

Planning Commission Meeting

AGENDA

Tuesday, November 15, 2022 5:30 PM 215 N. Broad St

- I. <u>CALL TO ORDER</u>
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. MINUTES OF PREVIOUS MEETING
 - 1. Planning Commission Minutes 10/18/2022
- V. REPORT FROM CODE ENFORCEMENT OFFICER
- VI. OLD BUSINESS
- VII. <u>NEW BUSINESS</u>
 - 1. Request for COA Site Development for Restaurant 129 S. Wayne St.
 - 2. Request for COA Site Development for Restaurant 701 Pavilion Pkwy
 - 3. 2023 Planning Commission Schedule
 - 4. Development Regulations Update # 6
 - 5. Zoning Text Amendment #14

VIII. <u>ADJOURNMENT</u>

MONROE PLANNING COMMISSION MEETING MINUTES—October 18, 2022—DRAFT

Present: Mike Eckles, Rosalind Parks, Randy Camp, Nate Treadaway, Shauna Mathias

Absent: None

Staff: Brad Callender—City Planner

Laura Wilson—Code Assistant

Sara Shropshire—Directory of Community Development

Visitors: Sharon McDonald, Levon Howard, Angie Putnam, Virginia Crawford, Veronica

Boyce, Lee Rowell

Call to Order by Chairman Eckles at 5:31 pm.

Motion to Approve the Agenda as presented:

Motion Camp. Second Parks

Motion carried

Chairman Eckles asked for any changes, corrections or additions to the September 20, 2022 minutes.

Motion to approve

Motion Camp. Second Treadaway.

Motion carried

Chairman Eckles asked for the Code Officer's Report: Welcome Shauna to the Planning Commission

Old Business: None

<u>The First Item of Business:</u> is Conditional Use Permit Case #1630, a request for a conditional use permit at 517 Hill St. for a Child Care Center at an existing care center location. The existing care center building was built in 1977 and operated as either a child care or adult care center until 2019. The building is zoned Professional (P). Under the P zoning, a care center is a conditional use. After six months of inactive use, the previously approved use as care center is voided. Staff recommends approval without conditions. Levon Howard and Sharon McDonald spoke in favor of the project. The school would be called Exploring New Adventures Learning Academy. There is no daycare in that area and it would be beneficial to the community.

Chairman Eckles: Do you have a staff in place?

Howard: Not at this time

Chairman Eckles: When do you propose to open? Howard: In January after our state approval

Public Comment: Virginia Crawford (lives on Roosevelt St)—Concerned about additional traffic in the area of Hill and Roosevelt; Also what does conditional mean?

Callender: A conditional use is one that is not allowed by right. There are two types of land uses allowed in a zoning district. If it was allowed by right there would not be a public hearing. They would just be allowed to operate.

Crawford: There is a blind spot just past the center (on Roosevelt) and people park on the road as well. With the additional traffic, residents are concerned about accidents.

Commissioner Treadaway: On Hill St, are there two curb cuts?

Howard: Yes, you come in and go out

McDonald: There is also parking on the site

Commissioner Parks: How many children do you anticipate starting with?

Howard: We are going to start with about 20 and grow from there

Commissioner Treadaway: Does the state determine what is a safe number of students?

Howard: Yes

Commissioner Treadaway: Has that been assessed? Howard: Not yet, we need zoning approval first

Chairman Eckles: Anyone else here to speak in opposition? None

Motion to approve as presented

Motion Camp. Second Mathias. Motion Carried

The Second Item of Business is Rezone Case #1631, a request to rezone northwest corner of Charlotte Rowell Blvd and Double Springs Church Road Connector from B-3 to a Planned Commercial District (PCD) for the purpose of constructing a community recreation center for the Young Men's Christian Association of Georgia's Piedmont, Inc. (YMCA). The primary building will be approximately 44,000 sq ft with a maximum building height of 35ft. The building façade will be a combination of brick and black/dark gray architectural metals. The entire facility will have 288 parking spaces. There will be ancillary recreation buildings and sport fields on site as well. Staff recommends approval with four conditions as listed in the staff report dated October 10, 2022.

Andrea Gray, attorney for YMCA, spoke in favor of the project. The design of the building was inspired by the architecture of the Monroe Mills. The lighting will be downward facing and shielded. Anticipated signage includes a wall sign and a ground sign at the entrance. Interior roads will not be dedicated to the City. The facility and grounds will be owned, managed, and maintained by the YMCA. The YMCA finds no issue with conditions 1, 2, and 4 in the staff report dated October 10, 2022. For condition 3, the YMCA would like to have more conversations with

City about putting in a left turn lane on Double Springs Ch Rd Connector due to anticipated costs associated with that condition. Additionally, that condition would benefit the City as well, not just the YMCA.

Commissioner Treadaway: Have there been any traffic studies done?

Gray: No

Commissioner Treadaway: Double Springs Ch Rd Connector is a two-lane road?

Gray: Yes

Commissioner Treadaway: How would the roadway be expanded there? Gray: That is the challenge and what we would like to explore with the City

Callender: There is likely enough existing road to accommodate a turn lane without have to acquire right of way from adjacent property owners. The basis of this recommendation traffic stacking up onto Charlotte Rowell Blvd during peak times if a turn lane is not built to accommodate the additional traffic.

Discussion continued about the installing a left turn lane (condition 3).

Motion to approve with recommended conditions 1, 2, and 4 and condition 3 be amended to include the cost of a turn lane negotiated between the YMCA and the City at a later date.

Motion Treadaway. Second Camp Motion carried

Chairman Eckles entertained a motion to adjourn. Motion to adjourn

Motion Mathias. Second Parks. Meeting adjourned; 6:06pm



Planning City of Monroe, Georgia

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 1709

DATE: November 1, 2022

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: JEC Development, LLC

PROPERTY OWNER: JEC Development, LLC

LOCATION: Southwest corner of N. Wayne Street and W. Highland Avenue – 129 N. Wayne Street

ACREAGE: ±0.17

EXISTING ZONING: B-2 (General Commercial District)

EXISTING LAND USE: Metal retail building

ACTION REQUESTED: The applicant is requesting approval of a Certificate of Appropriateness application in order to allow renovations and an addition to an existing metal building to allow for redevelopment of the site for a restaurant.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness as requested without conditions.

DATE OF SCHEDULED MEETING

PLANNING COMMISSION: November 15, 2022

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to convert an existing metal retail building into a restaurant. Along with the conversion, the applicant proposes to add a covered patio onto the front of the building and a small addition on the side of the building. The applicant also proposes to install two shipping containers for patron seating and an outdoor bar. The site will be improved with new landscaping, planters, outdoor bench seating and decorative lighting.

PROPOSED PROJECT SUMMARY:

- Renovation & Redevelopment 129 N Wayne Street
 - Proposed Use Thai Restaurant
 - o Existing Building 1,200 Sf
 - Renovation

- Exterior to be updated with new doors, storefront glass, and paint
- Improvements to the building also include a covered patio and small addition
- Site Redevelopment & Improvements
 - Installation of two shipping containers for patron seating and an outdoor bar
 - Installation of new landscaping, planters, bench seating and decorative lighting

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "SPECIAL DESIGN STANDARDS AND EXCEPTIONS FOR THE CBD OVERLAY" AS SET FORTH IN SECTION 646.6 OF THE CITY OF MONROE ZONING ORDINANCE.

- 646.6.1 Because of the pedestrian nature of the CBD Overlay, the presence of ample on-street and public lot parking, and the allowance of commercial parking garages within the CBD, new buildings and uses within the CBD shall not be subject to the off-street parking requirements as required in Section 520 of this Ordinance upon granting of a COA by the Planning Commission allowing such reduced or eliminated off-street parking requirements: The site currently does not have any on-site parking. Public parking is located in the vicinity adjacent to the site. This standard of the CBD exempts the development from being required to comply with the off-street parking requirements.
- 646.6.2 To continue the existing historical building pattern of the CBD Overlay and to encourage traditional zero lot line construction throughout the CBD Overlay, the lot coverage restrictions of Section 570 of this Ordinance shall not apply to property located within the CBD Overlay upon granting of a COA by the Planning Commission allowing such lot coverage proposed: The existing building footprint is not directly on the boundary of the property. The applicant does propose to include improvements to the site along the boundary adjacent to W. Highland Avenue. The site is predominantly impervious, but the applicant does propose to reduce existing hardscape on the site by installing landscaping and decorative planters.
- 646.6.3 To continue the existing historical building pattern of the CBD Overlay and to encourage traditional zero lot line construction throughout the CBD Overlay, the dimensional requirements of the underlying zoning district contained in Section 700.2-Table 11 of this Ordinance shall not apply to property located within the CBD Overlay upon the granting of a COA by the Commission allowing different dimensional requirements. Said dimensional requirements shall be consistent with the minimums contained herein in Table 9: The proposed improvements on this site are consistent with the standards in Table 9 of Section 646.6 in the Zoning Ordinance.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to allow renovation of the existing building and redevelopment of the site for a new restaurant as submitted without conditions.

Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the
Corridor Design Overlay or the Central Business District are required to obtain a Certificate of
Appropriateness (COA) from the Planning Commission for any exterior material change on the property.
Project Address: 129 NWAYNE S. Montoc, 64 Parcel #
Property listed above is located in (circle) Corridor Design Overlay or Central Business District
Project Type (circle): New Construction, Renovation of Existing Structure, Demolition, Signage
Property Owner: TEC OEVEROMENT LLC
Address: 129.5 N BROAD ST MONNOE, GA 30655
Telephone Number: 503 927 6321 Email Address: CHOO PLACE PORTAND. CON
Applicant: TEC DEVELOPMENT LLC
Applicant: JEC SEVEROPMENT LLC Address: 127.5 N Blown S. Monthof GA 30655
Telephone Number: 503_927-6321 Email Address: CHAPE RACEPORTAND. Co
Estimated cost of project:
Please submit the following items with your application:
Photographs of existing condition of the property to show all areas affected
Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
Written description of the project
Owner authorization statement, if applicant is not the property owner
Application Fee \$100
Please submit all application materials in hardcopy to the Code Department and digitally at
lwilson@monroega.gov; Please submit two physical copies.
9-23-22
Signature of Applicant Date
Signature of Applicant Date RECEIVED

City of Monroe



215 N. Broad Street Monroe, GA 30655 (770) 207-4674

PLANNING & ZONING MTG PERMIT

PERMIT #:

1709

DESCRIPTION:

Planning & Zoning

JOB ADDRESS:

129 N WAYNE ST

LOT #:

65

PARCEL ID: SUBDIVISION: M0140054

BLK #: ZONING:

B-2

ISSUED TO: **ADDRESS**

JEC DEVELOPMENT LLC

CONTRACTOR: PHONE:

JEC DEVELOPMENT LLC

CITY, STATE ZIP:

MONROE GA 30655

PHONE:

770-267-6545

OWNER: PHONE:

PROP.USE

COMMERCIAL VALUATION:

DATE ISSUED: **EXPIRATION:**

10/28/2022 4/26/2023

SQ FT OCCP TYPE:

CNST TYPE:

770-207-4674

0.00

0.00

INSPECTION REQUESTS:

lwilson@monroega.gov

FEE CODE

DESCRIPTION

AMOUNT

\$ 100.00

COA-01

PLANNING COMMISSION REGULAR MEETING

FEE TOTAL

\$ 100.00 \$ -100.00 \$ 0.00

PAYMENTS BALANCE

NOTES:

The City of Monroe Planning Commission will hear your request for building and site redevelopment at 129 N. Wayne St. on November 15, 2022 at 5:30p.m. in the Council Chambers at City Hall; 215 N. Broad St. Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

NOTICE TO THE PUBLIC CITY OF MONROE

A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for building and site redevelopment at 129 N. Wayne St. (Parcel #M0140054).

The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on November 15, 2022 at 5:30 P.M. All those having an interest should be present to voice their interest at said public meeting.

PLEASE RUN ON THE FOLLOWING DATE:

October 30, 2022

J.E.C Development LLC 127.5 N Broad St Monroe, Ga 30655 503.927.6321

RE: 129 N Wayne St 9/23/22 Scope of Work Narrative

J.E.C. Development is the owner of this property. Bolt Construction Group will be the contractor performing both the landlord (shell) work and the tenant work which are shown as 2 different plan sets. The purpose of the project is to renovate the building and property into a Thai restaurant.

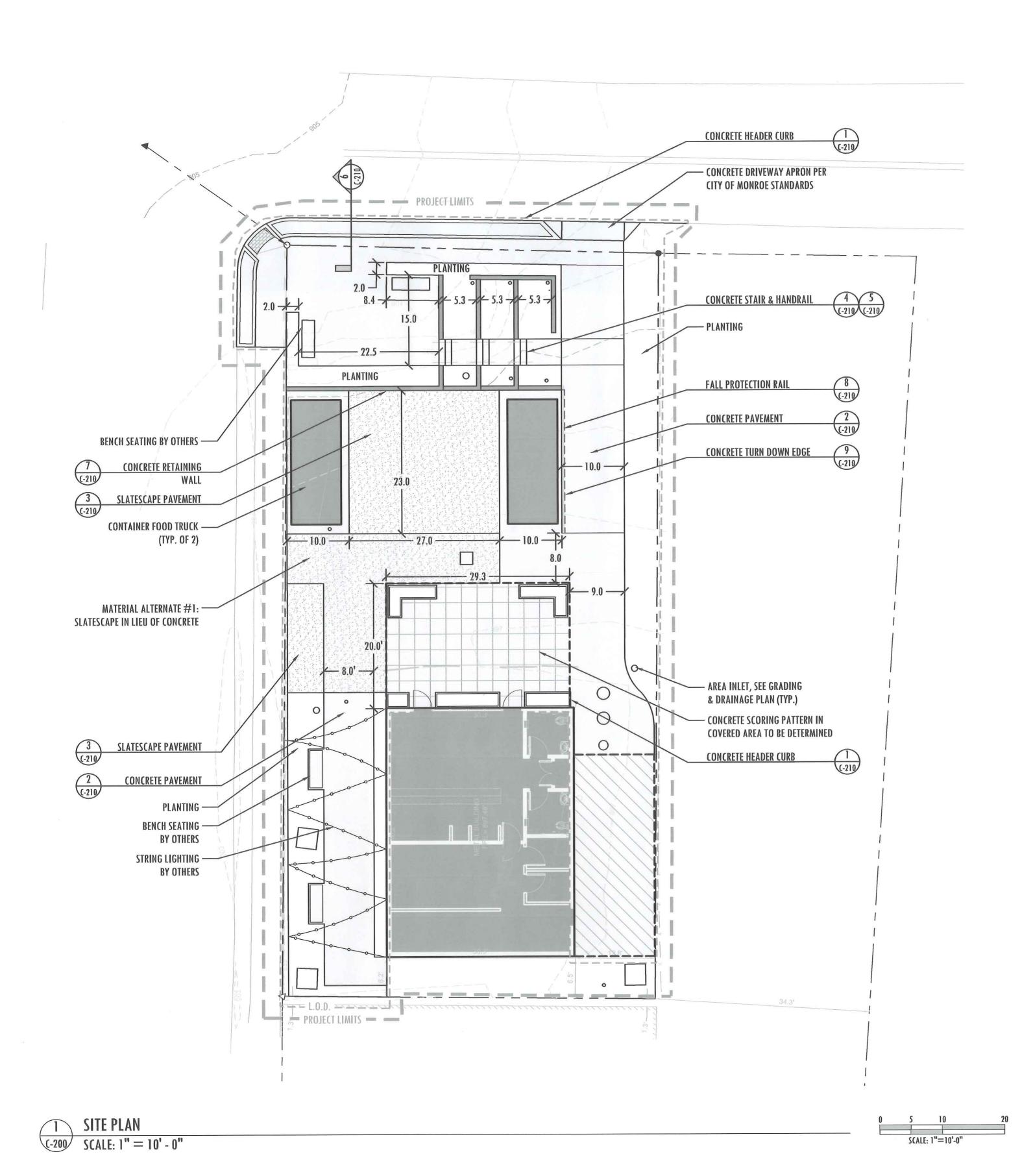
The project will involve adding a small addition to the left side of the existing structure and building a covered patio onto the front of the building. The entire exterior will be updated with new doors, storefront glass and paint. The interior will be fully built out to accommodate a full kitchen, 2 restrooms and a dining area. All work will meet current building codes and dramatically improve the perception and functionality of this building.

The property will be regraded to create a level outdoor dining area that will have 2 simple structures, one that houses booths and the other will be an outdoor bar. The property will be extensively landscaped and be a welcome presence to anchor the corner of Highland Ave and N Wayne St.

Chad Draper

J.E.C. Development LLC Bolt Construction Group





PROJECT INFORMATION

ADDRESS: 129 N. WAYNE STREET, MONROE, GA 30655

JEC DEVELOMENT LLC, 127 ½ N. BROAD STREET, MONROE, GA 30655 ZONING: EXISTING USE: STORE/RETAIL

SITE PLAN NOTES

PROPOSED USE: BUSINESS

- 1. PARCEL COVERAGE: PROJECT AREA: 0.16 ACRE (7155 SF)
 - DISTURBED AREA: 0.16 ACRE (7155 SF)
 - EXISTING IMPERVIOUS SURFACE: 5627 SF
 - IMPERVIOUS SURFACE TO BE REMOVED: 4408 SF
 - PROPOSED IMPERVIOUS SURFACE: 4327 SF REDUCTION IN IMPERVIOUS SURFACE: 81 SF
- 2. CONTRACTOR SHALL PROVIDE A SCHEMATIC JOINT PLAN FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF CONCRETE PAVEMENT.
- 3. UNLESS OTHERWISE NOTED ALL CONTROL JOINTS ADJACENT TO PROPOSED ARCHITECTURE ARE TO ALIGN WITH CENTER OF CURTAIN WALL MULLIONS, CENTER OF COLUMN, OR EDGE OF BUILDING.
- 4. NEW WORK SHALL MEET AND MATCH ALIGNMENT OF EXISTING FEATURES AND FINISHED GRADES AT PROJECT LIMITS AND AT EXISTING PAVEMENT OR OTHER FACILITIES TO REMAIN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE NECESSARY MINOR ADJUSTMENTS IN THE PROPOSED WORK TO MEET THE INTENT OF THE PLANS AND TO PROVIDE SMOOTH TRANSITIONS BETWEEN EXISTING CONDITIONS AND NEW WORK.
- 5. THE LAYOUT IS INTENDED, IN PART, TO RELATE TO EXISTING ARCHITECTURAL AND SITE FEATURES. IN GENERAL, THE MEASUREMENTS ON THE DRAWINGS ARE REASONABLE AND ACCURATE FOR THEIR PURPOSE. HOWEVER, IN THE EXECUTION OF WORK ON THE PROJECT, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS WITH ACTUAL CONDITIONS ON THE JOB IN ORDER TO MAKE A PERFECT FIT. NOTIFY LANDSCAPE ARCHITECT OF ANY ADJUSTMENTS PRIOR TO CONSTRUCTION.
- 6. ALL DIMENSIONS ARE TO FACE OF TREAD, FACE OF BRICK EDGING, AND FACE OF WALLS, ETC., UNLESS OTHERWISE NOTED.
- 7. THE CONTRACTOR SHALL STAKE THE ALIGNMENT OF ALL PAVEMENT, WALLS, AND OTHER HARDSCAPE FEATURES, PER LAYOUT PLAN DIMENSIONS, IN THE FIELD FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.

