



Planning Commission Meeting

AGENDA

Tuesday, August 15, 2023

5:30 PM

City Hall - 215 N. Broad St.

-
- I. **CALL TO ORDER**
 - II. **ROLL CALL**
 - III. **APPROVAL OF AGENDA**
 - IV. **MINUTES OF PREVIOUS MEETING**
 1. Minutes July 18, 2023
 - V. **REPORT FROM CODE ENFORCEMENT OFFICER**
 - VI. **OLD BUSINESS**
 - VII. **NEW BUSINESS**
 1. Request for Certificate of Appropriateness - 703 W. Spring St. - Site Modifications
 2. Request for Conditional Use Permit - 313 Ash St - Personal Care Home
 3. Request for Rezone - 635 James Huff Rd / Madison Ridge - R-1A to PRD
 4. Request for Preliminary Plat Approval - The Vines of Monroe - 455 Vine St
 - VIII. **ADJOURNMENT**

**MONROE PLANNING COMMISSION
MEETING MINUTES—July 18, 2023—DRAFT**

Present: Mike Eckles, Shauna Mathias, Randy Camp, Rosalind Parks, Nate Treadaway

Absent: None

Staff: Brad Callender—City Planner
Laura Wilson—Code Assistant

Visitors: Erik Houston, Bill Schmidt, Ed Lane, Casey Marbuit, Lori Volk, Bruce Hendley,
Patrick Stewart, Henry Masie

Call to Order by Chairman Eckles at 5:30 pm.

Motion to Approve the Agenda

Motion Mathias. Second Parks.
Motion carried

Chairman Eckles asked for any changes, corrections or additions to the June 20, 2023 minutes.
Motion to approve

Motion Camp. Second Treadaway
Motion carried

Chairman Eckles asked for the Code Officer’s Report: None

Old Business: None

The First Item of Business is for preliminary plat approval #2149, a request for approval of the Bell Street Subdivision Preliminary Plat. The request is for four infill lots. Had this property not gone through a minor subdivision plat in 2021, it would have been eligible for administrative approval. The two new single-family residence lots will front on Bell Street. The applicant and owner, Patrick Stewart spoke in favor of the project. Staff recommends approval as submitted.

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approved

Motion Mathias. Second Treadaway.
Motion Carried

The Second Item of Business is Certificate of Appropriateness Case #2515, a request for a COA to allow for construction of a fast-food restaurant with a drive-thru window in the Monroe Pavilion Development. It is for a Panda Express. The plan meets the requirements for the Corridor Design Overlay district. Staff recommends approval with two conditions as listed in the

staff report dated July 10, 2023. Both conditions place restrictions on lighting and signs. Erik Houston with Ingenium Enterprises, spoke in favor of the project.

Chairman Eckles: You are familiar with the two conditions?

Houston: In the end, they will be more for the sign company but yest I understand; we will meet all he conditions.

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve

Motion Parks. Second Mathias
Motion carried

The Third Item of Business is Conditional Use Permit Case #2516, a request for a conditional use permit at 113 N. Broad St. to allow retails sales of wine. The applicant proposes to retail sell bottled wine as part of a business that will also sell olive oils, olives, spices, breads, and baked goods. Wine tasting will be included as well. The business will be located in a 685-foot loft space within the Monroe Mercantile Co. building at 113 N. Broad St. Retail sales of wine and beer are Conditional Uses in the B-2 zoning district and CBD. Staff recommends approval without conditions. The applicant and business owner, Adrienne Vines spoke in favor of the project. The store will be similar to an olive oil business in Covington. Wine will not be sold by the glass; small tastings only and bottle sales. Beer will not be available.

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve

Motion Treadaway. Second Camp
Motion carried

The Fourth Item of Business is Rezone Case #2517, a request for rezone of 707 S. Madison Ave. from R-2 (Multi-family, High Density Residential District) to PRD (Planned Residential District). The subject property currently contains one single-family residence. The project is inside the Monroe and Walton Mills Historic District. The home types and changes to the existing structure have been approved by the Historic Preservation Commission. The existing structure will remain and the lot subdivided to allow four additional single-family dwellings on small lots. Each lot will be accessed from a private access drive on a common lot in the center of the development. The current zoning overlay forces the development to be done as condominium. It is more reasonable for this parcel to be developed as single-family lots. Staff recommends approval without conditions. Lori Volk and Bruce Hendley spoke in favor of the project.

Commissioner Treadaway: What is your target price point for these houses?

Volk: Barring any unusual changes in materials, we are looking at 325-350k

Commissioner Parks: When do you expect the remaining lots to be filled and completed?

Hendley: Our plan is to build two, sell them and building the remaining two.
Callender: They will have to go through the preliminary plat process once the rezone is approved. It does not require any dedication of public infrastructure; it’s just building a driveway so it should be straightforward.

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve

Motion Mathias. Second Treadaway
Motion carried

The Fifth Item of Business is Preliminary Plat Case #2518, a request for preliminary plat approval to renew a previously approved preliminary plat for a development at 961 Good Hope Rd—Brookland Commons. The previous preliminary plat was approved on July 6, 2021. The previous plat has expired which is the basis for this request. The project consists of 98 single-family detached residential lots and 44 single-family attached townhome lots for a total of 142 units. There are no changes to the previously approved preliminary plat except to remove the phasing component. Staff recommends approval without conditions. Ed Lane from Smith Planning Group spoke in favor of the project. Once the LDP is reissued the project development can be completed and a final plat submitted.

Chairman Eckles: Do you expect to start construction within six months?
Lane: Yes, absolutely

Commissioner Treadaway: What do you expect the price point to be on these homes?
Bill Schmidt (McKinley Homes): 350s or 400s

Commissioner Parks: What is the minimum square footage?
Schmidt: The minimum is 1600 but the townhome will be 1800 and the houses around 2000

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve

Motion Treadaway. Second Mathias
Motion carried

The Sixth Item of Business is Zoning Text Amendment #17—see summary of changes below; Staff recommends approval without changes.

- Proposed amendments for Sections 520, 530, 610, 643, 644 are deferred to a future amendment due to a year-long review of land use and the potential to switch to a form-based code
- Section 620.3, Table 5—add land uses related to alcohol, brewpubs, breweries, and distilleries; add tattoo parlor as an allowed land use

- Section 630.3, Table 6—add land uses related to alcohol, brewpubs, breweries, and distilleries; removed general category of residential
- Section 643A.2(1)(c)(vii)—modify materials permitted on structures in the Corridor Design Overlay District to allow E.I.F.S. siding
- Section 645—Modify the garage requirement in Section 645.5 (6) of the Infill Overallly District to match the requirement in Section 910.1
- Section 646.3, Table 8—to modify and add land uses related to alcohol, brewpubs, breweries, and distilleries; add tattoo parlor as an allowed land use
- Section 820—Amend language for development types; if the development is five lots or less a planned district will not be required
- Section 1000—Modify language to grant the ability for all single-family dwellings in the City to be eligible for an accessory dwelling or apartment regardless of the underlying zoning.

Chairman Eckles: Anyone else here to speak in for or against this amendment? None

Motion to approve

Motion Camp. Second Mathias
Motion carried

The Seventh Item of Business is Development Regulations Update #7—see summary of changes below; Staff recommends approval without changes.

- Proposed amendments for Section 4.2.4—Amend Development Permit language to extend expiration of valid land disturbance permits and to clarify when development permits expire
 - Applicants will have 18 months to complete a project; if the project is not started in 6 months or period of 45 days with no development—the permit will expire
 - If not finished within 18 months, will have to resubmit the preliminary plat

Commissioner Treadaway: A developer could reapply for a permit in month 17 or would they have to wait until month 18?

Callender: The preliminary plat expiration hinges on the LDP expiration; they expire together. The only way we can issue an LDP is if they have an active preliminary plat. If the applicant has submitted a final plat, the LDP can expire

Chairman Eckles: Anyone else here to speak in for or against this amendment? None

Motion to approve

Motion Treadaway. Second Mathias
Motion carried

Chairman Eckles entertained a motion to adjourn.

Motion to adjourn

Motion Treadaway. Second Camp
Meeting adjourned; 6:08pm



**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 2557

DATE: August 9, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Monroe Ace Hardware

PROPERTY OWNER: RJV Corp c/o Walgreen Co

LOCATION: Southeast corner of W. Spring Street and Pinecrest Drive – 703 W. Spring St.

ACREAGE: ±1.57

EXISTING ZONING: B-1 (Neighborhood Commercial District)

EXISTING LAND USE: Hardware store with associated parking and accessory uses

ACTION REQUESTED: The applicant is requesting approval of a Certificate of Appropriateness application in order to modify the existing site to allow for additional accessory uses and features.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness as submitted without conditions.

DATE OF SCHEDULED MEETING

PLANNING COMMISSION: August 15, 2023

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to modify the existing site to allow for additional accessory uses and features. The applicant proposes to reduce existing parking spaces to accommodate a shaded, outdoor platform for outdoor sales. The applicant also proposes to add a propane tank, outdoor sales of materials, and storage of propane, pine straws, pallets, and other materials related to the hardware business.

PROPOSED PROJECT SUMMARY:

- Modify existing site to allow for accessory uses and features
 - Propane Tank – outdoor
 - Pallet Rack Storage – storage at rear of building for storing outdoor materials
 - Pine Straw Storage – 18-Wheel Trailer for storage of pine straw
 - Enclosed Storage – existing drive-through to be enclosed and screened to allow for storage of products

- Shaded Outdoor Platform – 16’X48” shaded, elevated wooden platform for outdoor sales of plants and seasonal materials
- Outdoor Materials Pallets – bulk outdoor materials storage
- Existing parking on the site reduced from 69 spaces to 45 to accommodate the accessory and outdoor features

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 – Site Planning:

The site contains an existing commercial building originally constructed as a pharmacy but has now been renovated to accommodate the current hardware store. The applicant is requesting to add a number of accessory features on the site. The changes to the existing site appears to meet the general intent of the Site Planning Requirements in Section 643A.1(1) of the Zoning Ordinance.

643A.2 – Architecture:

The proposed outdoor storage under the existing drive-through will need to be screened as proposed by the applicant. Currently, a metal storage container is located under the drive-through and the applicant proposes to enclose the drive-through with structural screening. As long as the outdoor storage is enclosed as the applicant describes, the changes to the building appears to meet the intent of the Architecture Requirements in Section 643A.2 of the Zoning Ordinance.

643A.3 – Pavement:

The existing parking lot will have reduced parking spaces as a result of the added outdoor accessory features. The reduction in parking does not affect compliance with the parking regulations as the site is currently over parked. The reduction in parking will also enhance compliance with the intent of general and area specific criteria for Pavement outlined in Section 643A.3 of the Zoning Ordinance.

643A.4 – Landscaping:

This standard is not affected by this request.

643A.5 – Signs:

This standard is not affected by this request.

643A.6 – Illumination:

This standard is not affected by this request.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to allow for the outdoor accessory features described in this request as submitted without conditions.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

PLANNING & ZONING COA PERMIT

PERMIT #:	2557	DESCRIPTION:	COA-PLANNING & ZONING
JOB ADDRESS:	703 W SPRING ST	LOT #:	
PARCEL ID:	M0060296	BLK #:	
SUBDIVISION:		ZONING:	B-1
ISSUED TO:	MONROE ACE HARDWARE	CONTRACTOR:	MONROE ACE HARDWARE
ADDRESS:	703 W SPRING ST	PHONE:	
CITY, STATE ZIP:	MONROE GA 30655	OWNER:	
PHONE:	770-757-9770 OWNER	PHONE:	
PROP. USE:	COMMERCIAL	DATE ISSUED:	7/19/2023
VALUATION:	\$ 0.00	EXPIRATION:	1/15/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
FEE TOTAL		\$ 100.00
PAYMENTS		\$ -100.00
BALANCE		\$ 0.00

NOTES:

NOTICE

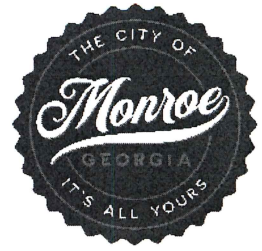
THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Sam E. Main

(APPROVED BY)

7/19/23
DATE



Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 703 W. Spring Str. Parcel # MOD60296

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction, Renovation of Existing Structure, Demolition, Signage

Property Owner: RJV Corp

Address: 1842 Independence Sq. Ste C Atlanta 30338

Telephone Number: 770-455-3163 Email Address: stan@atlantafsm.com

Applicant: Monroe Ace Hardware

Address: 703 W. Spring Str.

Telephone Number: 470-970-4223 Email Address: monroacehardware@gmail.com

Estimated cost of project: _____

Please submit the following items with your application:

- Photographs of existing condition of the property to show all areas affected
- Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- Written description of the project
- Owner authorization statement, if applicant is not the property owner
- Application Fee \$100

RECEIVED
2557

Please submit all application materials in hardcopy to the Code Department and digitally at lwilson@monroega.gov; Please submit two physical copies.

[Signature]
Signature of Applicant

7/6/23
Date

Certificate of Appropriateness Application

Description of the project information

1. Propane tank
 - a. Propane tank is located on drive-thru side of Monroe Ace. It has been installed and approved by State Fire Marshall.
2. Pallet rack storage
 - a. Pallet rack storage is located in rear of building along the retaining wall for additional storage of outdoor materials
3. Pine straw
 - a. 18-wheel trailer is being used on the side of the building for storage for the sale of pine straw
4. Drive through storage – 12ft x 24ft
 - a. A permanent screen will be built using 2x4s and plywood across the front of the drive through area facing W Spring Street.
5. Outdoor platform and shade cloth
 - a. A 16ft x 48ft platform has been installed and temporarily permitted by Logan Probes, 2/21/2023, for the sale of plants and other products
 - b. This area includes a shade cloth that does not impede any sightlines as required
6. Outdoor materials pallets
 - a. Outdoor materials are stacked on pallets and placed within this section for customer purchase and pickup

Property contains a total of 69 parking spaces of which 45 are unused and available for employees and customers.

