



## Planning Commission Meeting

### AGENDA

Tuesday, November 15, 2022

5:30 PM

215 N. Broad St

- 
- I. **CALL TO ORDER**
  - II. **ROLL CALL**
  - III. **APPROVAL OF AGENDA**
  - IV. **MINUTES OF PREVIOUS MEETING**
    1. Planning Commission Minutes 10/18/2022
  - V. **REPORT FROM CODE ENFORCEMENT OFFICER**
  - VI. **OLD BUSINESS**
  - VII. **NEW BUSINESS**
    1. Request for COA - Site Development for Restaurant - 129 S. Wayne St.
    2. Request for COA - Site Development for Restaurant - 701 Pavilion Pkwy
    3. 2023 Planning Commission Schedule
    4. Development Regulations Update # 6
    5. Zoning Text Amendment #14
  - VIII. **ADJOURNMENT**

**MONROE PLANNING COMMISSION  
MEETING MINUTES—October 18, 2022—DRAFT**

**Present:** Mike Eckles, Rosalind Parks, Randy Camp, Nate Treadaway, Shauna Mathias

**Absent:** None

**Staff:** Brad Callender—City Planner  
Laura Wilson—Code Assistant  
Sara Shropshire—Directory of Community Development

**Visitors:** Sharon McDonald, Levon Howard, Angie Putnam, Virginia Crawford, Veronica Boyce, Lee Rowell

Call to Order by Chairman Eckles at 5:31 pm.

Motion to Approve the Agenda as presented:

Motion Camp. Second Parks  
Motion carried

Chairman Eckles asked for any changes, corrections or additions to the September 20, 2022 minutes.

Motion to approve

Motion Camp. Second Treadaway.  
Motion carried

Chairman Eckles asked for the Code Officer’s Report: Welcome Shauna to the Planning Commission

Old Business: None

**The First Item of Business:** is Conditional Use Permit Case #1630, a request for a conditional use permit at 517 Hill St. for a Child Care Center at an existing care center location. The existing care center building was built in 1977 and operated as either a child care or adult care center until 2019. The building is zoned Professional (P). Under the P zoning, a care center is a conditional use. After six months of inactive use, the previously approved use as care center is voided. Staff recommends approval without conditions. Levon Howard and Sharon McDonald spoke in favor of the project. The school would be called Exploring New Adventures Learning Academy. There is no daycare in that area and it would be beneficial to the community.

Chairman Eckles: Do you have a staff in place?

Howard: Not at this time

Chairman Eckles: When do you propose to open?

Howard: In January after our state approval

Public Comment: Virginia Crawford (lives on Roosevelt St)—Concerned about additional traffic in the area of Hill and Roosevelt; Also what does conditional mean?

Callender: A conditional use is one that is not allowed by right. There are two types of land uses allowed in a zoning district. If it was allowed by right there would not be a public hearing. They would just be allowed to operate.

Crawford: There is a blind spot just past the center (on Roosevelt) and people park on the road as well. With the additional traffic, residents are concerned about accidents.

Commissioner Treadaway: On Hill St, are there two curb cuts?

Howard: Yes, you come in and go out

McDonald: There is also parking on the site

Commissioner Parks: How many children do you anticipate starting with?

Howard: We are going to start with about 20 and grow from there

Commissioner Treadaway: Does the state determine what is a safe number of students?

Howard: Yes

Commissioner Treadaway: Has that been assessed?

Howard: Not yet, we need zoning approval first

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve as presented

Motion Camp. Second Mathias.

Motion Carried

**The Second Item of Business** is Rezone Case #1631, a request to rezone northwest corner of Charlotte Rowell Blvd and Double Springs Church Road Connector from B-3 to a Planned Commercial District (PCD) for the purpose of constructing a community recreation center for the Young Men’s Christian Association of Georgia’s Piedmont, Inc. (YMCA). The primary building will be approximately 44,000 sq ft with a maximum building height of 35ft. The building façade will be a combination of brick and black/dark gray architectural metals. The entire facility will have 288 parking spaces. There will be ancillary recreation buildings and sport fields on site as well. Staff recommends approval with four conditions as listed in the staff report dated October 10, 2022.

Andrea Gray, attorney for YMCA, spoke in favor of the project. The design of the building was inspired by the architecture of the Monroe Mills. The lighting will be downward facing and shielded. Anticipated signage includes a wall sign and a ground sign at the entrance. Interior roads will not be dedicated to the City. The facility and grounds will be owned, managed, and maintained by the YMCA. The YMCA finds no issue with conditions 1, 2, and 4 in the staff report dated October 10, 2022. For condition 3, the YMCA would like to have more conversations with

City about putting in a left turn lane on Double Springs Ch Rd Connector due to anticipated costs associated with that condition. Additionally, that condition would benefit the City as well, not just the YMCA.

Commissioner Treadaway: Have there been any traffic studies done?

Gray: No

Commissioner Treadaway: Double Springs Ch Rd Connector is a two-lane road?

Gray: Yes

Commissioner Treadaway: How would the roadway be expanded there?

Gray: That is the challenge and what we would like to explore with the City

Callender: There is likely enough existing road to accommodate a turn lane without have to acquire right of way from adjacent property owners. The basis of this recommendation traffic stacking up onto Charlotte Rowell Blvd during peak times if a turn lane is not built to accommodate the additional traffic.

Discussion continued about the installing a left turn lane (condition 3).

Motion to approve with recommended conditions 1, 2, and 4 and condition 3 be amended to include the cost of a turn lane negotiated between the YMCA and the City at a later date.

Motion Treadaway. Second Camp

Motion carried

Chairman Eckles entertained a motion to adjourn.

Motion to adjourn

Motion Mathias. Second Parks.

Meeting adjourned; 6:06pm



**Planning  
City of Monroe, Georgia**

**CERTIFICATE OF APPROPRIATENESS STAFF REPORT**

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**APPLICATION SUMMARY**

**CERTIFICATE OF APPROPRIATENESS CASE #:** 1709

**DATE:** November 1, 2022

**STAFF REPORT BY:** Brad Callender, Planning & Zoning Director

**APPLICANT NAME:** JEC Development, LLC

**PROPERTY OWNER:** JEC Development, LLC

**LOCATION:** Southwest corner of N. Wayne Street and W. Highland Avenue – 129 N. Wayne Street

**ACREAGE:** ±0.17

**EXISTING ZONING:** B-2 (General Commercial District)

**EXISTING LAND USE:** Metal retail building

**ACTION REQUESTED:** The applicant is requesting approval of a Certificate of Appropriateness application in order to allow renovations and an addition to an existing metal building to allow for redevelopment of the site for a restaurant.

**STAFF RECOMMENDATION:** Staff recommends approval of this Certificate of Appropriateness as requested without conditions.

**DATE OF SCHEDULED MEETING**

**PLANNING COMMISSION:** November 15, 2022

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**REQUEST SUMMARY**

**CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:**

The applicant is requesting approval of a Certificate of Appropriateness application in order to convert an existing metal retail building into a restaurant. Along with the conversion, the applicant proposes to add a covered patio onto the front of the building and a small addition on the side of the building. The applicant also proposes to install two shipping containers for patron seating and an outdoor bar. The site will be improved with new landscaping, planters, outdoor bench seating and decorative lighting.

**PROPOSED PROJECT SUMMARY:**

- Renovation & Redevelopment – 129 N Wayne Street
  - Proposed Use – Thai Restaurant
  - Existing Building – 1,200 Sf
  - Renovation

- Exterior to be updated with new doors, storefront glass, and paint
- Improvements to the building also include a covered patio and small addition
- Site Redevelopment & Improvements
  - Installation of two shipping containers for patron seating and an outdoor bar
  - Installation of new landscaping, planters, bench seating and decorative lighting

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## **STAFF ANALYSIS**

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "SPECIAL DESIGN STANDARDS AND EXCEPTIONS FOR THE CBD OVERLAY" AS SET FORTH IN SECTION 646.6 OF THE *CITY OF MONROE ZONING ORDINANCE*.

**646.6.1 Because of the pedestrian nature of the CBD Overlay, the presence of ample on-street and public lot parking, and the allowance of commercial parking garages within the CBD, new buildings and uses within the CBD shall not be subject to the off-street parking requirements as required in Section 520 of this Ordinance upon granting of a COA by the Planning Commission allowing such reduced or eliminated off-street parking requirements:** The site currently does not have any on-site parking. Public parking is located in the vicinity adjacent to the site. This standard of the CBD exempts the development from being required to comply with the off-street parking requirements.

**646.6.2 To continue the existing historical building pattern of the CBD Overlay and to encourage traditional zero lot line construction throughout the CBD Overlay, the lot coverage restrictions of Section 570 of this Ordinance shall not apply to property located within the CBD Overlay upon granting of a COA by the Planning Commission allowing such lot coverage proposed:** The existing building footprint is not directly on the boundary of the property. The applicant does propose to include improvements to the site along the boundary adjacent to W. Highland Avenue. The site is predominantly impervious, but the applicant does propose to reduce existing hardscape on the site by installing landscaping and decorative planters.

**646.6.3 To continue the existing historical building pattern of the CBD Overlay and to encourage traditional zero lot line construction throughout the CBD Overlay, the dimensional requirements of the underlying zoning district contained in Section 700.2-Table 11 of this Ordinance shall not apply to property located within the CBD Overlay upon the granting of a COA by the Commission allowing different dimensional requirements. Said dimensional requirements shall be consistent with the minimums contained herein in Table 9:** The proposed improvements on this site are consistent with the standards in Table 9 of Section 646.6 in the Zoning Ordinance.

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## **STAFF RECOMMENDATION**

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to allow renovation of the existing building and redevelopment of the site for a new restaurant as submitted without conditions.



### Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 129 NWAYNE ST MONROE, GA 30655 Parcel # \_\_\_\_\_

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction, Renovation of Existing Structure, Demolition, Signage

Property Owner: JEC DEVELOPMENT LLC

Address: 129.5 N BROAD ST MONROE, GA 30655

Telephone Number: 503 927 6321 Email Address: CHAD@PACEPOLITAND.COM

Applicant:	<u>JEC DEVELOPMENT LLC</u>
Address:	<u>127.5 N BROAD ST MONROE, GA 30655</u>
Telephone Number:	<u>503-927-6321</u> Email Address: <u>CHAD@PACEPOLITAND.COM</u>

Estimated cost of project: \$ 150,000

Please submit the following items with your application:

- Photographs of existing condition of the property to show all areas affected
- Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- Written description of the project
- Owner authorization statement, if applicant is not the property owner
- Application Fee \$100

Please submit all application materials in hardcopy to the Code Department and digitally at lwilson@monroega.gov; Please submit two physical copies.

[Handwritten Signature]  
Signature of Applicant

9-23-22  
Date

RECEIVED  
#1709

# City of Monroe

215 N. Broad Street  
Monroe, GA 30655  
(770) 207-4674



## PLANNING & ZONING MTG PERMIT

PERMIT #:	1709	DESCRIPTION:	Planning & Zoning
JOB ADDRESS:	129 N WAYNE ST	LOT #:	65
PARCEL ID:	M0140054	BLK #:	
SUBDIVISION:		ZONING:	B-2
ISSUED TO:	JEC DEVELOPMENT LLC	CONTRACTOR:	JEC DEVELOPMENT LLC
ADDRESS:		PHONE:	
CITY, STATE ZIP:	MONROE GA 30655	OWNER:	
PHONE:	770-267-6545	PHONE:	
PROP.USE:	COMMERCIAL	DATE ISSUED:	10/28/2022
VALUATION:	\$ 0.00	EXPIRATION:	4/26/2023
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
<b>FEE TOTAL</b>		\$ 100.00
<b>PAYMENTS</b>		\$ -100.00
<b>BALANCE</b>		\$ 0.00

### NOTES:

The City of Monroe Planning Commission will hear your request for building and site redevelopment at 129 N. Wayne St. on November 15, 2022 at 5:30p.m. in the Council Chambers at City Hall; 215 N. Broad St. Monroe, GA 30655

### NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

*Dan E. Martin*  
(APPROVED BY)

10/28/22  
DATE



**NOTICE TO THE PUBLIC  
CITY OF MONROE**

**A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for building and site redevelopment at 129 N. Wayne St. (Parcel #M0140054).**

**The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on November 15, 2022 at 5:30 P.M. All those having an interest should be present to voice their interest at said public meeting.**

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**PLEASE RUN ON THE  
FOLLOWING DATE:**

**October 30, 2022**

**J.E.C Development LLC  
127.5 N Broad St  
Monroe, Ga 30655  
503.927.6321**

RE: 129 N Wayne St  
9/23/22  
Scope of Work Narrative

J.E.C. Development is the owner of this property. Bolt Construction Group will be the contractor performing both the landlord (shell) work and the tenant work which are shown as 2 different plan sets. The purpose of the project is to renovate the building and property into a Thai restaurant.

The project will involve adding a small addition to the left side of the existing structure and building a covered patio onto the front of the building. The entire exterior will be updated with new doors, storefront glass and paint. The interior will be fully built out to accommodate a full kitchen, 2 restrooms and a dining area. All work will meet current building codes and dramatically improve the perception and functionality of this building.

The property will be regraded to create a level outdoor dining area that will have 2 simple structures, one that houses booths and the other will be an outdoor bar. The property will be extensively landscaped and be a welcome presence to anchor the corner of Highland Ave and N Wayne St.

Chad Draper



J.E.C. Development LLC  
Bolt Construction Group

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CONSULTING ENGINEERS:  
CIVIL ENGINEER:  
Koons Environmental Design, Inc.  
675 Pacesett Street, Suite 2000  
Athens, GA 30601  
(706) 553-3838

STRUCTURAL ENGINEER:  
GNN Engineering Services, LLC  
1971 Flat Rock Road  
Walkersville, GA 30677  
(878) 232-0872

# JEC DEVELOPMENT 129 N WAYNE ST DOWNTOWN MONROE



No.	Date	Issue Notes



SITE PLAN	
Date: 08.29.22	Project Number: 2020-36
Drawing Number	

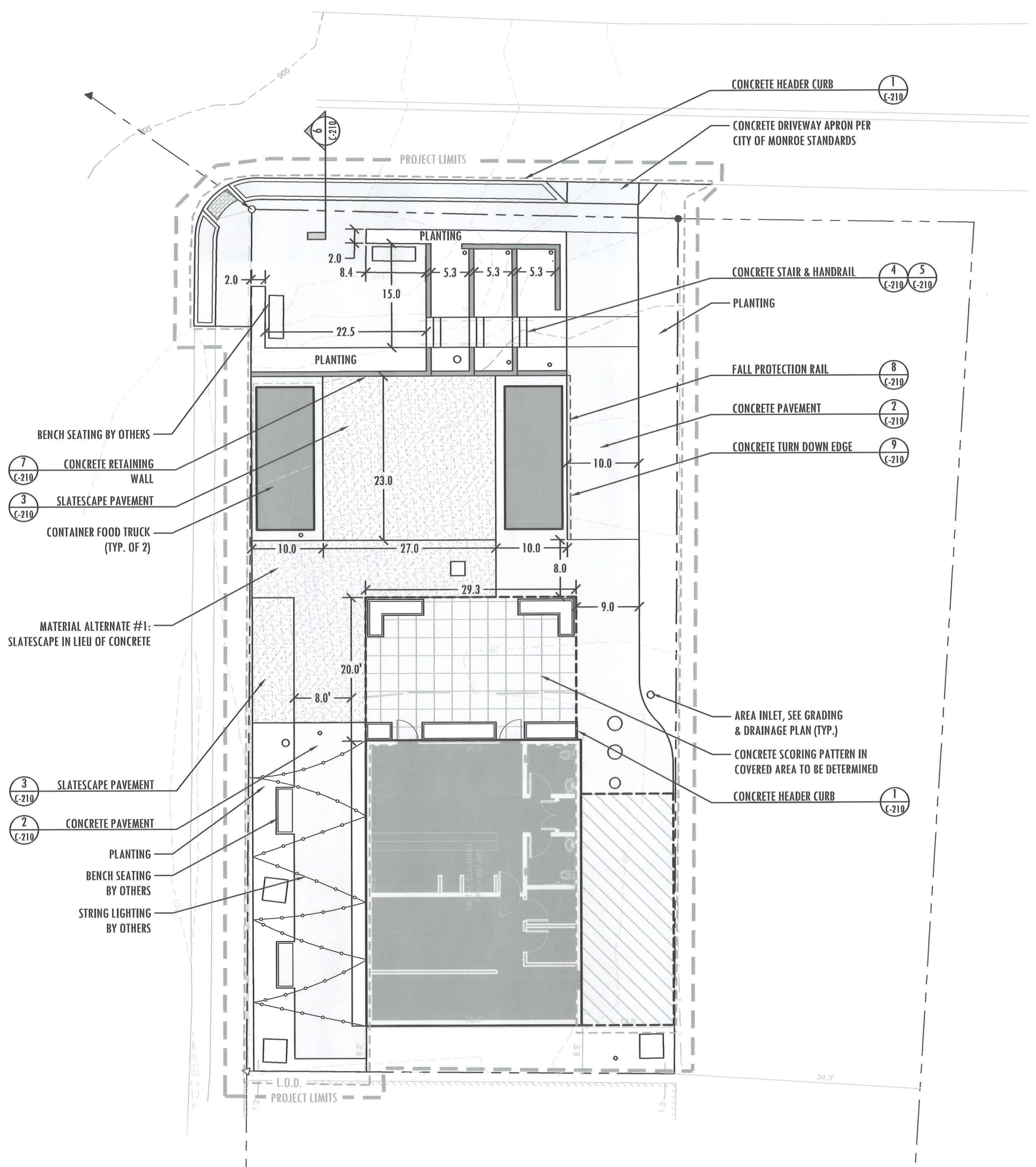
## C-200

### SITE PLAN LEGEND

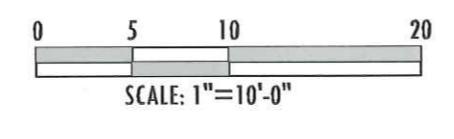
- CONCRETE PAVING
- SLATESCAPE PAVING
- PROJECT LIMITS
- LIMITS OF DISTURBANCE

**PROJECT INFORMATION**  
ADDRESS: 129 N. WAYNE STREET, MONROE, GA 30655  
OWNER: JEC DEVELOPMENT LLC, 127 1/2 N. BROAD STREET, MONROE, GA 30655  
ZONING: B2  
EXISTING USE: STORE/RETAIL  
PROPOSED USE: BUSINESS

- SITE PLAN NOTES**
- PARCEL COVERAGE:
    - PROJECT AREA: 0.16 ACRE (7155 SF)
    - DISTURBED AREA: 0.16 ACRE (7155 SF)
    - EXISTING IMPERVIOUS SURFACE: 5627 SF
    - IMPERVIOUS SURFACE TO BE REMOVED: 4408 SF
    - PROPOSED IMPERVIOUS SURFACE: 4327 SF
    - REDUCTION IN IMPERVIOUS SURFACE: 81 SF
  - CONTRACTOR SHALL PROVIDE A SCHEMATIC JOINT PLAN FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF CONCRETE PAVEMENT.
  - UNLESS OTHERWISE NOTED ALL CONTROL JOINTS ADJACENT TO PROPOSED ARCHITECTURE ARE TO ALIGN WITH CENTER OF CURTAIN WALL MULLIONS, CENTER OF COLUMN, OR EDGE OF BUILDING.
  - NEW WORK SHALL MEET AND MATCH ALIGNMENT OF EXISTING FEATURES AND FINISHED GRADES AT PROJECT LIMITS AND AT EXISTING PAVEMENT OR OTHER FACILITIES TO REMAIN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE NECESSARY MINOR ADJUSTMENTS IN THE PROPOSED WORK TO MEET THE INTENT OF THE PLANS AND TO PROVIDE SMOOTH TRANSITIONS BETWEEN EXISTING CONDITIONS AND NEW WORK.
  - THE LAYOUT IS INTENDED, IN PART, TO RELATE TO EXISTING ARCHITECTURAL AND SITE FEATURES. IN GENERAL, THE MEASUREMENTS ON THE DRAWINGS ARE REASONABLE AND ACCURATE FOR THEIR PURPOSE. HOWEVER, IN THE EXECUTION OF WORK ON THE PROJECT, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS WITH ACTUAL CONDITIONS ON THE JOB IN ORDER TO MAKE A PERFECT FIT. NOTIFY LANDSCAPE ARCHITECT OF ANY ADJUSTMENTS PRIOR TO CONSTRUCTION.
  - ALL DIMENSIONS ARE TO FACE OF TREAD, FACE OF BRICK EDGING, AND FACE OF WALLS, ETC., UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL STAKE THE ALIGNMENT OF ALL PAVEMENT, WALLS, AND OTHER HARDSCAPE FEATURES, PER LAYOUT PLAN DIMENSIONS, IN THE FIELD FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.



**1 SITE PLAN**  
C-200 SCALE: 1" = 10' - 0"



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CONSULTING ENGINEERS:

**JEC DEVELOPMENT  
(SHELL DRAWINGS)**

**129 N. WAYNE STREET  
MONROE, GA, 30655**

Seal:

No.	Date	Issue Notes

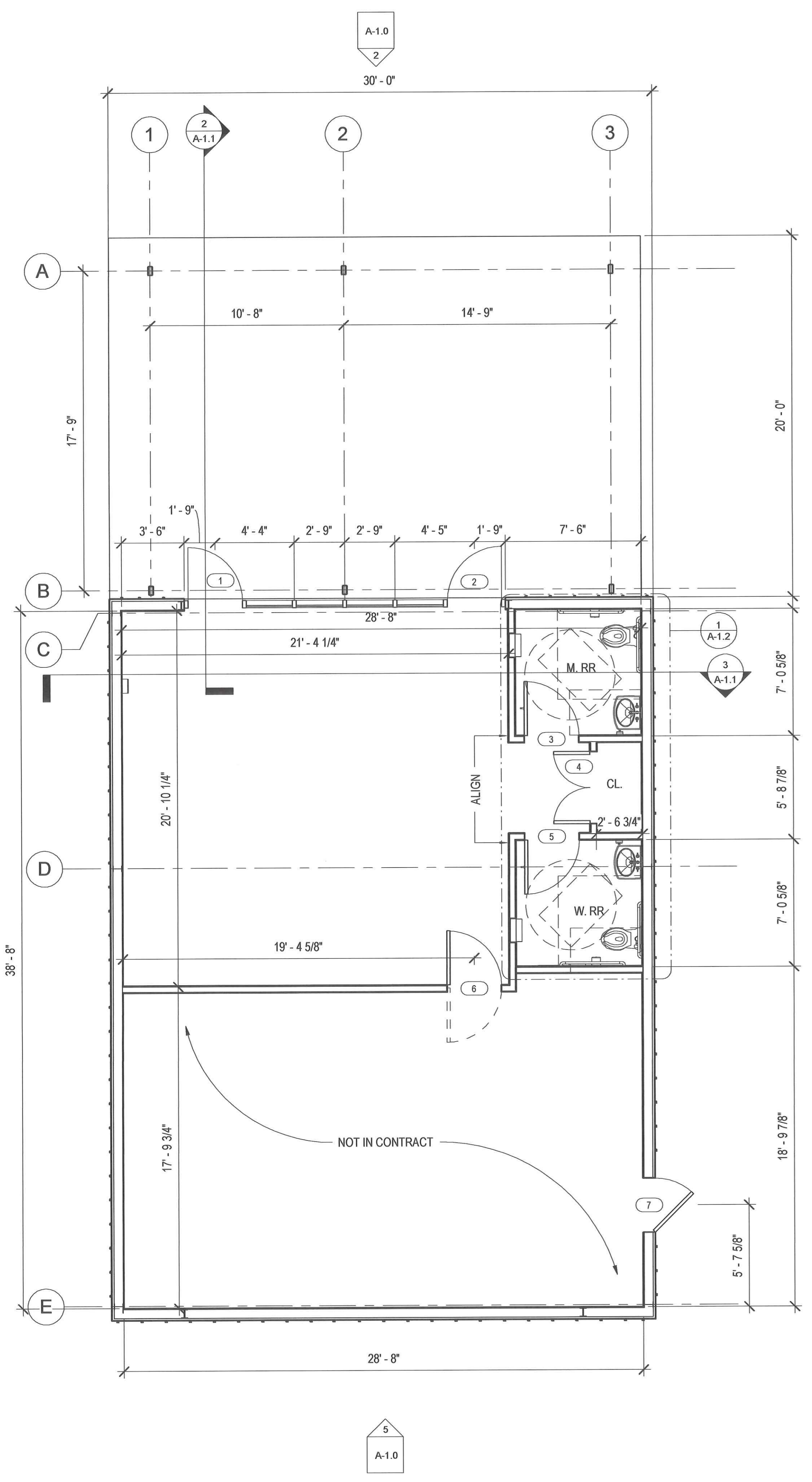
Design Firm

297 PRINCE AVE. SUITE 28B  
ATHENS, GEORGIA  
O. 706.850.1330

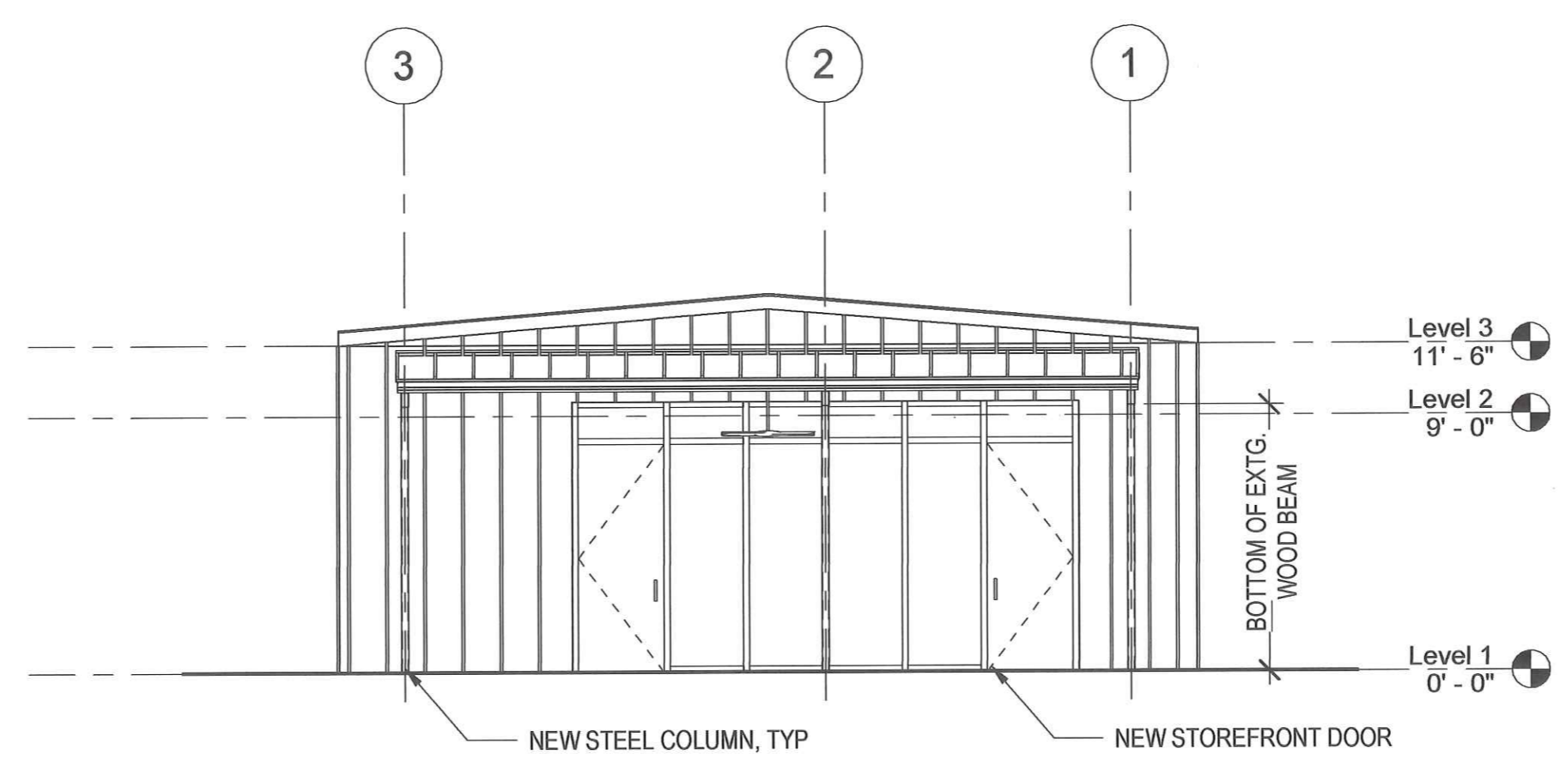
Drawing Title  
**FLOOR PLAN + EXTERIOR  
ELEVATIONS**

Date: 4.15.2022 Project Number: 2020-36  
File name:

