



## Planning Commission Meeting

### AGENDA

Tuesday, September 20, 2022

5:30 PM

215 N. Broad St

- 
- I. **CALL TO ORDER**
  - II. **ROLL CALL**
  - III. **APPROVAL OF AGENDA**
  - IV. **MINUTES OF PREVIOUS MEETING**
    - [1.](#) Minutes of Previous Meeting 8-16-2022
  - V. **REPORT FROM CODE ENFORCEMENT OFFICER**
  - VI. **OLD BUSINESS**
  - VII. **NEW BUSINESS**
    - [1.](#) Request for COA - 955 E. Spring St. - Building Modifications
  - VIII. **ADJOURNMENT**

**MONROE PLANNING COMMISSION  
MEETING MINUTES—August 16, 2022—DRAFT**

**Present:** Rosalind Parks, Randy Camp, Sara Shropshire, Nate Treadaway

**Absent:** Mike Eckles

**Staff:** Logan Propes—City Administrator  
Brad Callender—City Planner  
Laura Wilson—Code Assistant

**Visitors:** Kathy Chancey, Robert Chancey, Ben Doster, Brian Harley, Charles Preston, Roger Grant, Pat Preston, Nancy Smith

Call to Order by Acting Chairman Camp at 5:31 pm.

Motion to Approve the Agenda as presented:

Motion Parks. Second Shropshire  
Motion carried

Acting Chairman Camp asked for any changes, corrections or additions to the July 19, 2022 minutes.

Motion to approve

Motion Treadaway. Second Parks.  
Motion carried

Acting Chairman Camp asked for the Code Officer’s Report: None

Old Business: None

**The First Item of Business:** is Rezone Case #1183, a request for approval of modifications to the PCD pattern book approved under Rezone #000016 (M-1 to PCD) by the City Council on August 10, 2021. The rezone request is PCD to PCD with modifications. The applicant proposes to change the development from a commercial/light industrial project to a mixed-use multi-family and commercial project. A majority of the site will now be slated for a multi-family development with a maximum potential of 282 units. The remainder of the site will become a +1.85 acre commercial out lot. Both the multi-family and the commercial development will be accessed by one entrance off of Hwy 78 and one entrance off of Aycock Ave. The access off of Hwy 78 has already been approved by GDOT and is limited to one. GDOT has also approved a proposed traffic signal at Hwy 78 and Aycock Ave. Staff recommends approval with two conditions as listed in the staff report. Charles Preston spoke in favor of the project.

Treadaway: When you are leaving the development on Aycock Ave will you be restricted to a right turn only?

Preston: No, part of getting GDOT to approve the traffic signal was having the ability to turn left and get back into town. When the bypass gets built it will push traffic on to Unisia. From GDOT’s perspective it would create more traffic problems if everyone was pushed to the right to come out on Unisia.

Camp: What is the thinking in the breakdown of units?

Preston: 80% will be one bedroom to create professional workforce housing.

Treadaway: The commercial out lot will be developed at a separate time?

Preston: Yes, when the right buyer comes along. It could be an ideal space for a breakfast/coffee type establishment.

Acting Chairman Camp: Anyone here to speak in opposition? None

Motion to approved with conditions

Motion Shropshire. Second Parks.  
Motion Carried

**The Second Item of Business:** is Variance Case #1342, a request to reduce the number of required access points from three to two for a mixed-use development. Section 9.16.C.2 of the Development Regulations requires residential developments with more than 200 units to have a minimum of three driveway access points. The applicant proposes to construct one entrance to the development from US Hwy 78 and one entrance from Aycock Ave. The applicant has already received approval from GDOT to construct one entrance from Hwy 78. The entrance off of Aycock Ave is proposed to include additional turn lanes and right-of-way dedication as part of improvements to construct a traffic signal at the intersection of Aycock and Hwy 78. City Development Regulations prohibit a second entrance off of Aycock Ave because there is not enough space. Staff recommends approval without conditions.

Motion to approved with conditions

Motion Parks. Second Shropshire.  
Motion Carried

**The Second Item of Business:** is Variance Case #1343, a request to allow construction of a forward-facing attached garage. The applicant proposes to attach the garage to the existing residence along with other improvements and expansions to the existing single-family residence. The garage is proposed to be recessed behind the front of the dwelling. Staff recommends approval with the condition listed in the staff report. The applicant, Robert Chancey spoke in favor of the project. The only way to put a garage on the house is on the left side. The right side is too high. There is not enough access to make a side entryway garage.

Acting Chairman Camp: Anyone here to speak in opposition? None

Motion to approved with condition

Motion Shropshire. Second Treadaway.  
Motion Carried

Acting Chairman Camp entertained a motion to adjourn.  
Motion to adjourn

Motion Parks. Second Treadaway.  
Meeting adjourned; 5:50pm





**Planning  
City of Monroe, Georgia**

**CERTIFICATE OF APPROPRIATENESS STAFF REPORT**

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**APPLICATION SUMMARY**

**CERTIFICATE OF APPROPRIATENESS CASE #:** 1407

**DATE:** September 12, 2022

**STAFF REPORT BY:** Brad Callender, Planning & Zoning Director

**APPLICANT NAME:** Popeyes Louisiana Kitchen

**PROPERTY OWNER:** Ikbal Momin

**LOCATION:** Northwest corner of E. Spring Street and N. Hammond Drive – 955 E. Spring Street

**ACREAGE:** ±0.61

**EXISTING ZONING:** B-3 (Highway Commercial District)

**EXISTING LAND USE:** Fast-food restaurant with drive-through

**ACTION REQUESTED:** The applicant is requesting approval of a Certificate of Appropriateness application in order to allow exterior renovations of an existing fast-food restaurant.

**STAFF RECOMMENDATION:** Staff recommends approval of this Certificate of Appropriateness as requested without conditions.

**DATE OF SCHEDULED MEETING**

**PLANNING COMMISSION:** September 20, 2022

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**REQUEST SUMMARY**

**CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:**

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow exterior renovations of an existing fast-food restaurant.

**PROPOSED PROJECT SUMMARY:**

- Fast-Food Restaurant with Drive-Thru
  - Total Building Floor Area – 2,716 Sf
  - Proposed Exterior Modifications
    - Front Façade – Center high front parapet will be lowered to level the parapet across the front and exterior wall to be repainted with a new color scheme. Existing canopy, signage, and doors will be replaced.
    - Rear Façade – Repainted with a new color scheme.
    - Side Elevation/Main Entry – Existing canopy will be replaced. Exterior wall to be repainted with a new color scheme. Decorative shutters, light fixtures, and existing doors will be replaced.

- Side Elevation/Drive-Thru – Existing canopy will be replaced. Exterior wall to be repainted with new color scheme. Decorative shutters and light fixtures will be replaced. Drive thru window will also be replaced and new brick veneer will be installed at the drive thru section.

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## **STAFF ANALYSIS**

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

### **643A.1 – Site Planning:**

The existing restaurant building is a typical fast-food restaurant with associated parking and landscaping on the site. No changes to the site beyond the existing building are proposed in this COA request.

### **643A.2 – Architecture:**

The proposed renovations to the fast-food restaurant include lowering the front parapet wall to create a level parapet across the front façade and repainting the entire façade with a new color scheme. Additional modifications include replacement of all existing canopies, doors, light fixtures, and decorative shutters. The existing drive-thru window will be replaced and a brick veneer will be added around the drive-thru window section. The submitted conceptual elevations of the proposed building renovations appear to comply with the architectural requirements under Section 643A.2 of the Zoning Ordinance.

### **643A.3 – Pavement:**

No changes to the existing pavement on the site are proposed as part of the renovations of the existing building.

### **643A.4 – Landscaping:**

No changes to the existing landscaping on the site are proposed as part of the renovations of the existing building.

### **643A.5 – Signs:**

Examples of signage to be placed on the building were included on the building elevations. The sign replacements are one-for-one replacements. Signage proposed on the building appears to meet the general criteria for signs outlined in Section 643A.5 of the Zoning Ordinance.

### **643A.6 – Illumination:**

No changes to the existing lighting on the site are proposed as part of the renovations of the existing building.

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## **STAFF RECOMMENDATION**

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness application to renovate the exterior of the existing fast-food restaurant as submitted without conditions.



# City of Monroe

215 N. Broad Street  
Monroe, GA 30655  
(770) 207-4674

## PLANNING COMMISSION MTG

PERMIT #:	1407	DESCRIPTION:	COA-PLANNING & ZONING
JOB ADDRESS:	955 E SPRING ST	LOT #:	72
PARCEL ID:	M0130117	BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	Popeyes Louisiana Kitchen	CONTRACTOR:	Popeyes Louisiana Kitchen
ADDRESS:	955 E Spring St	PHONE:	
CITY, STATE ZIP:	Monroe GA 30655	OWNER:	
PHONE:	404-786-3340	PHONE:	
PROP. USE:	COMMERCIAL	DATE ISSUED:	8/29/2022
VALUATION:	\$ 0.00	EXPIRATION:	2/25/2023
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
COA-01	PLANNING COMMISSION REGULAR MEETING	\$ 100.00
<b>FEE TOTAL</b>		\$ 100.00
<b>PAYMENTS</b>		\$- 100.00
<b>BALANCE</b>		\$ 0.00

### NOTES:

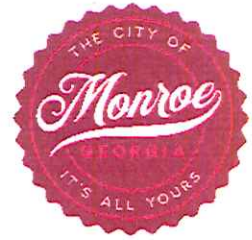
**NOTICE**

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

  
\_\_\_\_\_  
(APPROVED BY)

9/16/22  
DATE



### Certificate of Appropriateness Application

Please fill out each section completely and provide all necessary documentation. Incomplete applications will not be accepted.

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

Project Address: 955 East Spring Street Monroe, Ga 30655 Parcel # M0130117

Property listed above is located in (circle) Corridor Design Overlay or Central Business District

Project Type (circle): New Construction, Renovation of Existing Structure, Demolition, Signage

Property Owner: Ikbal Momin

Address: 955 East Spring Street Monroe, Ga 30655

Telephone Number: 4047863340 Email Address: plk10878@gmail.com

Applicant: Popeyes Louisiana Kitchen	
Address: 955 East Spring Street Monroe, Ga 30655	
Telephone Number: 404 786 3340	Email Address: plk10878@gmail.com

Estimated cost of project: \$150,000

Please submit the following items with your application:

- Photographs of existing condition of the property to show all areas affected
- Plans, sketches, drawings, and diagrams of the project which detail the materials that will be used
- Written description of the project
- Owner authorization statement, if applicant is not the property owner
- Application Fee \$100

Please submit all application materials in hardcopy to the Code Department and digitally at [lwilson@monroega.gov](mailto:lwilson@monroega.gov); Please submit two physical copies.

Hasan Momin \_\_\_\_\_ 8/19/2022  
Signature of Applicant Date

RECEIVED  
#1407



215 North Broad Street  
Monroe, GA 30655  
Tel (770) 267-3429  
Fax (770) 267-3698

Receipt Number: R00419721  
Cashier Name: LAURA WILSON  
Terminal Number: 34  
Receipt Date: 8/29/2022 3:47:54 PM

9

Transaction Code: BP - Building Projects Payment

Payment Method: Check Payn Reference: 10125

Name: Popeyes Louisiana Kitchen	\$100.00
Total Balance Due:	\$100.00
Amount:	\$100.00
Total Payment Received:	\$100.00
Change:	\$0.00

**NOTICE TO THE PUBLIC  
CITY OF MONROE**

**A petition has been filed with the City of Monroe requesting a Certificate of Appropriateness to allow for building modifications at 955 E. Spring St. (Parcel #MO130117).**

**The City of Monroe Planning Commission will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on September 20, 2022 at 5:30 P.M. All those having an interest should be present to voice their interest.**

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**PLEASE RUN ON THE  
FOLLOWING DATE:**

**September 4, 2022**

**AKA Project No. R-2224**

**August 18, 2022**

City of Monroe  
215 N Broad St.  
Monroe, GA 30655

**RE: Popeye's - 955 Spring Street, Monroe, GA  
**Certificate of Appropriateness Application****

Under the Zoning Ordinance for the City of Monroe, properties located within the Corridor Design Overlay or the Central Business District are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change on the property.

We are hereby submitting for the Committee's review a Project Description along with proposed Building Elevations

**PROJECT DESCRIPTION:**

The existing structure was originally designed as a Burger King in 1993. In 2009 the building was converted to a Popeye's Restaurant. Since that conversion no exterior upgrades have been propose until now to be in compliance with the new branding standards and prototype. The scope of work is limited to the replacement of canopies, signage, doors, light fixtures and repainting the exterior. New finishes to the dining room and public toilet is also scheduled as part of the upgrade.

No work or enhancements is scheduled that will affect impervious surfaces, parking, parking islands, greenspace, trees, landscaping, or buffers.

- **Front Facade:** The center high portion of the front parapet is being lowered to create a level parapet across the front façade. Existing EIFS and Brick Base to be painted with new color scheme. Existing Canopy and Sign to be replaced with new. Storefront Doors to be replaced with new. Existing windows to remain.

- **Rear Façade:** No changes are planned for the rear of the building. Existing EIFS and Brick Base to be repainted with new color scheme.
- **Side Elevation /Main Entry :** Canopy to be replaced with new. Existing EIFS and Brick Base to be repainted with new color scheme. New decorative shutters and light fixtures. Storefront Doors to be replaced with new. Existing windows to remain.
- **Side Elevation /Drive thru :** Canopy to be replaced with new. Existing EIFS and Brick Base to be repainted with new color scheme. New decorative shutters and light fixtures. New sliding window and new brick veneer at drive thru window section. Existing Windows to remain.

Should you have any addition questions regarding the exterior façade upgrades please don't hesitate to call or email us.

