



Planning & Zoning Meeting

AGENDA

Tuesday, November 16, 2021

5:30 PM

215 N Broad Street Monroe Ga 30655

I. **CALL TO ORDER**

II. **ROLL CALL**

IV. **REPORT FROM CODE ENFORCEMENT OFFICER**

III. **MINUTES OF PREVIOUS MEETING**

- [1.](#) Minutes from Previous Planning Commission Meeting 10/19/2021

V. **PUBLIC HEARINGS**

- [1.](#) Request for Conditional Use Permit - Expansion of Existing Private School - 611 Davis St
- [2.](#) Request for Rezone & Annexation - 0 Oakland Ridge Rd - R-1 County to R-1 City
- [3.](#) Request for COA-Renovation of an existing convenience store-615 E Spring St

VI. **RECOMMENDATIONS ON REQUESTS**

VII. **OLD BUSINESS**

VIII. **NEW BUSINESS**

- [1.](#) Preliminary Plat Review - 0 Charlotte Rowell Blvd - The Monroe Pavilion
- [2.](#) Preliminary Plat Review - 318 Alcovy St - Veterans Walk
- [3.](#) Proposed 2022 Meeting Schedule

IX. **ADJOURNMENT**

**MONROE PLANNING COMMISSION
MEETING MINUTES—October 19, 2021**

Present: Mike Eckles, Randy Camp, Chase Sisk, Rosalind Parks, Nate Treadaway

Absent: None

Staff: Pat Kelley – Director of Code
Laura Wilson – Code Department Assistant
Brad Callender – City Planner
Logan Propes—City Administrator
Paul Rosenthal—City Attorney
Sadie Krawczyk—Economic Development Director

Visitors: Joann Campbell, Jim Campbell, Janice Hanks, H. Patel, Kalen Vanderhorst, Susan Tyre, Mark Tyre, Ian Harmon, Craig Harmon, Blake Barton, Jeff Russell, Don Harkleroad, Elizabeth Kim, Duane Sells, Jackson Sells, Lee Rowell, Joel Heffington, James & Stephanie McDaniel, Todd Mitchell, Frank Mabelo, Cheryle Larson, Vic Lazich, Bob Begle, Clint Dixon

Call to Order by Chairman Eckles at 5:30 pm.

Chairman Eckles asked for any changes, corrections or additions to the September 21, 2021 minutes.

Motion to approve minutes.

Motion Camp. Second Parks
Motion carried

Public Hearing Opened at 5:31pm

The First Item of Business: is Rezone Case #188, a request for a rezone of 140 Blaine St from B-3 (Highway Commercial District) to PCD (Planned Commercial District). The project encompasses ± 8.84 acres. The applicant is the City of Monroe and Staff recommends approval as submitted. Sadie Krawczyk, Economic Development Director for the City of Monroe, spoke on behalf of the project. Additionally, Bob Begle of Lord Aeck Sargent presented an overview of the Blaine Station Master Plan to the Planning Commission. One of the goals of the project was to create a mixed-use, walkable, destination location that is small in scale but not a copy of downtown. The concept also includes decentralized stormwater management—rain gardens, bioretention areas, swales—areas where water can be collected and filtered along the way.

Chairman Eckles asked for any questions—none

Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:42 pm

Chairman Eckles entertained a motion.
Motion to approve

Motion Parks. Second Treadaway.
Motion Carried

The Public Hearing opened at 5:43pm

The Second Item of Business: is Zoning Code Text Amendment Case #204, for Zoning Code Text Amendment #12 to include modifying Section 630.3 Table 6—Industrial Zoning District Land Use Regulations to add as a conditional use under the principle use of Utility and area service provider facilities, private sewage facilities and modifying Section 650.4 Special Site Requirements for Planned Development Districts. The minimum area requirement for Planned Development Districts throughout the City and inside the Livable Cities Initiative (LCI) District shall be removed and the minimum frontage requirement for Planned Development Districts located in the LCI District shall be reduced. The applicant is the City of Monroe and Staff recommends approval as submitted.

Chairman Eckles asked for any questions:

Treadaway: What prompted the change in the Zoning Code?

Kelley: The City was approached to allow that use in the zoning classification and agreed it was an acceptable use for the zoning classification.

Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:45 pm

Chairman Eckles entertained a motion.
Motion to approve

Motion Treadaway. Second Parks.
Motion Carried

Public Hearing opened at 5:45pm

The Third Item of Business: is Certificate of Appropriateness Case #233, a COA request for a replacement monument sign at the southeast corner of US Hwy 78 and Unisia Drive for Hitachi Automotive Systems Americas. The applicant is Jeannie Smith from Atlantic Sign & Graphics on behalf of the owner, Hitachi Automotive Systems Americas. Staff recommends approval as submitted without conditions.

Chairman Eckles asked for any questions—none

Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:46 pm

Chairman Eckles entertained a motion.
Motion to approve

Motion Sisk. Second Parks.
Motion Carried

Public Hearing opened at 5:47pm

The Fourth Item of Business: is Certificate of Appropriateness Case #252, a COA request to allow construction of a commercial building containing a convenience store with fuel pumps and retail spaces at 1530 S Broad St. Staff recommends approval subject to the four conditions listed in the staff report. Clint Dixon spoke on behalf of the owner, PJF Leesburg, LLC. Dixon stated there would be 8100 sq ft of convenience store space with two outer retail spaces and five gas pumps for ten fueling stations. Dixon agreed to the four conditions listed in the staff report.

Chairman Eckles asked for any questions—Sisk: Are you intending to take up the entire property?

Dixon: We are looking at a phased development with the second phase being some type of fast food.

Treadaway: The future use section is undeveloped as well?

Dixon: Yes

Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:50 pm

Chairman Eckles entertained a motion.
Motion to approve with conditions

Motion Treadaway. Second Sisk.
Motion Carried

The Public Hearing opened at 5:51pm

The Fifth Item of Business: is Certificate of Appropriateness Case #257, a COA request to allow construction of a commercial building with a convenience store and retail spaces. Staff recommends approval with the two conditions listed in the staff report. Shamsun Naher spoke on behalf of the owner, RALS Enterprise LLC.

Treadaway: Currently this driveway is a right in/right out?

Kelley: Yes and all of this is subject to DOT approval.

Logan Propes: I would like to add the condition that any alteration to the sidewalk along N. Broad St must be repaired exactly as it exists at the time of disturbance.

Kelley: This is in reference to the sidewalk project that was recently completed along N. Broad St.

Chairmen Eckles: You understand that there are now three conditions on the project?

Naher: Yes
Chairman Eckles asked for any questions—none
Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:57 pm

Chairman Eckles entertained a motion.
Motion to approve with updated conditions

Motion Camp. Second Parks.
Motion Carried

Public Hearing opened at 5:58pm

The Sixth Item of New Business is Rezone Case #256, a request for a rezone of the southeast corner of the intersection of Double Springs Church Road and Cedar Ridge from R-1 to R-1A. The project encompasses ±83.072 acres. Staff recommends approval of the rezone subject to the seven conditions listed in the staff report. The applicant, Parkland Communities Inc spoke on behalf of the owner, Rowell Family Partnership & Still Family Realty LLC. Tyler Lasser of Alliance Engineering, representing Parkland Communities Inc, presented the project t to the Planning Commission. The project will include 141 lots broken into two phases—34 ranch houses with a minimum of 1800 sq ft and 107 two-story houses with a minimum of 2400 sq ft. The development will have a density of 1.69 units per acre. The smaller lots allowed in R-1A will permit the developer to cluster the lots and preserve more of the natural environment found on the site. Parkland Communities agrees with all of the conditions listed in the staff report.

Treadaway: What are the percentage of lots of the minimum size?
Lasser: Some will meet the standard but all of the two-story will be larger than that; not sure how many will be on the line of 10,000 sq ft

Kelley: You can modify the condition of a minimum of 1500 sq ft to accept their 1800 sq ft.

Sisk: Does the minimum 6 different layouts mean, 6 for the ranch houses and 6 for the two-story houses or 6 for the entire development?

Lasser: Our clients are willing to meeting any conditions related to exterior appearances.

Kelley: Since there are two separate sections of the development, you might stipulate having additional elevations for each section

Chairman Eckles: Has there been a recent traffic study done?

Lasser: It would be completed prior to the preliminary plat. We can make adjustments based on the traffic study if needed.

Kelley: A simple edit for the second condition is to say six building designs per each neighborhood presented on the concept plan.

Sisk: Do you intend on having a mailbox kiosk?

Lasser: Yes, at the front of the site near the amenity area and parking lot

Kelley: Cluster box units are now a requirement by the USPS rather than mailboxes at each home site.

Chairman Eckles asked for any opposition—yes

1. Jim Campbell—2580 Double Springs Church Road
 - a. A natural and less dense environment is a prime reason for living here; No one finds the dense development of Loganville and Snellville desirable; With the City of Monroe and Walton County there is a unique combination of a well-developed small town and rural environment
2. Amy Maughon—1735 Double Springs Church Road
 - a. Double Springs Church Road is made up of a variety of parcels from 5 to 100 acres; at any given time, there are people on horses or tractors and kids playing; this development in combination with the other proposed subdivision and the new shopping center will cause an increase in traffic
 - b. A traffic study will not be valid until the new shopping center is opened
 - c. Are the City and County working together to see how these developments impact both areas? Maintenance?
3. Kalen Vanderhorst—2116 Double Springs Church Road
 - a. The over 300 homes of River Pointe in combination with this development is too much growth too quickly
 - b. Are the roads going to be widened?
4. Janice Hawks—2301 Double Springs Church Road, 1965 Double Springs Church Road
 - a. Slowly losing peace and tranquility of the town—it's why we moved here and we are losing it
 - b. The road has two blind curves—very dangerous; don't need any more traffic; already a congested area with limited access points
5. Susan Tyre—1950 Double Springs Church Road
 - a. Provided a visual aid for the Planning Commission highlighting the blind curves
 - b. How does this impact water and sewer demand? What measures are in place to maintain adequate fire protection and water pressure?
 - c. Would the developer consider few homes on larger lots?
6. Frank Masiello—1710 Double Springs Church Road
 - a. Where are kids going to go to school; schools will become overcrowded and need portable classrooms
 - b. How will the subdivision impact the natural streams and creeks? Lost most of his water in the creek when the Morgan's Crossing subdivision was built; will the groundwater remain safe?
 - c. What are the plans and cost of infrastructure that is needed? Water lines, sewer lines because the lots aren't big enough for septic tanks, fire protection?
 - d. City and County could go in together to purchase the land and turn it into a park.
7. Todd Mitchell—2260 Double Springs Church Road
 - a. Monroe is now unique and desirable; a great place to live

- b. If this gets approved there could be a domino effect; need to keep high density inside the core of the City

Planning Commission members further discussed the proposal amongst themselves. Chairmen Eckles suggested tabling the motion until a traffic study could be completed that included traffic from the almost completed Monroe Pavilion shopping development.

Treadaway: How long does a traffic study take?

Kelley: They take varying amounts of time depending on the scope.

Public Hearing closed at 6:37pm

Callender: To your concern about requiring a specific traffic study prior to the rezone hearing, you need to be very specific about what you are looking for. If you refer to the conditions listed on the staff report, if the rezone is approved, a traffic study would be done before they submit a preliminary plat to identify offsite improvements and impact areas outside the development. That condition is followed by a development agreement with the City of Monroe. If you require a traffic study now, you may not be able to condition the developer to assist with offsite improvements.

Chairman Eckles: What do you recommend?

Callender: If you approve it, to approve it with the seven conditions listed in the staff report

Kelley: If you make a motion to table it, remove the traffic study as a condition

Parks: Where is this development in relation to the one with 300 homes?

Kelley: Within a quarter mile

Sisk: Will both projects have City of Monroe utilities?

Kelley: It depends on service area, but yes I believe they are

Chairman Eckles entertained a motion.

Motion to table until December 21, 2021

Motion Camp. Second Treadaway.
Motion Carried

Old Business—none

New Business—none

Chairman Eckles entertained a motion to adjourn.

Motion to adjourn

Motion Parks. Second Treadaway
Meeting adjourned at 6:42pm



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 11-08-2021
Description: Conditional use request at 611 Davis St. to expand the Monroe Country Day school. Case # 147. Schools are a conditional use in R1 and R2 zoning requiring Council approval.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: City of Monroe, staff recommends approval of the requested Conditional Use as submitted without conditions.

Background: The owners of the Monroe Country Day School are petitioning for Conditional Use approval on this property in order to allow for expansion of an existing private school.

Attachment(s): Application, staff report and supporting documentation.



Planning
City of Monroe, Georgia

CONDITIONAL USE STAFF REPORT

APPLICATION SUMMARY

CONDITIONAL USE CASE #: 147

DATE: November 5, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Johnson Institute Inc.

PROPERTY OWNER: Johnson Institute Inc.

LOCATION: South side of East Church Street and the north side of Davis Street – 602 E Church Street and 611 Davis Street

ACREAGE: ±2.72

EXISTING ZONING: R-1 (Large Lot Residential District) and R-2 (Multi-Family, High Density Residential District)

EXISTING LAND USE: School building with parking and accessory structures

REQUEST SUMMARY: The owners are petitioning for Conditional Use approval on this property in order to allow for expansion of an existing private school.

STAFF RECOMMENDATION: Staff recommends approval of this Conditional Use request as submitted without conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021

CITY COUNCIL: December 14, 2021

REQUEST SUMMARY

CONDITIONAL USE PERMIT REQUEST SUMMARY:

The applicant is requesting approval of a Conditional Use in order to allow for and expand an existing private school. The subject properties have been zoned R-1 (Large Lot Residential District) and R-2 (Multi-Family, High Density Residential District) since the adoption of zoning by the City. Private schools are permitted in the R-1 and R-2 zoning districts as a Conditional Use, which is the basis for this request.

PROPOSED PROJECT SUMMARY:

- Educational Facility – Private School
 - School Site Area – ±2.72 Acres
 - Total Students – 60
 - Total Staff – 5
 - Hours of Operation – Monday through Friday, 8 am to 4 pm
 - Expansions Proposed – Additional indoor and outdoor classroom spaces

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR CONDITIONAL USE APPLICATION DECISIONS” AS SET FORTH IN SECTION 1425.5 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) **The proposed use will not be detrimental to adjacent properties or the general neighborhood, the proposed use will not significantly adversely affect public health, safety, morality and welfare, and the proposed use as designed will minimize adverse effects on the surrounding neighborhood:** The existing private school is located in an historic school building that was constructed in 1914. The building was the location of a public school for many years. The City purchased the property in 2000 and operated it as a community center building before granting occupancy to the private school. The neighborhood surrounding the site has thrived for over 100 years without any negative impacts from the subject property. Allowing the private school and its proposed expansions will not negatively affect the neighborhood surrounding the site.
- (2) **The applicable standards in Article X have been met:** There are no standards applicable to Private Schools in Article X of the Zoning Ordinance.
- (3) **The proposed use is consistent with the Comprehensive Plan, and the conditional use is compatible with the community development pattern:** As described above, the school is located in a building which was constructed in 1914. The neighborhood surrounding the school site and the school site itself have coexisted harmoniously for many years.
- (4) **A rezoning to allow the requested use as a permitted use would not be appropriate:** Educational facilities such as public, private, and parochial schools are only permitted as Conditional Uses where allowed in the zoning districts in the Zoning Ordinance.
- (5) **The proposed use will not be injurious to the natural environment or the other property in the immediate vicinity, or unconstitutionally diminish property values within the surrounding neighborhood:** Schools are generally considered an asset when located within a neighborhood. The existing private school and its proposed expansions will not result in negative impacts to the surrounding neighborhood or residences on adjoining properties.
- (6) **Off-street parking and loading, and access thereto, will be adequate:** The school site currently has two entrances off East Church Street. The site has abundant parking. Parking and drives are circulated around the school building which provide ample loading and unloading abilities for the school.
- (7) **Public facilities and utilities are capable of adequately serving the proposed use, and the use would not lead to a major negative change in existing levels of public service, or fiscal stability:** Public services and utilities are currently serving the existing school site. The proposed additions to the school should not have any impact on the City’s abilities to continue to provide public services and utilities.
- (8) **The use will not be an extension of a use which will cause a damaging volume of (a) agricultural, (b) commercial, (c) industrial, or (d) higher density residential use into a stable neighborhood of well-maintained single-family homes, nor likely lead to decreasing surrounding property**

values, neighborhood deterioration, spreading of blight, or additional requests of a similar nature which would expand the problem: As previously stated, schools are generally considered an asset when located within a neighborhood. The existing private school and its proposed expansions will not result in negative impacts to the surrounding neighborhood or residences on adjoining properties.

(9) The use would not significantly increase congestion, noise, or traffic hazards: The school currently operates without any known issues resulting in increased congestion, noise, or traffic hazards to the surrounding neighborhood. The proposed additions to the school should not have any impact resulting in increased congestion, noise, or traffic hazards.

(10) Granting this request would not have a “domino effect,” in that it becomes the opening wedge for further rapid growth, urbanization or other land-use change beyond what is indicated in the Comprehensive Plan: The private school is a unique use which should not generate any type of domino effect resulting in negative land development trends surrounding the site.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Conditional Use as submitted without conditions.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

CONDITIONAL USE PERMIT

PERMIT #:	147	DESCRIPTION:	CONDITIONAL USE-EDUCATION
JOB ADDRESS:	611 DAVIS STREET	LOT #:	
PARCEL ID:	M0170167	BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	Johnston Institute Inc	CONTRACTOR:	Johnston Institute Inc
ADDRESS:	602 E Church St	ADDRESS:	602 E Church St
CITY, STATE ZIP:	Monroe GA 30655	CITY, STATE ZIP:	Monroe GA 30655
PHONE:		PHONE:	
PROP. USE VALUATION:	\$ 0.00	DATE ISSUED:	8/20/2021
SQ FT:	0.00	EXPIRATION:	2/16/2022
OCCP TYPE:		PERMIT STATUS:	O
CNST TYPE:		# OF BEDROOMS	
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov	# OF BATHROOMS	
		# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-02	COMM-OTHER REZONE/VARIANCE	\$ 200.00
FEE TOTAL		\$ 200.00
PAYMENTS		\$- 200.00
BALANCE		\$ 0.00


NOTES:

This request is scheduled to be heard by the Planning Commission on November 16, 2021 at 5:30pm and by City Council on December 14, 2021 at 6:00pm; both meetings will be held in the City Council Chambers at City Hall, 215 N. Broad St. Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

11/2/21
DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00264605

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 8/20/2021 1:25:41 PM

13

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference: 1479

Name: Johnston Institute Inc \$200.00

Total Balance Due: \$200.00

Amount: \$200.00

Total Payment Received: \$200.00

Change: \$0.00

RECEIVED
AUG 19 2021
 BY: _____

Variance/Conditional Use Application

Application must be submitted to the Code Department 30 days prior to the Planning & Zoning

Meeting of: _____

Your representative must be present at the meeting

Street address 611 Davis St & 602 E Church St Council District _____ / _____ Map and Parcel # M0170125
 Zoning R2 Acreage .5 Proposed Use School Road Frontage 110 ft. / on M0170167
Davis St (street or streets)

Applicant

Name Johnston Institute DBA Monroe Country Day School
 Address 602 E Church St
 Phone # 770.267.8955

Owner

Name Same
 Address _____
 Phone # _____

Request Type: (check one) Variance Conditional Use

director @ monroe school

Nature of proposed use, including without limitation the type of activity proposed, manner of operation, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters:
School classrooms & playground, building will ultimately hold 60 students, 5 staff, hours of operation are M-F 8 am - 4 pm, all student drop off and teacher parking will be at 602 E Church St.

State relationship of structure and/or use to existing structures and uses on adjacent lots;
Current building will be demolished and land graded, new building with potential of 6 classrooms will be built, playground will be erected at rear of property. Adjacent building on one side is school.

State reason for request and how it complies with the Zoning Ordinance section 1425.5(1)-(10) & 1430.6(1)-(8):
The proposed usage will improve the surrounding area. Usage will not be detrimental to area nor increase traffic. Parking will be at 602 E Church St.

State area, dimensions and details of the proposed structure(s) or use(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways:
The property is currently being surveyed. All I want to do presently is put up fencing and a playground at the rear of the property. Eventually I will tear down the house and design a building, parking places & landscaping. I will return with that when design is complete.

State the particular hardship that would result from strict application of this Ordinance:
The house is currently unusable. I have talked to neighbors on Davis St & to neighbor behind on Church St. They are excited for the property to be a school annex and playground.

Check all that apply: Public Water: Well: Public Sewer: Septic: Electrical: Gas:

For any application for an overlay district, a Certificate of Appropriateness or a letter of support from the Historic Preservation Commission or the Corridor Design Commission for the district is required.

Documents to be submitted with request:

- Recorded deed
- Survey plat
- Site plan to scale
- Proof of current tax status

Application Fees:

- \$100 Single Family
- \$300 Multi Family
- \$200 Commercial

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years.

The above statements and accompanying materials are complete and accurate. Applicant hereby authorizes Code department personnel to enter upon and inspect the property for all purposes allowed and required by the zoning ordinance and the development regulations.

Signature Rita Dickson Date: 8-19-21

**PUBLIC NOTICE WILL BE PLACED AND REMOVED BY THE CODE DEPARTMENT
SIGN WILL NOT BE REMOVED UNTIL AFTER THE COUNCIL MEETING.**

***Property owners signature if not the applicant**

Signature Rita Dickson Date: 8-19-21

Janalyne F. Walddrop Date: 8-19-21

Notary Public

Commission Expires: 10/9/22

I hereby withdraw the above application: Signature _____ Date _____



After recording return to
DICKINSON & WILLIS, LLC
ATTORNEYS AT LAW
338 NORTH BROAD STREET
MONROE, GEORGIA 30655
FILE # 21-172

space above line for recording

LIMITED WARRANTY DEED

STATE OF GEORGIA
COUNTY OF WALTON

THIS INDENTURE, Made the 28TH day of May in the year two thousand and twenty one, between **H. A. PROPERTY INVESTMENTS, LLC**, a Georgia Limited Liability Company, as party or parties of the first part, hereinafter called "Grantor," and **JOHNSTON INSTITUTE, INC.**, a Georgia Corporation, as party or parties of the second part, hereinafter called "Grantee" (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor for and in consideration of the sum of Ten (\$ 10.00) Dollars and other valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee:

All that tract or parcel of land, lying and being in the City of Monroe, 419th G.M.D., Walton County, Georgia, located on the North side of Davis Street, beginning at an iron pin on Davis Street between said lot and Monroe Junior High School lot and running in a Northerly directions 192 feet to an iron pin; thence 105 feet in an Easterly direction to lands now or formerly owned by R. R. Shockley; thence 192 feet in a Southerly direction to Davis Street; thence Westerly 105 feet along the North side of Davis Street to the point of beginning.



TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND GRANTOR WILL WARRANT and forever defend the right and title to the above described property unto Grantee against the claims of any persons owning, holding or claiming by, through or under Grantor.

IN WITNESS WHEREOF, the Grantors have signed and sealed this deed, the day and year above written.

