



Planning & Zoning Meeting

AGENDA

Tuesday, April 20, 2021

5:30 PM

215 N Broad Street Monroe Ga 30655

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **MINUTES OF PREVIOUS MEETING**

- [1.](#) Minutes of Previous Meeting - March 16, 2021
- [2.](#) Minutes of Previous Called Meeting - March 18, 2021

IV. **REPORT FROM CODE ENFORCEMENT OFFICER**

V. **PUBLIC HEARINGS**

- [1.](#) Request for COA - 100 Saratoga Dr
- [2.](#) Request for COA - 803 E Spring St
- [3.](#) Request for Variance for Additional Parking - 803 E Spring St
- [4.](#) Request for Rezone from PCD to PRD - 961 Good Hope Rd
- [5.](#) Request for COA for Sign - 716 W Spring St

VI. **RECOMMENDATIONS ON REQUESTS**

VII. **OLD BUSINESS**

VIII. **NEW BUSINESS**

IX. **ADJOURNMENT**

**MONROE PLANNING COMMISSION
MINUTES FOR MEETING
March 16, 2021**

Present: Randy Camp, Rosalind Parks, Mike Eckles, Chase Sisk, Nate Treadaway

Absent: None

Staff: Pat Kelley – Director of Planning and Code
Debbie Adkinson – Code Department Assistant
Brad Callender – Planning

Visitors: Michelle Plaster MD, Jon Hill, Tanner Aycock

CALL TO ORDER by Chairman Eckles at 5:30 pm.

Chairman Eckles asked for any changes, corrections or additions to the February 16, 2021 minutes.

To approve

Motion Parks, Second Sisk
Passed unanimously.

Chairman Eckles ask for a Code Officer Report.
Kelley: Nothing at this time

PH open 5:32 pm

The First Item of Business is for petition # VAR-000090-2021 for a Variance of Section 520, Table 3 for additional parking at 211 Baker Street. The applicant is CMH Real Estate LLC. The request is for additional parking outside the Zoning parameters. Code Department recommends approval without conditions.

Michelle Plaster MD spoke to the request. They are looking to expand the current footprint at the end of Spring St. They have added another physician that brings them to a total of 6 provider practice. They are expanding to the back of the property where they will add a Wellness Center that will have its own separate urgent care for people that are sick so as not to expose them to others that are not sick. This mainly for Covid patients. They need more parking spaces to accommodate the employees.

Chairman Eckles asked for any questions.
Treadaway if the entrance for this would be off Spring St?
Dr Plaster stated the building would be off Baker St
Treadaway asked if there would be a curb cut on Baker St.
Kelley stated there would.

Chairman Eckles asked for anyone to speak against the request. There was none.

PH closed at 5:36

Chairman Eckles entertained a motion.

To Approve

Motion Treadaway. Second Parks
Passed unanimously

Old Business: None

New Business: None

Chairman Eckles entertained a motion to adjourn.

Motion by Camp, Second Parks
Meeting adjourned at 5:37 pm

**MONROE PLANNING COMMISSION
MINUTES FOR ZOOM MEETING
March 18, 2021**

Present: Randy Camp, Rosalind Parks, Mike Eckles, Chase Sisk, Nate Treadaway

Absent: Rosalind Parks

Staff: Pat Kelley – Director of Planning and Code
Debbie Adkinson – Code Department Assistant
Brad Callender – Planner
Logan Propes – City Administrator

Visitors: Erin Blue

CALL TO ORDER by Chairman Eckles at 5:38 pm.

Chairman Eckles stated the minutes from February meeting had been approved in the March 16, 2021 meeting and the minutes of the March 16th meeting are not ready for approval.

Chairman Eckles ask for a Code Officer Report.
Kelley: Nothing at this time

PH open 5:39 pm

The First Item of Business is for petition # PCOM - 00093-2021 for a COA for exterior changes at 156 Martin Luther King Jr Blvd. The applicant is Tractor Supply Co. The request is for an addition of a greenhouse to house plants and associated retail items. Code Department recommends approval without conditions.

Erin Blue with Onyx Creative, architect of record for Tractor Supply spoke to the request. The Greenhouse will be within the existing fenced in area.

Treadaway asked if there were any other Tractor Supply’s that had components to them that helps to break up that façade.
Blue the greenhouse portion which has been proposed at this site is just that. With the translucent polycarbonate is all that has been done at other locations. They have done a frosted polycarbonate at other locations but it is not as ideal as a clear polycarbonate.

Chairman Eckles for any other questions.

Treadaway: is the polycarbonate going inside the fence.
Blue: Yes. They will be adding a motorized gate to the existing fence.
Eckles: Will the access be from inside or outside the building?

Blue: there will be both.

Sisk: Will you be having store front doors on the exterior?

Blue: Yes

Camp: Will there be a check out in new facility or will the checkout happen within the store?

Blue: There is a single point of sale that will be next to the double doors on front of the greenhouse.

Sisk: Will you be collecting water off the roof of the greenhouse?

Blue: The intent is for the greenhouse to drain into a gutter system that will discard at grade.

Treadaway: What about signage.

Blue: Signage is handled through the sign vendor. Signage will not be internally illuminated. It is as you see it in this proposal.

Kelley stated the sign would have to be permitted separately. The signage in our ordinance may preclude that.

Chairman Eckles asked if there was anyone present to speak against the request. There was none.

PH closed at 5:49

Chairman Eckles entertained a motion.

To Approve

Motion Camp, Second Sisk
Passed unanimously

Old Business: None

New Business: None

Chairman Eckles entertained a motion to adjourn.

Motion Sisk, Second Treadaway
Meeting adjourned at 5:50



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 04-01-2021
Description: Certificate of Appropriateness 100 Saratoga Dr.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA

Company of Purchase: NA

Recommendation: *Staff recommendation is denial of COA based on failure to meet design requirements as noted in the staff report.*

Background: This request is to develop a strip center. It is pedestrian in appearance in regard to site design and building placement and reflects an unimaginative design reminiscent of typical urban sprawl which our CDO was instituted to eliminate. This project has been anticipated for approximately 2 years+ with the developers having been made fully aware of the CDO and the requirement thereof. This property is not currently recognized as a distinct parcel by the city due to no subdivision plat being submitted for approval and recording.

Attachment(s): Application, staff report and supporting documents

**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: PCOM-000095-2021

DATE: March 26, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Ronald Anglin

PROPERTY OWNER: Lifeline Management Group LLC

LOCATION: Northwest corner of N Broad Street and Saratoga Drive – 100 Saratoga Drive

ACREAGE: ±1.610

EXISTING ZONING: B-3 (Highway Business District)

EXISTING LAND USE: Vacant and undeveloped

ACTION REQUESTED: The owner is requesting approval of a Certificate of Appropriateness application in order to allow construction of commercial strip shopping center building.

STAFF RECOMMENDATION: Staff recommends denial of this Certificate of Appropriateness request.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: April 20, 2021

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a commercial strip shopping center building. The proposed building is a typical strip shopping center style building that will have multi-colored brick veneer and glass storefront windows and doors. The proposed building will have 8 tenants.

PROPOSED PROJECT SUMMARY:

- Commercial Strip Shopping Center Building
 - Total Building Floor Area – 9,460 Sf
 - Tenant Spaces – 8
 - Proposed Façade – multi-colored brick veneer with glass storefront windows and doors

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "CORRIDOR DESIGN STANDARDS AND GUIDELINES" AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 Site Planning:

The proposed commercial strip shopping center building could be considered a good example of the type of development the Site Planning Requirements in Section 643A.1 of the Zoning Ordinance are attempting to discourage. Section 643A.1(1)(a) states, "*Creative site planning alternatives, such as cluster development, reclamation, mixed-use enterprises, planned centers and open space zoning, should be utilized to offer alternatives to linear strip development.*" As submitted, the proposed strip center layout is a typical suburban multi-tenant strip shopping center that does not reflect a creative site plan alternative. Given the size of the site, multiple buildings located throughout the site in lieu of one, single building could help break up the strip shopping center appearance without a loss in floor area.

The subject property is a lot that was subdivided without approval from the City. Prior to the issuance of any building permits, the developer must have a final plat approved in accordance with Development Regulations.

643A.2 – Architecture:

This proposed façade of the shopping center is multi-colored brick veneer with glass storefront windows and doors. The submitted conceptual elevations of the proposed building contain elements which appear to comply with the architectural requirements under Section 643A.2 of the Zoning Ordinance.

643A.3 – Pavement:

The applicant proposes to construct two entrances into the site. Parking is shown in the front and back of the proposed building. The parking area in the front exceeds the maximum forty-two (42) feet of pavement depth and does not comply with the Area Specific Criteria requirement under Section 643A.3(2) of the Zoning Ordinance. If the site design were modified as described above with multiple buildings, this could be a remedy to enable compliance with this requirement. The amount of parking provided is approximately 120% of the minimum parking spaces required for a retail shopping center.

643A.4 – Landscaping:

The submitted development plans include extensive landscaping which appears to comply with the landscaping criteria outlined in Section 643A.4 of the Zoning Ordinance.

643A.5 – Signs:

A signage plan was not included with the development plans. Any signs placed on the building or on the site will require approval of a Certificate of Appropriateness application by the Corridor Commission.

643A.6 – Illumination:

A lighting plan was not included with the development plans. Any lighting added to the site will be required to comply with Illumination requirements for the Corridor Design Standards and Guidelines outlined in Section 643A.6 of the Zoning Ordinance.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends denial of the requested Certificate of Appropriateness application to construct a commercial strip shopping center building. However, if the application is approved, staff does recommend the following conditions:

1. The developer shall revise the site development plans to comply with Site Planning requirements outlined in Section 643A.1 of the Zoning Ordinance. The revised site development plans shall also be revised to comply with Pavement requirements under Section 643A.3 of the Zoning Ordinance.
2. Prior to the issuance of any sign permits, the developer shall submit a Certificate of Appropriateness application for consideration of approval of either a master signage plan or for each individual sign.



City of Monroe
215 N. Broad Street
Monroe, GA 30655
(770)207-4674

Plan Report

Plan NO.: PCOM-000095-2021

Plan Type: Planning Commission

Work Classification: Certificate of Appropriateness

Plan Status: Submitted

Apply Date: 03/17/2021

Expiration:

Location Address

100 Saratoga Dr, Monroe, GA 30656

Contacts

RONALD ANGLIN **Applicant**
4747 STONE MOUNTAIN HWY STE 100, LILBURN, GA 30047
(678)410-9195 smoothie683@gmail.com

Description: Request for COA for New Development - P&Z MTG 4/20/2021 @ 5:30 PM
215 N Broad Street

Valuation: \$0.00
Total Sq Feet: 0.00

Fees	Amount
Planning Commission Regular Meeting (COA)	\$50.00
Total:	\$50.00

Payments	Amt Paid
Total Fees	\$50.00
Credit Card	\$50.00
Amount Due:	\$0.00

<u>Condition Name</u>	<u>Description</u>	<u>Comments</u>
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Issued By: Debbie Adkinson

March 17, 2021

Date

Plan_Signature_1

Date

Plan_Signature_2

Date

REQUEST FOR A CERTIFICATE
OF APPROPRIATENESS

Under Monroe’s Zoning ordinance, you are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change you wish to make to your property if your property is located within a Corridor Design Overlay District. Please see pages 45 through 52 of the Zoning Ordinance.

The following steps must be taken in order to have your proposed change considered by the Planning Commission:

1. Stop by the Code Office at least 45 working days in advance of the next regular meeting of the Planning Commission (the Third Tuesday of each month at 5:30 pm), read the Zoning Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$50.00 fee. If you request a “special meeting” at some date or time (other than the 3rd Tuesday of every month), the fee is \$100.00.
4. Provide all documentation which will assist the Planning Commission in deciding if your proposed change(s) are in keeping with the Corridor Design Overlay District standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives Planning Commission members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the Planning Commission looks forward to considering your request.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE PLANNING COMMISSION

Please read the Zoning Ordinance (Corridor Sections 643-1 through 643A.6). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: March 4, 2021

APPLICANT: Ronald Anglin

APPLICANT'S ADDRESS: 4747 Stone Mountain Highway, Suite 100
Lilburn, GA 30047

TELEPHONE NUMBER: 678-410-9195

PROPERTY OWNER: Lifeline Management Group LLC

OWNER'S ADDRESS: 4747 Stone Mountain Highway, Suite 100
Lilburn, GA 30047

TELEPHONE NUMBER: 678-410-9195

PROJECT ADDRESS: Broad North Street AKA: 100 Saratoga Dr
Monroe, GA 30655

Brief description of project: Strip Center with 8 Units

(Continue on separate sheet, if necessary.)

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the Planning Commission to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the Planning Commission duties include taking into account all aspects of the exterior of the structure.

In its review, the Planning Commission shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positionings and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than fifteen (15) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A “material change in appearance” means a change that will affect either the exterior architectural or environmental features of a corridor property or any structure, site, or work of art within a corridor design overlay district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and

- 5. The erection, alteration, restoration, or removal of any building or other structure within a corridor district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec 643.4(4) (a)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 210(65)].

“Landscaping/landscape area” means a portion of lot or land area, either natural or modified for aesthetic or functional purposes through grading and planting, consisting of vegetation including but not limited to trees, shrubs, ground covers, grass, flowers, decorative rock, bark, mulch and other similar materials. [Sec. 210(86)].

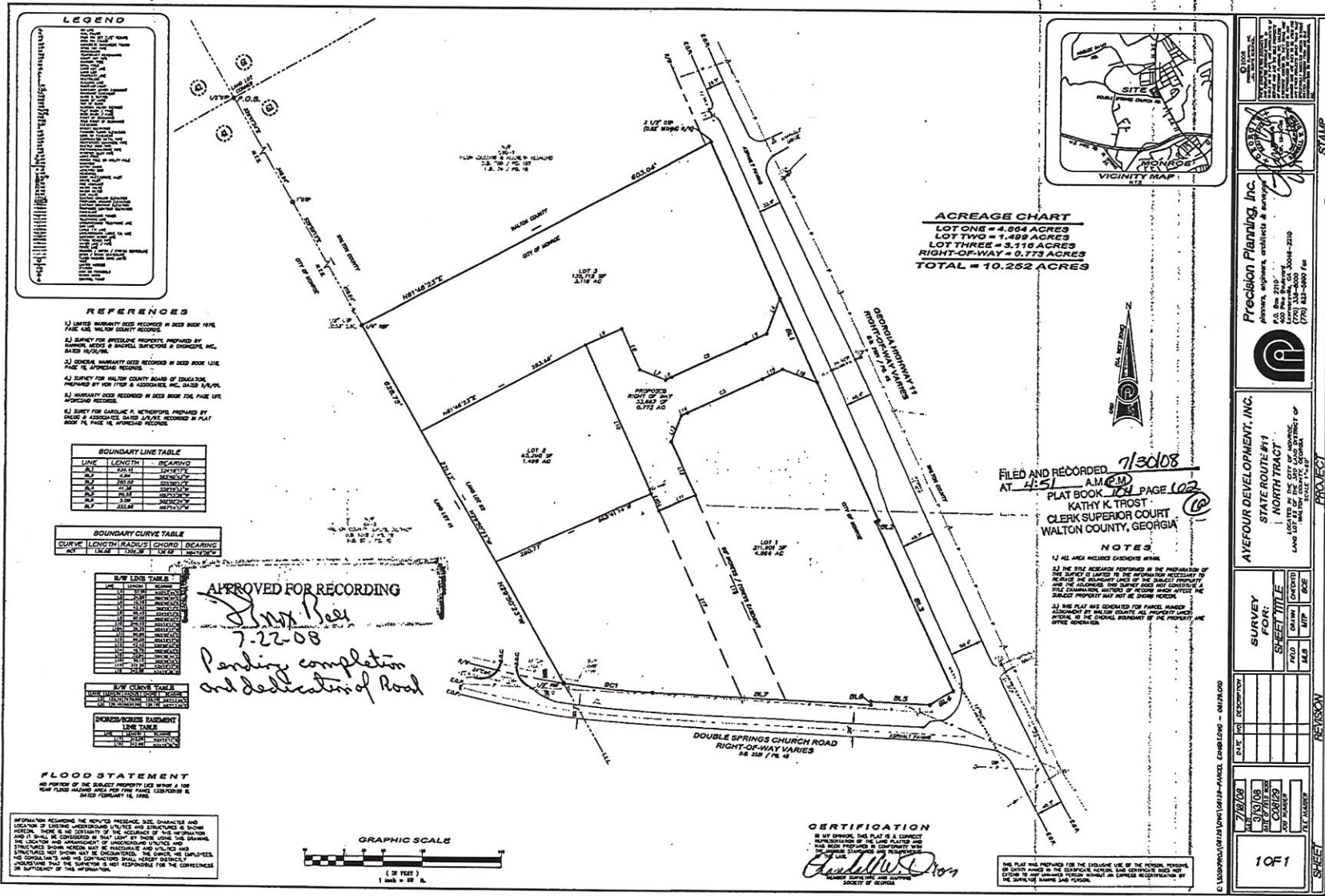
Ordinary maintenance or repair of any exterior architectural feature in or on a corridor property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 643.4(3) (b)]

Ran Aragon
Applicant

Date: 3-4-2021

Revised 9/23/19

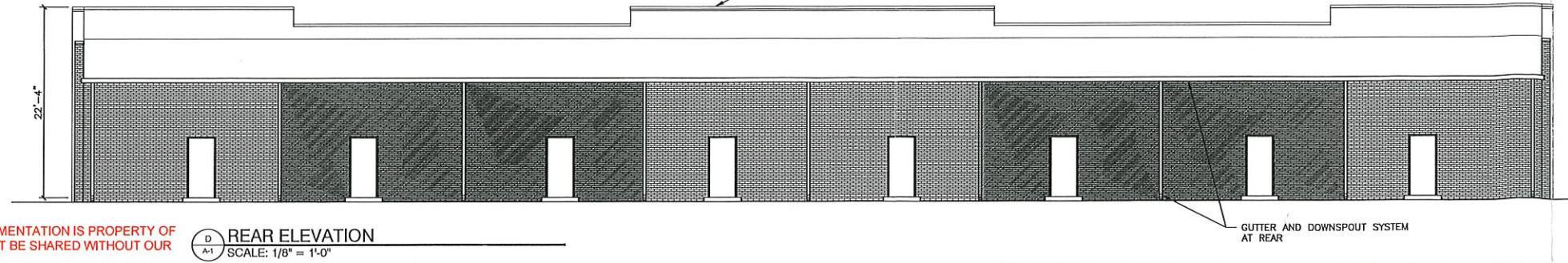
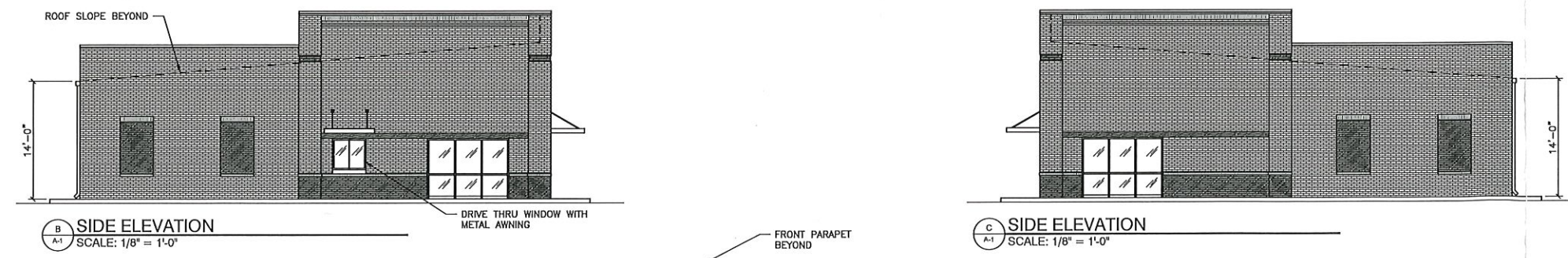
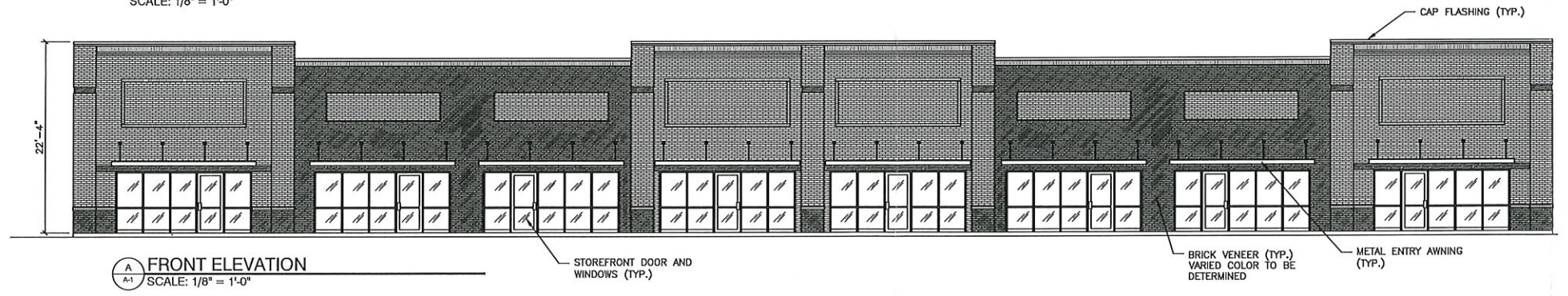
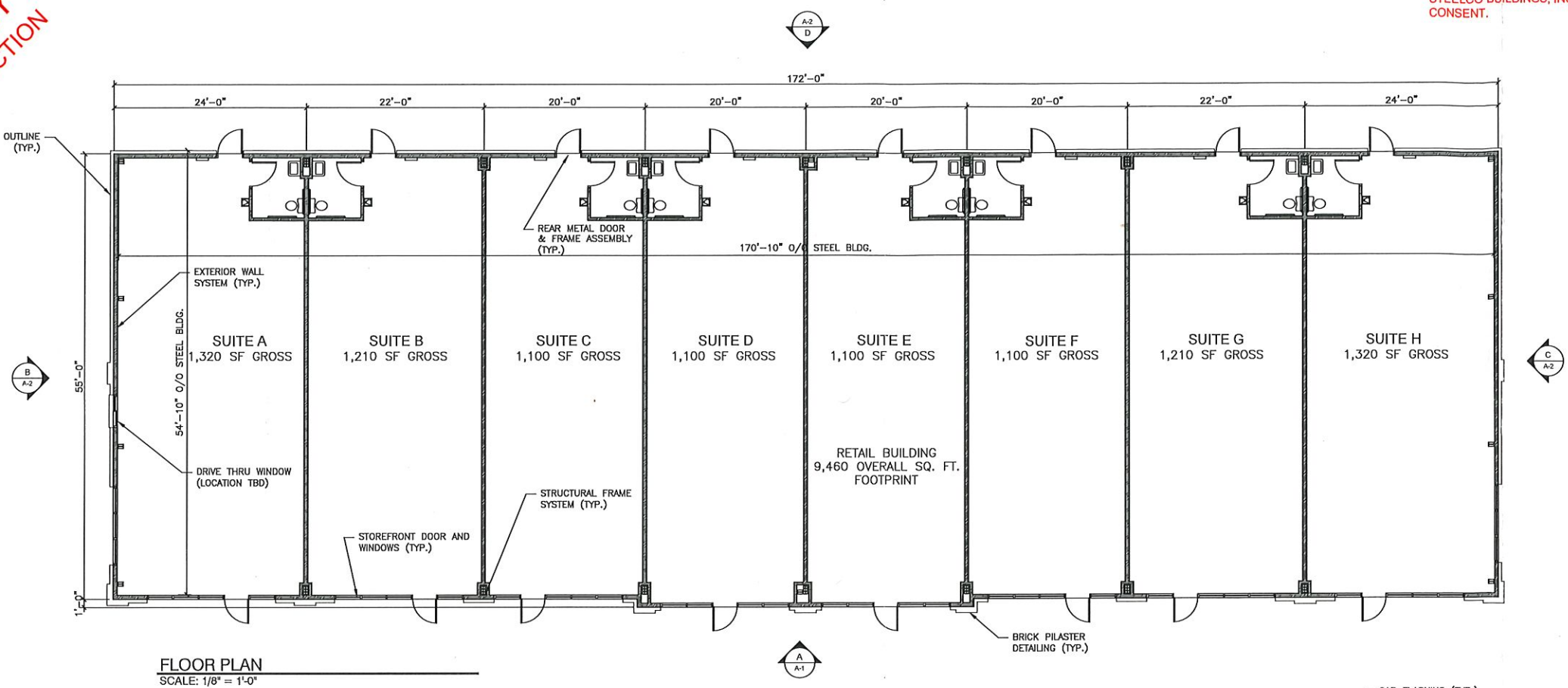




CONCEPT ONLY
NOT FOR CONSTRUCTION

THIS PROPOSAL AND ASSOCIATED DOCUMENTATION IS PROPERTY OF STEELCO BUILDINGS, INC. AND SHALL NOT BE SHARED WITHOUT OUR CONSENT.

SteelCo BUILDINGS, INC.
PO Box 1447 • Covington, GA 30015
ph 678-212-2190
www.steelcobuildings.com



BY	
DATE	
REVISION	
DESCRIPTION	

REVISION	DATE	DESCRIPTION

SHEET TITLE
CONCEPTUAL PLAN & ELEVATIONS

PROJECT NAME & LOCATION
MONROE BUILDING

Monroe, Georgia

SCALE	3/16" = 1'-0"
PROJECT NO	000
BY	KRB
DATE	12-2-2020
A-1	
SHEET	

THIS PROPOSAL AND ASSOCIATED DOCUMENTATION IS PROPERTY OF STEELCO BUILDINGS, INC. AND SHALL NOT BE SHARED WITHOUT OUR CONSENT.

CONCEPT ONLY
NOT FOR CONSTRUCTION

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PROTECT AND MAINTAIN SERVICE IN ALL UTILITIES ENCOUNTERED, UNDERGROUND AND ABOVE GROUND.
2. THE CONTRACTOR SHALL EXECUTE THE DEMOLITION PART OF HIS CONTRACT IN A MANNER WHICH WILL PREVENT DAMAGE TO EXISTING FACILITIES OR CONSTRUCTION AND IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE.
3. DEMOLISHED MATERIAL & DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF. RUBBISH SHALL NOT BE ALLOWED TO ACCUMULATE.
4. DAMAGE TO ANY ITEMS THAT ARE TO REMAIN IN SERVICE DURING AND AFTER DEMOLITION SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
5. USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR, TO THE LOWEST LEVEL POSSIBLE.
6. EXISTING CONDITIONS ARE SHOWN FROM REFERENCE DRAWINGS. IF ADDITIONAL PIPING/STRUCTURES ARE ENCOUNTERED, OR ACTUAL LOCATION OF EXISTING STRUCTURES ARE OTHER THAN SHOWN, CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER PRIOR TO DEMOLITION.
7. CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL DEMOLITION PERMITS.
8. ENVIRONMENTAL PROTECTION AGENCY PERMITS ARE REQUIRED FOR ALL PROPERTIES CONTAINING HAZARDOUS MATERIALS.
9. SAFETY & PROTECTION: CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE THE NECESSARY PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO ALL EMPLOYEES ON THE WORK AND OTHER PERSONS OR ORGANIZATIONS WHO MAY BE EFFECTED THEREBY.
10. CONSTRUCTION IS TO BE LIMITED TO AREAS SO INDICATED ON THE DRAWINGS AND AS DESIGNATED BY OTHERS. OFFSITE AREAS SHALL BE ENCLOSED UPON ONLY BY WRITTEN PERMISSION OR EASEMENT. THIS PROVISION APPLIES TO BOTH PERSONNEL AND EQUIPMENT.
11. ANY NATURAL, NATIVE AREA OR TREE OUTSIDE OF THE DESIGNATED CONSTRUCTION AREA SHALL BE RESTORED TO A SATISFACTORY CONDITION AS DETERMINED BY OWNER, IF DAMAGED.
12. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND LAWS OF LOCAL, MUNICIPAL, STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
13. SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT (NPDES IV.D.2.c(1)).
14. CONTRACTOR SHALL STAGE DEMOLITION & CONSTRUCTION IN A MANNER THAT WILL MINIMIZE DISRUPTION OF VEHICULAR AND PEDESTRIAN TRAFFIC FLOW.
15. CONTRACTOR RESPONSIBLE FOR PROVIDING REQUIRED TRAFFIC CONTROL AND SAFETY FEATURES DURING CONSTRUCTION. ALL TRAFFIC CONTROL DEVICES, LANE CONTROL AND TRAFFIC CONTROL SHALL COMPLY WITH MUTCD STANDARDS AND GEORGIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATION, LATEST EDITION.
16. ALL EXISTING SIGNS SHALL BE RE-SET OR REPLACED IF DAMAGED OR RELOCATED BY CONSTRUCTION ACTIVITIES. ALL STOP BARS, CROSSWALKS, AND OR LANE MARKINGS REMOVED OR ALTERED BY PROJECT CONSTRUCTION ACTIVITIES SHALL BE REPLACED WITH EQUIVALENT MATERIALS THAT MEET LOCAL STANDARDS.
17. EXISTING UTILITY SERVICE IS NOT TO BE INTERRUPTED BY ANY PHASE OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITY FACILITIES WILL BE REPLACED/REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
18. EXISTING STRUCTURES DESIGNATED TO REMAIN ARE NOT TO BE DAMAGED DURING CONSTRUCTION. ANY DAMAGED STRUCTURES ARE TO BE REPLACED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
19. ALL WATER METERS, WATER AND GAS VALVES, AND EXISTING MANHOLES IN PROPOSED PAVING SHALL BE RAISED/LOWERED TO MATCH PROPOSED GRADE.
20. CONTRACTOR(S) SHALL PROTECT EXISTING POWER AND UTILITY POLE FOOTINGS WHICH ARE DESIGNATED TO REMAIN.

GRADING AND EARTHWORK NOTES

1. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY PROTECTIVE TREE FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
2. ALL EARTHWORK OPERATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA CONSTRUCTION STANDARDS, PART 1926 SUBPART P, EXCAVATIONS, TRENCHING, AND SHORING, AND SUBPART O, MOTOR VEHICLES, MECHANIZED EQUIPMENT, AND MARINE OPERATIONS, AND SHALL BE CONDUCTED IN A MANNER ACCEPTABLE TO ENGINEER.
3. FILL MATERIALS SHALL CONSIST OF CLEAN SOIL, FREE OF ORGANIC OR DELETERIOUS MATERIALS, ROCKS, OR BROKEN PIECES OF CONCRETE LARGER THAN THREE INCHES IN SIZE, OR OF ANY OTHER FOREIGN OBJECTS THAT COULD IMPEDE THE COMPACTION RESULTS.
4. FILL MATERIALS SHALL BE SPREAD EVENLY IN HORIZONTAL LAYERS AND COMPACTED IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
5. SEE GEOTECHNICAL ENGINEER FOR RECOMMENDATIONS CONCERNING PROPER PLACEMENT AND COMPACTION OF STRUCTURAL FILL.
6. DISPOSAL OF TOPSOIL WILL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. ALL LANDSCAPE AREAS ARE TO RECEIVE MINIMUM 4" OF TOPSOIL.
7. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING SITE CONDITIONS BY SITE VISITATION, DETAILED REVIEW OF ALL CURRENT SITE PLANS, PREVIOUS INFORMATION OR SURROUNDING LAND USES AND ZONING CONDITIONS OR OTHER MATERIALS TO FULLY ASCERTAIN THE SCOPE OF THE WORK IMPLIED WITHIN THE PLANS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT AND MAINTENANCE OF HORIZONTAL AND VERTICAL BENCHMARKS THROUGHOUT THE DURATION OF THE PROJECT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AN "AS-BUILT" SURVEY OF ALL SITE IMPROVEMENTS INCLUDING WATER AND FIRE PROTECTION SYSTEMS; SAID "AS-BUILT" SURVEY SHALL BE PERFORMED BY AN EXPERIENCED GEORGIA REGISTERED LAND SURVEYOR AND SHALL ILLUSTRATE ALL FINAL GRADE ELEVATIONS, HORIZONTAL AND VERTICAL RELATIONSHIPS BETWEEN BUILT STRUCTURES, PIPING, DETENTION PONDS, FINISHED GRADIENTS OF PIPES AND MATERIAL TYPES. THE CONTRACTOR SHALL RENDER THE AS-BUILT DRAWINGS AT AN ACCEPTABLE MEASURED SCALE(S) AND SHALL DELIVER A REPRODUCIBLE COPY OF SAID "AS-BUILT" TO THE OWNER PRIOR TO APPLICATION OF FINAL PAYMENT.
10. A GEOTECHNICAL ENGINEER, EMPLOYED BY THE OWNER WILL MONITOR ALL EARTHWORK OPERATIONS AND PROVIDE TESTING AS TO THE STANDARDS AND QUALITY OF BEARING SURFACES AND THE MINIMUM QUALITY STANDARDS OF MATERIALS. THE GEOTECHNICAL ENGINEER SHALL MAKE THE SOLE INTERPRETATION OF ROCK AND UNSUITABLE SOILS AND SHALL MAKE RECOMMENDATIONS AS TO ITS REMOVAL OR FINAL DISPOSITION.
11. THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO THE PROJECT SITE AND WITHIN THE LIMITS OF THE EASEMENTS SHOWN AND SHALL PROTECT ADJACENT PROPERTIES AND PROPERTY OWNERS FROM ENCRoACHMENT BY SOIL EROSION.
12. THE SCOPE OF WORK IMPLIED WITHIN THIS PLAN INCLUDES ALL GRADING OPERATIONS FOR FINAL GRADE ELEVATIONS AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR ALL EARTH QUANTITIES, GRADING OPERATIONS, AND MISCELLANEOUS HAULING AND/OR DISPOSAL OPERATIONS TO RENDER THE SITE TO THE FINAL CONTOUR AND GRADE ELEVATIONS SHOWN ON THE PLAN. FILL REQUIRED SHALL BE FURNISHED, INSTALLED, AND COMPACTED AS PART OF CONTRACTOR'S BASE BID. IF "EXCESS" CUT IS GENERATED FROM EXCAVATION, SAID "EXCESS" SHALL BE DISTRIBUTED AND FINE GRADED AND GRASSED ON DESIGNATED OR APPROVED AREA OF THE OWNER'S PROPERTY OR HAULED OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.
13. NO BURNING ALLOWED. ALL TREES MUST BE GROUND. MULCH MAY BE USED FOR TEMPORARY EROSION CONTROL AND SHOULD BE INSTALLED INSIDE ROWS OF SILT FENCE AND BETWEEN DOUBLE ROWS OF SILT FENCE.

GENERAL NOTES

1. THE PROPERTY IS LOCATED ON LAND LOT 62 - DISTRICT 3.
2. THE SURVEYED SITE AREA IS 1.61 AC.
3. THE SUBJECT PROPERTY DOES NOT CONTAIN A DESIGNATED 100 YEAR FLOOD HAZARD AREA AS DEPICTED ON F.I.R.M. PANEL 13297C0130E, EFFECTIVE DECEMBER 8, 2016.
4. ALL CURB DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
5. ALL CONSTRUCTION TO COMPLY WITH CITY OF MONROE STANDARDS.
6. SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, AND OTHER ARCHITECTURAL DETAILS.
7. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
8. EACH BUILDING AND ITS RELATIVE LOCATION TO PROPERTY LINES AND OTHER STRUCTURES SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) WITH GEORGIA STATE AMENDMENTS WITH REGARDS TO THE HEIGHT AND AREA REQUIREMENTS OF IBC TABLE 503 AND THE FIRE RESISTANCE AND HORIZONTAL SEPARATION REQUIREMENTS OF IBC TABLES 601 AND 602.
9. ALL UTILITY LINES SHALL BE LOCATED UNDERGROUND.
10. CONTRACTOR SHALL CALL DEVELOPMENT INSPECTIONS TO SCHEDULE A PRE CONSTRUCTION MEETING PRIOR TO THE START OF ANY CONSTRUCTION.
11. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION FOR ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT PRIOR TO CONSTRUCTION OF THE WALLS.
12. ALL WORK PERFORMED ON THE RIGHT OF WAY MUST BE IN ACCORDANCE WITH THE CITY/COUNTY'S REQUIREMENTS AND IS SUBJECT TO THEIR INSPECTIONS AND APPROVALS.
13. NOTIFY CITY OF MONROE INSPECTIONS 48 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
14. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
15. NO OUTSIDE STORAGE PROPOSED. THIS INCLUDES SUPPLIES, EQUIPMENT, VEHICLES, PRODUCTS, ETC.
16. ALL CONSTRUCTION TO COMPLY WITH CITY OF MONROE STANDARDS AND SPECIFICATIONS.
17. ACCEPTANCE AND/OR SUBSEQUENT ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF MONROE, WALTON COUNTY, OR PRECISION PLANNING, INC. OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS, JURISDICTIONAL WATER OF THE STATE, AREAS OF THREATENED/ENDANGERED SPECIES, OR AREAS OF HISTORICAL SIGNIFICANCE. IT IS THE OWNER'S RESPONSIBILITY TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR ANY REQUIRED APPROVALS AND PERMITS.
18. SIGNS, LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE PERMIT IS REQUIRED FOR EACH SIGN.

UTILITY NOTES:

1. ALL UTILITY PIPING TO BE IN ACCORDANCE WITH ALL CITY OF MONROE REQUIREMENTS.
2. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY. CALL THE UTILITIES PROTECTION CENTER AT 811 BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THRU FRIDAY.
3. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO EXCAVATION OR DEMOLITION. ADDITIONAL UTILITIES MAY NOT BE SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR LOCATIONS SHOWN. FIBER OPTICS LINES MAY EXIST ON SITE CONSULT OWNER FOR LOCATIONS PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
4. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, HAVE REPLACED OR REPAIRED THE UTILITIES TO THEIR ORIGINAL OR BETTER CONDITION AND QUALITY, AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONTACTING ALL AFFECTED UTILITIES PRIOR TO CONSTRUCTION.
5. MINIMUM COVER FOR ALL WATER LINES SHALL BE 48 INCHES.
6. A MINIMUM HORIZONTAL SEPARATION OF 10' SHALL BE MAINTAINED BETWEEN WATER LINES AND SANITARY SEWERS. AN 18" MINIMUM VERTICAL SEPARATION SHALL BE MAINTAINED AT CROSSINGS. WHEN CROSSING A WATERLINE OR SEWER LINE, PIPE JOINTS SHALL BE PLACED AS FAR AWAY AS POSSIBLE FROM THE OTHER PIPE.
7. FIRE HYDRANTS AND MAINS ARE TO BE INSTALLED, FLUSHED, AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
8. HYDRANTS ARE TO BE INSTALLED SO THAT THE LARGE FIRE DEPT. CONNECTION FACES THE STREET. THAT SAME CONNECTION IS TO BE NO LESS THAN 18" OR MORE THAN 36" ABOVE FINISHED GRADE. HYDRANTS LOCATED IN PARKING AREAS SHALL BE PROTECTED BY BARRIERS THAT WILL PREVENT PHYSICAL DAMAGE BY VEHICLES. (NFPA 1141 3-6.5, 3-6.6 AND GCF0-37.)
9. ALL WORK TO BE DONE IN ACCORDANCE WITH CITY OF MONROE DESIGN STANDARDS. ACTUAL FIELD CONDITIONS COULD DICTATE MORE STRINGENT REQUIREMENTS, IF DEEMED NECESSARY BY DESIGN PROFESSIONAL.
10. CURB SHALL BE IN PLACE PRIOR TO INSTALLATION OF WATER MAIN.
11. NOTE TO CONTRACTOR: VALVES AND FITTINGS MAY NOT BE DRAWN TO SCALE. VALVES ARE NOT TO BE INSTALLED UNDERNEATH ROAD PAVING. CONSTRUCTION OF WATER AND SEWER LINES MAY REQUIRE INSTALLATION OF MORE FITTINGS THAN ARE SHOWN ON THE PLANS.
12. ALL NEW UTILITY LINES ARE TO BE LOCATED UNDERGROUND.