Sincerely,

*Robert Zappulla*

Robert Zappulla, Architect  
AKA Studio, P.C.  
1725 Windward Concourse, Suite 350  
Alpharetta, GA 30005  
770-642-9030 Office  
[rzappulla@akastudiopc.com](mailto:rzappulla@akastudiopc.com)



R-2224	
DATE	RELEASE
08.10.22	CLIENT REVIEW
CHECKED BY: SP/CY	
DRAWN BY: NT/ND	

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**3** EXISTING FRONT ELEVATION  
A-6.0 NTS



**4** EXISTING REAR ELEVATION  
A-6.0 NTS

**ELEVATION NOTES**

- G.C. TO CLEAR ROOF OF ANY STANDING WATER AND DEBRIS. G.C. TO CLEAN/CLEAR ALL ROOF DRAINS AND DOWNSPOUTS.
- REMOVE EXISTING SECURITY CAMERAS, AND RELOCATE PER OWNER'S DIRECTION (G.C. TO VERIFY WITH OWNER'S REPRESENTATIVE).
- ADA NOTE: SIGNAGE AND PROTRUDING OBJECTS MAY NOT ENCROACH ON ANY ACCESSIBLE PATH OF TRAVEL.
- ALL DIMENSIONS SHOWN ON EXTERIOR ELEVATIONS ARE FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL.
- REFER TO SHEET A3.1 FOR EXTERIOR FINISH SCHEDULE.
- GC TO CLEAN AND REPAIR ALL SALVAGED CANOPIES AND STOREFRONTS AS REQUIRED FOR APPEARANCE OF NEW AND PROVIDE NEW SEALANTS AND JOINTS AT ALL DISSIMILAR MATERIALS. SEALANTS AND JOINTS TO MATCH ADJACENT EIFS/MASONRY/NICHHA AS REQUIRED, TYPICAL.

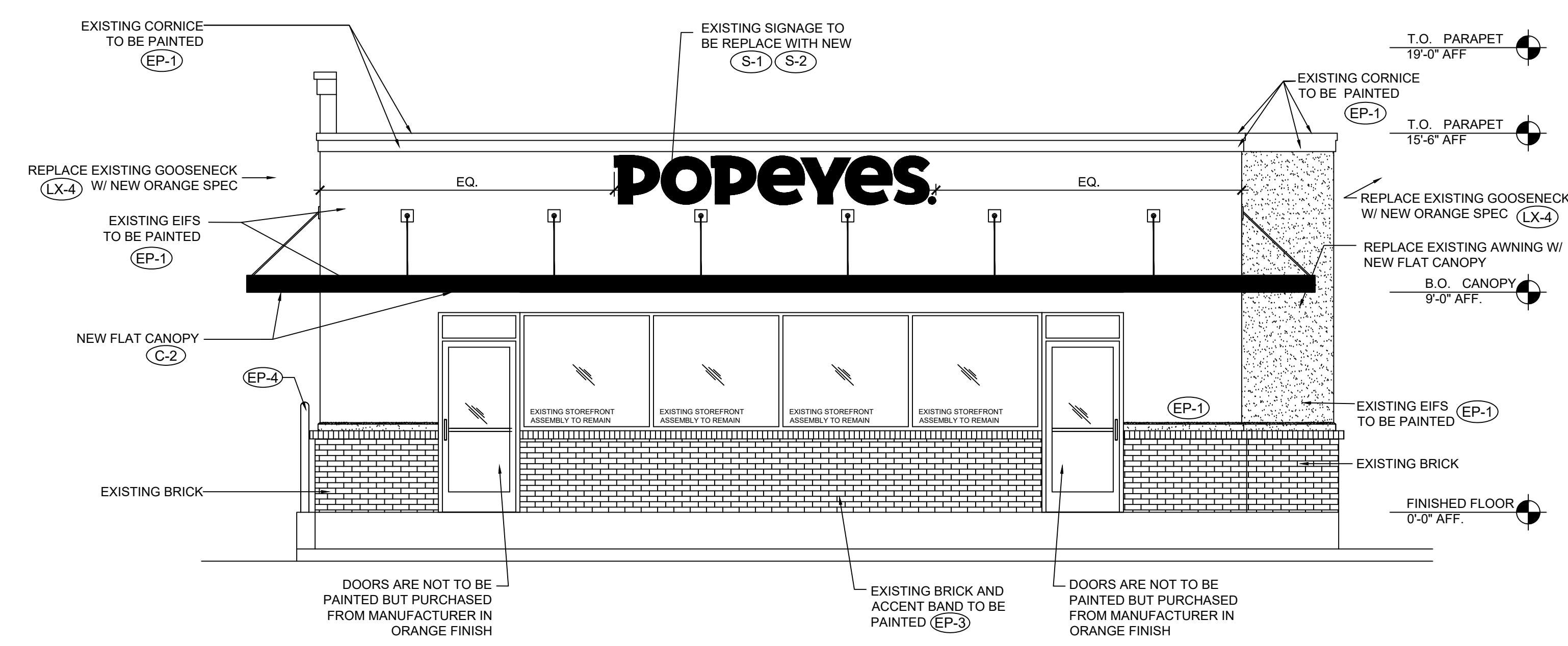
**GENERAL NOTES:**

GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION

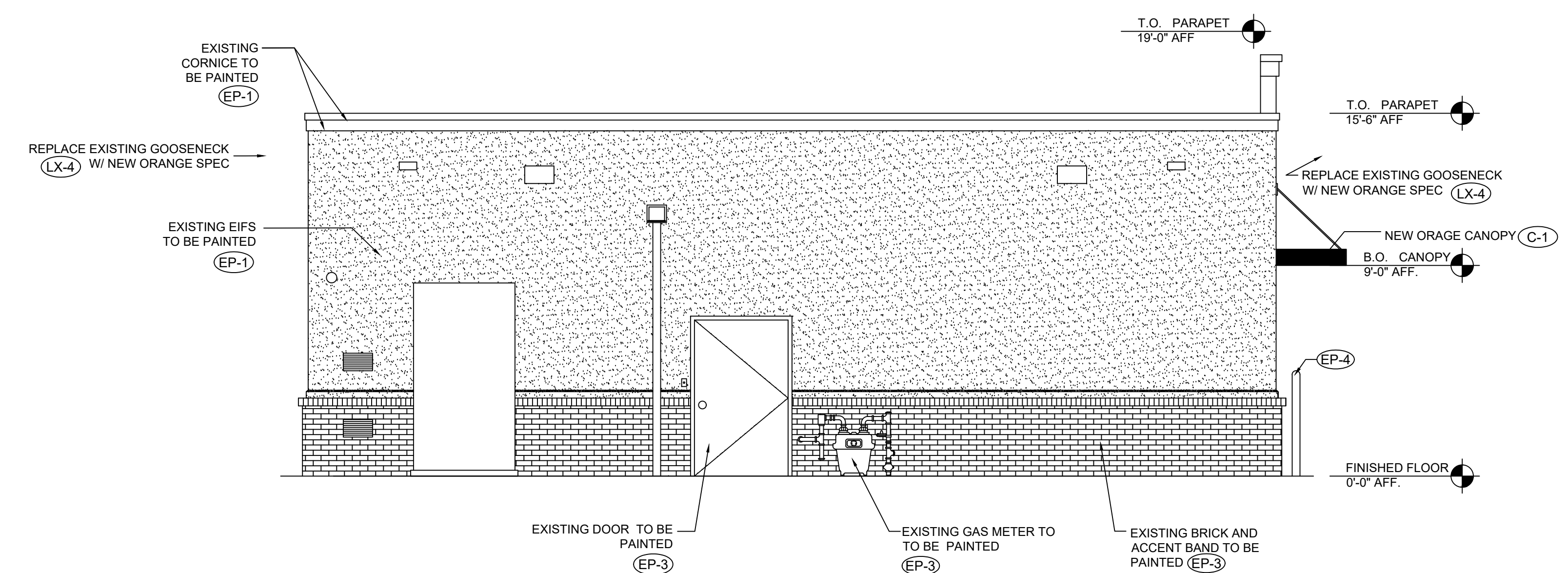
ANY EXTERIOR PLYWOOD EXPOSED DURING DEMOLITION/CONSTRUCTION TO BE EVALUATED AND REPLACED WITH SIMILAR. G.C. TO PROVIDE A UNIT PRICE FOR REPLACEMENT OF DAMAGED SHEATHING IN BID.

**NOTE TO CANOPY PROVIDER**

IT IS IMPORTANT TO INSURE THAT THE ACTUAL DIMENSIONS OF THE FLAT CANOPIES SHOULD CONSIDER THE THICKNESS OF ADJACENT SURFACES AFTER FIELD MEASUREMENT PRIOR TO CANOPY CONSTRUCTION.



**1** FRONT ELEVATION  
A-6.0 1/4"=1'-0"



**2** REAR ELEVATION  
A-6.0 1/4"=1'-0"

DRAWINGS FOR:  
HASAN MASTER  
BARENBANU, INC.  
955 EAST SPRING STREET,  
MONROE, GA 30655

POPEYES

**AKA**  
STUDIO, PC  
Architects & Interiors  
945 WILDE RUN COURT ROSWELL, GA 30075  
(770) 642-9030 info@akastudiopc.com

955 E SPRING ST  
MONROE, GA 30655

**POPEYES**  
RESTAURANT

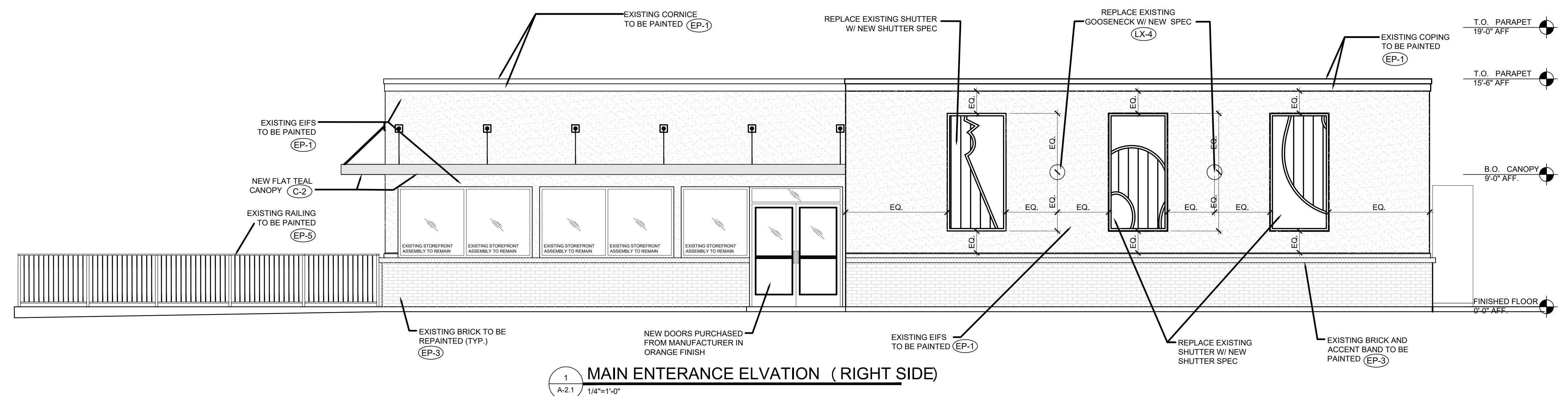
FRONT AND REAR ELEVATIONS

A6.0



R-2224	
DATE	RELEASE
08.10.22	CLIENT REVIEW
CHECKED BY:	SP/CY
DRAWN BY:	NT/ND

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Job Name: **POPEYE'S- MASTER** TYPE: **WORKBOOK**

Catalog #: **BAS-CB12/41SP-WMX/41LED12W/XXK120-277V**

LED: 12.25"  
12"  
12"  
12"

MODEL: 052  
FROST: 01  
SPECIAL: 18  
MATERIAL: Aluminum/Alc  
PACKAGING: 50/20/30 - 1000 Watt w/ LED CHOP  
LAMPING: LED/2700K - 13 Watt LED, CCT 2700  
DIMENSIONS: 12.25"  
CERTIFICATION: UL/ULC, None Listed

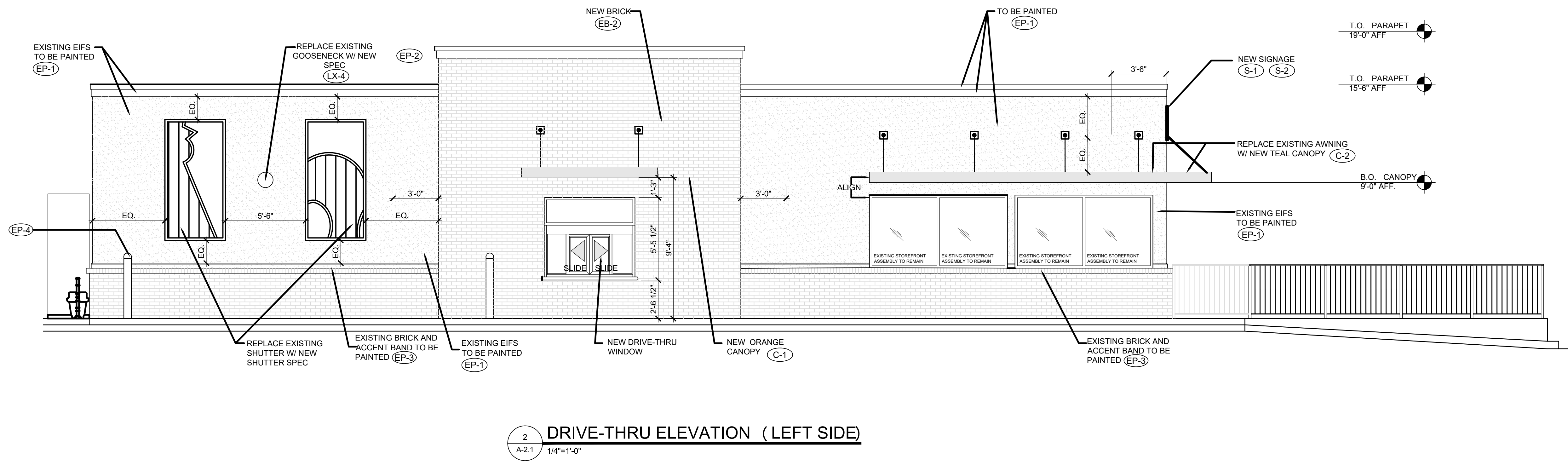
**BAREILITE CORPORATION**  
1136 EAST 2ND AVE  
COLUMBIA, GA 31501  
877-266-9967  
www.bareilite.com  
POPEYE'S  
© 2015 BAREILITE