SITE PLAN LEGEND **CONCRETE PAVING SLATESCAPE PAVING** — — PROJECT LIMITS --- LIMITS OF DISTURBANCE THIS DRAWING IS THE PROPERTY OF 11 ARCHITECTURE & IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT WRITTEN APPROVAL. IT IS ONLY TO BE USED FOR THE PROJECT & SITE SPECIFICALLY IDENTIFIED HEREIN & IS NOT TO BE USED ON ANY OTHER SITE. IT IS TO BE RETURNED UPON REQUEST. E+E ARCHITECTURE AND IS PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND HAS BEEN COPYRIGHTED E+E ARCHITECTURE INC. © 2022 OWNERSHIP OF DOCUMENTS IS NONTRANSFERABLE.

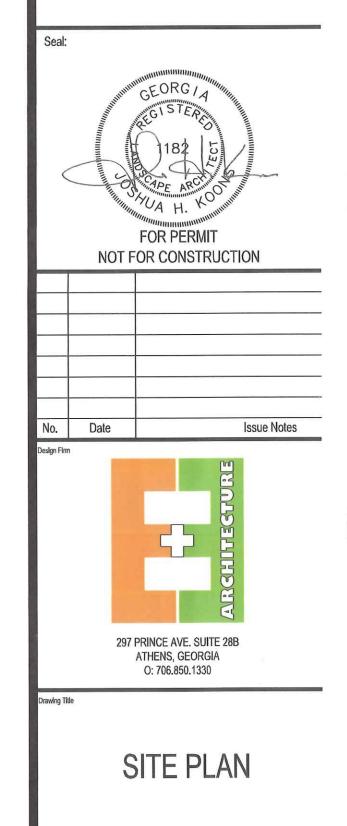
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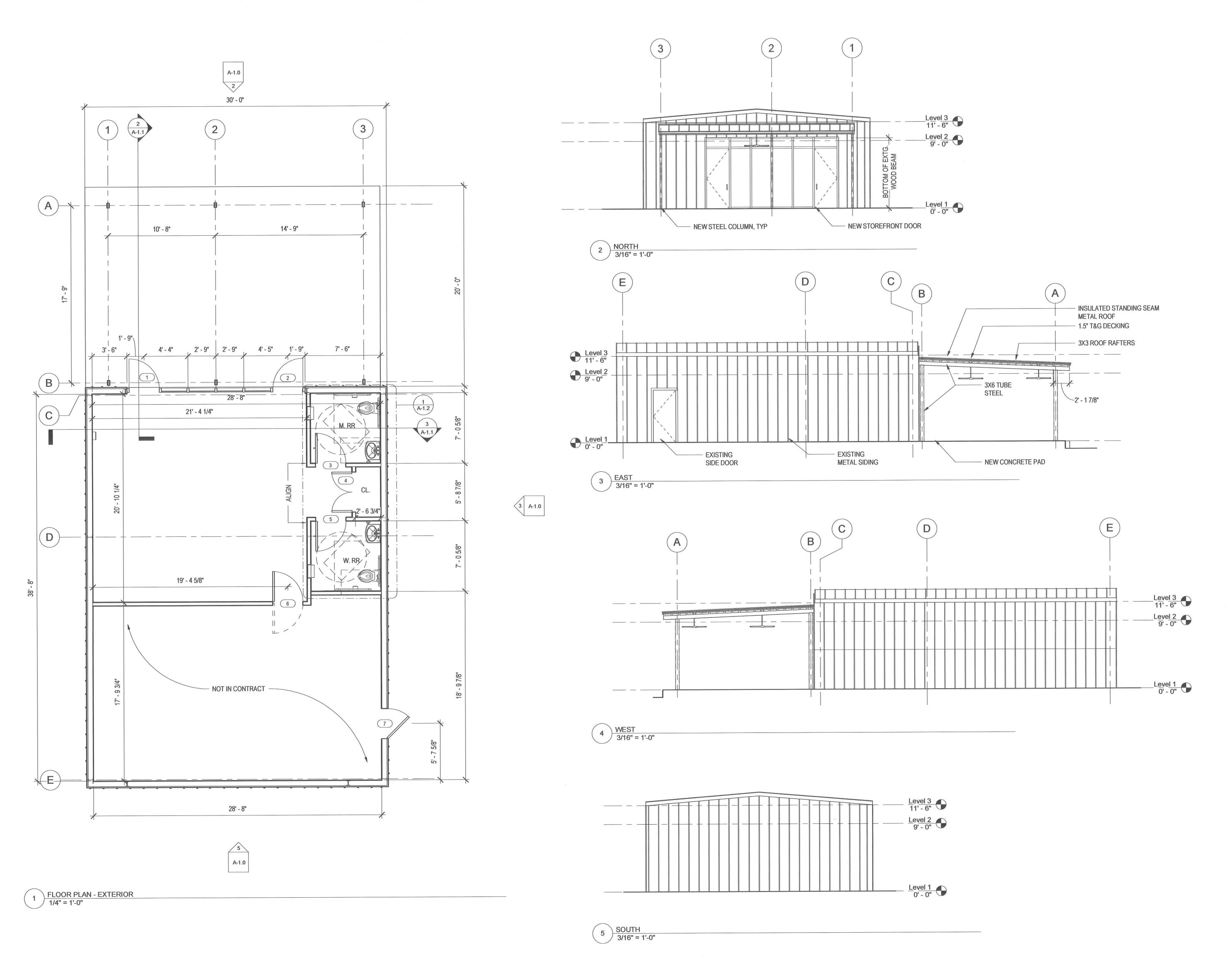
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OPMEN.



08.29.22



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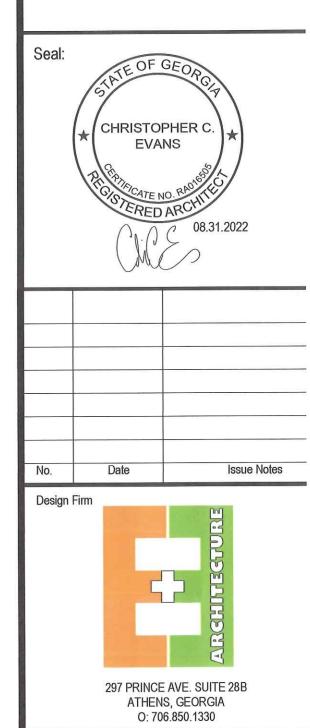
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STREE1, 30655

CONSULTING ENGINEERS:

JEC DEVELOPMENT (SHELL DRAWINGS)



4.15.2022 name 2020-36

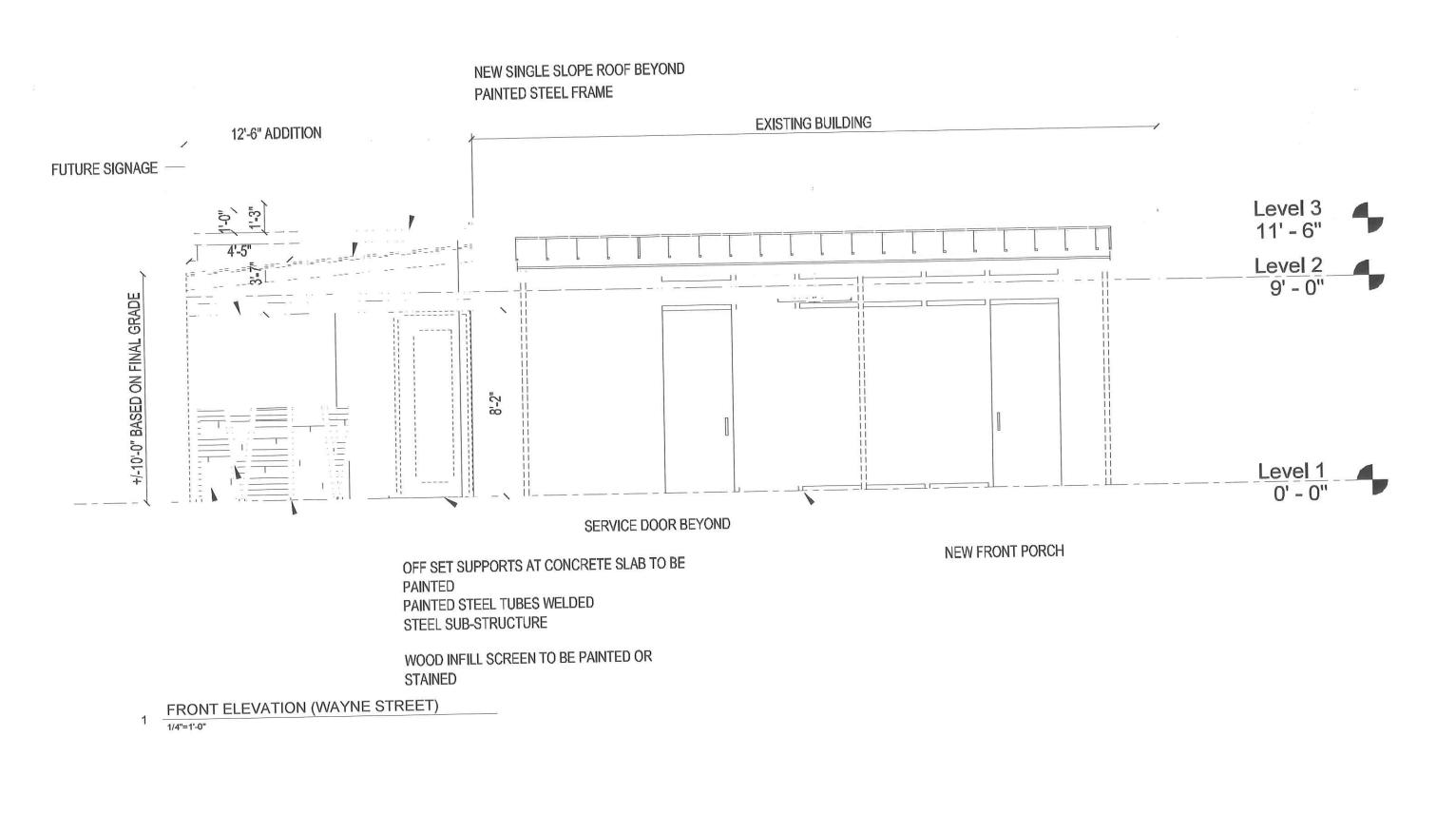
FLOOR PLAN + EXTERIOR ELEVATIONS

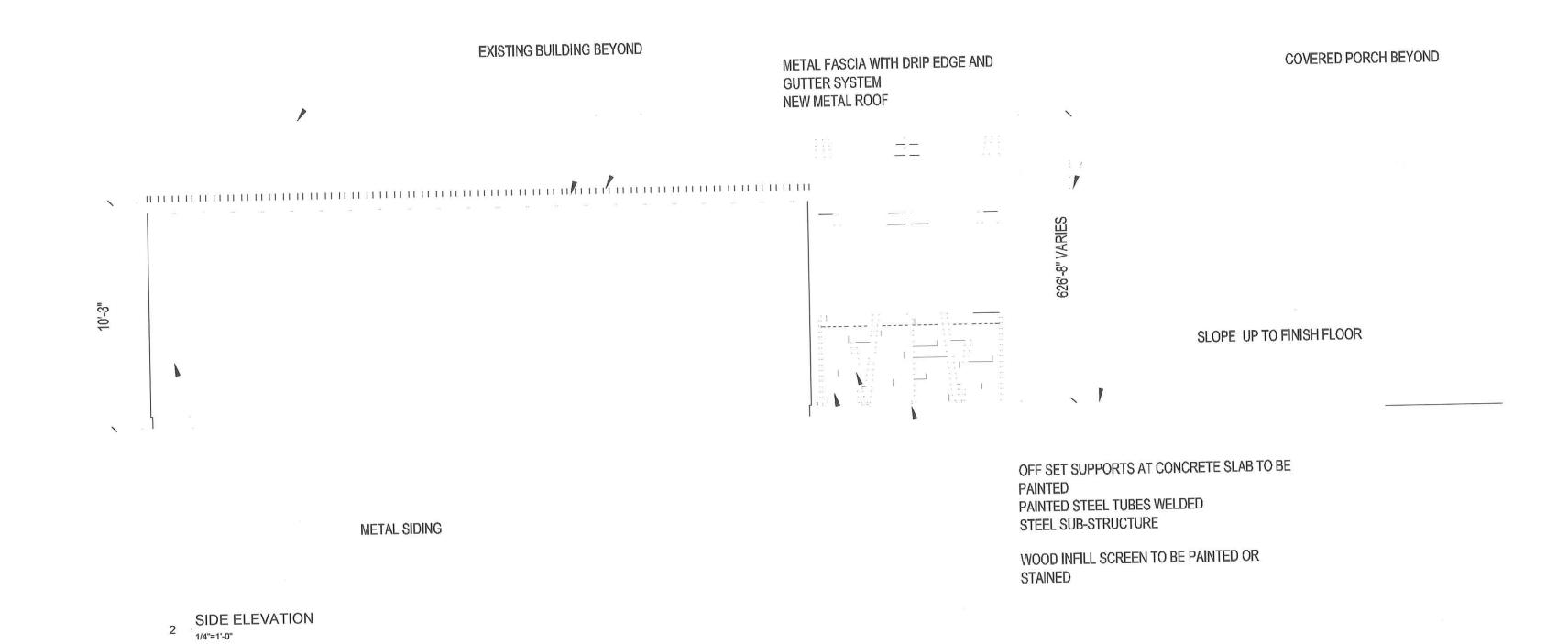
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Drawing Title

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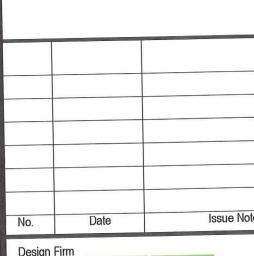
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STREE 30655

Seal:



Firm

297 PRINCE AVE. SUITE 28B
ATHENS, GEORGIA
O: 706.850.1330

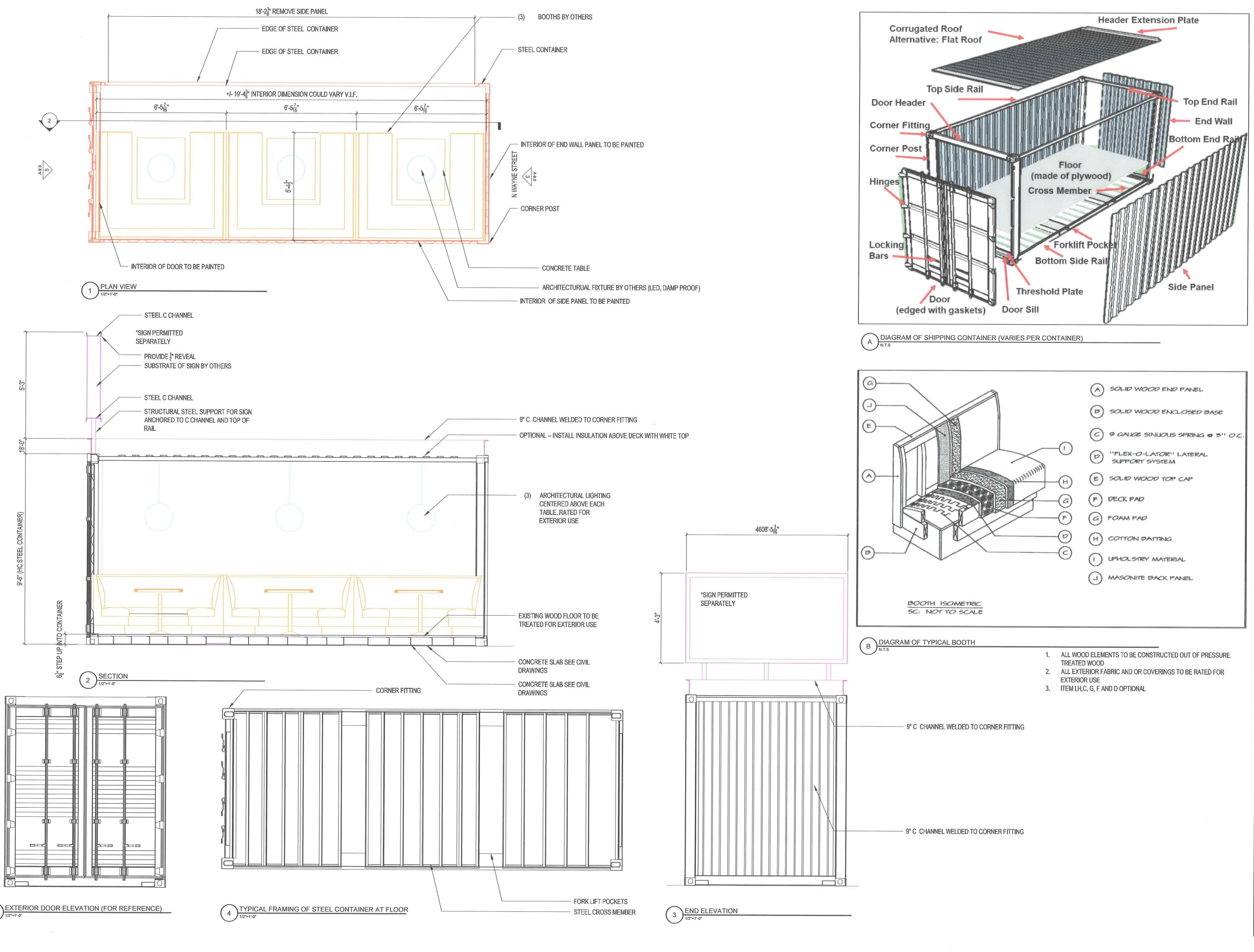
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EXTERIOR ELEVATIONS - INTERIOR BUILDOUT

4.15.202 File name

Drawing Number

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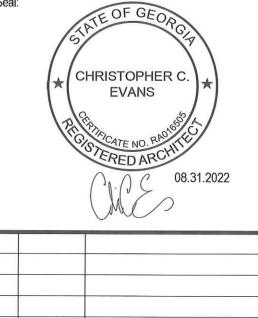
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(706) 353-3838

STRUCTURAL ENGINEER: GINN ENGINEERING SERVICES, LLC 1971 Flat Rock Road Watkinsville, GA 30677 (678) 232-0872

