

## Planning & Zoning Meeting

## AGENDA

## Tuesday, November 16, 2021 5:30 PM 215 N Broad Street Monroe Ga 30655

- I. CALL TO ORDER
- II. <u>ROLL CALL</u>

## IV. <u>REPORT FROM CODE ENFORCEMENT OFFICER</u>

## III. MINUTES OF PREVIOUS MEETING

<u>1.</u> Minutes from Previous Planning Commission Meeting 10/19/2021

## V. <u>PUBLIC HEARINGS</u>

- <u>1.</u> Request for Conditional Use Permit Expansion of Existing Private School 611 Davis St
- 2. Request for Rezone & Annexation 0 Oakland Ridge Rd R-1 County to R-1 City
- <u>3.</u> Request for COA-Renovation of an existing convenience store-615 E Spring St

## VI. <u>RECOMMENDATIONS ON REQUESTS</u>

## VII. OLD BUSINESS

## VIII. <u>NEW BUSINESS</u>

- <u>1.</u> Preliminary Plat Review 0 Charlotte Rowell Blvd The Monroe Pavilion
- 2. Preliminary Plat Review 318 Alcovy St Veterans Walk
- <u>3.</u> Proposed 2022 Meeting Schedule
- IX. <u>ADJOURNMENT</u>

## MONROE PLANNING COMMISSION MEETING MINUTES—October 19, 2021

Present: Mike Eckles, Randy Camp, Chase Sisk, Rosalind Parks, Nate Treadaway

Absent: None

Staff:Pat Kelley – Director of Code<br/>Laura Wilson – Code Department Assistant<br/>Brad Callender – City Planner<br/>Logan Propes—City Administrator<br/>Paul Rosenthal—City Attorney<br/>Sadie Krawczyk—Economic Development Director

**Visitors:** Joann Campbell, Jim Campbell, Janice Hanks, H. Patel, Kalen Vanderhorst, Susan Tyre, Mark Tyre, Ian Harmon, Craig Harmon, Blake Barton, Jeff Russell, Don Harkleroad, Elizabeth Kim, Duane Sells, Jackson Sells, Lee Rowell, Joel Heffington, James & Stephanie McDaniel, Todd Mitchell, Frank Mabielo, Cheryle Larson, Vic Lazich, Bob Begle, Clint Dixon

Call to Order by Chairman Eckles at 5:30 pm.

Chairman Eckles asked for any changes, corrections or additions to the September 21, 2021 minutes.

Motion to approve minutes.

Motion Camp. Second Parks Motion carried

Public Hearing Opened at 5:31pm

The First Item of Business: is Rezone Case #188, a request for a rezone of 140 Blaine St from B-3 (Highway Commercial District) to PCD (Planned Commercial District). The project encompasses <u>+</u> 8.84 acres. The applicant is the City of Monroe and Staff recommends approval as submitted. Sadie Krawczyk, Economic Development Director for the City of Monroe, spoke on behalf of the project. Additionally, Bob Begle of Lord Aeck Sargent presented an overview of the Blaine Station Master Plan to the Planning Commission. One of the goals of the project was to create a mixed-use, walkable, destination location that is small in scale but not a copy of downtown. The concept also includes decentralized stormwater management—rain gardens, bioretention areas, swales—areas where water can be collected and filtered along the way.

Chairman Eckles asked for any questions—none Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:42 pm

Chairman Eckles entertained a motion. Motion to approve

> Motion Parks. Second Treadaway. Motion Carried

The Public Hearing opened at 5:43pm

<u>The Second Item of Business</u>: is Zoning Code Text Amendment Case #204, for Zoning Code Text Amendment #12 to include modifying Section 630.3 Table 6—Industrial Zoning District Land Use Regulations to add as a conditional use under the principle use of Utility and area service provider facilities, private sewage facilities and modifying Section 650.4 Special Site Requirements for Planned Development Districts. The minimum area requirement for Planned Development Districts throughout the City and inside the Livable Cities Initiative (LCI) District shall be removed and the minimum frontage requirement for Planned Development Districts located in the LCI District shall be reduced. The applicant is the City of Monroe and Staff recommends approval as submitted.

Chairman Eckles asked for any questions: Treadaway: What prompted the change in the Zoning Code? Kelley: The City was approached to allow that use in the zoning classification and agreed it was an acceptable use for the zoning classification.

Chairman Eckles asked for any opposition-none

Public Hearing closed at 5:45 pm

Chairman Eckles entertained a motion. Motion to approve

> Motion Treadaway. Second Parks. Motion Carried

Public Hearing opened at 5:45pm

<u>The Third Item of Business</u>: is Certificate of Appropriateness Case #233, a COA request for a replacement monument sign at the southeast corner of US Hwy 78 and Unisia Drive for Hitachi Automotive Systems Americas. The applicant is Jeannie Smith from Atlantic Sign & Graphics on behalf of the owner, Hitachi Automotive Systems Americas. Staff recommends approval as submitted without conditions.

Chairman Eckles asked for any questions—none Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:46 pm

Chairman Eckles entertained a motion. Motion to approve Motion Sisk. Second Parks. Motion Carried

Public Hearing opened at 5:47pm

<u>The Fourth Item of Business</u>: is Certificate of Appropriateness Case #252, a COA request to allow construction of a commercial building containing a convenience store with fuel pumps and retail spaces at 1530 S Broad St. Staff recommends approval subject to the four conditions listed in the staff report. Clint Dixon spoke on behalf of the owner, PJF Leesburg, LLC. Dixon stated there would be 8100 sq ft of convenience store space with two outer retail spaces and five gas pumps for ten fueling stations. Dixon agreed to the four conditions listed in the staff report.

Chairman Eckles asked for any questions—Sisk: Are you intending to take up the entire property?

Dixon: We are looking at a phased development with the second phase being some type of fast food.

Treadaway: The future use section is undeveloped as well? Dixon: Yes

Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:50 pm

Chairman Eckles entertained a motion. Motion to approve with conditions

> Motion Treadaway. Second Sisk. Motion Carried

The Public Hearing opened at 5:51pm

<u>The Fifth Item of Business:</u> is Certificate of Appropriateness Case #257, a COA request to allow construction of a commercial building with a convenience store and retail spaces. Staff recommends approval with the two conditions listed in the staff report. Shamsun Naher spoke on behalf of the owner, RALS Enterprise LLC.

Treadaway: Currently this driveway is a right in/right out? Kelley: Yes and all of this is subject to DOT approval.

Logan Propes: I would like to add the condition that any alteration to the sidewalk along N. Broad St must be repaired exactly as it exists at the time of disturbance. Kelley: This is in reference to the sidewalk project that was recently completed along N. Broad St.

Chairmen Eckles: You understand that there are now three conditions on the project?

Naher: Yes Chairman Eckles asked for any questions—none Chairman Eckles asked for any opposition—none

Public Hearing closed at 5:57 pm

Chairman Eckles entertained a motion. Motion to approve with updated conditions

> Motion Camp. Second Parks. Motion Carried

Public Hearing opened at 5:58pm

<u>The Sixth Item of New Business</u> is Rezone Case #256, a request for a rezone of the southeast corner of the intersection of Double Springs Church Road and Cedar Ridge from R-1 to R-1A. The project encompasses <u>+</u>83.072 acres. Staff recommends approval of the rezone subject to the seven conditions listed in the staff report. The applicant, Parkland Communities Inc spoke on behalf of the owner, Rowell Family Partnership & Still Family Realty LLC. Tyler Lasser of Alliance Engineering, representing Parkland Communities Inc, presented the project t to the Planning Commission. The project will include 141 lots broken into two phases—34 ranch houses with a minimum of 1800 sq ft and 107 two-story houses with a minimum of 2400 sq ft. The development will have a density of 1.69 units per acre. The smaller lots allowed in R-1A will permit the developer to cluster the lots and preserve more of the natural environment found on the site. Parkland Communities agrees with all of the conditions listed in the staff report.

Treadaway: What are the percentage of lots of the minimum size? Lasser: Some will meet the standard but all of the two-story will be larger than that; not sure how many will be on the line of 10,000 sq ft

Kelley: You can modify the condition of a minimum of 1500 sq ft to accept their 1800 sq ft.

Sisk: Does the minimum 6 different layouts mean, 6 for the ranch houses and 6 for the twostory houses or 6 for the entire development?

Lasser: Our clients are willing to meeting any conditions related to exterior appearances. Kelley: Since there are two separate sections of the development, you might stipulate having additional elevations for each section

Chairman Eckles: Has there been a recent traffic study done? Lasser: It would be completed prior to the preliminary plat. We can make adjustments based on the traffic study if needed.

Kelley: A simple edit for the second condition is to say six building designs per each neighborhood presented on the concept plan.

Sisk: Do you intend on having a mailbox kiosk?

Lasser: Yes, at the front of the site near the amenity area and parking lot

Kelley: Cluster box units are now a requirement by the USPS rather than mailboxes at each home site.

Chairman Eckles asked for any opposition—yes

- 1. Jim Campbell—2580 Double Springs Church Road
  - a. A natural and less dense environment is a prime reason for living here; No one finds the dense development of Loganville and Snellville desirable; With the City of Monroe and Walton County there is a unique combination of a well-developed small town and rural environment
- 2. Amy Maughon—1735 Double Springs Church Road
  - a. Double Springs Church Road is made up of a variety of parcels from 5 to 100 acres; at any given time, there are people on horses or tractors and kids playing; this development in combination with the other proposed subdivision and the new shopping center will cause an increase in traffic
  - b. A traffic study will not be valid until the new shopping center is opened
  - c. Are the City and County working together to see how these developments impact both areas? Maintenance?
- 3. Kalen Vanderhorst—2116 Double Springs Church Road
  - a. The over 300 homes of River Pointe in combination with this development is too much growth too quickly
  - b. Are the roads going to be widened?
- 4. Janice Hawks—2301 Double Springs Church Road, 1965 Double Springs Church Road
  - a. Slowly losing peace and tranquility of the town—it's why we moved here and we are losing it
  - b. The road has two blind curves—very dangerous; don't need any more traffic; already a congested area with limited access points
- 5. Susan Tyre—1950 Double Springs Church Road
  - a. Provided a visual aid for the Planning Commission highlighting the blind curves
  - b. How does this impact water and sewer demand? What measures are in place to maintain adequate fire protection and water pressure?
  - c. Would the developer consider few homes on larger lots?
- 6. Frank Masiello—1710 Double Springs Church Road
  - a. Where are kids going to go to school; schools will become overcrowded and need portable classrooms
  - b. How will the subdivision impact the natural streams and creeks? Lost most of his water in the creek when the Morgan's Crossing subdivision was built; will the groundwater remain safe?
  - c. What are the plans and cost of infrastructure that is needed? Water lines, sewer lines because the lots aren't big enough for septic tanks, fire protection?
  - d. City and County could go in together to purchase the land and turn it into a park.
- 7. Todd Mitchell—2260 Double Springs Church Road
  - a. Monroe is now unique and desirable; a great place to live

b. If this gets approved there could be a domino effect; need to keep high density inside the core of the City

Planning Commission members further discussed the proposal amongst themselves. Chairmen Eckles suggested tabling the motion until a traffic study could be completed that included traffic from the almost completed Monroe Pavilion shopping development.

Treadaway: How long does a traffic study take? Kelley: They take varying amounts of time depending on the scope.

Public Hearing closed at 6:37pm

Callender: To your concern about requiring a specific traffic study prior to the rezone hearing, you need to be very specific about what you are looking for. If you refer to the conditions listed on the staff report, if the rezone is approved, a traffic study would be done before they submit a preliminary plat to identify offsite improvements and impact areas outside the development. That condition is followed by a development agreement with the City of Monroe. If you require a traffic study now, you may not be able to condition the developer to assist with offsite improvements.

Chairman Eckles: What do you recommend?

Callender: If you approve it, to approve it with the seven conditions listed in the staff report Kelley: If you make a motion to table it, remove the traffic study as a condition

Parks: Where is this development in relation to the one with 300 homes? Kelley: Within a quarter mile

Sisk: Will both projects have City of Monroe utilities? Kelley: It depends on service area, but yes I believe they are

Chairman Eckles entertained a motion. Motion to table until December 21, 2021

> Motion Camp. Second Treadaway. Motion Carried

Old Business—none New Business—none

Chairman Eckles entertained a motion to adjourn. Motion to adjourn

> Motion Parks. Second Treadaway Meeting adjourned at 6:42pm



То:	Planning and Zoning / City Council				
From:	Patrick Kelley				
Department:	Planning, Zoning, Code and Development				
Date:	11-08-2021				
Description:	Conditional use request at 611 Davis St. to expand the Monroe Country Day school. Case # 147. Schools are a conditional use in R1 and R2 zoning requiring Council approval.				
Budget Account Funding Source Budget Allocatio	on: NA				
Budget Availab	le: Since 1821				
Requested Expe	ense: \$NA Company of Purchase: NA				
<b>Recommendation</b> conditions.	<b>on:</b> City of Monroe, staff recommends approval of the requested Conditional Use as submitted without				

**Background:** The owners of the Monroe Country Day School are petitioning for Conditional Use approval on this property in order to allow for expansion of an existing private school.

Attachment(s): Application, staff report and supporting documentation.



## Planning City of Monroe, Georgia

## **CONDITIONAL USE STAFF REPORT**

## **APPLICATION SUMMARY**

**CONDITIONAL USE CASE #:** 147

DATE: November 5, 2021

STAFF REPORT BY: Brad Callender, City Planner

**APPLICANT NAME:** Johnson Institute Inc.

**PROPERTY OWNER:** Johnson Institute Inc.

**LOCATION:** South side of East Church Street and the north side of Davis Street – 602 E Church Street and 611 Davis Street

ACREAGE: ±2.72

**EXISTING ZONING:** R-1 (Large Lot Residential District) and R-2 (Multi-Family, High Density Residential District)

EXISTING LAND USE: School building with parking and accessory structures

**REQUEST SUMMARY:** The owners are petitioning for Conditional Use approval on this property in order to allow for expansion of an existing private school.

**STAFF RECOMMENDATION:** Staff recommends approval of this Conditional Use request as submitted without conditions.

## DATES OF SCHEDULED PUBLIC HEARINGS PLANNING COMMISSION: November 16, 2021

CITY COUNCIL: December 14, 2021

## **REQUEST SUMMARY**

## CONDITIONA USE PERMIT REQUEST SUMMARY:

The applicant is requesting approval of a Conditional Use in order to allow for and expand an existing private school. The subject properties have been zoned R-1 (Large Lot Residential District) and R-2 (Multi-Family, High Density Residential District) since the adoption of zoning by the City. Private schools are permitted in the R-1 and R-2 zoning districts as a Conditional Use, which is the basis for this request.

#### **PROPOSED PROJECT SUMMARY:**

- Educational Facility Private School
  - School Site Area ±2.72 Acres
  - Total Students 60
  - Total Staff 5
  - $\circ$  Hours of Operation Monday through Friday, 8 am to 4 pm
  - Expansions Proposed Additional indoor and outdoor classroom spaces

## **STAFF ANALYSIS**

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "<u>STANDARDS FOR CONDITIONAL USE</u> <u>APPLICATION DECISIONS</u>" AS SET FORTH IN SECTION 1425.5 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The proposed use will not be detrimental to adjacent properties or the general neighborhood, the proposed use will not significantly adversely affect public health, safety, morality and welfare, and the proposed use as designed will minimize adverse effects on the surrounding neighborhood: The existing private school is located in an historic school building that was constructed in 1914. The building was the location of a public school for many years. The City purchased the property in 2000 and operated it as a community center building before granting occupancy to the private school. The neighborhood surrounding the site has thrived for over 100 years without any negative impacts from the subject property. Allowing the private school and its proposed expansions will not negatively affect the neighborhood surrounding the site.
- (2) The applicable standards in Article X have been met: There are no standards applicable to Private Schools in Article X of the Zoning Ordinance.
- (3) The proposed use is consistent with the Comprehensive Plan, and the conditional use is compatible with the community development pattern: As described above, the school is located in a building which was constructed in 1914. The neighborhood surrounding the school site and the school site itself have coexisted harmoniously for many years.
- (4) A rezoning to allow the requested use as a permitted use would not be appropriate: Educational facilities such as public, private, and parochial schools are only permitted as Conditional Uses where allowed in the zoning districts in the Zoning Ordinance.
- (5) The proposed use will not be injurious to the natural environment or the other property in the immediate vicinity, or unconstitutionally diminish property values within the surrounding neighborhood: Schools are generally considered an asset when located within a neighborhood. The existing private school and its proposed expansions will not result in negative impacts to the surrounding neighborhood or residences on adjoining properties.
- (6) Off-street parking and loading, and access thereto, will be adequate: The school site currently has two entrances off East Church Street. The site has abundant parking. Parking and drives are circulated around the school building which provide ample loading and unloading abilities for the school.
- (7) Public facilities and utilities are capable of adequately serving the proposed use, and the use would not lead to a major negative change in existing levels of public service, or fiscal stability: Public services and utilities are currently serving the existing school site. The proposed additions to the school should not have any impact on the City's abilities to continue to provide public services and utilities.
- (8) The use will not be an extension of a use which will cause a damaging volume of (a) agricultural,
   (b) commercial, (c) industrial, or (d) higher density residential use into a stable neighborhood of well-maintained single-family homes, nor likely lead to decreasing surrounding property

values, neighborhood deterioration, spreading of blight, or additional requests of a similar nature which would expand the problem: As previously stated, schools are generally considered an asset when located within a neighborhood. The existing private school and its proposed expansions will not result in negative impacts to the surrounding neighborhood or residences on adjoining properties.

- (9) The use would not significantly increase congestion, noise, or traffic hazards: The school currently operates without any known issues resulting in increased congestion, noise, or traffic hazards to the surrounding neighborhood. The proposed additions to the school should not have any impact resulting in increased congestion, noise, or traffic hazards.
- (10) Granting this request would not have a "domino effect," in that it becomes the opening wedge for further rapid growth, urbanization or other land-use change beyond what is indicated in the Comprehensive Plan: The private school is a unique use which should not generate any type of domino effect resulting in negative land development trends surrounding the site.

#### **STAFF RECOMMENDATION**

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Conditional Use as submitted without conditions.



## City of Monroe

215 N. Broad Street Monroe, GA 30655 (770) 207-4674

## **CONDITIONAL USE PERMIT**

PERMIT #: 147 **DESCRIPTION:** CONDITIONAL USE-EDUCATION JOB ADDRESS: 611 DAVIS STREET LOT #: BLK #: PARCEL ID: M0170167 SUBDIVISION: ZONING: CONTRACTOR: Johnston Institute Inc ISSUED TO: Johnston Institute Inc ADDRESS 602 E Church St ADDRESS: 602 E Church St CITY, STATE ZIP: Monroe GA 30655 CITY, STATE ZIP: Monroe GA 30655 PHONE: PHONE: 8/20/2021 PROP.USE DATE ISSUED: EXPIRATION: 2/16/2022 VALUATION: \$ 0.00 SQ FT 0.00 OCCP TYPE: PERMIT STATUS: 0 CNST TYPE: **# OF BEDROOMS** INSPECTION 770-207-4674 **# OF BATHROOMS** REQUESTS: lwilson@monroega.gov **# OF OTHER ROOMS** FEE CODE DESCRIPTION AMOUNT COMM-OTHER REZONE/VARIANCE \$ 200.00 PZ-02 \$ 200.00 FEE TOTAL PAYMENTS \$- 200.00 BALANCE \$ 0.00

#### NOTES:

This request is scheduled to be heard by the Planning Commission on November 16, 2021 at 5:30pm and by City Council on December 14, 2021 at 6:00pm; both meetings will be held in the City Council Chambers at City Hall, 215 N. Broad St. Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

VED BY

12121 DATE



215 North Broad Street Monroe, GA 30655 Tel (770) 267-3429 Fax (770) 267-3698

## Receipt Number:

R00264605

Transaction Code: BP - Building Projects Payment			Name: Johnstor	\$200.00		
					Total Balance Due:	\$200.00
Payment Method:	Check Payn	Reference:	1479	Amount:	\$200.00	
					Total Payment Received:	\$200.00
					Change:	\$0.00





Variance/Conditional Use Application

Application must be submitted to the Code Department 30 days prior to the Planning & Zoning

Meeting of: \_

Your representative must be present at the meeting

Street address 61 Zoning R 2	1 Davis St	& G02 E CI	hurch St	Council District_	/_	Map and Parcel #_	MO170125 MO170167
Zoning R2	Acreage .5		Proposed Use	School		Road Frontage 110	ft. / on
Davis St		et or streets)					

Applicant	Owner	
Name Densitivate DBA Monroe Country Day School	NameSame	
Address 602 E Church St	Address	
Phone #770.267.8955	Phone #	

Request Type: (check one) Variance O Conditional Use O

chiever & monoe. school

Nature of proposed use, including without limitation the type of activity proposed, manner of operation, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters: School classrooms & playground, building will ultimately hold 60 students, 5 staff, hours of operation are M-F 8 am - 4 pm, all student drop off and teacher parking will be at 602 E Church St.

State relationship of structure and/or use to existing structures and uses on adjacent lots; <u>Current</u> building will be demolished and land graded, new building with potential of 6 classrooms will be built, playground will be erected at rear of property. Adjacent building on one side is school.

State reason for request and how it complies with the Zoning Ordinance section 1425.5(1)-(10) & 1430.6(1)-(8):

The proposed usage will improve the surrounding area. Usage will not be detrimental to area nor increase.

traffic, Parking will beat 602 E Church ST.

State area, dimensions and details of the proposed structure(s) or use(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways:

The property is currently being surveyed. All I want to do presently is put up fencing and a

playground at the rear of the property. Eventually I will tear down the house and design a building, parking places & landscaping. I will return with that when design is complete.

State the particular hardship that would result from strict application of this Ordinance: The house is currently unusable. I have talked to neighbors on Davis St & to neighbor behind on Church St. They are excited for the property to be a school annex and playground.

Check all that apply: Public Water:	V	_Well:		Public Sewer:	/	Septic:		_Electrical: _	~	_Gas:	~	
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For any application for an overlay district, a Certificate of Appropriateness or a letter of support from the Historic Preservation Commission or the Corridor Design Commission for the district is required.

Recorded deed	Application Fees:	
Survey plat	🛄 \$100 Single Family	
Site plan to scale	\$300 Multi Family	
Proof of current tax status	\$200 Commercial	

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Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years.

The above statements and accompanying materials are complete and accurate. Applicant hereby authorizes Code department personnel to enter upon and inspect the property for all purposes allowed and required by the zoning ordinance and the development regulations.

~-Date: <u>8-19-</u>21 Signature PUBLIC NOTICE WILL BE PLACED AND REMOVED BY THE CODE DEPARTMENT SIGN WILL NOT BE REMOVED UNTIL AFTER THE COUNCIL MEETING. \*Property owners signature if not the applicant Signature Date: -21 9 Date: 8-Notary Public 9 22 Commission Expires: 10 I hereby withdraw the above application: Signature Date S "INGEORGIP 180. 121 8n7

After recording return to DICKINSON & WILLIS, LLC ATTORNEYS AT LAW 338 NORTH BROAD STREET MONROE, GEORGIA 30655 FILE # 21-172

#### \_\_\_\_\_\_space above line for recording\_\_\_\_\_\_ LIMITED WARRANTY DEED

## STATE OF GEORGIA COUNTY OF WALTON

THIS INDENTURE, Made the 28<sup>TH</sup> day of May in the year two thousand and twenty one, between **H. A. PROPERTY INVESTMENTS, LLC**, a Georgia Limited Liability Company, as party or parties of the first part, hereinafter called "Grantor," and **JOHNSTON INSTITUTE**, **INC.**, a Georgia Corporation, as party or parties of the second part, hereinafter called "Grantee" (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor for and in consideration of the sum of Ten (\$ 10.00) Dollars and other valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee:

All that tract or parcel of land, lying and being in the City of Monroe, 419th G.M.D., Walton County, Georgia, located on the North side of Davis Street, beginning at an iron pin on Davis Street between said lot and Monroe Junior High School lot and running in a Northerly directions 192 feet to an iron pin; thence 105 feet in an Easterly direction to lands now or formerly owned by R. R. Shockley; thence 192 feet in a Southerly direction to Davis Street; thence Westerly 105 feet along the North side of Davis Street to the point of beginning.

19 may

16

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND GRANTOR WILL WARRANT and forever defend the right and title to the above described property unto Grantee against the claims of any persons owning, holding or claiming by, through or under Grantor.

IN WITNESS WHEREOF, the Grantors have signed and sealed this deed, the day and year above written.

Signed, sealed and delivered in presence of:

H. A. Property Investments, LLC By Plaza Partners Two, LP, sole Member

(SEAL) Harry M. Arnold, Jr., General Partner

# **@ qPublic\_net**<sup>™</sup> Walton County, GA



Parcel ID M0170167 Class Code Residential Taxing District Monroe Acres 0.46

Owner Physical Address 611 DAVIS ST Appraised Value Value \$44930

HAPROPERTY INVESTMENTS LLC P O BOX 391 MONROE, GA 30655

Last 2 Sales					
Date	Price	Reason	Qual		
11/6/2012	\$6510	FI	υ		
1/10/2003	0	UI	U		

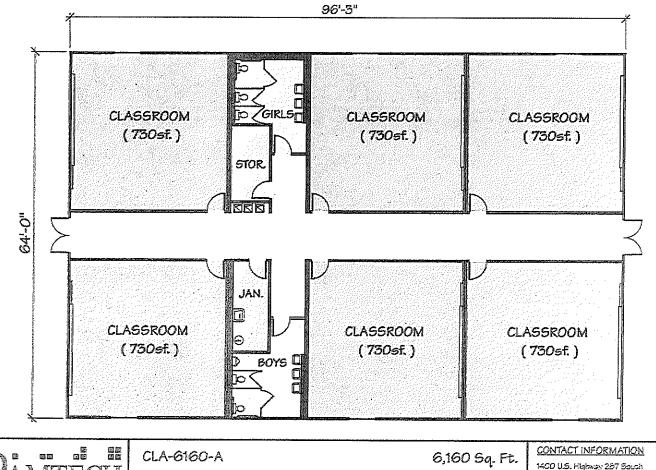
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Date created: 8/19/2021 Last Data Uploaded: 8/19/2021 6:24:14 AM

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								uesuipuu Keegan's Kastle features a challenging 4' Vine Climher and Reanstalk Climher while also	
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Call (888) 403-7684									ch

Future ANNex



	CLA-6160-A	6,160 Sq. Ft.	CONTACT INFORMATION
Building Systems	SIX CLASSROOM BLDG. WITH RESTROOMS		Manafadi, TX 76083-5799 (800) 565-9378 (817) 475-8378 Fax
באון ארגואל עולוגל ביראיג אוונכס			Info@ramtechgroup.com



GEORGIA CORPORATIONS DIVISION

# GEORGIA SECRETARY OF STATE BRAD RAFFENSPERGER

HOME (/)

## **BUSINESS SEARCH**

BUSINESS I	INFORMATION
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******			
Business Name:	JOHNSTON INSTITUTE INC	Control Number:	15083651
Business Type:	Domestic Nonprofit Corporation	Business Status:	Active/Compliance
NAICS Code:	Educational Services	NAICS Sub Code:	Elementary and Secondary Schools
Principal Office Address:	602 East Church Street, Monroe, GA, 30655, USA	Date of Formation / Registration Date:	8/21/2015
State of Formation:	Georgia	Last Annual Registration Year:	2022

## REGISTERED AGENT INFORMATION

Registered Agent Name: **Rita Dickinson, E** Physical Address: **602 E Church Street, Monroe, GA, 30655, USA** County: **Walton** 

## OFFICER INFORMATION

Name	Title	Business Address
Fonda Lisa Smith	Secretary	2665 Sleepy Hollow, Monroe, GA, 30656, USA
Melinda Quinn	CEO	1707 Dogwood Tr, Monroe, GA, 30655, USA
Melinda Quinn	CFO	1707 Dogwood Tr, Monroe, GA, 30655, USA

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Filing History Name History

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## NOTICE TO THE PUBLIC CITY OF MONROE

A petition has been filed with the City of Monroe requesting the property at 611 Davis St to be considered for a Conditional Use to allow Education Facilities—Schools in a R2 Zoning. A public hearing will be held before the Monroe Planning and Zoning Commission at City Hall Auditorium at 215 N. Broad Street on November 16, 2021 at 5:30 P.M. All those having an interest should be present to voice their interest.

A petition has been filed with the City of Monroe requesting the property at 611 Davis St to be considered for a Conditional Use to allow for Educational Facilities--Schools in a R2 Zoning. A public hearing will be held before The Mayor and City Council at the City Hall Auditorium at 215 N. Broad Street on December 14, 2021 at 6:00 P.M. All those having an interest should be present to voice their interest.

PLEASE RUN ON THE FOLLOWING DATE:

October 31, 2021



October 28, 2021

To Whom It May Concern:

Be advised that a public hearing before the Planning Commission is scheduled for November 16, 2021 to consider an application for a conditional use as an educational facility for a private school at 611 Davis St. As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on October 31, 2021.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the conditional use request for 611 Davis St. will be as follows:

- Planning Commission—November 16, 2021 at 5:30pm
- City Council—December 14, 2021 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson Code Department Assistant Notification letters were sent to the following tenants and property owners concerning the conditional use application at 611 Davis St

- GARCIA ALMA GABINA ANGULO & GARCIA MARIA DE LALUZ
   615 DAVIS ST MONROE, GA 30655
- 2. H A APTS & HOUSES LLC P O BOX 391 MONROE, GA 30655
- MCDONALD BOBBY J (DECEASED) 123 FORD STREET MONROE, GA 30655
  - a. 608 Davis St
  - b. 606 Davis St
- HOLBROOK CATHERINE WILLIAMS
   612 E CHURCH STREET
   MONROE, GA 30655
- 5. PEIFFER JERRI 608 E CHURCH ST MONROE, GA 30655



To: Planning and Zoning / City Council

From: Patrick Kelley

**Department:** Planning, Zoning, Code and Development

**Date:** 11-08-2021

**Description: REZONE CASE #:** 343, Applicant Patricia Goga, Lot 16 of Meadowbrook Estates, 0 Oakland Ridge. Requesting a rezone from R1 county to R1 City. The owners are petitioning for a rezone of this property in conjunction with an annexation request in order to combine all of their properties inside the City.



**Recommendation:** Staff recommends approval of this rezone request as submitted without conditions.

**Background:** The applicant is requesting approval of a rezone in order to combine their properties together onto one lot. The subject property is currently located in unincorporated Walton County. An annexation request to bring the property into the City was submitted along with this rezone request. The property is currently developed with a shed, gazebo, and garden. The applicant is requesting a rezone to the R-1 (Large Lot Residential District) in order to combine their existing R-1 property inside the City with their unincorporated property.

Attachment(s): Application, Staff report and Supporting documentation.