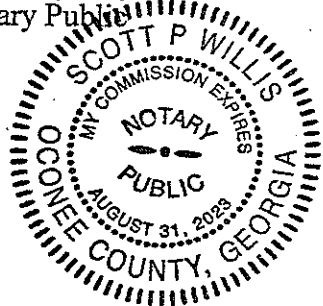
Signed, sealed and delivered in presence of:

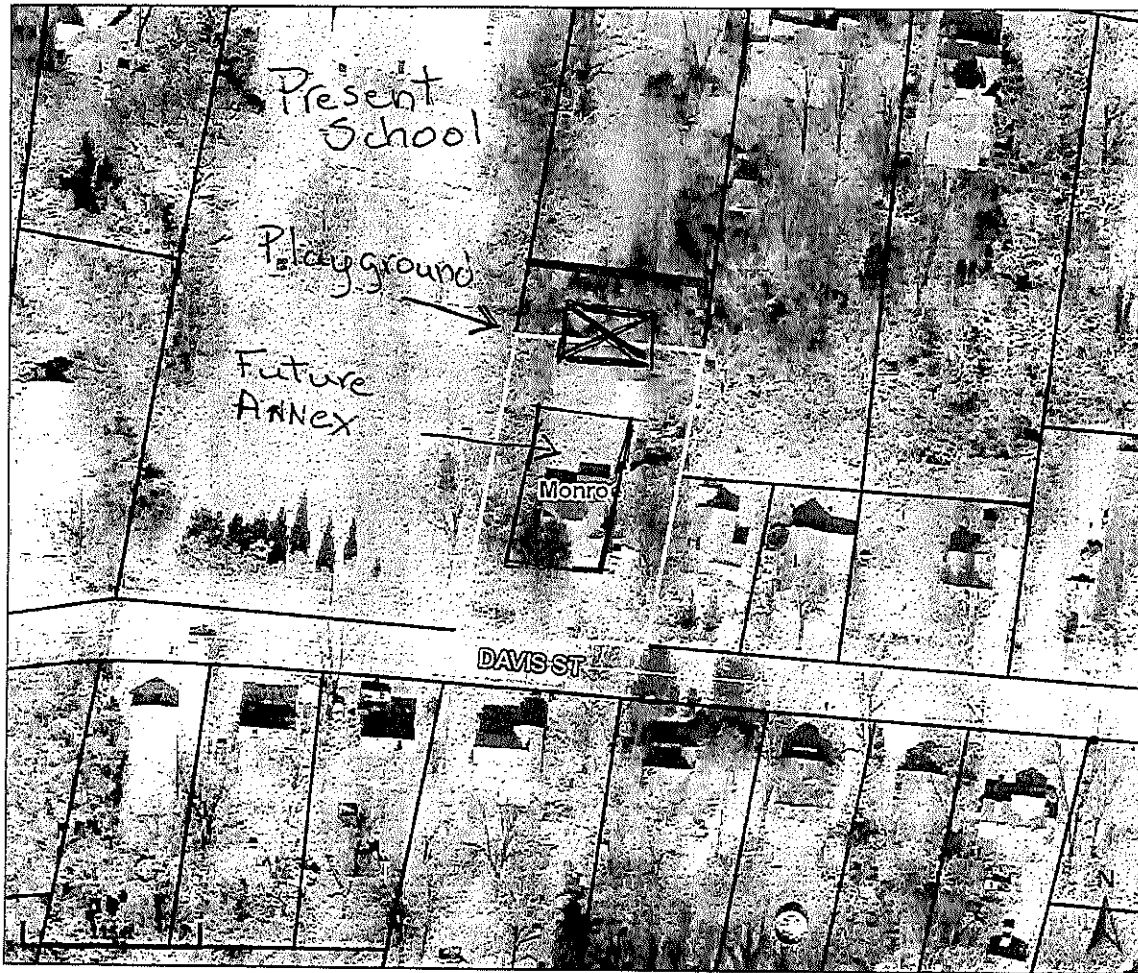
H. A. Property Investments, LLC
By Plaza Partners Two, LP, sole Member

By: Harry M. Arnold, Jr. (SEAL)
Harry M. Arnold, Jr., General Partner

[Signature]
Witness

[Signature]
Notary Public





Overview



Legend

□ Parcels

Parcel ID	M0170167	Owner	HA PROPERTY INVESTMENTS LLC	Last 2 Sales			
Class Code	Residential		P O BOX 391	Date	Price	Reason	Qual
Taxing District	Monroe		MONROE, GA 30655	11/6/2012	\$6510	FI	U
Acres	0.46	Physical Address	611 DAVIS ST	1/10/2003	0	UI	U
		Appraised Value	Value \$44930				

(Note: Not to be used on legal documents)

Date created: 8/19/2021

Last Data Uploaded: 8/19/2021 6:24:14 AM

Developed by  Schneider GEOSPATIAL

Call (888) 403-7684



[About](#) [Contact](#) [Resources](#) [Careers](#)

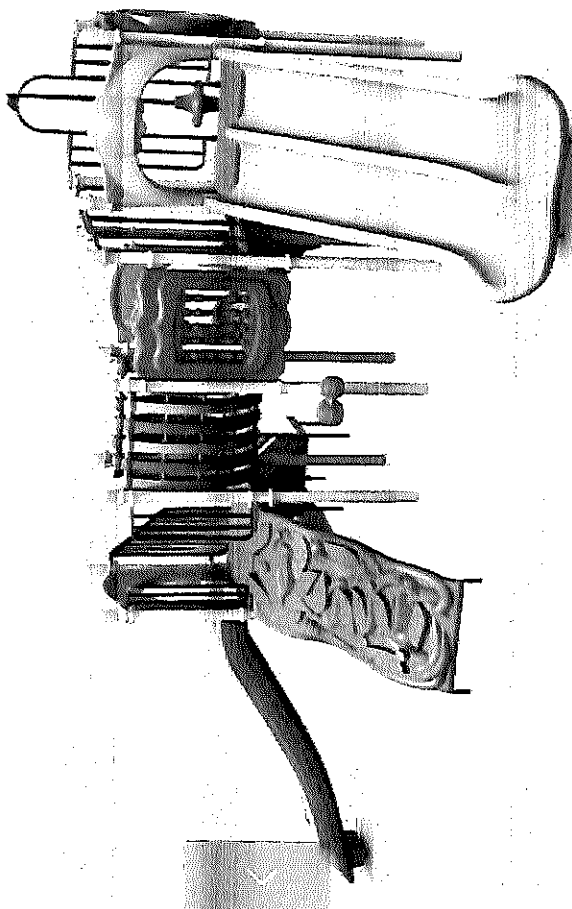
[Products](#) [Catalogs](#) [Stories](#)



Play Structures
Keegan's Kastle

Color

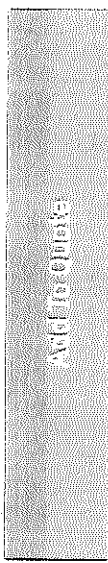
Natural



Mounting Option
 Anchor Bolt

Quantity

1



<https://www.ultraplay.com/prod/>

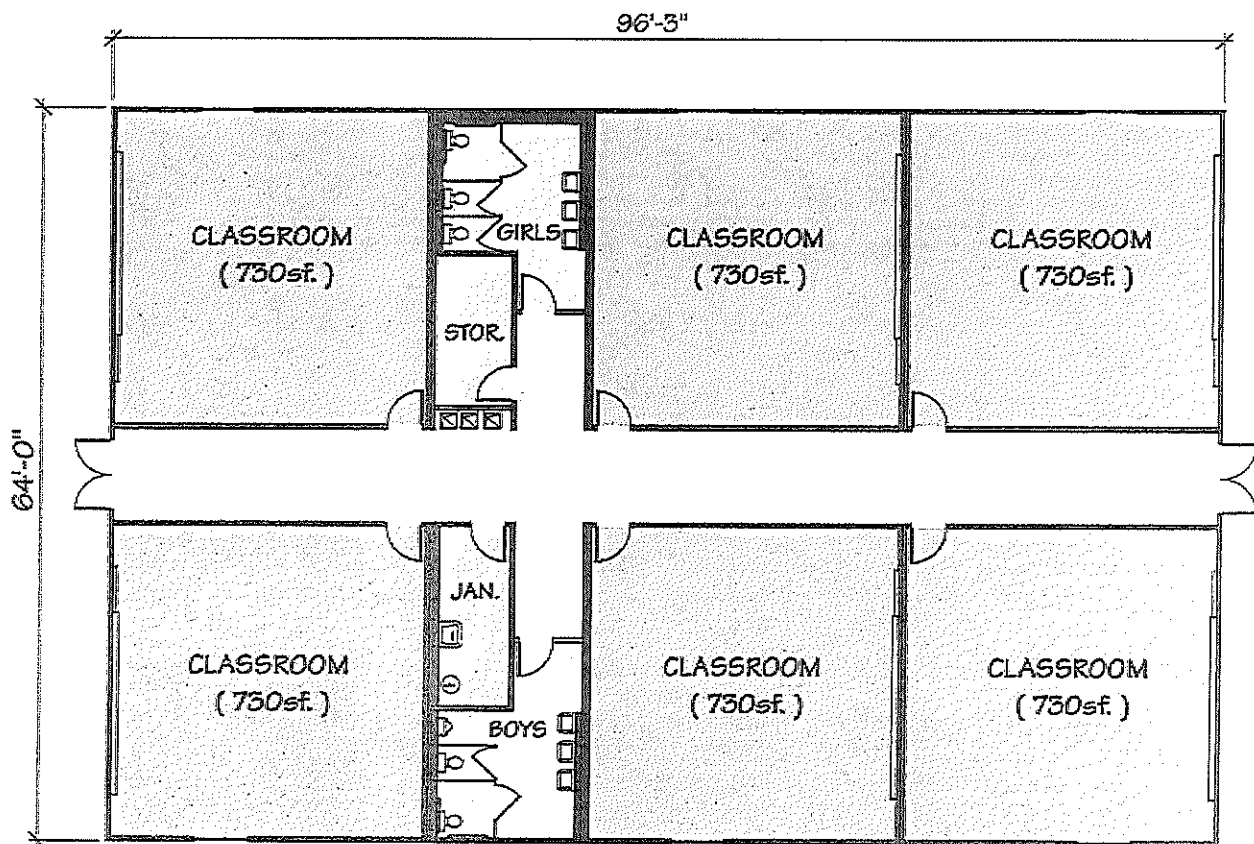
Similar Products


Description

Keegan's Kastle features a challenging 4' Vine Climber and Beanstalk Climber, while also



Future ANNEX



 © 2011, Ramtech Building Systems, Inc.	CLA-6160-A	6,160 Sq. Ft.	CONTACT INFORMATION 1400 U.S. Highway 257 South Wansfield, TX 76063-5739 (800) 565-9376 (817) 473-9376 Fax info@ramtechgroup.com
	SIX CLASSROOM BLDG. WITH RESTROOMS		



GEORGIA CORPORATIONS DIVISION

GEORGIA SECRETARY OF STATE
BRAD RAFFENSPERGER

[HOME \(/\)](#)

BUSINESS SEARCH

BUSINESS INFORMATION

Business Name: **JOHNSTON INSTITUTE INC** Control Number: **15083651**

Business Type: **Domestic Nonprofit Corporation** Business Status: **Active/Compliance**

NAICS Code: **Educational Services** NAICS Sub Code: **Elementary and Secondary Schools**

Principal Office Address: **602 East Church Street, Monroe, GA, 30655, USA** Date of Formation / Registration Date: **8/21/2015**

State of Formation: **Georgia** Last Annual Registration Year: **2022**

REGISTERED AGENT INFORMATION

Registered Agent Name: **Rita Dickinson, E**

Physical Address: **602 E Church Street, Monroe, GA, 30655, USA**

County: **Walton**

OFFICER INFORMATION

Name	Title	Business Address
Fonda Lisa Smith	Secretary	2665 Sleepy Hollow, Monroe, GA, 30656, USA
Melinda Quinn	CEO	1707 Dogwood Tr, Monroe, GA, 30655, USA
Melinda Quinn	CFO	1707 Dogwood Tr, Monroe, GA, 30655, USA

[Back](#)

[Filing History](#)

[Name History](#)

[Return to Business Search](#)

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property at 611 Davis St to be considered for a Conditional Use to allow Education Facilities—Schools in a R2 Zoning. A public hearing will be held before the Monroe Planning and Zoning Commission at City Hall Auditorium at 215 N. Broad Street on November 16, 2021 at 5:30 P.M. All those having an interest should be present to voice their interest.

A petition has been filed with the City of Monroe requesting the property at 611 Davis St to be considered for a Conditional Use to allow for Educational Facilities--Schools in a R2 Zoning. A public hearing will be held before The Mayor and City Council at the City Hall Auditorium at 215 N. Broad Street on December 14, 2021 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

October 31, 2021



October 28, 2021

To Whom It May Concern:

Be advised that a public hearing before the Planning Commission is scheduled for November 16, 2021 to consider an application for a conditional use as an educational facility for a private school at 611 Davis St. As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on October 31, 2021.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the conditional use request for 611 Davis St. will be as follows:

- Planning Commission—November 16, 2021 at 5:30pm
- City Council—December 14, 2021 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant

Notification letters were sent to the following tenants and property owners concerning the conditional use application at 611 Davis St

- 1. GARCIA ALMA GABINA ANGULO &
GARCIA MARIA DE LALUZ
615 DAVIS ST
MONROE, GA 30655

- 2. H A APTS & HOUSES LLC
P O BOX 391
MONROE, GA 30655

- 3. MCDONALD BOBBY J (DECEASED)
123 FORD STREET
MONROE, GA 30655
 - a. 608 Davis St
 - b. 606 Davis St

- 4. HOLBROOK CATHERINE WILLIAMS
612 E CHURCH STREET
MONROE, GA 30655

- 5. PEIFFER JERRI
608 E CHURCH ST
MONROE, GA 30655



To: Planning and Zoning / City Council

From: Patrick Kelley

Department: Planning, Zoning, Code and Development

Date: 11-08-2021

Description: **REZONE CASE #:** 343, Applicant Patricia Goga, Lot 16 of Meadowbrook Estates, 0 Oakland Ridge. Requesting a rezone from R1 county to R1 City. The owners are petitioning for a rezone of this property in conjunction with an annexation request in order to combine all of their properties inside the City.

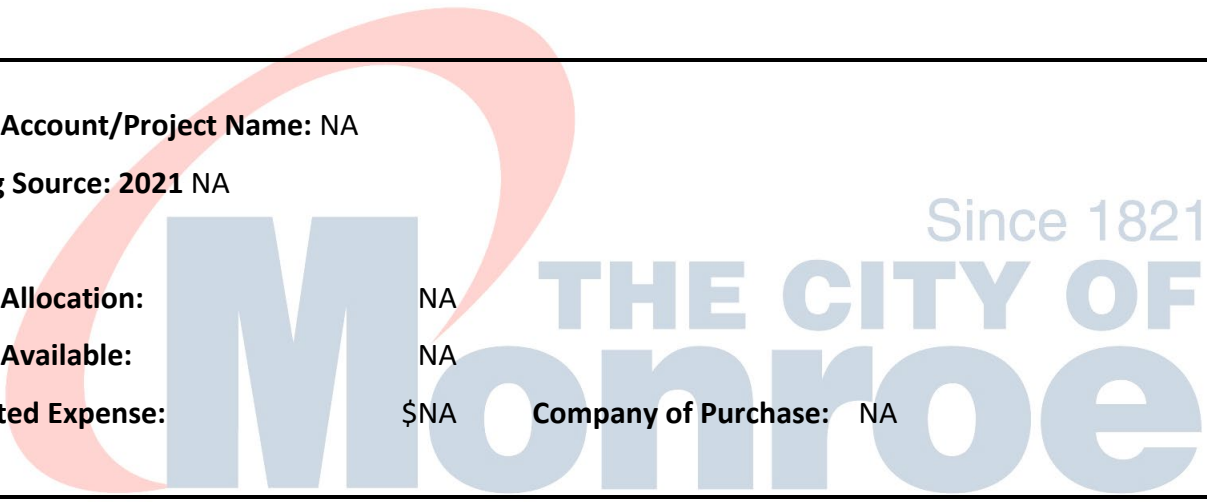
Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA



Recommendation: Staff recommends approval of this rezone request as submitted without conditions.

Background: The applicant is requesting approval of a rezone in order to combine their properties together onto one lot. The subject property is currently located in unincorporated Walton County. An annexation request to bring the property into the City was submitted along with this rezone request. The property is currently developed with a shed, gazebo, and garden. The applicant is requesting a rezone to the R-1 (Large Lot Residential District) in order to combine their existing R-1 property inside the City with their unincorporated property.

Attachment(s): Application, Staff report and Supporting documentation.



**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 343

DATE: November 5, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Patricia Goga

PROPERTY OWNER: Patricia Diane Goga & Christopher Paul Goga

LOCATION: South side of Oakland Ridge – Lot 16 Meadowbrook Estates

ACREAGE: ±0.720

EXISTING ZONING: R-1 (Walton County – Single-Family Residential District)

EXISTING LAND USE: Gazebo, garden, and shed

ACTION REQUESTED: Rezone (Walton County) R-1 to R-1 (City of Monroe – Large Lot Residential District)

REQUEST SUMMARY: The owners are petitioning for a rezone of this property in conjunction with an annexation request in order to combine all of their properties inside the City.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request as submitted without conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021

CITY COUNCIL: December 14, 2021

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone in order to combine their properties together onto one lot. The subject property is currently located in unincorporated Walton County. An annexation request to bring the property into the City was submitted along with this rezone request. The property is currently developed with a shed, gazebo, and garden. The applicant is requesting a rezone to the R-1 (Large Lot Residential District) in order to combine their existing R-1 property inside the City with their unincorporated property.

PROPOSED PROJECT SUMMARY:

- Rezone of unincorporated lot inside Meadowbrook Estates, to be combined with property owner’s existing lot inside the City
 - Lot Size – 31,388 Sf (0.72 Acres)
 - Existing Neighborhood – Meadowbrook Estates
 - Lot Info – Lot 16 of Meadowbrook Estates

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The property is a partially developed lot located in unincorporated Walton County. The property is currently zoned R-1 (Single-Family Residential District) in Walton County. The property is an existing lot located in the Meadowbrook Estates subdivision. The property is owned by the owner of an adjoining lot located inside the City boundary. The property owner would like to annex the property into the City, and rezone the property with the same zoning as their existing lot. After annexing the property into the City, the property owner would like to combine their existing residential lot to the annexed lot. Currently, this is not possible with one lot inside the City and the other lot is in unincorporated.
- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to R-1 (Large Lot Residential District) to allow for the combination of their City and unincorporated Walton County properties.
- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** The requested R-1 (Large Lot Residential District) zoning is identical to other City properties located inside the Meadowbrook Estates subdivision. The requested annexation and rezone should have no adverse effects on any neighboring property.
- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The requested annexation and subsequent rezone are for an existing lot inside the Meadowbrook Estates subdivision. The requested rezone should have absolutely no impact on existing infrastructure or City services.
- (5) Whether the zoning proposal is consistent with the Comprehensive Plan:** The Future Land Use Map designates this property under the category of Residential. This rezone request is consistent with the intent of the Future Land Use Map.
- (6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal:** The intent of this rezone request is to allow the property owner to combine both of their properties together as one parcel inside the City.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone as submitted without conditions.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE & ANNEXATION PERMIT

PERMIT #:	343	DESCRIPTION:	REZONING & ANNEXATION
JOB ADDRESS:	0 OAKLAND RIDGE	LOT #:	
PARCEL ID:	NM09B033	BLK #:	
SUBDIVISION:		ZONING:	County R-1
ISSUED TO:	Patricia Goga	CONTRACTOR:	Patricia Goga
ADDRESS:	1167 Golfview Ter	ADDRESS:	1167 Golfview Ter
CITY, STATE ZIP:	Monroe GA 30655	CITY, STATE ZIP:	Monroe GA 30655
PHONE:		PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	10/29/2021
VALUATION:	\$ 0.00	EXPIRATION:	4/27/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov	# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-01	SINGLE FAMILY REZONE OR VAR REQUEST	\$ 100.00
FEE TOTAL		\$ 100.00
PAYMENTS		\$ -100.00
BALANCE		\$ 0.00

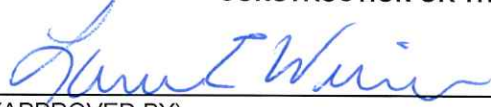
NOTES:

The Planning Commission will hear this request for a Rezone and Annexation of the property located at 0 Oakland Ridge, tax parcel NM09B033 on November 16, 2021 at 5:30pm and The Mayor and City Council will hear this request on December 14, 2021 at 6:00ppm. Both meeting will be held in the City Council Chambers at City Hall, located at 215 N. Broad St Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.


(APPROVED BY)

10/29/21
DATE

REZONE APPLICATION FORM

PERMIT NUMBER _____

- I. LOCATION Lot #16 B Meadowbrook Estates, Oakland Ridge, Monroe
 COUNCIL DISTRICT 6
 MAPNUMBER _____
 PARCEL NUMBER NM09B033
- II. PRESENT ZONING R1 REQUESTED ZONING R1
- III. ACREAGE .34 PROPOSED USE Accessory
- IV. OWNER OF RECORD Patricia Diane Goga & Christopher Paul Goga
 ADDRESS 1167 Golfview Ter., Monroe, Ga 30655-2232

RECEIVED
10/5/21
#343

PHONE NUMBER 770-207-7115 Email diane.goga@outlook.com

The following information must be supplied by the applicant. (attach additional pages if needed)

- V. ANALYSIS:
 1. A description of all existing uses and zoning of nearby property
Residential R1
 2. Description of the extent to which the property value of the subject property is diminished by the existing zoning district classification None
 3. The existing value of the property contained in the petition for rezoning under the existing zoning classification Current year fair market value from tax statement \$33,000
 4. The value of the property contained in the application for rezoning under the proposed zoning Classification Same \$33,000
 5. A description of the suitability of the subject property under the existing zoning classification
Accessory Building; to combine with existing residence.
 6. A description of the suitability of the subject property under the proposed zoning classification of the property
Subject property will be combined with existing residence.

Rezoning Application
Page Two (2)

7. A description of any existing use of property including a description of all structures presently occupying the property Gazebo, garden and shed.

8. The length of time the property has been vacant or unused as currently zoned _____
The lot has been used only as a garden unqualified-vacant

9. A detailed description of all efforts taken by the property owner(s) to use the property or sell the property under the existing zoning classification Continue to use as a garden.

Applications found to be incomplete or incorrect will be rejected. See the attached calendar for deadline dates. It is the responsibility of the applicant and not the staff to ensure that a complete and accurate application is submitted.

