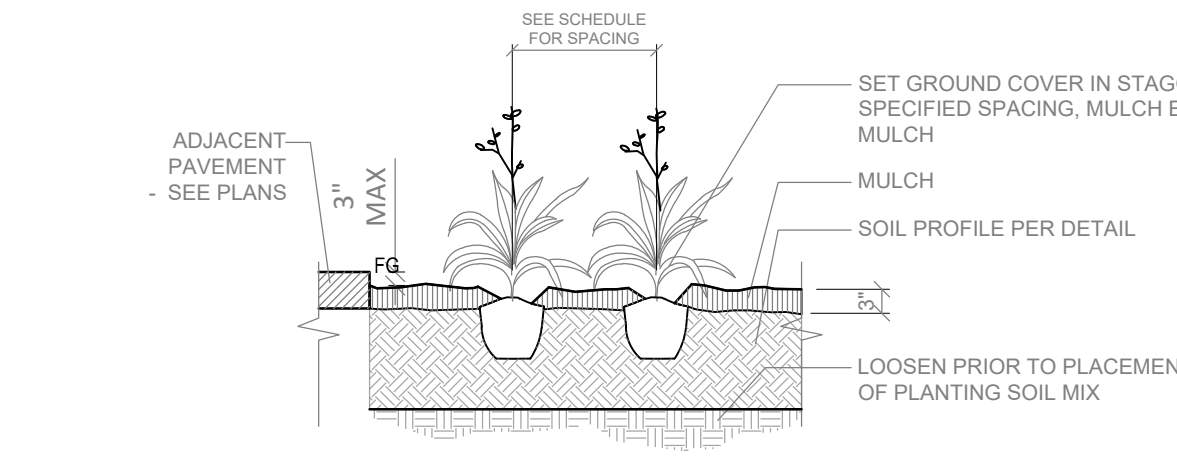


SOIL PREPARATION - TURF GRASS

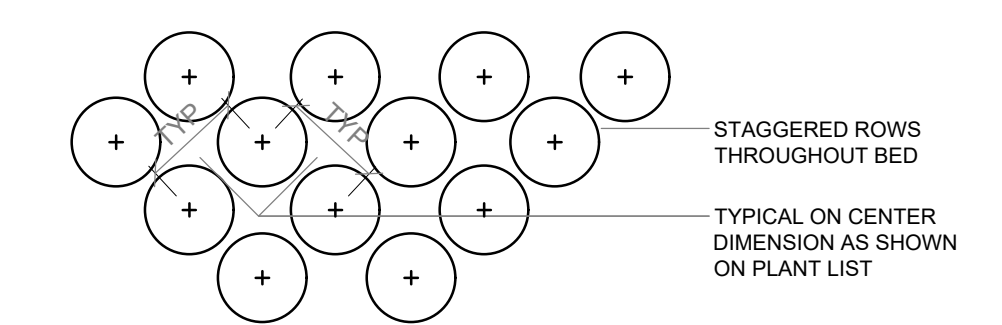
3 SOIL PREPARATION DETAILS
3/4" = 1'-0"



SOIL PREPARATION DETAILS



GROUNDCOVER, GRASS, AND PERENNIAL PLANTING



- NOTES:**
- SEE PLANTING PLANS FOR SHRUB AND GROUNDCOVER BED AREAS.
 - ROWS SHALL BE STRAIGHT AND PARALLEL.
 - SEE PLANTING SCHEDULE FOR GROUNDCOVER SPACING AND QUANTITIES.

SHRUB & GROUNDCOVER SPACING

3 GROUNDCOVER DETAILS
3/4" = 1'-0"



GROUNDCOVER DETAILS

REVISION BLOCK	ISSUE	REVISION DATE & DESCRIPTION
1	2.03.23	COA SUBMITTAL
2	2.03.23	COA SUBMITTAL
3		
4		
5		
6		
7		
8		



CARTER ENGINEERING
3651 MARS HILL ROAD
SUITE 2000
WATKINSVILLE, GA 30677
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

SITE DEVELOPMENT PLANS
FOR
HUEY MAGOO'S CHICKEN TENDERS
PAVILION PARKWAY - MONROE, GA 30655

SHEET TITLE:
LANDSCAPING DETAILS

PROJECT NAME:



SHEET NUMBER:
C 8.1

PROJECT NUMBER:
22001HMCT

DATE:
01/06/23

ENGINEER/DESIGNER NOT RESPONSIBLE FOR COST CHANGES DURING PRELIMINARY PHASE. BIDS & QUOTES SHALL BE BASED ON PLAN SETS LABELED 'ISSUE FOR BID'. BIDS & QUOTES SHALL BE REVISED BASED ON PLANS LABELED 'ISSUE FOR CONSTRUCTION'.

EXTERIOR FINISH LEGEND

PAINT	EXP-3	SHERWIN WILLIAMS - SW2849 WESTCHESTER GRAY
BRICK	BR	4" BRICK VENEER - BRUSHED FINISH SEE WALL SECTIONS FOR CONSTRUCTION PAINTED EXP-3 - SHERWIN WILLIAMS - SW2849 WESTCHESTER GRAY
EIFS	E	EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE SPACE CONTROL JOINTS PER MANUFACTURER RECOMMENDATIONS FINISH: HYDROPHOPIC TEXTURE: SANDPEBBLE COLOR: STATOTONE HIGH PERFORMANCE COLORANT MATCH TO SHERWIN WILLIAMS OR EQUAL EXP-3 - SHERWIN WILLIAMS - SW2849 WESTCHESTER GRAY
COMPOSITE CLADDING	CC	FIBERON HORIZON COMPOSITE CLADDING COLOR: IPE PRODUCT DESCRIPTION: SOLID, SQUARE EDGE PROFILE DIMENSIONS: 5.4" x 0.935" / STANDARD LENGTHS: 12', 16', & 20' LOCATION: STOREFRONT AND ENTRY WALL WHERE APPLICABLE CONTACT: 800-573-8841 / info@fiberondecking.com
METAL FASCIA	MF	PRE-FAB ANCHOR-TITE FASCIA BY METAL ERA 24 GA PRE-FINISHED COVER 5 1/2" STANDARD SIZE AND MATTE BLACK COLOR
METAL TRIM	MT	1" x 1" BREAK METAL CORNER TRIM MATTE BLACK
STOREFRONT	SF	NEW STOREFRONT ASSEMBLY AND GLAZING SEE ASSEMBLY NOTES ON A5.0
SIGNAGE	S	LIGHTED HUEY MAGOOOS CHICKEN TENDERS SIGN REFER TO ELECTRICAL DRAWINGS FOR MORE INFO ON POWER -SEE BELOW FOR REQUIREMENTS
WINDOW	W	WINDOW DRIVE-THRU WINDOW/DOOR SYSTEM BY QUIKSERV AUTOMATIC BI-PARTING DOOR SYSTEM - 84" WIDE x 92" TALL CLEAR DOOR OPENING OF 30" DARK BRONZE ANODIZED FINISH ACTIVATION SENSOR AND THRESHOLD PROVIDED CONTACT: BRIAN MCCLOSKEY bmcclcoskey@quikserv.com
BLACK KOLPAK FINISH	BL	26 GA EMBOSSED BLACK GALVANIZED FINISH
TEMPERED SAFETY GLASS	T	ALL GLAZING TO BE TEMPERED SAFETY GLASS

SIGN COMPANY REQUIREMENTS

1. PROVIDE FULL SET OF SHOP DRAWINGS: NOTING FASTENING LOCATIONS, FASTENER TYPES FOR ARCH APPROVAL & PERMIT SUBMISSION
2. WHERE APPLICABLE NOTE FASTENERS MEET HURRICANE WIND SPEED REQUIREMENTS
3. PROVIDE CODE COMPLIANCE SUMMARY TO MEET LOCAL APPLICABLE CODES
4. SIGN COMPANY REQUIRED TO OBTAIN SEPARATE SIGN PERMIT.

ARCHITECT OF RECORD:
THOMAS E. MORGAN, JR.
ARCHITECT
423 FISCHER TRAIL
ELLIJAY, GEORGIA 30540

NOT RELEASED FOR CONSTRUCTION

ISSUES / REVISIONS:	
DATE	DESCRIPTION
1-28-23	PRELIMINARY SET

DRAWN BY:
CHKD BY:

PROJECT DESCRIPTION:
GROUND UP RESTAURANT

PROJECT TITLE:

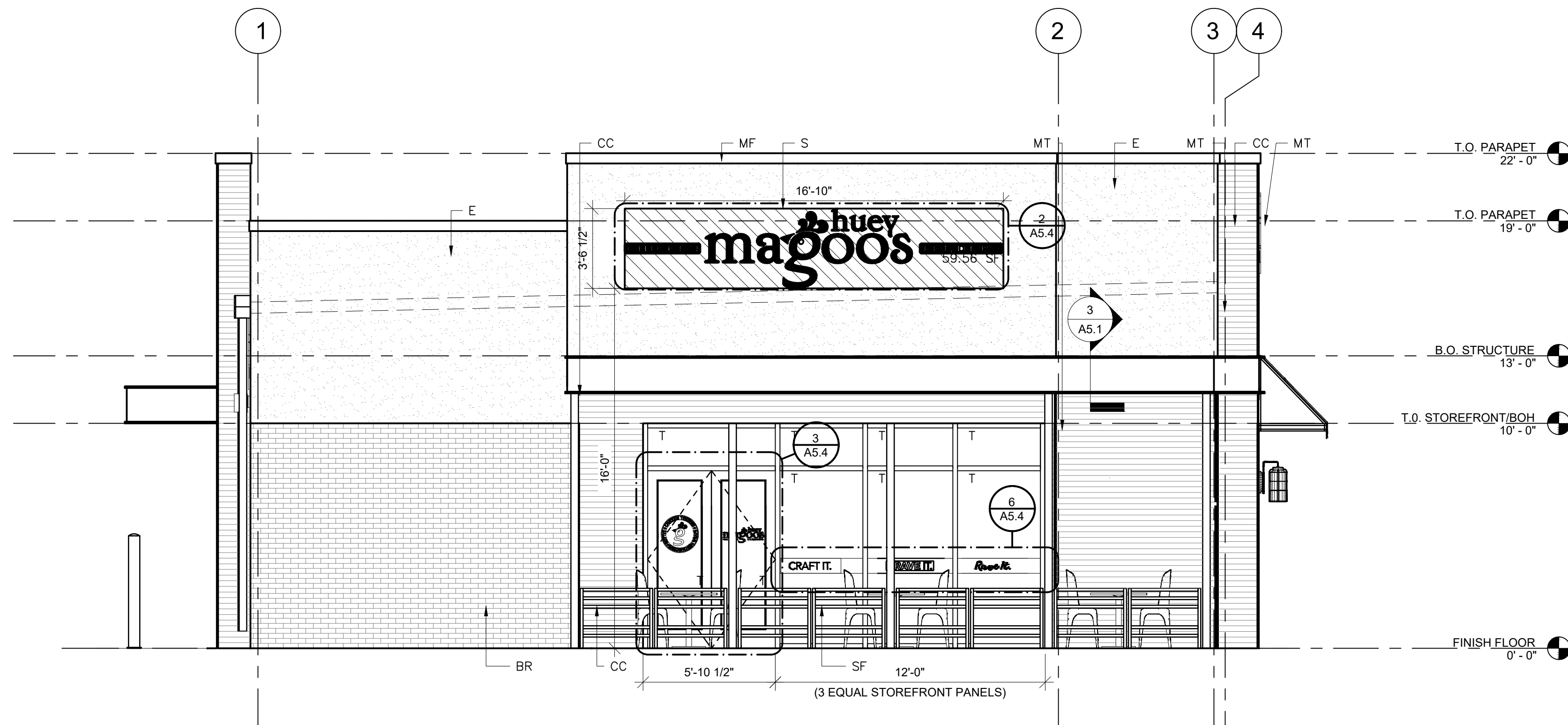
huey magooos
CHICKEN TENDERS
PAVILION PARKWAY
MONROE, GA 30656