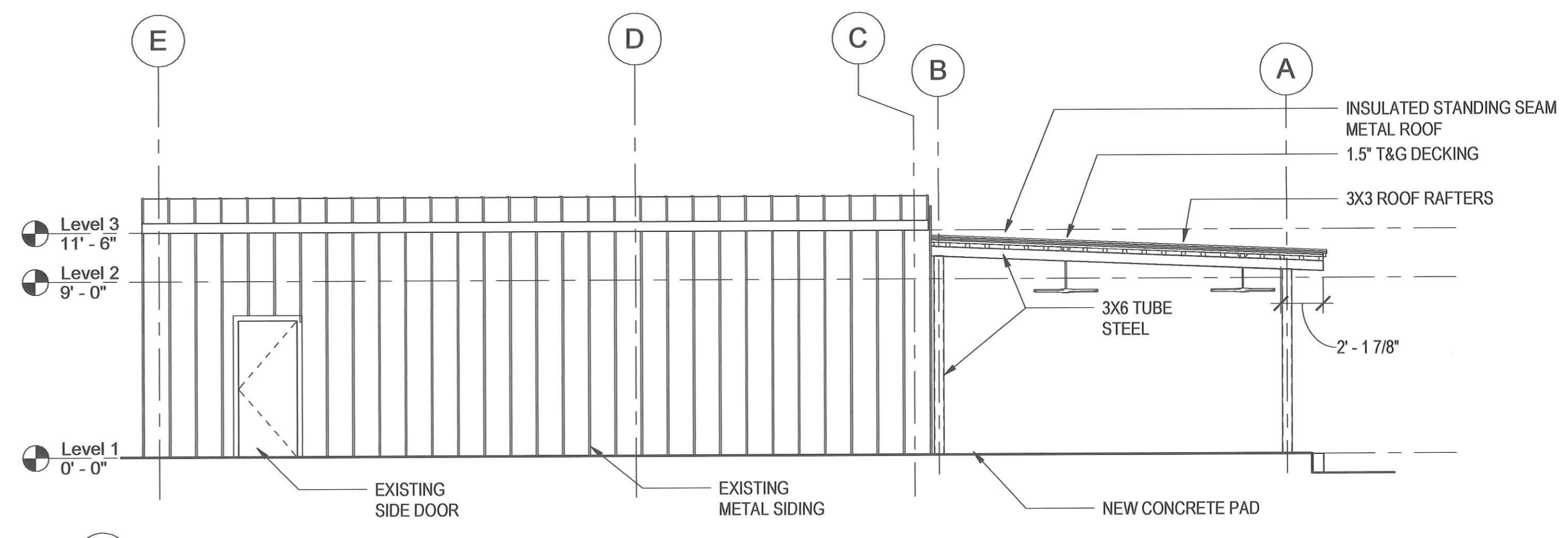
Drawing Number  
**A-1.0**



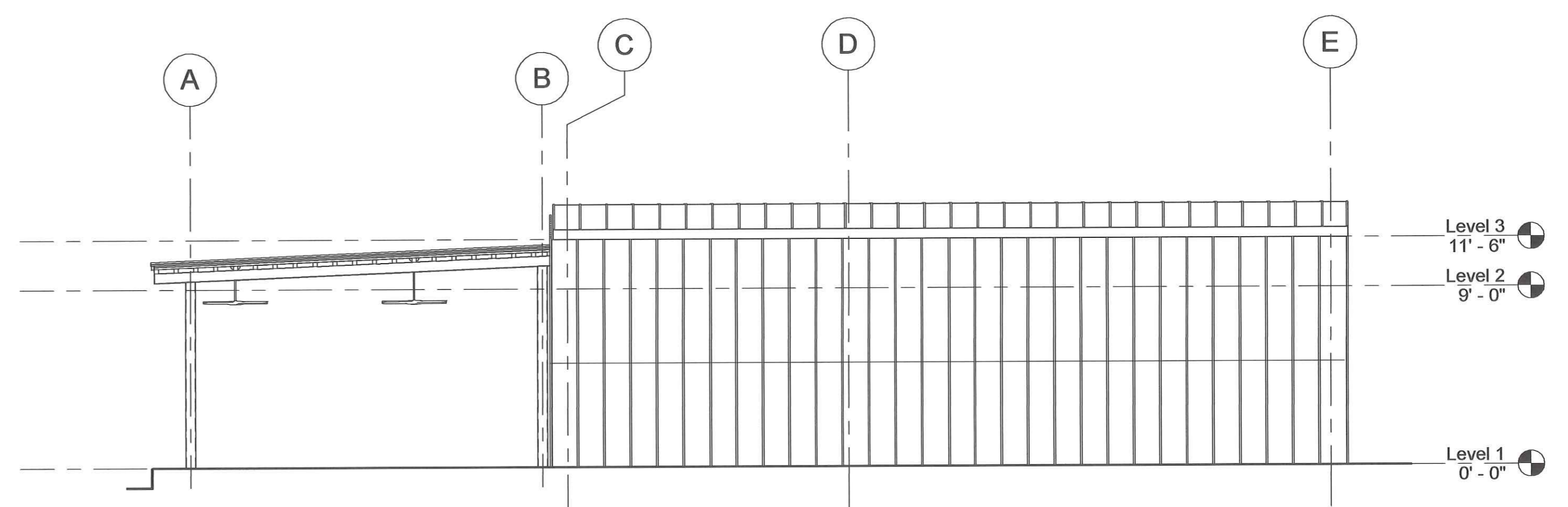
1 FLOOR PLAN - EXTERIOR  
1/4" = 1'-0"



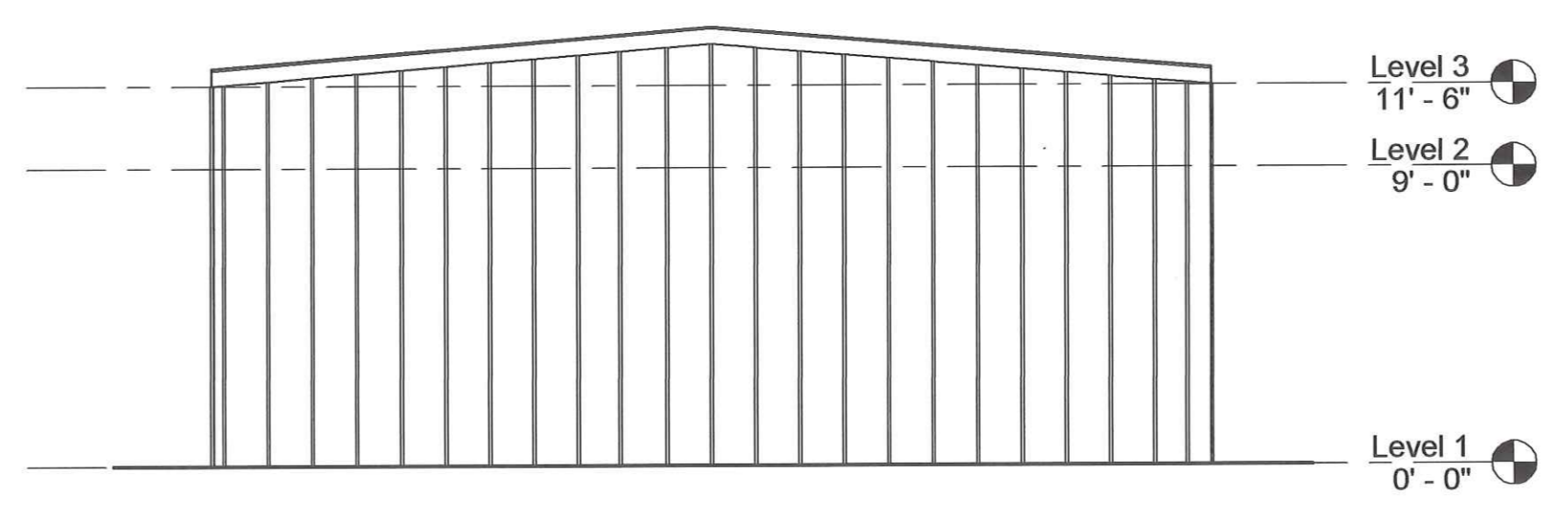
2 NORTH  
3/16" = 1'-0"



3 EAST  
3/16" = 1'-0"



4 WEST  
3/16" = 1'-0"

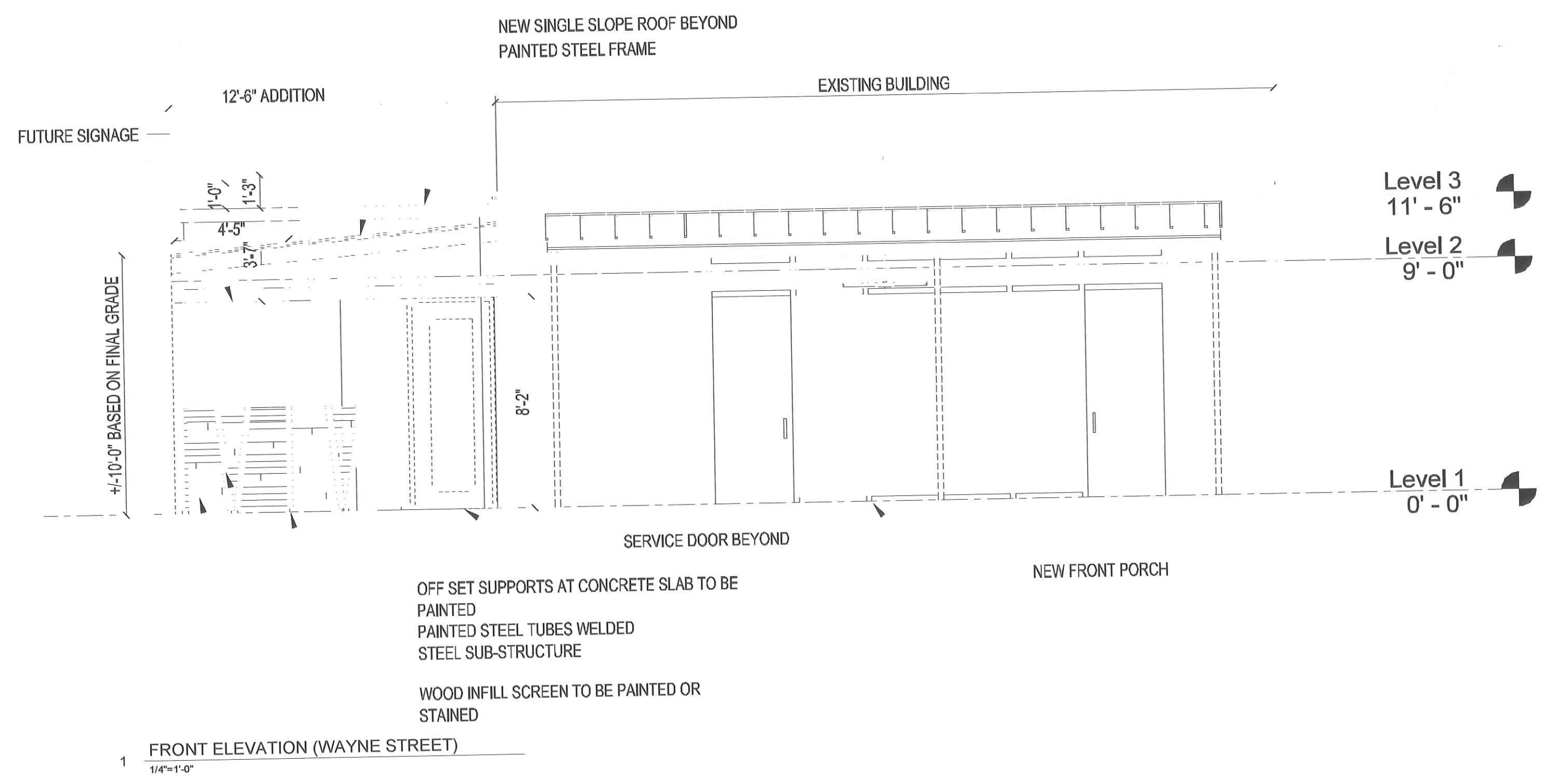


5 SOUTH  
3/16" = 1'-0"

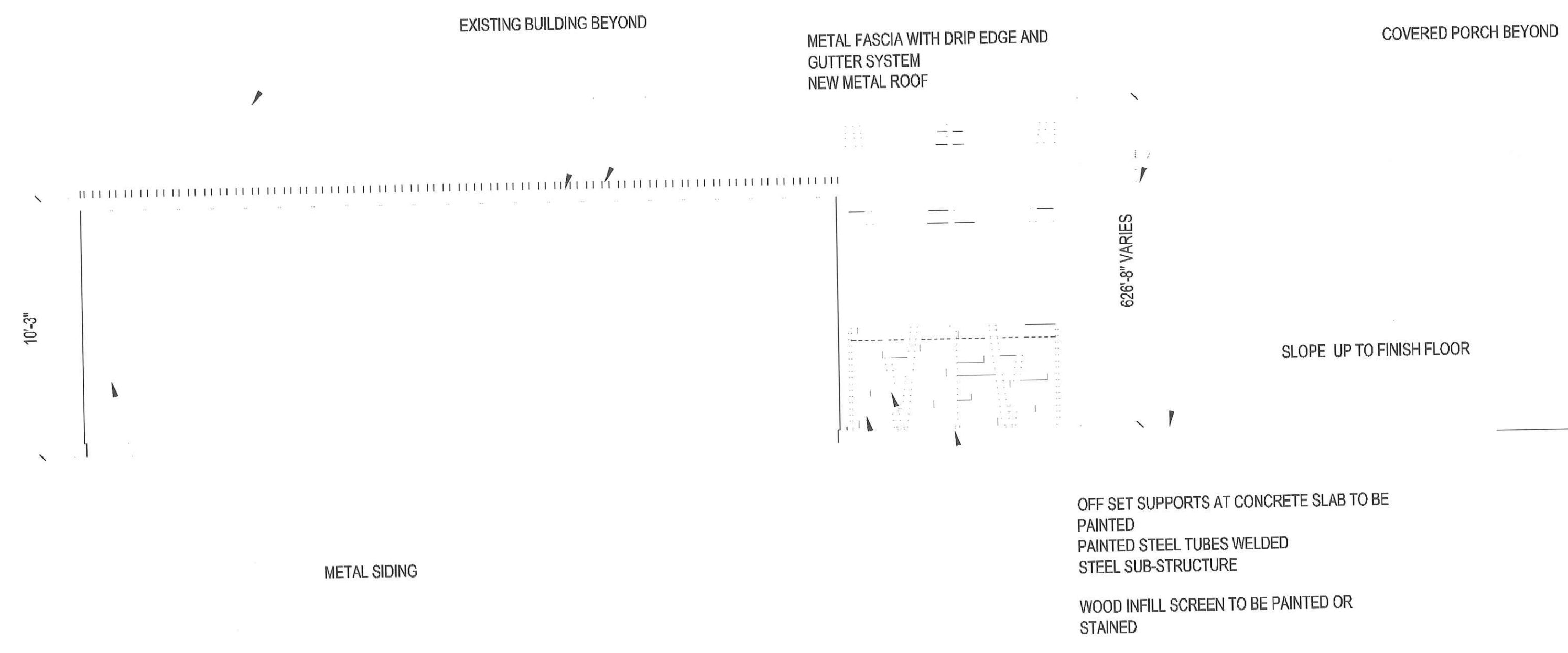
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CONSULTING ENGINEERS:



1 FRONT ELEVATION (WAYNE STREET)  
1/4"=1'-0"



2 SIDE ELEVATION  
1/4"=1'-0"

**JEC DEVELOPMENT  
(SHELL DRAWINGS)**  
**129 N. WAYNE STREET  
MONROE, GA, 30655**

Seal:

No.	Date	Issue Notes

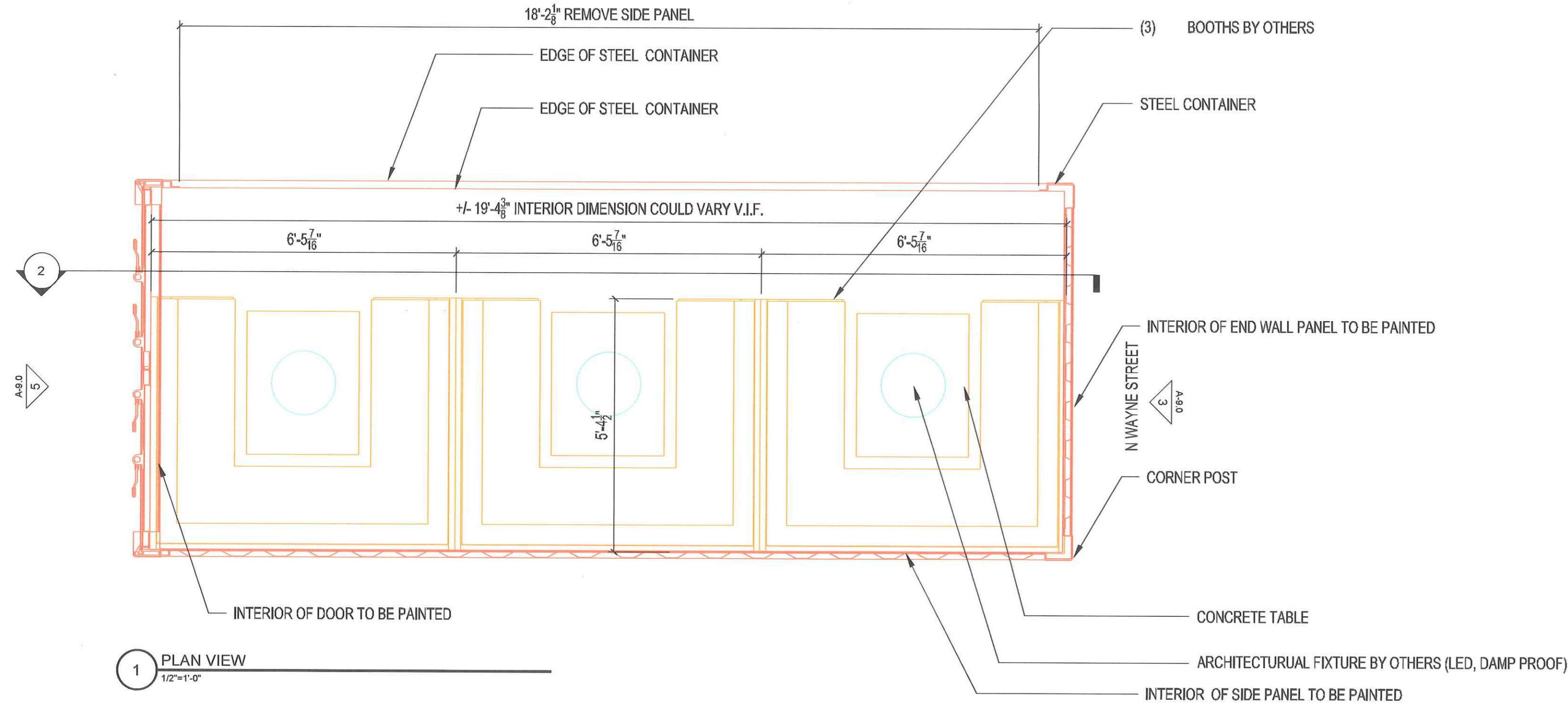
Design Firm



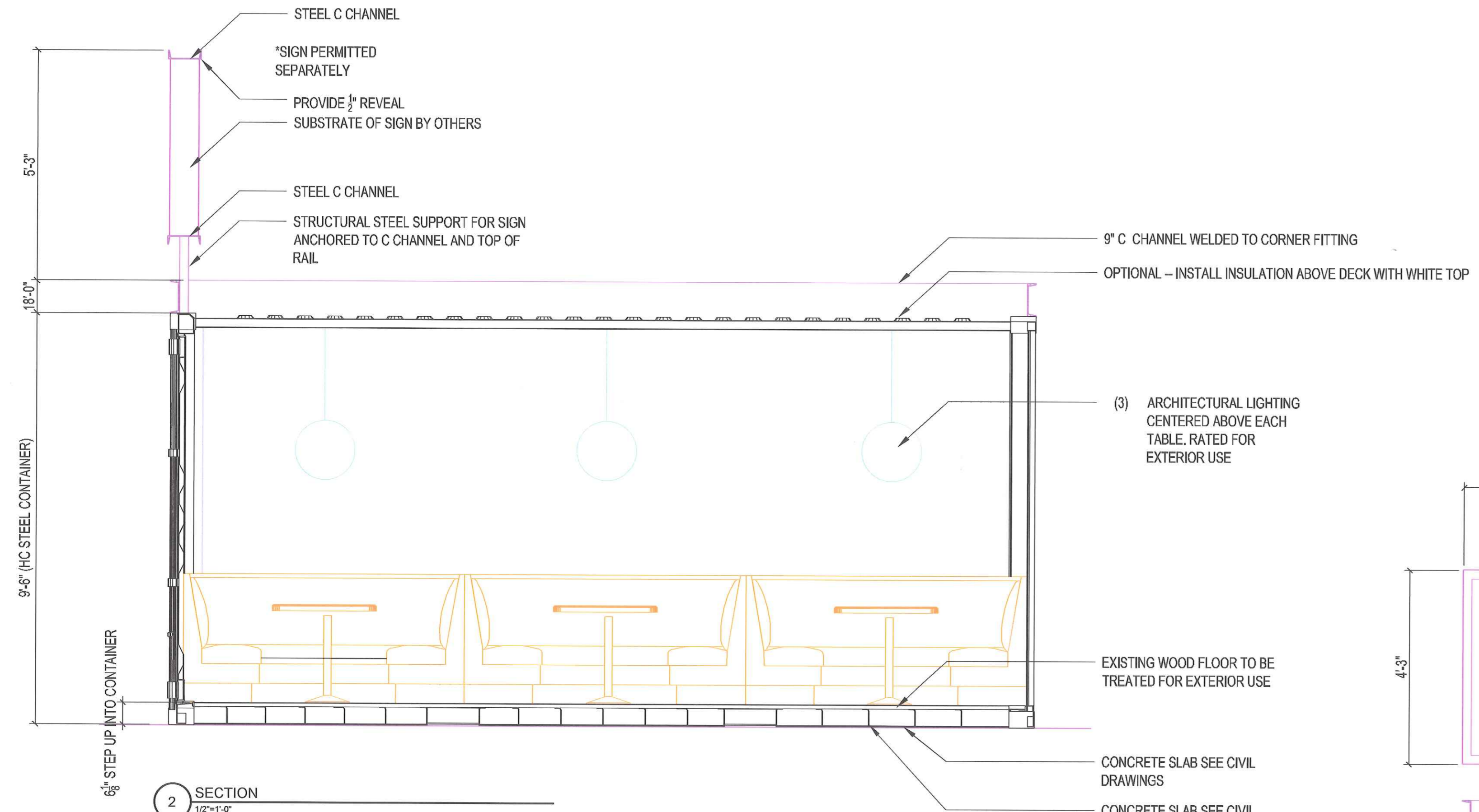
287 PRINCE AVE. SUITE 288  
ATHEENS, GEORGIA  
O. 706.850.1330

Drawing Title	
EXTERIOR ELEVATIONS - INTERIOR BUILDOUT	
Date	Project Number
4.15.2022	2020-36
File name	
Drawing Number	

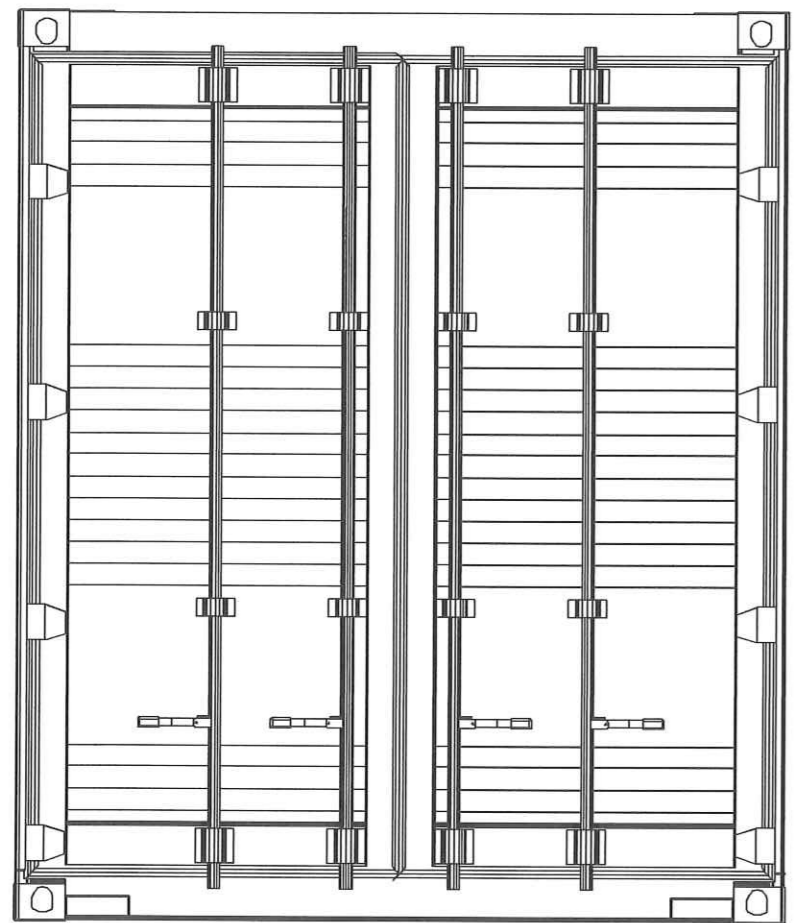
**A-1.3**



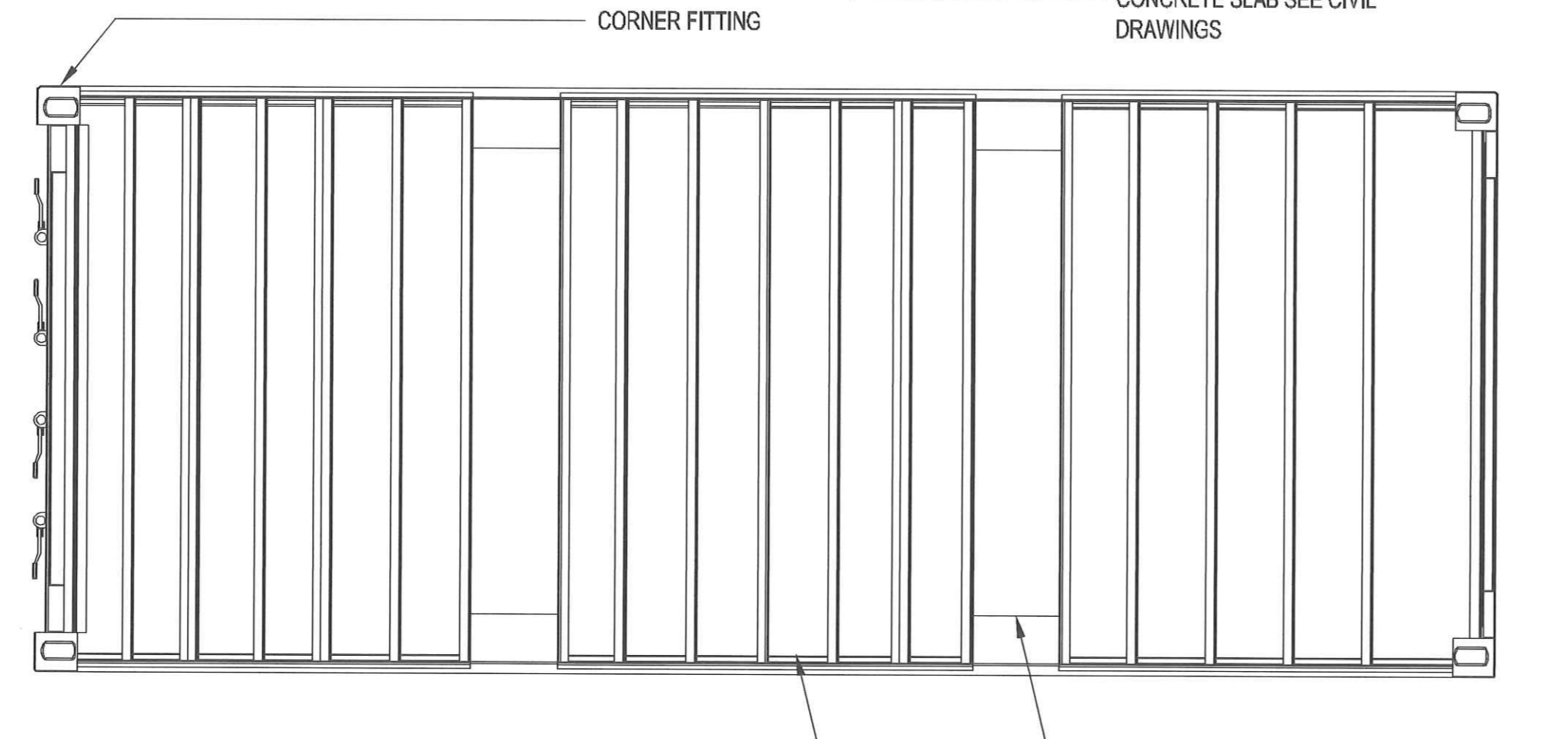
1 PLAN VIEW  
1/2"=1'-0"



