



Planning & Zoning Meeting

AGENDA

Tuesday, September 21, 2021

5:30 PM

215 N Broad Street Monroe Ga 30655

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **MINUTES OF PREVIOUS MEETING**

[1.](#) Minutes of Previous Planning Commission MTG 8/17/2021

IV. **REPORT FROM CODE ENFORCEMENT OFFICER**

V. **PUBLIC HEARINGS**

[1.](#) Request for Conditional Use Permit-611 Davis St

[2.](#) Zoning Code Text Amendment #12

[3.](#) Request for Rezone 140 Blaine St from B-3 to PCD

VI. **RECOMMENDATIONS ON REQUESTS**

VII. **OLD BUSINESS**

VIII. **NEW BUSINESS**

[1.](#) Preliminary Plat Review-935 McDaniel St-Mountain Creek Estates

[2.](#) Preliminary Plat Review - Double Springs Church Rd - River Pointe

IX. **ADJOURNMENT**

**MONROE PLANNING COMMISSION
MEETING MINUTES—August 17, 2021**

Present: Randy Camp, Chase Sisk, Rosalind Parks

Absent: Nate Treadaway, Mike Eckles

Staff: Pat Kelley – Director of Planning and Code
Debbie Adkinson – Code Department Assistant
Laura Wilson – Code Department Assistant
Brad Callender – Planner

Visitors: Bruce Hendley

CALL TO ORDER by Acting Chairman Camp at 5:30 pm.

Acting Chairman Camp asked for any changes, corrections or additions to the July 20, 2021 minutes.

Motion to approve minutes.

Motion Sisk. Second Parks
Motion carried unanimously

Acting Chairman Camp asked for a Code Officer Report.
Kelley: none

PH opened at 5:31 pm

The First Item of Business is Zoning Code Text Amendment #11, the alternation of Section 630.3 Table 6—Industrial Zoning District Land Use Regulations; Modifying Industrial Zoning District Land Use table to add the principle use of Agriculture: Greenhouse, nursery, and floriculture production—indoor food crop production and under the principle use of Industrial: Industry, heavy-manufacturing, repair, assembly, or processing—biodiesel fuel production. Both uses are to be added as permitted uses.

Code Department recommends approval as presented.

Acting Chairman Camp asked for any questions—none
Kelley stated the amendment was brought forth by the City.

PH closed at 5:32 pm

Acting Chairman Camp entertained a motion.
Motion to approve

Motion Sisk. Second Parks.
Motion Carried

Old Business

The First Item of Old Business: is Preliminary Plat Case #29, a request preliminary plat approval for a townhouse residential development at 319 S. Madison Avenue. It is a reuse of a previously single family detached home sites which have been razed. The property is a single parcel. The application was made by the owner, New Leaf Georgia LLC.

Bruce Hendley spoke in favor of the project. He noted that all corrections listed in the June 25, 2021 staff report had been made.

Kelley confirmed the preliminary plat had been revised. The Code Department recommends approval as submitted.

Acting Chairman Camp asked for any questions—none
Acting Chairman Camp asked for any opposition—none

Acting Chairman Camp entertained a motion.
Motion to approve

Motion Parks. Seconded Sisk.
Motion carried.

New Business—none

Acting Chairman Camp entertained a motion to adjourn.
Motion to adjourn

Motion Sisk. Second Parks
Meeting adjourned at 5:35pm



RECEIVED
AUG 19 2021
BY: _____

Variance/Conditional Use Application

Application must be submitted to the Code Department 30 days prior to the Planning & Zoning

Meeting of: _____

Your representative must be present at the meeting

Street address 611 Davis St Council District _____ / _____ Map and Parcel # MD170167
Zoning R2 Acreage .5 Proposed Use School Road Frontage 110 ft. / on
Davis St (street or streets)

Applicant

Owner

Name Johnston Institute DBA Monroe Country Day School
Address 602 E Church St
Phone # 770.267.8955

Name Same
Address _____
Phone # _____

Director @ Monroe School

Request Type: (check one) Variance Conditional Use

Nature of proposed use, including without limitation the type of activity proposed, manner of operation, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters:
School classrooms & playground, building will ultimately hold 60 students, 5 staff, hours of operation are M-F 8 am - 4 pm, all student drop off and teacher parking will be at 602 E Church St.

State relationship of structure and/or use to existing structures and uses on adjacent lots:
Current building will be demolished and land graded, new building with potential of 6 classrooms will be built, playground will be erected at rear of property. Adjacent building on one side is school.

State reason for request and how it complies with the Zoning Ordinance section 1425.5(1)-(10) & 1430.6(1)-(8):
The proposed usage will improve the surrounding area. Usage will not be detrimental to area nor increase traffic. Parking will be at 602 E Church St.

State area, dimensions and details of the proposed structure(s) or use(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways:
The property is currently being surveyed. All I want to do presently is put up fencing and a playground at the rear of the property. Eventually I will tear down the house and design a building, parking places & landscaping. I will return with that when design is complete.

State the particular hardship that would result from strict application of this Ordinance:
The house is currently unusable. I have talked to neighbors on Davis St & to neighbor behind on Church St. They are excited for the property to be a school annex and playground.

Check all that apply: Public Water: Well: Public Sewer: Septic: Electrical: Gas:

For any application for an overlay district, a Certificate of Appropriateness or a letter of support from the Historic Preservation Commission or the Corridor Design Commission for the district is required.

Documents to be submitted with request:

- Recorded deed
- Survey plat
- Site plan to scale
- Proof of current tax status

Application Fees:

- \$100 Single Family
- \$300 Multi Family
- \$200 Commercial

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years.

The above statements and accompanying materials are complete and accurate. Applicant hereby authorizes Code department personnel to enter upon and inspect the property for all purposes allowed and required by the zoning ordinance and the development regulations.

Signature Rita Dickson Date: 8-19-21

**PUBLIC NOTICE WILL BE PLACED AND REMOVED BY THE CODE DEPARTMENT
SIGN WILL NOT BE REMOVED UNTIL AFTER THE COUNCIL MEETING.**

***Property owners signature if not the applicant**

Signature Rita Dickson Date: 8-19-21

Jeanalyn F. Waldroup Date: 8-19-21

Notary Public
Commission Expires: 10/9/22

I hereby withdraw the above application: Signature _____ Date _____





Overview



Legend

- Parcels

Parcel ID	M0170167	Owner	H A PROPERTY INVESTMENTS LLC	Last 2 Sales			
Class Code	Residential		P O BOX 391	Date	Price	Reason	Qual
Taxing District	Monroe		MONROE, GA 30655	11/6/2012	\$6510	FI	U
Acres	0.46	Physical Address	611 DAVIS ST	1/10/2003	0	UI	U
		Appraised Value	Value \$44930				

(Note: Not to be used on legal documents)

Date created: 8/19/2021
Last Data Uploaded: 8/19/2021 6:24:14 AM

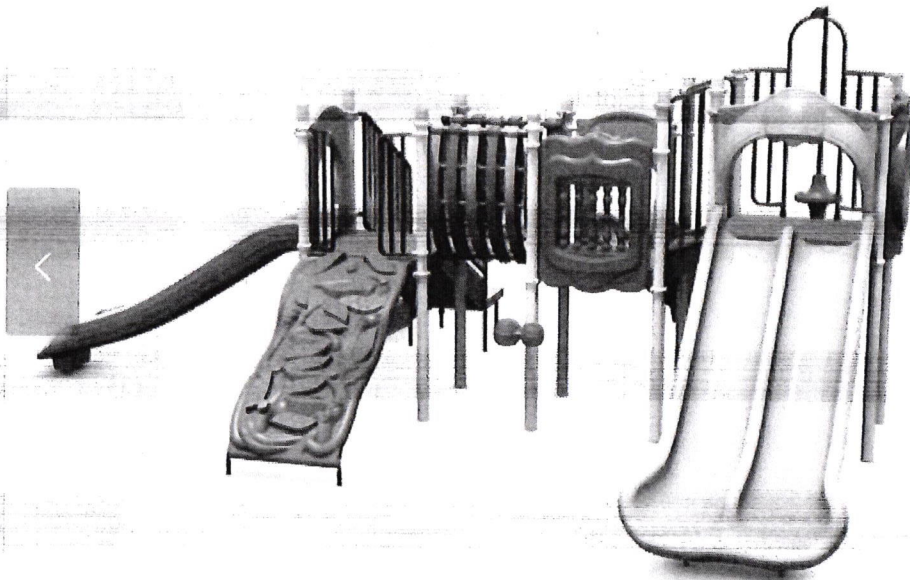
Developed by  Schneider
GEO SPATIAL

Call (888) 403-7684

About Contact Resources Careers



Products Catalogs Stories



Play Structures
Keegan's Kastle

Color

Natural



Mounting Option

Anchor Bolt

Quantity

1



Add To Quote

<https://www.ultraplay.com/prod>

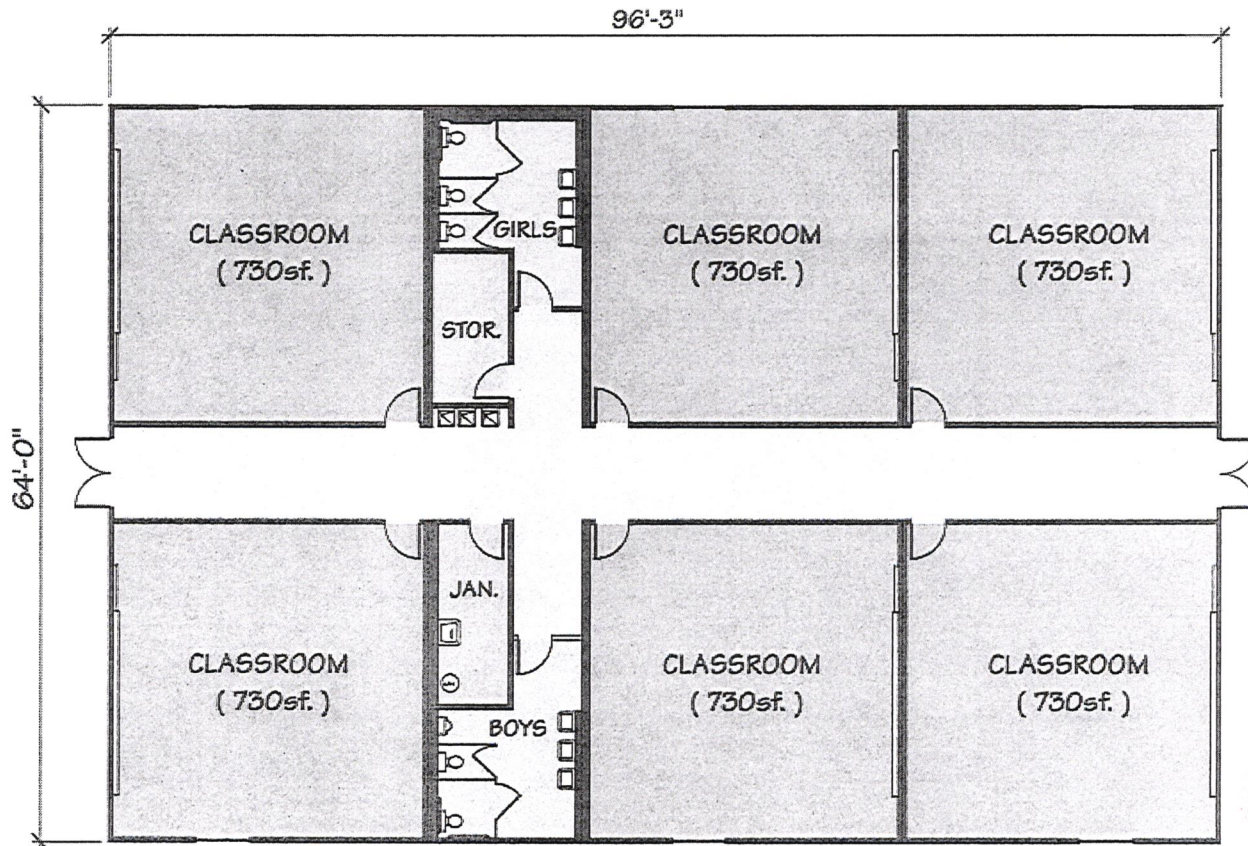
Similar Products



Description

Keegan's Kastle features a challenging 4' Vine Climber and Beanstalk Climber, while also

Future ANNEX



CLA-6160-A

6,160 Sq. Ft.

SIX CLASSROOM BLDG. WITH RESTROOMS

CONTACT INFORMATION

1400 U.S. Highway 287 South
Mansfield, TX 76063-5799
(800) 568-9376
(817) 475-9376 Fax
info@ramtechgroup.com

After recording return to
DICKINSON & WILLIS, LLC
ATTORNEYS AT LAW
338 NORTH BROAD STREET
MONROE, GEORGIA 30655
FILE # 21-172

space above line for recording

LIMITED WARRANTY DEED

STATE OF GEORGIA
COUNTY OF WALTON

THIS INDENTURE, Made the 28TH day of May in the year two thousand and twenty one, between **H. A. PROPERTY INVESTMENTS, LLC**, a Georgia Limited Liability Company, as party or parties of the first part, hereinafter called "Grantor," and **JOHNSTON INSTITUTE, INC.**, a Georgia Corporation, as party or parties of the second part, hereinafter called "Grantee" (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor for and in consideration of the sum of Ten (\$ 10.00) Dollars and other valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee:

All that tract or parcel of land, lying and being in the City of Monroe, 419th G.M.D., Walton County, Georgia, located on the North side of Davis Street, beginning at an iron pin on Davis Street between said lot and Monroe Junior High School lot and running in a Northerly directions 192 feet to an iron pin; thence 105 feet in an Easterly direction to lands now or formerly owned by R. R. Shockley; thence 192 feet in a Southerly direction to Davis Street; thence Westerly 105 feet along the North side of Davis Street to the point of beginning.



TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND GRANTOR WILL WARRANT and forever defend the right and title to the above described property unto Grantee against the claims of any persons owning, holding or claiming by, through or under Grantor.

IN WITNESS WHEREOF, the Grantors have signed and sealed this deed, the day and year above written.

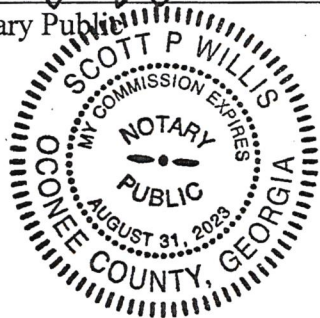
Signed, sealed and delivered in presence of:

H. A. Property Investments, LLC
By Plaza Partners Two, LP, sole Member

By: Harry M. Arnold, Jr. (SEAL)
Harry M. Arnold, Jr., General Partner

[Signature]
Witness

[Signature]
Notary Public





City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

CONDITIONAL USE PERMIT

PERMIT #:	147	DESCRIPTION:	CONDITIONAL USE-EDUCATION
JOB ADDRESS:	611 DAVIS STREET	LOT #:	
PARCEL ID:		BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	Johnston Institute Inc	CONTRACTOR:	Johnston Institute Inc
ADDRESS:	602 E Church St	ADDRESS:	602 E Church St
CITY, STATE ZIP:	Monroe GA 30655	CITY, STATE ZIP:	Monroe GA 30655
PHONE:		PHONE:	
PROP. USE VALUATION:	\$ 0.00	DATE ISSUED:	8/20/2021
SQ FT:	0.00	EXPIRATION:	2/16/2022
OCCP TYPE:		PERMIT STATUS:	O
CNST TYPE:		# OF BEDROOMS	
INSPECTION REQUESTS:	770-207-4674 dadkinson@monroega.gov	# OF BATHROOMS	
		# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-02	COMM-OTHER REZONE/VARIANCE	\$ 200.00
FEE TOTAL		\$ 200.00
PAYMENTS		\$ -200.00
BALANCE		\$ 0.00

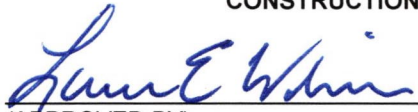
NOTES:

This request is scheduled to be heard by the Planning & Zoning Commission on September 21, 2021 at 5:30pm and by City Council on October 12, 2021 at 6:00pm; both meetings will be held at 215 N. Broad St Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

8/20/2021
DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00264605

12

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 8/20/2021 1:25:41 PM

Transaction Code: BP - Building Projects Payment

Name: Johnston Institute Inc \$200.00

Total Balance Due: \$200.00

Payment Method: Check Payn Reference: 1479

Amount: \$200.00

Total Payment Received: \$200.00

Change: \$0.00



September 2, 2021

To Whom It May Concern:

Be advised that a public hearing before the Planning Commission is scheduled for September 21, 2021 to consider an application for a conditional use as an educational facility at 611 Davis St. As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on September 5, 2021.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the conditional use request for 611 Davis St. will be as follows:

- Planning Commission—September 21, 2021 at 5:30pm
- City Council—October 12, 2021 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant

**NOTICE TO THE PUBLIC
CITY OF MONROE**

**A petition has been filed with the
City of Monroe requesting
the property at 611 Davis St
to be considered for a Conditional Use
to allow Education Facilities in a R2 Zoning.
A public hearing will be held before
the Monroe Planning and Zoning
Commission at City Hall Auditorium at
215 N. Broad Street on September 21, 2021
at 5:30 P.M. All those having an
interest should be present to voice
their interest.**

**A petition has been filed with the
City of Monroe requesting the
property at 611 Davis St
to be considered for a Conditional Use
to allow for Educational Facilities in a R2 Zoning.
A public hearing will be held before
The Mayor and City Council
at the City Hall Auditorium at
215 N. Broad Street on October 12, 2021
at 6:00 P.M. All those having an
interest should be present to voice
their interest.**

**PLEASE RUN ON THE
FOLLOWING DATE:**

September 5, 2021



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

ZONING TEXT AMENDMENT PERMIT

PERMIT #:	204	DESCRIPTION:	Zoning Text Amendment #12
JOB ADDRESS:	215 N BROAD ST	LOT #:	
PARCEL ID:		BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	CITY OF MONROE	CONTRACTOR:	CITY OF MONROE
ADDRESS:	P.O. BOX 1249	ADDRESS:	P.O. BOX 1249
CITY, STATE ZIP:	MONROE GA 30655	CITY, STATE ZIP:	MONROE GA 30655
PHONE:		PHONE:	
PROP. USE:		DATE ISSUED:	9/08/2021
VALUATION:	\$ 0.00	EXPIRATION:	3/07/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov	# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
	FEE TOTAL	
	PAYMENTS	\$ 0.00
	BALANCE	\$ 0.00

NOTES:


Section 630.3 Table 6—Industrial Zoning District Land Use Regulations; Modifying Industrial Zoning District Land Use table to add under the principle use of Utility and area service provider facilities—private sewage treatment facilities; this use is to be added as a conditional use.

P&Z MTG 9/21/2021 5:30 pm—Council MTG 10/12/2021 6:00pm @215 N Broad St

NOTICE

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I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

9/8/2021
DATE

**AN ORDINANCE TO AMEND THE ZONING
ORDINANCE OF THE CITY OF MONROE, GEORGIA**

The Mayor and Council of the city of Monroe, Georgia, hereby ordain as follows:

The Zoning Ordinance of the City of Monroe, officially adopted June 10, 2014, and Effective July 1, 2014, as thereafter amended, is hereby amended by implementing text amendments and changes outlined and identified in particular detail on Exhibit A, which such exhibit is incorporated herein by reference.

All ordinances or parts of ordinances in conflict herewith are hereby repealed. These text amendments of the City of Monroe Zoning Ordinance shall take effect upon their adoption by the Mayor and Council.

FIRST READING. This 12th, day of October, 2021.

SECOND READING AND ADOPTED on this 9th day of November, 2021.

CITY OF MONROE, GEORGIA

**By: _____ (SEAL)
John Howard, Mayor**

**Attest: _____ (SEAL)
Debbie Kirk, City Clerk**

EXHIBIT A

City of Monroe Zoning Ordinance Text Amendment

Amendment # 12

1. Section 630.3 Table 6—Industrial Zoning District Land Use Regulations; Modifying Industrial Zoning District Land Use table to add under the principle use of Utility and area service provider facilities—private sewage treatment facilities; this use is to be added as a conditional use.

Proposed Amendments to the Zoning Ordinance

September 21 – Planning Commission

October 12 – City Council 1st Reading

November 9 – City Council 2nd Reading

Amendment Key

Blue – Language to be added

~~Red~~ – Language to be removed

Green – Amendment description

- **Section 630.3: Modify Industrial Zoning District Land Use Regulation table to add the land use of Private Sewage Treatment Facilities. Added land use will be permitted by Conditional Use Permit in the M-1 zoning district. The land use of Private Sewage Treatment Facilities is based upon NAICS 221320 – Sewage Treatment Facilities.**

Section 630.3 Industrial Land Use Regulations (M-1):

Section 630.3 Table 6 - Industrial Zoning District Land Use Regulations

[P]=permitted; [X]=prohibited; [C]=conditional use permit required

LAND USE CATEGORY	DISTRICT	REFERENCE
Principal Use*(unless noted as an accessory use)	M-1	See Section or Note
Accessory building and uses		
structures-general	P	See §1000.1
temporary buildings	P	See §1000.9
uses-general	P	See §1000.2
Administrative and information service facilities		
administrative offices/processing center	P	
call/telecommunications center	P	
data processing/programming facilities	P	
data processing/programming facilities with product production	P	
AGRICULTURE:		
Greenhouse, nursery, and floriculture:		
indoor food crop production	<u>P</u>	
PROPOSED for 10/12/21 City Council		
Amusements and Entertainment		
adult entertainment establishment	P	Note (5)
archery range or firing range	P	See § 1031
game center	X	
miniature golf, outdoor	X	
play centers, skating rink, bowling alley	P	
theaters	X	
theaters, outdoor	X	
Animal facilities and services		
clinics and specialty services	C	
hospitals, lodging, and shelters	C	
Building, construction and special trade facilities		
contractor and developer offices	P	
contractor/developer offices with facilities	P	
contractor/developer office center	P	
landscape/irrigation service	P	
timber harvesting service	P	
tree surgery service	P	
building supply store, wholesale	P	

<p>INDUSTRIAL: Industry, heavy-manufacturing, repair, assembly, or processing abattoir acid manufacturing asphalt, cement, clay, gypsum, lime, or plaster manufacturing or processing <u>biodiesel fuel production</u> PROPOSED for 10/12/21 City Council bone distillation chlorine or similar noxious gases production drop forge industries using power hammers explosives, manufacturing or storage fats or oils, rendering or refining fertilizer production garbage, offal, or dead animals-dumping, storage, disposal, or landfilling of such glue manufacturing petroleum, refining or above-ground product storage sauerkraut, vinegar or yeast processing</p>	<p>X X X <u>P</u> X X X X X X X X X X X X</p>	<p>Note(1)</p>
<p>Industry, light – manufacturing, repair, assembly, or processing apparel, clothing and/or garment manufacturing aquarium chemical processing bakery or confectionery, wholesale business machines manufacturing concrete batch plant electrical appliances manufacturing electronic and scientific equipment manufacturing camera and photographic equipment manufacturing ceramic products manufacturing cosmetics and toiletries manufacturing fiberglass product manufacturing frozen dessert and milk processing glass fabrication grain processing laboratories for testing materials, chemical analysis and/or photographic processing medical appliance manufacturing medical device sterilization</p>	<p>P P P P C P P P P P P P P P P P P P P P P</p>	
<p>metal stamping musical instruments and parts manufacturing paper product manufacturing pharmaceuticals or optical goods manufacturing plastic product manufacturing souvenirs and novelties manufacturing tools or hardware manufacturing toys, sporting and athletic goods manufacturing wood, paper, and plastic assembly</p>	<p>P P X P P P P P P P</p>	<p>Note(2) Note(3)</p>
<p>Parks and Recreation campgrounds health/fitness center gymnasium neighborhood activity center – accessory use parks, active parks, passive</p>	<p>X C C C X P</p>	

RESIDENTIAL	C		
Sales and service facilities			
appliance stores(small and large), retail, rental, and/or repairs	P	Note(4)	
building supply, retail	P		
equipment(small and large), service and rental	P		
equipment(office), service and rental	P		
fuel sales – liquid, wholesale and retail	P		
funeral and interment establishments, wholesale and storage	C		
janitorial cleaning services	P		
janitorial/cleaning supply store, wholesale	P		
laundry and/or dry cleaning establishments, full service	P		
lawn and garden supply, wholesale	P		
locksmith shop, service	P		
manufactured home sale lots	C		
pawn shop and pawnbrokers	P		Code of Ord. Chap 78
pest control services	P		
print and publication shops	P		
scrap hauling service	P		
sewer and septic tank service	C		
vending supply and service	P		
Transportation facilities			
airport	C		
administrative offices/dispatches	C		
commuter lot	C		
stations or terminals	C		
Utility and area service provider facilities			
emergency management services – fire, police, ambulance	P	See Article XI	
garbage and recycling collection services	C		
landfills, incinerators, and dumps	X		
recycling center	C		
private sewage treatment facilities	C		
telecommunications facility, radio and television stations	P		
telecommunications facility towers and antenna	P		
utility administrative office	P		
utility transformers, substations, and towers	P		
Distribution and storage facilities			
warehouse, self-service(mini)	P		
warehouse	P		
distribution warehouse facility	P		
Motor vehicles and equipment			
passenger vehicles and small engine equipment			
body repair and painting	P		
car wash, service or self-service	P		
fuel sales	P		
general service/installation of parts/accessories	P		
new or used, sales and rental	P		
parts/accessories, sales	P		
tires, sales	P		
vehicle storage yard	P		
welding and fabrication	P		
wrecker and/or towing, service	P		

heavy trucks, RVs and other heavy equipment		
body repair and painting	P	
fueling station	P	
general service/installation of parts and accessories	P	
new or used, sales and rental	P	
parts/accessories/tires, sales	P	
truck wash, service or self-service	P	
terminal, motor freight	P	
truck stop/travel plaza	P	

**NOTICE TO THE PUBLIC
CITY OF MONROE**

The City of Monroe Planning & Zoning commission will be holding a hearing for a zoning action/zoning code text amendment of Article VI, Section 630.3, Table 6. A public hearing will be held on September 21, 2021 at 5:30 P. M. in the City Hall Building at 215 N Broad Street.

The City of Monroe Council will be holding a hearing for a zoning action/zoning code text amendment of Article VI, Section 630.3, Table 6. A public hearing will be held on October 12, 2021 at 6:00 P.M. in the City Hall Building at 215 N Broad Street

All those having an interest should be present.

Please run on the following date:

September 5, 2021



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE PERMIT

PERMIT #:	188	DESCRIPTION:	REZONING 8.84 acres B-3 to PCD
JOB ADDRESS:	140 BLAINE ST	LOT #:	
PARCEL ID:		BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	CITY OF MONROE	CONTRACTOR:	CITY OF MONROE
ADDRESS:	P.O. BOX 1249	ADDRESS:	P.O. BOX 1249
CITY, STATE ZIP:	MONROE GA 30655	CITY, STATE ZIP:	MONROE GA 30655
PHONE:		PHONE:	
PROP.USE VALUATION:	\$ 1.00	DATE ISSUED:	8/31/2021
SQ FT:	0.00	EXPIRATION:	2/27/2022
OCCP TYPE:		PERMIT STATUS:	O
CNST TYPE:		# OF BEDROOMS	
INSPECTION REQUESTS:	770-207-4674 dadkinson@monroega.gov	# OF BATHROOMS	
		# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-02	COMM-OTHER REZONE/VARIANCE	\$ 0.00
FEE TOTAL		\$ 0.00
PAYMENTS		\$ 0.00
BALANCE		\$ 0.00


NOTES:

This application will be heard by the Planning and Zoning Commission on 9/21/2021 at 5:30pm and by City Council on 10/12/2021 at 6:00pm. Both meetings will be held at City Hall located at 215 N Broad St Monroe, GA 30655.

