



Planning Commission Meeting

AGENDA

Tuesday, July 19, 2022

5:30 PM

215 N. Broad St

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **APPROVAL OF AGENDA**

IV. **MINUTES OF PREVIOUS MEETING**

- [1.](#) Planning Commission Minutes 6/21/22

V. **REPORT FROM CODE ENFORCEMENT OFFICER**

VI. **OLD BUSINESS**

- [1.](#) Request for Rezone - PCD to PCD w/Modifications - Monroe Pavilion

VII. **NEW BUSINESS**

- [1.](#) Request for COA - Signage - 2020 W. Spring St

VIII. **ADJOURNMENT**

**MONROE PLANNING COMMISSION
MEETING MINUTES—June 21, 2022—DRAFT**

Present: Mike Eckles, Randy Camp, Nate Treadaway, Sara Shropshire

Absent: Rosalind Parks

Staff: Logan Propes, City Administrator
Brad Callender – City Planner
Laura Wilson - Code Assistant

Visitors: Kyle Ward, Todd Parker, Dr. Park, Wyatt Howard, Andrew Wilson, Tom Treweeke

Call to Order by Chairman Eckles at 5:30 pm.

To Approve the Agenda:

Motion to move Item 2, Rezone of the Monroe Pavilion to Item 1

Motion Camp. Second Treadaway

Motion carried

Chairman Eckles asked for any changes, corrections or additions to the May 17, 2022 minutes.

Motion to approve

Motion Camp. Second Shropshire.

Motion carried

Chairman Eckles asked for the Code Officer’s Report:

Callender: You have just received a printed copy of the newly adopted Comprehensive Plan. It was adopted last week (May 10, 2022) by City Council and is valid for five years.

Old Business: none

The First Item of New Business: is Rezone Case #1086, a request to consider rezoning ±95.42 acres located at the east side of Charlotte Rowell Blvd, the north side of US Hwy 78, and the west side of N. Broad St. The property is currently zoned Planned Commercial District with a request to change it to Planned Commercial District with modifications. The applicant is Columbia Engineering on behalf of the owner, MAB Monroe LLC.

Chairman Eckles: The applicant has requested the item be tabled until the next meeting, July 19, 2022.

Motion to table until July

Motion Treadaway. Second Camp.

Motion Carried

The Second Item of New Business: is COA Case #1085, a request for approval of a Certificate of Appropriateness to allow construction of a dental office with associated parking and landscaping at 1080 N. Broad St. Staff recommends approval with conditions. Andrew Wilson from Sullins Engineering spoke in favor of the request. Dr. Park’s dental practice has outgrown his existing office and so he would like to build a new one to meet his needs.

Chairman Eckles: Are you familiar with the three conditions? Are they satisfactory?
Wilson: Yes

Chairman Eckles: Anyone here to speak in opposition? No

Motion to approve with conditions
Motion Shropshire. Second Camp
Motion Carried

The Third Item of New Business: is COA Case #1043, a request for approval of a Certificate of Appropriateness to allow for the construction of three signs at 400 Mayfield Dr. Staff recommends approval of the ground sign and wall sign and does not recommend approval of the silo sign. Wyatt Howard on behalf of Mayfield Self Storage spoke in favor of the request. Howard: Thank you for the approval of the first two signs. The plan for the silo sign is to have a 6x6 concrete pad attached to the existing curb on Hwy 78 with a 12-15 ft silo with the company logo. The idea was to match the quasi-rural nature of Monroe with the intent to advertise to the traffic along Hwy 78.

Chairman Eckles: Are you okay with doing away with the silo sign?
Howard: Yes, if we have too

Chairman Eckles: Anyone here to speak in opposition? No

Motion to approve with conditions
Motion Treadaway. Second Camp
Motion Carried

The Fourth Item of New Business: is COA Case #1087, a request for approval of a Certificate of Appropriateness to allow for the demolition of existing buildings on site and redevelopment of the site for a mini storage warehouse facility and an office/warehouse building with associated parking and landscaping at 809 N. Broad St. Staff recommends approval of the COA with conditions. Applicant Tom Treweeke spoke in favor of the project. Phase 1 is construction of a 48,000 sq ft self-storage and clearing of all the land. Phase 2 is an office/warehouse.

Chairman Eckles: You are good with the conditions listed?
Treweeke: Yes, for clarification—is it anything visible from N. Broad?
Callender: It says any public street so it includes Pavilion Pkwy

Treeweke: Do we need to plant large trees along the power easement?

Callender: If it is acceptable to the easement itself. It does not need to be a full-sized shade tree; but a modest tree. I believe they allow certain trees to be planted near the easement.

Treeweke: We will do whatever is acceptable.

Propes: Brad, for the record do you want to restate the amended condition for the vegetative screening? Since it was discussed, I want to make sure it is on record.

Callender: The additional condition would be (taken from the staff report pg 2): Staff recommends the landscaping on the site be installed as proposed with rows of additional tree plantings along the southern sides of each of the proposed buildings; where possible that do and not interfere with the power line easement.

Motion to approve with conditions including the additional landscaping condition
Motion Shropshire. Second Treadaway
Motion Carried

Chairman Eckles entertained a motion to adjourn.

Motion to adjourn

Motion Camp. Second Treadaway
Meeting adjourned; 5:48pm



**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 1086

DATE: June 6, 2022; **REVISED July 13, 2022**

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Columbia Engineering

PROPERTY OWNER: MAB Monroe, LLC

LOCATION: East side of Charlotte Rowell Blvd., the north side of US Hwy 78, and the west side of N. Broad Street – Monroe Pavilion

ACREAGE: ±95.414

EXISTING ZONING: PCD (Planned Commercial District)

EXISTING LAND USE: Shopping Center with parking, dedicated public streets, and out lots

ACTION REQUESTED: Rezone PCD to PCD with Modifications

REQUEST SUMMARY: The owners are petitioning for a modification to the pattern book of the previously approved rezone of this property in order to include items omitted from the first plan book, modify the parking requirements for out lots, and to modify the architectural elevations for certain buildings.

STAFF RECOMMENDATION: Staff recommends approval of this rezone modification subject to the conditions.

DATES OF SCHEDULED MEETINGS

PLANNING COMMISSION: July 19, 2022

CITY COUNCIL: August 9, 2022

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of modifications to the pattern book approved under Rezone #RZ-8 (B-3 to PCD) by the City Council on July 2, 2019. The applicant is requesting to include items omitted from the first plan book, modify the parking requirements for out lots in the development, and to modify the architectural elevations for certain buildings on the primary shopping center site.

PROPOSED AMENDMENT SUMMARY:

Pattern Book – Page 2.4, Section 430:

The applicant is proposing to modify Section 430 of the pattern book with two changes.

First, the applicant proposes to add a building height maximum requirement for the development. The new proposed maximum building height for the development will be five (5) stories in height. Regulating the height by the use of the term “stories” vs an actual dimension will provide greater flexibility in vertical building design. The current pattern book defaults to the City’s B-3 zoning district dimensional standards which would limit building height to thirty-five (35) feet. One of the parcels in the development is slated for a hotel. A thirty-five (35) foot maximum building height would be prohibitive for current trends in hotel design.

Second, the applicant proposes to allow for zero-lot line subdivision of the major shopping center parcel. The applicant would like to subdivide the large shopping center parcel, creating separate fee simple properties instead of one large parcel. The zero-lot subdivision allowance is necessary for the applicant in order to subdivide the properties along common walls of the shopping center building without conflict of building setback requirements. The current pattern book defaults to the City’s B-3 zoning district dimensional standards which do not permit zero-lot line subdivision of property. The amendment to the pattern book would be a remedy to allow for the zero-lot line division of property.

Pattern Book – Page 2.4, Section 520:

The applicant is proposing to modify Section 520 of the pattern book with two changes.

The applicant proposes to modify the parking allowances on the out lots to increase the minimum number of parking spaces for restaurants on the out lots, including a provision to allow for variances. The following is a summary of the current parking requirements and the proposed parking requirements (revised after being Tabled at the June 21, 2022 Planning Commission Meeting):

- Current Restaurant Minimum Parking Required
 - 1 Space/5 Seats + 1 Space/600 Sf
 - Maximum Number Allowed – 135% of the Minimum Required Spaces
- Proposed Restaurant Minimum Parking Ranges
 - 1 Space/3 Seats + 1 Space/350 Sf
 - Maximum Number Allowed – 135% of the Minimum Required Spaces
 - 1 Space/3 Seats + 1 Space/350 Sf
 - Maximum Number Allowed – 150% of the Minimum Required Spaces
 - 1 Space/4 Seats + 1 Space/400 Sf
 - Maximum Number Allowed – 150% of the Minimum Required Spaces
- Procedural Option
 - Under the Parking Requirements in Section 520.3 of the pattern book, the applicant has added the ability for the possibility of a variance to be considered to increase the parking beyond the requirement in the pattern book.
 - Currently, there is no provision in the pattern book to allow for increases beyond the maximum parking allowed. Variances in the Zoning Ordinance are only subject to the parking requirements outlined in Section 520 of the Zoning Ordinance. By adding this provision, an opportunity to pursue a variance from the

pattern book would be allowed under the procedures and standards for variances outlined in the Zoning Ordinance.

The requested modification to increase the parking supply for each individual restaurant on an out lot is illustrated on Page 2.4 (see revised Page 2.4 attached with this report). On Page 2.4, the applicant has added a table showing various restaurant types with required parking identified by future users.

A review of the parking requirement by the anticipated users concludes there is not a consistent standard for formulating parking requirements in the parking ranges provided. For example, one Fast Food w/Drive Thru user indicates the demand for a restaurant with 78 seats in a 3,760 Sf building only needs 46 parking spaces. Another Fast Food w/Drive Thru user indicates the demand for a restaurant with 70 seats in a 3,634 Sf building needs 68 parking spaces. Essentially, the smaller restaurant with fewer seats states they require 22 more parking spaces than one with more seats and a larger restaurant.

The City’s current parking policy is a mixture of minimum parking requirements with a maximum allowable percentage of the minimum parking requirement. The City’s current parking policy basically is to not allow for development to be over parked. The applicant’s proposed ranges of minimum parking spaces present several challenges in attempting to accommodate the City’s policy to not over park development.

As indicated in the previous staff report, the creation of a shared parking plan for the entire planned development would reduce the need for each individual parcel to supply excessive parking independently. Unfortunately, the applicant does not propose to include any shared parking arrangements or a shared parking plan for the development in this request. Once the individual parcels are developed, the ability for each individual property owner to reach consensus on a shared parking arrangement or shared parking plan would be difficult. Now is the best opportunity to establish a shared parking plan while the out lots are still undeveloped and under the ownership of the original developer.

The first two ranges of minimum parking (1 Space/3 Seats + 1 Space/350 Sf with maximums) will most likely not be in keeping with the City’s parking policy. The third range (1 Space/4 Seats + 1 Space/400 Sf with max of 150%) appears to most closely accommodate the anticipated users parking needs while potentially not over parking each out lot.

Staff supports amending the pattern book parking requirement for stand-alone out lots to be revised to allow for 1 Space/4 Seats + 1 Space/400 Sf with the maximum number of parking spaces not to exceed 150% of the minimum required spaces. A condition has been added to the end of this report for the revised parking requirement.

Pattern Book – Page 3.9, Elevations:

The applicant is proposing to modify the elevations to one building on the major shopping center parcel. The change would be specifically for the Shops “A” building located adjacent to the main shopping center building.

The applicant proposes to modify awning and paint colors to accommodate tenant users. Staff does not have any issues with the requested modifications to elevations.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone modification to the planned districts pattern book with the following modified conditions:

1. The zero-lot subdivision allowance in Section 430 of the pattern book shall be revised to reflect applicability only to the shopping center parcel.
2. The parking space requirement for restaurants on stand-alone out lots shall be revised to be 1 Space/4 Seats + 1 Space/400 Sf with the maximum number of parking spaces not to exceed 150% of the minimum required spaces. The applicant shall revise the pattern book to remove the chart inserted into Section 520.3 and replaced with language containing the parking space calculation described in this condition.

ZONING ORDINANCE & OVERLAY DISTRICT ADHERENCE

The Master Plan for the Monroe Pavilion Planned Community Development (PCD), as illustrated on Page 2.3, is governed by the City of Monroe Zoning Ordinance adopted June 10, 2014 and last amended May 18, 2018. The subject 95.48-acre site is currently zoned B-3, Highway Commercial District, and is within the Corridor Design Overlay District (CDO). The Master Plan has been developed to meet the zoning ordinance and overlay requirements, and, where certain requirements cannot be met, the spirit of the ordinance has been applied. The following is a discussion of how the Monroe Pavilion Master Plan complies with requirements while allowing compromises to meet current developer and tenant requirements and needs. Future parcels and outlots shall meet the same requirements as shown and stated within this Pattern Book.

Section 430 – One Principle Structure on a Lot

This section allows only one (1) principle structure and permitted customary accessory buildings on any lot. The Shopping Center Tract and Future Major G Parcel shall be allowed to have multiple buildings within their respective lots as reflected on the Master Plan. Each of the twelve (12) outlots shall comply with this section by having one (1) principle structure. Any principal structure in the Monroe Pavilion Development shall have a maximum of five stories, no building is allowed to be taller than five stores. Zero lot line development and subdivision is allowed within the Monroe Pavilion Development. All other parcel setbacks to coincide with approved Pattern Book and/or City B-3 zoning ordinance.

Section 520 – Off-Street Automobile Parking

520.2(1) Minimum Size of Off-Street Parking Space

This section requires a minimum parking space size of nine (9) feet wide by twenty (20) feet long with a minimum area of 180 SF. The Master Plan shows all 60-degree parking spaces sized at ten (10) feet wide by eighteen (18) feet long and 90-degree parking spaces sized at nine (9) feet wide by eighteen (18) feet long.

520.3 – Parking Space Requirements for All Districts

Per Table 3 of the Zoning Ordinance, the following are minimum required parking spaces based on use:

- Retail Establishments: 1 space/employee + 1 space/500 SF
- Restaurants: 1 space/5 seats + 1 space/600 SF

This section also requires that the maximum number of parking spaces shall not exceed 120% of the minimum required spaces. The Master Plan currently shows 1406 parking spaces within the Shopping Center Tract that will be shared between the multiple proposed buildings and uses. Per the Parking Analysis on this page, the Shopping Center Tract complies with this section of the ordinance. However, due to standard tenant requirements anticipated at each standalone outlot, the maximum number of parking spaces allowed within the outlots shall be 135% of the minimum required spaces. **Due to anticipated tenant requirements for each standalone outlot, all restaurant establishments shall have a minimum parking requirement calculated in accordance with the ratio and seat counts below.**

- Number of seats and square footage for restaurants includes seating for indoor dining and outdoor patios.
- Any outlot developer requiring additional parking based on the approved Monroe Pavilion Pattern Book parking calculations can pursue a variance with the City of Monroe

Restaurant Tenant	Seats	Bldg. SF	Tenant Req. Parking	Current Code Parking Min.	*Current Pattern Parking Max	**Adjusted Pattern Max.	***Adjusted Pattern Max.	****Adjusted Pattern Max.
Casual Dining	202	5500	113	50	67	112	125	96
Fast Food w/Drive Thru	74	3015	36	20	27	45	50	39
<i>Fast Casual</i>	116	3465	65	29	39	66	73	56
Casual Dining	300	6400	175	71	95	160	177	137
Casual Dining	275	7000	106	67	90	151	168	129
<i>Fast Food w/Drive Thru</i>	66	2700	41	18	24	40	45	35
<i>Fast Food w/Drive Thru</i>	70	3634	68	20	27	46	51	40
<i>Fast Food w/Drive Thru</i>	78	3760	46	22	30	50	55	43
<i>Fast Food w/Drive Thru</i>	75	4950	47	23	31	53	59	47

* Pattern Parking Maximum calculated at 1 space/5 seats +1/600 SF building space with allowable 135%
 ** Adjusted Parking Maximum calculated at 1 space/3 seats +1/350 SF building space with allowable 135%
 *** Adjusted Parking Maximum calculated at 1 space/3 seats +1/350 SF building space with allowable 150%
 **** Adjusted Parking Maximum calculated at 1 space/4 seats +1/400 SF building space with allowable 150%

520.4(6) – Site Requirements: Landscaping

This section requires that for all parking areas with ten (10) or more parking spaces shall have a minimum of 15% of the interior parking area permanently landscaped. The CDO requirement of 12% interior landscaped area, as stated in Section 643A.4(1)(c)(iv)(c), shall be the requirement for the Monroe Pavilion Development. For the Shopping Center Tract, the Master Plan currently shows approximately 13% of the interior parking area to be permanently landscaped area.

520.4(10) – Site Requirements: Sidewalk

This section requires all parking facilities to have five (5) foot wide sidewalks connecting the facility to all public right of way sidewalks and building entrances. For the Monroe Pavilion Development, all public sidewalks shall be six (6) feet wide and all private internal sidewalks shall be four (4) feet wide.

Section 550 – Screening, Buffering, Landscaping

550.4(3) – Required Landscaping: Thoroughfare Landscaping

This section requires that a 25-foot landscape area abut the right-of-way of all roads within the City limits. The CDO requirement of a frontage landscape area, as stated in Section 643A.4(2), is required to be 20 feet deep. As depicted in the Master Plan and in the Vignettes within this Pattern Book, the Shopping Center Tract, Major G Parcel and each outlot shall provide a minimum 20-foot deep frontage landscape area as measured from the edge of the public sidewalk to the back of curb at the internal parking along all road rights-of-way.

SHOPPING CENTER TRACT PARKING ANALYSIS RETAIL PARKING CALCULATIONS

BUILDING	AREA	EST. EMPLOYEES
MAJOR A	48,387 SF	145
MAJOR B	18,000 SF	27
MAJOR C	21,000 SF	43
MAJOR D	6,400 SF	58
MAJOR E	20,000 SF	18
MAJOR F	11,700 SF	43
SHOPS A-Retail	13,700 SF	45
SHOPS B	4,200 SF	24
JUNIOR A	10,000 SF	15
JUNIOR B	8,470 SF	23
JUNIOR C	6,000 SF	20
JUNIOR D	5,000 SF	15
JUNIOR E	5,000 SF	15
JUNIOR F	5,000 SF	15
Total	184,157 SF	506

RESTAURANT PARKING CALCULATIONS

BUILDING	AREA
SHOPS A-Restaurant	8,000 SF
PAD 1	5,000 SF
PAD 2	5,000 SF
PAD 3	5,000 SF
PAD 4	8,000 SF
Total	31,000 SF

Estimated Seats 1,343

RETAIL PARKING REQUIRED: 875
 RESTAURANT PARKING REQUIRED: 321
 TOTAL PARKING REQUIRED: 1196
 MAXIMUM PARKING ALLOWED: 1435

Note: Building areas and tenant square footage is subject to change based on executed lease agreements obtained by the Developer.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PLANNING COMMISSION MTG PERMIT

PERMIT #:	1086	DESCRIPTION:	Rezone PCD to PCD with modifications
JOB ADDRESS:	0 CHARLOTTE ROWELL BLV	LOT #:	
PARCEL ID:	M0050045B00	BLK #:	
SUBDIVISION:		ZONING:	PCD
ISSUED TO:	Columbia Engineering	CONTRACTOR:	Columbia Engineering
ADDRESS:	2862 Buford Hwy	PHONE:	
CITY, STATE ZIP:	Duluth GA 30096	OWNER:	
PHONE:	770-925-0357	PHONE:	
PROP.USE:	COMMERCIAL	DATE ISSUED:	6/01/2022
VALUATION:	\$ 0.00	EXPIRATION:	11/28/2022
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-08	REZONE TO PLANNED DISTRICT	\$ 200.00
FEE TOTAL		\$ 200.00
PAYMENTS		\$ -200.00
BALANCE		\$ 0.00

NOTES:

Be advised, this request for a rezone from PCD to PCD with modifications at 0 Charlotte Rowell Blvd will be heard by the Planning Commission on June 21, 2022 at 5:30pm and City Council on July 12, 2022 at 6:00pm. Both meetings will take place in the City Hall Auditorium located at 215 N Broad St.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

James E. Hain
(APPROVED BY)

6/1/22
DATE

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property located at the east side of Charlotte Rowell Blvd, the north side of US Hwy 78, and the west side of N. Broad St. (Parcels #MO050045B00 and #MO050045C00) be rezoned from PCD to PCD with modifications.

A public hearing will be held before the City of Monroe Planning Commission to review and consider a recommendation to the Monroe City Council at the City Hall Auditorium at 215 N. Broad Street on July 19, 2022 at 5:30 P.M. The Monroe City Council will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on August 9, 2022 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

July 3, 2022

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property located at the east side of Charlotte Rowell Blvd, the north side of US Hwy 78, and the west side of N. Broad St. (Parcels #MO050045B00 and #MO050045C00) be rezoned from PCD to PCD with modifications.

A public hearing will be held before the City of Monroe Planning Commission to review and consider a recommendation to the Monroe City Council at the City Hall Auditorium at 215 N. Broad Street on June 21, 2022 at 5:30 P.M. The Monroe City Council will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on July 12, 2022 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

June 5, 2022



CODE DEPARTMENT

July 1, 2022

To Whom It May Concern:

Be advised that a public hearing before the Planning Commission is scheduled for June 21, 2022 to consider an application for rezoning +95.42 acres located at the east side of Charlotte Rowell Blvd, the north side of US Hwy 78, and the west side of N. Broad St., Parcels #M0050045B00 and #M0050045C00. The property is currently zoned Planned Commercial District (PCD) with a request to change the zoning classification to Planned Commercial District with modifications (PCD). As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on July 3, 2022.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the rezone request for the property will be as follows:

- Planning Commission—July 19, 2022 at 5:30pm
- City Council—August 9, 2022 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend for this application.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant



CODE DEPARTMENT

June 7, 2022

To Whom It May Concern:

Be advised that a public hearing before the Planning Commission is scheduled for June 21, 2022 to consider an application for rezoning +95.42 acres located at the east side of Charlotte Rowell Blvd, the north side of US Hwy 78, and the west side of N. Broad St., Parcels #M0050045B00 and #M0050045C00. The property is currently zoned Planned Commercial District (PCD) with a request to change the zoning classification to Planned Commercial District with modifications (PCD). As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on June 5, 2022.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the rezone request for the property will be as follows:

- Planning Commission—June 21, 2022 at 5:30pm
- City Council—July 12, 2022 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend for this application.

If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant

REZONE APPLICATION FORM

PERMIT NUMBER N/A

- I. LOCATION MONROE PAVILION DEVELOPMENT
COUNCIL DISTRICT 3RD
MAP NUMBER LOTS 40 & 63
PARCEL NUMBER M0050045B00
- II. PRESENT ZONING PCD REQUESTED ZONING PCD
- III. ACREAGE 95.414 PROPOSED USE COMMERCIAL
- IV. OWNER OF RECORD MAB MONROE LLC
ADDRESS 525 N. TRYON STREET CHARLOTTE, NC 28202

PHONE NUMBER 770-925-0357 Email RFRITZ@COLUMBIA-ENGINEERING.COM

The following information must be supplied by the applicant. (attach additional pages if needed)

- V. ANALYSIS:
 - 1. A description of all existing uses and zoning of nearby property
CURRENT PROPERTY IS PARTIALLY DEVELOPED WITH A SHOPPING CENTER WITH RETAIL & RESTAURANT SPACES. A PORTION OF THE PROPERTY IS PAD-READY SITES BUT UNDEVELOPED. NEARBY PROPERTIES ARE ZONED B-3 AND B-2.
 - 2. Description of the extent to which the property value of the subject property is diminished by the existing zoning district classification N/A
 - 3. The existing value of the property contained in the petition for rezoning under the existing zoning classification N/A
 - 4. The value of the property contained in the application for rezoning under the proposed zoning Classification N/A
 - 5. A description of the suitability of the subject property under the existing zoning classification
CURRENT ZONING WILL REMAIN THE SAME.
 - 6. A description of the suitability of the subject property under the proposed zoning classification of the property
CURRENT ZONING WILL REMAIN THE SAME.

Rezoning Application
Page Two (2)

- 7. A description of any existing use of property including a description of all structures presently occupying the property THE PROPERTY CONTAINS PAD READY OUTLOTS FOR COMMERCIAL/RETAIL AS WELL AS A NEWLY OPENED SHOPPING CENTER DEVELOPMENT.

- 8. The length of time the property has been vacant or unused as currently zoned N/A

- 9. A detailed description of all efforts taken by the property owner(s) to use the property or sell the property under the existing zoning classification N/A

Applications found to be incomplete or incorrect will be rejected. See the attached calendar for deadline dates. It is the responsibility of the applicant and not the staff to ensure that a complete and accurate application is submitted.

LEGAL DESCRIPTION OF PROPERTY

Rezoning Application
Page Three (3)

Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be rezoned accordingly.

Owner of property (signature) _____
Address _____
Phone Number _____

Attorney/Agent (signature) _____
Address _____
Phone Number _____

Personally appeared before me the above applicant named _____ who on oath says that he/she is the _____ for the foregoing, and that all the above statements are true to the best of his/her knowledge.

_____ (Notary Public) _____ (Date)

My Commission Expires _____

Page five (5)

For any application for P, B-1, B-2, B-3 or M-1 districts the site plan shall identify: (circle the appropriate district applied for)

- the maximum gross square footage of building area
- the maximum lot coverage of building area
- the minimum square footage of landscaped area
- the maximum height of any structure
- the minimum square footage of parking and drive areas
- the proposed number of parking spaces

For any application for the R-1, R-1A, R-2 or MH districts the site plan shall additionally identify: (circle the appropriate district applied for)

- the maximum number of residential dwelling units
- the minimum square footage of heated floor area for any residential dwelling unit
- the maximum height of any structure
- the minimum square footage of landscaped area
- the maximum lot coverage of building area
- the proposed number of parking spaces
- on all rezoning applications a revised site plan to be approved at a later date by the Mayor and City Council may be required
- yes no Applicant site plan indicates a variance requested
- for any application for multi-family residential uses, the site plan shall also identify the maximum height of any structure, location of amenities, and buffer areas: and,
- any other information as may be reasonably required by the Code Enforcement Officer.

Any applicant requesting consideration of a variance to any provision of the zoning ordinance as shown on the required site plan shall identify the variance(s) and identify for each variance shown the following information which shall confirm that the following condition(s) exist:

1. Any information which identifies that there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district.
2. Any information whereby a literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located.
3. Any information supporting that granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located.
4. Information clearly showing that the requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
5. Information that the special circumstances are not the result of the actions of the applicant.
6. A description of how the variance requested is the minimum variance that will make possible the legal use of the land, building, or structure in the use district proposed.
7. Information indicating the variance is not a request to permit a use of land, buildings, or structures, which are not permitted by right in the district involved.

Rezoning Application

Page six (6)

COMMENTS

THIS REZONING APPLICATION IS FOR AN AMENDMENT TO THE PREVIOUSLY APPROVED MONROE PAVILION PATTERN BOOK. THE AMENDMENT INCLUDES PROVISIONS FOR HEIGHT RESTRICTIONS, ZERO LOT LINE PROPERTIES, AND REVISED PARKING REQUIREMENTS.

Blank lines for additional comments.

Disclosure of Campaign Contributions and/or gifts:

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years. The filing shall be within ten (10) days after the application is made, and in the case of a supporter or opponent, filing shall be at least five (5) days before the first public hearing.