HELL DRAWINGS) 29 N. WAYNE ST. MONROE, GA 30655



No. Date Issue Notes

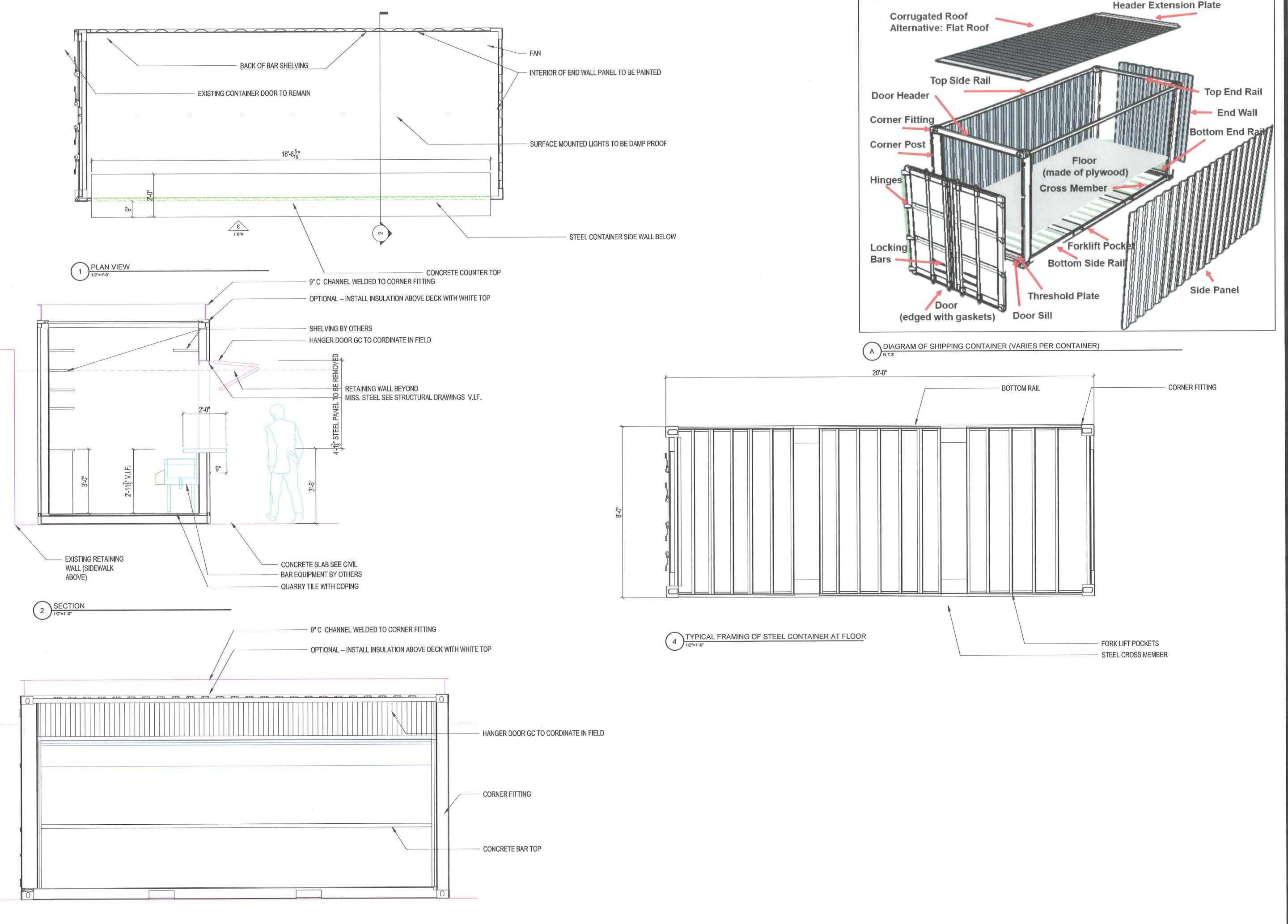
Designation

Date Issue

297 PRINCE AVE. SUITE 28B ATHENS, GEORGIA O: 706.850.1330

STEEL CONTAINER
OUTDOOR SEATING

A-9.0



SIDE ELEVATION

1/2"=1'-0"

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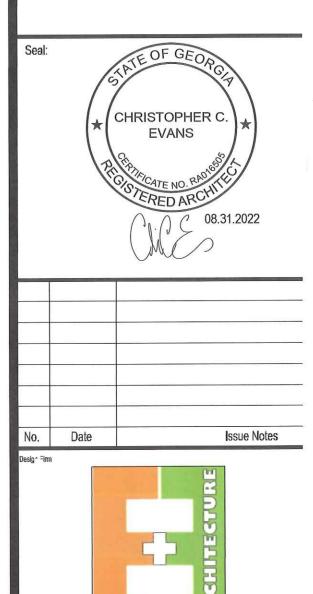
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675 Pulaski Street, Suite 2000

Athens, GA 30601

(706) 353-3838

STRUCTURAL ENGINEER:
GINN ENGINEERING SERVICES, LLC
1971 Flat Rock Road
Watkinsville, GA 30677
(678) 232-0872

JEC DEVELOPMENT (SHELL DRAWINGS) 129 N. WAYNE ST. MONROE, GA 30655



297 PRINCE AVE. SUITE 28B ATHENS, GEORGIA O: 706.850.1330

STEEL CONTAINER OUTDOOR BAR

A-9.1





Planning City of Monroe, Georgia

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: 1711

DATE: November 1, 2022

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Sevan Multi-Site Solutions

PROPERTY OWNER: Made to Order Holdings

LOCATION: South side of Pavilion Pkwy. and the north side of US Hwy 78 – 701 Pavilion Pkwy.

ACREAGE: ±1.55

EXISTING ZONING: PCD (Planned Commercial District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a restaurant.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness with conditions.

DATE OF SCHEDULED MEETING

PLANNING COMMISSION: November 15, 2022

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a restaurant, associated parking and landscaping.

PROPOSED PROJECT SUMMARY:

- Fast-Food Restaurant with Drive-Thru Window Whataburger
 - Total Building Floor Area 3,895 Sf
 - Façade Materials combination of brick and architectural metal siding with storefront type windows and doors
 - o Access Shared access drive off Pavilion Pkwy.
 - Parking 42 Parking Spaces (41 shown on multiple plans)
 - o Landscaping 20' landscape buffers along Pavilion Pkwy. and US Hwy 78

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "CORRIDOR DESIGN STANDARDS AND GUIDELINES" AS SET FORTH IN SECTION 643A OF THE CITY OF MONROE ZONING ORDINANCE.

643A.1 – Site Planning:

The proposed building is a typical sized fast-food restaurant building. The building is oriented on the lot in a perpendicular manner to Pavilion Pkwy. and US Hwy 78 with parking on the western side of the lot and a drive-through window on the east side of the building. The site has established access off Pavilion Pkwy. that was installed in the development of Pavilion Pkwy. The lot is intended to have shared access through the lot to each lot adjoining the site. The development appears to meet the general intent of the Site Planning Requirements in Section 643A.1(1) of the Zoning Ordinance.

643A.2 – Architecture:

The proposed façade of the restaurant building will be a combination of brick and architectural metal siding and glass storefront windows and doors. The roof of the building will be a duel-parapet roof style. The proposed building appears to meet the intent of the Architectural requirements under Section 643A.2.

643A.3 – Pavement:

A proposed through-access drive 24-feet in depth will be located between the restaurant building and the right-of-way of Pavilion Parkway. All parking on the site will be located to the side of the proposed restaurant building. The pavement areas proposed throughout the site appears to comply with the general and area specific criteria outlined in Section 643A.3 of the Zoning Ordinance.

643A.4 - Landscaping:

The submitted development proposes to include landscaping along Pavilion Pkwy. and US Hwy 78 and throughout the site. Landscaping along Pavilion Pkwy. and US Hwy 78 will be inside a 20-foot landscape buffer that will contain a mixture of shrubs, medium sized trees, and Bermuda grass. Bermuda grass and shade trees will also be installed adjacent to parking spaces. The landscaping proposed in the submitted development plans appears to comply with the landscaping criteria outlined in Section 643A.4 of the Zoning Ordinance.

643A.5 - Signs:

The application includes the entire sign package proposal for the fast-food restaurant. A monument sign will be placed along Pavilion Pkwy. The monument sign will have external illumination. Directional and menu signs will be located inside the lot. The building will have wall signs on each wall face. The signs are proposed to have back-lit, or halo lighting for most of the signs except for the restaurant's logo signage. The logo sign is proposed to be internally illuminated on three of the wall faces. The pattern book for the Monroe Pavilion project (page 4.1B, Section 1210.2 (18) discourages any internal illumination of wall signs. The City of Monroe Corridor Design Overlay requirements do not permit any signs to be internally illuminated (Section 643A.5(e)). Staff has added a condition at the end of this report to address the internal illumination of signs on the site. All other signs proposed appear to meet the intent of the signage criteria outlined in Section 643A.5 of the Zoning Ordinance.

643A.6 – Illumination:

A lighting plan was not included with the development plans. Any lighting added to the site will be required to comply with the Illumination Criteria for the Corridor Design Standards and Guidelines outlined in Section 643A.6 of the Zoning Ordinance.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to construct a fast-food restaurant with drive-thru windows, subject to the following condition:

1. Signs on the site shall not be internally illuminated. Back-lit, or halo-lit style illumination is permissible and the preferred illumination of signage on the site.

City of Monroe



215 N. Broad Street Monroe, GA 30655 (770) 207-4674

PLANNING & ZONING MTG PERMIT

DESCRIPTION:

CONTRACTOR:

DATE ISSUED:

EXPIRATION:

LOT #:

BLK #:

ZONING:

PHONE:

OWNER: PHONE:

JOB ADDRESS: PARCEL ID: SUBDIVISION:

PERMIT #:

701 PAVILION PKWY

M0050045K00

ISSUED TO: ADDRESS

Sevan Multi-Site Solutions 3025 Highland Parkway P: Downers Grove IL 60515

CITY, STATE ZIP: PHONE:

478-731-9869

PROP.USE VALUATION: SQ FT

COMMERCIAL \$ 0.00 0.00

OCCP TYPE: CNST TYPE:

CNST TYPE:

770-207-4674

REQUESTS: lwilson@monroega.gov

FEE CODE

COA-01

DESCRIPTION

PLANNING COMMISSION REGULAR MEETING

AMOUNT \$ 100.00

Planning Commission -WhataBurger

Sevan Multi-Site Solutions

PCD

10/28/2022

4/26/2023

FEE TOTAL PAYMENTS BALANCE \$ 100.00 \$ -100.00 \$ 0.00

NOTES:

The City of Monroe Planning Commission will here this request for building and site development at 701 Pavilion Pkwy at 5:30pm in the City Hall Auditorium located at 215 N. Broad St.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

(APPROVED BY)

DATE

Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located w Corridor Design Overlay or the Central Business District are required to of Appropriateness (COA) from the Planning Commission for any exterior ma	otain a Cert	
Project Address:		M0050045B00
Property listed above is located in (circle) Corridor Design Overlay or Cent		
Project Type (circle): New Construction Renovation of Existing Structure,	Demolition	i, Signage
Property Owner: Made To Order Holdings		A MANAGEMENT
Address:11 Greenway Plaza, Suite 300, Houston, TX 77046		
Telephone Number: 478.731.9869 Email Address: Harrison	Р@МТОН	.com
Applicant: Sevan Multi-Site Solutions/Amy Pearce		
Address: 3025 Highland Parkway, Suite 850, Downers Grove, IL 6051.	5	
Telephone Number: 253.508.4322 Email Address: am	y.pearce@	sevansolutions.com
Estimated cost of project: \$2.5MM		
Please submit the following items with your application:		
X Photographs of existing condition of the property to show all areas	affected	
X Plans, sketches, drawings, and diagrams of the project which detail	I the mater	ials that will be used
X Written description of the project		
X Owner authorization statement, if applicant is not the property ow	/ner	
Application Fee \$100		
Please submit all application materials in hardcopy to the Code Departme	ent and digi	itally at
lwilson@monroega.gov; Please submit two physical copies.		
Sun Rema 10	.14.20	722
Signature of Applicant	Date	

10/14/2022

City of Monroe Planning & Development/Code Department 215 N Broad Street Monroe, GA 30655

RE: Owner Authorization Statement 701 Pavilion Parkway, Monroe, GA

I hereby designate Sevan Multi-Site Solutions/Amy Pearce to act in the capacity as my agent for submittal, processing, representation and/or presentation of zoning and permitting applications for the property listed above. The designated agent shall be the contact person for responding to all requests for information and for resolving issues of concern relative to this application.

Thanks,

Harrison Parker

Director of Real Estate and Project Management Made to Order Holdings 11 Greenway Plaza, Suite 3100

Houston, TX

Project Description PROPOSED WHATABURGER

701 Pavilion Parkway Monroe, GA

Existing Conditions

The proposed Whataburger is planned for 1.55-acre parcel in the Monroe Pavilion development. The land is currently a undeveloped outparcel of Monroe Pavilion.

Proposed Improvements

The proposed project is to build a prototypical Whataburger on the lot. This will include constructing a new building, including infrastructure and utilities to meet Made to Order Whataburger's operational needs. As required by the developer, a cross access drive will be installed to connect this site with the adjacent site to provide additional mobility and improved traffic circulation.

We will meet or exceed the requirements of the Monroe Zoning Ordinance, following both the PCD (Planned Commercial Development) and CDO (Corridor Design Overlay) zones. Landscape buffers will be added along all street frontages, and landscaping will be provided on the interior of the lot to buffer parking and equipment areas.

The building and site signage will comply with City of Monroe standards for the Corridor Design Overlay district, as will the site lighting.

The building will be approximately 3,900 square feet and will be clad in brick with architectural metal accent panels. Large storefront-type windows will wrap around the front dining area of the building creating transparency. There will be two drive through lanes that wrap around the back and side of the building allowing for a long queue without disrupting the circulation of traffic in the parking lot or cross access areas. We anticipate that even peak-hour traffic will be contained within the designated drive-through lanes.



NOTICE TO THE PUBLIC CITY OF MONROE

A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for new development of a restaurant at 701 Pavilion Pkwy. (Parcel #M0050045K00).

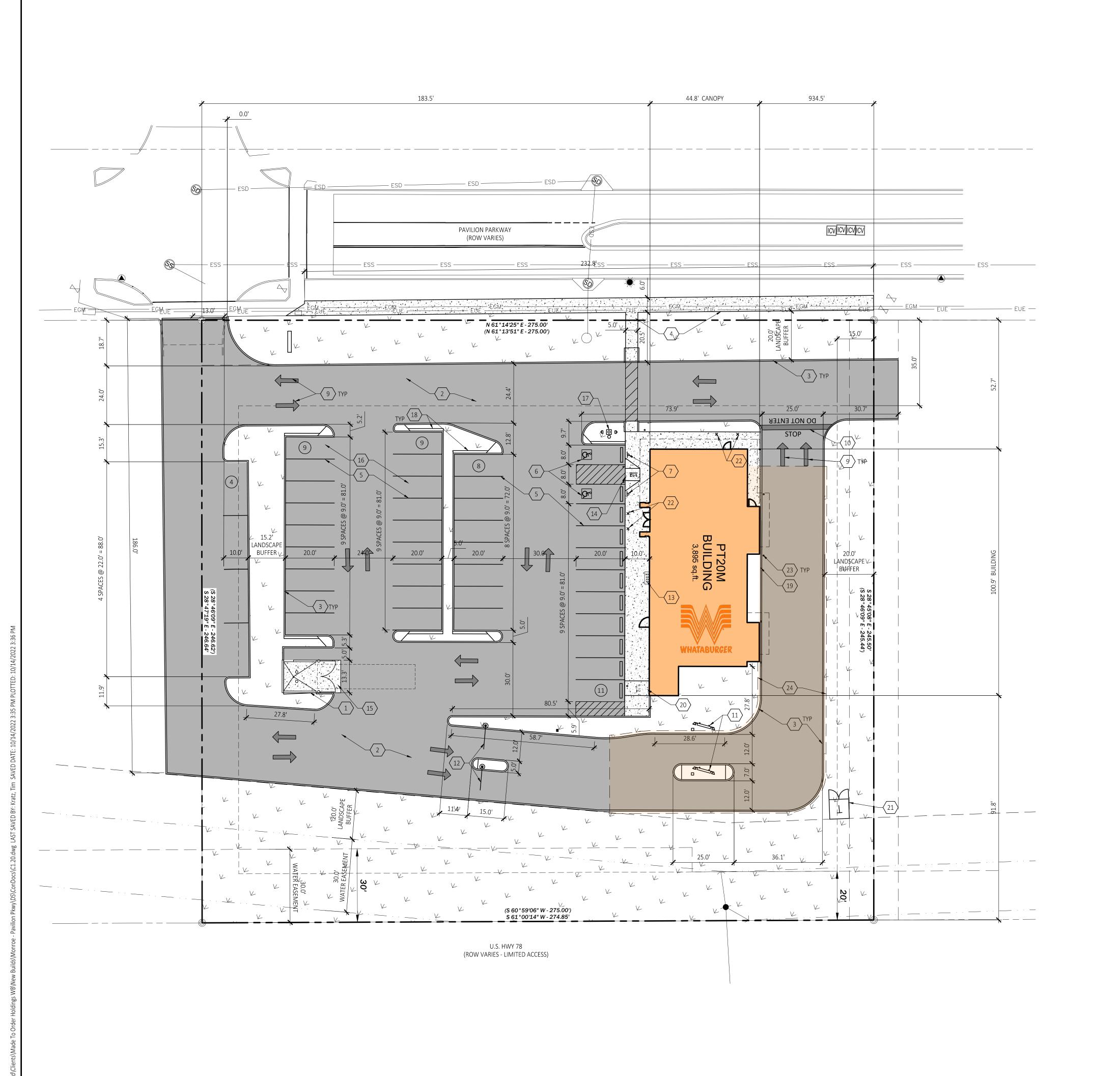
The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on November 15, 2022 at 5:30 P.M. All those having an interest should be present to voice their interest at said public meeting.

PLEASE RUN ON THE FOLLOWING DATE:

October 30, 2022









- 1 TRASH ENCLOSURE, CONCRETE PAD AND PROTECTIVE BOLLARDS. SEE ARCHITECTURAL
- 2 HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL 5/C5.01.
- 3 CONCRETE CURB AND GUTTER. SEE DETAIL 2/C5.01.
- 4 CONCRETE SIDEWALK MINIMUM 5.0' WIDTH IN ALL PUBLIC ACCESS AREAS. SEE DETAIL
- 5 4" PAINTED PARKING STRIPE. COLOR: WHITE.
- 6 VAN ACCESSIBLE PARKING SPACE WITH PAINTED ACCESSIBILITY SPACE SYMBOL AS REQUIRED BY FEDERAL, STATE OR LOCAL CODE. SEE DETAIL 8/C5.01.
- 7 ACCESSIBLE RESERVED PARKING SIGN AS REQUIRED BY FEDERAL, STATE OR LOCAL CODE. SEE DETAIL 5/C5.01.
- 8 NOT USED
- PAINTED DIRECTIONAL DRIVE ARROWS. COLOR TO MATCH PARKING STRIPING. SEE DETAIL 1/C5.01.
- 10 PAINTED STOP BAR. SEE DETAIL 1/C5.01.
- 11 DRIVE-THRU EQUIPMENT. SEE ARCHITECTURAL PLANS.
- 12 DRIVE-THRU HEIGHT CLEARANCE BAR. SEE ARCHITECTURAL PLANS
- 13 PROVIDE AND INSTALL SURFACE MOUNTED BIKE RACK.
- 14 SIDEWALK RAMP. SEE DETAIL 1/C1.20.
- CONCRETE PAVEMENT. SEE DETAIL 6/C5.01.
 LIGHT DUTY BITUMINOUS PAVEMENT. SEE DETAIL 3/C5.01.
- 17 FLAGPOLE AND LIGHTS.
- 18 1' WIDE CONCRETE STRIP
- 19 CONCRETE FOUNDATION. SEE FOUNDATION PLANS.
- 20 CONCRETE DELIVERY RAMP.
- TRANSFORMER PAD PER SERVICE PROVIDER SPECIFICATIONS.
- 22 LIGHTED BOLLARDS. LOCATIONS MUST NOT ENCROACH ON REQUIRED ACCESSIBLE PATHS OR ROUTES OF EGRESS. SEE ARCHITECTURAL PLANS.
- 23 PROTECTION BOLLARD. SEE ARCHITECTURAL PLANS.
- 24 OVERHEAD DRIVE-THRU CANOPY

PERVIOUS SURFACE CALCULATIONS

- A. PERVIOUS 26,122 SF 38.6%
- B. IMPERVIOUS 41,529 SF 61.4%

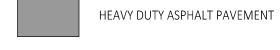
NOTE:

REFER TO SIGNAGE PLANS FOR LOCATIONS OF ALL BUILDING AND STANDING WHATABURGER BRANDED SIGNAGE.