215 North Broad Street Monroe, GA 30656 770.267.7536



# Planning City of Monroe, Georgia

**REZONE STAFF REPORT** 

#### APPLICATION SUMMARY

REZONE CASE #: 343

DATE: November 5, 2021

STAFF REPORT BY: Brad Callender, City Planner

**APPLICANT NAME:** Patricia Goga

PROPERTY OWNER: Patricia Diane Goga & Christopher Paul Goga

LOCATION: South side of Oakland Ridge – Lot 16 Meadowbrook Estates

**ACREAGE: ±0.720** 

EXISTING ZONING: R-1 (Walton County – Single-Family Residential District)

EXISTING LAND USE: Gazebo, garden, and shed

ACTION REQUESTED: Rezone (Walton County) R-1 to R-1 (City of Monroe – Large Lot Residential District)

**REQUEST SUMMARY:** The owners are petitioning for a rezone of this property in conjunction with an annexation request in order to combine all of their properties inside the City.

**STAFF RECOMMENDATION:** Staff recommends approval of this rezone request as submitted without conditions.

#### DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021 CITY COUNCIL: December 14, 2021

#### **REQUEST SUMMARY**

#### **REZONE REQUEST SUMMARY:**

The applicant is requesting approval of a rezone in order to combine their properties together onto one lot. The subject property is currently located in unincorporated Walton County. An annexation request to bring the property into the City was submitted along with this rezone request. The property is currently developed with a shed, gazebo, and garden. The applicant is requesting a rezone to the R-1 (Large Lot Residential District) in order to combine their existing R-1 property inside the City with their unincorporated property.

#### **PROPOSED PROJECT SUMMARY:**

- Rezone of unincorporated lot inside Meadowbrook Estates, to be combined with property owner's existing lot inside the City
  - Lot Size 31,388 Sf (0.72 Acres)
  - Existing Neighborhood Meadowbrook Estates
  - Lot Info Lot 16 of Meadowbrook Estates

## **STAFF ANALYSIS**

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "<u>STANDARDS FOR ZONING MAP</u> <u>AMENDMENT APPLICATION DECISIONS</u>" AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned: The property is a partially developed lot located in unincorporated Walton County. The property is currently zoned R-1 (Single-Family Residential District) in Walton County. The property is an existing lot located in the Meadowbrook Estates subdivision. The property is owned by the owner of an adjoining lot located inside the City boundary. The property owner would like to annex the property into the City, and rezone the property with the same zoning as their existing lot. After annexing the property into the City, the property owner would like to combine their existing residential lot to the annexed lot. Currently, this is not possible with one lot inside the City and the other lot is in unincorporated.
- (2) The proposed use and zoning classification of the subject property: The applicant is requesting the rezone to R-1 (Large Lot Residential District) to allow for the combination of their City and unincorporated Walton County properties.
- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property: The requested R-1 (Large Lot Residential District) zoning is identical to other City properties located inside the Meadowbrook Estates subdivision. The requested annexation and rezone should have no adverse effects on any neighboring property.
- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel: The requested annexation and subsequent rezone are for an existing lot inside the Meadowbrook Estates subdivision. The requested rezone should have absolutely no impact on existing infrastructure or City services.
- (5) Whether the zoning proposal is consistent with the Comprehensive Plan: The Future Land Use Map designates this property under the category of Residential. This rezone request is consistent with the intent of the Future Land Use Map.
- (6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: The intent of this rezone request is to allow the property owner to combine both of their properties together as one parcel inside the City.

## **STAFF RECOMMENDATION**

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone as submitted without conditions.



Monroe, GA 30655 (770) 207-4674

#### (770) 207-4074

## **REZONE & ANNEXATION PERMIT**

PERMIT #: 343 DESCRIPTION: **REZONING & ANNEXATION** JOB ADDRESS: 0 OAKLAND RIDGE LOT #: PARCEL ID: NM09B033 BLK #: SUBDIVISION: ZONING: County R-1 ISSUED TO: Patricia Goga CONTRACTOR: Patricia Goga ADDRESS 1167 Golfview Ter ADDRESS: 1167 Golfview Ter CITY, STATE ZIP: Monroe GA 30655 CITY, STATE ZIP: Monroe GA 30655 PHONE: PHONE: PROP.USE RESIDENTIAL DATE ISSUED: 10/29/2021 VALUATION: \$ 0.00 EXPIRATION: 4/27/2022 SQ FT 0.00 OCCP TYPE: PERMIT STATUS: 0 CNST TYPE: **# OF BEDROOMS** INSPECTION 770-207-4674 **# OF BATHROOMS REQUESTS:** lwilson@monroega.gov # OF OTHER ROOMS FEE CODE DESCRIPTION AMOUNT PZ-01 SINGLE FAMILY REZONE OR VAR REQUEST \$ 100.00 FEE TOTAL \$ 100.00 PAYMENTS \$ -100.00 BALANCE \$ 0.00

#### NOTES:

The Planning Commission will hear this request for a Rezone and Annexation of the property located at 0 Oakland Ridge, tax parcel NM09B033 on November 16, 2021 at 5:30pm and The Mayor and City Council will hear this request on December 14, 2021 at 6:00ppm. Both meeting will be held in the City Council Chambers at City Hall, located at 215 N. Broad St Monroe, GA 30655.

#### NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

N

(APPROVED BY)

## **REZONE APPLICATION FORM**

I.	LOCATION Lot #16 B Meadowbrook Estates, Oakland Ridge, Monroe	
	COUNCIL DISTRICT 6	
	MAPNUMBER	
	PARCEL NUMBER NM09B033	,cD
II.	PRESENT ZONING R1REQUESTED ZONING R1	RECEIVED
III.	ACREAGE 34 PROPOSED USE Accessory	REJOISTO
IV.	OWNER OF RECORD Patricia Diane Goga & Christopher Paul Goga ADDRESS 1167 Golfview Ter., Monroe, Ga 30655-2232	#343
PHON	TE NUMBER 770-207-7115 Email diane.goga@outlook.com	

The following information must be supplied by the applicant. (attach additional pages if needed)

- V. ANALYSIS:
- 1. A description of all existing uses and zoning of nearby property Residential R1
- Description of the extent to which the property value of the subject property is diminished by the existing zoning district classification <u>None</u>
- 3. The existing value of the property contained in the petition for rezoning under the existing zoning classification Current year fair market value from tax statement \$33,000
- 4. The value of the property contained in the application for rezoning under the proposed zoning Classification Same \$33,000
- 5. A description of the suitability of the subject property under the existing zoning classification Accessory Building; to combine with existing residence.
- 6. A description of the suitability of the subject property under the proposed zoning classification of the property will be combined with existing residence.

## Rezoning Application Page Two (2)

- 7. A description of any existing use of property including a description of all structures presently occupying the property Gazebo, garden and shed.
- 9. A detailed description of all efforts taken by the property owner(s) to use the property or sell the property under the existing zoning classification <u>Continue to use as a garden</u>.

Applications found to be incomplete or incorrect will be rejected. See the attached calendar for deadline dates. It is the responsibility of the applicant and not the staff to ensure that a complete and accurate application is submitted.

## LEGAL DESCRIPTION OF PROPERTY

## LEGAL DESCRIPTION 1167 Golfview Terrace, Monroe, Georgia 30655

All that tract or parcel of land lying and being in Land Lot 33, 3<sup>rd</sup> District, Walton County, Georgia, and being more particularly described as follows:

Beginning at a 1-inch crimp top pipe fund on the Easterly right-of-way of Golfview Terrace, said point being 229.41 feet as measured on a Southerly direction from the intersection of said right-of-way and the Southwesterly right-of-way of Oakland Ridge; thence leaving said right-of-way of Golfview Terrace South 67°48'20" East a distance of 56.31 feet to a valve found; thence South 34°40'46" East a distance of 99.25 feet to a <sup>3</sup>/<sub>4</sub> inch rebar found; thence North 55°06'00" East a distance of 149.84 feet to a <sup>3</sup>/<sub>4</sub> inch open top pipe found on the Southwesterly right-of-way of Oakland Ridge; thence along said right-of-way South 34°02'42" East a distance of 99.99 feet to a <sup>1</sup>/<sub>2</sub> inch rebar found; thence North 55°07'27" West a distance of 148.54 feet to a <sup>3</sup>/<sub>4</sub> inch open top pipe found; thence North 72°32'46" west a distance of 211.86 feet to a 1-inch open top pipe found on the Easterly right-of-way of Golfview Terrace; thence along said right-of-way North 16°43'41" East a distance of 126.77 feet to THE TRUE POINT OR PLACE OF BEGINNING.

Said tract or parcel of land containing 0.720 acres.

Rezoning Application Page Three (3)

Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be rezoned accordingly.

Owner of property (signature) <u>Patricia</u> W Joza Chuloph P. Gog-Address <u>1167 Golfview Ter., Monroe, Ga. 30655</u> Phone Number <u>770-207-7115</u>

Attorney/Agent (signature) \_\_\_\_\_\_ Address \_\_\_\_\_\_ Phone Number

Personally appeared before me the above applicant named <u>Harilla Gagla</u> who on oath says that he/she is the <u>Applicant</u> for the foregoing, and that all the above statements are true to the best of his/her knowledge.

2023

(Date)

10 5 221 (Notary Public)

1K

My Commission Expires\_



Rezoning Application Page Four (4)

What method of sewage disposal is planned for the subject property?

\_\_\_Sanitary Sewer

Septic Tank

The following information must be included in the application material requesting an annexation or zoning change from <u>County</u> to <u>City</u> located at Lot #16 B Oakland Ridge, Monroe, Ga, containing <u>.34</u> acre(s), property owner being Patricia Diane Goga & Christopher Paul Goga filed on

#### CHECK LIST - APPLICATION MATERIAL

✓ Application Fee (\$100.00 Application Fee Single Family Rezoning) (\$300.00 Application Fee Multi Family Rezoning) (\$200.00 Application Fee Commercial Rezoning) (Application fee For Annexation is the same as a Rezone)

 $\underline{V}$  The completed application form (one original with original signatures)

\_\_\_\_ Special Conditions made part of the rezoning/annexation request

✓ Legal Description

 $\underline{\checkmark}$  Survey plat of property showing bearings and distances and:

- \_\_\_\_\_ abutting property owners
- \_\_\_\_\_ the zoning of abutting property
- \_ the current zoning of the subject property

 $\checkmark$  Development Plan (two full size and one 11x17)

- $\sqrt{}$  Site plan of the property at an appropriate scale
- \_\_\_\_\_ the proposed use
- \_\_\_\_\_ internal circulation and parking (proposed number of parking spaces)
- landscaping minimum square footage of landscaped area
- \_\_\_\_ grading
- \_\_\_\_ lighting
- \_\_\_\_\_ drainage (storm water retention structures)
- \_\_\_\_\_ amenities (location of amenities)
- \_\_\_\_\_ buildings (maximum gross square footage and height of structures)
- \_\_\_\_ buffers
- Additional information that may be required by the Code Enforcement Officer:

✓ Monroe Utilities Network Availability Letter

Application Material-Section 1421.4 of the Zoning Ordinance outlines the specific items to be included on the site plan:

**Rezoning Application** 

Page five (5)

For any application for P, B-1, B-2, B-3 or M-I districts the site plan shall identify: (circle the appropriate district applied for)

- \_\_\_\_\_ the maximum gross square footage of building area
- \_\_\_\_\_ the maximum lot coverage of building area
- \_\_\_\_\_ the minimum square footage of landscaped area
- \_\_\_\_\_ the maximum height of any structure
- \_\_\_\_\_ the minimum square footage of parking and drive areas
- \_\_\_\_\_ the proposed number of parking spaces

For any application for the R-1 R-1A, R-2 or MH districts the site plan shall additionally identify: (circle the appropriate district applied for)

- the maximum number of residential dwelling units
- the minimum square footage of heated floor area for any residential dwelling unit
- \_\_\_\_\_ the maximum height of any structure
- \_\_\_\_ the minimum square footage of landscaped area
- \_\_\_\_\_ the maximum lot coverage of building area
- \_\_\_\_\_ the proposed number of parking spaces
- on all rezoning applications a revised site plan to be approved at a later date by the Mayor and City Council may be required
  - \_\_\_\_yes\_\_\_no Applicant site plan indicates a variance requested

\_\_\_\_\_ for any application for multi-family residential uses, the site plan shall also identify the maximum height of any structure, location of amenities, and buffer areas: and,

any other information as may be reasonably required by the Code Enforcement Officer.

Any applicant requesting consideration of a variance to any provision of the zoning ordinance as shown on the required site plan shall identify the variance(s) and identify for each variance shown the following information which shall confirm that the following condition(s) exist:

- 1. Any information which identifies that there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district.
- 2. Any information whereby a literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located.
- 3. Any information supporting that granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located.
- 4. Information clearly showing that the requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
- 5. Information that the special circumstances are not the result of the actions of the applicant.
- 6. A description of how the variance requested is the minimum variance that will make possible the legal use of the land, building, or structure in the use district proposed.
- 7. Information indicating the variance is not a request to permit a use of land, buildings, or structures, which are not permitted by right in the district involved.

**Rezoning Application** 

Page six (6)	
COMMENTS	

Disclosure of Campaign Contributions and/or gifts:

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years. The filing shall be within ten (10) days after the application is made, and in the case of a supporter or opponent, filing shall be at least five (5) days before the first public hearing.

I hereby withdraw the above application: Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Revised 11/09/2020

#### PETITION REQUESTING ANNEXATION CITY OF MONROE, GEORGIA

## Date: 5 October 2021

## TO THE HONORABLE CITY COUNCIL OF THE CITY OF MONROE, GEORGIA

- 1. The undersigned, as owner of all real property of the described herein, respectfully request that the City Council annex this territory to the City of Monroe, Georgia, and extend the City boundaries to include the same.
- 2. The territory to be annexed abuts the existing boundary of Monroe, Georgia, and the description of such territory area is as follows:

Address/Location of Property: Lot #16 B Meadowbrook Estates, Oakland Ridge, Monroe, 30655

Tax Map Number: NM09B033

See Attached Legal Description and Boundary Survey.

3. It is requested that this territory to be annexed shall be zoned <u>R1</u> for the following reasons: <u>To combine two existing lots together into one city lot</u>.

WHEREFORE, the Petitioners pray that the City Council of the City of Monroe, Georgia, pursuant to the provisions of the Acts of the General Assembly of the State of Georgia, Georgia Laws, do by proper ordinance annex said property to the City Limits of the City of Monroe, Georgia.

Respectfully Submitted,

Patricia Diane Goga and Christopher Paul Goga

(JUGON

Owners Address: 1167 Golfview Ter.

Monroe, Ga. 30655-2232



Date: September 30, 2021

In Re: Utilities

To Whom It May Concern:

The City of Monroe offers five different utilities in our service territory. The five utilities are: electricity, natural gas, water, wastewater and telecommunication.

The utilities checked below are available at Parcel NM09B033 \_\_. in the City of Monroe, Georgia.

□ ELECTRICITY NATURAL GAS WATER □ WASTEWATER TELECOMMUNICATION

Please contact our office for any additional information needed. We look forward to serving your utility needs.

how huge - Ktigo City of Monroe

215 North Broad Street • Post Office Box 725 • Monroe, Georgia 30655 Telephone 770-267-3429 • customerservice@monroega.gov

		Receipt Number:	R00288548
Mottroë	215 North Broad Street	Cashier Name:	LAURA WILSON
	Monroe, GA 30655	Terminal Number:	34
	Tel (770) 267-3429	Receipt Date: 10/29	/2021 12:43:29 PM
	Fax (770) 267-3698		

Transaction Code: BP - Building Projects Payment			Name: Goga, Pati	ricia	\$100.00	
	•				Total Balance Due:	\$100.00
Payment Method:	Check Payn	Reference:	4885	Amount:	\$100.00	
					Total Payment Received:	\$100.00
					Change:	\$0.00



October 19, 2021

Walton County Board of Commissioners 303 S. Hammond Dr. Suite 330 Monroe, GA 30655

RE: Annexation and rezone of Parcel NM09B033

Dear Commissioners,

Please be advised that the City of Monroe, Georgia by the authority vested in the Mayor and City Council of the City of Monroe, Georgia, by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, intends to annex the property hereinafter described by ordinance at a regular meeting of the Mayor and City Council.

This letter has been sent to you by certified mail, return receipt requested, within five (5) business days of acceptance of an application for annexation, a petition of annexation, or upon the adoption of a resolution for annexation by the City of Monroe in accordance with O.C.G.A. § 36-36-6 and O.C.G.A. § 36-36-9. This letter also serves as notice of the application for zoning or rezoning in accordance with O.C.G.A. § 36-36-111, of the proposed zoning and land use for such annexed property.

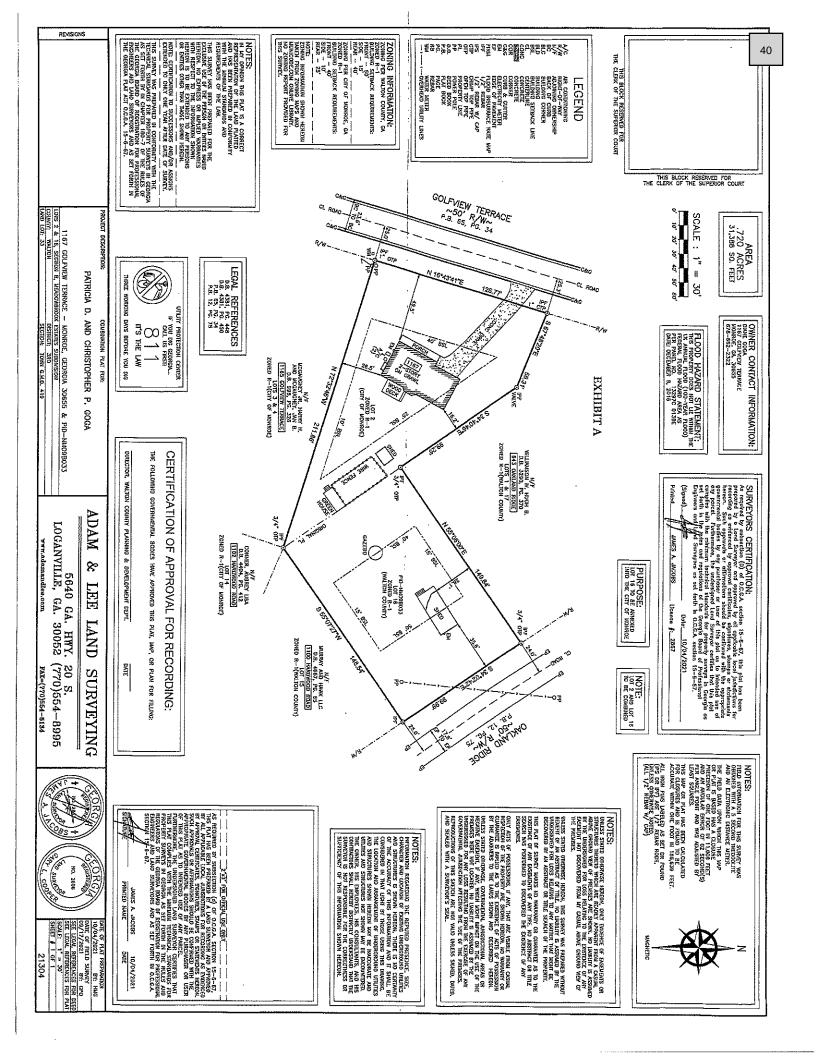
See Exhibit "A" attached.

Pursuant to O.C.G.A. § 36-36-7 and O.C.G.A. § 36-36-9, you must notify the governing authority of the City of Monroe, in writing and by certified mail, return receipt requested, of any county facilities or property located within the property to be annexed, within five (5) business days of receipt of this letter.

Additionally, in accordance with O.C.G.A. § 36-36-11, a public hearing on the property to be annexed as R-1 City will be held on November 16, 2021 at 215 N. Broad St. If the county has an objection under O.C.G.A. § 36-36-113, in accordance with the objection and resolution process, you must notify Patrick Kelley with in thirty (30) calendar days of the receipt of this notice.

Sincerely,

Laura Wilson Code Department Assistant





October 28, 2021

To Whom It May Concern:

Please accept this letter as official notification of a Public Hearing before the Planning Commission on November 16, 2021 to consider an application for rezoning and annexation of .34 acre located on Oakland Ridge Monroe, GA 30655; tax parcel NM09B033. The property is currently zoned R-1 County with a request to change the zoning classification to R-1 City. As an adjacent property owner, you are officially being notified of this request.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the rezone request for tax parcel # NM09B003 on Oakland Ridge will be as follows:

- Planning and Zoning Commission—November 16, 2021 at 5:30pm
- City Council—December 14, 2021 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson Code Department Assistant Notification letters were sent to the following address regarding the rezone and annexation request (#343) of 0 Oakland Ridge—tax parcel NM09B033

- MCGAUGHEY HARRY H JR & MCGAUGHEY JAN B 1165 GOLFVIEW TERRACE MONROE, GA 30655
- CONNER AUBREY LISA
   271 STOCK GAP ROAD
   MONROE, GA 30656

   a. Physical Address: 1102 Hardwood Rd
- 3. MURRAY AND HAWK LLC P O BOX 1065 MONROE, GA 30655
  - a. Physical Address: 1100 Hardwood Rd
- 4. WILLIAMSON HUGH B IV P O BOX 430 MONROE, GA 30655
  - a. Physical Address: 643 Oakland Ridge
- 5. BROWN E BRANDON & BROWN KIMBERLY 644 OAKLAND RIDGE MONROE, GA 30655
- TODD ETHAN JOHN
   640 OAKLAND RIDGE
   MONROE, GA 30655
- HAMM CHARLES S & HAMM CHARLOTTE R
   632 OAKLAND RIDGE MONROE, GA 30655

#### NOTICE TO THE PUBLIC CITY OF MONROE

A petition has been filed with the City of Monroe requesting the property at 0 Oakland Ridge to be rezoned from R1 County to R1 City and Annexed. A public hearing will be held before the Monroe Planning Commission at City Hall Auditorium at 215 N. Broad Street on November 16, 2021 at 5:30 P.M. All those having an interest should be present to voice their interest.

A petition has been filed with the City of Monroe requesting the property at 0 Oakland Ridge to be rezoned from R1 County to R1 City and Annexed. A public hearing will be held before The Mayor and City Council at the City Hall Auditorium at 215 N. Broad Street on December 14, 2021 at 6:00 P.M. All those having an interest should be present to voice their interest.

PLEASE RUN ON THE FOLLOWING DATE:

October 31, 2021



То:	Planning and Zoning / City Council
From:	Patrick Kelley
Department:	Planning, Zoning, Code and Development
Date:	11-09-2021
Description:	CERTIFICATE OF APPROPRIATENESS CASE #: 342, 615 East Spring St.
Budget Account	t/Project Name: NA
Funding Source	: 2021 NA
Budget Allocati	on: NA
Budget Availab	e: NA Since 1821
Requested Expe	ense: \$NA Company of Purchase: NA

Recommendation: Staff recommends approval of this Certificate of Appropriateness request with conditions.
Prior to the issuance of any monument sign permits, the developer shall submit a Certificate of Appropriateness

application for consideration of approval of any monument signage placed on the site.

**Background:** The applicant is requesting approval of a Certificate of Appropriateness application in order to allow the renovation of an existing convenience store. The proposed renovations are to include both interior and exterior improvements to the building.

Attachment(s): Application, Staff report and supporting documents.



## Planning City of Monroe, Georgia

#### **CERTIFICATE OF APPROPRIATENESS STAFF REPORT**

#### APPLICATION SUMMARY

**CERTIFICATE OF APPROPRIATENESS CASE #:** 342

DATE: November 5, 2021

**STAFF REPORT BY:** Brad Callender, City Planner

APPLICANT NAME: Mumtaz Paroo

**PROPERTY OWNER:** MSG Petroleum, Inc.

LOCATION: North side of E Spring Street – 615 E Broad Street

ACREAGE: ±0.71

EXISTING ZONING: B-3 (Highway Business District)

EXISTING LAND USE: Convenience store with fuel pumps

**ACTION REQUESTED:** The owner is requesting approval of a Certificate of Appropriateness application in order to allow the renovation of an existing convenience store.

**STAFF RECOMMENDATION:** Staff recommends approval of this Certificate of Appropriateness request with conditions.

#### DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021

#### **REQUEST SUMMARY**

#### CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow the renovation of an existing convenience store. The proposed renovations are to include both interior and exterior improvements to the building.

#### **PROPOSED PROJECT SUMMARY:**

- Convenience Store with Fuel Pumps
  - Total Building Floor Area 2,255 Sf
  - Proposed Façade stucco and decorative composite metal cladding with glass storefront windows and doors

#### **STAFF ANALYSIS**

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "<u>CORRIDOR DESIGN STANDARDS AND</u> <u>GUIDELINES</u>" AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

#### 643A.1 Site Planning:

The existing commercial building is a small scale convenience store. No changes to the site beyond the existing building are proposed in this COA request.

#### 643A.2 – Architecture:

The proposed renovations to the convenience store include upgrading the façade to have stucco and decorative composite metal cladding. The renovations also include additions to the parapet wall and canopy over the store entry and decorative exterior lighting around each side of the building. The store front windows and doors will also be renovated. The submitted conceptual elevations of the proposed building contain elements which appear to comply with the architectural requirements under Section 643A.2 of the Zoning Ordinance.

#### 643A.3 – Pavement:

No changes to the existing pavement on the site are proposed as part of the renovation of the existing building.

#### 643A.4 – Landscaping:

No changes to the existing landscaping on the site are proposed as part of the renovations of the existing building.

#### 643A.5 – Signs:

Examples of signage to be placed on the building were included on the building elevations. Signage proposed on the building appears to meet the general criteria for signs outlined in Section 643A.5 of the Zoning Ordinance. No examples of any ground or monument signs were included in the elevations. Any monument signs placed on the site will need to be obtain an approval of a Certificate of Appropriateness application by the Corridor Commission.

#### 643A.6 – Illumination:

A lighting plan was not included with the development plans. Any lighting added to the site will be required to comply with Illumination requirements for the Corridor Design Standards and Guidelines outlined in Section 643A.6 of the Zoning Ordinance.

#### **STAFF RECOMMENDATION**

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to construct a commercial strip shopping center building, subject to the following conditions:

1. Prior to the issuance of any monument sign permits, the developer shall submit a Certificate of Appropriateness application for consideration of approval of any monument signage placed on the site.



## **City of Monroe**

215 N. Broad Street Monroe, GA 30655 (770) 207-4674

#### PLANNING COMMISSION CERTIFICATE OF APPROPRIATENESS PERMIT

DESCRIPTION: **COA-PLANNING & ZONING Exterior** PERMIT #: 342 Changes LOT #: JOB ADDRESS: 615 E SPRING ST BLK #: PARCEL ID: M0150091A00 B-3 ZONING: SUBDIVISION: ISSUED TO: Mumtaz Paroo CONTRACTOR: Mumtaz Paroo 1000 Peachtree Industrial Blvd ADDRESS: 1000 Peachtree Industrial Blvd ADDRESS Suwanee GA 30024 CITY, STATE ZIP: Suwanee GA 30024 CITY, STATE ZIP: PHONE: PHONE: COMMERCIAL DATE ISSUED: 10/29/2021 PROP.USE 4/27/2022 EXPIRATION: VALUATION: S 0.00 0.00 SQ FT PERMIT STATUS: 0 OCCP TYPE: CNST TYPE: **# OF BEDROOMS** 770-207-4674 **# OF BATHROOMS** INSPECTION lwilson@monroega.gov **REQUESTS: # OF OTHER ROOMS** AMOUNT FEE CODE DESCRIPTION \$ 50.00 PLANNING COMMISSION REGULAR MEETING COA-01 FEE TOTAL \$ 50.00 \$ -50.00 PAYMENTS

NOTES:

The Planning Commission will here this COA request for exterior changes at 615 E Spring St on November 16, 2021 at 5:30pm in the City Council Chambers at City Hall, located at 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

ROVED BY

\$ 0.00

BALANCE

#### **Receipt Number:** 48 LAURA WILSON Cashier Name: 215 North Broad Street Terminal Number: Monroe, GA 30655 34 nroe Tel (770) 267-3429 Receipt Date: 10/29/2021 12:04:42 PM Fax (770) 267-3698 \$50.00 **Transaction Code: BP - Building Projects Payment** Name: Paroo, Mumtaz

\$50.00	Total Balance Due:			.,,		Transaction couch pr
	\$50.00	Amount:	19-18331470	Reference:	Money Ord	Payment Method:
\$50.00	Total Payment Received:					
\$0.00	Change:					

R00288526

#### NOTICE TO THE PUBLIC CITY OF MONROE

The City of Monroe has received a request for a Certificate of Appropriateness for exterior changes at 615 E Spring St. A public hearing will be held before the Monroe Planning Commission at the City Hall Auditorium at 215 N. Broad St. on November 16, 2021 at 5:30 P.M. All those having an interest should be present.

Please run on the following date:

October 31, 2021

#### REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Zoning ordinance, you are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change you wish to make to your property if your property is located within a Corridor Design Overlay District. Please see pages 45 through 52 of the Zoning Ordinance.

The following steps must be taken in order to have your proposed change considered by the Planning Commission:

- 1. Stop by the Code Office at least 45 working days in advance of the next regular meeting of the Planning Commission (the Third Tuesday of each month at 5:30 pm), read the Zoning Ordinance, and request that your proposal be added to the agenda.
- 2. Fill out the application for a COA and turn it in to the Code Office.
- Pay the \$50.00 fee. If you request a "special meeting" at some date or time (other than the 3<sup>rd</sup> Tuesday of every month), the fee is \$100.00.
- 4. Provide all documentation which will assist the Planning Commission in deciding if your proposed change(s) are in keeping with the Corridor Design Overlay District standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives Planning Commission members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the Planning Commission looks forward to considering your request.

#### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS MONROE PLANNING COMMISSION

Please read the Zoning Ordinance (Corridor Sections 643-1 through 643A.6). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: <u>10/01/2021</u>

APPLICANT: MUMTAZ PAROO

APPLICANT'S ADDRESS: 1000 PEACHTREE INDUSTRIAL BLVD #6187

SUWANEE, GA 30024

TELEPHONE NUMBER: (404) 234-8256

PROPERTY OWNER: MSG PETROLEUM, INC

OWNER'S ADDRESS: 1000 PEACHTREE INDUSTRIAL BLVD #6187

SUWANEE, GA 30024

TELEPHONE NUMBER: (404) 234-8256

PROJECT ADDRESS: 615 E. SPRING ST

MONROE, GA 30655

Brief description of project: <u>REDEVELOPMENT OF A GAS STATION AND CONVENIENCE</u> STORE

(Continue on separate sheet, if necessary.)

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used. 51

Provide such other information that is necessary for the Planning Commission to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the Planning Commission duties include taking into account all aspects of the exterior of the structure.