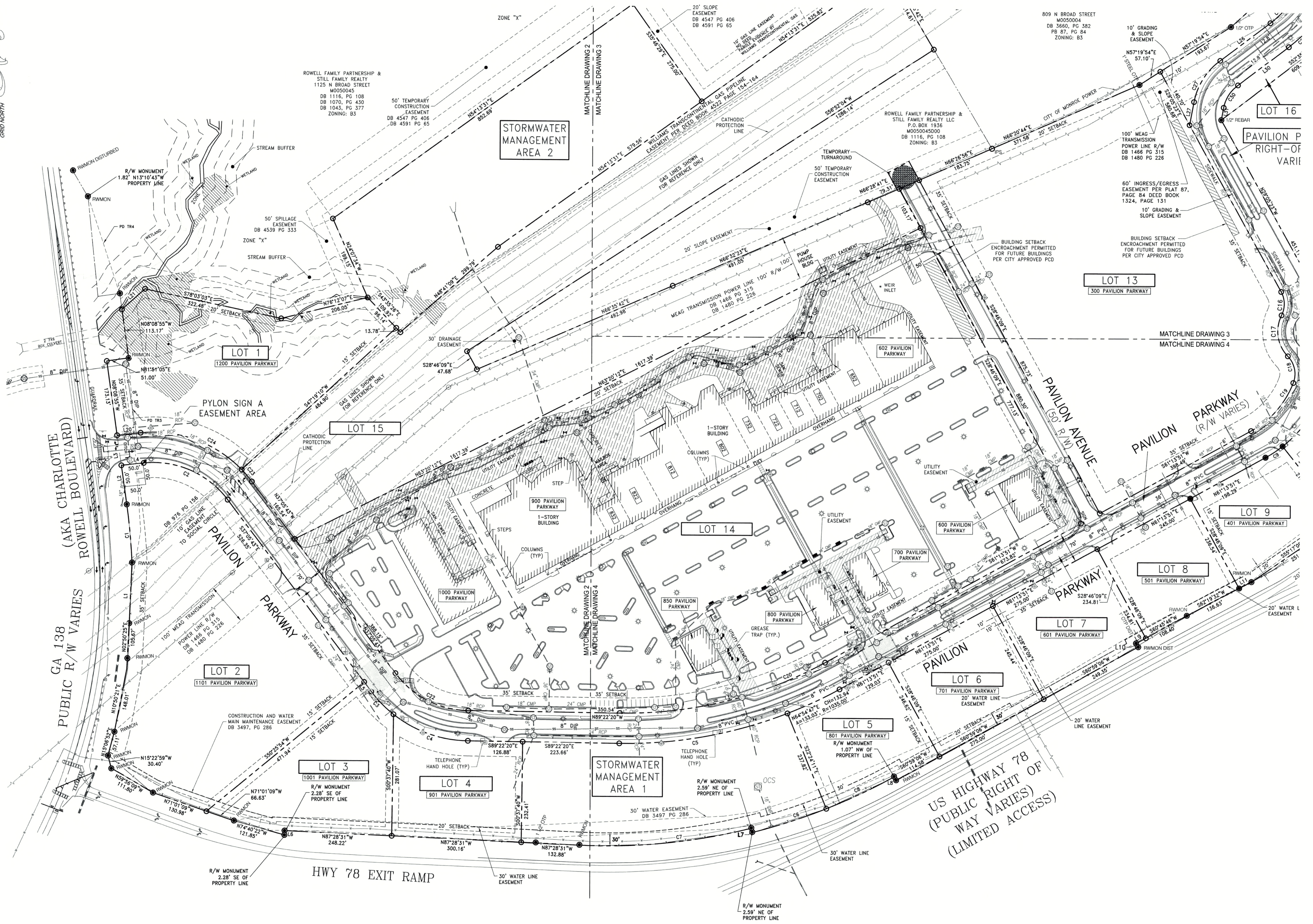
I hereby withdraw the above application: Signature: _____ Date: _____

MONROE PAVILION LAND DESCRIPTION

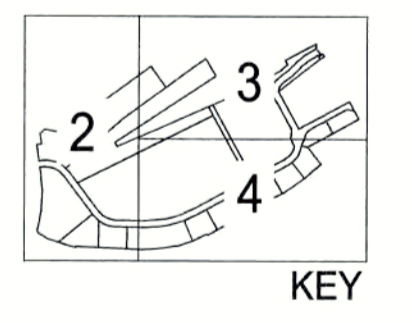
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 40 AND 63 OF THE 3RD DISTRICT OF WALTON COUNTY GEORGIA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A R/W MONUMENT AT THE SOUTHWESTERN END OF THE MITER OF THE R/W OF GEORGIA HIGHWAY 11 AND THE NORTHERLY R/W OF US HIGHWAY 78 THENCE ALONG US HIGHWAY 78 R/W S73°01'41"W A DISTANCE OF 203.67' TO A POINT; THENCE ALONG A CURVE TO THE LEFT 317.68' HAVING A RADIUS OF 939.08' AND SUBTEND BY A CHORD OF S63°33'37"W AND DISTANCE OF 316.17' TO A 1" GALVANISED OPEN TOP PIPE FOUND **THE TRUE POINT OF BEGINNING**; ALONG THE R/W OF US 78 THE FOLLOWING COURSES S50°29'12"W A DISTANCE OF 129.13' TO A POINT; THENCE S47°16'54"W A DISTANCE OF 105.01' TO A R/W MONUMENT FOUND; THENCE S55°17'08"W A DISTANCE OF 251.83' TO A R/W MONUMENT FOUND; THENCE S62°19'32"W A DISTANCE OF 168.85' TO A R/W MONUMENT FOUND; THENCE S60°45'46"W A DISTANCE OF 133.57' TO A 1" OPEN TOP PIPE (DISTURBED) FOUND; THENCE S25°48'10"E A DISTANCE OF 9.36' TO A R/W MONUMENT (DISTURBED) FOUND; THENCE S60°59'06"W A DISTANCE OF 638.93' TO A R/W MONUMENT FOUND; THENCE N28°58'31"W A DISTANCE OF 9.00' TO A POINT NEAR A R/W MONUMENT FOUND; THENCE ALONG A CURVE TO THE RIGHT 355.90' HAVING A RADIUS OF 1382.39' AND SUBTENDED BY A CHORD OF S68°24'00"W A DISTANCE OF 354.92' TO A POINT NEAR A R/W MONUMENT FOUND; THENCE N14°13'28"W A DISTANCE OF 10.00' TO A POINT NEAR A R/W MONUMENT FOUND; THENCE ALONG A CURVE TO THE RIGHT 401.19' HAVING A RADIUS OF 1372.39' AND SUBTENDED BY A CHORD OF S84°09'00"W AND DISTANCE OF 399.76' TO A R/W MONUMENT FOUND; THENCE N87°28'31"W A DISTANCE OF 681.27' TO A POINT NEAR A R/W MONUMENT FOUND; THENCE S02°31'29"W A DISTANCE OF 10.00' TO A POINT NEAR A R/W MONUMENT FOUND; THENCE N74°40'22"W A DISTANCE OF 121.85' TO A R/W MONUMENT FOUND; THENCE N71°01'09"W A DISTANCE OF 197.61' TO A R/W MONUMENT FOUND; THENCE N59°56'09"W A DISTANCE OF 111.80' TO A R/W MONUMENT FOUND AT THE MITER OF THE R/W OF US HIGHWAY 78 AND THE R/W OF GEORGIA HIGHWAY 138; THENCE N15°22'59"W A DISTANCE OF 30.40' TO A R/W MONUMENT FOUND ON THE R/W OF GEORGIA HIGHWAY 138; THENCE ALONG THE R/W OF GEORGIA HIGHWAY 138 THE FOLLOWING COURSES; N15°06'52"E A DISTANCE OF 57.11' TO A R/W MONUMENT FOUND; THENCE N10°50'21"E A DISTANCE OF 148.01' TO A R/W MONUMENT FOUND; THENCE N02°50'25"E A DISTANCE OF 105.67' TO A R/W MONUMENT FOUND; THENCE N02°27'12"E A DISTANCE OF 140.44' TO A R/W MONUMENT FOUND; THENCE ALONG A CURVE TO THE LEFT 135.22' HAVING A RADIUS OF 1375.00' AND SUBTENDED BY A CHORD OF N05°19'56"W A DISTANCE OF 135.16' TO A R/W MONUMENT FOUND; THENCE N08°08'55"W A DISTANCE OF 334.16' TO A POINT; THENCE N81°51'05"E A DISTANCE OF 51.00' TO A R/W MONUMENT FOUND; THENCE N08°08'55"W A DISTANCE OF 150.00' TO A R/W MONUMENT FOUND; THENCE S81°51'05"W A DISTANCE OF 51.00' TO A POINT; THENCE N05°54'28"W A DISTANCE OF 230.18' TO A POINT NEAR A R/W MONUMENT FOUND; THENCE LEAVING GEORGIA HIGHWAY 138 R/W N63°58'20"E A DISTANCE OF 1850.41' TO A 1" OPEN TOP PIPE FOUND; THENCE S38°30'16"E A DISTANCE OF 101.94' TO AN AXLE FOUND; THENCE S31°31'35"E A DISTANCE OF 192.91' TO A ½" OPEN TOP PIPE FOUND; THENCE S30°46'42"E A DISTANCE OF 517.35' TO A IPS, THENCE N66°20'44"E A DISTANCE OF 371.58' TO A 1" STEEL OPEN TOP PIPE FOUND; THENCE N57°19'54"E A DISTANCE OF 250.77' TO A ½" OPEN TOP PIPE FOUND; THENCE N48°14'44"E A DISTANCE OF 104.12' TO A ½" OPEN TOP PIPE FOUND; THENCE N31°14'10"W A DISTANCE OF 50.08' TO A ½" CRIMP TOP PIPE FOUND; THENCE N62°39'33"E A DISTANCE OF 379.10' TO A POINT ON THE R/W OF GEORGIA HIGHWAY 11; THENCE ALONG GEORGIA HIGHWAY 11 S29°37'20"E A

DISTANCE OF 151.18' TO A 1" OPEN TOP PIPE (GALVINIZED) FOUND; THENCE LEAVING GEORGIA HIGHWAY 11 S52°35'58"W A DISTANCE OF 609.73' TO A ½" REBAR FOUND; THENCE S29°05'23"E A DISTANCE OF 451.11' TO A ½" OPEN TOP PIPE FOUND; THENCE N62°01'22"E A DISTANCE OF 318.75' TO A 5/8" ROD FOUND; THENCE N62°01'22"E A DISTANCE OF 292.13' TO AN IPS ON THE R/W OF GEORGIA HIGHWAY 11; THENCE ALONG GEORGIA HIGHWAY 11 S29°34'37"E A DISTANCE OF 208.52' TO A ½" OPEN TOP PIPE FOUND; THENCE LEAVING GEORGIA HIGHWAY 11 S61°13'49"W A DISTANCE OF 624.23' TO A SCAPE BLADE FOUND; THENCE S38°23'22"E A DISTANCE OF 115.03' TO A ½" REBAR W/CAP FOUND; THENCE S38°23'22"E A DISTANCE OF 116.11' TO A 1" OPEN TOP PIPE (GALVINIZED) **AT THE TRUE POINT OF BEGINNING.**

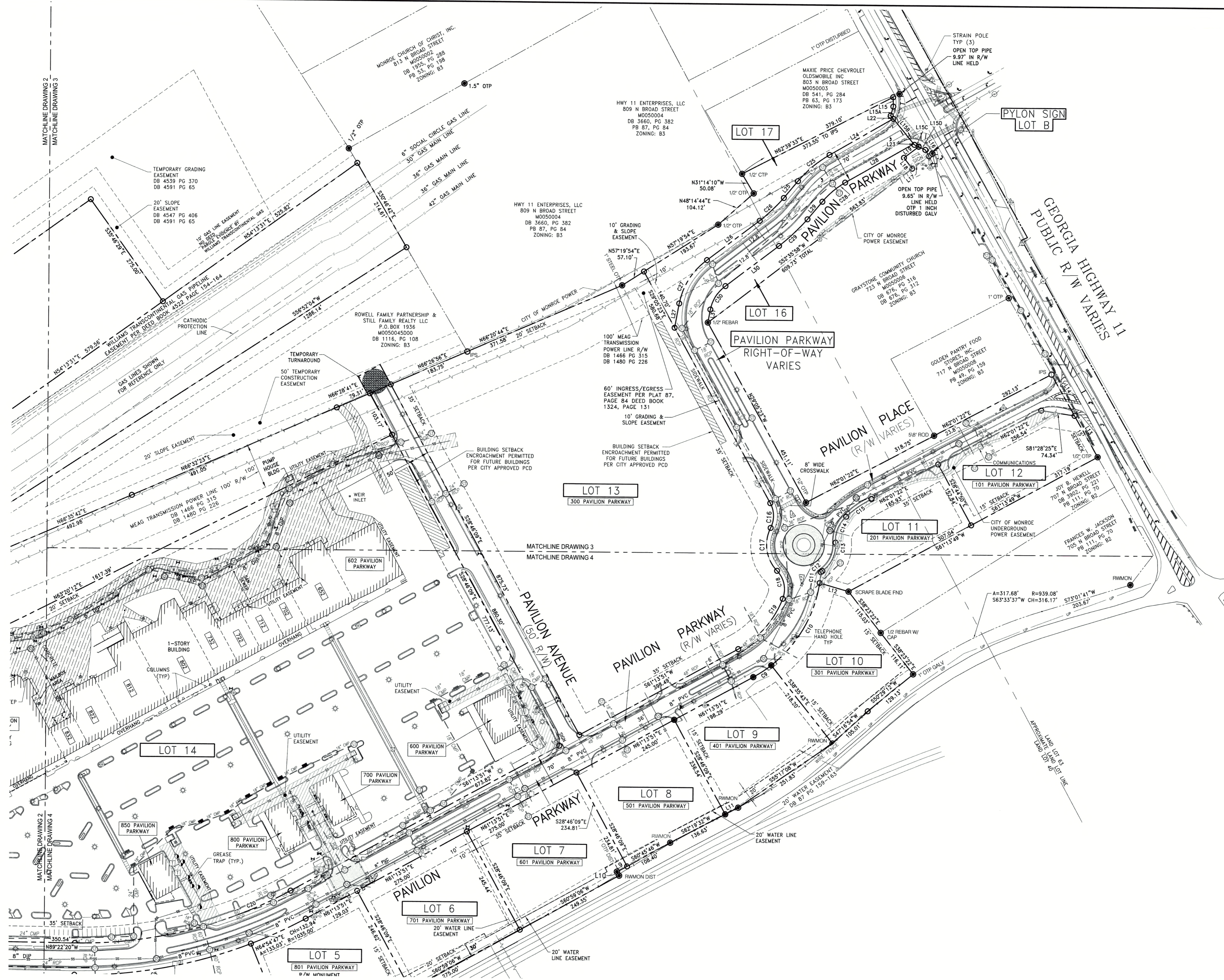
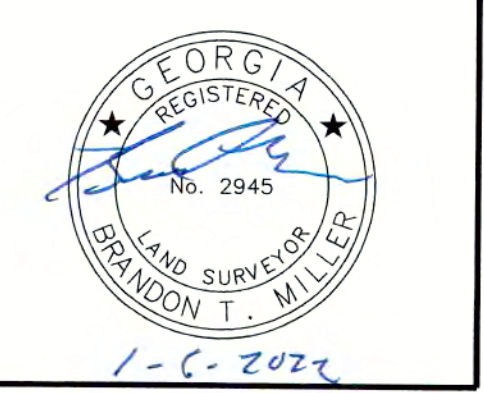


FINAL PLAT FOR:
MONROE PAVILION
 US HIGHWAY 78 AT CHARLOTTE ROWELL BLVD
 MONROE, GEORGIA
 MAB AMERICAN MANAGEMENT, LLC
 525 N. TRYON STREET, SUITE 1600 CHARLOTTE, NC 28202
 LOCATED IN LAND LOTS 40 & 63, 3rd DISTRICT OF WALTON COUNTY, GA.

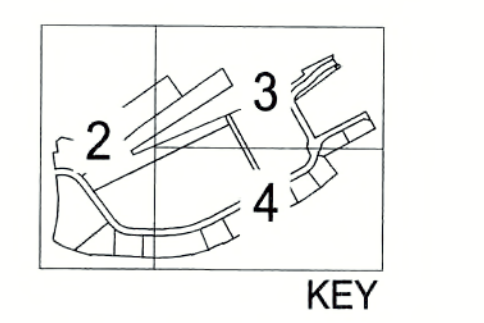


REVISIONS	DATE

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DRAWN BY: MT	4273.01
PROJECT NO: 4273.01	FIELD DATE: 12/07/20
PLAT DATE: 12/15/21	2 OF 4
SCALE: 1"=100'	



FINAL PLAN FOR:
MONROE PAVILION
 US HIGHWAY 78 AT CHARLOTTE ROWELL BLVD
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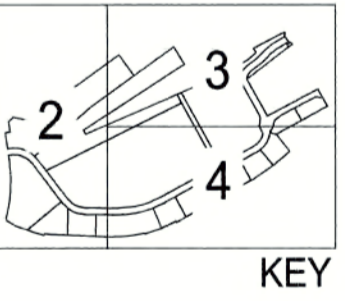


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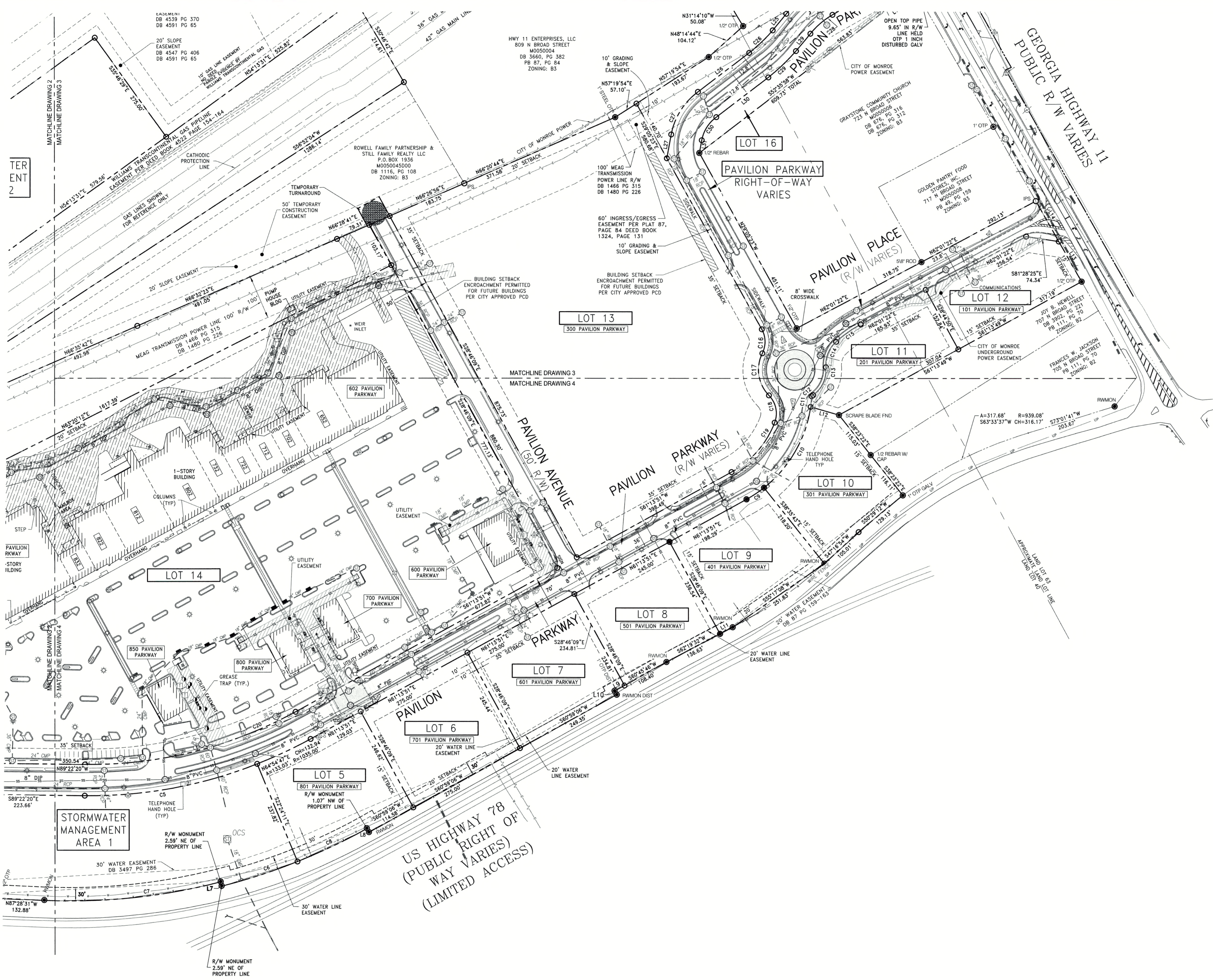
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Monroe Pavilion

Located in the City of Monroe, Georgia

Submitted: May 6, 2019
Revised: October 3, 2019
Revised: May 20, 2022

MAB American

525 N Tryon Street, Suite 1600
Charlotte, NC 28202

Columbia Engineering
LAND PLANNERS • CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS

2862 Buford Highway, Suite 200
Duluth, Georgia 30096

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Monroe Pavilion

City of Monroe

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Introduction

On behalf of MAB American, LLC, the purpose of this Pattern Book is to provide a development outline and illustrations for the 95.48-acre Monroe Pavilion Planned Community Development (PCD), which will have more than 365,000 square feet of building area at final build-out. The 95.48-acre site is bordered on the south by US Highway 78, on the east by Georgia Highway 11, also known as North Broad Street, and on the west by Charlotte Rowell Boulevard. The subject site is currently zoned B-3, Highway Commercial District, and is within the Corridor Design Overlay District.

In addition to outlining the details and objectives of the Monroe Pavilion development and how it will meet the City of Monroe Zoning Ordinance requirements, this Pattern Book is intended to accompany MAB's request for rezoning to PCD, Planned Commercial Development, and a Certificate of Appropriateness related to the Corridor Design Overlay District for the Development.

Planning Objective

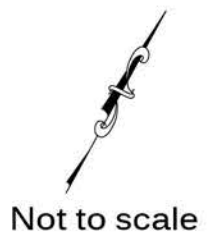
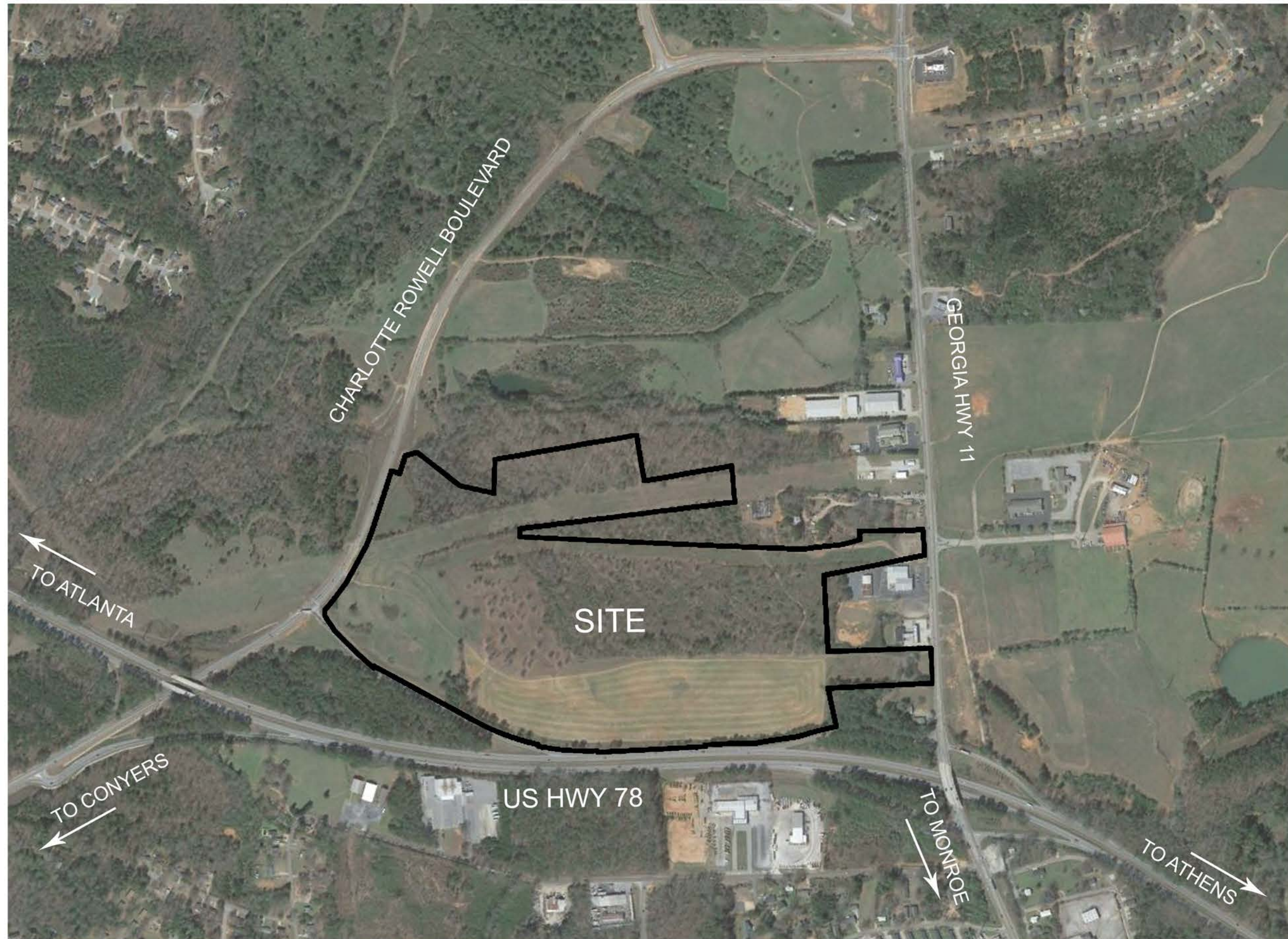
Monroe Pavilion is a Planned Community Development that provides a diverse commercial center with retail, restaurants, hotels, services and entertainment to serve the citizens of Monroe and the surrounding communities in Walton County with shopping opportunities to meet their needs. Situated between the interchanges with US Highway 78 and Charlotte Rowell Boulevard and Georgia Highway 11, Monroe Pavilion is ideally located to take advantage of the major thoroughfares and regional traffic patterns.

The proposed architecture, signage, streetscape, landscape and other design elements within Monroe Pavilion will be coordinated to reflect a cohesive character throughout the Development. Connectivity for both vehicular and pedestrian access binds the development components together to create a desirable gateway hub for Monroe. These design elements achieve a strong sense of arrival that is reflective of the City's character.

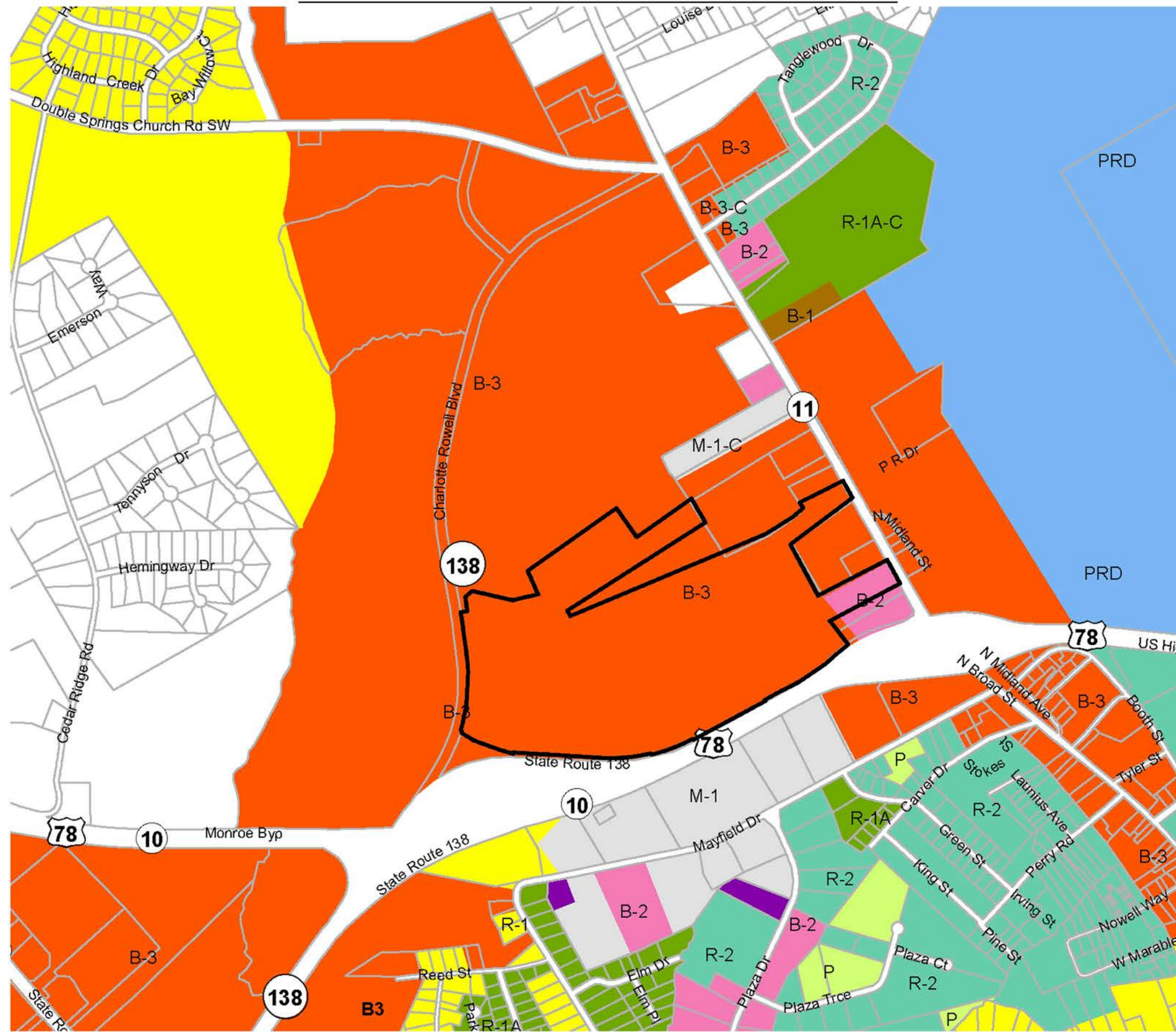
VICINITY MAP



LOCATION MAP



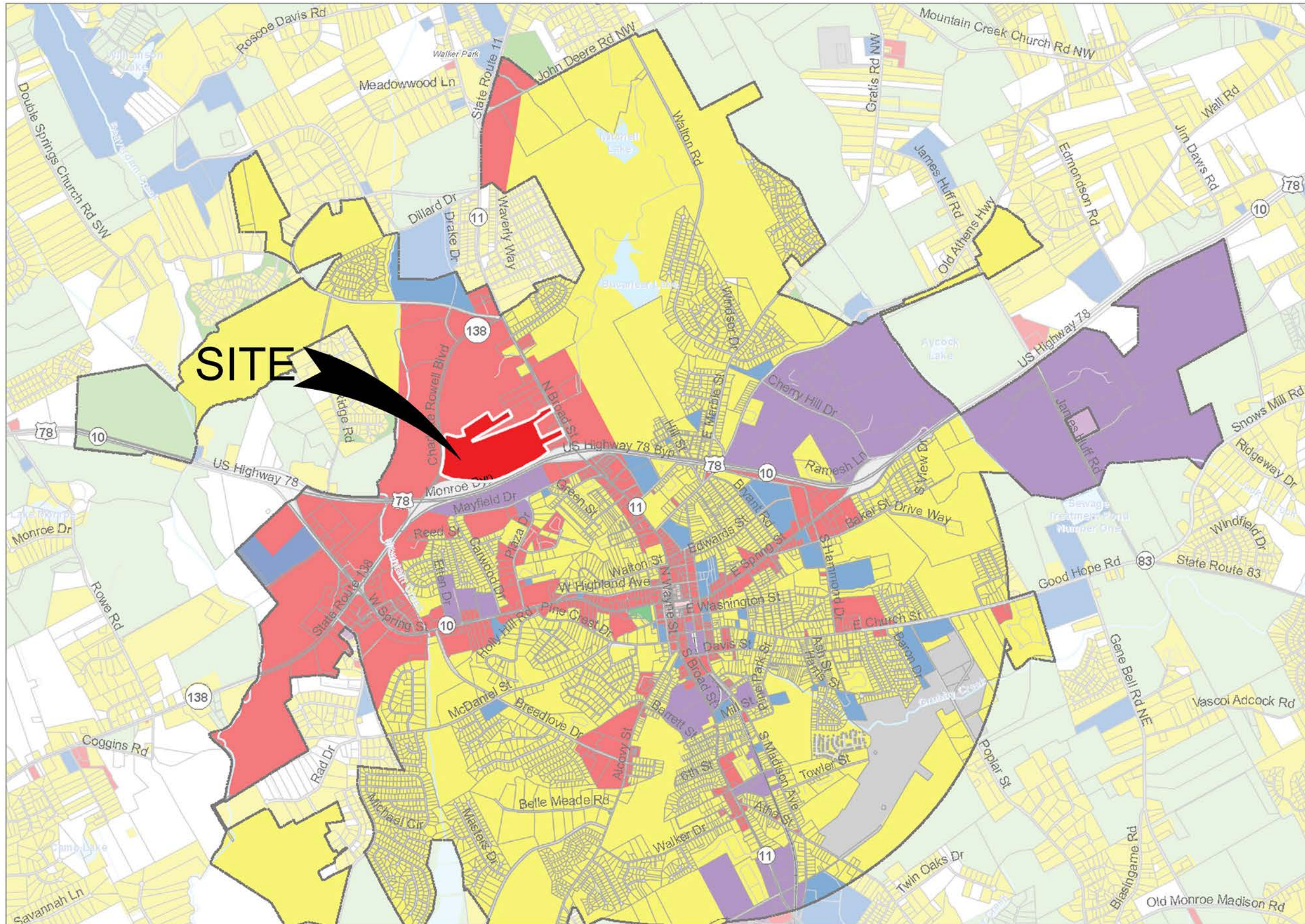
CITY OF MONROE ZONING MAP



This site lies within the B-3 Highway Commercial District of the City of Monroe Zoning Ordinance.