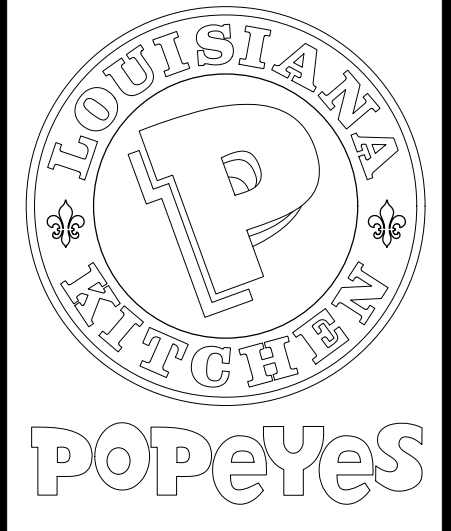
4 EXISTING MAIN ENTRANCE ELVATION  
A-2.1



3 EXISTING DRIVE-THRU ELEVATION  
A-2.1



DRAWINGS FOR:  
**HASAN MASTER**  
**BARENBANU, INC.**  
955 EAST SPRING STREET,  
MONROE, GA 30655



**AKA**  
**STUDIO, PC**  
Architects & Interiors  
945 WILDE RUN COURT ROSWELL, GA 30075  
(770) 642-9030 info@akastudiopc.com

PROJ: R-2224  
DATE: XX.XX.22  
955 E. SPRING ST  
MONROE, GA 30655

POPEYES  
RESTAURANT

LEFT AND RIGHT ELEVATIONS

A-2.1



P: 770.423.9575 F: 770.423.9402  
 811 PICKENS INDUSTRIAL DR MARIETTA, GA 30062

**PRE-CONSTRUCTION PLANS**

PLANS ARE PRODUCED FROM ARCHITECTURAL DRAWINGS/ SITE SURVEY  
 RECEIVED: 07.19.2022

**DISCLOSURE OF COMPENSATION FOR PROFESSIONAL SERVICE:**

INTERIOR DESIGN DOCUMENTS WHICH ARE PREPARED BY A REGISTERED INTERIOR DESIGNER SHALL CONTAIN A STATEMENT THAT THESE DOCUMENTS ARE NOT AN ARCHITECTURAL OR ENGINEERING STUDY, DRAWING, SPECIFICATION, OR DESIGN AND ARE NOT TO BE USED FOR CONSTRUCTION OF ANY LOAD BEARING COLUMNS, LOAD BEARING FRAMING OR WALLS OF STRUCTURES, OR ISSUANCE OF ANY BUILDING PERMIT, EXCEPT AS OTHERWISE PROVIDED BY LAW.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF CASABLANCA DESIGN GROUP AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF C.D.G. WRITTEN DIMENSIONS ON THESE DWG'S. SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**POPEYES RESTAURANT**

**MONROE, GA**

955 E. SPRING ST

NATIONAL STORE #: P#10878

CDG JOB #: 220253

STORE TYPE: REMODEL

PACKAGE: NOLA MAKERS

ACCOUNT MANAGER: MARK WIRZ (770) 778-1426

DESIGNER OF RECORD: EHW

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ID-12	DECOR SCHEDULE
ID-13	BUILDING FINISH SCHEDULE
ID-14	BUILDING FINISH SCHEDULE

**PRELIMINARY - NOT FOR CONSTRUCTION**



P: 770.423.9575 F: 770.423.9402  
 811 PICKENS INDUSTRIAL DR MARIETTA, GA 30062

**POPEYES RESTAURANT**  
 MONROE, GA P#10878  
 955 E. SPRING ST  
 220253 : NOLA MAKERS  
 EHW

SHEET TITLE  
 COVER SHEET

SHEET  
**ID-01**



# GENERAL NOTES

## CONSTRUCTION

- DO NOT SCALE OFF PLANS. CALL CASABLANCA DESIGN GROUP FOR ADDITIONAL DIMENSIONS (770) 423-9575
- THE GC SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY CDG OF ALL DISCREPANCIES PRIOR TO STARTING WORK.
- GC IS TO REVIEW CDG'S PLANS AGAINST THE ARCHITECTURAL DRAWING SET THEY ARE USING ON SITE. GC SHALL NOTIFY CDG IMMEDIATELY IF THEY NOTICE DISCREPANCIES, OR IF THE DATE ON THEIR ARCHITECTURAL PLANS DOES NOT MATCH THE DATE NOTED ON COVER PAGE OF WHICH CDG RECEIVED ARCHITECTURAL PLANS USED TO CREATE THIS DRAWING SET.
- DIMENSIONS MARKED "GC TO VERIFY" MUST BE VERIFIED, AND THE MEASUREMENTS COMMUNICATED TO CDG, PRIOR TO CDG COMPLETING FABRICATION OF DECOR. FAILURE TO COMMUNICATE VERIFIED DIMENSIONS TO CDG COULD RESULT IN A DELAY OF DECOR FABRICATION, AND POSSIBLE DELAY OF SHIPMENT. COST INCURRED DUE TO DELAY WILL BE AT CONTRACTOR'S EXPENSE.
- DIMENSIONS MARKED AS "HOLD" ARE CRITICAL! DO NOT CHANGE. CHANGES OR CORRECTIONS IN THESE DIMENSIONS WILL BE MADE AT THE CONTRACTOR'S OR OWNER'S EXPENSE.
- ALL DIVIDER WALL ANGLES ARE 45°, 90°, OR 135° UNLESS OTHERWISE SPECIFIED
- GC TO LOCATE THERMOSTATS AND SENSORS SO AS NOT TO INTERFERE WITH DECOR
- GC TO REFER TO ELEVATIONS FOR WALL HEIGHTS
- GC TO REFER TO ELEVATIONS FOR TYPICAL WALL FINISHES
- WALL DIMENSIONS NOTED ON PLANS REPRESENT FINISHED WALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE GC TO ACCOUNT FOR ACTUAL FINISH THICKNESS WHEN FRAMING
- WOOD BLOCKING IS REQUIRED IN WALLS FOR MOUNTING OF ALL DECOR, CABINETS AND METAL COUNTER SUPPORTS

## FINISH SPECIFICATION & ORDERING OF MATERIALS

- GC TO ORDER BY COMPLETE SPECIFICATION, INCLUDING SERIES, ITEM NUMBER AND COLOR. ANY DISCREPANCIES SHOULD BE COMMUNICATED TO CDG IMMEDIATELY.
- LONG LEAD TIME ITEMS ARE NOTED ON PLANS BY CDG. IT IS THE RESPONSIBILITY OF THE GC TO ALLOW FOR ADDITIONAL TIME WHEN ORDERING THESE ITEMS. CDG WILL NOT BE RESPONSIBLE FOR COSTS ASSOCIATED WITH PROJECT DELAYS, EXPEDITING FEES, OR RE-SELECTIONS WHEN GC DOES NOT ACCOUNT FOR LONG LEAD TIME.
- GC MUST NOTIFY CDG IF ALTERNATE FINISH SELECTION IS REQUIRED DUE TO BACK ORDER OF MATERIAL. GC MUST ALLOW APPROPRIATE TIME FOR CDG TO RESELECT AND RECEIVE OWNER'S APPROVAL OF CHANGE PRIOR TO ORDERING ALTERNATE SELECTIONS.
- CHANGES TO FINISHES AS REQUESTED BY OWNER AFTER MATERIALS ARE ORDERED MAY RESULT IN OWNER ASSUMING RESTOCKING FEES OR OTHER ADDITIONAL COSTS ASSOCIATED WITH A RE-SELECTION

## TILE

### WALL TILE

- ALL OUTSIDE CORNERS OF TILE WALLS TO RECEIVE EDGE PROTECTION PER TRIM SCHEDULE ITEM #TR-3L. #TR-3L TRIM IS ALSO LOCATED WHERE TILE CHANGES TO WALL VINYL OR PAINT. IT IS THE GC'S RESPONSIBILITY TO ORDER THE CORRECT SIZE SCHLUTER TRIM SYSTEM FOR INSTALLATION.
- GC TO ORDER OUTSIDE CORNERS AND CONNECTORS AS REQUIRED FOR INSTALLATION OF TRIM SYSTEM AND CHAIR RAIL.
- TILE PATTERNS ARE SHOWN ON ELEVATIONS FOR REPRESENTATION OF INSTALLATION PATTERN ONLY. DO NOT SCALE.
- WHERE APPLICABLE, GC TO INSURE WALL TILE SPECIFIED IN RESTROOMS AND FOOD SERVICE/PREP AREAS MEETS LOCAL HEALTH CODE REQUIREMENTS
- RECOMMENDED GROUT JOINT, CONDITIONS PERMITTING, IS  $\frac{1}{8}$ "

### FLOOR TILE & BASE TILE INSTALLATION

- RECOMMENDED GROUT JOINT, SLAB PERMITTING, IS  $\frac{1}{8}$ "
- BASE TILE TO BE LOCATED AS REQUIRED PER ELEVATIONS
- BASE TILE IN KITCHEN MUST MATCH FLOOR FINISH SPECIFICATION FOR KITCHEN TILE (NOT INCLUDED IN DECOR SCOPE)
- IT IS THE RESPONSIBILITY OF THE GC TO ACCOUNT FOR VARIANCE IN TILE THICKNESS TO INSURE A FLUSH FLOOR TILE INSTALLATION
- IF COVE BASE TILE IS USED, GC MUST INSTALL COVE BASE TO BE FLUSH WITH FLOOR TILE
- APPLICATION OF GROUT SEALER IS MANDATORY FOR THE GC
- POST INSTALLATION: GC IS RESPONSIBLE TO INSURE APPLICATION OF A POST

INSTALLATION CLEANER SUCH AS EW DETERDEK CLEANING SOLUTION ON ALL FLOOR TILE APPLICATIONS TO INSURE PORCELAIN TILE IS CLEANED PROPERLY AFTER INSTALLATION TO AVOID GROUT AND/OR THIN SET REMANENCE THAT MAY ATTRACT DIRT AND DEBRIS. CONTACT JAN DETER, 714-309-9551, TO ORDER.

## CEILING

- GC MUST COORDINATE ALL EXISTING HVAC REGISTERS/GRILLS/RETURNS WITH NEW CEILING PLAN. IF EXISTING ITEMS INTERFERE WITH NEW CEILING PLAN, GC SHALL ADJUST ACCORDINGLY OR CONTACT CDG AT 770-423-9575 TO DISCUSS OPTIONS.
- GC TO INSURE CEILING TILES IN KITCHEN AND BEVERAGE BAR AREA MEET LOCAL HEALTH CODE REQUIREMENT. HVAC UNITS MUST BE PAINTED TO MATCH CEILING WHERE THEY ARE INSTALLED. ALL CEILING TILE SHOULD BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- CDG RECOMMENDS ORDERING ADDITIONAL STOCK OF COLORED CEILING TILES FOR FUTURE REPLACEMENT/REPAIRS TO INSURE COLOR MATCH
- WOOD BLOCKING IS REQUIRED TO INSTALL CEILING DECOR
- DECOR UNITS SUSPENDED FROM CEILING MUST BE IN CONFORMANCE WITH LOCAL CODE AND SHALL BE THE RESPONSIBILITY OF THE GC TO SUPPORT AS REQUIRED.
- SPRINKLERS ARE NOT INCLUDED ON RCP. IF REQUIRED, IT IS THE GC'S RESPONSIBILITY TO CONFIRM RCP AS SHOWN WORKS WITH SPRINKLER LAYOUT.

## ELECTRICAL

- ALL ELECTRICAL OUTLETS ARE LOCATED 18" A.F.F. UNLESS NOTED OTHERWISE
- TAMPER RESISTANT GFI RECEPTACLES ARE TO BE LOCATED 22-24" A.F.F. UNLESS NOTED OTHERWISE.
- ALL POWER/DATA TO COME FROM CEILING UNLESS NOTED OTHERWISE. IF APPLICABLE, ELECTRICAL REQUIREMENTS AND FINAL OUTLET LOCATION GAME UNITS SHOULD BE COORDINATED WITH MANUFACTURER TO INSURE CORRECT INSTALLATION OF GAME UNIT.
- ALL ELECTRICAL FIXTURES, WIRING AND INSTALLATION TO BE UL APPROVED. PENDANTS ARE TO BE CENTERED OVER TABLE TOP ONCE FINAL INSTALLATION OF SEATING IS COMPLETE.