STORMWATER NOTES

1. STORM WATER MANAGEMENT FOR THIS PROJECT WILL BE PROVIDED ON ADJACENT PARCEL M0040005.
2. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED, AND, 2) THE APPROPRIATE PLAN SHEET [] DOES / [X] DOES NOT (CIRCLE APPROPRIATE BOX) INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS, AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.
3. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORM WATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTIONS AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTIONS, SILT AND DEBRIS, AND OPERATIONAL.
4. CONTOURS ARE SHOWN AT 2 FOOT INTERVALS.
5. GRADE ALL HANDICAP RAMPS TO A 1:2 SLOPE TO TOP OF CURB.
6. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS INTO STORM INLETS.
7. MAXIMUM SLOPE FOR CUT OR FILL IS 2H:1V EXCEPT EARTHEN DAM EMBANKMENTS SHALL BE 3H:1V.
8. TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
9. ALL ALUMINUM-COATED TYPE 2 STEEL PIPE OR ALUMINUM ALLOY PIPE, WHERE APPLICABLE, WHICH WILL CARRY A LIVE STREAM, SHALL HAVE PAVED INVERTS IN ACCORDANCE WITH AASHTO M-190, TYPE C, EXCEPT THAT THE PIPE NEED NOT BE FULLY COATED. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
10. HDPE PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO M7, TYPE S & D. CONNECTIONS SHALL USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-477. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
11. ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH A RUBBER GASKET CONFORMING TO ASTM C-443. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76 CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-D, GEORGIA DOT SPECIFICATION, TABLE NO. 1. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
12. DEVELOPER TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED. (THIS RESPONSIBILITY OF ASSIGNED BY CONTRACT TO THE CONTRACTOR).
13. CITY OF MONROE ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. CITY OF MONROE DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE COUNTY RIGHT-OF-WAY.
14. 30' BMP ACCESS EASEMENT TO BE CLEARED AND GRUBBED.
15. ALL CMP SHALL BE ALUMINIZED TYPE 2 STEEL, 14GA MIN. AND SHALL MEET ASTM 1760, A929, AASHTO M36, M274.
16. ALL STORM SEWER PIPES AND CULVERTS SHALL BE INSTALLED PER THE GEORGIA STORMWATER MANAGEMENT MANUAL (2017 EDITION) AND CITY OF MONROE STORM SEWER STANDARDS.
17. ALL INSTALLATIONS ARE SUBJECT TO INSPECTION BY CITY OF MONROE.
18. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING 3/4 FULL VOLUME
19. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY CONSTRUCTION OR GRADING.
20. A 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK IS TO BE MAINTAINED ADJACENT TO ALL STREAMS.
21. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
22. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF 10 FEET OR GREATER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
23. A REVISION TO THE EC PLAN IS REQUIRED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, THAT WILL HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT, OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING POLLUTANT DISCHARGE.

FIRE DEPARTMENT NOTES

1. A GEORGIA CERTIFICATE OF COMPETENCY HOLDER FOR AUTOMATIC FIRE SPRINKLER SYSTEMS WILL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE UNDERGROUND SUPPLY PIPING, STARTING AT THE POINT WHERE THE PIPING IS SOLELY DEDICATED TO FIRE PROTECTION (HB 1491).
2. MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION; I.E., IN TIMES OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET. THIS ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1 AND GCF0-15)
3. DISABLED ACCESSIBLE ROUTE SHALL START AT HANDICAPPED PARKING AND GO INTO THE PRIMARY ENTRANCE OF ALL NEW OR RENOVATED BUILDINGS OR TENANT SPACES. IT IS ALSO REQUIRED THAT THE PARKING SPACE AND ITS ADJACENT AISLE BE RELATIVELY LEVEL; THAT IS, HAVE LESS THAN A 1:50 SLOPE, LESS THAN 2:1.
4. OUTDOOR RAMPS & THEIR APPROACHES SHALL BE DESIGNED SO THE WATER WILL NOT ACCUMULATE ON WALKING SURFACES PER 120-3-20-.19(b), GEORGIA ACCESSIBILITY CODE.
5. (FIRE DEPARTMENT CONNECTIONS) IF INSTALLED UNDERGROUND SHALL HAVE A LISTED CHECK VALVE, AN AUTO-D RIP VALVE, A SIGN ON A PLATE OR FITTING READING, "AUTO-SPRINKLER OR AUTO-SPRINKLER/STANDPIPES", AND HOSE CONNECTIONS SHALL HAVE STANDARD THREADS AS SPECIFIED IN NFPA 1963.
6. (PLACEMENT OF FIRE HYDRANTS) SHALL BE A MINIMUM OF 3 FT. AND A MAXIMUM OF 15 FT. FROM THE BACK OF THE CURB OR ROAD EDGE WITH THE LARGE FIRE DEPARTMENT CONNECTION FACING THE NEAREST FIRE DEPARTMENT ACCESS POINT AND SET A MINIMUM OF 18" AND A MAXIMUM OF 36" ABOVE FINISHED GRADE TO THE CENTER OF THE LARGE FIRE DEPARTMENT CONNECTION. AUTHORITY HAVING JURISDICTION.
7. FIRE HYDRANTS AND WATER MAINS ARE TO BE INSTALLED, FLUSHED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
8. DURING CONSTRUCTION AND FOR PERMANENT ACCESS, ROADWAYS CONSTRUCTED ON AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED PER INTERNATIONAL FIRE CODE, CHAPTER 5, SECTION 503.2.3, 2012 EDITION.
9. EVERY DEAD-END ACCESS ROAD IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. INTERNATIONAL FIRE CODE, CHAPTER 5 SECTION 503.2.5, 2012 EDITION.
10. (TRANSFORMER PAD) SHALL COMPLY WITH THE REQUIREMENTS OF GEORGIA STATE MINIMUM FIRE SAFETY STANDARDS. MODIFICATION TO CHAPTER 7, SECTION 7.1.11, NFPA 101 LIFE SAFETY CODE, 2012 EDITION.
11. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY OR ANY PORTION OF THE EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. INTERNATIONAL FIRE CODE, CHAPTER 5, SECTION 503.1.1, 2012 EDITION.

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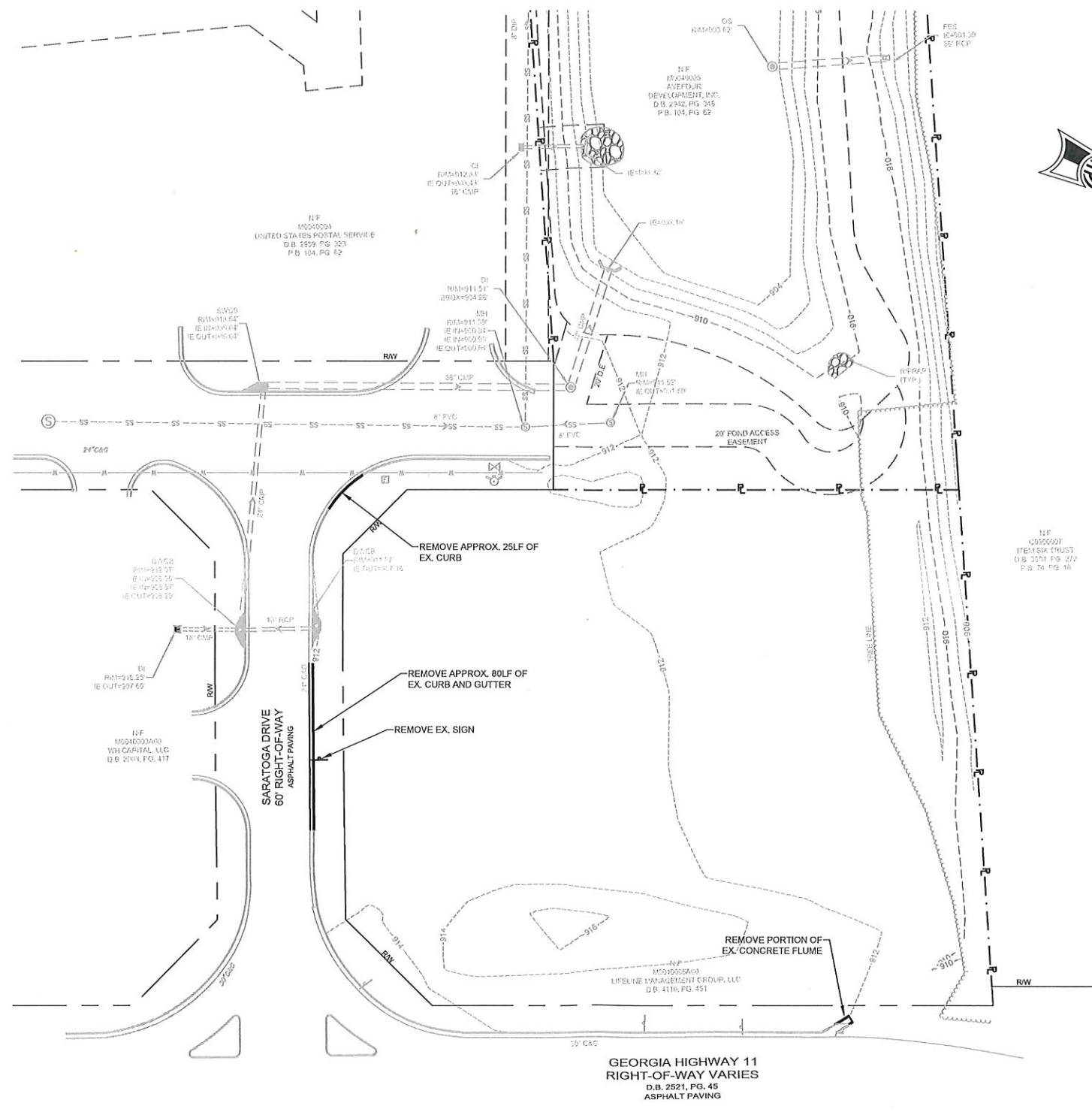
NORTH HWY 11
COMMERCIAL
TRACT
LAND LOT 62 - DISTRICT 3, PARCEL M4-5A
N. BROAD ST.
MONROE, GA 30656

GENERAL NOTES

DESIGN	CD	CD	TP
DRAWN	CD	CD	TP
CHECKED	CD	CD	TP
SHEET TITLE	CD	CD	TP
RELEASE			

DATE: 2/22/2021
DATE: C20174
FPI PROJECT NO.
C0.1

FILE PATH: E:\PROJECTS\2020\14-LA-TELCO-JMY-11\NORTHMONROE7A_C01_COVDWG-CRIS DAWSON
PLOT DATE: 2/22/2021 2:52 PM



- NOTES:**
1. THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES PER FIRM PANEL 13297C0130E, EFFECTIVE DECEMBER 8, 2016.
 2. WETLANDS DO NOT EXIST ON OR WITHIN 200 FEET OF THE PROJECT SITE.
 3. STATE WATERS DO NOT EXIST ON OR WITHIN 200 FEET OF THE PROJECT SITE.

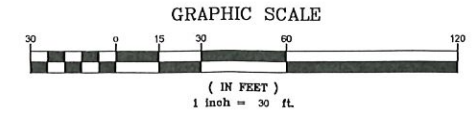
UTILITY DISCLAIMER
 EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. DAMAGE TO EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.

PROPERTY ZONING: B-3

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY INDISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

OWNER / DEVELOPER
 LIFELINE MANAGEMENT GROUP LLC
 4747 STONE MOUNTAIN HWY STE 100
 LILBURN, GA 30047
 CONTACT: PAUL GOURLEY
 PHONE: 678-212-2190

ENGINEER
 PRECISION PLANNING, INC.
 400 PIKE BOULEVARD
 LAWRENCEVILLE, GA 30046
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NORTH HWY 11 COMMERCIAL TRACT
 LAND LOT 62 - DISTRICT 3, PARCEL M4-5A
 N. BROAD ST.
 MONROE, GA 30656

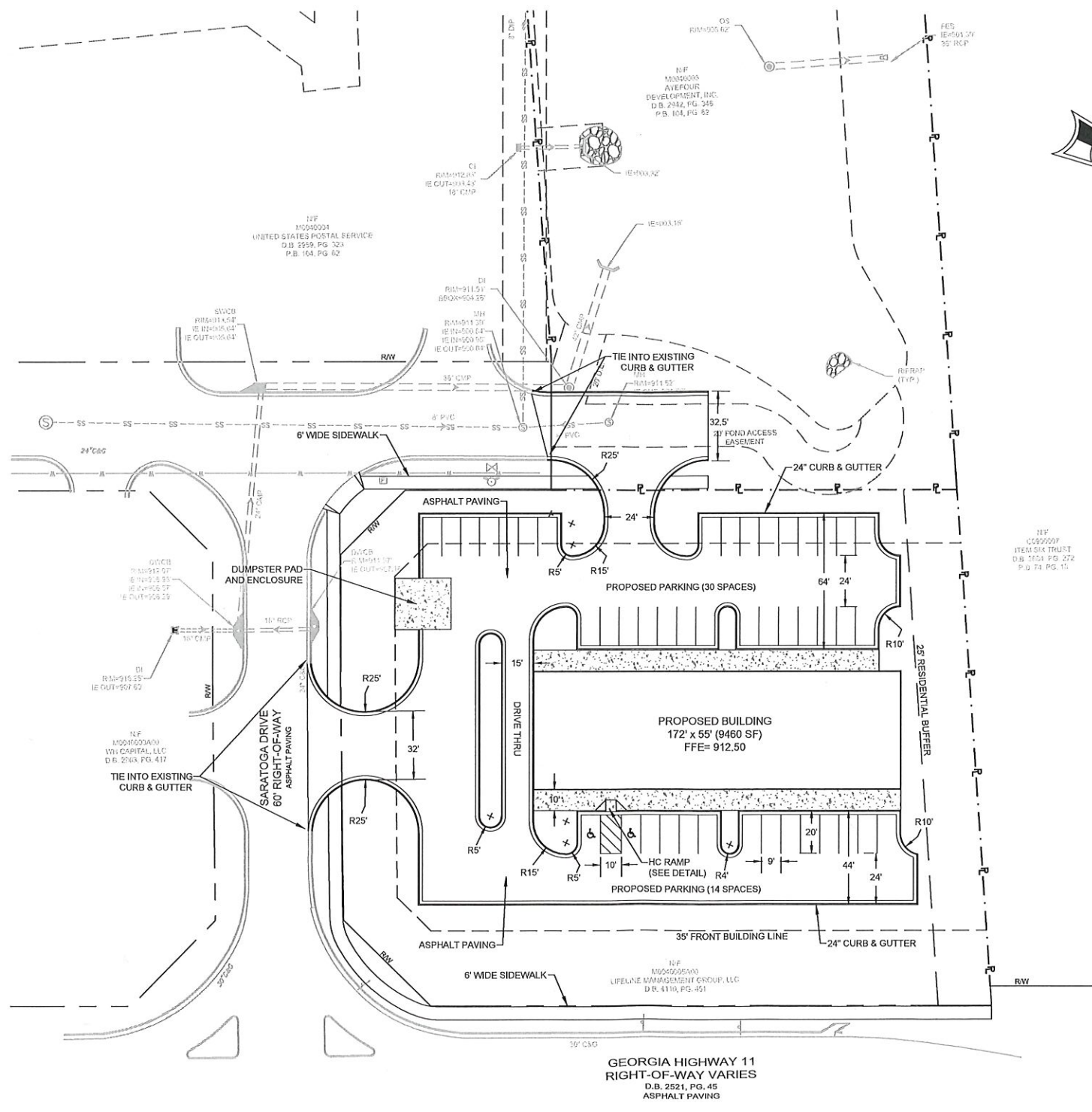
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DATE: 2/22/2021
 DATE: C20174
 PPI PROJECT NO. C1.1

RELEASE



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DEVELOPMENT SERVICES PERMITTING DISCLAIMER
 THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING, HAVE BEEN MET. THE ONUS IS ON THE OWNER / DEVELOPER / BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, POLICES, STANDARDS OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

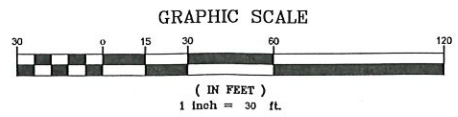
OSHA DISCLAIMER
 CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. PROPER SAFETY PROCEDURES ARE OF SPECIAL CONCERN ON THIS PROJECT CONSIDERING THAT WORKERS WILL BE IN OPEN TRENCHES FOR A PORTION OF THE SCOPE OF WORK ON THIS SITE.

WETLAND PROTECTION
 APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF MONROE FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLANDS DISTURBANCE.

UTILITY DISCLAIMER
 EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. DAMAGE TO EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.

NOTE:
 NO PORTION OF THIS PROPERTY LIES WITHIN A DESIGNATED FLOOD PLAIN HAZARD AREA ACCORDING TO FIRM PANEL NO. 13297C0130E, DATED DECEMBER 8, 2016.

PROPERTY ZONING: B-3



OWNER / DEVELOPER
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NORTH HWY 11
 COMMERCIAL
 TRACT

LAND LOT 62 - DISTRICT 3, PARCEL M4-5A
 N. BROAD ST.
 MONROE, GA 30656

SITE LAYOUT

DATE	NO.	DESCRIPTION	SHEET TITLE			
			DESIGN	CD	CHECKED	TP

RELEASE

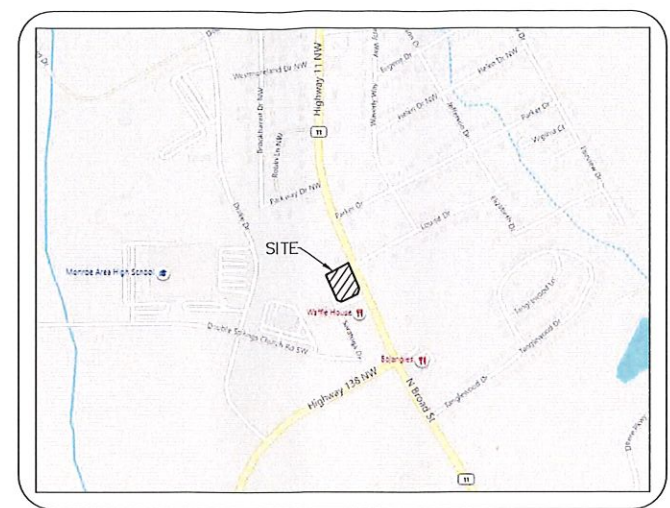
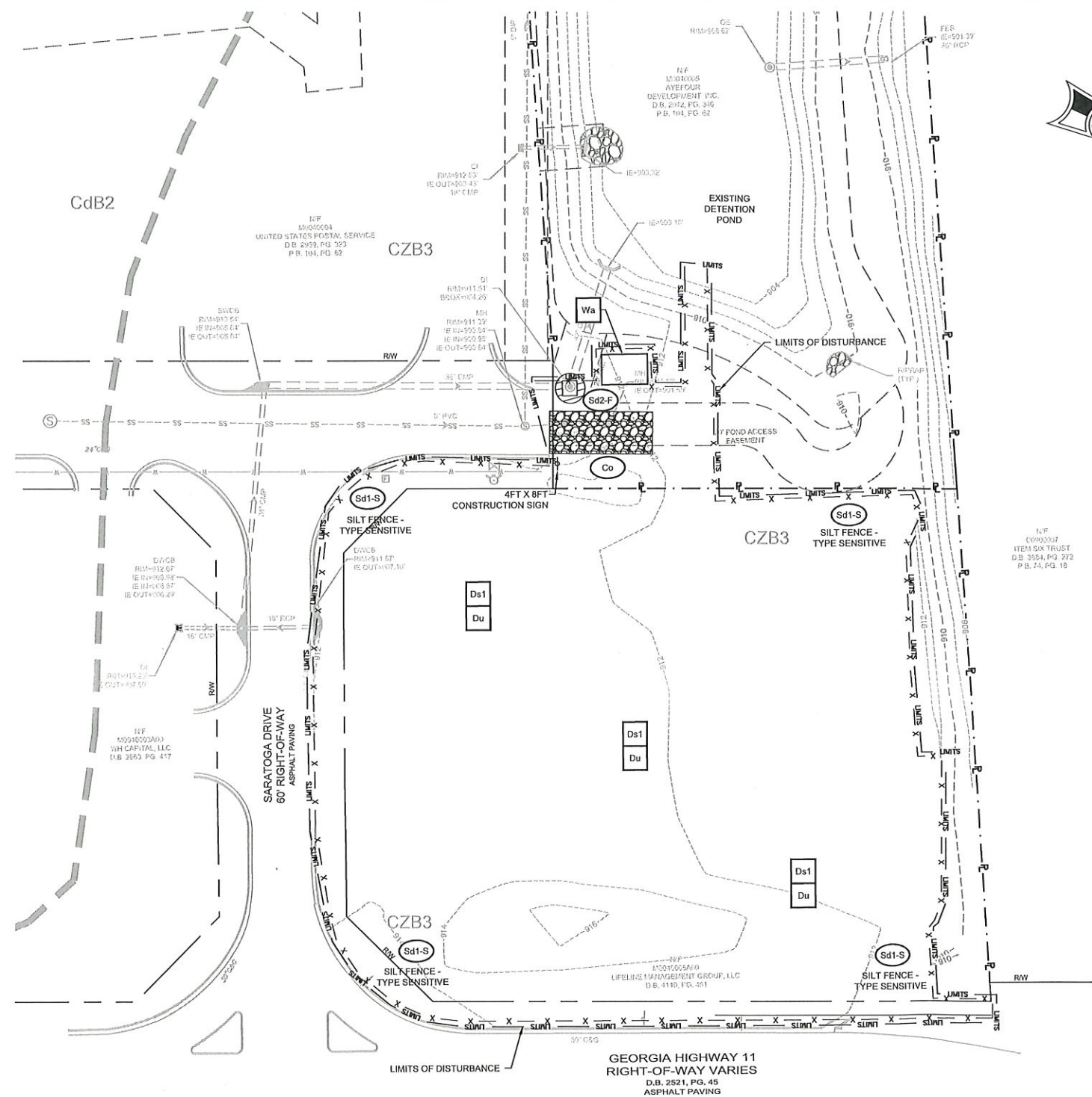
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VICINITY MAP
N.T.S.

ANTICIPATED ACTIVITY SCHEDULE
ANTICIPATED START DATE: APRIL 1, 2021
ANTICIPATED END DATE: AUGUST 1, 2021

ACTIVITY	2021															
	MONTH 1				MONTH 2				MONTH 3				MONTH 4			
	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4
CONSTRUCTION EXIT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
SILT FENCE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
DS1, DS2, AND DS4	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CLEARING & GRUBBING	X	X	X	X												
GRADING			X	X	X	X	X	X								
STORM DRAINAGE					X	X	X	X								
LANDSCAPING													X	X	X	X
MAINTAIN ES&PC MEASURES	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

EROSION CONTROL LEGEND

Sd1-S SILT FENCE (TYPE 'S')	Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
Co CONSTRUCTION EXIT	Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
Wa CONCRETE WASHOUT AREA	Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)
Sd2-F INLET SEDIMENT TRAP - FILTER FABRIC	Du DUST CONTROL ON DISTURBED AREAS
Sd2-P INLET SEDIMENT TRAP - CURB INLET PROTECTION	# SAMPLING LOCATION
St STORM DRAIN OUTLET PROTECTION	

CONSTRUCTION EXIT GPS LOCATIONS:
LAT: 33.818
LONG: -83.732

WETLAND NOTE:
THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200 FEET OF THIS SITE PER THE NATIONAL WETLAND INVENTORY MAPS.

STATE WATER NOTE:
STATE WATERS ARE NOT LOCATED ON OR WITHIN 200 FEET OF THIS SITE.

TOTAL SITE AREA = 1.61 AC
DISTURBED AREA = 1.71 AC

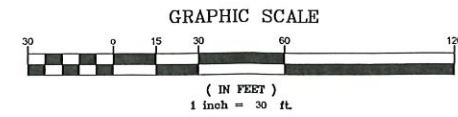
PRIMARY PERMITTEE:
PAUL GOURLEY
678-212-2190

24-HOUR EMERGENCY CONTACT:
PAUL GOURLEY
678-212-2190

GSWCC
GEORGIA SOIL AND WATER CONSERVATION COMMISSION
MICHAEL TODD PARKER
Level II Certified Design Professional
CERTIFICATION NUMBER 0000064202
ISSUED: 8/23/20 EXP: 8/23/23

OWNER / DEVELOPER
LIFELINE MANAGEMENT GROUP LLC
4747 STONE MOUNTAIN HWY STE 100
LILBURN, GA 30047
CONTACT: PAUL GOURLEY
PHONE: 678-212-2190

ENGINEER
PRECISION PLANNING, INC.
400 PIKE BOULEVARD
LAWRENCEVILLE, GA 30046
CONTACT: TODD PARKER
PHONE: 770-338-6000
EMAIL: 707TP@PPI.US



- PETROLEUM SPILL PREVENTION AND CONTAINMENT:**
- PREVENTATIVE MAINTENANCE SUCH AS TIMELY INSPECTIONS OF FUEL STORAGE TANKS AND PUMPS SHALL BE PERFORMED TO REDUCE THE RISK OF PETROLEUM SPILLS.
 - PETROLEUM SPILLS SHALL BE IMMEDIATELY CONTAINED, ALL INLETS MUST BE PLUGGED IMMEDIATELY, AND THE PETROLEUM DIRECTED AWAY FROM RECEIVING WATERS OR STORM DRAINAGE SYSTEMS. CLEANUP MAY BE ACCOMPLISHED BY, BUT IS NOT LIMITED TO, SWEEPING, SHOVELING, AND VACUUMING ALONG WITH THE USE OF ADSORBENTS AND GELS.
 - ANY CONTAMINATED SOILS MUST BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED WITH SOIL OF SIMILAR PROPERTIES.
- CONCRETE WASH DOWN:**
- NO CONCRETE WASHDOWN OF THE DRUM WILL BE ALLOWED WITHIN THE PROJECT SITE AREA THROUGHOUT THE DURATION OF THE PROJECT.
 - AN AREA HAS BEEN INDICATED ON THE PLANS FOR WASH DOWN OF TOOLS FOR CONCRETE INSTALLATION.

- GENERAL NOTES:**
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
 - EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
 - SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
 - MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ARTICLE 4, SECTION 4.3, PARAGRAPH 15). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 3.1, PARAGRAPH 3).
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 - ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH THE TREE PROTECTION SUPERVISOR PRIOR TO COMMENCEMENT. ANY DAMAGE OR IMPACT TO TREE PRESERVATION AREAS SHALL BE REPORTED IMMEDIATELY TO THE TREE PROTECTION SUPERVISOR.
 - ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH FENCING AND SIGNAGE ON ALL SIDES AND APPROVED BY THE CITY ARBORIST PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE. NOTIFY THE CITY AT LEAST 24 HOURS PRIOR TO COMMENCEMENT TO SCHEDULE THIS INSPECTION. ALL TREE PROTECTION DEVICES SHALL REMAIN IN FULLY FUNCTIONING CONDITION UNTIL ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - NO PERSON SHALL ENCROUGH INTO THE TREE PROTECTION ZONES. CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO, PARKING, VEHICLE AND FOOT TRAFFIC, MATERIAL STORAGE, CONCRETE WASHOUT, DEBRIS BURNING, AND OTHER ACTIVITIES SHALL BE ARRANGED SO AS TO PREVENT DISTURBANCE WITHIN THE PROTECTED AREAS.

SOIL SERIES

SYMBOL	DESCRIPTION
CZB3	Cecil sandy clay loam, 2 to 6 percent slopes, severely eroded

GEORGIA811
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PRECISION PLANNING, INC.
STAMP
TODD PARKER
REGISTERED PROFESSIONAL ENGINEER
NO. 12577
EXPIRES 12/31/2023

PRECISION PLANNING, INC.
planners • engineers • architects • surveyors
400 PIKE BOULEVARD, LAWRENCEVILLE, GA 30046
770.338.6000 • www.ppi.us

NORTH HWY 11 COMMERCIAL TRACT
LAND LOT 62 - DISTRICT 3, PARCEL M4-5A
N. BROAD ST.
MONROE, GA 30656

INITIAL EROSION CONTROL PLAN

SHEET TITLE
DESIGN CD DRAWN CD CHECKED TP

RELEASE

DATE INC. DESCRIPTION
2/22/2021
DATE
C20174
PPI PROJECT NO.
C5.1

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST		
STANDALONE CONSTRUCTION PROJECTS		
SWCD:		
Project Name: <u>NORTH HWY 11 COMMERCIAL TRACT</u> Address: <u>N. BROAD ST., MONROE, GA 30656</u>		
City/County: <u>MONROE/WALTON COUNTY</u> Date on Plans: <u>2/22/2021</u>		
Name & email of person filing checklist: <u>TODD PARKER / TPT@PPILUS</u>		
Plan	Included	TO BE SHOWN ON ES&PC PLAN
Page #	Y/N	
C5.4	Y	1 The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. (The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)
C5.4	Y	2 Level II certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal and level II number must be on each sheet pertaining to a design plan or the plan will not be reviewed)
	Y	3 Limit of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD district office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in appendix 1 of this checklist. * (A copy of the written approval by epd must be attached to the plan for the plan to be reviewed)
C5.4	Y	4 The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.
C5.4	Y	5 Provide the name, address, email address, and phone number of the primary permittee or tertiary permittee.
C5.1-C5.3	Y	6 Note total and disturbed acreage of the project or phase under construction.
C5.1-C5.3	Y	7 Provide the GPS location of the construction exit for the site, Give the Latitude and Longitude in decimal degrees.
C5.1-C5.3	Y	8 Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
C5.4	Y	9 Description of the nature of construction activity.
C5.1-C5.3	Y	10 Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.
C5.4	Y	11 Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc., which may be affected.
C5.4	Y	12 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit.
C5.4	Y	13 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling requirements as stated on Part IV page 19 of the permit.
C5.4	Y	14 Initial sediment storage requirements and perimeter control BMPs within 7 days after installation.
C5.4	Y	15 Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of westerly vegetation or within 25-foot of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."
C5.4	Y	16 Provide a description of any buffer encroachments and indicate whether a buffer variance is required.
C5.4	Y	17 Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."
C5.4	Y	18 Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit."
C5.4	Y	19 Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
C5.4	Y	20 Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or least the sediment source."
C5.4	Y	21 Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."
C5.4	Y	22 Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream and within the same watershed as, any portion of a Biota Impaired Stream Segment must comply with Part III, c. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment."
C5.4	Y	23 If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan."
C5.1-C5.2	Y	24 BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited."
C5.4	Y	25 Provide BMPs for the remediation of all petroleum spills and leaks.
C5.4	Y	26 Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed."
C5.4	Y	27 Description of practices to provide cover for building materials and building products on site."
C5.4	Y	28 Description of the practices that will be used to reduce the pollutants in storm water discharges."
C5.4	Y	29 Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, construction activities, utility installation, temporary and final stabilization).
C5.4	Y	30 Provide complete requirements of inspections and record keeping by the primary permittee."
C5.5	Y	31 Provide complete requirements of sampling frequency and reporting of sampling results."
C5.5	Y	32 Provide complete details for retention of records as per Part IV.F. of the permit."
C5.5	Y	33 Description of analytical methods to be used to collect and analyze the samples from each location."
C5.5	Y	34 Appendix B rationale for NTU values at all outfall sampling points where applicable."
C5.1-C5.3	Y	35 Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water will discharge.
C5.1-C5.3	Y	36 A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all of the BMPs into a single phase."
C5.1-C5.3	Y	38 Graphic scale and North arrow.
C5.1-C5.3	Y	40 Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following: Map Scale Ground Slope Contour Interval, ft. 1 inch = 100ft or larger scale Flat 0-2% Rolling 2 - 6% Sharp 6% + 2.5 or 10 0.5 or 1 1 or 2
NA		39 Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gswcc.org.
NA		40 Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition."
NA		41 Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.
NA	Y	42 Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.
C5.1-C5.3	Y	43 Delineation and acreage of contributing drainage basins on the project site.
ATTACHED	Y	44 Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions."
C5.5	Y	45 An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed."
C5.1-C5.3	Y	46 Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/delineate all storm water discharge points.
C5.1-C5.3	Y	47 Soil series for the project site and their delineation.
C5.1-C5.3	Y	48 The limits of disturbance for each phase of construction.
C5.1-C5.3	Y	49 Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, reforested detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the design professional to obtain the required sediment when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan.
C5.1-C5.3	Y	50 Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.
C5.6-C5.7	Y	51 Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.
C5.1-C5.3, C5.7	Y	52 Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.
* If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream, the * checklist items would be NA.		
Effective January 1, 2021		

GSWCC LEVEL 2 CERTIFICATIONS #2,12,13

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS OR THE SAMPLING OF THE STORMWATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO GAR 10001.

SIGNED: _____ DATE: _____

CERTIFIED DESIGN PROFESSIONAL
GSWCC CERTIFICATION NO. LEVEL II #0000054207
EXPIRATION DATE: 8/23/23
COMPANY: PRECISION PLANNING, INC.

24-HOUR CONTACT #4

NAME: PAUL GOURLY
PHONE NUMBER: 678-212-2190

PRIMARY PERMITTEE #5

NAME: PAUL GOURLY
COMPANY: 24 Primary Permittee Add 1
PHONE NUMBER: 26 Primary Permittee Phone

PLAN SUBMITTAL SUMMARY #8

DESCRIPTION DATE

CONSTRUCTION ACTIVITY #9

EXISTING CONDITIONS SUMMARY
THE SITE IS LOCATED ALONG HIGHWAY 11 NORTH IN MONROE, GA. THE 1.61 AC SITE IS UNDEVELOPED AND CONSISTS OF OPEN GRASS AREA. THE SITE IS ZONED B-3.

PROPOSED CONDITIONS SUMMARY:
CONSTRUCTION INCLUDES A PROPOSED BUILDING, PARKING LOT, SIDEWALKS, AND NECESSARY UTILITIES.

PROJECT RECEIVING WATERS #11

INITIAL PROJECT RECEIVING WATERS: MOUNTAIN CREEK

INITIAL EROSION INSPECTION #14

THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE PLAN, EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND E.P.D. HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL, TO INSPECT THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs.

THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED.

THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE (AND OPERATOR) WITHIN SEVEN (7) DAYS AND THE PERMITTEE (AND OPERATOR) MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.

STREAM BUFFERS #15,16

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WESTERLY VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

DESCRIPTION OF BUFFER ENCROACHMENTS: NONE

GSWCC REQUIRED NOTES #17,18,19,20,21

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY UNDISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

IMPAIRED STREAM SEGMENT #22

THIS SITE WILL DISCHARGE STORM WATER FROM ANY CONSTRUCTION ACTIVITY INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT.

IF ANY STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES DISCHARGED INTO AN IMPAIRED STREAM SEGMENT THAT HAS BEEN LISTED FOR THE CRITERIA WOLDED, BIO, OR "IMPAIRED FISH COMMUNITY AND / OR "BIO H" (IMPAIRED MACROINVERTEBRATE COMMUNITY), WITHIN CATEGORY 4A, 4B, OR 5, AND THE POTENTIAL CAUSE IS EITHER "NP" (NONPOINT SOURCE) OR "UR" (URBAN RUNOFF), THE ES&PC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE BMPs LISTED IN PART 111.C.2 (A) THRU (V) OF THE PERMIT.

SEE BELOW FOR FOUR (4) ADDITIONAL BMPs FROM APPENDIX I TO BE IMPLEMENTED WITH THIS PROJECT:

D. A LARGE SIGN (MINIMUM 4 FEET X 8 FEET) MUST BE POSTED ON SITE BY THE ACTUAL DATE OF CONSTRUCTION. THE SIGN MUST BE VISIBLE FROM A PUBLIC ROADWAY. THE SIGN MUST IDENTIFY THE FOLLOWING: (1) CONSTRUCTION SITE, (2) THE PERMITTEE(S), (3) THE CONTACT PERSON(S) AND TELEPHONE NUMBER(S), AND (4) THE PERMITTEE-HOSTED WEBSITE WHERE THE PLAN CAN BE VIEWED MUST BE PROVIDED ON THE SUBMITTED NOI. THE SIGN MUST REMAIN ON SITE AND THE PLAN MUST BE AVAILABLE ON THE PROVIDED WEBSITE UNTIL A NOT HAS BEEN SUBMITTED.

L. USE MULCH FILTER BERMS, IN ADDITION TO A SILT FENCE, ON THE SITE PERIMETER WHEREVER CONSTRUCTION STORM WATER (INCLUDING SHEET FLOW) MAY BE DISCHARGED. MULCH FILTER BERMS CANNOT BE PLACED IN WATERWAYS OR AREAS OF CONCENTRATED FLOW.

U. CONDUCT INSPECTIONS DURING THE INTERMEDIATE GRADING AND DRAINAGE BMP PHASE AND DURING THE FINAL BMP PHASE OF THE PROJECT BY THE DESIGN PROFESSIONAL WHO PREPARED THE PLAN IN ACCORDANCE WITH SECTION N.A.5 OF THE PERMIT.

V. INSTALL POST CONSTRUCTION BMPs (E.G., RUNOFF REDUCTION BMPs) WHICH REMOVE BOX TSS AS OUTLINED IN THE GEORGIA STORMWATER MANAGEMENT MANUAL KNOWN AS THE BLUE BOOK OR AN EQUIVALENT OR MORE STRINGENT DESIGN MANUAL.

TMDL IMPLEMENTATION PLAN #23

A TMDL IMPLEMENTATION PLAN HAS NOT BEEN FINALIZED FOR THE IMPAIRED STREAM SEGMENT (IDENTIFIED IN CHECKLIST ITEM #22) AT LEAST SIX MONTHS PRIOR TO SUBMITTAL OF THE NOTICE OF INTENT.

THE ES&PC PLAN MUST ADDRESS ANY SITE-SPECIFIC CONDITIONS OR REQUIREMENTS INCLUDED IN THE TMDL IMPLEMENTATION PLAN.

SPILL PREVENTION & CONTROL #25

- LOCAL STATE & MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- MATERIAL & EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS & EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND SAWDUST & PROPERLY LABELED PLASTIC & METAL WASTE CONTAINERS.
- SPILL PREVENTION PROCEDURES & PROCEDURES WILL BE REVIEWED AFTER A SPILL & ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.
- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2875.
- FOR SPILLS OF AN KNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2875.
- FOR SPILLS GREATER THAN 25 GALLONS & NO SURFACE WATER IMPACTS OCCUR, THE SPILL WILL BE CLEANED UP & LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT & COUNTERMEASURES PLAN PREPARED BY THE LICENSED PROFESSIONAL.