CITY OF MONROE FUTURE LAND USE MAP

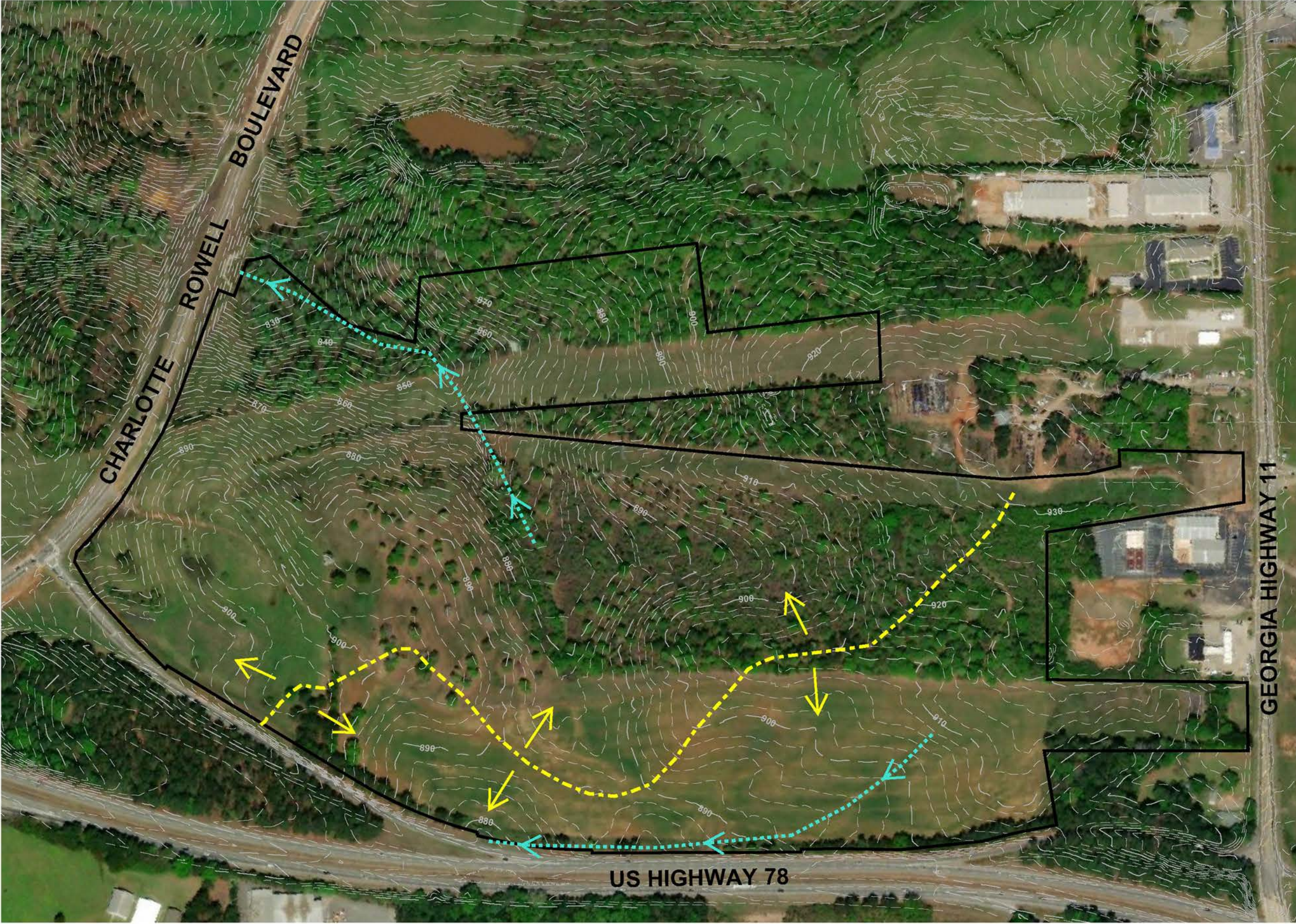


- ### Future Land Use
- Residential
 - Commercial
 - Industrial
 - Public/Institutional
 - T/C/U
 - Park/Rec/Cons
 - Agriculture/Forestry
 - Mixed Use

- ### Other
- State Route
 - Local Road
 - Railroad
 - City Limits
 - Rivers and Streams
 - Lakes
 - Parcels

This site lies within the Future Land Use category of "Commercial"

EXISTING CONDITIONS TOPOGRAPHIC MAP



LEGEND

DRAINAGE FLOW PATH:



RIDGELINE:



DIRECTION OF FLOW:

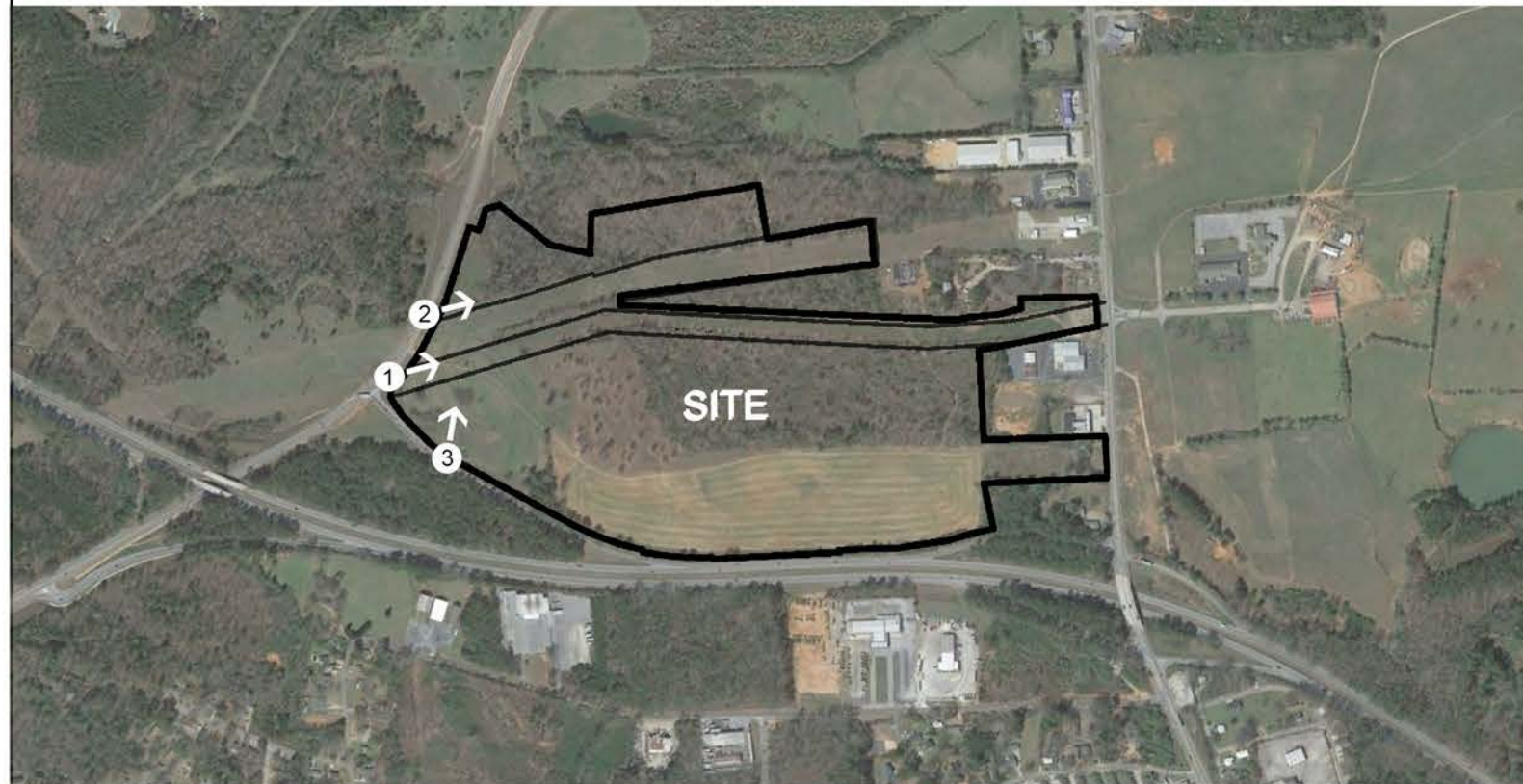


SITE BOUNDARY:

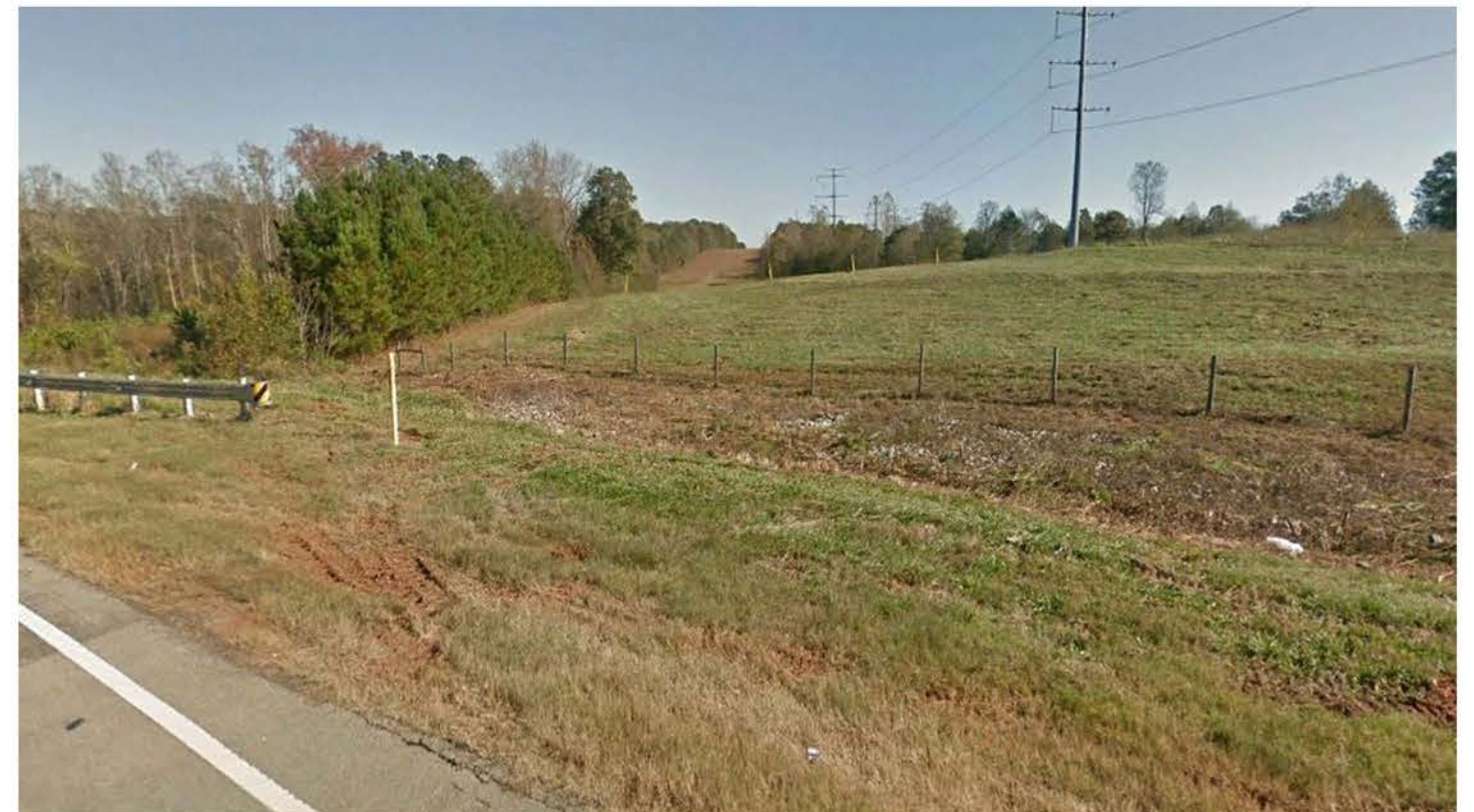


EXISTING CONDITIONS PHOTOS

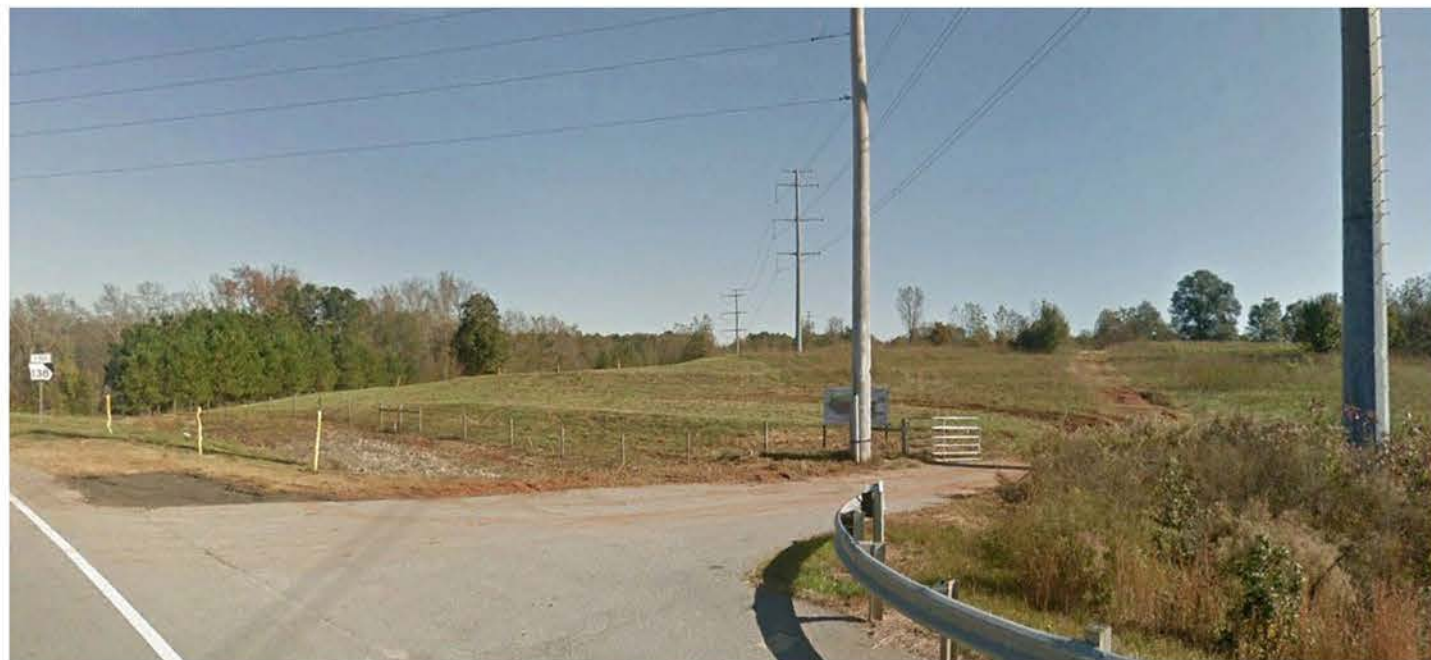
Key Map



Picture 2



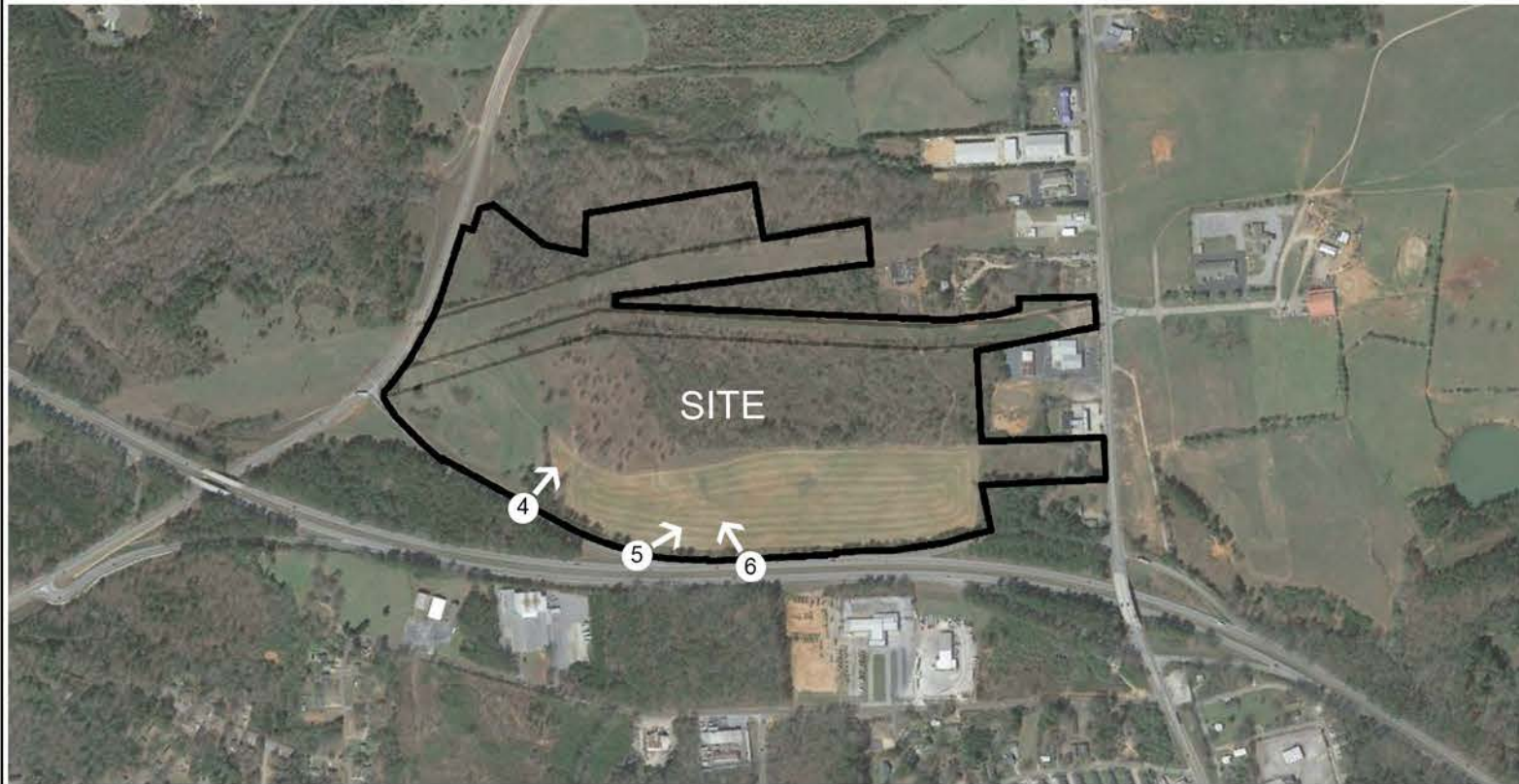
Picture 1



Picture 3



Key Map



Picture 5



Picture 4

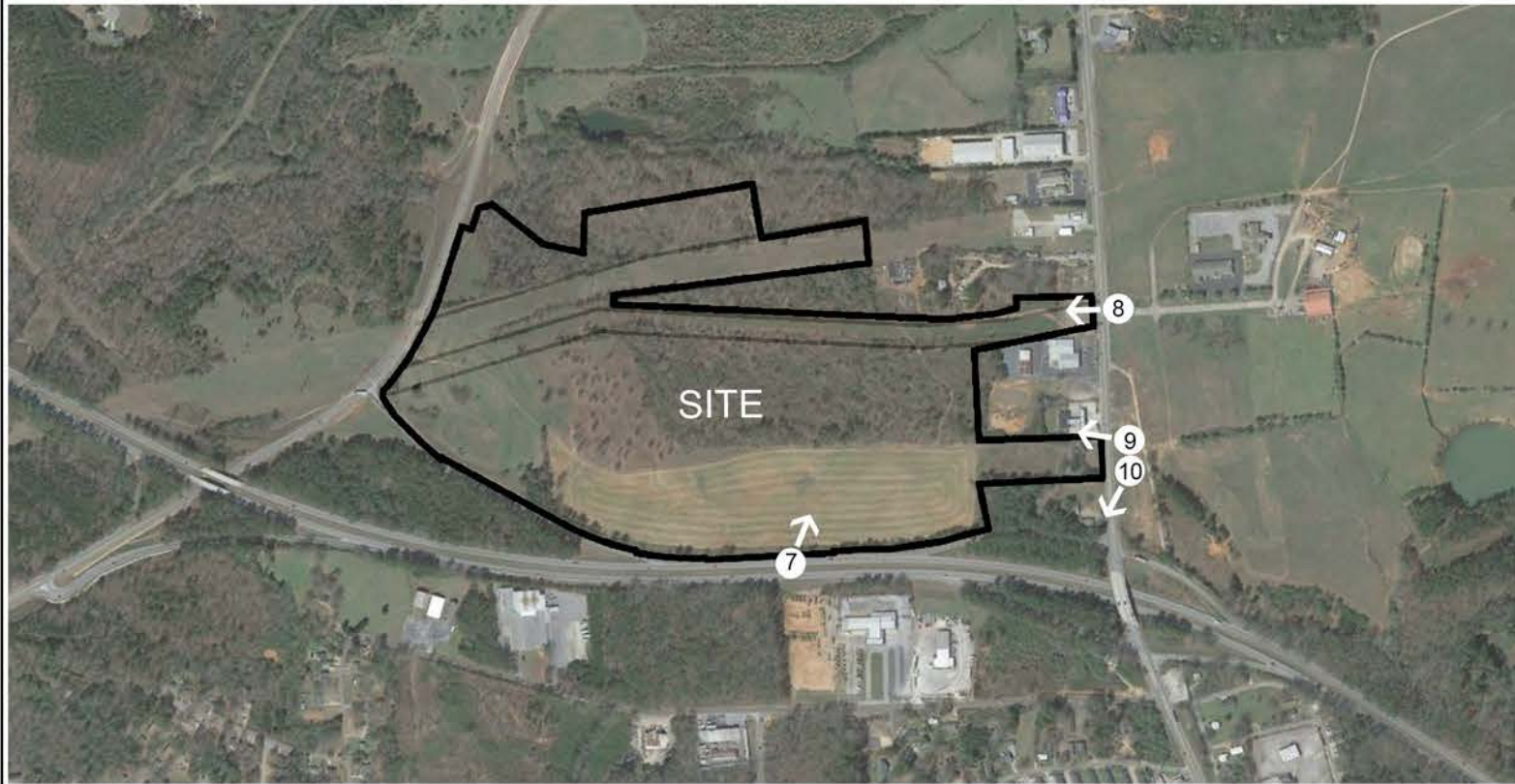


Picture 6



EXISTING CONDITIONS PHOTOS

Key Map



Picture 8



Picture 9



Picture 10

Picture 7



PROJECT OVERVIEW

Overview

Monroe Pavilion is a Planned Community Development that provides a diverse commercial center with retail, restaurants, hotels, services and entertainment to serve the citizens of Monroe and the surrounding communities in Walton County. The Master Plan, as shown on Page 2.3, reflects the development of 215,157 square feet of new retail and restaurant buildings within the 48.93-acre Shopping Center Tract, twelve (12) outlots, of which one (1) is planned to be a multi-story hotel and one (1) is planned to be a multi-story hotel or office, and the potential for future development of 150,431 square feet in building expansions and new buildings within the Shopping Center Tract and the Future Major G Parcel.

The Development also includes a new collector street, currently called “Retail Boulevard”, which will provide an east-west connection between Georgia Highway 11 and Charlotte Rowell Boulevard. The new “Retail Boulevard” will be more than 5,000 linear feet in length, will have a 70-foot right-of-way width, will be lined with street trees and sidewalks and will be dedicated to the City of Monroe. Design of the “Retail Boulevard” will include traffic calming measures such as a roundabout at the three-way intersection west of Georgia Highway 11 and two (2) raised intersections at main entry points to the Development from the “Retail Boulevard”. The outlots within the Development shall have shared access points along the “Retail Boulevard” as depicted in the Master Plan and shall be required by the Developer to have cross access connectivity between adjoining outlots.

Pedestrian connectivity is provided throughout the Development with six-foot wide public sidewalks along the new “Retail Boulevard” and four-foot wide internal sidewalks connecting the proposed buildings to the “Retail Boulevard”. These sidewalks along the “Retail Boulevard” will also provide pedestrian connectivity to the proposed outlots within the Development and each outlot, as it is developed, shall provide the required six-foot sidewalk along their frontage and a four-foot wide sidewalk connection to the public sidewalk at the “Retail Boulevard”.

The Major G Parcel will be developed in a future phase of the Development. The layout for this parcel as shown in the Master Plan is conceptual in nature and is subject to changes once a tenant has been identified. The conceptual layout currently reflects a large retail building with a pad building fronting the “Retail Boulevard”. The proposed buildings will have parking that is shared between the different uses.

Monroe Pavilion promotes the City’s goal of open space conservation through the proposed landscaping within the Development, streetscape along the new “Retail Boulevard” and preservation of the green space on the north side of the Development due to the existing Williams Transcontinental Gas Pipeline easement and the MEAG Transmission Powerline Right-of-Way that both traverse from the east to the west across the Development. Also a part of the open space at Monroe Pavilion will be two (2) master stormwater detention facilities that will serve the entire Development, including the Shopping Center Tract, new “Retail Boulevard”, Future Major G Parcel and all outlots. The stormwater management facility along the “Retail Boulevard” shall serve as an amenity to the development as a retention pond with aeration fountains and landscaping. Where the slopes permit, there may also be a paved walking trail with seating provided around the facility. At final buildout, the 95.48-acre Monroe Pavilion development will have more than the 40% open space required by the City’s Zoning Ordinance.

OVERALL SITE DATA

TOTAL SITE AREA	95.48 Acres
EXISTING ZONING	B-3 (Highway Commercial District)
OVERLAY DISTRICT	Corridor Design Overlay District
SHOPPING CENTER TRACT	48.93 Acres
FUTURE MAJOR G PARCEL	11.58 Acres
DEDICATED COLLECTOR R.O.W.	10.07 Acres
OUTLOTS	24.79 Acres
PROPOSED BUILDING AREA	215,157 SF
FUTURE BUILDING AREA	150,431 SF

OUTLOTS

HOTEL/OFFICE 1	6.54 Acres
HOTEL 2	3.82 Acres
OUTLOT 1	2.06 Acres
OUTLOT 2	1.64 Acres
OUTLOT 3	1.51 Acres
OUTLOT 4	1.57 Acres
OUTLOT 5	1.54 Acres
OUTLOT 6	1.32 Acres
OUTLOT 7	1.38 Acres
OUTLOT 8	1.28 Acres
OUTLOT 9	1.07 Acres
OUTLOT 10	1.06 Acres

Note: Outlot areas are subject to change.

BUILDING AREAS

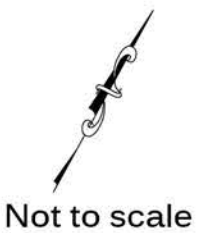
MAJOR A	48,387 SF
MAJOR B	18,000 SF
MAJOR C	21,000 SF
MAJOR D	6,400 SF
MAJOR E	20,000 SF
MAJOR F	11,700 SF
SHOPS A	21,700 SF
SHOPS B	4,200 SF
JUNIOR A	10,000 SF
JUNIOR B	8,470 SF
JUNIOR C	6,000 SF
JUNIOR D	5,000 SF
JUNIOR E	5,000 SF
JUNIOR F	5,000 SF
PAD 1	5,000 SF
PAD 2	5,000 SF
PAD 3	5,000 SF
PAD 4	8,000 SF
FUTURE MAJOR G	120,000 SF
FUTURE PAD 5	4,800 SF
FUTURE EXPANSIONS	25,631 SF

Note: Building areas and tenant square footage is subject to change based on executed lease agreements obtained by the Developer.

VICINITY MAP RENDERING



MASTER PLAN



Not to scale

The Master Plan for the Monroe Pavilion Planned Community Development (PCD), as illustrated on Page 2.3, is governed by the City of Monroe Zoning Ordinance adopted June 10, 2014 and last amended May 8, 2018. The subject 95.48-acre site is currently zoned B-3, Highway Commercial District, and is within the Corridor Design Overlay District (CDO). The Master Plan has been developed to meet the zoning ordinance and overlay requirements, and, where certain requirements cannot be met, the spirit of the ordinance has been applied. The following is a discussion of how the Monroe Pavilion Master Plan complies with requirements while allowing compromises to meet current developer and tenant requirements and needs. Future parcels and outlots shall meet the same requirements as shown and stated within this Pattern Book.

Section 430 – One Principle Structure on a Lot

This section allows only one (1) principle structure and permitted customary accessory buildings on any lot. The Shopping Center Tract and Future Major G Parcel shall be allowed to have multiple buildings within their respective lots as reflected on the Master Plan. Each of the twelve (12) outlots shall comply with this section by having one (1) principle structure. Any principal structure in the Monroe Pavilion Development shall have a maximum of five stories, no building is allowed to be taller than five stories. Zero lot line development and subdivision is allowed within the Monroe Pavilion Development. All other parcel setbacks to coincide with approved Pattern Book and/or City B-3 zoning ordinance.

Section 520 – Off-Street Automobile Parking

520.2(1) Minimum Size of Off-Street Parking Space

This section requires a minimum parking space size of nine (9) feet wide by twenty (20) feet long with a minimum area of 180 SF. The Master Plan shows all 60-degree parking spaces sized at ten (10) feet wide by eighteen (18) feet long and 90-degree parking spaces sized at nine (9) feet wide by eighteen (18) feet long.

520.3 – Parking Space Requirements for All Districts

Per Table 3 of the Zoning Ordinance, the following are minimum required parking spaces based on use:

- Retail Establishments: 1 space/employee + 1 space/500 SF
- Restaurants: 1 space/5 seats + 1 space/600 SF

This section also requires that the maximum number of parking spaces shall not exceed 120% of the minimum required spaces. The Master Plan currently shows 1406 parking spaces within the Shopping Center Tract that will be shared between the multiple proposed buildings and uses. Per the Parking Analysis on this page, the Shopping Center Tract complies with this section of the ordinance. However, due to standard tenant requirements anticipated at each standalone outlot, the maximum number of parking spaces allowed within the outlots shall be 135% of the minimum required spaces. Due to anticipated tenant requirements for each standalone outlot, all restaurant establishments shall have a minimum parking requirement calculated in accordance with the ratio and seat counts below.

- Restaurants Minimum Parking Requirement: 1 space/3 seats + 1 space/350 SF of building space
- Number of seats for restaurants includes seating for indoor dining and outdoor patios.
- Required ADA parking spaces for restaurants shall be treated as allowable parking spaces in excess of the 135% parking maximum space count.
- Up to two (2) designated curbside pickup parking spaces for restaurants are allowed to be added in excess of the 135% parking maximum space count.

520.4(6) – Site Requirements: Landscaping

This section requires that for all parking areas with ten (10) or more parking spaces shall have a minimum of 15% of the interior parking area permanently landscaped. The CDO requirement of 12% interior landscaped area, as stated in Section 643A.4(1)(c)(iv)(c), shall be the requirement for the Monroe Pavilion Development. For the Shopping Center Tract, the Master Plan currently shows approximately 13% of the interior parking area to be permanently landscaped area.

520.4(10) – Site Requirements: Sidewalk

This section requires all parking facilities to have five (5) foot wide sidewalks connecting the facility to all public right of way sidewalks and building entrances. For the Monroe Pavilion Development, all public sidewalks shall be six (6) feet wide and all private internal sidewalks shall be four (4) feet wide.

Section 550 – Screening, Buffering, Landscaping

550.4(3) – Required Landscaping: Thoroughfare Landscaping

This section requires that a 25-foot landscape area about the right-of-way of all roads within the City limits. The CDO requirement of a frontage landscape area, as stated in Section 643A.4(2), is required to be 20 feet deep. As depicted in the Master Plan and in the Vignettes within this Pattern Book, the Shopping Center Tract, Major G Parcel and each outlot shall provide a minimum 20-foot deep frontage landscape area as measured from the edge of the public sidewalk to the back of curb at the internal parking along all road rights-of-way.

SHOPPING CENTER TRACT PARKING ANALYSIS

RETAIL PARKING CALCULATIONS

BUILDING	AREA	EST. EMPLOYEES
MAJOR A	48,387 SF	145
MAJOR B	18,000 SF	27
MAJOR C	21,000 SF	43
MAJOR D	6,400 SF	58
MAJOR E	20,000 SF	18
MAJOR F	11,700 SF	43
SHOPS A-Retail	13,700 SF	45
SHOPS B	4,200 SF	24
JUNIOR A	10,000 SF	15
JUNIOR B	8,470 SF	23
JUNIOR C	6,000 SF	20
JUNIOR D	5,000 SF	15
JUNIOR E	5,000 SF	15
JUNIOR F	5,000 SF	15
Total	184,157 SF	506

RESTAURANT PARKING CALCULATIONS

BUILDING	AREA
SHOPS A-Restaurant	8,000 SF
PAD 1	5,000 SF
PAD 2	5,000 SF
PAD 3	5,000 SF
PAD 4	8,000 SF
Total	31,000 SF

Estimated Seats 1,343

RETAIL PARKING REQUIRED: 875
 RESTAURANT PARKING REQUIRED: 321
 TOTAL PARKING REQUIRED: 1196
 MAXIMUM PARKING ALLOWED: 1435

Note: Building areas and tenant square footage is subject to change based on executed lease agreements obtained by the Developer.