In its review, the Planning Commission shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

- 1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
- 2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
- 3. Exterior construction materials, including textures and patterns.
- 4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
- 5. Roof shapes, forms, and materials;
- 6. Proportions, shapes, positionings and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than fifteen (15) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

#### **DEFINITIONS**:

A "material change in appearance" means a change that will affect either the exterior architectural or environmental features of a corridor property or any structure, site, or work of art within a corridor design overlay district, and may include any one or more of the following:

- 1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
- 2. Demolition;
- 3. Commencement of excavation for construction purposes;
- 4. A change in the location of advertising visible from the public right-of-way; and

 The erection, alteration, restoration, or removal of any building or other structure within a corridor district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec 643.4(4) (a)]

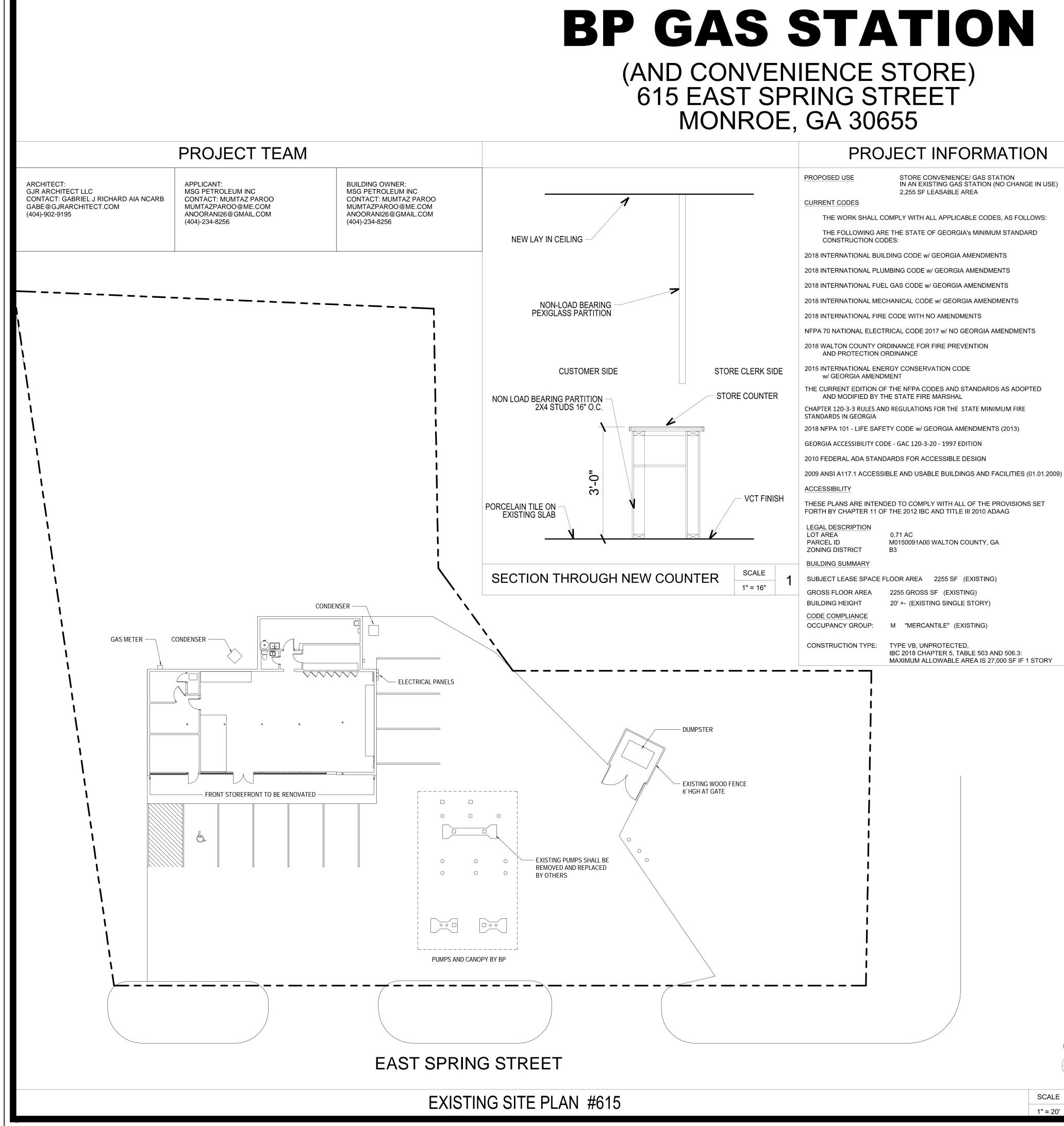
"Exterior architectural features" means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 210(65)].

"Landscaping/landscape area" means a portion of lot or land area, either natural or modified for aesthetic or functional purposes through grading and planting, consisting of vegetation including but not limited to trees, shrubs, ground covers, grass, flowers, decorative rock, bark, mulch and other similar materials. [Sec. 210(86)].

Ordinary maintenance or repair of any exterior architectural feature in or on a corridor property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 643.4(3) (b)]

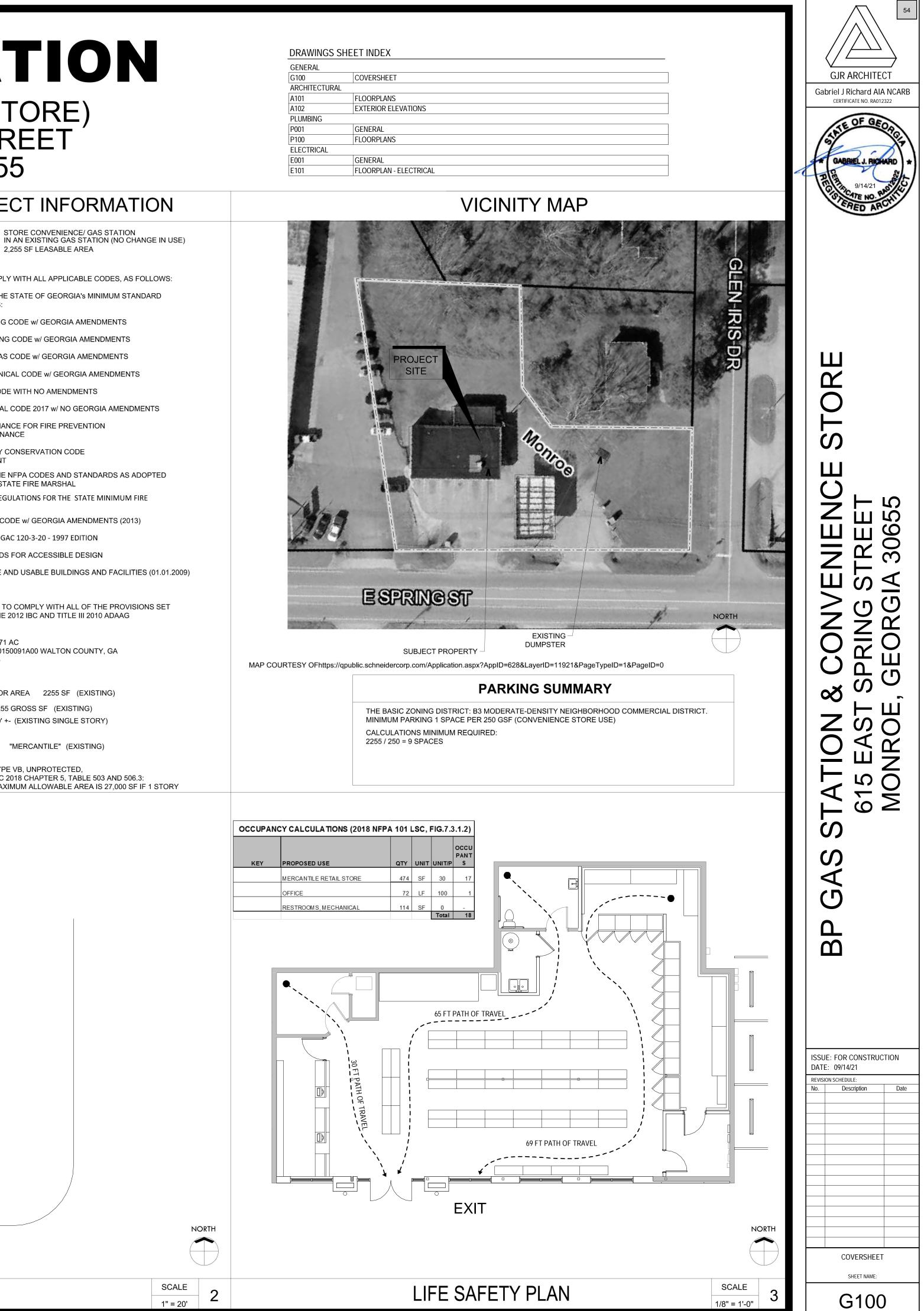
Date: 10/01/2021

Revised 9/23/19



# **BP GAS STATION**

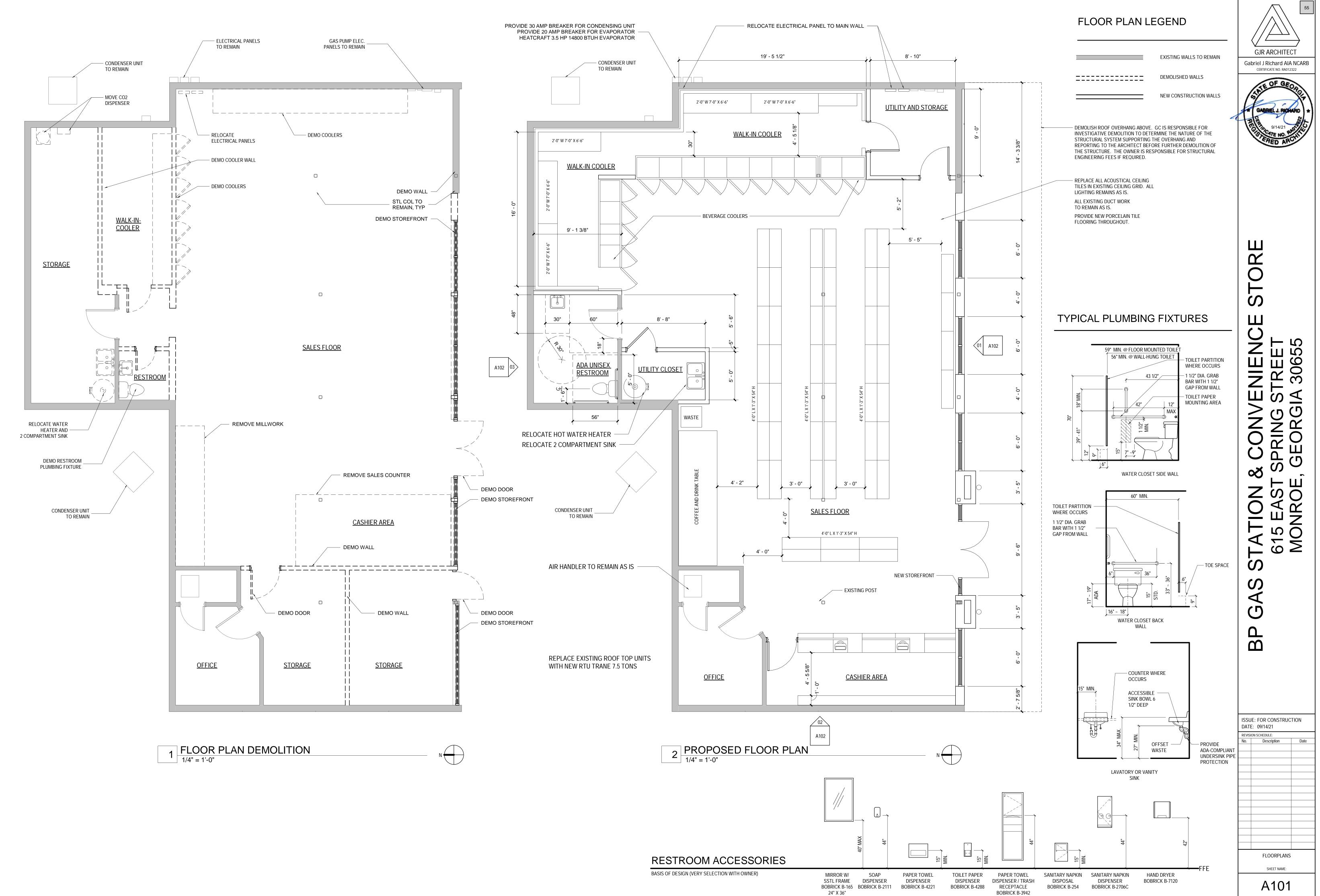
(AND CONVENIENCE STORE) 615 EAST SPRING STREET



SHEET NUMBER:



KEY	PROPOSE
	MERCANT
	OFFICE
	RESTROC





SHEET NUMBER:



LEGEN	D				
		COLD WATER PIPE			
		HOT WATER PIPE			
		HOT WATER RETURN PIPE			
e	j —	SANITARY PIPE			
		VENT PIPE			
(	<u> </u>	NATURAL GAS PIPE			
G'	W	GREASE WASTE PIPE			
F	=	FIRE SPRINKLER PIPE			
<b></b> S	Τ	STORM PIPE			
ES	бт <del></del> т	EMERGENCY STORM PIPE			
IV	V ——	INDIRECT WASTE PIPE			
P	D ———	PUMPED DISCHARGE			
F\	N	FILTERED WATER PIPE			
o	C	PIPE UP / PIPE DOWN			
	<del></del>	PIPE TEE FROM TOP / TEE FROM BOTTOM			
E	<u> </u>	PIPE CAP / PIPE CONTINUATION			
		DIRECTIONAL FLOW ARROW			
<u></u>		BALL VALVE / CHECK VALVE			
	<b>—</b> ×	MIXING VALVE / PRESSURE REDUCING VALVE			
文字	ίζικα Μαγία	BACKFLOW PREVENTER ASSEMBLY			
[c		WALL HYDRANT / HOSE BIBB			
OC		FLOOR DRAIN / FLOOR SINK			
	<b>—</b> —	WATER HAMMER ARRESTOR			
ò <b></b>	—— ※—	GAS COCK / GAS SOLENOID VALVE			
x		P-TRAP			
QC		HUB DRAIN			
م	<u></u>	TRAP PRIMER			
(	)	FLOOR CLEANOUT / GRADE CLEANOUT			
Ś	<u>ک</u>	VENT THROUGH ROOF			
	ı <del> −</del> 0	PIPE CLEANOUT / WALL CLEANOUT			

ABBRE	EVIATIONS			SPECIFICATIONS	
AAV	AIR ADMITTANCE VALVE	IMB	ICE MACHINE BOX	GENERAL	
A/C	ABOVE CEILING	IE	INVERT ELEVATION	ALL WORK SHALL COMPLY WITH ALL STATE, CITY AND LOCAL CODES, RULES AND REGULATIONS. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND INSPECTIONS ASSOCIATED WITH THIS WORK, AND SHALL PAY ALL COSTS AND FEES INVOLVED.	
A/F	ABOVE FLOOR	IWH	INSTANTANEOUS WATER HEATER	ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE BEST RECOGNIZED PRACTICE IN THE FIELD CONCERNED. MANUFACTURED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED DIRECTIONS.	
AFF, AFG	ABOVE FINISHED FLOOR/GRADE	L, LAV	LAVATORY	SPECIFICATIONS AND RECOMMENDATIONS.	
B/F, B/G	BELOW FLOOR/GRADE	MBH	I OOO BTU/HR	CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH THE SCOPE AND REQUIREMENTS OF THIS PROJECT. ANY DISCREPANCIES OR LACK OF CLARITY IN THE DOCUMENTS SHALL BE IDENTIFIED TO THE ARCHITECT OR ENGINEER PRIOR TO THE SUBMISSION OF PRICING BIDS. WITH A SUBMITTED BID, CONTRACTOR IS ACCEPTING THESE	
BFP	BACKFLOW PREVENTER	MS	MOP SINK	DOCUMENTS AS SUFFICIENT DEFINITION OF THE SCOPE OF WORK, AND ANY ADDITIONAL COSTS BASED ON UNCLARITY OF CONTRACT DOCUMENTS WILL NOT BE CONSIDERED.	
CD	CONDENSATE DRAIN	MV	MIXING VALVE	CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS FOR EQUIPMENT INSTALLATION PRIOR TO THE SUBMITTAL OF	
CONT	CONTINUATION	O/H	OVERHEAD	SHOP DRAWINGS. ALL EQUIPMENT AND DEVICES SHALL BE INSTALLED SUCH THAT THEY ARE EASILY ACCESSIBLE AND SERVICABLE. THIS EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO: PLUMBING FIXTURES, WATER HEATERS, EXPANSION TANKS, PUMPS, BACKFLOW PREVENTERS, VALVES, MIXING VALVES, THERMOMETERS, GAUGES, TRAP PRIMERS AND CLEANOUTS.	
CW	COLD WATER	G	NATURAL GAS	THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING ARCHITECTURAL STRUCTURAL, CIVIL, MECHANICAL & ELECTRICAL DRAWINGS (AS APPLICABLE) TO ENSURE ALL PLUMBING WORK IS COORDINATED WITH PHYSICAL CONDITIONS AND ALL OTHER TRADES.	
DN	DOWN	PD	PUMPED DISCHARGE		
ET	EXPANSION TANK	PRV	PRESSURE REDUCING VALVE	THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE ARCHITECTURAL DRAWINGS TO ENSURE THERE IS ADEQUATE WALL THICKNESS SUCH THAT ALL PIPING, FIXTURE CARRIERS, WALL CLEANOUTS, WALL BOXES, WALL HYDRANTS AND ACCESS PANELS	
EWC	ELECTRIC WATER COOLER	RP	RECIRCULATION PUMP	WILL FIT IN THE WALL SPACE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IF WALL SPACE IS INADEQUATE PRIOR TO COMMENCING WORK.	
ex.	EXISTING	S, SAN	SANITARY	THE CONTRACTOR SHALL OBTAIN EXACT WALL, FIXTURE, AND LAYOUT DIMENSIONS FROM THE ARCHITECTURAL DRAWINGS. THE	
FCO	FLOOR CLEANOUT	SH	SHOWER	CONTRACTOR IS RESPONSIBLE FOR OBTAINING ROUGH-IN AND INSTALLATION DRAWINGS FOR ALL PLUMBING FIXTURES, KITCHEN EQUIPMENT AND OWNER FURNISHED EQUIPMENT (AS APPLICABLE), AND SHALL COORDINATE THE PLUMBING INSTALLATION PRIOF TO COMMENCING THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL NECESSARY VALVES.	
FD	FLOOR DRAIN	SK	SINK	CONNECTIONS, TRAPS, ACCESS PANELS, UNIONS, ESCUTCHEONS, WATER HAMMER ARRESTORS, VACUUM BREAKERS, RELIEF VALVES, PIPE INSULATION, AND EQUIPMENT SPECIALTY DEVICES AS REQUIRED TO FACILITATE COMPLETE AND OPERATIONAL	
FHB	FREEZEPROOF HOSE BIBB	TP	TRAP PRIMER	CONDITIONS WHICH ARE IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THESE DRAWINGS ARE DIAGRAMMATIC AND DO NOT REFLECT ALL POSSIBLE PHYSICAL CONDITIONS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND EXACT LOCATIONS OF EQUIPMENT AND FIXTURES. PROVIDE NECESSARY PIPING OFFSETS TO COORDINATE WITH THE BUILDING STRUCTURE, WORK OF OTHER TRADES, AND CONNECTION TO SITE UTILITIES (AS	
=5	FLOOR SINK	TYP	TYPICAL		
FRH	FREEZEPROOF ROOF HYDRANT	UR	URINAL	APPLICABLE).	
⁼WH	FREEZEPROOF WALL HYDRANT	$\vee$	VENT	COORDINATE THE ELECTRICAL REQUIREMENTS AND CHARACTERISTICS OF ALL PLUMBING EQUIPMENT WITH THE ELECTRICAL CONTRACTOR PRIOR TO ISSUING SUBMITTALS OR PURCHASING EQUIPMENT.	
GCO	GRADE CLEANOUT	VTR	VENT THROUGH ROOF	UNLESS NOTED OTHERWISE, ALL DRAINAGE PIPING SHALL BE SLOPED AT A MINIMUM OF $\frac{1}{8}$ " PER FOOT. 2" SANITARY PIPING AND ALL GREASE WASTE PIPING SHALL BE SLOPED AT $\frac{1}{4}$ " PER FOOT.	
GI	GREASE INTERCEPTOR	WC	WATER CLOSET	DOMESTIC WATER PIPING SHALL BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE	
HB	HOSE BIBB	W.C.	WATER COLUMN	FLUSHED AND STERILIZED IN ACCORDANCE WITH IPC 610.1 AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.	
HD	HUB DRAIN	WCO	WALL CLEANOUT	ALL DOMESTIC WATER PIPING, SANITARY P-TRAPS AND GREASE WASTE PIPING SUBJECT TO FREEZING SHALL BE INSULATED AND PROVIDED WITH HEAT TRACE. CONDENSATE PIPING SUBJECT TO FREEZING WITHIN WALK-IN FREEZERS SHALL BE INSULATED AND	
HW	HOT WATER	WHA	WATER HAMMER ARRESTER	PROVIDED WITH HEAT TRACE. PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1" THICK PIPE INSULATION AND BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES	
HWR	HOT WATER RETURN	WMB	WASHING MACHINE BOX	SHALL BE FILLED WITH FOAM INSULATION.	
		1		NOTCHES IN STUDS, JOISTS, OR SIMILAR MEMBERS LESS THAN $I_2^{"}$ FROM THE NEAREST EDGE OF MEMBER, PIPE SHALL BE PROTECTED BY STEEL SHIELD PLATES IN ACCORDANCE WITH IPC 305.6.	
				PIPE PENETRATIONS THROUGH FIRE RATED WALLS OR FLOORS SHALL HAVE EQUIVALENTLY RATED SLEEVES AND SHALL BE SEALED AND FIRE CAULKED WITH A U.L. LISTED FIRE STOPPING SYSTEM INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LISTED DETAILS AND SPECIFICATIONS.	
				THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE REQUIREMENTS OF THE COUNTY HEALTH DEPARTMENT AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION REGARDING CROSS CONNECTION CONTROL OR OBTAINING A FOOD SERVICE PERMIT (AS APPLICABLE). REPORT ANY OBSERVED DISCREPANCIES TO THE ARCHITECT OR ENGINEER PRIOR TO COMMENCING WITH THE WORK.	
				CONTRACTOR SHALL CONFIRM PLUMBING FIXTURE FINISHES WITH THE ARCHITECTURAL SCHEDULES & DETAILS (AS APPLICABLE).	
				SUBMITTALS FURNISH SHOP DRAWINGS FOR MANUFACTURED PRODUCTS. ALL ITEMS SHALL BE CLEARLY MARKED TO MATCH EQUIPMENT MARKS ON THE PLUMBING DRAWINGS. ALL OPTIONS MUST BE CLEARLY MARKED ON THE SUBMITTAL SHEET. A MODEL NUMBER LISTING ON A COVER SHEET IS NOT AN ACCEPTABLE SUBSTITUTE FOR MARKING THE ACTUAL SUBMITTAL SHEET. ELECTRICAL DATA FOR POWERED EQUIPMENT MUST BE INDICATED ON THE SUBMITTAL SHEET FOR THAT ITEM.	
				ALL ITEMS MUST BE SUBMITTED IN ONE PACKAGE AT THE SAME TIME, IN ELECTRONIC PDF FORMAT. SEPARATE SUBMITTALS FOR FIXTURES AND EQUIPMENT IS NOT ACCEPTABLE.	
				SUBMITTAL REVIEW IS CONSIDERED A GENERAL ACCEPTANCE OF THE BASIC APPLICABILITY OF THE EQUIPMENT. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND/OR ALTERNATE ARRANGEMENT OF THE EQUIPMENT WITHIN A GIVEN SPACE. WHEN SUBSTITUTED EQUIPMENT IS INSTALLED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION OR ADDITIONAL COST BROUGHT ON BY THE USE OF THIS EQUIPMENT.	
				HANGERS AND SUPPORTS HANGERS SHALL BE COMPLETE WITH RODS AND SUPPORTS PROPORTIONED TO THE SIZE OF PIPE TO BE SUPPORTED, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.	

SIZE HANGERS FOR INSULATED PIPING TO BEAR ON OUTSIDE OF INSULATION. PROVIDE INSULATION PROTECTORS AT HANGERS BEARING ON THE OUTSIDE OF INSULATION. PROVIDE A RIGID INSERT OR RIGID INSULATION AT EACH INSULATION PROTECTOR.

WHERE SEVERAL PIPES 2/3" AND SMALLER RUN PARALLEL AND IN THE SAME PLANE. THEY MAY BE SUPPORTED ON GANG OR MULTIPLE HANGERS. LARGER PIPING SHALL BE INDEPENDENTLY HUNG, RUN PARALLEL AND BE EQUALLY SPACED.

PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IPC SECTION 308, AND SPACING OF HANGERS SHALL NOT EXCEED THE LIMITS SET FORTH IN TABLE 308.5. PIPES SHALL BE SUPPORTED WITHIN 1'-O" OF EACH ELBOW.

VERTICAL PIPE SUBJECT TO MOVEMENT SHALL BE SUPPORTED FROM THE WALL BY MEANS OF A PIPE CLAMP.

SUPPORT DOMESTIC WATER PIPING IN SPACES BEHIND PLUMBING FIXTURES BY BRACKETS AND U-BOLTS SECURED TO WASTE AND VENT STACKS. SIZE U-BOLTS TO BEAR ON THE PIPING. AFTER HANGER RODS ARE INSTALLED IN FINISHED CONCRETE CEILING, FILL THE REMAINING OPENING WITH CEMENT SO THAT NO

HOLE SHOWS AT THE CEILING.

WHERE COPPER PIPING IS USED, NONFERROUS METAL SUPPORT(S) OR PROPER ISOLATION BETWEEN DISSIMILAR MATERIALS SHALL BE PROVIDED.

PIPE HANGERS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN MANUFACTURER'S STANDARDIZATION SOCIETY STANDARD PRACTICES NO. SP-69 AND SP-58.

SLEEVES SHALL BE PROVIDED WHERE PIPES PASS THROUGH WALLS, FLOORS AND ROOFS.

PROVIDE STANDARD WEIGHT STEEL SLEEVES IN CONCRETE AND MASONRY CONSTRUCTION, PROVIDE 26GA GALVANIZED SHEET METAL SLEEVES IN INTERIOR DRYWALL CONSTRUCTION. SLEEVES SHALL BE THE FULL THICKNESS OF WALLS AND SHALL ALLOW FOR THE FULL THICKNESS OF PIPE INSULATION, WHERE APPLICABLE.

SLEEVES MAY BE OMITTED WHEN OPENINGS ARE CORE DRILLED FOR CONCEALED VERTICAL AND HORIZONTAL PIPING. SLEEVES ARE NOT REQUIRED AT INDIVIDUAL PLUMBING FIXTURES OR IN CONCRETE FLOOR SLABS ON GRADE, UNLESS OTHERWISE NOTED.

SLEEVES FOR ALL PIPING PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE PROVIDED WITH 3M PIPE BARRIER NO. CP-25 FIRE PROOFING CAULKING, OR EQUAL, IN ANNULAR SPACE BETWEEN SLEEVE AND PIPING. CONTRACTOR SHALL VERIFY THE RATING OF THE WALL AND CONFIRM THE PENETRATION PROTECTION PROVIDED MEETS THAT RATING.

PENETRATIONS THROUGH OUTSIDE WALLS SHALL BE WATERTIGHT. CAULK BETWEEN PLUMBING PIPE AND SLEEVE. PACK WITH FIBERGLASS AND CAULK, I" DEEP AT EACH FACE WITH NON-HARDENING SEALANT BETWEEN PIPE AND SLEEVE.

ACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS FOR EASE OF TESTING AND SERVICING. FOR ACKFLOW PREVENTERS WITH VENT CONNECTIONS, ROUTE VENT LINE TO NEAREST DRAIN AND DISCHARGE WITH AIR GAP. ACKFLOW PREVENTERS SHALL BE TESTED IN ACCORDANCE WITH IPC 312.10.2. CONTRACTOR SHALL PROVIDE ERTIFICATIONS THAT STATE DEVICES HAVE BEEN TESTED AND APPROVED.

HERMOMETERS SHALL BE 9" ADJUSTABLE ANGLE, 30°-180°F RANGE (TRERICE BX9 OR EQUAL). PRESSURE GAUGES SHALL BE // DIAL SIZE, O-I GOPSI (TRERICE GOOCB OR EQUAL).

ONTRACTOR SHALL FIELD VERIFY INCOMING DOMESTIC WATER PRESSURE TO CONFIRM ADEQUATE PRESSURE TO SERVE THE OMESTIC WATER SYSTEM. CONTRACTOR SHALL ALERT ENGINEER TO A POTENTIAL LOW PRESSURE CONDITION. WHERE RESSURE EXCEEDS 80PSI, PROVIDE PRESSURE REGULATING VALVE (WATTS LF223) AND UPSTREAM STRAINER (WATTS LSF777).

ONTRACTOR SHALL FIELD COORDINATE LOCATION OF ACCESSIBLE ISOLATION VALVES ON DOMESTIC HOT & COLD WATER UPPLIES TO FIXTURES OR GROUPS OF FIXTURES SUCH THAT THEY MAY BE SHUT OFF FOR SERVICING. SERVICE AND HOSE IBB VALVES SHALL BE IDENTIFIED. ALL OTHER VALVES INSTALLED IN LOCATIONS THAT ARE NOT ADJACENT TO THE FIXTURE(S) HALL BE IDENTIFIED, INDICATING THE FIXTURE(S) SERVED. TURN AIR PLENUMS

L EXPOSED MATERIALS WITHIN RETURN AIR PLENUMS SHALL BE NONCOMBUSTIBLE OR HAVE A FLAME SPREAD INDEX OF NOT ORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50, AS DETERMINED IN ACCORDANCE WITH ASTM 34/UL723. COPPER AND CAST IRON PIPING IS APPROVED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ETURN AIR PLENUM LOCATIONS WITH THE MECHANICAL CONTRACTOR.

SULATE ALL DOMESTIC HOT WATER AND HOT WATER RECIRCULATION PIPING IN ACCORDANCE WITH IECC TABLE C403.2.10. IPE UP TO  $1/_{4}$ ": 1" THICK INSULATION. PIPE  $1/_{2}$ " OR LARGER:  $1/_{2}$ " THICK INSULATION

ISULATE ALL HORIZONTAL COLD WATER PIPING LOCATED ABOVE CEILING, VERTICAL PIPING LOCATED IN AN EXTERIOR WALL, XPOSED PIPING (I.E. MECH ROOMS). PIPE UP TO 1":  $\frac{1}{2}$ " THICK. PIPING 1 $\frac{1}{4}$ " AND OVER: 1" THICK INSULATION. ALL WATER AND RAINAGE PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1" THICK PIPE INSULATION AND BE LOCATED ON THE TERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES SHALL BE FILLED ITH FOAM INSULATION.