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(APPROVED BY)

8/31/2021
DATE



September 2, 2021

To Whom It May Concern:

Be advised that a public hearing before the Planning and Zoning Commission is scheduled for September 21, 2021 to consider an application for rezoning 8.84 acres located at 140 Blaine St Monroe, GA 30655. The property is currently zoned B-3 with a request to change the zoning classification to Planned Commercial District (PCD). As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on September 5, 2021.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the rezone request for 140 Blaine St will be as follows:

- Planning and Zoning Commission—September 21, 2021 at 5:30pm
- City Council—October 12, 2021 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning and Zoning meeting, copies of the application submittal will be available for viewing online at www.monroega.com by calendar and the date of the meeting you plan to attend for this application.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant

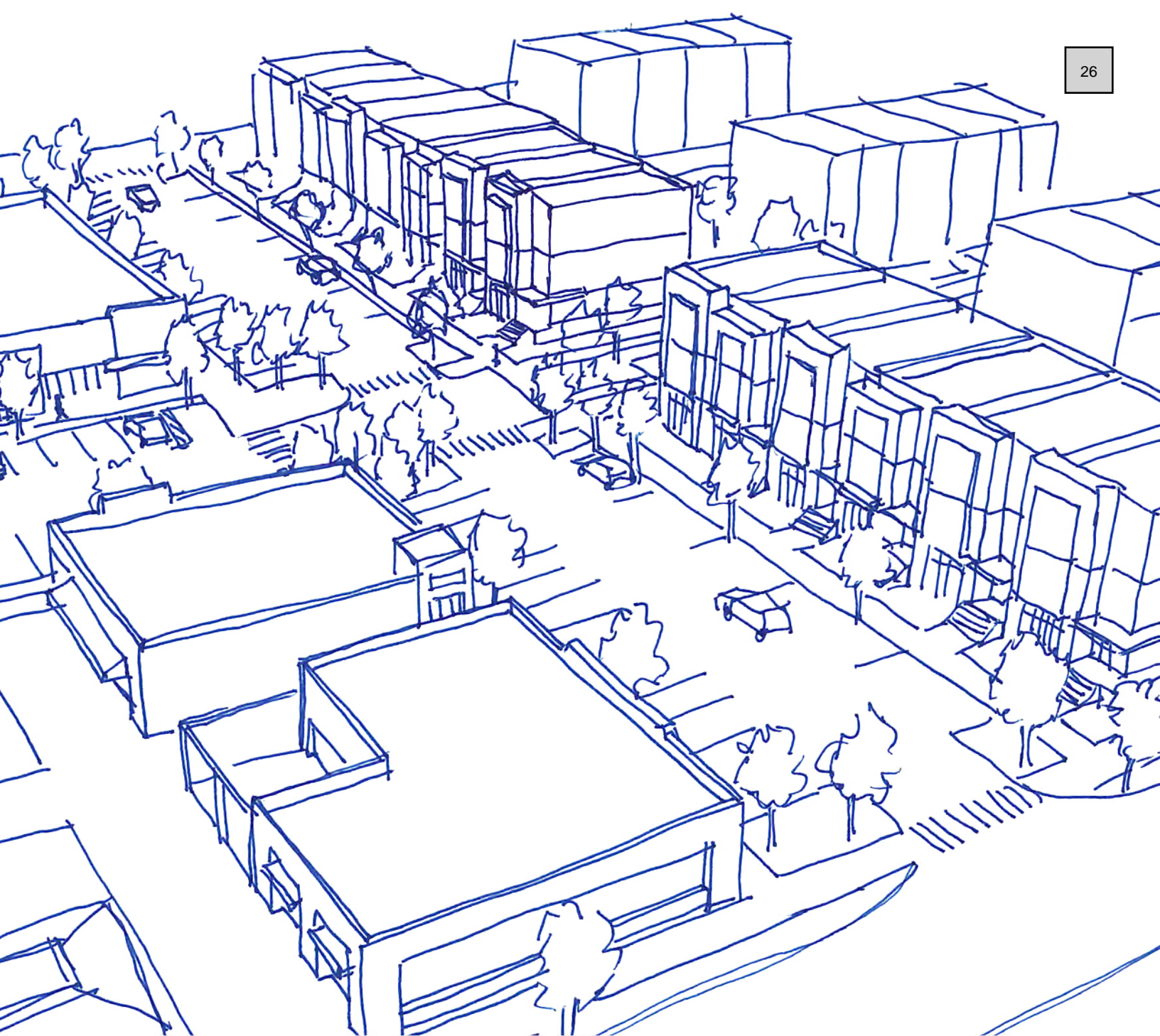
**NOTICE TO THE PUBLIC
CITY OF MONROE**

**A petition has been filed with the
City of Monroe requesting the
property at 140 Blaine St to
be rezoned from B3 to PCD
A public hearing will be held before
the Monroe Planning and Zoning
Commission at City Hall Auditorium at
215 N. Broad Street on September 21, 2021
at 5:30 P.M. All those having an
interest should be present to voice
their interest.**

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215 N. Broad Street on October 12, 2021
at 6:00 P.M. All those having an
interest should be present to voice
their interest.**

**PLEASE RUN ON THE
FOLLOWING DATE:**

September 5, 2021



BLAINE

STATION

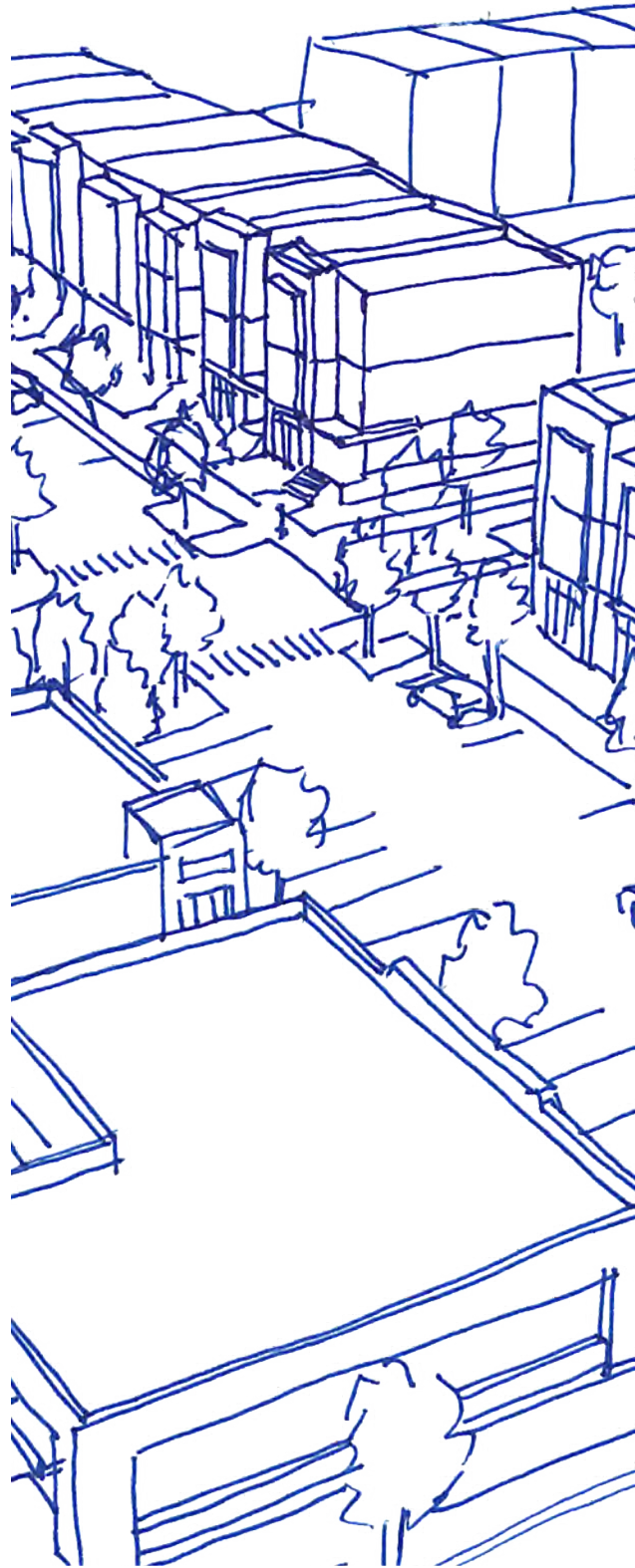
MASTER PLAN

OCTOBER X, 2021

DRAFT FOR REVIEW ONLY



LORD
AECK
SARGENT



City of Monroe Project Team

Logan Propes, City Administrator

Chris Bailey, Assistant City Administrator

Sadie Krawczyk, Economic Development Director

Brad Callender, AICP CNU-A, City Planner

Lord Aeck Sargent

Robert Begle, Principal Urban Designer

Travis Ridenbaugh, Mixed-use architect

Julia Doolittle, Urban Designer and Landscape Designer

- 1** CHAPTER 1: Context + Overview
- 2** CHAPTER 2: Development Concept
- 3** CHAPTER 3: Development Controls
- 4** CHAPTER 4: Streetscape Standards
- 5** CHAPTER 5: Design Features

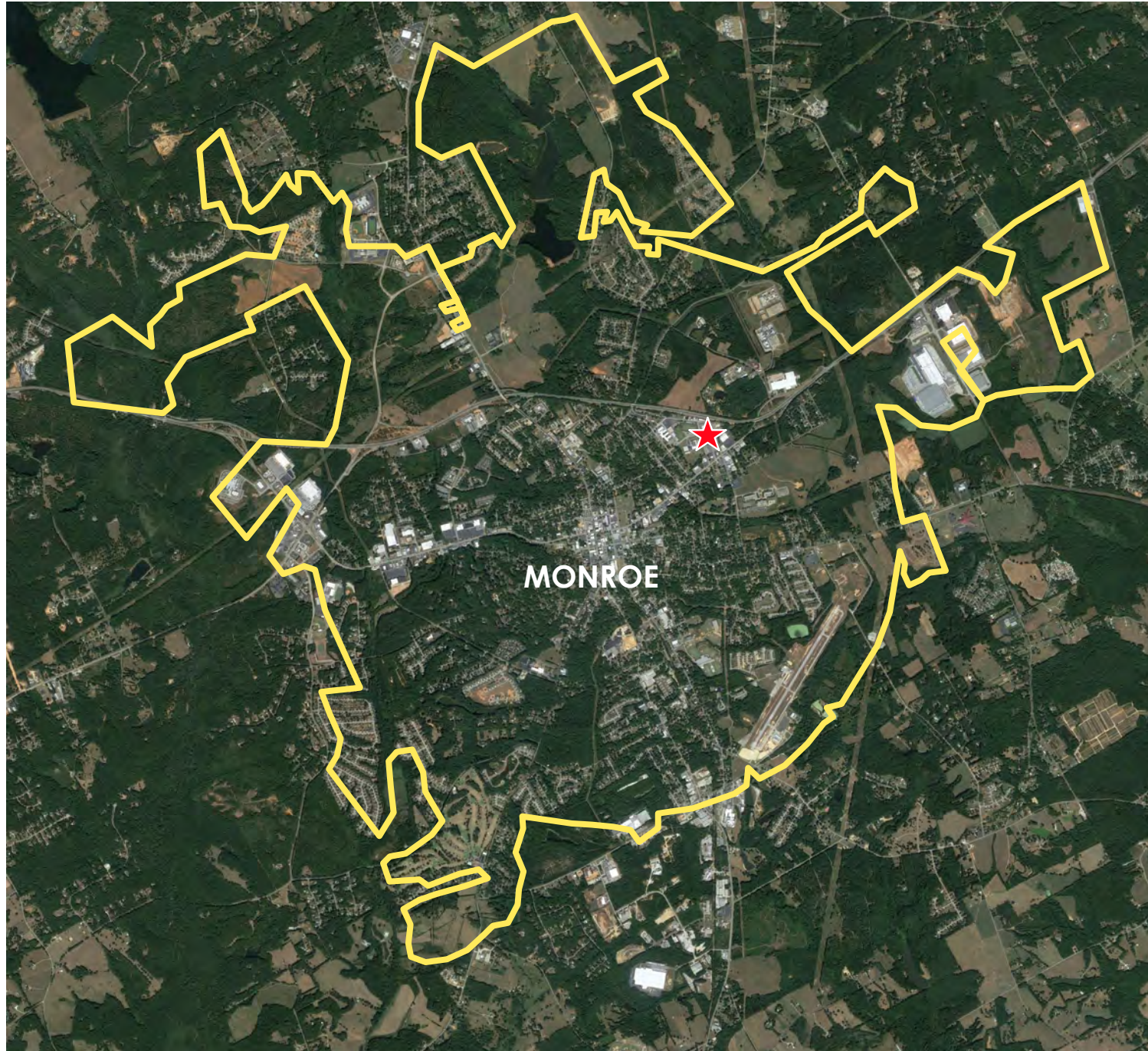
PROJECT OVERVIEW

This Blaine Station Master Plan is a development study of 140 Blaine Street, located on the east side of Monroe, Ga. As a city-owned property, the future development of this site can be proactively dictated in a manner that sets a tone for new compatible development on the east side and throughout the City as a whole. This study is intended to convey a vision of a walkable, mixed-use district that serves as a destination. The vision includes stand-alone retail, restaurants and other commercial in small format settings. Commercial uses are supplemented with small public shared open space and adjacent residential development. The open spaces are intended to be flexible in layout and design so as to accommodate a wide variety of programmed and ad-hoc events on a daily, weekly and/or yearly basis.

This report is divided into several sections including: Context, Development Concept, Development Controls, Streetscape Standards and Design Features. The Development Controls section is intended to be formally regulated through the use of site-specific Planned Unit Development zoning. The Design Features are intended to provide a guide for the desired character of the district but are not regulatory.

1 CHAPTER 1
CONTEXT + OVERVIEW

CONTEXT

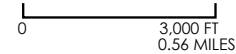


KEY

- ★ Site- 140 Blaine St
- City of Monroe

SITE DISTANCE TO:

- Bethlehem 9.9 miles
- Walnut Grove 10.6 miles
- Social Circle 11.1 miles
- Loganville 12.6 miles
- Winder 14.5 miles
- Snellville 20.5 miles
- Covington 20.8 miles
- Athens 25.7 miles



EAST MONROE



KEY PLAN

- Site- 140 Blaine St
- ★ Points of Interest

SITE DISTANCE TO:

- Downtown Monroe 1.0 mile



EXISTING SITE



The current site is underutilized consisting of mainly vacant building space and surface parking. The north portion of the existing building has recently been renovated and will house the City of Monroe police department, municipal court, and utility/infrastructure. The remainder of the existing building is vacant and in need of repairs and renovations.

In the effort to limit the amount of parking developed on-site and to avoid creating large surface parking lots, individual agreements could be negotiated with adjacent property owners to provide off-peak shared parking, particularly during Court hours/days and evenings/weekends where parking will be in high demand.



View of Existing Building Looking North



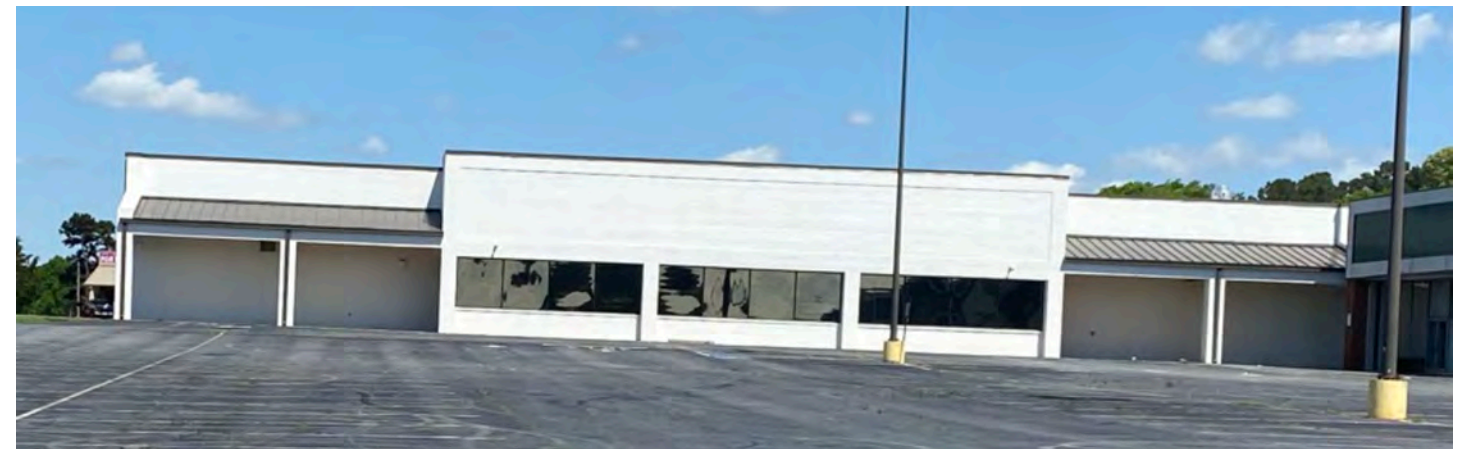
View of Existing Surface Parking Lot Looking South



View of Rear Side of Existing Building



View of Neighboring Development Behind the North End of the Existing Building



View of Renovated City of Monroe Building

2 CHAPTER 2
DEVELOPMENT
CONCEPT

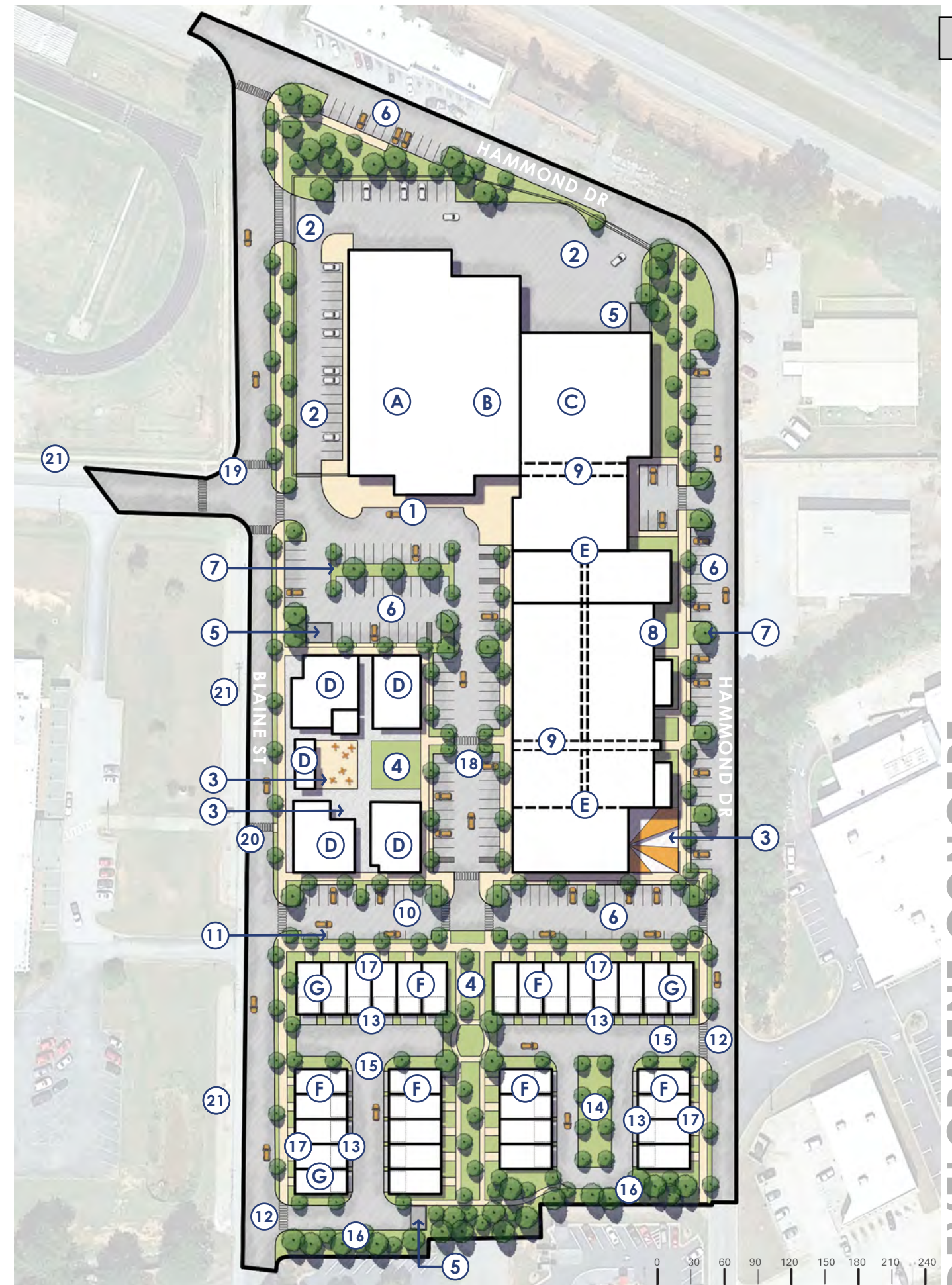
DEVELOPMENT CONCEPT PLAN

BUILDING USES

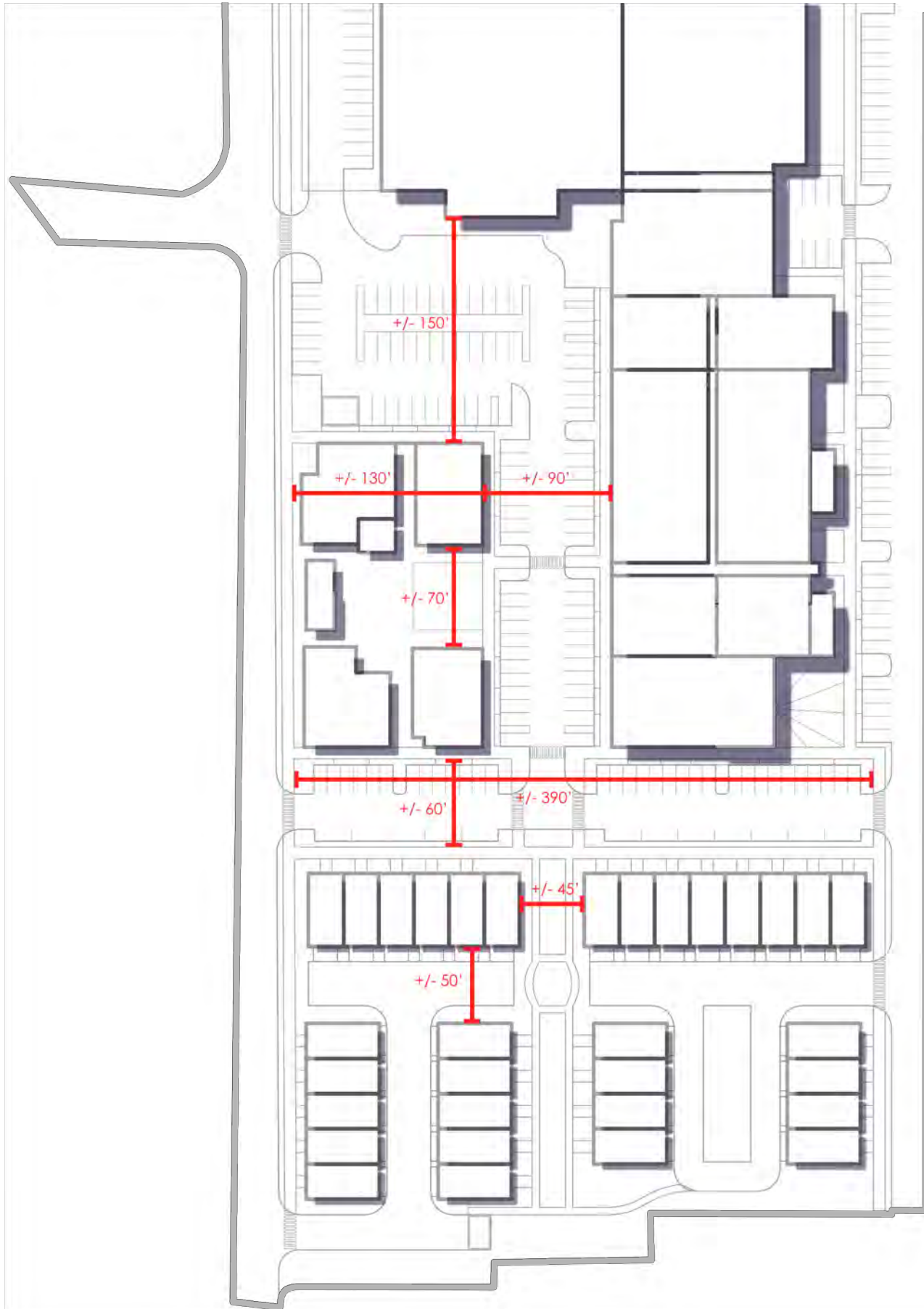
- (A) Existing City of Monroe Police
- (B) Existing City of Monroe Municipal Court
- (C) Existing City of Monroe Utility/ Infrastructure
- (D) New Commercial/Retail/ Mixed-Use
- (E) Commercial Rehab of Existing Building
- (F) Residential (Rear-Loaded Parking Underneath)
- (G) Potential Live-Work Units

DESIGN ELEMENTS

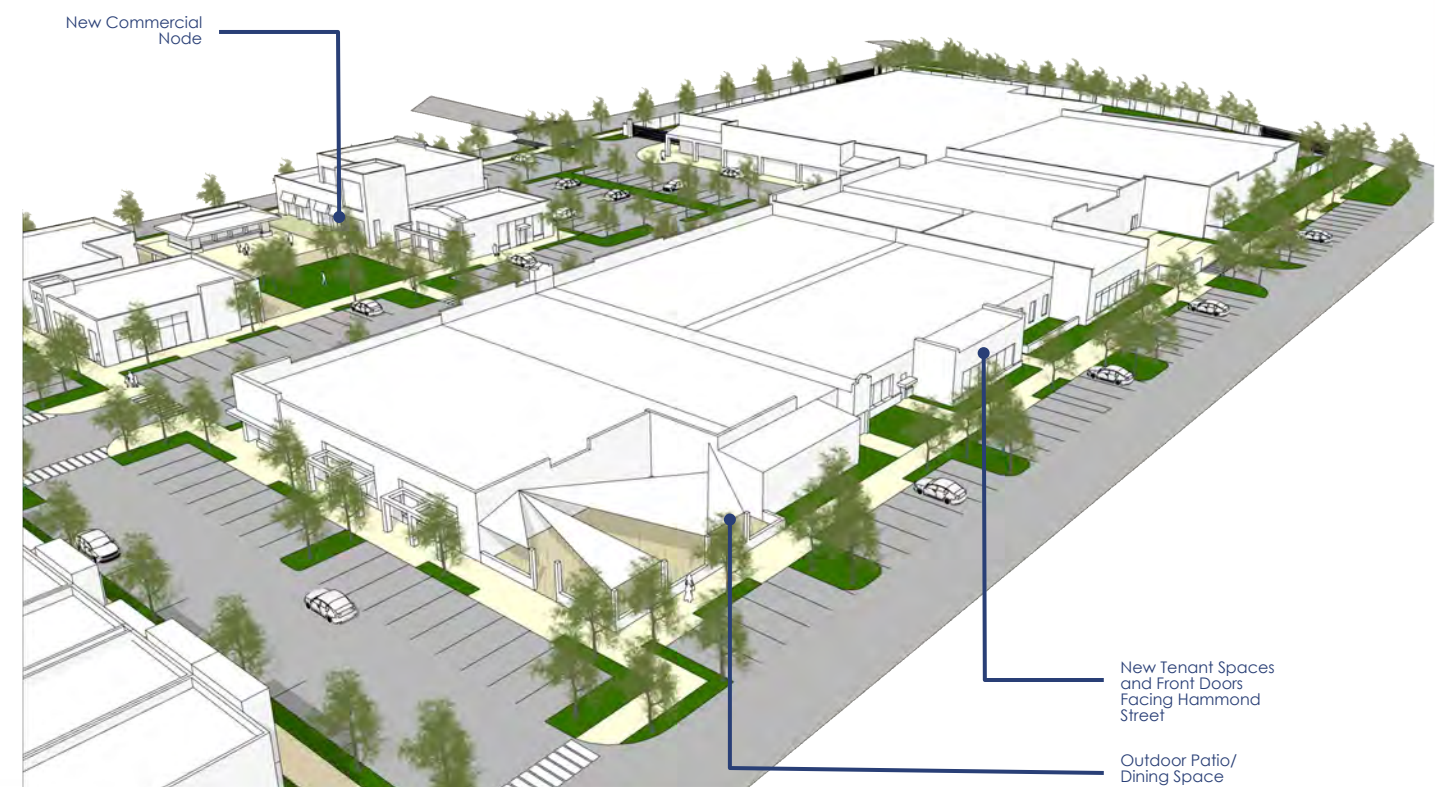
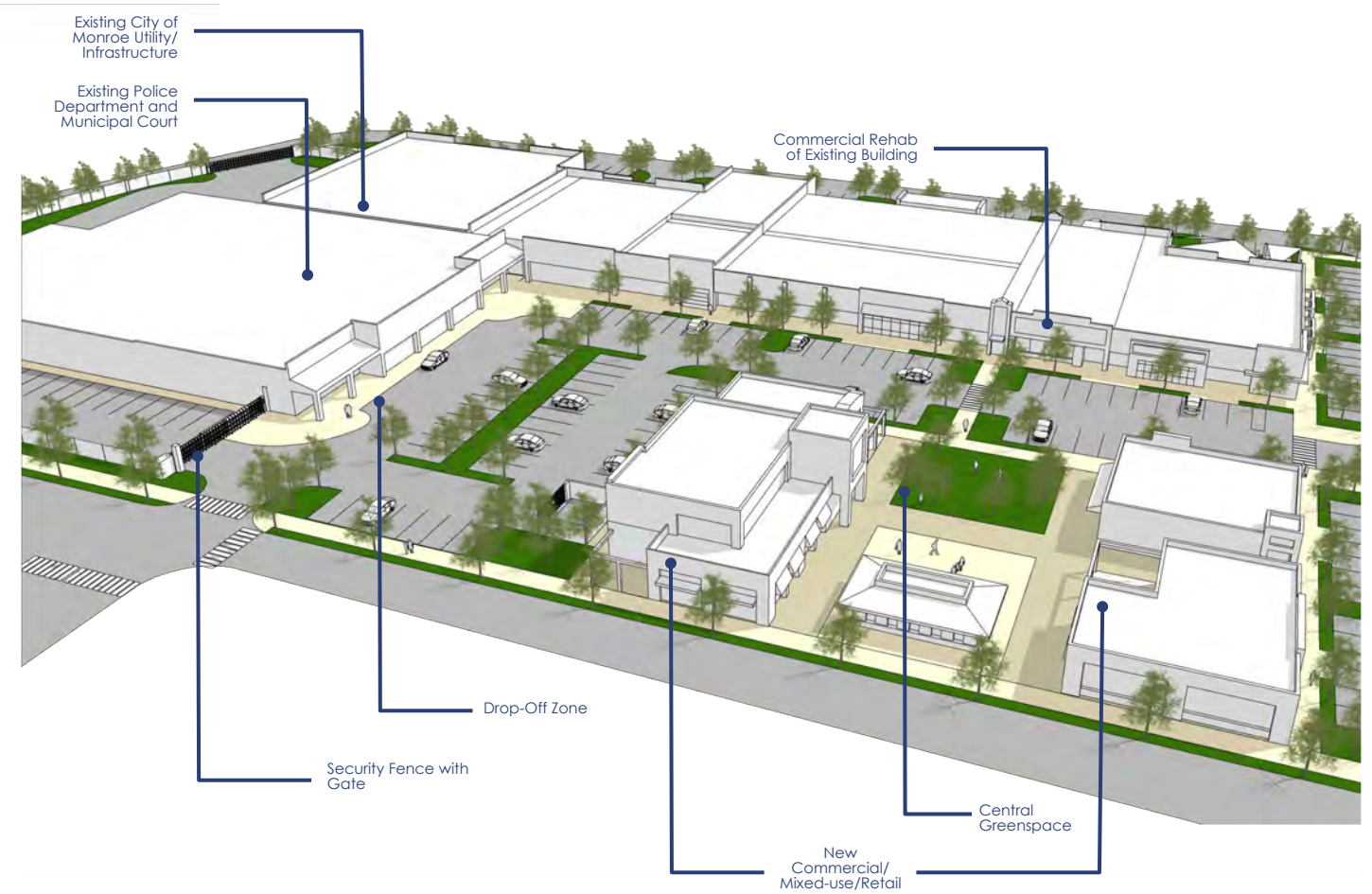
- (1) Ride Share Drop-off Lane
- (2) Gated Service Area (No Public Access)
- (3) Potential Outdoor Dining Location
- (4) Shared Open Space
- (5) Potential Dumpster Location
- (6) New Head in Public Parking (Typ.)
- (7) Landscape Islands (Typ.)
- (8) Subdivide Existing Building to Create Tenant Spaces/Front Doors Oriented to Hammond Street
- (9) New Internal Service Corridor (location may vary)
- (10) New Cross Street- Connects Hammond St. And Blaine St.
- (11) Parallel Parking on South Side of New Street
- (12) Residential Parking Access From Hammond St. And Blaine St. Only
- (13) Rear-Loaded Tuck-Under/ Garage Parking
- (14) Potential Location for Stormwater Management
- (15) Rear Access Alley for Residential Units Only
- (16) 10' Landscape Buffer
- (17) Stoops/ Front Doors of Residential Units (buildings must follow this orientation)
- (18) Mid-Block Pedestrian Connections (locations may vary)
- (19) New Pedestrian Crosswalks on Blaine St
- (20) Existing Mid-Block Crossing
- (21) Existing On-Street Parking



CONCEPT DIMENSIONS

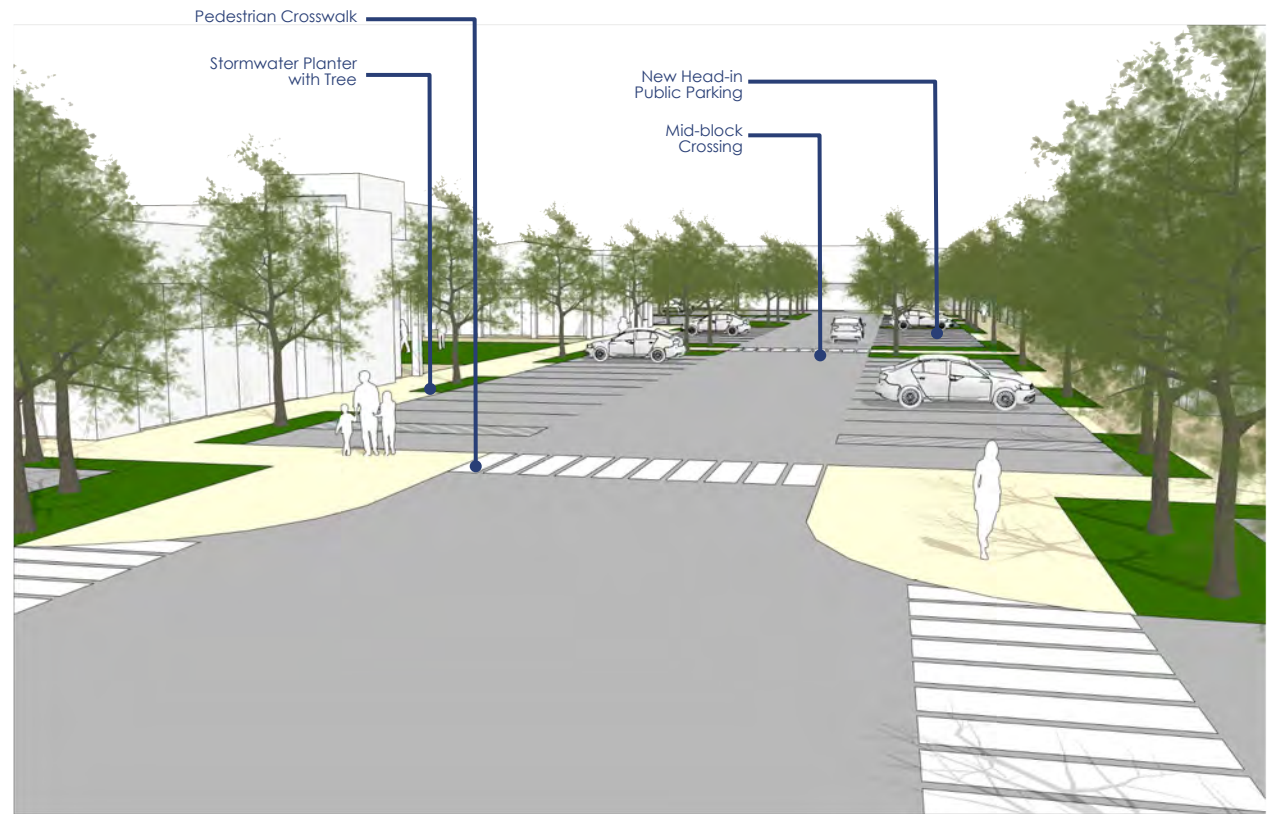


3D SITE MODEL



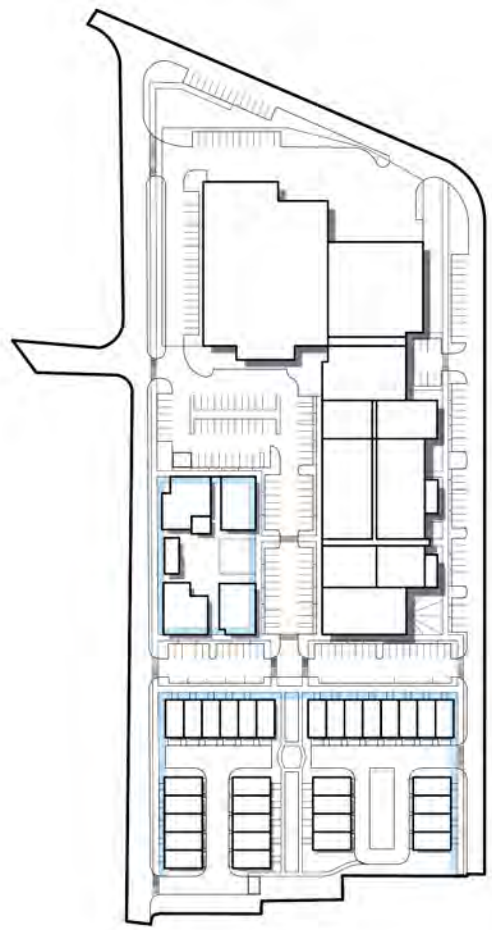
Development Concept is conceptual only, is not engineered and is not intended to convey specific architecture.

