



Council Meeting

AGENDA

Tuesday, October 10, 2023

6:00 PM

City Hall

I. CALL TO ORDER

1. Invocation
2. Roll Call
3. Approval of Agenda
4. Approval of Consent Agenda
 - a. September 12, 2023 Council Minutes
 - b. September 12, 2023 Executive Session Minutes
 - c. August 15, 2023 Planning Commission Minutes
 - d. August 22, 2023 Historic Preservation Commission Minutes
 - e. July 13, 2023 Downtown Development Authority Minutes
 - f. July 24, 2023 Downtown Development Authority Minutes
 - g. August 10, 2023 Downtown Development Authority Minutes
 - h. July 13, 2023 Conventions and Visitors Bureau Minutes
 - i. August 10, 2023 Conventions and Visitors Bureau Minutes

II. PUBLIC FORUM

1. Public Comment(s)

III. BUSINESS ITEMS

- 1. **City Administrator Update**
- 2. **Assistant City Administrator Update**
- 3. **Department Requests**
 - a. **Finance:** MEAG Municipal Competitive Trust Funds
 - b. **Utilities:** Bid Award for Natural Gas Bypass Relocation
 - c. **Utilities:** Purchase of Material Handling Truck

IV. NEW BUSINESS

- 1. **Public Hearing(s)**
 - a. Rezone - 635 James Huff Road
 - b. Conditional Use - 839 Overlook Trail
 - c. Development Regulations Text Amendment #7
- 2. **New Business**
 - a. Resolution - Street Name Change - Day Street to Malcom-Day Street
 - b. Application - Spirituous Liquors and Beer & Wine On-Premise Consumption - The Factory at Walton Mill
 - c. Application - Wine Shop - The Loft
 - d. Rezone - 635 James Huff Road
 - e. Conditional Use - 839 Overlook Trail
 - f. Preliminary Plat - Hambrick Station
 - g. REBC Grant Program
 - h. 1st Reading - Development Regulations Text Amendment #7

V. DISTRICT ITEMS

- 1. **District Items**
- 2. **Mayoral Update**

VI. ADJOURN

VII. DEPARTMENT REPORTS & INFORMATION

- 1. **Monthly Central Services Report**
- 2. **Monthly Code Report**
- 3. **Monthly Economic Development Report**

- 4. Monthly Finance Report**
- 5. Monthly Fire Report**
- 6. Monthly Police Report**
- 7. Monthly Solid Waste Report**
- 8. Monthly Streets & Transportation Report**
- 9. Monthly Telecom Report**
- 10. Monthly Water, Sewer, Gas & Electric Report**

The Mayor and Council met for their regular meeting.

Those Present:	John Howard	Mayor
	Larry Bradley	Vice-Mayor
	Lee Malcom	Council Member
	Myoshia Crawford	Council Member
	Charles Boyce	Council Member
	Norman Garrett	Council Member
	Tyler Gregory	Council Member
	Nathan Little	Council Member
	David Dickinson	Council Member
	Logan Propes	City Administrator
	Beverly Harrison	Interim City Clerk
	Paul Rosenthal	City Attorney
	Russell Preston	City Attorney

Staff Present: Danny Smith, R.V. Watts, Andrew Dykes, Beth Thompson, Rodney Middlebrooks, Mike McGuire, Chris Bailey, Brad Callender, Kaitlyn Stubbs, Les Russell

Visitors: Ricky Emerick, Greg Hecht, Robin Peters, Clayton Mathias, Shauna Mathias, Donald Huff, Donna Buckner, Crysti Blaylock, Tami Burt, Julie Sams, Chad Locklear, Hamid Zaveri, Joe Grizzle, Molly Masselli, Greg Thompson, Melanie Lattimore, Chad Draper,

I. CALL TO ORDER – JOHN HOWARD

1. Invocation

Pastor Tommy Fountain, with 1025 Church, gave the invocation.

2. Roll Call

Mayor Howard noted that all Council Members were present. There was a quorum.

3. Approval of Agenda

To approve the agenda as presented.

*Motion by Malcom, seconded by Little.
Passed Unanimously*

4. Approval of Consent Agenda

- a. August 8, 2023 Council Minutes
- b. August 24, 2023 Council Minutes
- c. July 18, 2023 Planning Commission Minutes
- d. July 25, 2023 Historic Preservation Commission Minutes

To approve the consent agenda as presented.

*Motion by Crawford, seconded by Boyce.
Passed Unanimously*

II. PUBLIC FORUM**1. Public Presentations****a. Citizen Recognition**

Assistant Chief Craig League, with Walton County Fire Rescue, thanked Walton County EMS and Walton County Dispatch for helping to make this happen. Assistant Chief League, Lieutenant John Webster with Walton County Fire Rescue, Chief Andrew Dykes with Monroe Fire Department, Battalion Chief Mike Towe with Monroe Fire Department, Chief R.V. Watts with Monroe Police Department, and Lieutenant Matt Dembowski with Monroe Police Department presented Ms. Molly Masselli with the Citizen Life Saving Award for her heroic actions. Lt. Dembowski explained on March 15, 2023 at The Bridge of Georgia School Ms. Masselli created a modified tourniquet for Mr. Euladee Stowers, who had cut himself on his lower leg. The modified pressure dressing kept direct pressure on the wound to stop the bleed, which saved Mr. Stowers leg and ultimately his life. She had the intestinal fortitude, knowledge, and leadership skills in that fatal moment that proved the difference between life and death.

Ms. Masselli gave the credit the Monroe Police Department, Monroe Fire Department, and Walton County Fire Rescue for the skills she learned during the Active Shooter and Stop the Bleed Course that she attended. That is where she learned the skills that she needed to be able to handle the situation. She stated her appreciation of having a lot of family and friends that love and care about her.

No Action.

2. Public Comments

Mr. Ricky Emerick, of 715 James Huff Road, spoke concerning a subdivision being built behind his house. He wanted to know if a subdivision has been confirmed for the area between James Huff Road and Old Athens Highway, because no one has notified them.

III. BUSINESS ITEMS**1. City Administrator Update**

City Administrator Logan Propes stated staff will be working on the budget this month, and the Budget Meeting will be in October. He congratulated Mr. Rodney Middlebrooks for getting the Wastewater Treatment Plant 99.9% finished. He congratulated Mr. Chris Bailey for receiving his American Public Works Association Certification. The Town Green is currently going through the punch list items. They are working on touching up some concrete, the Wi-Fi system, and park cameras. There will be some last-minute system tests before being opened to the public. Hopefully, it will be opened by Fall Fest.

Vice-Mayor Larry Bradley questioned whether the restrooms will be open all of the time.

Mr. Propes answered in the beginning the restrooms will only be open during event times; a scheduling system for cleaning and maintenance will have to be worked out.

2. Assistant City Administrator Update

Assistant City Administrator Chris Bailey stated the Terminal Building has been completed and is currently being furnished. It will be open for public viewing on October 22 at the Fall Festival being held at the Airport. He stated that is not to be confused with the Fall Festival on October

14 that is held in Downtown. They are working with the State on additional funding for hangars, because they have decided there is an overwhelming waiting list for hangar space. He discussed the sink holes located behind the library and on North Madison. There has been over 10,000 feet of sidewalk rehabilitation done over the last three years. Patching is being done on East Marable this week. He stated the City finally has a sweeper, which will save on that contract fee. A Traffic Study is being done on Atha Street. He thanked Ms. Beth Thompson for all of her help and hard work. The Monroe Walton Center for the Arts won an \$8,000 Grant for the park beside their building. He clarified that Fall Fest will be Downtown on October 14 and Fall Fest at the Airport will be on Sunday, October 22. He thanked Chief Watts and the Police Department for handling the unusual issues at City Hall the last couple of weeks.

IV. NEW BUSINESS

1. Public Hearings

a. Traffic Pattern Change

City Administrator Logan Propes discussed traffic pattern changes for Milledge Avenue, Colley Street, and Bell Street between Davis Street and East Church Street. The City has previously amended the traffic patterns to make all three streets one way. Now that the majority of the homes have been constructed in the area, in addition to a great deal of utility work, and on general observation of traffic patterns, it is recommended that the existing traffic patterns be amended as follows: leave Milledge Avenue that is 15 feet wide as one-way southbound from Church Street to Davis Street, change Colley Street that is 20 feet wide back to a two-way street, and change Bell Street that is 11 feet wide to one-way northbound from Davis Street to Church Street.

The Mayor declared the meeting open for the purpose of public input.

There were no public comments; Mayor Howard declared that portion of the meeting closed.

No Action.

b. Southview Drive Cul-de-sac

City Administrator Logan Propes discussed the closure of direct access of Southview Drive to US Highway 78. The Walton County Board of Commissioners wants to create a new Public Safety access road that would link Baker Street to US Highway 78, but not utilize Southview Drive. This would keep the Public Safety and general traffic out of that neighborhood; it would go behind the existing Southview Drive. This would necessitate a cul-de-sac at the end of Southview Drive. Walton County has requested for the City to authorize the traffic pattern change and cul-de-sac at Southview. The County will be responsible for the construction.

The Mayor declared the meeting open for the purpose of public input.

There were no other public comments; Mayor Howard declared that portion of the meeting closed.

No Action.

c. Request for 4-Way at South Madison Avenue & Vine Street

City Administrator Logan Propes explained Walton County Public Works utilizes the intersection of South Madison Avenue and Vine Street with many commercial vehicles; they are

requesting that this intersection be upgraded to a 4-way stop. There has been an increased frequency of accidents as well as near misses at this location. Some of the possible contributing factors that have been witnessed at this intersection are due to the increased traffic volume, speeding, and limited site distance.

The Mayor declared the meeting open for the purpose of public input.

There were no other public comments; Mayor Howard declared that portion of the meeting closed.

No Action.

2. New Business

a. Application – Beer & Wine Package Sales – 1312 Monroe LLC
To approve the application.

*Motion by Garrett, seconded by Crawford.
Passed Unanimously.*

b. Preliminary Plat – Vines of Monroe
Mr. Brad Callender presented the request for approval of the Preliminary Plat for 455 Vine Street to allow for the development of 220 single-family residential lots on 101 acres. The applicant is requesting approval of a Preliminary Plat to renew a Preliminary Plat that was previously approved on January 12, 2021 that expired. This Preliminary Plat is the same in all respects as the one previously approved. The Planning Commission recommended approval of the Preliminary Plat without corrections.

To approve the Preliminary Plat, without corrections.

*Motion by Bradley, seconded by Dickinson.
Passed Unanimously.*

c. Approval – Traffic Pattern Change
To approve existing traffic patterns be amended as follows: leave Milledge Avenue one-way southbound from Church Street to Davis Street, change Colley Street back to a two-way street, and change Bell Street to one-way northbound from Davis Street to Church Street.

*Motion by Dickinson, seconded by Bradley.
Passed Unanimously.*

d. Approval – Southview Drive Cul-de-sac
City Administrator Logan Propes stated the map that Mr. Dickinson had requested is included in the information packet.

Council Member David Dickinson stated he has had several meetings with citizens that live in the subdivision, and there was only one person that expressed reservations.

Vice-Mayor Larry Bradley questioned whether there would be a traffic light at the intersection. He stated they really liked the idea of a traffic light and were happy to see it.

Mr. Propes answered their original intent was to have a traffic signal, but GDOT did not like that plan due to the limited sight distance coming off of the onramps.

Mr. Bradley requested that the burned-out street lights on Highway 78 be replaced during the process. He questioned whether the new road will be opened before Southview will be closed.

Mr. Propes explained they will start with a temporary construction road. As construction of the Public Safety Complex starts all of that traffic will go straight off of Highway 78 to the County property; it will not affect Southview. It will remain the same, until the Public Safety access road is a hundred percent complete and asphalted.

To proceed with the agreement with Walton County for construction and realignment of Southview Drive as presented. Mr. Dickinson clarified if the County does not move forward, he will again be making a motion for the City to close the street without assistance from the County, because it is the consensus of the neighborhood that the street needs to be closed.

*Motion by Dickinson, seconded by Gregory.
Passed Unanimously.*

e. Approval – 4-Way at South Madison Avenue & Vine Street

To approve for the intersection of South Madison Avenue and Vine Street to be upgraded to a 4-way stop.

*Motion by Gregory, seconded by Dickinson.
Passed Unanimously.*

f. 2nd Reading – Zoning Ordinance Code Text Amendment #17

Council waived the second reading of the Ordinance.

To adopt the Zoning Ordinance Code Text Amendment #17.

*Motion by Gregory, seconded by Malcom.
Passed Unanimously.*

g. 2nd Reading – Alcoholic Beverage Ordinance Amendment

Vice-Mayor Larry Bradley questioned whether there is a requirement included in the Ordinance that kitchens must stay open until the last pouring time.

City Attorney Paul Rosenthal answered that is information is included.

Mr. Bradley questioned who enforces it.

Mr. Rosenthal explained that it is an Ordinance for the City of Monroe; City Marshals, Code Office, and sworn Officers have the authority to enforce the City Ordinances.

Council waived the second reading of the Ordinance.

To adopt the Alcoholic Beverage Ordinance Amendment.

*Motion by Dickinson, seconded by Crawford.
Passed Unanimously.*

**h. Resolution – GEFA Drinking Water State Revolving Fund Loan DW2021017
Amendment**

Finance Director Beth Thompson explained Council originally approved the Georgia Environmental Finance Authority (GEFA) Drinking Water State Revolving Fund loan documents in March of 2022. GEFA is requiring the change because the engineers extended the project completion date. The project completion date was originally January 2024, and it is being extended to August 2025, which is the only change being made.

To adopt the Resolution.

*Motion by Gregory, seconded by Little.
Passed Unanimously.*

**i. Appointment – Downtown Development Authority & Convention & Visitors Bureau
Authority & Urban Redevelopment Agency**

To appoint Clayton Mathias to fill the unexpired term of Wesley Sisk, to expire December 31, 2023.

*Motion by Bradley, seconded by Gregory.
Passed Unanimously.*

j. Approval – Indigent Defense Representation Agreement

City Administrator Logan Propes recommended approval of the Agreement with Wosnik Law for Indigent Defense Representation in the City of Monroe Municipal Court. There is a slight increase of \$12,000.00. Approval needs to be contingent upon Fiscal Year 2024 appropriations.

To approve the Agreement for Indigent Defense Representation with Wosnik Law, LLC, contingent upon Fiscal Year 2024 appropriations.

*Motion by Bradley, seconded by Dickinson.
Passed Unanimously.*

V. DISTRICT ITEMS

1. District Items

Council Member Tyler Gregory thanked all the City crews for their hard work.

2. Mayoral Update

Mayor John Howard stated Council Member David Dickinson will be retiring from practicing law by June 30, 2024. Dino Day will be on Saturday from 11:00 to 3:00. Monroe Walton Center for the Arts needs extra classroom space if anyone knows of a place. He discussed the Affordable Housing Meeting, LIHTC, and encouraging home ownership for lower cost housing. Fall Fest will be on October 14.

VI. EXECUTIVE SESSION

*Motion by Malcom, seconded by Gregory.
Passed Unanimously.*

RETURN TO REGULAR SESSION

To roll the stipend for Rodney Middlebrooks into his permanent salary as of October 1, 2023.

*Motion by Malcom, seconded by Dickinson.
Passed Unanimously.*

To give Logan Propes a five percent increase starting January 1, 2024.

*Motion by Malcom, seconded by Dickinson.
Passed Unanimously.*

VII. ADJOURN

*Motion by Bradley, seconded by Malcom.
Passed Unanimously.*

MAYOR

INTERIM CITY CLERK

The Mayor and Council met for an Executive Session.

Those Present:	John Howard	Mayor
	Larry Bradley	Vice-Mayor
	Lee Malcom	Council Member
	Myoshia Crawford	Council Member
	Charles Boyce, IV	Council Member
	Norman Garrett	Council Member
	Tyler Gregory	Council Member
	Nathan Little	Council Member
	David Dickinson	Council Member
	Logan Propes	City Administrator
	Paul Rosenthal	City Attorney
	Russell Preston	City Attorney

Staff Present:

I. Call to Order – John Howard

1. Roll Call

Mayor Howard noted that all Council Members were present. There was a quorum.

II. Personnel Issue (s)

1. Personnel Matter

Personnel matters were discussed, including attorney-client discussions.

To roll the stipend for Rodney Middlebrooks into his permanent salary as of October 1, 2023.

*Motion by Malcom, seconded by Dickinson.
Passed Unanimously.*

To give Logan Propes a five percent increase starting January 1, 2024.

*Motion by Malcom, seconded by Dickinson.
Passed Unanimously.*

III. Adjourn to Regular Session

*Motion by Bradley, seconded by Malcom.
Passed Unanimously.*

**MONROE PLANNING COMMISSION
MEETING MINUTES—August 15, 2023**

Present: Shauna Mathias, Randy Camp, Rosalind Parks

Absent: Mike Eckles, Nate Treadaway

Staff: Brad Callender—City Planner
Laura Wilson—Code Assistant

Visitors: Timothy Kemp, Connie Bentley, Harvey Lawson, Akil Lawson, Gertha Lawson, John Raines, Teresa Raines, Laura Campbell, Amy Pieroni, Chad Locklear, No Tutus-Witler, Patrick Witler, Ray Bostwick, Janice Baldwin

Call to Order by Chairman Eckles at 5:30 pm.

Motion to Approve the Agenda

Motion Parks. Second Mathias.
Motion carried

Chairman Camp asked for any changes, corrections or additions to the July 18, 2023 minutes.
Motion to approve

Motion Mathias. Second Parks
Motion carried

Chairman Eckles asked for the Code Officer’s Report: None

Old Business: None

The First Item of Business is Certificate of Appropriateness Case #2557, a request to modify the existing site at 703 W. Spring St. to allow for additional accessory uses and features. The applicant proposes to reduce parking to accommodate a shaded outdoor platform for outdoor sales, a propane tank, pallet rack storage, pine straw storage, and an enclosed storage area. The existing parking will be reduced from 69 to 45 spaces to accommodate the additional accessory and outdoor features. The metal storage container under the former drive thru will be screened as described in the application. Staff recommends approval as submitted. John Raines spoke in favor of the project.

Chairman Camp: Anyone else here to speak in opposition? None

Motion to approved

Motion Mathias. Second Parks.
Motion Carried

The Second Item of Business is Conditional Use Permit #2558; a request to convert an existing single-family residence into a Family Personal Care Home at 313 Ash St. Per the Zoning Ordinance, a Family Personal Care Home is conducted in a residential setting and provides care for two through six persons. 313 Ash St. is currently zoned R-1A. The property shares a driveway with 311 Ash St. Due to the shared driveway, there is a maximum potential for only two cars to be parked at each property. Lack of available parking in the driveway could potentially negatively impact neighborhood traffic and adjacent properties through overflow parking occurring on Ash St. Staff recommends denial of the request. The applicant and property owner Nikeisha Titus Witter and Patrick Witter spoke in favor of the request.

N. Witter indicated they will add a second driveway on the other side of the house in alleviate any concerns with inadequate parking.

Callendar: By the City’s Code of Ordinances, parking is not permitted in front of a residence. Also, this house touches the property line on the right side so it would be impossible to construct a driveway on this side of the house. It might be best to withdraw the application until you can reach an agreement with the property owner at 311 Ash St. If City Council denies the application, it will be a year before you can apply again.

The applicant withdrew the application.

The Third Item of Business is Rezone request #2559 for Madison Ridge Subdivision located at 635 James Huff Rd. The request is to change from R-1A (Medium Lot Residential) to PRD (Planned Residential District). The property was annexed into the City in 2006 and zoned R-1A at that time. The basis of the request is to comply with Section 820 of the Zoning Ordinance requiring all new single-family residential development be rezoned to a planned district. The applicant proposes to develop the site with 129 lots and an amenity area. A second entrance has been added off of Old Athens Hwy to comply with current regulations. The applicant proposes to meet the minimum requirements for housing as regulated in Section 910 of the Zoning Ordinance. Staff recommends approval with conditions. Taylor Anderson spoke on behalf of the applicants; they are in agreement with staff’s recommendation and accept the conditions listed in the staff report.

Commissioner Mathias: What are the prices of the homes?

Anderson: In the 4s (\$400,000s)

Commissioner Parks: Square footage of each? Of the smallest house?

Anderson: It would be in compliance with the PRD standards under R-1A so 1500 sq ft

Chairman Camp: Anyone else here to speak in opposition? Yes—please come forward

- 1. Janice Baldwin—585 James Huff Rd
 - a. Our biggest concern is what are they going to do with the creek that runs along the back and about the southern border—would like to see a buffer
 - i. Callendar: The applicant is proposing to mitigate the bond and floodplain along the southern border

- b. We would like to see a buffer as well; the pond is a spring fed pond. It’s not just a wet weather pond. It’s always filled with water.
 - i. Callender: If that is the case, then a bunch of environmental restrictions will kick in and the development may lose 7 or 8 lots in that area of the development; development is not permitted in the city around a spring; we will research that further;
 - ii. Response from developer, William Coleman—the property has been through an environmental test and wetlands test; there are no wetlands in the property along the southern border
 - iii. Callender: You do have a wetlands permit to remove that pond
 - iv. Coleman: Yes we do, because it was dry
- 2. Connie Bentley—1358 Old Athens Highway
 - a. The original rezone was a mix of ranch and two story with a minimum size of 1800 and 2000 square feet. Each house would have a two-car garage and the development density was 2.65. The current proposal has a minimum house size of 1500 sq ft, a density of 4, and no mention of garages.
 - b. The current proposal also does not meet City Ordinances (no traffic study); lots of traffic already on James Huff Rd
 - c. Fire & Police response times will be longer
- 3. Amy Pieroni—1400 Old Athens Highway
 - a. A large tree (8 feet in diameter or larger) on property—please preserve the tree
- 4. Tim Kemp—946 James Huff Rd
 - a. As cited in Cemeteries of Walton County, potential unmarked cemetery on property with potential slave graves
 - b. Restated terrible traffic; has requested a traffic study from Walton County
 - i. Chairman Camp: Is the cemetery you described on the property or adjacent to it? It’s on the property
 - c. Would like to see this tabled

Applicant Response by William Coleman—no cemetery identified on surveys; asking for just as many houses as in 2006; the made changes to the approval process so this is not rezone—just complying with City’s policies

Motion to table to verify the spring and cemetery; applicant to provide information to staff prior next Planning Commission meeting

Motion Mathias. Second Parks
 Motion carried

The Fourth Item of Business is Preliminary Plat approval request #2560, for The Vines of Monroe Subdivision located at 455 Vine St. Development of the site has started. It needs reapproval because the preliminary plat and land disturbance permit have expired. The project was originally approved in 2021. Staff recommends approval without conditions. The applicant, Chad Locklear spoke in favor of the project.

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve

Motion Mathias. Second Parks
Motion carried

Chairman Eckles entertained a motion to adjourn.

Motion to adjourn

Motion Mathias. Second Parks
Meeting adjourned; 6:13pm

Historic Preservation Commission
Meeting Minutes
Regular Meeting—August 22, 2023

Present: Fay Brassie, Laura Powell, Elizabeth Jones, Marc Hammes, Jane Camp

Absent: None

Staff: Brad Callender, City Planner
Laura Wilson, Code Admin

Visitors: Chuck Bradley, Lori Volk, Bruce Henley, Steve & Susan Brown, Lauren & Tyler Gregory, and
Crystal Tollison

Meeting called to order at 6:00 P.M.

Motion to approve as submitted

Motion Hammes. Second Camp
Motion carried

Chairman Jones asked if there were any changes or corrections to the previous months' minutes.
To approve as submitted.

Motion by Hammes, Second by Powell
Motion carried.

Old Business: None

New Business:

The First Item of New Business: Request for COA #2601, a request for exterior signage at 127 N. Lumpkin St. The applicant and owner Chris Collin is proposing to add a painted sign on the building for High Voltage Wings. The proposed sign is 38 sq feet and will be lit with uplighting. When the building was purchased, the kitchen was placed in the middle of the building to allow for a restaurant in the front and back of the building. The idea behind a painted sign was to give the building a timeless look.

Commissioner Brassie: Will you be continuing the arrow around the building or having signage at that end (near the entrance to the restaurant)?

Collin: There is a glass door down there with the logo on it and people have been finding it. We looked at other signage but we did not want to make the building look like convenience store.

Motion to approve

Motion by Brassie, Second by Camp
Motion carried

The Second Item of New Business Request for COA #2602, a request for a rear fence and accessory dwelling modifications at 405 Knight St. The applicant and owner, Greg Davis spoke in favor of the request. The fence will be a Kentucky style fence with 4x4 posts every eight feet that is painted white. The fence will go in the mowed area of the back lawn (about 2/3 of the property). The fence will connect to the existing neighbor's chained link fence. The shed in the back will be painted and get a new roof to match the house.

Commissioner Brassie: The rural character of the fence style is in keeping with the area of your house. If you were one street up it would not match the character of the neighborhood.

Motion to approve

Motion by Hammes, Second by Powell
Motion carried.

The Third Item of New Business: Request for COA #2603, a request for exterior changes to modify an existing dormer at 707 S. Madison Ave. The owners and applicant, Lori Volk and Bruce Henley spoke in favor of the project. The applicants previously appeared before the Historic Preservation Commission to get approval to make changes to the dwelling. The problem is that the dormer that was constructed is proportionally too small for the rest of the structure. To fix the problem, the applicant is proposing to increase the dormer to the left and right as well as add additional windows.

Note: At the meeting Volk passed out a photo of a dormer with three windows with Bermuda shades.

Commissioner Brassie: You cannot make the windows any larger?

Volk: No, they should not be any longer because of privacy; it is a bathroom. The shutters take up more space of the front of the dormer to give the illusion of larger windows. Discussion followed about how to create balance in the dormer and an illusion of a larger window.

Henley: Either side of the dormer has already been trimmed out; that area will be faux and not go into the house. Larger windows have been framed out on their side of the central dormer.

Commissioner Hammes: The windows on either side will be the real windows and the one in the middle would be fake and all three windows would be the same size.

Volk: Yes

Wilson: You are just going to add exterior trim to the house; not cut into the siding?

Henley: Long pieces of siding will go across all three dormers to create cohesion and the windows will be trimmed out the same way. We are going to make it look like a window, just need to figure out the right colors.

Motion to approve as presented—to increase the size of the dormer and make all three windows appear to be the same size

Motion by Camp, Second by Powell
Motion carried

The Fourth Item of New Business Request for COA #2604, a request for a rear deck at 137 4th St. The applicant and owner Tyler Gregory spoke in favor of the request. The current deck is not to code and falling apart. The applicant would like to keep the deck in the same place, just make it larger. The deck will be constructed of wood and painted to match the house; the pickets and railings will be white to match the front of the house. Decking will be added under the deck to create storage.

Commissioner Brassie: For safety, you might want to consider wrapping the staircase around the deck so it does not stick out so far into the yard.

Motion to approve

Motion by Hammes, Second by Camp
Motion carried.

The Fifth Item of New Business Request for COA #2605, a request for exterior changes at 116 E. Highland Ave. Steve Brown was present to speak for the applicant and owner, Kim Mulkey-Smith. With confirmation from Callender, the application was withdrawn because the property is not located inside a historic district or a registered historic individual landmark. The property is simply listed as “other local resources” in the Monroe Preservation Primer.

Motion to adjourn

Motion by Brassie, Second by Hammes
Motion carried

Adjourned at 6:54 pm

**CITY OF MONROE
DOWNTOWN DEVELOPMENT AUTHORITY
JULY 13, 2023 – 8:00 A.M.**

The Downtown Development Authority met for their regular meeting.

Those Present:	Lisa Reynolds Anderson Meredith Malcom Andrea Gray Whit Holder Wesley Sisk Myoshia Crawford	Chairman Vice-Chairman Secretary Board Member Board Member City Council Representative
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Those Absent:	Chris Collin	Board Member
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Staff Present:	Leigh Ann Aldridge, Logan Propes, Beverly Harrison, Chris Bailey, Sara Shropshire, Les Russell, Dwayne Day
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Visitors:

I. CALL TO ORDER

1. Roll Call

Chairman Anderson noted that all Committee Members were present except Chris Collin. There was a quorum.

2. Approval of Previous Meeting Minutes

a. May 11, 2023 Minutes

To approve the minutes as presented.

*Motion by M. Malcom, seconded by Holder.
Passed Unanimously*

b. June 8, 2023 Minutes

To approve the minutes as presented.

*Motion by M. Malcom, seconded by Gray.
Passed Unanimously*

3. Approval of Financial Statements

a. April Financials

The Committee and Mr. Propes discussed some of the line items and amounts on the report.

To approve the April 2023 Financials.

*Motion by M. Malcom, seconded by Holder.
Passed Unanimously*

b. May Financials

The Committee, Mr. Propes, and Ms. Aldridge discussed DDA Revenue versus City Revenue.

City Administrator Logan Propes explained the events are funded from the City General Fund. He will verify the amounts but believes it all washes out in the end.

Ms. Leigh Ann Aldridge stated the Car Show is probably the only event that makes money.

Committee Member Meredith Malcom stated it is a little unclear with the funds going back and forth. She discussed tracking money for events. The DDA needs to make sure they are raising enough funds for the events, even though the City will support the shortfall.

Ms. Aldridge stated the concerts will be cheaper once they start being held at the Town Green, because there will be less staff needed for road closures, and there will not be a cost for renting the stage.

To approve the May 2023 Financials.

*Motion by Holder, seconded by Sisk.
Passed Unanimously*

II. PUBLIC FORUM

There were no public comments.

III. CITY UPDATE

City Administrator Logan Propes stated the renovations on the old Police Department Building have started. Ten percent of the sale goes to DDA and 90% transfers back to the City. The City has entered a contract with Arnold Properties for the Davis Street and Madison Avenue area; they are working through the due diligence process now and should be closing by the end of the year.

The Committee and Mr. Propes discussed tearing down some properties and other various options.

Mr. Propes stated the Bypass Project is underway with E.R. Snell. The first reading of the Alcohol Ordinance will be at the meeting on Monday, and the second reading will be done in August. There are not any expansions of districts at this time, but some different nodes could possibly be created later.

The Committee, Mr. Propes, and Ms. Aldridge further discussed the Alcohol Ordinance, the possible future expansion to the Mills, and creating nodes.

Ms. Leigh Ann Aldridge and Mr. Propes discussed the Downtown Wi-Fi Project being underway.

IV. COUNTY UPDATE

There was no update from the County.

V. COMMUNITY WORK PLAN & REPORTS

1. Downtown Design

Ms. Leigh Ann Aldridge stated the Boy Scouts are going to be painting the chairs that are out in front of City Hall.

2. Redevelopment Projects

The Committee, Mr. Propes, and Mr. Bailey discussed the next steps for the property where Gwinnett Appliance is located; they are in the process of moving out of the building.

Mr. Propes stated he would send the Committee a copy of the parking study done for the lot.

Committee Member Andrea Gray stated she wanted to make sure parking is added to the agenda for the retreat.

The Committee and Mr. Propes discussed the parking in Braselton.

Mr. Propes explained Braselton was able to use SPLOST Funds towards their parking deck.

3. Entertainment Draws

The Committee discussed the fireworks, concerts, Fall Fest, and the Christmas Parade.

Mr. Chris Bailey, Mr. Dwayne Day, Ms. Leigh Ann Aldridge, and the Committee discussed the turtle program, replacing some of the decals, and people taking the turtles.

VI. PROGRAMS

1. Farmers Market

Chairman Anderson stated the market is beginning to get more produce in.

Ms. Leigh Ann Aldridge stated the market has been staying packed; there have been around 2,000 people every Saturday.

The Committee and Ms. Aldridge discussed the vendor fees.

VII. FUNDING

1. Sponsorship

a. 2023 Sponsorship Update

Ms. Leigh Ann Aldridge stated there are \$68,000 in sponsorships committed so far.

The Committee discussed sponsorship funds in detail. They will work on the Sponsorship Brochure at the Retreat so it can be sent out in the Fall.

2. Façade Grants

There were no façade grants.

3. Community Event Grants

There were no community event grants.

VIII. NEW BUSINESS

Ms. Leigh Ann Aldridge stated that Sweetberry Bowls will be opening next week. She discussed the Business Owners Meeting. The Disc Syndicate is a new business that opened inside of Coffee Camper, where Elevate was located. She discussed the possibility that Bellamie might be closing, because the air conditioner has stopped working and the property owner will not replace the unit.

Committee Member Andrea Gray stated the air conditioning issue is a legal problem that should be covered in the lease agreement. They should file a complaint in the Superior Court. If nothing else, it will get the attention of the building owner.

Ms. Aldridge stated the roofing company located inside of the old City Hall building will not be renewing their lease. The Museum has expressed interest in the space. She will check with the Museum and let them know that they will have to pay rent for the space.

Chairman Anderson explained Sarah Johnson, Chris Bailey, and herself interviewed four applicants for the vacant board seat. They are recommending Brittany Palazzo; she will fill the unexpired term of Ross Bradley, which will expire in 2024.

IX. ANNOUNCEMENTS

- 1. Georgia Downtown Conference August 21 – 25, 2023 – Canton**
- 2. DDA Board Retreat – July 24, 2023 from 8:00 am to 5:00 pm – Synovus Bank**
- 3. Next Meeting – August 10, 2023 at 8:00 at City Hall**

X. ADJOURN

*Motion by M. Malcom, seconded by Sisk.
Passed Unanimously*

**CITY OF MONROE
DOWNTOWN DEVELOPMENT AUTHORITY
ANNUAL PLANNING RETREAT
JULY 24, 2023 – 8:00 A.M.**

**Synovus Bank
104 East Washington Street
Monroe, Ga**

The Downtown Development Authority met for their Annual Planning Retreat.

Those Present:	Lisa Reynolds Anderson Meredith Malcom Andrea Gray Whit Holder Brittany Palazzo Chris Collins Myoshia Crawford Lee Malcom	Chairman Vice-Chairman Secretary Board Member Board Member Board Member City Council Representative City Council Representative
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Those Absent:	Wesley Sisk	Board Member
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Staff Present:	Leigh Ann Aldridge, Logan Propes, Beverly Harrison, Chris Bailey, Les Russell
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Visitors:

I. REVIEW OF 2022 – 2023

The Committee and Ms. Aldridge discussed the Community Work Plan Review Form to be updated for 2023 – 2024.

II. WORKPLAN REVIEW

1. Mission Statement

The Committee and Ms. Aldridge discussed the Mission Statement.

The consensus was for the Mission Statement to remain the same.

2. Vision Statement

The Committee and Ms. Aldridge discussed the Vision Statement.

The consensus was for the Vision Statement to remain the same.

3. Strategies

The Committee and Ms. Aldridge discussed Strategy updates and changes.

The consensus for Strategy #1 was to update the objective to include the initiation of a parking campaign. The project task changes included working with the Carl Vinson Institute for a branding campaign for parking, continue communicating with businesses concerning employee parking, continue the increase of foot patrol in downtown with the use of the new golf cart, add the enforcement of two-hour parking, add better signage to identify lots, and continue research for paid parking options along with the creation of a parking deck.

The consensus was to update the Transformation of Strategy #2 to include seeking more entertainment opportunities, while supporting current dining and retail to sustain a vibrant and thriving downtown. Change the objective to acquiring property adjacent to City property that will be vital for future redevelopment and to add parking, with specific focus around the Town Green. Additions to the project tasks include demolishing the building and getting a design plan from Keck & Wood for the Wayne Street property. The façade grant program will be enhanced and the amount will be increased.

The consensus for Strategy #3 was to update the Transformation to include establishing a culture of enjoying downtown. The task changes include adding Instagram spots around downtown, rebranding the Farmers Market to include artisans, and partnering with the Museum for the Historic Building Virtual Tour.

III. REBUILD WORKPLAN

1. Transformation Strategies

The Committee and Ms. Aldridge discussed Redevelopment Projects, Downtown Design, and Entertainment Draws in detail.

City Administrator Logan Propes explained the Wi-Fi mesh network is in progress for the downtown area.

The Committee discussed paid parking lots, two-hour free parking, and strict enforcement of signage. They discussed the possibility of educating business owners about employee parking when they get their business license.

Mr. Propes discussed funding parking enforcement at the Police Department, which would take at least two employees that are not officers. They could look at starting with limited scope enforcement with ticketing being done sporadically. He explained when Brown Oil gets moved it will clear about 20 spaces, but the County is going to use the orange lot for their parking.

The Committee, Mr. Propes, and Ms. Aldridge discussed getting the lots cleaned up to be more inviting, wayfinding for parking, and adding street names to the color-coded lots. They discussed getting CVIOG to add a walking campaign in with the parking campaign, and a future parking deck.

Mr. Propes stated he would discuss the possibility of a partnership for a parking deck with Walton County.

Committee Member Whit Holder discussed the possibility of purchasing a lot, which could be made into paid parking for a couple of years, and then a parking deck could be built on the lot at a later time.

Committee Member Chris Colling stated that the paid parking funds could be used in helping to fund a deck.

Ms. Aldridge suggested doing more research and to put a parking deck on the radar for the future.

Mr. Propes explained that Walton County has designated spaces for parking on Court Street and Spring Street that belong to the City. He recommended for the DDA to send a letter to the County about how they are taking available parking by moving their employees into downtown.

The Committee discussed details and benefits of getting a hotel in downtown.

Mr. Propes will continue to work further with the hotel.

The Committee, Mr. Propes, and Ms. Aldridge discussed continuing pursuit of key properties vital to DDA and how they would like to know about properties before they are sold to someone else. They discussed the events they currently hold such as the Friday Night Concerts, the Car Show, Fall Fest, Flower Festival, Chocolate Walk, Unicorn Day, Story Book Day, and Dinosaur Day. They discussed adding various popup events, rotating some of the events each year, and various ideas for having movie nights.

Mr. Propes explained there will be City only events at the Town Green for the first year; it will not be rented out, and the events will be kept small. He suggested keeping the movie nights as popup events. He discussed trying to stay away from huge events that take a lot of staff and money. He stated Savannah has several individuals to play music in different spots, which the City could do around the Town Green; they could wear a badge as their permit for being there.

The Committee discussed specifics of the Farmers Market in detail, changing the name of the market, and attracting more farmers.

Mr. Propes suggested waiving the fee for farmers.

Chairman Anderson will talk to Joe Chapman about getting the inmates to help with setting up the tents.

Ms. Aldridge will talk to Audrey Fuller about staying.

The Committee discussed murals and making alleyways into a place that people want to go to and take their pictures. They discussed setting a budget and identifying areas for picture options.

Mr. Chris Bailey and Ms. Aldridge discussed banner replacements.

2. Top Priorities for 2023

The Committee, Mr. Propes, and Ms. Aldridge discussed the top priorities and goals.

Chairman Anderson stated that parking has already been covered. She discussed the County selling the National Bank Building and the USDA Building.

The Committee, Mr. Propes, and Ms. Aldridge discussed private and public partnerships. They discussed redevelopment projects for 225 South Midland and 107 Milledge Avenue.

IV. OTHER ITEMS

1. Volunteer Program – Committees

The Committee, Mr. Propes, and Ms. Aldridge discussed having Volunteer Committees. Whit Holder and Andrea Gray will work on hotel, Chris Collin and Andrea Gray will work on parking, Meredith Malcom and Leigh Ann Aldridge will work on sponsorships, Brittany Palazzo and Leigh Ann Aldridge will work on marketing.

2. Boost Grants

The Committee discussed marketing grants. They decided boost grants were not something to pursue at this time. They discussed increasing the amount for façade grants and including other beautification options.

The consensus was to increase the total amount of allocation for the façade grant to \$15,000, with a maximum grant of \$2,500. Businesses have to put up a 50% match. The new amounts will start in January.

3. Sponsorship Campaign

The Committee reviewed sponsorships, marketing, and possible changes. They discussed the amounts and quantity of sponsors for different events.

Committee Member Meredith Malcom suggested having sponsors for pocket parks.

The Committee discussed changes and revamping the brochure to be brought back next month.

4. 2024 Events

The Committee and Ms. Aldridge discussed the possibility of changing some events from Court Street to Lumpkin Street and having popup events on the Town Green, which could include movie nights. The QR Code Project will be starting with thirteen properties for the virtual tours.

Ms. Aldridge discussed having a Monroe Volunteer Program, which could be a pool of volunteers that could be used for different things. The pool could be drawn from when needed and could connect people to their interests.

V. ADJOURN

**CITY OF MONROE
DOWNTOWN DEVELOPMENT AUTHORITY
AUGUST 10, 2023 – 8:00 A.M.**

The Downtown Development Authority met for their regular meeting.

Those Present:	Lisa Reynolds Anderson Meredith Malcom Andrea Gray Whit Holder Brittany Palazzo Chris Collins Lee Malcom	Chairman Vice-Chairman Secretary Board Member Board Member Board Member City Council Representative
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Staff Present: Leigh Ann Aldridge, Logan Propes, Beth Thompson, Beverly Harrison, Kaitlyn Stubbs, Les Russell, Dwayne Day

Visitors: Jeremy Banks

I. CALL TO ORDER

1. Roll Call

Chairman Anderson noted that all Committee Members were present. There was a quorum.

2. Approval of Previous Meeting Minutes

Ms. Leigh Ann Aldridge stated the minutes would be approved at the next meeting.

3. Approval of Financial Statements

a. June Financials

To approve the April 2023 Financials.

*Motion by Gray, seconded by Holder.
Passed Unanimously*

II. PUBLIC FORUM

There were no public comments.

III. CITY UPDATE

City Administrator Logan Propes stated the Alcohol Ordinance went through the first reading, but the last pour time still seems to be an issue.

The Committee, Mr. Propes, and Ms. Aldridge discussed the time, locations, and other cities.

Committee Member Chris Collin stated he does not know if the time is necessarily the problem or whether it is the behavior that is happening during that time. It would not be right to punish others for the actions of a few. The issue could possibly be solved with more policing.

Mr. Propes explained they have strengthened the language about serving food the entire time alcohol is being served. Pop-in inspections will need to be done. The Town Green is 99% done; the audio system is still being worked out. The splash pad will not open this year. The demo of the Milner Aycock building has started, and it looks good. They believe it will be done in about eight to nine months.

IV. COUNTY UPDATE

Ms. Leigh Ann Aldridge stated that Shane Short has indicated that the County will be selling the two buildings, but he does not have a date.

Council Member Lee Malcom arrived at 8:20 am.

V. COMMUNITY WORK PLAN & REPORTS

1. 2023-2024 Workplan Review

Ms. Leigh Ann Aldridge gave a brief update from the Retreat. She discussed moving forward with the Carl Vinson Institute on the parking campaign branding. She stated the Committee needs to set a budget amount for the murals and public art. She suggested involving local students in some of the art projects.

The Committee and Ms. Aldridge discussed different ideas and options for going forward with the murals and the murals being a partnership with the business owners.

Committee Member Chris Collin stated that he is hearing three different things: signage, murals, and Monroe propaganda. He stated he would like to see more murals, which the artist would design. The murals could double as Instagram opportunities.

Chairman Anderson questioned the next step in moving forward.

Ms. Aldridge stated they have located opportunities in several location.

Committee Member Brittany Palazzo discussed some of the possible art work.

Mr. Anderson questioned whether they could have some ideas by the next meeting.

Mr. Aldridge stated they would have some ideas, and she could get a cost after the design is done.

2. Downtown Design

Ms. Leigh Ann Aldridge discussed getting new brackets for some of the banners.

The Committee and Ms. Aldridge discussed the banners for the Town Green.

The Committee, Mr. Propes, and Ms. Aldridge discussed having a Christmas tree lighting at the Town Green, other Christmas decorations, the lights at Childers Park, and sponsorships.

3. Redevelopment Projects

The Committee, Mr. Propes, and Ms. Aldridge discussed the Gwinnett Appliance lot and DDA now paying interest on the loan.

Mr. Propes stated the City will cleanup the lot and gravel it for the time being. Council would have to vote, but he is not sure if the City has enough in SPLOST Funds. He stated the City is about to redo the rear parking lot at the Library.

The Committee and Mr. Propes discussed the Nowell Recreation Building and the possibility of trading something to the County for the building.

Chairman Anderson stated the DDA needs to get rid of some debt.

4. Entertainment Draws

Ms. Leigh Ann Aldridge stated the concert went great last week; there were about 6,000 people in attendance.

The Committee and Ms. Aldridge discussed the alcohol cups, policing the cups, and addressing any situations that may arise. They discussed specific changes for when the concerts start being held on the Town Green, the streets that should be used, the streets that should be closed, and where to put the food trucks.

VI. PROGRAMS

1. Farmers Market

Ms. Leigh Ann Aldridge stated the Farmers Market is going well and are averaging over 2,000 a weekend. A date has not been set for the Farm to Table Event yet.

The Committee and Ms. Aldridge discussed details for the event.

VII. FUNDING

1. Sponsorship

Ms. Leigh Ann Aldridge discussed the changes on the Brochure and event sponsorships and opportunities. The Car Show has been increased to four sponsorship opportunities for 2024.

Committee Member Andrea Gray suggested having sponsorship T-shirts for the Car Show.

Finance Director Beth Thompson stated the \$68,000 raised in Sponsorship Funds this year are about \$30,000 more than any of the prior years.

Committee Member Meredith Malcom stated that sponsorship for the Christmas Tree Lighting at the new Town Green could be added under the Christmas Parade.

Committee Member Brittany Palazzo suggested making the Christmas Tree Lighting Event into a mini concert.

The Committee and Ms. Aldridge discussed having the Tree Lighting and mini concert on the Saturday after Thanksgiving, at the end of Small Business Saturday; churches and schools could sing Christmas songs. After discussing the fireworks, the Committee decided to leave the it on

the brochure even though it is not really an event. They discussed adding the Mural Partnership and the Christmas Tree Lighting Event to the brochure.

Ms. Aldridge stated that she will change the picture of the Courthouse to a picture of the new Town Green and get the Brochure finalized, so it can be sent out in September.

2. Façade Grants

There were no façade grants.

3. Community Event Grants

There were no community event grants.

VIII. NEW BUSINESS

Ms. Leigh Ann Aldridge stated that the Museum is interest in the space of the roofing company, but they want it for free.

Chairman Anderson stated that she has talked with Kim Mulkey Smith and Steve Brown; they would like the space for no charge or at least a minimal charge.

Ms. Aldridge discussed moving some spaces around to help the flow and layout. She stated that Stuever Studios has had problems with the HVAC unit, which caused a bad leak. The leak happened over the weekend when no one was there to catch it. They have requested help with replacement of the bookshelf and materials that were ruined by the leak.

The Committee discussed replacing the bookshelf and making sure that all of the tenants have renters’ insurance, which should be required in the lease agreement. The tenants are responsible for filters and maintenance.

To credit their rent up to \$200 for replacement of the bookshelf and materials.

*Motion by Collin, seconded by Holder.
Passed Unanimously*

Chairman Anderson requested for Ms. Aldridge to send copies of the lease agreements to Committee Member Andrea Gray for her to review. The renters need to have proof of rental insurance and have maintenance logs; an addendum may need to be added to the leases. She will talk to Kim Mulkey about liability insurance for the Museum.

The Committee and Ms. Aldridge discussed the space of the roofing company, the space of the tax office, and possibly moving the spaces around.

City Administrator Logan Propes discussed the possibility of folding the Museum into the CVB umbrella and making it the CVB headquarters. He stated the City already pays for the staff member that works there.

The Committee, Mr. Propes, Ms. Aldridge discussed whether the non-profit board would remain or not, the benefits the combination would provide, where the alternate income for DDA would come from, and the monthly rental amounts received.

Mr. Propes stated it will not happen immediately, but it is something for the Committee to think about for now.

Chairman Anderson stated the available seat on the board from Wesley Sisk’s resignation has been posted on the City website, and Les Russell has contacted the previous applicants.

Council Member Meredith Malcom questioned what is going on with the McDaniel Tichnor House.

Committee Member Andrea Gray stated they just finished having the Princess & Diva Camp, and they are still doing events. They used to provide full wedding packages but are just running the facility now. She explained there is a full-time executive there all day every day; weddings book a year in advance, so they are trying to recover.

IX. ANNOUNCEMENTS

1. Next Meeting – September 14, 2023 at 8:00 at City Hall

X. ADJOURN

*Motion by Holder, seconded by Collin.
Passed Unanimously*

**CITY OF MONROE
CONVENTION & VISITORS BUREAU AUTHORITY
JULY 13, 2023 – 9:00 A.M.**

The Convention & Visitors Bureau Authority met for their regular meeting.

Those Present:	Lisa Reynolds Anderson Meredith Malcom Andrea Gray Whit Holder Wesley Sisk Myoshia Crawford	Chairman Vice-Chairman Secretary Board Member Board Member City Council Representative
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Those Absent:	Chris Collins	Board Member
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Staff Present:	Leigh Ann Aldridge, Logan Propes, Beverly Harrison, Chris Bailey, Sara Shropshire, Les Russell, Dwayne Day
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Visitors:

I. CALL TO ORDER

1. Roll Call

Chairman Anderson noted that all Committee Members were present except Chris Collin. There was a quorum.

2. Approval of Previous Meeting Minutes

a. May 11, 2023 Minutes

To approve the minutes as presented.

*Motion by M. Malcom, seconded by Gray.
Passed Unanimously*

b. June 8, 2023 Minutes

To approve the minutes as presented.

*Motion by Gray, seconded by Sisk.
Passed Unanimously*

3. Approval of Financial Statements

a. April Financials

To approve the April Financials.

*Motion by M. Malcom, seconded by Holder.
Passed Unanimously*

b. May Financials

To approve the May Financials.

*Motion by Holder, seconded by M. Malcom.
Passed Unanimously*

II. CHAIRMAN UPDATE

There was no update.

III. DIRECTOR UPDATE

Ms. Leigh Ann Aldridge questioned whether the Committee wanted to go ahead with the commercials or wait to see about Silver Queen first.

The Committee discussed the time frame, businesses opening and closing, and the commercial details.

City Administrator Logan Propes questioned how much it would cost to take more footage and splice it into the commercial.

Ms. Aldridge stated photos are not too expensive, but voice over is expensive.

The consensus was to schedule the commercial for August.

Ms. Aldridge stated a member of the Lions Club has requested to purchase Downtown Dollars at a discounted price.

Committee Member Meredith Malcom stated that is not a good idea; it would be setting a precedence. Ms. Aldridge should give them some stickers or something promotional.

IV. OLD BUSINESS

Chairman Anderson stated the QR Code Project is well underway with the first thirteen businesses.

City Administrator Logan Propes stated he would let everyone know if he got any new information concerning a hotel.

Committee Member Meredith Malcom stated she will try to have an update on the Water Tower at the Retreat.

V. NEW BUSINESS

There was no new business.

VI. ANNOUNCEMENTS

1. Next Meeting – August 10, 2023 at 9:00 am at City Hall

VII. ADJOURN

*Motion by Sisk, seconded by Gray.
Passed Unanimously*

**CITY OF MONROE
CONVENTION & VISITORS BUREAU AUTHORITY
AUGUST 10, 2023 – 9:00 A.M.**

The Convention & Visitors Bureau Authority met for their regular meeting.

Those Present:	Lisa Reynolds Anderson Meredith Malcom Andrea Gray Whit Holder Brittany Palazzo Chris Collins Lee Malcom	Chairman Vice-Chairman Secretary Board Member Board Member Board Member City Council Representative
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Staff Present: Leigh Ann Aldridge, Logan Propes, Beth Thompson, Beverly Harrison, Kaitlyn Stubbs, Les Russell, Dwayne Day

Visitors: Jeremy Banks

I. CALL TO ORDER

1. Roll Call

Chairman Anderson noted that all Committee Members were present. There was a quorum.

2. Approval of Previous Meeting Minutes

Chairman Anderson stated the minutes would be approved at the next meeting.

3. Approval of Financial Statements

a. June Financials

Committee Members and Ms. Beth Thompson discussed the financials.

To approve the June Financials.

*Motion by M. Malcom, seconded by L. Malcom.
Passed Unanimously*

II. CHAIRMAN UPDATE

There was no update.

III. DIRECTOR UPDATE

There was no update.

IV. OLD BUSINESS Water

1. Tower Project Update

Committee Member Meredith Malcom stated Bruce Verge needs more information, but he is working on it.

City Administrator Logan Propes stated that he has forwarded the specs.

2. QR Code Project Update

Chairman Anderson stated the QR Code Project will launch in September. She explained there is an agreement for business or property owners to sign allowing the bronzed plaques to be placed. There is also a letter explaining the cost, if they would like to help financially.

The Committee and Ms. Aldridge further discussed the project.

Council Member Lee Malcom left at 9:36 am.

V. NEW BUSINESS

Ms. Leigh Ann Aldridge stated the commercials will be shooting next week.

Chairman Anderson questioned the cost.

Ms. Aldridge stated 50% had to be paid upfront.

VI. ANNOUNCEMENTS

1. Next Meeting – September 14, 2023 at 9:00 am at City Hall

VII. ADJOURN

*Motion by Collin, seconded by Gray.
Passed Unanimously*

ASSISTANT CITY ADMINISTRATOR UPDATE

September 12th, 2023

Facilities & Grounds Maintenance

- Trash Collection – 3,290 lbs
- Grounds Maintenance – 293.9 acres

Airport

- Terminal Building – soft opening October 22, 2023
- Extra Special People (ESP) Fall Festival – October 22, 2023
- Disadvantaged Business Enterprise (DBE) program – development phase
- FY24 Taxiway Construction Tentative Allocation – \$372,501/\$20,695
- FY24 State 75/25 Funding (additional) – application process
- Maintenance – brush clearing on northeast side
- DOT Inspection Schedule – April 27, 2023, response complete
- LIDAR survey, obstruction removal – 2024/2025/2026
- Capital Improvement Projects – FY23 to FY27
- Deed Search / Property Map update project – FAA requirement 2022
- 12/24-unit t-hangar site plan discussion, grading package, terms – 2023 CIP
- Bipartisan Infrastructure Law (BIL) - \$17.3 million for 82 general aviation airports (\$110k-\$295k), double AIP funding for 5 years, \$159k in 2022 w/5% local match, \$145k in 2023 w/5% local match

City Branding / Logo

- Gateway signage at Charlotte Rowell / GA Hwy 11 – complete

Parks

- Town Green construction – August 31, 2022 (CO – September 26, 2023)
- Playground mulch – complete 2023
- Community Garden – iron tree installation complete
- Pilot Park – pinwheel project (2022) A Child’s Voice
- Pilot Park – new equipment installation
- Mathews Park phase II – complete
- Mathews Park additional – complete

- Mathews Park – 2023 Arbor Day celebration (2/25/23)
- Rental/Lease Program – in process

Streets / Stormwater

- Traffic Calming – NTP September 12, 2022, complete January 27, 2023
- East Marable Guardrails – scheduling installation
- Library parking lot rehabilitation – front complete / back in progress
- Municipal Court parking lot rehabilitation – complete
- Gwinnett Appliances – demo complete
- Road & Signage Assessment Survey – 2023 CIP (Keck & Wood)
- Stormwater Masterplan – in process
- North Lumpkin Street Alleyway Phase II – easement process
- North Madison Avenue – 2024/2025
- 2022 LMIG – complete
- Walton Road Sidewalks – complete
- 2023 LMIG – fall 2023 (Walton Road)
- Sidewalk rehabilitation – (2021) 1,985' (2022) 2,105' (2023) 1,875'
- Stormwater Retention Pond Inspections & Plan Reviews – started
- Georgia Department of Transportation (GDOT) – downtown patching (3/8)
- Leaf Season – October 31st to February 28th

Solid Waste

- Monday Holiday Schedule – Tuesday, Wednesday, Thursday, Friday
- Monday/Tuesday Route Changes – March 6th, social media, door hangars
- Great American Cleanup Week – April 23-29, 2023
- Waste & Recycling Workers Week for June 17-23, 2023
- Automated Side Loader Garbage Truck delivery – ETA (11/23)
- Mini Rear Loader Garbage Truck delivery – delivered (Tuesday/Thursday)
- Solid Waste Transportation contract approval – complete
- Transfer Station Rehabilitation – 2023 CIP, March 9-10th closure

Procurement / Inventory

- Milner-Aycock Building – sold
- Terminal Building – construction start 5/31/22, complete 7/28/23

- Town Green – construction start 8/31/22, complete 9/26/23
- By-Pass – ITB 9/4/23, closes 10/5/23, material on hand
- Blaine Station Redevelopment RFP/Q – first quarter 2024
- West Spring Street – natural gas replacement 7/13/23 (permit complete)
- Walton Road Sidewalk – LMIG sidewalk replacement/addition in progress
- Visitor Center / Old City Hall – exterior rehabilitation discussion

Downtown Development Authority

- Parking Study – ongoing (signage, usage, lighting, safety, condition)
- Car Show – March 18th (18k)
- Georgia Downtown Association (GDA) – April 21st
- First Friday Concerts – May 5th, June 2nd, August 4th, September 1st
- Farmers Market – May 6th start
- Flower Festival – May 20th (8k)
- Fall Fest – October 14th
- Light up the Night – November 2nd
- Bikes, Trikes, & Magical Lights Parade – November 16th
- Christmas Parade – December 7th

CDBG 2022 Sewer Project

- Bryant, Glen Iris, Stowers (northern section)
- Public hearing – April 13, 2022
- Public notifications – social media, newspaper

Blaine Station Phase II

- Corner space demo – bid review / 2024 CIP inclusion
- Staff Redevelopment – divide by classification
- RFP/Q issuance – August/September 2023

Tree Board

- Arbor Day Celebration – Mathews Park February 25th
- Educational Opportunities – GUTA, Georgia Forestry Commission Training
- Social Media Education – Arbor Day, Gardening Week



To: City Council
From: Beth Thompson
Department: Finance
Date: 10/10/2023
Subject: Electric MCT funds

Budget Account/Project Name:
Funding Source: Municipal Electric Authority of Georgia MCT
Budget Allocation: \$0.00
Budget Available: \$21,197,725
Requested Expense: \$1,957,403

Description:
 Staff recommends withdrawing a total of \$1,957,403 from the City of Monroe’s MCT investment funds. \$826,864 is to go into the Utility operating bank account for reimbursement of the overage difference of the January 2023 MEAG bill, due to the unusually colder temperatures during December 2022. \$1,130,539 is to go into the Utility CIP bank account for reimbursement of 2022 and YTD 2023 Electric capital expenses. The majority of this is due to the electric grid expansions at the new Publix shopping complex, along with the electric rebuild to Spring Street, North Madison Avenue & South Madison Avenue.

Background:
 The City of Monroe invests \$100,000 each month into the MCT fund for future projects & expenses. The current balance in the combined MCT funds as of August 2023 is \$21,197,725.

Attachment(s):



To: City Council
From: Chris Bailey, Assistant City Administrator
Department: Natural Gas
Date: 10/05/23
Subject: Natural Gas Bypass Relocation Bid Award

Budget Account/Project Name: Natural Gas Bypass Relocation 22-025

Funding Source: Utility Bond

Budget Allocation: \$250,000.00

Budget Available: \$250,000.00

Requested Expense: \$149,949.00 **Company of Record:** Southern Pipeline, Inc.

Description:

Staff recommends the approval of the Natural Gas Bypass Relocation project bid of \$149,949.00 as submitted by Southern Pipeline on October 5, 2023. This project was required to be rebid following delays in the bypass construction start dates by GDOT.

Background:

The City of Monroe is continually sought bids in May 2022 for this relocation project and construction was delayed by the GDOT. A rebid was required because of expired pricing and is provided in the newly requested bid documents. Material for the project is on hand and includes approximately 9,860' of gas main (including both steel and plastic).

Attachment(s):

- Bid Document – 7 pages
- Bid Summary – 1 page

Bid Summary

Company	Bid Proposal
Southeast Connections (SEC)	\$189,658.90
Southern Pipeline	\$149,949.00

CITY OF MONROE



**INVITATION TO BID
Natural Gas Main Relocation – Bypass Project**

September 4, 2023

The City of Monroe is located between Atlanta and Athens metro areas with a diverse population of about 14,928 per the 2020 census, and serves as the county seat of Walton County. Monroe has a Council/Administrator form of government with a mayor elected at large and eight (8) councilmembers, who are elected by district or super-district. The mayor and members of the Council serve four-year terms, which are staggered by election.

The City of Monroe is currently seeking competitive bids for the installation/relocation of approximately 3,350 feet of natural gas mains as detailed within this document. This project is directly associated with the proposed SR 83 Connector route from SR 11 to SR 83, or bypass project by the State of Georgia and City of Monroe. The proposed timeline of the construction component of this relocation project is not to exceed 60 days. Maps (Exhibit A) of the area are provided, but site visits are encouraged for better accuracy of the submission and do not require the City of Monroe to be present.

When downloading this document, please notice the City of Monroe at purchase@monroega.gov of your company name and contact information, so that you may be copied on any additional addendums during the process. Any questions about this Invitation to Bid should be in writing only and directed to purchase@monroega.gov prior to **5:00 pm on September 25, 2023**, at which point no other questions will be allowed (*all times referenced are considered Eastern Standard Time*). A full list of questions and answers will be provided to companies of record and posted on the website as an addendum no later than **5:00 pm on September 26, 2023**.

This project will be administered by the City of Monroe through the Assistant City Administrator being the main point of contact for all questions during preliminary procedures and the bidding process. After a contract is awarded a project manager will be designated.

BID SCHEDULE

The following outlines the timeline of dates to be followed for this specific bid process.

Invitation to Bid	September 4, 2023	9:00 am
Question Due Date (EMAIL)	September 25, 2023	5:00 pm
Answers	September 26, 2023	5:00 pm
Submission Deadline	October 5, 2023	2:00 pm
Contract Award	October 10, 2023	6:00 pm
Notice to Proceed	October 11, 2023	9:00 am

CERTIFICATION REQUIREMENTS

Below are the absolute operator qualification requirements to be followed.

1. All Operator Qualifications must be active and documentation provided for all employees that will participate in the installation, replacement, or construction of natural gas mains as requested in this Invitation to Bid.

2. An active drug and alcohol testing plan is required from the Offeror, along with the most recent Pipeline and Hazardous Materials Safety Administration (PHMSA) drug and alcohol testing data for all employees that will participate in the installation, replacement, or construction of natural gas mains as requested in this Invitation to Bid.

SCOPE OF SERVICES REQUESTED

The following details the scope of services requested for the installation/relocation of steel natural gas main located on Highway 11 South in the area of Mt. Paran Church Road by directional bore or trench cutting.

- 600 feet of 2" steel high pressure gas main.
- 2,750 feet of 4" steel high pressure gas main.
- Pressure test at 300 psi for a period of no less than 24 hours and provide chart recording verifying pressure test completion.
- Tie-in of all ¾" steel high pressure gas line services to include 5 long side services and 3 short side services.
- 2" main tie-ins at existing station 314+25, contractor responsible for control fittings and taps associated.
- 4" main tie-ins at existing station 293+60 and existing station 266+50, contractor responsible for control fittings and taps associated.
- **NOTE:** all material will be provided by the City of Monroe.
- **NOTE:** the City of Monroe will relight all gas services upon completion.
- **NOTE:** existing gas main pressure is 150 psi.
- **NOTE:** no bid, performance, or payment bonds required.
- **NOTE:** timeline for completion is not to exceed 60 days.

SUBMISSION FORMAT

The following outlines the formatted order of items required for bid submissions. All items should be included and clearly defined for ease of location and evaluation. Failure to include any requested items may result in the disqualification of the bid submission.

1. Company Information: Brief history of the company, date of incorporation, number of full-time employees, financial statements of the last fiscal year.
2. Reference: Provide a minimum of three (3) references for installation/relocation of natural gas mains in the State of Georgia. Include the name of the organization, city, county, contact name, contact information, project cost, and project start/completion dates.
3. Provide line-item pricing on the included pricing sheet (Exhibit B).
4. Operator Qualifications: Active and documented Operator Qualifications must be provided in this section for all employees involved in the construction aspect as requested.
5. Drug and Alcohol Documentation: Active and documented PHMSA Drug and Alcohol data, and drug and alcohol programs of the Offeror must be provided in this section for all employees involved in the construction aspect as requested.
6. Timeline: Provide an anticipated starting date (*from proposed NTP of June 15, 2022*) and days expected to complete the described project.
7. Deviations: Explanation of any deviations to the specifications as outlined in this document.

SUBMISSION

Provide two (2) copies of the bid submission, including one (1) original. Bids may be submitted in person to the City of Monroe or by mail, but must be received no later than **2:00 pm on October 5, 2023**. Sealed bids shall be submitted in a completely sealed envelope, and addressed to:

City of Monroe
NATURAL GAS MAIN RELOCATION – BYPASS PROJECT
Attn: Chris Bailey
215 North Broad Street
Monroe, GA 30655

EVALUATION

Evaluation of submitted bids will be based on the lowest bid that, in its sole discretion, is the most responsive and responsible to the City of Monroe. The City of Monroe reserves the right to shortlist, interview, and negotiate with those submitting bids.

CONSIDERATIONS

The City of Monroe reserves the right to withdraw this Invitation to Bid, reject any or all responses, and to waive any irregularity, variance or informality whether technical or substantial in nature, in keeping with the best interests of the City of Monroe. This bid plus the resulting agreement, shall be consistent with all terms and conditions associated with contracts entered into by the City of Monroe. The City of Monroe is not liable or responsible for any cost(s) incurred during the preparation, presentation, or submission as a response to this bid request.

The City of Monroe may, at its discretion, change, add or remove features and functions from final contract for the installation/relocation of natural gas mains at any time.

The submitted bid fee and structure shall remain effective for a period of no less than ninety (90) days.

Any unauthorized contact regarding the bid with staff or elected officials may result in disqualification. Any oral communications will be considered unofficial and non-binding on the City of Monroe.

We thank you in advance for your submission and welcome any questions you may have during the process.

Chris Bailey
Assistant City Administrator, City of Monroe
215 North Broad Street, P.O. Box 1249
Monroe, GA 30655
(770) 266-5406

MATCHLINE STA 289+00
SEE DWG No. 24-0021

289+00

288+00

287+00

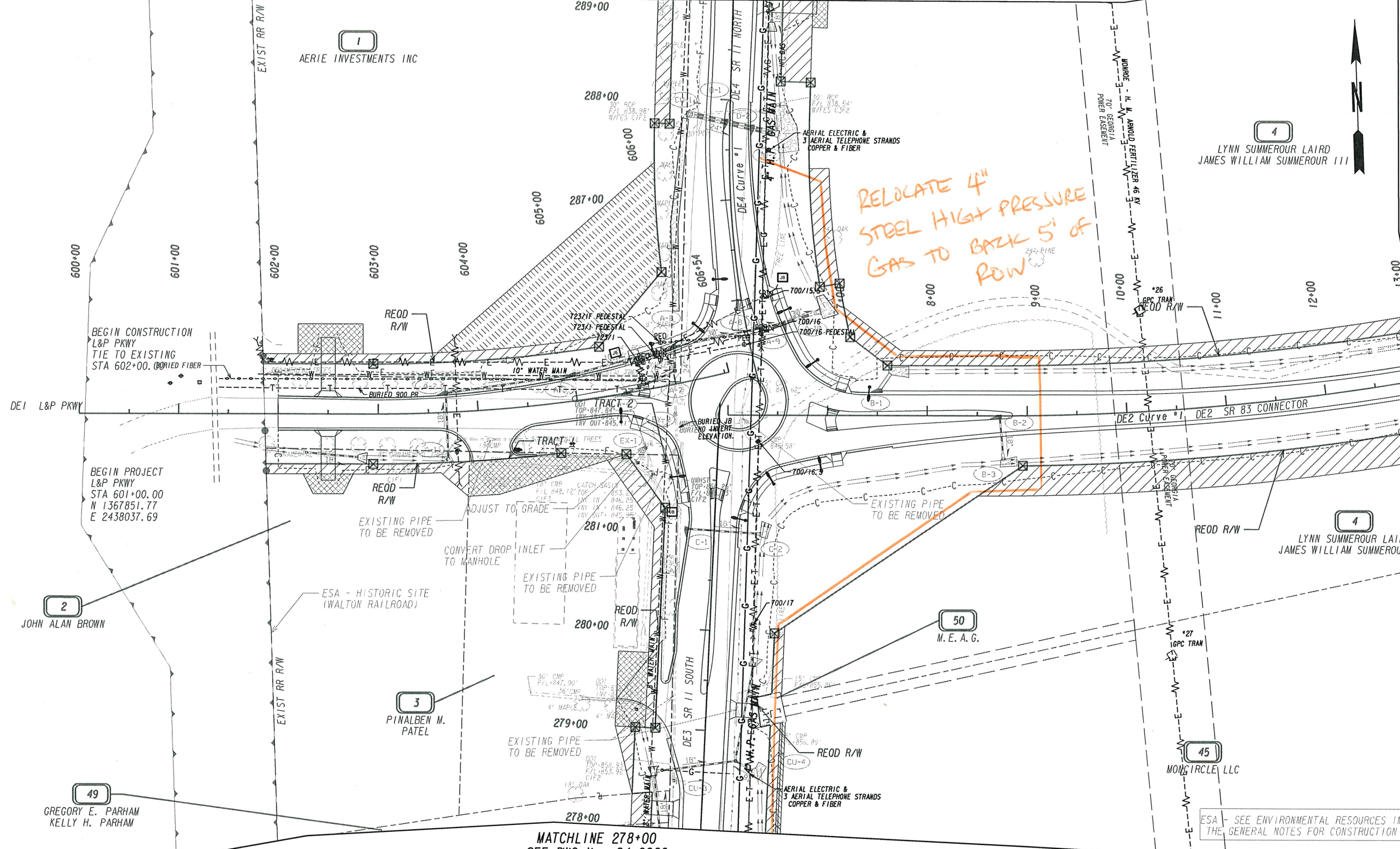
281+00

280+00

279+00

278+00

MATCHLINE 278+00
SEE DWG No. 24-0020



RELOCATE 4"
STEEL HIGH PRESSURE
GAS TO BACK 5' OF
ROW



BEGIN CONSTRUCTION
L&P PKWY
TIE TO EXISTING
STA 602+00. (BURIED FIBER)

BEGIN PROJECT
L&P PKWY
STA 601+00.00
N 1367851.77
E 2438037.69

ESA - SEE ENVIRONMENTAL RESOURCES IMPACT TABLE IN
THE GENERAL NOTES FOR CONSTRUCTION RESTRICTIONS

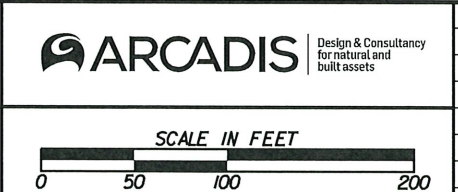
PROPERTY AND EXISTING R/W LINE	—R—
REQUIRED R/W LINE	—
CONSTRUCTION LIMITS	—C—
EASEMENT FOR CONSTR	—F—
& MAINTENANCE OF SLOPES	[Hatched Box]
EASEMENT FOR CONSTR OF SLOPES	[Diagonal Hatched Box]
EASEMENT FOR CONSTR OF DRIVES	[Cross-hatched Box]

BEGIN LIMIT OF ACCESS.....BLA	—
END LIMIT OF ACCESS.....ELA	—
LIMIT OF ACCESS	—
REQ'D R/W AND LIMIT OF ACCESS	—

GDOT Georgia Department of Transportation

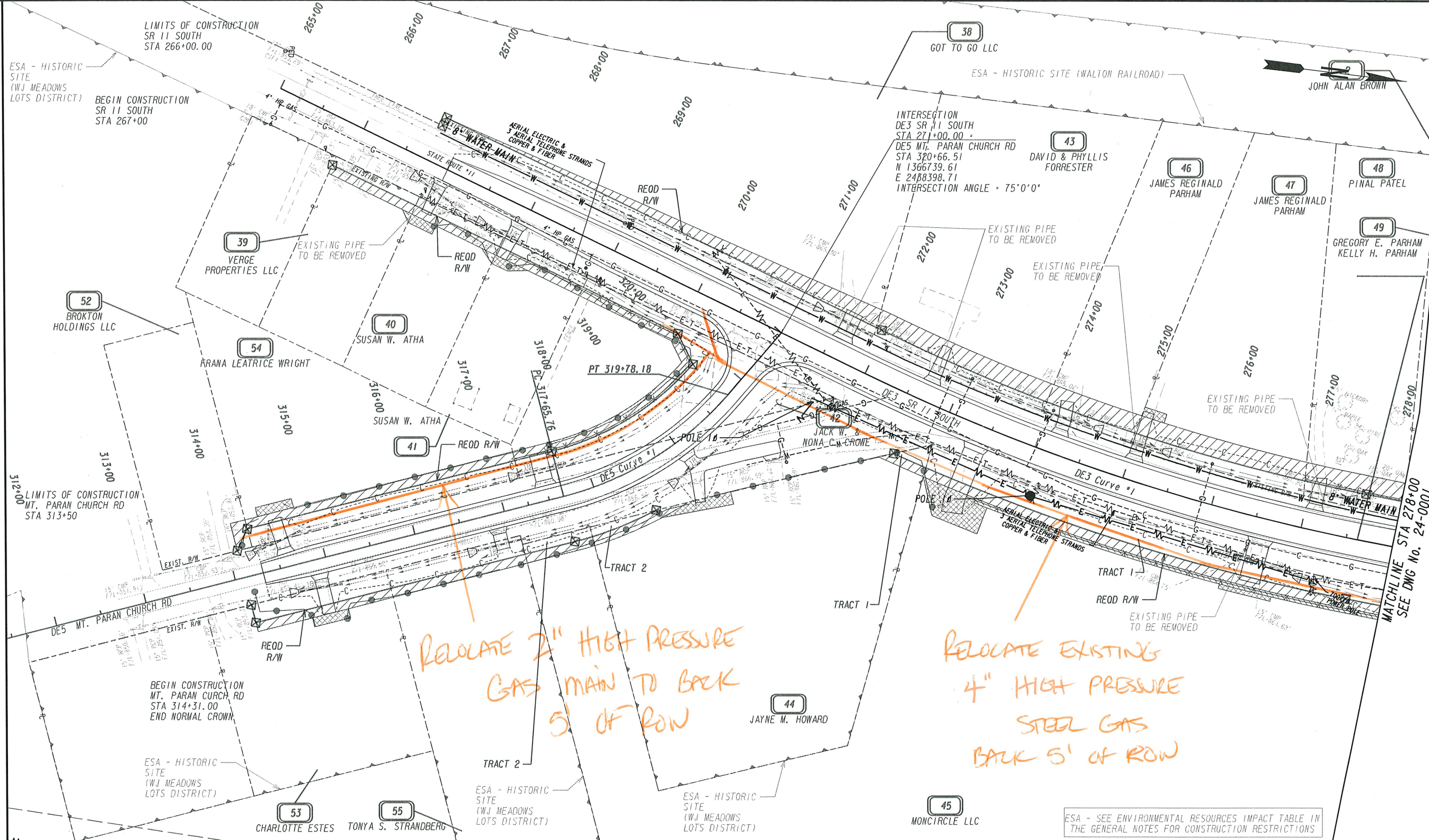
ARCADIS Design & Consultancy for natural and built assets

PRELIMINARY



REVISION DATES	

UTILITY PLANS			
SR 83 CONNECTOR FROM SR 11 TO SR 83			
CHECKED:	DATE:	DRAWING No.	
BACKCHECKED:	DATE:	24-0001	
CORRECTED:	DATE:		
VERIFIED:	DATE:		



RELOCATE 2" HIGH PRESSURE GAS MAIN TO BACK 5' OF ROW

RELOCATE EXISTING 4" HIGH PRESSURE STEEL GAS BACK 5' OF ROW

PROPERTY AND EXISTING R/W LINE	---
REQUIRED R/W LINE	---
CONSTRUCTION LIMITS	---
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	///
EASEMENT FOR CONSTR OF SLOPES	///
EASEMENT FOR CONSTR OF DRIVES	///

BEGIN LIMIT OF ACCESS.....BLA	---
END LIMIT OF ACCESS.....ELA	---
LIMIT OF ACCESS	---
REQ'D R/W AND LIMIT OF ACCESS	---

GDOT Georgia Department of Transportation

PRELIMINARY

ARCADIS Design & Consultancy for natural and built assets

SCALE IN FEET

0 50 100 200

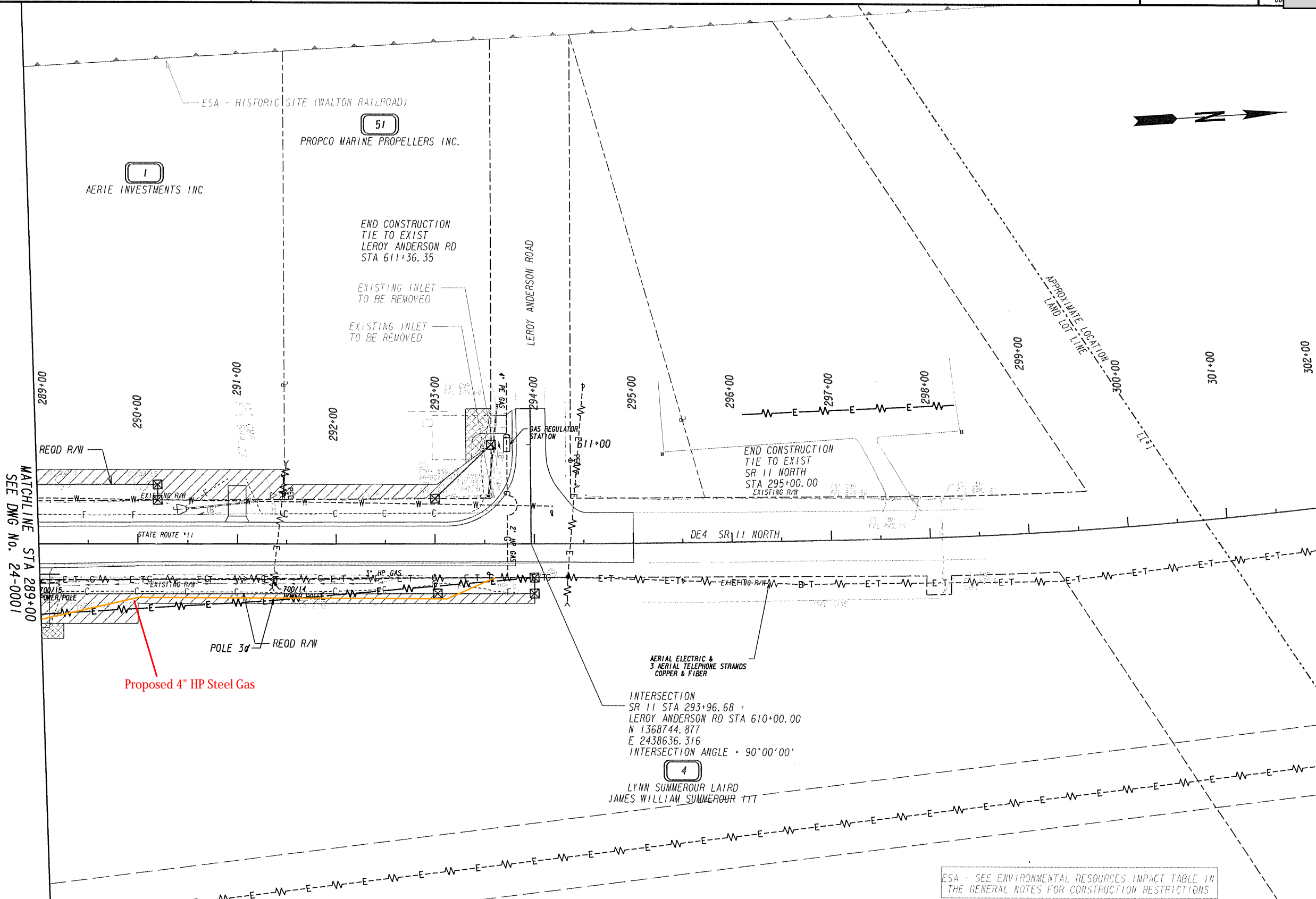
REVISION DATES	

UTILITY PLANS

SR 83 CONNECTOR FROM SR 11 TO SR 83

CHECKED:	DATE:	DRAWING No. 24-0020
BACKCHECKED:	DATE:	
CORRECTED:	DATE:	
VERIFIED:	DATE:	

ESA - SEE ENVIRONMENTAL RESOURCES IMPACT TABLE IN THE GENERAL NOTES FOR CONSTRUCTION RESTRICTIONS



ESA - SEE ENVIRONMENTAL RESOURCES IMPACT TABLE IN THE GENERAL NOTES FOR CONSTRUCTION RESTRICTIONS

PROPERTY AND EXISTING R/W LINE
 REQUIRED R/W LINE
 CONSTRUCTION LIMITS
 EASEMENT FOR CONSTR
 & MAINTENANCE OF SLOPES
 EASEMENT FOR CONSTR OF SLOPES
 EASEMENT FOR CONSTR OF DRIVES

BEGIN LIMIT OF ACCESS.....BLA
 END LIMIT OF ACCESS.....ELA
 LIMIT OF ACCESS
 REQ'D R/W AND LIMIT OF ACCESS

GDOT Georgia Department of Transportation

PRELIMINARY

ARCADIS Design & Consultancy for natural and built assets

SCALE IN FEET
 0 50 100 200

REVISION DATES	

UTILITY PLANS

SR 83 CONNECTOR FROM SR 11 TO SR 83

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	24-0021
CORRECTED:	DATE:	
VERIFIED:	DATE:	

PRICE SHEET				
Item Description	Measure Units	Bid Quantity	Unit Price	Total Price
2" Steel High Pressure Gas Main	Feet	600		
4" Steel High Pressure Gas Main	Feet	2,750		
Pressure Test & Chart Recording	Unit	1		
Long Side Service Conversion	Unit	5		
Short Side Service Conversion	Unit	3		
2" Main Tie-in	Unit	1		
4" Main Tie-in	Unit	2		
Rock Removal (if necessary)	Feet	N/A		

Total Bid Price

Additional Costs (if applicable)

Rock Removal (if necessary) should be provided as a per foot cost in the Rock Removal line item above but not included in the total bid price.



To: City Council
From: Rodney Middlebrooks
Department: Water, Sewer, Gas & Electric Department
Date: 10/10/2023
Subject: Purchase of a Altec AA55E Material Handling Truck

Budget Account/Project Name: Utility CIP

Funding Source: 520-4600-542200

Budget Allocation: 0.00

Budget Available: 0.00

Requested Expense: \$227,009.00 **Company of Record:** Altec Inc.

Description:

Staff recommends the approval to purchase a Altec AA55E Material Handler

Background: Truck was initially approved in the 2023 CIP but delivery was estimated to be 2024-2025. Brian Thompson used those funds to purchase an electric service truck that he intended to purchase in the 2024 CIP. Altec had a AA55E come available for immediate delivery with a cost savings of \$112,391.00

Attachment(s):

- Altec Inc. quote
- Fouts Bros. Inc. quote

Rodney Middlebrooks

From: Jim Holbrooks
Sent: Tuesday, September 19, 2023 2:09 PM
To: Rodney Middlebrooks
Subject: Fwd: Altec AA55E unit
Attachments: United Utility Power AA55E_1015367296.pdf

Sent from my iPhone

Begin forwarded message:

From: Tim Luker <Tim.Luker@altec.com>
Date: September 19, 2023 at 2:04:02 PM EDT
To: Jim Holbrooks <JHolbrooks@monroega.gov>
Subject: Altec AA55E unit

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Jim, here is the Altec AA55E unit we spoke about. Unit is available now and price is \$227,009.00 delivered to Monroe. Please let me know if you have any questions or concerns.

Tim Luker
Altec Inc
404-247-2579



September 19, 2023
Our 94th Year

Ship To:
UNITED UTILITY POWER SERVICES LLC (FORMALLY BHI
ENERGY POWER SERVICES LLC)
110 PROSPERITY BLVD
PIEDMONT, SC 29673-7677
US

Bill To:
UNITED UTILITY POWER SERVICES LLC (FORMALLY BHI
ENERGY POWER SERVICES LLC)
110 PROSPERITY BLVD
PIEDMONT, SC 29673-7677
US

Attn:
Phone: 864-375-9030
Email:

Altec Sales Order: 7430237
Altec Quotation Number: 1423545 - 2
Run Number: 1392296
Account Manager: Ivan E Whitfield
Technical Sales Rep: Ian Cole Rider
Reference WO: New Spec-
Customer Inspection:
Customer Truck Number:

X7 Discrete Job: 1015367296
X7 Configured Item: 000000000-32531831
Quantity: 1
X4 Discrete Job: 1015671309
X4 Configured Item: 000093015-32531817
System Engineer: Jeffrey Flanagan-3
Structural Engineer: Jeffrey Flanagan-3
Line Set Date: 05/11/2023

<u>Item</u>	<u>Description</u>	<u>Qty</u>
	<u>Unit</u>	
1.	Altec Model AA55E Articulating Non-Overcenter Aerial Device with a fiberglass upper boom and fiberglass insulator in the lower boom and a proportional joystick upper control and toggle switches. Built in accordance to ALTEC's standard specifications and to include the following features:	1
2.	375 - Automatic stow system	1
3.	217- Single, two-man platform mounted on curbside, 24 x48 x 42 inches (610 x 1219 x 1067 mm). Platform is rated at 700 pounds (317.5 kg) and rotates 90 degrees to end of boom. Includes two sets of quick disconnect couplings and controls for hydraulic tools. Includes hydraulically articulating and extending material handling jib with winch and rope mounted on opposite side of upper boom.	1
4.	Soft Platform Cover For Two Man Platform (24x48)	1
5.	259 Polyethylene platform liner for two man platform, 50 kV rating (minimum)	1
6.	Electric Over Hydraulic Outrigger Controls	1
7.	315 Engine start/stop with Secondary Stowage System, 12 VDC electric powered. Includes auxiliary pump and electric motor, powered by the chassis battery. Control is captive air operated from the platform and toggle switch operated from the lower controls. This option allows the operator to completely stow the booms and platform in a situation wherein the engine, PTO or pump fails.	1
8.	Category C, Category B Pre-Wire, Coaxial	1
9.	460 - Outrigger X-Frame with flat shoe - 172.8 inch max spread	1
10.	241 - Outrigger A-Frame with Flat-shoe - provides 149 inch (3785 mm) maximum spread	1

<u>Item</u>	<u>Description</u>	<u>Qty</u>
	outside to outside of shoe.	
11.	Powder coat unit Altec White.	1
<u>Unit and Hydraulic Acc.</u>		
12.	Unit Installation Components.	1
13.	Hook, Material Handling, 1-Ton With Latch, Installed On End Of Aerial Winch Line	1
14.	Standard Spacer between Subbase and frame for hose routing and ease of maintenance.	1
15.	Reservoir, 30 Gallon, Triangular, Mounted in Cargo Area	1
16.	AA/AN 50/55/50E/55E/60/60E AN46-OC/50-OC/55-OC/46E-OC/50E-OC/55E-OC Subbase	1
17.	HVI-22 Hydraulic Oil (Standard).	35
18.	Standard Pump For PTO	1
19.	Hot shift PTO for automatic transmission	1
20.	Standard PTO/Transmission Functionality for Automatic Transmissions -If chassis is in gear, and PTO switch is activated, PTO will not engage. Chassis will remain in gear. Once the chassis is shifted back into gear the PTO will disengage. For some truck configurations the PTO switch must be turned off to allow the transmission to shift into gear.	1
<u>Body</u>		
21.	170 inch Large Universal Aerial Body with outrigger housings, suitable for installing on any 4x2 chassis with an approximate CA dimension of 120 inches, built in accordance with the following specifications:	1
	A. Basic body fabricated from A40 grade 100% zinc alloy steel.	
	B. All doors are full, double paneled, self-sealed with built-in drainage for maximum weather-tightness. Stainless steel hinge rods extend full length of door.	
	C. All doors are to contain stainless steel flush type, single point, two-stage rotary paddle latches with recessed handles, including keyed locks and strikers. Door latches are bolted to the outer door panel.	
	D. Heavy-gauge welded steel frame construction with structural channel crossmembers and smooth floor.	
	E. Possible contact edges are folded for safety.	
	F. Integrated door header drip rail at top for maximum weather protection.	
	G. Fender panels are either roll formed or have neoprene fenderettes.	
	H. Steel treated for improved primer bond and rust resistance.	
	I. Automotive undercoating applied to entire underside of body.	
	J. Primer applied to complete interior and exterior of body.	
	K. Automotive type non-porous door seals fastened to the door facing.	
	L. 170 inch overall body length.	
	M. 94 inch overall body width.	
	N. 46 inch overall body height.	
	O. 18 inch body compartment depth.	
	P. Finish paint body Altec White at body manufacturer.	
	Q. 2 inch x 6 inch drop-in wood cargo retaining board at rear of body.	

<u>Item</u>	<u>Description</u>	<u>Qty</u>
R.	2 inch x 6 inch drop-in wood cargo retaining board at top of side access step.	
S.	Gas shock type rigid door holders for vertical doors.	
T.	Standard master body locking system.	
U.	One (1) wheel chock holder installed in fender panel on each side of body.	
V.	Hotstick shelf extending from rear of first vertical to rear of body on streetside.	
W.	Two (2) hotstick brackets installed on street side.	
X.	Large side hinged hotstick door for multiple shelves on streetside.	
Y.	B-line channel installed in all compartments.	
Z.	1st vertical street side (LH) - Three (3) adjustable shelves with removable dividers on 4 inch centers.	
AA.	2nd vertical street side (LH) - Six (6) locking swivel hooks on adjustable rails. 1-4-1 configuration.	
AB.	3rd vertical street side (LH) - Six (6) locking swivel hooks on adjustable rails. 1-4-1 configuration.	
AC.	1st horizontal street side (LH) - One (1) plain fixed shelf extending through the rear vertical.	
AD.	Rear vertical street side (LH) - Outrigger housing.	
AE.	1st vertical curb side (RH) - Three (3) adjustable shelves with removable dividers on 4 inch centers.	
AF.	2nd vertical curb side (RH) - Six (6) locking swivel hooks on adjustable rails. 1-4-1 configuration.	
AG.	3rd vertical curb side (RH) - Gripstrut access steps with two (2) sloped grab handles.	
AH.	1st horizontal curb side (RH) - Two (2) adjustable shelves with removable dividers on 8 inch centers.	
AI.	Rear vertical curb side (RH) - Five (5) locking swivel hooks on fixed rails. 1-3-1 configuration.	
AJ.	Rear vertical curb side (RH) - Outrigger housing.	
AK.	Curbside compartment top access step installed in the cargo area behind side access step.	
AL.	24 inch long x 94 inch wide steel tailshelf with 3 inch high retainer rail around sides and rear, installed at rear of body.	

Body and Chassis Accessories

22.	No Cabguard Required.	1
23.	ICC (Underride Protection) Bumper Installed At Rear	1
24.	T-125 Style Pintle Hitch (30,000 LB MGTW with 6,000 LB MVL)	1
25.	Set Of Eye Bolts for Trailer Safety Chain, installed one each side of towing device mount.	1
26.	Relocate Chassis-Supplied Glad Hands	1

Sales Text: Installed at rear

Last Updated By: Ian C Rider on 11-MAY-2023 17:31

27.	Rigid Step Mounted Beneath Side Access Steps (Installed To Extend Approx. 2" Outward)	1
28.	Compartment Top Access Step from Body Floor	1
29.	Platform Access Step From Top of Body Compartment	1
30.	Single Platform Access, One Step Mounted to Turntable	1

<u>Item</u>	<u>Description</u>	<u>Qty</u>
31.	Platform Rest, Rigid with Rubber Tube	1
32.	Lower Boom Rest Weldment	1
33.	Mounting Brackets for Lights, Located on Lower Boom Rest	1
34.	Wood Outrigger Pad, 24 x 24 x 2.5 Inch, With Rope Handle	4
35.	Outrigger Pad Holder, 25" L x 25" W x 5" H, Fits 24.5" x 24.5" x 4" And Smaller Pads, Bolt-On, Bottom Washout Holes, 3/4" Lip Retainer	4
36.	Pendulum Retainers For Outrigger Pad Holders	4
37.	Mud Flaps With Altec Logo (Pair)	1
38.	Wheel Chocks, Rubber, 9.75" L x 7.75" W x 5.00" H, with 4" L Metal Hairpin Style Handle (Pair)	1
39.	Dock Bumpers (Pair), Fixed Mounting (Rectangular Bumper), Installed At Rear Frame Rails So They Are The Furthest Point Back	1
40.	Slope Indicator Assembly (Pair) For Machine With Outriggers	1
41.	Safety Harness And 4.5' Lanyard (Fits Medium To Xlarge) Includes Pouch and Placards	2
42.	5 LB Fire Extinguisher With Light Duty Bracket, Installed (In Cab or Inside Compartment Only)	1
43.	Triangular Reflector And Flare Kit [Contains 3 Reflectors And 3 Flares/Fuses (20 Minutes Each)], Shipped Per DEPS-0042	1
44.	Vinyl manual pouch for storage of all operator and parts manuals	1
<u>Electrical Accessories</u>		
45.	Lights and reflectors in accordance with FMVSS #108 lighting package. (Complete LED, including LED reverse lights)	1
46.	Altec Standard Amber LED Strobe Light with Brush Guard	2
<p><u>Sales Text:</u> One each side of boomstow Last Updated By: Ian C Rider on 11-MAY-2023 17:31</p>		
47.	Dual Tone Back-Up With Outrigger Motion Alarm	1
48.	Altec Standard Multi-Point Grounding System	3
49.	Copper U Shaped Grounding Lug (Threaded)	2
<p><u>Sales Text:</u> Last Updated By: Ian C Rider on 11-MAY-2023 17:31</p>		
50.	7-Way Trailer Receptacle (Pin Type) Installed At Rear	1
51.	Relocate Trailer Receptacle Supplied With Chassis	1
52.	Electric Trailer Brake Controller (Draw-Tite Activator II #5504)	1

<u>Item</u>	<u>Description</u>	<u>Qty</u>
53.	Altec Modular Panel System (AMPS) - Includes Mounting Panel and Accessory Switches	1
54.	Pre-Wire Power Distribution Module 10 is a compact self-contained electronic system that provides a standardized interface with the chassis electrical system.	1
55.	Install Outrigger Interlock System	1
<u>Finishing Details</u>		
56.	Powder Coat Unit Altec White	1
57.	Finish Paint Body Accessories Above Body Floor Altec White	1
58.	Altec Standard; Components mounted below frame rail shall be coated black by Altec. i.e. step bumpers, steps, frame extension, pintle hook mount, dock bumper mounts, D-rings, receiver tubes, accessory mounts, light brackets, under-ride protection, etc. Components mounted to under side of body shall be coated black by Altec. i.e. Wheel chock holders, mud flap brackets, pad carriers, boxes, lighting brackets, steps, and ladders.	1
59.	Apply Non-Skid Coating to all walking surfaces	1
60.	English Safety And Instructional Decals	1
61.	Vehicle Height Placard - Installed In Cab	1
62.	Placard, HVI-22 Hydraulic Oil	1
63.	Dielectric test unit according to ANSI requirements.	1
64.	Stability test unit according to ANSI requirements.	1
65.	Focus Factory Build	1
66.	Delivery Of Completed Unit	1
67.	Inbound Freight	1
68.	As Built Electrical And Hydraulic Schematics To Be Included In The Manual Pouch	1
69.	Stock AA55E M2 4x2	1
70.	AA55E, Line Body, Freightliner M2-106, 4x2, Differential Lock, Automatic Transmission	1
71.	Stock Unit	1
72.	Stock Unit Sold To Customer	1
<u>Chassis</u>		
73.	Altec Supplied Chassis	1
74.	2024 Model Year	1
75.	Freightliner M2-106	1
76.	4x2	1

<u>Item</u>	<u>Description</u>	<u>Qty</u>
77.	Chassis Cab	1
78.	Regular Cab	1
79.	Chassis Color - White	1
80.	Glad Hands, Hoses And Connections (Supplied By Chassis OEM)	1
81.	Trailer Air Brake Package	1
82.	122 Clear CA (Round To Next Whole Number)	1
83.	Chassis Wheelbase Length - 190	1
84.	GVWR 33,000 LBS	1
85.	14,600 LBS Front GAWR	1
86.	21,000 LBS Rear GAWR	1
87.	Freightliner - Clear Area Around Allison PTO Openings (362-1Y0) and (363-011)	1
88.	Cummins B6.7	1
89.	250 HP Engine Rating	1
90.	Allison 3500 RDS Automatic Transmission (Left and Right Side PTO Openings Only)	1
91.	204-215 Freightliner 50 Gallon Fuel Tank (Left Hand Under Cab)	1
92.	23U-001, 43X-002 Freightliner 6 Gallon DEF Tank (Under Cab Left Hand)	1
93.	016-1C3 - Freightliner Horizontal Exhaust (Right-Horizontal-Under Cab-Horizontal)	1
94.	No Idle Engine Shut-Down Required	1
95.	Air Brakes	1
96.	Park Brake In Rear Wheels	1
97.	2 Chassis Batteries	1
98.	Freightliner - Rear Cab Crossmember Flush With Back Of Cab (561-010)	1
99.	Freightliner PTO Throttle Wiring for Automatic Transmission (163-004) (148-074) (87L-003)	1
100.	Freightliner/Allison Body Builder Connection (34C-001)	1
101.	Freightliner - Pre-Wire Chassis with Cab Backwall Pass-Thru (33U-001)	1
102.	Vinyl Split Bench Seat	1
<u>Additional Pricing</u>		
103.	Standard Altec Warranty: One (1) year parts warranty, one (1) year labor warranty, ninety (90) days warranty for travel charges, limited lifetime structural warranty	1

Altec Industries, Inc.

BY _____

Ian Cole Rider , Technical Sales Representative

<u>Item Number</u>	<u>Unselected Items Description</u>
<u>Item Number</u>	<u>New Selected Items Description</u>

Notes:

1 Altec will make every effort to honor this quotation, subject to the following provisions. Prices for equipment with production start dates 12 months and beyond are budgetary only due to irregular cost inflation and market volatility. These prices will be reviewed based on market conditions and confirmed closer to the production date.

For a quoted chassis model year beyond the current open order bank, chassis model year, specifications and price should be considered estimates only and subject to change. Chassis model year, specifications and price will be reviewed and confirmed when specific model year information becomes available from the OEM.

2 Estimated Delivery: 24 months after receipt of order PROVIDING:

A. Customer supplied chassis (if applicable) is received a minimum of sixty (60) days before scheduled delivery.

B. Customer approval drawings are returned by requested date.

C. Customer supplied accessories are received by date necessary for compliance with scheduled delivery.

D. Customer expectations are accurately captured prior to major components being ordered (body, chassis) and line set date. Unexpected additions or changes made after this time or at a customer inspection will delay the delivery of the vehicle.

Estimated Delivery is based on information at time of quote and is subject to change.

Altec reserves the right to change suppliers in order to meet customer delivery requirements, unless specifically identified, by the customer, during the quote and or ordering process.

3 This quotation is valid until JUN 25,2023. After this date, please contact Altec Industries, Inc. for a possible extension.

4 F.O.B. - Customer Site

5 Interest charge of 1/2% per month to be added for late payment.

6 FINANCING AVAILABLE: Please contact Altec Capital at (888) 408-8148 or email finance@altec.com for more information.

7 Price does not reflect any local, state or Federal Excise Taxes (F.E.T). The quote also does not reflect any local title or licensing fees. All appropriate taxes will be added to the final price in accordance with regulations in effect at time of invoicing.

8 Changes made to this order may affect whether or not this vehicle is subject to F.E.T. A review will be made at the time of invoicing and any applicable F.E.T. will be added to the invoice amount.

9 Any payment made by a credit card may be subject to a surcharge fee.

10 Altec Standard Warranty:

One (1) year parts warranty.

One (1) year labor warranty.

Ninety (90) days warranty for travel charges.

Warranty on structural integrity of the following major components is to be warranted for so long as the initial purchaser owns the product: Booms, boom articulation links, hydraulic cylinder structures, outrigger weldments, pedestals, subbases and turntables.

Altec is to supply a self-directed, computer based training (CBT) program. This program will provide basic instruction in the safe operation of this aerial device. This program will also include and explain ANSI and OSHA requirements related to the proper use and operation of this unit.

Altec offers its standard limited warranty with the Altec supplied components which make up the Altec Unit and its installation, but expressly disclaims any and all warranties, liabilities, and responsibilities, including any implied warranties of fitness for a particular purpose and merchantability, for any customer supplied parts

11

Altec designs and manufactures to applicable Federal Motor Vehicle Safety and DOT standards
Altec Extended Warranty Option:

An Altec Extended Warranty is an extension of Altec's Limited Warranty and protects you from the repair cost associated with defects of materials and workmanship after the standard Limited Warranty expires.

Altec offers many types of coverages and coverage packages. Ask your Altec account manager for details. Quotes are available upon request.

12

After the initial warranty period, Altec Industries, Inc. offers mobile service units, in-shop service and same day parts shipments on most parts from service locations nationwide at an additional competitive labor and parts rate. Call 877-GO-ALTEC for all of your Parts and Service needs.

13

Trade-in offer is conditional upon equipment being maintained to DOT (Department of Transportation) operating and safety standards and remaining in compliance of DOT until arrival at an Altec Facility. This will include, but is not limited to engine, tires, lights, brakes, glass, etc. All equipment, i.e., jibs, winches, pintle hooks, trailer connectors, etc., are to remain with unit unless otherwise agreed upon in writing by both parties. ALTEC Industries reserves the right to re-negotiate its trade-in offer if these conditions are not met.

All reasonable and necessary expenses required of ALTEC Industries to execute transportation of the trade-in will be invoiced to the customer for payment if these conditions are not met to maintain DOT standards.

Customer may exercise the option to rescind this agreement in writing within sixty (60) days after receipt of purchase order. After that time ALTEC Industries will expect receipt of trade-in vehicle upon delivery of new equipment as part of the terms of the purchase order unless other arrangements have been made.

14

The final fully loaded weight of the truck and structural ratings of the hitch assembly may reduce the towing capacity and the vertical load capacity of the finished truck. These capacities may not match the ratings of the chassis or hitch.

15

Altec takes pride in offering solutions that provide a safer work environment for our customers. In an effort to focus on safety, we would encourage you to consider the following items:

- Outrigger pads (When Applicable)
- Fall Protection System
- Fire extinguisher/DOT kit
- Platform Liner (When Applicable)
- Altec Sentry Training
- Wheel Chocks

The aforementioned equipment can be offered in our new equipment quotations. If you find that any of these items have not been listed as priced options with an item number in the body of your quotation and are required by your company, we would encourage you to contact your Altec Account Manager

and have an updated quote version sent to you. These options must be listed with an item number in the quotation for them to be supplied by Altec.

16

Altec values your data privacy. The Altec Family of Companies (including Altec, Inc., and its subsidiaries) may collect telematics data from the equipment you own. Please review Altec's Equipment Data Privacy Notice on www.altec.com for more information. By purchasing equipment from Altec, you consent to Altec's right to collect and use such data.

17

RECOMMENDED OPTIONS AND ACCESSORIES: These options are not included in the quote total price. Selected options will change the quote total. Any options added after initial order will be re-quoted.

Fouts Bros, Inc
138 Roberson Mill Road
Milledgeville, GA 31061
478-696-3941
Account Rep- Alan Berry

Date: 6/26/2023
Model: VN-555-MHI

Quote
Sumter EMC
David
Brokamp
Eddie
Greene

We are pleased to submit the contract for the VERSALIFT VN-555-MHI insulated 55' 3" non-over center, articulated aerial platform lift with a 60' 3" working height, including:

- Standard platform capacity 700 lbs. (317 kg).
- UNITROL single-stick mounted on curbside between boom and platform with integral safety trigger and emergency stop control.
- Primary TruGuard dielectric isolating system with single stick control. All control handles are isolated and tested per ANSI 92.2. The high resistive dielectric system is protected from direct environmental and job related contamination. TruGuard technology incorporates the use of full hydraulic controls with durable metal handles and linkages.
- Automatic throttle control activates with trigger at single stick
- Full pressure turret mounted controls with override.
- Engine start/stop from platform and lower controls.
- Auto throttle disable valve at platform.
- Continuous rotation including 3 slip rings.
- Open center hydraulic system providing 8 to 12 GPM (30-45 LPM) and 3000 psi (210 kg/cm²) system pressure.
- 6.5 ft. (1.98 m) jib and winch with 2000 lbs. (905 kg) capacity. Hydraulic jib articulation and extension is included. Includes 75 ft. (22.8 m) of 9/16 inch (14 mm) diameter synthetic load-line.
- Lift eye on lower boom with 2500 lbs. (1125 kg) capacity.
- 90° hydraulic platform rotation with hydraulic tilt for cleanout or rescue.
- Fiberglass upper boom tested per ANSI A92.2 for Category C 46-KV and below.
- Lower boom articulation 120° with upper boom articulation 192° relative to lower boom
- Vacuum flashover prevention system.
- Chassis insulating system (lower boom insert) providing 18" insulation gap including accommodations to bridge insulation gap for testing per ANSI A92.2
- White urethane over white gel coat on fiberglass upper boom and lower boom insert.
- Two (2) sets of hydraulic tool outlets at platform with 2000 psi reducing valve
- Two (2) ½" diameter return lines.
- External reservoir with a 30 gallon (110 L) capacity and sight level gauge.
- Dual A-frame outriggers with 158 in. (4.0 m) spread with outrigger boom interlock system
- Automatic boom latch. The rotary auto boom latch works off the lift hydraulic pressure to open and close.
- Full length sub frame and mounting hardware for cab and chassis.

- Standard Time white paint.
- Two safety harnesses and lanyards
- Two (2) operators and two (2) service manuals.
- Manufactured and tested per ANSI A92.2
- Continuous rotation with engine start/stop and 12 volt backup pump.
- One (1) two-man 24" x 48" x 42" deep closed fiberglass basket with two steps.
- Vinyl platform cover and liner for 24 in. x 48 in. x 42 in. platform.

Cab and chassis specifications include the following:

- 2023 Peterbuilt Model 337 2X4 cab and chassis, 142 inch CA
- PX9 325 HP diesel engine @ 2400 RPM, 750 lb-ft Torque @ 1800 RPM
- Allison 3000 RDS automatic transmission
- 33,000 lb. GVWR: 13,000 lb. front GAWR and 20,000 lb. rear GAWR
- 22.5x8.25 powder coated steel disc wheels with 11R22.5 tires.
- Driver seat air suspension, passenger fixed two man bench seat
- Engine block heater 120V/1000W
- Power windows and door locks
- Air brake system
- Back up alarm
- Air conditioning and AM/FM radio
- Painted Winter White
- Full chassis specifications available upon request

156 in. x 54 in. x 94 in. line body including the following:

- Stainless steel automotive rotary type door latches and hinges.
- Chain stops on all doors.
- Rubber rolled crown type fenders and automotive bulb type weather stripping.
- Master door lock system.
- Outrigger pad storage holders with pendulum retainers.

Street side compartments:

- **1st vertical:** 24 in. - Five (5) fixed material hooks (1-3-1).
- **2nd vertical:** 24 in. - Two (2) adjustable shelves with dividers
- **3rd vertical:** 24 in. - Two (2) adjustable shelves with dividers
- **Horizontal:** 60 in. - Adjustable dividers installed in compartment bottom
- **Rear vertical:** 24 in. - Two (2) adjustable shelves with dividers.
- **Hot stick shelf:** 156 in. long with rear dropdown access door.

Curbside compartments:

- **1st vertical:** 24 in. - Five (5) fixed material hooks (1-3-1).
- **2nd vertical:** 24 in. - Tread plate access steps to bed area with grab handle on each side
- **3rd vertical:** 24 in. - Two (2) adjustable shelves with dividers
- **Horizontal:** 60 in. - One (1) removable divider shelf with dividers
- **Rear vertical:** 24 in. - Two (2) adjustable shelves with dividers.
- **Tail shelf:** 30 in. tread plate tail shelf.
- **Rear lighting:** Lamp light bar installed at rear of tail shelf and rubber mounted recessed rear lighting kit with LED lights.
- **Wheel chock storage:** - One (1) each side built into wheel wells.

Installation includes the following:

- Install VERSALIFT VN-555-MHI, mounting hardware, PTO and pump.
- Install and paint Line Body and accessories.

- Install main and auxiliary A-frame outriggers with interlock system
- Install BP-100A pintle hitch, reinforcements, and 7 prong trailer connector
- Install two (2) strobe lights in front grill and two (2) amber strobe lights in rear tailshelf
- Install mud flaps, outrigger pad holders, slope indicators, access steps and handrails.
- Relocate glad hands to rear of chassis
- Install grounding kit system, park brake interlock system and quick disconnect fittings.
- Paint black non-skid on body floor.
- Furnish outrigger pads, wheel chocks, fire extinguisher, and 3 piece triangle reflector kit.
- Test ride completed unit for one (1) hour.
- Test and certify per ANSI A92.2

Price Summary

Aerial:

Body:

Installation & Accessories:

Chassis (2023 Peterbuilt 537 4X2):

Complete total net price per unit, F.O.B. current location:

\$339,400.00

Notes

Lead time is summer of 2023.

We have about 20 of these units in Georgia.

We have about 100 of these units in use in the southeastern USA.

They are tough and durable units.

Very reliable.



To: City Council
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/29/2023
Subject: Rezone #2559 – 635 James Huff Rd. – R-1A to PRD to allow for development of a single-family residential subdivision with 129 lots

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:
 The property owner of 635 James Huff Rd. is petitioning for a rezone from R-1A to PRD in order to allow for the development of a single-family detached residential subdivision with 129 lots.

Background:
 Please refer to the attached staff memo to the Planning Commission and staff report for complete details regarding this rezoning request. At the first Planning Commission meeting to consider a recommendation for the rezone, the rezone application was tabled to investigate citizen claims of a spring fed pond and cemeteries being located on the subject property. Both claims were investigated and were not located on the subject property. The details of that investigation and the findings are provided in the staff memo.

Recommendation:
 The Planning Commission voted 4-1 to recommend approval of the rezone from R-1A to PRD subject to two (2) conditions:

1. The minimum lot size in the development shall be 10,000 Sf.
2. The landscape buffer planting scheme shall be subject to the approval of the Planning & Zoning Director at the time of Preliminary Plat approval. The landscape buffer shall include at a minimum:
 - a. An earthen berm no less than 6 feet in height and a maximum slope of 50 percent.
 - b. Tree plantings with a density of one tree planted every 40 feet of linear distance within the landscape buffer. Trees shall be a minimum of 2-inch caliper and 6-feet in height at the time of planting.
 - c. Evergreen plant material in the form of large and small shrubs staggered throughout the landscape buffer.

Attachment(s):
 Staff Memo to Planning Commission
 Staff Report
 Application Documents



To: Monroe Planning Commission
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/13/2023
Subject: Rezone #2559 – 635 James Huff Road – PRD Rezone – 129 Single-Family Residential Lots

Background:

At the August 15, 2023 Planning Commission meeting, the case described above was tabled by the Planning Commission in response to two concerns raised by citizens during the public hearing. The two issues specifically were regarding the possibility of a cemetery being located on the property and the possibility that the existing farm pond on the site was spring fed.

Findings:

Wetlands: A report prepared on February 15, 2006 when the property was originally tracking to be developed contains an ecology survey of the potential environmental features of the site. The farm pond is identified as being an isolated farm pond for storm water collection and cattle watering. No spring was identified as being a source of water for the farm pond. The report is attached with this memo.

Cemetery: The citizen who raised concerns regarding a potential cemetery provided staff with genealogical research and information regarding the cemetery’s location. Based upon the information provided and subsequent mapping of the site, there is no cemetery located on the subject property. The family cemetery is located on an adjoining property north of the site across Jacks Creek.

Recommendation:

The staff’s recommendation for this rezone request remains unchanged from the original report for approval subject to the 2 conditions outlined in the original staff report.

Attachment(s):

- Original Staff Report
- Application Documents
- JJG Ecological Survey 2/15/2006
- Cemetery Info & Maps



6801 Governors Lake Parkway
Building 200
Norcross, Georgia 30071
T 770.455.8555
F 770.455.7391
www.jjg.com

February 15, 2006

Mr. Jim Huffstetler
D.R. Horton Homes
8200 Roberts Drive
Suite 400
Atlanta, Georgia 30350

RE: Ecology Survey
James Huff Road Site
Walton County, Georgia

Dear Mr. Huffstetler,

As part of the due diligence evaluation for a proposed residential development site in Walton County, Georgia, Jordan, Jones & Goulding, Inc. (JJG) conducted a stream and wetland delineation on an approximate 50-acre site. The subject property is located in the northeast corner of the James Huff Road and Old Athens Highway intersection. The project area is situated on the Monroe, Georgia 7.5 minute United States Geological Survey (USGS) topographic map (Figure 1).

Field studies identified the presence of one wetland, two streams, and one palustrine open water farm pond. The wetland was classified as a palustrine forested/ emergent system. The farm pond appears to be an isolated depressional area used for cattle watering and storm water collection. There was no obvious connection to a jurisdictional feature observed within the property boundary. The isolated status of this farm pond would need to be verified by the United States Army Corps of Engineers (USACE). One stream was classified as a riverine, lower perennial system and one was classified as riverine, intermittent system. Wetland boundaries were identified with pink flagging marked "Wetland Boundary". The centerlines of streams were marked with blue and white striped flagging. The locations of wetlands and streams were surveyed with a Trimble Pro XH Global Positioning System (GPS) and field mapped. Please refer to Figure 1 for the locations of these features. Each jurisdictional system is briefly described below.