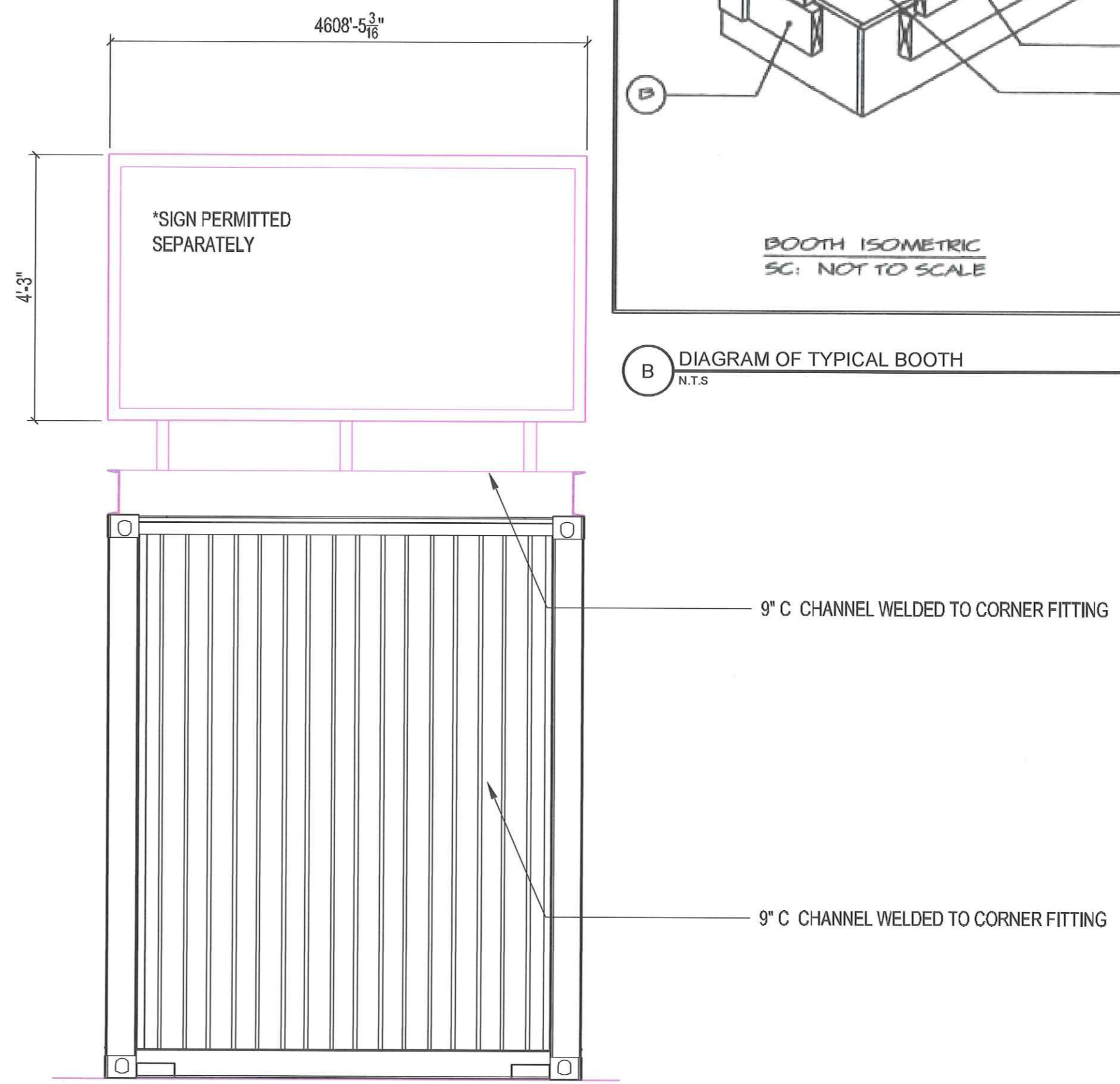
2 SECTION  
1/2"=1'-0"



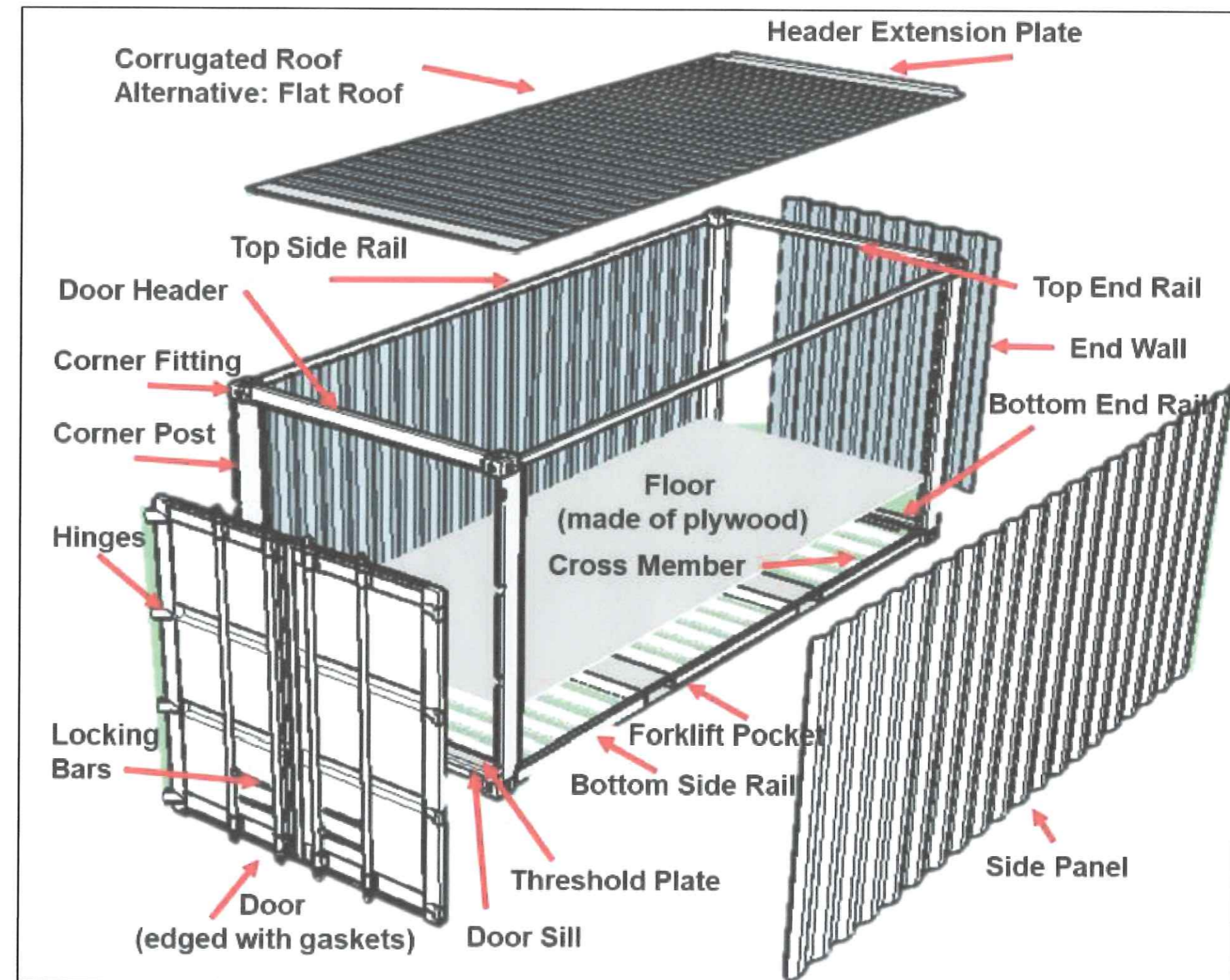
5 EXTERIOR DOOR ELEVATION (FOR REFERENCE)  
1/2"=1'-0"



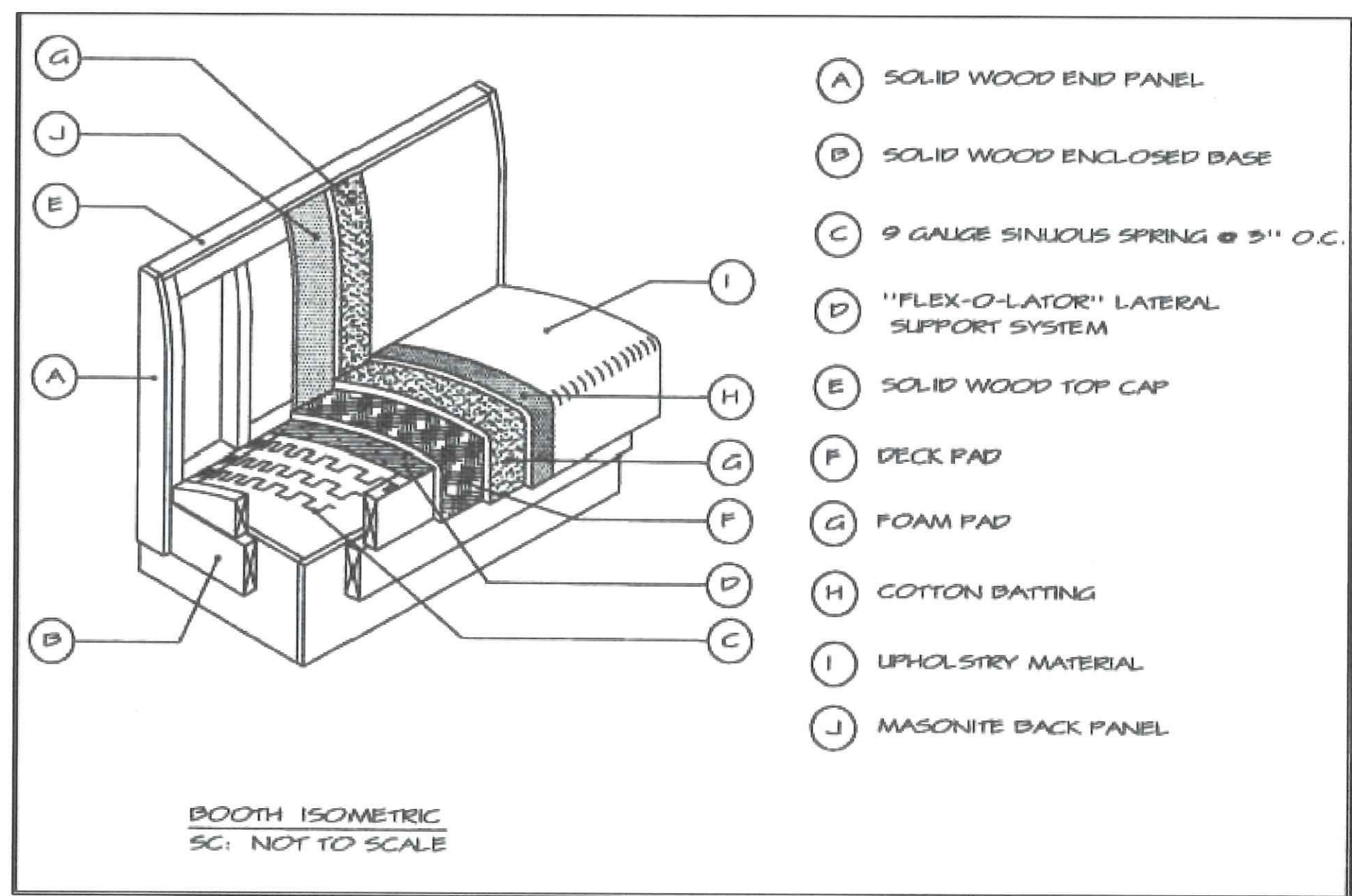
4 TYPICAL FRAMING OF STEEL CONTAINER AT FLOOR  
1/2"=1'-0"



3 END ELEVATION  
1/2"=1'-0"



A DIAGRAM OF SHIPPING CONTAINER (VARIES PER CONTAINER)  
N.T.S.



B DIAGRAM OF TYPICAL BOOTH  
N.T.S.

1. ALL WOOD ELEMENTS TO BE CONSTRUCTED OUT OF PRESSURE TREATED WOOD
2. ALL EXTERIOR FABRIC AND OR COVERINGS TO BE RATED FOR EXTERIOR USE
3. ITEM I,H,C, G, F AND D OPTIONAL

THIS DRAWING IS THE PROPERTY OF ARCHITECTURE & IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT WRITTEN APPROVAL. IT IS ONLY TO BE USED FOR THE PROJECT & SITE SPECIFICALLY IDENTIFIED HEREIN & IS NOT TO BE USED ON ANY OTHER SITE. IT IS TO BE RETURNED UPON REQUEST. E+E ARCHITECTURE AND IS PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND HAS BEEN COPYRIGHTED E+E ARCHITECTURE INC. © 2022 OWNERSHIP OF DOCUMENTS IS NONTRANSFERABLE.

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CONSULTING ENGINEERS:  
CIVIL ENGINEER:  
KOOONS ENVIRONMENTAL DESIGN, INC.  
675 PULASKI STREET, SUITE 2000  
ATHENS, GA 30601  
(706) 353-3838

STRUCTURAL ENGINEER:  
GWN ENGINEERING SERVICES, LLC  
1971 FM ROCK ROAD  
WATKINSVILLE, GA 30677  
(770) 232-0872

JEC DEVELOPMENT  
(SHELL DRAWINGS)  
129 N. WAYNE ST.  
MONROE, GA 30655

Seal:  
STATE OF GEORGIA  
CHRISTOPHER C. EVANS  
REGISTERED ARCHITECT  
08.31.2022

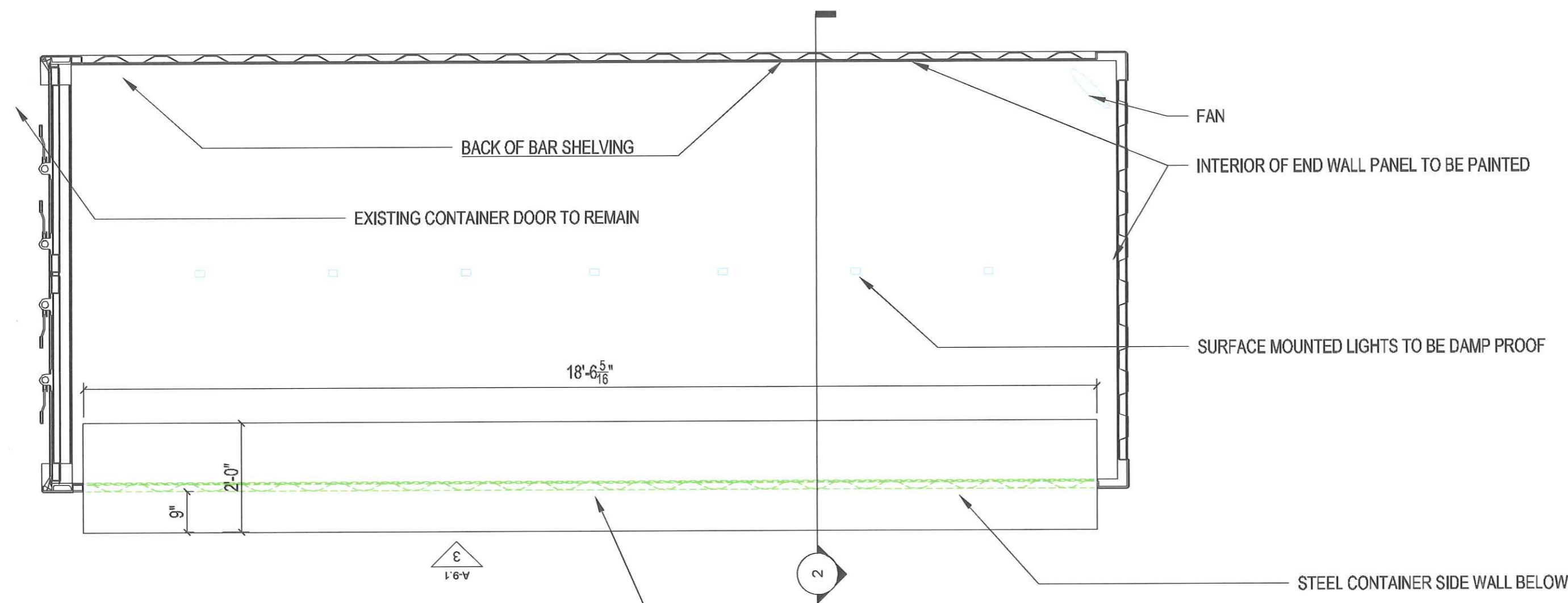
No.	Date	Issue Notes



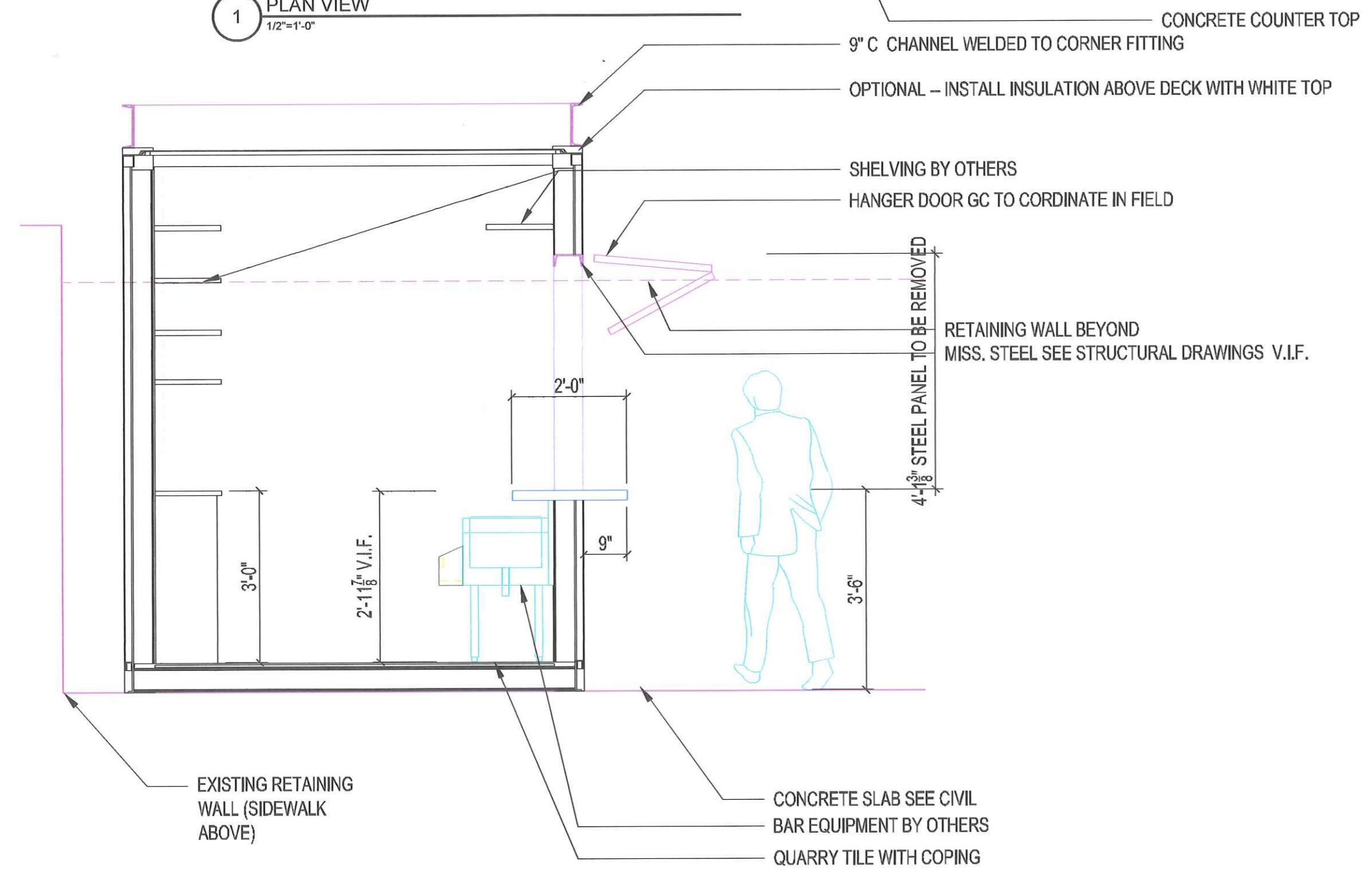
STEEL CONTAINER  
OUTDOOR SEATING

Date: 08.17.22 Project Number: 2020-36  
CAD File Name: 2020-36

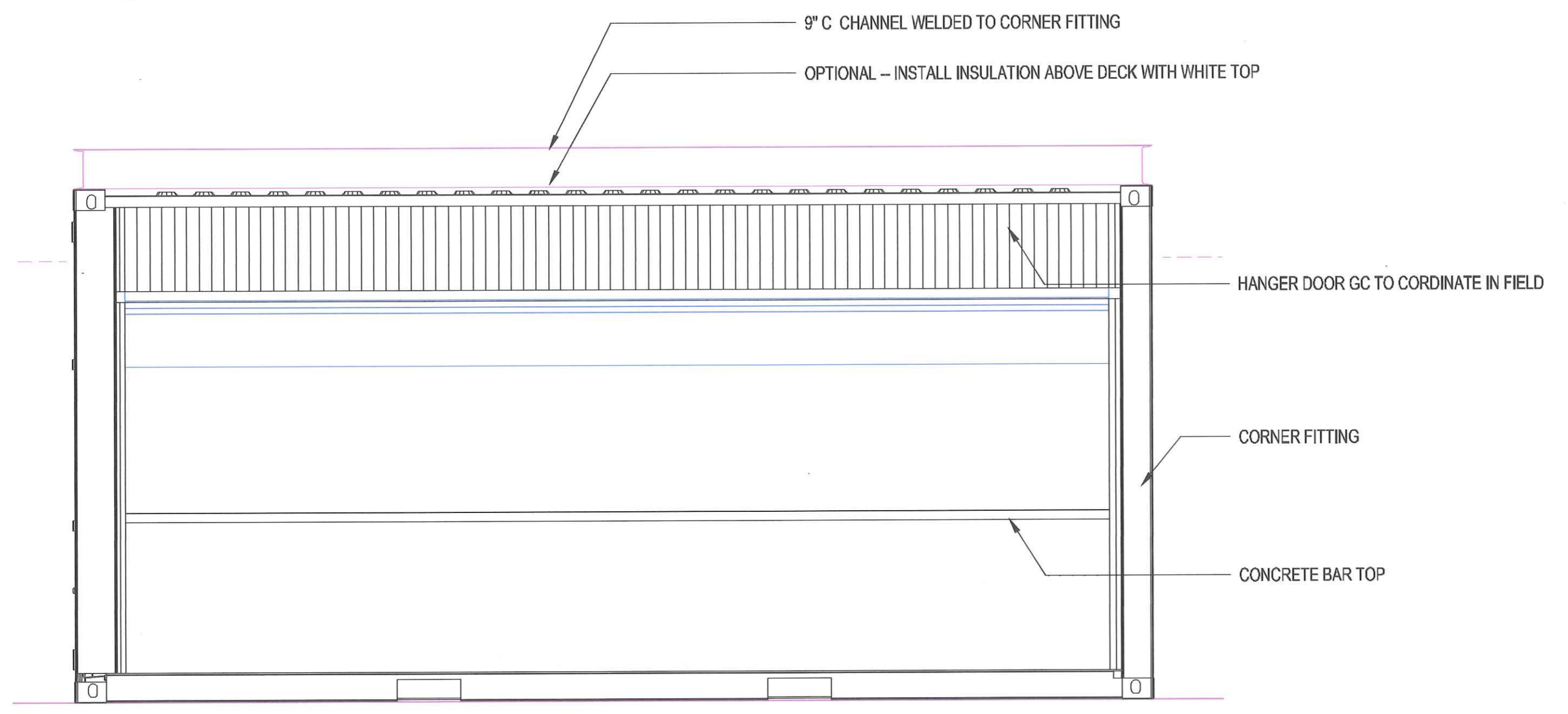
Sheet Number: A-9.0



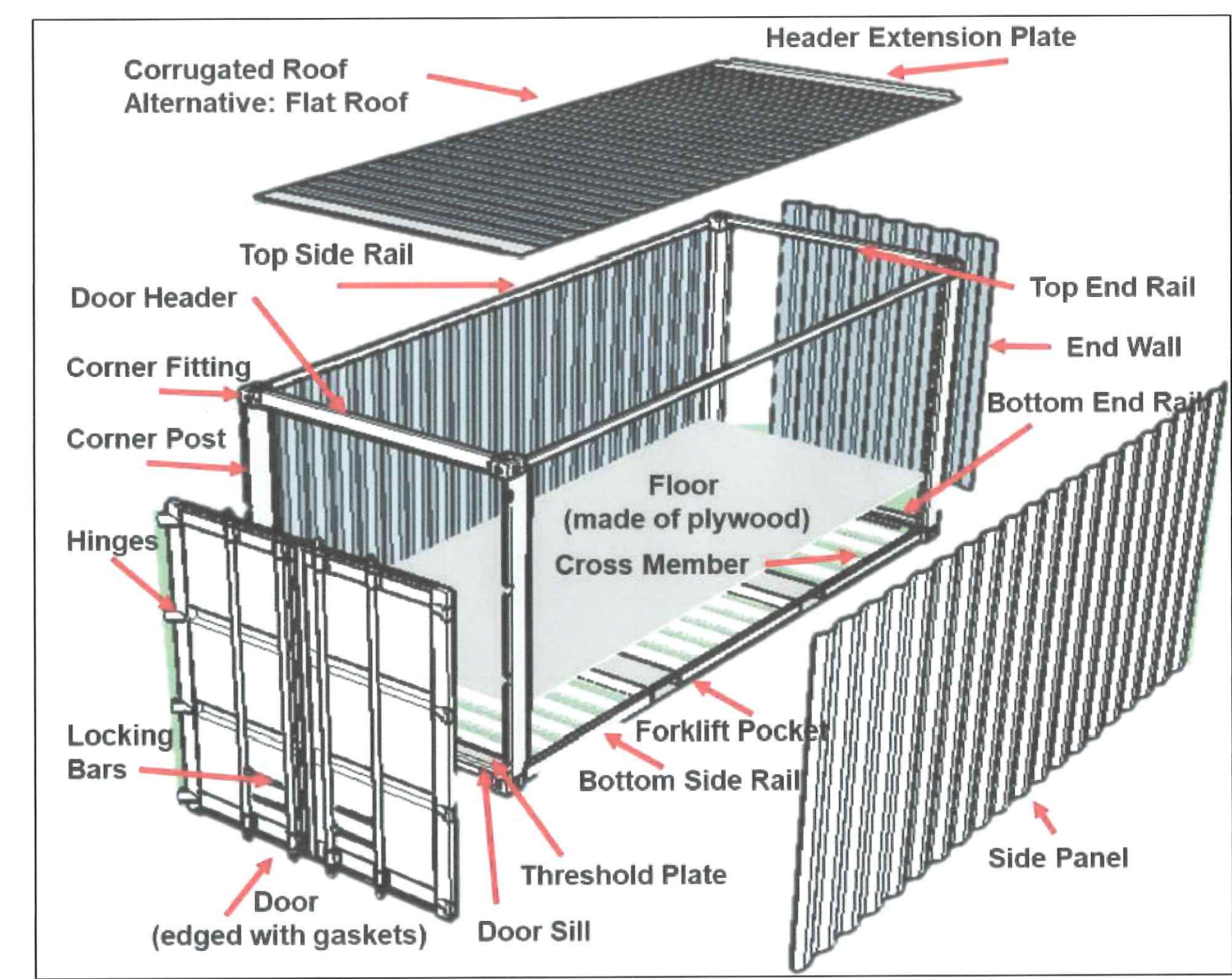
1 PLAN VIEW  
1/2"=1'-0"



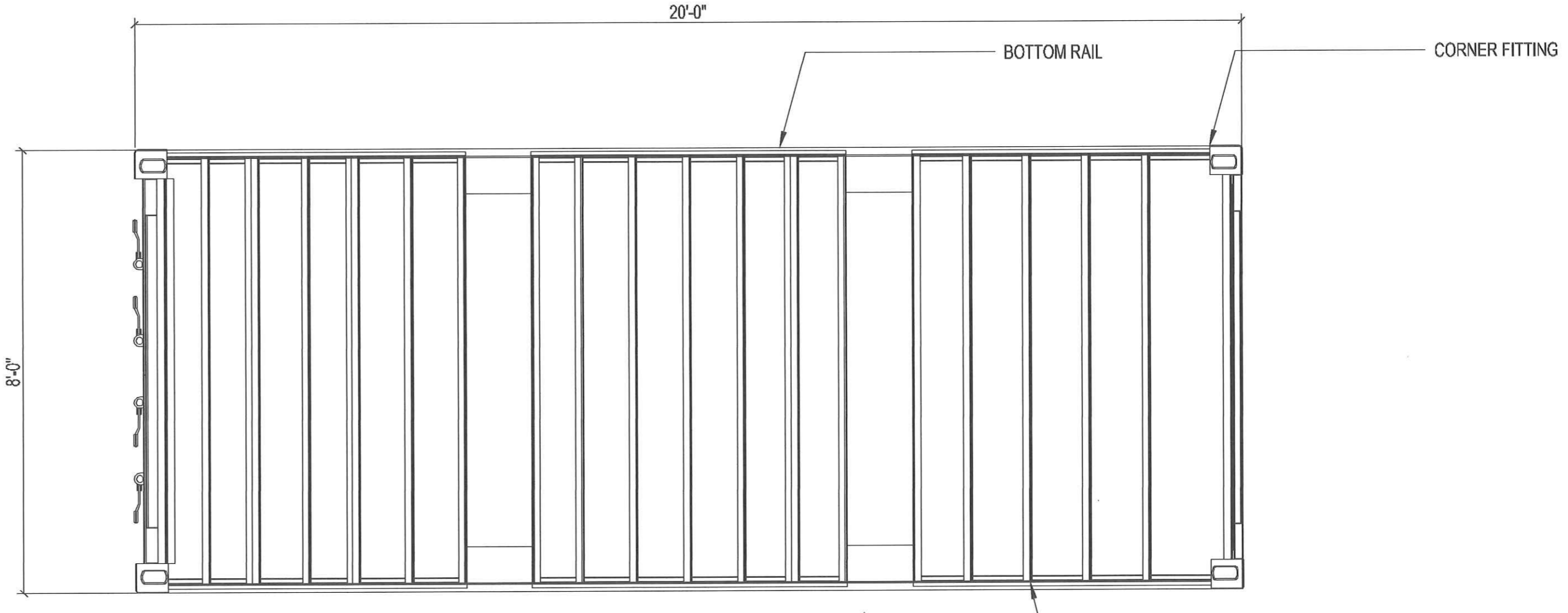
2 SECTION  
1/2"=1'-0"



3 SIDE ELEVATION  
1/2"=1'-0"



A DIAGRAM OF SHIPPING CONTAINER (VARIES PER CONTAINER)  
N.T.S.