DEVELOPMENT CONCEPT



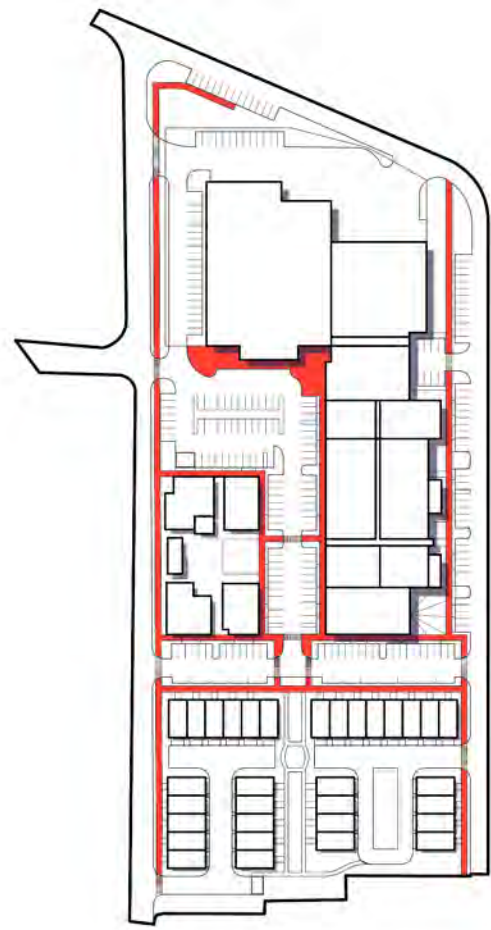
DEVELOPMENT CONCEPT

3 CHAPTER 3
DEVELOPMENT
CONTROLS



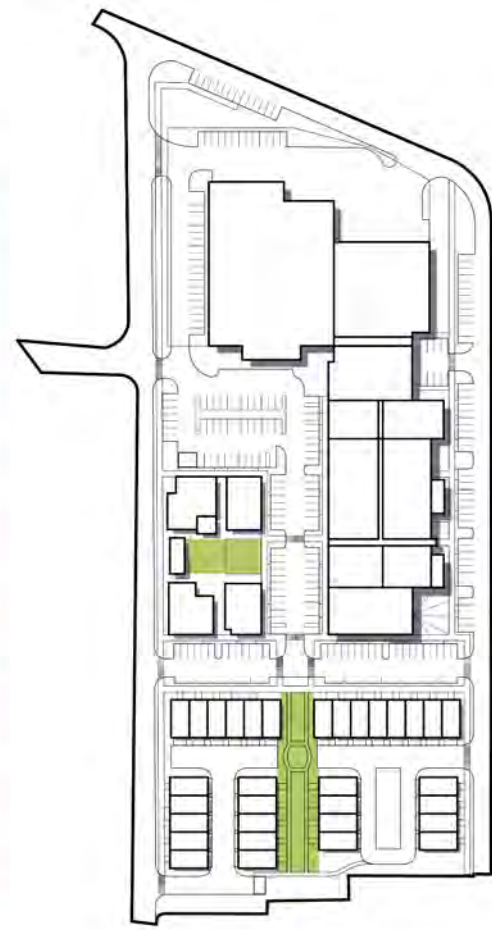
BUILD-TO-ZONE

- 0-10' zone adjacent to all primary sidewalks
- Building facade must be within this zone



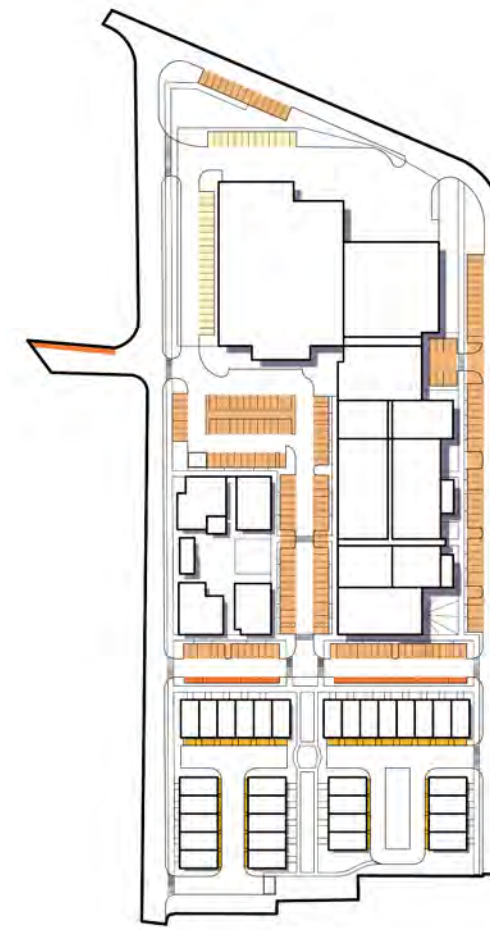
SIDEWALKS

- Primary sidewalks (does not include secondary and residential area sidewalks)
- All primary sidewalks should be a minimum of 8'



GREENSPACE

- Required public shared open space areas

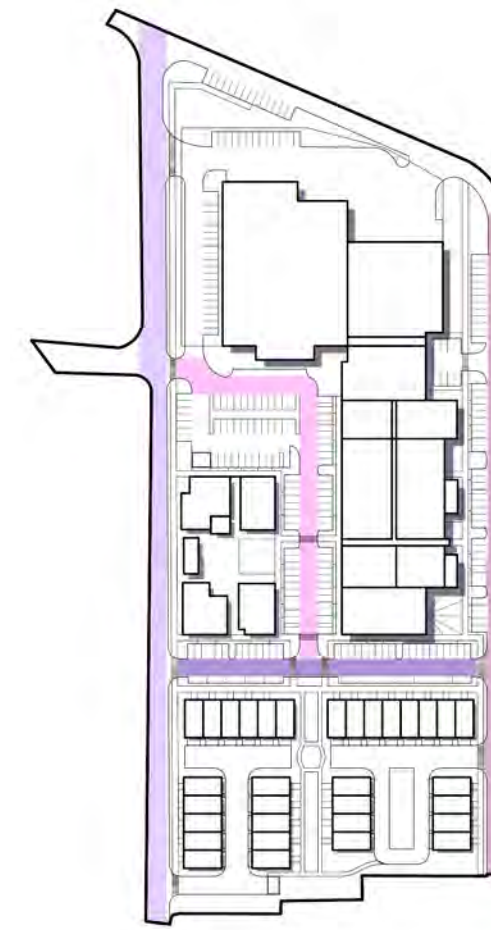


PARKING

- Parking limited to these areas
- Shared parking is encouraged (see page 8)

- Head-in Parking = 174
- Parallel Parking = 12
- Tuck-under Garage = 32
- Police Dept. Only = 34

*Edwards St provides 31 additional on-street parallel parking spaces



STREET TYPES

- See Chapter 4 for street type sections

Internal Streets

- Internal Type A
- Internal Type B
- Blaine
- Hammond

SUBAREA MAP

- SUB AREA 1:**
Commercial Mixed Use
- SUB AREA 2:**
Residential Mixed Use
- SUB AREA 3:**
Commercial Reuse
- SUB AREA 4:**
Public Services



SITE PLAN



DEVELOPMENT CONTROLS



	SUBAREA 1: COMMERCIAL MIXED-USE	SUBAREA 2: RESIDENTIAL MIXED-USE
New Commercial Development (gross area)	12,000 - 24,000 square feet	0 - 12,000 square feet Ground Floor Live-Work Only
New Residential Development	0 to 15 units Upper floors only	28 to 56 units
Building Height	1 to 2 floors Roof top decks allowed	2 to 3 floors Roof top decks allowed
Façade Length	0 to 85 feet	0 to 200 feet
Individual Tenant Size	0 to 10,000 square feet	0 to 600 square feet Ground Floor Live-Work Only
Build-To Zone	0 to 5 feet As measured behind sidewalk	0 to 10 feet As measured behind sidewalk
Shared Open Space	Open Space Zones per Site Plan 4,000 square feet minimum	Open Space Zones per Site Plan 4,000 square feet minimum
Parking	Parking Zones per Site Plan 1.0 - 1.5 spaces per residential unit	Parking Zones per Site Plan 1.0 - 2.0 spaces per residential unit Head-in off Hammond allowed

	SUBAREA 3: COMMERCIAL RE-USE	SUBAREA 4: CITY OF MONROE EXISTING
New Commercial Development (gross area)	N/A - rehab of existing	existing only
New Residential Development	N/A - No residential allowed	existing only
Building Height	N/A - rehab of existing	existing only
Façade Length	N/A - rehab of existing	existing only
Individual Tenant Size	0 to 10,000 square ft	existing only
Build-To Zone	N/A - rehab of existing	existing only
Shared Open Space	N/A - rehab of existing	existing only
Parking	Parking Zones per Site Plan Head-in off Hammond allowed	Parking Zones per Site Plan Private Parking for Police / City Services only

NOTES:

1. Areas are expressed in overall gross square footages
2. Build-To Zone is as measured behind sidewalks all Primary Sidewalks
3. Shared open space must be contiguous, consolidated and publicly accessible
4. Shared open space area calculation includes only space behind the back of Primary Sidewalks and does not include private dining patios
5. Minimum numbers in ranges represent a threshold requirement

6. No commercial parking is allowed in Subarea 2; Live Work and/or residential guest parking can be accommodated in parallel parking on Internal Type B
7. Live Work is defined as a business contained within a residential units and is owned and operated by the occupant of the same residential unit

PERMITTED USES BY SUBAREA



	SUB AREA 1 Commercial Mixed Use	SUB AREA 2 Residential Mixed Use	SUB AREA 3 Commercial Reuse	
ACCESSORY BUILDINGS AND USES:				
accessory apartments	X	C	X	
accessory dwelling units	X	C	X	
bed and breakfasts	X	C	C	
fuel dispensary, pump, island, and or canopy	X	X	X	
home occupations	X	P	X	
structures- general	X	C	C	
temporary structures	P	P	P	<i>Regulated under Section 1000.9 of the Zoning Ordinance.</i>
uses-general	X	C	C	
ADMINISTRATIVE AND INFORMATION SERVICE FACILITIES:				
administrative offices/processing center	P	X	P	
cell/telecommunications center	P	X	P	
data processing/ programming facilities	P	X	P	
ALCOHOL AND BEVERAGE STORES:				
beer and wine	P	X	P	
AMUSEMENTS AND ENTERTAINMENT:				
game center	P	P	P	
theaters, outdoor	P	P	X	
ANIMAL FACILITIES AND SERVICES:				
clinics and specialty service	P	P	P	<i>See development controls for tenant size limit</i>
animal/pet supply stores, retail	P	P	P	<i>See development controls for tenant size limit</i>
animal/pet supply stores	P	P	P	<i>See development controls for tenant size limit</i>
ANTIQUA, CURIO, AND COLLECTIBLE SHOPS				
APPAREL STORES, CLOTHING, AND ACCESSORIES				
bridal, vintage, consignment	P	P	P	
new	P	P	P	
secondhand and thrift	P	P	P	
show repair, service	P	P	P	
tailoring and/ or dressmaking service	P	P	P	

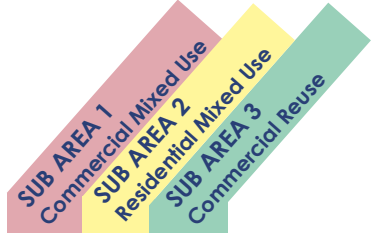
Any uses not specifically listed require a Conditional Use Permit.



	SUB AREA 1 Commercial Mixed Use	SUB AREA 2 Residential Mixed Use	SUB AREA 3 Commercial Reuse	
ARTS, CRAFTS, AND HOBBIES:				
art studio	P	P	P	
craftsman studio	P	P	P	
AUDIO / VIDEO / COMPUTER EQUIPMENT:				
supply stores, rental, and repairs	P	P	P	
supply stores, retail	P	P	P	
BEAUTY SHOP / SERVICES:				
barber, hairdresser, and/or stylist shops	P	P	P	
beauty supply retail	P	P	P	
beauty /health supplies	P	P	P	
manicure establishment	P	P	P	
tanning centers	P	P	P	
BOOK, NEWS, MAGAZINE STORES, RETAIL				
BOOK, NEWS, MAGAZINE STORES, RETAIL	P	P	P	
BUILDING, CONSTRUCTION AND SPECIAL TRADE FACILITIES				
contractor and developer offices	P	P	P	<i>Architecture must be consistent with desired style.</i>
CATERING ESTABLISHMENTS, RETAIL, AND RENTAL				
CATERING ESTABLISHMENTS, RETAIL, AND RENTAL	P	P	P	
CHILDCARE FACILITIES:				
child-care, center	X	X	C	<i>Defined in the Zoning Ordinance as 7 or more children</i>
child-care, home	X	C	X	<i>Defined in the Zoning Ordinance as 6 or less children</i>
CHURCHES:				
community	X	X	X	
megachurch	X	X	X	
neighborhood	P	X	P	
COLLECTION AGENCY	X	X	P	<i>Only permitted on Hammond Drive.</i>
COMMUNITY ASSOCIATIONS/ CLUBS-CIVIC AND PRIVATE				
COMMUNITY ASSOCIATIONS/ CLUBS-CIVIC AND PRIVATE	P	P	P	
CONFECTIONERY AND DESSERT SHOPS, RETAIL				
CONFECTIONERY AND DESSERT SHOPS, RETAIL	P	P	P	
COPY AND BLUEPRINT SHOPS				
COPY AND BLUEPRINT SHOPS	P	P	P	

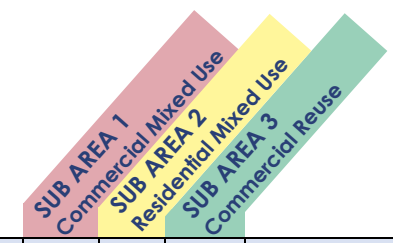
Any uses not specifically listed require a Conditional Use Permit.

PERMITTED USES BY SUBAREA



	SUB AREA 1 Commercial Mixed Use	SUB AREA 2 Residential Mixed Use	SUB AREA 3 Commercial Reuse	
DEPARTMENT / DISCOUNT DEPARTMENT STORES, RETAIL	P	P	P	See development controls for size limit.
DETECTIVE AGENCY	P	P	P	
DRUG STORES, RETAIL	P	P	P	
EDUCATIONAL FACILITIES				
schools private, public, parochial	X	C	C	See development controls for size limit.
school programs-day, pre-,post-	P	X	C	See development controls for size limit.
studios for work or teaching or fine arts	P	P	P	See development controls for size limit.
photography, music,drama,dance, martial arts	P	P	P	See development controls for size limit.
FABRIC AND NOTION SHOPS, RETAIL	P	P	P	
FINANCIAL INSTITUTIONS-BANKS, SAVINGS/LOANS				
with/without drive thru window	X	X	X	
automatic teller machine only	C	X	C	Only if integrated, not stand-alone
FLORIST AND PLANT SHOPS, RETAIL	P	P	P	
FUNERAL AND INTERMENT ESTABLISHMENTS				
storage and undertaking, mortuary, and/or funeral home	X	X	X	
GIFT,CARD, AND STATIONARY SHOPS, RETAIL	P	P	P	
GROCERS, RETAIL				
convenience food stores	P	P	P	See development controls for size limit.
delicatessens,bakery, specialty	P	P	P	
grocery markets	P	P	P	See development controls for size limit.
health food	P	P	P	
HEALTHCARE, SERVICE-DENTAL, MEDICAL, ETC.				
clinics (day service only)	X	X	C	
convalescent care, nursing, rest homes	X	X	X	
hospital and laboratories	X	X	X	
person care homes, family	X	C	X	
personal care homes, group	X	X	X	
congregate private offices	X	X	X	

Any uses not specifically listed require a Conditional Use Permit.



	SUB AREA 1 Commercial Mixed Use	SUB AREA 2 Residential Mixed Use	SUB AREA 3 Commercial Reuse	
INTERIOR DESIGN AND DECORATING ESTABLISHMENTS:				
china,clock, frame and/or rug shops	P	P	P	
retail floor covering, retail, and service	P	P	P	
furniture and furnishings stores	P	P	P	
retail hardware and paint stores	P	P	P	
retail kitchen supply stores, retail	P	P	P	
kitchen supply stores, rental	P	P	P	
linen and drapery, retail and service	P	P	P	
wallpaper, retail, and service	P	P	P	
JEWELRY STORES, RETAIL	P	P	P	
LAUNDRY AND/OR DRY CLEANING ESTABLISHMENTS:				
drop and pick up	X	X	X	
stations full-service	X	X	X	
self-service,public	X	X	X	
LAWN AND GARDEN ESTABLISHMENTS:				
supply and equipment, retail and rental	X	X	X	
greenhouse and plant nursery	X	X	X	
LODGING				
bed and breakfast inns	X	C	X	
hotels	X	X	X	
inns	C	C	X	
MERCANTILE AND DRY GOOD STORES, RETAIL	P	P	P	See development controls for size limit.
MEDIA FACILITIES, PRINT, AND ELECTRONIC:				
film and internet production offices	X	P	P	See development controls for size limit.
newspaper offices	X	P	P	See development controls for size limit.
publishing and printing establishments	X	X	X	
MOTOR VEHICLES AND EQUIPMENT:				
car wash, service, or self service	X	X	X	
fuel sales	X	X	X	
general service/ installation of parts/ access	X	X	X	
new or used, sales, and rental	X	X	X	
light duty trailer sales, new-accessory use	X	X	X	
parts/accessories	X	X	X	
sales tires, sales	X	X	X	
MUSICAL INSTRUMENT SHOP, RETAIL	P	P	P	

Any uses not specifically listed require a Conditional Use Permit.

DEVELOPMENT CONTROLS

PERMITTED USES BY SUBAREA

	SUB AREA 1 Commercial Mixed Use	SUB AREA 2 Residential Mixed Use	SUB AREA 3 Commercial Reuse
OFFICE PARKS:			
medical office parks	X	X	X
professional office parks	X	X	X
OFFICE SUPPLY STORES, RETAIL			
	P	P	P
OPTICAL SUPPLY STORES, RETAIL			
	P	P	P
PARKING, COMMERCIAL-PRIMARY USE:			
garages	X	X	X
lots	X	X	X
PARKS AND RECREATION:			
health/fitness center	P	P	P
gymnasium	X	X	X
neighborhood activity center-accessory use	X	P	P
parks, active	X	X	X
parks, passive	P	P	P
PHOTOGRAPHY:			
supply and processing stores, sales/service	P	P	P
PROFESSIONAL OFFICES			
	P	P	P
PUBLIC BUILDINGS			
government offices, libraries, museums	P	P	P
conventional hall, community center	P	P	P
RECREATIONAL EQUIPMENT STORES, REPAIR AND RENTAL			
	P	P	P
RECREATIONAL EQUIPMENT/SUPPLY STORES, RETAIL			
	P	P	P
RESIDENTIAL:			
accessory apartments	P	P	X
accessory dwellings	X	P	X
apartment buildings	X	P	X
apartment houses	X	P	X
lofts	P	P	X
single-family dwellings	X	X	X
townhomes	X	P	X
RESTAURANT:			
restaurant/café, grill, lunch counter	P	P	P

Any uses not specifically listed require a Conditional Use Permit.

	SUB AREA 1 Commercial Mixed Use	SUB AREA 2 Residential Mixed Use	SUB AREA 3 Commercial Reuse
SALES AND SERVICE FACILITIES:			
appliance stores (small and large), retail, rental, and/or repairs	P	P	P
equipment (small and large), service, and rental	P	P	P
equipment (office), service, and rental	P	P	P
cleaning services janitorial/cleaning supplies	P	P	P
store, wholesale lawn and garden supply	P	P	P
TELECOMMUNICATIONS FACILITIES:			
mobile telephones/ paging, retail, and service	P	P	P
satellite dishes, retail	X	X	X
			Regulated under Section 1000.9 of the Zoning Ordinance.
TEMPORARY BUILDINGS			
	P	P	P
TOY, VARIETY, NOVELTY, AND DIME STORES, RETAIL			
	P	P	P
TRAVEL AGENCIES			
	P	P	P
UTILITY AND AREA SERVICE PROVIDER FACILITIES:			
police, ambulance	X	X	X
television stations	X	X	X
utility transformers, substations, and towers	X	X	X
parking, temporary event	P	P	P

NOTES:

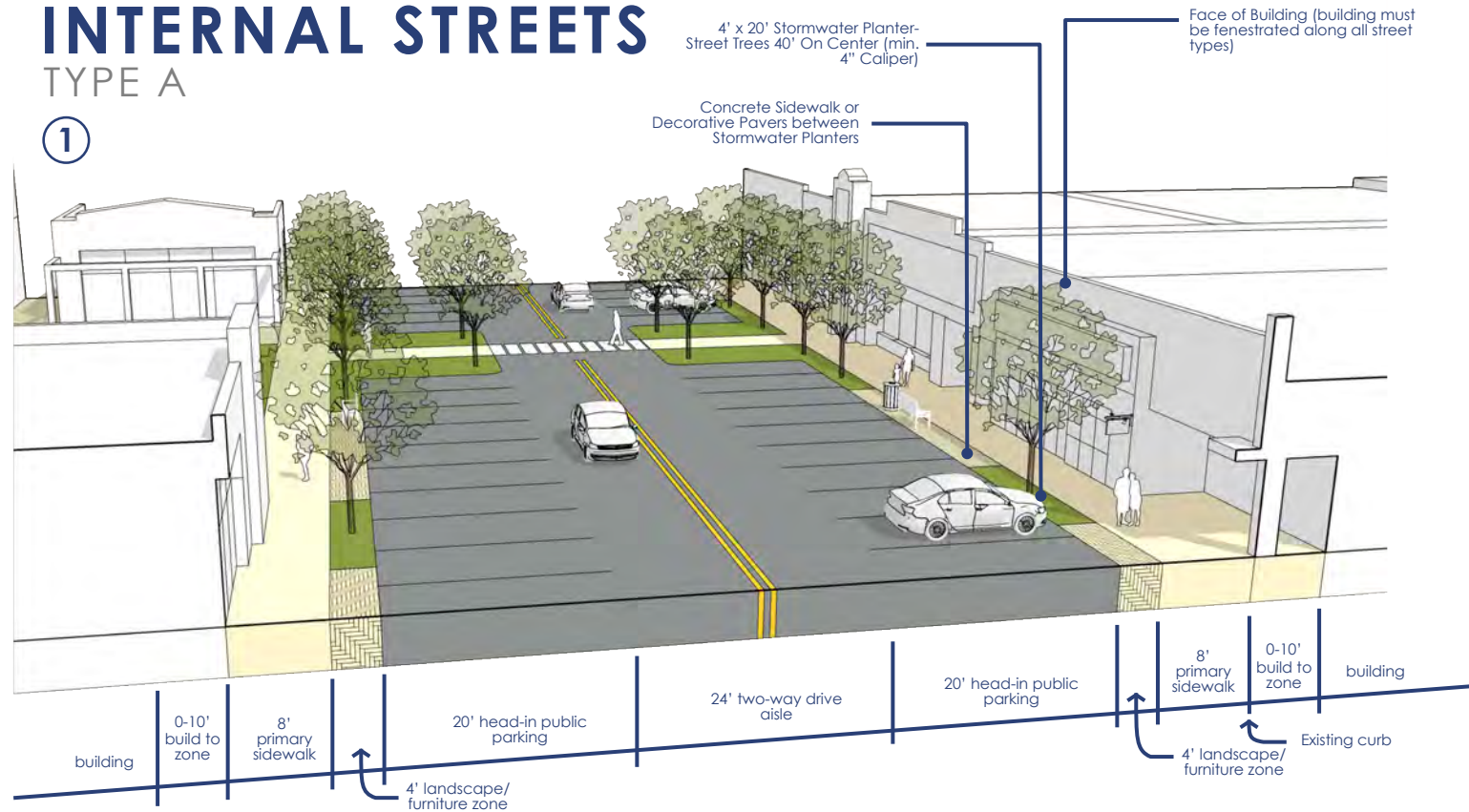
1. Any uses not specifically listed require a Conditional Use Permit
2. See City of Monroe Zoning Ordinance for definitions of individual uses

4 CHAPTER 4
STREETSCAPE
STANDARDS

INTERNAL STREETS

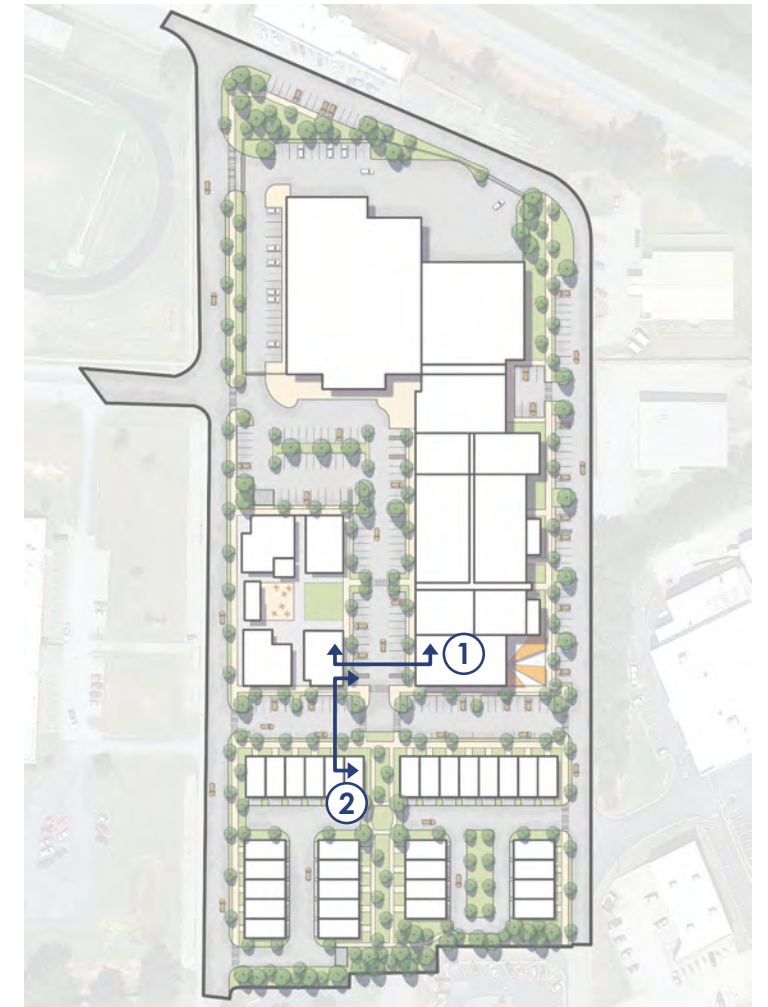
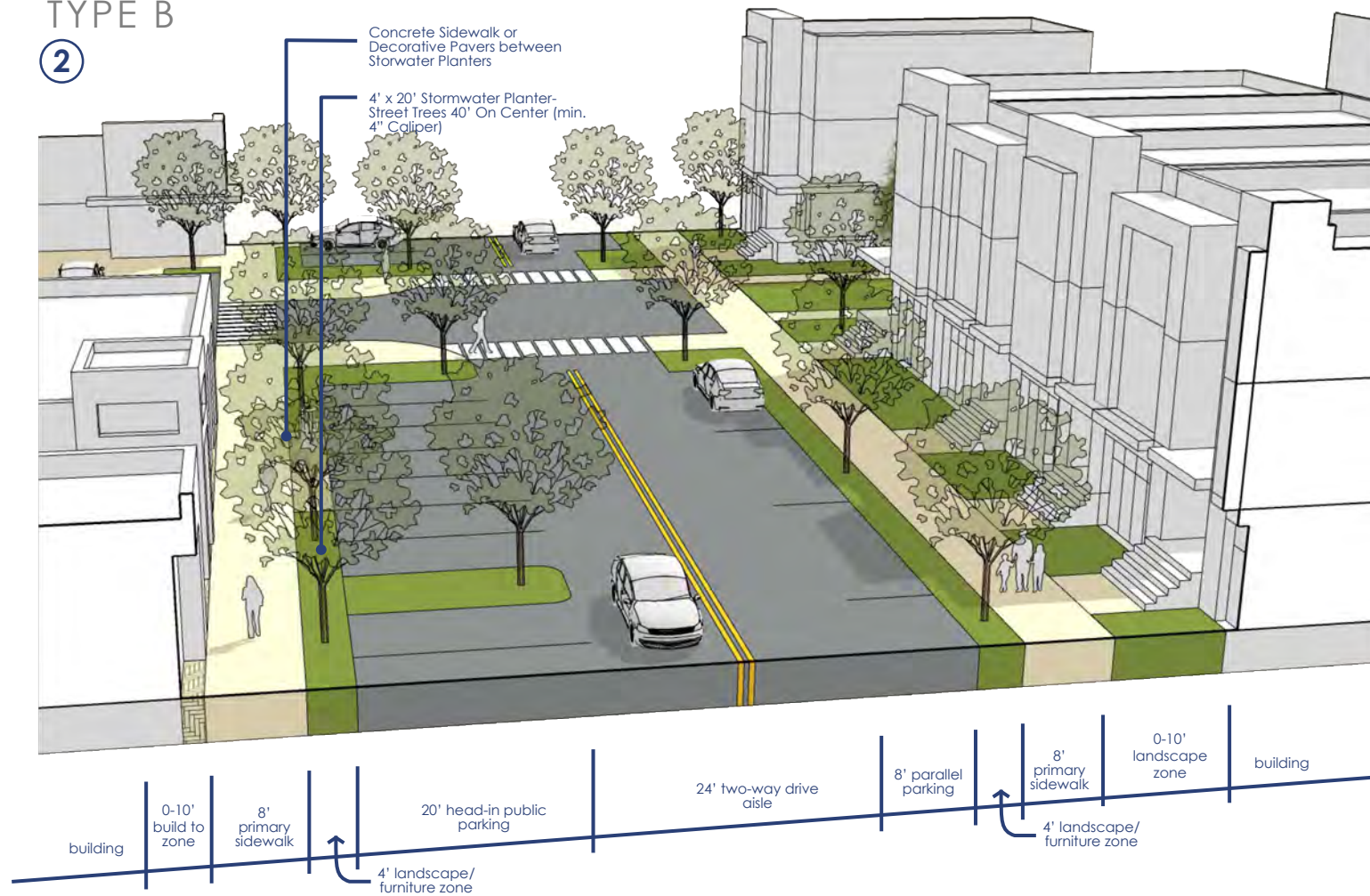
TYPE A