Jurisdictional Areas

Jurisdictional Wetland 1

Jurisdictional Wetland 1 is located on the north portion of the site immediately south of the lower perennial drainage noted as Stream 1. The wetland is classified as a palustrine, forested/

emergent, broad-leaved deciduous system with a seasonally flooded hydrologic regime (PFO/PEM1E). Dominant vegetation included soft rush (*Juncus effusus*), bushy seedbox (*Ludwigia alternifolia*), sweet gum (*Liquidambar styraciflua*), red maple (*Acer rubrum*), and box elder (*Acer negundo*). Wetland hydrology indicators included saturated soils, inundation, water-stained vegetation, oxidized root channels, and drainage patterns. In addition, there are two small springs located within the wetland. Soils sampled from a depth of 0 to 12 inches had a matrix color of 2.5Y 6/1 with mottles of 2.5Y 5/2 and a texture of sandy loam.

Jurisdictional Stream 1

Jurisdictional Stream 1, an unnamed tributary to Jacks Creek, makes up the north border of the site. The stream is classified as a riverine, lower perennial, unconsolidated bottom system with a substrate consisting of cobble, gravel, and sand (R2UB12) with areas of bedrock. The drainage is approximately four to six feet wide at ordinary high water and approximately ten to fifteen feet in width at the top of channel.

Jurisdictional Stream 2

Jurisdictional Stream 2 is a small tributary to Stream 1. This drainage is classified as a riverine, intermittent, streambed system with a substrate consisting of sand and mud (R4SB45). The stream is approximately one foot wide at ordinary high water and approximately three to four feet in width at the top of channel. Within the wetland boundary, Stream 2 does not have a defined channel.

Pond 1

Pond 1 is a small open water feature currently used for storm water collection and cattle watering. The pond is classified as palustrine, open water. The pond appears to be an isolated, depressional area with no defined channel exiting the feature. However, the isolated status of this farm pond would need to be verified by the United States Army Corps of Engineers (USACE) if this pond would be impacted by the development.

Please refer to Table 1 for a summary of the features identified.

Table 1.
Summary of Features Identified

Water Feature	USGS Stream Association	Community / Flow Regime	Cowardin Classification	Approx. Area Surveyed (ac)	Approx. Length Surveyed (ft)
Wetland					
Wetland 1	Tributary to Jacks Creek	emergent/forested	PFO/PEM1E	0.55	N/A
Approximate Total Wetland Area Surveyed				0.55 ac	N/A
Streams					
Stream 1	Tributary to Jacks Creek	lower perennial	R2UB12	N/A	1,314
Stream 2	Tributary to Jacks Creek	intermittent	R4SB45	N/A	105
Approximate Total Linear Stream Length Surveyed				N/A	1,419
Ponds					
Pond 1	Tributary to Jacks Creek	open water	POW	0.15	N/A
Approximate Total Pond Area Surveyed				0.1 ac	N/A

Mapped Soils within the Project Area

The *Soil Survey of Walton County, Georgia* (USDA, 1961) was consulted to determine soil-series within the project area. These soil series were compared to the *Hydric Soils of the United States* (USDA-SCS, 1991) to determine if hydric soils are known to occur within the study area. According to the soil survey, soils within the site limits consist of Alluvial Land and Lloyd Series. Neither of these soil series are considered hydric. Refer to Figure 2 for a map of soils in the project area.

Anticipated U.S. Army Corp of Engineers Permit Requirements

If the proposed project would impact jurisdictional areas, coordination with the USACE could be required if impacts exceed 0.1 acre of wetland, 100 linear feet of intermittent stream, or any length of perennial stream. If the USACE determines Pond 1 to be isolated, then the USACE does not have jurisdiction over this pond and impacts to this feature would not require a USACE permit. Minor jurisdictional impacts are typically eligible for the Nationwide Permit Program (NWP). Specifically, development projects such as this one qualify for NWP 39 (residential, commercial, and institutional development). This permit has an impact threshold of 0.5 acre of wetlands and 300 linear feet of streambed. Impacts exceeding 0.10-acre of wetland or impacts to any length of perennial stream require formal USACE notification. Compensatory mitigation would be required if impacts exceed 0.1 acre of wetland or 100 linear feet require of stream. This permit cannot be used for impacts associated with fill activity to jurisdictional areas within a 100-year floodplain. Typically, a Nationwide Permit can be obtained in 45 to 60 days.

Impacts exceeding 300 linear feet of stream or greater than 0.5 acres of wetland would require an Individual Permit. This permit typically takes from 6 to 12 months to obtain and requires a

public notice process. Individual Permits take longer to obtain due to agency coordination and required USACE internal documentation that impacts have been avoided and minimized.

Permit requirements cannot be determined until a final concept has been prepared.

State and Local Buffer Issues

The Georgia Erosion and Sedimentation Act of 1975 as amended requires that a 25-foot buffer be maintained along state waters. The majority of proposed land disturbing activities within the 25-foot buffer require obtaining a stream buffer variance from the Georgia Environmental Protection Division (EPD). The local issuing authority is responsible for determining if state waters are on site and is responsible for determining if a stream buffer variance is required. As of January 1, 2005, procedures for evaluating stream buffer variances applications were revised. Based on those revisions, the best approach to obtaining a 25-foot buffer variance for this project is to apply under criterion (h), which is discussed below.

Criteria (h) states that – “for non-trout waters, the proposed land disturbing activity within the buffer will require a permit from the United States Army Corps of Engineers under Section 404 of the Federal Water Pollution Control Act Amendment of 1972, 33 U.S.C. Section 1344, and the Corps of Engineers has approved a mitigation plan to be implemented as a condition of such a permit”. This criteria requires the Section 404 permit to be issued prior to EPD accepting the stream buffer application. This means that the stream buffer process cannot begin until the USACE permitting is complete.

Other application criteria area available if a variance is needed but an USACE permit is not required. After receiving the completed permit application, EPD has three weeks to request additional information or proceed with the public notice. The legal notice must be published in the local legal paper. The public then has 30 days to comment before EPD can proceed with the permit process. In addition, EPD is likely to conduct a site visit prior to approving the permit. Based on recent projects, the EPD has been taking from 3 to 5 months to issue stream buffer variances. On a case by case basis, EPD could require additional mitigation beyond USACE requirements.

The EPD focuses their evaluation of the stream buffer variance application on documenting avoidance and minimization of buffer impacts. Even though a project may have a USACE permit, the EPD is not required to approve the buffer variance application.

Conclusion

Field studies conducted by JJG determined that one wetland, one pond, and two jurisdictional streams occur within the site boundary. If the proposed project requires these areas to be impacted, coordination with the USACE could be required. Impacts to these jurisdictional areas could be permitted under Nationwide Permit 39 (Residential, Commercial, and Institutional Developments) if the final design cannot avoid jurisdictional impacts. Impacts exceeding 0.5-acres or 300 linear feet would require an Individual Permit.

Mr. Jim Huffstetler
February 15, 2006
Page 5

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EPD requires a 25-foot buffer along state waters. The local issuing authority is responsible for determining if state waters are on site and is responsible for determining if a stream buffer variance is required. If a variance is required, a buffer variance application must be submitted to EPD for review. Even though a project may have a USACE permit, the EPD is not required to approve the buffer variance application.

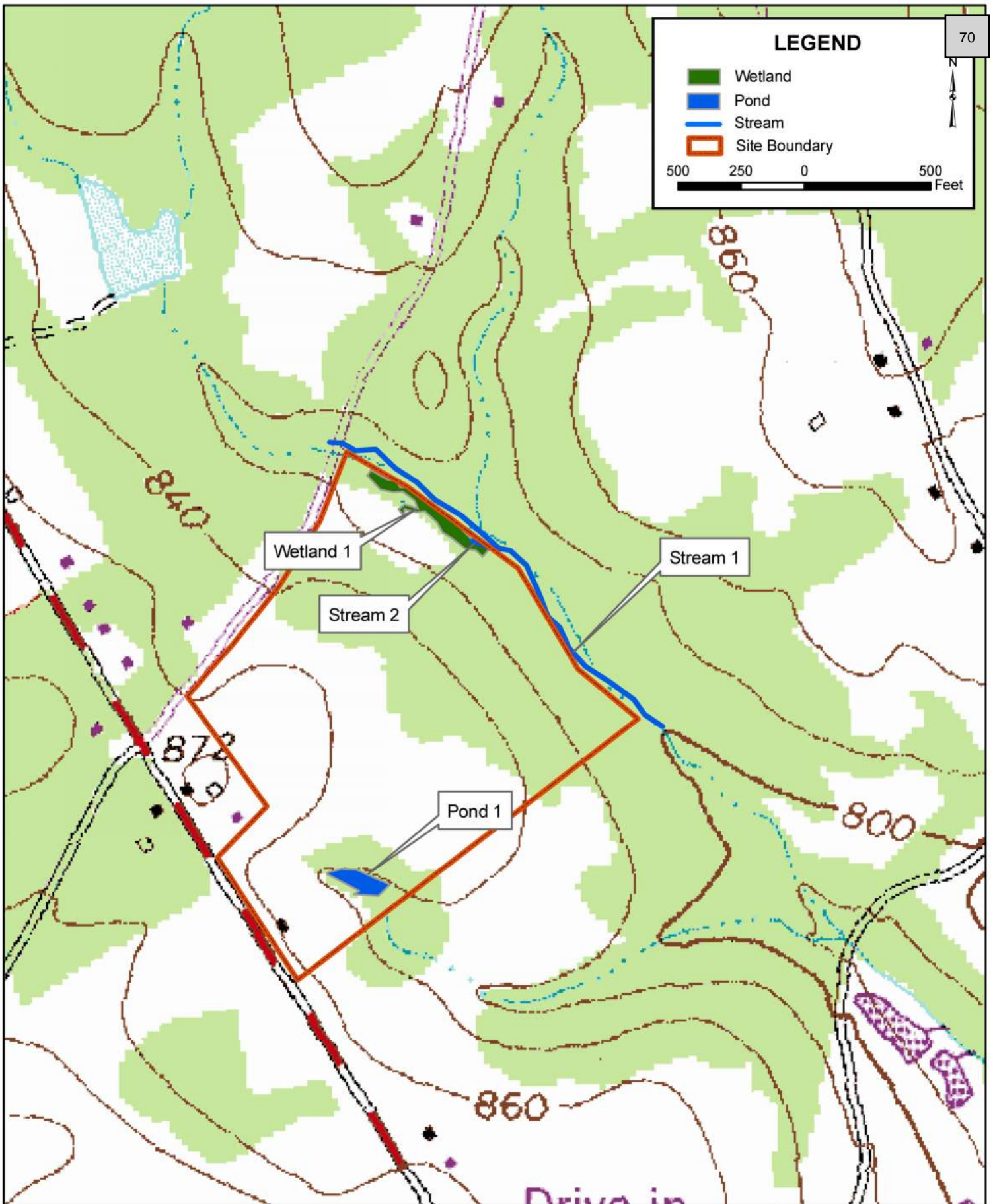
We appreciate the opportunity to be of continued service to you. If you have questions or comments concerning these issues, please call me at (678) 333-0445.

Sincerely,

JORDAN, JONES & GOULDING, INC.

A handwritten signature in black ink, appearing to read "Mark Ballard", with a long horizontal flourish extending to the right.

Mark Ballard, PWS
Ecology Department Manager



LEGEND

- Wetland
- Pond
- Stream
- Site Boundary

500 250 0 500 Feet

Wetland 1

Stream 2

Stream 1

Pond 1

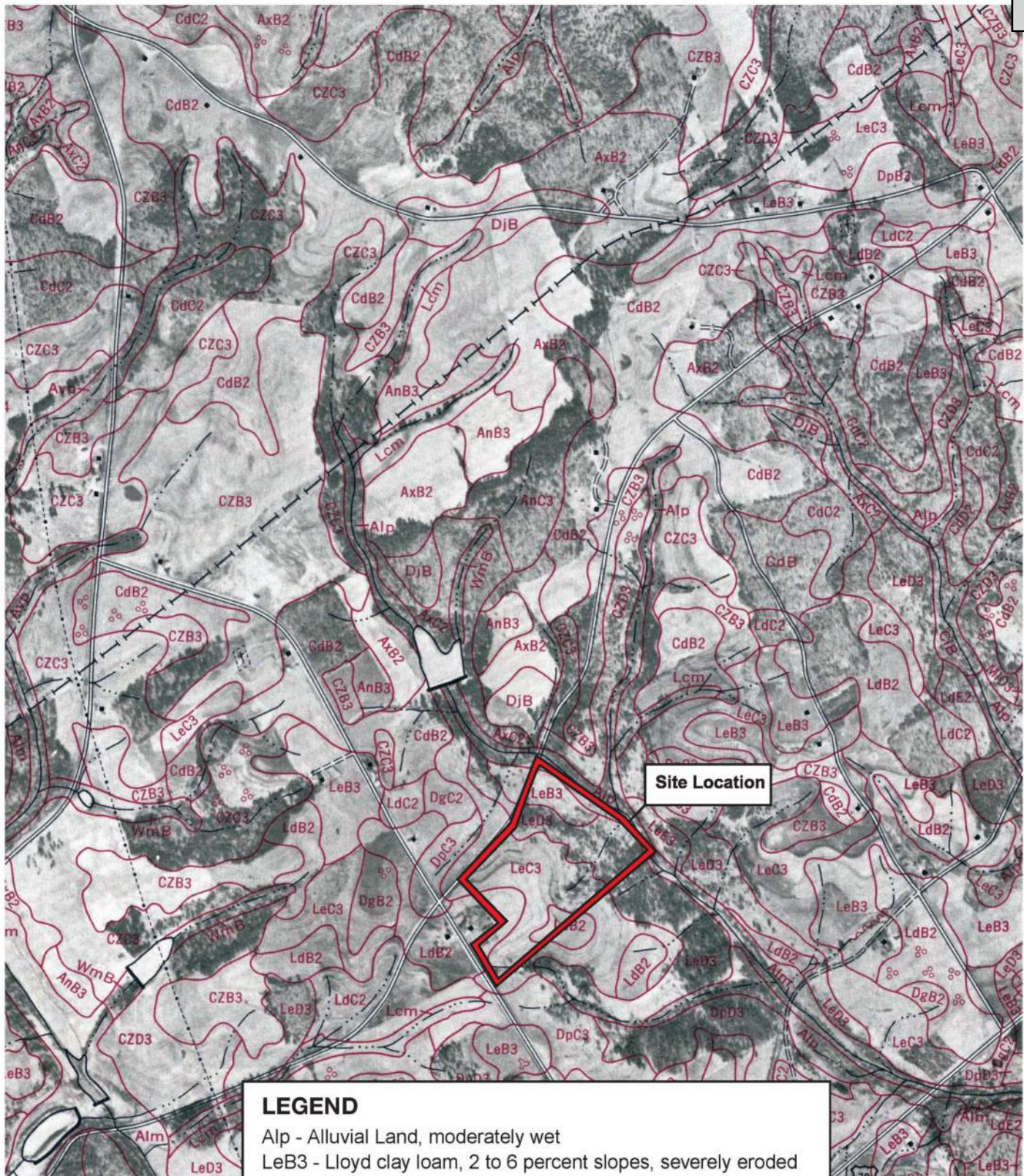


James Huff Road Site
Walton County, Georgia

Date: February 2006
Scale: 1" = 500'
Proj. No.: 06841041

Site Location and Jurisdictional Areas

Figure 1



LEGEND

- Alp - Alluvial Land, moderately wet
- LeB3 - Lloyd clay loam, 2 to 6 percent slopes, severely eroded
- LeD3- Lloyd clay loam, 10 to 15 percent slopes, severely eroded
- LeC3- Lloyd clay loam, 6 to 10 percent slopes, severely eroded
- LdB2- Lloyd sandy loam, 2 to 6 percent slopes, eroded



**JORDAN
JONES &
GOULDING**

James Huff Road Site
Walton County, Georgia

Soils Map

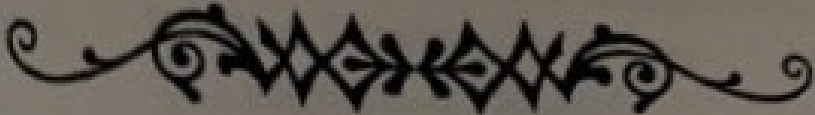
Date: February 2006

Job No.: 06841041

Figure 2

Rezone #2559 - 635 James Huff Road PRD Rezone

Cemetery Info & Maps



Glasson Family Cemetery

Located 1 mile northeast of Monroe in Land Lot 130, 3rd District
GPS coordinates: N 33° 49'38.2", W 83° 40'58.6"

Directions: From intersection of James Huff Road and Old Athens Hwy., go one-third mile northeast on Old Athens Hwy. to cemetery located 100 feet on the right (south) side of road.

Prior survey/publication: None found.

Notes: Surveyed 30+ graves 4 July 2000. Reported as the Glasson Family Cemetery on 23 June 2000 by descendant, Mr. Julian D. Kelly, Jr., of Savannah, GA. He submitted a detailed report of the cemetery from which is excerpted: "John Glasson was born in North Carolina between 1770 and 1774 and came to Jackson County, GA, by 1801. He married Elizabeth "Betsey," dau. of Philip Awbrey, by about 1803. In 1823 Glasson purchased Lot No. 130 in the

Mr codes: B=Broken D=Double F=Foot FH=Funeral Home L=Loose M=Military Q=Multiple T=Triple U=Uninscribed UG=None
Walton County Georgia Cemeteries (East) © 2002 East Georgia Genealogical Society

33 49 38.2 N, 83 40 58.6 W

33°49'38.2"N 83°40'58.6"W
33.827278, -83.682944

Directions Save Nearby Send to phone Share

- Walton County School District, GA
- R8G8+WR7 Monroe, Georgia
- Add a missing place
- Add your business
- Add a label

Layers

Restaurants Hotels Things to do Transit Parking Pharmacies ATMs

635 James Huff Rd.

Google

Map data © 2023 United States Terms Privacy Send feedback

Layers Map Search Sales Search Sales List Results Sales Results Report Field Definitions Home

Layer List Legend

Quick Links:
[Search Records](#)
[View Map](#)

Layers:

- Contour Lines 2Ft
- Contour Lines 10Ft
- Contour Lines - Tile Index
- Parcels
- Parcel Numbers
- Parcel Numbers + Acreage
- Address Points (work in progress)
- Subdivisions and Places
- Yearly Sales
- Land Districts/Lots
- Lot Numbers
- Gas Service Territories
- Electric Service Territories
- Roads
- Highway Mile Markers
- Future Land Use Plan 2022
- Hwy 11 Project
- Hwy 20 Project
- USA Major Highways
- Railroads
- Zoning
 - County Zoning
 - City of Monroe
 - Social Circle
 - Loganville
- Watershed Protection Overlay
- City Labels
- City Limits
- Soils
- Trees
- Law Enforcement Zones
- Fire Department Zones
- Fire Stations

C1230063
 RODGERS JULIA JOHNSTON KELLY &
 KELLY RABURN BLANC MONROE
 OLD ATHENS HWY
 3.02 Acres Value \$66,400
[View Report](#) | [Field Definitions](#) | [Google Maps](#)

Monroe

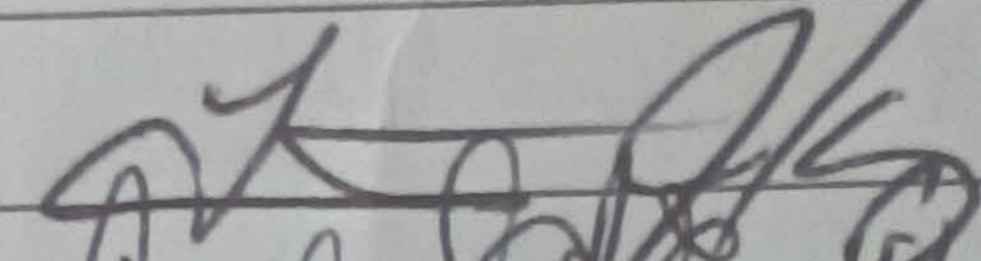

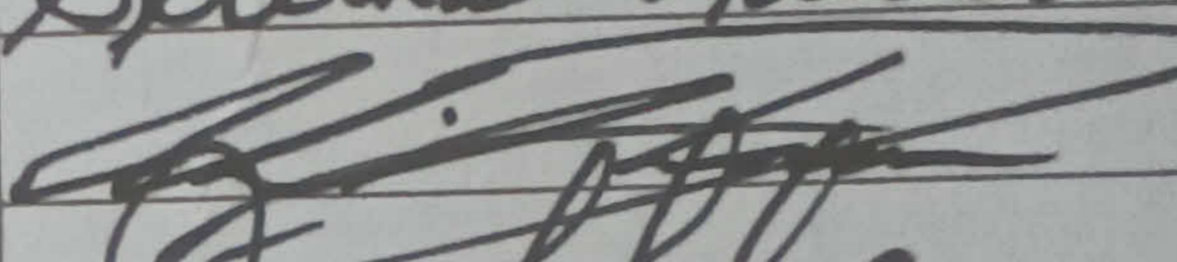
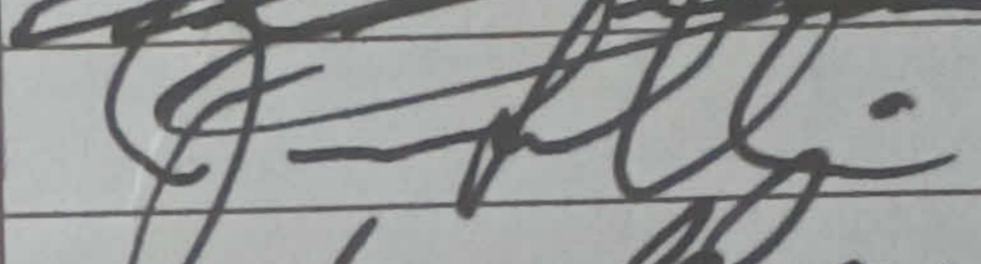
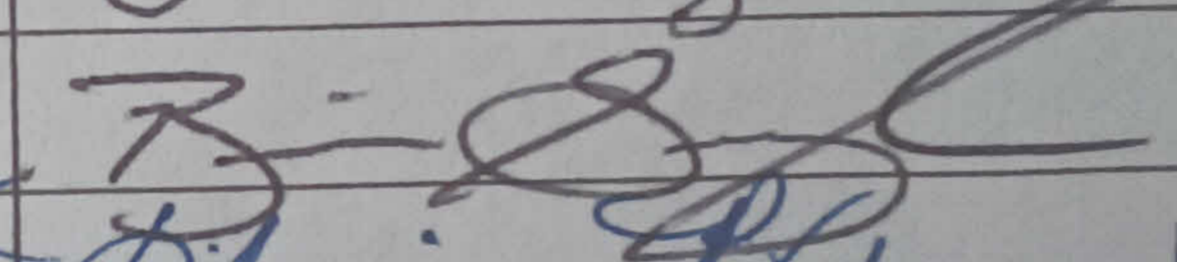
Parcel ID	M0220001	Owner	MADISON RIDGE LAND LLC	Last 2 Sales			
Class Code	Agricultural		P O BOX 1796	Date	Price	Reason	Qual
Taxing District	Monroe		MONROE, GA 30655	10/22/2021	\$2250000	TR	U
Acres	49.03	Physical Address	635 JAMES HUFF RD	2/17/2016	0	UI	U
		Appraised Value	Value \$557260				

(Note: Not to be used on legal documents)

75

Residents of JAMES HUFF RD. / OLD ATHENS HIGHWAY / AND SURROUNDING AREA

Petition AGAINST THE City of Monroe, Walton County, GA
Rezone Application Case #2559: from R-1A to PRD
635 James Huff Rd./ Madison Ridge / Old Athens Hwy.

Printed Name	Address	Signature	Date
Timothy Kemp	946 James Huff Rd		9/8/23
Yathia Johnson Kemp	946 James Huff Rd		9/13/23
Beretta Lawson	978 James Huff	Beretta Lawson	9/13/23
Akil Lawson	962 James Huff Rd		13 Sep 2023
JAMES LOCKLIN	910 JAMES HUFF RD		9-13-23
LA ROLD MOON	1206 Old Athens Hwy	La Rold Moon	9-15-23
Cory Scarborough	1010 James Huff Rd	Cory Scarborough	9-18-23
Amy Scarborough	1010 James Huff Rd	Amy Scarborough	9-18-23
Corbin Scarborough	1010 James Huff Rd	Corbin Scarborough	9-18-23
Brian Scarborough	1010 James Huff Rd		9-18-23
Maurice Brown	999 Gratis Rd. N.C.	Maurice P Brown	9-18-23
Kath L Ross	1069 Gratis James Huff Rd	Keith T. Ross	9-18-23
Chub Webb	1075 James Huff Rd	Chub Webb	9-18-23

Petition AGAINST THE City of Monroe, Walton County, GA
Rezone Application Case #2559: from R-1A to PRD
635 James Huff Rd./ Madison Ridge / Old Athens Hwy.

Printed Name	Address	Signature	Date
Connie Bentley	1358 Old Athens	Connie Bentley	9/8/23
Richard Payer	1360 Old Athens	Richard Payer	9-8-23
Zosh Bentley	1358 Old Athens	Zosh Bentley	9/8/23
Eric Floyd	1020 James Huff Rd	Eric Floyd	9/14/23
Timmy Rutledge	1340 NW Old Athens	Timmy Rutledge	9-16-23
Elaine Rutledge	1340 NW Old Athens	Elaine Rutledge	9-16-23
Loray Wynn	1519 Old Athens	Loray Wynn	9-16-23
Marcie Gardina	1555 Old Athens	Marcie Gardina	9-16-23
Robert Leavelle	1603 Old Athens	Robert Leavelle	9-16-23
Daron Edward	1589 Old Athens	Daron Edward	9-16-23
Debra Edward	1589 Old Athens	Debra Edward	9-16-23
Ruby Lawson	1580 Old Athens	Ruby Lawson	9/16/23
J. Larry Lawson	1580 Old Athens	J. Larry Lawson	9/16/23
Donald + Lori Huff	699 James Huff Rd	Donald C. Huff (signature)	9-16-23
Wayne Waters	865 James Huff Rd	Wayne Waters	9-16-23
Lisa Waters	865 James Huff Rd	Lisa Waters	9-16-23
Harlec Waters	865 James Huff Rd	Harlec Waters	9-16-23
Chris Dolan	855 James Huff Rd	Chris Dolan	9-16-23
Bayle Miller	855 James Huff Rd	Bayle Miller	9/16/23
Donna Wellborn	845 James Huff Rd	Donna Wellborn	9-16-23
James L Wellborn Sr	845 James Huff Rd	James L Wellborn Sr	9-16-23
Ricky Emerick	715 James Huff Rd	Ricky Emerick	9-16-23
Ernest Frost Sr	690 James Huff Rd	Ernest Frost	9-17-23
Wanda Mitchell	670 James Huff Rd	Wanda Mitchell	9-17-23
Jaye Peppers	712 James Huff Rd	Jaye Peppers	9-14-23
Judy Davis	755 James Huff Rd	Judy Davis	9/14/23

<u>Printed Name</u>	<u>Address</u>	<u>Signature</u>	<u>Date</u>
Maudelle Smith	1280 Old Athens Hwy.	M. Smith	9/17/23
Ronnie Smith	1250 Old Athens Hwy.	R. Smith	9/17/23
Mary Thomas	1279 Old Athens	M Thomas	9/17/23
Nathaniel Robertson	1279 Old Athens Hwy	N. Robertson	9/17/23



**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 2559

DATE: August 9, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Madison Ridge Land LLC

PROPERTY OWNER: Madison Ridge Land LLC

LOCATION: East side of James Huff Road and the south side of Old Athens Hwy – 635 James Huff Rd.

ACREAGE: ±49.03

EXISTING ZONING: R-1A (Medium Lot Residential District)

EXISTING LAND USE: Single-family dwelling and accessory buildings

ACTION REQUESTED: Rezone R-1A to PRD (Planned Residential District)

REQUEST SUMMARY: The owner is petitioning for a rezone in order to develop the property for a single-family detached residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request with conditions.

DATES OF SCHEDULED MEETINGS

PLANNING COMMISSION: August 15, 2023

CITY COUNCIL: September 12, 2023

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone from R-1A (Medium Lot Residential District) to PRD (Planned Residential District) in order to develop a single-family detached residential subdivision. The basis for this rezone is to comply with Section 820 of the Zoning Ordinance requiring all new single-family residential development be rezoned to a planned district. The subject property was annexed into the City on June 13, 2006 and zoned to R-1A. The subject property currently contains one single-family residence. County tax records indicate the existing residence was constructed in 1962. The existing single-family dwelling will be razed for the new development. The applicant proposes to develop the site with 129 single-family detached residential lots and an amenity area.

PROPOSED PROJECT AMENDMENT SUMMARY:

- Rezone – Planned Residential Development
 - Site Area – ±49.03 Acres

- Proposed Lots – 129; minimum lot sizes will be ±8,000 Sf abutting public streets and landscaped areas and the remaining minimum lot sizes will be ±10,000 Sf
- Dwelling Sizes – min. ±1,500 Sf
- Architecture – no architectural examples were provided in the request; the applicant proposes the default design for single-family dwellings will be built in accordance with the requirements of Section 910 of the Zoning Ordinance

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The subject property is currently zoned R-1A (Medium Lot Residential District). The subject property has been zoned R-1A since annexation into the City on June 13, 2006. A single-family residence has been on the property since 1962. The basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district.

- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to PRD (Planned Residential District) to develop the property for 129 single-family detached residential dwellings.

- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** All of the properties surrounding the site are unincorporated Walton County and contain single-family residences on medium sized properties. The original intent to develop the property as a single-family residential subdivision remains unchanged from the original annexation into the City in 2006. The primary basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district. The submitted pattern book for the rezone request does not propose any landscaping details for the landscape buffer adjacent to the public roadways. In order to minimize the visual impacts of the backs of homes facing the existing roadways, staff has included conditions regarding the minimum lot sizes in those locations as well as minimum landscape standards to include in the landscape buffer.

- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted development plan illustrates a single-family residential subdivision with a network of streets connected to existing streets adjacent to the development. Two entrances are proposed into the development with one entrance off James Huff Road and one entrance off Old Athens Highway. Additional traffic will be generated by the development with increased vehicular trips. A traffic study was not submitted with this rezone request. With the exception of approximately 250 feet of frontage on Janes Huff Road, the roadways are under the authority of Walton County. Sanitary sewer, water, natural gas

and telecommunications are available to serve the development. At the time of this report, sanitary sewer and water services infrastructure do not require upgrades to the serve the proposed development. Due to the location of the property at the City’s edge and accessed through mostly unincorporated areas, fire and police response times to the development will be prolonged. Additional City services should be adequate to serve the proposed development.

(5) Whether the zoning proposal is consistent with the Comprehensive Plan: The subject property is located in the North Sub-Area as identified in the Monroe Comprehensive Plan. The existing character of this vicinity of the North Sub-Area is predominantly undeveloped with single-family residential and limited non-residential uses near Hwy 78. The future character of this sub-area will be predominantly single-family residential. The proposed rezone to develop the property for a single-family residential subdivision meets the intent of the goals of the Comprehensive Plan.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: The underlying basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone to allow for the development of the property for a single-family residential subdivision and that it be subject to the following conditions:

1. The minimum lot size in the development shall be 10,000 Sf.
2. The landscape buffer planting scheme shall be subject to the approval of the Planning & Zoning Director at the time of Preliminary Plat approval. The landscape buffer shall include at a minimum:
 - a. An earthen berm no less than 6 feet in height and a maximum slope of 50 percent.
 - b. Tree plantings with a density of one tree planted every 40 feet of linear distance within the landscape buffer. Trees shall be a minimum of 2-inch caliper and 6-feet in height at the time of planting.
 - c. Evergreen plant material in the form of large and small shrubs staggered throughout the landscape buffer.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE PERMIT

PERMIT #:	2559	DESCRIPTION:	Rezone from R-1A to PRD
JOB ADDRESS:	635 JAMES HUFF RD	LOT #:	
PARCEL ID:	M0220001	BLK #:	
SUBDIVISION:		ZONING:	R-1A
ISSUED TO:	MADISON RIDGE LAND LLC	CONTRACTOR:	MADISON RIDGE LAND LLC
ADDRESS:	PO Box 1796	PHONE:	
CITY, STATE ZIP:	Monroe GA 30655	OWNER:	
PHONE:		PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	7/19/2023
VALUATION:	\$ 0.00	EXPIRATION:	1/15/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-08	REZONE TO PLANNED DISTRICT	\$ 600.00
FEE TOTAL		\$ 600.00
PAYMENTS		\$ -600.00
BALANCE		\$ 0.00

NOTES:

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



 (APPROVED BY)

7/19/23
 DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00539093

82

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 7/19/2023 2:46:30 PM

Transaction Code: BP - Building Projects Payment

Name: MADISON RIDGE LAND LLC \$600.00

Total Balance Due: \$600.00

Payment Method: Check Payn Reference:

Amount: \$600.00

Total Payment Received: \$600.00

Change: \$0.00



CITY OF MONROE REZONE APPLICATION

RECEIVED
#2559

REZONE LOCATION & DESCRIPTION

Address (or physical location): 635 James Huff Rd Monroe, GA 30655

Parcel #(s): M0220001

Acreage/Square Feet: 49.03 Council Districts: 24 / 78

Existing Zoning: R1A Proposed Zoning: PRD

Existing Use: Undeveloped

Proposed Use: Residential subdivision

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Madison Ridge Land LLC Phone #: 678-670-1222

Address: PO Box 1796 City: Monroe State: GA Zip: 30655

Applicant (if different than owner): N/A Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

REZONE INFORMATION

Describe the current zoning of the subject property and abutting properties. Describe all existing uses on abutting properties (1421.4(2)(c)): _____

The current zoning of the property is R1A. The property is bounded to the north by Old Athens Highway. The property is bounded to the east by properties in unincorporated Walton County in the Hunters Crossing subdivision which is zoned R1. The property is bounded to the south by a single residential property in unincorporated Walton County zoned A2. The property is bounded to the west by James Huff Road and two residential parcels in unincorporated Walton County zoned A2.

Provide a statement explaining the intent of the requested zoning change, the proposed use, and any special or unusual parts of the rezoning request (1412.4(2)(d)): _____

The applicant is requesting zoning to PRD largely consistent within the existing zoning and character of R1A. The proposed use is a residential subdivision.

REZONE INFORMATION CONT.

Describe the suitability for development under the existing zoning vs. the proposed zoning. Describe all existing uses and structures (1421.4(2)(e)): The property is currently undeveloped. The existing zoning is R1A
and the proposed PRD zoning request is consistent with the existing zoning.

Describe the duration of vacancy or non-use if the property is vacant and unused at the time the application is submitted (1421.4(2)(f)): The property is undeveloped at this time.

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(k)):

- City Water
- Private Well
- City Sewer
- Septic Tank
- Electrical
- Gas
- Telecom

REQUIRED SUBMITTAL ITEMS (1421.4(2))

SELECT THE APPLICABLE ITEMS FOR THE REQUEST

- Completed Application
- Fee (see Fee Schedule)
- Typed Legal Description
- Typed Detailed Description of the Request
- Survey Plat
- Deed
- Proof of all property taxes paid in full
- Site Plan

Drawn to scale, showing the following:

- Proposed Uses/Buildings
- Proposed Improvement Information
- Parking
- Traffic Circulation
- Landscaping/Buffers
- Stormwater/Detention Structures
- Amenities

Commercial & Industrial Rezoning Site Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum Gross Square Footage of Structures
- Minimum Square Footage of Landscaped Area
- Maximum Structure Height
- Minimum Square Footage of Parking & Drives
- Proposed Number of Parking Spaces
- Required Buffers

Residential Rezoning Sites Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum # of Dwelling Units/Lots
- Maximum Structure Height
- Minimum Square Footage of Dwellings
- Minimum Lot Size
- Maximum Lot Coverage
- Maximum Structure Height
- Location of Amenities
- Required Buffers

For Planned Districts, the applicant must submit a pattern book for review before submitting any rezoning application. Any submittal of a rezone application for a Planned District which has not undergone a preliminary review by staff will be considered incomplete. The pattern book and rezoning site plan shall include all of the applicable items listed above as well as any identified by staff during the preliminary review process:

- Pattern Book Review Completed
- Other Items as identified as required by the Code Enforcement Officer

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: [Signature] DATE: 4/8/23

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

SIGNATURE: _____ DATE: _____

NOTARY PUBLIC:

SWORN TO AND SUBSCRIBED BEFORE THIS _____ DAY OF _____, 20_____

NOTARY SIGNATURE: _____

DATE: _____

SEAL:

It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.

Land Description

James Huff Road – Tract 1

All that tract or parcel of land lying and being in City of Monroe Land Lots 130 and 131 of the 3rd Land District of Walton County Georgia containing 49.00 acres more or less, as shown in a survey prepared by Blue Landworks LLC and being more particularly described as follows:

Beginning at an iron pin found (1/2" rebar) being on the Northeastern margin of James Huff Road (80' R/W) and having a State Plane Coordinate of N:1390101.19 E:2443003.23 Georgia West Zone. Said 1/2" Rebar being the **True Point of Beginning**.

Thence 761.47 feet along the arc of a curve to the right having a radius of 24161.92 feet and chord bearing and distance of North 31 degrees 55 minutes 39 seconds West 761.44 feet to an iron pin set (1/2" Rebar w/ cap);

Thence departing said margin North 59 degrees 29 minutes 44 seconds East 208.71 feet to an iron pin set (1/2" Rebar w/ cap);

Thence North 30 degrees 37 minutes 53 seconds West 424.50 feet to an iron pin set (1/2" Rebar w/ cap) said pin being on the Southeastern margin of Old Athens Hwy (70' R/W);

Thence North 40 degrees 05 minutes 42 seconds East 337.43 feet to a point;

Thence North 38 degrees 47 minutes 04 seconds East 255.61 feet to a point;

Thence 325.21 feet along the arc of a curve to the left having a radius of 875.51 feet and chord bearing and distance of North 29 degrees 28 minutes 03 seconds East 323.34 feet to a point;

Thence North 20 degrees 05 minutes 52 seconds East 116.56 feet to a point;

Thence North 18 degrees 10 minutes 00 seconds East 134.23 feet to an iron pin found (Axle);

Thence departing said margin along the centerline of a creek the following courses and distances.

South 81 degrees 07 minutes 15 seconds East 30.57 feet to a point;

Thence North 30 degrees 45 minutes 35 seconds East 17.56 feet to a point;

Thence South 83 degrees 15 minutes 21 seconds East 38.98 feet to a point;

Thence South 33 degrees 31 minutes 38 seconds East 29.19 feet to a point;

Thence North 82 degrees 53 minutes 40 seconds East 62.04 feet to a point;

Thence South 33 degrees 59 minutes 17 seconds East 41.80 feet to a point;

Thence South 41 degrees 22 minutes 39 seconds East 41.66 feet to a point;

Thence South 48 degrees 04 minutes 32 seconds East 38.75 feet to a point;

Thence South 68 degrees 46 minutes 17 seconds East 83.88 feet to a point;

Thence South 48 degrees 43 minutes 30 seconds East 132.35 feet to a point;

Thence South 55 degrees 44 minutes 39 seconds East 111.92 feet to a point;

Thence South 60 degrees 07 minutes 21 seconds East 47.70 feet to a point;

Thence South 52 degrees 08 minutes 29 seconds East 128.73 feet to a point;

Thence South 32 degrees 43 minutes 57 seconds East 26.86 feet to a point;

Thence South 63 degrees 47 minutes 29 seconds East 61.63 feet to a point;

Thence South 39 degrees 13 minutes 07 seconds East 29.35 feet to a point;

Thence South 63 degrees 38 minutes 16 seconds East 42.94 feet to a point;

Thence South 12 degrees 00 minutes 45 seconds West 41.03 feet to a point;

Thence South 27 degrees 38 minutes 09 seconds East 65.64 feet to a point;

Thence South 26 degrees 50 minutes 35 seconds East 54.95 feet to a point;

Thence South 37 degrees 37 minutes 13 seconds East 23.63 feet to a point;

Thence South 26 degrees 11 minutes 59 seconds East 61.85 feet to a point;

Thence South 69 degrees 12 minutes 50 seconds East 40.29 feet to a point;

Thence South 04 degrees 59 minutes 32 seconds East 45.19 feet to a point;

Thence South 29 degrees 49 minutes 38 seconds East 50.10 feet to a point;

Thence South 38 degrees 42 minutes 00 seconds East 29.31 feet to a point;

Thence South 42 degrees 07 minutes 31 seconds East 73.13 feet to a point;

Thence South 58 degrees 01 minutes 34 seconds East 69.23 feet to a point;

Thence South 49 degrees 18 minutes 33 seconds East 96.99 feet to a point;

Thence South 63 degrees 29 minutes 02 seconds East 79.56 feet to a point;

Thence South 38 degrees 16 minutes 45 seconds East 68.18 feet to a point;

Thence South 51 degrees 43 minutes 45 seconds East 93.69 feet to a point;

South 35 degrees 07 minutes 27 seconds East 6.13 feet to a point;

Thence South 57 degrees 18 minutes 58 seconds West 1781.84 feet to an iron pin found (1/2" Rebar) said pin being on the Northeastern margin of James Huff Road (80' R/W) said 1/2" Rebar being the **True Point of Beginning**.

Pattern Book

for

Madison Ridge

Monroe, GA

Introduction

Madison Ridge is a 49-acre property located at the intersection of James Huff Road and Old Athens Highway. The property is within the North Sub-Area Planning Boundary of the **City of Monroe** Comprehensive Plan.

The Comprehensive Plan calls for the future character of this area to be “predominantly single-family larger lot” with a residential land use goal for the sub-area to be between 40% and 60%.

Madison Ridge meets the future character aspirations for the sub-area and fits within the residential land use goals.

Project Description

Madison Ridge would be a 129 lot subdivision with over 8 acres of common area and open space along with a recreation amenity area including a cabana, clubhouse and playground. The proposed zoning is **Planned Residential District (PRD)**. The character of the proposed subdivision would be suburban with side-entry garages and large backyards, attractive to young families with children.

The architectural elements of the subdivision would include traditional, craftsman with a mix of two-story and single-story homes. The subdivision would include two entrances - one on James Huff Road and another on Old Athens Highway. The subdivision would feature mostly connected streets, allowing for ease of circulation for both vehicles and pedestrians. The streets would include 4’ sidewalks.

Proposed Standards for Development

The proposed standards for **Madison Ridge** are outlined in the table below.

Zoning	PRD
Minimum Lot Size	10,000 square feet internal; 8,000 square feet where abutting a public street adjoining a landscape strip
Maximum Lot Density	4.0 units/acre
Maximum Lot Impervious Coverage	40% internal; 45% where abutting a public street adjoining a landscape strip
Minimum Lot Width	75 feet (Measured at the front building line)
Minimum Lot Frontage	50 feet (Measured at the front property line)
Minimum Front Yard Setback	10 feet
Minimum Side Yard Setback	10 feet
Minimum Rear Yard Setback	25 feet internal; 15 feet where abutting a public street adjoining a landscape strip
Maximum Building Height	35 feet
Minimum Building Area	1,500 square feet (single story) 1,500 square feet (two story)
Minimum Number of Bedrooms per unit	3
Minimum Building Width	24 feet
Minimum Common Area	15% with amenity area

Architectural requirements include a mix of stone, brick and fiber cement siding. Vinyl siding shall be prohibited. Home styles will be craftsman, farmhouse or traditional in compliance with 910.1 of the City’s zoning ordinance.

The homes shall have a minimum 60 square foot covered front entry whose minimum dimensions are not less than 6 feet in length or width.

These minimum standards, along with a mandatory homeowners association, are necessary to protect the long-term character of the subdivision. These standards are largely consistent with the R-1A standards in the **City of Monroe’s** zoning ordinance.

The subdivision’s plan for water and sewer is through the City of Monroe’s water and sewer service. The subdivision would be served by a pump station. Drainage would be handled by on-site storm drain system and stormwater management facilities. All utilities shall be underground.

Traffic Report

Per the Institute of Transportation Engineers trip generation charts, Madison Ridge is expected to generate 1 car trip per unit in the AM peak hour and PM peak hour for a total of 258 peak hour trips. The subdivision is located at the intersection of two roads, each having an entrance to the Madison Ridge. The project is located approximately 0.6 miles from the intersection with James Huff Road and US Highway 78, a major arterial. Overall traffic impact given the roads servicing the property and proximity to a major arterial are expected to be minor.

Abutting Property Protection

On two sides, Madison Ridge is abutted by the existing James Huff Road to the west and Old Athens Highway to the north.

The Hunter’s Crossing subdivision in unincorporated Walton County to the east is buffered by a buffered state waters, featuring a 50 foot undisturbed buffer and 75 foot impervious setback.

To the south is an undeveloped property located in unincorporated Walton County that is zoned agricultural.

Use and Development Schedule

Madison Ridge is proposed to be 100% residential, with a minimum of 15% common area with amenity. The subdivision is expected to be completed with 12-18 months of approval. Home construction is expected to last between 2 and 3 years for final build out.

Site Plans and Survey

The Site Plan and Survey for Madison Ridge are on the following pages.

SUBDIVISION DEVELOPMENT PLANS FOR MADISON RIDGE

635 JAMES HUFF RD
MONROE, GA 30656
3rd LAND DISTRICT
LAND LOT 130 & 131
WALTON COUNTY
PARCEL M0220001

OWNER/DEVELOPER: MADISON RIDGE LAND, LLC
PO BOX 1796
MONROE, GEORGIA 30655
TEL: 678-670-1222
CONTACT: RALPH CORONA
EMAIL: ralph@generalholdingsunlimited.com

CIVIL ENGINEER: BLUE LANDWORKS LLC
5019 WEST BROAD STREET
SUITE M230
SUGAR HILL, GEORGIA 30518
TEL: 678-804-8586
CONTACT: TAYLOR ANDERSON, PE (GA PE #28657)
EMAIL: ta@bluelandworks.com

1. THIS PROPERTY IS ZONED R1A MEDIUM LOT RESIDENTIAL DISTRICT.
2. THIS PROPERTY IS SHOWN AS BEING PARCEL M0220001 IN THE CITY OF MONROE, WALTON COUNTY, LOCATED IN LAND LOTS 130 & 131 OF THE 3RD DISTRICT.
3. PROPOSED USE IS DETACHED SINGLE-FAMILY DWELLINGS WITH THE FOLLOWING REQUIREMENTS:
TOTAL NUMBER OF LOTS = 129
TOTAL AREA = 49.03 ACRES
LOT DENSITY = 2.6 UNITS PER ACRE

COMMON AREA OPEN SPACE REQUIREMENT FOR R1A ZONING
MINIMUM 15% GROSS ACREAGE WITH 3 AMENITIES
REQUIRED MINIMUM 15% COMMON AREA OPEN SPACE = 49.03 AC X 0.15 = 7.35 ACRES
PROVIDED COMMON AREA OPEN SPACE = 8.22 ACRES
PROVIDED AMENITIES = POOL, PLAYGROUND AND CLUBHOUSE

4. OPEN SPACE, DETENTION POND, LANDSCAPED ENTRANCE AREA, AND AMENITY AND RECREATION AREA SHALL BE OWNED AND MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION.
5. WATER AND SEWER SERVICE TO BE PROVIDED BY THE CITY OF MONROE.
6. WATER AND SEWER INFRASTRUCTURE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, TO MONROE UTILITIES NETWORK STANDARDS.
7. ALL CONSTRUCTION TO CONFORM TO DEVELOPMENT REGULATIONS OF THE CITY OF MONROE, GEORGIA, AND TO MONROE UTILITIES NETWORK STANDARDS.
8. A PORTION OF THIS PROPERTY LIES IN ZONE "A" 100-YEAR FLOOD HAZARD AREA (NO BASE FLOOD ELEVATION DETERMINED) PER FEMA FIRM PANEL NO. 13297C01350, DATED MAY 18, 2009.
9. BOUNDARY INFORMATION BASED ON BOUNDARY SURVEY, TRACTS 1 AND 2, FOR JAMES HUFF RD, MONROE, GA 30656 PREPARED BY BLUE LANDWORKS AND DATED 9/22/2021.
10. TOPOGRAPHIC INFORMATION IS TAKEN FROM A GROUND-RUN TOPOGRAPHIC SURVEY BY DEVELOPMENT CONSULTANTS GROUP, INC., DATED JULY 17, 2006. CONTOUR INTERVAL IS TWO FEET. VERTICAL DATUM NAVD 1988.
11. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET [X] DOES / [] DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
12. WETLANDS INFORMATION SHOWN HEREON TAKEN FROM AN ECOLOGICAL SURVEY BY JORDAN, JONES & GOLDING, DATED FEB 15, 2006. THE SURVEY IDENTIFIES THE EXISTING POND AS PALUSTRINE OPEN WATERS AND STATES THAT ANY IMPACT TO THIS POND PROPOSED BY THE DEVELOPMENT NEEDS TO BE VERIFIED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE). A NATIONWIDE PERMIT HAS BEEN ISSUED BY THE USACE (FILE NUMBER 200601203), DATED JULY 24, 2006.
13. THIS SITE CONTAINS STATE WATERS REQUIRING AN UNDISTURBED 25' STATE WATERS BUFFER.
14. A 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK SHALL BE MAINTAINED ADJACENT TO ALL STREAMS.
15. MAXIMUM CUT OR FILL SLOPE IS 2H:1V.
16. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
17. NATURAL VEGETATION SHALL REMAIN ON THE PROPERTY PRIOR TO THE ISSUANCE OF THE DEVELOPMENT PERMIT.

INSTRUCTIONS TO CONTRACTORS:

GENERAL PROVISIONS

1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
2. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMAN LIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES. THE CONTRACTOR SHALL WARRANT ALL WORK TO THE OWNER FOR A MINIMUM PERIOD OF 18 MONTHS FOLLOWING COMPLETION OF CONSTRUCTION.
3. DEVIATIONS FROM THESE PLANS WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVES MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
4. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT READY FOR USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED.
5. ALL MATERIALS SHALL BE NEW, UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPROPRIATE AUTHORITIES.
6. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY AND IS NOT GUARANTEED. THE CONTRACTOR IS TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION.
8. CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND COMPACTED SUBGRADE. ALL UNDERGROUND UTILITIES, INCLUDING THOSE INSTALLED BY OTHERS (ELECTRICAL CONDUIT, GAS, TELEPHONE, AND ANY OTHER MISCELLANEOUS) SHALL BE IN-PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, IF POSSIBLE.
9. IF THE CONTRACTOR, IN THE COURSE OF WORK, FINDS ANY DISCREPANCY BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH DISCOVERY, UNLESS AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
10. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH ONE (1) RED-LINE COPY OF AN "AS-BUILT" PLAN OF ALL UNDERGROUND UTILITIES WITHIN PUBLIC EASEMENT OR RIGHT-OF-WAY SHOWING THE LOCATION OF EACH WITH ALL DIMENSIONS SHOWN NECESSARY TO ACCURATELY LOCATE EACH UNDERGROUND UTILITY, FOR USE BY THE ENGINEER IN PREPARING FORMAL RECORD DRAWINGS FOR GWINNETT COUNTY APPROVAL.
11. SIGNS (EXCEPT HANDICAPPED PARKING SIGNS), LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT. A SEPARATE PERMIT IS REQUIRED.

GEOTECHNICAL

1. SOILS TESTING AND ON-SITE INSPECTION MAY BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER SELECTED AND PAID BY THE OWNER. IN THE EVENT OF CONFLICT BETWEEN INSTRUCTIONS BY THE ENGINEER AND RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER, THE CONTRACTOR WILL ADHERE TO THE MOST STRINGENT.
2. CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR PROMPTLY SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
4. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557:
 - UNDER STRUCTURES, BUILDING SLABS, STEPS, AND PAVEMENTS, COMPACT THE TOP 12 INCHES BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT DRY DENSITY.
 - UNDER WALKWAYS, COMPACT THE TOP 6 INCHES BELOW THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DRY DENSITY.
 - UNDER LAWN OR UNPAVED AREAS, COMPACT THE TOP 6 INCHES BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DENSITY.

EARTHWORK/GRADING

1. EARTHWORK AND GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS AND RECOMMENDATIONS, OR WITH SECTIONS 201-221 OF GA DOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IF NOT COVERED BY THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS, EXCEPT AS OTHERWISE NOTED.
2. MAXIMUM SLOPE OF FILL EMBANKMENT SHALL BE 2 FEET HORIZONTAL TO 1 FOOT VERTICAL UNLESS OTHERWISE SHOWN.
3. SEE NOTE 4 UNDER "PAVING AND CURBS".
4. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
5. EXCESS EARTH CUT MATERIALS, IF ANY, SHALL BE PLACED AT A LOCATION ON OR NEAR THE SITE AS DESIGNATED BY THE OWNER.

STORM DRAINAGE

1. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH GWINNETT COUNTY STANDARDS AND FEDERAL OSHA REGULATIONS.
2. CONSTRUCTION OF STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH THE DETAILS INCLUDED IN THE CONSTRUCTION DRAWINGS, GWINNETT COUNTY AND RELATED GEORGIA D.O.T. STANDARDS AND SPECIFICATIONS.

SANITARY SEWER

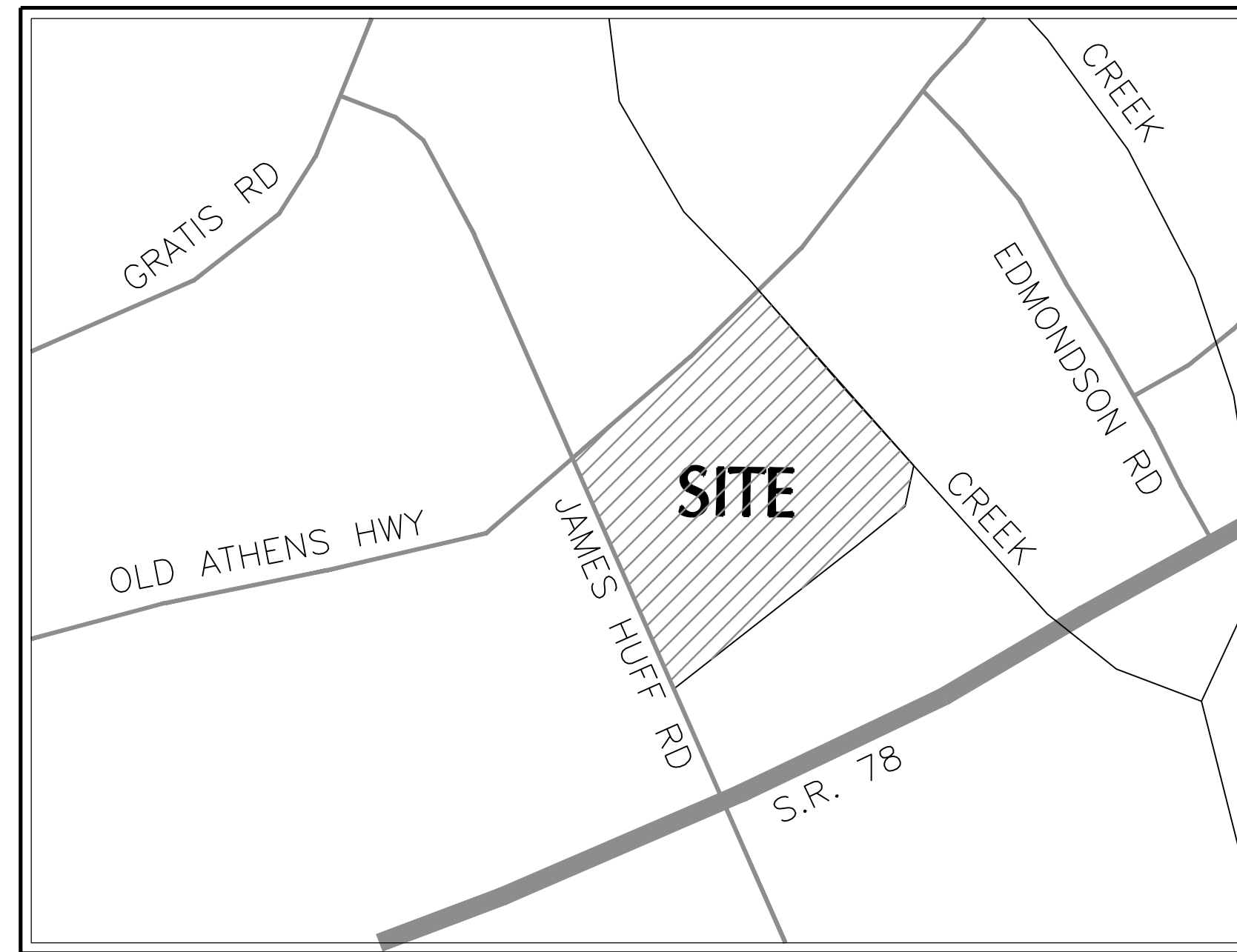
1. ALL SANITARY SEWER PIPE SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATION AND WITH THE APPLICABLE SECTIONS OF THE GWINNETT COUNTY SANITARY SEWER STANDARDS.
2. THE MINIMUM HORIZONTAL DISTANCE BETWEEN PUBLIC WATER AND SEWER LINES IS TEN FEET. THE MINIMUM VERTICAL CLEARANCE SHALL BE EIGHTEEN INCHES.
3. ALL SANITARY SEWER LATERALS SHALL BE PLUGGED AND MARKERS INSTALLED SO THAT THEY CAN BE EASILY FOUND AFTER BACKFILLING.
4. SEWER SERVICE LATERALS SHALL BE PERMANENTLY MARKED ON THE CURB.
5. ALL TE-INS TO EXISTING MANHOLES SHALL BE CORED. ALL MANHOLES REQUIRE "NOR-N-SEAL" OR EQUAL RUBBER BOOTS.
6. CONTRACTOR SHALL SET THE SANITARY SEWER MANHOLE LIDS AT FINISHED GRADE.

PAVING AND CURBS

1. BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 300 AND OTHER SECTIONS REFERRED TO THEREIN.
2. ASPHALTIC CONCRETE SURFACE COURSE AND ASPHALT PRIME MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 400, 412, 413, AND OTHER SECTIONS REFERRED TO THEREIN.
3. CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN ON THE PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 441 AND OTHER SECTIONS REFERRED TO THEREIN.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE BACKFILLING OF CURB.
5. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS, WITH A MAXIMUM SLUMP OF 2", UNLESS NOTED OTHERWISE.
6. ALL EXPOSED CONCRETE TO HAVE A FINE HAIR-BROOMED FINISH.

EROSION AND SEDIMENT CONTROL

1. SET "STOP NOTES & DETAILS" SHEETS FOR EROSION AND SEDIMENT CONTROL NOTES.
2. CONSTRUCTION EXIT PADS SHALL BE INSTALLED BY THE CONTRACTOR AT EACH CONSTRUCTION ACCESS POINT.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
4. PROVISIONS TO PREVENT EROSION OF THE SOIL FROM THE SITE SHALL CONFORM TO THE REQUIREMENTS OF THE "EROSION AND SEDIMENTATION ACT OF 1975" AS SHOWN HEREON AND STIPULATED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AND SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE EROSION OF THE DISTURBED AREAS AND PREVENT SEDIMENT FROM LEAVING THE SITE.
5. THE CONTRACTOR WILL BE REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME DURING CONSTRUCTION. THE EROSION CONTROL MEASURES DETAILED HEREON SHALL BE CONTINUED UNTIL THE GRASS ON PLANTED SLOPES IS SUFFICIENTLY ESTABLISHED TO BE AN EFFECTIVE EROSION DETERRENT. THE SEDIMENT REMOVED FROM THE CONTROL STRUCTURES SHALL BE EVENLY DISTRIBUTED OUTSIDE CONSTRUCTION LIMITS. DISPOSED SEDIMENT SHALL BE PERMANENTLY GRAZED.
6. TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 11, SECTIONS 2-11 AND 2-12 OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".



VICINITY MAP
not to scale

SHEET INDEX

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ISSUE NO.	DATE	DESCRIPTION
1	03/15/2023	SUBMIT FOR GOVERNMENT REVIEW
2	05/10/2023	ADD DETAILS TO CONSTRUCTION PLANS
3	07/05/2023	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY

BLUE LANDWORKS LLC
5019 WEST BROAD STREET
SUITE M230
SUGAR HILL, GA 30518
Tel: (678) 804-8586
info@bluelandworks.com
www.bluelandworks.com
PROJECT# 2021.023



SHEET NOTES

- SEE COVER SHEET FOR ADDITIONAL NOTES.
- WETLANDS INFORMATION SHOWN HEREON TAKEN FROM AN ECOLOGICAL SURVEY BY JORDAN, JONES & GOULDING, DATED FEB. 15, 2006. THE SURVEY IDENTIFIES THE EXISTING POND AS PALUSTRINE OPEN WATERS AND STATES THAT ANY IMPACT TO THIS POND PROPOSED BY THE DEVELOPMENT NEEDS TO BE VERIFIED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE). A NATIONWIDE PERMIT HAS BEEN ISSUED BY THE USACE (FILE NUMBER 200601203), DATED JULY 24, 2006.



BLUE LANDWORKS
 CONSULTING ENGINEERS & SURVEYORS
 LICENSE # P17005018
 LICENSE # S1010044
 5019 WEST BROAD STREET
 SUITE M232
 SUGAR HILL, GEORGIA 30058
 TELEPHONE: (678) 804-8586
 INFO@BLUELANDWORKS.COM
 WWW.BLUELANDWORKS.COM

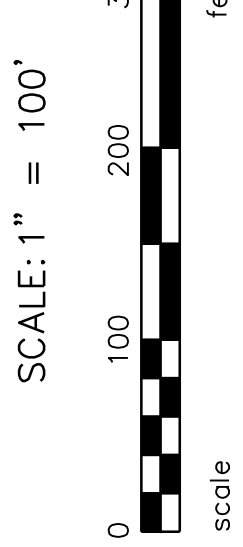
PREPARED FOR: **ORION VALLEY LAND, LLC**
 10000 WILSON ROAD
 MONROE, GEORGIA 30655
 CONTACT: BARRY CARROLL
 EMAIL: bcarroll@orionvalleyland.com

DESIGN PROFESSIONAL'S OFFICE: ELECTRONIC DIGITAL SCAN OF ORIGINAL RECORD DRAWING. THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING.

REV. NO.	DATE	DESCRIPTION
1	03/05/23	SUBMIT FOR REVIEW
2	05/03/23	AND DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY

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SCALE: 1" = 100'

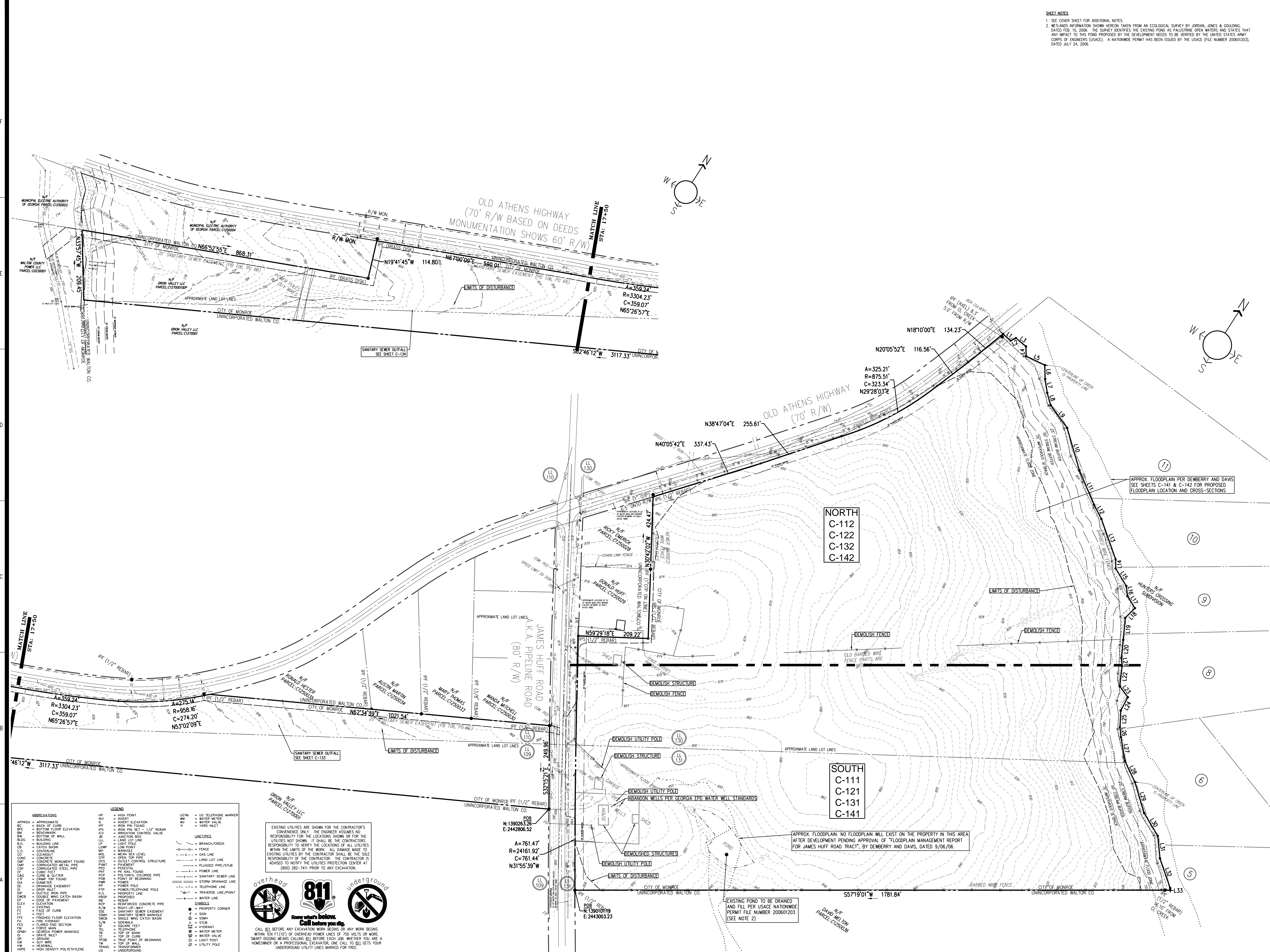


MADISON RIDGE
 635 JAMES HUFF ROAD
 MONROE, GA 30656

3RD LAND DISTRICT
 PARCEL M202001
 CITY OF MONROE
 DRAWING NO. 2021.023
 CHECKED: JMW

EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT# 2021.023
 C-100



LEGEND

ABBREVIATIONS	HP = HIGH POINT	UGTM = UTILITY TELEPHONE MARKER
APPROX = APPROXIMATE	IE = INSERT	WV = WATER VALVE
BACK OF CURB	IRF = IRON PIPE SET - 1/2" REBAR	WI = WIRE INLET
BEACHMARK	IPF = IRON PIPE FOUND	
BM = BOTTOM FLOOR ELEVATION	JB = JUNCTION BOX	
BUILDING	LI = LAND LOT	
B/L = BUILDING LINE	LP = LIGHT POLE	
C/B = CATCH BASIN	LS = LAND SURVEY	
C/L = CENTERLINE	MH = MANHOLE	
CL = CENTERLINE	MSL = MEAN SEA LEVEL	
CONC = CONCRETE	OTIP = OPEN TOP PIPE	
CONCRETE MONUMENT FOUND	PC = PAVEMENT	
CMP = CORRUGATED METAL PIPE	PL = PAVEMENT	
CSP = CORRUGATED STEEL PIPE	PLUG = FLOTTED PIPE/STUB	
CR = CURB	PO = POWER LINE	
CRIB & CUTTER	PP = POLYVINYL CHLORIDE PIPE	
DRAINAGE FOUNDATION	PPR = POINT OF BEGINNING	
DRAINAGE EASEMENT	PR = POWER POLE	
DROP INLET	PTP = POWER/TELEPHONE POLE	
DOUBLE WING CATCH BASIN	REBAR = REBAR	
EDGE OF PAVEMENT	PROP = PROPOSED	
ELEVATION	RCP = REINFORCED CONCRETE PIPE	
EXISTING	R/W = RIGHT-OF-WAY	
FACE OF CURB	SSE = SANITARY SEWER EASEMENT	
FEE	SSE = SANITARY SEWER MANHOLE	
FIRE HYDRANT ELEVATION	SWMB = SINGLE WING CATCH BASIN	
FURNISHED END SECTION	S/W = SIDEWALK	
GA = GEORGIA POWER MANHOLE	TEL = TELEPHONE	
GRATE INLET	TE = TOP OF BENCH	
GROUND	TR = TRUE POINT OF BEGINNING	
GW = GUY WIRE	TRW = TRANSFORMER	
HEADWALL	TRW = TRANSFORMER	
HOPE = HIGH DENSITY POLYETHYLENE	UG = UNDERGROUND	

811
 Know what's below. Call before you dig.

CALL 811 BEFORE ANY EXCAVATION WORK BEGINS OR ANY WORK BEGINS WITHIN TEN (10') OF OVERHEAD POWER LINES OF 750 VOLTS OR MORE. SMART DIGGING MEANS CALLING 811 BEFORE EACH JOB. WHETHER YOU ARE A HOMEOWNER OR A PROFESSIONAL EXCAVATOR, ONE CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

POB
 N: 1390263.26
 E: 2442806.52

POB
 N: 1390109.19
 E: 2443003.23

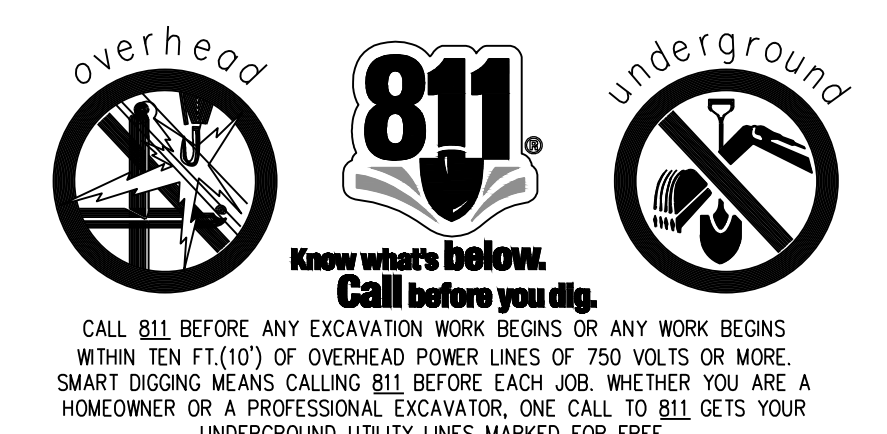
POB
 N: 761.47
 E: 24161.92
 C: 761.44
 N: 31°55'39"W

APPROX. FLOODPLAIN: NO FLOODPLAIN WILL EXIST ON THE PROPERTY IN THIS AREA AFTER DEVELOPMENT PENDING APPROVAL OF FLOODPLAIN MANAGEMENT REPORT FOR JAMES HUFF ROAD TRACT, BY DEWBERRY AND DAVIS, DATED 9/06/06.

EXISTING POND TO BE DRAINED AND FILL PER USACE NATIONWIDE PERMIT FILE NUMBER 200601203 (SEE NOTE 2)

DAVID WELTON
 PARCEL C-120010

ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT ELEVATION
BFE	= BOTTOM FLOOR ELEVATION	IPF	= IRON PIN FOUND
BM	= BENCHMARK	IPS	= IRON PIN SET - 1/2" REBAR
BW	= BOTTOM OF WALL	JBV	= IRRIGATION CONTROL VALVE
BLDG	= BUILDING	LB	= LANDING BOX
B/L	= BUILDING LINE	LL	= LAND LOT LINE
CB	= CATCH BASIN	LP	= LIGHT POLE
CA	= CENTERLINE	LM	= LOW POINT
CC	= CLEANOUT	MSL	= MEAN SEA LEVEL
CC	= CONCRETE	OPF	= OPEN TOP PIPE
CCM	= CONCRETE MONUMENT FOUND	OC	= OUTLET CONTROL STRUCTURE
CMP	= CORRUGATED METAL PIPE	PA	= PAVEMENT
CSP	= CORRUGATED STEEL PIPE	PP	= PLUGGED PIPE/STUB
CF	= CURB FEET	P	= POWER LINE
C&G	= CURB & GUTTER	PCP	= POLYVINYL CHLORIDE PIPE
CT	= GROUP TOP FOUND	POB	= POINT OF BEGINNING
CT	= DRAINAGE EASEMENT	PWR	= POWER
DI	= DROP INLET	PT	= POWER/TELEPHONE POLE
DI	= DUCTILE IRON PIPE	PL	= PROPERTY LINE
DWCB	= DOUBLE WING CATCH BASIN	PROP	= PROPOSED
EP	= EDGE OF PAVEMENT	REAR	= REAR
ELEV	= ELEVATION	RCP	= REINFORCED CONCRETE PIPE
FT	= EXISTING	R/W	= RIGHT-OF-WAY
FC	= FACE OF CURB	RS	= SANITARY SEWER EASEMENT
FFE	= FINISHED FLOOR ELEVATION	SMH	= SANITARY SEWER MANHOLE
FH	= FIRE HYDRANT	SWB	= SINGLE WING CATCH BASIN
FES	= FLARED END SECTION	S/W	= SQUARE FEET
FM	= FORCE MAIN	SE	= SQUARE FEET
GMH	= GEORGIA POWER MANHOLE	TEL	= TELEPHONE
GI	= GRATE INLET	TB	= TOP OF BANK
GR	= GROUND	TC	= TOP OF CURB
GW	= GUT WIRE	TPOB	= TRUE POINT OF BEGINNING
HW	= HEADWALL	TW	= TOP OF WALL
HPPE	= HIGH DENSITY POLYETHYLENE	TRANS	= TRANSFORMER
		UG	= UNDERGROUND
		UGTM	= UG TELEPHONE MARKER
		WM	= WATER METER
		WV	= WATER VALVE
		TY	= YARD INLET



EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 282-7411 PRIOR TO ANY EXCAVATION.

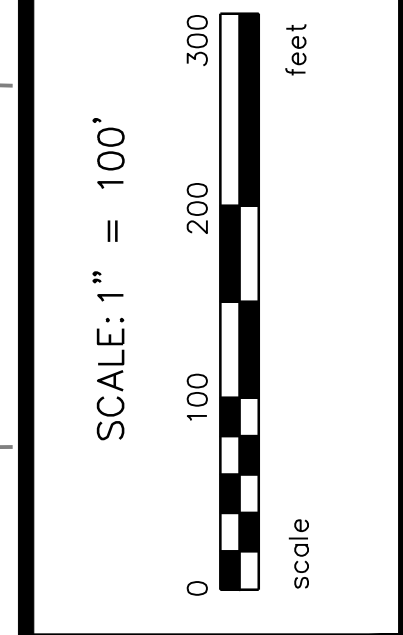
SHEET NOTES
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BLUE LANDWORKS
 CONSULTING ENGINEERS & SURVEYORS
 LICENSE # P0700018
 LICENSE # S070004
 5019 WEST BROAD STREET
 SUITE 4230
 SUGAR HILL, GEORGIA 30058
 TELEPHONE: (678) 804-8586
 INFO@BLUELANDWORKS.COM
 WWW.BLUELANDWORKS.COM

PREPARED FOR: **UNINCORPORATED WALTON CO.**
 100 BOX 1790
 MONROE, GEORGIA 30655
 CONTACT: BARRY CARLSON
 EMAIL: bcarlson@unincorporatedwalton.com

DESIGN PROFESSIONAL SEAL
 I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. I HAVE REVIEWED THIS DOCUMENT AND I HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS DOCUMENT AND I ACCEPT THE LIABILITY OF THE DESIGN. CONTACT: BARRY CARLSON

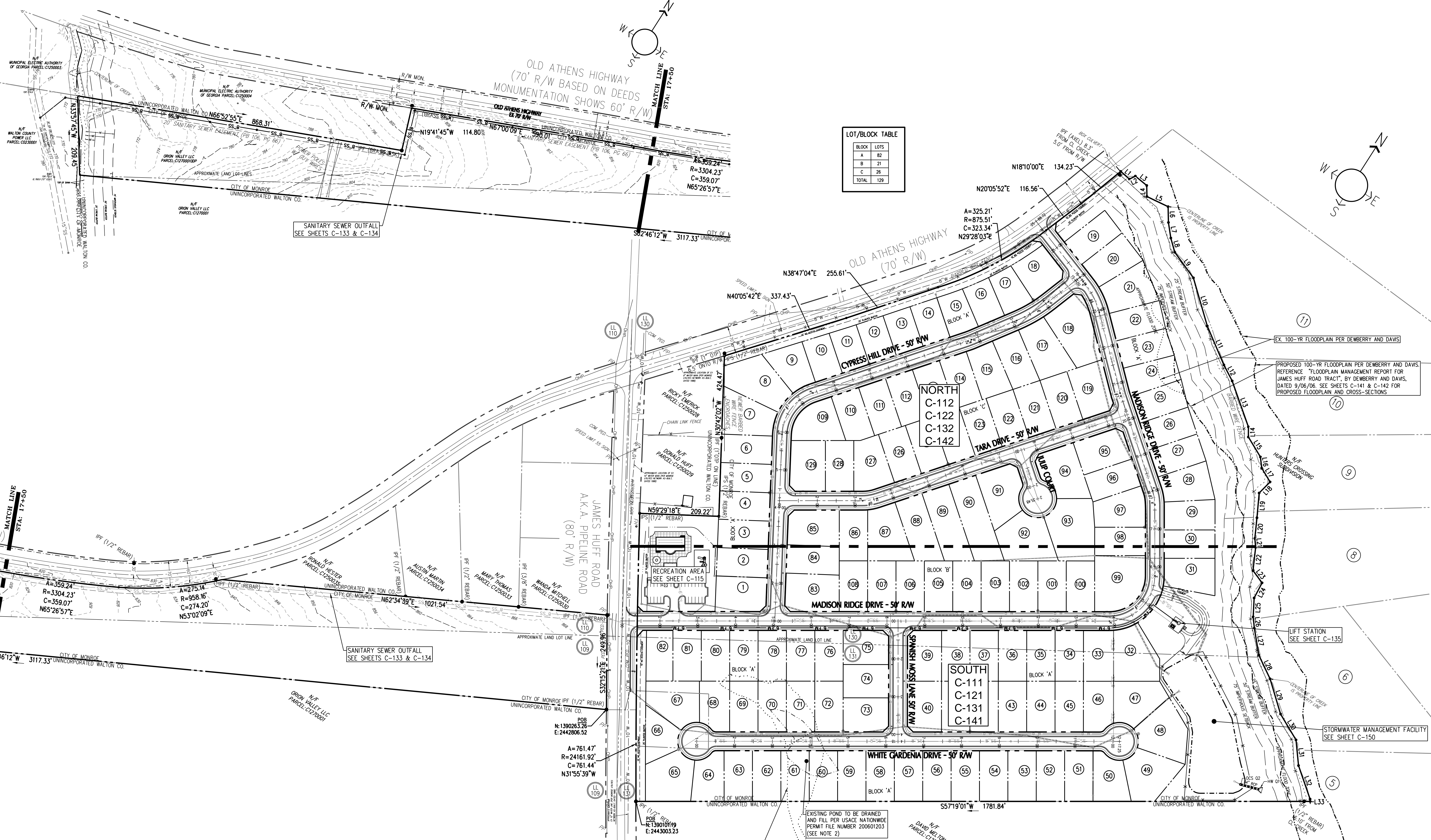
REV.	DATE	DESCRIPTION
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2	05/10/23	ADD DETAILS TO CONSTRUCTION PLANS
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MADISON RIDGE
 635 JAMES HUFF ROAD
 MONROE, GA 30656
 3RD LAND DISTRICT
 PARCEL M202001
 CITY OF MONROE
 WALTON COUNTY, GA
 CHECKED: JMW

OVERALL PRELIMINARY PLAT

PROJECT# 2021.023
 C-110



LOT/BLOCK TABLE

BLOCK	LOTS
A	82
B	21
C	26
TOTAL	129

APPROX. FLOODPLAIN. NO FLOODPLAIN WILL EXIST ON THE PROPERTY IN THIS AREA AFTER DEVELOPMENT PENDING APPROVAL OF "FLOODPLAIN MANAGEMENT REPORT FOR JAMES HUFF ROAD TRACT", BY DEWBERRY AND DAVIS, DATED 9/06/06

EXISTING POND TO BE DRAINED AND FILL PER USACE NATIONWIDE PERMIT FILE NUMBER 200601203 (SEE NOTE 2)

ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	IN	= INVERT
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BM	= BENCHMARK	IRP	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IRS	= IRON PIN SET - 1/2" REBAR
BLOC	= BUILDING	ICV	= IRRIGATION CONTROL VALVE
B/A	= BUILDING LINE	JB	= JUNCTION BOX
CS	= CATCH BASIN	LL	= LAND LOT LINE
C/A	= CENTERLINE	LP	= LIGHT POLE
CO	= CLEANOUT	LOWP	= LOW POINT
CONC	= CONCRETE	MH	= MANHOLE
CMP	= CORRUGATED METAL PIPE	MSL	= MEAN SEA LEVEL
CSP	= CORRUGATED STEEL PIPE	OIP	= OPEN TOP PIPE
CUB	= CUBIC FEET	OC	= OUTLET CONTROL STRUCTURE
CAC	= CURB & GUTTER	PWT	= PAVEMENT
CTI	= CURB TOP FOUND	PE	= PEDESTAL
DA	= DRAINAGE EASEMENT	PKP	= PK NAIL FOUND
DI	= DROP INLET	PVC	= POLYVINYL CHLORIDE PIPE
DW	= DOUBLE WING CATCH BASIN	POB	= POINT OF BEGINNING
ELEV	= ELEVATION	PWR	= POWER
EX	= EXISTING	PP	= POWER POLE
FC	= FACE OF CURB	PTP	= POWER/TELEPHONE POLE
FEE	= FINISHED FLOOR ELEVATION	P/L	= PROPERTY LINE
FH	= FIRE HYDRANT	PROP	= PROPOSED
FES	= FINISHED END SECTION	RE	= REBAR
FM	= FORCE MAIN	RCP	= REINFORCED CONCRETE PIPE
GMH	= GEORGIA POWER MANHOLE	R/W	= RIGHT-OF-WAY
GW	= GROUND WATER	SSE	= SANITARY SEWER EASEMENT
HW	= HEADWALL	SMH	= SANITARY SEWER MANHOLE
HOPE	= HIGH DENSITY POLYETHYLENE	SWCB	= SINGLE WING CATCH BASIN
		S/W	= SQUARE FEET
		TEL	= TELEPHONE
		TL	= TOP OF BANK
		TOC	= TOP OF CURB
		TR	= TRAP
		TRB	= TRUE POINT OF BEGINNING
		TRW	= TOP OF WALL
		TRANS	= TRANSFORMER
		UG	= UNDERGROUND
		UCM	= UC TELEPHONE MARKER
		WM	= WATER METER
		WV	= WATER VALVE
		YI	= YARD INLET



EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVICTION ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 282-7411 PRIOR TO ANY EXCAVATION.

CURVE #	RADIUS	LENGTH	BEG STA (PC)	END STA (PT)
#1	120.00'	188.50'	13+87.81	15+76.30
#2	120.00'	38.79'	17+63.68	18+02.47
#3	120.00'	8.55'	20+64.97	20+73.52
#4	200.00'	82.52'	22+94.25	23+76.77
#5	120.00'	21.32'	25+58.38	25+79.70
#6	120.00'	9.53'	27+25.55	27+35.08
#7	120.00'	145.14'	5+93.93	7+39.07
#8	120.00'	38.79'	3+19.91	3+58.69
#9	120.00'	9.54'	11+71.34	11+80.88
#10	375.00'	98.21'	13+10.75	14+08.96



POB N1390101.19
E:2443003.23

APPROXIMATE LOCAL ROAD - 8" HDPE (1/2" REBAR)
NET WORK - 45" BANK (GRADED DRIVE)

APPROX. FLOODPLAIN: NO FLOODPLAIN WILL EXIST ON THE PROPERTY IN THIS AREA AFTER DEVELOPMENT PENDING APPROVAL OF "FLOODPLAIN MANAGEMENT REPORT FOR JAMES HUFF ROAD TRACT", BY DEWBERRY AND DAVIS, DATED 9/06/06

EXISTING POND TO BE DRAINED AND FILL PER USAGE NATIONWIDE PERMIT FILE NUMBER 200601203

N/F
DAVID MELTON
PARCEL: C1250036

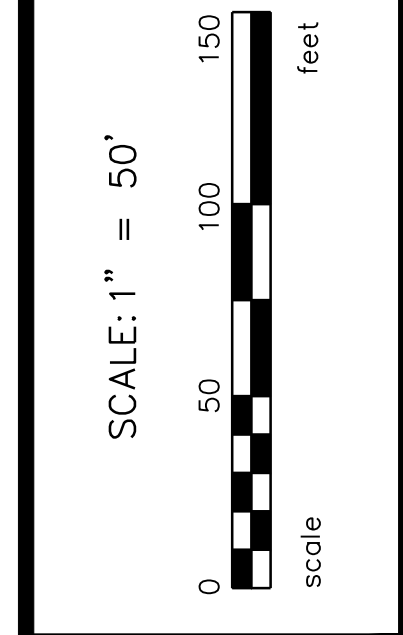
SHEET NOTES
1. SEE COVER SHEET FOR ADDITIONAL NOTES.

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # P1905018
LICENSE # S100104
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SUGAR HILL, GEORGIA 30058
TELEPHONE: (678) 804-8586
INFO@BLUELANDWORKS.COM
WWW.BLUELANDWORKS.COM

PREPARED FOR: **DAVID MELTON, LLC**
100 BUCKLEBOURNE
MONROE, GEORGIA 30655
CONTACT: DAVID MELTON
EMAIL: dm@meltonllc.com

THIS DOCUMENT IS THE PROPERTY OF BLUE LANDWORKS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BLUE LANDWORKS. CONTACT: (678) 804-8586

NO.	DATE	DESCRIPTION
1	03/05/23	SUBMIT FOR REVIEW
2	05/10/23	AND DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXCLUDE 25'-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY



MADISON RIDGE
635 JAMES HUFF ROAD
MONROE, GA 30656

3RD LAND DISTRICT
PARCEL M200001
CITY OF MONROE
WALTON COUNTY, GA
CHECKED: JMW

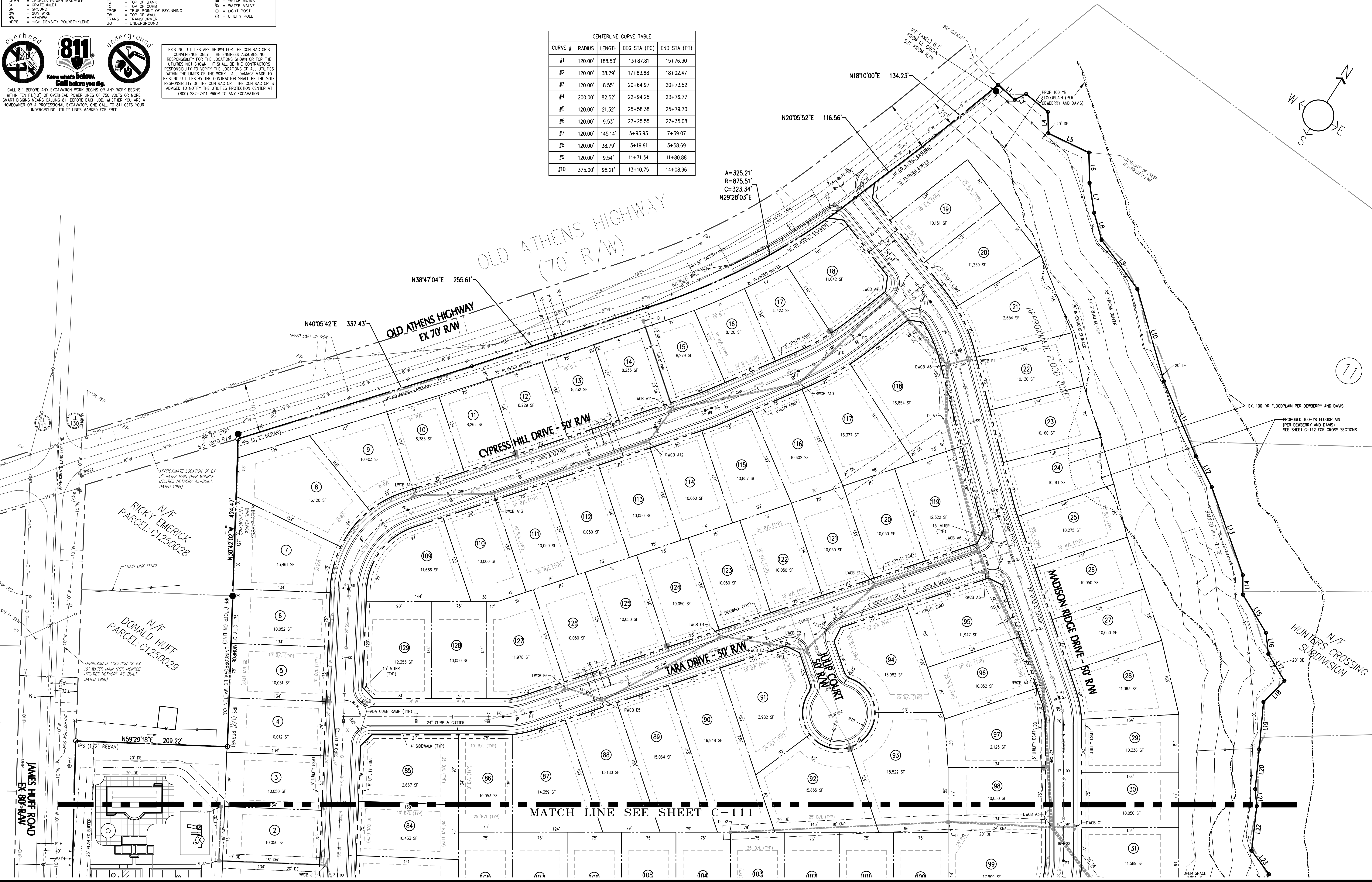
PRELIMINARY PLAT SOUTH

ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT
BFE	= BOTTOM FLOOR ELEVATION	IE	= INVERT ELEVATION
BM	= BENCHMARK	IPF	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IP5	= IRON PIN SET - 1/2" REBAR
BUD	= BUILDING	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LL	= LAND LOT LINE
C/L	= CENTERLINE	LLP	= LIGHT POLE
CO	= CONCRETE	LP	= LOW POINT
CONC	= CONCRETE	MA	= MANHOLE
CMP	= CONCRETE MONUMENT FOUND	MSL	= MEAN SEA LEVEL
CMP	= CORRUGATED METAL PIPE	OTF	= OPEN TOP PIPE
CF	= CUBIC FEET	PCS	= POINT CONTROL STRUCTURE
CAG	= CURB & GUTTER	PKF	= PEDESTAL
CTF	= CRAMP TOP FOUND	PKF	= PK. NAIL FOUND
DIA	= DIAMETER	PCP	= POLYVINYL CHLORIDE PIPE
DI	= DRAINAGE EASEMENT	POB	= POINT OF BEGINNING
DIA	= DRAINAGE EASEMENT	PP	= POWER POLE
DIA	= DRAINAGE EASEMENT	PTP	= POWER/TELEPHONE POLE
DIA	= DRAINAGE EASEMENT	P/L	= PROPERTY LINE
DIA	= DRAINAGE EASEMENT	PR	= PROPOSED
DIA	= DRAINAGE EASEMENT	RE	= REBAR
DIA	= DRAINAGE EASEMENT	RCP	= REINFORCED CONCRETE PIPE
DIA	= DRAINAGE EASEMENT	R/W	= RIGHT-OF-WAY
DIA	= DRAINAGE EASEMENT	SSE	= SANITARY SEWER EASEMENT
DIA	= DRAINAGE EASEMENT	SMH	= SANITARY SEWER MANHOLE
DIA	= DRAINAGE EASEMENT	SWCB	= SINGLE WING CATCH BASIN
DIA	= DRAINAGE EASEMENT	S/W	= SIDEWALK
DIA	= DRAINAGE EASEMENT	SE	= SQUARE FEET
DIA	= DRAINAGE EASEMENT	TEL	= TELEPHONE
DIA	= DRAINAGE EASEMENT	TM	= TOP OF BANK
DIA	= DRAINAGE EASEMENT	TC	= TOP OF CURB
DIA	= DRAINAGE EASEMENT	TB	= TOP OF BANK
DIA	= DRAINAGE EASEMENT	TPB	= TRUE POINT OF BEGINNING
DIA	= DRAINAGE EASEMENT	TW	= TOP OF WALL
DIA	= DRAINAGE EASEMENT	TRANS	= TRANSFORMER
DIA	= DRAINAGE EASEMENT	UC	= UNDERGROUND
DIA	= DRAINAGE EASEMENT	UCM	= UC TELEPHONE MARKER
DIA	= DRAINAGE EASEMENT	WM	= WATER METER
DIA	= DRAINAGE EASEMENT	WV	= WATER VALVE
DIA	= DRAINAGE EASEMENT	YI	= YARD INLET



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CENTERLINE CURVE TABLE				
CURVE #	RADIUS	LENGTH	BEG STA (PC)	END STA (PT)
#1	120.00'	188.50'	13+87.81	15+76.30
#2	120.00'	38.79'	17+63.68	18+02.47
#3	120.00'	8.55'	20+64.97	20+73.52
#4	200.00'	82.52'	22+94.25	23+76.77
#5	120.00'	21.32'	25+58.38	25+79.70
#6	120.00'	9.53'	27+25.55	27+35.08
#7	120.00'	145.14'	5+93.93	7+39.07
#8	120.00'	38.79'	3+19.91	3+58.69
#9	120.00'	9.54'	11+71.34	11+80.88
#10	375.00'	98.21'	13+10.75	14+08.96



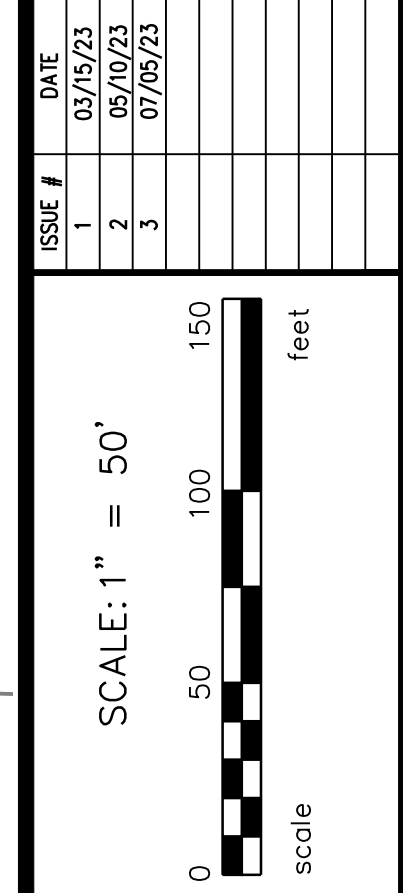
SHEET NOTES
1. SEE COVER SHEET FOR ADDITIONAL NOTES.

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
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LICENSE # S1070044
5019 WEST BROAD STREET
SUITE 400
MONROE, GEORGIA 30655
TELEPHONE: (678) 804-8586
WWW.BLUELANDWORKS.COM

PREPARED FOR: **LAND, LLC**
1000 W. JAMES HUFF ROAD
MONROE, GEORGIA 30655
CONTACT: BARRY CARROLL
EMAIL: bcarroll@bluelandworks.com

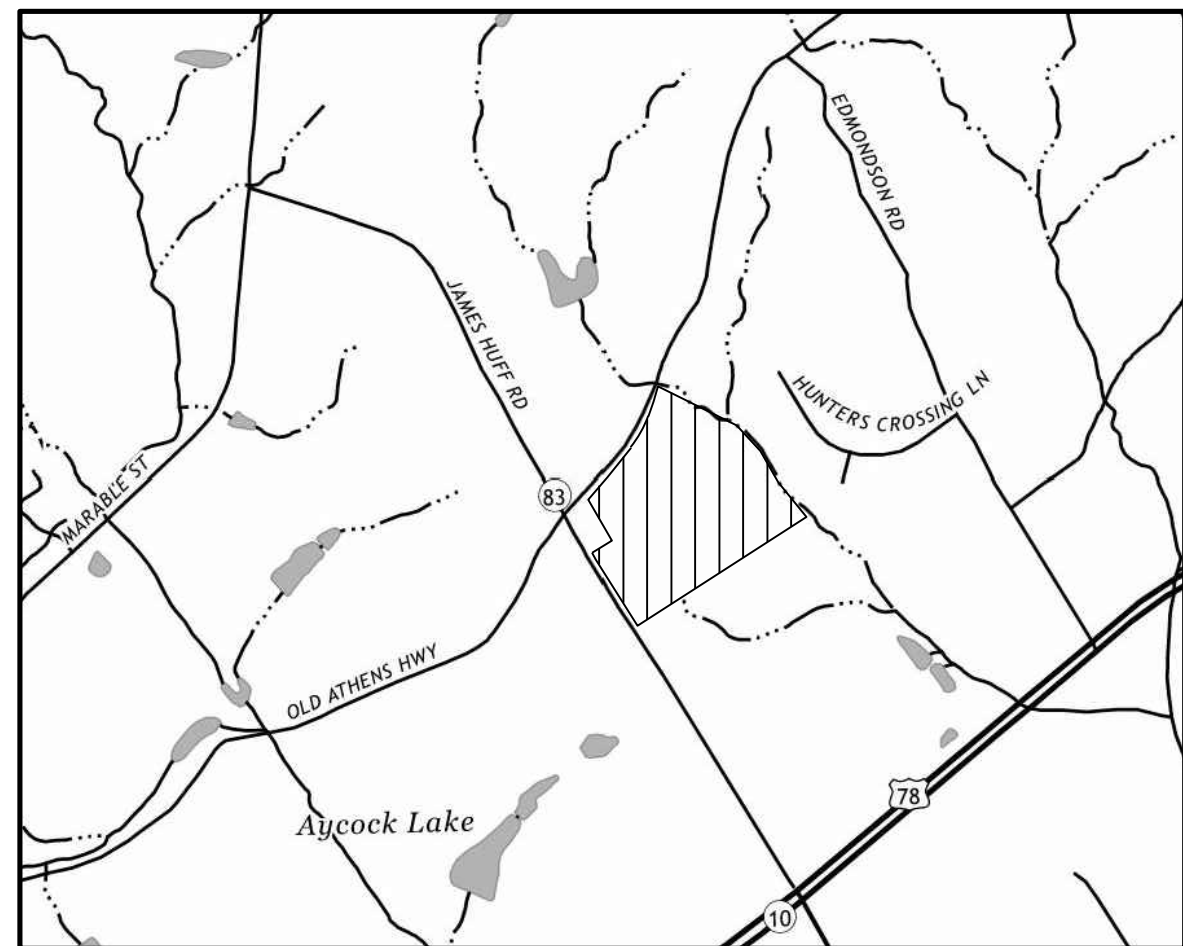
THIS PROFESSIONAL SEAL IS VALID FOR THE STATE OF GEORGIA ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 252-7411 PRIOR TO ANY EXCAVATION.

NO.	DATE	DESCRIPTION
1	03/05/23	SUBMIT FOR REVIEW
2	05/02/23	AND DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXCLUDE 25-FOOT PLANNED BUFFER ALONG RIGHT-OF-WAY



MADISON RIDGE
635 JAMES HUFF ROAD
MONROE, GA 30656
3RD LAND DISTRICT
PARCEL M202001
CITY OF MONROE
WALTON COUNTY, GA
CHECKED: JHW

PRELIMINARY PLAT NORTH
PROJECT # 2021.023
C-112



VICINITY MAP
SCALE: NTS
SOURCE: USGS

GENERAL NOTES

1. IPS (IRON PIN SET) IS 1/2" REBAR; NS (NAIL SET) IS MAGNAIL.
2. PROPERTY CONTAINS 49.00 ACRES
3. A PORTION ON SAID PROPERTY DOES LIE WITHIN A FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 13297C01350 FOR COMMUNITY NUMBER 13297C, IN WALTON COUNTY, STATE OF GEORGIA, DATED MARCH 18TH 2009, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
4. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
5. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
6. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TAKEN FROM VISIBLE EVIDENCE, CONSTRUCTION PLANS AND/OR PREVIOUS SURVEYS AND SHOULD BE CONSIDERED APPROXIMATE.

SURVEY REFERENCES

1. WALTON COUNTY DEED BOOK 3884 PAGE 280
2. WALTON COUNTY PLAT BOOK 25 PAGE 153
3. WALTON COUNTY PLAT BOOK 55 PAGE 38

GPS STATEMENT

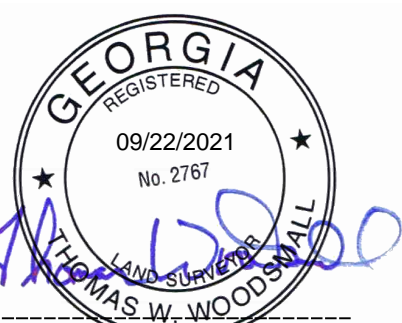
THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED UTILIZING GPS. THE EQUIPMENT USED WAS A CHAMPION TK0 GNSS RECEIVER WITH CARLSON SURVCE DATA COLLECTION SOFTWARE. ALL COORDINATES ARE BASED ON NAD83(2011) AND GEOID28. NETWORK RTK CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTK UTILIZING THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EPCS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3: NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .04 FT. HORIZONTAL AND .07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

SURVEYOR'S CERTIFICATION BOUNDARY SURVEY

THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

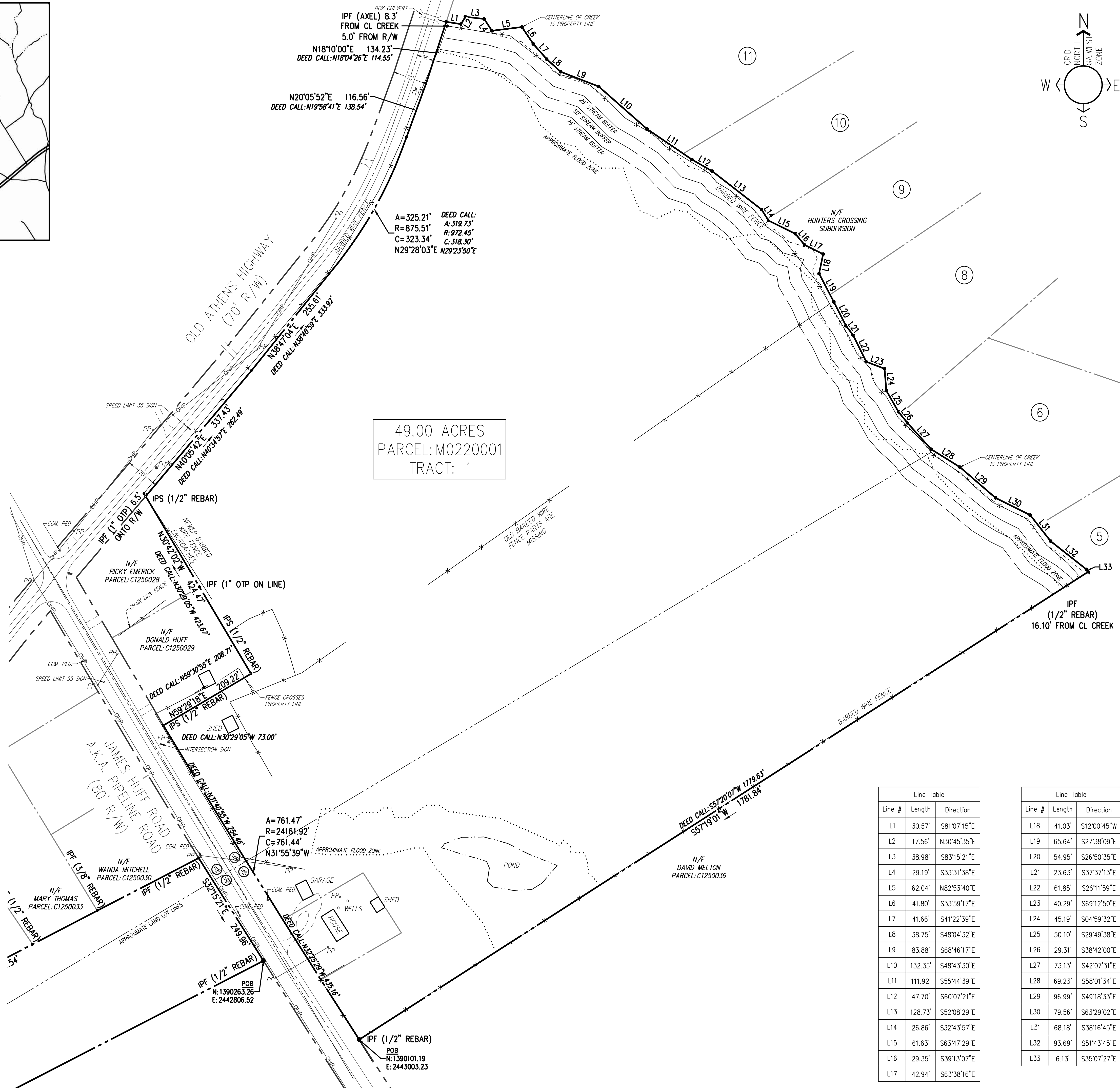
FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A TRIMBLE S6 ROBOTIC TOTAL STATION ELECTRONIC INSTRUMENT. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 25,888 FEET AND AN ANGULAR ERROR OF 12 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES ADJUSTMENT. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 503,222 FEET.

DATE OF LAST FIELD WORK: 09/08/2021
DATE PLAT WAS SEALED: 09/22/2021



NAME: THOMAS W. WOODSMALL
REGISTRATION/LICENSE NUMBER: 2767 (GEORGIA)
DATE OF EXPIRATION: DECEMBER 31, 2022

ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT
BFE	= BOTTOM FLOOR ELEVATION	IPF	= INVERT ELEVATION
BM	= BENCHMARK	IPF	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IPS	= IRON PIN SET - 1/2" REBAR
BUDG	= BUILDING	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LL	= LAND LOT LINE
C/L	= CENTERLINE	LOWP	= LOW POINT
CL	= CLEANOUT	MH	= MANHOLE
COL	= CENTERLINE	MSL	= MEAN SEA LEVEL
CONC	= CONCRETE	OCS	= OUTLET CONTROL STRUCTURE
CMP	= CORRUGATED METAL PIPE	PVMT	= PAVEMENT
CSP	= CORRUGATED STEEL PIPE	PE	= PEDESTAL
CF	= CUBIC FEET	PK	= PK NAIL FOUND
C&G	= CURB & GUTTER	PCP	= POLYVINYL CHLORIDE PIPE
CIF	= CURB TOP FOUND	POB	= POINT OF BEGINNING
DIA	= DIAMETER	PWR	= POWER
DE	= DRAINAGE EASEMENT	PP	= POWER POLE
DI	= DROP INLET	PTP	= POWER/TELEPHONE POLE
DIP	= DUCTILE IRON PIPE	P/L	= PROPERTY LINE
DWBC	= DOUBLE WING CATCH BASIN	PROP	= PROPOSED
EP	= EDGE OF PAVEMENT	RB	= REBAR
ELEV	= ELEVATION	RCP	= REINFORCED CONCRETE PIPE
EX	= EXISTING	R/W	= RIGHT-OF-WAY
FC	= FACE OF CURB	SSE	= SANITARY SEWER EASEMENT
FFE	= FINISHED FLOOR ELEVATION	SSMH	= SANITARY SEWER MANHOLE
FH	= FIRE HYDRANT	SSCB	= SINGLE WING CATCH BASIN
FES	= FLARED END SECTION	S/W	= SIDEWALK
FM	= FORCE MAIN	SF	= SQUARE FEET
GPMH	= GEORGIA POWER MANHOLE	TC	= TOP OF CURB
G	= GRATE INLET	TEL	= TELEPHONE
GR	= GROUND	TB	= TOP OF BANK
GW	= GUY WIRE	TC	= TOP OF CURB
H/W	= HEADWALL	TV	= TELEPHONE VALVE
HDPE	= HIGH DENSITY POLYETHYLENE	U	= UNDERGROUND
		UG	= UNDERGROUND



49.00 ACRES
PARCEL: M0220001
TRACT: 1

Line #	Length	Direction
L1	30.57'	S81°07'15"E
L2	17.56'	N30°45'35"E
L3	38.98'	S83°15'21"E
L4	29.19'	S33°31'38"E
L5	62.04'	N82°53'40"E
L6	41.80'	S33°59'17"E
L7	41.66'	S41°22'39"E
L8	38.75'	S48°43'32"E
L9	83.88'	S68°46'17"E
L10	132.35'	S48°43'30"E
L11	111.92'	S55°44'39"E
L12	47.70'	S60°07'21"E
L13	128.73'	S52°08'29"E
L14	26.86'	S32°43'57"E
L15	61.63'	S63°47'29"E
L16	29.35'	S39°13'07"E
L17	42.94'	S63°38'16"E

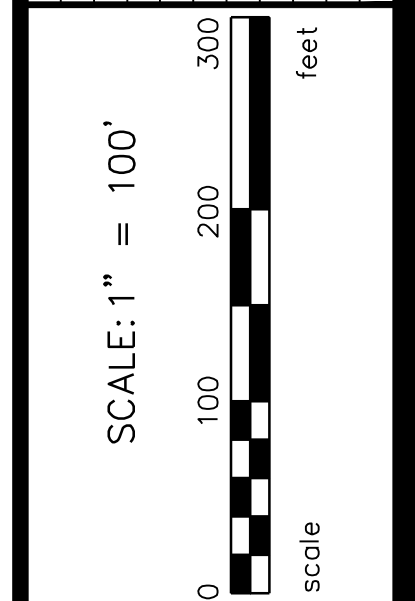
Line #	Length	Direction
L18	41.03'	S12°00'45"W
L19	65.64'	S27°38'09"E
L20	54.95'	S26°50'35"E
L21	23.63'	S37°37'13"E
L22	61.85'	S26°11'59"E
L23	40.29'	S69°12'50"E
L24	45.19'	S04°59'32"E
L25	50.10'	S29°49'38"E
L26	29.31'	S38°42'00"E
L27	73.13'	S42°07'31"E
L28	69.23'	S58°01'34"E
L29	96.99'	S49°18'33"E
L30	79.56'	S63°29'02"E
L31	68.18'	S38°16'45"E
L32	93.69'	S51°43'45"E
L33	6.13'	S35°07'27"E

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # LSF001044
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SUITE 4120
SUGAR HILL, GEORGIA 30518
TELEPHONE: (678) 804-8586
INFO@BLUELANDWORKS.COM
WWW.BLUELANDWORKS.COM

PREPARED FOR:
WILLIAM COLEMAN

ISSUE # / DATE / REVISIONS

ISSUE #	DATE	REVISIONS
1	09/22/21	SEALED SURVEY



**JAMES HUFF ROAD,
MONROE, GA 30656**

3RD LAND DISTRICT
LAND LOTS 130 & 131
PARCEL M0220001
CITY OF MONROE
JERAMK, KO
WALTON COUNTY, GA
CHECKED: TWH

**BOUNDARY SURVEY
TRACT 1**

PROJECT# 2021.023
SHEET 1 OF 2

10/2021-023 - Madison Ridge 10000 - AutoCAD 2021 - Survey 2021 023 BOUNDARY SURVEY 9/22/2021 8:14 AM by Kyle Ottwell

GENERAL NOTES

1. IPS (IRON PIN SET) IS 1/2" REBAR; NS (NAIL SET) IS MAGNAIL.
2. PROPERTY CONTAINS 15.62 ACRES
3. NO PORTION ON SAID PROPERTY LIES WITHIN A FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 13297C01350 AND 13297C0130E FOR COMMUNITY NUMBER 13297C, IN WALTON COUNTY, STATE OF GEORGIA, DATED DECEMBER 8TH 2016, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
4. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
5. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
6. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TAKEN FROM VISIBLE EVIDENCE, CONSTRUCTION PLANS AND/OR PREVIOUS SURVEYS AND SHOULD BE CONSIDERED APPROXIMATE.

