



Called Planning & Zoning Meeting

AGENDA

Thursday, March 18, 2021

5:30 PM

Join Our Zoom Meeting <https://us02web.zoom.us/j/88540517736>

Meeting ID: 885 4051 7736

-
- I. **CALL TO ORDER**
 - II. **ROLL CALL**
 - III. **MINUTES OF PREVIOUS MEETING**
 - IV. **REPORT FROM CODE ENFORCEMENT OFFICER**
 - V. **PUBLIC HEARINGS**
 1. Request for COA - 156 Martin Luther King Jr Blvd
 - VI. **RECOMMENDATIONS ON REQUESTS**
 - VII. **OLD BUSINESS**
 - VIII. **NEW BUSINESS**
 - IX. **ADJOURNMENT**



To: Planning and Zoning
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 02-23-2021
Description: Request for a Certificate of Appropriateness by Tractor Supply located at 156 MLK Jr. Blvd.

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: *Approval without conditions*

Background: This is an existing fully developed shopping center. This structure will allow for the installation of a greenhouse area in an existing fenced enclosure to house plants and associated retail items.

Attachment(s): City planner report, application and supporting documents.

**Planning
City of Monroe, Georgia**

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

APPLICATION SUMMARY

CERTIFICATE OF APPROPRIATENESS CASE #: PCOM-000093-2021

DATE: February 19, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Tractor Supply Co.

PROPERTY OWNER: WTH II, LLC

LOCATION: West side of Martin Luther King Jr. Blvd. – 156 Martin Luther King Jr. Blvd

ACREAGE: ±8.11

EXISTING ZONING: B-3 (Highway Business District)

EXISTING LAND USE: Fully developed shopping center and parking area.

ACTION REQUESTED: The owner is requesting approval of a Certificate of Appropriateness application in order to allow construction of a greenhouse addition to an existing shopping center building.

STAFF RECOMMENDATION: Staff recommends approval of this Certificate of Appropriateness request as submitted without conditions.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: March 16, 2021

REQUEST SUMMARY

CERTIFICATE OF APPROPRIATENESS REQUEST SUMMARY:

The applicant is requesting approval of a Certificate of Appropriateness application in order to allow construction of a greenhouse addition to an existing shopping center. The proposed greenhouse addition will be located inside an existing fenced-in outdoor display area.

PROPOSED PROJECT SUMMARY:

- Existing Retail Location – Tractor Supply Co.
 - Total Building Floor Area – ±27,800 Sf
 - Existing Fenced Outdoor Display Area – 14,600 Sf
 - Proposed Greenhouse Addition – 1,560 Sf (26’X60’)

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE "CORRIDOR DESIGN STANDARDS AND GUIDELINES" AS SET FORTH IN SECTION 643A OF THE *CITY OF MONROE ZONING ORDINANCE*.

643A.1 Site Planning:

The proposed addition will occur within a developed area at an existing shopping center. No parking or landscaping will be affected by allowing the greenhouse addition.

643A.2 – Architecture:

This proposed greenhouse addition will have translucent polycarbonate paneling and roofing. The addition will be constructed in line with the façade line of the existing retail space for Tractor Supply. The addition will be one-story in height. The proportion of the addition will only constitute a fraction of the overall proportion of the existing retail unit size for Tractor Supply.

643A.3 – Pavement:

The proposed greenhouse addition will occupy an area currently used as an outdoor sales area. No parking or other pavement will be affected by this request.

643A.4 – Landscaping:

This standard is not affected by this request. The proposed addition will occur within a developed area at an existing shopping center.

643A.5 – Signs:

A sign is proposed to be placed on the greenhouse addition. The proposed sign does appear to meet the general criteria for the Corridor Design standards, however, the sign may exceed the number of wall signs permitted under Article XII of the Zoning Ordinance. This issue would need to be determined at the time of permitting.

643A.6 – Illumination:

This standard is not affected by this request. No additional lighting is proposed for the greenhouse addition.

STAFF RECOMMENDATION

Based upon the City Council's policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Certificate of Appropriateness as submitted without conditions to construct a greenhouse addition onto an existing shopping center building.



City of Monroe
 215 N. Broad Street
 Monroe, GA 30655
 (770)207-4674

Plan Report

Plan NO.: PCOM-000093-20 5

Plan Type: Planning Commission

Work Classification: Certificate of Appropriateness

Plan Status: In Review

Apply Date: 02/16/2021

Expiration:

Location Address

Parcel Number

156 MARTIN LUTHER KING JR BLVD, MONROE, GA 30655

M0010001D00

Contacts

TRACTOR SUPPLY CO 5401 Virginia Way, Brentwood, TN 37027 (615)636-9061	Applicant onpointcommercialdesign@gmail.com
--	---

Description: REQUEST FOR COA FOR EXTERIOR ADDITIONS - P&Z MTG 3/16/2021 @ 5:30 PM THIS WILL BE A ZOOM MEETING

Valuation:	\$ 0.00
Total Sq Feet:	0.00

Fees	Amount
Planning Commission Regular Meeting (COA)	\$50.00
Total:	\$50.00

Payments	Amt Paid
Total Fees	\$50.00
Credit Card	\$50.00
Amount Due:	\$0.00

<u>Condition Name</u>	<u>Description</u>	<u>Comments</u>
-----------------------	--------------------	-----------------

Issued By: Debbie Adkinson

February 16, 2021

Date

Plan_Signature_1

Date

Plan_Signature_2

Date

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Zoning ordinance, you are required to obtain a Certificate of Appropriateness (COA) from the Planning Commission for any exterior material change you wish to make to your property if your property is located within a Corridor Design Overlay District. Please see pages 45 through 52 of the Zoning Ordinance.

The following steps must be taken in order to have your proposed change considered by the Planning Commission:

1. Stop by the Code Office at least 45 working days in advance of the next regular meeting of the Planning Commission (the Third Tuesday of each month at 5:30 pm), read the Zoning Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$50.00 fee. If you request a "special meeting" at some date or time (other than the 3rd Tuesday of every month), the fee is \$100.00.
4. Provide all documentation which will assist the Planning Commission in deciding if your proposed change(s) are in keeping with the Corridor Design Overlay District standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives Planning Commission members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the Planning Commission looks forward to considering your request.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE PLANNING COMMISSION

Please read the Zoning Ordinance (Corridor Sections 643-1 through 643A.6). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 2/10/2021

APPLICANT: Tractor Supply Co.

APPLICANT'S ADDRESS: 5401 Virginia Way, Brentwood, TN 37027

TELEPHONE NUMBER: 615-636-9061 (OnPoint/Expeditor)

PROPERTY OWNER: WTH II, LLC

OWNER'S ADDRESS:

1550 Timothy Rd. Suite 203, Athens, GA 30606

TELEPHONE NUMBER:

PROJECT ADDRESS: 156 MLK JR Blvd., Monroe, GA 30655

Brief description of project:

Grenhouse addition at existing Tractor Supply Co to be located within the existing outdoor fenced in area. Impervious area will remain unaltered as the existing outdoor sales area is existing rigid pavement. Greenhouse is clad in polycarbonate panels (roof and sides) to allow sunlight in for plants.

(Continue on separate sheet, if necessary.)

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used .

Provide such other information that is necessary for the Planning Commission to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the Planning Commission duties include taking into account all aspects of the exterior of the structure.

In its review, the Planning Commission shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positionings and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than fifteen (15) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A "material change in appearance" means a change that will affect either the exterior architectural or environmental features of a corridor property or any structure, site, or work of art within a corridor design overlay district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or facade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and

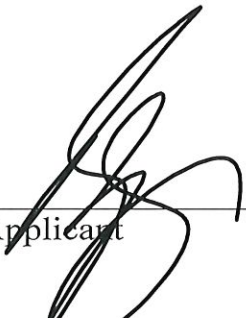
- 5. The erection, alteration, restoration, or removal of any building or other structure within a corridor district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec 643.4(4) (a)]

"Exterior architectural features" means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 210(65)].

"Landscaping/landscape area" means a portion of lot or land area, either natural or modified for aesthetic or functional purposes through grading and planting, consisting of vegetation including but not limited to trees, shrubs, ground covers, grass, flowers, decorative rock, bark, mulch and other similar materials. [Sec. 210(86)].

Ordinary maintenance or repair of any exterior architectural feature in or on a corridor property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 643.4(3) (b)]



 Applicant
 Date: 2/10/2021

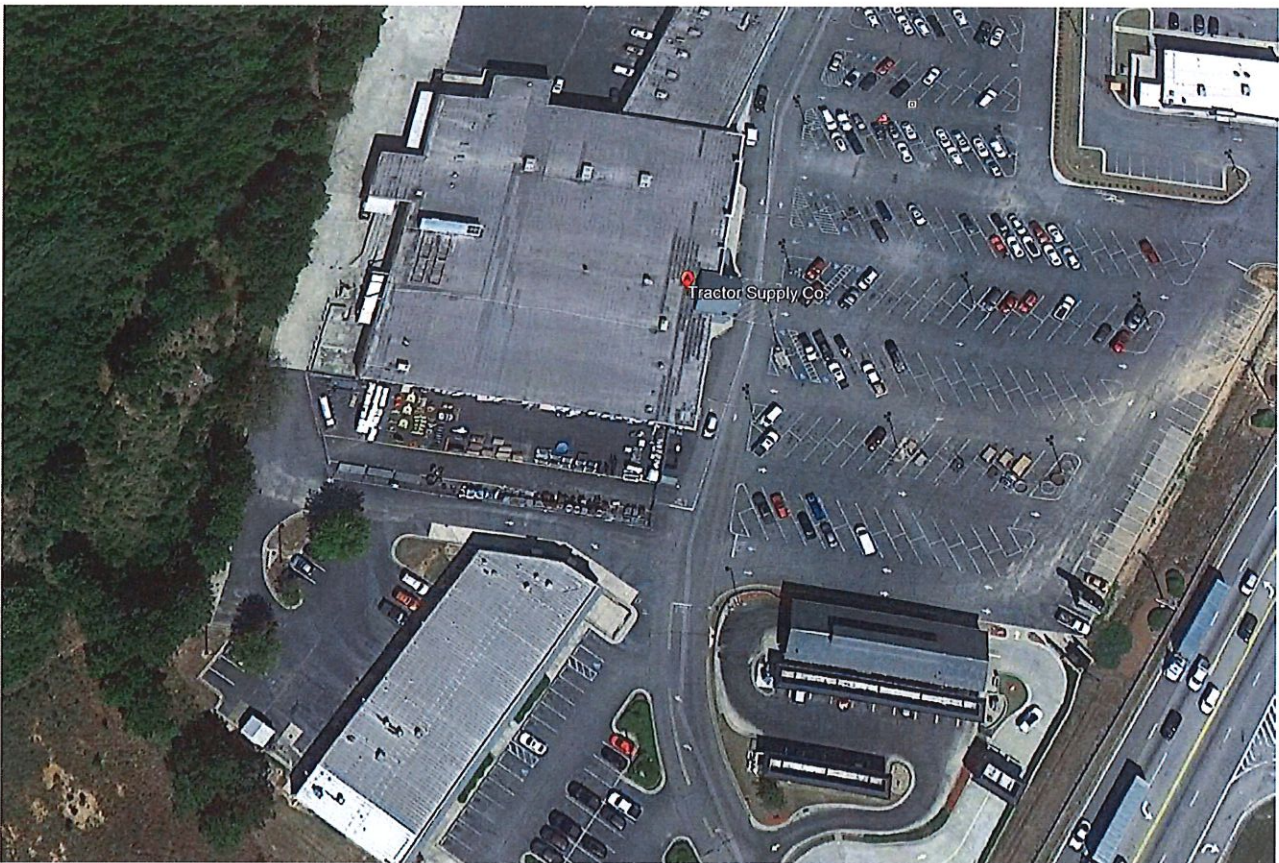
onyx | creative

25001 Emery Rd, Suite 400
Cleveland, Ohio 44128
216.223.3200 | onyxcreative.com

City of Monroe
215 N. Broad Street
Monroe, GA 30655
P: 770-207-4674

RE: Tractor Supply Co.
Remodel Project
Monroe, GA

February 8, 2021



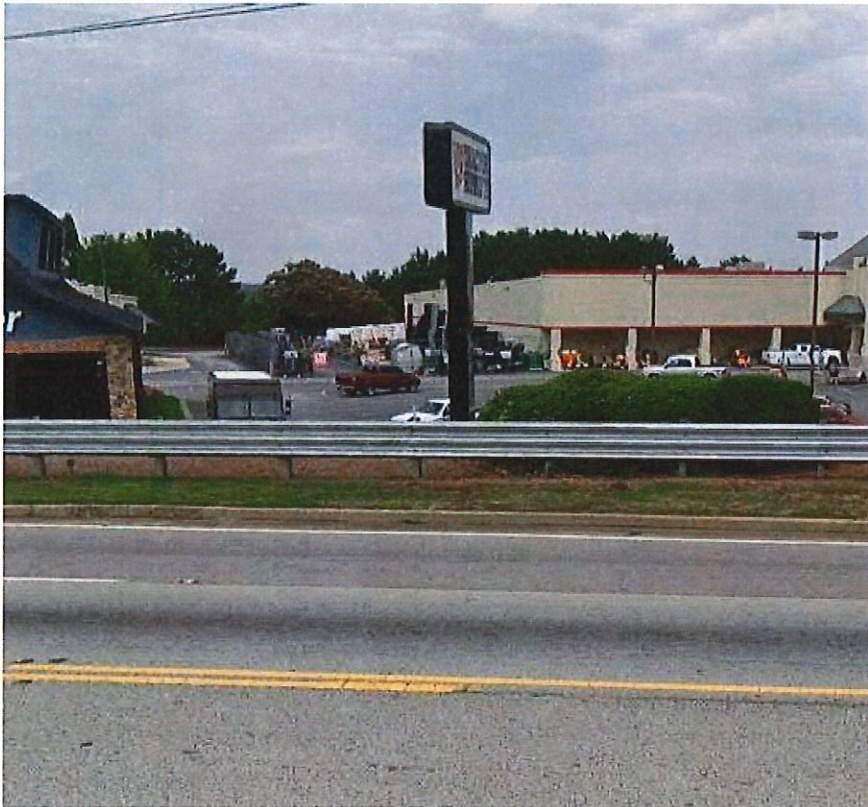
Site Aerial

onyx | creative

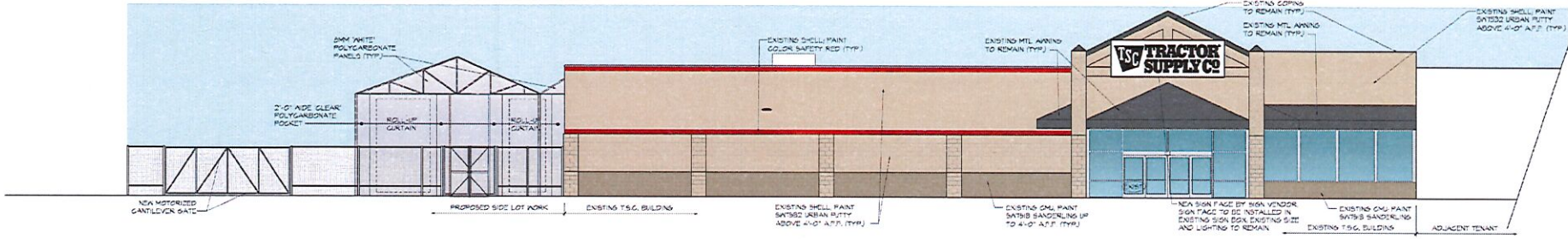
25001 Emery Rd, Suite 400
Cleveland, Ohio 44128
216.223.3200 | onyxcreative.com



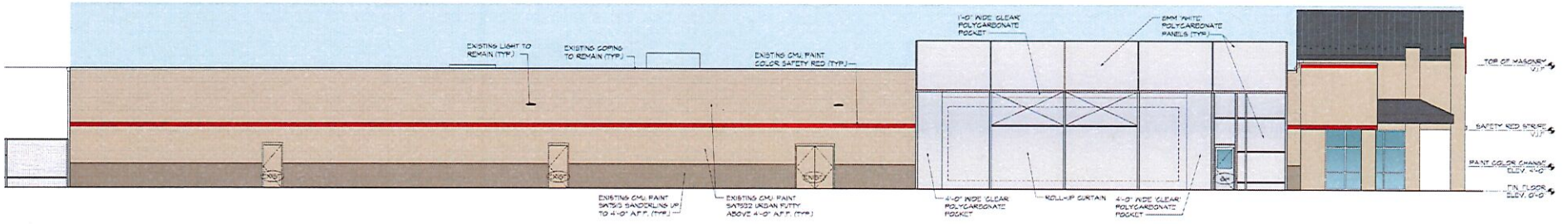
View from MLK Jr. Blvd.