Section 570 – Lot Coverage

This section defines that the maximum impervious lot coverage in all zoning districts shall be 60% with the exception of the CBD Downtown District. For this 93.48-acre Development, there are only three (3) tracts that can independently meet this requirement. Therefore, this 93.48-acre Development shall be considered as a whole when evaluating lot coverage and each tract shall have a lot coverage as defined in the Lot Coverage table found on this page. With the lot coverages provided, the overall lot coverage for the Development will be less than the allowed maximum of 60%.

LOT COVERAGE

SHOPPING CENTER TRACT	51%
DEDICATED COLLECTOR R.O.W.	50%
FUTURE PARCEL G	85%
HOTEL/OFFICE 1	40%
HOTEL 2	65%
OUTLOT 1	80%
OUTLOT 2	80%
OUTLOT 3	80%
OUTLOT 4	80%
OUTLOT 5	80%
OUTLOT 6	80%
OUTLOT 7	80%
OUTLOT 8	80%
OUTLOT 9	90%
OUTLOT 10	90%

OVERALL PROJECT: <60%

Section 643 – Corridor Design Overlay District (CDO)

Section 643A – Corridor Design Standards and Guidelines

643A.1(2) – Site Planning: Area Specific Criteria

This section requires that the Corridor shall have an integrated streetscape of a scale and character consistent with City's traditional development pattern with walkways connecting buildings with the public right-of-way sidewalk network. The Master Plan reflects extensive streetscape and sidewalks along the new "Retail Boulevard" and internal sidewalk networks connecting each proposed building to the "Retail Boulevard" within the Shopping Center Tract. As the Major G Parcel and all outlots are developed, they will expand the Development's sidewalk network along the "Retail Boulevard" right-of-way they have frontage on and internally on their respective lots. As defined above, all public sidewalks shall be six (6) feet wide and all private internal sidewalks shall be four (4) feet wide.

643A.2(2) – Architecture: Area Specific Criteria

This section requires that properties greater than three (3) acres should reserve two (2) or more outparcels for future development to insert buildings closer to the roadway. The Shopping Center Tract, Major G Parcel, Hotel 1 and Hotel 2 are the only tracts that are larger than 3 acres. As depicted on the Master Plan, the Shopping Center Tract has four (4) pad buildings that, although they will not be subdivided as outlots, they act as outlots as they are close to the "Retail Boulevard" roadway. The Major G Parcel has one (1) pad building that acts as an outlot in keeping with this zoning requirement. Hotel 1 and Hotel 2 will not be required to comply with this section.

643A.3(1)(d) – Pavement: Sidewalk Networks

This section requires that all developments within the CDO construct six (6) foot wide public sidewalks on both sides of the public roadway. As discussed above, the Master Plan reflects an extensive sidewalk network along the new "Retail Boulevard". At the time of construction of the Shopping Center Tract and the "Retail Boulevard" a six (6) foot public sidewalk will be constructed on the north side of the "Retail Boulevard". As the Major G Parcel, Hotel/Office 1, Hotel 2, and Outlots 1-8 are developed, they will expand the Development's sidewalk network on the south side of the "Retail Boulevard" right-of-way that they have frontage on by constructing a six (6) foot wide sidewalk. The exception to this will be Outlots 9 and 10 which due to limits of lot size will not be required to construct a sidewalk along their frontage. All public sidewalks are depicted on the Master Plan.

643A.3(2) – Pavement: Area Specific Criteria

This section allows additional frontage parking for planned centers like the Monroe Pavilion Planned Community Development if the center has a front building setback of 200 feet, if all landscape criteria is met, if there are 2 or more frontage outparcels and if a sidewalk network is provided. As discussed above for each of these items the Monroe Pavilion Development adheres to these requirements. Therefore, frontage parking is shown on the Master Plan for the Shopping Center Tract and Major G Parcel.

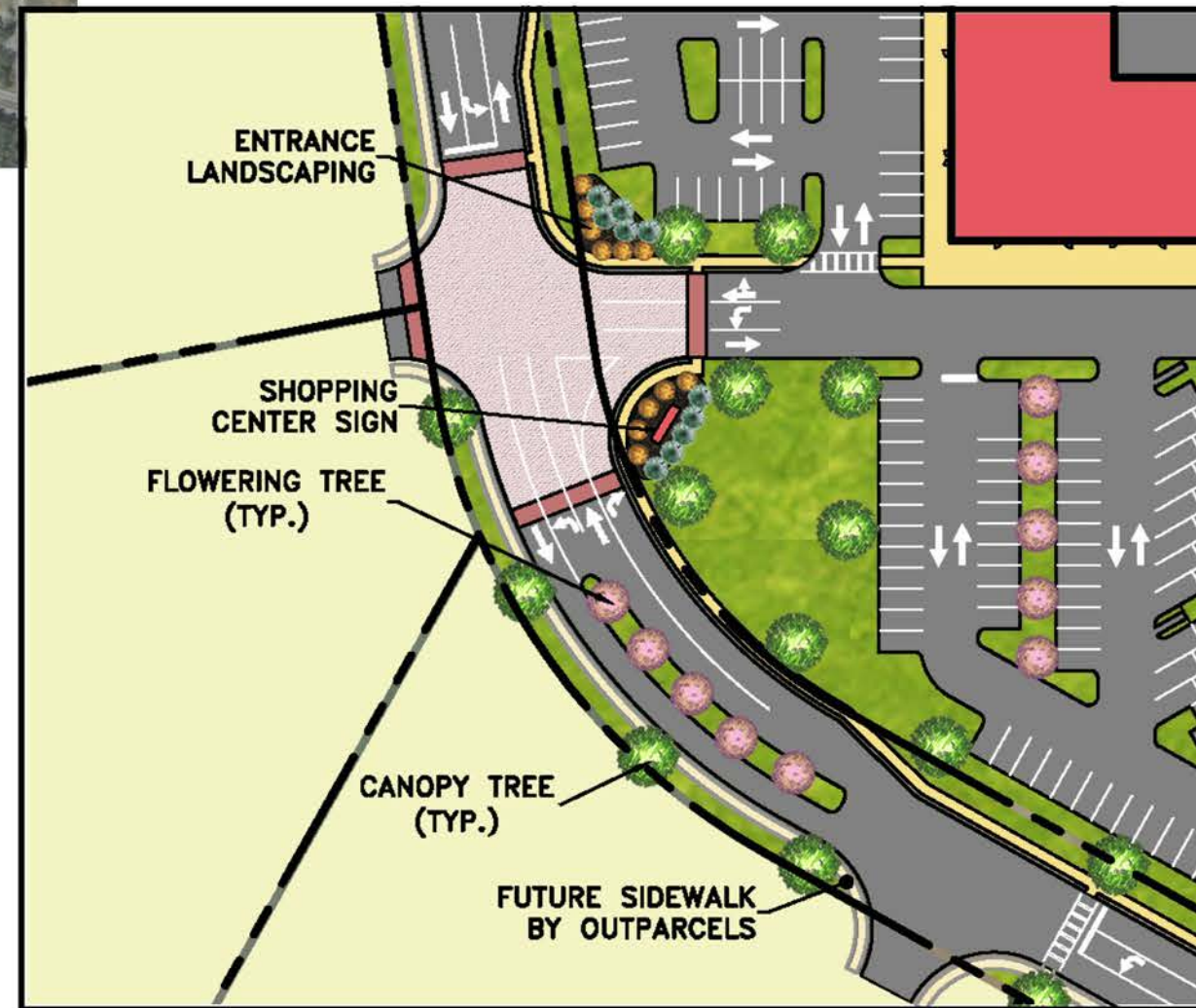
643A.4(1)(c)(iv)(c) – Landscaping: Interior

This section requires that for all parking lots with 15 or more parking spaces a minimum of 12% interior landscaped area be provided within the interior parking. For the Shopping Center Tract, the Master Plan currently shows approximately 13% of the interior parking area to be permanently landscaped area. All other tracts within the Development shall adhere to this requirement. This section also states that one (1) in four (4) parking rows should have 15-foot wide landscape area dividing the parking rows. The Shopping Center Tract shall provide the required 15-foot wide landscape areas at an interval and as is depicted on the Master Plan.

643A.4(2) – Landscaping: Specific Criteria

This section requires that frontage landscape areas be a minimum of 20 feet in depth. As depicted in the Master Plan and in the Vignettes within this Pattern Book, the Shopping Center Tract, Major G Parcel and each outlot shall provide a minimum 20-foot deep frontage landscape area as measured from the edge of the public sidewalk to the back of curb at the internal parking along all road rights-of-way.

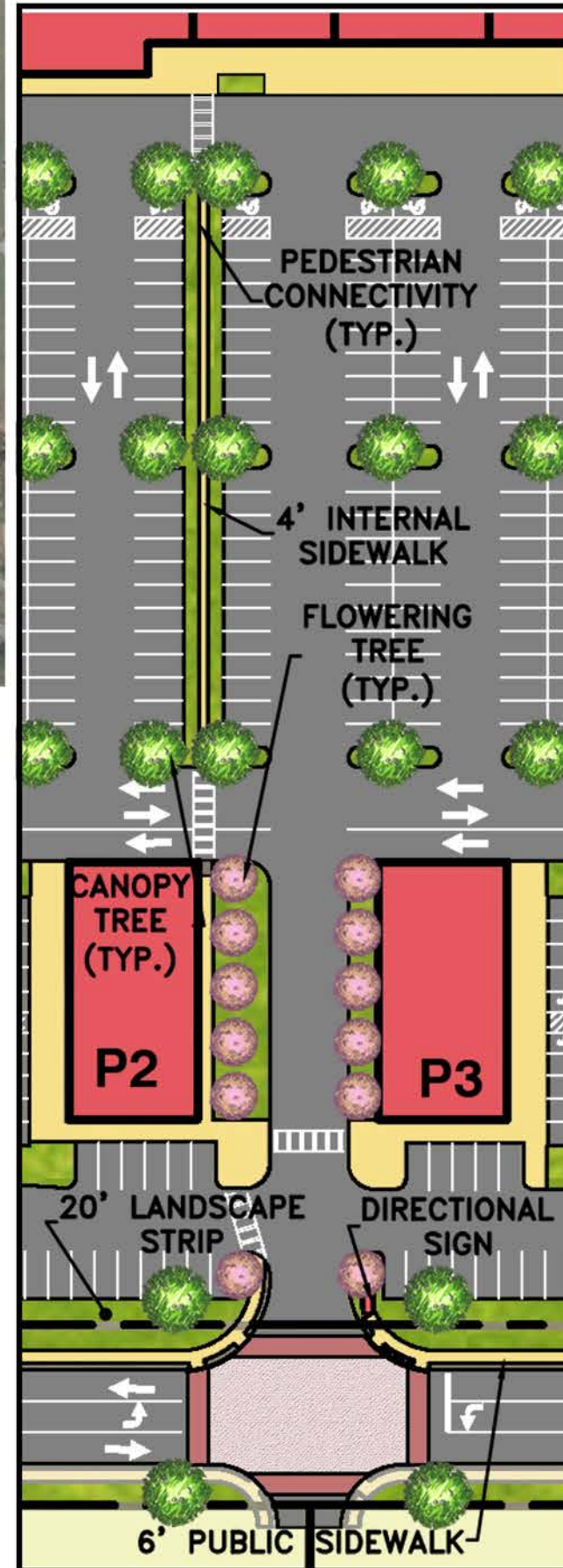
VIGNETTE 1



Not to Scale

The master planned development shall include substantial landscape areas which enhance the experience to motorists and pedestrians. An emphasis on detailed landscape plantings at major intersections and entry points shall contribute to the feeling of a destination center. The canopy street trees will be planted at an interval of 75' on center and will be installed on either side of the boulevard to provide continuity as the outparcels are developed.

VIGNETTE 2



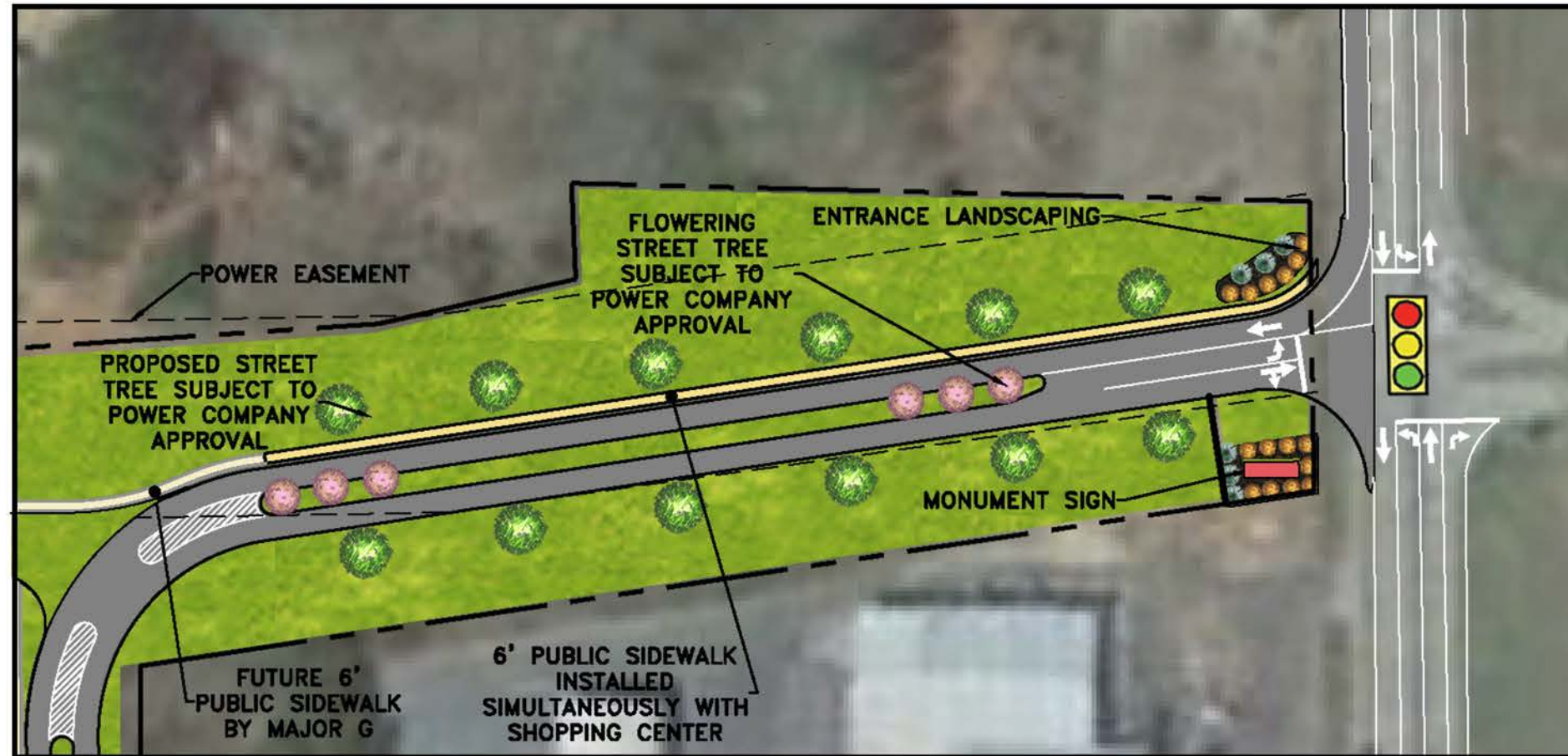
Pedestrian connectivity is at the forefront of design at Monroe Pavilion. Pedestrian access extends from the Retail Blvd sidewalk to the main retail building by running walkways adjacent to buildings and inside of landscaped medians. This route promotes safety and synergy among street front developments and to the primary commercial spaces behind them.

Not to Scale

VIGNETTE 3

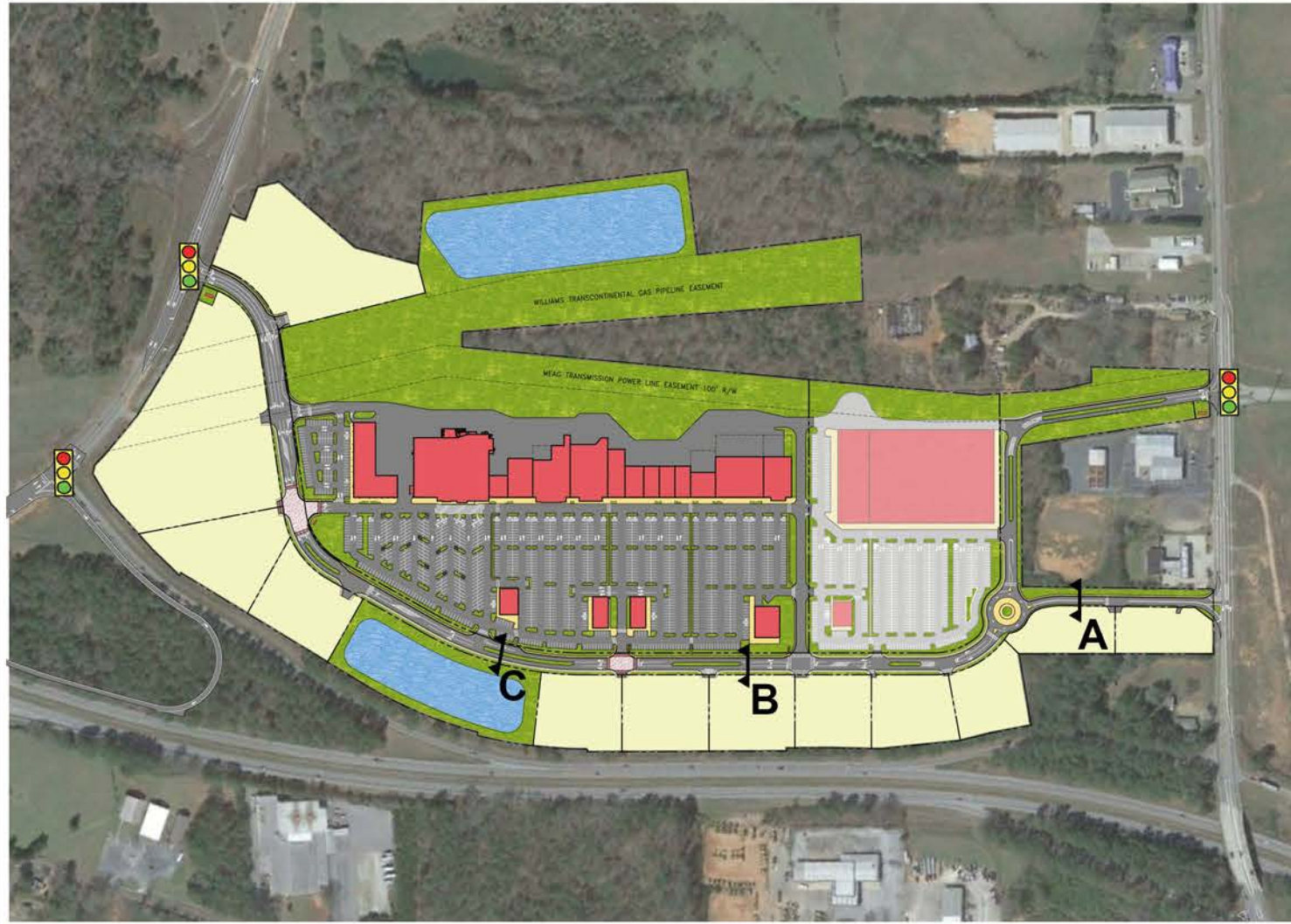


Not to Scale

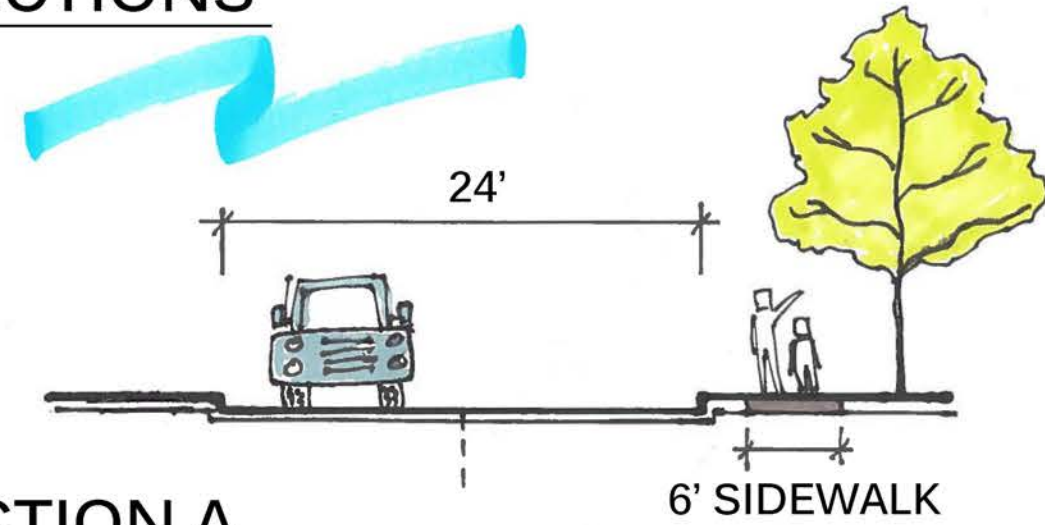


A tree lined boulevard will connect Georgia Highway 11 to Charlotte Rowell Boulevard. Canopy trees at regular intervals of 75' on center spacing will create rhythm and shade for motorists and pedestrians. Planted medians will provide multi-season interest.

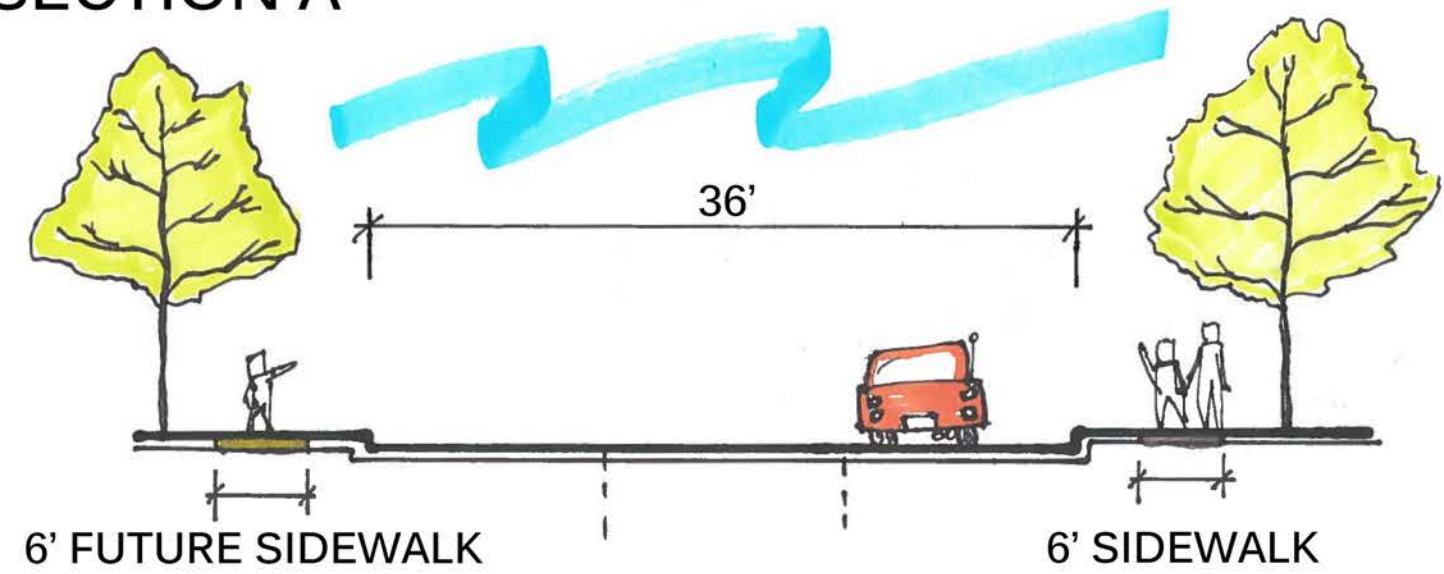
BOULEVARD SECTIONS



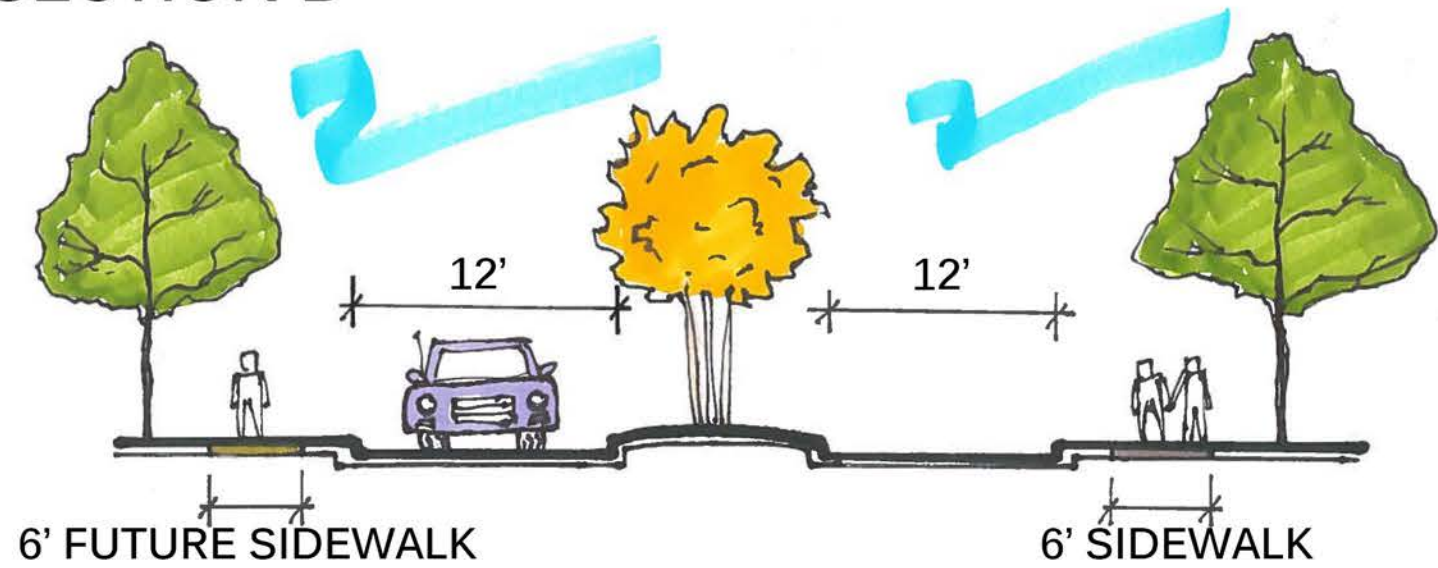
SECTION A



SECTION B



SECTION C



**3.1
INTRODUCTION:**

ARCHITECTURAL INTRODUCTION

Introduction:

This Pattern Book demonstrates a Planned Community Development which is a compromise to the current City of Monroe Zoning Ordinance and Corridor Design Overlay (CDO) within the Highway Commercial District (B-3). Throughout this book, this Planned Community Development shall also be referred to as PCD. This Pattern Book will describe and revise some sections of the current City of Monroe Zoning Ordinance, Corridor Design Overlay (CDO), and Highway Commercial District (B-3), to allow for a commercial shopping center development for future tenants and development plans to cohesively and conform as closely as possible to the City of Monroe Zoning Ordinance, Corridor Design Overlay (CDO), and Highway Commercial District (B-3), while allowing compromises to meet current developer and tenant(s) requirements and needs. Future Parcels & Outlots will meet the same architectural building requirements, materials, fenestrations, ornamentation, and signage requirements as shown and stated within this Pattern Book. This Pattern Book addresses REVISED items/wording within the current City of Monroe Zoning Ordinance and does not address items/wording that are of mutual agreement.

MATERIALS

Article V: GENERAL STANDARDS FOR ALL DISTRICTS

SECTION 570 - LOT COVERAGE

570.2 EXPANSION PROJECTS (page 26):

(1) Definition: Future building expansion not counted as expansion as long as illustrated on sheet 2.3.

ARTICLE VI: USE OF PROVISIONS BY DISTRICT

SECTION 643A - CORRIDOR DESIGN STANDARDS AND GUIDELINES

643A.2 ARCHITECTURE (page 49):

1) General Criteria for Conceptual Planning:

a) The general architecture of this new Planned Community Development with retail, grocery, restaurants, and services, will be designed with harmonious elements that create a character that is unique upon itself and is reflective of a gateway into the City of Monroe while using some materials that are common with the traditional and/or historic built environment, Fenestration and Ornamentation.

c) In areas where new structures are adjacent to and visible from roadways, architecture shall adhere to the standards set forth below:

(vii) Materials: Brick will be used throughout on every building in the entire project consistent with meeting the corporate identity of developments. Stucco (DFS) is a common product used in the tenant's prototype designs and shall be used in accordance to bring Major Tenants into this center affordably. Aluminum siding and vinyl siding will not be used anywhere. Wood siding and/or fiber cement products may be considered as architectural features on some buildings. E.I.F.S. will be used at cornice locations and on all sign bands for Anchor tenants.

PRIMARY & ACCESSORY MATERIAL	
PRIMARY	ACCESSORY
BRICK	STONE
STUCCO	FIBER CEMENT
DFS	FABRIC (AWNINGS)
	STANDING SEAM METAL (ROOFING & CANOPIES)
	EIFS
	STOREFRONT, WINDOWS, GLASS

FENESTRATIONS, & ORNAMENTATION

Article V: GENERAL STANDARDS FOR ALL DISTRICTS

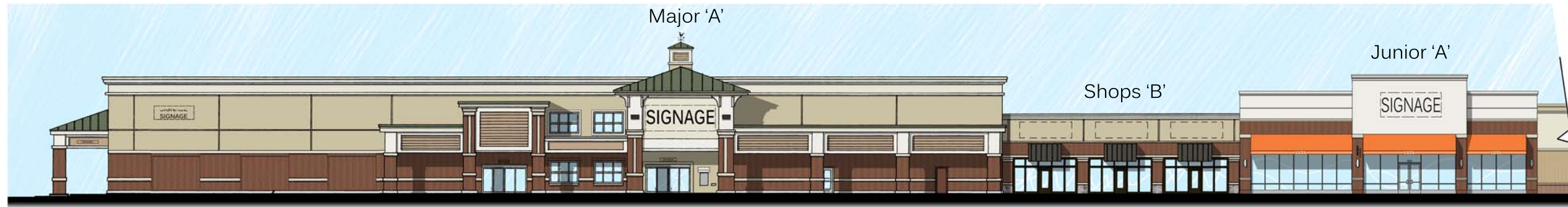
SECTION 570 - LOT COVERAGE

570.2 EXPANSION PROJECTS (page 26):

(viii) Fenestration: The spacing and placement of architectural bays and openings, and the solid-to-void ratio (wall-to-window), shall conform to keep façades from expanding longer than 100 feet in linear length by interrupting this linear length with fenestration. No uninterrupted length of façade shall exceed 100 feet. The façade of a main building facing a public street shall feature at least one public entrance and be defined as the façade that will meet Fenestration requirements. The other 3 sides of the building is not required to meet the fenestration requirements. Where a main building faces more than one public street, an entrance for each side may be proposed and then, each public entrance side will meet Fenestration requirements. To avoid box-like buildings, windows and other features are important to obtain the solid to void ratio. Facades that face public streets shall have arcades / canopies, display windows, exterior building façade accent elements, entry areas, awnings, recessed accent panels or other similar features along no less than 60% of the entire length of the building along the length of walkway span, not per individual tenant suite. Where additional establishments will be located within or nearly adjacent to the principal building, the solid to void criteria set forth above apply to each building façade along one length of walkway span. These requirements will also apply to each individual free-standing building front façade in a future Parcel or Outlot. Windows shall be recessed and shall include visually prominent framing features. Building façades on outlots facing U.S. Highway 78 are required to meet fenestration standards except no main entrance is required. The tenant's corporate identity needs to be protected per their design.