4 TYPICAL FRAMING OF STEEL CONTAINER AT FLOOR  
1/2"=1'-0"

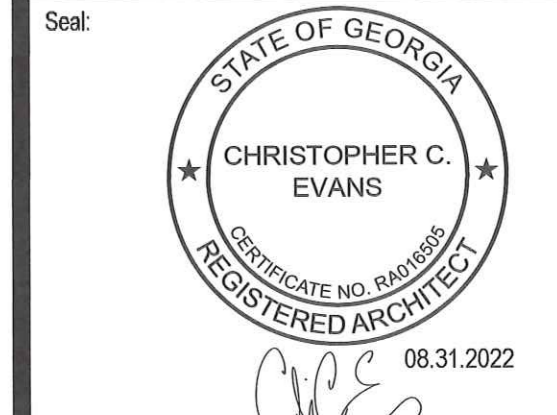
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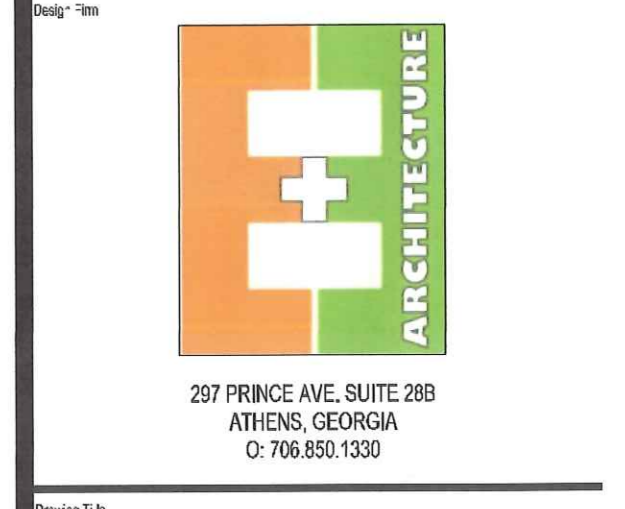
CONSULTING ENGINEERS:  
CIVIL ENGINEER:  
KOKOS ENVIRONMENTAL DESIGN, INC.  
675 Pulaski Street, Suite 2000  
Athens, GA 30601  
(706) 353-3838

STRUCTURAL ENGINEER:  
GINN ENGINEERING SERVICES, LLC  
1971 Flat Rock Road  
Wadsworth, GA 30077  
(678) 232-8972

JEC DEVELOPMENT  
(SHELL DRAWINGS)  
129 N. WAYNE ST.  
MONROE, GA 30655



No.	Date	Issue Notes



STEEL CONTAINER  
OUTDOOR BAR

Date: 08.17.22  
Subject Number: 2020-36

Drawing Number: A-9.1



**CITY OF MONROE**  
**APPLICATION FOR A**  
**CERTIFICATE OF**  
**APPROPRIATENESS**

**★ PUBLIC HEARING INFO ★**

**PLANNING COMMISSION**  
**DATE: 11-15-22 TIME: 5:30 PM**

**MEETINGS ARE HELD IN THE**  
**COUNCIL CHAMBERS AT CITY HALL**  
**215 NORTH BROAD STREET**  
**FOR ADDITIONAL INFORMATION PLEASE CALL**  
**770-207-4674**





**Planning  
City of Monroe, Georgia**

**CERTIFICATE OF APPROPRIATENESS STAFF REPORT**

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**APPLICATION SUMMARY**

**CERTIFICATE OF APPROPRIATENESS CASE #:** 1711

**DATE:** November 1, 2022

**STAFF REPORT BY:** Brad Callender, City Planner

**APPLICANT NAME:** Sevan Multi-Site Solutions

**PROPERTY OWNER:** Made to Order Holdings

**LOCATION:** South side of Pavilion Pkwy. and the north side of US Hwy 78 – 701 Pavilion Pkwy.

**ACREAGE:** ±1.55

**EXISTING ZONING:** PCD (Planned Commercial District)

**EXISTING LAND USE:** Undeveloped

**ACTION REQUESTED:** The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a restaurant.

**STAFF RECOMMENDATION:** Staff recommends approval of this Certificate of Appropriateness with conditions.

**DATE OF SCHEDULED MEETING**

**PLANNING COMMISSION:** November 15, 2022

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**REQUEST SUMMARY**

**CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:**

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a restaurant, associated parking and landscaping.

**PROPOSED PROJECT SUMMARY:**

- Fast-Food Restaurant with Drive-Thru Window – Whataburger
  - Total Building Floor Area – 3,895 Sf
  - Façade Materials – combination of brick and architectural metal siding with storefront type windows and doors
  - Access – Shared access drive off Pavilion Pkwy.
  - Parking – 42 Parking Spaces (41 shown on multiple plans)
  - Landscaping – 20’ landscape buffers along Pavilion Pkwy. and US Hwy 78

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**STAFF ANALYSIS**

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

**643A.1 – Site Planning:**

The proposed building is a typical sized fast-food restaurant building. The building is oriented on the lot in a perpendicular manner to Pavilion Pkwy. and US Hwy 78 with parking on the western side of the lot and a drive-through window on the east side of the building. The site has established access off Pavilion Pkwy. that was installed in the development of Pavilion Pkwy. The lot is intended to have shared access through the lot to each lot adjoining the site. The development appears to meet the general intent of the Site Planning Requirements in Section 643A.1(1) of the Zoning Ordinance.

**643A.2 – Architecture:**

The proposed façade of the restaurant building will be a combination of brick and architectural metal siding and glass storefront windows and doors. The roof of the building will be a dual-parapet roof style. The proposed building appears to meet the intent of the Architectural requirements under Section 643A.2.

**643A.3 – Pavement:**

A proposed through-access drive 24-feet in depth will be located between the restaurant building and the right-of-way of Pavilion Parkway. All parking on the site will be located to the side of the proposed restaurant building. The pavement areas proposed throughout the site appears to comply with the general and area specific criteria outlined in Section 643A.3 of the Zoning Ordinance.

**643A.4 – Landscaping:**

The submitted development proposes to include landscaping along Pavilion Pkwy. and US Hwy 78 and throughout the site. Landscaping along Pavilion Pkwy. and US Hwy 78 will be inside a 20-foot landscape buffer that will contain a mixture of shrubs, medium sized trees, and Bermuda grass. Bermuda grass and shade trees will also be installed adjacent to parking spaces. The landscaping proposed in the submitted development plans appears to comply with the landscaping criteria outlined in Section 643A.4 of the Zoning Ordinance.

**643A.5 – Signs:**

The application includes the entire sign package proposal for the fast-food restaurant. A monument sign will be placed along Pavilion Pkwy. The monument sign will have external illumination. Directional and menu signs will be located inside the lot. The building will have wall signs on each wall face. The signs are proposed to have back-lit, or halo lighting for most of the signs except for the restaurant’s logo signage. The logo sign is proposed to be internally illuminated on three of the wall faces. The pattern book for the Monroe Pavilion project (page 4.1B, Section 1210.2 (18) discourages any internal illumination of wall signs. The City of Monroe Corridor Design Overlay requirements do not permit any signs to be internally illuminated (Section 643A.5(e)). Staff has added a condition at the end of this report to address the internal illumination of signs on the site. All other signs proposed appear to meet the intent of the signage criteria outlined in Section 643A.5 of the Zoning Ordinance.

**643A.6 – Illumination:**

A lighting plan was not included with the development plans. Any lighting added to the site will be required to comply with the Illumination Criteria for the Corridor Design Standards and Guidelines outlined in Section 643A.6 of the Zoning Ordinance.

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**STAFF RECOMMENDATION**

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to construct a fast-food restaurant with drive-thru windows, subject to the following condition:

1. Signs on the site shall not be internally illuminated. Back-lit, or halo-lit style illumination is permissible and the preferred illumination of signage on the site.



# City of Monroe

215 N. Broad Street  
Monroe, GA 30655  
(770) 207-4674

## PLANNING & ZONING MTG PERMIT

PERMIT #:	1711	DESCRIPTION:	Planning Commission -WhataBurger
JOB ADDRESS:	701 PAVILION PKWY	LOT #:	
PARCEL ID:	M0050045K00	BLK #:	
SUBDIVISION:		ZONING:	PCD
ISSUED TO:	Sevan Multi-Site Solutions	CONTRACTOR:	Sevan Multi-Site Solutions
ADDRESS:	3025 Highland Parkway	PHONE:	
CITY, STATE ZIP:	Downers Grove IL 60515	OWNER:	
PHONE:	478-731-9869	PHONE:	
PROP.USE:	COMMERCIAL	DATE ISSUED:	10/28/2022
VALUATION:	\$ 0.00	EXPIRATION:	4/26/2023
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
<b>FEE TOTAL</b>		\$ 100.00
<b>PAYMENTS</b>		\$ -100.00
<b>BALANCE</b>		\$ 0.00

NOTES:

The City of Monroe Planning Commission will here this request for building and site development at 701 Pavilion Pkwy at 5:30pm in the City Hall Auditorium located at 215 N. Broad St.

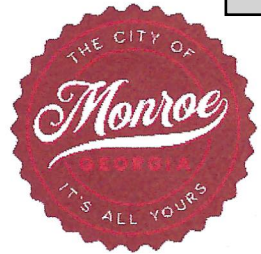
**NOTICE**

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

*Sam Harris*  
(APPROVED BY)

10/28/22  
DATE



### Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 701 Pavilion Parkway Parcel # M0050045B00

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction Renovation of Existing Structure, Demolition, Signage

Property Owner: Made To Order Holdings

Address: 11 Greenway Plaza, Suite 300, Houston, TX 77046

Telephone Number: 478.731.9869 Email Address: HarrisonP@MTOH.com


Applicant: <u>Sevan Multi-Site Solutions/Amy Pearce</u>	
Address: <u>3025 Highland Parkway, Suite 850, Downers Grove, IL 60515</u>	
Telephone Number: <u>253.508.4322</u>	Email Address: <u>amy.pearce@sevansolutions.com</u>

Estimated cost of project: \$2.5MM

Please submit the following items with your application:

- Photographs of existing condition of the property to show all areas affected
- Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- Written description of the project
- Owner authorization statement, if applicant is not the property owner
- Application Fee \$100

Please submit all application materials in hardcopy to the Code Department and digitally at lwilson@monroega.gov; Please submit two physical copies.

 10.14.2022  
 Signature of Applicant Date

10/14/2022

City of Monroe  
Planning & Development/Code Department  
215 N Broad Street  
Monroe, GA 30655

RE: Owner Authorization Statement  
701 Pavilion Parkway, Monroe, GA

I hereby designate Sevan Multi-Site Solutions/Amy Pearce to act in the capacity as my agent for submittal, processing, representation and/or presentation of zoning and permitting applications for the property listed above. The designated agent shall be the contact person for responding to all requests for information and for resolving issues of concern relative to this application.

Thanks,



Harrison Parker  
Director of Real Estate and Project Management  
Made to Order Holdings  
11 Greenway Plaza, Suite 3100  
Houston, TX

**Project Description**  
**PROPOSED WHATABURGER**  
701 Pavilion Parkway  
Monroe, GA

**Existing Conditions**

The proposed Whataburger is planned for 1.55-acre parcel in the Monroe Pavilion development. The land is currently a undeveloped outparcel of Monroe Pavilion.

**Proposed Improvements**

The proposed project is to build a prototypical Whataburger on the lot. This will include constructing a new building, including infrastructure and utilities to meet Made to Order Whataburger's operational needs. As required by the developer, a cross access drive will be installed to connect this site with the adjacent site to provide additional mobility and improved traffic circulation.

We will meet or exceed the requirements of the Monroe Zoning Ordinance, following both the PCD (Planned Commercial Development) and CDO (Corridor Design Overlay) zones. Landscape buffers will be added along all street frontages, and landscaping will be provided on the interior of the lot to buffer parking and equipment areas.

The building and site signage will comply with City of Monroe standards for the Corridor Design Overlay district, as will the site lighting.

The building will be approximately 3,900 square feet and will be clad in brick with architectural metal accent panels. Large storefront-type windows will wrap around the front dining area of the building creating transparency. There will be two drive through lanes that wrap around the back and side of the building allowing for a long queue without disrupting the circulation of traffic in the parking lot or cross access areas. We anticipate that even peak-hour traffic will be contained within the designated drive-through lanes.

**NOTICE TO THE PUBLIC  
CITY OF MONROE**

**A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for new development of a restaurant at 701 Pavilion Pkwy. (Parcel #M0050045K00).**

**The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on November 15, 2022 at 5:30 P.M. All those having an interest should be present to voice their interest at said public meeting.**

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**PLEASE RUN ON THE  
FOLLOWING DATE:**

**October 30, 2022**





CITY OF MONROE  
**APPLICATION FOR A  
CERTIFICATE OF  
APPROPRIATENESS**

★PUBLIC HEARING INFO★

**PLANNING COMMISSION**  
DATE: 11-15-22 TIME: 5:30 PM

MEETINGS ARE HELD IN THE  
COUNCIL CHAMBERS AT CITY HALL  
215 NORTH BROAD STREET  
FOR ADDITIONAL INFORMATION PLEASE CALL  
**770-207-4674**



REVISIONS

NO.	DATE	DESCRIPTION
0	10.14.2022	CERTIFICATE OF APPROPRIATENESS

CONSULTANT

SEAL



CUSTOMER

MADE TO ORDER HOLDINGS

PROJECT DESCRIPTION

WHATABURGER

PROJECT LOCATION

701 PAVILION PARKWAY  
MONROE, GA 30656

(WALTON COUNTY)

SHEET TITLE

LANDSCAPE PLAN

SHEET MANAGEMENT

PROJECT NO.:	MONROE-PAVILION
DATE:	
CRITERIA:	PT20M
PROJECT MANAGER:	T. KRATZ

SHEET NUMBER

LP-1

PLANT SCHEDULE

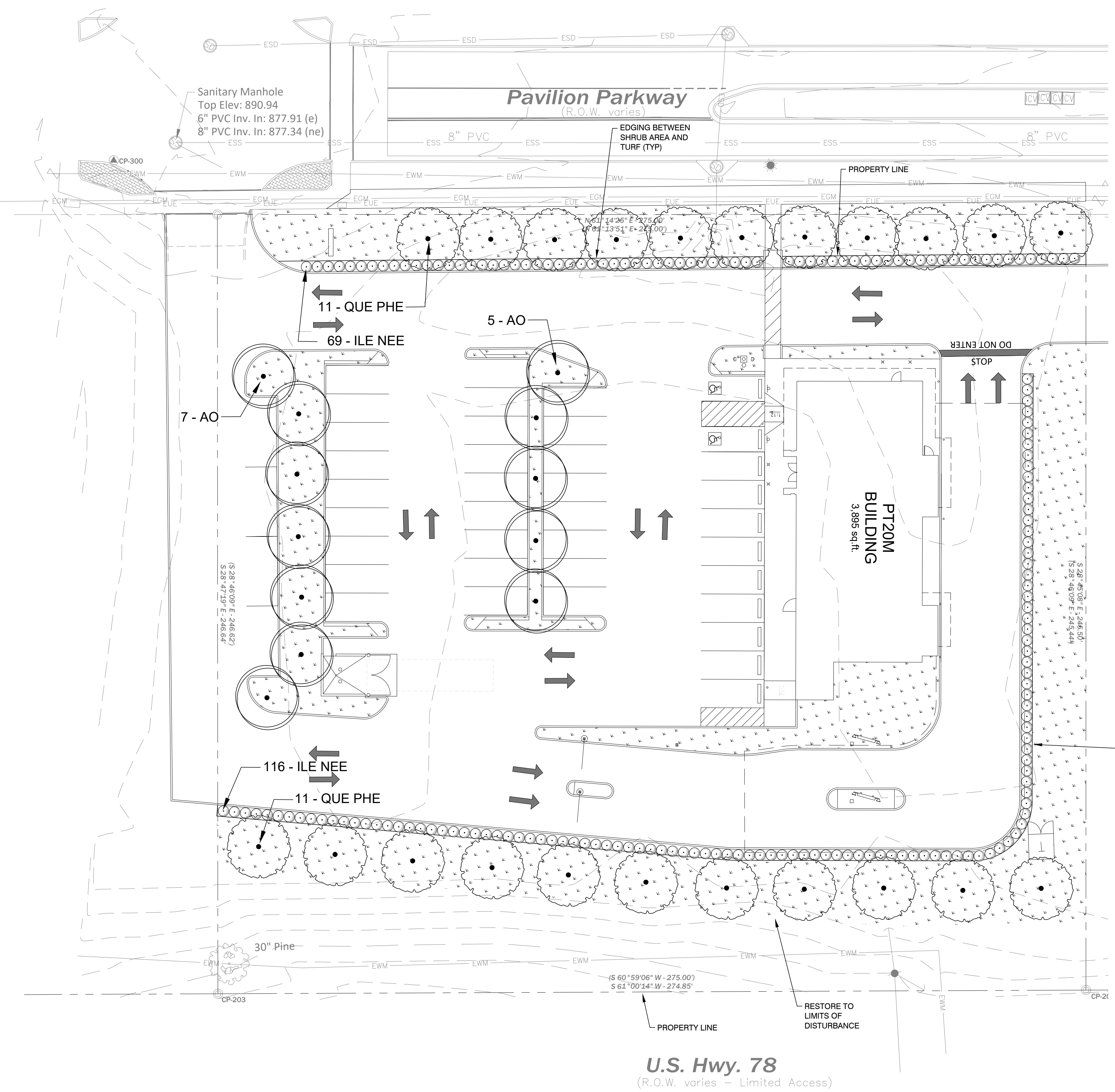
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	QUE PHE	22	QUERCUS PHELLOS / WILLOW OAK 10' - 12' TALL	3" CAL.	
	AO	12	ACER RUBRUM OCTOBER GLORY / RED MAPLE 10' - 12' TALL	3" CAL.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	ILE NEE	185	ILEX CORNUTA 'NEEDLEPOINT' / NEEDLEPOINT HOLLY 2' MIN. HT.	5 GAL.	
TURF	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	CYN HYB	16,507 SF	CYNODON DACTYLON '419 HYBRID' / BERMUDA GRASS	SOD	

LANDSCAPE REQUIREMENTS

TOTAL SITE AREA:	61,888 SF (1.55 ACRES)
STREET FRONTAGE TREES - CORRIDOR DISTRICT PAVILLION PARKWAY 1 TREE PER 25 LF FRONTAGE: 275 LF FRONTAGE / 25 = 11 TREES REQUIRED 11 TREES PROVIDED	
U.S. HWY 78 1 TREE PER 25 LF FRONTAGE: 275 LF FRONTAGE / 25 = 11 TREES REQUIRED 11 TREES PROVIDED	
PARKING LOT SCREENING EVERGREEN PARKING LOT SCREENING PROVIDED	
PERIMETER LANDSCAPING EVERGREEN PERIMETER SCREENING PROVIDED	
INTERIOR PARKING LOT LANDSCAPING 12% INTERIOR LANDSCAPING REQUIRED 19,386 SF PARKING AREA x 12% = 2,326 SF LANDSCAPING REQUIRED 2,934 SF INTERIOR LANDSCAPING PROVIDED (15.13%)	

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DEWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL 4" MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 1/4" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:  
A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.  
B. ALL HARDCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.  
C. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

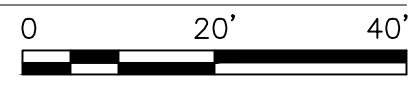
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 4" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE PLAN

SCALE: 1" = 20'-0"





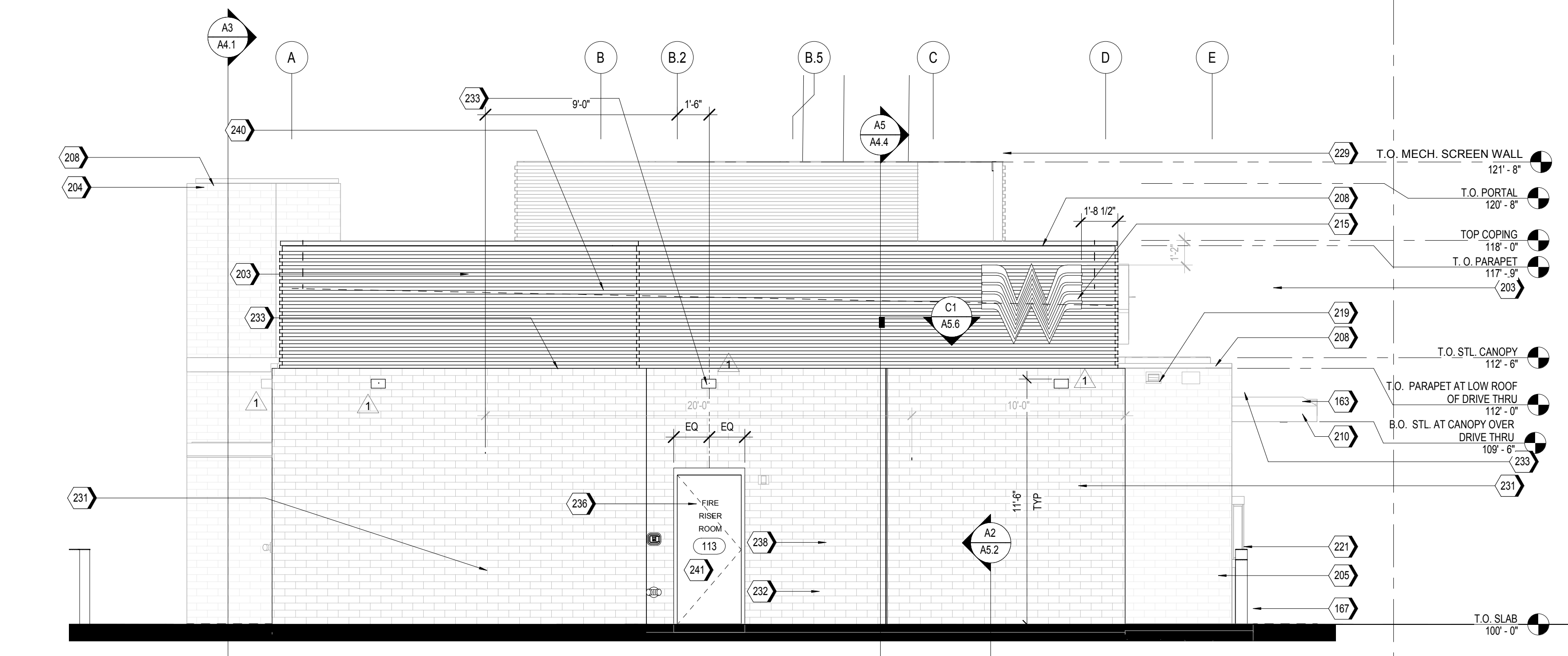
**SEAL**

I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE BUILDING CODES AND ORDINANCES OF MONROE, LA.

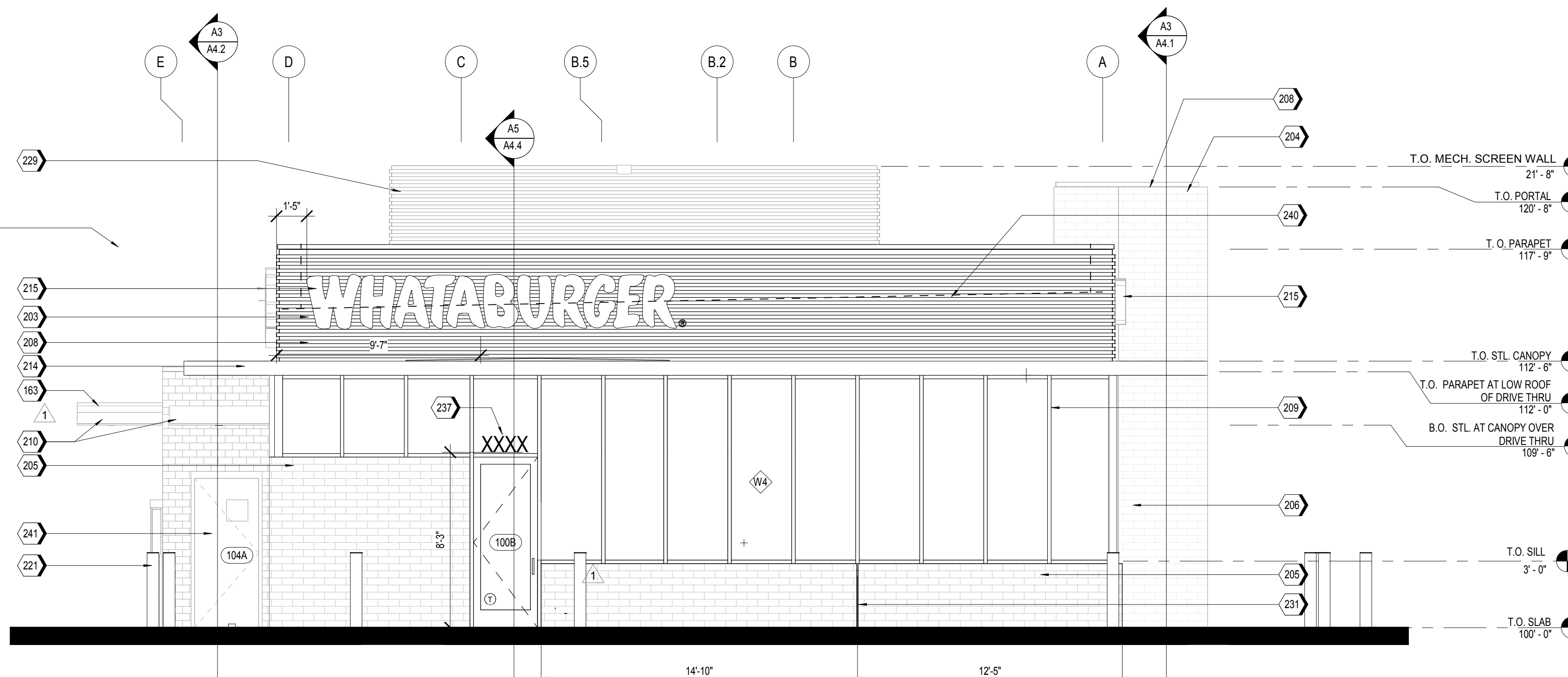
REV	DESCRIPTION	DATE
1	PRELIMINARY DESIGN PACKAGE	09.09.2022

**NOTES**

- EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



**A2 WEST ELEVATION**  
1/4" = 1'-0"



**A1 EAST ELEVATION (R.O.W)**  
1/4" = 1'-0"

**KEYNOTES**

163	TPO MEMBRANE ROOFING SYSTEM, RE: A1/A5.3
167	PIPE BOLLARDS: IDEAL SHIELD: URBAN BRONZE, PANTONE 2336 XGC, RE: D3/S5.1
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02
205	BR-01: BRICK VENEER
206	BR-02
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
210	PRE-FINISHED DRIVE-THRU CANOPY
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
229	MP-03: ROOF SCREEN WALL, RE: STRUCTURAL
231	MASONRY EXPANSION JOINT
232	FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL

**KEYNOTES**

236	RISER ROOM SIGN (PER 2015 IFC CHAPTER 5 - APPROVED SIGNS) SHALL BE CONSTRUCTED OF DURABLE MATERIALS. PERMANENTLY INSTALL AND READILY VISIBLE LETTERS SHALL BE A MINIMUM OF 2" WITH A MINIMUM 3/8" STROKE. THE COLORS OF THE LETTERS SHALL BE CONTRASTING WITH RESPECT TO BACKGROUND.
237	BUILDING ADDRESS 6" HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10' A.F.G.
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS. LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
240	DASHED LINE INDICATES TOP OF DECK.
241	PAINT (PT-5) EXTERIOR DOORS.