LEGAL DESCRIPTION OF PROPERTY

LEGAL DESCRIPTION
1167 Golfview Terrace, Monroe, Georgia 30655

All that tract or parcel of land lying and being in Land Lot 33, 3rd District, Walton County, Georgia, and being more particularly described as follows:

Beginning at a 1-inch crimp top pipe found on the Easterly right-of-way of Golfview Terrace, said point being 229.41 feet as measured on a Southerly direction from the intersection of said right-of-way and the Southwesterly right-of-way of Oakland Ridge; thence leaving said right-of-way of Golfview Terrace South 67°48'20" East a distance of 56.31 feet to a valve found; thence South 34°40'46" East a distance of 99.25 feet to a ¾ inch rebar found; thence North 55°06'00" East a distance of 149.84 feet to a ¾ inch open top pipe found on the Southwesterly right-of-way of Oakland Ridge; thence along said right-of-way South 34°02'42" East a distance of 99.99 feet to a ½ inch rebar found; thence leaving said right-of-way South 55°07'27" West a distance of 148.54 feet to a ¾ inch open top pipe found; thence North 72°32'46" west a distance of 211.86 feet to a 1-inch open top pipe found on the Easterly right-of-way of Golfview Terrace; thence along said right-of-way North 16°43'41" East a distance of 126.77 feet to THE TRUE POINT OR PLACE OF BEGINNING.

Said tract or parcel of land containing 0.720 acres.

Rezoning Application
Page Three (3)

Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be rezoned accordingly.

Owner of property (signature) Patricia W. Hoga Christopher P. Hoga
Address 1167 Golfview Ter., Monroe, Ga. 30655
Phone Number 770-207-7115

Attorney/Agent (signature) _____
Address _____
Phone Number _____

Personally appeared before me the above applicant named Patricia Hoga who on oath says that he/she is the applicant for the foregoing, and that all the above statements are true to the best of his/her knowledge.

Laura E. Wilson (Notary Public) 10/15/2021 (Date)

My Commission Expires August 15, 2023



Rezoning Application
Page Four (4)

What method of sewage disposal is planned for the subject property?

Sanitary Sewer

Septic Tank

The following information must be included in the application material requesting an annexation or zoning change from County _____ to City _____ located at Lot #16 B Oakland Ridge, Monroe, Ga., containing .34 acre(s), property owner being Patricia Diane Goga & Christopher Paul Goga filed on _____.

CHECK LIST - APPLICATION MATERIAL

Application Fee (\$100.00 Application Fee Single Family Rezoning)
(\$300.00 Application Fee Multi Family Rezoning)
(\$200.00 Application Fee Commercial Rezoning)
(Application fee For Annexation is the same as a Rezone)

The completed application form (one original with original signatures)
 Special Conditions made part of the rezoning/annexation request

Legal Description

Survey plat of property showing bearings and distances and:
 abutting property owners
 the zoning of abutting property
 the current zoning of the subject property

Development Plan (two full size and one 11x17)

Site plan of the property at an appropriate scale
 the proposed use
 internal circulation and parking (proposed number of parking spaces)
 landscaping minimum square footage of landscaped area
 grading
 lighting
 drainage (storm water retention structures)
 amenities (location of amenities)
 buildings (maximum gross square footage and height of structures)
 buffers
 Additional information that may be required by the Code Enforcement Officer:

Monroe Utilities Network Availability Letter

Application Material-Section 1421.4 of the Zoning Ordinance outlines the specific items to be included on the site plan:

Rezoning Application

Page five (5)

For any application for P, B-1, B-2, B-3 or M-I districts the site plan shall identify: (circle the appropriate district applied for)

- the maximum gross square footage of building area
- the maximum lot coverage of building area
- the minimum square footage of landscaped area
- the maximum height of any structure
- the minimum square footage of parking and drive areas
- the proposed number of parking spaces

For any application for the R-1/R-1A, R-2 or MH districts the site plan shall additionally identify: (circle the appropriate district applied for)

- the maximum number of residential dwelling units
- the minimum square footage of heated floor area for any residential dwelling unit
- the maximum height of any structure
- the minimum square footage of landscaped area
- the maximum lot coverage of building area
- the proposed number of parking spaces
- on all rezoning applications a revised site plan to be approved at a later date by the Mayor and City Council may be required
- yes no Applicant site plan indicates a variance requested
- for any application for multi-family residential uses, the site plan shall also identify the maximum height of any structure, location of amenities, and buffer areas: and,
- any other information as may be reasonably required by the Code Enforcement Officer.

Any applicant requesting consideration of a variance to any provision of the zoning ordinance as shown on the required site plan shall identify the variance(s) and identify for each variance shown the following information which shall confirm that the following condition(s) exist:

1. Any information which identifies that there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district.
2. Any information whereby a literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located.
3. Any information supporting that granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located.
4. Information clearly showing that the requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
5. Information that the special circumstances are not the result of the actions of the applicant.
6. A description of how the variance requested is the minimum variance that will make possible the legal use of the land, building, or structure in the use district proposed.
7. Information indicating the variance is not a request to permit a use of land, buildings, or structures, which are not permitted by right in the district involved.

Rezoning Application

Page six (6)

COMMENTS

Disclosure of Campaign Contributions and/or gifts:

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years. The filing shall be within ten (10) days after the application is made, and in the case of a supporter or opponent, filing shall be at least five (5) days before the first public hearing.

I hereby withdraw the above application: Signature: _____ Date: _____

PETITION REQUESTING ANNEXATION
CITY OF MONROE, GEORGIA

Date: 5 October 2021

TO THE HONORABLE CITY COUNCIL OF THE CITY OF MONROE, GEORGIA

1. The undersigned, as owner of all real property of the described herein, respectfully request that the City Council annex this territory to the City of Monroe, Georgia, and extend the City boundaries to include the same.
2. The territory to be annexed abuts the existing boundary of Monroe, Georgia, and the description of such territory area is as follows:

Address/Location of Property: Lot #16 B Meadowbrook Estates, Oakland Ridge, Monroe, 30655

Tax Map Number: NM09B033

See Attached Legal Description and Boundary Survey.

3. It is requested that this territory to be annexed shall be zoned R1 for the following reasons: To combine two existing lots together into one city lot.
- _____
- _____
- _____

WHEREFORE, the Petitioners pray that the City Council of the City of Monroe, Georgia, pursuant to the provisions of the Acts of the General Assembly of the State of Georgia, Georgia Laws, do by proper ordinance annex said property to the City Limits of the City of Monroe, Georgia.

Respectfully Submitted,

Patricia Diane Goga and Christopher Paul Goga

Patricia Diane Goga

Christopher Paul Goga

Owners Address: 1167 Golfview Ter.

Monroe, Ga. 30655-2232



Date: September 30, 2021

In Re: Utilities

To Whom It May Concern:

The City of Monroe offers five different utilities in our service territory. The five utilities are: electricity, natural gas, water, wastewater and telecommunication.

The utilities checked below are available at Parcel NM09B033, in the City of Monroe, Georgia.

- ELECTRICITY
- NATURAL GAS
- WATER
- WASTEWATER
- TELECOMMUNICATION

Please contact our office for any additional information needed. We look forward to serving your utility needs.

Vashon Suggs-Hill

 City of Monroe

215 North Broad Street • Post Office Box 725 • Monroe, Georgia 30655
 Telephone 770-267-3429 • customerservice@monroega.gov



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00288548

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 10/29/2021 12:43:29 PM

38

Transaction Code: BP - Building Projects Payment

Name: Goga, Patricia \$100.00

Total Balance Due: \$100.00

Payment Method: Check Payn Reference: 4885

Amount: \$100.00

Total Payment Received: \$100.00

Change: \$0.00



CODE DEPARTMENT

October 19, 2021

Walton County Board of Commissioners
303 S. Hammond Dr.
Suite 330
Monroe, GA 30655

RE: Annexation and rezone of Parcel NM09B033

Dear Commissioners,

Please be advised that the City of Monroe, Georgia by the authority vested in the Mayor and City Council of the City of Monroe, Georgia, by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, intends to annex the property hereinafter described by ordinance at a regular meeting of the Mayor and City Council.

This letter has been sent to you by certified mail, return receipt requested, within five (5) business days of acceptance of an application for annexation, a petition of annexation, or upon the adoption of a resolution for annexation by the City of Monroe in accordance with O.C.G.A. § 36-36-6 and O.C.G.A. § 36-36-9. This letter also serves as notice of the application for zoning or rezoning in accordance with O.C.G.A. § 36-36-111, of the proposed zoning and land use for such annexed property.

See Exhibit "A" attached.

Pursuant to O.C.G.A. § 36-36-7 and O.C.G.A. § 36-36-9, you must notify the governing authority of the City of Monroe, in writing and by certified mail, return receipt requested, of any county facilities or property located within the property to be annexed, within five (5) business days of receipt of this letter.

Additionally, in accordance with O.C.G.A. § 36-36-11, a public hearing on the property to be annexed as R-1 City will be held on November 16, 2021 at 215 N. Broad St. If the county has an objection under O.C.G.A. § 36-36-113, in accordance with the objection and resolution process, you must notify Patrick Kelley with in thirty (30) calendar days of the receipt of this notice.

Sincerely,

Laura Wilson
Code Department Assistant

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

AREA
 .720 ACRES
 31,388 SQ. FEET

SCALE: 1" = 30'

OWNER CONTACT INFORMATION:
 PATRICIA D. AND CHRISTOPHER P. GOGA
 1167 COLANNEY TERRACE
 MONROE, GA 30655
 404-682-2322

FLOOD HAZARD STATEMENT:
 THIS PROPERTY DOES NOT LIE WITHIN THE 1% ANNUAL FLOOD (100-YEAR FLOOD) PER FEMA MAP NO. 13292C D158E DATED OCTOBER 6, 2016

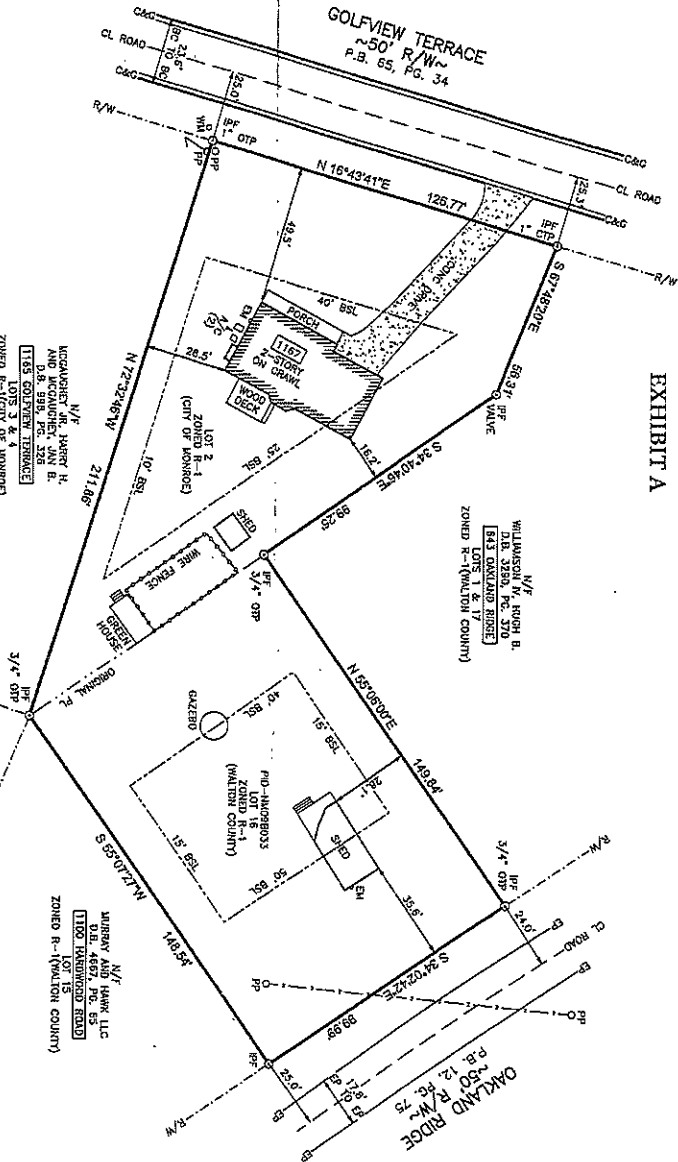
SURVEYORS CERTIFICATION:
 As required by subsection (g) of O.C.G.A. section 15-8-62, this plat has been prepared by a Licensed Professional Surveyor (PLS) who has personally conducted the field work and is hereby certified that the same is true and correct to the best of his knowledge and belief, and that the same has been prepared in accordance with the provisions of the Georgia Code of Professional Engineers and Surveyors as set forth in O.C.G.A. section 15-8-67. (Signed) _____ Date: 10/04/2021
 License # 2887
 JAMES A. JACOBS

PURPOSE:
 THIS SURVEY IS FOR THE PURPOSE OF DIVIDING INTO THE CITY OF MONROE

NOTE:
 LOT 16 IS TO BE COMBINED

NOTES:
 FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 5 SECOND THEODOLITE AND AN ELECTRONIC DISTANCE MEASUREMENT DEVICE (EDM). THIS MAP WAS PREPARED BY ONE (1) PLS AS A RESULT OF ONE (1) DAY OF FIELD WORK ON 10/04/2021 AND AN APPROXIMATE TOTAL OF 11,000 FEET OF MEASUREMENT WAS MADE. THIS MAP WAS PREPARED IN ACCORDANCE WITH THE GEORGIA CODE OF PROFESSIONAL ENGINEERS AND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-8-67. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE (1) FOOT IN 100,000 FEET. ALL POINTS SHOWN HEREON WERE FOUND UNLESS OTHERWISE NOTED.
 (ACT 1/2" REBAR W/ CAS)

EXHIBIT A



LEGEND

- A/C AIR CONDITIONING
- M/C MACHINERY
- B/C BACK OF CURB
- BLD BUILDING
- BSL BOUNDARY SURVEY LINE
- C/C CONCRETE
- COR CORNER
- CONV CONCRETE
- CNT CONCRETE
- COB CORRUGATED METAL
- E/E ELECTRICAL
- EP END OF PARALLEL
- E/R ELECTRICAL REBAR
- 1/2" REBAR W/ CAS
- 1/2" REBAR W/ CAS
- OP OPEN
- ODD ODD TOP PIPE
- PROPR PROPERTY LINE
- PP POWER POLE
- PL PLAT BOOK
- P/B PLAT BOOK
- P/G PLAT BOOK
- W/A WATER METER
- OVERHEAD UTILITY LINES

ZONING INFORMATION:
 ZONING PER WALTON COUNTY, GA
 BUILDING SETBACK REQUIREMENTS:
 FRONT - 10'
 REAR - 10'
 SIDE - 10'
 ZONING PER CITY OF MONROE, GA
 BUILDING SETBACK REQUIREMENTS:
 FRONT - 10'
 REAR - 25'
 SIDE - 25'

NOTES:
 IN AN OPINION THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE LAW. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR PERSONS NAMED HEREON AND NO WARRANTIES OR REPRESENTATIONS ARE MADE HEREON AS TO THE ACCURACY OF THE SURVEY OR THE TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYORS IN GEORGIA AS SET FORTH IN O.C.G.A. SECTION 15-8-67 OF THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-8-67.

LEGAL REFERENCES:
 D.B. 4381, P.C. 444
 D.B. 4381, P.C. 450
 P.B. 12, P.G. 75

UTILITY PROTECTION CENTER:
 IF YOU DIG GEORGIA, CALL US FIRST!
 811
 ITS THE LAW
 THREE WORKING DAYS BEFORE YOU DIG

CERTIFICATION OF APPROVAL FOR RECORDING:
 THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS PLAT, MAP, OR PLAT FOR FILLS:
 DIRECTOR, WALTON COUNTY PLANNING & DEVELOPMENT DEPT.
 DATE _____

NOTES:
 AS REQUIRED BY SUBSECTION (g) OF O.C.G.A. SECTION 15-8-67, THIS SURVEY WAS PREPARED BY A LICENSED PROFESSIONAL SURVEYOR (PLS) WHO HAS PERSONALLY CONDUCTED THE FIELD WORK AND IS HEREBY CERTIFIED THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF, AND THAT THE SAME HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE GEORGIA CODE OF PROFESSIONAL ENGINEERS AND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-8-67. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE (1) FOOT IN 100,000 FEET. ALL POINTS SHOWN HEREON WERE FOUND UNLESS OTHERWISE NOTED.
 (ACT 1/2" REBAR W/ CAS)

NOTES:
 INFORMATION REGARDING THE REPORTED PERSONS, TITLE, AND SHOWN HEREON, IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE OWNER AND SURVEYOR HEREOF MAY BE EMPLOYED BY THE SAME OR DIFFERENT EMPLOYERS AND EMPLOYERS. THE SURVEYOR'S LIABILITY TO THE OWNER IS LIMITED TO THE SURVEY AND THE INFORMATION SHOWN HEREON.

NOTES:
 UNLESS STATED OTHERWISE HEREON, THIS SURVEY WAS PREPARED WITHOUT REPLY OF AN ASSISTANT OF TITLE. NO LIABILITY IS ASSUMED BY THE SURVEYOR FOR ANY LOSS RESULTING FROM THE USE OF THE INFORMATION SHOWN HEREON. THIS PLAT OF SURVEY LIVES TO WHATEVER OR EXTENT AS TO THE EXTENT OF ANY EMBODIMENT OF ANY TITLE, NO ASSISTANT OF TITLE SEARCH WAS PERFORMED TO DISCOVER THE EXISTENCE OF ANY EMBODIMENT.

PRODUCT DESCRIPTION:
 COOPERATION PLAT FOR:
 PATRICIA D. AND CHRISTOPHER P. GOGA

1167 COLANNEY TERRACE - MONROE, GEORGIA 30655 & P/B-14093033
 GARY W. WALTON
 SECTION: TOWN 5140, 418

ADAM & LEE LAND SURVEYING
 5640 GA. HWY. 20 S.
 LOGANVILLE, GA. 30052 (770)554-8995
 www.adamandlee.com
 FAX: (770)564-8184

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	10/04/2021	BJ: HMG	DATE OF PLAT PREPARATION
2	10/04/2021	BJ: HMG	DATE OF FIELD SURVEY
3	10/04/2021	BJ: HMG	DATE OF FINAL SURVEY
4	10/04/2021	BJ: HMG	DATE OF PLAT PREPARATION

DATE OF PLAT PREPARATION: 10/04/2021
DATE OF FIELD SURVEY: 10/04/2021
DATE OF FINAL SURVEY: 10/04/2021
DATE OF PLAT PREPARATION: 10/04/2021

DATE OF PLAT PREPARATION: 10/04/2021
DATE OF FIELD SURVEY: 10/04/2021
DATE OF FINAL SURVEY: 10/04/2021
DATE OF PLAT PREPARATION: 10/04/2021

DATE OF PLAT PREPARATION: 10/04/2021
DATE OF FIELD SURVEY: 10/04/2021
DATE OF FINAL SURVEY: 10/04/2021
DATE OF PLAT PREPARATION: 10/04/2021



October 28, 2021

To Whom It May Concern:

Please accept this letter as official notification of a Public Hearing before the Planning Commission on November 16, 2021 to consider an application for rezoning and annexation of .34 acre located on Oakland Ridge Monroe, GA 30655; tax parcel NM09B033. The property is currently zoned R-1 County with a request to change the zoning classification to R-1 City. As an adjacent property owner, you are officially being notified of this request.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the rezone request for tax parcel # NM09B003 on Oakland Ridge will be as follows:

- Planning and Zoning Commission—November 16, 2021 at 5:30pm
- City Council—December 14, 2021 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant

Notification letters were sent to the following address regarding the rezone and annexation request (#343) of 0 Oakland Ridge—tax parcel NM09B033

- 1. MCGAUGHEY HARRY H JR &
MCGAUGHEY JAN B
1165 GOLFVIEW TERRACE
MONROE, GA 30655

- 2. CONNER AUBREY LISA
271 STOCK GAP ROAD
MONROE, GA 30656
 - a. Physical Address: 1102 Hardwood Rd

- 3. MURRAY AND HAWK LLC
P O BOX 1065
MONROE, GA 30655
 - a. Physical Address: 1100 Hardwood Rd

- 4. WILLIAMSON HUGH B IV
P O BOX 430
MONROE, GA 30655
 - a. Physical Address: 643 Oakland Ridge

- 5. BROWN E BRANDON &
BROWN KIMBERLY
644 OAKLAND RIDGE
MONROE, GA 30655

- 6. TODD ETHAN JOHN
640 OAKLAND RIDGE
MONROE, GA 30655

- 7. HAMM CHARLES S &
HAMM CHARLOTTE R
632 OAKLAND RIDGE
MONROE, GA 30655

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property at 0 Oakland Ridge to be rezoned from R1 County to R1 City and Annexed.

A public hearing will be held before the Monroe Planning Commission at City Hall Auditorium at 215 N. Broad Street on November 16, 2021 at 5:30 P.M.

All those having an interest should be present to voice their interest.

A petition has been filed with the City of Monroe requesting the property at 0 Oakland Ridge to be rezoned from R1 County to R1 City and Annexed.

A public hearing will be held before The Mayor and City Council at the City Hall Auditorium at 215 N. Broad Street on December 14, 2021 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

October 31, 2021



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 11-09-2021
Description: CERTIFICATE OF APPROPRIATENESS CASE #: 342, 615 East Spring St.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA

Company of Purchase: NA

Recommendation: Staff recommends approval of this Certificate of Appropriateness request with conditions.

1. Prior to the issuance of any monument sign permits, the developer shall submit a Certificate of Appropriateness application for consideration of approval of any monument signage placed on the site.

Background: The applicant is requesting approval of a Certificate of Appropriateness application in order to allow the renovation of an existing convenience store. The proposed renovations are to include both interior and exterior improvements to the building.

Attachment(s): Application, Staff report and supporting documents.



Planning
City of Monroe, Georgia

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 342

DATE: November 5, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Mumtaz Paroo

PROPERTY OWNER: MSG Petroleum, Inc.

LOCATION: North side of E Spring Street – 615 E Broad Street

ACREAGE: ±0.71

EXISTING ZONING: B-3 (Highway Business District)

EXISTING LAND USE: Convenience store with fuel pumps

ACTION REQUESTED: The owner is requesting approval of a Certificate of Appropriateness application in order to allow the renovation of an existing convenience store.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness request with conditions.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow the renovation of an existing convenience store. The proposed renovations are to include both interior and exterior improvements to the building.

PROPOSED PROJECT SUMMARY:

- Convenience Store with Fuel Pumps
 - Total Building Floor Area – 2,255 Sf
 - Proposed Façade – stucco and decorative composite metal cladding with glass storefront windows and doors

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 Site Planning:

The existing commercial building is a small scale convenience store. No changes to the site beyond the existing building are proposed in this COA request.

643A.2 – Architecture:

The proposed renovations to the convenience store include upgrading the façade to have stucco and decorative composite metal cladding. The renovations also include additions to the parapet wall and canopy over the store entry and decorative exterior lighting around each side of the building. The store front windows and doors will also be renovated. The submitted conceptual elevations of the proposed building contain elements which appear to comply with the architectural requirements under Section 643A.2 of the Zoning Ordinance.

643A.3 – Pavement:

No changes to the existing pavement on the site are proposed as part of the renovation of the existing building.

643A.4 – Landscaping:

No changes to the existing landscaping on the site are proposed as part of the renovations of the existing building.

643A.5 – Signs:

Examples of signage to be placed on the building were included on the building elevations. Signage proposed on the building appears to meet the general criteria for signs outlined in Section 643A.5 of the Zoning Ordinance. No examples of any ground or monument signs were included in the elevations. Any monument signs placed on the site will need to be obtain an approval of a Certificate of Appropriateness application by the Corridor Commission.