## DECORATIVE LIGHTING

- CDG PROVIDES NOTIFICATION WHEN LIGHTING SELECTIONS HAVE A POTENTIAL LONG LEAD TIME. IT IS THE RESPONSIBILITY OF THE GC TO ALLOW FOR ADDITIONAL TIME WHEN ORDERING THESE ITEMS. CDG WILL NOT BE RESPONSIBLE FOR COSTS ASSOCIATED WITH PROJECT DELAYS, EXPEDITING FEES, OR RESELECTIONS WHEN GC DOES NOT ACCOUNT FOR LONG LEAD TIME ITEMS

## INSTALLATION

- GC IS TO INSPECT CDG PRODUCT UPON DELIVERY. NOTICE OF DAMAGE MUST BE GIVEN WITHIN 24 HOURS OF DELIVERY. ANY DAMAGE NOTED AFTER THIS TIME PERIOD WILL BECOME THE RESPONSIBILITY OF THE GC AND WILL BE REPAIRED OR REPLACED AT GC'S EXPENSE.
- GC IS RESPONSIBLE TO PROTECT PRODUCT DURING AND AFTER INSTALLATION. CDG WILL NOT BE RESPONSIBLE FOR PRODUCT REPLACEMENT DUE TO MISUSE BY OTHERS DURING AND/OR AFTER INSTALLATION.
- CDG DOES NOT PROVIDE HYDRAULIC CEMENT FOR CORE-DRILLED METAL. IT IS THE GC'S RESPONSIBILITY TO SUPPLY.
- CDG PROVIDES TEMPLATES FOR ALL CORE-DRILLED DIVIDER WALLS SUPPLIED BY CDG. GC TO LOCATE TEMPLATE LOCATION PER DIMENSIONS SHOWN ON CORE DRILL PLAN.
- GC TO REFER TO INSTALLATION PAGES INCLUDED IN FINAL DRAWING SET FOR CORRECT INSTALLATION OF CORE-DRILLED METALWORK.
- GC IS RESPONSIBLE TO INSURE APPROPRIATE INSTALLATION OF METALWORK AS REQUIRED FOR TABLE TOPS DESIGNATED AS ADA COMPLIANT.
- TEMPLATES FOR ANY INSET DECOR CAN BE PROVIDED UPON REQUEST BY THE GC. UNISTRUT IS NOT PROVIDED FOR CEILING DECOR ELEMENTS. GC MUST COORDINATE INSTALLATION OF ALL CEILING DECOR TO MEET LOCAL CODE REQUIREMENTS

## LAMINATE PANELING PROVIDED BY CDG

- GC MUST INSTALL MARLITE PANELING PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. WARRANTY IS VOID IF GC DOES NOT INSTALL PER THESE INSTRUCTIONS
- PANELING CANNOT BE INSTALLED OVER DRYWALL. GC MUST PREPARE WALL WHERE PANELING IS TO BE APPLIED WITH PLYWOOD SUBSTRATE TO PROVIDE SECURE MOUNTING SUBSTRATE FOR MOLDING INSTALLATION. CDG WILL NOT WARRANTY ANY PANELING NOT INSTALLED ON PLYWOOD

## SUBSTRATE

- CDG DOES NOT PROVIDE ADHESIVE FOR PANELING INSTALLATION. GC TO SUPPLY
- CDG RECOMMENDS THE USE OF TITEBOND ADVANCED POLYMER PANEL ADHESIVE. GC TO FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.
- GC IS TO VERIFY PANELING AND MOLDING QUANTITY AS LISTED ON DECOR SCHEDULE BY CDG AND NOTIFY CDG IMMEDIATELY OF DISCREPANCIES PRIOR TO STARTING WORK

## ABBREVIATIONS

ADJ = ADJACENT  
 AFF = ABOVE FINISH FLOOR  
 ARCH = ARCHITECT  
 BD = BOARD  
 BLDG = BUILDING  
 BO = BOTTOM OF  
 CDG = CASABLANCA DESIGN GROUP  
 CL = CENTERLINE  
 CLG = CEILING  
 COL = COLUMN  
 CONT = CONTINUOUS  
 DIA = DIAMETER  
 DTL = DETAIL  
 DWG = DRAWING  
 ELEC = ELECTRICITY  
 EQ = EQUAL  
 EXIST = EXISTING  
 FIN = FINISH  
 FLR = FLOOR  
 FRP = FIBERGLASS REINFORCED PANEL  
 GC = GENERAL CONTRACTOR  
 GYP = GYPSUM  
 HGT = HEIGHT  
 ID = INSIDE DIAMETER  
 JB = JUNCTION BOX

LAM = LAMINATE  
 MAX = MAXIMUM  
 MIN = MINIMUM  
 MTG = MOUNTING  
 MTL = METAL  
 NIC = NOT IN CONTRACT  
 NTS = NOT TO SCALE  
 OAH = OVERALL HEIGHT  
 OC = ON CENTER  
 OD = OUTSIDE DIAMETER  
 OPP = OPPOSITE  
 PLYWD = PLYWOOD  
 PT = PAINT  
 RAD = RADIUS  
 REQD = REQUIRED  
 RO = ROUGH OPENING  
 SIM = SIMILAR  
 STD = STANDARD  
 SUSP = SUSPENDED  
 TO = TOP OF  
 TYP = TYPICAL  
 UNO = UNLESS NOTED OTHERWISE  
 VIF = VERIFY IN FIELD  
 W/ = WITH  
 W/O = WITHOUT

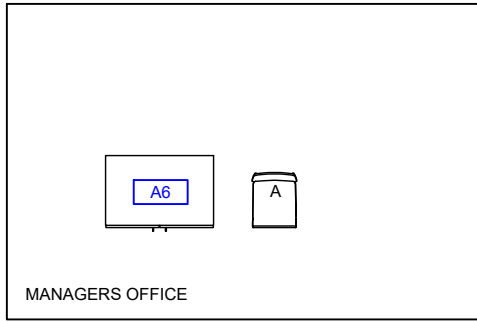
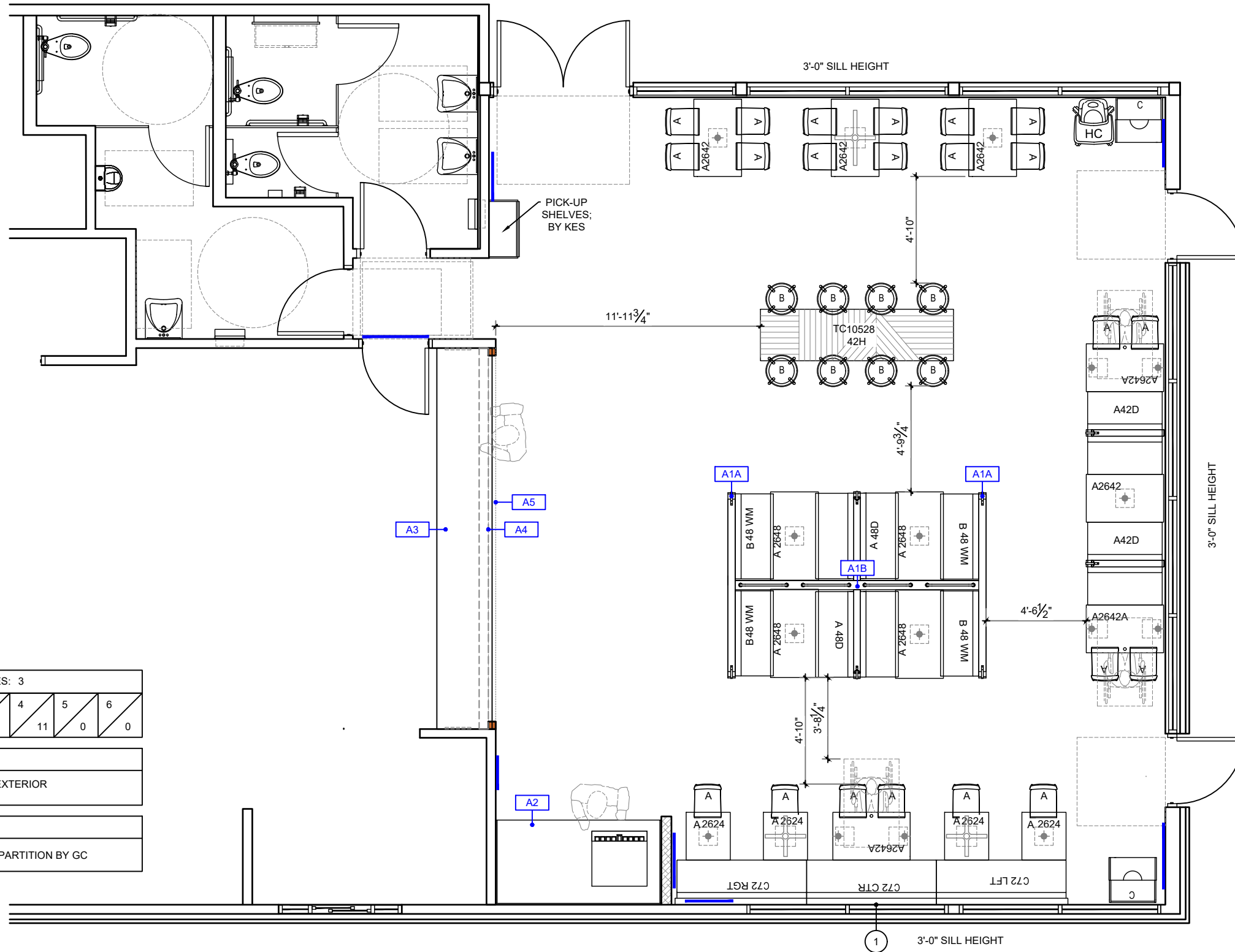


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**POPEYES RESTAURANT**  
 MONROE, GA P#10878  
 955 E. SPRING ST  
 220253 : NOLA MAKERS  
 EHW

SHEET TITLE  
**GENERAL NOTES**

SHEET  
**ID-02**



SEATING CAPACITY	60	REQUIRED ADA TABLES: 3						
SEAT TO TABLE RATIO	3.5	1	2	3	4	5	6	
TABLE TOP BREAKDOWN	17	8	4	0	11	0	0	

**KEY NOTES**

1 FINISHED BACK OF BOOTH WALL WILL BE VISIBLE FROM EXTERIOR

**PARTITION TYPES**

INDICATES NEW FULL-HEIGHT PARTITION BY GC

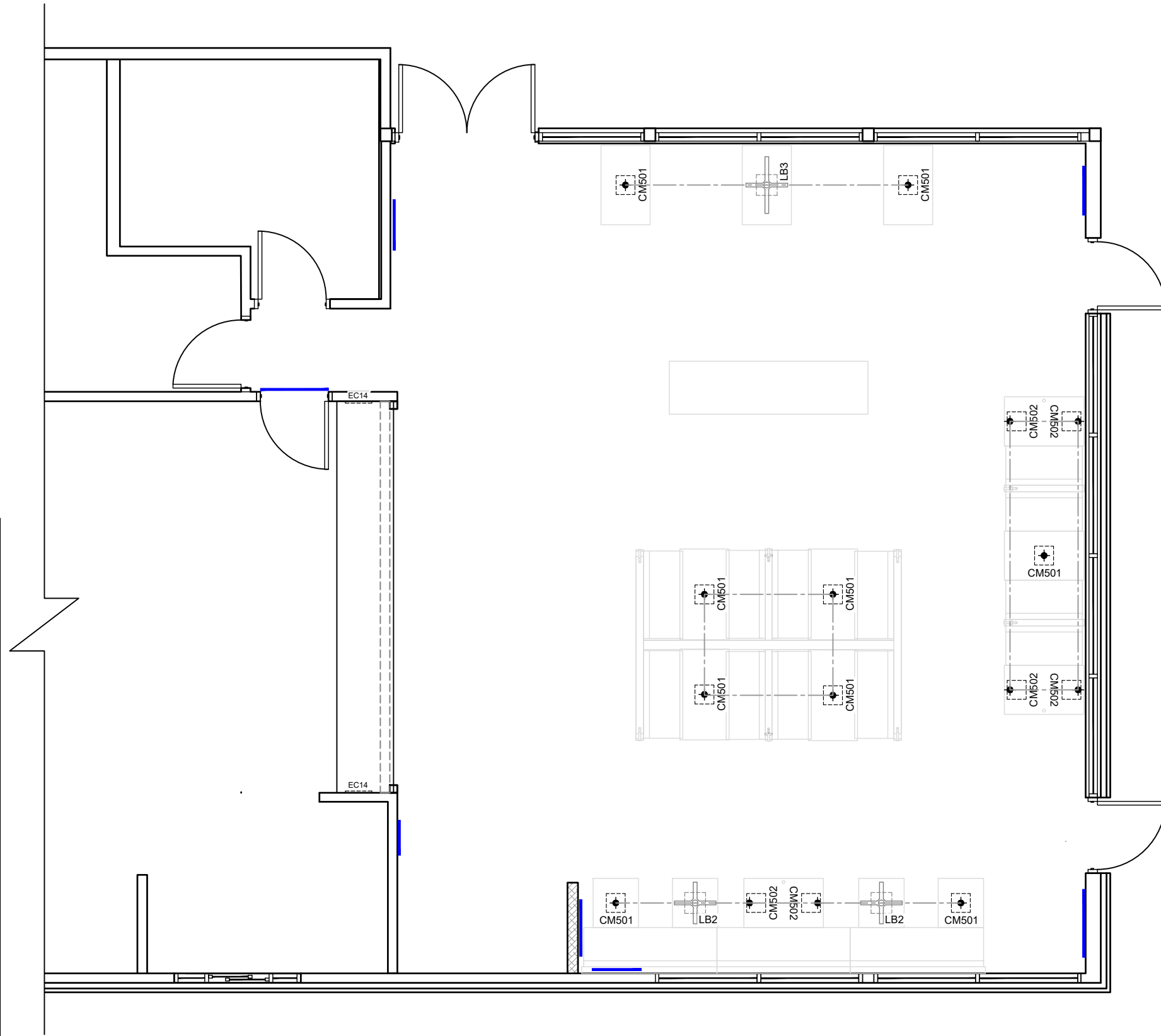
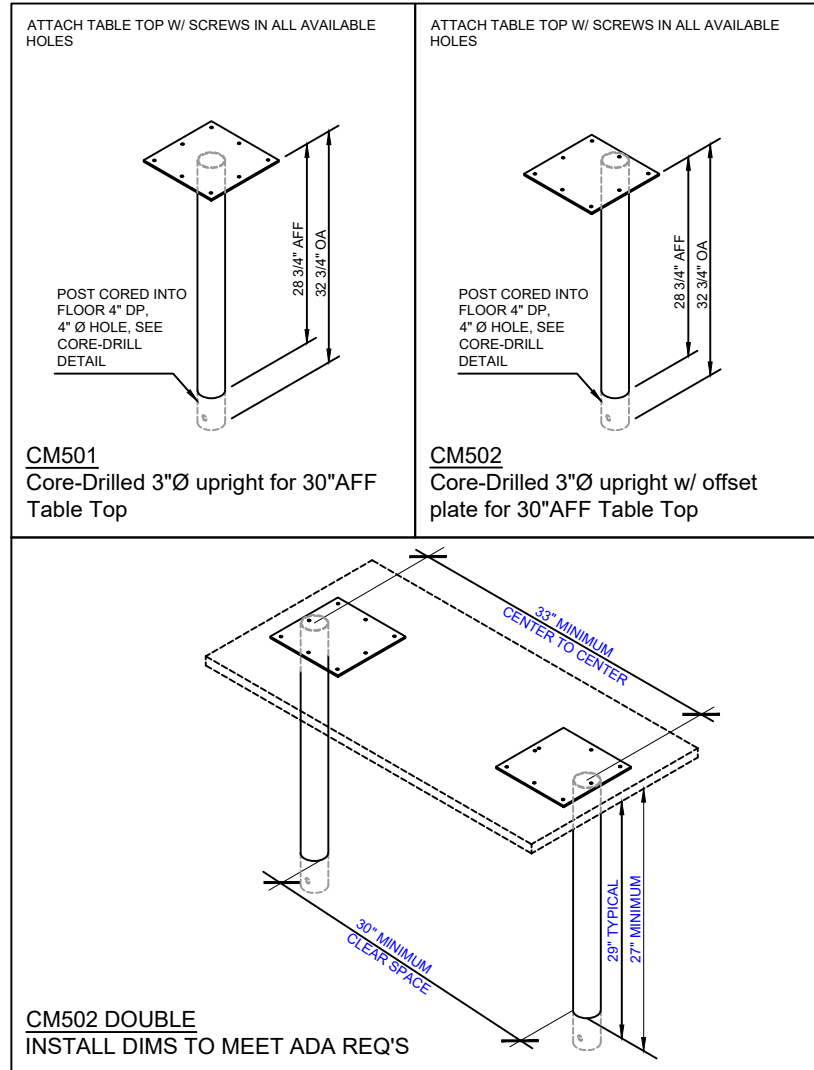
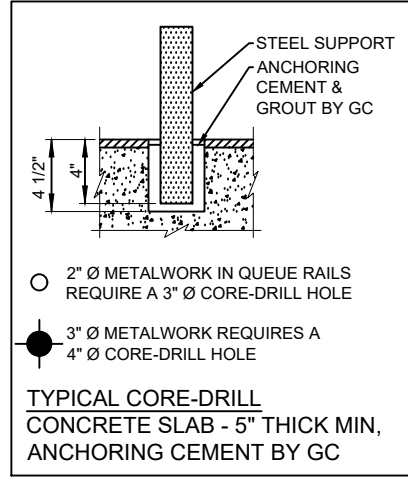
**1 FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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EHW