PROPANE TANK



PALLET RACK STORAGE



PINE STRAW TRAILER



DRIVE THROUGH STORAGE



OUTDOOR PLATFORM AND SHADE CLOTH



OUTDOOR MATERIALS PALLETS

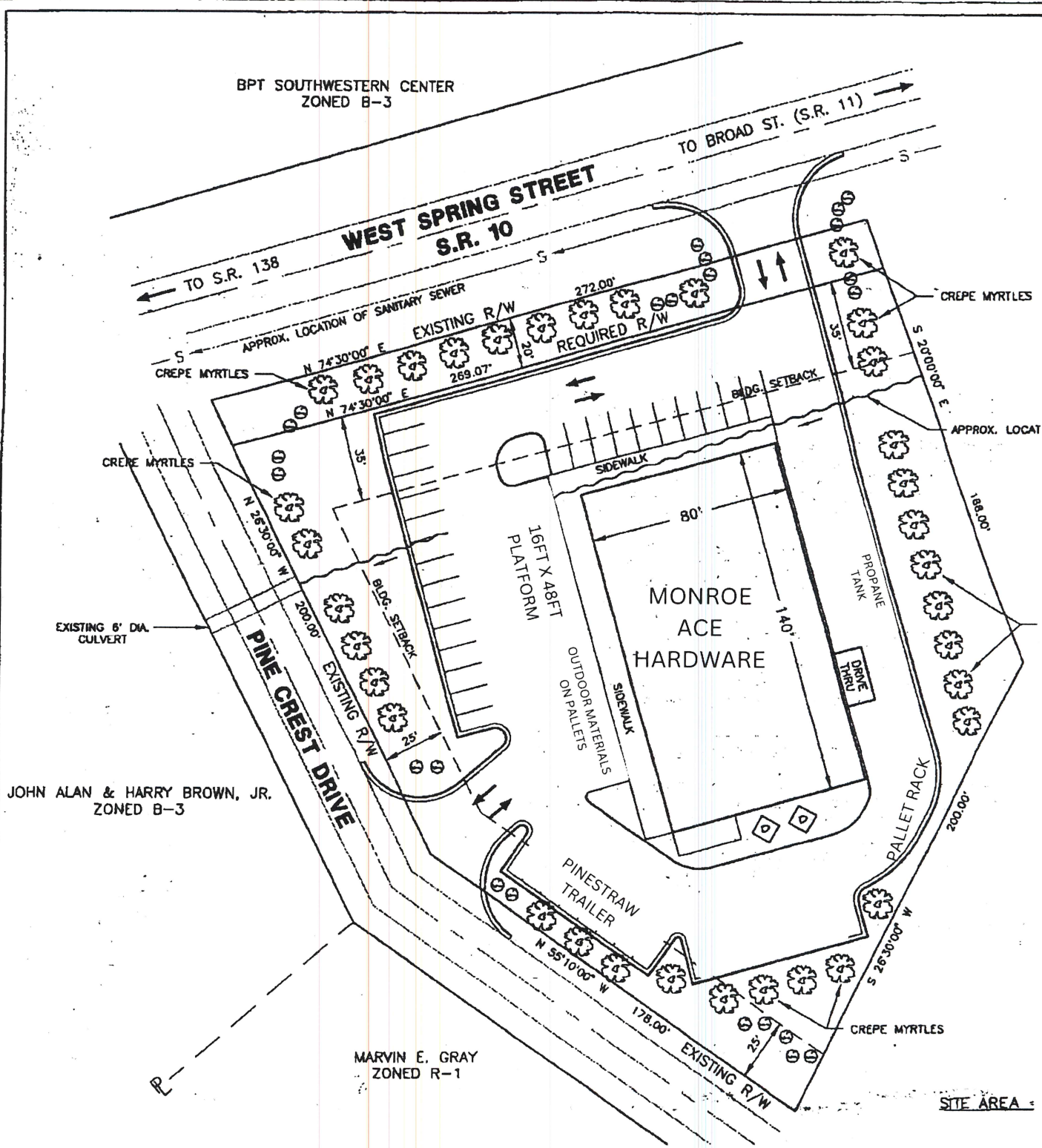


GARDEN PLATFORM WITH SHADE CLOTH



STORAGE UNIT – LOCATED IN DRIVE-THRU





REVISIONS		
DATE	BY	DESCRIPTION



PRECISION PLANNING, INC.
 CONSULTING PLANNERS, ENGINEERS, ARCHITECTS & SURVEYORS
 400 PIKE BOULEVARD P.O. BOX 2210
 LAWRENCEVILLE, GEORGIA 30246
 (770) 338-8000 (FAX) (770) 822-5990

DESIGNED: _____
 DRAWN BY: _____
 CHECKED: _____



**Planning
City of Monroe, Georgia
CONDITIONAL USE STAFF REPORT**

APPLICATION SUMMARY

CONDITIONAL USE CASE #: 2558

DATE: August 9, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Nikeisha Titus Witter

PROPERTY OWNER: Nikeisha Titus Witter

LOCATION: East side of Ash Street – 313 Ash Street

ACREAGE: ±0.15

EXISTING ZONING: R-1A (Medium Lot Residential District)

EXISTING LAND USE: Single-family residence

REQUEST SUMMARY: The owner is petitioning for Conditional Use approval on this property in order to establish a personal care home.

STAFF RECOMMENDATION: Staff recommends denial of this Conditional Use request.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: August 15, 2023

CITY COUNCIL: September 12, 2023

REQUEST SUMMARY

CONDITIONAL USE PERMIT REQUEST SUMMARY:

The applicant is requesting approval of a Conditional Use in order to convert an existing single-family residence into a Family Personal Care Home. The subject property is currently zoned R-1A (Medium Lot Residential District). The site contains a single-family residence constructed in 1940. The subject property has a shared driveway with the property abutting the northern boundary. Family Personal Care Homes are allowed in the R-1A zoning district as Conditional Uses. Per the Zoning Ordinance definition, a Family Personal Care Home is conducted in a family residence setting, non-institutional in character, which provides care to two (2) through six (6) persons. The applicant’s narrative states the intent is to provide a personal care/assisted facility home for the elderly and those with disability. The applicant proposes to have 24-hour oversight and care with two (2) full-time employees for five (5) occupants.

PROPOSED PROJECT SUMMARY:

- Land Use Conversion – Single-Family Residence into a Family Personal Care Home
 - Site Area – ±0.15 Acres (6,534 Sf)
 - Existing Building Floor Area – ±1,272 Sf
 - Personal Care Home Type - Family
 - Per the Zoning Ordinance definition, a Family Personal Care Home is conducted in a family residence setting, non-institutional in character, which provides care to two (2) through six (6) persons
 - Proposed Family Personal Care Home Capacity
 - 5 residents
 - 2 full-time employees

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR CONDITIONAL USE APPLICATION DECISIONS” AS SET FORTH IN SECTION 1425.5 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) **The proposed use will not be detrimental to adjacent properties or the general neighborhood, the proposed use will not significantly adversely affect public health, safety, morality and welfare, and the proposed use as designed will minimize adverse effects on the surrounding neighborhood:** If operated properly and within the intent of the Zoning Ordinance, a Family Personal Care Home should be not detrimental to adjacent properties or the general neighborhood. Family Personal Care Homes are required to retain a residential character. In other words, a Family Personal Care Home should not be differentiated in residential character from other residential dwellings. The subject property for this Family Personal Care Home shares a driveway with an adjoining property and parking is limited for both properties. This factor could negatively impact the adjoining property with an increased need to provide parking for vehicles at the Family Personal Care Home.
- (2) **The applicable standards in Article X have been met:** There are no standards applicable to Personal Care Homes in Article X of the Zoning Ordinance.
- (3) **The proposed use is consistent with the Comprehensive Plan, and the conditional use is compatible with the community development pattern:** The subject property is located in the East Sub-Area as identified in the Monroe Comprehensive Plan. The existing character of this vicinity of the East Sub-Area is predominantly residential. The requested Conditional Use does not conflict with the land use goals for the sub-area.
- (4) **A rezoning to allow the requested use as a permitted use would not be appropriate:** Rezoning the property to a zoning district where the use would be allowed by right requires rezoning to a B zoning district. With this property located well inside an established neighborhood, a rezone to a B or commercial district would be inappropriate.
- (5) **The proposed use will not be injurious to the natural environment or the other property in the immediate vicinity, or unconstitutionally diminish property values within the surrounding neighborhood:** The conversion of the existing single-family residence to a Family Personal Care Home should generally not be injurious to the natural environment or other property if operated

in the manner intended by the Zoning Ordinance. As noted below, the adjacent property could be negatively impacted due to use of a shared driveway.

- (6) **Off-street parking and loading, and access thereto, will be adequate:** The subject property currently has a shared driveway with the adjoining property, 311 Ash Street. There is limited parking for both properties, with a maximum potential for only two cars to be parked at each property. At the time of this report, staff has been contacted by the neighboring property owner at 311 Ash Street. The neighboring property owner has indicated that no agreement has been established for joint use of the driveway to convert the residence to a personal care home. With the potential for additional parking needs at the personal care home, staff has concerns regarding the limited ability to park additional cars and negatively impacting the adjoining property by use of a limited shared driveway including the potential for spill over parking onto the street.
- (7) **Public facilities and utilities are capable of adequately serving the proposed use, and the use would not lead to a major negative change in existing levels of public service, or fiscal stability:** Public services and utilities are currently serving the existing single-family residence. The conversion from a single-family residence to a family personal care home should not have any impact on the City’s abilities to continue to provide public services and utilities.
- (8) **The use will not be an extension of a use which will cause a damaging volume of (a) agricultural, (b) commercial, (c) industrial, or (d) higher density residential use into a stable neighborhood of well-maintained single-family homes, nor likely lead to decreasing surrounding property values, neighborhood deterioration, spreading of blight, or additional requests of a similar nature which would expand the problem:** There are no other Personal Care Homes in this block of Ash Street. If approved, this would be the first use of that type in this neighborhood. Family personal care homes are intended to be located in a residence and maintain a residential character. Due to limited available parking, the adjacent property sharing a driveway with the subject property could be negatively impacted by an increase in parking additional vehicles for employees, residences, and visitors of the residences.
- (9) **The use would not significantly increase congestion, noise, or traffic hazards:** The use of Family Personal Care Home itself may not significantly increase congestion or noise generally. The use could negatively create a problem for traffic due to insufficient parking on the site and overflow parking occurring along Ash Street.
- (10) **Granting this request would not have a “domino effect,” in that it becomes the opening wedge for further rapid growth, urbanization or other land-use change beyond what is indicated in the Comprehensive Plan:** Family Personal Care Homes are allowed as Conditional Uses in the R-1A zoning district. By definition, the character of the residence where a Family Personal Care Home is located should be indistinguishable from other adjoining residences.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends *denial* of the requested Conditional Use. However, if the Conditional Use is approved, staff does not propose any conditions.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

CONDITIONAL USE PERMIT

PERMIT #:	2558	DESCRIPTION:	CONDITIONAL USE PERSONAL CARE HOME
JOB ADDRESS:	313 ASH ST	LOT #:	
PARCEL ID:	M0170024	BLK #:	
SUBDIVISION:		ZONING:	R-1A
ISSUED TO:	NIKEISHA WITTER	CONTRACTOR:	NIKEISHA WITTER
ADDRESS:	45 Hanley Mill Dr	PHONE:	
CITY, STATE ZIP:	Covington GA 30016	OWNER:	
PHONE:		PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	7/19/2023
VALUATION:	\$ 0.00	EXPIRATION:	1/15/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-09	CONDITIONAL USE PERMIT	\$ 300.00
FEE TOTAL		\$ 300.00
PAYMENTS		\$ -300.00
BALANCE		\$ 0.00

NOTES:

NOTICE

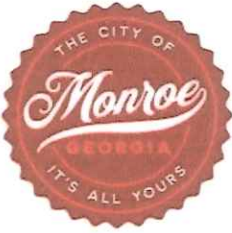
THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Ann E Wain
(APPROVED BY)

7/19/23
DATE

RECEIVED
2558



CITY OF MONROE

CONDITIONAL USE APPLICATION

CONDITIONAL USE LOCATION & DESCRIPTION

Address: 313 Ash Street Monroe GA 30655

Parcel #: MD170024 Council Districts: 8 / 3

Zoning: R1A Acreage/Square Feet: 0.15/1272

Type of Conditional Use Requested: Personal care home

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Nikeisha Titus Witter Phone #: 6788967971

Address: 45 Hanley Mill Drive City: Covington State: GA Zip: 30016

Applicant (If different than owner): _____ Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

CONDITIONAL USE INFORMATION

Describe the nature of the proposed use, including without limitation the type of activity proposed, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters (1425.1(1)(b)): This personal care home will provide support to residence with activities of daily living such as bathing, dressing, eating and medication management.

Five occupants plus two full employees that will provide twenty four hour care.

Residence are provided daily transportation services inclusive into the community.

Utilities services will be provided by the home owner through the City of Monroe.

Describe the location of the proposed structure(s) or use(s) and its relationship to existing adjacent uses or structures, and use of adjacent properties (1412.1(1)(c)): The personal care home is in a residential neighborhood and will maintain its integrity, it will not affect the values of the surrounding structures.

CONDITIONAL USE INFORMATION CONT.

Describe the area, dimensions and details of the proposed structure(s) or uses(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways (1425.1(1)(d)): The personal care home will be in a residential traditional structure, open parking space on property

and standard land scape with are beautification. The home is located on 0.15 acres 12 hundred and 72 square feet of livable space.

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(e)):

- City Water
- Private Well
- City Sewer
- Septic Tank
- Electrical
- Gas
- Telecom

REQUIRED SUBMITTAL ITEMS

- Completed Application
- Site Plan; Drawn to scale
- Fee (see Fee Schedule)
- Deed
- Survey Plat
- Proof of all property taxes paid in full
- Typed Detailed Description of the Request
- Other information as required by Code Enforcement

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: [Signature] DATE: 06/28/23

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

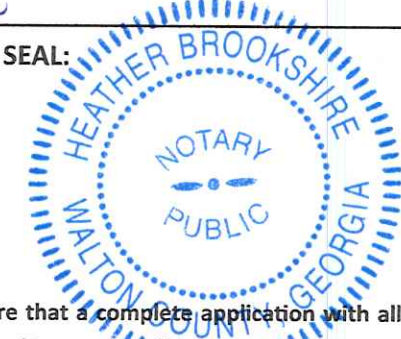
SIGNATURE: _____ DATE: _____

NOTARY PUBLIC: Heather Brookshire

SWORN TO AND SUBSCRIBED BEFORE THIS 28 DAY OF June, 2023

NOTARY SIGNATURE: Heather Brookshire

DATE: 6-28-23



It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.

Nikeisha Titus Witter
45 Hanley Mill Drive
Covington GA 30016

June 26, 2023

To whom it may concern:

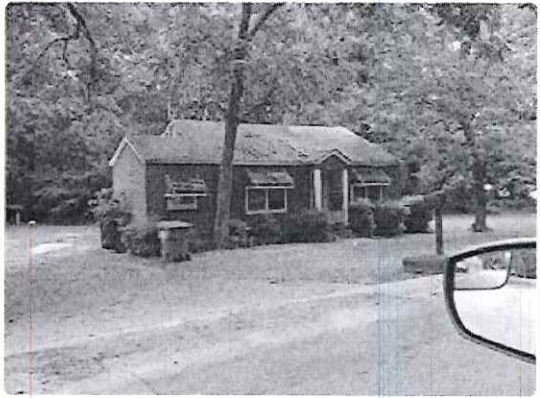
The property located at 313 Ash Street will be used for a personal care/assisted facility home for the elderly and those with disability. They will be given personal care in a residential setting; the facility will provide twenty-hour oversight care. Staff is available twenty-four/seven to help with safety care and support.

Medication management and assistance will be provided with going to bathrooms, dressing, and grooming. Housing, meals, laundry and transportation services as well as social programs and activities included.

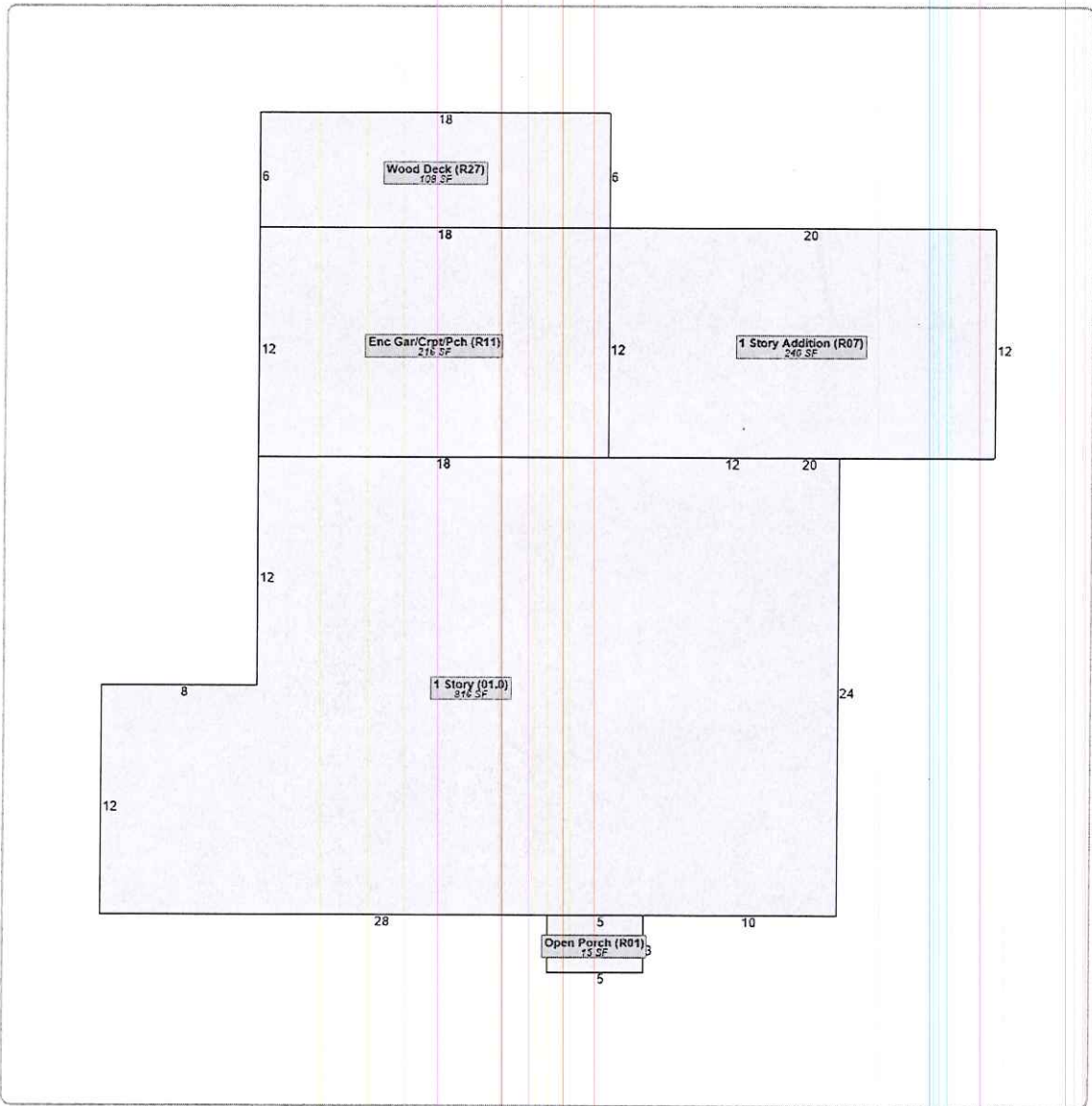
Residents will be assessed when they move in, so they can get an individualized service plan to meet specific needs and make their care truly personal.