643A.6 – Illumination:

A lighting plan was not included with the development plans. Any lighting added to the site will be required to comply with Illumination requirements for the Corridor Design Standards and Guidelines outlined in Section 643A.6 of the Zoning Ordinance.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to construct a commercial strip shopping center building, subject to the following conditions:

1. Prior to the issuance of any monument sign permits, the developer shall submit a Certificate of Appropriateness application for consideration of approval of any monument signage placed on the site.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PLANNING COMMISSION CERTIFICATE OF APPROPRIATENESS PERMIT

PERMIT #:	342	DESCRIPTION:	COA-PLANNING & ZONING Exterior Changes
JOB ADDRESS:	615 E SPRING ST	LOT #:	
PARCEL ID:	M0150091A00	BLK #:	
SUBDIVISION:		ZONING:	B-3
ISSUED TO:	Mumtaz Paroo	CONTRACTOR:	Mumtaz Paroo
ADDRESS:	1000 Peachtree Industrial Blvd	ADDRESS:	1000 Peachtree Industrial Blvd
CITY, STATE ZIP:	Suwanee GA 30024	CITY, STATE ZIP:	Suwanee GA 30024
PHONE:		PHONE:	
PROP.USE:	COMMERCIAL	DATE ISSUED:	10/29/2021
VALUATION:	\$ 0.00	EXPIRATION:	4/27/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov	# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 50.00
FEE TOTAL		\$ 50.00
PAYMENTS		\$ -50.00
BALANCE		\$ 0.00

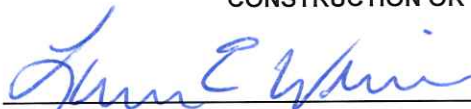
NOTES:

The Planning Commission will here this COA request for exterior changes at 615 E Spring St on November 16, 2021 at 5:30pm in the City Council Chambers at City Hall, located at 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

10/29/21

DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00288526

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 10/29/2021 12:04:42 PM

48

Transaction Code: BP - Building Projects Payment

Name: Paroo, Mumtaz \$50.00

Total Balance Due: \$50.00

Payment Method: Money Ord Reference: 19-18331470

Amount: \$50.00

Total Payment Received: \$50.00

Change: \$0.00

**NOTICE TO THE PUBLIC
CITY OF MONROE**

The City of Monroe has received a request for a Certificate of Appropriateness for exterior changes at 615 E Spring St. A public hearing will be held before the Monroe Planning Commission at the City Hall Auditorium at 215 N. Broad St. on November 16, 2021 at 5:30 P.M. All those having an interest should be present.

Please run on the following date:

October 31, 2021

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe’s Zoning ordinance, you are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change you wish to make to your property if your property is located within a Corridor Design Overlay District. Please see pages 45 through 52 of the Zoning Ordinance.

The following steps must be taken in order to have your proposed change considered by the Planning Commission:

1. Stop by the Code Office at least 45 working days in advance of the next regular meeting of the Planning Commission (the Third Tuesday of each month at 5:30 pm), read the Zoning Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$50.00 fee. If you request a “special meeting” at some date or time (other than the 3rd Tuesday of every month), the fee is \$100.00.
4. Provide all documentation which will assist the Planning Commission in deciding if your proposed change(s) are in keeping with the Corridor Design Overlay District standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives Planning Commission members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the Planning Commission looks forward to considering your request.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE PLANNING COMMISSION

Please read the Zoning Ordinance (Corridor Sections 643-1 through 643A.6). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 10/01/2021

APPLICANT: MUMTAZ PAROO

APPLICANT'S ADDRESS: 1000 PEACHTREE INDUSTRIAL BLVD #6187
SUWANEE, GA 30024

TELEPHONE NUMBER: (404) 234-8256

PROPERTY OWNER: MSG PETROLEUM, INC

OWNER'S ADDRESS: 1000 PEACHTREE INDUSTRIAL BLVD #6187
SUWANEE, GA 30024

TELEPHONE NUMBER: (404) 234-8256

PROJECT ADDRESS: 615 E. SPRING ST

MONROE, GA 30655

Brief description of project: REDEVELOPMENT OF A GAS STATION AND CONVENIENCE STORE

(Continue on separate sheet, if necessary.)

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the Planning Commission to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the Planning Commission duties include taking into account all aspects of the exterior of the structure.

In its review, the Planning Commission shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positionings and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than fifteen (15) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A “material change in appearance” means a change that will affect either the exterior architectural or environmental features of a corridor property or any structure, site, or work of art within a corridor design overlay district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and


- 5. The erection, alteration, restoration, or removal of any building or other structure within a corridor district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec 643.4(4) (a)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 210(65)].

“Landscaping/landscape area” means a portion of lot or land area, either natural or modified for aesthetic or functional purposes through grading and planting, consisting of vegetation including but not limited to trees, shrubs, ground covers, grass, flowers, decorative rock, bark, mulch and other similar materials. [Sec. 210(86)].

Ordinary maintenance or repair of any exterior architectural feature in or on a corridor property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 643.4(3) (b)]



 Applicant

Date: 10/01/2021

Revised 9/23/19

BP GAS STATION

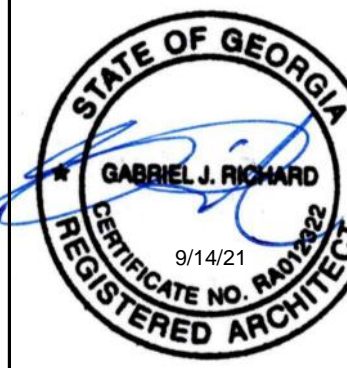
(AND CONVENIENCE STORE)
615 EAST SPRING STREET
MONROE, GA 30655

DRAWINGS SHEET INDEX

GENERAL	G100	COVERSHEET
ARCHITECTURAL	A101	FLOORPLANS
	A102	EXTERIOR ELEVATIONS
PLUMBING	P001	GENERAL
	P100	FLOORPLANS
ELECTRICAL	E001	GENERAL
	E101	FLOORPLAN - ELECTRICAL



Gabriel J Richard AIA NCARB
CERTIFICATE NO. 88012322



PROJECT TEAM

ARCHITECT:
GJR ARCHITECT LLC
CONTACT: GABRIEL J RICHARD AIA NCARB
GABE@GJRARCHITECT.COM
(404)-902-9195

APPLICANT:
MSG PETROLEUM INC
CONTACT: MUMTAZ PAROO
MUMTAZPAROO@ME.COM
ANOORANI26@GMAIL.COM
(404)-234-8256

BUILDING OWNER:
MSG PETROLEUM INC
CONTACT: MUMTAZ PAROO
MUMTAZPAROO@ME.COM
ANOORANI26@GMAIL.COM
(404)-234-8256

PROJECT INFORMATION

PROPOSED USE STORE CONVENIENCE/ GAS STATION
IN AN EXISTING GAS STATION (NO CHANGE IN USE)
2,255 SF LEASABLE AREA

CURRENT CODES

THE WORK SHALL COMPLY WITH ALL APPLICABLE CODES, AS FOLLOWS:
THE FOLLOWING ARE THE STATE OF GEORGIA'S MINIMUM STANDARD CONSTRUCTION CODES:

- 2018 INTERNATIONAL BUILDING CODE w/ GEORGIA AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE w/ GEORGIA AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE w/ GEORGIA AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE w/ GEORGIA AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH NO AMENDMENTS
- NFPA 70 NATIONAL ELECTRICAL CODE 2017 w/ NO GEORGIA AMENDMENTS
- 2018 WALTON COUNTY ORDINANCE FOR FIRE PREVENTION AND PROTECTION ORDINANCE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/ GEORGIA AMENDMENT

THE CURRENT EDITION OF THE NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHAL

CHAPTER 120-3-3 RULES AND REGULATIONS FOR THE STATE MINIMUM FIRE STANDARDS IN GEORGIA

- 2018 NFPA 101 - LIFE SAFETY CODE w/ GEORGIA AMENDMENTS (2013)
- GEORGIA ACCESSIBILITY CODE - GAC 120-3-20 - 1997 EDITION
- 2010 FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2009 ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (01.01.2009)

ACCESSIBILITY

THESE PLANS ARE INTENDED TO COMPLY WITH ALL OF THE PROVISIONS SET FORTH BY CHAPTER 11 OF THE 2012 IBC AND TITLE III 2010 ADAAG

LEGAL DESCRIPTION

LOT AREA: 0.71 AC
PARCEL ID: M0150091A00 WALTON COUNTY, GA
ZONING DISTRICT: B3

BUILDING SUMMARY

SUBJECT LEASE SPACE FLOOR AREA: 2255 SF (EXISTING)
GROSS FLOOR AREA: 2255 GROSS SF (EXISTING)
BUILDING HEIGHT: 20' +/- (EXISTING SINGLE STORY)
CODE COMPLIANCE: M "MERCANTILE" (EXISTING)
OCCUPANCY GROUP: M "MERCANTILE" (EXISTING)

CONSTRUCTION TYPE: TYPE VB, UNPROTECTED, IBC 2018 CHAPTER 5, TABLE 503 AND 506.3; MAXIMUM ALLOWABLE AREA IS 27,000 SF IF 1 STORY

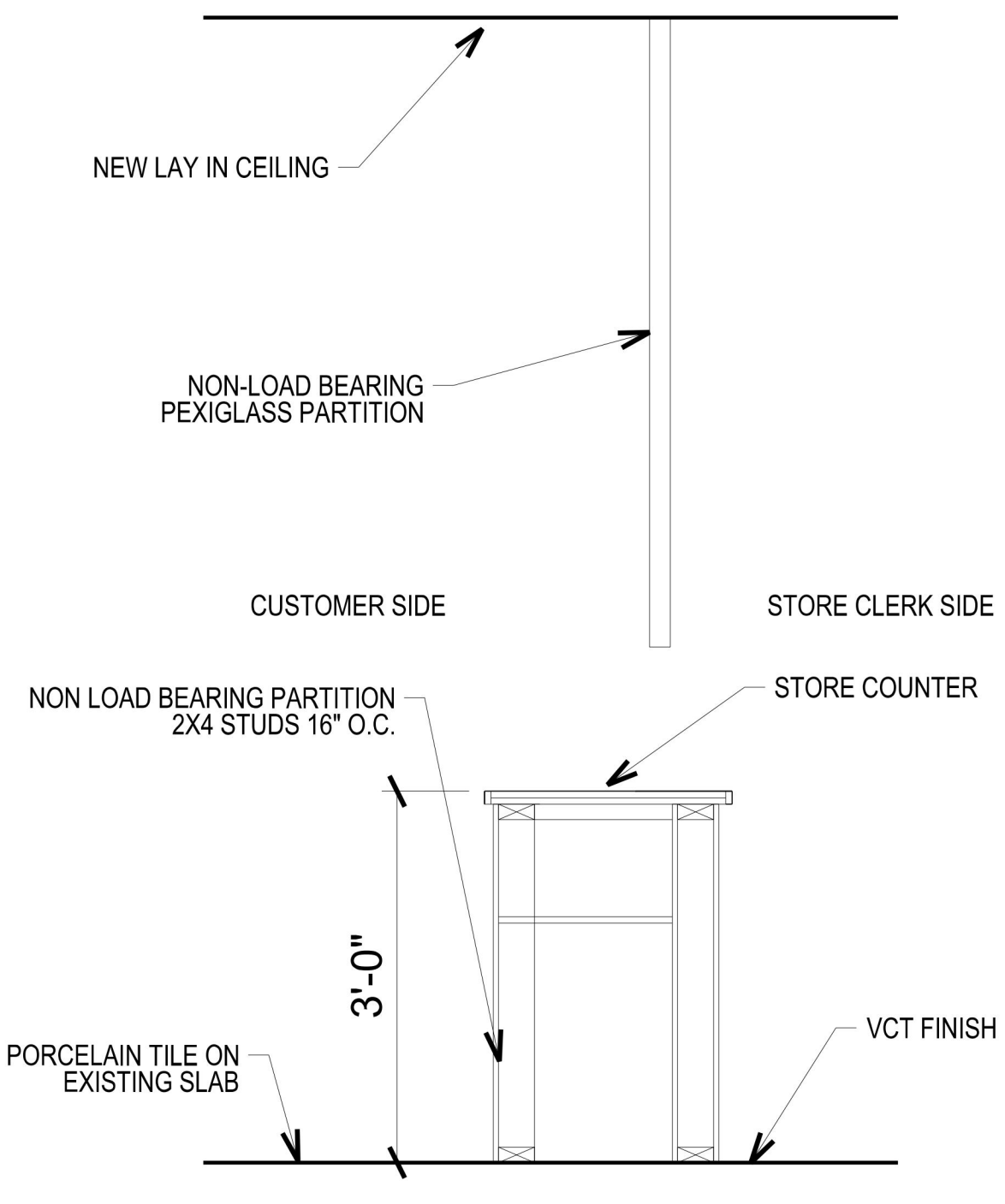
VICINITY MAP



MAP COURTESY OF <https://qpublic.schneidercorp.com/Application.aspx?AppID=628&LayerID=11921&PageTypeID=1&PageID=0>

PARKING SUMMARY

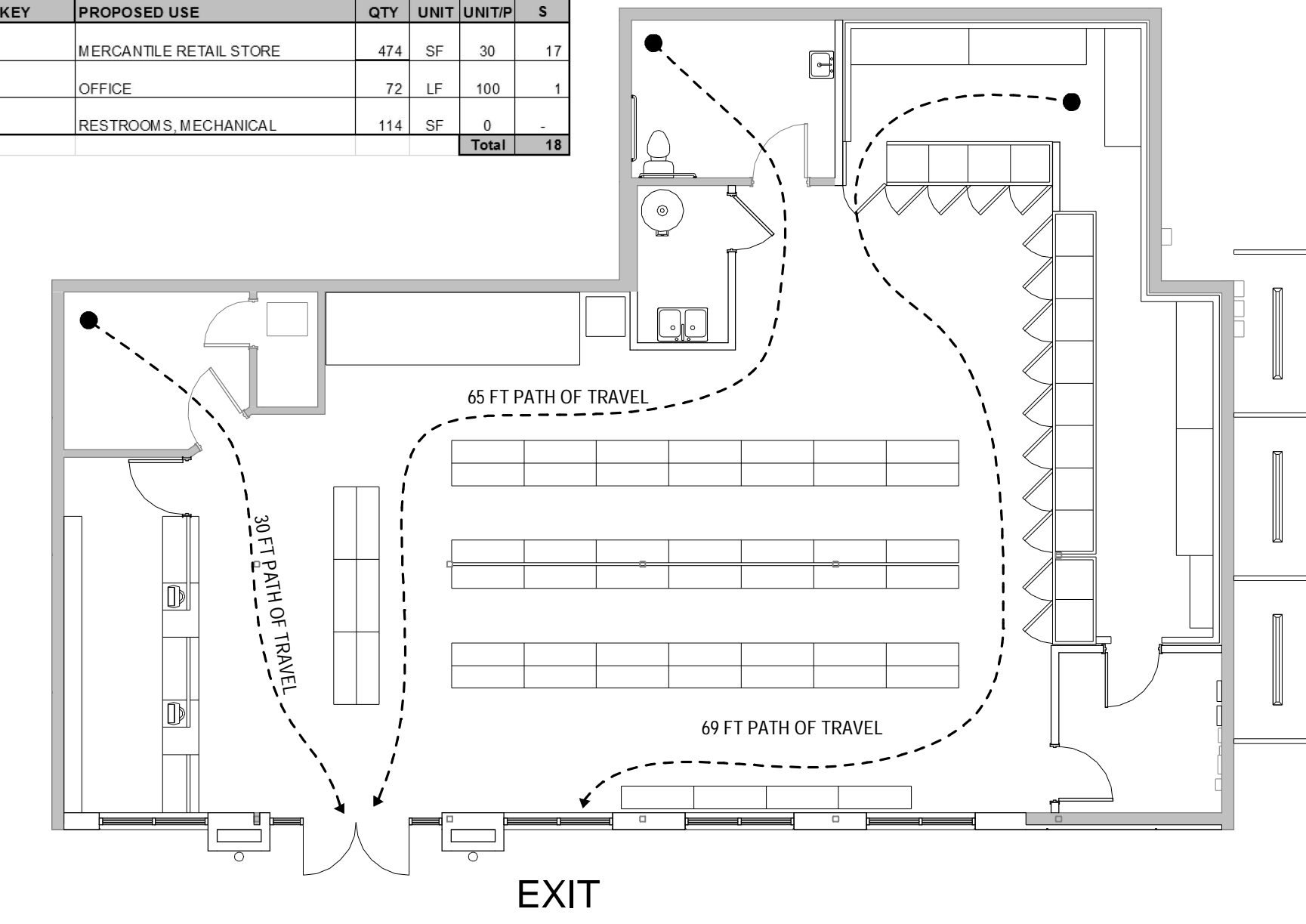
THE BASIC ZONING DISTRICT: B3 MODERATE-DENSITY NEIGHBORHOOD COMMERCIAL DISTRICT.
MINIMUM PARKING 1 SPACE PER 250 GSF (CONVENIENCE STORE USE)
CALCULATIONS MINIMUM REQUIRED:
2255 / 250 = 9 SPACES



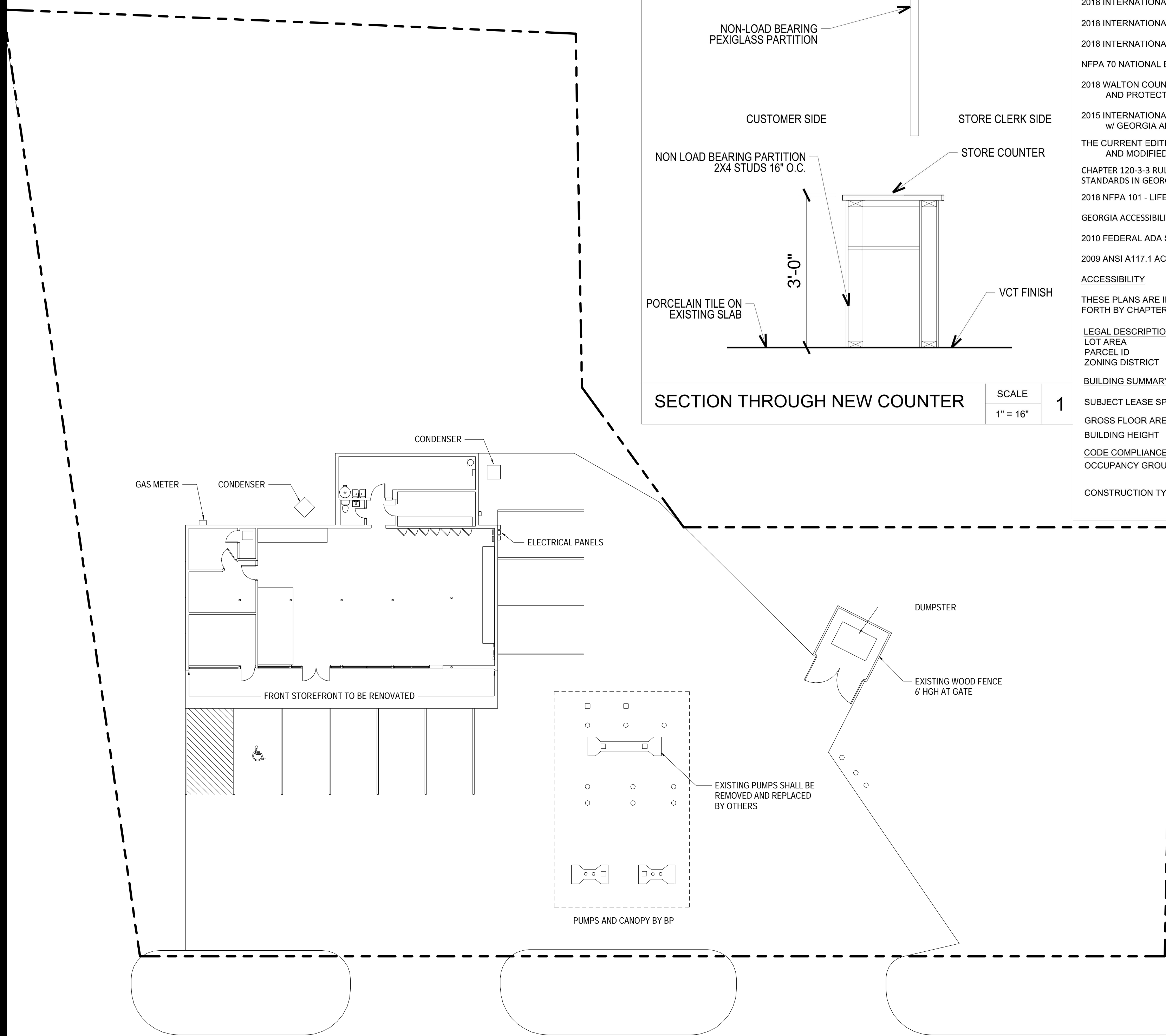
SECTION THROUGH NEW COUNTER SCALE 1" = 16" 1

OCCUPANCY CALCULATIONS (2018 NFPA 101 LSC, FIG. 7.3.1.2)

KEY	PROPOSED USE	QTY	UNIT	UNIT/PT	OCCUPANTS
	MERCANTILE RETAIL STORE	474	SF	30	17
	OFFICE	72	LF	100	1
	RESTROOMS, MECHANICAL	114	SF	0	0
Total					18



LIFE SAFETY PLAN SCALE 1/8" = 1'-0" 3



EXISTING SITE PLAN #615 SCALE 1" = 20" 2

BP GAS STATION & CONVENIENCE STORE
615 EAST SPRING STREET
MONROE, GEORGIA 30655

ISSUE: FOR CONSTRUCTION
DATE: 09/14/21




REVISION SCHEDULE:

No.	Description	Date

COVERSHEET
SHEET NAME:

G100
SHEET NUMBER:

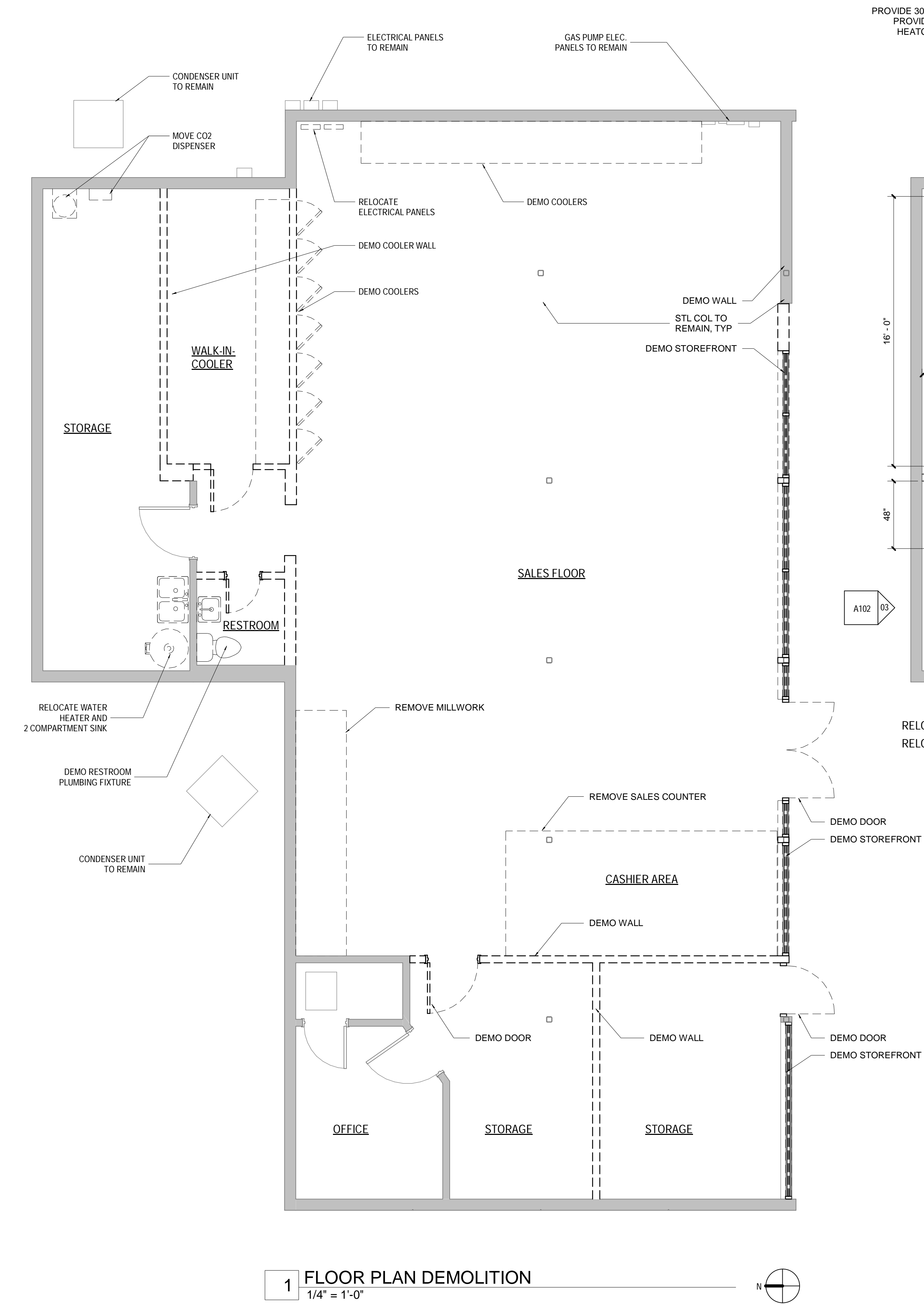
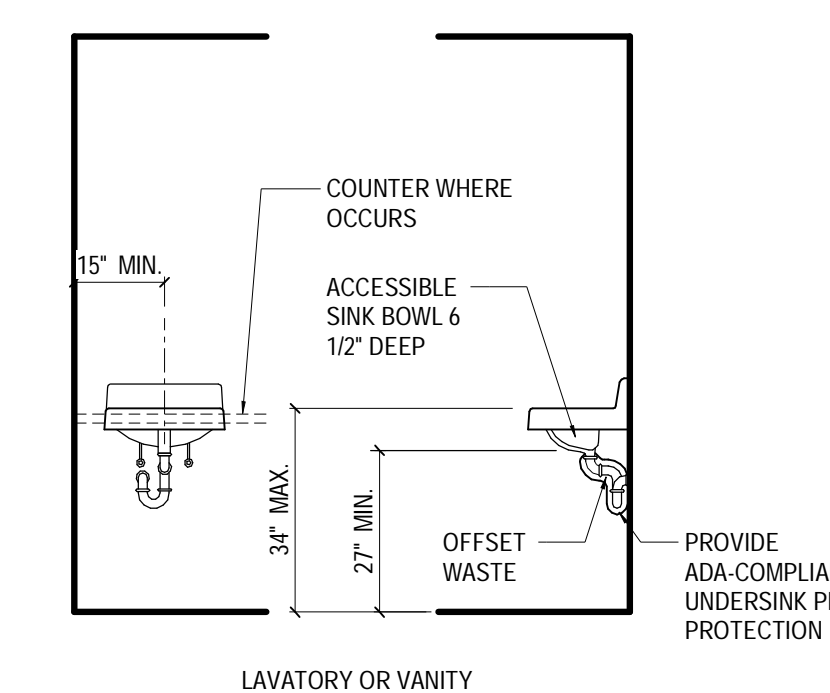
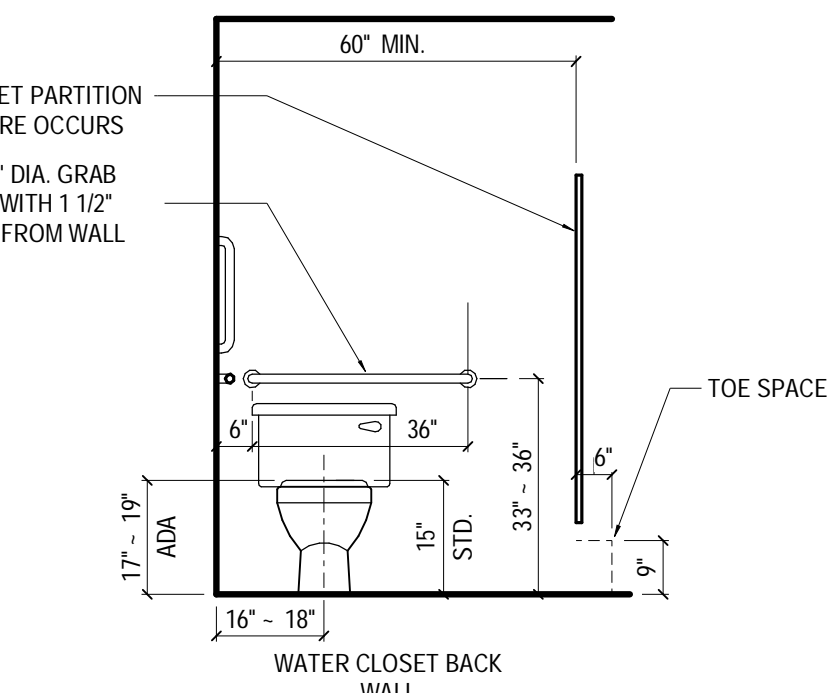
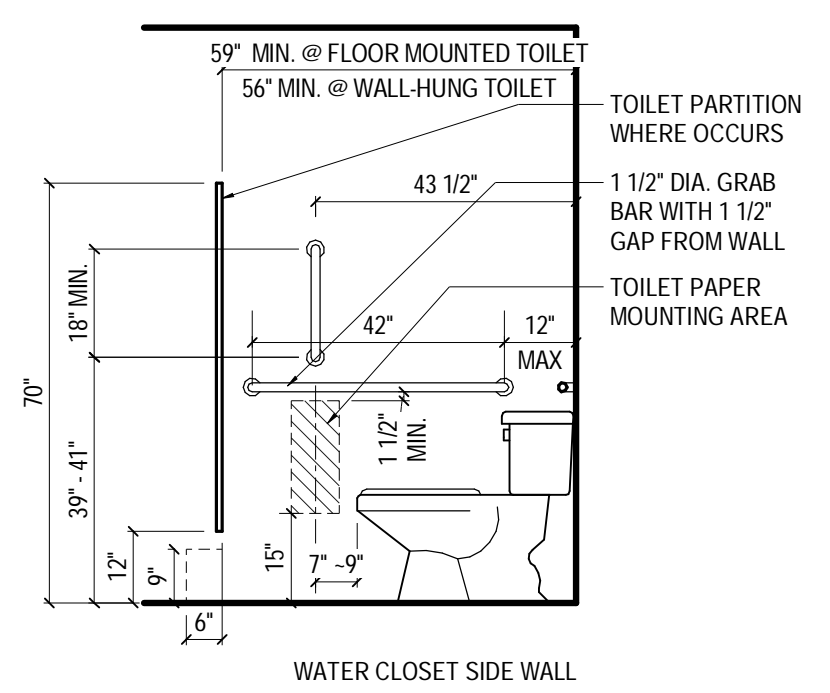
FLOOR PLAN LEGEND

-  EXISTING WALLS TO REMAIN
-  DEMOLISHED WALLS
-  NEW CONSTRUCTION WALLS

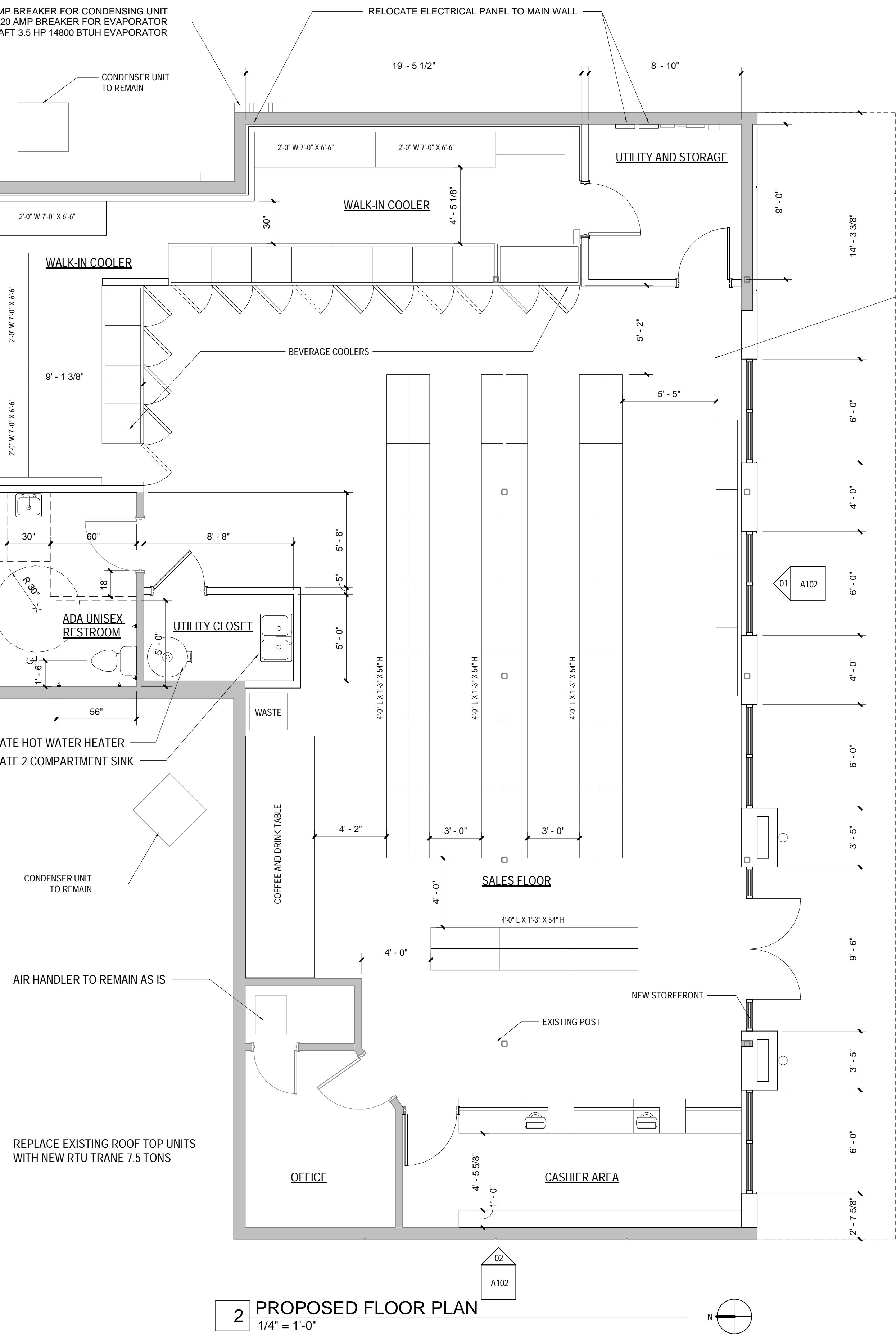
DEMOLISH ROOF OVERHANG ABOVE. GC IS RESPONSIBLE FOR INVESTIGATIVE DEMOLITION TO DETERMINE THE NATURE OF THE STRUCTURAL SYSTEM SUPPORTING THE OVERHANG AND REPORTING TO THE ARCHITECT BEFORE FURTHER DEMOLITION OF THE STRUCTURE. THE OWNER IS RESPONSIBLE FOR STRUCTURAL ENGINEERING FEES IF REQUIRED.

REPLACE ALL ACOUSTICAL CEILING TILES IN EXISTING CEILING GRID. ALL LIGHTING REMAINS AS IS.
ALL EXISTING DUCT WORK TO REMAIN AS IS.
PROVIDE NEW PORCELAIN TILE FLOORING THROUGHOUT.

TYPICAL PLUMBING FIXTURES



1 FLOOR PLAN DEMOLITION
1/4" = 1'-0"



2 PROPOSED FLOOR PLAN
1/4" = 1'-0"

RESTROOM ACCESSORIES

- FFFE
- MIRROR W/ SSTL FRAME BOBRICK B-165 24" X 36"
 - SOAP DISPENSER BOBRICK B-2111
 - PAPER TOWEL DISPENSER BOBRICK B-4221
 - TOILET PAPER DISPENSER BOBRICK B-4288
 - PAPER TOWEL DISPENSER / TRASH RECEPTACLE BOBRICK B-3942
 - SANITARY NAPKIN DISPENSER BOBRICK B-254
 - SANITARY NAPKIN DISPENSER BOBRICK B-2706C
 - HAND DRYER BOBRICK B-7120

BP GAS STATION & CONVENIENCE STORE
615 EAST SPRING STREET
MONROE, GEORGIA 30655

ISSUE: FOR CONSTRUCTION
DATE: 09/14/21

REVISION SCHEDULE:

No.	Description	Date

FLOORPLANS

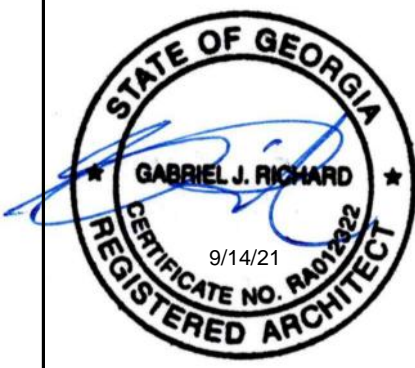
SHEET NAME:

A101

SHEET NUMBER:

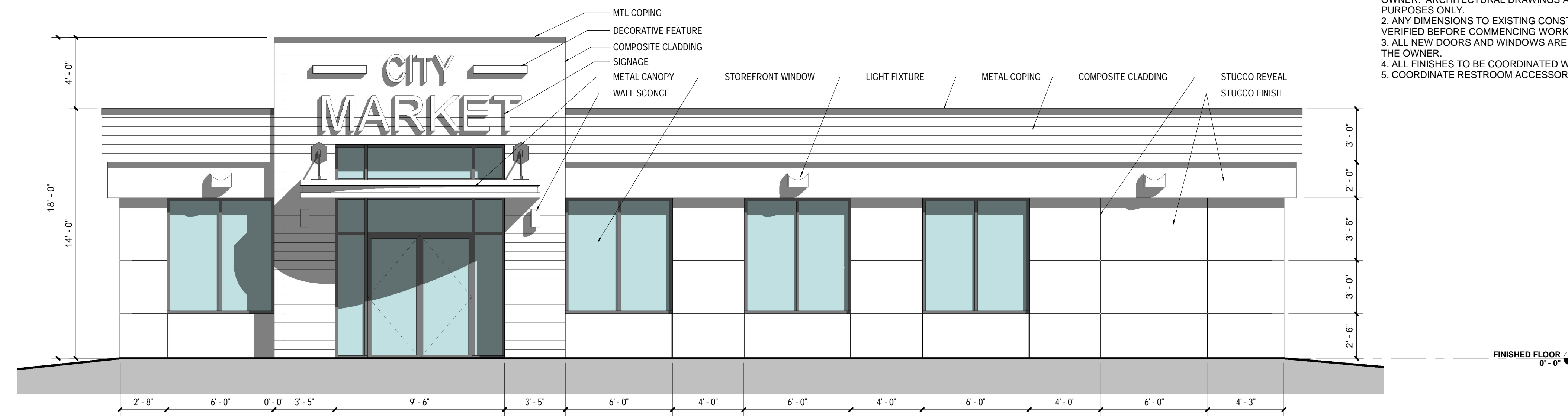


Gabriel J Richard AIA NCARB
CERTIFICATE NO. 66012322

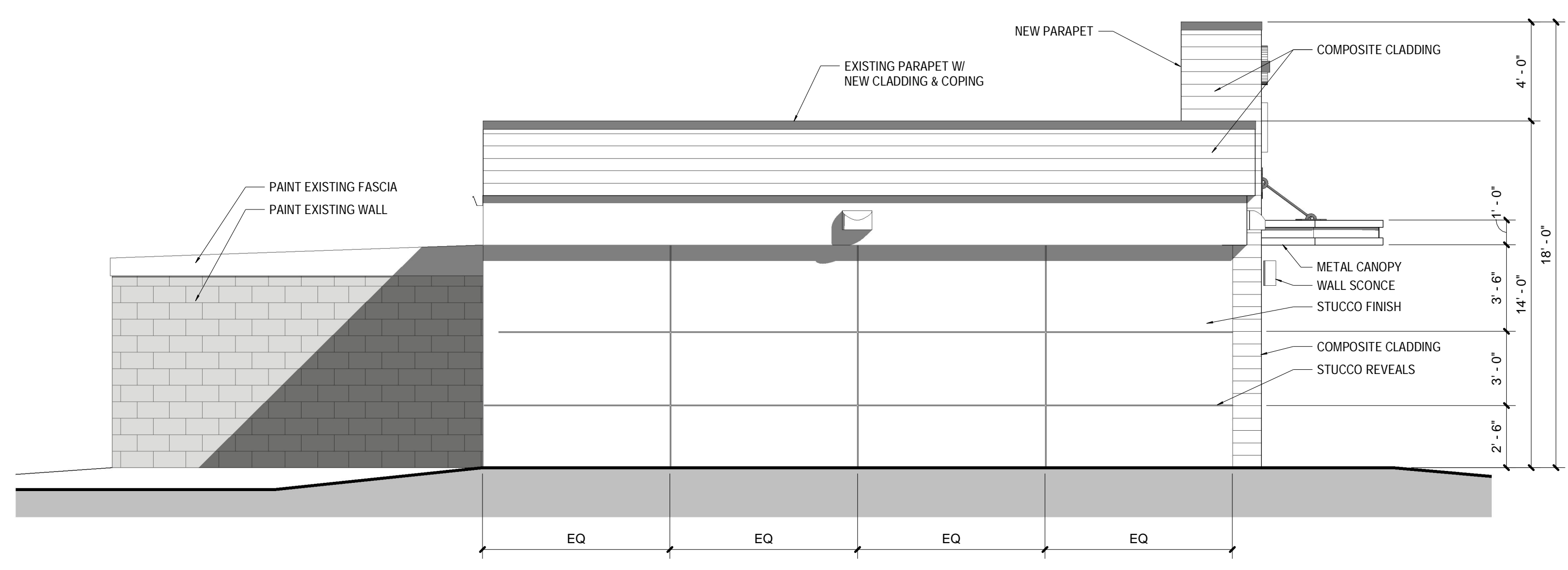


GENERAL NOTES

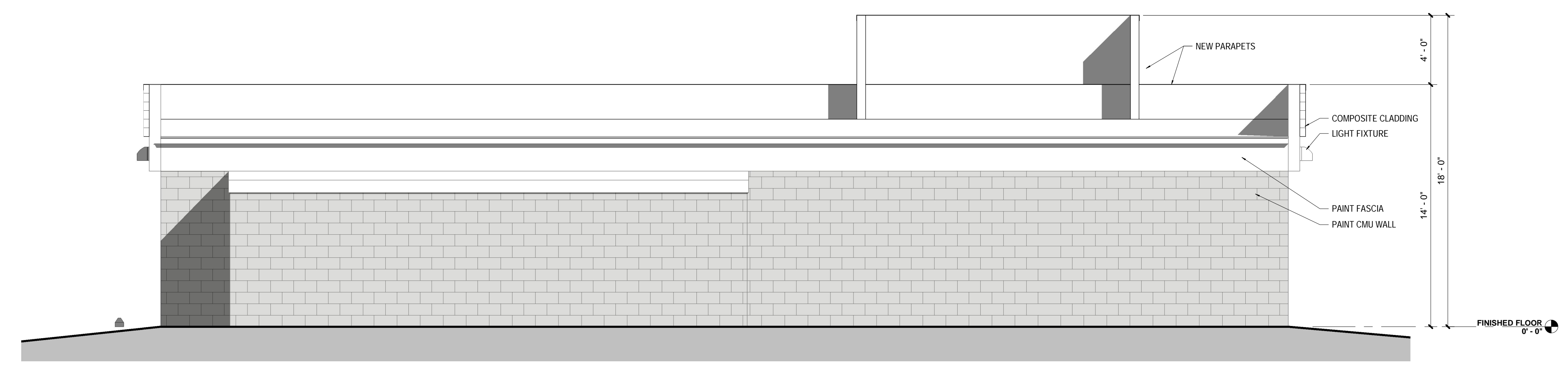
1. ALL ENGINEERING AND CONSTRUCTION DETAILING BY DESIGN/BUILD CONTRACTOR IN CONJUNCTION WITH BUILDING OWNER. ARCHITECTURAL DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY.
2. ANY DIMENSIONS TO EXISTING CONSTRUCTION SHALL BE FIELD VERIFIED BEFORE COMMENCING WORK.
3. ALL NEW DOORS AND WINDOWS ARE TO BE COORDINATED WITH THE OWNER.
4. ALL FINISHES TO BE COORDINATED WITH OWNER.
5. COORDINATE RESTROOM ACCESSORIES WITH OWNER.



