



Historic Preservation Commission

AGENDA

Tuesday, October 22, 2019

6:00 PM

215 N Broad Street, Monroe, GA 30655

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **MINUTES OF PREVIOUS MEETING**

[1.](#) Minutes of Previous Meeting - September 24, 2019

IV. **REQUESTS**

[1.](#) Request for COA for Fence - 700 East Church Street

[2.](#) Request for COA for New House - 231 East Marable Street

[3.](#) Request for COA for Signs - 123 North Lumpkin Street Ste C

V. **OLD BUSINESS**

VI. **NEW BUSINESS**

VII. **ADJOURNMENT**

Historic Preservation Commission
Meeting Minutes
September 24, 2019

Present: Crista Carrell, Mitch Alligood, Susan Brown, Marc Hammes

Absent: Fay Brassie

Staff: Debbie Adkinson, Code Department Assistant
Patrick Kelley, Director of Code & Development
Darrell Stone, Director of Planning & Development

Visitors: Stephanie Cannon, Dara Buczynsky

Meeting called to order at 6:00 P.M.

Chairman Alligood entertained a motion for approval of the minutes from August 27, 2019. Hammes made a motion to approve. Brown seconded. Motion Carried. Minutes approved.

The first item of business is an application for COA for petition # HP-000030-2019 at 133 S Broad St to make changes to the façade by removing the plywood over the front windows and replacing with glass windows, building a removable façade constructed from a smooth textured Hardie Board painted white with trim work details in black hand painted by a local artist, to add down lighting above the above the faux façade and to change the door to a vintage wooden door.

Chairman Alligood asked for a representative to speak.

The business owner, Dara Buczynsky spoke to the request. She stated she owns a store in Athens GA called Epiphany. She would like to open this location here because she feels this town is such a welcoming town. She asked Stephanie Cannon to speak to the façade changes. Stephanie explained the façade would be anchored to the building to withstand winds and keep it from falling. She stated the painting would be black and white.

Carrell asked if the commission needed to ask for specifics on lighting?

Kelley stated the goose neck lighting is acceptable. He stated the façade would need to be attached to withstand a 90-mph wind.

Chairman Alligood entertained a motion.

Brown made the motion to approve. Carrell seconded
Motion carried. COA Granted.

Old Business: None

New Business: None

Chairman Alligood entertained a motion to adjourn.

Hammes made a motion to adjourn. Motion Carried
Meeting Adjourned at 6:09 pm.



City of Monroe
 215 N. Broad Street
 Monroe, GA 30655
 (770)207-4674

Plan Report

Plan NO.: HP-000031-2019

Plan Type: Historic Preservation

Work Classification: Certificate of Appropriateness

Plan Status: In Review

Apply Date: 10/07/2019

Expiration:

Location Address

Parcel Number

700 E CHURCH ST, MONROE, GA 30655

M0170129

Contacts

ALCOVY BUILDERS INC
 PO BOX 1758, LOGANVILLE, GA 30052

Owner

KAY KINGAN
 601 Breedlove Dr APT 203, MONROE, GA 30655
 (919)272-4840

Applicant

kayvella@gmail.com

Description: REQUEST FOR COA TO ADD FENCING AROUND PROPERTY - HPC MTG
 10/22/19 @ 6:00 PM - 215 N BROAD ST

Valuation: \$0.00

Total Sq Feet: 0.00

Fees	Amount
Historic Preservation Request	\$10.00
Total:	\$10.00

Payments	Amt Paid
Total Fees	\$10.00
Cash	\$10.00
Amount Due:	\$0.00

Condition Name

Description

Comments

Issued By:

October 07, 2019

Date

Plan_Signature_1

Date

Plan_Signature_2

Date

Kay B. Kingan
700 E. Church St.

Please read the following directions for completing the Request for COA Application.

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the HPC to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the HPC's duties include taking into account the historic and architectural significance of the structure and maintaining maps showing the historic and architectural significance of structures in the Historic Districts.

In its review, the HPC shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positioning and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than seven (7) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A "material change in appearance" means a change that will affect either the exterior architectural or environmental features of a historic property or any structure, site, or work of art within a historic district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and
5. The erection, alteration, restoration, or removal of any building or other structure within a historic property or district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec. 8-4-2(f)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 8-4-2(b)].

“Exterior environmental features” means all those aspects of the landscape or the development of the site which affect the historical character of the property [Sec. 8-4-2(c)].

Ordinary maintenance or repair of any exterior architectural feature in or on a historic property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 8-4-81]

I acknowledge that I have read this material and will abide by the ordinances set forth.

Kay B. Kenyon
Signature of Applicant

10/10/2019
Date

Pls Note: Fence cannot be seen from road.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE HISTORIC PRESERVATION COMMISSION

Please read the Historic Preservation Ordinance (Code Sections 8-4-1 through 8-4-91). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 10/10/2019

APPLICANT: Kay B. Kingan

APPLICANT'S ADDRESS: 700 E. Church St., Monroe

TELEPHONE NUMBER: 919-272-4840

Builder's
PROPERTY OWNER: Alcouy Builders

OWNER'S ADDRESS: P.O. Box 1758, Loganville, GA 30052

TELEPHONE NUMBER: 770-527-7053

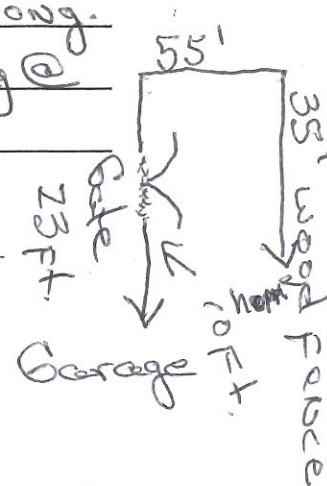
PROJECT ADDRESS: 700 E. Church St., Monroe, GA

Brief description of project: Proposing a 6' tall privacy fence crossing far back of property. Also, would like to build 6' tall privacy fence from back right corner of home 35' long. Build 4' tall Ornamental Alum fence starting @ 35' out from home, crossing 55' across.

(Continue on separate sheet, if necessary.)

Kay B. Kingan
Applicant

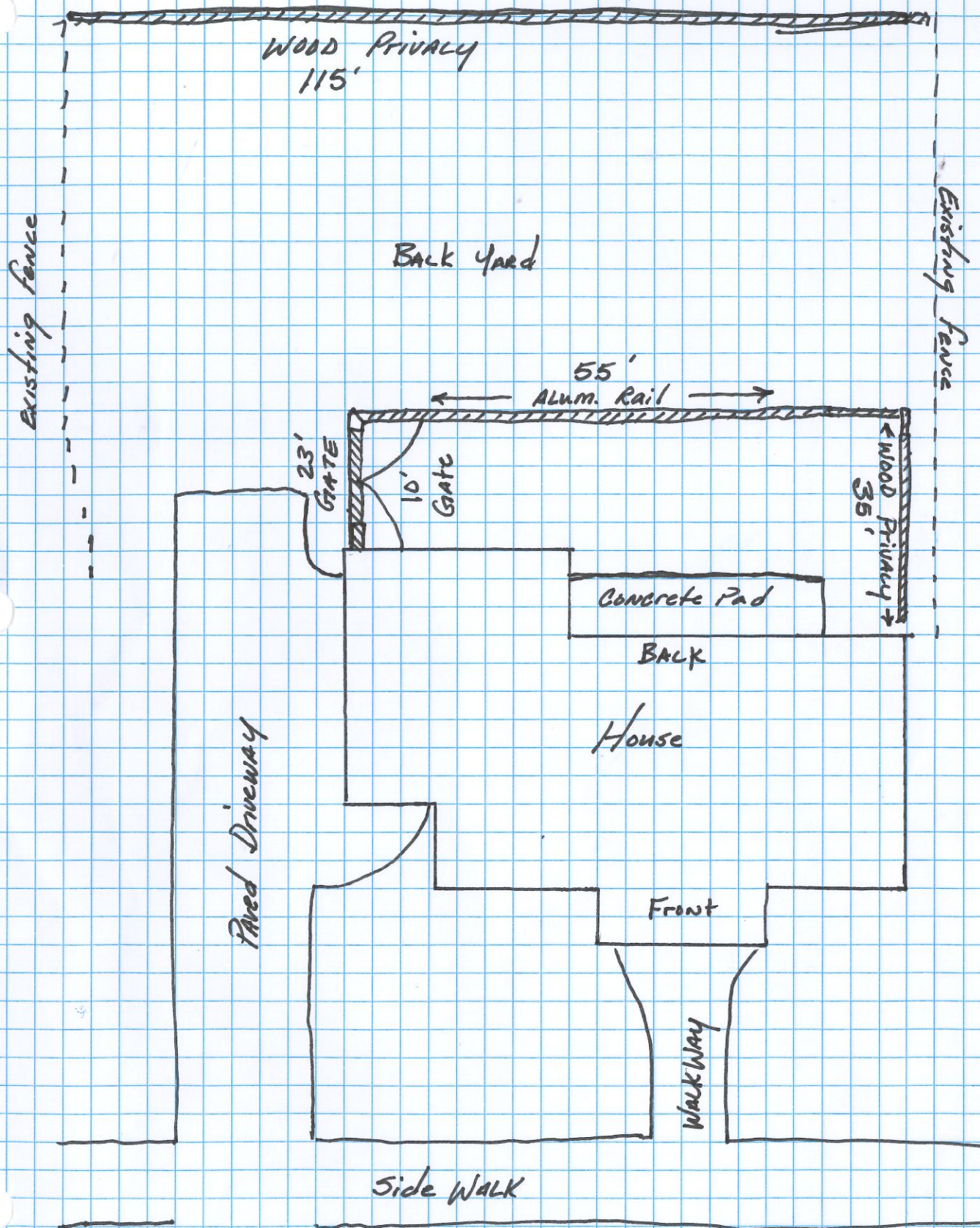
10/10/2019
Date



Revised 6/29/17

Run Alum. fence 6 to back of garage 23', with 10ft wide gate in middle. (See attached drawing).

* NOT TO SCALE



700 Church St.

700 E. Church Street, Monroe



Front of home



Side view of home

700 E. Church Street, Monroe



Alom.
Fence
begins
@ side
of
garage
23' back.

Garage entrance

Have a
gate
that is
10' wide
in the
middle.
Swing
5' to
the right
and 5'
to the
left.



View of Church St.

700 E. Church Street, Monroe



6' tall Wood Fence will start @ back corner of home.



6' tall fence will [10] 35' from back corner of home.