DESCRIPTION OF MEASURES #26

MEASURES TO BE INSTALLED TO CONTROL CONSTRUCTION POLLUTANTS.

- CONSTRUCTION EXIT
- SEEDING
- INLET SEDIMENT TRAPS
- STORM OUTLET PROTECTION
- TEMPORARY/PERMANENT SEEDING
- CONCRETE WASHOUT AREA

CONSTRUCTION MATERIAL STORAGE #27

FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (E.G. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

PRODUCT SPECIFIC PRACTICES #28

- PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ONSITE VEHICLES AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATERS, NATURAL DRAINS, AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.
- PAINTS/FINISHES/SOLVENTS ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS, AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE.
- FERTILIZER/HERBICIDES THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.
- BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURNED OR DISPOSED OF ONSITE.

ANTICIPATED ACTIVITY SCHEDULE #29

ANTICIPATED START DATE: APRIL 1, 2021
ANTICIPATED END DATE: AUGUST 1, 2021

ACTIVITY	2021															
	MONTH 1				MONTH 2				MONTH 3				MONTH 4			
	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4
CONSTRUCTION EXIT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
SILT FENCE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
DS1, DS2, AND DS3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CLEARING & GRUBBING	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
GRADING					X	X	X	X	X	X	X	X				
STORM DRAINAGE					X	X	X	X								
LANDSCAPING													X	X	X	X
MAINTAIN ES&PC MEASURES	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

CONTINUE TO JOB COMPLETION IF BEYOND AUGUST 1, 2021

INSPECTION AND RECORD KEEPING #30

INSPECTION AND RECORD KEEPING REQUIREMENTS BELOW ARE LISTED IN ACCORDANCE WITH PART W.D.4. A OF THE GAR 1001-STANDALONE PERMIT

4. INSPECTIONS.

a. PERMITTEE REQUIREMENTS.

(1) EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

(2) MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT YET BEEN FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ON NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.

(3) CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST) (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION AND (C) STRUCTURAL CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY, WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.B.4.C.A. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

(4) CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION HAS BEEN SUBMITTED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATERS). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY, WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS).

(5) BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE. NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION, IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.

(6) A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.B.4.C.S. OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION SITE THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

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COMMERCIAL TRACT

NORTH HWY 11
DISTRICT 3, PARCEL M4-5A
N. BROAD ST.
MONROE, GA 30656

EROSION CONTROL NOTES

SHEET TITLE: _____
DRAWN BY: _____
DESIGN: _____
CHECKED: _____
CD: _____
TP: _____

DATE: _____
NO. DESCRIPTION: _____

2/22/2021
DATE
C20174
PPI PROJECT NO.

C5.4

CERTIFICATION NUMBER 0000054207
ISSUED: 8/23/20 EXP. 8/23/21

FILE PATH: E:\PROJECTS\2020\14\04\14040001\74_C5.4_EROSION CONTROL NOTES AND DETAILS.DWG - CHRIS DAMON
PLOT DATE: 2/22/2021 2:53 PM

#31 SAMPLING FREQUENCY

PRODUCT SPECIFIC PRACTICES BELOW ARE LISTED IN ACCORDANCE WITH PART IV.C.6. D OF THE GAR 10001-STAND ALONE PERMIT

a. SAMPLING FREQUENCY.

(1). THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORMWATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN IN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.

(2). HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORMWATER DISCHARGE.

(3). SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:

(A). FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;

(B). IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOTE, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST;

(C). AT THE TIME OF SAMPLING PURSUANT TO (A) AND (B) ABOVE, IF BMPs IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPs ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED;

(D). WHERE SAMPLING PURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.4.A.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED, PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE; AND

(E). EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.

NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

#32 RETENTION OF RECORDS

REQUIREMENTS FOR RETENTION OF RECORDS ARE LISTED BELOW IN ACCORDANCE WITH PART IV.E OF THE GAR 10001-STAND ALONE PERMIT

1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:

a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;

b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;

c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;

d. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;

e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT;

f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND

g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT.

2. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

#33 SAMPLE METHODS

(1). FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S), OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORMWATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:

(A). THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORMWATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORMWATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.

(B). THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORMWATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORMWATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.

(C). IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORMWATER OUTFALL CHANNEL(S).

(D). CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORMWATER CHANNEL.

(E). THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.

(F). THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.

(G). PERMITTEES DO NOT HAVE TO SAMPLE SHEET FLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED BY PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS REFERRED IN THE MANUAL, EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION).

(H). ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORMWATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4., WHICHEVER IS APPLICABLE.

#34 NTU LIMIT RATIONALE

REFER TO APPENDIX "B" WITHIN NPDES GAR 100001 PERMIT FOR NTU LIMIT CHART BASED ON STREAM TYPE SUPPORTING WARM WATER FISHERIES OR TROUT STREAMS.

SIZE OF CONSTRUCTION SITE: 1.61 AC AC.

SURFACE WATER DRAINAGE AREA: 0-4.99 SQUARE MILES

TYPE OF RECEIVING WATER: WARM WATER (SUPPORTING WARM WATER FISHERIES)

NTU VALUE TO BE USED: 75

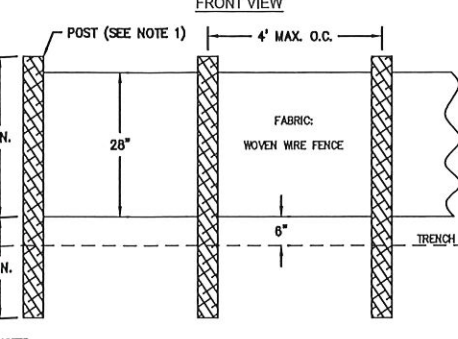
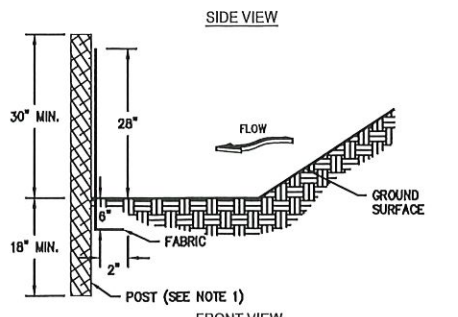
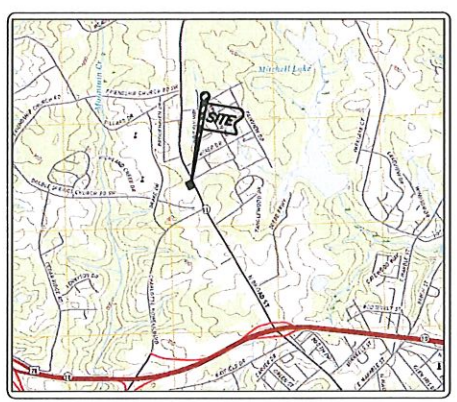
#45 PRE- VS. POST RUNOFF

REFER TO STORMWATER MANAGEMENT REPORT FOR DETAILED ANALYSIS OF PRE-DEVELOPED RUNOFF CONDITIONS, POST-DEVELOPED RUNOFF CONDITIONS, AND CONTROLS DESIGNED TO CHANGES IN SITE CONDITIONS DUE TO DEVELOPMENT (I.E. WATER QUALITY, CHANNEL PROTECTION, AND/OR DETENTION).

PRE-DEVELOPED RUNOFF COEFFICIENT (CURVE NUMBER): 61

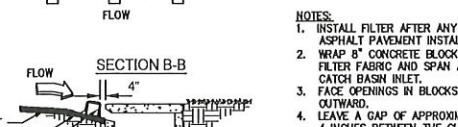
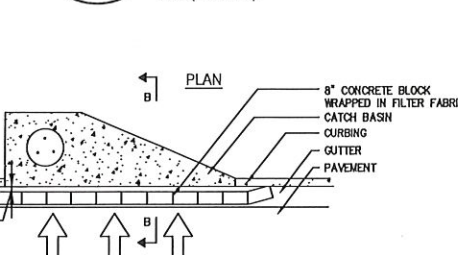
POST-DEVELOPED RUNOFF COEFFICIENT (CURVE NUMBER): 92

SUMMARY OF POST-DEVELOPED STORMWATER CONTROLS USED: EXTENDED DRY DETENTION POND

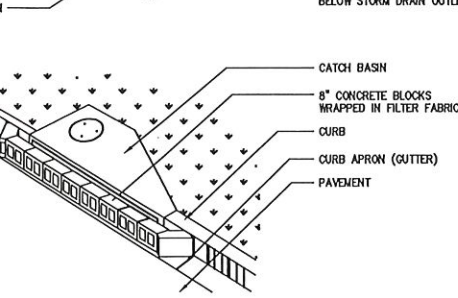


- NOTES:
1. USE STEEL POSTS AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. SILT FENCE FABRIC SHALL BE APPROVED BY CITY OF LILBURN AT PRE-CONSTRUCTION MEETING AND BEFORE INSTALLATION.

Sd1-S SEDIMENT BARRIER
TYPE (SENSITIVE)

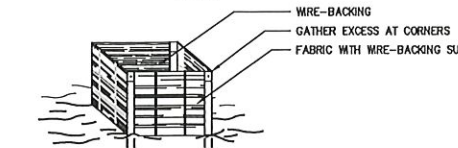
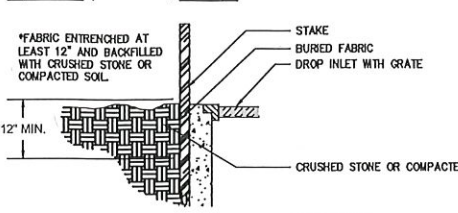
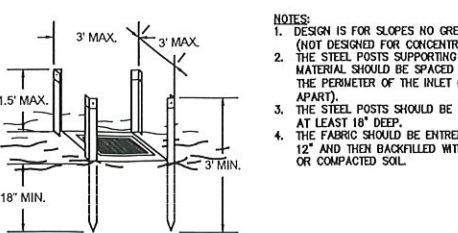


- NOTES:
1. INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.
 2. WRAP 8\"/>



Sd2-P INLET SEDIMENT TRAP
TYPE (PIG-IN-BLANKET)

STEEL FRAME AND SILT FENCE INSTALLATION

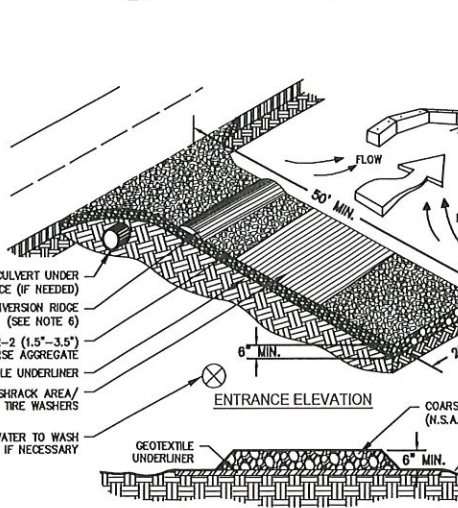


- NOTES:
1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
 2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
 3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18\"/>

- *FABRIC ENTRENCHED AT LEAST 12\"/>
 - STAKE
 - BURIED FABRIC
 - DROP INLET WITH GRATE
 - CRUSHED STONE OR COMPACTED SOIL

- WIRE-BACKING
- GATHER EXCESS AT CORNERS
- FABRIC WITH WIRE-BACKING SUPPORT

Sd2-F INLET SEDIMENT TRAP
TYPE (FILTER FABRIC W/SUPPORTING FRAME)



- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5\"/>

Co CONSTRUCTION EXIT

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EROSION CONTROL NOTES AND DETAILS

SHEET TITLE

DATE: 2/22/2021
DATE: 2/22/2021
C20174
PPI PROJECT NO.

C5.5

GSWCC
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

MICHAEL TODD PARKER
Level II Certified Design Professional

CERTIFICATION NUMBER 0000084207
ISSUED: 8/23/20 EXPIRES: 8/23/23

FILE PATH: E:\PROJECTS\2020\2020174\CD-C5.5\EROSION CONTROL NOTES AND DETAILS.DWG - CHRIS DAMON

PLOT DATE: 2/22/2021 2:53 PM

CONSTRUCTION SPECIFICATIONS

SITE PREPARATION

1. GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH.

2. INSTALL EROSION CONTROL MEASURES AS REQUIRED SUCH AS DRAKS, DIVERSIONS, BARRIERS, TERRACES AND SEDIMENT BARRIERS.

3. LOOSEEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

MULCHING MATERIALS

SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED:

1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS MATERIAL IS EASY APPLICATION.
2. WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF MULCHING CAN GREATLY REDUCE EROSION CONTROL COSTS.
3. CUTBACK ASPHALT (50% CURING) SHALL BE APPLIED AT 1200 GALLONS PER ACRE (OR 1/2 GALLON PER SQ. YD.)
4. POLYETHYLENE FILM SHALL BE SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE SALVAGED AND RE-USED.

APPLYING MULCH

WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF EXPOSED AREA.

1. DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE DECOMPOSITION OF THE ORGANIC MULCHES.
3. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF FUTURE TRAFFIC DUE TO PROBLEMS OF "TRUCKING IN" OR DAMAGE TO SHOES, CLOTHING, ETC.
4. APPLY POLYETHYLENE FILM ON EXPOSED AREAS.

ANCHORING MULCH

1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 10 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN ERECT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION.

METHODS AND MATERIALS

A. TEMPORARY METHODS

MULCHES

SEE STANDARD DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO STANDARD TERRACE AND BARRIERS, BARRIERS SUCH AS CURBS, OR TERRACE SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

VEGETATIVE COVER

SEE STANDARD DISTURBED AREAS STABILIZATION (WITH TEMPORARY SEEDING).

SPRAY-ON ADHESIVES

THESE ARE USED ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO STANDARD TERRACE AND BARRIERS FOR DETAILS.

TILLAGE

THIS PRACTICE IS DESIGNED TO REMOVE AND BRING CLOSE TO THE SURFACE, IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEYOND PLOWING ON WINDWARD SIDE OF SITE, CHISEL TYPE PLOWS SPACED ABOUT 10 FEET APART, SPRING TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

IRRIGATION

THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRAYED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.

BARRIERS

SUBSOIL BARRIERS, DIVERSIONS, BURAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 FEET THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION. CALUMIN CALUMIN. APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RE-TREATMENT.

B. PERMANENT METHODS

PERMANENT VEGETATION

SEE STANDARD DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). DISTINGUISH TREES AND LARGE SHRUBS WILL AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING

THIS ENTAILS COVERING THE SURFACE WITH LESS EROSION SOIL MATERIAL. SEE STANDARD TOPSOILING.

STONE

COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE STANDARD OR CONSTRUCTION ROAD.

Ds1 DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)

Du DUST CONTROL ON DISTURBED AREAS

DEFINITION

THE ESTABLISHMENT OF TEMPORARY COVER WITH FAST GROWING SEEDINGS FOR SEASONAL PROTECTION ON DISTURBED OR DENUDATED AREAS.

CONDITIONS

TEMPORARY GRASSING, INSTEAD OF MULCH, CAN BE APPLIED TO ROUGH GRADED AREAS THAT WILL BE EXPOSED FOR LESS THAN SIX MONTHS. TEMPORARY VEGETATION MEASURES SHOULD BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMIC AND EFFECTIVE STABILIZATION. MOST TYPES OF TEMPORARY VEGETATION ARE IDEAL TO USE AS COMPANION CROPS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE PER 1,000 S.F.	RATE PER ACRE*	PLANTING DATES**
RYE	3.9 lbs	3 bu.	8/1 - 3/1
RYEGRASS	0.9 lbs	40 lbs	8/15 - 4/1
ANNUAL LESPEDEZA	0.9 lbs	40 lbs	1/15 - 3/15
WEeping LOVE GRASS	0.1 lbs	4 lbs	2/15 - 6/15
SUDAN GRASS	1.4 lbs	60 lbs	3/1 - 8/1
BROWN TOP WHEAT	0.9 lbs	40 lbs	4/1 - 7/15
WHEAT	4.1 lbs	3 bu.	8/15 - 2/1

DEFINITION

EXCESSIVE WATER RUNOFF SHALL BE REDUCED BY PROPERLY DESIGNED AND INSTALLED EROSION CONTROL PRACTICES SUCH AS CLOSED DRAINS, DITCHES, DICES, DIVERSIONS, SEDIMENT BARRIERS AND OTHERS.

NO SHAPING OR GRADING IS REQUIRED IF SLOPES CAN BE STABILIZED BY HAND SEEDING VEGETATION OR IF HYDRAULIC SEEDING EQUIPMENT IS TO BE USED.

SEEDING PREPARATION

WHEN A HYDRAULIC SEEDER IS USED, SEEDING PREPARATION IS NOT REQUIRED. WHEN USING CONVENTIONAL OR HAND SEEDING, SEEDING PREPARATION IS NOT REQUIRED IF THE SOIL MATERIAL IS LOOSE AND NOT SEALED BY RAINFALL.

WHEN SOIL HAS BEEN SEALED BY RAINFALL OR CONSISTS OF SMOOTH CUT SLOPES, THE SOIL SHALL BE FITTED, TRENCHED OR OTHERWISE SCARIFIED TO PROVIDE A PLACE FOR SEED TO LODGE AND GERMINATE.

LIME AND FERTILIZER

AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. GRADED AREAS REQUIRE LIME APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF FERTILIZER IS NEEDED. ON REASONABLY FERTILE SOILS OR SOIL MATERIAL, FERTILIZER IS NOT REQUIRED. FOR SOILS WITH VERY LOW FERTILITY, 500 TO 700 POUNDS OF 10-10-10 FERTILIZER OR THE EQUIVALENT PER ACRE (1216 LBS./100 SQ. FT.) SHALL BE APPLIED. FERTILIZER SHOULD BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER OR CHISEL.

SEEDING

SELECT A GRASS OR GRASS/LEGUME MIXTURE SUITABLE TO THE AREA AND SEASON OF THE YEAR. SEED SHALL BE APPLIED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIVATOR SEEDER, OR HYDRAULIC SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). DRILL OR CULTIVATOR SEEDERS SHOULD NORMALLY PLACE SEED ONE-QUARTER TO ONE-HALF INCH DEEP. APPROPRIATE DEPTH OF PLANTING IS TEN TIMES THE SEED DIAMETER. SOIL SHOULD BE "RANED" LIGHTLY TO COVER SEED WITH SOIL IF SEEDING BY HAND.

MULCHING

TEMPORARY VEGETATION CAN, IN MOST CASES, BE ESTABLISHED WITHOUT THE USE OF MULCH. MULCH WITHOUT SEEDING SHOULD BE CONSIDERED FOR SHORT-TERM PROTECTION. REFER TO Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY).

IRRIGATION

DURING TIMES OF DROUGHT, WATER SHALL BE APPLIED AT A RATE NOT CAUSING RUNOFF AND EROSION. THE SOIL SHALL BE THOROUGHLY WETTED TO A DEPTH THAT WILL ASSURE GERMINATION OF THE SEED. SUCCESSFUL APPLICATIONS SHOULD BE MADE WHEN NEEDED.

CONSTRUCTION SPECIFICATIONS

GRADING AND SHAPING

EXCESSIVE WATER RUNOFF SHALL BE REDUCED BY PROPERLY DESIGNED AND INSTALLED EROSION CONTROL PRACTICES SUCH AS CLOSED DRAINS, DITCHES, DICES, DIVERSIONS, SEDIMENT BARRIERS AND OTHERS.

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MULCHING

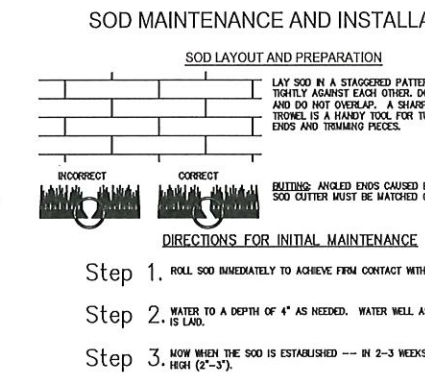
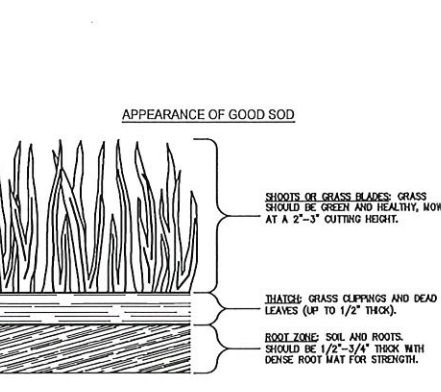
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IRRIGATION

DURING TIMES OF DROUGHT, WATER SHALL BE APPLIED AT A RATE NOT CAUSING RUNOFF AND EROSION. THE SOIL SHALL BE THOROUGHLY WETTED TO A DEPTH THAT WILL ASSURE GERMINATION OF THE SEED. SUCCESSFUL APPLICATIONS SHOULD BE MADE WHEN NEEDED.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY VEGETATION)

Du DUST CONTROL ON DISTURBED AREAS



Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

DEFINITION

THE PLANTING OF PERENNIAL VEGETATION SUCH AS TREES, SHRUBS, VINES, GRASSES, OR LEGUMES ON EXPOSED AREAS FOR FINAL PERMANENT STABILIZATION. PERMANENT PERENNIAL VEGETATION SHALL BE USED TO ACHIEVE FINAL STABILIZATION.

CONDITIONS

PERMANENT PERENNIAL VEGETATION IS USED TO PROVIDE A PROTECTIVE COVER FOR EXPOSED AREAS INCLUDING CUTS, FILLS, DAMS, AND OTHER DENUDATED AREAS.

SPECIFICATIONS

GRADING AND SHAPING

GRADING AND SHAPING MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. VERTICAL BANKS SHALL BE SLOPED TO ENABLE PLANT ESTABLISHMENT.

WHEN CONVENTIONAL SEEDING AND FERTILIZING ARE TO BE DONE, GRADE AND SHAPE WHERE FEASIBLE AND PRACTICAL, SO THAT EQUIPMENT CAN BE USED SAFELY AND EFFICIENTLY DURING SEEDING PREPARATION, SEEDING, MULCHING AND MAINTENANCE OF THE VEGETATION.

CONCENTRATIONS OF WATER THAT WILL CAUSE EXCESSIVE SOIL EROSION SHALL BE DIVERTED TO A SAFE OUTLET. DIVERSIONS AND OTHER TREATMENT PRACTICES SHALL CONFORM WITH THE APPROPRIATE STANDARDS AND SPECIFICATIONS.

SEEDING PREPARATION

SEEDING PREPARATION MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. WHEN CONVENTIONAL SEEDING IS TO BE USED, SEEDING PREPARATION WILL BE DONE AS FOLLOWS:

BROADCAST PLANTINGS

1. TILLAGE AT A MINIMUM SHALL ADEQUATELY LOOSEN THE SOIL TO A DEPTH OF 4 TO 6 INCHES. ALLEVIATE COMPACTION; INCORPORATE LIME AND FERTILIZER; SMOOTH AND FIRM THE SOIL; ALLOW FOR THE PROPER PLACEMENT OF SEED, SPRIGS, OR PLANTS; AND ALLOW FOR THE ANCHORING OF STRAW OR HAY MULCH (IF A DISK IS TO BE USED).
2. TILLAGE MAY BE DONE WITH ANY SUITABLE EQUIPMENT.
3. TILLAGE SHOULD BE DONE ON THE CONTOUR WHERE FEASIBLE.

SEEDING PREPARATION

SEEDING PREPARATION MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. WHEN CONVENTIONAL SEEDING IS TO BE USED, SEEDING PREPARATION WILL BE DONE AS FOLLOWS:

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2. TILLAGE MAY BE DONE WITH ANY SUITABLE EQUIPMENT.
3. TILLAGE SHOULD BE DONE ON THE CONTOUR WHERE FEASIBLE.

MULCHING

MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDED AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED:

1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2 1/2 TONS PER ACRE.
2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER SHALL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRY STRAW OR HAY SHALL BE APPLIED AT THE RATE INDICATED ABOVE AFTER HYDRAULIC SEEDING.
3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER, WHICH INCLUDES A TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3:1 OR STEEPER.
4. SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE.
5. PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3 INCHES FOR SEEDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDED AREAS.
6. WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLOCK SOO, MULCH IS NOT REQUIRED.

7. BITUMINOUS TREATED ROWING MAY BE APPLIED ON PLANTED AREAS ON SLOPES, IN DITCHES OR DRY WATERWAYS TO PREVENT EROSION. BITUMINOUS TREATED ROWING SHALL BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPersed WHEN AGITATED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING.

APPLYING MULCH

STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND/OR PLANTING. THE MULCH MAY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT. OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE.

WOOD CELLULOSE OR WOOD FIBER MULCH SHALL BE APPLIED UNIFORMLY WITH HYDRAULIC SEEDING EQUIPMENT.

ANCHORING MULCH

ANCHOR STRAW OR HAY MULCH IMMEDIATELY AFTER APPLICATION BY ONE OF THE FOLLOWING METHODS:

1. EMULSIFIED ASPHALT CAN BE (A) SPRAYED UNIFORMLY ONTO THE MULCH AS IT IS EJECTED FROM THE BLOWER MACHINE OR (B) SPRAYED ON THE MULCH IMMEDIATELY AFTER MULCH APPLICATION WHEN STRAW OR HAY IS SPREAD BY METHODS OTHER THAN SPECIAL BLOWER EQUIPMENT.

THE COMBINATION OF ASPHALT EMULSION AND WATER SHALL CONSIST OF A HOMOGENEOUS MIXTURE SATISFACTORY FOR SPRAYING. THE MIXTURE SHALL CONSIST OF 100 GALLONS OF GRADE SS-1H OR CSS-1H EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH.

CARE SHALL BE TAKEN AT ALL TIMES TO PROTECT STATE WATERS, THE PUBLIC, ADJACENT PROPERTY, PAVEMENTS, CURBS, SIDEWALKS, AND ALL OTHER STRUCTURES FROM ASPHALT DISCOLORATION.

2. HAY AND STRAW MULCH SHALL BE PRESSED INTO THE SOIL IMMEDIATELY AFTER THE STRAWING MAY BE USED. THE DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISKS SHALL BE DULL ENOUGH TO PRESS THE MULCH INTO THE GROUND WITHOUT CUTTING IT, LEAVING MUCH OF IT IN AN ERECT POSITION. MULCH SHALL NOT BE FLOWED INTO THE SOIL.

3. SYNTHETIC TACKIFIERS OR BINDERS APPROVED BY GDOT SHALL BE APPLIED IN CONJUNCTION WITH OR IMMEDIATELY AFTER THE MULCH IS SPREAD. SYNTHETIC TACKIFIERS SHALL BE MIXED AND APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. REFER TO TB - TACKIFIERS AND BINDERS.

4. RYE OR WHEAT CAN BE INCLUDED WITH FALL AND WINTER PLANTINGS TO STABILIZE THE MULCH. THEY SHALL BE APPLIED AT A RATE OF ONE QUARTER TO ONE HALF BUSHEL PER ACRE.

5. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN ONE INCH BY ONE INCH MAY BE NEEDED TO ANCHOR STRAW OR HAY MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW AREAS. THESE MATERIALS SHALL BE INSTALLED AND ANCHORED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

IRRIGATION

IRRIGATION SHALL BE APPLIED AT A RATE THAT WILL NOT CAUSE RUNOFF.

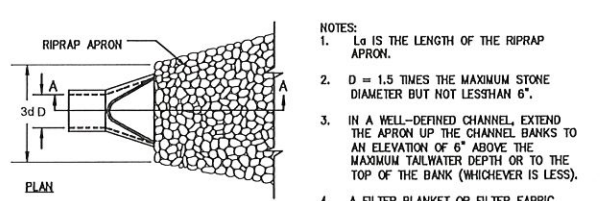
SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE PER 1,000 S.F.	RATE PER ACRE*	PLANTING DATES**
BAHA	1.4 LBS	60 LBS	1/1-12/31
BERMUDA	0.2 LBS	10 LBS	2/15-7/1
CENTPEDEE	BLOCK SOO ONLY	BLOCK SOO ONLY	4/1-7/1
LESPEDEZA	1.7 LBS	75 LBS	1/1-12/31
WEeping LOVE GRASS	0.1 LBS	4 LBS	2/1-6/15
SWITCH GRASS	0.9 LBS	4 LBS	3/15-6/1

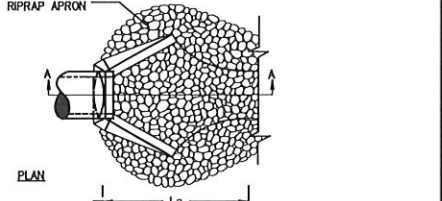
FERTILIZER REQUIREMENTS

TYPES OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
1. Cool season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 1/2/
	Second Maintenance	6-12-12 10-10-10	100 lbs./ac. 400 lbs./ac.	30
2. Cool season grasses and broadleaf legumes	First	6-12-12	1500 lbs./ac.	0-50 lbs./ac. 1/
	Second Maintenance	6-12-12 10-10-10	100 lbs./ac. 400 lbs./ac.	30 lbs./ac.
3. Warm season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 2/1/
	Second Maintenance	6-12-12 10-10-10	800 lbs./ac. 400 lbs./ac.	30 lbs./ac.
4. Warm season grasses and legumes	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 1/1/
	Second Maintenance	6-12-12 10-10-10	1000 lbs./ac. 400 lbs./ac.	30 lbs./ac.

PIPE OUTLET TO FLAT AREA -- NO WELL DEFINED CHANNEL



PIPE OUTLET TO WELL DEFINED CHANNEL



Velocity Dissipation Summary (25 year storm)

Headwall ID	Pipe Diameter (D _p) (in)	Pipe Discharge (cfs)	Pipe Velocity (fps)	Rip-Rap Size d ₅₀	Width of Apron w _{0.25} (ft)	Apron Length (La) (ft)	Width of Apron w _{0.75} (ft)	Filter Bedding Stone	Graded Rip Rap Stone
HW 1A	24	6.60	3.8	0.3	6.0	9	11	No. 57	Type 3

TABLE 6-6.3. FERTILIZER REQUIREMENTS FOR SOD

TYPES OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
Cool season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 1/2/
	Second Maintenance	6-12-12 10-10-10	100 lbs./ac. 400 lbs./ac.	30
Warm season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 2/1/
	Second Maintenance	6-12-12 10-10-10	800 lbs./ac. 400 lbs./ac.	30 lbs./ac.

Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

Du DUST CONTROL ON DISTURBED AREAS

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NORTH HWY 11 COMMERCIAL TRACT

LAND LOT 62 - DISTRICT 3, PARCEL M4-5A
N. BROAD ST. MONROE, GA 30656

EROSION CONTROL DETAILS

SHEET TITLE

DRAWN BY CD

CHECKED BY TP

DESIGN BY CD

RELEASE

DATE: 2/22/2021

DATE: C20174

PPI PROJECT NO. C5.6

GSWCC

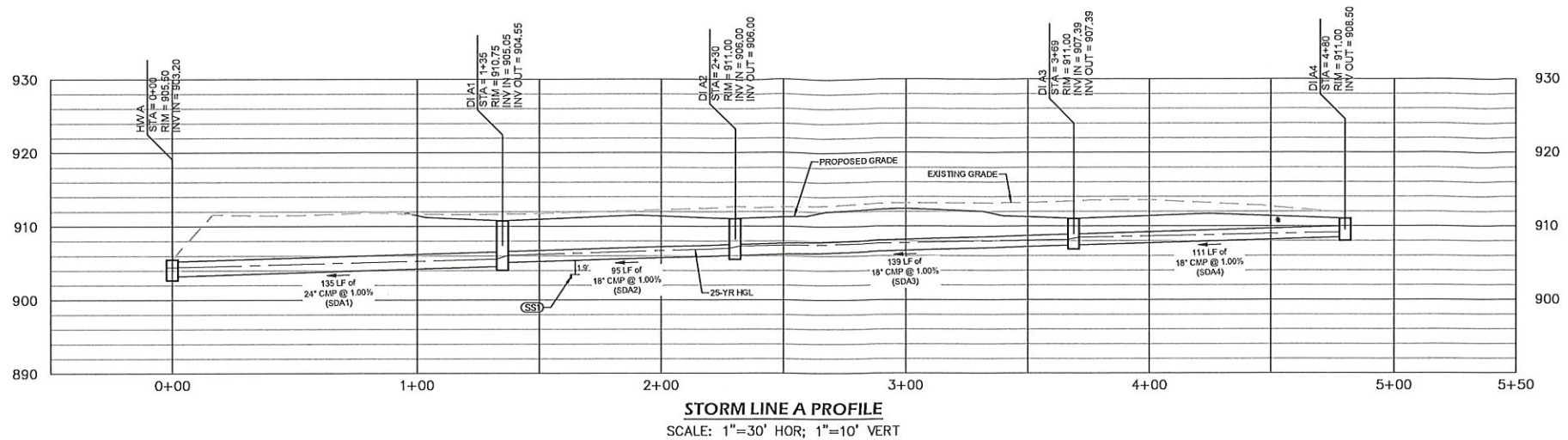
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

MICHAEL TODD PARKER

Level I Certified Design Professional

CERTIFICATION NUMBER 0000084207

ISSUED: 8/23/20 EXPIRES: 8/23/21



25-YR STORM SEWER PIPE CHART

LineNo.	LineID	LineSize (in)	LineLength (ft)	InvertDn (ft)	InvertUp (ft)	LineSlope (%)	DrainageArea (ac)	TotalArea (ac)	RunoffCoeff (C)	InletTime (min)	Tc (min)	ISys (in/hr)	FlowRate (cfs)	CapacityFull (cfs)	VelAve (ft/s)	n-valuePipe	Inlet ID	Pipe Material
1	A1	24	135.00	903.20	904.55	1	0.34	1.17	0.90	5	8.2	7.54	6.60	12.25	3.8	0.024	A1	CMP
2	A2	18	95.00	905.05	906.00	1	0.24	0.83	0.70	5	7.6	7.77	4.43	5.69	3.6	0.024	A2	CMP
3	A3	18	139.03	906.00	907.39	1	0.28	0.59	0.55	5	6.5	8.30	3.33	5.69	2.8	0.024	A3	CMP
4	A4	18	111.01	907.39	908.50	1	0.31	0.31	0.80	5	5.0	9.08	2.25	5.69	2.5	0.024	A4	CMP

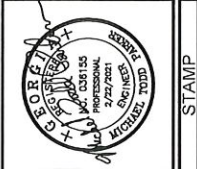
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OWNER / DEVELOPER
 LIFELINE MANAGEMENT GROUP LLC
 4747 STONE MOUNTAIN HWY STE 100
 LILBURN, GA 30047
 CONTACT: PAUL GOURLBY
 PHONE: 678-212-2190

ENGINEER
 PRECISION PLANNING, INC.
 400 PIKE BOULEVARD
 LAWRENCEVILLE, GA 30046
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STORM SEWER PROFILE AND PIPE CHART

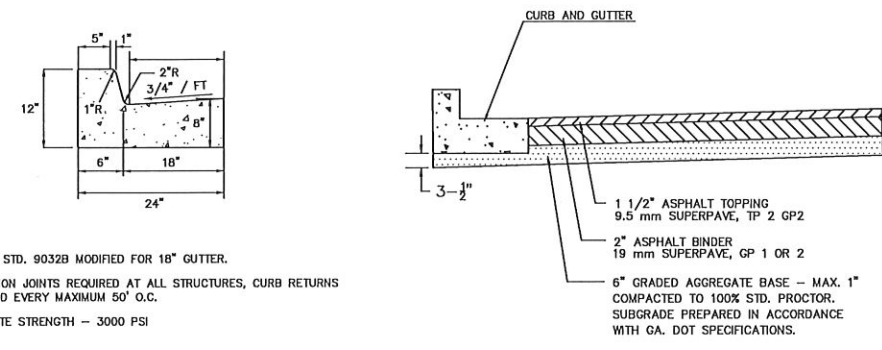
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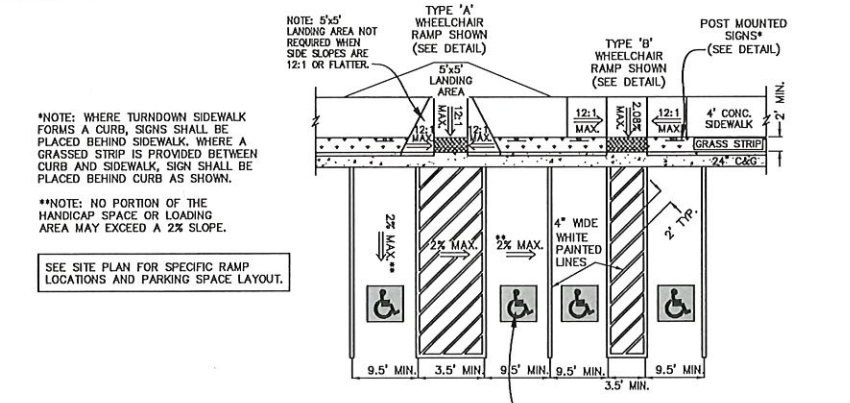
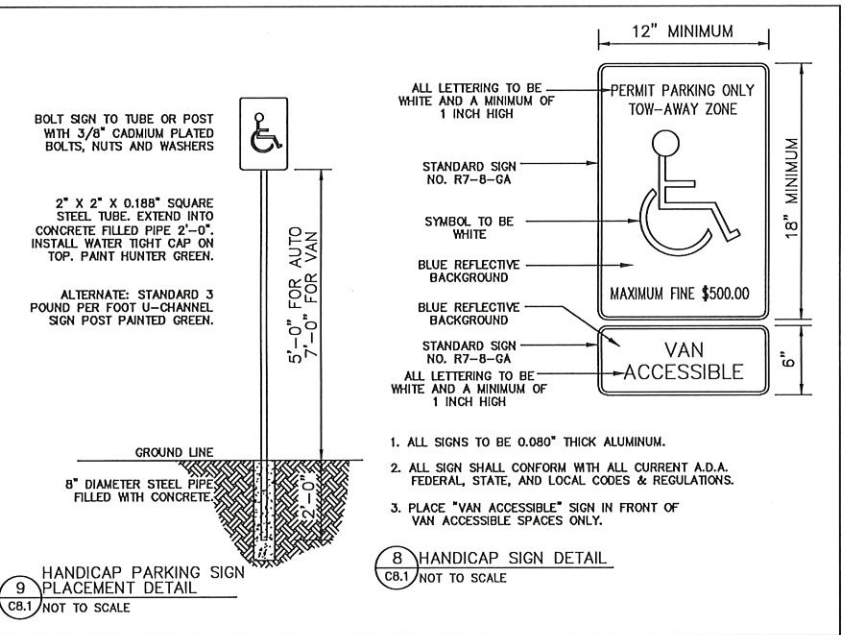
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 PPI PROJECT NO.