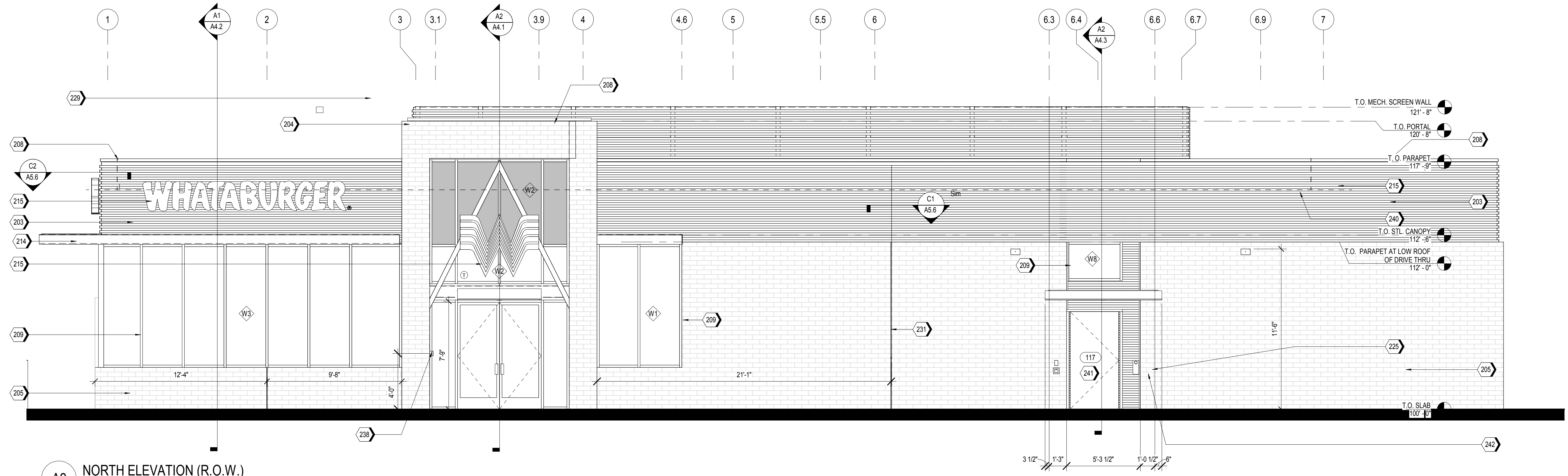
PROTOTYPE: PT20M  
**701 PAVILION PKWY**  
**MONROE, GA 30656**



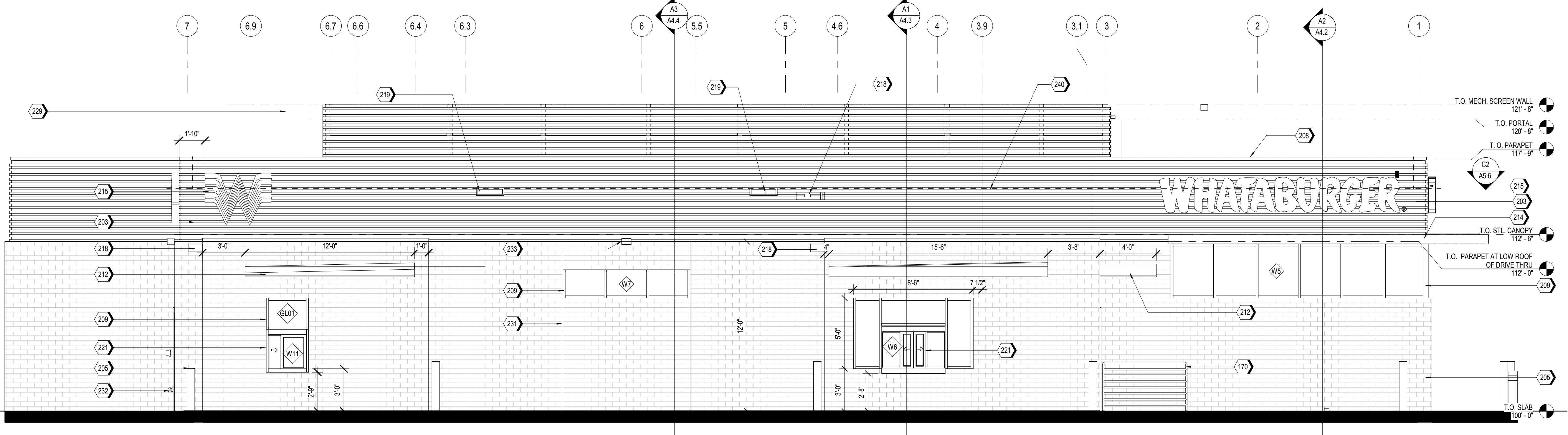
Project No.: 2020XX-XX  
Client Project No.: 1396  
Drawing Title: **EXTERIOR ELEVATIONS**  
Date: 05.10.21 Phase: PERMIT  
Designed: WB Drawing No.: **A2.1**  
Drawn: BKN  
Checked: AMF

9/9/2022 9:58:56 AM Z:\Shared\Clients\Made To Order Holdings\WB\New Builds\Monroe - Pavilion Pkwy\AE\05 CDs\Monroe PT20M\_ARCH\_R21.rvt

REV	DESCRIPTION	DATE
1	PRELIMINARY DESIGN PACKAGE	09.09.2022



**A2 NORTH ELEVATION (R.O.W.)**  
1/4" = 1'-0"



**A1 SOUTH ELEVATION**  
1/4" = 1'-0"

KEYNOTES	
170	GUARDRAIL RE B4/A0.1
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02
205	BR-01: BRICK VENEER
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
212	DRIVE-THRU DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.5
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
218	PREFINISHED CONDUCTOR HEAD AND DOWNSPOUT, COLOR TO MATCH PAINT PT-5, COORDINATE SIZE WITH REGIONAL RAINFALL DATA, RE B3/A5.4
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
229	MP-03: ROOF SCREEN WALL, RE: STRUCTURAL
231	MASONRY EXPANSION JOINT
232	FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL

KEYNOTES	
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
240	DASHED LINE INDICATES TOP OF DECK
241	PAINT (PT-5) EXTERIOR DOORS
242	CO2 PORT AND DOOR BUZZER

**NOTES**  
1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

PROTOTYPE: PT20M  
**701 PAVILION PKWY**  
**MONROE, GA 30656**



Project No.:	2020XX-XX
Client Project No.:	1396
Drawing Title:	<b>EXTERIOR ELEVATIONS</b>
Date:	05.10.21
Phase:	PERMIT
Designed:	WB
Drawn:	BKN
Checked:	AMF
Drawing No.:	<b>A2.2</b>

9/9/2022 9:59:16 AM Z:\Shared\Clients\Made To Order Holdings\WB\New Builds\Monroe - Pavilion Pkwy\AE\05 CDs\Monroe PT20M\_ARCH\_R21.rvt

**SEAL**

I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE BUILDING CODES AND ORDINANCES OF COVINGTON, GA.

REV	DESCRIPTION	DATE



PROTOTYPE: PT20M



Project No.: 2020XX-XX

Client Project No.: 1396

Drawing Title:

**EXTERIOR RENDERINGS**

Date: 05.10.21 Phase: PERMIT

Designed: Designer Drawing No.:

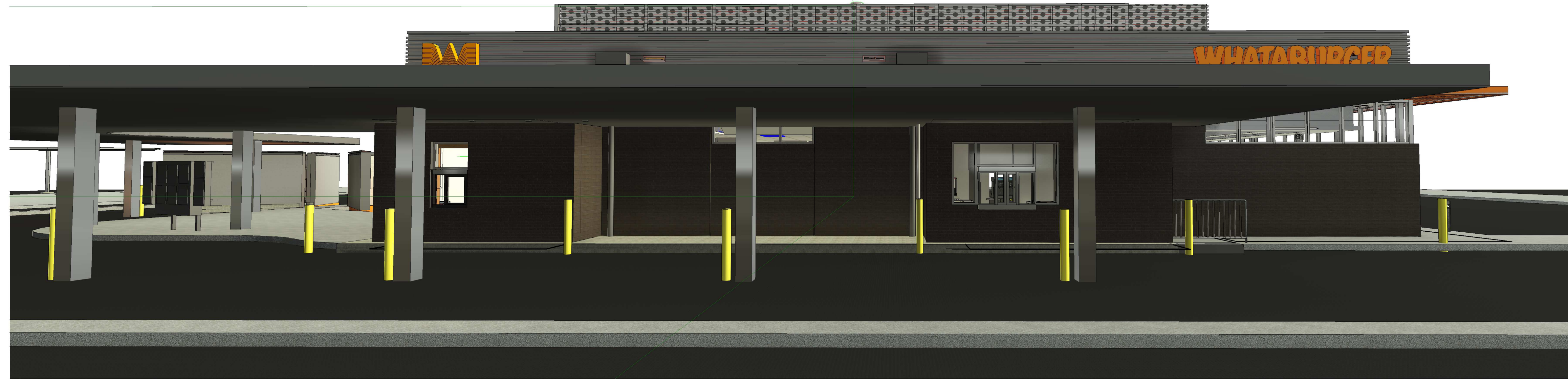
Drawn: Author

Checked: Checker

**A2.3**



REV	DESCRIPTION	DATE



PROTOTYPE: PT20M



Project No.: 2020XX-XX

Client Project No.: 1396

Drawing Title:

**EXTERIOR RENDERINGS**

Date: 05.10.21 Phase: PERMIT

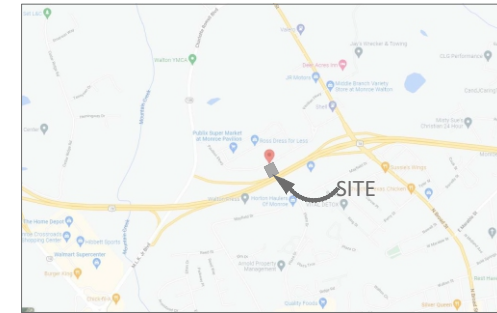
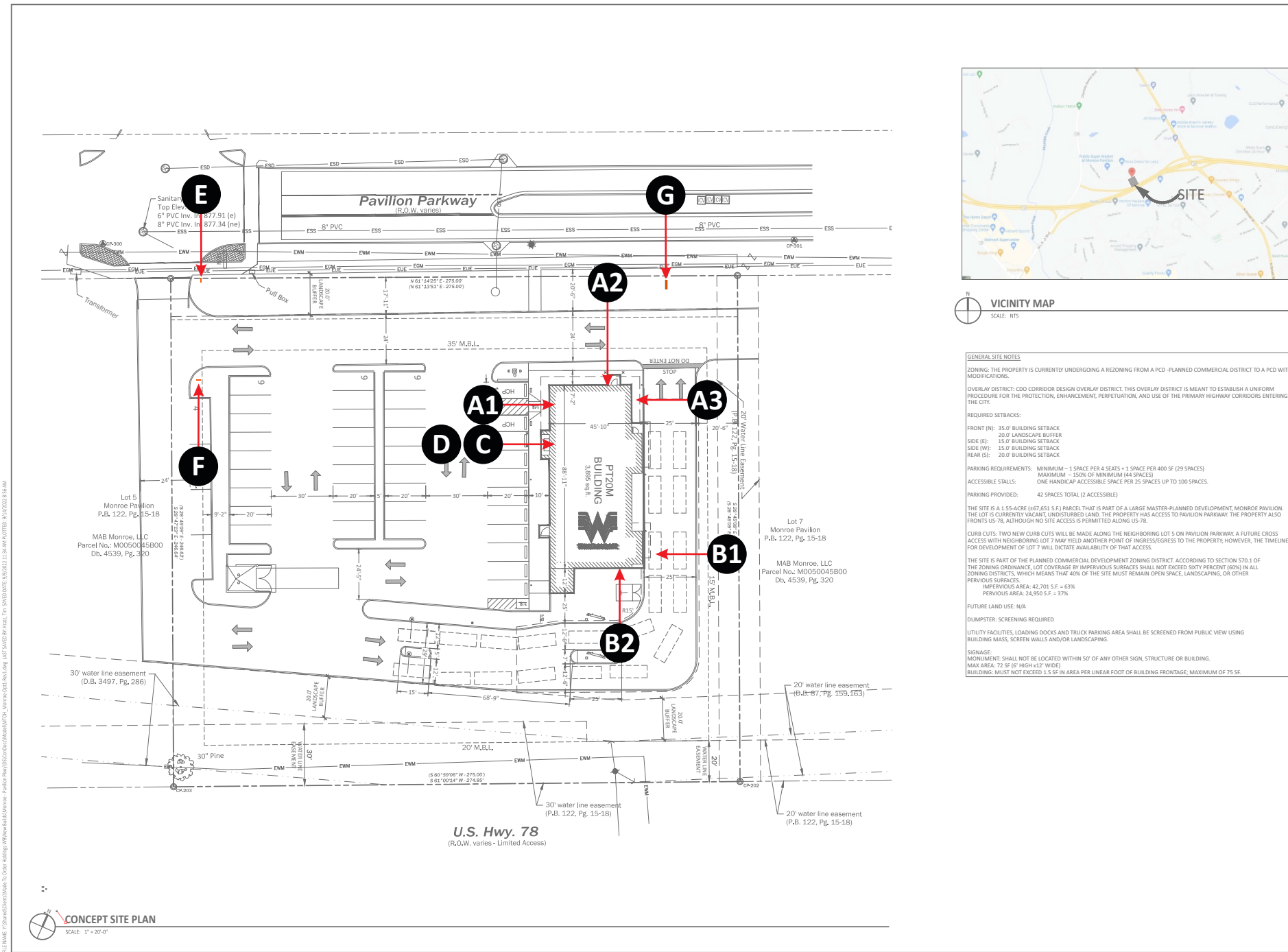
Designed: Designer Drawing No.:

Drawn: Author

Checked: Checker

**A2.4**

Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation.



**sevan ENGINEERING**  
37704 Hills Tech Drive  
Farmington Hills, MI 48331  
Tel: 482-4466

Corporate Office:  
3025 Highland Parkway, Suite 850  
Downers Grove, IL 60515  
Tel: 630-291-1000  
www.sevanengineering.com

SEVEN PROPERTY CONSULTING (LICENSED CONSULTANT)

NO.	DATE	DESCRIPTION
1	05.31.2023	CLIENT REVIEW
2	07.31.2023	CLIENT REVIEW
3	09.01.2023	CLIENT REVIEW
4	09.14.2023	PRE-APP REVISIONS

CONSULTANT

SEAL

CUSTOMER

**MADE TO ORDER HOLDINGS**

**PROJECT DESCRIPTION**

**PROJECT LOCATION**

701 PAVILION PARKWAY  
MONROE, GA 30656

(BALCON COUNTY)

**SHEET TITLE**

CONCEPT SITE PLAN  
OPTION 1

**SHEET MANAGEMENT**

PROJECT NO.: 20230808R  
DATE: 08/08/23  
CRITERIA: T 08/08/23  
PROJECT MANAGER: T 08/08/23

**SHEET NUMBER**

**CP1.20**

SCALE 1/64" = 1'-0"

**Design #**  
0633779AR1

**Sheet** 1 of 10

**Client #**

**Address**  
701 Pavilion Pkwy,  
Monroe, GA

**Acct. Rep. Coordinator** DEBBIE MOLTZ  
MEGAN AUDERER

**Designer** IH

**Date** 10/13/22

**Approval / Date**

**Client**

**Sales**

**Estimating**

**Art**

**Engineering**

**Landlord**

**Revision/Date**

\*Standard PT20M signage on front elevation only, back letters no raceways  
\*Two of 4 tall 4.5 square feet directional non reflective vinyl, one of "Entrance way" and one of "DRIVE THRU/Arrow" (see Albertville #0629741 but not lit)  
\*One of 5' x 4' at G/H up-lit monument sign - no internally lit signage on this site  
R1(10-14-22)IH: See customer notes in reference folder  
Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq footage chart to show how we are maximizing allowable square footage.  
Add typical building signs to elevations where we are allowed.

**CHANDLER SIGNS**

chandler signs.com

**National Headquarters** 14201 Sovereign Road #101  
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(214) 902-2000 Fax (214) 902-2044

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San Antonio, TX 78232  
(210) 349-3804 Fax (210) 349-8724

**West Coast** 3220 Executive Ridge Dr  
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(760) 734-1708 Fax (760) 734-3752

**Northeast US** 2301 River Road  
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Louisville, KY 40206  
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**Florida** 2584 Sand Hill Point Circle  
Davenport, FL 33837  
(863) 420-1100 Fax (863) 424-1160

**Georgia** 111 Woodstone Place  
Dawsonville, GA 30534  
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**South Texas** PO BOX 125 206 Doral Drive  
Portland, TX 78374  
(863) 563-5399 Fax (361) 643-6533

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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

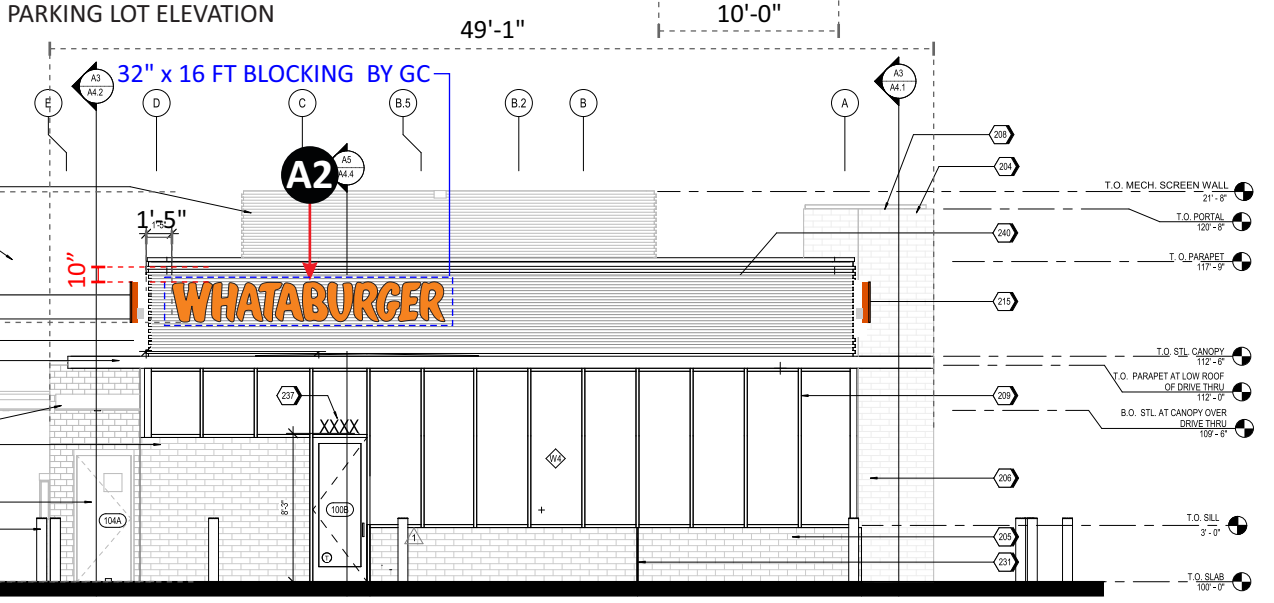
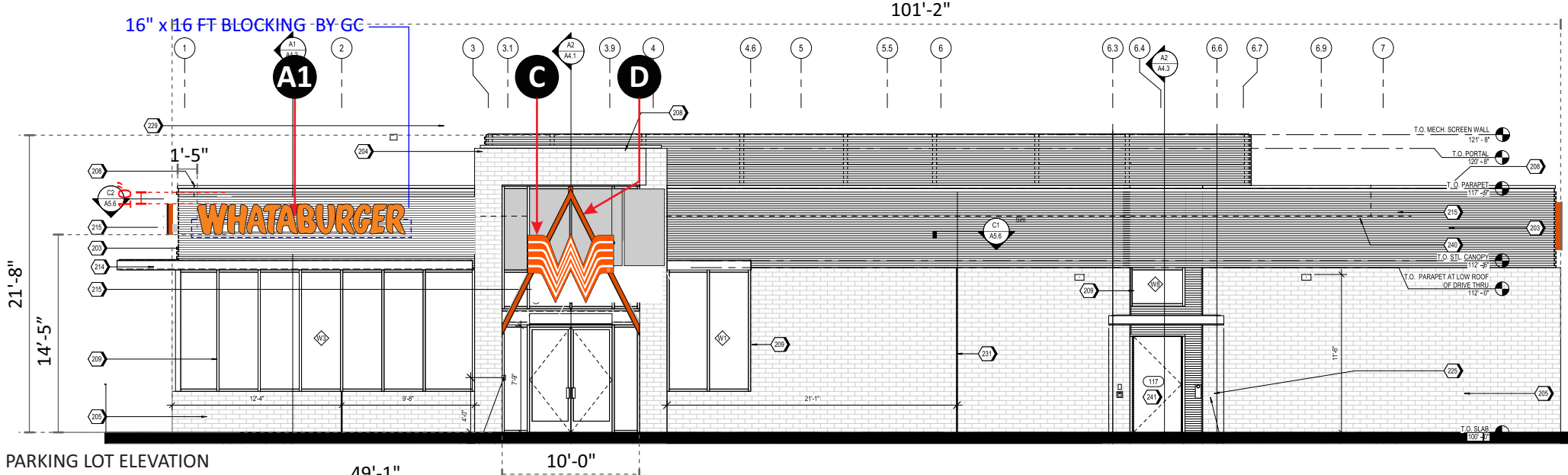
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).



SIGN ID	SQ FT EACH		
A1 A2 A3	34	(3)	102
B1 B2	15.32	(2)	30.64
C	31.25		31.25
D	NA		NA
<b>TOTAL</b>			<b>163.89</b>

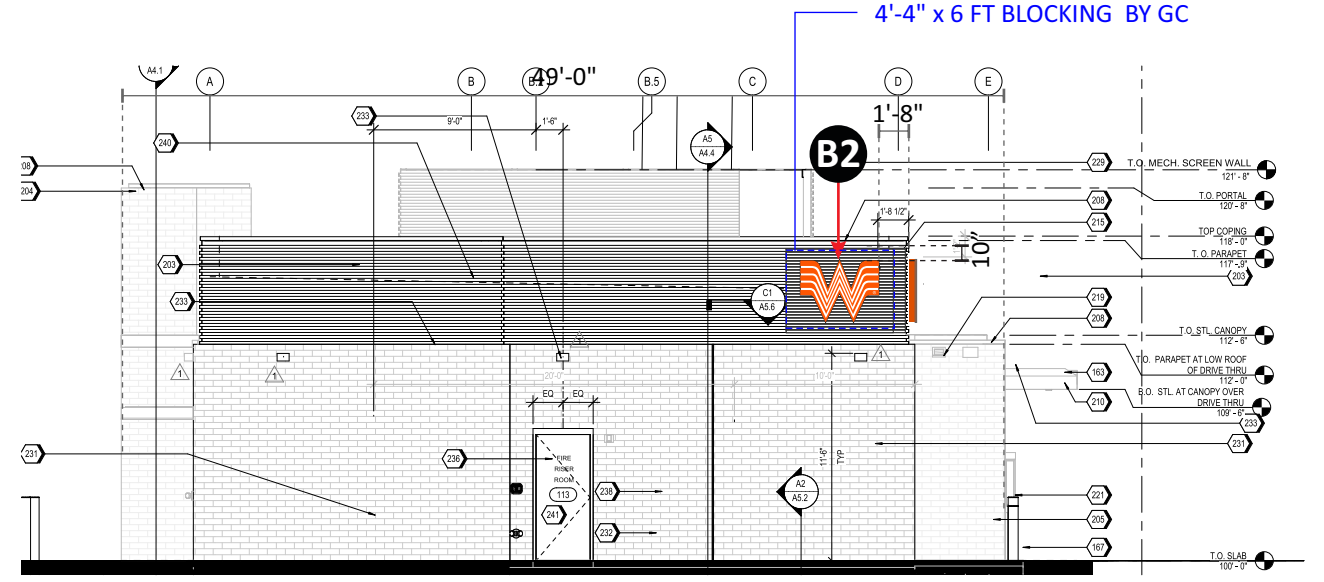
KEYNOTES	KEYNOTES
101. PROVIDE MECH. SCREEN WALL 121'-8"	204. MECH. SCREEN WALL 121'-8"
102. PROVIDE PORTAL 120'-8"	205. PORTAL 120'-8"
103. PROVIDE PARAPET 117'-7"	206. PARAPET 117'-7"
104. PROVIDE STIL CANOPY 112'-6"	207. STIL CANOPY 112'-6"
105. PROVIDE PARAPET AT LOW ROOF OF DRIVE THRU 112'-6"	208. PARAPET AT LOW ROOF OF DRIVE THRU 112'-6"
106. PROVIDE B.O. STL. AT CANOPY OVER DRIVE THRU 109'-8"	209. B.O. STL. AT CANOPY OVER DRIVE THRU 109'-8"
107. PROVIDE T.O. SILL 3'-0"	210. T.O. SILL 3'-0"
108. PROVIDE T.O. SLAB 100'-0"	211. T.O. SLAB 100'-0"

151.5 SQ FT

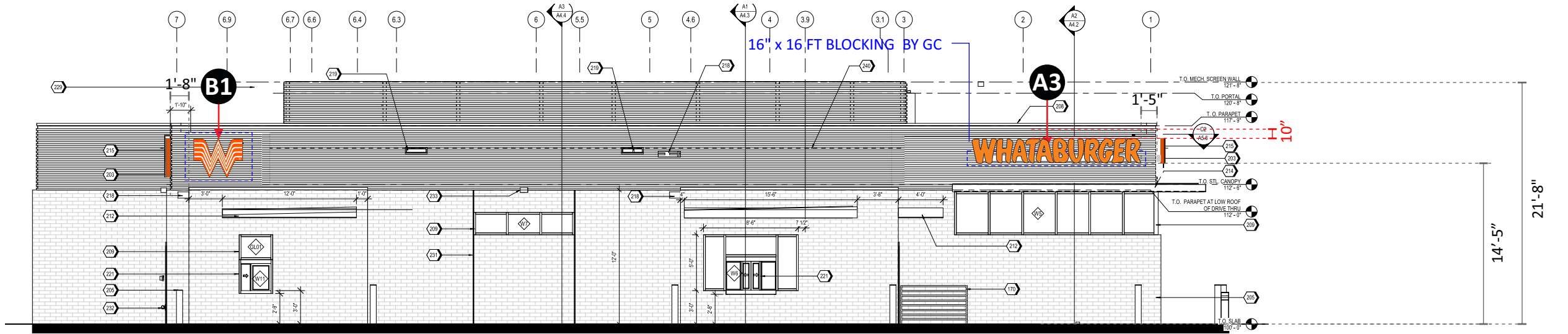


FRONT ELEVATION

73.6 SQ FT



BACK ELEVATION



DRIVE THRU ELEVATION

SCALE 3/32" = 1'-0"

<b>Design #</b>	0633779AR1
<b>Sheet</b>	2 of 10
<b>Client</b>	#
<b>Address</b>	701 Pavilion Pkwy, Monroe, GA
<b>Acct. Rep.</b>	DEBBIE MOLTZ
<b>Coordinator</b>	MEGAN AUERER
<b>Designer</b>	IH
<b>Date</b>	10/13/22
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	

\*Standard PT20M signage on front elevation only, back letters no raceways  
 Two of 4 tall 4.5 square feet directional non reflective vinyl, one of "Entrance window", one of "DRIVE THRU/Arrow" (see Alberta #0629741 but north)  
 One of 5' x 4' at 6' GAH up-lit monument sign - no internally lit signage on this site

R1(10-14-22)H: See customer notes in art reference folder  
 Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq footage chart to show how we are maximizing allowable square footage.  
 Add typical building signs to elevations where we are allowed.



**chandler signs.com**

**National Headquarters** 14201 Sovereign Road #101  
Fort Worth, TX 76155  
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**San Antonio** 17319 San Pedro Ave  
Ste 200  
San Antonio, TX 78232  
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**West Coast** 3220 Executive Ridge Dr  
Ste 250  
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(760) 734-1708 Fax (760) 734-3752

**Northeast US** 2301 River Road  
Suite 201  
Louisville, KY 40206  
(502) 897-9800 Cell (502) 554-2575

**Florida** 2584 Sand Hill Point Circle  
Davenport, FL 33837  
(863) 420-1100 Fax (863) 424-1160

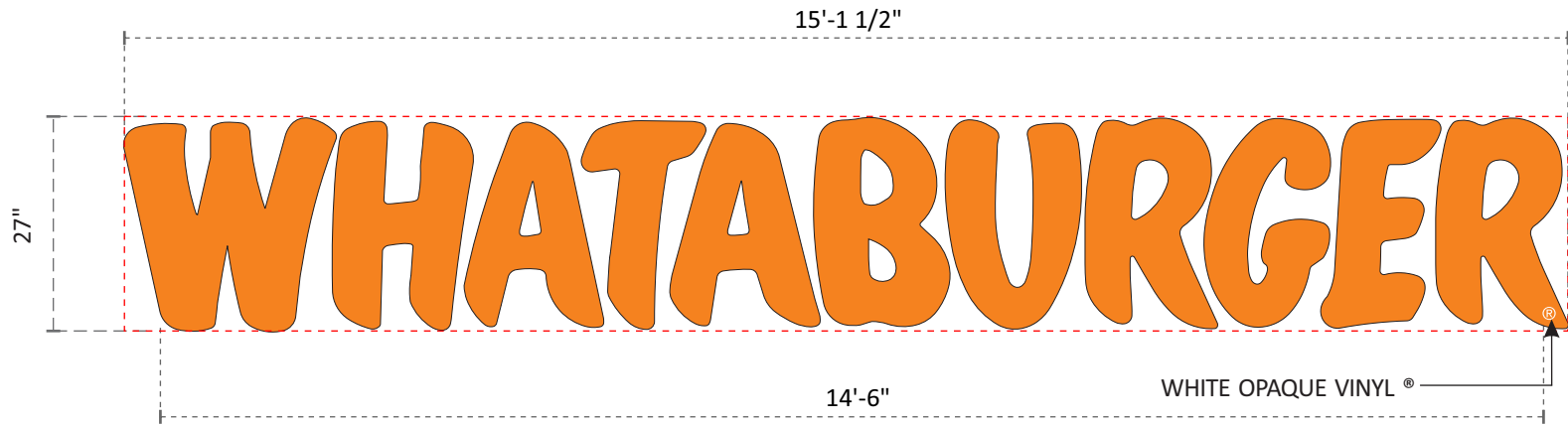
**Georgia** 111 Woodstone Place  
Dawsonville, GA 30534  
(678) 725-8852 Fax (210) 349-8724

**South Texas** PO BOX 125 206 Doral Drive  
Portland, TX 78374  
(863) 563-5399 Fax (863) 643-6533

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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).



**A1 A2 A3**

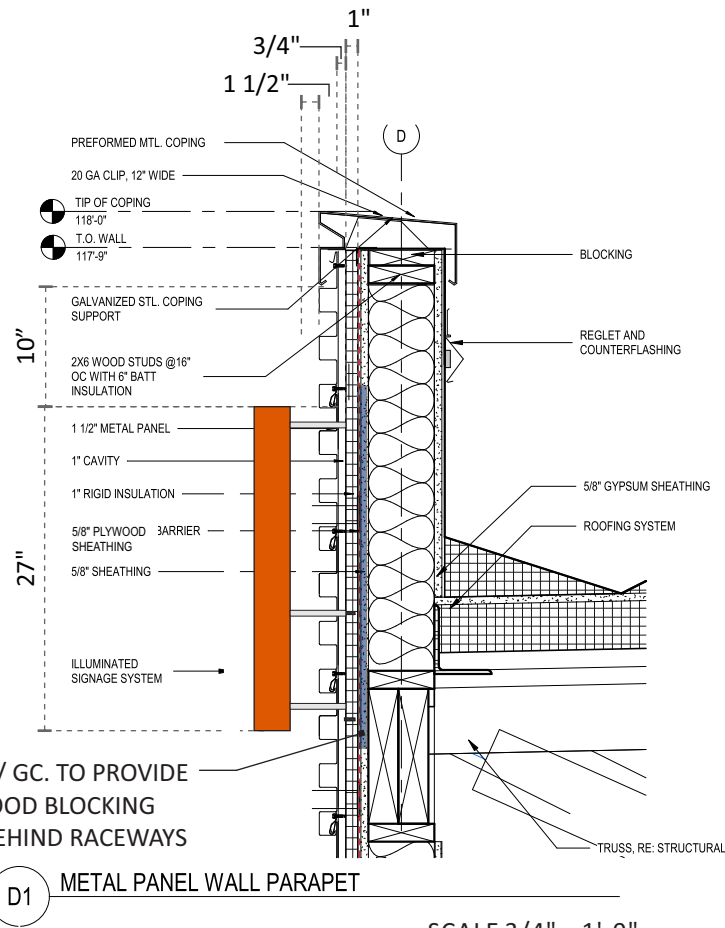
**BACK LIT CHANNEL LETTERS**

THREE ( 3 ) SETS REQUIRED - MANUFACTURE AND INSTALL

SCALE 1/2" = 1'-0"

34 SQ. FT.

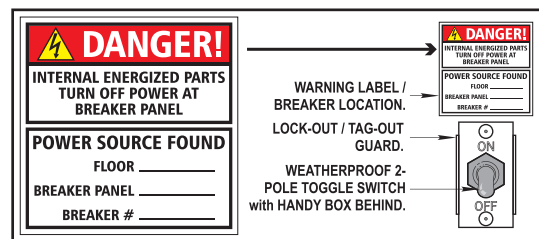
**NOTE:** PRIMARY ELECTRICAL PROVIDED BY G.C. WILL BE BELOW ROOFLINE. GC WILL PROVIDE 5/8" PLYWOOD BLOCKING BEHIND THE CORRUGATED PANELS.