700 E. Church Street, Monroe



Alum.
Fence →

Back yard = Ornamental 4' fall fence will run 55' across yard



Alum.
Fence →

back yard

700 E. Church Street, Monroe

← 115' Wood Privacy Fence →



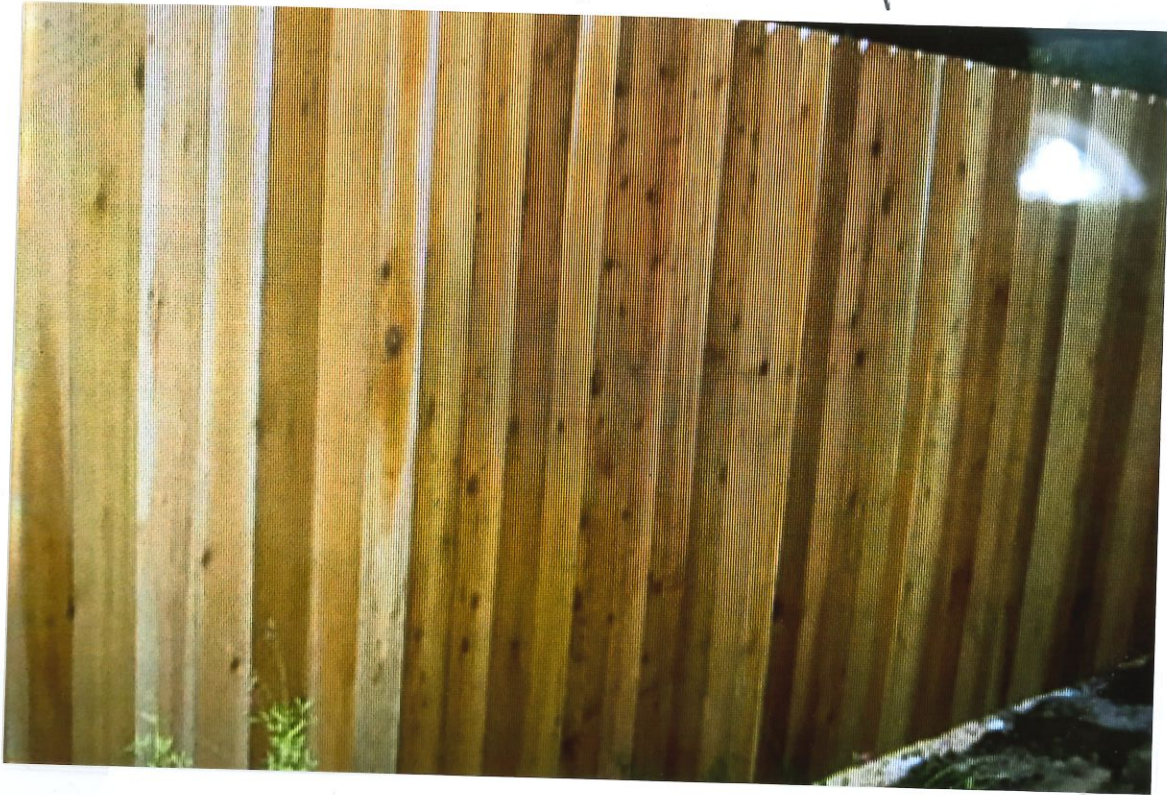
Crossing back of property



Back of home

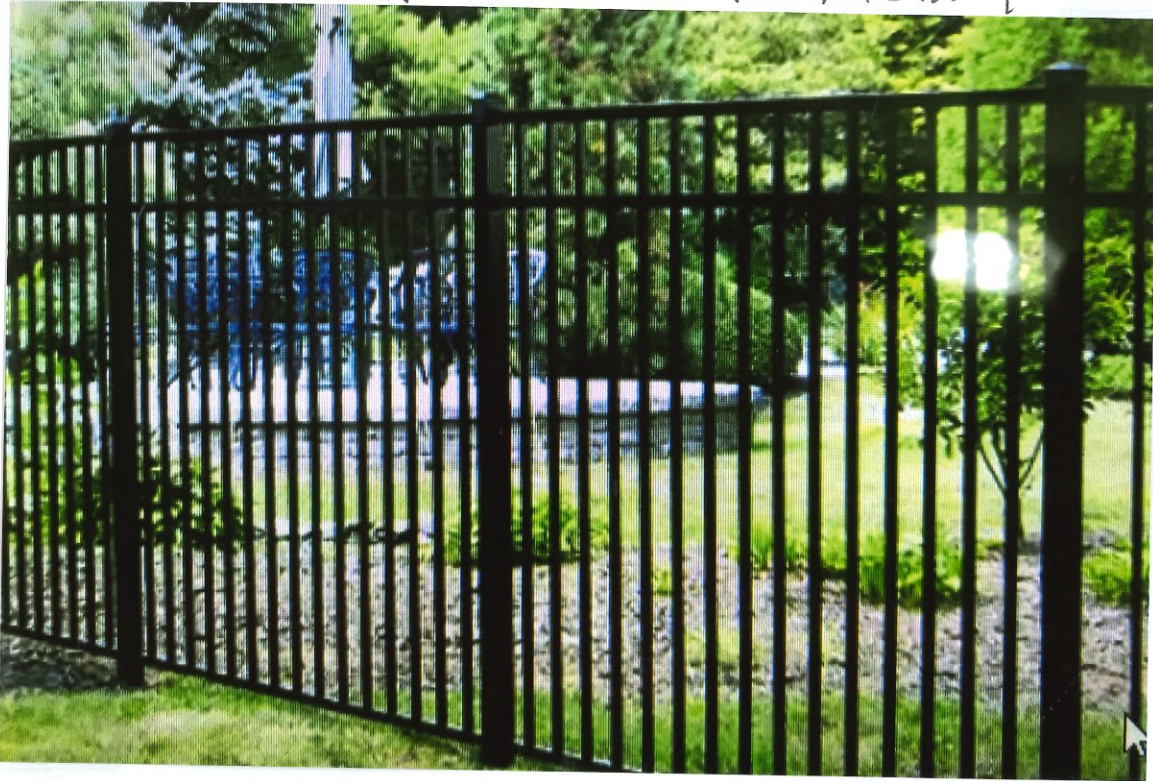
700 E. Church Street, Monroe

6' tall wood Privacy Fence



700 E. Church Street, Monroe

4' tall Ornamental Alum. Fence



10' wide x 4' tall gate



Debbie Adkinson

From: Patrick Allen <patrickallen919@gmail.com>
Sent: Monday, October 7, 2019 1:28 PM
To: Debbie Adkinson
Cc: Rodney McCart
Subject: 700 East Church Street

Alcovy Builders is currently under contract with Kay Kingan for the purchase of 700 East Church St. Monroe GA. Property sale/purchase is scheduled to close at the end of October. In the meantime, we are aware that Kay will be taking a fence concept before the H&C. We have no objection to this as this is a solid contract. Please do not hesitate to contact me if you have any additional questions

Patrick Allen
Alcovy Builders Inc.
770-527-7053



City of Monroe
215 N. Broad Street
Monroe, GA 30655
(770)207-4674

Plan Report

Plan NO.: HP-000032-2019

Plan Type: Historic Preservation

Work Classification: Certificate of Appropriateness

Plan Status: In Review

Apply Date: 10/10/2019

Expiration:

Location Address

Parcel Number

231 E MARABLE ST, MONROE, GA 30655

M0120168

Contacts

CAREY COLQUITT **Owner**
150 GLENHAVEN AVE, ATHENS, GA 30606
(706)202-0795 careycolquitt@gmail.com

Description: REQUEST FOR COA FOR NEW HOUSE - HPC MTG 10/22/19 @6:00 PM - 215 N BROAD ST

Valuation: \$0.00
Total Sq Feet: 0.00

Fees	Amount
Historic Preservation Request	\$10.00
Total:	\$10.00

Payments	Amt Paid
Total Fees	\$10.00
Credit Card	\$10.00
Amount Due:	\$0.00

Condition Name

Description

Comments

Issued By: Debbie Adkinson

Plan_Signature_1

Plan_Signature_2

October 10, 2019

Date

10/10/19

Date

Date

Meeting Oct 22

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Historic Preservation ordinance, you are required to obtain a Certificate of Appropriateness (COA) for any exterior material change you wish to make to your property if your property is located within a historic district, or if the change would affect property in a historic district. Please see pages 3 and 4, Definitions.

The following steps must be taken in order to have your proposed change considered by the Historic Preservation Commission (HPC):

1. Stop by the Code Office at least 10 working days in advance of the next regular meeting of the HPC (the fourth Tuesday of each month at 6:00 pm), read the Historic Preservation Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$10.00 fee. If you request a "special meeting" at some date or time (other than the 4th Tuesday of every month), the fee is \$50.00. If you are requesting to demolish Historic property, the fee is \$50.00 on the regular scheduled meeting.
4. Provide all documentation which will assist the HPC in deciding if your proposed change(s) are in keeping with the historic district standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives HPC members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.
5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the HPC looks forward to considering your request.

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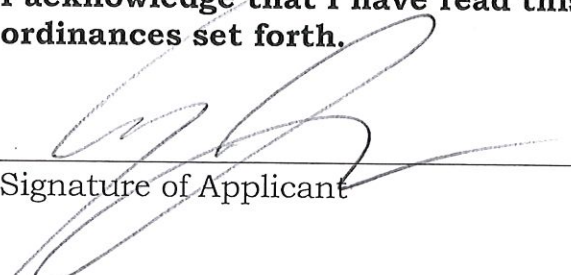
[Sec. 8-4-2(f)]

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Signature of Applicant

10/10/19

Date

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE HISTORIC PRESERVATION COMMISSION

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DATE: 10/10/19

APPLICANT: CAREY COLQUITT

APPLICANT'S ADDRESS: 150 Glenhaven Ave
Athens, GA 30606

TELEPHONE NUMBER: 706-202-0795

PROPERTY OWNER: CAREY COLQUITT

OWNER'S ADDRESS: 150 Glenhaven Ave, Athens, GA 30606

TELEPHONE NUMBER: _____

PROJECT ADDRESS: 231 E Marable, Monroe, GA 30655

Brief description of project: This is a vacant lot that we'd like to build a small 1500 sf house on. We chose a plan that resembles the surrounding homes and that will keep the integrity of the historic district.

(Continue on separate sheet, if necessary.)