Your Truly

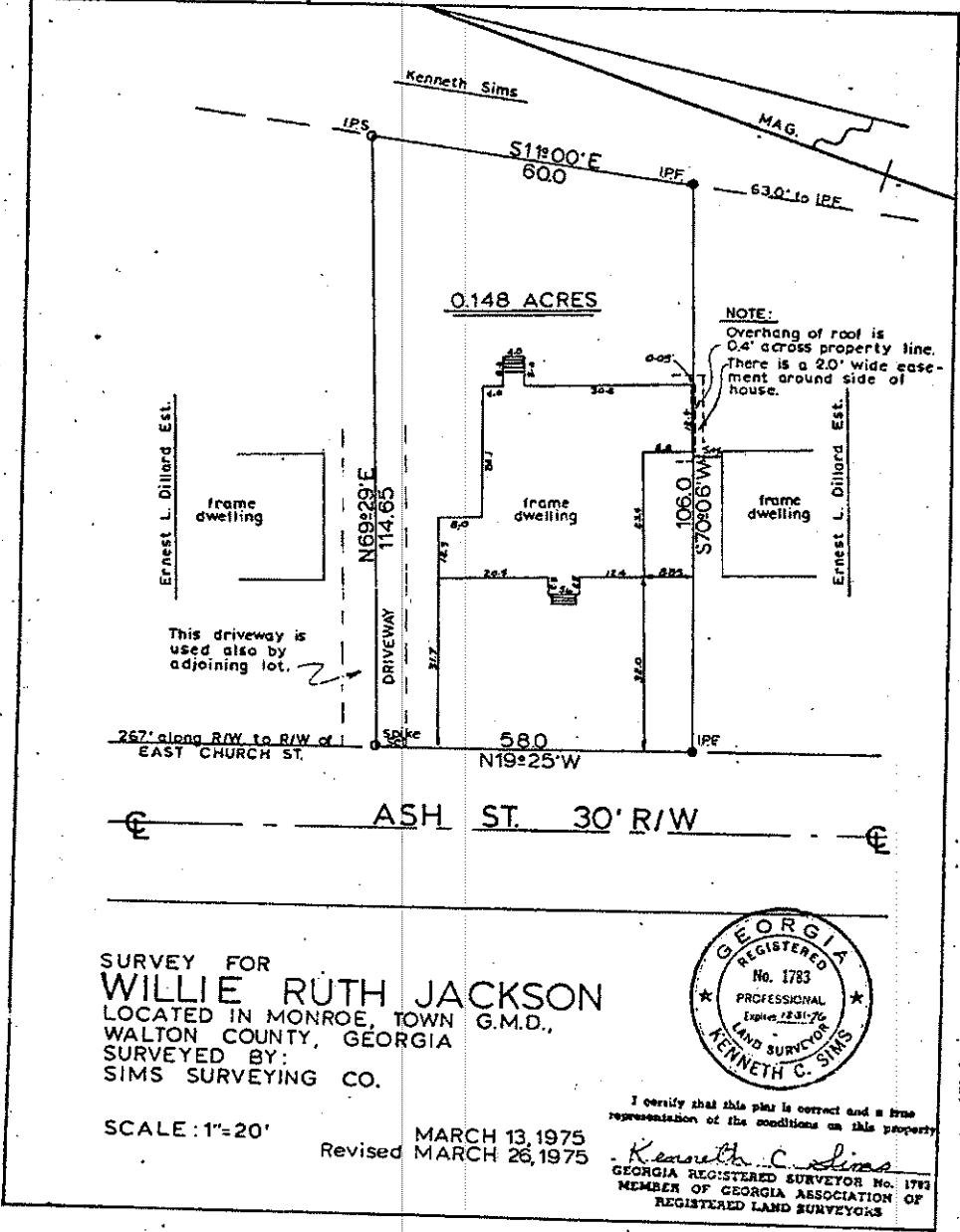
Nikeisha Titus Witter



Sketches



No data available for the following modules: Rural Land, Commercial Improvement Information, Manufactured Homes, Accessory Information, Prebill Mobile Homes.



RECORDED: *April 2, 1975*
 THOMAS S. BATCHELOR, CLERK

Laura Wilson

From: Pam Hendricks <pahendricks66@yahoo.com>
Sent: Sunday, August 13, 2023 11:28 PM
To: Laura Wilson
Subject: Application refusal

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

August 11, 2023

To whom it may concern:

The Planning Commission is scheduled an application for conditional use approval at 313 Ash Street for a personal care home. We, the adjacent property owners, are speaking against the request for the personal care home (family). We are against it for the following reasons: We wasn't properly notified that someone wanted to convert a residential home to a personal care home, the houses share the same driveway, too close to each other, insufficient parking for visitation, property value decrease, a potential buyer could be uninterested to reside next to the personal care home, increase in property taxes, possibility of being rezoned, no businesses only residential and can't enjoy living an adequate life.

We aren't able to attend the public hearing but would like for this letter to be accepted in our absent. Therefore we are against the request.

Sincerely
Pamela Hendricks

Sent from my iPad



**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 2559

DATE: August 9, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Madison Ridge Land LLC

PROPERTY OWNER: Madison Ridge Land LLC

LOCATION: East side of James Huff Road and the south side of Old Athens Hwy – 635 James Huff Rd.

ACREAGE: ±49.03

EXISTING ZONING: R-1A (Medium Lot Residential District)

EXISTING LAND USE: Single-family dwelling and accessory buildings

ACTION REQUESTED: Rezone R-1A to PRD (Planned Residential District)

REQUEST SUMMARY: The owner is petitioning for a rezone in order to develop the property for a single-family detached residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request with conditions.

DATES OF SCHEDULED MEETINGS

PLANNING COMMISSION: August 15, 2023

CITY COUNCIL: September 12, 2023

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone from R-1A (Medium Lot Residential District) to PRD (Planned Residential District) in order to develop a single-family detached residential subdivision. The basis for this rezone is to comply with Section 820 of the Zoning Ordinance requiring all new single-family residential development be rezoned to a planned district. The subject property was annexed into the City on June 13, 2006 and zoned to R-1A. The subject property currently contains one single-family residence. County tax records indicate the existing residence was constructed in 1962. The existing single-family dwelling will be razed for the new development. The applicant proposes to develop the site with 129 single-family detached residential lots and an amenity area.

PROPOSED PROJECT AMENDMENT SUMMARY:

- Rezone – Planned Residential Development
 - Site Area – ±49.03 Acres

- Proposed Lots – 129; minimum lot sizes will be ±8,000 Sf abutting public streets and landscaped areas and the remaining minimum lot sizes will be ±10,000 Sf
- Dwelling Sizes – min. ±1,500 Sf
- Architecture – no architectural examples were provided in the request; the applicant proposes the default design for single-family dwellings will be built in accordance with the requirements of Section 910 of the Zoning Ordinance

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The subject property is currently zoned R-1A (Medium Lot Residential District). The subject property has been zoned R-1A since annexation into the City on June 13, 2006. A single-family residence has been on the property since 1962. The basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district.

- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to PRD (Planned Residential District) to develop the property for 129 single-family detached residential dwellings.

- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** All of the properties surrounding the site are unincorporated Walton County and contain single-family residences on medium sized properties. The original intent to develop the property as a single-family residential subdivision remains unchanged from the original annexation into the City in 2006. The primary basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district. The submitted pattern book for the rezone request does not propose any landscaping details for the landscape buffer adjacent to the public roadways. In order to minimize the visual impacts of the backs of homes facing the existing roadways, staff has included conditions regarding the minimum lot sizes in those locations as well as minimum landscape standards to include in the landscape buffer.

- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted development plan illustrates a single-family residential subdivision with a network of streets connected to existing streets adjacent to the development. Two entrances are proposed into the development with one entrance off James Huff Road and one entrance off Old Athens Highway. Additional traffic will be generated by the development with increased vehicular trips. A traffic study was not submitted with this rezone request. With the exception of approximately 250 feet of frontage on Janes Huff Road, the roadways are under the authority of Walton County. Sanitary sewer, water, natural gas

and telecommunications are available to serve the development. At the time of this report, sanitary sewer and water services infrastructure do not require upgrades to the serve the proposed development. Due to the location of the property at the City's edge and accessed through mostly unincorporated areas, fire and police response times to the development will be prolonged. Additional City services should be adequate to serve the proposed development.

(5) Whether the zoning proposal is consistent with the Comprehensive Plan: The subject property is located in the North Sub-Area as identified in the Monroe Comprehensive Plan. The existing character of this vicinity of the North Sub-Area is predominantly undeveloped with single-family residential and limited non-residential uses near Hwy 78. The future character of this sub-area will be predominantly single-family residential. The proposed rezone to develop the property for a single-family residential subdivision meets the intent of the goals of the Comprehensive Plan.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: The underlying basis for this rezone request is to comply with the requirement to rezone all new single-family residential development to a planned district.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone to allow for the development of the property for a single-family residential subdivision and that it be subject to the following conditions:

1. The minimum lot size in the development shall be 10,000 Sf.
2. The landscape buffer planting scheme shall be subject to the approval of the Planning & Zoning Director at the time of Preliminary Plat approval. The landscape buffer shall include at a minimum:
 - a. An earthen berm no less than 6 feet in height and a maximum slope of 50 percent.
 - b. Tree plantings with a density of one tree every planted every 40 feet of linear distance within the landscape buffer. Trees shall be a minimum of 2-inch caliper and 6-feet in height at the time of planting.
 - c. Evergreen plant material in the form of large and small shrubs staggered throughout the landscape buffer.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE PERMIT

PERMIT #:	2559	DESCRIPTION:	Rezone from R-1A to PRD
JOB ADDRESS:	635 JAMES HUFF RD	LOT #:	
PARCEL ID:	M0220001	BLK #:	
SUBDIVISION:		ZONING:	R-1A
ISSUED TO:	MADISON RIDGE LAND LLC	CONTRACTOR:	MADISON RIDGE LAND LLC
ADDRESS:	PO Box 1796	PHONE:	
CITY, STATE ZIP:	Monroe GA 30655	OWNER:	
PHONE:		PHONE:	
PROP. USE:	RESIDENTIAL	DATE ISSUED:	7/19/2023
VALUATION:	\$ 0.00	EXPIRATION:	1/15/2024
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-08	REZONE TO PLANNED DISTRICT	\$ 600.00
FEE TOTAL		\$ 600.00
PAYMENTS		\$ -600.00
BALANCE		\$ 0.00

NOTES:

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



 (APPROVED BY)

7/19/23
 DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00539093

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 7/19/2023 2:46:30 PM

33

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference:

Name: MADISON RIDGE LAND LLC \$600.00

Total Balance Due: \$600.00

Amount: \$600.00

Total Payment Received: \$600.00

Change: \$0.00



CITY OF MONROE REZONE APPLICATION

RECEIVED
#2559

REZONE LOCATION & DESCRIPTION

Address (or physical location): 635 James Huff Rd Monroe, GA 30655

Parcel #(s): M0220001

Acreage/Square Feet: 49.03 Council Districts: 24 / 78

Existing Zoning: R1A Proposed Zoning: PRD

Existing Use: Undeveloped

Proposed Use: Residential subdivision

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Madison Ridge Land LLC Phone #: 678-670-1222

Address: PO Box 1796 City: Monroe State: GA Zip: 30655

Applicant (if different than owner): N/A Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

REZONE INFORMATION

Describe the current zoning of the subject property and abutting properties. Describe all existing uses on abutting properties (1421.4(2)(c)): _____

The current zoning of the property is R1A. The property is bounded to the north by Old Athens Highway. The property is bounded to the east by properties in unincorporated Walton County in the Hunters Crossing subdivision which is zoned R1. The property is bounded to the south by a single residential property in unincorporated Walton County zoned A2. The property is bounded to the west by James Huff Road and two residential parcels in unincorporated Walton County zoned A2.

Provide a statement explaining the intent of the requested zoning change, the proposed use, and any special or unusual parts of the rezoning request (1412.4(2)(d)): _____

The applicant is requesting zoning to PRD largely consistent within the existing zoning and character of R1A. The proposed use is a residential subdivision.

REZONE INFORMATION CONT.

Describe the suitability for development under the existing zoning vs. the proposed zoning. Describe all existing uses and structures (1421.4(2)(e)): The property is currently undeveloped. The existing zoning is R1A
and the proposed PRD zoning request is consistent with the existing zoning.

Describe the duration of vacancy or non-use if the property is vacant and unused at the time the application is submitted (1421.4(2)(f)): The property is undeveloped at this time.

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(k)):

- City Water
- Private Well
- City Sewer
- Septic Tank
- Electrical
- Gas
- Telecom

REQUIRED SUBMITTAL ITEMS (1421.4(2))

SELECT THE APPLICABLE ITEMS FOR THE REQUEST

- Completed Application
- Fee (see Fee Schedule)
- Typed Legal Description
- Typed Detailed Description of the Request
- Survey Plat
- Deed
- Proof of all property taxes paid in full
- Site Plan

Drawn to scale, showing the following:

- Proposed Uses/Buildings
- Proposed Improvement Information
- Parking
- Traffic Circulation
- Landscaping/Buffers
- Stormwater/Detention Structures
- Amenities

Commercial & Industrial Rezoning Site Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum Gross Square Footage of Structures
- Minimum Square Footage of Landscaped Area
- Maximum Structure Height
- Minimum Square Footage of Parking & Drives
- Proposed Number of Parking Spaces
- Required Buffers

Residential Rezoning Sites Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum # of Dwelling Units/Lots
- Maximum Structure Height
- Minimum Square Footage of Dwellings
- Minimum Lot Size
- Maximum Lot Coverage
- Maximum Structure Height
- Location of Amenities
- Required Buffers

For Planned Districts, the applicant must submit a pattern book for review before submitting any rezoning application. Any submittal of a rezone application for a Planned District which has not undergone a preliminary review by staff will be considered incomplete. The pattern book and rezoning site plan shall include all of the applicable items listed above as well as any identified by staff during the preliminary review process:

- Pattern Book Review Completed
- Other Items as identified as required by the Code Enforcement Officer

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: [Signature] DATE: 4/8/23

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

SIGNATURE: _____ DATE: _____

NOTARY PUBLIC:

SWORN TO AND SUBSCRIBED BEFORE THIS _____ DAY OF _____, 20_____

NOTARY SIGNATURE: _____

DATE: _____

SEAL:

It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.