LL JOINTS SHALL BE SEALED WITH MATCHING VAPOR BARRIER TAPE.

OTECTION OF PIPING ING PASSING UNDER FOOTINGS OR THROUGH FOUNDATION WALLS SHALL BE PROVIDED WITH A SLEEVE TWICE THE DIAMETER. F THE PIPE. OPEN ENDS OF SLEEVES SHALL BE SEALED. PIPING PASSING THROUGH CONCRETE OR CINDER WALLS AND OORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED IN ACCORDANCE WITH IPC 305.1. ALL PIPING INSTALLED HROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS SHALL BE PROTECTED BY STEEL SHIELD LATES IN ACCORDANCE WITH IPC 305.6. VERTICAL STACKS IN WOOD CONSTRUCTION SHALL BE PROTECTED FROM BUILDING ETTLING WITH COMPRESSION/EXPANSION FITTINGS AND PIPE CLAMPS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS ERNCO XJ SERIES OR EQUAL).

ATER HEATERS SHALL BE U.L. LISTED AND SHALL MEET OR EXCEED THE STANDBY LOSS REQUIREMENTS OF U.S. DEPT. OF IERGY AND CURRENT EDITION OF ASHRAE/IESNA 90.1. ATER HEATERS SHALL HAVE I 50PSI WORKING PRESSURE AND BE EQUIPPED WITH EXTRUDED HIGH DENSITY ANODE ROD AND

WATER HEATERS SHALL HAVE A MINIMUM 3 YEAR LIMITED WARRANTY.

SERVICING.

INSTALL SHUTOFF VALVES IN COLD WATER INLET AND HOT WATER OUTLET. INSTALL THERMOMETER ON HOT WATER OUTLET. WATER HEATER SHALL HAVE ASME RATED COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE IN TOP PORTION OF TANK (FACTORY OR FIELD INSTALLED). PIPE RELIEF VALVE OUTLET TO FLOOR DRAIN, MOP SINK, INDIRECT WASTE RECEPTOR OR TO EXTERIOR. MAINTAIN CONTINUOUS DOWNWARD PITCH TOWARD DISCHARGE LOCATION, AND PROVIDE AIR GAP AT DISCHARGE LOCATION. WHERE WATER HEATER DRAIN PAN IS INDICATED ON PLANS, ROUTE DRAIN TO SAME LOCATION AS RELIEF VALVE AND DISCHARGE WITH AIR GAP. WASTE AND VENT PIPING SYSTEMS AND ACCESSORIES

PIPE AND FITTINGS SHALL BE MANUFACTURED FROM PVC COMPOUND WITH A CELL CLASS OF 12454 PER ASTM D-1784 AND CONFORM WITH NATIONAL SANITATION FOUNDATION (NSF) STANDARD 14. PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM D-1785 AND ASTM D-2665. INJECTION MOLDED FITTINGS SHALL CONFORM TO ASTM D-2665. FABRICATED FITTINGS SHALL CONFORM TO ASTM F-1866. SOLVENT CEMENTS SHALL CONFORM TO ASTM D-2564. PRIMER SHALL CONFORM TO ASTM F-656. BURIED PIPE SHALL CONFORM TO ASTM D-2321.

WASTE AND VENT PIPING SHALL BE TESTED IN ACCORDANCE WITH THE GOVERNING CODES. AT A MINIMUM, WASTE PIPING SHALL BE TESTED WITH AT LEAST 10 FOOT OF WATER HEAD PRESSURE APPLIED.

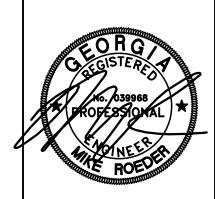
ALL VENTS THROUGH ROOF SHALL BE LOCATED AT LEAST 10'-0" AWAY FROM ANY AIR INTAKE, EVAPORATIVE COOLER, OR ANY OTHER DEVICE THAT WOULD DRAW AIR FROM THE VENT. FLASH AROUND ALL PIPES PENETRATING THROUGH ROOF WITH STANDARD MANUFACTURED FLASHINGS. FLASHING SHALL BE SHEET METAL WITH RUBBER GASKETS AND SHALL EXTEND INTO ROOFING AND UP PIPE DISTANCES IN ACCORDANCE WITH THE LOCAL CODE.

WHERE TWO HORIZONTAL PIPES (BACK-TO-BACK WATER CLOSETS OR TWO SANITARY BRANCHES) COMBINE IN THE VERTICAL, A DOUBLE COMBINATION WYE EIGHTH BEND FITTING SHALL BE INSTALLED. DOUBLE SANITARY TEE OR SANITARY CROSS IS NOT ACCEPTABLE.

WHERE DRAWINGS REQUIRE CONNECTION TO EXISTING SANITARY SEWER PIPING IN BUILDING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD DETERMINE EXACT LOCATION, DEPTH AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER IF THERE IS A POTENTIAL ISSUE MAINTAINING PROPER SLOPE IN CONNECTING TO EXISTING, OR IF THERE IS A MORE DIRECT CONNECTION POSSIBLE. CONTRACTOR SHALL CONFIRM THAT ANY EXISTING PIPING TO BE REUSED IS CLEAN, FREE OF DEFECTS, ADEQUATELY SLOPED 🕼 "/FT MINIMUM) AND THAT THERE ARE NO DIPS THAT COULD HOLD WATER. PROVIDE CAMERA SCOPING TO DOCUMENT THIS INFORMATION. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER OF ANY DEFICIENCIES.







# PECIFICATIONS

DMESTIC WATER SYSTEMS AND ACCESSORIES

ATER PIPING ABOVE SLAB: TYPE 'L' HARD DRAWN COPPER TUBING, ASTM B88, WROUGHT SOLDER JOINTS, ANSI BIG.22.

VATER PIPING BELOW SLAB: TYPE 'K SOFT DRAWN COPPER TUBING, WITH NO JOINTS BELOW SLAB, ASTM B88.

LL DOMESTIC HOT WATER PIPING SHALL HAVE A MINIMUM PRESSURE RATING OF 100PSI AT 180°F.

OMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH ALL GOVERNING CODES. PIPING SHALL BE PURGED OF ELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE FLUSHED AND STERILIZED IN ACCORDANCE WITH C 610.1 AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.

ALL VALVES SHALL BE TWO-PIECE BRONZE BODY, LARGE PORT WITH SOLID, SMOOTH BORE CHROME PLATED BRASS BALL. EATS SHALL BE REINFORCED TFE WITH TEFLON PACKING RING AND THREADED ADJUSTABLE PACKING NUT. PROVIDE STEM TENSION AS NEEDED TO PROVIDE HANDLE ON OUTSIDE OF PIPE INSULATION. VALVES SHALL BE APOLLO 70 OR EQUAL.

ISULATION SHALL HAVE A K-FACTOR (AVERAGE THERMAL CONDUCTIVITY) NOT TO EXCEED 0.27 BTU-IN/HR x SQFT x °F.

### ANK TYPE WATER HEATERS

IGH TEMPERATURE CUTOFF SWITCH. WATER HEATERS SHALL BE THERMOSTATICALLY CONTROLLED AND SET TO 120° UNLESS THERWISE NOTED. WATER HEATERS SHALL BE INSTALLED ON SUSPENDED PLATFORM, STEEL STAND OR CONCRETE PAD, AS IDICATED ON DRAWINGS.

WATER HEATERS SHALL BE INSTALLED LEVEL AND PLUMB. FIELD COORDINATE EXACT WATER HEATER LOCATION. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES, AND INSTALL SUCH THAT CONTROLS AND DEVICES ARE ACCESSIBLE FOR

SANITARY PIPING SHALL BE PVC SCHEDULE 40 SOLID WALL PIPE AND DWV FITTING SYSTEM.

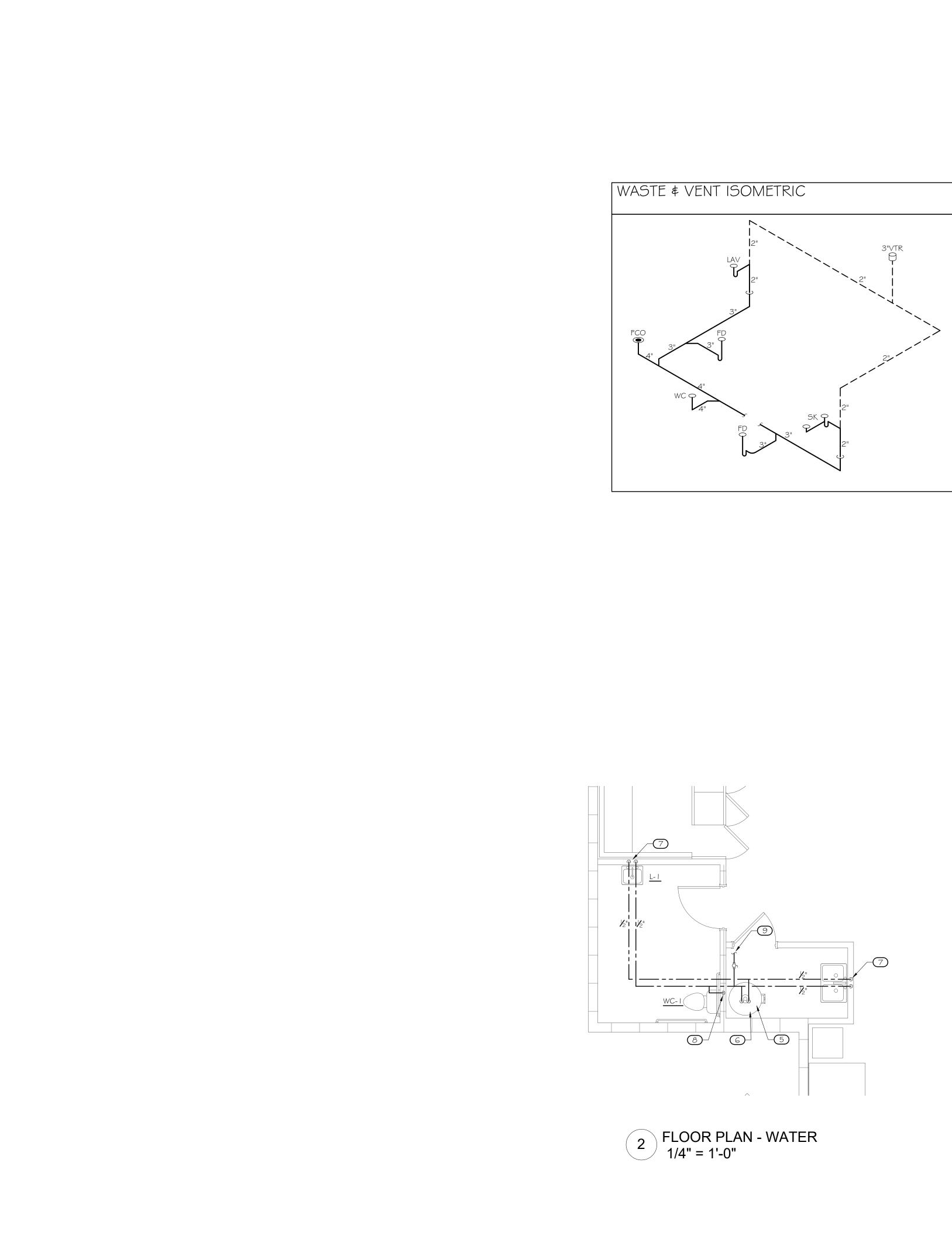
NO DOUBLE COMBINATION FITTINGS MAY BE UTILIZED IN THE HORIZONTAL.

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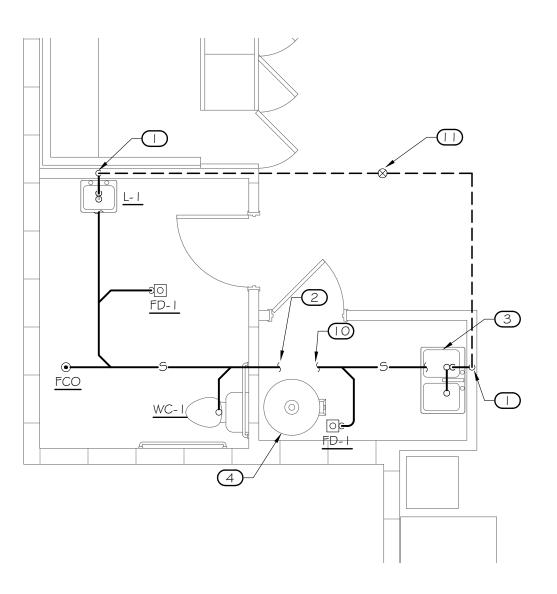


					WATER F	WATER RUNOUT		CONN.	
MARK	DESCRIPTION	WASTE RUNOUT	WASTE CONN.	VENT	CW	НW	CW	нw	SPECIFICATION
L- 1	LAVATORY (ADA) - WALL HUNG	2"	/2"	2"	1/2"	1/2"	3/8"		WALL HUNG LAVATORY (AMERICAN STANDARD "LUCERNE," 0355.012) WITH CONCEALED ARM CARRIER MOUNTING (ZURN Z1231). PROVIDE 0.5GPM SINGLE HANDLE FAUCET WITH POLISHED CHROME FINISH (DELTA 501LF-HGMHDF). HANDICAP DRAIN OFFSET W/GRID DRAIN (ZURN Z8746-PC) AND CHROME PLATED P-TRAP (ZURN Z8701-PC). CHROME PLATED BRASS ANGLE SUPPLY STOPS WITH FLEX SUPPLIES (MCGUIRE H165). INSULATE OFFSET, TRAP AND SUPPLY LINES (TRUEBRO "LAVGUARD," #103 E-Z). PROVIDE THERMOSTATIC MIXING VALVE TO TEMPER HOT WATER TO 110 DEGREES (LEONARD 170-LF). LEAD FREE, ASSE 1070.
WC- I	WATER CLOSET (ADA) - TANK TYPE	4"	3"	2"	1/2"		1/2"		FLOOR MOUNTED, ADA TANK TYPE WATER CLOSET (AMERICAN STANDARD "CADET PRO RIGHT HEIGHT," 2   5AA.   04),   .28 GPF, WHITE VITREOUS CHINA, GRAVITY FED FLUSH ACTION. TOP OF RIM AT   6.5" AFF. HIGH EFFICIENCY 'WATERSENSE' LISTED. PROVIDE ALTERNATE TANK CONFIGURATION (2   5AA.   05) WITH TRIP LEVER ON RIGHT HAND SIDE IF NECESSARY TO HAVE LEVER ON OPEN SIDE OF WATER CLOSET. HEAVY DUTY OPEN FRONT SEAT, LESS COVER, WITH SELF-SUSTAINING CHECK HINGE (BEMIS   05555C). CHROME PLATED BRASS ANGLE SUPPLY STOP WITH   2" LONG X 3/8" FLEX SUPPLY (MCGUIRE M   66).
FD-1	FLOOR DRAIN - GENERAL PURPOSE	3"	3"	2"					GENERAL PURPOSE FLOOR DRAIN (J.R. SMITH #2005) WITH FLASHING COLLAR, ADJUSTABLE STRAINER HEAD \$ 5" ROUND NICKEL BRONZE STRAINER. PROVIDE SQUARE STRAINER FOR TILE APPLICATIONS. PROVIDE ASSE   072 TRAP SEALER (ZURN Z   072).
FCO	FLOOR CLEANOUT	see plan	see plan						FLOOR CLEANOUT WITH CAST IRON BODY AND ADJUSTABLE NICKEL BRONZE TOP (J.R. SMITH 403   ). CLEANOUT SIZE SHALL MATCH LINE SIZE.
	PRIOR TO SUBMITTAL OR PURCHASE, THE PLUMBING CONTRACTOR SHALL VERIFY FIXTURE SPECIFICATIONS WITH ARCHITECT/OWNER								

# KEYNOTES

## ☐ 2" ∨ DN

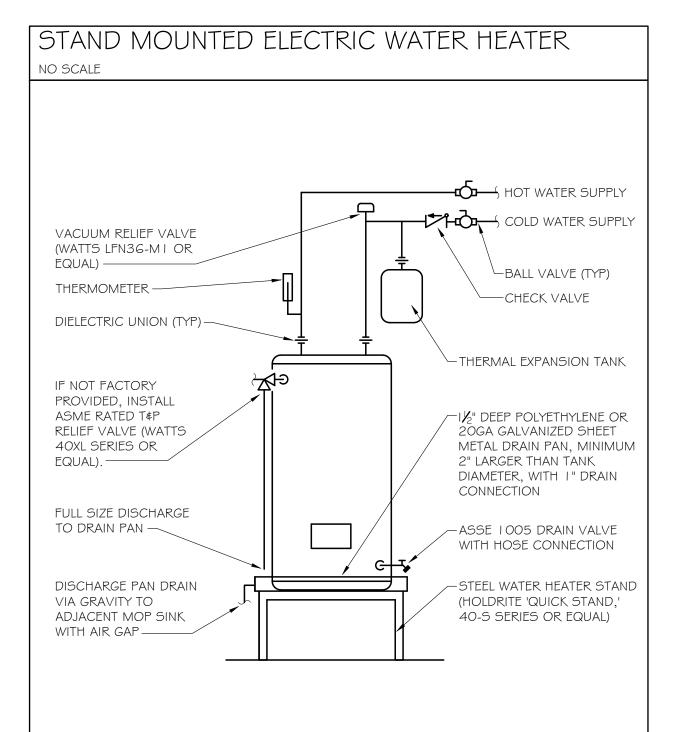
- 2 4" S B/F & CONNECT TO EXISTING SANITARY SEWER MAIN IN BUILDING. FIELD VERIFY EXACT LOCATION, DEPTH, AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK.
- 3 REINSTALL EXISTING 2-COMPARTMENT SINK AT THIS LOCATION
- 4 DISCHARGE DRAIN PAN TO FLOOR DRAIN
- 5  $\frac{3}{4}$ " CW &  $\frac{3}{4}$ " HW TO STAND MOUNTED WATER HEATER, SEE DETAIL
- 6 REINSTALL EXISTING TANK WATER HEATER AT THIS LOCATION.
- CONTRACTOR SHALL ENSURE CURRENT INSTALLATION IS IN ACCORDANCE WITH WATER HEATER DETAIL ON THESE DRAWINGS.
- 7 ½" CW ∉ ½" HW DN
- (8) ½" CW DN
- $\mathfrak{P}_{4^{"}}$  CW A/C & CONNECT TO EXISTING WATER PIPING, FIELD VERIFY SIZE AND EXACT LOCATION.
- 3" S B/F & CONNECT TO EXISTING SANITARY SEWER MAIN IN BUILDING. FIELD VERIFY EXACT LOCATION, DEPTH, AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK.
- (I) 3" V UP TO 3" VTR

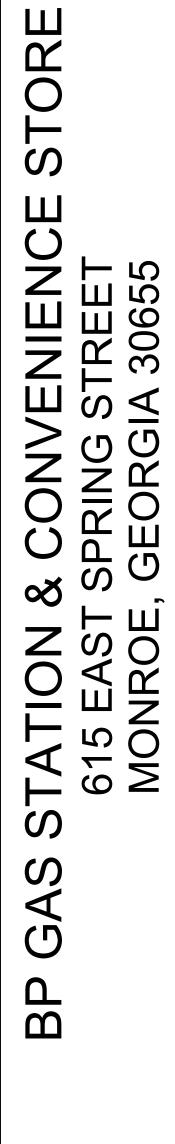


FLOOR PLAN - WASTE & VENT 1/4" = 1'-0"



	GJR ARCHITECT
G	Gabriel J Richard AIA NCARB CERTIFICATE NO. RA012322
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## SPECIFICATIONS

## GENERAL

CONTRACTOR SHALL REFER TO ALL RELATED DOCUMENTS, ARCHITECTURAL, STRUCTURAL, CIVIL AND MEP DRAWINGS, AND FULLY UNDERSTAND THE SCOPE OF WORK AND CONDITION OF CONSTRUCTION.

THE WORK UNDER THIS SPECIFICATIONS AND DRAWINGS SHALL INCLUDE ALL LABOR.

ALL INSTALLATION OF DEVICES AND CONNECTION OF CONDUCTORS SHALL BE PERFORMED BY LICENSED AND SKILLED ELECTRICIAN OR JOURNEYMAN.

ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE OWNER. IF ANY PORTION OF THE WORK IS FOUND UNSATISFACTORY BY THE OWNER, IT SHALL BE REMOVED AND REINSTALLED WITHOUT DELAY AT NO COST TO THE OWNER.

THE WORK INCLUDES, BUT NOT LIMITED TO: THE COMPLETE ELECTRICAL DISTRIBUTION SYSTEM.

ROUGH-IN AND FINAL CONNECTIONS TO ALL DEVICES REQUIRING ELECTRICAL POWER, INCLUDING OWNER PROVIDED EQUIPMENT. LIGHTING CONTROL

LIGHTING FIXTURES

EACH CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS REQUIRED BY THE REGULATORY AUTHORITIES. ALL FEES RELATED TO OBTAINING PERMITS AND INSPECTION SHALL BE PAID FOR BY EACH CONTRACTOR IN HIS TRADE.

ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH LOCAL, COUNTY, STATE, AND NATIONAL ELECTRICAL CODE 2020, SPECIFICATIONS, UTILITY COMPANY REQUIREMENTS AND ALL INDUSTRY STANDARDS.

ANY DIFFERENCES IN ABOVE MENTIONED REQUIREMENTS, THE MOST STERN SHALL OVERRULE ALL OTHERS.

IN ADDITION TO ABOVE MENTIONED CODES AND SPECIFICATIONS, THE FOLLOWING INDUSTRY STANDARDS SHALL BE COMPLIED IF THEY ARE MORE STRINGENT. IEEE

IES	
IECC 2015	
ASHRAE 90.1	
NFPA	
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UL	
ADA	

THE MANUFACTURER'S PUBLISHED DIRECTIONS SHALL BE FOLLOWED IN THE DELIVERY, STORAGE, PROTECTION, INSTALLATION AND WIRING OF ALL EQUIPMENT AND MATERIAL.

THE DRAWINGS SHOW DIAGRAMMATICALLY THE LOCATIONS OF THE VARIOUS LINES, CONDUITS, FIXTURES, AND EQUIPMENT AND THE METHOD OF CONNECTING AND CONTROLLING THEM. IT IS NOT INTENDED TO SHOW EVERY CONNECTION IN DETAIL AND ALL FITTINGS REQUIRED FOR A COMPLETE SYSTEM. THE SYSTEMS SHALL INCLUDE BUT ARE NOT LIMITED TO THE ITEMS SHOWN ON THE DRAWINGS. EXACT LOCATIONS OF THESE ITEMS SHALL BE DETERMINED BY REFERENCE TO THE GENERAL PLANS AND MEASUREMENTS AT THE BUILDING AND IN COOPERATION WITH THE OTHER SUBCONTRACTORS, AND IN ALL CASES, SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. THE OWNER RESERVES THE RIGHT TO MAKE ANY REASONABLE CHANGE IN THE LOCATION OF ANY PART OF THIS WORK WITHOUT ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL SEEK APPROVAL FROM THE OWNER FOR ANY CHANGES TO THE SPECIFICATIONS OR CONTRACT DOCUMENTS.

ANY EXCEPTIONS, INCONSISTENCIES AND CONFLICTS IN CONTRACT DOCUMENTS, SPECIFICATIONS AND CONTRACT DOCUMENTS BY OTHER TRADE SHALL BE BROUGHT TO ATTENTION TO THE OWNER PRIOR TO BID.

CONTRACTOR SHALL COORDINATE AND VERIFY THE WORK WITH EXISTING CONDITIONS AND THE WORK OF OTHER TRADE PRIOR TO ANY FABRICATIONS OR INSTALLATION. IF THE LAYOUT OF THE DEVICES ON DRAWINGS ARE IMPRACTICAL TO THE CONDITION IN FIELD, CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY PRIOR TO ANY FABRICATION OR INSTALLATION.

ECTRICAL DEVICES ARE INDICATED ON DRAWINGS AT APPROXIMATE LOCATIONS. THE OWNER RESERVE THE RIGHT TO MAKE REASONABLE CHANGES IN LOCATIONS WITHOUT ADDITIONAL COSTS.

THE LINES INDICATING BRANCH CIRCUITS DO NOT REPRESENT THE ROUTING OF ELECTRICAL CONDUITS. THEY INDICATE THE LAYOUT AND CONTROL OF CIRCUITS.

PRODUCTS AND WORK

MATERIALS FURNISHED SHALL BE NEW AND BY STANDARD MANUFACTURERS AND MUST CONFORM TO THE NATIONAL BOARD OF FIRE UNDERWRITER'S REQUIREMENTS AND BEAR THE UNDERWRITER'S LABORATORIES' SEAL OF APPROVAL.

LISTED MANUFACTURERS, MODELS, OR CATALOGUE NUMBERS IN PART OR ALL SHALL ENTAIL TO INCLUDE THE PUBLISHED MANUFACTURER'S DESCRIPTION AND SPECIFICATION. CONTRACTOR SHALL NOT INTERPRET THAT THE LISTED MANUFACTURERS IN SPECIFICATIONS

OR DRAWINGS TO EXCLUDE ALL OTHER MANUFACTURERS CONTRACTOR SHALL MAKE CERTAIN THAT ALL EQUIPMENT FIT IN THE SPACE DESIGNATED

AND DESIGNED FOR THE SURROUNDINGS IT OCCUPIES.

COMPLETE CATALOGUE ILLUSTRATION AND DESCRIPTIONS OF ALL EQUIPMENT SHALL BE SUBMITTED TO THE OWNER PRIOR TO ORDERING ANY EQUIPMENT.

ALL HORIZONTAL RUNS OF CONDUITS SHALL BE SUPPORTED BY MEANS OF APPROVED HANGER FROM THE STRUCTURAL CEILING.

COORDINATE THE WORK UNDER THIS SECTION WITH ALL OTHER TRADES.

CONDUITS AND RACEWAYS:

MANUFACTURERS: SQUARE D, B-LINE, ALLIED TUBE & CONDUIT, HOFFMAN, CARLON ELECTRICAL, WIREMOLD.

OUTDOORS EXPOSED: RIGID STEEL.

OUTDOORS CONCEALED ABOVE GROUND: RIGID STEEL. OUTDOORS UNDERGROUND: TYPE EPC-40-PVC

OUTDOORS CONNECTION TO VIBRATING EQUIPMENT (INCLUDING TRANSFORMERS AND

MOTOR DRIVEN EQUIPMENT): LFMC. BOXES AND ENCLOSURES ABOVE GROUND: NEMA 3R UNLESS NOTED OTHERWISE ON PLANS.

INDOORS EXPOSED NOT SUBJECT TO PHYSICAL DAMAGE: EMT. INDOORS EXPOSED NOT SUBJECT TO SEVERE PHYSICAL DAMAGE: EMT.

INDOORS EXPOSED SUBJECT TO SEVERE PHYSICAL DAMAGE: RIGID STEEL CONDUIT. INDOORS CONCEALED IN CEILINGS AND INTERIOR WALLS AND PARTITIONS: EMT. INDOORS CONNECTION TO VIBRATING EQUIPMENT: FMC, EXCEPT USE LFMC IN DAMP OR WET LOCATIONS.

INDOORS DAMP OR WET LOCATIONS: IMC. INDOORS LOW-VOLTAGE CABLES: EMT.