SURVEY REFERENCES

1. WALTON COUNTY DEED BOOK 3994 PAGE 313
2. WALTON COUNTY PLAT BOOK 80 PAGE 20

GPS STATEMENT

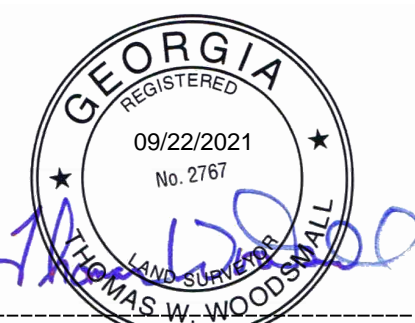
THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED UTILIZING GPS. THE EQUIPMENT USED WAS A CHAMPION TKO GNSS RECEIVER WITH CARLSON SURVCE DATA COLLECTION SOFTWARE. ALL COORDINATES ARE BASED ON NAD83(2011) AND GEOID2B. NETWORK RTK CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTK UTILIZING THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3, NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .04 FT. HORIZONTAL AND .07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

SURVEYOR'S CERTIFICATION BOUNDARY SURVEY

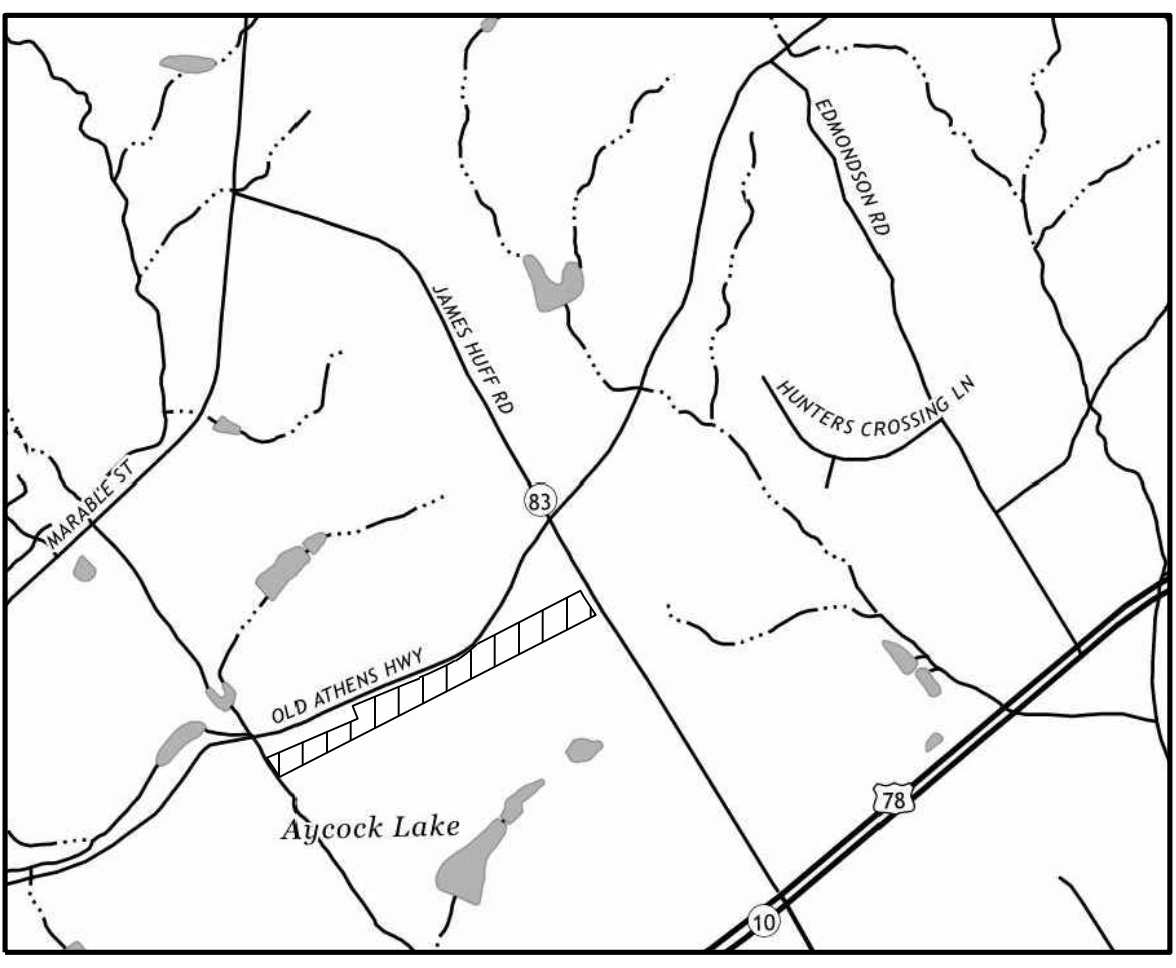
THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A TRIMBLE S6 ROBOTIC TOTAL STATION ELECTRONIC INSTRUMENT. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 25,888 FEET AND AN ANGULAR ERROR OF 12 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES ADJUSTMENT. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 381,734 FEET.

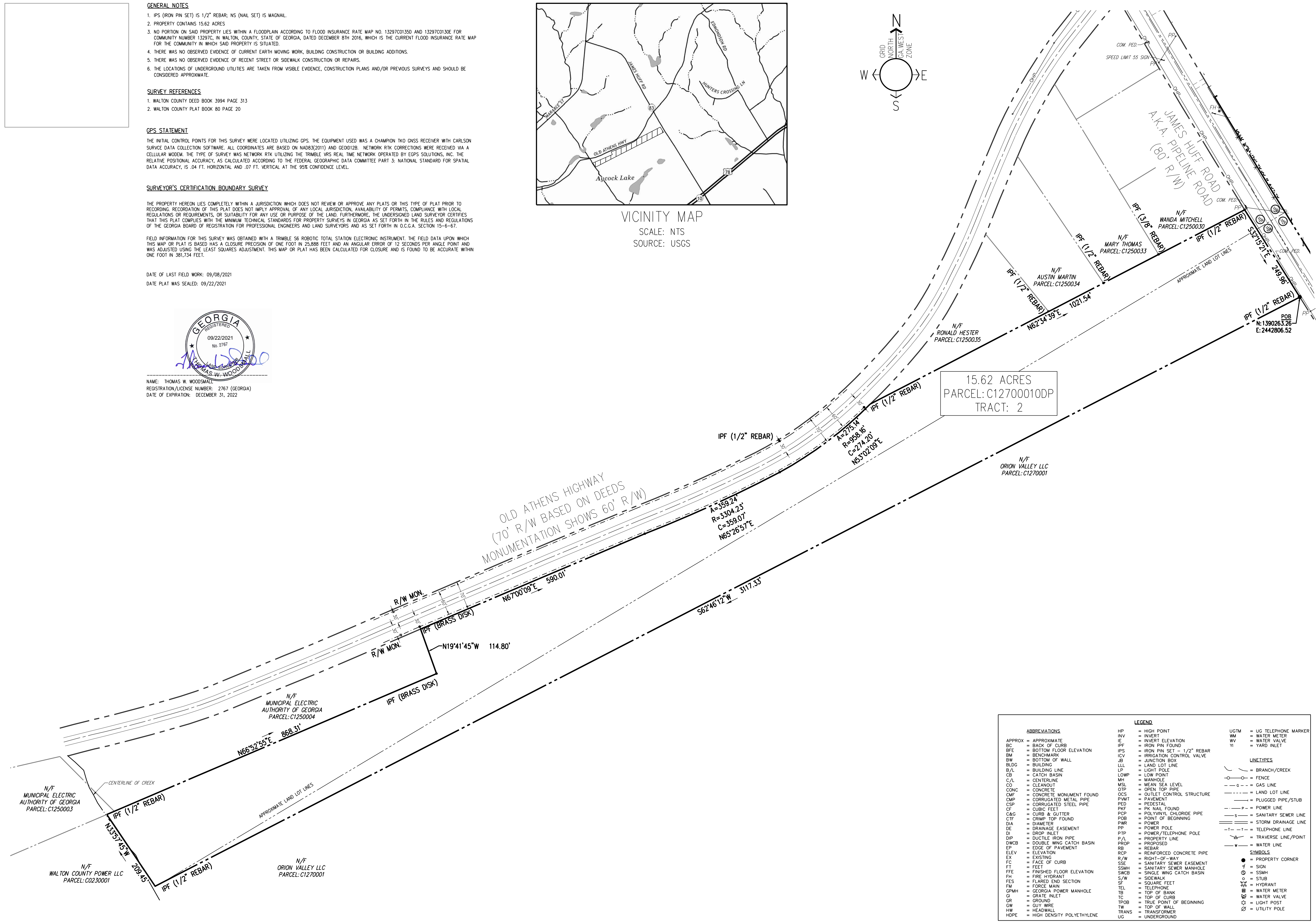
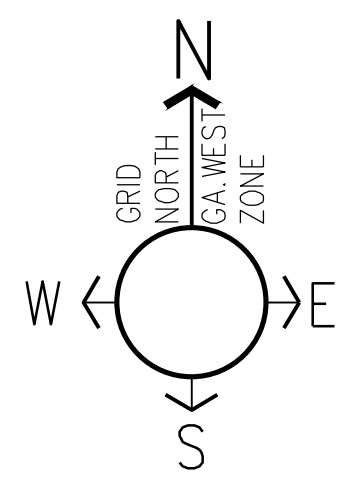
DATE OF LAST FIELD WORK: 09/08/2021
DATE PLAT WAS SEALED: 09/22/2021



NAME: THOMAS W. WOODSMALL
REGISTRATION/LICENSE NUMBER: 2767 (GEORGIA)
DATE OF EXPIRATION: DECEMBER 31, 2022



VICINITY MAP
SCALE: NTS
SOURCE: USGS



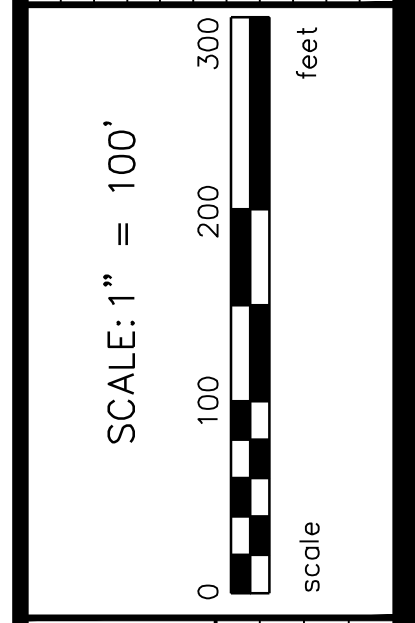
15.62 ACRES
PARCEL: C12700010DP
TRACT: 2

ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT
BFE	= BOTTOM FLOOR ELEVATION	IE	= INVERT ELEVATION
BM	= BENCHMARK	IPF	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IPS	= IRON PIN SET - 1/2" REBAR
BLOG	= BUILDING LINE	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LLL	= LAND LOT LINE
C/L	= CENTERLINE	LP	= LIGHT POLE
CO	= CLEANOUT	LOWP	= LOW POINT
CONC	= CONCRETE	MH	= MANHOLE
CMP	= CONCRETE MONUMENT FOUND	MSL	= MEAN SEA LEVEL
CSP	= CORRUGATED METAL PIPE	OTIP	= OPEN TOP PIPE
CF	= CUBIC FEET	OCS	= OUTLET CONTROL STRUCTURE
C&G	= CURB & GUTTER	PVMT	= PAVEMENT
CIT	= CRIMP TOP FOUND	PE	= PEDESTAL
DIA	= DIAMETER	PK	= PK NAIL FOUND
DE	= DRAINAGE EASEMENT	PCP	= POLYVINYL CHLORIDE PIPE
DI	= DROP INLET	POB	= POINT OF BEGINNING
DIP	= DUCTILE IRON PIPE	PWR	= POWER
DWCB	= DOUBLE WING CATCH BASIN	PP	= POWER POLE
EP	= EDGE OF PAVEMENT	P/P	= POWER/TELEPHONE POLE
ELEV	= ELEVATION	P/L	= PROPERTY LINE
EX	= EXISTING	PROP	= PROPOSED
FC	= FACE OF CURB	RB	= REBAR
FE	= FEET	RCP	= REINFORCED CONCRETE PIPE
FFE	= FINISHED FLOOR ELEVATION	R/W	= RIGHT-OF-WAY
FH	= FIRE HYDRANT	SE	= SANITARY SEWER EASEMENT
FES	= FLARED END SECTION	SSMH	= SANITARY SEWER MANHOLE
FM	= FORCE MAIN	SWCB	= SINGLE WING CATCH BASIN
GP	= GEORGIA POWER MANHOLE	S/W	= SIDEWALK
GI	= GATE INLET	SF	= SQUARE FEET
GR	= GROUND	TEL	= TELEPHONE
GW	= GUY WIRE	TB	= TOP OF BANK
HW	= HEADWALL	TC	= TOP OF CURB
HDPE	= HIGH DENSITY POLYETHYLENE	TPOB	= TRUE POINT OF BEGINNING
		TRANS	= TRANSFORMER
		UG	= UNDERGROUND
		UGTM	= UIC TELEPHONE MARKER
		WM	= WATER METER
		WV	= WATER VALVE
		VI	= VARIQ INLET

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # LSF0001044
5019 WEST BROAD STREET
SUITE 4120
SUGAR HILL, GEORGIA 30518
TELEPHONE: (678) 804-8586
INFO@BLUELANDWORKS.COM
WWW.BLUELANDWORKS.COM

PREPARED FOR:
WILLIAM COLEMAN

ISSUE # DATE
1 09/22/21 SEALED SURVEY



**JAMES HUFF ROAD,
MONROE, GA 30656**
3RD LAND DISTRICT
LAND LOTS 130 & 131
PARCEL M0220001
WALTON COUNTY, GA
CITY OF MONROE
JPMANK: KO
CHECKED: TWH

**BOUNDARY SURVEY
TRACT 2**

V. 2021-023 - Madison Ridge 10000 - AutoCAD 20 - Survey 2021 023 BOUNDING AND BOUND 9/22/2021 9:19 AM by Kyle O'Neil



To: City Council
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/29/2023
Subject: CUP #2623 – 839 Overlook Trail – Child Care Home

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:

The property owner at 839 Overlook Trail is petitioning for a Conditional Use approval in order to allow for a child care home. Child care homes are allowed to care for up to six (6) children at a time in a private residence. The child care home will be conducted inside the residence located at 839 Overlook Trail.

Background:

Please refer to the attached staff report for complete details regarding this CUP request.

Recommendation:

The Planning Commission voted unanimously to recommend approval of the Conditional Use request subject to two (2) conditions:

1. The child care home shall operate as described in applicant’s narrative and shall not provide care to more than six (6) children at any time.
2. If the property is transferred to a new owner (if the property is sold), this Conditional Use approval shall become null and void and shall not transfer to the new owner of the property.

Attachment(s):

Staff Report
Application Documents



**Planning
City of Monroe, Georgia
CONDITIONAL USE STAFF REPORT**

APPLICATION SUMMARY

CONDITIONAL USE CASE #: 2623

DATE: September 13, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Matthew & Mercedes Pridgen

PROPERTY OWNER: Matthew & Mercedes Pridgen

LOCATION: North side of Overlook Trail – 839 Overlook Trail

ACREAGE: ±0.34

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Single-family residence

REQUEST SUMMARY: The owner is petitioning for Conditional Use approval on this property in order to establish a child care home.

STAFF RECOMMENDATION: Staff recommends approval of this Conditional Use request with conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: September 19, 2023

CITY COUNCIL: October 10, 2023

REQUEST SUMMARY

CONDITIONAL USE PERMIT REQUEST SUMMARY:

The applicant is requesting approval of a Conditional Use in order allow a Child Care Home at an existing single-family residence. The subject property is currently zoned R-1 (Large Lot Residential District). The site contains a single-family residence constructed in 2003 and is approximately 2,028 Sf. Child Care Homes are allowed in the R-1 zoning district as Conditional Uses. Per the Zoning Ordinance definition, a Child Care Home is a facility in a private residence providing for the care, supervision, and protection (with or without academic instruction) of children in which the dwelling is occupied by the provider of these services and where no more than six (6) children under eighteen (18) years of age are received for group care without transfer of custody for more than four (4) hours and less than twenty-four (24) hours per day. The applicant’s narrative states the intent is to provide child care for no more than six (6) children, ages infant to 12-years old, with hours of operation from five (5) a.m. to seven (7) p.m., in the first floor of the home.

PROPOSED PROJECT SUMMARY:

- Child Care Home in a Single-Family Residence
 - Site Area – ±0.34 Acres (14,810 Sf)
 - Existing Residential Floor Area – ±2,028 Sf
 - Proposed Child Care Home Operation
 - Care for up to six (6) children, ages infant to 12-years old, with hours of operation from five (5) a.m. to seven (7) p.m., in the first floor of the home

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR CONDITIONAL USE APPLICATION DECISIONS” AS SET FORTH IN SECTION 1425.5 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The proposed use will not be detrimental to adjacent properties or the general neighborhood, the proposed use will not significantly adversely affect public health, safety, morality and welfare, and the proposed use as designed will minimize adverse effects on the surrounding neighborhood:** If operated properly and within the intent of the Zoning Ordinance, a Child Care Home should not be detrimental to adjacent properties or the general neighborhood. The definition of a Child Care Home in Section 210 of the Zoning Ordinance is as follows:

“A facility in a private residence providing for the care, supervision, and protection (with or without academic instruction) of children in which the dwelling is occupied by the provider of these services and where no more than six (6) children under eighteen (18) years of age are received for group care without transfer of custody for more than four (4) hours and less than twenty-four (24) hours per day.”

In other words, a Child Care Home is permitted within a residence as long as the operator is the owner of the property and care is limited to six (6) children for more than four (4) hour and less than twenty-four (24) hour care. The subject property is a single-family residence located inside the Evergreen Estates subdivision. The applicant is proposing to only provide care for six (6) children, aged from infant to twelve (12) years old. The applicant proposes care will only occur from five (5) a.m. to seven (7) p.m. If the child care home is operated in the manner proposed in the application, adjoining properties and the general neighborhood should not be adversely affected.

- (2) The applicable standards in Article X have been met:** There are no standards applicable to Child Care Homes in Article X of the Zoning Ordinance.
- (3) The proposed use is consistent with the Comprehensive Plan, and the conditional use is compatible with the community development pattern:** The subject property is located in the South Sub-Area as identified in the Monroe Comprehensive Plan. The existing character of this vicinity of the South Sub-Area is predominantly single-family residential. The requested Conditional Use does not conflict with the land use goals for the sub-area.
- (4) A rezoning to allow the requested use as a permitted use would not be appropriate:** Rezoning the property to a zoning district where the use would be allowed by right requires rezoning to the B-2 or B-3 zoning district. With this property located well inside an established neighborhood, a rezone to a B commercial district would be inappropriate.

- (5) **The proposed use will not be injurious to the natural environment or the other property in the immediate vicinity, or unconstitutionally diminish property values within the surrounding neighborhood:** The conversion of the existing single-family residence to a child care home should generally not be injurious to the natural environment or diminish adjoining property values if operated as described in the applicant’s narrative.
- (6) **Off-street parking and loading, and access thereto, will be adequate:** The subject property has driveway wide enough to accommodate two vehicles, side by side, at the same time. Overlook Trail has a pavement width of twenty-eight (28) feet and is capable of supporting on-street parking in front of the residence. Parking and access into the property is adequate for the proposed child care home.
- (7) **Public facilities and utilities are capable of adequately serving the proposed use, and the use would not lead to a major negative change in existing levels of public service, or fiscal stability:** Public services and utilities are currently serving the existing single-family residence. The conversion from a single-family residence to a child care home should not have any impact on the City’s abilities to continue to provide public services and utilities.
- (8) **The use will not be an extension of a use which will cause a damaging volume of (a) agricultural, (b) commercial, (c) industrial, or (d) higher density residential use into a stable neighborhood of well-maintained single-family homes, nor likely lead to decreasing surrounding property values, neighborhood deterioration, spreading of blight, or additional requests of a similar nature which would expand the problem:** There are no other child care homes on record in the Evergreen Estates subdivision. If operated in the manner described in the applicant’s narrative, the child care home should not negatively impact adjoining properties.
- (9) **The use would not significantly increase congestion, noise, or traffic hazards:** The use of the property for a Child Care Home itself may not significantly increase congestion or noise. A limit of six (6) children can be at the home for care at any given time during a 24-hour period. The assumed traffic impacts from the residence would be a maximum of twelve (12) additional trips to the residence daily. This limited number of vehicle trips should not be considered a significant traffic impact or hazard to Overlook Trail or the neighborhood itself.
- (10) **Granting this request would not have a “domino effect,” in that it becomes the opening wedge for further rapid growth, urbanization or other land-use change beyond what is indicated in the Comprehensive Plan:** Child Care Homes are allowed as Conditional Uses in the R-1 zoning district. Granting this Conditional Use request should not have a “domino effect” which negatively affects the adjoining residences.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Conditional Use for a child care home, subject to the following conditions:

- 1. The child care home shall operate as described in applicant’s narrative and shall not provide care to more than six (6) children at any time.
- 2. If the property is transferred to a new owner (if the property is sold), this Conditional Use approval shall become null and void and shall not transfer to the new owner of the property.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

CONDITIONAL USE PERMIT

PERMIT #:	2623	DESCRIPTION:	CONDITIONAL USE - CHILD CARE
JOB ADDRESS:	839 OVERLOOK TRAIL	LOT #:	
PARCEL ID:	NM03A096	BLK #:	
SUBDIVISION:	EVERGREEN ESTATES	ZONING:	R-1
ISSUED TO:	MATTHEW PRIDGEN	CONTRACTOR:	MATTHEW PRIDGEN
ADDRESS:	839 OVERLOOK TRAIL	PHONE:	
CITY, STATE ZIP:	MONROE GA 30655	OWNER:	
PHONE:		PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	8/28/2023
VALUATION:	\$ 0.00	EXPIRATION:	2/24/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-09	CONDITIONAL USE PERMIT	\$ 300.00
FEE TOTAL		\$ 300.00
PAYMENTS		\$ -300.00
BALANCE		\$ 0.00

NOTES:

The Planning Commission will hear and make recommendation on this request for a Conditional Use Permit at 839 Overlook Trail on September 19, 2023 at 5:30pm. The Monroe City Council will hear and make a decision on this request on October 10, 2023 at 6:00pm. Both meetings will be held in the Council Chambers at City Hall; 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

8/28/23
DATE



215 North Broad Street
 Monroe, GA 30655
 Tel (770) 267-3429
 Fax (770) 267-3698

Receipt Number: R00553361 106
 Cashier Name: LAURA WILSON
 Terminal Number: 34
 Receipt Date: 8/28/2023 3:47:15 PM

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference: 1578

Name: PRIDGEN, MATTHEW	\$300.00
Total Balance Due:	\$300.00
Amount: \$300.00	
Total Payment Received:	\$300.00
Change:	\$0.00



CONDITIONAL USE APPLICATION

CONDITIONAL USE LOCATION & DESCRIPTION

Address: 839 Overlook Trl

Parcel #: NM03A096 Council Districts: 1

Zoning: R1 Acreage/Square Feet: 0.34 Acres

Type of Conditional Use Requested: Family Child Care Learning Home

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Matthew/Mercedes Bridgen Phone #: 770-417-7567

Address: 839 Overlook Trl City: Monroe State: FL Zip: 30655

Applicant (If different than owner): _____ Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

CONDITIONAL USE INFORMATION

Describe the nature of the proposed use, including without limitation the type of activity proposed, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters (1425.1(1)(b)): We would like to operate a Family Child Care Learning Home from this site with a capacity of 6 children enrolled and one employee. The hours of operation would be 5am - 7pm, Mondays thru Fridays. Childcare would be provided for children ages birth - 12 years old.

Describe the location of the proposed structure(s) or use(s) and its relationship to existing adjacent uses or structures, and use of adjacent properties (1412.1(1)(c)): The Family Child Care Learning Home would be located on the bottom floor of the two-story Home.

CONDITIONAL USE INFORMATION CONT.

Describe the area, dimensions and details of the proposed structure(s) or uses(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways (1425.1(1)(d)):

The structure is the owner's residential home. The first floor of the building (home) will be used for business. The parking space is the existing residential driveway.

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(e)):

- City Water
- Private Well
- City Sewer
- Septic Tank
- Electrical
- Gas
- Telecom

REQUIRED SUBMITTAL ITEMS

- Completed Application
- Fee (see Fee Schedule)
- Survey Plat
- Typed Detailed Description of the Request
- Site Plan; Drawn to scale
- Deed
- Proof of all property taxes paid in full
- Other information as required by Code Enforcement

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: [Signature] DATE: 8/4/2023

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

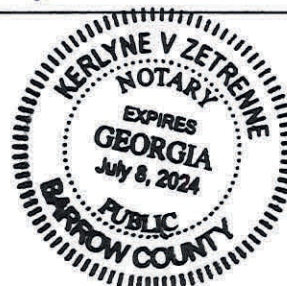
SIGNATURE: _____ DATE: _____

NOTARY PUBLIC:

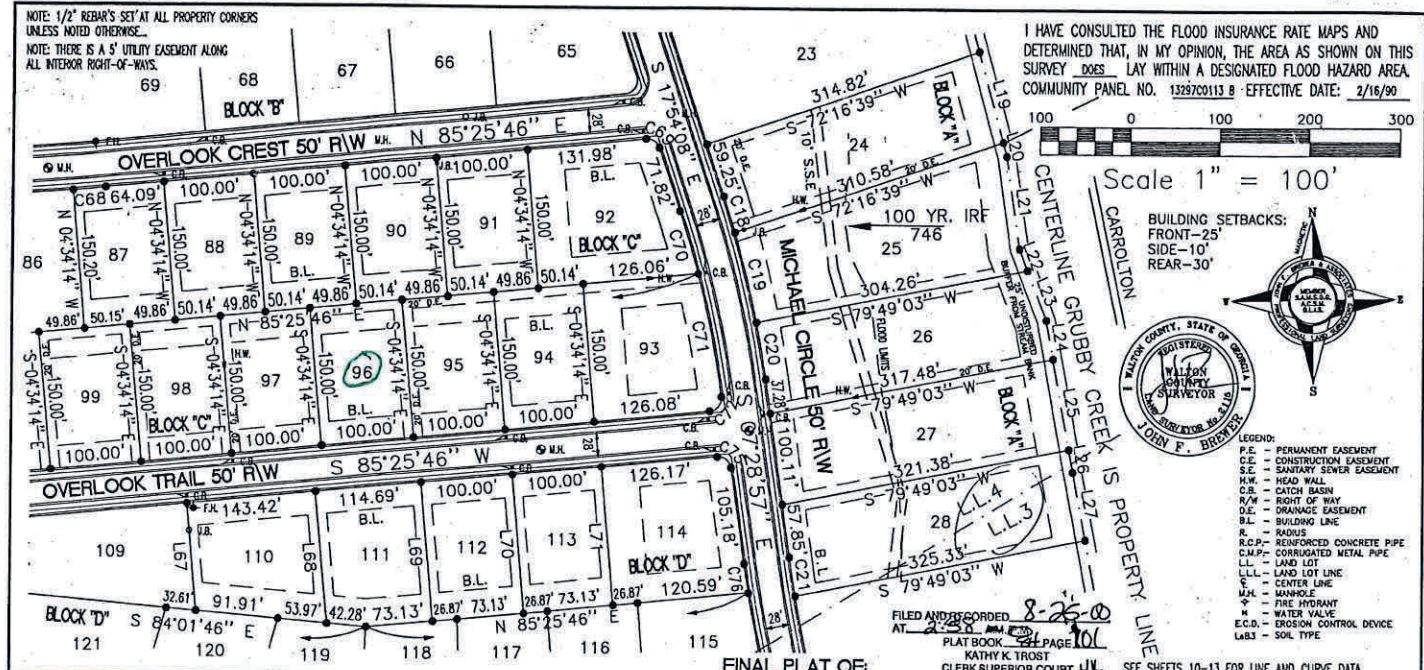
SWORN TO AND SUBSCRIBED BEFORE THIS 4th DAY OF August, 2023

NOTARY SIGNATURE: [Signature]

DATE: 8-4-23 SEAL:



It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.



(CONTINUED)

THIS DRAWING AND ANY COPIES THEREOF ARE THE PROPERTY OF JOHN F. BREWER, R.L.S. #2115. AND ARE NOT TO BE CHANGED OR ALTERED BY OTHERS IN ANY MANNER AND SHALL NOT BE REPRODUCED OR COPIED, IN WHOLE OR PART WITHOUT HIS WRITTEN PERMISSION

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SURVEYORS CERTIFICATION

1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 36,456 FEET AN ANGULAR ERROR OF .3 SECONDS PER ANGLE POINT.
2. THE DATA SHOWN HEREON HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 100,000 FEET AND WAS ADJUSTED BY THE COMPASS RULE.
3. ANGULAR AND LINEAR MEASUREMENTS OBTAINED BY TOPCON GTS 201

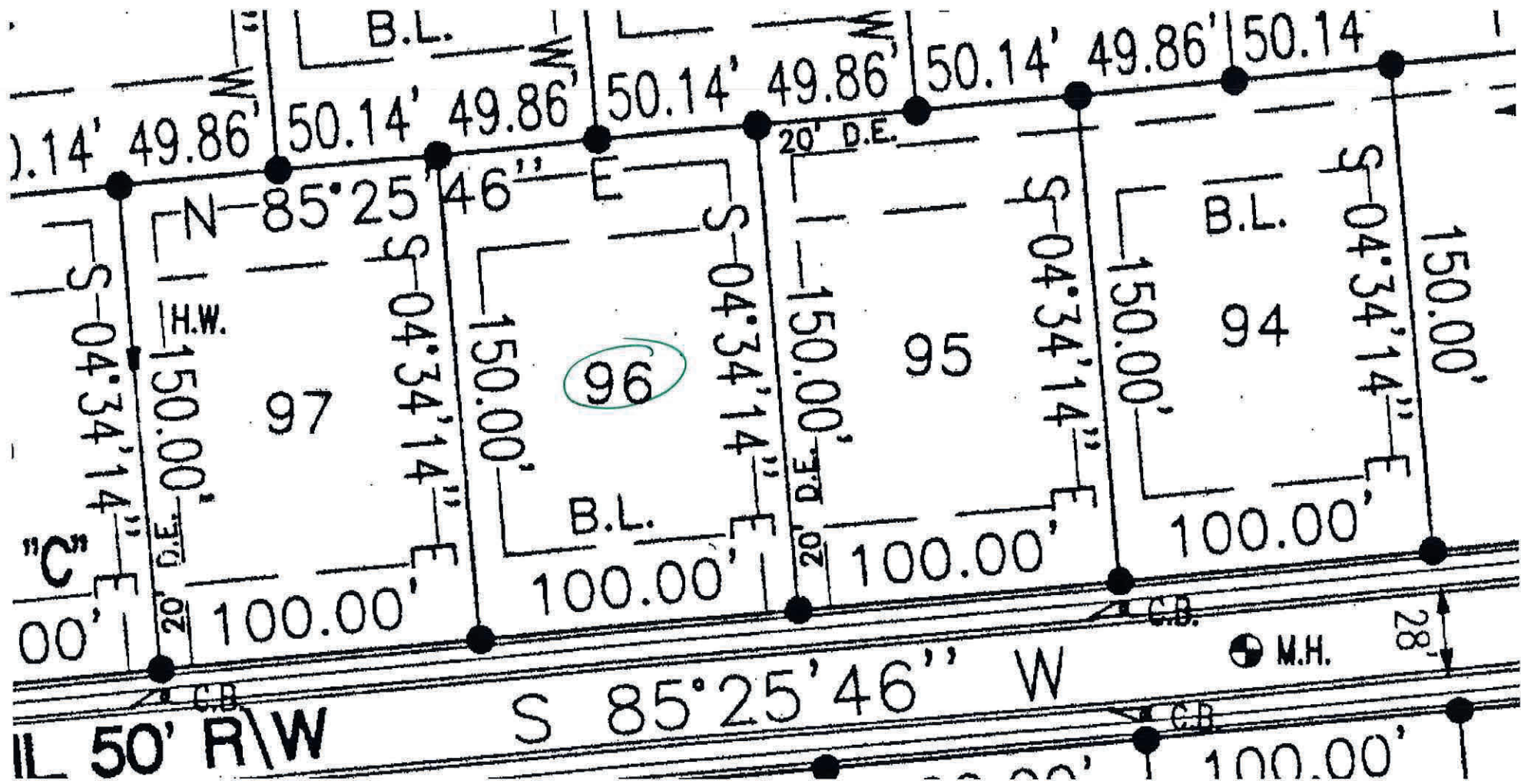
FINAL PLAT OF: **EVERGREEN ESTATES**

STATE	COUNTY	CITY	G.M.D.
GEORGIA	WALTON	MONROE	419
DISTRICT	LAND LOT	SCALE	DATE
3RD	3 & 4	1"=100'	8/8/2000

JOHN F. BREWER AND ASSOCIATES

LAND SURVEYORS, LAND PLANNERS
DEVELOPMENT SUPERVISION

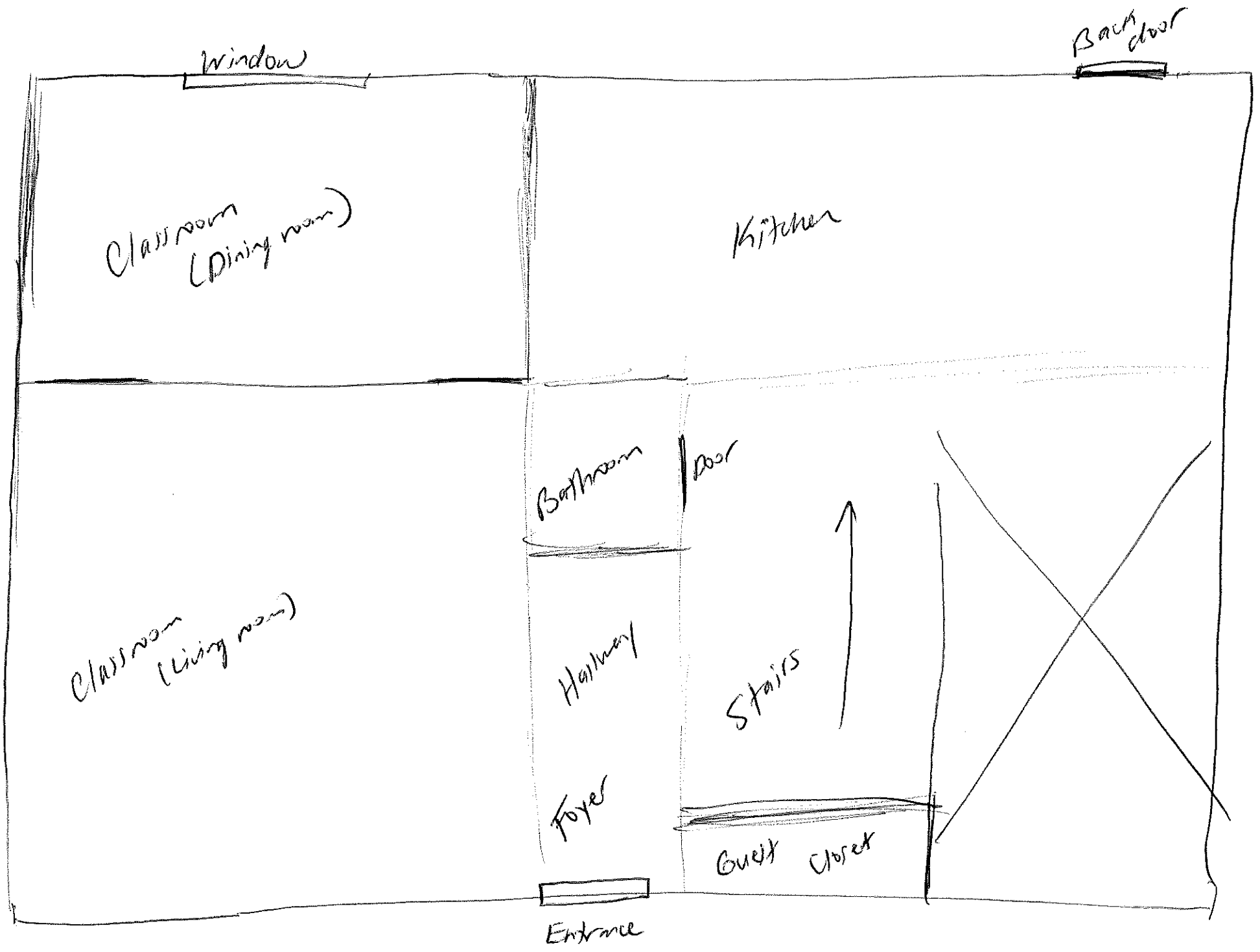
107 DAVIS STREET
MONROE, GA. 30655
(770) 267-4703



Description of Business Request

We would like to operate a Family Child Care Learning Home from this site with a capacity of 6 children at a time with one employee and several substitutes as needed. The hours of operation would be 5 am - 7 pm, Mondays thru Fridays. Childcare would be provided for children ages birth - 12 years old. Parking would be limited to 2-3 cars at a time, not to interfere with normal residential street operations. The Family Child Care Learning Home would be located on the first floor of the two-story home, only. The backyard would also be used as the play area for the children.

Site Plan





To: City Council
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/29/2023
Subject: Development Regulations 7th Update

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:
 7th Update to the 1999 Development Regulations.

Background:
 Please refer to the attached Development Regulations 7th Update Breakdown for specific amendment descriptions and details.

Recommendation:
 The Planning Commission voted unanimously to recommend approval of this proposed update to the Development Regulations as presented without any changes.

Attachment(s):
 Development Regulations 7th Update Breakdown
 Ordinance to Amend the Development Regulations

Proposed Amendments to the Development Regulations – 7th Update

September 19 – Planning Commission
October 10 – City Council 1st Reading
November 14 – City Council 2nd Reading

Amendment Key
Blue – Language to be added
Red – Language to be removed
Green – Amendment description

➤ *Article 4, Section 4.2.4: Amend Development Permit language to extend expiration of valid Development Permits and to clarify when Development Permits expire.*

4.2 LAND DISTURBANCE PERMITS

4.2.4 Development Permit

A Development Permit may not be issued prior to Preliminary Plat approval for subdivisions or approval of Site Development Plans for non-subdivision projects. A Development Permit shall expire ~~twelve (12)~~ **twenty-four (24)** months after issuance, ~~unless development activity as authorized by the permit is initiated within the twelve (12) month period or if such authorized activities lapse for a period exceeding one (1) month. Provided, however, that the Code Enforcement Officer may approve one (1) extension not to exceed three (3) months within which time development activity must commence or the permit shall expire.~~ **The Code Enforcement Officer may approve one (1) extension not to exceed six (6) months within which time the development activity must be completed or said permit shall expire.** Said permit shall be issued to authorize all activities associated with land development process, including clearing and grubbing, grading, and the construction of such improvements as streets, surface parking areas and drives, sewer systems, storm water drainage facilities, sidewalks, or other structures permanently placed on or in the property except for buildings or other structures requiring the issuance of a building permit. **The Development Permit shall automatically expire if land development activity as authorized by this permit has not commenced within six (6) months from the date of issuance or if there is a lapse in land development activity as authorized by this permit for a period of ninety (90) consecutive days.** Water system improvements shall be authorized solely by the City of Monroe Water & Gas Department.

Article 6, Section 6.1.2: Amend Preliminary Plat procedures to clarify the number of plats to be submitted, align the submittal and review procedure with Section 7.2, and to modify the approval authority from the City Council to the Planning Commission.

6.2 SUBDIVISION REVIEW PROCEDURE

6.1.2 Preliminary Plat

- a) An application for Preliminary Plat approval shall be submitted to the Code Enforcement Office using an application form as available from said office along with ~~six (6)~~ **two (2)** copies and one (1) digital copy of the Preliminary Plat.

- b) The Preliminary Plat shall be sealed by a Professional Engineer, Surveyor or Landscape Architect currently registered in the State of Georgia in accordance with the provisions of Georgia law.
- c) Said applications ~~for approval shall be submitted at least thirty (30) days prior to the next scheduled Planning Commission meeting in order to be placed on their agenda for consideration~~ shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for completeness and accuracy. Incomplete submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.
- d) The Planning Commission shall review and consider the Preliminary Plat for its conformance with the city’s Comprehensive Plan, Zoning Ordinance, Official Street Plan, this ordinance and other applicable city ordinances. Based on its review of the preliminary plat, the Planning Commission may ~~recommend approval, recommend denial~~ approve, deny, or table for further consideration. The subdivider may not proceed further with the plat approval and site development process until approval is received from the Planning Commission.
- ~~e) The Preliminary Plat shall be forwarded with a recommendation from the Planning Commission to the Mayor and council for their review and approval.~~
- ~~f) The Mayor and Council shall review and consider the Preliminary Plat for its conformance with the city’s Comprehensive Plan, Official Street Plan, this ordinance and other applicable city ordinances. Based on its review of the preliminary plat, the Mayor and Council may approve, deny, or table for further consideration. The subdivider may not proceed further with the plat approval and site development process until approval is received from the Mayor and Council.~~
- g) Upon approval of the Preliminary Plat, the subdivider may proceed with Site Development Plans, based upon the approved Preliminary Plat drawings and data.
- h) Copies of the approved Preliminary Plat shall be provided in a number as determined by the Code Enforcement Officer for permanent record.

Article 7, Section 7.2: Amend Preliminary Plat procedures to modify the approval authority from the City Council to the Planning Commission.

7.2 PRELIMINARY PLAT SPECIFICATIONS

An application for a Preliminary Plat Approval for a subdivision shall consist of the Preliminary Plat, a certified boundary survey, and such other Development Plans as may be required by these Regulations.

The Preliminary Plat and application shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for completeness and accuracy. Incomplete submittals or submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.

7.2.1 Conformance to Sketch Plat

The Preliminary Plat shall generally conform to the Sketch Plat. The Preliminary Plat shall include all of the contiguous property under one (1) ownership.

7.2.2 Scale

The Preliminary Plat shall be clearly and legibly drawn at a scale of not less than one hundred (100) feet to one (1) inch. Sheet size shall not exceed twenty-four (24) inches by thirty-six (36) inches. The Code Enforcement Officer may approve other scales as deemed appropriate.

7.2.3 Certified Boundary Survey

- a) The Preliminary Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Preliminary Plat, and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than one (1) in ten thousand (10,000), and shall meet all requirements of Georgia Law regarding the recording of maps and plats.
- b) Each Preliminary Plat shall be drawn on, accompanied by, or referenced to a boundary survey.

7.2.4 Preliminary Plat Specifications.

The Preliminary Plat shall contain the following:

- a) Name of the subdivision, unit number, Land District, Land Lot number, and total acreage of tract.
- b) Name, address, and telephone number of owner or agent.
- c) Name, address and telephone number of individual responsible for subdivision design and surveys.
- d) Date, graphic scale, and north point.
- e) Location sketch of tract showing major surrounding features.
- f) Proposed use of the subdivision.

- g) Minimum building setback lines along streets, with dimensions.
- h) Location of existing property lines, major easements, rights of way, water courses, drainage areas and ditches, distinctive natural features, and existing buildings.
- i) The location, names, and width of all existing or proposed streets within or directly adjacent to the subject property.
- j) Lots numbered in numerical order and blocks lettered alphabetically.
- k) Total number of lots proposed in tabular form.
- l) The approximate location of all proposed or existing lots and the site of the smallest lot.
- m) The location of flood plain areas.
- n) Statement of proposed water and/or sewer supply or collection method.
- o) Zoning of subject property and adjacent property.
- p) Names of adjacent property owners.
- q) Topography with contours no greater than two (2) feet.
- r) Location of all known existing or previously existing landfills.
- s) Location of all known existing groundwater recharge areas.
- t) Location of all known existing wetlands.
- u) Location of all known flood hazard areas.
- v) Location of all known Protected River Corridors.
- w) Location of all known Water Supply Watershed areas.
- x) AUTHORIZATION STATEMENT (text follows):

I hereby submit this Preliminary Plat as authorized agent/owner of all property shown thereon, and certify that all contiguous property under my ownership or control is included within the boundaries of this Preliminary Plat, as required by the Development Regulations.

Signature of Authorized Agent/Owner Date

- r) CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (text follows):

This Preliminary Plat has been reviewed and approved for general compliance with the Zoning Ordinance and Development Regulations of the City of Monroe.

Code Enforcement Officer Date

s) CERTIFICATE OF APPROVAL BY PLANNING COMMISSION (text follows):

The Preliminary Plat shown hereon has been found to comply with the Zoning Ordinance and the Development Regulations of the City of Monroe and is hereby given Preliminary Approval by the City of Monroe Planning Commission. This Preliminary Approval does not constitute approval of a Final Plat. This Certificate of Approval shall expire and be null and void one (1) year from the date of this Certificate of Approval if no Site Development Plans are approved and no Final Plat is recorded. If Site Development Plans are approved within one (1) year from the date of this Certificate of Approval, this Certificate of Approval shall extend to the expiration of Site Development Plans. If no Final Plat is recorded by the expiration of the Site Development Plans, then this Certificate of Approval shall expire and be null and void in its entirety and shall require a new Preliminary Plat Approval by the City of Monroe Planning Commission.

Dated this ____ day of _____, 20__

By: _____, Chairman

By: _____, Secretary

~~t) CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL (text follows):~~

~~The Preliminary Plat shown hereon has been found to comply with the Zoning Ordinance and the Development Regulations of the City of Monroe and is hereby given Preliminary Approval by the City of Monroe Mayor and Council. This Preliminary Approval does not constitute approval of a Final Plat. This Certificate of Approval shall expire and be null and void one (1) year from the date of this Certificate of Approval if no Site Development Plans are approved and no Final Plat is recorded. If Site Development Plans are approved within one (1) year from the date of this Certificate of Approval, this Certificate of Approval shall extend to the expiration of Site Development Plans. If no Final Plat is recorded by the expiration of the Site Development Plans, then this Certificate of Approval shall expire and be null and void in its entirety and shall require a new Preliminary Plat Approval by the City of Monroe Mayor and Council.~~

~~Dated this ____ day of _____, 20__~~

~~By: _____, Mayor~~

~~By: _____, City Clerk~~

AN ORDINANCE TO AMEND THE DEVELOPMENT REGULATIONS FOR THE CITY OF MONROE, GEORGIA

The Mayor and Council of the city of Monroe, Georgia, hereby ordain as follows:

ARTICLE I.

The Development Regulations for the City of Monroe, Georgia, officially adopted July 6, 1999, and as thereafter amended, is hereby amended by implementing text amendments and changes outlined and identified in particular detail on Exhibit A, which such exhibit is incorporated herein by reference.

ARTICLE II.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

ARTICLE III.

These text amendments of the Development Regulations for the City of Monroe, Georgia shall take effect upon their adoption by the Mayor and Council.

FIRST READING. This 10th, day of October, 2023.

SECOND READING AND ADOPTED on this 14th day of November, 2023.

CITY OF MONROE, GEORGIA

By: _____ (SEAL)
John Howard, Mayor

Attest: _____ (SEAL)
Beverly Harrison, Interim City Clerk

EXHIBIT A

The Development Regulations for the City of Monroe, Georgia Text Amendment

Update # 7

- 1. Article 4, Section 4.2.4 – Land Disturbance Permits; Development Permit: Amend Land Disturbance Permit language to extend expiration of valid Development Permits and to clarify when Development Permits expire. Section 4.2.4 to be amended as follows:**

4.2 LAND DISTURBANCE PERMITS

4.2.4 Development Permit

A Development Permit may not be issued prior to Preliminary Plat approval for subdivisions or approval of Site Development Plans for non-subdivision projects. A Development Permit shall expire twenty-four (24) months after issuance. The Code Enforcement Officer may approve one (1) extension not to exceed six (6) months within which time the development activity must be completed or said permit shall expire. Said permit shall be issued to authorize all activities associated with land development process, including clearing and grubbing, grading, and the construction of such improvements as streets, surface parking areas and drives, sewer systems, storm water drainage facilities, sidewalks, or other structures permanently placed on or in the property except for buildings or other structures requiring the issuance of a building permit. The Development Permit shall automatically expire if land development activity as authorized by this permit has not commenced within six (6) months from the date of issuance or if there is a lapse in land development activity as authorized by this permit for a period of ninety (90) consecutive days. Water system improvements shall be authorized solely by the City of Monroe Water & Gas Department.

- 2. Article 6, Section 6.1.2 – Subdivision Review Procedure; Preliminary Plats: Amend Preliminary Plat procedures to clarify the number of plats to be submitted, align the submittal and review procedure with Section 7.2, and to modify the approval authority from the City Council to the Planning Commission. Section 6.1.2 to be amended as follows:**

6.2 SUBDIVISION REVIEW PROCEDURE

6.1.2 Preliminary Plat

- a) An application for Preliminary Plat approval shall be submitted to the Code Enforcement Office using an application form as available from said office along with two (2) copies and one (1) digital copy of the Preliminary Plat.
- b) The Preliminary Plat shall be sealed by a Professional Engineer, Surveyor or Landscape Architect currently registered in the State of Georgia in accordance with the provisions of Georgia law.
- c) Said applications shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for

completeness and accuracy. Incomplete submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.

- d) The Planning Commission shall review and consider the Preliminary Plat for its conformance with the city’s Comprehensive Plan, Zoning Ordinance, Official Street Plan, this ordinance and other applicable city ordinances. Based on its review of the preliminary plat, the Planning Commission may approve, deny, or table for further consideration. The subdivider may not proceed further with the plat approval and site development process until approval is received from the Planning Commission.
- e) Upon approval of the Preliminary Plat, the subdivider may proceed with Site Development Plans, based upon the approved Preliminary Plat drawings and data.
- f) Copies of the approved Preliminary Plat shall be provided in a number as determined by the Code Enforcement Officer for permanent record.

3. Article 7, Section 7.2 – Plan and Plat Specifications; Preliminary Plat Specifications: Amend Preliminary Plat procedures to modify the approval authority from the City Council to the Planning Commission. Section 7.2 to be amended as follows:

7.2 PRELIMINARY PLAT SPECIFICATIONS

An application for a Preliminary Plat Approval for a subdivision shall consist of the Preliminary Plat, a certified boundary survey, and such other Development Plans as may be required by these Regulations.

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7.2.1 Conformance to Sketch Plat

The Preliminary Plat shall generally conform to the Sketch Plat. The Preliminary Plat shall include all of the contiguous property under one (1) ownership.

7.2.2 Scale

The Preliminary Plat shall be clearly and legibly drawn at a scale of not less than one hundred (100) feet to one (1) inch. Sheet size shall not exceed twenty-four (24) inches by thirty-six (36) inches. The Code Enforcement Officer may approve other scales as deemed appropriate.

7.2.3 Certified Boundary Survey

- a) The Preliminary Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Preliminary Plat, and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than one (1) in ten thousand (10,000), and shall meet all requirements of Georgia Law regarding the recording of maps and plats.

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7.2.4 Preliminary Plat Specifications.

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- b) Name, address, and telephone number of owner or agent.
- c) Name, address and telephone number of individual responsible for subdivision design and surveys.
- d) Date, graphic scale, and north point.
- e) Location sketch of tract showing major surrounding features.
- f) Proposed use of the subdivision.
- g) Minimum building setback lines along streets, with dimensions.
- h) Location of existing property lines, major easements, rights of way, water courses, drainage areas and ditches, distinctive natural features, and existing buildings.
- i) The location, names, and width of all existing or proposed streets within or directly adjacent to the subject property.
- j) Lots numbered in numerical order and blocks lettered alphabetically.
- k) Total number of lots proposed in tabular form.
- l) The approximate location of all proposed or existing lots and the site of the smallest lot.
- m) The location of flood plain areas.
- n) Statement of proposed water and/or sewer supply or collection method.
- o) Zoning of subject property and adjacent property.
- p) Names of adjacent property owners.
- q) Topography with contours no greater than two (2) feet.
- r) Location of all known existing or previously existing landfills.
- s) Location of all known existing groundwater recharge areas.
- t) Location of all known existing wetlands.
- u) Location of all known flood hazard areas.
- v) Location of all known Protected River Corridors.
- w) Location of all known Water Supply Watershed areas.
- x) AUTHORIZATION STATEMENT (text follows):

I hereby submit this Preliminary Plat as authorized agent/owner of all property shown thereon, and certify that all contiguous property under my ownership or control is included within the boundaries of this Preliminary Plat, as required by the Development Regulations.

Signature of Authorized Agent/Owner

Date

- r) CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (text follows):

This Preliminary Plat has been reviewed and approved for general compliance with the Zoning Ordinance and Development Regulations of the City of Monroe.

Code Enforcement Officer

Date

- s) CERTIFICATE OF APPROVAL BY PLANNING COMMISSION (text follows):

The Preliminary Plat shown hereon has been found to comply with the Zoning Ordinance and the Development Regulations of the City of Monroe and is hereby given Approval by the City of Monroe Planning Commission. This Approval does not constitute approval of a Final Plat. This Certificate of Approval shall expire and be null and void one (1) year from the date of this Certificate of Approval if no Site Development Plans are approved and no Final Plat is recorded. If Site Development Plans are approved within one (1) year from the date of this Certificate of Approval, this Certificate of Approval shall extend to the expiration of Site Development Plans. If no Final Plat is recorded by the expiration of the Site Development Plans, then this Certificate of Approval shall expire and be null and void in its entirety and shall require a new Preliminary Plat Approval by the City of Monroe Planning Commission.

Dated this ____ day of _____, 20__

By: _____, Chairman

By: _____, Secretary



To: City Council
From: Logan Propes, City Administrator
Department: Administration
Date: 10/10/2023
Subject: Street Name Resolution

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:
 A Council Sponsor recommends the renaming of Day Street to Malcom-Day Street.

Background:
 The city of Monroe received a request to change the name of Day street to Malcom-Day Street to honor the life and legacy of its longtime resident Robert Ellis Malcom while continuing to honor the Day family for their contributions to the history of our City.

Attachment(s):
 Resolution

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MONROE, GEORGIA
TO RENAME THE STREET NAME OF DAY STREET TO MALCOM-DAY STREET**

WHEREAS, Georgia Statutes provide that municipalities shall have the governmental, corporate and proprietary powers to enable them to conduct municipal government, perform municipal functions, and exercise any power for municipal purposes, except where expressly prohibited by law; and

WHEREAS, Article I of the Charter of the City of Monroe, Georgia (“City”) empowers the City to adopt amend or repeal such ordinances and resolutions as may be required for the proper governing of the City; and

WHEREAS, Day Street is within the jurisdictional limits of the City; and

WHEREAS, the City has received a request to change the name of Day Street to Malcom-Day Street to honor the life and legacy of its longtime resident Robert Ellis Malcom while continuing to honor the Day family for their contributions to the history of our City; and

WHEREAS, Robert Ellis Malcom and his family have lived at 302 West Highland Avenue next to Day Street for a period of forty-five years; and

WHEREAS, Robert Ellis Malcom has served his church and this community with distinction for his entire life; and

WHEREAS, Robert Ellis Malcom has served as a good friend and colleague to many Monroe and Walton County citizens and his sense of humor, kindness, energy and graciousness has enriched those fortunate enough to know him;

NOW THEREFORE, BE IT RESOLVED by the Mayor and Council of Monroe, Georgia as follows:

SECTION 1: That the above recitals are true and correct and are hereby incorporated by references as though fully set forth herein and are hereby adopted as the legislative and administrative findings of the City.

SECTION 2: That the City recognizes Robert Ellis Malcom’s love of and dedication to the City and expresses its appreciation for his contributions to its citizens.

SECTION 3: That the request to change the street name of Day Street is approved and shall henceforth be known as Malcom-Day Street in honor of these families who have contributed much to the welfare of this community.

SECTION 2: That this resolution shall become effective upon its adoption.

This ____ day of October, 2023.

CITY OF MONROE

By: _____
John Howard, Mayor

Attest: _____
Logan Propes, City Administrator



OCCUPATIONAL TAX APPLICATION CITY OF MONROE

PO Box 1249 - Monroe, GA 30655
770-207-4674 - dchambers@monroega.gov

Business Contact Information

Business Name: The Factory at Walton Mill, LLC
Ownership Type: Corporation LLC Sole Proprietor Partnership Non-profit
DBA: _____
Physical Location: 600 South Broad A500, Monroe, GA 30655
Mailing Address: 120 2nd St #101, Monroe, GA 30655
Business email: gabel@hbmgonroe.com Business Phone: 6785259958

Business Owner Contact Information

Owner(s) Name: Gabel Holder
Owner's Email: Gabel@hbmgonroe.com Owner's Phone: 6785259958
Local / Emergency Contact: Gabel Holder Phone: 6785259958
Property Owner's Name: Gabel Holder Phone: 6785259958

Reason for Application

New Business Change of Ownership DBA Change Change of Address
 Change of Business Activity Short Term Rental

Business Information

Business Description: Special Event Venue/Facility
Residential or Commercial? Is this a home based (office only) business? Commercial, No
NAICS Code (<https://www.census.gov/naics>): 531120
Start Date: 7/1/22 Number of Employees: 0 FullTime 0 PartTime _____
Total weekly PartTime hours: 0 /40 = 0 (FullTime Equivalent) + 0 (FT) = 0 (Total FT)
Federal Tax ID (EIN): 88-2122058 GA State & Use Tax: 308-793813
GA Professional License Number(s): NA
E-Verify Number: na - exempt or Exempt? yes - no employees
Gross Receipts: (Estimated from start of business to end of calendar year) 132,000
OR Number of Practitioners*: _____

***Under O.C.G.A. 48-13-9(c)1-18 practitioners have the right to pay \$400 per practitioner**

Questions

1. Have you ever been convicted of a felony or are you disqualified to receive a license by reason of any matter or thing contained in the laws of this state or city? no
2. Will a sign be installed on the building or property (permit required)? no

I, Gabel Holder, do solemnly swear that the information on this application is true, correct to the best of my knowledge, training, and ability, and that no false or misleading statement is made herein to obtain a business occupational tax certificate. I understand that if I provide false or misleading information in this application I may be subject to criminal prosecution and/or immediate revocation of my business occupational tax certificate issued as a result of this application. I understand that I must comply with any and all ordinances of the City of Monroe.

Gabel Holder
Signature

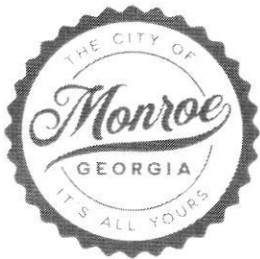
Gabel Holder
Print Name

1/13/23
Date

Subscribed and sworn before me this 13 day of January, 2023
Notary Public Signature and Seal: [Signature]

Any false statement, misrepresentation of fact(s) or omission may be cause for criminal prosecution.





CITY OF MONROE

ALCOHOLIC BEVERAGE LICENSE APPLICATION

INSTRUCTIONS: PLEASE PRINT OR TYPE APPLICATION AND ANSWER ALL QUESTIONS.

Please fill out entire application leaving no sections blank; please mark sections that do not apply N/A

Please check the licenses that you are applying for.

CITY OF MONROE

ALCOHOLIC BEVERAGE LICENSE FEES

<u>CONSUMPTION ON PREMISE:</u>	<u>LICENSE FEE:</u>	
BEER/WINE	\$1000.00	X
NON PROFIT PRIVATE CLUB	\$600.00	_____
PRIVATE CLUB WITH SUNDAY SALES	\$750.00	_____

DISTILLED SPIRITS	\$3000.00	X
NON PROFIT PRIVATE CLUB-ONLY	\$600.00	_____
NON PROFIT PRIVATE CLUB WITH SUNDAY SALES	\$750.00	_____

<u>PACKAGE:</u>	<u>LICENSE FEE:</u>	
BEER/WINE	\$2000.00	_____
HOTEL/MOTEL IN ROOM SERVICE	\$250.00	_____
GROWLERS	\$2000.00	_____

<u>ALCOHOL BEVERAGE CATERER:</u>	<u>LICENSE FEE:</u>	
ALCOHOL BEVERAGE CATERER BEER AND WINE	\$1000.00	_____
ALCOHOL BEVERAGE CATERER DISTILLED SPIRITS	\$1000.00	_____

WHOLESALE DEALERS:

LICENSE FEE:

PRINCIPAL PLACE OF BUSINESS - CITY

BEER/WINE

\$1500.00

DISTILLED SPIRITS

\$2000.00

PRINCIPAL PLACE OF BUSINESS - NOT IN CITY

\$100.00

TEMPORARY LICENSE:

LICENSE FEE:

NON PROFIT ORGANIZATIONS

\$25.00 PER DAY

FOR PROFIT ORGANIZATIONS

\$150.00 PER DAY

SPECIAL EVENT VENUES
REGISTRATION

\$300.00

There is a \$250.00 non-refundable administrative/investigative fee for all licenses except for a Beer/Wine Amenities License which the fee is \$200.00.

There is no application fee for wholesale dealers. This administrative / investigative fee applies to new applications only-does not apply to renewals.

1. Full Name of Business The Factory at Walton Mill, LLC

Under what name is the Business to operate? The Factory at Walton Mill

Is the business a proprietorship, partnership or corporation? Domestic or foreign?
Domestic corporation

2. Address: a) Physical: 600 South Broad St A500, Monroe, GA 30655

b) Mailing: 120 2nd St #101, Monroe, GA 30655

3. Phone 678-520-8718 Beginning Date of Business in City of Monroe 9/25/20

4. New Business Existing business purchase

If change of ownership, enclose a copy of the sales contract and closing statement.

5. Federal Tax ID Number 88-2122058 Georgia Sales Tax Number 308793813

6. Is business within the designated distance of any of the following:

CHURCH, SCHOOL GROUNDS, COLLEGE CAMPUS (See Land Survey Requirements)

Beer and Wine 100 Yards Yes _____ No X

Liquor 100 Yards (Church) or 200 Yards (School) Yes _____ No X

7. Full name of Applicant Gabel Ehren Holder

Full Name of Spouse, if Married Polly Stewart Holder

Are you a Citizen of the United States or Alien Lawful Permanent Resident? Yes

Birthplace Athens, GA

Current Address 2300 Lemonds Rd City Social Circle St GA Zip 30025

Home Telephone 678-525-9958

Number of Years at present address 6

Previous address (If living at current address less than 2 yrs).

na

Number of years at previous address na

8. If new business, date business will begin in Monroe 09/25/20

If transfer or change of ownership, effective date of this change na

If transfer or change of ownership, enclose a copy of the sales contract and closing statement.

Previous applicant & D/B/A na

9. What is the name of the person who, if the license is granted, will be the active manager of the business and on the job at the business? List address, occupation, phone number, and employer Richard Holder 1885 Alcovy Mountain Road Monroe GA 30655

678-520-8718 Holder Brothers Management Group

10. Has the person, firm, limited liability company, corporation, applicant, owner/owners, partner, shareholder, manager or officer been arrested, convicted or entered a plea of nolo

contendere within ten (10) years immediately prior to the filing of this application for any felony or misdemeanor of any state or of the United States, or any municipal ordinance involving moral turpitude, illegal gambling or illegal possession or sale of controlled substances or the illegal possession or sale of alcoholic beverages to minors in a manner contrary to law, keeping a place of prostitution, pandering, pimping, public indecency, prostitution, solicitation of sodomy, or any sexually related crime. If yes, describe in detail and give dates.

no

11. Has the applicant been convicted under any federal, state or local law of any felony, within fifteen (15) years prior to the filing of application of such license? no

12. Do you own the land and building on which this business is to be operated? no

13. Does this establishment have a patio/open area intended to be used for consumption of alcoholic beverages? [] yes or [X] no

14. If operating as a corporation, state name and address of corporation, when and where incorporated, and the names and addresses of the officers and directors and the office held by each.

The Factory at Walton Mill, LLC 120 2nd St #101 Monroe, GA 30655

Incorporated 4/8/22 at current address

James R Holder 345 HWY 11 S, Monroe, GA 30655 member

Gabel E Holder 2300 Lemonds Rd, Social Circle GA 30025 managing member

Richard W Holder 1885 Alcovy Mountain Rd, Monroe, GA 30655 managing member

15. If operating as a corporation, list the stockholders (20% or more) complete addresses, area code and telephone numbers, residential and business, and the amount of interest of each stockholder.

James R Holder 345 HWY 11 S, Monroe, GA 30655 678-246-9185 33 1/3%

Gabel E Holder 2300 Lemonds Rd, Social Circle GA 30025 678-525-9958 33 1/3%

Richard W Holder 1885 Alcovy Mountain Rd, Monroe, GA 30655 678-520-8718 33 1/3%

16. If operating as a partnership, list the partners with complete addresses, area code and telephone numbers, residential and business, and the amount of interest or percent of ownership of each partner. na

17. If partnership or individual, state names of any persons or firms owning any interest or receiving any funds from the corporation. na

18. Does applicant receive any financial aid or assistance from any manufacturer or wholesaler of alcoholic beverages? If yes, explain. no

19. Does the applicant have any financial interest in any manufacturer or wholesaler of alcoholic beverages? If yes, please explain.

no

20. State whether or not applicant, partner, corporation officer, or stockholder holds any alcoholic beverage license in other jurisdiction or has ever applied for a license and been denied. (Submit full details) no

21. Does you or your spouse or any of the other owners, partners or stockholders have any interest in any liquor store or wholesale liquor business? no

22. If a retail grocery business in existence for more than six (6) months:
A statement from the applicant with documentary evidence provided that the business has had or will have gross sales of merchandise, other than malt beverages and wine, of more than three thousand dollars (\$3000.00) per month average for six (6) successive months preceding the filing of the application for this license or renewal thereof.

If a retail grocery business in existence for less than six (6) months:
A statement from the applicant with documentary evidence provided, that the business has had or will have gross sales of merchandise, other than malt beverages and wine, of more than three thousand dollars (\$3000.00) per month average for six (6) successive months from its inception; and within ten (10) days upon completion of six (6) months' verifying the statement required herein; and upon failure to provide such verification as prescribed herein, the license shall be suspended until such verification is made.

23. If a club, a statement that the club has been organized or chartered for at least one (1) year; a statement that during the past year the club has held regular monthly meetings; and a statement that the club has at least fifty (50) members.

24. Character References: (For the applicant)

1. Chad Draper
 Name
253 Boulevard
 Address
Monroe, GA 30655 503-927-6321
 City State Zip Telephone

2. Jason Tolbert
 Name
111 Rock Glen Rd
 Address
Athens, GA 30606 706-207-0907
 City State Zip Telephone

3. Brad Charles
 Name
2005 Whitney Rd
 Address
Monroe, GA 30655 678-227-2920
 City State Zip Telephone

This the 13 day of January 2023.

[Signature] (Signature Applicant)
 _____ (Title i.e. Partner, General Partner, Manager, Owner, etc.)
 managing member

Gabel Holder (Print Name)

Or: [Signature] (Signature of Corporate Officer)
 _____ (Printed Name and Title of Corporate Officer)
 Gabel Holder managing member

Signed, sealed and delivered in the presence of: Karen U. Mahmood

Notary Public: [Signature]

Executed: 13.2023. Monroe Ga





OCCUPATIONAL TAX APPLICATION CITY OF MONROE

PO Box 1249 - Monroe, GA 30655

770-207-4674

Business Contact Information

Business Name: The Loft in Monroe, Inc
 Ownership Type: Corporation LLC Sole Proprietor Partnership Non-profit
 DBA: The Loft
 Physical Location: 113 North Broad Street
 Mailing Address: 521 Emerald Pt Tr. Monroe 30655
 Business email: theloftinmonroe@gmail.com Business Phone: 256-286-3213

Business Owner Contact Information

Owner(s) Name: Adrienne Vines
 Owner's Email: xidefan101@yahoo.com Owner's Phone: 256-286-3213
 Local / Emergency Contact: Madeline Dulces Phone: 205-538-4097
 Property Owner's Name: Chad Draper Phone: _____

Reason for Application

New Business Change of Ownership DBA Change Change of Address
 Change of Business Activity Short Term Rental

Business Information

Business Description: Retail of olive oil, food items, and wine
 Residential or Commercial? Is this a home based (office only) business? _____
 NAICS Code (https://www.census.gov/naics): 445299 / 1445310
 Start Date: 8/30/23 Number of Employees: 0 FullTime _____ PartTime _____
 Total weekly PartTime hours: _____ /40 = _____ (FullTime Equivalent) + _____ (FT) = _____ (Total FT)
 Federal Tax ID (EIN): 93-2419720 GA State & Use Tax: 308868590
 GA Professional License Number(s): _____
 E-Verify Number: _____ or Exempt? _____
 Gross Receipts: (Estimated from start of business to end of calendar year) \$ 5 000

OR Number of Practitioners*: _____

*Under O.C.G.A. 48-13-9(c)1-18 practitioners have the right to pay \$400 per practitioner

Questions

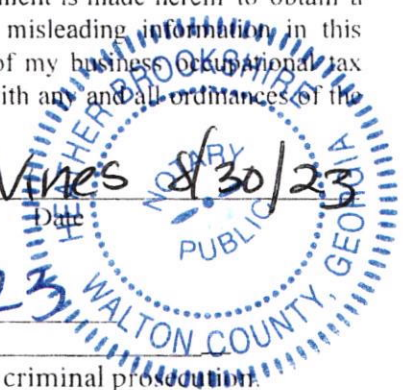
1. Have you ever been convicted of a felony or are you disqualified to receive a license by reason of any matter or thing contained in the laws of this state or city? NO
2. Will a sign be installed on the building or property (permit required)? NO

I, Adrienne D. Vines, do solemnly swear that the information on this application is true, correct to the best of my knowledge, training, and ability, and that no false or misleading statement is made herein to obtain a business occupational tax certificate. I understand that if I provide false or misleading information in this application I may be subject to criminal prosecution and/or immediate revocation of my business occupational tax certificate issued as a result of this application. I understand that I must comply with all laws and ordinances of the City of Monroe.

Adrienne D. Vines Signature Adrienne Vines Print Name 8/30/23 Date

Subscribed and sworn before me this 30 day of August, 2023
 Notary Public Signature and Seal: Heather Brooks

Any false statement, misrepresentation of fact(s) or omission may be cause for criminal prosecution.
 O.C.G.A. 16-10-20





CITY OF MONROE

ALCOHOLIC BEVERAGE LICENSE APPLICATION

INSTRUCTIONS: PLEASE PRINT OR TYPE APPLICATION AND ANSWER ALL QUESTIONS.

Please fill out entire application leaving no sections blank; please mark sections that do not apply N/A

Please check the licenses that you are applying for.

CITY OF MONROE

ALCOHOLIC BEVERAGE LICENSE FEES

CONSUMPTION ON PREMISE:

LICENSE FEE:

BEER/WINE	\$1000.00	_____
NON PROFIT PRIVATE CLUB	\$600.00	_____
PRIVATE CLUB WITH SUNDAY SALES	\$750.00	_____

DISTILLED SPIRITS	\$3000.00	_____
NON PROFIT PRIVATE CLUB-ONLY	\$600.00	_____
NON PROFIT PRIVATE CLUB WITH SUNDAY SALES	\$750.00	_____

PACKAGE:

LICENSE FEE:

BEER/WINE	\$2000.00	_____
HOTEL/MOTEL IN ROOM SERVICE	\$250.00	_____
GROWLERS	\$2000.00	_____
WINE SHOP	\$750.00	_____ ✓

ALCOHOL BEVERAGE CATERER:

LICENSE FEE:

ALCOHOL BEVERAGE CATERER BEER AND WINE	\$1000.00	_____
--	-----------	-------

ALCOHOL BEVERAGE CATERER DISTILLED SPIRITS	\$1000.00	_____
--	-----------	-------

WHOLESALE DEALERS:

LICENSE FEE:

PRINCIPAL PLACE OF BUSINESS - CITY
BEER/WINE
DISTILLED SPIRITS

\$1500.00
\$2000.00

PRINCIPAL PLACE OF BUSINESS – NOT IN CITY

\$100.00

TEMPORARY LICENSE:

LICENSE FEE:

NON PROFIT ORGANIZATIONS
FOR PROFIT ORGANIZATIONS

\$25.00 PER DAY
\$150.00 PER DAY

SPECIAL EVENT VENUES
REGISTRATION

\$300.00

**There is a \$250.00 non-refundable administrative/investigative fee for all licenses except for a Beer/Wine Amenities License which the fee is \$200.00.
There is no application fee for wholesale dealers.**

1. Full Name of Business The Loft in Monroe, Inc

Under what name is the Business to operate? The Loft

Is the business a proprietorship, partnership or corporation? Domestic or foreign?

Domestic corporation

2. Address: a) Physical: 113 N Broad Street Monroe, GA 30655

b) Mailing: 521 Emerald Pointe Trail Monroe, GA 30655

3. Phone 256-286-3213 Beginning Date of Business in City of Monroe October 1, 2023

4. New Business _____ Existing business purchase

If change of ownership, enclose a copy of the sales contract and closing statement.

5. Federal Tax ID Number 93-2419720 Georgia Sales Tax Number 308868590

6. Is business within the designated distance of any of the following:

CHURCH, SCHOOL GROUNDS, COLLEGE CAMPUS (See Land Survey Requirements)

Beer and Wine 100 Yards Yes _____ No

Liquor 100 Yards (Church) or 200 Yards (School) Yes _____ No

7. Full name of Applicant Adrienne D. Vines

Full Name of Spouse, if Married N/A

Are you a Citizen of the United States or Alien Lawful Permanent Resident? yes

Birthplace Jacksonville, FL

Current Address 521 Emerald Point Tr City Monroe St GA Zip 30655

Home Telephone 256-286-3213

Number of Years at present address 4

Previous address (If living at current address less than 2 yrs).
N/A

Number of years at previous address _____

8. If new business, date business will begin in Monroe October 1, 2023

If transfer or change of ownership, effective date of this change N/A

If transfer or change of ownership, enclose a copy of the sales contract, closing statement, ~~and check.~~

Previous applicant & D/B/A _____

9. What is the name of the person who, if the license is granted, will be the active manager of the business and on the job at the business? List address, occupation, phone number, and employer Adrienne D. Vines 521 Emerald Pt Tr

256-286-3213

Accountant, self employed

10. Has the person, firm, limited liability company, corporation, applicant, owner/owners, partner, shareholder, manager or officer been arrested, convicted or entered a plea of nolo contendere within ten (10) years immediately prior to the filing of this application for any felony or misdemeanor of any state or of the United States, or any municipal ordinance involving moral turpitude, illegal gambling or illegal possession or sale of controlled substances or the illegal possession or sale of alcoholic beverages to minors in a manner contrary to law, keeping a place of prostitution, pandering, pimping, public indecency, prostitution, solicitation of sodomy, or any sexually related crime. If yes, describe in detail and give dates.

No

11. Has the applicant been convicted under any federal, state or local law of any felony, within fifteen (15) years prior to the filing of application of such license? No

12. Do you own the land and building on which this business is to be operated? No

13. Does this establishment have a patio/open area intended to be used for consumption of alcoholic beverages? [] yes or no

14. If operating as a corporation, state name and address of corporation, when and where incorporated, and the names and addresses of the officers and directors and the office held by each.

The Loft in Monroe, Inc

Adrienne Vines, President

15. If operating as a corporation, list the stockholders (20% or more) complete addresses, area code and telephone numbers, residential and business, and the amount of interest of each stockholder.

16. If operating as a partnership, list the partners with complete addresses, area code and telephone numbers, residential and business, and the amount of interest or percent of ownership of each partner. N/A

17. If partnership or individual, state names of any persons or firms owning any interest or receiving any funds from the corporation. N/A

18. Does applicant receive any financial aid or assistance from any manufacturer or wholesaler of alcoholic beverages? If yes, explain. N/A

19. Does the applicant have any financial interest in any manufacturer or wholesaler of alcoholic beverages? If yes, please explain.

NO

20. State whether or not applicant, partner, corporation officer, or stockholder holds any alcoholic beverage license in other jurisdiction or has ever applied for a license and been denied. (Submit full details) NO

21. Does you or your spouse or any of the other owners, partners or stockholders have any interest in any liquor store or wholesale liquor business?

N/A

22. If a retail grocery business in existence for more than six (6) months:

A statement from the applicant with documentary evidence provided that the business has had or will have gross sales of merchandise, other than malt beverages and wine, of more than three thousand dollars (\$3000.00) per month average for six (6) successive months preceding the filing of the application for this license or renewal thereof.

N/A

If a retail grocery business in existence for less than six (6) months:

A statement from the applicant with documentary evidence provided, that the business has had or will have gross sales of merchandise, other than malt beverages and wine, of more than three thousand dollars (\$3000.00) per month average for six (6) successive months from its inception; and

N/A

within ten (10) days upon completion of six (6) months' verifying the statement required herein; and upon failure to provide such verification as prescribed herein, the license shall be suspended until such verification is made.

23. If a club, a statement that the club has been organized or chartered for at least one (1) year; a statement that during the past year the club has held regular monthly meetings; and a statement that the club has at least fifty (50) members. *NA*

24. Character References: (For the applicant)

1. Stephanie Brand Hicks

Name 525 Emerald Pt Tr

Address Monroe GA 30655 678-677-4844

City State Zip Telephone

2. Samantha Williams

Name 517 Emerald Pt Tr

Address Monroe GA 30655 404-667-8071

City State Zip Telephone

3. Dennis Vines

Name 516 Phillips Dr. NW

Address Monroe GA 30656 770-855-2044

City State Zip Telephone

This the 6th day of Sept. 2023.

Adrienne D Vines (Signature Applicant)

Owner (Title i.e. Partner, General Partner, Manager, Owner, etc.)

Adrienne D Vines (Print Name)

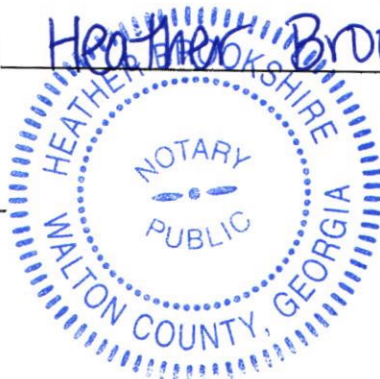
or: Adrienne D Vines (Signature of Corporate Officer)

President (Printed Name and Title of Corporate Officer)

Signed, sealed and delivered in the presence of: Heather Brookshire

Notary Public: Heather Brookshire

Executed: 11-4-23





To: City Council
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/29/2023
Subject: Rezone #2559 – 635 James Huff Rd. – R-1A to PRD to allow for development of a single-family residential subdivision with 129 lots

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:
 The property owner of 635 James Huff Rd. is petitioning for a rezone from R-1A to PRD in order to allow for the development of a single-family detached residential subdivision with 129 lots.

Background:
 Please refer to the attached staff memo to the Planning Commission and staff report for complete details regarding this rezoning request. At the first Planning Commission meeting to consider a recommendation for the rezone, the rezone application was tabled to investigate citizen claims of a spring fed pond and cemeteries being located on the subject property. Both claims were investigated and were not located on the subject property. The details of that investigation and the findings are provided in the staff memo.

Recommendation:
 The Planning Commission voted 4-1 to recommend approval of the rezone from R-1A to PRD subject to two (2) conditions:

1. The minimum lot size in the development shall be 10,000 Sf.
2. The landscape buffer planting scheme shall be subject to the approval of the Planning & Zoning Director at the time of Preliminary Plat approval. The landscape buffer shall include at a minimum:
 - a. An earthen berm no less than 6 feet in height and a maximum slope of 50 percent.
 - b. Tree plantings with a density of one tree planted every 40 feet of linear distance within the landscape buffer. Trees shall be a minimum of 2-inch caliper and 6-feet in height at the time of planting.
 - c. Evergreen plant material in the form of large and small shrubs staggered throughout the landscape buffer.

Attachment(s):
 Staff Memo to Planning Commission
 Staff Report
 Application Documents

To: Monroe Planning Commission
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/13/2023
Subject: Rezone #2559 – 635 James Huff Road – PRD Rezone – 129 Single-Family Residential Lots



Background:

At the August 15, 2023 Planning Commission meeting, the case described above was tabled by the Planning Commission in response to two concerns raised by citizens during the public hearing. The two issues specifically were regarding the possibility of a cemetery being located on the property and the possibility that the existing farm pond on the site was spring fed.

Findings:

Wetlands: A report prepared on February 15, 2006 when the property was originally tracking to be developed contains an ecology survey of the potential environmental features of the site. The farm pond is identified as being an isolated farm pond for storm water collection and cattle watering. No spring was identified as being a source of water for the farm pond. The report is attached with this memo.

Cemetery: The citizen who raised concerns regarding a potential cemetery provided staff with genealogical research and information regarding the cemetery's location. Based upon the information provided and subsequent mapping of the site, there is no cemetery located on the subject property. The family cemetery is located on an adjoining property north of the site across Jacks Creek.

Recommendation:

The staff's recommendation for this rezone request remains unchanged from the original report for approval subject to the 2 conditions outlined in the original staff report.

Attachment(s):

Original Staff Report
Application Documents
JJG Ecological Survey 2/15/2006
Cemetery Info & Maps



**JORDAN
JONES &
GOULDING**

6801 Governors Lake Parkway
Building 200
Norcross, Georgia 30071
T 770.455.8555
F 770.455.7391
www.jjg.com

February 15, 2006

Mr. Jim Huffstetler
D.R. Horton Homes
8200 Roberts Drive
Suite 400
Atlanta, Georgia 30350

RE: Ecology Survey
James Huff Road Site
Walton County, Georgia

Dear Mr. Huffstetler,

As part of the due diligence evaluation for a proposed residential development site in Walton County, Georgia, Jordan, Jones & Goulding, Inc. (JJG) conducted a stream and wetland delineation on an approximate 50-acre site. The subject property is located in the northeast corner of the James Huff Road and Old Athens Highway intersection. The project area is situated on the Monroe, Georgia 7.5 minute United States Geological Survey (USGS) topographic map (Figure 1).

Field studies identified the presence of one wetland, two streams, and one palustrine open water farm pond. The wetland was classified as a palustrine forested/ emergent system. The farm pond appears to be an isolated depression area used for cattle watering and storm water collection. There was no obvious connection to a jurisdictional feature observed within the property boundary. The isolated status of this farm pond would need to be verified by the United States Army Corps of Engineers (USACE). One stream was classified as a riverine, lower perennial system and one was classified as riverine, intermittent system. Wetland boundaries were identified with pink flagging marked "Wetland Boundary". The centerlines of streams were marked with blue and white striped flagging. The locations of wetlands and streams were surveyed with a Trimble Pro XH Global Positioning System (GPS) and field mapped. Please refer to Figure 1 for the locations of these features. Each jurisdictional system is briefly described below.

Jurisdictional Areas

Jurisdictional Wetland 1

Jurisdictional Wetland 1 is located on the north portion of the site immediately south of the lower perennial drainage noted as Stream 1. The wetland is classified as a palustrine, forested/

emergent, broad-leaved deciduous system with a seasonally flooded hydrologic regime (PFO/PEM1E). Dominant vegetation included soft rush (*Juncus effusus*), bushy seedbox (*Ludwigia alternifolia*), sweet gum (*Liquidambar styraciflua*), red maple (*Acer rubrum*), and box elder (*Acer negundo*). Wetland hydrology indicators included saturated soils, inundation, water-stained vegetation, oxidized root channels, and drainage patterns. In addition, there are two small springs located within the wetland. Soils sampled from a depth of 0 to 12 inches had a matrix color of 2.5Y 6/1 with mottles of 2.5Y 5/2 and a texture of sandy loam.

Jurisdictional Stream 1

Jurisdictional Stream 1, an unnamed tributary to Jacks Creek, makes up the north border of the site. The stream is classified as a riverine, lower perennial, unconsolidated bottom system with a substrate consisting of cobble, gravel, and sand (R2UB12) with areas of bedrock. The drainage is approximately four to six feet wide at ordinary high water and approximately ten to fifteen feet in width at the top of channel.

Jurisdictional Stream 2

Jurisdictional Stream 2 is a small tributary to Stream 1. This drainage is classified as a riverine, intermittent, streambed system with a substrate consisting of sand and mud (R4SB45). The stream is approximately one foot wide at ordinary high water and approximately three to four feet in width at the top of channel. Within the wetland boundary, Stream 2 does not have a defined channel.

Pond 1

Pond 1 is a small open water feature currently used for storm water collection and cattle watering. The pond is classified as palustrine, open water. The pond appears to be an isolated, depressional area with no defined channel exiting the feature. However, the isolated status of this farm pond would need to be verified by the United States Army Corps of Engineers (USACE) if this pond would be impacted by the development.

Please refer to Table 1 for a summary of the features identified.

Table 1.
Summary of Features Identified

Water Feature	USGS Stream Association	Community / Flow Regime	Cowardin Classification	Approx. Area Surveyed (ac)	Approx. Length Surveyed (ft)
Wetland					
Wetland 1	Tributary to Jacks Creek	emergent/forested	PFO/PEM1E	0.55	N/A
Approximate Total Wetland Area Surveyed				0.55 ac	N/A
Streams					
Stream 1	Tributary to Jacks Creek	lower perennial	R2UB12	N/A	1,314
Stream 2	Tributary to Jacks Creek	intermittent	R4SB45	N/A	105
Approximate Total Linear Stream Length Surveyed				N/A	1,419
Ponds					
Pond 1	Tributary to Jacks Creek	open water	POW	0.15	N/A
Approximate Total Pond Area Surveyed				0.1 ac	N/A

Mapped Soils within the Project Area

The *Soil Survey of Walton County, Georgia* (USDA, 1961) was consulted to determine soil-series within the project area. These soil series were compared to the *Hydric Soils of the United States* (USDA-SCS, 1991) to determine if hydric soils are known to occur within the study area. According to the soil survey, soils within the site limits consist of Alluvial Land and Lloyd Series. Neither of these soil series are considered hydric. Refer to Figure 2 for a map of soils in the project area.

Anticipated U.S. Army Corp of Engineers Permit Requirements

If the proposed project would impact jurisdictional areas, coordination with the USACE could be required if impacts exceed 0.1 acre of wetland, 100 linear feet of intermittent stream, or any length of perennial stream. If the USACE determines Pond 1 to be isolated, then the USACE does not have jurisdiction over this pond and impacts to this feature would not require a USACE permit. Minor jurisdictional impacts are typically eligible for the Nationwide Permit Program (NWP). Specifically, development projects such as this one qualify for NWP 39 (residential, commercial, and institutional development). This permit has an impact threshold of 0.5 acre of wetlands and 300 linear feet of streambed. Impacts exceeding 0.10-acre of wetland or impacts to any length of perennial stream require formal USACE notification. Compensatory mitigation would be required if impacts exceed 0.1 acre of wetland or 100 linear feet require of stream. This permit cannot be used for impacts associated with fill activity to jurisdictional areas within a 100-year floodplain. Typically, a Nationwide Permit can be obtained in 45 to 60 days.

Impacts exceeding 300 linear feet of stream or greater than 0.5 acres of wetland would require an Individual Permit. This permit typically takes from 6 to 12 months to obtain and requires a

public notice process. Individual Permits take longer to obtain due to agency coordination and required USACE internal documentation that impacts have been avoided and minimized.

Permit requirements cannot be determined until a final concept has been prepared.

State and Local Buffer Issues

The Georgia Erosion and Sedimentation Act of 1975 as amended requires that a 25-foot buffer be maintained along state waters. The majority of proposed land disturbing activities within the 25-foot buffer require obtaining a stream buffer variance from the Georgia Environmental Protection Division (EPD). The local issuing authority is responsible for determining if state waters are on site and is responsible for determining if a stream buffer variance is required. As of January 1, 2005, procedures for evaluating stream buffer variances applications were revised. Based on those revisions, the best approach to obtaining a 25-foot buffer variance for this project is to apply under criterion (h), which is discussed below.

Criteria (h) states that – “for non-trout waters, the proposed land disturbing activity within the buffer will require a permit from the United States Army Corps of Engineers under Section 404 of the Federal Water Pollution Control Act Amendment of 1972, 33 U.S.C. Section 1344, and the Corps of Engineers has approved a mitigation plan to be implemented as a condition of such a permit”. This criteria requires the Section 404 permit to be issued prior to EPD accepting the stream buffer application. This means that the stream buffer process cannot begin until the USACE permitting is complete.

Other application criteria area available if a variance is needed but an USACE permit is not required. After receiving the completed permit application, EPD has three weeks to request additional information or proceed with the public notice. The legal notice must be published in the local legal paper. The public then has 30 days to comment before EPD can proceed with the permit process. In addition, EPD is likely to conduct a site visit prior to approving the permit. Based on recent projects, the EPD has been taking from 3 to 5 months to issue stream buffer variances. On a case by case basis, EPD could require additional mitigation beyond USACE requirements.

The EPD focuses their evaluation of the stream buffer variance application on documenting avoidance and minimization of buffer impacts. Even though a project may have a USACE permit, the EPD is not required to approve the buffer variance application.

Conclusion

Field studies conducted by JJG determined that one wetland, one pond, and two jurisdictional streams occur within the site boundary. If the proposed project requires these areas to be impacted, coordination with the USACE could be required. Impacts to these jurisdictional areas could be permitted under Nationwide Permit 39 (Residential, Commercial, and Institutional Developments) if the final design cannot avoid jurisdictional impacts. Impacts exceeding 0.5-acres or 300 linear feet would require an Individual Permit.

Mr. Jim Huffstetler
February 15, 2006
Page 5

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EPD requires a 25-foot buffer along state waters. The local issuing authority is responsible for determining if state waters are on site and is responsible for determining if a stream buffer variance is required. If a variance is required, a buffer variance application must be submitted to EPD for review. Even though a project may have a USACE permit, the EPD is not required to approve the buffer variance application.

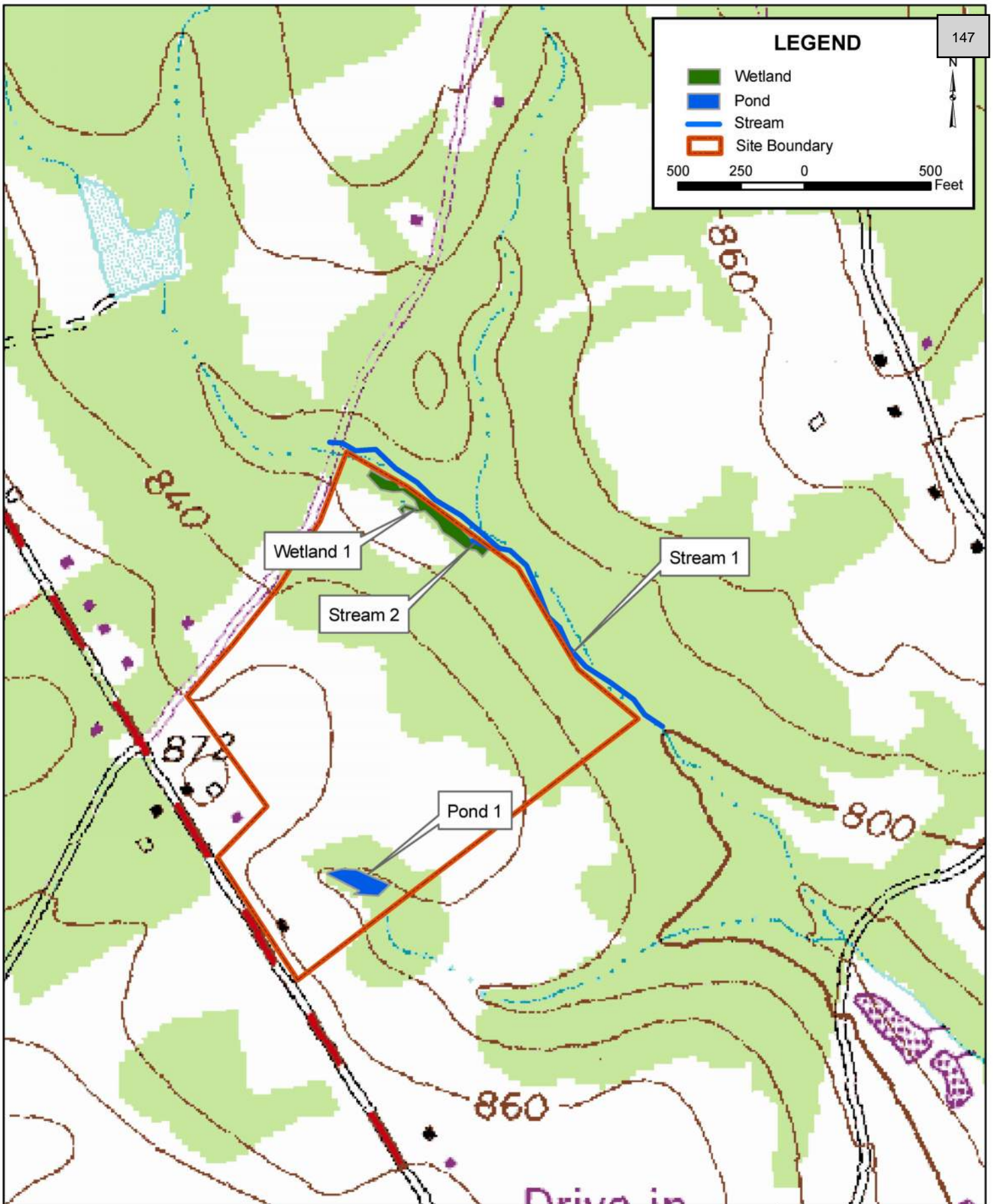
We appreciate the opportunity to be of continued service to you. If you have questions or comments concerning these issues, please call me at (678) 333-0445.

Sincerely,

JORDAN, JONES & GOULDING, INC.

A handwritten signature in black ink, appearing to read "Mark Ballard", with a long horizontal flourish extending to the right.

Mark Ballard, PWS
Ecology Department Manager



James Huff Road Site
Walton County, Georgia

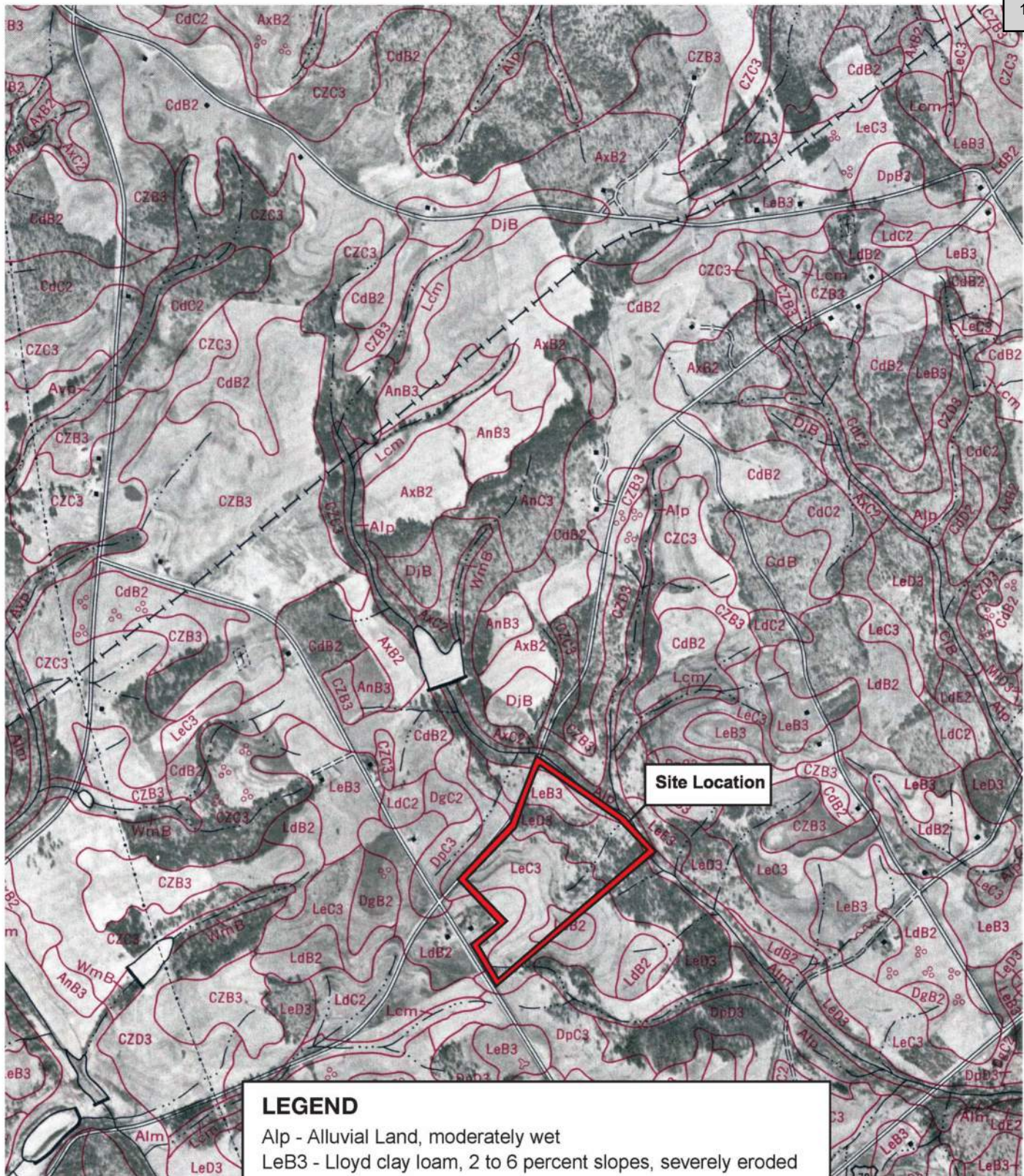
Date: February 2006

Scale: 1" = 500'

Proj. No.: 06841041

Site Location and Jurisdictional Areas

Figure 1



LEGEND

- Alp - Alluvial Land, moderately wet
- LeB3 - Lloyd clay loam, 2 to 6 percent slopes, severely eroded
- LeD3- Lloyd clay loam, 10 to 15 percent slopes, severely eroded
- LeC3- Lloyd clay loam, 6 to 10 percent slopes, severely eroded
- LdB2- Lloyd sandy loam, 2 to 6 percent slopes, eroded



James Huff Road Site
Walton County, Georgia

Date: February 2006

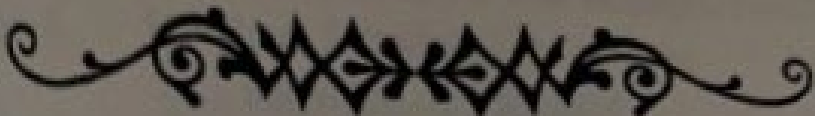
Job No.: 06841041

Soils Map

Figure 2

Rezone #2559 - 635 James Huff Road PRD Rezone

Cemetery Info & Maps



Glasson Family Cemetery

Located 1 mile northeast of Monroe in Land Lot 130, 3rd District
GPS coordinates: N 33° 49'38.2", W 83° 40'58.6"

Directions: From intersection of James Huff Road and Old Athens Hwy., go one-third mile northeast on Old Athens Hwy. to cemetery located 100 feet on the right (south) side of road.

Prior survey/publication: None found.

Notes: Surveyed 30+ graves 4 July 2000. Reported as the Glasson Family Cemetery on 23 June 2000 by descendant, Mr. Julian D. Kelly, Jr., of Savannah, GA. He submitted a detailed report of the cemetery from which is excerpted: "John Glasson was born in North Carolina between 1770 and 1774 and came to Jackson County, GA, by 1801. He married Elizabeth "Betsey," dau. of Philip Awbrey, by about 1803. In 1823 Glasson purchased Lot No. 130 in the

Mr codes: B=Broken D=Double F=Foot FH=Funeral Home L=Loose M=Military Q=Multiple T=Triple U=Uninscribed UG=None
Walton County Georgia Cemeteries (East) © 2002 East Georgia Genealogical Society

33 49 38.2 N, 83 40 58.6 W

Restaurants Hotels Things to do Transit Parking Pharmacies ATMs

33°49'38.2"N 83°40'58.6"W
33.827278, -83.682944

Directions Save Nearby Send to phone Share

- Walton County School District, GA
- R8G8+WR7 Monroe, Georgia
- Add a missing place
- Add your business
- Add a label

635 James Huff Rd.

Google

Map data © 2023 United States Terms Privacy Send feedback

Layers Map Search Sales Search Sales List Results Sales Results Report Field Definitions Home

Layer List Legend

Quick Links:
[Search Records](#)
[View Map](#)

Layers:

- Contour Lines 2Ft
- Contour Lines 10Ft
- Contour Lines - Tile Index
- Parcels
- Parcel Numbers
- Parcel Numbers + Acreage
- Address Points (work in progress)
- Subdivisions and Places
- Yearly Sales
- Land Districts/Lots
- Lot Numbers
- Gas Service Territories
- Electric Service Territories
- Roads
- Highway Mile Markers
- Future Land Use Plan 2022
- Hwy 11 Project
- Hwy 20 Project
- USA Major Highways
- Railroads
- Zoning
 - County Zoning
 - City of Monroe
 - Social Circle
 - Loganville
- Watershed Protection Overlay
- City Labels
- City Limits
- Soils
- Trees
- Law Enforcement Zones
- Fire Department Zones
- Fire Stations

C1230063
 RODGERS JULIA JOHNSTON KELLY &
 KELLY RABURN BLANC MONROE
 OLD ATHENS HWY
 3.02 Acres Value \$66,400
[View Report](#) | [Field Definitions](#) | [Google Maps](#)

200 ft

Monroe

Parcel ID	M0220001	Owner	MADISON RIDGE LAND LLC P O BOX 1796 MONROE, GA 30655	Last 2 Sales			
Class Code	Agricultural	Physical Address	635 JAMES HUFF RD	Date	10/22/2021	Price	\$2250000
Taxing District	Monroe	Appraised Value	Value \$557260		2/17/2016		0
Acres	49.03			Reason	TR	Qual	U
					UI		U

(Note: Not to be used on legal documents)

Residents of JAMES HUFF RD. / OLD ATHENS HIGHWAY / AND SURROUNDING AREA

Petition AGAINST THE City of Monroe, Walton County, GA
Rezone Application Case #2559: from R-1A to PRD
635 James Huff Rd./ Madison Ridge / Old Athens Hwy.

Printed Name	Address	Signature	Date
Timothy Kemp	946 James Huff Rd		9/8/23
Yathia Johnson Kemp	946 James Huff Rd		9/13/23
Beretta Lawson	978 James Huff	Beretta Lawson	9/13/23
Akil Lawson	962 James Huff Rd		13 Sep 2023
JAMES LOCKLIN	910 JAMES HUFF RD		9-13-23
LA ROLD MOON	1206 Old Athens Hwy	La Rold Moon	9-15-23
Cory Scarborough	1010 James Huff Rd	Cory Scarborough	9-18-23
Amy Scarborough	1010 James Huff Rd	Amy Scarborough	9-18-23
Corbin Scarborough	1010 James Huff Rd	Corbin Scarborough	9-18-23
Brian Scarborough	1010 James Huff Rd	Brian Scarborough	9-18-23
Maurice Brown	999 Gratis Rd. N.C.	Maurice Brown	9-18-23
Kath L. Ross	1069 Gratis James Huff Rd	Keith T. Ross	9-18-23
Chuck Webb	1075 James Huff Rd	Chuck Webb	9-18-23

Petition AGAINST THE City of Monroe, Walton County, GA
 Rezone Application Case #2559: from R-1A to PRD
 635 James Huff Rd./ Madison Ridge / Old Athens Hwy.

Printed Name	Address	Signature	Date
Connie Bentley	1358 Old Athens	Connie Bentley	9/8/23
Richard Rager	1360 Old Athens	Richard Rager	9-8-23
Zosh Bentley	1358 Old Athens	Zosh Bentley	9/8/23
Eric Floyd	1020 James Huff Rd	Eric Floyd	9/14/23
Timmy Rutledge	1340 NW Old Athens	Timmy Rutledge	9-16-23
Elaine Rutledge	1340 NW Old Athens	Elaine Rutledge	9-16-23
Lozzy Wynn	1519 Old Athens	Lozzy Wynn	9-16-23
Marcie Gardina	1555 Old Athens	Marcie Gardina	9-16-23
Robert Leavelle	1603 Old Athens	Robert Leavelle	9-16-23
Daron Edward	1589 Old Athens	Daron Edward	9-16-23
Debra Edward	1589 Old Athens	Debra Edward	9-16-23
Ruby Lawson	1580 Old Athens	Ruby Lawson	9/16/23
J. Larry Lawson	1580 Old Athens	J. Larry Lawson	9/16/23
Donald + Lori Huff	699 James Huff Rd	Donald C. Huff (signature)	9-16-23
Wayne Waters	865 James Huff Rd	Wayne Waters	9-16-23
Lisa Waters	865 James Huff Rd	Lisa Waters	9-16-23
Harlec Waters	865 James Huff Rd	Harlec Waters	9-16-23
Chris Dolan	855 James Huff Rd	Chris Dolan	9-16-23
Bayle Miller	855 James Huff Rd	Bayle Miller	9/16/23
Donna Wellborn	845 James Huff Rd	Donna Wellborn	9-16-23
James L Wellborn Sr	845 James Huff Rd	James L Wellborn Sr	9-16-23
Ricky Emerick	715 James Huff Rd	Ricky Emerick	9-16-23
Ernest Frost Sr	690 James Huff Rd	Ernest Frost	9-17-23
Wanda Mitchell	670 James Huff Rd	Wanda Mitchell	9-17-23
Jaye Peppers	712 James Huff Rd	Jaye Peppers	9-14-23
Judy Davis	755 James Huff Rd	Judy Davis	9/14/23

<u>Printed Name</u>	<u>Address</u>	<u>Signature</u>	<u>Date</u>
Maudelle Smith	1280 Old Athens Hwy.	M. Smith	9/17/23
Ronnie Smith	1250 Old Athens Hwy.	R. Smith	9/17/23
Mary Thomas	1279 Old Athens	M. Thomas	9/17/23
Nathaniel Robertson	1279 Old Athens Hwy	N. Robertson	9/17/23



**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 2559

DATE: August 9, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Madison Ridge Land LLC

PROPERTY OWNER: Madison Ridge Land LLC

LOCATION: East side of James Huff Road and the south side of Old Athens Hwy – 635 James Huff Rd.

ACREAGE: ±49.03

EXISTING ZONING: R-1A (Medium Lot Residential District)

EXISTING LAND USE: Single-family dwelling and accessory buildings

ACTION REQUESTED: Rezone R-1A to PRD (Planned Residential District)

REQUEST SUMMARY: The owner is petitioning for a rezone in order to develop the property for a single-family detached residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request with conditions.

DATES OF SCHEDULED MEETINGS

PLANNING COMMISSION: August 15, 2023

CITY COUNCIL: September 12, 2023

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone from R-1A (Medium Lot Residential District) to PRD (Planned Residential District) in order to develop a single-family detached residential subdivision. The basis for this rezone is to comply with Section 820 of the Zoning Ordinance requiring all new single-family residential development be rezoned to a planned district. The subject property was annexed into the City on June 13, 2006 and zoned to R-1A. The subject property currently contains one single-family residence. County tax records indicate the existing residence was constructed in 1962. The existing single-family dwelling will be razed for the new development. The applicant proposes to develop the site with 129 single-family detached residential lots and an amenity area.

PROPOSED PROJECT AMENDMENT SUMMARY:

- Rezone – Planned Residential Development
 - Site Area – ±49.03 Acres

- Proposed Lots – 129; minimum lot sizes will be ±8,000 Sf abutting public streets and landscaped areas and the remaining minimum lot sizes will be ±10,000 Sf
- Dwelling Sizes – min. ±1,500 Sf
- Architecture – no architectural examples were provided in the request; the applicant proposes the default design for single-family dwellings will be built in accordance with the requirements of Section 910 of the Zoning Ordinance

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The subject property is currently zoned R-1A (Medium Lot Residential District). The subject property has been zoned R-1A since annexation into the City on June 13, 2006. A single-family residence has been on the property since 1962. The basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district.

- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to PRD (Planned Residential District) to develop the property for 129 single-family detached residential dwellings.

- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** All of the properties surrounding the site are unincorporated Walton County and contain single-family residences on medium sized properties. The original intent to develop the property as a single-family residential subdivision remains unchanged from the original annexation into the City in 2006. The primary basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district. The submitted pattern book for the rezone request does not propose any landscaping details for the landscape buffer adjacent to the public roadways. In order to minimize the visual impacts of the backs of homes facing the existing roadways, staff has included conditions regarding the minimum lot sizes in those locations as well as minimum landscape standards to include in the landscape buffer.

- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted development plan illustrates a single-family residential subdivision with a network of streets connected to existing streets adjacent to the development. Two entrances are proposed into the development with one entrance off James Huff Road and one entrance off Old Athens Highway. Additional traffic will be generated by the development with increased vehicular trips. A traffic study was not submitted with this rezone request. With the exception of approximately 250 feet of frontage on Janes Huff Road, the roadways are under the authority of Walton County. Sanitary sewer, water, natural gas

and telecommunications are available to serve the development. At the time of this report, sanitary sewer and water services infrastructure do not require upgrades to the serve the proposed development. Due to the location of the property at the City's edge and accessed through mostly unincorporated areas, fire and police response times to the development will be prolonged. Additional City services should be adequate to serve the proposed development.

(5) Whether the zoning proposal is consistent with the Comprehensive Plan: The subject property is located in the North Sub-Area as identified in the Monroe Comprehensive Plan. The existing character of this vicinity of the North Sub-Area is predominantly undeveloped with single-family residential and limited non-residential uses near Hwy 78. The future character of this sub-area will be predominantly single-family residential. The proposed rezone to develop the property for a single-family residential subdivision meets the intent of the goals of the Comprehensive Plan.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: The underlying basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone to allow for the development of the property for a single-family residential subdivision and that it be subject to the following conditions:

1. The minimum lot size in the development shall be 10,000 Sf.
2. The landscape buffer planting scheme shall be subject to the approval of the Planning & Zoning Director at the time of Preliminary Plat approval. The landscape buffer shall include at a minimum:
 - a. An earthen berm no less than 6 feet in height and a maximum slope of 50 percent.
 - b. Tree plantings with a density of one tree planted every 40 feet of linear distance within the landscape buffer. Trees shall be a minimum of 2-inch caliper and 6-feet in height at the time of planting.
 - c. Evergreen plant material in the form of large and small shrubs staggered throughout the landscape buffer.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE PERMIT

PERMIT #:	2559	DESCRIPTION:	Rezone from R-1A to PRD
JOB ADDRESS:	635 JAMES HUFF RD	LOT #:	
PARCEL ID:	M0220001	BLK #:	
SUBDIVISION:		ZONING:	R-1A
ISSUED TO:	MADISON RIDGE LAND LLC	CONTRACTOR:	MADISON RIDGE LAND LLC
ADDRESS:	PO Box 1796	PHONE:	
CITY, STATE ZIP:	Monroe GA 30655	OWNER:	
PHONE:		PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	7/19/2023
VALUATION:	\$ 0.00	EXPIRATION:	1/15/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-08	REZONE TO PLANNED DISTRICT	\$ 600.00
FEE TOTAL		\$ 600.00
PAYMENTS		\$ -600.00
BALANCE		\$ 0.00

NOTES:

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



 (APPROVED BY)

7/19/23
 DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00539093

Cashier Name: LAURA WILSON

159

Terminal Number: 34

Receipt Date: 7/19/2023 2:46:30 PM

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference:

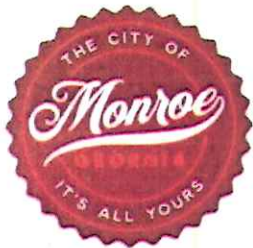
Name: MADISON RIDGE LAND LLC \$600.00

Total Balance Due: \$600.00

Amount: \$600.00

Total Payment Received: \$600.00

Change: \$0.00



CITY OF MONROE REZONE APPLICATION

RECEIVED
#2559

REZONE LOCATION & DESCRIPTION

Address (or physical location): 635 James Huff Rd Monroe, GA 30655

Parcel #(s): M0220001

Acreage/Square Feet: 49.03 Council Districts: 24 / 78

Existing Zoning: R1A Proposed Zoning: PRD

Existing Use: Undeveloped

Proposed Use: Residential subdivision

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Madison Ridge Land LLC Phone #: 678-670-1222

Address: PO Box 1796 City: Monroe State: GA Zip: 30655

Applicant (if different than owner): N/A Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

REZONE INFORMATION

Describe the current zoning of the subject property and abutting properties. Describe all existing uses on abutting properties (1421.4(2)(c)): The current zoning of the property is R1A. The property is bounded to the north by Old Athens Highway. The property is bounded to the east by properties in unincorporated Walton County in the Hunters Crossing subdivision which is zoned R1. The property is bounded to the south by a single residential property in unincorporated Walton County zoned A2. The property is bounded to the west by James Huff Road and two residential parcels in unincorporated Walton County zoned A2.

Provide a statement explaining the intent of the requested zoning change, the proposed use, and any special or unusual parts of the rezoning request (1412.4(2)(d)): The applicant is requesting zoning to PRD largely consistent within the existing zoning and character of R1A. The proposed use is a residential subdivision.

REZONE INFORMATION CONT.

Describe the suitability for development under the existing zoning vs. the proposed zoning. Describe all existing uses and structures (1421.4(2)(e)): The property is currently undeveloped. The existing zoning is R1A
and the proposed PRD zoning request is consistent with the existing zoning.

Describe the duration of vacancy or non-use if the property is vacant and unused at the time the application is submitted (1421.4(2)(f)): The property is undeveloped at this time.

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(k)):

- City Water
- Private Well
- City Sewer
- Septic Tank
- Electrical
- Gas
- Telecom

REQUIRED SUBMITTAL ITEMS (1421.4(2))

SELECT THE APPLICABLE ITEMS FOR THE REQUEST

- Completed Application
- Fee (see Fee Schedule)
- Typed Legal Description
- Typed Detailed Description of the Request
- Survey Plat
- Deed
- Proof of all property taxes paid in full
- Site Plan

Drawn to scale, showing the following:

- Proposed Uses/Buildings
- Proposed Improvement Information
- Parking
- Traffic Circulation
- Landscaping/Buffers
- Stormwater/Detention Structures
- Amenities

Commercial & Industrial Rezoning Site Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum Gross Square Footage of Structures
- Minimum Square Footage of Landscaped Area
- Maximum Structure Height
- Minimum Square Footage of Parking & Drives
- Proposed Number of Parking Spaces
- Required Buffers

Residential Rezoning Sites Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum # of Dwelling Units/Lots
- Maximum Structure Height
- Minimum Square Footage of Dwellings
- Minimum Lot Size
- Maximum Lot Coverage
- Maximum Structure Height
- Location of Amenities
- Required Buffers

For Planned Districts, the applicant must submit a pattern book for review before submitting any rezoning application. Any submittal of a rezone application for a Planned District which has not undergone a preliminary review by staff will be considered incomplete. The pattern book and rezoning site plan shall include all of the applicable items listed above as well as any identified by staff during the preliminary review process:

- Pattern Book Review Completed
- Other Items as identified as required by the Code Enforcement Officer

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: [Signature] DATE: 4/8/23

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

SIGNATURE: _____ DATE: _____

NOTARY PUBLIC:

SWORN TO AND SUBSCRIBED BEFORE THIS _____ DAY OF _____, 20_____

NOTARY SIGNATURE: _____

DATE: _____

SEAL:

It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.