GENERAL SITE NOTES

- A. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- B. NOTIFY OWNER OF ANY DISCREPANCIES.
- C. SEE SURVEY FOR ALL EXISTING CONDITIONS.
- D. ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- E. PARKING SPACES AND BUILDING ARE PARALLEL AND PERPENDICULAR TO THE NORTHEAST PROPERTY LINE.

PAVING LEGEND:



LITE DUTY ASPHALT PAVEMENT



CONCRETE PAVEMENT



PERVIOUS AREA - SEE LANDSCAPE PLAN

Sevan

Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
info@sevansolutions.com www.sevansolutions.com

NO. DATE DESCRIPTION

NTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHARI

REVISIONS

D 10.14.2022 CERTIFICATE OF APPROPRIATENESS

CONSULTANT

SEAL



10/14/2022

CUSTOMER

MADE TO ORDER HOLDINGS

PROJECT DESCRIPTION

WHATABURGER

PROJECT LOCATION

701 PAVILION PARKWAY MONROE, GA 30656

(WALTON COUNTY)

SHEET TITLE

DIMENSION CONTROL
SITE PLAN

SHEET MANAGEMENT

PROJECT NO.: MONROE-PAVILION

DATE:

CRITERIA: PT20M

PROJECT MANAGER: T. KRATZ

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(NOT PUBLISHED: ALL RIGHTS RESERVED.)

SHEET NUMBER

C1.20

DIMENSION CONTROL SITE PLAN

U.S. Hwy. 78
(R.O.W. varies — Limited Access)

PROPERTY LINE

DISTURBANCE

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 4" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

IRRIGATION CONCEPT

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- 2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- 3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- 5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

PLANT_SCHEDULE

v v

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	QUE PHE	22	QUERCUS PHELLOS / WILLOW OAK 10' - 12' TALL	3" CAL.	
	АО	12	ACER RUBRUM 'OCTOBER GLORY' / RED MAPLE 10' - 12' TALL	3" CAL.	
SHRUBS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	
0	ILE NEE	185	ILEX CORNUTA 'NEEDLEPOINT' / NEEDLEPOINT HOLLY 2' MIN. HT.	5 GAL.	
TURF	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
\(\psi \)	CYN HYB	16,507 SF	CYNODON DACTYLON '419 HYBRID' / BERMUDA GRASS	SOD	

LANDSCAPE REQUIREMENTS

TOTAL SITE AREA:

61,888 SF (1.55 ACRES)

STREET FRONTAGE TREES - CORRIDOR DISTRICT
PAVILLION PARKWAY

1 TREE PER 25 LF FRONTAGE:
275 LF FRONTAGE / 25 =
11 TREES REQUIRED
11 TREES PROVIDED

<u>U.S. HWY 78</u> 1 TREE PER 25 LF FRONTAGE: 275 LF FRONTAGE / 25 =

11 TREES REQUIRED 11 TREES PROVIDED

PARKING LOT SCREENING
EVERGREEN PARKING LOT SCREENING PROVIDED

PERIMETER LANDSCAPING
EVERGREEN PERIMETER SCREENING PROVIDED

INTERIOR PARKING LOT LANDSCAPING

12% INTERIOR LANDSCAPING REQUIRED
19,386 SF PARKING AREA x 12% = 2,326 SF LANDSCAPING REQUIRED
2,934 SF INTERIOR LANDSCAPING PROVIDED (15.13%)

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED
- INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.

 CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE
- ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

 3. ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

 4. INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DeWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL
- TREE RINGS.

 5. INSTALL 4" MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.

 6. INSTALL 14G, GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE
- INDICATED ON THE PLAN).

 7. HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
 ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT
- QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).

 9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- 10. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 11. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
 12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR OR DAYS REVOND FINAL.
- 12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- 13. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHAL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 14. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- B. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 C. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED
- AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TU
 15. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.





Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515

INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHAR

NO. DATE DESCRIPTION

O 10.14.2022 CERTIFICATE OF APPROPRIATENESS

CONSULTANT

SEAL



CUSTOMER

MADE TO ORDER HOLDINGS

PROJECT DESCRIPTION

WHATABURGER

701 PAVILION PARKWAY MONROE, GA 30656

PROJECT LOCATION

(WALTON COUNTY)

SHEET TITLE

LANDSCAPE PLAN

SHEET MANAGEMENT

PROJECT NO.: MONROE-PAVILION

DATE:
CRITERIA: PT20M

PROJECT MANAGER: T. KRATZ

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SHEET NUMBER

LP-1

- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, RANSPORTATION AND INSTALLATION OF MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF

PRODUCTS

- ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED. FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS SUN SCALD INJURIES ABRASIONS AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE. AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED
- ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS
- CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE
- ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8: MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT: 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE: SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M: NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS
- AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. TREE STAKING AND GUYING
- STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH
- STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

<u>METHODS</u>

- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
- THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, ph. ORGANIC MATTER CONTENT SALT (CEC) LIME SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG
- WITH THE SOIL SAMPLES. d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR
- THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER
- INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING: TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
- NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000
- iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
- 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER CU. YD. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
- IRON SULPHATE 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS. AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED. TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH
- GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON
- HE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE
 - ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY). WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED. C. GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES
- AT THE MANUFACTURER'S RECOMMENDED RATE. TRENCHING NEAR EXISTING TREES: a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL
- ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK). b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE
- EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD. TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY.
- DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
- REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS
- INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1' DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES)
- REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
- TWO STAKES PER TREE a. 1"-2" TREES THREE STAKES PER TREE . 2-1/2"-4" TREES

e. MULTI-TRUNK TREES

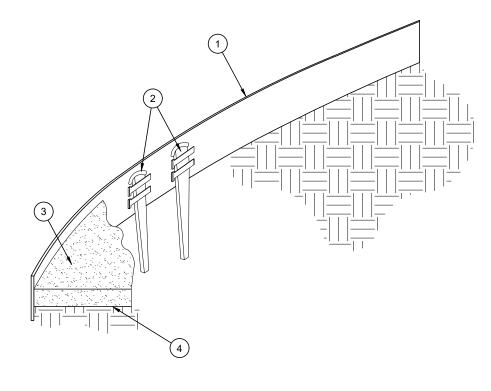
- TREES OVER 4" CALIPER GUY AS NEEDED THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS MUI TI-TRUNK TREES NEEDED TO STABILIZE THE TREE
- THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST
- INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING
- BEDS, COVERING THE ENTIRE PLANTING AREA. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.

SATISFACTION WITHIN 24 HOURS.

- LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT
- LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH
- COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE O FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL. HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:

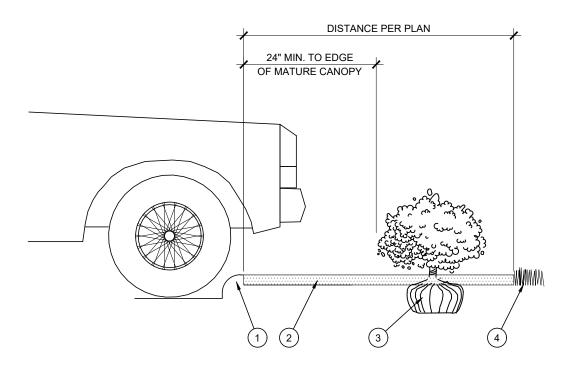
SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM.

- THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE
- b ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE c SODDED AREAS MUST BE ACTIVELY GROWING, AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED. K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

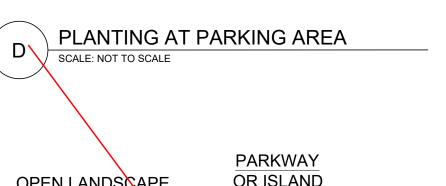


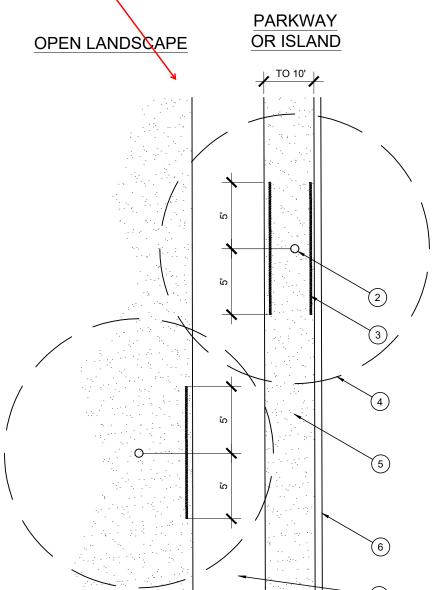
- (1) ROLLED-TOP STEEL EDGING PER PLANS.
- (2) TAPERED STEEL STAKES. (3) MULCH, TYPE AND DEPTH PER PLANS
- (4) FINISH GRADE.
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.





- (1) CURB.) MULCH LAYER. (3) PLANT.
- (4) TURF (WHERE SHOWN ON PLAN).





- (1) TYPICAL WALKWAY OR PAVING TREE TRUNK
- LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER, INSTALL PER MANUFACTURER'S SPECIFICATIONS
- TREE CANOPY 5 TYPICAL PLANTING AREA TYPICAL CURB AND GUTTER
- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY

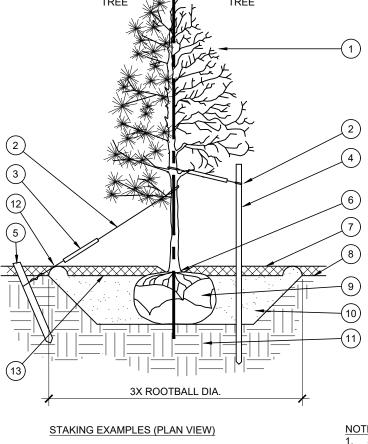
ADJACENT TO HARDSCAPE. UNDER NO

USE ROOT BARRIERS OF A TYPE THAT

COMPLETELY ENCIRCLE THE ROOTBALL

CIRCUMSTANCES SHALL THE CONTRACTOR

ROOT BARRIER - PLAN VIEW SCALE: NOT TO SCALE



NON-CONIFEROUS

PREVAILING PREVAILING WINDS

TREE PLANTING

(1) TREE CANOPY.

CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.

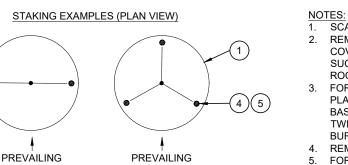
(3) 24" X 3/4" P.V.C. MARKERS OVER WIRES.

(4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.

5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.

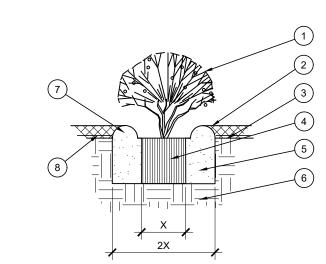
(6) TRUNK FLARE

- 7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- (8) FINISH GRADE
- 9) ROOT BALL. BACKFILL. AMEND AND FERTILIZE ONLY AS
- RECOMMENDED IN SOIL FERTILITY ANALYSIS. (11) UNDISTURBED NATIVE SOIL.
- (12) 4" HIGH EARTHEN WATERING BASIN.
- (13) FINISH GRADE.



SCALE: NOT TO SCALE

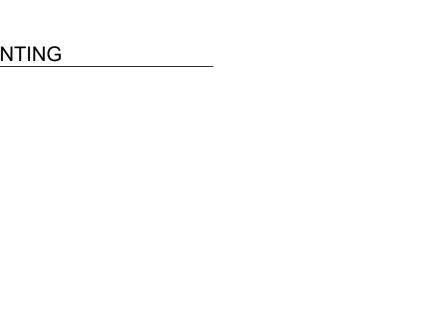
SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. 4 REMOVE ALL NURSERY STAKES AFTER PLANTING 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. 6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT



- (1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. 2) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO
- MORE THAN 1" OF MULCH WITHIN 6" OF PLANT (3) FINISH GRADE.
- (4) ROOT BALL.
- (5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS
- (6) UNDISTURBED NATIVE SOIL.
- (8) WEED FABRIC UNDER MULCH.

(7) 3" HIGH EARTHEN WATERING BASIN

SHRUB AND PERENNIAL PLANTING







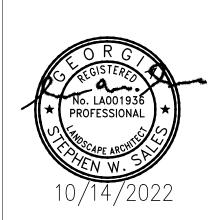
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CONSULTANT

SEAL



CUSTOMER

MADE TO ORDER HOLDINGS

PROJECT DESCRIPTION

WHATABURGER

701 PAVILION PARKWAY MONROE, GA 30656

PROJECT LOCATION

(WALTON COUNTY)

LANDSCAPE DETAILS &

SHEET TITLE

SPECIFICATIONS SHEET MANAGEMENT

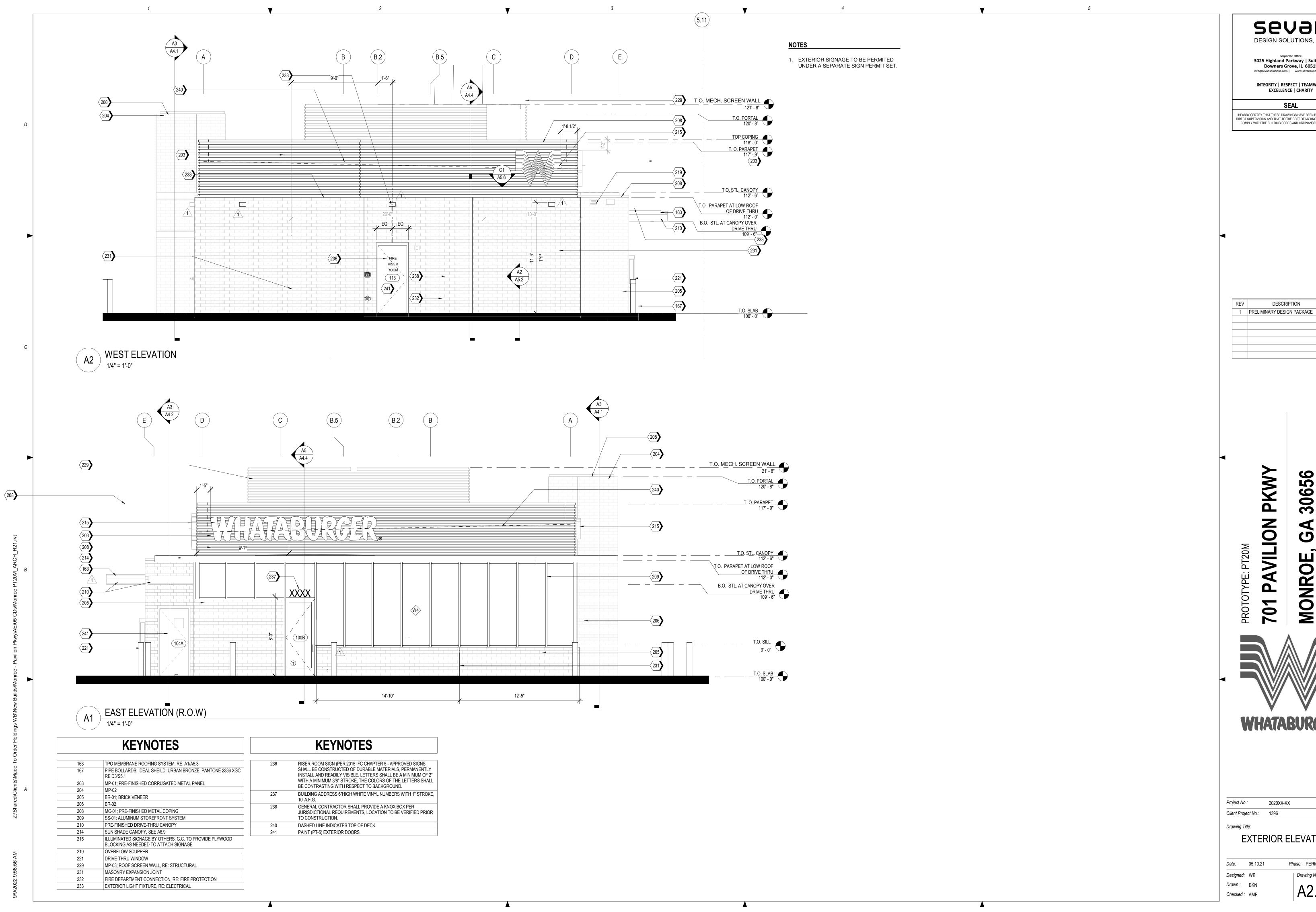
MONROE-PAVILION CRITERIA: PT20M PROJECT MANAGER: T. KRATZ

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SHEET NUMBER

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sevan DESIGN SOLUTIONS, P.C.