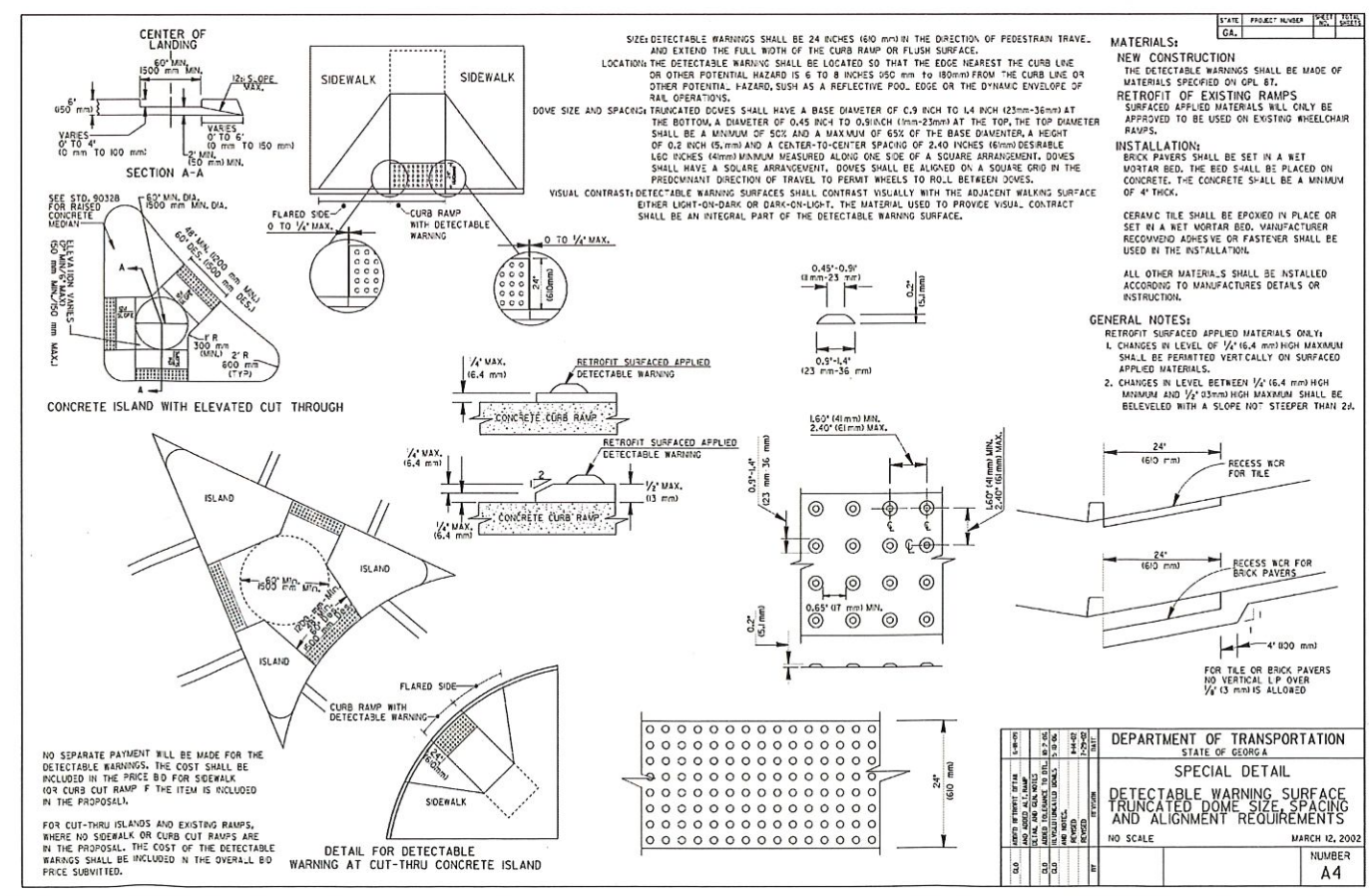
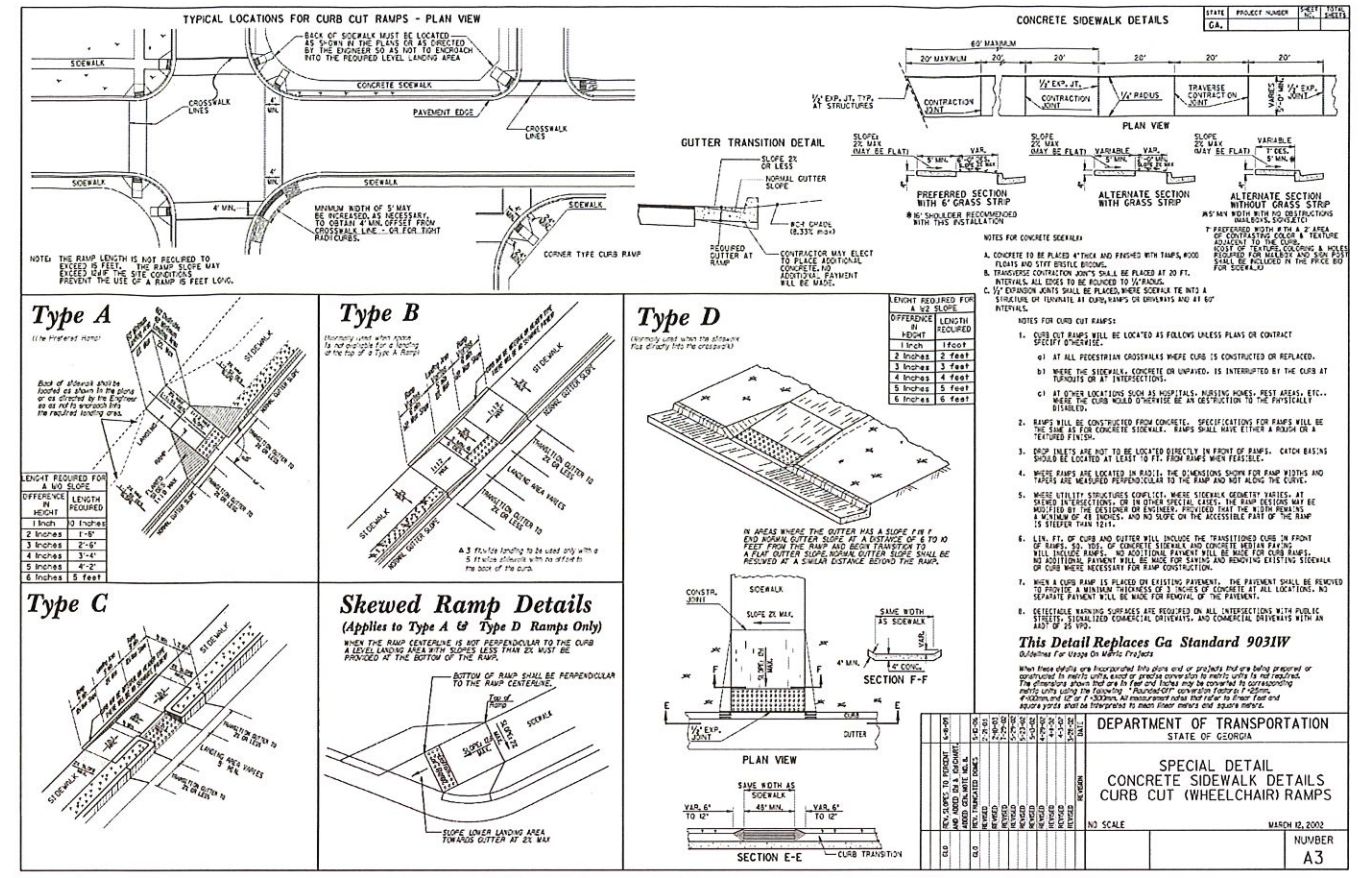
C6.1



24" CURB & GUTTER
MEDIUM DUTY PAVEMENT



ACCESSIBLE PARKING SPACE DETAILS



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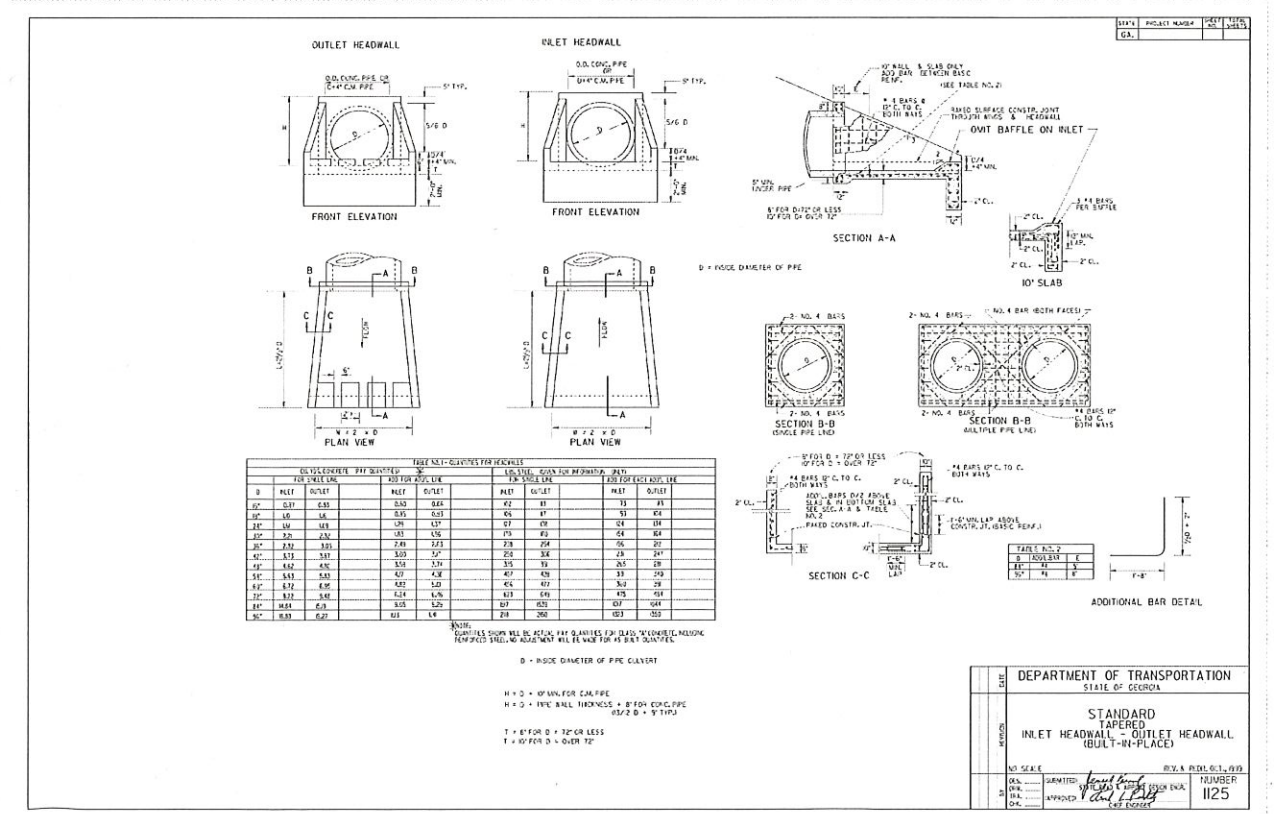
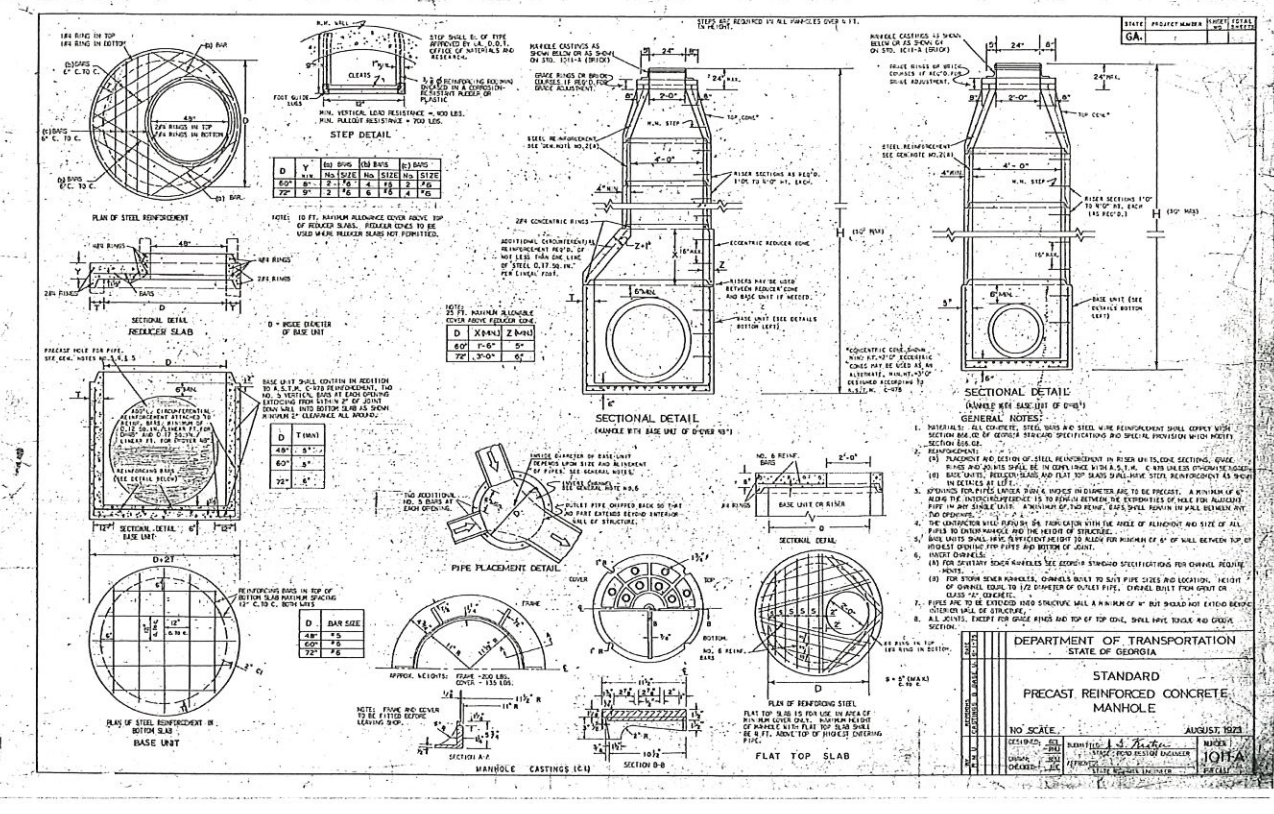
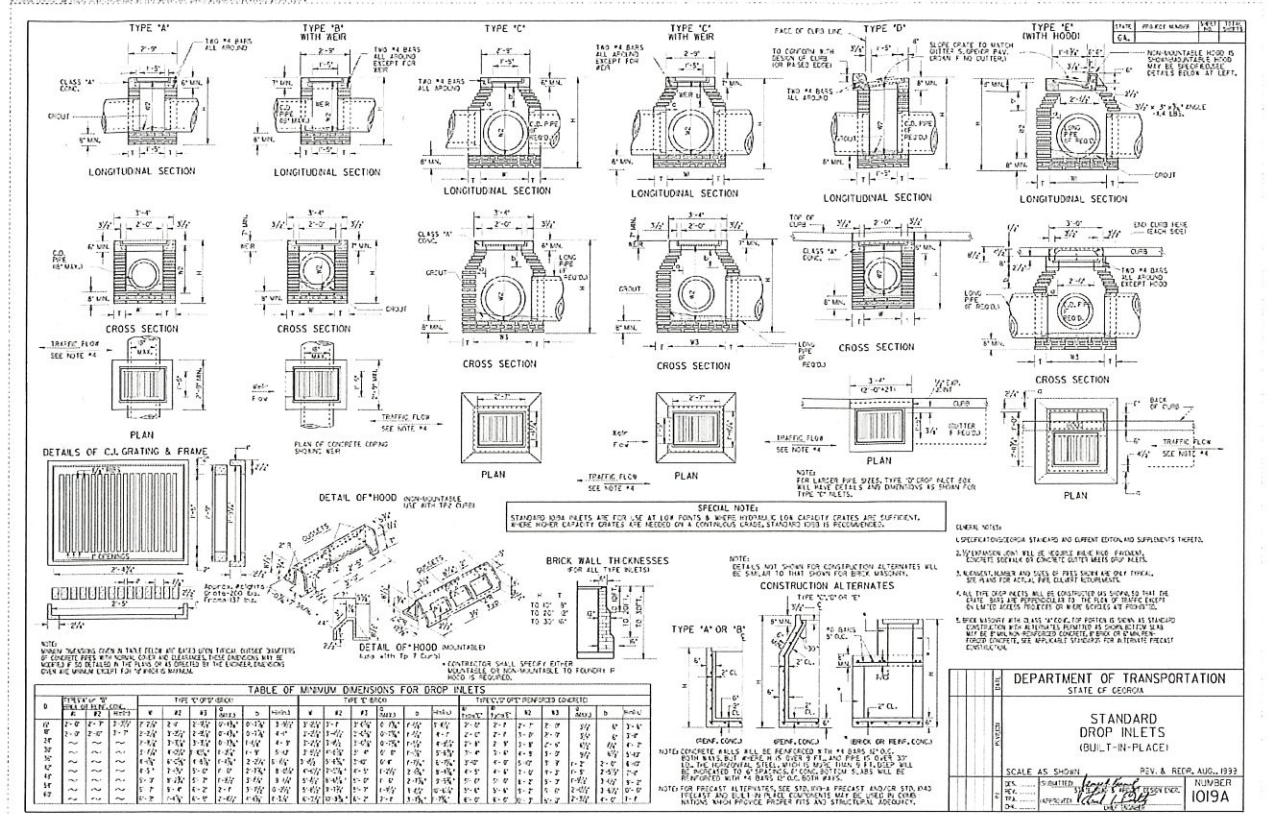
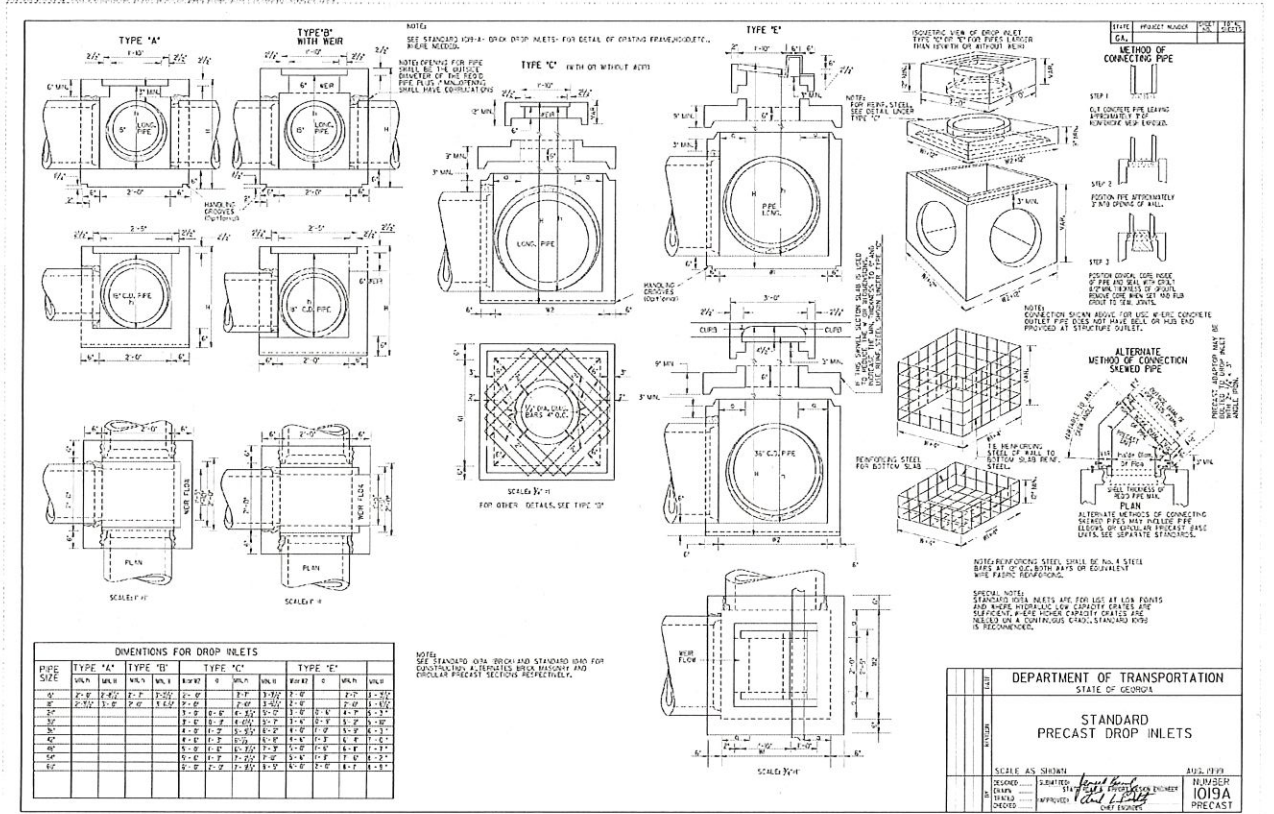
CONSTRUCTION DETAILS

NORTH HWY 11 COMMERCIAL TRACT
LAND LOT 62 - DISTRICT 9, PARCEL M4-5A
N. BROAD ST.
MONROE, GA 30656

DATE: 2/22/2021
DATE: C20174
PPI PROJECT NO. C7.1

2/22/2021
DATE
C20174
PPI PROJECT NO.
C7.1

FILE PATH: E:\PROJECTS\2020\02174\02174_01_CONSTRUCTION_DETAILS.DWG - CHRIS DAMON
PLOT DATE: 2/22/2021 2:33 PM



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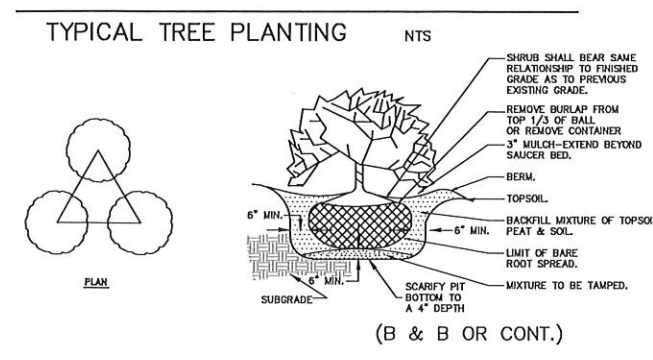
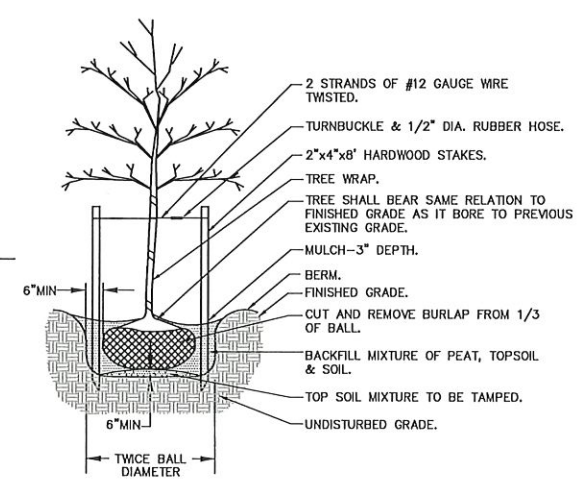
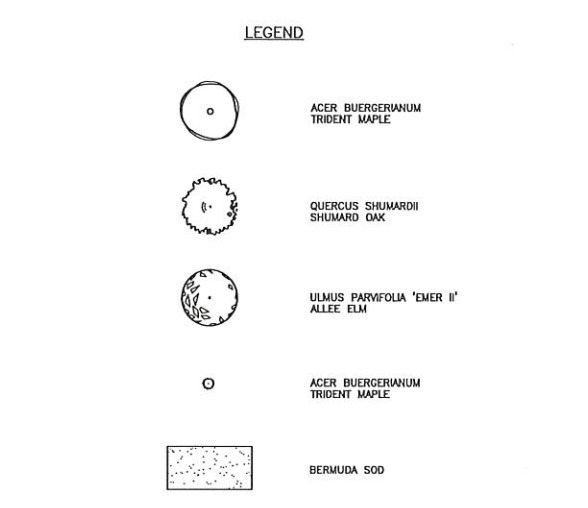
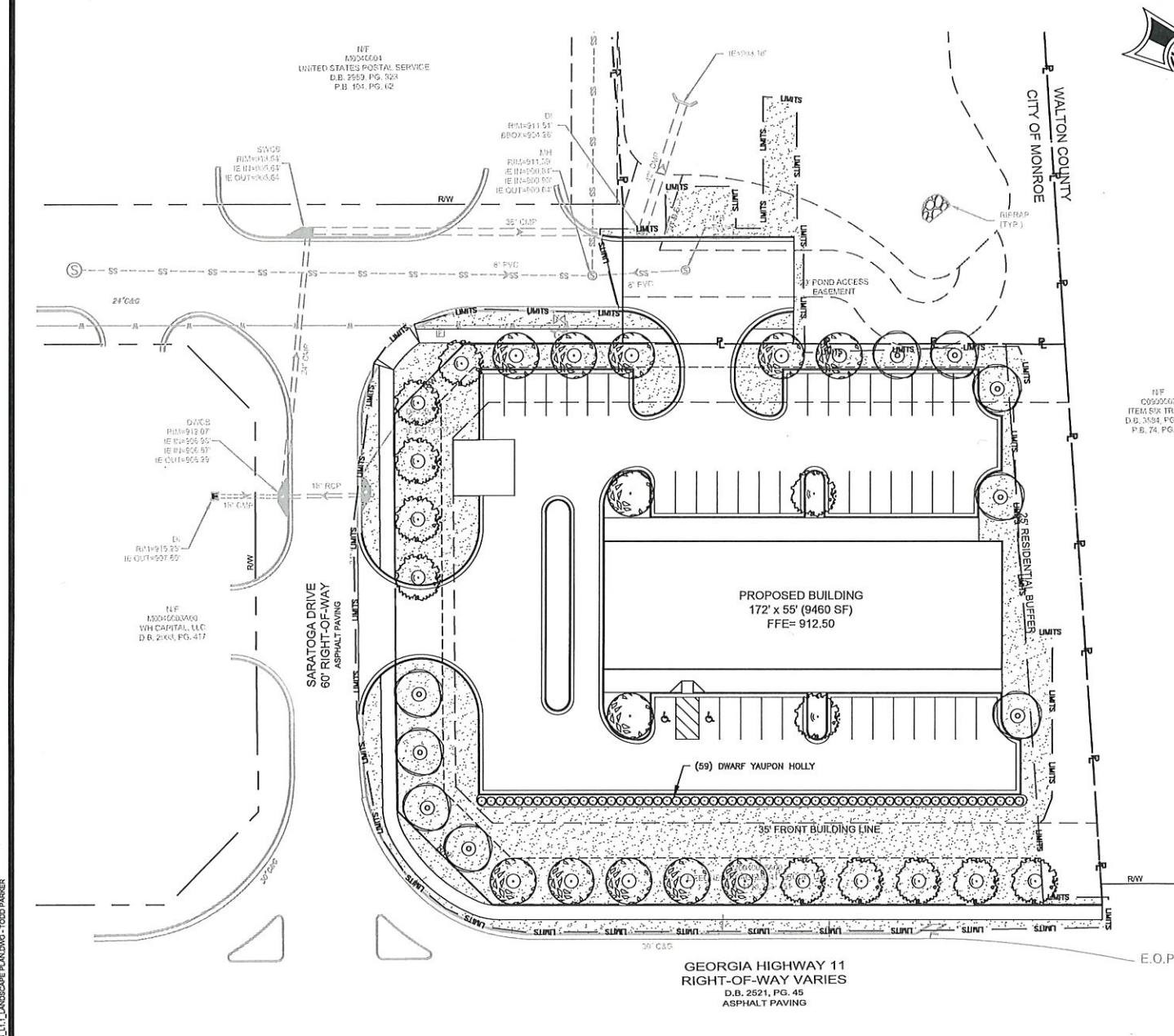
STAMP

PROFESSIONAL ENGINEER
STATE OF GEORGIA
NO. 12345
DATE: 2/22/2021
PROJECT: NORTH HWY 11 COMMERCIAL TRACT

CONSTRUCTION DETAILS

SHEET TITLE
DRAWN: CD
CHECKED: TP
DESIGN: CD
RELEASE

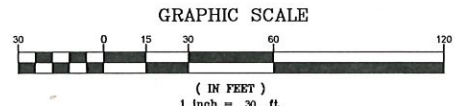
DATE: 2/22/2021
DATE: C20174
PROJECT NO. C7.2



- TREE PROTECTION - TREE REPLACEMENT NOTES**
- THE PURPOSE OF THIS PLAN IS TO MEET THE MINIMUM LOCAL JURISDICTION REQUIREMENTS.
 - THESE PLANS ARE NOT TO BE CONSTRUED AS FINAL COMPLETE LANDSCAPE DOCUMENTS.
 - DEVIATION FROM THE PERMITTED PLANS SHALL BE SUBMITTED BY THE LANDSCAPE CONTRACTOR TO THE LOCAL JURISDICTION FOR CODE COMPLIANCE APPROVAL.
 - DECIDUOUS TREES SHALL BE AT LEAST 2 INCHES IN DIAMETER AND ALL EVERGREEN TREES SHALL BE AT LEAST 6 FEET IN HEIGHT AT TIME OF PLANTING.
 - ALL AREAS NOT COVERED BY BUILDING, PAVING, OR LANDSCAPING SHALL BE GRASSED. SEE EROSION CONTROL FOR TYPES OF GRASSING AND PLANTING DATES.
 - MULCH ALL PLANTING BEDS AT 3" MINIMUM DEPTH W/ PINE STRAW OR DOUBLE GROUND HARDWOOD MULCH.
 - IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ANY DETENTION FACILITY CONSTRUCTED ON THEIR PROPERTY AND TO ENSURE THE FACILITY IS FREE OF OBSTRUCTION, SILT, OR DEBRIS.
 - ALL BUFFER AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH PROTECTIVE TREE FENCING ADJOINING ALL ZONING BUFFERS AND TREE SAVE AREAS. FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE.
 - THINNING IS ALLOWED AND MAY INCLUDE MANUAL REMOVAL OF NON-SPECIMEN TREES WITHIN THE CRITICAL ROOT ZONE OR DRIFTLINE OF THE SPECIMEN TREE IN THE LANDSCAPE INSTALLATION PHASE OF DEVELOPMENT ONLY. THINNING INCLUDES MANUAL REMOVAL (NO MOTORIZED/WHEELED OR TRACK VEHICLES ALLOWED WITHIN CRITICAL ROOT ZONE OF THE SPECIMEN TREE).
 - A COMMERCIAL APPLICATOR LICENSE AND A PESTICIDE CONTRACTOR LICENSE ARE REQUIRED BY THE CONTRACTOR IF THE USE OF HERBICIDES ARE NECESSARY FOR NON-VEGETATIVE MATERIAL TO BE REMOVED MANUALLY.
 - THINNING AND CLEARING OF ANY VEGETATIVE MATERIAL IN THE CRITICAL ROOT ZONE SHALL BE DONE IN THE LANDSCAPE INSTALLATION PHASE OF DEVELOPMENT.
 - TREES SHALL BE IN PLACE AND PLANTED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 - EXISTING VEGETATION IN BUFFER IS SUFFICIENT TO PROVIDE A YEAR ROUND VEGETATIVE SCREEN. SPARSELY VEGETATED AREAS SHALL BE ENHANCED PRIOR TO FINAL PLANT APPROVAL.
 - TOPPING OF TREES IS NOT ALLOWED. TREES REMOVED HAVING THEIR TOPS CUT AFTER COMPLIANCE WITH THIS ORDINANCE SHALL BE REPLACED WITH THE EQUIVALENT INCHES OF REMOVED TREES.

- GENERAL PLANTING NOTES**
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
 - ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
 - TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
 - ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT TO THE LANDSCAPE CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO PRICING THE WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
 - THE OWNER AGREES TO PERFORM ALL LANDSCAPE MAINTENANCE (INCLUDING WATERING) THROUGHOUT THE ONE YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFLAGES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - LANDSCAPE FRONTAGE TREES TO BE A MINIMUM 3" CALIPER AT THE TIME OF PLANTING.

- IRRIGATION NOTE**
- SITE LANDSCAPING WILL BE IRRIGATED.
 - IRRIGATION DESIGN SHALL BE PROVIDED BY CONTRACTOR INSTALLING IRRIGATION SYSTEM.



PRECISION PLANNING, INC.
LANDSCAPE ARCHITECTURE

PRECISION PLANNING, INC.
LANDSCAPE ARCHITECTURE
2/22/2021
MICHIGAN, TODD
PRECISION PLANNING, INC.

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LANDSCAPE PLAN

NORTH HWY 11 COMMERCIAL TRACT
LAND LOT 62 - DISTRICT 3, PARCEL M4-5A
N. BROAD ST.
MONROE, GA 30656

DESIGN	CD	CHECKED	TP
DRAWN	CD	RELEASE	

DATE: 2/22/2021
DATE: C20174
PROJECT NO. PPI PROJECT NO.

L1.1

ENGINEER
PRECISION PLANNING, INC.
400 PIKE BOULEVARD
LAWRENCEVILLE, GA 30046
CONTACT: TODD PARKER
PHONE: 770-338-8000
EMAIL: 707TP@PPILUS

FILE PATH: E:\PROJECTS\2020\20200207\4\LANDSCAPE PLAN.DWG - TODD PARKER
PLOT DATE: 3/18/2021 4:44 PM

**NOTICE TO THE PUBLIC
CITY OF MONROE**

The City of Monroe has received a request for a Certificate of Appropriateness for a new development. A public hearing will be held on April 20, 2021 before the Planning & Zoning Commission, at 5:30 P. M. for 100 Saratoga Drive.

The meeting will be held in City Hall Meeting Room, 215 North Broad Street. All those having an interest should be present.

Please run on the following date:

March 28, 2021



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 03-31-2021
Description: Corridor Design Overlay District Certificate of Appropriateness 803 E Spring St.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: *Staff recommendation is approval without conditions.*

Background: This is a request for modification of an existing Orthodontic Office by a 2000sq. ft. addition. As mentioned in the staff report the addition façade will be brick; painted to match with black shutters. Time did not allow the addition of this information to the plan after the original submission.

Attachment(s): Application, supporting documents and COA staff report.

**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: PCOM-000096-2021

DATE: March 26, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: 803 Spring LLC

PROPERTY OWNER: 803 Spring LLC

LOCATION: Northeast corner of E Spring Street and Bryant Road – 803 E Spring Street

ACREAGE: ±0.676

EXISTING ZONING: B-3 (Highway Business District)

EXISTING LAND USE: Fully developed site with an orthodontic office building and parking area.

ACTION REQUESTED: The owner is requesting approval of a Certificate of Appropriateness application in order to allow construction of an expansion to an existing orthodontic office building.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness request as submitted without conditions.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: April 20, 2021

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of an expansion to an existing orthodontic office building. The proposed expansion will be located at the rear of the existing building. The applicant proposes the façade of the expansion will match the existing white, painted brick of the existing office. A variance request was submitted in conjunction with this application for consideration of increasing parking above 120% on the site.

PROPOSED PROJECT SUMMARY:

- Existing Orthodontic Office – Gray Orthodontics
 - Total Building Floor Area – 5,416 Sf
 - Existing Floor Area – 3,416 Sf

- Proposed Expansion – 2,000 Sf
- Proposed Façade – matching existing façade with white, painted brick and matching shutters and roof materials

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 Site Planning:

The proposed addition should be sufficiently accommodated on the site. Additional features such as improved and relocated access into the site and the inclusion of sidewalks around the parking area will complement the proposed addition.

643A.2 – Architecture:

This proposed addition will match the existing façade of the existing office building. The addition will be white, painted brick with black shutters around the windows.

643A.3 – Pavement:

The applicant proposes to construct a new driveway into the site with some additional paving to accommodate parking. The parking and access to the site are ideally located to the rear and side of the building.

643A.4 – Landscaping:

The site has an extensive amount of existing landscaping. The applicant proposes to enhance the new driveway entrance into the site with additional landscaping.

643A.5 – Signs:

No additional signage is proposed with this request.

643A.6 – Illumination:

No additional lighting is proposed for the building addition or parking area expansion.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness as submitted without conditions to construct an expansion to the existing office building.



City of Monroe
215 N. Broad Street
Monroe, GA 30655
(770)207-4674

Plan Report Plan NO.: PCOM-000096-2021

Plan Type: Planning Commission
Work Classification: Certificate of Appropriateness
Plan Status: In Review

Apply Date: 03/22/2021 **Expiration:**

Location Address	Parcel Number
803 E SPRING ST, MONROE, GA 30655	M0130098

Contacts

803 SPRING LLC 2295 VINTAGE DR, WATKINSVILLE, GA 30677 (770)310-3560	Applicant practiceadmin@grayorthodontics.com
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Description: REQUEST FOR COA FOR EXPANSION - P&Z MTG 4/20/2021 @ 5:30 PM - 215 N BROAD STREET	<table style="width: 100%;"> <tr> <td>Valuation:</td> <td style="text-align: right;">\$0.00</td> </tr> <tr> <td>Total Sq Feet:</td> <td style="text-align: right;">0.00</td> </tr> </table>	Valuation:	\$0.00	Total Sq Feet:	0.00
Valuation:	\$0.00				
Total Sq Feet:	0.00				

Fees	Amount
Planning Commission Regular Meeting (COA)	\$50.00
Total:	\$50.00

Payments	Amt Paid
Total Fees	\$50.00
Check # 1021	\$50.00
Amount Due:	\$0.00

<u>Condition Name</u>	<u>Description</u>	<u>Comments</u>
-----------------------	--------------------	-----------------

 Issued By: Debbie Adkinson

March 22, 2021

 Date

Plan_Signature_1

Date

Plan_Signature_2

Date

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Zoning ordinance, you are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change you wish to make to your property if your property is located within a Corridor Design Overlay District. Please see pages 45 through 52 of the Zoning Ordinance.

The following steps must be taken in order to have your proposed change considered by the Planning Commission:

1. Stop by the Code Office at least 45 working days in advance of the next regular meeting of the Planning Commission (the Third Tuesday of each month at 5:30 pm), read the Zoning Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$50.00 fee. If you request a "special meeting" at some date or time (other than the 3rd Tuesday of every month), the fee is \$100.00.
4. Provide all documentation which will assist the Planning Commission in deciding if your proposed change(s) are in keeping with the Corridor Design Overlay District standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives Planning Commission members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the Planning Commission looks forward to considering your request.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE PLANNING COMMISSION

Please read the Zoning Ordinance (Corridor Sections 643-1 through 643A.6). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 3/19/21

APPLICANT: 803 Spring, LLC / Lawrence Gray

APPLICANT'S ADDRESS: 2295 Vintage Dr.
Watkinsville, GA 30677

TELEPHONE NUMBER: 770-310-3560

PROPERTY OWNER: Same as applicant

OWNER'S ADDRESS: _____

TELEPHONE NUMBER: _____

PROJECT ADDRESS: 803 E. Spring St.
Monroe, GA 30655

Brief description of project: Proposed 2000 SF Expansion to
existing orthodontics office, relocate existing
entrance and added parking spaces.

(Continue on separate sheet, if necessary.)

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the Planning Commission to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the Planning Commission duties include taking into account all aspects of the exterior of the structure.

In its review, the Planning Commission shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positionings and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than fifteen (15) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A "material change in appearance" means a change that will affect either the exterior architectural or environmental features of a corridor property or any structure, site, or work of art within a corridor design overlay district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and

- 5. The erection, alteration, restoration, or removal of any building or other structure within a corridor district, including walls, fences, steps and pavements, or other appurtenant features.
[Sec 643.4(4) (a)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 21C(65)].