Land Description

James Huff Road – Tract 1

All that tract or parcel of land lying and being in City of Monroe Land Lots 130 and 131 of the 3rd Land District of Walton County Georgia containing 49.00 acres more or less, as shown in a survey prepared by Blue Landworks LLC and being more particularly described as follows:

Beginning at an iron pin found (1/2" rebar) being on the Northeastern margin of James Huff Road (80' R/W) and having a State Plane Coordinate of N:1390101.19 E:2443003.23 Georgia West Zone. Said 1/2" Rebar being the **True Point of Beginning**.

Thence 761.47 feet along the arc of a curve to the right having a radius of 24161.92 feet and chord bearing and distance of North 31 degrees 55 minutes 39 seconds West 761.44 feet to an iron pin set (1/2" Rebar w/ cap);

Thence departing said margin North 59 degrees 29 minutes 44 seconds East 208.71 feet to an iron pin set (1/2" Rebar w/ cap);

Thence North 30 degrees 37 minutes 53 seconds West 424.50 feet to an iron pin set (1/2" Rebar w/ cap) said pin being on the Southeastern margin of Old Athens Hwy (70' R/W);

Thence North 40 degrees 05 minutes 42 seconds East 337.43 feet to a point;

Thence North 38 degrees 47 minutes 04 seconds East 255.61 feet to a point;

Thence 325.21 feet along the arc of a curve to the left having a radius of 875.51 feet and chord bearing and distance of North 29 degrees 28 minutes 03 seconds East 323.34 feet to a point;

Thence North 20 degrees 05 minutes 52 seconds East 116.56 feet to a point;

Thence North 18 degrees 10 minutes 00 seconds East 134.23 feet to an iron pin found (Axle);

Thence departing said margin along the centerline of a creek the following courses and distances.

South 81 degrees 07 minutes 15 seconds East 30.57 feet to a point;

Thence North 30 degrees 45 minutes 35 seconds East 17.56 feet to a point;

Thence South 83 degrees 15 minutes 21 seconds East 38.98 feet to a point;

Thence South 33 degrees 31 minutes 38 seconds East 29.19 feet to a point;

Thence North 82 degrees 53 minutes 40 seconds East 62.04 feet to a point;

Thence South 33 degrees 59 minutes 17 seconds East 41.80 feet to a point;

Thence South 41 degrees 22 minutes 39 seconds East 41.66 feet to a point;

Thence South 48 degrees 04 minutes 32 seconds East 38.75 feet to a point;

Thence South 68 degrees 46 minutes 17 seconds East 83.88 feet to a point;

Thence South 48 degrees 43 minutes 30 seconds East 132.35 feet to a point;

Thence South 55 degrees 44 minutes 39 seconds East 111.92 feet to a point;

Thence South 60 degrees 07 minutes 21 seconds East 47.70 feet to a point;

Thence South 52 degrees 08 minutes 29 seconds East 128.73 feet to a point;

Thence South 32 degrees 43 minutes 57 seconds East 26.86 feet to a point;

Thence South 63 degrees 47 minutes 29 seconds East 61.63 feet to a point;

Thence South 39 degrees 13 minutes 07 seconds East 29.35 feet to a point;

Thence South 63 degrees 38 minutes 16 seconds East 42.94 feet to a point;

Thence South 12 degrees 00 minutes 45 seconds West 41.03 feet to a point;

Thence South 27 degrees 38 minutes 09 seconds East 65.64 feet to a point;

Thence South 26 degrees 50 minutes 35 seconds East 54.95 feet to a point;

Thence South 37 degrees 37 minutes 13 seconds East 23.63 feet to a point;

Thence South 26 degrees 11 minutes 59 seconds East 61.85 feet to a point;

Thence South 69 degrees 12 minutes 50 seconds East 40.29 feet to a point;

Thence South 04 degrees 59 minutes 32 seconds East 45.19 feet to a point;

Thence South 29 degrees 49 minutes 38 seconds East 50.10 feet to a point;

Thence South 38 degrees 42 minutes 00 seconds East 29.31 feet to a point;

Thence South 42 degrees 07 minutes 31 seconds East 73.13 feet to a point;

Thence South 58 degrees 01 minutes 34 seconds East 69.23 feet to a point;

Thence South 49 degrees 18 minutes 33 seconds East 96.99 feet to a point;

Thence South 63 degrees 29 minutes 02 seconds East 79.56 feet to a point;

Thence South 38 degrees 16 minutes 45 seconds East 68.18 feet to a point;

Thence South 51 degrees 43 minutes 45 seconds East 93.69 feet to a point;

South 35 degrees 07 minutes 27 seconds East 6.13 feet to a point;

Thence South 57 degrees 18 minutes 58 seconds West 1781.84 feet to an iron pin found (1/2" Rebar) said pin being on the Northeastern margin of James Huff Road (80' R/W) said 1/2" Rebar being the **True Point of Beginning**.

Pattern Book

for

Madison Ridge

Monroe, GA

Introduction

Madison Ridge is a 49-acre property located at the intersection of James Huff Road and Old Athens Highway. The property is within the North Sub-Area Planning Boundary of the **City of Monroe** Comprehensive Plan.

The Comprehensive Plan calls for the future character of this area to be “predominantly single-family larger lot” with a residential land use goal for the sub-area to be between 40% and 60%.

Madison Ridge meets the future character aspirations for the sub-area and fits within the residential land use goals.

Project Description

Madison Ridge would be a 129 lot subdivision with over 8 acres of common area and open space along with a recreation amenity area including a cabana, clubhouse and playground. The proposed zoning is **Planned Residential District (PRD)**. The character of the proposed subdivision would be suburban with side-entry garages and large backyards, attractive to young families with children.

The architectural elements of the subdivision would include traditional, craftsman with a mix of two-story and single-story homes. The subdivision would include two entrances - one on James Huff Road and another on Old Athens Highway. The subdivision would feature mostly connected streets, allowing for ease of circulation for both vehicles and pedestrians. The streets would include 4’ sidewalks.

Proposed Standards for Development

The proposed standards for **Madison Ridge** are outlined in the table below.

Zoning	PRD
Minimum Lot Size	10,000 square feet internal; 8,000 square feet where abutting a public street adjoining a landscape strip
Maximum Lot Density	4.0 units/acre
Maximum Lot Impervious Coverage	40% internal; 45% where abutting a public street adjoining a landscape strip
Minimum Lot Width	75 feet (Measured at the front building line)
Minimum Lot Frontage	50 feet (Measured at the front property line)
Minimum Front Yard Setback	10 feet
Minimum Side Yard Setback	10 feet
Minimum Rear Yard Setback	25 feet internal; 15 feet where abutting a public street adjoining a landscape strip
Maximum Building Height	35 feet
Minimum Building Area	1,500 square feet (single story) 1,500 square feet (two story)
Minimum Number of Bedrooms per unit	3
Minimum Building Width	24 feet
Minimum Common Area	15% with amenity area

Architectural requirements include a mix of stone, brick and fiber cement siding. Vinyl siding shall be prohibited. Home styles will be craftsman, farmhouse or traditional in compliance with 910.1 of the City’s zoning ordinance.

The homes shall have a minimum 60 square foot covered front entry whose minimum dimensions are not less than 6 feet in length or width.

These minimum standards, along with a mandatory homeowners association, are necessary to protect the long-term character of the subdivision. These standards are largely consistent with the R-1A standards in the **City of Monroe’s** zoning ordinance.

The subdivision’s plan for water and sewer is through the City of Monroe’s water and sewer service. The subdivision would be served by a pump station. Drainage would be handled by on-site storm drain system and stormwater management facilities. All utilities shall be underground.

Traffic Report

Per the Institute of Transportation Engineers trip generation charts, Madison Ridge is expected to generate 1 car trip per unit in the AM peak hour and PM peak hour for a total of 258 peak hour trips. The subdivision is located at the intersection of two roads, each having an entrance to the Madison Ridge. The project is located approximately 0.6 miles from the intersection with James Huff Road and US Highway 78, a major arterial. Overall traffic impact given the roads servicing the property and proximity to a major arterial are expected to be minor.

Abutting Property Protection

On two sides, Madison Ridge is abutted by the existing James Huff Road to the west and Old Athens Highway to the north.

The Hunter’s Crossing subdivision in unincorporated Walton County to the east is buffered by a buffered state waters, featuring a 50 foot undisturbed buffer and 75 foot impervious setback.

To the south is an undeveloped property located in unincorporated Walton County that is zoned agricultural.

Use and Development Schedule

Madison Ridge is proposed to be 100% residential, with a minimum of 15% common area with amenity. The subdivision is expected to be completed with 12-18 months of approval. Home construction is expected to last between 2 and 3 years for final build out.

Site Plans and Survey

The Site Plan and Survey for Madison Ridge are on the following pages.

SUBDIVISION DEVELOPMENT PLANS FOR MADISON RIDGE

635 JAMES HUFF RD
MONROE, GA 30656
3rd LAND DISTRICT
LAND LOT 130 & 131
WALTON COUNTY
PARCEL M0220001

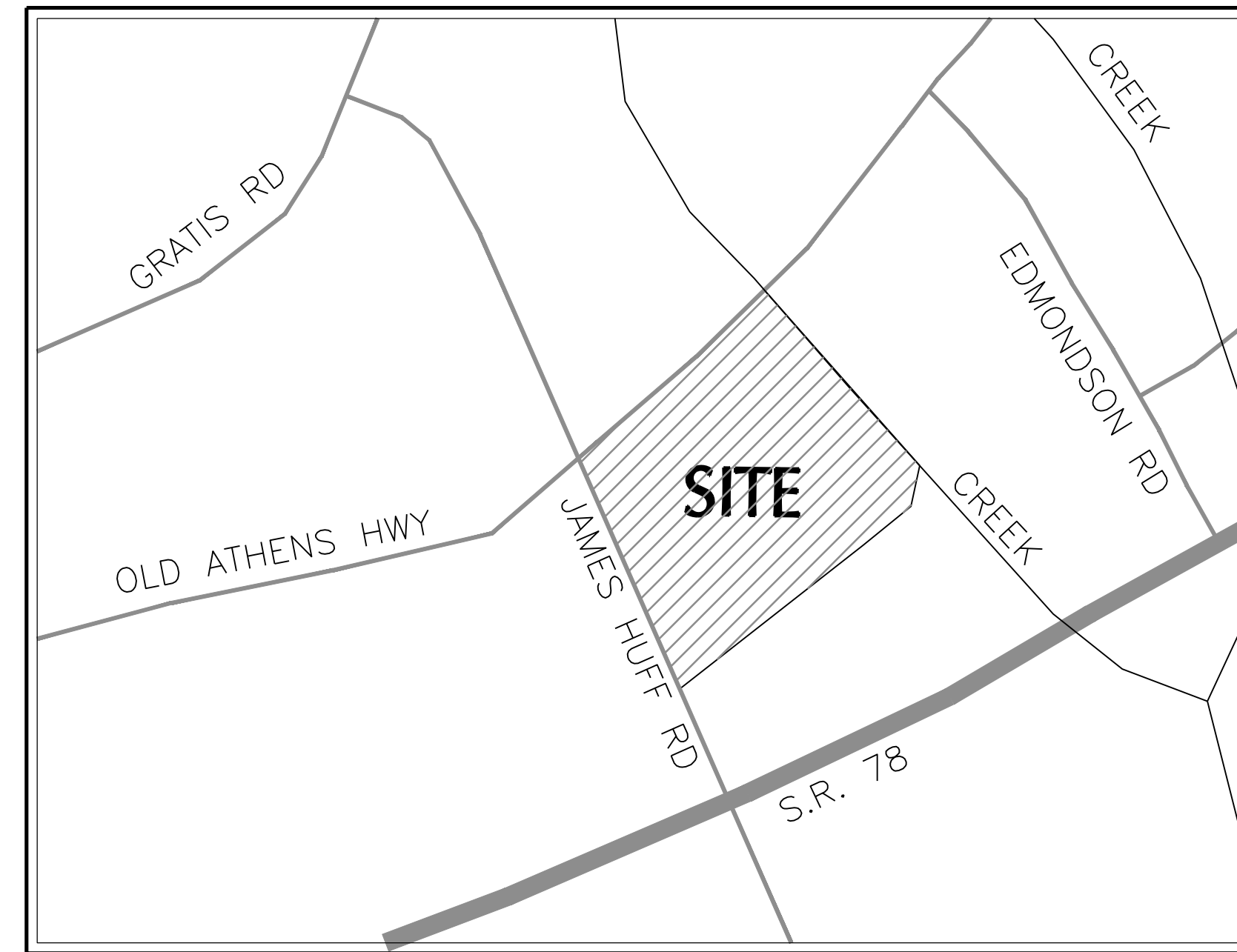
OWNER/DEVELOPER: MADISON RIDGE LAND, LLC
PO BOX 1796
MONROE, GEORGIA 30655
TEL: 678-670-1222
CONTACT: RALPH CORONA
EMAIL: ralph@generalholdingsunlimited.com

CIVIL ENGINEER: BLUE LANDWORKS LLC
5019 WEST BROAD STREET
SUITE M230
SUGAR HILL, GEORGIA 30518
TEL: 678-804-8586
CONTACT: TAYLOR ANDERSON, PE (GA PE #28657)
EMAIL: ta@bluelandworks.com

1. THIS PROPERTY IS ZONED R1A MEDIUM LOT RESIDENTIAL DISTRICT.
2. THIS PROPERTY IS SHOWN AS BEING PARCEL M0220001 IN THE CITY OF MONROE, WALTON COUNTY, LOCATED IN LAND LOTS 130 & 131 OF THE 3RD DISTRICT.
3. PROPOSED USE IS DETACHED SINGLE-FAMILY DWELLINGS WITH THE FOLLOWING REQUIREMENTS:
TOTAL NUMBER OF LOTS = 129
TOTAL AREA = 49.03 ACRES
LOT DENSITY = 2.6 UNITS PER ACRE

COMMON AREA OPEN SPACE REQUIREMENT FOR R1A ZONING
MINIMUM 15% GROSS ACREAGE WITH 3 AMENITIES
REQUIRED MINIMUM 15% COMMON AREA OPEN SPACE = 49.03 AC X 0.15 = 7.35 ACRES
PROVIDED COMMON AREA OPEN SPACE = 8.22 ACRES
PROVIDED AMENITIES = POOL, PLAYGROUND AND CLUBHOUSE

4. OPEN SPACE, DETENTION POND, LANDSCAPED ENTRANCE AREA, AND AMENITY AND RECREATION AREA SHALL BE OWNED AND MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION.
5. WATER AND SEWER SERVICE TO BE PROVIDED BY THE CITY OF MONROE.
6. WATER AND SEWER INFRASTRUCTURE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, TO MONROE UTILITIES NETWORK STANDARDS.
7. ALL CONSTRUCTION TO CONFORM TO DEVELOPMENT REGULATIONS OF THE CITY OF MONROE, GEORGIA, AND TO MONROE UTILITIES NETWORK STANDARDS.
8. A PORTION OF THIS PROPERTY LIES IN ZONE "A" 100-YEAR FLOOD HAZARD AREA (NO BASE FLOOD ELEVATION DETERMINED) PER FEMA FIRM PANEL NO. 13297C01350, DATED MAY 18, 2009.
9. BOUNDARY INFORMATION BASED ON BOUNDARY SURVEY, TRACTS 1 AND 2, FOR JAMES HUFF RD, MONROE, GA 30656 PREPARED BY BLUE LANDWORKS AND DATED 9/22/2021.
10. TOPOGRAPHIC INFORMATION IS TAKEN FROM A GROUND-RUN TOPOGRAPHIC SURVEY BY DEVELOPMENT CONSULTANTS GROUP, INC., DATED JULY 17, 2006. CONTOUR INTERVAL IS TWO FEET, VERTICAL DATUM NAVD 1988.
11. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET [X] DOES / [] DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
12. WETLANDS INFORMATION SHOWN HEREON TAKEN FROM AN ECOLOGICAL SURVEY BY JORDAN, JONES & GOLDING, DATED FEB 15, 2006. THE SURVEY IDENTIFIES THE EXISTING POND AS PALUSTRINE OPEN WATERS AND STATES THAT ANY IMPACT TO THIS POND PROPOSED BY THE DEVELOPMENT NEEDS TO BE VERIFIED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE). A NATIONWIDE PERMIT HAS BEEN ISSUED BY THE USACE (FILE NUMBER 200601203), DATED JULY 24, 2006.
13. THIS SITE CONTAINS STATE WATERS REQUIRING AN UNDISTURBED 25' STATE WATERS BUFFER.
14. A 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK SHALL BE MAINTAINED ADJACENT TO ALL STREAMS.
15. MAXIMUM CUT OR FILL SLOPE IS 2H:1V.
16. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
17. NATURAL VEGETATION SHALL REMAIN ON THE PROPERTY PRIOR TO THE ISSUANCE OF THE DEVELOPMENT PERMIT.



VICINITY MAP
not to scale

INSTRUCTIONS TO CONTRACTORS:

GENERAL PROVISIONS

1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
2. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMAN LIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES. THE CONTRACTOR SHALL WARRANT ALL WORK TO THE OWNER FOR A MINIMUM PERIOD OF 18 MONTHS FOLLOWING COMPLETION OF CONSTRUCTION.
3. DEVIATIONS FROM THESE PLANS WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVES MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
4. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT READY FOR USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED.
5. ALL MATERIALS SHALL BE NEW, UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPROPRIATE AUTHORITIES.
6. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY AND IS NOT GUARANTEED. THE CONTRACTOR IS TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION.
8. CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND COMPACTED SUBGRADE. ALL UNDERGROUND UTILITIES, INCLUDING THOSE INSTALLED BY OTHERS (ELECTRICAL CONDUIT, GAS, TELEPHONE, AND ANY OTHER MISCELLANEOUS) SHALL BE IN-PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, IF POSSIBLE.
9. IF THE CONTRACTOR, IN THE COURSE OF WORK, FINDS ANY DISCREPANCY BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH DISCOVERY, UNLESS AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
10. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH ONE (1) RED-LINE COPY OF AN "AS-BUILT" PLAN OF ALL UNDERGROUND UTILITIES WITHIN PUBLIC EASEMENT OR RIGHT-OF-WAY SHOWING THE LOCATION OF EACH WITH ALL DIMENSIONS SHOWN NECESSARY TO ACCURATELY LOCATE EACH UNDERGROUND UTILITY, FOR USE BY THE ENGINEER IN PREPARING FORMAL RECORD DRAWINGS FOR GWINNETT COUNTY APPROVAL.
11. SIGNS (EXCEPT HANDICAPPED PARKING SIGNS), LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT. A SEPARATE PERMIT IS REQUIRED.

GEOTECHNICAL

1. SOILS TESTING AND ON-SITE INSPECTION MAY BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER SELECTED AND PAID BY THE OWNER. IN THE EVENT OF CONFLICT BETWEEN INSTRUCTIONS BY THE ENGINEER AND RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER, THE CONTRACTOR WILL ADHERE TO THE MOST STRINGENT.
2. CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR PROMPTLY SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
4. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557:
 - UNDER STRUCTURES, BUILDING SLABS, STEPS, AND PAVEMENTS, COMPACT THE TOP 12 INCHES BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT DRY DENSITY.
 - UNDER WALKWAYS, COMPACT THE TOP 6 INCHES BELOW THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DRY DENSITY.
 - UNDER LAWN OR UNPAVED AREAS, COMPACT THE TOP 6 INCHES BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DENSITY.

EARTHWORK/GRADING

1. EARTHWORK AND GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS AND RECOMMENDATIONS, OR WITH SECTIONS 201-221 OF GA DOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IF NOT COVERED BY THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS, EXCEPT AS OTHERWISE NOTED.
2. MAXIMUM SLOPE OF FILL EMBANKMENT SHALL BE 2 FEET HORIZONTAL TO 1 FOOT VERTICAL UNLESS OTHERWISE SHOWN.
3. SEE NOTE 4 UNDER "PAVING AND CURBS".
4. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
5. EXCESS EARTH CUT MATERIALS, IF ANY, SHALL BE PLACED AT A LOCATION ON OR NEAR THE SITE AS DESIGNATED BY THE OWNER.

STORM DRAINAGE

1. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH GWINNETT COUNTY STANDARDS AND FEDERAL OSHA REGULATIONS.
2. CONSTRUCTION OF STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH THE DETAILS INCLUDED IN THE CONSTRUCTION DRAWINGS, GWINNETT COUNTY AND RELATED GEORGIA D.O.T. STANDARDS AND SPECIFICATIONS.

SANITARY SEWER

1. ALL SANITARY SEWER PIPE SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATION AND WITH THE APPLICABLE SECTIONS OF THE GWINNETT COUNTY SANITARY SEWER STANDARDS.
2. THE MINIMUM HORIZONTAL DISTANCE BETWEEN PUBLIC WATER AND SEWER LINES IS TEN FEET. THE MINIMUM VERTICAL CLEARANCE SHALL BE EIGHTEEN INCHES.
3. ALL SANITARY SEWER LABELS SHALL BE PLUGGED AND MARKERS INSTALLED SO THAT THEY CAN BE EASILY FOUND AFTER BACKFILLING.
4. SEWER SERVICE LATERALS SHALL BE PERMANENTLY MARKED ON THE CURB.
5. ALL TE-INS TO EXISTING MANHOLES SHALL BE CORED. ALL MANHOLES REQUIRE "NOR-N-SEAL" OR EQUAL RUBBER BOOTS.
6. CONTRACTOR SHALL SET THE SANITARY SEWER MANHOLE LIDS AT FINISHED GRADE.

PAVING AND CURBS

1. BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 300 AND OTHER SECTIONS REFERRED TO THEREIN.
2. ASPHALTIC CONCRETE SURFACE COURSE AND ASPHALT PRIME MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 400, 412, 413, AND OTHER SECTIONS REFERRED TO THEREIN.
3. CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN ON THE PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 441 AND OTHER SECTIONS REFERRED TO THEREIN.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE BACKFILLING OF CURB.
5. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS, WITH A MAXIMUM SLUMP OF 2", UNLESS NOTED OTHERWISE.
6. ALL EXPOSED CONCRETE TO HAVE A FINE HAIR-BROOMED FINISH.

EROSION AND SEDIMENT CONTROL

1. SET "EROSION NOTES & DETAILS" SHEETS FOR EROSION AND SEDIMENT CONTROL NOTES.
2. CONSTRUCTION EXIT PADS SHALL BE INSTALLED BY THE CONTRACTOR AT EACH CONSTRUCTION ACCESS POINT.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
4. PROVISIONS TO PREVENT EROSION OF THE SOIL FROM THE SITE SHALL CONFORM TO THE REQUIREMENTS OF THE "EROSION AND SEDIMENTATION ACT OF 1975" AS SHOWN HEREON AND STIPULATED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" BY THE STATE SOIL AND WATER CONSERVATION COMMITTEE AND SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE EROSION OF THE DISTURBED AREAS AND PREVENT SEDIMENT FROM LEAVING THE SITE.
5. THE CONTRACTOR WILL BE REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME DURING CONSTRUCTION. THE EROSION CONTROL MEASURES DETAILED HEREON SHALL BE CONTINUED UNTIL THE GRASS ON PLANTED SLOPES IS SUFFICIENTLY ESTABLISHED TO BE AN EFFECTIVE EROSION DETERRENT. THE SEDIMENT REMOVED FROM THE CONTROL STRUCTURES SHALL BE EVENLY DISTRIBUTED OUTSIDE CONSTRUCTION LIMITS. DISPOSED SEDIMENT SHALL BE PERMANENTLY GRAZED.
6. TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 11, SECTIONS 2-11 AND 2-12 OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

SHEET INDEX

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ISSUE NO.	DATE	DESCRIPTION
1	03/15/2023	SUBMIT FOR GOVERNMENT REVIEW
2	05/10/2023	ADD DETAILS TO CONSTRUCTION PLANS
3	07/05/2023	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY

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Tel: (678) 804-8586
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www.bluelandworks.com
PROJECT# 2021.023



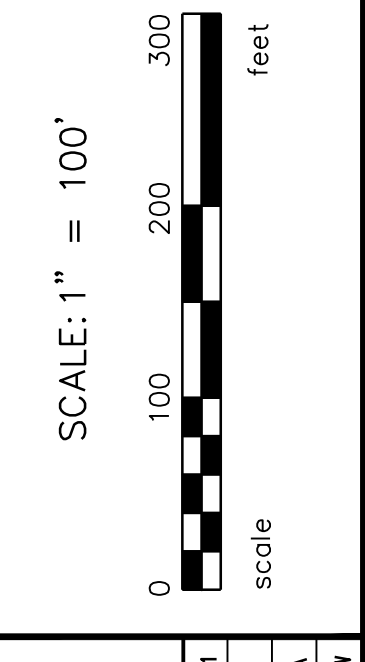
SHEET NOTES
 1. SEE COVER SHEET FOR ADDITIONAL NOTES.
 2. WETLANDS INFORMATION SHOWN HEREON TAKEN FROM AN ECOLOGICAL SURVEY BY JORDAN, JONES & GOULDING, DATED FEB. 15, 2006. THE SURVEY IDENTIFIES THE EXISTING POND AS PALUSTRINE OPEN WATERS AND STATES THAT ANY IMPACT TO THIS POND PROPOSED BY THE DEVELOPMENT NEEDS TO BE VERIFIED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE). A NATIONWIDE PERMIT HAS BEEN ISSUED BY THE USACE (FILE NUMBER 200601203), DATED JULY 24, 2006.

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PREPARED FOR: **DAVID WELTON**
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 MONROE, GEORGIA 30655
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 EMAIL: david@bluelandworks.com

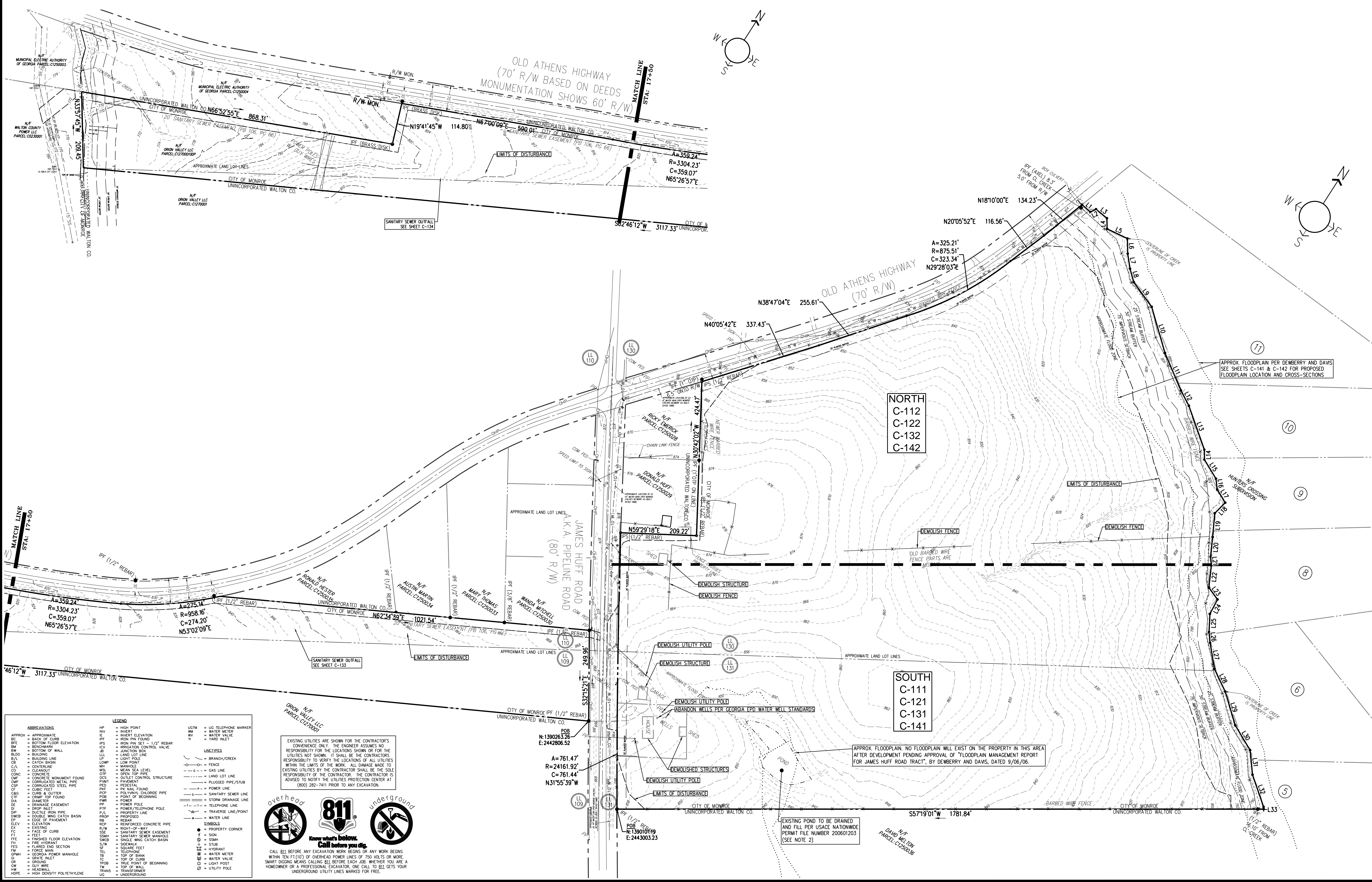
DESIGN PROFESSIONAL'S OFFICE: ELECTRONIC DIGITAL DATA CORPORATION (EDD) 200 W. MAIN STREET, SUITE 200, MONROE, LA 70601
 ANY INFORMATION CONTAINED HEREIN IS THE PROPERTY OF EDD AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE PERMITTING DOCUMENT. THE USER AGREES TO HOLD EDD HARMLESS FROM ANY AND ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM OR OUT OF ANY AND ALL SUCH USE OF THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	03/05/23	SUBMIT FOR REVIEW
2	05/05/23	AND DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY



MADISON RIDGE
 635 JAMES HUFF ROAD
 MONROE, GA 30656
 3RD LAND DISTRICT
 PARCEL M202001
 CITY OF MONROE
 WALTON COUNTY, GA
 CHECKED: TMM

EXISTING CONDITIONS & DEMOLITION PLAN
 PROJECT# 2021.023
 C-100



LEGEND

ABBREVIATIONS	HP = HIGH POINT	UGTM = UTILITY TELEPHONE MARKER
APPROX = APPROXIMATE	IE = INSERT	WV = WATER VALVE
BACK = BACK OF CURB	IF = IRON PIPE SET - 1/2" REBAR	WI = WATER INLET
BE = BOTTOM FLOOR ELEVATION	IPF = IRON PIPE FOUND	
BM = BENCHMARK	JBI = JUNCTION BOX	
BW = BOTTOM OF WALL	LD = LAND LOT	
BL = BUILDING	LI = LIGHT POLE	
B/L = BUILDING LINE	LS = LAND SURFACE	
CB = CATCH BASIN	LP = LAND POINT	
C/L = CENTERLINE	MA = MANSION	
CD = CULVERT	MAL = MEAN SEA LEVEL	
CCMC = CONCRETE	OTIP = OPEN TOP PIPE	
CCMF = CONCRETE MONUMENT FOUND	SCS = SILET CONTROL STRUCTURE	
CMP = CORRUGATED METAL PIPE	PA = PAYMENT	
CSP = CORRUGATED STEEL PIPE	PL = PLUMB	
CC = CURB	PP = POLYVINYL CHLORIDE PIPE	
CCB = CURB & CUTTER	PR = POINT OF BEGINNING	
CCD = DRAINAGE FOUNDATION	PPR = POWER POLE	
CE = CURB EASEMENT	PTP = POWER TELEPHONE POLE	
CDP = DROP INLET	PRP = PROPOSED	
CDI = DOUBLE WING CATCH BASIN	RS = REBAR	
CEP = EDGE OF PAVEMENT	RCP = REINFORCED CONCRETE PIPE	
ELEV = ELEVATION	R/W = RIGHT-OF-WAY	
EX = EXISTING	SSE = SANITARY SEWER EASEMENT	
FC = FACE OF CURB	SMH = SANITARY SEWER MANHOLE	
FTE = FEET	SMCB = SINGLE WING CATCH BASIN	
F/E = FINISHED FLOOR ELEVATION	S/W = SIDEWALK	
FES = FINISHED END SECTION	SP = SQUARE FEET	
FM = FORCE MAIN	TEL = TELEPHONE	
FR = FORCE MAIN	TEB = TOP OF BENCH	
GA = GEORGIA POWER MANHOLE	TEC = TOP OF CURB	
GR = GRATE INLET	TEB = TOP OF BENCH	
CR = CROWN	TRB = TRUE POINT OF BEGINNING	
GW = GUY WIRE	TW = TRANSFORMER	
HW = HEADWALL	UG = UNDERGROUND	
HOPE = HIGH DENSITY POLYETHYLENE		

811
 Know what's below. Call before you dig.
 CALL 811 BEFORE ANY EXCAVATION WORK BEGINS OR ANY WORK BEGINS WITHIN TEN FEET (10') OF OVERHEAD POWER LINES OF 750 VOLTS OR MORE. SMART DIGGING MEANS CALLING 811 BEFORE EACH JOB. WHETHER YOU ARE A HOMEOWNER OR A PROFESSIONAL EXCAVATOR, ONE CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

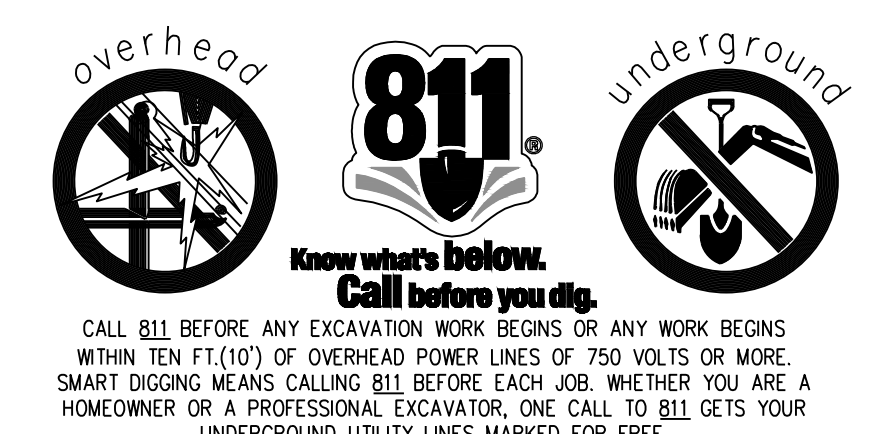
EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 282-7411 PRIOR TO ANY EXCAVATION.

POB
 N: 1390263.28
 E: 2442806.52
 A=761.47'
 R=24161.92'
 C=761.44'
 N31°55'39"W

EXISTING POND TO BE DRAINED AND FILL PER USACE NATIONWIDE PERMIT FILE NUMBER 200601203 (SEE NOTE 2)

APPROX. FLOODPLAIN: NO FLOODPLAIN WILL EXIST ON THE PROPERTY IN THIS AREA AFTER DEVELOPMENT PENDING APPROVAL OF FLOODPLAIN MANAGEMENT REPORT FOR JAMES HUFF ROAD TRACT, BY DEWBERRY AND DAVIS, DATED 9/06/06.

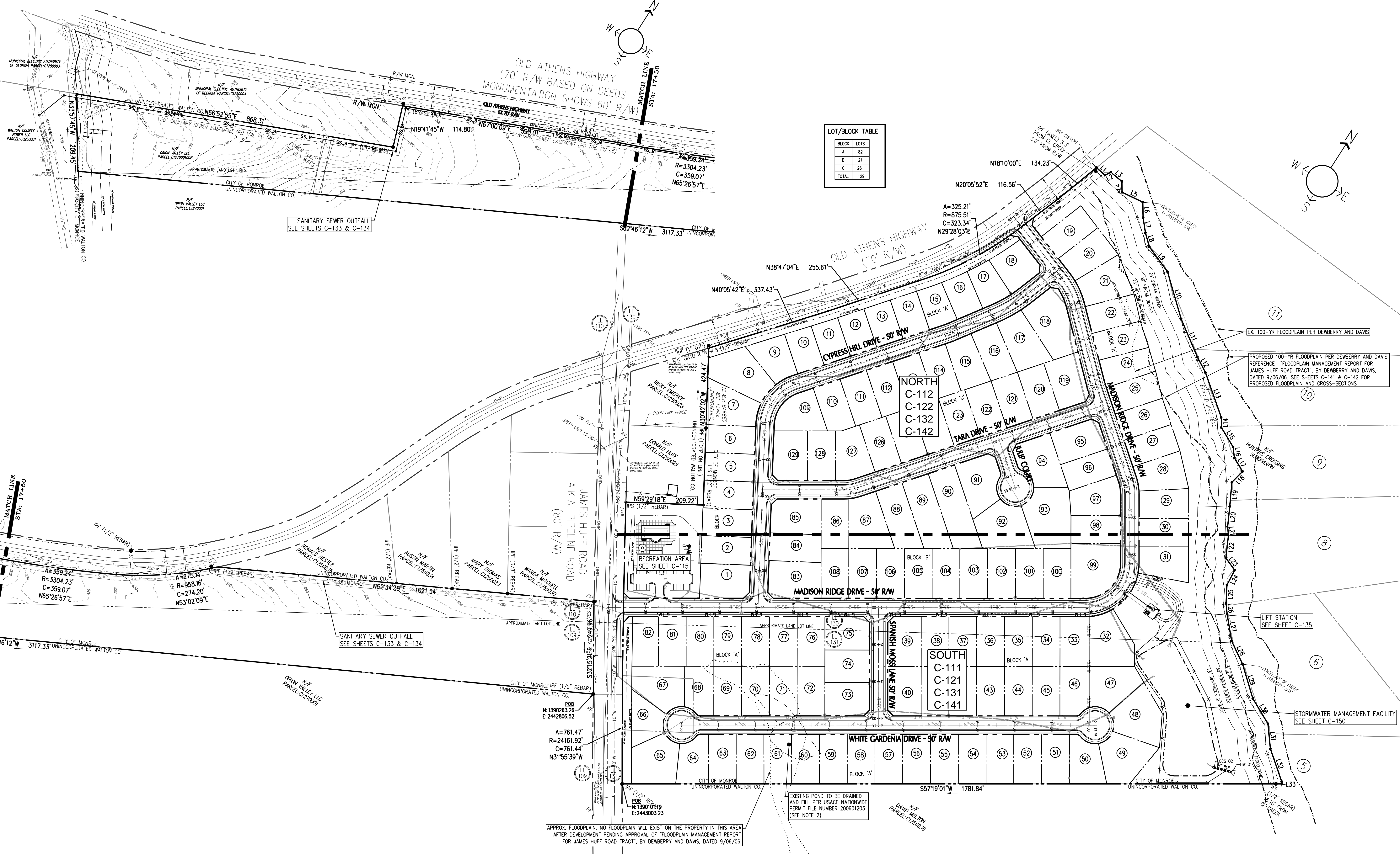
ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT ELEVATION
BFE	= BOTTOM FLOOR ELEVATION	IPF	= IRON PIN FOUND
BM	= BENCHMARK	IPS	= IRON PIN SET - 1/2" REBAR
BW	= BOTTOM OF WALL	JB	= JUNCTION BOX
BLDG	= BUILDING	LL	= LAND LOT LINE
B/L	= BUILDING LINE	LP	= LIGHT POLE
CB	= CATCH BASIN	LOWP	= LOW POINT
CA	= CENTERLINE	MAN	= MANHOLE
CAZ	= CLEANOUT	MSL	= MEAN SEA LEVEL
CC	= CONCRETE	OPF	= OPEN TOP PIPE
CCM	= CONCRETE MONUMENT FOUND	OCS	= OUTLET CONTROL STRUCTURE
CMP	= CORRUGATED METAL PIPE	PAINT	= PAINT
CSP	= CORRUGATED STEEL PIPE	PE	= PEDESTAL
CF	= CURB FEET	PF	= P.K. FOUND
C&G	= CURB & GUTTER	PCP	= POLYVINYL CHLORIDE PIPE
CT	= GROUP TOP FOUND	POB	= POINT OF BEGINNING
CTA	= DRAINAGE EASEMENT	PWR	= POWER
DI	= DROP INLET	PT	= POWER/TELEPHONE POLE
DI	= DUCTILE IRON PIPE	PL	= PROPERTY LINE
DWCB	= DOUBLE WING CATCH BASIN	PROP	= PROPOSED
EP	= EDGE OF PAVEMENT	REAR	= REAR
ELEV	= ELEVATION	RCP	= REINFORCED CONCRETE PIPE
ET	= EXISTING	R/W	= RIGHT-OF-WAY
FC	= FACE OF CURB	SS	= SANITARY SEWER EASEMENT
FFE	= FINISHED FLOOR ELEVATION	SSM	= SANITARY SEWER MANHOLE
FES	= FIRE HYDRANT	SWB	= SINGLE WING CATCH BASIN
FH	= FLARED END SECTION	SF	= SQUARE FEET
FM	= FORCE MAIN	TEL	= TELEPHONE
GMH	= GEORGIA POWER MANHOLE	TB	= TOP OF BANK
GI	= GRATE INLET	TC	= TOP OF CURB
GR	= GROUND	TC	= TRUE POINT OF BEGINNING
GW	= GUT WIRE	TW	= TOP OF WALL
HW	= HEADWALL	TRANS	= TRANSFORMER
HDPE	= HIGH DENSITY POLYETHYLENE	UG	= UNDERGROUND
		UGM	= UG TELEPHONE MARKER
		WM	= WATER METER
		WV	= WATER VALVE
		TY	= YARD INLET



EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 282-7411 PRIOR TO ANY EXCAVATION.

SHEET NOTES
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 2. METLANDS INFORMATION SHOWN HEREON TAKEN FROM AN ECOLOGICAL SURVEY BY JORDAN, JONES & GOULDING, DATED FEB. 15, 2006. THE SURVEY DENOTES THE EXISTING POND AS PALESTINE OPEN WATERS AND STATES THAT ANY IMPACT TO THIS POND PROPOSED BY THE DEVELOPMENT NEEDS TO BE VERIFIED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE). A NATIONWIDE PERMIT HAS BEEN ISSUED BY THE USACE (FILE NUMBER 200601203), DATED JULY 24, 2006.

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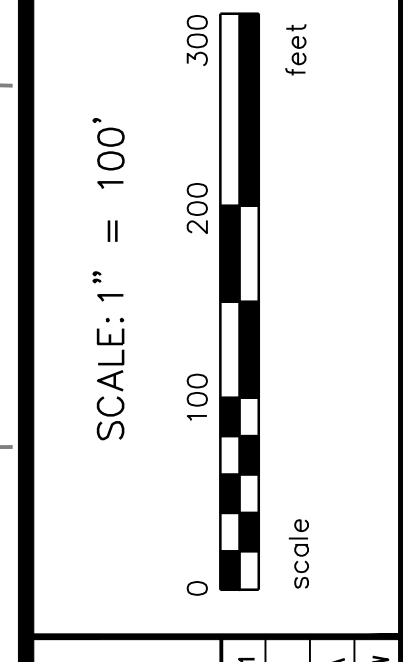
LOT/BLOCK TABLE

BLOCK	LOTS
A	82
B	21
C	26
TOTAL	129

PREPARED FOR: **LAND, LLC**
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 CONTACT: BARRY CARLINA
 EMAIL: rcarlina@bluelandworks.com

DESIGN PROFESSIONAL SEAL
 JAMES HUFF ROAD TRACT, BY DEWBERRY AND DAVIS, DATED 9/06/06. SEE SHEETS C-141 & C-142 FOR PROPOSED FLOODPLAIN AND CROSS-SECTIONS.

REV.	DATE	DESCRIPTION
1	03/05/23	SUBMIT FOR REVIEW
2	05/10/23	ADD DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXISTING 25'-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY



MADISON RIDGE
 635 JAMES HUFF ROAD
 MONROE, GA 30656
 3RD LAND DISTRICT
 PARCEL M202001
 CITY OF MONROE
 WALTON COUNTY, GA
 CHECKED: JHW

OVERALL PRELIMINARY PLAT
 PROJECT# 2021.023
 C-110

ABBREVIATIONS

- APPROX = APPROXIMATE
- BC = BACK OF CURB
- BFE = BOTTOM FLOOR ELEVATION
- BW = BENCHMARK
- BW = BOTTOM OF WALL
- BLOC = BUILDING
- B/A = BUILDING LINE
- CS = CATCH BASIN
- C/A = CENTERLINE
- CONC = CONCRETE
- CONC = CONCRETE MONUMENT FOUND
- CMP = CORRUGATED METAL PIPE
- CSP = CORRUGATED STEEL PIPE
- CUBIC FEET
- CAC = CURB & GUTTER
- CTI = CURB TOP FOUND
- DA = DRAINAGE EASEMENT
- DI = DROP INLET
- DI = DUCTILE IRON PIPE
- DWCB = DOUBLE WING CATCH BASIN
- EF = EDGE OF PAVEMENT
- ELEV = ELEVATION
- EX = EXISTING
- FC = FACE OF CURB
- FF = FINISHED FLOOR ELEVATION
- FM = FIRE HYDRANT
- FES = SQUARE FEET
- FM = FORCE MAIN
- GMH = GEORGIA POWER MANHOLE
- GR = GRATE INLET
- GW = GUY WIRE
- HW = HEADWALL
- HOPE = HIGH DENSITY POLYETHYLENE

LEGEND

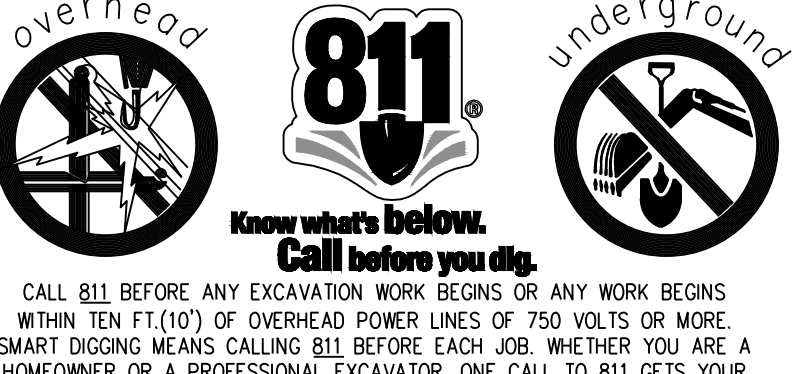
- HP = HIGH POINT
- IE = INVERT
- IPF = IRON PIN FOUND
- IRS = IRON PIN SET - 1/2" REBAR
- ICV = IRRIGATION CONTROL VALVE
- JB = JUNCTION BOX
- LL = LAND LOT LINE
- LP = LIGHT POLE
- LOWP = LOW POINT
- MH = MANHOLE
- MSL = MEAN SEA LEVEL
- OIP = OPEN TOP PIPE
- OCSS = OUTLET CONTROL STRUCTURE
- PWT = PAVEMENT
- PEB = PEDESTAL
- PKP = PK NAIL FOUND
- PCP = POLYVINYL CHLORIDE PIPE
- POB = POINT OF BEGINNING
- PWR = POWER
- PP = POWER POLE
- PTP = POWER/TELEPHONE POLE
- P/L = PROPERTY LINE
- PROP = PROPOSED
- RB = REBAR
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT-OF-WAY
- SSE = SANITARY SEWER EASEMENT
- SSMH = SANITARY SEWER MANHOLE
- SWCB = SINGLE WING CATCH BASIN
- S/W = SQUARE FEET
- TEL = TELEPHONE
- TB = TOP OF BANK
- T/C = TOP OF CURB
- T/OB = TOP OF WALL
- TW = TOP OF WALL
- TRANS = TRANSFORMER
- UC = UNDERGROUND
- UCM = UC TELEPHONE MARKER
- WM = WATER METER
- WV = WATER VALVE
- YI = YARD INLET

LINE TYPES

- BRANCH/CREEK
- FENCE
- GAS LINE
- LAND LOT LINE
- PLUGGED PIPE/STUB
- POWER LINE
- SANITARY SEWER LINE
- STORM DRAINAGE LINE
- TELEPHONE LINE
- TRAVELER LINE/POINT
- WATER LINE

SYMBOLS

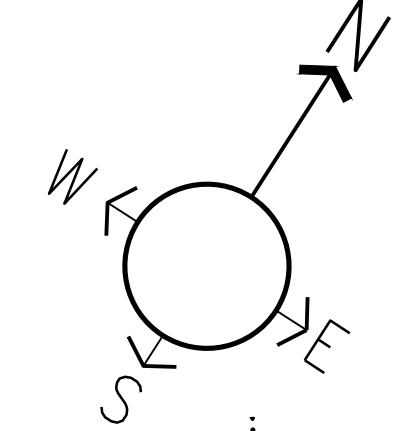
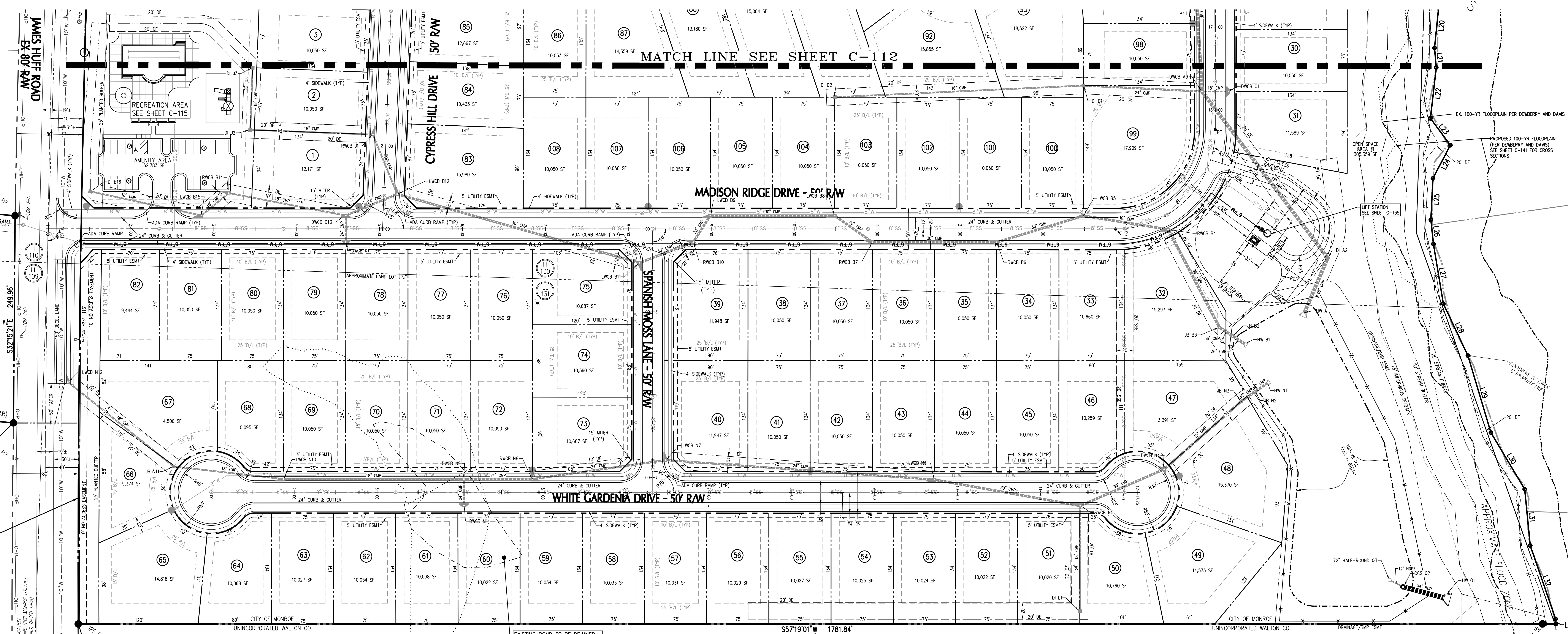
- PROPERTY CORNER
- SIGN
- SSMH
- STUB
- HYDRANT
- WATER METER
- WATER VALVE
- LIGHT POST
- UTILITY POLE



EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVICTION ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 282-7411 PRIOR TO ANY EXCAVATION.

CENTERLINE CURVE TABLE

CURVE #	RADIUS	LENGTH	BEG STA (PC)	END STA (PT)
#1	120.00'	188.50'	13+87.81	15+76.30
#2	120.00'	38.79'	17+63.68	18+02.47
#3	120.00'	8.55'	20+64.97	20+73.52
#4	200.00'	82.52'	22+94.25	23+76.77
#5	120.00'	21.32'	25+58.38	25+79.70
#6	120.00'	9.53'	27+25.55	27+35.08
#7	120.00'	145.14'	5+93.93	7+39.07
#8	120.00'	38.79'	3+19.91	3+58.69
#9	120.00'	9.54'	11+71.34	11+80.88
#10	375.00'	98.21'	13+10.75	14+08.96



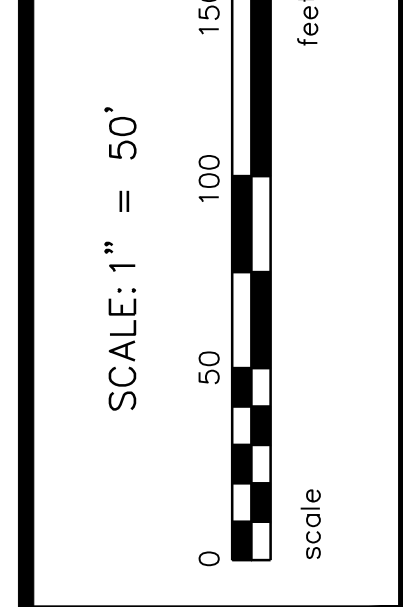
BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # P0700018
LICENSE # S070004
5019 WEST BROAD STREET
SUITE 4230
SUGAR HILL, GEORGIA 30058
TELEPHONE: (678) 804-8586
WWW.BLUELANDWORKS.COM

PREPARED FOR: **DAVID MELTON LAND, LLC**
MONROE, GEORGIA 30655
PROJECT: **635 JAMES HUFF ROAD**
CONTACT: **DAVID MELTON**
EMAIL: **melton@meltonland.com**

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REVISIONS

NO.	DATE	DESCRIPTION
1	03/05/23	SUBMIT FOR REVIEW
2	05/10/23	ADD DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY



MADISON RIDGE
635 JAMES HUFF ROAD
MONROE, GA 30656

3RD LAND DISTRICT
PARCEL M200001
CITY OF MONROE
WALTON COUNTY, GA
CHECKED: **HW**

PRELIMINARY PLAT SOUTH

PROJECT # 2021.023
C-111

N/F
DAVID MELTON
PARCEL: C1250036

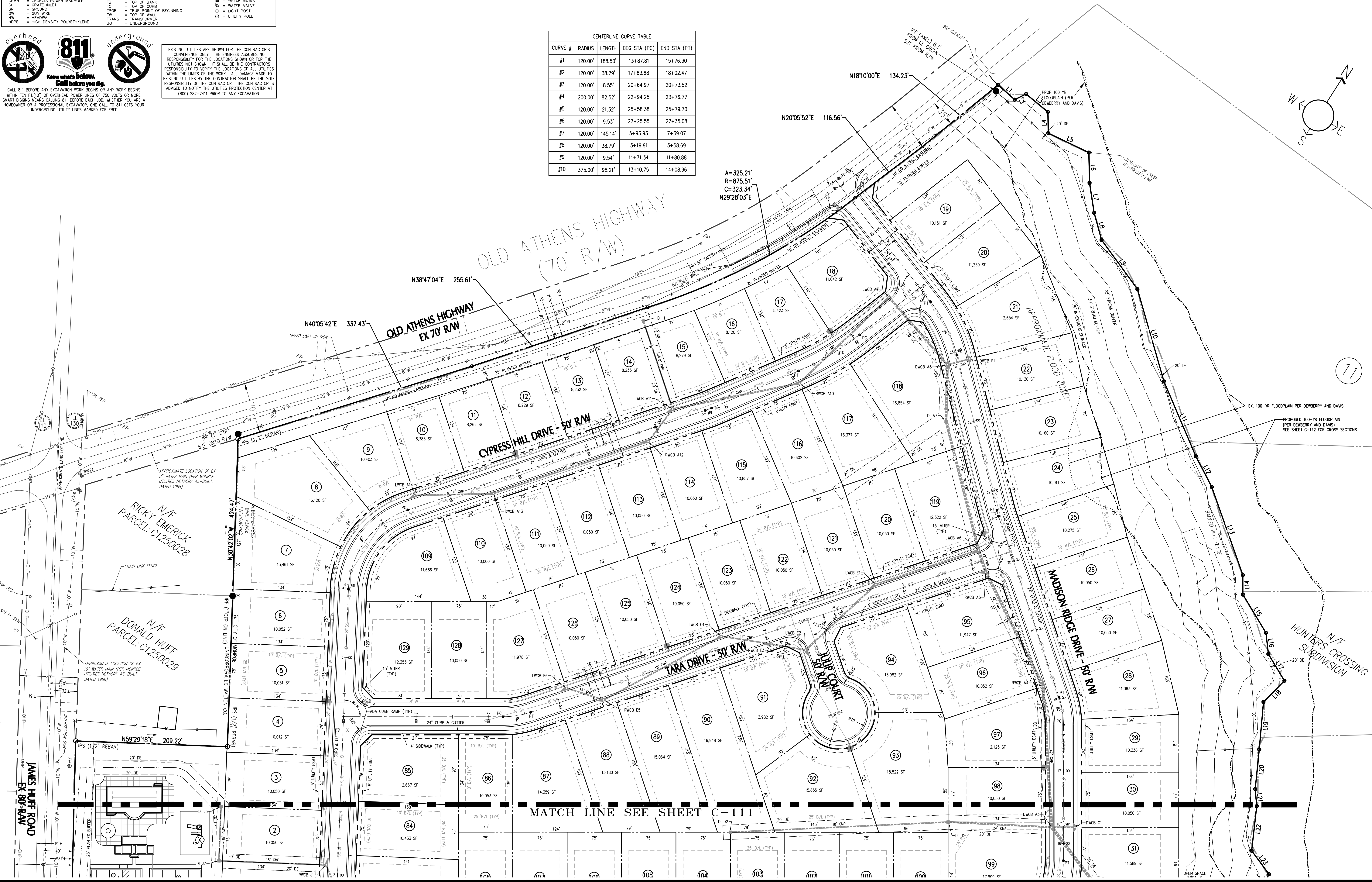
ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT
BFE	= BOTTOM FLOOR ELEVATION	IE	= INVERT ELEVATION
BM	= BENCHMARK	IPF	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IP5	= IRON PIN SET - 1/2" REBAR
BUD	= BUILDING	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LL	= LAND LOT LINE
C/L	= CENTERLINE	LLP	= LIGHT POLE
CO	= CONCRETE	LP	= LOW POINT
CONC	= CONCRETE	MA	= MANHOLE
CMP	= CONCRETE MONUMENT FOUND	MSL	= MEAN SEA LEVEL
CMP	= CORRUGATED METAL PIPE	OTF	= OPEN TOP PIPE
CF	= CUBIC FEET	PCS	= POINT CONTROL STRUCTURE
CAG	= CURB & GUTTER	PKF	= PEDESTAL
CTF	= CRAMP TOP FOUND	PKF	= PK. MARK FOUND
DIA	= DIAMETER	PCP	= POLYVINYL CHLORIDE PIPE
DI	= DRAINAGE EASEMENT	POB	= POINT OF BEGINNING
DIA	= DROP INLET	PP	= POWER POLE
DSP	= DOUBLE WING CATCH BASIN	PTP	= POWER/TELEPHONE POLE
DWCB	= EDGE OF PAVEMENT	P/L	= PROPERTY LINE
ELEV	= ELEVATION	PRDP	= PROPOSED
EX	= EXISTING	RE	= REBAR
FC	= FACE OF CURB	RCP	= REINFORCED CONCRETE PIPE
FE	= FEET	R/W	= RIGHT-OF-WAY
FFE	= FINISHED FLOOR ELEVATION	SSE	= SANITARY SEWER EASEMENT
FH	= FIRE HYDRANT	SMH	= SANITARY SEWER MANHOLE
FES	= FLARED END SECTION	SWCB	= SINGLE WING CATCH BASIN
FM	= FORCE MAIN	S/W	= SIDEWALK
GMH	= GEORGIA POWER MANHOLE	SF	= SQUARE FEET
GR	= GROUND	TEL	= TELEPHONE
GW	= GUT WIRE	TC	= TOP OF CURB
HW	= HEADWALL	TOB	= TOP OF BANK
HOPE	= HIGH DENSITY POLYETHYLENE	TPB	= TRUE POINT OF BEGINNING
		TW	= TOP OF WALL
		TRANS	= TRANSFORMER
		UG	= UNDERGROUND

811
Know what's below. Call before you dig.

CALL 811 BEFORE ANY EXCAVATION WORK BEGINS OR ANY WORK BEGINS WITHIN TEN (10') OF OVERHEAD POWER LINES OF 750 VOLTS OR MORE. SMART DIGGING MEANS CALLING 811 BEFORE EACH JOB. CALL TO 811 GETS YOUR UNDERGROUND UTILITY LINES MARKED FOR FREE.

EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 252-7411 PRIOR TO ANY EXCAVATION.

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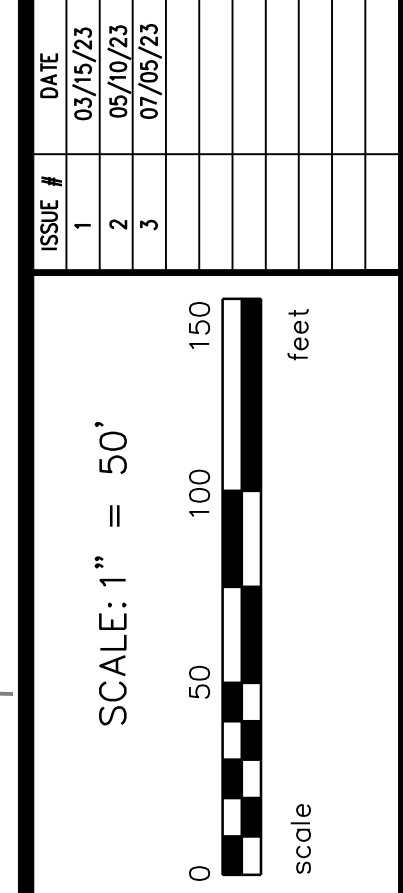


BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
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LICENSE # S0700044
5019 WEST BROAD STREET
SUGAR HILL, GEORGIA 30058
TELEPHONE: (678) 804-8586
WWW.BLUELANDWORKS.COM

PREPARED FOR: **LAND, LLC**
1000 W. BROAD ST.
MONROE, GEORGIA 30655
CONTACT: BARRY CARROLL
EMAIL: bcarroll@bluelandworks.com

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NO.	DATE	DESCRIPTION
1	03/05/23	SUBMIT FOR REVIEW
2	05/04/23	AND DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY

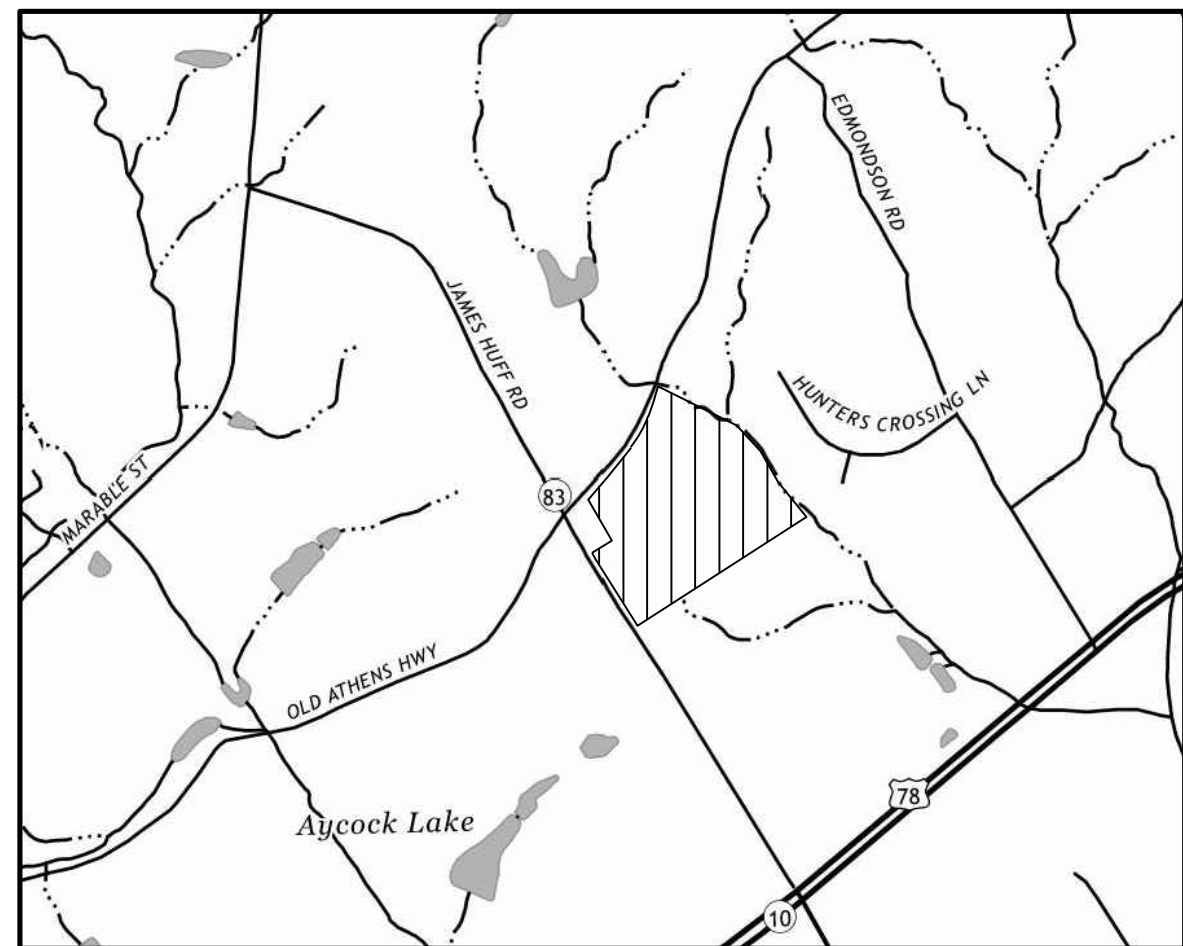


MADISON RIDGE
635 JAMES HUFF ROAD
MONROE, GA 30656

3RD LAND DISTRICT
PARCEL M200001
CITY OF MONROE
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
WALTON COUNTY, GA
CHECKED: JHW

PRELIMINARY PLAT NORTH

PROJECT # 2021.023
C-112



VICINITY MAP
SCALE: NTS
SOURCE: USGS

GENERAL NOTES

- 1. IPS (IRON PIN SET) IS 1/2" REBAR; NS (NAIL SET) IS MAGNAIL.
2. PROPERTY CONTAINS 49.00 ACRES
3. A PORTION ON SAID PROPERTY DOES LIE WITHIN A FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 13297C01350 FOR COMMUNITY NUMBER 13297C, IN WALTON COUNTY, STATE OF GEORGIA, DATED MARCH 18TH 2009, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
4. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
5. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
6. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TAKEN FROM VISIBLE EVIDENCE, CONSTRUCTION PLANS AND/OR PREVIOUS SURVEYS AND SHOULD BE CONSIDERED APPROXIMATE.

SURVEY REFERENCES

- 1. WALTON COUNTY DEED BOOK 3884 PAGE 280
2. WALTON COUNTY PLAT BOOK 25 PAGE 153
3. WALTON COUNTY PLAT BOOK 55 PAGE 38

GPS STATEMENT

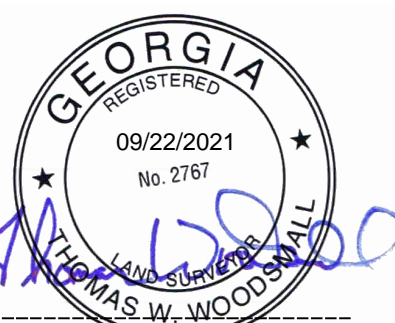
THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED UTILIZING GPS. THE EQUIPMENT USED WAS A CHAMPION TKO GNSS RECEIVER WITH CARLSON SURVCE DATA COLLECTION SOFTWARE. ALL COORDINATES ARE BASED ON NAD83(2011) AND GEOID28. NETWORK RTK CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTK UTILIZING THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EPCS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3: NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .04 FT. HORIZONTAL AND .07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

SURVEYOR'S CERTIFICATION BOUNDARY SURVEY

THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

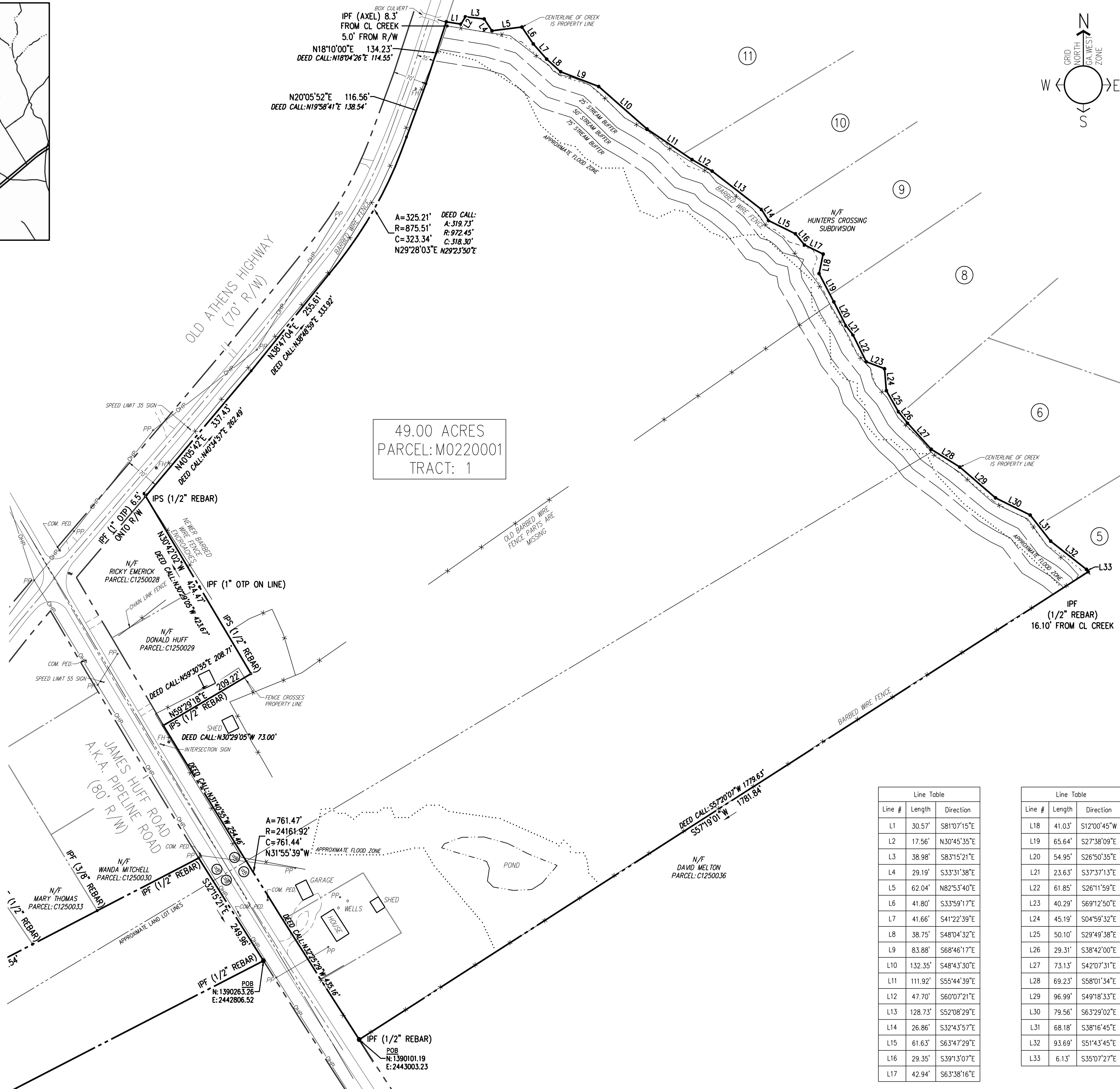
FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A TRIMBLE S6 ROBOTIC TOTAL STATION ELECTRONIC INSTRUMENT. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 25,888 FEET AND AN ANGULAR ERROR OF 12 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES ADJUSTMENT. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 503,222 FEET.

DATE OF LAST FIELD WORK: 09/08/2021
DATE PLAT WAS SEALED: 09/22/2021



NAME: THOMAS W. WOODSMALL
REGISTRATION/LICENSE NUMBER: 2767 (GEORGIA)
DATE OF EXPIRATION: DECEMBER 31, 2022

Table with columns for ABBREVIATIONS, LEGEND, and SYMBOLS. Includes entries for various surveying symbols like HP (High Point), INV (Invert), and UGTM (UG Telephone Marker).



49.00 ACRES
PARCEL: M0220001
TRACT: 1

Line Table with columns: Line #, Length, Direction. Lists lines L1 through L17 with their respective measurements.

Line Table with columns: Line #, Length, Direction. Lists lines L18 through L33 with their respective measurements.

BLUE LANDWORKS logo and contact information: 5019 WEST BROAD STREET, SUITE 4120, SUGAR HILL, GEORGIA 30518.

PREPARED FOR: WILLIAM COLEMAN

ISSUE # / DATE: 1 / 09/22/21

Table with columns: ISSUE #, DATE, REVISIONS. Shows a single revision entry.

Scale bar: 1" = 100'. Includes a graphic scale from 0 to 300 feet.

JAMES HUFF ROAD, MONROE, GA 30656
BOUNDARY SURVEY TRACT 1
3RD LAND DISTRICT
PARCEL M0220001
CITY OF MONROE
JERAMK, KO

GENERAL NOTES

1. IPS (IRON PIN SET) IS 1/2" REBAR; NS (NAIL SET) IS MAGNAIL.
2. PROPERTY CONTAINS 15.62 ACRES
3. NO PORTION ON SAID PROPERTY LIES WITHIN A FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 13297C01350 AND 13297C0130E FOR COMMUNITY NUMBER 13297C, IN WALTON COUNTY, STATE OF GEORGIA, DATED DECEMBER 8TH 2016, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
4. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
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SURVEY REFERENCES

1. WALTON COUNTY DEED BOOK 3994 PAGE 313
2. WALTON COUNTY PLAT BOOK 80 PAGE 20

GPS STATEMENT

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SURVEYOR'S CERTIFICATION BOUNDARY SURVEY

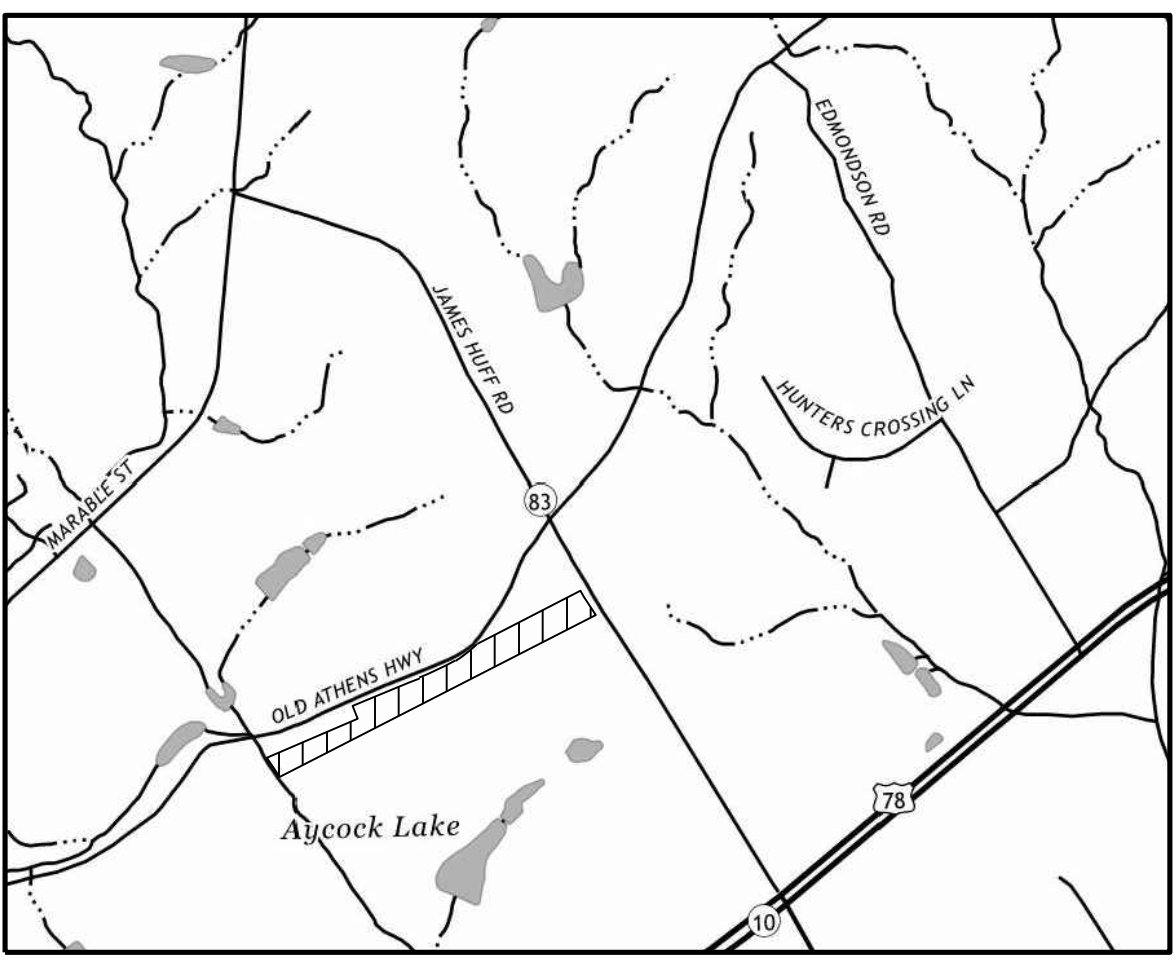
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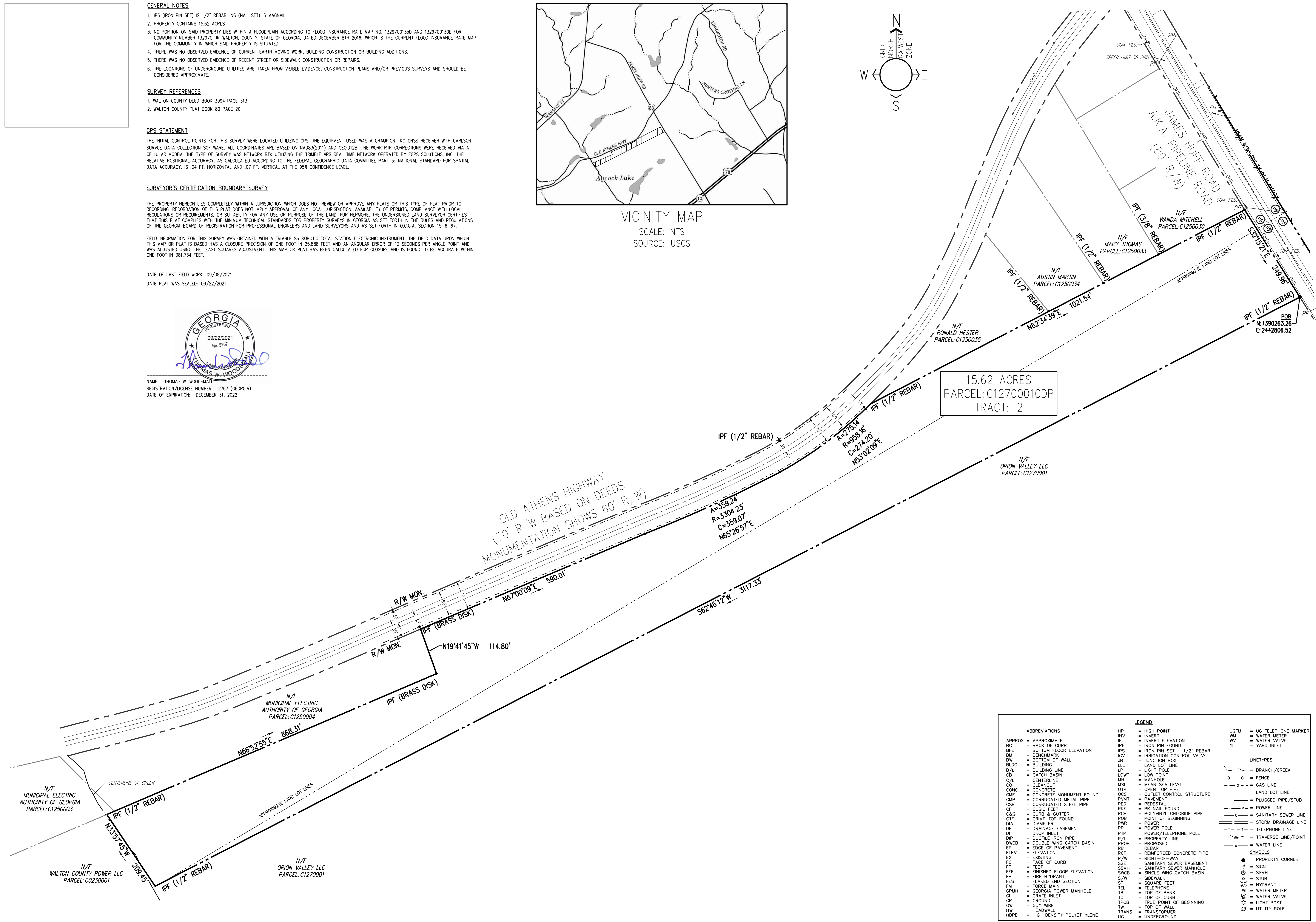
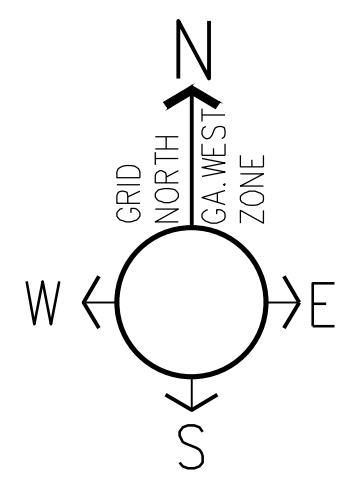
DATE OF LAST FIELD WORK: 09/08/2021
DATE PLAT WAS SEALED: 09/22/2021



NAME: THOMAS W. WOODSMALL
REGISTRATION/LICENSE NUMBER: 2767 (GEORGIA)
DATE OF EXPIRATION: DECEMBER 31, 2022



VICINITY MAP
SCALE: NTS
SOURCE: USGS



15.62 ACRES
PARCEL: C12700010DP
TRACT: 2

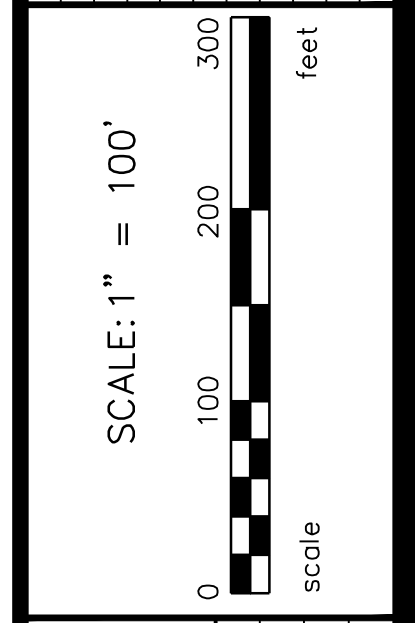
ABBREVIATIONS		LEGEND	
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BFE	= BOTTOM FLOOR ELEVATION	IE	= INVERT ELEVATION
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BW	= BOTTOM OF WALL	IPS	= IRON PIN SET - 1/2" REBAR
BLOG	= BUILDING LINE	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LLL	= LAND LOT LINE
C/L	= CENTERLINE	LP	= LIGHT POLE
CO	= CLEANOUT	LOWP	= LOW POINT
CONC	= CONCRETE	MH	= MANHOLE
CMP	= CONCRETE MONUMENT FOUND	MSL	= MEAN SEA LEVEL
CSP	= CORRUGATED METAL PIPE	OTIP	= OPEN TOP PIPE
CF	= CUBIC FEET	OCS	= OUTLET CONTROL STRUCTURE
C&G	= CURB & GUTTER	PVMT	= PAVEMENT
CTF	= CRIMP TOP FOUND	PE	= PEDESTAL
DIA	= DIAMETER	PK	= PK NAIL FOUND
DE	= DRAINAGE EASEMENT	PCP	= POLYVINYL CHLORIDE PIPE
DI	= DROP INLET	POB	= POINT OF BEGINNING
DIP	= DUCTILE IRON PIPE	PWR	= POWER
DWCB	= DOUBLE WING CATCH BASIN	PP	= POWER POLE
EP	= EDGE OF PAVEMENT	P/P	= POWER/TELEPHONE POLE
ELEV	= ELEVATION	P/L	= PROPERTY LINE
EX	= EXISTING	PROP	= PROPOSED
FC	= FACE OF CURB	RB	= REBAR
FE	= FEET	RCP	= REINFORCED CONCRETE PIPE
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FES	= FLARED END SECTION	SSMH	= SANITARY SEWER MANHOLE
FM	= FORCE MAIN	SWCB	= SINGLE WING CATCH BASIN
GP	= GEORGIA POWER MANHOLE	S/W	= SIDEWALK
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		UG	= UNDERGROUND
		UGTM	= UIC TELEPHONE MARKER
		WM	= WATER METER
		WV	= WATER VALVE
		VI	= VARIQ INLET

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # LSF0001044
5019 WEST BROAD STREET
SUITE 4120
SUGAR HILL, GEORGIA 30518
TELEPHONE: (678) 804-8586
INFO@BLUELANDWORKS.COM
WWW.BLUELANDWORKS.COM

PREPARED FOR:
WILLIAM COLEMAN

ISSUANCE PROFESSIONAL SEAL OF SURVEYOR IS OFFICIAL ONLY TO THAT PERSON WHOSE NAME IS SPECIFICALLY MENTIONED IN THIS DOCUMENT. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY SUBSEQUENT MODIFICATION, CORRECTION, OR UNAUTHORIZED USE OF THIS DOCUMENT TO VERIFY THE VALIDITY OF THE SEAL/SIGNATURE, CONTACT US.

ISSUE #	DATE	REVISIONS
1	09/22/21	SEALED SURVEY



**JAMES HUFF ROAD,
MONROE, GA 30656**
3RD LAND DISTRICT
PARCEL M0220001
CITY OF MONROE
STATE OF MISSISSIPPI
WALTON COUNTY, GA
CHECKED: TWH

**BOUNDARY SURVEY
TRACT 2**



To: City Council
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/29/2023
Subject: CUP #2623 – 839 Overlook Trail – Child Care Home

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:

The property owner at 839 Overlook Trail is petitioning for a Conditional Use approval in order to allow for a child care home. Child care homes are allowed to care for up to six (6) children at a time in a private residence. The child care home will be conducted inside the residence located at 839 Overlook Trail.

Background:

Please refer to the attached staff report for complete details regarding this CUP request.

Recommendation:

The Planning Commission voted unanimously to recommend approval of the Conditional Use request subject to two (2) conditions:

1. The child care home shall operate as described in applicant’s narrative and shall not provide care to more than six (6) children at any time.
2. If the property is transferred to a new owner (if the property is sold), this Conditional Use approval shall become null and void and shall not transfer to the new owner of the property.

Attachment(s):

Staff Report
Application Documents



**Planning
City of Monroe, Georgia**

CONDITIONAL USE STAFF REPORT

APPLICATION SUMMARY

CONDITIONAL USE CASE #: 2623

DATE: September 13, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Matthew & Mercedes Pridgen

PROPERTY OWNER: Matthew & Mercedes Pridgen

LOCATION: North side of Overlook Trail – 839 Overlook Trail

ACREAGE: ±0.34

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Single-family residence

REQUEST SUMMARY: The owner is petitioning for Conditional Use approval on this property in order to establish a child care home.

STAFF RECOMMENDATION: Staff recommends approval of this Conditional Use request with conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: September 19, 2023

CITY COUNCIL: October 10, 2023

REQUEST SUMMARY

CONDITIONAL USE PERMIT REQUEST SUMMARY:

The applicant is requesting approval of a Conditional Use in order allow a Child Care Home at an existing single-family residence. The subject property is currently zoned R-1 (Large Lot Residential District). The site contains a single-family residence constructed in 2003 and is approximately 2,028 Sf. Child Care Homes are allowed in the R-1 zoning district as Conditional Uses. Per the Zoning Ordinance definition, a Child Care Home is a facility in a private residence providing for the care, supervision, and protection (with or without academic instruction) of children in which the dwelling is occupied by the provider of these services and where no more than six (6) children under eighteen (18) years of age are received for group care without transfer of custody for more than four (4) hours and less than twenty-four (24) hours per day. The applicant’s narrative states the intent is to provide child care for no more than six (6) children, ages infant to 12-years old, with hours of operation from five (5) a.m. to seven (7) p.m., in the first floor of the home.

PROPOSED PROJECT SUMMARY:

- Child Care Home in a Single-Family Residence
 - Site Area – ±0.34 Acres (14,810 Sf)
 - Existing Residential Floor Area – ±2,028 Sf
 - Proposed Child Care Home Operation
 - Care for up to six (6) children, ages infant to 12-years old, with hours of operation from five (5) a.m. to seven (7) p.m., in the first floor of the home

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR CONDITIONAL USE APPLICATION DECISIONS” AS SET FORTH IN SECTION 1425.5 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The proposed use will not be detrimental to adjacent properties or the general neighborhood, the proposed use will not significantly adversely affect public health, safety, morality and welfare, and the proposed use as designed will minimize adverse effects on the surrounding neighborhood:** If operated properly and within the intent of the Zoning Ordinance, a Child Care Home should not be detrimental to adjacent properties or the general neighborhood. The definition of a Child Care Home in Section 210 of the Zoning Ordinance is as follows:

“A facility in a private residence providing for the care, supervision, and protection (with or without academic instruction) of children in which the dwelling is occupied by the provider of these services and where no more than six (6) children under eighteen (18) years of age are received for group care without transfer of custody for more than four (4) hours and less than twenty-four (24) hours per day.”

In other words, a Child Care Home is permitted within a residence as long as the operator is the owner of the property and care is limited to six (6) children for more than four (4) hour and less than twenty-four (24) hour care. The subject property is a single-family residence located inside the Evergreen Estates subdivision. The applicant is proposing to only provide care for six (6) children, aged from infant to twelve (12) years old. The applicant proposes care will only occur from five (5) a.m. to seven (7) p.m. If the child care home is operated in the manner proposed in the application, adjoining properties and the general neighborhood should not be adversely affected.

- (2) The applicable standards in Article X have been met:** There are no standards applicable to Child Care Homes in Article X of the Zoning Ordinance.
- (3) The proposed use is consistent with the Comprehensive Plan, and the conditional use is compatible with the community development pattern:** The subject property is located in the South Sub-Area as identified in the Monroe Comprehensive Plan. The existing character of this vicinity of the South Sub-Area is predominantly single-family residential. The requested Conditional Use does not conflict with the land use goals for the sub-area.
- (4) A rezoning to allow the requested use as a permitted use would not be appropriate:** Rezoning the property to a zoning district where the use would be allowed by right requires rezoning to the B-2 or B-3 zoning district. With this property located well inside an established neighborhood, a rezone to a B commercial district would be inappropriate.

- (5) **The proposed use will not be injurious to the natural environment or the other property in the immediate vicinity, or unconstitutionally diminish property values within the surrounding neighborhood:** The conversion of the existing single-family residence to a child care home should generally not be injurious to the natural environment or diminish adjoining property values if operated as described in the applicant’s narrative.
- (6) **Off-street parking and loading, and access thereto, will be adequate:** The subject property has driveway wide enough to accommodate two vehicles, side by side, at the same time. Overlook Trail has a pavement width of twenty-eight (28) feet and is capable of supporting on-street parking in front of the residence. Parking and access into the property is adequate for the proposed child care home.
- (7) **Public facilities and utilities are capable of adequately serving the proposed use, and the use would not lead to a major negative change in existing levels of public service, or fiscal stability:** Public services and utilities are currently serving the existing single-family residence. The conversion from a single-family residence to a child care home should not have any impact on the City’s abilities to continue to provide public services and utilities.
- (8) **The use will not be an extension of a use which will cause a damaging volume of (a) agricultural, (b) commercial, (c) industrial, or (d) higher density residential use into a stable neighborhood of well-maintained single-family homes, nor likely lead to decreasing surrounding property values, neighborhood deterioration, spreading of blight, or additional requests of a similar nature which would expand the problem:** There are no other child care homes on record in the Evergreen Estates subdivision. If operated in the manner described in the applicant’s narrative, the child care home should not negatively impact adjoining properties.
- (9) **The use would not significantly increase congestion, noise, or traffic hazards:** The use of the property for a Child Care Home itself may not significantly increase congestion or noise. A limit of six (6) children can be at the home for care at any given time during a 24-hour period. The assumed traffic impacts from the residence would be a maximum of twelve (12) additional trips to the residence daily. This limited number of vehicle trips should not be considered a significant traffic impact or hazard to Overlook Trail or the neighborhood itself.
- (10) **Granting this request would not have a “domino effect,” in that it becomes the opening wedge for further rapid growth, urbanization or other land-use change beyond what is indicated in the Comprehensive Plan:** Child Care Homes are allowed as Conditional Uses in the R-1 zoning district. Granting this Conditional Use request should not have a “domino effect” which negatively affects the adjoining residences.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Conditional Use for a child care home, subject to the following conditions:

- 1. The child care home shall operate as described in applicant’s narrative and shall not provide care to more than six (6) children at any time.
- 2. If the property is transferred to a new owner (if the property is sold), this Conditional Use approval shall become null and void and shall not transfer to the new owner of the property.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

CONDITIONAL USE PERMIT

PERMIT #:	2623	DESCRIPTION:	CONDITIONAL USE - CHILD CARE
JOB ADDRESS:	839 OVERLOOK TRAIL	LOT #:	
PARCEL ID:	NM03A096	BLK #:	
SUBDIVISION:	EVERGREEN ESTATES	ZONING:	R-1
ISSUED TO:	MATTHEW PRIDGEN	CONTRACTOR:	MATTHEW PRIDGEN
ADDRESS:	839 OVERLOOK TRAIL	PHONE:	
CITY, STATE ZIP:	MONROE GA 30655	OWNER:	
PHONE:		PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	8/28/2023
VALUATION:	\$ 0.00	EXPIRATION:	2/24/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-09	CONDITIONAL USE PERMIT	\$ 300.00
FEE TOTAL		\$ 300.00
PAYMENTS		\$ -300.00
BALANCE		\$ 0.00

NOTES:

The Planning Commission will hear and make recommendation on this request for a Conditional Use Permit at 839 Overlook Trail on September 19, 2023 at 5:30pm. The Monroe City Council will hear and make a decision on this request on October 10, 2023 at 6:00pm. Both meetings will be held in the Council Chambers at City Hall; 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

8/28/23
DATE



215 North Broad Street
 Monroe, GA 30655
 Tel (770) 267-3429
 Fax (770) 267-3698

Receipt Number: R00553361 183
 Cashier Name: LAURA WILSON
 Terminal Number: 34
 Receipt Date: 8/28/2023 3:47:15 PM

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference: 1578

Name: PRIDGEN, MATTHEW	\$300.00
Total Balance Due:	\$300.00
Amount: \$300.00	
Total Payment Received:	\$300.00
Change:	\$0.00



CONDITIONAL USE APPLICATION

CONDITIONAL USE LOCATION & DESCRIPTION

Address: 839 Overlook Trl

Parcel #: NM03A096 Council Districts: 1

Zoning: R1 Acreage/Square Feet: 0.34 Acres

Type of Conditional Use Requested: Family Child Care Learning Home

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Matthew / Mercedes Pridgen Phone #: 770-417-7567

Address: 839 Overlook Trl City: Monroe State: FL Zip: 30655

Applicant (If different than owner): _____ Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

CONDITIONAL USE INFORMATION

Describe the nature of the proposed use, including without limitation the type of activity proposed, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters (1425.1(1)(b)): We would like to operate a Family Child Care Learning Home from this site with a capacity of 6 children enrolled and one employee. The hours of operation would be 5am - 7pm, Mondays thru Fridays. Childcare would be provided for children ages birth - 12 years old.

Describe the location of the proposed structure(s) or use(s) and its relationship to existing adjacent uses or structures, and use of adjacent properties (1412.1(1)(c)): The Family Child Care Learning Home would be located on the bottom floor of the two-story Home.

CONDITIONAL USE INFORMATION CONT.

Describe the area, dimensions and details of the proposed structure(s) or uses(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways (1425.1(1)(d)):

The structure is the owner's residential home. The first floor of the building (home) will be used for business. The parking space is the existing residential driveway.

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(e)):

- City Water
- Private Well
- City Sewer
- Septic Tank
- Electrical
- Gas
- Telecom

REQUIRED SUBMITTAL ITEMS

- Completed Application
- Fee (see Fee Schedule)
- Survey Plat
- Typed Detailed Description of the Request
- Site Plan; Drawn to scale
- Deed
- Proof of all property taxes paid in full
- Other information as required by Code Enforcement

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: [Signature] DATE: 8/4/2023

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

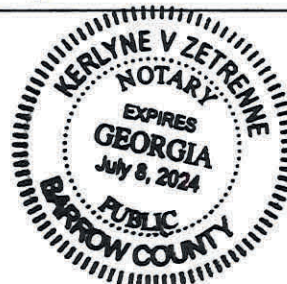
SIGNATURE: _____ DATE: _____

NOTARY PUBLIC:

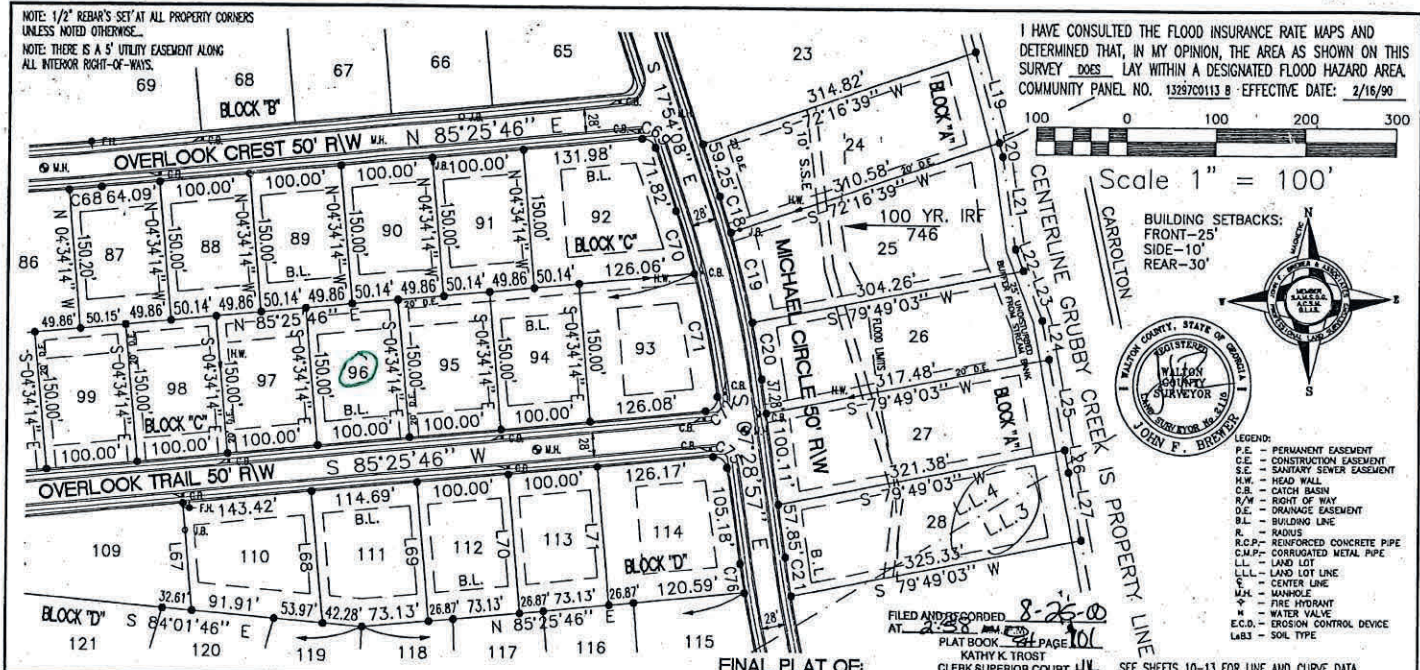
SWORN TO AND SUBSCRIBED BEFORE THIS 4th DAY OF August, 2023

NOTARY SIGNATURE: [Signature]

DATE: 8-4-23 SEAL:



It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.



(CONTINUED)

THIS DRAWING AND ANY COPIES THEREOF ARE THE PROPERTY OF JOHN F. BREWER, R.L.S. #2115. AND ARE NOT TO BE CHANGED OR ALTERED BY OTHERS IN ANY MANNER AND SHALL NOT BE REPRODUCED OR COPIED, IN WHOLE OR PART WITHOUT HIS WRITTEN PERMISSION

THIS DRAWING WAS PREPARED FOR THE BENEFIT AND EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. NO WARRANTY IS EXTENDED TO ANY UNNAMED THIRD PARTY

SURVEYORS CERTIFICATION

1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 36,456 FEET AN ANGULAR ERROR OF .3 SECONDS PER ANGLE POINT.
2. THE DATA SHOWN HEREON HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 100,000 FEET AND WAS ADJUSTED BY THE COMPASS RULE.
3. ANGULAR AND LINEAR MEASUREMENTS OBTAINED BY TOPCON GTS 201

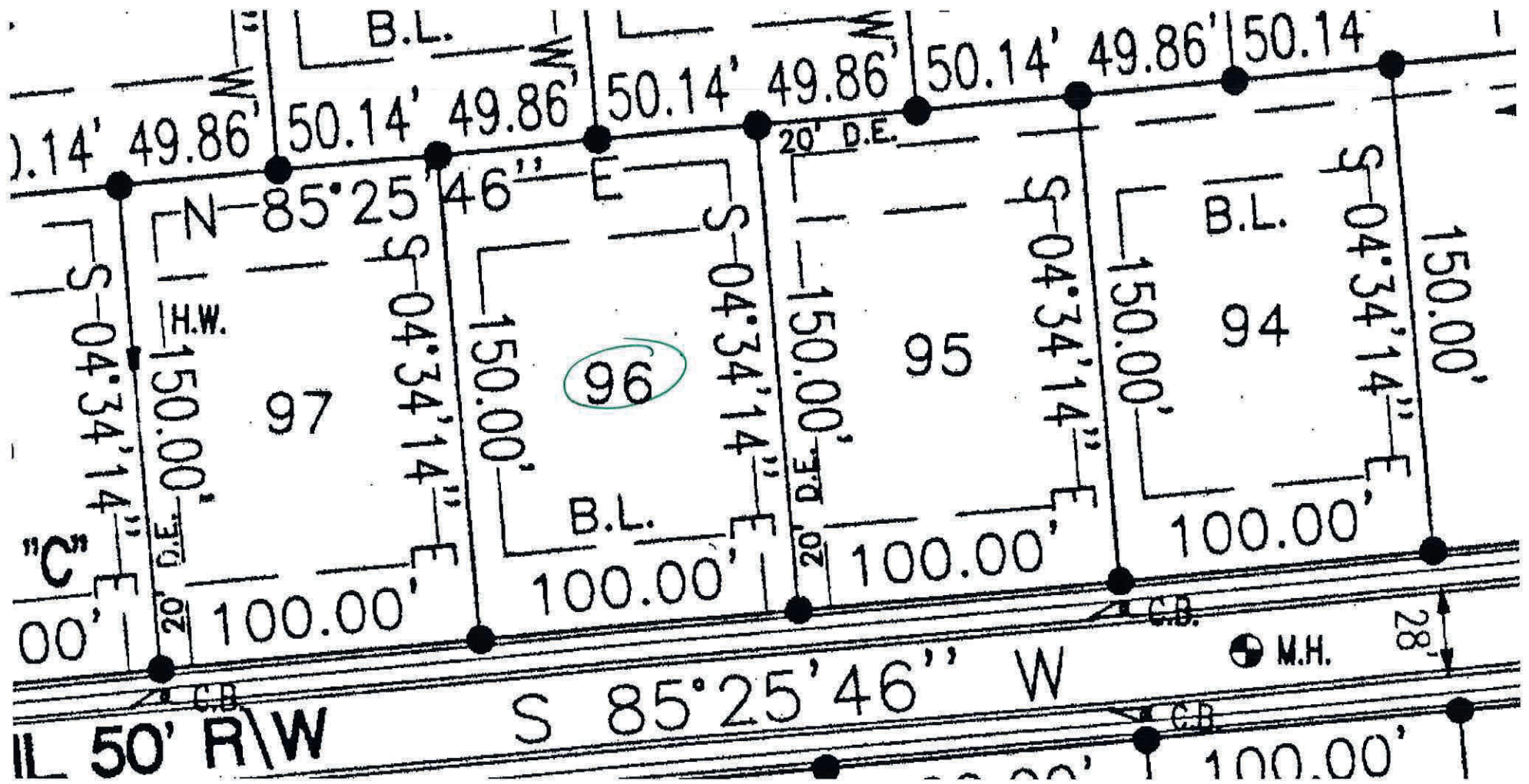
FINAL PLAT OF: **EVERGREEN ESTATES**

STATE	COUNTY	CITY	G.M.D.
GEORGIA	WALTON	MONROE	419
DISTRICT	LAND LOT	SCALE	DATE
3RD	3 & 4	1"=100'	8/8/2000

JOHN F. BREWER AND ASSOCIATES

LAND SURVEYORS, LAND PLANNERS
DEVELOPMENT SUPERVISION

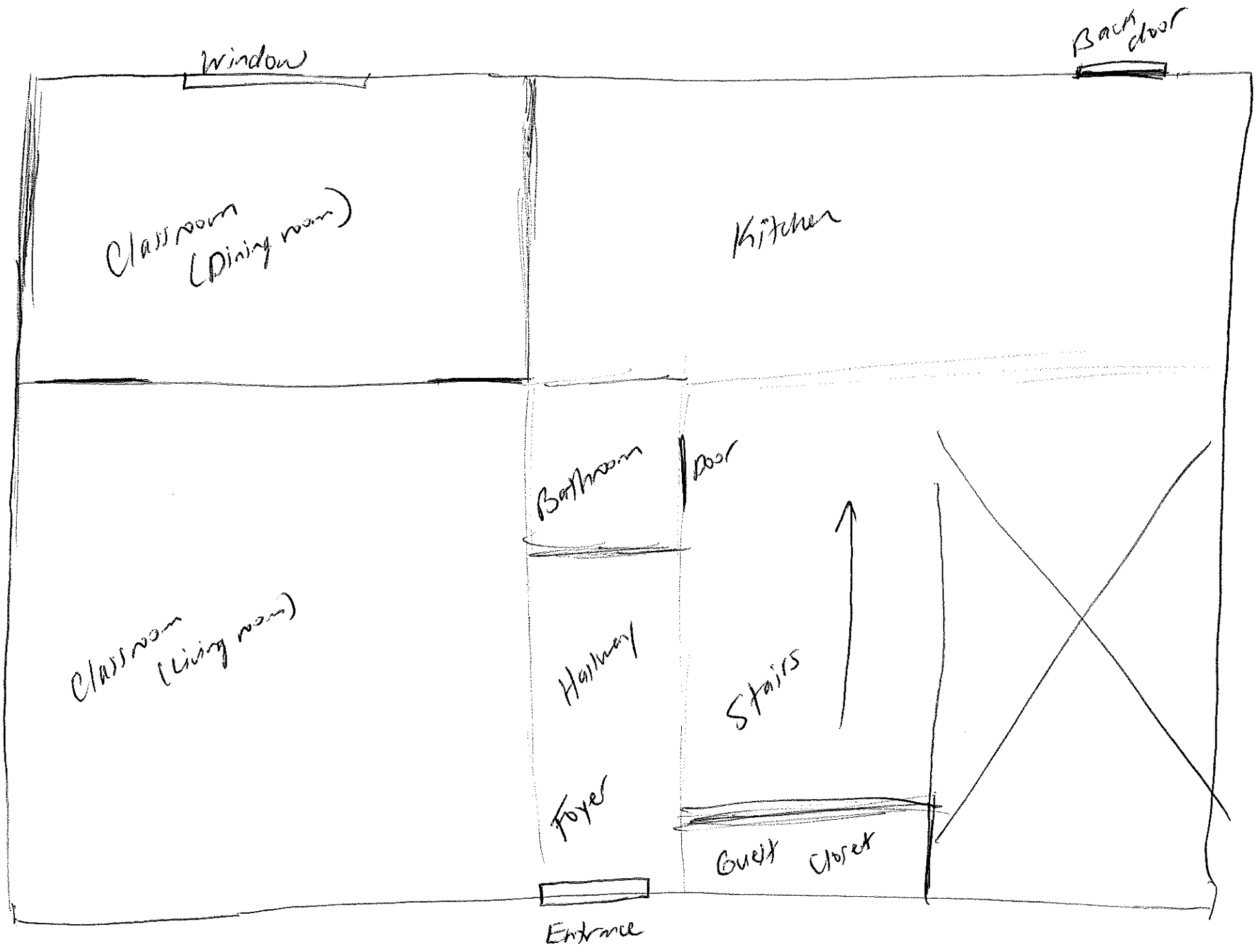
107 DAVIS STREET
MONROE, GA. 30655
(770) 267-4703



Description of Business Request

We would like to operate a Family Child Care Learning Home from this site with a capacity of 6 children at a time with one employee and several substitutes as needed. The hours of operation would be 5 am - 7 pm, Mondays thru Fridays. Childcare would be provided for children ages birth - 12 years old. Parking would be limited to 2-3 cars at a time, not to interfere with normal residential street operations. The Family Child Care Learning Home would be located on the first floor of the two-story home, only. The backyard would also be used as the play area for the children.

Site Plan





To: City Council
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/29/2023
Subject: Preliminary Plat #2621 – Hambrick Station – 1301 Alcovy Street – 56 Single-Family Residential Lots

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:

The property owner of 1301 Alcovy Street is petitioning for preliminary plat approval in order to allow for the development of 56 single-family residential lots. This preliminary plat represents a renewal of a previously approved Preliminary Plat for this project, originally approved by City Council on June 8, 2021. This preliminary plat is the same in all respects as the previously approved preliminary plat.

Background:

Please refer to the attached staff report for complete details regarding this preliminary plat request.

Recommendation:

The Planning Commission voted unanimously to recommend approval of the preliminary plat without corrections.

Attachment(s):

- Staff Report
- Preliminary Plat



**Planning
City of Monroe, Georgia
PRELIMINARY PLAT REVIEW**

APPLICATION SUMMARY

PRELIMINARY PLAT CASE #: 2621

DATE: September 13, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

PROJECT NAME: Hambrick Station

DEVELOPER: Hambrick Station, LLC

PROPERTY OWNER: Hambrick Station, LLC

DESIGN CONSULTANT: Bowman

LOCATION: South side of Vine Street, east side of Alcovy Street, and the north side of Criswell Road – 1301 Alcovy Street

ACREAGE: ±21.571

EXISTING ZONING: R-1A (Medium Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: The owner is requesting Preliminary Plat approval to renew a previously approved Preliminary Plat for a single-family residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this Preliminary Plat as submitted.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: September 19, 2023

CITY COUNCIL: October 10, 2023

PRELIMINARY PLAT SUMMARY

The applicant is requesting approval of a Preliminary Plat to renew a previously approved Preliminary Plat. The previous Preliminary Plat for the development was approved by City Council on June 8, 2021. The previous Preliminary Plat has expired which is the basis for this request. The project consists of 56 single-family detached residential lots.