1



TYPE B

2



EXTERNAL STREETS

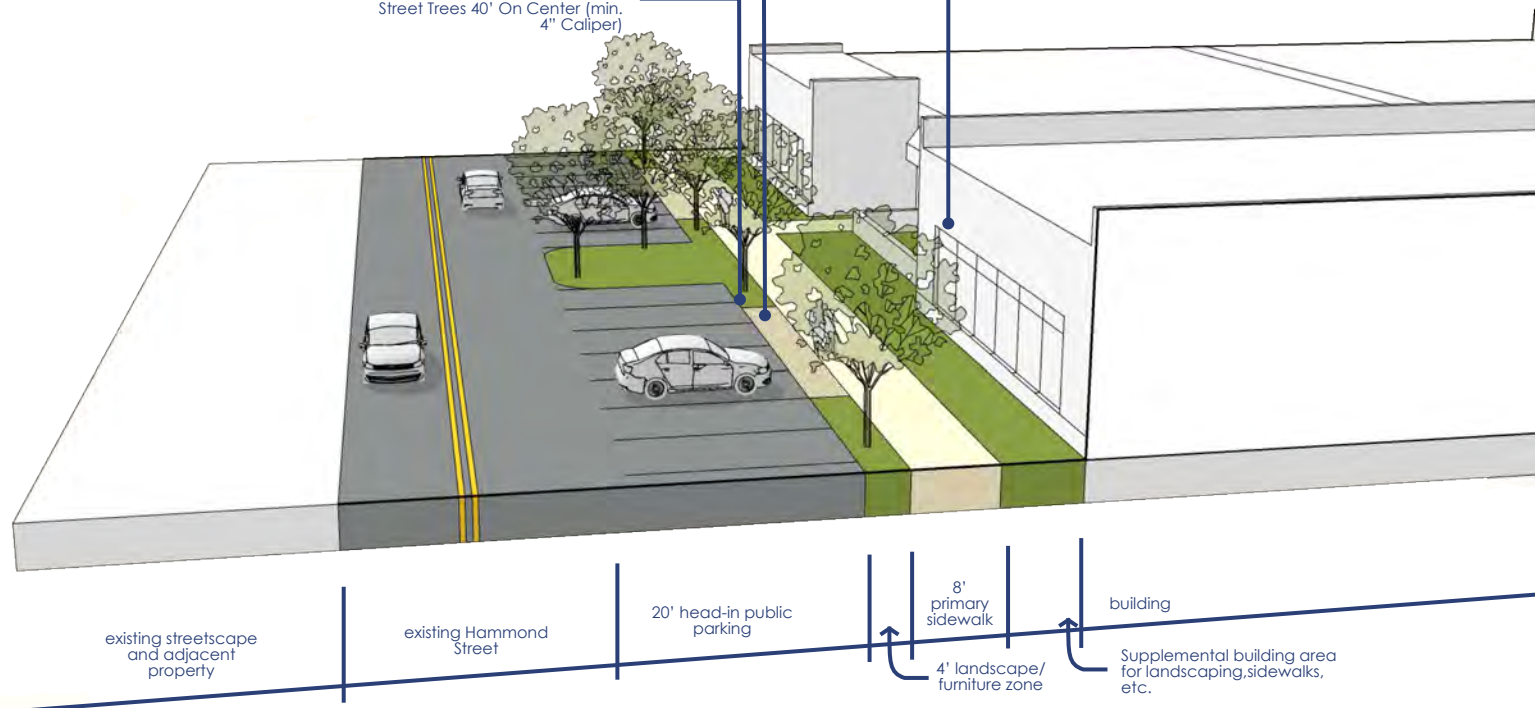
HAMMOND-SUBAREA 2

3

Concrete Sidewalk or Decorative Pavers between Stormwater Planters

4' x 20' Stormwater Planter- Street Trees 40' On Center (min. 4" Caliper)

New rehabbed building facade to serve as "front doors"



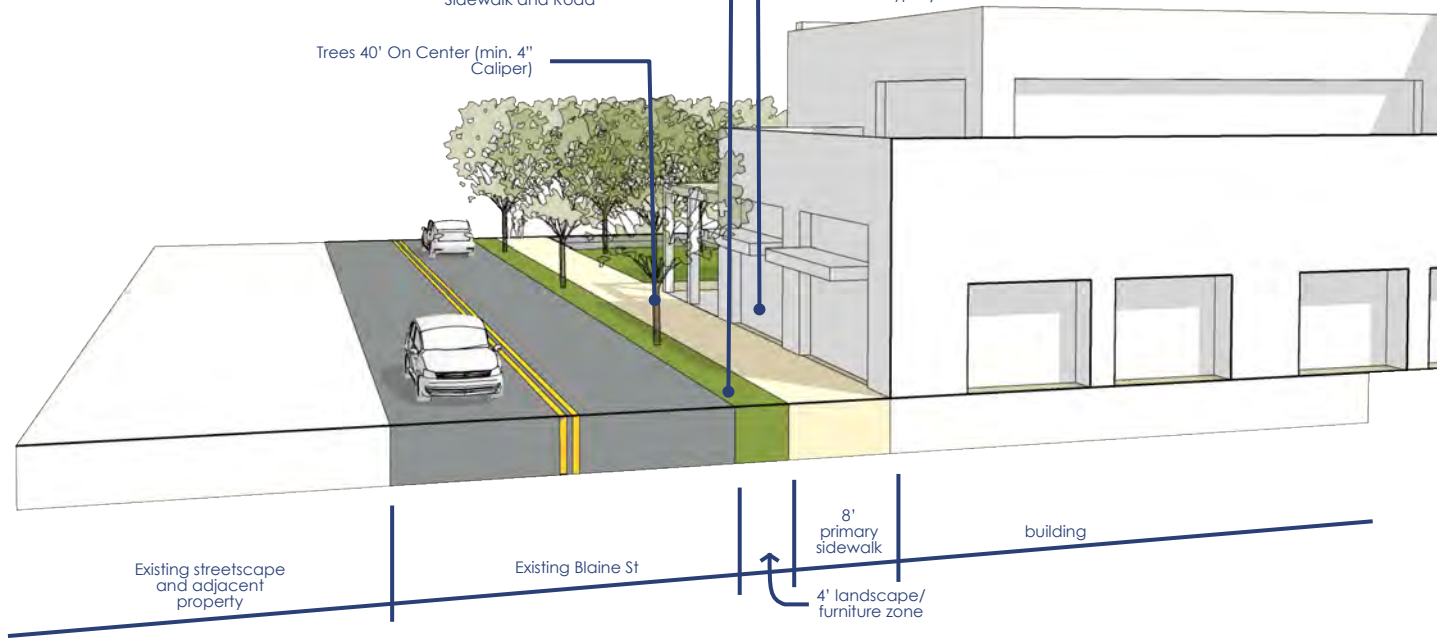
BLAINE

4

Landscape Buffer between Sidewalk and Road

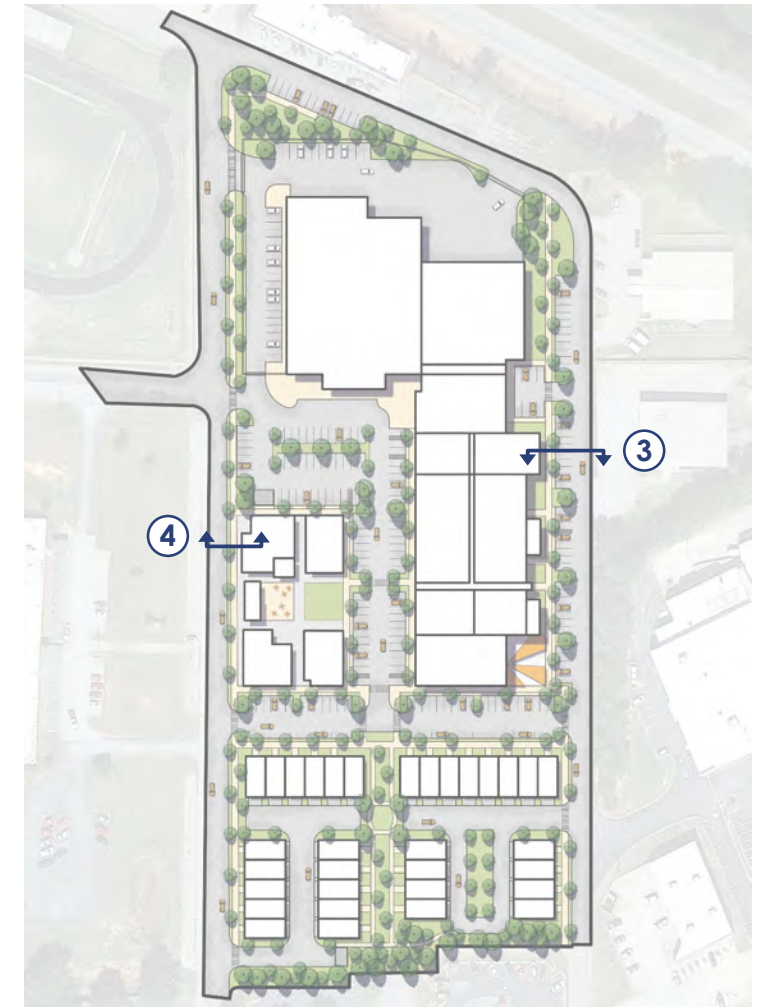
Trees 40' On Center (min. 4" Caliper)

Face of Building (building must be fenestrated along all street types)



KEY PLAN

KEY PLAN



5 CHAPTER 5
DESIGN FEATURES

COMMERCIAL MIXED-USE ARCHITECTURAL STYLE

The desired architectural style is a simplified, contemporary feel with relatively clean lines and a modern aesthetic without being "ultra modern" or overly austere. Traditional and/or ornamental styles that attempt to mimic an historic "main street" aesthetic are discouraged in order to create a district that is differentiated from Downtown Monroe.

BUILDING MASSING

New commercial/mixed-use buildings should be kept to relatively simple forms, should utilize small footprints and should be designed to emphasize and differentiate individual tenants/vertical bays. Repetitive, continuous facades are discouraged.

PREFERRED



Example of simple building form with minimal ornamentation



Example of extensive use of building fenestration



2



Each tenant has a defined storefront breaking up the overall building mass

5



3

Clear delineation of individual tenants



6



7

Example of simple building form with minimal ornamentation



8

Example of extensive use of building fenestration

DISCOURAGED



9

Avoid the use of traditional detailing such as arch top windows



11

Avoid historic "main street" feel



10

Avoid long unbroken cornice lines



12

Example of a building lacking differentiation from bay to bay

RESIDENTIAL MIXED-USE

ARCHITECTURAL STYLE

The desired architectural style is a simplified, contemporary feel with relatively clean lines and a modern aesthetic without being "ultra modern" or overly austere. Traditional and/or ornamental styles that attempt to mimic an historic aesthetic are discouraged in order to create a district that is differentiated from Downtown.

BUILDING MASSING

New residential/live-work buildings should be kept to relatively simple forms, should be designed to emphasize and differentiate individual units/vertical bays. Repetitive, continuous facades are discouraged.



Example of simple building form with minimal ornamentation



Clean, modern aesthetic and simple lines



Live-work units encouraged



Emphasis on vertical proportions

PREFERRED



Example of simple building form with minimal ornamentation



DISCOURAGED



Avoid traditional styling and details



Avoid long unbroken cornice lines that emphasize horizontal proportions



Avoid traditional styling and details



Avoid traditional styling and details

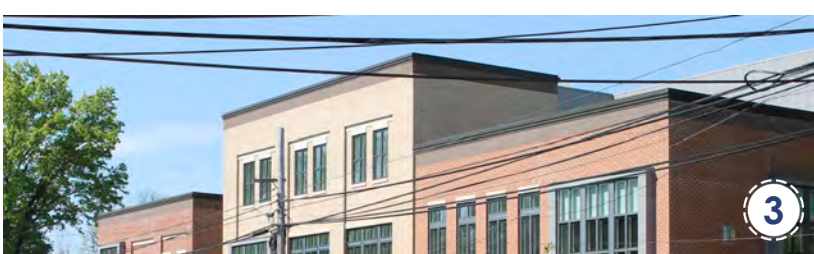


Avoid detached single-family development in favor of higher density options

ROOF STYLE

For both commercial and residential buildings, parapet/flat/shallow pitch roofs are preferred as a means to de-emphasize the form and mass of the roof as seen from the ground. Heavy use of gables, hips, dormers and overhangs is discouraged.

PREFERRED



DISCOURAGED



MATERIALS + DETAILS

Materials and detailing should be in keeping with a clean, simple contemporary style but should not be "ultra contemporary" or too austere. Painted brick or muted color brick is the preferred dominant material and can be augmented with other secondary materials (other than wood, stone or vinyl). Traditionally styled details and ornamentation such as brackets, distressed or Georgia Red brick, double hung windows, lap siding, molding, etc. are discouraged. Muted color palettes are preferred over bright colors.



4

PREFERRED



1

Simple detailing and muted color palette



5

Encouraged use of color as an accent element



6

Encouraged window style



2



3



7



9



8

Encourage simple and sleek awnings/ overhangs



10

Encourage simple and sleek awnings/ overhangs



11

Encourage glass storefronts when possible



15

Avoid double hung windows



16

Avoid clad siding



19

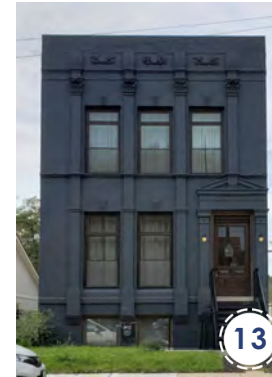
Avoid over use of stucco/EIFS or similar

DISCOURAGED



12

Use of bright colors is discouraged



13

Avoid monolithic color palettes



14

Avoid exposed wood details



17

Avoid rustic stone and wood material combinations



18

Avoid metal siding or buildings



20

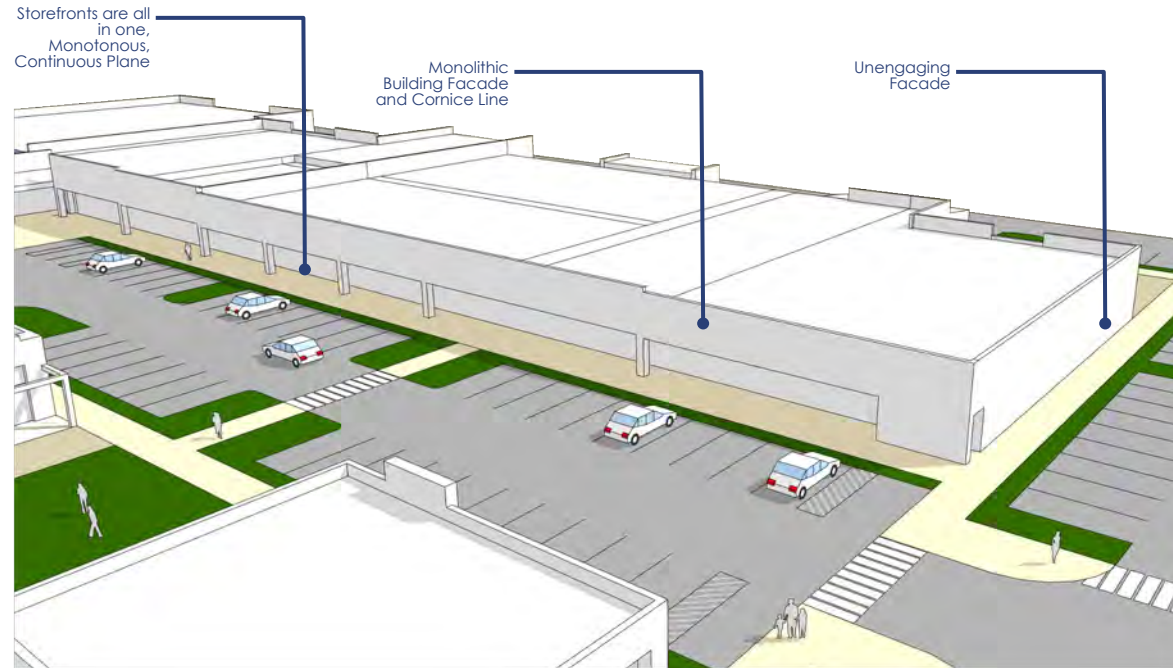
Avoid exposed wood details

COMMERCIAL REHAB

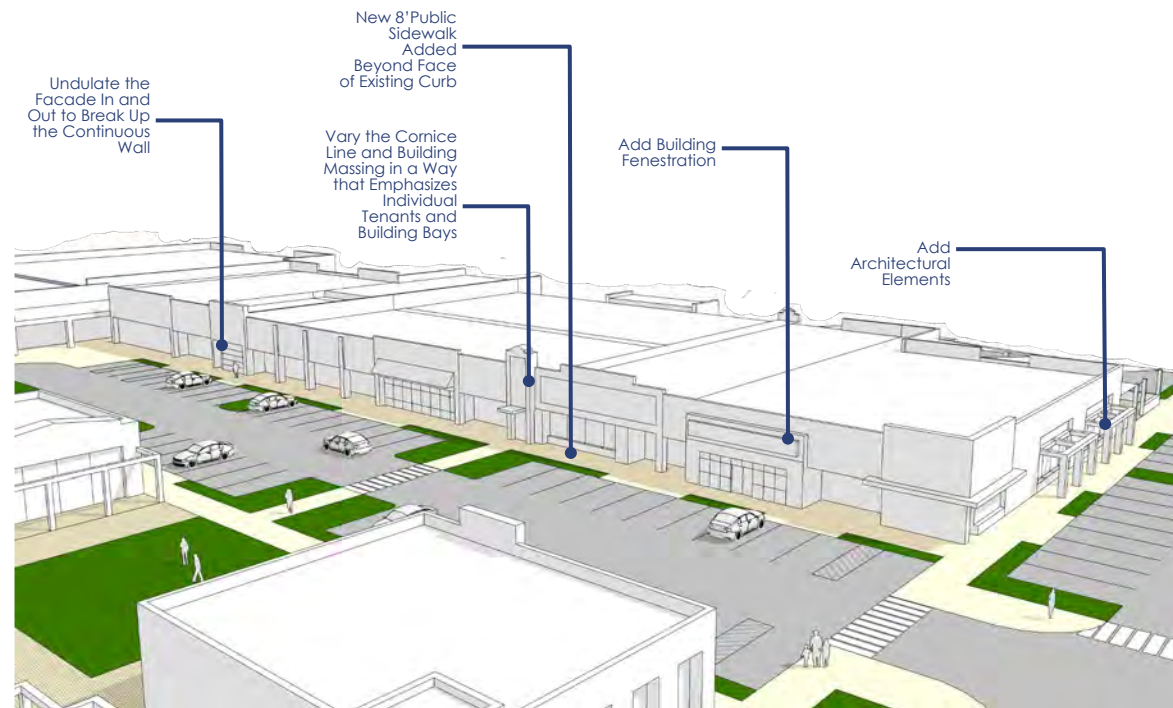
The existing commercial building should be rehabbed in a way that reflects the overall vision and desired attributes for the site. Added architectural elements should be consistent with the overall architectural style and use similar materials.

The key goal for rehabbing the existing building is creating less monolithic, and more differentiated spaces. This goal can be achieved by adding building fenestration, bringing the storefronts out to the pedestrian, adding more engaging outdoor elements, and breaking up the facade both horizontally and vertically.

EXISTING BUILDING FACADE



POTENTIAL BUILDING FACADE



PREFERRED



Roll up doors can be used to create a connection between indoors and outdoors



Example of opening the building overhang to engage the pedestrian



Add landscape, furniture, and other engaging elements where appropriate



DISCOURAGED



Avoid traditional/historic aesthetics and styling



Include outdoor dining space where possible and appropriate



Avoid creating a "strip center" feel by avoiding consistent, repetitive bays

DESIGN FEATURES

SHARED OPEN SPACES

Shared public open spaces (locations and sizes as per the development controls) should be open-air, accessible and open to the public. Spaces should be relatively simple and flexible in design so as to allow a wide variety of programmed and ad-hoc activities. Adjacent buildings should be mindful in how doors, windows and seating areas are located so as to maximize visibility/activity. Landscaping should be used to soften open spaces and make them more attractive. Extensively manicured plantings or over use of landscaping should be avoided in order to mitigate maintenance issues. Materials should durable and permanent. Shared open spaces should not be walled or gated in any way that discourages public use (other than during late evening hours if needed security). In addition to Shared Open Spaces, additional private outdoor dining is also encouraged.

PREFERRED



4 Encourage small, flexible active recreational uses in open spaces



Encourage engaging storefronts with tables, planters, etc.



Encourage linear open spaces between residential buildings for added greenspace



DISCOURAGED



Avoid structures and displays that lack a feel of permanence



Avoid open spaces that lack flexibility of use and/or require significant maintenance



Entirely fenced openspaces are not permitted in public spaces

PLACEMAKING

Placemaking features should be engaging, pedestrian-oriented, and consistent with the vision of the site as a whole. The placement of these features should be primarily in public spaces and used to encourage activity in public areas. Sight lines and view sheds should be considered when determining placement. Features can be static or interactive. Rotating art pieces, temporary exhibits, and community events are appropriate.

Although appropriate placemaking strategies, some features are more consistent with other character areas around Monroe and are discouraged on this site.



Small scale water features are appropriate



Example of appropriate residential only placemaking features including furniture, water features, and small gazebos/shade structures

PREFERRED



Example of interactive public element



Use lighting to create a sense of place at night



DISCOURAGED



Structured play equipment is discouraged in public areas



DESIGN FEATURES

SIGNAGE

SIGNAGE TYPES

The signage within this development should seek to enhance the identity and pedestrian experience. Signage should generally follow the City of Monroe Zoning Ordinance Article XII- Signs with a few exceptions.

Exceptions:

1. In subarea 1, more than one wall sign per a building is suitable for buildings that have frontage on numerous sides. Only one wall sign is allowed per a wall.
2. Ground and monument signs for individual buildings are not permitted.
3. A wall sign's area shall not be larger than 10% of the frontage wall area of the facade of the story which is occupied by the business or 100 square feet, whichever is less.
4. In subarea 4, multiple wall signs shall be allowed with a total sign area not to exceed an aggregate of 240 square feet per wall.

Entry signage, vertical and horizontal blade signs, wall signs on building facade, and standalone way-finding signage are all acceptable sign types. However, vertical and horizontal blade signs are encouraged for individual tenants. Monument signs are only permitted as district-wide branding.

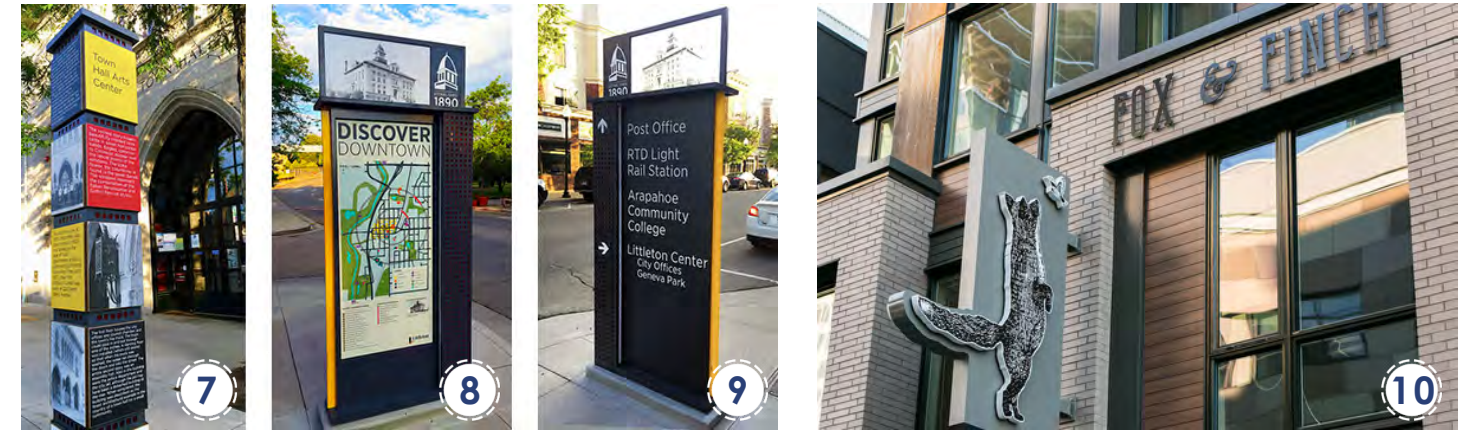
PREFERRED



MATERIALS

Signage materials should be consistent and complimentary to the architectural style of the building to which it identifies. All signage should follow the City of Monroe Zoning Ordinances Article XII- Signs regarding materials. All signs shall be clean, simple, and easily legible. Avoid materials such as exposed wood.

Pedestrian scaled wayfinding signs are encouraged and should be consistent in design and color throughout the site so as to read as a collection or set. Signs should be lit via external sources. Signs that are Internally illuminated, neon, flashing, or utilized LED strips are discouraged.



Use building elements for illumination as opposed to self-illuminating signs.



Appropriate use of wall sign and blade sign for the same tenant.



DISCOURAGED



DESIGN FEATURES

PARKING

Surface parking for commercial uses should be spread throughout the district so as to avoid creating overly large, consolidated paved areas of parking. Parking areas should include the use of street trees in landscaped islands (one tree between every 10 perpendicular parking spaces, min.). Residential parking should be located to the rear of residential buildings, ideally in integrated rear garages accessed via rear alleys. Clearly striped pedestrian cross walks and/or raised speed tables are encouraged.

PREFERRED



1
Landscape islands between parking spaces is strongly encouraged



3
Appropriate example of a stormwater planter with tree (with or without fencing)



2
Well-marked pedestrian crosswalks are required



4
Provide landscaping and bulb-outs in parking areas to enhance pedestrian safety and experience



5
Encourage rear-access garages and alley parking in residential areas



6
Example of a well-planted larger parking lot

DISCOURAGED



7
Parking lots without landscaping are not permitted. Landscape islands are required



8
Avoid tree wells when possible. Use stormwater planters (4)



9
In residential areas, avoid forward facing garages and parking

STORMWATER MANAGEMENT

Responsible and sustainable stormwater management strategies are critical to the success of this development. New development must result in a net decrease in impervious area, reduced runoff and erosion, and improved water quality. A wide variety of Stormwater Best Management Practices (BMPs) are strongly encouraged including (among others): utilizing a whole-site strategy rather than site-by-site approaches, incorporating distributed bioretention areas/rain gardens, downspout disconnects and rainwater harvesting, and pervious pavers/pavement where feasible.



IMPERVIOUS SURFACE COVERAGE

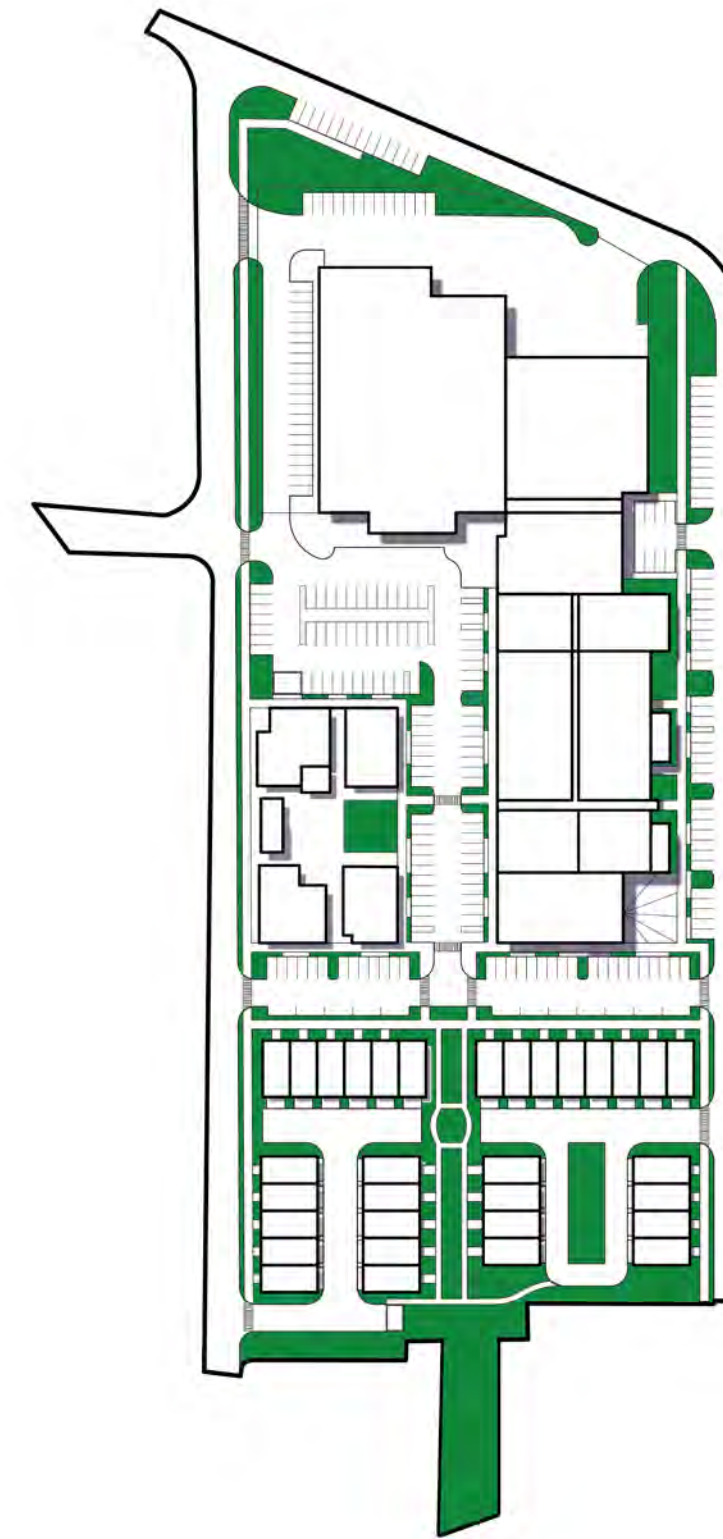
Existing Site Impervious

Surface Area = +/-9.5 ACRES

Proposed Site Impervious

Surface Area = +/-8.7 ACRES

Increase in 0.8 acres of pervious area



Potential Stormwater Management Locations



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 09-10-2021
Description: PRELIMINARY PLAT CASE #: 149, 935 McDaniel Street, 49.82 Ac.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: Staff recommends approval of this Preliminary Plat subject to the corrections Listed in the preliminary plat review summary (16 Items)

Background: This is a previously attempted development that has a new developer and will be modified to meet current zoning and development requirements.

Attachment(s): Preliminary plat, application and supporting documents.