CUSTOMER/ GC. TO PROVIDE 5/8" PLYWOOD BLOCKING IN AREAS BEHIND RACEWAYS

D1 METAL PANEL WALL PARAPET

SCALE 3/4" = 1'-0"



2014 / 2017 NEC COMPLIANT SWITCH / LABEL

**NO RACEWAYS - RCL ONLY**

ALUM. RETURNS AND FACES  
P.T.M. PRE-FINISHED  
WRISCO CONSTRUCTION ORANGE.

CLEAR BACKS WITH WHITE DIFFUSER

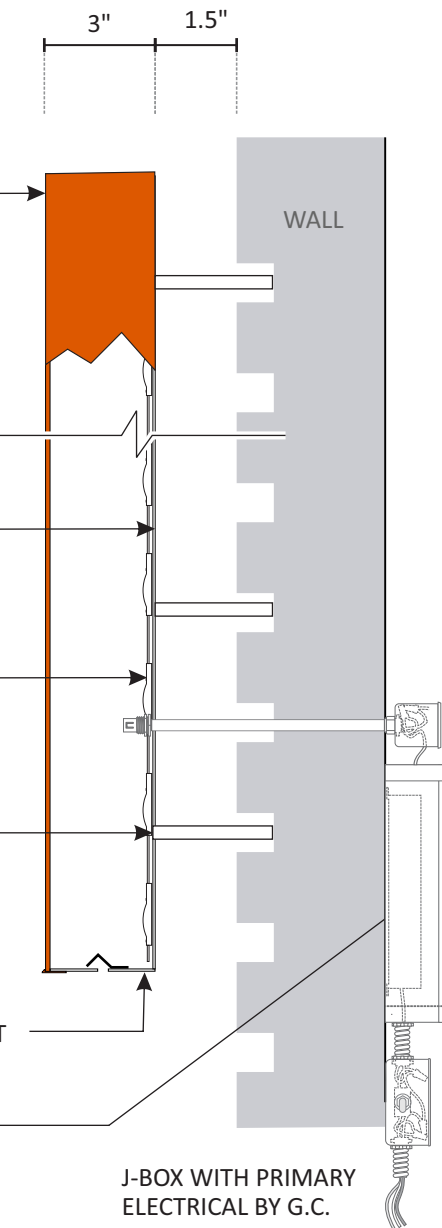
INTERNALLY ILLUMINATED  
WITH PRINCIPAL QM2 4100K WHITE L.E.D.s

MOUNT TO FASCIA WITH  
3/8" DIAM. NON - CORROSIVE  
FASTENERS WITH SPACERS AS  
REQUIRED PER WALL CONDITION.

1/4" WEEP HOLE W/ LIGHT SHIELD AT LOWEST  
PART OF EACH LETTER

REMOTE POWER SUPPLY

LETTER SECTION



N.T.S.

<b>Design #</b>	0633779AR1
<b>Sheet</b>	3 of 10
<b>Client</b>	#
<b>Address</b>	701 Pavilion Pkwy, Monroe, GA
<b>Acct. Rep. Coordinator</b>	DEBBIE MOLTZ MEGAN AUDEWER
<b>Designer</b>	IH
<b>Date</b>	10/13/22
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	

\*Standard PT20M signage on front elevation only, back lit letters no raceways  
 †Two of 4' tall 4.5 square feet directional non lit reflective vinyl, one of 'Entrance window', one of 'DRIVE THRU/Arrow' (see Albertville #0629741 but nonlit)  
 ‡One of 5' x 4' at 6' GAH up-lit monument sign - no internally lit signage on this site  
 R1(10-14-22)IH: See customer notes in art reference folder  
 Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq footage chart to show show we are maximizing allowable square footage.  
 Add typical building signs to elevations where we are allowed.

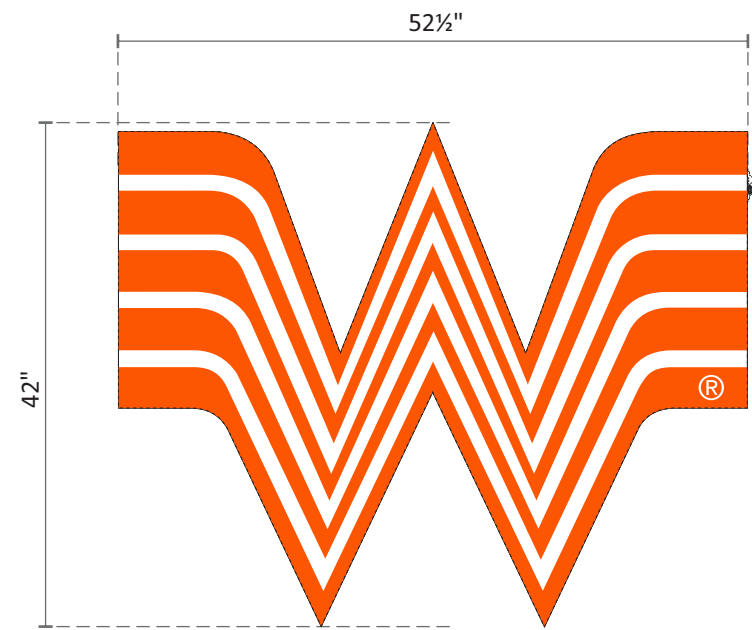


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<b>National Headquarters</b>	14201 Sovereign Road #101 Fort Worth, TX 76155 (214) 902-2000 Fax (214) 902-2044
<b>San Antonio</b>	17319 San Pedro Ave Ste 200 San Antonio, TX 78232 (210) 349-3804 Fax (210) 349-8724
<b>West Coast</b>	3220 Executive Ridge Dr Ste 250 Vista, CA 92081 (760) 734-1708 Fax (760) 734-3752
<b>Northeast US</b>	2301 River Road Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-2575
<b>Florida</b>	2584 Sand Hill Point Circle Davenport, FL 33837 (863) 420-1100 Fax (863) 424-1160
<b>Georgia</b>	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724
<b>South Texas</b>	PO BOX 125 206 Doral Drive Portland, TX 78374 (863) 563-5399 Fax (361) 643-6533

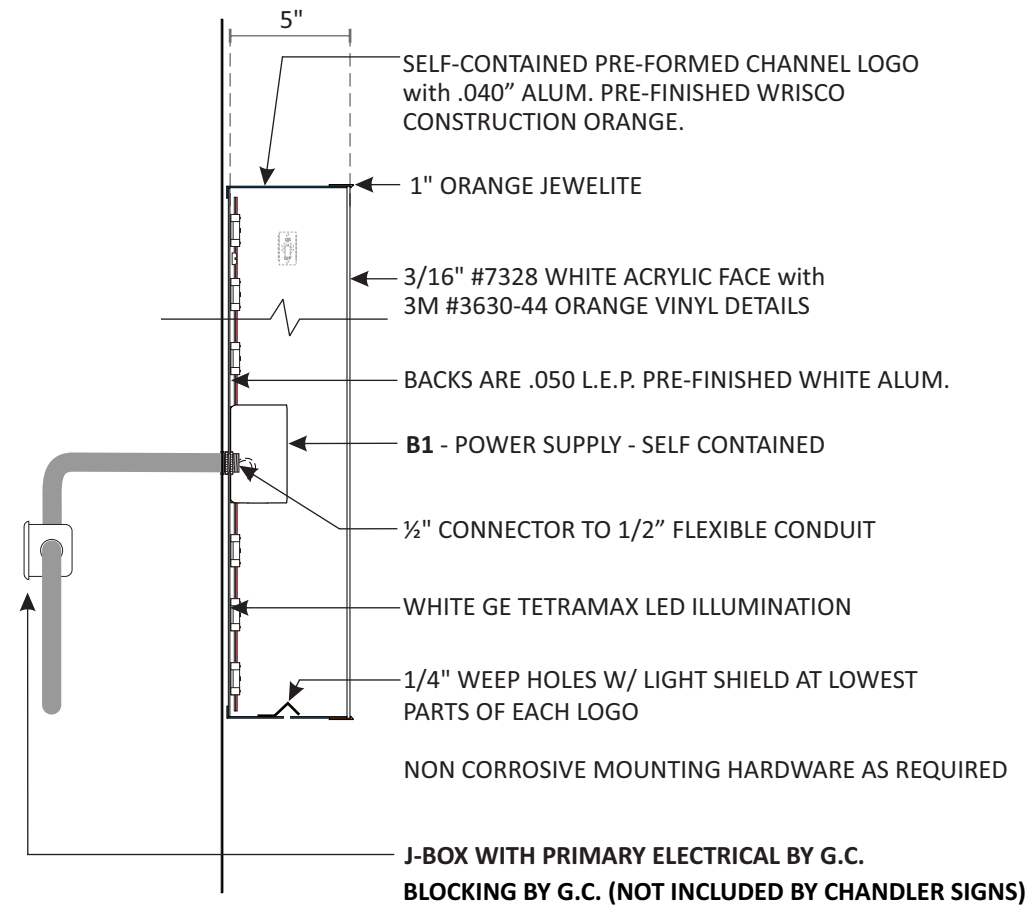
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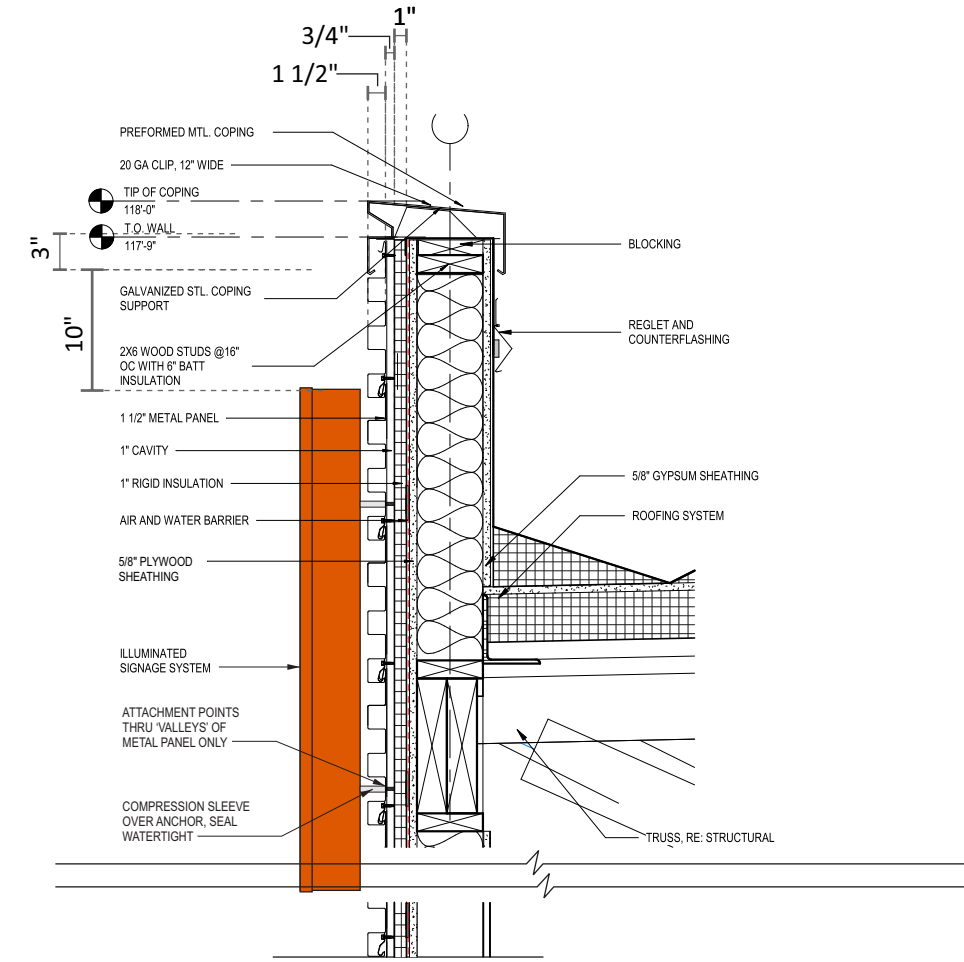


**B1 B2 42" PCL-LOGO** SCALE: 3/4" = 1'-0"  
 TWO ( 2 ) REQUIRED - MANUFACTURE AND INSTALL 15.32 SQ. FT.

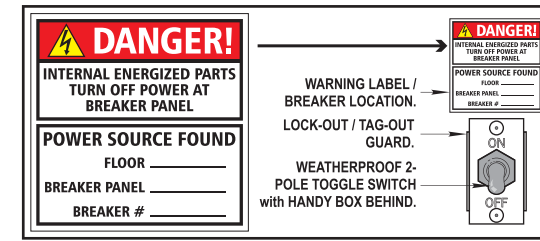


LETTER SECTION N.T.S.

SELF-CONTAINED  
 5/8" PLYWOOD BLOCKING AND PRIMARY ELECTRICAL BY G.C. (NOT INCLUDED BY CHANDLER SIGNS)



METAL PANEL WALL PARAPET SCALE 3/4" = 1'-0"  
 SPACERS REQUIRED P.T.M WALL



2014 / 2017 NEC COMPLIANT SWITCH / LABEL

<b>Design #</b>	
0633779AR1	
<b>Sheet</b>	4 of 10
<b>Client</b>	
#	
<b>Address</b>	
701 Pavilion Pkwy, Monroe, GA	
<b>Acct. Rep.</b>	DEBBIE MOLTZ
<b>Coordinator</b>	MEGAN AUDERER
<b>Designer</b>	IH
<b>Date</b>	10/13/22
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	

\*Standard PT20M signage on front elevation only, back letters no raceways  
 \*Two of 4" tall 4.5 square feet directional non-illuminated reflective vinyl, one of "Entrance window", one of "DRIVE THRU/Arrow" (see Albertville #0629741 but notill)  
 \*One of 5' x 4' at 6' GAH up-ill. monument sign - no internally lit signage on this site  
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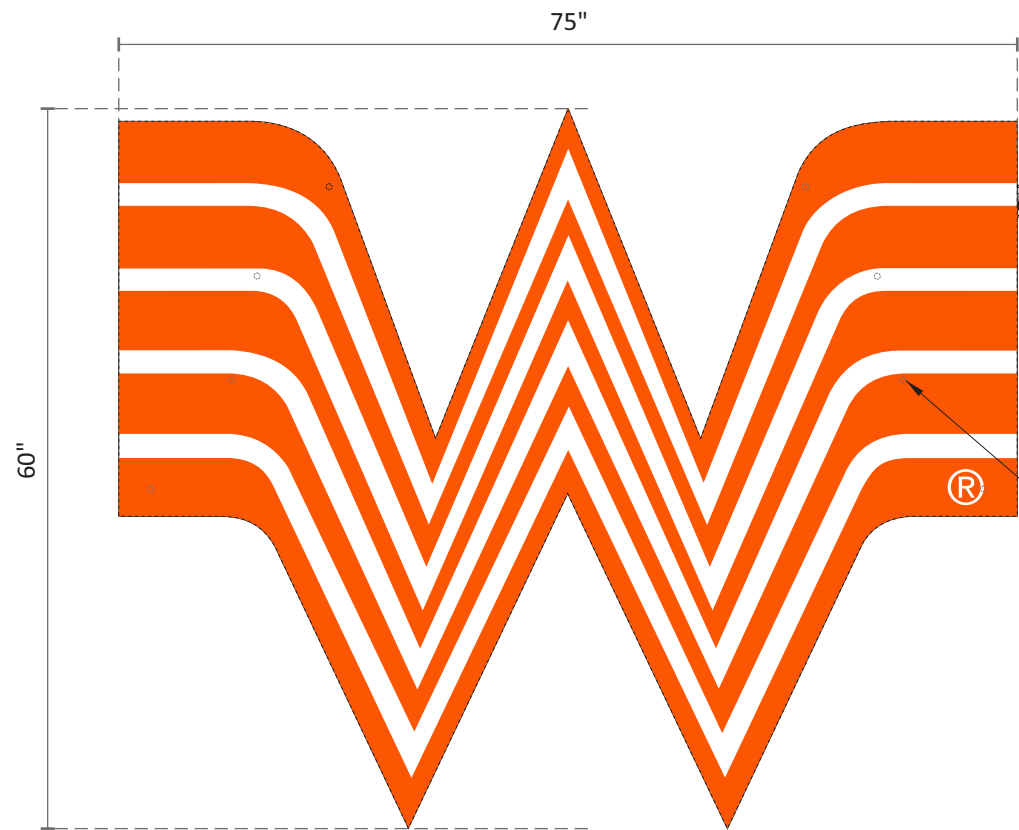


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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

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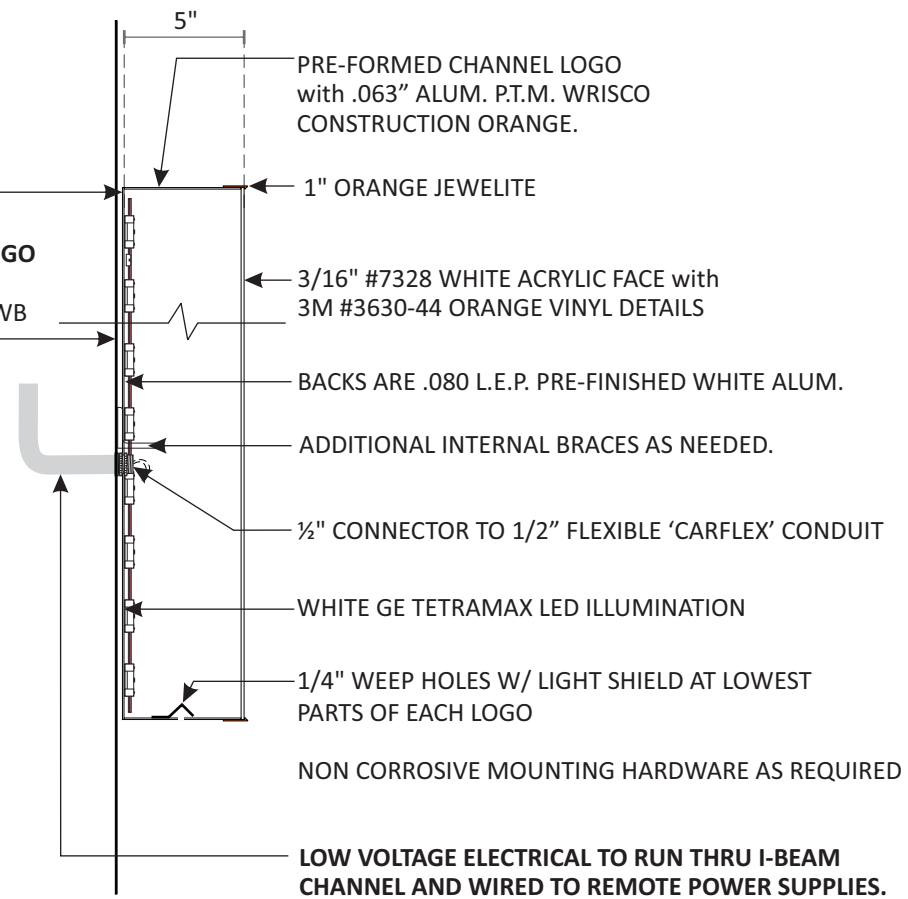


**C 60" PCL-LOGO**  
 ONE ( 1 ) REQUIRED - MANUFACTURE AND INSTALL  
 SCALE: 3/4" = 1'-0"  
 31.25 SQ. FT.

**NO STAPLED BACKS.** VISIBLE BY WB PATRONS EXITING THE STORE.

**PAINT BACK OF CHANNEL LETTER/LOGO** TO MATCH WRISCO CONSTRUCTION ORANGE. BACK OF LOGO VISIBLE BY WB PATRONS EXITING THE STORE.

(8) MOUNTING HOLES. PAINT BOLTS TO MATCH ORANGE. MIN. QTY SHOWN, INSTALLER CAN ADD MORE.



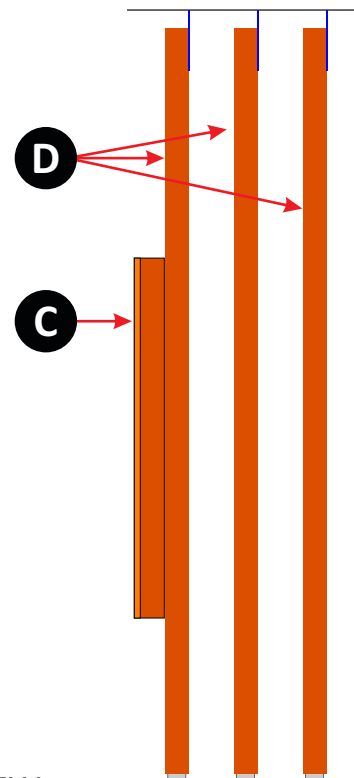
**LETTER SECTION** N.T.S.  
 REMOTE POWER SUPPLY

**PRIMARY ELECTRICAL BY G.C. (NOT INCLUDED BY CHANDLER SIGNS)**

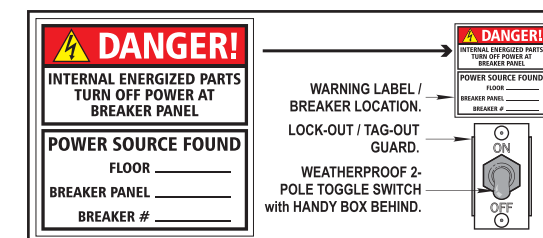
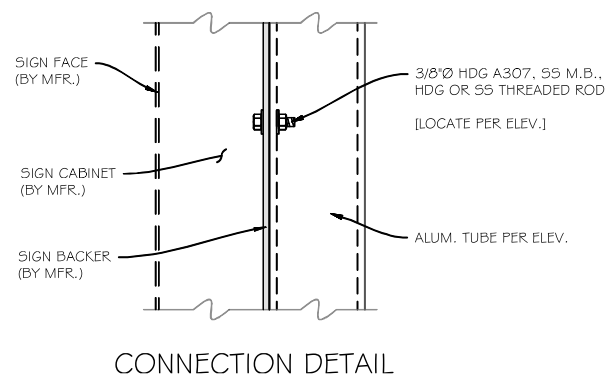
**NOTE: REMOTE POWER SUPPLY.** LOW VOLTAGE LEAD GOING BACK TO DESIGNATED AREA BEHIND THE WALL WITHIN 40FT OF THE SIGN OR ABOVE THE ROOF LINE. THE DESIGNATED AREA TO BE ACCESSIBLE FOR FUTURE SERVICE AND TO BE IDENTIFIED BY THE ARCHITECT. PRIMARY ELECTRICAL BY THE GC SHOULD BE LOCATED IN THIS AREA. GEN. CONTRACTOR TO PROVIDE THREE (3) PROVIDE CONDUITS FROM DESIGNATED AREA TO AREA BEHIND UPPER ATTACHMENT PLATES.

**NOTE: SHIP TOUCH-UP PAINT COLOR TO MATCH BACKGROUND WALL WITH SIGN.** ALL BOLTS ON RACEWAY TO BE PAINTED TO MATCH AFTER SIGN IS INSTALLED.

**NOTE: LOCATION OF PRIMARY ELECTRICAL WITHIN THE BUILDING (AND LOCATION OF REMOTE POWERS SUPPLIES) TO BE IDENTIFIED BY THE ARCHITECT.**



**C END VIEW**  
 LOGO INSTALLED ABOVE ENTRY DOOR  
 SCALE 3/8" = 1'-0"



2014 / 2017 NEC COMPLIANT SWITCH / LABEL

<b>Design #</b>	
0633779AR1	
<b>Sheet</b>	5 of 10
<b>Client</b>	
#	
<b>Address</b>	
701 Pavilion Pkwy, Monroe, GA	
<b>Acct. Rep.</b>	DEBBIE MOLTZ
<b>Coordinator</b>	MEGAN AUDEWER
<b>Designer</b>	IH
<b>Date</b>	10/13/22
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	
<small>*Standard PT20M signage on front elevation only, back lit letters no raceways                  Two of 4' tall 4.5 square feet directional non lit reflective vinyl one of "Entrance waymark", one of "DRIVE THRU/Arrow" (see Albertville #0629741 but not lit)                  One of 5' x 4' @ 6' GAH up-tilt monument sign - no internally lit signage on this site                  R1(10-14-22)IH: See customer notes in art reference folder                  Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq footage chart to show show we are maximizing allowable square footage.                  Add typical building signs to elevations where we are allowed.</small>	

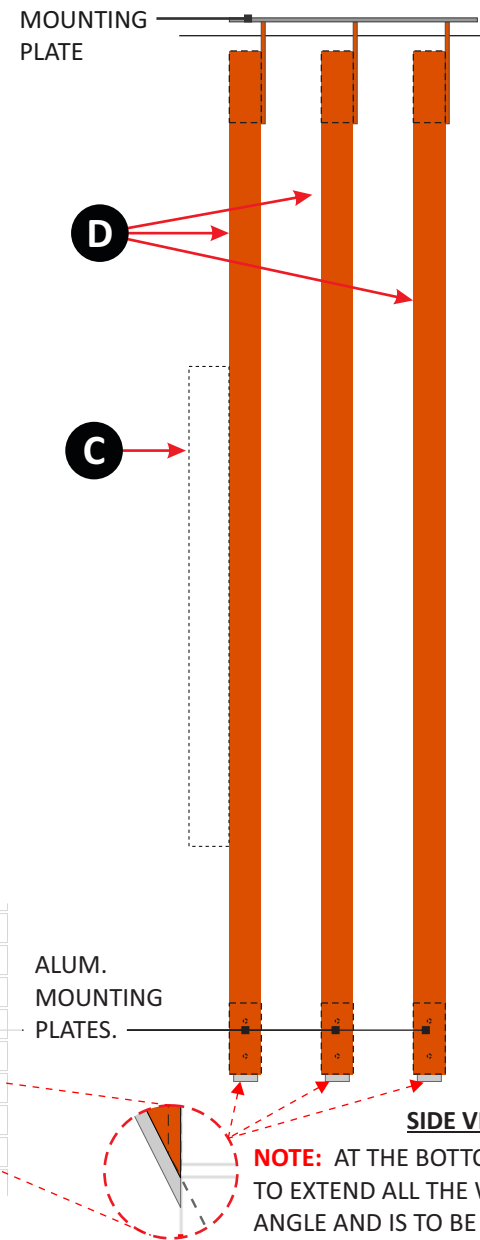
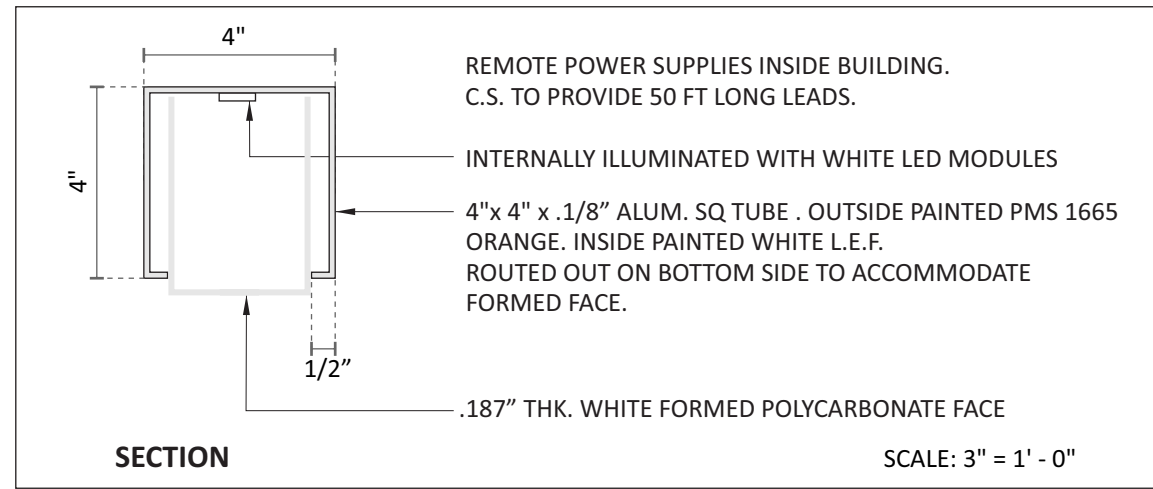
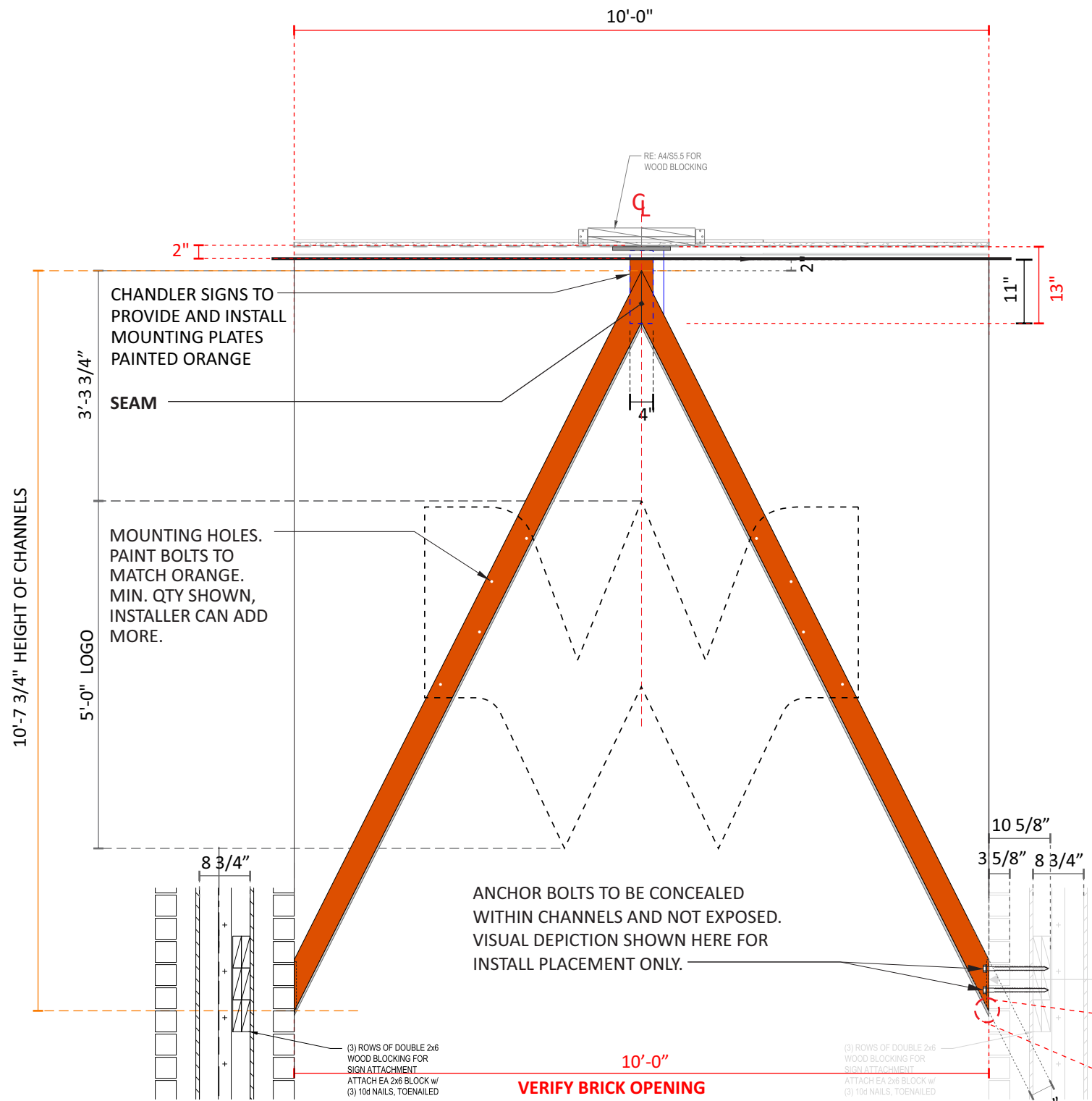
<b>CHANDLER SIGNS</b>	
chandler signs.com	
<b>National Headquarters</b>	14201 Sovereign Road #101 Fort Worth, TX 76155 (214) 902-2000 Fax (214) 902-2044
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**D LIT CHANNELS MAIN ENTRY ELEVATION** SCALE: 1/2" = 1' - 0"  
THREE (3) REQUIRED - MANUFACTURE & INSTALL