01 FRONT ELEVATION
1/4" = 1'-0"



02 SIDE ELEVATION
1/4" = 1'-0"



03 BACK ELEVATION
1/4" = 1'-0"

BP GAS STATION & CONVENIENCE STORE
 615 EAST SPRING STREET
 MONROE, GEORGIA 30655

ISSUE: FOR CONSTRUCTION
DATE: 09/14/21

REVISION SCHEDULE:

No.	Description	Date

EXTERIOR ELEVATIONS

SHEET NAME:

A102

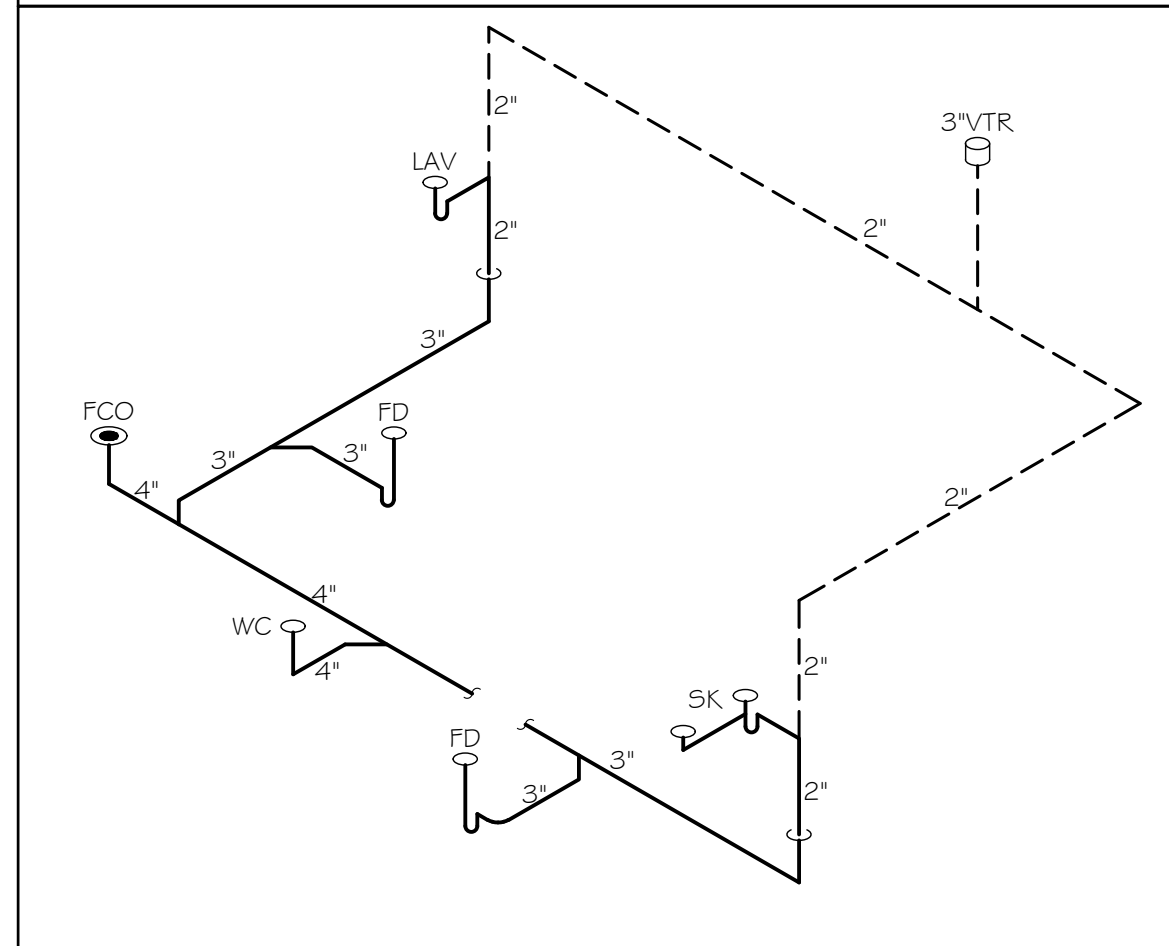
SHEET NUMBER:



PROFICIENT ENGINEERING
 6991 Peachtree Industrial Blvd Building 700
 Peachtree Corners, Georgia 30092
 404.330.9796
 PROJECT # 121522

Gabriel J Richard AIA NCARB
 CERTIFICATE NO. 9463353

WASTE & VENT ISOMETRIC



MARK	DESCRIPTION	WASTE RUNOUT	WASTE CONN.	VENT	WATER RUNOUT		WATER CONN.		SPECIFICATION
					CW	HW	CW	HW	
L-1	LAVATORY (ADA) - WALL HUNG	2"	1 1/2"	2"	1/2"	1/2"	3/8"	3/8"	WALL HUNG LAVATORY (AMERICAN STANDARD 'LUCERNE,' O355.01.2) WITH CONCEALED ARM CARRIER MOUNTING (ZURN Z123.1). PROVIDE 0.5GPM SINGLE HANDLE FAUCET WITH POLISHED CHROME FINISH (DELTA 501 LF-HGMHDF). HANDICAP DRAIN OFFSET W/GRID DRAIN (ZURN Z8746-FC) AND CHROME PLATED P-TRAP (ZURN Z8701-FC). CHROME PLATED BRASS ANGLE SUPPLY STOPS WITH FLEX SUPPLIES (MCGUIRE H1 6.5). INSULATE OFFSET, TRAP AND SUPPLY LINES (TRUEBRO 'LAVGUARD,' #1 O3 E-Z). PROVIDE THERMOSTATIC MIXING VALVE TO TEMPER HOT WATER TO 110 DEGREES (LEONARD 170-LF). LEAD FREE, ASSE 1070.
WC-1	WATER CLOSET (ADA) - TANK TYPE	4"	3"	2"	1/2"	---	1/2"	---	FLOOR MOUNTED, ADA TANK TYPE WATER CLOSET (AMERICAN STANDARD 'CADET PRO RIGHT HEIGHT,' 215AA.104). 1.28 GPF, WHITE VITREOUS CHINA, GRAVITY FED FLUSH ACTION. TOP OF RIM AT 1 6/5" AFF. HIGH EFFICIENCY WATERSENSE LISTED. PROVIDE ALTERNATE TANK CONFIGURATION (215AA.105) WITH TRIP LEVER ON RIGHT HAND SIDE IF NECESSARY TO HAVE LEVER ON OPEN SIDE OF WATER CLOSET. HEAVY DUTY OPEN FRONT SEAT. LESS COVER, WITH SELF-SUSTAINING CHECK HINGE (BEMIS 10555C). CHROME PLATED BRASS ANGLE SUPPLY STOP WITH 1 1/2" LONG X 3/8" FLEX SUPPLY (MCGUIRE M1 6.6).
FD-1	FLOOR DRAIN - GENERAL PURPOSE	3"	3"	2"	---	---	---	---	GENERAL PURPOSE FLOOR DRAIN (J.R. SMITH #2005) WITH FLASHING COLLAR, ADJUSTABLE STRAINER HEAD 4 5/8" ROUND NICKEL BRONZE STRAINER. PROVIDE SQUARE STRAINER FOR TILE APPLICATIONS. PROVIDE ASSE 1072 TRAP SEALER (ZURN Z1072).
FCO	FLOOR CLEANOUT	see plan	see plan	---	---	---	---	---	FLOOR CLEANOUT WITH CAST IRON BODY AND ADJUSTABLE NICKEL BRONZE TOP (J.R. SMITH 403.1). CLEANOUT SIZE SHALL MATCH LINE SIZE.

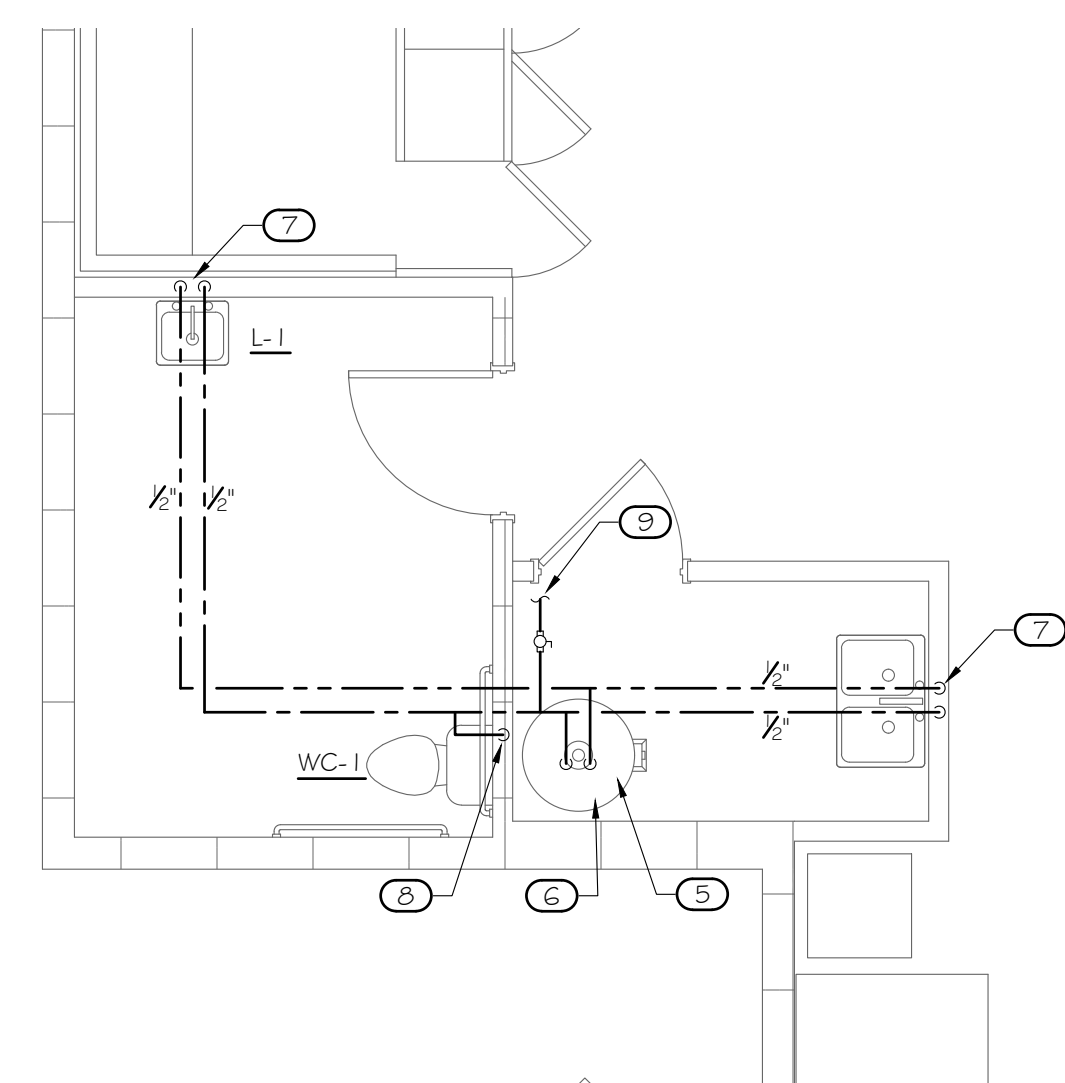
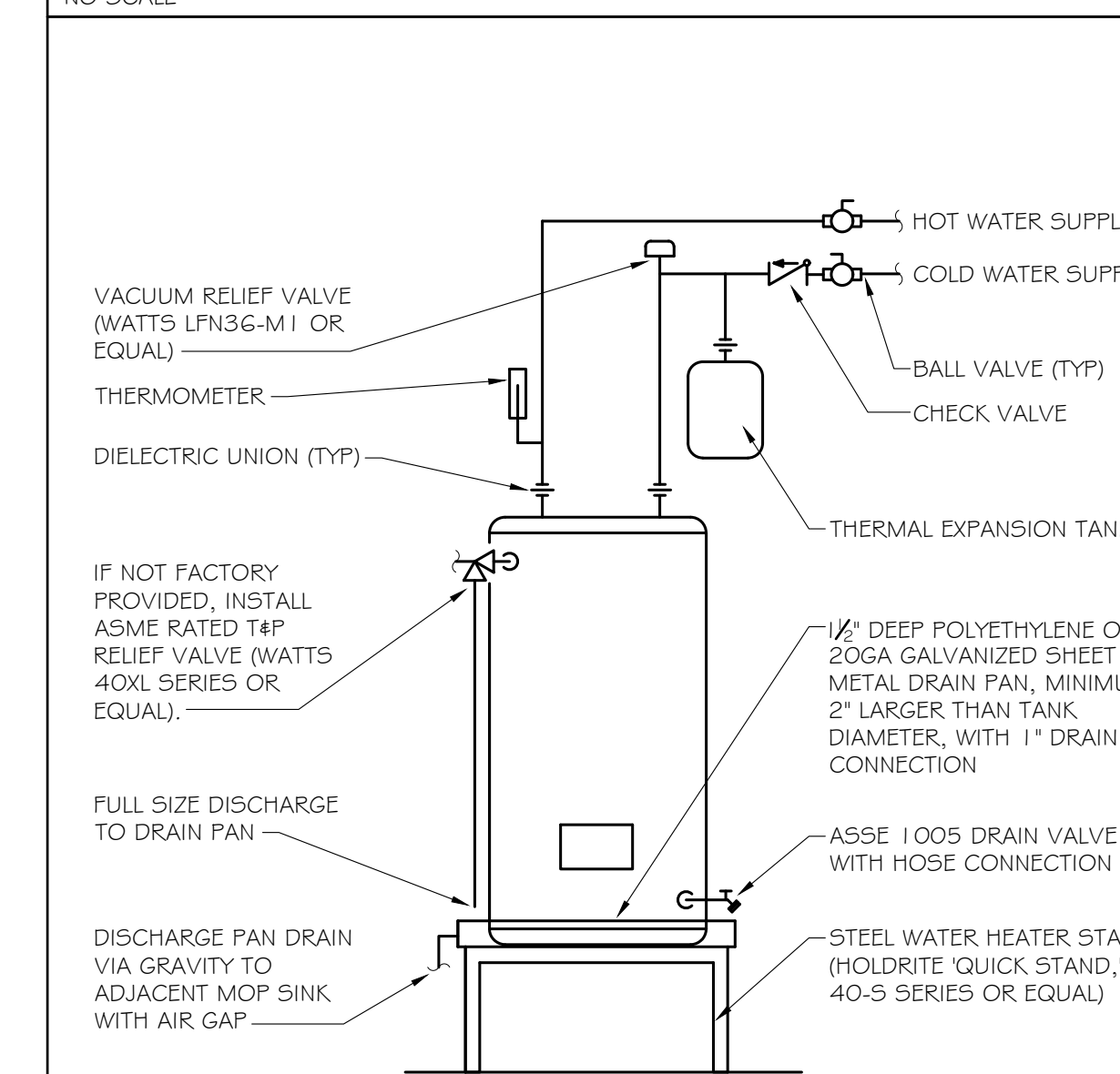
PRIOR TO SUBMITTAL OR PURCHASE, THE PLUMBING CONTRACTOR SHALL VERIFY FIXTURE SPECIFICATIONS WITH ARCHITECT/OWNER.

KEYNOTES

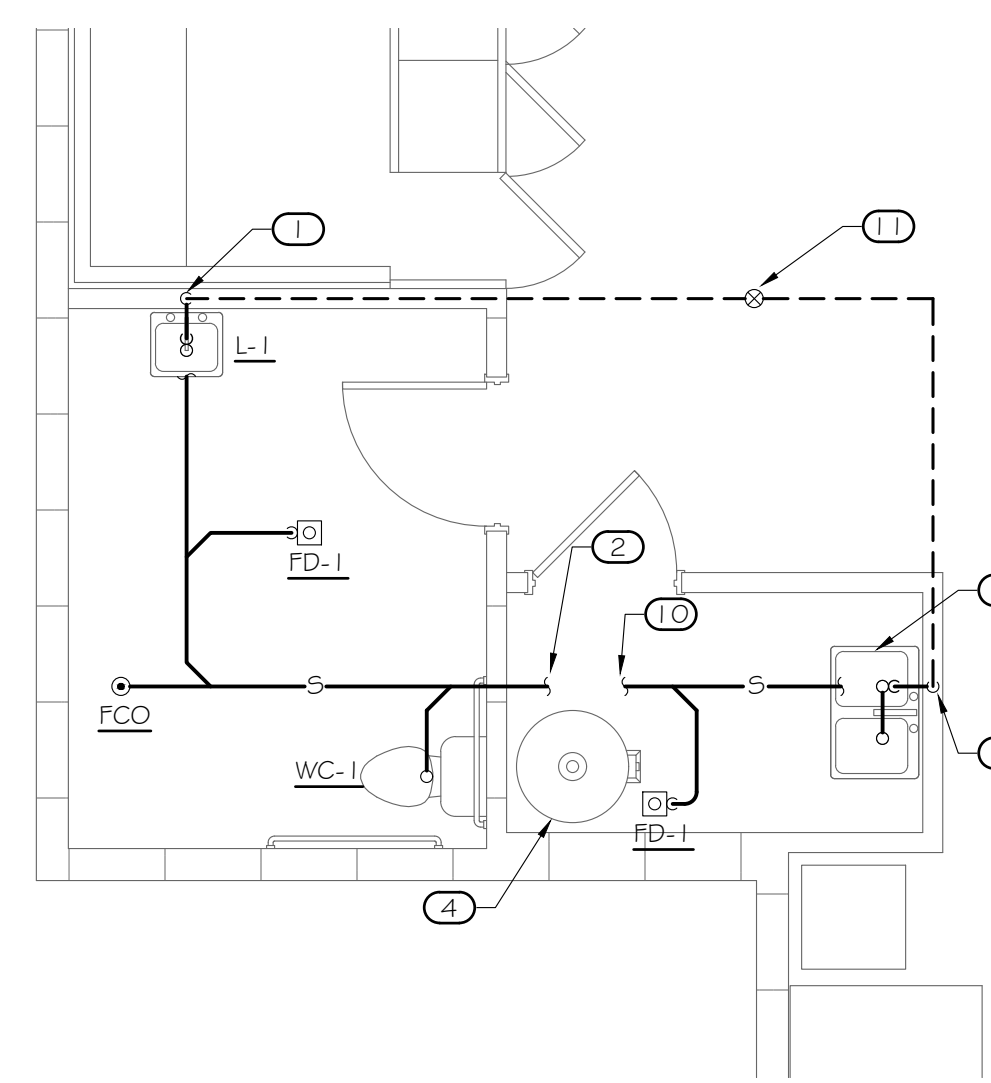
- ① 2" V DN
- ② 4" S B/W # CONNECT TO EXISTING SANITARY SEWER MAIN IN BUILDING. FIELD VERIFY EXACT LOCATION, DEPTH, AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK.
- ③ REINSTALL EXISTING 2-COMPARTMENT SINK AT THIS LOCATION
- ④ DISCHARGE DRAIN PAN TO FLOOR DRAIN
- ⑤ 3/4" CW & 3/4" HW TO STAND MOUNTED WATER HEATER, SEE DETAIL
- ⑥ REINSTALL EXISTING TANK WATER HEATER AT THIS LOCATION. CONTRACTOR SHALL ENSURE CURRENT INSTALLATION IS IN ACCORDANCE WITH WATER HEATER DETAIL ON THESE DRAWINGS.
- ⑦ 1/2" CW & 1/2" HW DN
- ⑧ 1/2" CW DN
- ⑨ 3/4" CW A/C # CONNECT TO EXISTING WATER PIPING, FIELD VERIFY SIZE AND EXACT LOCATION.
- ⑩ 3" S B/W # CONNECT TO EXISTING SANITARY SEWER MAIN IN BUILDING. FIELD VERIFY EXACT LOCATION, DEPTH, AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK.
- ⑪ 3" V UP TO 3" VTR

STAND MOUNTED ELECTRIC WATER HEATER

NO SCALE



2 FLOOR PLAN - WATER
 1/4" = 1'-0"



1 FLOOR PLAN - WASTE & VENT
 1/4" = 1'-0"

BP GAS STATION & CONVENIENCE STORE
615 EAST SPRING STREET
MONROE, GEORGIA 30655

ISSUE: FOR CONSTRUCTION
 DATE: 09/14/2021

REVISION SCHEDULE

No.	Description	Date

FLOOR PLANS

SHEET NAME:

P100

SHEET NUMBER:



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 11-10-2021
Description: PRELIMINARY PLAT CASE #357 MAB Monroe, LLC, Rowell Family Partnership, LLLP & Still Family Realty, LLC

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA

Since 1821
 THE CITY OF
Company of Purchase: NA

Recommendation: Staff recommends approval of this Preliminary Plat subject to the 8 corrections listed in the staff report.

Background: Partially developed with a regional shopping center, streets, parking and storm water management facilities

Attachment(s): Application, staff report and supporting documentation.



**Planning
City of Monroe, Georgia
PRELIMINARY PLAT REVIEW**

APPLICATION SUMMARY

PRELIMINARY PLAT CASE #: 357

DATE: November 5, 2021

STAFF REPORT BY: Brad Callender, City Planner

DEVELOPER: MAB Monroe, LLC

PROPERTY OWNER: MAB Monroe, LLC, Rowell Family Partnership, LLLP & Still Family Realty, LLC

DESIGN CONSULTANT: Columbia Engineering

LOCATION: North side of US Hwy 78, west side of N Broad Street, and east side of Charlotte Rowell Boulevard

ACREAGE: ±95.414

EXISTING ZONING: PCD (Planned Commercial District)

EXISTING LAND USE: Partially developed with a regional shopping center, streets, parking and storm water management facilities

ACTION REQUESTED: The owner is requesting Preliminary Plat approval for a planned commercial development.

STAFF RECOMMENDATION: Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021

CITY COUNCIL: December 14, 2021

PRELIMINARY PLAT REVIEW SUMMARY

The submitted Preliminary Plat requires the following corrections prior to signing the plat for approval. Due to the number and type of comments identified, additional corrections may be required upon submission of the revised Preliminary Plat.

1. Revise the front building setbacks on Lots 11 and 12 to be thirty-five (35) feet. (7.2.4(g))
2. For all lots utilizing shared access drives, provide a shared access easement across the frontage of each lot, i.e. across the frontage of Lots 5 through 10. (7.2.4(h))
3. Revise the portion of Pavilion Parkway between Lot 13 and North Broad Street to be located inside a seventy (70) foot right-of-way. The remnant tracts shall be owned and maintained by the owner of the shopping center. Combine the pylon sign tract with the remnant tract on the south side of the right-of-way. (7.2.4(i))

4. Revise Pavilion Parkway shown on the preliminary plat to include all pavement locations, i.e. turn lanes, decel lanes and primary lanes. Portions of the pavement are omitted or not shown correctly on the plan. (7.2.4(i))
5. Revise the preliminary plat to illustrate all improvements to the intersections at the entrances to the development at Charlotte Rowell Blvd. and N. Broad Street, i.e. turn lanes, decel lanes, acceleration tapers etc. (7.2.4(ii))
6. Provide a temporary turn-around at the northern terminus of Pavilion Avenue. (7.2.4(i))
7. Combine Lots 14 and 15 into one, fee-simple lot. The Monroe Pavilion Plan Book does not have a provision allowing zero (0) foot setbacks for commercial buildings. (7.2.4(l))
8. In the Authorization Statement (owner's certification), revise "Sketch Plat" to read "Preliminary Plat." (7.2.4(x))



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PRELIMINARY PLAT PERMIT

PERMIT #:	357	DESCRIPTION:	PRELIMINARY PLAT - Monroe Pavilion
JOB ADDRESS:	0 CHARLOTTE ROWELL BLV	LOT #:	
PARCEL ID:	M0050045B00	BLK #:	
SUBDIVISION:		ZONING:	PCD
ISSUED TO:	MAB Monroe, LLC	CONTRACTOR:	BRENT SCARBROUGH & COMPANY INC
ADDRESS:	525 N. Tyron St.	ADDRESS:	45 E AVIATION WAY
CITY, STATE ZIP:	Charlotte NC 28202	CITY, STATE ZIP:	NEWNAN GA 30263
PHONE:		PHONE:	7704618603
PROP. USE:	COMMERCIAL	DATE ISSUED:	11/03/2021
VALUATION:	\$ 0.00	EXPIRATION:	5/02/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov	# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-05	PRELIMINARY PLAT REVIEW (PER LOT)	\$ 360.00
FEE TOTAL		\$ 360.00
PAYMENTS		\$ -360.00
BALANCE		\$ 0.00


NOTES:

This request for a Preliminary Plat at the intersection of US Highway 78 at GA Highway 11 and Charlotte Rowell Blvd, tax parcel #M0050045B00 will be heard by the Monroe Planning Commission on November 16, 2021 at 5:30 pm and The Mayor and City Council at 6:00pm on December 14, 2021 in the City Council Chambers at City Hall, 215 N. Broad St Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

11/3/21
DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00290890
Cashier Name: LAURA WILSON
Terminal Number: 34
Receipt Date: 11/3/2021 4:04:21 PM

65

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference: 41208

Name: MAB Monroe, LLC	\$360.00
Total Balance Due:	\$360.00
Amount:	\$360.00
Total Payment Received:	\$360.00
Change:	\$0.00

Columbia Engineering
 LAND PLANNERS • CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS
 2862 BUFORD HIGHWAY, SUITE 200
 DULUTH, GA 30096
 (770) 925-0357

FIRST CITIZENS BANK
 64-10/610

66

CHECK DATE October 28, 2021

PAY Three Hundred Sixty and 00/100 Dollars

TO City of Monroe
 420 North Broad Street
 Monroe, GA 30655

AMOUNT 360.00

[Handwritten Signature]
 AUTHORIZED SIGNATURE

⑈04 208⑈ ⑆06 1 19 1848⑆00906366 18 19⑈

COLUMBIA ENGINEERING & SERVICES, INC.