**Planning
City of Monroe, Georgia
PRELIMINARY PLAT REVIEW**

APPLICATION SUMMARY

PRELIMINARY PLAT CASE #: 149

DATE: September 10, 2021

STAFF REPORT BY: Brad Callender, City Planner

DEVELOPER: Garden Street Communities, LLC

PROPERTY OWNER: Moreck Group, LLC

DESIGN CONSULTANT: Land Planning Consultants, PC

LOCATION: South side of McDaniel Street – 935 McDaniel Street

ACREAGE: ±49.82

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: The owner is requesting Preliminary Plat approval for a single-family detached residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: September 21, 2021

CITY COUNCIL: October 12, 2021

PRELIMINARY PLAT REVIEW SUMMARY

The submitted Preliminary Plat requires the following corrections prior to signing the plat for approval. Due to the number and type of comments identified, additional corrections may be required upon submission of the revised Preliminary Plat.

1. The Preliminary Plat shall be based upon a certified boundary survey delineating the entirety of the property contained within the Preliminary Plat. No boundary information or source of the boundary was included on the preliminary plat. Submit the certified boundary survey with the corrections for this Preliminary Plat and include the source information on the Preliminary Plat in the General Notes section (7.2.3(a) &(b))
2. Remove the Pavement Cross-Section, Typical Roadway Cul-De-Sac Detail, Concrete Sidewalk Detail, and Asphalt Paving Composition Diagrams from the preliminary plat. These items are required in Site Development Plans but not on the Preliminary Plat.
3. Revise the owner’s name on the plat to read Moreck Group, LLC. (7.2.4(b))

4. The north arrow shown on the plat is pointing east-northeast and not to magnetic north. Revise accordingly. (7.2.4(d))
5. In the Site Information and General Notes sections, revise the Front Setback to 30-feet and the Rear Setback to 25-feet. Revise each of the building setback dimensions shown on each lot in the development accordingly. Revise the Typical Lot Layout diagram accordingly. (7.2.4(g) & Zoning Ordinance Sec. 700.1 – Table 10))
6. On Lots 10, 30, 41, 42, 59, 60, and 61, remove the portions of the building envelope located within the 25-foot State Waters buffer. (7.2.4(h))
7. On Lots 10, 30, 31 and 41, remove the portions of the building envelope from within the Wetlands. (7.2.4(h))
8. The Minimum Lot Size in the R-1 zoning district is 14,000 Sf per Zoning Ordinance Sec. 700.1 – Table 10. Revise the Site Information and General Notes Sections accordingly. (7.2.4(l))
9. Lots 16, 17, 25, 26, 29, 30, 31, 32, 60, 61, and 72 do not meet the minimum 75-foot Lot Frontage Requirement for the R-1 zoning district. Revise the lots accordingly. (7.2.4(l))
10. The lot boundary along the stream on lots 29, 30, 31, 41, 42, 59, 60, and 61 is not illustrated. Revise the plat to clearly show the lot boundary along the stream. (7.2.4(l))
11. All lots located adjacent to intersections must have a 10-foot miter boundary at the intersection. Revise the following lots to include the required 10-foot miter: 15, 34, 37, and 75. (7.2.4(l) & 9.2.4)
12. Zoning Ordinance Section 550.4(3) requires a 25-foot buffer to be established on the street frontage of the development. Revise the preliminary plat to include the required 25-foot buffer along McDaniel Street. The required buffer should be located on separate fee simple open space lots. (7.2.4(l) & Zoning Ordinance Sec. 550.4(3))
13. Delineate the proposed 20-foot buffer labeled along the eastern and southern boundaries of the development. (7.2.4(l))
14. The Flood Hazard areas illustrated on the Preliminary Plat do not match current Flood Hazard data for this site. Refer to FIRM Panels 13297CO136E and 13297CO138E, effective 12/8/2016, for the current flood map data for this site. Revise the reference in the General Notes section accordingly. (7.2.4(u))
15. In the Authorization Statement (owner's certification), revise "Sketch Plat" to read "Preliminary Plat." (7.2.4(x))
16. Remove the Certificate of Approval by Monroe Water and Gas signature block.

CITY OF MONROE
DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot Non-residential Projects - 50% of BP
NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe
Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments... Two copies of the hydraulic calculations with water line design must accompany all applications.

THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name Mountain Creek Estates

Project Location 935 McDaniel St

Proposed Use Single family residential Map/Parcel M0070216

Acreage 49.759 #S/D Lots 75 # Multifamily Units # Bldgs

Water(provider) Monroe Sewer(provider) Monroe

Property Owner Moreck Group LLC Phone# (706) 265-9576

Address 5635 Star View Dr City El Paso State TX Zip 79912

Developer Garden Street Communities Southeast LLC Phone# (404) 507-6684

Address 102 Mary Alice Park Rd, Suite 401 City Cumming State GA Zip 30040

Designer Land Planning Consultants, PC Phone# (706) 461-6767

Address 156 Holly Hills Dr City Athens State GA Zip 30606

Site Contractor tbd Phone#

Address City State Zip

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property caused or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT: Patrick Green DATE: dotloop verified 08/11/21 3:57 PM EDT NCBN-W8G3-KIMA-X3VZ

August 13, 2021

Moreck Group, LLC
5635 Star View Drive
El Paso, Texas 79912

City of Monroe
215 North Broad Street
Monroe, Georgia 30655

RE: Mountain Creek Estates, 935 McDaniel Street
Development Permit and Preliminary Subdivision Plat Application
Owner representation authorization

To whom it may concern:

As Owner of the property at 935 McDaniel Street in the City of Monroe, I authorize Garden Street Communities Southeast LLC to make the above referenced submittal on my behalf.

Sincerely,


46b26c2

08-13-2021

George Moreck
Moreck Group, LLC



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00264657 62
Cashier Name: LAURA WILSON
Terminal Number: 34
Receipt Date: 8/20/2021 3:36:45 PM

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference: 1107

Name: Garden St Communities SE	\$1,500.00
Total Balance Due:	\$1,500.00
Amount:	\$1,500.00
Total Payment Received:	\$1,500.00
Change:	\$0.00



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

MAJOR SUBDIVISION PRELIMINARY PLAT PERMIT

PERMIT #:	149	DESCRIPTION:	PRELIMINARY PLAT 75 LOTS
JOB ADDRESS:	935 MCDANIEL ST	LOT #:	
PARCEL ID:		BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	Garden St Communities SE LLC	CONTRACTOR:	Garden St Communities SE LLC
ADDRESS:	102 Mary Alice Park Way	ADDRESS:	102 Mary Alice Park Way
CITY, STATE ZIP:	Cumming GA 30040	CITY, STATE ZIP:	Cumming GA 30040
PHONE:		PHONE:	
PROP. USE:		DATE ISSUED:	8/20/2021
VALUATION:	\$ 0.00	EXPIRATION:	2/16/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS:	
CNST TYPE:		# OF BATHROOMS:	
INSPECTION REQUESTS:	770-207-4674 dadkinson@monroega.gov	# OF OTHER ROOMS:	

FEE CODE	DESCRIPTION	AMOUNT
PZ-05	PRELIMINARY PLAT REVIEW (PER LOT)	\$1,500.00
FEE TOTAL		\$ 1,500.00
PAYMENTS		\$ -1500.00
BALANCE		\$ 0.00

NOTES:

This application will be heard by the Planning & Zoning Commission on September 21, 2021 @5:30pm and by City Council on October 12, 2021 @6:00pm. Both meetings will be held at 215 N Broad St Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

8/20/2021
DATE

ALL CONSTRUCTION TO COMPLY WITH CITY OF MONROE STANDARDS

SITE INFORMATION:

CURRENT ZONING: R-1
SINGLE FAMILY DETACHED SUBDIVISION
TOTAL SITE AREA: 49.82 ACRES
TOTAL DISTURBED AREA: 32.47 ACRES
TOTAL OPEN SPACE: 12.49 ACRES
NUMBER OF LOTS: 75
MINIMUM LOT SIZE: 15,000 SF
YARD SETBACKS: 25' FRONT
10' SIDE
30' REAR
50'-28"
TOTAL LENGTH OF ROADWAY: 4,176 LF
MAXIMUM BUILDING HEIGHT: 35'

B-1 - INDICATES BORING LOCATION



LEGEND
IPF IRON PIN FOUND
LPS LAND SET
LLS LAND LOT LINE
PPLS PROPERTY LINE
CCLR CENTERLINE
R/W RIGHT-OF-WAY
SSE SANITARY SEWER EASEMENT
SSE SANITARY SEWER EASEMENT
M/M MANHOLE
C/SB CATCH BASIN
S/SB SUMP PIT
P/H POWER UTILITY POLE
P/F FIRE HYDRANT
P/E INVERT ELEVATION
P/FE FINISHED FLOOR ELEVATION
P/B BOTTOM OF CURB
P/T TOP OF CURB
P/S TOP OF SLAB
P/SM SANITARY MANHOLE
P/SW SANITARY SEWER LINE/PIPE
P/SS SANITARY SEWER LINE/PIPE
P/ST STORM SEWER LINE/PIPE
P/F FENCE LINE
P/HZ FLOOD HAZARD ZONE LINE
P/HZF NEW OR FORMERLY
P/PC POINT OF COMMENCEMENT
P/BL POINT OF BEGINNING

GENERAL NOTES:

- 1. ALL CONSTRUCTION TO CONFORM TO CITY OF MONROE SPECIFICATIONS & STANDARDS.
2. WATER PROVIDED BY MONROE UTILITIES NETWORK.
3. SANITARY SEWER PROVIDED BY MONROE UTILITIES NETWORK.
4. ELECTRICITY PROVIDED BY WALTON ELECTRIC MEMBERSHIP CORPORATION.
5. ALL UTILITIES WITHIN SUBDIVISION SHALL BE UNDERGROUND.
6. A PORTION OF THIS PROPERTY IS IN A FEDERALLY DESIGNATED FLOODPLAIN ZONE SHOWN ON FIRM PANEL NUMBER 13297 C 0111 B, & 13297 C 0113 DATED FEBRUARY 16, 1990 FOR WALTON COUNTY, GEORGIA.
7. MINIMUM SETBACKS: 25' FRONT, 10' SIDE, 30' REAR, MINIMUM LOT WIDTH: 100'.
8. MAXIMUM BUILDING HEIGHT NOT TO EXCEED 35', MINIMUM LOT SIZE: 15,000 S.F.
9. WATER METER(S) MUST BE LOCATED AT PROPERTY LINES. A BACKFLOW PREVENTER DEVICE IS REQUIRED TO BE INSTALLED (IF NOT CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE, AND ANY OTHER TYPE WATER SERVICE CONNECTION.
10. THE HOMEOWNER'S ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF ALL NEW & EXISTING STORM DRAINAGE SYSTEMS AND/OR PONDS ON-SITE.
11. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE WIDENING OF AND CONSTRUCTION ON CITY OF MONROE & WALTON COUNTY ROADS.
12. THERE ARE NO CEMETARIES LOCATED ON THIS SITE. THERE ARE NO OTHER SIGNIFICANT OR HISTORICAL AREAS ON THIS SITE.
13. THERE ARE NO INERT WASTE BURY PITS ON SITE.
14. STREETLIGHTS ARE TO BE INSTALLED PER SECTION 8.27 OF THE DEVELOPMENT REGS.
15. 4' SIDEWALKS ARE REQUIRED ON BOTH SIDES OF ALL STREETS WITHIN SUBDIVISION.
16. ALL PROPOSED STREETS TO BE DEDICATED TO THE CITY OF MONROE AT FINAL PLAT.

Seal



Revisions table with columns for Revisions and COMMENTS.

- Released for Construction
Not Released for Construction

Project

RESIDENTIAL PROJECT: MOUNTAIN CREEK OLD PEACHTREE

Project Location

Land Lots 4 & 31
3rd. District
Tax Parcel: R7060 001
935 McDaniel Street
City of Monroe, Georgia - 30043

Owner/Developer

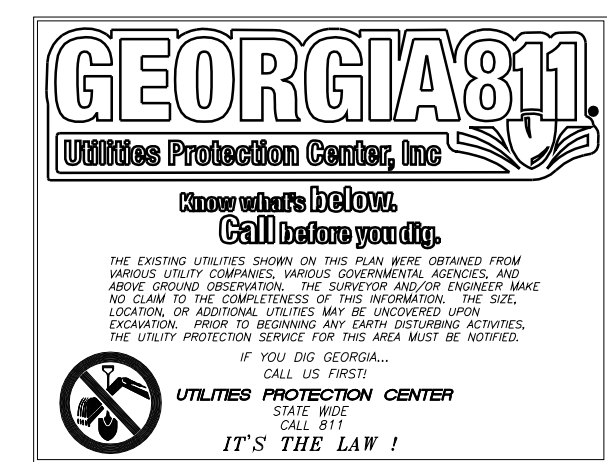
GARDEN STREET COMMUNITIES, LLC
3000 Gulf Breeze Parkway
Gulf Breeze, FL - 32563
PHONE: 404.507.6684 (CELL)
EMAIL: jsibley@gardenstreetcommunities.com

General Contractor

NOT YET DETERMINED

GEOTECH BORINGS

JOB NO. 20--001
DATE: 6--22--2021
SHEET: 1 of 1



ANY DISCREPANCIES BETWEEN ANY SHEETS IN THIS SET AND/OR IN SITE STAKING AND/OR ACTUAL FIELD CONDITIONS MUST BE IMMEDIATELY REFERRED TO LAND PLANNING CONSULTANTS, PC BY THE CONTRACTOR, BEFORE PROCEEDING WITH ANY WORK THIS SHEET FOR BORING LOCATION PURPOSES ONLY



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 09-13-2021

Description: PRELIMINARY PLAT CASE #: 157 The Pacific Group is requesting preliminary plat review in order to pursue development plans for submittal. **Parcel ID -** M0290008

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

1. In the Development Summary, correct the proposed use to read "single-family residential". (7.2.4(f))
2. Remove "Bronte Lane" and the entrance to the development off Double Springs Church Road. Revise the Preliminary Plat to show an extension of Dickens Lane eastward through the lots shown as Lots 287 and 288 to a new entrance off Cedar Ridge Road. (7.2.4(i))
3. Revise the tables shown on sheets 5, 6, and 7 to include the lot number, total lot area, and lot dimensions for each residential lot in the development. (7.2.4(k))
4. Label all open space tracts. (7.2.4(l))

Background: the property is located at the Southwest corner of Double Springs Church Road and Cedar Ridge Road and is currently undeveloped R1 zoned property and consist of +/- 200.359 Acres.

Attachment(s): Application, preliminary plat, Staff report and supporting documents.



**Planning
City of Monroe, Georgia
PRELIMINARY PLAT REVIEW**

APPLICATION SUMMARY

PRELIMINARY PLAT CASE #: 157

DATE: September 10, 2021

STAFF REPORT BY: Brad Callender, City Planner

DEVELOPER: The Pacific Group

PROPERTY OWNER: The Rowell Family Partnership, LLLP & Jane Jay Still

DESIGN CONSULTANT: Greyden Engineering

LOCATION: Southwest corner of Double Springs Church Road and Cedar Ridge Road

ACREAGE: ±200.359

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: The owner is requesting Preliminary Plat approval for a single-family detached residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: September 21, 2021

CITY COUNCIL: October 12, 2021

PRELIMINARY PLAT REVIEW SUMMARY

The submitted Preliminary Plat requires the following corrections prior to signing the plat for approval. Due to the number and type of comments identified, additional corrections may be required upon submission of the revised Preliminary Plat.

1. In the Development Summary, correct the proposed use to read “single-family residential”. (7.2.4(f))
2. Remove “Bronte Lane” and the entrance to the development off Double Springs Church Road. Revise the Preliminary Plat to show an extension of Dickens Lane eastward through the lots shown as Lots 287 and 288 to a new entrance off Cedar Ridge Road. (7.2.4(i))
3. Revise the tables shown on sheets 5, 6, and 7 to include the lot number, total lot area, and lot dimensions for each residential lot in the development. (7.2.4(k))
4. Label all open space tracts. (7.2.4(l))

CITY OF MONROE

DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot Non-residential Projects – 50% of BP
NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe
Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments...
Two copies of the hydraulic calculations with water line design must accompany all applications.

THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name RIVER POINTE

Project Location DOUBLE SPRINGS CHURCH RD

Proposed Use SUBDIVISION - SINGLE FAMILY Map/Parcel M0290008

Acreage 200.40 #S/D Lots 310 # Multifamily Units 0 # Bldgs 0

Water(provider) City of Monroe Sewer(provider) CITY OF MONROE

Property Owner The Rowell Family Partnership & Jane Jay Still Phone# 678-603-8267

Address P.O. Box 1378 City Monroe State GA Zip 30655

Developer The Pacific Group LLC Phone# 678-603-8267

Address 5755 Dupree Drive City ATLANTA State GA Zip 30327

Designer Greyden Engineering Phone# 678-910-7169

Address 12460 Crabapple Rd. Ste 202-374 City ALPHARETTA State GA Zip 30004

Site Contractor TBD Phone# _____

Address _____ City _____ State _____ Zip _____

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property caused or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT:  DATE: 8/19/2021



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

MAJOR SUBDIVISION PERMIT

PERMIT #:	157	DESCRIPTION:	310 lots for River Pointe S/D
JOB ADDRESS:	Double Springs Ch Rd	LOT #:	
PARCEL ID:		BLK #:	
SUBDIVISION:		ZONING:	R1
ISSUED TO:	Greyden Engineering	CONTRACTOR:	Greyden Engineering
ADDRESS:	12460 Crabapple Rd	ADDRESS:	12460 Crabapple Rd
CITY, STATE ZIP:	Alphretta GA 30004	CITY, STATE ZIP:	Alphretta GA 30004
PHONE:		PHONE:	
PROP. USE:	Residential	DATE ISSUED:	8/24/2021
VALUATION:	\$ 0.00	EXPIRATION:	2/20/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION REQUESTS:	770-207-4674 dadkinson@monroega.gov	# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-05	PRELIMINARY PLAT REVIEW (PER LOT)	\$6,200.00
FEE TOTAL		\$ 6,200.00
PAYMENTS		\$-6,200.00
BALANCE		\$ 0.00

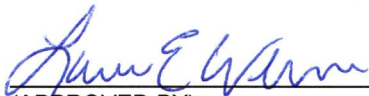
NOTES:

This application for 310 lots in the proposed River Pointe subdivision will be heard by the Planning and Zoning Commission on September 21, 2021 at 5:30pm and by City Council on October 12, 2021 at 6:00pm. Both meetings will be held at 215 N. Broad St Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

8/24/2021
DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00265891

70

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 8/24/2021 3:52:02 PM

Transaction Code: BP - Building Projects Payment

Name: Greyden Engineering \$6,200.00

Total Balance Due: \$6,200.00

Payment Method: Check Payn Reference: 0854/0860

Amount: \$6,200.00

Total Payment Received: \$6,200.00

Change: \$0.00



September 7, 2021

Mr. Brad Callender
City Planner
City of Monroe
215 N Broad Street
Monroe, Georgia 30655

Re: Proposed River Pointe Residential Subdivision
Traffic Study Review No. 1
K&W Project No. 211070

Dear Mr. Callender:

As requested, I have reviewed the Traffic Impact Study for the proposed River Pointe Residential Subdivision to be located along the south side of Double Springs Church Road and along the west side of Cedar Ridge Road. The study was prepared for Greyden Engineering, Inc by Mark R. Acampora, PE, LLC. My comments are as follows:

General:

1. Appendix B has a footer naming the methodology for the “Enclave at Monroe” subdivision. Is this for a different subdivision in Monroe, or has the name of this one changed? Same for the Synchro printouts in Appendix C.
2. GDOT Project S015009 along SR 11 is currently underway and should be detailed in Programmed Improvements Section along with PI0015576 along SR 138 which was mentioned in the report with no detail.
3. On page 9, the new ramp from GA 138 is on to westbound US 78, not US 29.
4. Show figure of volumes modeled for 2026 Background No-Build scenario to aid in understanding proposed volume growth and volume shifts due to other projects.
5. Remove the access point on Double Springs Church Road closest to Cedar Ridge Road.
6. Show 95th percentile queue length table for all intersections and approaches necessary for the Existing, No Build and Build scenarios.

Intersections:

7. Recommend studying the intersection of US 78 at Cedar Ridge Road as part of traffic study and adjusting trip distribution based on potential for traffic to utilize Cedar Ridge Road.

Volumes:

8. No 24-hour volume count was completed along SR 11 near the existing Georgia Department of Transportation Count station north of SR 138 in order to complete the COVID volume check now required by GDOT and recommended statewide.
9. Historical traffic counts from GDOT count stations to develop growth rate should be verified. 15 years of data should be utilized in developing growth rates based on standards for exponential regression methods. GDOT standard growth rate methodology should be applied to calculating this growth rate and methodology used for this calculation needs to be shown in the report or the appendix. Not applying any growth to the State Route traffic is not feasible for the 2026 background volumes. Standard growth rate of 2% minimum should be applied to those volumes.

Modeling:

10. Verify that existing signal timings (including clearances) for the SR 11 at SR 138 traffic signal were utilized for the existing conditions operational analysis. Detail methodology for analyzing Double Springs Church Road as signalized for the AM Peak, i.e. assumed cycle length, splits, clearances, etc.
11. Operational Analysis was completed in Synchro 10, which has known issues with modeling unsignalized intersections. Recommend modeling in the latest Synchro version (Synchro 11 with new software patch) or modeling unsignalized intersections in HCS software.
12. 2026 Background No-Build models should be updated with adjusted volumes per previous comments.

Mitigation:

13. SR 11 at Friendship Church Road – an eastbound right turn lane should be looked at as mitigation for the LOS E/F on the side street at this intersection.
14. Double Springs Church Road at Drake Road – 2026 volumes without project show an acceptable level of service. 2026 with project take that acceptable level of service and degrade it to LOS E for northbound and southbound approaches. The developer should analyze and propose mitigation for this impact to the intersection. Sidra or GDOT Roundabout Analysis Tool should be utilized in assessing operations for the potential roundabout.
15. SR 138 at Drake Drive – Developer should complete signal warrant analysis and GDOT's Intersection Control Evaluation process to determine needed mitigation for the intersection.

I have retained one copy of the study provided for review in the event there are questions. The developer should be made aware that this review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Sincerely,
KECK & WOOD, INC.



Rob Jacquette, PE, PTOE
Vice President

CC: Sam Serio, PE (Keck+Wood)

Project Traffic Characteristics

This section describes the anticipated traffic characteristics of the proposed residential subdivision, including a site description, how much traffic the project will generate, and where that traffic will travel.

Project Description

The proposed development consists of 310 single family houses. One full movement access will be provided on the west side of Cedar Ridge Road and two full movement accesses will be provided on the south side of Double Springs Church Road. The site plan is presented in Figure 4.

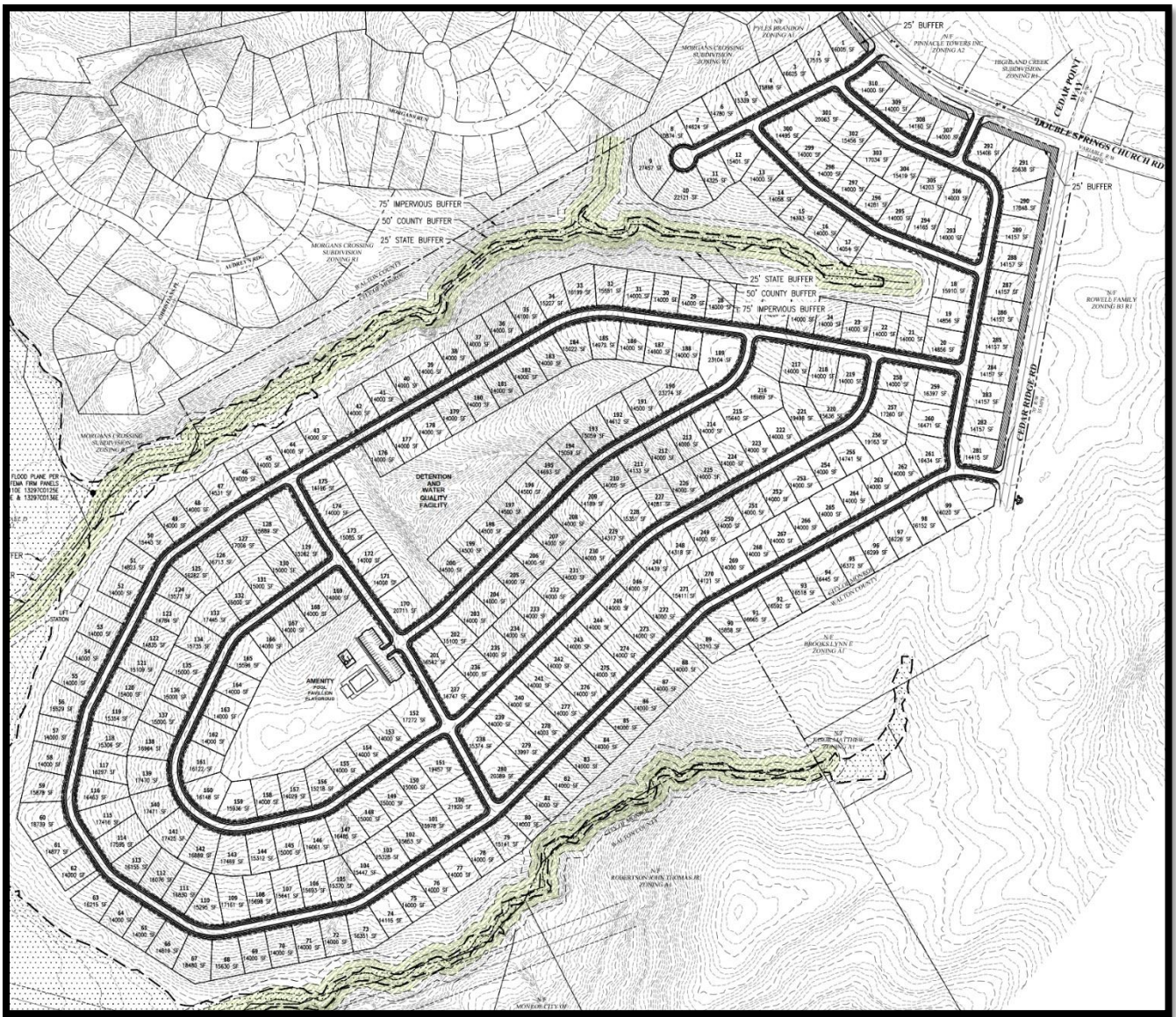


Figure 4 – Site Plan

Trip Generation

Trip generation is an estimate of the number of entering and exiting vehicular trips that will be generated by the proposed development. The volume of traffic that will be generated by the proposed subdivision was calculated using the equations in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 10th Edition with Supplement* (the current edition). The trip generation for the subdivision used ITE Land Use 210 – Single-Family Detached Housing. The trip generation for the project is presented in Table 4.

Table 4 – Proposed River Pointe Subdivision Trip Generation

Land Use	ITE Code	Size	A.M. Peak Hour			P.M. Peak Hour			24-Hour		
			In	Out	Total	In	Out	Total	In	Out	Total
Single-Family Housing	210	310 houses	56	169	225	190	111	301	1,472	1,472	2,944

The proposed subdivision will generate 225 new trips in the a.m. peak hour, 301 new trips in the p.m. peak hour, and 2,944 new daily trips.

Trip Distribution and Assignment

The trip distribution percentages indicate what proportion of the project's trips will travel to and from various directions. The trip distribution percentages for the residential development were developed based on the locations and proximity of likely trip origins and destinations, such as employment centers, retail and offices, and schools in the area. The new project trips, shown in Table 4, were assigned to the roadway network based on the distribution percentages. The trip distribution percentages and the a.m. and p.m. peak hour trips expected to be generated by the proposed subdivision are shown in Figure 5.

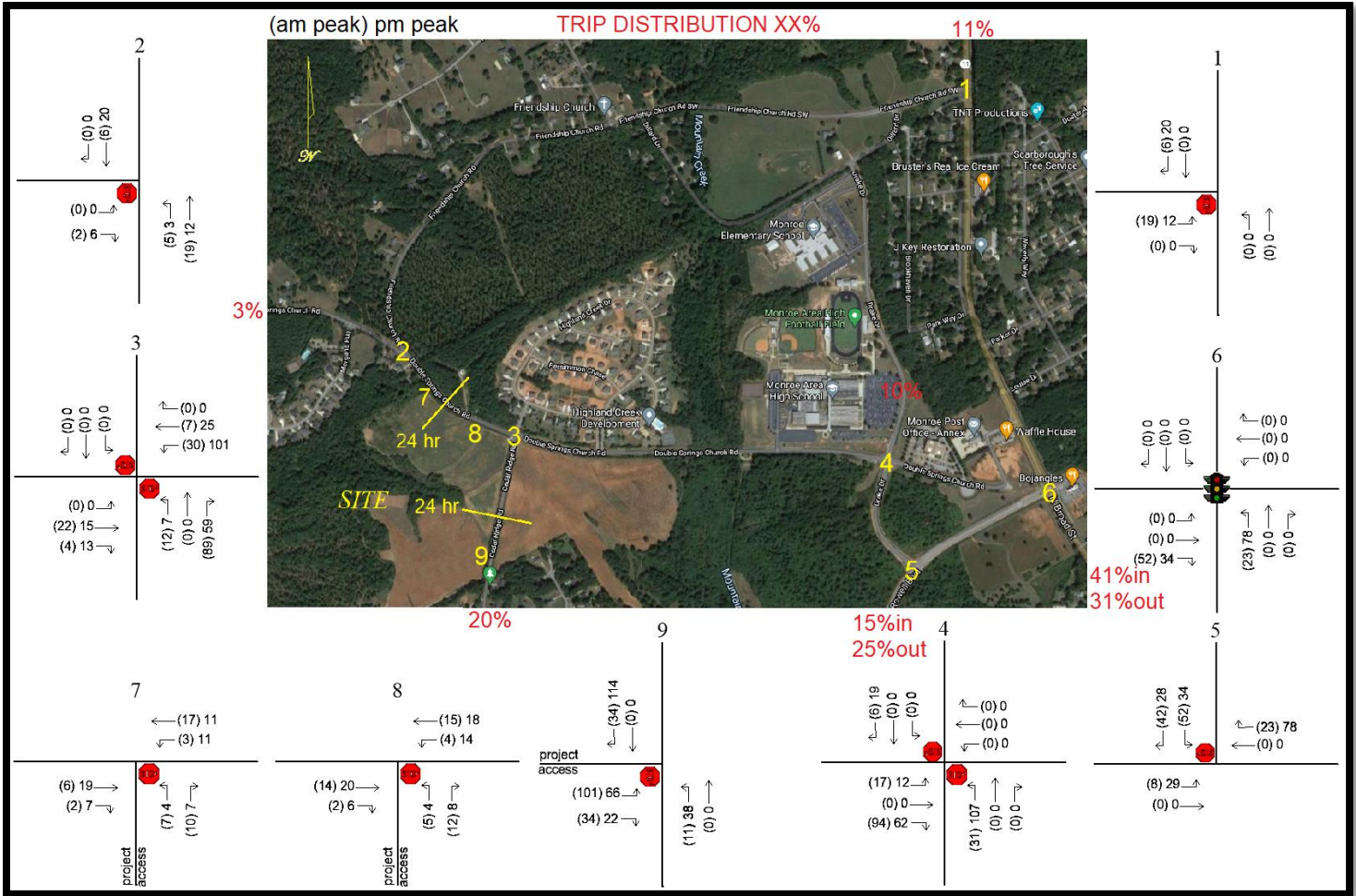


Figure 5 – Weekday A.M. and P.M. Peak Hour Project Trips and Trip Distribution Percentages

Future Traffic Conditions

The future build volumes consist of the no-build volumes plus the trips that will be generated by the proposed subdivision. The future volumes are shown in Figure 6.