SHEET TITLE  
FLOOR PLAN

SHEET  
**ID-03**



1 CORE DRILL PLAN  
SCALE: 3/16" = 1'-0"

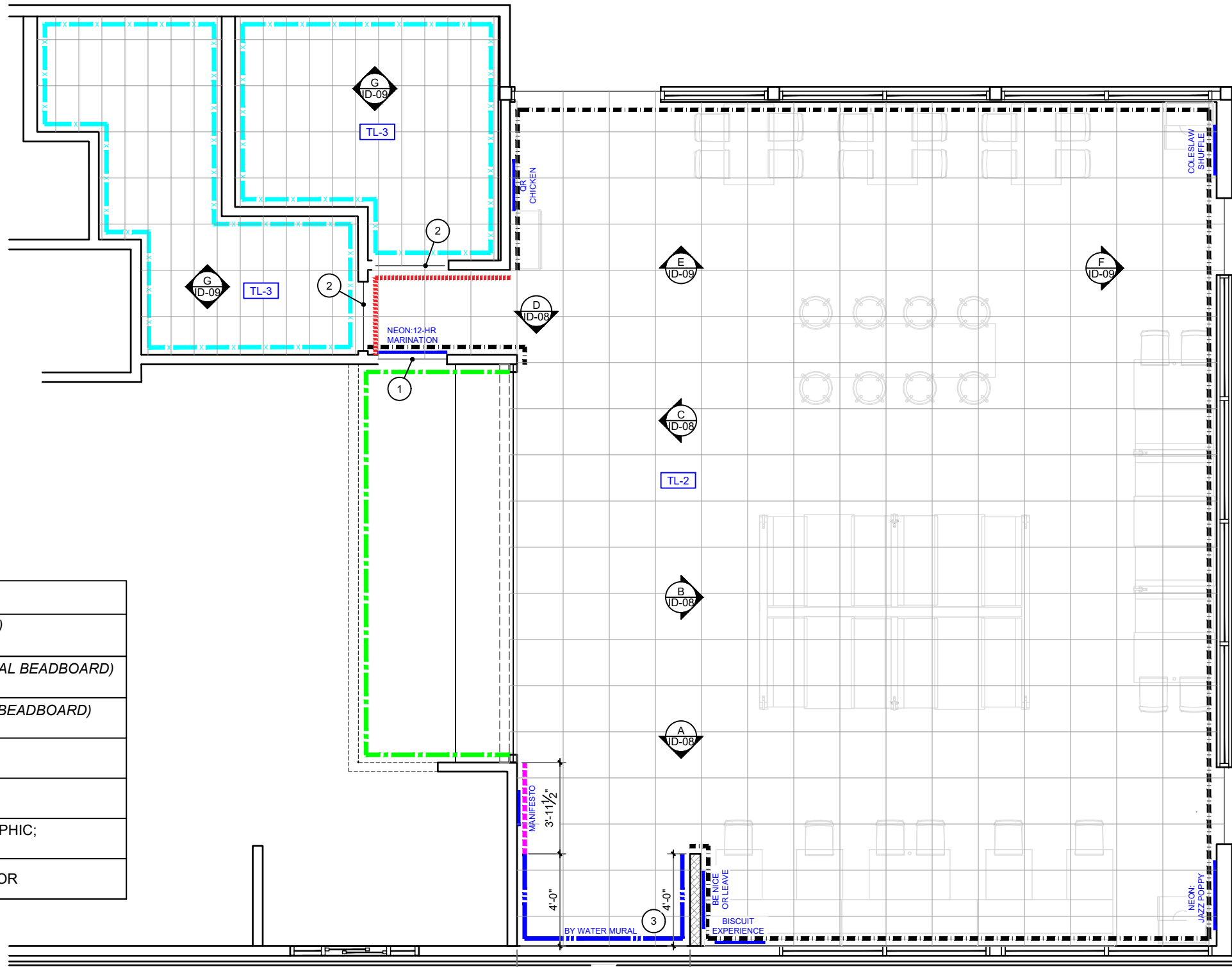
**NOTE: FOR CORE-DRILL COUNTS ONLY, DIMENSIONS ARE FORTHCOMING**

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SHEET TITLE  
CORE DRILL  
PLAN & DETAILS

SHEET  
ID-04

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WALL FINISH KEY	
	BR-1R WITH PT-1 (WHITE) TL-1 BASE
	F1 WITH PT-1 (HORIZONTAL BEADBOARD) TL-1 BASE
	F1 WITH PT-1 (VERTICAL BEADBOARD) TL-1 BASE
	TL-4
	PT-4 ABOVE TL-3 TL-1 BASE
	BEVERAGE CENTER GRAPHIC; BY OTHERS
	LOCATION OF WALL DECOR

KEY NOTES	
1	TRANSITION TO KITCHEN FLOOR TILE HERE
2	TRANSITION TO RESTROOM FLOOR TILE HERE
3	BY WATER MURAL INSTALLATION TO BE FULL HEIGHT OF NOTED WALLS; FROM TOP OF BASE TILE TO CEILING

**WALL PREP FOR BYWATER MURAL:**  
 THE BYWATER MURAL IS A 3M PRESSURE SENSITIVE VINYL  
 IN ORDER TO AVOID GRAPHIC FAILURE THE FOLLOWING WALL PREPARATION IS REQUIRED

- Beverage Wall & Returns need to be finished to a Smooth, Dust Free (Level 5) Finish
- Wall will need to be Primed & 2-coats of Semi-Gloss Paint applied at least 5 DAYS Prior to Vinyl Application.
- PLEASE NOTE: The Low VOC Paints used today MUST allow for Off-gassing prior to vinyl application or the vinyl will fail.

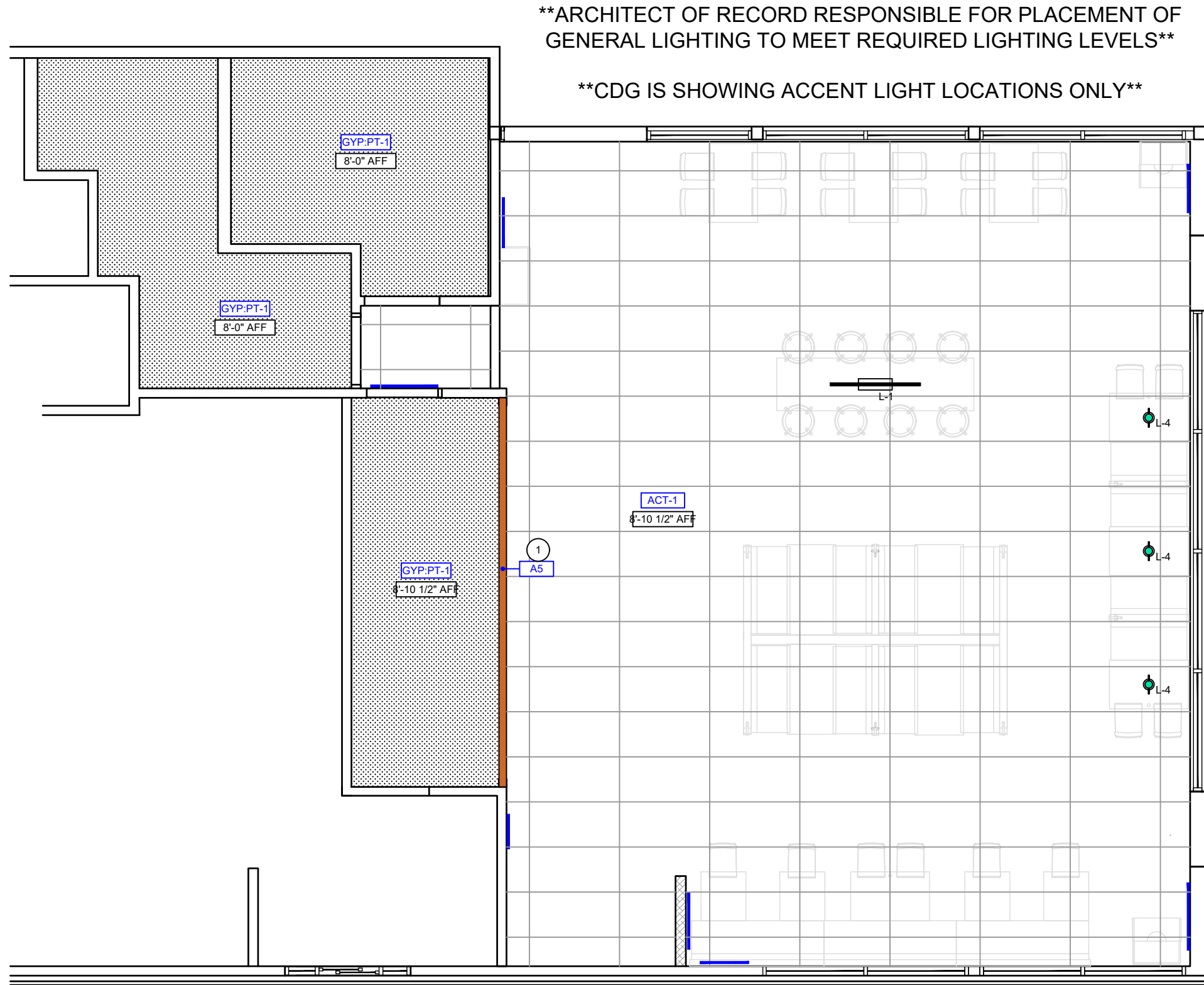
**1 FINISH PLAN**  
 SCALE: 3/16" = 1'-0"

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SHEET TITLE  
**FINISH PLAN**  
 SHEET  
**ID-05**





**GENERAL NOTES**

1. GC TO COORDINATE HVAC DIFFUSERS AND GENERAL LIGHTING ON ARCHITECTURAL DWGS WITH LIGHTING PLAN SHOWN. GC TO NOTIFY CDG IF PENDANT / CLG DECOR LOCATIONS INTERFERE WITH INSTALLATION.
2. ALL PENDANTS TO BE CENTERED OVER TABLE TOPS BELOW UNO @ 6'-6" AFF

**1 REFLECTED CEILING PLAN**  
SCALE: 3/16" = 1'-0"

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SHEET TITLE  
**REFLECTED CEILING PLAN**