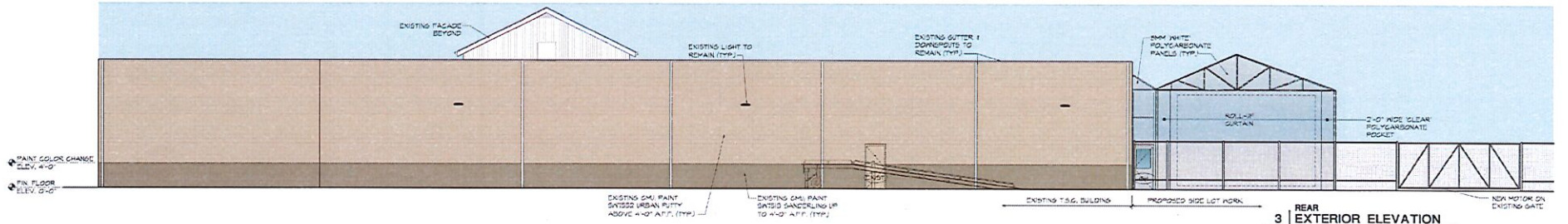
Side Lot



1 FRONT EXTERIOR ELEVATION
1/8" = 10'



2 GREENHOUSE SIDE EXTERIOR ELEVATION
1/8" = 10'



3 REAR EXTERIOR ELEVATION
1/8" = 10'

TRACTOR SUPPLY CO.
REFERENCE MATERIAL PHOTOS



VIEW FROM PARKING LOT

TRACTOR SUPPLY CO.
REFERENCE MATERIAL PHOTOS



VIEW FROM INSIDE THE FENCED SIDE LOT

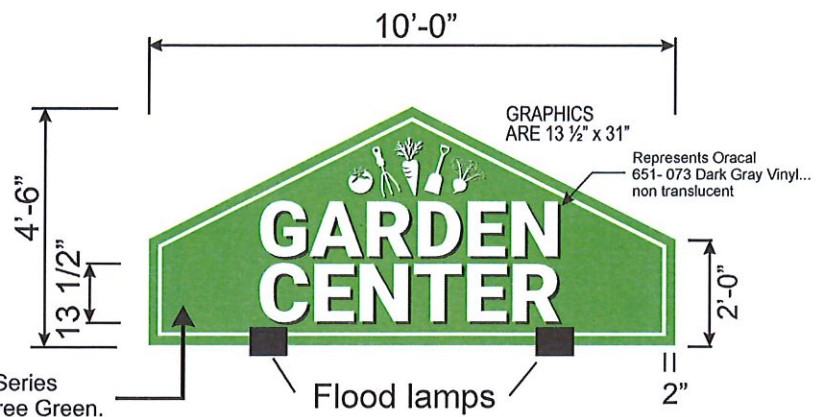
SHOWS USE OF GREENHOUSE POLYCARBONATE GLAZING PANELS

TRACTOR SUPPLY CO.
REFERENCE MATERIAL PHOTOS



VIEW FROM INSIDE THE FENCED SIDE LOT

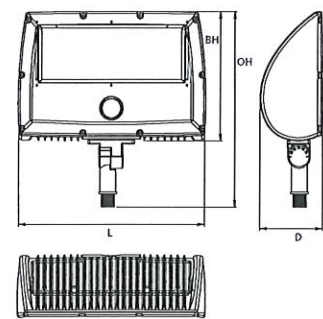
SHOWS USE OF GREENHOUSE POLYCARBONATE GLAZING PANELS AND METAL SIDING AT REAR FEED STORAGE PORTION



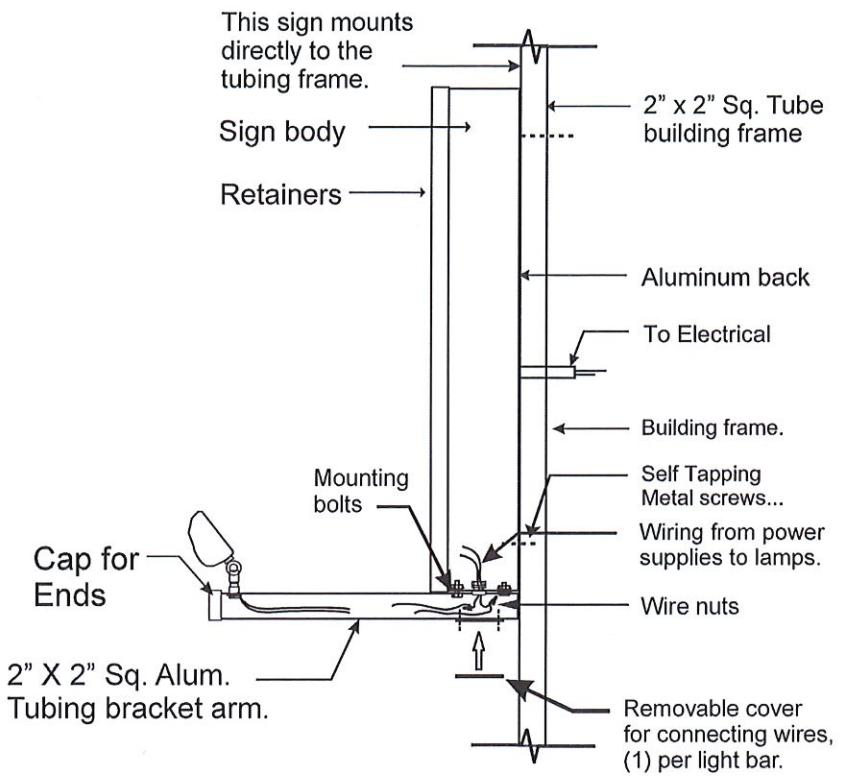
Proposed Sign (1)
45.0 Sq. Ft.

General Notes for Proposed Garden Center Sign

Cabinet is of Aluminum construction. Faces are 3/16" thick, flat Poly-carbonate with vinyl decoration. **Illumination is provided by external lighting.** UL listed outdoor rated disconnect required. Power supplies are contained in cabinet.



Wattage	50W
L = Length (inches / mm)	10.75 / 280
D = Depth (inches / mm)	3.73 / 94.7
BH = Body Height (inches / mm)	7.84 / 194.1
OH = Overall Height (inches / mm)	11.57 / 293.8
Weight (lbs / kg)	10.36 / 4.7
Effective Projected Area (EPA) in ft ²	
Configuration	■
Wattage	50
	1.340



End View: Garden Center Sign

Floodlight Series (Medium)



FEATURES

- Color Temperatures: 4000K and
- CRI: 70
- Lumen Maintenance: L70=50,000 at 25 °C
- Operating Temperature Range: -40 °C to 40 °C
- Durable All Aluminum Pressure Die Cast Housing
- Long Life Durable Powder Coat Finish (Custom colors are available upon request.)
- IP65 Rated (wet listed)
- Mounting: 1/2" NPT adjustable knuckle standard. Optional trunion or tenon adapter available.

ELECTRICAL SPECIFICATIONS

- Two Universal Voltage Driver Options: 120-277V and 347-480V
- Power Factor > 0.90
- THD < 0.85
- Control Options: 0-10V Dimming Standard (Photocell Optional)

TESTS & CERTIFICATIONS

- ETL (to UL1598 standards)
- RoHS Compliant
- Design Lights Consortium (Premium)



Signs to meet current NEC. codes.

Client:



Location:

Monroe, GA.

Project:

Wall Sign

Notes:

Dwg. Date: 1-13-21

Scale: NTS.

Revisions: Date:

R1: Revised to flood lighting 2-11-21

Presented By:



The Sign Resource, Inc.
P.O. Box 6215 Hickory, NC. 28603
Ph. 727-669-6877 www.TSRFL.com

Note: This drawing is property of The Sign Resource, & shall not be reproduced without written permission.

Dwg. Number: TS-8060R1

Client:



Location:

Monroe, GA.

Project:

Wall Sign

Notes:

Dwg. Date:
1-13-21

Scale:
NTS.

Revisions: Date:
R1: Revised to flood
lighting 2-11-21

Presented By:

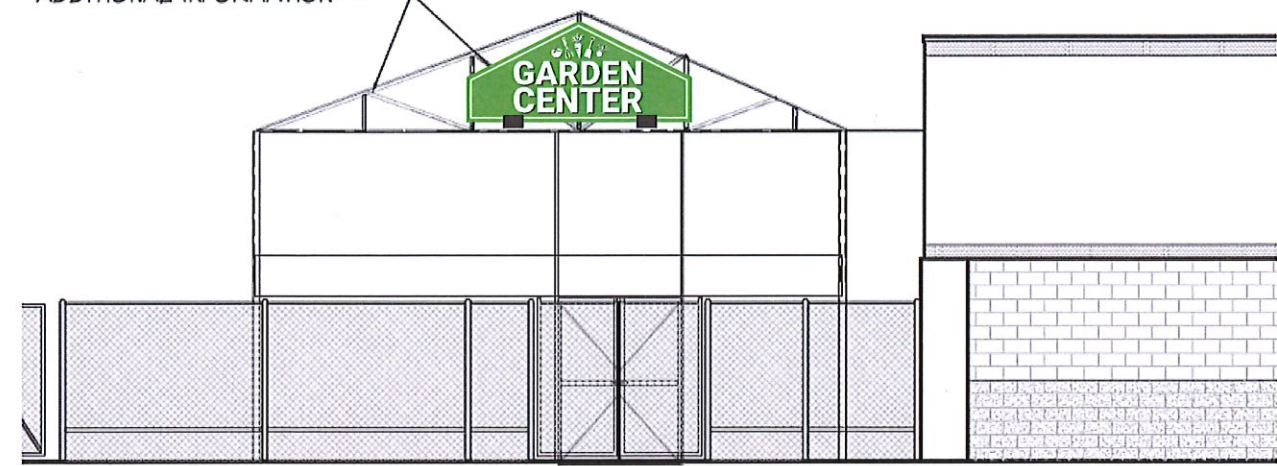


The Sign Resource, Inc.
P.O. Box 6215 Hickory, NC. 28603
Ph. 727-669-6877 www.TSRFL.com

Note: This drawing is property of
The Sign Resource, & shall not be
reproduced without written permission.

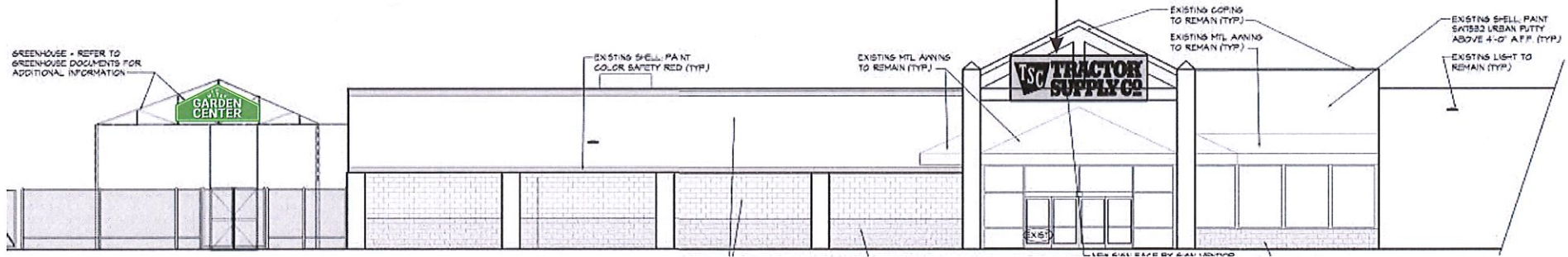
Dwg. Number: TS-8061R1

GREENHOUSE - REFER TO
GREENHOUSE DOCUMENTS FOR
ADDITIONAL INFORMATION



Garden Center Elevation with Proposed Sign:
Sign will be Externally Lit.

Existing Wall Sign



Overall Elevation with Proposed Sign

ABBREVIATION LIST

Table of abbreviations and their meanings, organized in columns. Includes terms like AFF, ADJUSTABLE, ALUMINUM, ANCHOR BOLT, APPROXIMATELY, etc.



CONTACTS

Table listing contact information for OWNER, ARCHITECT, MEP ENGINEERS, OWNER PROJECT MANAGER, STRUCTURAL ENGINEERS, and GREENHOUSE ENGINEERS.

PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF A FULL SCALE REMODEL TO EXISTING TRACTOR SUPPLY CO. STORES. THE STORE WILL HAVE A GRAND REOPENING ONCE CONSTRUCTION IS COMPLETE. ADDING INTERIOR SELF-SERVICE PET WASH ROOM AND ADDITIONAL OUTLETS TO THE REMODELED SALES FLOOR.

GENERAL NOTES

- 1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA A-201, 2007 IS APPLICABLE TO THE PROJECT AND INCLUDED HERE-IN BY REFERENCE.
2. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM THE ARCHITECT TO RESOLVE DISCREPANCIES OR TO SUPPLY ADDITIONAL INFORMATION.

SCOPE OF WORK

SEE SHEET A0.2

ALTERNATES

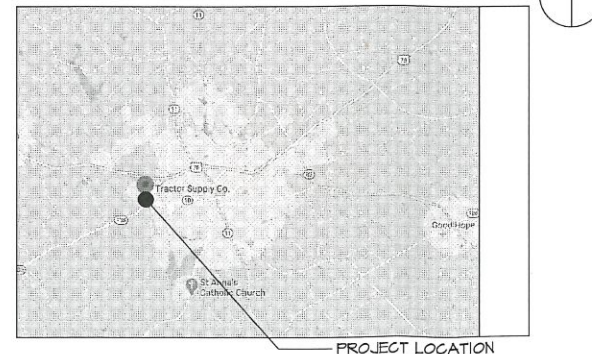
SEE SHEET A0.2

CONTRACTOR RESPONSIBILITIES

CONTRACTOR SHALL VERIFY EXISTING CONDITIONS ON SITE. DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS AS WELL AS DISCREPANCIES BETWEEN LANDLORD WORK AND TSC WORK SHALL BE BROUGHT TO THE ATTENTION OF TSC AND ARCHITECT IN WRITING PRIOR TO BID SUBMISSION.

NOTE: TO ORDER STANDARD CRITERIA PLANS GO TO WWW.LANDPRESS.NET. PLACE ORDER FOR TSC'S STANDARD CRITERIA PLANS - CURRENT PLANS WILL BE 02.2020. TO ORDER DWG/CAD FILES SEND EMAIL TO SPECIALSERVICES@LANDPRESS.NET. INCLUDE FE ACCOUNT # OR CREDIT CARD # WITH TYPE OF CREDIT CARD, NAME ON CARD, CREDIT CARD #, EXPIRATION DATE AND ZIP CODE OF BILLING ADDRESS. ANY PROBLEMS OR QUESTIONS, YOU MAY CONTACT CINDY FIND # 866.404.2614 EXT. 4505.

VICINITY MAP



2020 REMODEL CRITERIA PLANS

156 MLK Jr BLVD
MONROE, GA 30655
DRAWING INDEX

Drawing Index table with columns for drawing type (e.g., ARCHITECTURAL, STRUCTURAL), drawing number (e.g., T1.0, A9.0), and revision status.

onyx | creative
25001 Emory Road, Suite 400
Cleveland, Ohio 44198
216.233.3200 onyxcreative.com



Design and construction documents are prepared by onyx creative in accordance with the provisions of the Georgia Professional Engineers Act. The use of this design and these construction documents for purposes other than the specific project named herein is strictly prohibited without expressed written consent of Onyx Creative.



FUSION / SIDE LOT / PET WASH / PET VET
COMBO PROJECT
STORE #1151
156 MLK, JR BLVD
MONROE, GA 30655

Project No: 18264
Drawn By:
Date: 12-21-20 Issue: BDP/PMIT

CHANGE ORDER POLICY

TRACTOR SUPPLY COMPANY SHALL NOT BE RESPONSIBLE FOR THE PAYMENT OF ANY WORK PERFORMED OR MATERIAL SUPPLIED BY THE CONTRACTOR OR ANY OF ITS SUB-CONTRACTORS, SUB-SUBCONTRACTORS AND ANYONE CLAIMING BY THROUGH OR UNDER ANY OF THEM WHICH IS NOT IDENTIFIED IN WRITING AND SIGNED BY ONE OF THE FOLLOWING TRACTOR SUPPLY COMPANY PERSONNEL: VICE PRESIDENT OF REAL ESTATE, VICE PRESIDENT OF CONSTRUCTION, OR A CONSTRUCTION PROJECT MANAGER. NO ACTION, CONDUCT, OMISSION, PRIOR FAILURE, OR COURSE OF DEALING BY TRACTOR SUPPLY COMPANY SHALL ACT TO WAIVE, MODIFY, CHANGE OR ALTER THE REQUIREMENT THAT ALL WORK, WHETHER BY CONTRACT, CHANGE ORDER OR CHANGE DIRECTIVE, MUST BE IN WRITING AND SIGNED BY THE PERSONNEL IDENTIFIED IN THIS PROVISION. ANY WORK PERFORMED OR MATERIAL PROVIDED BY THE CONTRACTOR, ANY OF ITS SUB-CONTRACTORS, SUB-SUBCONTRACTORS CONTRARY TO THIS PROVISION SHALL BE AT ITS OWN RISK AND OWN EXPENSE AND TRACTOR SUPPLY COMPANY SHALL NOT BE OBLIGATED TO REIMBURSE OR PAY THE CONTRACTOR OR ANY OF ITS SUB-CONTRACTORS, SUB-SUBCONTRACTORS FOR SAME.