Corporate Office: 3025 Highland Parkway | Suite 850 Downers Grove, IL 60515

INTEGRITY | RESPECT | TEAMWORK

SEAL

DATE

09.09.2022

I HEARBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE BUILDING CODES AND ORDINANCES OF MONROE, GA

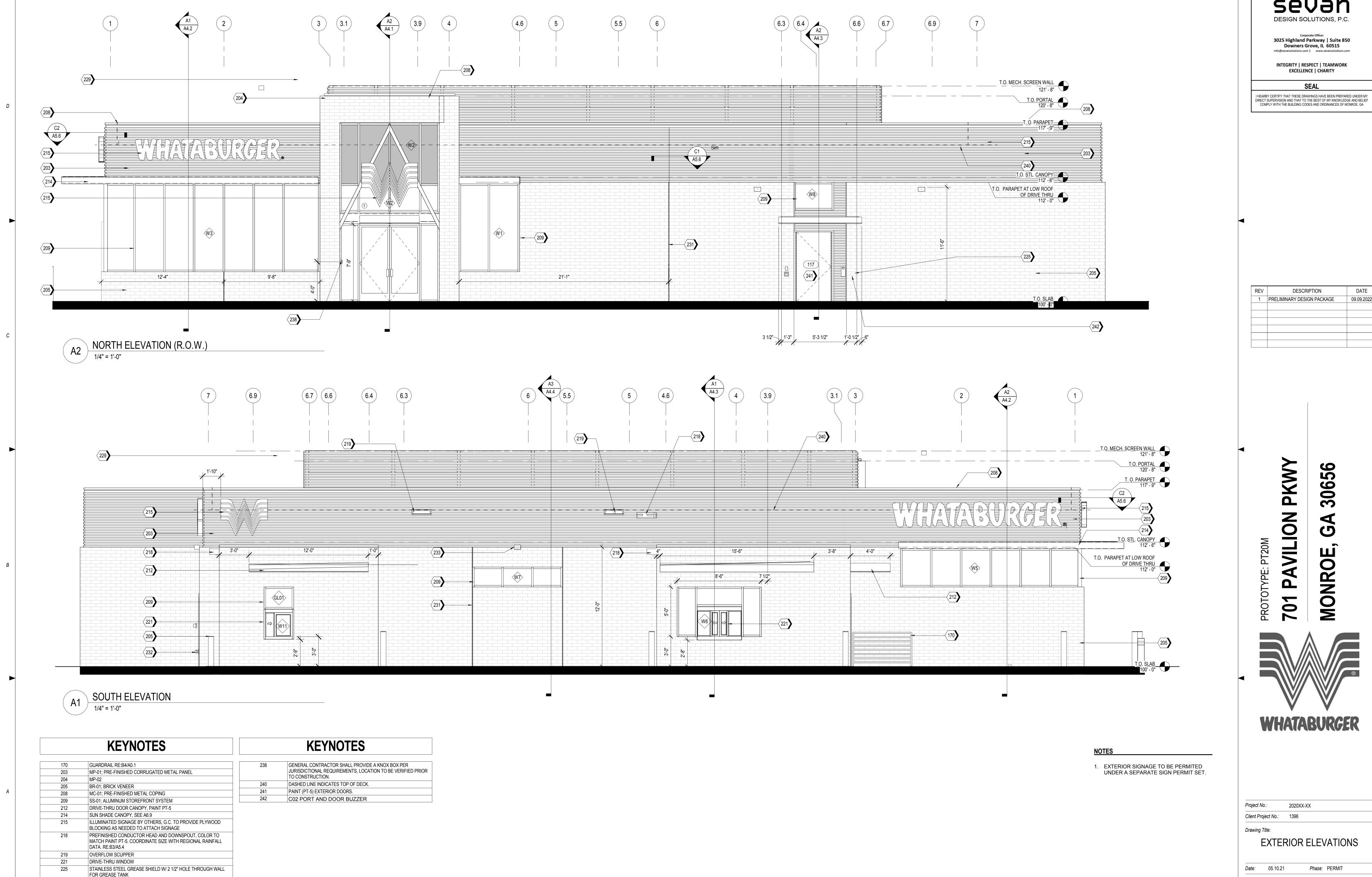
3065 MONROE

WHATABURGER

2020XX-XX

EXTERIOR ELEVATIONS

Phase: PERMIT Drawing No.: A2.1



MP-03; ROOF SCREEN WALL, RE: STRUCTURAL

EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL

FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION

MASONRY EXPANSION JOINT

sevan DESIGN SOLUTIONS, P.C. Corporate Office:
3025 Highland Parkway | Suite 850 Downers Grove, IL 60515 INTEGRITY | RESPECT | TEAMWORK EXCELLENCE | CHARITY SEAL

REV	DESCRIPTION	DATE	
1	PRELIMINARY DESIGN PACKAGE	09.09.2022	
			İ

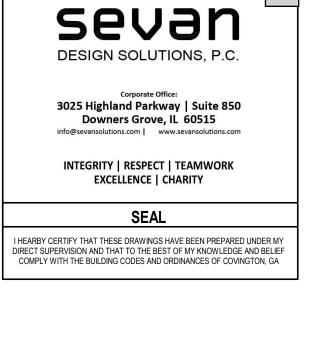
PKW 3065 **PAVILION** MONROE, 701



Project No.:	2020XX-XX
Client Project No.:	1396

EXTERIOR ELEVATIONS

Phase: PERMIT Designed: WB Drawing No.: Drawn: BKN Checked: AMF



REV	DESCRIPTION	DATE





2020XX-XX Project No.: Client Project No.: 1396

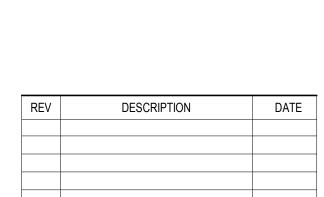
Drawing Title:

EXTERIOR RENDERINGS

Designed: Designer Drawn: Author

Checked: Checker

Phase: PERMIT



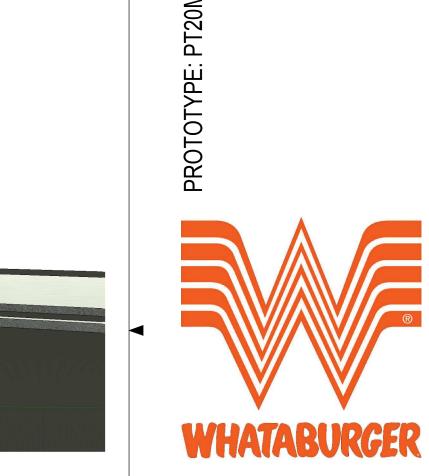
SEVAN DESIGN SOLUTIONS, P.C.

Corporate Office:
3025 Highland Parkway | Suite 850
Downers Grove, IL 60515
info@sevansolutions.com | www.sevansolutions.com

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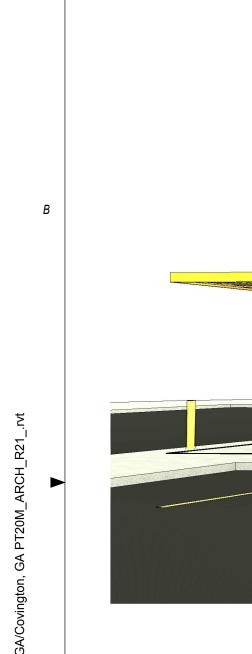


Project No.:	2020XX-XX
Client Project No.:	1396

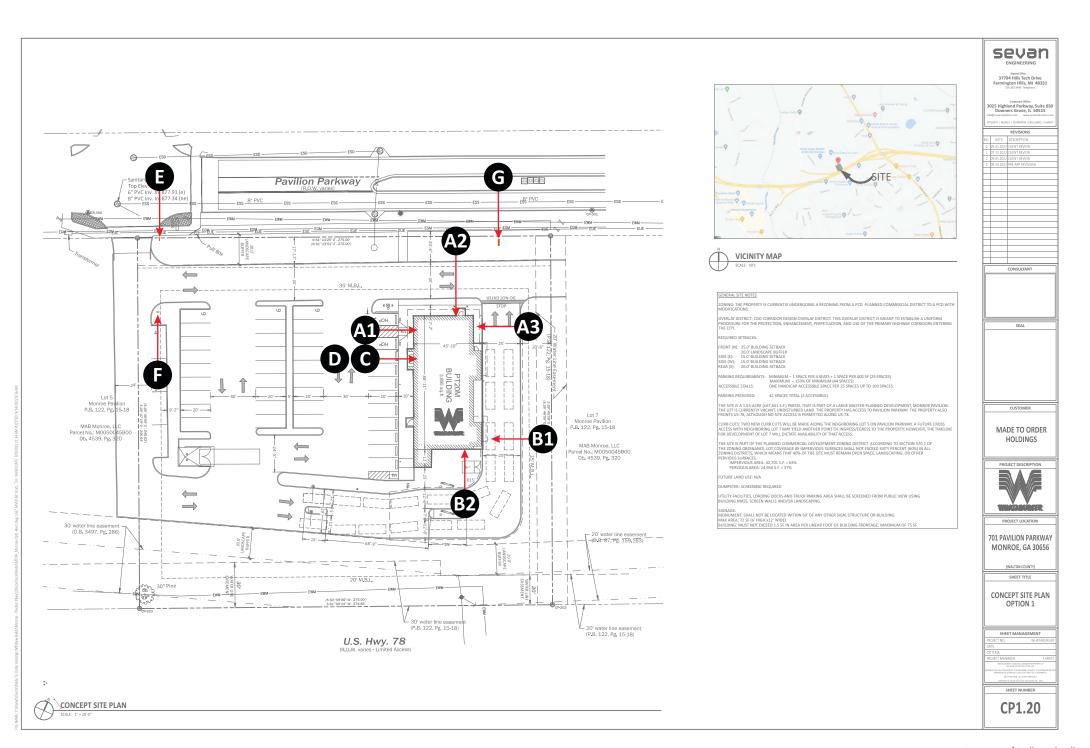
EXTERIOR RENDERINGS

Phase: PERMIT Designed: Designer

Drawn: Author Checked: Checker



WIMMAURER



SCALE 1/64" = 1'-0"



0633779AR1

Sheet 1 of 10

Address

701 Pavilion Pkwy, Monroe, GA

DEBBIE MOLTZ MEGAN AUDERER Acct. Rep. Coordinator

Designer

10/13/22 Date

Sales Estimating Art Engineering Landlord

andard PT20M signage on front elevation only; back

nonlit)
"One dif 5'x 4' at 6' OAH up-lit monument sign – no internally lit signage on this site

folder Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq footage chart to show show we are maximizing allowable square footage. Add typical building signs to elevations where we are allower!

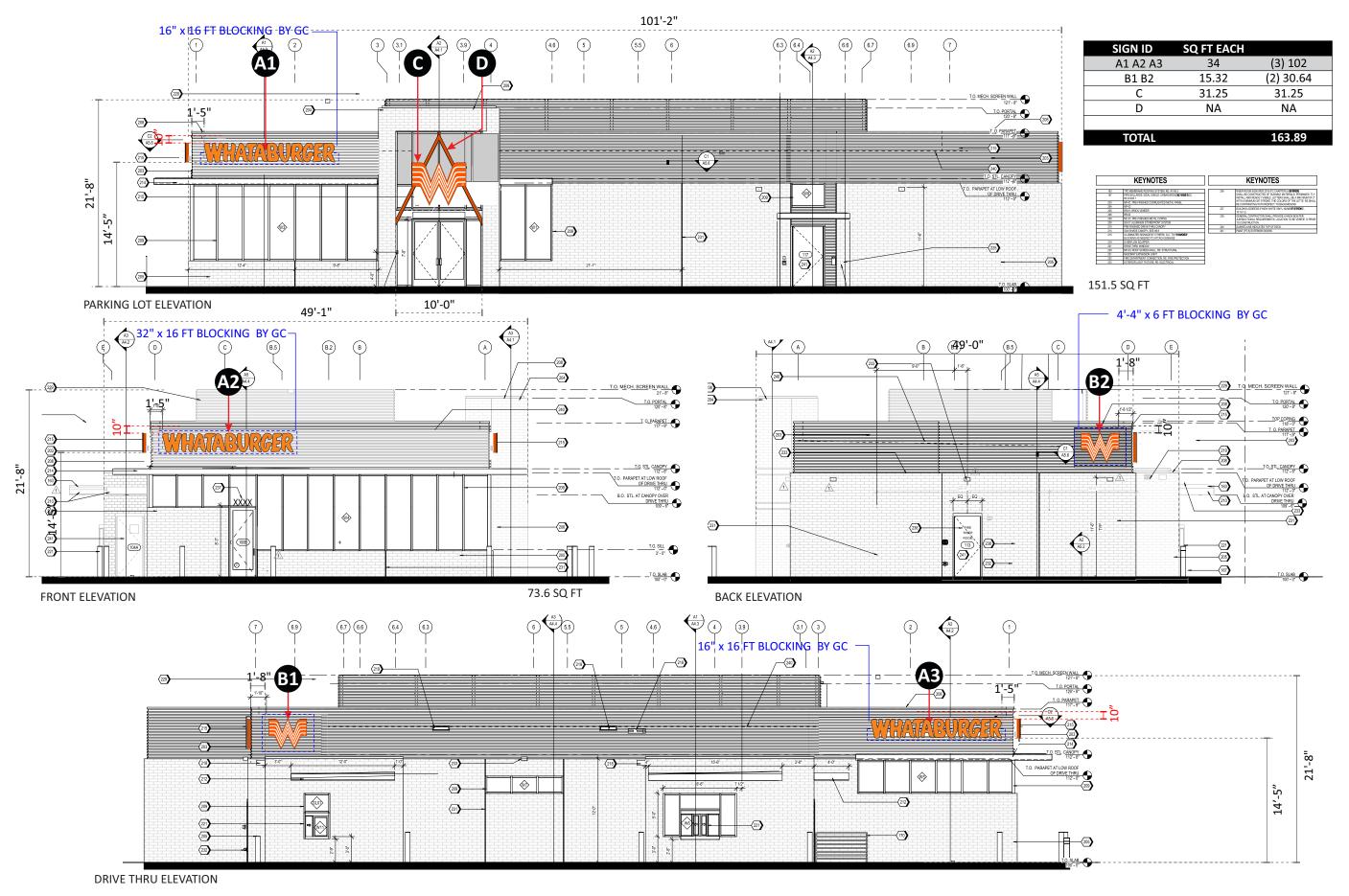


CHANDLER SIGNS

cnandi	ersigns.com
National Headquarters	14201 Sovereign Road #10 Fort Worth, TX 76155 (214) 902-2000 Fax (214) 902-2044
San Antonio	17319 San Pedro Ave Ste 200 San Antonio, TX 78232 (210) 349-3804 Fax (210) 349-8724
West Coast	3220 Executive Ridge Dr Ste 250 Vista, CA 92081 (760) 734-1708 Fax (760) 734-3752
Northeast US	2301 River Road Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-257
Florida	2584 Sand Hill Point Circle Davenport, FL 33837 (863) 420-1100 Fax (863) 424-1160
Georgia	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724
	PO BOY 125 206 Doral Drive

CONNECTION BY CUSTOMER





SCALE 3/32" = 1'-0"



Design # 0633779AR1

Sheet 2 of 10

Client #

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. DEBBIE MOLTZ
Coordinator MEGAN AUDERER

Designer II

Date 10/13/22

Approval / Date
Client
Sales
Estimating
Art
Engineering
Landlord

ndard PT20M signage on front elevation only; back tters no raceways odf 4' tall 4.5 square feet directional non lit

wo dn' 4 tall 4.5 square teet directional non lit lective inity; tone dh' Entrance wlarow; one dif RIVE THRU/Arrow' (see Albertville #0629741 but nit) ne dif 5'x 4' at 6' OAH up-lit monument sign – no emally lit signage on this site

ther the state of


signs

17-19 San Pedro Awe
Sea 200 Se

111 Woodstone Place
Dawsonville, GA 30534
(678) 725-8852 Fax (210) 349-4

PO BOX 125 206 Doral Drive Portland, TX 78374 (361) 563-5599 Fax (361) 643-6533

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FINAL ELECTRICAL CONNECTION BY CUSTOMER

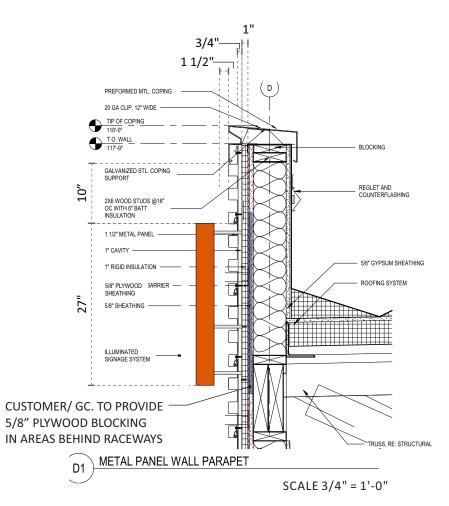


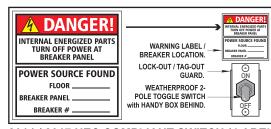
A1 A2 A3 BACK LIT CHANNEL LETTERS THREE (3) SETS REQUIRED - MANUFACTURE AND INSTALL

SCALE ½"=1'-0"

34 SQ. FT.

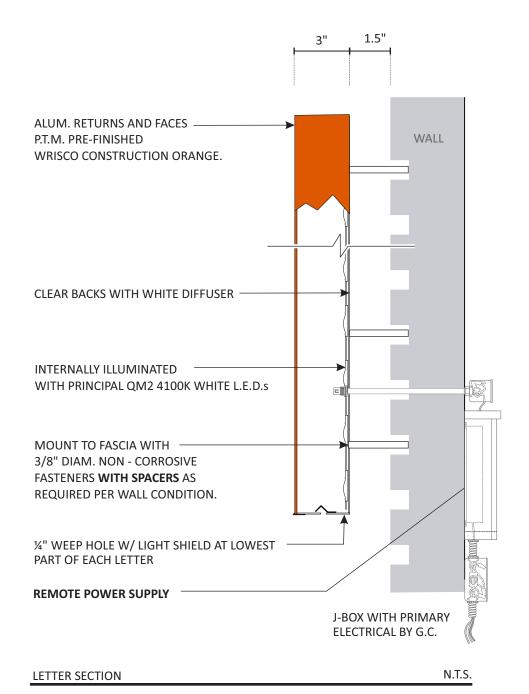
NOTE: PRIMARY ELECTRICAL PROVIDED BY G.C. WILL BE BELOW ROOFLINE. GC WILL PROVIDE 5/8" PLYWOOD BLOCKING BEHIND THE CORRUGATED PANELS.





2014 / 2017 NEC COMPLIANT SWITCH / LABEL

NO RACEWAYS - RCL ONLY



0633779AR1

3 of 10 Sheet

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. Coordinator DEBBIE MOLTZ MEGAN AUDERER

Designer

Date 10/13/22

Client Sales Estimating Engineering Landlord

e tootage. ypical building signs to elevations where we are

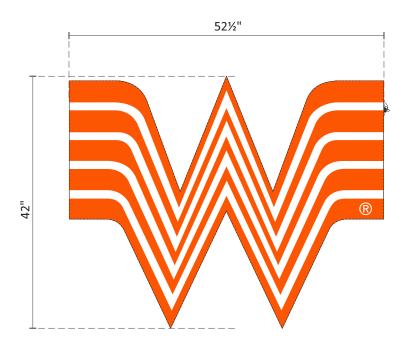


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National Headquarters	14201 Sovereign Road #102 Fort Worth, TX 76155 (214) 902-2000 Fax (214) 902-2044	
San Antonio	17319 San Pedro Ave Ste 200 San Antonio, TX 78232 (210) 349-3804 Fax (210) 349-8724	
	3220 Executive Ridge Dr	

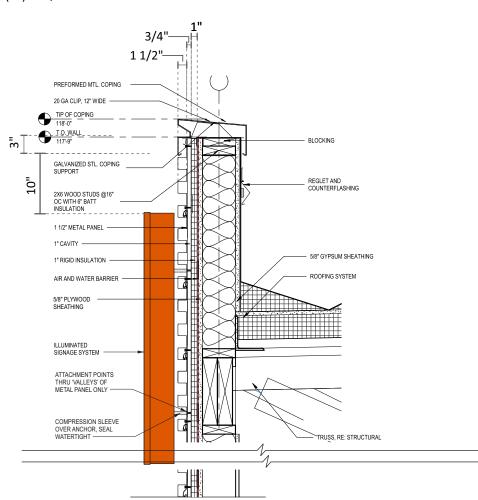
CONNECTION BY





B1 B2 42" PCL-LOGO
TWO (2) REQUIRED - MANUFACTURE AND INSTALL

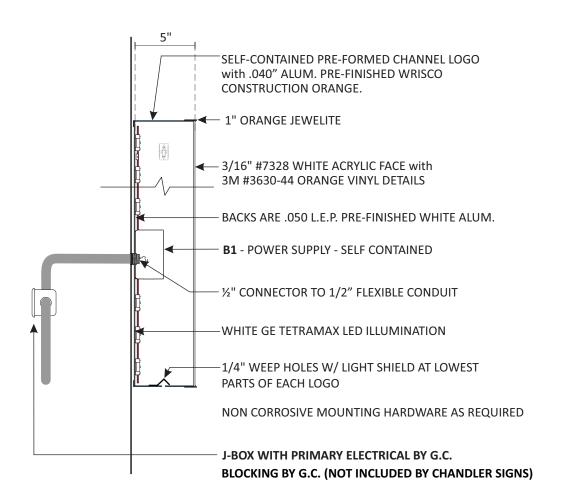
SCALE: 3/4" = 1'-0"



SCALE 3/4" = 1'-0"

SPACERS REQUIRED P.T.M WALL

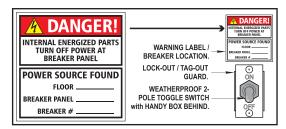
METAL PANEL WALL PARAPET



LETTER SECTION N.T.S.