Land Description

James Huff Road – Tract 1

All that tract or parcel of land lying and being in City of Monroe Land Lots 130 and 131 of the 3rd Land District of Walton County Georgia containing 49.00 acres more or less, as shown in a survey prepared by Blue Landworks LLC and being more particularly described as follows:

Beginning at an iron pin found (1/2" rebar) being on the Northeastern margin of James Huff Road (80' R/W) and having a State Plane Coordinate of N:1390101.19 E:2443003.23 Georgia West Zone. Said 1/2" Rebar being the **True Point of Beginning**.

Thence 761.47 feet along the arc of a curve to the right having a radius of 24161.92 feet and chord bearing and distance of North 31 degrees 55 minutes 39 seconds West 761.44 feet to an iron pin set (1/2" Rebar w/ cap);

Thence departing said margin North 59 degrees 29 minutes 44 seconds East 208.71 feet to an iron pin set (1/2" Rebar w/ cap);

Thence North 30 degrees 37 minutes 53 seconds West 424.50 feet to an iron pin set (1/2" Rebar w/ cap) said pin being on the Southeastern margin of Old Athens Hwy (70' R/W);

Thence North 40 degrees 05 minutes 42 seconds East 337.43 feet to a point;

Thence North 38 degrees 47 minutes 04 seconds East 255.61 feet to a point;

Thence 325.21 feet along the arc of a curve to the left having a radius of 875.51 feet and chord bearing and distance of North 29 degrees 28 minutes 03 seconds East 323.34 feet to a point;

Thence North 20 degrees 05 minutes 52 seconds East 116.56 feet to a point;

Thence North 18 degrees 10 minutes 00 seconds East 134.23 feet to an iron pin found (Axle);

Thence departing said margin along the centerline of a creek the following courses and distances.

South 81 degrees 07 minutes 15 seconds East 30.57 feet to a point;

Thence North 30 degrees 45 minutes 35 seconds East 17.56 feet to a point;

Thence South 83 degrees 15 minutes 21 seconds East 38.98 feet to a point;

Thence South 33 degrees 31 minutes 38 seconds East 29.19 feet to a point;

Thence North 82 degrees 53 minutes 40 seconds East 62.04 feet to a point;

Thence South 33 degrees 59 minutes 17 seconds East 41.80 feet to a point;

Thence South 41 degrees 22 minutes 39 seconds East 41.66 feet to a point;

Thence South 48 degrees 04 minutes 32 seconds East 38.75 feet to a point;

Thence South 68 degrees 46 minutes 17 seconds East 83.88 feet to a point;

Thence South 48 degrees 43 minutes 30 seconds East 132.35 feet to a point;

Thence South 55 degrees 44 minutes 39 seconds East 111.92 feet to a point;

Thence South 60 degrees 07 minutes 21 seconds East 47.70 feet to a point;

Thence South 52 degrees 08 minutes 29 seconds East 128.73 feet to a point;

Thence South 32 degrees 43 minutes 57 seconds East 26.86 feet to a point;

Thence South 63 degrees 47 minutes 29 seconds East 61.63 feet to a point;

Thence South 39 degrees 13 minutes 07 seconds East 29.35 feet to a point;

Thence South 63 degrees 38 minutes 16 seconds East 42.94 feet to a point;

Thence South 12 degrees 00 minutes 45 seconds West 41.03 feet to a point;

Thence South 27 degrees 38 minutes 09 seconds East 65.64 feet to a point;

Thence South 26 degrees 50 minutes 35 seconds East 54.95 feet to a point;

Thence South 37 degrees 37 minutes 13 seconds East 23.63 feet to a point;

Thence South 26 degrees 11 minutes 59 seconds East 61.85 feet to a point;

Thence South 69 degrees 12 minutes 50 seconds East 40.29 feet to a point;

Thence South 04 degrees 59 minutes 32 seconds East 45.19 feet to a point;

Thence South 29 degrees 49 minutes 38 seconds East 50.10 feet to a point;

Thence South 38 degrees 42 minutes 00 seconds East 29.31 feet to a point;

Thence South 42 degrees 07 minutes 31 seconds East 73.13 feet to a point;

Thence South 58 degrees 01 minutes 34 seconds East 69.23 feet to a point;

Thence South 49 degrees 18 minutes 33 seconds East 96.99 feet to a point;

Thence South 63 degrees 29 minutes 02 seconds East 79.56 feet to a point;

Thence South 38 degrees 16 minutes 45 seconds East 68.18 feet to a point;

Thence South 51 degrees 43 minutes 45 seconds East 93.69 feet to a point;

South 35 degrees 07 minutes 27 seconds East 6.13 feet to a point;

Thence South 57 degrees 18 minutes 58 seconds West 1781.84 feet to an iron pin found (1/2" Rebar) said pin being on the Northeastern margin of James Huff Road (80' R/W) said 1/2" Rebar being the **True Point of Beginning**.

Pattern Book

for

Madison Ridge

Monroe, GA

Introduction

Madison Ridge is a 49-acre property located at the intersection of James Huff Road and Old Athens Highway. The property is within the North Sub-Area Planning Boundary of the **City of Monroe** Comprehensive Plan.

The Comprehensive Plan calls for the future character of this area to be “predominantly single-family larger lot” with a residential land use goal for the sub-area to be between 40% and 60%.

Madison Ridge meets the future character aspirations for the sub-area and fits within the residential land use goals.

Project Description

Madison Ridge would be a 129 lot subdivision with over 8 acres of common area and open space along with a recreation amenity area including a cabana, clubhouse and playground. The proposed zoning is **Planned Residential District (PRD)**. The character of the proposed subdivision would be suburban with side-entry garages and large backyards, attractive to young families with children.

The architectural elements of the subdivision would include traditional, craftsman with a mix of two-story and single-story homes. The subdivision would include two entrances - one on James Huff Road and another on Old Athens Highway. The subdivision would feature mostly connected streets, allowing for ease of circulation for both vehicles and pedestrians. The streets would include 4’ sidewalks.

Proposed Standards for Development

The proposed standards for **Madison Ridge** are outlined in the table below.

Zoning	PRD
Minimum Lot Size	10,000 square feet internal; 8,000 square feet where abutting a public street adjoining a landscape strip
Maximum Lot Density	4.0 units/acre
Maximum Lot Impervious Coverage	40% internal; 45% where abutting a public street adjoining a landscape strip
Minimum Lot Width	75 feet (Measured at the front building line)
Minimum Lot Frontage	50 feet (Measured at the front property line)
Minimum Front Yard Setback	10 feet
Minimum Side Yard Setback	10 feet
Minimum Rear Yard Setback	25 feet internal; 15 feet where abutting a public street adjoining a landscape strip
Maximum Building Height	35 feet
Minimum Building Area	1,500 square feet (single story) 1,500 square feet (two story)
Minimum Number of Bedrooms per unit	3
Minimum Building Width	24 feet
Minimum Common Area	15% with amenity area

Architectural requirements include a mix of stone, brick and fiber cement siding. Vinyl siding shall be prohibited. Home styles will be craftsman, farmhouse or traditional in compliance with 910.1 of the City’s zoning ordinance.

The homes shall have a minimum 60 square foot covered front entry whose minimum dimensions are not less than 6 feet in length or width.

These minimum standards, along with a mandatory homeowners association, are necessary to protect the long-term character of the subdivision. These standards are largely consistent with the R-1A standards in the **City of Monroe’s** zoning ordinance.

The subdivision’s plan for water and sewer is through the City of Monroe’s water and sewer service. The subdivision would be served by a pump station. Drainage would be handled by on-site storm drain system and stormwater management facilities. All utilities shall be underground.

Traffic Report

Per the Institute of Transportation Engineers trip generation charts, Madison Ridge is expected to generate 1 car trip per unit in the AM peak hour and PM peak hour for a total of 258 peak hour trips. The subdivision is located at the intersection of two roads, each having an entrance to the Madison Ridge. The project is located approximately 0.6 miles from the intersection with James Huff Road and US Highway 78, a major arterial. Overall traffic impact given the roads servicing the property and proximity to a major arterial are expected to be minor.

Abutting Property Protection

On two sides, Madison Ridge is abutted by the existing James Huff Road to the west and Old Athens Highway to the north.

The Hunter’s Crossing subdivision in unincorporated Walton County to the east is buffered by a buffered state waters, featuring a 50 foot undisturbed buffer and 75 foot impervious setback.

To the south is an undeveloped property located in unincorporated Walton County that is zoned agricultural.

Use and Development Schedule

Madison Ridge is proposed to be 100% residential, with a minimum of 15% common area with amenity. The subdivision is expected to be completed with 12-18 months of approval. Home construction is expected to last between 2 and 3 years for final build out.

Site Plans and Survey

The Site Plan and Survey for Madison Ridge are on the following pages.

SUBDIVISION DEVELOPMENT PLANS FOR MADISON RIDGE

**635 JAMES HUFF RD
MONROE, GA 30656**
3rd LAND DISTRICT
LAND LOT 130 & 131
WALTON COUNTY
PARCEL M0220001

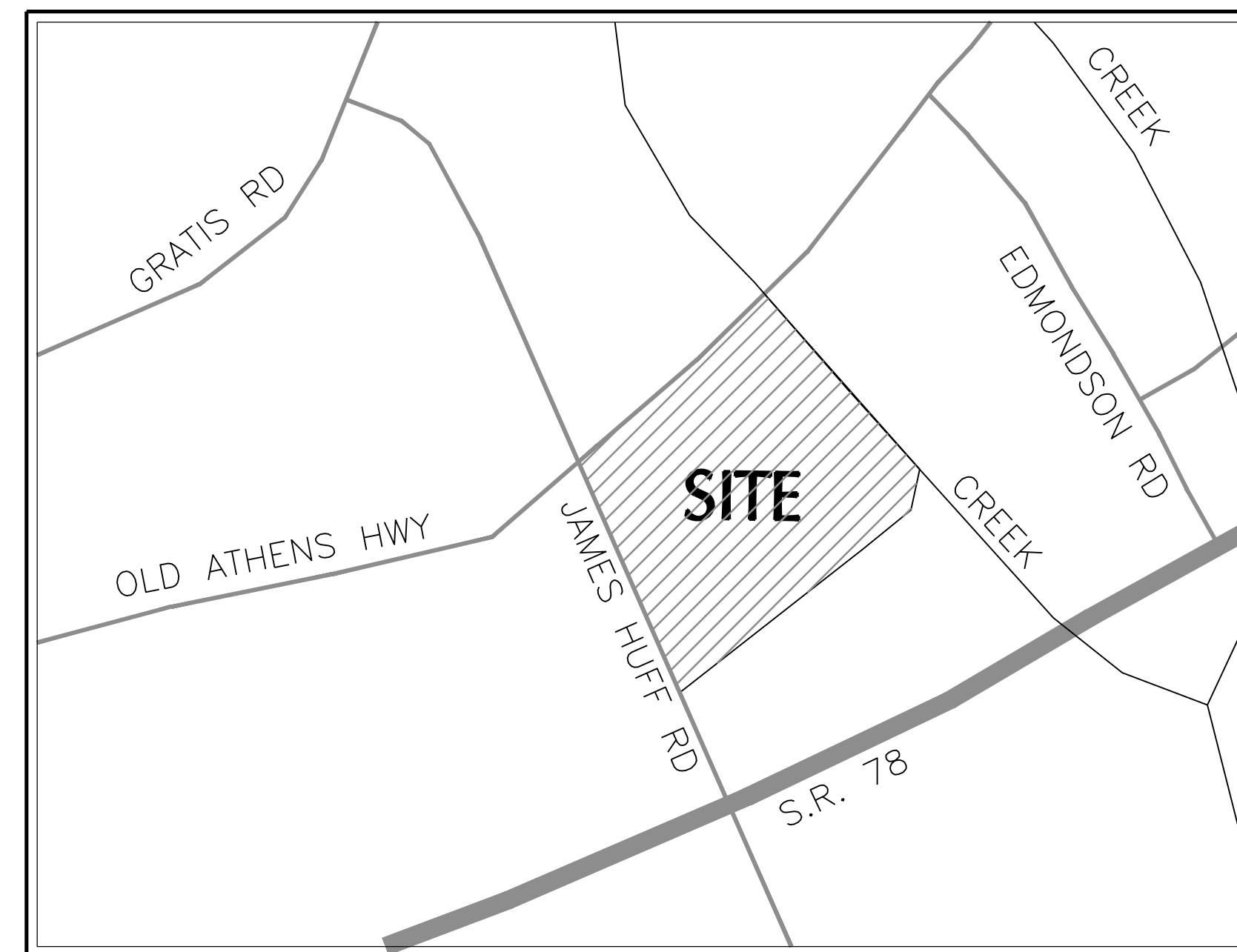
OWNER/DEVELOPER: MADISON RIDGE LAND, LLC
PO BOX 1796
MONROE, GEORGIA 30655
TEL: 678-670-1222
CONTACT: RALPH CORONA
EMAIL: ralph@generalholdingsunlimited.com

CIVIL ENGINEER: BLUE LANDWORKS LLC
5019 WEST BROAD STREET
SUITE M230
SUGAR HILL, GEORGIA 30518
TEL: 678-804-8586
CONTACT: TAYLOR ANDERSON, PE (GA PE #28657)
EMAIL: ta@bluelandworks.com

1. THIS PROPERTY IS ZONED R1A MEDIUM LOT RESIDENTIAL DISTRICT.
2. THIS PROPERTY IS SHOWN AS BEING PARCEL M0220001 IN THE CITY OF MONROE, WALTON COUNTY, LOCATED IN LAND LOTS 130 & 131 OF THE 3RD DISTRICT.
3. PROPOSED USE IS DETACHED SINGLE-FAMILY DWELLINGS WITH THE FOLLOWING REQUIREMENTS:
TOTAL NUMBER OF LOTS = 129
TOTAL AREA = 49.03 ACRES
LOT DENSITY = 2.6 UNITS PER ACRE

COMMON AREA OPEN SPACE REQUIREMENT FOR R1A ZONING
MINIMUM 15% GROSS ACREAGE WITH 3 AMENITIES
REQUIRED MINIMUM 15% COMMON AREA OPEN SPACE = 49.03 AC X 0.15 = 7.35 ACRES
PROVIDED COMMON AREA OPEN SPACE = 8.22 ACRES
PROVIDED AMENITIES = POOL, PLAYGROUND AND CLUBHOUSE

4. OPEN SPACE, DETENTION POND, LANDSCAPED ENTRANCE AREA, AND AMENITY AND RECREATION AREA SHALL BE OWNED AND MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION.
5. WATER AND SEWER SERVICE TO BE PROVIDED BY THE CITY OF MONROE.
6. WATER AND SEWER INFRASTRUCTURE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, TO MONROE UTILITIES NETWORK STANDARDS.
7. ALL CONSTRUCTION TO CONFORM TO DEVELOPMENT REGULATIONS OF THE CITY OF MONROE, GEORGIA, AND TO MONROE UTILITIES NETWORK STANDARDS.
8. A PORTION OF THIS PROPERTY LIES IN ZONE "A" 100-YEAR FLOOD HAZARD AREA (NO BASE FLOOD ELEVATION DETERMINED) PER FEMA FIRM PANEL NO. 13297C01350, DATED MAY 18, 2009.
9. BOUNDARY INFORMATION BASED ON BOUNDARY SURVEY, TRACTS 1 AND 2, FOR JAMES HUFF RD, MONROE, GA 30656 PREPARED BY BLUE LANDWORKS AND DATED 9/22/2021.
10. TOPOGRAPHIC INFORMATION IS TAKEN FROM A GROUND-RUN TOPOGRAPHIC SURVEY BY DEVELOPMENT CONSULTANTS GROUP, INC., DATED JULY 17, 2006. CONTOUR INTERVAL IS TWO FEET. VERTICAL DATUM NAVD 1988.
11. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET [X] DOES / [] DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
12. WETLANDS INFORMATION SHOWN HEREON TAKEN FROM AN ECOLOGICAL SURVEY BY JORDAN, JONES & GOULDING, DATED FEB 15, 2006. THE SURVEY IDENTIFIES THE EXISTING POND AS PALUSTRINE OPEN WATERS AND STATES THAT ANY IMPACT TO THIS POND PROPOSED BY THE DEVELOPMENT NEEDS TO BE VERIFIED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE). A NATIONWIDE PERMIT HAS BEEN ISSUED BY THE USACE (FILE NUMBER 200601203), DATED JULY 24, 2006.
13. THIS SITE CONTAINS STATE WATERS REQUIRING AN UNDISTURBED 25' STATE WATERS BUFFER.
14. A 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK SHALL BE MAINTAINED ADJACENT TO ALL STREAMS.
15. MAXIMUM CUT OR FILL SLOPE IS 2H:1V.
16. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
17. NATURAL VEGETATION SHALL REMAIN ON THE PROPERTY PRIOR TO THE ISSUANCE OF THE DEVELOPMENT PERMIT.