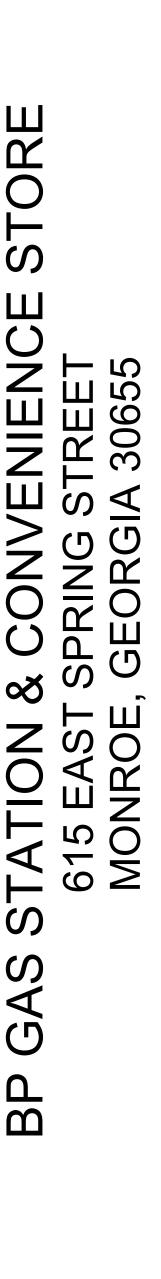
## SPECIFICATIONS

#### CONDUCTORS

SPECIFICATIONS	ELECTRICAL GENERAL NOTES	LEGEND			
		SYMBOLS	DESCRIPT	ION	MOUNTING
CONDUCTORS:	THE DESIGN OF THIS SET OF DOCUMENT IS BASED ON NEC 2020. ELECTRICAL CONTRACTOR SHALL REFER TO ALL OTHER DESIGN DRAWINGS PRIOR TO BID AND	φ	DUPLEX RECEPTACLE, 120V,	20A, NEMA 5-20R	18" AFF
COPPER CONDUCTORS #10 AND SMALLER:	RETAIN FULL UNDERSTANDING OF THE SCOPE OF WORK.	$\bigcirc$	DUPLEX RECEPTACLE, 120V,	20A, NEMA 5-20R	42" AFF OR 6" ABOVE COUNTER TOP
LABELED PER UL 83, TYPE THHN/THWN, SOLID COPPER 600 VOLT INSULATION, UNIFORM COLOR CODED JACKET WITH JACKET DATA.	FIXTURE TYPE INDICATED BY UPPER CASE CHARACTERS, SWITCHING AND GROUPING DESIGNATED BY LOWER CASE LETTER AND CIRCUIT BY NUMBER (WHERE APPLICABLE).	₩	QUADRAPLEX RECEPTACLE, 1 5-20R	20V, 20A, NEMA	I 8" AFF
METAL CLAD (TYPE MC) CABLE WHERE INSTALLED IN ACCORDANCE WITH NEC ARTICLE 330. COPPER CONDUCTORS #8 OR LARGER:	REFER TO THE ARCHITECTURAL/INTERIORS REFLECTED CEILING PLANS FOR EXACT FIXTURE PLACEMENT AND DIMENSIONS.	₽AC	QUADRAPLEX RECEPTACLE, 1 5-20R	20V, 20A, NEMA	42" AFF OR 6" ABOVE COUNTER TOP
LABELED PER UL 83, TYPE THHN/THWN, STRANDED COPPER, GOOVOLT INSULATION, UNIFORM	REFER TO THE ARCHITECTURAL/INTERIORS DOCUMENTS FOR ACTUAL DEVICE LOCATIONS	$\square$	DUPLEX RECEPTACLE, 120V,	20A, NEMA 5-20R	FLUSH WITH FINISHED FLOOR
COLOR CODED JACKET WITH JACKET DATA.	AND DIMENSIONS. COORDINATE THE INSTALLATION OF ALL CEILING MOUNTED DEVICES (FIRE ALARM SYSTEM	Φ	DUPLEX RECEPTACLE, 120V,	20A, NEMA 5-20R	IN CEILING
PIRELLIE SOUTHWIRE	DEVICES AND SPEAKERS, SOUND SYSTEM SPEAKER, ETC.) TO BE SYMMETRICAL ABOUT LIGHT FIXTURES AND SPRINKLER HEADS. REFER TO THE ARCHITECTURAL REFLECTED CEILING	$\bigcirc$	SPECIAL RECEPTACLE, CONF ELECTRICAL CHARACTERISTIC		18" AFF
AETNA REPUBLIC AFC	PLAN. TYPICAL. ALL MOUNTING OF EQUIPMENT IS AS SHOWN UNLESS OTHERWISE NOTED. COORDINATE WITH	Q	JUNCTION BOX FLUSH IN WA PER NEC.	LL WITH COVER. SIZE	I 8" AFF
ENCORE WIRE KERITE	ARCHITECT THE COLOR/FINISHES OF ALL ELECTRICAL DEVICES, OUTLETS, COVERPLATES AND TRIM.	J	JUNCTION BOX FLUSH IN CEI SIZE PER NEC.	LING WITH COVER.	IN CEILING
CONTRACTOR MAY USE ALUMINUM CONDUCTORS FOR #4 AWG OR LARGER IN THE PLACE OF COPPER CONDUCTORS. CONTRACTOR SHALL REFER TO NEC TABLE 310-16 FOR	EMERGENCY BATTERY PACKS AND EXIT SIGNS SHALL BE CONNECTED AHEAD OF ANY SWITCHING DEVICES.	J	JUNCTION BOX FLUSH IN FIN COVER. SIZE PER NEC.	SHED FLOOR WITH	FLUSH WITH FINISHED FLOOR
EQUIVALENT AMPACITY AND SHALL COMPENSATE FOR VOLTAGE DROP.	REFER TO MECHANICAL DRAWINGS FOR DUCT SMOKE DETECTOR LOCATIONS AND	\$	SWITCH		42" AFF
MOLDED CASE CIRCUIT BREAKER:	QUANTITIES OPERATION SHALL INCLUDE DUAL CONTACT BASE WITH LOCAL EQUIPMENT SHUTDOWN AND FIRE ALARM SIGNAL INITIATION.	<b>\$</b> / \$ <sub>3</sub>	SWITCH - 3 WAY		42" AFF
INCLUDE SCHEDULE OF ALL FUSES, RATINGS, TIME COORDINATION DATA, MANUFACTURER'S STANDARD DATA AND TIME-CURRENT CURVES. ALL DATA SHALL BE BASED ON TEST OF STANDARD PRODUCTS.	WHEN CONDUCTOR OR CONDUIT SIZE IS INDICATED FOR BRANCH CIRCUIT HOME RUN, THE CONDUCTOR AND CONDUIT SIZE INDICATED SHALL BE USED FOR THE COMPLETE CIRCUIT.	¢ / \$ <sub>05</sub>	SWITCH - WALL MTD, INTEGR SENSOR	AL OCCUPANCY	42" AFF
APPROVED MANUFACTURERS:	REFER TO THE APPROPRIATE DRAWINGS FOR THE EXACT LOCATION AND REQUIREMENTS OF	\$ <sub>LV</sub>	SWITCH - WALL MTD, LOW V	OLTAGE, PILOT LIGHT	42" AFF
GENERAL ELECTRIC CUTLER HAMMER SQUARE D	EQUIPMENT INSTALLED UNDER OTHER DIVISIONS OF THE DOCUMENTS, WHICH REQUIRE ELECTRICAL SERVICE.	♥ / \$ <sub>D</sub>	SWITCH - WALL MTD, DIMMI		42" AFF
SIEMENS	EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSTALLED IN ALL RACEWAYS.		SWITCH - CEILING MOUNTED	OCCUPANCY SENSO	
THERMAL-MAGNETIC BOLT-IN TYPE CIRCUIT BREAKERS WITH QUICK-MAKE, QUICK-BREAK CONTACTS; TRIP-FREE OPERATION WITH OVER-THE-CENTER TOGGLE HANDLE OR NON-REMOVABLE MONOLITHIC TIE-HANDLE.	WALL SWITCHES CONTROLLING CIRCUITS OF OPPOSITE PHASES SHALL NOT BE INSTALLED IN COMMON BOX UNLESS PERMANENT BARRIER IS PROVIDED.	<b>P</b>	TV OUTLET		I 8" AFF
MULTI-POLE BREAKERS SHALL HAVE INTERNAL COMMON TRIP AND COMMON RESET WITH A	ALL HOME RUNS SHALL RUN PARALLEL TO STRUCTURE AS MUCH AS POSSIBLE WHERE CEILING IS EXPOSED.		TELEPHONE OUTLET	RIPT: F - FIREMAN'S	18" AFF 42" AFF OR 6" ABOVE
SINGLE TOGGLE HANDLE OR NON-REMOVABLE MONOLITHIC TIE-HANDLE.	ALL RACEWAY AND EQUIPMENT SUPPORTS AND HANGERS SHALL BE FULLY COORDINATED WITH STRUCTURAL DRAWINGS TO INSURE LOCATION OF SAME OCCURS WITHIN FOUR (4)	▼	PHONE, H - HOUSE PHONE,	P - PAY PHONE	COUNTER TOP
TRIP RATINGS SHALL BE MOLDED ON THE HANDLE OR FACE OF BREAKER. BREAKER TERMINALS SHALL BE RATED TO ACCOMMODATE A MINIMUM OF 75 DEGREE C.	INCHES OF PANEL POINT ON BAR JOISTS.		TELEPHONE / DATA COMBINA		I 8" AFF FLUSH WITH FINISHED
CONDUCTORS.	COORDINATE LOCATION OF ALL FLOOR MOUNTED MECHANICAL AND PLUMBING EQUIPMENT IN ORDER TO VERIFY POWER ¢ CONTROL RACEWAY CONCEALED IN SLABS TERMINATED AT PROPER LOCATION.		TELEPHONE / DATA COMBINA		FLOOR 42" AFF OR 6" ABOVE
BREAKER SHALL BE RATED FOR MOUNTING AND OPERATION IN ANY POSITION; SHALL ACCOMMODATE AND MATCH THE TYPE OF TERMINATIONS REQUIRED.	DISCONNECT SWITCHES, MOTOR STARTERS AND OTHER ELECTRICAL EQUIPMENT INSTALLED		DATA OUTLET		COUNTER TOP
SINGLE POLE BREAKERS RATED 15 AND 20 AMPERES SHALL BE UL LABELED AS "SWITCHING BREAKERS" AT THE APPLIED CIRCUIT VOLTAGE.	ABOVE ACCESSIBLE CEILINGS, AND REQUIRING ACCESS FOR MAINTENANCE, SHALL BE INSTALLED WITH BOTTOM OF DEVICE ONE (1) FOOT ABOVE CEILING TO PROVIDE READY		DATA OUTLET		42" AFF OR 6" ABOVE
MULTI-POLE BREAKERS RATED 100 AMPERES AND LARGER SHALL BE MOLDED CASE THERMAL-MAGNETIC BOLT-IN TYPE BREAKER WITH ADJUSTABLE INSTANTANEOUS TRIP.	ACCESSIBILITY. MECHANICAL, PLUMBING, FIRE PROTECTION AND OTHER EQUIPMENT ARE SHOWN ON FLOOR		DISCONNECT SWITCH. SUBS	CRIPT: AMP / # OF	AS INDICATED ON
LIGHTING FIXTURE	PLAN IN APPROXIMATE LOCATION. COORDINATE WITH M, P, FP AND CONTRACT DRAWINGS/SUBMITTALS FOR EXACT LOCATION OF EQUIPMENT.		POLES / ENCLOSURE FUSED DISCONNECT SWITCH OF POLES / ENCLOSURE / FU		
SUBMITTAL:	GENERAL DIAGRAMATIC RACEWAY INTERCONNECTIONS OF EQUIPMENT, FIXTURES AND DEVICES ARE INDICATED ON FLOOR AND REFLECTED CEILING PLANS, REFER TO STRUCTURAL		ELECTRICAL PANELBOARD. R PANELBOARD SCHEDULE.		DWG SURFACE MOUNTED ON WALL
SCHEDULE BY TYPE DESIGNATION ALL LIGHTING FIXTURES, EACH COMPLETE WITH DATA SHEET WITH COMPLETE PHYSICAL, ELECTRICAL AND LIGHTING CHARACTERISTICS, LAMP TYPE	AND ARCHITECTURAL PLANS FOR ELEVATION CHANGES AND RACEWAY ROUTES.		EQUIPMENT AS NOTED ON D	RAWING.	SURFACE MOUNTED
AND LAMP DATA.	RACEWAY FOR EXTERIOR LIGHTING MAY BE INDICATED OUTSIDE OF BUILDING FOOTPRINT FOR CLARITY. ROUTE ALL EXTERIOR LIGHTING RACEWAY WITHIN BUILDING STRUCTURE.		MOTOR		
REFER TO THE "LIGHTING FIXTURE SCHEDULE" \IN THE DRAWINGS FOR INDIVIDUAL FIXTURE DESCRIPTIONS AND MANUFACTURER TYPES.	POWER AND COMMUNICATIONS/DATA CONDUITS CAN CROSS AT 90°, BUT WHERE PARALLEL, SHALL BE A MINIMUM OF 8" APART.		HOME RUN WITH WIRE TICKS		
PROVIDE LAMPS FOR EACH FIXTURE OF QUANTITY, TYPE AND COLOR AS LISTED IN LIGHTING FIXTURE SCHEDULE. GE, SYLVANIA OR PHILIPS ARE ACCEPTABLE.	TELEVISION AND RADIO ANTENNAS CABLES SHALL HAVE SURGE PROTECTION. GROUND ALL	XX-#	DESIGNATION, # - CIRCUIT D TICKS - (1) NEUTRAL  , (3) H		
EACH LIGHTING FIXTURE SHALL BE UL LABELED FOR PROPER OPERATION IN THE TYPE OF CEILING CONSTRUCTION AND FOR THE MOUNTING ARRANGEMENT ON/IN WHICH IT IS	MASTS. PROVIDE TVSS FOR FIRE ALARM CONTROL PANEL.	0/0-	SMOKE DETECTOR. CEILING ,	WALL MOUNTED	
INSTALLED.	FIELD COORDINATE MECHANICAL AND PLUMBING EQUIPMENT ELECTRICAL CHARACTERISTICS	⊕/⊕-	HEAT DETECTOR. CEILING/WA	LL MOUNTED	
FIELD VERIFY ACTUAL CEILING SLOPE FOR FIXTURES INSTALLED IN SAME AND ACTUAL FIELD DIMENSIONS AND ANGLES OF CONSTRUCTION FOR ANY FIXTURE CONFORMING THE SHAPE AND LENGTH OF SAME, FOR COORDINATION OF FIXTURE CONSTRUCTION.	WITH DIV. I 5 CONTRACTOR PRIOR TO ROUGH-IN. ADJUST ELECTRICAL CONNECTIONS IF NECESSARY TO MATCH ACTUAL EQUIPMENT IN FIELD. FOR EXAMPLE, COORDINATE THE NAMEPLATE OVERCURRENT PROTECTION DEVICE RATING OF MECHANICAL EQUIPMENT		FIRE ALARM NOTIFICATION D VISUAL.	EVICE. AUDIO AND	80" AFF
PANELBOARD	AMONG MECHANICAL AND ELECTRICAL SUBCONTRACTORS. ADJUST CIRCUIT BREAKER TO MATCH NAMEPLATE RATING OF EQUIPMENT AT NO ADDITIONAL COST.	X	FIRE ALARM NOTIFICATION D	EVICE. AUDIO.	80" AFF
SUBMITTAL:	FIELD COORDINATE MECHANICAL AND PLUMBING EQUIPMENT REQUIREMENTS FOR ANY SUPPLEMENTAL POWER REQUIREMENTS, INCLUDING BUT NOT LIMITED TO CONTROL CIRCUITS.	¤	FIRE ALARM NOTIFICATION D	EVICE. VISUAL.	80" AFF
INCLUDE SCHEDULE OF EACH PANELBOARD WITH ALL DEVICES AND COMPLETE WITH PHYSICAL AND ELECTRICAL DATA AND WITH RATINGS FOR EACH COMPONENT INCLUDING BREAKER/FUSE OVERLAY CURVES.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING ALL EQUIPMENT TO ITS INTENDED OPERATIONAL STATUS.		FIRE ALARM INITIATION DEVIC	CE. PULL STATION.	42" AFF
LABELED PER UL #G7 AND #50, CONFORM WITH NEMA #250 AND PB1, NFPA #70-384 AND 70-373.	REFER TO FIRE PROTECTION DRAWINGS FOR LOCATIONS OF FLOW AND TAMPER SWITCHES.				
ALL JUNCTION BOXES SHALL BE LABELED WITH PANEL AND CIRCUIT DESIGNATION.	EACH PENETRATION OF A FIRE RESISTANT RATED ASSYMBLY BY A PIPE, TUBE WIRE OR CONDUIT SHALL BE PROTECTED BY A THROUGH PENETRATION FIRE STOP SYSTEM THAT HAS	ABBREV	IATIONS		
PROVIDE TYPED CIRCUIT DIRECTORY WITH EACH CIRCUIT SERVING DEVICES AND AREA IT'S SERVING.	BEEN TESTED ACCORDING TO ASTME 814 OR E199. ELECTRIC RECEPTACLES, SWITCHES, OUTLETS, ETC. SHALL NOT BE INSTALLED BACK TO BACK	AC	G" ABOVE COUNTER SPACE OR	IG ISC	DLATED GROUND
GENERAL ELECTRIC CUTLER HAMMER	ON FIRE RESISTANCE RATED WALLS. THEY SHALL BE AT LEAST 24-INCHES APART.	AC	42" AFF AMP FUSE		ORT CIRCUIT CURRENT
SQUARE D SIEMENS	LIGHT SWITCHES AND ELECTRICAL OUTLETS, LOCATED IN ROOMS ACCESSIBLE TO THE DISABLED SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FINISHED FLOOR SURFACE. IF THE REACH OR THE CONTROL IS OVER AN	AFF	ABOVE FINISHED FLOOR		HTING
LIGHTING CONTROL TIME SWITCHES:	OBSTRUCTION, THE MINIMUM HEIGHT SHALL BE REACHED TO 44 INCHES FOR A FORWARD APPROACH OR 46 INCHES FOR A SIDE APPROACH.	AL	ALUMINUM		UNTED
SOLID STATE, PROGRAMMABLE, WITH ALPHANUMERIC DISPLAY; COMPLYING WITH UL 917.	REFER TO LOW VOLTAGE CONSULTANT'S DRAWINGS FOR VOICE, DATA AND CATV OUTLET LOCATIONS. REFER TO LV CONSULTANT'S DRAWINGS FOR ANY ADDITIONAL INFORMATION.	BFC	BELOW FINISHED CEILING		JTRAL
20-A BALLAST LOAD, 120/240VAC.	CONNECT ALL EXIT SIGNS TO NEAREST UNSWITCHED PORTION OF THE LIGHTING CIRCUIT IN	BKR	BREAKER		HT LIGHT
TWO ON-OFF SET POINTS ON A 24-HOUR SCHEDULE AND ANNUAL HOLIDAY SCHDULE THAT OVERRIDES THE WEEKLY OPERATION ON HOLIDAYS.	THE AREA. ELECTRICAL BOXES INSTALLED IN FIRE RATED WALLS SHALL MAINTAIN THE INTEGRITY OF THE	CND	CONDUIT	NEC NAT	FIONAL ELECTRICAL CODE
ALLOW CONNECTION OF A PHOTOELECTRIC RELAY AS SUBSTITUTE FOR ON-OFF FUNCTION OF A PROGRAM	RATED WALL.	CONN	CONNECTED OR CONNECTION	PNL PAN	VEL
BATTERY BACKUP FOR NOT LESS THAN SEVEN DAYS RESERVE TO MAINTAIN SCHEDULES AND TIME CLOCK.	SUPPORT ALL VERTICAL RACEWAY PER NEC TABLE 300. 19(A). MAKE ELECTRICAL CONNECTIONS TO ELECTRIC WATER COOLERS FROM GFCI PROTECTED	СТВ	CABLE TV TERMINAL BACKBOARD	RECPT REC	CEPTACLE
INDOOR OCCUPANCY SENSORS:	OUTLET IN WALL BEHIND COOLER HOUSING. THE OUTLET AND CORD SHALL NOT BE VISIBLE FROM PUBLIC VIEW.	CU	COPPER	TEL TEL	EPHONE
WALL OR CEILING MOUNTED SOLID-STATE INDOOR OCCUPANCY SENSORS WITH A SEPARATE POWER PACK	COORDINATE WITH CUTSHEETS OF ALL EQUIPMENT TO BE INSTALLED AND PROVIDE	DN	DOWN	TTB TEL	EPHONE TERMINAL BOARD
ADJUSTABLE TIME-DELAY OVER A RANGE OF 1 TO 30 MINUTES.	ADDITIONAL CIRCUITS FOR CONTROLS IF REQUIRED BY MANUFACTURER. FINAL COLOR, FINISH AND OTHER AESTHETIC PORTIONS OF ALL DEVICES SHALL BE	EC	EMPTY CONDUIT	TV TEL	EVISION
SENSOR OUTPUT: CONTACTS RATED TO OPERATE THE CONNECTED RELAY, COMPLYING WITH UL773A. SENSOR IS POWERED FROM POWER PACK.	COORDINATED WITH ARCHITECT OR OWNER'S REPRESENTATIVE. THIS SET OF DRAWINGS DOES NOT SUPERCEDE ARCHITECTURAL OR INTERIOR DOCUMENTS.	ELEC	ELECTRICAL	1//~~	ANSIENT VOLTAGE SURGE PPRESSOR
POWER PACK: DRY CONTACTS RATED FOR 20-A BALLAST LOAD AT 120 OR 277 VAC.	ALL EXPOSED HORIZONTAL RUNS OF CONDUITS SHALL BE EITHER PARALLEL OR PERPENDICULAR TO EXTERIOR WALLS.	FACP	FIRE ALARM CONTROL PANEL	TYP TYP	PICAL
AUTOMATIC LIGHT-LEVEL SENSOR: ADJUSTABLE FROM 2 TO 200 FC (21.5 TO 2152 LUX); TURN LIGHTS OFF WHEN SELECTED LIGHTING LEVEL IS PRESENT.	PROVIDE PLENUM RATED CABLES IF THE CABLES ARE EXPOSED AND ROUTED THROUGH	FAA	FIRE ALARM ANNUNCIATOR PANEL	XFMR TRA	ANSFORMER
DUAL SENSOR TYPE: DETECT OCCUPANCY AREA USING PIR (PASSIVE INFRA-RED) AND ULTRASONIC DETECTION METHOD.	PLENUM.	G OR GRND	GROUND	UG UNE	DERGROUND
		GFCI OR GF	GROUND FAULT CIRCUIT	WP WE	ATHERPROOF



PROJECT # 121522



ISSUE: FOR CONSTRUCTION DATE: 09/14/2021										
REVISION SCHEDULE:										
No.	Description	Date								
	GENERAL									
SHEET NAME:										
	E001									

SHEET NUMBER:

GJR ARCHITECT

CERTIFICATE NO. RA012322

Gabriel J Richard AIA NCARB

GENE	RAL SCHEDULE												
CALLOUT	CUSTOM PANEL DESCRIPTION	SYMBOL	VOLTS	AMPS	KVA	CIRCUIT	WIRE CALLOUT	DISCONNECT DESCRIPTION					
WH-I	EXISTING WATER HEATER	<u> </u>	208/120V 2P 3W	28.85	6	B-33,35	/2"C,3# 0,# 0G	EXISTING TO RELOCATE					
WIC-A	WALK-IN COOLER CONDENSER	8~D	208/120V 2P 3W	20.19	4.2	B-28,30	/2"C,3# 0,# 0G	30A/2P/NEMA 3R					
WIC-B	WALK-IN COOLER EVAPORATOR	0° ° °	208/120V2P3W	16.83	3.5	B-37,39	/2"C,3# 2,# 2G	30A/2P/NEMA 3R					

## GENERAL NOTES

ALL RECEPTACLES SHALL BE GROUNDED AS REQUIRED BY ARTICLE 250-146.

CLEAN AND REPAIR EXISTING ITEMS TO REMAIN. ALL ITEMS NEED TO BE TESTED FOR FUNCTIONALITY AND REPLACED IF FAULTY. ANY DAMAGED ITEMS WILL NEED TO BE REPLACED.

EXISTING CIRCUITS SHOWN IN PANEL SCHEDULE ARE FOR INFORMATION ONLY AND HAVE BEEN DETERMINED BASED ON CURRENT FIELD INFORMATION.

CONTRACTOR SHALL VERIFY EXISTING CIRCUITING, SPARE BREAKERS, SPACES, AND EXISTING EQUIPMENT AND DEVICES TO REMAIN PRIOR TO COMMENCING WORK. CIRCUITING INFORMATION IS BASED ON SITE SURVEY OF THE EXISTING PANELBOARDS.

EXISTING CIRCUIT BREAKERS MAY BE REUSED WHERE OF THE APPROPRIATE SIZE AND IN GOOD CONDITION. NEW BREAKERS MAY BE REQUIRED FOR THE COMPLETION OF THE RENOVATION. BREAKERS SHALL BE SIZED AS SHOWN IN PANEL SCHEDULES.

LIGHTING REMAINS AS IS.

EXISTING CONDENSER UNIT TO REMAIN. MAINTAIN CIRCUITING.

## KEYNOTES

COORDINATE EXACT LOCATION OF POINT OF SALE EQUIPMENT INSTALLATION WITH OWNER AND PROVIDE DUPLEX AND VOICE/DATA OUTLETS.

- 2 EXISTING WATER HEATER TO BE RELOCATED. SEE PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS. MAINTAIN CIRCUITING. EXTEND EXISTING CONDUCTORS TO SERVE NEW EQUIPMENT LOCATION.
- 3 COORDINATE EXACT LOCATION AND REQUIREMENTS WITH MANUFACTURER PRIOR TO INSTALLATION.
- (4) EXHAUST FAN TO BE CONTROLLED WITH LIGHT SWITCH.
- 5 EXISTING PANEL RELOCATED. COORDINATE LOCATION IN FIELD. EXTEND EXISTING CONDUCTORS AND RACEWAY TO SERVE NEW EQUIPMENT LOCATION. IDENTIFY BREAKER PREVIOUSLY USED FOR THE EXISTING EQUIPMENT AND REUSE.

6 PROVIDE POWER FOR WALK-IN ACCESSORIES. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH PRIOR TO INSTALLATION.

'									
RC	ROOM								
	DUNTING	FILISH							
	FED FROM UTILITY								
	ING								
	1	1							
CKT #	CKT BKR	LOAD KVA	CI						
	20/1	0.8	EX						
3	20/1	0.8	EX						
_			SI						
5 7	20/1	0.8	ΕX						
	20/1	0	SF						
9	20/1	0.8	ΕX						
11	20/2		ΕX						
13									
15	20/2	1	ΕX						
17									
19	30/2	0.8	EX						
21			BA						
23	20/1	0	SF						
			СС						
			K١						
LIC	GHTING	4	.4						
RE	CEPTACLE	57	.8						
F	S								
	/								
RC	DOM								
М	DUNTING	FLUSH							
FE	d from	UTILITY							
NC	DTE EXIST	ING							
СКТ	СКТ	LOAD							
#	BKR	KVA	С						
1	20/1	0.8	EX						
3	20/1	0.8	EX						
		0.0	PC						
5	20/1	0.6	EX						
5 7	20/1	0.8	EX						
/		0.0	AN						
9	20/1	0.8	EX						
			RE						
11	20/1	0.5	EX						
13	20/1	0.5	ΕX						
		1	1						
	20/1	1.2	EX						
15		1							
	20/1 20/1 20/1	1.2 0 0	EX SF SF						

|A|

LIGHTING 3.6 LARGEST MOTOR 4.2

21 20/1

23 20/1

25 20/1

27 20/1

29 20/1

31 20/1

33 30/2

37 30/2

35

39 41 20/1 1.5

1.5

1.2

0.8

0.8

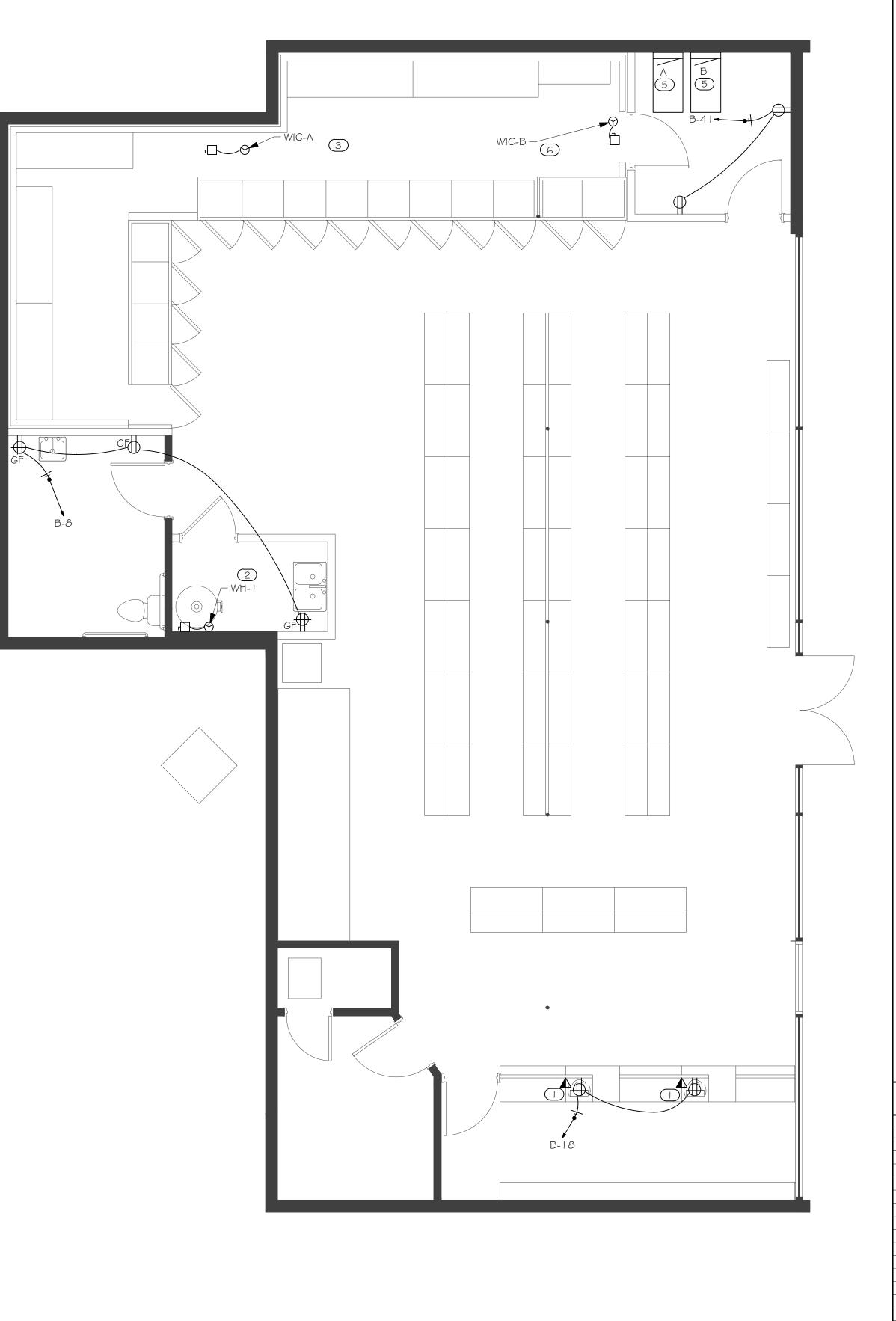
0.8

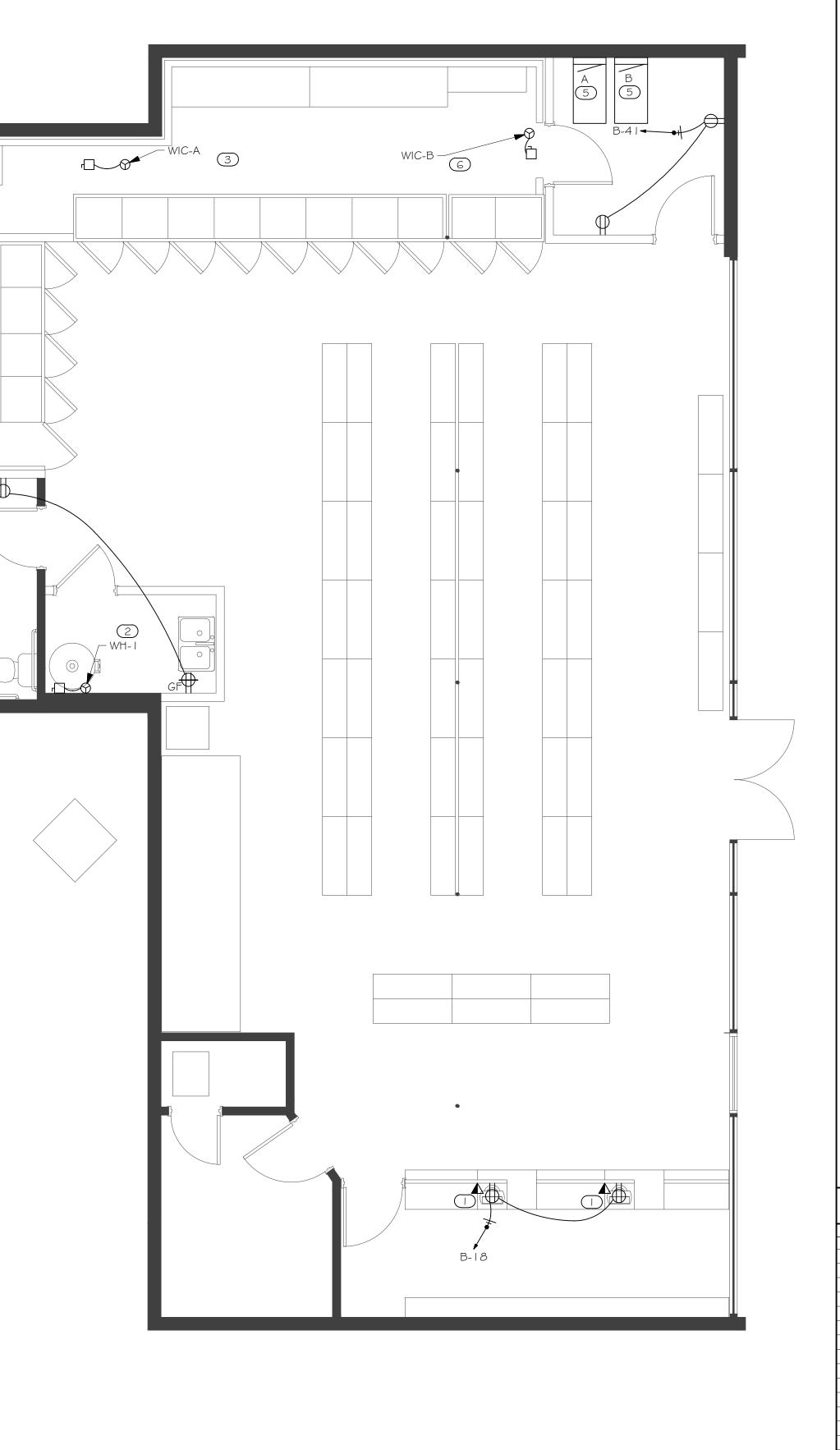
3.5

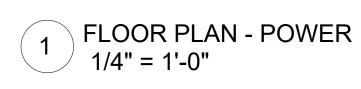
0.36

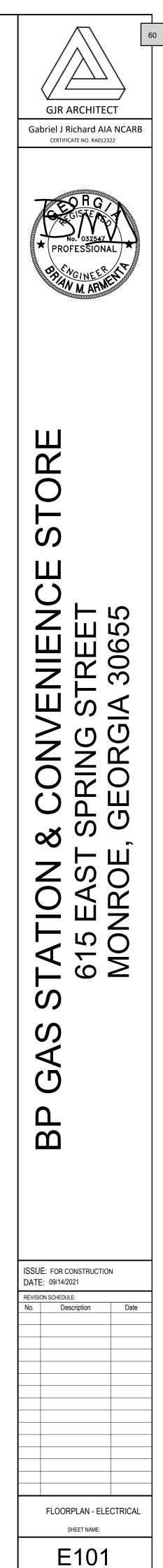
			VOLTS 208	Y/1	20V	3P 4W		AIC EXISTING
Н			BUS AMPS	ΙC	0			MAIN BKR I OO
ΓY			NEUTRAL	00	%			LUGS STANDARD
					-			
0	CIRCUIT	T DESCRIP	TION		CKT #	CKT BKR	load Kva	CIRCUIT DESCRIPTION
	EXISTING	G CANOPY	LIGHTS	а	2	20/1	0.8	EXISTING REGISTER RECEPTACLE
	EXISTING SIGN	G CANOPY	LIGHTS/ROAD	Ь	4	20/1	0.8	EXISTING REGISTER RECEPTACLE
	EXISTING SPACE	G CANOPY	LIGHTS	C a		15/2	0.8	EXISTING SUB PREP.
	EXISTING	g quad re		b	10	20/2	0.8	EXISTING SUB PREP.
	EXISTING	G CANOPY	LIGHTS	С				
	EN IO TINI			a		20/1	0	SPACE
	EXISTING	G CANOPY	LIGHIS	Ь		20/1	0.6	EXISTING DISPENSER
	EVICTIN			С		20/1	0.8	EXISTING VEEDER ROOT
	BAR	5 RECEPTA	CLE AT FOOD			20/1	0	SPACE
	SPACE			Ь	22 24	20/1 20/1	0.8 0.8	EXISTING REGISTER RECEPTACLE
	JIACL			C	24	20/1	0.0	
	CONN KVA	CALC KVA						CALC KVA
4	.4	5.5	- (125%)		TOTA	al load		13.3
7	.8	7.8	(50%>10)		BALA LOA	ANCED 3-P AD	HASE	36.9 A
					PHA	SE A		71.5%
						SE B		125%
					ГПА	SE C		103%