(ix) Ornamentation: Detailing found upon local buildings should serve as a model for new design elements, including but not limited to decorative masonry work, accent masonry, accent stucco elements, brackets, knee brackets, etc. Limited use of architectural masonry blocks may be used or considered for the creation of building details. Glass block will not be used anywhere. Building public entrance facades will include an expression of architectural or structural bay through a change in plane, such as an offset, stucco reveal, projecting rib, pilaster, or column. At least one of these elements shall repeat horizontally per tenant at an interval of not more than 30 feet. The façade of a main building facing a public street shall feature at least one public entrance and be defined as the façade that will meet Ornamentation requirements. The other 3 sides of the building is not required to meet the ornamentation requirements. Where a main building faces more than one public street, an entrance for each side may be proposed and then, each public entrance side will meet Ornamentation requirements. Projected panels for wall mounted signage is not required but preferred. Building façades on outlots facing U.S. Highway 78 are required to meet ornamentation standards except no main entrance is required. The tenant's corporate identity needs to be protected per their design.

RETAIL BUILDING OVERVIEW



- This Planned Community Development book is a compromise to the current City of Monroe Zoning Ordinance and Corridor Design Overlay (CDO) within the Highway Commercial District (B-3).

- In compliance with the PCD, we will use some of the City's traditional materials and elements that include brick, columns, pilasters, defined framing around windows and doors, fenestration elements, and ornamentation to give interesting features to the buildings and to break up the facades with pleasing aspects. Parapets will be used throughout to eliminate direct visibility of flat roofs. For additional information, refer to each individual tenant sheet in this PCD submittal.

- If elements and features are not addressed in this PCD document then refer to the City of Monroe Zoning Ordinance and Corridor Design Standards and Guidelines.

Summary

In compliance with the PCD, we will use some of the City's traditional materials and elements that include brick, columns, pilasters, defined framing around windows and doors, fenestration elements, and ornamentation to give interesting features to the buildings and to break up the facades with pleasing aspects. Parapets will be used throughout to eliminate direct visibility of flat roofs. For additional information, refer to each individual tenant sheet in this PCD submittal.

TENANT MAJOR 'A'



FRONT ELEVATION

FENESTRATIONS:

241'-0" TOTAL LINEAR FEET (LF)
166'-7" FENESTRATION LF

$166'-7"/241'-0" = 69\%$ FENESTRATIONS (MEETS THE 60% MIN. FENESTRATIONS REQUIRED)

15'-0" = MAXIMUM LF WITHOUT FENESTRATIONS (MEETS THE 100' MAX. LF REQUIREMENT)

ORNAMENTATION:

VERTICAL REVEALS, BRICK ACCENT AREAS, FIBER CEMENT PANELS, AND COLUMNS ARE LESS THAN 30'-0" IN SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE

MARK	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
B-1	MODULAR BRICK	ACME BRICK	COLOR: CHERRYWOOD WITH CEMEX IVORY MORTAR, TOOLED JOINTS
B-2	MODULAR BRICK	TAYLOR	COLOR: 301w WHITE WITH CEMEX IVORY MORTAR, TOOLED JOINTS
DF-4	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 "RAMIE"
EF-1	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 7005 "PURE WHITE"
EF-3	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 "NACRE"
SC-2	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6094 "SENSATIONAL SAND"
SC-3	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 "NACRE"
SC-4	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 "RAMIE"
SC-5	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6163 "GRASSLAND"
M-1	METAL	PAC-CLAD	STANDING SEAM ROOF, COLOR: "AGED COPPER"
M-2	METAL	PAC-CLAD	METAL COPING, COLOR: "SAND STONE"
M-3	METAL	PAC-CLAD	METAL COPING, COLOR: "BURNISHED SLATE"
P-1	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 7005 "PURE WHITE"
P-2	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 6094 "SENSATIONAL SAND"
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "ANODIZED ALUMINUM"
SF-2	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "DARK BRONZE"
ST-1	STONE	ECHOLON	WATERFORD STONE, COLOR: "PEWTER"

- This Planned Community Development book is a compromise to the current City of Monroe Zoning Ordinance and Corridor Design Overlay (CDO) within the Highway Commercial District (B-3).

- In compliance with the PCD, we will use some of the City's traditional materials and elements that include brick, columns, pilasters, defined framing around windows and doors, fenestration elements, and ornamentation to give interesting features to the buildings and to break up the facades with pleasing aspects. Parapets will be used throughout to eliminate direct visibility of flat roofs. For additional information, refer to each individual tenant sheet in this PCD submittal.

- Grocery Anchor,

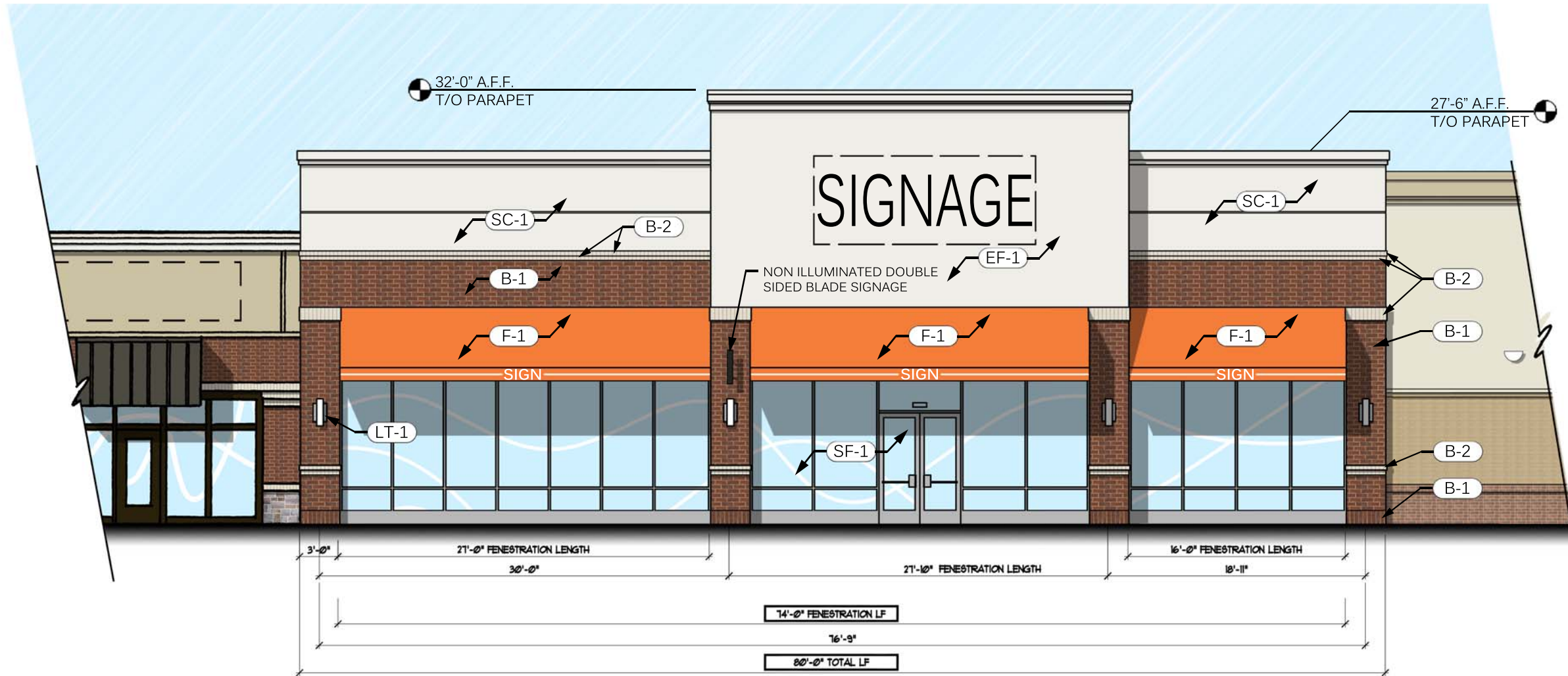
- Prototype shell.

- Signage per tenant prototype requirements.

- Interior design layout dictates glazing location.

- Material selections and building form coordination with tenant.

TENANT JUNIOR 'A'



FRONT ELEVATION

FENESTRATIONS:

80'-0" TOTAL LENGTH (LF)
74'-0" FENESTRATION LF

74'-0"/80'-0" = 93% FENESTRATIONS (MEETS THE 60% MIN. FENESTRATIONS REQUIRED)

3'-0" = MAXIMUM LENGTH WITHOUT FENESTRATIONS (MEETS THE 100' MAX. LENGTH REQUIREMENT)

ORNAMENTATION:

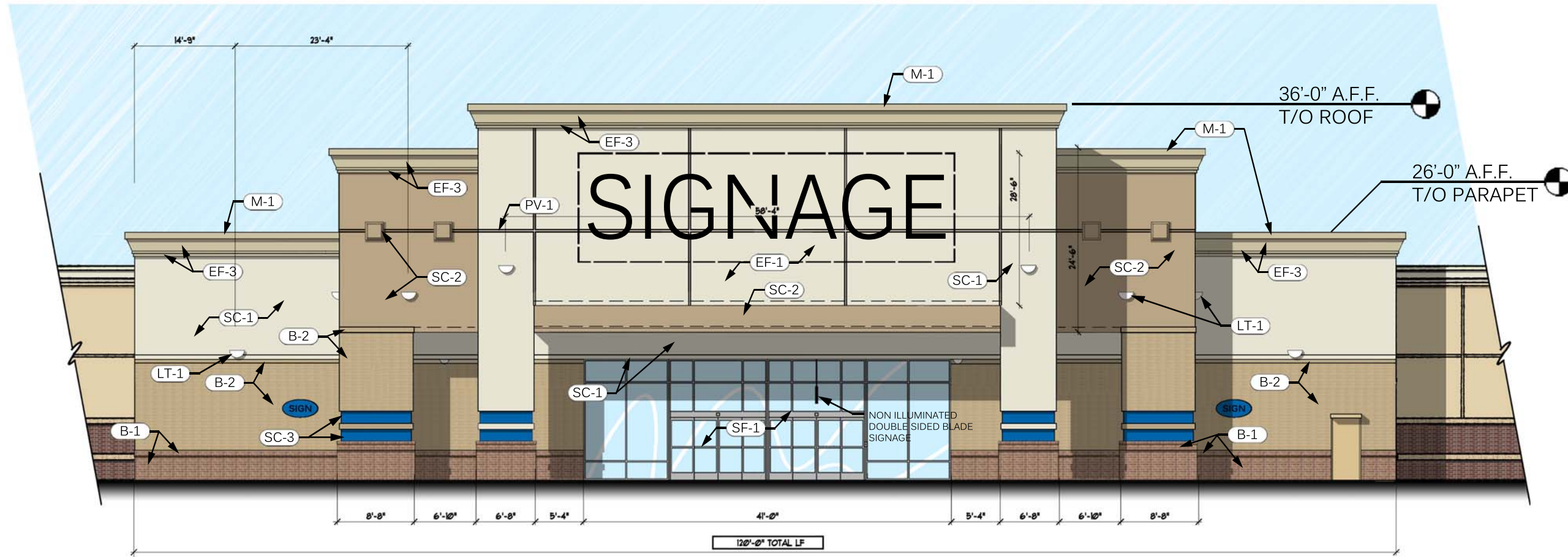
BRICK COLUMNS, FABRIC AWNINGS, & STOREFRONT (WINDOWS) ARE 30'-0" OR LESS IN SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE

MARK	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
B-1	MODULAR BRICK	ACME BRICK	COLOR: CHERRYWOOD WITH CEMEX IVORY MORTAR, TOOLED JOINTS
B-2	MODULAR BRICK	TAYLOR	COLOR: 301w WHITE WITH CEMEX IVORY MORTAR, TOOLED JOINTS
EF-1	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 7005 "PURE WHITE"
F-1	FABRIC	TBD	PATIO 500 ULTRA/EMBOSS, COLOR: "ORANGE POP" w/ WHITE LETTERS AND STRIPE
LT-1	LIGHTING	TBD	ARCHITECTURAL LIGHT FIXTURE
SC-1	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 7005 "PURE WHITE"
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "ANODIZED ALUMINUM"

- This Planned Community Development book is a compromise to the current City of Monroe Zoning Ordinance and Corridor Design Overlay (CDO) within the Highway Commercial District (B-3).
- In compliance with the PCD, we will use some of the City's traditional materials and elements that include brick, columns, pilasters, defined framing around windows and doors, fenestration elements, and ornamentation to give interesting features to the buildings and to break up the facades with pleasing aspects. Parapets will be used throughout to eliminate direct visibility of flat roofs. For additional information, refer to each individual tenant sheet in this PCD submittal.
- Beauty supply anchor.
- Dictated prototype.
- Material selection with enhanced brick features on prototype façade.
- Tenant corporate colors.
- Tenant signage.

TENANT MAJOR 'B'



FRONT ELEVATION

FENESTRATIONS:

120'-0" TOTAL LENGTH (LF)
96'-0" FENESTRATION LF

96'-0"/120'-0" = 80% FENESTRATIONS (MEETS THE 60% MIN. FENESTRATIONS REQUIRED)

29'-6" = MAXIMUM LENGTH WITHOUT FENESTRATIONS (MEETS THE 100' MAX. LENGTH REQUIREMENT)

ORNAMENTATION:

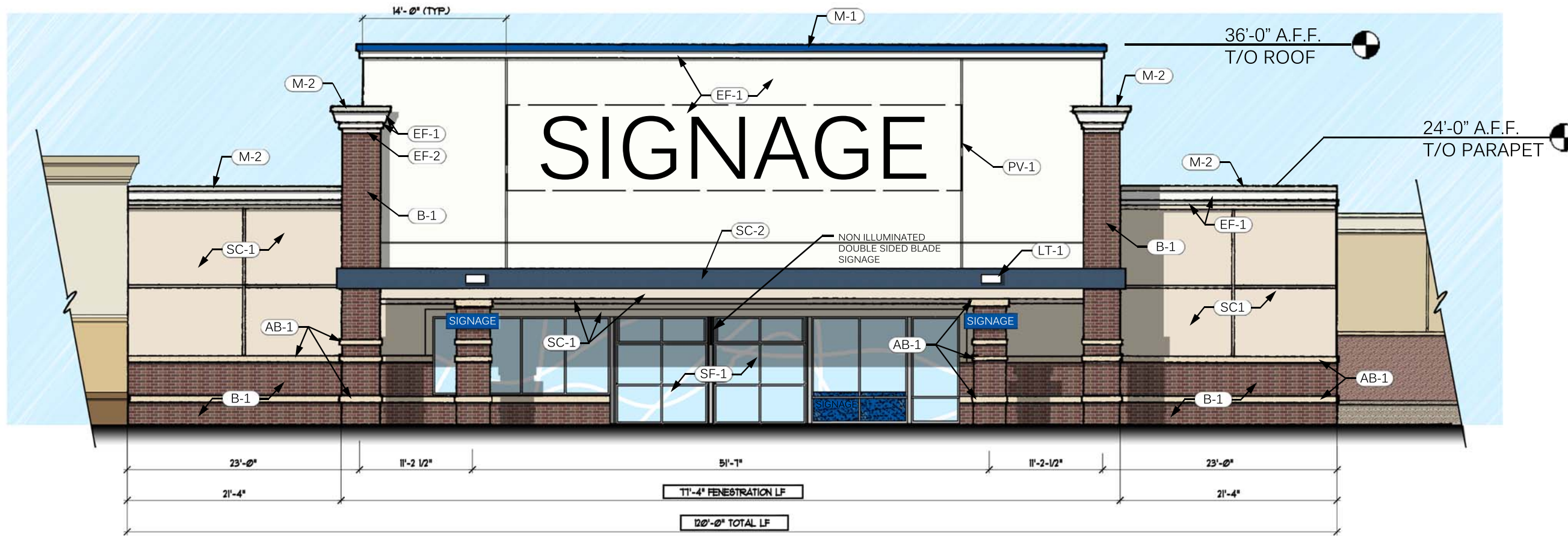
COLUMNS, COLOR CHANGES, AND VERTICAL REVEALS ARE LESS THAN 30'-0" MAXIMUM SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE

Code	Material	Brand	Color/Finish
B-1	MODULAR BRICK	BELDEN	COLOR: ST SIMON BLEND W/ ARGOS LIMESTONE MORTAR, TOOLED JOINTS
B-2	MODULAR BRICK	TAYLOR	COLOR: 319 GRAY W/ ARGOS SAHARA MORTAR, TOOLED JOINTS
EF-1	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 NACRE
EF-3	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 RAMIE
LT-1	LIGHTING	T.B.D.	ARCHITECTURAL LIGHT FIXTURE
M-1	COPING	BERRIDGE	METAL COPING, COLOR: SIERRA TAN
PV-1	METAL	DRYVIT	PAINTED METAL REVEAL, COLOR TO MATCH: SW 6154 NACRE
SC-1	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 NACRE
SC-2	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6108 LATTE
SC-3	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR: PMS 300 (N23824)
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: ANODIZED ALUMINUM

- This Planned Community Development book is a compromise to the current City of Monroe Zoning Ordinance and Corridor Design Overlay (CDO) within the Highway Commercial District (B-3).
- In compliance with the PCD, we will use some of the City's traditional materials and elements that include brick, columns, pilasters, defined framing around windows and doors, fenestration elements, and ornamentation to give interesting features to the buildings and to break up the facades with pleasing aspects. Parapets will be used throughout to eliminate direct visibility of flat roofs. For additional information, refer to each individual tenant sheet in this PCD submittal.
- Fashion anchor.
- Dictated prototype.
- Generalized description of construction and metals.
- Colors by corporate company as they relate to owners overall development.
- EIFS at signage band.

TENANT MAJOR 'C'



FRONT ELEVATION

FENESTRATIONS:

120'-0" TOTAL LENGTH (LF)
77'-4" FENESTRATION LF

$77'-4"/120'-0" = 64\%$ FENESTRATIONS (MEETS THE 60% MIN. FENESTRATIONS REQUIRED)

23'-0" = MAXIMUM LENGTH WITHOUT FENESTRATIONS (MEETS THE 100' MAX. LENGTH REQUIREMENT)

ORNAMENTATION:

BRICK/STUCCO COLUMNS, STOREFRONT (WINDOWS), & STUCCO VERTICAL REVEALS ARE 14'-10" OR LESS IN SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE

Code	Material	Manufacturer	Finish/Color
AB-1	ARCHITECTURAL BLOCK	TRENWYTH	COLOR: CAMBRIDGE W/ MORTAR, TOOLED JOINTS
B-1	MODULAR BRICK	BELDEN	COLOR: AMHERST BLEND W/ ARGOS RED MORTAR, TOOLED JOINTS
EF-1	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: DRYVIT - 310 CHINA WHITE
EF-2	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: DRYVIT - 385A SANDPIPER
LT-1	LIGHTING	COOPER	WALL SCONCE, ENVUE # ENT-C02-LED-EI-BL3-WH
M-1	COPING	BERRIDGE	METAL COPING, COLOR TO MATCH: BM #2016-20 CHAMPION COBALT BLUE
M-2	COPING	BERRIDGE	METAL CANOPY, COLOR: PARCHMENT
PV-1	METAL	DRYVIT	PAINTED METAL REVEAL, COLOR TO MATCH: DRYVIT - 310 CHINA WHITE
SC-1	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: DRYVIT - 449 BUCKSKIN
SC-2	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: DRYVIT - 578 MIDNIGHT BLUE
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: CLEAR ANODIZED ALUMINUM

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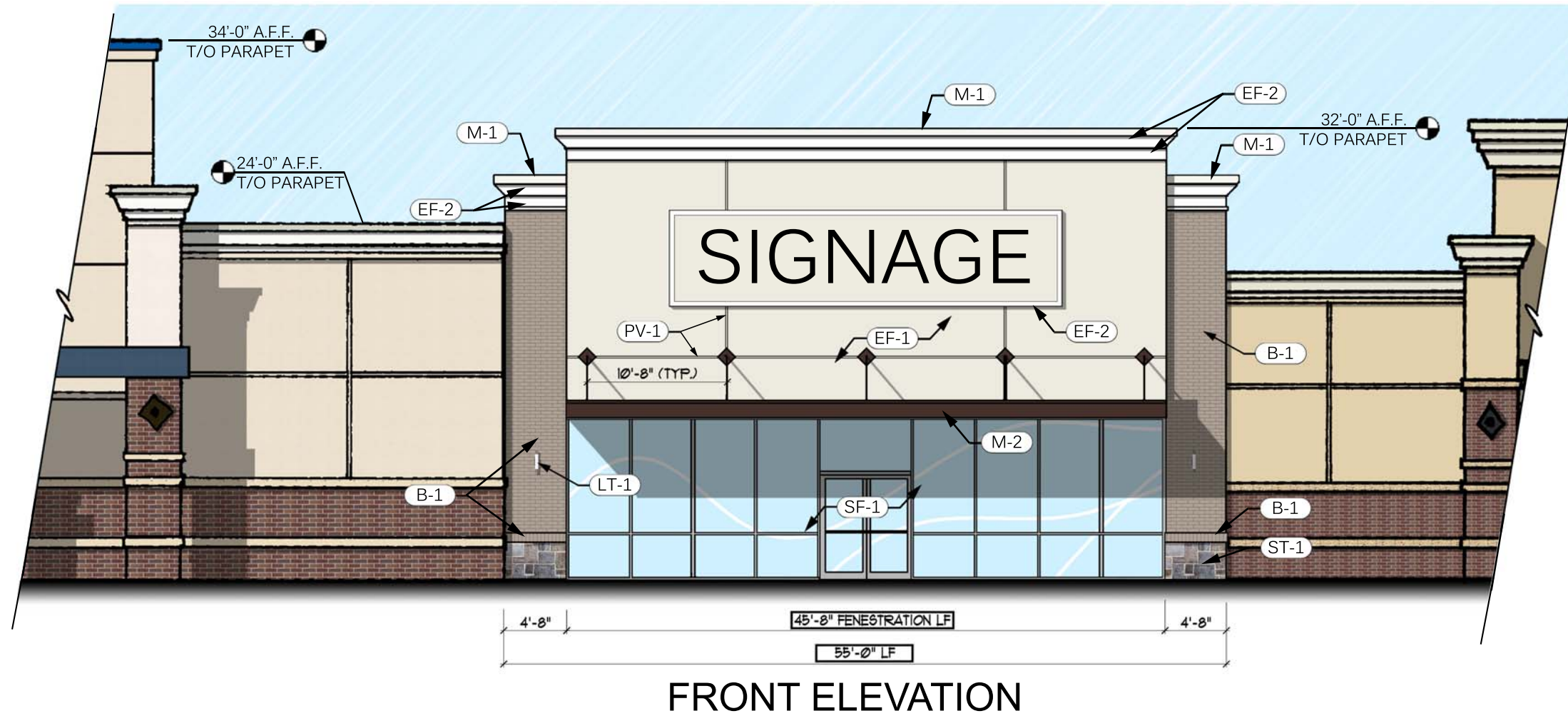
- Fashion anchor.

- Dictated prototype.

- Signage dictated by tenant with EIFS signage area.

- Enhanced brick on façade compared to prototype design.

TENANT JUNIOR 'B'



FENESTRATIONS:

60'-0" TOTAL LENGTH (LF)
45'-8" FENESTRATION LF

45'-8"/60'-0" = 76% FENESTRATIONS (EXCEEDS THE 60% MIN. FENESTRATIONS REQUIRED)

4'-8" = MAXIMUM LENGTH WITHOUT FENESTRATIONS (MEETS THE 100' MAX. LENGTH REQUIREMENT)

ORNAMENTATION:

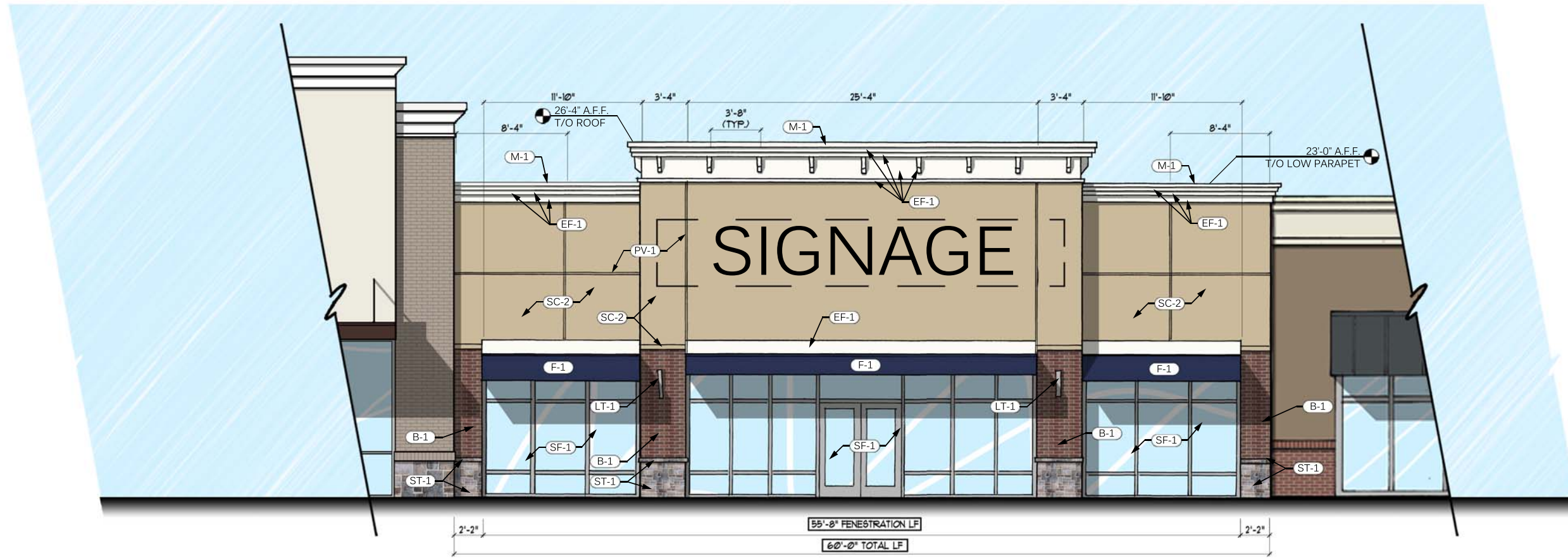
BRICK/STONE PILASTERS, VERTICAL REVEALS, & METAL CANOPY BRACKETS ARE 10'-8" OR LESS IN SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE

MARK	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
B-1	MODULAR BRICK	TAYLOR	EXTERIOR BRICK, "3118 CREAM" W/ ARGOS LITE BEIGE MORTAR, TOOLED JOINTS OR APPROVED EQUAL
EF-1	STUCCO	DRYVIT	EIFS; COLOR TO MATCH DRYVIT 456 "OYSTER SHELL"
EF-2	EIFS	DRYVIT	EIFS; COLOR TO MATCH DRYVIT 310 "CHINA WHITE"
LT-1	LIGHTING	BROWNLEE	WALL SCONCE, 7176-18-GM-H08-40K-BAC
M-1	METAL	PAC-CLAD	METAL COPING, COLOR: "BONE WHITE"
M-2	METAL	MAPES	METAL AWNING, COLOR: "MAPES BRONZE BAKED ENAMEL"
PV-1	METAL	DRYVIT	PAINTED METAL REVEAL, COLOR TO MATCH: DRYVIT 456 "OYSTER SHELL"
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "CLEAR ANODIZED ALUMINUM"
ST-1	STONE	WATERFORD	STONE, COLOR: "PEWTER"

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- General merchandise anchor.
- Design dictated by corporate prototype.
- Colors and material dictated by corporate prototype.
- Tenant signage.

TENANT JUNIOR 'C'



FRONT ELEVATION

FENESTRATIONS:

60'-0" TOTAL LENGTH (LF)
56'-8" FENESTRATION LF

56'-8"/60'-0" = 95% FENESTRATIONS (EXCEEDS THE 60% MIN. FENESTRATIONS REQUIRED)

3'-4" = MAXIMUM LENGTH WITHOUT FENESTRATIONS (MEETS THE 100' MAX. LENGTH REQUIREMENT)

ORNAMENTATION:

BRICK/STUCCO PILASTERS, VERTICAL REVEALS, & CORNICE BRACKETS ARE 8'-4" OR LESS IN SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE

MARK	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
B-1	MODULAR BRICK	BELDEN	COLOR: AMHERST BLEND ARGOS RED MORTAR, TOOLED JOINTS
EF-1	EIFS	DRYVIT	COLOR: DRYVIT "310 CHINA WHITE"
F-1	FABRIC	SUNBRELLA	COLOR: SUNBRELLA "MARINE BLUE"
LT-1	LIGHTING	T.B.D.	ARCHITECTURAL LIGHT FIXTURE
M-1	METAL	PAC-CLAD	COPING, COLOR: "BONE WHITE"
PV-1	METAL	DRYVIT	PAINTED METAL REVEAL, COLOR TO MATCH: SW 6142 "MACADAMIA"
SC-1	STUCCO	DRYVIT	COLOR: DRYVIT "310 CHINA WHITE"
SC-2	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6142 "MACADAMIA"
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "ANODIZED ALUMINUM"

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- Shoe / accessories anchor.

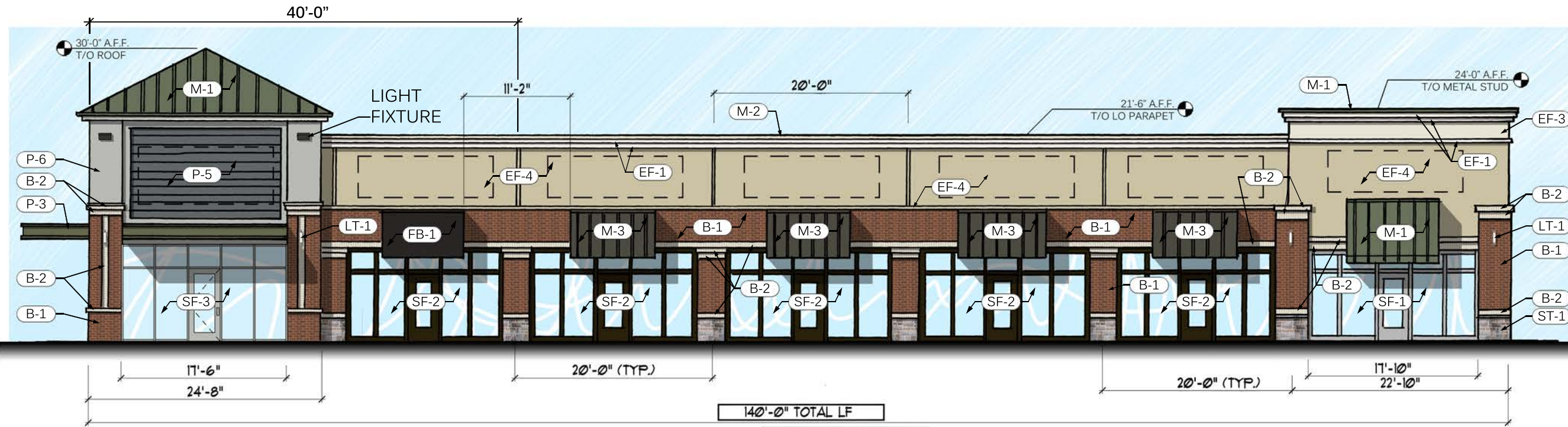
- Dictated prototype.