T1.0

COVER SHEET

onyx | creative
25001 Emory Road, Suite 400
Cleveland, Ohio 44128
216.233.3200 onyxcreative.com



Design and construction documents are the property of Onyx Creative. The use of this design and these construction documents for purposes other than the specific project named herein is strictly prohibited without expressed written consent of Onyx Creative.

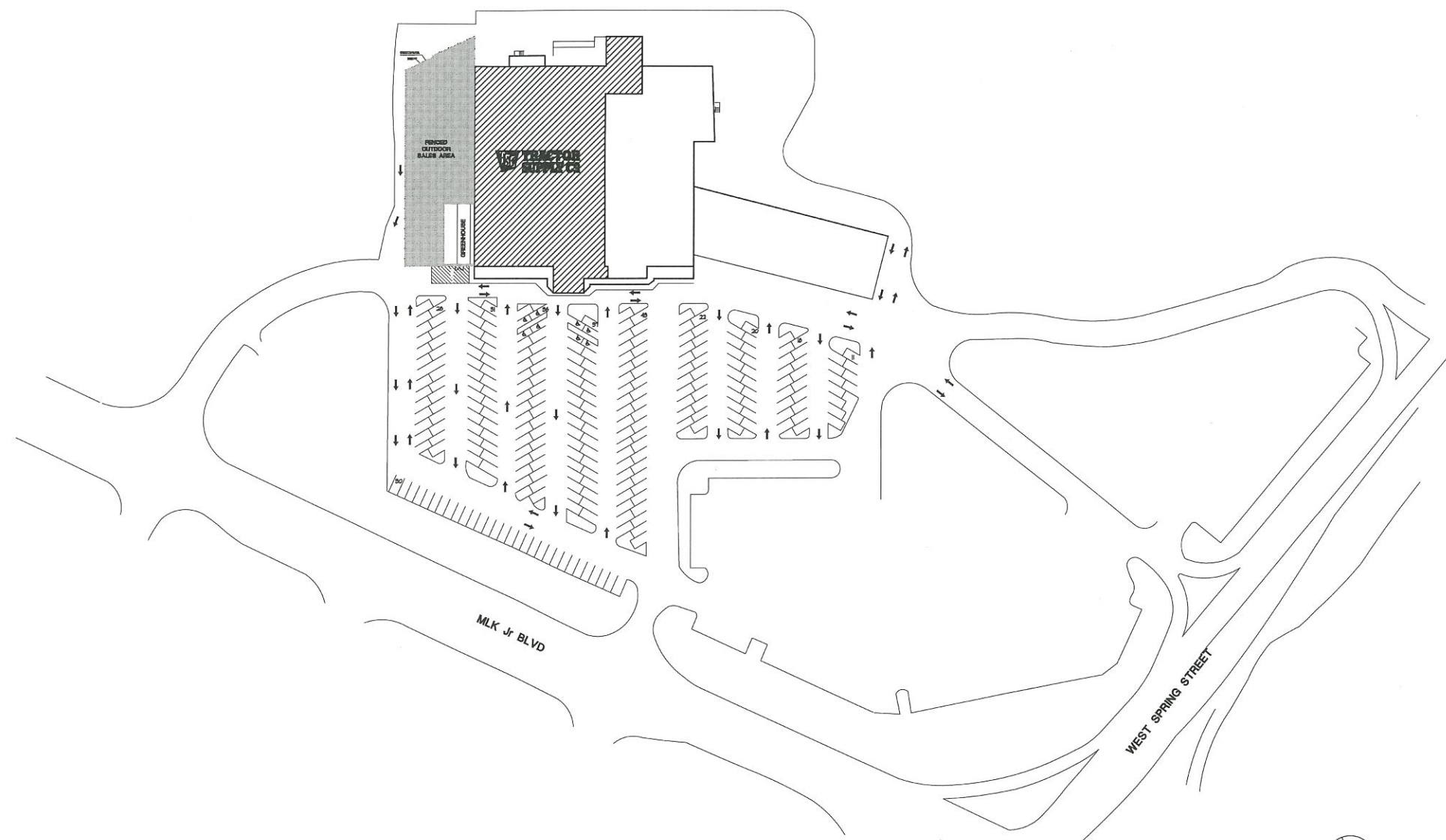


FUSION / SIDE LOT / PET WASH / PET VET
COMBO PROJECT
STORE #1181
156 MLK, JR BLVD
MONROE, GA 30655

Project No: 10254
Drawn By:
Date: 12-21-20 Issue: BD/PERMIT

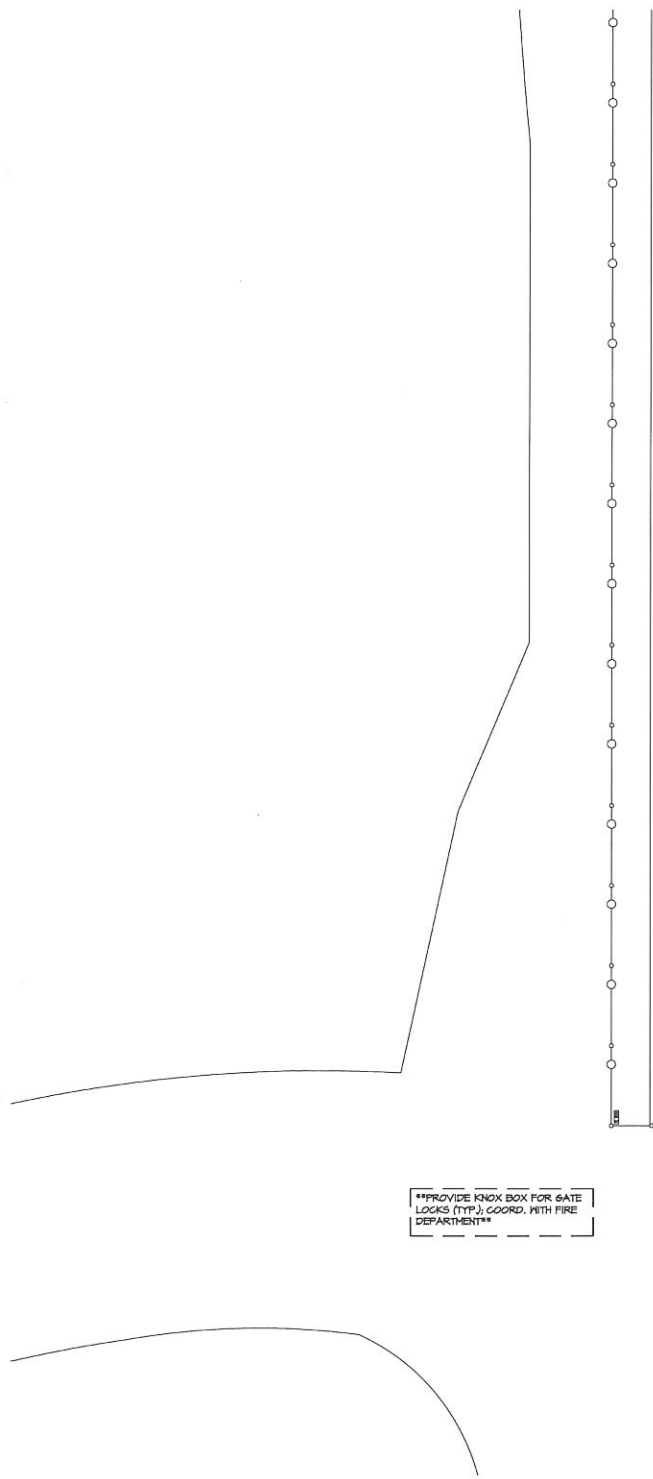
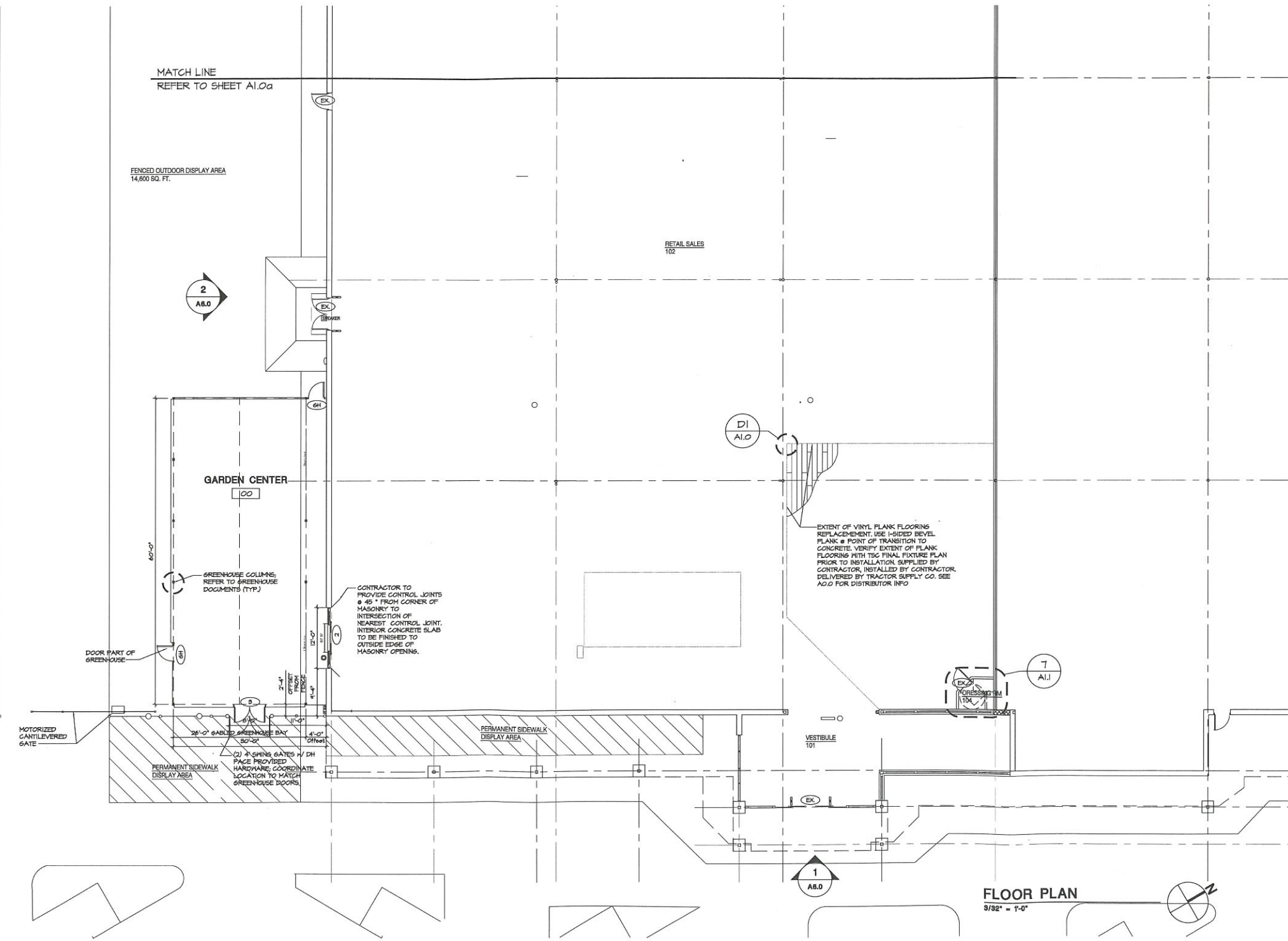
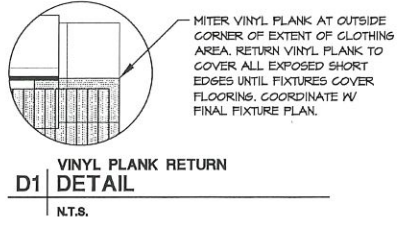
AS1.0

SITE PLAN

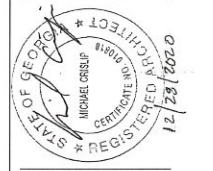


SITE PLAN
1" = 1/64"





onyx | creative
25001 Emory Road, Suite 400
Cleveland, Ohio 44128
216.233.3200 onyxcreative.com



Design and construction documents are prepared by onyx creative and remain the property of Onyx Creative. The use of this design and these construction documents for purposes other than the specific project named herein is strictly prohibited without expressed written consent of Onyx Creative.



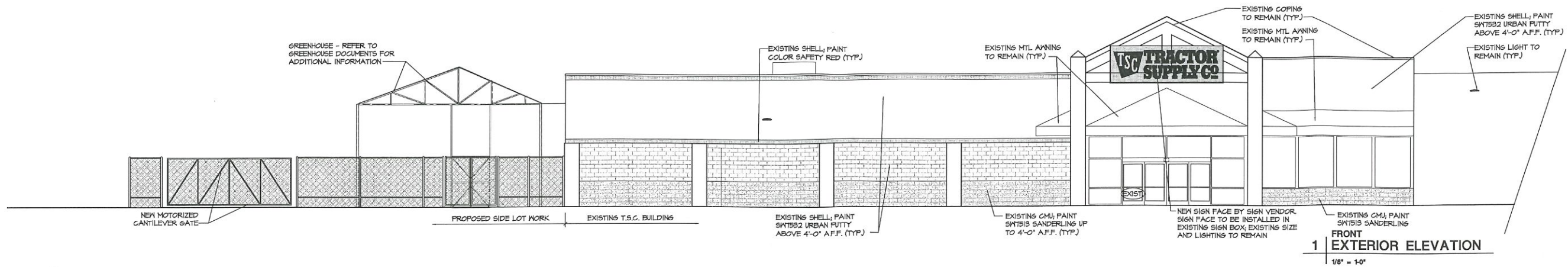
FUSION / SIDE LOT / PET WASH / PET VET
COMBO PROJECT
STORE #1131
156 M.L.K. JR. BLVD
MONROE, GA 30655

Project No: 8254
Drawn By:
Date Issue
12-21-20 BID/FERMIT

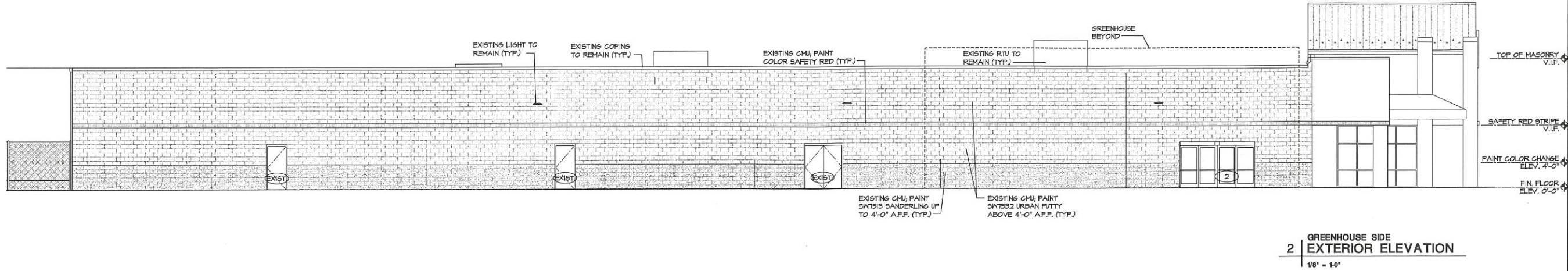
A1.0

FLOOR PLAN

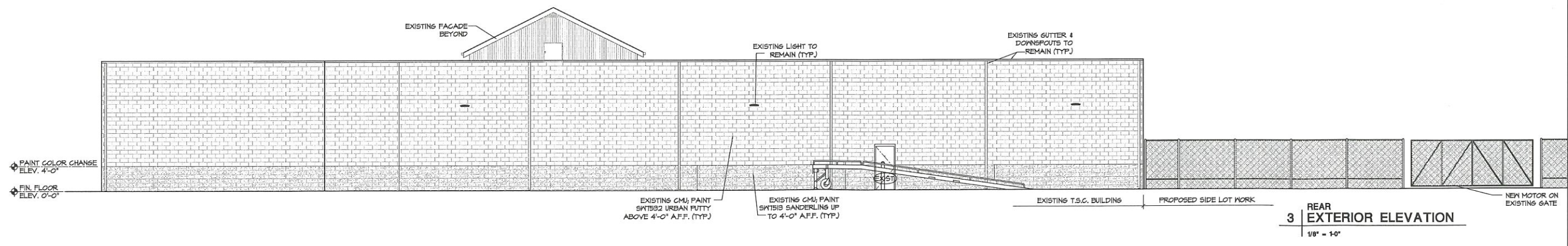
FLOOR PLAN
3/32" = 1'-0"



1 FRONT EXTERIOR ELEVATION
1/8" = 1'-0"

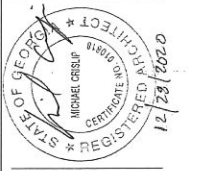


2 GREENHOUSE SIDE EXTERIOR ELEVATION
1/8" = 1'-0"



3 REAR EXTERIOR ELEVATION
1/8" = 1'-0"

onyx|creative
25001 Emory Road, Suite 400
216.223.3200 onyxcreative.com



Design and construction documents are prepared as a service to the client and are the property of Onyx Creative. The use of this design and these construction documents for purposes other than the specific project named herein is strictly prohibited without expressed written consent of Onyx Creative.