41208

Check Date: 10/28/2021

Invoice Number	Date	Voucher	Amount	Discounts	Previous Pay	Net Amount
4273.01 Prelim Plat	10/28/2021	000000012981	360.00			360.00
City of Monroe		TOTAL	360.00			360.00
CES Operating - First	1	MONROE				

RECEIVED
10/15/21
#357

CITY OF MONROE

DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot Non-residential Projects - 50% of BP
NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe
Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments...
Two copies of the hydraulic calculations with water line design must accompany all applications.

THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name Monroe Pavilion

Project Location US Highway 78 at Georgia Highway 11 and Charlotte Rowell Boulevard

Proposed Use Commercial / Retail (Planned Commercial District) Map/Parcel M0050045B00, M0050045D00 & M0050045C00

Acreage 100.053 Ac. #S/D Lots 18 # Multifamily Units 0 # Bldgs 6

Water(provider) City of Monroe Sewer(provider) City of Monroe
MAB Monroe, LLC & Rowell Family Partnership &

Property Owner Still Family Realty, LLC Phone# _____

Address (MAB)525 N. Tryon Street, Suite 600 (MAB) Charlotte (MAB) NC (MAB) 28202
(Rowell) P.O. Box 1936 City (Rowell) Monroe State (Rowell) GA Zip (Rowell) 30655

Developer MAB Monroe, LLC Phone# _____

Address 525 N. Tryon Street, Suite 600 City Charlotte State NC Zip 28202

Designer Columbia Engineering & Services, Inc. Phone# 770-925-0357


Address 2862 Buford Highway, Suite 200 City Duluth State GA Zip 30096

Site Contractor Brent Scarbrough & Co., Inc. Phone# 770-461-8603

Address 45 E. Aviation Way City Newnan State GA Zip 30263

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property caused or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT:  DATE: 10/13/21
MAB MONROE, LLC

CITY OF MONROE

DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

RECEIVED
10/15/21

Application fees: Preliminary Subdivision Plats - \$20 per lot Non-residential Projects - 50% of BP
NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe
Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments...
Two copies of the hydraulic calculations with water line design must accompany all applications.

THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name Monroe Pavilion

Project Location US Highway 78 at Georgia Highway 11 and Charlotte Rowell Boulevard

Proposed Use Commercial / Retail (Planned Commercial District) Map/Parcel M0050045B00, M0050045D00 & M0050045C00

Acreege 100.053 Ac. #S/D Lots 18 # Multifamily Units 0 # Bldgs 6

Water(provider) City of Monroe Sewer(provider) City of Monroe

Property Owner MAB Monroe, LLC & Rowell Family Partnership & Still Family Realty, LLC Phone# 770-318-6153

Address (MAB)525 N. Tryon Street, Suite 600 (Rowell) P.O. Box 1936 City (MAB) Charlotte (Rowell) Monroe State (MAB) NC (Rowell) GA Zip (MAB) 28202 (Rowell) 30855

Developer MAB Monroe, LLC Phone# 704-331-6587

Address 525 N. Tryon Street, Suite 600 City Charlotte State NC Zip 28202

Designer Columbia Engineering & Services, Inc. Phone# 770-925-0357

Address 2862 Buford Highway, Suite 200 City Duluth State GA Zip 30096

Site Contractor Brent Scarbrough & Co., Inc. Phone# 770-461-8603

Address 45 E. Aviation Way City Newnan State GA Zip 30263

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property caused or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT:  DATE: 10/13/2021
Rowell



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 11-10-2021
Description: PRELIMINARY PLAT CASE #358, MUL Properties, LLC, 318 Alcovy Street

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA

Company of Purchase: NA

Recommendation: Staff recommends approval of this Preliminary Plat subject to the 2 corrections listed in the staff report.

Background: Partially developed with former American Legion building and associated parking. The owner is requesting Preliminary Plat approval for a planned residential development.

Attachment(s): Application, staff report and supporting documentation.



**Planning
City of Monroe, Georgia
PRELIMINARY PLAT REVIEW**

APPLICATION SUMMARY

PRELIMINARY PLAT CASE #: 358

DATE: November 5, 2021

STAFF REPORT BY: Brad Callender, City Planner

DEVELOPER: MUL Properties, LLC

PROPERTY OWNER: MUL Properties, LLC

DESIGN CONSULTANT: Smith Planning Group

LOCATION: West side of Alcovy Street – 318 Alcovy Street

ACREAGE: ±18.853

EXISTING ZONING: PRD (Planned Residential District)

EXISTING LAND USE: Partially developed with former American Legion building and associated parking

ACTION REQUESTED: The owner is requesting Preliminary Plat approval for a planned residential development.

STAFF RECOMMENDATION: Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021

CITY COUNCIL: December 14, 2021

PRELIMINARY PLAT REVIEW SUMMARY

The submitted Preliminary Plat requires the following corrections prior to signing the plat for approval. Due to the number and type of comments identified, additional corrections may be required upon submission of the revised Preliminary Plat.

1. Consider revising the proposed street names for the development. The street names should be reflective of an association with the project’s name and the U.S. armed services, i.e. street names of famous veteran icons, local veteran’s names, etc. (7.2.4(i))
2. Remove the approval signature block for the Monroe Combined Utilities.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PRELIMINARY PLAT PERMIT

PERMIT #:	358	DESCRIPTION:	PRELIMINARY PLAT - 71 Lots Veteran's Walk
JOB ADDRESS:	318 ALCOVY ST	LOT #:	37
PARCEL ID:	M0180020	BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	MUL Properties Inc	CONTRACTOR:	MUL Properties Inc
ADDRESS:	1022 Twelve Oaks Place	ADDRESS:	1022 Twelve Oaks Place
CITY, STATE ZIP:	Watkinsville GA 30677	CITY, STATE ZIP:	Watkinsville GA 30677
PHONE:		PHONE:	
PROP. USE		DATE ISSUED:	11/04/2021
VALUATION:	\$ 0.00	EXPIRATION:	5/03/2022
SQ FT	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION	770-207-4674	# OF OTHER ROOMS	
REQUESTS:	lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-05	PRELIMINARY PLAT REVIEW (PER LOT)	\$1,420.00
FEE TOTAL		\$ 1,420.00
PAYMENTS		\$-1,420.00
BALANCE		\$ 0.00

NOTES:

This request for a Preliminary Plat will be heard by the Monroe Planning Commission on November 16, 2021 at 5:30pm and by the Mayor & City Council on December 14, 2021 at 6:00pm in the City Council Chambers located in City Hall at 215 N. Broad St. Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

11/4/21
DATE

CITY OF MONROE

DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot Non-residential Projects - 50% of BP
NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe
Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments...
Two copies of the hydraulic calculations with water line design must accompany all applications.

RECEIVED
10/14/21

THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name VETERANS WALK

Project Location 318 ALCOVY ST., MONROE, GA 30655

Proposed Use MIXED USE Map/Parcel M0180005 & M0180020

Acreage 18.853 #S/D Lots 71 # Multifamily Units _____ # Bldgs _____

Water(provider) CITY OF MONROE Sewer(provider) CITY OF MONROE

Property Owner MUL PROPERTIES, LLC Phone# 770-267-2503

Address PO BOX 1588 City MONROE State GA Zip 30655

Developer MUL PROPERTIES, LLC Phone# 770-267-2503

Address PO BOX 1588 City MONROE State GA Zip 30655

Designer SMITH PLANNING GROUP Phone# 706-769-9515

Address 1022 TWELVE OAKS PL #201 City WATKINSVILLE State GA Zip 30677

Site Contractor _____ Phone# _____

Address _____ City _____ State _____ Zip _____

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property caused or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

358

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT: Bob Smith DATE: 10/14/2021



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00291107 74
Cashier Name: LAURA WILSON
Terminal Number: 34
Receipt Date: 11/4/2021 10:22:41 AM

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference: 23319

Name: MUL Properties Inc	\$1,420.00
Total Balance Due:	\$1,420.00
Amount:	\$1,420.00
Total Payment Received:	\$1,420.00
Change:	\$0.00



PLAN REVIEW # kak555
18-2374

EROSION SEDIMENT & POLLUTION CONTROL PLAN REVIEW WALTON COUNTY SOIL AND WATER CONSERVATION DISTRICT

<u>5/26/20 revised 7/9/20</u> DATE ON PLANS	<u>Monroe</u> LIA	<u>7/14/2020</u> DATE RECEIVED
<u>18.853</u> TOTAL PROJECT ACRES	<u>17.5</u> TOTAL DISTURBED ACRES	
<u>Veterans Walk</u> NAME OF PROJECT	<u>318 Alcovy Street, Monroe, GA 30655</u> ADDRESS (INCLUDING COUNTY)	
<u>33.785686 -83.716200</u> SPECIFIC INFORMATION ON PROJECT (GPS Location)		
<u>Charles R. Smith</u> DESIGN PROFESSIONAL	<u>22829/11-14-2021</u> LEVEL II CERTIFICATION/EXPIRATION DATE	<u>CdC2/CdB2/Alp/CzC3/CzB3/CdD2</u> SOIL SERIES
<u>Mul Properties LLC c/o Paul Rosenthal</u> APPLICANT	<u>P.O. Box 1588, Monroe, GA 30655</u> ADDRESS	<u>770-267-2503</u> PHONE NUMBER

REPORT OF TECHNICAL REVIEW

The Erosion Sediment and Pollution Control Plan for the above named project or activity meets the requirements of the Erosion and Sediment Control Ordinance or Rules and Regulations Governing Land-Disturbing Activities in Monroe under the provisions of the Erosion and Sedimentation Act of 1975, as amended.

The Erosion Sediment and Pollution Control Plan for the above named project or activity does not meet the requirements in Monroe through failure to include the following:

Contingent upon addressing the following:

41. Please show/delineate the entire buffer area(s) as they are disjointed

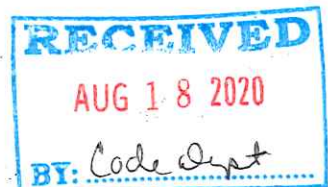
> Approvals are contingent upon providing all necessary permits and variances. Any questions, comments, or concerns regarding this plan review should be addressed to:

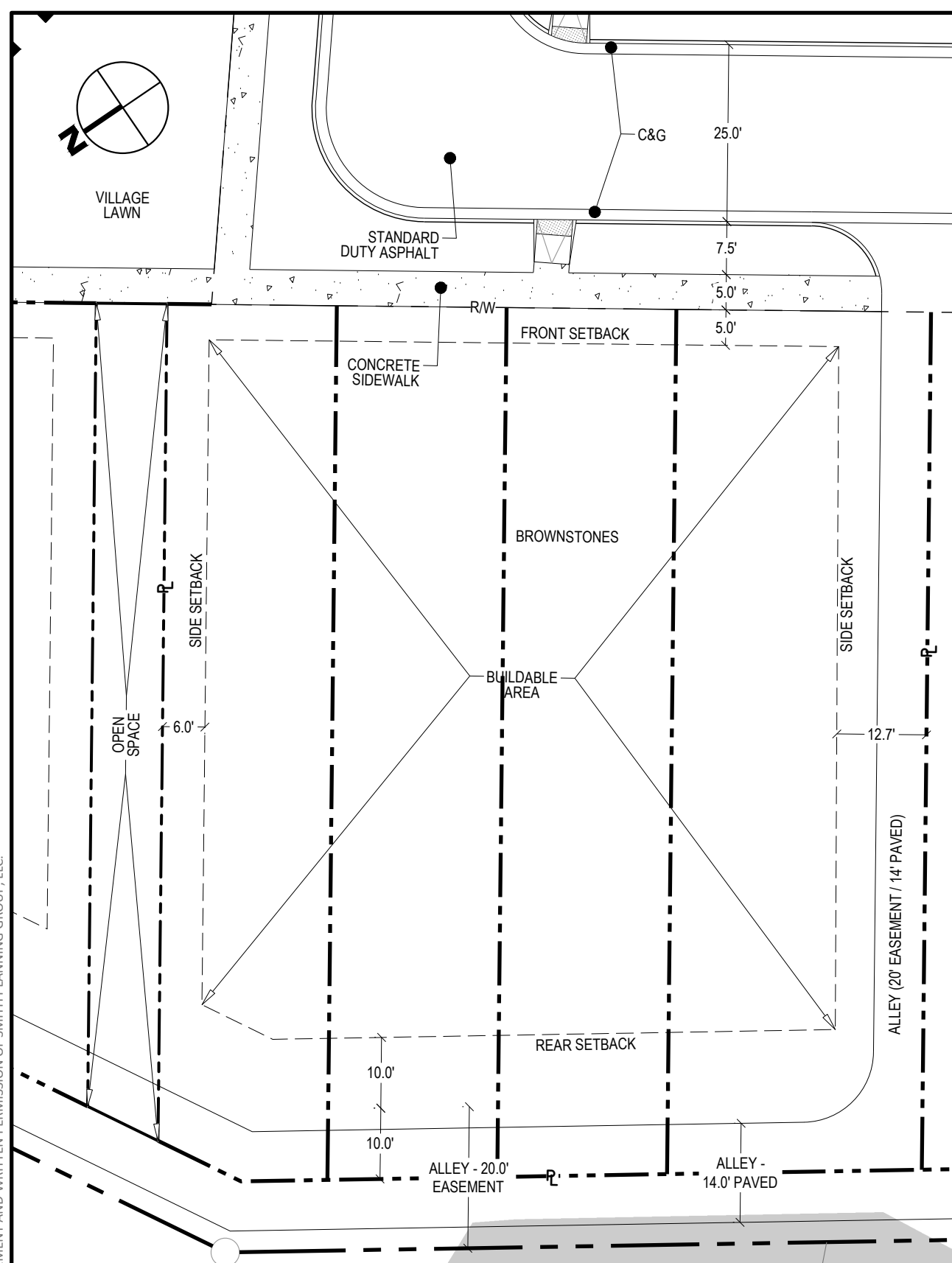
Technical review by:	<u>Kari Ann Kleist</u>
Level II Certification #/Expiration Date:	<u>88064/8.29.22</u>
Organization:	<u>GSWCC</u>
Date:	<u>07/29/20</u>

The technical review as accomplished and reported above was done at the request of and is concurred in by the Walton County Soil and Water Conservation District.

DISTRICT SUPERVISOR

DATE





PROPOSED PRD DIMENSIONAL REGULATION

SINGLE FAMILY RESIDENTIAL

LOT
MIN LOT AREA: NONE
LOT DENSITY: 8.0 UPA
MAX LOT COVERAGE: 70%
MIN LOT WIDTH: 40-FT DETACHED
MIN LOT FRONTAGE: NONE

YARD
MIN FRONT YARD: 5-FT
MIN SIDE YARD: 0-FT (DETACHED GARAGE)
MIN REAR YARD: 10-FT

BUILDING
MAX BUILDING HEIGHT: 40-FT
MIN BUILDING FOOTPRINT: NONE
MIN BUILDING WIDTH: 16-FT

BROWNSTONES

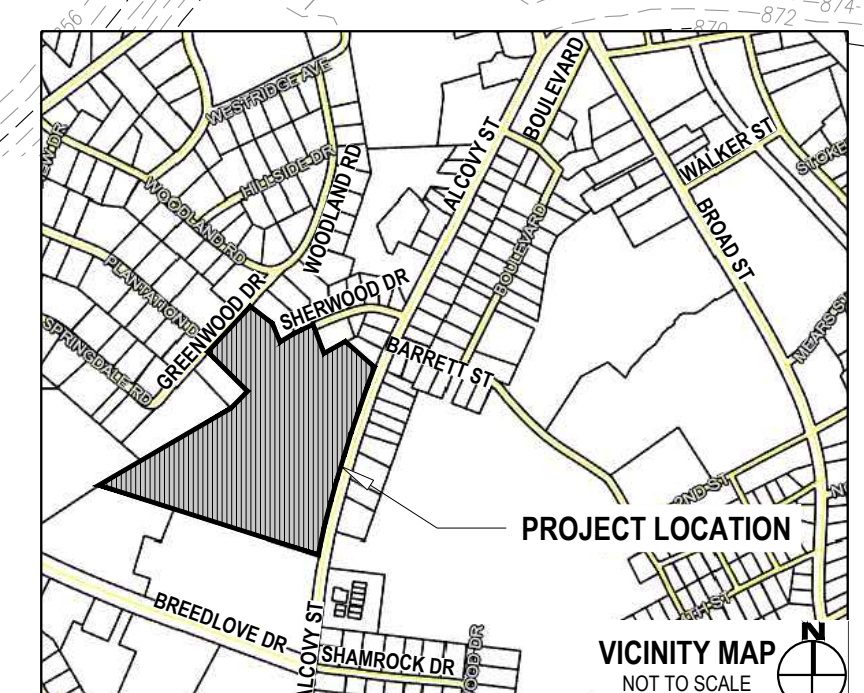
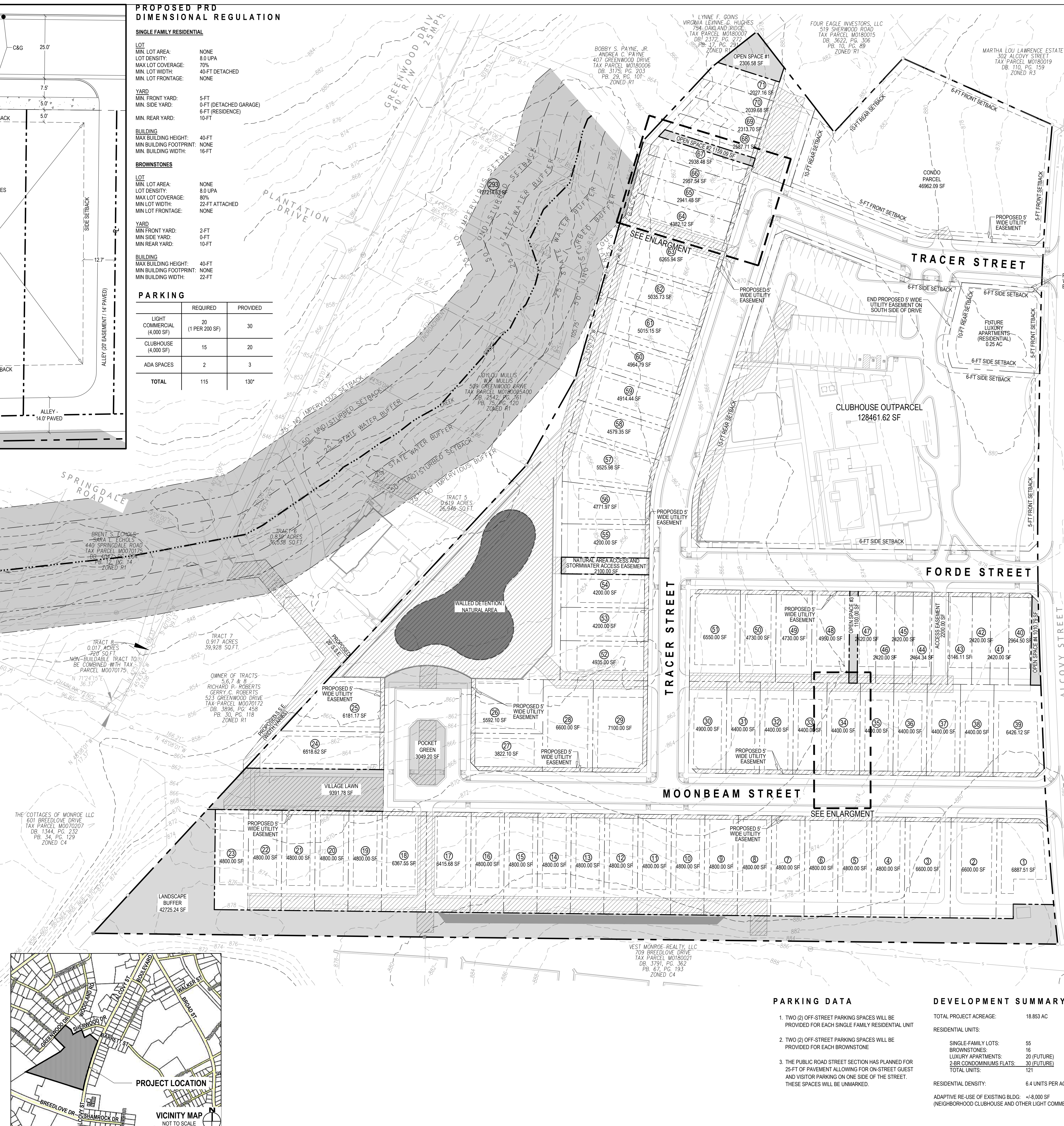
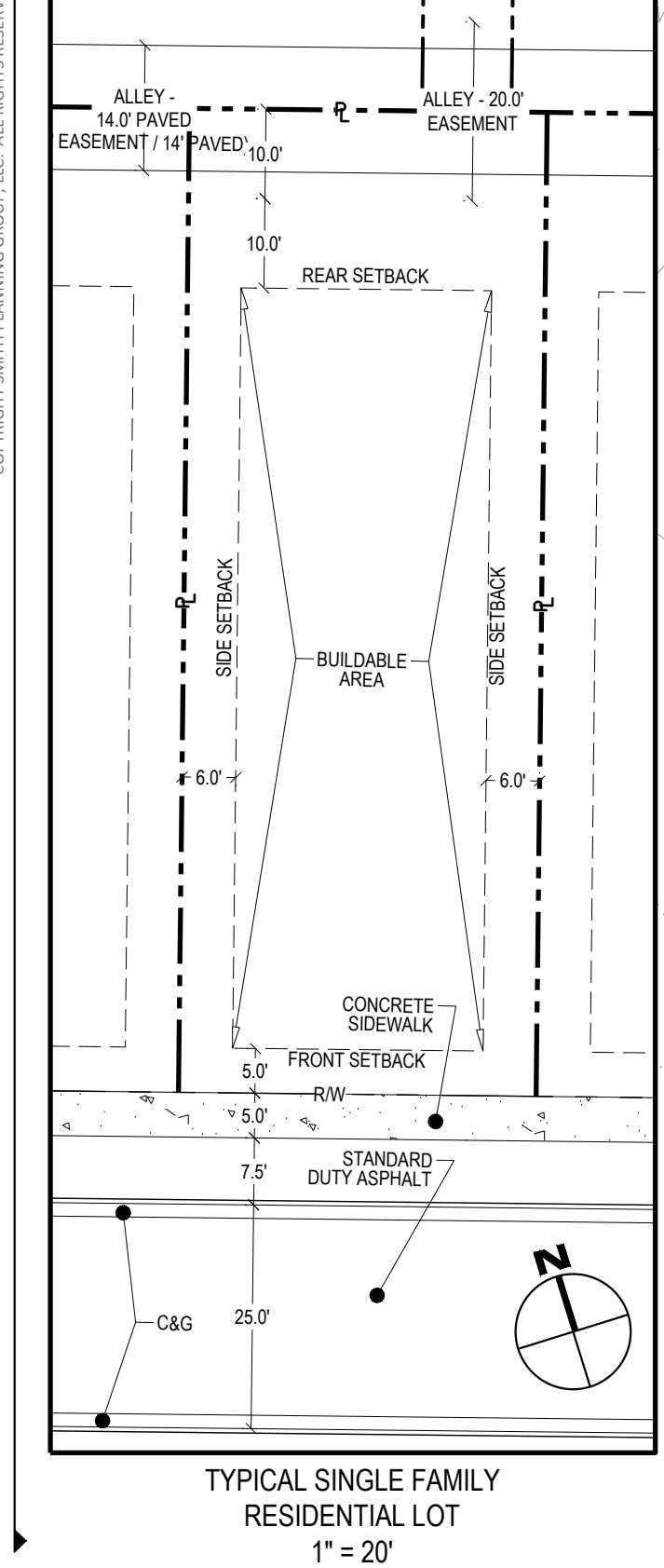
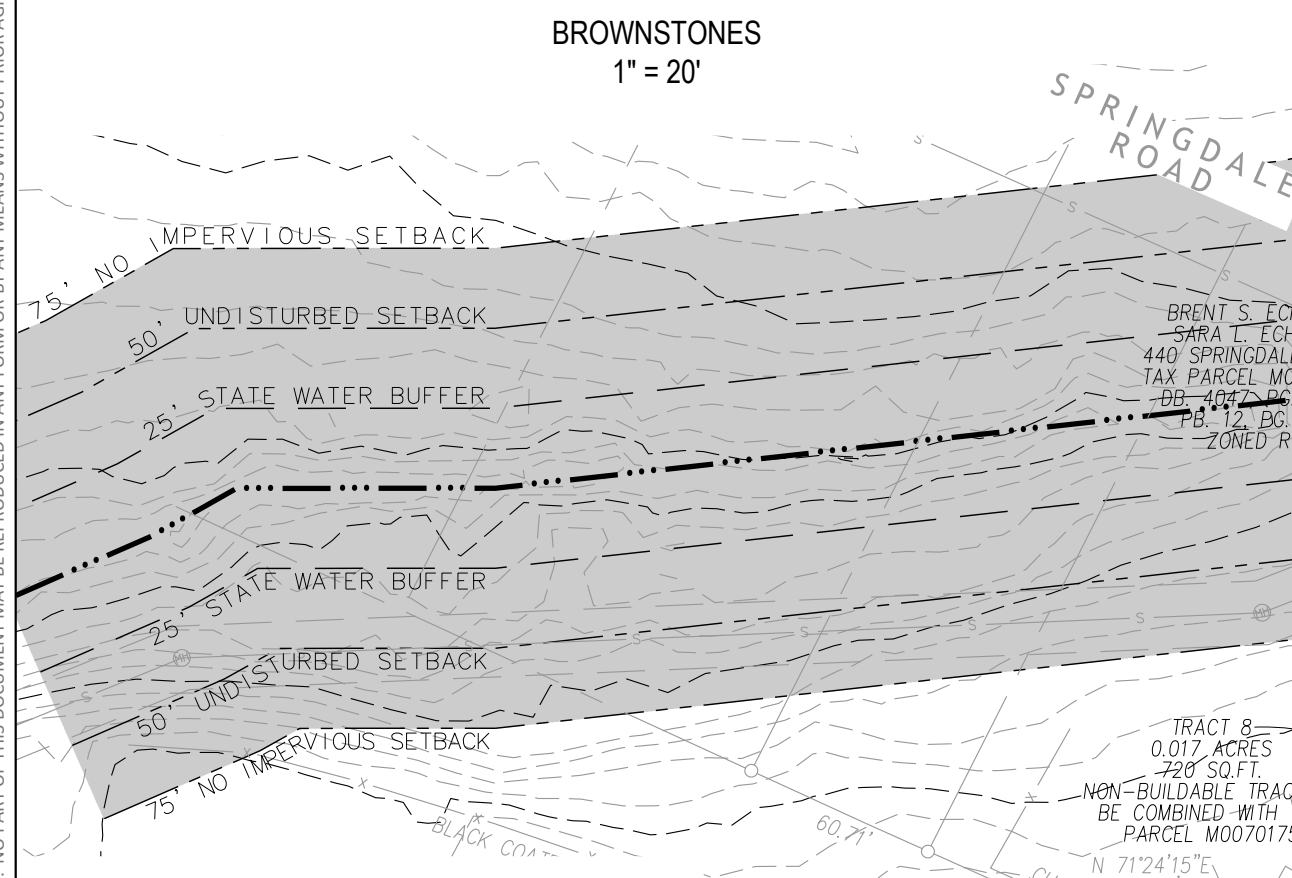
LOT
MIN LOT AREA: NONE
LOT DENSITY: 8.0 UPA
MAX LOT COVERAGE: 80%
MIN LOT WIDTH: 22-FT ATTACHED
MIN LOT FRONTAGE: NONE