- Material selection with enhanced brick features on prototype façade.

- Tenant corporate colors.

- Tenant signage.

SHOPS A ELEVATIONS



SHOPS 'A' FRONT ELEVATION

FENESTRATIONS:

140'-0" TOTAL LENGTH (LF)
140'-0" FENESTRATION LF

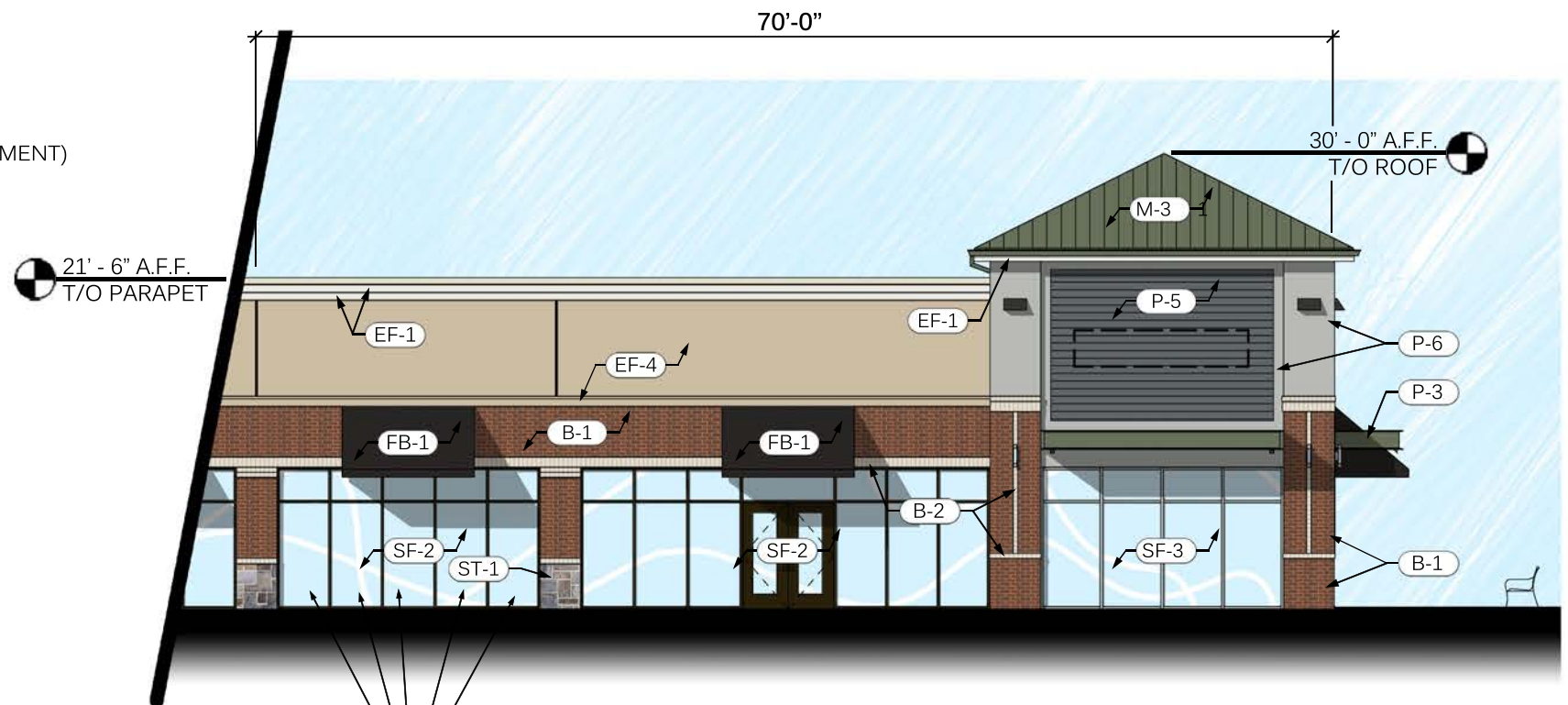
140'-0"/140'-0" = 100% FENESTRATIONS (EXCEEDS THE 60% MIN. FENESTRATIONS REQUIRED)

ORNAMENTATION:

BRICK/STONE PILASTERS, VERTICAL REVEALS, & METAL CANOPIES ARE 16'-10" OR LESS IN SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE

MARK	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
B-1	MODULAR BRICK	HENRY BRICK	COLOR: PROVIDENCE WITH ARGOS KHAKI MORTAR, TOOLED JOINTS
B-2	MODULAR BRICK	TAYLOR	COLOR: 301w WHITE WITH CEMEX IVORY MORTAR, TOOLED JOINTS
EF-1	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 7005 "PURE WHITE"
EF-3	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 "NACRE"
EF-4	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 "RAMIE"
SC-2	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6094 "SENSATIONAL SAND"
SC-3	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 "NACRE"
SC-4	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 "RAMIE"
SC-5	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6163 "GRASSLAND"
LT-1	LIGHTING	BROWNLEE	WALL SCONCE, 7176-18-GM-H08-40K-BAC
M-1	METAL	PAC-CLAD	STANDING SEAM ROOF, COLOR: "AGED COPPER"
M-2	METAL	PAC-CLAD	METAL COPING, COLOR: "SAND STONE"
M-3	METAL	PAC-CLAD	METAL COPING, COLOR: "BURNISHED SLATE"
P-1	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 7005 "PURE WHITE"
P-2	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 6094 "SENSATIONAL SAND"
P-3	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 6180 "OAKMOSS"
P-4	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 6156 "RAMIE"
P-5	PAINT	SHERWIN WILLIAMS	PAINT, COLOR TO MATCH: SW 7075 "WEB GRAY"
P-6	PAINT	BENJAMIN MOORE	PAINT, COLOR TO MATCH: BM HC-169 "COVENTRY GRAY"
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "ANODIZED ALUMINUM"
SF-2	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "DARK BRONZE"
SF-3	PAINT	BENJAMIN MOORE	PAINTED STOREFRONT SYSTEM, COLOR: BM HC-169 "COVENTRY GRAY"
ST-1	STONE	ECHOLON	WATERFORD STONE, COLOR: "PEWTER" WITH ARGOS TYPE-N GREY MORTAR, TOOLED JOINTS



SHOPS 'A' SIDE ELEVATION

GRAPHIC WILL BE APPLIED TO THIS STOREFRONT

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• General retail / Restaurant / Services tenants

SHOPS B ELEVATION



SHOPS 'B' ELEVATION

FENESTRATIONS:

60'-0" TOTAL LENGTH (LF)
60'-0" FENESTRATION LF

60'-0"/60'-0" = 100% FENESTRATIONS (EXCEEDS THE 60% MIN. FENESTRATIONS REQUIRED)

ORNAMENTATION:

BRICK/STONE PILASTERS, VERTICAL REVEALS, & METAL CANOPIES ARE 16'-10" OR LESS IN SPAN ACROSS ENTIRE LENGTH (MEETS THE 30'-0" MAXIMUM SPAN WITHOUT ORNAMENTATION REQUIREMENT)

EXTERIOR FINISH SCHEDULE			
MARK	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
B-1	MODULAR BRICK	HENRY BRICK	COLOR: PROVIDENCE WITH ARGOS KHAKI MORTAR, TOOLED JOINTS
B-2	MODULAR BRICK	TAYLOR	COLOR: 301w WHITE WITH CEMEX IVORY MORTAR, TOOLED JOINTS
EF-1	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 7005 "PURE WHITE"
EF-3	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 "NACRE"
EF-4	EIFS	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 "RAMIE"
SC-2	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6094 "SENSATIONAL SAND"
SC-3	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 "NACRE"
SC-4	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 "RAMIE"
SC-5	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6163 "GRASSLAND"
LT-1	LIGHTING	BROWNLEE	WALL SCONCE, 7176-18-GM-H08-40K-BAC
M-1	METAL	PAC-CLAD	STANDING SEAM ROOF, COLOR: "AGED COPPER"
M-2	METAL	PAC-CLAD	METAL COPING, COLOR: "SAND STONE"
M-3	METAL	PAC-CLAD	METAL COPING, COLOR: "BURNISHED SLATE"
P-1	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 7005 "PURE WHITE"
P-2	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 6094 "SENSATIONAL SAND"
P-3	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 6180 "OAKMOSS"
P-4	PAINT	SHERWIN WILLIAMS	PAINTED FIBER CEMENT BOARDS, COLOR TO MATCH: SW 6156 "RAMIE"
P-5	PAINT	SHERWIN WILLIAMS	PAINT, COLOR TO MATCH: SW 7075 "WEB GRAY"
P-6	PAINT	BENJAMIN MOORE	PAINT, COLOR TO MATCH: BM HC-169 "COVENTRY GRAY"
SF-1	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "ANODIZED ALUMINUM"
SF-2	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "DARK BRONZE"
SF-3	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: BM HC-169 "COVENTRY GRAY"
ST-1	STONE	ECHOLON	WATERFORD STONE, COLOR: "PEWTER" WITH ARGOS TYPE-N GREY MORTAR, TOOLED JOINTS

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- General retail / Restaurant / Services tenants

643A.5 SIGNS (page 52):

(1) General Criteria: Signage shall be compatible with the new development's style and mass and visual character while maintaining tenant requirements and needs per the following criteria:

- a. Placement: Attached signs shall be in scale with and proportional to the host building, not to cover details, and be aligned substantially with adjacent tenant suites signage within the center and/or consistent with the design location of the specific store's façade of each tenant suite. Ground/Monument signs shall be oriented perpendicular to traffic flow. Corner lots may choose which traffic flow to address.
- b. Materials: Signs shall be wood or metal, and other materials per tenant signage design requirements consistent with this development and per sheet 4.10.
- c. Design: Sign design may be simple or in character with the development.
- d. Dimensions: Ground/Monument signs are permitted and allowed to be in proportion to the center that it represents in size, material, and scale.
- e. Lighting: Major and Junior anchors signs, tenants 5,000 square feet or greater, future independent buildings at Parcels and/or Outlots, Hotel signs, Office signs, and Ground/Monument signs, shall be internally illuminated. All other signs shall have halo lighting features or indirectly lit with goose-neck or similar light fixtures that do not block or interfere with the visual reading of the sign.

ARTICLE VII: DIMENSIONAL REQUIREMENTS AND EXCEPTIONS:

SECTION 700 – CHARTS OF DIMENSIONAL REQUIREMENTS

700.2 P, CBD, B-1, B-2, & B-3 DIMENSIONAL REQUIREMENTS (page 61):

SECTION 700.2: TABLE 12 – COMMERCIAL ZONING DISTRICT DIMENSIONAL REQUIREMENTS (pages 61-62):

The PCD Maximum Building Parapet Height or roof peak will not be higher than 37'-0" above finish floor, not including future hotel(s). The PCD Maximum Building Parapet Height for future hotel(s) will not be higher than 54'-0" above finish floor.

SECTION 710 - EXCEPTIONS AND MODIFICATIONS

SECTION 710.2: HEIGHT LIMITS (page 63):

The height limits listed in this PCD shall not apply to structures not intended for human occupancy such as church spires, flagpoles, chimneys, cupolas, monuments, radio or television towers or aerials, water towers, or similar architectural vertical projections. However, the top of signage allowable height will be no greater than 35'-0" above finish floor, not including future hotel(s). The top of signage allowable height for future hotel(s) will be no greater than 52'-0" above finish floor. The heights of telecommunication towers and antennas are governed by Article XI.

ARTICLE XII – SIGNS

SECTION 1210 - DEFINITIONS

1210.1 GENERAL DEFINITIONS (page 78)

AREA OF SIGN: Only one face of a double-faced sign, as defined herein, bearing identical copy on each side shall be used in computing the area, otherwise both sides shall be used in computing area.

(2) WALL SIGN: The area of a wall sign shall mean and shall be computed using the smallest contiguous square, circle, rectangle, triangle, or combination thereof, that would encompass the external limits of the writing, representation, emblem, or other display. Any material or color forming a background of the display or used to differentiate the sign from the backdrop or structure against which it is placed will not be included in the sign area. When a wall sign is formed by placing individual letters, numbers, or figures on the wall, without a distinguishing background, the area shall be determined by a contiguous perimeter drawn around all letters, numbers figures, trademark, or other symbols, enclosing the limits of writing. Any letters, numbers, figures, trademarks, or graphics separated by 12 inches or more shall be considered two separate signs.

1210.2 SPECIFIC DEFINITIONS (pages 78-81):

(1) AWNING AND CANOPY SIGN means a sign imposed or painted upon any roof-like structure that provides either permanent or temporary shelter for adjacent walkways or entrances to a building or property. Awning and canopy signs are allowed up to 20% of total area of independent awning or canopy. Canopy signage area is considered separate than wall signage and is to be computed separate than wall signage.

(15) GROUND SIGN OR MONUMENT SIGN means a permanently affixed sign, which is wholly independent of a building for support.

(16) HEIGHT OF A GROUND SIGN OR MONUMENT SIGN means the vertical distance from the base of the sign at normal grade to the top of the highest component of the sign. Normal grade shall be the predominant grade after construction, exclusive of any filling, berming, mounding or excavating for the purpose of locating or elevating the sign. Base shall be where the sign support meets, or should meet, the normal grade. Ground Signs or Monument Signs shall be no greater than 28'-0" above normal grade. This particular development is allowed two (2) monument signs.

(18) ILLUMINATED SIGN, INTERNAL means a sign illuminated by an internal light source. Internally illuminated signs are allowed for Ground Signs or Monument Signs. Internally illuminated signs are allowed for wall signs at Major Anchors and Junior Anchors which are 5,000 square feet or greater, and future independent buildings at Parcels and/or Outlots. Internally illuminated signs are discouraged for all other wall mounted signs.

(50) WINDOW SIGN means any type of sign located entirely within the interior of a building or structure, and placed near or on a window or door, the letters, numbers, pictorial or sculptured matter of which is visible from public right of ways at the exterior of the premises. Window signs shall not be internally illuminated except for signs referring to 'open / closed' and 'hours of operations' signs.

1250.2 NON-RESIDENTIAL ALLOWABLE SIGNS (pages 84-85):

(1) GROUND SIGNS:

(a) Platted Outlots, and/or a single building, or tenant suite shall be permitted a maximum of one (1) sixty-four (64) foot double sided Ground Signage area per each public street frontage.

(c) No Ground Sign for Outlots, and/or a single building, or tenant suite shall have a height greater than nine feet above normal grade.

(2) WALL SIGNS:

(a) Platted Outlots, and/or a single building, or tenant suite shall be permitted one (1) or more wall sign(s) not to exceed two and one-half (2.5) square feet per linear foot of building frontage along the length of one sidewalk span per each public street frontage/entrance. The façade of a main building facing a public street shall feature at least one public entrance and be defined as the façade that will meet Wall Signage requirements. Where a main building faces more than one public streets, an entrance for each side may be proposed and then, each public entrance side will meet Wall Signage requirements. Building façade signage facing U.S. Highway 78 will follow city signage ordinance.

(3) PLANNED CENTERS AND MULTI-TENANT COMPLEXES:

(a) GROUND SIGNS:

(i) Planned Center Developments and Multi-Tenant Complexes shall be permitted a maximum of one (1) four hundred (400) square foot ground sign for each street adjacent to project site.

(ii) No ground sign shall have a height greater than 28'-0" above normal grade.

(vi) Planned Center Developments and Multi-Tenant Complexes shall also be permitted an entrance sign. Ground/Monument signs may be considered as an entrance sign. Such signs shall be either one double -sided Ground/Monument sign located at each entrance of the development, each side of which shall not exceed 230 SF signage area or two one sided signs, each sign side is not to exceed 230 square feet signage area. The only permitted text on entrance signs shall be the name and street number of the planned center and the individual Tenant names.

(b) WALL SIGNS: Refer to Article XII -SIGNS in this PCD book

(d) TENANT DIRECTIONAL SIGNS Each planned community development shall be allowed additional directional signage as follows:

(i) Maximum sign size is twenty-four (24) square feet, not including sign base or decorative sign perimeter. Maximum height from base is 6'-0".

(v) Three signs are allowed per internal intersection of private drives or public streets within the project and shall not be allowed on state routes or arterial roads.

(e) Refer to Section 1250.2 NON-RESIDENTIAL ALLOWABLE SIGNS in this PCD book

SECTION 1255 CONSTRUCTION AND MAINTENANCE REQUIREMENTS (pages 88-89):

(10) The illumination of internally illuminated signs shall not exceed twenty (25) foot candles of LED and/or incandescent light measured at a distance of ten feet from such structure.

SECTION 1265 PROHIBITED SIGNS AND ADVERTISING DEVICES (page 89):

(2) Awning and canopy signs are allowed – refer to Section 1210.2 SPECIFIC DEFINITIONS in this PCD book.

TENANT MAJOR 'A'

In compliance with the PCD, we will use signage that compliments Monroe Pavilion in size, scale, and design that is usually used by some Major and Junior Anchors that are considering complimenting this community in this center. Signage is an integral and important aspect for this Planned Community Development and future tenants of Parcels and Outlots and will certainly represent this center with pleasing visual character. For additional information, refer to PCD Section 4.1.



FRONT ELEVATION

MAJOR 'A' - WALL SIGNAGE AREA

BUILDING FRONT FAÇADE AREA = 7,721 SF

MAIN WALL SIGN AT ENTRY TOWER = 7'-3" HIGH x 20'-10" WIDE = 151 SF
 SIGN AT LEFT SIDE OF BUILDING = 4'-3" HIGH x 12'-11-1/4" WIDE = 55 SF

TOTAL ESTIMATED WALL SIGNAGE SF = 206 SF

WALL SIGNAGE AREA IS NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:
 BUILDING FRONTAGE = 241'-0"
 CALCULATION = 241'-0" x 2.5 = 602.5 SF (THIS FAÇADE MEETS SIGNAGE AREA REQUIREMENT WITH 206 SF OF WALL SIGNAGE)

TENANT JUNIOR 'A'



JUNIOR 'A' - WALL SIGNAGE AREA

BUILDING FRONT FAÇADE AREA: 824 SF + 986.3 SF + 518 SF = 2,328.3 SF

TOTAL ESTIMATED WALL SIGNAGE SF = 9'-0" HIGH x 20'-0" WIDE = 180 SF

AWNING 1 = 150 SF
AWNING 1 SIGNAGE AREA = 3 SF

AWNING 2 = 137 SF
AWNING 2 SIGNAGE AREA = 3 SF

AWNING 3 = 88 SF
AWNING 3 SIGNAGE AREA = 3 SF

WALL SIGNAGE AREA IS NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:
BUILDING FRONTAGE = 80'-0"
CALCULATION = 80'-0" x 2.5 = 200 SF (THIS FAÇADE MEETS SIGNAGE AREA REQUIREMENTS WITH 180 SF OF WALL SIGNAGE)

AWNING SIGNAGE AREA IS NOT TO EXCEED 20% OF TOTAL AREA OF INDEPENDENT AWNING AND IS TO BE COMPUTED SEPARATE THAN WALL SIGNAGE:
AWNING 1: 3 SF/150 SF = 2% SIGNAGE AREA OF AWNING (THIS AWNING SIGN DOES NOT EXCEED THE 20% MAXIMUM AREA)
AWNING 2: 3 SF/137 SF = 2% SIGNAGE AREA OF AWNING (THIS AWNING SIGN DOES NOT EXCEED THE 20% MAXIMUM AREA)
AWNING 3: 3 SF/88 SF = 2% SIGNAGE AREA OF AWNING (THIS AWNING SIGN DOES NOT EXCEED THE 20% MAXIMUM AREA)

In compliance with the PCD, we will use signage that compliments Monroe Pavilion in size, scale, and design that is usually used by some Major and Junior Anchors that are considering complimenting this community in this center. Signage is an integral and important aspect for this Planned Community Development and future tenants of Parcels and Outlots and will certainly represent this center with pleasing visual character. For additional information, refer to PCD Section 4.1

TENANT MAJOR 'B'



In compliance with the PCD, we will use signage that compliments Monroe Pavilion in size, scale, and design that is usually used by some Major and Junior Anchors that are considering complimenting this community in this center. Signage is an integral and important aspect for this Planned Community Development and future tenants of Parcels and Outlots and will certainly represent this center with pleasing visual character. For additional information, refer to PCD Section 4.1

MAJOR 'B' - WALL SIGNAGE AREA

BUILDING FRONT FAÇADE AREA = 3,881 SF

WALL MAIN SIGN 1 = 6'-0" HIGH x 24'-0" WIDE = 144 SF

WALL MAIN SIGN 2 = 3'-6" HIGH x 42'-0" WIDE = 147 SF

TWO PLAQUE SIGNS = 8 SF x 2 = 16 SF (THESE ACCENT SIGNS ARE NOT INCLUDED IN TOTAL SIGNAGE AREA)

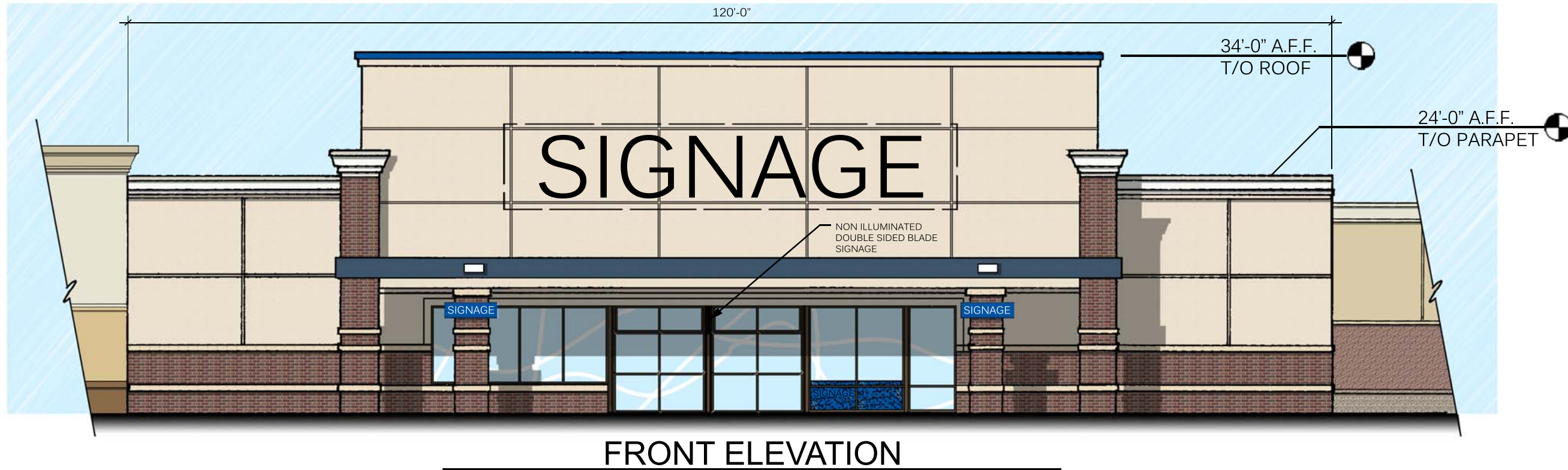
TOTAL ESTIMATED WALL SIGNAGE SF = 291 SF

MAX WALL SIGNAGE NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:

BUILDING FRONTAGE = 120'-0"

CALCULATION = 120'-0" x 2.5 = 300 SF (THIS FAÇADE MEETS SIGNAGE AREA REQUIREMENTS WITH 291 SF OF WALL SIGNAGE)

TENANT MAJOR 'C'



In compliance with the PCD, we will use signage that compliments Monroe Pavilion in size, scale, and design that is usually used by some Major and Junior Anchors that are considering complimenting this community in this center. Signage is an integral and important aspect for this Planned Community Development and future tenants of Parcels and Outlots and will certainly represent this center with pleasing visual character. For additional information, refer to PCD Section 4.1

MAJOR 'C' - WALL SIGNAGE AREA:

BUILDING FRONT FAÇADE AREA: 553.5 SF + 2644.3 SF + 556.2 SF = 3754 SF

MAIN SIGNAGE = 6'-0" HIGH x 31'-1" WIDE = 185.5 SF

COLUMN-WRAP SIGNAGE = 1'-2" HIGH x 4'-0" = 4.67 SF x 2 = 9.33 SF

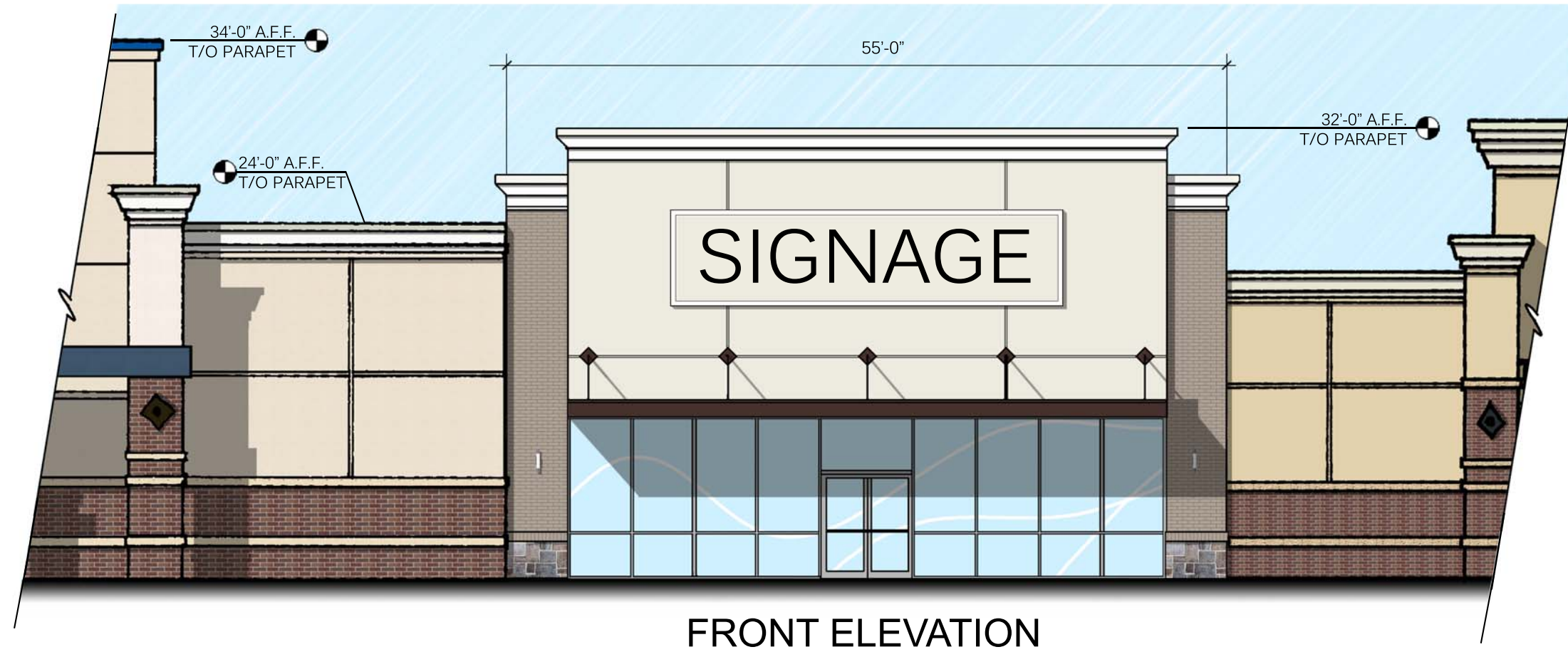
TOTAL ESTIMATED WALL SIGNAGE SF = 195 SF

MAX WALL SIGNAGE NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:

BUILDING FRONTAGE = 120'-0"

CALCULATION = 120'-0" x 2.5 = 300 SF (THIS FAÇADE MEETS SIGNAGE AREA REQUIREMENTS WITH 195 SF OF WALL SIGNAGE)

TENANT JUNIOR 'B'



JUNIOR 'B' - WALL SIGNAGE AREA:

BUILDING FRONT FAÇADE AREA: 148.2 SF + 1574.4 SF = 148.2 SF = 1,870.8 SF

TOTAL ESTIMATED WALL SIGNAGE SF = 3'-3" HIGH x 23'-0" WIDE = 75 SF

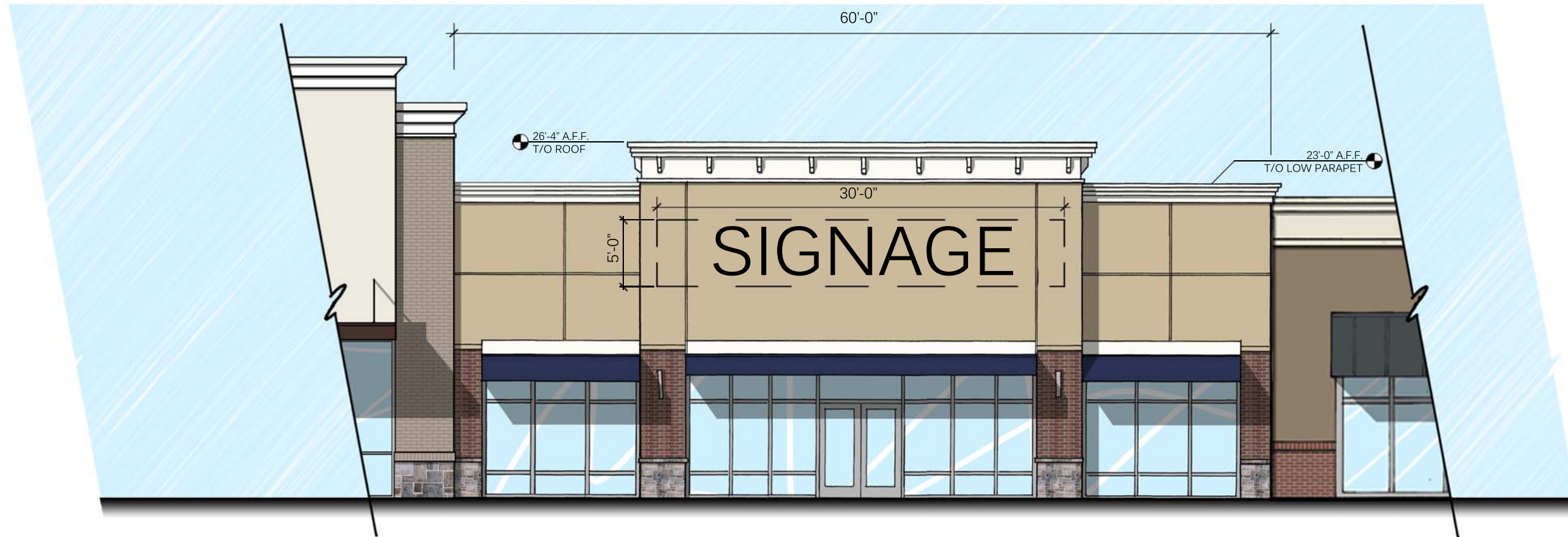
MAX WALL SIGNAGE NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:

BUILDING FRONTAGE = 55'-0"

CALCULATION = 55'-0" x 2.5 = 137.5 SF (THIS FAÇADE MEETS SIGNAGE AREA REQUIREMENTS WITH 75 SF OF WALL SIGNAGE)

In compliance with the PCD, we will use signage that compliments Monroe Pavilion in size, scale, and design that is usually used by some Major and Junior Anchors that are considering complimenting this community in this center. Signage is an integral and important aspect for this Planned Community Development and future tenants of Parcels and Outlots and will certainly represent this center with pleasing visual character. For additional information, refer to PCD Section 4.1