Carey Colquitt
Applicant

10/10/19
Date

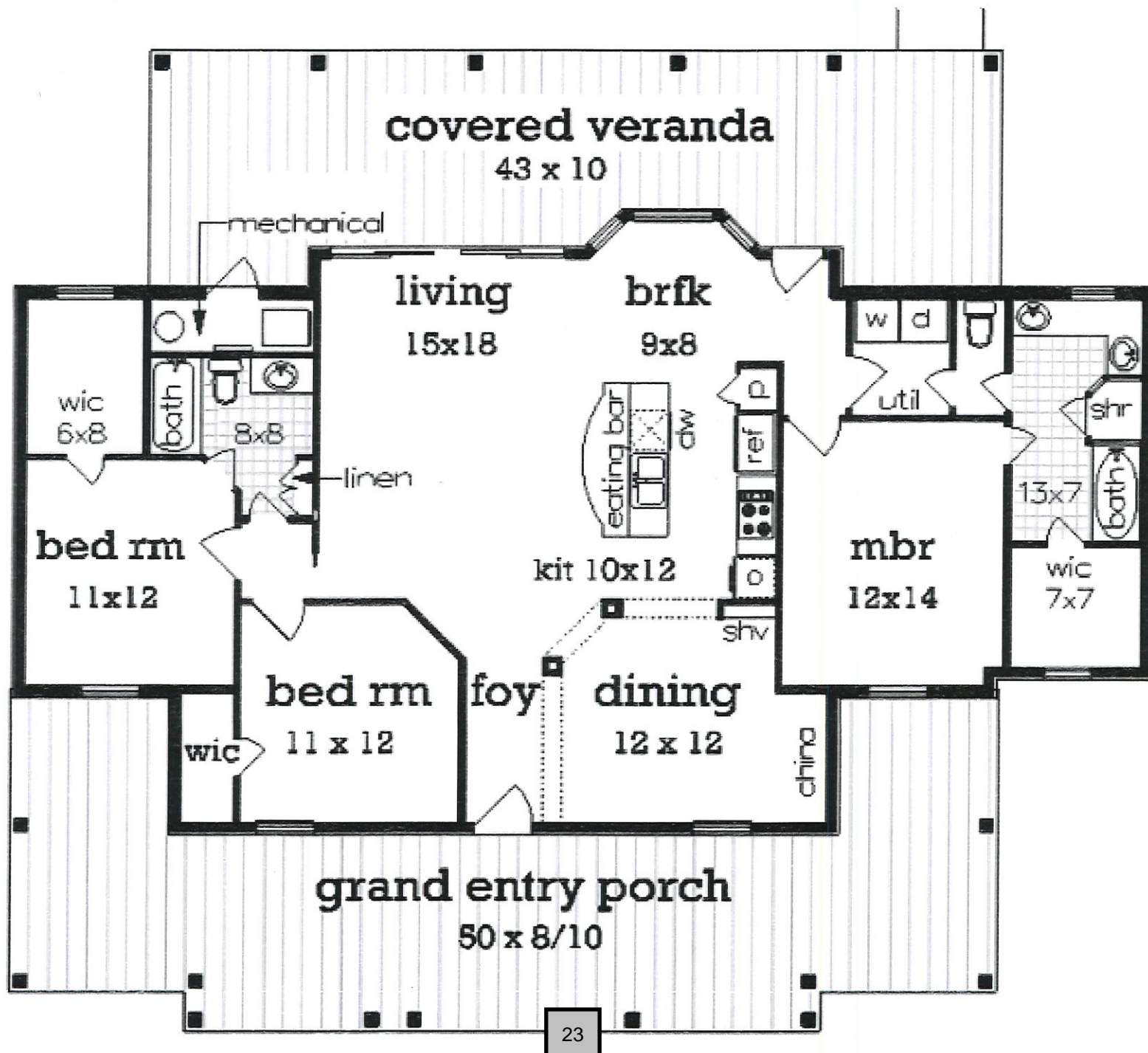
Front of home



Rear of home



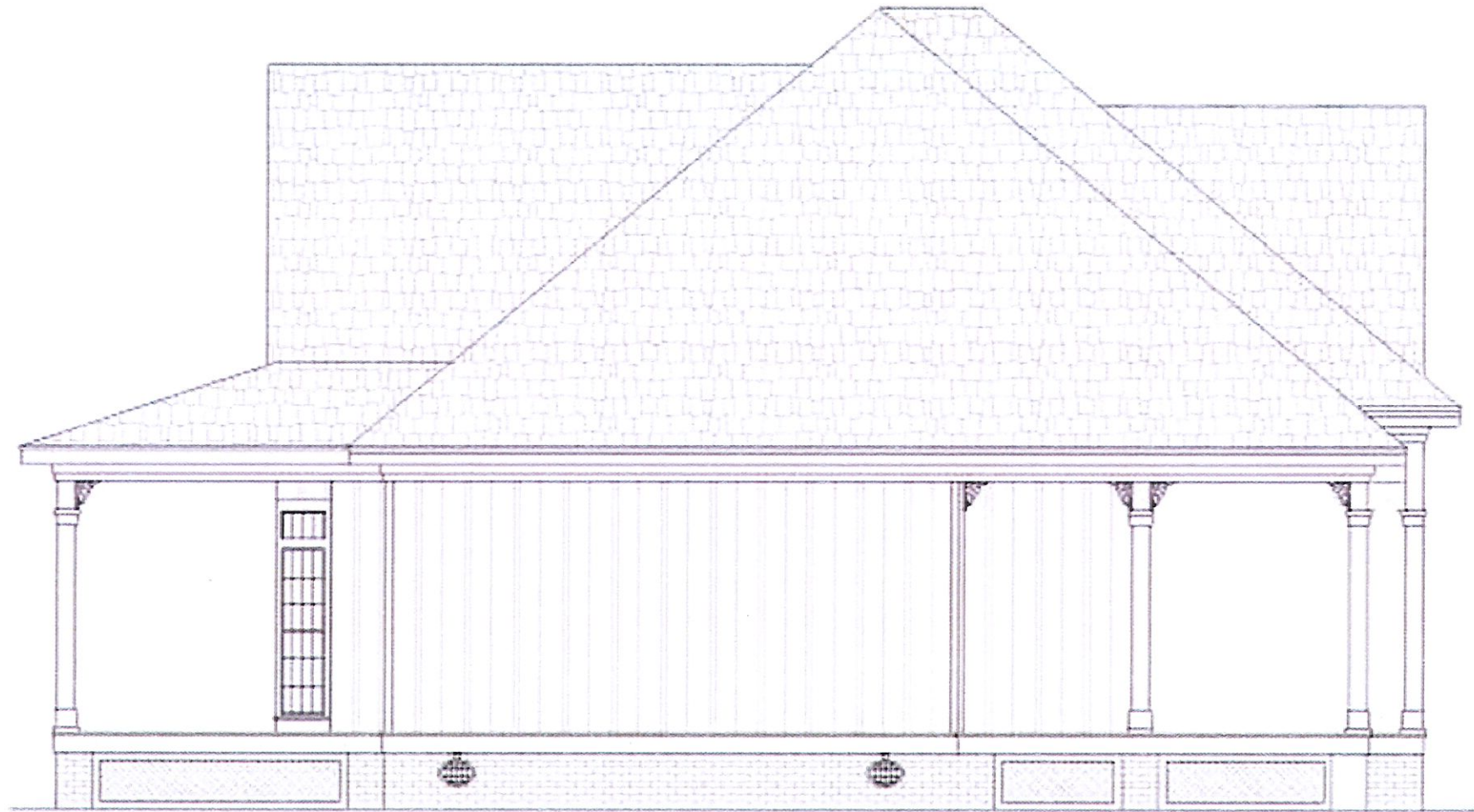
Floor plan



Side Elevation



Side Elevation





A HOME DESIGN BY BRELAND & FARMER DESIGNERS

EDSEL BRELAND, FAIBD

www.ebhomedesigns.com

TEN STEPS YOU SHOULD DO BEFORE SUBMITTING YOUR PLANS FOR A PERMIT

TERMS AND CONDITIONS FOR USE OF THIS PLAN

TERMS AND CONDITIONS: BRELAND & FARMER ASSUMES NO LIABILITY OR RESPONSIBILITY IN CONNECTION WITH THE BUILDING OF A HOME UNLESS THE PLAN EXCEPT WHEN THE DESIGNER IS EMPLOYED TO OVERSEE AND MANAGE THE ENTIRE BUILDING PROCESS TO INSURE THAT ALL ASPECTS OF THE CONSTRUCTION ARE IN ACCORDANCE WITH THE INTENTION OF THE DESIGNER. THIS SERVICE IS AVAILABLE TO ALL PURCHASERS OF THE PLAN FOR A FEE EQUIVALENT TO ONE PERCENT OF THE COST OF BUILDING THE HOME. THE PURCHASER OF THE PLAN AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS BRELAND & FARMER INCLUDING BRELAND & FARMER'S DIRECTORS, OFFICERS, AGENTS AND REPRESENTATIVES FROM AND AGAINST ANY AND ALL LIABILITY, LOSSES, DAMAGES, FINES, PENALTIES, ACCIDENTS AND CLAIMS (INCLUDING COURT FEES AND EXPENSES INCURRED AS A RESULT OF BUILDING A HOME UNDER THIS PLAN) WHICH BRELAND & FARMER IS RETAINED TO SUPERVISE THE ACTUAL CONSTRUCTION AS STATED ABOVE. USE OF THIS PLAN SHALL INDICATE THE ACCEPTANCE OF THE LICENSE AGREEMENT.

1. CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED WHAT YOU ORDERED.

YOU SHOULD IMMEDIATELY CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED EXACTLY WHAT YOU ORDERED. ALL PLANS ARE CHECKED FOR CONTENT PRIOR TO SHIPPING, BUT MISTAKES DO HAPPEN. IF YOU FIND AN ERROR IN YOUR PLANS CALL 800-862-5282. ALL PLANS ARE DRAWN ON A PARTICULAR TYPE OF FOUNDATION AND ALL DETAILS OF THE PLAN WILL ILLUSTRATE THAT PARTICULAR FOUNDATION. IF YOU CHOOSE AN ALTERNATE FOUNDATION TYPE, IT SHOULD BE INCLUDED IMMEDIATELY AFTER THE ORIGINAL FOUNDATION. TELL YOUR BUILDER WHICH FOUNDATION YOU WISH TO USE, AND OBTAIN THE OTHER FOUNDATION.

IF YOU DISCOVER AN ERROR, CALL BRELAND & FARMER AT 800-862-5282. DO NOT CALL THE COMPANY WHERE YOU ORDERED THE PLANS.

2. CHECK TO MAKE SURE YOU HAVE PURCHASED THE PROPER PLAN LICENSE

IF YOU PURCHASED PRINTS, YOUR PLAN WILL HAVE A ROUND RED STAMP STATING "THIS STAMP IS NOT VALID IF IT IS AN ILLEGAL COPY OF PLANS. THE LICENSE GRANTOR HAS PURCHASED THE RIGHT TO THE HOME. SOME THESE CONSTRUCTION DRAWINGS. IT IS ILLEGAL TO MAKE COPIES, DINGS OR TO REPRODUCE. IF YOU NEED TO MAKE COPIES FOR OTHERS, PLEASE ATTEMPT TO OBTAIN THE ORIGINAL PRINTS. CALL 800-862-5282. THE HOME BUILDING INDUSTRY IS MONITORED FOR ILLEGAL PRINTS BY THE COUNCIL OF PUBLISHING HOME BUILDERS.

IT IS ALSO ILLEGAL TO MODIFY OR REDRAW THE PLAN IF YOU PURCHASED A PRINT. IF YOU PURCHASED PRINTS AND NEED TO MODIFY THE PLAN, YOU CAN UPDATE TO THE REPRODUCIBLE PLAN - CALL 800-862-5282.

IF YOU PURCHASED A REPRODUCIBLE DRAWING, YOU HAVE THE RIGHT TO MODIFY THE PLAN AND MAKE UP TO 10 COPIES. A REPRODUCIBLE PLAN COMES WITH A LICENSE THAT YOU MUST SURRENDER TO THE PRINTER OR ARCHITECT MAKING YOUR CHANGES.

3. COMPLETE THE "OWNER SELECTION" PORTION OF THE PLAN

THE WORKING DRAWINGS ARE VERY COMPLETE BUT THERE ARE THINGS THAT YOU MUST DECIDE UPON. CHOOSE - THE PLAN SHOWS A TUB IN THE BATH ROOM BUT THERE ARE HUNDREDS OF MODELS TO CHOOSE FROM. YOUR INDIVIDUAL PREFERENCES SHOULD BE MADE BASED UPON THE COLOR, STYLE AND PRICE. YOU WILL WANT TO FIND THE SAME THING IS TRUE FOR ALL OF THE PLUMBING FIXTURES, LIGHT FIXTURES, APPLIANCES, INTERIOR FINISHES, FLOORING, WALLS AND CEILING AND THE EXTERIOR FINISHES. WE HAVE INCLUDED SCHEDULES TO MAKE THE PROCESS AS EASY AS POSSIBLE. IT IS VITAL THAT YOU COMPLETE THE COST ALLOWANCE SCHEDULES IN ORDER TO OBTAIN AN ACCURATE BIDDING FOR THE CONSTRUCTION OF YOUR HOME.