<b>Design #</b>	0633779AR1
<b>Sheet</b>	6 of 10
<b>Client #</b>	
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<b>Acct. Rep. Coordinator</b>	DEBBIE MOLTZ MEGAN AUDEMER
<b>Designer</b>	IH
<b>Date</b>	10/13/22
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	

\*Standard PT20M signage on front elevation only, back lit letters no raceways  
 \*Two of 4' tall 4.5 square feet directional non lit reflective vinyl, one of "Entrance window", one of "DRIVE THRU/Arrow" (see Albertville #0629741 but not lit)  
 \*One of 5' x 4' at 6' GAH up-tilt monument sign - no internally lit signage on this site  
 R1(10-14-22)H: See customer notes in art reference folder  
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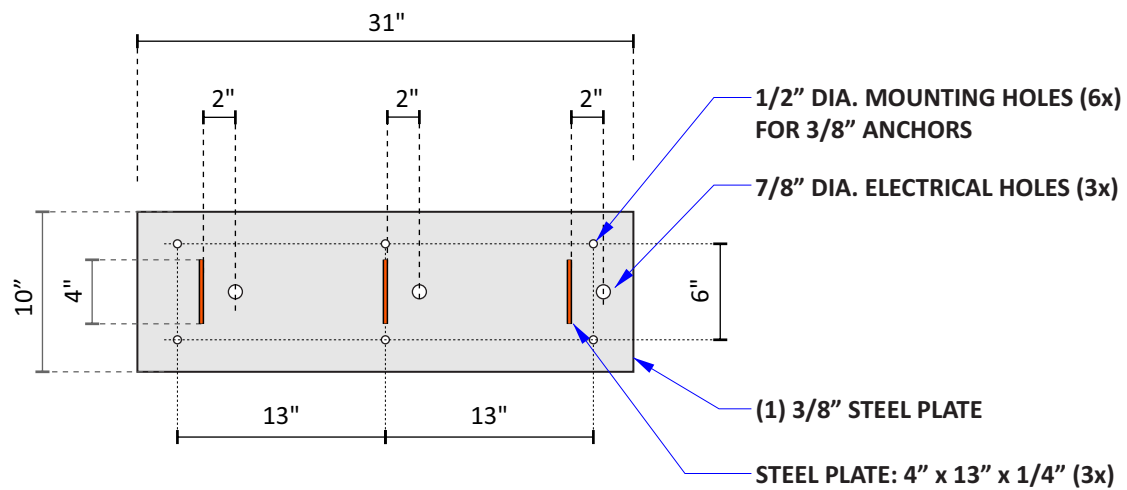


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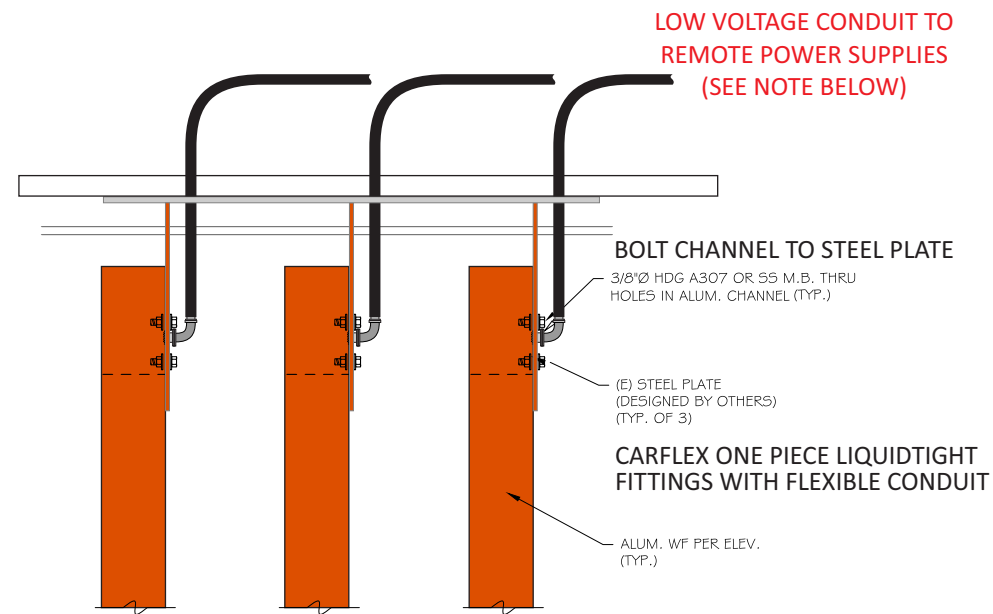
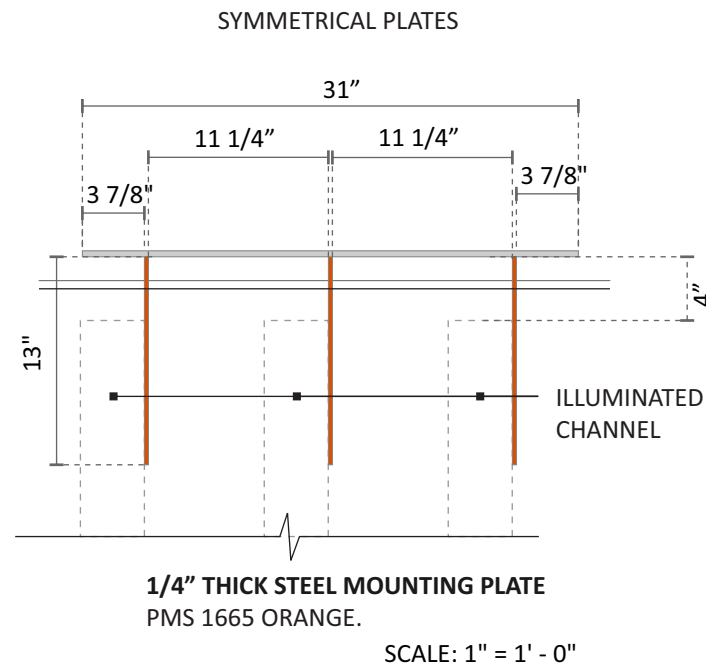
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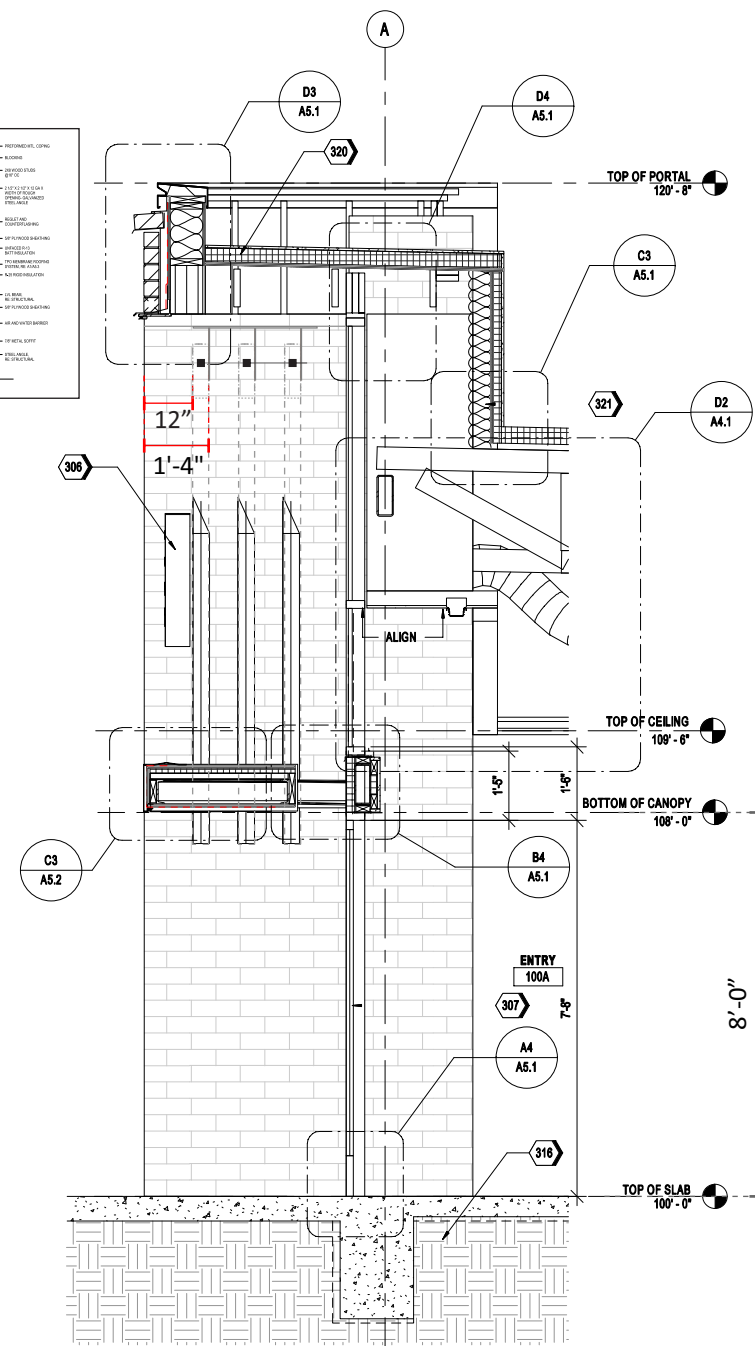
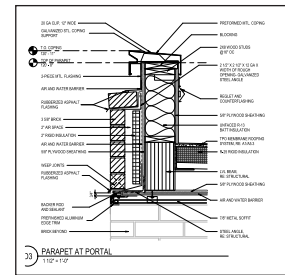
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TOP VIEW



PROPER INSTALL OF CHANNELS IS SUBJECT TO PLATES TO BE SPACED, LEVEL AND PLUMB



WALL SECTION AT ENTRY  
TYPICAL

<b>Design #</b>	
0633779AR1	
<b>Sheet</b>	7 of 10
<b>Client</b>	
#	
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<b>Acct. Rep.</b>	DEBBIE MOLTZ
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<b>Date</b>	10/13/22
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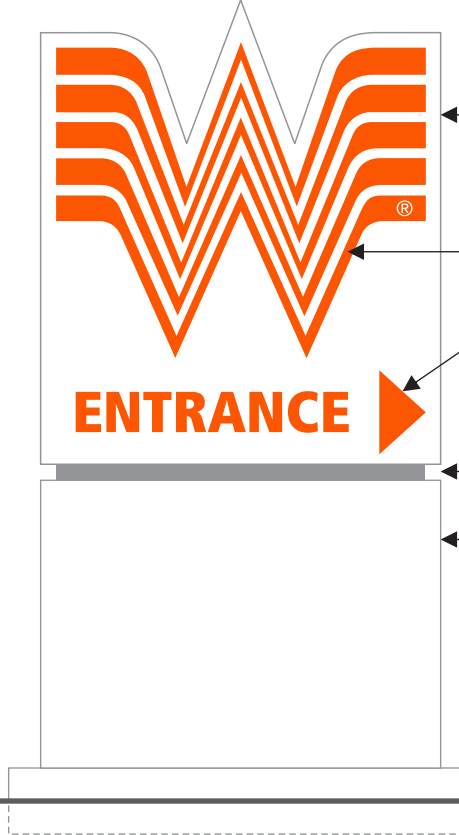
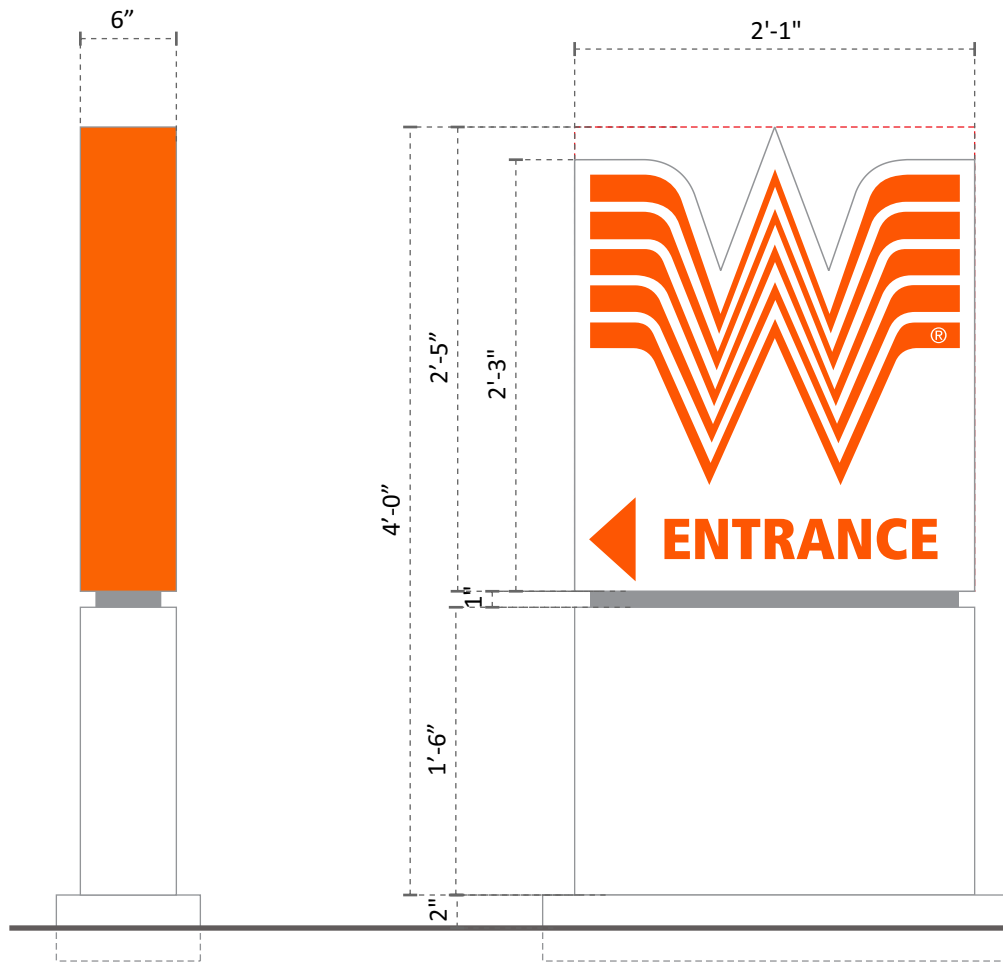
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**E D/F NON LIT DIRECTIONAL SIGN** SCALE: 1" = 1'-0"  
 ONE ( 1 ) REQUIRED - MANUFACTURE AND INSTALL **5 SQ. FT.**

- ← D/F NON LIT ALUM. CHANNEL CABINET RETURNS P.T.M. WRISCO CONSTRUCTION ORANGE. FACES PAINTED WHITE
- ← REFLECTIVE ORANGE VINYL GRAPHICS
- ← PAINTED ALUM REVEAL P.T.M. P.M.S. 430 GRAY
- ← PAINTED WHITE ALUM. BASE
- ← (1) STL SUPPORT WITH CONCRETE PIER / OR MOUNTING PLATE
- ← CONCRETE PAD  
2" STEEL SUPPORT WITH CONCRETE PIER.

**NOTE:** STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.

<b>Design #</b>	0633779AR1
<b>Sheet</b>	8 of 10
<b>Client #</b>	
<b>Address</b>	701 Pavilion Pkwy, Monroe, GA
<b>Acct. Rep. Coordinator</b>	DEBBIE MOLTZ MEGAN AUDERER
<b>Designer</b>	IH
<b>Date</b>	10/13/22
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Revision/Date	
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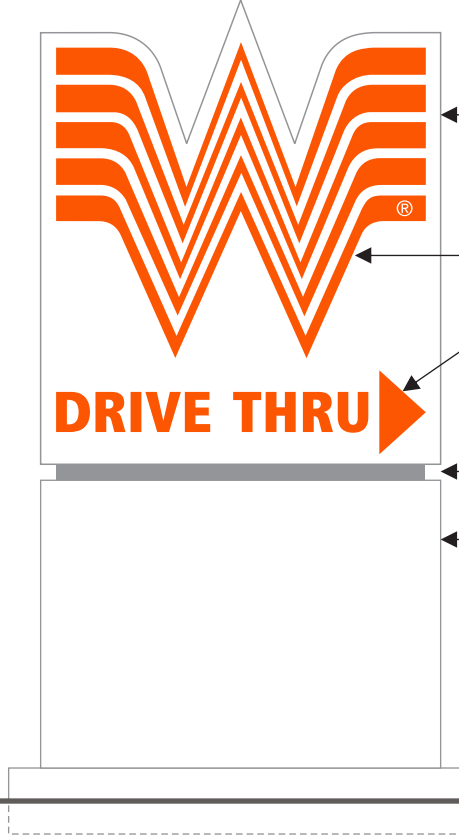
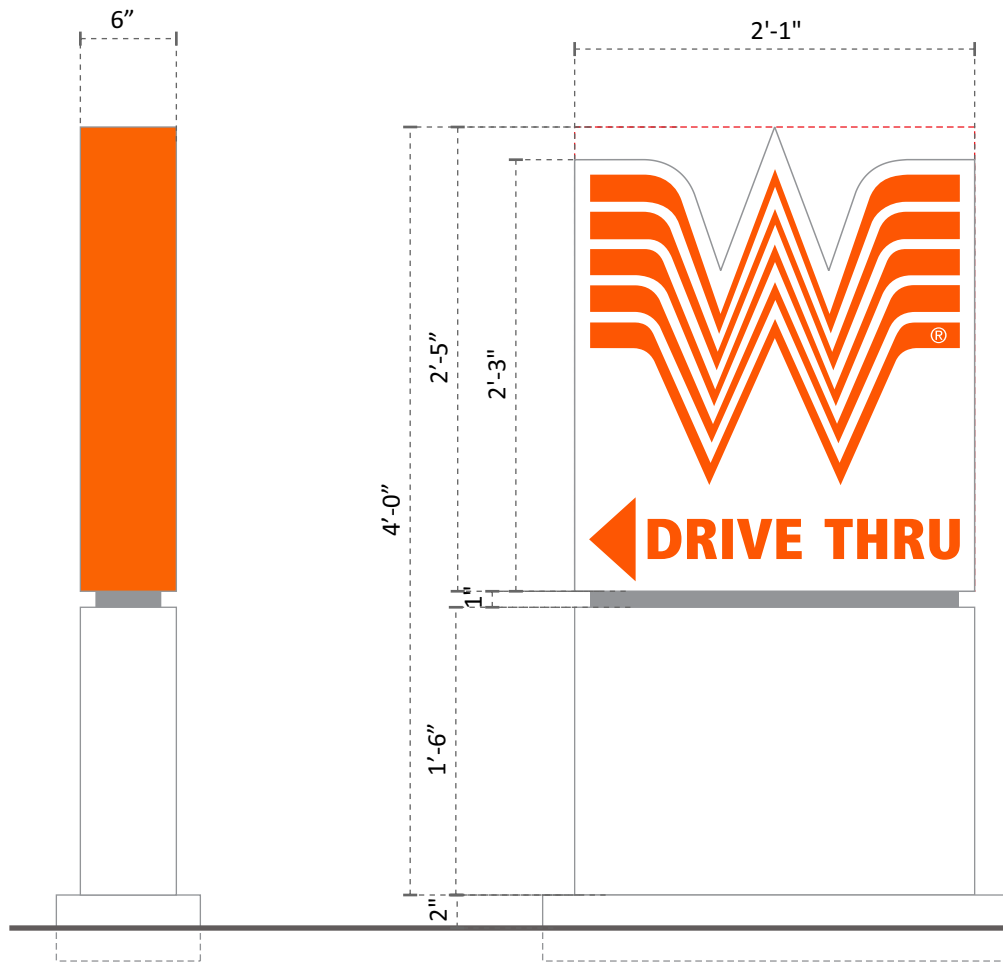
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**F D/F NON LIT DIRECTIONAL SIGN** SCALE: 1" = 1'-0"  
 ONE ( 1 ) REQUIRED - MANUFACTURE AND INSTALL **5 SQ. FT.**

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- ← PAINTED ALUM REVEAL P.T.M. P.M.S. 430 GRAY
- ← PAINTED WHITE ALUM. BASE
- ← (1) STL SUPPORT WITH CONCRETE PIER / OR MOUNTING PLATE
- ← CONCRETE PAD  
2" STEEL SUPPORT WITH CONCRETE PIER.

**NOTE:** STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.

<b>Design #</b>	
0633779AR1	
<b>Sheet</b>	9 of 10
<b>Client #</b>	
<b>Address</b>	
701 Pavilion Pkwy, Monroe, GA	
<b>Acct. Rep. Coordinator</b>	DEBBIE MOLTZ MEGAN AUDERER
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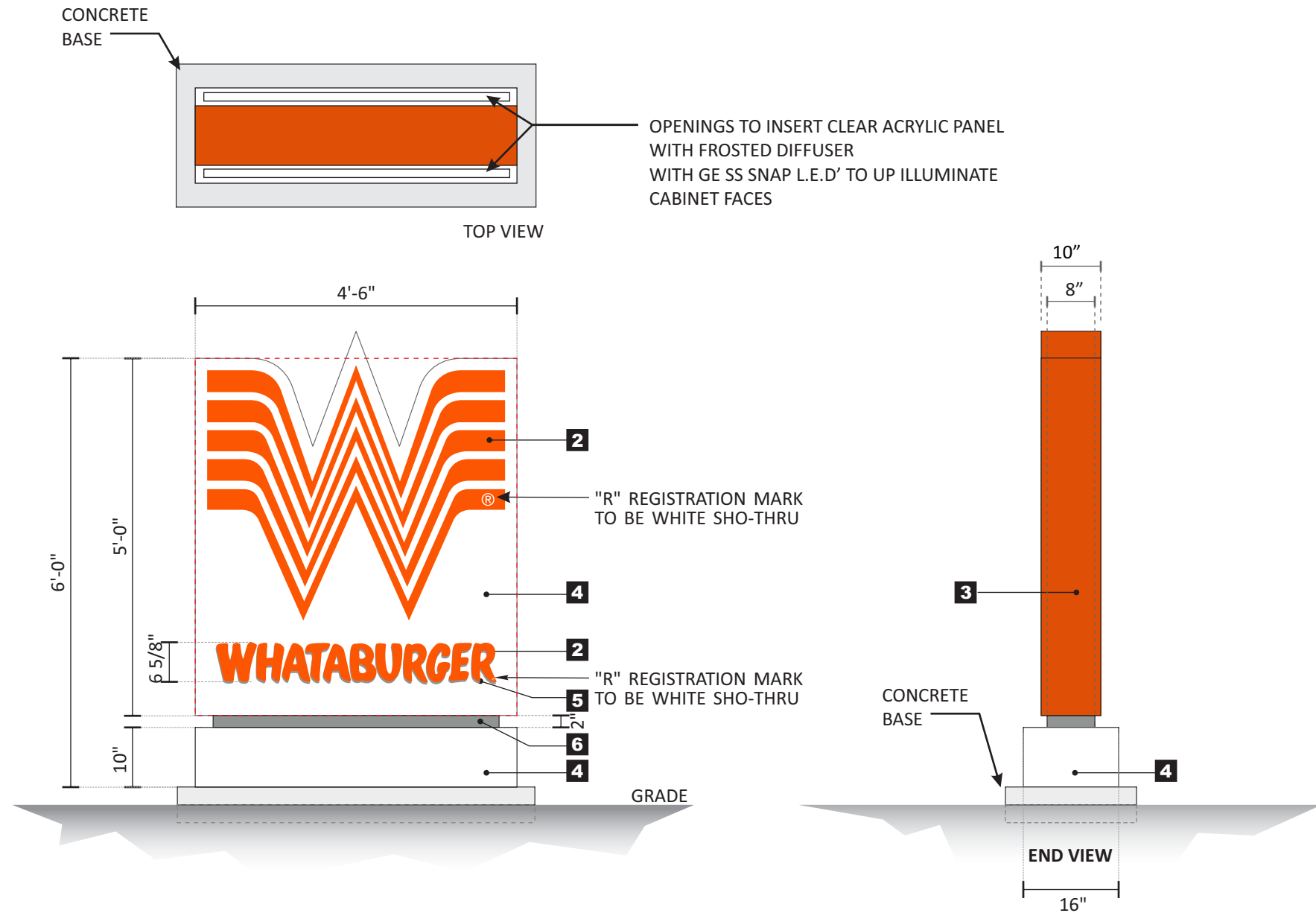
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**G D/F MONUMENT 5 FT CABINET** SCALE: 1/2"=1'-0"

ONE ( 1 ) REQUIRED - MANUFACTURE AND INSTALL 22.48 SQ. FT. (CABINET ONLY)

NON ILLUMINATED D/F ALUM. CABINET WITH APPLIED 1ST SURFACE 3M VINYL GRAPHICS.

2" PAINTED ALUM. REVEAL  
PAINTED ALUM BASE WITH MEDIUM DANTEX FINISH TO UP ILLUMINATE TOP CABINET.  
SELF CONTAINED

ONE STEEL SUPPORT WITH CONCRETE PIER AND CONCRETE PAD

**NOTE:** STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.

COLOR SCHEDULE	
1	3/16" WHITE SG ACRYLIC FACES
2	3M 3630-44 ORANGE VINYL
3	P.T.M. P.M.S. 1665C ORANGE.
4	SPRAYLAT MARK 1: SM-102S SATIN WHITE
5	3M 3630-51 SILVER GRAY VINYL
6	P.T.M. P.M.S. 430 GRAY

<b>Design #</b>	
0633779AR1	
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701 Pavilion Parkway





205.314.0390

ULTA

55





2023 Planning Commission Schedule – DRAFT

January 17, 2023

February 21, 2023

March 21, 2023

April 18, 2023

May 16, 2023

June 20, 2023

July 18, 2023

August 15, 2023

September 19, 2023

October 17, 2023

November 16, 2023

December 19, 2023



## Proposed Amendments to the Development Regulations

November 15 – Planning Commission  
December 13 – City Council 1<sup>st</sup> Reading  
January 10 – City Council 2<sup>nd</sup> Reading

Amendment Key  
**Blue** – Language to be added  
**Red** – Language to be removed  
**Green** – Amendment description

➤ **Article 7, Section 7.2: Amend Preliminary Plat Specifications to required complete preliminary plat submittals prior to Planning Commission consideration, revise sheet size, revise approval stamps, and correct section numbering as needed.**

### 7.2 PRELIMINARY PLAT SPECIFICATIONS

An application for a Preliminary Plat Approval for a subdivision shall consist of a Preliminary Plat, a certified boundary survey, and such other Development Plans as may be required by these Regulations.

**The Preliminary Plat and application shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for completeness and accuracy. Incomplete submittals or submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.**

#### 7.2.1 Conformance to Sketch Plat

The Preliminary Plat shall generally conform to the Sketch Plat. The Preliminary Plat shall include all of the contiguous property under one (1) ownership.