	VOLTS 2081	//	20V	3P 4W		AIC EXISTING		
	BUS AMPS	20	0			MAIN BKR 200		
ſ	NEUTRAL I	00	%			LUGS STANDARD		
	CIRCUIT DESCRIPTION		CKT #	CKT BKR	load Kva	CIRCUIT DESCRIPTION		
	EXISTING FOOD BAR	а	2	20/1	0	SPACE		
	EXISTING RECEPTACLE ON METAL POLE	Ь	4	20/1	0	SPACE		
	EXISTING GAS FURNACE	С	6	20/1	0.5	EXISTING STAGE LIGHTS		
	EXISTING LIGHTS BACK ROOM AND BATHROOM	а	8	20/1	0.54	RECEPTACLE		
	EXISTING BACKROOM RECEPTACLES	Ь	10	20/1	0.8	EXISTING OFFICE RECEPTACLES		
	EXISTING PORCH LIGHTS	С	12	20/1	0.8	EXISTING OFFICE, STORAGE, BACK LIGHTS		
	EXISTING FRONT SALES LIGHT	а	14	20/1	1.2	EXISTING FOOD BAR		
	EXISTING WAN SYSTEM	Ь	16	20/1	1.2	EXISTING FOOD BAR		
	SPACE	С	18	20/1	0.36	RECEPTACLE		
	SPACE	а	20	20/1	1.5	EXISTING ICE MACHINE		
	EXISTING ATM	Ь	22	20/1	1.5	EXISTING CAPPICCINO		
	EXISTING COFFEE	С	24	20/1	0.5	EXISTING LIGHTS AT REGISTER		
	EXISTING CATHODIC RECTIFIER	а	26	20/1	0.8	EXISTING STOCK ROOM RECEPTACLES		
	EXISTING COUNTER RECEPTACLES	Ь	28	30/2	4.2	WALK-IN COOLER CONDENSER		
	EXISTING BACK WALL RECEPTACLES	С	30					
	EXISTING FRONT WALL RECEPTACLES		32	20/1	0	SPACE		
	EXISTING WATER HEATER	Ь	34	20/1	0	SPACE		
		С	36	20/1	0	SPACE		
	WALK-IN COOLER EVAPORATOR	а	38	20/1	0	SPACE		
		Ь	40	20/1	0	SPACE		
	RECEPTACLE	С	42	20/1	0	SPACE		
	CONN CALC KVA KVA					I DNN CALC VA KVA		
	.6 4.5 (125%)			ORS	8.3			
4	.2 1.05 (25%)			EPTACLES TINUOUS	18.5 6	5     14.2     (50%>10)       7.5     (125%)		
			TOT	al load		35.6		
			BALA LO	ANCED 3-PI AD	HASE	98.8 A		
				SE A		80.8%		
				SE B		127%		
			PHA	SE C		92.7%		









SHEET NUMBER:





То:	Planning and Zoning / City Council					
From:	Patrick Kelley					
Department:	Planning, Zoning, Code and Development					
Date:	11-10-2021					
Description:	PRELIMINARY PLAT CASE #357 MAB Monroe, LLC, Rowell Family Partnership, LLLP & Still Family Realty, LLC					
Budget Account/Project Name: NA Funding Source: 2021 NA						
-						
-						
-	2021 NA n: NA					
Funding Source:	2021 NA n: NA Since 1821					

**Recommendation:** Staff recommends approval of this Preliminary Plat subject to the 8 corrections listed in the staff report.

**Background:** Partially developed with a regional shopping center, streets, parking and storm water management facilities

Attachment(s): Application, staff report and supporting documentation.



## Planning City of Monroe, Georgia

#### PRELIMINARY PLAT REVIEW

#### **APPLICATION SUMMARY**

PRELIMINARY PLAT CASE #: 357

DATE: November 5, 2021

**STAFF REPORT BY:** Brad Callender, City Planner

**DEVELOPER:** MAB Monroe, LLC

PROPERTY OWNER: MAB Monroe, LLC, Rowell Family Partnership, LLLP & Still Family Realty, LLC

**DESIGN CONSULTANT:** Columbia Engineering

**LOCATION:** North side of US Hwy 78, west side of N Broad Street, and east side of Charlotte Rowell Boulevard

**ACREAGE:** ±95.414

EXISTING ZONING: PCD (Planned Commercial District)

**EXISTING LAND USE:** Partially developed with a regional shopping center, streets, parking and storm water management facilities

**ACTION REQUESTED:** The owner is requesting Preliminary Plat approval for a planned commercial development.

**STAFF RECOMMENDATION:** Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021 CITY COUNCIL: December 14, 2021

#### PRELIMINARY PLAT REVIEW SUMMARY

The submitted Preliminary Plat requires the following corrections prior to signing the plat for approval. Due to the number and type of comments identified, additional corrections may be required upon submission of the revised Preliminary Plat.

- 1. Revise the front building setbacks on Lots 11 and 12 to be thirty-five (35) feet. (7.2.4(g))
- 2. For all lots utilizing shared access drives, provide a shared access easement across the frontage of each lot, i.e. across the frontage of Lots 5 through 10. (7.2.4(h))
- Revise the portion of Pavilion Parkway between Lot 13 and North Broad Street to be located inside a seventy (70) foot right-of-way. The remnant tracts shall be owned and maintained by the owner of the shopping center. Combine the pylon sign tract with the remnant tract on the south side of the right-of-way. (7.2.4(i))

- 4. Revise Pavilion Parkway shown on the preliminary plat to include all pavement locations, i.e. turn lanes, decel lanes and primary lanes. Portions of the pavement are omitted or not shown correctly on the plan. (7.2.4(i))
- Revise the preliminary plat to illustrate all improvements to the intersections at the entrances to the development at Charlotte Rowell Blvd. and N. Broad Street, i.e. turn lanes, decel lanes, acceleration tapers etc. (7.2.4(i))
- 6. Provide a temporary turn-around at the northern terminus of Pavilion Avenue. (7.2.4(i))
- 7. Combine Lots 14 and 15 into one, fee-simple lot. The Monroe Pavilion Plan Book does not have a provision allowing zero (0) foot setbacks for commercial buildings. (7.2.4(I))
- 8. In the Authorization Statement (owner's certification), revise "Sketch Plat" to read "Preliminary Plat." (7.2.4(x))



(770) 207-4674

#### PRELIMINARY PLAT PERMIT

PERMIT #: 357		DESCRIPTION:	PRELIMINARY PLAT - Monroe Pavilion	
JOB ADDRESS: PARCEL ID: SUBDIVISION:	0 CHARLOTTE ROWELL BLV M0050045B00	LOT #: BLK #: ZONING:	PCD	
ISSUED TO: ADDRESS CITY, STATE ZIP: PHONE:	MAB Monroe, LLC 525 N. Tyron St. Charlotte NC 28202	CONTRACTOR: ADDRESS: CITY, STATE ZIP: PHONE:	BRENT SCARBROUGH & COMPANY II 45 E AVIATION WAY NEWNAN GA 30263 7704618603	NC
PROP.USE VALUATION: SQ FT	COMMERCIAL \$ 0.00 0.00	DATE ISSUED: EXPIRATION:	11/03/2021 5/02/2022	
OCCP TYPE: CNST TYPE:		PERMIT STATUS:	0	
		# OF BEDROOMS		
INSPECTION REQUESTS:	770-207-4674 Iwilson@monroega.gov	# OF BATHROOMS		
		# OF OTHER ROOMS		
FEE CODE PZ-05	DESCRIPTION PRELIMINARY PLAT REVIEW (PER LO	T)		<b>DUNT</b> 60.00
			PAYMENTS \$-3	60.00 60.00 0.00

#### NOTES:

This request for a Preliminary Plat at the intersection of US Highway 78 at GA Highway 11 and Charlotte Rowell Blvd, tax parcel #M0050045B00 will be heard by the Monroe Planning Commission on November 16, 2021 at 5:30 pm and The Mayor and City Council at 6:00pm on December 14, 2021 in the City Council Chambers at City Hall, 215 N. Broad St Monroe, GA 30655.

#### NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

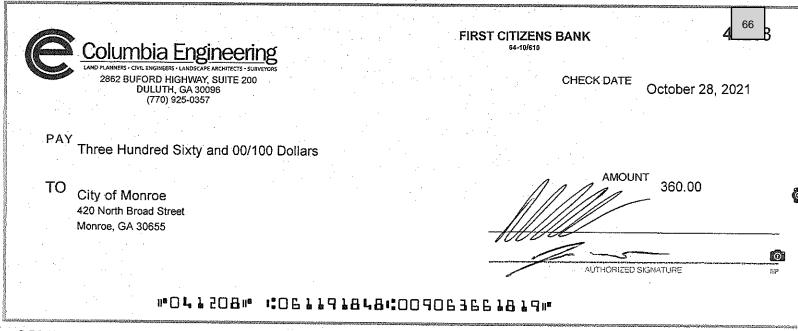
PPROVED BY)

11 13121 DATE

215 North Broad Street Monroe, GA 30655 Tel (770) 267-3429 Fax (770) 267-3698

	occint Number	800200000		
r,	leceipt Number:	R00290890	65	
	Cashier Name:	LAURA WILSON		
	Terminal Number:	34		
	Receipt Date: 11/	3/2021 4:04:21 PM		

Transaction Code: BP - Building Projects Payment				Name: MAB Mo	\$360.00	
					Total Balance Due:	\$360.00
Payment Method:	Check Payn	Reference:	41208	Amount:	\$360.00	
					Total Payment Received:	\$360.00
					Change:	\$0.00



#### **COLUMBIA ENGINEERING & SERVICES, INC.**

41208

Invoice Number	Date	Voucher	Amount	Discounts	Previous Pay	Net Amount
4273.01 Prelim Plat	10/28/2021	00000012981	360.00			360.00
City of Monroe	,	TOTAL	360.00			360.00
CES Operating - First	- 1	MONROE				

## CITY OF MONROE



#### DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments... Two copies of the hydraulic calculations with water line design must accompany all applications.

#### THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name Monroe Pavilion
Project Location US Highway 78 at Georgia Highway 11 and Charlotte Rowell Boulevard
Proposed Use Commercial / Retail (Planned Commercial District) Map/Parcel & M0050045B00, M0050045D00 & M0050045C00
Acreage 100.053 AC. #S/D Lots 18 # Multifamily Units 0 # Bldgs 6
Water(provider) City of Monroe Sewer(provider) City of Monroe
MAB Monroe, LLC & Rowell Family Partnership & Property Owner Still Family Realty, LLC Phone#Phone#
(MAB)525 N. Tryon Street, Suite 600       (MAB) Charlotte       (MAB) NC       (MAB) 28202         Address       (Rowell) P.O. Box 1936       City       (Rowell) Monroe)       State       Zip       (Rowell) 30655
DeveloperMAB Monroe, LLCPhone#
Address 525 N. Tryon Street, Suite 600 City Charlotte State NC Zip 28202
Designer Columbia Engineering & Services, Inc. Phone# 770-925-0357
Address 2862 Buford Highway, Suite 200 City Duluth State GA Zip 30096
Site ContractorBrent Scarbrough' & Co., IncPhone#770-461-8603
Address 45 E. Aviation Way

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property cased or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

ONEON, LLC

SIGNATURE OF APPLICANT:

\_\_\_ DATE: 10/13/21



68

## **CITY OF MONROE**

## DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot

Non-residential Projects - 50% of BP

NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe Shall be paid prior to issuance of permit

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments... Two copies of the hydraulic calculations with water line design must accompany all applications.

#### THIS FORM MUST BE COMPLETELY FILLED OUT.

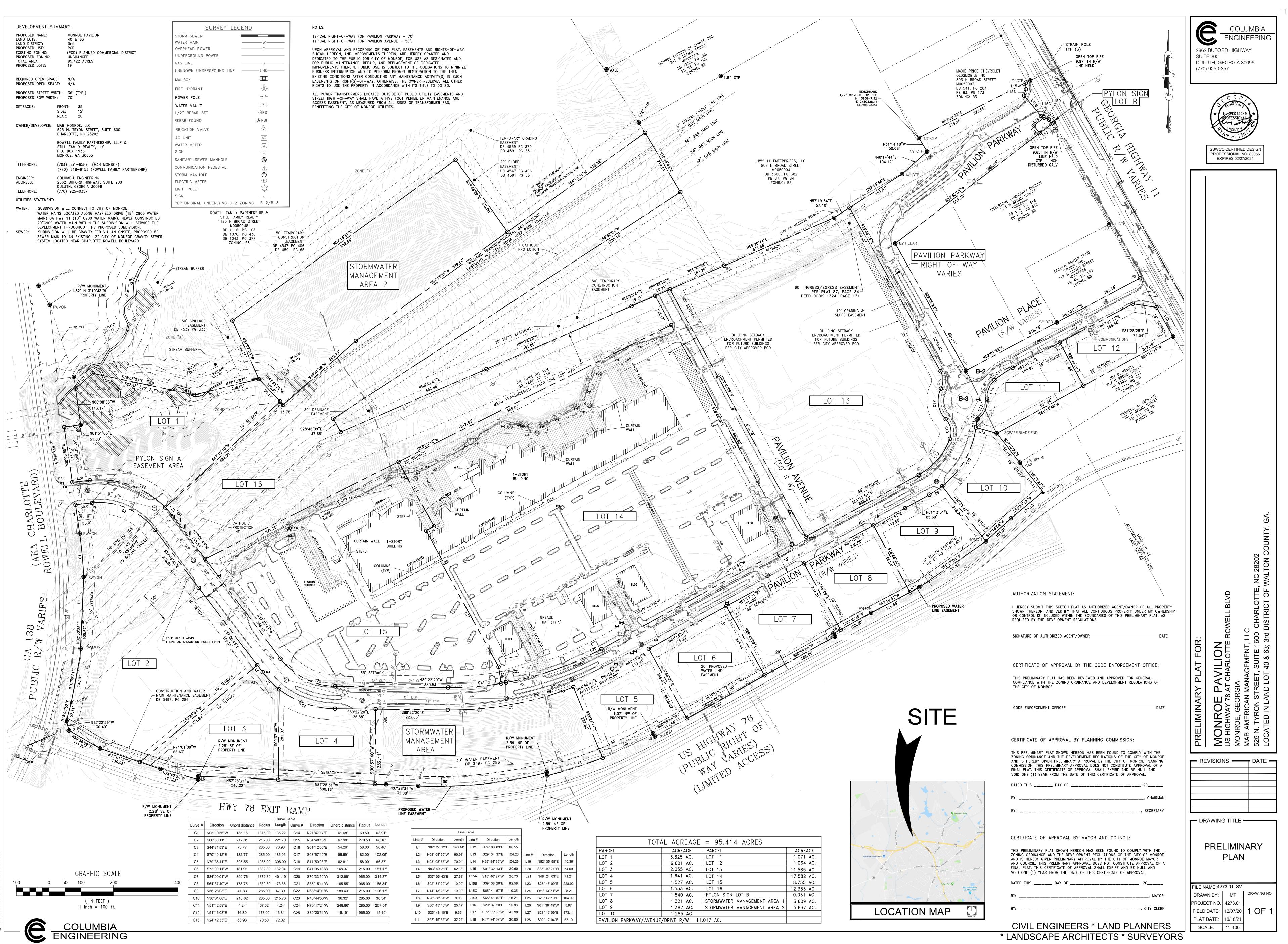
Project Name MONIOE Pavilion
Project Location US Highway 78 at Georgia Highway 11 and Charlotte Rowell Boulevard
Proposed Use Commercial / Retail (Planned Commercial District) Map/Parcel & M0050045B00, M0050045D00 & M0050045C00
Acreage 100.053 Ac. #S/D Lots /8 # Multifamily Units 0 # Bldgs 6
Water(provider) City of Monroe Sewer(provider) City of Monroe
MAB Monroe, LLC & Rowell Family Partnership & Property Owner Still Family Realty, LLC Phone# 779-318-6/53 (MAR) 525 N. Taxon Stand Switz 000
(MAB)525 N. Tryon Street, Suite 600 (MAB) Charlotte (MAB) NC Address (Rowell) P.O. Box 1936 (Rowell) Monroe) State (Rowell) GA (Rowell) 30655
Developer_MAB Monroe, LLC Phone# 704-331-6587
Address 525 N. Tryon Street, Suite 600 City Charlotte State NC Zip 28202
Designer Columbia Engineering & Services, Inc. Phone# 770-925-0357
Address 2862 Buford Highway, Suite 200 city Duluth State GA Zip 30096
Site Contractor_Brent Scarbrough' & Co., IncPhone#770-461-8603
Address 45 E. Aviation Way City Newnan State GA Zin 30263

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall excenses, is persons or property. The applicant shall excenses incidental to the defense (including death) to persons or property cased or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the acquisition of and construction under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, flögation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly semployed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT:

DATE:





То:	Planning and Zoning / City Council
From:	Patrick Kelley
Department:	Planning, Zoning, Code and Development
Date:	11-10-2021
Description:	PRELIMINARY PLAT CASE #358, MUL Properties, LLC, 318 Alcovy Street
Budget Account Funding Source Budget Allocatio Budget Availabl	on: NA
Requested Expe	
<i>Recommendation</i> the staff report.	on: Staff recommends approval of this Preliminary Plat subject to the 2 corrections listed in

**Background:** Partially developed with former American Legion building and associated parking. The owner is requesting Preliminary Plat approval for a planned residential development.

Attachment(s): Application, staff report and supporting documentation.



## Planning City of Monroe, Georgia

#### PRELIMINARY PLAT REVIEW

#### **APPLICATION SUMMARY**

PRELIMINARY PLAT CASE #: 358

DATE: November 5, 2021

**STAFF REPORT BY:** Brad Callender, City Planner

DEVELOPER: MUL Properties, LLC

PROPERTY OWNER: MUL Properties, LLC

DESIGN CONSULTANT: Smith Planning Group

LOCATION: West side of Alcovy Street – 318 Alcovy Street

ACREAGE: ±18.853

EXISTING ZONING: PRD (Planned Residential District)

EXISTING LAND USE: Partially developed with former American Legion building and associated parking

**ACTION REQUESTED:** The owner is requesting Preliminary Plat approval for a planned residential development.

**STAFF RECOMMENDATION:** Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

#### DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: November 16, 2021 CITY COUNCIL: December 14, 2021

#### PRELIMINARY PLAT REVIEW SUMMARY

The submitted Preliminary Plat requires the following corrections prior to signing the plat for approval. Due to the number and type of comments identified, additional corrections may be required upon submission of the revised Preliminary Plat.

- 1. Consider revising the proposed street names for the development. The street names should be reflective of an association with the project's name and the U.S. armed services, i.e. street names of famous veteran icons, local veteran's names, etc. (7.2.4(i))
- 2. Remove the approval signature block for the Monroe Combined Utilities.



Monroe, GA 30655 (770) 207-4674

#### PRELIMINARY PLAT PERMIT

PERMIT #: 358 DESCRIPTION: PRELIMINARY PLAT - 71 Lots Veteran's Walk JOB ADDRESS: 318 ALCOVY ST LOT #: 37 PARCEL ID: M0180020 BLK #: SUBDIVISION: ZONING: ISSUED TO: MUL Properties Inc. CONTRACTOR: MUL Properties Inc ADDRESS 1022 Twelve Oaks Place ADDRESS: 1022 Twelve Oaks Place CITY, STATE ZIP: Watkinsville GA 30677 CITY, STATE ZIP: Watkinsville GA 30677 PHONE: PHONE: PROP.USE DATE ISSUED: 11/04/2021 VALUATION: \$ 0.00 **EXPIRATION:** 5/03/2022 SQ FT 0.00 OCCP TYPE: PERMIT STATUS: 0 CNST TYPE: **# OF BEDROOMS** INSPECTION 770-207-4674 **# OF BATHROOMS** REQUESTS: lwilson@monroega.gov **# OF OTHER ROOMS** FEE CODE DESCRIPTION AMOUNT PZ-05 PRELIMINARY PLAT REVIEW (PER LOT) \$1,420.00 FEE TOTAL \$ 1,420.00 PAYMENTS \$-1,420.00 BALANCE \$ 0.00

#### NOTES:

This request for a Preliminary Plat will be heard by the Monroe Planning Commission on November 16, 2021 at 5:30pm and by the Mayor & City Council on December 14, 2021 at 6:00pm in the City Council Chambers located in City Hall at 215 N. Broad St. Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

In ROVED BY)

1114121 DATE

## **CITY OF MONROE**

#### DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot Non-residential Projects - 50% of BP NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments .... Two copies of the hydraulic calculations with water line design must accompany all applications. RECEIVED

#### THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name VETERANS WALK	
Project Location 318 ALCOVY ST., MONE	ROE, GA 30655
Proposed Use MIXED USE	Map/Parcel_M0180005 & M0180020
Acreage <u>18.853</u> #S/D Lots <u>71</u>	# Multifamily Units # Bldgs
Water(provider) CITY OF MONROE	_Sewer(provider)_CITY_OF_MONROE
Property Owner MUL PROPERTIES, LLC	Phone#_770-267-2503
Address PO BOX 1588	City_MONROEState_GA_Zip_30655
Developer MUL PROPERTIES, LLC	<b>Phone#</b> 770-267-2503
Address PO BOX 1588	City MONROEState GA Zip 30655
Designer_SMITH PLANNING GROUP	Phone#_706-769-9515
Address 1022 TWELVE OAKS PL #201	City WATKINSVILLE_State_GAZip30677
Site Contractor	Phone#
Address	City State 7in

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property cased or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT:

DATE: 10/14/2021



215 North Broad Street Monroe, GA 30655 Tel (770) 267-3429 Fax (770) 267-3698

Receipt Number:	R00291107	
Cashier Name:	R00291107 LAURA WILSON	74
Terminal Number:	34	
Receipt Date: 11/4/	2021 10:22:41 AM	

Transaction Code: BP -	Building Pro	ojects Payn	nent	Name: MUL Pro	operties Inc	\$1,420.00
					Total Balance Due:	\$1,420.00
Payment Method:	Check Payn	Reference:	23319	Amount:	\$1,420.00	
					Total Payment Received:	\$1,420.00
					Change:	\$0.00



PLAN REVIEW # kak555

#### EROSION SEDIMENT & POLLUTION CONTROL PLAN REVIEW WALTON COUNTY SOIL AND WATER CONSERVATION DISTRICT

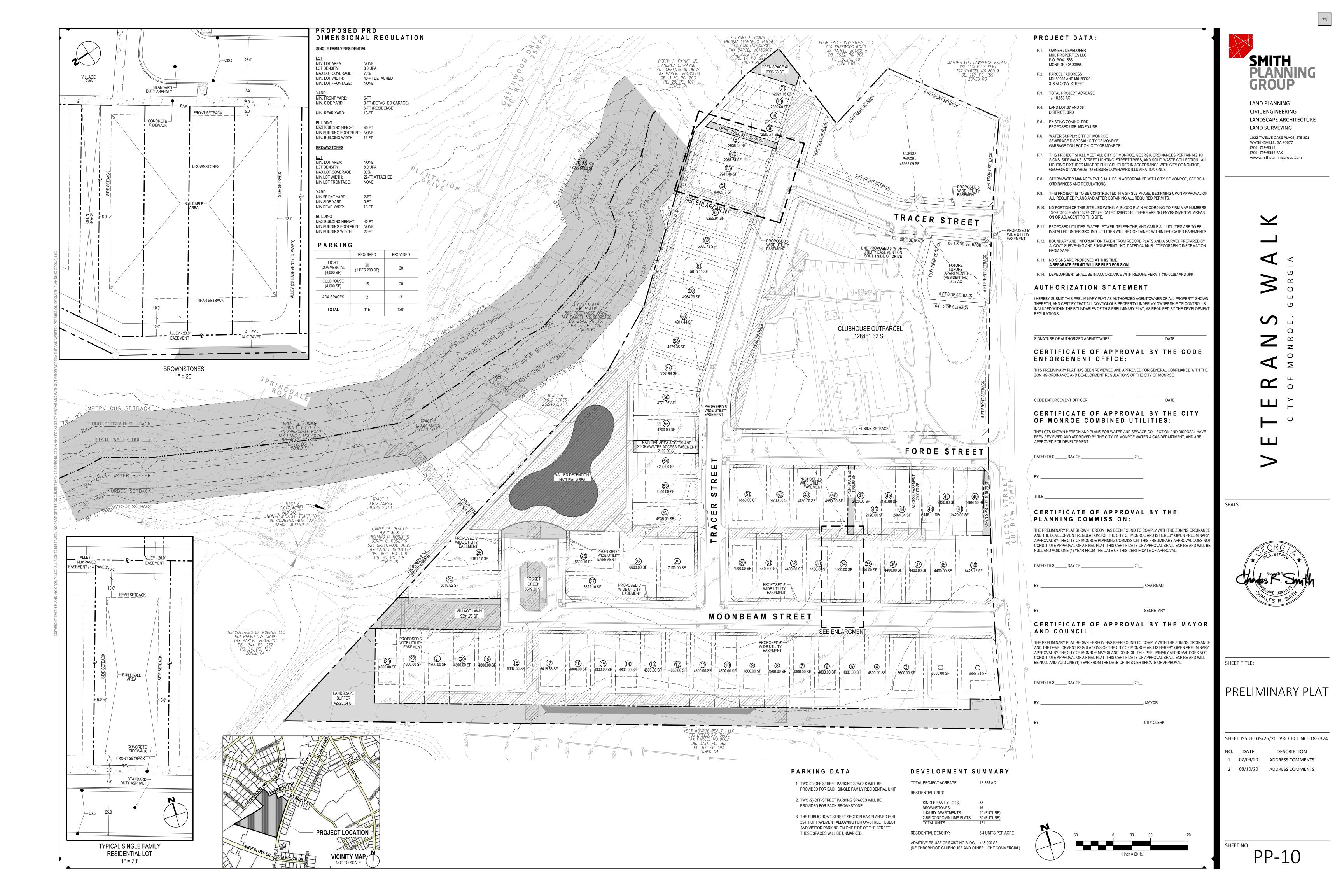
5/26/20 revised 7/9/20	_	Monroe		7/14/2020
DATE ON PLANS		LIA		DATE RECEIVED
	18.853	_	17.5	
	TOTAL PROJECT ACRES		TOTAL DISTURBED ACRES	
No	Veterans Walk		318 Alcovy Street, Monro	e, GA 30655
N.	AME OF PROJECT		ADDRESS (INCLUDING	COUNTY)
		33.785686 -83.716200		
	SPECIFIC IN	FORMATION ON PROJECT (GPS Lo	cation)	
Charles	R. Smith	22829/11-14-2021	CdC2/CdB	2/Alp/CzC3/CzB3/CdD2
DESIGN PR	OFESSIONAL	LEVEL II CERTIFICATION/EXPIRA	New York Control of Co	SOIL SERIES
Mul Properties LLC c/o Pa	ul Rosenthal	P.O. Box 1588, Monroe, GA	30655	770-267-2503
APPLICANT		ADDRESS		PHONE NUMBER
	BEDOF			
The Freedom	Sodiment and Dollution Cont	T OF TECHNICAL REVI		- 2010-000 • • • • • • • • • • • • • • • • •
The Erosion	Sediment and Pollution Cont	rol Plan for the above named p	roject or activity meets the	e requirements of the
the provision	Sediment Control Ordinance	or Rules and Regulations Gove	erning Land-Disturbing Act	tivities in Monroe under
	s of the Erosion and Sedimer	ntation Act of 1975, as amende	d.	
The Frosion	Sediment and Pollution Cont	rol Dian for the above named a		nan an a se company a montre large s
in Monroe th	ough failure to include the fo	rol Plan for the above named p	roject or activity does not i	meet the requirements
in Monroe un	ough fundre to molude the fo	nowing.		
Contingent upon addressing the	following:			
	tire buffer area(s) as they are disjo	inted		
> Approvals are continger	nt upon providing all neces	sary permits and variances.	Any questions, commen	ts or concerns
regarding this plan review	should be addressed to:	••		
			Technical review by:	Kari Ann Kleist
		Level II Certifi	ication #/Expiration Date:	88064/8.29.22
			Organization:	GSWCC
			Date:	07/29/20
The technical review as according Water Conservation District.	omplished and reported above	was done at the request of and	is concurred in by the Wal	ton County Soil and