FUSION / SIDE LOT / PET WASH / PET VET
COMBO PROJECT
STORE #1131
156 M.L.K. JR BLVD
MONROE, GA 30655

Project No:	18254
Drawn By:	
Date	Issue
12-21-20	BID/PERMIT

A6.0

EXTERIOR ELEVATIONS

DESIGN CRITERIA

1. APPLICABLE CODES:

- A. 2020 GEORGIA STATE BUILDING CODE (2018 INTERNATIONAL BUILDING CODE)
- B. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7-16)
- C. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-16)
- D. STEEL CONSTRUCTION MANUAL, 14TH EDITION (AISC 325-11)
- E. SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AISC 360-11)
- F. AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE (D1.1-04)

2. LIVE LOAD:

- A. ROOF LOAD: 20 PSF
- B. SECOND FLOOR LOAD: 40 PSF

3. DEAD LOAD:

- A. ROOF FLOOR: 10 PSF
- B. SECOND FLOOR: 55 PSF

4. OCCUPANCY CATEGORY: II

5. SNOW LOAD:

- A. GROUND SNOW LOAD: 5 PSF
- B. IMPORTANCE FACTOR: 1.0
- C. SNOW EXPOSURE FACTOR: 0.90
- D. THERMAL FACTOR: 1.00

6. WIND LOAD:

- A. BASIC DESIGN WIND VELOCITY: 99 MPH
- B. INTERNAL PRESSURE COEFFICIENTS: +/- 0.18
- C. WALL PRESSURE: 21.3 PSF
- D. UPLIFT: 18.3 PSF

7. SEISMIC LOAD:

- A. DESIGN METHOD - EQUIVALENT LATERAL FORCE PROCEDURE
- B. Ss - 0.193g
- C. S1 - 0.085g
- D. Sds - 0.206g
- E. Sd1 - 0.137g
- F. IMPORTANCE FACTOR: 1.0
- G. SITE CLASS: C
- H. BUILDING USE: C
- I. SEISMIC RESPONSE COEFFICIENT: 0.090
- J. SEISMIC FORCE RESISTING SYSTEM - ORDINARY STEEL FRAME
- K. RESPONSE MODIFICATION COEFFICIENT: 3.5
- L. DEFLECTION AMPLIFICATION FACTOR: 3.5

8. FUTURE LOADS:

- A. UNLESS SPECIFICALLY NOTED, THERE ARE NO PROVISION MADE FOR FUTURE FLOOR, ROOF, OR OTHER LOADS.

SLAB-ON-GRADE (IND)

A. CONCRETE SLABS TO BE 3000 PSI.

B. CONCRETE SLAB CONTROL JOINTS SHALL BE CUT INTO THE SLAB AT A DEPTH OF 1/3 TIMES THE THICKNESS OF THE SLAB FIBER FOR FIBER REINFORCED SLABS, 1/4 TIMES THE THICKNESS OF THE SLAB FOR ALL OTHER SLABS USING CONVENTIONAL WET-CUT SAW, AND 1/5 TIMES THE THICKNESS OF THE SLAB FOR ALL OTHER SLABS USING EARLY-ENTRY DRY-CUT SAW. SLAB SHALL BE SAWCUT WITHIN 4 HOURS OF CONCRETE PLACEMENT USING EARLY-ENTRY DRY-CUT SAW OR WITHIN 12 HOURS USING WET-CUT SAW. MAXIMUM SPACING OF INTERIOR SLAB CONTROL JOINTS, UNLESS NOTED OTHERWISE, SHALL BE 15'-0" (MAX.) IN EACH DIRECTION. CONSTRUCTION OF CONTROL JOINTS SHALL BE SUCH THAT THE AREA CONTAINED HAS A MAXIMUM RATIO OF LONG SIDE TO SHORT SIDE OF 1.5 TO 1.0 OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

C. SLAB CONSTRUCTION JOINTS SHALL BE USED IN PLACE OF CONTROL JOINTS WHERE NEEDED TO INTERRUPT A CONTINUOUS POUR. SLAB CONSTRUCTION JOINTS SHALL BE DOWELED.

D. PLACEMENT OF WELDED WIRE REINFORCEMENT IN SLAB, WHERE SPECIFIED, SHALL BE AT A CONSISTENT DEPTH OF 1 1/2" FROM T/SLAB. WELDED WIRE REINFORCEMENT SHALL BE PROPERLY CHAIRED ABOVE GRADE.

E. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR SLAB FINISHES, SLAB DEPRESSIONS, THICKENED SLABS (IN ADDITION TO THICKENED SLABS NOTED ON STRUCTURAL DRAWINGS), ELEVATIONS, AND ENCASED OR EMBEDDED ITEMS.

F. PLUMBING AND ELECTRICAL CONDUITS SHALL BE PLACED BELOW THE SLAB AND NOT WITHIN THE SLAB. VERTICAL PENETRATIONS ARE ALLOWED.

G. COLUMN BOX-OUTS SHALL BE USED TO ISOLATE AN ADEQUATE AREA AROUND COLUMN BASE PLATES TO PROVIDE FOR COLUMN PLACEMENT AND LEVELING. BOX-OUTS ARE TO BE CLEAN AND FREE OF DEBRIS TO TOP OF FOOTING PRIOR TO FILLING WITH CONCRETE.

CONCRETE NOTES:

MATERIALS:

1. THE MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED.

2. REINFORCING BARS SHALL BE DEFORMED STEEL AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60, UNLESS OTHERWISE SPECIFIED.

3. PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C150 TYPE II. PORTLAND CEMENT SHALL BE USED IN THE MANUFACTURE OF ALL CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS OR APPROVED BY THE ENGINEER. CONCRETE MIX DESIGN SHALL BE APPROVED BY THE DESIGN ENGINEER.

4. AGGREGATE, BOTH COARSE AND FINE, USED IN THE MANUFACTURE OF CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C33. THE MAXIMUM COARSE AGGREGATE SIZE SHALL BE 1-1/2 INCHES.

5. ANCHOR BOLTS TO BE ASTM F1554 GR 55. ALL BOLTS TO BE HEADED.

6. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SPLICED BY LAPPING THE ENDS IN CONFORMANCE WITH ACI 318

CONCRETE PLACEMENT AND FINISHING

1. CONTRACTOR SHALL COORDINATE CONCRETE WORK WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR AND ITEMS EMBEDDED IN CONCRETE, BEFORE THE CONCRETE IS PLACED.

2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION BEGINNING. ALL INTERFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO WORK COMMENCING.

3. CONCRETE SHALL NOT BE PLACED BEFORE FORMWORK HAS BEEN COMPLETED; SNOW, ICE, DEBRIS, AND WATER HAVE BEEN REMOVED; REINFORCEMENT HAS BEEN SECURED IN PLACE; EXPANSION JOINT MATERIAL, ANCHORS, MOISTURE BARRIERS, WATERSTOPS AND OTHER EMBEDDED ITEMS HAVE BEEN POSITIONED; AND THE ENTIRE PREPARATION HAS BEEN INSPECTED AND APPROVED.

4. CONCRETE SHALL NOT BE PLACED:

- A. ON FROZEN SUBGRADE OR ON ONE THAT CONTAINS FROZEN MATERIAL
- B. IN STANDING WATER ON SUBGRADE OR IN EXCAVATIONS.
- C. ON SOILS THAT HAVE BEEN DISTURBED BY RAINFALL OR SEEPAGE. IF THE BEARING SOIL HAS BEEN SOFTENED BY SURFACE WATER INTRUSION DURING EXPOSURE, THE UNSUITABLE SOILS SHALL BE REMOVED AND REPLACED.

5. CONCRETE PLACED IN COLD WEATHER SHALL CONFORM TO ACI 306.1

6. CONCRETE PLACED IN HOT WEATHER SHALL CONFORM TO ACI 305

7. CONCRETE COVERAGE SHALL BE AS FOLLOWS:

- A. FORMED SURFACES FOR STRUCTURES NOT EXPOSED TO EARTH: 2 INCHES
- B. UNFORMED SURFACES EXPOSED TO EARTH: 3 INCHES.

REINFORCEMENT NOTES:

1. WELDING OF REINFORCING STEEL SHALL NOT BE PERFORMED UNLESS APPROVED BY THE DESIGN ENGINEER.

2. ALL BACKFILL AROUND THE FOUNDATION SHALL BE PERFORMED IN 6" LIFTS AND THOROUGHLY COMPACTED TO 95% PROCTER.

3. ALL EXPOSED CORNERS AND EDGES OF CONCRETE ABOVE GROUND SHALL BE CHAMFERED 3/4" AT 45 DEGREES, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

4. ANY DISCREPANCIES, INTERFERENCES OR NONCONSTRUCTIBILITY FOUND BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.

5. EMBEDMENT PLACEMENT TOLERANCES:

- A. BEARING PLATE INSERTS: PLUS OR MINUS 1/8 INCH.

FINISHES:

BUILDING FLOOR SLABS: MACHINE TROWLED F#35 & F#25 (LOCAL MIN. F#20 & F#15)
FOUNDATION AND SURFACE TO BE GROUTED; ROUGH
EXPOSED WALLS AND SLAB EDGES: POINT AND RUB SMOOTH
WALKS AND RAMPS: LIGHT BROOM

FOUNDATION:

1. FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF.

2. THE SUBGRADE AND UNDERFLOOR FILL SHALL BE PREPARED TO A POINT THAT EXTENDS 3'-0" MINIMUM BEYOND THE LIMITS OF THE FOUNDATION.

3. MINIMUM SUBGRADE PREPARATION REQUIREMENTS ARE AS FOLLOWS: COMPACT ALL FILL UNDER BUILDING TO 95% MAXIMUM DRY DENSITY, AND TOP 12" OF SUBGRADE TO 98% AS DETERMINED BY ASTM D698. PLACE IN LAYERS OF 8" MAXIMUM LOOSE THICKNESS. VERIFY FIELD DENSITY, ASTM D1556, WITH AT LEAST ONE TEST PER 2,000 SQUARE FEET PER LAYER. SEE SPECIFICATIONS FOR OTHER TESTING REQUIREMENTS.

4. UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER. CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS OF ALL SUCH CONDITIONS PRIOR TO CONSTRUCTION.

5. ALL BASEPLATES SHALL BE GROUTED

6. GROUT TO BE NON SHRINK FIVE STAR GROUT OR APPROVED EQUIVALENT

7. ALL ANCHOR BOLTS TO BE ASTM F1554 GR. 55.

STRUCTURAL STEEL NOTES:

MATERIALS AND CONSTRUCTION

ALL MATERIALS SHALL BE AS INDICATED BELOW UNLESS NOTED OTHERWISE ON DESIGN DRAWINGS.

1. **STRUCTURAL STEEL**
EXPOSED CARBON STEEL SHALL BE FINISHED TO OWNER'S SPECIFICATION.
A. HSS SHAPES: ASTM A500, GRADE B (Fy= 46 KSI)
B. OTHER ROLLED SHAPES AND PLATES: ASTM A992 (Fy= 50 KSI MIN.)

2. **BOLTS, NUTS, WASHERS, AND ROD (UNO)**
A. STRUCTURAL BOLTS: ASTM A325; ALL NUTS, BOLTS, AND WASHERS TO BE GALVANIZED

B. THREADED ROD: ASTM A193 GRADE B7 (FU= 125KSI)
C. NUTS: ASTM A563 HEAVY HEX GRADE DH
D. WASHERS: ASTM F436
E. ALL BOLTED CONNECTIONS SHALL HAVE DIRECT TENSION, INDICATING WASHER BY APPLIED BOLTING OR APPROVED EQUIVALENT.

3. **GRATING**
A. ALL STEEL GRATING SHALL BE WELDED TYPE W-19-4 STEEL GRATING WITH 1 1/4" X 1/8" BEARING BARS AS MANUFACTURED BY GRATING PACIFIC INC. OR APPROVED EQUAL.
B. ALL STEEL GRATING SHALL BE HOT DIPPED GALVANIZED
C. ALL GRATING SHALL BE FULLY BANDED.

4. **WELDING ELECTRODES**
A. UTILIZE E70XX ELECTRODES IN ACCORDANCE WITH AWS D1.1
B. ALL FILLET WELDS SHALL BE 1/4" OR THE MAXIMUM ALLOWABLE SIZE FOR THE MEMBERS BEING JOINED UNLESS NOTED OTHERWISE. ALL GROOVE WELDS SHALL BE COMPLETE JOINT PENETRATION WELDS UNLESS NOTED OTHERWISE.

5. UNLESS SPECIFICALLY NOTED ALL STRUCTURAL CONNECTIONS SHALL BE DESIGNED AS BEARING TYPE CONNECTIONS ABLE TO SUPPORT 1/2 THE ALLOWABLE LOAD OF THE BEAM. ALL SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION

6. SHOP PAINT TO BE FABRICATORS STANDARD RUST INHIBITIVE GRAY PRIMER AT AN AVERAGE OF 2 MILS DFT. FOR STRUCTURAL SHAPES PROVIDE SP 3 POWER TOOL CLEAN SURFACE PREPARATION

7. ALL STRUCTURAL SHAPES SHALL HAVE 5 MIL OF SHERWIN WILLIAMS ACROLOX 218 HS LIGHT GRAY OR APPROVED EQUAL.

8. ALL DECKING FOR ROOF TO BE VULCRAFT 1.5 B 22

STRUCTURAL STABILITY

1. THE ERECTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURES DURING ERECTION. THE ERECTED STEEL SHALL BE ADEQUATELY BRACED TO RESIST DEAD, ERECTION, CONSTRUCTION, AND WIND LOADS UNTIL IT IS PERMANENTLY CONNECTED AND IS SELF-SUPPORTING.

2. TEMPORARY SUPPORT OF STRUCTURAL STEEL FRAMES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 7.9 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

3. THE BRACING SHOWN ON THE DRAWINGS HAS BEEN DESIGNED TO PROVIDE A STABLE STRUCTURE UPON THE COMPLETION OF ERECTION. AS EACH LEVEL IS ERECTED, THE PERMANENT BRACING SHOWN ON THE ENGINEER'S DRAWINGS IN CONJUNCTION WITH THE FRAMING AT THAT LEVEL SHALL BE INSTALLED TO IMPROVE THE STABILITY OF THE PARTIALLY ERECTED STRUCTURE.

4. THE ERECTOR SHALL DESIGN AND INSTALL ALL ADDITIONAL TEMPORARY BRACING OR GUYING REQUIRED TO MEET LOADING IMPOSED DURING ERECTION, CONSISTENT WITH THE ERECTION SEQUENCE USED, OR REQUIRED AT THE END OF ANY WORK PERIOD TO ENSURE SAFE AND STABLE CONDITIONS. ADDITIONAL TEMPORARY BRACING OF THIS NATURE PROVIDED BY THE ERECTOR SHALL BE REVIEWED WITH THE ENGINEER. HOWEVER, THE ENGINEER'S REVIEW SHALL NOT RELIEVE THE ERECTOR FROM FULL RESPONSIBILITY FOR THE STABILITY OF THE STRUCTURE DURING ERECTION.

5. TEMPORARY STEEL BRACING AND ALIGNMENT CABLES INSTALLED PRIOR TO PERMANENT BRACING MAY BE REMOVED AFTER MAIN MEMBERS AND BRACING HAVE BEEN PERMANENTLY BOLTED. CARE SHOULD BE TAKEN IN WELDING COLUMNS TO BASEPLATES TO PREVENT DISTORTION OF THE PLATES.

6. THE STRUCTURE SHALL BE PLUMBED, LEVELED, AND BRACED BEFORE FINAL BOLTED OR WELDED CONNECTIONS ARE MADE.

FIELD CONNECTIONS AND ALIGNMENT

7. MAKE ALL FIELD CONNECTIONS AS DETAILED AND SPECIFIED ON THE FABRICATOR'S SHOP AND ERECTION DRAWINGS.

8. THE PROCEDURE TO BE FOLLOWED WHEN TIGHTENING HIGH-STRENGTH BOLTS AND THE CRITERIA FOR INSPECTING THE BOLTED CONNECTIONS THROUGHOUT THE STRUCTURE SHALL BE AS SPECIFIED HEREIN UNDER 3.8.3, BOLTING PROCEDURE AND 3.8.4, INSPECTION OF HIGH-STRENGTH BOLTED CONNECTIONS.

9. BOLTS OR NUTS WHOSE THREADS HAVE BEEN VISIBLY DISTORTED SHALL NOT BE USED. ASTM A490 BOLTS AND GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED. BOLTS WITH CORROSION PITTED THREADS SHALL NOT BE USED. MEASURES SHALL BE TAKEN TO PROTECT ALL BOLTS FROM CORROSION DURING ERECTION.