VICINITY MAP
not to scale

INSTRUCTIONS TO CONTRACTORS:

GENERAL PROVISIONS

1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
2. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMAN LIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES. THE CONTRACTOR SHALL WARRANT ALL WORK TO THE OWNER FOR A MINIMUM PERIOD OF 18 MONTHS FOLLOWING COMPLETION OF CONSTRUCTION.
3. DEVIATIONS FROM THESE PLANS WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVES MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
4. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT READY FOR USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED.
5. ALL MATERIALS SHALL BE NEW, UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPROPRIATE AUTHORITIES.
6. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY AND IS NOT GUARANTEED. THE CONTRACTOR IS TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION.
8. CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND COMPACTED SUBGRADE. ALL UNDERGROUND UTILITIES, INCLUDING THOSE INSTALLED BY OTHERS (ELECTRICAL CONDUIT, GAS, TELEPHONE, AND ANY OTHER MISCELLANEOUS) SHALL BE IN-PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, IF POSSIBLE.
9. IF THE CONTRACTOR, IN THE COURSE OF WORK, FINDS ANY DISCREPANCY BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH DISCOVERY, UNLESS AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
10. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH ONE (1) RED-LINE COPY OF AN "AS-BUILT" PLAN OF ALL UNDERGROUND UTILITIES WITHIN PUBLIC EASEMENT OR RIGHT-OF-WAY SHOWING THE LOCATION OF EACH WITH ALL DIMENSIONS SHOWN NECESSARY TO ACCURATELY LOCATE EACH UNDERGROUND UTILITY, FOR USE BY THE ENGINEER IN PREPARING FORMAL RECORD DRAWINGS FOR GWINNETT COUNTY APPROVAL.
11. SIGNS (EXCEPT HANDICAPPED PARKING SIGNS), LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT. A SEPARATE PERMIT IS REQUIRED.

GEOTECHNICAL

1. SOILS TESTING AND ON-SITE INSPECTION MAY BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER SELECTED AND PAID BY THE OWNER. IN THE EVENT OF CONFLICT BETWEEN INSTRUCTIONS BY THE ENGINEER AND RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER, THE CONTRACTOR WILL ADHERE TO THE MOST STRINGENT.
2. CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR PROMPTLY SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
4. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557:
 - UNDER STRUCTURES, BUILDING SLABS, STEPS, AND PAVEMENTS, COMPACT THE TOP 12 INCHES BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT DRY DENSITY.
 - UNDER WALKWAYS, COMPACT THE TOP 6 INCHES BELOW THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DRY DENSITY.
 - UNDER LAWN OR UNPAVED AREAS, COMPACT THE TOP 6 INCHES BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 90 PERCENT MAXIMUM DENSITY.

EARTHWORK/GRADING

1. EARTHWORK AND GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS AND RECOMMENDATIONS, OR WITH SECTIONS 201-221 OF GA DOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IF NOT COVERED BY THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS, EXCEPT AS OTHERWISE NOTED.
2. MAXIMUM SLOPE OF FILL EMBANKMENT SHALL BE 2 FEET HORIZONTAL TO 1 FOOT VERTICAL UNLESS OTHERWISE SHOWN.
3. SEE NOTE 4 UNDER "PAVING AND CURBS".
4. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
5. EXCESS EARTH CUT MATERIALS, IF ANY, SHALL BE PLACED AT A LOCATION ON OR NEAR THE SITE AS DESIGNATED BY THE OWNER.

STORM DRAINAGE

1. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH GWINNETT COUNTY STANDARDS AND FEDERAL OSHA REGULATIONS.
2. CONSTRUCTION OF STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH THE DETAILS INCLUDED IN THE CONSTRUCTION DRAWINGS, GWINNETT COUNTY AND RELATED GEORGIA D.O.T. STANDARDS AND SPECIFICATIONS.

SANITARY SEWER

1. ALL SANITARY SEWER PIPE SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATION AND WITH THE APPLICABLE SECTIONS OF THE GWINNETT COUNTY SANITARY SEWER STANDARDS.
2. THE MINIMUM HORIZONTAL DISTANCE BETWEEN PUBLIC WATER AND SEWER LINES IS TEN FEET. THE MINIMUM VERTICAL CLEARANCE SHALL BE EIGHTEEN INCHES.
3. ALL SANITARY SEWER LATERALS SHALL BE PLUGGED AND MARKERS INSTALLED SO THAT THEY CAN BE EASILY FOUND AFTER BACKFILLING.
4. SEWER SERVICE LATERALS SHALL BE PERMANENTLY MARKED ON THE CURB.
5. ALL TE-INS TO EXISTING MANHOLES SHALL BE CORED. ALL MANHOLES REQUIRE "NOR-N-SEAL" OR EQUAL RUBBER BOOTS.
6. CONTRACTOR SHALL SET THE SANITARY SEWER MANHOLE LIDS AT FINISHED GRADE.

PAVING AND CURBS

1. BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 300 AND OTHER SECTIONS REFERRED TO THEREIN.
2. ASPHALTIC CONCRETE SURFACE COURSE AND ASPHALT PRIME MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 400, 412, 413, AND OTHER SECTIONS REFERRED TO THEREIN.
3. CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN ON THE PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS", MOST RECENT EDITION, SECTION 441 AND OTHER SECTIONS REFERRED TO THEREIN.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE BACKFILLING OF CURB.
5. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS, WITH A MAXIMUM SLUMP OF 2", UNLESS NOTED OTHERWISE.
6. ALL EXPOSED CONCRETE TO HAVE A FINE HAIR-BROOMED FINISH.

EROSION AND SEDIMENT CONTROL

1. SEE "EROSION NOTES & DETAILS" SHEETS FOR EROSION AND SEDIMENT CONTROL NOTES.
2. CONSTRUCTION EXIT PADS SHALL BE INSTALLED BY THE CONTRACTOR AT EACH CONSTRUCTION ACCESS POINT.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
4. PROVISIONS TO PREVENT EROSION OF THE SOIL FROM THE SITE SHALL CONFORM TO THE REQUIREMENTS OF THE "EROSION AND SEDIMENTATION ACT OF 1975" AS SHOWN HEREON AND STIPULATED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AND SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE EROSION OF THE DISTURBED AREAS AND PREVENT SEDIMENT FROM LEAVING THE SITE.
5. THE CONTRACTOR WILL BE REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME DURING CONSTRUCTION. THE EROSION CONTROL MEASURES DETAILED HEREON SHALL BE CONTINUED UNTIL THE GRASS ON PLANTED SLOPES IS SUFFICIENTLY ESTABLISHED TO BE AN EFFECTIVE EROSION DETERRENT. THE SEDIMENT REMOVED FROM THE CONTROL STRUCTURES SHALL BE EVENLY DISTRIBUTED OUTSIDE CONSTRUCTION LIMITS. DISPOSED SEDIMENT SHALL BE PERMANENTLY GRAZED.
6. TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 11, SECTIONS 2-11 AND 2-12 OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

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ISSUE NO.	DATE	DESCRIPTION
1	03/15/2023	SUBMIT FOR GOVERNMENT REVIEW
2	05/10/2023	ADD DETAILS TO CONSTRUCTION PLANS
3	07/05/2023	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY

BLUE LANDWORKS LLC
5019 WEST BROAD STREET
SUITE M230
SUGAR HILL, GA 30518
Tel: (678) 804-8586
info@bluelandworks.com
www.bluelandworks.com
PROJECT# 2021.023

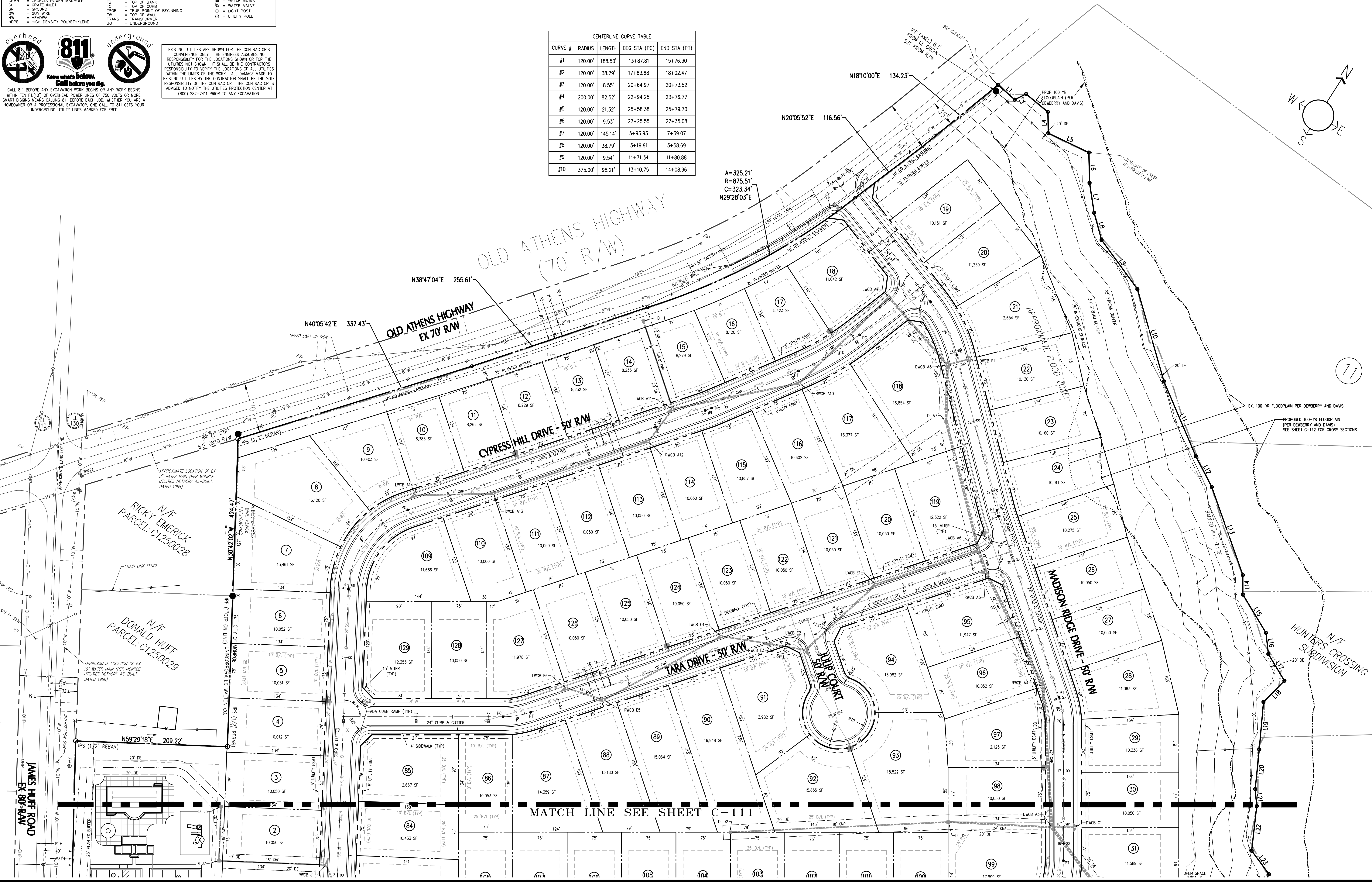


ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT
BFE	= BOTTOM FLOOR ELEVATION	IE	= INVERT ELEVATION
BM	= BENCHMARK	IPF	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IP5	= IRON PIN SET - 1/2" REBAR
BUD	= BUILDING	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LL	= LAND LOT LINE
C/L	= CENTERLINE	LLP	= LIGHT POLE
CO	= CONCRETE	LLP	= LOW POINT
CONC	= CONCRETE	ML	= MANHOLE
CMP	= CONCRETE MONUMENT FOUND	MSL	= MEAN SEA LEVEL
CMP	= CORRUGATED METAL PIPE	OTF	= OPEN TOP PIPE
CSP	= CORRUGATED STEEL PIPE	OC	= OUTLET CONTROL STRUCTURE
CF	= CUBIC FEET	PA	= PARAPET
CAG	= CURB & GUTTER	PKF	= PEDESTAL
CTF	= CRAMP TOP FOUND	PK	= PK MARK FOUND
DIA	= DIAMETER	PCP	= POLYVINYL CHLORIDE PIPE
DI	= DRAINAGE EASEMENT	POB	= POINT OF BEGINNING
DIA	= DRAINAGE EASEMENT	PP	= POWER POLE
DI	= DROP INLET	PTP	= POWER/TELEPHONE POLE
DIP	= DOUBLE WING CATCH BASIN	P/L	= PROPOSED LINE
DWCB	= EDGE OF PAVEMENT	PRP	= PROPOSED
ELEV	= ELEVATION	RE	= REBAR
EX	= EXISTING	RCP	= REINFORCED CONCRETE PIPE
FC	= FACE OF CURB	R/W	= RIGHT-OF-WAY
FE	= FEET	SSE	= SANITARY SEWER EASEMENT
FFE	= FINISHED FLOOR ELEVATION	SMH	= SANITARY SEWER MANHOLE
FF	= FIRE HYDRANT	SWCB	= SINGLE WING CATCH BASIN
FES	= FLARED END SECTION	S/W	= SIDEWALK
FM	= FORCE MAIN	SF	= SQUARE FEET
GMH	= GEORGIA POWER MANHOLE	TEL	= TELEPHONE
GR	= GROUND	TC	= TOP OF CURB
GW	= GUT WIRE	TB	= TOP OF BANK
HW	= HEADWALL	TC	= TOP OF CURB
HOPE	= HIGH DENSITY POLYETHYLENE	TPOB	= TRUE POINT OF BEGINNING
		TW	= TOP OF WALL
		TRANS	= TRANSFORMER
		UG	= UNDERGROUND



EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR FOR THE UTILITIES NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO NOTIFY THE UTILITIES PROTECTION CENTER AT (800) 252-7411 PRIOR TO ANY EXCAVATION.

CURVE #	RADIUS	LENGTH	BEG STA (PC)	END STA (PT)
#1	120.00'	188.50'	13+87.81	15+76.30
#2	120.00'	38.79'	17+63.68	18+02.47
#3	120.00'	8.55'	20+64.97	20+73.52
#4	200.00'	82.52'	22+94.25	23+76.77
#5	120.00'	21.32'	25+58.38	25+79.70
#6	120.00'	9.53'	27+25.55	27+35.08
#7	120.00'	145.14'	5+93.93	7+39.07
#8	120.00'	38.79'	3+19.91	3+58.69
#9	120.00'	9.54'	11+71.34	11+80.88
#10	375.00'	98.21'	13+10.75	14+08.96



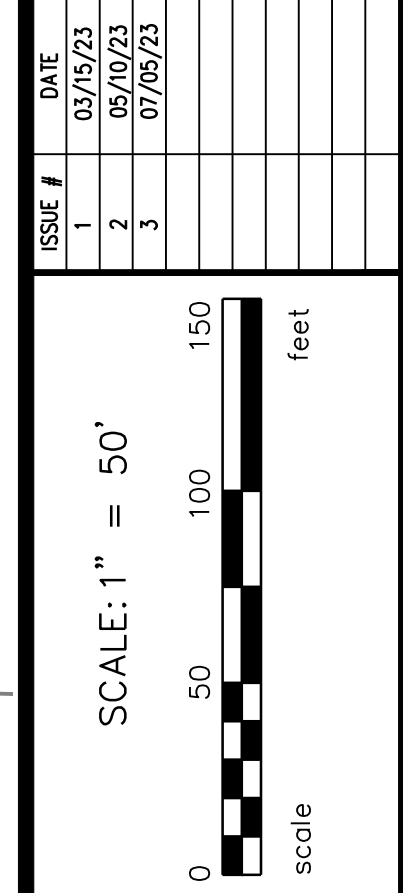
SHEET NOTES
1. SEE COVER SHEET FOR ADDITIONAL NOTES.