4. COMPLETE YOUR PERMIT PACKAGE BY ADDING OTHER DOCUMENTS THAT MAY BE REQUIRED

YOUR PERMIT DEPARTMENT, LENDER AND BUILDER WILL NEED OTHER DRAWINGS OR DOCUMENTS THAT MUST BE OBTAINED LOCALLY. THESE ITEMS ARE EXPLAINED BELOW.

5. OBTAIN A HEATING & COOLING CALCULATION AND LAYOUT

THE HEATING AND COOLING SYSTEM MUST BE CALCULATED AND DESIGNED FOR YOUR EXACT HOME AND YOUR LOCATION. EVEN THE ORIENTATION OF YOUR HOME CAN AFFECT THE SYSTEM SIZE. THIS SERVICE IS NORMALLY PROVIDED FREE OF CHARGE BY THE MECHANICAL COMPANY THAT IS SUPPLYING THE EQUIPMENT AND INSTALLATION. HOWEVER, TO GET AN UNBIASED CALCULATION AND EQUIPMENT RECOMMENDATION, WE SUGGEST EMPLOYING THE SERVICES OF A MECHANICAL ENGINEER.

6. OBTAIN A SITE PLAN

A SITE PLAN IS A DOCUMENT THAT SHOWS THE RELATIONSHIP OF YOUR HOME TO YOUR PROPERTY. IT MAY BE AS SIMPLE AS THE DOCUMENT YOUR SURVEYOR PROVIDES OR IT CAN BE A COMPLEX COLLECTION OF DRAWINGS SUCH AS THOSE PREPARED BY A LANDSCAPE ARCHITECT. TYPICALLY, THE DOCUMENT PREPARED BY A SURVEYOR WILL ONLY SHOW THE PROPERTY BOUNDARIES AND THE FOOTPRINT OF THE HOME. LANDSCAPE ARCHITECTS CAN PROVIDE PLANNING AND DRAWINGS FOR ALL SITE AMENITIES SUCH AS DRIVEWAYS AND WALKWAYS, OUTDOOR STRUCTURES SUCH AS POOLS, PLAYING PLACES, PAVEMENT PLANS AND OUTDOOR LIGHTING.

7. OBTAIN EARTHQUAKE OR HURRICANE ENGINEERING IF YOU ARE PLANNING TO BUILD IN A EARTHQUAKE OR HURRICANE ZONE.

IF YOU ARE BUILDING IN A EARTHQUAKE OR HURRICANE ZONE, YOUR PERMIT DEPARTMENT WILL MOST LIKELY REQUIRE YOU TO SUBMIT CALCULATIONS AND DRAWINGS TO ILLUSTRATE THE ABILITY OF YOUR HOME TO WITHSTAND THOSE FORCES. THIS INFORMATION IS NEVER INCLUDED WITH THE DRAWING PLANS BECAUSE IT WOULD PENALIZE THE MAJORITY OF PLAN PURCHASERS WHO DO NOT BUILD IN THESE ZONES. THIS INFORMATION IS USUALLY PROVIDED BY A STRUCTURAL ENGINEER LICENSED BY THE STATE WHERE YOU ARE BUILDING.

8. REVIEW YOUR PLAN TO SEE IF MODIFICATIONS ARE NEEDED

THESE PLANS HAVE BEEN DESIGNED TO ASSUME CONDITIONS AND DO NOT ADDRESS THE INDIVIDUAL SITE WHERE YOU ARE BUILDING. CONDITIONS CAN VARY GREATLY INCLUDING SOIL CONDITIONS, WIND SPEEDS AND TEMPERATURE. ANY ONE OF THESE CONDITIONS MAY REQUIRE SOME MODIFICATION OF YOUR PLAN. EXAMPLE - IF YOU LIVE IN AN AREA THAT REQUIRES SEWER, STRUCTURAL CHANGES MAY BE NECESSARY. WE SUGGEST:

1. HAVE YOUR SOIL TESTED BY A SOIL TESTING LABORATORY SO THAT SUB-SURFACE CONDITIONS CAN BE DETERMINED AT YOUR SPECIFIC BUILDING SITE. THE RESULTS OF THE SOIL TESTING LABORATORY SHOULD BE REVIEWED BY A STRUCTURAL ENGINEER TO DETERMINE IF THE EXISTING PLAN FOUNDATION IS SUITABLE IF MODIFICATIONS ARE NEEDED.

2. HAVE YOUR ENTIRE PLAN REVIEWED BY YOUR BUILDER OR A STRUCTURAL ENGINEER TO DETERMINE IF OTHER STRUCTURAL ELEMENTS SUCH AS LONG BEARING BEAMS ARE USED APPROPRIATELY FOR THE CONDITIONS THAT EXIST AT YOUR SITE.

NOTE THAT YOU HAVE THE COMPLETE PLAN YOU MAY DISCOVER ITEMS THAT YOU WISH TO MODIFY TO SUIT YOUR OWN PREFERENCES. TO CHANGE THE DRAWING, YOU MUST HAVE THE REPRODUCIBLE DRAWING (SEE ITEM 2). BRELAND & FARMER CAN MAKE THE CHANGES FOR YOU IF YOU PREFER. FOR COMPLETE INFORMATION REGARDING MODIFICATIONS, INCLUDING OUR FEES, GO TO WWW.BRELANDANDFARMER.COM OR CALL THE WORD MODIFICATION LOCKED ON THE HOME PAGE.

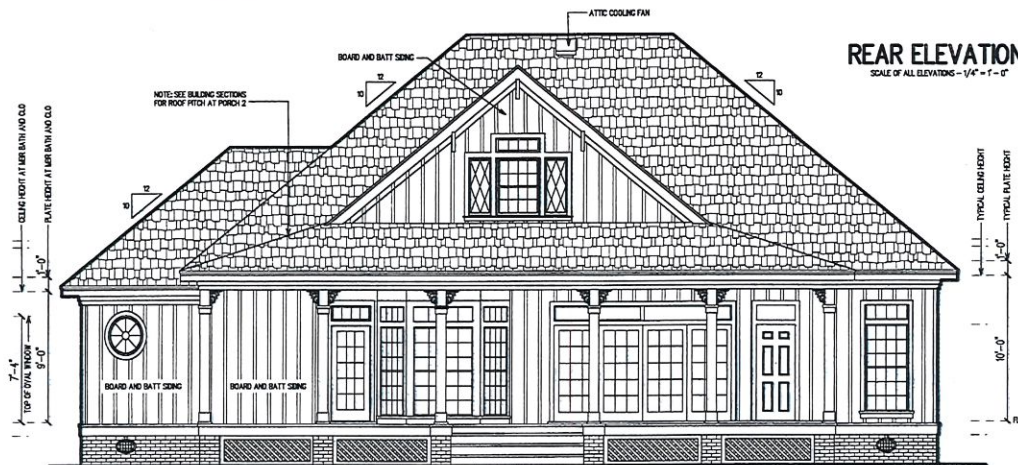
9. RECORD YOUR BLUEPRINT LICENSE NUMBER

RECORD YOUR BLUEPRINT LICENSE NUMBER FOR EASY REFERENCE. IF YOU OR YOUR BUILDER SHOULD NEED TECHNICAL SUPPORT, THE LICENSE NUMBER IS REQUIRED.

YOUR LICENSE NUMBER IS 52502005

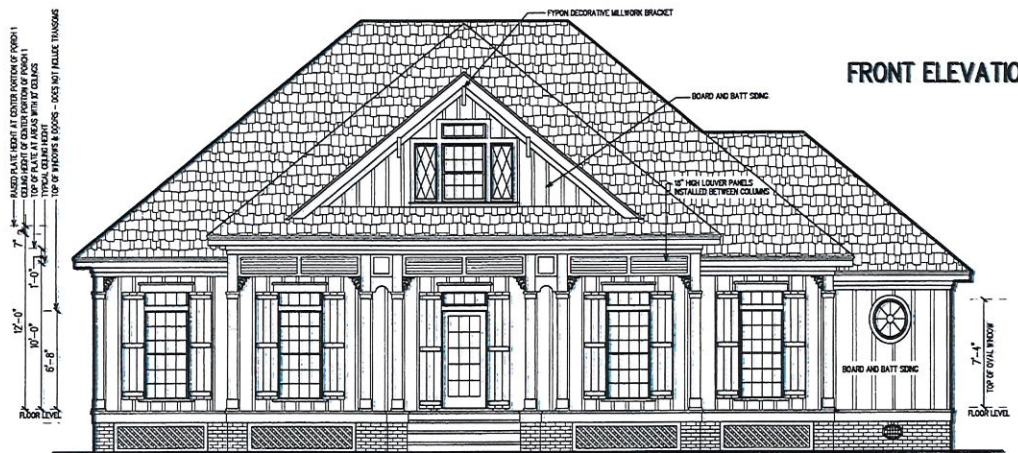
10. KEEP ONE SET OF PLANS AS LONG AS YOU OWN THE HOME

BE SURE TO FILE ONE COPY OF YOUR HOME PLAN AWAY FOR SAFE KEEPING. YOU MAY NEED A COPY IN THE FUTURE IF YOU RENT OR SELL THE HOME. IF YOU FILE A COPY AWAY FOR SAFE KEEPING, YOU CAN AVOID THE COST OF HAVING TO PURCHASE PLANS LATER ON.