“Landscaping/landscape area” means a portion of lot or land area, either natural or modified for aesthetic or functional purposes through grading and planting, consisting of vegetation including but not limited to trees, shrubs, ground covers, grass, flowers, decorative rock, bark, mulch and other similar materials. [Sec. 210(86)].

Ordinary maintenance or repair of any exterior architectural feature in or on a corridor property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 643.4(3) (b)]

Mark Lamy
Applicant

Date: 3/19/21

Brad Callender

From: Brad Callender <bradcallender@gmail.com>
Sent: Wednesday, March 31, 2021 10:35 AM
To: Brad Callender
Subject: Fwd: Updated site plan Dr Gray

----- Forwarded message -----
From: Thiep Huynh <tipacellc@gmail.com>
Date: Tue, Mar 30, 2021 at 4:05 PM
Subject: Fwd: Updated site plan Dr Gray
To: <bradcallender@gmail.com>

Brad,

Please see architect's email below on exterior.

----- Forwarded message -----
From: Scott Zanardo <szanardo@zanardopc.com>
Date: Mon, Mar 22, 2021 at 11:35 AM
Subject: RE: Updated site plan Dr Gray
To: Thiep Huynh <tipacellc@gmail.com>, Ryan Hollandsworth <ryan@hollandsworthconstruction.com>
Cc: tip@alcovyse.com <tip@alcovyse.com>, Bret Haley <bret@hollandsworthconstruction.com>

The existing exterior materials are white painted brick.

We would design the addition to match the existing.

The roof are black asphalt shingles which we would also match.

The shutters will be painted black.

Scott Zanardo, AIA/AAH, NCARB

President



295 Culver Street South

SITE PLAN NOTES

1. SITE CONTAINS 0.676 ACRES TOTAL.
2. PROPERTY IS ZONED B-3.
3. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY ABE SURVEYING AND ENGINEERING, INC. DATED 8/18/17.
4. NO PART OF THIS SITE IS IN A FLOOD HAZARD ZONE ACCORDING TO F.I.R.M. COMMUNITY PANEL NO. 1329700137E, DATED 12/8/16.
5. THERE ARE NO MAXIMUM ALLOWABLE BUILDING HEIGHT LIMIT.
6. ALL CURB RADII ARE 5.0' UNLESS OTHERWISE NOTED.
7. ALL CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
8. ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO CITY OF MONROE AND GEORGIA DEPARTMENT OF TRANSPORTATION STANDARDS.
9. SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, AND OTHER ARCHITECTURAL DETAILS.
10. HANDICAP PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL NOT BE OBTAINED BY VEHICLES PARKING IN THE SPACES.
11. CONTRACTOR TO NOTIFY INSPECTOR AT LEAST 24 HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
12. SIGNS, LOCATION, NUMBER AND SIZE ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT.
13. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
14. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
15. THE LOCATIONS OF ALL BUILDINGS FROM PROPERTY LINES AND OTHER BUILDINGS SHALL COMPLY WITH THE HEIGHT AND AREA LIMITATIONS OF TABLE 500 AND THE FIRE RESISTIVE REQUIREMENTS OF TABLE 600 OF THE 1995 EDITION OF THE STANDARD BUILDING CODE BASED ON OCCUPANCY GROUP CLASSIFICATIONS AND TYPES OF CONSTRUCTION.
16. NO DRIVE UP WINDOWS ARE PROPOSED.
17. BUILDING NOT TO BE SPRINKLERED.
18. NO SIGNAGE IS PROPOSED AT THIS TIME AND THE APPROPRIATE SIGN PERMITS TO BE OBTAINED AT A LATER DATE.
19. THERE ARE NO EXISTING OR PROPOSED INERT WASTE BURY PITS ON THIS SITE.
20. OWNER IS RESPONSIBLE FOR MAINTENANCE OF STORM DRAIN SYSTEM OUTSIDE OF RIGHT OF WAY.
21. OWNER IS RESPONSIBLE FOR COMPLIANCE WITH N.P.D.E.S. GENERAL PERMIT REQUIREMENTS.
22. THERE ARE NO WETLANDS ON THIS SITE.
23. SITE IS SERVED BY CITY OF MONROE SANITARY SEWER SYSTEM.
24. SITE IS SERVED BY CITY OF MONROE WATER SYSTEM.
25. THERE ARE NO CEMETERIES OR OTHER SIGNIFICANT OR HISTORICAL AREAS ON THE SITE.

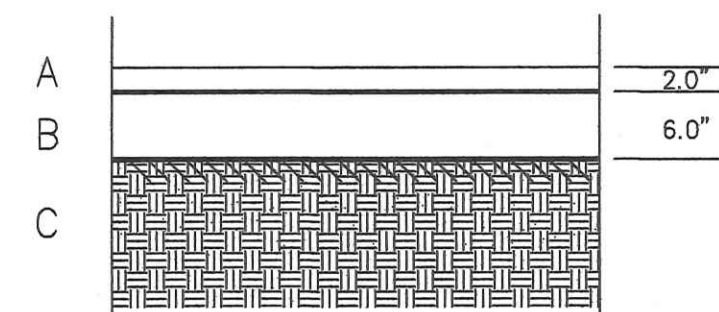
SITE PLAN KEYED NOTES

- (A) AREA STRIPED WITH SWSL/4"ACMP @ 45° AT 2'-0" O.C.
- (B) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET.
- (C) ACCESSIBLE RAMP. SEE DETAIL SHEET D-2.
- (D) 24" CONCRETE CURB AND GUTTER (TYPE A) TYPICAL. SEE DETAIL SHEET.
- (D_B) 24" CONCRETE CURB AND GUTTER (TYPE B) TYPICAL. SEE DETAIL SHEET.
- (E) PAINTED DIRECTIONAL ARROW (TYPICAL). SEE DETAIL SHEET.
- (F) CONCRETE DUMPSTER PAD.
- (G) 5' CONCRETE SIDEWALK.
- (H) HANDICAP SIGN. SEE DETAIL SHEET.
- (J) PARKING CURB/WHEEL STOP
- (K) 6" RIBBON CURB.

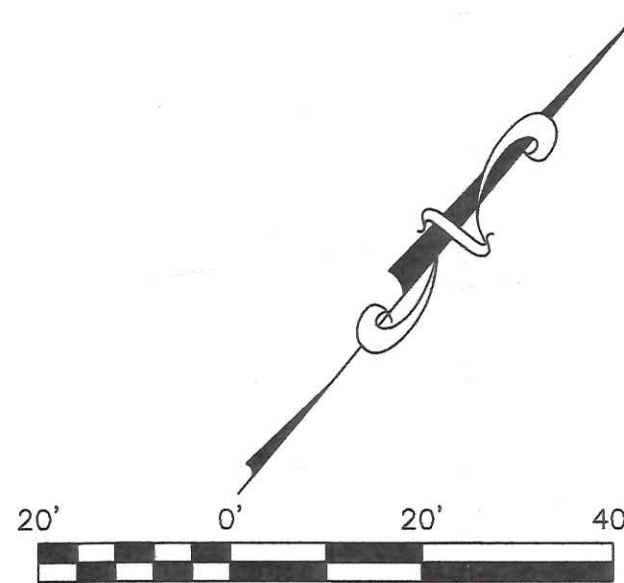
PAVEMENT LEGEND

TYPE II PAVEMENT

- A. 2.0 INCH ASPHALT TOPPING - TYPE "E" OR "F"
- B. 6.0 INCHES OF CRUSHED STONE BASE COURSE
- C. STABILIZED SUBGRADE
RAW SUBGRADE SOIL (IN SITU OR COMPACTED FILL)
COMPACTED TO A MINIMUM OF 98%
OF ASTM D 698 DENSITY

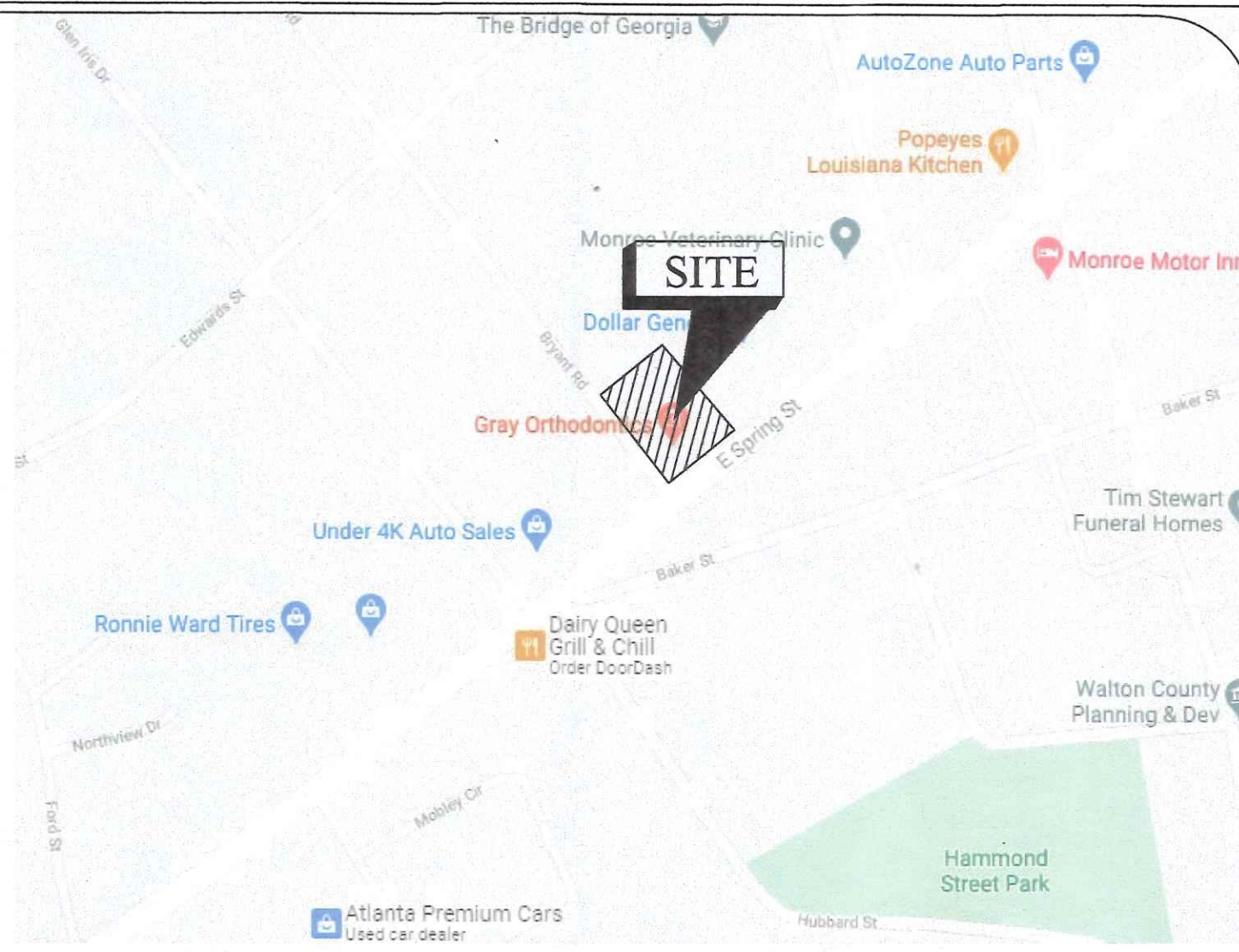


TYPE II PAVEMENT
(FOR INTERIOR DRIVEWAYS ONLY)
NO SCALE



GEORGIA811
www.Georgia811.com

TOTAL SITE AREA = 0.676± ACRES
TOTAL DISTURBED AREA = 0.0± ACRES
THERE ARE NO STATE WATERS ON THE SITE.
THERE ARE NO NW WETLAND ON SITE. UPON A SITE VISIT, THERE WERE NO VEGETATION WHICH INDICATES WETLANDS ON SITE.



VICINITY MAP
N.T.S.

SITE ANALYSIS

TOTAL BUILDING	5,416 S.F.
PROP. BUILDING EXPANSION	2,000 S.F.
EX. MEDICAL OFFICE	2,057 S.F.
BASEMENT	1,359 S.F.
TOTAL AREA	0.676 AC.
TOTAL IMPERVIOUS	0.38 AC. OR 56.28%
MAX. IMPERVIOUS	60%
EX. IMPERVIOUS REMOVAL	2,038 S.F.
PROPOSED IMPERVIOUS	5,007 S.F.
NET INCREASE IN IMPERVIOUS	2,969 S.F.
ZONED	B-3

REQUIRED PARKING	3 SP. / 1,000 S.F.	17 SPACES
TOTAL REQUIRED	120% MAX. PARKING	21 SPACES
TOTAL PROVIDED		27 SPACES
H.C. SPACES REQ.		2 SPACES
H.C. SPACES PROVIDED		2 SPACES

TREE LEGEND

WILLOW OAK
REQUIRED & TALL AT TIME OF PLANTING

SHRUBS

- INDIAN HAWTHORN
- AZALEA
- KNOCK OUT ROSE

PROPOSED TREES ARE NOT TO SCALE

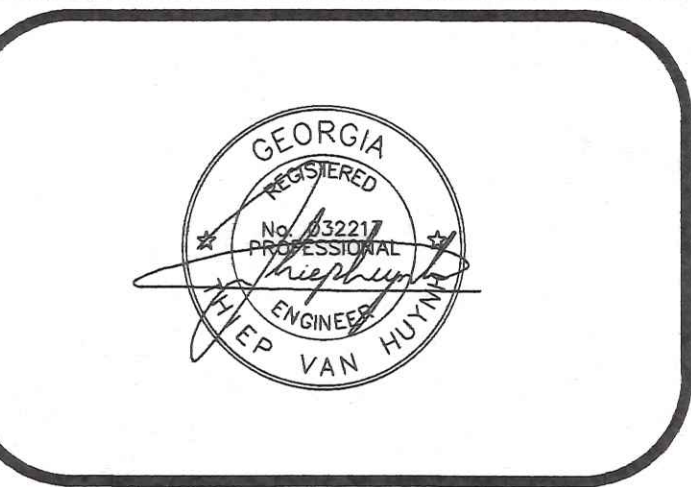
PLANT LIST

	COMMON NAME	SIZE	UNITS	TOTAL UNITS
2	WILLOW OAK	1 1/2" CALIPER	0.4	4.4
			TOTAL UNITS	4.4

A.C.E.
ALCOY CONSULTING ENGINEERING AND ASSOCIATES, LLC.
P.O.C. TIP HUYNH, P.E.
485 Edwards Rd.
Oxford, Georgia 30054
Phone: 770-466-4002
tipacell@gmail.com

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SITE PLAN

PROPOSED GRAY ORTHODONTICS EXPANSION

PARCEL: M0130098
LAND LOT: 72
DISTRICT: 3TH
803 E SPRING STREET
CITY OF MONROE, GA

DATE: 1/12/2021
SCALE: 1" = 20'

OWNER / DEVELOPER

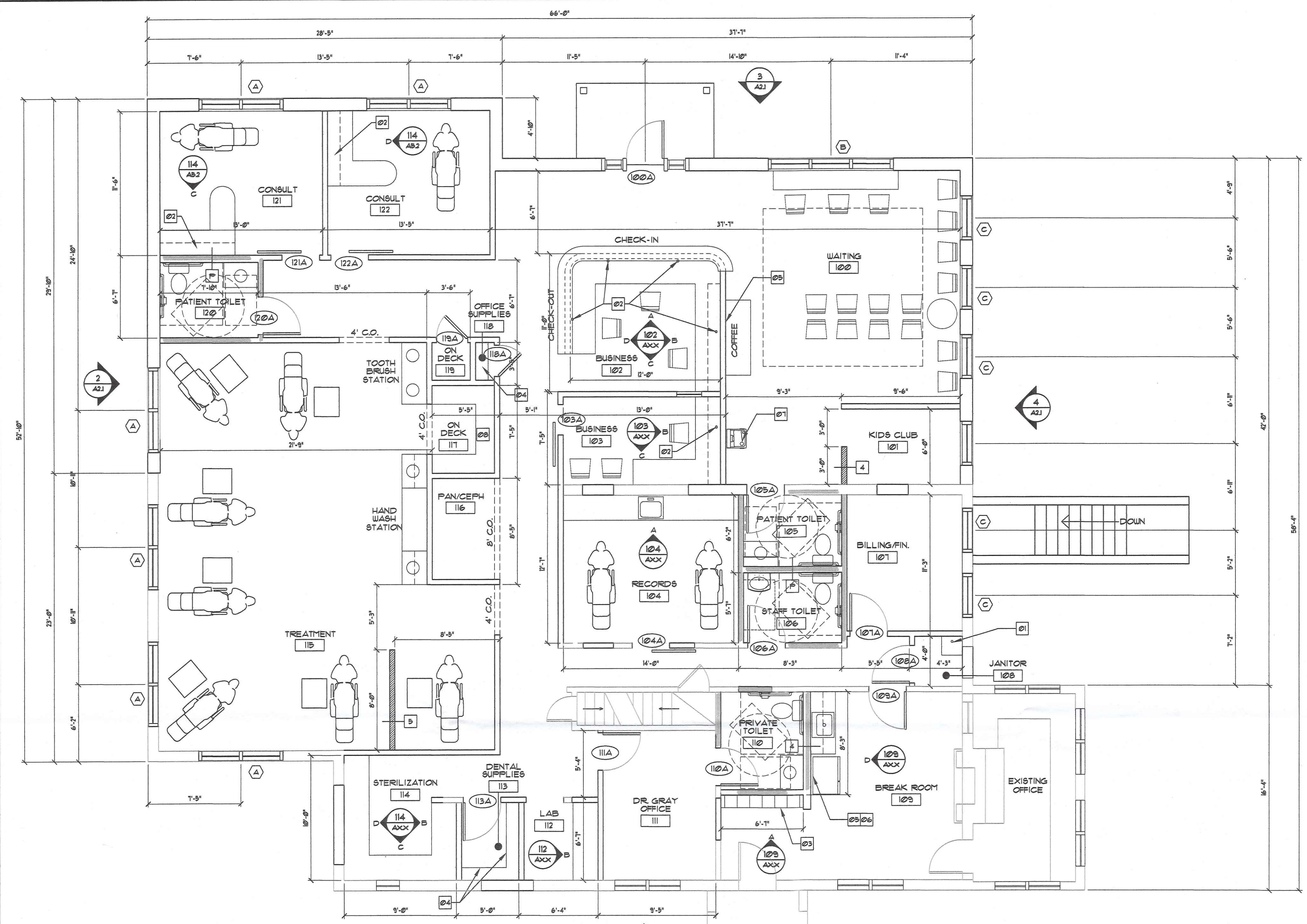
803 SPRING, LLC.
1305 GULFPORT RUN
GRAYSON, GA 30017

24 HOUR - EMERGENCY CONTACT
RYAN HOLLANDWORTH
404-557-8260
ryan@hollandsworthconstruction.com

REVISIONS

NO.	DATE	DESCRIPTION

JOB No. # 20-190
C-1.2



GENERAL PLAN NOTES:

1. ALL WALL MOUNTED HAND LAVATORIES SHALL BE REINFORCED WITH 2X10 PT LUMBER SET AT MOUNTING LOCATION OF LAVATORY. MOUNT STUDS SO THAT FIXTURE IS CENTERED BETWEEN STUDS - TYPICAL.
2. ALL WALL HUNG SHELVING AND UPPER CASEWORK AND GRAB BARS SHALL HAVE 2X10 WALL REINFORCEMENT BETWEEN STUDS FULL LENGTH AT ANCHOR POINT LOCATIONS - TYPICAL.
3. GC TO INSTALL BLOCKING. VERIFY LOCATION IN FIELD WITH CASEWORK, PLUMBING, AND KITCHEN EQUIPMENT DRAWINGS
4. GC TO COORDINATE WITH DENTAL DRAWINGS FOR ALL BLOCKING LOCATIONS NOT SHOWN ON ALL

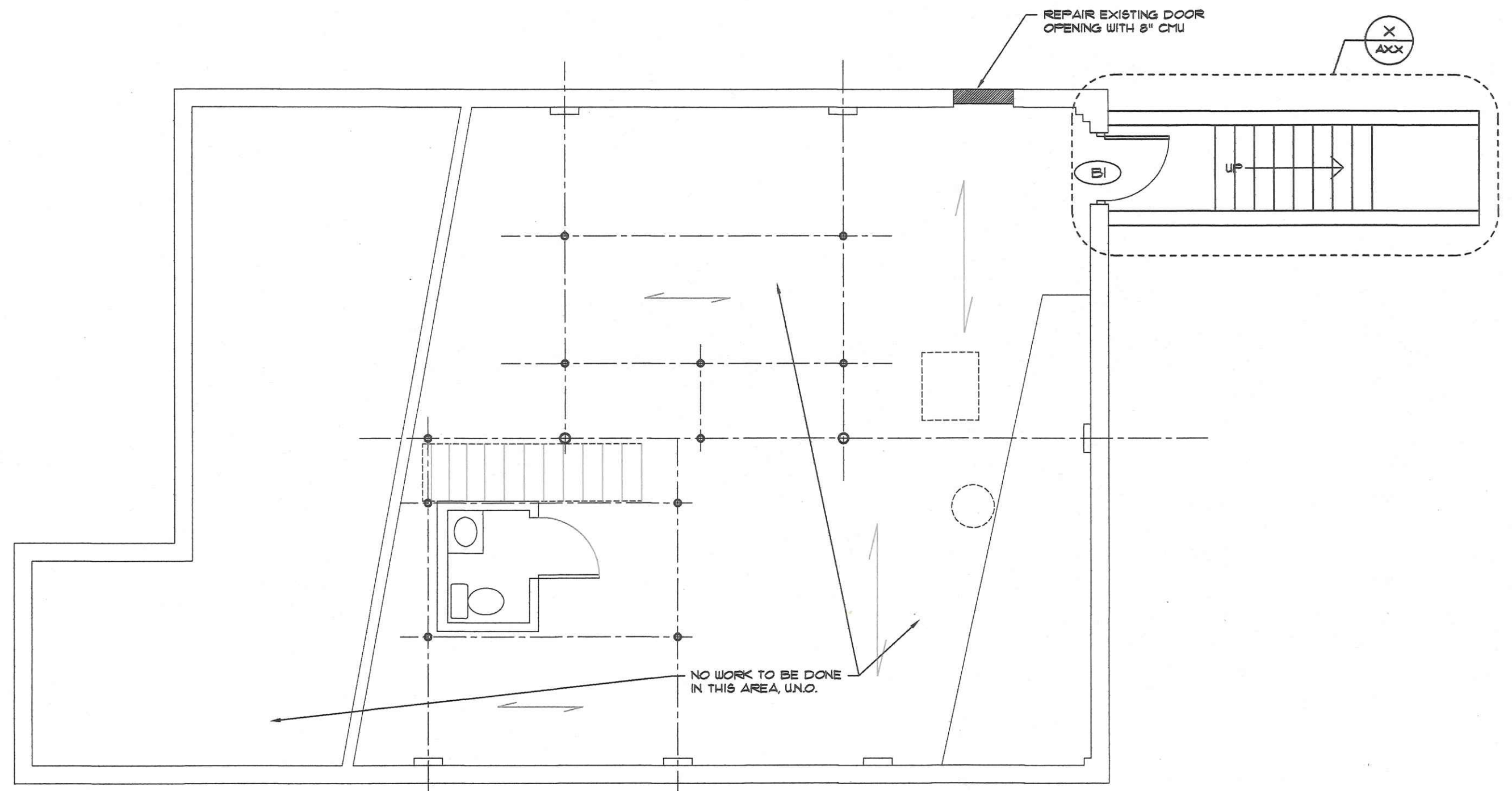
KEY NOTES:

- 01 FLOOR MOUNTED MOP SINK. PROVIDE FRP PANELS 48" HIGH ON EACH WALL. COORDINATE WITH PLUMBING PLANS
- 02 2" DIA. GROMMET. GC TO VERIFY LOCATIONS IN FIELD
- 03 LOCKERS. PROVIDED AND INSTALLED BY G.C. SEE ELEVATIONS 2/A6.2 LOCKERS TO BE PRICED AS ALTERNATE BY G.C.
- 04 MELAMINE SHELVING ON STANDARDS 4 BRACKETS WITH BLOCKING IN WALLS. 9" HIGH STARTING AT 12" AFF.
- 05 WATER CONNECTION INSTALLED BY GC. SEE PLUMBING DRAWINGS
- 06 REF. SUPPLIED AND INSTALLED BY OWNER
- 07 GC TO INSTALL NEW WATER FOUNTAIN WITH BOTTLE FILLER. SEE PLUMBING DRAWINGS
- 08 17" HIGH BENCH. SEE INTERIOR ELEVATIONS

WALL LEGEND

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- EXTERIOR WALL: 2X6 WOOD STUDS AT 16" O.C. WITH R-19 KRAFT FACED BATT INSUL. AND 5/8" MOLD RESISTANT GYP. BD. ON INTERIOR. EXTERIOR - 1/2" ADVANTECH ZIP SHEATHING WITH TAPED JOINTS. EXTERIOR FINISH AS SCHEDULED
- TYPICAL INTERIOR NON-LOAD BEARING PARTITION: 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. FULL-HEIGHT TO UNDERSIDE OF STRUCTURE
- INTERIOR NON-LOAD BEARING PARTITION: (PLUMBING WALL) 2X6 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. FULL HEIGHT TO UNDERSIDE OF STRUCTURE
- INTERIOR NON-LOAD BEARING PARTITION: 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. 4'-0" IN HEIGHT
- INTERIOR NON-LOAD BEARING PARTITION: 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. 5'-0" IN HEIGHT
- INDICATES 3" SOUND BATT INSULATION IN WALLS
- FE PROVIDE SEMI-RECESSED FIRE CABINET WITH FIRE EXTINGUISHER. SHALL BE LOCATED PER THE REQUIREMENTS OF NFPA 10. THE SIZE SHALL BE A MINIMUM OF 2A10BC, 4 ARE REQUIRED AND SHALL BE INSTALLED AT A MAXIMUM OF 48" AFF TO THE TOP OF THE HANDLE.
- EP NEW RECESSED ELECTRICAL PANEL

NEW FLOOR PLAN
SCALE: 1/4"=1'-0" FIRST FLOOR
TRUE PLAN NORTH



NEW FLOOR PLAN
SCALE: 1/4"=1'-0" BASEMENT
TRUE PLAN NORTH

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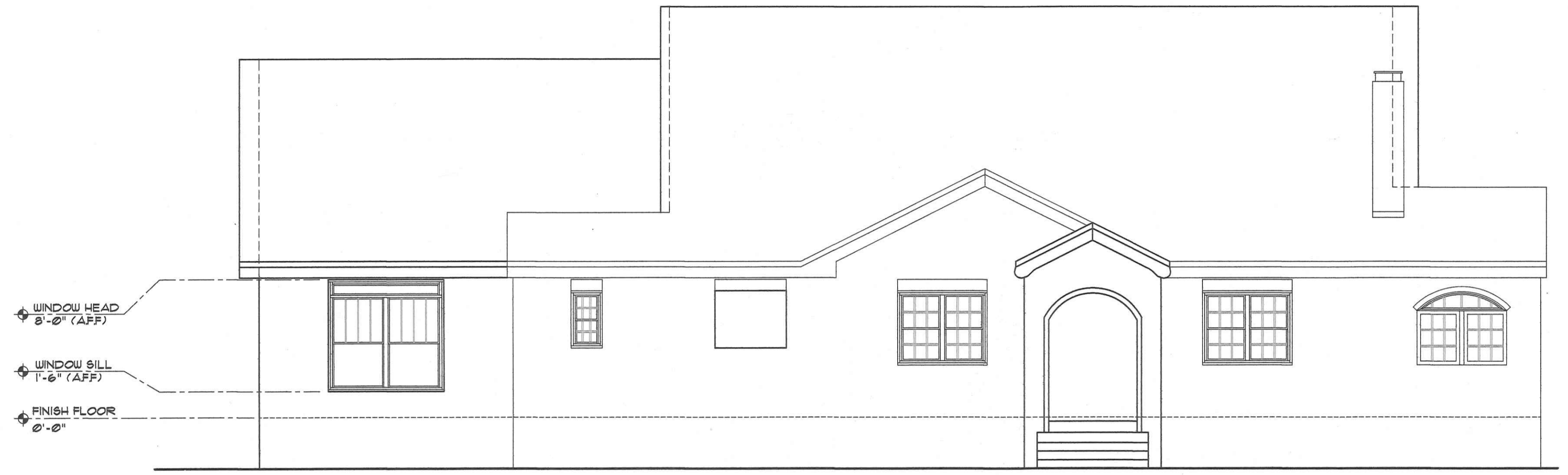
ISSUE RECORD	DATE	REVISION

DR. GRAY

ZANARDO ARCHITECTS, P.C.
295 CULVER STREET SOUTH
SUITE C
LAWRENCEVILLE, GA 30046
770.806.1031

date 3/12/21
drawn NT
checked SZ
proj# 2021-01

NOT FOR CONSTRUCTION

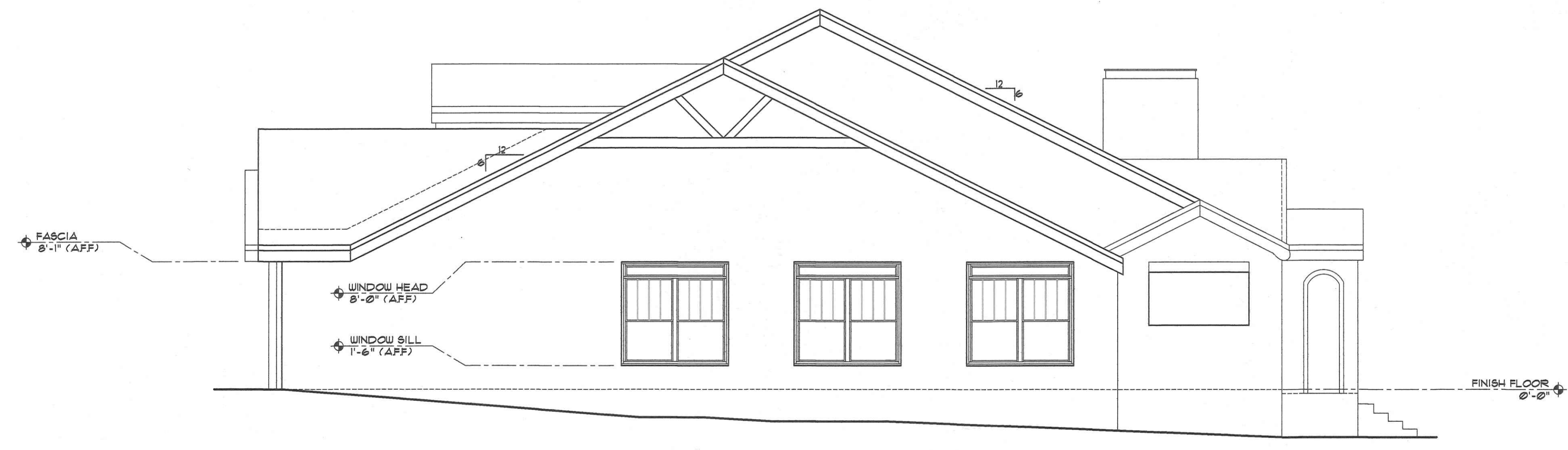


◆ WINDOW HEAD
8'-0" (AFF)

◆ WINDOW SILL
1'-6" (AFF)

◆ FINISH FLOOR
0'-0"

1 REAR ELEVATION
SCALE: 1/4"=1'-0"



◆ FASCIA
0'-1" (AFF)

◆ WINDOW HEAD
8'-0" (AFF)

◆ WINDOW SILL
1'-6" (AFF)

◆ FINISH FLOOR
0'-0"

2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

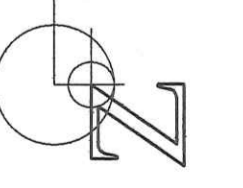
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ISSUE RECORD	
date	issue

DRAWING REVISION	
no.	date

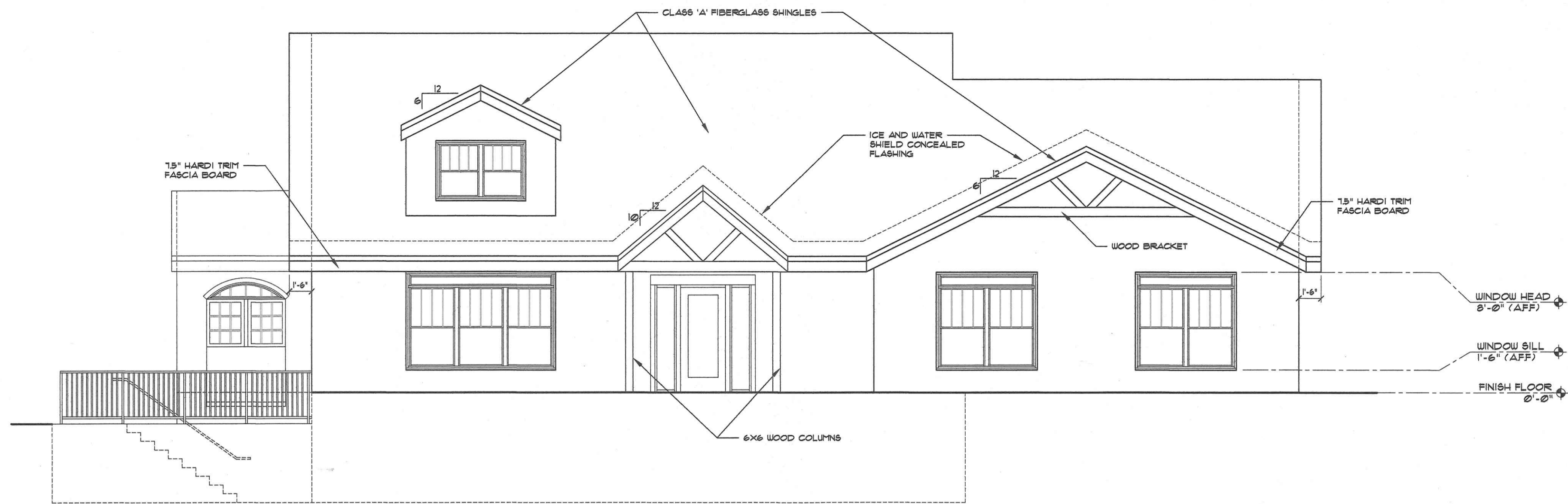
DR. GRAY

DANARDO ARCHITECTS, P.C.
295 CULVER STREET
LAWRENCEVILLE, GA 30046
770.806.1031

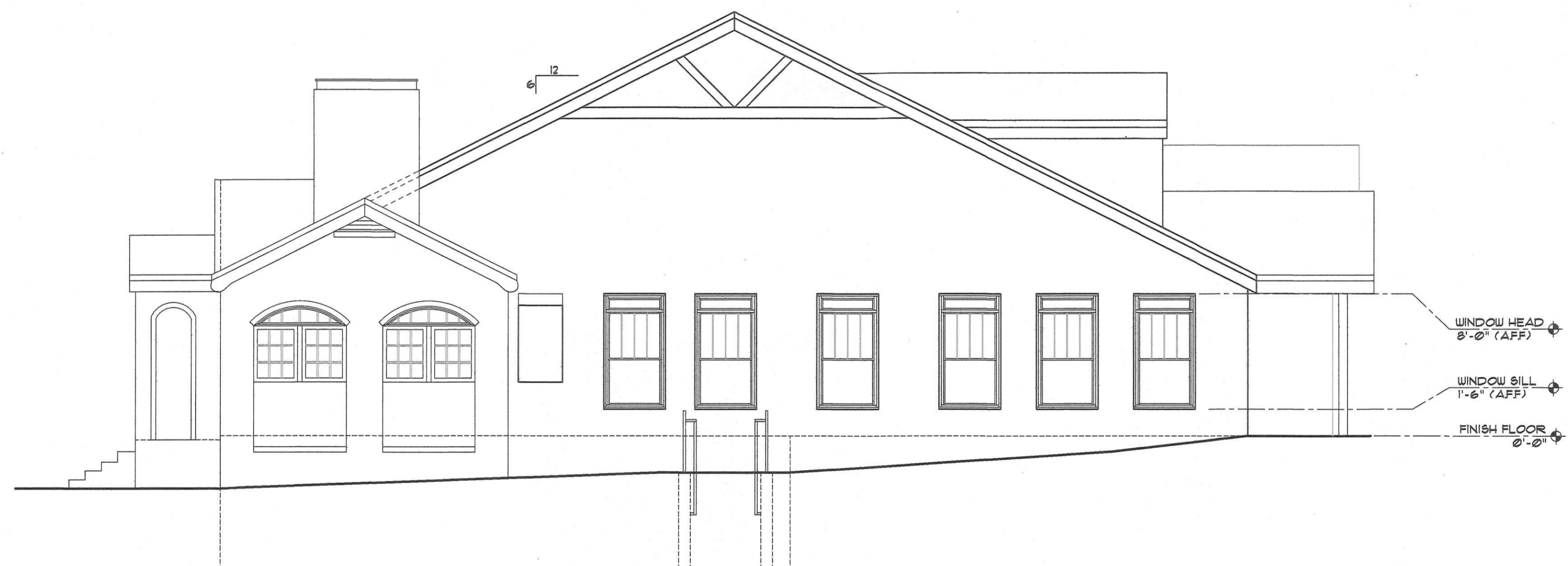


date 3/12/21
drawn NT
checked SZ
proj# 2021-01

NOT FOR CONSTRUCTION



1 FRONT ELEVATION
 SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

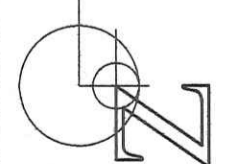
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ISSUE RECORD	
issue	date

DRAWING REVISION	
revision	date

DR. GRAY

ZANARDO ARCHITECTS, P.C.
 285 COLIER STREET, SUITE C
 LAWRENCEVILLE, GA 30046
 770.806.1051



date 3/12/21
 drawn NT
 checkd SZ
 proj# 2021-01

**NOTICE TO THE PUBLIC
CITY OF MONROE**

The City of Monroe has received a request for a Certificate of Appropriateness for an expansion. A public hearing will be held on April 20, 2021 before the Planning & Zoning Commission, at 5:30 P. M. for 803 East Spring Street.

The meeting will be held in City Hall Meeting Room, 215 North Broad Street. All those having an interest should be present.

Please run on the following date:

March 28, 2021



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 03-31-2021
Description: Variance request at 803 E. Spring St.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: *Staff recommendation is approval without conditions*

Background: This property is adding a 2000 sq. ft. to an existing Orthodontic office and increasing in total parking spaces above the permitted 120% maximum based on required parking. This property will remain under the 60% maximum impervious surface area permitted by the zoning ordinance. The area of additional parking could be paved whether utilized as parking or not.

Attachment(s): Application, supporting documents and Variance Staff report.

**Planning
City of Monroe, Georgia
VARIANCE STAFF REPORT**

APPLICATION SUMMARY

VARIANCE CASE #: VAR-000097-2021

DATE: March 26, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: 803 Spring LLC

PROPERTY OWNER: 803 Spring LLC

LOCATION: Northeast corner of E Spring Street and Bryant Road – 803 E Spring Street

ACREAGE: ±0.676

EXISTING ZONING: B-3 (Highway Business District)

EXISTING LAND USE: Fully developed site with an orthodontic office building and parking area.