SHEET TITLE:

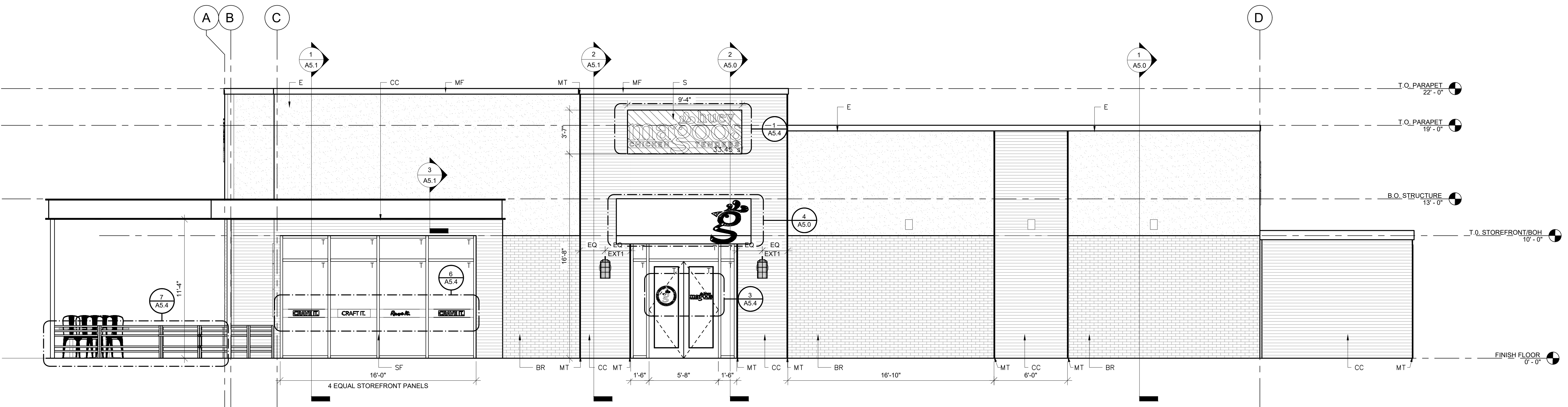
EXTERIOR ELEVATIONS

PROJECT NO: 22064

A2.0



1 FRONT ELEVATION
1/4" = 1'-0"



2 MAIN ENTRY ELEVATION
1/4" = 1'-0"

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EXTERIOR FINISH LEGEND

PAINT	EXP-3	SHERWIN WILLIAMS - SW2849 WESTCHESTER GRAY
BRICK	BR	4" BRICK VENEER - BRUSHED FINISH SEE WALL SECTIONS FOR CONSTRUCTION PAINTED EXP-3 - SHERWIN WILLIAMS - SW2849 WESTCHESTER GRAY
EIFS	E	EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE SPACE CONTROL JOINTS PER MANUFACTURER RECOMMENDATIONS FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE COLOR: STATOTONE HIGH PERFORMANCE COLORANT MATCH TO SHERWIN WILLIAMS OR EQUAL EXP-3 - SHERWIN WILLIAMS - SW2849 WESTCHESTER GRAY
COMPOSITE CLADDING	CC	FIBERON HORIZON COMPOSITE CLADDING COLOR: IPE PRODUCT DESCRIPTION: SOLID, SQUARE EDGE PROFILE DIMENSIONS: 5.4" x 0.935" / STANDARD LENGTHS: 12', 16', & 20' LOCATION: STOREFRONT AND ENTRY WALL WHERE APPLICABLE CONTACT: 800-573-8841 / info@fiberondecking.com
METAL FASCIA	MF	PRE-FAB ANCHOR-TITE FASCIA BY METAL ERA 24 GA PRE-FINISHED COVER 5 1/2" STANDARD SIZE AND MATTE BLACK COLOR
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BLACK KOLPAK FINISH	BL	26 GA EMBOSSED BLACK GALVANIZED FINISH
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ARCHITECT OF RECORD:

THOMAS E. MORGAN, JR.
ARCHITECT

423 FISCHER TRAIL
ELLIJAY, GEORGIA 30540

SEAL:



3450 Acworth Due West Road
Building 100, Suite 120
Kennesaw, Georgia 30144
P. 770-917-9172
F. 770-917-9470
www.mrpdesign.com

NOT
RELEASED FOR
CONSTRUCTION

ISSUES / REVISIONS:

DATE	DESCRIPTION
1-25-23	PRELIMINARY SET

DRAWN BY:

CHKD BY:

PROJECT DESCRIPTION:

GROUND UP RESTAURANT

PROJECT TITLE:

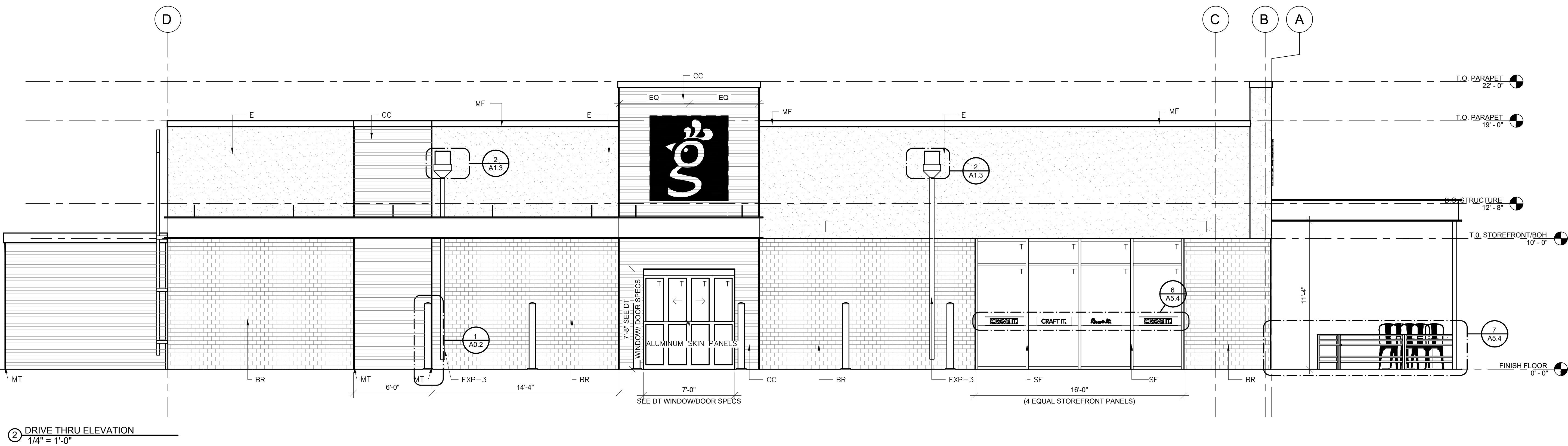
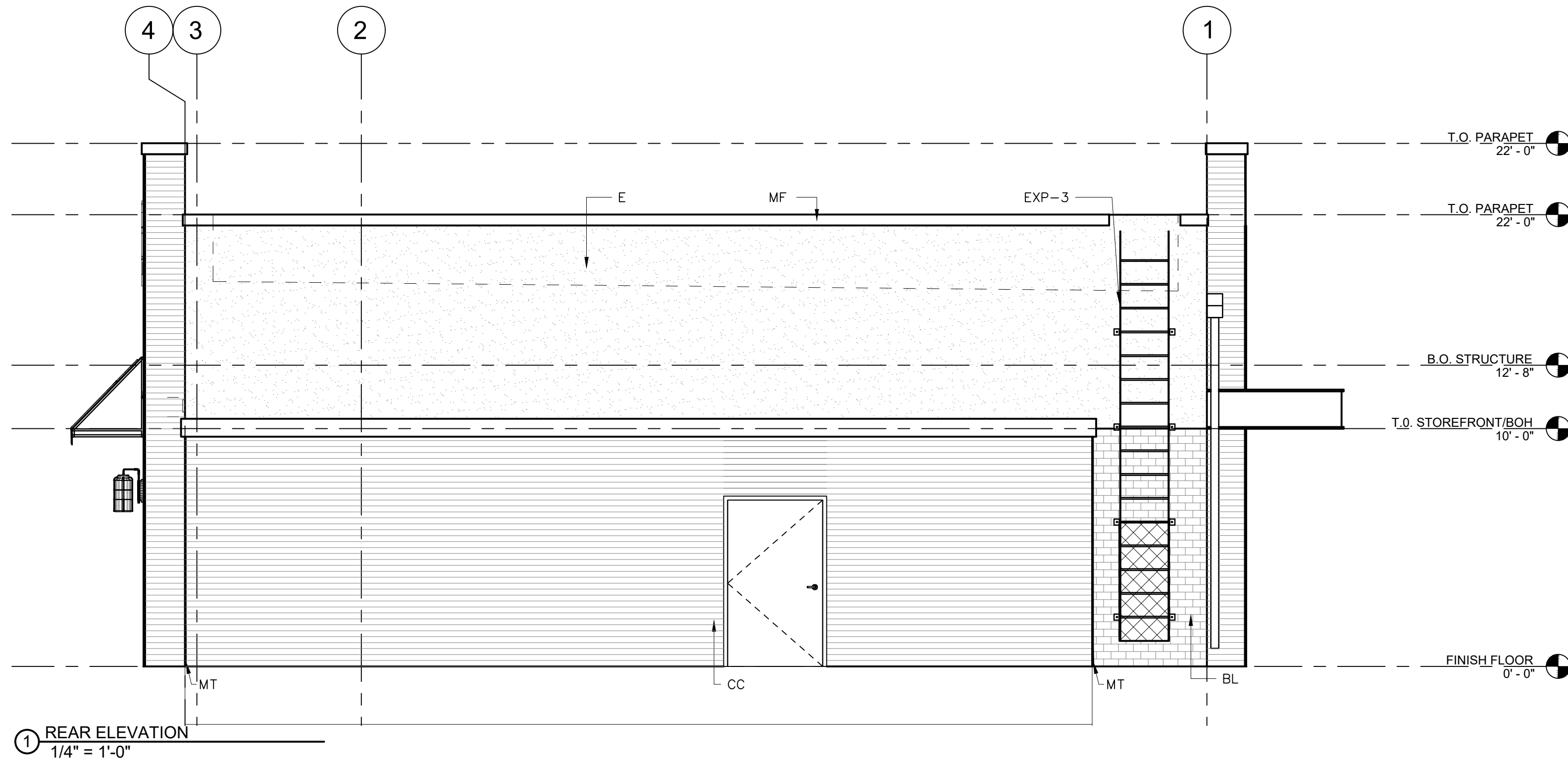
huey magoos
CHICKEN TENDERS
PAVILION PARKWAY
MONROE, GA 30656

SHEET TITLE:

EXTERIOR
ELEVATIONS

PROJECT NO. 22064

A2.1



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Family of Signs 2021

Everbrite Contact

Any questions about product or ordering can be directed to:

(800) 558-3888

heymagoos@everbrite.com



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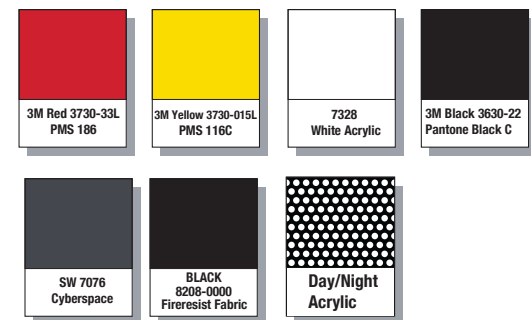
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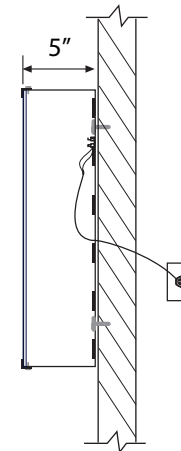
GRAPHIC COLORS & STANDARDS



SECTION I - BUILDING ID SIGNS INLINE FORMAT



A	B	C	D	E	F	G	Sq Ft
16"	6"	4.375"	8.5"	12"	3' - 6"	16' - 10"	58.91
18.25"	6.85"	5"	9.7"	13.7"	4' - 0"	19' - 2.68"	76.89
20.56"	7.71"	5.62"	10.9"	15.42"	4' - 6"	21' - 7.57"	97.33
22.84"	8.56"	6.24"	12.1"	17.13"	5' - 0"	24' - 0.45"	120.2



SIDE VIEW

GENERAL SPECIFICATIONS:

Faces:
 .125" White #7328 Acrylic Faces
 Decorated First Surface

Returns:
 5" deep .04" Alum prefinished black

Letterback: White ACM

Mounting:
 Flush Mount to wall. Rear access is required

Trimcap:
 3/4" Black

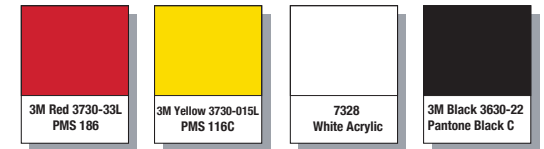
Wind Load:
 Standard Wind load - Wind Speed / 35 PSF

ELECTRICAL:

Illumination:
 5000K LED

Electrical:
 120 volt on Dedicated circuit

COLORS:



Everbrite, LLC.
 4949 S. 110th Street, Greenfield, WI 53228
 Phone: 414-529-3500 • Fax: 414-529-7191
 Website: www.everbrite.com

Part No:	Project No: 452845
Description: Channel Letters	Drawn By: DB
	Date: 7/19/2021

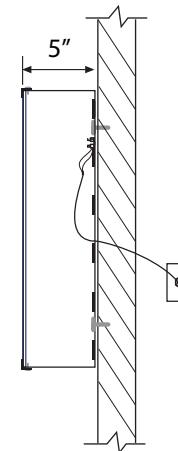
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SECTION I - BUILDING ID SIGNS STACKED FORMAT



A	B	C	D	E	F	G	Sq Ft
16"	6"	4.375"	8.5"	12"	3'-6"	9'-2"	32.08
18.25"	6.85"	5"	9.7"	13.7"	4'-0"	10'-3.3"	41.1
20.56"	7.71"	5.62"	10.9"	15.42"	4'-6"	11'-9.35"	53
22.84"	8.56"	6.24"	12.1"	17.13"	5'-0"	13'-1.08"	65.45



SIDE VIEW

GENERAL SPECIFICATIONS:

Faces:
 .125" White #7328 Acrylic Faces
 Decorated First Surface

Returns:
 5" deep .04" Alum prefinished black

Letterback: White ACM

Mounting:
 Flush Mount to wall. Rear access is required

Trimcap:
 3/4" Black

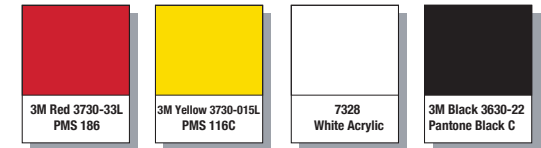
Wind Load:
 Standard Wind load - Wind Speed / 35 PSF

ELECTRICAL:

Illumination:
 5000K LED

Electrical:
 120 volt on Dedicated circuit

COLORS:



Everbrite, LLC.
 4949 S. 110th Street, Greenfield, WI 53228
 Phone: 414-529-3500 • Fax: 414-529-7191
 Website: www.everbrite.com

Part No:

Project No: 452845

Description: Channel Letters

Drawn By: DB

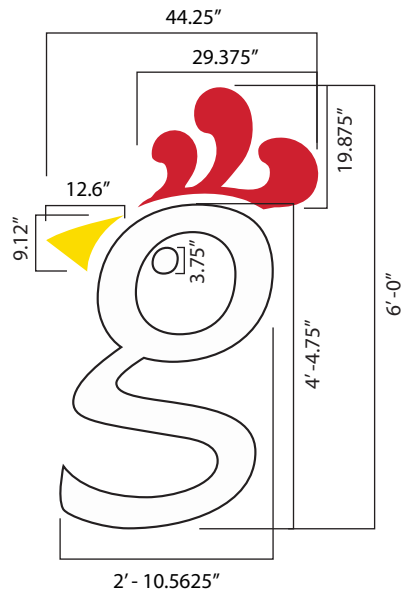
Date: 7/19/2021

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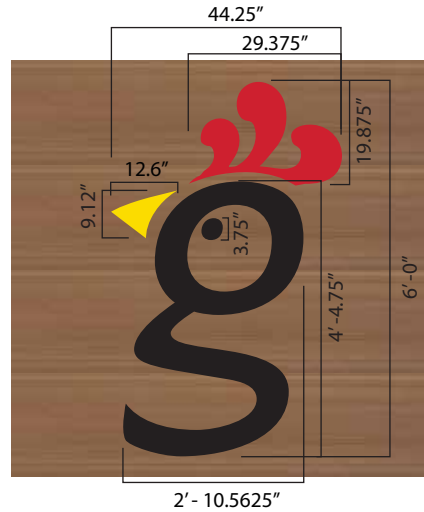
SECTION I - BUILDING ID SIGNS LOGO ICON

WHITE



DAY/NIGHT

DAY TIME VIEW
Fiberon Composite Cladding
IPE - Color



NIGHT TIME VIEW



GENERAL SPECIFICATIONS:

Faces:
.125" White #7328 Acrylic Faces, and/or Dual Color
Black (day) white (night) acrylic
Decorated First Surface

Returns:
5" deep .04" Alum prefinished black

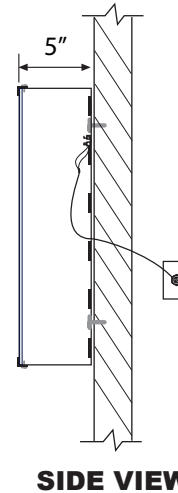
Letterback: White ACM

Mounting:
Flush Mount to wall. Rear access is required

Trimcap:
3/4" Black

Area Squared:
22.125 Sq. Ft.

Wind Load:
Standard Wind load - Wind Speed / 35 PSF

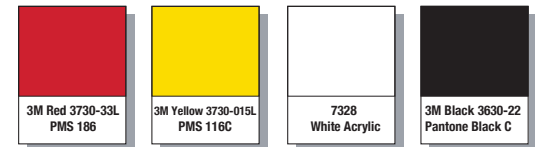


ELECTRICAL:

Illumination:
5000K LED

Electrical:
120 volt on Dedicated circuit

COLORS:



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:
Description: Icon Wall Sign

Project No: 452845

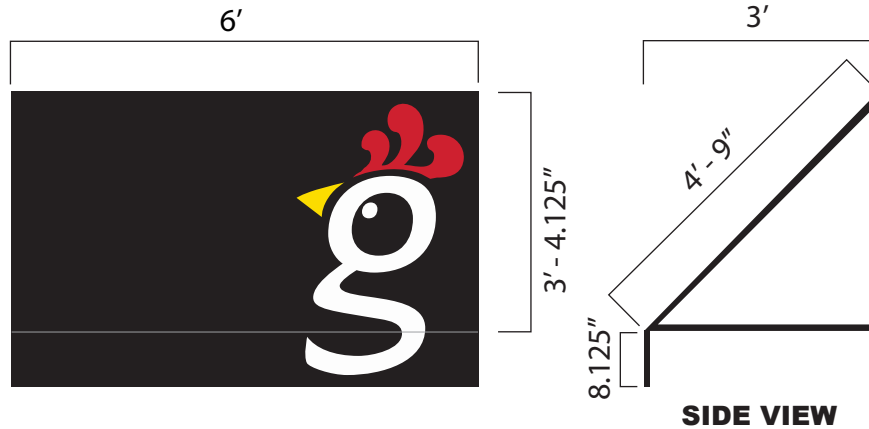
Drawn By: DB

Date: 7/19/2021

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SECTION II - AWNINGS & CANOPIES - 6' and 11' BUILDING AWNING



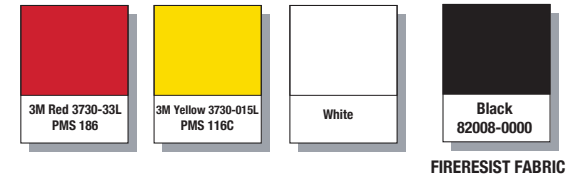
GENERAL SPECIFICATIONS:

Awning Frame:
1"x1" alum sq tube w/ satin black painted finish.

Awning Fabric: Cover face frame and valance with Fireresist Black #82008-0000. Sides of awning to remain open

Graphics: Heat transfer vinyl graphics to match 3M vinyl

Mounting Method: Attach awning frame to facade w/aluminum Z-Clips and 3/8" fasteners as required. Engineering review required per location

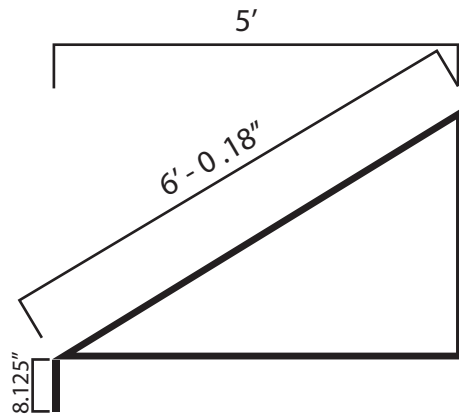


Part No:	Project No: 452845
Description: Awnings	Drawn By: DB
	Date: 7/19/2021

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SECTION II - AWNINGS & CANOPIES - 9' DRIVE THRU AWNING



SIDE VIEW

GENERAL SPECIFICATIONS:

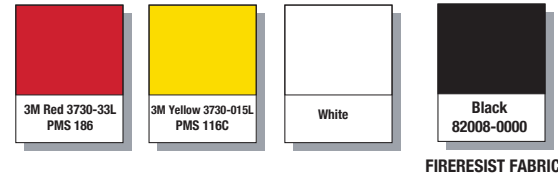
Awning Frame:
1"x1" alum sq tube w/ satin black painted finish.