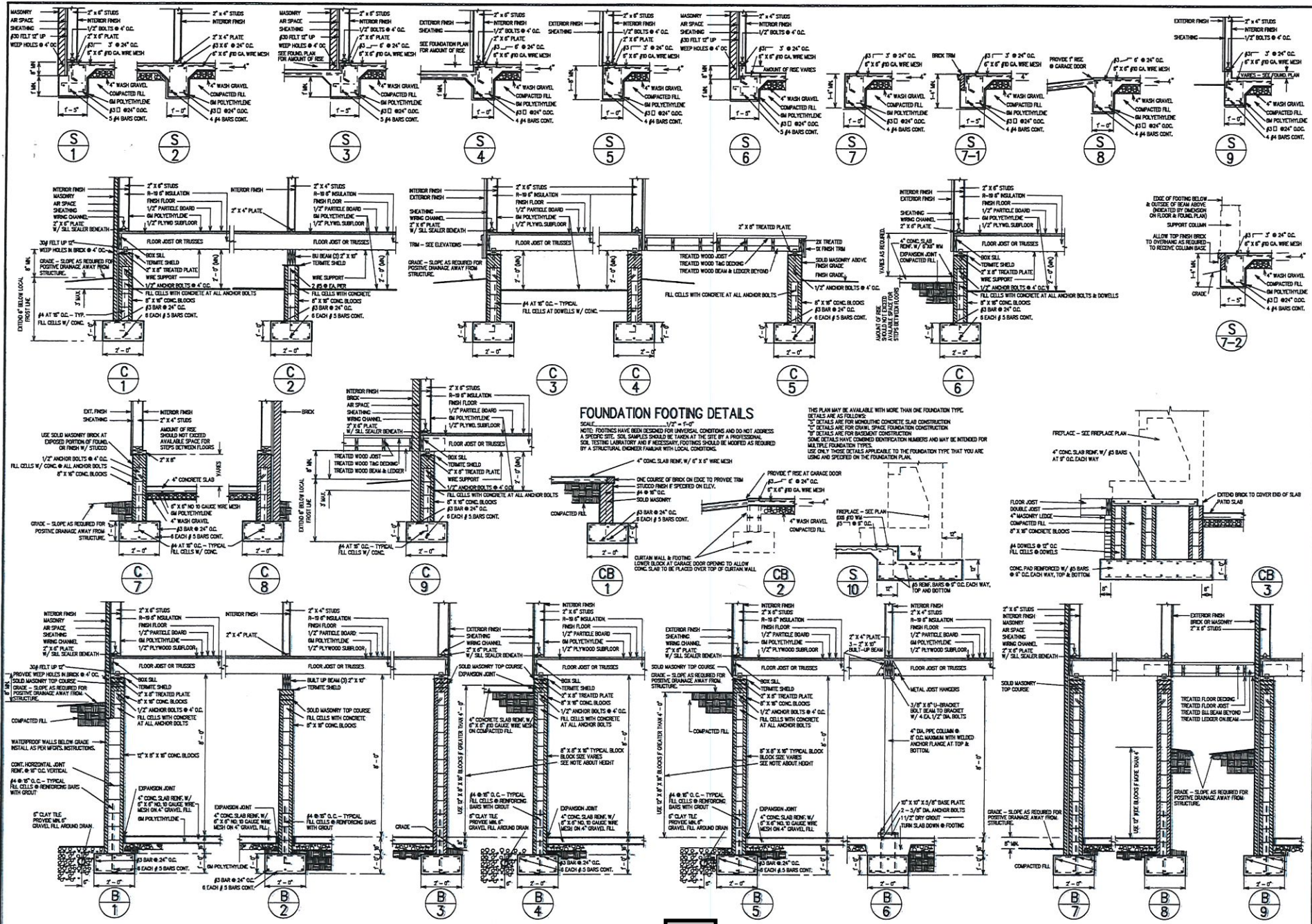


REAR ELEVATION

SCALE OF ALL ELEVATIONS - 1/4" = 1'-0"



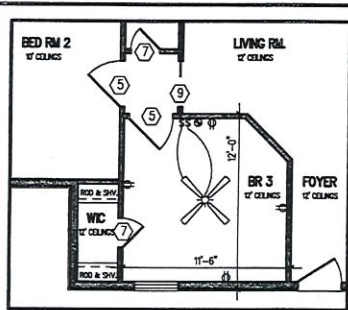
FRONT ELEVATION



THE AMERICAN INSTITUTE OF BUILDING DESIGNERS, INC. (AIBD) is a national organization of building designers, architects, and engineers. It is a non-profit organization and its members are committed to the highest standards of professional conduct and ethics. AIBD is a member of the International Brotherhood of Building Designers, Inc. (IBBD).

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 DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR © COPYRIGHT 2009 BY BRELAND & FARMER DESIGNERS, INC.

1521



OPTIONAL BED RM. 3

WALL LEGEND

- 2" X 4" WALL WITH SOING OR STUCCO EXTERIOR - SEE ELEV.
- 2" X 4" INTERIOR WALL - SEE FINISH SCHEDULE FOR FINISH.
- 3/4" PLYWOOD CABINET WALL

NOTE: INSULATION VALLES FOR INSULATED EXTERIOR WALLS.
2" X 4" WALLS TO RECEIVE 6" (R-18) FIBERGLASS BATT.

MAIN FLOOR PLAN

SCALE 1/4" = 1'-0"

DOOR SCHEDULE

MARK	SIZE	DESCRIPTION
1	3'-0" X 6'-8" / 3'-0" X 1'-0"	EXTERIOR FRENCH DOOR WITH FRIED TRANSDOM ABOVE
2	2'-0" X 6'-8" / 2'-0" X 1'-0"	EXTERIOR FRENCH DOOR WITH FRIED TRANSDOM ABOVE
3	2'-0" X 6'-8" / 2'-0" X 1'-0"	EXTERIOR RASID PANEL DOOR WITH FRIED TRANSDOM ABOVE TO MATCH TRANSDOM ABOVE DOOR 2
4	12'-0" X 6'-8" / 12'-0" X 1'-0"	EXTERIOR SLIDING GLASS DOORS WITH FRIED TRANSDOM ABOVE AND GRILLE INSERTS
5	3'-0" X 6'-8"	INTERIOR RASID PANEL DOOR
6	2'-0" X 6'-8"	INTERIOR RASID PANEL DOOR
7	2'-0" X 6'-8"	INTERIOR RASID PANEL DOOR
8	1'-0" X 6'-8"	INTERIOR RASID PANEL DOOR
9	3'-0" X 6'-8"	INTERIOR RASID PANEL DOOR, POCKET STYLE DOOR

ALL EXTERIOR DOORS TO BE METAL INSULATED UNLESS NOTED.
ALL GLASS IN EXTERIOR DOORS TO BE INSULATED GLASS.

ALL EXTERIOR DOORS ARE 1 3/4" THICK UNLESS NOTED.
ALL INTERIOR DOORS ARE 1 3/8" THICK UNLESS NOTED.

WINDOW SCHEDULE

MARK	WINDOW SIZE	DESCRIPTION	ROUGH OPENING	BRAND
A	3'-0" X 6'-8" / 3'-0" X 1'-0"	WOOD DOUBLE HANG WINDOW WITH TRANSDOM ABOVE & GRILLE INSERT		
B	2'-0" X 6'-8" / 2'-0" X 1'-0"	WOOD DOUBLE HANG WINDOW WITH TRANSDOM ABOVE & GRILLE INSERT		
C	4'-0" X 6'-8" / 4'-0" X 1'-0"	WOOD DOUBLE HANG WINDOW WITH TRANSDOM ABOVE & GRILLE INSERT		
D	3'-0" X 6'-8" / 3'-0" X 1'-0"	WOOD DOUBLE HANG WINDOW WITH TRANSDOM ABOVE & GRILLE INSERT		
E	1'-0" X 6'-8"	WOOD FRIED UNIT WITH DIAMOND GRILLE INSERT		
F	2'-0" X 3'-0"	WOOD FRIED OVAL WINDOW		

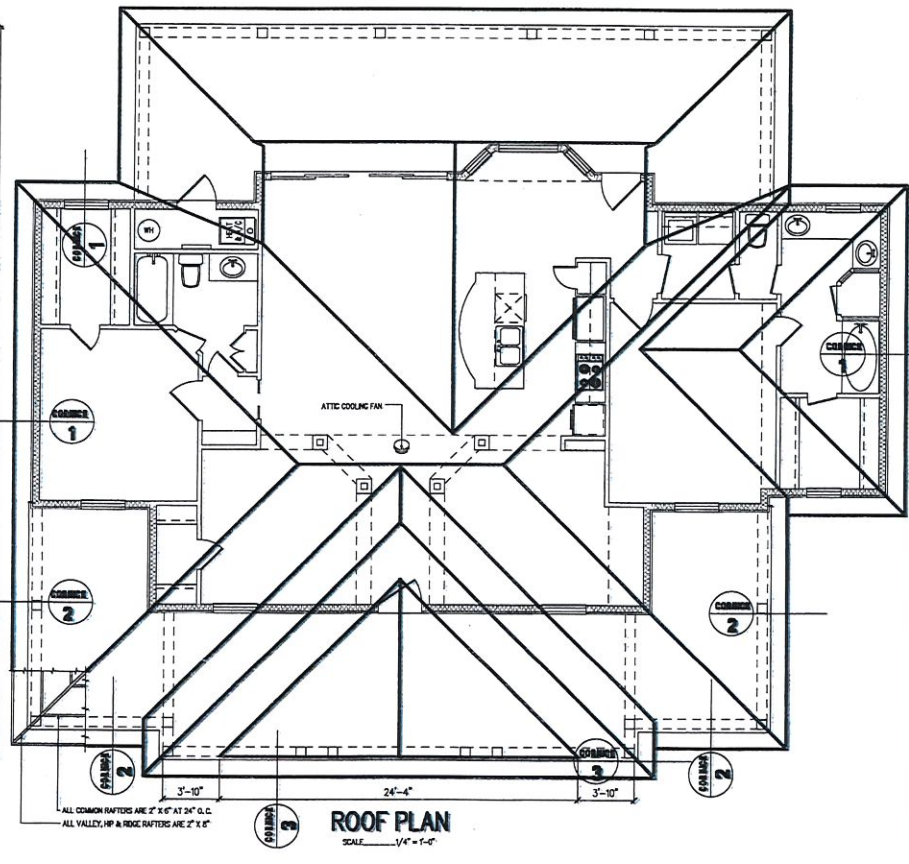
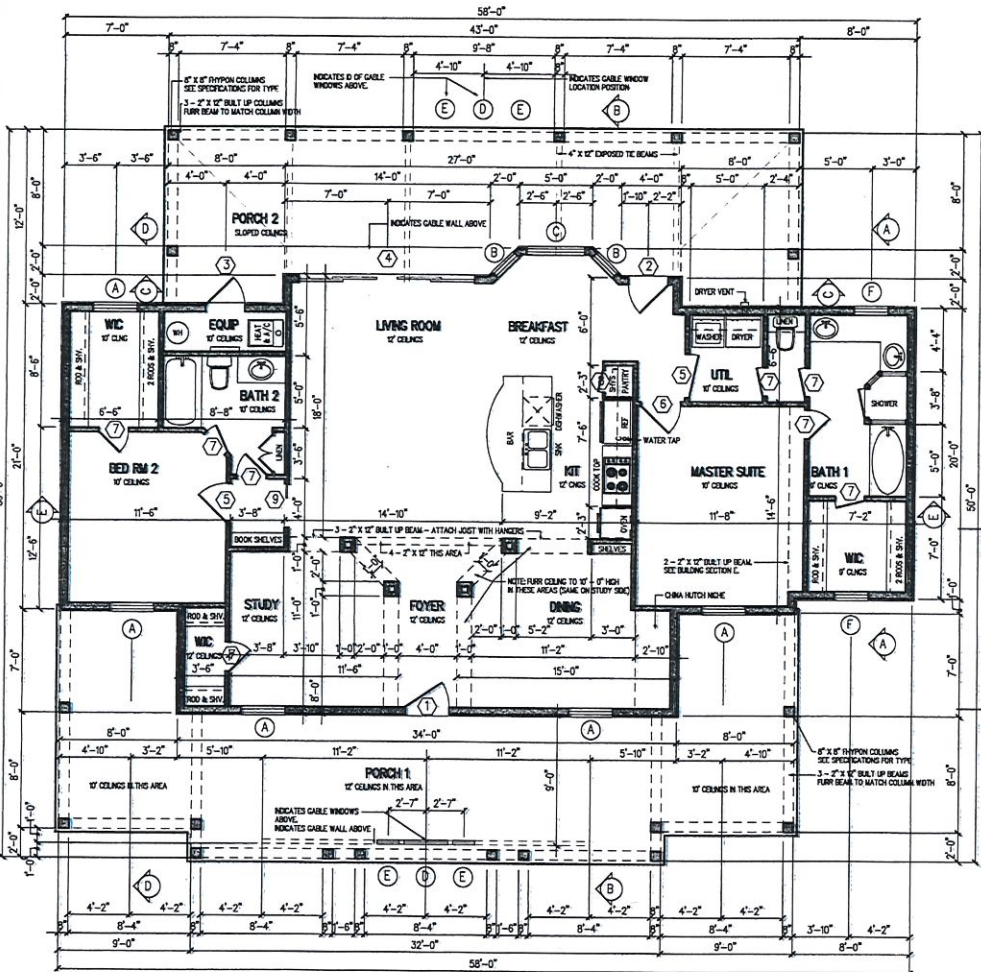
NOTE: INCREASE OF EXTREME VARIATIONS IN PRICE, THE WINDOW SCHEDULE ABOVE LIST SIZE AND DESCRIPTION ONLY. OWNER TO SELECT BRAND OF WINDOW ACCORDING TO ALLOWANCE (SEE SPECIFICATIONS) AND INSERT MANUFACTURER BRAND, NUMBER, AND ROUGH OPENING SIZE.