#### 7.2.2 Scale

The Preliminary Plat shall be clearly and legibly drawn at a scale of not less than one hundred (100) feet to one (1) inch. Sheet size shall not exceed ~~forty-eight (48)~~ **twenty-four (24)** inches by thirty-six (36) inches. The Code Enforcement Officer may approve other scales as deemed appropriate.

#### 7.2.3 Certified Boundary Survey

- a) The Preliminary Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Preliminary Plat, and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than one (1) in ten thousand (10,000), and shall meet all requirements of Georgia Law regarding the recording of maps and plats.
- b) Each Preliminary Plat shall be drawn on, accompanied by, or referenced to a boundary survey.

#### 7.2.4 Preliminary Plat Specifications.

The Preliminary Plat shall contain the following:

- a) Name of the subdivision, unit number, Land District, Land Lot number, and total acreage of tract.
- b) Name, address, and telephone number of owner or agent.
- c) Name, address and telephone number of individual responsible for subdivision design and surveys.
- d) Date, graphic scale, and north point.
- e) Location sketch of tract showing major surrounding features.
- f) Proposed use of the subdivision.
- g) Minimum building setback lines along streets, with dimensions.
- h) Location of existing property lines, major easements, rights of way, water courses, drainage areas and ditches, distinctive natural features, and existing buildings.
- i) The location, names, and width of all existing or proposed streets within or directly adjacent to the subject property.
- j) Lots numbered in numerical order and blocks lettered alphabetically.
- k) Total number of lots proposed in tabular form.
- l) The approximate location of all proposed or existing lots and the site of the smallest lot.
- m) The location of flood plain areas.
- n) Statement of proposed water and/or sewer supply or collection method.
- o) Zoning of subject property and adjacent property.
- p) Names of adjacent property owners.
- q) Topography with contours no greater than two (2) feet.
- r) Location of all known existing or previously existing landfills.
- s) Location of all known existing groundwater recharge areas.
- t) Location of all known existing wetlands.
- u) Location of all known flood hazard areas.
- v) Location of all known Protected River Corridors.
- w) Location of all known Water Supply Watershed areas.
- x) AUTHORIZATION STATEMENT (text follows):

I hereby submit this ~~Sketch~~**Preliminary** Plat as authorized agent/owner of all property shown thereon, and certify that all contiguous property under my ownership or control is included within the boundaries of this Preliminary Plat, as required by the Development Regulations.

\_\_\_\_\_  
Signature of Authorized Agent/Owner      Date



by the expiration of the Site Development Plans, then this Certificate of Approval shall expire and be null and void in its entirety and shall require a new Preliminary Plat Approval by the City of Monroe Mayor and Council.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

By: \_\_\_\_\_, Mayor

By: \_\_\_\_\_, City Clerk

➤ *Article 7, Section 7.4: Amend Final Plat Specifications to required complete final plat submittals before City Council consideration, revise plat sizes, correct section numbering as needed, and update correct approval stamps.*

**7.4 FINAL PLAT SPECIFICATIONS**

The Final Plat and application shall be complete in all respects, including submission of all required bonding, declarations, and/or covenants prior to being scheduled for City Council consideration. The Code Enforcement Officer shall have thirty (30) days to review final plat submittals for completeness and accuracy. Incomplete submittals or submittals requiring correction will be scheduled for the first available City Council meeting no less than thirty (30) days from the date the final plat and submitted documents are considered complete.

**7.4.1 Scale and Sheet Size:**

The Final Plat shall be clearly and legibly drawn in black ink on tracing cloth or other permanent, reproducible material. The scale of the Final Plat shall be 100 feet to one (1”) inch (1”=100’) or larger. Sheet size shall be ~~15” X 17”~~ **no larger than 24” x 36” and no smaller than 11” x 17”**, ~~or if larger than 15” X 17”, it must be photographically reduced, prior to recording, to no more than 15” X 17”.~~

**7.4.2 Certified Boundary Survey:**

The Final Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Final Plat and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than 1 in 10,000 and shall meet all requirements of Georgia law regarding the recording of maps and plats.

**7.4.3 Conformance to Preliminary Plat:**

The Final Plat shall substantially conform to the Preliminary Plat and may constitute only that portion of the approved Preliminary Plat which the subdivider proposes to record at any one time, provided that such portion conforms to the requirements of these Regulations and said portion is not inconsistent with the public health, safety, or welfare. Any substantial deviation from the Preliminary Plat shall require revision and re-approval of the Preliminary Plat.

#### 7.4.4 Required Final Plat Information:

The Final Plat shall contain the following information:

- a) Name of the subdivision, unit number, Land District, and Land Lot number.
- b) Name, address, and telephone number of owner of record and the subdivider (if not the owner).
- c) Name, address and telephone number of each professional firm associated with the portion of the subdivision within the Final Plat (engineer, surveyor, landscape architect, etc.)
- d) Date of plat drawing, graphic scape, north point, notation as to the reference of bearings to magnetic true north or grid north, and indication whether bearings shown are calculated from angles turned.
- e) Location sketch of tract showing major surrounding features.
- f) Boundary lines of the tract, to be indicated by a heavy line, giving distances to the nearest one-hundredth foot and bearings to the nearest second. Bearing and distance to designated tie point shall be shown. The Plat shall have a closure precision of 1 foot in no less than 10,000 feet.
- g) Municipal or City jurisdiction lines approximately tied to the lines of the subdivision by distance and angles when such lines traverse or adjoin the subdivision. Land Lot lines traversing or adjoining the subdivision shall also be indicated.
- h) Locations, widths, and names of all streets and alleys within and immediately adjoining the plat, the location and widths of all internal public crosswalks, and all other public rights of way.
- i) Street centerlines, showing angles of deflection and standard curve data including radii, length of arcs and tangents between curves, points of curvance (P.C.), and Point of Tangency (P.T.).
- j) Lot lines with dimensions to the nearest one-tenth (1/10) of a foot and bearings to the nearest second, and radii of rounded corners as necessary to delimit each lot.
- k) Minimum building setback lines along streets with dimensions.
- l) Lots in numerical order and blocks lettered alphabetically.
- m) Location and size of all drainage pipe, location and extent of detention ponds, the location and size of all public water mains and fire hydrants, and the location, dimensions, and purpose of any easements, including construction or slope easements if required.
- n) Location of any areas to be reserved, donated, or dedicated to public use with notes stating their purpose and limitations. Location of any areas to be reserved by private deed covenant for common use of all property owners, or dedicated to a homeowner's association.
- o) A statement of private covenants, if any, brief enough to be put directly on the plat; otherwise, if covenants are separately recorded, a statement as follows: This plat is subject to the covenants set forth in the separate document(s) attached hereto dated \_\_\_\_\_ which hereby become a part of this plat and which were recorded and signed by the owner.

- p) Accurate location, material, and the description of monuments and markers in place prior to approval of the Final Plat.
- q) Extent of the 100-year floodplain and the origin of the 100-year data shall be indicated.
- r) Street address numbers for each lot.
- s) The following drainage notice:

NOTE: The City of Monroe assumes no responsibility for overflow or erosion of natural or artificial drains beyond the extent of the street right of way, or for the extension of culverts beyond the point shown on the approved and recorded subdivision plat.

OWNERS CERTIFICATE AND DECLARATION (text follows):

STATE OF GEORGIA  
THE CITY OF MONROE

The owner of the land shown on this plat and whose name is subscribed hereto in person or through a duly authorized agent acknowledges that this plat was made from an actual survey and dedicates to the use of the public forever all streets, drains, easements and other public facilities and appurtenances thereon shown for the purposes therein expressed.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, ~~19~~20\_\_\_\_

By: \_\_\_\_\_, Owner

- t) SURVEYOR'S CERTIFICATION (text follows):

It is hereby certified that this plat is true and correct as to the property lines and all improvement shown thereon and was prepared from an actual survey of the property made by me or under my supervision; that all monuments shown hereon actually exist; and their location, size, type, and material are correctly shown. The field data upon which this plat is based has a closure precision of one foot in feet and an angular error or \_\_\_\_\_ per angle point, adjusted using rule. This plat has been calculated for closure and is found to be accurate within one foot in feet, and contains total of \_\_\_\_\_ acres. The equipment used to obtain the linear and angular measurements herein was \_\_\_\_\_.

By: \_\_\_\_\_

Date: \_\_\_\_\_

Registered Georgia Land Surveyor

Reg. No: \_\_\_\_\_ Date of Expiration \_\_\_\_\_

u) CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (text follows):

The Code Enforcement Officer certifies that this plat complies with the Zoning Ordinance and Development Regulations of the City of Monroe and has been approved by all other affected City Departments, as appropriate. This plat is approved, subject to the provisions and requirements of the Performance and Maintenance Surety Agreement executed for this project between the owner and the City of Monroe.

By: \_\_\_\_\_

Date: \_\_\_\_\_

Code Enforcement Officer: \_\_\_\_\_

v) CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL (text follows):

The City of Monroe Mayor and City Council hereby accept on behalf of the City of Monroe the dedication of all public streets, rights of way, easements and other public facilities and appurtenances shown thereon. This plat is approved subject to the provisions and requirements of the Performance and Maintenance Surety Agreement executed for this project between the owner and the City of Monroe.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

By: \_\_\_\_\_, Mayor  
The City of Monroe Mayor and City Council

Attest: \_\_\_\_\_  
City Clerk, City of Monroe

w) CERTIFICATE OF APPROVAL BY MONROE UTILITY DEPARTMENT (text follows):

The lots shown hereon and plans for water and sewage collection and disposal have been reviewed and approved by the City of Monroe Water & Gas Department, and with the exception of lots are approved for development.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

7.4.5 Warranty Deed Required for Other Dedications:

If any lands are shown on the Final Plat for dedication to the City of Monroe other than street rights of way or easements, a Warranty Deed transferring title to said land in fee simple shall be submitted with the Final Plat application.

7.4.6 Deed of Transfer Required for Dedications to Property Owner’s Association:

If any lands are shown on the Final Plat for dedication to a Property Owners Association, a copy of the deed of transfer for such dedication and a copy of the instrument of incorporation of the Property Owners Association shall be submitted with the Final Plat application.

➤ **Article 7, Section 7.5: Amend Minor Subdivision Plat Specifications to modify plat size, modify approval stamp language, and eliminate unnecessary approval stamps.**

**7.5 MINOR SUBDIVISION PLAT SPECIFICATIONS**

The Final Plat for a Minor Subdivision shall include the following information:

7.5.1 Scale and Sheet Size:

The Final Plat shall be clearly and legibly drawn in black ink on tracing cloth or other permanent reproducible material. The scale of the Final Plat shall be 100 feet to one (1”) inch (1” =100’), or larger **as approved by the Code Enforcement Officer**. Sheet size shall be ~~15” x 17”, or if larger than 15” x 17”~~ **no larger than 24” x 36” and no smaller than 11” x 17”**, ~~it must be photographically reduced, prior to recording, to no more than 15” x 17”.~~

7.5.2 Certified Boundary Survey:

The Final Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Final Plat and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than 1 in 10,000 and shall meet all requirements of Georgia law regarding the recording of maps and plats.

7.5.3 Required Final Plat Information:

The Final Plat for a Minor Subdivision shall contain the following information:

- a) Name of the subdivision, unit number, Land District, and Land Lot number
- b) Name, address and telephone number of owner of record and the subdivider (if not the owner)
- c) Name, address, and telephone number of the professional firm which prepared the Final Plat
- d) Date of plat drawing, graphic scape, north point, notation as to the reference of bearings to magnetic true north or grid north, and indication whether bearings shown are calculated from angles turned
- e) Boundary lines of the tract, indicated by a heavy line, giving distances to the nearest one-hundredth foot and bearings to the nearest second. Bearing and distance to



designated tie point shall be shown. The plat shall have a closure precision of 1 foot in no less than 10,000 feet

- f) Municipal or City jurisdiction lines approximately tied to the lines of the subdivision by distance and angles when such lines traverse or adjoin the subdivision. Land Lot lines traversing or adjoining the subdivision shall also be indicated
- g) Locations, widths, and names of all streets and alleys immediately adjoining the site
- h) Lot lines with dimensions to the nearest one-tenth (1/10) of a foot and bearings to the nearest second
- i) Minimum building setback lines along streets with dimensions
- j) Lots in numerical order and blocks lettered alphabetically
- k) Location and size of all public water mains and fire hydrants and the location, dimensions, and purpose of any easements, including construction or slope easements, if required
- l) A statement of private covenants, if any, and they are brief enough to be put directly on the plat; otherwise, if covenants are separately recorded, a statement as follows:  

This plat is subject to the covenants set forth in the separate document(s) attached hereto dated which hereby become a part of this plat, and which were recorded and signed by the owner
- m) Accurate location, material, and the description of monuments and markers. (All monuments shall be in place prior to approval of the Final Plat.)
- n) Extent of the 100-year floodplain and the origin of the floodplain data shall be indicated
- o) Street address numbers for each lot and for each street

~~p) OWNER'S CERTIFICATE AND DECLARATION, STATE OF GEORGIA, THE CITY OF MONROE (text follows):~~

~~\_\_\_\_\_ The owner of the land shown on this plat and whose name is subscribed hereto  
\_\_\_\_\_ and in person or through a duly authorized agent acknowledges that this plat  
\_\_\_\_\_ was made from an actual survey and dedicates to the use of the public forever  
\_\_\_\_\_ all streets, drains, easements and other public facilities and appurtenances  
\_\_\_\_\_ thereon shown for the purposes therein expressed.~~

~~\_\_\_\_\_ Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_~~

~~\_\_\_\_\_ By: \_\_\_\_\_ Owner~~

q) SURVEYOR'S CERTIFICATION

It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type, and material are correctly shown. The field data upon which this plat is based has a closure precision of one foot in \_\_\_\_ feet and an angular error of \_\_\_\_ per angle point, and was adjusted using \_\_\_\_\_ rule. This plat has been calculated for closure

and is found to be accurate within one foot in \_\_\_\_ feet, and contains a total of \_\_\_\_ acres. The equipment used to obtain the linear and angular measurements herein was \_\_\_\_\_.

By: \_\_\_\_\_ Date: \_\_\_\_\_

Reg.No: \_\_\_\_\_ Date of Expiration: \_\_\_\_\_

r) CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (text follows:)

The Code Enforcement Officer hereby certifies that this plat complies with the Zoning Ordinance and Development Regulations of the City of Monroe, Georgia, and has been approved by all other affected City Departments, as appropriate. and that it is hereby approved for recording in the office of the Clerk of the Superior Court of Walton County, Georgia.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_

By: \_\_\_\_\_  
Code Enforcement Officer

~~s) CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL~~

~~The City of Monroe Mayor and City Council hereby accept on behalf of the City of Monroe the dedication of all public streets, rights of way, easements, and other public facilities and appurtenances shown thereon. This plat is approved subject to the provisions and requirements of the Performance and Maintenance Surety Agreement executed for this project between the owner and the City of Monroe.~~

~~Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_~~

~~By: \_\_\_\_\_, Mayor  
The City of Monroe Mayor and City Council~~

~~Attest: \_\_\_\_\_  
City Clerk, City of Monroe~~

➤ **Article 8, Section 8.6: Remove requirement 8.6.4 which discourages through traffic.**

**8.6 ARRANGEMENT OF LOCAL STREETS**

The local street network built in a subdivision must meet the following requirements:

8.6.1 Provide for the continuation or the appropriate connection of existing Local Streets in surrounding areas at the same or greater width. Provision must be made for the extension of any dead-end streets.

8.6.2 The system of streets designated for the subdivision must connect with streets already platted to the boundary from abutting subdivisions. At reasonable intervals streets must be continued to the boundaries (with no reserve strips) of the tract subdivided, so that future abutting subdivisions may connect therewith.

8.6.3 Conform to a plan for a neighborhood approved or adopted by the City to meet a particular situation where topographical or other conditions make continuance or conformance to existing local streets impracticable.

~~8.6.4 Be so laid out that their use for through traffic is discouraged.~~

➤ **Article 9, Section 9.16: Correct section numbering.**

**9.16 Access Management / Driveways (revised 2/13/18)**

The following standards shall apply to land subdivision and development, except for single-family dwelling units or industrial development where the primary access is from a state or federal highway or a thoroughfare classified as a major collector or arterial in the City of Monroe Development Regulations. These standards shall apply unless a more restrictive standard is required by the Georgia Department of Transportation.

**A.** 9.16.1. Joint and Cross Access

➤ **Article 11: Remove surety bonds as a type of performance and maintenance surety.**

**ARTICLE 11**

**PERFORMANCE AND MAINTENANCE BONDS**

11.1. Performance and Maintenance Agreement

Prior to the approval of a Final Plat or Certificate of Occupancy, the Developer shall provide to the City a Performance and Maintenance Agreement in a form as required by the City.

11.1.1 Performance Surety

1. When Required. Performance surety shall be required, prior to the approval of a Final Plat or Certificate of Occupancy, for any Development containing unfinished amenities, improvements, or installations required to be constructed by These Regulations or the Zoning Ordinance or as a condition of any approval or permit granted thereunder which the Code Enforcement Officer, in his sole discretion, determines to be the result of unusual weather, site conditions, or construction phasing situations. All other Developments shall be completed prior to the approval of a Final Plat or Certificate of Occupancy.
2. Purpose. Performance surety shall be conditioned upon the faithful performance by the Developer of all work required to complete all amenities, improvements, and installations for the Development in compliance with These Regulation and the Zoning Ordinance and any approval

or permit granted thereunder within one (1) year of the approval of the Final Plat or Certificate of Occupancy.

- 3. Form. Performance surety shall be payable to the City of Monroe in the form of:
  - a). Cash deposited in an account with the City of Monroe along with an escrow agreement, in a form acceptable to the Code Enforcement Officer and the City Attorney, from the Developer; or
  - ~~b). A surety bond, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a company that is listed on the U.S. Department of the Treasury's Listing of Approved Sureties (Department Circular 570) as of the date of issuance and authorized by law to do business in the State of Georgia; or~~
  - ~~eb).~~ An irrevocable letter of credit, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a financial institution that has a Texas Ratio of less than 100% as of the date of issuance and is authorized by law to do business in the State of Georgia.
- 4. Amount. Performance surety shall be in an amount equal to the cost of construction of the required work plus an additional fifty percent (50%) of said costs, as calculated by the Code Enforcement Officer.
- 5. Period. Performance surety shall be for a period of one (1) year unless authorized for a longer period of time by the Code Enforcement Officer.
- 6. Release and Forfeiture. Performance surety shall be released to the Developer upon request if all work required to complete all amenities, improvements, and installations for the Development in compliance with These Regulations and any approval or permit granted thereunder has been completed timely. If such work has not been completed within the required performance surety period, the performance surety shall be forfeited to the City of Monroe.

11.1.2 Maintenance Surety

- 1. When Required. Maintenance surety shall be required, prior to the approval of a Final Plat or Certificate of Occupancy, for any Development containing public improvements.
- 2. Purpose. Maintenance surety shall be conditioned upon the faithful maintenance by the Developer of the public improvements in compliance with These Regulations and the Zoning Ordinance and any approval or permit granted thereunder for a period of two (2) years following the approval of the Final Plat or Certificate of Occupancy.
- 3. Form. Maintenance surety shall be payable to the City of Monroe in the form of
  - a). Cash deposited in an account with the City of Monroe along with an escrow agreement, in a form acceptable to the Code Enforcement Officer and the City Attorney, from the Developer; or
  - ~~b). A surety bond, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a company that is listed on the U.S. Department of the Treasury's Listing of Approved Sureties (Department Circular 570) as of the date of issuance and authorized by law to do business in the State of Georgia; or~~
  - ~~eb).~~ An irrevocable letter of credit, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a financial institution that has a Texas Ratio of less than 100% as of the date of issuance and is authorized by law to do business in the State of Georgia.

4. Amount. Maintenance surety shall be in an amount equal to fifty percent (50%) of the cost of construction of the public improvements, as calculated by the Code Enforcement Officer.
5. Period. Maintenance surety shall be for a minimum period of two (2) years as determined by the Code Enforcement Officer.
6. Release and Forfeiture. Maintenance surety shall be released to the Developer upon request if the public improvements have been maintained in compliance with These Regulations and the Zoning Ordinance and any approval or permit granted thereunder for the requisite period. If the public improvements are not so maintained by the Developer for the entirety of the requisite maintenance surety period, the maintenance surety shall be forfeited to the City of Monroe.

## Proposed Amendments to the Zoning Ordinance

November 15 – Planning Commission  
 December 13 – City Council 1<sup>st</sup> Reading  
 January 10 – City Council 2<sup>nd</sup> Reading

Amendment Key  
**Blue** – Language to be added  
**Red** – Language to be removed  
**Green** – Amendment description

➤ **Section 620.3: Modify Commercial Zoning District Land Use Regulation table to remove Self-Service Mini-Warehouse and Warehouses as permitted uses in the B-3 zoning district.**

**Section 620.3 Commercial Land Use Regulations (P, B-1, B-2, B-3):**

**Section 620.3 Table 6 - Commercial Zoning District Land Use Regulations**  
 [P]=permitted; [X]=prohibited; [C]=conditional use permit required

LAND USE CATEGORY	DISTRICT				REFERENCE
	P	B1	B2	B3	
<b>Principal Use* (unless noted as an accessory use)</b>					<b>See Section or Note</b>
<b>Distribution and storage facilities</b>					
warehouse, self-service (mini)	X	X	X	<del>P</del> X	
warehouse	X	X	X	<del>P</del> X	

➤ **Section 630.3: Modify Industrial Zoning District Land Use Regulation table to add new Note that includes a description of where Self-Service Mini-Warehouse may be permitted in the M-1 zoning district.**

**Section 630.3 Industrial Land Use Regulations (M-1):**

**Section 630.3 Table 6 - Industrial Zoning District Land Use Regulations**  
 [P]=permitted; [X]=prohibited; [C]=conditional use permit required

LAND USE CATEGORY	DISTRICT	REFERENCE
<b>Principal Use*(unless noted as an accessory use)</b>		<b>See Section or Note</b>
<b>Distribution and storage facilities</b>		
warehouse, self-service(mini)	P	<a href="#">Note (6)</a>
warehouse	P	
distribution warehouse facility	P	

**Notes for Table 6, Section 630.3:**

- (1) Acid manufacturing includes without limitation the manufacturing of hydrochloric, nitric, picric, sulfuric acid or other similar acids.
- (2) Excluding the manufacturing of paper from pulp wood.
- (3) Excluding the processing of raw materials.
- (4) Excludes fuels intended for vehicle use.
- (5) In compliance with the City of Monroe Code of Ordinances, Chapter 22, Article II, Adult Entertainment.
- [\(6\) Excludes properties located in the Federal Enterprise Opportunity Zone and Urban Redevelopment Authority boundary with the exception of M-1 zoned properties located within a ½ mile of the Vine Street and South Broad Street intersection.](#)

➤ **Section 644.2: Amend language in the Monroe and Walton Mills Historic Overlay District (MHDO) to indicate the developments must be platted as condominiums.**

644.2 Applicability

The MHDO District shall be allowed in all areas located in the Monroe and Walton Mills Historic District, as defined on the City of Monroe Official Historic District Map. All MHDO developments shall be constructed on parcels of a minimum size of four-tenths (0.4) of an acre (17,424 Sf). All MHDO developments shall contain a minimum of four (4) and a maximum of ten (10) single family dwelling units per gross acre located in a cluster-type format to encourage a sense of community among the residents. All MHDO developments shall be condominium forms of ownership which meet the requirements in the subsequent sections of the MHDO District.

➤ **Section 645.3: Amend language in the Infill Overlay District to allow existing duplexes to be subdivided into infill lots.**

Permitted Uses.

Within a IOD development the following uses are permitted

- (1) Single-family detached dwellings.
- (2) Existing Two-Family or Duplex dwellings.

➤ **Section 700.2: Amend commercial zoning district dimensional requirements to allow for zero-lot line setbacks in multi-tenant gauge in the Infill Overlay District to allow existing duplexes to be subdivided into infill lots.**

700.2 P, B-1, B-2 and B-3 Dimensional Requirements: The following table delineates dimensional requirements for the specified commercial zoning districts. For the matrix of use provisions by district, see Article VI. For supplementary standards for specific uses, see Article X. For allowed residential uses in commercial zoning districts, the dimensional requirements of the corresponding residential district shall apply.

**Section 700.2: Table 11 – Commercial Zoning District Dimensional Requirements**

	P	B1	B2	B3
<b>LOT</b>				
Lot area, min (1)	7,500 sq. ft.	7,500 sq. ft.	None(7)	None(7)
Lot coverage, max	50%	50%	60%	60 %
Lot width, min	60 ft.	60 ft.	60 ft.	100 ft.
Lot frontage, min	60 ft.	60 ft.	60 ft.	100 ft.
<b>YARD</b>				
Setback, front yard (2)	25 ft.	25 ft.	25 ft.	35 ft.
Setback, side yard, min (3)	10 ft.	15 ft. (8)	15 ft. (4)(8)	15 ft. (5)(8)
Setback, rear yard, min	20 ft.	20 ft.	20 ft. (4)	20 ft. (5)
<b>BUILDING</b>				
Building height, max (6)	35 ft.	35 ft.	35 ft.	35 ft.
Building ground floor area, min sq footage required	1,000 sq.ft.	1,000 sq.ft.	1,000 sq.ft.	2,000 sq.ft.

- (1) Encompasses area for accessory buildings and uses, including parking, loading and unloading space, storage and parking, screening, lighting, and stormwater management measures. The minimum lot area cited in this Article shall be increased in all situations where public sanitary sewer service is not utilized and the Walton County Health Department requires a larger lot for proper septic tank operation.
- (2) For properties within the HPO or CDO overlay districts, the setback is established by the designated design review board to maintain the established building line along a historic block or design corridor.
- (3) On corner lots that abut a residential district or use, there shall be a side yard equal in depth to the required front yard of the residential district.
- (4) A ten (10) foot landscaped and fenced opaque buffer strip or berm is required if lot abuts residential district or use.
- (5) A twenty-five (25) foot landscaped and fenced opaque buffer strip or berm is required if lot abuts residential district or use.
- (6) Church spires, belfries, cupolas, monuments, water towers, chimneys, flues, flagpoles, television antennae, and radio aerials are exempt.
- (7) Minimum lot size for single family homes shall comply with the requirements for R1A districts.
- (8) Zero-lot line setbacks are permitted for multi-tenant commercial buildings located on one single-parcel where existing parking serves all existing tenants in the commercial building. A shared parking arrangement is required prior to plat approval for any subdivision of an existing parcel benefitting from this requirement.

➤ *Section 810.1: Amend newly platted subdivision requirements to require the submittal of a plat showing the matrix of 5 different building designs for consideration and approval as required in Section 810.1(1).*

**Section 810 Newly Platted Subdivisions.**

810.1 Single and Two Family Dwelling Subdivisions. The following site design standards shall be utilized for every newly platted residential subdivision containing single and two family dwellings.

- (1) There shall be only one building design or substantially similar building design permitted per 5 adjacent or opposite adjacent lots. Provided however, if the average lot size of the subdivision exceeds 1 acre, one building design or substantially similar building design shall be permitted per 3 adjacent or opposite adjacent lots.

(a) Prior to approval of any building permits for new platted subdivisions, a copy of the final plat showing the building design matrix set forth in Section 810.1(1) shall be submitted to the Code Enforcement office for review.

➤ *Article VIII: Add new section requiring all new single-family residential and mixed-use projects to be rezoned as a planned district.*

Section 820 New Single-Family Residential and Mixed-Use Development.

All new single-family residential and mixed-use developments shall be rezoned to a planned district as outlined in Section 650.



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➤ *Section 910: Revise the front and rear entry requirements for a single-family dwelling to exclude trellis extensions (or pergolas). Revise the garage standards for single-family dwellings to Add new section requiring all new single-family residential and mixed-use projects to be rezoned as a planned district.*

**Section 910 Residential Building Design Standards.**

910.1 Single and Two Family Dwellings. The following building design standards shall apply to all single and two family dwelling units constructed in the City, regardless of their zoning district:

- (1) All dwellings shall be constructed of brick, stone or other masonry type product. Cement based siding such as Hardiplank or other similar material is permitted. Vinyl and aluminum siding is prohibited. Vinyl or aluminum may be utilized on a limited basis in the soffit and eave trim areas.
- (2) All primary roofs shall have a minimum 5/12 pitch. Dormer and porch roofs may have lower slopes.
- (3) All primary roof overhangs for exterior walls shall be no less than 16 inches for brick sided designs, and no less than 12 inches for all other designs. Said overhang requirements shall apply to gable ends as well as exterior walls supporting rafters.
- (4) All primary front entrances shall be scaled to the relative proportions of the building design, adjoining streetscape, and maintain the overall architectural style of the residence.
- (5) All primary front and rear entrances shall be recessed a minimum of 5 feet, and shall be covered by a roof extension, ~~trellis extension,~~ or shed roof extension no less than 6 foot by 6 foot in dimension. Pergolas, trellis extensions, and other open structures do not count towards this requirement.
- (6) All exterior wall sections wider than 25 feet shall include an interruption in the plane of the façade by recess, protrusion, or fenestration.
- (7) No exposed unpainted wood is allowed on the front façade of any dwelling except porch flooring boards.
- (8) ~~All garage doors must be side or rear facing except in cul-de-sac lots where lot widths would prohibit side or rear entry.~~ All attached and detached garages shall be located a minimum of 20 feet behind the front of the dwelling. Preferred garage access for dwellings is rear or alley loaded. For the purposes of this requirement, the front of the dwelling shall begin at the heated floor area of the front orientation of the dwelling. If the front door is recessed behind any heated floor area of the front orientation of the dwelling, the distance shall be measured from the front door.
- (9) ~~All garage doors in cul-de-sac lots where the lot width would prohibit side or rear entry shall be no more than 20% of the front façade or 120 square feet, whichever is less.~~