PROJECT SUMMARY:

- Project Name – Hambrick Station
- Development Type – single-family detached residential subdivision
- Site Area – ±21.571
- Total Lots – 56



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PRELIMINARY PLAT PERMIT

PERMIT #:	2621	DESCRIPTION:	PRELIMINARY PLAT 56 lots Hambrick Station
JOB ADDRESS:	1301 ALCOVY ST	LOT #:	
PARCEL ID:	M0090002	BLK #:	
SUBDIVISION:		ZONING:	R-1A
ISSUED TO:	Hambrick Station LLC	CONTRACTOR:	Hambrick Station LLC
ADDRESS:	3651 Mars Hill Rd	PHONE:	
CITY, STATE ZIP:	Watkinsville GA 30677	OWNER:	
PHONE:	706-765-7577	PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	8/28/2023
VALUATION:	\$ 0.00	EXPIRATION:	2/24/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-05	PRELIMINARY PLAT REVIEW (PER LOT)	\$1,680.00
FEE TOTAL		\$ 1,680.00
PAYMENTS		\$ -1,680.00
BALANCE		\$ 0.00

NOTES:

The Planning Commission will hear and make recommendation on this request for Preliminary Plat Approval at 455 Vine Street on September 19, 2023 at 5:30pm. The Monroe City Council will hear and make a decision on this request on October 10, 2023 at 6:00pm. Both meetings will be held in the Council Chambers at City Hall, 215 N. Broad St. Monroe, GA 30655

NOTICE

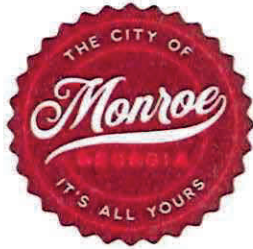
THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

8/28/23
DATE



CITY OF MONROE

PRELIMINARY PLAT APPLICATION

RECEIVED
#2621

Project Name: Hambrick Station

Project Location: 1301 Alcovy Street

Development Type: residential

Parcel #: M0090002 Acreage: 21.571 Total Lots or Units: 56

Applicant: Hambrick Station LLC Phone #: 706 553-1000

Address: 3651 Mars Hill Rd St. 2200 City: Watkinsville State: GA Zip: 30677

Property Owner: Hambrick Station LLC Phone #: 706 553-1000

Address: 3651 Mars Hill Rd St. 2200 City: Watkinsville State: GA Zip: 30677

Developer: Hambrick Station LLC Phone #: 706 765-7577

Address: 3651 Mars Hill Rd St. 2200 City: Watkinsville State: GA Zip: 30677

Designer: _____ Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

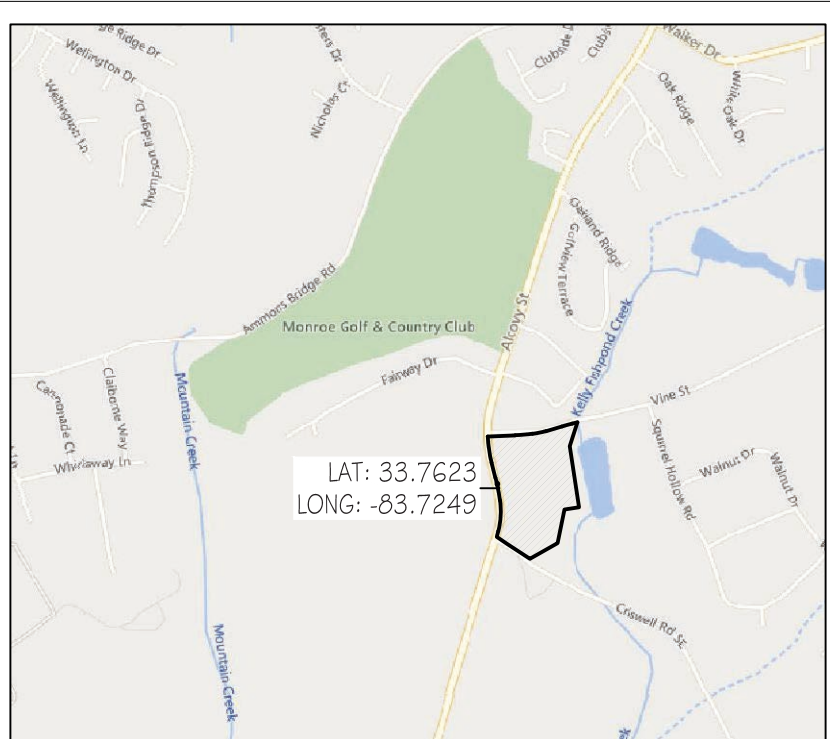
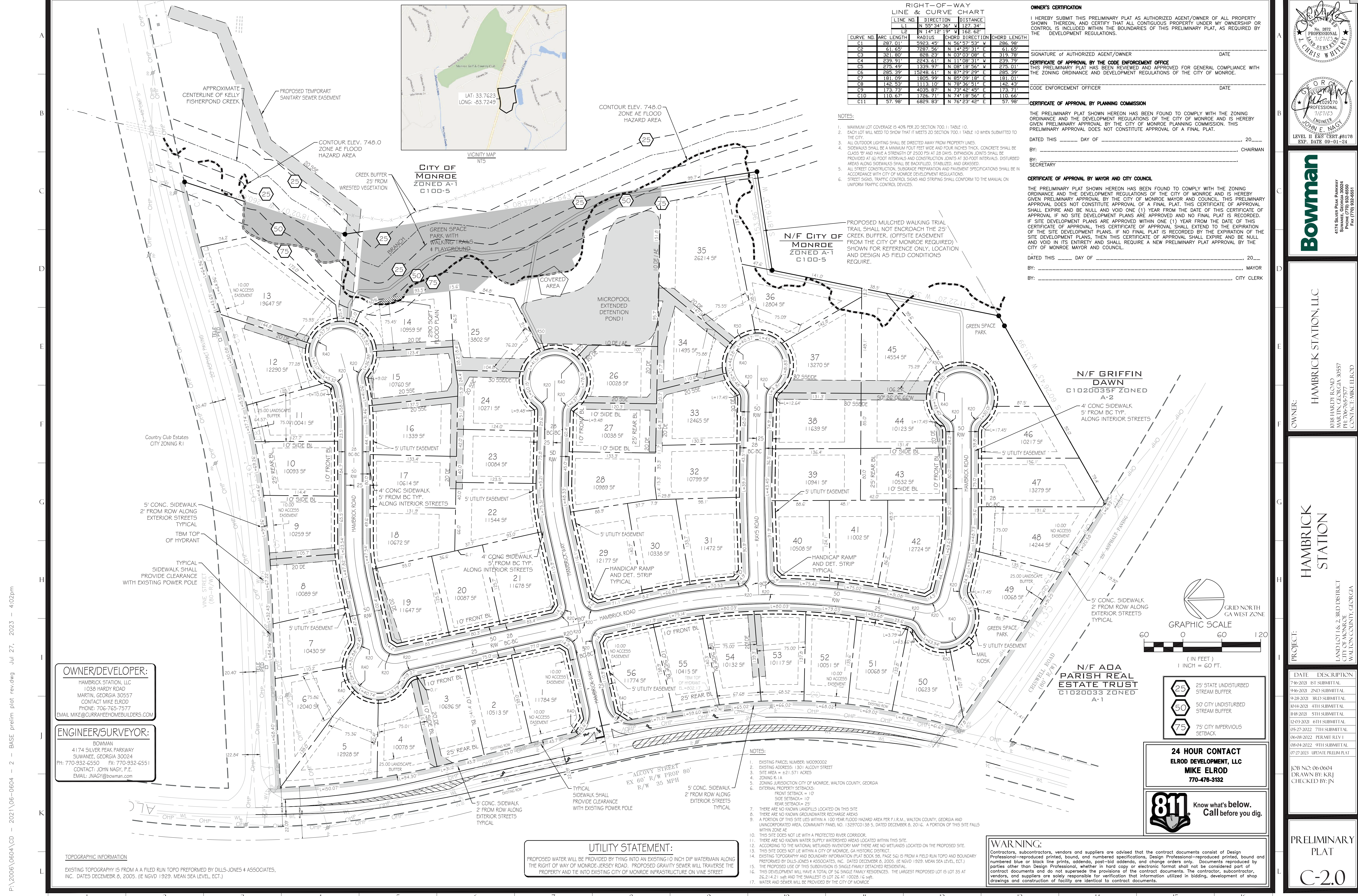
I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT: *Mat Elrod* DATE: 7/27/23

SIGNATURE OF OWNER: *Mat Elrod* DATE: 7/27/23

FEE: \$30 PER LOT/UNIT; \$150 MINIMUM

It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected.



RIGHT-OF-WAY LINE & CURVE CHART

CURVE NO.	ARC LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	287.01'	5923.45'	N 56°57'53" W	286.98'
C2	61.65'	7287.56'	N 14°23'31" E	61.65'
C3	321.80'	888.23'	N 03°03'08" E	319.78'
C4	239.91'	2243.61'	N 11°08'31" W	239.79'
C5	275.49'	1339.97'	N 08°18'56" W	275.01'
C6	285.37'	15648.81'	N 87°09'29" E	285.39'
C7	181.89'	1805.95'	N 85°09'18" E	181.01'
C8	142.53'	1113.10'	N 78°36'51" E	142.43'
C9	173.73'	4035.87'	N 73°48'45" E	173.71'
C10	110.67'	1726.71'	N 74°18'56" E	110.66'
C11	57.98'	6829.83'	N 76°23'42" E	57.98'

OWNER'S CERTIFICATION
 I HEREBY SUBMIT THIS PRELIMINARY PLAT AS AUTHORIZED AGENT/OWNER OF ALL PROPERTY SHOWN THEREON, AND CERTIFY THAT ALL CONTIGUOUS PROPERTY UNDER MY OWNERSHIP OR CONTROL IS INCLUDED WITHIN THE BOUNDARIES OF THIS PRELIMINARY PLAT, AS REQUIRED BY THE DEVELOPMENT REGULATIONS.

SIGNATURE OF AUTHORIZED AGENT/OWNER _____ DATE _____

CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE
 THIS PRELIMINARY PLAT HAS BEEN REVIEWED AND APPROVED FOR GENERAL COMPLIANCE WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATIONS OF THE CITY OF MONROE.

CODE ENFORCEMENT OFFICER _____ DATE _____

CERTIFICATE OF APPROVAL BY PLANNING COMMISSION
 THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE PLANNING COMMISSION. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT.

DATED THIS _____ DAY OF _____, 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY

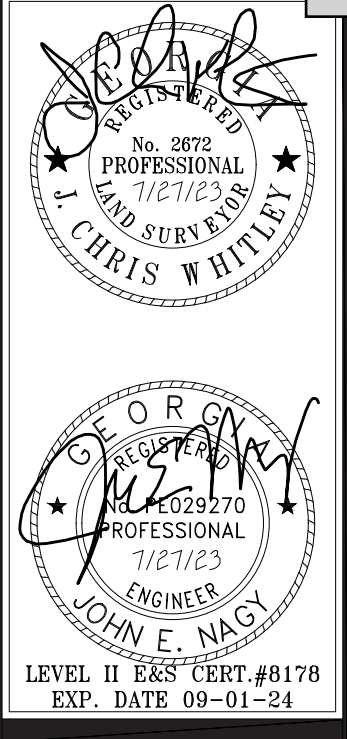
CERTIFICATE OF APPROVAL BY MAYOR AND CITY COUNCIL
 THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL IF NO SITE DEVELOPMENT PLANS ARE APPROVED AND NO FINAL PLAT IS RECORDED. IF SITE DEVELOPMENT PLANS ARE APPROVED WITHIN ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL, THIS CERTIFICATE OF APPROVAL SHALL EXTEND TO THE EXPIRATION OF THE SITE DEVELOPMENT PLANS. IF NO FINAL PLAT IS RECORDED BY THE EXPIRATION OF THE SITE DEVELOPMENT PLANS, THEN THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID IN ITS ENTIRETY AND SHALL REQUIRE A NEW PRELIMINARY PLAT APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL.

DATED THIS _____ DAY OF _____, 20____

BY: _____ MAYOR

BY: _____ CITY CLERK

- NOTES:**
- MAXIMUM LOT COVERAGE IS 40% PER ZONING SECTION 700.1, TABLE 10.
 - EACH LOT WILL NEED TO SHOW THAT IT MEETS ZONING SECTION 700.1, TABLE 10 WHEN SUBMITTED TO THE CITY.
 - ALL OUTDOOR LIGHTING SHALL BE DIRECTED AWAY FROM PROPERTY LINES.
 - SIDEWALKS SHALL BE A MINIMUM FOUR FEET WIDE AND FOUR INCHES THICK. CONCRETE SHALL BE CLASS 90 AND HAVE A STRENGTH OF 2500 PSI AT 28 DAYS. EXPANSION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS AND CONSTRUCTION JOINTS AT 30 FOOT INTERVALS. DISTURBED AREAS ALONG SIDEWALKS SHALL BE BACKFILLED, STABILIZED, AND GRASSED.
 - ALL STREET CONSTRUCTION, SUBGRADE PREPARATION AND PAVEMENT SPECIFICATIONS SHALL BE IN ACCORDANCE WITH CITY OF MONROE DEVELOPMENT REGULATIONS.
 - STREET SIGNS, TRAFFIC CONTROL SIGNS AND STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



Bowman
 4174 Silver Peak Parkway
 Marietta, Georgia 30067
 Phone (770) 932-6550
 Fax (770) 932-6551

HAMBRICK STATION, LLC
 1038 HARDY ROAD
 MARIETTA, GEORGIA 30057
 PHONE: 770-657-7577
 CONTACT: MIKE ELROD

HAMBRICK STATION

PROJECT:
 LAND LOT 1 & 2, 3RD DISTRICT
 CITY OF MONROE
 WALTON COUNTY, GEORGIA

DATE	DESCRIPTION
7/4/2021	1ST SUBMITTAL
9/16/2021	2ND SUBMITTAL
9/28/2021	3RD SUBMITTAL
10/4/2021	4TH SUBMITTAL
11/8/2021	5TH SUBMITTAL
12/03/2021	6TH SUBMITTAL
05/27/2022	7TH SUBMITTAL
06/08/2022	PERMIT REV 1
08/04/2022	9TH SUBMITTAL
07/27/2023	UPDATE PRELIM PLAT

JOB NO: 06-0604
 DRAWN BY: KRJ
 CHECKED BY: JN

PRELIMINARY PLAT
C-2.0

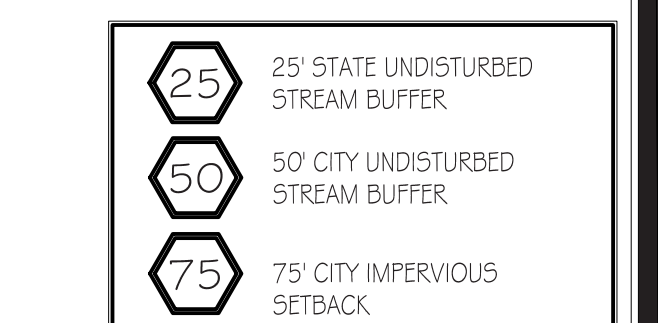
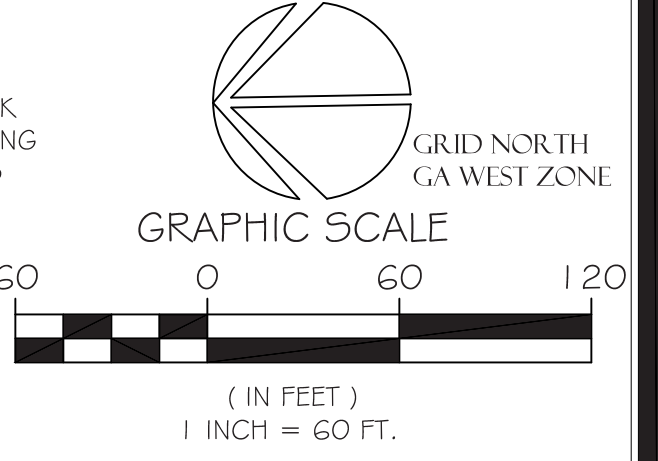
OWNER/DEVELOPER:
 HAMBRICK STATION, LLC
 1038 HARDY ROAD
 MARIETTA, GEORGIA 30057
 CONTACT: MIKE ELROD
 PHONE: 770-657-7577
 EMAIL: MIKE@CURRAHEEHOMEBUILDERS.COM

ENGINEER/SURVEYOR:
 BOWMAN
 4174 SILVER PEAK PARKWAY
 SUWANEE, GEORGIA 30024
 PH: 770-932-6550 FX: 770-932-6551
 CONTACT: JOHN NAGY, P.E.
 EMAIL: JNAGY@BOWMAN.COM

TOPOGRAPHIC INFORMATION
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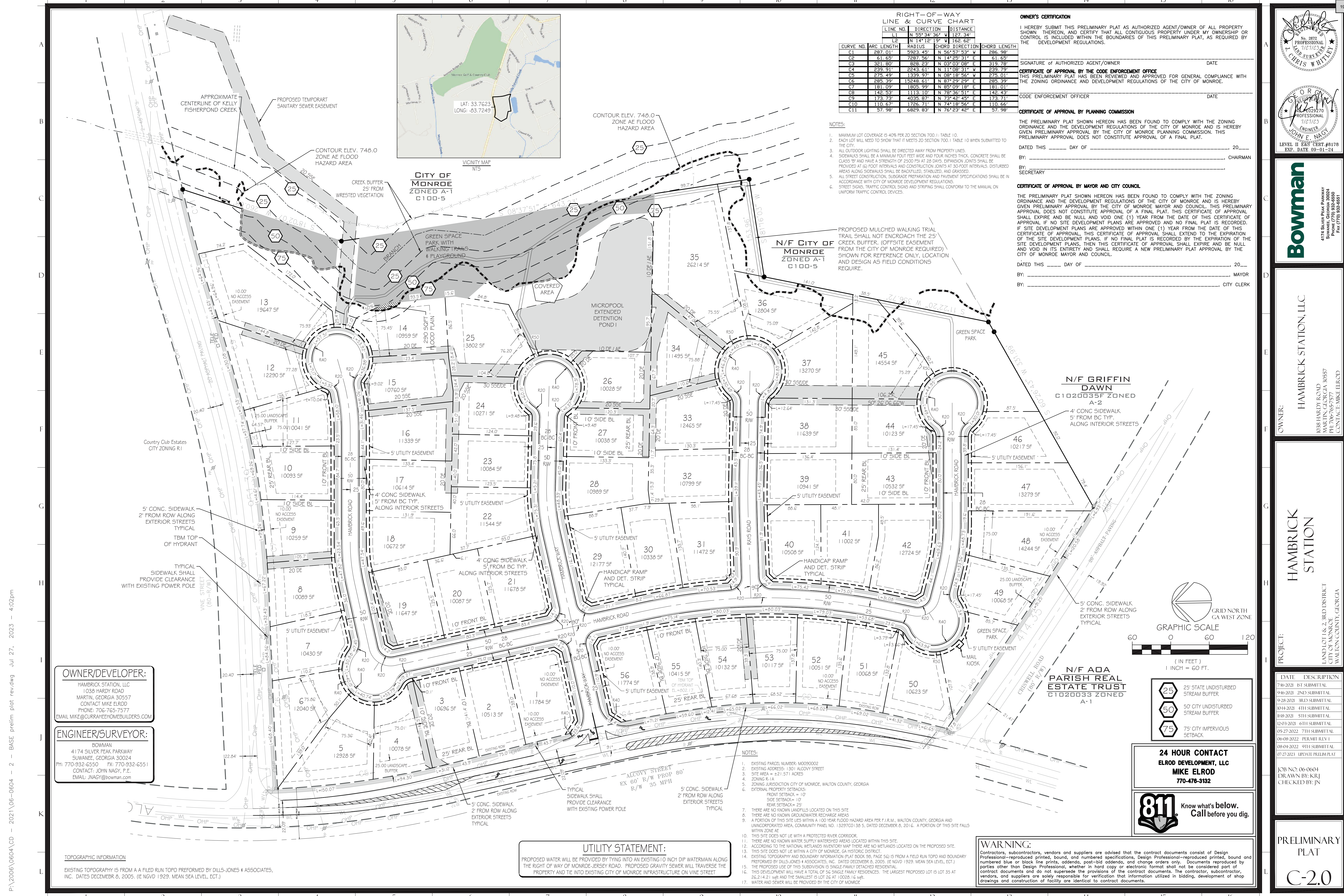
- NOTES:**
- EXISTING PARCEL NUMBER: M0090002
 - EXISTING ADDRESS: 1301 ALCOVY STREET
 - SITE AREA = ±21.571 ACRES
 - ZONING: R-1A
 - ZONING JURISDICTION: CITY OF MONROE, WALTON COUNTY, GEORGIA
 - EXTERNAL PROPERTY SETBACKS:
 FRONT SETBACK = 10'
 SIDE SETBACK = 10'
 REAR SETBACK = 25'
 - THERE ARE NO KNOWN LANDFILLS LOCATED ON THIS SITE
 - THERE ARE NO KNOWN GROUNDWATER RECHARGE AREAS
 - A PORTION OF THIS SITE LIES WITHIN A 100 YEAR FLOOD HAZARD AREA PER F.I.R.M., WALTON COUNTY, GEORGIA AND UNINCORPORATED AREA, COMMUNITY PANEL NO. 1329700365, DATED DECEMBER 6, 2016. A PORTION OF THIS SITE FALLS WITHIN ZONE AE
 - THIS SITE DOES NOT LIE WITH A PROTECTED RIVER CORRIDOR
 - THERE ARE NO KNOWN WATER SUPPLY WATERSHED AREAS LOCATED WITHIN THIS SITE
 - ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAP THERE ARE NO WETLANDS LOCATED ON THE PROPOSED SITE
 - THIS SITE DOES NOT LIE WITHIN A CITY OF MONROE, GA HISTORIC DISTRICT
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 - THIS DEVELOPMENT WILL HAVE A TOTAL OF 56 SINGLE-FAMILY RESIDENCES. THE LARGEST PROPOSED LOT IS LOT 35 AT 26,214.21 SQ FT AND THE SMALLEST IS LOT 26 AT 1,028.16 SQ FT.
 - WATER AND SEWER WILL BE PROVIDED BY THE CITY OF MONROE



24 HOUR CONTACT
 ELROD DEVELOPMENT, LLC
 MIKE ELROD
 770-478-3132



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RIGHT-OF-WAY LINE & CURVE CHART

CURVE NO.	ARC LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	287.01'	5923.45'	N 56°57'53" W	286.98'
C2	61.65'	7287.56'	N 14°23'31" E	61.65'
C3	321.80'	888.23'	N 03°03'08" E	319.78'
C4	239.91'	2243.61'	N 11°08'31" W	239.79'
C5	275.49'	1339.97'	N 08°18'56" W	275.01'
C6	285.37'	15648.81'	N 87°09'29" E	285.39'
C7	181.09'	1805.95'	N 85°09'18" E	181.01'
C8	142.53'	1113.10'	N 78°36'51" E	142.43'
C9	173.73'	4035.87'	N 73°48'45" E	173.71'
C10	110.67'	1726.71'	N 74°18'56" E	110.66'
C11	57.98'	6829.83'	N 76°23'42" E	57.98'

OWNER'S CERTIFICATION
 I HEREBY SUBMIT THIS PRELIMINARY PLAT AS AUTHORIZED AGENT/OWNER OF ALL PROPERTY SHOWN THEREON, AND CERTIFY THAT ALL CONTIGUOUS PROPERTY UNDER MY OWNERSHIP OR CONTROL IS INCLUDED WITHIN THE BOUNDARIES OF THIS PRELIMINARY PLAT, AS REQUIRED BY THE DEVELOPMENT REGULATIONS.

SIGNATURE OF AUTHORIZED AGENT/OWNER _____ DATE _____
CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE
 THIS PRELIMINARY PLAT HAS BEEN REVIEWED AND APPROVED FOR GENERAL COMPLIANCE WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATIONS OF THE CITY OF MONROE.

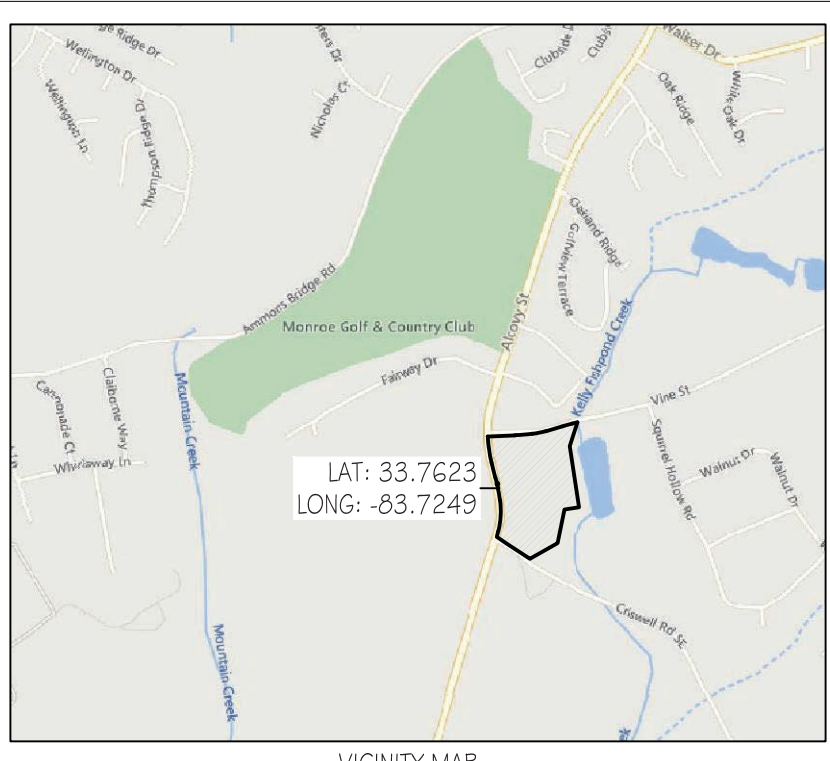
CODE ENFORCEMENT OFFICER _____ DATE _____
CERTIFICATE OF APPROVAL BY PLANNING COMMISSION
 THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE PLANNING COMMISSION. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT.

DATED THIS _____ DAY OF _____, 20____
 BY: _____ CHAIRMAN
 BY: _____ SECRETARY

CERTIFICATE OF APPROVAL BY MAYOR AND CITY COUNCIL
 THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL IF NO SITE DEVELOPMENT PLANS ARE APPROVED AND NO FINAL PLAT IS RECORDED. IF SITE DEVELOPMENT PLANS ARE APPROVED WITHIN ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL, THIS CERTIFICATE OF APPROVAL SHALL EXTEND TO THE EXPIRATION OF THE SITE DEVELOPMENT PLANS. IF NO FINAL PLAT IS RECORDED BY THE EXPIRATION OF THE SITE DEVELOPMENT PLANS, THEN THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID IN ITS ENTIRETY AND SHALL REQUIRE A NEW PRELIMINARY PLAT APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL.

DATED THIS _____ DAY OF _____, 20____
 BY: _____ MAYOR
 BY: _____ CITY CLERK

- NOTES:**
- MAXIMUM LOT COVERAGE IS 40% PER ZONING SECTION 700.1, TABLE 10.
 - EACH LOT WILL NEED TO SHOW THAT IT MEETS ZONING SECTION 700.1, TABLE 10 WHEN SUBMITTED TO THE CITY.
 - ALL OUTDOOR LIGHTING SHALL BE DIRECTED AWAY FROM PROPERTY LINES.
 - SIDEWALKS SHALL BE A MINIMUM FOUR FEET WIDE AND FOUR INCHES THICK. CONCRETE SHALL BE CLASS 90' AND HAVE A STRENGTH OF 2500 PSI AT 28 DAYS. EXPANSION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS AND CONSTRUCTION JOINTS AT 30 FOOT INTERVALS. DISTURBED AREAS ALONG SIDEWALKS SHALL BE BACKFILLED, STABILIZED, AND GRASSED.
 - ALL STREET CONSTRUCTION, SUBGRADE PREPARATION AND PAVEMENT SPECIFICATIONS SHALL BE IN ACCORDANCE WITH CITY OF MONROE DEVELOPMENT REGULATIONS.
 - STREET SIGNS, TRAFFIC CONTROL SIGNS AND STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



Chris Whitley
 No. 287
 PROFESSIONAL LAND SURVEYOR
 J. CHRIS WHITLEY

John E. Nagy
 No. 1029270
 PROFESSIONAL ENGINEER
 JOHN E. NAGY
 LEVEL II EAS' CERT. #8178
 EXP. DATE 09-01-24

Bowman
 4174 Silver Peak Parkway
 Marietta, Georgia 30067
 Phone (770) 932-6550
 Fax (770) 932-6551

HAMBRICK STATION, LLC
 1038 HARDY ROAD
 MARIETTA, GEORGIA 30057
 PHONE: 770-657-7577
 CONTACT: MIKE ELROD

HAMBRICK STATION

PROJECT:
 LAND LOT 1 & 2, 3RD DISTRICT
 CITY OF MONROE
 WALTON COUNTY, GEORGIA

DATE	DESCRIPTION
7/4/2021	1ST SUBMITTAL
9/16/2021	2ND SUBMITTAL
9/28/2021	3RD SUBMITTAL
10/4/2021	4TH SUBMITTAL
11/8/2021	5TH SUBMITTAL
12/03/2021	6TH SUBMITTAL
05/27/2022	7TH SUBMITTAL
06/08/2022	PERMIT REV 1
08/04/2022	9TH SUBMITTAL
07/27/2023	UPDATE PRELIM PLAT

JOB NO: 06-0604
 DRAWN BY: KRJ
 CHECKED BY: JN

PRELIMINARY PLAT
C-2.0

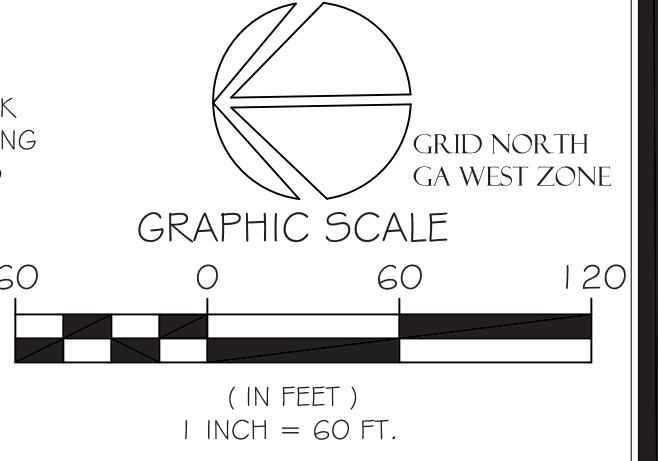
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24 HOUR CONTACT
 ELROD DEVELOPMENT, LLC
 MIKE ELROD
 770-478-3132

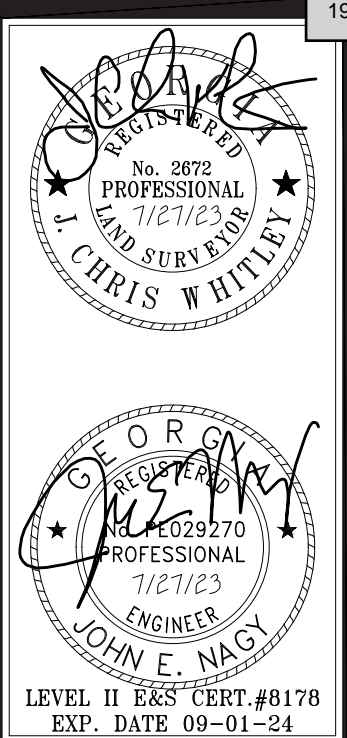
81 Know what's below.
 Call before you dig.

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Parcel Area Table with columns: Parcel #, Area, Perimeter, Segment Lengths, Segment Bearings. Contains 20 rows of parcel data.

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Bowman logo and contact information: 4774 Shure Peak Parkway, Marietta, Georgia 30067, Phone (770) 932-6550, Fax (770) 932-6551.

OWNER: HAMBRICK STATION, LLC. 1038 HARDY ROAD, MARIETTA, GEORGIA 30067, PHONE: 706/657-7577, CONTACT: MIKE ELROD.

PROJECT: HAMBRICK STATION. LAND LOT 1 & 2, 3RD DISTRICT, CITY OF MARIETTA, WALTON COUNTY, GEORGIA.

Table with columns: DATE, DESCRIPTION. Lists revision history from 7/46/2021 to 7/27/2023.

JOB NO: 06-0604, DRAWN BY: KRJ, CHECKED BY: JN.

24 HOUR CONTACT ELROD DEVELOPMENT, LLC MIKE ELROD 770-478-3132



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PARCEL DATA C-21



To: City Council
From: Logan Propes, City Administrator
Department: Administration
Date: 10/10/2023
Subject: REBC Grant Program

Budget Account/Project Name: N/A

Funding Source: N/A

Budget Allocation: N/A

Budget Available: N/A

Requested Expense: N/A **Company of Record:** N/A

Description:

Staff recommends the approval of the resolution to apply for an REBC Grant from the Georgia Department of Transportation, and if awarded, to enter into a Mowing and Maintenance Agreement between the City of Monroe and the Georgia Department of Transportation for the subject area.

Background:

The City of Monroe desires to continue to beautify and improve the various rights of way by landscaping within the city, working with the Department Of Transportation to keep these right of ways maintained and attractively landscaped as we showcase the gateways to our community.

The City will need to budget and allocate Capital Improvement Funding to complement the grant with new signage similar to the one recently installed on N. Broad St. at Charlotte Rowell Boulevard.

Attachment(s):

Resolution



A RESOLUTION* OF THE City Council OF THE City of Monroe

WHEREAS, many roadside areas within Department of Transportation rights of way must be maintained and attractively landscaped; and

WHEREAS, the City Council of the City of Monroe desire(s) to beautify and improve various rights of way by landscaping within the City of Monroe; and

WHEREAS, the City Council of the City of Monroe desire(s) to authorize the City Administrator to apply for an REBC Grant from the Georgia Department of Transportation, and if awarded, to enter into a Mowing and Maintenance Agreement between City of Monroe and the Georgia Department of Transportation.

NOW THEREFORE,
BE IT RESOLVED by the City Council of the City of Monroe

Section 1. The City Council of the City of Monroe hereby authorize(s) the City Administrator to apply for an REBC Grant. Upon award of the grant, the City of Monroe shall enter into a Mowing and Maintenance Agreement between the City of Monroe and the Georgia Department of Transportation.

Section 2. The City/County Clerk of City of Monroe is hereby directed to send copies of this Resolution to the Department of Transportation and all other persons as directed by the City Council.

APPROVED AND ADOPTED by the City Council of the City of Monroe at the regular meeting assembled this _____ day of _____, 2023.

ATTEST:

CITY/COUNTY CLERK

(City Seal)

EXECUTIVE OFFICER

APPROVED AS TO FORM:

CITY/COUNTY ATTORNEY

SPONSORED BY: City Council of the City of Monroe

* This Resolution is an anticipatory document to allow the local government entity to be aware they will eventually be required to sign a Mowing and Maintenance Agreement for the roadside enhancement site.



To: City Council
From: Brad Callender, Planning & Zoning Director
Department: Planning & Zoning
Date: 9/29/2023
Subject: Development Regulations 7th Update

Budget Account/Project Name: N/A
Funding Source: N/A
Budget Allocation: N/A
Budget Available: N/A
Requested Expense: N/A **Company of Record:** N/A

Description:
 7th Update to the 1999 Development Regulations.

Background:
 Please refer to the attached Development Regulations 7th Update Breakdown for specific amendment descriptions and details.

Recommendation:
 The Planning Commission voted unanimously to recommend approval of this proposed update to the Development Regulations as presented without any changes.

Attachment(s):
 Development Regulations 7th Update Breakdown
 Ordinance to Amend the Development Regulations

Proposed Amendments to the Development Regulations – 7th Update

September 19 – Planning Commission
October 10 – City Council 1st Reading
November 14 – City Council 2nd Reading

Amendment Key
Blue – Language to be added
Red – Language to be removed
Green – Amendment description

➤ *Article 4, Section 4.2.4: Amend Development Permit language to extend expiration of valid Development Permits and to clarify when Development Permits expire.*

4.2 LAND DISTURBANCE PERMITS

4.2.4 Development Permit

A Development Permit may not be issued prior to Preliminary Plat approval for subdivisions or approval of Site Development Plans for non-subdivision projects. A Development Permit shall expire ~~twelve (12)~~ **twenty-four (24)** months after issuance, ~~unless development activity as authorized by the permit is initiated within the twelve (12) month period or if such authorized activities lapse for a period exceeding one (1) month. Provided, however, that the Code Enforcement Officer may approve one (1) extension not to exceed three (3) months within which time development activity must commence or the permit shall expire.~~ **The Code Enforcement Officer may approve one (1) extension not to exceed six (6) months within which time the development activity must be completed or said permit shall expire.** Said permit shall be issued to authorize all activities associated with land development process, including clearing and grubbing, grading, and the construction of such improvements as streets, surface parking areas and drives, sewer systems, storm water drainage facilities, sidewalks, or other structures permanently placed on or in the property except for buildings or other structures requiring the issuance of a building permit. **The Development Permit shall automatically expire if land development activity as authorized by this permit has not commenced within six (6) months from the date of issuance or if there is a lapse in land development activity as authorized by this permit for a period of ninety (90) consecutive days.** Water system improvements shall be authorized solely by the City of Monroe Water & Gas Department.

Article 6, Section 6.1.2: Amend Preliminary Plat procedures to clarify the number of plats to be submitted, align the submittal and review procedure with Section 7.2, and to modify the approval authority from the City Council to the Planning Commission.

6.2 SUBDIVISION REVIEW PROCEDURE

6.1.2 Preliminary Plat

- a) An application for Preliminary Plat approval shall be submitted to the Code Enforcement Office using an application form as available from said office along with ~~six (6)~~ **two (2)** copies and one (1) digital copy of the Preliminary Plat.

- b) The Preliminary Plat shall be sealed by a Professional Engineer, Surveyor or Landscape Architect currently registered in the State of Georgia in accordance with the provisions of Georgia law.
- c) Said applications ~~for approval shall be submitted at least thirty (30) days prior to the next scheduled Planning Commission meeting in order to be placed on their agenda for consideration~~ shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for completeness and accuracy. Incomplete submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.
- d) The Planning Commission shall review and consider the Preliminary Plat for its conformance with the city’s Comprehensive Plan, Zoning Ordinance, Official Street Plan, this ordinance and other applicable city ordinances. Based on its review of the preliminary plat, the Planning Commission may ~~recommend approval, recommend denial~~ approve, deny, or table for further consideration. The subdivider may not proceed further with the plat approval and site development process until approval is received from the Planning Commission.
- ~~e) The Preliminary Plat shall be forwarded with a recommendation from the Planning Commission to the Mayor and council for their review and approval.~~
- ~~f) The Mayor and Council shall review and consider the Preliminary Plat for its conformance with the city’s Comprehensive Plan, Official Street Plan, this ordinance and other applicable city ordinances. Based on its review of the preliminary plat, the Mayor and Council may approve, deny, or table for further consideration. The subdivider may not proceed further with the plat approval and site development process until approval is received from the Mayor and Council.~~
- g) Upon approval of the Preliminary Plat, the subdivider may proceed with Site Development Plans, based upon the approved Preliminary Plat drawings and data.
- h) Copies of the approved Preliminary Plat shall be provided in a number as determined by the Code Enforcement Officer for permanent record.

Article 7, Section 7.2: Amend Preliminary Plat procedures to modify the approval authority from the City Council to the Planning Commission.

7.2 PRELIMINARY PLAT SPECIFICATIONS

An application for a Preliminary Plat Approval for a subdivision shall consist of the Preliminary Plat, a certified boundary survey, and such other Development Plans as may be required by these Regulations.

The Preliminary Plat and application shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for completeness and accuracy. Incomplete submittals or submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.

7.2.1 Conformance to Sketch Plat

The Preliminary Plat shall generally conform to the Sketch Plat. The Preliminary Plat shall include all of the contiguous property under one (1) ownership.

7.2.2 Scale

The Preliminary Plat shall be clearly and legibly drawn at a scale of not less than one hundred (100) feet to one (1) inch. Sheet size shall not exceed twenty-four (24) inches by thirty-six (36) inches. The Code Enforcement Officer may approve other scales as deemed appropriate.

7.2.3 Certified Boundary Survey

- a) The Preliminary Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Preliminary Plat, and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than one (1) in ten thousand (10,000), and shall meet all requirements of Georgia Law regarding the recording of maps and plats.
- b) Each Preliminary Plat shall be drawn on, accompanied by, or referenced to a boundary survey.

7.2.4 Preliminary Plat Specifications.

The Preliminary Plat shall contain the following:

- a) Name of the subdivision, unit number, Land District, Land Lot number, and total acreage of tract.
- b) Name, address, and telephone number of owner or agent.
- c) Name, address and telephone number of individual responsible for subdivision design and surveys.
- d) Date, graphic scale, and north point.
- e) Location sketch of tract showing major surrounding features.
- f) Proposed use of the subdivision.

- g) Minimum building setback lines along streets, with dimensions.
- h) Location of existing property lines, major easements, rights of way, water courses, drainage areas and ditches, distinctive natural features, and existing buildings.
- i) The location, names, and width of all existing or proposed streets within or directly adjacent to the subject property.
- j) Lots numbered in numerical order and blocks lettered alphabetically.
- k) Total number of lots proposed in tabular form.
- l) The approximate location of all proposed or existing lots and the site of the smallest lot.
- m) The location of flood plain areas.
- n) Statement of proposed water and/or sewer supply or collection method.
- o) Zoning of subject property and adjacent property.
- p) Names of adjacent property owners.
- q) Topography with contours no greater than two (2) feet.
- r) Location of all known existing or previously existing landfills.
- s) Location of all known existing groundwater recharge areas.
- t) Location of all known existing wetlands.
- u) Location of all known flood hazard areas.
- v) Location of all known Protected River Corridors.
- w) Location of all known Water Supply Watershed areas.
- x) AUTHORIZATION STATEMENT (text follows):

I hereby submit this Preliminary Plat as authorized agent/owner of all property shown thereon, and certify that all contiguous property under my ownership or control is included within the boundaries of this Preliminary Plat, as required by the Development Regulations.

Signature of Authorized Agent/Owner Date

- r) CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (text follows):

This Preliminary Plat has been reviewed and approved for general compliance with the Zoning Ordinance and Development Regulations of the City of Monroe.

Code Enforcement Officer Date

s) CERTIFICATE OF APPROVAL BY PLANNING COMMISSION (text follows):

The Preliminary Plat shown hereon has been found to comply with the Zoning Ordinance and the Development Regulations of the City of Monroe and is hereby given Preliminary Approval by the City of Monroe Planning Commission. This Preliminary Approval does not constitute approval of a Final Plat. This Certificate of Approval shall expire and be null and void one (1) year from the date of this Certificate of Approval if no Site Development Plans are approved and no Final Plat is recorded. If Site Development Plans are approved within one (1) year from the date of this Certificate of Approval, this Certificate of Approval shall extend to the expiration of Site Development Plans. If no Final Plat is recorded by the expiration of the Site Development Plans, then this Certificate of Approval shall expire and be null and void in its entirety and shall require a new Preliminary Plat Approval by the City of Monroe Planning Commission.

Dated this _____ day of _____, 20__

By: _____, Chairman

By: _____, Secretary

~~t) CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL (text follows):~~

~~The Preliminary Plat shown hereon has been found to comply with the Zoning Ordinance and the Development Regulations of the City of Monroe and is hereby given Preliminary Approval by the City of Monroe Mayor and Council. This Preliminary Approval does not constitute approval of a Final Plat. This Certificate of Approval shall expire and be null and void one (1) year from the date of this Certificate of Approval if no Site Development Plans are approved and no Final Plat is recorded. If Site Development Plans are approved within one (1) year from the date of this Certificate of Approval, this Certificate of Approval shall extend to the expiration of Site Development Plans. If no Final Plat is recorded by the expiration of the Site Development Plans, then this Certificate of Approval shall expire and be null and void in its entirety and shall require a new Preliminary Plat Approval by the City of Monroe Mayor and Council.~~

~~Dated this _____ day of _____, 20__~~

~~By: _____, Mayor~~

~~By: _____, City Clerk~~

AN ORDINANCE TO AMEND THE DEVELOPMENT REGULATIONS FOR THE CITY OF MONROE, GEORGIA

The Mayor and Council of the city of Monroe, Georgia, hereby ordain as follows:

ARTICLE I.

The Development Regulations for the City of Monroe, Georgia, officially adopted July 6, 1999, and as thereafter amended, is hereby amended by implementing text amendments and changes outlined and identified in particular detail on Exhibit A, which such exhibit is incorporated herein by reference.

ARTICLE II.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

ARTICLE III.

These text amendments of the Development Regulations for the City of Monroe, Georgia shall take effect upon their adoption by the Mayor and Council.

FIRST READING. This 10th, day of October, 2023.

SECOND READING AND ADOPTED on this 14th day of November, 2023.

CITY OF MONROE, GEORGIA

By: _____ (SEAL)
John Howard, Mayor

Attest: _____ (SEAL)
Beverly Harrison, Interim City Clerk

EXHIBIT A

The Development Regulations for the City of Monroe, Georgia Text Amendment

Update # 7

- 1. Article 4, Section 4.2.4 – Land Disturbance Permits; Development Permit: Amend Land Disturbance Permit language to extend expiration of valid Development Permits and to clarify when Development Permits expire. Section 4.2.4 to be amended as follows:**

4.2 LAND DISTURBANCE PERMITS

4.2.4 Development Permit

A Development Permit may not be issued prior to Preliminary Plat approval for subdivisions or approval of Site Development Plans for non-subdivision projects. A Development Permit shall expire twenty-four (24) months after issuance. The Code Enforcement Officer may approve one (1) extension not to exceed six (6) months within which time the development activity must be completed or said permit shall expire. Said permit shall be issued to authorize all activities associated with land development process, including clearing and grubbing, grading, and the construction of such improvements as streets, surface parking areas and drives, sewer systems, storm water drainage facilities, sidewalks, or other structures permanently placed on or in the property except for buildings or other structures requiring the issuance of a building permit. The Development Permit shall automatically expire if land development activity as authorized by this permit has not commenced within six (6) months from the date of issuance or if there is a lapse in land development activity as authorized by this permit for a period of ninety (90) consecutive days. Water system improvements shall be authorized solely by the City of Monroe Water & Gas Department.

- 2. Article 6, Section 6.1.2 – Subdivision Review Procedure; Preliminary Plats: Amend Preliminary Plat procedures to clarify the number of plats to be submitted, align the submittal and review procedure with Section 7.2, and to modify the approval authority from the City Council to the Planning Commission. Section 6.1.2 to be amended as follows:**

6.2 SUBDIVISION REVIEW PROCEDURE

6.1.2 Preliminary Plat

- a) An application for Preliminary Plat approval shall be submitted to the Code Enforcement Office using an application form as available from said office along with two (2) copies and one (1) digital copy of the Preliminary Plat.
- b) The Preliminary Plat shall be sealed by a Professional Engineer, Surveyor or Landscape Architect currently registered in the State of Georgia in accordance with the provisions of Georgia law.
- c) Said applications shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for

completeness and accuracy. Incomplete submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.

- d) The Planning Commission shall review and consider the Preliminary Plat for its conformance with the city’s Comprehensive Plan, Zoning Ordinance, Official Street Plan, this ordinance and other applicable city ordinances. Based on its review of the preliminary plat, the Planning Commission may approve, deny, or table for further consideration. The subdivider may not proceed further with the plat approval and site development process until approval is received from the Planning Commission.
- e) Upon approval of the Preliminary Plat, the subdivider may proceed with Site Development Plans, based upon the approved Preliminary Plat drawings and data.
- f) Copies of the approved Preliminary Plat shall be provided in a number as determined by the Code Enforcement Officer for permanent record.

3. Article 7, Section 7.2 – Plan and Plat Specifications; Preliminary Plat Specifications: Amend Preliminary Plat procedures to modify the approval authority from the City Council to the Planning Commission. Section 7.2 to be amended as follows:

7.2 PRELIMINARY PLAT SPECIFICATIONS

An application for a Preliminary Plat Approval for a subdivision shall consist of the Preliminary Plat, a certified boundary survey, and such other Development Plans as may be required by these Regulations.

The Preliminary Plat and application shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for completeness and accuracy. Incomplete submittals or submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.

7.2.1 Conformance to Sketch Plat

The Preliminary Plat shall generally conform to the Sketch Plat. The Preliminary Plat shall include all of the contiguous property under one (1) ownership.

7.2.2 Scale

The Preliminary Plat shall be clearly and legibly drawn at a scale of not less than one hundred (100) feet to one (1) inch. Sheet size shall not exceed twenty-four (24) inches by thirty-six (36) inches. The Code Enforcement Officer may approve other scales as deemed appropriate.

7.2.3 Certified Boundary Survey

- a) The Preliminary Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Preliminary Plat, and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than one (1) in ten thousand (10,000), and shall meet all requirements of Georgia Law regarding the recording of maps and plats.

- b) Each Preliminary Plat shall be drawn on, accompanied by, or referenced to a boundary survey.

7.2.4 Preliminary Plat Specifications.

The Preliminary Plat shall contain the following:

- a) Name of the subdivision, unit number, Land District, Land Lot number, and total acreage of tract.
- b) Name, address, and telephone number of owner or agent.
- c) Name, address and telephone number of individual responsible for subdivision design and surveys.
- d) Date, graphic scale, and north point.
- e) Location sketch of tract showing major surrounding features.
- f) Proposed use of the subdivision.
- g) Minimum building setback lines along streets, with dimensions.
- h) Location of existing property lines, major easements, rights of way, water courses, drainage areas and ditches, distinctive natural features, and existing buildings.
- i) The location, names, and width of all existing or proposed streets within or directly adjacent to the subject property.
- j) Lots numbered in numerical order and blocks lettered alphabetically.
- k) Total number of lots proposed in tabular form.
- l) The approximate location of all proposed or existing lots and the site of the smallest lot.
- m) The location of flood plain areas.
- n) Statement of proposed water and/or sewer supply or collection method.
- o) Zoning of subject property and adjacent property.
- p) Names of adjacent property owners.
- q) Topography with contours no greater than two (2) feet.
- r) Location of all known existing or previously existing landfills.
- s) Location of all known existing groundwater recharge areas.
- t) Location of all known existing wetlands.
- u) Location of all known flood hazard areas.
- v) Location of all known Protected River Corridors.
- w) Location of all known Water Supply Watershed areas.
- x) AUTHORIZATION STATEMENT (text follows):

I hereby submit this Preliminary Plat as authorized agent/owner of all property shown thereon, and certify that all contiguous property under my ownership or control is included within the boundaries of this Preliminary Plat, as required by the Development Regulations.

Signature of Authorized Agent/Owner

Date

r) CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (text follows):

This Preliminary Plat has been reviewed and approved for general compliance with the Zoning Ordinance and Development Regulations of the City of Monroe.

Code Enforcement Officer

Date

s) CERTIFICATE OF APPROVAL BY PLANNING COMMISSION (text follows):

The Preliminary Plat shown hereon has been found to comply with the Zoning Ordinance and the Development Regulations of the City of Monroe and is hereby given Approval by the City of Monroe Planning Commission. This Approval does not constitute approval of a Final Plat. This Certificate of Approval shall expire and be null and void one (1) year from the date of this Certificate of Approval if no Site Development Plans are approved and no Final Plat is recorded. If Site Development Plans are approved within one (1) year from the date of this Certificate of Approval, this Certificate of Approval shall extend to the expiration of Site Development Plans. If no Final Plat is recorded by the expiration of the Site Development Plans, then this Certificate of Approval shall expire and be null and void in its entirety and shall require a new Preliminary Plat Approval by the City of Monroe Planning Commission.

Dated this ____ day of _____, 20__

By: _____, Chairman

By: _____, Secretary



**CENTRAL SERVICES
MONTHLY REPORT
OCTOBER
2023**

CENTRAL SERVICES

	2023 January	2023 February	2023 March	2023 April	2023 May	2023 June	2023 July	2023 August	2023 September	2022 September	2022 October	2022 November	2022 December	Monthly Average	Yearly Totals
SAFETY PROGRAMS															
Facility Inspections	5	4	0	3	8	2	2	4	7	1	2	2	3	3.3	43
Vehicle Inspections	0	1	0	0	7	0	0	0	0	1	0	0	8	1.3	17
Equipment Inspections	0	0	0	0	3	2	0	0	0	0	0	0	0	0.4	5
Worksite Inspections	2	0	0	1	0	0	0	4	2	0	1	0	0	0.8	10
Employee Safety Classes	8	7	8	6	6	8	7	4	9	7	6	10	5	7.0	91
Attendance	39	32	45	42	38	21	31	22	35					33.9	305
PURCHASING															
P-Card Transactions	534	475	584	523	569	502	506	616	458	459	480	460	451	509.0	6,617
Purchase Orders	100	84	120	112	85	68	72	111	87	112	81	84	74	91.5	1,190
Total Purchases	634	559	704	635	654	570	578	727	545	571	561	544	525	600.5	7,807
Sealed Bids/Proposals	0	0	1	0	3	3	2	2	2	2	2	1	0	1.4	18
INFORMATION TECHNOLOGY															
Workorder Tickets	116	64	92	96	59	74	62	68	73	64	56	84	88	76.6	996
Phishing Fail Percentage	2.4%	2.8%	0.9%	0.8%	1.6%	2.7%	0.1%	1.2%	2.2%	3.8%	1.6%	1.6%	1.3%	1.8%	
MARKETING															
Job Vacancies	11	13	12	9	11	5	5	6	4	9	10	9	9	8.7	113
Social Media Updates	14	24	31	12	21	24	17	14	4	20	21	9	14	17.3	225
GROUNDS & FACILITIES															
Contractor Acres Mowed	188.7	188.7	188.7	188.7	188.7	188.7	188.7	188.7	188.7	188.7	188.7	188.7	188.7	188.7	2,452.9
Trash Collection	8,780	7,540	9,140	6,200	3,040	4,500	3,880	4,440	3,290	3,210	3,380	5,480	8,220	5,469.2	71,100.0
Street Sweeper Utilization	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	61.5%	87.5%	N/A	N/A	N/A	74.5%	149.0%
Crew Acres Mowed	62.1	62.1	62.1	62.1	73.4	98.6	98.6	105.3	105.3	98.6	98.6	62.1	62.1	80.8	1,050.9

PROJECTS & UPDATES – OCTOBER 2023

FACILITIES & GROUNDS MAINTENANCE

Currently the City maintains all rights-of-way, facilities, and parks with a combination of City staff and contractor labor. This has allowed for the most efficient approach to maintaining all areas in a timely manner. During the month of September, the grounds and parks crews collected 3,290 pounds of trash and debris while also maintaining approximately 105 acres of rights-of-way and grounds at facilities and parks. Contractor labor was able to maintain an additional 188.7 acres of rights-of-way and grounds at facilities and parks. Central Services crews and contractor labor continue to focus weekly on maintaining a beautiful, safe, and inviting downtown, along with surrounding areas.



Construction of much needed improvements on the library rear parking lot are underway. City staff and contract labor are being used for this project.



Demolition of the old appliance building on Wayne Street begun and will be completed during October.

PROCUREMENT

Procurement has been working on several projects and bids during the month of September, including the review of the 138/78 Waterline easements, Natural Gas Bypass Project Bid, and Rest Haven Cemetery plat. Staff is working with contractors on facility repairs to old city hall and the water pump station. And after more than a year of waiting, a new Tymco street sweeper was acquired.

The Walton Road sidewalk replacement project is 99% complete. New curb, gutter, sidewalk, and driveway aprons have been installed. City staff has made improvements to stormwater infrastructure to help with standing water issues. The completion of the 3700 feet of new sidewalk will be this month.



400 feet of sidewalk along W. Washington Street leading into Childers Park was replaced using a combination of contract and City labor.



INFORMATION TECHNOLOGY

There have many additions and changes to our cybersecurity functions throughout the City per guidelines for our insurance renewals. If you see the message, *CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders*, understand that it is part of our standard text with any emails that may or may not come from an external source to our city email server.

PARKS PROJECTS & UPDATES – OCTOBER 2023



MATHEWS PARK

In an effort to increase safety, entrance and exit signage has been installed at Mathews Park to help communicate the safest route in, through and out of the park.



The rear parking area of Mathews Park was repaired and improved to provide needed additional parking. A combination of City staff and contract labor was used to complete this project. Striping and landscaping were completed during September to complete the parking improvements to Mathews Park.



Town Green



Punch list items are being completed while City staff is already working to maintain this new beautiful facility. Security cameras, internet, and time-controlled door locks are some of the elements that have been installed during September. Staff also received training on the splash pad and fountain.

AIRPORT PROJECTS & UPDATES – OCTOBER 2023

Cy Nunnally Airport (D73)

September Fuel Sales	
\$5.79	Average Price
103	Transactions
2,469.3	Gallons Sold
\$14,297.06	Fuel Revenue
\$2,174.74	Fuel Profit/Loss
\$7,052.90	Airport Profit/Loss

	2023 January	2023 February	2023 March	2023 April	2023 May	2023 June	2023 July	2023 August	2023 September	2022 September	2022 October	2022 November	2022 December	Monthly Average	Yearly Totals
100LL AVGAS															
100LL AvGas Sale Price	\$5.99	\$5.99	\$5.99	\$5.99	\$5.99	\$5.99	\$5.80	\$5.79	\$5.79	\$6.19	\$6.19	\$6.11	\$5.99	\$5.98	
Transactions	57	32	61	42	46	57	77	79	103	94	92	66	35	64.7	841
Gallons Sold	1,163.4	700.8	1,487.3	993.7	1,082.3	1,293.1	1,856.9	1,950.0	2,469.3	1,999.6	1,735.8	1,664.5	915.5	1485.5	19,312.1
AvGas Revenue	\$6,969.04	\$4,197.62	\$8,908.67	\$5,952.50	\$6,483.23	\$7,745.60	\$10,773.79	\$11,290.50	\$14,297.06	\$12,377.56	\$10,744.66	\$10,163.49	\$5,483.68	\$8,875.95	\$115,387.40
AvGas Profit/Loss	\$986.17	\$588.02	\$1,264.77	\$840.11	\$916.37	\$1,097.74	\$1,652.43	\$1,714.26	\$2,174.74	\$1,523.93	\$1,320.93	\$1,136.22	\$772.78	\$1,229.88	\$15,988.47
GENERAL REVENUE/EXPENSE															
Hangar Rental	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$54,600.00
Lease Agreements	\$4,427.57	\$4,427.57	\$4,427.57	\$4,427.57	\$4,427.57	\$4,427.57	\$4,427.57	\$4,427.57	\$4,427.57	\$4,377.57	\$4,377.57	\$4,377.57	\$4,377.57	\$4,412.19	\$57,358.41
Grounds Maintenance	\$535.00	\$535.00	\$2,045.71	\$535.00	\$535.00	\$535.00	\$535.00	\$535.00	\$535.00	\$535.00	\$535.00	\$535.00	\$535.00	\$651.21	\$8,465.71
Buildings Maintenance	\$530.00	\$709.00	\$983.85	\$530.00	\$530.00	\$4,792.40	\$530.00	\$490.00	\$530.00	\$1,941.71	\$520.83	\$1,829.76	\$480.00	\$1,107.50	\$14,397.55
Equipment Maintenance	\$113.41	\$2,208.69	\$3,084.80	\$113.41	\$113.41	\$6,768.90	\$126.90	\$867.59	\$126.90	\$2,770.97	\$2,837.45	\$143.34	\$111.06	\$1,491.29	\$19,386.83
Airport Profit/Loss	\$5,809.33	\$3,136.90	\$1,152.28	\$5,730.76	\$5,807.02	(\$4,929.50)	\$6,529.59	\$3,268.49	\$7,052.90	\$2,227.82	\$3,379.22	\$4,579.69	\$5,598.29	\$3,795.60	\$49,342.79

2023 AIRPORT INSPECTION

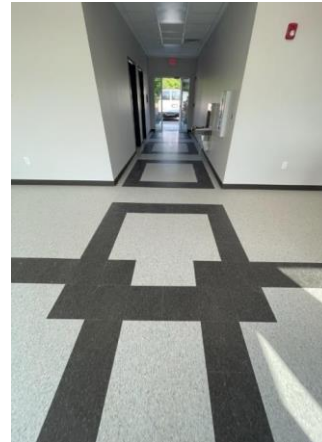
In April the Georgia Department of Transportation inspected the airport as required in Official Code of Georgia for compliance and licensing. Inspections are also required by the Federal Aviation Administration’s (FAA) Airport Safety Data Program. Inspectors look at State and FAA standards including approaches, markings, lighting, runway safety areas, etc. Staff received the results from the inspection in June and are working on a plan to address the findings.

2024-2028 AIRPORT CIP

Staff meet with Georgia Department of Transportation and GMC Engineering to discuss and develop the 2024-2028 CIP.

DR. KENNETH GRUBBS TERMINAL BUILDING

Substantial completion of the terminal building was May 31. Representatives from GMC Engineering, Georgia Department of Transportation, and City staff completed a final walkthrough with the contractor in July. Staff is currently installing all the furnishings and plan on having a grand opening this fall.





CODE

DEPARTMENT

MONTHLY REPORT

October

2023

The Code Department of the City of Monroe respectfully submits this report to the Mayor and Council. It is the intent of this report to highlight statistics, specific job duties, and any job functions related to the Code Department during the time period of August 1, 2023 thru August 31, 2023.

Statistics:

- Total Calls: 620
- Total Minutes: 20:19:47
- Total Minutes/Call: 1:58
- Code Inspections: 144
- Total Permits Written: 42
- Amount collected for permits: \$ 11,966.04
- Check postings for General Ledger: 96

New Alcohol Licenses: 1

- The Thirsty Moose—On Premise Beer/Wine & Distill Spirits

New Businesses: 10

- Salon 124 – 134 N Broad St
- Paramount Contracting of Monroe – 226 Alcovy St, Ste A
- Squires Auto Sales LLC – 333 Alcovy St 8-C
- GG Georgia LLC – 13332 Piedmont Pkwy
- Car City Auto Sales LLC – 333 Alcovy St 7-F
- Belle Ventures LLC – 106 Walker St
- 1058 Pavilion LLC – 1058 Pavilion Pkwy
- Liberty Home Loans LLC – 210 S Broad St, Ste 6
- The Loft in Monroe Inc – 113 N Broad St
- Morton James – 129 N Broad St

Closed Businesses: 2

- Elena De La Rosa LLC – 134 & 136 S Broad St
- Silver Queen LLC – 125 N Wayne St

City Marshal August 2023:

- Patrolled city daily.
- Removed 105 signs from road way
- 850 repair/cleanup orders and Re-inspections
- Transported city funds for deposit to banks daily.
- Investigated 2 utility tampering and theft cases.
- 9 citations issued
- Represented City Marshals' office in Municipal Court
- Handled 51 Directed Complaints called in or e-mailed to Code Office
- Placed Planning Commission and Historic Preservation Commission Signs as needed

Historic Preservation Commission September 2023:

- Request for COA for Signage—132 N. Broad St.—Approved as presented

- Request for COA for Shed—400 E. Church St.—Approved as presented

Planning Commission September 2023:

- Request for COA—195 MLK Jr. Blvd—Site Modifications—Approved without conditions
- Conditional Use Permit—Child Care Home—839 Overlook Trail.—Recommend Approval with conditions
- Development Regulations Update #7— Recommended Approval without conditions
- Preliminary Plat—Hambrick Station—residential w/56 lots; 1301 Alcovy St.—Recommended Approval without conditions

Code Department Daily Activities:

- Receiving business license payments, affidavits and identification.
- Processing paperwork for alcohol licenses and special event permits
- Checking turn-on list from utilities and contacting businesses that have not purchased business licenses
- Checking all businesses for delinquent city and county personal property taxes prior to issuing business licenses
- Updating spread sheets regarding business licenses, number of employees, E-Verify #'s etc.
- Applications for PTVR registrations and renewals
- Following up on golf cart permits that have not been renewed
- Verifying status for non-citizens thru the SAVE program
- Receipting payments for business licenses, building permits, miscellaneous funds
- Learning & implementing new all online process for State issued alcohol permits
- Process cemetery payments for grave openings and lot purchases
- Issuing permits for Building, Electrical, Plumbing and HVAC
- Receiving and preparing Rezones, variances, Conditional Uses, COA's, etc. for Meetings.
- Preparing and mailing letters to adjoining properties for Zoning Changes.
- Scheduling inspections for contractors.
- Preparing agenda items for Planning Commission and Historic Preservation Meetings.
- Scheduling Planning Commission and Historic Preservation meetings and attending
- Taking minutes for Planning & Zoning and Historic Preservation meetings and preparing them
- Taking and recording complaints.
- Researching Zoning Inquiries.
- Preparing all permit reports for County Tax Dept.
- Entering data for inspections being done into Incode software.
- Processing Open Records Requests
- Mail RC notices & citations for the City Marshals

8/1/2023	517 Green Street # A	98-22 Unlawful Use - Use (Electric)	Citation	N/A	Closed
8/1/2023	539 Green Street	62-9 Trash Debris in Yard	RC	8/16/2023	Closed
8/1/2023	120 Hillside Drive	18-255 Open Outdoor Storage	RC	8/16/2023	Closed
8/4/2023	312 Lumpkin Street	18-261 Exterior Walls - Rotting Wood	RC	9/4/2023	Open
8/4/2023	312 Lumpkin Street	18-260 Exterior Surface Treatments	RC	9/4/2023	Open
8/4/2023	312 Lumpkin Street	18-264 Windows - Broken Damaged	RC	9/4/2023	Open
8/4/2023	312 Lumpkin Street	18-262 Roof - Damaged	RC	9/4/2023	Open
8/4/2023	312 Lumpkin Street	62-9 Trash Debris in Yard	RC	9/4/2023	Open
8/4/2023	312 Lumpkin Street	18-256 C Tree Debris	RC	9/4/2023	Open
8/7/2023	501 Harris Street	18-254 Uncultivated Vegetation	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-254C Exposed Soil	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-255 Open Outdoor Storage	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-261 Exterior Walls	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-262 Roofs - Structurally Sound	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-264 Windows	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-263 Exterior Decks/ Porches	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-260 Exterior Surface Treatments - Chipping Paint	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-262 Roof	RC	9/7/2023	Closed
8/7/2023	501 Harris Street	18-265 Exterior Doors	RC	9/7/2023	Closed
8/8/2023	722 Lacy Street	62-9 Trash Debris at rear of property	RC	9/8/2023	Open
8/8/2023	722 Lacy Street	62-9 Abandoned Vehicle X 3	RC	9/8/2023	Open
8/8/2023	722 Lacy Street	18-259 Parking on Proper Surfaces X 3	RC	9/8/2023	Open
8/8/2023	722 Lacy Street	18-260 Exterior Surface Treatments Peeliing Paint	RC	9/8/2023	Open
8/8/2023	722 Lacy Street	18-261 Exterior Walls -No Siding	RC	9/8/2023	Open
8/8/2023	722 Lacy Street	18-262 Roof - Rotting Wood Soffits / Fascia	RC	9/8/2023	Open
8/8/2023	722 Lacy Street	18-264 Windows - Not Complete	RC	9/8/2023	Open
8/11/2023	616 East Church Street`	18-41 Adpted - Building Codes	RC	9/11/2023	Open
8/11/2023	616 East Church Street`	86-2 Housee Humbers Required	RC	9/11/2023	Open
8/11/2023	616 East Church Street`	18-41 Adpted - Building Codes	RC	9/11/2023	Open
8/11/2023	616 East Church Street`	86-2 Housee Humbers Required	RC	9/11/2023	Open
8/14/2023	1134 A Gliding Lane	62-97 Neighborhood Standards - Inoperable Vehicle	RC	8/28/2023	Closed
8/14/2023	1134 A Gliding Lane	62-97 Neighborhood Standards - Inoperable Vehicle	RC	8/28/2023	Closed
8/14/2023	1116 Springer Lane #A	42-97 Height Permitted - Tall Grass and Weeds	RC	8/28/2023	Closed
8/14/2023	1116 Springer Lane #A	62-97 Neighborhood Standards - Inoperable Vehicle	RC	8/28/2023	Closed

8/14/2023	802 East Church Street	62-97 Neighborhood Standards - Trash / Debris in yard	RC	9/14/2023	Open
8/14/2023	802 East Church Street	18-256 C Tree Debris	RC	9/14/2023	Open
8/14/2023	802 East Church Street	18-255 Open Outdoor Storage	RC	9/14/2023	Open
8/14/2023	802 East Church Street	18-262 Roof - Damage at corner - Rotting Wood	RC	9/14/2023	Open
8/14/2023	802 East Church Street	18-264 Windows - Damaged Broken	RC	9/14/2023	Open
8/15/2023	525 Baron Drive # B	42-97 Inoperative Vehicle	RC	8/30/2023	Closed
8/15/2023	1245 Custom Way # B	62-9 Neighborhood Standards - Trash Debris	RC	8/30/2023	Closed
8/15/2023	913 South Broad Street	62-9 Abandoned Appliances	RC	8/30/2023	Closed
8/15/2023	913 South Broad Street	18-254 C Tree Debris	RC	8/30/2023	Closed
8/15/2023	1245 Custom Way # B	18-254 Uncultivated Vegetation	RC	9/15/2023	Open
8/15/2023	612 East Washington Street	18-262 Roof - Damaged - Front Porch	RC	9/15/2023	Open
8/16/2023	444 Baron Drive	42-97 Height Permitted - Tall Grass and Weeds	RC	8/21/2023	Closed
8/16/2023	1240 Custom Way # B	62-9 Neighborhood Standards - Trash Debris	RC	8/30/2023	Closed
8/16/2023	1240 Custom Way # B	42-97 Height Permitted - Tall Grass and Weeds	RC	8/30/2023	Closed
8/16/2023	1240 Custom Way # B	86-2 Housee Humbers Required	RC	8/30/2023	Closed
8/16/2023	1240 Custom Way # A	62-9 Neighborhood Standards - Trash Debris	RC	8/30/2023	Closed
8/16/2023	1240 Custom Way # A	42-97 Height Permitted - Tall Grass and Weeds	RC	8/30/2023	Closed
8/16/2023	1240 Custom Way # A	86-2 Housee Humbers Required	RC	8/30/2023	Closed
8/17/2023	1126 Springer Lane # B	42-97 Height Permitted - Tall Grass and Weeds	RC	8/22/2023	Closed
8/17/2023	1126 Springer Lane # A	42-97 Height Permitted - Tall Grass and Weeds	RC	8/22/2023	Closed
8/17/2023	1126 Springer Lane # B	62-9 Neighborhood Standards - Tires	RC	8/31/2023	Closed
8/17/2023	1126 Springer Lane # A	62-9 Neighborhood Standards - Trash / Appliance	RC	8/31/2023	Closed
8/17/2023	515 Baron Drive # A	86-2 Housee Humbers Required	RC	8/31/2023	Closed
8/17/2023	515 Baron Drive # B	86-2 Housee Humbers Required	RC	8/31/2023	Closed
8/18/2023	813 Windsor Drive	Violation of the Short-term Rental Ordinance	RC	8/26/2023	Closed
8/18/2023	936 Clubside Drive	Violation of the Short-term Rental Ordinance	RC	8/26/2023	Closed
8/18/2023	1230 Custom Way # A	62-97 Inoperative Vehicle - Tan Van	RC	8/31/2023	Closed
8/18/2023	1230 Custom Way # A	42-97 Height Permitted - Tall Grass and Weeds	RC	8/31/2023	Closed
8/18/2023	1230 Custom Way # A	86-2 Housee Humbers Required	RC	8/31/2023	Closed
8/18/2023	1230 Custom Way # A	42-97 Height Permitted - Tall Grass and Weeds	RC	8/31/2023	Closed
8/18/2023	1230 Custom Way # B	42-97 Neighborhood Standards - Trash / Debris	RC	8/31/2023	Closed
8/18/2023	1230 Custom Way # B	86-2 Housee Humbers Required	RC	8/31/2023	Closed
8/18/2023	1230 Custom Way # B	42-97 Abandoned Appliances	RC	8/31/2023	Closed
8/21/2023	1239 Claywill Circle	42-97 Height Permitted - Tall Grass and Weeds	RC	8/28/2023	Closed

8/21/2023	1226 Claywill Circle	86-2 Housee Humbers Required	RC	9/6/2023	Open
8/21/2023	1226 Claywill Circle	18-259 Parking on Proper Surfaces	RC	9/6/2023	Open
8/21/2023	1226 Claywill Circle	18-25 Parking Vehicle in Front yard of Residential Dist.	RC	9/6/2023	Open
8/21/2023	533 Chestnut Lane	18-264 Windows - Broken Damaged	RC	9/21/2023	Open
8/21/2023	533 Chestnut Lane	18-262 Roof - Rotting Wood Soffits	RC	9/21/2023	Open
8/21/2023	533 Chestnut Lane	18-261 Exterior Walls - Mold	RC	9/21/2023	Open
8/21/2023	533 Chestnut Lane	42-97 Neighborhood Standards - Trash / Debris	RC	9/21/2023	Open
8/22/2023	503 Cestnut Lane	18-264 Windows - Broken Damaged	RC	9/22/2023	Open
8/22/2023	503 Cestnut Lane	18-262 Roof - Rotting Wood Soffits	RC	9/22/2023	Open
8/22/2023	503 Cestnut Lane	18-261 Exterior Walls - Mold	RC	9/22/2023	Open
8/22/2023	503 Cestnut Lane	86-2 Housee Humbers Required	RC	9/22/2023	Open
8/22/2023	503 Cestnut Lane	18-260 Exterior Surface Treatments	RC	9/22/2023	Open
8/22/2023	503 Cestnut Lane	42-97 Neighborhood Standards - Trash / Debris	RC	9/22/2023	Open
8/22/2023	313 South Madison Avenue	18-260 Exterior Surface Treatments - Mold on House	RC	9/22/2023	Open
8/22/2023	313 South Madison Avenue	18-262 Roof - Rottting wood - Corner Front Porch	RC	9/22/2023	Open
8/22/2023	313 South Madison Avenue	18-254 Uncultivated Vegetation	RC	9/22/2023	Open
8/24/2023	725 Eagles Trail # A	62-9 Junk Tires Side of House	RC	9/8/2023	Open
8/24/2023	654 Barron Drive # A	62-9 Junk Abandoned Vehilce	RC	9/8/2023	Open
8/24/2023	654 Barron Drive # A	62-9 Junk Abandoned Vehilce	RC	9/8/2023	Open
8/24/2023	644 Baron Drive	62-9 Junk Abandoned Vehilce	RC	9/8/2023	Open
8/25/2023	645 Baron Drive # A	62-9 Junk Abandoned Vehilce	RC	9/8/2023	Open
8/25/2023	645 Baron Drive # A	18-255 Open Outdoor Storage / Car Parts	RC	9/8/2023	Open
8/25/2023	1232 Sporty Lane # B	62-9 Junk Abandoned Vehilce	RC	9/8/2023	Open
8/25/2023	707 Davis Street	62-9 Trash Debris in Yard	RC	9/25/2023	Open
8/25/2023	707 Davis Street	62-9 Junk Abandoned Vehicle x 3 (No Tags)	RC	9/25/2023	Open
8/25/2023	707 Davis Street	18-264 Windows - Broken Damaged	RC	9/25/2023	Open
8/25/2023	707 Davis Street	18-262 Roof - Damaged	RC	9/25/2023	Open
8/25/2023	707 Davis Street	18-261 Exterior Walls - Rotting Wood	RC	9/25/2023	Open
8/25/2023	707 Davis Street	18-260 Exterior Surface Treatments	RC	9/25/2023	Open
8/25/2023	707 Davis Street	18-259 Parking on Proper Surfaces x 8	RC	9/25/2023	Open
8/25/2023	707 Davis Street	18-25 Parking Vehicle in Front Yard x 8	RC	9/25/2023	Open
8/25/2023	707 Davis Street	18-254 C Ground Cover / Exposed Soil	RC	9/25/2023	Open
8/28/2023	207 Hubbard Street	540.2 Trailer Parked in front of Housee	RC	9/1/2023	Closed
8/28/2023	207 Hubbard Street	18-25 Parking Vehilce in Front yard - Residential District	RC	9/1/2023	Closed

8/28/2023	503 East Washington Street	42-97 Height Permitted - Tall Grass and Weeds	RC	9/5/2023	Open
8/28/2023	503 East Washington Street	62-9 Neighborhood Standards	RC	9/5/2023	Open
8/28/2023	142 Hubbard Street	62-9 Inoperative Vehicle - Rad Van - Broken Window	RC	9/13/2023	Open
8/28/2023	142 Hubbard Street	62-9 Neighborhood Standards - Trash Debris in yard	RC	9/13/2023	Open
8/29/2023	800 Cherokee Avenue	62-9 Neighborhood Standards - Trashbags along fence	RC	9/30/2023	Open
8/29/2023	800 Cherokee Avenue	18-260 Exterior Surface Treatments - Missing siding	RC	9/30/2023	Open
8/29/2023	800 Cherokee Avenue	18-260 Exterior Walls - Missing Siding	RC	9/30/2023	Open
8/29/2023	222 Hubbard Street	62-9 Neighborhood Standards	RC	9/14/2023	Open
8/29/2023	222 Hubbard Street	540.2 Parking Trailer in Front Yard	RC	9/14/2023	Open
8/29/2023	212 Hubbard Street	62-9 Trash Debris	RC	9/14/2023	Open
8/29/2023	212 Hubbard Street	92-9 Junk / Inoperative Vehicle - Flat Tires	RC	9/14/2023	Open
8/30/2023	547 Michael Circle	92-9 Junk / Inoperative Vehicle -Semi Truck	RC	9/15/2023	Open
8/30/2023	547 Michael Circle	62-9 Trash Debris in yard	RC	9/15/2023	Open
8/30/2023	547 Michael Circle	94-42 Improper Parking	RC	9/15/2023	Open
8/30/2023	547 Michael Circle	540.2 Parking Trailer in Front Yard	RC	9/15/2023	Open
8/30/2023	547 Michael Circle	18-255 Open Outdoor Storage	RC	9/15/2023	Open
8/30/2023	213 Hubbard Street	62-9 Neighborhood Standards - Tires next to house	RC	9/15/2023	Open
8/30/2023	213 Hubbard Street	18-25 Parking Vehilce in Front yard - Residential District	RC	9/15/2023	Open
8/30/2023	213 Hubbard Street	18-259 Parking on Proper Surface	RC	9/15/2023	Open
8/30/2023	1114 East Church Street	70-56 Peddling Without Registration	RC	8/30/2023	Closed
8/31/2023	803 Davis Street	62-9 Neighborhood Standards - Trash and Debris	RC	9/15/2023	Open
8/31/2023	803 Davis Street	42-97 Height Permitted Tall Grass and Weeds	RC	9/15/2023	Open
8/31/2023	803 Davis Street	86-2 Housee Humbers Required	RC	9/15/2023	Open
8/31/2023	314 Pine Park Street # B	62-10 Unhealthy and Unsanitary Conditions	RC	10/15/2023	Open
8/31/2023	314 Pine Park Street # B	18-68 Open Exposed Wiring	RC	10/15/2023	Open
8/31/2023	314 Pine Park Street # B	18-41 Smoke Detector Required	RC	10/15/2023	Open
8/31/2023	314 Pine Park Street # B	18-41 Attic Insulation	RC	10/15/2023	Open
8/31/2023	314 Pine Park Street # B	18-41 Attic Pull Down Stairs	RC	10/15/2023	Open
8/31/2023	314 Pine Park Street # B	18-41 Tamper Resistant Receptacles	RC	10/15/2023	Open
8/31/2023	314 Pine Park Street # B	18-41 Interior Walls - Ceiling - Bedrooms - Hall Missing	RC	10/15/2023	Open

8/1/2023	411 Highland Ave	Junk in yard	RC	8/16/2023	open
8/1/2023	411 Highland Ave	Open Outdoor Storage	RC	8/16/2023	open
8/1/2023	407 Plantation Dr	Junk in yard	RC	8/16/2023	open
8/1/2023	407 Plantation Dr	Uncultivated Vegetation	RC	8/16/2023	open
8/1/2023	407 Plantation Dr	Open Outdoor Storage	RC	8/16/2023	open
8/1/2023	407 Plantation Dr	Tall Grass	RC	8/16/2023	open
8/1/2023	407 Plantation Dr	Tree stumps	RC	8/16/2023	open
8/2/2023	337 Walker Dr	Junk in yard	RC	8/17/2023	open
8/2/2023	337 Walker Dr	Open Outdoor Storage	RC	8/17/2023	open
8/2/2023	337 Walker Dr	Tall Grass	RC	8/17/2023	open
8/2/2023	709 Alcovy St	Tall Grass	RC	8/17/2023	open
8/2/2023	709 Alcovy St	Uncultivated Vegetation	RC	8/17/2023	open
8/2/2023	709 Alcovy St	Exposed Soil	RC	8/17/2023	open
8/2/2023	709 Alcovy St	Tree Debris in yard	RC	8/17/2023	open
8/3/2023	500 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	500 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	504 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	504 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	508 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	508 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	512 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	512 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	516 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	516 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	517 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	517 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	521 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	521 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	525 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	525 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/3/2023	529 Mill Farm Ln	Tall Grass	RC	8/18/2023	open
8/3/2023	529 Mill Farm Ln	Exposed Soil	RC	8/18/2023	open
8/4/2023	500 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	500 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open

8/4/2023	504 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	504 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/4/2023	508 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	508 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/4/2023	512 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	512 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/4/2023	516 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	516 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/4/2023	517 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	517 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/4/2023	521 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	521 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/4/2023	525 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	525 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/4/2023	529 Mill Farm Ln	Tall Grass	RC	8/21/2023	open
8/4/2023	529 Mill Farm Ln	Exposed Soil	RC	8/21/2023	open
8/7/2023	321 Reed Way	Junk vehicle	RC	8/22/2023	open
8/7/2023	321 Reed Way	Tall Grass	RC	8/22/2023	open
8/7/2023	321 Reed Way	Exterior Walls	RC	8/22/2023	open
8/7/2023	321 Reed Way	Exterior Surface Treatment	RC	8/22/2023	open
8/8/2023	318 Reed Way	Junk vehicle	RC	8/23/2023	open
8/8/2023	318 Reed Way	Veh on improper Surface	RC	8/23/2023	open
8/8/2023	318 Reed Way	Tall Grass	RC	8/23/2023	open
8/8/2023	318 Reed Way	Uncultivated Vegetation	RC	8/23/2023	open
8/9/2023	Sign Day	Sign Day			
8/10/2023	933 Tigers Way	Junk in yard	RC	8/25/2023	open
8/10/2023	933 Tigers Way	Tall Grass	RC	8/25/2023	open
8/10/2023	933 Tigers Way	Open Outdoor Storage	RC	8/25/2023	open
8/15/2023	112 Nowell St	Junk vehicle	RC	8/30/2023	open
8/15/2023	112 Nowell St	Junk in yard	RC	8/30/2023	open
8/15/2023	112 Nowell St	Open Outdoor Storage	RC	8/30/2023	open
8/15/2023	112 Nowell St	Veh on improper Surface	RC	8/30/2023	open
8/15/2023	112 Nowell St	Tall Grass	RC	8/30/2023	open
8/15/2023	112 Nowell St	Uncultivated Vegetation	RC	8/30/2023	open

8/15/2023	112 Nowell St	Exposed Soil	RC	8/30/2023	open
8/16/2023	407 Plantation Dr	Junk in yard	RC	8/31/2023	open
8/16/2023	407 Plantation Dr	Open Outdoor Storage	RC	8/31/2023	open
8/16/2023	407 Plantation Dr	Uncultivated Vegetation	RC	8/31/2023	open
8/16/2023	407 Plantation Dr	Tall Grass	RC	8/31/2023	open
8/16/2023	407 Plantation Dr	Tree stumps	RC	8/31/2023	open
8/17/2023	402 Woodland Rd	Junk vehicle	RC	9/1/2023	open
8/17/2023	402 Woodland Rd	Junk in yard	RC	9/1/2023	open
8/17/2023	402 Woodland Rd	Veh on improper Surface	RC	9/1/2023	open
8/17/2023	402 Woodland Rd	Tall Grass	RC	9/1/2023	open
8/17/2023	402 Woodland Rd	Exposed Soil	RC	9/1/2023	open
8/17/2023	402 Woodland Rd	Open Outdoor Storage	RC	9/1/2023	open
8/18/2023	514 Woodland Rd	Junk in yard	RC	9/2/2023	open
8/18/2023	514 Woodland Rd	Open Outdoor Storage	RC	9/2/2023	open
8/18/2023	514 Woodland Rd	Trailer Parking	RC	9/2/2023	open
8/18/2023	514 Woodland Rd	Veh on improper Surface	RC	9/2/2023	open
8/18/2023	514 Woodland Rd	Tall Grass	RC	9/2/2023	open
8/18/2023	514 Woodland Rd	Exposed Soil	RC	9/2/2023	open
8/21/2023	131 A Perry St	Junk vehicle	RC	9/5/2023	open
8/21/2023	131 A Perry St	Junk in yard	RC	9/5/2023	open
8/21/2023	131 A Perry St	Sewage Leak	RC	9/5/2023	open
8/21/2023	131 A Perry St	Open Outdoor Storage	RC	9/5/2023	open
8/21/2023	131 A Perry St	Uncultivated Vegetation	RC	9/5/2023	open
8/21/2023	131 A Perry St	Tall Grass	RC	9/5/2023	open
8/21/2023	131 A Perry St	Veh on improper Surface	RC	9/5/2023	open
8/21/2023	131 A Perry St	Decks & Porches	RC	9/5/2023	open
8/22/2023	131 B Perry St	Junk vehicle	RC	9/6/2023	open
8/22/2023	131 B Perry St	Junk in yard	RC	9/6/2023	open
8/22/2023	131 B Perry St	Sewage Leak	RC	9/6/2023	open
8/22/2023	131 B Perry St	Open Outdoor Storage	RC	9/6/2023	open
8/22/2023	131 B Perry St	Uncultivated Vegetation	RC	9/6/2023	open
8/22/2023	131 B Perry St	Tall Grass	RC	9/6/2023	open
8/22/2023	131 B Perry St	Veh on improper Surface	RC	9/6/2023	open
8/22/2023	131 B Perry St	Decks & Porches	RC	9/6/2023	open

8/23/2023	129 A Perry St	Junk vehicle	RC	9/7/2023	open
8/23/2023	129 A Perry St	Junk in yard	RC	9/7/2023	open
8/23/2023	129 A Perry St	Open Outdoor Storage	RC	9/7/2023	open
8/23/2023	129 A Perry St	Exposed Soil	RC	9/7/2023	open
8/23/2023	129 A Perry St	Decks & Porches	RC	9/7/2023	open
8/23/2023	129 A Perry St	Tall Grass	RC	9/7/2023	open
8/23/2023	129 A Perry St	Uncultivated Vegetation	RC	9/7/2023	open
8/23/2023	303 Alcovy St	Open Outdoor Storage	RC	9/7/2023	open
8/23/2023	303 Alcovy St	Tall Grass	RC	9/7/2023	open
8/23/2023	303 Alcovy St	Veh on improper Surface	RC	9/7/2023	open
8/24/2023	129 B Perry St	Junk vehicle	RC	9/8/2023	open
8/24/2023	129 B Perry St	Junk in yard	RC	9/8/2023	open
8/24/2023	129 B Perry St	Open Outdoor Storage	RC	9/8/2023	open
8/24/2023	129 B Perry St	Exposed Soil	RC	9/8/2023	open
8/24/2023	129 B Perry St	Decks & Porches	RC	9/8/2023	open
8/24/2023	129 B Perry St	Tall Grass	RC	9/8/2023	open
8/24/2023	129 B Perry St	Uncultivated Vegetation	RC	9/8/2023	open
8/28/2023	424 A Irving St	Junk vehicle	RC	9/12/2023	open
8/28/2023	424 A Irving St	Junk in yard	RC	9/12/2023	open
8/28/2023	424 A Irving St	Decks & Porches	RC	9/12/2023	open
8/28/2023	424 A Irving St	Roofs	RC	9/12/2023	open
8/28/2023	424 A Irving St	Veh on improper Surface	RC	9/12/2023	open
8/28/2023	424 A Irving St	Hazardous Tree in Yard	RC	9/12/2023	open
8/28/2023	424 A Irving St	Tree Debris in yard	RC	9/12/2023	open
8/28/2023	424 A Irving St	Exposed Soil	RC	9/12/2023	open
8/28/2023	424 A Irving St	Open Outdoor Storage	RC	9/12/2023	open
8/28/2023	424 B Irving St	Junk vehicle	RC	9/12/2023	open
8/28/2023	424 B Irving St	Junk in yard	RC	9/12/2023	open
8/28/2023	424 B Irving St	Decks & Porches	RC	9/12/2023	open
8/28/2023	424 B Irving St	Roofs	RC	9/12/2023	open
8/28/2023	424 B Irving St	Veh on improper Surface	RC	9/12/2023	open
8/28/2023	424 B Irving St	Hazardous Tree in Yard	RC	9/12/2023	open
8/28/2023	424 B Irving St	Tree Debris in yard	RC	9/12/2023	open
8/28/2023	424 B Irving St	Exposed Soil	RC	9/12/2023	open

8/28/2023	424 B Irving St	Open Outdoor Storage	RC	9/12/2023	open
8/29/2023	426 A Irving St	Junk vehicle	RC	9/13/2023	open
8/29/2023	426 A Irving St	Junk in yard	RC	9/13/2023	open
8/29/2023	426 A Irving St	Decks & Porches	RC	9/13/2023	open
8/29/2023	426 A Irving St	Roofs	RC	9/13/2023	open
8/29/2023	426 A Irving St	Veh on improper Surface	RC	9/13/2023	open
8/29/2023	426 A Irving St	Hazardous Tree in Yard	RC	9/13/2023	open
8/29/2023	426 A Irving St	Tree Debris in yard	RC	9/13/2023	open
8/29/2023	426 A Irving St	Exposed Soil	RC	9/13/2023	open
8/29/2023	426 A Irving St	Open Outdoor Storage	RC	9/13/2023	open
8/29/2023	426 A Irving St	Unhealthy & Unsanitary	RC	9/13/2023	open
8/29/2023	426 B Irving St	Junk vehicle	RC	9/13/2023	open
8/29/2023	426 B Irving St	Junk in yard	RC	9/13/2023	open
8/29/2023	426 B Irving St	Decks & Porches	RC	9/13/2023	open
8/29/2023	426 B Irving St	Roofs	RC	9/13/2023	open
8/29/2023	426 B Irving St	Veh on improper Surface	RC	9/13/2023	open
8/29/2023	426 B Irving St	Hazardous Tree in Yard	RC	9/13/2023	open
8/29/2023	426 B Irving St	Tree Debris in yard	RC	9/13/2023	open
8/29/2023	426 B Irving St	Exposed Soil	RC	9/13/2023	open
8/29/2023	426 B Irving St	Open Outdoor Storage	RC	9/13/2023	open
8/30/2023	428 A Irving St	Junk vehicle	RC	9/13/2023	open
8/30/2023	428 A Irving St	Junk in yard	RC	9/13/2023	open
8/30/2023	428 A Irving St	Decks & Porches	RC	9/13/2023	open
8/30/2023	428 A Irving St	Roofs	RC	9/13/2023	open
8/30/2023	428 A Irving St	Veh on improper Surface	RC	9/13/2023	open
8/30/2023	428 A Irving St	Hazardous Tree in Yard	RC	9/13/2023	open
8/30/2023	428 A Irving St	Tree Debris in yard	RC	9/13/2023	open
8/30/2023	428 A Irving St	Exposed Soil	RC	9/13/2023	open
8/30/2023	428 A Irving St	Open Outdoor Storage	RC	9/13/2023	open
8/30/2023	428 B Irving St	Junk vehicle	RC	9/13/2023	open
8/30/2023	428 B Irving St	Junk in yard	RC	9/13/2023	open
8/30/2023	428 B Irving St	Decks & Porches	RC	9/13/2023	open
8/30/2023	428 B Irving St	Roofs	RC	9/13/2023	open
8/30/2023	428 B Irving St	Veh on improper Surface	RC	9/13/2023	open

11-Aug-23	632 Gatewood Way	tall grass/weeds	RC	25-Aug-23	closed
11-Aug-23	335 Bold Springs Ave	neighborhood standards	RC	25-Aug-23	closed
11-Aug-23	335 Bold Springs Ave	Junk vehicles	RC	25-Aug-23	closed
11-Aug-23	335 Bold Springs Ave	tall grass/weeds	RC	25-Aug-23	closed
11-Aug-23	335 Bold Springs Ave	vehicles parked on improper surface	RC	25-Aug-23	closed
11-Aug-23	335 Bold Springs Ave	open outdoor storage	RC	25-Aug-23	closed
14-Aug-23	339 Bold Springs Ave	neighborhood standards	RC	28-Aug-23	closed
14-Aug-23	339 Bold Springs Ave	Junk vehicles	RC	28-Aug-23	closed
14-Aug-23	339 Bold Springs Ave	tall grass/weeds	RC	28-Aug-23	closed
14-Aug-23	339 Bold Springs Ave	vehicles parked on improper surface	RC	28-Aug-23	closed
14-Aug-23	339 Bold Springs Ave	open outdoor storage	RC	28-Aug-23	closed
14-Aug-23	141A Sorrells St.	neighborhood standards	RC	28-Aug-23	closed
14-Aug-23	141B Sorrells St	neighborhood standards	RC	28-Aug-23	closed
15-Aug-23	125A Tanglewood Dr	neighborhood standards	RC	29-Aug-23	closed
15-Aug-23	125A Tanglewood Dr	open outdoor storage	RC	29-Aug-23	closed
15-Aug-23	125A Tanglewood Dr	exposed soil	RC	29-Aug-23	closed
15-Aug-23	113A Tanglewood Dr	neighborhood standards	RC	29-Aug-23	closed
15-Aug-23	113A Tanglewood Dr	tall grass/weeds	RC	29-Aug-23	closed
15-Aug-23	121A Tanglewood Dr	tall grass/weeds	RC	29-Aug-23	closed
15-Aug-23	121B Tanglewood Dr	vehicles parked on improper surface	RC	29-Aug-23	closed
15-Aug-23	121B Tanglewood Dr	exposed soil	RC	29-Aug-23	closed
16-Aug-23	407 Maple Ln Apts	neighborhood standards	citation		closed
16-Aug-23	411 Maple Way	neighborhood standards	citation		closed
16-Aug-23	411 Maple Way	tall grass/weeds	citation		closed
16-Aug-23	411 Maple Way	siding	citation		closed
16-Aug-23	411 Maple Way	windows/frames	citation		closed
16-Aug-23	411 Maple Way	porch/railings	citation		closed
17-Aug-23	811 Rosewood Ln	land use regs	RC	31-Aug-23	closed
17-Aug-23	434 Sweetgum Dr	Junk vehicles	RC	31-Aug-23	closed
17-Aug-23	434 Sweetgum Dr	tall grass/weeds	RC	31-Aug-23	closed
17-Aug-23	824 Hickory Dr	Junk vehicles	RC	31-Aug-23	closed
17-Aug-23	824 Hickory Dr	vehicles parked on improper surface	RC	31-Aug-23	closed
21-Aug-23	210A Tanglewood Ln	tall grass/weeds	RC	5-Sep-23	open
21-Aug-23	210A Tanglewood Ln	exposed soil	RC	5-Sep-23	open

21-Aug-23	210B Tanglewood Ln	neighborhood standards	RC	5-Sep-23	open
21-Aug-23	210B Tanglewood Ln	tall grass/weeds	RC	5-Sep-23	open
21-Aug-23	210B Tanglewood Ln	open outdoor storage	RC	5-Sep-23	open
21-Aug-23	125B Tanglewood Dr	tall grass/weeds	RC	5-Sep-23	open
21-Aug-23	125B Tanglewood Dr	exposed soil	RC	5-Sep-23	open
22-Aug-23	116B Tanglewood Dr	neighborhood standards	RC	6-Sep-23	open
22-Aug-23	116B Tanglewood Dr	tall grass/weeds	RC	6-Sep-23	open
22-Aug-23	116B Tanglewood Dr	exposed soil	RC	6-Sep-23	open
22-Aug-23	108B Tanglewood Dr	neighborhood standards	RC	6-Sep-23	open
22-Aug-23	108B Tanglewood Dr	exposed soil	RC	6-Sep-23	open
22-Aug-23	108B Tanglewood Dr	vehicles parked on improper surface	RC	6-Sep-23	open
23-Aug-23	124A Tanglewood Dr	neighborhood standards	RC	7-Sep-23	open
23-Aug-23	124A Tanglewood Dr	Junk vehicles	RC	7-Sep-23	open
23-Aug-23	124A Tanglewood Dr	vehicles parked on improper surface	RC	7-Sep-23	open
23-Aug-23	124A Tanglewood Dr	exposed soil	RC	7-Sep-23	open
23-Aug-23	124B Tanglewood Dr	open outdoor storage	RC	7-Sep-23	open
23-Aug-23	124B Tanglewood Dr	vehicles parked on improper surface X3	RC	7-Sep-23	open
23-Aug-23	124B Tanglewood Dr	exposed soil	RC	7-Sep-23	open
24-Aug-23	136A Tanglewood Dr	neighborhood standards	RC	8-Sep-23	open
24-Aug-23	136A Tanglewood Dr	exposed soil	RC	8-Sep-23	open
24-Aug-23	136B Tanglewood Dr	Junk vehicles	RC	8-Sep-23	open
24-Aug-23	136B Tanglewood Dr	exposed soil	RC	8-Sep-23	open
24-Aug-23	136B Tanglewood Dr	open outdoor storage	RC	8-Sep-23	open
24-Aug-23	140B Tanglewood Dr	neighborhood standards	RC	8-Sep-23	open
24-Aug-23	140B Tanglewood Dr	exposed soil	RC	8-Sep-23	open
29-Aug-23	335 Bold Springs Ave	neighborhood standards	RC	12-Sep-23	open
29-Aug-23	335 Bold Springs Ave	Junk vehicles	RC	12-Sep-23	open
29-Aug-23	335 Bold Springs Ave	tall grass/weeds	RC	12-Sep-23	open
29-Aug-23	335 Bold Springs Ave	vehicles parked on improper surface	RC	12-Sep-23	open
29-Aug-23	335 Bold Springs Ave	open outdoor storage	RC	12-Sep-23	open
29-Aug-23	339 Bold Springs Ave	neighborhood standards	RC	12-Sep-23	open
30-Aug-23	339 Bold Springs Ave	Junk vehicles	RC	13-Sep-23	open
30-Aug-23	339 Bold Springs Ave	tall grass/weeds	RC	13-Sep-23	open
30-Aug-23	339 Bold Springs Ave	vehicles parked on improper surface	RC	13-Sep-23	open

- Dino Day had 3300 in attendance
- Weekly Farmers Market—season ends October 7th
- Fall Fest Vendor registration is closed –event October 14th-will run a shuttle bus to help with parking from Monroe Police Department lot and Graystone Church Lot.
- Christmas Parade participant registration now open– event December 7th 6:30 pm.
- New Business-Morton James



UPCOMING EVENTS:

- October 14th Fall Fest
- Nov 2nd Light Up the Night
- Candlelight Shopping Nov 9, 16, 30
- Magical Lights Parade –Childers Park Nov 16

ONGOING TASKS:

- DCA Main Street Compliance
- Visitors Center open to the public Tues-Saturday 10-5





Financial Report as of August 2023

Online financial reports are available here
<https://cleargov.com/georgia/walton/city/monroe>

GENERAL FUND SUMMARY

GENERAL FUND REVENUES



TOTAL BUDGETED

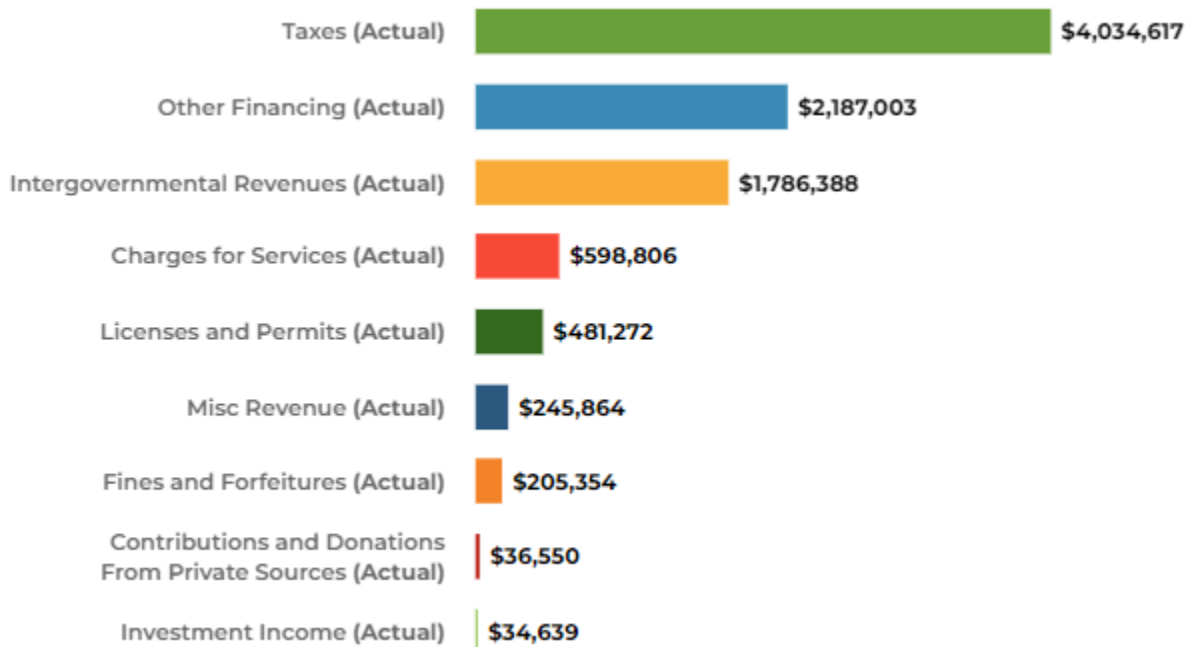
\$19,474,219

COLLECTED TO DATE

(49% of budgeted collected to date)

\$9,610,493

General Fund year-to-date revenues for the month totaled \$9,610,493 which is 49% of total budgeted revenues \$19,474,219 for 2023. Property Tax & Insurance Premium Tax collections make up @ 40% of total General Fund Revenues, which is not collected until the fourth quarter of each year.



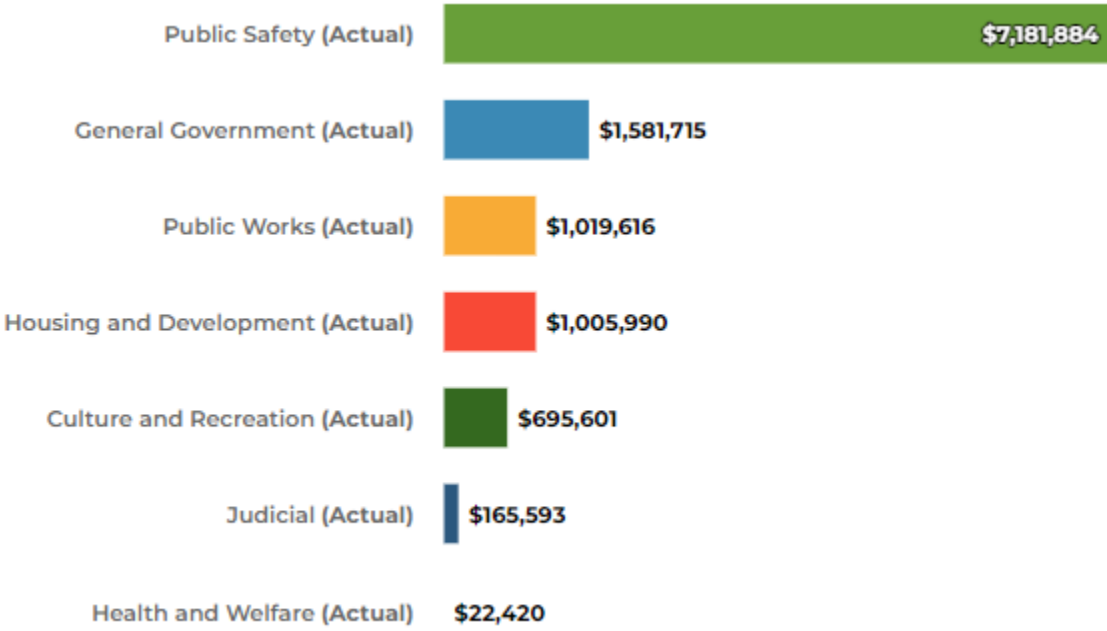
GENERAL FUND EXPENDITURES



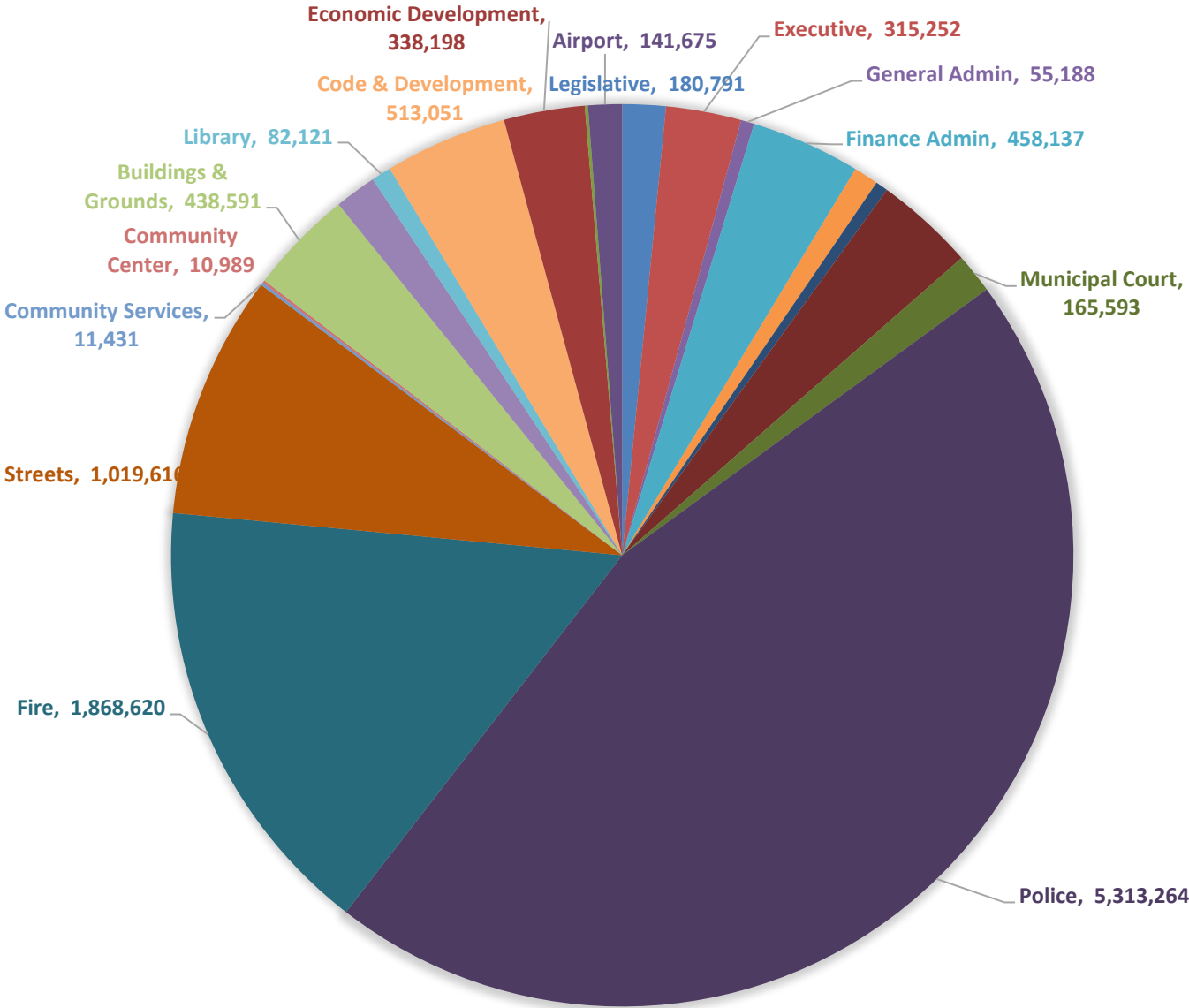
TOTAL BUDGETED
\$19,474,219

EXPENDED TO DATE
(60% of budgeted used to date)
\$11,672,819

General Fund year-to-date expenses for the month totaled \$11,672,819 which is 60% of total budgeted expenses of \$19,474,219 for 2023.



GENERAL FUND EXPENSE YTD



UTILITY FUND SUMMARY

UTILITY FUND REVENUES



TOTAL BUDGETED

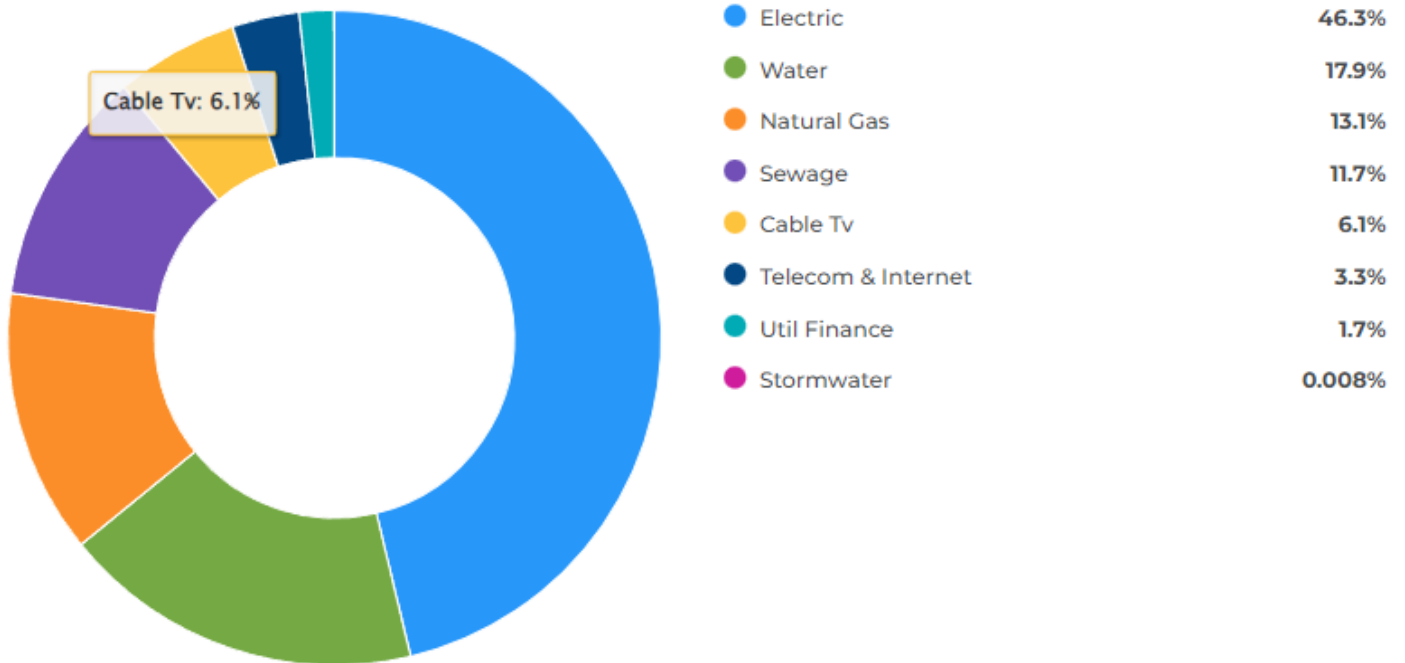
\$46,800,566

COLLECTED TO DATE

(67% of budgeted collected to date)

\$31,551,562

Utility Fund year-to-date operating revenues for the month totaled \$31,507,334 (*excluding capital revenue*). This is 67% of total budgeted revenues \$46,800,566 for 2023. Year-to-date capital revenue totaled \$44,228.



UTILITY FUND EXPENDITURES



TOTAL BUDGETED

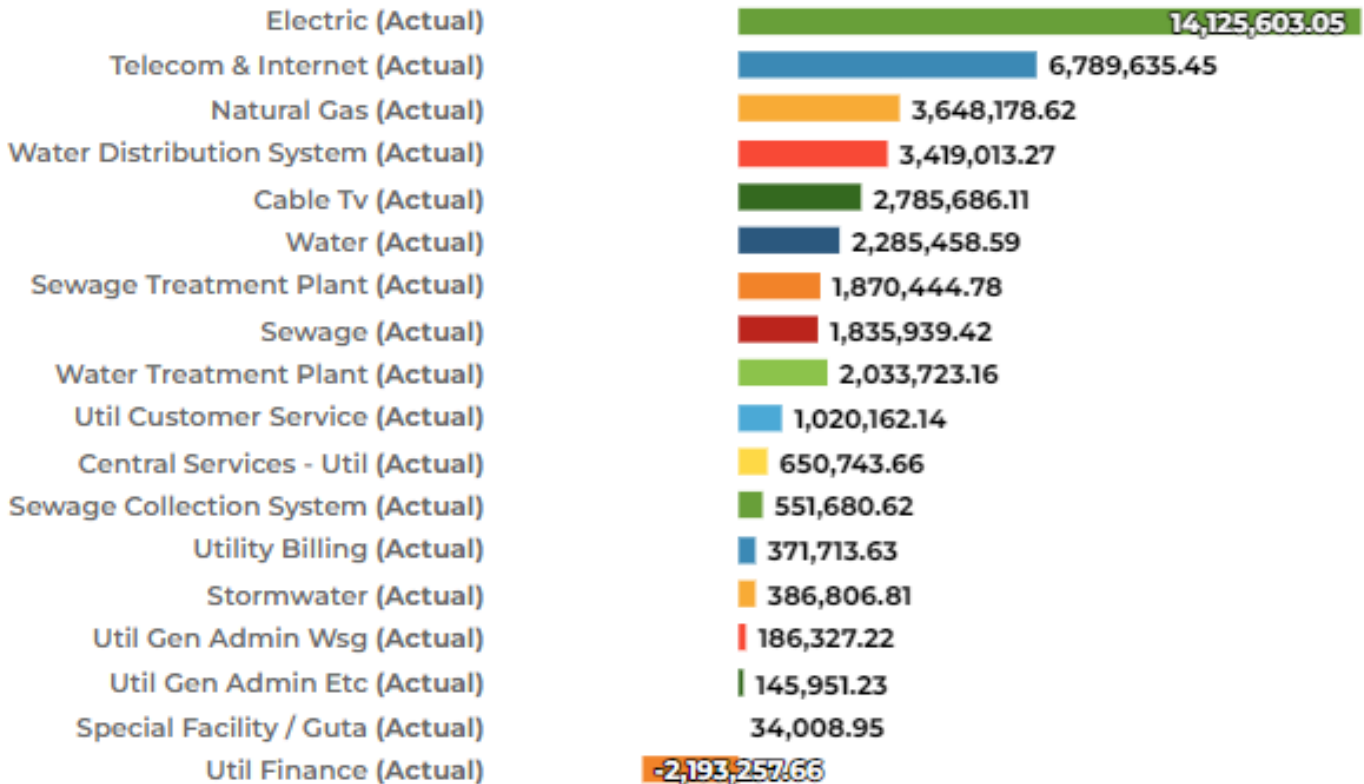
\$46,800,566

EXPENDED TO DATE

(85% of budgeted used to date)

\$39,947,819

Utility Fund year-to-date operating expenses for the month totaled \$30,452,407 *(excluding capital expense)* which is 65% of total budgeted expenses of \$46,800,566 for 2023. Year-to-date capital expenses totaled \$9,495,412 which include Utility Bond expenditures.