10. ATTACHMENTS TO CONCRETE SHALL BE MADE IN THE MANNER SHOWN ON THE DRAWINGS. WHERE DRILLED-IN ANCHORS ARE INDICATED ON THE DRAWINGS, ANCHORS SUCH AS KWIK-BOLTS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC., OR APPROVED EQUAL, SHALL BE USED. THE DRILLED-IN ANCHORS SHALL BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.

INSTALLATION

11. WHERE STRUCTURAL JOINTS ARE MADE USING HIGH-STRENGTH BOLT ASSEMBLIES, THE MATERIALS, METHODS OF INSTALLATION, TENSION CONTROL, TYPES OF WRENCHES TO BE USED, AND INSPECTION METHODS SHALL CONFORM TO THE AISC SPECIFICATION AND SECTION 8 OF THE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

BOLTING PROCEDURE

12. STEEL, PRIOR TO BOLTING, SHALL BE INSPECTED TO SEE THAT THE SURFACES ARE IN CLOSE CONTACT AND THAT THE AREAS ARE FREE FROM BURRS.

13. WELDING OF OR TO HIGH-STRENGTH BOLTS IS PROHIBITED.

14. ALL JOINT SURFACES, INCLUDING THOSE ADJACENT TO THE BOLT HEADS, NUTS OR WASHERS, SHALL BE INSPECTED PRIOR TO BOLTING TO SEE THAT THE FAYING SURFACES ARE IN CLOSE CONTACT AND ARE FREE FROM BURRS, DIRT AND OTHER FOREIGN MATERIALS THAT WOULD PREVENT SOLID SEATING OF PARTS.

15. WHEN CONNECTIONS REQUIRE NEW HOLES IN EXISTING STEEL, THE HOLES SHALL BE DRILLED OR PUNCHED AND REAMED AND THE DIAMETER OF THE BOLT HOLES SHALL BE 1/16 INCH GREATER THAN THE NOMINAL DIAMETER OF THE BOLT.

16. HIGH-STRENGTH BOLTS SHALL NEVER BE DRIVEN INTO THE HOLES. IF BOLTS DO NOT ENTER EASILY, HOLES SHALL BE ALIGNED BY FURTHER DRIFTING OR MODERATE REAMING. ANY BURRS SHALL BE REMOVED.

17. ALL EQUIPMENT USED FOR TIGHTENING BOLTS MUST BE IN GOOD CONDITION. FOR TIGHTENING 7/8 INCH OR SMALLER BOLTS, THE AIR PRESSURE AT THE POWER WRENCH, WHEN IT IS IN OPERATION, SHALL BE A MINIMUM OF 90 PSIG AND THE REQUIRED TIGHTENING OF BOLTS SHALL BE ACHIEVED IN APPROXIMATELY 10 SECONDS. FOR LARGER BOLTS, THE AIR PRESSURE SHALL BE AS RECOMMENDED FOR THE POWER WRENCHES USED, AND IT SHALL BE DEMONSTRATED THAT THE AIR PRESSURE IS ADEQUATE FOR SATISFACTORY TENSIONING OF BOLTS.

18. ALL BOLTS IN ANY CONNECTION SHALL BE INSTALLED WITH ALL NUTS ON THE SAME SIDE UNLESS INTERFERENCES WILL NOT PERMIT. FIELD CONNECTIONS IN OTHER THAN A VERTICAL PLANE SHALL BE INSTALLED WITH NUTS ON THE LOWER SIDE, EXCEPT FOR CONNECTIONS OF HORIZONTAL PLATFORM BRACING NOT SUBJECT TO STRESS REVERSAL OR WHERE SPACE RESTRICTIONS MAKE THIS IMPOSSIBLE.

19. IF USED, DIRECT TENSION INDICATION (DTI) WASHERS SHALL CONFORM TO ASTM F959 AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S PUBLISHED SPECIFICATIONS.

20. WHEN IMPACT WRENCHES ARE USED, WRENCHES OF ADEQUATE CAPACITY AND SUFFICIENT AIR SUPPLY SHALL BE PROVIDED TO PERFORM THE REQUIRED TIGHTENING OF EACH BOLT.

21. ALL BOLTS SHALL BE 7/8-INCH DIAMETER, A325 HIGH-STRENGTH BOLTS UNLESS OTHERWISE NOTED ON THE SHOP DRAWINGS, E REACTION DRAWINGS, ENGINEERING DESIGN DRAWINGS, OR ANY OTHER CONTRACT DOCUMENT.
22. MECHANICALLY GALVANIZED BOLTS AND NUTS SHALL NOT BE INTERMIXED WITH HOT DIP GALVANIZED NUTS AND BOLTS.

23. WHERE A307 BOLT ASSEMBLIES ARE USED FOR CONNECTING APPURTENANCES (I.E.: HANDRAIL ASSEMBLIES, PIPE SUPPORTS, GATES, ETC.) TO STRUCTURAL STEEL MEMBERS, THE BOLTS SHALL BE FULLY TIGHTENED.

24. A490 BOLTS AND GALVANIZED A325 BOLTS SHALL NOT BE REUSED AFTER HAVING BEEN FULLY TIGHTENED, NOR SHALL THEY BE USED AS FIT-UP BOLTS.

25. COLOR CODE, DIE PUNCH, OR OTHERWISE MARK THE ENDS OF TORQUED BOLTS INDICATING THAT THE BOLTS HAVE BEEN PROPERLY TENSIONED AND ARE READY FOR INSPECTION.

26. BOLTS WHICH ARE TO BE TIGHTENED ONLY TO A SNUG-TIGHT CONDITION WILL BE CLEARLY INDICATED ON THE DRAWINGS.

27. BOLTS TO BE TIGHTENED BY THE TURN-OF-THE-NUT METHOD SHALL ALL BE FIRST BROUGHT TO SNUG TIGHT CONDITION, IN A GIVEN CONNECTION, PROCEEDING FROM THE MOST RIGID PART OF THE CONNECTION TO THE FREE EDGE. AFTER ALL THE BOLTS ARE BROUGHT TO A SNUG TIGHT CONDITION, THE BOLTS SHALL BE TIGHTENED FURTHER IN A SIMILAR MANNER BY THE AMOUNT OF ROTATION SPECIFIED IN TABLE 5 OF THE RCSC SPECIFICATION. BOLTS WITH A METRIC THREAD AND/OR DIAMETER MAY NOT BE TIGHTENED BY THE TURN-OF-THE-NUT METHOD.

28. SIMILARLY, BOLTS TO BE TIGHTENED BY THE USE OF DTI WASHERS SHALL ALL BE BROUGHT TO A SNUG TIGHT CONDITION IN A GIVEN CONNECTION. FINAL TIGHTENING OF BOLTS SHALL FOLLOW THE INSTRUCTIONS OF THE MANUFACTURER OF THE DTI WASHERS. SPECIAL ATTENTION SHALL BE GIVEN TO PROPER INSTALLATION OF FLAT HARDENED WASHERS WHEN DIRECT DTI WASHERS ARE USED WITH BOLTS INSTALLED IN SLOTTED OR OVERSIZED HOLES AND ALSO WHEN THEY ARE USED UNDER THE TURNED ELEMENTS OF THE BOLTS.

TRACTOR SUPPLY CO.
156 MARTIN LUTHER KING JR BLVD
MONROE GA 30685

MERCHINEY GREENHOUSES
STRUCTURES + EQUIPMENT + COVERINGS

Merchiney, LLC
1000 W. Highway
Liberty, SC 29557
At rights reserved. The drawing is the property of Merchiney, LLC and may not be reproduced in any form without the written permission of Merchiney, LLC.

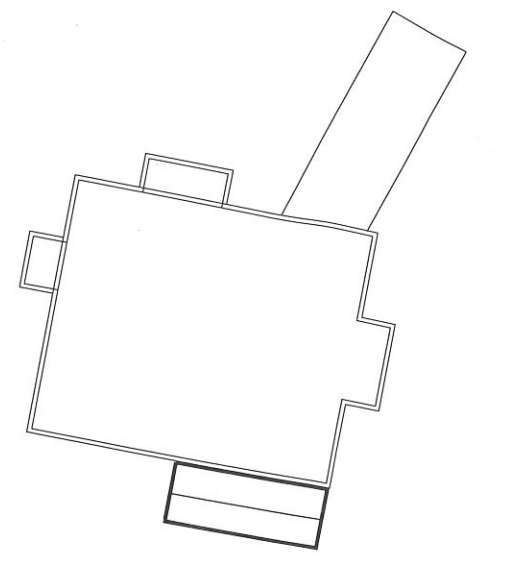
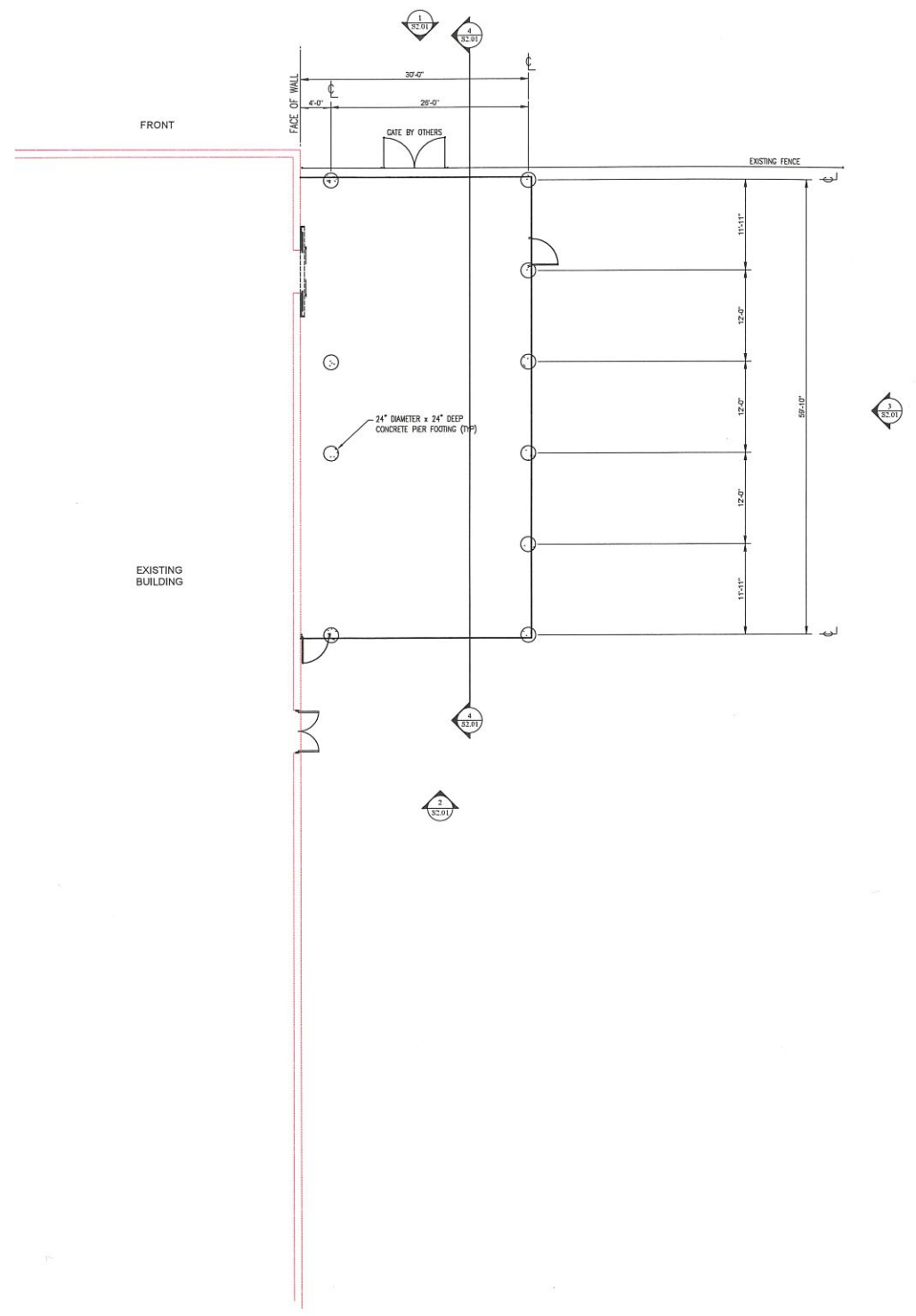
ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING

P.O. Box 28177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

Professional Engineer
FREDERICK F. ZUENDT

Drawing Title: GENERAL NOTES

Drawn By: CMB	Sheet: S0.01
Date: 2021.01.06	
Revised:	
Scale:	



KEY PLAN
N

CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS

DO NOT SCALE DRAWINGS



FOUNDATION PLAN
1/8"=1'-0"



TRACTOR SUPPLY CO.
156 MARTIN LUTHER KING JR BLVD
MONROE GA 30655

MERCHNEY GREENHOUSES
STRUCTURES + EQUIPMENT + COVERINGS

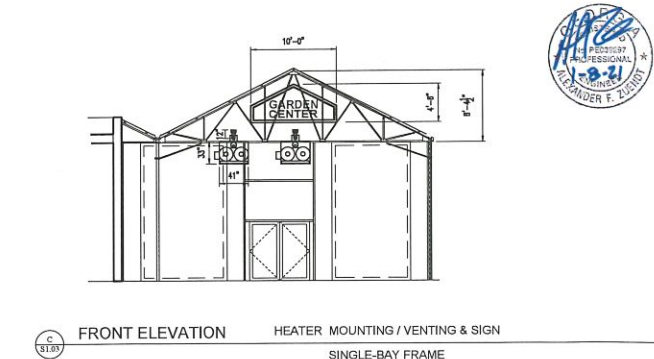
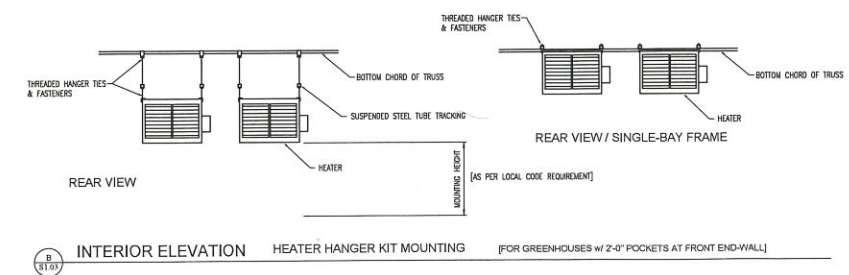
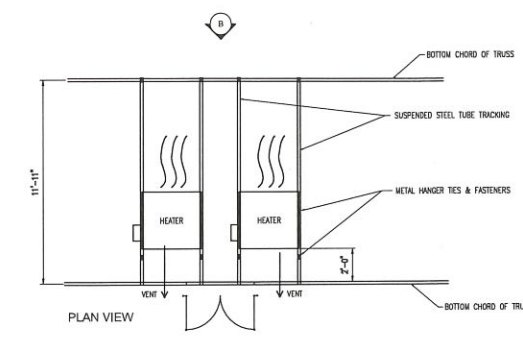
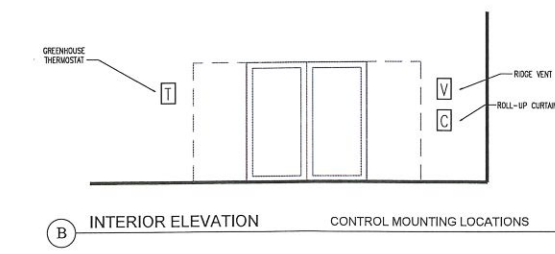
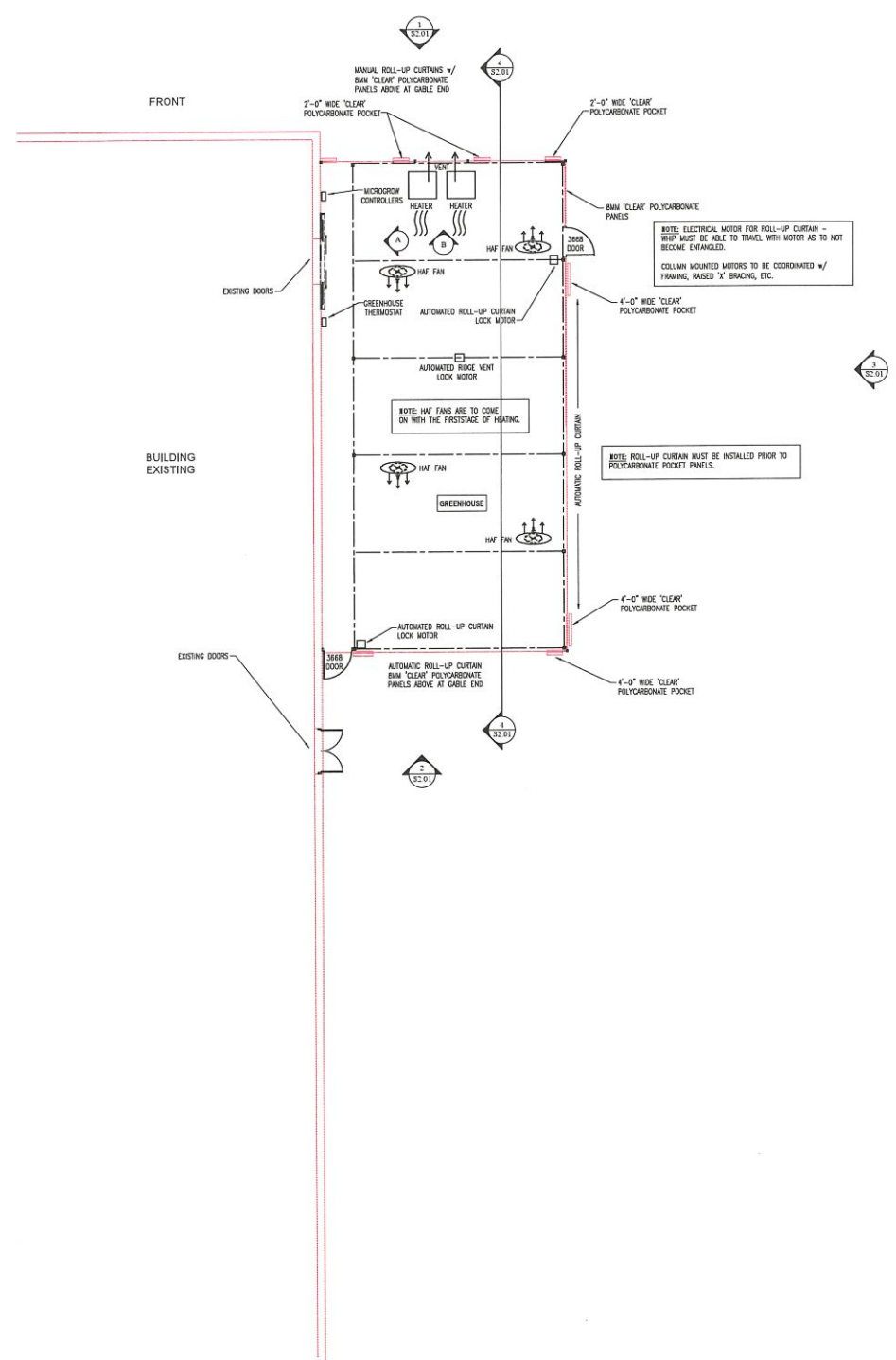
Merchney, LLC
7711 Liberty Highway
Liberty, SC 29667