AREA SCHEDULE

TOTAL LIVING AREA	1516
PORCHES	1024
TOTAL AREA UNDER ROOF	2540

GENERAL NOTES

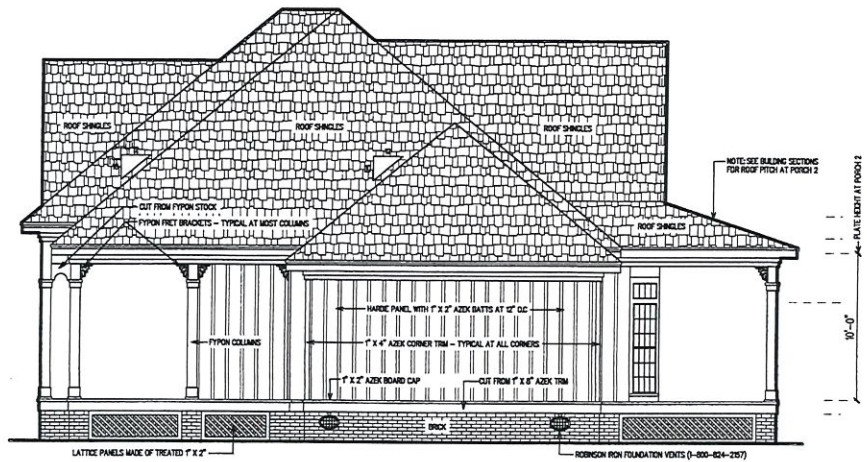
- ALL DIMENSIONS ARE TO OUTSIDE OF STUDS OF EXTERIOR WALLS
- CONTRACTOR TO VERIFY ALL DATA AND CONDITIONS
- SEE FOUNDATION DETAILS FOR STUD SIZE AND SPACING
- INSTALL ATTIC COOLING FANS AS REQUIRED ON ROOF FOR ATTIC VENTILATION
- CALLER AROUND ALL EXTERIOR DOOR AND WINDOW FRAMES PRIOR TO INSTALLING INTERIOR FINISH
- VERIFY ALL BEAM SIZES AND STRUCTURAL NUMBERS AND ADJUST IF NECESSARY FOR LOCAL CONDITIONS AND CODE REQUIREMENTS
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- THESE PLANS WERE DESIGNED IN ACCORDANCE WITH GENERAL CONSTRUCTION PRACTICES OF THE AREA IN WHICH THEY WERE DESIGNED AND TO THE PREVAILING BUILDING CODES. DUE TO VARYING CONDITIONS AND TRADE PRACTICE IT MAY BE NECESSARY TO MODIFY OR ADJUST THE PLAN TO MEET LOCAL CONDITIONS. CONSULT YOUR LOCAL PERMITS DEPARTMENT.
- IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER OR CONTRACTOR TO VERIFY ALL DATA OF THE PLANS AND TO ADJUST PLAN AS NECESSARY TO MEET ALL FEDERAL, STATE AND LOCAL CODES.



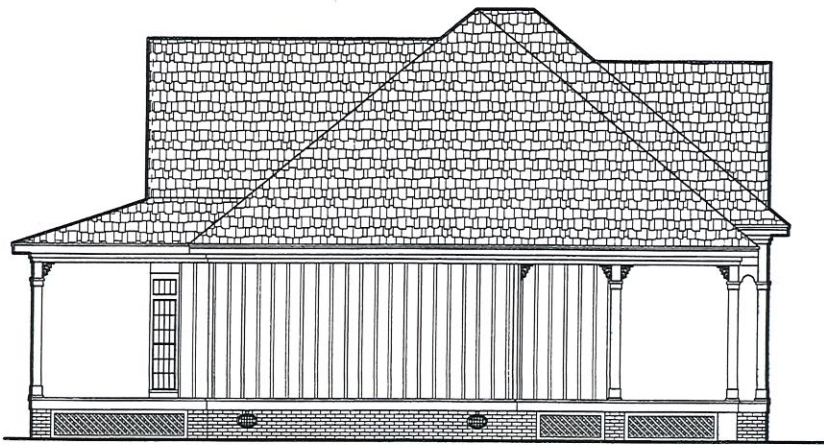
ROOF PLAN

SCALE 1/4" = 1'-0"

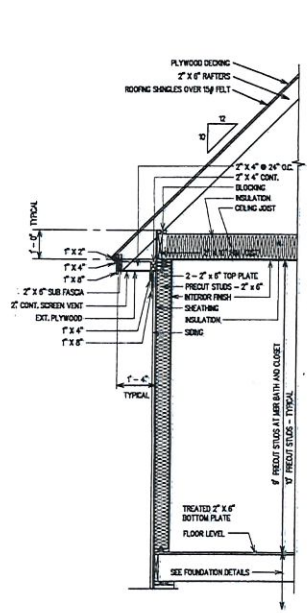
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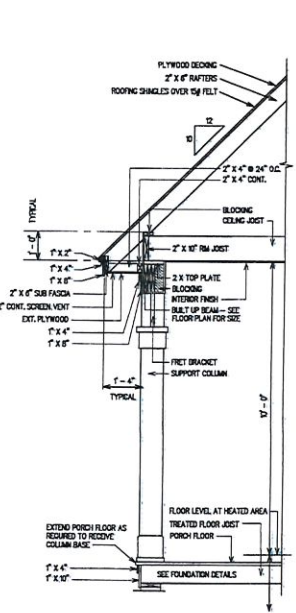
RIGHT SIDE ELEVATION



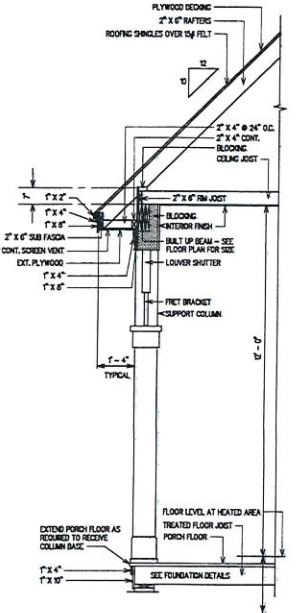
LEFT SIDE ELEVATION



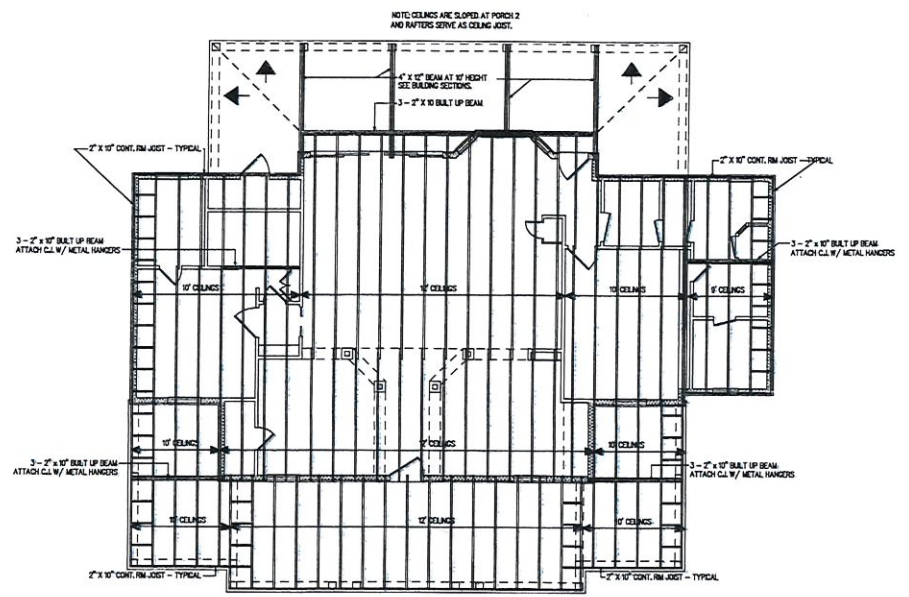
CORNICE DETAIL 1
SCALE: 1/2\"/>



CORNICE DETAIL 2
SCALE: 1/2\"/>



CORNICE DETAIL 3
SCALE: 1/2\"/>

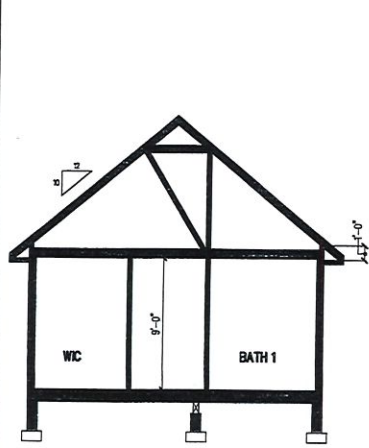


CEILING JOIST FRAMING PLAN
SCALE: 1/4\"/>

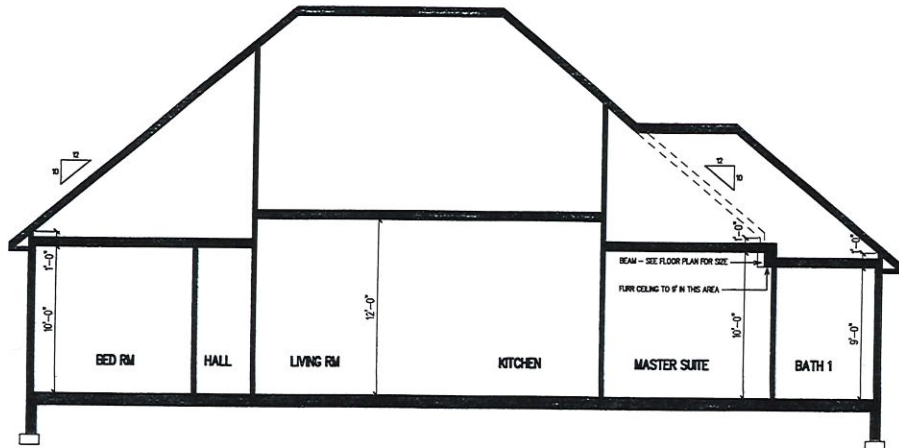
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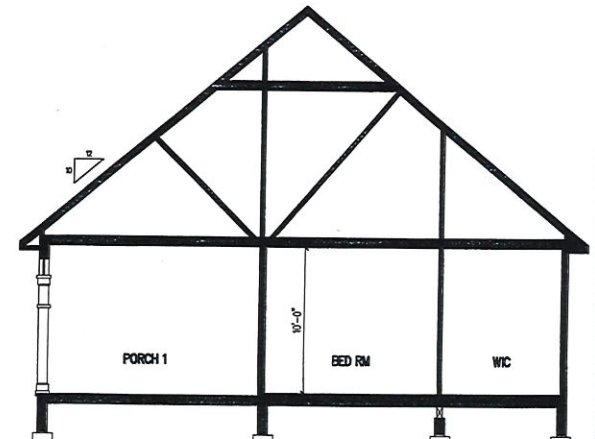
CHECKED BY	DATE	REVISIONS	PLAN NUMBER
		SHEET 5 OF 9	
DRAWN BY			1521