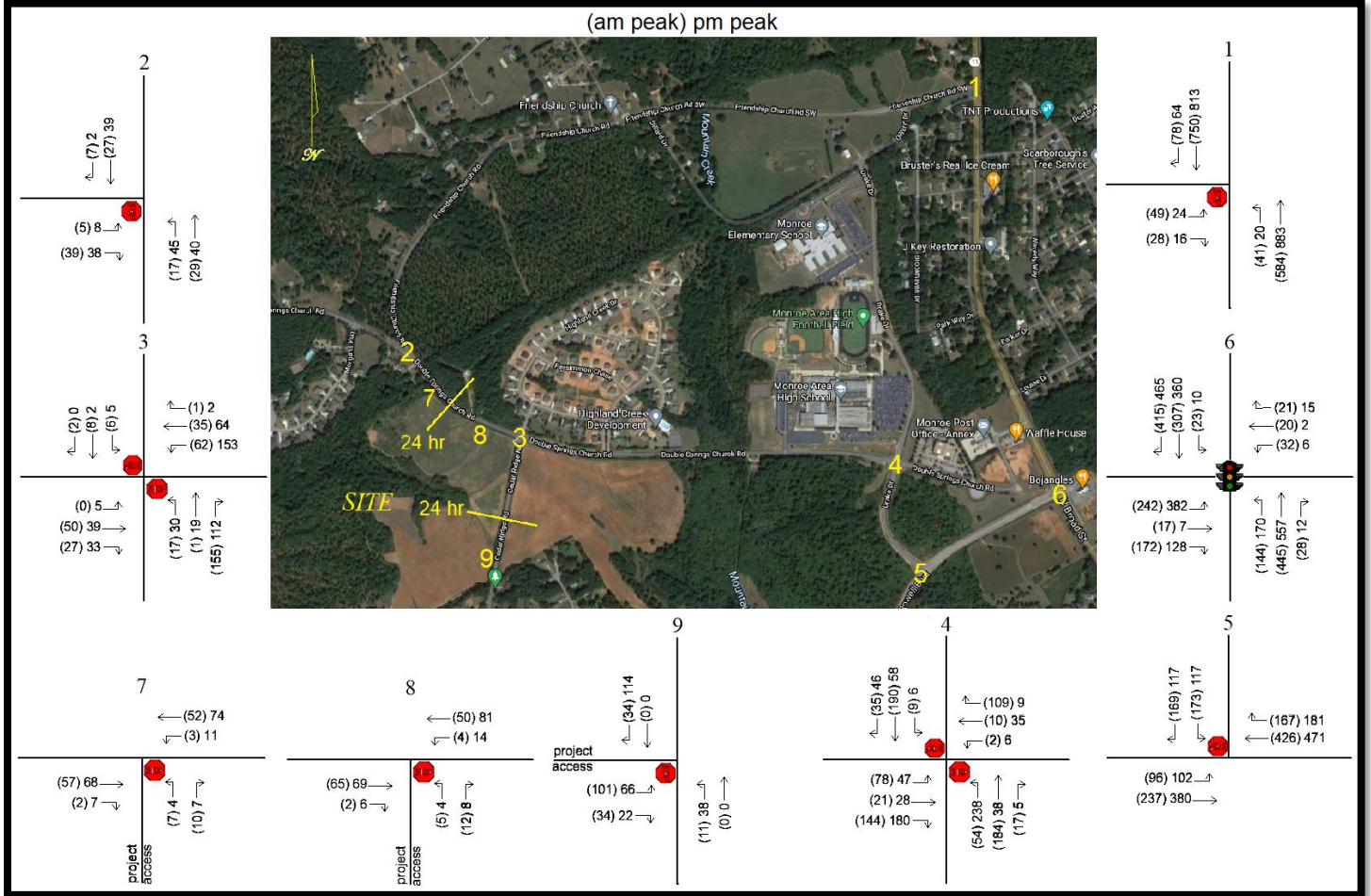


Figure 6 – Future Weekday A.M. and P.M. Peak Hour Volumes

Auxiliary Lanes at Project Accesses

The layout of the site will make the project access on Cedar Ridge Road function as the main access, and the higher volumes will enter and exit at that location. It is recommended that a southbound right turn lane be built on Cedar Ridge Road to serve this access. A northbound left turn lane is not considered essential due to the moderate through volumes on Cedar Ridge Road. Based on the exiting volumes, it is recommended that separate left and right turn lanes be built exiting the project here, with at least one inbound lane. The exiting approach should be controlled by side street stop sign and accompanying stop bar.

The project accesses on Double Springs Church Road will see more moderate volumes and, therefore, exclusive left and right turn lanes are not necessary for acceptable operations. These accesses should each be built with one entering and one exiting lane and the exiting approaches should be controlled by side street stop sign and accompanying stop bar.

Future Intersection Operations

An operational analysis was performed for the anticipated future project build-out, at the study intersections. Table 5 presents the results of the future analysis. Computer printouts containing detailed results of the future analysis are located in Appendix E. Levels of service and delays are provided for the overall intersection and for each controlled approach or movement. Locations that operate unacceptably (LOS E or LOS F) are presented in bold type.

Table 5 – Future Intersection Operations

Intersection / Approach	A.M. Peak Hour		P.M. Peak Hour	
	LOS	Delay (s/veh)	LOS	Delay (s/veh)
1. GA 11 at Friendship Church Rd	A	9.6	A	1.8
northbound left turn	B	10.1	A	10.0
eastbound approach	F	119.7	F	63.2
2. Dbl Springs Church Rd at Friendship Church Rd	A	4.7	A	4.4
northbound left turn	A	7.4	A	7.5
eastbound approach	A	9.0	A	9.1
3. Dbl Springs Church Rd at Cedar Ridge Rd / Cedar Pt Way	A	6.6	A	7.7
northbound approach	B	10.3	B	13.2
southbound approach	B	12.8	C	17.5
eastbound left turn	A	7.3	A	7.4
westbound left turn	A	7.6	A	7.8
4. Dbl Springs Church Rd at Drake Dr	D*	52.5	B	11.0
northbound left/through	E	58.1	C	22.4
northbound right turn	E	58.1	A	8.5
southbound left/through	E	65.2	B	14.5
southbound right turn	E	65.2	A	9.0
eastbound left turn	D	37.2	A	7.6
westbound left turn	D	40.9	A	7.8
5. GA 138 at Drake Dr	A	9.0	A	6.6
southbound left turn	E	48.4	F	51.9
southbound right turn	B	13.8	B	13.4
eastbound left turn	A	9.5	A	9.7
6. GA 11 at GA 138 / Bojangles Access	B	18.4	C	24.9
northbound approach	B	10.6	B	15.9
southbound approach	C	24.7	D	35.0
eastbound approach	B	19.3	C	22.6
westbound approach	B	16.7	B	15.2
7. Dbl Springs Church Rd at Project West Access	A	2.4	A	2.2
northbound approach (exiting project)	A	9.1	A	9.3
westbound left turn (entering project)	A	7.4	A	7.4
8. Dbl Springs Church Rd at Project East Access	A	2.4	A	2.2
northbound approach (exiting project)	A	9.1	A	9.3
westbound left turn (entering project)	A	7.4	A	7.4
9. Cedar Ridge Rd at Project Access	A	4.5	A	3.0
northbound left turn (entering project)	A	7.5	A	7.8
eastbound left turn (exiting project)	B	10.6	B	11.4
eastbound right turn (exiting project)	A	8.9	A	8.8

*intersection controlled by police and modeled as signal control in the a.m. peak

The future analysis reveals operations comparable to the no-build condition at most locations. However, there will be some deterioration at a few key locations:

At the GA 11 / Friendship Church intersection, the side street approach will drop to LOS F in the p.m. (it dropped to LOS F in the a.m. in the no-build). The volumes will continue to be unlikely sufficient to satisfy any volume-based warrants for signalization. No mitigation is identified here.

The delays at the Double Springs Church / Drake intersection are present in the morning peak due to a convergence of normal heavy morning traffic, coupled with the heavy school arrival / drop off traffic. This peaking is very acute and a police officer controls this intersection in the morning. A change in control here merits consideration. Options that would operate well include 1) changing the side street stop control to the Double Springs Church Road approaches and allowing the northbound and southbound approaches to be uncontrolled, 2) changing the control to an all-way stop, or 3) installing a roundabout. It is recommended that these options be investigated further by the City.

The side street delays on Drake at GA 138 will increase and by the future condition, this intersection merits consideration for signalization. In order to pursue signalization, a signal warrant analysis would be required to evaluate the criteria for signalization set forth in the Federal Highway Administration's *Manual on Uniform Traffic Control Devices* (MUTCD). These are the standards required by the Georgia DOT for signalization on state routes.

The two other study intersections and all project accesses are expected to operate well in the future condition. No mitigation is recommended at these locations other than the lane configuration and control recommended, above, for each access.

Conclusions and Recommendations

This study assesses the traffic impact of a proposed residential subdivision in the City of Monroe, Walton County, Georgia. The site is located along the south side of Double Springs Church Road and the west side of Cedar Ridge Road, with one proposed access on Cedar Ridge Road and two proposed accesses on Double Springs Church Road. The site will be developed with 310 single-family homes. The following are the findings and recommendations of this study:

1. The existing analysis reveals generally acceptable traffic operations at the study intersections. Two locations experience high delays, the eastbound approach from Friendship Church Road at GA 11 and the southbound left turn from Drake Drive at GA 138. Both intersections are considered a weak candidates for signalization at the present time. Therefore, no mitigation is identified for the existing condition.
2. Traffic volume growth trends in this area have been flat on the state routes and positive and moderate on the local roads, and this is expected to continue into the future.
3. A programmed infrastructure project that will effect traffic patterns and volumes in this area is the construction of a new ramp from southbound GA 138 to westbound US 78. This ramp will increase the westbound through volume on GA 138, which will tend to increase delays at the GA 138 / Drake intersection. However, these delays will be generally offset by the shift in volumes from the more-challenging southbound left turn to the easier right turn from Drake.
4. No-build operations at the study intersections will be comparable to the existing. Therefore, no mitigation is identified for the no-build condition.
5. The proposed subdivision will generate 225 new trips in the a.m. peak hour, 301 new trips in the p.m. peak hour, and 2,944 new daily trips.
6. The future analysis reveals operations comparable to the no-build condition at most locations.
 - a. At the GA 11 / Friendship Church intersection, the side street approach will drop to LOS F in the p.m. (it dropped to LOS F in the a.m. in the no-build). The volumes will continue to be unlikely sufficient to satisfy any volume-based warrants for signalization. No mitigation is identified here.
 - b. At the Double Springs Church / Drake intersection, a change in control merits consideration. Options that would operate well include 1) changing the side street stop control to the Double Springs Church Road approaches and allowing the northbound and southbound approaches to be uncontrolled, 2) changing the control to an all-way stop, or 3) installing a roundabout. It is recommended that these options be investigated further by the City.
 - c. The GA 138 / Drake intersection merits consideration for signalization by the future condition. A signal warrant analysis would be required to determine if and when signalization is appropriate.

- d. The two other study intersections and all project accesses are expected to operate well in the future condition. No mitigation is recommended at these locations other than the lane configuration and control recommended for each access.
7. The project access on Cedar Ridge Road will function as the main access, and the higher volumes will enter and exit at that location. It is recommended that a southbound right turn lane be built on Cedar Ridge Road to serve this access. A northbound left turn lane is not considered essential due to the moderate through volumes on Cedar Ridge Road. Based on the exiting volumes, it is recommended that separate left and right turn lanes be built exiting the project here, with at least one inbound lane. The exiting approach should be controlled by side street stop sign and accompanying stop bar.
8. The project accesses on Double Springs Church Road will see more moderate volumes and, therefore, exclusive left and right turn lanes are not necessary for acceptable operations. The accesses should each be built with one entering and one exiting lane and the exiting approaches should be controlled by side street stop sign and accompanying stop bar.
9. The project civil engineer should comply with applicable access design standards including sight distances, driveway spacing, turn lane storage and taper lengths, turn radii, roadway widths, and grades.

August 19th, 2021

Brad Callener
City Planner
City of Monroe
215 N Broad Street
Monroe, GA 30655

River Pointe Impact Study

This data was gathered to present the impacts of a proposed 310 lot subdivision located in the City of Monroe. The subdivision will be located at the SW quadrant of the intersection of Double Springs Church Road and Cedar Ridge Road.

Project Information:

Subdivision Name: River Pointe
Zoning: R1
Proposed Lots: 310

Water Usage:

Rate: 400 GPD/Unit (EPD standard)
Usage: $400 \times 310 = 124,000 \text{ GPD} = 0.124 \text{ MGD}$

Waste Water Disposal:

Rate: 400 GPD/Unit (EPD standard)
Usage: $400 \times 310 = 124,000 \text{ GPD} = 0.124 \text{ MGD}$

School Student Impact:

Rate: 0.725 students per household (Metro Atlanta Standard)
Generation: $0.725 \times 310 = 225 \text{ students}$

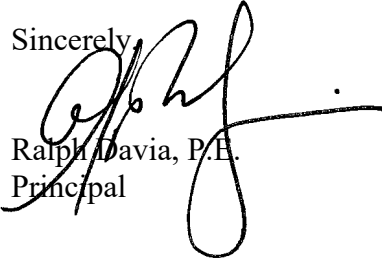
Solid Waste Disposal:

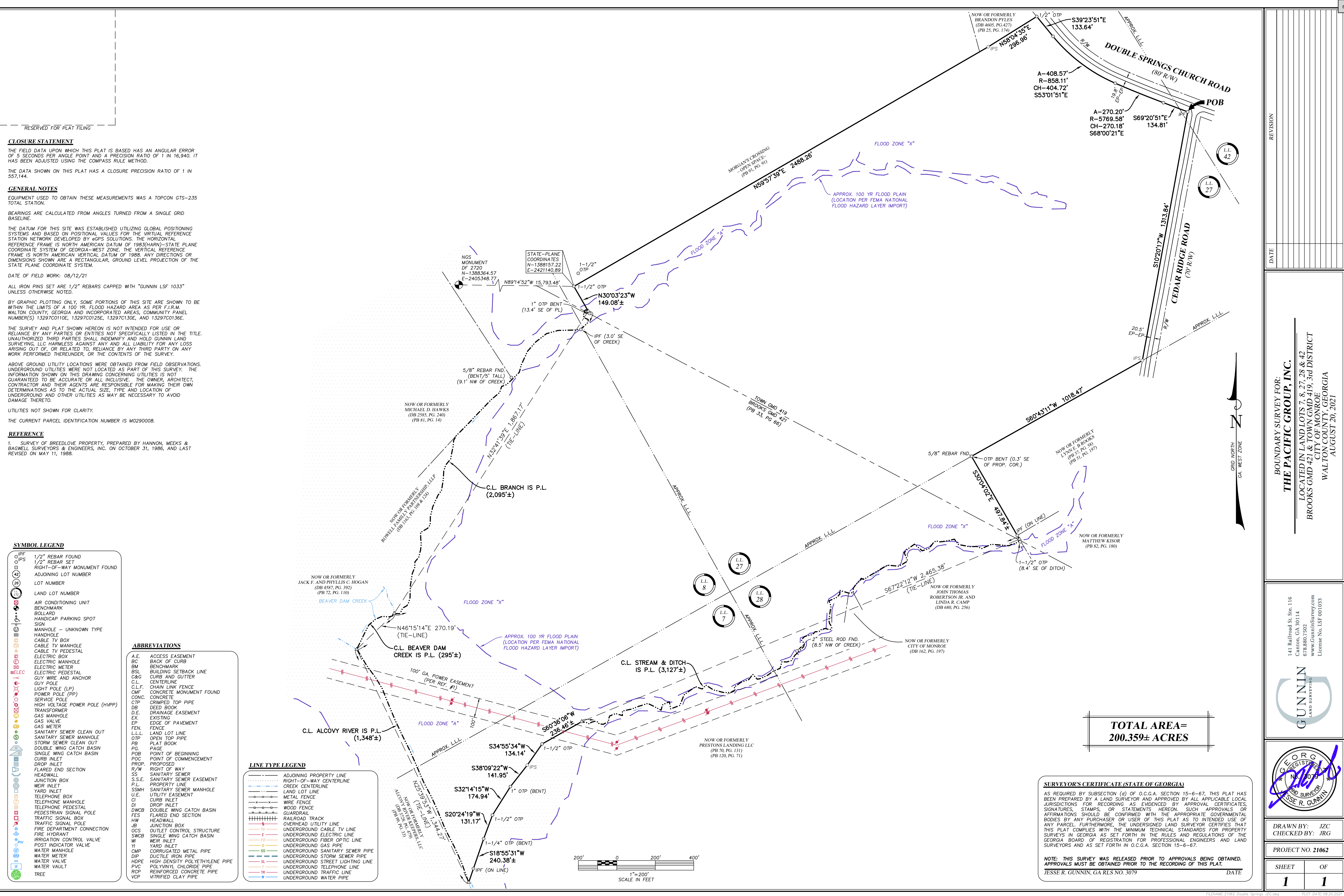
Rate: 20 lbs/unit per day (EPD Standard)
Generation: $20 \times 310 = 6,200 \text{ lbs/day}$ or 1132 ton/year

Traffic Study: See attached

Please do not hesitate to call me at 770-355-8070 should you require any additional information.

Sincerely,


Ralph Davia, P.E.
Principal



CLOSURE STATEMENT
 THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS AN ANGULAR ERROR OF 5 SECONDS PER ANGLE POINT AND A PRECISION RATIO OF 1 IN 16,940. IT HAS BEEN ADJUSTED USING THE COMPASS RULE METHOD.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF 1 IN 557,144.

GENERAL NOTES
 EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A TOPCON GTS-235 TOTAL STATION.

BEARINGS ARE CALCULATED FROM ANGLES TURNED FROM A SINGLE GRID BASELINE.

THE DATUM FOR THIS SITE WAS ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEMS AND BASED ON POSITIONAL VALUES FOR THE VIRTUAL REFERENCE STATION NETWORK DEVELOPED BY GPS SOLUTIONS. THE HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(HARN)-STATE PLANE COORDINATE SYSTEM OF GEORGIA-WEST ZONE. THE VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988. ANY DIRECTIONS OR DIMENSIONS SHOWN ARE A RECTANGULAR, GROUND LEVEL PROJECTION OF THE STATE PLANE COORDINATE SYSTEM.

DATE OF FIELD WORK: 08/12/21

ALL IRON PINS SET ARE 1/2" REBARS CAPPED WITH "GUNNIN LSF 1033" UNLESS OTHERWISE NOTED.

BY GRAPHIC PLOTTING ONLY, SOME PORTIONS OF THIS SITE ARE SHOWN TO BE WITHIN THE LIMITS OF A 100 YR. FLOOD HAZARD AREA AS PER F.I.R.M. WALTON COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER(S) 13297C0110E, 13297C0129E, 13297C130E, AND 13297C0136E.

THE SURVEY AND PLAT SHOWN HEREON IS NOT INTENDED FOR USE OR RELIANCE BY ANY PARTIES OR ENTITIES NOT SPECIFICALLY LISTED IN THE TITLE. UNAUTHORIZED THIRD PARTIES SHALL INDEMNIFY AND HOLD GUNNIN AND SURVEYING, LLC HARMLESS AGAINST ANY AND ALL LIABILITY FOR ANY LOSS ARISING OUT OF, OR RELATED TO, RELIANCE BY ANY THIRD PARTY ON ANY WORK PERFORMED THEREUNDER, OR THE CONTENTS OF THE SURVEY.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. UNDERGROUND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY. THE INFORMATION SHOWN ON THIS DRAWING CONCERNING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE OWNER, ARCHITECT, CONTRACTOR AND THEIR AGENTS ARE RESPONSIBLE FOR MAKING THEIR OWN DETERMINATIONS AS TO THE ACTUAL SIZE, TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

UTILITIES NOT SHOWN FOR CLARITY.

THE CURRENT PARCEL IDENTIFICATION NUMBER IS M0290008.

REFERENCE
 1. SURVEY OF BREEDLOVE PROPERTY, PREPARED BY HANNON, MECKS & BAGWELL SURVEYORS & ENGINEERS, INC. ON OCTOBER 31, 1986, AND LAST REVISED ON MAY 11, 1988.

SYMBOL LEGEND

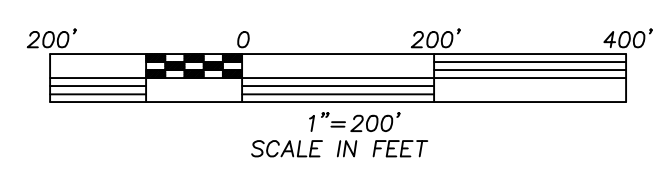
1/2" REBAR FOUND
1/2" REBAR SET
RIGHT-OF-WAY MONUMENT FOUND
ADJOINING LOT NUMBER
LOT NUMBER
LAND LOT NUMBER
AIR CONDITIONING UNIT
BENCHMARK
BOLLARD
HANDICAP PARKING SPOT
SIGN
MANHOLE - UNKNOWN TYPE
HANDHOLE
CABLE TV BOX
CABLE TV MANHOLE
CABLE TV PEDESTAL
ELECTRIC BOX
ELECTRIC MANHOLE
ELECTRIC METER
ELECTRIC PEDESTAL
GUY WIRE AND ANCHOR
GUY POLE
LIGHT POLE (LP)
POWER POLE (PP)
SERVICE POLE
HIGH VOLTAGE POWER POLE (HVPP)
TRANSFORMER
GAS MANHOLE
GAS VALVE
GAS METER
SANITARY SEWER CLEAN OUT
SANITARY SEWER MANHOLE
STORM SEWER CLEAN OUT
DOUBLE WING CATCH BASIN
SINGLE WING CATCH BASIN
CURB INLET
DROP INLET
FLARED END SECTION
HEADWALL
JUNCTION BOX
WEIR INLET
YARD INLET
TELEPHONE BOX
TELEPHONE MANHOLE
TELEPHONE PEDESTAL
PEDESTRIAN SIGNAL POLE
TRAFFIC SIGNAL BOX
TRAFFIC SIGNAL POLE
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
IRRIGATION CONTROL VALVE
POST INDICATOR VALVE
WATER MANHOLE
WATER METER
WATER VALVE
WATER VAULT
TREE

ABBREVIATIONS

A.E.	ACCESS EASEMENT
BC	BACK OF CURB
BM	BENCHMARK
BSL	BUILDING SETBACK LINE
C&G	CURB AND GUTTER
C.L.	CENTERLINE
C.L.F.	CHAIN LINK FENCE
CONC.	CONCRETE
OTP	CRIMPED TOP PIPE
DB	DEED BOOK
D.E.	DRAINAGE EASEMENT
EX.	EXISTING
EP	EDGE OF PAVEMENT
FEN.	FENCE
L.L.	LAND LOT LINE
OTP	OPEN TOP PIPE
PLAT	PLAT BOOK
PG.	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PROP.	PROPOSED
R/W	RIGHT OF WAY
SS	SANITARY SEWER
S.S.E.	SANITARY SEWER EASEMENT
P.L.	PROPERTY LINE
SSMH	SANITARY SEWER MANHOLE
U.E.	UTILITY EASEMENT
CI	CURB INLET
DI	DROP INLET
DWCB	DOUBLE WING CATCH BASIN
FES	FLARED END SECTION
HW	HEADWALL
JB	JUNCTION BOX
OCS	OUTLET CONTROL STRUCTURE
SWCB	SINGLE WING CATCH BASIN
WI	WEIR INLET
YI	YARD INLET
CMP	CORRUGATED METAL PIPE
DIP	DUCTILE IRON PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VCP	VITRIFIED CLAY PIPE

LINE TYPE LEGEND

ADJOINING PROPERTY LINE
RIGHT-OF-WAY CENTERLINE
CREEK CENTERLINE
LAND LOT LINE
METAL FENCE
WIRE FENCE
WOOD FENCE
RAILROAD TRACK
OVERHEAD UTILITY LINE
UNDERGROUND CABLE TV LINE
UNDERGROUND ELECTRIC LINE
UNDERGROUND FIBER OPTIC LINE
UNDERGROUND GAS PIPE
UNDERGROUND SANITARY SEWER PIPE
UNDERGROUND STORM SEWER PIPE
UNDERGROUND STREET LIGHTING LINE
UNDERGROUND TELEPHONE LINE
UNDERGROUND TRAFFIC LINE
UNDERGROUND WATER PIPE



TOTAL AREA= 200.359± ACRES

SURVEYOR'S CERTIFICATE (STATE OF GEORGIA)
 AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

NOTE: THIS SURVEY WAS RELEASED PRIOR TO APPROVALS BEING OBTAINED. APPROVALS MUST BE OBTAINED PRIOR TO THE RECORDING OF THIS PLAT.

JESSE R. GUNNIN, GA RLS NO. 3079 DATE

REVISION
DATE

BOUNDARY SURVEY FOR:
THE PACIFIC GROUP, INC.
 LOCATED IN LAND LOTS 7, 8, 27, 28 & 42
 BROOKS GMD 421 & TOWN GMD 419, 3rd DISTRICT
 CITY OF MONROE
 WALTON COUNTY, GEORGIA
 AUGUST 20, 2021

141 Railroad St., Ste. 116
 Canton, GA 30114
 678.880.7502
 www.GunninSurvey.com
 License No. LSF 001033



DRAWN BY: JZC
 CHECKED BY: JRJ

PROJECT NO. 21062

SHEET	OF
1	1

DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINTE
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 3RD
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING: UNCHANGED
 TOTAL AREA: 200.04 ACRES
 PROPOSED LOTS: 310
 DENSITY: 310 UNITS/200.40 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE= 15% OR 30.01 AC
 PROPOSED OPEN SPACE= 28% OR 28.50 AC

PROPOSED STREET WIDTH = 28' BOC-BOC

PROPOSED ROW WIDTH = 50'

SETBACKS: FRONT = 30'
 SIDE = 10'
 REAR = 25'

MIN LOT AREA: 14,000 SF
 MIN LOT WIDTH: 100' AT BUILDING LINE
 MIN LOT FRONTAGE: 75'

OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE, GA 30655
 TELEPHONE: (770) 3186153

DEVELOPER: THE PACIFIC GROUP
 ADDRESS: 5755 DUPREE DRIVE, ATLANTA, GA 30327
 TELEPHONE: (678) 603-8267

ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374, ALPHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

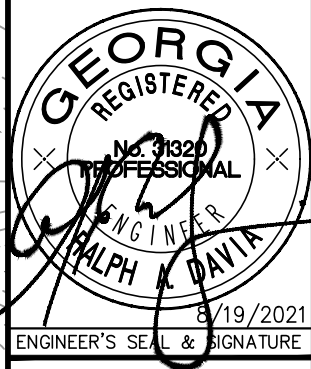
UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION.
 SEWER: SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA 6IN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMPs AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.

REVISIONS	DATE	DESCRIPTION
84	8/2/2022	PRELIMINARY PLAT SUBMITAL
	8/19/2021	PRELIMINARY PLAT SUBMITAL #2

CLIENT: **THE PACIFIC GROUP INC.**
 5755 DUPREE DR., NW #130, ATLANTA, GA 30327 678.603.8267
 24 HOUR EMERGENCY CONTACT: RICHARD COOPER 678.603.8267

CLIENT: **GREYDEN ENGINEERING**
 12460 CRABAPPLE ROAD, STE 202-374, ALPHARETTA, GA 30004
 PH: 770-573-4801 FAX: 678-302-6362



OVERALL SITE PLAN FOR **RIVER POINTE**
 LOCATED IN LAND LOTS 7, 8, 27 & 28, 3RD DISTRICT, 2ND SECTION, CITY OF MONROE, WALTON COUNTY, GEORGIA
PRELIMINARY PLAT

DATE	7/26/21
JOB NO.	21-028
DRAWN	RAD
CHECKED	RAD
SCALE	AS NOTED
SHEET:	PP-1

AUTHORIZATION STATEMENT

I HEREBY SUBMIT THIS PRELIMINARY PLAT AS AUTHORIZED AGENT/OWNER OF ALL PROPERTY SHOWN THEREON, AND CERTIFY THAT ALL CONTIGUOUS PROPERTY UNDER MY OWNERSHIP OR CONTROL IS INCLUDED WITHIN THE BOUNDARY OF THIS PRELIMINARY PLAT, AS REQUIRED BY THE DEVELOPMENT REGULATIONS.

SIGNATURE OF AUTHORIZED AGENT/OWNER: _____ DATE: 8/19/2021

CERTIFICATION OF APPROVAL BY THE CODE ENFORCEMENT OFFICE

THIS PRELIMINARY PLAT HAS BEEN REVIEWED AND APPROVED FOR GENERAL COMPLIANCE WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATION OF THE CITY OF MONROE.

CODE ENFORCEMENT OFFICER: _____ DATE: _____

CERTIFICATE OF APPROVAL BY PLANNING COMMISSION

THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE PLANNING COMMISSION. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL.

DATED THIS _____ DAY OF _____, 20____
 BY: _____ CHAIRMAN
 BY: _____ SECRETARY

CERTIFICATE OF APPROVAL BY MONROE WATER & GAS DEPARTMENT

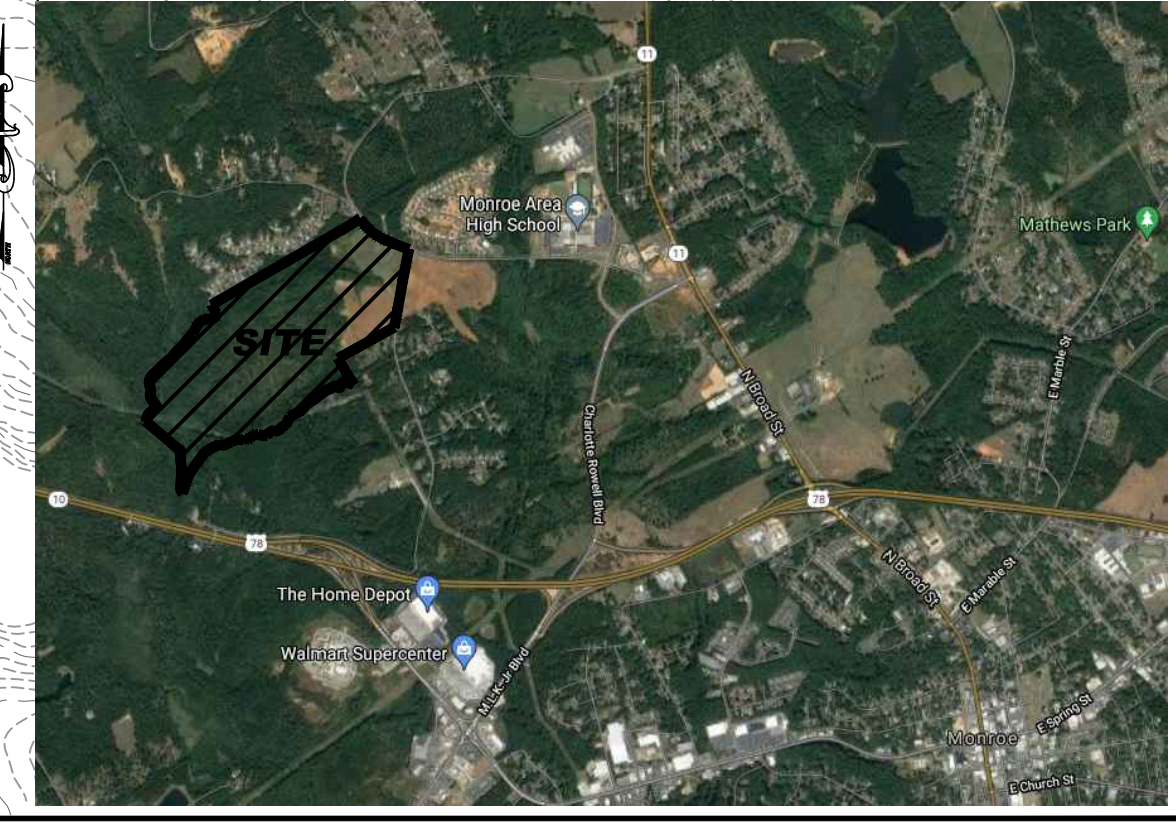
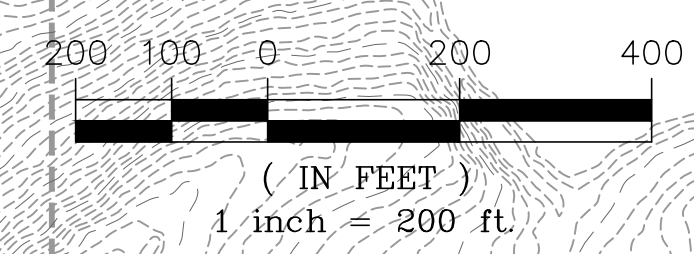
THE LOTS SHOWN HEREON AND PLANS FOR WATER AND SEWAGE COLLECTION AND DISPOSAL HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF MONROE WATER & GAS DEPARTMENT, AND WITH THE EXCEPTION OF LOTS ARE APPROVED FOR DEVELOPMENT.