SELF-CONTAINED

5/8" PLYWOOD BLOCKING AND PRIMARY ELECTRICAL BY G.C. (NOT INCLUDED BY CHANDLER SIGNS)



2014 / 2017 NEC COMPLIANT SWITCH / LABEL



0633779AR1

4 of 10 Sheet

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. Coordinator DEBBIE MOLTZ MEGAN AUDERER

Designer

Date 10/13/22

Client Sales Estimating Art Engineering Landlord

ndard PT20M signage on front elevation only; back

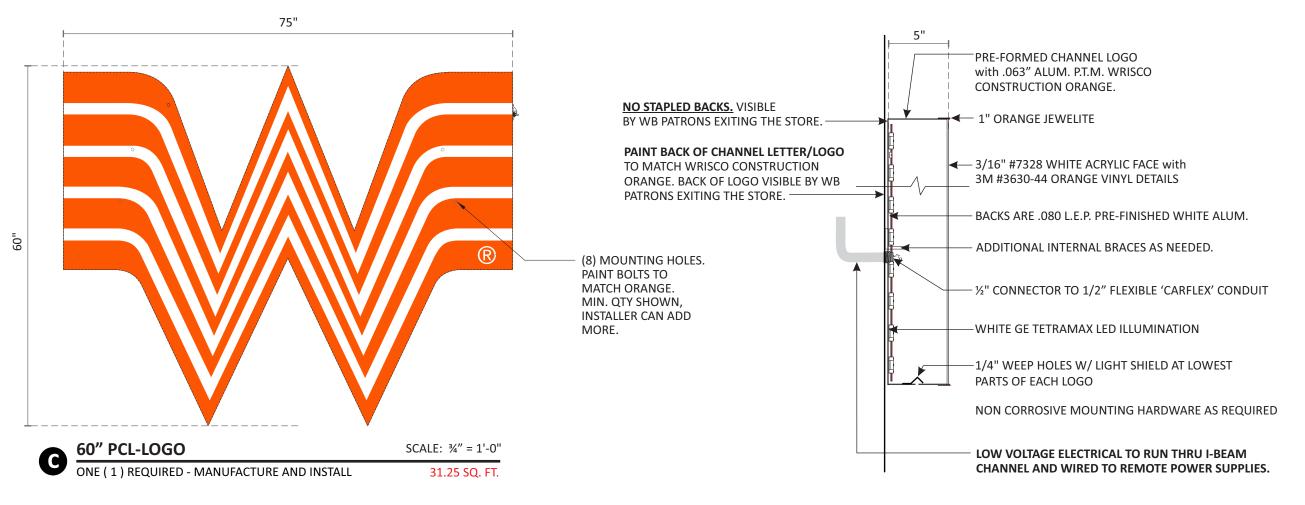
uare footage. dd typical building signs to elevations where we are

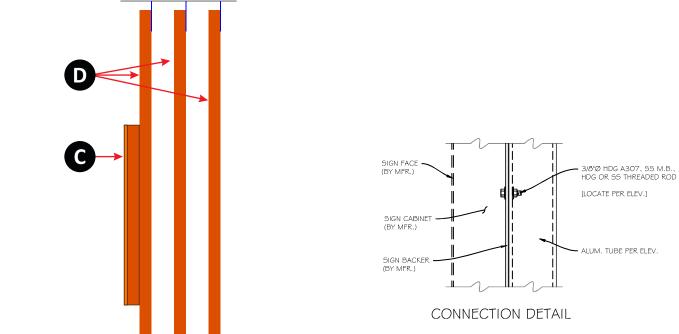


PO BOX 125 206 Doral Drive Portland, TX 78374 (361) 563-5599 Fax (361) 643-6533

CONNECTION BY







SCALE 3/8" = 1'-0"

LOGO INSTALLED ABOVE ENTRY DOOR

LETTER SECTION

N.T.S.

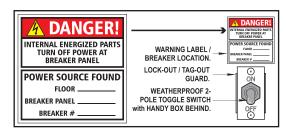
REMOTE POWER SUPPLY

PRIMARY ELECTRICAL BY G.C. (NOT INCLUDED BY CHANDLER SIGNS)

NOTE: REMOTE POWER SUPPLY. LOW VOLTAGE LEAD GOING BACK TO DESIGNATED AREA BEHIND THE WALL WITHIN 40FT OF THE SIGN OR ABOVE THE ROOF LINE. THE DESIGNATED AREA TO BE ACCESSIBLE FOR FUTURE SERVICE AND TO BE IDENTIFIED BY THE ARCHITECT. PRIMARY ELECTRICAL BY THE GC SHOULD BE LOCATED IN THIS AREA. GEN. CONTRACTOR TO PROVIDE THREE (3) PROVIDE CONDUITS FROM DESIGNATED AREA TO AREA BEHIND UPPER ATTACHMENT PLATES.

NOTE: SHIP TOUCH-UP PAINT COLOR TO MATCH BACKGROUND WALL WITH SIGN. ALL BOLTS ON RACEWAY TO BE PAINTED TO MATCH AFTER SIGN IS INSTALLED.

NOTE: LOCATION OF PRIMARY ELECTRICAL WITHIN THE BUILDING (AND LOCATION OF REMOTE POWERS SUPPLIES) TO BE IDENTIFIED BY THE ARCHITECT.



2014 / 2017 NEC COMPLIANT SWITCH / LABEL



Design # 0633779AR1

Sheet 5 of 10

Client

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. DEBBIE MOLTZ Coordinator MEGAN AUDERER

Designer

Date 10/13/22

Approval / Date
Client
Sales
Estimating
Art
Engineering
Landlord

Revision/Date

Stationary Floor signing of minit elevation only, it letters no raceways "Two dif 4' tall 4.5 square feet directional non lit reflective vinyt, one dif "Entrance wiarrow"; one dif "DRIVE THRU/Arrow" (see Albertville #0629741 but nonlit) "One dif 5'x 4' at 6' OAH up-lit monument sign – n

R1(10-14-22)H: See customer notes in art reference folder Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq foota chart to show show we are maximizing allowable square footage. Add typical building signs to elevations where we are



chandlersigns.com National 14201 Sovereign Road #101 Fort Worth, TX 76155

| 1/319 San Pedro Ave | Ste 200 | San Antonio | Ste 200 | San Antonio | TX 78232 | (210) 349-3804 Fax (210) 349-382 | 3220 Executive Ridge Dr Ste 250 | Ste 250 | Ste 250 | Ste 250 | San Antonio | San Ste 200 | Sa

| Davenport, FL 33837 | (863) 420-1100 Fax (863) 424 | 111 Woodstone Place | Dawsonville, GA 30534

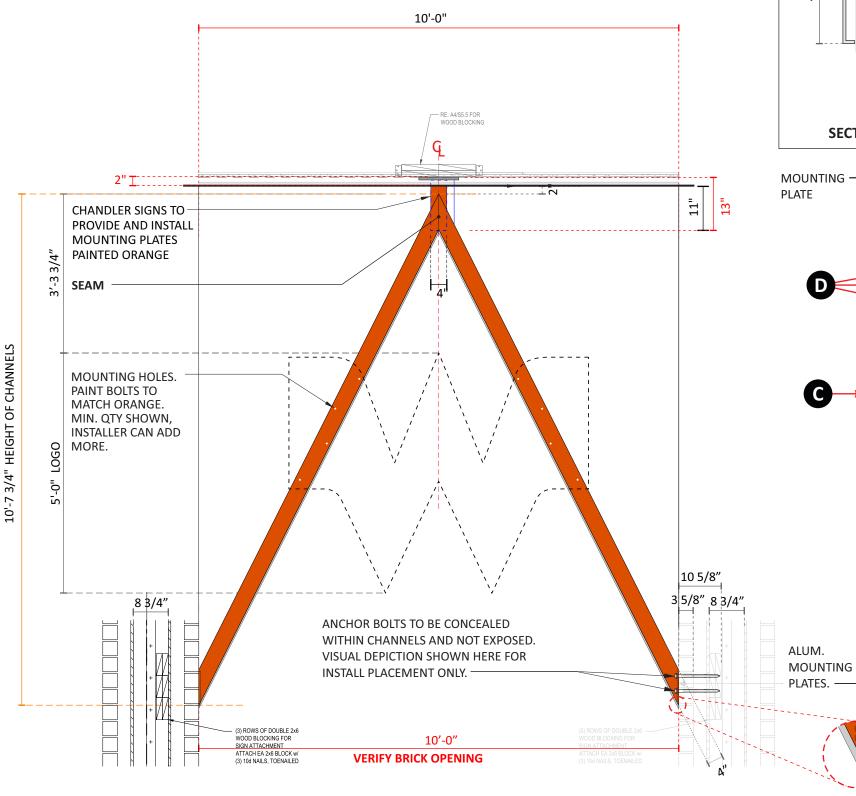
PO BOX 125 206 Doral Dr South Texas Portland, TX 78374

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FINAL ELECTRICAL CONNECTION BY CUSTOMER



LIT CHANNELS MAIN ENTRY ELEVATION SCALE: 1/2" = 1' - 0" THREE (3) REQUIRED - MANUFACTURE & INSTALL



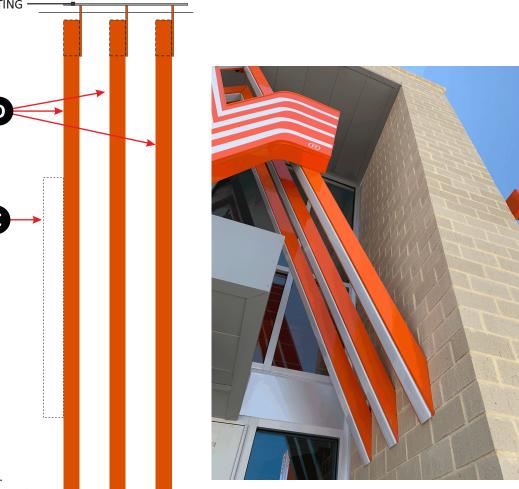
REMOTE POWER SUPPLIES INSIDE BUILDING.
C.S. TO PROVIDE 50 FT LONG LEADS.

INTERNALLY ILLUMINATED WITH WHITE LED MODULES

4"x 4" x .1/8" ALUM. SQ TUBE . OUTSIDE PAINTED PMS 1665
ORANGE. INSIDE PAINTED WHITE L.E.F.
ROUTED OUT ON BOTTOM SIDE TO ACCOMMODATE
FORMED FACE.

SECTION

SCALE: 3" = 1' - 0"



SIDE VIEW

NOTE: AT THE BOTTOM OF ALL 3 CHANNELS AT BOTH SIDES THE POLYCARBONATE IS TO EXTEND ALL THE WAY BACK/DOWN TO THE WALL (PAST ALUM. END) CUT IN AN ANGLE AND IS TO BE CAPPED/CLOSED OFF TO AVOID LIGHT LEAKS.



Design # 0633779AR1

Sheet 6 of 10

Client

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. DEBBIE MOLTZ
Coordinator MEGAN AUDERER

Designer II

Date 10/13/22

Approval / Date		
Client		
Sales		
Estimating		
Art		
Engineering		
Landlord		

Revision/Date

Standard F120M signage on non reevalunt only, but lit letters no raceways
"Two df 4' tall 4.5 square feet directional non lit reflective winyt, one df "Entrance w/arrow"; one df "DRIVE THRU/Arrow" (see Albertville #0629741 but nonit)
"One df 5'x 4' at 6' OAH up-lit monument sign – no

KI(10-4-22)iii: See customer noise in air reterence folder Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq footag chart to show show we are maximizing allowable square footage. Add typical building signs to elevations where we are



CHANDLER

chandlersigns.com

17319 San Pedro Ave
San Antonio
San Antonio
San Antonio
San Pedro Ave
Ste 200
San Antonio, TX 78232
(210) 349-3804 Fax (210) 349-87
3270 Everutius Ridge Dr

Vista, CA 92081 (760) 734-1708 fax (760) 734-3 2301 River Road Suite 201

Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-257

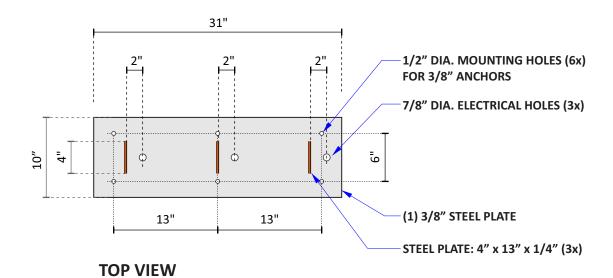
(863) 420-1100 Fax (863) 424-1

Georgia Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724 South Texas PO BOX 125 206 Doral Drive Portland, TX 78374 (361) 563-5599 Fax (361) 643-6533

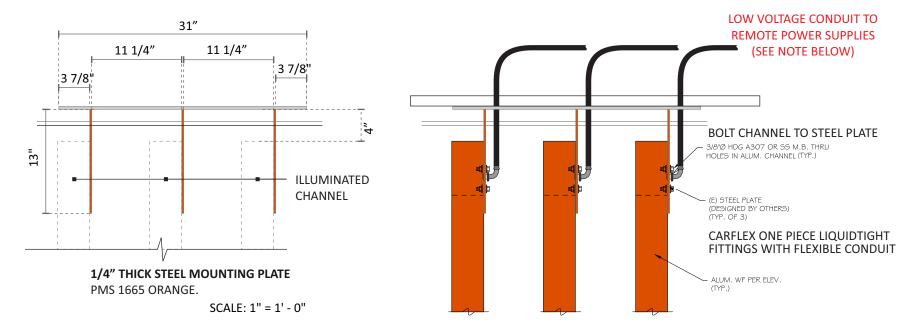
(361) 563-5599 Fax (361) 643-6
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FINAL ELECTRICAL
CONNECTION BY

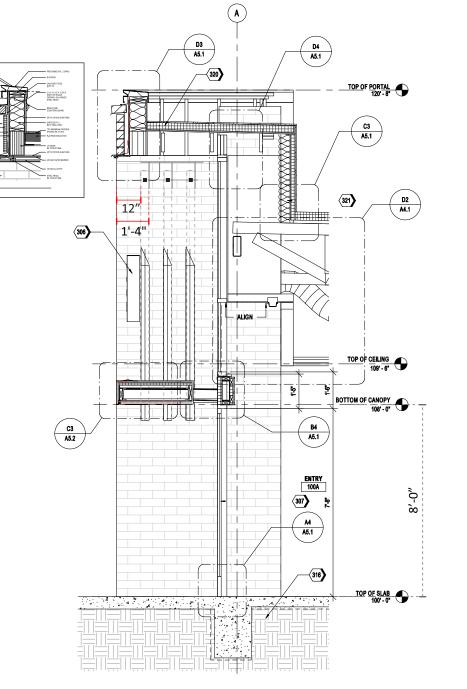




SYMMETRICAL PLATES



PROPER INSTALL OF CHANNELS IS SUBJECT TO PLATES TO BE SPACED, LEVEL AND PLUMB



WALL SECTION AT ENTRY

TYPICAL SCALE: 1/4" = 1' - 0"



Design # 0633779AR1

Sheet 7 of 10

Client

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. DEBBIE MOLTZ
Coordinator MEGAN AUDERER

Designer II

Date 10/13/22

Approval / Date
Client
Sales
Estimating
Art
Engineering
Landlord

Revision/Date

"Standard H12MM signage on tront elevation only, bac lit letters no receways
"Two df 4' tall 4.5 square feet directional non lit reflective vinly, one df "Entrance wiarrow", one df "DRINE THRU/Arrow" (see Albertville #0629741 but nonlit)
"One df 5'x 4' at 6' OAH up-lit monument sign – no

N(10+42)III. See Custainte illuser in air telerative folder Per city code we are allowed 1.5 sq ft of signage for every linear foot per elevation. Please create sq footag chart to show show we are maximizing allowable square footage. Add typical building signs to elevations where we are



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(863) 420-1100 Fax (863) 424

111 Woodstone Place
Dawsonville GA 30534

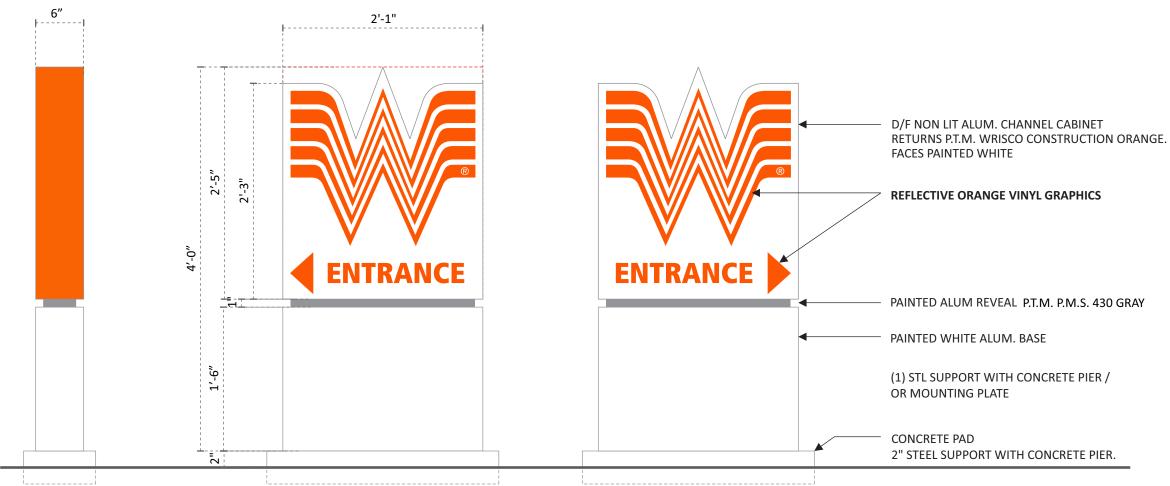
South Texas PO BOX 125 206 Doral Dr Portland, TX 78374

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FINAL ELECTRICAL CONNECTION BY CUSTOMER







NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.



Design # 0633779AR1

Sheet 8 of 10

Client

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. DEBBIE MOLTZ
Coordinator MEGAN AUDERER

Designer

Date 10/13/22

Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landland	

Revision/Date

"Standard PTZOM signage on front elevation only; It letters no raceways."

"Iwn off 4' tall 4.5 square feet directional non lit reflective viny; one off "Entrance wiarrow"; one off "DRIVE THEU/JArrow" (see Albertville #0629741 but nonlit).