SHEET  
**ID-06**



# INTERIOR LIGHTING - **PROVIDED BY GC**

## REFER TO ID-06 FOR LOCATIONS & QTY

### POPEYES LOUISIANA KITCHEN - LIGHTING

#### INTERIOR ACCENT LIGHTING FIXTURE SCHEDULE

11/15/2021

#### INTERIOR FIXTURES

TYPE	LOCATION	CATALOG NUMBER	COLOR TEMP	WATTAGE/VOLTAGE	VENDOR 1	VENDOR 2
L-1	COMMUNITY TABLE	MODEL: SP-VDL48 FINISH: Oak MATERIAL: Oak/Acrylic MOUNTING 2xSP-CC - Two 6' Low Voltage Aircraft Cables CERTIFICATION: UL/cUL	9.12W(WARM WHITE)	LAMPING LED18 W35 K- 18 Watt LED, CCT 3500K DIMMING 0-10V VOLTAGE 120-277V		
L-2	FAMILY NOOK	Model: H-PP18SHD8CP Finish: Orange (Shade), 11-Satin Steel (Stem & Canopy, Opal (Globe)	1-MEDIUM BASE INC	100W		
L-3	CENTER BOOTHS	MODEL: H-CS14GRL FINISH: DARK ORANGE, 91-BLACK & CPAL	2-MEDIUM BASE INC	2-100W		
L-4	PERIMETER WALL BOOTHS & FREESTANDING TABLES	MODEL: PPC10 FINISH: RAL5018 ACCESSORIES: CB6-6" Opal Ball MATERIAL: Aluminum/Acrylic MOUNTING ST48/LSTC-48"x1/4" Stem, Stem Length TBD CERTIFICATION: UL/cUL	LED 2700K	LAMPING LED12W35K-12 Watt LED, CCT 3500K DIMMING 0-10V VOLTAGE 120-277V	HERMITAGE WYATT CULVER (o) 615-843-3379 (c) 615-585-5727 wculver@gohemitage.com	COMMERCIAL LIGHTING Kaz Halcovich (c) 760-831-9764 Kaz@Commercial-Lighting.net
L-5	VESTIBULE SCOCNE	Model: H-HLPP82A3Y044L Finish: custom color orange 4000 lumens Color temp: LED2, 3500K Wattage: 38W		100W		
L-6	DINING FRONT SERVICE COUNTER & RESTROOM CEILING	Model: LD6IC-AT-DIMTR-120 Dimensions: 6" Diameter.	Color: White Low Voltage 0-10 Volt Dimming			
L-7	T-BAR GENERAL LIGHTING	Recessed Mounted Model: SCX-4FT-40W-50K-D Dimension: 4FT	Voltage: 120V Color Temp: 5000K	100W		

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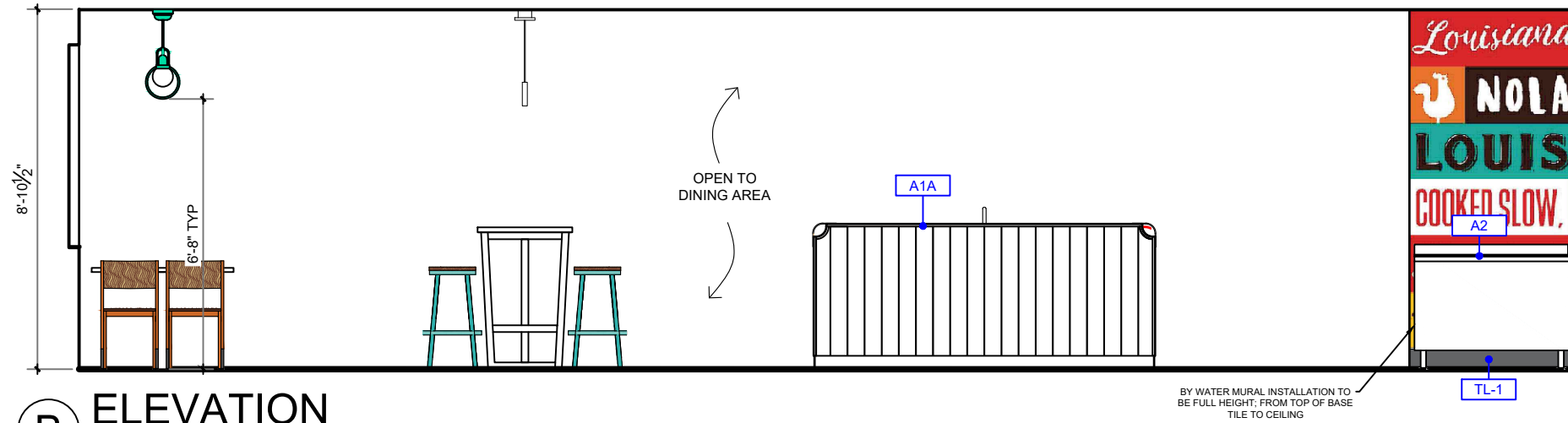
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 EHW

SHEET TITLE  
**LIGHTING SCHEDULE**

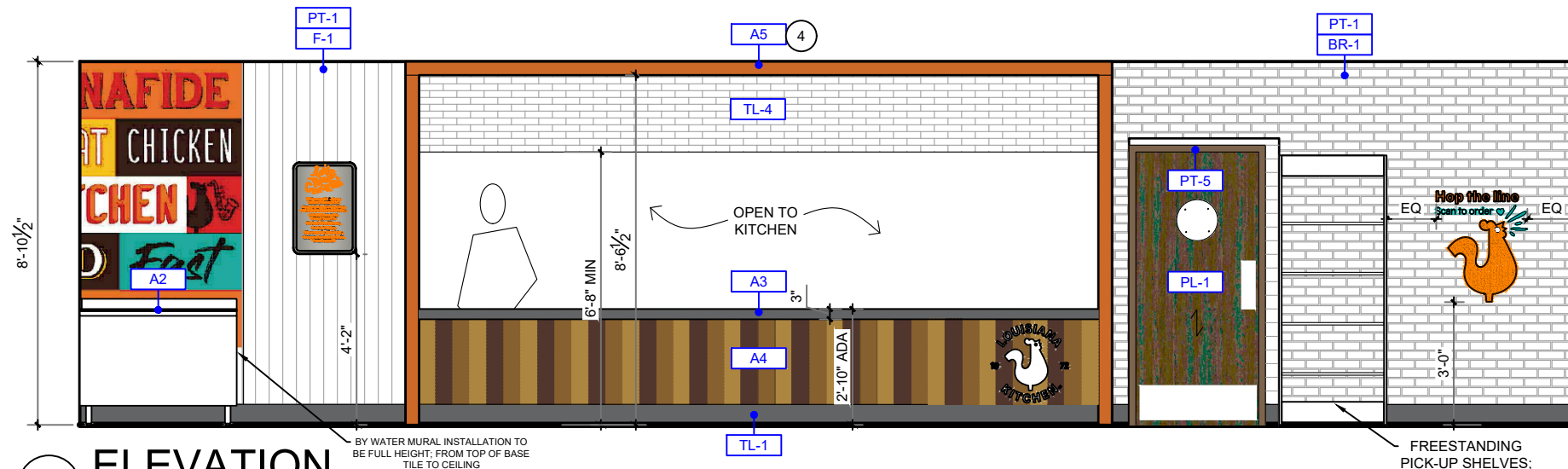
SHEET  
**ID-07**



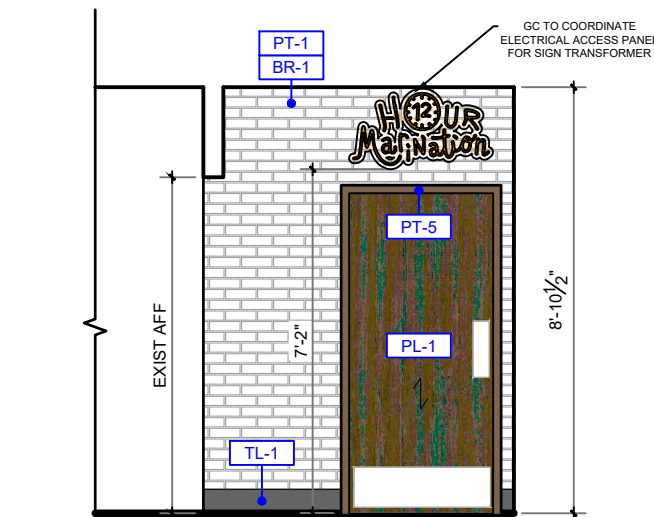
**A** ELEVATION  
SCALE: 1/4" = 1'-0"



**B** ELEVATION  
SCALE: 1/4" = 1'-0"



**C** ELEVATION  
SCALE: 1/4" = 1'-0"



**D** ELEVATION  
SCALE: 1/4" = 1'-0"

- KEY NOTES**
- 1 FINISHED BACK OF BOOTH WALL SHALL BE VISIBLE FROM EXTERIOR
  - 2 GC TO NOTCH METAL FRAME IN FIELD
  - 3 GC WRAP FINISHES BACK
  - 4 GC TO PROVIDE EXTRA WOOD BLOCKING IN CEILING/WALL FOR DECOR

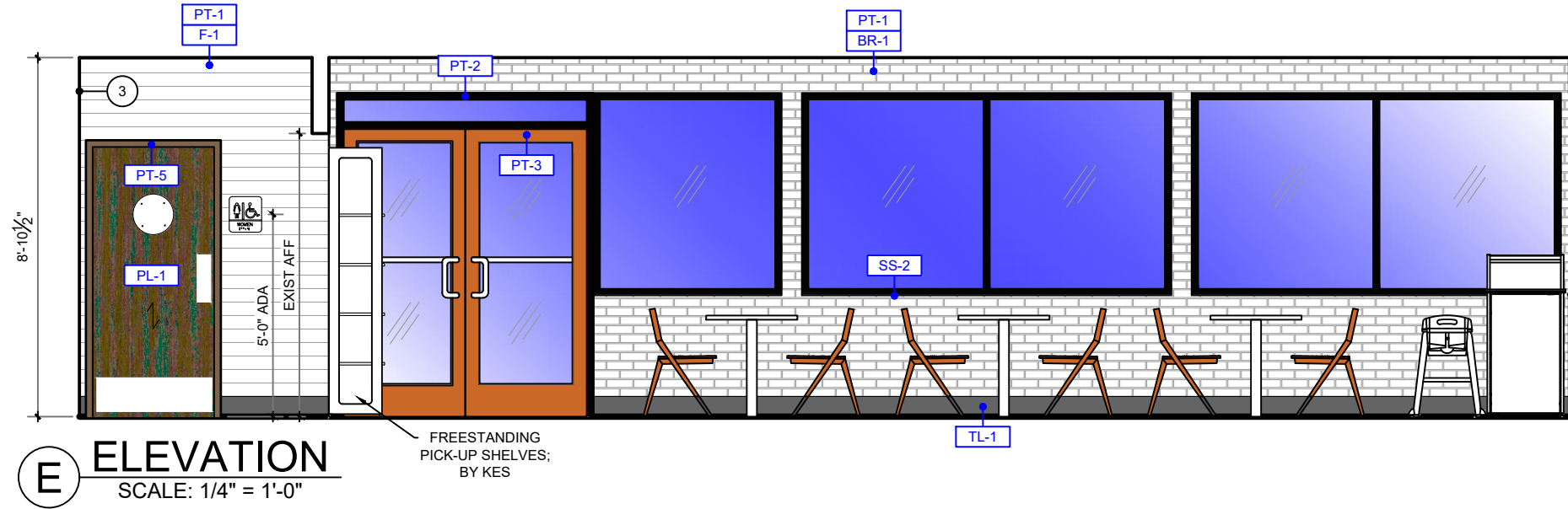
- GENERAL NOTES**
1. PATTERNS ARE SHOWN ON ELEVATIONS FOR REPRESENTATION OF INSTALLATION PATTERN ONLY; DO NOT SCALE
  2. PREFERRED GROUT JOINT WIDTH FOR WALL TILE IS 1/8"
  3. CEILING HEIGHTS ARE SHOWN ON ARCHITECTURAL PLANS
  4. GRAPHICS ARE CENTERED HORIZONTALLY ON WALLS, UNO

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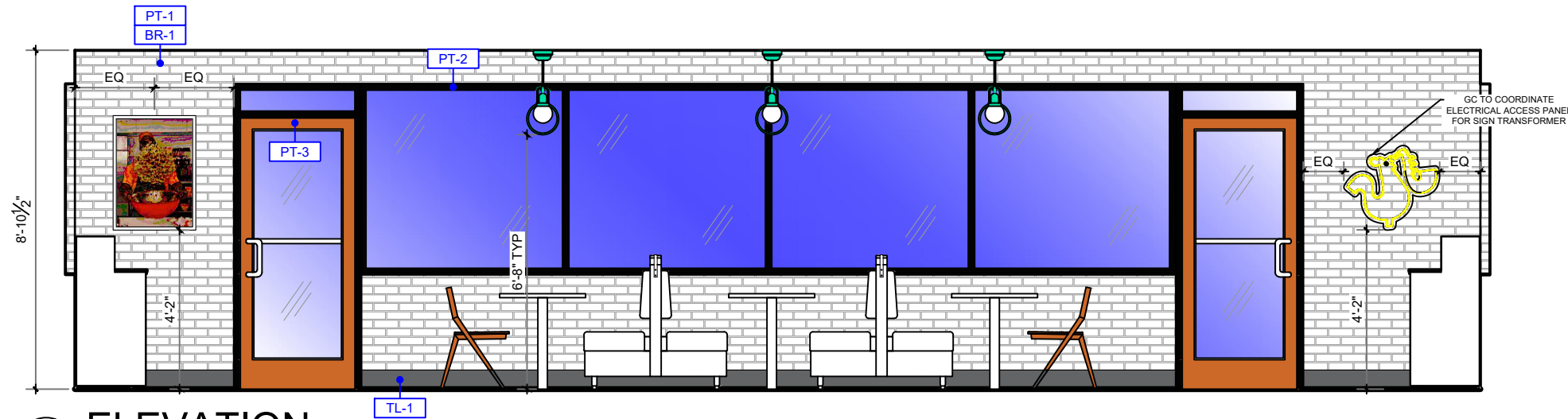
**POPEYES RESTAURANT**  
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SHEET TITLE  
**ELEVATIONS**