Awning Fabric: Cover face frame and valance with Fireresist Black #82008-0000. Sides of awning to remain open

Graphics: Heat transfer vinyl graphics to match 3M vinyl

Mounting Method: Attach awning frame to facade w/aluminum Z-Clips and 3/8" fasteners as required. Engineering review required per location

COLORS:

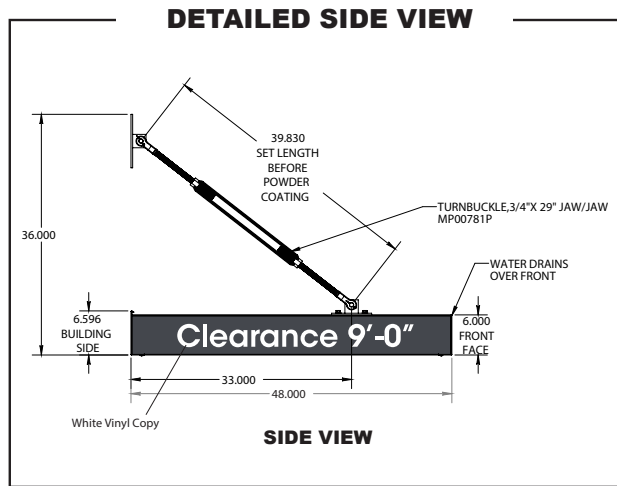



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:	Project No: 452845	These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite, LLC is prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.
Description: 9 ft Awning	Drawn By: DB	
	Date: 7/19/2021	



SECTION II - AWNINGS & CANOPIES - 9' DRIVE THRU CANOPY



GENERAL SPECIFICATIONS:

Materials:

Aluminum tube (6061-T6) construction with aluminum skin
Suspended with turnbuckles and plates

Size:

6"x9'x4' Overall Size

Exterior Finish:

Painted SW 7076 Cyberspace

Turnbuckles (2):

Depth from wall: 2'10-15/16"
Height from Canopy: 2'8-3/4"

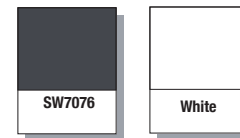
Illumination:

(2) LED Downlight fixtures, 5000K

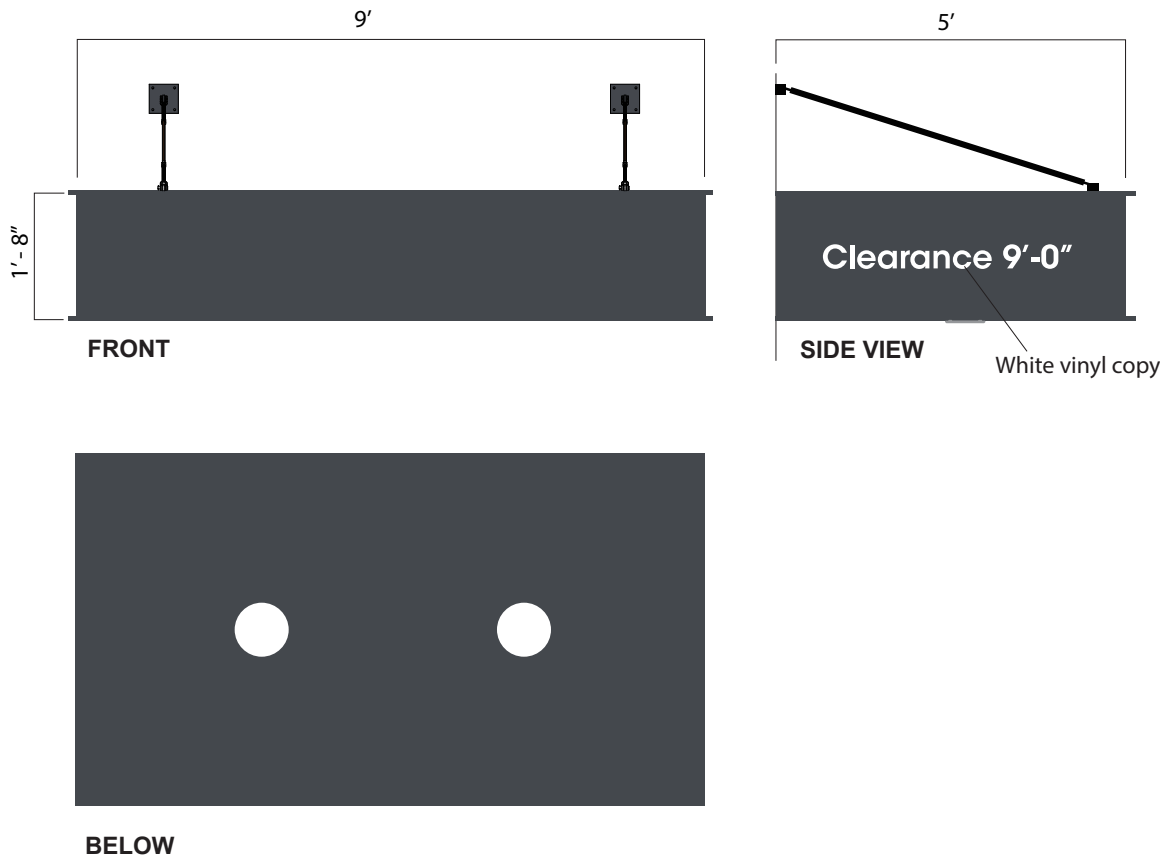
Wind Load:

Standard Wind load - Wind Speed / 35 PSF

COLOR:



SECTION II AWNINGS & CANOPY - 9" DRIVE THRU CANOPY



GENERAL SPECIFICATIONS:

Canopy:

Fabricated alum frame, skin and turnbuckles all painted SW7078 Cyberspace satin finish

Vinyl:

3M 3630-15 White

Illumination:

5" recessed can lights 5000K

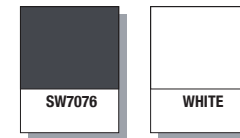
Mounting Method:

Attach canopy frame to facade.
Blocking by GC. Engineering review required per location.

Electrical: 120 volt, 60 Hz, 1 Phase by GC

Wind Load: Standard wind load - wind speed/ 35 PSF

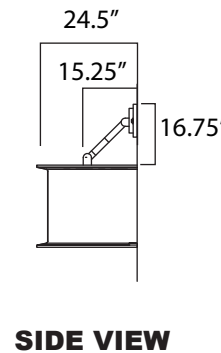
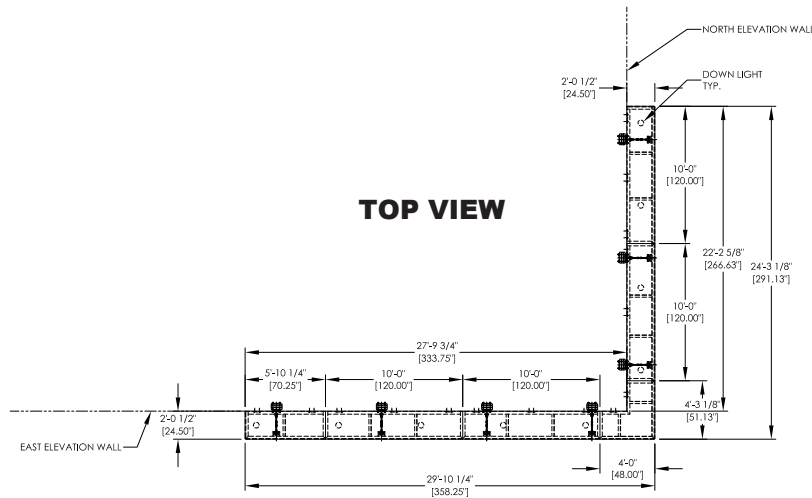
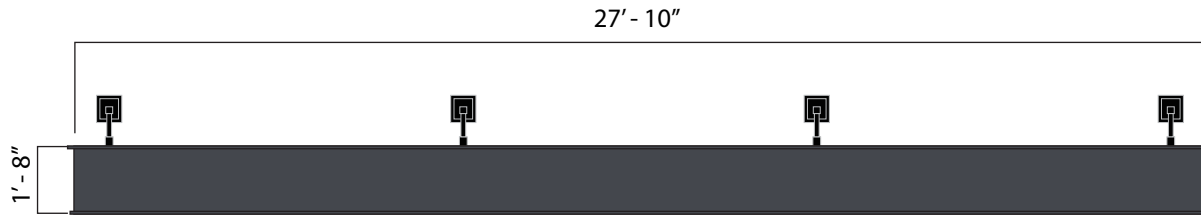
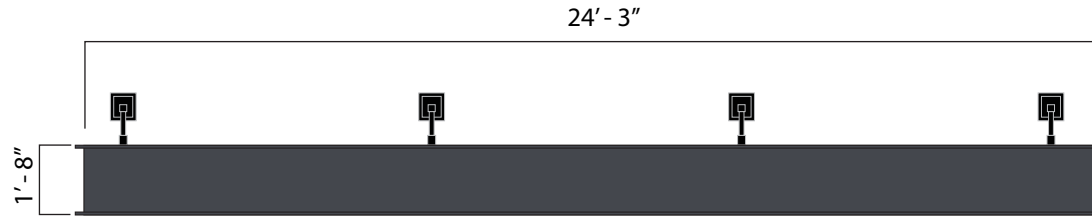
COLOR:



Part No:	Project No: 452845
Description: 9' DT Canopy	Drawn By: DB
	Date: 7/19/2021

These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite, LLC is prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.

BUILDING CANOPIES



GENERAL SPECIFICATIONS:

Canopy:

Fabricated alum frame, skin and turnbuckles all painted SW7078 Cyberspace satin finish

Vinyl:

3M 3630-15 White

Illumination:

5" recessed can light 5000K

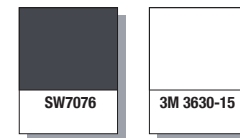
Mounting Method:

Attach canopy frame to facade. Blocking by GC. Engineering review required per location.

Electrical: 120 volt, 60 Hz, 1 Phase by GC

Wind Load: Standard wind load - wind speed/ 35 PSF

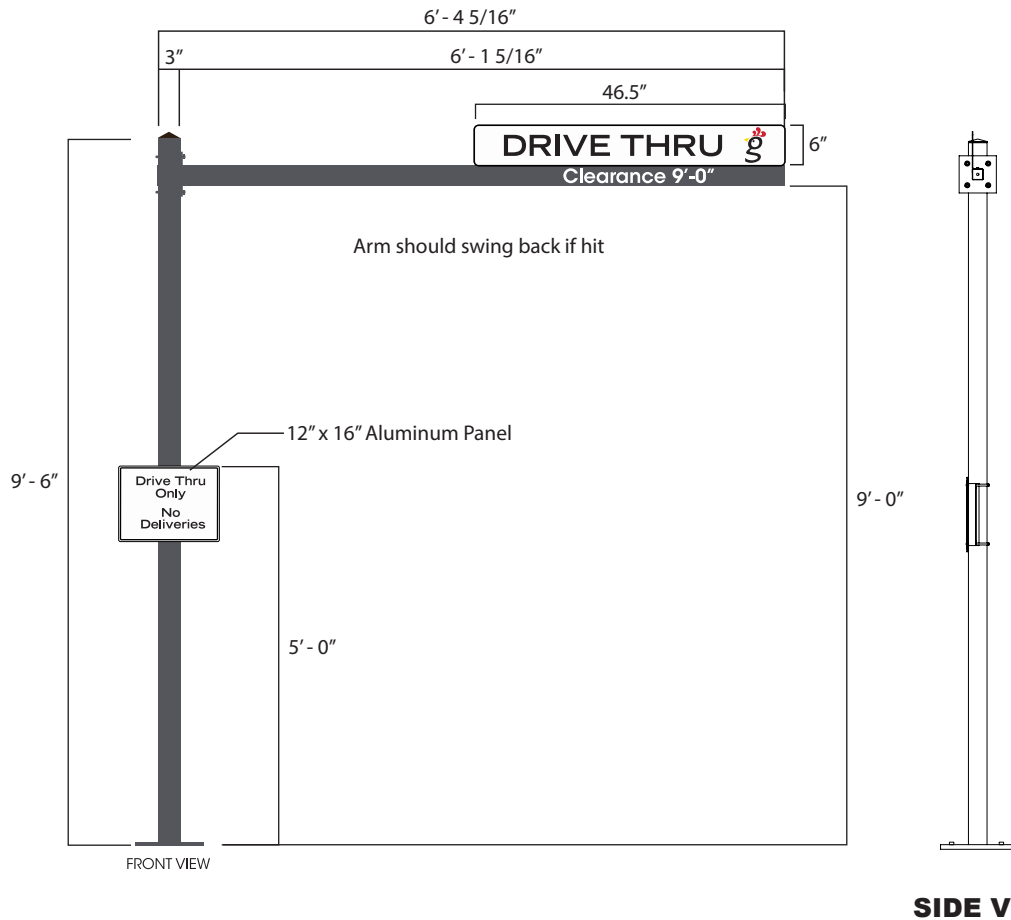
COLOR:



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:	Project No: 452845	These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite, LLC is prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.
Description: Building Canopies	Drawn By: DB	
	Date: 7/19/2021	

SECTION III DRIVE THRU COMPONENTS -LEFT SIDE VEHICLE HEIGHT DETECTOR



GENERAL SPECIFICATIONS:

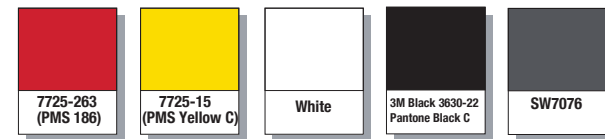
Materials:
 Alum Poles & Panel. Painted SW 7076 Cyberspace
Sign Panels & Copy: .125" alum painted white with first surface vinyl copy

Area Squared (Placard):
 2 Sq. Ft.