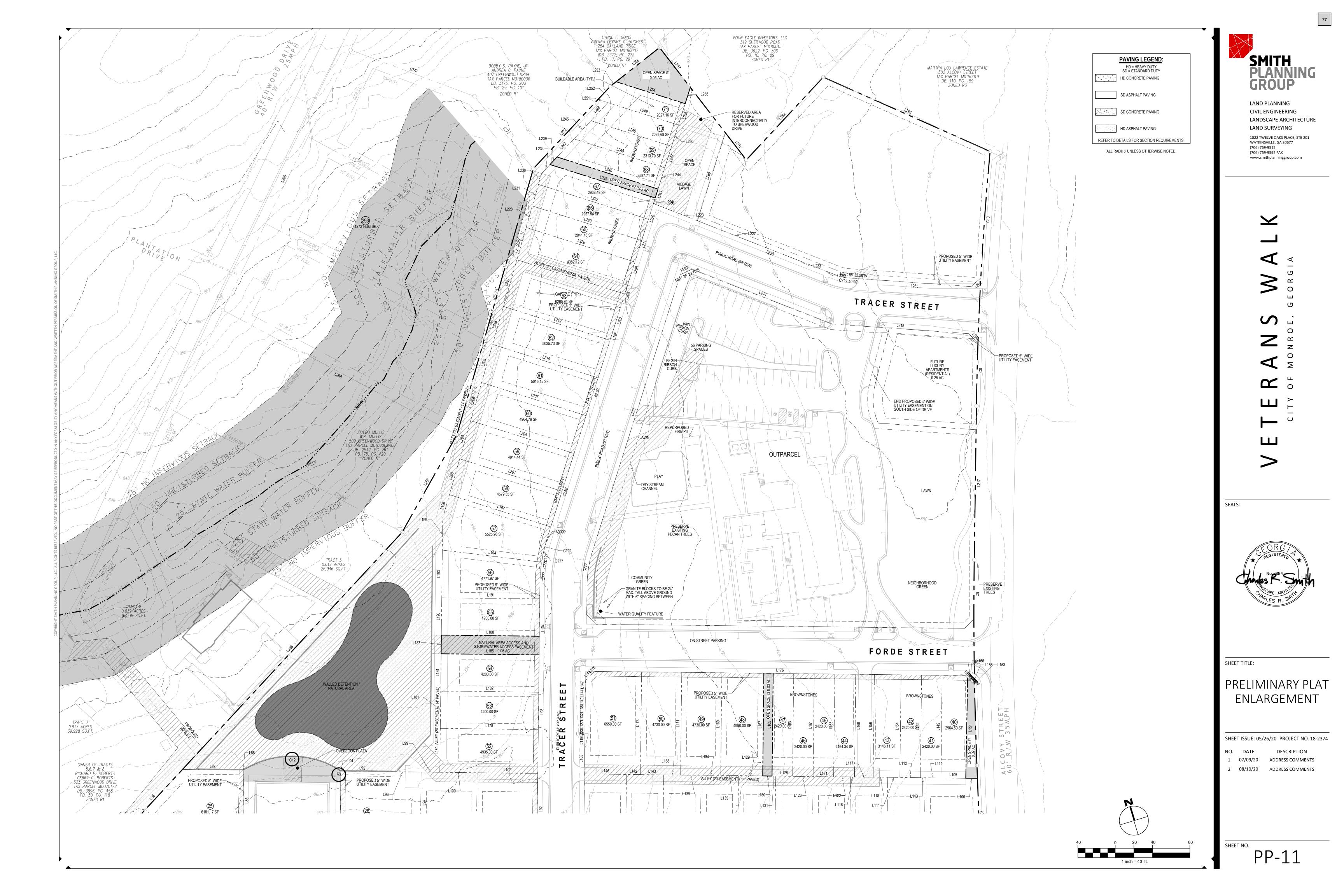
DISTRICT SUPERVISOR

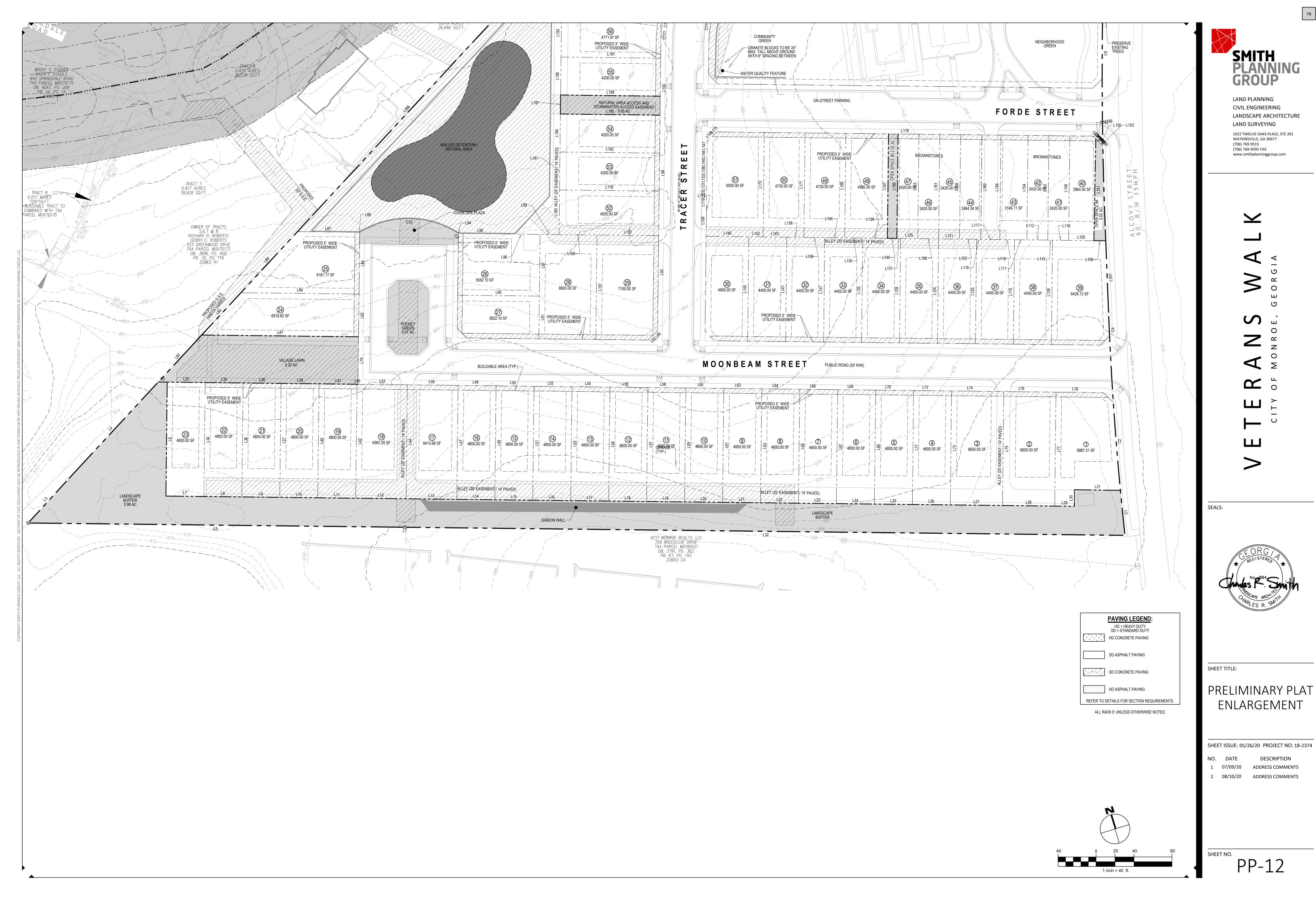
DATE



18-2374







Parce	Parcel Line and Curve Table				
Line #/Curve #	Length	Bearing/Delta	Radius		
L236	6.29	S34° 37' 01.02"W			
L241	10.00	S34° 37' 01.02"W			
L244	24.00	S34° 37' 01.02"W			
L247	24.00	S34° 37' 01.02"W			
L250	24.00	S34° 37' 01.02"W			
L255	24.00	S34° 37' 01.02"W			
L258	18.28	S34° 37' 01.02"W			
L260	98.93	N34° 37' 01.02"E			
L109	110.00	N17° 38' 42.48"E			
L115	110.00	N17° 38' 42.48"E			
L120	110.00	N17° 38' 42.48"E			
L124	110.00	N17° 38' 42.48"E			
L128	110.00	N17° 38' 42.48"E			
L133	110.00	N17° 38' 42.48"E			
L137	110.00	N17° 38' 42.48"E			
L141	110.00	N17° 38' 42.48"E			
L145	110.00	N17° 38' 42.48"E			
L7	40.00	S72° 21' 17.52"E			
L8	40.00	S72° 21' 17.52"E			
L9	40.00	S72° 21' 17.52"E			

## Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
L10	40.00	S72° 21' 17.52"E	
L11	40.00	S72° 21' 17.52"E	
L12	53.06	S72° 21' 17.52"E	
L13	53.46	S72° 21' 17.52"E	
L14	40.00	S72° 21' 17.52"E	
L15	40.00	S72° 21' 17.52"E	
L16	40.00	S72° 21' 17.52"E	
L17	40.00	S72° 21' 17.52"E	
L18	40.00	S72° 21' 17.52"E	
L19	40.00	S72° 21' 17.52"E	
L20	40.00	S72° 21' 17.52"E	
L21	40.00	S72° 21' 17.52"E	
L22	40.00	S72° 21' 17.52"E	
L23	40.00	S72° 21' 17.52"E	
L24	40.00	S72° 21' 17.52"E	
L25	40.00	S72° 21' 17.52"E	
L26	40.00	S72° 21' 17.52"E	
L27	55.00	S72° 21' 17.52"E	
L28	55.00	S72° 21' 17.52"E	
L29	20.75	S72° 21' 17.52"E	

## Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
L30	17.41	N16° 59' 17.37"E	
L81	165.22	S72° 21' 17.52"E	
L5	9.46	S72° 21' 17.51"E	
L33	40.00	S72° 21' 17.52"E	
L35	40.00	S72° 21' 17.52"E	
L38	40.00	S72° 21' 17.52"E	
L39	40.00	S72° 21' 17.52"E	
L41	40.00	S72° 21' 17.52"E	
L45	1.00	S72° 21' 17.52"E	
L31	48.46	S72° 17' 50.61"E	
L77	120.00	S17° 38' 42.48"W	
L71	120.00	S17° 38' 42.48"W	
L73	120.00	S17° 38' 42.48"W	
L67	120.00	S17° 38' 42.48"W	
L69	120.00	S17° 38' 42.48"W	
L65	120.00	S17° 38' 42.48"W	
L63	120.00	S17° 38' 42.48"W	
L59	120.00	S17° 38' 42.48"W	
L61	120.00	S17° 38' 42.48"W	
L57	120.00	S17° 38' 42.48"W	

## Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
L121	22.00	S72° 21' 17.52"E	
L122	18.00	S72° 21' 17.52"E	
L125	18.00	S72° 21' 17.52"E	
L126	22.00	S72° 21' 17.52"E	
L129	26.00	S72° 21' 17.52"E	
L130	10.00	S72° 21' 17.52"E	
L131	4.00	S72° 21' 17.52"E	
L134	21.00	S72° 21' 17.52"E	
L135	19.00	S72° 21' 17.52"E	
L138	18.00	S72° 21' 17.52"E	
L139	22.00	S72° 21' 17.52"E	
L142	15.00	S72° 21' 17.52"E	
L143	25.00	S72° 21' 17.52"E	
L146	45.00	S72° 21' 17.52"E	
L160	110.00	S17° 38' 42.48"W	
L158	110.00	N17° 38' 42.48"E	
L161	110.00	N17° 38' 42.48"E	
L163	110.00	N17° 38' 42.48"E	
L149	110.00	N17° 38' 42.48"E	
L152	110.00	N17° 38' 42.48"E	

## Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
L264	13.99	S65° 37' 47.49"W	
L265	120.65	N68° 58' 30.34"W	
L96	40.00	S72° 21' 17.52"E	
L99	20.00	S72° 21' 17.52"E	
L100	40.00	S72° 21' 17.52"E	
L102	65.00	S72° 21' 17.52"E	
L151	107.29	S18° 04' 49.99"W	
L180	47.00	N17° 38' 42.48"E	
L181	40.00	N17° 38' 42.48"E	
L184	40.00	N17° 38' 42.48"E	
L187	20.00	N17° 38' 42.48"E	
L190	40.00	N17° 38' 42.48"E	
L193	51.08	N17° 38' 42.48"E	
L196	26.29	N33° 01' 12.06"E	
L199	34.10	N17° 38' 42.48"E	
L200	40.02	N33° 01' 12.06"E	
L203	42.52	N33° 01' 12.06"E	
L206	42.52	N33° 01' 12.06"E	
L209	42.52	N33° 01' 12.06"E	
L218	42.27	N33° 01' 12.06"E	

LZ9	20.75	012	21	17.

urve Tabl	е		Parcel Line and Curve Table						
aring/Delta	Radius		Line #/Curve #	Length	Bearing/Delta	Radius			
37' 47.49"W		- '	L221	52.02	N33° 01' 12.06"E				
58' 30.34"W			L225	36.01	N33° 01' 12.06"E				
21' 17.52"E			L228	24.01	N33° 01' 12.06"E				
21' 17.52"E			L231	24.01	N33° 01' 12.06"E				
21' 17.52"E			L234	13.08	N60° 03' 29.92"E				
21' 17.52"E			L238	12.19	N33° 01' 12.06"E				
04' 49.99"W		- '	L239	11.07	N60° 03' 29.92"E				
38' 42.48"E			L242	26.58	N60° 03' 29.92"E				
38' 42.48"E			L245	26.58	N60° 03' 29.92"E				
38' 42.48"E			L248	26.58	N60° 03' 29.92"E				
38' 42.48"E			L222	121.22	S55° 22' 58.98"E				
38' 42.48"E		-	L105	26.57	S72° 21' 17.52"E				
38' 42.48"E		-	L106	12.51	S72° 21' 17.52"E				
01' 12.06"E			L110	17.00	S72° 21' 17.52"E				
38' 42.48"E			L111	13.00	S72° 21' 17.52"E				
01' 12.06"E		-	L112	22.00	S72° 21' 17.52"E				
01' 12.06"E			L113	5.00	S72° 21' 17.52"E				
01' 12.06"E			L116	4.40	S72° 21' 17.52"E				
01' 12.06"E			L117	20.00	S72° 21' 17.52"E				
01' 12.06"E			L118	15.60	S72° 21' 17.52"E				

## Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius				
L54	120.00	S17° 38' 42.48"W					
L90	86.04	S72° 21' 17.52"E					
L84	124.50	S72° 21' 17.52"E					
L53	120.00	S17° 38' 42.48"W					
L51	120.00	S17° 38' 42.48"W					
L49	120.00	S17° 38' 42.48"W					
L47	120.00	S17° 38' 42.48"W					
L42	120.00	S17° 38' 42.48"W					
L44	120.00	S17° 38' 42.48"W					
L36	120.00	S17° 38' 42.48"W					
L34	120.00	S17° 38' 42.48"W					
L37	120.00	S17° 38' 42.48"W					
L40	120.00	S17° 38' 42.48"W					
L6	120.00	S17° 38' 42.48"W					
L1	4.00	N72° 21' 17.52"W					
L2	394.78	N72° 21' 17.52"W					
L3	61.66	N59° 28' 37.17"E					
L4	140.38	N59° 48' 16.02"E					
C1	47.67	0.81	3364.63				
L32	756.92	N72° 21' 17.52"W					

## Parcel Line and Curve Table

			•
Line #/Curve #	Length	Bearing/Delta	Radius
C2	93.10	1.59	3364.63
L80	67.45	N59° 48' 16.02"E	
L83	60.71	N59° 48' 16.02"E	
L86	87.69	N59° 48' 16.02"E	
L107	77.64	S14° 45' 27.42"W	
C4	22.54	0.38	3364.63
C8	66.93	1.11	3469.46
L217	164.69	S17° 48' 56.99"W	
C9	63.77	0.90	4047.34
L252	19.40	N60° 03' 29.92"E	
L253	7.84	N68° 48' 00.33"E	
L256	59.22	N68° 48' 00.33"E	
L257	53.94	S20° 40' 29.90"E	
L261	36.64	S20° 40' 29.90"E	
L262	121.08	N59° 59' 34.55"E	
L263	195.60	S49° 00' 05.37"E	
C10	135.89	2.24	3469.46
L266	346.24	N59° 48' 16.02"E	
L267	119.91	N46° 19' 59.05"E	
L268	284.01	N44° 58' 06.34"W	

## Parcel Line and Curve Table

Length	Bearing/Delta	Radius
310.49	N43° 08' 36.10"E	
141.79	S52° 29' 22.97"E	
99.84	S22° 04' 00.40"E	
101.53	N60° 03' 29.92"E	
36.88	16.97	124.50
310.86	N34° 37' 01.02"E	
160.90	S51° 36' 13.53"E	
147.49	S68° 58' 32.28"E	
14.34	S25° 11' 41.47"E	
90.00	N17° 38' 42.48"E	
14.14	N62° 38' 42.48"E	
	310.49 141.79 99.84 101.53 36.88 310.86 160.90 147.49 14.34 90.00 90.00 90.00 90.00 90.00 90.00 90.00 90.00 90.00 90.00 90.00 90.00	310.49         N43° 08' 36.10"E           141.79         S52° 29' 22.97"E           99.84         S22° 04' 00.40"E           101.53         N60° 03' 29.92"E           36.88         16.97           310.86         N34° 37' 01.02"E           160.90         S51° 36' 13.53"E           147.49         S68° 58' 32.28"E           14.34         S25° 11' 41.47"E           90.00         N17° 38' 42.48"E           90.00         N17° 38' 42.48"E

# Parcel Line and Curve Table

Line #/Curve #	Length Bearing/Delta		Radius
L232	123.57	S55° 22' 58.98"E	
L246	90.70	S55° 22' 58.98"E	
L243	102.11	S55° 22' 58.98"E	
L249	79.28	S55° 22' 58.98"E	
L251	11.07	N55° 22' 58.98"W	
L254	77.62	S55° 22' 58.98"E	
L101	110.00	S17° 38' 42.48"W	
L178	105.00	S72° 21' 17.52"E	
L182	105.00	S72° 21' 17.52"E	
L185	105.00	S72° 21' 17.52"E	
L188	105.00	S72° 21' 17.52"E	
L191	105.00	S72° 21' 17.52"E	
L194	107.30	S66° 05' 37.61"E	
L197	113.93	S55° 22' 58.98"E	
C3	0.00	0.00	53.72
C12	109.64	64.43	97.51
L87	64.69	S72° 21' 17.52"E	
L88	1.00	S72° 21' 17.52"E	

## Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
L154	110.00	N17° 38' 42.48"E	
L156	110.00	N17° 38' 42.48"E	
L75	120.00	S17° 38' 42.48"W	
L219	119.77	S55° 22' 58.98"E	
L201	115.04	S55° 22' 58.98"E	
L204	116.23	S55° 22' 58.98"E	
L207	117.41	S55° 22' 58.98"E	
L210	118.60	S55° 22' 58.98"E	
L91	45.00	S17° 38' 42.48"W	
L97	65.00	S17° 38' 42.48"W	
L94	0.00	S72° 21' 17.95"E	
L95	46.02	S72° 21' 16.31"E	
L43	52.06	S72° 21' 17.52"E	
L46	53.46	S72° 21' 17.52"E	
L48	40.00	S72° 21' 17.52"E	
L50	40.00	S72° 21' 17.52"E	
L52	40.00	S72° 21' 17.52"E	
L55	40.00	S72° 21' 17.52"E	
L56	40.00	S72° 21' 17.52"E	
L58	40.00	S72° 21' 17.52"E	

Line #/Curve #	Length	Bearing/Delta	Radius
L60	40.00	S72° 21' 17.52"E	
L62	40.00	S72° 21' 17.52"E	
L64	40.00	S72° 21' 17.52"E	
L66	40.00	S72° 21' 17.52"E	
L68	40.00	S72° 21' 17.52"E	
L70	40.00	S72° 21' 17.52"E	
L72	40.00	S72° 21' 17.52"E	
L74	55.00	S72° 21' 17.52"E	
L76	55.00	S72° 21' 17.52"E	
L78	49.73	S72° 21' 17.52"E	
L79	50.00	S17° 40' 59.56"W	
L82	45.00	S17° 40' 59.56"W	
L85	65.00	S17° 40' 59.56"W	
L169	110.00	N17° 38' 42.48"E	
L171	110.00	N17° 38' 42.48"E	
L173	110.00	N17° 38' 42.48"E	
L240	113.53	S55° 22' 58.98"E	
L235	118.29	S55° 22' 58.98"E	
L226	122.23	S55° 22' 58.98"E	
L229	122.90	S55° 22' 58.98"E	

Parcel Line and Curve Table



LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE LAND SURVEYING 1022 TWELVE OAKS PLACE, STE 201

WATKINSVILLE, GA 30677 (706) 769-9515 (706) 769-9595 FAX www.smithplanninggroup.com

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SEALS:



SHEET TITLE:

# PRELIMINARY PLAT CALLS

SHEET ISSUE: 05/26/20 PROJECT NO. 18-2374

PP-13

NO.	DATE	
1	07/09/20	AD
2	08/10/20	AD

SHEET NO.

DESCRIPTION ADDRESS COMMENTS ADDRESS COMMENTS

## Parcel Line and Curve Table

Parcel Line and Curve Table									
Line #/Curve #	Length	Bearing/Delta	Radius						
L150	10.42	S28° 12' 51.92"E							
L153	10.42	S28° 12' 51.92"E							
L155	10.42	S28° 12' 51.92"E							
L157	10.42	S28° 12' 51.92"E							
L159	10.42	S28° 12' 51.92"E							
L162	10.42	S28° 12' 51.92"E							
L164	10.42	S28° 12' 51.92"E							
L166	10.42	S28° 12' 51.92"E							
L168	10.42	S28° 12' 51.92"E							
L170	10.42	S28° 12' 51.92"E							
L172	10.42	S28° 12' 51.92"E							
L174	3.90	S28° 12' 51.92"E							
L175	14.14	N62° 38' 42.48"E							
L176	22.00	S72° 21' 17.52"E							
L177	3.90	S28° 12' 51.92"E							
L89	14.14	S62° 38' 42.48"W							
L92	100.00	S17° 38' 42.48"W							
L93	14.14	S62° 38' 42.48"W							
L98	40.00	S17° 38' 42.48"W							
C???	24.12	7.90	175.00						

Line #/Curve #	Length	Bearing/Delta	Radius
L104	40.00	S17° 38' 42.48"W	
C???	24.12	7.90	175.00
C???	27.72	9.07	175.00
C???	27.72	9.07	175.00
C???	27.72	9.07	175.00
C???	27.72	9.07	175.00
C???	27.72	9.07	175.00
L198	50.00	S34° 37' 01.02"W	
L202	50.00	S34° 37' 01.02"W	
L205	50.00	S34° 37' 01.02"W	
L208	36.00	S34° 37' 01.02"W	
L211	24.00	S34° 37' 01.02"W	
L220	17.71	S34° 37' 01.02"W	
L223	50.61	N51° 36' 13.53"W	
L224	17.71	S34° 37' 01.02"W	
L227	159.65	N51° 36' 13.53"W	
L230	159.65	N51° 36' 13.53"W	
L233	159.65	N51° 36' 13.53"W	
L237	159.65	N51° 36' 13.53"W	
C???	13.64	17.37	45.00

		Parcel	Area Table				Parcel	Area Table				Parcel	Area Table	
Parcel #	Area	Perimeter	Segment Lengths	Segment Bearings	Parcel #	Area	Perimeter	Segment Lengths	Segment Bearings	Parcel #	Area	Perimeter	Segment Lengths	Segment Bearing
1	6887.51	364.10	14.64 93.10 48.46 17.41 20.75 120.00	S29° 39' 10.95"E S12° 23' 18.77"W N72° 17' 50.61"W S16° 59' 17.37"W N72° 21' 17.52"W N17° 38' 42.48"E	21	4800.00	320.00	120.00 40.00 120.00 40.00 40.00	S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S72° 21' 17.52"E	41	2420.00	264.00	22.00 110.00 17.00 5.00 110.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N72° 21' 17.52"W N17° 38' 42.48"E
2	6600.00	350.00	49.73 55.00 120.00	S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W	22	4800.00	320.00	120.00 40.00 120.00	S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	42	2420.00	264.00	22.00 110.00 22.00 110.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E
3	6600.00	350.00	55.00 120.00 55.00 120.00 55.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W	23	4800.00	320.00	120.00 40.00 120.00 40.00 45.00	N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W S17° 40' 59.56"W	43	3146.11	277.20	28.60 110.00 13.00 15.60 110.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N72° 21' 17.52"W N72° 21' 17.52"W N17° 38' 42.48"E
4	4800.00	320.00	120.00 40.00 120.00 40.00 120.00	N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	24	6518.62	395.42	165.22 60.71 124.50 65.00 124.50	N72° 21' 17.52"W N59° 48' 16.02"E S72° 21' 17.52"E S17° 40' 59.56"W N72° 21' 17.52"W	44	2464.34	264.81	22.40 110.00 4.40 18.00 110.00	S72° 21' 17.52"E S17° 38' 42.48"V N72° 21' 17.52"V N72° 21' 17.52"V N72° 21' 17.52"V N17° 38' 42.48"E
5	4800.00	320.00	40.00 120.00 40.00 120.00 120.00	N17° 38 42.48 E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	25	6181.17	342.88	87.69 64.69 1.00 65.00	N59° 48' 16.02"E S72° 21' 17.52"E S72° 21' 17.52"E N17° 39' 38.02"E	45	2420.00	264.00	22.00 110.00 22.00 110.00	S72° 21' 17.52"E S17° 38' 42.48"U N72° 21' 17.52"V N17° 38' 42.48"E
6	4800.00	320.00	40.00 120.00 40.00 120.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	26	5592.10	302.07	0.00 0.00 46.02 40.00 65.00	N40° 08' 28.13"W S72° 21' 17.95"E S72° 21' 16.31"E S72° 21' 17.52"E S17° 38' 42.48"W	46	2420.00	264.00	22.00 110.00 22.00 110.00	S72° 21' 17.52"E S17° 38' 42.48"V N72° 21' 17.52"V N17° 38' 42.48"E
7	4800.00	320.00	40.00 120.00 40.00 120.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	27 SMALLEST	3822.10	256.23	86.04 35.00 86.04 45.00 76.05	N72° 21' 17.52"W N17° 39' 38.02"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.26"W	47	2420.00	264.00	110.00 22.00 110.00 18.00 4.00	N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"V N72° 21' 17.52"V N72° 21' 17.52"V
8	4800.00	320.00	40.00 120.00 40.00 120.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	SF LOT	6600.00	340.00	14.14 60.00 45.00 65.00	N27° 20' 49.43"W N72° 21' 17.02"W N17° 38' 42.48"E N17° 38' 42.48"E	48	4950.00	310.00	110.00 26.00 19.00 110.00	S17° 38' 42.48"\ N72° 21' 17.52"\ N72° 21' 17.52"\ N17° 38' 42.48"
9	4800.00	320.00	40.00 120.00 40.00 120.00 40.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E				20.00 40.00 110.00 55.00 110.00	S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	49	4730.00	306.00	45.00 43.00 110.00 21.00 22.00	S72° 21' 17.52"l S72° 21' 17.52"l S17° 38' 42.48"V N72° 21' 17.52"V N72° 21' 17.52"V
10	4800.00	320.00	120.00 40.00 120.00 40.00	S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E	29 LARGEST SF LOT	7100.00	344.14	65.00 100.00 14.14 35.00	S72° 21' 17.52"E S17° 38' 42.48"W S62° 38' 42.48"W N72° 21' 17.52"W		4730.00	306.00	110.00 43.00 110.00 18.00	N17° 38' 42.48" S72° 21' 17.52" S17° 38' 42.48" N72° 21' 17.52"
11	4800.00	320.00	120.00 40.00 120.00 40.00 120.00	S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W	30	4900.00	304.14	14.14 100.00 45.00 110.00	N27° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W				25.00 110.00 90.00	N72° 21' 17.52" N17° 38' 42.48" N17° 38' 42.48" N17° 38' 42.48" N17° 38' 42.48"
12	4800.00	320.00	40.00 40.00 40.00 40.00 120.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W	31	4400.00	300.00	40.00 110.00 15.00 25.00 110.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W	51	6550.00	334.14	14.14 50.00 110.00 15.00 45.00	N62° 38' 42.48" S72° 21' 17.52" S17° 38' 42.48" N72° 21' 17.52" N72° 21' 17.52"
13	4800.00	320.00	40.00 120.00 40.00 120.00 40.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W	32	4400.00	300.00	40.00 110.00 18.00 22.00 110.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W	52	4935.00	304.00	47.00 65.00 40.00 47.00 105.00	S17° 38' 42.48" N72° 21' 17.52" N72° 21' 17.52" N17° 38' 42.48" S72° 21' 17.52"
15	4800.00	320.00	120.00 40.00 120.00 40.00	N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W	33	4400.00	300.00	40.00 110.00 21.00 19.00 110.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W	53	4200.00	290.00	40.00 105.00 40.00 105.00	S17° 38' 42.48" N72° 21' 17.52" N17° 38' 42.48' S72° 21' 17.52'
16	4800.00	320.00	120.00 40.00 120.00 40.00 120.00	N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	34	4400.00	300.00	40.00 110.00 26.00 10.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S72° 21' 17.52"E	54	4200.00	290.00	40.00 105.00 40.00 105.00 40.00	S17° 38' 42.48" N72° 21' 17.52" N17° 38' 42.48' S72° 21' 17.52' S17° 38' 42.48"
17	6415.68	346.93	53.46 120.00 53.46 120.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	35	4400.00	300.00	4.00 110.00 40.00 110.00 18.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E	55	4200.00	290.00	40.00 105.00 40.00 105.00 15.33	S17 38 42.48 N72° 21' 17.52" N17° 38' 42.48" S72° 21' 17.52" S17° 38' 42.48"
18	6367.55	346.13	52.06 120.00 53.06 120.00 1.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E				22.00 110.00 40.00 110.00	S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	56	4771.97	302.83	105.00 51.08 107.30 24.12	N72° 21' 17.52" N17° 38' 42.48" S66° 05' 37.61" S21° 35' 38.43"
19	4800.00	320.00	120.00 40.00 120.00 40.00	S72° 21' 17.52°E N17° 38' 42.48″E S72° 21' 17.52″E S17° 38' 42.48″W N72° 21' 17.52″W	36	4400.00	300.00	22.00 18.00 110.00 40.00 110.00	S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W N17° 38' 42.48"E	57	5525.98	320.68	27.72 107.30 34.10 26.29 113.93 11.35	S30° 04' 47.70" N66° 05' 37.61" N17° 38' 42.48" N33° 01' 12.06" S55° 22' 58.98" S34° 37' 01.02"
20	4800.00	320.00	120.00 40.00 120.00 40.00	N17° 38' 42.48"E S72° 21' 17.52"E S17° 38' 42.48"W N72° 21' 17.52"W	37	4400.00	300.00	4.40 20.00 15.60 110.00	S72° 21' 17.52"E S72° 21' 17.52"E S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W	58	4579.35	308.98	113.93 40.02 115.04 40.00	N55° 22' 58.98" N33° 01' 12.06" S55° 22' 58.98" S34° 37' 01.02"
					38	4400.00	300.00	40.00 110.00 13.00 22.00 5.00 110.00	N72° 21' 17.52"W N17° 38' 42.48"E S72° 21' 17.52"E S72° 21' 17.52"E S72° 21' 17.52"E S72° 21' 17.52"E S17° 38' 42.48"W	59	4914.44	316.28	115.04 42.52 116.23 42.50	N55° 22' 58.98" N33° 01' 12.06' S55° 22' 58.98' S34° 37' 01.02"
					39	6426.12	331.75	13.70 51.79 110.00 17.00 26.57 12.51 77.64 22.54	S17         36         42.46         W           S61°         03'         46.90"W         N72°         21'         17.52"W           N17°         38'         42.48"E         S72°         21'         17.52"E           S72°         21'         17.52"E         S14°         45'         27.42"W           S14°         45'         27.42"W         S14°         33'         57.31"W	60	4964.79	318.65	116.23 42.52 117.41 42.50	N55° 22' 58.98" N33° 01' 12.06' S55° 22' 58.98" S34° 37' 01.02"
					40	2964.50	272.34	24.58 3.90 107.29 26.57 110.00	S72° 21' 17.52"E S28° 12' 51.92"E S18° 04' 49.99"W N72° 21' 17.52"W N17° 38' 42.48"E					