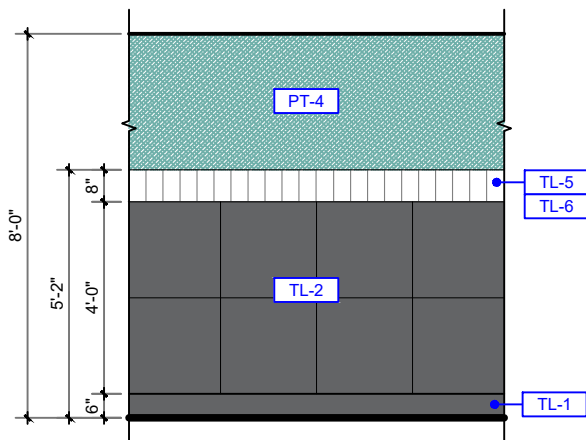
SHEET  
**ID-08**



**E ELEVATION**  
SCALE: 1/4" = 1'-0"



**F ELEVATION**  
SCALE: 1/4" = 1'-0"



**G RESTROOM ELEVATION**  
SCALE: 1/4" = 1'-0"

- KEY NOTES**
- 1 FINISHED BACK OF BOOTH WALL SHALL BE VISIBLE FROM EXTERIOR
  - 2 GC TO NOTCH METAL FRAME IN FIELD
  - 3 GC WRAP FINISHES BACK
  - 4 GC TO PROVIDE EXTRA WOOD BLOCKING IN CEILING/WALL FOR DECOR

- GENERAL NOTES**
1. PATTERNS ARE SHOWN ON ELEVATIONS FOR REPRESENTATION OF INSTALLATION PATTERN ONLY; DO NOT SCALE
  2. PREFERRED GROUT JOINT WIDTH FOR WALL TILE IS 1/8"
  3. CEILING HEIGHTS ARE SHOWN ON ARCHITECTURAL PLANS
  4. GRAPHICS ARE CENTERED HORIZONTALLY ON WALLS, UNO

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SHEET TITLE  
**ELEVATIONS**

SHEET  
**ID-09**



# INTERIOR WALL DECOR & GRAPHICS - PROVIDED BY CDG - REFER TO ID-05 FOR LOCATIONS

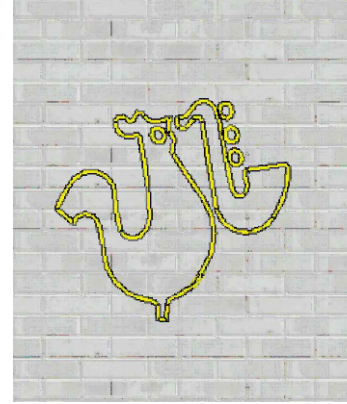
"HOP THE LINE"  
QR CHICKEN



MANIFESTO



NEON: POPPY



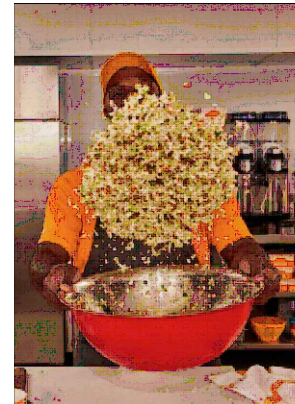
NEON: 12 HR MARINATION



"BE NICE OR LEAVE"



COLESLAW SHUFFLE



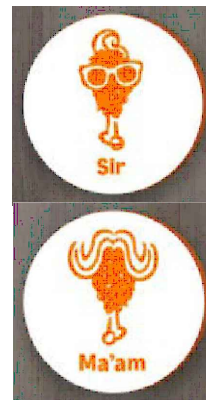
BISCUIT EXPERIENCE



BY WATER MURAL - 15'-6" W x 8'-4 1/2" H



RESTROOM DOOR SIGNS



JAZZ POSTERS



GRAPHIC SCHEDULE		
QTY	ITEM #	DESCRIPTION/ PRODUCT NAME
1	CDG-ART-000254	QR CHICKEN - "HOP THE LINE"
1	CDG-ART-000222	RR DOOR SIGN SET 12" DIA. EACH; POP-R-AF-10
1	CDG-ART-000206	BLACK FRAMED JAZZ POSTER - "DANCE" 11" X 13"; POP-R-AF-06D
1	CDG-ART-000207	BLACK FRAMED JAZZ POSTER - "POPPY" 11" X 13"; POP-R-AF-06D
1	CDG-ART-000208	MANIFESTO ON ALUMINUM TRAY 18" x 26"
137 SF	CDG-MURAL-220253	"BY WATER MURAL" VINYL GRAPHIC 15'-6" x 8'-4 1/2" H
1	CDG-ART-000211	LED NEON "12-HR MARINATION" 36" X 20"; POP-D-AF-NE-12HR
1	CDG-ART-000214	SMALL LED NEON "CHICKEN SAX" 30" X 27"; POP-D-AF-NE-CHICK
1	CDG-ART-000228	WHITE OAK ART - "BE NICE OR LEAVE" 30" x 36"; POP-D-AF-BNICE
1	CDG-ART-000212	BLONDE FRAMED "COLESLAW SHUFFLE" 25.75" X 35.75"; POP-D-AF-01
1	CDG-ART-000221	BLONDE FRAMED "BISCUIT EXPERIENCE" 25.75" X 35.75"; POP-D-AD-04

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FURNITURE & DECOR (ALL ITEMS BY CDG UNO)						
CATEGORY	TAG	QTY	ITEM #	DESCRIPTION/ PRODUCT NAME	FINISHES	COMMENTS
BOOTHS	A 42 D	2	BS-PP200-42D-0001	NOLA 42" DOUBLE BOOTH & WALL; W/ STAINLESS STEEL LEGS, 2 FINISHED ENDS & 1 CORNER STRAP	UP-01 BACK PAD: TRI-KES; SULLIVAN, #UHN-SU-14 SPICED CIDER UP-02 SEAT: TRI-KES; SULLIVAN, #UHN-SU-01 PAVESTONE WD-02 WALL CAP & SEAT FRAME: WHITE OAK (LIGHT) WD-03 WALL: WHITE OAK W/ "V" GROVE (MEDIUM) MT-01 HANDLE: STAINLESS STEEL LEGS: 4"H ADJUSTABLE STAINLESS STEEL	
	A 48 D	2	BS-PP200-48D-0001	NOLA 48" DOUBLE BOOTH & WALL; W/ STAINLESS STEEL LEGS, 2 FINISHED ENDS & 1 CORNER STRAP	UP-01 BACK PAD: TRI-KES; SULLIVAN, #UHN-SU-14 SPICED CIDER UP-02 SEAT: TRI-KES; SULLIVAN, #UHN-SU-01 PAVESTONE WD-02 WALL CAP & SEAT FRAME: WHITE OAK (LIGHT) WD-03 WALL: WHITE OAK W/ "V" GROVE (MEDIUM) MT-01 HANDLE: STAINLESS STEEL LEGS: 4"H ADJUSTABLE STAINLESS STEEL	
	B 48 WM	4	BS-PP211-48WM-0001	NOLA 48" WALL MOUNTED BOOTH W/ 2 FINISHED ENDS & STAINLESS STEEL LEGS	UP-01 BACK PAD: TRI-KES; SULLIVAN, #UHN-SU-14 SPICED CIDER UP-02 SEAT: TRI-KES; SULLIVAN, #UHN-SU-01 PAVESTONE WD-02 WALL CAP & SEAT FRAME: WHITE OAK (LIGHT) WD-03 WALL: WHITE OAK W/ "V" GROVE (MEDIUM) MT-01 HANDLE: STAINLESS STEEL LEGS: 4"H ADJUSTABLE STAINLESS STEEL	
	C72LFT	1	BS-PP210-72-LFT-0001	NOLA 72" LEFT FINISHED END SETTEE W/ OAK CAP W/ STAINLESS STEEL LEGS	UP-01 BACK PAD: TRI-KES; SULLIVAN, #UHN-SU-14 SPICED CIDER UP-02 SEAT: TRI-KES; SULLIVAN, #UHN-SU-01 PAVESTONE WD-02 WALL CAP & SEAT FRAME: WHITE OAK (LIGHT) WD-03 WALL: WHITE OAK W/ "V" GROVE (MEDIUM) LEGS: 4"H ADJUSTABLE STAINLESS STEEL	
	C 72 RGT	1	BS-PP210-72-RGT-0001	NOLA 72" RIGHT FINISHED END SETTEE W/ OAK CAP W/ STAINLESS STEEL LEGS	UP-01 BACK PAD: TRI-KES; SULLIVAN, #UHN-SU-14 SPICED CIDER UP-02 SEAT: TRI-KES; SULLIVAN, #UHN-SU-01 PAVESTONE WD-02 WALL CAP & SEAT FRAME: WHITE OAK (LIGHT) WD-03 WALL: WHITE OAK W/ "V" GROVE (MEDIUM) LEGS: 4"H ADJUSTABLE STAINLESS STEEL	
	C 72 CTR	1	BS-PP210-72-CTR-0001	NOLA 72" CENTER SETTEE W/ OAK CAP; NO END PANELS & STAINLESS STEEL LEGS	UP-01 BACK PAD: TRI-KES; SULLIVAN, #UHN-SU-14 SPICED CIDER UP-02 SEAT: TRI-KES; SULLIVAN, #UHN-SU-01 PAVESTONE WD-02 WALL CAP & SEAT FRAME: WHITE OAK (LIGHT) WD-03 WALL: WHITE OAK W/ "V" GROVE (MEDIUM) LEGS: 4"H ADJUSTABLE STAINLESS STEEL	
TABLE TOPS	A 2624	4	TT-PP200-2624-LM576-BLK	26" x 24" POPEYES TABLE TOP	PL-1 TOP: ABORITE, #465 MOCHA MODERN CHERRY EDGEBAND: 2MM BLACK PVC	
	A 2642	4	TT-PP200-2642-LM576-BLK	26" x 42" POPEYES TABLE TOP	PL-1 TOP: ABORITE, #465 MOCHA MODERN CHERRY EDGEBAND: 2MM BLACK PVC	
	A 2642A	3	TT-PP200-2642A-LM576-BLK	26" x 42" POPEYES TABLE TOP W/ ADA LOGO	PL-1 TOP: ABORITE, #465 MOCHA MODERN CHERRY EDGEBAND: 2MM BLACK PVC	
	A 2648	4	TT-PP200-2648-LM576-BLK	26" x 48" POPEYES ADA TABLE TOP	PL-1 TOP: ABORITE, #465 MOCHA MODERN CHERRY EDGEBAND: 2MM BLACK PVC	
COMMUNITY TABLE	TC 10528	1	TC-PP201-105-NOE-0001	POPEYES 8-SEATER COMMUNITY TABLE (NO ELECTRICAL) 105" L X 28"W X 42"H	WD-01 FINISH: STAINED, RIFT CUT WHITE OAK WD-02 FRAME: FLAT BLACK WD-03 MT-03	
STEEL	CM501	9	CM501-PC508	CM-501 CD RD METAL; 30" AFF TABLE (32 3/4" OAH)	METAL: FLAT BLACK	
	CM502	6	CM502-PC508	CM-502 CD RD METAL W/ OFFSET PLATE; 30" AFF TABLE (32 3/4" OAH)	METAL: FLAT BLACK	
	LB2	2	ST-CB-LB2-22X22-BLACK	LB2 LOOSE METAL; 30" AFF TABLE (22"x22" BASE)	METAL: BLACK MINITEX	
	LB3	1	ST-CB-LB3-22X30-BLACK	LB3 LOOSE METAL; 30" AFF TABLE (22"x30" BASE)	METAL: BLACK MINITEX	
	EC14	2	ST-CB-EC14-PC508	14" METAL CTR END CLEAT; 16" DP & 23" DP COUNTERS	MF-2G FLAT BLACK	
	N/A	2	CDG-MT-000582	COUNTER SUPPORT LEG, NOLA	STAINLESS STEEL	

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**POPEYES RESTAURANT**  
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 EHW