YARD
MIN FRONT YARD: 2-FT
MIN SIDE YARD: 0-FT
MIN REAR YARD: 10-FT

BUILDING
MAX BUILDING HEIGHT: 40-FT
MIN BUILDING FOOTPRINT: NONE
MIN BUILDING WIDTH: 22-FT

PARKING

	REQUIRED	PROVIDED
LIGHT COMMERCIAL (4,000 SF)	20 (1 PER 200 SF)	30
CLUBHOUSE (4,000 SF)	15	20
ADA SPACES	2	3
TOTAL	115	130*



PROJECT DATA:

- OWNER / DEVELOPER: MUI PROPERTIES LLC, P.O. BOX 1588, MONROE, GA 30655
- PARCEL / ADDRESS: M018005 AND M0180220, 318 ALCOVY STREET
- TOTAL PROJECT ACREAGE: +/- 18.853 AC
- LAND LOT: 37 AND 38, DISTRICT: 3RD
- EXISTING ZONING: PRD, PROPOSED USE: MIXED-USE
- WATER SUPPLY: CITY OF MONROE, SEWERAGE DISPOSAL: CITY OF MONROE, GARBAGE COLLECTION: CITY OF MONROE
- THIS PROJECT SHALL MEET ALL CITY OF MONROE, GEORGIA ORDINANCES PERTAINING TO SIGNS, SIDEWALKS, STREET LIGHTING, STREET TREES, AND SOLID WASTE COLLECTION. ALL LIGHTING FIXTURES MUST BE FULLY-SHIELDED IN ACCORDANCE WITH CITY OF MONROE, GEORGIA STANDARDS TO ENSURE DOWNWARD ILLUMINATION ONLY.
- STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH CITY OF MONROE, GEORGIA ORDINANCES AND REGULATIONS.
- THIS PROJECT IS TO BE CONSTRUCTED IN A SINGLE PHASE, BEGINNING UPON APPROVAL OF ALL REQUIRED PLANS AND AFTER OBTAINING ALL REQUIRED PERMITS.
- NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAIN ACCORDING TO FIRM MAP NUMBERS 132970136E AND 132970137E, DATED 12/08/2016. THERE ARE NO ENVIRONMENTAL AREAS ON OR ADJACENT TO THIS SITE.
- PROPOSED UTILITIES: WATER, POWER, TELEPHONE, AND CABLE ALL UTILITIES ARE TO BE INSTALLED UNDER GROUND. UTILITIES WILL BE CONTAINED WITHIN DEDICATED EASEMENTS.
- BOUNDARY AND INFORMATION TAKEN FROM RECORD PLATS AND A SURVEY PREPARED BY ALCOVY SURVEYING AND ENGINEERING, INC. DATED 04/14/18. TOPOGRAPHIC INFORMATION FROM SAME.
- NO SIGNS ARE PROPOSED AT THIS TIME. A SEPARATE PERMIT WILL BE FILED FOR SIGN.
- DEVELOPMENT SHALL BE IN ACCORDANCE WITH REZONE PERMIT #18-00387 AND 388.

AUTHORIZATION STATEMENT:

I HEREBY SUBMIT THIS PRELIMINARY PLAT AS AUTHORIZED AGENT/OWNER OF ALL PROPERTY SHOWN THEREON, AND CERTIFY THAT ALL CONTIGUOUS PROPERTY UNDER MY OWNERSHIP OR CONTROL IS INCLUDED WITHIN THE BOUNDARIES OF THIS PRELIMINARY PLAT, AS REQUIRED BY THE DEVELOPMENT REGULATIONS.

SIGNATURE OF AUTHORIZED AGENT/OWNER _____ DATE _____

CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE:

THIS PRELIMINARY PLAT HAS BEEN REVIEWED AND APPROVED FOR GENERAL COMPLIANCE WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATIONS OF THE CITY OF MONROE.

CODE ENFORCEMENT OFFICER _____ DATE _____

CERTIFICATE OF APPROVAL BY THE CITY OF MONROE COMBINED UTILITIES:

THE LOTS SHOWN HEREON AND PLANS FOR WATER AND SEWAGE COLLECTION AND DISPOSAL HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF MONROE WATER & GAS DEPARTMENT, AND ARE APPROVED FOR DEVELOPMENT.

DATED THIS ____ DAY OF _____, 20__

BY: _____

TITLE: _____

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION:

THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE PLANNING COMMISSION. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND WILL BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL.

DATED THIS ____ DAY OF _____, 20__

BY: _____ CHAIRMAN

BY: _____ SECRETARY

CERTIFICATE OF APPROVAL BY THE MAYOR AND COUNCIL:

THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND WILL BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL.

DATED THIS ____ DAY OF _____, 20__

BY: _____ MAYOR

BY: _____ CITY CLERK

PARKING DATA

- TWO (2) OFF-STREET PARKING SPACES WILL BE PROVIDED FOR EACH SINGLE FAMILY RESIDENTIAL UNIT
- TWO (2) OFF-STREET PARKING SPACES WILL BE PROVIDED FOR EACH BROWNSTONE
- THE PUBLIC ROAD STREET SECTION HAS PLANNED FOR 25-FT OF PAVEMENT ALLOWING FOR ON-STREET GUEST AND VISITOR PARKING ON ONE SIDE OF THE STREET. THESE SPACES WILL BE UNMARKED.

DEVELOPMENT SUMMARY

TOTAL PROJECT ACREAGE: 18.853 AC

RESIDENTIAL UNITS:

- SINGLE-FAMILY LOTS: 55
- BROWNSTONES: 16
- LUXURY APARTMENTS: 20 (FUTURE)
- 2-BR CONDOMINIUMS FLATS: 30 (FUTURE)
- TOTAL UNITS: 121

RESIDENTIAL DENSITY: 6.4 UNITS PER ACRE

ADAPTIVE RE-USE OF EXISTING BLDG: +/-8,000 SF (NEIGHBORHOOD CLUBHOUSE AND OTHER LIGHT COMMERCIAL)

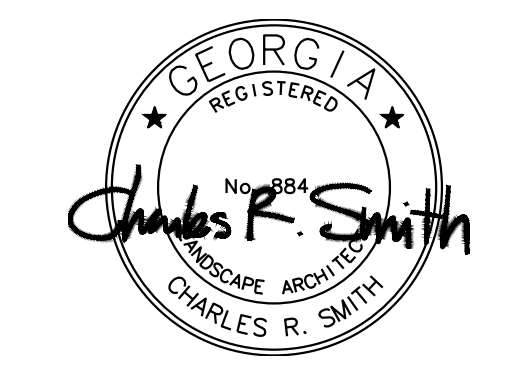


LAND PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

1022 TWELVE OAKS PLACE, STE 201
WATKINSVILLE, GA 30677
(706) 769-9515
(706) 769-9595 FAX
www.smithplanninggroup.com

VETERANS WALK
CITY OF MONROE, GEORGIA

SEALS:



SHEET TITLE:

PRELIMINARY PLAT

SHEET ISSUE: 05/26/20 PROJECT NO. 18-2374

NO.	DATE	DESCRIPTION
1	07/09/20	ADDRESS COMMENTS
2	08/10/20	ADDRESS COMMENTS

SHEET NO. **PP-10**



LAND PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
1022 TWELVE OAKS PLACE, STE 201
WATKINSVILLE, GA 30677
(706) 769-9515
(706) 769-9595 FAX
www.smithplanninggroup.com

PAVING LEGEND:

- HD = HEAVY DUTY
- SD = STANDARD DUTY
- HD CONCRETE PAVING
- SD ASPHALT PAVING
- SD CONCRETE PAVING
- HD ASPHALT PAVING

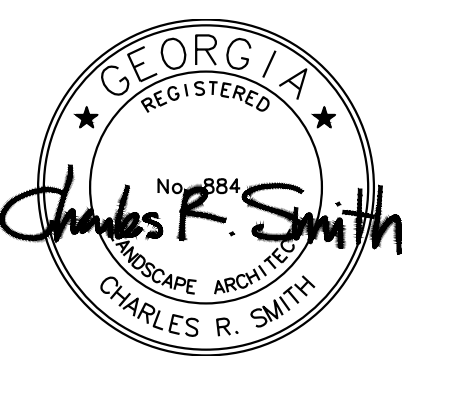
REFER TO DETAILS FOR SECTION REQUIREMENTS.
ALL RADII'S UNLESS OTHERWISE NOTED.



COPYRIGHT SMITH PLANNING GROUP, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT PRIOR AGREEMENT AND WRITTEN PERMISSION OF SMITH PLANNING GROUP, LLC.

VETERANS WALK
CITY OF MONROE, GEORGIA

SEALS:



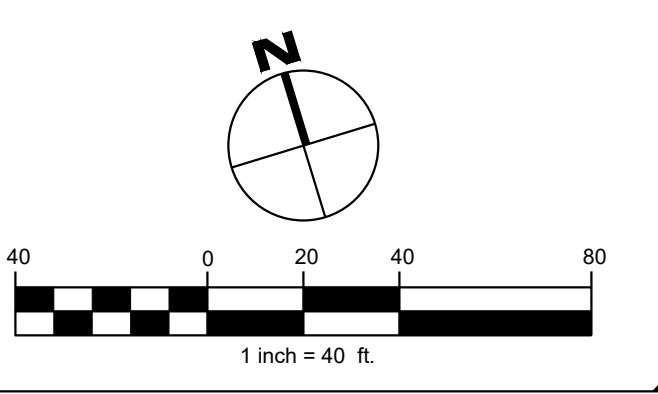
SHEET TITLE:

PRELIMINARY PLAT
ENLARGEMENT

SHEET ISSUE: 05/26/20 PROJECT NO. 18-2374

NO.	DATE	DESCRIPTION
1	07/09/20	ADDRESS COMMENTS
2	08/10/20	ADDRESS COMMENTS

SHEET NO.



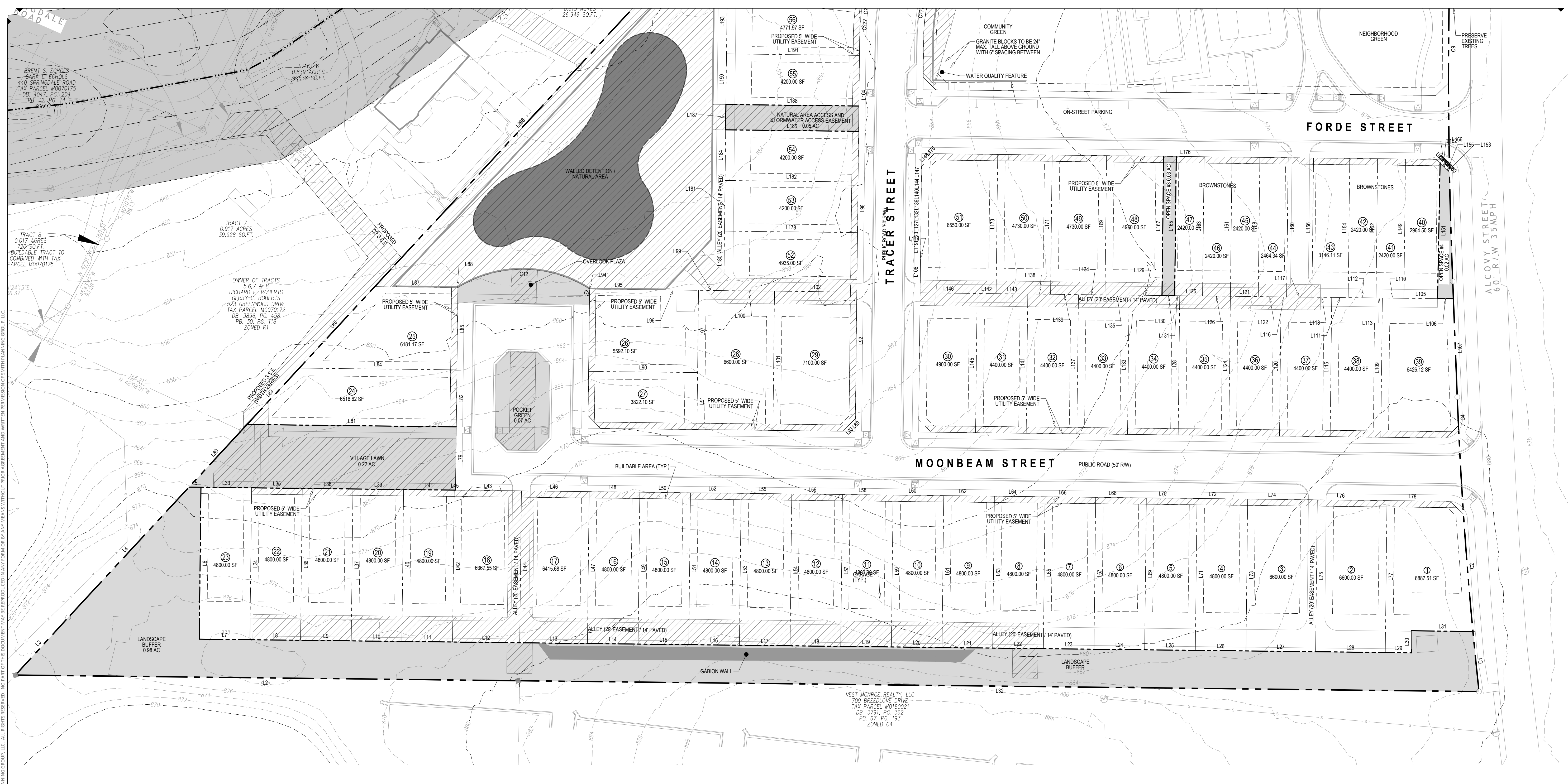


LAND PLANNING
 CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

1022 TWELVE OAKS PLACE, STE 201
 WATKINSVILLE, GA 30677
 (706) 769-9515
 (706) 769-9595 FAX
 www.smithplanninggroup.com

VETERANS WALK

CITY OF MONROE, GEORGIA

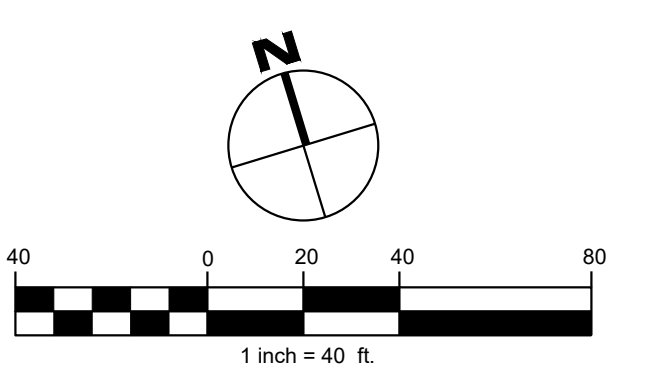


PAVING LEGEND:

- HD = HEAVY DUTY
- SD = STANDARD DUTY
- HD CONCRETE PAVING
- SD ASPHALT PAVING
- SD CONCRETE PAVING
- HD ASPHALT PAVING

REFER TO DETAILS FOR SECTION REQUIREMENTS.

ALL RADII 5' UNLESS OTHERWISE NOTED.



COPYRIGHT SMITH PLANNING GROUP, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT PRIOR AGREEMENT AND WRITTEN PERMISSION OF SMITH PLANNING GROUP, LLC.

SEALS:



SHEET TITLE:

PRELIMINARY PLAT ENLARGEMENT

SHEET ISSUE: 05/26/20 PROJECT NO. 18-2374

NO.	DATE	DESCRIPTION
1	07/09/20	ADDRESS COMMENTS
2	08/10/20	ADDRESS COMMENTS

SHEET NO.

PP-12

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L236 to L258 and L109 to L152.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L110 to L152 and L166 to L229.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L130 to L152 and L331 to L452.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L154 to L217 and L331 to L452.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include C2, L80 to L217 and C9 to L252.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L269 to L318 and L108 to L148.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L150 to L174 and C7???

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L104 to L237 and C7???

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L264 to L286 and L100 to L218.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L221 to L264 and L111 to L218.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L121 to L164 and L152 to L252.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L154 to L201 and L204 to L252.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L60 to L100 and L100 to L229.

Parcel Line and Curve Table

Table with 4 columns: Line #/Curve #, Length, Bearing/Delta, Radius. Rows include L232 to L251 and L254 to L286.



LAND PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
1022 TWELVE OAKS PLACE, STE 201
WATKINSVILLE, GA 30677
(706) 769-9515
(706) 769-9595 FAX
www.smithplanninggroup.com

VETERANS WALK
CITY OF MONROE, GEORGIA

SEALS:



SHEET TITLE:

PRELIMINARY PLAT
CALLS

SHEET ISSUE: 05/26/20 PROJECT NO. 18-2374

Table with 3 columns: NO., DATE, DESCRIPTION. Rows include 07/09/20 ADDRESS COMMENTS and 08/10/20 ADDRESS COMMENTS.

SHEET NO.

PP-13

COPYRIGHT SMITH PLANNING GROUP, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PRIOR AGREEMENT AND WRITTEN PERMISSION OF SMITH PLANNING GROUP, LLC.

Proposed 2022 Planning Commission Meetings—3rd Tuesday of the Month at 5:30pm

January 18

February 15

March 15

April 19

May 17

June 21

July 19

August 16

September 20

October 18

November 15

December 20

NOTE:

1. Thanksgiving is the week after the November Planning Commission meeting
2. Christmas is the Saturday after the December Planning Commission meeting