TENANT JUNIOR 'C'



FRONT ELEVATION

JUNIOR 'C' - WALL SIGNAGE AREA:

BUILDING FRONT FAÇADE AREA: 326 SF + 865 SF + 326 SF = 1,517 SF

TOTAL ESTIMATED WALL SIGNAGE SF = 5'-0" x 30' = 150 SF

MAX WALL SIGNAGE NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:

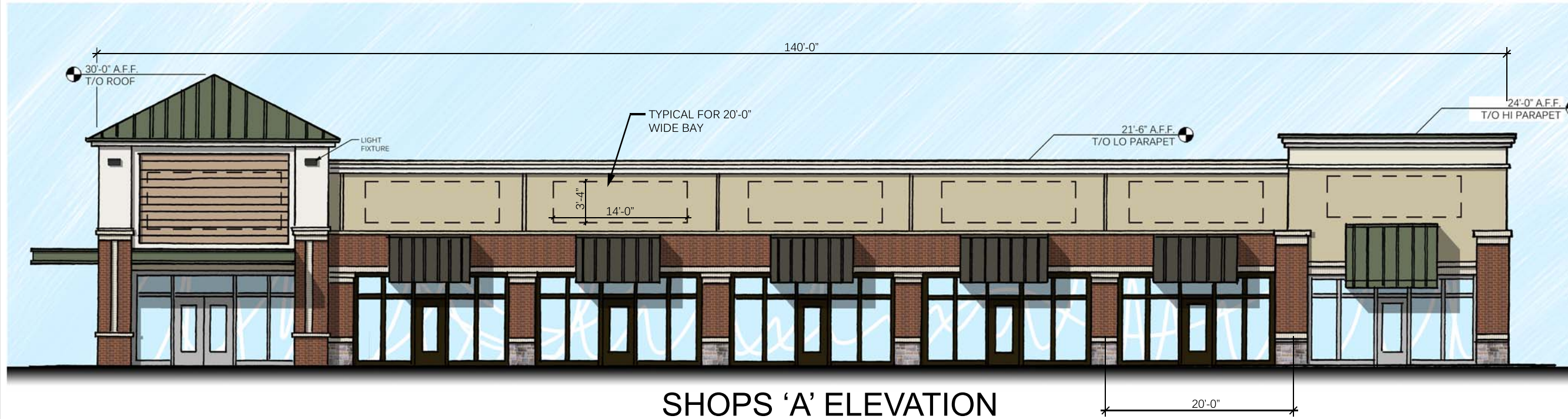
BUILDING FRONTAGE = 60'-0"

CALCULATION = 60'-0" x 2.5 = 150 SF (THIS FACADE WILL MEET SIGNAGE AREA REQUIREMENTS WITH 150 SF OR LESS OF WALL SIGNAGE)

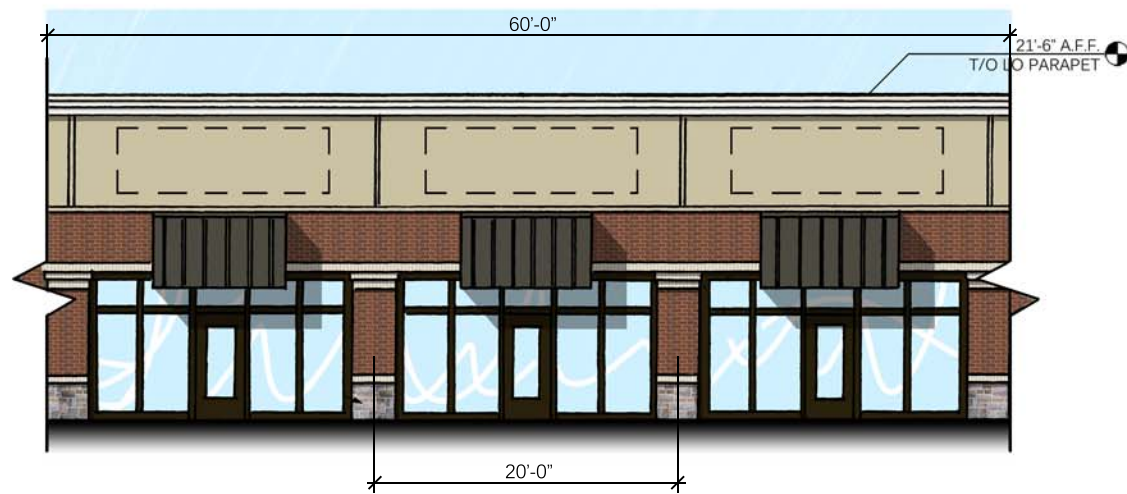
In compliance with the PCD, we will use signage that compliments Monroe Pavilion in size, scale, and design that is usually used by some Major and Junior Anchors that are considering complimenting this community in this center. Signage is an integral and important aspect for this Planned Community Development and future tenants of Parcels and Outlots and will certainly represent this center with pleasing visual character. For additional information, refer to PCD Section 4.1

SHOPS A & B ELEVATIONS

In compliance with the PCD, we will use signage that compliments Monroe Pavilion in size, scale, and design that is usually used by some Major and Junior Anchors that are considering complimenting this community in this center. Signage is an integral and important aspect for this Planned Community Development and future tenants of Parcels and Outlots and will certainly represent this center with pleasing visual character. For additional information, refer to PCD Section 4.1



SHOPS 'A' ELEVATION



SHOPS 'B' ELEVATION

SHOPS 'A' - WALL SIGNAGE AREA:

BUILDING FRONT FAÇADE AREA = 3,521 SF

WALL SIGNAGE AREA FOR ENTIRE LENGTH OF SIDEWALK SPAN:
SEVEN (7) SIGNS = 3'-6" HIGH x 14'-0" WIDE = 49 SF x 7 = 343 SF

MAX WALL SIGNAGE NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:
BUILDING FRONTAGE = 140'-0"
CALCULATION = 140'-0" x 2.5 = 350 SF (THIS FAÇADE MEETS THE SIGNAGE AREA REQUIREMENTS WITH 343 SF OF WALL SIGNAGE)

SHOPS 'B' - WALL SIGNAGE AREA:

BUILDING FRONT FAÇADE AREA = 1,290 SF

WALL SIGNAGE AREA FOR ENTIRE LENGTH OF SIDEWALK SPAN:
THREE (3) SIGNS = 3'-6" HIGH x 14'-0" WIDE = 49 x 3 = 147 SF

MAX WALL SIGNAGE NOT TO EXCEED 2.5 SF OF LINEAR FOOT OF BUILDING FRONTAGE:
BUILDING FRONTAGE = 60'-0"
CALCULATION = 60'-0" x 2.5 = 150 SF (THIS FAÇADE MEETS THE SIGNAGE AREA REQUIREMENTS WITH 147 SF OF WALL SIGNAGE)

SIGNAGE LIGHTING

Indirect signage lighting examples



- This page demonstrates non-internally illuminated examples of wall signage.
- Internally illuminated signs are allowed for wall signs at Major Anchors, Junior Anchors, and future independent buildings at Parcels and/or Outlots, which are 5,000 square feet or greater.

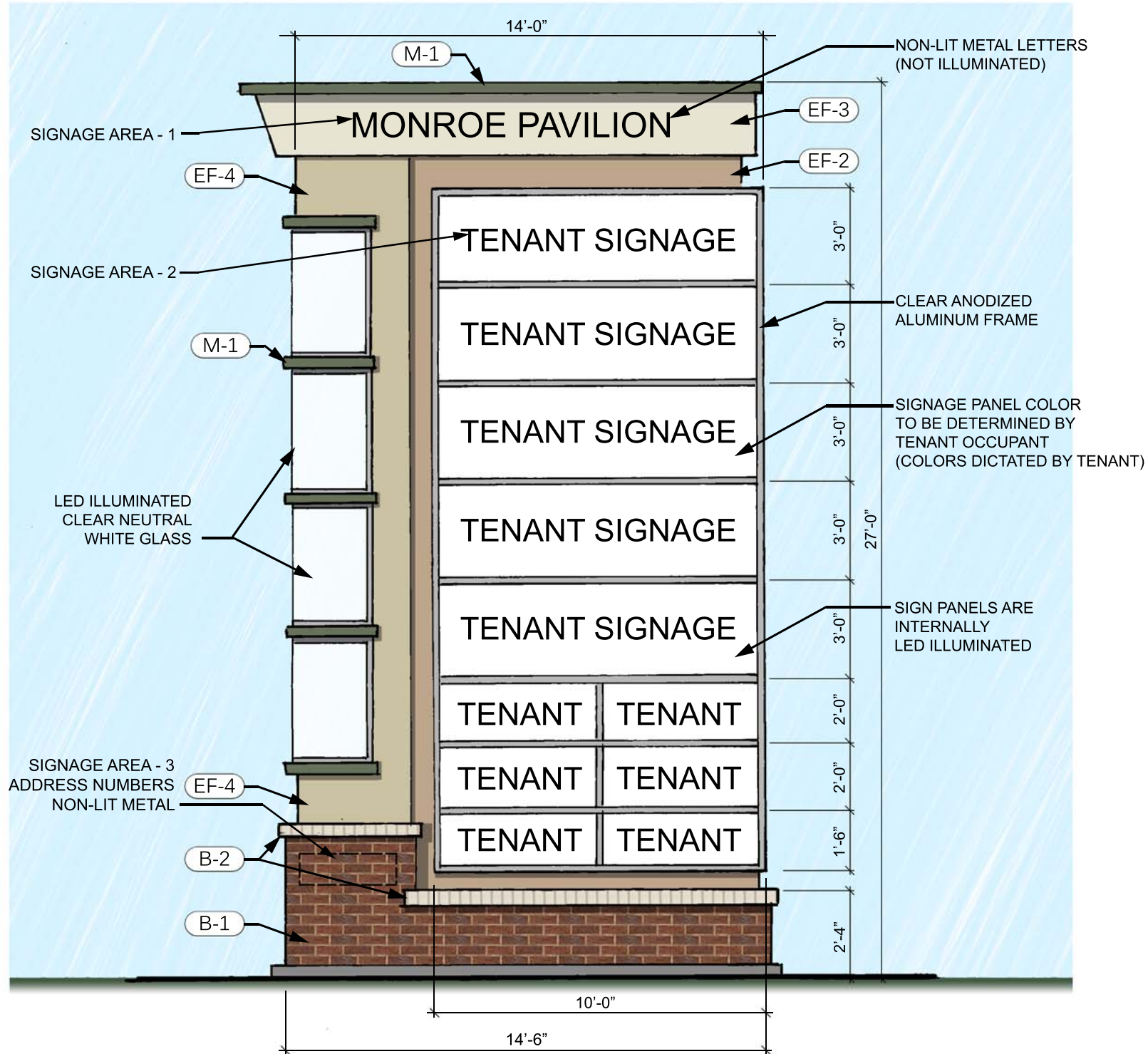
Halo signage lighting examples



Internally illuminated signage examples



FREE STANDING SIGNS



MONUMENT SIGN ELEVATION

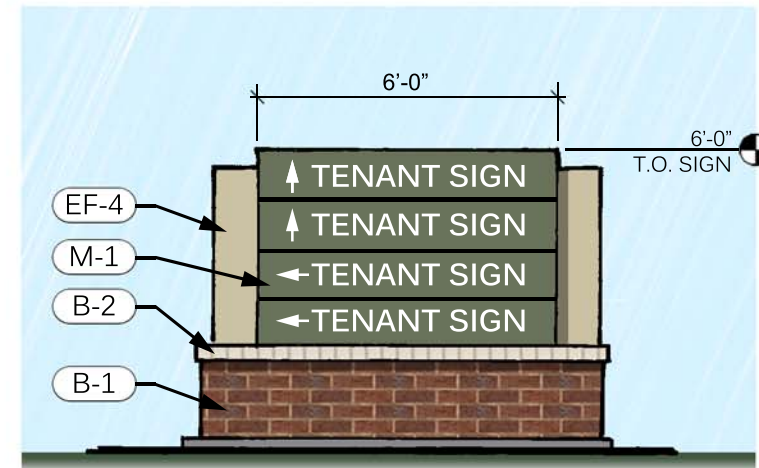
N.T.S.

SIGNAGE AREA CALCULATIONS FOR ONE SIDE:

AREA 1:	1'-0" x 10'-0" =	10 SF
AREA 2:	20'-6" x 10'-0" =	205 SF
AREA 3:	1'-0" x 3'-0" =	3 SF
TOTAL SIGNAGE AREA SF =		218 SF

MONUMENT AREA CALCULATIONS FOR ONE SIDE:

TOTAL MONUMENT AREA SF =	380 SF
--------------------------	--------



DIRECTIONAL SIGN ELEVATION

N.T.S.

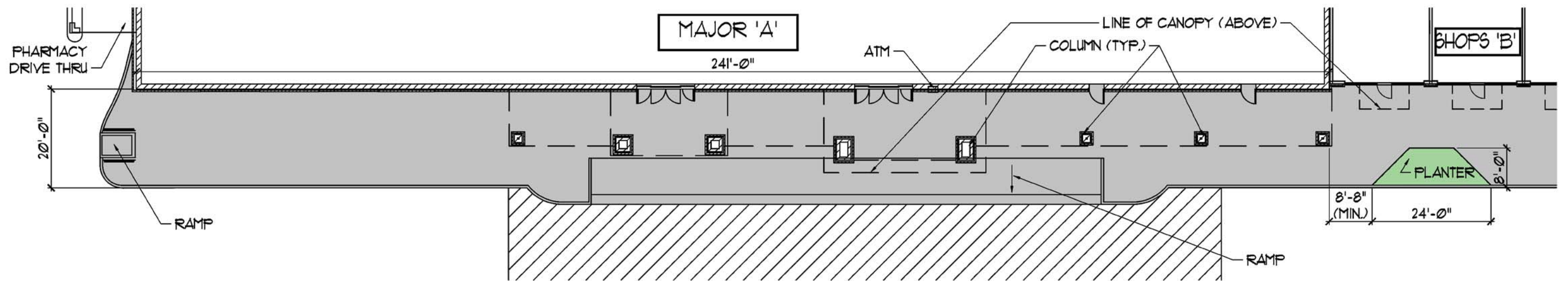
SIGNAGE AREA CALCULATIONS FOR ONE SIDE:

AREA:	(4) 1'-0" x 6'-0" PANELS =	6 SF
TOTAL SIGNAGE AREA SF =		24 SF

NOTE:
FOR SIGN LOCATIONS
REFER TO PAGE 2.3

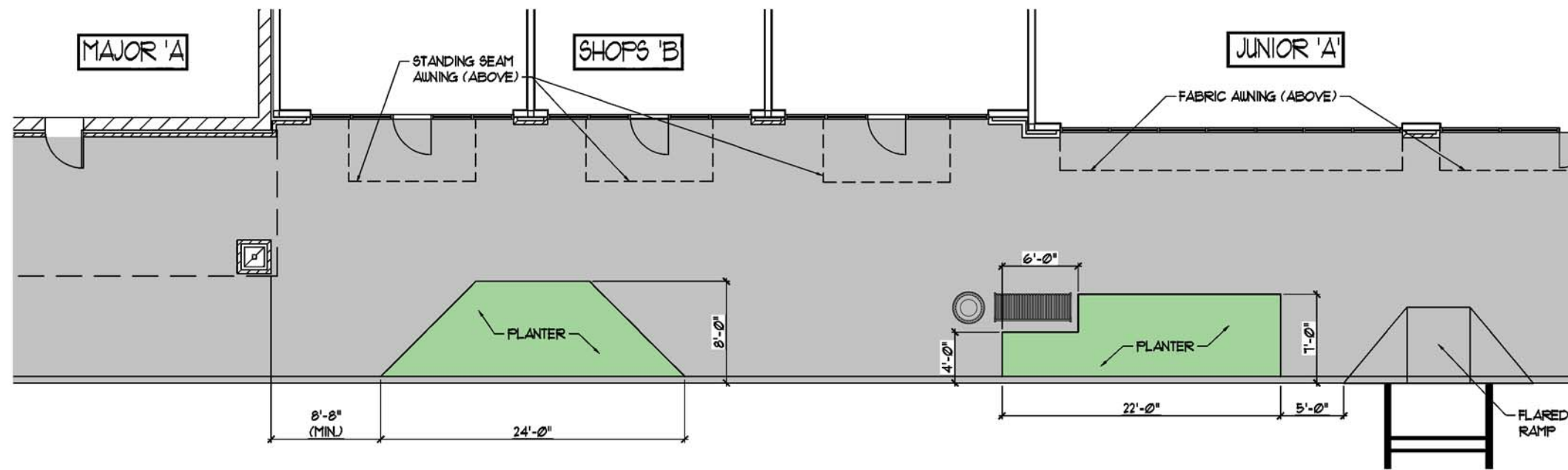
EXTERIOR FINISH SCHEDULE

MARK	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
B-1	MODULAR BRICK	ACME BRICK	COLOR: CHERRYWOOD WITH CEMEX IVORY MORTAR, TOOLED JOINTS
B-2	MODULAR BRICK	TAYLOR	COLOR: 301w WHITE WITH CEMEX IVORY MORTAR, TOOLED JOINTS
EF-2	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6094 "SENSATIONAL SAND"
EF-3	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6154 "NACRE"
EF-4	STUCCO	DRYVIT	FINISH SANDBLAST, COLOR TO MATCH: SW 6156 "RAMIE"
M-1	METAL	PAC-CLAD	STANDING SEAM ROOF, COLOR: "AGED COPPER"



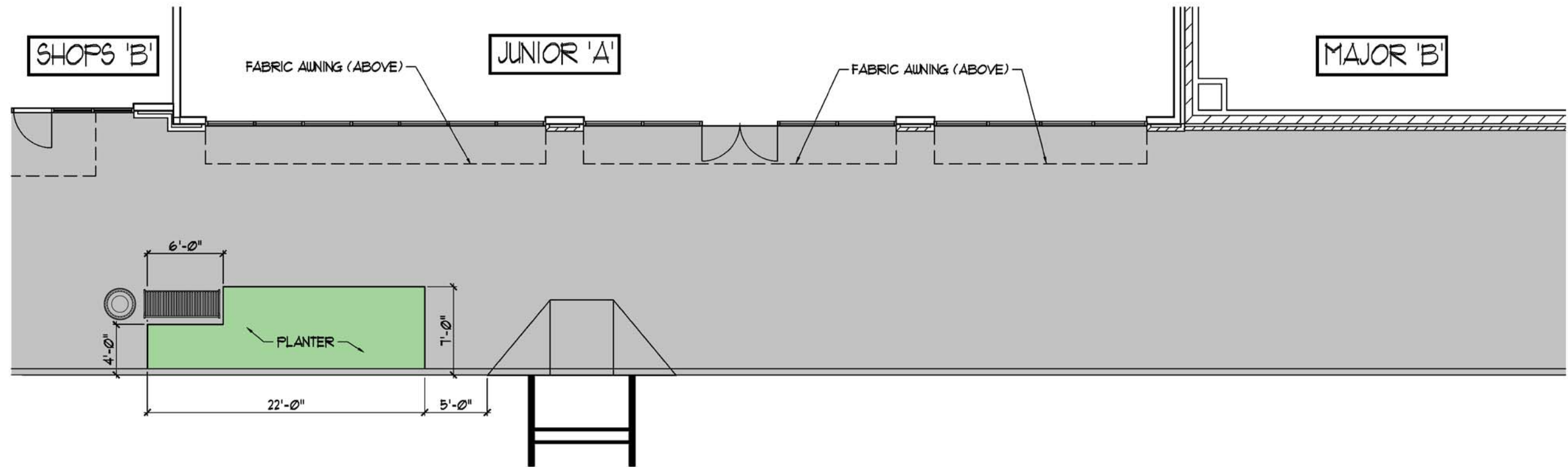
MAJOR 'A' & PARTIAL SHOPS 'B' - PLANTER INFORMATION

SHOPS B ELEVATION

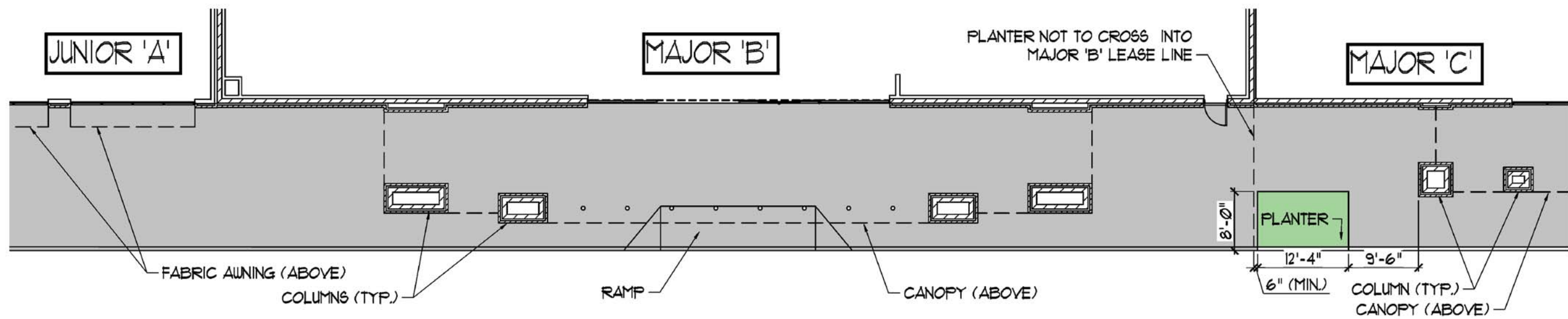


SHOPS 'B' & PARTIAL JUNIOR 'A' - PLANTER INFORMATION

TENANT JUNIOR 'A'

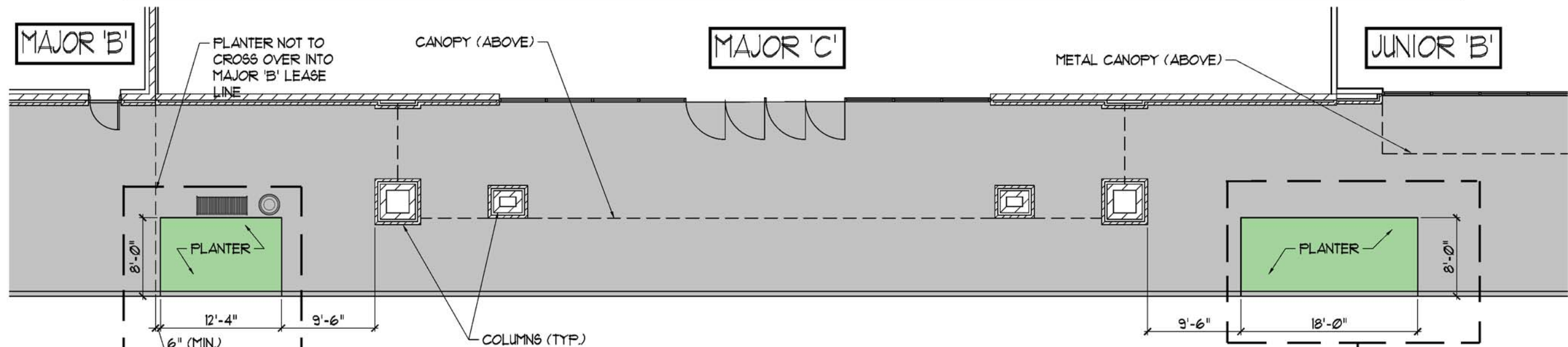


JUNIOR 'A' - PLANTER INFORMATION

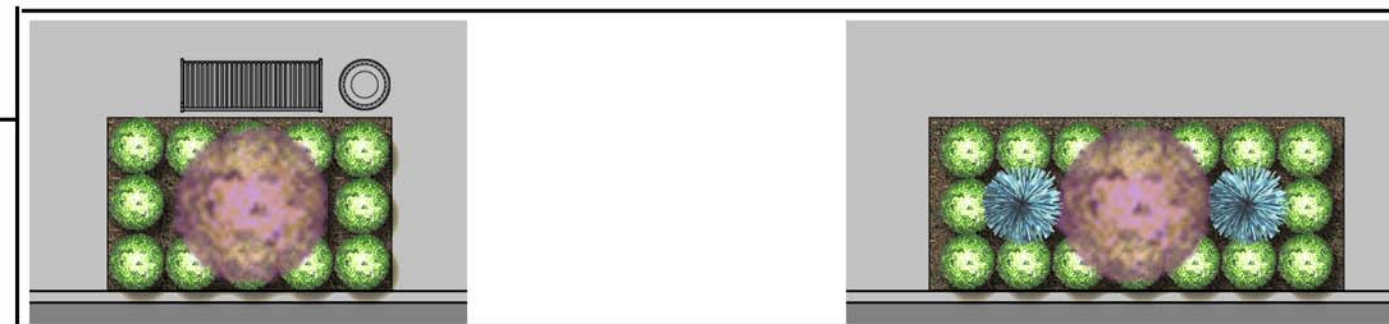


MAJOR 'B' & PARTIAL MAJOR 'C' - PLANTER INFORMATION

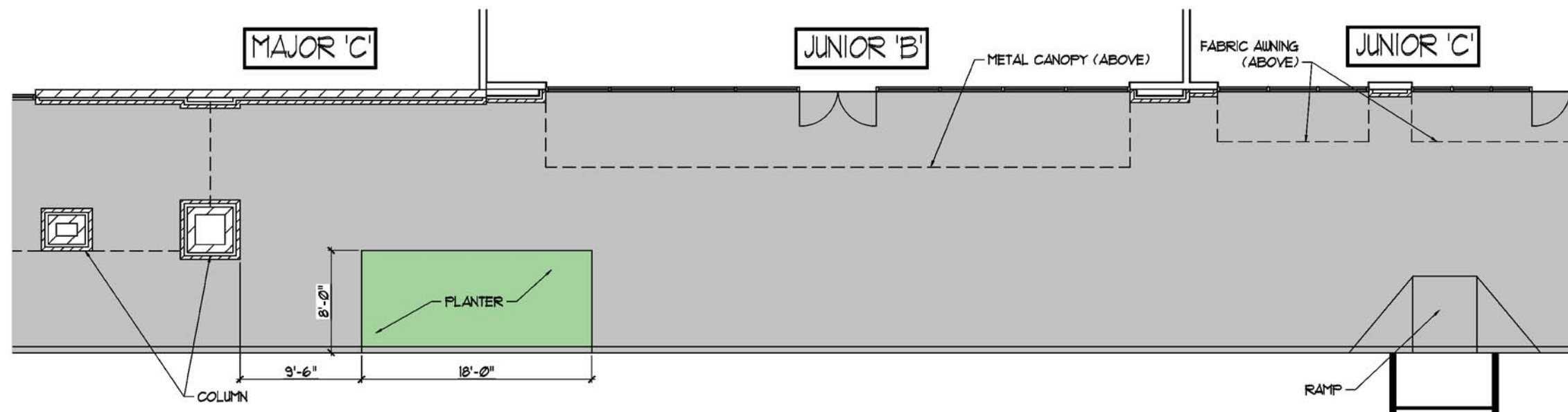
TENANT MAJOR 'C'



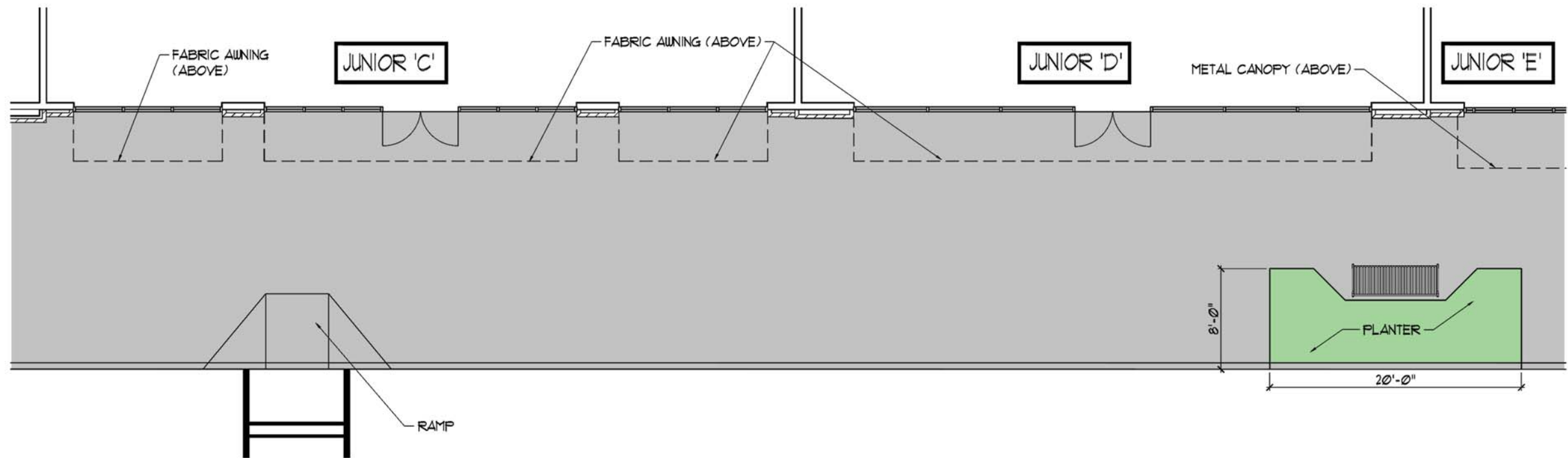
MAJOR 'C' & PARTIAL JUNIOR 'B' - PLANTER INFORMATION



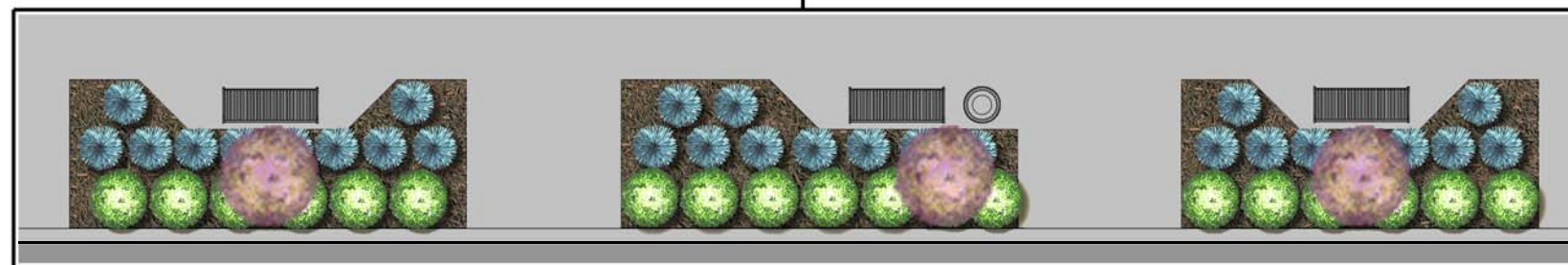
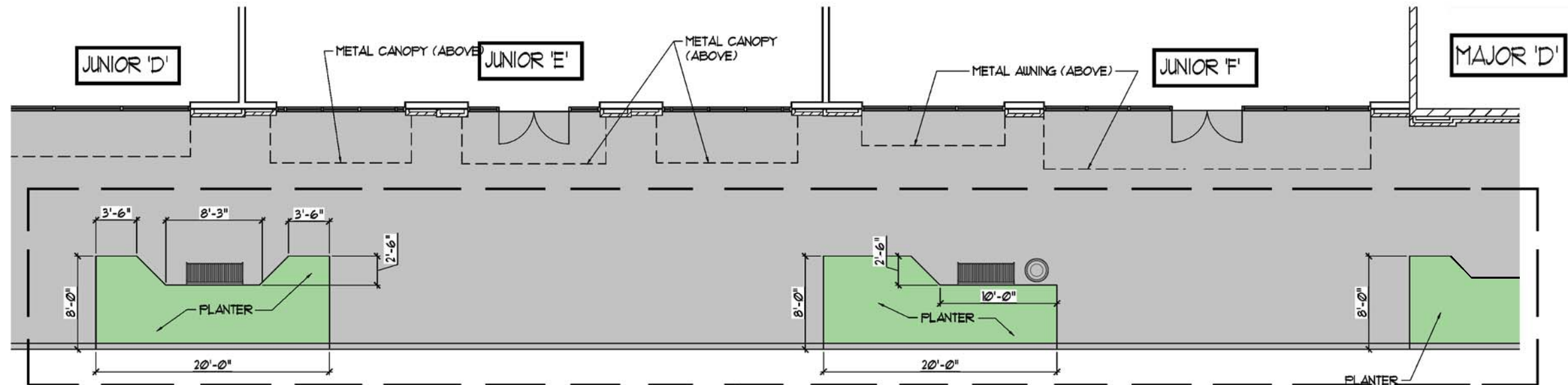
TENANT JUNIOR 'B'