DATED THIS _____ DAY OF _____, 20____
 BY: _____
 TITLE: _____

CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL

THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL.

DATED THIS _____ DAY OF _____, 20____
 BY: _____ MAYOR
 BY: _____ CITY CLERK



DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINTE
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 3RD
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING: UNCHANGED
 TOTAL AREA: 200.04 ACRES
 PROPOSED LOTS: 310
 DENSITY: 310 UNITS/200.04 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE= 15% OR 30.01 AC
 PROPOSED OPEN SPACE= 28% OR 28.50 AC

PROPOSED STREET WIDTH = 28' BOC-BOC
 PROPOSED ROW WIDTH = 50'

SETBACKS: FRONT = 30'
 SIDE = 10'
 REAR = 25'

MIN LOT AREA: 14,000 SF
 MIN LOT WIDTH: 100' AT BUILDING LINE
 MIN LOT FRONTAGE: 75'

OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE, GA 30655
 TELEPHONE: (770) 3186153

DEVELOPER: THE PACIFIC GROUP
 ADDRESS: 5755 DUPREE DRIVE, ATLANTA, GA 30327
 TELEPHONE: (678) 603-8267

ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374, ALPHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION. SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA 6IN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

SEWER:

UNDISTURBED BUFFER

ZONE A FLOOD PLAIN

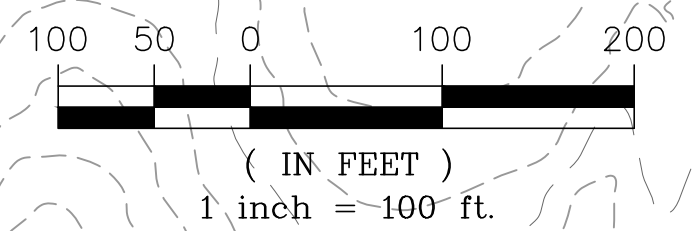
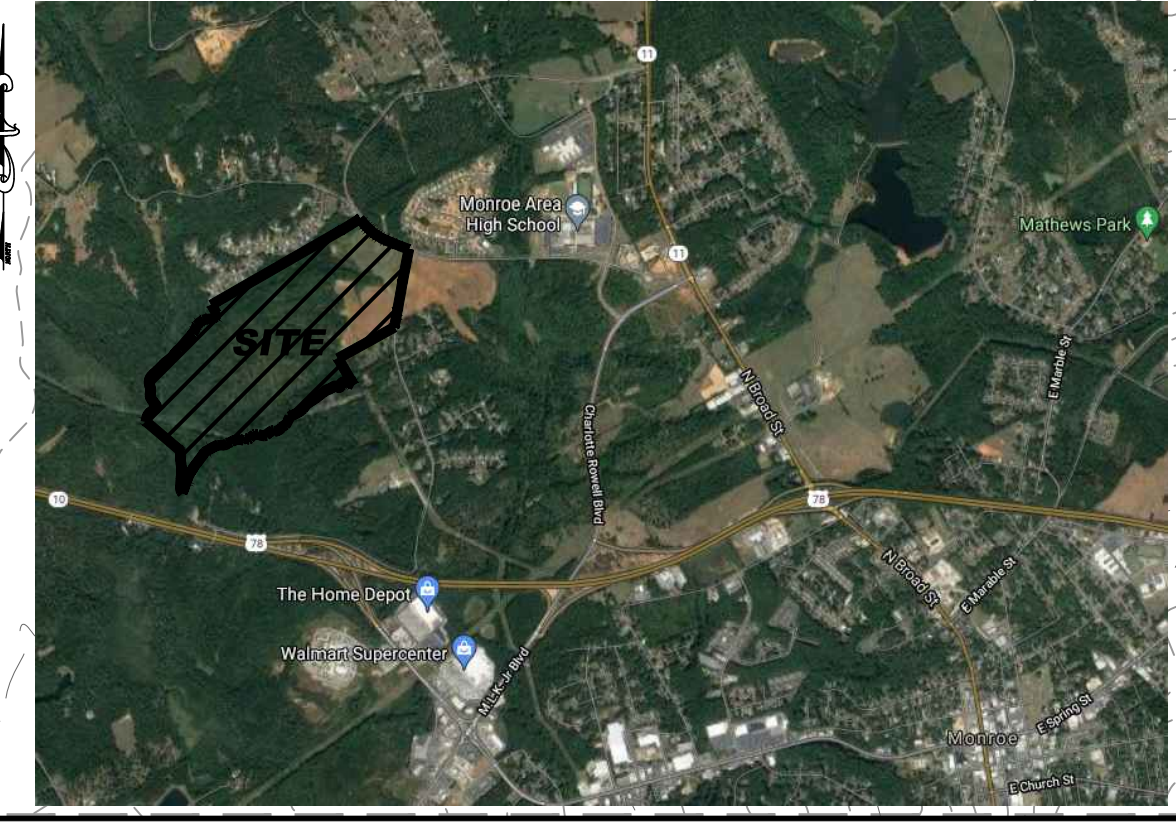
DRAINAGE EASEMENT

SANITARY SEWER EASEMENT

WETLAND AREAS

ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

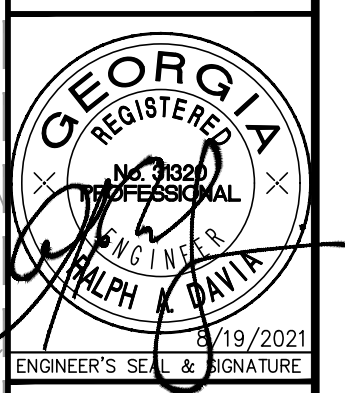
HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMPs AND AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.



REVISIONS	DATE	DESCRIPTION
85	8/2/2021	PRELIMINARY PLAT SUBMITTAL
84	6/19/2020	PRELIMINARY PLAT SUBMITTAL

CLIENT: **THE PACIFIC GROUP INC.**
 5755 DUPREE DR., NW #130, ATLANTA, GA 30327 678.603.8267
 24 HOUR EMERGENCY CONTACT: RICHARD COOPER 678.603.8267

ENGINEER: **GREYDEN ENGINEERING**
 12460 CRABAPPLE ROAD, STE 202-374 ALPHARETTA, GA 30004
 PH: 770-573-4801 FAX: 678-302-6362



SITE PLAN FOR RIVER POINTE PRELIMINARY PLAT
 LOCATED IN LAND LOTS 7, 8, 27 & 28, 3RD DISTRICT, 2ND SECTION CITY OF MONROE, WALTON COUNTY, GEORGIA

DATE	7/26/21
JOB NO.	21-028
DRAWN	RAD
CHECKED	RAD
SCALE	AS NOTED
SHEET:	PP-2

DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINT
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 36D
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING: UNCHANGED
 TOTAL AREA = 200.04 ACRES
 PROPOSED LOTS = 310
 DENSITY: 310 UNITS/200.40 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE = 15% OR 30.01 AC
 PROPOSED OPEN SPACE = 28% OR 28.50 AC
 PROPOSED STREET WIDTH = 28' BOC-BOC
 PROPOSED ROW WIDTH = 50'

OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE GA 30655
 TELEPHONE: (770) 3186153

DEVELOPER: THE PACIFIC GROUP
 ADDRESS: 5755 DUPREE DRIVE, ATLANTA, GA 30327
 TELEPHONE: (678) 603-8267

ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374, APLHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

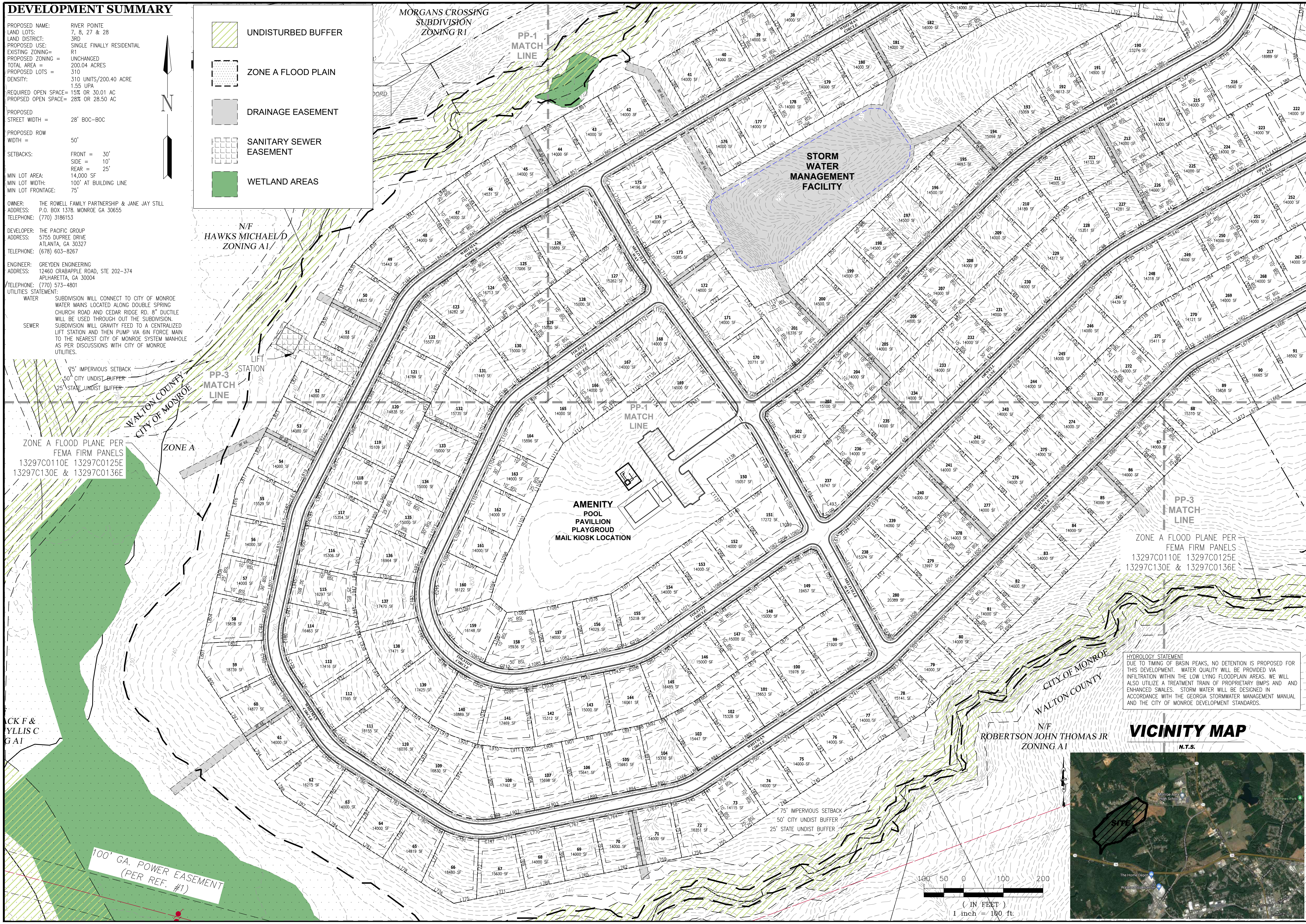
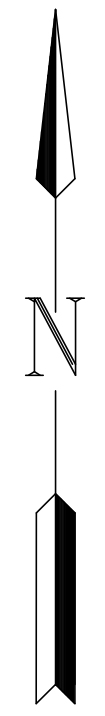
UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION. SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA GIN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

SEWER: 75' IMPERVIOUS SETBACK
 50' CITY UNDIST BUFFER
 25' STATE UNDIST BUFFER

ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

LEGEND

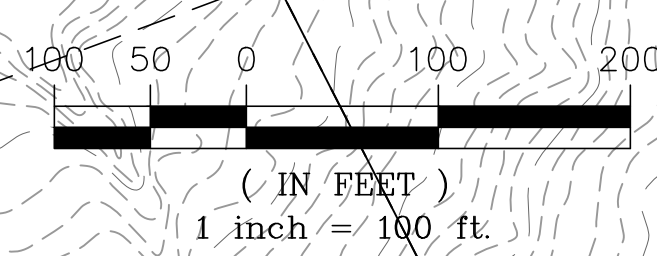
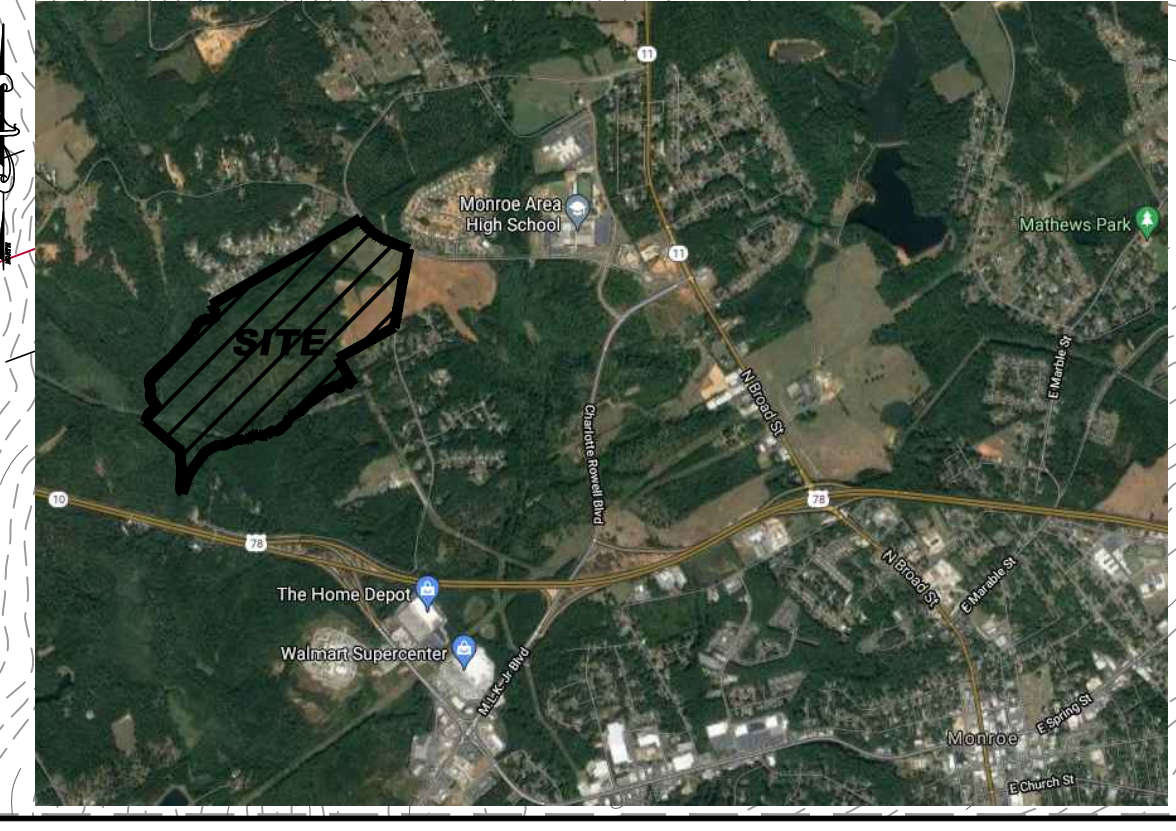
- UNDISTURBED BUFFER
- ZONE A FLOOD PLAIN
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- WETLAND AREAS



ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

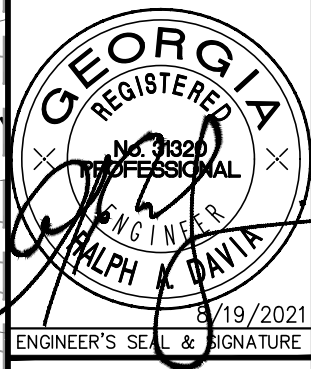
HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMS AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.

VICINITY MAP
 N.T.S.



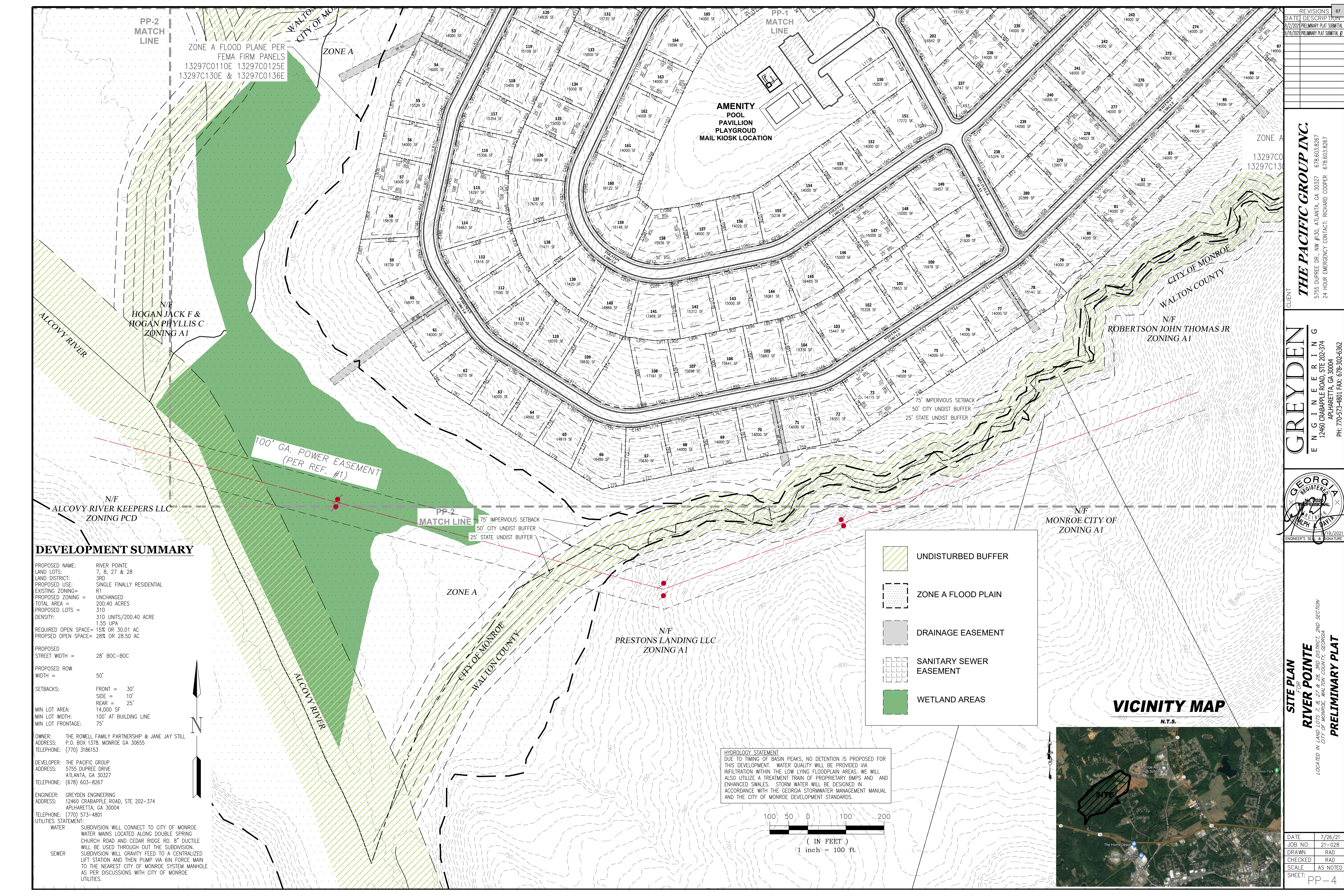
REVISIONS	DATE	DESCRIPTION
1	8/2/2021	PRELIMINARY PLAT SUBMITTAL
2	8/19/2021	PRELIMINARY PLAT SUBMITTAL

CLIENT
 THE PACIFIC GROUP INC.
 5755 DUPREE DR., NW #130, ATLANTA, GA 30327 678.603.8267
 24 HOUR EMERGENCY CONTACT: RICHARD COOPER 678.603.8267



SITE PLAN FOR
RIVER POINT
 LOCATED IN LAND LOTS 7, 8, 27 & 28, 3RD DISTRICT, 2ND SECTION CITY OF MONROE, WALTON COUNTY, GEORGIA
PRELIMINARY PLAT

DATE	7/26/21
JOB NO.	21-028
DRAWN	RAD
CHECKED	RAD
SCALE	AS NOTED
SHEET:	PP-3



ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

N/F HOGAN JACK F & HOGAN PHYLLIS C ZONING A1

N/F ALCOVY RIVER KEEPERS LLC ZONING PCD

PP-2 MATCH LINE 75' IMPERVIOUS SETBACK 50' CITY UNDIST BUFFER 25' STATE UNDIST BUFFER

N/F MONROE CITY OF ZONING A1

N/F PRESTONS LANDING LLC ZONING A1

N/F ROBERTSON JOHN THOMAS JR ZONING A1

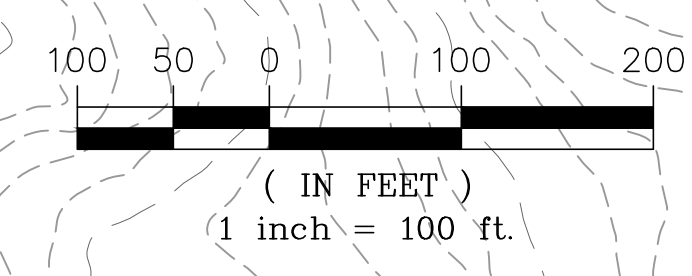
DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINTE
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 3RD
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING: UNCHANGED
 TOTAL AREA: 200.40 ACRES
 PROPOSED LOTS: 310
 DENSITY: 310 UNITS/200.40 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE: 15% OR 30.01 AC
 PROPOSED OPEN SPACE: 28% OR 28.50 AC
 PROPOSED STREET WIDTH: 28' BOC-BOC
 PROPOSED ROW WIDTH: 50'
 SETBACKS: FRONT = 30', SIDE = 10', REAR = 25'
 MIN LOT AREA: 14,000 SF
 MIN LOT WIDTH: 100' AT BUILDING LINE
 MIN LOT FRONTAGE: 75'

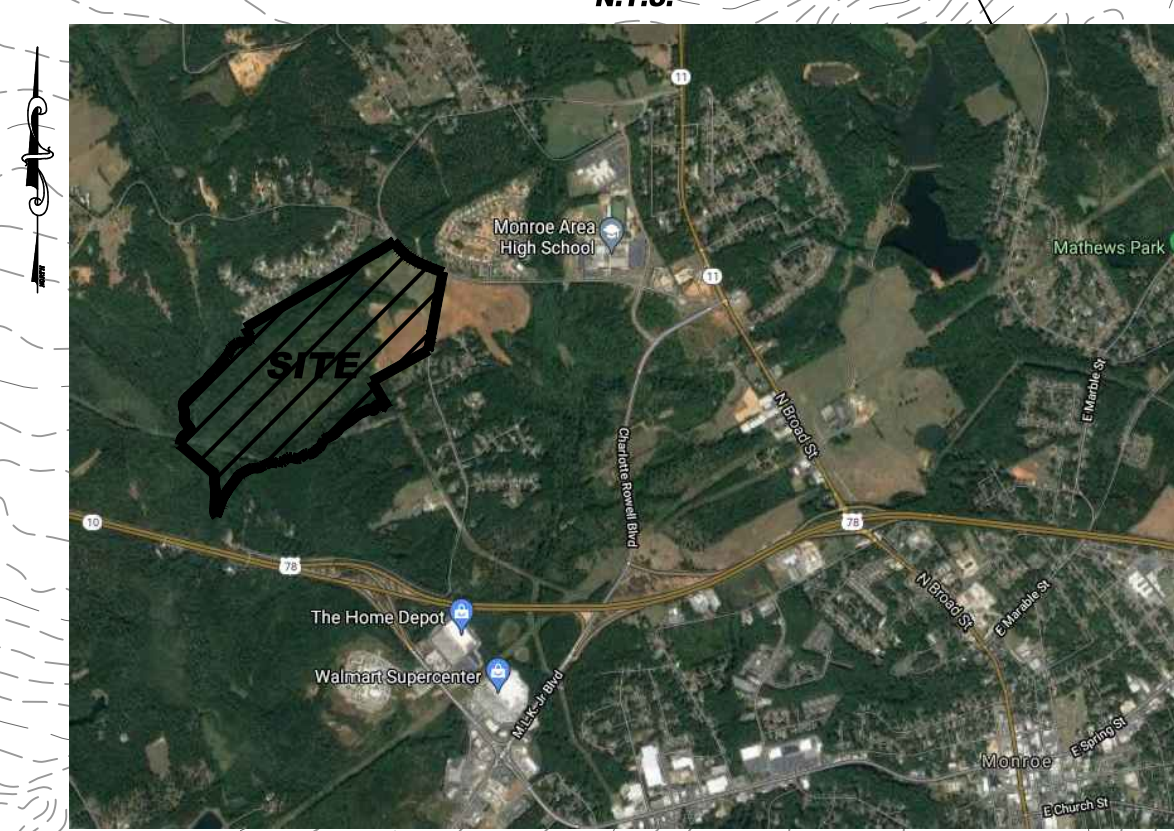
OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE GA 30655
 TELEPHONE: (770) 3186153
 DEVELOPER: THE PACIFIC GROUP
 ADDRESS: 5755 DUPREE DRIVE, ATLANTA, GA 30327
 TELEPHONE: (678) 603-8267
 ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374, APLHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION.
 SEWER: SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA GIN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMP'S AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.



	UNDISTURBED BUFFER
	ZONE A FLOOD PLAIN
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	WETLAND AREAS



REVISIONS	DESCRIPTION
87	
86	
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CLIENT: **THE PACIFIC GROUP INC.**
 5755 DUPREE DR., NW #130, ATLANTA, GA 30327 678.603.8267
 24 HOUR EMERGENCY CONTACT: RICHARD COOPER 678.603.8267

GREYDEN ENGINEERING
 12460 CRABAPPLE ROAD, STE 202-374
 APLHARETTA, GA 30004
 PH: 770-573-4801 FAX: 678-302-6362



SITE PLAN FOR RIVER POINTE PRELIMINARY PLAT
 LOCATED IN LAND LOTS 7, 8, 27 & 28, 3RD DISTRICT, 2ND SECTION CITY OF MONROE, WALTON COUNTY, GEORGIA

DATE	7/26/21
JOB NO.	21-028
DRAWN	RAD
CHECKED	RAD
SCALE	AS NOTED
SHEET:	PP-4

LINE #	LENGTH	DIRECTION
L2	53.04'	S49°59'56"W
L4	16.87'	S63°09'32"W
L5	179.60'	N26°50'28"W
L6	70.24'	N58°04'28"E
L7	136.92'	S39°23'00"E
L8	100.00'	S63°09'32"W
L9	170.70'	N26°50'28"W
L10	100.40'	N58°04'28"E
L11	100.00'	S63°09'32"W
L12	161.81'	N26°50'28"W
L13	100.40'	N58°04'28"E
L14	100.00'	S63°09'32"W
L15	156.19'	N26°50'28"W
L16	99.37'	N59°57'31"E
L17	0.79'	N58°04'28"E
L18	100.00'	S63°09'32"W
L19	150.60'	N26°50'28"W
L20	100.16'	N59°57'31"E
L21	100.00'	S63°09'32"W
L22	145.00'	N26°50'28"W
L23	100.16'	N59°57'31"E
L30	112.62'	N46°17'24"W
L32	57.80'	N45°16'57"W
L33	46.38'	N28°56'10"W
L34	53.06'	N13°53'54"W
L35	66.95'	N04°16'34"E
L36	44.89'	N21°38'01"E
L37	53.48'	N59°57'31"E
L38	134.41'	S36°31'45"W
L39	44.49'	S59°24'13"W
L40	58.56'	S77°01'37"W
L41	60.98'	N84°52'28"W
L42	69.32'	N65°07'46"W
L43	3.84'	N45°16'57"W
L44	138.92'	S26°50'28"E
L45	140.00'	S26°50'28"E
L46	31.16'	S63°09'32"W
L47	56.86'	S42°02'23"W
L48	13.38'	S59°24'13"W
L51	62.92'	N63°09'32"E
L52	21.52'	S63°09'32"W
L53	118.80'	N63°09'32"E
L54	14.85'	S74°47'28"E
L56	17.46'	S45°52'44"E
L57	142.02'	S34°26'09"W
L58	88.05'	N45°52'44"W
L59	111.95'	S45°52'44"E
L60	140.00'	S44°07'16"W
L61	7.58'	N46°28'25"W
L62	94.29'	N45°52'44"W
L63	94.29'	S45°52'44"E
L64	140.00'	S42°55'54"W
L65	57.33'	N55°57'35"W
L66	56.58'	N51°30'50"W
L68	57.33'	S55°57'35"E
L69	140.00'	S34°02'25"W
L70	100.00'	N55°57'35"W
L71	100.00'	S55°57'35"E
L72	140.00'	S34°02'25"W
L73	140.00'	S32°55'58"W
L74	7.06'	N56°30'48"W
L75	94.68'	N55°57'35"W
L76	94.68'	S55°57'35"E
L77	139.54'	S21°14'14"W
L78	100.15'	N68°45'46"W

LINE #	LENGTH	DIRECTION
L79	140.34'	N21°14'14"E
L80	64.00'	S68°03'04"E
L81	36.15'	S68°45'23"E
L82	100.00'	N68°45'46"W
L83	143.11'	N21°14'14"E
L84	63.73'	S67°04'50"E
L85	26.64'	S67°05'25"E
L86	9.68'	S68°03'04"E
L87	36.29'	S64°52'45"E
L88	73.97'	N68°45'46"W
L90	148.06'	N33°36'00"E
L91	28.35'	S64°32'49"E
L92	15.29'	S64°52'45"E
L93	31.37'	S59°42'14"E
L94	40.32'	S62°32'38"E
L95	2.69'	S64°32'49"E
L97	99.04'	N55°57'35"W
L98	139.34'	N34°02'25"E
L99	25.29'	S59°42'14"E
L100	101.85'	N55°57'35"W
L101	137.56'	N34°02'25"E
L102	33.24'	S53°34'07"E
L103	66.94'	S58°34'13"E
L104	1.78'	S59°42'14"E
L105	51.12'	N55°57'35"W
L107	31.10'	N45°52'44"W
L108	137.66'	N44°07'16"E
L109	49.45'	S50°44'56"E
L110	37.27'	S53°34'07"E
L111	1.78'	S53°34'07"E
L112	17.15'	S50°44'56"E
L113	103.19'	N45°52'44"W
L114	135.40'	N44°07'16"E
L115	44.57'	S45°28'06"E
L116	40.83'	S47°22'14"E
L117	0.73'	S50°44'56"E
L118	89.40'	N45°52'44"W
L120	13.18'	N14°21'50"E
L121	130.68'	N63°09'32"E
L122	83.16'	S44°24'29"E
L124	28.54'	S51°23'42"E
L125	148.58'	S38°36'18"W
L126	147.85'	N63°09'32"E
L127	14.93'	S75°07'39"E
L128	147.92'	S38°36'18"W
L129	103.84'	S51°23'42"E
L130	137.74'	S30°43'39"W
L131	78.47'	S51°23'42"E
L132	141.98'	S24°09'56"W
L134	76.31'	S65°50'04"E
L135	141.20'	S24°09'56"W
L136	100.00'	S65°50'04"E
L137	137.74'	S24°09'56"W
L138	98.38'	S65°50'04"E
L139	124.88'	S24°09'56"W
L140	14.14'	S69°09'56"W
L141	95.46'	N65°50'04"W
L142	132.89'	N24°09'56"E
L144	63.38'	S67°59'30"E
L145	53.19'	N65°50'04"W
L146	24.92'	N51°23'42"W
L147	132.65'	N38°36'18"E
L148	109.03'	N51°23'42"W
L149	126.41'	N38°36'18"E
L150	76.90'	N51°23'42"W