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # P10700048
LICENSE # S10700044
5019 WEST BROAD STREET
SUGAR HILL, GEORGIA 30058
TELEPHONE: (678) 804-8586
WWW.BLUELANDWORKS.COM

PREPARED FOR: **LAND, LLC**
1000 W. BROAD ST.
MONROE, GEORGIA 30655
CONTACT: BARRY CARROLL
EMAIL: bcarroll@bluelandworks.com

THIS PROFESSIONAL SEAL OF THE ENGINEER OR SURVEYOR IS VALID ONLY IF THE DOCUMENT IS PRINTED BY THE ENGINEER OR SURVEYOR WHO HAS PROVIDED THE SEAL. ANY REPRODUCTION OF THIS SEAL WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR SURVEYOR IS PROHIBITED. CONTACT: BARRY CARROLL

NO.	DATE	REVISIONS
1	03/05/23	SUBMIT FOR REVIEW
2	05/02/23	ADD DETAILS TO CONSTRUCTION PLANS
3	07/05/23	REVISED LOTS TO EXCLUDE 25-FOOT PLANTED BUFFER ALONG RIGHT-OF-WAY

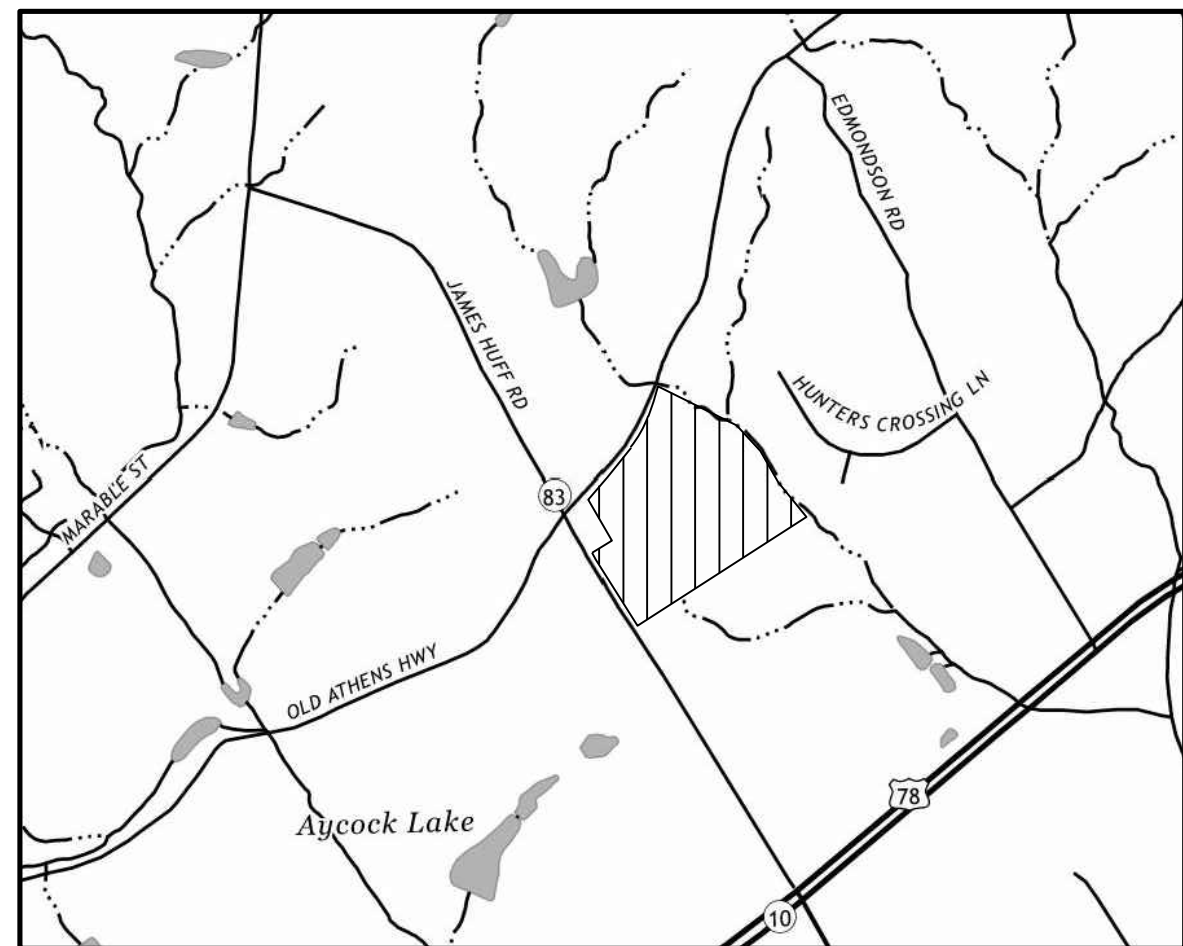


MADISON RIDGE
635 JAMES HUFF ROAD
MONROE, GA 30656

3RD LAND DISTRICT
PARCEL M200001
CITY OF MONROE
DEPARTMENT OF PLANNING AND ZONING
WALTON COUNTY, GA
CHECKED: JHW

PRELIMINARY PLAT NORTH

PROJECT# 2021.023
C-112



VICINITY MAP
SCALE: NTS
SOURCE: USGS

GENERAL NOTES

1. IPS (IRON PIN SET) IS 1/2" REBAR; NS (NAIL SET) IS MAGNAIL.
2. PROPERTY CONTAINS 49.00 ACRES
3. A PORTION ON SAID PROPERTY DOES LIE WITHIN A FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 13297C01350 FOR COMMUNITY NUMBER 13297C, IN WALTON COUNTY, STATE OF GEORGIA, DATED MARCH 18TH 2009, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
4. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
5. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
6. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TAKEN FROM VISIBLE EVIDENCE, CONSTRUCTION PLANS AND/OR PREVIOUS SURVEYS AND SHOULD BE CONSIDERED APPROXIMATE.

SURVEY REFERENCES

1. WALTON COUNTY DEED BOOK 3884 PAGE 280
2. WALTON COUNTY PLAT BOOK 25 PAGE 153
3. WALTON COUNTY PLAT BOOK 55 PAGE 38

GPS STATEMENT

THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED UTILIZING GPS. THE EQUIPMENT USED WAS A CHAMPION TKO GNSS RECEIVER WITH CARLSON SURVCE DATA COLLECTION SOFTWARE. ALL COORDINATES ARE BASED ON NAD83(2011) AND GEOID28. NETWORK RTK CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTK UTILIZING THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EPCS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3: NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .04 FT. HORIZONTAL AND .07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

SURVEYOR'S CERTIFICATION BOUNDARY SURVEY

THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

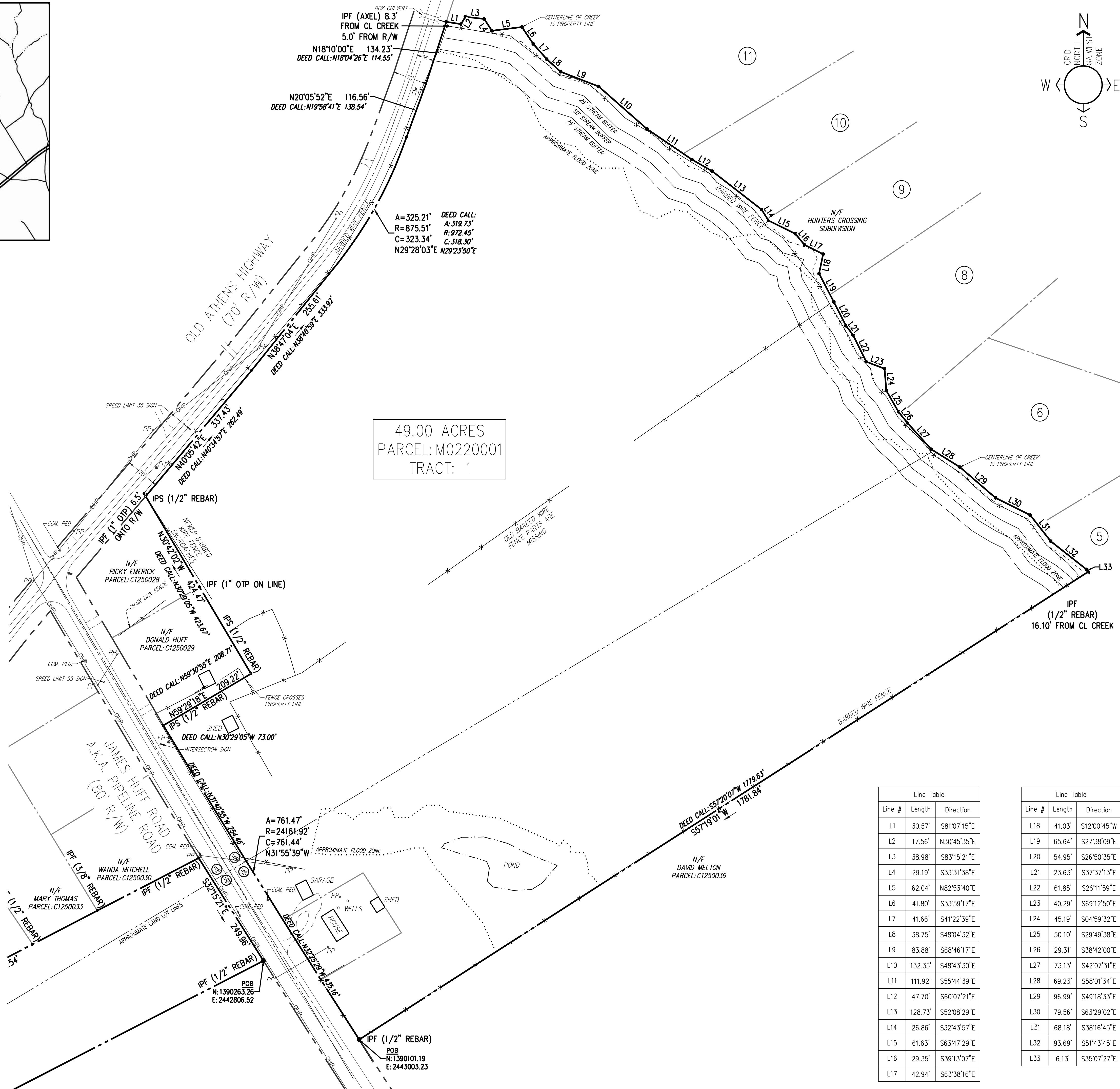
FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A TRIMBLE S6 ROBOTIC TOTAL STATION ELECTRONIC INSTRUMENT. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 25,888 FEET AND AN ANGULAR ERROR OF 12 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES ADJUSTMENT. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 503,222 FEET.

DATE OF LAST FIELD WORK: 09/08/2021
DATE PLAT WAS SEALED: 09/22/2021



NAME: THOMAS W. WOODSMALL
REGISTRATION/LICENSE NUMBER: 2767 (GEORGIA)
DATE OF EXPIRATION: DECEMBER 31, 2022

ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT
BFE	= BOTTOM FLOOR ELEVATION	IE	= INVERT ELEVATION
BM	= BENCHMARK	IPF	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IPS	= IRON PIN SET - 1/2" REBAR
BUDG	= BUILDING	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LL	= LAND LOT LINE
C/L	= CENTERLINE	LOWP	= LOW POINT
CL	= CENTERLINE	MH	= MANHOLE
CONC	= CONCRETE	MSL	= MEAN SEA LEVEL
CMP	= CORRUGATED METAL PIPE	OC	= OUTLET CONTROL STRUCTURE
CP	= CORRUGATED STEEL PIPE	OC	= OUTLET CONTROL STRUCTURE
C/F	= CURB & GUTTER	PMT	= PAVEMENT
C/F	= CURB & GUTTER	PE	= PEDESTAL
C/F	= CURB & GUTTER	PK	= P.K. MARK FOUND
C/F	= CURB & GUTTER	PCP	= POLYVINYL CHLORIDE PIPE
C/F	= CURB & GUTTER	POB	= POINT OF BEGINNING
C/F	= CURB & GUTTER	PWR	= POWER
C/F	= CURB & GUTTER	PP	= POWER POLE
C/F	= CURB & GUTTER	PTP	= POWER TELEPHONE POLE
C/F	= CURB & GUTTER	P/L	= PROPERTY LINE
C/F	= CURB & GUTTER	PROP	= PROPOSED
C/F	= CURB & GUTTER	RE	= REBAR
C/F	= CURB & GUTTER	RCP	= REINFORCED CONCRETE PIPE
C/F	= CURB & GUTTER	R/W	= RIGHT-OF-WAY
C/F	= CURB & GUTTER	SSE	= SANITARY SEWER EASEMENT
C/F	= CURB & GUTTER	SSMH	= SANITARY SEWER MANHOLE
C/F	= CURB & GUTTER	SWCB	= SINGLE WING CATCH BASIN
C/F	= CURB & GUTTER	S/W	= SIDEWALK
C/F	= CURB & GUTTER	SF	= SQUARE FEET
C/F	= CURB & GUTTER	TEL	= TELEPHONE
C/F	= CURB & GUTTER	TC	= TOP OF CURB
C/F	= CURB & GUTTER	TB	= TOP OF BANK
C/F	= CURB & GUTTER	TC	= TOP OF CURB
C/F	= CURB & GUTTER	TW	= TOP OF WALL
C/F	= CURB & GUTTER	TR	= TRANSFORMER
C/F	= CURB & GUTTER	UG	= UNDERGROUND
C/F	= CURB & GUTTER	WM	= WATER METER
C/F	= CURB & GUTTER	WV	= WATER VALVE
C/F	= CURB & GUTTER	WI	= WATER INLET
C/F	= CURB & GUTTER	YI	= YARD INLET



Line Table

Line #	Length	Direction
L1	30.57'	S81°07'15"E
L2	17.56'	N30°45'35"E
L3	38.98'	S83°15'21"E
L4	29.19'	S33°31'38"E
L5	62.04'	N82°53'40"E
L6	41.80'	S33°59'17"E
L7	41.66'	S41°22'39"E
L8	38.75'	S48°04'32"E
L9	83.88'	S68°46'17"E
L10	132.35'	S48°43'30"E
L11	111.92'	S55°44'39"E
L12	47.70'	S60°07'21"E
L13	128.73'	S52°08'29"E
L14	26.86'	S32°43'57"E
L15	61.63'	S63°47'29"E
L16	29.35'	S39°13'07"E
L17	42.94'	S63°38'16"E

Line Table

Line #	Length	Direction
L18	41.03'	S12°00'45"W
L19	65.64'	S27°38'09"E
L20	54.95'	S26°50'35"E
L21	23.63'	S37°37'13"E
L22	61.85'	S26°11'59"E
L23	40.29'	S69°12'50"E
L24	45.19'	S04°59'32"E
L25	50.10'	S29°49'38"E
L26	29.31'	S38°42'00"E
L27	73.13'	S42°07'31"E
L28	69.23'	S58°01'34"E
L29	96.99'	S49°18'33"E
L30	79.56'	S63°29'02"E
L31	68.18'	S38°16'45"E
L32	93.69'	S51°43'45"E
L33	6.13'	S35°07'27"E

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # LSF001044
5019 WEST BROAD STREET
SUITE 4120
SUGAR HILL, GEORGIA 30518
TELEPHONE: (678) 804-8586
INFO@BLUELANDWORKS.COM
WWW.BLUELANDWORKS.COM

PREPARED FOR:
WILLIAM COLEMAN

ISSUE # / DATE / REVISIONS

ISSUE #	DATE	REVISIONS
1	09/22/21	SEALED SURVEY

SCALE: 1" = 100'
0 100 200 300 feet
0 100 200 300 scale

**JAMES HUFF ROAD,
MONROE, GA 30656**
3RD LAND DISTRICT
PARCEL M0220001
CITY OF MONROE
JPMANK: KO
CHECKED: TWH

**BOUNDARY SURVEY
TRACT 1**
PROJECT# 2021.023
SHEET 1 OF 2

15-0201-023 - Madison Ridge 10000 - AutoCAD 2021 - Survey 2021 023 BOUNDARY SURVEY 9/22/2021 8:14 AM by Kyle Ottwell

GENERAL NOTES

1. IPS (IRON PIN SET) IS 1/2" REBAR; NS (NAIL SET) IS MAGNAIL.
2. PROPERTY CONTAINS 15.62 ACRES
3. NO PORTION ON SAID PROPERTY LIES WITHIN A FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 13297C01350 AND 13297C0130E FOR COMMUNITY NUMBER 13297C, IN WALTON COUNTY, STATE OF GEORGIA, DATED DECEMBER 8TH 2016, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
4. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
5. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
6. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TAKEN FROM VISIBLE EVIDENCE, CONSTRUCTION PLANS AND/OR PREVIOUS SURVEYS AND SHOULD BE CONSIDERED APPROXIMATE.