SOLID WASTE FUND SUMMARY

SOLID WASTE FUND REVENUES



TOTAL BUDGETED

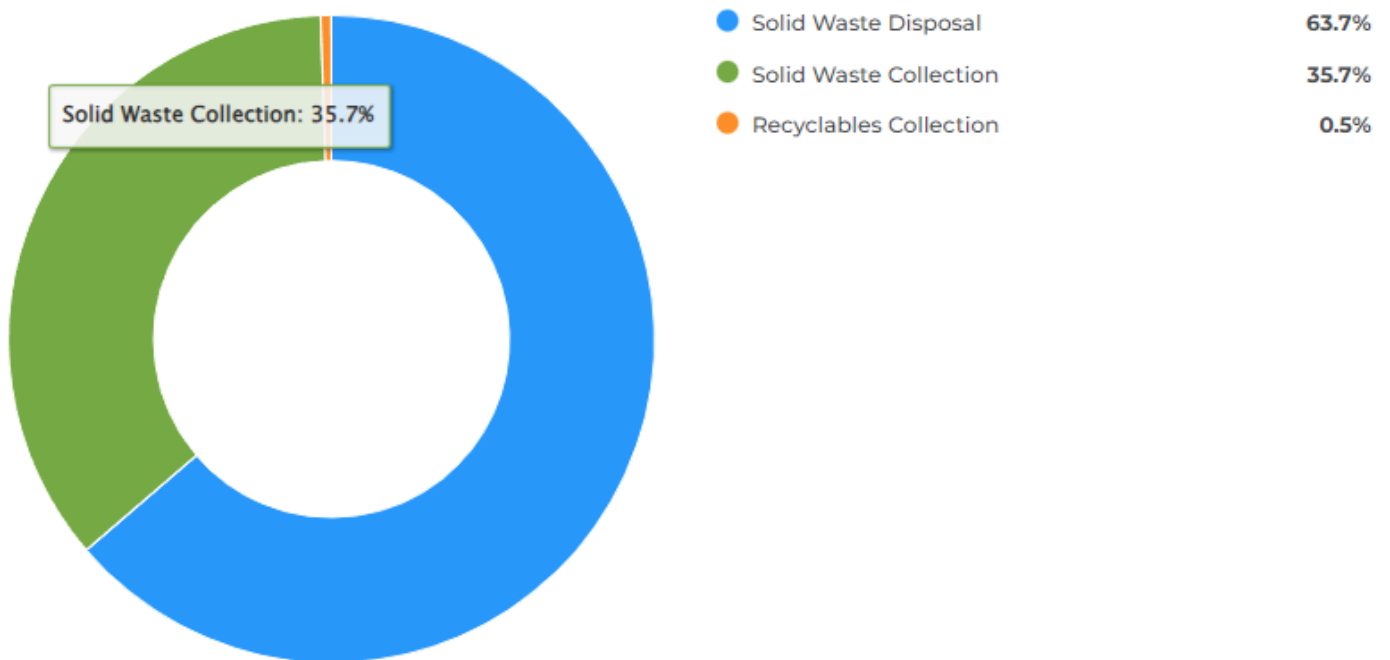
\$8,181,487

COLLECTED TO DATE

(60% of budgeted collected to date)

\$4,874,320

Solid Waste year-to-date revenues for the month totaled \$4,874,581. This is 59% of total budgeted revenues \$8,181,487 for 2023.



SOLID WASTE FUND EXPENDITURES



TOTAL BUDGETED

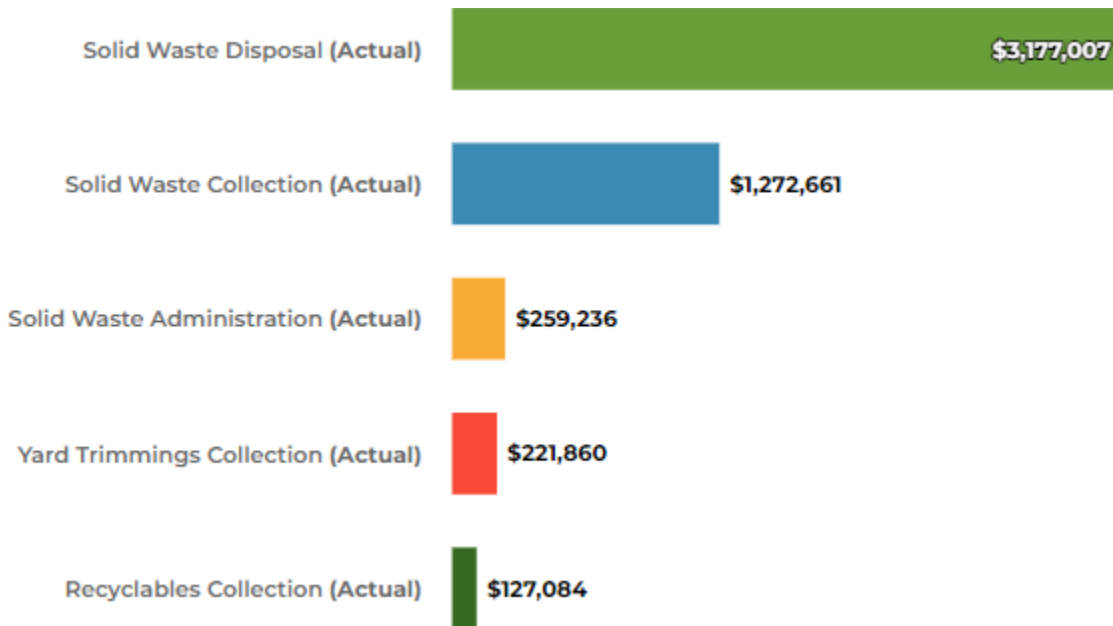
\$8,181,487

EXPENDED TO DATE

(65% of budgeted used to date)

\$5,301,565

Solid Waste year-to-date expenses for the month totaled \$4,945,421 (*excluding capital expense*) which is 60% of total budgeted expenses \$8,181,487. Year-to-date capital expenses totaled \$356,144.



Cash balances for the City of Monroe at month end totaled **\$62,740,889** including the utility bond funds.
 The following table shows the individual account balances for the major funds

GOVERNMENTAL FUND	
General Fund Checking	477,385.04
Stabilization Fund	1,250,000.00
Group Health Insurance Claims (Insurance Trust)	131,633.35
CAPITAL PROJECTS FUND	
Capital Improvement - General Government	2,739.99
SPLOST 2013	176,380.29
SPLOST 2019	2,366,027.05
SPECIAL REVENUE FUND	
Hotel/Motel	14,873.63
DEA Confiscated Assets Fund	57,814.81
Confiscated Assets Fund	69,943.04
American Rescue Plan	3,457,733.65
ENTERPRISE FUND	
Solid Waste	977,053.08
Solid Waste Capital	695,923.54
Utility Revenue	473,360.31
Utility MEAG Short-Term Investment	7,589,305.25
Utility MEAG Intermediate Extended Investment	9,567,583.13
Utility MEAG Intermediate Portfolio Investment	4,040,836.37
Utility Capital Improvement	4,206,159.92
Utility Tap Fees	3,496,662.23
2020 Util Bond Sinking Fund	464,665.10
2020 Bond Fund	22,681,605.73
Utility Customer Deposits (Restricted)	679,890.33
Utility Customer Deposits (Investment)	1,586,511.33

The total Utility Capital funds available at month end are \$8,046,418 as broken down in the section below:

Utility Capital Improvement Cash Balance	4,206,160
Utility Revenue Reserve Cash Balance	1,000,000
Tap Fees Cash Balance	3,496,662
Total Current Funds Available	8,702,822

	<u>Remaining Budget</u> ▼	<u>2023 Budgeted Expense</u> ▼	<u>2023 Actual Expense</u>	<u>Remaining Budget</u>
Totals	8,057,256	5,328,663	2,694,641	12,067,731
Remaining estimated annual Tap Fees	-	888,000	296,000	296,000
Remaining estimated annual CIP transfers-in	-	3,563,957	1,187,986	1,187,986
Estimated Utility Capital Cash Balance EOY			10,186,808	(1,880,923)

The detail by year of each project is shown on the following page

Utility Transfers Out

	Capital	
	Improvement	General Fund
January	\$ 318,366	\$ 221,647
February	\$ 327,553	\$ 229,652
March	\$ 294,708	\$ 207,746
April	\$ 255,807	\$ 180,374
May	\$ 255,003	\$ 182,074
June	\$ 251,703	\$ 179,758
July	\$ 262,410	\$ 190,155
August	\$ 278,441	\$ 205,687
September		
October		
November		
December		
YTD Total	\$ 2,243,990	\$ 1,597,092

Utility Capital Funding

Approved Projects/Assets

Dept	Project Description	Remaining Budget	2023 Budgeted Expense	2023 Actual Expense	Remaining Budget
Sewer	Sewer Main Rehab	-	150,000		150,000
Sewer	Vac Truck Repair			9,556	
Sewer	Infrastructure Repair/Replacement	-	200,000	10,500	189,500
Sewer	CDBG 2022 Construction	92,830	750,000	50,220	792,610
Sewer	Sewer Main Rehab 2022	285,587		14,354	271,233
Sewer	Final Clarifier Clean Out	-	20,000		20,000
Sewer	16 Ton Equipment Trailer	2,000			2,000
Sewer Plant	Pump Station SCADA	242,900			242,900
Sewer Plant	WWTP Infrastructure Repair/Replacement-2022 EQUIP NOT A PROJECT	274,686	23,417	11,079	287,024
Sewer Plant	Wastewater Pump Station Electrical	150,150			150,150
Sewer Plant	Wastewater Pump Station Rehab		485,000		485,000
Water	Fire Hydrant Replacement	165,000			165,000
Water	Replacement of Controls	40,000			40,000
Water	Fire Hydrant Replacement	-	55,000		55,000
Water	Water Meters	169,500			169,500
Water	Fire Hydrant Security	125,000	50,000		175,000
Water	Service Renewals	200,000			200,000
Water	Waterline extensions & pressure improvements	478,201			478,201
Water	Water Meters	-	125,250		125,250
Water	New Construction Water Meters	20,560			20,560
Water	Water Master Plan	30,561			30,561
Water	Water Main Rehab 2022-2023	300,000	150,000		450,000
Water	Water Main Extensions		100,000		100,000
Water	Alcovy River Screen	350,000			350,000
Water	Water Main Extensions	43,000			43,000
Water	equipment trailer		19,500		19,500
Water Plant	Infrastructure Repair/Replacement	558,341	200,000	69,919	688,422
Water Plant	Membrane Filters 2022	2,071	450,000	449,040	3,032
Water Plant	WTP SCADA Upgrade	13,200		6,200	7,000
Water Plant	Jacks Creek Pump Station Clearing & Dredging	165,000		71,309	93,691
Water/Telecom	Loganville Water Line-Fiber	245,000			245,000
Central Svcs	GUTA Improvements		25,000		25,000
Central Svcs	Truck F250 x 1 (lease purchase)		8,953		8,953
Central Svcs	NAS Server Replacement		20,000		20,000
Central Svcs	Utility Branding Imagery	108,985	50,000	1,823	157,162
Central Svcs	Vehicle	43,050			43,050
Central Svcs	Exchange server	64,038			64,038
Central Svcs	Forklift at Warehouse	76,100			76,100
Central Svcs	Zero Turn Mower	12,000			12,000
Central Svcs	City Hall Flooring Replacement		70,000	117,970	-
Central Svcs	North Lumpkin Alleyway Improvements	150,000			150,000
Admin	Executime			42,768	
Admin	Truck F150 x4 (lease purchase) Meter Readers	-	13,800		13,800
Electric	Automated Switching	74,572			74,572
Electric	GIS Program Development	5,817			5,817
Electric	Underground for Town Green	-		56,924	-
Electric	Monroe Pavilion Electric			35,736	-
Electric	AMI meters/system	344,996		4,337	340,659
Electric	Rebuild Highland & S Madison Ave (poles, transformers, wire, etc)	207,236			207,236
Electric	Mill Farm Place on Alcovy			32,338	
Electric	Meadows Farm Subdivision			69,146	-
Electric	Truck F150 x 1 (lease purchase)		5,995		5,995
Electric	Kubota Skid Steer		69,919	73,328	-
Electric	TSE DPT40B Puller		145,616		145,616
Electric	Electric Material Handling Truck		162,770	205,000	-
Electric	System Automation 2023		250,000		250,000
Electric	commercial demand meters	16,144			16,144
Electric	EV charging stations	23,900			23,900
Electric	3 Phase Feeder (Hwy138 - Hospital)	95,000			95,000
Electric	Altec AA55 bucket truck	205,000			205,000
Electric	Three Phase Rebuild	-	125,000	57,377	67,623
Telecom	Truck F150 x 2 (lease purchase)		11,990		11,990
Telecom	Altec 37G		120,000		120,000
Telecom	Fiber to the X services			1,036,376	-
Telecom	Fusion Splicer	38,079			38,079
Telecom	FTTX	-	500,000	83,726	288,434
Telecom	GTC			127,841	
Telecom	Altec 37G vehicles	126,000			126,000
Gas	natural gas master plan	150,000			150,000
Gas	Gas GIS	72,249			72,249
Gas	GIS Program Development	5,817			5,817
Gas	Gas Main Renewal 2023		300,000		300,000
Gas	Main Extension (Monroe Pavilion, etc)	88,705			88,705
Gas	pickup truck	-	8,953		8,953
Gas	Gas Main Renewal 2022	225,934			225,934
Gas	Extensions 2023		200,000		174,297
Gas	W Spring St Gas Replacement			25,703	
Gas	Truck Bypass Gas Relocation	150,731			150,731
Gas	Lacy, Davis, Harris & Ash Streets	140,000			140,000
Gas	Gas System Improv-Metering SCADA	18,500			18,500
Stormwater	Brushcutter		12,500		12,500
Stormwater	pickup truck	93,232			93,232
Stormwater	2018 Infrastructure Repair/Replacement	45,510			45,510
Stormwater	Storm/Drain Retention Pond Rehab	370,500	50,000		420,500
Stormwater	Infrastructure / Pipes / Inlets / etc. 2021	133,391			133,391
Stormwater	Infrastructure / Pipes / Inlets / etc. 2023		150,000	32,074	117,926
Stormwater	Lateral Repair	8,183			8,183
Stormwater	Improvements	100,000			100,000
Stormwater	North Madison Stormwater Rehab	400,000	250,000		650,000
Stormwater	Stormwater Master Plan	400,000			400,000
Stormwater	Dumptruck	110,000			110,000

Utility 2020 Bond Projects

	Original Budget	Expenditures	Balance
Alcoy Sewer Line Extension	4,000,000	2,113,771	1,886,229
Loganville Water Transmission Line Extension	5,580,000	5,580,000	-
Broadband Fiber Extension	12,700,000	7,892,574	4,807,426
Blaine Station Telecom Building	478,648	633,068	(154,420)
Wastewater Treatment Plant Upgrades	7,500,000	5,139,109	2,360,891
Raw Water Line Upgrades	3,520,000	1,517,867	2,002,133
Water Tank Industrial Park & Line Extension	3,000,000	173,728	2,826,272
East Walton Gas Line Extension	1,000,000	323,895	676,105
Future Water Transmission Line Extensions	1,700,000	1,601,832	98,168
Future Expansion Projects	5,771,352		4,730,134
Water Plant System Upgrades	3,000,000	4,041,218	(1,041,218)
Water Tank Northside of System	1,750,000		1,750,000
Bond Closing Fees from Bond Proceeds		435,942	(435,942)
	\$50,000,000	\$29,453,004	\$19,505,778

Solid Waste Capital Funding

Approved Projects/Assets

<u>Dept</u>	<u>Project Description</u>	<u>Remaining Budget</u>	<u>2023 Budgeted Expense</u>	<u>2023 Actual Expense</u>	<u>Remaining Budget</u>
Solid Waste	Transfer Station Improvements	28,973	50,000	73,179	5,794
Solid Waste	Guardrails for New Scales	14,000			14,000
Solid Waste	Downtown Dumpster Corrals	150,000			150,000
Solid Waste	Residential Garbage Truck	150,752		150,752	-
Solid Waste	Commercial Garbage Truck	251,165			251,165
Solid Waste	Pickup Truck	35,000			35,000
Solid Waste	Dodge Ram 1500 Truck		5,700		5,700
Solid Waste	Transfer Station Trailer		75,000		75,000
Solid Waste	Container Delivery Unit		147,000	160,535	-
Totals		629,890	277,700	384,466	536,659
Remaining estimated annual CIP transfers-in		-	432,000	144,000	
Estimated Solid Waste Capital Cash Balance		66,034		562,224	

Solid Waste Capital Improvement Cash Balance 695,924 as of August

SPLOST Budgets

2013 SPLOST	Original Budget	Total Revenue Received Amended Budget	Expenditures	Reimbursements	Balance
Transportation	\$5,785,964	\$5,953,753	\$9,623,180	\$3,839,812	\$170,386
Public Safety	1,200,000	1,210,933	1,224,818	19,879	5,994
Solid Waste	2,513,544	2,119,133	2,119,132		0
	\$9,499,508	\$9,283,819	\$12,967,130	\$3,859,692	\$176,380

2019 SPLOST	Updated Budget	Total Revenue Received	Expenditures	Reimbursements	Balance
Transportation	\$6,139,675	\$8,707,056	\$7,194,190	\$1,773,711	\$3,286,577
Parks	7,194,378	3,731,596	6,747,383	2,126,907	(888,880)
	\$13,334,053	\$12,438,652	\$13,941,574	\$3,900,619	\$2,397,697



General Fund

For Fiscal Period Ending: August 2023

	Original Total Budget	Current Total Budget	Period Activity	YTD	Assumed Sept-Dec	Projected Year End 2023	Year End 2022
Revenue							
1510 - FINANCE ADMIN	15,022,894	15,022,894	727,929	6,523,409	8,707,154	15,230,563	15,380,182
1519 - INTERGOVERNMENTAL	2,303,237	2,303,237	199,232	1,591,641	1,157,651	2,749,292	1,182,586
1565 - WALTON PLAZA	3,308	3,308	276	2,205	1,102	3,308	3,308
2650 - MUNICIPAL COURT	300,000	300,000	15,975	183,403	73,758	257,161	247,393
3200 - POLICE	434,258	434,258	21,160	289,748	71,953	361,701	217,947
3500 - FIRE OPERATIONS	65,622	65,622	-	54,401	1,267	55,668	11,799
3510 - FIRE PREVENTION/CRR	20,000	20,000	450	27,625	4,190	31,815	11,495
4200 - STREETS & TRANSPORTATION	225,025	225,025	-	178,925	25,642	204,567	222,160
5530 - COMMUNITY CENTER	48,333	48,333	4,583	30,833	15,000	45,833	42,083
6200 - BLDGS & GROUNDS	-	-	-	17,835	-	17,835	-
7200 - CODE & DEVELOPMENT	647,100	647,100	24,923	531,192	168,002	699,195	664,830
7520 - ECONOMIC DEVELOPMENT	20,000	20,000	8,150	9,379	11,524	20,903	19,303
7521 - MAINSTREET	35,000	35,000	-	26,250	17,500	43,750	35,000
7563 - AIRPORT	349,442	349,442	14,443	143,646	69,473	213,119	273,571
Revenue Total:	19,474,219	19,474,219	1,017,121	9,610,494	10,324,215	19,934,710	18,311,656
Expense							
1100 - LEGISLATIVE	251,706	251,706	20,016	180,791	85,146	265,937	268,270
1300 - EXECUTIVE	472,190	472,190	36,223	315,252	176,825	492,077	417,653
1400 - ELECTIONS	20,300	20,300	-	-	-	-	-
1500 - GENERAL ADMIN	79,544	79,544	5,787	55,188	51,483	106,671	148,166
1510 - FINANCE ADMIN	506,034	506,034	266,530	458,137	270,446	728,583	464,842
1530 - LAW	160,000	160,000	24,183	103,409	88,483	191,893	161,531
1560 - AUDIT	40,000	40,000	1,030	52,030	-	52,030	40,000
1565 - WALTON PLAZA	591,850	591,850	120,849	416,908	175,991	592,899	594,127
2650 - MUNICIPAL COURT	254,944	254,944	21,950	165,593	91,345	256,938	234,500
3200 - POLICE	7,408,105	7,408,105	540,863	5,313,264	2,429,149	7,742,413	6,621,127
3500 - FIRE OPERATIONS	2,692,801	2,692,801	173,182	1,812,940	1,027,248	2,840,188	2,652,600
3510 - FIRE PREVENTION/CRR	104,371	104,371	5,836	55,680	33,663	89,343	98,465
4200 - STREETS & TRANSPORTATION	1,834,029	1,834,029	124,483	1,019,616	558,005	1,577,621	1,503,730
5500 - COMMUNITY SERVICES	12,900	12,900	-	11,431	2,105	13,536	12,036
5530 - COMMUNITY CENTER	6,180	6,180	98	10,989	(9,787)	1,202	6,665
6100 - PARKS	2,460,321	2,460,321	25,413	174,889	-	174,889	-
6200 - BLDGS & GROUNDS	651,665	651,665	45,287	438,591	408,427	847,018	949,039
6500 - LIBRARIES	154,443	154,443	128	82,121	59,996	142,116	133,898
7200 - CODE & DEVELOPMENT	898,451	898,451	47,148	513,051	233,418	746,469	711,626
7400 - PLANNING AND ZONING	4,844	4,844	-	-	4,683	4,683	4,683
7520 - ECONOMIC DEVELOPMENT	579,026	579,026	48,339	338,198	246,510	584,708	480,217
7550 - DOWNTOWN DEVELOPMENT	25,450	25,450	90	13,065	12,614	25,679	25,387
7563 - AIRPORT	265,065	265,065	6,236	141,675	66,877	208,552	252,896
Expense Total:	19,474,219	19,474,219	1,513,673	11,672,819	6,012,626	17,685,445	15,781,458
Report Surplus (Deficit):				(2,062,324)		2,249,265	2,530,198



Monroe, GA

General Fund Monthly Budget Report

Group Summary

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For Fiscal: 2023 Period Ending: 08/31/2023

DEP...	August Budget	August Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
Revenue									
R1: 31 - TAXES									
1510 - FINANCE ADMIN	930,179.02	437,338.63	-492,840.39	-52.98%	7,441,432.16	4,034,617.05	-3,406,815.11	-45.78%	11,166,615.00
Total R1: 31 - TAXES:	930,179.02	437,338.63	-492,840.39	-52.98%	7,441,432.16	4,034,617.05	-3,406,815.11	-45.78%	11,166,615.00
R1: 32 - LICENSES & PERMITS									
7200 - CODE & DEVELOPMENT	44,448.88	24,512.97	-19,935.91	-44.85%	355,591.04	481,272.49	125,681.45	35.34%	533,600.00
Total R1: 32 - LICENSES & PERMITS:	44,448.88	24,512.97	-19,935.91	-44.85%	355,591.04	481,272.49	125,681.45	35.34%	533,600.00
R1: 33 - INTERGOVERNMENTAL									
1519 - INTERGOVERNMENTAL	191,859.64	199,231.95	7,372.31	3.84%	1,534,877.12	1,591,641.40	56,764.28	3.70%	2,303,237.00
3200 - POLICE	166.60	0.00	-166.60	-100.00%	1,332.80	0.00	-1,332.80	-100.00%	2,000.00
3500 - FIRE OPERATIONS	1,316.93	0.00	-1,316.93	-100.00%	10,535.44	0.00	-10,535.44	-100.00%	15,809.52
4200 - STREETS & TRANSPORTATION	14,904.45	0.00	-14,904.45	-100.00%	119,235.60	178,925.21	59,689.61	50.06%	178,925.00
7200 - CODE & DEVELOPMENT	1,249.50	0.00	-1,249.50	-100.00%	9,996.00	7,670.94	-2,325.06	-23.26%	15,000.00
7520 - ECONOMIC DEVELOPMENT & PLANNING	0.00	8,150.00	8,150.00	0.00%	0.00	8,150.00	8,150.00	0.00%	0.00
Total R1: 33 - INTERGOVERNMENTAL:	209,497.12	207,381.95	-2,115.17	-1.01%	1,675,976.96	1,786,387.55	110,410.59	6.59%	2,514,971.52
R1: 34 - CHARGES FOR SERVICES									
1510 - FINANCE ADMIN	67,473.00	65,533.13	-1,939.87	-2.88%	539,784.00	555,044.60	15,260.60	2.83%	810,000.00
3200 - POLICE	333.20	410.00	76.80	23.05%	2,665.60	2,413.42	-252.18	-9.46%	4,000.00
3500 - FIRE OPERATIONS	0.00	0.00	0.00	0.00%	0.00	3,057.00	3,057.00	0.00%	0.00
3510 - FIRE PREVENTION/CRR	1,666.00	450.00	-1,216.00	-72.99%	13,328.00	27,625.47	14,297.47	107.27%	20,000.00
7200 - CODE & DEVELOPMENT	583.10	410.00	-173.10	-29.69%	4,664.80	9,660.08	4,995.28	107.08%	7,000.00
7520 - ECONOMIC DEVELOPMENT & PLANNING	1,666.00	0.00	-1,666.00	-100.00%	13,328.00	325.00	-13,003.00	-97.56%	20,000.00
7563 - AIRPORT	91.63	85.00	-6.63	-7.24%	733.04	680.00	-53.04	-7.24%	1,100.00
Total R1: 34 - CHARGES FOR SERVICES:	71,812.93	66,888.13	-4,924.80	-6.86%	574,503.44	598,805.57	24,302.13	4.23%	862,100.00
R1: 35 - FINES & FORFEITURES									
2650 - MUNICIPAL COURT	24,990.00	15,974.80	-9,015.20	-36.08%	199,920.00	183,402.97	-16,517.03	-8.26%	300,000.00
3200 - POLICE	2,915.50	2,233.01	-682.49	-23.41%	23,324.00	21,951.45	-1,372.55	-5.88%	35,000.00
Total R1: 35 - FINES & FORFEITURES:	27,905.50	18,207.81	-9,697.69	-34.75%	223,244.00	205,354.42	-17,889.58	-8.01%	335,000.00
R1: 36 - INVESTMENT INCOME									
1510 - FINANCE ADMIN	41.65	3,309.46	3,267.81	7,845.88%	333.20	34,639.07	34,305.87	10,295.88%	500.00
Total R1: 36 - INVESTMENT INCOME:	41.65	3,309.46	3,267.81	7,845.88%	333.20	34,639.07	34,305.87	10,295.88%	500.00
R1: 37 - CONTRIBUTIONS & DONATIONS									
3200 - POLICE	0.00	0.00	0.00	0.00%	0.00	10,300.00	10,300.00	0.00%	0.00

Monthly Budget Report

For Fiscal: 2023 Period Ending: 08 252 3

DEP...	August Budget	August Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
7521 - MAINSTREET	2,915.50	0.00	-2,915.50	-100.00%	23,324.00	26,250.00	2,926.00	12.55%	35,000.00
Total R1: 37 - CONTRIBUTIONS & DONATIONS:	2,915.50	0.00	-2,915.50	-100.00%	23,324.00	36,550.00	13,226.00	56.71%	35,000.00
R1: 38 - MISCELLANEOUS REVENUE									
1510 - FINANCE ADMIN	3,956.75	1,283.94	-2,672.81	-67.55%	31,654.00	9,652.34	-22,001.66	-69.51%	47,500.00
1565 - WALTON PLAZA	275.55	275.63	0.08	0.03%	2,204.40	2,205.04	0.64	0.03%	3,308.00
3200 - POLICE	0.00	18,517.00	18,517.00	0.00%	0.00	67,513.92	67,513.92	0.00%	0.00
5530 - COMMUNITY CENTER	4,026.13	4,583.33	557.20	13.84%	32,209.04	30,833.33	-1,375.71	-4.27%	48,333.00
7200 - CODE & DEVELOPMENT	0.00	0.00	0.00	0.00%	0.00	11,570.64	11,570.64	0.00%	0.00
7520 - ECONOMIC DEVELOPMENT & PLANNNG	0.00	0.00	0.00	0.00%	0.00	904.00	904.00	0.00%	0.00
7563 - AIRPORT	27,066.66	14,358.11	-12,708.55	-46.95%	216,533.28	123,184.88	-93,348.40	-43.11%	324,930.00
Total R1: 38 - MISCELLANEOUS REVENUE:	35,325.09	39,018.01	3,692.92	10.45%	282,600.72	245,864.15	-36,736.57	-13.00%	424,071.00
R1: 39 - OTHER FINANCING SOURCES									
1510 - FINANCE ADMIN	249,756.63	220,463.58	-29,293.05	-11.73%	1,998,053.04	1,889,455.00	-108,598.04	-5.44%	2,998,279.01
3200 - POLICE	32,758.39	0.00	-32,758.39	-100.00%	262,067.12	187,569.33	-74,497.79	-28.43%	393,258.00
3500 - FIRE OPERATIONS	4,149.33	0.00	-4,149.33	-100.00%	33,194.64	51,344.47	18,149.83	54.68%	49,812.00
4200 - STREETS & TRANSPORTATION	3,840.13	0.00	-3,840.13	-100.00%	30,721.04	0.00	-30,721.04	-100.00%	46,100.00
6200 - BLDGS & GROUNDS	0.00	0.00	0.00	0.00%	0.00	17,834.60	17,834.60	0.00%	0.00
7200 - CODE & DEVELOPMENT	7,621.95	0.00	-7,621.95	-100.00%	60,975.60	21,018.26	-39,957.34	-65.53%	91,500.00
7563 - AIRPORT	1,950.21	0.00	-1,950.21	-100.00%	15,601.68	19,781.39	4,179.71	26.79%	23,412.00
Total R1: 39 - OTHER FINANCING SOURCES:	300,076.64	220,463.58	-79,613.06	-26.53%	2,400,613.12	2,187,003.05	-213,610.07	-8.90%	3,602,361.01
Total Revenue:	1,622,202.33	1,017,120.54	-605,081.79	-37.30%	12,977,618.64	9,610,493.35	-3,367,125.29	-25.95%	19,474,218.53
Expense									
1100 - LEGISLATIVE	20,967.09	20,016.47	950.62	4.53%	167,736.72	180,791.20	-13,054.48	-7.78%	251,706.00
1300 - EXECUTIVE	39,333.38	36,223.06	3,110.32	7.91%	314,667.04	315,252.06	-585.02	-0.19%	472,190.00
1400 - ELECTIONS	1,690.99	0.00	1,690.99	100.00%	13,527.92	0.00	13,527.92	100.00%	20,300.00
1500 - GENERAL ADMIN	6,625.97	5,786.76	839.21	12.67%	53,007.76	55,187.92	-2,180.16	-4.11%	79,544.00
1510 - FINANCE ADMIN	42,152.57	266,529.82	-224,377.25	-532.30%	337,220.56	458,137.26	-120,916.70	-35.86%	506,034.00
1530 - LAW	13,328.00	24,182.76	-10,854.76	-81.44%	106,624.00	103,409.41	3,214.59	3.01%	160,000.00
1560 - AUDIT	3,332.00	1,030.00	2,302.00	69.09%	26,656.00	52,030.00	-25,374.00	-95.19%	40,000.00
1565 - WALTON PLAZA	49,301.08	120,849.37	-71,548.29	-145.13%	394,408.64	416,907.64	-22,499.00	-5.70%	591,849.81
2650 - MUNICIPAL COURT	21,236.78	21,950.42	-713.64	-3.36%	169,894.24	165,592.84	4,301.40	2.53%	254,944.00
3200 - POLICE	617,095.10	540,863.19	76,231.91	12.35%	4,936,760.80	5,313,263.76	-376,502.96	-7.63%	7,408,105.00
3500 - FIRE OPERATIONS	224,310.27	173,182.17	51,128.10	22.79%	1,794,482.16	1,812,939.77	-18,457.61	-1.03%	2,692,801.00
3510 - FIRE PREVENTION/CRR	8,694.07	5,836.13	2,857.94	32.87%	69,552.56	55,680.19	13,872.37	19.95%	104,371.00
4200 - STREETS & TRANSPORTATION	152,774.56	124,482.55	28,292.01	18.52%	1,222,196.48	1,019,616.05	202,580.43	16.58%	1,834,029.00
5500 - COMMUNITY SERVICES	1,074.57	0.00	1,074.57	100.00%	8,596.56	11,431.00	-2,834.44	-32.97%	12,900.00
5530 - COMMUNITY CENTER	514.78	97.83	416.95	81.00%	4,118.24	10,989.27	-6,871.03	-166.84%	6,180.00
6100 - RECREATION	204,944.72	25,413.13	179,531.59	87.60%	1,639,557.76	174,889.28	1,464,668.48	89.33%	2,460,321.13
6200 - BLDGS & GROUNDS	54,283.65	45,287.31	8,996.34	16.57%	434,269.20	438,590.91	-4,321.71	-1.00%	651,665.00
6500 - LIBRARIES	12,865.06	128.11	12,736.95	99.00%	102,920.48	82,120.63	20,799.85	20.21%	154,442.61
7200 - CODE & DEVELOPMENT	74,840.92	47,148.17	27,692.75	37.00%	598,727.36	513,051.48	85,675.88	14.31%	898,451.00

Monthly Budget Report

For Fiscal: 2023 Period Ending: 08 253 3

DEP...	August Budget	August Activity	Variance		YTD Budget	YTD Activity	Variance		Total Budget
			Favorable (Unfavorable)	Percent Remaining			Favorable (Unfavorable)	Percent Remaining	
7400 - PLANNING AND ZONING	403.50	0.00	403.50	100.00%	3,228.00	0.00	3,228.00	100.00%	4,844.00
7520 - ECONOMIC DEVELOPMENT & PLANNNG	48,232.83	48,339.39	-106.56	-0.22%	385,862.64	338,197.88	47,664.76	12.35%	579,026.00
7550 - DOWNTOWN DEVELOPMENT	2,119.98	90.24	2,029.74	95.74%	16,959.84	13,065.05	3,894.79	22.96%	25,450.00
7563 - AIRPORT	22,079.85	6,236.22	15,843.63	71.76%	176,638.80	141,675.14	34,963.66	19.79%	265,065.00
Total Expense:	1,622,201.72	1,513,673.10	108,528.62	6.69%	12,977,613.76	11,672,818.74	1,304,795.02	10.05%	19,474,218.55
Report Total:	0.61	-496,552.56	-496,553.17		4.88	-2,062,325.39	-2,062,330.27		-0.02



Monroe, GA

General Fund Income Statement

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023

DEPT	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Revenue					
1510 - FINANCE ADMIN	15,022,894.01	15,022,894.01	727,928.74	6,523,408.06	8,499,485.95
1519 - INTERGOVERNMENTAL	2,303,237.00	2,303,237.00	199,231.95	1,591,641.40	711,595.60
1565 - WALTON PLAZA	3,308.00	3,308.00	275.63	2,205.04	1,102.96
2650 - MUNICIPAL COURT	300,000.00	300,000.00	15,974.80	183,402.97	116,597.03
3200 - POLICE	434,258.00	434,258.00	21,160.01	289,748.12	144,509.88
3500 - FIRE OPERATIONS	65,621.52	65,621.52	0.00	54,401.47	11,220.05
3510 - FIRE PREVENTION/CRR	20,000.00	20,000.00	450.00	27,625.47	-7,625.47
4200 - STREETS & TRANSPORTATION	225,025.00	225,025.00	0.00	178,925.21	46,099.79
5530 - COMMUNITY CENTER	48,333.00	48,333.00	4,583.33	30,833.33	17,499.67
6200 - BLDGS & GROUNDS	0.00	0.00	0.00	17,834.60	-17,834.60
7200 - CODE & DEVELOPMENT	647,100.00	647,100.00	24,922.97	531,192.41	115,907.59
7520 - ECONOMIC DEVELOPMENT & PLANNNG	20,000.00	20,000.00	8,150.00	9,379.00	10,621.00
7521 - MAINSTREET	35,000.00	35,000.00	0.00	26,250.00	8,750.00
7563 - AIRPORT	349,442.00	349,442.00	14,443.11	143,646.27	205,795.73
Revenue Total:	19,474,218.53	19,474,218.53	1,017,120.54	9,610,493.35	9,863,725.18
Expense					
1100 - LEGISLATIVE	251,706.00	251,706.00	20,016.47	180,791.20	70,914.80
1300 - EXECUTIVE	472,190.00	472,190.00	36,223.06	315,252.06	156,937.94
1400 - ELECTIONS	20,300.00	20,300.00	0.00	0.00	20,300.00
1500 - GENERAL ADMIN	79,544.00	79,544.00	5,786.76	55,187.92	24,356.08
1510 - FINANCE ADMIN	506,034.00	506,034.00	266,529.82	458,137.26	47,896.74
1530 - LAW	160,000.00	160,000.00	24,182.76	103,409.41	56,590.59
1560 - AUDIT	40,000.00	40,000.00	1,030.00	52,030.00	-12,030.00
1565 - WALTON PLAZA	591,849.81	591,849.81	120,849.37	416,907.64	174,942.17
2650 - MUNICIPAL COURT	254,944.00	254,944.00	21,950.42	165,592.84	89,351.16
3200 - POLICE	7,408,105.00	7,408,105.00	540,863.19	5,313,263.76	2,094,841.24
3500 - FIRE OPERATIONS	2,692,801.00	2,692,801.00	173,182.17	1,812,939.77	879,861.23
3510 - FIRE PREVENTION/CRR	104,371.00	104,371.00	5,836.13	55,680.19	48,690.81
4200 - STREETS & TRANSPORTATION	1,834,029.00	1,834,029.00	124,482.55	1,019,616.05	814,412.95
5500 - COMMUNITY SERVICES	12,900.00	12,900.00	0.00	11,431.00	1,469.00
5530 - COMMUNITY CENTER	6,180.00	6,180.00	97.83	10,989.27	-4,809.27
6100 - RECREATION	2,460,321.13	2,460,321.13	25,413.13	174,889.28	2,285,431.85
6200 - BLDGS & GROUNDS	651,665.00	651,665.00	45,287.31	438,590.91	213,074.09
6500 - LIBRARIES	154,442.61	154,442.61	128.11	82,120.63	72,321.98
7200 - CODE & DEVELOPMENT	898,451.00	898,451.00	47,148.17	513,051.48	385,399.52
7400 - PLANNING AND ZONING	4,844.00	4,844.00	0.00	0.00	4,844.00
7520 - ECONOMIC DEVELOPMENT & PLANNNG	579,026.00	579,026.00	48,339.39	338,197.88	240,828.12
7550 - DOWNTOWN DEVELOPMENT	25,450.00	25,450.00	90.24	13,065.05	12,384.95
7563 - AIRPORT	265,065.00	265,065.00	6,236.22	141,675.14	123,389.86
Expense Total:	19,474,218.55	19,474,218.55	1,513,673.10	11,672,818.74	7,801,399.81
Total Surplus (Deficit):	-0.02	-0.02	-496,552.56	-2,062,325.39	



Monroe, GA

General Fund Prior-Year Comparative Income Statement

Group Summary

For the Period Ending 08/31/2023

DEP...	2022 Aug. Activity	2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2022 YTD Activity	2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Revenue								
1510 - FINANCE ADMIN	920,414.04	727,928.74	-192,485.30	-20.91%	6,673,146.49	6,523,408.06	-149,738.43	-2.24%
1519 - INTERGOVERNMENTAL	0.00	199,231.95	199,231.95	0.00%	24,935.00	1,591,641.40	1,566,706.40	6,283.16%
1565 - WALTON PLAZA	275.63	275.63	0.00	0.00%	2,205.04	2,205.04	0.00	0.00%
2650 - MUNICIPAL COURT	28,425.15	15,974.80	-12,450.35	-43.80%	173,634.62	183,402.97	9,768.35	5.63%
3200 - POLICE	65,853.01	21,160.01	-44,693.00	-67.87%	145,994.22	289,748.12	143,753.90	98.47%
3500 - FIRE OPERATIONS	0.00	0.00	0.00	0.00%	10,532.00	54,401.47	43,869.47	416.54%
3510 - FIRE PREVENTION/CRR	1,050.00	450.00	-600.00	-57.14%	7,305.00	27,625.47	20,320.47	278.17%
4200 - STREETS & TRANSPORTATION	5,520.00	0.00	-5,520.00	-100.00%	196,517.71	178,925.21	-17,592.50	-8.95%
5530 - COMMUNITY CENTER	0.00	4,583.33	4,583.33	0.00%	27,083.36	30,833.33	3,749.97	13.85%
6200 - BLDGS & GROUNDS	0.00	0.00	0.00	0.00%	0.00	17,834.60	17,834.60	0.00%
7200 - CODE & DEVELOPMENT	35,988.15	24,922.97	-11,065.18	-30.75%	496,827.73	531,192.41	34,364.68	6.92%
7520 - ECONOMIC DEVELOPMENT & PLANNNG	0.00	8,150.00	8,150.00	0.00%	7,779.00	9,379.00	1,600.00	20.57%
7521 - MAINSTREET	8,750.00	0.00	-8,750.00	-100.00%	17,500.00	26,250.00	8,750.00	50.00%
7563 - AIRPORT	23,486.25	14,443.11	-9,043.14	-38.50%	204,098.28	143,646.27	-60,452.01	-29.62%
Revenue Total:	1,089,762.23	1,017,120.54	-72,641.69	-6.67%	7,987,558.45	9,610,493.35	1,622,934.90	20.32%
Expense								
1100 - LEGISLATIVE	26,911.45	20,016.47	6,894.98	25.62%	183,124.54	180,791.20	2,333.34	1.27%
1300 - EXECUTIVE	88,654.62	36,223.06	52,431.56	59.14%	240,827.68	315,252.06	-74,424.38	-30.90%
1500 - GENERAL ADMIN	10,559.79	5,786.76	4,773.03	45.20%	96,683.06	55,187.92	41,495.14	42.92%
1510 - FINANCE ADMIN	11,715.19	266,529.82	-254,814.63	-2,175.08%	194,395.86	458,137.26	-263,741.40	-135.67%
1530 - LAW	55.00	24,182.76	-24,127.76	-43,868.65%	50,860.39	103,409.41	-52,549.02	-103.32%
1560 - AUDIT	0.00	1,030.00	-1,030.00	0.00%	40,000.00	52,030.00	-12,030.00	-30.08%
1565 - WALTON PLAZA	120,908.39	120,849.37	59.02	0.05%	418,135.64	416,907.64	1,228.00	0.29%
2650 - MUNICIPAL COURT	13,726.00	21,950.42	-8,224.42	-59.92%	134,654.51	165,592.84	-30,938.33	-22.98%
3200 - POLICE	663,966.64	540,863.19	123,103.45	18.54%	4,191,978.01	5,313,263.76	-1,121,285.75	-26.75%
3500 - FIRE OPERATIONS	186,710.82	173,182.17	13,528.65	7.25%	1,625,351.97	1,812,939.77	-187,587.80	-11.54%
3510 - FIRE PREVENTION/CRR	14,614.06	5,836.13	8,777.93	60.06%	64,801.59	55,680.19	9,121.40	14.08%
4200 - STREETS & TRANSPORTATION	128,864.61	124,482.55	4,382.06	3.40%	945,725.38	1,019,616.05	-73,890.67	-7.81%
5500 - COMMUNITY SERVICES	0.00	0.00	0.00	0.00%	9,931.00	11,431.00	-1,500.00	-15.10%
5530 - COMMUNITY CENTER	497.59	97.83	399.76	80.34%	16,452.03	10,989.27	5,462.76	33.20%
6100 - RECREATION	0.00	25,413.13	-25,413.13	0.00%	0.00	174,889.28	-174,889.28	0.00%
6200 - BLDGS & GROUNDS	56,798.45	45,287.31	11,511.14	20.27%	540,612.54	438,590.91	102,021.63	18.87%
6500 - LIBRARIES	5,395.32	128.11	5,267.21	97.63%	73,902.66	82,120.63	-8,217.97	-11.12%
7200 - CODE & DEVELOPMENT	71,060.72	47,148.17	23,912.55	33.65%	478,208.71	513,051.48	-34,842.77	-7.29%
7520 - ECONOMIC DEVELOPMENT & PLANNNG	34,712.21	48,339.39	-13,627.18	-39.26%	233,707.33	338,197.88	-104,490.55	-44.71%

General Fund Prior-Year Comparative Income Statement

For the Period Ending 08/31/

DEP...	2022		2023		Aug. Variance		YTD Variance	
	Aug. Activity	Aug. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	YTD Activity	Favorable / (Unfavorable)	Variance %
7550 - DOWNTOWN DEVELOPMENT	273.51	90.24	183.27	67.01%	12,773.51	13,065.05	-291.54	-2.28%
7563 - AIRPORT	38,335.01	6,236.22	32,098.79	83.73%	186,018.61	141,675.14	44,343.47	23.84%
Expense Total:	1,473,759.38	1,513,673.10	-39,913.72	-2.71%	9,738,145.02	11,672,818.74	-1,934,673.72	-19.87%
Total Surplus (Deficit):	-383,997.15	-496,552.56	-112,555.41	-29.31%	-1,750,586.57	-2,062,325.39	-311,738.82	-17.81%



Monroe, GA

General Fund Budget Report

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023

DEP...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
1510 - FINANCE ADMIN	15,022,894.01	15,022,894.01	727,928.74	6,523,408.06	-8,499,485.95	56.58%
1519 - INTERGOVERNMENTAL	2,303,237.00	2,303,237.00	199,231.95	1,591,641.40	-711,595.60	30.90%
1565 - WALTON PLAZA	3,308.00	3,308.00	275.63	2,205.04	-1,102.96	33.34%
2650 - MUNICIPAL COURT	300,000.00	300,000.00	15,974.80	183,402.97	-116,597.03	38.87%
3200 - POLICE	434,258.00	434,258.00	21,160.01	289,748.12	-144,509.88	33.28%
3500 - FIRE OPERATIONS	65,621.52	65,621.52	0.00	54,401.47	-11,220.05	17.10%
3510 - FIRE PREVENTION/CRR	20,000.00	20,000.00	450.00	27,625.47	7,625.47	38.13%
4200 - STREETS & TRANSPORTATION	225,025.00	225,025.00	0.00	178,925.21	-46,099.79	20.49%
5530 - COMMUNITY CENTER	48,333.00	48,333.00	4,583.33	30,833.33	-17,499.67	36.21%
6200 - BLDGS & GROUNDS	0.00	0.00	0.00	17,834.60	17,834.60	0.00%
7200 - CODE & DEVELOPMENT	647,100.00	647,100.00	24,922.97	531,192.41	-115,907.59	17.91%
7520 - ECONOMIC DEVELOPMENT & PLANNNG	20,000.00	20,000.00	8,150.00	9,379.00	-10,621.00	53.11%
7521 - MAINSTREET	35,000.00	35,000.00	0.00	26,250.00	-8,750.00	25.00%
7563 - AIRPORT	349,442.00	349,442.00	14,443.11	143,646.27	-205,795.73	58.89%
Revenue Total:	19,474,218.53	19,474,218.53	1,017,120.54	9,610,493.35	-9,863,725.18	50.65%
Expense						
1100 - LEGISLATIVE	251,706.00	251,706.00	20,016.47	180,791.20	70,914.80	28.17%
1300 - EXECUTIVE	472,190.00	472,190.00	36,223.06	315,252.06	156,937.94	33.24%
1400 - ELECTIONS	20,300.00	20,300.00	0.00	0.00	20,300.00	100.00%
1500 - GENERAL ADMIN	79,544.00	79,544.00	5,786.76	55,187.92	24,356.08	30.62%
1510 - FINANCE ADMIN	506,034.00	506,034.00	266,529.82	458,137.26	47,896.74	9.47%
1530 - LAW	160,000.00	160,000.00	24,182.76	103,409.41	56,590.59	35.37%
1560 - AUDIT	40,000.00	40,000.00	1,030.00	52,030.00	-12,030.00	-30.08%
1565 - WALTON PLAZA	591,849.81	591,849.81	120,849.37	416,907.64	174,942.17	29.56%
2650 - MUNICIPAL COURT	254,944.00	254,944.00	21,950.42	165,592.84	89,351.16	35.05%
3200 - POLICE	7,408,105.00	7,408,105.00	540,863.19	5,313,263.76	2,094,841.24	28.28%
3500 - FIRE OPERATIONS	2,692,801.00	2,692,801.00	173,182.17	1,812,939.77	879,861.23	32.67%
3510 - FIRE PREVENTION/CRR	104,371.00	104,371.00	5,836.13	55,680.19	48,690.81	46.65%
4200 - STREETS & TRANSPORTATION	1,834,029.00	1,834,029.00	124,482.55	1,019,616.05	814,412.95	44.41%
5500 - COMMUNITY SERVICES	12,900.00	12,900.00	0.00	11,431.00	1,469.00	11.39%
5530 - COMMUNITY CENTER	6,180.00	6,180.00	97.83	10,989.27	-4,809.27	-77.82%
6100 - RECREATION	2,460,321.13	2,460,321.13	25,413.13	174,889.28	2,285,431.85	92.89%
6200 - BLDGS & GROUNDS	651,665.00	651,665.00	45,287.31	438,590.91	213,074.09	32.70%
6500 - LIBRARIES	154,442.61	154,442.61	128.11	82,120.63	72,321.98	46.83%
7200 - CODE & DEVELOPMENT	898,451.00	898,451.00	47,148.17	513,051.48	385,399.52	42.90%
7400 - PLANNING AND ZONING	4,844.00	4,844.00	0.00	0.00	4,844.00	100.00%
7520 - ECONOMIC DEVELOPMENT & PLANNNG	579,026.00	579,026.00	48,339.39	338,197.88	240,828.12	41.59%
7550 - DOWNTOWN DEVELOPMENT	25,450.00	25,450.00	90.24	13,065.05	12,384.95	48.66%
7563 - AIRPORT	265,065.00	265,065.00	6,236.22	141,675.14	123,389.86	46.55%
Expense Total:	19,474,218.55	19,474,218.55	1,513,673.10	11,672,818.74	7,801,399.81	40.06%
Report Surplus (Deficit):	-0.02	-0.02	-496,552.56	-2,062,325.39	-2,062,325.37	26,850.00%



Utilities Fund

For Fiscal Period Ending: August 2023

	Original Total Budget	Current Total Budget	Period Activity	YTD	Assumed Sept-Dec	Projected Year End 2023	Year End 2022
Revenue							
4002 - WATER	8,103,733	8,103,733	692,780	5,041,787	4,210,166	9,251,953	9,713,582
4003 - SEWER	5,213,333	5,213,333	442,800	3,382,133	1,738,218	5,120,350	5,343,417
4004 - STORMWATER	8,000	8,000	-	2,300	-	2,300	6,608
4005 - GAS	5,741,619	5,741,619	191,030	3,725,682	1,496,731	5,222,413	5,836,544
4006 - GUTA	63,880	63,880	4,140	30,575	27,093	57,668	157,163
4008 - ELECTRIC	20,753,333	20,753,333	2,056,312	14,236,573	6,940,028	21,176,601	20,677,315
4009 - TELECOM & INTERNET	4,143,333	4,143,333	372,821	2,904,661	1,417,840	4,322,501	4,069,720
4010 - CABLE TV	2,773,333	2,773,333	218,683	1,828,763	960,331	2,789,094	2,985,527
4012 - UTIL FINANCE	-	-	2,056	354,860	58,876	413,737	742,590
4015- CENTRAL SERVICES	-	-	-	-	6,500	6,500	6,500
Revenue Total:	46,800,566	46,800,566	3,980,621	31,507,334	16,855,784	48,363,118	49,538,966
Expense							
4002 - WATER	7,223,733	7,223,733	541,477	4,446,822	2,333,319	6,780,140	6,740,221
4003 - SEWER	5,716,536	5,716,536	391,796	3,436,937	1,671,157	5,108,094	5,113,182
4004 - STORMWATER	483,003	483,003	49,342	354,733	112,617	467,350	366,429
4005 - GAS	6,691,442	6,691,442	251,885	3,622,852	1,984,134	5,606,985	5,614,801
4006 - GUTA	63,930	63,930	3,752	34,009	93,099	127,108	265,091
4007 - GEN ADMIN WSG	257,416	257,416	22,339	186,327	96,378	282,705	253,009
4008 - ELECTRIC	18,114,008	18,114,008	1,089,256	13,403,638	7,480,829	20,884,468	20,327,470
4009 - TELECOM & INTERNET	3,410,627	3,410,627	286,254	2,362,977	1,070,245	3,433,222	3,021,142
4010 - CABLE TV	4,542,960	4,542,960	329,217	2,782,590	1,351,281	4,133,871	4,171,000
4011 - GEN ADMIN ELEC/TELECOM	217,399	217,399	15,879	145,951	76,434	222,386	219,793
4012 - UTIL FINANCE	(2,634,804)	(2,634,804)	(198,668)	(2,363,746)	(888,546)	(3,252,291)	(2,852,933)
4013 - UTIL CUST SVC	1,452,640	1,452,640	109,046	1,020,162	635,910	1,656,072	1,689,047
4014 - UTIL BILLING	507,661	507,661	37,963	371,714	175,506	547,220	511,268
4015 - CENTRAL SERVICES	754,016	754,016	70,525	647,817	414,160	1,061,977	1,228,466
CAPITAL	-	-	-	-	-	-	-
Expense Total:	46,800,566	46,800,566	3,000,062	30,452,783	16,606,524	47,059,307	46,667,986
Report Surplus (Deficit):				1,054,552		1,303,812	2,870,980



Monroe, GA

Utility Fund Monthly Budget Report

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023

without Capital

ACTIVIT...	August Budget	August Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
Revenue									
4002 - WATER	675,040.98	692,780.06	17,739.08	2.63%	5,400,327.84	5,041,786.80	-358,541.04	-6.64%	8,103,733.33
4003 - SEWER	434,270.66	442,799.56	8,528.90	1.96%	3,474,165.28	3,382,132.88	-92,032.40	-2.65%	5,213,333.33
4004 - STORMWATER	666.40	0.00	-666.40	-100.00%	5,331.20	2,300.00	-3,031.20	-56.86%	8,000.00
4005 - GAS	478,276.88	191,029.84	-287,247.04	-60.06%	3,826,215.04	3,725,682.35	-100,532.69	-2.63%	5,741,619.33
4006 - GUTA	5,321.20	4,140.00	-1,181.20	-22.20%	42,569.60	30,575.00	-11,994.60	-28.18%	63,880.00
4008 - ELECTRIC	1,728,752.66	2,056,311.73	327,559.07	18.95%	13,830,021.28	14,236,572.88	406,551.60	2.94%	20,753,333.33
4009 - TELECOM & INTERNET	345,139.66	372,820.96	27,681.30	8.02%	2,761,117.28	2,904,660.75	143,543.47	5.20%	4,143,333.33
4010 - CABLE TV	231,018.66	218,682.52	-12,336.14	-5.34%	1,848,149.28	1,828,763.27	-19,386.01	-1.05%	2,773,333.33
4012 - UTIL FINANCE	0.00	2,056.29	2,056.29	0.00%	0.00	354,860.49	354,860.49	0.00%	0.00
Total Revenue:	3,898,487.10	3,980,620.96	82,133.86	2.11%	31,187,896.80	31,507,334.42	319,437.62	1.02%	46,800,565.98
Expense									
4002 - WATER	601,736.83	541,477.24	60,259.59	10.01%	4,813,894.64	4,446,821.90	367,072.74	7.63%	7,223,732.95
4003 - SEWER	476,187.27	391,795.67	84,391.60	17.72%	3,809,498.16	3,436,936.88	372,561.28	9.78%	5,716,535.60
4004 - STORMWATER	40,234.11	49,341.68	-9,107.57	-22.64%	321,872.88	354,732.61	-32,859.73	-10.21%	483,003.00
4005 - GAS	557,397.03	251,885.21	305,511.82	54.81%	4,459,176.24	3,622,475.62	836,700.62	18.76%	6,691,441.89
4006 - GUTA	5,325.35	3,751.65	1,573.70	29.55%	42,602.80	34,008.95	8,593.85	20.17%	63,930.00
4007 - GEN ADMIN WSG	21,442.70	22,339.25	-896.55	-4.18%	171,541.60	186,327.22	-14,785.62	-8.62%	257,416.00
4008 - ELECTRIC	1,508,896.82	1,089,255.97	419,640.85	27.81%	12,071,174.56	13,403,638.39	-1,332,463.83	-11.04%	18,114,008.00
4009 - TELECOM & INTERNET	284,105.16	286,254.42	-2,149.26	-0.76%	2,272,841.28	2,362,976.56	-90,135.28	-3.97%	3,410,627.00
4010 - CABLE TV	378,428.50	329,216.51	49,211.99	13.00%	3,027,428.00	2,782,590.11	244,837.89	8.09%	4,542,960.00
4011 - GEN ADMIN ELEC/TELECOM	18,109.28	15,879.12	2,230.16	12.32%	144,874.24	145,951.23	-1,076.99	-0.74%	217,399.00
4012 - UTIL FINANCE	-219,479.21	-198,667.82	-20,811.39	9.48%	-1,755,833.68	-2,363,745.66	607,911.98	-34.62%	-2,634,804.00
4013 - UTIL CUST SVC	121,004.88	109,045.56	11,959.32	9.88%	968,039.04	1,020,162.14	-52,123.10	-5.38%	1,452,640.00
4014 - UTIL BILLING	42,288.13	37,962.56	4,325.57	10.23%	338,305.04	371,713.63	-33,408.59	-9.88%	507,661.00
4015 - CENTRAL SERVICES	62,809.47	70,525.38	-7,715.91	-12.28%	502,475.76	647,817.68	-145,341.92	-28.93%	754,016.00
Total Expense:	3,898,486.32	3,000,062.40	898,423.92	23.05%	31,187,890.56	30,452,407.26	735,483.30	2.36%	46,800,566.44
Report Total:	0.78	980,558.56	980,557.78		6.24	1,054,927.16	1,054,920.92		-0.46



Monroe, GA

Utility Fund Income Statement

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023
with Capital

ACTIVITY	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Revenue					
4002 - WATER	8,103,733.33	8,103,733.33	692,780.06	5,061,477.80	3,042,255.53
4003 - SEWER	5,213,333.33	5,213,333.33	442,799.56	3,382,132.88	1,831,200.45
4004 - STORMWATER	8,000.00	8,000.00	0.00	2,300.00	5,700.00
4005 - GAS	5,741,619.33	5,741,619.33	191,029.84	3,725,682.35	2,015,936.98
4006 - GUTA	63,880.00	63,880.00	4,140.00	30,575.00	33,305.00
4008 - ELECTRIC	20,753,333.33	20,753,333.33	2,056,311.73	14,261,109.88	6,492,223.45
4009 - TELECOM & INTERNET	4,143,333.33	4,143,333.33	372,820.96	2,904,660.75	1,238,672.58
4010 - CABLE TV	2,773,333.33	2,773,333.33	218,682.52	1,828,763.27	944,570.06
4012 - UTIL FINANCE	0.00	0.00	2,056.29	354,860.49	-354,860.49
Revenue Total:	46,800,565.98	46,800,565.98	3,980,620.96	31,551,562.42	15,249,003.56
Expense					
4002 - WATER	7,223,732.95	7,223,732.95	631,714.74	7,738,195.02	-514,462.07
4003 - SEWER	5,716,535.60	5,716,535.60	451,192.63	4,258,064.82	1,458,470.78
4004 - STORMWATER	483,003.00	483,003.00	49,341.68	386,806.81	96,196.19
4005 - GAS	6,691,441.89	6,691,441.89	277,588.21	3,648,178.62	3,043,263.27
4006 - GUTA	63,930.00	63,930.00	3,751.65	34,008.95	29,921.05
4007 - GEN ADMIN WSG	257,416.00	257,416.00	22,339.25	186,327.22	71,088.78
4008 - ELECTRIC	18,114,008.00	18,114,008.00	1,116,522.77	14,125,603.05	3,988,404.95
4009 - TELECOM & INTERNET	3,410,627.00	3,410,627.00	1,103,112.96	6,789,635.45	-3,379,008.45
4010 - CABLE TV	4,542,960.00	4,542,960.00	329,216.51	2,785,686.11	1,757,273.89
4011 - GEN ADMIN ELEC/TELECOM	217,399.00	217,399.00	15,879.12	145,951.23	71,447.77
4012 - UTIL FINANCE	-2,634,804.00	-2,634,804.00	-195,042.82	-2,193,257.66	-441,546.34
4013 - UTIL CUST SVC	1,452,640.00	1,452,640.00	109,045.56	1,020,162.14	432,477.86
4014 - UTIL BILLING	507,661.00	507,661.00	37,962.56	371,713.63	135,947.37
4015 - CENTRAL SERVICES	754,016.00	754,016.00	70,525.38	650,743.66	103,272.34
Expense Total:	46,800,566.44	46,800,566.44	4,023,150.20	39,947,819.05	6,852,747.39
Total Surplus (Deficit):	-0.46	-0.46	-42,529.24	-8,396,256.63	



Monroe, GA

Utility Fund Prior-Year Comparative Income Statement

Group Summary
For the Period Ending 08/31/2023
with Capital

ACTIVIT...	2022 Aug. Activity	2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2022 YTD Activity	2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Revenue								
4002 - WATER	1,029,910.23	692,780.06	-337,130.17	-32.73%	5,501,614.23	5,061,477.80	-440,136.43	-8.00%
4003 - SEWER	483,049.95	442,799.56	-40,250.39	-8.33%	3,605,199.83	3,382,132.88	-223,066.95	-6.19%
4004 - STORMWATER	450.00	0.00	-450.00	-100.00%	3,880.00	2,300.00	-1,580.00	-40.72%
4005 - GAS	535,339.02	191,029.84	-344,309.18	-64.32%	4,339,813.15	3,725,682.35	-614,130.80	-14.15%
4006 - GUTA	16,785.08	4,140.00	-12,645.08	-75.34%	130,070.08	30,575.00	-99,495.08	-76.49%
4008 - ELECTRIC	2,072,950.71	2,056,311.73	-16,638.98	-0.80%	13,712,536.57	14,261,109.88	548,573.31	4.00%
4009 - TELECOM & INTERNET	340,044.10	372,820.96	32,776.86	9.64%	2,651,879.36	2,904,660.75	252,781.39	9.53%
4010 - CABLE TV	249,423.15	218,682.52	-30,740.63	-12.32%	2,025,196.39	1,828,763.27	-196,433.12	-9.70%
4012 - UTIL FINANCE	48,168.73	2,056.29	-46,112.44	-95.73%	683,713.51	354,860.49	-328,853.02	-48.10%
Revenue Total:	4,776,120.97	3,980,620.96	-795,500.01	-16.66%	32,653,903.12	31,551,562.42	-1,102,340.70	-3.38%
Expense								
4002 - WATER	1,161,481.42	631,714.74	529,766.68	45.61%	5,880,203.52	7,738,195.02	-1,857,991.50	-31.60%
4003 - SEWER	1,775,049.53	451,192.63	1,323,856.90	74.58%	6,089,762.89	4,258,064.82	1,831,698.07	30.08%
4004 - STORMWATER	34,333.17	49,341.68	-15,008.51	-43.71%	1,845,254.25	386,806.81	1,458,447.44	79.04%
4005 - GAS	329,226.29	277,588.21	51,638.08	15.68%	4,014,627.56	3,648,178.62	366,448.94	9.13%
4006 - GUTA	19,500.12	3,751.65	15,748.47	80.76%	170,486.04	34,008.95	136,477.09	80.05%
4007 - GEN ADMIN WSG	19,465.06	22,339.25	-2,874.19	-14.77%	156,631.02	186,327.22	-29,696.20	-18.96%
4008 - ELECTRIC	1,952,342.91	1,116,522.77	835,820.14	42.81%	13,246,581.16	14,125,603.05	-879,021.89	-6.64%
4009 - TELECOM & INTERNET	621,407.88	1,103,112.96	-481,705.08	-77.52%	4,482,550.10	6,789,635.45	-2,307,085.35	-51.47%
4010 - CABLE TV	352,679.08	329,216.51	23,462.57	6.65%	2,800,160.39	2,785,686.11	14,474.28	0.52%
4011 - GEN ADMIN ELEC/TELECOM	17,365.03	15,879.12	1,485.91	8.56%	143,358.44	145,951.23	-2,592.79	-1.81%
4012 - UTIL FINANCE	-162,343.30	-195,042.82	32,699.52	20.14%	-1,988,824.56	-2,193,257.66	204,433.10	10.28%
4013 - UTIL CUST SVC	118,897.15	109,045.56	9,851.59	8.29%	1,053,137.42	1,020,162.14	32,975.28	3.13%
4014 - UTIL BILLING	37,405.62	37,962.56	-556.94	-1.49%	334,403.07	371,713.63	-37,310.56	-11.16%
4015 - CENTRAL SERVICES	88,109.05	70,525.38	17,583.67	19.96%	858,402.33	650,743.66	207,658.67	24.19%
Expense Total:	6,364,919.01	4,023,150.20	2,341,768.81	36.79%	39,086,733.63	39,947,819.05	-861,085.42	-2.20%
Total Surplus (Deficit):	-1,588,798.04	-42,529.24	1,546,268.80	97.32%	-6,432,830.51	-8,396,256.63	-1,963,426.12	-30.52%



Monroe, GA

Utility Fund Budget Report

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023

without Capital

ACTIVIT...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
4002 - WATER	8,103,733.33	8,103,733.33	692,780.06	5,041,786.80	-3,061,946.53	37.78%
4003 - SEWER	5,213,333.33	5,213,333.33	442,799.56	3,382,132.88	-1,831,200.45	35.13%
4004 - STORMWATER	8,000.00	8,000.00	0.00	2,300.00	-5,700.00	71.25%
4005 - GAS	5,741,619.33	5,741,619.33	191,029.84	3,725,682.35	-2,015,936.98	35.11%
4006 - GUTA	63,880.00	63,880.00	4,140.00	30,575.00	-33,305.00	52.14%
4008 - ELECTRIC	20,753,333.33	20,753,333.33	2,056,311.73	14,236,572.88	-6,516,760.45	31.40%
4009 - TELECOM & INTERNET	4,143,333.33	4,143,333.33	372,820.96	2,904,660.75	-1,238,672.58	29.90%
4010 - CABLE TV	2,773,333.33	2,773,333.33	218,682.52	1,828,763.27	-944,570.06	34.06%
4012 - UTIL FINANCE	0.00	0.00	2,056.29	354,860.49	354,860.49	0.00%
Revenue Total:	46,800,565.98	46,800,565.98	3,980,620.96	31,507,334.42	-15,293,231.56	32.68%
Expense						
4002 - WATER	7,223,732.95	7,223,732.95	541,477.24	4,446,821.90	2,776,911.05	38.44%
4003 - SEWER	5,716,535.60	5,716,535.60	391,795.67	3,436,936.88	2,279,598.72	39.88%
4004 - STORMWATER	483,003.00	483,003.00	49,341.68	354,732.61	128,270.39	26.56%
4005 - GAS	6,691,441.89	6,691,441.89	251,885.21	3,622,475.62	3,068,966.27	45.86%
4006 - GUTA	63,930.00	63,930.00	3,751.65	34,008.95	29,921.05	46.80%
4007 - GEN ADMIN WSG	257,416.00	257,416.00	22,339.25	186,327.22	71,088.78	27.62%
4008 - ELECTRIC	18,114,008.00	18,114,008.00	1,089,255.97	13,403,638.39	4,710,369.61	26.00%
4009 - TELECOM & INTERNET	3,410,627.00	3,410,627.00	286,254.42	2,362,976.56	1,047,650.44	30.72%
4010 - CABLE TV	4,542,960.00	4,542,960.00	329,216.51	2,782,590.11	1,760,369.89	38.75%
4011 - GEN ADMIN ELEC/TELECOM	217,399.00	217,399.00	15,879.12	145,951.23	71,447.77	32.86%
4012 - UTIL FINANCE	-2,634,804.00	-2,634,804.00	-198,667.82	-2,363,745.66	-271,058.34	10.29%
4013 - UTIL CUST SVC	1,452,640.00	1,452,640.00	109,045.56	1,020,162.14	432,477.86	29.77%
4014 - UTIL BILLING	507,661.00	507,661.00	37,962.56	371,713.63	135,947.37	26.78%
4015 - CENTRAL SERVICES	754,016.00	754,016.00	70,525.38	647,817.68	106,198.32	14.08%
Expense Total:	46,800,566.44	46,800,566.44	3,000,062.40	30,452,407.26	16,348,159.18	34.93%
Report Surplus (Deficit):	-0.46	-0.46	980,558.56	1,054,927.16	1,054,927.62	32,091.30%



Monroe, GA

Utility Fund Budget Report

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023

Capital Revenue & Expense

ACTIVIT...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
4002 - WATER	0.00	0.00	0.00	19,691.00	19,691.00	0.00%
4003 - SEWER	0.00	0.00	0.00	0.00	0.00	0.00%
4005 - GAS	0.00	0.00	0.00	0.00	0.00	0.00%
4008 - ELECTRIC	0.00	0.00	0.00	24,537.00	24,537.00	0.00%
4009 - TELECOM & INTERNET	0.00	0.00	0.00	0.00	0.00	0.00%
4010 - CABLE TV	0.00	0.00	0.00	0.00	0.00	0.00%
4015 - CENTRAL SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	0.00	0.00	0.00	44,228.00	44,228.00	0.00%
Expense						
4002 - WATER	0.00	0.00	90,237.50	3,291,373.12	-3,291,373.12	0.00%
4003 - SEWER	0.00	0.00	59,396.96	821,127.94	-821,127.94	0.00%
4004 - STORMWATER	0.00	0.00	0.00	32,074.20	-32,074.20	0.00%
4005 - GAS	0.00	0.00	25,703.00	25,703.00	-25,703.00	0.00%
4006 - GUTA	0.00	0.00	0.00	0.00	0.00	0.00%
4008 - ELECTRIC	0.00	0.00	27,266.80	721,964.66	-721,964.66	0.00%
4009 - TELECOM & INTERNET	0.00	0.00	816,858.54	4,426,658.89	-4,426,658.89	0.00%
4010 - CABLE TV	0.00	0.00	0.00	3,096.00	-3,096.00	0.00%
4012 - UTIL FINANCE	0.00	0.00	3,625.00	170,488.00	-170,488.00	0.00%
4013 - UTIL CUST SVC	0.00	0.00	0.00	0.00	0.00	0.00%
4014 - UTIL BILLING	0.00	0.00	0.00	0.00	0.00	0.00%
4015 - CENTRAL SERVICES	0.00	0.00	0.00	2,925.98	-2,925.98	0.00%
Expense Total:	0.00	0.00	1,023,087.80	9,495,411.79	-9,495,411.79	0.00%
Report Surplus (Deficit):	0.00	0.00	-1,023,087.80	-9,451,183.79	-9,451,183.79	0.00%



Solid Waste Fund

For Fiscal Period Ending: August 2023

	Original Total Budget	Current Total Budget	Period Activity	YTD	Assumed Sept-Dec	Projected Year End 2023	Year End 2022
Revenue							
4510- SOLID WASTE ADMINISTRATION	-	-	-	-	-	-	2,943
4520 - SOLID WASTE COLLECTION	2,500,000	2,500,000	223,132	1,742,608	1,082,479	2,825,087	2,726,699
4530 - SOLID WASTE DISPOSAL	5,649,487	5,649,487	376,103	3,106,410	1,477,705	4,584,115	4,455,632
4540 - RECYCLABLES COLLECTION	32,000	32,000	6,937	25,563	11,202	36,765	37,405
4585- YARD TRIMMINGS COLLECTION	-	-	-	-	801	801	3,619
Revenue Total:	8,181,487	8,181,487	606,171	4,874,581	2,572,187	7,446,768	7,226,296
Expense							
4510 - SOLID WASTE ADMINISTRATION	416,904	416,904	33,650	248,019	176,764	424,784	424,344
4520 - SOLID WASTE COLLECTION	1,313,435	1,313,435	121,607	961,374	634,518	1,595,892	1,546,493
4530 - SOLID WASTE DISPOSAL	5,106,887	5,106,887	437,258	3,143,367	1,851,551	4,994,918	4,577,790
4540 - RECYCLABLES COLLECTION	237,741	237,741	23,327	127,084	37,119	164,203	135,875
4585 - YARD TRIMMINGS COLLECTION	301,676	301,676	24,168	221,860	117,887	339,747	316,791
9003 - SW - OTHER FINANCING USES	804,844	804,844	30,309	243,716	139,885	383,601	418,187
Expense Total:	8,181,487	8,181,487	670,320	4,945,421	2,957,724	7,903,144	7,419,479
Report Surplus (Deficit):				(70,839)		(456,376)	(193,183)



Monroe, GA

Solid Waste Fund Monthly Budget Report

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023
without Capital

DEP...	August Budget	August Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
Revenue									
4520 - SOLID WASTE COLLECTION	208,250.00	223,131.83	14,881.83	7.15%	1,666,000.00	1,742,608.10	76,608.10	4.60%	2,500,000.00
4530 - SOLID WASTE DISPOSAL	470,602.26	376,102.95	-94,499.31	-20.08%	3,764,818.08	3,106,410.02	-658,408.06	-17.49%	5,649,487.00
4540 - RECYCLABLES COLLECTION	2,665.60	6,936.53	4,270.93	160.22%	21,324.80	25,563.06	4,238.26	19.87%	32,000.00
Total Revenue:	681,517.86	606,171.31	-75,346.55	-11.06%	5,452,142.88	4,874,581.18	-577,561.70	-10.59%	8,181,487.00
Expense									
4510 - SOLID WASTE ADMINISTRATION	34,728.06	33,650.37	1,077.69	3.10%	277,824.48	248,019.23	29,805.25	10.73%	416,904.00
4520 - SOLID WASTE COLLECTION	109,409.09	121,607.22	-12,198.13	-11.15%	875,272.72	961,374.21	-86,101.49	-9.84%	1,313,435.00
4530 - SOLID WASTE DISPOSAL	425,403.64	437,258.43	-11,854.79	-2.79%	3,403,229.12	3,143,367.01	259,862.11	7.64%	5,106,887.00
4540 - RECYCLABLES COLLECTION	19,803.76	23,326.97	-3,523.21	-17.79%	158,430.08	127,084.23	31,345.85	19.79%	237,741.00
4585 - YARD TRIMMINGS COLLECTION	25,129.58	24,168.37	961.21	3.83%	201,036.64	221,859.85	-20,823.21	-10.36%	301,676.00
9003 - SW - OTHER FINANCING USES	67,043.50	30,308.57	36,734.93	54.79%	536,348.00	243,715.98	292,632.02	54.56%	804,844.11
Total Expense:	681,517.63	670,319.93	11,197.70	1.64%	5,452,141.04	4,945,420.51	506,720.53	9.29%	8,181,487.11
Report Total:	0.23	-64,148.62	-64,148.85		1.84	-70,839.33	-70,841.17		-0.11



Monroe, GA

Solid Waste Fund Income Statement

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023
with Capital

DEPT	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Revenue					
4520 - SOLID WASTE COLLECTION	2,500,000.00	2,500,000.00	223,131.83	1,742,608.10	757,391.90
4530 - SOLID WASTE DISPOSAL	5,649,487.00	5,649,487.00	376,102.95	3,106,410.02	2,543,076.98
4540 - RECYCLABLES COLLECTION	32,000.00	32,000.00	6,936.53	25,563.06	6,436.94
Revenue Total:	8,181,487.00	8,181,487.00	606,171.31	4,874,581.18	3,306,905.82
Expense					
4510 - SOLID WASTE ADMINISTRATION	416,904.00	416,904.00	33,650.37	259,236.00	157,668.00
4520 - SOLID WASTE COLLECTION	1,313,435.00	1,313,435.00	272,359.22	1,272,661.21	40,773.79
4530 - SOLID WASTE DISPOSAL	5,106,887.00	5,106,887.00	437,258.43	3,177,007.46	1,929,879.54
4540 - RECYCLABLES COLLECTION	237,741.00	237,741.00	23,326.97	127,084.23	110,656.77
4585 - YARD TRIMMINGS COLLECTION	301,676.00	301,676.00	24,168.37	221,859.85	79,816.15
9003 - SW - OTHER FINANCING USES	804,844.11	804,844.11	30,308.57	243,715.98	561,128.13
Expense Total:	8,181,487.11	8,181,487.11	821,071.93	5,301,564.73	2,879,922.38
Total Surplus (Deficit):	-0.11	-0.11	-214,900.62	-426,983.55	



Monroe, GA

Solid Waste Fund Prior-Year Comparative Income Statement

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Group Summary
For the Period Ending 08/31/2023
with Capital

DEP...	2022 Aug. Activity	2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2022 YTD Activity	2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Revenue								
4510 - SOLID WASTE ADMINISTRATION	2,942.56	0.00	-2,942.56	-100.00%	2,942.56	0.00	-2,942.56	-100.00%
4520 - SOLID WASTE COLLECTION	215,449.10	223,131.83	7,682.73	3.57%	1,644,219.66	1,742,608.10	98,388.44	5.98%
4530 - SOLID WASTE DISPOSAL	381,062.49	376,102.95	-4,959.54	-1.30%	2,977,926.84	3,106,410.02	128,483.18	4.31%
4540 - RECYCLABLES COLLECTION	3,933.86	6,936.53	3,002.67	76.33%	26,202.74	25,563.06	-639.68	-2.44%
4585 - YARD TRIMMINGS COLLECTION	2,817.44	0.00	-2,817.44	-100.00%	2,817.44	0.00	-2,817.44	-100.00%
Revenue Total:	606,205.45	606,171.31	-34.14	-0.01%	4,654,109.24	4,874,581.18	220,471.94	4.74%
Expense								
4510 - SOLID WASTE ADMINISTRATION	31,392.41	33,650.37	-2,257.96	-7.19%	254,701.48	259,236.00	-4,534.52	-1.78%
4520 - SOLID WASTE COLLECTION	118,057.40	272,359.22	-154,301.82	-130.70%	1,212,920.54	1,272,661.21	-59,740.67	-4.93%
4530 - SOLID WASTE DISPOSAL	381,106.83	437,258.43	-56,151.60	-14.73%	2,738,714.66	3,177,007.46	-438,292.80	-16.00%
4540 - RECYCLABLES COLLECTION	17,918.53	23,326.97	-5,408.44	-30.18%	98,756.54	127,084.23	-28,327.69	-28.68%
4585 - YARD TRIMMINGS COLLECTION	24,714.84	24,168.37	546.47	2.21%	197,492.48	221,859.85	-24,367.37	-12.34%
9003 - SW - OTHER FINANCING USES	35,427.17	30,308.57	5,118.60	14.45%	278,301.58	243,715.98	34,585.60	12.43%
Expense Total:	608,617.18	821,071.93	-212,454.75	-34.91%	4,780,887.28	5,301,564.73	-520,677.45	-10.89%
Total Surplus (Deficit):	-2,411.73	-214,900.62	-212,488.89	-8,810.64%	-126,778.04	-426,983.55	-300,205.51	-236.80%



Monroe, GA

Solid Waste Fund Budget Report

Group Summary

For Fiscal: 2023 Period Ending: 08/31/2023
without Capital

DEP...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
4510 - SOLID WASTE ADMINISTRATION	0.00	0.00	0.00	0.00	0.00	0.00%
4520 - SOLID WASTE COLLECTION	2,500,000.00	2,500,000.00	223,131.83	1,742,608.10	-757,391.90	30.30%
4530 - SOLID WASTE DISPOSAL	5,649,487.00	5,649,487.00	376,102.95	3,106,410.02	-2,543,076.98	45.01%
4540 - RECYCLABLES COLLECTION	32,000.00	32,000.00	6,936.53	25,563.06	-6,436.94	20.12%
4585 - YARD TRIMMINGS COLLECTION	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	8,181,487.00	8,181,487.00	606,171.31	4,874,581.18	-3,306,905.82	40.42%
Expense						
4500 - SOLID WASTE & RECYCLING	0.00	0.00	0.00	0.00	0.00	0.00%
4510 - SOLID WASTE ADMINISTRATION	416,904.00	416,904.00	33,650.37	248,019.23	168,884.77	40.51%
4520 - SOLID WASTE COLLECTION	1,313,435.00	1,313,435.00	121,607.22	961,374.21	352,060.79	26.80%
4530 - SOLID WASTE DISPOSAL	5,106,887.00	5,106,887.00	437,258.43	3,143,367.01	1,963,519.99	38.45%
4540 - RECYCLABLES COLLECTION	237,741.00	237,741.00	23,326.97	127,084.23	110,656.77	46.55%
4580 - PUBLIC EDUCATION	0.00	0.00	0.00	0.00	0.00	0.00%
4585 - YARD TRIMMINGS COLLECTION	301,676.00	301,676.00	24,168.37	221,859.85	79,816.15	26.46%
9003 - SW - OTHER FINANCING USES	804,844.11	804,844.11	30,308.57	243,715.98	561,128.13	69.72%
Expense Total:	8,181,487.11	8,181,487.11	670,319.93	4,945,420.51	3,236,066.60	39.55%
Report Surplus (Deficit):	-0.11	-0.11	-64,148.62	-70,839.33	-70,839.22	99,290.91%



Monroe, GA

Solid Waste Fund Budget Report

Group Summary

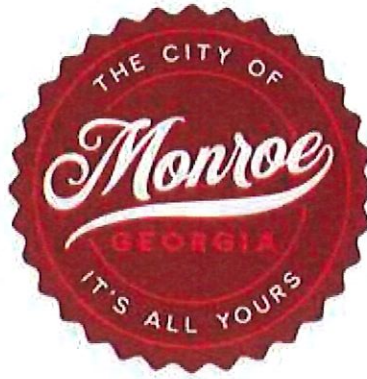
For Fiscal: 2023 Period Ending: 08/31/2023

Capital Expense

DEP...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Expense						
4510 - SOLID WASTE ADMINISTRATION	0.00	0.00	0.00	11,216.77	-11,216.77	0.00%
4520 - SOLID WASTE COLLECTION	0.00	0.00	150,752.00	311,287.00	-311,287.00	0.00%
4530 - SOLID WASTE DISPOSAL	0.00	0.00	0.00	33,640.45	-33,640.45	0.00%
4585 - YARD TRIMMINGS COLLECTION	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	0.00	150,752.00	356,144.22	-356,144.22	0.00%
Report Total:	0.00	0.00	150,752.00	356,144.22	-356,144.22	0.00%

Performance Indicators	Aug-23	Jul-23	Jun-23	May-23	Apr-23	Mar-23	Feb-23	Jan-23	Dec-22	Nov-22	Oct-22	Sep-22	Aug-22
Utilities													
Electric Customers	6,946	6,931	6,935	6,951	6,916	6,906	6,891	6,870	6,856	6,864	6,834	6,841	6,830
Natural Gas Customers	4,384	4,384	4,386	4,364	4,360	4,371	4,361	4,336	4,319	4,311	4,292	4,279	4,270
Water Customers	10,884	10,855	10,846	10,836	10,798	10,787	10,775	10,762	10,764	10,750	10,734	10,730	10,714
Wastewater Customers	7,843	7,831	7,840	7,844	7,809	7,803	7,801	7,781	7,785	7,796	7,766	7,780	7,763
Cable TV Customers	1,693	1,720	1,756	1,794	1,818	1,855	1,879	1,897	1,924	1,948	1,967	1,980	1,995
Digital Cable Customers	134	137	140	145	151	155	155	158	162	161	164	168	170
Internet Customers	3,590	3,679	3,854	3,961	3,902	4,161	4,212	4,204	4,081	4,172	4,202	4,208	4,180
Residential Phone Customers	703	704	711	712	718	717	722	720	723	727	735	737	737
Commercial Phone Customers	271	271	270	267	269	277	278	282	279	280	282	288	286
Fiber Customers	1,609	1,485	1,290	1,072	852	699	506	431	425	407	367	335	319
WiFi Router Customers													
Work Orders Generated													
Utilities													
Connects	264	204	273	244	224	271	246	218	200	224	263	265	272
Cutoff for Non-Payment	37	26	72	51	64	55	80	34	43	41	54	88	75
Electric Work Orders	128	111	94	92	116	109	123	95	84	67	75	95	123
Water Work Orders	135	104	142	92	123	129	104	174	140	110	127	154	125
Natural Gas Work Orders	34	35	39	23	41	42	34	82	33	33	59	40	53
Disconnects	183	167	186	170	153	188	155	168	144	171	181	175	192
Sewer Work Orders	9	3	4	22	12	17	12	22	11	12	16	11	18
Telecomm Work Orders	371	307	398	488	380	349	309	215	151	187	247	212	266
Stormwater Work Orders	-	-	-	-	-	-	-	-	-	-	-	-	-
Billing/Collections													
Utilities													
Utility Revenue Billed	\$ 3,886,967	\$ 3,600,639	\$ 3,480,362	\$ 3,488,266	\$ 3,545,702	\$ 3,990,438	\$ 4,331,581	\$ 4,151,912	\$ 3,593,995	\$ 3,568,577	\$ 3,906,987	\$ 4,181,752	\$ 4,384,941
Utility Revenue Collected	\$ 3,667,299	\$ 3,375,264	\$ 3,281,825	\$ 3,259,853	\$ 3,442,600	\$ 3,757,994	\$ 4,154,607	\$ 3,941,822	\$ 769,288	\$ 3,360,930	\$ 3,700,133	\$ 3,978,175	\$ 4,155,844
Amount Written Off for Bad Debt	\$ 16,916	\$ 21,107	\$ 30,819	\$ 32,202	\$ 14,392	\$ 21,439	\$ 19,085	\$ 24,256	\$ 33,840	\$ 19,918	\$ 22,001	\$ 12,510	\$ 17,405
Extensions													
Utilities													
Extensions Requested	381	483	533	523	458	605	549	347	481	575	582	595	603
Extensions Pending	157	-	-	-	1	3	3	-	2	119	179	38	130
Extensions Defaulted	7	30	22	28	23	29	28	13	29	28	24	43	14
Extensions Paid per Agreement	217	481	509	496	434	577	518	334	569	605	417	642	492
Percentage of Extensions Paid	1	1	1	1	1	1	1	1	1	1	1	1	1
Taxes													
Admin Support													
Property Tax Collected	\$ 31,698	\$ 41,121	\$ 5,420	\$ 7,287	\$ 18,530	\$ 48,956	\$ 82,529	\$ 115,393	\$ 3,343,182	\$ 420,999	\$ 269,552	\$ 4,094	\$ 4,580
Accounting													
Payroll & Benefits													
Payroll Checks issued	-	5	-	-	1	3	-	-	-	1	-	-	-
Direct Deposit Advices	668	672	666	675	718	974	645	350	713	738	655	988	651
General Ledger													
Accounts Payable Checks Issued	327	271	292	324	281	382	246	273	292	308	296	283	338
Accounts Payable Invoices Entered	434	342	374	444	405	511	309	342	363	402	400	366	421
Journal Entries Processed	94	85	110	110	108	116	105	115	138	88	87	97	97
Miscellaneous Receipts	330	370	375	514	554	615	693	586	441	328	406	311	424
Utility Deposit Refunds Processed	55	54	48	27	39	55	34	35	49	40	31	25	22
Local Option Sales Tax	\$ 282,230	\$ 268,812	\$ 260,312	\$ 247,289	\$ 268,717	\$ 228,351	\$ 262,653	\$ 322,547	\$ 286,290	\$ 303,917	\$ 312,157	\$ 315,857	\$ 315,011
Special Local Option Sales Tax - 2019		350,757	315,910	329,019	309,967	337,897	287,912	289,814	345,837	308,134	328,634	336,613	298,360
Payroll & Benefits													

Performance Indicators	Aug-23	Jul-23	Jun-23	May-23	Apr-23	Mar-23	Feb-23	Jan-23	Dec-22	Nov-22	Oct-22	Sep-22	Aug-22
Filled Positions	258	257	259	258	258	252	252	254	254	251	252	254	253
Vacancies	16	17	15	16	16	22	22	20	9	12	11	9	10
Unfunded Positions	5	5	5	5	5	5	5	5	38	38	38	38	38
Airport													
Airport													
Airport Fuel Sales - Gallons	1,122	1,969	1,114	1,187	1,061	1,449	654	1,240	911	1,590	1,778	2,124	2,354
Fuel Sales - Revenue	6,499	11,401	6,674	7,107	6,356	8,677	3,915	7,427	5,459	9,719	11,004	13,149	14,574



**FIRE
DEPARTMENT
CITY COUNCIL
MONTHLY MEETING**

October 2023

City of Monroe Fire Dept

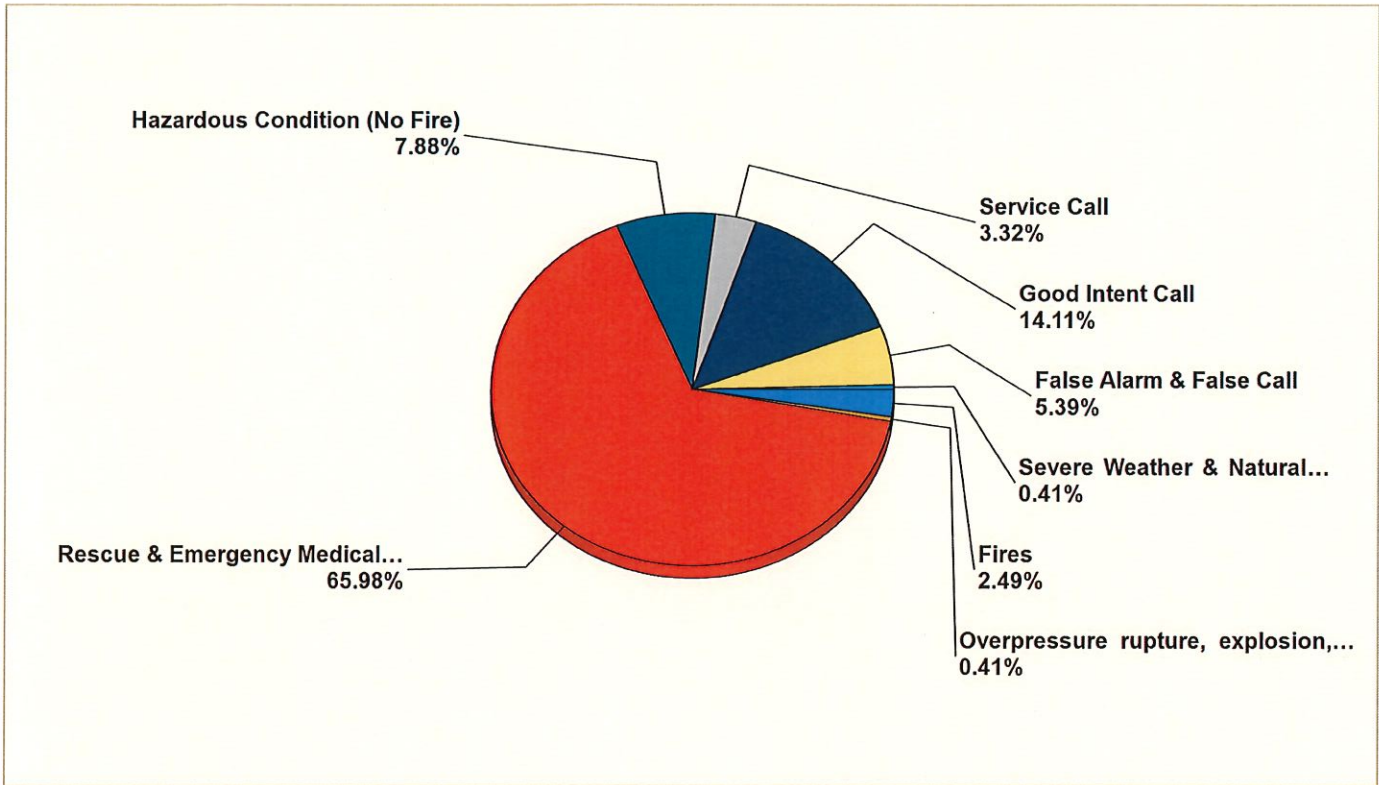
Monroe, GA

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Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 08/01/2023 | End Date: 08/31/2023



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	6	2.49%
Overpressure rupture, explosion, overheating - no fire	1	0.41%
Rescue & Emergency Medical Service	159	65.98%
Hazardous Condition (No Fire)	19	7.88%
Service Call	8	3.32%
Good Intent Call	34	14.11%
False Alarm & False Call	13	5.39%
Severe Weather & Natural Disaster	1	0.41%
TOTAL	241	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

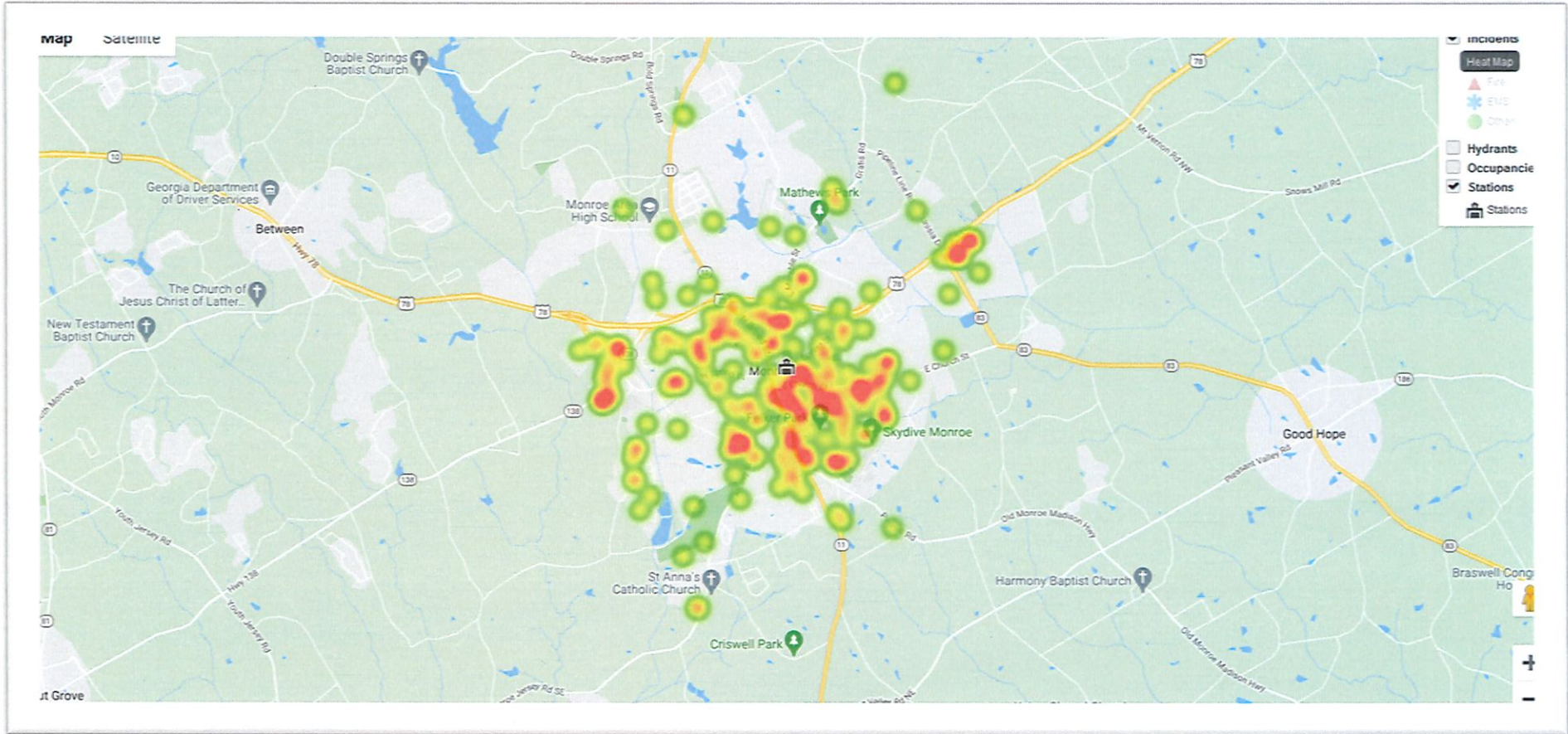
Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	4	1.66%
113 - Cooking fire, confined to container	1	0.41%
118 - Trash or rubbish fire, contained	1	0.41%
240 - Explosion (no fire), other	1	0.41%
311 - Medical assist, assist EMS crew	91	37.76%
321 - EMS call, excluding vehicle accident with injury	55	22.82%
322 - Motor vehicle accident with injuries	5	2.07%
323 - Motor vehicle/pedestrian accident (MV Ped)	1	0.41%
324 - Motor vehicle accident with no injuries.	5	2.07%
351 - Extrication of victim(s) from building/structure	1	0.41%
352 - Extrication of victim(s) from vehicle	1	0.41%
400 - Hazardous condition, other	4	1.66%
412 - Gas leak (natural gas or LPG)	5	2.07%
424 - Carbon monoxide incident	1	0.41%
444 - Power line down	4	1.66%
445 - Arcing, shorted electrical equipment	5	2.07%
522 - Water or steam leak	3	1.24%
551 - Assist police or other governmental agency	1	0.41%
552 - Police matter	1	0.41%
553 - Public service	2	0.83%
554 - Assist invalid	1	0.41%
611 - Dispatched & cancelled en route	27	11.2%
622 - No incident found on arrival at dispatch address	3	1.24%
651 - Smoke scare, odor of smoke	3	1.24%
671 - HazMat release investigation w/no HazMat	1	0.41%
731 - Sprinkler activation due to malfunction	1	0.41%
733 - Smoke detector activation due to malfunction	2	0.83%
735 - Alarm system sounded due to malfunction	5	2.07%
745 - Alarm system activation, no fire - unintentional	5	2.07%
814 - Lightning strike (no fire)	1	0.41%
TOTAL INCIDENTS:	241	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

City of Monroe Fire Dept

Monroe, GA



August 2023 Incident Distribution Map

City of Monroe Fire Dept

Monroe, GA



Incident Comparison 2018-2023

August	2018	2019	2020	2021	2022	2023
100 - Fire	11	4	1	9	6	6
200 - Overpressure Rupture, Explosion, Overheat	0	0	0	0	0	1
300 - Rescue & EMS	155	125	134	141	116	159
400 - Hazardous Condition	6	3	8	10	9	19
500 - Service Call	20	9	18	6	5	8
600 - Good Intent & Canceled Call	34	31	52	60	37	34
700 - False Alarm & False Call	13	11	17	13	18	13
800 - Severe Weather & Natural Disaster	0	0	2	0	1	1
900 - Special Incident Type	0	0	0	0	0	0
	239	183	232	239	192	241

City of Monroe Fire Dept

Monroe, GA

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277

Average Response Time for Agency for Response Mode for Date Range

Response Mode: Lights and Sirens | Start Date: 08/01/2023 | End Date: 08/31/2023

RESPONSE MODE	INCIDENT COUNT	AVERAGE RESPONSE TIME (Dispatch to Arrived)
AGENCY: City of Monroe Fire Dept		
Lights and Sirens	231	0:05:46

Only REVIEWED incidents included. Times shown are in HH:MM:SS (Hour:Minute:Second) format.



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City of Monroe Fire Dept

Monroe, GA

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278

Count of Overlapping Incidents for Date Range

Start Date: 08/01/2023 | End Date: 08/31/2023

# OVERLAPPING	% OVERLAPPING	TOTAL
73	30.29	241

OVERLAPPING INCIDENT DETAILS					
ALARM	CLEAR/CANCEL	INCIDENT #	INCIDENT TYPE	STATION	ZONE
8/2/2023					
8/2/2023 1:18:00 AM	8/2/2023 2:11:30 AM	2023-1403	352	Monroe (City of) Headquarters	
8/2/2023 1:41:12 AM	8/2/2023 1:53:49 AM	2023-1404	311	Monroe (City of) Headquarters	
8/2/2023 9:36:48 PM	8/2/2023 9:52:08 PM	2023-1409	311	Monroe (City of) Headquarters	
8/2/2023 9:39:29 PM	8/2/2023 9:56:21 PM	2023-1410	321	Monroe (City of) Headquarters	
8/2/2023 9:53:00 PM	8/2/2023 10:12:47 PM	2023-1411	321	Monroe (City of) Headquarters	
8/3/2023					
8/3/2023 1:39:21 PM	8/3/2023 1:56:05 PM	2023-1416	311	Monroe (City of) Headquarters	
8/3/2023 1:41:24 PM	8/3/2023 2:00:25 PM	2023-1415	324	Monroe (City of) Headquarters	
8/4/2023					
8/4/2023 3:19:51 PM	8/4/2023 3:24:00 PM	2023-1420	611	Monroe (City of) Headquarters	
8/4/2023 3:23:08 PM	8/4/2023 4:00:21 PM	2023-1421	324	Monroe (City of) Headquarters	
8/4/2023 3:41:59 PM	8/4/2023 3:55:27 PM	2023-1422	745	Monroe (City of) Headquarters	
8/7/2023					
8/7/2023 5:53:20 PM	8/7/2023 6:09:08 PM	2023-1444	111	Monroe (City of) Headquarters	
8/7/2023 6:00:09 PM	8/7/2023 6:23:16 PM	2023-1445	445	Monroe (City of) Headquarters	
8/8/2023					
8/8/2023 2:47:48 PM	8/8/2023 3:37:39 PM	2023-1451	321	Monroe (City of) Headquarters	
8/8/2023 3:36:42 PM	8/8/2023 3:52:04 PM	2023-1452	311	Monroe (City of) Headquarters	
8/8/2023 7:10:32 PM	8/8/2023 7:33:57 PM	2023-1453	311	Monroe (City of) Headquarters	
8/8/2023 7:27:03 PM	8/8/2023 7:44:06 PM	2023-1454	321	Monroe (City of) Headquarters	
8/9/2023					
8/9/2023 2:22:42 PM	8/9/2023 2:52:21 PM	2023-1458	311	Monroe (City of) Headquarters	
8/9/2023 2:39:30 PM	8/9/2023 3:03:45 PM	2023-1459	311	Monroe (City of) Headquarters	

Percentage of incidents overlapping from total incidents in month, year. Compared incident time range as either Alarm to Cancel or Alarm to Clear for incidents that have either Cancel or Clear time recorded. Reviewed calls only. Group by date. Displays date, incident number, incident type (numeric only), zone, and station.



OVERLAPPING INCIDENT DETAILS

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ALARM	CLEAR/CANCEL	INCIDENT #	INCIDENT TYPE	STATION	ZONE
8/9/2023 2:48:00 PM	8/9/2023 3:03:35 PM	2023-1460	321	Monroe (City of) Headquarters	
8/9/2023 3:00:26 PM	8/9/2023 3:29:10 PM	2023-1461	321	Monroe (City of) Headquarters	
8/11/2023					
8/11/2023 2:10:43 PM	8/11/2023 2:31:59 PM	2023-1468	321	Monroe (City of) Headquarters	
8/11/2023 2:30:14 PM	8/11/2023 2:52:17 PM	2023-1469	321	Monroe (City of) Headquarters	
8/11/2023 2:40:02 PM	8/11/2023 3:04:28 PM	2023-1470	311	Monroe (City of) Headquarters	
8/12/2023					
8/12/2023 4:45:47 PM	8/12/2023 4:57:26 PM	2023-1474	311	Monroe (City of) Headquarters	
8/12/2023 4:51:49 PM	8/12/2023 5:07:57 PM	2023-1475	622	Monroe (City of) Headquarters	
8/12/2023 5:34:40 PM	8/12/2023 6:46:30 PM	2023-1476	444	Monroe (City of) Headquarters	
8/12/2023 5:38:12 PM	8/12/2023 5:46:24 PM	2023-1477	745	Monroe (City of) Headquarters	
8/12/2023 6:10:26 PM	8/12/2023 6:33:30 PM	2023-1478	321	Monroe (City of) Headquarters	
8/12/2023 7:42:47 PM	8/12/2023 8:00:48 PM	2023-1479	611	Monroe (City of) Headquarters	
8/12/2023 7:42:58 PM	8/12/2023 7:54:45 PM	2023-1480	622	Monroe (City of) Headquarters	
8/15/2023					
8/15/2023 5:53:42 PM	8/15/2023 6:23:37 PM	2023-1498	113	Monroe (City of) Headquarters	
8/15/2023 6:20:52 PM	8/15/2023 6:42:08 PM	2023-1499	321	Monroe (City of) Headquarters	
8/16/2023					
8/16/2023 10:11:23 AM	8/16/2023 10:27:46 AM	2023-1504	321	Monroe (City of) Headquarters	
8/16/2023 10:21:48 AM	8/16/2023 10:31:54 AM	2023-1505	311	Monroe (City of) Headquarters	
8/17/2023					
8/17/2023 12:52:28 PM	8/17/2023 1:09:38 PM	2023-1512	351	Monroe (City of) Headquarters	
8/17/2023 1:01:08 PM	8/17/2023 1:09:17 PM	2023-1513	311	Monroe (City of) Headquarters	
8/19/2023					
8/19/2023 9:16:15 PM	8/19/2023 9:35:09 PM	2023-1529	311	Monroe (City of) Headquarters	
8/19/2023 9:34:23 PM	8/19/2023 9:45:31 PM	2023-1530	622	Monroe (City of) Headquarters	
8/19/2023 11:16:26 PM	8/19/2023 11:45:03 PM	2023-1532	321	Monroe (City of) Headquarters	
8/19/2023 11:16:47 PM	8/19/2023 11:32:45 PM	2023-1531	311	Monroe (City of) Headquarters	
8/20/2023					
8/20/2023 7:53:23 AM	8/20/2023 8:05:06 AM	2023-1535	735	Monroe (City of) Headquarters	
8/20/2023 8:04:37 AM	8/20/2023 8:23:18 AM	2023-1536	321	Monroe (City of) Headquarters	

Percentage of incidents overlapping from total incidents in month, year. Compared incident time range as either Alarm to Cancel or Alarm to Clear for incidents that have either Cancel or Clear time recorded. Reviewed calls only. Group by date. Displays date, incident number, incident type (numeric only), zone, and station.

OVERLAPPING INCIDENT DETAILS

ALARM	CLEAR/CANCEL	INCIDENT #	INCIDENT TYPE	STATION	ZONE
8/27/2023					
8/27/2023 10:16:58 AM	8/27/2023 10:34:14 AM	2023-1583	321	Monroe (City of) Headquarters	
8/27/2023 10:31:17 AM	8/27/2023 10:40:48 AM	2023-1584	611	Monroe (City of) Headquarters	
8/28/2023					
8/28/2023 3:51:16 AM	8/28/2023 4:16:59 AM	2023-1593	400	Monroe (City of) Headquarters	
8/28/2023 3:59:45 AM	8/28/2023 5:15:04 AM	2023-1594	111	Monroe (City of) Headquarters	
8/28/2023 4:31:14 AM	8/28/2023 4:34:20 AM	2023-1595	611	Monroe (City of) Headquarters	
8/28/2023 5:20:54 AM	8/30/2023 5:56:10 AM	2023-1596	111	Monroe (City of) Headquarters	
8/28/2023 8:04:00 AM	8/28/2023 8:21:07 AM	2023-1597	311	Monroe (City of) Headquarters	
8/28/2023 8:38:13 AM	8/28/2023 8:57:06 AM	2023-1598	651	Monroe (City of) Headquarters	
8/28/2023 8:48:04 AM	8/28/2023 9:41:09 AM	2023-1599	444	Monroe (City of) Headquarters	
8/28/2023 12:08:45 PM	8/28/2023 12:25:35 PM	2023-1600	311	Monroe (City of) Headquarters	
8/28/2023 1:40:00 PM	8/28/2023 2:00:00 PM	2023-1601	553	Monroe (City of) Headquarters	
8/28/2023 2:31:54 PM	8/28/2023 2:50:08 PM	2023-1602	321	Monroe (City of) Headquarters	
8/28/2023 4:17:30 PM	8/28/2023 4:26:24 PM	2023-1603	321	Monroe (City of) Headquarters	
8/28/2023 9:56:51 PM	8/28/2023 10:18:38 PM	2023-1604	321	Monroe (City of) Headquarters	
8/28/2023 10:22:43 PM	8/28/2023 10:51:59 PM	2023-1605	321	Monroe (City of) Headquarters	
8/29/2023					
8/29/2023 2:00:34 AM	8/29/2023 2:22:31 AM	2023-1606	311	Monroe (City of) Headquarters	
8/29/2023 2:06:38 AM	8/29/2023 2:25:00 AM	2023-1607	311	Monroe (City of) Headquarters	
8/29/2023 7:18:38 AM	8/29/2023 7:59:55 AM	2023-1608	651	Monroe (City of) Headquarters	
8/29/2023 9:33:53 AM	8/29/2023 10:06:46 AM	2023-1609	311	Monroe (City of) Headquarters	
8/29/2023 10:43:29 AM	8/29/2023 10:45:40 AM	2023-1610	611	Monroe (City of) Headquarters	
8/29/2023 12:46:06 PM	8/29/2023 12:56:21 PM	2023-1611	311	Monroe (City of) Headquarters	
8/29/2023 2:24:43 PM	8/29/2023 2:39:59 PM	2023-1612	311	Monroe (City of) Headquarters	
8/29/2023 3:22:20 PM	8/29/2023 4:00:23 PM	2023-1613	311	Monroe (City of) Headquarters	
8/29/2023 5:17:38 PM	8/29/2023 5:19:53 PM	2023-1614	311	Monroe (City of) Headquarters	
8/29/2023 6:06:53 PM	8/29/2023 6:23:28 PM	2023-1615	311	Monroe (City of) Headquarters	
8/29/2023 7:57:00 PM	8/29/2023 8:19:25 PM	2023-1616	311	Monroe (City of) Headquarters	
8/29/2023 8:40:09 PM	8/29/2023 9:05:29 PM	2023-1617	321	Monroe (City of) Headquarters	

Percentage of incidents overlapping from total incidents in month, year. Compared incident time range as either Alarm to Cancel or Alarm to Clear for incidents that have either Cancel or Clear time recorded. Reviewed calls only. Group by date. Displays date, incident number, incident type (numeric only), zone, and station.

OVERLAPPING INCIDENT DETAILS

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ALARM	CLEAR/CANCEL	INCIDENT #	INCIDENT TYPE	STATION	ZONE
8/29/2023 9:50:14 PM	8/29/2023 10:28:56 PM	2023-1618	321	Monroe (City of) Headquarters	
8/30/2023					
8/30/2023 12:31:10 AM	8/30/2023 12:52:20 AM	2023-1619	311	Monroe (City of) Headquarters	
8/31/2023					
8/31/2023 4:56:06 AM	8/31/2023 5:09:49 AM	2023-1628	311	Monroe (City of) Headquarters	
8/31/2023 4:58:19 AM	8/31/2023 5:17:00 AM	2023-1629	412	Monroe (City of) Headquarters	

Percentage of incidents overlapping from total incidents in month,year. Compared incident time range as either Alarm to Cancel or Alarm to Clear for incidents that have either Cancel or Clear time recorded. Reviewed calls only. Group by date. Displays date, incident number, incident type (numeric only), zone, and station.



City of Monroe Fire Dept

Monroe, GA

This report was generated on 9/26/2023 10:34:47 AM



282

Incident Detail for Aid Given and Received for Incident Type Range for Date Range

Incident Type Range: 100 - 911 | StartDate: 08/01/2023 | EndDate: 08/31/2023

INCIDENT DATE	INCIDENT #	ADDRESS	INCIDENT TYPE	SHIFT
AID TYPE: Automatic aid given				
08/07/2023	2023-1438	2509 Preston RD	611 - Dispatched & cancelled en route	MFD - Monroe (City of) Headquarters
08/07/2023	2023-1444	1512 Mountain Creek Church RD	111 - Building fire	MFD - Monroe (City of) Headquarters
08/08/2023	2023-1448	935 Pannell RD	111 - Building fire	MFD - Monroe (City of) Headquarters
08/12/2023	2023-1479	2505 Bradley Gin RD	611 - Dispatched & cancelled en route	MFD - Monroe (City of) Headquarters
08/28/2023	2023-1592	935 Gratis Road	651 - Smoke scare, odor of smoke	MFD - Monroe (City of) Headquarters
08/28/2023	2023-1598	576 Ridgeview CT	651 - Smoke scare, odor of smoke	MFD - Monroe (City of) Headquarters
08/29/2023	2023-1608	819 Micheal RD	651 - Smoke scare, odor of smoke	MFD - Monroe (City of) Headquarters

Percentage of Total Incidents: 2.90%

AID TYPE: Automatic aid received				
08/07/2023	2023-1445	211 Colquitt ST	445 - Arcing, shorted electrical equipment	MFD - Monroe (City of) Headquarters
08/23/2023	2023-1558	610 Ash LN	611 - Dispatched & cancelled en route	MFD - Monroe (City of) Headquarters
08/28/2023	2023-1594	112 Hillside DR	111 - Building fire	MFD - Monroe (City of) Headquarters

Percentage of Total Incidents: 1.24%

AID TYPE: Mutual aid received				
08/04/2023	2023-1422	711 Heritage Ridge DR	745 - Alarm system activation, no fire - unintentional	MFD - Monroe (City of) Headquarters
08/28/2023	2023-1595	Ammons Bridge RD	611 - Dispatched & cancelled en route	MFD - Monroe (City of) Headquarters

Percentage of Total Incidents: 0.83%

Displays all incidents with aid given or received, and excludes incidents with neither. Percentages calculated from total number of incidents for parameters provided. Only REVIEWED incidents included.