"One dif 5'x 4' at 6' QAH up-lit monument sion – n

R1(10-14-22)IH: See customer notes in art reference folder
Per city code we are allowed 1.5 sq ft of signage for

chart to show show we are maximizing allowable square footage. Add typical building signs to elevations where we are



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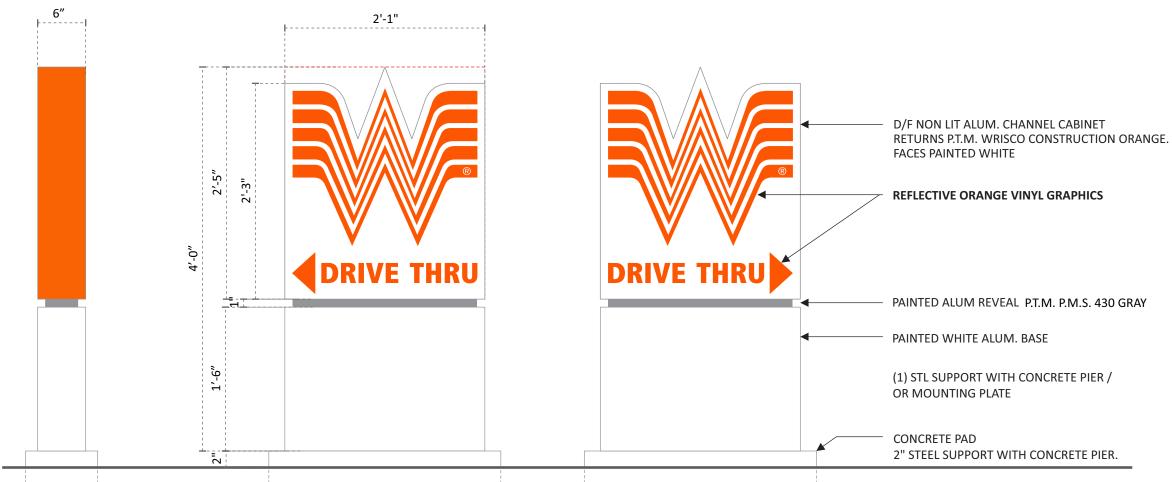
National Headquarters	14201 Sovereign Road #10 Fort Worth, TX 76155 (214) 902-2000 Fax (214) 902-204
San Antonio	17319 San Pedro Ave Ste 200 San Antonio, TX 78232 (210) 349-3804 Fax (210) 349-872
West Coast	3220 Executive Ridge Dr Ste 250 Vista, CA 92081 (760) 734-1708 Fax (760) 734-375
Northeast US	2301 River Road Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-257
Florida	2584 Sand Hill Point Circle Davenport, FL 33837 (863) 420-1100 Fax (863) 424-116
Georgia	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-872
South Texas	PO BOX 125 206 Doral Drive Portland, TX 78374 (361) 563-5599 Fax (361) 643-653

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CUSTOMER







NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.



Design # 0633779AR1

Sheet 9 of 10

Client

Address

701 Pavilion Pkwy, Monroe, GA

Acct. Rep. DEBBIE MOLTZ
Coordinator MEGAN AUDERER

Designer IH

Date 10/13/22

Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision/Date

Salidated P1200 signed of nont elevation only, it letters no raceways "Two dif 4' tall 4.5 square feet directional non lit reflective vinty, one dif "Entrance wirarrow"; one dif "DRIVE THRU/Arrow" (see Albertville #0629741 but nonlit) "One dif 5x 4" at 6" OAH up-lit monument sign – n

R1(10-14-22)IH: See customer notes in art reference folder

every linear loot per elevation. Please deale sq lootag chart to show show we are maximizing allowable square footage. Add typical building signs to elevations where we are



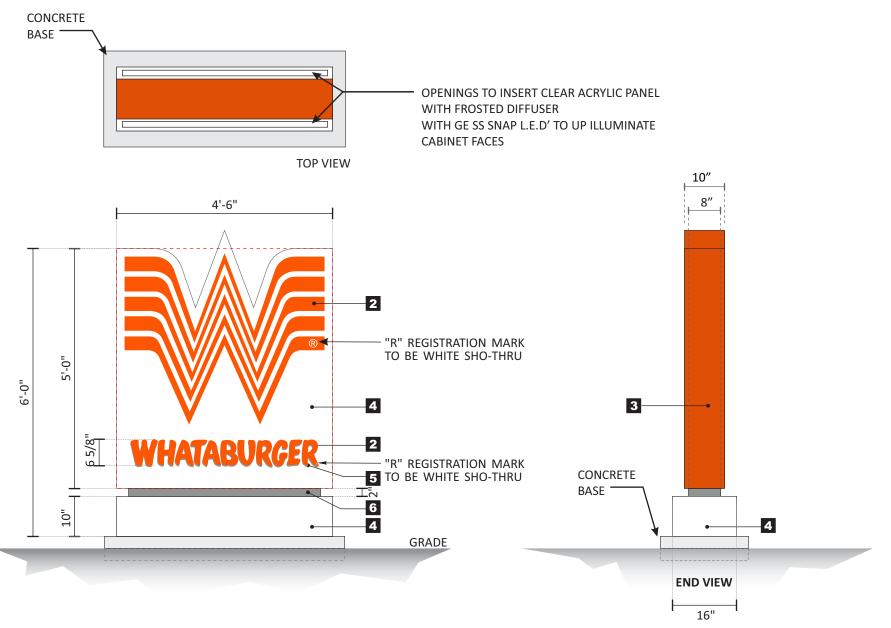
chandlersigns.com

National Headquarters | 14.201. Sovereign Road #1 |
Headquarters | 17.319. Sovereign Road #1 |
17.319. San Antonio | 17.319. San Pedro Ave |
See 200 | 17.319. San Pedro Ave |
S

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CONNECTION BY
CUSTOMER







D/F MONUMENT 5 FT CABINET ONE (1) REQUIRED - MANUFACTURE AND INSTALL

SCALE: ½"=1'-0"

22.48 SQ. FT. (CABINET ONLY)

NON ILLUMINATED D/F ALUM. CABINET

WITH APPLIED 1ST SURFACE 3M VINYL GRAPHICS.

2" PAINTED ALUM. REVEAL

PAINTED ALUM BASE WITH MEDIUM DANTEX FINISH TO UP ILLUMINATE TOP CABINET. SELF CONTAINED

ONE STEEL SUPPORT WITH CONCRETE PIER AND CONCRETE PAD

NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.

COLOR SCHEDULE

1 3/16" WHITE SG ACRYLIC FACES

2 3M 3630-44 ORANGE VINYL

3 P.T.M. P.M.S. 1665C ORANGE.

4 SPRAYLAT MARK 1: SM-102S SATIN WHITE

5 3M 3630-51 SILVER GRAY VINYL

6 P.T.M. P.M.S. 430 GRAY



0633779AR1

Sheet 10 of 10

Address

701 Pavilion Pkwy, Monroe, GA

DEBBIE MOLTZ MEGAN AUDERER Acct. Rep. Coordinator

Designer

10/13/22 Date

Approval / Date Client Sales Estimating Art Engineering Landlord

uare footage. Id typical building signs to elevations where we are



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National Headquarters	14201 Sovereign Road #10 Fort Worth, TX 76155 (214) 902-2000 Fax (214) 902-2044
San Antonio	17319 San Pedro Ave Ste 200 San Antonio, TX 78232 (210) 349-3804 Fax (210) 349-8724
West Coast	3220 Executive Ridge Dr Ste 250 Vista, CA 92081 (760) 734-1708 Fax (760) 734-3752
Northeast US	2301 River Road Suite 201 Louisville, KY 40206 (502) 897-9800 Cell (502) 554-257
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Georgia	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724
	PO BOX 125 206 Doral Drive

CONNECTION BY











2023 Planning Commission Schedule – DRAFT

January 17, 2023

February 21, 2023

March 21, 2023

April 18, 2023

May 16, 2023

June 20, 2023

July 18, 2023

August 15, 2023

September 19, 2023

October 17, 2023

November 16, 2023

December 19, 2023

Proposed Amendments to the Development Regulations

November 15 – Planning Commission December 13 – City Council 1st Reading January 10 – City Council 2nd Reading Amendment Key

Blue – Language to be added

Red – Language to be removed

Green – Amendment description

Article 7, Section 7.2: Amend Preliminary Plat Specifications to required complete preliminary plat submittals prior to Planning Commission consideration, revise sheet size, revise approval stamps, and correct section numbering as needed.

7.2 PRELIMINARY PLAT SPECIFICATIONS

An application for a Preliminary Plat Approval for a subdivision shall consist of a Preliminary Plat, a certified boundary survey, and such other Development Plans as may be required by these Regulations.

The Preliminary Plat and application shall be complete in all respects, including submission of all required documents to accompany the preliminary plat submittal. The Code Enforcement Officer shall have thirty (30) days to review preliminary plat submittals for completeness and accuracy. Incomplete submittals or submittals requiring correction will be scheduled for the first available Planning Commission meeting no less than thirty (30) days from the date the preliminary plat and submitted documents are considered complete.

7.2.1 Conformance to Sketch Plat

The Preliminary Plat shall generally conform to the Sketch Plat. The Preliminary Plat shall include all of the contiguous property under one (1) ownership.

7.2.2 Scale

The Preliminary Plat shall be clearly and legibly drawn at a scale of not less than one hundred (100) feet to one (1) inch. Sheet size shall not exceed forty eight (48) twenty-four (24) inches by thirty-six (36) inches. The Code Enforcement Officer may approve other scales as deemed appropriate.

7.2.3 Certified Boundary Survey

- a) The Preliminary Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Preliminary Plat, and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than one (1) in ten thousand (10,000), and shall meet all requirements of Georgia Law regarding the recording of maps and plats.
- b) Each Preliminary Plat shall be drawn on, accompanied by, or referenced to a boundary survey.

7.2.4 Preliminary Plat Specifications.

The Preliminary Plat shall contain the following:

- a) Name of the subdivision, unit number, Land District, Land Lot number, and total acreage of tract.
- b) Name, address, and telephone number of owner or agent.
- c) Name, address and telephone number of individual responsible for subdivision design and surveys.
- d) Date, graphic scale, and north point.
- e) Location sketch of tract showing major surrounding features.
- Proposed use of the subdivision.
- Minimum building setback lines along streets, with dimensions.
- h) Location of existing property lines, major easements, rights of way, water courses, drainage areas and ditches, distinctive natural features, and existing buildings.
- The location, names, and width of all existing or proposed streets within or directly adjacent to the subject property.
- Lots numbered in numerical order and blocks lettered alphabetically.
- k) Total number of lots proposed in tabular form.
- The approximate location of all proposed or existing lots and the site of the smallest lot.
- m) The location of flood plain areas.
- Statement of proposed water and/or sewer supply or collection method.
- Zoning of subject property and adjacent property.
- p) Names of adjacent property owners.
- Topography with contours no greater than two (2) feet.
- r) Location of all known existing or previously existing landfills.
- s) Location of all known existing groundwater recharge areas.
- Location of all known existing wetlands.
- u) Location of all known flood hazard areas.
- v) Location of all known Protected River Corridors.
- w) Location of all known Water Supply Watershed areas.
- x) AUTHORIZATION STATEMENT (text follows):

I hereby submit this SketchPreliminary Plat as authorized agent/owner of all
property shown thereon, and certify that all contiguous property under my ownership
or control is included within the boundaries of this Preliminary Plat, as required by
the Development Regulations.

or control is included within the boundaries of this Preliminary Plat, as the Development Regulations.		
Signature of Authorized Agent/Owner	Date	

y)	CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (text follows):		
	This Preliminary Plat has been reviewed and approved for general comp the Zoning Ordinance and Development Regulations of the City of Mon		
	Code Enforcement Officer Date		
z)	CERTIFICATE OF APPROVAL BY PLANNING COMMISSION (textfollows):	at	
	The Preliminary Plat shown hereon has been found to comply with the Z Ordinance and the Development Regulations of the City of Monroe and given Preliminary Approval by the City of Monroe Planning Commission Preliminary Approval does not constitute approval of a Final Plat. This C Approval shall expire and be null and void one (1) year from the date of Certificate of Approval.	d is hereby n. This Certificate of	
	Dated this day of	_, 20	
	By:	_, Chairman	
	By:	_, Secretary	
a.)	CERTIFICATE OF APPROVAL BY MONROE WATER & GAS DEPARTMENT (text follows):		
	The lots shown hereon and plans for water and sewage collection and debeen reviewed and approved by the City of Monroe Water & Gas Department the exception of lots are approved for development.		
	Dated this day of	, 20	
	Title:		

aa) CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL (text follows):

The Preliminary Plat shown hereon has been found to comply with the Zoning Ordinance and the Development Regulations of the City of Monroe and is hereby given Preliminary Approval by the City of Monroe Mayor and Council. This Preliminary Approval does not constitute approval of a Final Plat. This Certificate of Approval shall expire and be null and void one (1) year from the date of this Certificate of Approval if no Site Development Plans are approved and no Final Plat is recorded. If Site Development Plans are approved within one (1) year from the date of this Certificate of Approval, this Certificate of Approval shall extend to the expiration of Site Development Plans. If no Final Plat is recorded

by the expiration of the Site Development Plans, then this Certificate
Approval shall expire and be null and void in its entirety and shall require a ne
Preliminary Plat Approval by the City of Monroe Mayor and Council.

Dated this day of	, 20
By:	, Mayor
By:	, City Clerk

Article 7, Section 7.4: Amend Final Plat Specifications to required complete final plat submittals before City Council consideration, revise plat sizes, correct section numbering as needed, and update correct approval stamps.

7.4 FINAL PLAT SPECIFICATIONS

The Final Plat and application shall be complete in all respects, including submission of all required bonding, declarations, and/or covenants prior to being scheduled for City Council consideration. The Code Enforcement Officer shall have thirty (30) days to review final plat submittals for completeness and accuracy. Incomplete submittals or submittals requiring correction will be scheduled for the first available City Council meeting no less than thirty (30) days from the date the final plat and submitted documents are considered complete.

7.4.1 Scale and Sheet Size:

The Final Plat shall be clearly and legibly drawn in black ink on tracing cloth or other permanent, reproducible material. The scale of the Final Plat shall be 100 feet to one (1") inch (1"=100') or larger. Sheet size shall be 15" X17" no larger than 24" x 36" and no smaller than 11" x 17", or if larger than 15" X 17", it must be photographically reduced, prior to recording, to no more than 15" X 17".

7.4.2 Certified Boundary Survey:

The Final Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Final Plat and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than 1 in 10,000 and shall meet all requirements of Georgia law regarding the recording of maps and plats.

7.4.3 Conformance to Preliminary Plat:

The Final Plat shall substantially conform to the Preliminary Plat and may constitute only that portion of the approved Preliminary Plat which the subdivider proposes to record at any one time, provided that such portion conforms to the requirements of these Regulations and said portion is not inconsistent with the public health, safety, or welfare. Any substantial deviation from the Preliminary Plat shall require revision and re-approval of the Preliminary Plat.

7.4.4 Required Final Plat Information:

The Final Plat shall contain the following information:

- a) Name of the subdivision, unit number, Land District, and Land Lot number.
- b) Name, address, and telephone number of owner of record and the subdivider (if not the owner).
- c) Name, address and telephone number of each professional firm associated with the portion of the subdivision within the Final Plat (engineer, surveyor, landscape architect, etc.)
- d) Date of plat drawing, graphic scape, north point, notation as to the reference of bearings to magnetic true north or grid north, and indication whether bearings shown are calculated from angles turned.
- e) Location sketch of tract showing major surrounding features.
- f) Boundary lines of the tract, to be indicated by a heavy line, giving distances to the nearest one-hundredth foot and bearings to the nearest second. Bearing and distance to designated tie point shall be shown. The Plat shall have a closure precision of 1 foot in no less than 10,000 feet.
- g) Municipal or City jurisdiction lines approximately tied to the lines of the subdivision by distance and angles when such lines traverse or adjoin the subdivision. Land Lot lines traversing or adjoining the subdivision shall also be indicated.
- h) Locations, widths, and names of all streets and alleys within and immediately adjoining the plat, the location and widths of all internal public crosswalks, and all other public rights of way.
- i) Street centerlines, showing angles of deflection and standard curve data including radii, length of arcs and tangents between curves, points of curvance (P.C.), and Point of Tangency (P.T.).
- j) Lot lines with dimensions to the nearest one-tenth (1/10) of a foot and bearings to the nearest second, and radii of rounded corners as necessary to delimit each lot.
- k) Minimum building setback lines along streets with dimensions.
- 1) Lots in numerical order and blocks lettered alphabetically.
- m) Location and size of all drainage pipe, location and extent of detention ponds, the location and size of all public water mains and fire hydrants, and the location, dimensions, and purpose of any easements, including construction or slope easements if required.
- n) Location of any areas to be reserved, donated, or dedicated to public use with notes stating their purpose and limitations. Location of any areas to be reserved by private deed covenant for common use of all property owners, or dedicated to a homeowner's association.
- o) A statement of private covenants, if any, brief enough to be put directly on the plat; otherwise, if covenants are separately recorded, a statement as follows: This plat is subject to the covenants set forth in the separate document(s) attached hereto dated ______ which hereby become a part of this plat and which were recorded and signed by the owner.

- p) Accurate location, material, and the description of monuments and markers in place prior to approval of the Final Plat.
- q) Extent of the 100-year floodplain and the origin of the 100-year data shall be indicated.
- r) Street address numbers for each lot.
- s) The following drainage notice:

NOTE: The City of Monroe assumes no responsibility for overflow or erosion of natural or artificial drains beyond the extent of the street right of way, or for the extension of culverts beyond the point shown on the approved and recorded subdivision plat.

OWNERS CERTIFICATE AND DECLARATION (text follows):

STATE OF GEORGIA THE CITY OF MONROE

t)

The owner of the land shown on this plat and whose name is subscribed hereto in person or through a duly authorized agent acknowledges that this plat was made from an actual survey and dedicates to the use of the public forever all streets, drains, easements and other public facilities and appurtenances thereon shown for the purposes therein expressed.

By:	, Owner
SURVEYOR'S CERT	TIFICATION (text follows):
and all improvement sof the property made shown hereon actually correctly shown. The ficlosure precision of on angle point, adjusted us is found to be accurate acres. The equipment upon the soft of the property of the prop	at this plat is true and correct as to the property lines shown thereon and was prepared from an actual survey by me or under my supervision; that all monuments exist; and their location, size, type, and material are field data upon which this plat is based has a see foot in feet and an angular error or per sing rule. This plat has been calculated for closure and within one foot in feet, and contains total of ased to obtain the linear and angular measurements
By:	
Date:	
Registered Georgia La	nd Surveyor
Reg. No:	Date of Expiration

u)	CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE (tex follows):		
	The Code Enforcement Officer certifies that this plat complies with the Zoning Ordinance and Development Regulations of the City of Monroe and has been approved by all other affected City Departments, as appropriate. This plat is approved, subject to the provisions and requirements of the Performance and Maintenance Surety Agreement executed for this project between the owner and the City of Monroe.		
	By:		
	Date:		
	Code Enforcement Officer:		
v)	CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL (textfollows):	ζt	
	The City of Monroe Mayor and City Council hereby accept on behalf of the City of Monroe the dedication of all public streets, rights of way, easements and other public facilities and appurtenances shown thereon. This plat is approved subject to the provisions and requirements of the Performance and Maintenance Surety Agreement executed for this project between the owner and the City of Monroe.		
	Dated this, 20		
	By:, Mayor The City of Monroe Mayor and City Council		
	Attest: City Clerk, City of Monroe		
<u>w)</u>	CERTIFICATE OF APPROVAL BY MONROE UTILITY DEPARTMENT (text follows):	<u>r</u>	
	The lots shown hereon and plans for water and sewage collection and disposa have been reviewed and approved by the City of Monroe Water & Ga	_	
	Department, and with the exception of lots are approved for development.		
	Dated this day of ,20		
	By:		
	Title:		

7.4.5 Warranty Deed Required for Other Dedications:

u)

If any lands are shown on the Final Plat for dedication to the City of Monroe other than street rights of way or easements, a Warranty Deed transferring title to said land in fee simple shall be submitted with the Final Plat application.