ACTION REQUESTED: The owner is requesting a variance for this property to allow more parking spaces than permitted by the Zoning Ordinance.

STAFF RECOMMENDATION: Staff recommends approval of this variance request as submitted without conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: April 20, 2021

CITY COUNCIL: May 11, 2021

REQUEST SUMMARY

VARIANCE REQUEST SUMMARY:

The applicant is requesting approval of a variance in order to construct more parking spaces than allowed under Section 520.3 of the Zoning Ordinance. Section 520.3 limits the maximum parking on a site to 120% of the minimum number of parking spaces required under Table 3, unless a variance is approved to increase the number of parking spaces beyond 120%. The applicant is requesting the variance in order to construct 27 parking spaces, which is 163% of the minimum number of required off-street parking spaces. The applicant states the need for a large amount of parking is due to the unique nature of the business. This proposed 2,000 square foot expansion of the existing office building requires consideration for a Certificate of Appropriateness from the Corridor Commission.

PROPOSED PROJECT SUMMARY:

- Orthodontic Office
 - Total Building Floor Area – 5,416 Sf
 - Proposed Building Addition – 2,000 Sf
 - Existing Office Floor Area – 3,416 Sf
 - Required Parking (Zoning Ordinance – Section 520.3)

- 3 spaces / 1,000 Sf & 1 space per employee – 17 parking spaces
- 120% max parking allowed – 21 parking spaces
- Requested Parking
 - 27 parking spaces or 163% of required minimum number of parking spaces

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR VARIANCE APPLICATION DECISIONS” AS SET FORTH IN SECTION 1430.6 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) **Whether there are extraordinary and exceptional conditions pertaining to the subject property because of size, shape, or topography:** The size, shape, and topography of the site are not the basis for this variance request.
- (2) **Whether the literal application of this Ordinance would create an unnecessary hardship:** No undue hardship is created through a literal application of the Zoning Ordinance.
- (3) **Whether the variance would not cause substantial detriment to the public good or impair the purposes or intent of this Ordinance:** If approved, this variance will not cause substantial detriment to the public good or impair the purposes or intent of the zoning ordinance.
- (4) **Whether a variance will no confer upon the property of the applicant any special privilege denied to other properties in the district:** If approved, this variance will not confer upon the property any special privileges denied to other properties in the same zoning district. This variance request does not result in greater building area or density otherwise permitted by the Zoning Ordinance.
- (5) **Whether the special circumstances surrounding the request for the variance are not the result of acts by the applicant:** Section 520.3 of the Zoning Ordinance contains a provision that allows for a variance to be considered in order to exceed 120% of the minimum number of required parking spaces. This provision under Section 520.3 is the basis for this variance request.
- (6) **Whether the variance is not a request to permit a use of land, buildings, or structures which is not permitted by right or by conditional use in the district:** The proposed use and structures in this request are permitted by right in the underlying B-3 zoning district.
- (7) **Whether the zoning proposal is consistent with the construction and design standards and design criteria adopted by the City of Monroe:** The proposed development appears to be consistent with the construction and design standards and criteria adopted by the City.
- (8) **Whether the variance is the minimum variance that will make possible an economically viable use of the land, building, or structure:** The requested variance is likely the minimum variance required to use the property in a manner desired by the applicant.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested variance as submitted without conditions to increase the minimum number of parking spaces greater than 120% allowed on the site.



City of Monroe
215 N. Broad Street
Monroe, GA 30655
(770)207-4674

Plan Report

Plan NO.: VAR-000097-2021

Plan Type: Variance

Work Classification: Variance

Plan Status: In Review

Apply Date: 03/22/2021

Expiration:

Location Address	Parcel Number
803 E SPRING ST, MONROE, GA 30655	M0130098


Contacts	
803 SPRING LLC 2295 VINTAGE DR, WATKINSVILLE, GA 30677 (770)310-3560	Applicant practiceadmin@grayorthodontics.com

Description: REQUEST FOR VARIANCE OF ARTICLE V, SECT 520, TABLE 3 OF ZONING ORDINANCE - P&Z MTG 4/20/2021 @ 5:30 PM - COUNCIL MTG 5/11/2021 @ 6:00 PM
215 N BROAD ST

Valuation:	\$0.00
Total Sq Feet:	0.00

Fees	Amount
Commercial Rezone or Variance Fee	\$200.00
Total:	\$200.00

Payments	Amt Paid
Total Fees	\$200.00
Check # 1022	\$200.00
Amount Due:	\$0.00

Condition Name	Description	Comments
	 Issued By:	March 22, 2021 Date
	Plan_Signature_1	Date
	Plan_Signature_2	Date



Variance Conditional Use Application

Application must be submitted to the Code Department 30 days prior to the Planning & Zoning

Meeting of: 4/20-5/11

Your representative must be present at the meeting

Street address 803 East Spring St. Council District 4 / 8 Map and Parcel # M0130098
Zoning B-3 Acreage 0.676 Proposed Use ORTHODONTICS Road Frontage 151.45 ft. / on
EAST SPRING ST. (street or streets)

Applicant
Name 803 SPRING, LLC.
Address 2295 VINTAGE DR. WATKINSVILLE, GA 30677
Phone # 770-310-3560

Owner
Name 803 SPRING, LLC.
Address 2295 VINTAGE DR. WATKINSVILLE, GA 30677
Phone # 770-310-3560

Request Type: (check one) Variance Conditional Use

Nature of proposed use, including without limitation the type of activity proposed, manner of operation, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters:
PROPERTY IS CURRENTLY USE AS AN ORTHODONTICS OFFICE. PLANNED EXPANSION ACCOMODATE AN ADDITION OF 2,000 SF TO EXISTING BUILDING.

State relationship of structure and/or use to existing structures and uses on adjacent lots;
THE PROPERTY IS CURRENTLY ZONED B3. THE PROP. TO THE NORTH IS ZONED R1A. THE PROP. TO THE EAST IS ZONED B3. THE SOUTH AND WEST IS BOUNDED BY ROADS.

State reason for request and how it complies with the Zoning Ordinance section 1425.5(1)-(10) & 1430.6(1)-(8):
DUE TO THE LACK OF PARKING SPACES FOR THE EXISTING FACILITY AND THE NATURE OF THE BUSINESS, WHICH REQUIRES HIGH PARKING COUNT. WE ARE REQUESTING A VARIANCE TO MEET OUR PARKING NEED.

State area, dimensions and details of the proposed structure(s) or use(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways:
THE SITE REQUIRED 17 PARKING SPACES. THE CITY ALLOW FOR A MAX. OF 120% OF THE REQUIRED, WHICH IS 21 SPACES. OUR NEED IS 27 PARKING SPACES, THEREFORE REQUESTING A VARIANCE TO ALLOW FOR AN ADDITONAL 6 PARKING SPACES.

State the particular hardship that would result from strict application of this Ordinance:
DUE TO THE NATURE OF OUR BUSINESS WHICH REQUIRED HIGH NUMBER OF EMPLOYEES AND CLIENTS. WE ARE REQUESTING A VARIANCE TO PROVIDE FOR PARKING SPACES ABOVE THE MAXIMUM ALLOWED BY THE CITY.

Check all that apply: Public Water: Well: Public Sewer: Septic: Electrical: Gas:

For any application for an overlay district, a Certificate of Appropriateness or a letter of support from the Historic Preservation Commission or the Corridor Design Commission for the district is required.

Documents to be submitted with request:

- Recorded deed
- Survey plat
- Site plan to scale
- Proof of current tax status

Application Fees:

- \$100 Single Family
- \$300 Multi Family
- \$200 Commercial

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years.

The above statements and accompanying materials are complete and accurate. Applicant hereby authorizes Code department personnel to enter upon and inspect the property for all purposes allowed and required by the zoning ordinance and the development regulations.

Signature *[Handwritten Signature]* Date: 3/19/21

**PUBLIC NOTICE WILL BE PLACED AND REMOVED BY THE CODE DEPARTMENT
SIGN WILL NOT BE REMOVED UNTIL AFTER THE COUNCIL MEETING.**

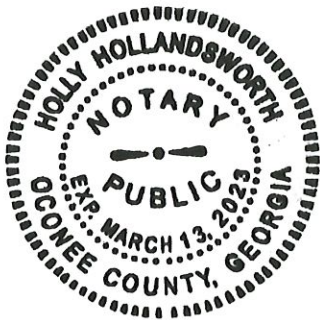
***Property owners signature if not the applicant**

Signature *[Handwritten Signature]* Date: 3/19/2021

Date: _____

Notary Public
Commission Expires: 3/13/2023

I hereby withdraw the above application: Signature _____ Date _____



4-14-15
SB

Daed Doc: WD Rec#: 237162
Recorded 03/16/2015 02:47PM
Georgia Transfer Tax Paid : \$0.00
KATHY K. TROST
Clerk Superior Court, WALTON County, GA
Bk **03749** Pg **0414-0417**

After recording return to:
Thomas E. Raines, PC
3740 Davinci Court, Suite 430
Norcross, Georgia 30092

LIMITED WARRANTY DEED

STATE OF GEORGIA
COUNTY OF GWINNETT

THIS INDENTURE, made effective as of the 1st day of January, 2015, between **MARK A. GRAY**, a Georgia resident ("**Grantor**"), in favor of **803 SPRING, LLC**, a Georgia limited liability company ("**Grantee**");

WITNESSETH THAT:

Grantor, for and in consideration of the sum of Ten and No/100 U.S. Dollars (\$10.00), lawful money of the United States of America, to it in hand paid by Grantee, at or before the unsealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed and by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto Grantee and its successors and assigns forever, the parcel of land, with the building and improvements thereon-erected, situate, lying and being in the County of Walton, State of Georgia, and more particularly described on the attached Exhibit "A" (the "**Property**").

TOGETHER with all singular the tenements, hereditaments and appurtenances thereunto belonging or in any way appertaining thereto.

TO HAVE AND TO HOLD the same in fee simple forever.

AND Grantor hereby specially warrants the title to the Property and will defend the same against the lawful claims of any persons claiming by, through or under Grantor, but against none other.

IN WITNESS WHEREOF, Grantor has caused these presents to be executed the day and year first above written.

Signed, sealed and delivered in the presence of:

SELLER:

Thomas E. Clark

Unofficial Witness

Mark A. Gray

MARK A. GRAY

Kelly L. Kennedy

Notary Public

My Commission expires:

[Notary Seal]



SEAL AFFIXED

EXHIBIT "A"

LEGAL DESCRIPTION

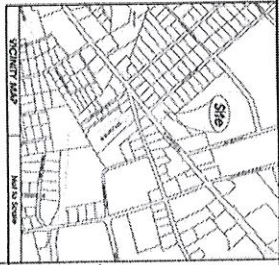
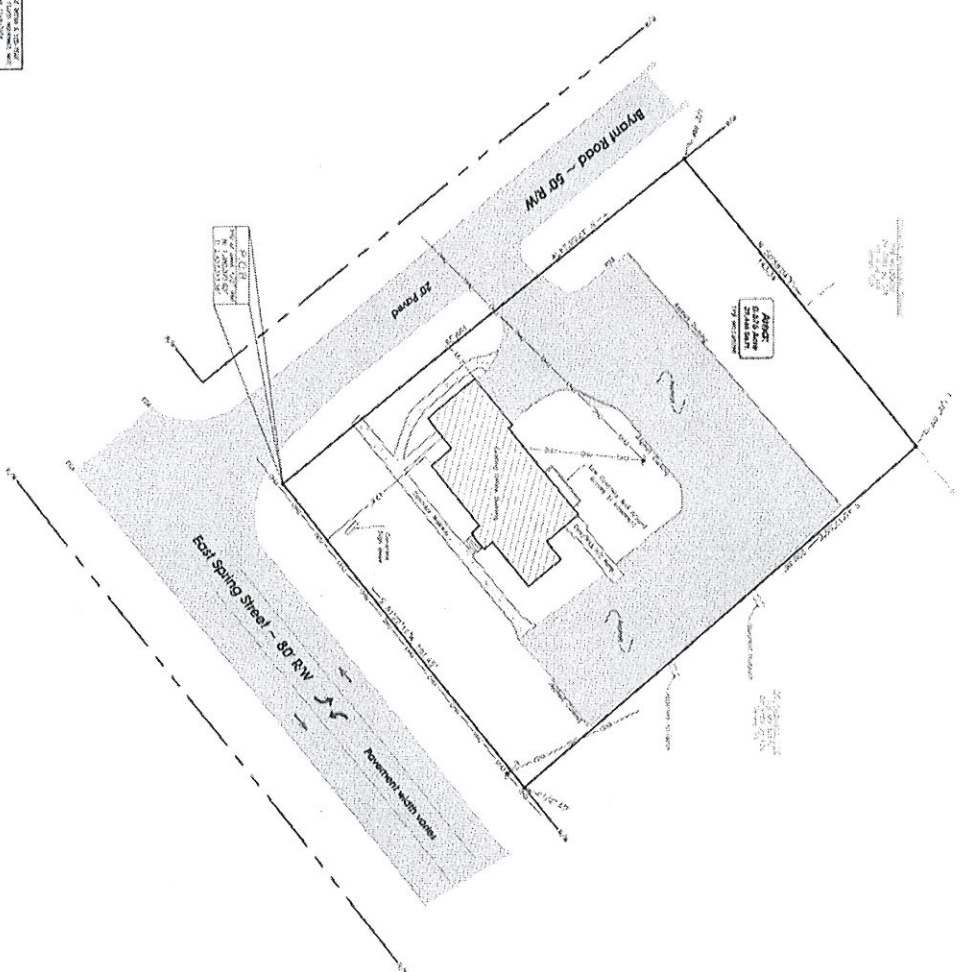
All that tract or parcel of land lying and being Walton County, Georgia, being Lot 30 and the west half of Lot 31 of T.M. Bryant Subdivision, in the City of Monroe, according to plat recorded in Plat Book 3, page 128, Walton County Records, and according to individual plat recorded in Plat Book 3, page 312, Walton County Records, and being more particularly described as follows:

BEGINNING at an iron pin at the corner formed by the intersection of the northwesterly side of E. Spring Street (also known as U.S. Highway #78, and State Road #10), and the northeasterly side of Bryant Road; thence running northeasterly along the northwesterly side of E. Spring Street, one hundred fifty (150) feet to an iron pin on the southwesterly line of property now or formerly owned by James B. and Louise B. Edwards; thence north 40 degrees west along the southwesterly line of said Edwards property two hundred and four tenths (200.4) feet to an iron pin on the southeasterly line of property now or formerly owned by Tom Bryant; thence south 50 degrees west along the southeasterly line of said Bryant Property one hundred fifty (150) feet to the iron pin on the northeasterly side of Bryant Road; thence running southeasterly along the northeasterly side of Bryant Road two hundred (200) feet to the iron pin at the point of beginning, being improved property.

NOT TO SCALE
 THIS PLAN IS A PRELIMINARY SURVEY AND IS NOT TO BE USED FOR CONSTRUCTION OR RECORDING PURPOSES WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD.

LEGEND OF SYMBOLS

1/4" = 1' (PLAN)	1/8" = 1' (SECTION)
1/2" = 1' (PLAN)	1/4" = 1' (SECTION)
3/8" = 1' (PLAN)	3/16" = 1' (SECTION)
1/2" = 1' (PLAN)	1/4" = 1' (SECTION)
3/4" = 1' (PLAN)	3/8" = 1' (SECTION)
1" = 1' (PLAN)	1/2" = 1' (SECTION)
1 1/2" = 1' (PLAN)	3/4" = 1' (SECTION)
2" = 1' (PLAN)	1" = 1' (SECTION)
3" = 1' (PLAN)	1 1/2" = 1' (SECTION)
4" = 1' (PLAN)	2" = 1' (SECTION)
6" = 1' (PLAN)	3" = 1' (SECTION)
8" = 1' (PLAN)	4" = 1' (SECTION)
12" = 1' (PLAN)	6" = 1' (SECTION)
18" = 1' (PLAN)	9" = 1' (SECTION)
24" = 1' (PLAN)	12" = 1' (SECTION)



Existing building structure as per Section 112.2, showing 12' of fire strip (3' from 112.2) and 112' of fire strip (3' from 112.2) shown in red. (C) is a common area (CA) and is not shown on this plan. (D) is a common area (CA) and is not shown on this plan. (E) is a common area (CA) and is not shown on this plan.

NOT TO SCALE
 THIS PLAN IS A PRELIMINARY SURVEY AND IS NOT TO BE USED FOR CONSTRUCTION OR RECORDING PURPOSES WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD.

STATE OF GEORGIA
 SURVEYORS' LICENSE
 No. 12345
 JOHN D. SMITH
 SURVEYOR

 COMMERCIAL ENGINEERING SERVICES CIVIL ENGINEERING LAND SURVEYING CONSTRUCTION STAGING LABORATORY ANALYSIS SOILS & WATER TESTING HIGHWAY DESIGN & CONSTRUCTION HIGHWAY & AIRPORT SURVEYING	2219 HCN INDUSTRIAL ROAD WADSWORTH, GA 30187 770-433-1400 www.consultinginc.com
	803 E. Spring Street Marietta, Georgia 41299, G.A.T.D.
Date: 10/27/20 Scale: 1" = 20' SHEET # 1	DATE PREPARED: 10-27-20 PROJECT #: 20-556-01
REVISIONS:	DATE:

2020 Property Tax Statement

Tax Commissioner
303 South Hammond Drive STE 100
Walton County Government Building
Monroe, Georgia 30655

Ph: 770-266-1736, Fax: 770-267-1416

803 SPRING LLC
1305 GULFPORT RUN
GRAYSON, GA 30017

Bill No.	Due Date	Current Due	Prior Payment	Back Taxes	*Total Due*
2020-221	11/15/2020	\$0.00	\$2234.18	\$0.00	Paid 12/20/2020

Map: M0130-00000-098-000
Location: 803 SPRING ST E
Account No: 004420 010

The Tax Commissioner is the tax collector and is not responsible for values nor for rates. If you feel the assessed fair market value of your property is incorrect, please contact the Tax Assessors office at 770-267-1352.

RETURN THIS PORTION WITH PAYMENT

(Interest will be added per month if not paid by due date)

Payments made after the due date are subject to interest and penalties governed by Georgia Code. State law requires all tax bills to be mailed to owner of record on January 1st. If property has been sold, please contact our office.

Tax Commissioner
303 South Hammond Drive STE 100
Walton County Government Building
Monroe, Georgia 30655
Ph: 770-266-1736, Fax: 770-267-1416



Tax Payer: 803 SPRING LLC
Map Code: M0130-00000-098-000 Real
Description: .69AC
Location: 803 SPRING ST E
Bill No: 2020-221

Building Value	Land Value	Acres	Fair Market Value	Due Date	Billing Date	Payment Good through	Exemptions		
0.00	0.00	0.6900	\$139,020.00	11/15/2020	08/18/2020				
Entity	Adjusted FMV	Net Assessment	Exemptions	Taxable Value	Millage Rate	Gross Tax	Credit	Net Tax	
CITY TAX		\$0	\$55,608	\$0	\$55,608	0.007588	\$684.14	-\$262.19	\$421.95
COUNTY		\$0	\$55,608	\$0	\$55,608	0.010677	\$751.32	-\$157.59	\$593.73
SCH BOND		\$0	\$55,608	\$0	\$55,608	0.002300	\$127.90	\$0.00	\$127.90
SCHOOL		\$0	\$55,608	\$0	\$55,608	0.019100	\$1,062.11	\$0.00	\$1,062.11
TOTALS					0.039665	\$2,625.47	-\$419.78	\$2,205.69	

State law requires all tax bills to be mailed to the owner of record on January 1st. If property has been sold, please contact our office.

This bill is not sent to your mortgage company. If you have an escrow account, please forward a copy of this bill to your mortgage company. We encourage you to pay by mail or on our website at www.waltoncountypay.com

Certain persons are eligible for certain homestead exemptions from ad valorem taxation. In addition, certain elderly persons are entitled to additional homestead exemptions. Applications must be filed by April 1st.

For eligibility requirements regarding exemptions or questions about your value, contact the Tax Assessors office at 770-267-1352.

Current Due	\$2,205.69
Discount	\$0.00
Penalty	\$0.00
Interest	\$0.00
Other Fees	\$28.49
Previous Payments	\$2,234.18
Back Taxes	\$0.00
Total Due	\$0.00
Paid Date	12/20/2020



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00212461

60

Cashier Name: Debbie Adkinson

Terminal Number: 33

Receipt Date: 3/22/2021 10:13:37 AM

Transaction Code: EG - EnerGov

Name: GRAY, LAWRENCE (803 SPRIN \$200.00

Total Balance Due: \$200.00

Payment Method: Check Payn Reference: 1022

Amount: \$200.00

Total Payment Received: \$200.00

Change: \$0.00

SITE PLAN NOTES

1. SITE CONTAINS 0.676 ACRES TOTAL.
2. PROPERTY IS ZONED B-3.
3. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY ABE SURVEYING AND ENGINEERING, INC. DATED 8/18/17.
4. NO PART OF THIS SITE IS IN A FLOOD HAZARD ZONE ACCORDING TO F.I.R.M. COMMUNITY PANEL NO. 1329700137E, DATED 12/8/16.
5. THERE ARE NO MAXIMUM ALLOWABLE BUILDING HEIGHT LIMIT.
6. ALL CURB RADII ARE 5.0' UNLESS OTHERWISE NOTED.
7. ALL CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
8. ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO CITY OF MONROE AND GEORGIA DEPARTMENT OF TRANSPORTATION STANDARDS.
9. SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, AND OTHER ARCHITECTURAL DETAILS.
10. HANDICAP PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL NOT BE OBTAINED BY VEHICLES PARKING IN THE SPACES.
11. CONTRACTOR TO NOTIFY INSPECTOR AT LEAST 24 HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
12. SIGNS, LOCATION, NUMBER AND SIZE ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT.
13. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
14. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
15. THE LOCATIONS OF ALL BUILDINGS FROM PROPERTY LINES AND OTHER BUILDINGS SHALL COMPLY WITH THE HEIGHT AND AREA LIMITATIONS OF TABLE 500 AND THE FIRE RESISTIVE REQUIREMENTS OF TABLE 600 OF THE 1995 EDITION OF THE STANDARD BUILDING CODE BASED ON OCCUPANCY GROUP CLASSIFICATIONS AND TYPES OF CONSTRUCTION.
16. NO DRIVE UP WINDOWS ARE PROPOSED.
17. BUILDING NOT TO BE SPRINKLERED.
18. NO SIGNAGE IS PROPOSED AT THIS TIME AND THE APPROPRIATE SIGN PERMITS TO BE OBTAINED AT A LATER DATE.
19. THERE ARE NO EXISTING OR PROPOSED INERT WASTE BURY PITS ON THIS SITE.
20. OWNER IS RESPONSIBLE FOR MAINTENANCE OF STORM DRAIN SYSTEM OUTSIDE OF RIGHT OF WAY.
21. OWNER IS RESPONSIBLE FOR COMPLIANCE WITH N.P.D.E.S. GENERAL PERMIT REQUIREMENTS.
22. THERE ARE NO WETLANDS ON THIS SITE.
23. SITE IS SERVED BY CITY OF MONROE SANITARY SEWER SYSTEM.
24. SITE IS SERVED BY CITY OF MONROE WATER SYSTEM.
25. THERE ARE NO CEMETERIES OR OTHER SIGNIFICANT OR HISTORICAL AREAS ON THE SITE.

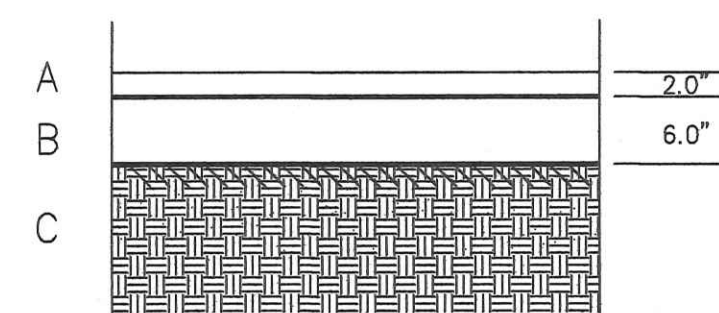
SITE PLAN KEYED NOTES

- (A) AREA STRIPED WITH SWSL/4"ACMP @ 45° AT 2'-0" O.C.
- (B) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET.
- (C) ACCESSIBLE RAMP. SEE DETAIL SHEET D-2.
- (D) 24" CONCRETE CURB AND GUTTER (TYPE A) TYPICAL. SEE DETAIL SHEET.
- (D_B) 24" CONCRETE CURB AND GUTTER (TYPE B) TYPICAL. SEE DETAIL SHEET.
- (E) PAINTED DIRECTIONAL ARROW (TYPICAL). SEE DETAIL SHEET.
- (F) CONCRETE DUMPSTER PAD.
- (G) 5' CONCRETE SIDEWALK.
- (H) HANDICAP SIGN. SEE DETAIL SHEET.
- (J) PARKING CURB/WHEEL STOP
- (K) 6" RIBBON CURB.

PAVEMENT LEGEND



- A. 2.0 INCH ASPHALT TOPPING - TYPE "E" OR "F"
- B. 6.0 INCHES OF CRUSHED STONE BASE COURSE
- C. STABILIZED SUBGRADE
RAW SUBGRADE SOIL (IN SITU OR COMPACTED FILL)
COMPACTED TO A MINIMUM OF 98%
OF ASTM D 698 DENSITY

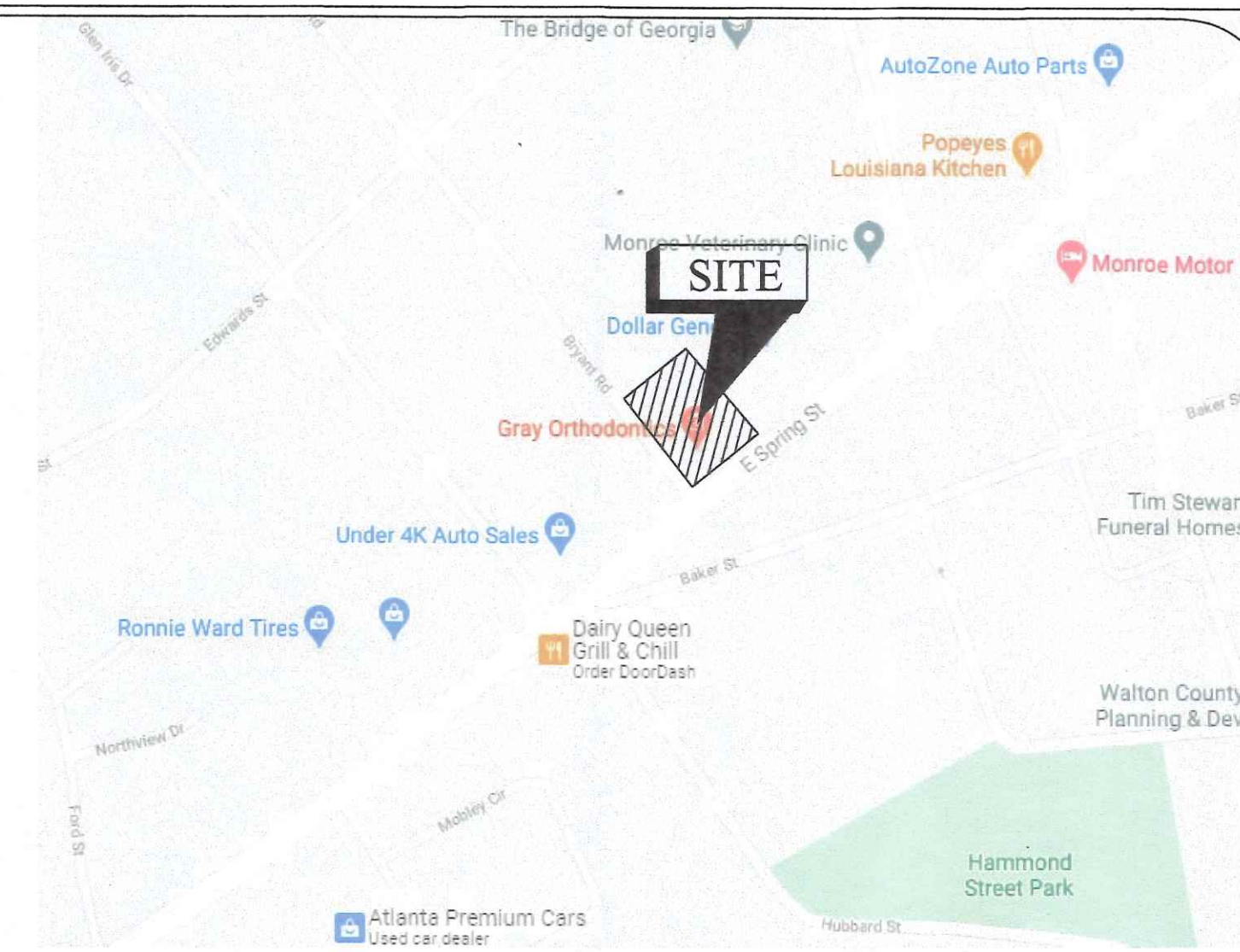


TYPE II PAVEMENT
(FOR INTERIOR DRIVEWAYS ONLY)
NO SCALE



GEORGIA811
www.Georgia811.com

TOTAL SITE AREA = 0.676± ACRES
TOTAL DISTURBED AREA = 0.0± ACRES
THERE ARE NO STATE WATERS ON THE SITE.
THERE ARE NO NW WETLAND ON SITE. UPON A SITE VISIT, THERE WERE NO VEGETATION WHICH INDICATES WETLANDS ON SITE.



VICINITY MAP
N.T.S.

SITE ANALYSIS

TOTAL BUILDING	5,416 S.F.
PROP. BUILDING EXPANSION	2,000 S.F.
EX. MEDICAL OFFICE	2,057 S.F.
BASEMENT	1,359 S.F.
TOTAL AREA	0.676 AC.
TOTAL IMPERVIOUS	0.38 AC. OR 56.28%
MAX. IMPERVIOUS	60%
EX. IMPERVIOUS REMOVAL	2,038 S.F.
PROPOSED IMPERVIOUS	5,007 S.F.
NET INCREASE IN IMPERVIOUS	2,969 S.F.
ZONED	B-3

REQUIRED PARKING	3 SP. / 1,000 S.F.	17 SPACES
TOTAL REQUIRED		17 SPACES
120% MAX. PARKING		21 SPACES
TOTAL PROVIDED		27 SPACES
H.C. SPACES REQ.		2 SPACES
H.C. SPACES PROVIDED		2 SPACES

TREE LEGEND

- WILLOW OAK
REQUIRED IF TALL AT
TIME OF PLANTING
- SHRUBS**
- INDIAN HAWTHORN
- AZELEA
- KNOCK OUT ROSE

PROPOSED TREES ARE NOT TO SCALE

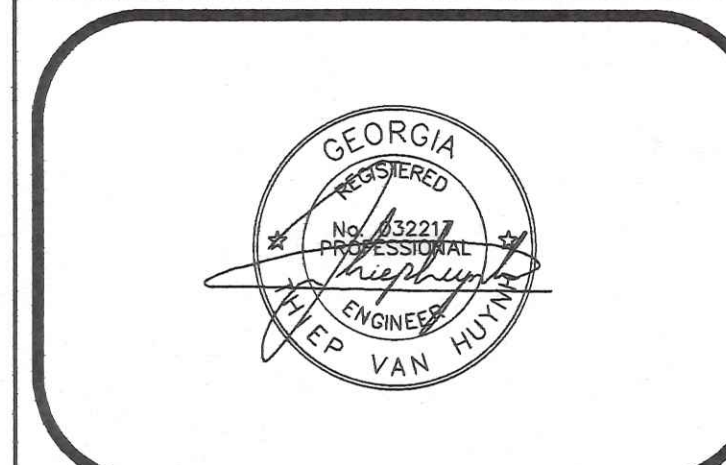
PLANT LIST

	COMMON NAME	SIZE	UNITS	TOTAL UNITS
2	WILLOW OAK	1 1/2" CALIPER	0.4	4.4
			TOTAL UNITS	4.4

A.C.E.
ALCOY CONSULTING ENGINEERING AND ASSOCIATES, LLC.
P.O.C. TIP HUYNH, P.E.
485 Edwards Rd.
Oxford, Georgia 30054
Phone: 770-466-4002
tipacell@gmail.com

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SITE PLAN

PROPOSED GRAY ORTHODONTICS EXPANSION

PARCEL: M0130098
LAND LOT: 72
DISTRICT: 3TH
803 E SPRING STREET
CITY OF MONROE, GA

DATE: 1/12/2021
SCALE: 1" = 20'

OWNER / DEVELOPER

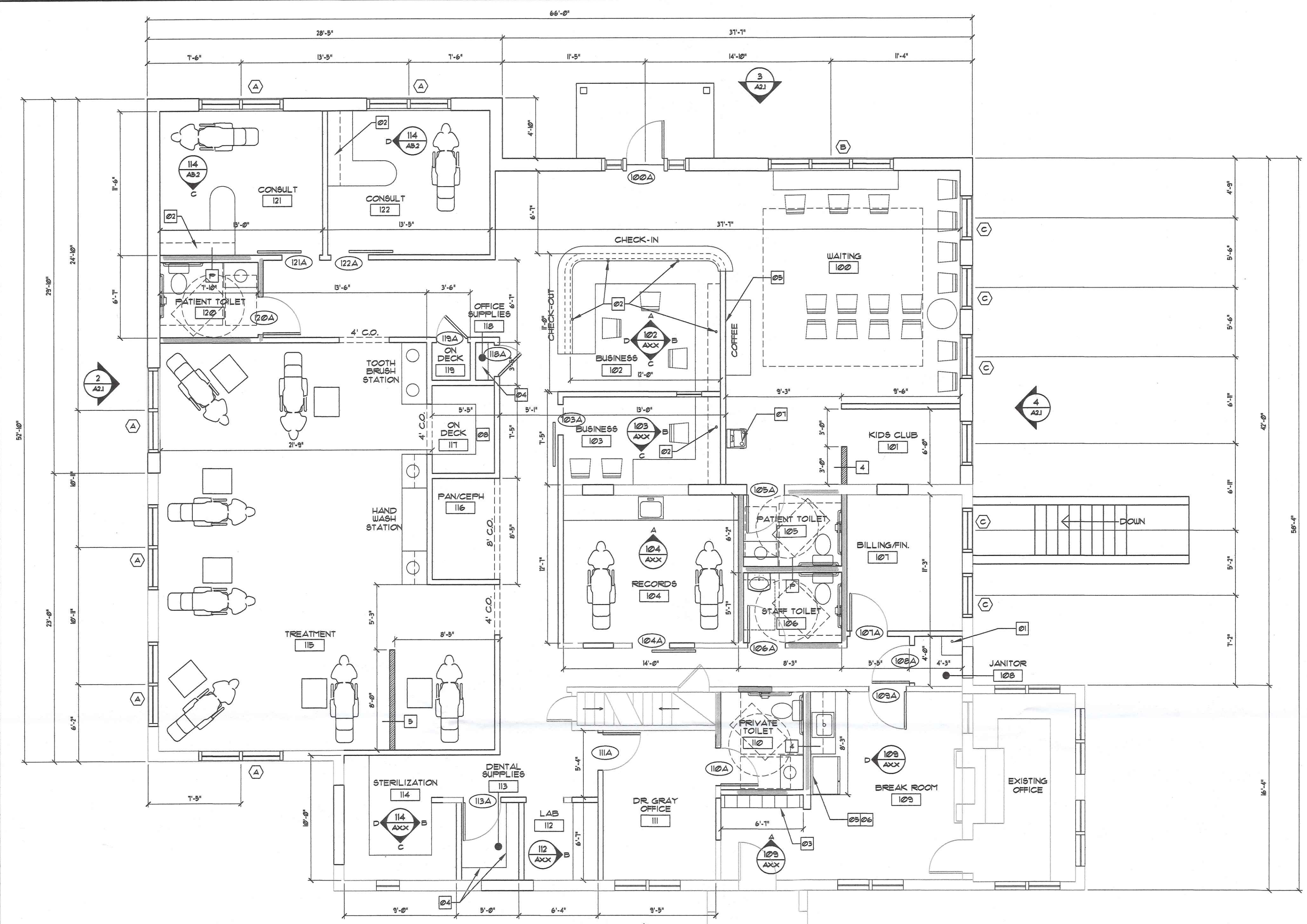
803 SPRING, LLC.
1305 GULFPORT RUN
GRAYSON, GA 30017

24 HOUR - EMERGENCY CONTACT
RYAN HOLLANDWORTH
404-557-8260
ryan@hollandsworthconstruction.com

REVISIONS

NO.	DATE	DESCRIPTION

JOB No. # 20-190
C-1.2

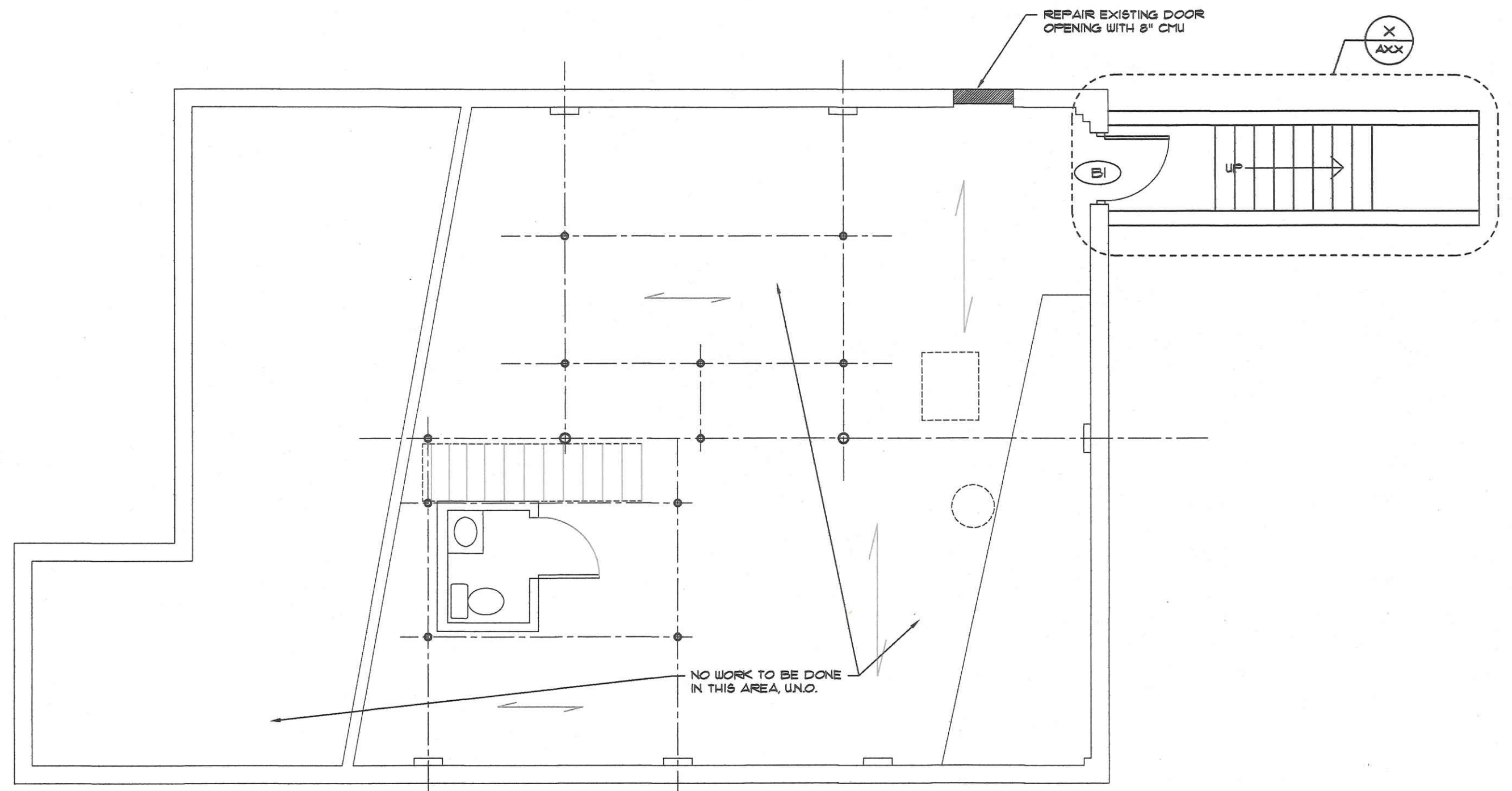


NEW FLOOR PLAN
 SCALE: 1/4"=1'-0" FIRST FLOOR
 TRUE PLAN NORTH

- GENERAL PLAN NOTES:**
1. ALL WALL MOUNTED HAND LAVATORIES SHALL BE REINFORCED WITH 2X10 PT LUMBER SET AT MOUNTING LOCATION OF LAVATORY. MOUNT STUDS SO THAT FIXTURE IS CENTERED BETWEEN STUDS - TYPICAL.
 2. ALL WALL HUNG SHELVING AND UPPER CASEWORK AND GRAB BARS SHALL HAVE 2X10 WALL REINFORCEMENT BETWEEN STUDS FULL LENGTH AT ANCHOR POINT LOCATIONS - TYPICAL.
 3. GC TO INSTALL BLOCKING. VERIFY LOCATION IN FIELD WITH CASEWORK, PLUMBING, AND KITCHEN EQUIPMENT DRAWINGS
 4. GC TO COORDINATE WITH DENTAL DRAWINGS FOR ALL BLOCKING LOCATIONS NOT SHOWN ON ALL