LINE #	LENGTH	DIRECTION
L151	13.06'	N13°55'49"E
L152	11.59'	N63°09'32"E
L153	55.99'	N49°59'56"E
L154	148.54'	S37°08'08"W
L156	56.03'	N65°50'04"W
L157	14.14'	N20°50'04"W
L158	126.76'	N24°09'56"E
L159	127.52'	S67°59'30"E
L160	89.39'	S10°20'00"W
L161	169.39'	S74°30'46"W
L163	29.83'	S67°59'30"E
L164	114.30'	S69°20'00"E
L165	159.50'	S10°20'00"W
L166	140.00'	N79°40'00"W
L167	31.28'	N10°20'00"E
L169	101.12'	S10°20'00"W
L170	140.00'	N79°40'00"W
L171	101.12'	N10°20'00"E
L172	101.12'	S10°20'00"W
L173	140.00'	N79°40'00"W
L174	101.12'	N10°20'00"E
L175	101.12'	S10°20'00"W
L176	140.00'	N79°40'00"W
L177	101.12'	N10°20'00"E
L178	101.12'	S10°20'00"W
L179	140.00'	N79°40'00"W
L180	101.12'	N10°20'00"E
L181	101.12'	S10°20'00"W
L182	140.00'	N79°40'00"W
L183	101.12'	N10°20'00"E
L184	101.12'	S10°20'00"W
L185	140.00'	N79°40'00"W
L186	101.12'	N10°20'00"E
L187	101.12'	S10°20'00"W
L188	140.00'	N79°40'00"W
L189	101.12'	N10°20'00"E
L190	101.12'	S10°20'00"W
L191	140.00'	N79°40'00"W
L192	101.12'	N10°20'00"E
L193	106.25'	S10°20'00"W
L194	68.25'	N79°35'10"W
L196	15.05'	N50°24'01"W
L197	19.94'	N09°13'36"W
L199	25.28'	N10°20'00"E
L200	93.00'	S10°20'00"W
L201	140.00'	N79°40'00"W
L202	127.26'	N10°20'00"E
L203	107.59'	S68°45'46"E
L205	14.55'	S32°59'03"E
L206	106.11'	S10°20'00"W
L207	140.00'	N79°40'00"W
L208	33.53'	N10°20'00"E
L209	72.59'	N10°20'00"E
L210	96.47'	S10°20'00"W
L211	14.14'	S55°20'00"W
L212	130.00'	N79°40'00"W
L213	106.47'	N10°20'00"E
L214	100.00'	N79°40'00"W
L215	140.00'	N10°20'00"E
L216	100.00'	S79°40'00"W
L217	100.00'	N79°40'00"W
L218	140.00'	N10°20'00"E
L219	100.00'	S79°40'00"W
L220	100.00'	N79°40'00"W
L221	140.00'	N10°20'00"E

LINE #	LENGTH	DIRECTION
L222	100.00'	S79°40'00"E
L223	100.00'	N79°40'00"W
L224	140.00'	N10°20'00"E
L225	100.00'	S79°40'00"E
L226	100.00'	N79°40'00"W
L227	140.00'	N10°20'00"E
L228	100.00'	S79°40'00"E
L229	9.13'	N79°40'00"W
L231	42.18'	N82°18'39"W
L232	140.00'	N07°41'21"E
L233	69.07'	S82°18'39"E
L234	36.01'	S79°40'00"E
L235	100.00'	N82°18'39"W
L236	140.00'	N07°41'21"E
L237	100.00'	S82°18'39"E
L238	100.00'	N82°18'39"W
L239	140.00'	N07°41'21"E
L240	100.00'	S82°18'39"E
L241	100.00'	N82°18'39"W
L242	140.00'	N07°41'21"E
L243	100.00'	S82°18'39"E
L244	100.00'	N82°18'39"W
L245	140.00'	N07°41'21"E
L246	100.00'	S82°18'39"E
L247	100.00'	N82°18'39"W
L248	140.00'	N07°41'21"E
L249	100.00'	S82°18'39"E
L250	9.05'	N82°18'39"W
L252	151.48'	N03°45'48"W
L253	123.52'	S82°18'39"E
L255	140.06'	N16°21'21"W
L256	105.77'	N70°06'29"E
L257	22.03'	S82°18'39"E
L259	140.09'	N28°56'53"W
L260	33.95'	N60°01'51"E
L261	90.37'	N70°06'29"E
L263	91.89'	S60°01'51"W
L264	140.00'	N29°58'09"W
L265	101.96'	N60°01'51"E
L266	100.00'	S60°01'51"W
L267	140.00'	N29°58'09"W
L268	100.00'	N60°01'51"E
L269	100.00'	S60°01'51"W
L270	140.00'	N29°58'09"W
L271	100.00'	N60°01'51"E
L272	100.00'	S60°01'51"W
L273	140.00'	N29°58'09"W
L274	100.00'	N60°01'51"E
L275	100.00'	S60°01'51"W
L276	140.00'	N29°58'09"W
L277	100.00'	N60°01'51"E
L278	100.00'	S60°01'51"W
L279	140.00'	N29°58'09"W
L280	100.00'	N60°01'51"E
L281	100.00'	S60°01'51"W
L282	140.00'	N29°58'09"W
L283	13.62'	N60°01'51"E
L284	86.38'	N60°01'51"E
L285	100.00'	S60°01'51"W
L286	140.00'	N29°58'09"W
L287	100.00'	N60°01'51"E
L288	140.00'	S29°58'09"E
L289	100.00'	S60°01'51"W
L290	140.00'	N29°58'09"W
L291	100.00'	N60°01'51"E

LINE #	LENGTH	DIRECTION
L292	140.00'	S29°58'09"E
L293	100.00'	S60°01'51"W
L294	100.00'	N60°01'51"E
L295	140.00'	S29°58'09"E
L296	100.00'	S60°01'51"W
L297	100.00'	N60°01'51"E
L298	140.00'	S29°58'09"E
L299	100.00'	S60°01'51"W
L300	100.00'	N60°01'51"E
L301	140.00'	S29°58'09"E
L302	100.00'	S60°01'51"W
L303	100.00'	N60°01'51"E
L304	140.00'	S29°58'09"E
L305	100.00'	S60°01'51"W
L306	100.00'	N60°01'51"E
L307	140.00'	S29°58'09"E
L308	100.00'	S60°01'51"W
L309	100.00'	N60°01'51"E
L310	100.00'	S60°01'51"W
L311	100.00'	N60°01'51"E
L312	0.00'	S29°58'09"E
L313	140.00'	S29°58'09"E
L314	140.00'	S10°08'47"E
L315	81.30'	S69°53'36"W
L316	140.00'	S07°41'21"W
L317	83.34'	S89°54'00"W
L319	10.59'	S82°18'39"E
L320	140.00'	S07°41'21"W
L321	100.00'	N82°18'39"W
L322	100.00'	S82°18'39"E
L323	85.44'	N82°18'39"W
L324	100.00'	S82°18'39"E
L325	140.00'	S07°41'21"W
L326	14.56'	N82°18'39"W
L327	140.00'	S07°41'21"W
L328	100.00'	N82°18'39"W
L329	100.00'	S82°18'39"E
L331	36.56'	S61°07'58"W
L332	76.77'	N28°52'02"W
L333	135.86'	S82°18'39"E
L334	14.14'	S37°18'39"E
L335	29.32'	S07°41'21"W
L336	140.00'	S10°20'00"W
L338	89.43'	N79°40'00"W
L339	140.00'	N10°20'00"E
L340	100.00'	S79°40'00"E
L341	140.00'	S10°20'00"W
L342	100.00'	N79°40'00"W
L343	100.00'	S79°40'00"E
L344	96.04'	S10°20'00"W
L346	97.30'	N79°40'00"W
L347	90.63'	S79°40'00"E
L348	14.14'	S34°40'00"E
L349	145.00'	S44°32'48"E
L350	100.00'	S45°27'12"W
L351	145.00'	N44°32'48"W
L352	100.00'	N45°27'12"E
L353	145.00'	S44°32'48"E
L354	100.00'	S45°27'12"W
L355	100.00'	N45°27'12"E
L356	145.00'	S44°32'48"E

LINE #	LENGTH	DIRECTION
L578	2.31'	N45°27'12"E
L579	97.69'	N45°27'12"E
L580	100.00'	S45°27'12"W
L581	140.00'	N44°32'48"W
L582	2.31'	N45°27'12"E
L583	97.69'	N45°27'12"E
L584	100.00'	S45°27'12"W
L585	140.00'	N44°32'48"W
L586	2.31'	N45°27'12"E
L587	97.69'	N45°27'12"E
L588	100.00'	S45°27'12"W
L589	140.00'	N44°32'48"W
L590	2.31'	N45°27'12"E
L591	97.69'	N45°27'12"E
L592	100.00'	S45°27'12"W
L593	140.00'	N44°32'48"W
L594	2.31'	N45°27'12"E
L595	97.69'	N45°27'12"E
L596	100.00'	S45°27'12"W
L597	140.00'	N44°32'48"W
L598	2.31'	N45°27'12"E
L599	97.69'	N45°27'12"E
L600	100.05'	S45°27'12"W
L601	140.00'	N44°31'37"W
L602	2.31'	N45°27'12"E
L603	97.69'	N45°27'12"E
L604	99.95'	S45°27'12"W
L605	140.00'	N44°32'48"W
L606	2.31'	N45°27'12"E
L607	97.69'	N45°27'12"E
L608	153.45'	S45°27'12"W
L609	13.12'	N85°33'12"W
L611	116.25'	N28°48'38"W
L612	126.43'	N45°27'12"E
L613	143.58'	N28°48'38"W
L614	14.37'	N15°15'35"E
L616	28.29'	N45°27'12"E
L617	140.00'	S44°32'48"E
L618	140.00'	S44°32'48"E
L619	100.00'	N45°27'12"E
L620	140.00'	S44°32'48"E
L621	100.00'	N45°27'12"E
L622	100.00'	N45°27'12"E
L623	140.00'	S44°32'48"E
L624	140.00'	S44°32'48"E
L625	100.00'	N45°27'12"E
L626	140.00'	S44°32'48"E
L627	100.00'	N45°27'12"E
L628	140.00'	S44°32'48"E
L629	100.00'	N45°27'12"E
L630	140.00'	S44°32'48"E
L631	100.00'	N45°27'12"E
L632	100.00'	N45°27'12"E
L633	140.00'	S44°32'48"E
L634	140.00'	S35°22'00"E
L635	33.44'	N45°27'12"E
L636	140.00'	S28°52'02"E
L638	52.92'	N61°07'58"E
L639	140.00'	S28°52'02"E
L640	100.00'	N61°07'58"E
L641	140.00'	S28°52'02"E
L642	100.00'	N61°07'58"E
L643	100.00'	N61°07'58"E
L644	155.94'	S28°52'02"E
L645	100.00'	S60°42'47"W

LINE #	LENGTH	DIRECTION
L646	161.16'	N28°52'02"W
L647	60.62'	N61°07'58"E
L648	100.00'	S60°42'47"W
L649	161.89'	N28°52'02"W
L650	100.00'	N61°07'58"E
L651	100.00'	S60°42'47"W
L652	162.62'	N28°52'02"W
L653	100.00'	N61°07'58"E
L654	100.00'	S60°42'47"W
L655	163.35'	N28°52'02"W
L656	100.00'	N61°07'58"E
L657	100.00'	S60°42'47"W
L658	164.09'	N28°52'02"W
L659	100.00'	N61°07'58"E
L660	100.00'	S60°42'47"W
L661	164.82'	N28°52'02"W
L662	100.00'	N61°07'58"E
L663	100.00'	S60°42'47"W
L664	165.55'	N28°52'02"W
L665	100.00'	N61°07'58"E
L666	100.00'	S60°42'47"W
L667	166.28'	N28°52'02"W
L668	100.00'	N61°07'58"E
L669	100.00'	S60°42'47"W
L670	167.02'	N28°52'02"W
L671	100.00'	N61°07'58"E
L672	24.67'	S60°42'47"W
L673	50.73'	S61°08'07"W
L674	166.97'	N42°13'49"W
L676	73.51'	N61°07'58"E
L677	99.79'	S61°08'07"W
L678	140.00'	N44°32'48"W
L679	95.79'	N45°27'12"E
L680	100.00'	N45°27'12"W
L681	140.00'	N44°32'48"W
L682	100.00'	N45°27'12"E
L683	140.00'	S44°32'48"E
L684	100.00'	S45°27'12"W
L685	140.00'	N44°32'48"W
L686	100.00'	N45°27'12"E
L687	100.00'	S45°27'12"W
L688	140.00'	N44°32'48"W
L689	100.00'	N45°27'12"E
L690	100.00'	S45°27'12"W
L691	140.00'	N44°32'48"W
L692	100.00'	N45°27'12"E
L693	100.00'	S45°27'12"W
L694	140.00'	N44°32'48"W
L695	100.00'	N45°27'12"E
L696	100.00'	S45°27'12"W
L697	140.00'	N44°32'48"W
L698	100.00'	N45°27'12"E
L699	100.00'	S45°27'12"W
L700	140.00'	N44°32'48"W
L701	100.00'	N45°27'12"E
L702	100.00'	S45°27'12"W
L703	140.00'	N44°32'48"W
L704	100.00'	N45°27'12"E
L705	100.00'	S45°27'12"W
L706	140.00'	N44°32'48"W
L707	100.00'	N45°27'12"E
L708	101.76'	S29°58'09"E
L709	140.00'	S60°01'51"W
L710	91.76'	N29°58'09"W
L711	14.14'	N15°01'51"E

LINE #	LENGTH	DIRECTION
L712	130.00'	N60°01'51"E
L713	100.00'	S29°58'09"E
L714	139.97'	S60°01'51"W
L716	94.59'	N29°58'09"W
L717	72.28'	N35°45'27"W
L719	11.52'	S29°58'09"E
L720	89.22'	S35°45'27"E
L721	140.00'	S54°14'33"W
L722	100.00'	S35°45'27"E
L723	140.00'	S54°14'33"W
L724	100.00'	N35°45'27"W
L725	147.64'	S35°45'27"E
L727	114.63'	N33°30'21"W
L728	14.14'	N80°45'27"W
L729	138.32'	N35°45'27"W
L730	140.00'	N54°14'33"E
L731	100.00'	N35°45'27"W
L732	68.46'	S35°45'27"E
L733	45.68'	S45°27'12"W
L734	76.13'	N56°41'35"W
L735	140.00'	N33°18'25"W
L736	40.21'	N56°41'35"E
L738	9.77'	N45°27'12"E
L739	100.00'	S56°41'35"W
L740	100.00'	N33°18'25"W
L741	100.00'	N56°41'35"E
L742	100.00'	S56°41'35"W
L743	140.00'	N33°18'25"W
L744	100.00'	N56°41'35"E
L745	100.00'	S56°41'35"W
L746	140.00'	N33°18'25"W
L747	100.00'	N56°41'35"E
L748	100.00'	S56°41'35"W
L749	140.00'	N33°18'25"W
L750	100.00'	N56°41'35"E
L751	102.26'	S56°41'35"W
L752	140.08'	N32°07'49"W
L754	94.76'	N56°41'35"E
L755	63.38'	S56°41'35"W
L756	78.30'	N78°40'21"W
L757	140.00'	N11°19'39"W
L758	7.42'	N78°40'21"E
L759	100.00'	S78°40'21"W
L760	140.00'	N11°19'39"W
L761	100.00'	N78°40'21"E
L762	100.00'	S78°40'21"W
L763	140.00'	N11°19'39"W
L764	100.00'	N78°40'21"E
L765	100.00'	S78°40'21"W
L766	140.00'	N11°19'39"W
L767	100.00'	N78°40'21"E
L768	100.00'	S78°40'21"W
L769	140.00'	N11°19'39"W
L770	100.00'	N78°40'21"E
L771	127.73'	S78°40'21"W
L772	150.50'	N02°15'11"E
L774	39.56'	N78°40'21"E
L775	58.73'	S78°40'21"W
L776	96.92'	N57°28'49"W
L777	143.41'	N24°43'19"E
L778	115.28'	N57°28'49"W
L779	140.00'	N32°31'11"E
L780	65.30'	S57°28'49"E
L781	100.00'	N57°28'49"W
L782	140.00'	N32°31'11"E

LINE #	LENGTH	DIRECTION
L783	100.00'	S57°28'49"E
L784	100.00'	N57°28'49"W
L785	140.00'	N32°31'11"E
L786	100.00'	S57°28'49"E
L787	94.66'	N57°28'49"W
L788	43.24'	N33°30'21"W
L789	141.60'	N51°07'58"E
L791	17.16'	S57°28'49"E
L792	100.00'	S33°30'21"E
L793	140.00'	S56°29'39"W
L794	100.00'	N33°30'21"W
L795	140.00'	N56°29'39"W
L796	63.15'	S13°56'30"W
L797	116.27'	N33°30'21"W
L798	143.84'	N64°46'27"E
L800	100.93'	N33°30'21"W
L801	56.15'	N12°15'27"E
L802	152.90'	N87°14'35"E
L804	131.08'	N12°15'27"E
L805	140.00'	S77°44'33"E
L806	33.18'	S12°15'27"W
L807	100.00'	S12°15'27"W
L808	100.00'	N12°15'27"E
L809	140.00'	S77°44'33"E
L810	100.00'	S12°15'27"W
L811	100.00'	N12°15'27"E
L812	140.00'	S77°44'33"E
L813	22.08'	S27°08'31"W
L815	19.96'	S12°15'27"W
L816	67.41'	N12°15'27"E
L817	61.68'	N27°08'31"E
L818	140.00'	S62°51'29"E
L819	100.00'	S27°08'31"W
L820	100.00'	N27°08'31"E
L821	140.00'	S62°51'29"E
L822	100.00'	S27°08'31"W
L823	100.00'	N27°08'31"E
L824	140.00'	S62°51'29"E
L825	140.00'	S62°51'29"E
L826	100.00'	S27°08'31"W
L827	100.00'	N27°08'31"E
L828	100.00'	S27°08'31"W
L829	140.00'	N62°51'29"W
L830	100.00'	N27°08'31"E
L831	140.00'	S62°51'29"E
L833	77.79'	S27°08'31"W
L834	81.82'	N27°08'31"E
L835	34.29'	N32°46'38"E
L836	140.00'	S54°31'50"E
L837	13.63'	S54°50'19"W
L839	122.80'	N45°09'14"E
L840	13.63'	N54°50'19"E
L841	140.00'	S35°09'41"E
L842	100.00'	S54°50'19"W
L843	100.00'	N54°50'19"E
L844	140.00'	S35°09'41"E
L845	100.00'	S54°50'19"W
L846	100.00'	N54°50'19"E
L847	140.00'	S35°09'41"E
L848	140.00'	S29°58'09"E
L849	26.72'	S60°01'51"W
L851	23.05'	S54°50'19"W
L852	53.20'	N54°50'19"E
L853	56.87'	N60°01'51"E
L854	140.00'	S29°58'09"E

LINE #	LENGTH	DIRECTION
L855	100.00'	S60°01'51"W
L856	100.00'	N60°01'51"E
L857	100.00'	S60°01'51"W
L858	100.00'	N60°01'51"E
L859	140.00'	S29°58'09"E
L860	100.00'	S60°01'51"W
L861	100.00'	N60°01'51"E
L862	140.00'	S29°58'09"E
L863	140.00'	S29°58'09"E
L864	100.00'	S60°01'51"W
L865	100.00'	N60°01'51"E
L866	150.99'	S28°48'34"E
L867	14.69'	S13°56'30"W
L868	119.79'	S56°41'35"W
L869	161.41'	N33°18'25"W
L870	22.19'	N54°49'51"E
L871	120.25'	N57°28'20"E
L872	100.00'	S56°41'35"W
L873	158.16'	N33°18'25"W
L874	22.24'	N54°49'51"E
L875	77.81'	N54°49'51"E
L876	100.00'	S56°41'35"W
L877	154.91'	N33°18'25"W
L878	22.29'	N54°49'51"E
L879	77.76'	N54°49'51"E
L880	100.00'	S56°41'35"W
L881	151.66'	N33°18'25"W
L882	22.34'	N54°49'51"E
L883	77.71'	N54°49'51"E
L884	100.00'	S56°41'35"W
L885	158.86'	N33°18'25"W
L886	85.32'	N61°51'58"E
L887	100.00'	N54°49'51"E
L888	11.98'	S56°41'35"W
L890	47.74'	S78°40'21"W
L891	157.45'	N11°19'39"W
L892	58.86'	N73°37'43"E
L893	6.54'	N61°51'58"E
L894	100.00'	S78°40'21"W
L895	156.65'	N11°19'39"W
L896	39.14'	N78°21'21"E
L897	57.92'	N78°21'21"E
L898	2.95'	N73°37'43"E
L899	100.00'	S78°40'21"W
L900	156.27'	N11°19'39"W
L901	39.14'	N78°36'10"E
L902	60.86'	N78°21'21"E
L903	100.00'	S78°40'21"W
L904	160.77'	N11°19'39"W
L905	33.54'	N86°31'25"E
L906	66.77'	N78°36'10"E
L907	99.23'	S78°40'21"W
L909	187.60'	N10°54'29"W
L910	66.89'	S82°14'31"E
L911	36.27'	N86°31'25"E
L914	179.29'	N32°31'11"E
L915	2.64'	S71°03'32"E
L916	10.12'	S82°14'31"E

Parcel #	Area SF	Area AC
1	16004.68	0.37
2	17515.15	0.40
3	16625.39	0.38
4	15898.34	0.36
5	15339.18	0.35
6	14780.02	0.34
7	25098.77	0.58
8	27012.26	0.62
9	21641.68	0.50
10	14173.44	0.33
11	15401.20	0.35
12	14000.00	0.32
13	14058.03	0.32
14	14393.07	0.33
15	14000.00	0.32
16	14054.05	0.32
17	15910.28	0.37
18	14856.10	0.34
19	14856.10	0.34
20	14000.00	0.32
21	14000.00	0.32
22	14000.00	0.32
23	14000.00	0.32
24	14000.00	0.32
25	14264.00	0.33
26	14000.00	0.32
27	14000.00	0.32
28	14000.00	0.32
29	14000.00	0.32
30	14000.00	0.32
31	15551.12	0.36
32	16199.20	0.37
33	15226.85	0.35
34	14100.09	0.32
35	14000.00	0.32
36	14000.00	0.32
37	14000.00	0.32
38	14000.00	0.32
39	14000.00	0.32
40	14000.00	0.32
41	14000.00	0.32
42	14000.00	0.32
43	14000.00	0.32
44	14000.00	0.32
45	14000.00	0.32
46	14530.74	0.33
47	14000.00	0.32
48	14000.00	0.32
49	15442.73	0.35
50	14823.07	0.34
51	14000.00	0.32
52	14000.00	0.32
53	14000.00	0.32
54	14000.00	0.32
55	15529.25	0.36
56	14000.00	0.32
57	14000.00	0.32
58	15878.32	0.36
59	18739.09	0.43
60	14876.88	0.34

Parcel #	Area SF	Area AC
61	14000.00	0.32
62	16214.87	0.37
63	14000.00	0.32
64	14000.00	0.32
65	14818.53	0.34
66	18479.98	0.42
67	15629.80	0.36
68	14000.00	0.32
69	14000.00	0.32
70	14000.00	0.32
71	14000.00	0.32
72	16351.09	0.38
73	14115.20	0.32
74	14000.00	0.32
75	14000.00	0.32
76	14000.00	0.32
77	14000.00	0.32
78	15140.64	0.35
79	14000.00	0.32
80	14000.00	0.32
81	14000.00	0.32
82	14000.00	0.32
83	14000.00	0.32
84	14000.00	0.32
85	14000.00	0.32
86	14000.00	0.32
87	14000.00	0.32
88	15310.13	0.35
89	15858.46	0.36
90	16664.97	0.38
91	16591.74	0.38
92	16518.50	0.38
93	16445.26	0.38
94	16372.02	0.37
95	16298.79	0.37
96	16225.55	0.37
97	16152.31	0.37
98	16020.46	0.37
99	21920.25	0.50
100	15978.49	0.37
101	15653.33	0.36
102	15328.17	0.35
103	15447.26	0.35
104	15369.64	0.35
105	15693.48	0.36
106	15641.13	0.36
107	15697.74	0.36
108	17160.90	0.39
109	16829.80	0.39
110	16075.84	0.37
111	16154.98	0.37
112	17595.49	0.40
113	17416.06	0.40
114	16463.09	0.38
115	16297.06	0.37
116	15306.06	0.35
117	15353.99	0.35
118	15399.65	0.35
119	15108.85	0.35
120	14834.67	0.34

Parcel #	Area SF	Area AC
121	14784.26	0.34
122	15577.30	0.36
123	16282.47	0.37
124	16713.08	0.38
125	17006.48	0.39
126	15888.82	0.36
127	15262.32	0.35
128	15000.00	0.34
129	15000.00	0.34
130	15000.00	0.34
131	17445.03	0.40
132	15734.76	0.36
133	15000.00	0.34
134	15000.00	0.34
135	15000.00	0.34
136	16964.10	0.39
137	17470.06	0.40
138	17470.71	0.40
139	17424.65	0.40
140	16888.88	0.39
141	17469.44	0.40
142	15311.69	0.35
143	15000.00	0.34
144	16061.25	0.37
145	16484.61	0.38
146	15000.00	0.34
147	15000.00	0.34
148	15000.00	0.34
149	19457.49	0.45
150	15057.28	0.35
151	17271.96	0.40
152	14000.00	0.32
153	14000.00	0.32
154	14000.00	0.32
155	15218.07	0.35
156	14029.38	0.32
157	14000.00	0.32
158	15936.31	0.37
159	16147.57	0.37
160	16122.46	0.37
161	14000.00	0.32
162	14000.00	0.32
163	14000.00	0.32
164	15595.87	0.36
165	14000.00	0.32
166	14000.00	0.32
167	14000.00	0.32
168	14000.00	0.32
169	14500.00	0.33
170	20710.97	0.48
171	14000.00	0.32
172	14000.00	0.32
173	15084.89	0.35
174	13999.94	0.32
175	14196.09	0.33
176	14000.00	0.32
177	14000.00	0.32
178	14000.00	0.32
179	14000.00	0.32
180	14000.00	0.32

Parcel #	Area SF	Area AC
181	14000.00	0.32
182	14000.00	0.32
183	14000.00	0.32
184	15021.62	0.34
185	14972.47	0.34
186	14000.00	0.32
187	14000.00	0.32
188	14000.00	0.32
189	23103.53	0.53
190	23273.65	0.53
191	14500.00	0.33
192	14611.71	0.34
193	15059.00	0.35
194	15059.00	0.35
195	14693.22	0.34
196	14500.00	0.33
197	14500.00	0.33
198	14500.00	0.33
199	14500.00	0.33
200	14500.00	0.33
201	16433.83	0.38
202	16541.73	0.38
203	15100.00	0.35
204	14000.00	0.32
205	14000.00	0.32
206	14000.00	0.32
207	14000.00	0.32
208	14000.00	0.32
209	14000.00	0.32
210	14188.64	0.33
211	14004.88	0.32
212	14133.44	0.32
213	14000.00	0.32
214	14000.00	0.32
215	14000.00	0.32
216	15639.54	0.36
217	18989.26	0.44
218	14000.00	0.32
219	14000.00	0.32
220	14000.00	0.32
221	19497.62	0.45
222	14000.00	0.32
223	14000.00	0.32
224	14000.00	0.32
225	14000.00	0.32
226	14000.00	0.32
227	14280.66	0.33
228	15350.80	0.35
229	14316.60	0.33
230	14000.00	0.32
231	14000.00	0.32
232	14000.00	0.32
233	14000.00	0.32
234	14000.00	0.32
235	14000.00	0.32
236	14000.00	0.32
237	16746.63	0.38
238	15374.01	0.35
239	14000.00	0.32
240	14000.00	0.32

Parcel #	Area SF	Area AC
241	14000.00	0.32
242	14000.00	0.32
243	14000.00	0.32
244	14000.00	0.32
245	14000.00	0.32
246	14000.00	0.32
247	14438.74	0.33
248	14317.62	0.33
249	14000.00	0.32
250	14000.00	0.32
251	14000.00	0.32
252	14000.00	0.32
253	14000.00	0.32
254	14000.00	0.32
255	14740.84	0.34
256	19163.42	0.44
257	17260.04	0.40
258	14000.00	0.32
259	16397.08	0.38
260	16470.59	0.38
261	16433.83	0.38
262	14000.00	0.32
263	14000.00	0.32
264	14000.00	0.32
265	14000.00	0.32
266	14000.00	0.32
267	14000.00	0.32
268	14000.00	0.32
269	14000.00	0.32
270	14121.47	0.32
271	15411.02	0.35
272	14000.00	0.32
273	14000.00	0.32
274	14000.00	0.32
275	14000.00	0.32
276	14000.00	0.32
277	14000.00	0.32
278	14003.39	0.32
279	13996.61	0.32
280	20388.87	0.47
281	14415.10	0.33
282	14157.17	0.33
283	14157.17	0.33
284	14157.17	0.33
285	14157.17	0.33
286	14157.17	0.33
287	14157.17	0.33
288	14157.17	0.33
289	14157.17	0.33
290	17848.20	0.41
291	25637.96	0.59
292	15406.34	0.35
293	14000.29	0.32
294	14164.68	0.33
295	14000.00	0.32
296	14280.81	0.33
297	14000.00	0.32
298	14000.00	0.32
299	14000.50	0.32
300	14494.91	0.33

Parcel #	Area SF	Area AC
301	20062.98	0.46
302	15455.63	0.35
303	17034.17	0.39
304	15418.68	0.35
305	14203.13	0.33
306	13999.99	0.32
307	14000.00	0.32
308	14160.30	0.33
309	14000.00	0.32
310	14000.00	0.32

CURVE TABLE					
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	
C1	36.55'	883.51'	S40°34'07"E	36.55'	
C2	40.20'	175.00'	S56°34'44"W	40.11'	
C12	93.29'	55.00'	S04°52'50"E	82.50'	
C19	90.79'	53.53'	N79°38'59"E	80.29'	
C20	20.07'	60.24'	N22°18'21"E	19.98'	
C21	22.44'	24.30'	N37°30'00"E	21.65'	
C22	46.59'	225.00'	S39°56'48"E	46.51'	
C27	4.67'	225.00'	S46°28'25"E	4.67'	
C28	34.92'	225.00'	S51°30'50"E	34.88'	
C34	4.35'	225.00'	S56°30'48"E	4.35'	
C35	37.76'	175.00'	N62°34'53"W	37.69'	
C36	1.34'	175.00'	N56°10'47"W	1.34'	
C41	30.79'	175.00'	N50°55'09"W	30.75'	
C42	29.96'	175.00'	N40°58'25"W	29.93'	
C43	65.61'	225.00'	S43°02'28"E	65.38'	
C46	30.94'	225.00'	S55°20'02"E	30.91'	
C47	25.77'	225.00'	S62°33'13"E	25.75'	
C50	1.88'	75.00'	S65°07'03"E	1.88'	
C52					