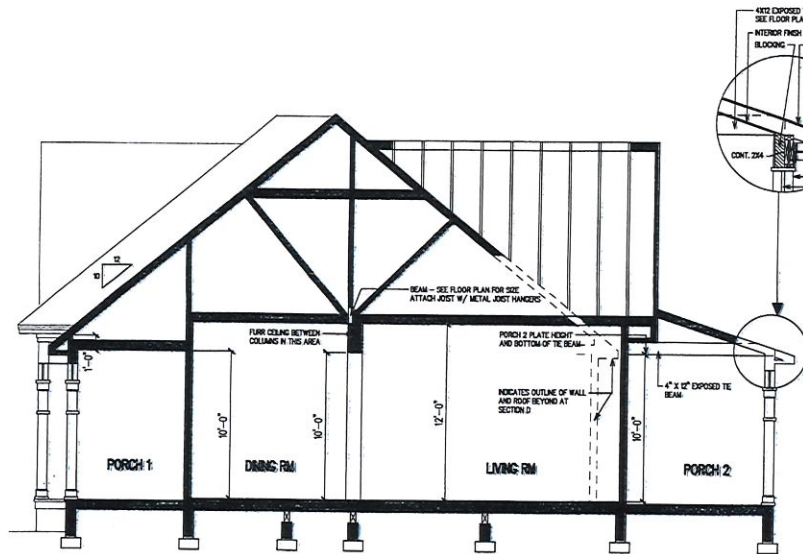
SECTION A



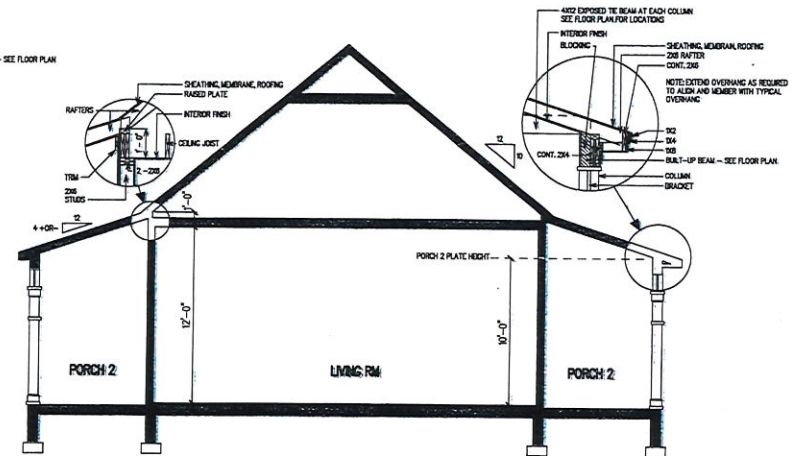
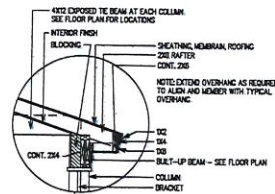
SECTION E



SECTION D



SECTION B



SECTION C

NOT TO SCALE
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
 ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED
 ALL WORK IS TO BE ACCORDING TO THE 2009 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL CODES
 ALL WORK IS TO BE ACCORDING TO THE 2009 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL CODES
 ALL WORK IS TO BE ACCORDING TO THE 2009 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL CODES



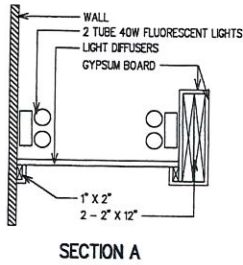
REGISTERED PROFESSIONAL ARCHITECT
 THE ARCHITECTURE OF MASSACHUSETTS
 BOARD OF ARCHITECTURE

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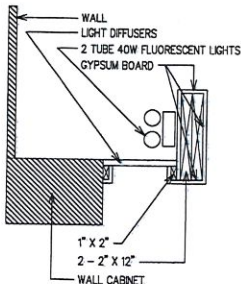


DATE: _____
 DRAWN BY: _____ CHECKED BY: _____
 WORKING

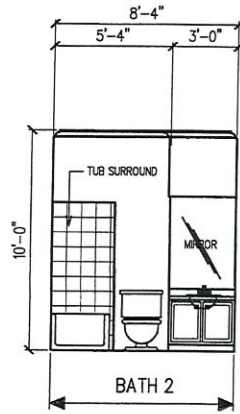
1521



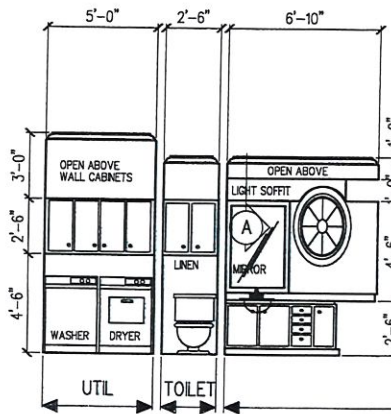
SECTION A



SECTION B

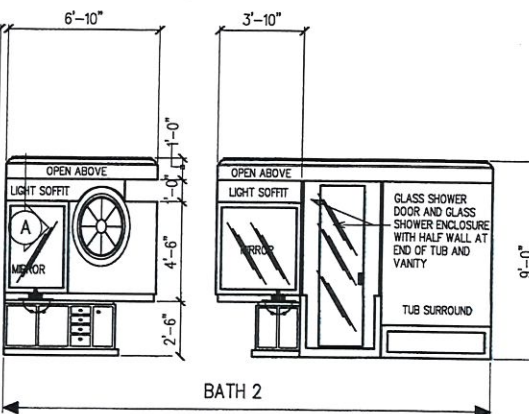


BATH 2

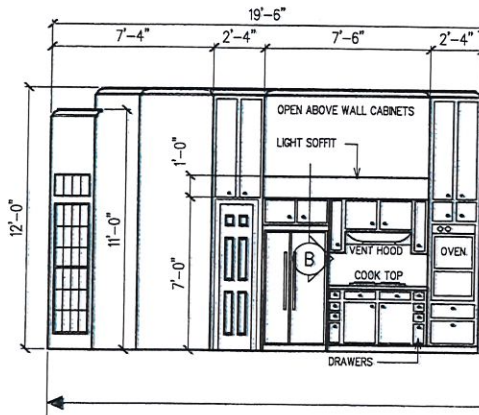


UTIL

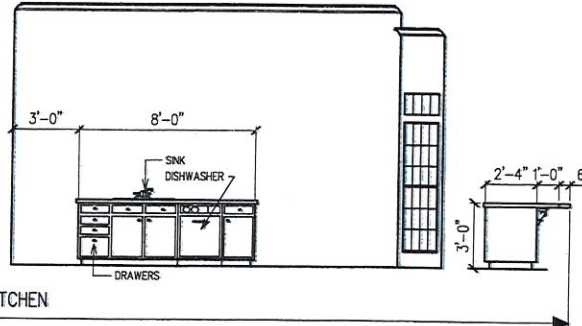
TOILET



BATH 2



KITCHEN



CABINET ELEVATIONS

SCALE _____ 3/8" = 1'-0"

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE BOOK.
 ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY.
 ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 ALL WORK SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE.
 ALL WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DESIGNER.

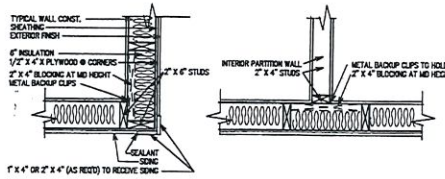
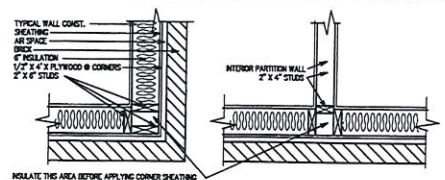


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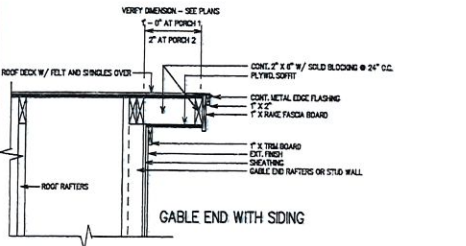


DATE _____
 DRAWN BY _____ CHECKED BY _____
 REVISIONS _____

7 SHEETS OF 9
 PLAN NUMBER
1521



ENERGY EFFICIENT WALL CONSTRUCTION DETAILS
NOTES:
RECOMMENDED FOR MAXIMUM ENERGY EFFICIENCY - MAY NOT BE ACCEPTABLE BY SOME CODES



MAXIMUM SPAN FOR CEILING JOIST

SIZE	10/5 NO ATTIC STORAGE	20/10 LIMITED ATTIC STORAGE
2" x 6"	10'-0"	12'-0"
2" x 8"	12'-0"	15'-0"
2" x 10"	15'-0"	18'-0"
2" x 12"	18'-0"	22'-0"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL, BASED ON NUMBER 2 GRADE SOUTHERN PINE.

MAXIMUM SPAN FOR HEADERS OVER WALL OPENINGS

SIZE OF HEADER	SUPPORTING ROOF ONLY	1 STORY ABOVE	2 STORES	NOTE
2" x 2" x 8"	6'	4'	-	-
2" x 2" x 10"	8'	6'	-	-
2" x 2" x 12"	10'	8'	-	-

SPANS ARE TAKEN FROM THE 1995 EDITION OF THE CARB BUILDING CODES AND ARE BASED ON NUMBER 2 GRADE SOUTHERN PINE.

MAXIMUM SPAN FOR FLOOR JOIST

SIZE	10/5	20/10	ALL OTHER ROOMS
2" x 6"	10'-0"	12'-0"	12'-0"
2" x 8"	12'-0"	15'-0"	15'-0"
2" x 10"	15'-0"	18'-0"	18'-0"
2" x 12"	18'-0"	22'-0"	22'-0"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL, BASED ON NUMBER 2 GRADE SOUTHERN PINE.