- KEY NOTES:**
- 01 FLOOR MOUNTED MOP SINK. PROVIDE FRP PANELS 48" HIGH ON EACH WALL. COORDINATE WITH PLUMBING PLANS
 - 02 2" DIA. GROMMET. GC TO VERIFY LOCATIONS IN FIELD
 - 03 LOCKERS. PROVIDED AND INSTALLED BY G.C. SEE ELEVATIONS 2/A6.2 LOCKERS TO BE PRICED AS ALTERNATE BY G.C.
 - 04 MELAMINE SHELVING ON STANDARDS 4 BRACKETS WITH BLOCKING IN WALLS. 9" HIGH STARTING AT 12" AFF.
 - 05 WATER CONNECTION INSTALLED BY GC. SEE PLUMBING DRAWINGS
 - 06 REF. SUPPLIED AND INSTALLED BY OWNER
 - 07 GC TO INSTALL NEW WATER FOUNTAIN WITH BOTTLE FILLER. SEE PLUMBING DRAWINGS
 - 08 17" HIGH BENCH. SEE INTERIOR ELEVATIONS

- WALL LEGEND**
- EXISTING EXTERIOR WALLS
 - EXISTING INTERIOR WALLS
 - EXTERIOR WALL: 2X6 WOOD STUDS AT 16" O.C. WITH R-19 KRAFT FACED BATT INSUL. AND 5/8" MOLD RESISTANT GYP. BD. ON INTERIOR. EXTERIOR - 1/2" ADVANTECH ZIP SHEATHING WITH TAPED JOINTS. EXTERIOR FINISH AS SCHEDULED
 - TYPICAL INTERIOR NON-LOAD BEARING PARTITION: 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. FULL-HEIGHT TO UNDERSIDE OF STRUCTURE
 - INTERIOR NON-LOAD BEARING PARTITION: (PLUMBING WALL) 2X6 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. FULL HEIGHT TO UNDERSIDE OF STRUCTURE
 - INTERIOR NON-LOAD BEARING PARTITION: 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. 4'-0" IN HEIGHT
 - INTERIOR NON-LOAD BEARING PARTITION: 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. 5'-0" IN HEIGHT
 - INDICATES 3" SOUND BATT INSULATION IN WALLS
 - FE PROVIDE SEMI-RECESSED FIRE CABINET WITH FIRE EXTINGUISHER. SHALL BE LOCATED PER THE REQUIREMENTS OF NFPA 10. THE SIZE SHALL BE A MINIMUM OF 2A10BC, 4 ARE REQUIRED AND SHALL BE INSTALLED AT A MAXIMUM OF 48" AFF TO THE TOP OF THE HANDLE.
 - EP NEW RECESSED ELECTRICAL PANEL



NEW FLOOR PLAN
 SCALE: 1/4"=1'-0" BASEMENT
 TRUE PLAN NORTH

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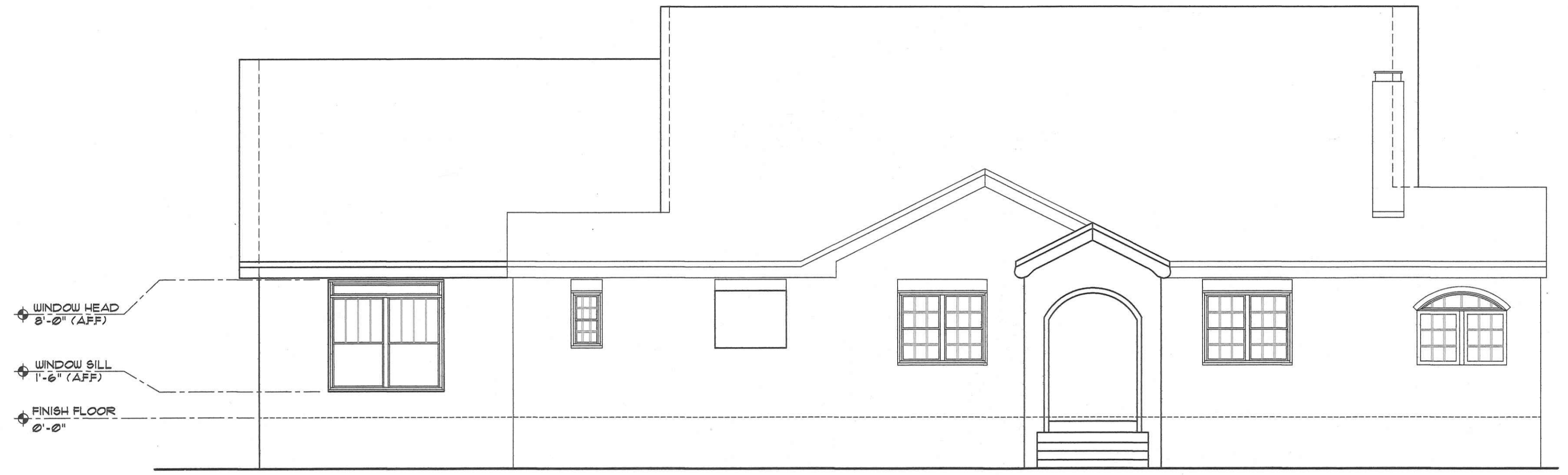
ISSUE RECORD	DATE	REVISION

DR. GRAY

ZANARDO ARCHITECTS, P.C.
 295 CULVER STREET SOUTH
 SUITE C
 LAWRENCEVILLE, GA 30046
 770.806.1031

date 3/12/21
 drawn NT
 chkd SZ
 proj# 2021-01

NOT FOR CONSTRUCTION

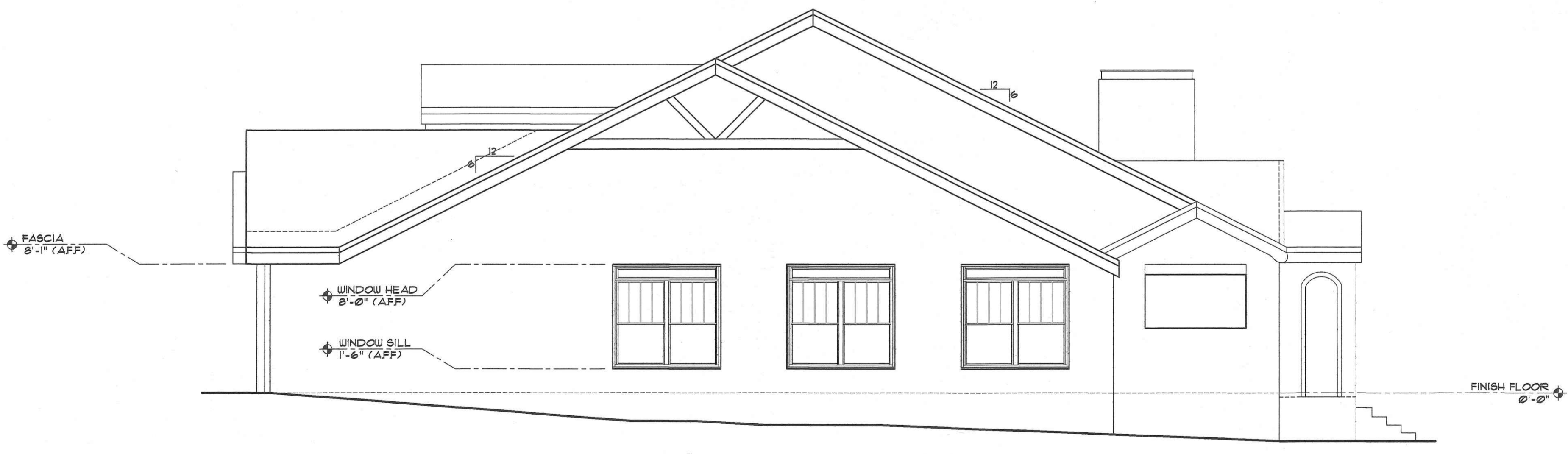


◆ WINDOW HEAD
8'-0" (AFF)

◆ WINDOW SILL
1'-6" (AFF)

◆ FINISH FLOOR
0'-0"

1 REAR ELEVATION
SCALE: 1/4"=1'-0"



◆ FASCIA
0'-1" (AFF)

◆ WINDOW HEAD
8'-0" (AFF)

◆ WINDOW SILL
1'-6" (AFF)

◆ FINISH FLOOR
0'-0"

2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

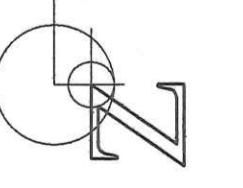
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ISSUE RECORD	
date	issue

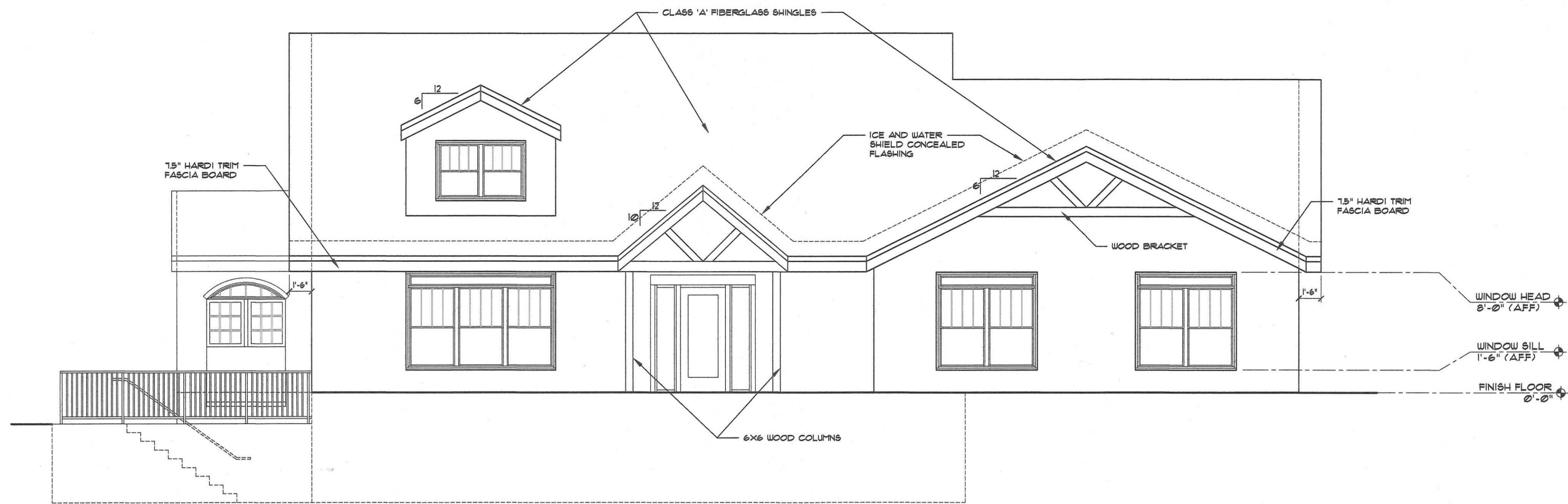
DRAWING REVISION	
no.	date

DR. GRAY

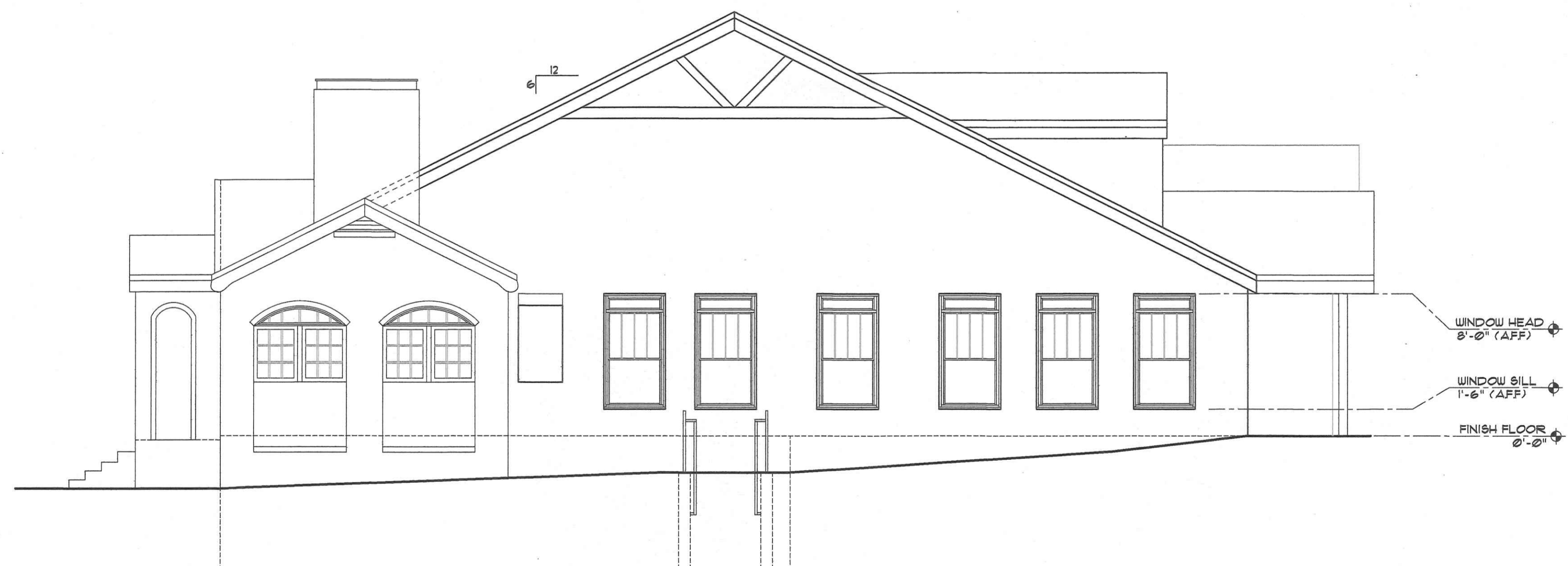
DANARDO ARCHITECTS, P.C.
295 CULVER STREET
LAWRENCEVILLE, GA 30046
770.806.1031



date 3/12/21
drawn NT
checked SZ
proj# 2021-01



1 FRONT ELEVATION
 SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

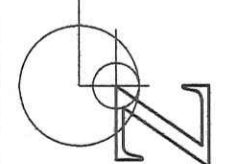
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ISSUE RECORD	
issue	date

DRAWING REVISION	
no.	revision

DR. GRAY

ZANARDO ARCHITECTS, P.C.
 285 COLVER STREET, SUITE C
 LAWRENCEVILLE, GA 30046
 770.806.1051



date 3/12/21
 drawn NT
 checkd SZ
 proj# 2021-01



CODE DEPARTMENT

April 6, 2021

To Whom It May Concern:

Below you will find information regarding a Legal Notice scheduled to run in The Walton Tribune on April 4, 2021 concerning a Variance adjacent to your property.

Being an adjoining property owner, this could be of interest to you.

BE ADVISED OF THE DATE, TIME AND PLACE OF PUBLIC HEARING:

Planning Commission: April 20, 2021

Will be held at 215 N Broad St at 5:30 PM on the following application:

City Council: May 11, 2021

Will be held in the meeting room at 215 N Broad Street at 6:00 PM on the following application:

1. Variance – 803 East Spring Street

Copies of application submittal can be viewed on line at www.monroega.com
Choose Government, Agendas Meetings, & Minutes, choose the meeting you plan to attend for this application.

If you are interested in speaking at the Council Meeting for or against the request, you will need to sign up before the meeting starts.

Sincerely,
Debbie Adkinson
Code Department Assistant

**NOTICE TO THE PUBLIC
CITY OF MONROE**

The City of Monroe has received a request for a variance of Article V, Section 520, Table 3 of the Zoning Ordinance for 803 East Spring St. A public hearing will be held on April 20, 2021 before the Planning & Zoning Commission, at 5:30 P. M.

The City of Monroe has received a request for a variance of Article V, section 520, Table 3 of the Zoning Ordinance for 803 East Spring Street. A public hearing will be held on May 11, 2021 before the Mayor and Council, at 6:00 pm.

This meeting will be held at 215 N Broad Street. All those having an interest should be present.

Please run on the following date:

March 28, 2021



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 03-31-2021
Description: Rezone request 961 Good Hope Road

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: *Staff recommendation is approval with conditions listed in the rezone staff report*

Background: This is a long standing partially developed planned district which currently requires a commercial component. The request seeks to rezone the property to a PRD which would eliminate the commercial area and reconfigure it with single family residences including townhouses.

Attachment(s): Application, supporting documents, Staff report

**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: RZ-000098-2021

DATE: March 26, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Smith Planning Group

PROPERTY OWNER: KFB Enterprises Inc.

LOCATION: South side of Good Hope Road – 961 Good Hope Road

ACREAGE: ±43.318

EXISTING ZONING: PCD (Planned Commercial District)

EXISTING LAND USE: Partially developed with roadway infrastructure, utilities, and stormwater facilities

ACTION REQUESTED: Rezone PCD to PRD (Planned Residential Development)

REQUEST SUMMARY: The owners are petitioning for a rezone of this property in order to allow for residential development with mixed housing types.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request with conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: April 20, 2021

CITY COUNCIL: May 11, 2021

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone modification in order to construct a residential development with mixed housing types. The subject property was annexed into the City in September of 2003 and rezoned to PCD (Planned Commercial District). The property was partially developed with roadway infrastructure, utilities, and stormwater facilities the following year. Further development of the property ceased and the site has been dormant ever since. The applicant is now requesting a rezone to PRD (Planned Residential District) to develop the site with only mixed residential housing types.

PROPOSED PROJECT SUMMARY:

- Planned Residential Development
 - Mixed residential development with single-family attached and detached residences
 - Development Area – 43.318 Acres
 - Total Residential Units Proposed – 142 Units
 - Single-Family Attached Residences – 44
 - Min. Lot Size – 2,700 Sf
 - Single-Family Detached Residences – 98

- Min. Lot Size – 5,700 Sf
- Min. Dwelling Size – 1,600 Sf
- Development Density – 3.27 DUs per acre
- Open Space – 9.732 Acres (22.4%)

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) **The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The property was annexed into the City in September of 2003. The property was rezoned to PCD (Planned Commercial District). The development plan included with the PCD rezone proposed to develop the site with residential and non-residential uses. The property has strong economic viability as currently zoned. However, due to lack of market demand for commercial development along Good Hope Road, the developer wishes to remove the commercial component from the development. The requested PRD (Planned Residential District) is more suitable for development that will only contain a mix of residential housing types.
- (2) **The proposed use and zoning classification of the subject property:** The requested rezone to PRD (Planned Residential District) is essentially a downzone from the current PCD (Planned Commercial District) zoning. The major difference between the proposed use and zoning classification will be the removal of the ability to develop the site with a non-residential component.
- (3) **The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** Properties located west of the site are zoned P (Professional) and R-1 (Large Lot Residential District) along Church Street/Good Hope Road. Properties north of the site in the City are zoned R-1 and R-1A (Medium Lot Residential District). Properties south and east of the site are located in unincorporated Walton County. The proposed residential development is consistent with development on neighboring properties within the City. The proposed residential development should not adversely affect adjacent properties.
- (4) **Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The site has been partially developed with streets, alleys, and parking areas. There are two entrances to the site that contain deceleration lanes and acceleration tapers, including central left turn lanes on Good Hope Road. No additional transportation improvements should be required to accommodate development of the site. City services such should be adequate to serve the proposed development.
- (5) **Whether the zoning proposal is consistent with the Comprehensive Plan:** The Future Land Use Map designates this property under the category of Residential. The existing zoning and proposed rezone modification comply with the intent of the Future Land Use Map.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: Under the current PCD zoning, the intent was to develop the site with a commercial component along the frontage of the site with the remaining portion of the site to be developed as single-family detached residential. The intent of this rezone request is to modify the development to include townhomes in lieu of the commercial component. As previously described, there is a lack of market demand for commercial development along the Church Street/Good Hope Road corridor.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone for a residential development with the following conditions:

1. The minimum dwelling size allowed shall be 1,600 Sf.
2. The developer shall provide a minimum of six (6) building designs for the single-family detached residences.
3. The developer shall provide a minimum of three (3) of the following amenities for recreation: pool, playground, pavilion, clubhouse/fitness center, play courts such as but not limited to tennis, volleyball, or basketball.



City of Monroe
215 N. Broad Street
Monroe, GA 30655
(770)207-4674

Plan Report

Plan NO.: RZ-000098-2021

Plan Type: Re-Zoning Request All Types

Work Classification: Request for Rezone

Plan Status: In Review

Apply Date: 03/22/2021

Expiration:

Location Address

Parcel Number

961 GOOD HOPE RD, MONROE, GA 30655

M0240154

Contacts

KFB ENTERPRISES INC
PO BOX 122, CONYERS, GA 30012
(770)922-0403

Owner

SGILES@BARKSDALEFLYNT.COM

SMITH PLANNING GROUP
1022 Twelve Oaks Pl #201, Watkinsville, GA 30677
(706)769-9515


Applicant

Description: REQUEST FOR REZONE FROM PCD TO PRD - P&Z MTG 4/20/2021 @ 5:30 PM
- COUNCIL MTG 5/11/2021 @ 6:00 PM 215 N BROAD ST

Valuation: \$0.00
Total Sq Feet: 0.00

Fees	Amount
Single Family Rezone or Variance Fee	\$100.00
Total:	\$100.00

Payments	Amt Paid
Total Fees	\$100.00
Check # 3117	\$100.00
Amount Due:	\$0.00

<u>Condition Name</u>	<u>Description</u>	<u>Comments</u>
	 Issued By:	March 22, 2021 Date
	Plan_Signature_1	Date
	Plan_Signature_2	Date

REZONE APPLICATION FORM

PERMIT NUMBER _____

- I. LOCATION 961 GOOD HOPE RD
 COUNCIL DISTRICT 5
 MAPNUMBER _____
 PARCEL NUMBER M0240154
- II. PRESENT ZONING PCD REQUESTED ZONING PRD
- III. ACREAGE 43.24 PROPOSED USE RESIDENTIAL
- IV. OWNER OF RECORD KFB ENTERPRISES INC
 ADDRESS P.O. BOX 122 CONYERS, GA 30012

PHONE NUMBER 770-922-0403 Email sgiles@barksdaleflynt.com

The following information must be supplied by the applicant. (attach additional pages if needed)

- V. ANALYSIS:
 - 1. A description of all existing uses and zoning of nearby property
Walton County - A1 / R1 / A / A2 / P - Residential , Agricultural, and Carver Middle School
City of Monroe - R1 / P / R1A - Residential
 - 2. Description of the extent to which the property value of the subject property is diminished by the existing zoning district classification The commercial use proposed in the approved PD has proved to be infeasible and its requirement a deterrent from developing the residential.
 - 3. The existing value of the property contained in the petition for rezoning under the existing zoning classification 4.2 MILLION
 - 4. The value of the property contained in the application for rezoning under the proposed zoning Classification 4.2 MILLION
 - 5. A description of the suitability of the subject property under the existing zoning classification Commercial use within the approved PD has proved unsuitable as evidenced by the tract remaining undeveloped since 2004. The residential is a suitable use.
 - 6. A description of the suitability of the subject property under the proposed zoning classification of the property Residential is a suitable use and is compatible with the surrounding residential zoned land and uses.

Rezoning Application
Page Two (2)

- 7. A description of any existing use of property including a description of all structures presently occupying the property The existing use is vacant. Infrastructure including streets, curb and gutter, sewer, water, stormwater mangament has been installed. No buildings exist on site.
- 8. The length of time the property has been vacant or unused as currently zoned _____
The property was rezoned in 2002 and has not been developed to the approved PCD
- 9. A detailed description of all efforts taken by the property owner(s) to use the property or sell the property under the existing zoning classification Under present zoning
WE COULD NOT SELL IT

Applications found to be incomplete or incorrect will be rejected. See the attached calendar for deadline dates. It is the responsibility of the applicant and not the staff to ensure that a complete and accurate application is submitted.

LEGAL DESCRIPTION OF PROPERTY

Rezoning Application
Page Three (3)

Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be rezoned accordingly.

Owner of property (signature) A. Randolph Barbdale
Address 994 Institute Street Conyers GA 30012
Phone Number 770-922-0403

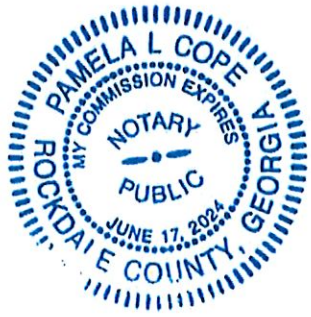


Attorney/Agent (signature) Charles R. Smith SMITH PLANNING GROUP
Address 1022 TWELVE OAKS PL #201 WATKINSVILLE, GA 30677
Phone Number 706.769.9515
3-18-2021

Personally appeared before me the above applicant named A. Randolph Barbdale who on oath says that he/she is the member/director for the foregoing, and that all the above statements are true to the best of his/her knowledge.

Pamela L. Cope (Notary Public) 3-18-2021 (Date)

My Commission Expires June 17, 2024



Disclosure of Campaign Contributions

In accordance with the Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A, the following questions must be answered:

Have you the applicant made \$250 or more in campaign contributions to a local government official within two years immediately preceding the filing of this application?

_____ yes no

If the answer is yes, you must file a disclosure report with the governing authority of Walton County showing:

1. The name and official position of the local governing authority in Walton County to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution was made.

This disclosure must be filed when the application is submitted.



Signature of Applicant/Date

Check one: Owner Agent _____

Page five (5)

For any application for P, B-1, B-2, B-3 or M-I districts the site plan shall identify: (circle the appropriate district applied for)

- the maximum gross square footage of building area
- the maximum lot coverage of building area
- the minimum square footage of landscaped area
- the maximum height of any structure
- the minimum square footage of parking and drive areas
- the proposed number of parking spaces

For any application for the R-1, R-1A, R-2 or MH districts the site plan shall additionally identify: (circle the appropriate district applied for)

- the maximum number of residential dwelling units
- the minimum square footage of heated floor area for any residential dwelling unit
- the maximum height of any structure
- the minimum square footage of landscaped area
- the maximum lot coverage of building area
- the proposed number of parking spaces
- on all rezoning applications a revised site plan to be approved at a later date by the Mayor and City Council may be required
- yes no Applicant site plan indicates a variance requested
- for any application for multi-family residential uses, the site plan shall also identify the maximum height of any structure, location of amenities, and buffer areas: and,
- any other information as may be reasonably required by the Code Enforcement Officer.

Any applicant requesting consideration of a variance to any provision of the zoning ordinance as shown on the required site plan shall identify the variance(s) and identify for each variance shown the following information which shall confirm that the following condition(s) exist:

1. Any information which identifies that there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district.
2. Any information whereby a literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located.
3. Any information supporting that granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located.
4. Information clearly showing that the requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
5. Information that the special circumstances are not the result of the actions of the applicant.
6. A description of how the variance requested is the minimum variance that will make possible the legal use of the land, building, or structure in the use district proposed.
7. Information indicating the variance is not a request to permit a use of land, buildings, or structures, which are not permitted by right in the district involved.

Rezoning Application

Page six (6)

COMMENTS

Disclosure of Campaign Contributions and/or gifts:

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years. The filing shall be within ten (10) days after the application is made, and in the case of a supporter or opponent, filing shall be at least five (5) days before the first public hearing.

I hereby withdraw the above application: Signature: _____ Date: _____

Disclosure of Campaign Contributions

In accordance with the Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A, the following questions must be answered:


Have you the applicant made \$250 or more in campaign contributions to a local government official within two years immediately preceding the filing of this application?

_____ yes no

If the answer is yes, you must file a disclosure report with the governing authority of Walton County showing:

1. The name and official position of the local governing authority in Walton County to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution was made.

This disclosure must be filed when the application is submitted.



Signature of Applicant/Date

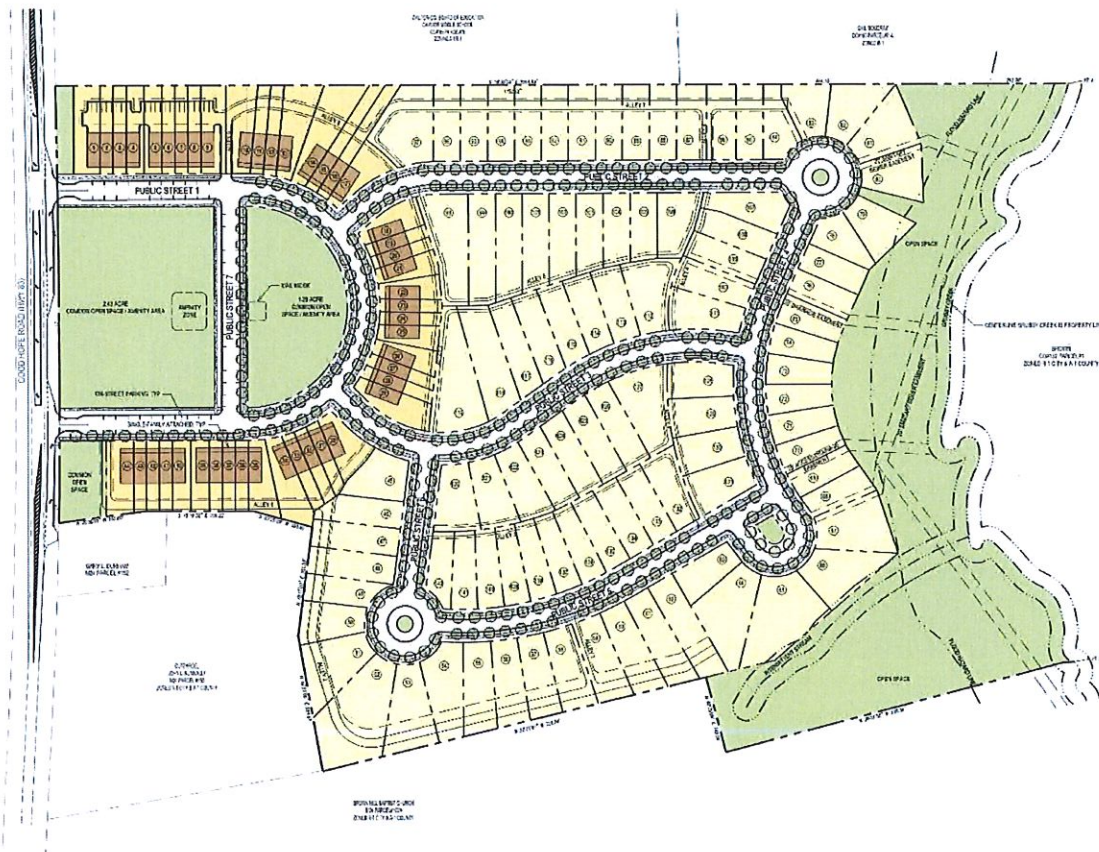
Check one: Owner Agent _____

PLANNED RESIDENTIAL DEVELOPMENT REPORT

19 March 2021

961 GOOD HOPE ROAD

Monroe, Georgia



Site Plan

INTRODUCTION

961 Good Hope Road is a planned development approved in 2003, After approval, streets, utilities and stormwater infrastructure were installed before the project fell victim to the Great Recession. The site has been dormant ever since. The original concept was to create a mixed-use community that contained a commercial

961 GOOD HOPE ROAD
CITY OF MONROE

- PROJECT DATA**
- PROJECT PARCEL DATA:
561 GOOD HOPE ROAD
MONROE, GA
TAX PARCEL M0240154
 - OWNER:
KFB ENTERPRISES INC
P.O. BOX 122
CONYERS, GA 30012
 - TOTAL PROJECT ACREAGE 43.318 AC
 - EXISTING ZONING PLANNED COMMERCIAL DEVELOPMENT (PCD)
PROPOSED ZONING: PLANNED RESIDENTIAL DEVELOPMENT (PRD)
PROPOSED USE: RESIDENTIAL
 - WATER SUPPLY: CITY OF MONROE
SEWERAGE: CITY OF MONROE
SOLID WASTE COLLECTION: CITY OF MONROE
 - PROPOSED UTILITIES: ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
 - THIS PROJECT SHALL MEET ALL CITY OF MONROE ORDINANCES PERTAINING TO SIGNS, SIDEWALKS, STREET LIGHTING, STREET TREES, AND SOLID WASTE COLLECTION. ALL LIGHTING FIXTURES MUST BE FULLY SHIELDED IN ACCORDANCE WITH CITY OF MONROE STANDARDS TO ENSURE DOWNWARD ILLUMINATION ONLY.
 - STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH CITY OF MONROE ORDINANCES AND REGULATIONS.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A SURVEY BY BREWER AND DUDLEY, LLC DATED 2003.
 - SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMITS
 - PROVISIONS FOR A RECYCLING PLAN AND SEPARATION OF SOLID WASTE AND RECYCLABLE MATERIALS SHALL BE MADE CITY OF MONROE REQUIREMENTS.

DEVELOPMENT SUMMARY PRD

RESIDENTIAL

SINGLE-FAMILY DETACHED:	98 UNITS
SINGLE-FAMILY ATTACHED:	44 UNITS
TOTAL RESIDENTIAL UNITS:	142 UNITS

RESIDENTIAL DENSITY

PROPOSED:	3.35 LOTS / ACRE
-----------	------------------

COMMON OPEN SPACE / PUBLIC USE

OPEN SPACE:	4-9.12 ACRE (22.4%)
ROAD RIGHT-OF-WAY:	4-7.804 ACRE (17.9%)

PARKING

EACH SINGLE FAMILY RESIDENCE WILL HAVE A MINIMUM OF 2 OFF-STREET PARKING SPACES. IN ADDITION, RESIDENTIAL STREETS WILL PROVIDE UNMARKED PARALLEL PARKING ON ONE SIDE.