Wind Load:
 Standard Wind load - Wind Speed / 35 PSF

Foundation:
 Single Pole, Anchor Bolt Foundation
 (4) 1/2" D x 24" long anchor bolts
 w/6" thread @ top and 3" thread @ bottom,
 (4) nuts & (2) washers per bolt

COLORS:

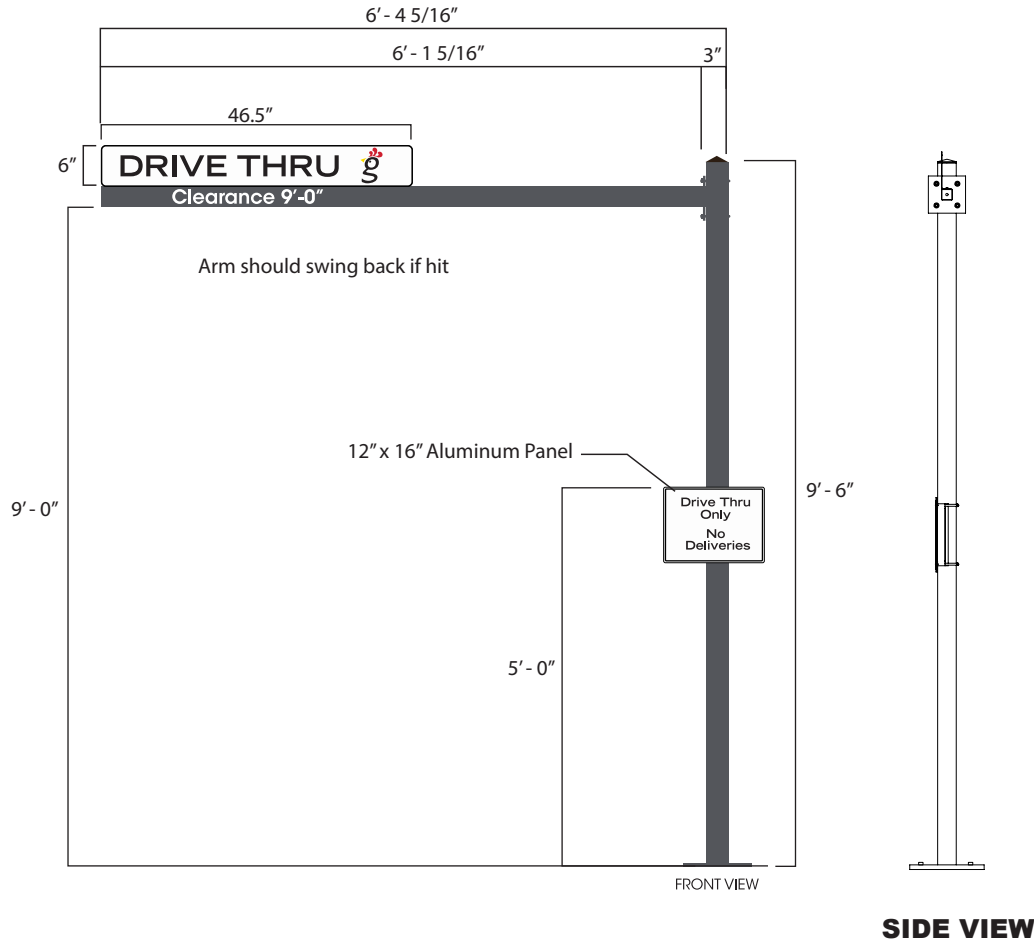


Part No:	Project No: 452845
Description: VHD- Arm Right	Drawn By: DB
	Date: 7/19/2021

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SECTION III DRIVE THRU COMPONENTS -RIGHT SIDE VEHICLE HEIGHT DETECTOR



GENERAL SPECIFICATIONS:

Materials:
Alum Poles & Panel. Painted SW 7076 Cyberspace

Sign Panels & Copy: .125" alum painted white with first surface vinyl copy

Area Squared (Placard):
2 Sq. Ft.

Wind Load:
Standard Wind load - Wind Speed / 35 PSF

Foundation:
Single Pole, Anchor Bolt Foundation
(4) 1/2" D x 24" long anchor bolts
w/6" thread @ top and 3" thread @ bottom,
(4) nuts & (2) washers per bolt

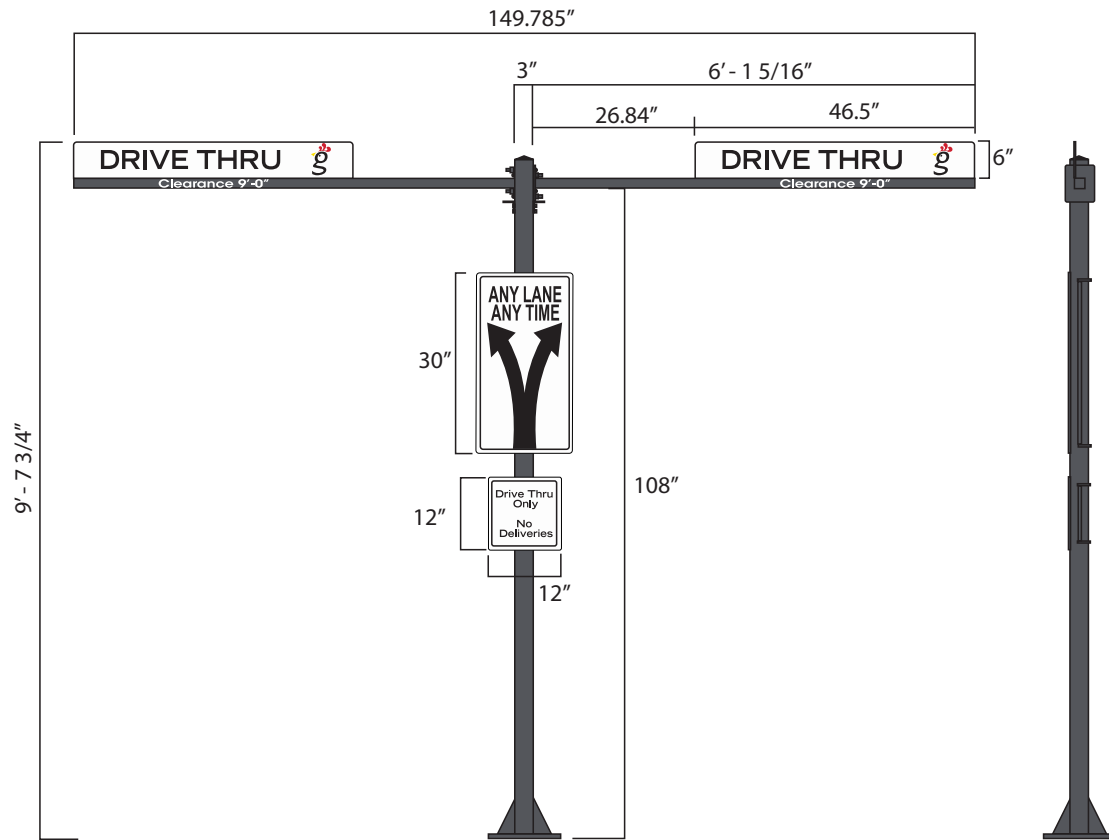
COLORS:



Part No:	Project No: 452845
Description: VHD- Arm Left	Drawn By: DB
	Date: 7/19/2021

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SECTION III DRIVE THRU COMPONENTS -DUAL ENTRANCE VEHICLE HEIGHT DETECTOR



SIDE VIEW

GENERAL SPECIFICATIONS:

Materials:
Alum Poles & Panel. Painted SW 7076 Cyberspace

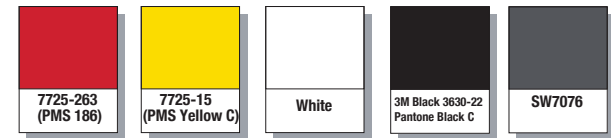
Sign Panels & Copy: .125" alum painted white with first surface vinyl copy

Area Squared (Placard):
2 Sq. Ft.

Wind Load:
Standard Wind load - Wind Speed / 35 PSF

Foundation:
Single Pole, Anchor Bolt Foundation
(4) 1/2" D x 24" long anchor bolts
w/6" thread @ top and 3" thread @ bottom,
(4) nuts & (2) washers per bolt

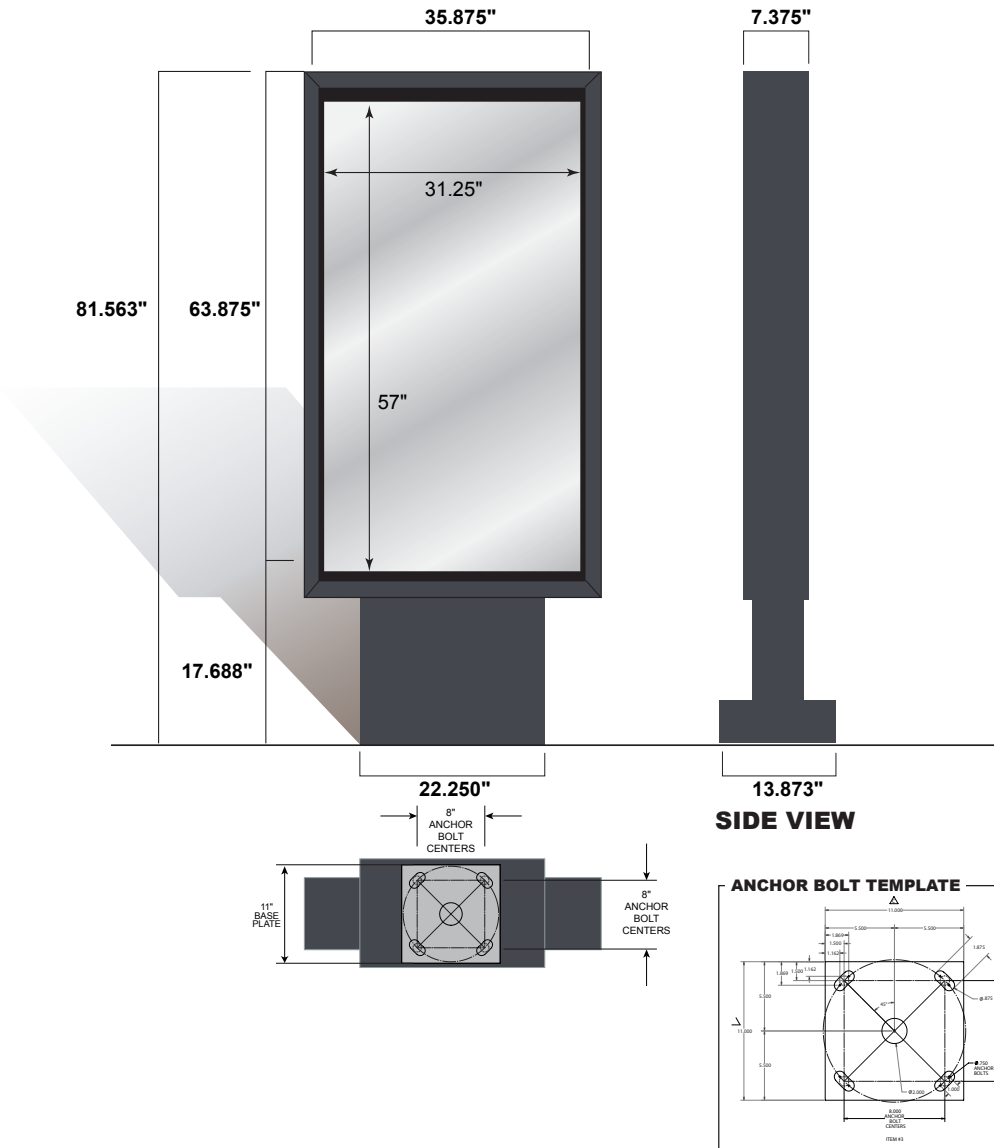
COLORS:



Part No:	Project No: 452845
Description: VHD- Dual Lane	Drawn By: DB
	Date: 7/19/2021

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SECTION III DRIVE-THRU COMPONENTS - PREVIEW BOARD



GENERAL SPECIFICATIONS:

Materials:

Aluminum formed polycarbonate graphic backer and shroud cover

Cabinet Size:

2'11-7/8"x5'3-4/5"

Exterior Finish:

Powder coated SW7076 Cyberspace

Mounting:

5" sq. tube pole welded to 8.5"X18" base plate
**Optional: (4) 3/4"-10x30" anchor bolts*

Wind Load:

Standard Wind load - Wind Speed / 35 PSF

ELECTRICAL:

Illumination:

5000K LED package with reflectors

LED Power Supply:

12 Volt LEDs w/110-277 volt power supplies
 Total connected load 2.2 amps @ 120V.
 Disconnect switch included.

GRAPHIC PANEL SPECIFICATIONS:

One (1) 58.000"x32.5" Translite Graphic Panels
 (1) Each Side (By others)

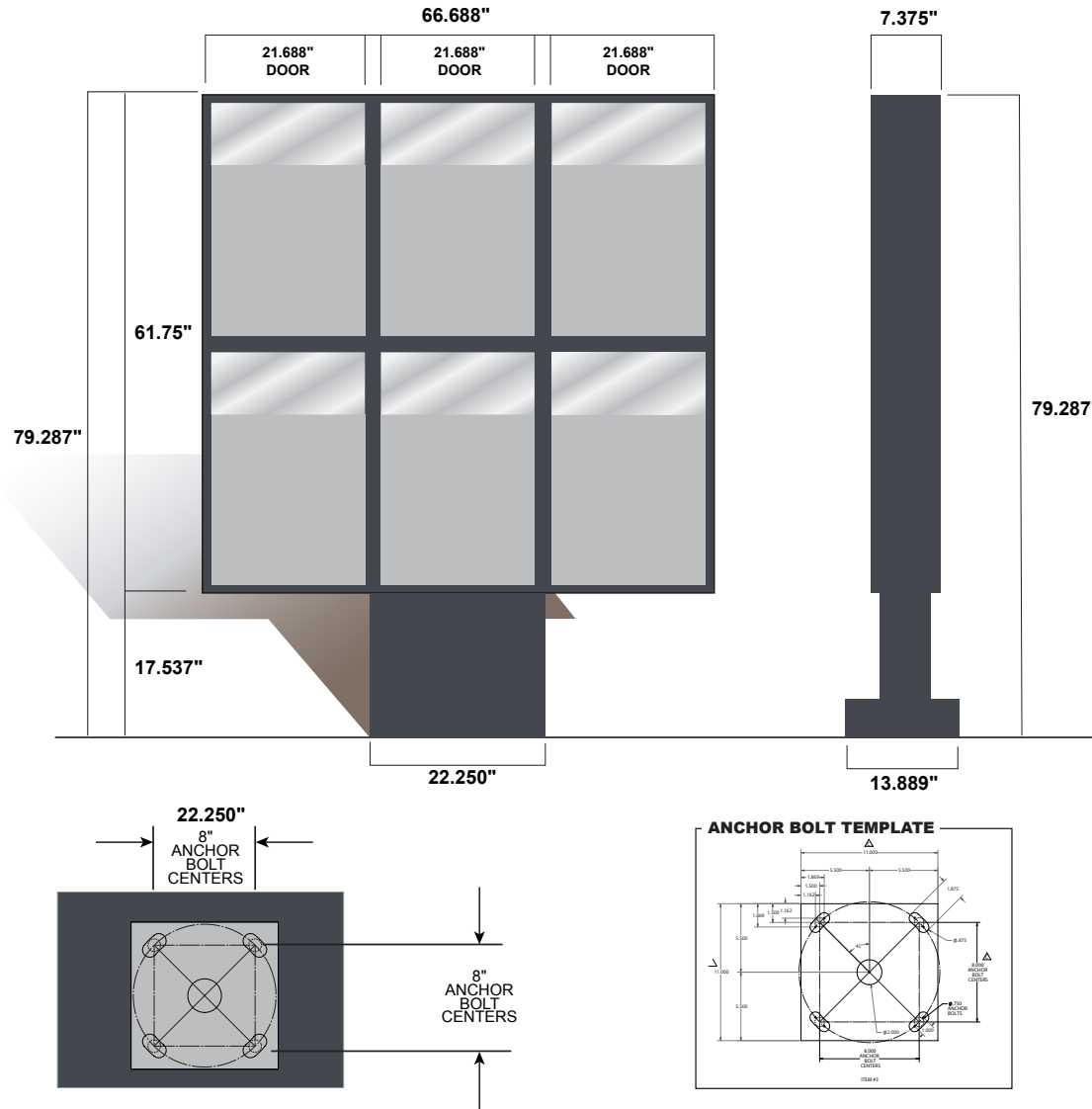
COLORS:



Part No:	Project No: 452845
Description: Preview Board	Drawn By: DB
	Date: 7/19/2021

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SECTION III DRIVE-THRU COMPONENTS - 6 PANEL MENUBOARD



GENERAL SPECIFICATIONS:

Materials:

Aluminum formed polycarbonate graphic backer and shroud cover

Cabinet Size:

6'7-1/2"x5'6-7/8"

Exterior Finish:

Powder coated SW7076 Cyberspace

Mounting:

5" sq. tube pole welded to 12"X26.5" base plate
**Optional: (4) 3/4"-10x30" anchor bolts*

Wind Load:

Standard Wind load - Wind Speed / 35 PSF

ELECTRICAL:

Illumination:

5000K LED package with reflectors

LED Power Supply:

12 Volt LEDs w/110-277 volt power supplies
 Total connected load 2.2 amps @ 120V.
 Disconnect switch included.

GRAPHIC PANEL SPECIFICATIONS:

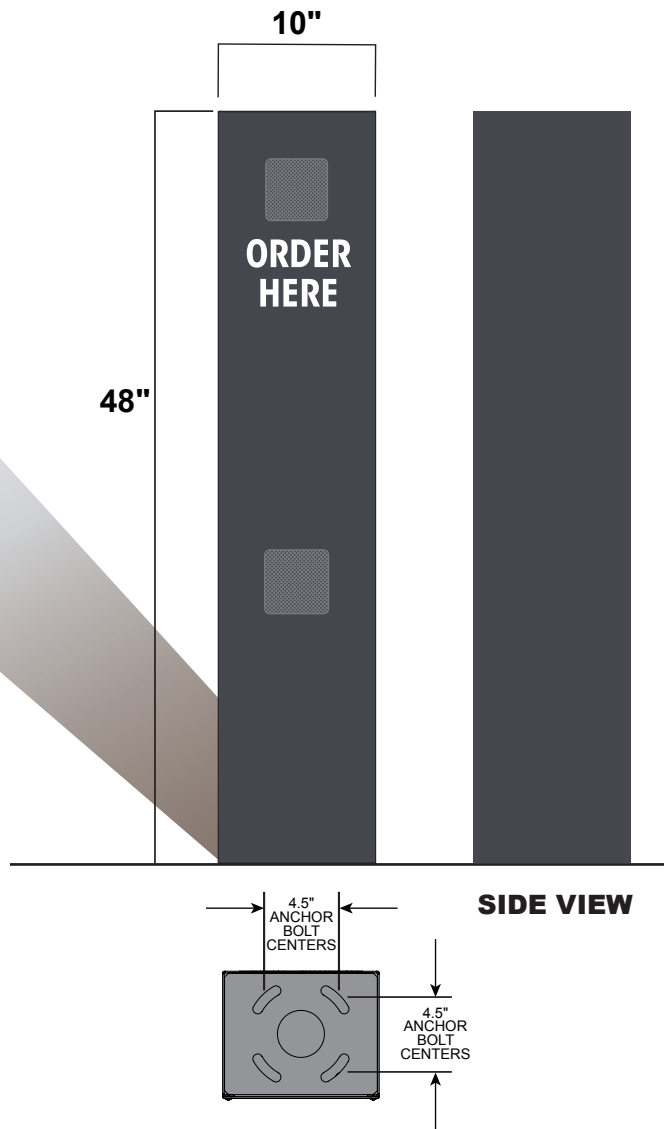
(6) 27.5"x18" Translite Graphic Panels

COLORS:

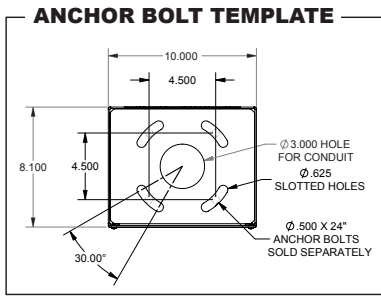


Part No:	Project No: 452845	These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite, LLC is prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.
Description: 6 Panel Menu Board	Drawn By: DB	
	Date: 7/16/2021	

SECTION III DRIVE-THRU COMPONENTS - SPEAKER TOWER



Speaker and Mic are not included. These components are supplied by Point of Sale provider.



GENERAL SPECIFICATIONS:

Materials:

3033-T3 Aluminum enclosure with welded construction.