All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING

P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

Drawing Title: FOUNDATION	
Drawn By: RGS	Sheet
Date: 2021.01.04	S1.01
Scale: 1/8" = 1'-0"	



1 FLOOR / EQUIPMENT PLAN
1/8"=1'-0"

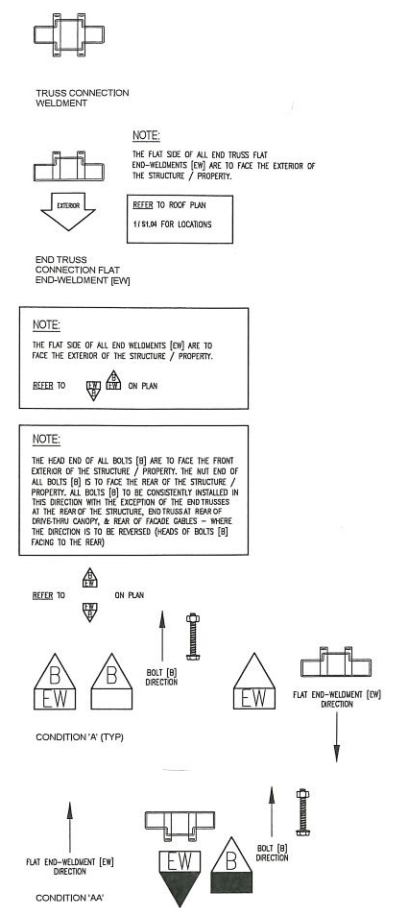
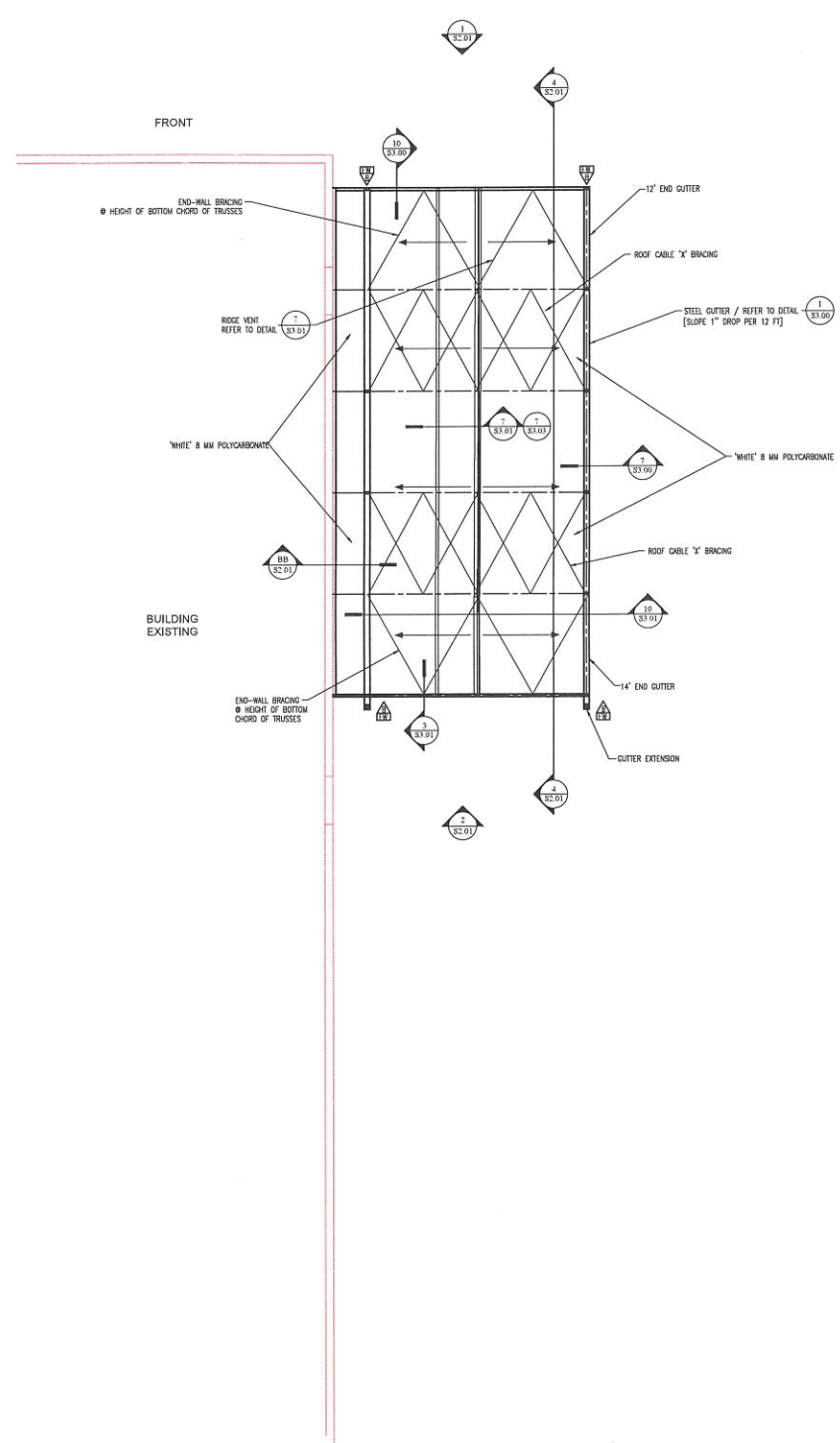


TRACTOR SUPPLY CO.
156 MARTIN LUTHER KING JR BLVD
MONROE GA 30655

MERCHNEY GREENHOUSES
STRUCTURES + EQUIPMENT + COVERINGS
Merchney, LLC
7711 Liberty Highway
Liberty, SC 29557
All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

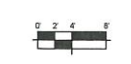
ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

Drawing Title: FLOOR / EQUIPMENT	
Drawn By: RGS	Sheet: S1.03
Date: 2021.01.04	
Scale: 1/8" = 1'-0"	



2 DETAIL

1 ROOF PLAN
1/8"=1'-0"



TRACTOR SUPPLY CO.
156 MARTIN LUTHER KING JR BLVD
MONROE GA 30655

MERCHNEY GREENHOUSES
STRUCTURES + EQUIPMENT + COVERINGS

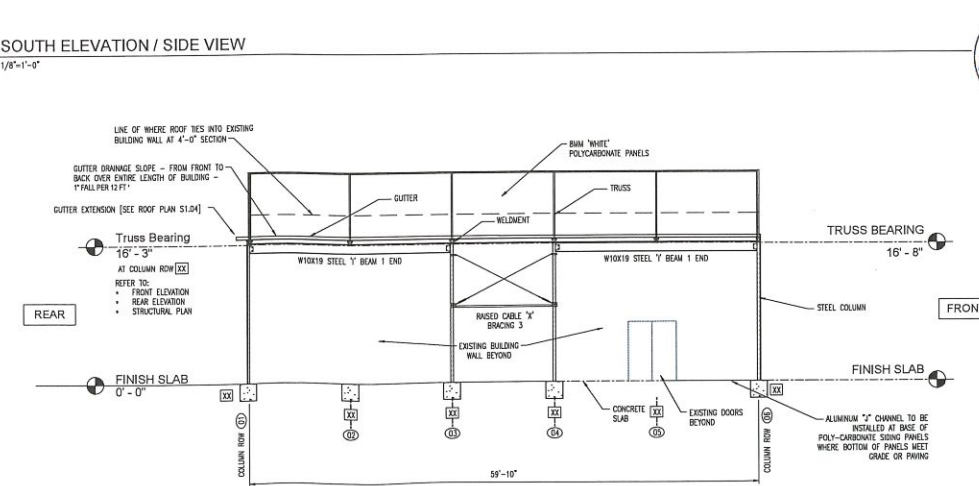
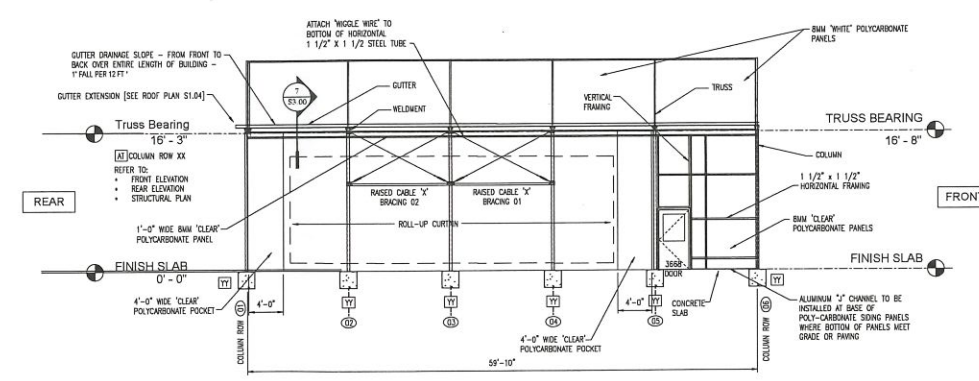
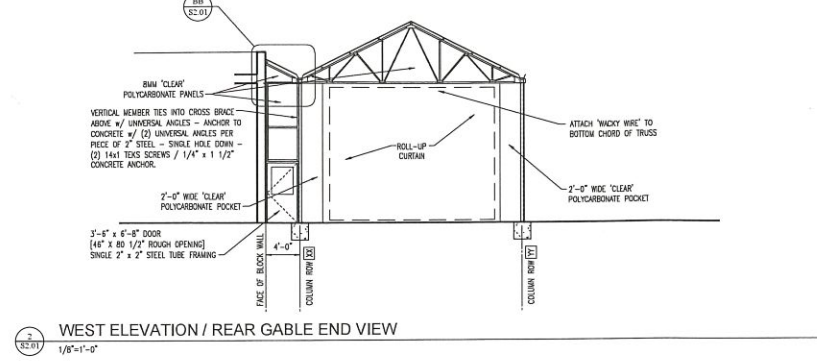
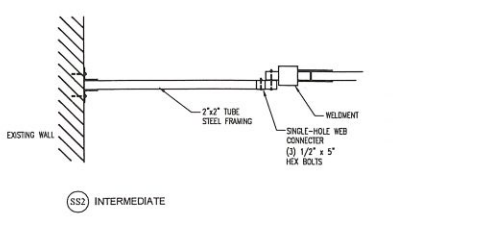
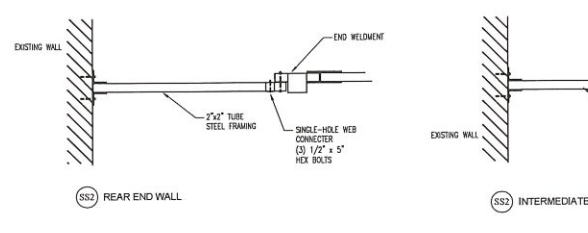
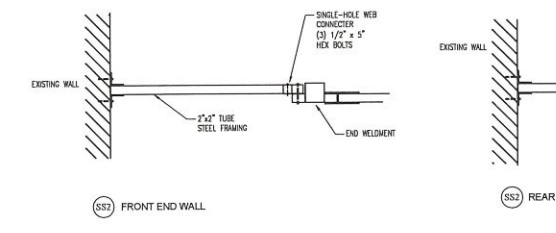
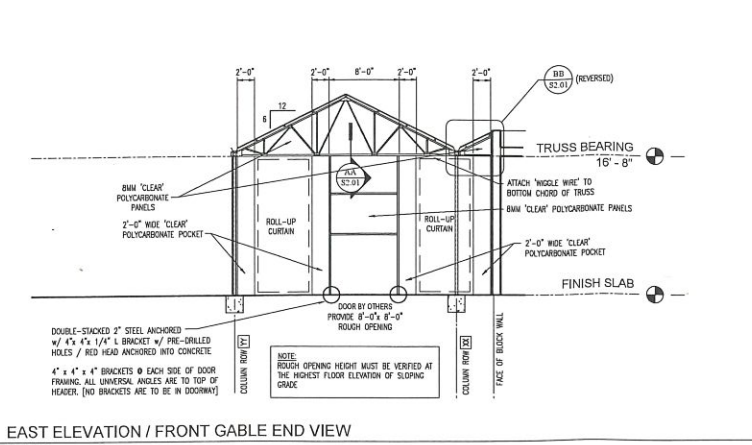
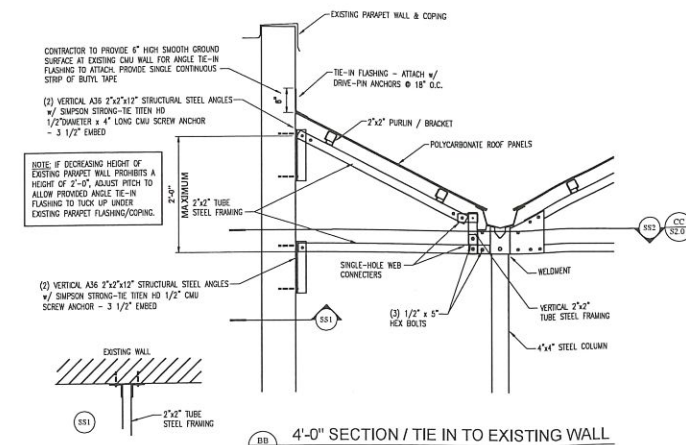
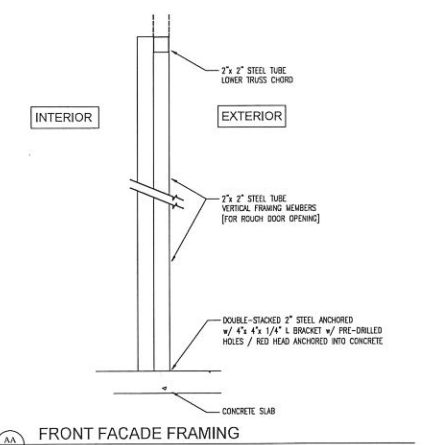
Merchney, LLC
7711 Liberty Highway
Liberty, SC 29557

All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING

P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

Drawing Title: ROOF	
Drawn By: RGS	Sheet
Date: 2021.01.04	S1.04
Revised:	
Scale: 1/8" = 1'-0"	



NOTE:
 TRUSS BEARING HEIGHT AT COLUMN XX-10 IS THE LEVEL (BOTTOM) OF THE BOTTOM CHORDS OF ALL TRUSSES. THIS LEVEL IS CONSISTENT - FROM COLUMN ROW XX TO YY AND FROM COLUMN ROW 01 TO 06

COLUMN HEIGHTS (STARTING COLUMN XX-01) FROM COLUMN ROW XX TO YY AND FROM COLUMN ROW 01 TO 06 ARE TO BE FIELD VERIFIED AND FIELD COORDINATED AS PER SLOPE OF GRADE AT SITE OF PROJECT.