1         1	arings	Parcel #	Area	Parcel /	Area Table	Segment Bearings	Parcel #	Area
No.         A 10         A 10         A 10 (1)	52"E 48"W				117.41 42.52	N55° 22' 58.98"W N33° 01' 12.06"E	308	
error         0         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000.7         000.9         000	52"W 48"E				42.50 118.60	S34° 37' 01.02"W N55° 22' 58.98"W		
B     D     DE     MACH     MAC	48"W 52"W 48"E	62	5035.73	322.89	119.77 42.25	S55° 22' 58.98"E S34° 37' 01.02"W	OPEN	2306.58
Hat         Ad         Skill 2         275.00 (2000)         Skill 2         275.00 (2000)         Skill 2	52"E 48"W 52"W	63	6265.94	345.02	119.77 52.02 121.22	N55° 22' 58.98"W N33° 01' 12.06"E S55° 22' 58.98"E		
	48"E 52"E	64	4382.12	315.46	36.00 121.22	S34° 37' 01.02"W N55° 22' 58.98"W		
0         0         0.0.2 </td <td>52"W 52"W 48"E</td> <td></td> <td></td> <td></td> <td>122.23 24.00</td> <td>S55° 22' 58.98"E S34° 37' 01.02"W</td> <td></td> <td></td>	52"W 52"W 48"E				122.23 24.00	S55° 22' 58.98"E S34° 37' 01.02"W		
6       20.5       96.7       10.5       10.7 <t< td=""><td>52"E 48"W 52"W 48"E</td><td>65</td><td>2941.48</td><td>293.13</td><td>24.01 122.90</td><td>N33° 01' 12.06"E S55° 22' 58.98"E</td><td></td><td></td></t<>	52"E 48"W 52"W 48"E	65	2941.48	293.13	24.01 122.90	N33° 01' 12.06"E S55° 22' 58.98"E		
	52"E 48"W	66	2957.54	294.47	24.01	N33° 01' 12.06"E		
	48"E 48"E 52"E 48"W	67	2938.48	291.13	123.57 12.19 13.08 118.29	N55° 22' 58.98"W N33° 01' 12.06"E N60° 03' 29.92"E S55° 22' 58.98"E		
Sec     Po     Point Poin	52"W 48"W 52"W 52"W	68	2587.71	266.22	26.58 102.11 24.00	N60° 03' 29.92"E S55° 22' 58.98"E S34° 37' 01.02"W		
No. 1         203.6         20.5         94.9         No. 27 24887           17         227.7         227.7         225.2         94.9         No. 27 24887           18         7         227.7         225.2         94.9         No. 27 24887           18         19.9         19.9         19.9         19.9         19.9           18         19.9         19.9         19.9         19.9         19.9           18         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9         19.9         19.9           19         19.9         19.9         19.9	52"E 52"E	69	2313.70	243.39	90.70 24.00	S55° 22' 58.98"E S34° 37' 01.02"W		
No.         No. <td>48"W 52"W 52"W 48"E</td> <td></td> <td>2039.68</td> <td>220.55</td> <td>26.58 79.28</td> <td>N60° 03' 29.92"E S55° 22' 58.98"E</td> <td></td> <td></td>	48"W 52"W 52"W 48"E		2039.68	220.55	26.58 79.28	N60° 03' 29.92"E S55° 22' 58.98"E		
HET     71     202.74     204.01     74.4     Mill 10 Austra       HET     71.4     202.74     204.01     205.01     205.01       HET     71.4     202.74     200.01     200.01     200.01     200.01       HET     71.4     202.74     200.01     200.01     200.01     200.01     200.01       HET     71.4     202.74     200.01	52"E 48"W 52"W 52"W				90.70 79.28	N55° 22' 58.98"W N55° 22' 58.98"W		
Set Set Set Set Set Set Set Set Set Set	48"E 48"E 48"E	71	2027.16	219.20	7.84 77.62	N68° 48' 00.33"E S55° 22' 58.98"E		
10 22 m 22 m 22 m 22 m 22 m 22 m 22 m 22	48"E 52"E 48"W 52"W				98.93	N34° 37' 01.02"E		
Area         No.         No. <td>52"W 48"W 52"W</td> <td>CONDO</td> <td>46962.09</td> <td>906.98</td> <td>195.60 135.89</td> <td>S49° 00' 05.37"E S21° 12' 20.86"W</td> <td></td> <td></td>	52"W 48"W 52"W	CONDO	46962.09	906.98	195.60 135.89	S49° 00' 05.37"E S21° 12' 20.86"W		
Seve extension extensint extension extension extension extension extensio	52"W 48"E 52"E	PARCEL			10.90	N68° 58' 32.28"W		
Merry STE         No. 1 (1990)         Self / 2         943./2         400.0         H/2 2 17 5/2/0 (1970)           STE         100.0         240.00         100.00         817.41         93.90           STE         100.00         240.00         100.00         817.21         93.90           STE         100.00         240.00         100.00         817.21         93.90           STE         100.00         200.00         107.21         93.90           STE         100.00         200.00         107.21         93.90           STE         100.00         101.00         107.21         107.22           STE         100.00         101.00         107.21         107.22           STE         200         101.07         22.04         10.31         107.22         10.32           STE         101.00         101.00         107.21         107.20         101.20	48"W 52"W 48"E 52"E				40.00 40.00	N72° 21' 17.52"W N72° 21' 17.52"W		
SPE         U	48"W 52"W 48"E	VILLAGE	9391.78	493.12	40.00 9.46	N72° 21' 17.52"W N72° 21' 17.51"W		
ST         Store         Store         Store           ST         Store         Store         Store         Store           Store         Store         Store         Store         Store         Store           Store         Store         Store         Store         Store         Store           Store         Store         Store         Store         Store         Store           Store         Store         Store         Store         Store	52"E 48"W 52"W				165.22 50.00	S17° 40' 59.56"W		
Mathematical action         Construction         Construction         Construction           NYW         200         200.0         200.0         200.0         NYY = 24 4874           NYW         110.00         NYY = 27 11 52 12 52         110.00         NYY = 17 12 52           NYW         100.0         100.19         200.4         100.29         NYY = 17 52 14 27           NYW         NYW         NYY = 17 52         100.19         200.4         100.29         NYY = 17 52 14 27           NYW         NYY         NYY = 17 52 14 27         100.19         200.4         100.29         NYY = 17 52 14 27           NYY         10.19         10.18         NYY = 17 52 14 27         100.17         100.17           NYY         10.18         NYY = 17 52 14 27         100.17         100.17         100.17           NYY         10.18         NYY = 17 52 14 27         100.17         100.17         100.17           NYY         10.18         NYY = 17 52 14 27         100.17         100.17         100.17           NYY         10.14 14 14 14         100.18         100.18         100.17         100.17           NYY         100.17         100.17         100.17         100.17         100.17         100	52"E 48"W	OPEN	1100.00	240.00	110.00 10.00	S17° 38' 42.48"W N72° 21' 17.52"W		
NY         B231         S157         ET 9 357W 1251         S157         ET 9 357W 1257         S157         S157         S157         S157         S157         S157         S157	48"E 61"E 43"W	ACCESS	2200.00	260.00	110.00 20.00	S17° 38' 42.48"W N72° 21' 17.52"W		
SPICE 14 BY BY BY BY BY BY BY BY BY BY BY BY BY	70"W 61"W 48"E 06"E		1010.79	230.34	86.31 13.81	S15° 18' 19.36"W S14° 45' 27.42"W		
UPT         219 2010         1244 182 2010         1244 182 2010         133.3         11.27 21 17.27 11.27 21 38.83 Not 07 17 17 12 12 38.83 Not 07 17 17 12 12 10 20 0 50 10 10 10 10 10 20 0 50 10 10 10 10 10 20 0 10 10 1	98"E 02"W 98"W				107.29 13.99	N18° 04' 49.99"E S62° 27' 45.33"W		
219 DYMORE DYMORE         218 DYMORE         12841.62 DYMORE         1434.47         11.67 DYMORE         NN11 3073.75 TE SP1 537 DYMORE           87W DYMORE         2280.01 DYMORE         12841.62 DYMORE         1434.47         11.67 DYMORE         NN11 3073.75 TE SP1 537 DYMORE           87W DYMORE         400         SP2 2117.95 TY DYMORE         143.47 DYMORE         147.49 DYMORE           87W DYMORE         400         N72 2117.95 TY DYMORE         143.47 DYMORE         143.47 DYMORE           28W DYMORE         400         N72 2117.95 TY DYMORE         143.47 DYMORE         143.47 DYMORE           200         400         S72 2117.95 TY DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE           200         200         572 2117.95 TY DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE           200         200         572 2117.95 TY DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE           200         200         572 2117.95 TY DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE           200         272 DYMORE         273.57 DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE         143.47 DYMORE           200         272 D	06"E 98"E 02"W				14.14 31.83 36.88	N27° 21' 17.52"W N17° 38' 42.48"E N26° 07' 51.75"E		
270         66.33         S1E* 22.0.37W           887E         66.39         S17* 24.5.20W           887E         8.77         S15.77         S15.70           887E         8.77         S17.72         S15.70           887E         8.77         S17.72         S15.70           887E         8.66         M12*2117         S15.70           887E         8.66         M12*2117         S15.70           887E         8.67         S17.72         S15.70           9.60         S17*2117         S15.70         S15.72           9.60         S17*2117         S15.70         S15.72           9.60         S17*2117         S15.70         S15.72           9.60         S17*2117         S15.72         S15.72           9.60         S17*2117         S15.72         S15.80           9.60         S17*2117         S15.72         S15.80           9.70         S15.72         S17.75         S17.75           9.71         S15.72         S17.75         S17.75           9.71         S17.75         S17.75         S17.75           9.71         S17.75         S17.75         S17.75           9.71	98"W 06"E 98"E 02"W	CLUBHOUSE	128461.62	1434.47	13.67 160.90 147.49	N81° 30' 23.75"E S51° 36' 13.53"E S68° 58' 32.28"E		
270 HUTERA RUFERS         4275.24         2558.01         40.00 40.00 40.00 572 21 17.527E           270 HUTERA RUFERS         4275.24         2558.01         40.00 40.00 572 21 17.527E           271 HUTERA RUFERS         4275.24         2558.01         40.00 40.00 572 21 17.527E           272 HUTERA RUFERS         4275.24         2558.01         40.00 40.00 572 21 17.527E           272 HUTERA RUFERS         4275.24         17.527E         17.527E           273 HUTERA RUFERS         2558.01         40.00 572 21 17.527E         17.527E           274 HUTERA RUFERS         2558.01         40.00 572 21 17.527E         17.527E           274 HUTERA RUFERS         2558.01         250.00         572 21 17.527E           272 HUTERA RUFERS         250.00         572 21 17.527E         17.527E           274 HUTERA RUFERS         250.00         572 21 17.527E         17.527E           274 HUTERA RUFERS         250.00         572 21 17.527E         17.527E           274 HUTERA RUFERA RUFERA RUF	98"W 06"E 98"E				66.93 164.69	S18° 22' 06.39"W S17° 48' 56.99"W		
270         4275.24         2560.01         572 2117.527E           42000         572 2117.527E         400.00         572 2117.527E           53.66         5772 2117.527E         400.00         572 2117.527E           40.00         572 2117.527E         53.66         5772 2117.527E           117.527E         53.66         5772 2117.527E         53.66           53.66         5772 2117.527E         53.66         5772 2117.527E           40.00         572 2117.527E         40.00         572 2117.527E           40.00         572 2117.527E         55.00         572 2117.527E           47.67         511112.528         55.00         572 5177.527E	02"W				394.78 61.66	N72° 21' 17.52"W N59° 28' 37.17"E		
270         4275.24         2558.01         4000         572 211 752FE           1.NIDGCAPE         4275.24         2558.01         4000         572 211 752FE           1.NIDGCAPE         4000         572 211 752FE         4000         572 211 752FE           1.NIDGCAPE         4000         572 211 752FE         4000         572 211 752FE           1.NIDGCAPE         4000         572 211 752FE         4000         572 211 752FE           4000         572 211 752FE         500         572 211 752FE           4000         572 211 752FE         500         572 211 752FE           4000         5					9.46 120.00 40.00	S72° 21' 17.51"E S17° 38' 42.48"W S72° 21' 17.52"E		
270 HUBBCARE BUFFER         42725.24         2558.01         40.00 40.00 572 2117.52E 40.00 572 2177.52E 40.00 572 2177.52E 555 505 50 500 572 255 50 500 500 572 255 500 500 500 500 500 500 500 500 50					40.00 40.00 40.00	S72° 21' 17.52"E S72° 21' 17.52"E S72° 21' 17.52"E		
270 HUBDCATE BUFFER         4275.24         2568.01         40.00         572' 21' 17.52'E 40.00           40.00         572' 21' 17.52'E 40.00         572' 21' 17.52'E 40.00         572' 21' 17.52'E 40.00           40.00         572' 21' 17.52'E 40.00         572' 21' 17.52'E 40.00         572' 21' 17.52'E 40.00           40.00         572' 21' 17.52'E 40.00         572' 21' 17.52'E 40.00         572' 21' 17.52'E 55.00           40.00         572' 21' 17.52'E 55.00         572' 21' 17.52'E 20.75         572' 21' 17.52'E 20.75           71.74         Hi 64.6         572' 21' 17.52'E 20.05         572' 21' 17.52'E 20.05           17.64         95.00         972' 21' 17.52'E 20.00         177' 36 42.48'W 77' 56.42           NULLEN, LORE, ACCESS ADD COMMARTS         250.00         250.00         105.00           105.00         N72' 21' 17.52'W 70' 17.52'W         105.00         77' 21' 17.52'W 70' 17.52'W           ACCESS PARMENT         40.00         S17' 38' 42.48'W 40.00         N72' 21' 17.52'W 70' 105'W           0.00         N72' 21' 17.52'W 40.00         105.00         N72' 21' 17.52'W 40.00           0.00         N72' 21' 17.52'W 40.00         105.04         107' 21' 17.52'W 40.00           0.00         N72' 21' 17.52'W 40.00         100' 17' 10' 10' 10' 10' 10' 10' 10' 10' 10' 10					53.46 40.00 40.00	S72° 21' 17.52"E S72° 21' 17.52"E S72° 21' 17.52"E		
233 WALLED BY WALLED DY		LANDSCAPE	42725.24	2558.01	40.00 40.00	S72° 21' 17.52"E S72° 21' 17.52"E		
283         210.00         ST2 2117.52°E           40.00         ST2 2117.52°E           40.00         ST2 2117.52°E           55.00         ST2 2117.52°E           20.75         ST2 2117.52°E           21.74         N167.5917.37°E           41.67         ST117.32°E           41.67         ST117.52°E           20.00         ST7 387.24°F           NUTURAL AREA ACCESS         105.00           NUTURAL AREA         250.00           105.00         NT2* 2117.52°W           40.00         S17* 38 42.48°W           40.00         NT2* 2117.52°W           40.00         NT2* 2117.52°W           40.00         NT2* 2117.52°W           40.00         NT2* 2117.52°W           40.00         NT2* 211					40.00 40.00	S72° 21' 17.52"E S72° 21' 17.52"E		
283         210.00         S72 21 17 52°E           20.75         S72 21 17 52°E           217.41         N16* 59 17 37°E           48.46         S72 21 17 52°E           47.67         S111 11 2399W           759.92         N72* 21 17.52°W           NVTUELA, AREA ACESS         250.00           2000         N73* 84 2.48°W           ADD STORMWATER         40.00           ADD STORMWATER         417.00           ADD STORMWATER         40.00           ADD STZ* 21 17.52°W         40.00					40.00 40.00	S72° 21' 17.52"E S72° 21' 17.52"E S72° 21' 17.52"E		
283 WALLED DETENTION/ NATURAL AREA         127214.63         2456.77         517         517         38 42.48°W           283 MD STORMARTER ACCESS EASEMENT         250.00         250.00         517*38 42.48°W           40.000         517*38 42.48°W         0.00         NT2*2'1'1.52°W           40.00         NT2*2'1'1.52°W         0.00         NT2*2'1'1.52°W           40.00         NT2*2'1'1.52°W         0.00         NT2*2'1'1.52°W           40.00         NT2*2'1'1.52°W         0.00         NT2*2'1'1.52°W           44.02         NT2*2'1'1.52°W         0.00         NT2*2'1'1.52°W           46.69         NT2*2'1'1.52°W         0.00         NT2*2'1'1.52°W           310.49         N43*0 63 610°E         1.00         1.00           119.91         N44*0 69 63.4°W         1.01         1.01           20.00         N2*2'1'1.52°W         2.65.8         560° 03'2 9.2°Z           110.15         N64*0 0.4°E         1.01         1.01           20.1         1.01					55.00 20.75 17.41	S72° 21' 17.52"E S72° 21' 17.52"E N16° 59' 17.37"E		
283 MATURAL AREA ACCESS ACCESS EA EVENT         250.00         105.00         NT? 2' 2' 1' 7.52''W           ACCESS EA EVENT         40.00         \$17' 38' 42.48''E           ACCESS EA EVENT         40.00         \$17' 38' 42.48''W           ACCESS EA EVENT         40.00         \$17' 38' 42.48''W           ACCESS EA EVENT         20.00         NT?' 2' 1' 7.52''W           40.00         NT?' 2' 1' 7.52''W         20.00           40.00         NT?' 2' 1' 7.52''W           40.01         NT?' 2' 1' 7.52''W           40.02         NT?' 2' 1' 7.52''W           40.03         NT?' 2' 1' 7.52''W           40.04         NT?' 2' 1' 7.52''W           40.05         NT?' 2' 1' 7.52''W           366.24         NT?' 2' 1' 7.52''W           366.24         NS9' 4' 16.02''E           1107         S52' 2' 2' 2' 2'''           201         NA'' 5'''A'''A'''A'''A'''A'''A''''''''''					47.67 756.92	S11° 11' 23.99"W N72° 21' 17.52"W		
203 WALLED DETENTION/ NATURAL AREA         2456.77         12714.63         2456.77         11.07         S52 215.99           203 WALLED DETENTION/ NATURAL AREA         2456.77         11.07         S55 225.89         S0712.06           24.01         S33 01*12.06 <sup>TW</sup> 20.67W         22.68         S60*03*29.92 <sup>TW</sup> 24.01         N44* 58*06.34 <sup>TW</sup> 310.49         N43* 68*36.10 <sup>TE</sup> 11.07           10.10         S52*29*29.97 <sup>TE</sup> 99.84         S22* 04*00.40 <sup>TE</sup> 101.53         N60*03*29.92 <sup>TE</sup> 26.58         S60*03*29.92 <sup>TW</sup> 26.58         S60*03*29.92 <sup>TW</sup> 26.58         S60*03*29.92 <sup>TW</sup> 22.61         S33*01*12.06 <sup>TW</sup> 12.06 <sup>TW</sup> 24.01         S33*01*12.06 <sup>TW</sup> 24.01         S33*01*12.06 <sup>TW</sup> 24.01         S33*01*12.06 <sup>TW</sup> 24.01           22.27         S33*01*12.06 <sup>TW</sup> 24.01         S33*01*12.06 <sup>TW</sup> 24.01           24.01         S33*01*12.06 <sup>TW</sup> 24.01         S33*01*12.06 <sup>TW</sup> 24.01           24.01         S33*01*12.06 <sup>TW</sup> 24.01         S33*01*12.06 <sup>TW</sup> 24.01           24.01         S33*01*12.06 <sup>TW</sup> 24.01         S33*01*12.06 <sup>TW</sup> 24.01         23.01         24.01		NATURAL AREA AND STORM	A ACCESS WATER	250.00	105.00 20.00	N72° 21' 17.52"W N17° 38' 42.48"E		
293 WALED DETENTION/ NATURAL AREA         127214.63         2456.77         2456.77         10.0         N72° 21° 15.31°W           109.64         N72° 21° 17.52°W         64.69         N72° 21° 17.52°W           64.69         N72° 21° 17.52°W         64.69         N72° 21° 17.52°W           346.62.4         N59° 48° 16.02°E         119.91         N46° 19° 59.05°E           284.01         N44° 58° 03.610°E         141.79         S52° 29° 22.97°E           99.84         S22° 44° 00.40°E         101.53         N60° 03° 29.92°E           110.7         S55° 22° 58.98°E         26.58         S60° 03° 29.92°W           26.58         S60° 03° 29.92°W         26.58         S60° 03° 29.92°W           30.01         S33° 01° 12.06°W         24.01         S33° 01° 12.06°W           30.01         S33° 01° 12.06°W         24.01         S3					47.00 20.00	S17° 38' 42.48"W N72° 21' 17.52"W		
293 WALLED DETENTION/ NATURAL AREA         127214.63         2456.77         246.49         N72° 21' 17.52°W           346.24         N59° 48' 16.02°E         119.91         N44° 19' 59.05°E           284.01         N44° 58' 06.34°W         310.49         N43° 08' 36.10°E           119.91         N44° 58' 06.34°W         310.49         N43° 09' 36.10°E           128.91         141.79         S52° 29' 22.97°E         99.84           522' 04' 00.40°E         101.53         N60° 03' 29.92°W         26.58           26.58         S60° 03' 29.92°W         26.58         S60° 03' 29.92°W           26.58         S60° 03' 29.92°W         26.58         S60° 03' 29.92°W           0         DETENTION/         11.07         S60° 03' 29.92°W           11.07         S60° 03' 29.92°W         2456.77         11.07           11.07         S60° 03' 29.92°W         24.01         S33° 01' 12.06°W           24.01         S33° 01' 12.06°W         24.01         S33° 01' 12.06°W           24.01         S33° 01' 12.06°W         24.02         S33° 01' 12.06°W           26.22         S33° 01' 12.06°W         24.227         S33° 01' 12.06°W           26.22         S33° 01' 12.06°W         26.22         S33° 01' 12.06°W					46.02 0.00 109.64	N72° 21' 16.31"W N72° 21' 17.95"W N72° 21' 18.05"W		
293 WALLED DETENTION/ NATURAL AREA         127214.63         2456.77         2456.77         26.58         \$60° 03' 29.92"W           203 WALLED DETENTION/ NATURAL AREA         127214.63         2456.77         26.58         \$60° 03' 29.92"W           20         11.07         \$55° 22' 58.98"E         26.58         \$60° 03' 29.92"W           20         26.58         \$60° 03' 29.92"W         26.58         \$60° 03' 29.92"W           11.07         \$50° 03' 29.92"W         26.58         \$60° 03' 29.92"W           2456.77         26.58         \$60° 03' 29.92"W           12.06"W         24.01         \$33° 01' 12.06"W           24.01         \$33° 01' 12.06"W         24.01         \$33° 01' 12.06"W           36.01         \$33° 01' 12.06"W         24.01         \$33° 01' 12.06"W           42.27         \$33° 01' 12.06"W         24.22         \$33° 01' 12.06"W           42.52         \$33° 01' 12.06"W         42.52         \$33° 01' 12.06"W           42.52         \$33° 01' 12.06"W         42.52         \$33° 01' 12.06"W           42.62         \$33° 01' 12.06"W         42.52         \$33° 01' 12.06"W           42.52         \$33° 01' 12.06"W         42.52         \$33° 01' 12.06"W           40.02         \$33° 01' 12.06"W         40.02 <td rowspan="2"></td> <td></td> <td rowspan="2"></td> <td rowspan="2"></td> <td>64.69 346.24 119.91</td> <td>N72° 21' 17.52"W N59° 48' 16.02"E N46° 19' 59.05"E</td> <td></td> <td></td>					64.69 346.24 119.91	N72° 21' 17.52"W N59° 48' 16.02"E N46° 19' 59.05"E		
293 WALED DETENTION/ NATURAL AREA         127214.63         2456.77         11.07         S55° 22' 58.98"E           26.58         S60° 03' 29.92"W         26.58         S60° 03' 29.92"W           DETENTION/ NATURAL AREA         127214.63         2456.77         11.07         S60° 03' 29.92"W           0.01         DETENTION/ NATURAL AREA         12.06"W         33° 01' 12.06"W           24.01         S33° 01' 12.06"W         24.01         S33° 01' 12.06"W           24.01         S33° 01' 12.06"W         36.01         S33° 01' 12.06"W           36.01         S33° 01' 12.06"W         24.01         S33° 01' 12.06"W           42.227         S33° 01' 12.06"W         42.52         S33° 01' 12.06"W           42.52         S33° 01' 12.06"W         42.52         S33° 01' 12.06"W           40.02         S33° 01' 12.06"W         42.62					310.49 141.79 99.84	N43° 08' 36.10"E S52° 29' 22.97"E S22° 04' 00.40"E		
293 WALLED DETENTION/ NATURAL AREA         127214.63         2456.77         26.58         \$60° 03' 29.92"W           11.07         \$60° 03' 29.92"W         13.08         \$60° 03' 29.92"W           DETENTION/ NATURAL AREA         12.19         \$33° 01' 12.06"W           24.01         \$33° 01' 12.06"W           24.01         \$33° 01' 12.06"W           24.01         \$33° 01' 12.06"W           36.01         \$33° 01' 12.06"W           52.02         \$33° 01' 12.06"W           0.06         N55° 22' 58.98"E           42.27         \$33° 01' 12.06"W           42.52         \$33° 01' 12.06"W           34.10         \$17° 38' 42.48"W           51.08         \$17° 38' 42.48"W           40.00         \$17° 38' 42.48"W           40.00         \$17° 38' 42.48"W           20.00         \$17° 38' 42.48"W					11.07 26.58 26.58	S55° 22' 58.98"E S60° 03' 29.92"W S60° 03' 29.92"W		
24.01       \$33° 01' 12.06"W         24.01       \$33° 01' 12.06"W         36.01       \$33° 01' 12.06"W         52.02       \$33° 01' 12.06"W         0.06       N55° 22' 58.98"W         0.06       \$55° 22' 58.98"E         42.27       \$33° 01' 12.06"W         42.52       \$33° 01' 12.06"W         34.10       \$17° 38' 42.48"W         51.08       \$17° 38' 42.48"W         40.00       \$17° 38' 42.48"W         40.00       \$17° 38' 42.48"W         20.00       \$17° 38' 42.48"W		WALLED DETENTION /	127214.63	2456.77	26.58 11.07 13.08	S60° 03' 29.92"W S60° 03' 29.92"W		
0.06         N55° 22' 58.98"W           0.06         S55° 22' 58.98"E           42.27         S33° 01' 12.06"W           42.52         S33° 01' 12.06"W           40.02         S33° 01' 12.06"W           51.08         S17° 38' 42.48"W           51.08         S17° 38' 42.48"W           40.00         S17° 38' 42.48"W           20.00         S17° 38' 42.48"W					24.01 24.01 36.01	S33° 01' 12.06"W S33° 01' 12.06"W S33° 01' 12.06"W		
42.52         \$33° 01' 12.06"W           42.52         \$33° 01' 12.06"W           40.02         \$33° 01' 12.06"W           26.29         \$33° 01' 12.06"W           34.10         \$17° 38' 42.48"W           51.08         \$17° 38' 42.48"W           40.00         \$17° 38' 42.48"W           20.00         \$17° 38' 42.48"W					0.06 0.06 42.27	N55° 22' 58.98"W S55° 22' 58.98"E S33° 01' 12.06"W		
34.10         \$17° 38' 42.48"W           51.08         \$17° 38' 42.48"W           40.00         \$17° 38' 42.48"W           20.00         \$17° 38' 42 48"W					42.52 42.52 40.02	S33° 01' 12.06"W S33° 01' 12.06"W S33° 01' 12.06"W		
					34.10 51.08 40.00	S17° 38' 42.48"W S17° 38' 42.48"W S17° 38' 42.48"W		

Parcel Area Table

rings	Parcel #	Area	Perimeter	Segment Lengths	Segment Bearings		
8"W 6"E 8"E 2"W	308 OPEN SPACE #2	1159.09	252.89	11.07 113.53 10.00 118.29	N60° 03' 29.92"E S55° 22' 58.98"E S34° 37' 01.02"W N55° 22' 58.98"W		
3"W 6"E 8"E 2"W	316 OPEN SPACE #1	2306.58	209.06	77.62 59.22 53.94 18.28	N55° 22' 58.98"W N68° 48' 00.33"E S20° 40' 29.90"E S34° 37' 01.02"W		



LAND PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE



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SEALS:



SHEET TITLE:

# PRELIMINARY PLAT AREAS

SHEET ISSUE: 05/26/20 PROJECT NO. 18-2374

PP-14

NO.	DATE
1	07/09/20
2	08/10/20

SHEET NO.

DESCRIPTION ADDRESS COMMENTS ADDRESS COMMENTS

80

Proposed 2022 Planning Commission Meetings—3<sup>rd</sup> Tuesday of the Month at 5:30pm

January 18

February 15

March 15

April 19

May 17

June 21

July 19

August 16

September 20

October 18

November 15

December 20

NOTE:

- 1. Thanksgiving is the week after the November Planning Commission meeting
- 2. Christmas is the Saturday after the December Planning Commission meeting