MAXIMUM SPAN FOR RAFTERS

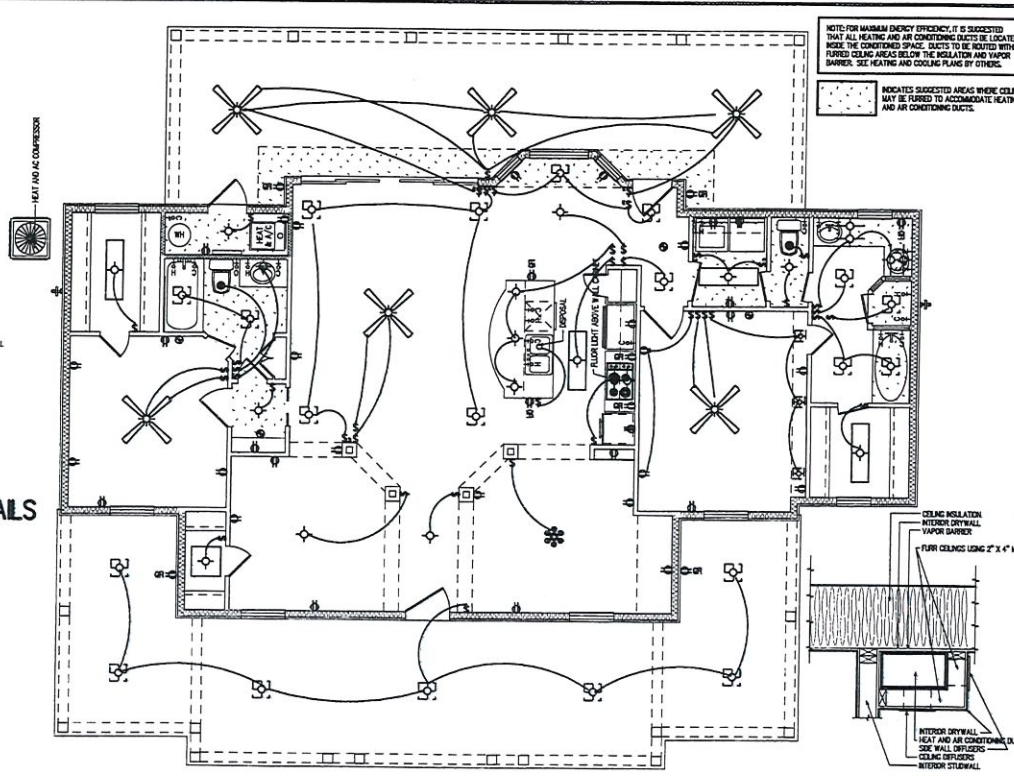
SIZE	20 PSF LIVE LOAD / 10 PSF DEAD LOAD	24" O.C.
2" x 6"	10'-0"	12'-0"
2" x 8"	12'-0"	15'-0"
2" x 10"	15'-0"	18'-0"
2" x 12"	18'-0"	22'-0"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL, BASED ON NUMBER 2 GRADE SOUTHERN PINE.

GENERAL NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF EXTERIOR STUDS
2. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
3. THESE PLANS WERE DESIGNED IN ACCORDANCE WITH GENERAL CONSTRUCTION PRACTICES OF THE AREA IN WHICH THEY WERE DESIGNED AND TO THE CURRENT CODES. DUE TO VARYING CONDITIONS AND TRADE PRACTICE, IT MAY BE NECESSARY TO MODIFY OR ADJUST THE PLAN TO MEET LOCAL CONDITIONS. CONSULT YOUR LOCAL PERMITS DEPARTMENT.
4. IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER OR CONTRACTOR TO VERIFY ALL DATA OF THE PLANS AND TO ADJUST PLAN AS NECESSARY TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
5. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED PRIOR TO STARTING CONSTRUCTION.
6. DESIGN LOADS ARE AS FOLLOWS PER SQUARE FOOT:

LOCATION	LIVE	DEAD
FLOOR (SLEEPING ROOMS)	30	10
FLOOR (OTHER ROOMS)	40	10
ATTIC / NO STORAGE	10	10
ATTIC / WITH STORAGE	20	10
ROOF (NO CEILING)	20	10
ROOF WITH CEILING	20	20
SNOW LOADS (SPP. RAFTER SIZES MAY NEED TO BE INCREASED FOR HEAVY SNOW LOADS)	25	-



ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
☉	CEILING LIGHT FIXTURE
☐	RECESSED LIGHT FIXTURE
☐	RECESSED SWIVEL LIGHT FIXTURE
☉	WALL MOUNTED LIGHT FIXTURE
☉	DOUBLE FLOOR LIGHT
☉	FLUORESCENT FIXTURE
☐	RECESSED MULTI-TUBE FLUORESCENT FIXTURE
☐	SURFACE MOUNTED MULTI-TUBE FLUORESCENT FIXTURE
○	110V OUTLET
○	220V OUTLET
○	DUPLEX OUTLET WITH GROUND FAULT INTERRUPT
⊖	CABLE OR TV OUTLET. OWNER TO PLACE THIS SYMBOL WHERE OUTLETS ARE DESIRED

☐	CEILING FAN OR CEILING FAN WITH LIGHT DUAL SWITCHES AND WIRING INDICATES FAN WITH LIGHT FIXTURE.
☐	CHANDLER
☐	SMOKE DETECTOR
☐	VANITY LIGHTS
☐	TACK LIGHTS
☐	EXHAUST FAN
☐	EXHAUST FAN WITH HEATER
☐	SWITCH WITH DIMMER CONTROL
☐	SINGLE POLE SWITCH
☐	4 WAY SWITCH
☐	3 WAY SWITCH
☐	SINGLE POLE SWITCH
☐	TELEPHONE OUTLETS - OWNER TO PLACE SYMBOL WHERE OUTLETS ARE DESIRED

ELECTRICAL PLAN

OTHER WIRING REQUIREMENTS NOT SHOWN INCLUDE ATTIC ROOF FANS, RANGE AND OVENS, VENT HOODS, HEAT & A/C BLOWER UNITS, A/C COMPRESSOR, DRYER, DISHWASHER, WIREPOOL, TUBS AND OTHER SIMILAR ITEMS.

EXTERIOR DUPLEX ELECTRICAL OUTLETS TO HAVE WEATHER PROOF COVERS.

MECHANICAL PLAN

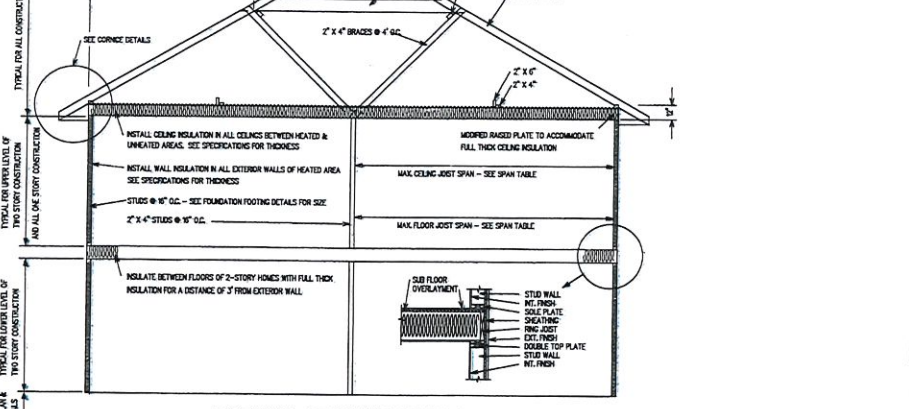
LOCATION OF FURNACE AND AC EQUIPMENT IS SHOWN ON THIS PLAN. HEAT LOSS/GAIN, CALCULATIONS, DUCT LAYOUT AND EQUIPMENT SPECIFICATIONS TO BE PROVIDED BY OTHERS.

PLUMBING PLAN

LOCATION OF WATER USING FIXTURES, HOSE BIBS AND WATER TAPS ARE SHOWN ON THIS PLAN. SEE PLANS BY OTHERS FOR WATER SUPPLY, VENTING AND DRAINAGE PIPING AND ROUTING. REFER TO SPECIFICATIONS FOR PLUMBING FIXTURE SELECTION.

PLUMBING SYMBOLS

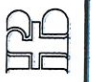
☐	HOSE BIB
☐	COLD WATER OUTLET
☐	HOT WATER OUTLET



TYPICAL FRAMING DETAIL
SCALE: 1/4" = 1'-0"



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DATE: _____
DRAWN BY: _____ CHECKED BY: _____
REVISED: _____

PROJECT NUMBER: _____
1521



City of Monroe
 215 N. Broad Street
 Monroe, GA 30655
 (770)207-4674

Plan Report

Plan NO.: HP-000033-2019

Plan Type: Historic Preservation

Work Classification: Certificate of Appropriateness

Plan Status: In Review

Apply Date: 10/11/2019

Expiration:

Location Address

Parcel Number

123 N LUMPKIN ST STE C, MONROE, GA 30655

M0140187A00

Contacts

DANIEL FLYNN **Applicant**
 123 N LUMPKIN ST STE C, MONROE, GA 30655
 (202)302-7163

Description: REQUEST FOR COA FOR SIGNS - HPC MTG 10/22/19 @ 6:00 PM - 215 S BROAD ST

Valuation: \$0.00
 Total Sq Feet: 0.00

Fees	Amount
Historic Preservation Request	\$10.00
Total:	\$10.00

Payments	Amt Paid
Total Fees	\$10.00
Credit Card	\$10.00
Amount Due:	\$0.00

Condition Name

Description

Comments



 Issued By:



 Plan_Signature_1

 Plan_Signature_2

October 11, 2019

 Date



 Date

 Date

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Historic Preservation ordinance, you are required to obtain a Certificate of Appropriateness (COA) for any exterior material change you wish to make to your property if your property is located within a historic district, or if the change would affect property in a historic district. Please see pages 3 and 4, Definitions.

The following steps must be taken in order to have your proposed change considered by the Historic Preservation Commission (HPC):

1. Stop by the Code Office at least 10 working days in advance of the next regular meeting of the HPC (the fourth Tuesday of each month at 6:00 pm), read the Historic Preservation Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$10.00 fee. If you request a "special meeting" at some date or time (other than the 4th Tuesday of every month), the fee is \$50.00. If you are requesting to demolish historic property, the fee is \$50.00 on the regular scheduled meeting.
4. Provide all documentation which will assist the HPC in deciding if your proposed change(s) are in keeping with the historic district standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives HPC members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the HPC looks forward to considering your request.

Please read the following directions for completing the Request for COA Application.

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the HPC to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the HPC's duties include taking into account the historic and architectural significance of the structure and maintaining maps showing the historic and architectural significance of structures in the Historic Districts.

In its review, the HPC shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positioning and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than seven (7) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A "material change in appearance" means a change that will affect either the exterior architectural or environmental features of a historic property or any structure, site, or work of art within a historic district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and
5. The erection, alteration, restoration, or removal of any building or other structure within a historic property or district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec. 8-4-2(f)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 8-4-2(b)].

“Exterior environmental features” means all those aspects of the landscape or the development of the site which affect the historical character of the property [Sec. 8-4-2(c)].

Ordinary maintenance or repair of any exterior architectural feature in or on a historic property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 8-4-81]

I acknowledge that I have read this material and will abide by the ordinances set forth.


Signature of Applicant


Date

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE HISTORIC PRESERVATION COMMISSION

Please read the Historic Preservation Ordinance (Code Sections 8-4-1 through 8-4-91). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 10/11/19

APPLICANT: DANIEL FLYNN

APPLICANT'S ADDRESS: 123 N. Lumpkin St. Monroe, GA

TELEPHONE NUMBER: 202-302-7163

PROPERTY OWNER: MOUNTAIN CREEK ENTERPRISES

OWNER'S ADDRESS: 630 Riverbend Road Monroe, GA 30655

TELEPHONE NUMBER: _____

PROJECT ADDRESS: 123 N. Lumpkin St. Monroe, GA

Brief description of project: Wall Sign + Projecting Sign

Wall Sign = 47" x 120" Projecting Sign = 41" x 17"

Both signs are constructed from HDU (High Density Urethane)

Colors are Black + White. Wall sign is single sided.

Projecting sign is double sided and is mounted on metal bracket.

(Continue on separate sheet, if necessary.)

Daniel Flynn
Applicant
Daniel Flynn

October 11, 2019
Date

Revised 6/29/17