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Doc Id: 952

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City of Monroe Fire Dept

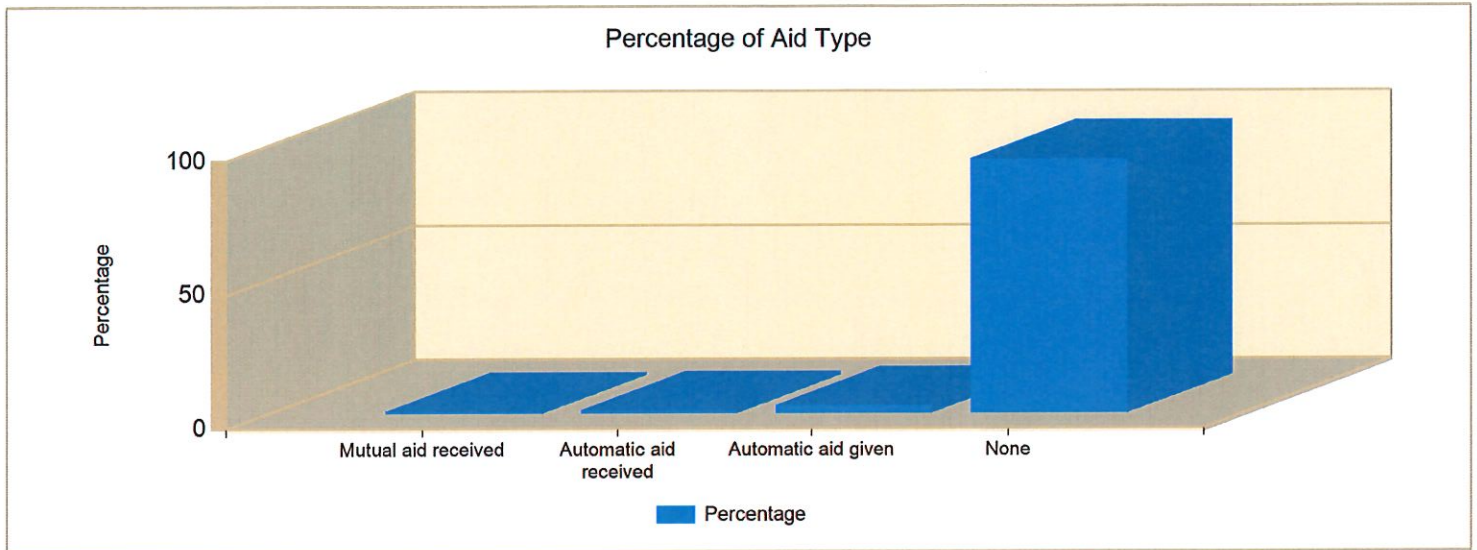
Monroe, GA

This report was generated on 9/26/2023 10:24:09 AM



Count of Aid Given and Received for Incidents for Date Range

Start Date: 08/01/2023 | End Date: 08/31/2023



AID TYPE	TOTAL	% of TOTAL
Mutual aid received	2	0.8%
Automatic aid received	3	1.2%
Automatic aid given	7	2.9%
None	229	95.0%

Only REVIEWED incidents included



City of Monroe Fire Dept

Monroe, GA

This report was generated on 9/26/2023 10:57:41 AM



284

Detailed Losses For Date Range

Start Date: 08/01/2023 | End Date: 08/31/2023

# INCIDENTS	TOTAL PRE-INCIDENT PROP. VAL.	TOTAL PRE-INCIDENT CONT. VAL.	TOTAL PRE-INCIDENT VAL.	AVG. VAL.	TOTAL PROP. LOSS	TOTAL CONT. LOSS	TOTAL LOSSES	AVERAGE LOSS
1	\$25,000.00	\$12,500.00	\$37,500.00	\$37,500.00	\$25,000.00	\$12,500.00	\$37,500.00	\$37,500.00

INCIDENT #	DATE	TYPE	LOCATION	PRE-INCIDENT PROPERTY	PRE-INCIDENT CONTENTS	PRE-INCIDENT TOTAL	PROP. LOSS	CONT. LOSS	TOTAL
2023-1594	08/28/2023	111 - Building fire	112 Hillside DR Monroe	\$25,000.00	\$12,500.00	\$37,500.00	\$25,000.00	\$12,500.00	\$37,500.00

Only Reviewed Incidents included.



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Doc Id: 1324

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**POLICE
DEPARTMENT
MONTHLY REPORT
October
2023**

Comparison of August 2022 to August 2023 Activity Reports

	2023			2022		
Calls for Service	2,398			1,723		
Area Checks	9,471			9,798		
Calls to MPD						
Court Cases	232			284		
Training Hours	897			985		
Part A Crimes	35			62		
Part B Crimes	58			40		
Arrest-Adult	47			44		
Juvenile	3			3		
C/S Trash Pick Up						
Tires						

2023 AGENCY	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	TOTALS
LE CALLS													27,198
WALTON SO	3,958	3,456	3,588	3,038	3,508	2,931	3,275	3,444					61,024
WCISO AREA CHECKS	8,835	7,423	8,747	7,488	7,602	6,760	6,484	7,685					17,691
MONROE PD	2,179	2,124	2,192	1,935	2,284	2,183	2,396	2,398					83,046
MPD AREA CHECKS	11,053	10,541	12,123	9,621	10,159	10,589	9,489	9,471					7,485
LOGANVILLE PD	971	789	884	1,014	935	875	1,011	1,006					3,845
LPD AREA CHECKS	15	13	24	1,061	768	500	892	572					2,392
SOCIAL CIRCLE PD	300	249	229	353	384	345	288	244					15,821
SPD AREA CHECKS	2,446	2,588	2,204	1,459	1,805	2,021	1,982	1,316					218,502
LAW TOTALS	29,757	27,183	29,991	25,969	27,445	26,204	25,817	26,136					13,155
WALTON EMS	1,843	1,539	1,594	1,507	1,663	1,563	1,560	1,886					
FIRE DEPTS													3,635
WALTON FIRE	492	426	461	399	424	423	496	514					1,676
MONROE FIRE	246	186	189	196	193	209	210	247					1,785
LOGANVILLE FIRE	213	214	206	223	226	201	228	274					503
SOC CIRCLE FIRE	65	61	64	44	66	66	66	71					7,599
FIRE TOTALS	1,016	887	920	862	909	899	1,000	1,106					
PHONE CALLS													2,928
ABANDONED	321	245	466	321	338	434	320	483					40,266
ADMIN IN	4,768	4,350	4,947	4,823	5,051	5,082	5,076	6,169					23,928
ADMIN OUT	3,051	2,620	3,178	2,849	3,167	2,962	3,074	3,027					40,030
911	5,012	4,632	5,337	4,898	5,334	5,178	5,120	4,519					107,152
TOTAL	13,152	11,847	13,928	12,891	13,890	13,656	13,590	14,198					

287

	AUGUST 2022	AUGUST 2023
Citations issued:	264	275
Adjudicated/ Closed cases:	282	212
Fines collected per month:	\$64,099.00	\$52,821.00
Year to date collected:	\$338,053.25	\$338,077.25

August 2023 Training Hours for Monroe Police Department

GPSTC online training: 67

Conference training: 0

In-service Training: 592

Off Site Training: 238

Total Training Hours: 897



Offense and Arrest Summary Report

Printed On:
09/11/2023

Page 1 of 1

Beginning Date: 08/01/2023

Ending Date: 08/31/2023

Agency: MONROE POLICE DEPARTMENT

Total Offenses	93	Clearance Rate	43.01%
% change from last year	-8.82%	Last years rate	35.29%
Total Arrests	50	Hate Crime Offenses	0
% change from last year	6.38%	Law Officers Assaulted	0
Group A Crime Rate per 100,000 Population :	597.34	Summary based reporting Crime Rate per 100,000 Population :	160.58
Arrest Rate per 100,000 Population :	321.15		

Arrest Reporting

Group "A"	Adult	Juvenile	Unknown	Total Arrests	Arrests Reported Last Year
Murder	0	0	0	0	0
Negligent Manslaughter	0	0	0	0	0
Justifiable Homicide	0	0	0	0	0
Rape	1	0	0	1	0
Robbery	0	0	0	0	0
Aggravated Assault	3	0	0	3	2
Burglary	0	0	0	0	1
Larceny	4	0	0	4	10
Motor Vehicle Theft	0	0	0	0	0
Arson	0	0	0	0	0
Simple Assault	3	1	0	4	8
Intimidation	0	0	0	0	1
Bribery	0	0	0	0	0
Counterfeiting/Forgery	0	0	0	0	0
Vandalism	1	0	0	1	2
Drug/Narcotic Violations	11	1	0	12	5
Drug Equipment Violations	0	0	0	0	0
Embezzlement	0	0	0	0	0
Extortion/Blackmail	0	0	0	0	0
Fraud	0	0	0	0	0
Gambling	0	0	0	0	0
Kidnapping	0	0	0	0	0
Pornography	0	0	0	0	3
Prostitution	0	0	0	0	0
Sodomy	0	0	0	0	0
Sexual Assault w/Object	0	0	0	0	0
Fondling	0	0	0	0	0
Incest	0	0	0	0	0
Statutory Rape	0	0	0	0	0
Stolen Property	0	0	0	0	0
Weapons Law Violations	2	0	0	2	1
Human Trafficking, Commercial Sex Acts	0	0	0	0	0
Human Trafficking, Involuntary Servitude	0	0	0	0	0
Animal Cruelty	0	0	0	0	0
Total Group A Arrests	25	2	0	27	33
Group "B" Arrests					
Bad Checks	0	0	0	0	0
Curfew/Vagrancy	3	0	0	3	1
Disorderly Conduct	3	0	0	3	3
DUI	4	0	0	4	1
Drunkness	0	1	0	1	0
Family Offenses-nonviolent	1	0	0	1	0
Liquor Law Violations	0	0	0	0	0
Pooping Tom	0	0	0	0	0
Runaways	0	0	0	0	0
Trespass	1	0	0	1	1
All Other Offenses	10	0	0	10	8
Total Group B Arrests	22	1	0	23	14
Total Arrests	47	3	0	50	47

Offense Reporting

Group "A"	Offenses Reported	Offenses Cleared	Offenses Reported Last Year
Murder	0	0	0
Negligent Manslaughter	0	0	0
Justifiable Homicide	0	0	0
Rape	1	1	1
Robbery	1	1	0
Aggravated Assault	5	3	4
Burglary	1	0	2
Larceny	17	3	41
Motor Vehicle Theft	0	0	1
Arson	0	0	0
Simple Assault	10	4	13
Intimidation	2	1	8
Bribery	0	0	0
Counterfeiting/Forgery	1	0	1
Vandalism	10	1	10
Drug/Narcotic Violations	15	12	6
Drug Equipment Violations	8	7	1
Embezzlement	0	0	0
Extortion/Blackmail	0	0	0
Fraud	14	1	7
Gambling	0	0	0
Kidnapping	0	0	0
Pornography	0	0	3
Prostitution	0	0	0
Sodomy	2	0	0
Sexual Assault w/Object	0	0	0
Fondling	0	0	1
Incest	0	0	0
Statutory Rape	0	0	0
Stolen Property	0	0	0
Weapons Law Violations	6	6	3
Human Trafficking, Commercial Sex Acts	0	0	0
Human Trafficking, Involuntary Servitude	0	0	0
Animal Cruelty	0	0	0
Total Group "A"	93	40	102

Crime Against Person

20 - This year
27 - Last year
-25.93% - Percent Change

Crime Against Property

44 - This year
62 - Last year
-29.03% - Percent Change

Crime Against Society

29 - This year
13 - Last year
123.08% - Percent Change

Population : 15569

Note: Last years figures are provided for comparison purposes only.



WALTON COUNTY 911

Law Total Incident Report, by Nature of Incident

<u>Nature of Incident</u>	<u>Total Incidents</u>
FIGHT VIOLENT	2
ANIMAL COMPLAINT	11
INJURED ANIMAL	1
PROWLER	7
BURGLARY IN PROGRESS	4
BURGLARY REPORT	1
DOMESTIC NON-VIOLENT	32
DOMESTIC VIOLENT	3
ARMED ROBBERY	2
WARRANT SERVICE	27
SUBJECT WITH WEAPON	4
SUSPICIOUS PERSON	101
SUSPICIOUS VEHICLE	123
TRAFFIC STOP	2
SUICIDE ATTEMPT	2
SUICIDE THREAT	3
KEYS LOCKED IN VEHICLE	100
SPEEDING AUTO	1
ACCIDENT NO INJURIES	79
ACCIDENT WITH A DEER	1
ACCIDENT WITH INJURIES	11
PERSON STRUCK WITH AUTO	1
ACCIDENT UNKNOWN INJURIES	2
ROAD HAZARD	5
DRUNK DRIVER	2
HIT AND RUN	10
DIRECT TRAFFIC	2
FUNERAL ESCORT	3
TRANSPORT	5
DISABLED VEHICLE	42
AREA/BLDG CHECK	50
LITTERING/ILLEGAL DUMPING	1
CHILD ABUSE	1
RAPE	1
SEXUAL ASSAULT	1
CHASE	2
WORK SCHOOL TRAFFIC	41
BUSINESS ALARM	6
CHURCH ALARM	27
RESIDENTIAL ALARM	1
SCHOOL ALARM	3
SUBJECT IN CUSTODY	2
TRANSPORT TO COURT	1
TRANSPORT TO JAIL	

<u>Nature of Incident</u>	<u>Total Incidents</u>
DEMENTED PERSON NON-VIOLENT	14
STOLEN VEHICLE	2
911 HANGUP	37
CONTROL SUBSTANCE PROBLEM	14
AGENCY ASSISTANCE	6
ASSAULT	2
ASSAULT LAW ENFORCEMENT ONLY	3
CHILD CUSTODY DISPUTE	3
CIVIL ISSUE/DISPUTE	35
DAMAGE TO PROPERTY	43
DECREASED CONSCIOUSNESS PRI 1	1
DISPUTE NON VIOLENT IN NATURE	69
DISPUTE VIOLENT IN NATURE	5
DISTRUBING THE PEACE	1
Dead Body	2
DISORDERLY CONDUCT	1
EMERGENCY MESSAGE	2
LE ASSIST FOR EMS	19
ENTERING AN AUTO	9
EVICITION	1
EXPLOSIVES PROBLEM	1
EXTRA PATROL REQUEST	2
ASSIST FIRE DEPARTMENT	4
FIREARMS DISCHARGED	9
FOLLOW UP TO PREVIOUS CALL	5
FOUND PROPERTY	2
FRAUD	14
HARRASSING PHONE CALLS	7
HARRASSMENT	10
ILLEGAL PARKING	45
INFORMATION REPORT	1
JUVENILE RUNAWAY	1
JUVENILE COMPLAINT	7
JUVENILE PROBLEM -NO COMPLAINT	14
LOITERING	4
LOST ITEM REPOR	5
LOUD MUSIC COMPLAINT	9
MISSING PERSON	3
MISCELLANEOUS LAW INCIDENT	75
POWER LINES DOWN	5
PHONE CALLS/MAIL SCAMS	5
SHOPLIFTING	6
SHOTS FIRED	2
THEFT REPORT	31
THREATS	6
TRAFFIC LIGHT OUT	5
TRAFFIC VIOLATION	1049
TRAILER INSPECTION	2
TREE DOWN	1
TREE ON HOUSE	1

<u>Nature of Incident</u>	<u>Total Incidents</u>
TRESPASSING	4
UNKNOWN PRIORITY 1	3
UNKNOWN LAW PROBLEM	7
UNSECURE PREMISES	6
VEHICLE INSPECTION	7
WANTED PERSON	12
WELFARE CHECK	32

Total reported: 2398

Report Includes:

All dates between `00:00:00 08/01/23` and `23:59:59 08/31/23`, All agencies matching `MPD`, All natures, All locations, All responsible officers, All dispositions, All clearance codes, All observed offenses, All reported offenses, All offense codes, All circumstance codes



WALTON COUNTY 911

Radio Log Statistical Report, by Unit

<u>Unit</u>	<u>Unit Description</u>	<u>Number of Logs</u>
	[No Description For ()]	36
259	[No Description For (259)]	1
301	LAW ENFORCEMENT UNIT	19
302	LAW ENFORCEMENT UNIT	11
304	LAW ENFORCEMENT UNIT	12
305	LAW ENFORCEMENT UNIT	39
306	LAW ENFORCEMENT UNIT	29
310	LAW ENFORCEMENT UNIT	142
311	LAW ENFORCEMENT UNIT	12
312	LAW ENFORCEMENT UNIT	31
314	LAW ENFORCEMENT UNIT	142
315	LAW ENFORCEMENT UNIT	158
316	LAW ENFORCEMENT UNIT	167
317	LAW ENFORCEMENT UNIT	6
320	LAW ENFORCEMENT UNIT	81
321	LAW ENFORCEMENT UNIT	800
322	LAW ENFORCEMENT UNIT	48
324	LAW ENFORCEMENT UNIT	2
325	LAW ENFORCEMENT UNIT	558
327	LAW ENFORCEMENT UNIT	485
328	LAW ENFORCEMENT UNIT	5
329	LAW ENFORCEMENT UNIT	875
330	LAW ENFORCEMENT UNIT	999
332	INVESTIGATOR	1
333	LAW ENFORCEMENT UNIT	1070
334	LAW ENFORCEMENT UNIT	51
335	LAW ENFORCEMENT UNIT	74
336	LAW ENFORCEMENT UNIT	1241
337	LAW ENFORCEMENT UNIT	354
338	LAW ENFORCEMENT UNIT	133
340	LAW ENFORCEMENT UNIT	2
341	LAW ENFORCEMENT UNIT	1610
342	LAW ENFORCEMENT UNIT	2403
343	LAW ENFORCEMENT UNIT	1028
344	LAW ENFORCEMENT UNIT	72
345	LAW ENFORCEMENT UNIT	132
346	LAW ENFORCEMENT UNIT	669
347	LAW ENFORCEMENT UNIT	93
348	LAW ENFORCEMENT UNIT	347
349	LAW ENFORCEMENT UNIT	1358
350	LAW ENFORCEMENT UNIT	22
351	LAW ENFORCEMENT UNIT	2817
352	LAW ENFORCEMENT UNIT	1363
353	LAW ENFORCEMENT UNIT	1250



WALTON COUNTY 911

Radio Log Statistical Report, by Unit

<u>Unit</u>	<u>Unit Description</u>	<u>Number of Logs</u>
310	LAW ENFORCEMENT UNIT	4
314	LAW ENFORCEMENT UNIT	5
316	LAW ENFORCEMENT UNIT	2
321	LAW ENFORCEMENT UNIT	311
325	LAW ENFORCEMENT UNIT	50
327	LAW ENFORCEMENT UNIT	29
329	LAW ENFORCEMENT UNIT	1
333	LAW ENFORCEMENT UNIT	397
336	LAW ENFORCEMENT UNIT	571
337	LAW ENFORCEMENT UNIT	51
341	LAW ENFORCEMENT UNIT	228
342	LAW ENFORCEMENT UNIT	9
343	LAW ENFORCEMENT UNIT	328
346	LAW ENFORCEMENT UNIT	72
348	LAW ENFORCEMENT UNIT	2
349	LAW ENFORCEMENT UNIT	526
351	LAW ENFORCEMENT UNIT	428
352	LAW ENFORCEMENT UNIT	56
353	LAW ENFORCEMENT UNIT	490
354	LAW ENFORCEMENT UNIT	407
355	LAW ENFORCEMENT UNIT	206
356	LAW ENFORCEMENT UNIT	51
357	LAW ENFORCEMENT UNIT	88
358	LAW ENFORCEMENT UNIT	578
359	LAW ENFORCEMENT UNIT	653
360	LAW ENFORCEMENT UNIT	436
361	LAW ENFORCEMENT UNIT	11
363	LAW ENFORCEMENT UNIT	420
364	LAW ENFORCEMENT UNIT	704
365	LAW ENFORCEMENT UNIT	424
366	LAW ENFORCEMENT UNIT	17
368	LAW ENFORCEMENT UNIT	732
369	LAW ENFORCEMENT UNIT	611
371	LAW ENFORCEMENT UNIT	182
372	LAW ENFORCEMENT UNIT	391
Total Radio Logs:		9471

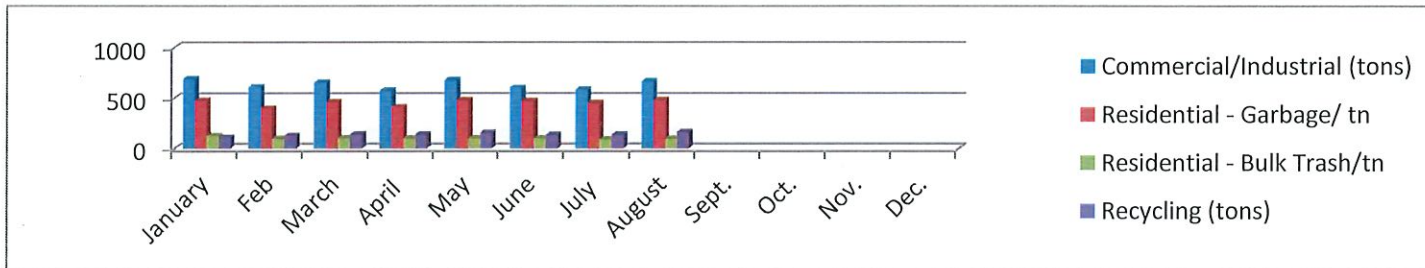
Report Includes:

All dates between `00:00:00 08/01/23` and `23:59:59 08/31/23`, All agencies matching `MPD`, All zones, All units, All tencodes matching `1066`, All shifts



**SOLID WASTE
DEPARTMENT
MONTHLY REPORT
OCTOBER
2023**

2023	January	Feb	March	April	May	June	July	August	Sept.	Oct.	Nov.	Dec.
Commercial/Industrial (tons)	687.88	615.16	657.73	574.65	680.6	605.96	585.71	669.15				
Residential - Garbage/ tn	476.78	402	462.85	415.88	480.01	474.65	454.78	481.75				
Residential - Bulk Trash/tn	128.88	96.67	101.63	100.56	102.21	100.15	92.01	97.69				
Recycling (tons)	114.89	133.00	145.19	143.67	158.46	140.03	142.56	166.19				
Transfer Station (tons)	6,723.63	5,801.08	5,965.72	5,744.80	6,892.55	6,490.95	6,131.12	6,675.61				
Customers (TS)	19	18	18	19	19	19	20	19				
Sweeper debris (tons)	47.84	23.06	3.95					13.9				
Storm drain debris (tons)	0.4	0.52		6.86	0.42		0.13	4.91				
2023	January	Feb	March	April	May	June	July	August	Sept.	Oct.	Nov.	Dec.
Recycling - Yard Waste (tons)	65.81	72.04	78.62	88.69	89.27	78.02	80.31	93.06				
Recycling - Leaves (tons)			2.43									
Recycling - Curbside (tons)	42.48	27.44	34.19	31.59	34.51	40.91	28.99	44.04				
Recycling - Cardboard (tons)	3.82	9.4	19.16	14.55	19.05	14.16	14.29	22.4				
Recycling - Scrap Metal (tons)	0.98	20.53	0.93	2.29	9.39	1.79	8.66					
Recycling - Scrap tires (tons)		71 (1.46)	158 (3.26)	80 (1.65)	53 (1.09)			66(1.36)				
Recycling - Glass (tons)	1.8	2.13	1.43	1.41	1.77	3	2.24	1.64				
Recycling - C & D (tons)												
Recycling - Mattresses			240 (6.6)	127 (3.49)	123 (3.38)	78 (2.15)	190 (8.07)	82 (3.69)				
95G Garbage carts (each)	38	62	57	102	115	35	125	98				
65G Recycling Carts (each)	24	25	21	29	32	24	39	36				
18G Recycling bins (each)	8	3	1	3	1	3	5	2				
Dumpsters (each)	2			9	11	5	2	11				
Cemetery Permits	2	2	5	3	4	2	3	2				



**Note: 1,248.59 tons of trash /garbage collected and disposed.
166.19 tons of recycled materials collected, including scrap tires & mattresses.**

ITEMS OF INTEREST

- I. Project Update- Transfer Station Improvements:
 - Repair French drains in front of the building. **Complete! (June 17, 2023)**
 - Repair concrete tipping floor, outside the building. **Complete!**

- II. Transfer Station tonnage report: Deposited 6,675.61 tons in August 2023. A decrease of 3,412.85 tons from August 2022. **10,088 tons at (34%)**
YTD total: 50,425 tons in 2023, down 76,370 tons in 2022 at 34%

- III. Curbside Recycling Update: 18% increase in customer participation, using the 65 gallon “Blue” cart!
The “Oops” tags are being implemented, to help educate citizens and reduce the amount of contamination in the cart.
 - Customers who did not receive a cart or would like to participate, should call our office at: 770-267-6933 to make their request. **Service reminder: All acceptable items should be loose inside the cart and not in plastic bags! Oversized cardboard broken down, bundled, and set out next to the cart, for separate collection!**

- IV. Curbside Glass Collection Update: Currently have 399 customers participating. (1.64 tons collected in August 2023).
Reminder: Please rinse the glass containers and remove all caps or lids. Also, Items cannot be mixed with other recycling materials! A separate vehicle will collect the glass.

- V. Solid Waste Website: The information is being updated, to improve our customer service and to help educate citizens on service guidelines. **We encourage all our citizens to please visit!**

- VI. Mattress Update: Effective January 3, 2023 we are no longer accepting mattresses and box springs in the curbside collection program, due to MSW landfill restrictions!
Note: We are currently cleaning up mattresses set out at the curb, to avoid an unsightly pile up! Once they are all removed, any mattresses set out, may be charged for pickup! Walton Co. Recycling Center at 2051 Leroy Anderson Rd. is now accepting mattresses for a \$10.00 fee. LIMIT 2!

- VII. The new 9cy Rear Loader truck arrived on Friday, July 28, 2023.



**STREETS AND
TRANSPORTATION
DEPARTMENT
MONTHLY REPORT
OCTOBER
2023**

Public Works Administration

August 2023

	Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Total
Calls received	738	680	668	457	747	810	678	887					5665
Work orders received	86	76	101	94	149	102	149	169					926
Work orders completed	85	74	101	93	147	67	145	162					874
Permits received/approved -													
Road closure			1		5		5	5					16
Parade													0
Procession													0
Public demonstration													0
Assembly			2	1		8	3	1					15
Picket													0
Road race				1									1

Fleet Maintenance Division

*Repaired/Service vehicles or equipment for the following departments:

Department	Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Total
Airport													0
City Hall													0
Code							1	4					5
Electric/Cable	3	5	2		2	4	2	4					22
Finance													0
Fire		6	5	5	7	4	3	8					38
Gas/Water/Sewer	11	4	8	6	7	9	10	5					60
GUTA					1			1					2
Meter Readers	2	1		2	2	1	3						11
Motor Pool													0
Police	22	13	24	16	17	21	22	26					161
Public Works	29	33	32	27	43	39	29	27					259
TOTAL	67	62	71	56	79	78	70	75	0	0	0	0	558

Street Division

- Backfill sidewalk on Church Street and Madison Ave.
- Mathews Park sidewalk and curb
- Trimmed trees – city wide
- Inert mowing grass
- Maple Street sidewalk preparation
- Farmers market preparation
- Picked up Christmas lights
- Trimmed trees in Childers Park
- Trimmed trees at Art Guild
- Paved Mathews Park
- Fixed sidewalk at Millcreek

	January	February	March	April	May	June	July	August	September	October	November	December	Total
Utility Cuts			10	8	12	9	17						56
Pot Holes	7	3	4	10	5	4	2						35

Stormwater

- Storm grate cleaning (City wide)
- Raise sewer man hole covers on Walton Road
- Pond Maintenance/Mow
 - Baron Drive
 - Marable Street
- * Catch basin maintenance/structure repair
 - Broad Street
 - East Marable Street
 - Highland Ave
 - Library parking lot
 - Milledge Ave
 - North Madison Ave
 - Walton Road
- Inspections
 - Oakridge
 - Vine Street

System Inspections -

	January	February	March	April	May	June	July	August	September	October	November	December	Total
Grates	60	43	68	72	49	57	16	76					441
Total Tons	1.4	0.22	1.19	0.45	0.42	0.26	0.1	1.01					5.05

Sign & Marking Division

• General maintenance:

	Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Total
Signs repaired	6	12	6	2	6	6	6	15					59
Signs replaced	4	15	49	13	15	30	20	19					165
Sign post replaced/installed	4	7	37	12	16	10	8	21					115
New signs	33	34	56	47	44	53	47	54					368
Signs cleaned	5	7	4	6	4	7		6					39
Signs installed (new)		4	1	8	15	9	7	5					49
City emblems installed			2	6				10					18
In-lane pedestrian signs		1	3		2		1						7
Banners		3	4	3	9		6	2					27
Compaction Test													0
Traffic Studies	6	16	1		6	1	1	1					32
Parking Lot Striped													0
Speed hump installed				1	2		1	1					5
Crosswalk installed													0
Stop bars installed		5	10	7	14	9	9	10					64
Airport Maint.	7												7
Handicap Marking													0
Curb Striped													0
TOTAL	65	104	173	105	133	125	106	144	0	0	0	0	955



TELECOM
DEPARTMENT
MONTHLY REPORT

OCTOBER
2023

Items of Interest

Telecom fiber routes have been moved or replaced around Town Green Project. Old facilities being removed.

Fiber installs have improved significantly in the past month. Multiple contractors have been brought in.

Electric Dept. received new service truck, which allows for two trucks to be deployed.

TELECOM: MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 08/2023 | FY 2023



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COMMENTARY & ANALYSIS

The net operating margin after transfers, FY to date was -8.71%

RECOMMENDATIONS

- *
- *
- *
- *

**MOST RECENT
12-MONTH**

FINANCIALS

Revenues

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
RETAIL SALES	\$ 542,583	\$ 537,189	\$ 4,406,666	\$ 4,461,432	\$ 6,652,358
OTHER REVENUES	34,274	25,484	246,695	190,706	382,429
ADJUSTMENTS	14,646	26,794	80,062	24,937	138,305
Total Revenues	\$ 591,503	\$ 589,467	\$ 4,733,424	\$ 4,677,076	\$ 7,173,092

Expenses

PERSONNEL	\$ 66,614	\$ 64,245	\$ 585,738	\$ 555,668	\$ 833,273
PURCHASED & CONTRACTED SVC	27,081	27,412	305,318	150,009	438,012
PURCHASED PROPERTY SERVICES	18,976	350	123,057	19,937	151,960
SUPPLIES	44,496	41,176	294,417	250,014	491,988
COST OF GOODS SOLD	225,154	232,414	1,805,704	1,860,102	2,782,275
DEPR, DEBT SVC & OTHER COSTS	133,983	123,817	1,102,969	977,233	1,548,245
FUND TRANSFERS	99,168	117,151	928,364	918,466	1,368,765
Total Combined Expenses	\$ 615,471	\$ 606,565	\$ 5,145,567	\$ 4,731,429	\$ 7,614,518

Income

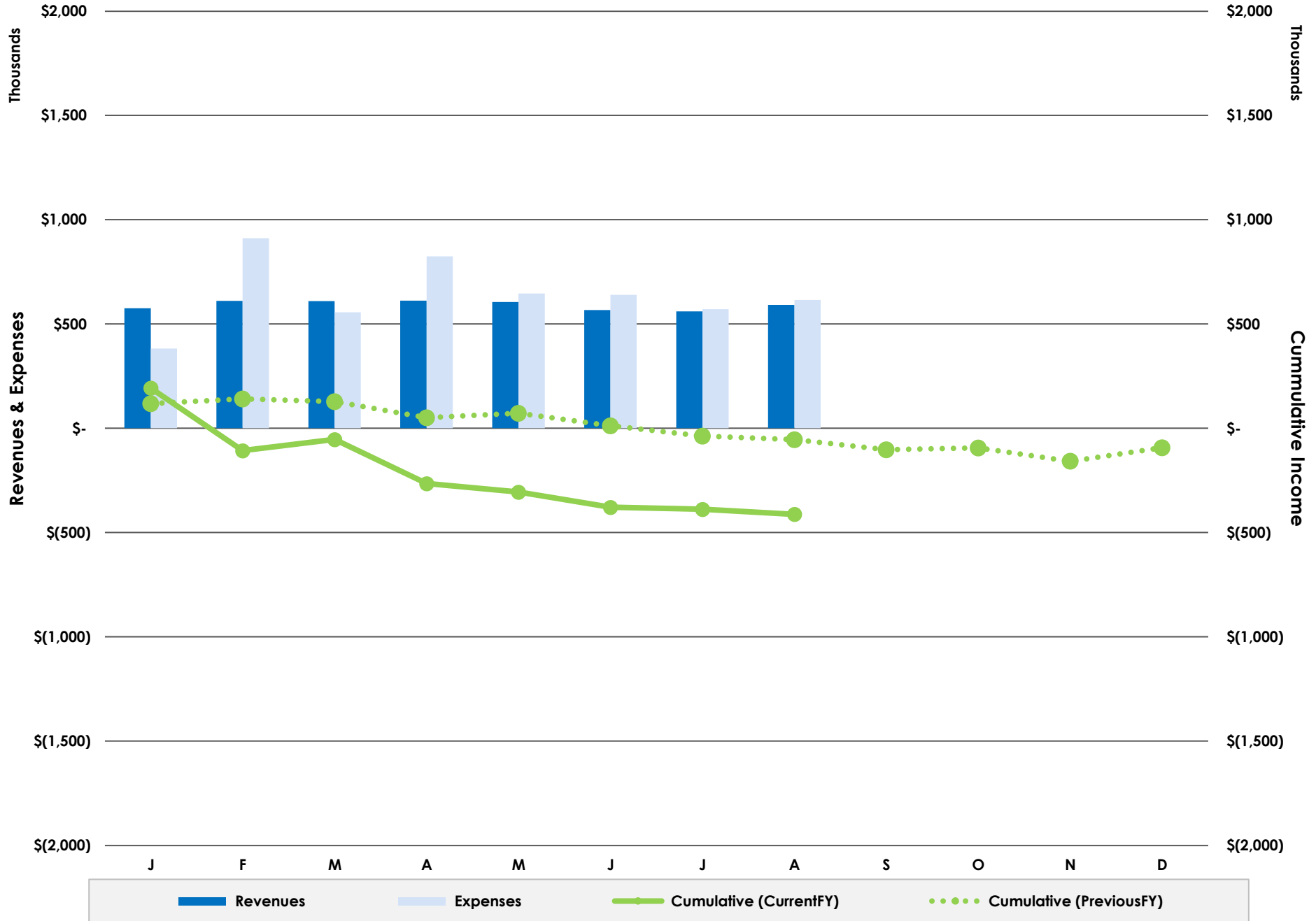
Before Transfer	\$ 75,200	\$ 100,053	\$ 516,221	\$ 864,112	\$ 927,339
After Transfer	\$ (23,968)	\$ (17,098)	\$ (412,143)	\$ (54,354)	\$ (441,426)

Margin

Before Transfer	12.71%	16.97%	10.91%	18.48%	12.93%
After Transfer	-4.05%	-2.90%	-8.71%	-1.16%	-6.15%

Note on Energy Loss: Loss is the difference between *Energy Purchased* and *Retail Sales*. *Energy Purchased* is reported on a calendar month basis by MEAG and SEPA. *Retail Sales* is reported on billing cycle that may not adhere to calendar month. Due to this timing difference, we suggest using Most Recent 12-Month Loss as a better indicator of loss.

CHART 1
MONTHLY DIRECTOR'S REPORT
REVENUE, EXPENSE & INCOME SUMMARY
FISCAL YEAR 2023



	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
RETAIL SALES					
<i>Note on Telecom Sales: Detail break-down for individual rate class is shown in TELECOM: RETAIL SALES section.</i>					
CABLE TELEVISION	\$ 174,600	\$ 206,435	\$ 1,491,287	\$ 1,727,541	\$ 2,297,002
DVR SERVICE	16,856	21,060	147,413	169,095	229,141
FIBER OPTICS	121,770	59,387	719,050	458,931	971,424
INTERNET	193,619	215,250	1,770,398	1,826,816	2,737,758
TELEPHONE	34,801	33,697	269,721	267,728	402,899
SET TOP BOX	937	1,360	8,797	11,322	14,135
Total RETAIL SALES (ACTUAL)	\$ 542,583	\$ 537,189	\$ 4,406,666	\$ 4,461,432	\$ 6,652,358
OTHER REVENUES					
CATV INSTALL/UPGRADE	\$ 260	\$ 140	\$ 176	\$ 3,877	\$ 1,445
MARKETPLACE ADS	-	-	-	-	-
PHONE FEES	1,174	813	7,306	6,294	10,785
EQUIPMENT SALES	-	-	-	-	-
MODEM RENTAL	6,221	8,019	57,528	63,969	89,579
VIDEO PRODUCTION REVENUE	-	-	-	-	-
MISCELLANEOUS	382	545	12,998	25,532	18,244
ADMIN ALLOCATION	26,286	15,967	168,737	91,050	258,233
OPERATING TRANSFERS IN	-	-	-	-	4,662
Transfer from CIP	-	-	-	-	-
MISCELLANEOUS	(50)	-	(50)	(15)	(519)
Total OTHER REVENUES ACTUAL	\$ 34,274	\$ 25,484	\$ 246,695	\$ 190,706	\$ 382,429
Adjustment	\$ 14,646	\$ 26,794	\$ 80,062	\$ 24,937	\$ 138,305
<i>Note: Adjustment added to match Financials</i>					
TOTAL REVENUES (ACTUAL)	\$ 591,503	\$ 589,467	\$ 4,733,424	\$ 4,677,076	\$ 7,173,092

MOST RECENT
12-MONTH

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	
SUMMARY					
Personnel	\$ 66,614	\$ 64,245	\$ 585,738	\$ 555,668	\$ 833,273
Purchased & Contracted Svc	27,081	27,412	305,318	150,009	438,012
Purchased Property Services	18,976	350	123,057	19,937	151,960
Supplies	44,496	41,176	294,417	250,014	491,988
Cost of Goods Sold	225,154	232,414	1,805,704	1,860,102	2,782,275
Depr, Debt Svc & Other Costs	133,983	123,817	1,102,969	977,233	1,548,245
Fund Transfers	99,168	117,151	928,364	918,466	1,368,765
TOTAL SUMMARY (ACTUAL)	\$ 615,471	\$ 606,565	\$ 5,145,567	\$ 4,731,429	\$ 7,614,518

TELECOM

Personnel

Salaries	\$ 52,269	\$ 44,469	\$ 409,217	\$ 378,470	\$ 580,222
Benefits	14,346	19,776	176,521	177,198	253,051
Total Personnel (ACTUAL)	\$ 66,614	\$ 64,245	\$ 585,738	\$ 555,668	\$ 833,273

Purchased & Contracted Svc

Attorney Fees	-	-	-	-	-
Audit Services	-	-	-	-	-
Professional Fees	-	713	-	713	41
Web Design	-	-	-	-	-
Consulting - Technical	-	-	-	-	-
HOLIDAY EVENTS	-	-	-	-	-
Lawn Care & Maintenance	-	-	-	-	-
Security Systems	129	129	387	962	1,294
Pest Control	-	-	-	-	-
Maintenance	928	359	10,734	8,000	20,502
Equipment Rents/Leases	-	188	1,502	1,690	2,253
Pole Equip. Rents/Leases	-	-	-	-	-
Equipment Rental	41	16	131	102	212
CONSULTING - TECHNICAL	-	-	-	-	-
LAWN CARE & MAINTENANCE	32	32	192	160	256
HOLIDAY EVENTS	-	-	-	-	135
SECURITY SYSTEMS	-	-	570	-	570
Outside Maintenance	85	336	68,101	10,506	77,135
EQUIPMENT RENTS / LEASES	-	-	-	-	-
POLE EQUIPMENT RENTS / LEASES	-	-	-	-	4,772
MAINTENANCE CONTRACTS	69	10,012	32,569	34,752	45,946
EQUIPMENT RENTAL	34	11	109	68	163
COMMUNICATION SERVICES	2,130	2,262	18,342	15,911	30,991
INTERNET COSTS	-	-	-	2,120	99
POSTAGE	-	45	-	45	-
TRAVEL EXPENSE	-	-	1,561	1,620	1,822
DUES/FEES	560	750	24,710	14,086	29,253
VEHICLE TAG & TITLE FEE	-	-	162	-	162
FCC FEES	4,099	3,310	20,186	24,171	32,375
GA DEPT OF REV FEES	-	-	-	-	-
TRAINING & EDUCATION -EMPLOYEE	-	-	3,586	8,974	6,331
CONTRACT LABOR	18,976	9,250	122,477	26,129	183,700
SOFTWARE EXPENSE	-	-	-	-	-
SHIPPING / FREIGHT	-	-	-	-	-
Total Purchased & Contracted Svc (ACTUAL)	\$ 27,081	\$ 27,412	\$ 305,318	\$ 150,009	\$ 438,012

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
Purchased Property Services					
Equipment Rep & Maint -Outside	-	-	-	-	-
Equipment Rental	-	-	-	-	-
Repair & Maintenance (Outside)	-	-	-	-	-
Repair & Maintenance (Inside)	-	-	-	-	-
Maintenance Contracts	-	-	-	-	-
Other Contractual Services	-	-	-	-	-
Communication Services	-	350	2,617	2,266	3,894
Postage	-	-	-	-	1,300
INTERNET COSTS	-	-	-	-	2,000
Public Relations	-	-	-	-	-
Marketing Expense	-	-	-	-	-
					878
Dues & Subscriptions	-	-	-	-	-
Fees	-	-	761	792	761
FCC Fees	-	-	-	-	-
Training & Education	-	-	-	-	-
General Liability Insurance	-	-	-	-	-
Vehicle Tag & Title Fee	-	-	-	-	-
GA Dept Revenue Fee	-	-	-	-	-
Uniform Rental	-	-	-	-	-
Contract Labor	18,976	-	119,680	16,879	143,127
Fines/Late Fee	-	-	-	-	-
Shipping/Freight	-	-	-	-	-
Total Purchased Property Services (ACTUAL) \$	18,976 \$	350 \$	123,057 \$	19,937 \$	151,960

TELECOM (Continued)

Supplies

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
Chemicals & Pesticides	\$ -	\$ -	\$ -	\$ -	\$ -
Office Supplies & Expense	-	258	-	258	-
Postage	-	-	-	-	-
Auto Parts	-	624	525	6,004	3,477
CONSTRUCTION MATERIALS	-	-	-	-	-
Damage Claims - CableTV	-	-	-	-	-
EXPENDABLE FLUIDS	-	-	195	244	377
Tires	-	-	1,865	265	4,167
Uniform Expense	-	-	-	2,557	200
Janitorial Supplies	309	282	2,181	2,189	3,519
Equipment Parts	1,272	85	2,029	463	2,576
R&M Building - Inside	-	-	-	-	-
Equipment R&M - Inside	-	-	-	-	-
System R&M - Inside	2,062	5,022	13,149	24,376	58,220
Sys R&M - Inside/Shipping	-	-	-	-	-
COVID-19 EXPENSES	-	-	-	-	-
Utility Costs	3,081	2,947	23,568	28,463	37,225
Mileage Reimbursement	-	-	-	-	-
Auto & Truck Fuel	1,373	1,860	8,134	9,968	15,092
Food	140	185	670	708	1,093
Small Tools & Minor Equipment	117	66	1,265	661	1,944
Small Operating Supplies	655	175	1,983	2,011	4,166
EMPLOYEE RECOGNITION	-	-	619	-	619
Uniform Expense	-	-	-	-	-
Equipment Pur (Less than \$5M)	-	-	-	-	-
OFFICE SUPPLIES & EXPENSES	91	100	906	323	1,300
AUTO PARTS	200	-	1,025	72	1,175
CONSTRUCTION MATERIALS	-	-	479	-	479
EXPENDABLE FLUIDS	-	-	-	-	15
SAFETY/MEDICAL SUPPLIES	178	-	178	-	178
UNIFORM EXPENSE	649	-	4,037	2,628	6,756
JANITORIAL SUPPLIES	-	-	-	-	315
COMPUTER EQUIP NON-CAP	1,586	1,100	5,734	3,825	8,884
EQUIPMENT PARTS	-	861	12,085	2,399	16,477
REPAIRS & MAINTENANCE	17,980	12,217	115,672	78,523	173,073
COVID-19 EXPENSES	-	-	-	-	-
UTILITY COSTS	1,947	1,873	13,638	12,850	23,195
AUTO & TRUCK FUEL	1,373	1,860	8,134	10,194	15,230
SMALL TOOLS & MINOR EQUIPMENT	4,786	6,274	26,061	20,132	46,004
SMALL OPERATING SUPPLIES	1,100	1,758	8,942	12,847	14,425
DEPRECIATION EXPENSE	5,598	3,478	41,343	27,826	51,778
EQUIPMENT	-	-	-	-	-
Total Supplies (ACTUAL)	\$ 44,496	\$ 41,176	\$ 294,417	\$ 250,014	\$ 491,988

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	12-MONTH
Cost of Goods Sold					
Internet Costs	-	-	-	-	-
Cost of Sales Telephone	-	-	-	-	-
Cost of Sales Fiber	-	-	-	-	-
Cost of Sales Electricity	-	-	-	-	-
Cost of Sales Telephone	18,785	17,960	148,637	131,899	219,276
Cost of Sales CATV	171,014	188,275	1,398,568	1,518,781	2,186,922
Cost of Sales Internet	21,779	17,987	195,948	143,552	280,872
Cost of Sales Internet	-	-	-	-	-
Cost of Sales Fiber	8,029	8,193	57,004	65,870	89,659
Cost of Sales Streaming	5,546	-	5,546	-	5,546
Cost of Programming CATV	-	-	-	-	-
Total Cost of Goods Sold (ACTUAL)	\$ 225,154	\$ 232,414	\$ 1,805,704	\$ 1,860,102	\$ 2,782,275

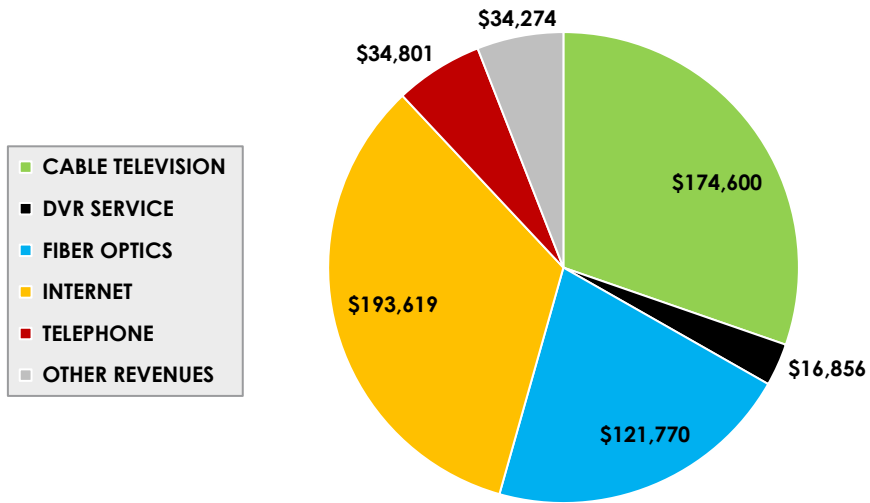
Depr, Debt Svc & Other Costs					
Damage Claims - CableTV	\$ -	\$ -	\$ -	\$ -	\$ -
Damage Claims - Telecom	\$ 16,874	\$ -	\$ 44,923	\$ -	\$ 44,923
Miscellaneous	-	-	-	-	-
Utility Cashiers (Over)/Short	-	-	-	-	-
Utility Internal Admin Allocate	-	-	-	-	-
Depreciation Expense	15,470	15,619	123,909	125,212	170,766
INTEREST EXP - 2020 REV BONDS	43,089	43,089	344,713	344,713	517,070
Amortization Exp	-	-	-	-	-
Admin. Allocation - Adm Exp	67,273	73,832	659,211	577,095	920,167
Utility Bad Debt Expense	-	-	-	-	-
Revenue Bond Principal	-	-	-	-	-
Debt Service Interest	-	-	-	-	-
Interest Expenses (Bond)	-	-	-	-	-
Construction in Progress	-	-	-	-	-
Capital Exp-Software	-	-	-	-	-
Capital Exp - Equipment	-	-	-	-	-
Total Depr, Debt Svc & Other Costs (ACTUAL)	\$ 133,983	\$ 123,817	\$ 1,102,969	\$ 977,233	\$ 1,548,245

Fund Transfers					
Trans Out 5% to Gen Fund - CABLE TV	11,590	17,461	102,210	143,311	172,410
Trans Out 5% to Gen Fund - TELECOM	20,305	25,858	166,943	198,060	276,188
ADMIN ALLOC - ADMIN EXPENSES	67,273	73,832	659,211	577,095	920,167
Total Fund Transfers (ACTUAL)	\$ 99,168	\$ 117,151	\$ 928,364	\$ 918,466	\$ 1,368,765

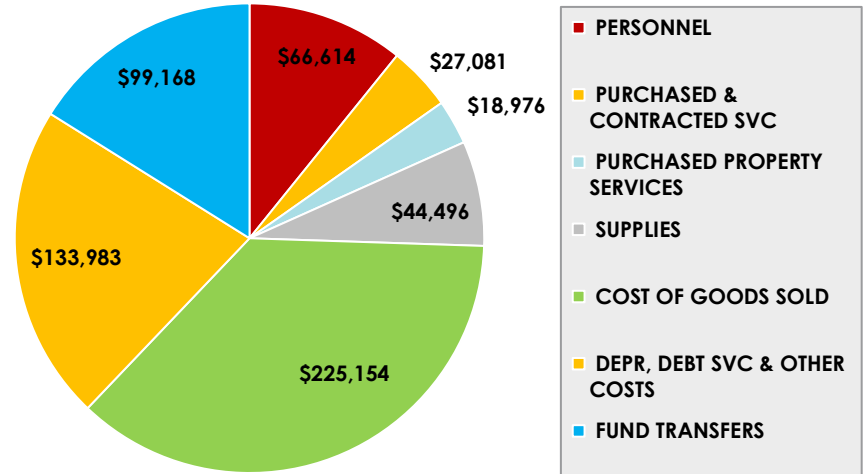
TOTAL TELECOM EXPENSES (ACTUAL)	\$ 615,471	\$ 606,565	\$ 5,145,567	\$ 4,731,429	\$ 7,614,518
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**CHART 5
MONTHLY DIRECTOR'S REPORT
REVENUES & EXPENSES**

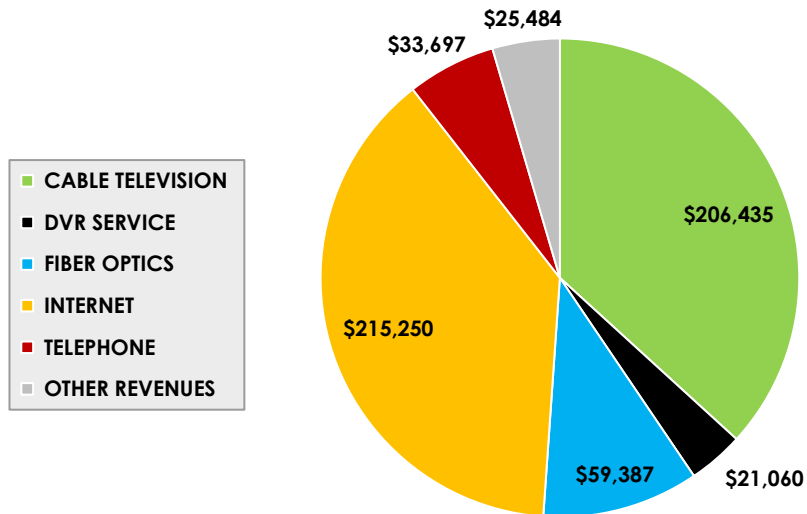
REVENUES [Aug 2023]



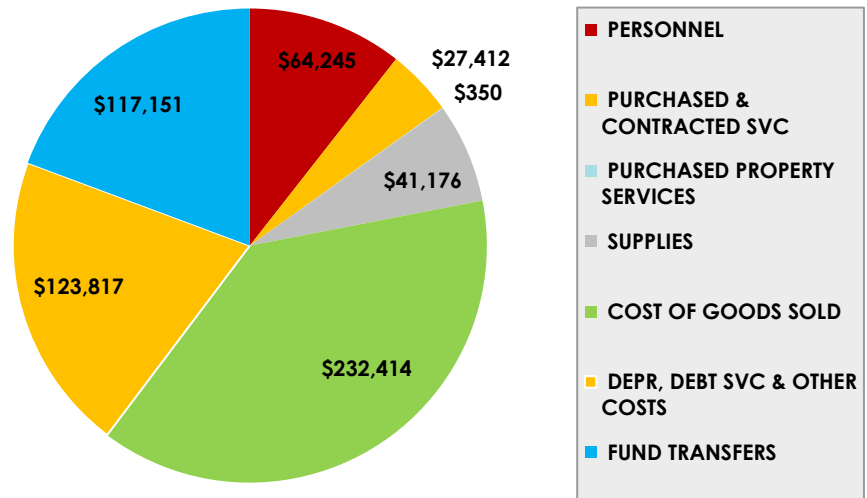
EXPENSES [Aug 2023]



REVENUES [Aug 2022]



EXPENSES [Aug 2022]



	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
BASIC & EXPANDED BASIC					
Number of Bills	1,407	1,681	12,082	14,144	18,661
Revenue (\$)	\$ 161,373	\$ 191,958	\$ 1,382,311	\$ 1,611,150	\$ 2,130,824
Revenue Per Bill (\$)	\$ 115	\$ 114	\$ 114	\$ 114	\$ 114
MINI BASIC					
Number of Bills	278	303	2,256	2,415	3,456
Revenue (\$)	\$ 10,492	\$ 11,253	\$ 85,641	\$ 89,703	\$ 130,348
Revenue Per Bill (\$)	\$ 38	\$ 37	\$ 38	\$ 37	\$ 38
BOSTWICK					
Number of Bills	8	11	74	88	114
Revenue (\$)	\$ 943	\$ 1,219	\$ 8,472	\$ 10,074	\$ 13,072
Revenue Per Bill (\$)	\$ 118	\$ 111	\$ 114	\$ 114	\$ 115
BULK CATV/MOTEL					
Number of Bills	4	4	32	32	48
Revenue (\$)	\$ 1,310	\$ 1,310	\$ 10,480	\$ 10,480	\$ 15,720
Revenue Per Bill (\$)	\$ 328	\$ 328	\$ 328	\$ 328	\$ 328
SHOWTIME					
Number of Bills	3	3	24	30	36
Revenue (\$)	\$ 44	\$ 44	\$ 352	\$ 378	\$ 527
Revenue Per Bill (\$)	\$ 15	\$ 15	\$ 15	\$ 13	\$ 15
SHOW/HBO					
Number of Bills	1	4	15	38	31
Revenue (\$)	\$ 13	\$ 50	\$ 184	\$ 474	\$ 376
Revenue Per Bill (\$)	\$ 13	\$ 13	\$ 12	\$ 12	\$ 12
BULK SHOWTIME/MOTEL					
Number of Bills	-	-	-	-	-
Revenue (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
Revenue Per Bill (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
CINEMAX					
Number of Bills	2	2	16	16	24
Revenue (\$)	\$ 29	\$ 29	\$ 234	\$ 234	\$ 352
Revenue Per Bill (\$)	\$ 15	\$ 15	\$ 15	\$ 15	\$ 15

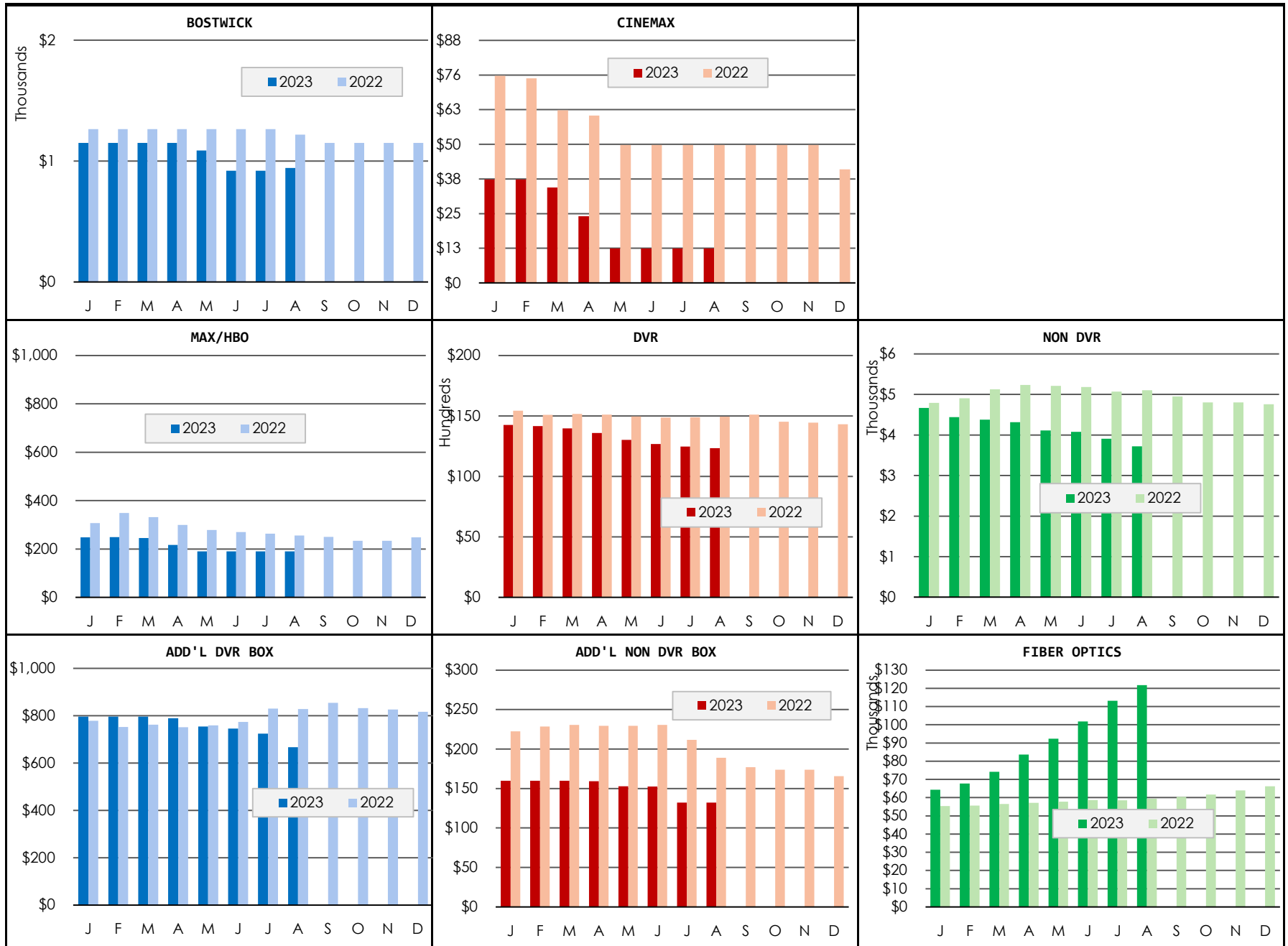
	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
HBO					
Number of Bills	13	18	119	164	185
Revenue (\$)	\$ 190	\$ 256	\$ 1,722	\$ 2,356	\$ 2,690
Revenue Per Bill (\$)	\$ 15	\$ 14	\$ 14	\$ 14	\$ 15
MAX/HBO					
Number of Bills	-	3	7	41	19
Revenue (\$)	\$ -	\$ 38	\$ 84	\$ 486	\$ 226
Revenue Per Bill (\$)	\$ -	\$ 13	\$ 12	\$ 12	\$ 12
PLAYBOY					
Number of Bills	-	-	-	-	-
Revenue (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
Revenue Per Bill (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
STARZ					
Number of Bills	14	19	126	154	199
Revenue (\$)	\$ 205	\$ 278	\$ 1,807	\$ 2,207	\$ 2,867
Revenue Per Bill (\$)	\$ 15	\$ 15	\$ 14	\$ 14	\$ 14
DVR					
Number of Bills	103	126	893	1,019	1,386
Revenue (\$)	\$ 12,338	\$ 14,942	\$ 106,522	\$ 120,479	\$ 164,930
Revenue Per Bill (\$)	\$ 120	\$ 119	\$ 119	\$ 118	\$ 119
NON DVR					
Number of Bills	31	44	282	348	444
Revenue (\$)	\$ 3,720	\$ 5,101	\$ 33,615	\$ 40,612	\$ 52,916
Revenue Per Bill (\$)	\$ 120	\$ 116	\$ 119	\$ 117	\$ 119
SET TOP BOX					
Number of Bills	77	112	729	931	1,167
Revenue (\$)	\$ 937	\$ 1,360	\$ 8,797	\$ 11,322	\$ 14,135
Revenue Per Bill (\$)	\$ 12	\$ 12	\$ 12	\$ 12	\$ 12

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
ADD'L DVR BOX					
Number of Bills	46	58	401	440	626
Revenue (\$)	\$ 667	\$ 828	\$ 6,067	\$ 6,233	\$ 9,395
Revenue Per Bill (\$)	\$ 14	\$ 14	\$ 15	\$ 14	\$ 15
ADD'L NON DVR BOX					
Number of Bills	13	20	114	167	183
Revenue (\$)	\$ 132	\$ 189	\$ 1,208	\$ 1,771	\$ 1,899
Revenue Per Bill (\$)	\$ 10	\$ 9	\$ 11	\$ 11	\$ 10
FIBER					
Number of Bills	1,609	319	7,944	2,305	9,478
Revenue (\$)	\$ 121,770	\$ 59,387	\$ 719,050	\$ 458,931	\$ 971,424
Revenue Per Bill (\$)	\$ 76	\$ 186	\$ 91	\$ 199	\$ 102
INTERNET					
Number of Bills	3,306	4,153	30,365	32,918	46,941
Revenue (\$)	\$ 189,367	\$ 213,391	\$ 1,745,051	\$ 1,810,715	\$ 2,704,781
Revenue Per Bill (\$)	\$ 57	\$ 51	\$ 57	\$ 55	\$ 58
WIRELESS INTERNET					
Number of Bills	284	27	1,347	235	1,479
Revenue (\$)	\$ 4,252	\$ 1,859	\$ 25,347	\$ 16,101	\$ 32,977
Revenue Per Bill (\$)	\$ 15	\$ 69	\$ 19	\$ 69	\$ 22
RESIDENTIAL PHONE					
Number of Bills	703	737	5,707	5,917	8,629
Revenue (\$)	\$ 8,712	\$ 6,639	\$ 59,037	\$ 50,935	\$ 85,450
Revenue Per Bill (\$)	\$ 12	\$ 9	\$ 10	\$ 9	\$ 10
COMMERCIAL PHONE					
Number of Bills	271	286	2,185	2,279	3,314
Revenue (\$)	\$ 17,725	\$ 18,274	\$ 142,820	\$ 146,311	\$ 214,922
Revenue Per Bill (\$)	\$ 65	\$ 64	\$ 65	\$ 64	\$ 65
TOTAL REVENUES	\$ 534,219	\$ 528,405	\$ 4,338,802	\$ 4,390,951	\$ 6,549,831

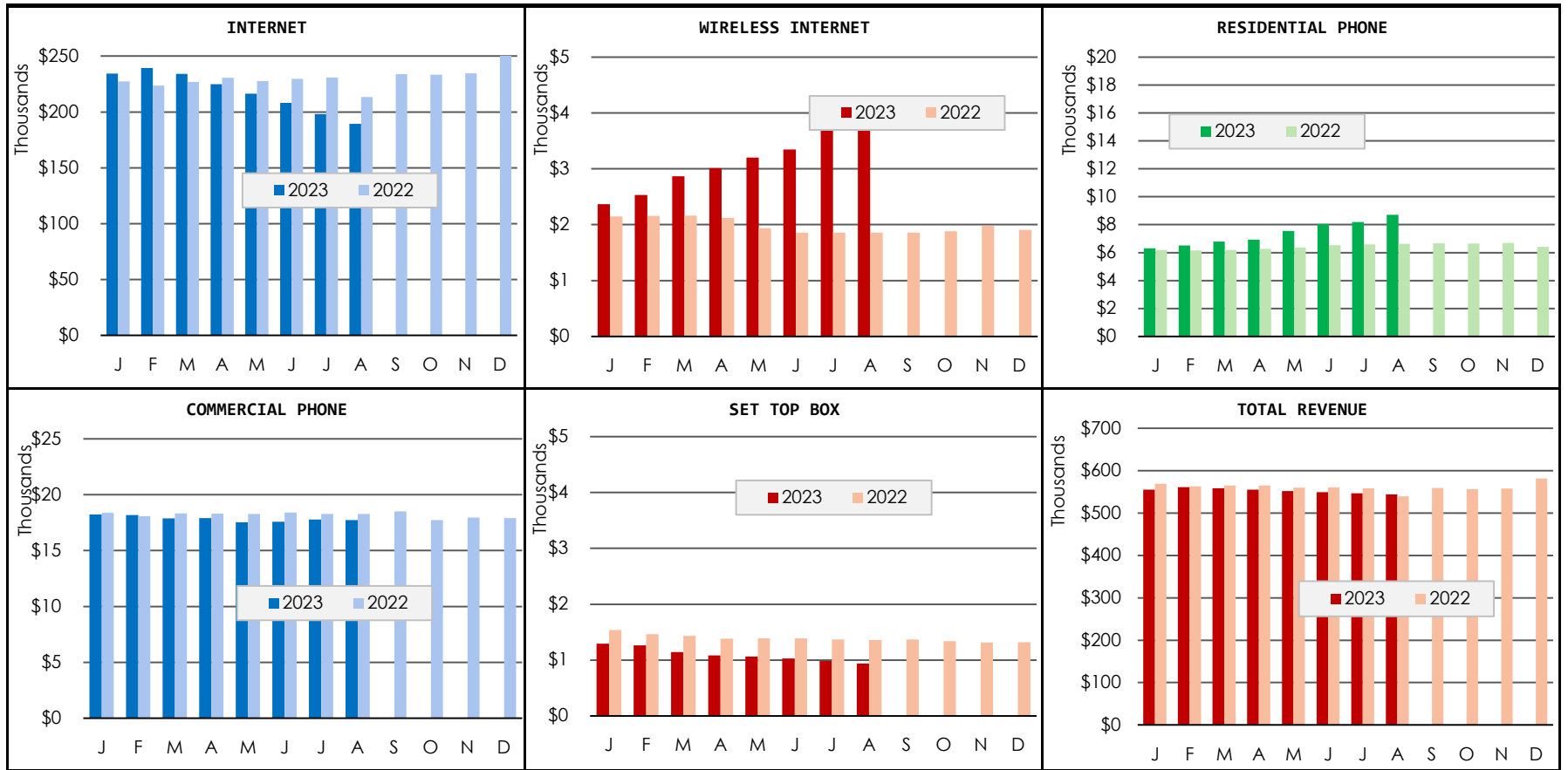
**CHART 7
REVENUES FROM SALES BY CLASS
CURRENT VS. PREVIOUS FISCAL YEAR**

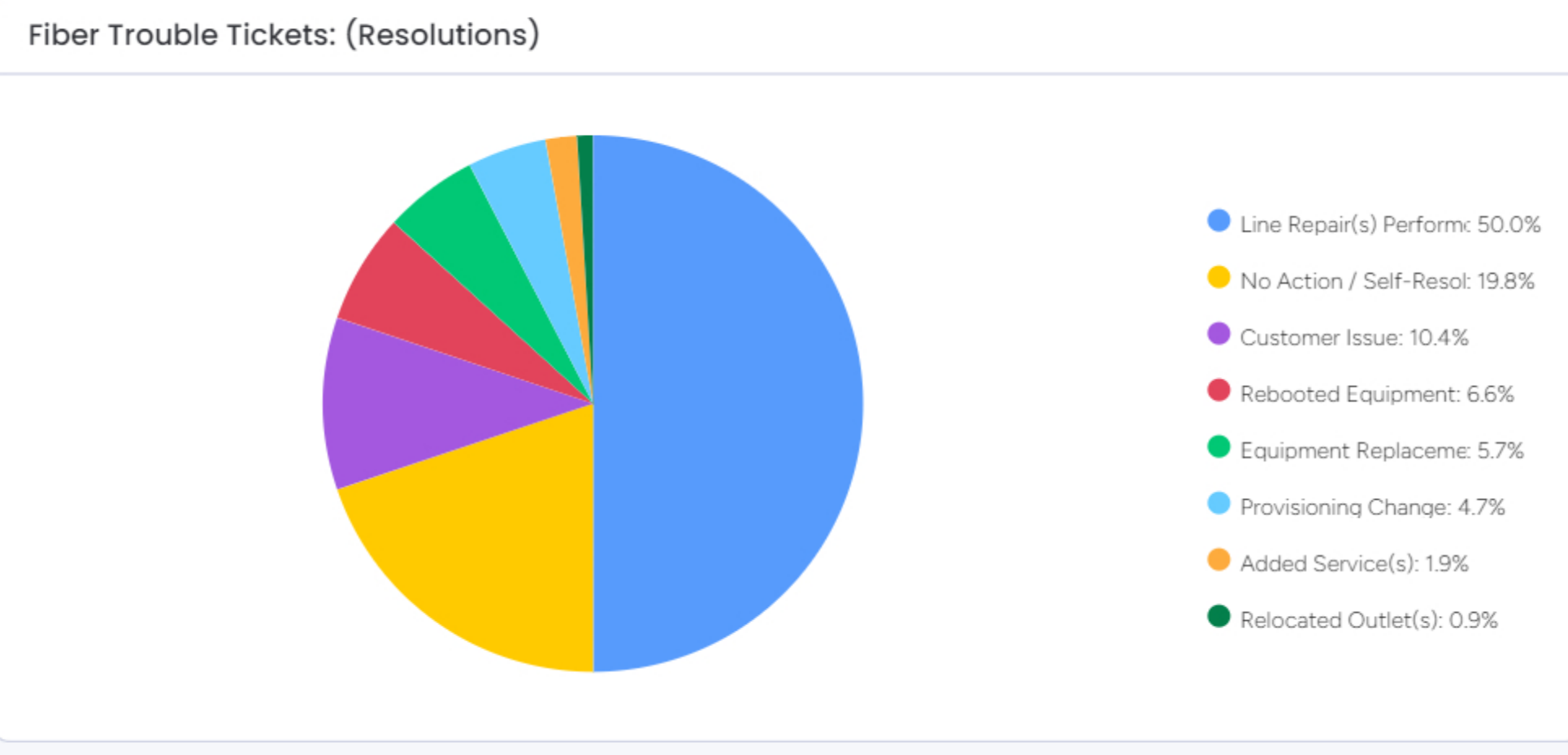
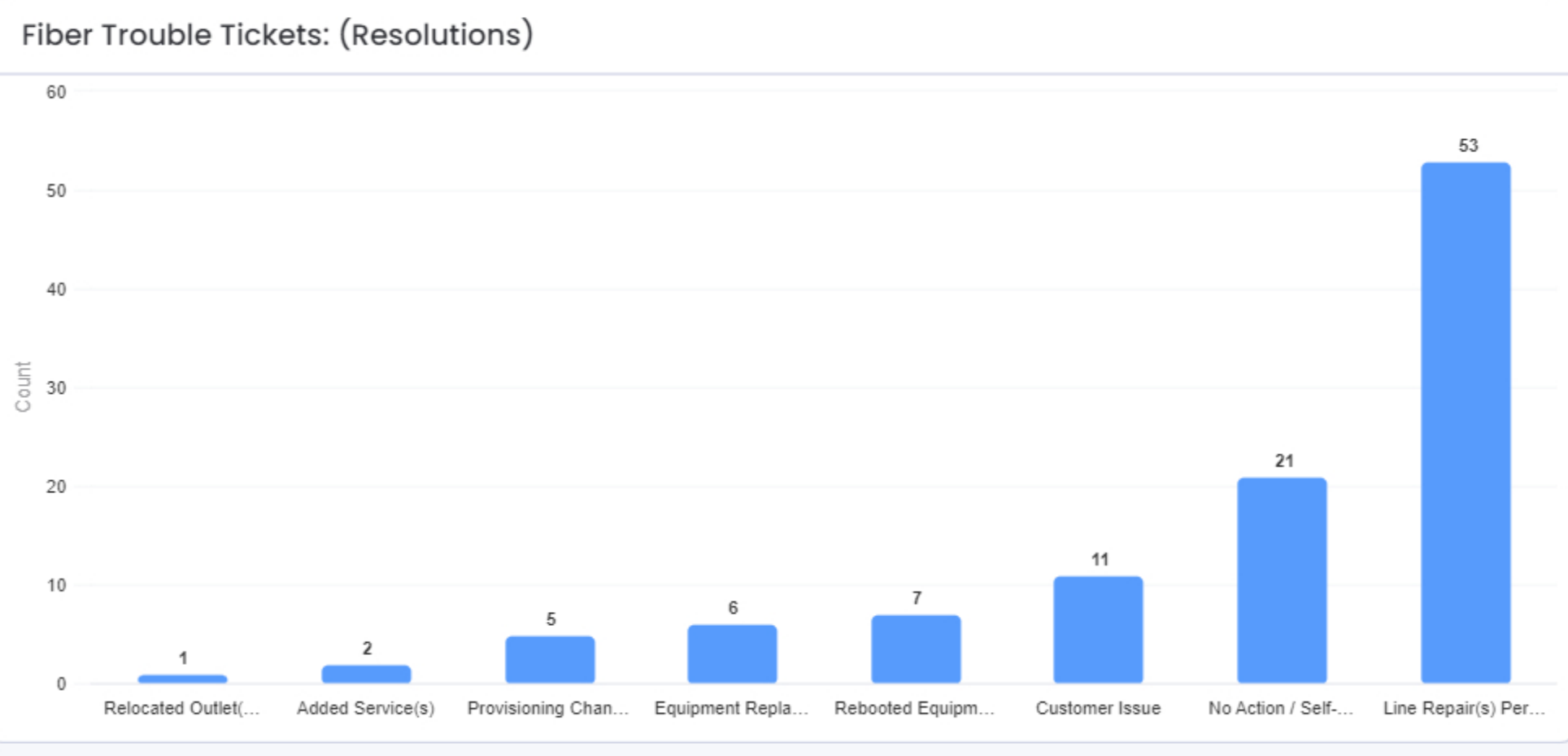
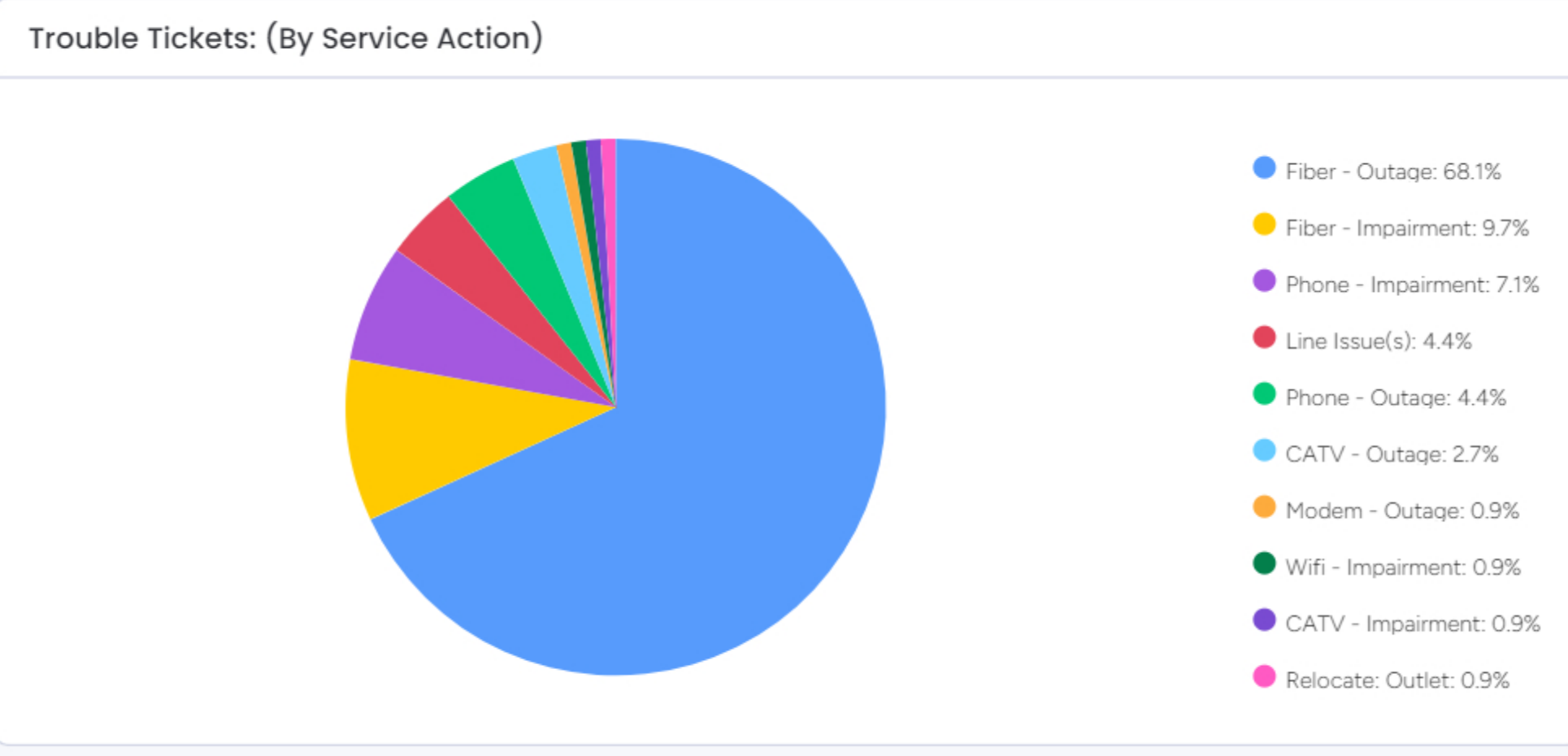
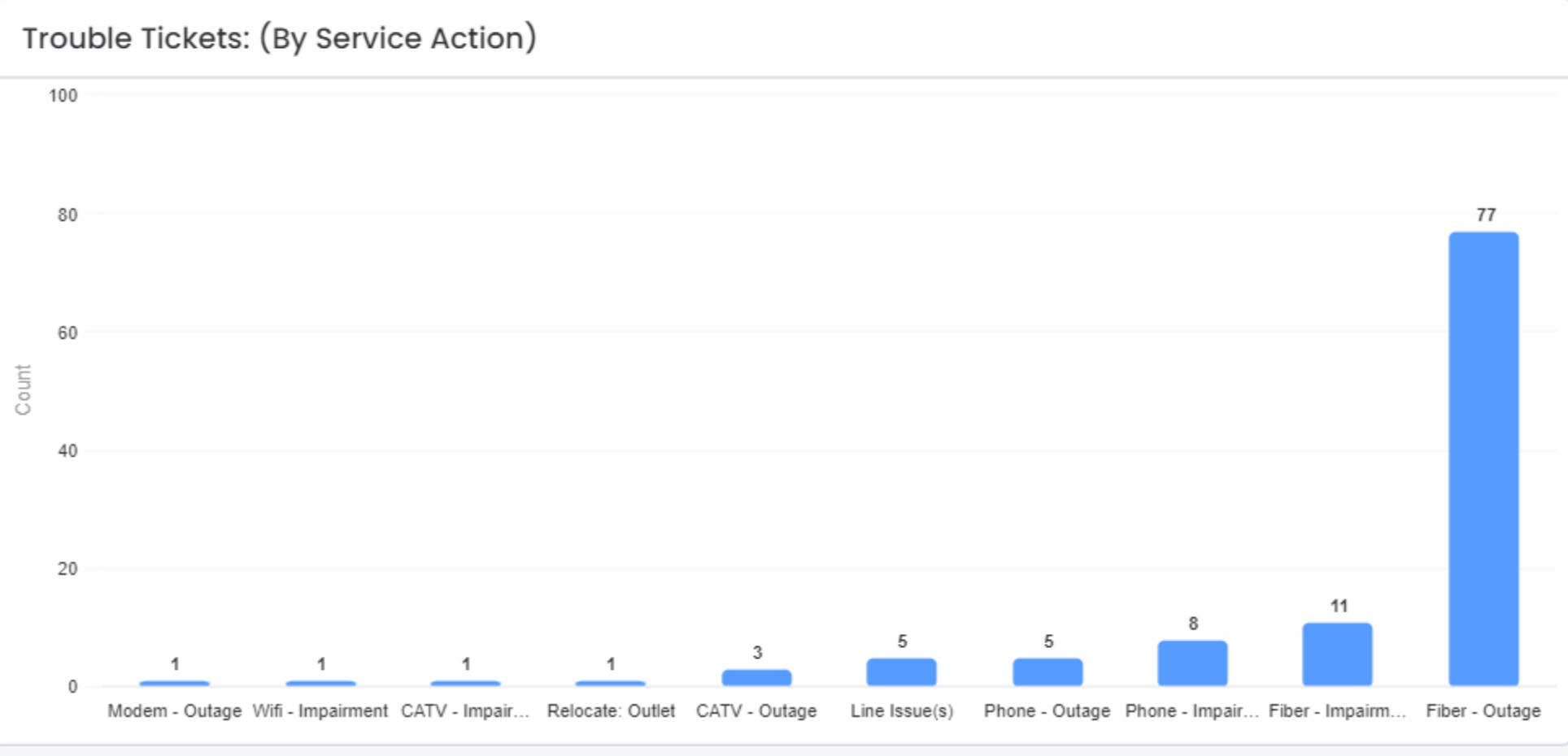
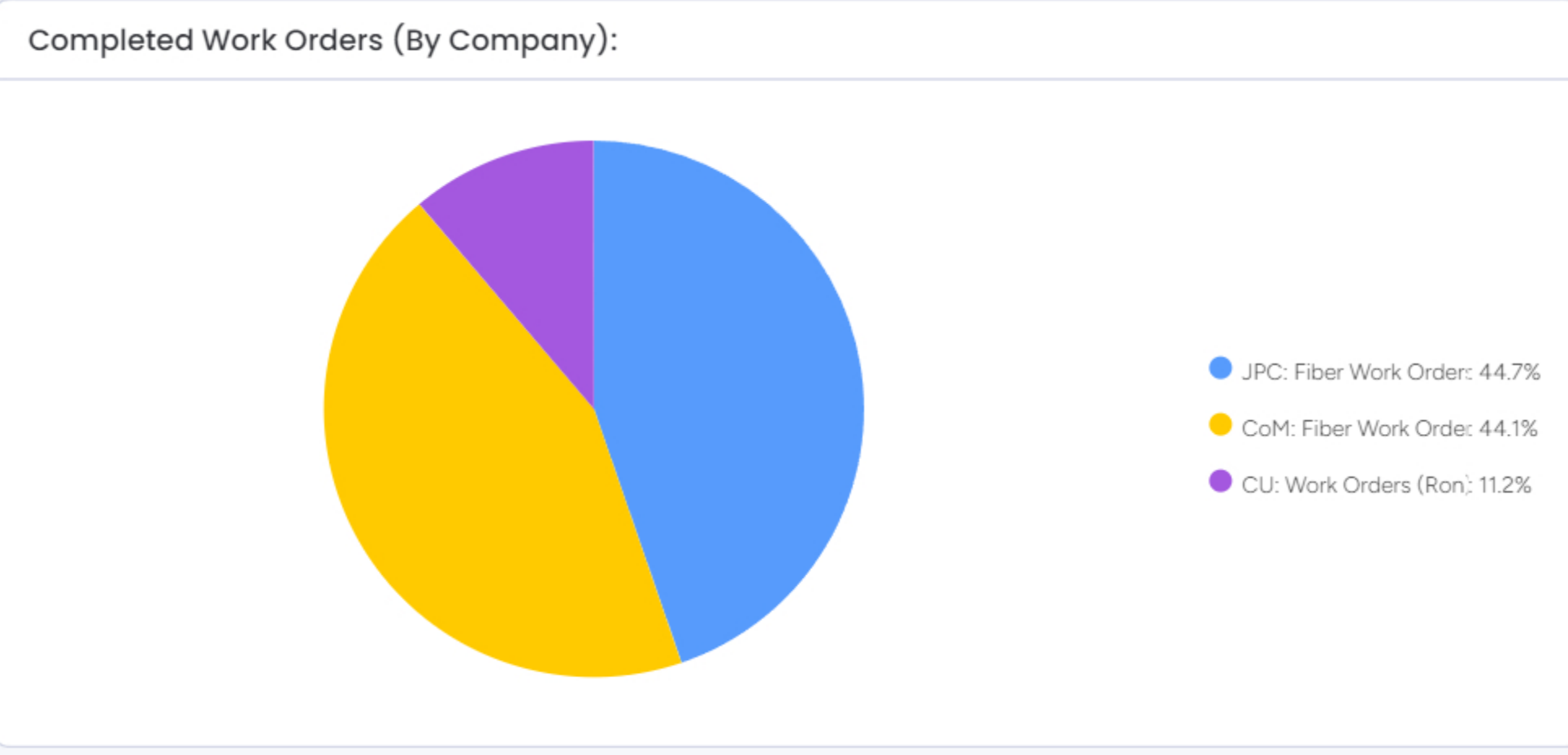
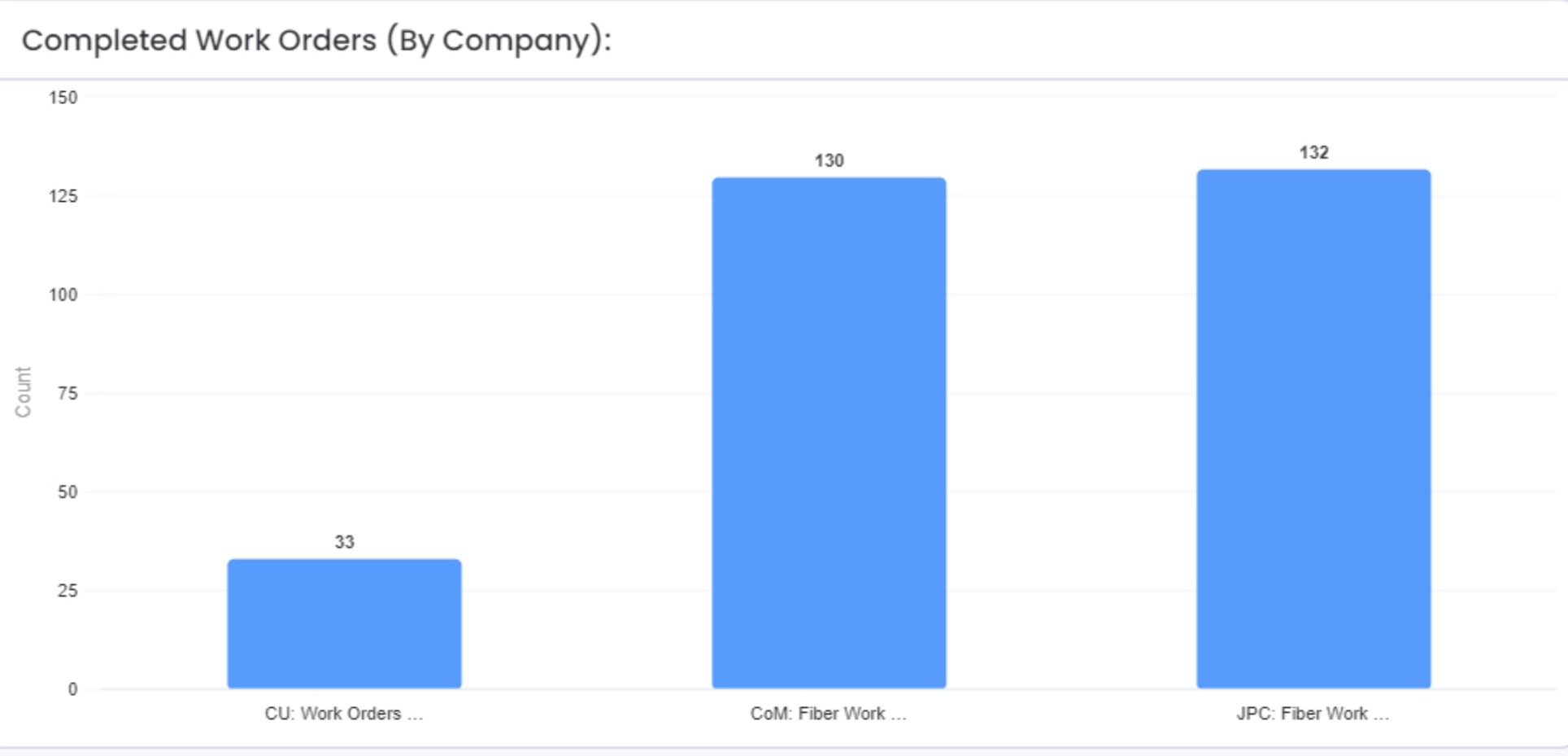
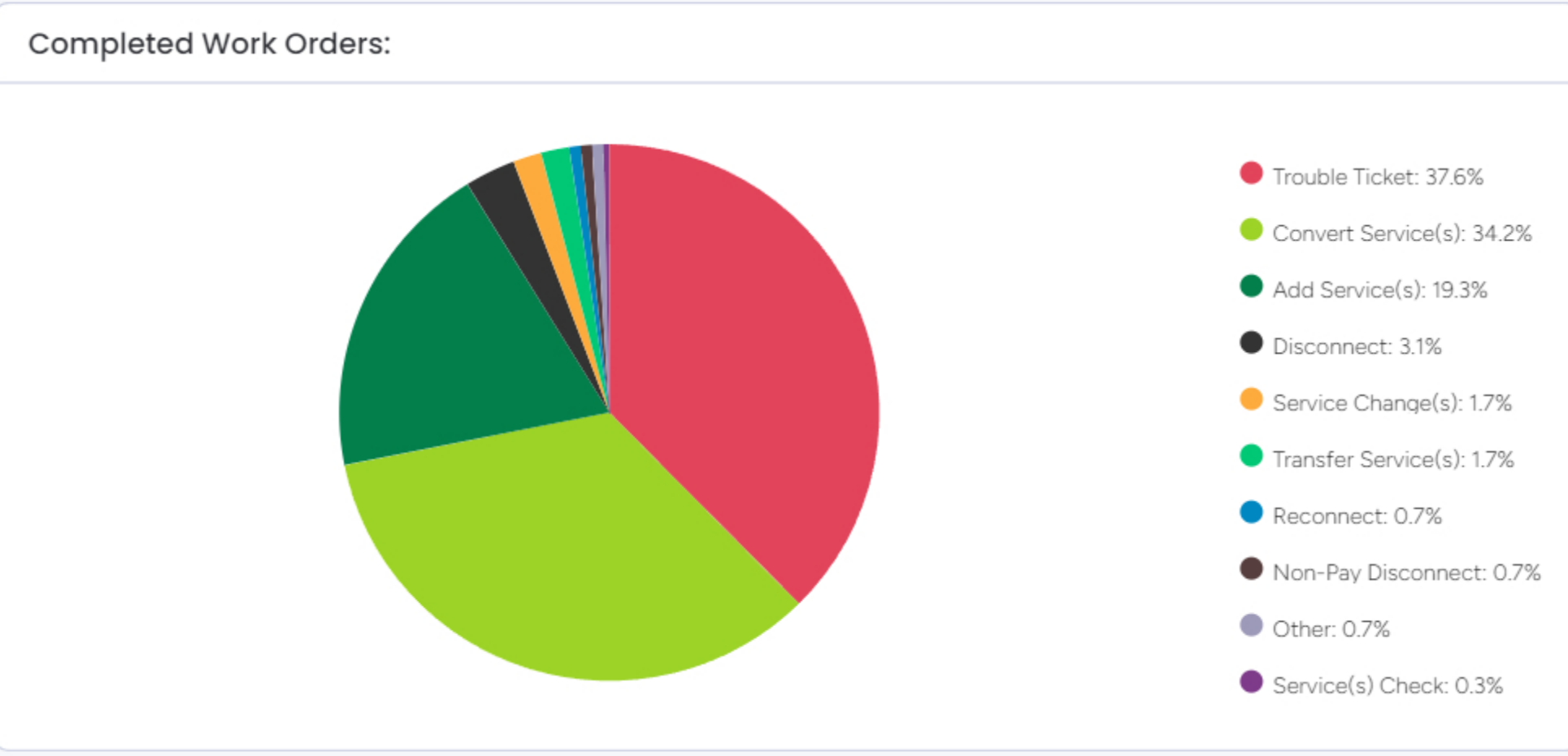
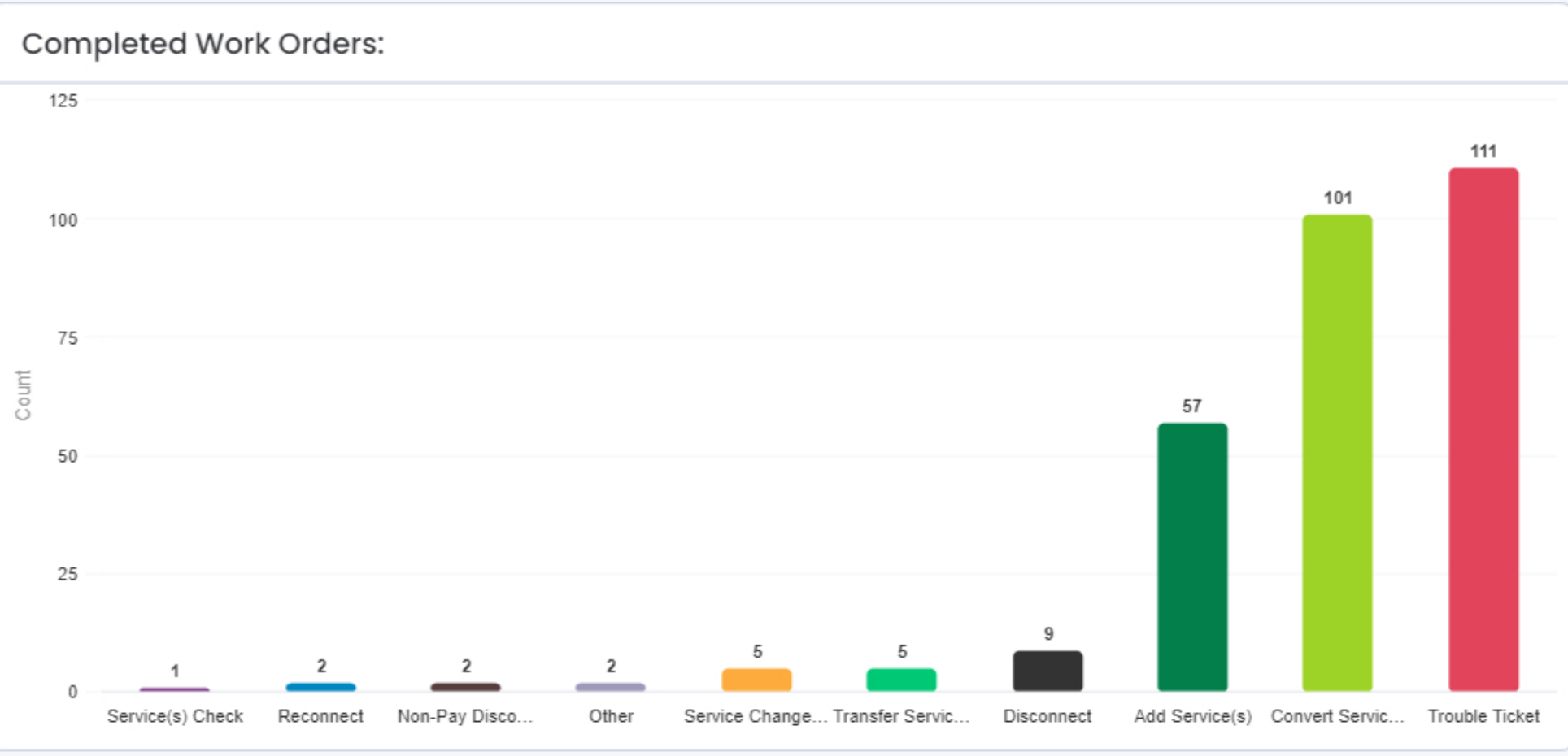


**CHART 7
REVENUES FROM SALES BY CLASS
CURRENT VS. PREVIOUS FISCAL YEAR**



**CHART 7
REVENUES FROM SALES BY CLASS
CURRENT VS. PREVIOUS FISCAL YEAR**



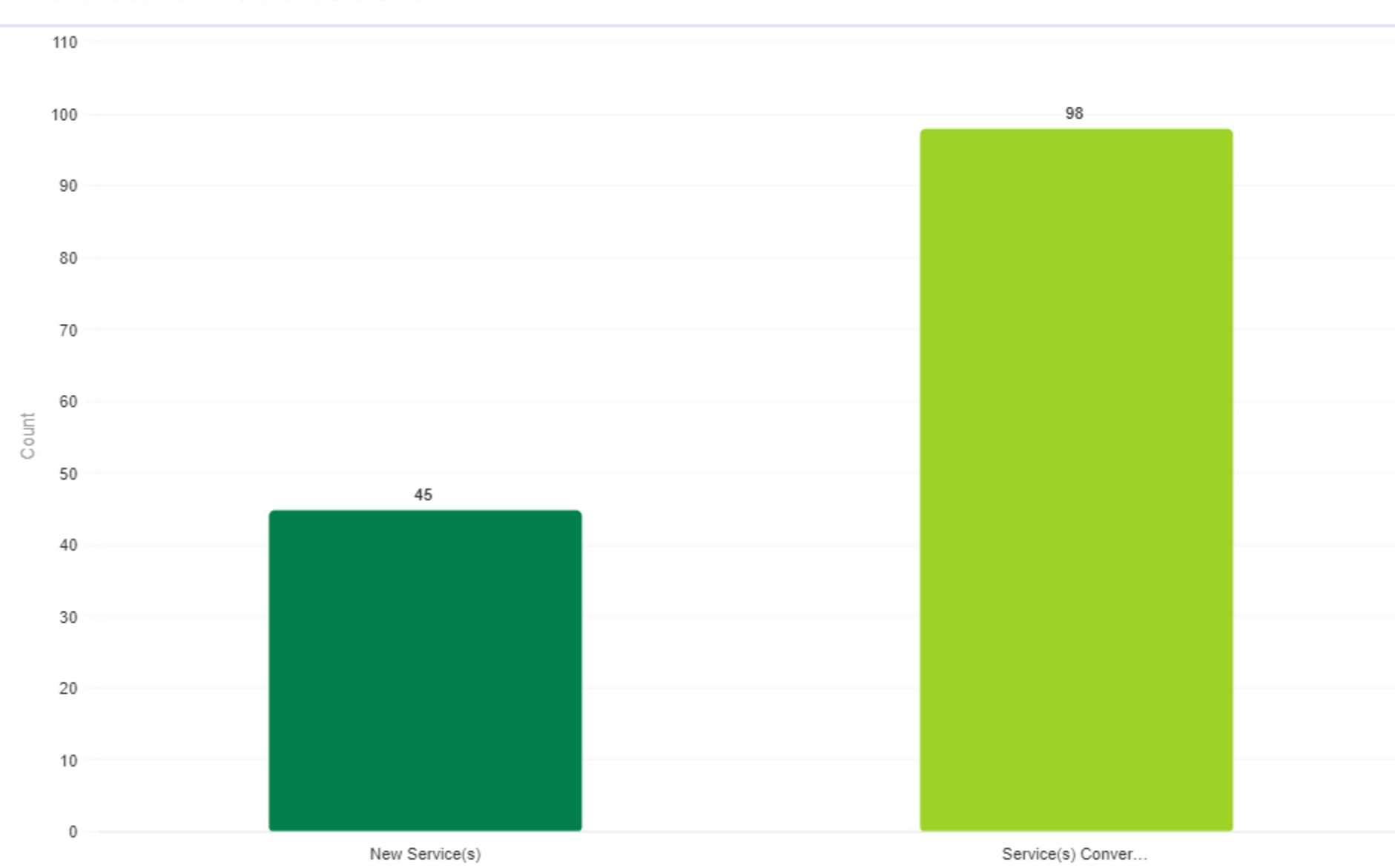


Month of September (2023)

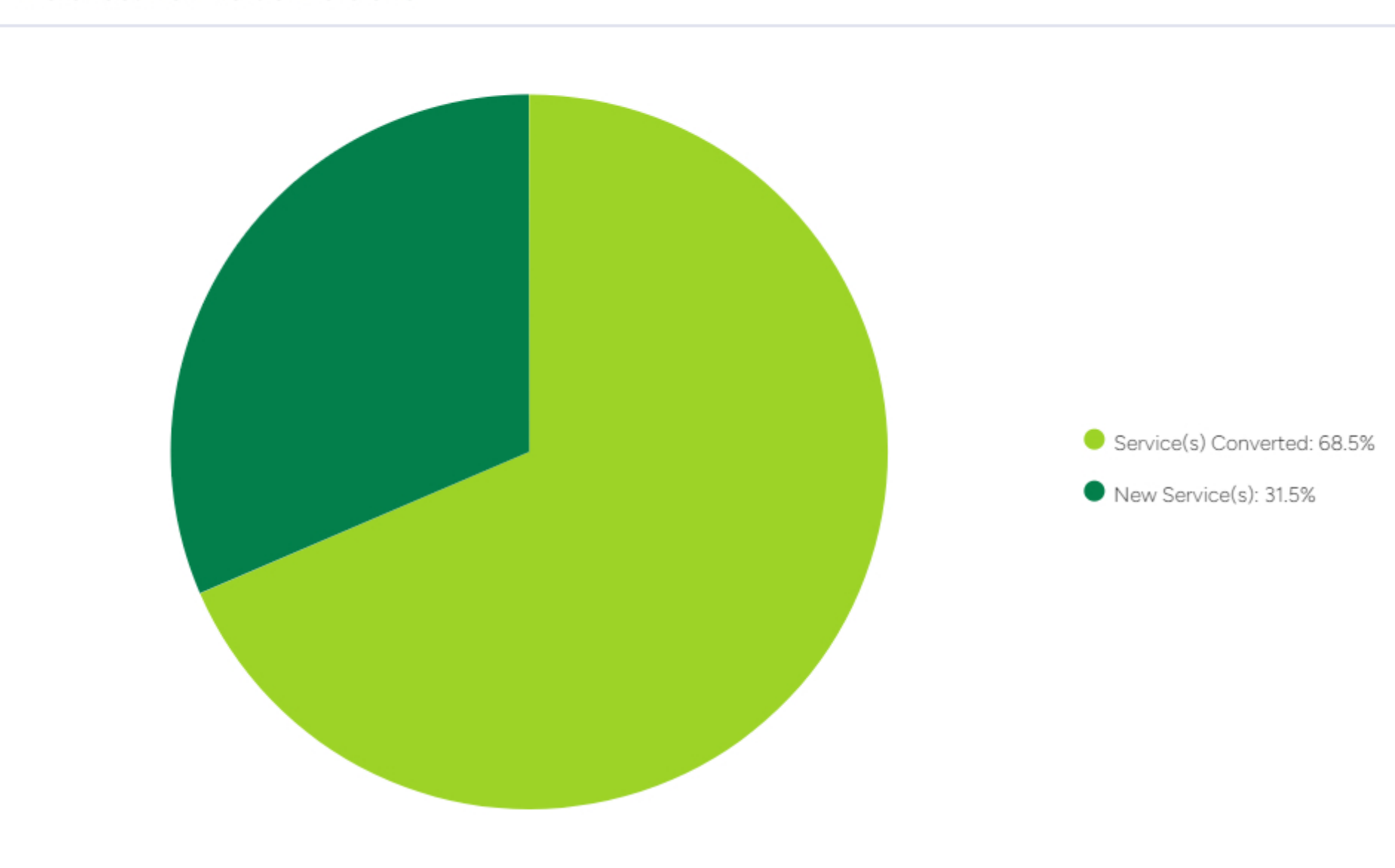
Areas of interest:

- Completed turn up and activation of fiber for the following areas: Colquitt Street, East Washington Street (partial), East Church Street, Felker Street, High School Avenue, Hubbard Street, Mobley Circle, and Nelson Street.
- Upcoming area(s) in progress are: South Madison Avenue (from Towler to Vine Street), Atha Street, Pannell Road (up to airport).
- As of 10/03/2023, the total number of installed fiber customers / conversions is: **1,901**.
- As of 10/03/2023, the total number of active / installed cable modem customers is: **2,913**.