THE ABOVE NOTE APPLIES TO ALL COLUMNS (20-22) AT BRNK-THRU CANOPY & FACADE BAYS.



TRACTOR SUPPLY CO.
 156 MARTIN LUTHER KING JR BLVD
 MONROE GA 30655

MERCHINEY GREENHOUSES
 STRUCTURES + EQUIPMENT + COVERINGS

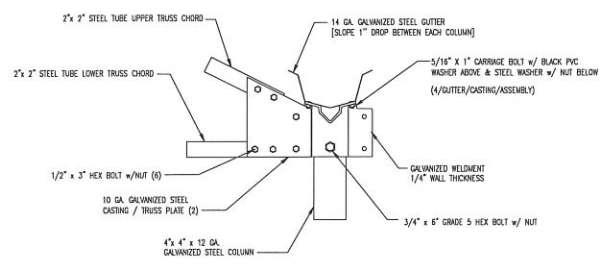
Merchiney, LLC
 7711 Liberty Highway
 Liberty, SC 29557

All rights reserved. This drawing is the property of Merchiney, LLC and may not be reproduced in any form without the written permission of Merchiney, LLC.

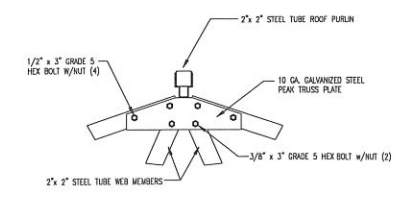
ZUENDT ENGINEERING
 CIVIL & STRUCTURAL ENGINEERING

P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

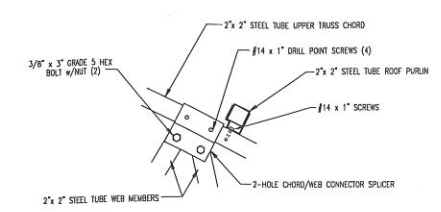
Drawing Title: ELEVATIONS	
Drawn By: RGS	Sheet: S2.01
Date: 2021.01.04	
Revised:	
Scale: 1/8" = 1'-0"	



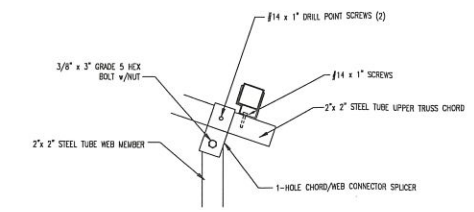
DETAIL 1
NOT TO SCALE



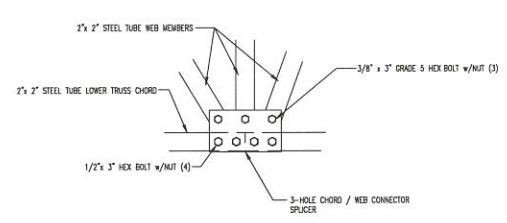
DETAIL 2
NOT TO SCALE



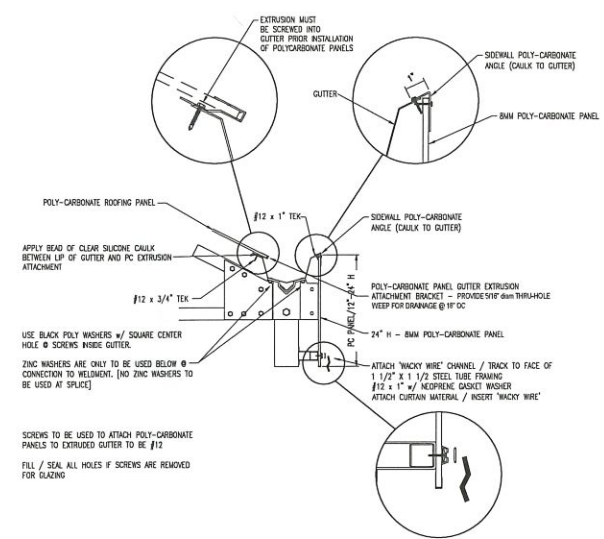
DETAIL 3
NOT TO SCALE



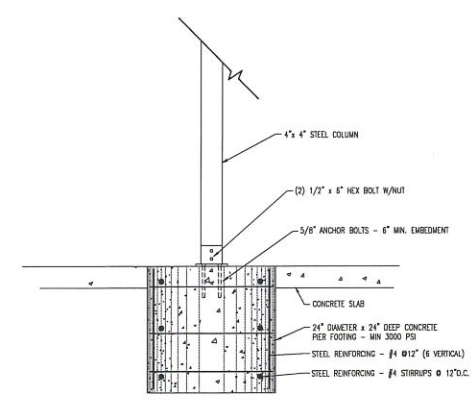
DETAIL 4
NOT TO SCALE



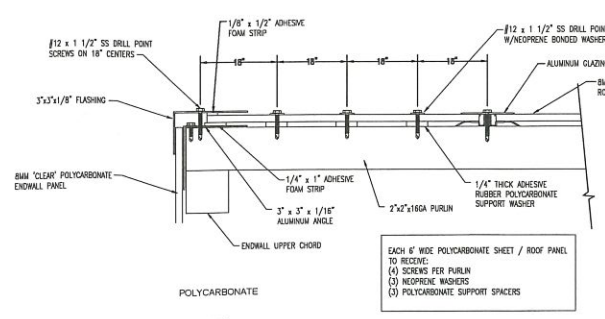
DETAIL 5
NOT TO SCALE



DETAIL 6
NOT TO SCALE



DETAIL 7
NOT TO SCALE



DETAIL 8
NOT TO SCALE

SQUARE TUBING PROPERTIES

Tube Size	Yield Strength (PSI)	Tensile Strength (PSI)
2" SQ. X 15 GA. GALV. STEEL TUBE	50,000	55,000
2-1/4" SQ. X 12 GA. GALV. STL. TB	50,000	55,000
4" SQ. X 13 GA. GALV. STEEL TUBE	50,000	55,000
ALL WEB CONNECTORS	10 GA. GALV. STEEL	
ALL PURLIN CLAMPS	12 GA. GALV. STEEL	
1/4" STEEL BRACE CABLE	7000 LB.	BREAK STRENGTH



TRACTOR SUPPLY CO.
156 MARTIN LUTHER KING JR. BLVD
MONROE GA 30655

MERCHNEY GREENHOUSES
STRUCTURES + EQUIPMENT + COVERINGS

Merchney, LLC
7711 Liberty Highway
Liberty, SC 29667

All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING

P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

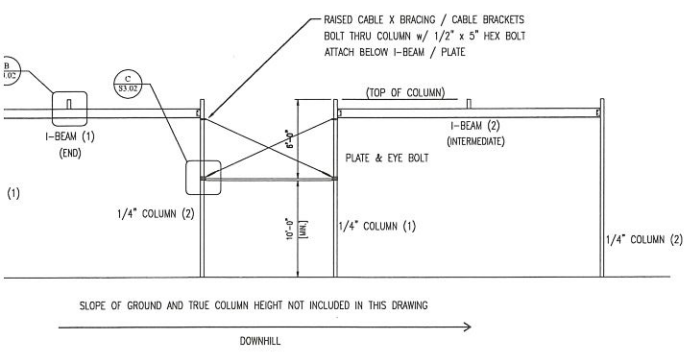
Drawing Title: **DETAILS**

Drawn By: **RGS** Sheet: **S3.00**

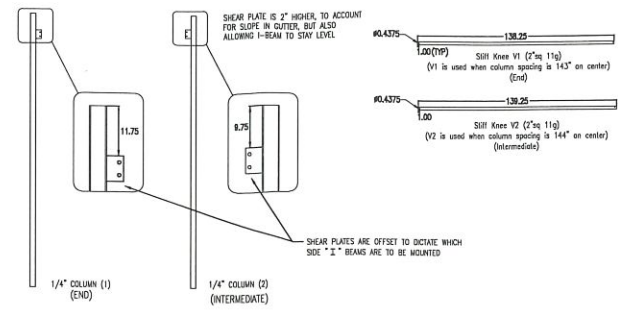
Date: 2021.01.04

Revised:

Scale: 1/8" = 1'-0"

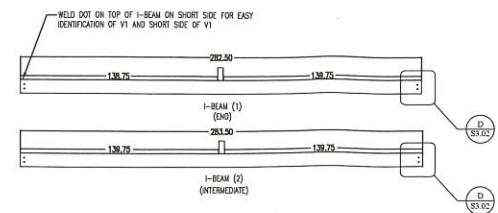


1
83.02

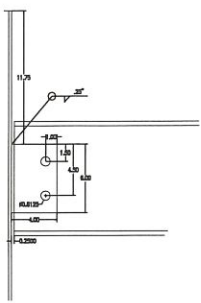


NOTE:
 (TYP) COLUMN: HSS4x4x1/2 GA
 COLUMNS SUPPORTING "I" BEAMS AT FOOT TRAFFIC AREAS
 ARE 1/4" THICKNESS
 REFER TO STRUCTURAL PLAN
 SHEETS 81.02 / 82.01 FOR LOCATIONS

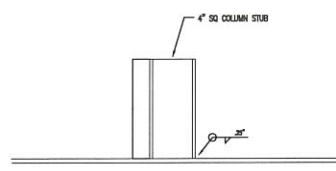
DETAIL
 NOT TO SCALE
 2
 83.02



DETAIL
 NOT TO SCALE
 3
 83.02

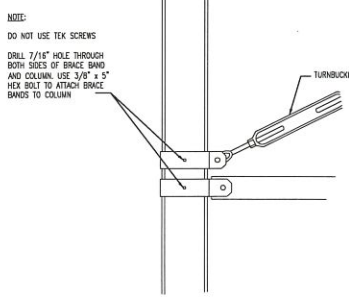


4
 83.02

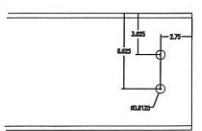


NOTE:
 MAKE SURE TO CUT EXTRA HOLE INTO BOTTOM CENTER OF
 COLUMN STUD FOR HOT GALVANIZING VENT.

DETAIL
 NOT TO SCALE
 B
 83.02

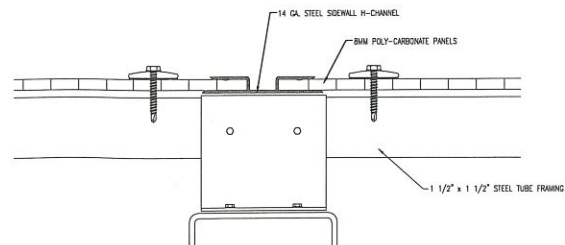


DETAIL
 NOT TO SCALE
 C
 83.02



NOTE:
 HOLE PATTERN IS TYPICAL FOR ENDS OF BOTH I-BEAMS

DETAIL
 NOT TO SCALE
 D
 83.02



END WALL / SIDEWALL H-CHANNEL

TRACTOR SUPPLY CO.
 156 MARTIN LUTHER KING JR BLVD
 MONROE GA 30655

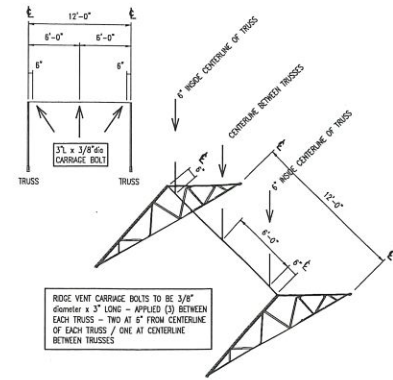
MERCHNEY GREENHOUSES
 STRUCTURES + EQUIPMENT + COVERINGS

Merchney, LLC
 7711 Liberty Highway
 Liberty, SC 29557

All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

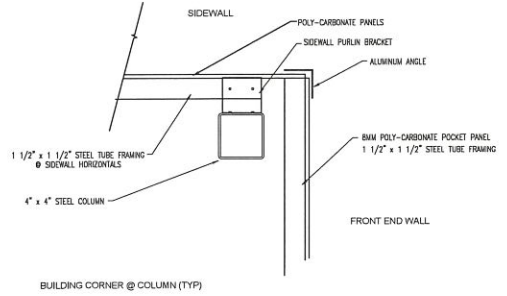
ZUENDT ENGINEERING
 CIVIL & STRUCTURAL ENGINEERING

P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

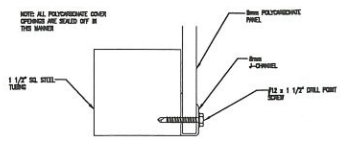


RIDGE VENT BOLT DIAGRAM

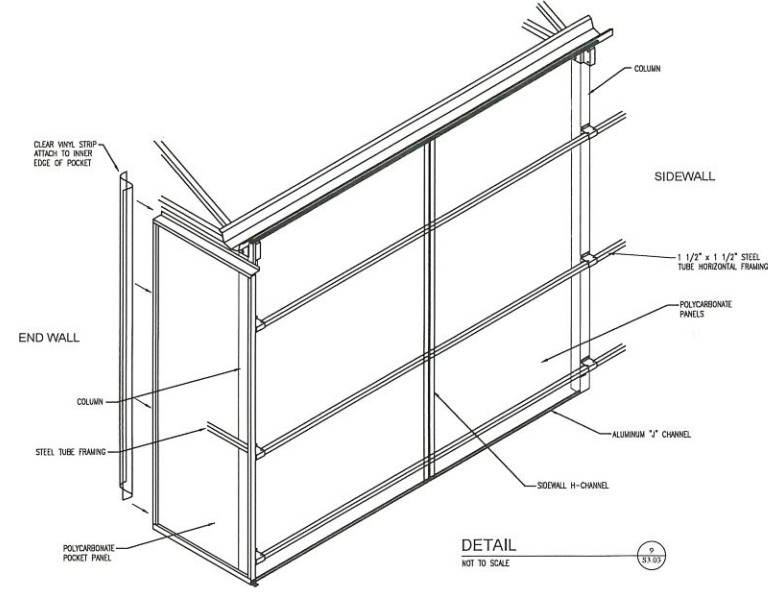
DETAIL NOT TO SCALE



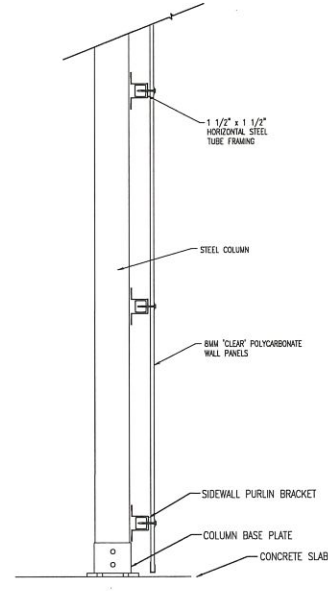
DETAIL NOT TO SCALE



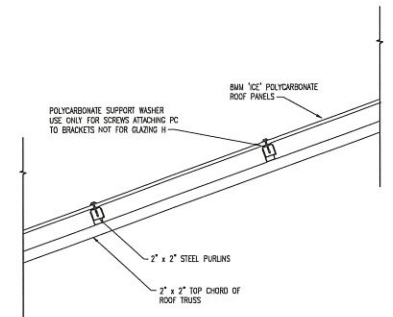
DETAIL NOT TO SCALE



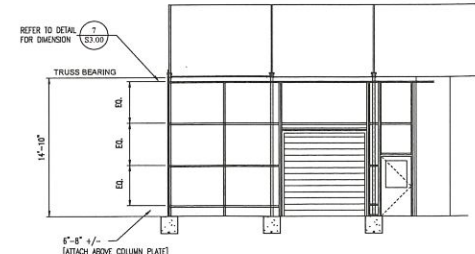
DETAIL NOT TO SCALE



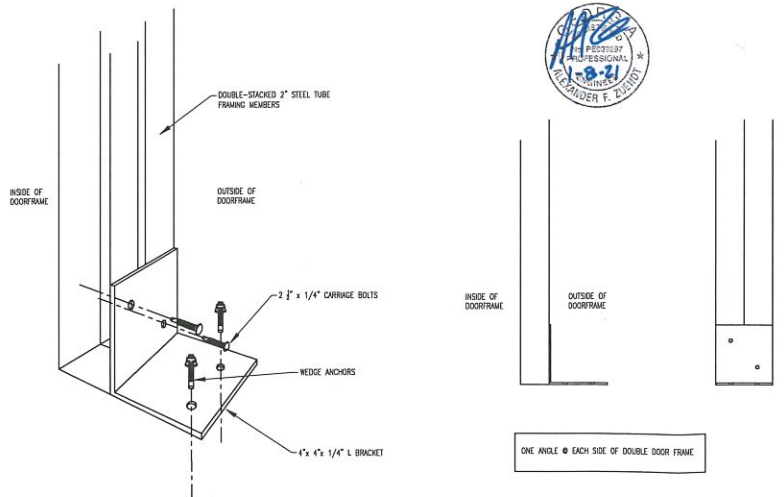
DETAIL NOT TO SCALE



DETAIL NOT TO SCALE



DETAIL NOT TO SCALE



DETAIL NOT TO SCALE

TRACTOR SUPPLY CO.
156 MARTIN LUTHER KING JR BLVD
MONROE GA 30655

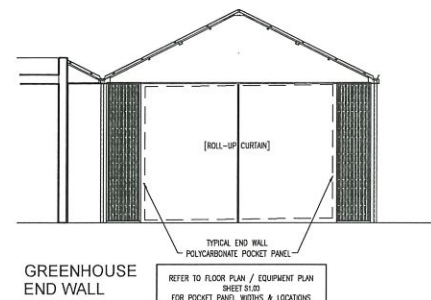
MERCHNEY GREENHOUSES
STRUCTURES + EQUIPMENT + COVERINGS

Merchney, LLC
1711 Liberty Highway
Liberty, SC 29567
All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