SURVEY REFERENCES

1. WALTON COUNTY DEED BOOK 3994 PAGE 313
2. WALTON COUNTY PLAT BOOK 80 PAGE 20

GPS STATEMENT

THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED UTILIZING GPS. THE EQUIPMENT USED WAS A CHAMPION TKO GNSS RECEIVER WITH CARLSON SURVCE DATA COLLECTION SOFTWARE. ALL COORDINATES ARE BASED ON NAD83(2011) AND GEOID12B. NETWORK RTK CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTK UTILIZING THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3, NATIONAL STANDARD FOR SPATIAL DATA ACCURACY, IS .04 FT. HORIZONTAL AND .07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

SURVEYOR'S CERTIFICATION BOUNDARY SURVEY

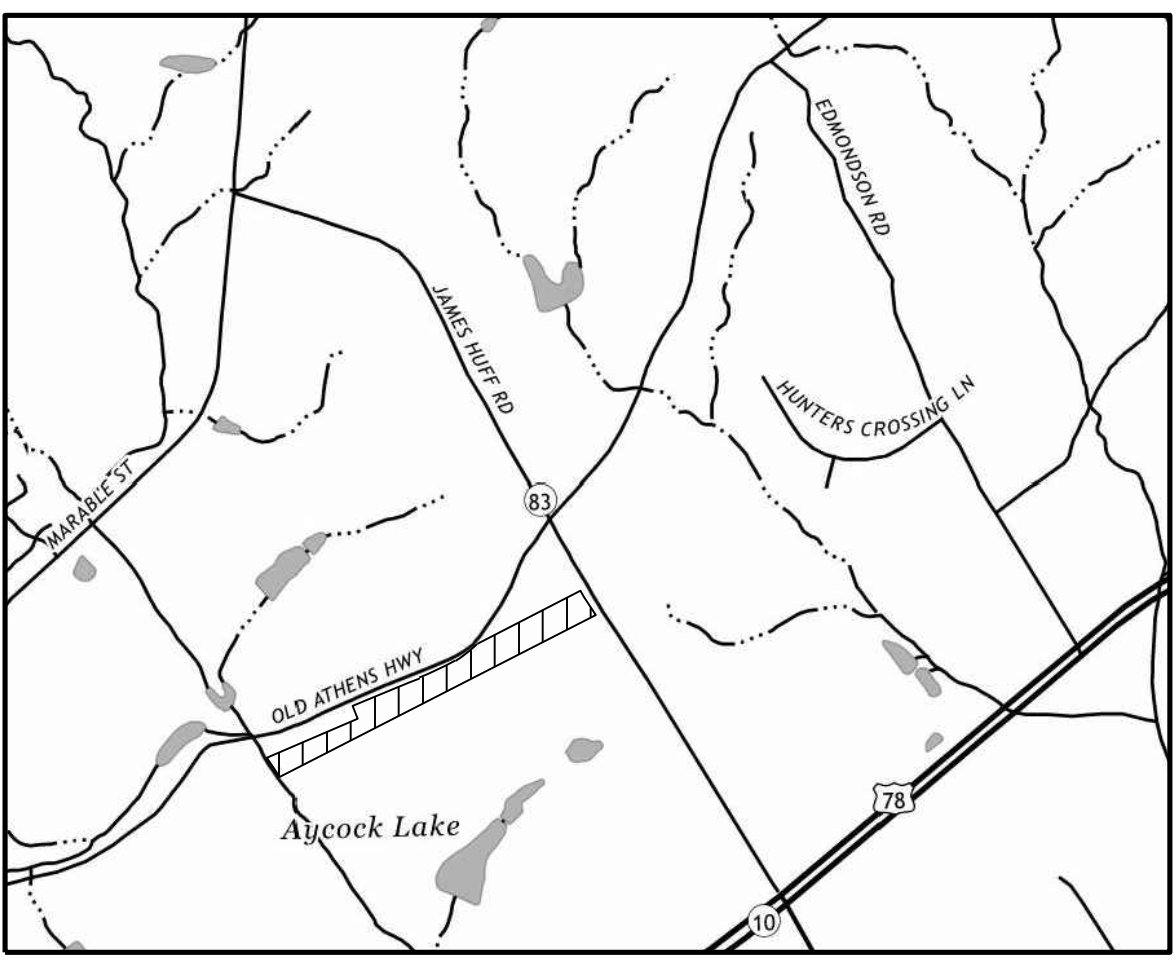
THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-6-7.

FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A TRIMBLE S6 ROBOTIC TOTAL STATION ELECTRONIC INSTRUMENT. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 25,888 FEET AND AN ANGULAR ERROR OF 12 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES ADJUSTMENT. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 381,734 FEET.

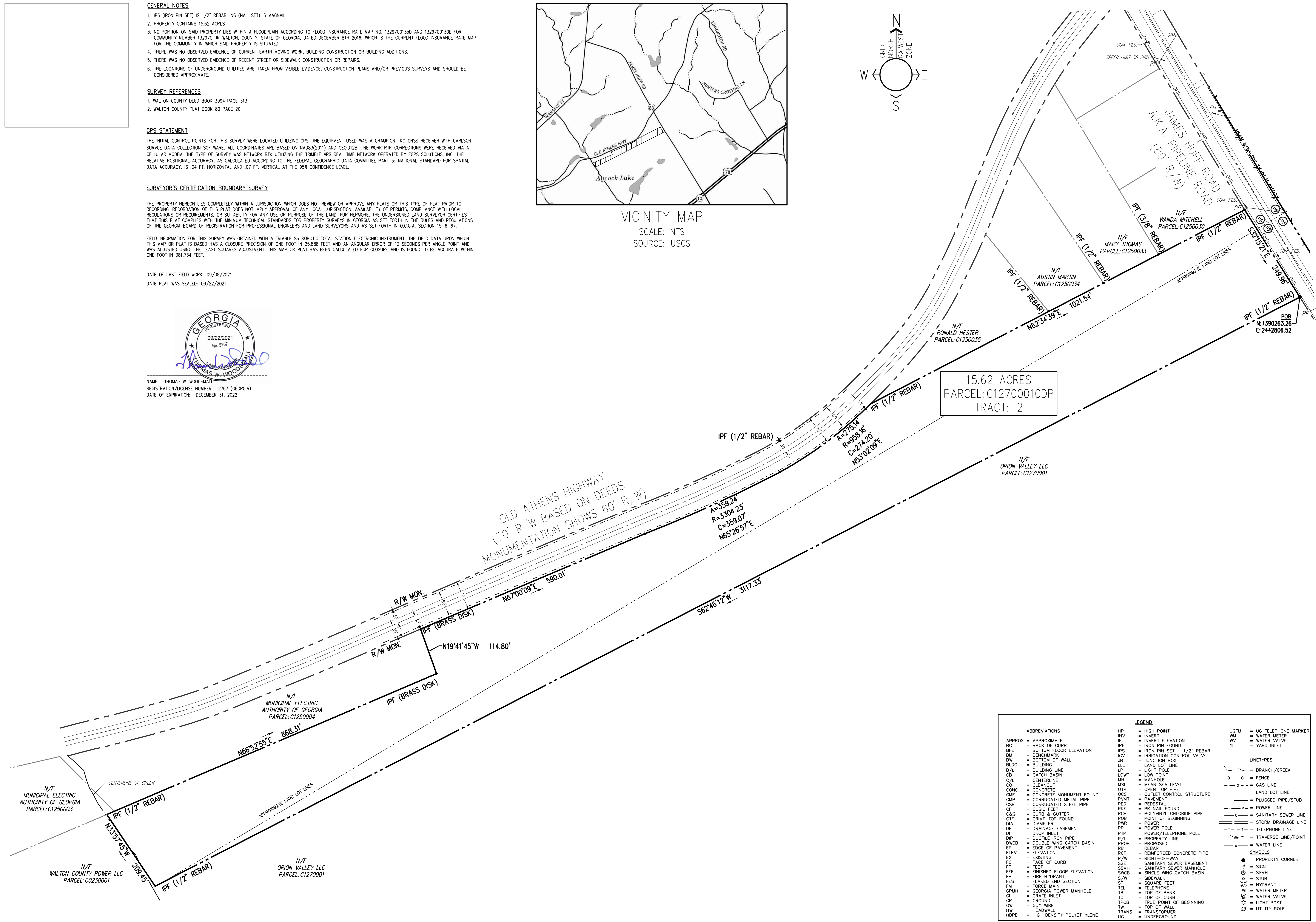
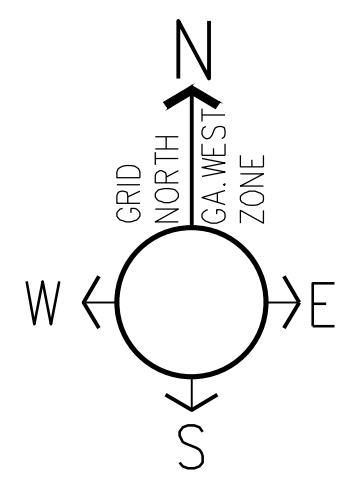
DATE OF LAST FIELD WORK: 09/08/2021
DATE PLAT WAS SEALED: 09/22/2021



NAME: THOMAS W. WOODSMALL
REGISTRATION/LICENSE NUMBER: 2767 (GEORGIA)
DATE OF EXPIRATION: DECEMBER 31, 2022



VICINITY MAP
SCALE: NTS
SOURCE: USGS



15.62 ACRES
PARCEL: C12700010DP
TRACT: 2

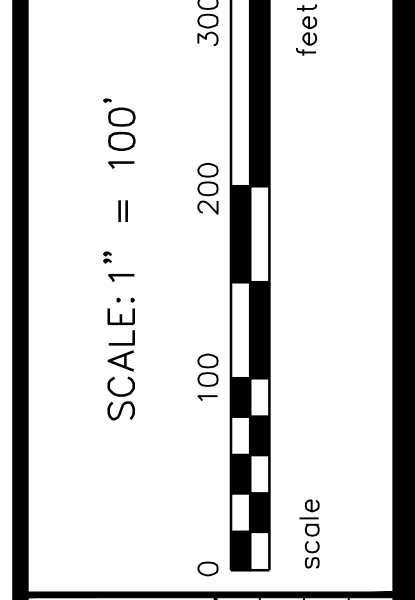
ABBREVIATIONS		LEGEND	
APPROX	= APPROXIMATE	HP	= HIGH POINT
BC	= BACK OF CURB	INV	= INVERT
BFE	= BOTTOM FLOOR ELEVATION	IE	= INVERT ELEVATION
BM	= BENCHMARK	IPF	= IRON PIN FOUND
BW	= BOTTOM OF WALL	IPS	= IRON PIN SET - 1/2" REBAR
BLOG	= BUILDING LINE	ICV	= IRRIGATION CONTROL VALVE
B/L	= BUILDING LINE	JB	= JUNCTION BOX
CB	= CATCH BASIN	LLL	= LAND LOT LINE
C/L	= CENTERLINE	LP	= LIGHT POLE
CO	= CLEANOUT	LOWP	= LOW POINT
CONC	= CONCRETE	MH	= MANHOLE
CMP	= CONCRETE MONUMENT FOUND	MSL	= MEAN SEA LEVEL
CSP	= CORRUGATED METAL PIPE	OTIP	= OPEN TOP PIPE
CF	= CUBIC FEET	OCS	= OUTLET CONTROL STRUCTURE
C&G	= CURB & GUTTER	PVMT	= PAVEMENT
CTF	= CRIMP TOP FOUND	PE	= PEDESTAL
DIA	= DIAMETER	PK	= PK NAIL FOUND
DE	= DRAINAGE EASEMENT	PCP	= POLYVINYL CHLORIDE PIPE
DI	= DROP INLET	POB	= POINT OF BEGINNING
DIP	= DUCTILE IRON PIPE	PWR	= POWER
DWCB	= DOUBLE WING CATCH BASIN	PP	= POWER POLE
EP	= EDGE OF PAVEMENT	P/P	= POWER/TELEPHONE POLE
ELEV	= ELEVATION	P/L	= PROPERTY LINE
EX	= EXISTING	PROP	= PROPOSED
FC	= FACE OF CURB	RB	= REBAR
FE	= FEET	RCP	= REINFORCED CONCRETE PIPE
FFE	= FINISHED FLOOR ELEVATION	R/W	= RIGHT-OF-WAY
FH	= FIRE HYDRANT	SE	= SANITARY SEWER EASEMENT
FES	= FLARED END SECTION	SSMH	= SANITARY SEWER MANHOLE
FM	= FORCE MAIN	SWCB	= SINGLE WING CATCH BASIN
GP	= GEORGIA POWER MANHOLE	S/W	= SIDEWALK
GI	= GATE INLET	SF	= SQUARE FEET
GR	= GROUND	TEL	= TELEPHONE
GW	= GUY WIRE	TB	= TOP OF BANK
HW	= HEADWALL	TC	= TOP OF CURB
HDPE	= HIGH DENSITY POLYETHYLENE	TPOB	= TRUE POINT OF BEGINNING
		TRANS	= TRANSFORMER
		UG	= UNDERGROUND
		UGTM	= UIC TELEPHONE MARKER
		WM	= WATER METER
		WV	= WATER VALVE
		VI	= VARIQ INLET

BLUE LANDWORKS
CONSULTING ENGINEERS & SURVEYORS
LICENSE # LSF0001044
5019 WEST BROAD STREET
SUITE 4120
SUGAR HILL, GEORGIA 30518
TELEPHONE: (678) 804-8586
INFO@BLUELANDWORKS.COM
WWW.BLUELANDWORKS.COM

PREPARED FOR:
WILLIAM COLEMAN

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ISSUE #	DATE	REVISIONS
1	09/22/21	SEALED SURVEY



**JAMES HUFF ROAD,
MONROE, GA 30656**
3RD LAND DISTRICT
LAND LOTS 130 & 131
PARCEL M0220001
WALTON COUNTY, GA
CITY OF MONROE
ISSUANCE: 09/22/2021
CHECKED: TWW

**BOUNDARY SURVEY
TRACT 2**

V:\2021-023 - Madison Ridge\1000 - AutoCAD - AutoCAD 20 - Survey\2021-023 BOUNDING AND BOUNDARY SURVEY 9/22/2021 9:19 AM by Kyle O'Neil