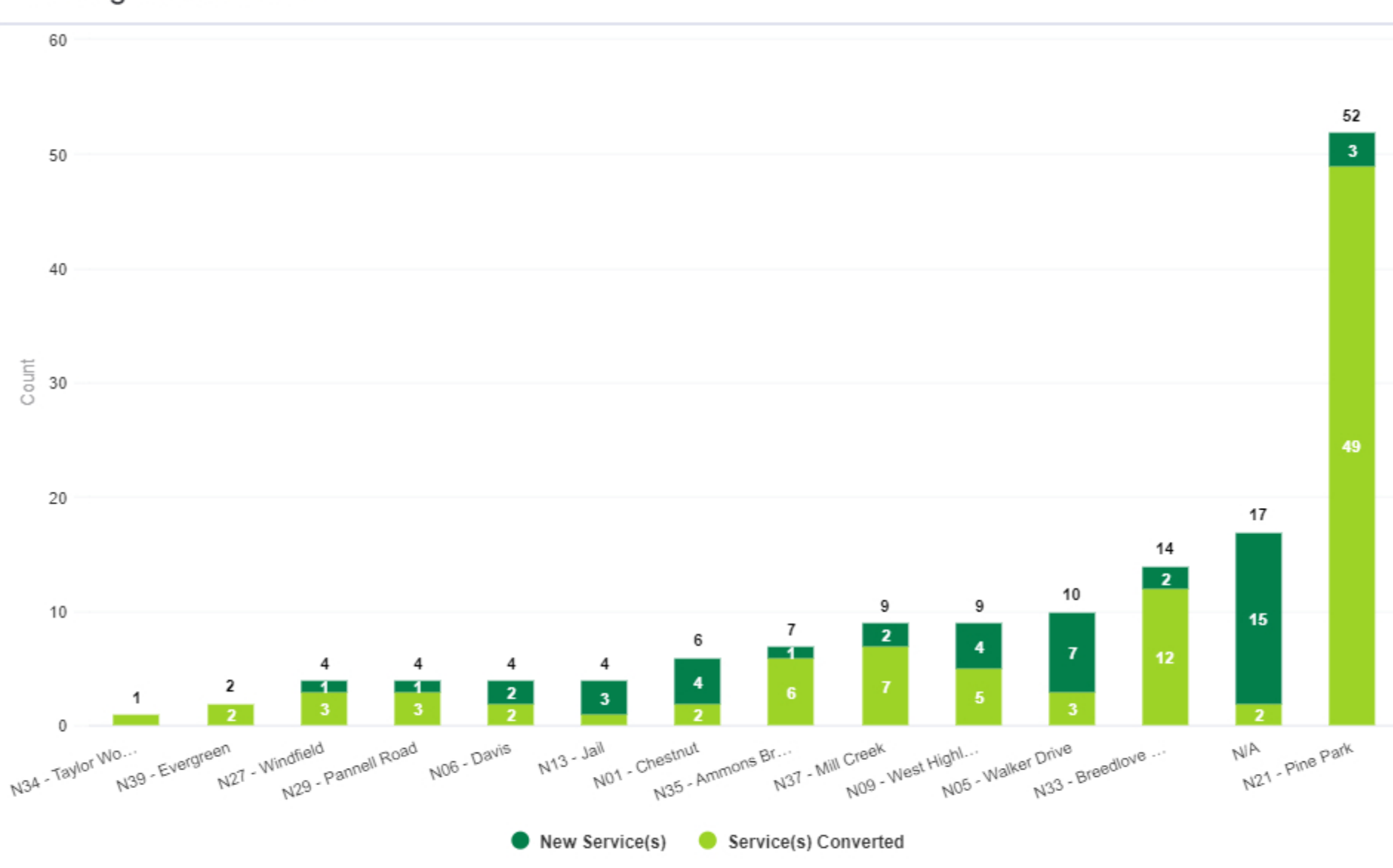
Installed: New vs Conversions



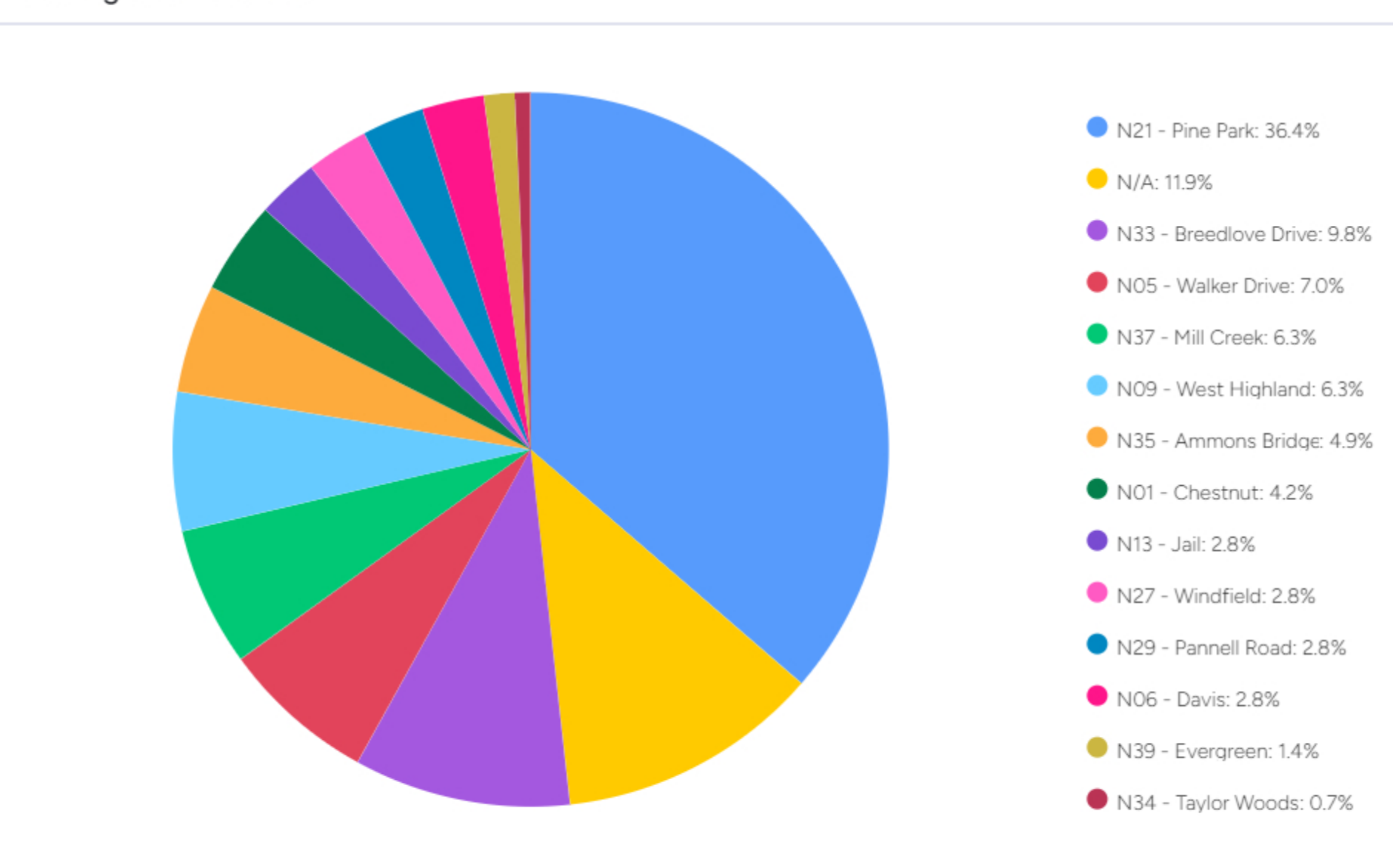
Installed: New vs Conversions



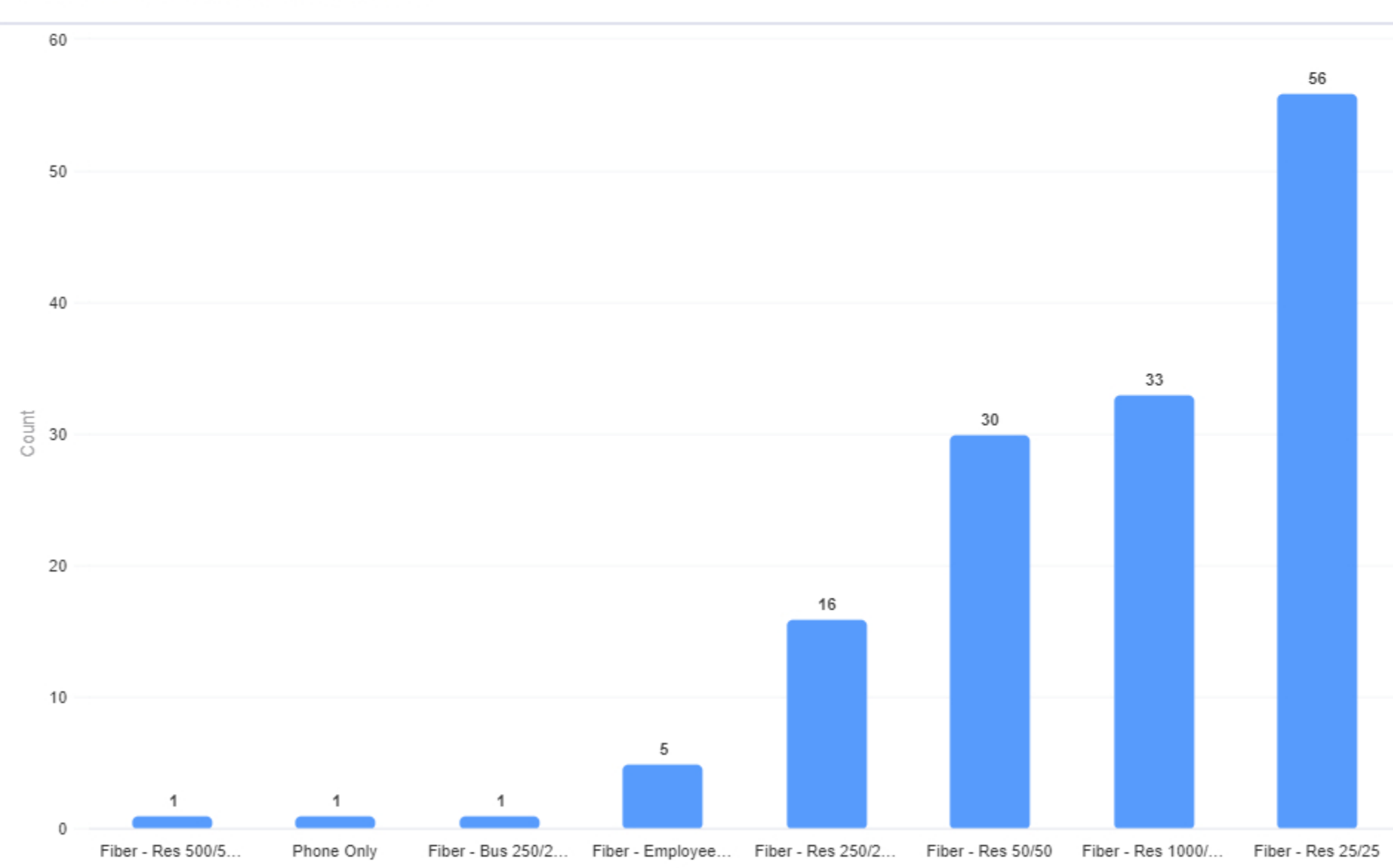
Existing Coaxial Areas:



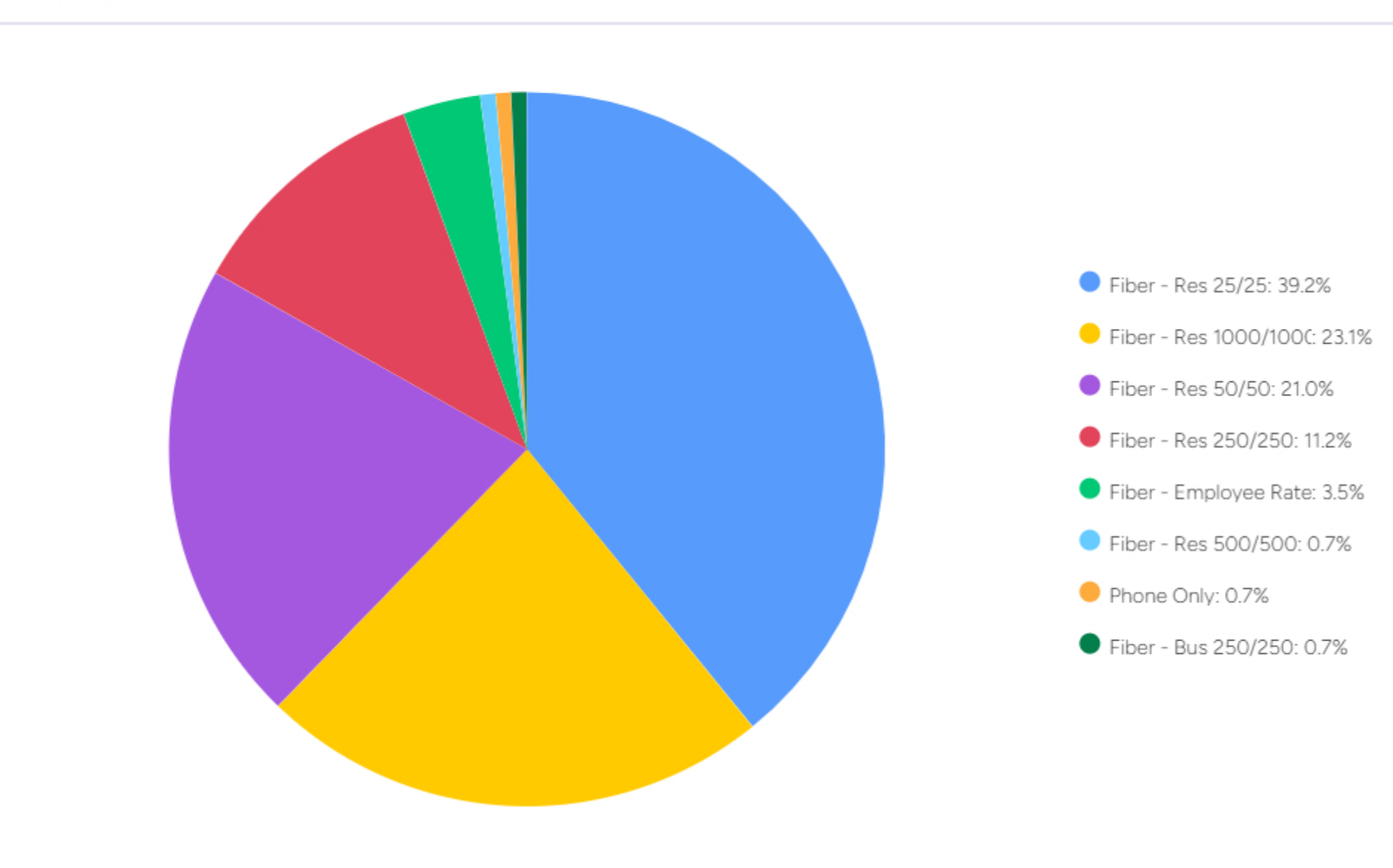
Existing Coaxial Areas:



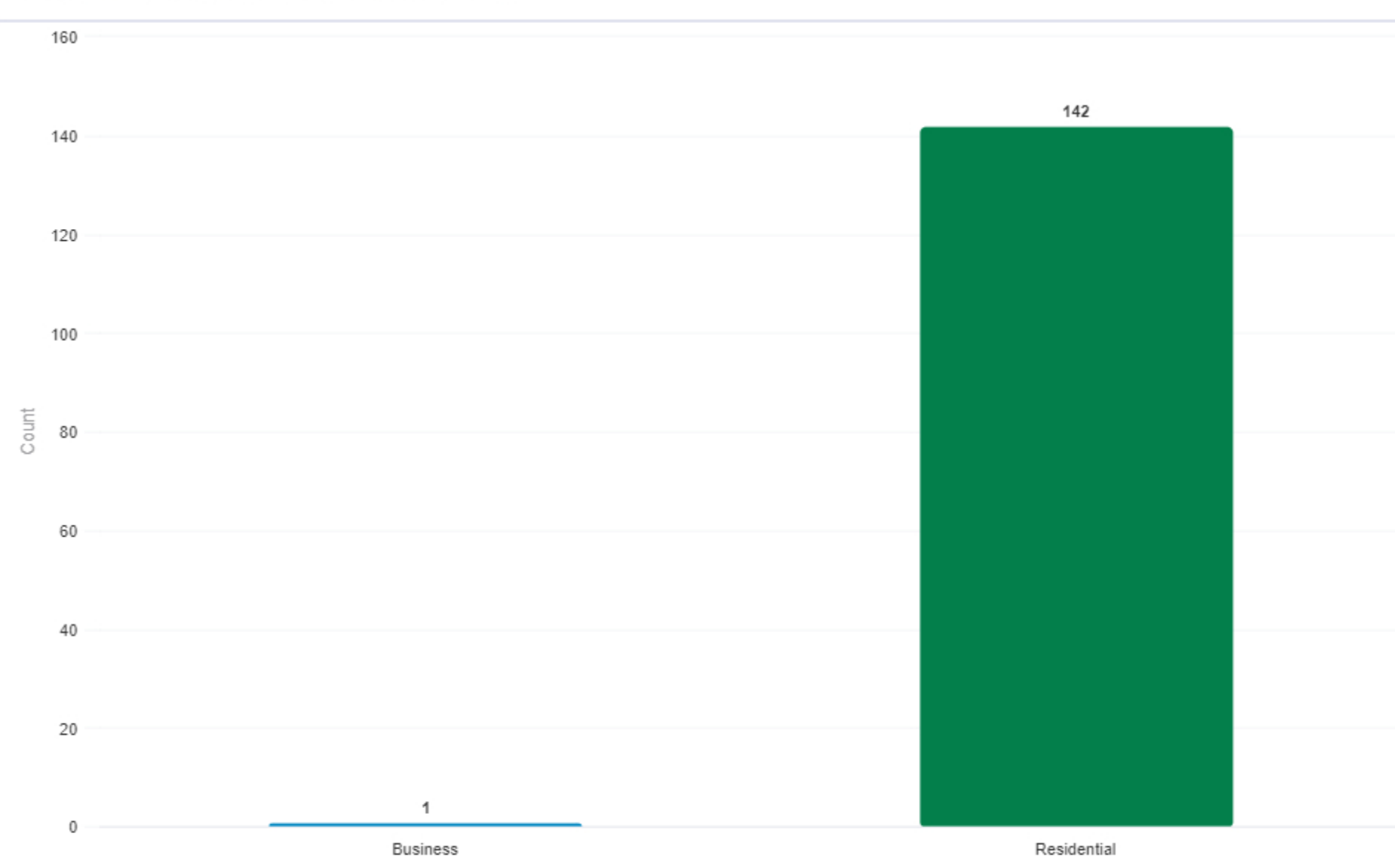
Installed: Active Service Rates



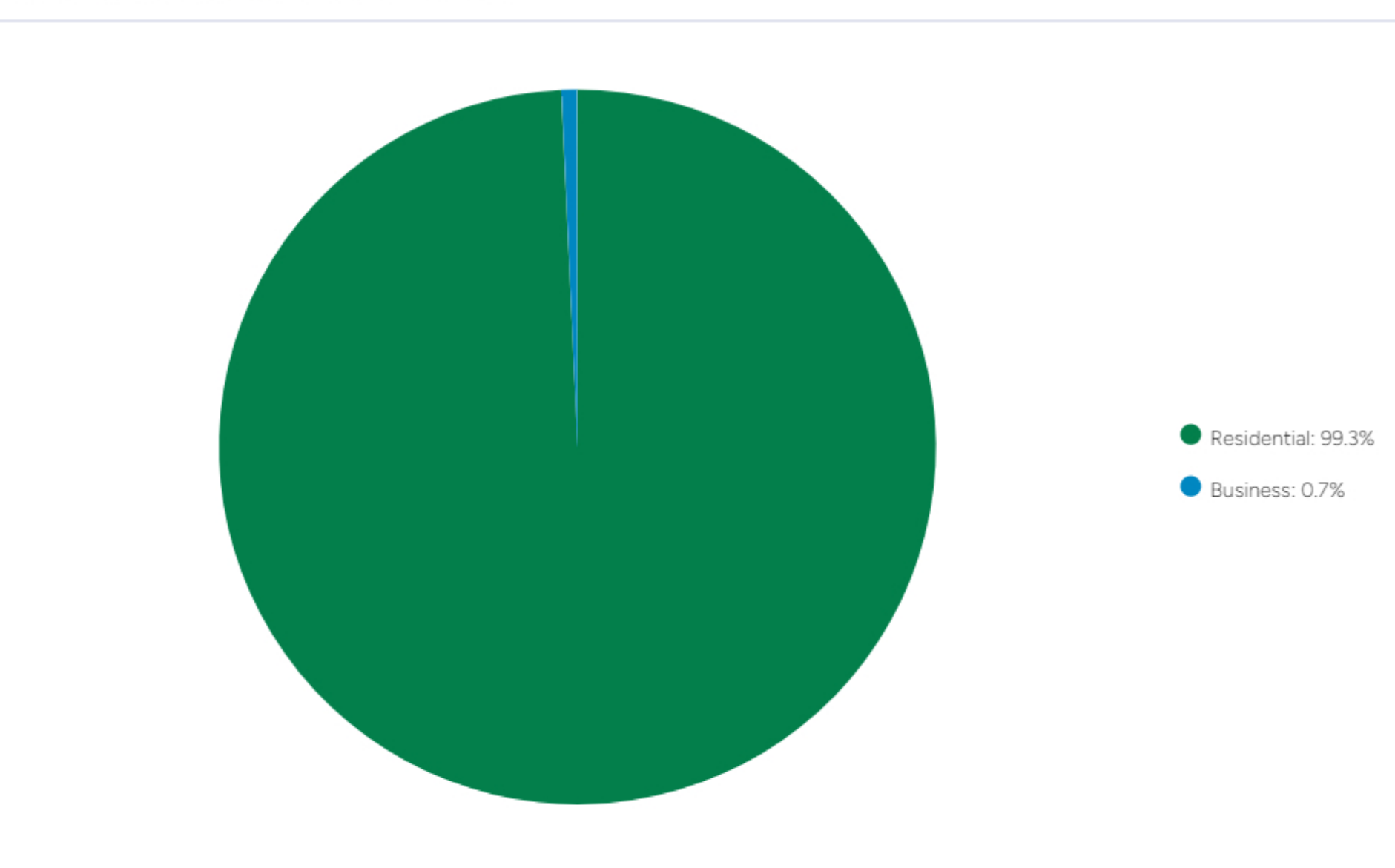
Installed: Active Service Rates



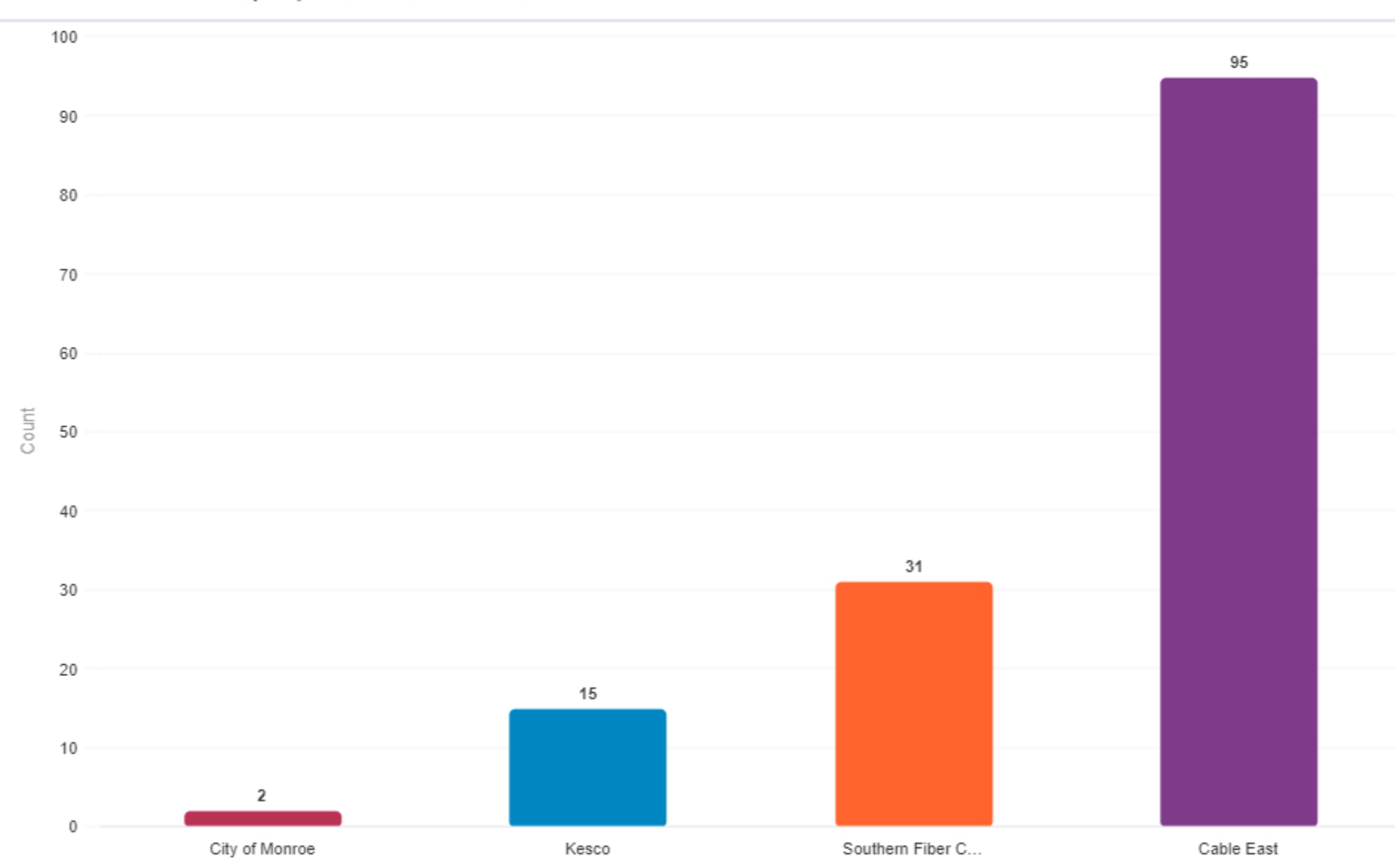
Installed: Residential vs Commercial



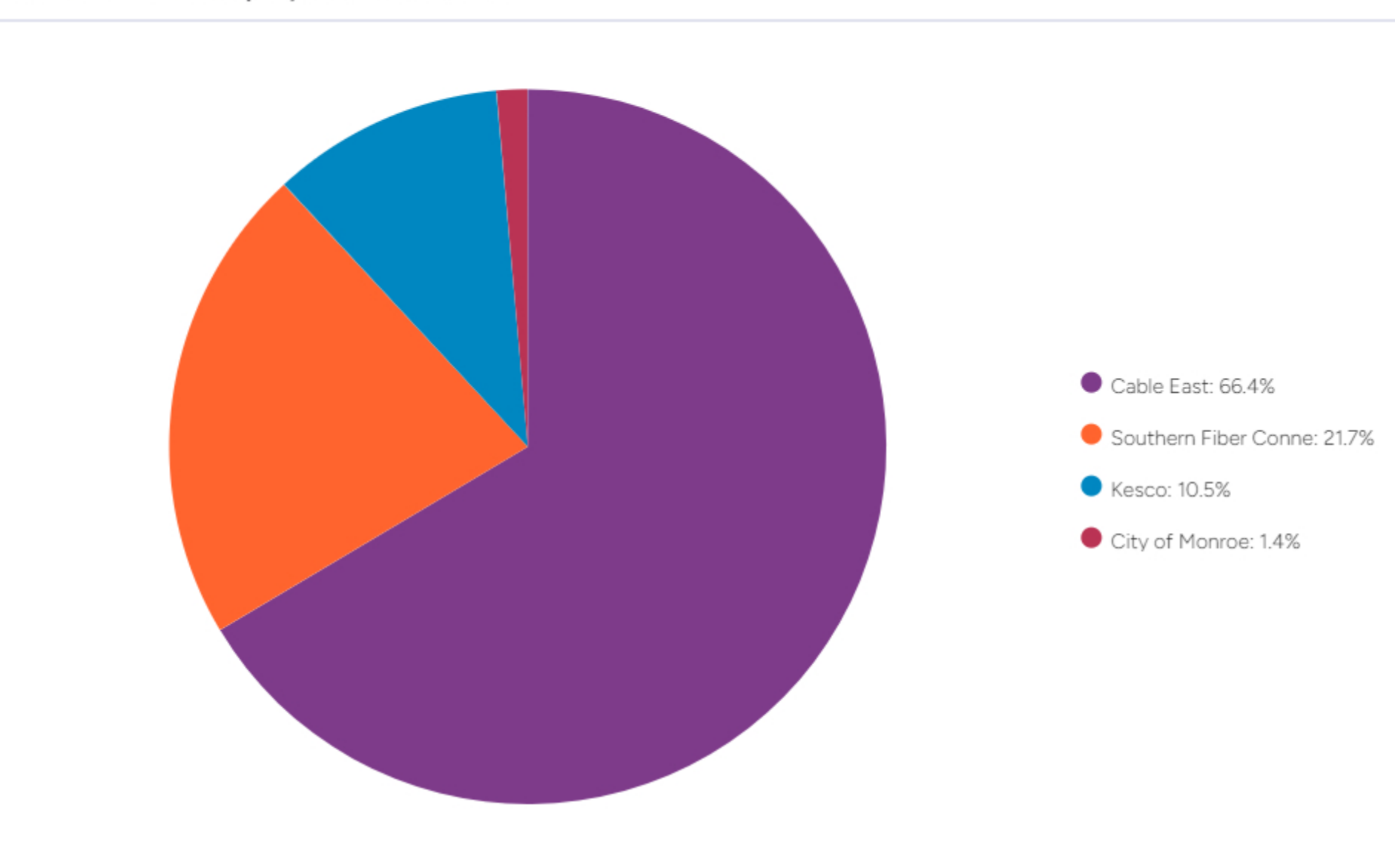
Installed: Residential vs Commercial



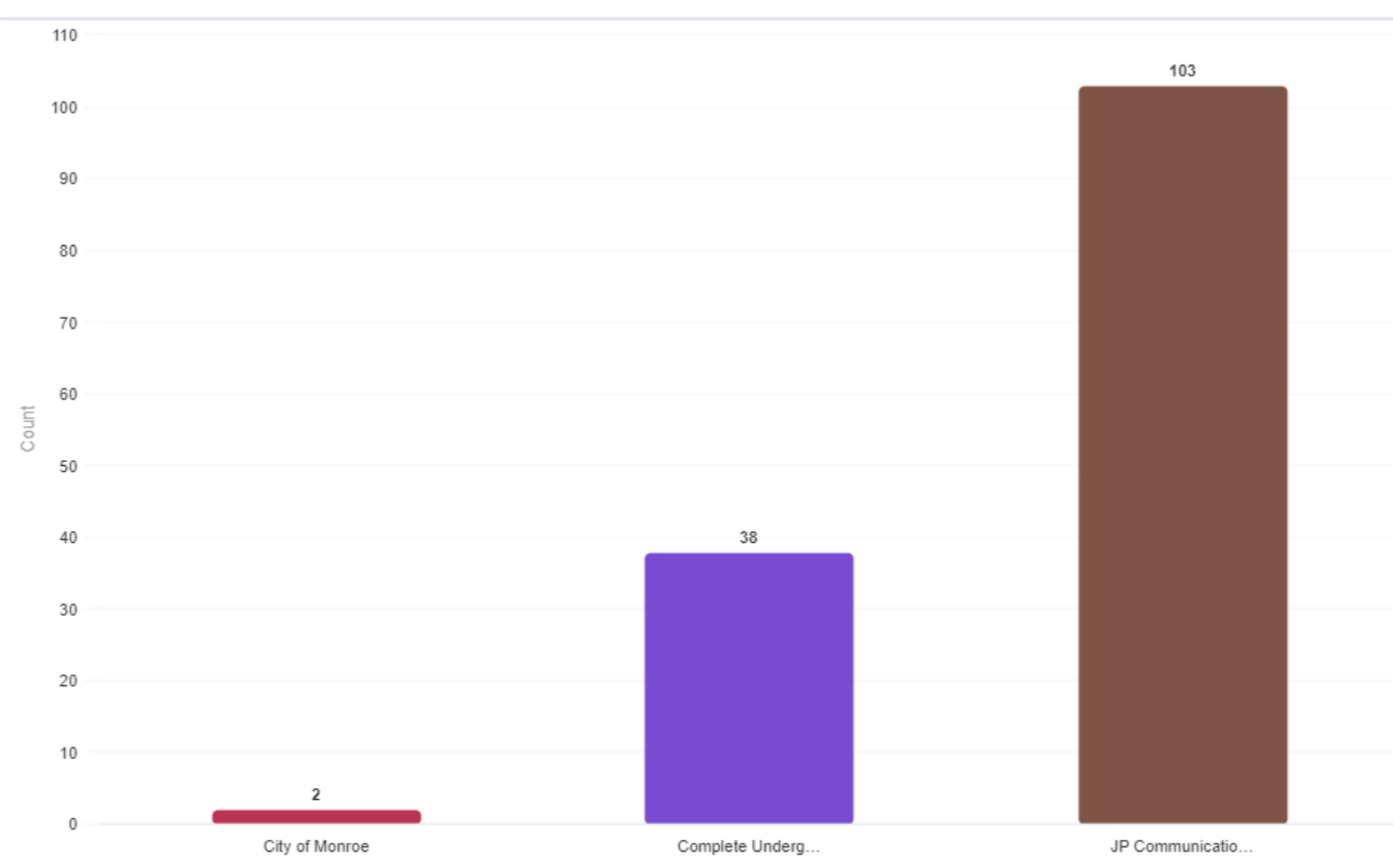
Infrastructure Deployment Breakdown



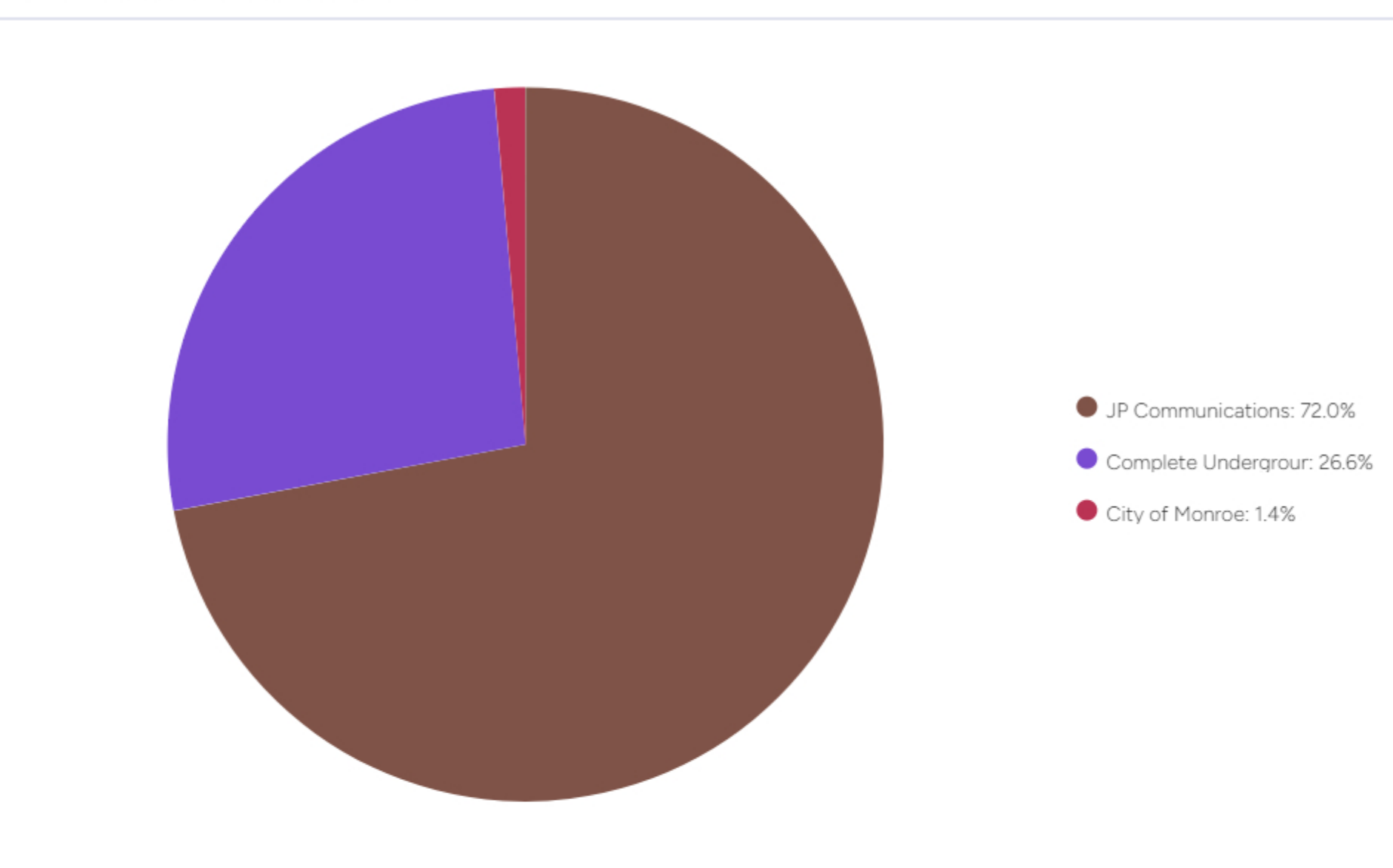
Infrastructure Deployment Breakdown



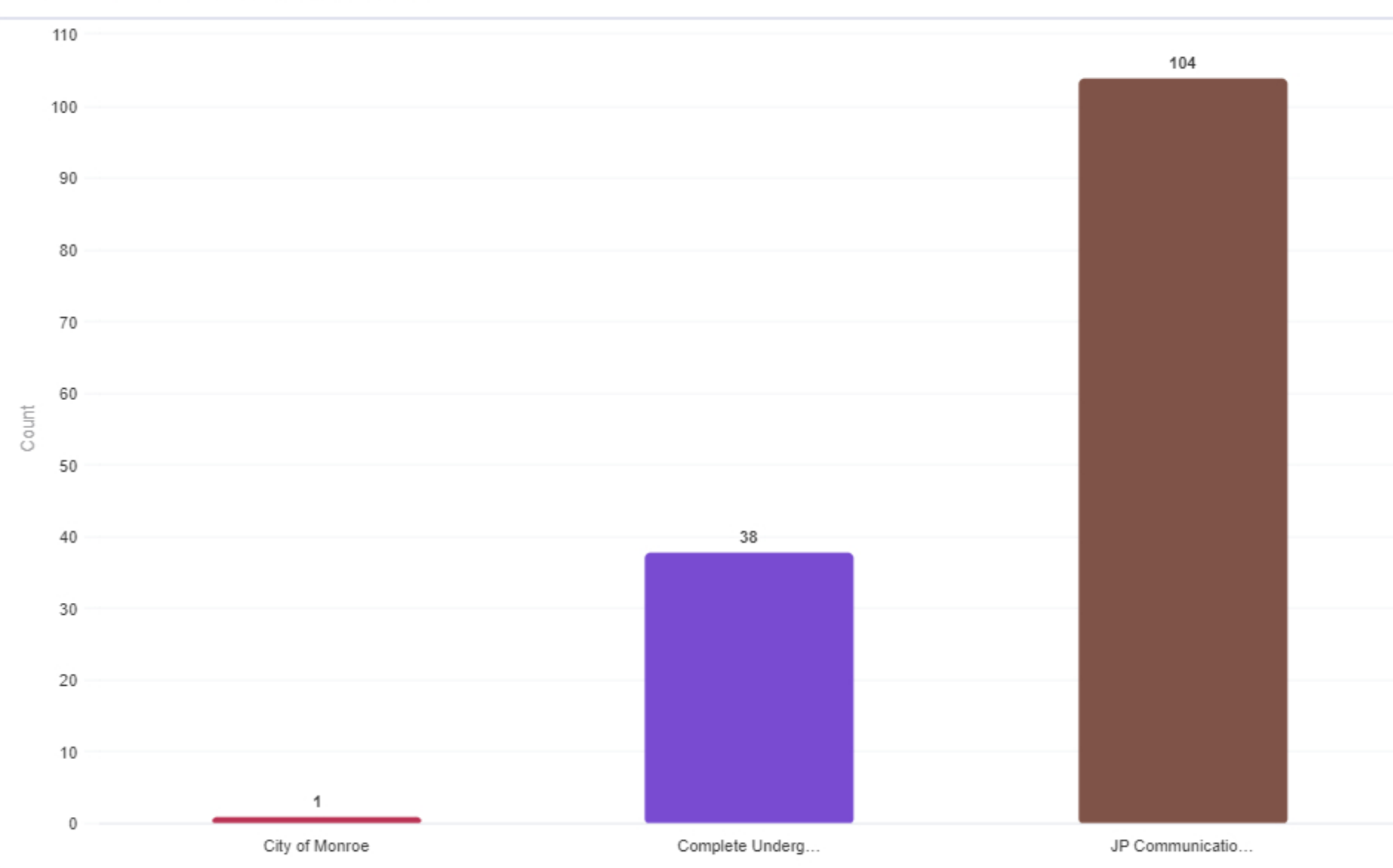
Exterior Installs Completed By:



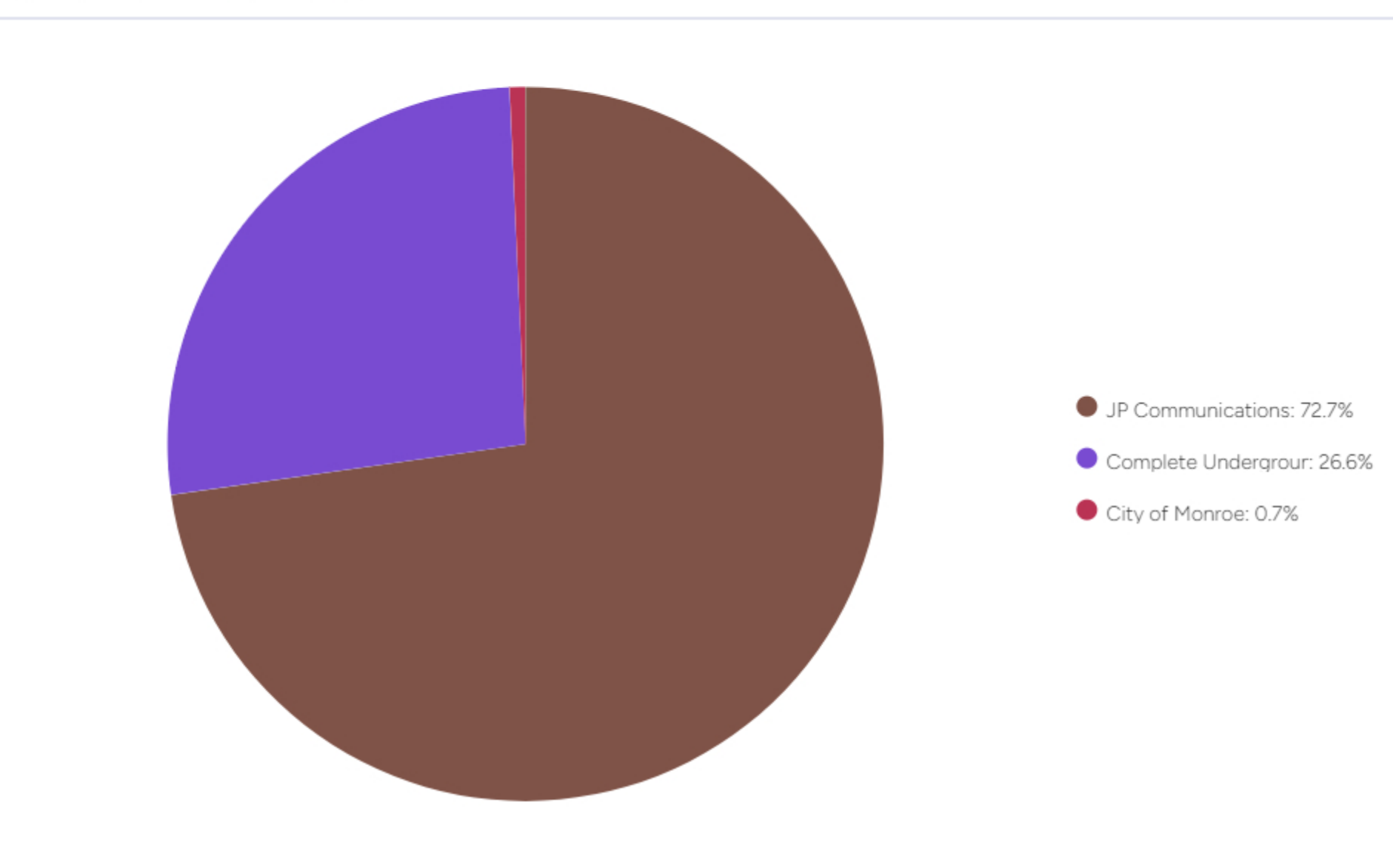
Exterior Installs Completed By:



Interior Installs Completed By:



Interior Installs Completed By:





**WATER, SEWER, GAS &
ELECTRIC
MONTHLY REPORT**

**OCTOBER
2023**

2023 Project List

	Estimated Start Date	Estimated Completion Date	Notes	Progress	Contractor or City
Natural Gas					
Rivers Edge @ Michael Etchinson Rd Phase 1 -105 lots	Sep-23	Oct-23	Install 18,000 of 2" plastic gas main/joint trench fiber with gas	Awaiting EMC	City
River Station @ Cedar Ridge Rd - 29 lots	Aug-23	Aug-23	Installed 2,900' of 2" plastic gas main to serve 29 lots	Completed	City
2" & 4" steel main replacement @ W Spring St	Jul-23	Sep-23	Replacing approx 7,000 of steel gas main along W Spring St from Carwood Dr to Mountain View	Awaiting GDOT	Contractor
Hwy 83 Good Hope to Chandler Road main extension	Jun-22	Dec-22	Install 10,500' of 4" plastic gas main	Planning Stage	City
Victory Drive Gas Renewal	Jan-22	Dec-22	Replace 1500' of 2" steel with 2" plastic	Planning Stage	City
Brookland Commons gas install	Feb-23	Mar-23	Install 6,500' of 2" plastic gas main	Completed	City
Charlotte Rowell Blvd/Drake Drive gas extension	Feb-23	Mar-23	Install 4,000 of 4" plastic main	Completed	City
Harris & Lacy Streets Gas Renewal	Jan-22	Dec-22	Replace 2000' of 2" steel with 2" plastic	Planning Stage	Contractor
Sewer Collection					
Replacement of sewer around clearwell @ WTP	23-Sep	23-Sep	Replace approx 100' of 8" sewer main around clearwell project	Completed	City
Relocation of sewer mains / Vine St Development	Aug-23	Sep-23	Reroute 1,000 ' of existing sewer main	Completed	City
2022 CDBG	Dec-21	Jul-24	Rehab of 6" sewer mains in Glen Iris, Edwards, Stowers area, out to bid Oct 2023	Awarded	Carter & Sloope
Alcovy River/Hwy 138 Sewer Extension	Jan-21	Dec-21	Gravity sewer installed and completed/waiting on pump station contractor to complete station	Completed	Contractor
Sewer Treatment Plant					
Jacks Creek Plant Rehab	Sep-21	Sep-22	Near completion, Heavy Contractors working on punchlist	95% Complete	Heavy/Hofstadter
Water Distribution					
Implementation of EPA's new Lead & Copper Rule	Jul-22	Dec-22	Inventory of all water services to determine presence of lead	Data Collection	City/120Water
24" Raw Water Main / 20" Finished Water Main	Jan-21	Jan-22	EPD approval 7/26/21 / GDOT, Georgia Power, Transco permits submitted	Obtaining easements	Wiedeman & Singleton
S. Broad St main extension Mears St to John's Supermarket	May-21	Jun-21	Main installed from Mears Street to Walker Street	Completed	City
Water Treatment Plant					
Install 24" raw water main & 20" finished water main	Nov-23	Jan-23	Installed before GDOT starts the Hwy 138/CR Blvd on-ramp slated for Dec 2022	Completed	Contractor
500,000 gal elevated water tank @ Piedmont Industrial Park	Jul-21	Jan-25	Engineering completed, out to bid in Oct 2023	Design Phase	Carter & Sloope Wiedeman & Singleton
1,000,000 gallon clearwell @ WTP location	Jun-21	Oct-23	90% completed, backfill has begun, completion projected end of Sept	90% Completed	Singleton
Electric					
Pole Change-Outs	Jan-23	Dec-23	Yearly replacements from pole survey	Ongoing	City
Automated Switching	Mar-23	Dec-23	South Madison Ave & North Broad switching in operation. Programming other locations	Ongoing	City
Tree Trimming	Jan-23	Dec-23	Hwy 83, Bold Springs Ave, N. Hammond, Vine St, Union St, Sorrells St	Monthly	Contractor
Vine Street Construction for Down to Earth	Aug-23	Sep-23	Build 3 phase line to serve Down to Earth & Brown Oil	Completed	City
Walton County Jail	Aug-23	Sep-23	Crews building pole line to serve temp power to construction trailers	Completed	City
S. Madison Ave. Electric install for new Townhomes	Aug-23	Aug-23	Transformer set for townhome development	Completed	City
Southside underground replacement	Aug-23	Sep-23	Rehab of underground electric lines	Completed	City
Power to WWTP Rehab	May-23	Jun-23	Joint use poles set for power to WWTP to EMC, overhead ran and transfer switching tested	Completed	City
Cherry Hill Rd/Old Oxford building	Jun-23	Jul-23	Pole Change-Outs @ Cherry Hill Rd and bank rebuild for old Oxford building	Completed	City
Town Green light install	Jul-23	Jul-23	Installed lights on Town Green site	Completed	City
Belle Meade Replacement	Jul-23	Jul-23	Electric crew finished cutover of new electric service to Belle Meade	Completed	City
Hwy 11 N Storage Buildings	Jul-23	Jul-23	Electric service installed to development	Completed	City
3 phase rebuild Towler Street area	Oct-23	Dec-23	Materials have arrived for rebuild, City crews started week of Sept 25th	Ongoing	City

WATER/WASTEWATER: MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 08/2023 | FY 2023



COVER	1
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SALES STATISTICS	5
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DETAIL EXPENSES	7-8

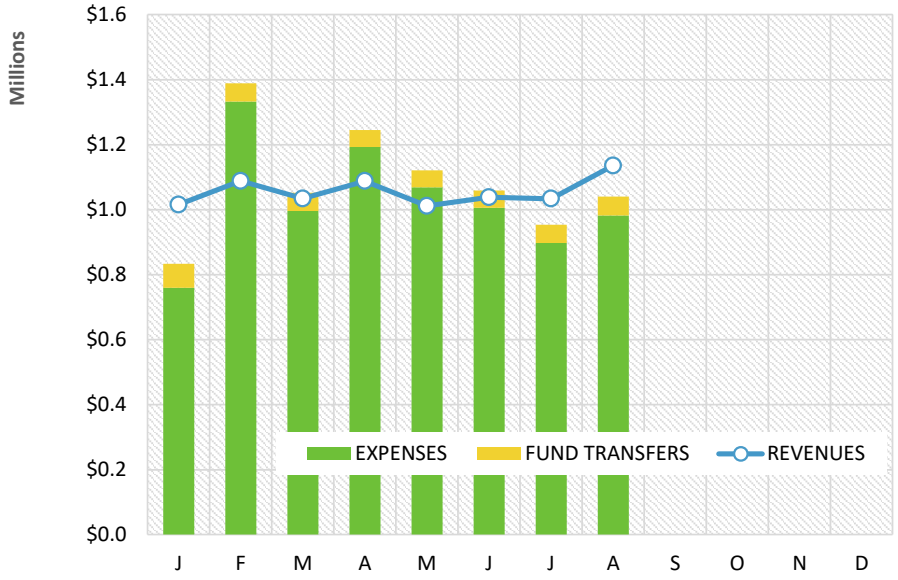
CITY OF MONROE: WATER & SEWER FUND OVERVIEW

	Jan 2023	Feb 2023	Mar 2023	Apr 2023	May 2023	Jun 2023	Jul 2023	Aug 2023	Sep 2023	Oct 2023	Nov 2023	Dec 2023	FY 2023	AS BUDGET	FY 2022
REVENUES	\$ 1.016M	\$ 1.088M	\$ 1.034M	\$ 1.088M	\$ 1.011M	\$ 1.039M	\$ 1.034M	\$ 1.136M					\$ 8.446M	\$ 13.317M	\$ 8.826M
PERSONNEL COSTS	\$ 0.230M	\$ 0.272M	\$ 0.331M	\$ 0.232M	\$ 0.259M	\$ 0.238M	\$ 0.215M	\$ 0.204M					\$ 1.980M	\$ 3.059M	\$ 1.945M
CONTRACTED SVC	\$ 0.039M	\$ 0.099M	\$ 0.093M	\$ 0.066M	\$ 0.113M	\$ 0.101M	\$ 0.058M	\$ 0.068M					\$ 0.638M	\$ 1.492M	\$ 0.443M
SUPPLIES	\$ 0.098M	\$ 0.198M	\$ 0.194M	\$ 0.196M	\$ 0.195M	\$ 0.189M	\$ 0.154M	\$ 0.222M					\$ 1.446M	\$ 2.391M	\$ 1.410M
CAPITAL OUTLAY	\$ 0.115M	\$ 0.503M	\$ 0.116M	\$ 0.442M	\$ 0.244M	\$ 0.218M	\$ 0.210M	\$ 0.226M					\$ 2.075M	\$ 2.707M	\$ 1.207M
FUND TRANSFERS	\$ 0.074M	\$ 0.056M	\$ 0.056M	\$ 0.052M	\$ 0.052M	\$ 0.053M	\$ 0.056M	\$ 0.058M					\$ 0.457M	\$ 1.837M	\$ 0.559M
DEPRECIATION	\$ 0.205M	\$ 0.205M	\$ 0.205M	\$ 0.205M	\$ 0.205M	\$ 0.206M	\$ 0.205M	\$ 0.205M					\$ 1.642M	\$ -	\$ 0.753M
EXPENSES	\$ 0.760M	\$ 1.333M	\$ 0.996M	\$ 1.193M	\$ 1.069M	\$ 1.006M	\$ 0.898M	\$ 0.983M					\$ 8.238M	\$ 11.485M	\$ 6.318M
MARGIN	\$ 0.256M	\$ (0.245M)	\$ 0.038M	\$ (0.105M)	\$ (0.057M)	\$ 0.033M	\$ 0.136M	\$ 0.153M					\$ 0.207M	\$ 1.832M	\$ 2.508M

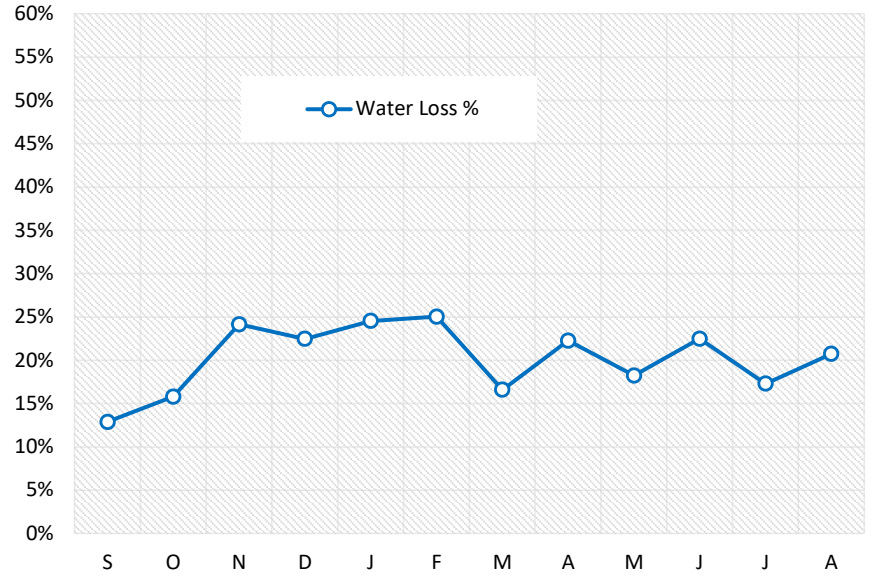
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REVENUES vs. EXPENSES



MONTHLY WATER PROCESSED VS SOLD



RETAIL SALES REPORT

Jan 2023 Feb 2023 Mar 2023 Apr 2023 May 2023 Jun 2023 Jul 2023 Aug 2023 Sep 2023 Oct 2023 Nov 2023 Dec 2023

CUSTOMER COUNT - WATER

Residential	9,123	9,127	9,139	9,152	9,189	9,194	9,197	9,228
Commercial	985	993	998	995	996	997	998	997
Industrial	1	1	1	1	1	1	1	1
Water Authority	1	1	1	1	1	1	1	1
Residential Sprinkler	559	560	555	556	556	559	565	564
Commercial Sprinkler	92	92	92	92	92	93	92	92
Loganville	1	1	1	1	1	1	1	1
Total	10,762	10,775	10,787	10,798	10,836	10,846	10,855	10,884
YOY Δ	-3.50%	-3.62%	-3.54%	-3.56%	-3.68%	-3.97%	-4.33%	-4.27%

KGALLONS - WATER

Residential	36,704	38,478	34,500	33,876	35,897	39,327	42,316	43,041
Commercial	12,520	14,162	12,809	11,917	14,136	15,172	15,654	18,725
Industrial	2,404	2,560	2,486	2,354	2,343	2,886	2,746	1,860
Water Authority	55	16	9	2	11	34	8	9
Loganville	42,010	34,795	33,077	36,811	33,256	31,644	32,555	33,836
Total	93,693	90,011	82,881	84,960	85,644	89,063	93,279	97,471
YOY Δ	20.67%	4.19%	0.43%	2.49%	-3.45%	-12.43%	-19.30%	-15.04%

REVENUE - WATER

Residential	\$ 0.320M	\$ 0.334M	\$ 0.304M	\$ 0.299M	\$ 0.313M	\$ 0.341M	\$ 0.366M	\$ 0.370M
Commercial	\$ 0.104M	\$ 0.105M	\$ 0.096M	\$ 0.091M	\$ 0.104M	\$ 0.111M	\$ 0.115M	\$ 0.133M
Industrial	\$ 0.010M	\$ 0.011M	\$ 0.010M	\$ 0.010M	\$ 0.010M	\$ 0.012M	\$ 0.011M	\$ 0.008M
Water Authority	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M
Loganville	\$ 0.152M	\$ 0.128M	\$ 0.122M	\$ 0.135M	\$ 0.123M	\$ 0.117M	\$ 0.120M	\$ 0.125M
Total	\$ 0.587M	\$ 0.577M	\$ 0.532M	\$ 0.534M	\$ 0.549M	\$ 0.581M	\$ 0.612M	\$ 0.636M
YOY Δ	15.07%	8.37%	1.05%	1.06%	-0.68%	-8.50%	-14.99%	-10.98%

RETAIL SALES REPORT

Jan 2023
Feb 2023
Mar 2023
Apr 2023
May 2023
Jun 2023
Jul 2023
Aug 2023
Sep 2023
Oct 2023
Nov 2023
Dec 2023

Residential	6,959	6,968	6,968	6,978	7,012	7,008	7,002	7,015
Commercial	821	832	834	830	831	831	828	827
Water Authority	1	1	1	1	1	1	1	1
Total	7,781	7,801	7,803	7,809	7,844	7,840	7,831	7,843

YOY Δ -2.58% 1.55% 1.35% 1.49% 1.76% 1.48% 1.35% 1.03%

KGALLONS - SEWER

Residential	36,704	38,478	34,500	33,876	35,897	39,327	42,316	43,041
Commercial	12,520	14,162	12,809	11,917	14,136	15,172	15,654	18,725
Water Authority	55	16	9	2	11	34	8	9
Total	49,279	52,656	47,318	45,795	50,044	54,533	57,978	61,775

YOY Δ 7.11% 16.22% 1.80% -2.36% 2.83% -8.71% -16.36% -10.47%

REVENUE - SEWER

Residential	\$ 0.224M	\$ 0.228M	\$ 0.216M	\$ 0.216M	\$ 0.218M	\$ 0.223M	\$ 0.229M	\$ 0.227M
Commercial	\$ 0.142M	\$ 0.154M	\$ 0.141M	\$ 0.134M	\$ 0.144M	\$ 0.150M	\$ 0.141M	\$ 0.142M
Water Authority	\$ 0.002M	\$ 0.002M	\$ 0.001M	\$ 0.002M	\$ 0.002M	\$ 0.002M	\$ 0.001M	\$ 0.002M
Total	\$ 0.368M	\$ 0.383M	\$ 0.359M	\$ 0.351M	\$ 0.363M	\$ 0.375M	\$ 0.372M	\$ 0.371M

YOY Δ 6.99% 12.15% 2.49% -1.59% 0.39% -0.71% -2.98% -3.75%

SALES STATISTICS

Jan 2023 Feb 2023 Mar 2023 Apr 2023 May 2023 Jun 2023 Jul 2023 Aug 2023 Sep 2023 Oct 2023 Nov 2023 Dec 2023 YTD

AVERAGE KGALLONS/CUSTOMER (WATER)

Residential	4	4	4	4	4	4	5	5	4
Commercial	13	14	13	12	14	15	16	19	14
Industrial	2,404	2,560	2,486	2,354	2,343	2,886	2,746	1,860	2,455
Water Authority	55	16	9	2	11	34	8	9	18
Loganville	42,010	34,795	33,077	36,811	33,256	31,644	32,555	33,836	34,748

AVERAGE \$/CUSTOMER (WATER)

Residential	\$35	\$37	\$33	\$33	\$34	\$37	\$40	\$40	\$36
Commercial	\$106	\$106	\$96	\$91	\$104	\$111	\$115	\$133	\$108
Industrial	\$9,881	\$10,511	\$10,212	\$9,679	\$9,634	\$11,828	\$11,263	\$7,683	\$10,086
Water Authority	\$391	\$233	\$205	\$177	\$213	\$306	\$201	\$205	\$241
Loganville	\$152,072	\$127,761	\$121,971	\$134,554	\$122,574	\$117,141	\$120,210	\$124,527	\$127,601

AVERAGE \$/KGALLON (WATER)

Residential	\$8.73	\$8.68	\$8.81	\$8.82	\$8.72	\$8.67	\$8.64	\$8.61	\$8.71
Commercial	\$8.31	\$7.40	\$7.49	\$7.63	\$7.33	\$7.31	\$7.32	\$7.10	\$7.49
Industrial	\$4.11	\$4.11	\$4.11	\$4.11	\$4.11	\$4.10	\$4.10	\$4.13	\$4.11
Water Authority	\$7.11	\$14.59	\$22.79	\$88.42	\$19.38	\$9.00	\$25.13	\$22.79	\$26.15
Loganville	\$3.62	\$3.67	\$3.69	\$3.66	\$3.69	\$3.70	\$3.69	\$3.68	
Average	\$7.0643	\$8.6940	\$10.8010	\$27.2448	\$9.8839	\$7.2683	\$11.2992	\$10.6576	\$11.61

AVERAGE KGALLONS/CUSTOMER (SEWER)

Residential	5	6	5	5	5	6	6	6	5
Commercial	15	17	15	14	17	18	19	23	17
Water Authority	55	16	9	2	11	34	8	9	18

AVERAGE \$/CUSTOMER (SEWER)

Residential	\$32	\$33	\$31	\$31	\$31	\$32	\$33	\$32	\$32
Commercial	\$173	\$185	\$169	\$161	\$173	\$181	\$170	\$172	\$173
Water Authority	\$2,281	\$1,599	\$1,407	\$1,546	\$1,578	\$1,850	\$1,476	\$1,636	\$1,672

AVERAGE \$/KGALLON (SEWER)

Residential	\$6.10	\$5.92	\$6.27	\$6.36	\$6.06	\$5.67	\$5.42	\$5.28	\$5.88
Commercial	\$11.36	\$10.89	\$11.00	\$11.24	\$10.16	\$9.89	\$9.00	\$7.60	\$10.14
Water Authority	\$41.48	\$99.94	\$156.35	\$772.85	\$143.43	\$54.40	\$184.55	\$181.81	\$204.35
Average	\$19.65	\$38.91	\$57.87	\$263.48	\$53.22	\$23.32	\$66.32	\$64.90	\$73.4587

**MOST RECENT
12-MONTH**

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	12-MONTH
SALES REVENUES					
WATER SALES	\$ 630,062	\$ 698,514	\$ 4,569,809	\$ 4,700,864	\$ 7,134,664
STORMWATER PLAN REVIEW FEES	\$ -	\$ -	\$ 2,300	\$ -	\$ 2,300
SEWER SALES	\$ 364,888	\$ 358,135	\$ 2,893,345	\$ 2,837,462	\$ 4,380,226
SALES REVENUES (ACTUAL)	\$ 994,950	\$ 1,056,650	\$ 7,465,454	\$ 7,538,326	\$ 11,517,189
AS BUDGET	\$ 991,667	\$ 916,667	\$ 7,933,333	\$ 7,333,333	Not Applicable
% ACTUAL TO BUDGET	100.33%	115.27%	94.10%	102.80%	Not Applicable

OTHER REVENUES

WATER

GEFA PRINCIPAL FORGIVENESS	\$ -	\$ -	\$ -	\$ -	\$ -
OP REVENUE	\$ 428	\$ 424	\$ 2,608	\$ 2,064	\$ 244
MISC REVENUE	\$ 8,254	\$ 5,780	\$ 42,621	\$ 50,361	\$ 6,456
SALE OF FIXED ASSETS	\$ -	\$ -	\$ -	\$ -	\$ -
TAP FEES	\$ 27,750	\$ 90,857	\$ 258,012	\$ 430,632	\$ 35,450
REIMB DAMAGE PROP	\$ -	\$ -	\$ -	\$ -	\$ -
OTHER REV	\$ -	\$ -	\$ -	\$ -	\$ -
	\$ -	\$ -	\$ 19,691	\$ -	\$ -
ADMIN ALLOC WATER	\$ 26,286	\$ 15,967	\$ 168,737	\$ 91,050	\$ 19,174
INT/INVEST INCOME	\$ -	\$ -	\$ -	\$ -	\$ -
STATE GRANTS	\$ -	\$ -	\$ -	\$ -	\$ -
FEDERAL GRANT	\$ -	\$ -	\$ -	\$ -	\$ -
OTHER REVENUES (WATER)	\$ 62,718	\$ 113,028	\$ 491,669	\$ 574,108	\$ 61,324

SEWER

OP REVENUE	\$ 5,125	\$ 3,450	\$ 162,940	\$ 133,955	\$ 45,300
FEDERAL GRANT	\$ -	\$ -	\$ -	\$ -	\$ -
MISC REVENUE	\$ -	\$ -	\$ -	\$ -	\$ -
TAP FEES	\$ 15,000	\$ 51,000	\$ 125,611	\$ 488,150	\$ 16,000
SALE OF ASSETS - SEWAGE	\$ 31,500	\$ -	\$ 31,500	\$ -	\$ -
CUST ACCT FEES	\$ -	\$ -	\$ -	\$ -	\$ -
OTHER REV	\$ -	\$ -	\$ -	\$ -	\$ -
FEDERAL GRANT CDBG 2018	\$ -	\$ -	\$ -	\$ -	\$ -
ADMIN ALLOC SEWAGE	\$ 26,286	\$ 15,967	\$ 168,737	\$ 91,050	\$ 19,174
OTHER - UTILITY	\$ -	\$ -	\$ -	\$ 86	\$ -
INT/INVEST INCOME	\$ -	\$ -	\$ -	\$ -	\$ -
STATE GRANTS	\$ -	\$ -	\$ -	\$ -	\$ -
OPERATING TRANSFERS IN	\$ -	\$ 218,368	\$ -	\$ 218,368	\$ -
OPERATING TRANSFERS IN	\$ -	\$ 54,497	\$ -	\$ 54,497	\$ -
OTHER REVENUES (SEWER)	\$ 77,911	\$ 343,283	\$ 488,788	\$ 986,106	\$ 80,474

OTHER REVENUES (TOTAL)	\$ 140,629	\$ 456,311	\$ 980,457	\$ 1,560,214	\$ 141,798
AS BUDGET	\$ 118,089	\$ 162,847	\$ 944,711	\$ 1,302,777	Not Applicable
% ACTUAL TO BUDGET	119.09%	280.21%	103.78%	119.76%	Not Applicable

TOTAL REVENUES (ACTUAL)	\$ 1,135,580	\$ 1,512,960	\$ 8,445,911	\$ 9,098,540	\$ 11,658,987
AS BUDGET	\$ 1,109,756	\$ 1,079,514	\$ 8,878,044	\$ 8,636,111	Not Applicable
% ACTUAL TO BUDGET	102.33%	140.15%	95.13%	105.35%	Not Applicable

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	12-MONTH
PERSONNEL	\$ 204,161	\$ 278,936	\$ 1,980,256	\$ 1,946,027	\$ 2,906,679
CONTRACTED SERVICES	\$ 68,415	\$ 115,506	\$ 638,193	\$ 446,472	\$ 1,025,578
SUPPLIES	\$ 221,652	\$ 200,615	\$ 1,445,952	\$ 1,413,165	\$ 2,308,778
CAPITAL OUTLAY	\$ 225,760	\$ 241,448	\$ 2,074,782	\$ 1,866,643	\$ 3,006,573
FUND TRANSFERS	\$ 57,639	\$ 86,249	\$ 457,036	\$ 558,649	\$ 809,096
DEPRECIATION	\$ 204,988	\$ 174,663	\$ 1,642,274	\$ 1,316,177	\$ 2,170,395
TOTAL	\$ 982,615	\$ 1,097,416	\$ 8,238,492	\$ 7,547,133	\$ 12,227,100

WATER

WATER TREATMENT PLANT

PERSONNEL					
Compensation	\$ 46,452	\$ 46,215	\$ 410,915	\$ 364,461	\$ 605,208
PERSONNEL (ACTUAL)	\$ 59,945	\$ 66,053	\$ 579,493	\$ 540,388	\$ 855,547
AS BUDGET	\$ 69,264	\$ 64,455	\$ 554,108	\$ 515,639	Not Applicable
% ACTUAL TO BUDGET	86.55%	102.48%	104.58%	104.80%	Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$ 26,395	\$ 43,378	\$ 217,236	\$ 110,340	\$ 393,761
AS BUDGET	\$ 27,788	\$ 26,263	\$ 222,300	\$ 210,100	Not Applicable
% ACTUAL TO BUDGET	94.99%	165.17%	97.72%	52.52%	Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$ 115,464	\$ 73,324	\$ 655,127	\$ 595,839	\$ 1,065,683
AS BUDGET	\$ 79,108	\$ 63,192	\$ 632,867	\$ 505,533	Not Applicable
% ACTUAL TO BUDGET	145.96%	116.03%	103.52%	117.86%	Not Applicable

CAPITAL OUTLAY

Amortization	\$ (12,754)	\$ (12,754)	\$ (91,995)	\$ (91,995)	\$ (139,665)
Admin Allocation - Water Treatment	\$ 67,273	\$ 73,832	\$ 659,211	\$ 577,095	\$ 920,167
Interest Expense	\$ 107,183	\$ 108,473	\$ 860,781	\$ 871,028	\$ 1,323,353
Capital Expenditures	\$ -	\$ -	\$ -	\$ -	\$ -
CAPITAL OUTLAY (ACTUAL)	\$ 161,701	\$ 169,551	\$ 1,427,997	\$ 1,356,128	\$ 2,103,855
AS BUDGET	\$ 88,075	\$ 88,847	\$ 704,602	\$ 710,777	Not Applicable
% ACTUAL TO BUDGET	183.59%	190.83%	202.67%	190.80%	Not Applicable

DEPRECIATION

DEPRECIATION (ACTUAL)	\$ 111,479	\$ 91,021	\$ 893,870	\$ 728,637	\$ 1,169,052
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FUND TRANSFERS

FUND TRANSFERS (ACTUAL)	\$ 35,644	\$ 56,069	\$ 276,211	\$ 337,224	\$ 502,140
AS BUDGET	\$ 93,605	\$ 92,662	\$ 748,843	\$ 741,299	Not Applicable
% ACTUAL TO BUDGET	38.08%	60.51%	36.89%	45.49%	Not Applicable

WATER DISTRIBUTION SYSTEM

PERSONNEL					
PERSONNEL (ACTUAL)	\$ 47,505	\$ 110,086	\$ 492,734	\$ 541,959	\$ 745,876
AS BUDGET	\$ 68,493	\$ 67,198	\$ 547,945	\$ 537,581	Not Applicable
% ACTUAL TO BUDGET	69.36%	163.82%	89.92%	100.81%	Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$ 2,337	\$ 4,873	\$ 39,018	\$ 68,785	\$ 52,097
AS BUDGET	\$ 18,817	\$ 15,963	\$ 150,533	\$ 127,700	Not Applicable
% ACTUAL TO BUDGET	12.42%	30.53%	25.92%	53.86%	Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$ 20,085	\$ 38,108	\$ 177,755	\$ 216,994	\$ 284,771
AS BUDGET	\$ 34,521	\$ 32,229	\$ 276,167	\$ 257,833	Not Applicable
% ACTUAL TO BUDGET	58.18%	118.24%	64.37%	84.16%	Not Applicable

CAPITAL OUTLAY

CAPITAL OUTLAY (ACTUAL)	\$ -	\$ -	\$ -	\$ -	\$ -
AS BUDGET	\$ -	\$ -	\$ -	\$ -	Not Applicable
% ACTUAL TO BUDGET	0.00%	0.00%	0.00%	0.00%	Not Applicable

TOTAL WATER EXPENSES (ACTUAL)	\$ 580,555	\$ 652,463	\$ 4,759,442	\$ 4,496,295	\$ 7,172,781
AS BUDGET	\$ 479,671	\$ 450,808	\$ 3,837,365	\$ 3,606,463	Not Applicable
% ACTUAL TO BUDGET	121.03%	144.73%	124.03%	124.67%	Not Applicable

Aug 2023 Aug 2022 FY2023 YTD FY2022 YTD 12-MONTH

WASTEWATER

STORMWATER

PERSONNEL

PERSONNEL (ACTUAL)	\$ 24,311	\$ 19,704	\$ 217,874	\$ 169,777	\$ 286,574
AS BUDGET	\$ 29,531	\$ 23,246	\$ 236,246	\$ 185,967	Not Applicable
% ACTUAL TO BUDGET	82.32%	84.77%	92.22%	91.29%	Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$ 7,511	\$ 575	\$ 58,971	\$ 14,626	\$ 62,426
AS BUDGET	\$ 3,928	\$ 2,679	\$ 31,423	\$ 21,433	Not Applicable
% ACTUAL TO BUDGET	191.24%	21.47%	187.67%	68.24%	Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$ 10,933	\$ 3,323	\$ 25,195	\$ 32,379	\$ 38,086
AS BUDGET	\$ 79,108	\$ 63,192	\$ 632,867	\$ 505,533	Not Applicable
% ACTUAL TO BUDGET	13.82%	5.26%	3.98%	6.40%	Not Applicable

CAPITAL OUTLAY

Amortization	\$ (7,911)	\$ (7,911)	\$ (53,227)	\$ (45,316)	\$ (81,518)
Admin Alloc - Adm Exp	\$ 67,273	\$ 73,832	\$ 659,211	\$ 504,880	\$ 920,167
Interest Expense	\$ 4,697	\$ 5,975	\$ 40,801	\$ 50,950	\$ 64,070
Capital Expenditures	\$ -	\$ -	\$ -	\$ -	\$ -
CAPITAL OUTLAY (ACTUAL)	\$ 64,059	\$ 71,897	\$ 646,785	\$ 510,515	\$ 902,719
AS BUDGET	\$ 137,476	\$ 136,994	\$ 1,099,810	\$ 1,095,949	Not Applicable
% ACTUAL TO BUDGET	46.60%	52.48%	58.81%	46.58%	Not Applicable

DEPRECIATION	\$ 6,587	\$ 3,061	\$ 52,693	\$ 24,237	\$ 61,876
DEPRECIATION (ACTUAL)	\$ 6,587	\$ 3,061	\$ 52,693	\$ 24,237	\$ 61,876

SEWAGE

FUND TRANSFERS

FUND TRANSFERS (ACTUAL)	\$ 21,994	\$ 30,180	\$ 180,825	\$ 221,424	\$ 306,956
AS BUDGET	\$ 59,438	\$ 67,875	\$ 475,507	\$ 542,999	Not Applicable
% ACTUAL TO BUDGET	37.00%	44.46%	38.03%	40.78%	Not Applicable

DEPRECIATION	\$ 86,922	\$ 80,581	\$ 695,710	\$ 563,303	\$ 939,468
DEPRECIATION (ACTUAL)	\$ 86,922	\$ 80,581	\$ 695,710	\$ 563,303	\$ 939,468

SEWAGE COLLECTION

PERSONNEL

PERSONNEL (ACTUAL)	\$ 34,032	\$ 41,999	\$ 341,039	\$ 354,264	\$ 510,641
AS BUDGET	\$ 43,591	\$ 42,920	\$ 348,731	\$ 343,362	Not Applicable
% ACTUAL TO BUDGET	78.07%	97.85%	97.79%	103.18%	Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$ 6,973	\$ 7,539	\$ 55,427	\$ 48,613	\$ 97,745
AS BUDGET	\$ 8,298	\$ 8,396	\$ 66,383	\$ 67,167	Not Applicable
% ACTUAL TO BUDGET	84.04%	89.79%	83.49%	72.38%	Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$ 11,952	\$ 10,345	\$ 81,085	\$ 64,976	\$ 133,637
AS BUDGET	\$ 11,421	\$ 10,804	\$ 91,367	\$ 86,433	Not Applicable
% ACTUAL TO BUDGET	104.65%	95.75%	88.75%	75.17%	Not Applicable

SEWAGE TREATMENT

PERSONNEL

PERSONNEL (ACTUAL)	\$ 38,368	\$ 41,093	\$ 349,115	\$ 339,639	\$ 508,041
AS BUDGET	\$ 43,916	\$ 42,740	\$ 351,327	\$ 341,919	Not Applicable
% ACTUAL TO BUDGET	87.37%	96.15%	99.37%	99.33%	Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$ 25,199	\$ 59,141	\$ 267,542	\$ 204,108	\$ 419,550
AS BUDGET	\$ 65,504	\$ 61,038	\$ 524,033	\$ 488,300	Not Applicable
% ACTUAL TO BUDGET	38.47%	96.89%	51.05%	41.80%	Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$ 63,219	\$ 75,515	\$ 506,790	\$ 502,978	\$ 786,600
AS BUDGET	\$ 67,717	\$ 63,104	\$ 541,733	\$ 504,833	Not Applicable
% ACTUAL TO BUDGET	93.36%	119.67%	93.55%	99.63%	Not Applicable

TOTAL EXPENSES (ACTUAL)	\$ 402,060	\$ 444,952	\$ 3,479,051	\$ 3,050,838	\$ 5,054,318
AS BUDGET	\$ 549,928	\$ 522,987	\$ 4,399,426	\$ 4,183,897	Not Applicable
% ACTUAL TO BUDGET	73.11%	85.08%	79.08%	72.92%	Not Applicable

NATURAL GAS MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 08/2023 | FY 2023



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CITY OF MONROE: NATURAL GAS FUND OVERVIEW

	Jan 2023	Feb 2023	Mar 2023	Apr 2023	May 2023	Jun 2023	Jul 2023	Aug 2023	Sep 2023	Oct 2023	Nov 2023	Dec 2023	FY 2023	AS BUDGET	FY 2022
REVENUES	\$ 0.805M	\$ 0.831M	\$ 0.649M	\$ 0.532M	\$ 0.307M	\$ 0.224M	\$ 0.187M	\$ 0.191M					\$ 3.726M	\$ 3.828M	\$ 4.090M
PERSONNEL COSTS	\$ 0.063M	\$ 0.074M	\$ 0.085M	\$ 0.055M	\$ 0.068M	\$ 0.062M	\$ 0.054M	\$ 0.055M					\$ 0.516M	\$ 0.555M	\$ 0.492M
CONTRACTED SVC	\$ 0.006M	\$ 0.020M	\$ 0.012M	\$ 0.015M	\$ 0.019M	\$ 0.006M	\$ 0.005M	\$ 0.023M					\$ 0.104M	\$ 0.176M	\$ 0.093M
SUPPLIES	\$ 0.560M	\$ 0.451M	\$ 0.303M	\$ 0.266M	\$ 0.121M	\$ 0.091M	\$ 0.070M	\$ 0.074M					\$ 1.937M	\$ 2.371M	\$ 1.946M
CAPITAL OUTLAY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -					\$ -	\$ -	\$ -
FUND TRANSFERS	\$ 0.069M	\$ 0.274M	\$ 0.081M	\$ 0.230M	\$ 0.119M	\$ 0.102M	\$ 0.091M	\$ 0.100M					\$ 1.065M	\$ 1.177M	\$ 1.039M
EXPENSES	\$ 0.698M	\$ 0.819M	\$ 0.481M	\$ 0.566M	\$ 0.326M	\$ 0.260M	\$ 0.221M	\$ 0.252M					\$ 3.622M	\$ 4.279M	\$ 3.570M
MARGIN	\$ 0.106M	\$ 0.012M	\$ 0.168M	\$ (0.034M)	\$ (0.019M)	\$ (0.036M)	\$ (0.033M)	\$ (0.061M)					\$ 0.103M	\$ (0.451M)	\$ 0.520M

12-MO PURCHASED CCF'S



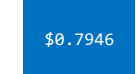
12-MO RETAIL CCF'S



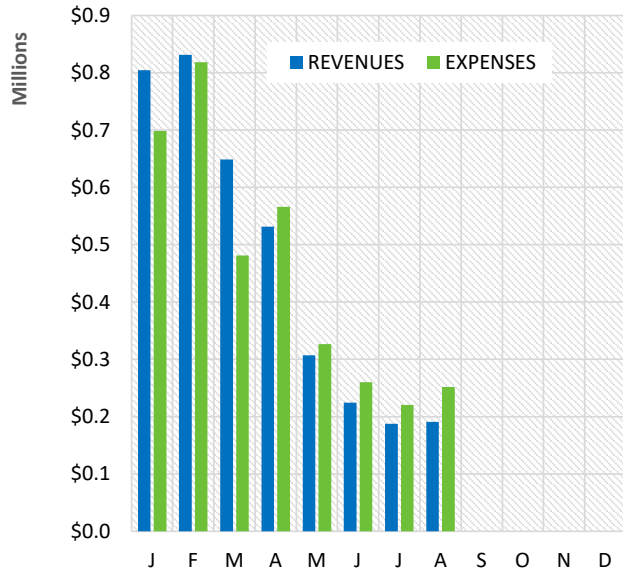
12-MO LINE LOSS



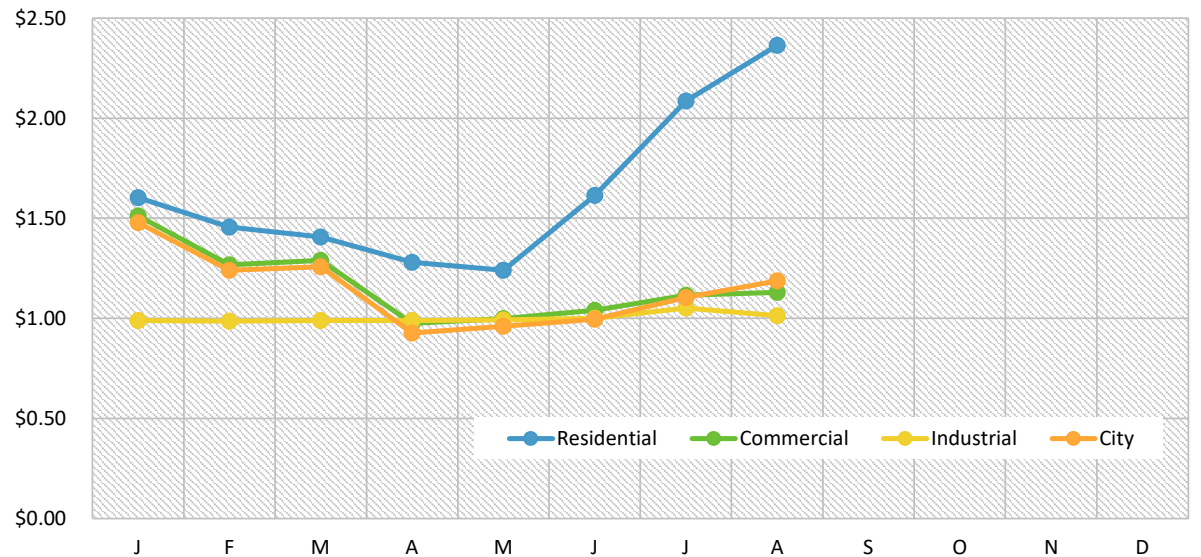
AVERAGE COST PER CCF



REVENUES vs. EXPENSES



AVERAGE \$/CCF



RETAIL SALES REPORT

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[Mar 2023](#)
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CUSTOMER COUNT

Residential	3,727	3,747	3,754	3,748	3,753	3,776	3,772	3,773
Commercial	580	586	589	584	583	582	583	582
Industrial	7	6	6	6	6	6	7	7
City	20	20	20	20	20	20	20	20
Total	4,336	4,361	4,371	4,360	4,364	4,386	4,384	4,384
Year-Over-Year Δ	3.98%	4.08%	4.15%	3.74%	3.27%	3.37%	2.89%	2.67%

CCF

Residential	0.284M	0.326M	0.235M	0.165M	0.121M	0.061M	0.038M	0.031M
Commercial	0.187M	0.217M	0.182M	0.113M	0.098M	0.081M	0.070M	0.061M
Industrial	0.015M	0.019M	0.012M	0.013M	0.009M	0.006M	0.002M	0.004M
City	0.013M	0.015M	0.012M	0.007M	0.005M	0.004M	0.003M	0.002M
Total	0.512M	0.589M	0.457M	0.311M	0.248M	0.165M	0.127M	0.111M
Year-Over-Year Δ	22.46%	16.20%	-26.54%	-15.74%	-8.89%	10.29%	16.56%	11.20%

REVENUE

Residential	\$ 0.455M	\$ 0.475M	\$ 0.331M	\$ 0.211M	\$ 0.150M	\$ 0.099M	\$ 0.080M	\$ 0.074M
Commercial	\$ 0.283M	\$ 0.275M	\$ 0.235M	\$ 0.110M	\$ 0.098M	\$ 0.084M	\$ 0.078M	\$ 0.069M
Industrial	\$ 0.015M	\$ 0.019M	\$ 0.012M	\$ 0.012M	\$ 0.009M	\$ 0.006M	\$ 0.002M	\$ 0.004M
Other	\$ 0.016M	\$ 0.013M	\$ 0.017M	\$ 0.010M	\$ 0.011M	\$ 0.010M	\$ 0.012M	\$ 0.011M
City	\$ 0.020M	\$ 0.018M	\$ 0.015M	\$ 0.007M	\$ 0.005M	\$ 0.004M	\$ 0.003M	\$ 0.002M
Total	\$ 0.789M	\$ 0.800M	\$ 0.610M	\$ 0.351M	\$ 0.273M	\$ 0.203M	\$ 0.175M	\$ 0.160M
Year-Over-Year Δ	44.53%	8.94%	-26.02%	-32.02%	-37.88%	-30.92%	-19.80%	-39.30%

SALES STATISTICS

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YTD

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AVERAGE CCF/CUSTOMER

Residential	76	87	63	44	32	16	10	8		42
Commercial	323	371	309	194	168	139	121	104		216
Industrial	2,174	3,178	2,045	2,087	1,480	942	256	578		1,593
City	673	735	614	359	253	202	133	82		381

AVERAGE \$/CUSTOMER

Residential	\$122	\$127	\$88	\$56	\$40	\$26	\$21	\$20		\$63
Commercial	\$488	\$470	\$398	\$189	\$168	\$145	\$135	\$118		\$264
Industrial	\$2,150	\$3,134	\$2,023	\$2,065	\$1,469	\$942	\$269	\$585		\$1,580
City	\$995	\$912	\$771	\$333	\$243	\$202	\$147	\$98		\$463

AVERAGE \$/CCF

Residential	\$1.6031	\$1.4567	\$1.4058	\$1.2804	\$1.2401	\$1.6144	\$2.0861	\$2.3647		\$1.6314
Commercial	\$1.5113	\$1.2671	\$1.2892	\$0.9745	\$0.9995	\$1.0406	\$1.1152	\$1.1299		\$1.1659
Industrial	\$0.9889	\$0.9860	\$0.9894	\$0.9892	\$0.9930	\$1.0003	\$1.0507	\$1.0134		\$1.0014
City	\$1.4787	\$1.2403	\$1.2573	\$0.9269	\$0.9603	\$0.9960	\$1.1049	\$1.1870		\$1.1439
Average	\$1.3955	\$1.2376	\$1.2354	\$1.0427	\$1.0482	\$1.1628	\$1.3392	\$1.4237		\$1.2356

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
Natural Gas Supply Cost					
Capacity Reservation Fees	\$ 32,697	\$ 32,681	\$ 356,448	\$ 355,953	\$ 515,450
Demand Storage/Peaking Services	\$ 2,318	\$ 2,383	\$ 18,233	\$ 18,023	\$ 27,613
Supply Charges	\$ 34,749	\$ 77,208	\$ 1,176,935	\$ 1,423,254	\$ 1,852,052
Gas Authority Supply Charges	\$ 1,555	\$ 1,502	\$ 40,146	\$ 38,694	\$ 53,113
Gas Authority Charges	\$ (16,918)	\$ (2,350)	\$ (86,750)	\$ (65,241)	\$ (104,393)
P.A.C.E	300	300	2,400	2,400	3,600
APGA Annual Dues	-	-	3,652	3,528	3,652
Other	2,719	(298)	28,298	19,589	38,131
TOTAL MGAG BILL	\$ 57,418	\$ 111,426	\$ 1,539,361	\$ 1,796,202	\$ 2,389,217

DELIVERED SUPPLY

Volume CCF	120,360	105,710	2,597,210	2,570,970	3,455,300
Volume Dth (MGAG)	116,990	103,160	2,525,450	2,526,140	3,360,300

*Dth (dekatherm) is the measurement of gas volume. Dth to Ccf (Centi Cubic Feet) conversion is based on the BTU fuel content

UNIT COSTS					
\$/Dth	0.4908	1.0801	0.6095	0.7110	0.7110
\$/CCF	0.4771	1.0541	0.5927	0.6986	0.6915

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
SALES REVENUES					
NATURAL GAS SALES	\$ 159,718	\$ 263,147	\$ 3,364,903	\$ 3,838,346	\$ 4,753,373
SALES REVENUES (ACTUAL)	\$ 159,718	\$ 263,147	\$ 3,364,903	\$ 3,838,346	\$ 4,753,373
AS BUDGET	\$ 455,024	\$ 334,348	\$ 3,640,191	\$ 334,348	Not Applicable
% ACTUAL TO BUDGET	35.10%	78.70%	92.44%	1148.01%	Not Applicable
<i>Note on Natural Gas Sales: Detail break-down for individual rate class is shown in NATURAL GAS RETAIL SALES section.</i>					
OTHER REVENUES					
OP REVENUE	-	-	-	-	-
MISC REVENUE	1,050	500	2,700	1,853	4,186
CONTRIBUTED CAPITAL	-	-	-	-	-
SALE FIXED ASSETS	-	-	-	-	-
TAP FEES	3,975	6,000	44,045	59,344	61,068
REIMB DAMAGED PROP - GAS	-	-	-	-	-
ADMIN ALLOC	26,286	15,967	168,737	91,050	258,233
INT/INVEST INCOME	-	-	-	-	-
STATE GRANTS	-	-	-	-	-
MGAG REBATE	-	-	145,297	99,495	145,297
OPERATING TRANSFERS IN	-	249,725	-	249,725	-
SALE OF ASSETS - GAS	-	-	-	-	257
OTHER REVENUES (ACTUAL)	\$ 31,312	\$ 272,192	\$ 360,779	\$ 501,467	\$ 469,041
AS BUDGET	\$ 23,444	\$ 23,694	\$ 187,556	\$ 189,555	Not Applicable
% ACTUAL TO BUDGET	133.56%	1148.76%	192.36%	264.55%	Not Applicable
TOTAL REVENUES (ACTUAL)	\$ 191,030	\$ 535,339	\$ 3,725,682	\$ 4,339,813	\$ 5,222,413
AS BUDGET	\$ 478,468	\$ 358,042	\$ 3,827,746	\$ 2,864,337	Not Applicable
% ACTUAL TO BUDGET	39.93%	149.52%	97.33%	151.51%	Not Applicable

**MOST RECENT
12-MONTH**

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	
PERSONNEL					
Compensation	\$ 41,313	\$ 13,553	\$ 344,390	\$ 317,591	\$ 524,316
Benefits	12,864	19,421	170,562	173,796	249,171
PERSONNEL (ACTUAL)	\$ 54,811	\$ 33,150	\$ 515,900	\$ 492,314	\$ 774,767
AS BUDGET	\$ 69,357	\$ 62,156	\$ 554,857	\$ 497,247	Not Applicable
% ACTUAL TO BUDGET	79.03%	53.33%	92.98%	99.01%	Not Applicable

CONTRACTED SERVICES

Consulting	\$ 11,584	\$ -	\$ 11,584	\$ -	\$ 27,371
Landfill Fees	-	-	-	-	-
Custodial Service	-	-	-	-	-
Lawn & Maint	32	32	192	160	256
Holiday Events	-	-	-	-	-
Security Sys	-	-	-	-	-
Equipment Rep & Maint	-	-	1,381	8,343	4,399
Vehicle Rep & Maint Outside	5,832	20	7,939	1,491	8,879
R&M System - Outside	1,156	-	16,890	25,531	21,545
R & M Buildings - Outside	-	-	2,513	432	2,855
Maintenance Contracts	251	251	4,791	3,755	10,138
Equip Rent/Lease	622	1,431	9,040	11,965	13,980
Pole Equip Rent/Lease	-	-	-	-	-
Equipment Rental	75	27	241	170	375
Repairs & Maintenance (Outside)	-	-	-	-	-
Landfill Fees	-	-	-	-	-
Maint Contracts	-	-	-	-	-
Other Contract Svcs	-	-	-	-	-
Comm Svcs	80	613	3,786	4,294	6,177
Postage	-	-	-	-	-
Adverstising	-	415	1,022	445	1,561
Mkt Expense	-	-	250	1,650	543
Printing	-	450	-	450	-
Util Bill Print Svcs	-	-	-	-	-
Dues & Sub	-	-	-	-	-
Travel	-	1,082	663	2,115	1,695
Fees	-	-	2,232	370	2,232
Vehicle Tag & Title Fee	-	-	-	42	-
Ga Dept Rev Fee	-	-	-	-	-
Training & Ed	-	1,656	4,258	3,717	9,442
Gen Liab Ins	-	-	-	-	-
Uniform Rental	-	-	922	-	922
Contract Labor	3,393	308	36,024	28,387	57,240
Shipping/Freight	-	-	-	-	-
CONTRACTED SERVICES (ACTUAL)	\$ 23,023	\$ 6,285	\$ 103,727	\$ 93,317	\$ 169,611
AS BUDGET	\$ 21,996	\$ 20,079	\$ 175,967	\$ 160,633	Not Applicable
% ACTUAL TO BUDGET	104.67%	31.30%	58.95%	58.09%	Not Applicable

**MOST RECENT
12-MONTH**

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
SUPPLIES					
Gas Cost	54,399	111,426	1,770,512	1,770,725	2,884,025
Office Supplies	-	182	1,620	432	2,528
Postage	-	-	-	-	-
Furniture <5000	-	-	-	-	-
Auto Parts	-	761	1,940	3,122	2,236
Construction Materials	-	-	-	-	82
Damage Claims	-	-	223	-	323
Expendable Fluids	-	50	302	78	317
Tires	-	-	-	534	421
Uniform Expense	-	2,701	7,252	7,526	7,631
Janitorial	209	190	1,389	1,639	2,606
Computer Equipment	73	-	1,244	3,819	1,244
Equipment Parts	292	618	4,549	15,764	7,979
Repair & Maintenance	10,359	4,011	79,378	96,948	143,459
Util Costs - Util Fund	372	370	2,969	2,905	4,314
Covid-19 Expenses	-	-	-	-	-
Mileage Reimb	-	-	-	-	-
Auto & Truck Fuel	4,417	4,597	17,487	24,606	33,102
Food	241	377	2,053	1,493	3,007
Sm Tool & Min Equip	117	454	3,119	7,176	9,194
Meters	3,189	-	40,862	1,742	57,455
Sm Oper Supplies	703	1,271	2,594	7,449	5,546
Construction Material	-	-	-	-	-
Tires	-	-	-	-	-
Uniform Exp	-	-	-	-	-
Repairs & Maintenance (Inside)	-	-	-	-	-
Equip Pur (<\$5M)	-	-	-	-	-
Dam Claims	-	-	-	-	-
SUPPLIES (ACTUAL)	\$ 74,371	\$ 127,009	\$ 1,937,495	\$ 1,945,960	\$ 3,165,469
AS BUDGET	\$ 296,343	\$ 16,500	\$ 2,370,745	\$ 132,000	Not Applicable
% ACTUAL TO BUDGET	25.10%	769.75%	81.73%	1474.21%	Not Applicable

CAPITAL OUTLAY

Amortization Def Chg 2016 Bond	\$ -	\$ -	\$ 3,240	\$ 3,240	\$ 4,320
Amort 2020 Bond Premium	\$ (692)	\$ (692)	\$ (5,535)	\$ (5,535)	\$ (8,302)
Depr Exp	\$ 17,905	\$ 17,312	\$ 143,370	\$ 137,392	\$ 195,161
Int Exp 2016 Rev Bond	1,512	1,924	13,137	16,404	20,628
Interest Exp - 2020 Rev Bonds	3,417	3,417	27,339	27,339	41,009
Issuance Costs	-	-	-	-	-
CAPITAL OUTLAY (ACTUAL)	\$ 22,143	\$ 21,962	\$ 181,551	\$ 178,841	\$ 252,816
AS BUDGET	\$ 1,976	\$ 2,385	\$ 15,809	\$ 19,082	Not Applicable
% ACTUAL TO BUDGET	1120.53%	920.72%	1148.42%	937.22%	Not Applicable

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
FUND TRANSFERS					
Admin Alloc - Adm Exp	\$ 67,273	\$ 73,832	\$ 659,211	\$ 577,095	\$ 920,167
Transfer To Gf	10,265	17,131	224,593	304,634	314,840
Transfer To Cip	-	-	-	-	-
Transfer - Insurance	-	-	-	-	-
Transfer - E&R	-	-	-	-	-
FUND TRANSFERS (ACTUAL)	\$ 77,538	\$ 90,963	\$ 883,804	\$ 881,729	\$ 1,235,007
AS BUDGET	\$ 145,199	\$ 132,048	\$ 1,161,591	\$ 1,056,387	Not Applicable
% ACTUAL TO BUDGET	53.40%	68.89%	76.09%	83.47%	Not Applicable
TOTAL EXPENSES (ACTUAL)	\$ 251,885	\$ 279,368	\$ 3,622,476	\$ 3,592,162	\$ 5,597,669
AS BUDGET	\$ 534,871	\$ 233,169	\$ 4,278,967	\$ 1,865,349	Not Applicable
% ACTUAL TO BUDGET	47.09%	119.81%	84.66%	192.57%	Not Applicable

ELECTRIC: MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 08/2023 | FY 2023



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CITY OF MONROE: ELECTRIC FUND OVERVIEW

	Jan 2023	Feb 2023	Mar 2023	Apr 2023	May 2023	Jun 2023	Jul 2023	Aug 2023	Sep 2023	Oct 2023	Nov 2023	Dec 2023	FY 2023	AS BUDGET	FY 2022
REVENUES	\$ 1.540M	\$ 1.735M	\$ 1.560M	\$ 1.341M	\$ 1.448M	\$ 1.495M	\$ 1.593M	\$ 1.886M					\$ 12.598M	\$ 13.569M	\$ 12.857M
PERSONNEL COSTS	\$ 0.114M	\$ 0.148M	\$ 0.152M	\$ 0.108M	\$ 0.122M	\$ 0.117M	\$ 0.129M	\$ 0.105M					\$ 0.995M	\$ 1.003M	\$ 0.939M
CONTRACTED SVC	\$ 0.038M	\$ 0.076M	\$ 0.065M	\$ 0.050M	\$ 0.080M	\$ 0.053M	\$ 0.063M	\$ 0.042M					\$ 0.467M	\$ 0.560M	\$ 0.575M
SUPPLIES	\$ 2.583M	\$ 1.090M	\$ 1.201M	\$ 1.230M	\$ 1.027M	\$ 1.119M	\$ 1.279M	\$ 0.745M					\$ 10.275M	\$ 8.313M	\$ 9.498M
CAPITAL OUTLAY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -					\$ -	\$ -	\$ -
DEPRECIATION	\$ -	\$ 0.076M	\$ 0.039M	\$ 0.039M	\$ 0.040M	\$ 0.040M	\$ 0.040M	\$ 0.040M					\$ 0.313M	\$ 0.208M	\$ 0.283M
EXPENSES	\$ 2.736M	\$ 1.390M	\$ 1.458M	\$ 1.426M	\$ 1.269M	\$ 1.329M	\$ 1.510M	\$ 0.932M					\$ 12.049M	\$ 10.084M	\$ 11.295M
FUND TRANSFERS	\$ 0.108M	\$ 0.293M	\$ 0.106M	\$ 0.259M	\$ 0.151M	\$ 0.144M	\$ 0.136M	\$ 0.158M					\$ 1.354M	\$ 2.196M	\$ 1.471M
MARGIN W/O TRANSFERS	\$ (1.196M)	\$ 0.345M	\$ 0.103M	\$ (0.086M)	\$ 0.179M	\$ 0.166M	\$ 0.083M	\$ 0.954M	\$ -	\$ -	\$ -	\$ -	\$ 0.548M	\$ 3.485M	\$ 1.562M
MARGIN W/ TRANSFER	\$ (1.303M)	\$ 0.052M	\$ (0.003M)	\$ (0.345M)	\$ 0.028M	\$ 0.021M	\$ (0.053M)	\$ 0.797M	\$ -	\$ -	\$ -	\$ -	\$ (0.806M)	\$ 1.289M	\$ 0.090M
PART CONTR/YES/INTEREST	\$ 0.289M	\$ 0.013M	\$ 0.480M	\$ 0.395M	\$ 0.086M	\$ 0.064M	\$ 0.167M	\$ 0.170M	\$ -	\$ -	\$ -	\$ -	\$ 1.664M	\$ 0.400M	\$ 0.803M

* Participant Contribution, Year End Settlement and Interest excluded from Revenues

12-MO PURCHASED KWH'S



12-MO RETAIL KWH'S



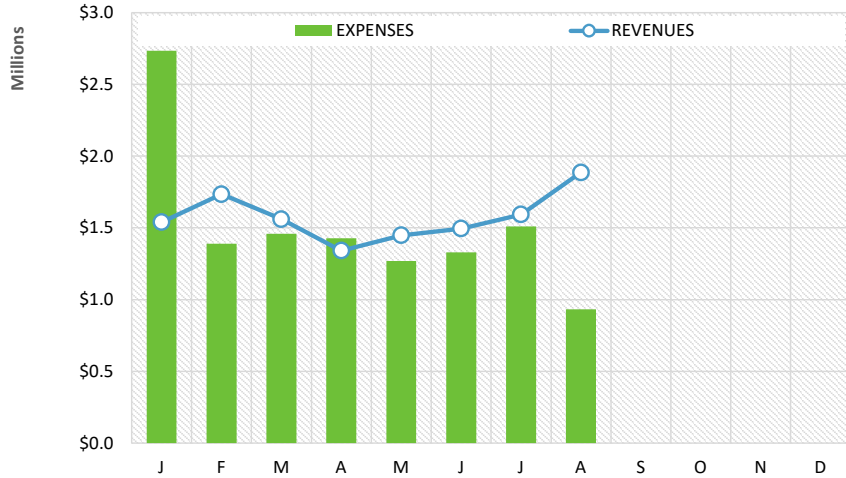
12-MO LINE LOSS

2.69%

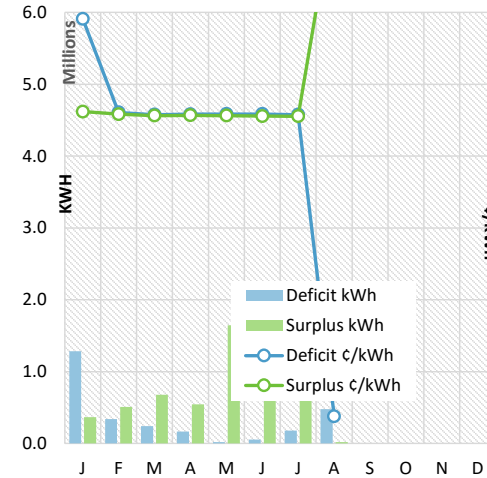
12-MO WHOLESALE ¢/kWh

9.223

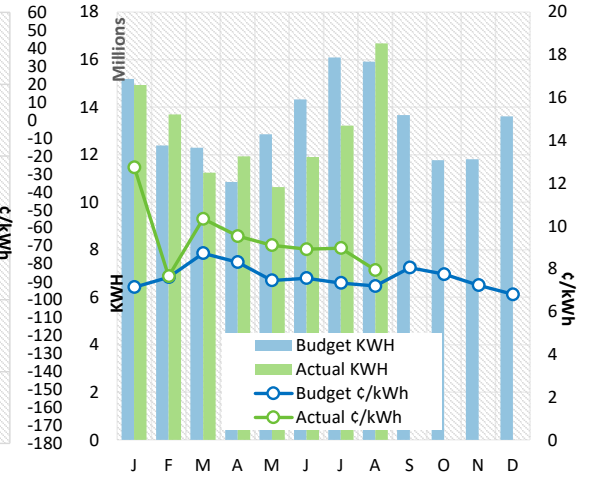
REVENUES vs. EXPENSES



DEFICIT PURCHASES vs. SURPLUS SALES



MEAG BUDGET vs. ACTUAL



RETAIL SALES REPORT

Jan 2023
Feb 2023
Mar 2023
Apr 2023
May 2023
Jun 2023
Jul 2023
Aug 2023
Sep 2023
Oct 2023
Nov 2023
Dec 2023

CUSTOMER COUNT

Residential	5,896	5,908	5,922	5,938	5,969	5,952	5,946	5,966
Commercial	922	931	932	926	929	929	930	924
Industrial	1	1	1	1	1	1	1	1
City	51	51	51	51	52	53	54	55
Total	6,870	6,891	6,906	6,916	6,951	6,935	6,931	6,946
Year-Over-Year Δ	1.85%	1.80%	2.01%	1.86%	2.25%	1.97%	1.90%	1.70%

KWH

Residential	6.702M	7.569M	6.513M	5.204M	4.912M	4.674M	5.481M	6.790M
Commercial	5.343M	5.471M	5.441M	4.707M	5.152M	5.367M	5.958M	6.642M
Industrial	0.223M	0.234M	0.291M	0.242M	0.253M	0.258M	0.256M	0.284M
Other	-	-	-	-	-	-	-	-
City	0.545M	0.567M	0.527M	0.449M	0.481M	0.490M	0.534M	0.546M
Total	12.813M	13.840M	12.772M	10.602M	10.799M	10.790M	12.229M	14.262M
Year-Over-Year Δ	8.03%	6.98%	-11.25%	-10.70%	0.55%	-5.07%	-13.82%	-11.86%

REVENUE

Residential	\$ 0.731M	\$ 0.814M	\$ 0.713M	\$ 0.589M	\$ 0.639M	\$ 0.607M	\$ 0.718M	\$ 0.897M
Commercial	\$ 0.685M	\$ 0.707M	\$ 0.701M	\$ 0.624M	\$ 0.673M	\$ 0.694M	\$ 0.748M	\$ 0.818M
Industrial	\$ 0.026M	\$ 0.027M	\$ 0.030M	\$ 0.027M	\$ 0.028M	\$ 0.028M	\$ 0.028M	\$ 0.030M
Other	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M
City	\$ 0.052M	\$ 0.054M	\$ 0.050M	\$ 0.043M	\$ 0.046M	\$ 0.047M	\$ 0.051M	\$ 0.052M
Total	\$ 1.495M	\$ 1.602M	\$ 1.495M	\$ 1.283M	\$ 1.386M	\$ 1.376M	\$ 1.545M	\$ 1.797M
Year-Over-Year Δ	5.88%	5.71%	-9.92%	-9.33%	-1.03%	-5.53%	-13.79%	-11.95%

SALES STATISTICS

345

[Jan 2023](#)
[Feb 2023](#)
[Mar 2023](#)
[Apr 2023](#)
[May 2023](#)
[Jun 2023](#)
[Jul 2023](#)
[Aug 2023](#)
[Sep 2023](#)
[Oct 2023](#)
[Nov 2023](#)
[Dec 2023](#)

YTD

AVERAGE KWH/CUSTOMER

Residential	1,137	1,281	1,100	876	823	785	922	1,138	1,008
Commercial	5,795	5,876	5,838	5,083	5,546	5,777	6,406	7,189	5,939
Industrial	223,258	233,859	291,101	242,214	253,446	258,002	255,934	283,797	255,201
City	10,692	11,115	10,326	8,801	9,254	9,253	9,894	9,929	9,908

AVERAGE \$/CUSTOMER

Residential	\$124	\$138	\$120	\$99	\$107	\$102	\$121	\$150	\$120
Commercial	\$743	\$760	\$752	\$674	\$724	\$747	\$805	\$885	\$761
Industrial	\$25,891	\$26,567	\$30,232	\$27,099	\$27,826	\$28,113	\$27,980	\$29,751	\$27,932
City	\$1,024	\$1,065	\$989	\$842	\$886	\$886	\$947	\$951	\$949

AVERAGE \$/KWH

Residential	\$0.1091	\$0.1075	\$0.1095	\$0.1132	\$0.1301	\$0.1298	\$0.1309	\$0.1321	\$0.1203
Commercial	\$0.1283	\$0.1293	\$0.1288	\$0.1327	\$0.1306	\$0.1293	\$0.1256	\$0.1231	\$0.1285
Industrial	\$0.1160	\$0.1136	\$0.1039	\$0.1119	\$0.1098	\$0.1090	\$0.1093	\$0.1048	\$0.1098
City	\$0.0958	\$0.0958	\$0.0958	\$0.0957	\$0.0957	\$0.0957	\$0.0957	\$0.0957	\$0.0957

Average	\$0.1123	\$0.1115	\$0.1095	\$0.1134	\$0.1165	\$0.1159	\$0.1154	\$0.1140	\$0.1136
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	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	MOST RECENT 12-MONTH
POWER SUPPLY COSTS					
MEAG Project Power	\$ 1,062,517	\$ 1,063,227	\$ 7,321,501	\$ 7,255,436	\$ 10,973,433
Transmission	130,898	106,052	981,596	841,157	1,384,992
Supplemental	76,733	211,172	1,050,007	543,566	1,269,241
SEPA	53,055	58,328	426,241	432,539	693,035
Other Adjustments	890	983	7,213	7,838	11,147
TOTAL POWER SUPPLY COSTS	\$ 1,324,093	\$ 1,439,763	\$ 9,786,559	\$ 9,080,536	\$ 14,331,848
AS BUDGET	1,144,282	946,867	8,364,757	7,013,454	11,586,810
% ACTUAL TO BUDGET	115.71%	152.06%	117.00%	129.47%	123.69%

PEAKS & ENERGY

Peaks (KW)

Coincident Peak (CP)	34,219	32,191	40,520	36,409	40,520
Non-Coincident Peak (NCP)	34,929	33,715	40,520	36,827	40,520
CP (BUDGET)	32,204	32,097	33,307	33,343	33,307
NCP (BUDGET)	34,047	33,683	34,047	33,705	34,047

Energy (KWH)

MEAG Energy	14,881,584	14,853,492	95,061,090	97,137,642	143,221,245
Supplemental Purchases (or sales)	714,204	564,882	(1,076,875)	1,120,661	(1,656,694)
SEPA Energy	1,080,949	927,871	10,268,151	9,563,841	13,823,300
Total Energy (KWH)	16,676,737	16,346,245	104,252,367	107,822,145	155,387,851
AS BUDGET	15,912,000	15,222,000	109,900,000	101,153,000	155,144,000
% ACTUAL TO BUDGET	104.81%	107.39%	94.86%	106.59%	100.16%

CP Load Factor	67.69%	70.53%	29.37%	33.81%	43.78%
NCP Load Factor	66.31%	67.34%	29.37%	33.42%	43.78%
% Supplemental	4.28%	3.46%	1.02%	1.04%	1.05%

UNIT COSTS (¢/kWh)

Bulk Power	7.5740	8.8016	9.5534	8.5457	9.2463
Supplemental	10.7439	37.3834	97.5050	48.5040	76.6129
SEPA Energy	4.9082	6.2862	4.1511	4.5227	5.0135
MEAG Total	7.9398	8.8079	9.3874	8.4218	9.2233

Note on Supplemental Unit Cost: Unit cost is based on the aggregated hourly energy and the associated market price for which the energy was purchased or sold.

**MOST RECENT
12-MONTH**

Aug 2023

Aug 2022

FY2023 YTD

FY2022 YTD

12-MONTH

SALES REVENUES

ELECTRIC SALES	\$	1,796,397	\$	2,006,397	\$	11,975,115	\$	12,416,386	\$	18,268,803
SALES REVENUES (ACTUAL)	\$	1,796,397	\$	2,006,397	\$	11,975,115	\$	12,416,386	\$	18,268,803
AS BUDGET	\$	1,641,667	\$	1,625,000	\$	13,133,333	\$	13,000,000		Not Applicable
% ACTUAL TO BUDGET		109.43%		123.47%		91.18%		95.51%		Not Applicable

Note on Electric Sales: Detail break-down for individual rate class is shown in *ELECTRIC: RETAIL SALES* section.

OTHER REVENUES

OP REVENUE		34,721		34,380		278,843		275,357		417,077
FEDERAL GRANT		-		-		-		-		-
MISC REVENUE		18,549		1,323		140,300		56,170		237,278
CONTRIBUTED CAPITAL		-		-		24,537		-		24,537
SALE OF FIXED ASSETS		10,000		-		10,000		-		10,000
GAIN UTILITIES ASSETS		-		-		-		-		-
REIMB DAMAGED PROPERTY		-		-		-		-		-
CUST ACCT FEES		-		-		-		-		-
OTHER REV		-		-		-		-		-
ADMIN ALLOC		26,286		15,967		168,737		91,050		258,233
STATE GRANTS		-		-		-		-		-
SALE OF RECYCLED MATERIALS		-		-		-		-		16,950
OTHER REVENUES (ACTUAL)	\$	89,556	\$	51,670	\$	622,417	\$	422,577	\$	964,075
AS BUDGET	\$	54,444	\$	53,195	\$	435,556	\$	425,557		Not Applicable
% ACTUAL TO BUDGET		164.49%		97.13%		142.90%		99.30%		Not Applicable

TRANSFER

OPERATING TRANSFERS IN		-		17,963		-		17,963		-
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TOTAL REVENUES (ACTUAL)	\$	1,885,953	\$	2,076,030	\$	12,597,531	\$	12,856,926	\$	19,232,878
AS BUDGET	\$	1,696,111	\$	1,678,195	\$	13,568,889	\$	13,425,557		Not Applicable
% ACTUAL TO BUDGET		111.19%		123.71%		92.84%		95.76%		Not Applicable

MEAG YES/PART CONTR/INTEREST

PARTICIPANT CONT	\$	100,000	\$	320,341	\$	800,000	\$	800,000	\$	1,200,000
MEAG REBATE	\$	-	\$	-		213,892		711,447		213,892
INTEREST REVENUES - UTILITY	\$	70,358	\$	(323,421)		649,686		(708,087)		580,618
TOTAL EXCLUDED	\$	170,358	\$	(3,080)	\$	1,663,579	\$	803,361	\$	1,994,511

Note on Interest/YES/Participant Contribution: excluded from revenues

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	12-MONTH
PERSONNEL					
Compensation	\$ 86,164	\$ 84,028	\$ 756,798	\$ 657,672	\$ 1,075,594
Benefits	19,269	32,584	238,619	281,169	365,330
PERSONNEL (ACTUAL)	\$ 105,433	\$ 116,612	\$ 995,417	\$ 938,842	\$ 1,440,924
AS BUDGET	\$ 125,077	\$ 125,707	\$ 1,000,615	\$ 1,005,659	Not Applicable
% ACTUAL TO BUDGET	84.29%	92.76%	99.48%	93.36%	Not Applicable

CONTRACTED SERVICES

Consulting	\$ 395	\$ 395	\$ 683	\$ 6,060	\$ 24,683
Landfill Fees	-	-	-	-	-
Holiday Event	-	-	-	-	8,122
Maintenance Contracts	323	428	9,349	7,780	10,997
Rents/Leases	117	241	3,269	23,475	4,288
Repairs & Maintenance (Outside)	2,735	2,459	62,814	30,499	106,160
Landfill Fees	-	-	-	-	-
Other Contract Svcs	-	-	-	-	-
Comm Svcs	1,234	1,907	14,094	13,539	21,441
Postage	-	-	26	-	26
Public Relations	-	-	-	-	4
Mkt Expense	-	-	-	-	4,362
Printing	-	-	-	-	-
Dues & Sub	-	-	-	-	-
Travel	440	247	7,840	2,744	7,840
Vehicle Tag & Title Fee	-	-	142	-	142
Ga Dept Rev Fee	-	-	-	-	-
Fees	-	-	-	-	-
Training & Ed	1,635	7,484	4,449	9,312	4,699
Contract Labor	34,880	56,422	363,501	481,069	572,946
Shipping/Freight	-	-	-	-	-
CONTRACTED SERVICES (ACTUAL)	\$ 41,791	\$ 69,615	\$ 466,918	\$ 575,344	\$ 766,526
AS BUDGET	\$ 69,952	\$ 52,838	\$ 559,617	\$ 422,700	Not Applicable
% ACTUAL TO BUDGET	59.74%	131.75%	83.44%	136.11%	Not Applicable

SUPPLIES

Office Supplies	-	265	1,530	1,578	2,122
Furniture <5001	-	-	-	1,674	-
Postage	-	-	-	-	-
Auto Parts	661	832	1,302	1,728	1,789
Construction Materials	-	-	-	-	33
Damage Claims	500	-	659	-	659
Sponsorships/Donations	-	-	-	750	-
Expendable Fluids	-	32	302	73	317
Safety/Medical Supplies	-	-	-	4,485	-
Tires	-	432	1,865	11,251	1,865

	Aug 2023	Aug 2022	FY2023 YTD	FY2022 YTD	12-MONTH
Uniform Expense	1,416	773	17,535	15,213	18,744
Janitorial	309	282	2,181	2,271	3,879
Computer Equipment	-	-	6,068	-	6,128
R & M Buildings - Inside	-	-	-	-	-
Util Costs - Util Fund	651	597	13,921	12,630	17,140
Covid-19 Expenses	-	-	-	-	-
Streetlights	-	-	-	-	-
Auto & Truck Fuel	3,761	4,785	23,488	26,342	39,130
Food	140	336	1,675	1,191	8,566
Sm Tool & Min Equip	1,948	1,273	49,846	14,784	56,526
Meters	-	-	-	-	6,789
Lab Supplies	-	-	-	-	-
Sm Oper Supplies	1,269	1,835	6,743	10,935	11,233
Construction Material	-	-	-	-	-
Tires	-	-	-	-	-
Uniform Exp	-	-	-	-	-
Power Costs	1,324,093	1,439,763	9,734,013	9,028,533	13,308,613
Equip Pur (<\$5M)	-	-	-	-	-
Dam Claims	-	-	-	-	-
SUPPLIES (ACTUAL)	\$ 744,612	\$ 1,501,220	\$ 10,274,570	\$ 9,504,599	\$ 14,146,268
AS BUDGET	\$ 1,039,146	\$ 1,028,188	\$ 8,313,167	\$ 8,225,500	Not Applicable
% ACTUAL TO BUDGET	71.66%	146.01%	123.59%	115.55%	Not Applicable
CAPITAL OUTLAY					
Construction In Progress	\$ -	\$ -	\$ -	\$ -	\$ -
Capital Expenditures	\$ -	\$ -	\$ -	\$ -	\$ -
Depr Exp	\$ 39,791	\$ 35,503	\$ 312,567	\$ 282,764	\$ 419,639
CAPITAL OUTLAY (ACTUAL)	\$ 39,791	\$ 35,503	\$ 312,567	\$ 282,764	\$ 419,639
AS BUDGET	\$ -	\$ -	\$ -	\$ -	Not Applicable
% ACTUAL TO BUDGET	0.00%	0.00%	0.00%	0.00%	Not Applicable
FUND TRANSFERS					
Admin Alloc - Adm Exp	\$ 67,273	\$ 73,832	\$ 659,211	\$ 577,095	\$ 920,167
TRANSFER TO GF	90,356	138,488	694,957	894,020	1,253,609
TRANSFER TO CIP	-	-	-	-	-
Transfer - E&R	-	-	-	-	-
FUND TRANSFERS (ACTUAL)	\$ 157,629	\$ 212,320	\$ 1,354,168	\$ 1,471,115	\$ 2,173,776
AS BUDGET	\$ 274,472	\$ 313,677	\$ 2,195,773	\$ 2,509,415	Not Applicable
% ACTUAL TO BUDGET	57.43%	67.69%	61.67%	58.62%	Not Applicable
TOTAL EXPENSES (ACTUAL)	\$ 1,089,256	\$ 1,935,271	\$ 13,403,638	\$ 12,772,665	\$ 18,947,133
AS BUDGET	\$ 1,508,647	\$ 1,520,409	\$ 12,069,172	\$ 12,163,275	Not Applicable
% ACTUAL TO BUDGET	72.20%	127.29%	111.06%	105.01%	Not Applicable