SHEET TITLE  
**FURNITURE SCHEDULE**

SHEET  
**ID-11**

FURNITURE & DECOR (ALL ITEMS BY CDG UNO)						
CATEGORY	TAG	QTY	ITEM #	DESCRIPTION/ PRODUCT NAME	FINISHES	COMMENTS
CHAIRS	A	23	CDG-CH-000203	NOLA ORANGE FRAME CHAIR 31.9"H x 17" W x 22.5"D	LAMINATE SEAT & BACK: WILSONART; 10753-60 BAVARIAN BEECH METAL FRAME: POWDER COATED; PANTONE 151 C ORANGE	
	B	8	CDG-CH-000204	NOLA TEAL FRAME BARSTOOL 30" H ; SEAT DIA.13.75"	SEAT: SOLID BEECH WOOD METAL FRAME: POWDER COATED; PANTONE 326 C TEAL	
WASTE RECEPTACLE	C	2	WR-PP400-S-0003	POPEYES SINGLE BOTTOMLESS TRASH CABINET W/ TRAY TOWER 22.5"W X 48.5"H X 22"D	PL-1 SS-1	BODY & DOORS: ABORITE, MOCHA MODERN CHERRY TOP: LG SURFACES, G554 URBAN CONCRETE EDGE: BLACK PVC METAL BASE: FLAT BLACK
		1	CDG-WR-CB100	EXTRA TRASH LINER W/ CASTERS		
DÉCOR WALLS	A1A	2	DC-PP610-101-2FE-ST514	NOLA END DIVIDER WALL FOR "H" BOOTH; 101"L X 4"D X 43"H	WD-03 WD-02	WALL: WHITE OAK WD-03 (DARK) W/ "V" GROOVE WALL CAP: WHITE OAK, WD-02 (MEDIUM) BASE: BLACK VINYL, GC TO INSTALL IN FIELD
	A1B	1	DC-PP620-132-NoFE-ST514	NOLA CENTER H-WALL W/ NO FINISHED ENDS; 132" L X 5"D X 43" H	WD-03 WD-02	WALL: WHITE OAK WD-03 (DARK) W/ "V" GROOVE WALL CAP: WHITE OAK, WD-02 (MEDIUM) BASE: BLACK VINYL, GC TO INSTALL IN FIELD
		4	DC-PP630-30	STAINLESS STEEL RAILS		GC TO INSTALL A TOP DÉCOR WALL
		65'	CDG-DC-000515	LF BLK VINYL TOELESS 4"H (120'/BOX)		GC TO INSTALL IN FIELD
DRINK STATION	A2	1	DS-PP110-NOFE-90-0007	POPEYES DRINK STATION, FRONT APRON (NO F. ENDS) TRIMMABLE FROM 102" TO 90"L x 34"H x 46"D	PL-1 SS-1	BODY & DOORS: ABORITE, MOCHA MODERN CHERRY TOP & SPLASH: LG SURFACES, G554 URBAN CONCRETE EDGE: BLACK PVC METAL FRAME: BLACK MINITEX
		1	CPI-05091	DRINK STATION TOE KICK W/ CLIPS 102" L X 6" H X 5" D		FINISH: BLACK VINYL BASE
SERVICE COUNTER	A3	1	SV-PP100-NOFE-18-SS551	POPEYES SERVICE COUNTER W/ NO F.ENDS, LEFT & RIGHT SPLASHES, SOLID SURFACE UP TO 18' LG X 30" DP X 1.25"TH	SS-1	TOP: LG SURFACES, G554 URBAN CONCRETE GC TO BUILD SUPPORT WALL IN FIELD
	A4	4	DC-PP400-45	FSC WALL PANEL ASSEMBLY, 45"L X 26.75"H	WD-01 WD-02 WD-03	FINISH: STAINED WHITE OAK VENEER PANELS GC TO INSTALL AT SUPPORT WALL IN FIELD
		1	DC-PP401-45	FSC WALL PANEL ASSEMBLY W/ LOGO GRAPHIC, 45"L X 26.75"H	WD-01 WD-02 WD-03	FINISH: STAINED WHITE OAK VENEER PANELS W/ CHICKEN GRAPHIC GC TO INSTALL AT SUPPORT WALL IN FIELD
	A5	1	DC-PP433-240-PC532	4"x 4" FSC U-FRAME; ADJUSTABLE UP TO 240"W X 118"H		POWDER COAT: RAL 2003 PASTEL ORANGE
	1	CDG-FN-000035	TRU TOUCH TOUCH-UP PAINT			TO MATCH RAL 2003 PASTEL ORANGE GC TO TRIM & TOUCH-UP PAINT IN FIELD AS NEEDED
SOLID SURFACE TRIM	SS-2	72'	TR-CB200-3-SS551	SOLID SURFACE WINDOW SILL 1/2" X 3"W		LG SURFACES, G554 URBAN CONCRETE
		1	CDG-SOL-00108	SOLID SURFACE SEAM FILL	SS-1	FINISH TO MATCH: SS-1; LG G554 URBAN CONCRETE GC TO USE WITH SERVICE COUNTER, DRINK STATION AND/OR WINDOW SILL, TO SEAM IN FIELD
MISC.	A6	1	CPI-05690-MR7001T	WALL CAB 42"H X 36"W X 24"D; W/ DOOR, LOCKS, & ADJUSTABLE SHELVES		FINISH: NEVAMAR #MR7001T STUDIO WHITE MATRIX DOOR HANDLES: WIRE DOOR PULLS
	N/A	2	CDG-04838-1	50 LB. PAIL OF POR-ROK		

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SHEET TITLE  
**DECOR SCHEDULE**

SHEET  
**ID-12**



**2021 POPEYE'S FINISH SCHEDULE**  
 INTERIOR MATERIALS & FINISH SCHEDULE

11/1/2021	CODE	MATERIAL	LOCATION	SOURCE	PRODUCT	COLOR	DIMENSION	ADDITIONAL INFORMATION			
<b>CEILING</b>											
	ACT-1	ACOUSTIC CEILING TILE	DINING ROOM	ARMSTRONG	ULTIMA	WHITE FINISH: FINE TEXTURE GRID: 9/16" BEVELED REGULAR	24X48	CHERYL B SMITH (c): 252-214-4426 cbsmith@armstrongceilings.com			
	ACT-2	GYPSUM LAY-IN	KITCHEN	GOUSG INTERIORS	SHEETROCK BLAND CLIMAPLUS VINYL	3270 WHITE FINISH: SMOOTH	24X48X1/2				
<b>TILES</b>											
	TL-1	BASE TILE	WALL BASE	BEDROSIAN TILE	MODERNA	COLOR: GREY GROUT: LATICRETE #80 DUSTY GREY	6X24 24X24 12X24	Tamara Ramsey (c): 469-560-6133 popeyes@bedrosians.com			
	TL-2	TILE	DINING ROOM FLOOR AND RESTROOM WALLS								
	TL-3	TILE	RESTROOM FLOOR TILE								
	TL-4	WALL TILE	FRONT SERVICE COUNTER WALLS								
	TL-5	WALL TILE	RESTROOM WALLS BLANK SPACES FOR POPEYE'S LOGO ACCENT BAND								
	TL-6	WALL TILE	RESTROOM WALL ACCENT BAND								
	QT-1	QUARRY TILE	BACK OF HOUSE FLOORS								
	QT-2	QUARRY TILE BASE	BACK OF HOUSE BASE								
	TL-1	BASE TILE	WALL BASE			CREATIVE MATERIALS CORP	BUSINESS - SLATE 2.0		COLOR: MATTE GROUT: ULTRACOLOR PLUS IRON #107	6X24. THICKNESS: 10.5mm	CONTACT: popeyestile@creativematerialscorp.com 1.800.207.2967 Ext: 7797
	TL-2	TILE	DINING ROOM FLOOR AND RESTROOM WALLS								
	TL-3	TILE	RESTROOM FLOOR TILE								
	TL-4	WALL TILE	FRONT SERVICE COUNTER WALLS								
	TL-5	WALL TILE	RESTROOM WALLS BLANK SPACES FOR POPEYE'S LOGO ACCENT BAND								
	TL-6	WALL TILE	RESTROOM WALL ACCENT BAND								
	QT-1	QUARRY TILE	BACK OF HOUSE FLOORS								
	QT-2	QUARRY TILE BASE	BACK OF HOUSE BASE								
	TL-1	BASE TILE	WALL BASE	DAL TILE	REMEDY			COLOR: ASH GREY GROUT: MAIPB IRON #107	6X24 24X24 12X24	Alexandra Stefan (c): 305-477-8216 (c): 305-975-0689 E-Mail: alexandra.stefan@daltile.com	
	TL-2	TILE	DINING ROOM FLOOR AND RESTROOM WALLS								
	TL-3	TILE	RESTROOM FLOOR TILE								
	TL-4	WALL TILE	FRONT SERVICE COUNTER WALLS								
	TL-5	WALL TILE	RESTROOM WALLS BLANK SPACES FOR POPEYE'S LOGO ACCENT BAND								
	TL-6	WALL TILE	RESTROOM WALL ACCENT BAND								
	QT-1	QUARRY TILE	BACK OF HOUSE FLOORS								
	QT-2	QUARRY TILE BASE	BACK OF HOUSE BASE								
	TL-1	BASE TILE	WALL BASE			EMSER TILE	LOUISIANA	COLOR: SLATE ELEVATE GROUT: LATICRETE DUSTY GREY	6X24 24X24 12X24		"Christina Dunbar (c): 713-462-2411 popeyes@emser.com"
	TL-2	TILE	DINING ROOM FLOOR AND RESTROOM WALLS								
	TL-3	TILE	RESTROOM FLOOR TILE								
	TL-4	WALL TILE	FRONT SERVICE COUNTER WALLS								
	TL-5	WALL TILE	RESTROOM WALLS BLANK SPACES FOR POPEYE'S LOGO ACCENT BAND								
	TL-6	WALL TILE	RESTROOM WALL ACCENT BAND								
	QT-1	QUARRY TILE	BACK OF HOUSE FLOORS								
	QT-2	QUARRY TILE BASE	BACK OF HOUSE BASE								
	TL-1	BASE TILE	WALL BASE	SILIKAL	LOUISIANA			COLOR: OT03 ASHEN GRAY	6X6	GC	
	TL-2	TILE	DINING ROOM FLOOR AND RESTROOM WALLS								
	TL-3	TILE	RESTROOM FLOOR TILE								
	TL-4	WALL TILE	FRONT SERVICE COUNTER WALLS								
	TL-5	WALL TILE	RESTROOM WALLS BLANK SPACES FOR POPEYE'S LOGO ACCENT BAND								
	TL-6	WALL TILE	RESTROOM WALL ACCENT BAND								
	QT-1	QUARRY TILE	BACK OF HOUSE FLOORS								
	QT-2	QUARRY TILE BASE	BACK OF HOUSE BASE								
	E-1	ALTERNATE RESIN FLOOR	BACK OF HOUSE FLOORS			CREATIVE MATERIAL CORP	ACRYLIC RESIN	COLOR: QUARTZ BLEND #4 INTERGRAL COVE BASE			CONTACT: popeyestile@creativematerialscorp.com 1.800.207.2967 Ext: 7797
	WT-01	WALL TILE	DINING ROOM ACCENT WALLS					MOTIVATE	COLOR: WALNUT FINISH: NATURAL		

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SHEET TITLE  
**BUILDING FINISH SCHEDULE**

SHEET  
**ID-13**

**2021 POPEYE'S FINISH SCHEDULE**

INTERIOR MATERIALS & FINISH SCHEDULE

11/1/2021	CODE	MATERIAL	LOCATION	SOURCE	PRODUCT	COLOR	DIMENSION	ADDITIONAL INFORMATION
<b>WALL FINISHES AND PAINT</b>								
BR-1		THIN BRICK	DINING ROOM ACCENT WALLS	BEDROSIAN TILE	PAINT BRICK VELOUR FINISH	PAINT P-1	2X8	Tamara Ramsey (o): 469-560-6133 popeyes@bedrosians.com
		BRICK (CLIP SYSTEM)		NICHIHA FIBER CEMENT	VINTAGE BRICK AVMP 1818 WHITE WASH	FINISH: PAINT P-1	7 3/8" x 2 1/2" x 3/4"	CONTACT: MATT STEPHENSON M: 770.789.8228 popeyes@nichiha.com
				CREATIVE MATERIALS CORPORATION	THIN BRICK	814 VINTAGE BRICK FINISH: PAINT P-1	7-5/8" x 2-1/4"	CONTACT: popeyestile@creativematerialscorp.com 1.800.207.2967 Ext 7797
PT-1		PAINT	INTERIOR WALLS AND CEILING BEADBOARD/BRICK WALLS AND SOFFITS/CEILING	BENJAMIN MOORE	ULTRA SPEC 500 EGGSHELL	CC-068 DISTANT GRAY		CONTACT: RODGER LIPPMAN C: 848.702.0239 rodger.lippman@benjaminmoore.com
PT-2			DOOR FRAME			2133-20 BLACK JACK		
PT-3			ORANGE BRICK ACCENT WALL/ ENTRY DOOR			091 TANGERINE MELT		
PT-4			RESTROOM WALLS			CC-669 OCEANIC TEAL		
PT-5			RESTROOM DOOR FRAME			SEDCNA BROWN 1127		
PT-1			INTERIOR WALLS AND CEILING BEADBOARD/BRICK WALLS AND SOFFITS/CEILING	SHERWIN WILLIAMS	FROMAR 200 ZERO VOC EG-SHEL	SW 7551 GREEK VILLA		CONTACT: GLENN REMLER C: 954.547.1217 glenn.j.remler@sherwin.com
PT-2			DOOR FRAME			SW 6991 BLACK MAGIC		
PT-3			ORANGE BRICK ACCENT WALL/ ENTRY DOOR			SW 6886 INMIGRATE		
PT-4			RESTROOM WALLS			SW 0075 HOLIDAY TURQUOISE		
PT-5			RESTROOM DOOR FRAME			6103 TEA CHEST		
F-1		BEADBOARD	DINING ROOM ACCENT WALLS	NANTUCKET BEADBOARD	FINISH: PAINT P-1, BM: ULTRA SPEC 500 EGGSHELL or SW: FROMAR 200 ZERO VOC EG-SHEL	BM: CC-068 DISTANT GRAY or SW: 7551 GREEK VILLA	4" - CHANNEL BEAD 1/8" X 1/8"	PROVIDED BY GC
FL-1		RESTROOM DOOR FACES	INTERIOR DOOR LAMINATE	ARBORITE	STANDARD HPL	MOCHA MODERN CHERRY V465EV		PROVIDED BY GC
				SHERWIN WILLIAMS	SATIN MINWAX	439 WALNUT		Glenn Rember (c): 954-547-1217 glenn.j.remler@sherwin.com
W-1		FRP SHEET	KITCHEN WALLS	MARLITE	FRP SHEET	COLOR: P100 - WHITE FINISH: PEBBLE		PROVIDED BY GC
<b>SOLID SURFACES</b>								
SS-1		SOLID SURFACE	FRONT SERVICE COUNTER TOP	LG HAUSYS HI-MACS	G654 URBAN CONCRETE			PROVIDED BY SEATING VENDOR
SS-2		SOLID SURFACE	FOH WINDOW SILLS					

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