**Planning
City of Monroe, Georgia
PRELIMINARY PLAT REVIEW**

APPLICATION SUMMARY

PRELIMINARY PLAT CASE #: 2560

DATE: August 9, 2023

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

PROJECT NAME: Vines of Monroe

DEVELOPER: Riz Communities and Development of Vines of Monroe, LLC

PROPERTY OWNER: Riz Communities and Development of Vines of Monroe, LLC

DESIGN CONSULTANT: Precision Planning

LOCATION: North side of Vine Street – 455 Vine Street

ACREAGE: ±101.89

EXISTING ZONING: R-1A (Medium Lot Residential District)

EXISTING LAND USE: Cleared and graded site

ACTION REQUESTED: The owner is requesting Preliminary Plat approval to renew a previously approved Preliminary Plat for a single-family residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this Preliminary Plat as submitted.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: August 15, 2023

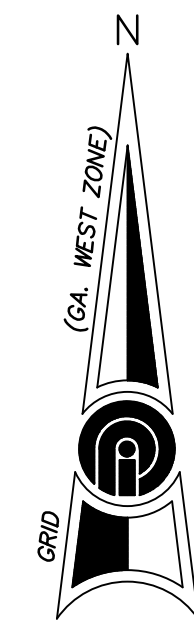
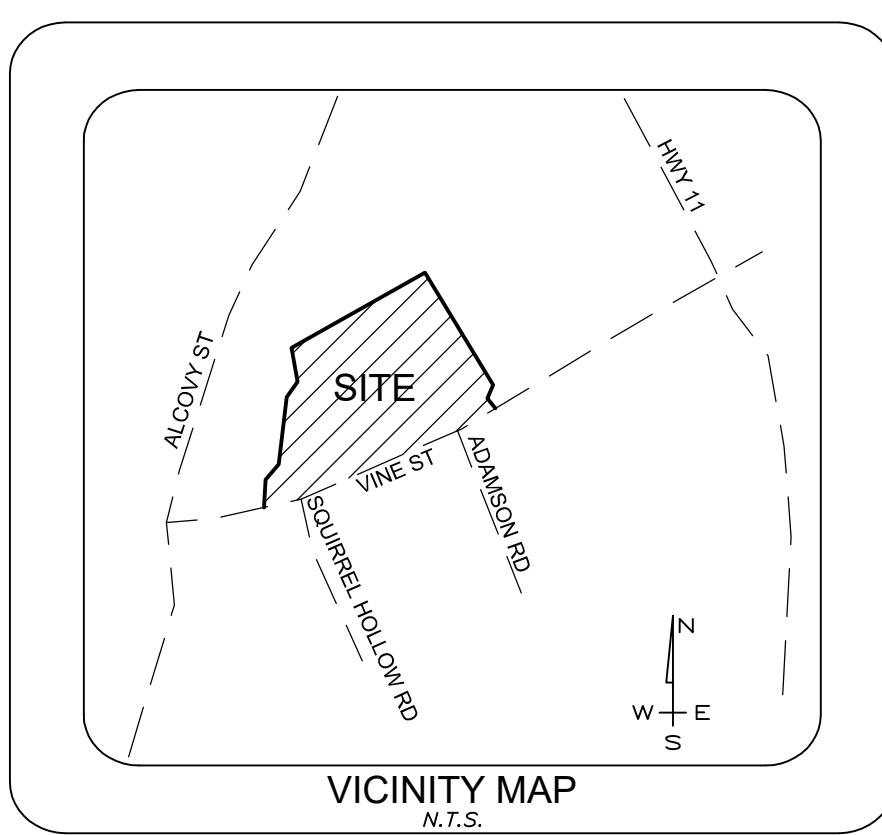
CITY COUNCIL: September 12, 2023

PRELIMINARY PLAT SUMMARY

The applicant is requesting approval of a Preliminary Plat to renew a previously approved Preliminary Plat. The previous Preliminary Plat for the development was approved by City Council on January 12, 2021. The previous Preliminary Plat has expired which is the basis for this request. The project consists of 220 single-family detached residential lots.

PROJECT SUMMARY:

- Project Name – Vines of Monroe
- Development Type – single-family detached residential subdivision
- Site Area – ±101.89
- Total Lots – 220



LOTS	
TOTAL LOTS	220

- LAND LOTS 33 & 67, PARCEL ID: M0210008
- SITE AREA - 101.89AC
- ZONING - R1A
- PROPOSED USE - SINGLE FAMILY RESIDENTIAL SUBDIVISION
- NUMBER OF PROPOSED LOTS 220
- MINIMUM BUILDING SETBACK FRONT - 10FT
- MINIMUM BUILDING SETBACK REAR - 25FT
- MINIMUM LOT SIZE - 8,500SF
- WATER & SANITARY SEWER TO BE SERVED BY CITY OF MONROE

- THERE ARE NO KNOWN EXISTING LANDFILLS ON SITE
- THERE ARE NO KNOWN GROUNDWATER RECHARGE AREAS ON SITE
- THERE ARE NO KNOWN PROTECTED RIVER CORRIDORS ON SITE
- THERE ARE NO KNOWN WATER SUPPLY WATERSHED AREAS SITE

PROJECT ZONED R1A WITH THE FOLLOWING CONDITIONS:

- ZONING CONDITIONS APPROVED FOR VINE STREET
- 1,700 SF MINIMUM FOR SINGLE STORY HOMES
 - 2,000 SF MINIMUM FOR TWO STORY HOMES
 - PLAYGROUND
 - JUNIOR OLYMPIC SIZE SWIMMING POOL WITH CABANA AND RESTROOMS
 - 8,500 SF MINIMUM LOT SIDE
 - BRICK AND STONE ACCENT ON THE FRONT OF HOMES WITH BALANCE OF HOME TO BE FIBER CEMENT SIDING
 - 45 FEET OF NON-BUILDABLE BERMED BUFFER LONG VINE STREET
 - ALL GRASSED AREAS SODDED
 - TWO TREES PER LOT OF A TWO-INCH CALIPER DECIDUOUS INSTALLED OR PRESERVED

AUTHORIZATION STATEMENT

I HEREBY SUBMIT THIS SKETCH PLAT AS AUTHORIZED AGENT/OWNER OF ALL PROPERTY SHOWN HEREON, AND CERTIFY THAT ALL CONTIGUOUS PROPERTY UNDER MY OWNERSHIP OR CONTROL IS INCLUDED WITHIN THE BOUNDARIES OF THIS PRELIMINARY PLAT, AS REQUIRED BY THE DEVELOPMENT REGULATIONS.

SIGNATURE OF AUTHORIZED AGENT/OWNER _____ DATE _____

CERTIFICATION OF APPROVAL BY CODE ENFORCEMENT OFFICE

THIS PRELIMINARY PLAT HAS BEEN REVIEWED AND APPROVED FOR GENERAL COMPLIANCE WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATIONS OF THE CITY OF MONROE.

CODE ENFORCEMENT OFFICER _____ DATE _____

CERTIFICATION OF APPROVAL BY PLANNING COMMISSION

THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE PLANNING COMMISSION. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT.

DATED THIS ____ DAY OF _____, 20__

BY: _____ CHAIRMAN

BY: _____ SECRETARY

CERTIFICATION OF APPROVAL BY MONROE WATER AND GAS DEPARTMENT

THE LOTS SHOWN HEREON AND PLANS FOR WATER AND SEWAGE COLLECTION AND DISPOSAL HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF MONROE WATER AND GAS DEPARTMENT, AND WITH THE EXCEPTION OF LOTS ARE APPROVED FOR DEVELOPMENT.

DATED THIS ____ DAY OF _____, 20__

BY: _____

TITLE: _____ PERMIT IS ISSUED.

CERTIFICATION OF APPROVAL BY MAYOR & COUNCIL

THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL IF NO SITE DEVELOPMENT PLANS ARE APPROVED AND NO FINAL PLAT IS RECORDED. IF SITE DEVELOPMENT PLANS ARE APPROVED WITHIN ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL, THIS CERTIFICATE OF APPROVAL SHALL EXTEND TO THE EXPIRATION OF SITE DEVELOPMENT PLANS. IF NO FINAL PLAT IS RECORDED BY THE EXPIRATION OF THE SITE DEVELOPMENT PLANS, THEN THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID IN ITS ENTIRETY AND SHALL REQUIRE A NEW PRELIMINARY PLAT APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL.

DATED THIS ____ DAY OF _____, 20__

BY: _____ MAYOR

BY: _____ CITY CLERK

UTILITY DISCLAIMER

EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. DAMAGE TO EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.

UTILITY NOTE

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

NOTE:

VINE STREET IS OWNED AND MAINTAINED BY WALTON COUNTY. THE OWNER WILL HAVE HIS ENGINEER DESIGN AND PERMIT WITH WALTON COUNTY THE ROAD WIDENING NECESSARY TO ADD THE LEFT TURN LANES.

THE CITY OF MONROE WILL REQUIRE AN ELEVATION CERTIFICATE FOR ALL LOTS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR RESIDENTIAL STRUCTURES.

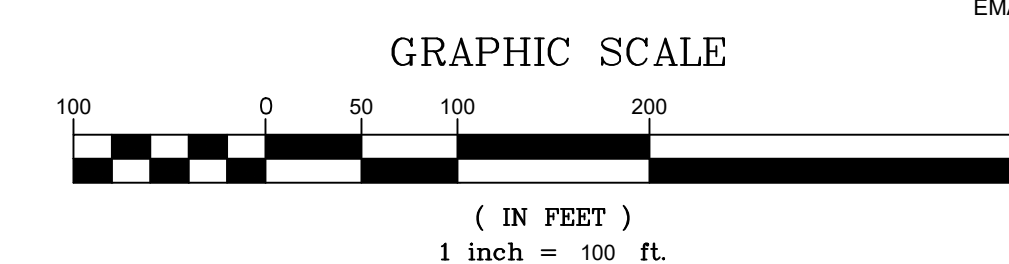
OWNER / DEVELOPER

RIZ COMMUNITIES AND DEVELOPMENT OF VINES OF MONROE, LLC
 5491 ROSWELL RD STE 100
 ATLANTA GA 30342
 CONTACT: SOHAIL CHOUDHRY
 PHONE: 678-446-8004
 EMAIL: CHAD@CALLANDOS.COM

ENGINEER

PRECISION PLANNING, INC.
 400 PINE BOULEVARD
 LAWRENCEVILLE, GA 30046
 CONTACT: TODD PARKER
 PHONE: 770-338-8000
 EMAIL: TPARKER@PPPI.US

24-HOUR EMERGENCY CONTACT:
 Sohail Choudhry
 678-446-5004



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PRECISION
 Planning Inc.
 planners • engineers • architects • surveyors

VINES OF MONROE
 SUBDIVISION

LAND LOT 33, 3RD DISTRICT, TOWN GMD 418,
 PARTIALLY IN THE CITY OF MONROE, WALTON COUNTY, GEORGIA

OVERALL PRELIMINARY PLAT		SHEET TITLE	
DESIGN	CHKD	DRAWN	CHECKED
DK	DK	BER	TP

DATE	NO. DESCRIPTION	DATE
07/17/23	0 PRELIMINARY PLAT ISSUED FOR REVIEW	07/17/2023
		DATE
		R17-215a
		PPPI PROJECT NO.
		C2.0

PLOT DATE: 7/17/2023 5:30 PM
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FILE PATH: E:\PROJECTS\2021\12554-15-15-VINE STREET\12554-15-15-VINE STREET\12554-15-15-VINE STREET PRELIMINARY PLAT UPDATE.dwg - 2023-05-07-17 - 1000 PARKER

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24-HOUR EMERGENCY CONTACT:
Sohail Choudhry
678-446-5004



Know what's below.
Call before you dig.

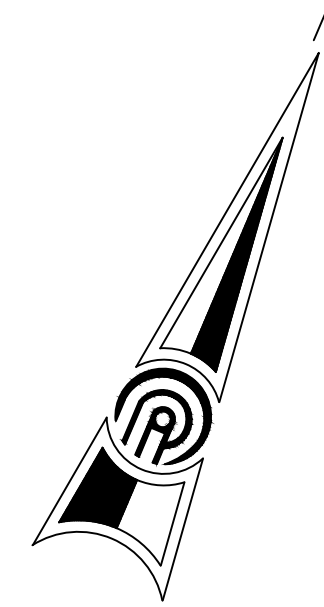
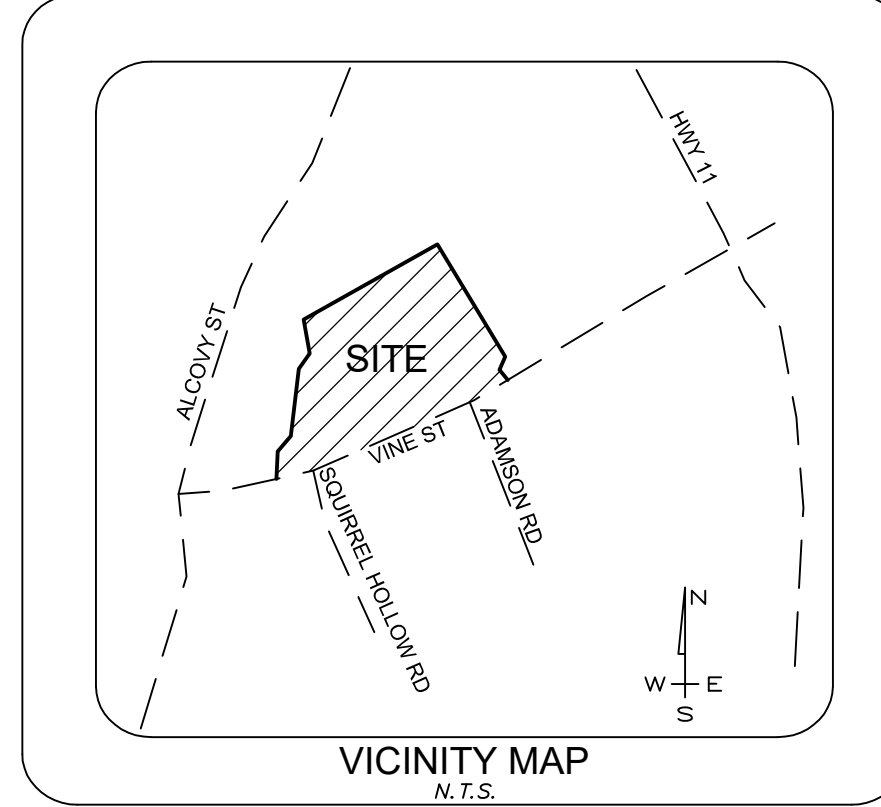
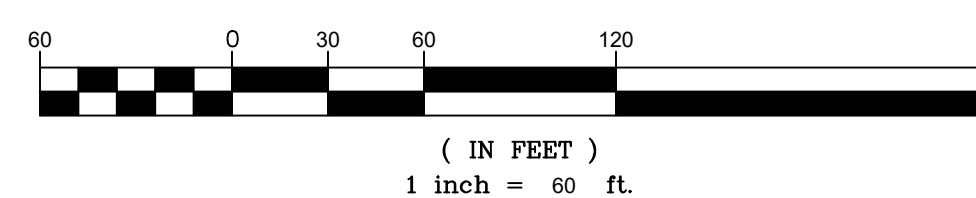
PROJECT ZONED R1A WITH THE FOLLOWING CONDITIONS:

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ENGINEER
PRECISION PLANNING, INC.
400 PIKE BOULEVARD
LAWRENCEVILLE, GA 30046
CONTACT: TODD PARKER
PHONE: 770-338-8000
EMAIL: TPARKER@PPI.US

GRAPHIC SCALE



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400 Pike Boulevard, Lawrenceville, GA 30046
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VINES OF MONROE
SUBDIVISION

LAND LOT 33, 3RD DISTRICT, TOWN GMD 418,
PARTIALLY IN THE CITY OF MONROE, WALTON COUNTY, GEORGIA

PRELIMINARY PLAT	
SHEET TITLE	CHECKED
DESIGN	IP
DRAWN	BER
DATE	07/17/2023

DATE	NO. DESCRIPTION	RELEASE
07/17/23	0 PRELIMINARY PLAT ISSUED FOR REVIEW	
DATE: 07/17/2023		
DATE: R17-215a		
PPI PROJECT NO. C2.3		