7.4.6 Deed of Transfer Required for Dedications to Property Owner's Association:

If any lands are shown on the Final Plat for dedication to a Property Owners Association, a copy of the deed of transfer for such dedication and a copy of the instrument of incorporation of the Property Owners Association shall be submitted with the Final Plat application.

Article 7, Section 7.5: Amend Minor Subdivision Plat Specifications to modify plat size, modify approval stamp language, and eliminate unnecessary approval stamps.

7.5 MINOR SUBDIVISION PLAT SPECIFICATIONS

The Final Plat for a Minor Subdivision shall include the following information:

7.5.1 Scale and Sheet Size:

The Final Plat shall be clearly and legibly drawn in black ink on tracing cloth or other permanent reproducible material. The scale of the Final Plat shall be 100 feet to one (1") inch (1"=100'), or larger as approved by the Code Enforcement Officer. Sheet size shall be 15" x 17", or if larger than 15" x 17" no larger than 24" x 36" and no smaller than 11" x 17", it must be photographically reduced, prior to recording, to no more than 15" x 17".

7.5.2 Certified Boundary Survey:

The Final Plat shall be based on a certified boundary survey delineating the entirety of the property contained within the Final Plat and tied to a point of reference (tie point) with the same degree of accuracy as the boundary survey itself. The survey shall have an accuracy of no less than 1 in 10,000 and shall meet all requirements of Georgia law regarding the recording of maps and plats.

7.5.3 Required Final Plat Information:

The Final Plat for a Minor Subdivision shall contain the following information:

- a) Name of the subdivision, unit number, Land District, and Land Lot number
- b) Name, address and telephone number of owner of record and the subdivider (if not the owner)
- c) Name, address, and telephone number of the professional firm which prepared the Final Plat
- d) Date of plat drawing, graphic scape, north point, notation as to the reference of bearings to magnetic true north or grid north, and indication whether bearings shown are calculated from angles turned
- e) Boundary lines of the tract, indicated by a heavy line, giving distances to the nearest one-hundredth foot and bearings to the nearest second. Bearing and distance to

designated tie point shall be shown. The plat shall have a closure precision of 1 foot in no less than 10,000 feet

- f) Municipal or City jurisdiction lines approximately tied to the lines of the subdivision by distance and angles when such lines traverse or adjoin the subdivision. Land Lot lines traversing or adjoining the subdivision shall also be indicated
- g) Locations, widths, and names of all streets and alleys immediately adjoining the site
- h) Lot lines with dimensions to the nearest one-tenth (1/10) of a foot and bearings to the nearest second
- i) Minimum building setback lines along streets with dimensions
- j) Lots in numerical order and blocks lettered alphabetically
- Location and size of all public water mains and fire hydrants and the location, dimensions, and purpose of any easements, including construction or slope easements, if required
- l) A statement of private covenants, if any, and they are brief enough to be put directly on the plat; otherwise, if covenants are separately recorded, a statement as follows:

This plat is subject to the covenants set forth in the separate document(s) attached hereto dated which hereby become a part of this plat, and which were recorded and signed by the owner

- m) Accurate location, material, and the description of monuments and markers. (All monuments shall be in place prior to approval of the Final Plat.)
- n) Extent of the 100-year floodplain and the origin of the floodplain data shall be indicated
- o) Street address numbers for each lot and for each street

n)	OWNER'S CERTIFICATE AND DECLARATION STATE OF GEORGIA THE
P)	owner been letter and becentation, state of bedough, the
	CITY OF MONROE (text follows):
	CIT I OI MONKOL (text lollows).

The owner of the land shown on this plat and whose name is subscribed hereto—and in person or through a duly authorized agent acknowledges that this plat—was made from an actual survey and dedicates to the use of the public forever—all streets, drains, easements and other public facilities and appurtenances—thereon shown for the purposes therein expressed.

Dated this	day of	20
Dated tills	day or	
D		0,,,,,

q) <u>SURVEYOR'S CERTIFICATION</u>

It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type, and material are correctly shown. The field data upon which this plat is based has a closure precision of one foot in ____ feet and an angular error of ____ per angle point, and was adjusted using _____ rule. This plat has been calculated for closure

xpiration:
xpiration:
NFORCEMENT OFFICE (text
this plat complies with the the City of Monroe, Georgia, artments, as appropriate. and ce of the Clerk of the
, 20
) COUNCIL
accept on behalf of the ghts of way, easements, hereon. This plat is
of the Performance and ject between the owner
, 20
Of

Article 8, Section 8.6: Remove requirement 8.6.4 which discourages through traffic.

8.6 ARRANGEMENT OF LOCAL STREETS

The local street network built in a subdivision must meet the following requirements:

8.6.1 Provide for the continuation or the appropriate connection of existing Local Streets in surrounding areas at the same or greater width. Provision must be made for the extension of any dead-end streets.

- 8.6.2 The system of streets designated for the subdivision must connect with streets already platted to the boundary from abutting subdivisions. At reasonable intervals streets must be continued to the boundaries (with no reserve strips) of the tract subdivided, so that future abutting subdivisions may connect therewith.
- 8.6.3 Conform to a plan for a neighborhood approved or adopted by the City to meet a particular situation where topographical or other conditions make continuance or conformance to existing local streets impracticable.
- 8.6.4 Be so laid out that their use for through traffic is discouraged.
- Article 9, Section 9.16: Correct section numbering.

9.16 Access Management / Driveways

(revised 2/13/18)

The following standards shall apply to land subdivision and development, except for single-family dwelling units or industrial development where the primary access is from a state or federal highway or a thoroughfare classified as a major collector or arterial in the City of Monroe Development Regulations. These standards shall apply unless a more restrictive standard is required by the Georgia Department of Transportation.

A. 9.16.1. Joint and Cross Access

> Article 11: Remove surety bonds as a type of performance and maintenance surety.

ARTICLE 11

PERFORMANCE AND MAINTENANCE BONDS

11.1. Performance and Maintenance Agreement

Prior to the approval of a Final Plat or Certificate of Occupancy, the Developer shall provide to the City a Performance and Maintenance Agreement in a form as required by the City.

11.1.1 Performance Surety

- 1. When Required. Performance surety shall be required, prior to the approval of a Final Plat or Certificate of Occupancy, for any Development containing unfinished amenities, improvements, or installations required to be constructed by These Regulations or the Zoning Ordinance or as a condition of any approval or permit granted thereunder which the Code Enforcement Officer, in his sole discretion, determines to be the result of unusual weather, site conditions, or construction phasing situations. All other Developments shall be completed prior to the approval of a Final Plat or Certificate of Occupancy.
- 2. <u>Purpose.</u> Performance surety shall be conditioned upon the faithful performance by the Developer of all work required to complete all amenities, improvements, and installations for the Development in compliance with These Regulation and the Zoning Ordinance and any approval

- or permit granted thereunder within one (1) year of the approval of the Final Plat or Certificate of Occupancy.
- 3. Form. Performance surety shall be payable to the City of Monroe in the form of:
 - a). Cash deposited in an account with the City of Monroe along with an escrow agreement, in a form acceptable to the Code Enforcement Officer and the City Attorney, from the Developer; or b). A surety bond, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a company that is listed on the U.S. Department of the Treasury's Listing of Approved Sureties (Department Circular 570) as of the date of issuance and authorized by law to do business in the State of Georgia; or
 - **eb**). An irrevocable letter of credit, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a financial institution that has a Texas Ratio of less than 100% as of the date of issuance and is authorized by law to do business in the State of Georgia.
- 4. <u>Amount.</u> Performance surety shall be in an amount equal to the cost of construction of the required work plus an additional fifty percent (50%) of said costs, as calculated by the Code Enforcement Officer.
- 5. <u>Period.</u> Performance surety shall be for a period of one (1) year unless authorized for a longer period of time by the Code Enforcement Officer.
- 6. <u>Release and Forfeiture.</u> Performance surety shall be released to the Developer upon request if all work required to complete all amenities, improvements, and installations for the Development in compliance with These Regulations and any approval or permit granted thereunder has been completed timely. If such work has not been completed within the required performance surety period, the performance surety shall be forfeited to the City of Monroe.

11.1.2 Maintenance Surety

- 1. When Required. Maintenance surety shall be required, prior to the approval of a Final Plat or Certificate of Occupancy, for any Development containing public improvements.
- 2. <u>Purpose.</u> Maintenance surety shall be conditioned upon the faithful maintenance by the Developer of the public improvements in compliance with These Regulations and the Zoning Ordinance and any approval or permit granted thereunder for a period of two (2) years following the approval of the Final Plat or Certificate of Occupancy.
- 3. Form. Maintenance surety shall be payable to the City of Monroe in the form of
 - a). Cash deposited in an account with the City of Monroe along with an escrow agreement, in a form acceptable to the Code Enforcement Officer and the City Attorney, from the Developer; or b). A surety bond, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a company that is listed on the U.S. Department of the Treasury's Listing of Approved Sureties (Department Circular 570) as of the date of issuance and authorized by law to do business in the State of Georgia; or
 - **eb**). An irrevocable letter of credit, in a form acceptable to the Code Enforcement Officer and the City Attorney, from a financial institution that has a Texas Ratio of less than 100% as of the date of issuance and is authorized by law to do business in the State of Georgia.

- 4. <u>Amount.</u> Maintenance surety shall be in an amount equal to fifty percent (50%) of the cost of construction of the public improvements, as calculated by the Code Enforcement Officer.
- 5. <u>Period.</u> Maintenance surety shall be for a minimum period of two (2) years as determined by the Code Enforcement Officer.
- 6. Release and Forfeiture. Maintenance surety shall be released to the Developer upon request if the public improvements have been maintained in compliance with These Regulations and the Zoning Ordinance and any approval or permit granted thereunder for the requisite period. If the public improvements are not so maintained by the Developer for the entirety of the requisite maintenance surety period, the maintenance surety shall be forfeited to the City of Monroe.

Proposed Amendments to the Zoning Ordinance

November 15 – Planning Commission December 13 – City Council 1st Reading January 10 – City Council 2nd Reading Amendment Key

Blue – Language to be added
Red – Language to be removed
Green – Amendment description

Section 620.3: Modify Commercial Zoning District Land Use Regulation table to remove Self-Service Mini-Warehouse and Warehouses as permitted uses in the B-3 zoning district.

Section 620.3 Commercial Land Use Regulations (P, B-1, B-2, B-3):

<u>Section 620.3 Table 6 - Commercial Zoning District Land Use Regulations</u> [P]=permitted; [X]=prohibited; [C]=conditional use permit required

LAND USE CATEGORY		DIST	RICT	REFERENCE	
Principal Use* (unless noted as an accessory use)	Р	B1	B2	В3	See Section or Note
Distribution and storage facilities warehouse, self-service (mini)		X	X	<u>₽-X</u>	
warehouse	Х	Х	Х	<u>₽_X</u>	

Section 630.3: Modify Industrial Zoning District Land Use Regulation table to add new Note that includes a description of where Self-Service Mini-Warehouse may be permitted in the M-1 zoning district.

Section 630.3 Industrial Land Use Regulations (M-1):

<u>Section 630.3 Table 6 - Industrial Zoning District Land Use Regulations</u> [P]=permitted; [X]=prohibited; [C]=conditional use permit required

LAND USE CATEGORY	DISTRICT	REFERENCE
Principal Use*(unless noted as an accessory use)	M-1	See Section or Note
Distribution and storage facilities		
warehouse, self-service(mini)	Р	Note (6)
warehouse	Р	
distribution warehouse facility	Р	

Notes for Table 6, Section 630.3:

- (1) Acid manufacturing includes without limitation the manufacturing of hydrochloric, nitric, picric, sulfuric acid or other similar acids
- (2) Excluding the manufacturing of paper from pulp wood.
- (3) Excluding the processing of raw materials.
- (4) Excludes fuels intended for vehicle use.
- (5) In compliance with the City of Monroe Code of Ordinances, Chapter 22, Article II, Adult Entertainment.
- (6) Excludes properties located in the Federal Enterprise Opportunity Zone and Urban Redevelopment Authority boundary with the exception of M-1 zoned properties located within a ½ mile of the Vine Street and South Broad Street intersection.

Section 644.2: Amend language in the Monroe and Walton Mills Historic Overlay District (MHDO) to indicate the developments must be platted as condominiums.

644.2 Applicability

The MHDO District shall be allowed in all areas located in the Monroe and Walton Mills Historic District, as defined on the City of Monroe Official Historic District Map. All MHDO developments shall be constructed on parcels of a minimum size of four-tenths (0.4) of an acre (17,424 Sf). All MHDO developments shall contain a minimum of four (4) and a maximum of ten (10) single family dwelling units per gross acre located in a cluster-type format to encourage a sense of community among the residents. All MHDO developments shall be condominium forms of ownership which meet the requirements in the subsequent sections of the MHDO District.

Section 645.3: Amend language in the Infill Overlay District to allow existing duplexes to be subdivided into infill lots.

Permitted Uses.

Within a IOD development the following uses are permitted

- (1) Single-family detached dwellings.
- (2) Existing Two-Family or Duplex dwellings.
- Section 700.2: Amend commercial zoning district dimensional requirements to allow for zero-lot line setbacks in multi-tenant guage in the Infill Overlay District to allow existing duplexes to be subdivided into infill lots.

700.2 P, B-1, B-2 and B-3 Dimensional Requirements: The following table delineates dimensional requirements for the specified commercial zoning districts. For the matrix of use provisions by district, see Article VI. For supplementary standards for specific uses, see Article X. For allowed residential uses in commercial zoning districts, the dimensional requirements of the corresponding residential district shall apply.

<u>Section 700.2: Table 11 – Commercial Zoning District Dimensional Requirements</u>

	P	B1	B2	В3
LOT				
Lot area, min (1)	7,500	7,500	None(7)	None(7)
	sq. ft.	sq .ft.		
Lot coverage, max	50%	50%	60%	60 %
Lot width, min	60 ft.	60 ft.	60 ft.	100 ft.
Lot frontage, min	60 ft.	60 ft.	60 ft.	100 ft.
YARD				
Setback, front yard (2)	25 ft.	25 ft.	25 ft.	35 ft.
Setback, side yard, min (3)	10 ft.	15 ft. <u>(8)</u>	15 ft. (4) <u>(8)</u>	15 ft. (5) <u>(8)</u>
Setback, rear yard, min	20 ft.	20 ft.	20 ft. (4)	20 ft. (5)
BUILDING				
Building height, max (6)	35 ft.	35 ft.	35 ft.	35 ft.
Building ground floor area, min sq footage required	1,000	1,000	1,000	2,000
	sq.ft.	sq.ft.	sq.ft.	sq.ft.

- (1) Encompasses area for accessory buildings and uses, including parking, loading and unloading space, storage and parking, screening, lighting, and stormwater management measures. The minimum lot area cited in this Article shall be increased in all situations where public sanitary sewer service is not utilized and the Walton County Health Department requires a larger lot for proper septic tank operation.
- (2) For properties within the HPO or CDO overlay districts, the setback is established by the designated design review board to maintain the established building line along a historic block or design corridor
- On corner lots that abut a residential district or use, there shall be a side yard equal in depth to the required front yard of the residential district.
- (4) A ten (10) foot landscaped and fenced opaque buffer strip or berm is required if lot abuts residential district or use.
- (5) A twenty-five (25) foot landscaped and fenced opaque buffer strip or berm is required if lot abuts residential district or use.
- (6) Church spires, belfries, cupolas, monuments, water towers, chimneys, flues, flagpoles, television antennae, and radio aerials are exempt.
- (7) Minimum lot size for single family homes shall comply with the requirements for R1A districts.
- (8) Zero-lot line setbacks are permitted for multi-tenant commercial buildings located on one single-parcel where existing parking serves all existing tenants in the commercial building. A shared parking arrangement is required prior to plat approval for any subdivision of an existing parcel benefitting from this requirement.
- Section 810.1: Amend newly platted subdivision requirements to require the submittal of a plat showing the matrix of 5 different building designs for consideration and approval as required in Section 810.1(1).

Section 810 Newly Platted Subdivisions.

<u>810.1 Single and Two Family Dwelling Subdivisions.</u> The following site design standards shall be utilized for every newly platted residential subdivision containing single and two family dwellings.

- (1) There shall be only one building design or substantially similar building design permitted per 5 adjacent or opposite adjacent lots. Provided however, if the average lot size of the subdivision exceeds 1 acre, one building design or substantially similar building design shall be permitted per 3 adjacent or opposite adjacent lots.
 - (a) Prior to approval of any building permits for new platted subdivisions, a copy of the final plat showing the building design matrix set forth in Section 810.1(1) shall be submitted to the Code Enforcement office for review.
- Article VIII: Add new section requiring all new single-family residential and mixed-use projects to be rezoned as a planned district.

Section 820 New Single-Family Residential and Mixed-Use Development.

All new single-family residential and mixed-use developments shall be rezoned to a planned district as outlined in Section 650.

Section 910: Revise the front and rear entry requirements for a single-family dwelling to exclude trellis extensions (or pergolas). Revise the garage standards for single-family dwellings to Add new section requiring all new single-family residential and mixed-use projects to be rezoned as a planned district.

Section 910 Residential Building Design Standards.

910.1 Single and Two Family Dwellings. The following building design standards shall apply to all single and two family dwelling units constructed in the City, regardless of their zoning district:

- (1) All dwellings shall be constructed of brick, stone or other masonry type product. Cement based siding such as Hardiplank or other similar material is permitted. Vinyl and aluminum siding is prohibited. Vinyl or aluminum may be utilized on a limited basis in the soffit and eave trim areas.
- (2) All primary roofs shall have a minimum 5/12 pitch. Dormer and porch roofs may have lower slopes.
- (3) All primary roof overhangs for exterior walls shall be no less than 16 inches for brick sided designs, and no less than 12 inches for all other designs. Said overhang requirements shall apply to gable ends as well as exterior walls supporting rafters.
- (4) All primary front entrances shall be scaled to the relative proportions of the building design, adjoining streetscape, and maintain the overall architectural style of the residence.
- (5) All primary front and rear entrances shall be recessed a minimum of 5 feet, and shall be covered by a roof extension, trellis extension, or shed roof extension no less than 6 foot by 6 foot in dimension. Pergolas, trellis extensions, and other open structures do not count towards this requirement.
- (6) All exterior wall sections wider than 25 feet shall include an interruption in the plane of the façade by recess, protrusion, or fenestration.
- (7) No exposed unpainted wood is allowed on the front façade of any dwelling except porch flooring boards.
- (8) All garage doors must be side or rear facing except in cul de-sac lots where lot widths would prohibit side or rear entry. All attached and detached garages shall be located a minimum of 20 feet behind the front of the dwelling. Preferred garage access for dwellings is rear or alley loaded. For the purposes of this requirement, the front of the dwelling shall begin at the heated floor area of the front orientation of the dwelling. If the front door is recessed behind any heated floor area of the front orientation of the dwelling, the distance shall be measured from the front door.
- (9) All garage doors in cul-de-sac lots where the lot width would prohibit side or rear entry shall be no more than 20% of the front façade or 120 square feet, whichever is less.