Cabinet Size:

48"x8.125"x10"

Exterior Finish:

Powder coated SW7076

Mounting:

**Optional: (4) 1/2"x24" anchor bolts*

Wind Load:

Standard Wind load - Wind Speed / 35 PSF

ELECTRICAL:

Power Supply:

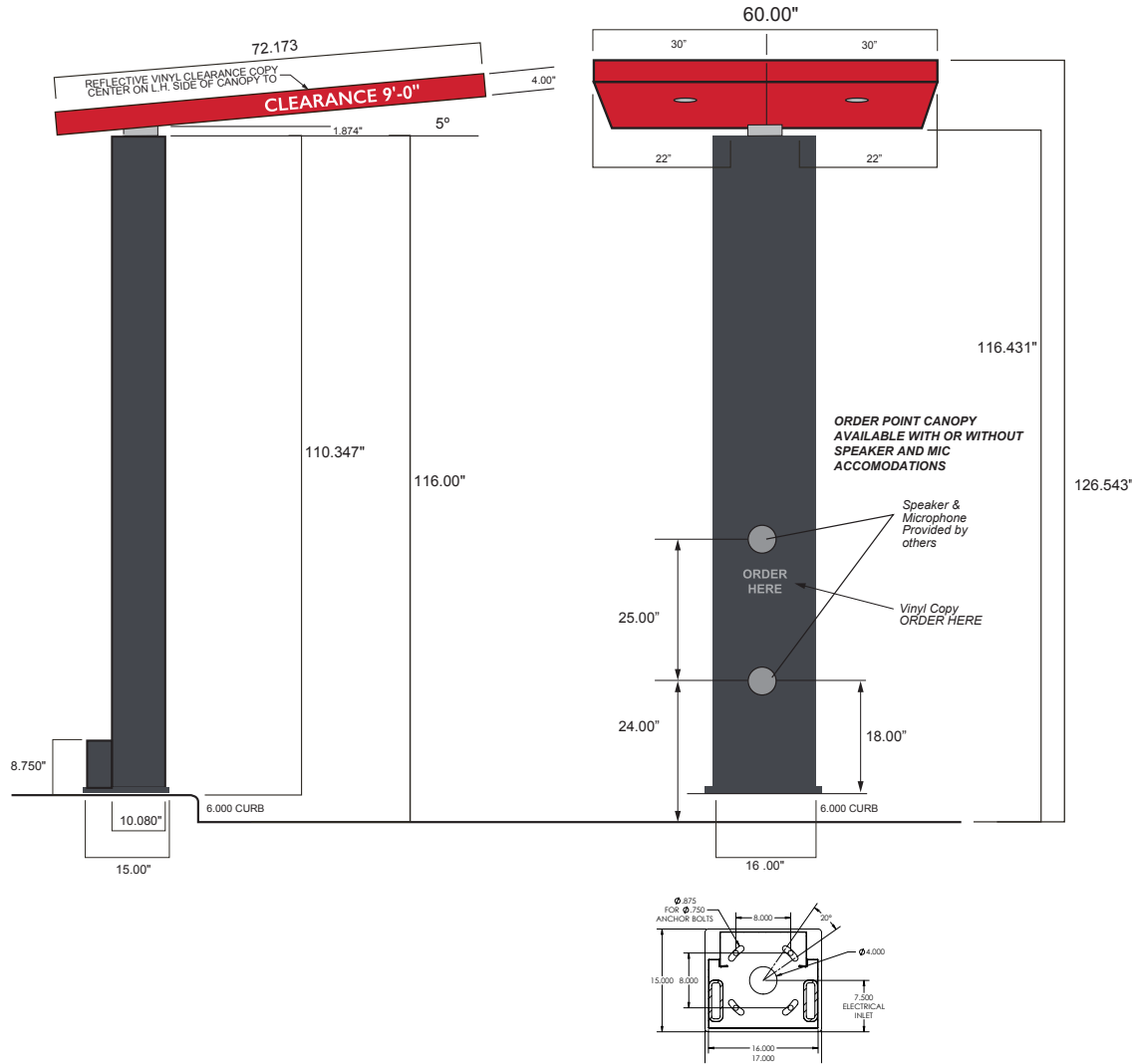
Speaker/mic system to be supplied and installed by others. Access panels on back of tower.

COLORS:



Part No:	Project No: 452845	These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite, LLC is prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.
Description: Speaker Tower	Drawn By: DB	
	Date: 7/16/2021	

SECTION III DRIVE THRU COMPONENTS - ORDER POINT CANOPY



GENERAL SPECIFICATIONS:

Materials:

Aluminum Cabinet & Pole Shroud

Size:

10' 4 3/4" x 5' 11 7/8" Overall Size

Exterior Finish:

Pole cover painted SW7076 Cyberspace
Upper Canopy painted PMS 186

Mounting:

Single Pole, Anchor Bolt Foundation

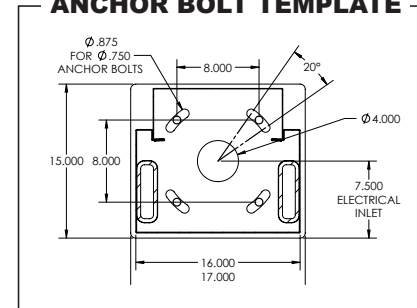
Wind Load:

Standard Wind load - Wind Speed / 35 PSF

COLORS:



ANCHOR BOLT TEMPLATE



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:
Description: Order Point Canopy

Project No: 452845

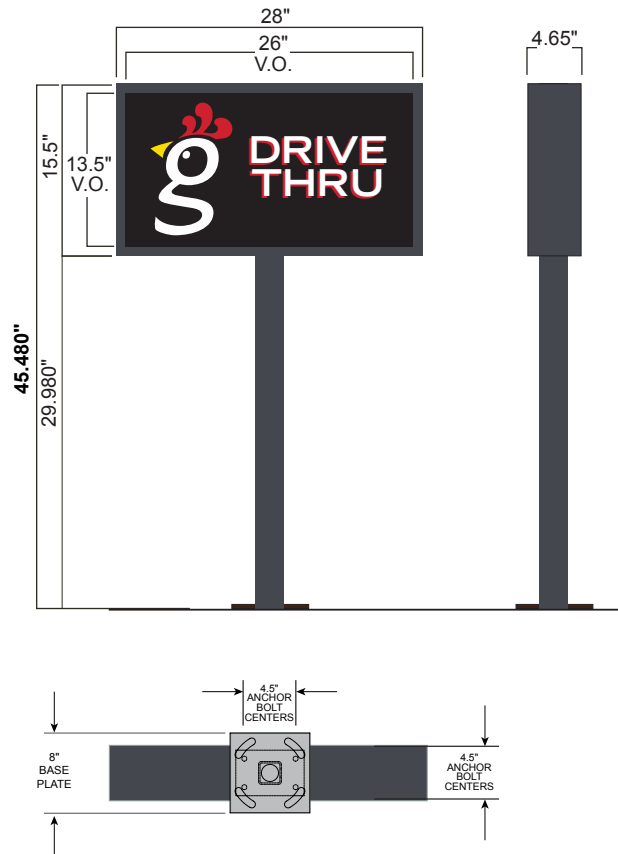
Drawn By: DB

Date: 7/19/2021

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SECTION IV DIRECTIONAL & WAYFINDING - 3 SQ FT DIRECTIONAL SIGNS

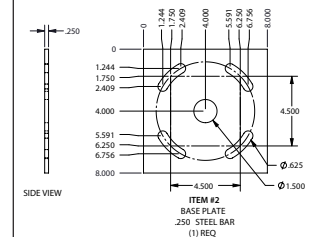


SIDE 1

SIDE 2



ANCHOR BOLT TEMPLATE



GENERAL SPECIFICATIONS:

Materials:

Aluminum Extrusion
Polycarbonate Faces & Vinyl Graphics.

Cabinet Size:

15.5"x28"x4"
1" Retainers

Exterior Finish:

Painted SW7076 Cyberspace

Mounting:

One 2" round steel pole support welded to 8"x8" steel base plate
**Optional: (4) 1/2"-10x30" anchor bolts*

Wind Load:

Standard Wind load - Wind Speed / 35 PSF

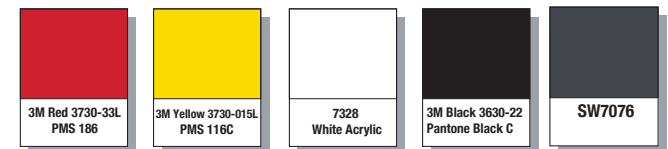
NOTE: Customer to provide vector artwork for logo

ELECTRICAL:

Power Supply:

120V Power 1/2 AMPS
LED Illuminated, 5000K

COLORS:



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:	Project No: 452845
Description: Directionals	Drawn By: DB
	Date: 7/19/2021

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SECTION V ROAD SIGNS - SIGN PANEL REPLACEMENTS



INLINE - DARK BACKGROUND



INLINE - LIGHT BACKGROUND



STACKED - DARK BACKGROUND



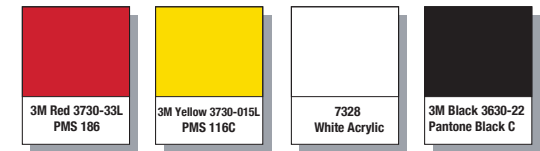
STACKED - LIGHT BACKGROUND

GENERAL SPECIFICATIONS:

Materials: TBD per location

Size: TBD per location

COLORS:



INLINE (Limited Space) - DARK BACKGROUND



INLINE (Limited Space) - LIGHT BACKGROUND



LOGO ICON - DARK BACKGROUND



LOGO ICON - WHITE BACKGROUND

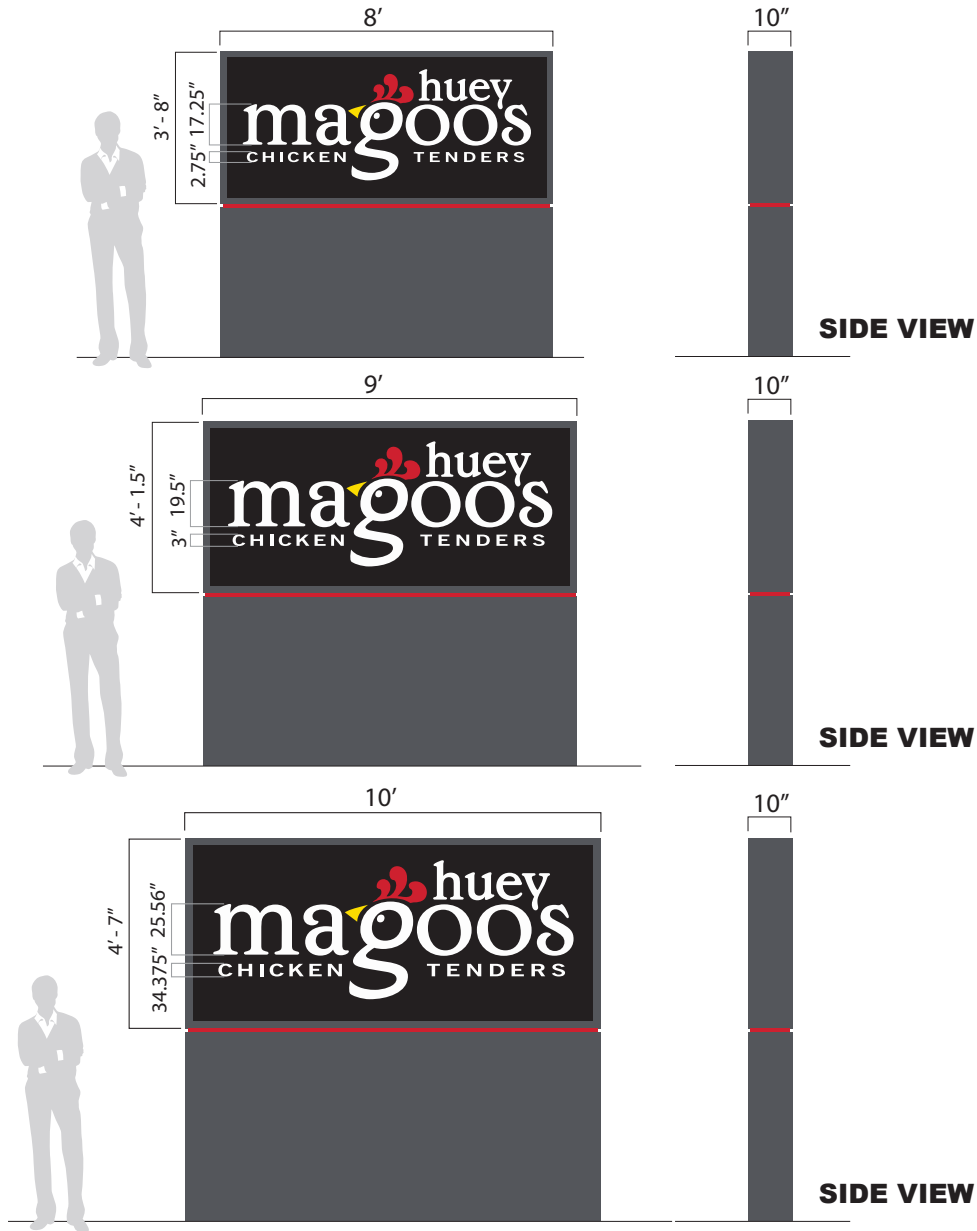


Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:	Project No: 452845	These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite, LLC is prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.
Description: Tenant Panels	Drawn By: DB	
	Date: 7/19/2021	