STRIPED PARALLEL PARKING PROVIDED AROUND THE CENTRAL COMMON SPACE IS APPROXIMATELY 70 SPACES

DEVELOPMENT STANDARDS

DETACHED SINGLE FAMILY:

MAXIMUM LOT COVERAGE:	40%
FRONTAGE (EXCLUDING INSIDE CURVE LOTS):	50 FT
SETBACKS:	
FRONT:	10 FT
SIDE:	6 FT
REAR:	12 FT

*THE REAR SETBACK ON LOTS THAT BACK UP TO THE PERIMETER WILL BE 24FT.
MAXIMUM BUILDING HEIGHT: 30 FT
MINIMUM LOT SIZE: 5,700 SF

ATTACHED SINGLE FAMILY (TOWNHOUSE):

MAXIMUM LOT COVERAGE:	70%
FRONTAGE (EXCLUDING INSIDE CURVE LOTS):	24 FT
SETBACKS:	
FRONT:	0 FT
SIDE:	0 FT
REAR:	10 FT

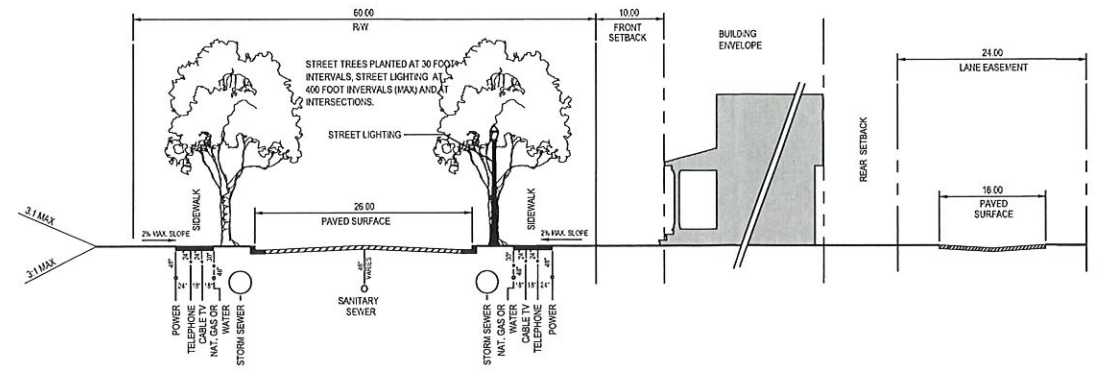
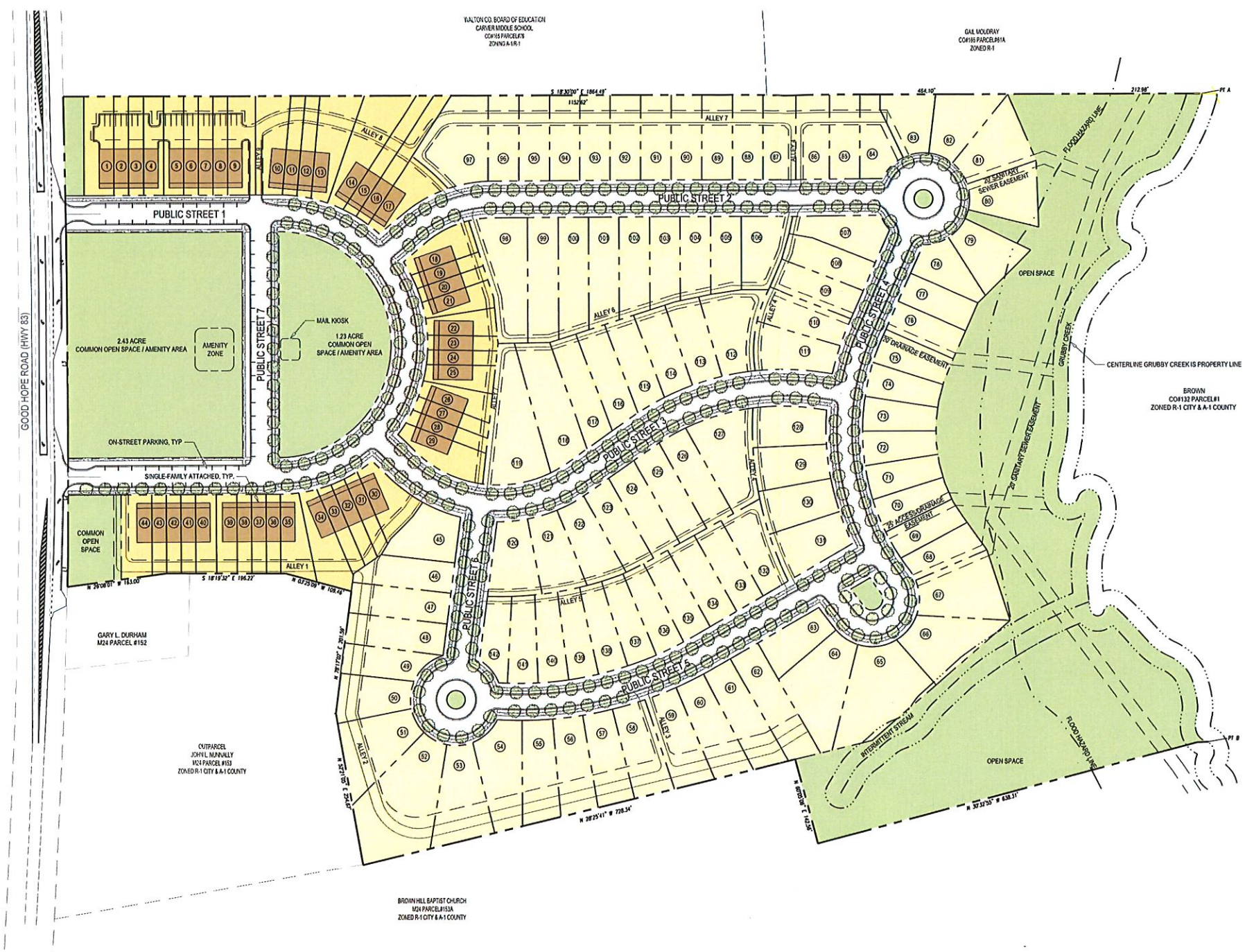
*THE REAR SETBACK ON LOTS THAT BACK UP TO THE PERIMETER WILL BE 24FT.
MAXIMUM BUILDING HEIGHT: 30 FT
MINIMUM LOT SIZE: 2,700 SF

BEARINGS AND DISTANCES ALONG CENTERLINE OF GRUBBY CREEK FROM POINT A TO POINT B

DIRECTION	DISTANCE
S 80° 22' 48" W	8.65'
N 66° 03' 21" W	109.77'
N 53° 15' 17" W	27.82'
N 51° 22' 31" W	44.33'
N 81° 57' 41" W	38.29'
S 66° 49' 53" W	71.84'
N 72° 23' 31" W	32.25'
N 72° 04' 00" W	40.02'
N 82° 46' 45" W	39.22'
N 78° 45' 39" W	41.53'
S 84° 50' 39" W	43.12'
S 61° 16' 35" W	101.24'
N 61° 08' 02" W	67.84'
S 63° 21' 10" W	69.96'
S 33° 22' 51" W	100.02'
S 67° 23' 19" W	68.53'
N 26° 08' 11" W	103.09'
S 72° 28' 34" W	14.42'
S 79° 33' 33" W	40.25'
S 47° 50' 45" W	43.22'
S 55° 11' 42" E	25.82'
S 04° 25' 45" W	16.10'
S 31° 49' 01" W	26.82'
S 53° 45' 30" W	26.58'
S 02° 20' 49" W	67.68'
S 52° 00' 06" W	27.01'
S 28° 45' 32" W	24.91'
S 63° 19' 55" W	44.11'
N 73° 32' 19" W	24.50'
S 43° 33' 43" W	18.10'
S 31° 50' 38" W	45.04'
S 66° 10' 55" W	22.12'
S 42° 08' 47" W	41.67'

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N 72° 50' 37" E	51.65'
L2	N 71° 32' 28" E	207.41'
L3	N 71° 04' 35" E	210.64'
L4	N 70° 48' 55" E	107.09'
L5	N 70° 29' 23" E	224.07'



KEY MAP

- SINGLE FAMILY DETACHED
- SINGLE FAMILY ATTACHED
- COMMON OPEN SPACE



STREET CROSS SECTION (60' R/W)
NOT TO SCALE

SEALS:



SHEET TITLE:

PRD SITE PLAN

SHEET ISSUE: 3/19/2021 PROJECT NO. 21-3024

SHEET NO.

PRD-10

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core along the frontage of Church Street. Having sat vacant for nearly a decade, new efforts are being made to bring life into this development with necessary adjustments to meet the current housing demand in the area. This request seeks to remove the commercial component of the current planned development and revise the plan to increase the number of townhomes lots and increase the open space and community amenity area.



Aerial Photograph with Project Boundary

SITE DESCRIPTION AND CURRENT USE

The 43.418-acre subject property is located on the south side of Church Street (Formerly Georgia Highway 83). It is bordered on the east by the Carver Middle School campus and an undeveloped tract. It is bound on the south by Grubby Creek. On the western property boundary, the land is largely undeveloped with one residence along the Church Street road frontage. The subject property slopes gently to the south and has been cleared and graded with infrastructure improvements installed throughout the site. The roadways and parking areas have been installed to match the approved site plan from the 2003 planned development approval. The subject property does not contain any structures.

ZONING

The 2003 rezone and annexation request allowed for the subject property to be rezoned from zoned A-1 (Walton County) with a small portion zoned R-1 that was within the city limits of Monroe to PCD. Initial development effort led to the installation of infrastructure, but nothing more has been done. Given the

vacancy on site, the request is to decrease the use intensity from PCD to PRD which would allow for a more diverse residential development as well as help meet housing demands in the area.

The majority of the changes will be within the previously approved commercial core. The semicircular park will remain and be expanded across the internal street to the Church Street frontage. Surrounding the park will be single-family attached homes that will face the park and be alley fed to reduce the number of curb cuts along the interior roadway network. This will increase the single family attached units from 24 lots to 44 lots and the total residential units from 131 lots to 142 lots.

Residential units will consist of fee-simple single-family attached (town homes) and single-family detached homes (see plan for locations). The minimum livable area of each of the building types will be in accordance with sect. 700.1 of the City of Monroe Zoning Ordinance which requires 1,600 square feet. Detached single family houses occupy lots ranging in area from 5,700 square feet to 20,502 square feet.

FUTURE DEVELOPMENT MAP

The City of Monroe Future Land Use Map designates the subject property as Residential. No changes to the Future Land Use Map are proposed as the rezone request is compatible with the designation.

PHASING

The project will be completed in a single phase.

ARCHITECTURE AND SITE DESIGN

The style of all structures will be similar to local southern vernacular architecture. Building materials will consist of brick, stone, stucco, wooden (or cementitious) siding and trim. An exterior color palette for all buildings will be included in the development documents and covenants in order to ensure a cohesive and pleasing color scheme. There will be at least six buildings designs to comply with sect. 810.1 per the City of Monroe Zoning Ordinance.



Detached Single-Family Residences



Attached Single-Family Residences

VEHICULAR ACCESS AND PARKING

Streets within the development have been designed for the pedestrian as well as for the automobile. All streets include a 5-foot-wide concrete sidewalk on both sides of the street. All streets will be dedicated public right-of-way designed in accordance with Monroe Development Regulations, Article 9. Street trees are proposed to be planted at 30-foot intervals and will be planted between the curb and the sidewalk. The variety of the trees will be chosen at the construction plan stage of the development, but only shade trees suitable for this use will be specified.

Garages and parking areas for many homes will be accessed from behind the houses by a 16-foot-wide paved service lane centered in a 24-foot-wide access easement. Parking in the service lane easement will be prohibited. Storage of recreation vehicles or trailers in the access easement will be prohibited. The access easement will be kept clear and open to allow unimpeded access by residents and service vehicles. Resident parking will be in garages, driveways or parking pads located on resident lots. Guest parking will be accommodated with on street parallel parking on one side only of the residential streets. The use of rear service lanes eliminates the need for driveway curb-cuts and front entry garages.

TRAFFIC

Previous approvals allowed for more intense uses on site. These uses required the installation of the deceleration lanes on Good Hope Road / Church Street. The request reduces the intensity of the development by removing the commercial core and increase the number of residential lots and neighborhood greenspace amenities.

LIGHTING

Outdoor lighting will be provided in conformance with Sec. 9-19-4. Indirect and low-level, pedestrian-scale lighting will be utilized to provide a pleasing and safe environment.

UTILITIES AND SERVICES

Both water and sewage services will be provided by the City of Monroe. All necessary infrastructure has been previously installed.

STORMWATER MANAGEMENT AND WATER QUALITY

Storm water runoff will travel as sheet flow until it is collected in natural and improved swales and/or drainage structures and directed to the flood plain along Grubby Creek.

TRASH DISPOSAL AND RECYCLING

Residential trash pick-up will be made in the service lanes where they exist. Otherwise, trash pick-up will be curbside on the street.

OPEN SPACE AND BUFFERS

A village green and park are located in the central portion of the development. Surrounded by townhouses overlooking the village green, this park will serve to as the centerpiece and unifying element of the development. Uses permitted within the park include a pavilion, kids play area, and passive recreation areas with paved walking paths and benches. Community open space located along Grubby Creek will be accessed from two points from the street running parallel to the creek. A nature trail is proposed to run along the creek. No vehicular traffic will be permitted in this area. This area will be commonly owned by the homeowners association. The homeowners association will be responsible for maintenance of this area and will pay any taxes assessed on this land. Total open space consists of 9.732 acres or 22.4% of the tract.

Disclosure of Campaign Contributions

In accordance with the Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A, the following questions must be answered:

Have you the applicant made \$250 or more in campaign contributions to a local government official within two years immediately preceding the filing of this application?

_____yes no

If the answer is yes, you must file a disclosure report with the governing authority of Walton County showing:

1. The name and official position of the local governing authority in Walton County to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution was made.

This disclosure must be filed when the application is submitted.

Charles R Smith

Signature of Applicant/Date

Check one: Owner _____ Agent

Disclosure of Campaign Contributions

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This disclosure must be filed when the application is submitted.



Signature of Applicant/Date

Check one: Owner Agent _____

LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 102 & 103 OF THE 3RD DISTRICT OF WALTON COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER LINE OF YOUNG STREET AND SOUTHERN RIGHT OF WAY LINE OF GOOD HOPE ROAD A/K/A CHURCH STREET (HAVING 80 FOOT RIGHT OF WAY), RUN THENCE NORTH 77 DEGREES 04 MINUTES 21 SECONDS EAST A DISTANCE OF 735.78 FEET TO AN IRON ROD FOUND AND THE POINT OF BEGINNING; RUN THENCE NORTH 72 DEGREES 50 MINUTES 37 SECONDS EAST A DISTANCE OF 51.65 FEET TO A POINT; RUN THENCE NORTH 71 DEGREES 32 MINUTES 26 SECONDS EAST A DISTANCE OF 207.41 FEET TO A POINT; RUN THENCE NORTH 71 DEGREES 04 MINUTES 36 SECONDS EAST A DISTANCE OF 210.84 FEET TO A POINT; RUN THENCE NORTH 70 DEGREES 48 MINUTES 05 SECONDS EAST A DISTANCE OF 107.09 FEET TO A POINT; RUN THENCE NORTH 70 DEGREES 20 MINUTES 23 SECONDS EAST A DISTANCE OF 224.07 FEET TO AN IRON ROD; LEAVING THE RIGHT OF WAY LINE OF CHURCH STREET RUN SOUTH 18 DEGREES 30 MINUTES 00 SECONDS EAST A DISTANCE OF 1864.49 FEET TO THE CENTER LINE OF GRUBBY CREEK, SAID CENTER LINE IS THE PROPERTY LINE; RUN THENCE ALONG SAID CENTER LINE THE FOLLOWING DISTANCES AND COURSES:

- SOUTH 80°29'48" WEST FOR A DISTANCE OF 8.85'
- NORTH 86°03'21" WEST FOR A DISTANCE OF 106.77'
- NORTH 53°15'17" WEST FOR A DISTANCE OF 27.62'
- NORTH 51°22'34" WEST FOR A DISTANCE OF 44.35'
- NORTH 81°57'41" WEST FOR A DISTANCE OF 36.29'
- SOUTH 66°49'53" WEST FOR A DISTANCE OF 71.84'
- NORTH 75°23'34" WEST FOR A DISTANCE OF 32.26'
- NORTH 72°04'00" WEST FOR A DISTANCE OF 40.08'
- NORTH 62°40'45" WEST FOR A DISTANCE OF 39.22'
- NORTH 78°40'39" WEST FOR A DISTANCE OF 41.53'
- SOUTH 84°50'39" WEST FOR A DISTANCE OF 44.13'
- SOUTH 62°16'35" WEST FOR A DISTANCE OF 101.28'
- NORTH 81°08'02" WEST FOR A DISTANCE OF 67.84'
- SOUTH 85°21'16" WEST FOR A DISTANCE OF 60.56'
- SOUTH 33°22'57" WEST FOR A DISTANCE OF 100.05'
- SOUTH 67°25'19" WEST FOR A DISTANCE OF 69.53'
- NORTH 26°08'01" WEST FOR A DISTANCE OF 163.00'
- SOUTH 72°28'34" WEST FOR A DISTANCE OF 14.42'
- SOUTH 79°33'33" WEST FOR A DISTANCE OF 40.25'
- SOUTH 47°50'46" WEST FOR A DISTANCE OF 25.89'
- SOUTH 55°11'42" EAST FOR A DISTANCE OF 42.22'
- SOUTH 04°25'46" WEST FOR A DISTANCE OF 16.70'
- SOUTH 31°49'07" WEST FOR A DISTANCE OF 26.82'
- SOUTH 53°45'38" WEST FOR A DISTANCE OF 26.58'
- SOUTH 02°20'49" WEST FOR A DISTANCE OF 67.69'
- SOUTH 53°00'06" WEST FOR A DISTANCE OF 27.01'
- SOUTH 28°50'35" WEST FOR A DISTANCE OF 25.93'
- SOUTH 63°19'55" WEST FOR A DISTANCE OF 44.13'

NORTH 73°32'19" WEST FOR A DISTANCE OF 24.56'
SOUTH 43°35'48" WEST FOR A DISTANCE OF 18.16'
SOUTH 31°50'38" WEST FOR A DISTANCE OF 45.04'
SOUTH 86°10'55" WEST FOR A DISTANCE OF 22.19'
SOUTH 42°08'47" WEST FOR A DISTANCE OF 41.48'

TO A POINT; RUN THENCE NORTH 30 DEGREES 32 MINUTES 55 SECONDS WEST A DISTANCE OF 638.31 FEET TO A ½ INCH CONDUIT FOUND, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF PROPERTY N/F OWNED BY JAMES ALBERT BROWN JR & LORETTA B BROWN; RUN THENCE NORTH 60 DEGREES 05 MINUTES 06 SECONDS FOR A DISTANCE OF 142.56 FEET TO A ½ INCH CONDUIT FOUND, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF PROPERTY N/F OWNED BY BROWN HILL BAPTIST CHURCH; RUN THENCE NORTH 28 DEGREES 25 MINUTES 41 SECONDS WEST A DISTANCE OF 728 TO A POINT, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF PROPERTY N/F OWNED BY BROWN HILL BAPTIST CHURCH; RUN THENCE NORTH 52 DEGREES 21 MINUTES 05 SECONDS EAST A DISTANCE OF 254.67 FEET TO A POINT, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF PROPERTY N/F OWNED BY AMERICAN NATIONAL RED CROSS; RUN THENCE NORTH 78 DEGREES 17 MINUTES 02 SECONDS EAST A DISTANCE OF 201.59 FEET TO A POINT, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF PROPERTY N/F OWNED BY AMERICAN NATIONAL RED CROSS; RUN THENCE NORTH 03 DEGREES 25 MINUTES 09 SECONDS WEST FOR A DISTANCE OF 109.46 FEET TO A POINT, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF PROPERTY N/F OWNED BY AMERICAN NATIONAL RED CROSS; RUN THENCE SOUTH 18 DEGREES 19 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 196.22 FEET TO A POINT, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF A PORTION OF PROPERTY N/F OWNED BY AMERICAN NATIONAL RED CROSS AND OF A PORTION OF PROPERTY N/F OWNED BY LILLIAN C WEATHERFORD; RUN THENCE NORTH 26 DEGREES 08 MINUTES 01 SECONDS WEST FOR A DISTANCE OF 163.00 FEET TO AN IRON ROD, SAID LINE IS THE SAME AS COMMON PROPERTY LINE OF PROPERTY N/F OWNED BY LILLIAN C WEATHERFORD, AND THE POINT OF BEGINNING.



CODE DEPARTMENT

April 6, 2021

To Whom It May Concern:

Below you will find information regarding a Legal Notice scheduled to run in The Walton Tribune on March 28, 2021 concerning a Rezone adjacent to your property.

Being an adjoining property owner, this could be of interest to you.

BE ADVISED OF THE DATE, TIME AND PLACE OF PUBLIC HEARING:

Planning Commission: April 20, 2021

Will be held at 215 N Broad St at 5:30 PM on the following application:

City Council: May 11, 2021

Will be held in the meeting room at 215 N Broad Street at 6:00 PM on the following application:

- 1. Rezone – 961 Good Hope Rd

Copies of application submittal can be viewed on line at www.monroega.com
Choose Government, Agendas Meetings, & Minutes, choose the meeting you plan to attend for this application.

If you are interested in speaking at the Council Meeting for or against the request, you will need to sign up before the meeting starts.

Sincerely,
Debbie Adkinson
Code Department Assistant

**NOTICE TO THE PUBLIC
CITY OF MONROE**

**A petition has been filed with the
City of Monroe requesting the
property at 961 Good Hope Road to
be rezoned from PCD to PRD
A public hearing will be held before
the Monroe Planning and Zoning
Commission at City Hall Auditorium at
215 N. Broad Street on April 20, 2021
at 5:30 P.M. All those having an
interest should be present to voice
their interest.**

**A petition has been filed with the
City of Monroe requesting the
property at 961 Good Hope Road to
be rezoned from PCD to PRD
A public hearing will be held before
The Mayor and City Council
at the City Hall Auditorium at
215 N. Broad Street on May 11, 2021
at 6:00 P.M. All those having an
interest should be present to voice
their interest.**

**PLEASE RUN ON THE
FOLLOWING DATE:**

March 28, 2021



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 04-01-2021
Description: Certificate of Appropriateness for a sign at 716 W. Spring St.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: *Staff recommendation: Approval without conditions.*

Background: Existing business replacing a previously existing non-conforming sign. The design submitted appears to meet the intent of the code as noted in the staff report.

Attachment(s): Application, Staff report and supporting documents.

**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: PCOM-000099-2021

DATE: March 26, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Academy Lock & Key

PROPERTY OWNER: James Sean & Marjorie Carla Mayes

LOCATION: North side of W Spring Street – 716 W Spring Street

ACREAGE: ±1.24

EXISTING ZONING: B-3 (Highway Business District)

EXISTING LAND USE: Fully developed site with a lock and key business

ACTION REQUESTED: The owner is requesting approval of a Certificate of Appropriateness application in order to allow construction of new monument sign.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness request as submitted without conditions.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: April 20, 2021

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of new monument sign at an existing lock and key business. The proposed monument sign will be constructed with a stone foundation. The sign supports will be wooden and the sign faces will be metal suspended from metal chains. No illumination is proposed for the sign.

PROPOSED PROJECT SUMMARY:

- Monument Sign – Academy Lock & Key
 - Proposed Monument Sign
 - Sign Height – 12'
 - Sign Width – 12'

- Sign Face Area – ±24.8 Sf (5’4”X4’8”)
- Materials – Stone foundation, with wooden supports and metal sign faces suspended from metal chains

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “CORRIDOR DESIGN STANDARDS AND GUIDELINES” AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 Site Planning:

This standard is not affected by this request.

643A.2 – Architecture:

This standard is not affected by this request.

643A.3 – Pavement:

This standard is not affected by this request.

643A.4 – Landscaping:

This standard is not affected by this request.

643A.5 – Signs:

The proposed monument sign appears to meet the intent of the dimensional requirements set forth in Section 643A.5(1)(d) of the Zoning Ordinance. The proposed monument sign also appears to meet the additional sign criteria outlined in Section 643A.5(1).

643A.6 – Illumination:

This standard is not affected by this request.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness as submitted without conditions to construct a monument sign.



City of Monroe
215 N. Broad Street
Monroe, GA 30655
(770)207-4674

Plan Report

Plan NO.: PCOM-000099-2021

Plan Type: Planning Commission

Work Classification: Certificate of Appropriateness

Plan Status: In Review

Apply Date: 03/25/2021

Expiration:

Location Address

Parcel Number

716 W SPRING ST, MONROE, GA 30655

M0060272

Contacts

ACADEMY LOCK & KEY INC. 716 W SPRING ST, MONROE, GA 30655 (770)338-1371	Applicant STHOMPSON@ASGKEYS.COM
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Description: Request for COA for New Monument Sign - P&Z Meeting 4/20/2021 - 5:30 pm 215 N Broad St

Valuation:	\$0.00
Total Sq Feet:	0.00

Fees	Amount
Planning Commission Regular Meeting (COA)	\$50.00
Total:	\$50.00

Payments	Amt Paid
Total Fees	\$50.00
Credit Card	\$50.00
Amount Due:	\$0.00

Condition Name

Description

Comments

Issued By: Debbie Adkinson

March 25, 2021

Date

Plan_Signature_1

Date

Plan_Signature_2

Date

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Zoning ordinance, you are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change you wish to make to your property if your property is located within a Corridor Design Overlay District. Please see pages 45 through 52 of the Zoning Ordinance.

The following steps must be taken in order to have your proposed change considered by the Planning Commission:

1. Stop by the Code Office at least 45 working days in advance of the next regular meeting of the Planning Commission (the Third Tuesday of each month at 5:30 pm), read the Zoning Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$50.00 fee. If you request a "special meeting" at some date or time (other than the 3rd Tuesday of every month), the fee is \$100.00.
4. Provide all documentation which will assist the Planning Commission in deciding if your proposed change(s) are in keeping with the Corridor Design Overlay District standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives Planning Commission members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the Planning Commission looks forward to considering your request.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE PLANNING COMMISSION

Please read the Zoning Ordinance (Corridor Sections 643-1 through 643A.6). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 04 MAR 2021

APPLICANT: Academy Lock & Key

APPLICANT'S ADDRESS: 716 W. Spring St.
Monroe, GA 30655

TELEPHONE NUMBER: 770-338-1371 EMAIL: cterrell@asgkeys.com

PROPERTY OWNER: Sean Mayes

OWNER'S ADDRESS: 716 W. Spring St.
Monroe, GA 30655

TELEPHONE NUMBER: 770-338-1371

PROJECT ADDRESS: 716 W. Spring St.
Monroe, GA 30655

Brief description of project: Wood & Metal Sign in front of building. Sign will consist of 2 uprights and a crossbeam at top. Signage will be within the exterior dimensions.

(Continue on separate sheet, if necessary.)

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the Planning Commission to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the Planning Commission duties include taking into account all aspects of the exterior of the structure.

In its review, the Planning Commission shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positionings and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than fifteen (15) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A “material change in appearance” means a change that will affect either the exterior architectural or environmental features of a corridor property or any structure, site, or work of art within a corridor design overlay district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and

- 5. The erection, alteration, restoration, or removal of any building or other structure within a corridor district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec 643.4(4) (a)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 210(65)].

“Landscaping/landscape area” means a portion of lot or land area, either natural or modified for aesthetic or functional purposes through grading and planting, consisting of vegetation including but not limited to trees, shrubs, ground covers, grass, flowers, decorative rock, bark, mulch and other similar materials. [Sec. 210(86)].

Ordinary maintenance or repair of any exterior architectural feature in or on a corridor property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 643.4(3) (b)]


 Applicant

Date: 04 MAR 2021

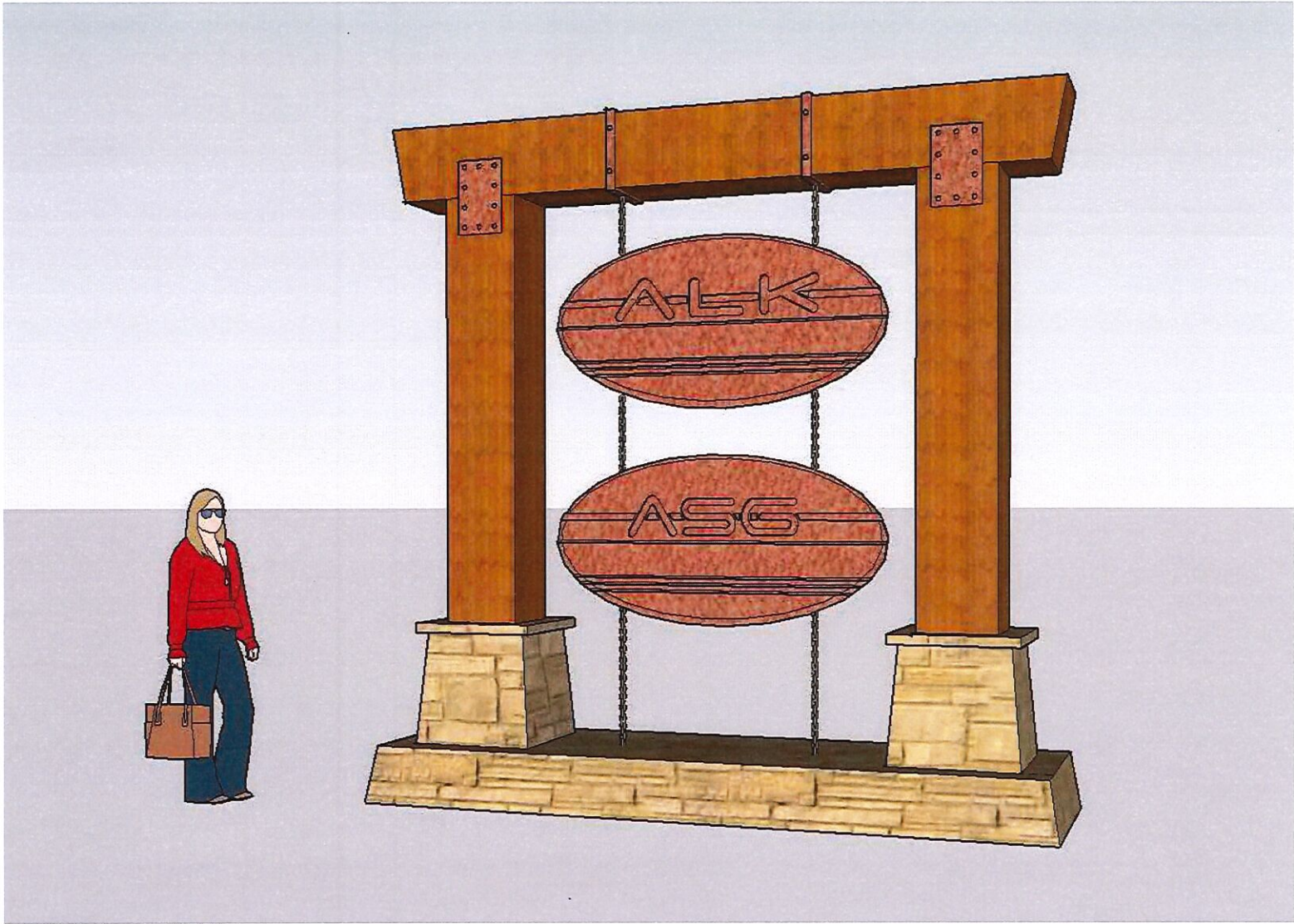
**NOTICE TO THE PUBLIC
CITY OF MONROE**

The City of Monroe has received a request for a Certificate of Appropriateness for exterior changes. A public hearing will be held in a meeting on April 20, 2021 before the Planning & Zoning Commission, at 5:30 P. M. for 716 W Spring Street

This meeting will be held at 215 N Broad St. All those having an interest should be present.

Please run on the following date:

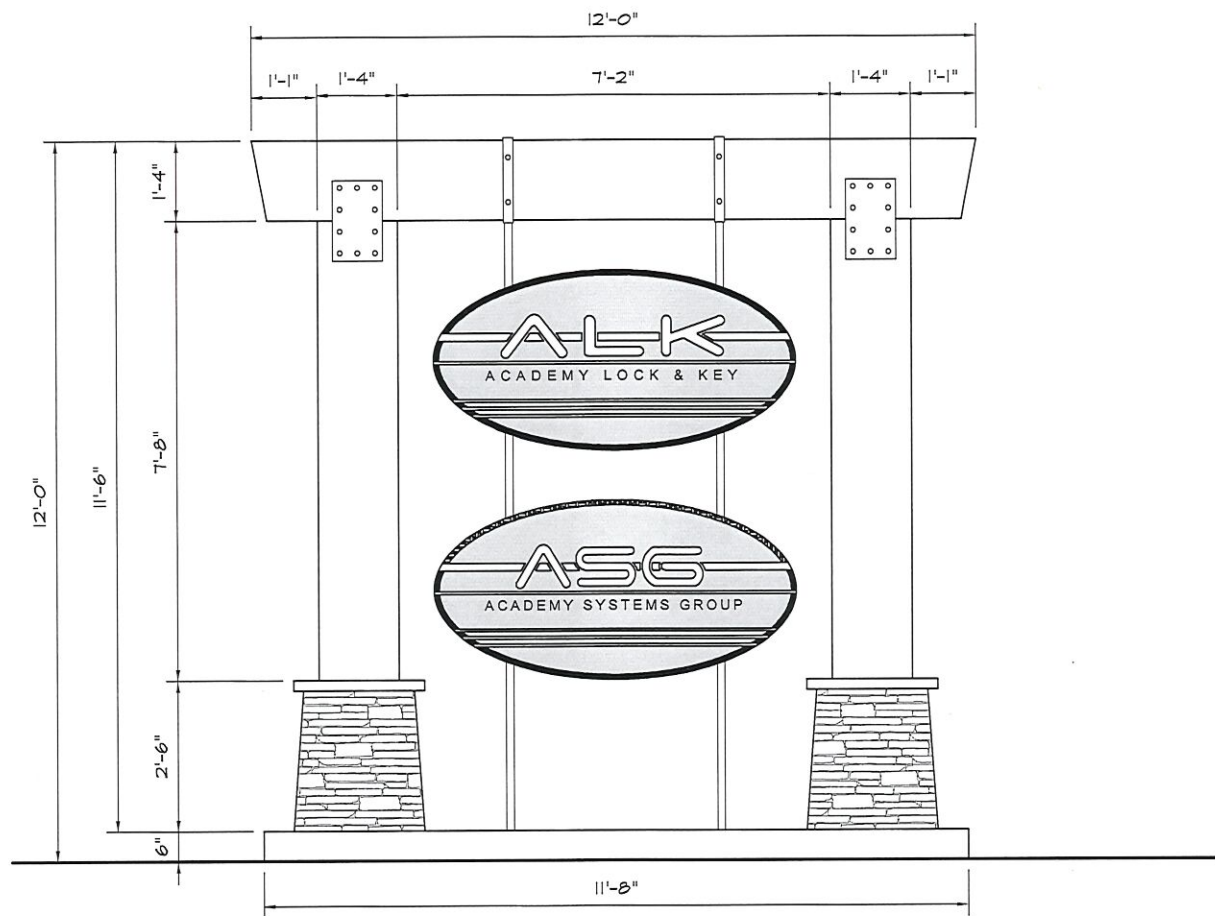
March 28, 2021



Business Sign for
Academy Lock & Key
716 W. Spring Street
Monroe, GA 30655

Sy Richards, *Architect Inc.*

Monroe, GA
December 8, 2020

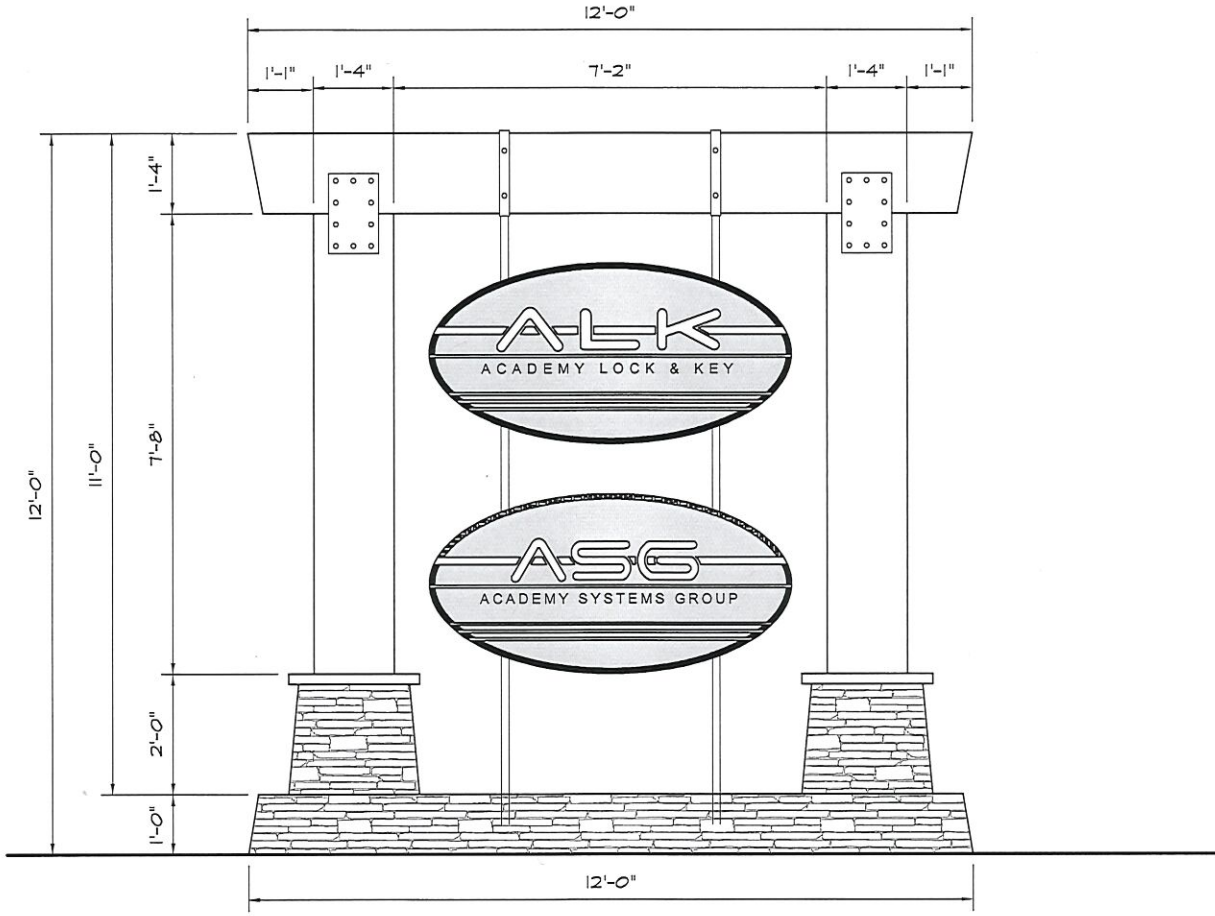


I SIGN ELEVATION
 A
 SCALE : 1/2" = 1'-0"

BUSINESS SIGN FOR
 ACADEMY LOCK & KEY
 716 WEST SPRING STREET
 MONROE, GA 30655

Sy RICHARDS, ARCHITECT INC.
 MONROE ● GEORGIA

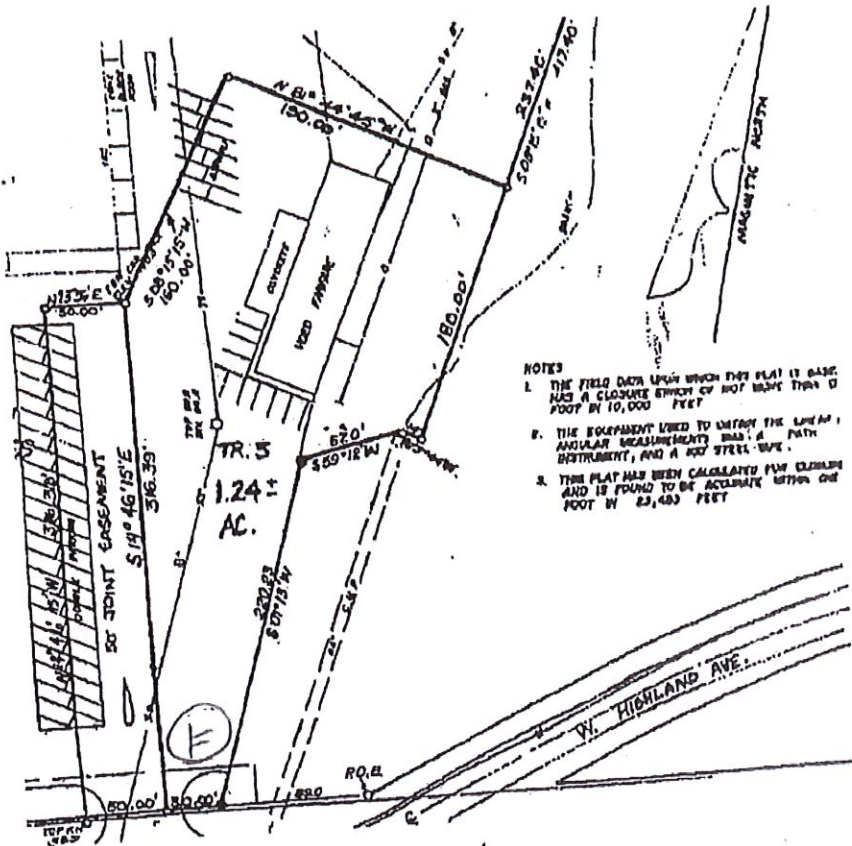
SIGN ELEVATION
 ATTACHMENT: "A"
 DATE: December 4, 2020



I SIGN ELEVATION
B SCALE : 1/2" = 1'-0"

BUSINESS SIGN FOR ACADEMY LOCK & KEY 716 WEST SPRING STREET MONROE, GA 30655	Sy RICHARDS, ARCHITECT INC. MONROE ● GEORGIA	SIGN ELEVATION
		ATTACHMENT: "B"
		DATE: December 8, 2020

Exhibit "A"



- NOTES
1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE ERROR OF NOT MORE THAN 10 FEET IN 10,000 FEET.
 2. THE EQUIPMENT USED TO OBTAIN THE LINEAR, ANGULAR MEASUREMENTS WAS A PATH INSTRUMENT, AND A 100' STEEL TAPE.
 3. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 23,680 FEET.

Leggett & Leggett, Inc.





W Spring St

W Highland Ave

W Highland Ave

10

10