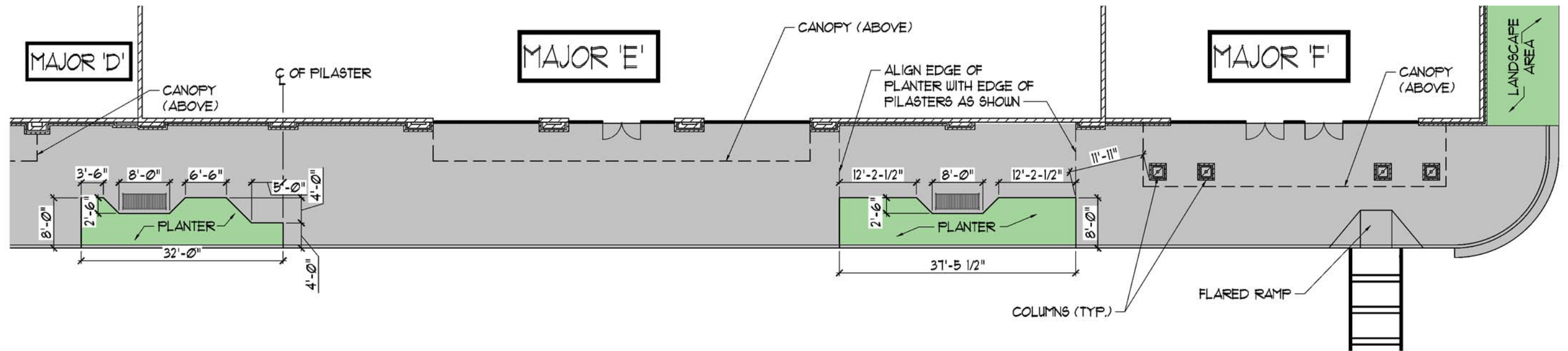
JUNIOR 'B' & PARTIAL MAJOR 'C' & PARTIAL JUNIOR 'C' - PLANTER INFORMATION



JUNIOR 'C' & JUNIOR 'D' & PARTIAL JUNIOR 'E' - PLANTER INFORMATION

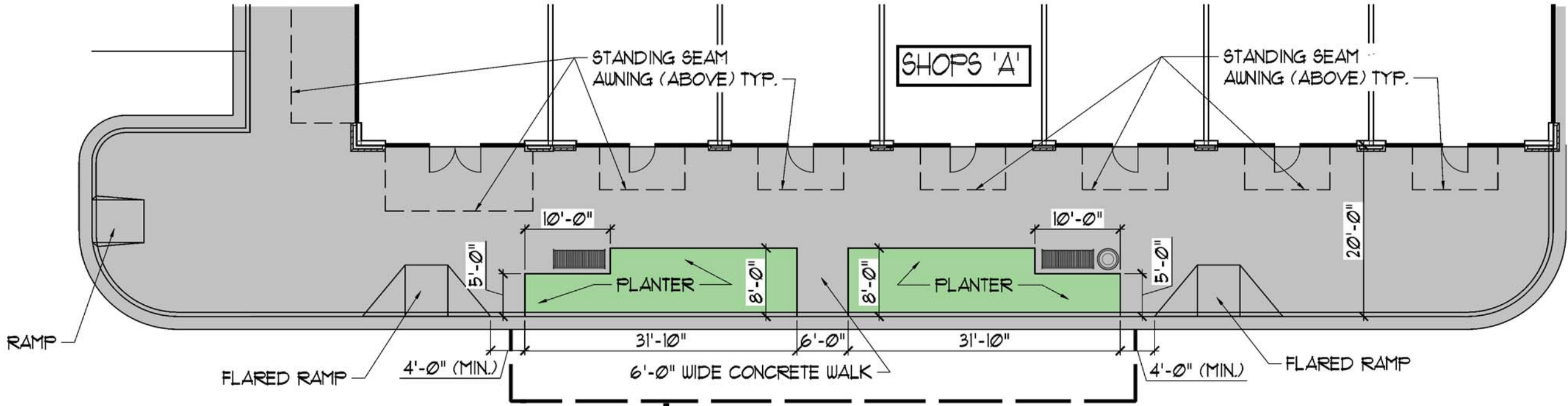


JUNIOR 'E' & JUNIOR 'F' & PARTIAL JUNIOR 'D' - PLANTER INFORMATION

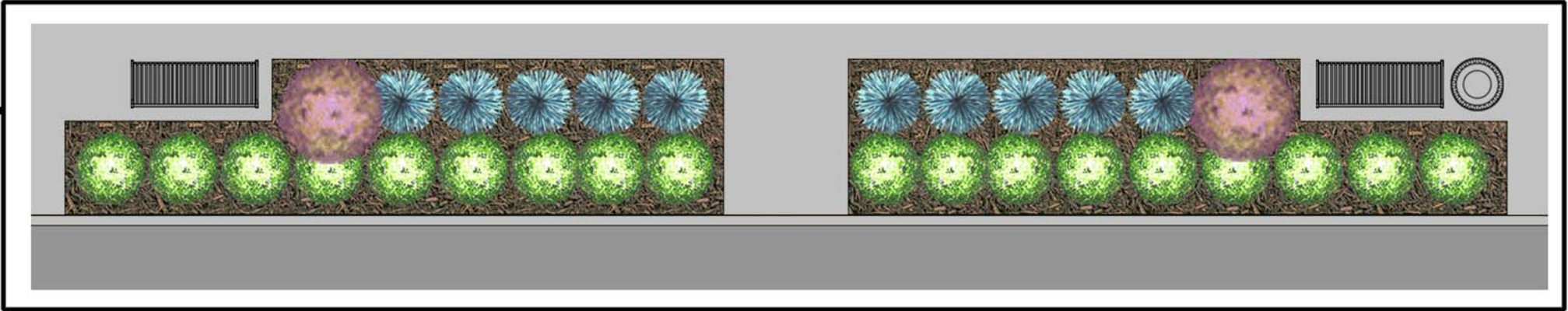


MAJOR 'D' & MAJOR 'E' & MAJOR 'F' & PARTIAL MAJOR 'D' - PLANTER INFORMATION

SHOPS A ELEVATIONS



SHOPS 'A' - PLANTER INFORMATION





**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 1182

DATE: July 13, 2022

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: It’s Permittable LLC

PROPERTY OWNER: Bank of America NA Corporate Real Estate Assessments

LOCATION: North side of W Spring Street and the west side of Hwy 138 – 2020 W Spring Street

ACREAGE: ±1.35

EXISTING ZONING: B-3 (Highway Commercial District)

EXISTING LAND USE: Bank with associated parking and landscaping

ACTION REQUESTED: The applicant is requesting approval of a Certificate of Appropriateness application in order to allow for signage modifications on the site

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness request with conditions.

DATE OF SCHEDULED MEETINGS

PLANNING COMMISSION: July 19, 2022

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow for replacement of existing signage at the West Broad Street branch of Bank of America. The request includes replacement of all signage on the site including wall signs, ground signs, and other directional and incidental signs. There are a total of 15 signs proposed to be replaced. Of the signs to be replaced, this report will only focus on the replacement of the existing primary ground sign and wall signs. The remaining signs are replacements of existing directional and incidental signs on the site.

PROPOSED PROJECT SUMMARY:

- Sign Replacements – Bank of America
 - Ground Sign:
 - Existing Sign – Freestanding Pylon Sign with internal illumination
 - Proposed Sign Replacement – Ground Sign with halo illumination
 - Illustrated in the applicant’s submitted sign replacement chart as Sign Number EXT-001
 - Wall Signs:
 - 4 Existing Signs – internally illuminated

- 4 Proposed Wall Sign Replacements – 1 for 1 “like for like” changes with replacements modified to halo illumination
 - Illustrated in the applicant’s submitted sign replacement chart as Sign Number’s EXT-002 through EXT-005

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 – Site Planning:

There are no changes proposed to any site planning aspects in this request.

643A.2 – Architecture:

There are no changes proposed to the impact the architecture of the existing building in this request.

643A.3 – Pavement:

There are no changes proposed to the existing pavement locations in this request.

643A.4 – Landscaping:

There are no modifications proposed to the existing landscaping on the site in this request.

643A.5 – Signs:

The applicant proposes to replace all 4 existing wall signs and the existing freestanding pylon sign on the site. The existing wall signs are non-conforming due to being internally illuminated. The existing freestanding pylon sign is non-conforming due to being internally illuminated and raised by a vertical support. The applicant proposes to replace the 4 existing wall signs with the same or smaller sized wall signs that will now have halo illumination. The existing freestanding pylon sign will be replaced with a ground sign that will also now have halo illumination. In order to meet the requirements of the Zoning Ordinance, the proposed ground sign will need to have a monument style base constructed at the bottom of the sign. Staff has included conditions at the end of this report outlining the requirements for the sign replacements.

643A.6 – Illumination:

There are no changes proposed to the existing illumination of the site in this request.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to replace signs on the site, subject to the following conditions:

1. The proposed ground sign shall be constructed as represented on the submitted representative photos with the exception of including a monument style base constructed on the bottom of the sign. The ground sign shall have halo illumination.
2. The proposed wall signs shall be constructed as represented on the submitted representative photos. The wall signs shall have halo illumination.



Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 2020 W. SPRING STREET, MONROE Parcel # MOO10021A00

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction, Renovation of Existing Structure, Demolition, **Signage**

Property Owner: BANK OF AMERICA, NA

Address: 101 N TRYON STREET, CHARLOTTE, NC 28255

Telephone Number: 1-800-432-1000 Email Address: INFO@BANKOFAMERICA.COM

Applicant: <u>JENNIFER WOLFE OF IT'S PERMITTABLE, LLC- AGENT FOR AGI AND BOA</u>	
Address: <u>4113 N. SWANN STREET, COVINGTON, GA 30014</u>	
Telephone Number: <u>770-568-8867</u>	Email Address: <u>JW@ITSPERMITTABLE.COM</u>

Estimated cost of project: \$20,100.00

Please submit the following items with your application:

- Photographs of existing condition of the property to show all areas affected
- Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- Written description of the project
- Owner authorization statement, if applicant is not the property owner
- Application Fee \$100

Please submit all application materials in hardcopy to the Code Department and digitally at lwilson@monroega.gov; Please submit two physical copies.

JW
Signature of Applicant

06-15-2022
Date



LETTER OF INTENT

SUBJECT ADDRESS: 2020 W. SPRING STREET, MONROE, GA
PROPERTY OWNERS: BANK OF AMERICA
ZONED: B3- HIGHWAY COMMERCIAL
PARCEL ID #M0010021A00

Our request is to obtain approval to allow the existing signs to be removed and replaced with new signs due to age and condition as well as to update branding content.

All existing signage is internally illuminated per the City of Monroe’s sign code allowance at the time of installation. Currently, the new proposed signage is being proposed as halo lit also known as back lit.

- Proposed ground sign is significantly smaller than existing sign.
- Proposed signage for wall signs is smaller than existing signage.
- Proposed incidental signage also serves as wayfinding and life safety (Drive-thru ATM, Clearance 11ft 0in., Do Not Enter, Directionals Do Not Enter, Exit/Do Not Enter, Exit/Bank Entrance-Drive Thru- ATM, Bank Entrance-Drive Thru ATM, Door Vinyl
- The proposed sign designs have omitted several signs to reduce signage clutter Electronic Canopy Signs, Regulatory – Pole Mounted

We thank you in advance for your consideration of the proposed signs.

Kindly,

Jennifer Wolfe
CEO/Permit Expeditor
C: 770-568-8867



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PLANNING COMMISSION MTG PERMIT

PERMIT #:	1182	DESCRIPTION:	COA-PLANNING & ZONING Signage
JOB ADDRESS:	2020 W Spring St.	LOT #:	
PARCEL ID:	M0010021A00	BLK #:	
SUBDIVISION:		ZONING:	B-3
ISSUED TO:	It's Permittable LLC	CONTRACTOR:	It's Permittable LLC
ADDRESS:	4113 N. Swann St	PHONE:	
CITY, STATE ZIP:	Covington GA 30014	OWNER:	
PHONE:		PHONE:	
PROP. USE:	COMMERCIAL	DATE ISSUED:	6/29/2022
VALUATION:	\$ 20,100.00	EXPIRATION:	12/26/2022
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
FEE TOTAL		\$ 100.00
PAYMENTS		\$ -100.00
BALANCE		\$ 0.00

NOTES:

Please be advised your request for changes to existing signage at 2020 W Spring St will be heard by the Monroe Planning Commission on July 19, 2022 at 5:30pm in the Council Chambers at City Hall, 215 N. Broad St.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Ann E. Wilson
(APPROVED BY)

6/29/22
DATE



215 North Broad Street
 Monroe, GA 30655
 Tel (770) 267-3429
 Fax (770) 267-3698

Receipt Number: R00397442

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 6/29/2022 10:20:49 AM

84

Transaction Code: BP - Building Projects Payment

Name: It's Permittable LLC \$100.00

Total Balance Due: \$100.00

Payment Method: Check Payn Reference: 5005

Amount: \$100.00

Total Payment Received: \$100.00

Change: \$0.00

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for signage located at 2020 W. Spring St. (Parcel #MO010021A00).

The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on July 19, 2022 at 5:30 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

July 3, 2022



Next Gen Rebrand



Site Number:

GA7-912-FC

Site Name:

Monroe

Address:

2020 W Spring St
Monroe, GA 30655-3164 United States

Recommendation Completed: 05-09-2022

Approved:

Date Print: 06/07/2022

Leased/Owned: Owned





Recommendations Report

Sign Number	Sign Type	Description	Action Code
EXT-001	Custom	Custom - B2ng - With Halo Illumination	Remove and Replace
EXT-002	Custom	Custom D7ng - 3'-6 3/4' Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Remove and Replace
EXT-003	Custom	Custom D6ng - 3'-2' Inline Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Remove and Replace
EXT-004	Custom	Custom D6ng - 3'-2' Inline Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Remove and Replace
EXT-005	Custom	Custom D6ng - 3'-2' Inline Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Remove and Replace
EXT-006	SS3-DTng	Canopy Mounted Regulatory - 'Drive-thru ATM'	Remove and Replace
EXT-007	SS1ng	Canopy Mounted Regulatory - 'Clearance'	Remove and Replace
EXT-008	SS2ng	Canopy Mounted Regulatory - 'Do Not Enter'	New
EXT-009	Remove	Remove existing signs	Remove
EXT-010	Remove	Remove existing sign	Remove
EXT-011	P1ng	3' Directional	Remove and Replace
EXT-012	P1ng	3' Directional	Remove and Replace

(continued on next page)

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Site Number: GA7-912-FC

Site Name: Monroe

Recommendation Completed: 05-09-2022



Address: 2020 W Spring St

Approved:

City/State: Monroe, GA 30655-3164

Date Print: 06/07/2022

Recommendations Report *(continued)*

Sign Number	Sign Type	Description	Action Code
EXT-013	P1ng	3' Directional	Remove and Replace
EXT-014	P1ng	3' Directional	Remove and Replace
EXT-015	V1ng	Door Vinyl	Remove and Replace

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-001
Existing Sign Type:	Pylon
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	
Sign Number:	EXT-001	Overall Width:	
Sign Type:	Custom	Logo Height:	
Description:	Custom - B2ng - With Halo Illumination	Letter Height:	
Action:	Remove and Replace	Illuminated:	Halo Illuminated
Comments:	Sign manufacturer to reach out to Monigle for custom halo design intent package to ensure proper fabrication.		
Restoration Notes:	Field verification is required for all ground signs to ensure that the recommended sign will fit in the recommended location, taking into account all set-backs, obstructions, underground utilities, etc. If a problem is detected by the field verification, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing . New electrical work required. Field verify available circuits and access prior to fabrication. Restore ground material to base of new sign.		

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-002
Existing Sign Type:	Channel Letters
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'-6 3/4"
Sign Number:	EXT-002	Overall Width:	21'-3 3/8"
Sign Type:	Custom	Logo Height:	
Description:	Custom D7ng - 3'-6 3/4" Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Letter Height:	1'
Action:	Remove and Replace	Illuminated:	Halo Illuminated
Comments:	City will only allow halo illumination and individual channel letters are not feasible. D7ng backer panels will be standard with a standard KCH-3ng (Full color letter - white halo illuminated) letterset installed instead of the standard channel letter.		
Restoration Notes:	Patch and repair existing wall surface to like new condition. Repaint to match existing color finish. For brick or stone walls fill holes with matching silicone. Install new signage using existing primary electrical. Verify if additional circuits are required for new sign. Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, or may appear substantially different than the proportions shown in the proposed image, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.		

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Site Number: GA7-912-FC

Site Name: Monroe
 Address: 2020 W Spring St
 City/State: Monroe, GA 30655-3164

Recommendation Completed: 05-09-2022

Approved:
 Date Print: 06/07/2022



Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-003
Existing Sign Type:	Channel Letters
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'-2"
Sign Number:	EXT-003	Overall Width:	18'-11"
Sign Type:	Custom	Logo Height:	
Description:	Custom D6ng - 3'-2" Inline Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Letter Height:	10 3/4"
Action:	Remove and Replace	Illuminated:	Halo Illuminated
Comments:	City will only allow halo illumination and individual channel letters are not feasible. D6ng backer panels will be standard with a custom 10 3/4" "B" KCH-ng (Full color letter - white halo illuminated) letterset installed instead of the standard channel letter.		
Restoration Notes:	Patch and repair existing wall surface to like new condition. Repaint to match existing color finish. For brick or stone walls fill holes with matching silicone. Install new signage using existing primary electrical. Verify if additional circuits are required for new sign. Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, or may appear substantially different than the proportions shown in the proposed image, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.		

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-004
Existing Sign Type:	Channel Letters
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'-2"
Sign Number:	EXT-004	Overall Width:	18'-11"
Sign Type:	Custom	Logo Height:	
Description:	Custom D6ng - 3'-2" Inline Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Letter Height:	10 3/4"
Action:	Remove and Replace	Illuminated:	Halo Illuminated
Comments:	City will only allow halo illumination and individual channel letters are not feasible. D6ng backer panels will be standard with a custom 10 3/4" "B" KCH-ng (Full color letter - white halo illuminated) letterset installed instead of the standard channel letter.		
Restoration Notes:	Patch and repair existing wall surface to like new condition. Repaint to match existing color finish. For brick or stone walls fill holes with matching silicone. Install new signage using existing primary electrical. Verify if additional circuits are required for new sign. Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, or may appear substantially different than the proportions shown in the proposed image, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.		

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-005
Existing Sign Type:	Channel Letters
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'-2"
Sign Number:	EXT-005	Overall Width:	18'-11"
Sign Type:	Custom	Logo Height:	
Description:	Custom D6ng - 3'-2" Inline Halo Lit Dimensional Letter (Color Letters with White Halo) on a Backer Panel - Inline Format	Letter Height:	10 3/4"
Action:	Remove and Replace	Illuminated:	Halo Illuminated
Comments:	City will only allow halo illumination and individual channel letters are not feasible. D6ng backer panels will be standard with a custom 10 3/4" "B" KCH-ng (Full color letter - white halo illuminated) letterset installed instead of the standard channel letter.		
Restoration Notes:	Patch and repair existing wall surface to like new condition. Repaint to match existing color finish. For brick or stone walls fill holes with matching silicone. Install new signage using existing primary electrical. Verify if additional circuits are required for new sign. Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, or may appear substantially different than the proportions shown in the proposed image, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.		

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-006
Existing Sign Type:	Regulatory - Wall Mounted
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	7 3/4"
Sign Number:	EXT-006	Overall Width:	4'-5 1/2"
Sign Type:	SS3-DTng	Logo Height:	
Description:	Canopy Mounted Regulatory - "Drive-thru ATM"	Letter Height:	4"
Action:	Remove and Replace	Illuminated:	Non Illuminated
Comments:	**Note: New standard verbiage has been updated from "Drive-up" to "Drive-thru". Match copy shown in the proposed layout** Refer to VSD in Documentation for details.		
Restoration Notes:	Patch and repair existing wall surface to like new condition. For brick or stone walls fill holes with matching silicone. Repaint to match existing color finish. Verify copy w/ bank prior to fabrication Fabricator to verify if secondary copy is required on sign face (i.e. legal, towing, city ordinances or code information.) Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.		

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-007
Existing Sign Type:	Regulatory - Wall Mounted
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	7 3/4"
Sign Number:	EXT-007	Overall Width:	4'-5 1/2"
Sign Type:	SS1ng	Logo Height:	
Description:	Canopy Mounted Regulatory - "Clearance"	Letter Height:	4"
Action:	Remove and Replace	Illuminated:	Non Illuminated
Comments:	Refer to VSD in Documentation for details.		
Restoration Notes:	Patch and repair existing wall surface to like new condition. For brick or stone walls fill holes with matching silicone. Repaint to match existing color finish. Measure and verify clearance height prior to fabrication - deduct 2" from actual height for sign copy. Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.		

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-008
Existing Sign Type:	
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	7 3/4"
Sign Number:	EXT-008	Overall Width:	4'-5 1/2"
Sign Type:	SS2ng	Logo Height:	
Description:	Canopy Mounted Regulatory - "Do Not Enter"	Letter Height:	4"
Action:	New	Illuminated:	Non Illuminated
Comments:	Refer to VSD in Documentation for details.		
Restoration Notes:	Verify copy w/ bank prior to fabrication. Fabricator to verify if secondary copy is required on sign face (i.e. legal, towing, city ordinances or code information.) Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.		

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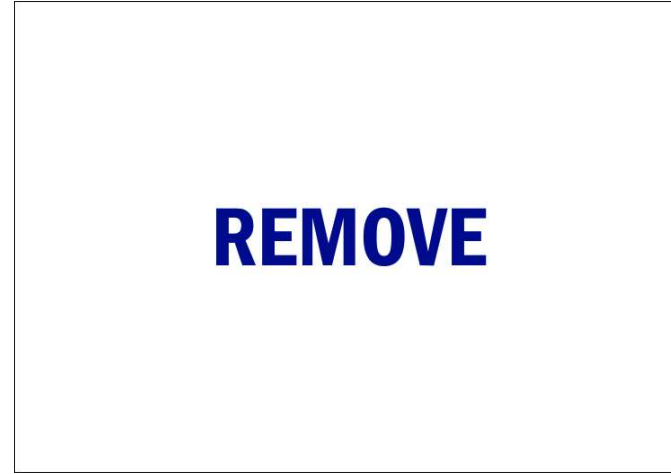




Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-009
Existing Sign Type:	Other
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	Electronic Canopy Signs (2)

Proposed

Asset Type:		Overall Height:	
Sign Number:	EXT-009	Overall Width:	
Sign Type:	Remove	Logo Height:	
Description:	Remove existing signs	Letter Height:	
Action:	Remove	Illuminated:	
Comments:	Refer to VSD in Documentation for details.		
Restoration Notes:	Patch and repair existing wall surface to like new condition. Repaint to match existing color finish. For brick or stone walls fill holes with matching silicone. Remove, dispose and cap off to code all existing electrical components / hardware previously connected to existing signage.		

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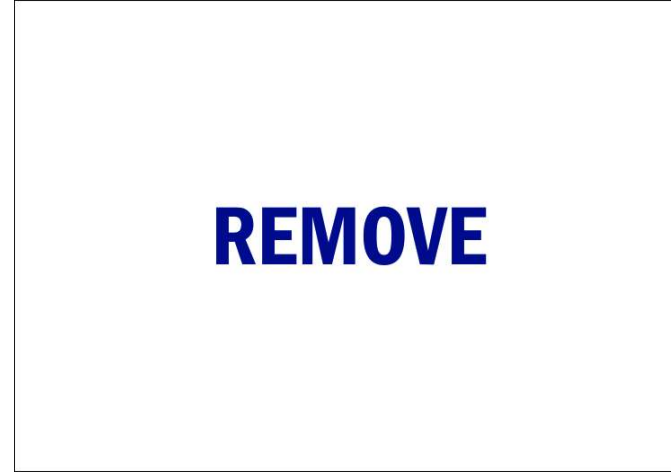




Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-010
Existing Sign Type:	Regulatory - Pole Mounted
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	
Sign Number:	EXT-010	Overall Width:	
Sign Type:	Remove	Logo Height:	
Description:	Remove existing sign	Letter Height:	
Action:	Remove	Illuminated:	
Comments:	Refer to VSD in Documentation for details.		
Restoration Notes:	Remove sign and support pole flush with grade or Patch and repair existing wall surface to like new condition.		

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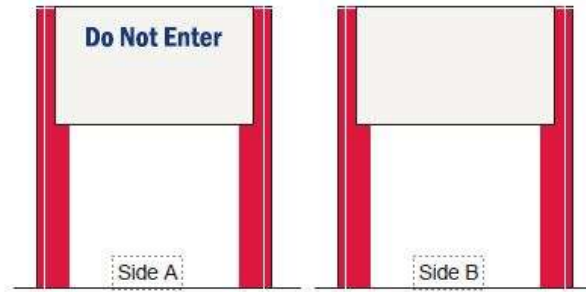




Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-011
Existing Sign Type:	Directional Sign
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'
Sign Number:	EXT-011	Overall Width:	2'-6"
Sign Type:	P1ng	Logo Height:	
Description:	3' Directional	Letter Height:	
Action:	Remove and Replace	Illuminated:	Non Illuminated
Comments:	Refer to VSD in Documentation for details.		
Restoration Notes:	Field verification is required for all ground signs to ensure that the recommended sign will fit in the recommended location, taking into account all set-backs, obstructions, underground utilities, etc. If a problem is detected by the field verification, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing. Remove, dispose and cap off to code all existing electrical components / hardware previously connected to existing signage. Restore ground material to base of new sign. Reference the Wayfinding Guide for standard approved copy heights, layouts, and specifications and be sure to match the visual appearance shown in the proposed image layout.		

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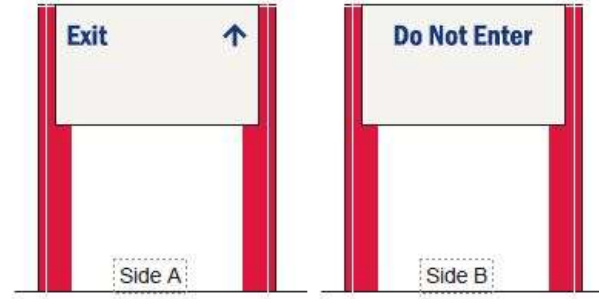




Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-012
Existing Sign Type:	Directional Sign
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'
Sign Number:	EXT-012	Overall Width:	2'-6"
Sign Type:	P1ng	Logo Height:	
Description:	3' Directional	Letter Height:	
Action:	Remove and Replace	Illuminated:	Non Illuminated
Comments:	Refer to VSD in Documentation for details.		
Restoration Notes:	Field verification is required for all ground signs to ensure that the recommended sign will fit in the recommended location, taking into account all set-backs, obstructions, underground utilities, etc. If a problem is detected by the field verification, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing. Remove, dispose and cap off to code all existing electrical components / hardware previously connected to existing signage. Restore ground material to base of new sign. Reference the Wayfinding Guide for standard approved copy heights, layouts, and specifications and be sure to match the visual appearance shown in the proposed image layout.		

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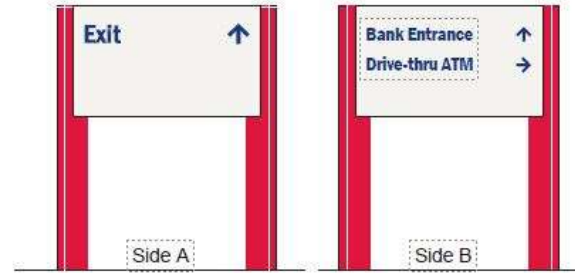




Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-013
Existing Sign Type:	Directional Sign
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'
Sign Number:	EXT-013	Overall Width:	2'-6"
Sign Type:	P1ng	Logo Height:	
Description:	3' Directional	Letter Height:	
Action:	Remove and Replace	Illuminated:	Non Illuminated
Comments:	**Note: New standard verbiage has been updated from "Drive-up" to "Drive-thru". Match copy shown in the proposed layout** Refer to VSD in Documentation for details.		
Restoration Notes:	Field verification is required for all ground signs to ensure that the recommended sign will fit in the recommended location, taking into account all set-backs, obstructions, underground utilities, etc. If a problem is detected by the field verification, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing. Remove, dispose and cap off to code all existing electrical components / hardware previously connected to existing signage. Restore ground material to base of new sign. Reference the Wayfinding Guide for standard approved copy heights, layouts, and specifications and be sure to match the visual appearance shown in the proposed image layout.		

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Existing Photo



Proposed Photo



Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-014
Existing Sign Type:	Directional Sign
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	3'
Sign Number:	EXT-014	Overall Width:	2'-6"
Sign Type:	P1ng	Logo Height:	
Description:	3' Directional	Letter Height:	
Action:	Remove and Replace	Illuminated:	Non Illuminated
Comments:	**Note: New standard verbiage has been updated from "Drive-up" to "Drive-thru". Match copy shown in the proposed layout** Refer to VSD in Documentation for details.		
Restoration Notes:	Field verification is required for all ground signs to ensure that the recommended sign will fit in the recommended location, taking into account all set-backs, obstructions, underground utilities, etc. If a problem is detected by the field verification, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing. Remove, dispose and cap off to code all existing electrical components / hardware previously connected to existing signage. Restore ground material to base of new sign. Reference the Wayfinding Guide for standard approved copy heights, layouts, and specifications and be sure to match the visual appearance shown in the proposed image layout.		

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Existing Photo



Proposed Photo



Copy layout, card reader decal and security camera vinyl shown are examples only. Confirm existing site conditions and refer to Entrance Graphics Package for standards and requirements.

Existing

Asset Zone:	Sign
Asset Type:	
Sign Number:	EXT-015
Existing Sign Type:	
Face Material:	
Graphics Material:	
Overall Height:	
Face Height:	
Face Width:	
Illuminated:	
Electrical:	
Wall Material:	
Sign Comment:	

Proposed

Asset Type:		Overall Height:	
Sign Number:	EXT-015	Overall Width:	
Sign Type:	V1ng	Logo Height:	
Description:	Door Vinyl	Letter Height:	
Action:	Remove and Replace	Illuminated:	Non Illuminated
Comments:			
Restoration Notes:	Verify location hours/copy prior to fabrication. TO BE PROVIDED BY BANK OF AMERICA. Clean glass of all materials and residue.		

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Exterior Site Plan

GA7-912-FC Monroe 2020 W Spring St; Monroe, GA 30655-3164 United States



1 Bank of America

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