SECTION IV ROAD SIGNS- MONUMENT SIGNS



GENERAL SPECIFICATIONS:

Materials:

Face: White polycarbonate #7328 with first surface vinyl

Retainer: 1" Painted to match cabinet Vinyl:

Returns:

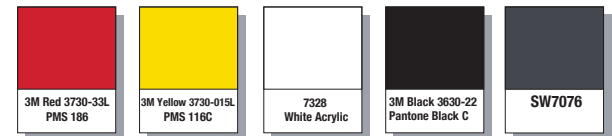
10" deep .08" alum painted SW7076 Cyberspace

Pole Cladding:

.125' alum skin painted SW 7076 Cyberspace

Illumination: 5000K LED

COLORS:



Everbrite, LLC.
4949 S. 110th Street, Greenfield, WI 53228
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No:	Project No: 452845
Description: Tenant Panels	Drawn By: DB
	Date: 7/19/2021

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SECTION IV ROAD SIGNS - PYLON SIGNS

GENERAL SPECIFICATIONS:

Materials:

Face: Flex fabric with first surface vinyl

Retainer: Full bleed construction

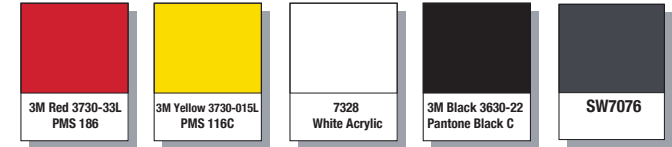
Returns: 10" deep .08" alum painted SW7076 Cyberspace

Drive Thru:

Polycarbonate #7328 white face with first surface digital graphic on 3M vinyl. Add UV overlay

Illumination: 5000K LED

COLORS:



SIDE VIEW

Size and overall height TBD to each location



NIGHT VIEW



Part No:	Project No: 452845
Description: Pylon Signs	Drawn By: DB
	Date: 7/19/2021

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**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 2165

DATE: March 14, 2023

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: MSG Petroleum Inc.

PROPERTY OWNER: MSG Petroleum Inc.

LOCATION: North side of E Spring Street – 615 E Spring Street

ACREAGE: ±0.71

EXISTING ZONING: B-3 (Highway Commercial District)

EXISTING LAND USE: Convenience store with fuel pumps

ACTION REQUESTED: The applicant is requesting approval of a Certificate of Appropriateness application for consideration of proposed monument sign on the site.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness request with conditions.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: March 21, 2023

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow placement of one monument sign on a site with a convenience store with fuel pumps. The convenience store has undergone renovations in order to re-open the operation.

PROPOSED PROJECT SUMMARY:

- Monument signage for a convenience store with fuel pumps
 - Total Signs Proposed – 4
 - 1 Ground Sign – E Spring Street
 - Aluminum monument sign – 8’ 4½” X 5’5½” ; 43 Sf
 - LED Pricing illumination

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE CITY OF MONROE ZONING ORDINANCE.

643A.1 – Site Planning:

This standard is not affected by this request.

643A.2 – Architecture:

This standard is not affected by this request.

643A.3 – Pavement:

This standard is not affected by this request.

643A.4 – Landscaping:

This standard is not affected by this request.

643A.5 – Signs:

The applicant is requesting approval to construct one (1) monument sign on the site of a convenience store with fuel pumps. The site is currently under renovation to re-open the convenience store and fuel pumps. The proposed monument sign will be an aluminum modular sign with LED price lighting. The applicant did not indicate whether or not there would be any internal illumination of the sign. As long as the only internal illumination will be LED lighting for gas pricing, the proposed sign appears to comply with the CDO requirements outlined in Section 634A.5 of the Zoning Ordinance.

643A.6 – Illumination:

This standard is not affected by this request.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to construct a monument sign, subject to the following conditions:

1. The monument sign shall not have any internal illumination, with the exception of LED lighting for the gas pricing. Any sign illumination shall be external, indirect downward facing illumination.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PLANNING & ZONING COA PERMIT

PERMIT #:	2165	DESCRIPTION:	COA-PLANNING & ZONING
JOB ADDRESS:	615 E SPRING ST	LOT #:	72
PARCEL ID:	M0150091A00	BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	MSG PATROLEUM INC	CONTRACTOR:	MSG PATROLEUM INC
ADDRESS:	1000 Peachtree Industrial Blvd	PHONE:	
CITY, STATE ZIP:	Suwanee GA 30024	OWNER:	
PHONE:		PHONE:	
PROP. USE:	COMMERCIAL	DATE ISSUED:	2/28/2023
VALUATION:	\$ 20,000.00	EXPIRATION:	8/27/2023
SQ. FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 wilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
	FEE TOTAL	\$ 100.00
	PAYMENTS	\$- 100.00
	BALANCE	\$ 0.00

NOTES:

The Planning Commission will hear this request for a Certificate of Appropriateness for signage at 615 E. Spring St. on March 21, 2023 at 5:30pm. The meeting will be held in the Council Chambers at City Hall; 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Ann E. Hamer
(APPROVED BY)

3/17/23
DATE



Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 615 E Spring St, Monroe, LA 70655 Parcel # _____

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction, Renovation of Existing Structure, Demolition, Signage

Property Owner: MSG Petroleum Inc

Address: 1000 Peachtree Industrial Blvd, Suite # 6187, Lawrence, GA 30024

Telephone Number: 214-762-8830 Email Address: ANORANI26@gmail.com

Applicant: <u>MSG Petroleum Inc</u>
Address: <u>1000 Peachtree Industrial Blvd, #6187, Lawrence, GA 30024</u>
Telephone Number: <u>214-762-8830</u> Email Address: <u>ANORANI26@gmail.com</u>

Estimated cost of project: \$20,000.00

Please submit the following items with your application:

- _____ Photographs of existing condition of the property to show all areas affected
- _____ Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- _____ Written description of the project
- _____ Owner authorization statement, if applicant is not the property owner
- _____ Application Fee \$100

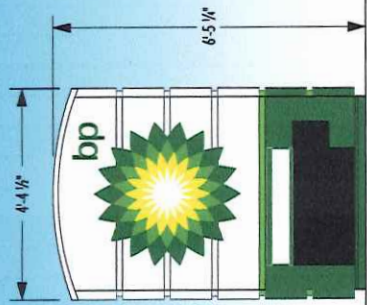
Please submit all application materials in hardcopy to the Code Department and digitally at lwilson@monroega.gov; Please submit two physical copies.

M. Parro _____ Date 12-15-22

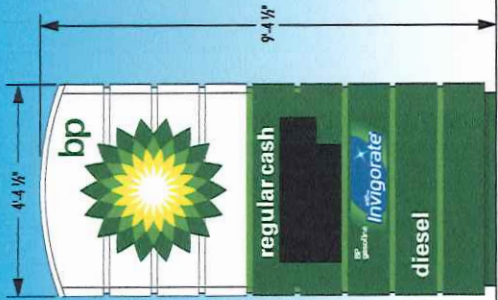
Signature of Applicant

RECEIVED
#21065

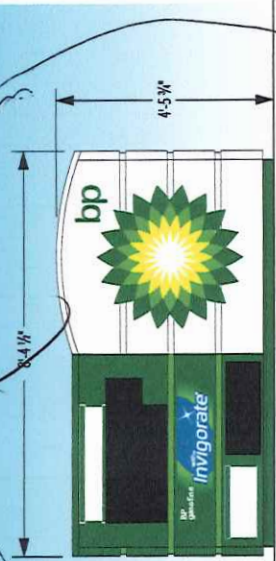
Standard Modular Monuments Signs



2X 27 Sq. Ft. MONUMENT
Part # BPG26MON2P

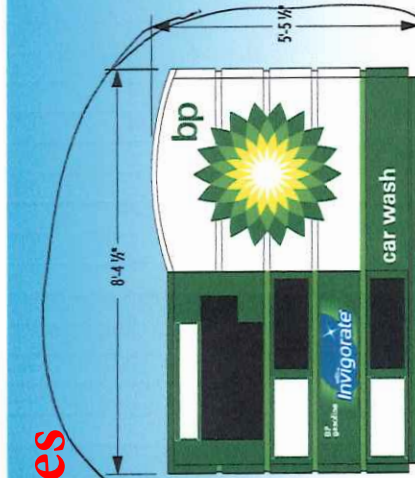


5X 40 Sq. Ft. MONUMENT
Part # BPG42MON5P



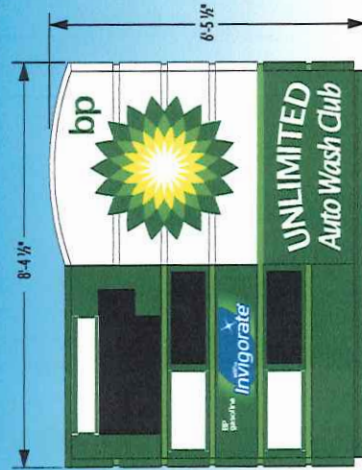
4X 35 Sq. Ft. MONUMENT
Part # BPG35MON4P

No

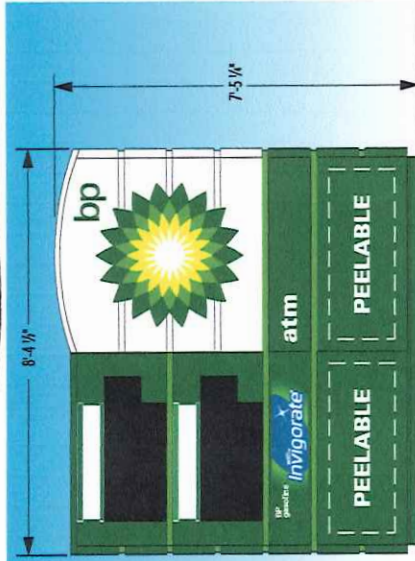


6X 43 Sq. Ft. MONUMENT
Part # BPG44MON6P

Yes



2X 51 Sq. Ft. MONUMENT
Part # BPG47MON8P



10X 59 Sq. Ft. MONUMENT
Part # BPG61MON10P

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for signage at 615 E. Spring St. (Parcel #M0150091A00).

The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on March 21, 2023 at 5:30 P.M. All those having an interest should be present to voice their interest at said public meeting.

**PLEASE RUN ON THE
FOLLOWING DATE:**

March 5, 2023

CITY OF MONROE
**APPLICATION FOR A
CERTIFICATE OF
APPROPRIATENESS**
★ PUBLIC HEARING INFO ★
PLANNING COMMISSION
DATE: 3-21-23 TIME: 5:30 PM
MEETINGS ARE HELD IN THE
COUNCIL CHAMBERS AT CITY HALL
100 NORTH BROAD STREET
FOR ADDITIONAL INFORMATION PLEASE CALL
770-207-4674