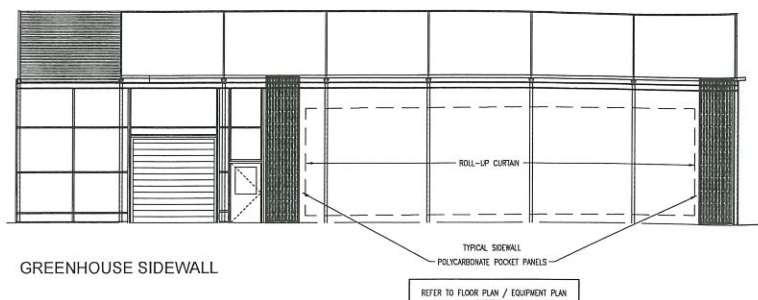
ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING

P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

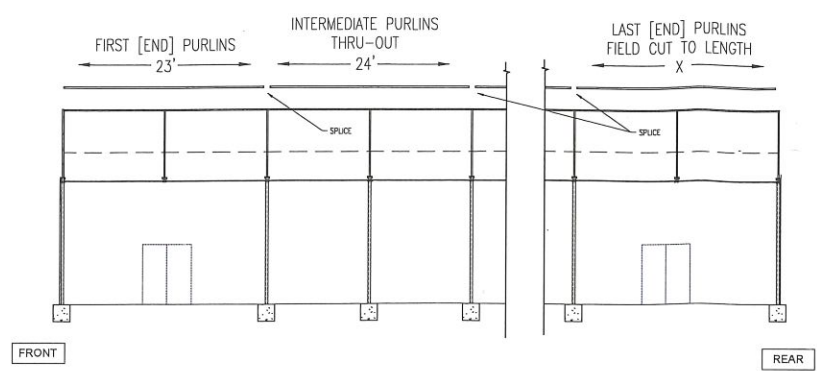
Drawing Title: DETAILS	
Drawn By: RGS	Sheet
Date: 2021.01.04	S3.03
Revised:	
Scale: 1/8" = 1'-0"	



GREENHOUSE END WALL
TYPICAL END WALL POLYCARBONATE POCKET PANEL
REFER TO FLOOR PLAN / EQUIPMENT PLAN SHEET S3.03 FOR POCKET PANEL WIDTHS & LOCATIONS

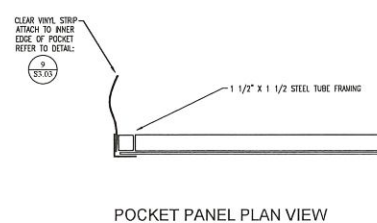


GREENHOUSE SIDEWALL
TYPICAL SIDEWALL POLYCARBONATE POCKET PANELS
REFER TO FLOOR PLAN / EQUIPMENT PLAN SHEET S3.03 FOR POCKET PANEL WIDTHS & LOCATIONS

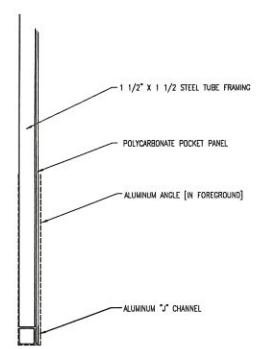


PURLIN LENGTH SEQUENCE - GREENHOUSE ONLY

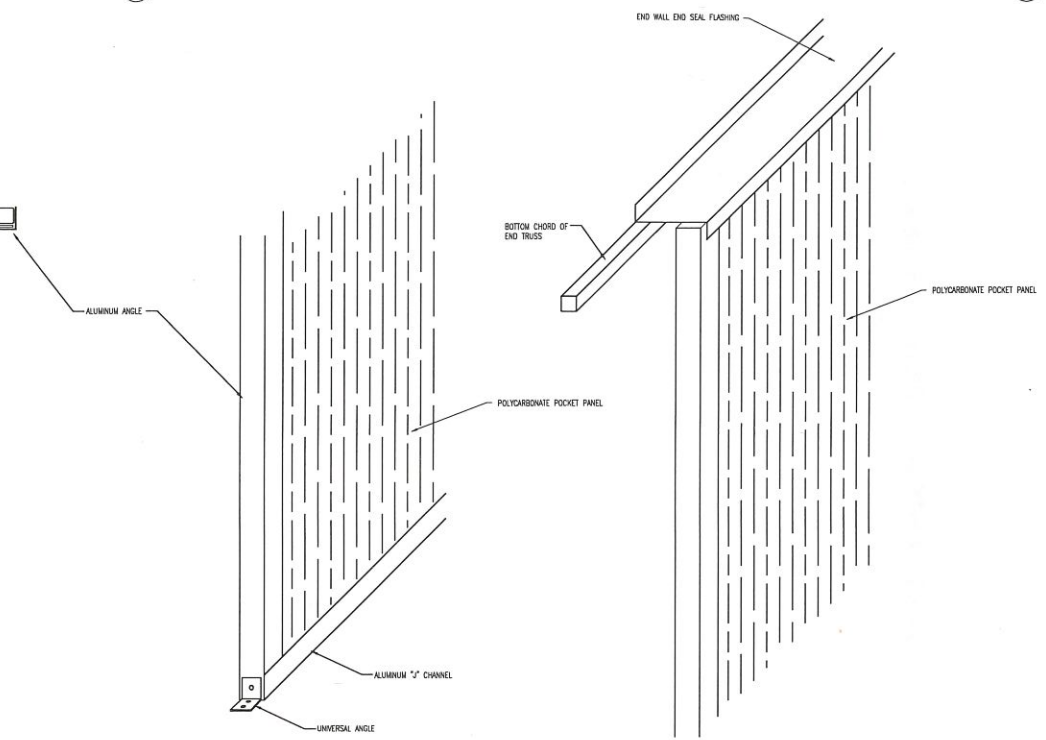
POCKETS / CURTAIN



POCKET PANEL PLAN VIEW

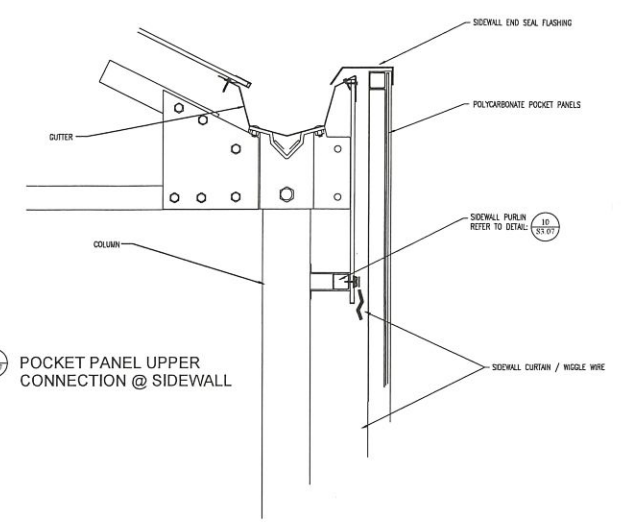


POCKET PANEL SIDE EDGE VIEW

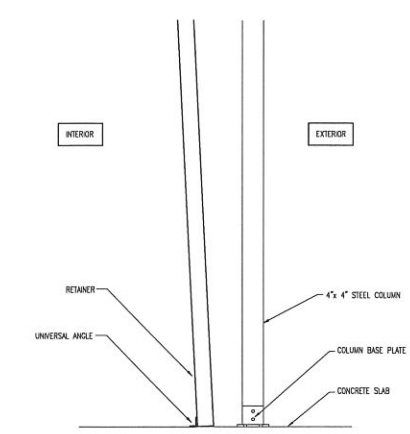


POCKET PANEL BASE CONNECTION @ CONCRETE SLAB

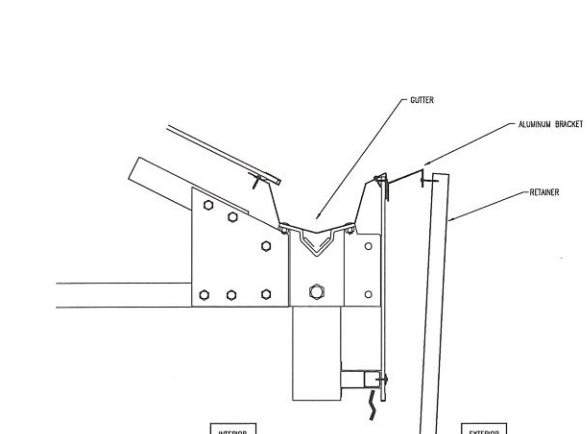
POCKET PANEL UPPER CONNECTION @ END WALL



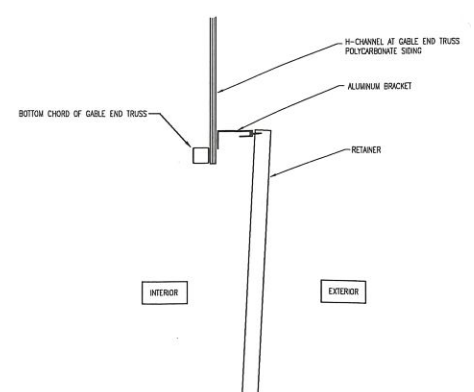
POCKET PANEL UPPER CONNECTION @ SIDEWALL



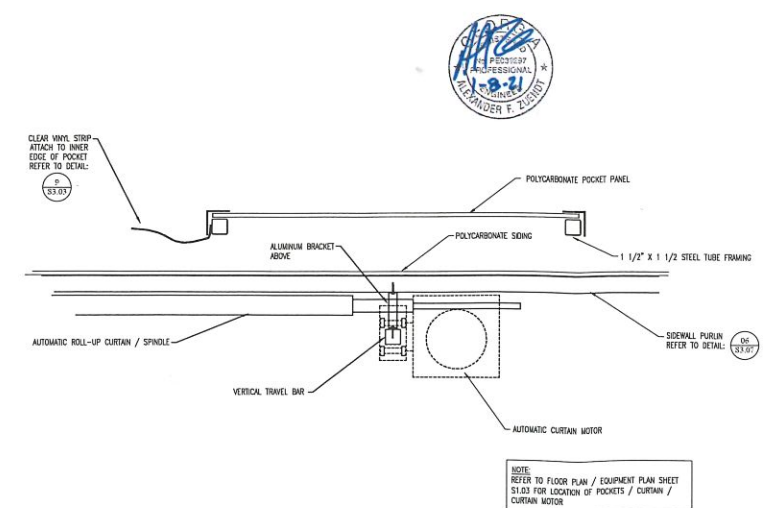
CURTAIN RETAINER BASE CONNECTION @ SIDEWALL



CURTAIN RETAINER UPPER CONNECTION @ SIDEWALL



CURTAIN RETAINER UPPER CONNECTION @ END WALL



CURTAIN MOTOR @ POCKET PANEL - PLAN VIEW



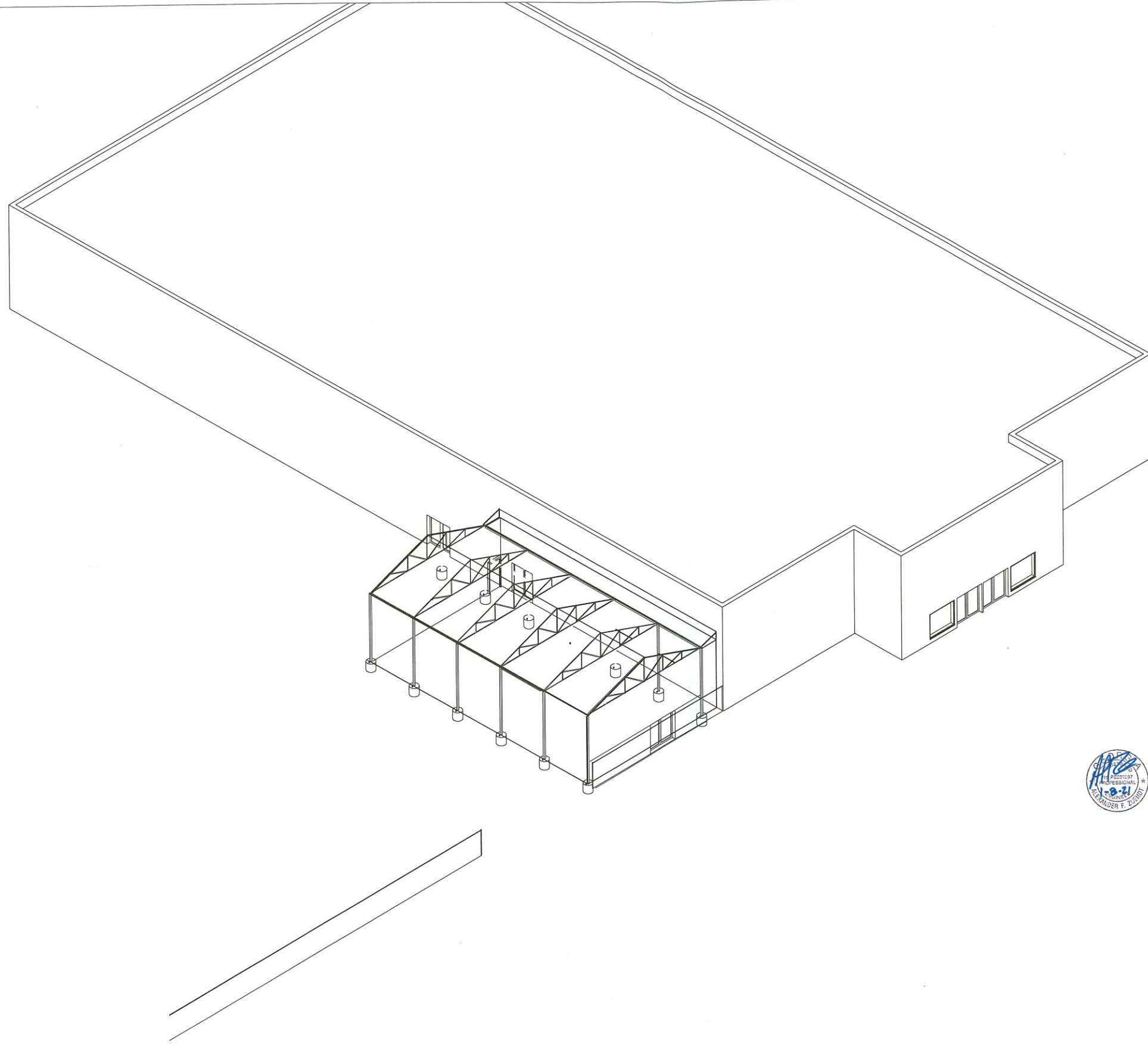
TRACTOR SUPPLY CO.
156 MARTIN LUTHER KING JR BLVD
MONROE GA 30665

MERCHINEY GREENHOUSES
STRUCTURES + EQUIPMENT + COVERINGS
Merchney, LLC
15665 WOODBERRY LANE
MONROE, GA 30665
All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

Drawing Title: DETAILS	
Drawn By: RGS	Sheet
Date: 2021.01.04	S3.04
Revised:	
Scale: 1/8" = 1'-0"	

1 3D ISOMETRIC



Drawing Title: 3D ISOMETRIC	
Drawn By: RGS	Sheet
Date: 2021.01.04	S4.01
Revised:	
Scale:	

ZUENDT ENGINEERING
 CIVIL & STRUCTURAL ENGINEERING
 P.O. Box 26177, Greenville, SC 29616 P:(864) 990-2995 F:(864) 990-2803

MERCHNEY GREENHOUSES
 STRUCTURES + EQUIPMENT + COVERINGS
 Merchney, LLC
 7711 Liberty Highway
 Liberty, SC 29657
All rights reserved. This drawing is the property of Merchney, LLC and may not be reproduced in any form without the written permission of Merchney, LLC.

TRACTOR SUPPLY CO.
 156 MARTIN LUTHER KING JR BLVD
 MONROE GA 30655

**NOTICE TO THE PUBLIC
CITY OF MONROE**

The City of Monroe has received a request for a Certificate of Appropriateness for exterior changes. A public hearing will be held in a called meeting on March 18, 2021 before the Planning & Zoning Commission, at 5:30 P. M. for 156 Martin Luther King Jr Blvd.

This meeting will be held via Zoom online. The link will be available to the public on our web site and on the agenda. All those having an interest should be present.

Please run on the following date:

March 4, 2021